



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
JANUARY 08, 2025
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
7:00 PM**

*Steven Raspe, Chair
Emily Thomas, Vice Chair
Jeffrey Barnett, Commissioner
Kendra Burch, Commissioner
Susan Burnett, Commissioner
Rob Stump, Commissioner
Vacant, Commissioner*

IMPORTANT NOTICE

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions listed below. The live stream of the meeting may be viewed on television and/or online at www.LosGatosCA.gov/TownYouTube.

PARTICIPATION

The public is welcome to provide oral comments in real-time during the meeting in three ways:

Zoom webinar (Online): Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: <https://losgatosca.gov.zoom.us/j/84581980917?pwd=HBC1JDVAnlv95RNwWbWOUU0PKq949O.1>. Passcode: 943933. You can also type in 845 8198 0917 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join> and use passcode 943933.

When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand.

Telephone: Please dial (877) 336-1839 US Toll-free or (636) 651-0008 US Toll. (Conference code: 686100). If you are participating by calling in, press #2 on your telephone keypad to raise your hand.

In-Person: Please complete a “speaker’s card” located on the back of the Chamber benches and return it to the Vice Chair before the meeting or when the Chair announces the item for which you wish to speak.

NOTES: (1) Comments will be limited to three (3) minutes or less at the Chair’s discretion.

(2) If you are unable to participate in real-time, you may email planning@losgatosca.gov with the subject line “Public Comment Item #__” (insert the item number relevant to your comment).

(3) Deadlines to submit written public comments are:

11:00 a.m. the Friday before the Planning Commission meeting for inclusion in the agenda packet.

11:00 a.m. the Tuesday before the Planning Commission meeting for inclusion in an addendum.

11:00 a.m. on the day of the Planning Commission meeting for inclusion in a desk item.

(4) Persons wishing to make an audio/visual presentation may do so only for items on the agenda and must submit the presentation electronically to planning@losgatosca.gov no later than 3:00 p.m. on the day of the Planning Commission meeting.

MEETING CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on matters not listed on the agenda and are within the subject matter jurisdiction of the Commission. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Before the Planning Commission acts on the consent agenda, any member of the Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda.)*

1. Draft Minutes of the December 11, 2024 Planning Commission Meeting
2. Consider an Appeal of a Community Development Director Decision Determining that the Residence Remain a Contributor to the Historic District for Property Located in the Almond Grove Historic District Zoned O:LHP. APN 510-14-053. **Located at 228 Bachman Avenue.** Request for Review Application PHST-24-017. Exempt Pursuant to CEQA Section 15061 (b)(3). Property Owner/Applicant/Appellant: James Wood. Project Planner: Sean Mullin.
3. Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. **Located at 300 Marchmont Drive.** APNs 532-10-001 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

4. Consider a Request for Approval for Technical Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence, and a Variance for the Required Front Setback on Property Zoned R-1:8. **Located at 16590 Garden Lane.** APN 424-19-054. Architecture and Site Application S-24-049 and Variance Application V-24-002. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. Property Owner/Applicant: Sunayana Bedi. Project Planner: Erin Walters.

5. Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Front and Side Yard Setbacks on a Nonconforming Vacant Property Zoned R-1:8. **Located at 16500 Marchmont Drive.** APN 532-08-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15303(a): New Construction or Conversion of Small Structures. Property Owners: Ahmad Shamsoddini, Elham Eshraghi, and Mehrdad Alipour. Applicant: Tony Jeans. Project Planner: Suray Nathan.
6. Consider an Appeal of a Community Development Director Decision to Deny a Request to Remove a Pre-1941 Property from the Historic Resources Inventory on Property Zoned R-1:8. **Located at 55 Ellenwood Avenue.** APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Appellant: Vishal Jain. Project Planner: Sean Mullin.
7. Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Side and Rear Yard Setbacks, Site Improvements Requiring a Grading Permit, and Removal of Large Protected Trees on a Nonconforming Vacant Property Zoned R-1:20. **Located at 45 Reservoir Road.** APN 529-33-054. Architecture and Site Application S-22-048. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Farnaz Agahian. Applicant: Gary Kohlsaar, Architect. Project Planner: Sean Mullin.

OTHER BUSINESS

8. Select a Chair and Vice Chair.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time.*)

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

NOTICE REGARDING SUPPLEMENTAL MATERIALS Materials related to an item on this agenda submitted to the Planning Commission after initial distribution of the agenda packets are available for public inspection at Town Hall, 110 E. Main Street, Los Gatos and on Town's website at www.losgatosca.gov. Planning Commission agendas and related materials can be viewed online at <https://losgatos-ca.municodemeetings.com/>.

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
www.LosGatosCA.gov/TownYouTube

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
DECEMBER 11, 2024**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, December 11, 2024, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Vice Chair Emily Thomas, Commissioner Jeffrey Barnett, Commissioner Susan Burnett, and Commissioner Melanie Hanssen

Absent: Chair Steve Raspe

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

- 1. Approval of Minutes** – November 13, 2024
- 2. Annual Review of an approved Conditional Use Permit for an existing private school (Hillbrook School) on property zoned HR-1. Located at 300 Marchmont Drive. APNs 532-10-001 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.**

Commissioner Barnett stated that he would recuse himself from voting on the Item 2 due to his proximity to the Hillbrook School.

Commissioner Hanssen stated that with Commissioner Barnett's recusal there would no longer be a quorum.

MOTION: **Motion by Vice Chair Thomas to approve adoption of the Consent Calendar, and to continue Item 2, Hillbrook School, to a date certain of January 8, 2025. Seconded by Commissioner Hanssen.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

3. 120 Oak Meadow Drive

Architecture and Site Application S-22-021

Subdivision Application M-20-011

Planned Development Application PD-20-002

APN 529-10-131

Applicants: Terence J. Szewczyk (M-20-011 and PD-20-002) and Jay Plett, Architect (S-22-021).

Property Owner: Marty and Penny McFarland

Project Planner: Sean Mullin

Requesting approval for modification of Planned Development Ordinance 1412, subdivision of one lot into two lots, construction of a single-family residence, and site work requiring a Grading Permit on property zoned O:PD. Categorically exempt pursuant to CEQA Guidelines Sections 15315: Minor Land Divisions; 15303: New Construction; and 15304: Minor Alterations to Land.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Jay Plett (Applicant)

We believe the project has been very well designed and respects the native mature oak trees, with the house intentionally designed around the trees' preservation. Mr. McFarland and I met with the HOA members and agreed on the debris fence and obscure window, and they were fine with our resubmitted plans and sent an email to Planning Manager Mullin to the effect that they consented to the changes.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Barnett** to recommend to Town Council approval of modification of Planned Development Ordinance 1412, Architecture and Site Application, Subdivision Application, and Planned Development Application for 120 Oak Meadow Drive. **Seconded** by **Commissioner Hanssen.**

VOTE: **Motion passed unanimously.**

4. Town Code Amendment Regarding Parking Standards

Town Code Amendment Application A-24-009

Location: Town Wide

Applicant: Town of Los Gatos

Forward a recommendation to the Town Council on an ordinance amending Chapter 29 (Zoning Regulations) of the Town Code regarding Parking Standards. Pursuant to Implementation Program AA of the 2023-2031 Housing Element. Adoption of this ordinance is exempt pursuant to CEQA, Section 15061(b)(3) in that it can be seen with certainty that it will not impact the environment.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

No public comments.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Hanssen to recommend to Town Council approval of a Town Code Amendments regarding Parking Standards. Seconded by Commissioner Barnett.**

Commissioner Hanssen amended the motion to state that a clearer definition of “transit stop” shall be incorporated and put in the code.

The seconder of the motion agreed to the amendment to the motion.

VOTE: **Motion passed 3-1 with Commissioner Burnett dissenting.**

5. Town Code Amendment Regarding Considerations for an Architecture and Site Application, Findings for a Conditional Use Permit, Manufactured Housing, and Private Open Space and Community Recreation Space Requirements

Town Code Amendment Application A-24-008

Project Location: Town Wide

Applicant: Town of Los Gatos

Forward a recommendation to the Town Council on amendments to Chapter 29 (Zoning Regulations) of the Town Code regarding considerations for an Architecture and Site

Application, findings for a Conditional Use Permit, manufactured housing, and private open space and community recreation space requirements, pursuant to Implementation Program AQ of the 2023-2031 Housing Element. Adoption of this ordinance is exempt pursuant to CEQA, Section 15061 (b)(3) in that it can be seen with certainty that it will not impact the environment.

Jocelyn Shoopman, Senior Planner, presented the staff report.

Opened Public Comment.

No public comments.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Barnett** to recommend to Town Council approval of Town Code Amendments regarding considerations for an Architecture and Site application, findings for a Conditional Use Permit, manufactured housing, and private open space and community recreation space requirements. **Seconded by Commissioner Hanssen.**

Commissioners discussed the matter.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

6. 2025 Planning Commission Meeting Calendar

Opened Public Comment.

No public comments.

Closed Public Comment.

REPORT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

Joel Paulson, Community Development Director

- A ceremony to mark the transition of Mayor and Vice Mayor was held the previous evening. New Mayor Matthew Hudes and Vice Mayor Rob Moore will continue forward for the next year.
- The Planning Commission reviewed several items that were introduced at the December 3rd Town Council meeting for the implementation programs and are now on the calendar for adoption at the December 17th Town Council meeting.
- There are several applicants to fill the two vacant Planning Commission seats. Information on everyone who applied for every open seat on every commission and committee can be found on the Town Clerk’s website.
- This is the last Planning Commission meeting of the year. Director Paulson wished everyone Happy Holidays and thanked the Planning Commission and staff for their hard work over the past year.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

None.

ADJOURNMENT

The meeting adjourned at 8:22 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the December 11, 2024 meeting as approved by the Planning Commission.

/s/ Vicki Blandin

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 2

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of a Community Development Director Decision Determining that the Residence Remain a Contributor to the Historic District for Property Located in the Almond Grove Historic District Zoned O:LHP. APN 510-14-053. **Located at 228 Bachman Avenue.** Request for Review Application PHST-24-017. Exempt Pursuant to CEQA Section 15061 (b)(3). Property Owner/Applicant/Appellant: James Wood. Project Planner: Sean Mullin.

REMARKS:

The property owner/appellant requests that the Planning Commission continue consideration of their appeal to a date certain of January 22, 2025, to allow additional time for them to prepare information supporting their appeal.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director, and Town Attorney

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 3

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. **Located at 300 Marchmont Drive.** APNs 532-10-001 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.

REMARKS:

On December 11, 2024, the Planning Commission voted to continue consideration of this item to January 8, 2025, due to a lack of quorum.

EXHIBITS:

Exhibits Previously Received with the December 11, 2024, Staff Report:

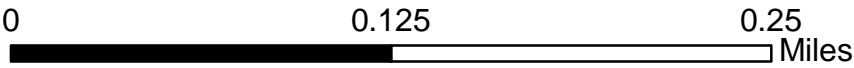
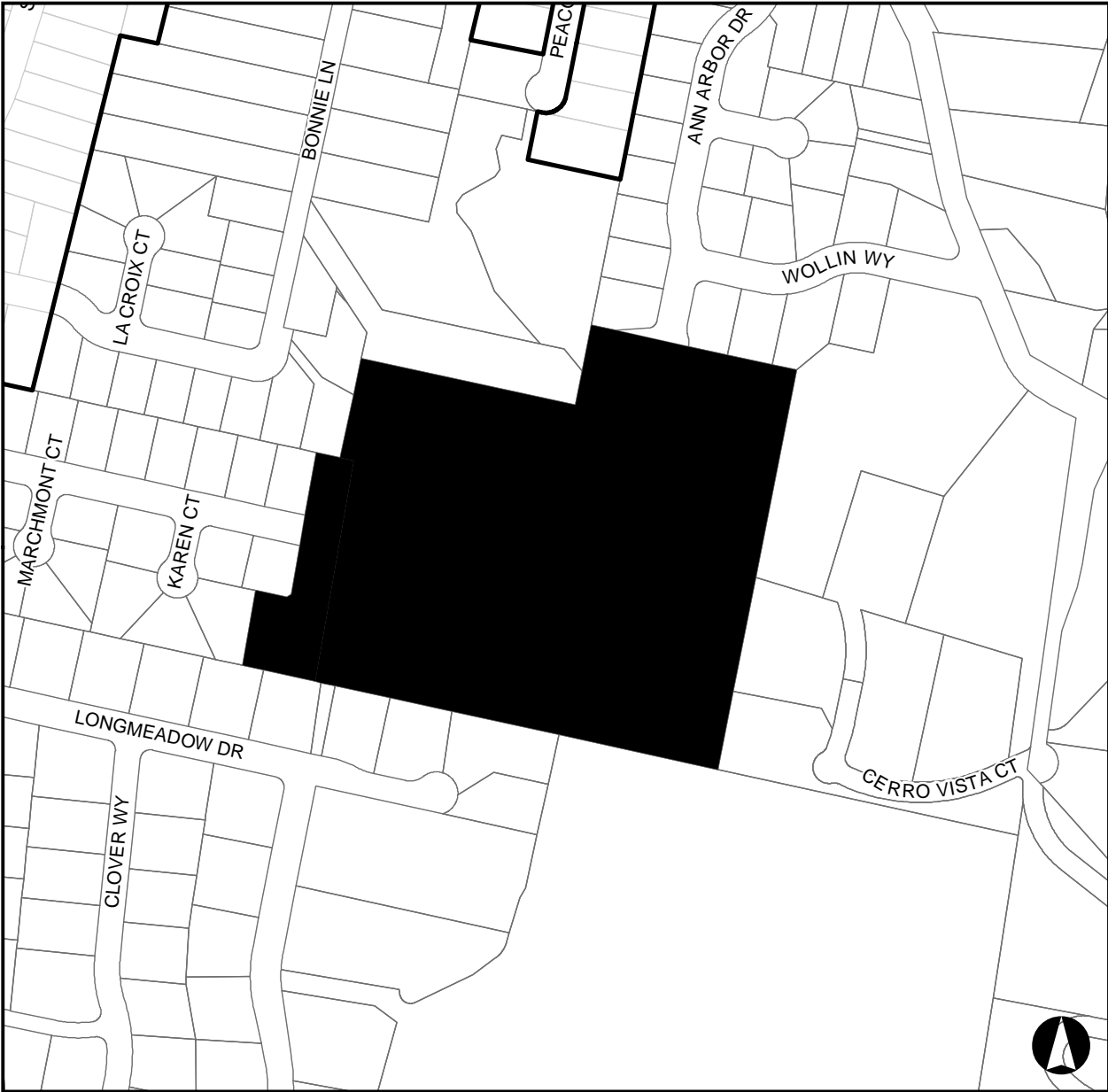
1. Location Map
2. Required Findings
3. Conditional Use Permit U-12-002
4. Fall 2023 Traffic Monitoring Report
5. Spring 2024 Traffic Monitoring Report
6. Hillbrook School Bus Stops for 2024-2025 School Year
7. Hillbrook School Letter of Justification

PREPARED BY: Jocelyn Shoopman
Senior Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

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300 Marchmont Drive



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PLANNING COMMISSION – December 11, 2024
REQUIRED FINDINGS:

300 Marchmont Drive
Conditional Use Permit Application U-12-002

Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. APNS 532-10-001 and 532-11-011.
APPLICANT/PROPERTY OWNER: Hillbrook School/Mark Silver

FINDINGS

Required finding for CEQA:

- An Environmental Impact Report (EIR) was prepared for the Conditional Use Permit and was certified by the Planning Commission on October 6, 2014, and no further environmental review is required.

Required findings for compliance with Conditional Use Permit (U-12-002):

- Find that Hillbrook School is in compliance with their Conditional Use Permit.

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CONDITIONS OF APPROVAL – *March 17, 2015*

300 Marchmont Drive

Conditional Use Permit U-12-002

Environmental Impact Report EIR-13-001

Requesting approval to modify a Conditional Use Permit to increase school enrollment and modify operations of an existing private school (Hillbrook School) on property zoned HR-1. It has been determined that this matter may have a significant impact on the environment and an Environmental Impact Report (EIR) has been prepared as required by the California Environmental Quality Act (CEQA). APNs 532-10-001 and 532-11-011.

PROPERTY OWNER/APPLICANT: Hillbrook School/Mark Silver

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below.
2. EXPIRATION: The Master Plan approved May 7, 2001 (Resolution 2011-048) is vested. The Conditional Use Permit modification will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested. Pursuant to Town Code Section 29.20.335 an approval is vested when the activity approved is commenced in a substantial, as distinguished from tentative or token, manner. For this Conditional Use Permit, substantial shall mean any increase in student enrollment above 315.
3. USE: The approved use is a junior kindergarten (JK) through eighth (8th) grade educational institution/private school, with ancillary after school activities, after school care, and after school sports.
 - a. HOURS: STUDENTS and their families may be on campus Monday through Friday, 7:30 a.m. to 6:00 p.m., during the academic calendar year (mid-August through mid-June).
 - b. EXTENDED HOURS: Up to 10 times per year, hours may be extended past 6:00 p.m. up to 9:30 p.m. The school's management and maintenance staff do not count towards the 10 times per year for extended hours.
4. AFTER SCHOOL ACTIVITIES: Enrichment programs including but not limited to arts, mechanics, engineering, and language for the school's students are permitted, up to 6:00 p.m., Monday through Friday, mid-August through mid-June.
5. AFTER SCHOOL SPORTS AND COMPETITIONS: Any sports, competitive or not, and other competitions with at least one participating team from this approved school are permitted up to 6:00 p.m., Monday through Friday, mid-August through mid-June. These competitions are permitted to occur a maximum 3 days per week, up to 2 days per week outdoors.
6. AFTER SCHOOL CARE: Childcare for the school's students is permitted up to 6:00 p.m., Monday through Friday, mid-August through mid-June.
7. VOLLEYBALL AND BASKETBALL TOURNAMENTS: A tournament is a series of contests/matches/games between two or more schools/teams one of which must be the approved school. Tournament hours are 7:30 a.m. to 3:30 p.m. Monday through Friday,

and Saturday. Vehicles must be off campus by 4:00 p.m. on Saturdays. These tournaments may occur up to 2 Saturdays, mid-August through mid-June.

8. EVENING/NIGHTTIME AND WEEKEND EVENTS: Evening/nighttime events are events that occur between 6:00 p.m. and 9:00 p.m. Evening/nighttime and weekend events are permitted up to 10 times per academic year, mid-August through mid-June. These events must be listed by August 1st on a publicly accessible online School Calendar.
9. OPEN HOUSE: One weekend Open House per calendar year is permitted 7:30 a.m. to 3:30 p.m. (vehicles off campus by 4:00 p.m.), Saturday only (not Sunday), mid-August through mid-June. This event does not count as one of the 10 exception days from the maximum number of daily vehicle trips.
10. DELIVERY HOURS: Deliveries shall only occur between 7:00 a.m. and 7:00 p.m., Monday through Friday.
11. SUMMER SESSION: A summer program is permitted between mid-June and mid-August for six contiguous weeks. Summer hours are limited to 8:30 a.m. to 1:00 p.m., Monday through Friday.
12. PROFESSIONAL DEVELOPMENT/CONFERENCES: Training for the parents of enrolled students and/or the school's faculty only is permitted from 7:30 a.m. to 6:00 p.m., unless designated as a nighttime exception, Monday through Friday, mid-August through mid-June. No other conferences are permitted.
13. THIRD PARTY USE/RENTAL/LEASE: Third party use is allowed. A third party use is defined as a school program run by an entity that is under a contractual partnership agreement with the school, payments for participation in the activity are paid directly to the school, and the school has control of the operations of the activity. Any such third party use will be subject to all of the conditions contained in this Conditional Use Permit.
14. ADDITIONAL ACTIVITIES: Any activity that is not expressly identified in this Permit is prohibited.
15. NUMBER OF STUDENTS: The maximum number of students shall be limited to 414 students over the life of the Conditional Use Permit with an increase over 315 students of up to 33 in year 2016-2017, up to an additional 33 in year 2017-2018, and up to an additional 33 in year 2018-2019. The right to add any additional students is contingent on the school's compliance with the traffic count requirements. The maximum number of students during the summer session is 150.
16. INITIAL REVIEW: Six months after the date of this approval, the Town Council shall review the school's compliance with the maximum number of daily vehicle trips. At a publicly noticed hearing, Town Council will consider whether there is merit to increase the number of students from 315 based on compliance with the maximum number of daily vehicle trips. This review shall be completed at the school's expense.
17. MAXIMUM NUMBER OF DAILY VEHICLE TRIPS: The maximum number of daily vehicle trips shall not exceed 880 pursuant to the following:
 - a. The school may designate 10 days per year that can be removed from the maximum calculation, which shall be referred to as "exception days."
 - b. Exception days shall not exceed 960 maximum daily vehicle trips.
 - c. Exception days must be identified on a publicly accessible online School Calendar for each semester of the academic calendar year.
 - d. The maximum number of daily vehicle trips shall not exceed 300 during the summer session as defined in condition 11.

18. **MANDATORY TRAFFIC DEMAND MANAGEMENT PLAN:** The school shall implement, at its expense, a Mandatory Traffic Demand Management Plan consisting of any of the following means to limit daily vehicle trips: carpools, busing, shuttle buses, traditional school buses, bicycling, walking management plans, or other methods submitted by the school. The school must inform persons and entities, covered by the plan, that pickup and drop-offs are prohibited on public streets in the immediate vicinity of the school. The school is solely responsible for enforcement of and compliance with a Mandatory Traffic Demand Management Plan.
19. **TRAFFIC COUNT MONITORING:** The school shall monitor its compliance using the existing embedded counter and by installing tube counters as a backup. The data from the counters will be used to determine whether the school has complied with the traffic requirements contained in condition 17. The Town shall conduct ongoing traffic data validation by contracting for a random manual traffic count for three days, each semester. The data shall be compared with Sensys data (i.e, the embedded counter data) and results provided to the Town Traffic Engineer. If the Town Traffic Engineer finds the school out of compliance, the Town shall contract for additional data collection, with a one week mechanical (hose) traffic count to verify the counts. The school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips. If the Sensys data continues to demonstrate ongoing non-compliance, the discrepancy shall trigger the compliance proceedings portion of the CUP. The school is required to reimburse the Town for all staff and contract services associated with this condition.
20. **BUS STOPS:** The school may continue to use bus stop locations negotiated with private businesses. Any existing or new bus stop must be approved by the Los Gatos Parks and Public Works Department as a suitable and safe place for a bus stop.
21. **PARKING:** All parking shall be accommodated onsite.
22. **PICK-UP AND DROP-OFF AREA:** A pick-up and drop-off area shall be maintained on school grounds.
23. **EMERGENCY ACCESS ROAD:** The emergency access road to Ann Arbor Drive shall not be opened up at any time to public or school use. The road may be opened for construction access only if it is part of an approved construction plan for an Architecture and Site application.
24. **CURFEW AND NOISE:** The school shall comply with the Town Code governing curfew and noise levels with the exception of one amplified DJ event, mid-August through mid- June (not summer).
25. **ONGOING COMPLIANCE REVIEW:** Upon completion of the six-month initial review set forth in condition 16, the Planning Commission shall conduct an annual review to determine if the school is in compliance with this Conditional Use Permit. If, at any reviews, the Planning Commission finds that the school is in violation of this Conditional Use Permit or that new or more effective data collection methods are available to compute traffic counts, then the Conditional Use Permit may be modified and/or revoked as allowed under the Town Code. Compliance review shall be completed at the school's expense.
26. **PENALTIES FOR EXCEEDANCES OF THE MAXIMUM DAILY TRIP CAP:**
 - a. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap, the applicant shall pay a penalty of \$1,000 per day and \$100 per excess trip.

- b. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap for a second consecutive monitoring period, the applicant shall pay a penalty of \$2,500 per day and \$250 per excess trip.
 - c. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap for a third consecutive monitoring period, the applicant shall pay a penalty of \$5,000 per day and \$500 per excess trip.
 - d. Penalty money shall be paid to the Town and used towards neighborhood traffic/pedestrian improvements as approved by the Town's Parks and Public Works Director.
 - e. The school is not subject to fines in the first six months after the date of this approval.
- 27. NEIGHBORHOOD COORDINATION: The school shall post a schedule of events on a website accessible to the public at the beginning of each semester of academic calendar year.
 - 28. GYMNASIUM DOORS AND WINDOWS: The loading doors on the Ann Arbor side shall be closed at all times whenever activities are being held inside the gymnasium. The other doors and windows in the gymnasium shall be allowed to remain open during activities.
 - 29. SQUARE FOOTAGE: The maximum structural square footage is 55,715 square feet as approved by the Master Plan on May 7, 2001 (Resolution 2011-048). The existing campus is currently 52,683 square feet and an additional 3,032 square feet is permitted in the library and cafeteria/art classrooms with an approved Architecture and Site application.
 - 30. BUILDING FOOTPRINTS: The footprints of the future buildings may be required to be modified during the Architecture and Site approval process to reduce tree impacts.
 - 31. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.



December 3, 2024

Mr. Michael Vroman, PE
Senior Traffic Engineer
Town of Los Gatos
41 Miles Avenue
Los Gatos, CA 95030

Hillbrook School 2023-2024 School Year, Fall Trimester Monitoring

Dear Mr. Vroman;

As requested, W-Trans has prepared a summary of the Fall Trimester traffic monitoring of Hillbrook School in Los Gatos for the 2023-2024 school year. The purpose of this letter is to summarize the 2023 Fall Trimester daily vehicle trips and to note any discrepancies in the data collection. Based on the collected data, Hillbrook School has not exceeded the maximum number of daily trips during the Fall Trimester.

Existing Conditions

The Hillbrook School is located at 300 Marchmont Drive in the Town of Los Gatos. According to Condition 17 of the school's Conditional Use Permit, "the maximum number of daily vehicle trips shall not exceed 880." The school can identify up to ten exception days where they are permitted to exceed the maximum number of daily trips, however, the total number of trips on these exception days shall not exceed 960. The school maintains two Sensys magnetometer traffic counters embedded in the pavement of the exit lane outside the school's gate, approximately thirty feet apart. These magnetometers are calibrated to detect the presence of vehicles and motorcycles, but not bicycles or other non-motorized means of transportation.

Hillbrook School and Sensys staff continuously monitor the functionality of the system. The magnetometers are self-calibrating, self-tuning, and are upgraded remotely as new software is released. The sensors are to be calibrated and validated each trimester. Sensys staff have previously conducted an independent validation of the count system and concluded the daily counts show between 97% and 99.75% accuracy. Hillbrook School has implemented traffic control measures to improve the flow of vehicles over the sensors in order to maintain data accuracy, such as lane delineators along Marchmont Drive.

Hillbrook School has only one vehicular access point, and because of this it is assumed that all exit trips also made an entrance trip through this location. For reporting purposes, the maximum of either Exit A or Exit B is used to determine the number of daily trips. It is noted that the normal daily vehicle trips from the houses located adjacent to Hillbrook School on Marchmont Drive have the potential to also be detected by the Sensys counters. The trips have the potential to be detected by one or both sensors, and thus could possibly increase in the number of days where the difference between sensors is larger than five percent.

The Conditional Use Permit also outlines the requirements of manual data collection in Condition 19 and "the school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips."

A permanent backup pneumatic tube counter, a MetroCount MC56000 Vehicle Classifier System, is located in both the entrance and exit lanes just outside of the school's gate. Pneumatic tube systems utilize rubber tubes placed across traffic lanes in specific configurations. When a vehicle travels over the tube the air pressure in the tube is compressed and this compression triggers an event recording. The system is

programed to classify vehicles based on the distance between the front and rear axle. The school's MetroCount system counts the total number of trips, both entrance and exit trips. While the Sensys system can be accessed remotely online, the MetroCount system is local to the school's network. The school has agreed to, and continues to, actively provide W-Trans with backup data directly from the MetroCount system when necessary.

24-hour Manual Counts and Observations

For the 2023 Fall Trimester, traffic counts were obtained on Marchmont Drive on December 12, 14, and 20, 2023. These dates were selected to cover a variety of on-campus activities. Wednesday, December 20 was an exception day as a "Middle School Winter Concert" event was scheduled on this day. The 24-hour Video and Sensys traffic counts for the selected dates are enclosed.

The traffic counts based on video taken by W-Trans represent the total sum of entrance and exit trips for 24-hours, broken down into 15-minute intervals. The Sensys counts represent the exit trips for the same 24-hour period. In order to convert exit trips to both entrance and exit trips, the maximum count from either Exit A or Exit B was determined and then doubled (assuming one trip in is equivalent to one trip out). The raw Sensys data and video counts are enclosed. The manual counts were then compared to the Sensys data for the same time period in Table 1.

Table 1 – Summary of 24-Hour Counts for Fall Trimester 2023					
Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Video	Sensys	Percent Difference	Difference in Trips
12/12/23	Tuesday	811	828	2.07%	17
12/14/23	Thursday	798	840	5.13%	42
12/20/23	Wednesday	797	830	4.06%	33
Average		802	833	3.75%	31

Note: **Red Text** = value exceeds conditional use permit threshold

The manually counted video counts were reviewed to ensure accuracy. The Sensys counts were higher than the video counts on all three count collection days, resulting in an average percent difference of 3.75 percent. None of the data points exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days or 960 daily trips for an exception day, and the average difference between the Sensys counts and the video counts was less than five percent.

Seven-Day Tube Counts

Hillbrook School was out of compliance with the Conditional Use Permit during the 2022 Fall Trimester. Because of this, additional week-long tube counts were obtained during the 2023 Fall Trimester. These counts were collected between Friday, December 8 and Thursday, December 14. Table 2 provides a comparison of the tube counts and the Sensys data for the same time period.

Table 2 – Summary of Seven-Day Tube Counts for Fall Trimester 2023

Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Tube	Sensys	Percent Difference	Difference in Trips
12/8/23	Friday	790	808	2.25%	18
12/9/23	Saturday	16	50	103.03%	34
12/10/23	Sunday	13	0	200%	13
12/11/23	Monday	847	802	5.46%	45
12/12/23	Tuesday	827	828	0.12%	1
12/13/23	Wednesday	832	852	2.38%	20
12/14/23	Thursday	794	840	5.63%	46
Average		588	597	45.55%	25
School Day Average		818	826	3.17%	26

Note: Red Text = value exceeds conditional use permit threshold

The Sensys counts were higher than the tube counts on five of the seven collection days, resulting in an average percent difference of 3.17 percent on school days. The large percentage differences between the weekend tube counts and Sensys counts were due to overall low volumes. As the difference in trips between the tube and Sensys counts are not significantly higher than the average, it is unlikely that either system had major errors. With lower volumes, higher variances among the different types of counts are more likely to occur. Also, a representative from Sensys confirmed that their system is designed to continuously auto-calibrate and that the diagnostics platform regularly monitors the health and functionality of all components. Based on this, Sensys considers these ongoing processes to satisfy the audit requirement.

None of the data points exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days or 960 daily trips for an exception day. The average difference between the Sensys counts and the tube counts for school days was also less than the five percent limit set in the Conditional Use Permit.

2023 Fall Trimester Summary

- During the 2023 Fall Trimester, Hillbrook School did not exceed the maximum number of 880 daily trips. Enclosed, in Table 3, is the daily summary of Sensys counts for the 2023 Fall Trimester. There were three traffic exception days during the 2023 Fall Trimester. The number of daily trips did not exceed the maximum number of daily trips (960) for an exception day or the maximum number of daily trips (880) for a regular school day.
- The highest number of daily vehicle trips was 852 trips and occurred on Wednesday December 13, 2023.
- The average number of school day vehicle trips for the 2023 Fall Trimester was approximately 766 trips, which is fewer trips than the daily maximum of 880 trips allowed by the Conditional Use Permit.

- Excluding weekends and school holidays, there were no instances where the difference between Sensor A and Sensor B was greater than five percent. The average difference between the Sensor A and Sensor B counts was 5 vehicles.
- The cumulative percent difference between Sensor A and Sensor B for the 2023 Fall Trimester was 0.74 percent, which is less than the threshold of five percent outlined in the Conditional Use Permit.
- The largest daily difference between Sensor A and Sensor B was 14 vehicles on September 25, 2023. In August 2023, the average daily difference between Sensor A and Sensor B was one vehicle. The difference was approximately six vehicles in September 2023, five vehicles in October 2023, four vehicles in November 2023, and five vehicles in December 2023.

Conclusions

Overall, Hillbrook School was in compliance with Condition 17 of the school's Conditional Use Permit for the school year 2023-2024 Fall Trimester; the average number of school day vehicle trips was approximately 766 trips. The average difference in traffic counts between the two Sensys Sensors was less than the five percent threshold in the Conditional Use Permit, and the cumulative percent difference for the Fall Trimester was 0.74%. Further, the Sensys counts were within the five percent threshold on average when compared to count data collected via video and tubes.

The next scheduled monitoring report will be the 2024 Spring Trimester Manual Counts, which is anticipated to be completed in June 2024 prior to the conclusion of Hillbrook School's Spring Trimester. We will continue to provide monthly downloads of Sensys data during the first week of each month.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,



Mark Spencer, PE (Traffic)
Senior Principal

MES/ngb/vh/LGA900-3.L1-4

Enclosures: Fall Trimester Count Summary, 24-Hour Traffic Counts, Seven-Day Tube Counts



Table 3 – Daily Sensys Count Summary – 2023 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
08/31/23	Thursday	396	395	0.3%	792	First Day of School
09/01/23	Friday	368	376	2.2%	752	
09/02/23	Saturday	11	11	0.0%	22	Labor Day (No School)
09/03/23	Sunday	13	15	14.3%	30	
09/04/23	Monday	9	8	11.8%	18	
09/05/23	Tuesday	379	375	1.1%	758	
09/06/23	Wednesday	359	353	1.7%	718	
09/07/23	Thursday	377	376	0.3%	754	Family Fun Night
09/08/23	Friday	413	415	0.5%	830	
09/09/23	Saturday	24	21	13.3%	48	
09/10/23	Sunday	5	6	18.2%	12	
09/11/23	Monday	360	364	1.1%	728	
09/12/23	Tuesday	362	375	3.5%	750	Back to School Night
09/13/23	Wednesday	354	351	0.9%	708	
09/14/23	Thursday	411	418	1.7%	836	
09/15/23	Friday	374	374	0.0%	748	
09/16/23	Saturday	15	16	6.5%	32	
09/17/23	Sunday	8	7	13.3%	16	
09/18/23	Monday	362	371	2.5%	742	
09/19/23	Tuesday	404	401	0.7%	808	
09/20/23	Wednesday	373	372	0.3%	746	
09/21/23	Thursday	426	418	1.9%	852	
09/23/23	Friday	400	397	0.8%	800	
09/23/23	Saturday	10	10	0.0%	20	
09/24/23	Sunday	14	13	7.4%	28	
09/25/23	Monday	394	408	3.5%	816	
09/26/23	Tuesday	375	378	0.8%	756	
09/27/23	Wednesday	344	355	3.1%	710	
09/28/23	Thursday	339	341	0.6%	682	
09/29/23	Friday	346	349	0.9%	698	
09/30/23	Saturday	14	15	6.9%	30	
10/01/23	Sunday	11	11	0.0%	22	

Table 3 – Daily Sensys Count Summary – 2023 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
10/02/23	Monday	373	378	1.3%	756	
10/03/23	Tuesday	364	367	0.8%	713	
10/04/23	Wednesday	346	352	1.7%	704	
10/05/23	Thursday	403	403	0.0%	806	
10/06/23	Friday	390	395	1.3%	790	
10/07/23	Saturday	47	50	6.2%	100	
10/08/23	Sunday	3	3	0.0%	6	
10/09/23	Monday	44	38	14.6%	88	Fall Break No School
10/10/23	Tuesday	401	403	0.5%	806	
10/11/23	Wednesday	352	354	0.6%	708	
10/12/23	Thursday	365	362	0.8%	730	
10/13/23	Friday	361	359	0.6%	722	
10/14/23	Saturday	11	12	8.7%	24	
10/15/23	Sunday	13	12	8.0%	26	
10/16/23	Monday	385	390	1.3%	780	
10/17/23	Tuesday	385	392	1.8%	784	
10/18/23	Wednesday	382	388	1.6%	776	
10/19/23	Thursday	359	369	2.7%	738	
10/20/23	Friday	380	380	0.0%	760	
10/21/23	Saturday	14	12	15.4%	28	
10/23/23	Sunday	8	5	46.2%	16	
10/23/23	Monday	400	408	2.0%	816	
10/24/23	Tuesday	405	403	0.5%	810	
10/25/23	Wednesday	379	387	2.1%	774	
10/26/23	Thursday	425	426	0.2%	852	
10/27/23	Friday	367	374	1.9%	748	
10/28/23	Saturday	21	24	13.3%	48	
10/29/23	Sunday	16	16	0.0%	32	
10/30/23	Monday	334	334	0.0%	668	
10/31/23	Tuesday	263	269	2.3%	538	
11/01/23	Wednesday	373	381	2.1%	762	
11/02/23	Thursday	405	416	2.7%	832	
11/03/23	Friday	375	380	1.3%	760	
11/04/23	Saturday	30	32	6.5%	64	
11/05/23	Sunday	12	12	0.0%	24	

Table 3 – Daily Sensys Count Summary – 2023 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
11/06/23	Monday	398	400	0.5%	800	
11/07/23	Tuesday	402	407	1.2%	814	
11/08/23	Wednesday	381	381	0.0%	762	
11/09/23	Thursday	389	396	1.8%	792	
11/10/23	Friday	404	404	0.0%	808	
11/11/23	Saturday	18	15	18.2%	36	
11/12/23	Sunday	16	16	0.0%	32	
11/13/23	Monday	395	397	0.5%	794	
11/14/23	Tuesday	397	398	0.3%	794	
11/15/23	Wednesday	392	387	1.3%	784	
11/16/23	Thursday	415	414	0.2%	830	
11/17/23	Friday	398	405	1.7%	810	
11/18/23	Saturday	23	20	14.0%	46	
11/19/23	Sunday	16	16	0.0%	32	
11/20/23	Monday	26	27	3.8%	54	Thanksgiving Week (No School)
11/21/23	Tuesday	15	16	6.5%	32	Thanksgiving Week (No School)
11/23/23	Wednesday	13	12	8.0%	26	Thanksgiving Week (No School)
11/23/23	Thursday	4	4	0.0%	8	Thanksgiving Week (No School)
11/24/23	Friday	8	8	0.0%	16	Thanksgiving Week (No School)
11/25/23	Saturday	10	8	22.2%	20	
11/26/23	Sunday	13	12	8.0%	26	
11/27/23	Monday	383	387	1.0%	774	
11/28/23	Tuesday	376	377	0.3%	754	
11/29/23	Wednesday	363	363	0.0%	726	
11/30/23	Thursday	407	403	1.0%	814	
12/01/23	Friday	286	290	1.4%	580	
12/02/23	Saturday	0	0	0.0%	0	
12/03/23	Sunday	0	0	0.0%	0	
12/04/23	Monday	239	237	0.8%	478	
12/05/23	Tuesday	392	404	3.0%	808	
12/06/23	Wednesday	358	366	2.2%	732	
12/07/23	Thursday	383	385	0.5%	770	
12/08/23	Friday	404	404	0.0%	808	
12/09/23	Saturday	25	24	4.1%	50	
12/10/23	Sunday	0	0	0.0%	0	

Hillbrook School Driveway In and Out
 Tuesday, December 12, 2023
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	1	0
5:15	1	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	3	0
6:30	1	0
6:45	4	0
7:00	4	0
7:15	13	0
7:30	30	9
7:45	91	67
8:00	40	42
8:15	10	18
8:30	5	3
8:45	8	1
9:00	2	3
9:15	4	4
9:30	4	5
9:45	3	1
10:00	0	4
10:15	4	3
10:30	3	1
10:45	3	0
11:00	2	1
11:15	0	1

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	1	1
7:30	0	0
7:45	4	2
8:00	0	2
8:15	0	0
8:30	0	0
8:45	0	0
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0
10:00	0	0
10:15	0	0
10:30	0	0
10:45	0	0
11:00	1	1
11:15	0	0

11:30	4	5
11:45	3	2
12:00	2	2
12:15	2	5
12:30	0	0
12:45	1	0
13:00	3	1
13:15	2	1
13:30	1	4
13:45	0	1
14:00	3	3
14:15	6	6
14:30	17	4
14:45	36	6
15:00	16	52
15:15	12	21
15:30	13	19
15:45	11	24
16:00	5	14
16:15	9	16
16:30	2	16
16:45	2	4
17:00	1	4
17:15	1	1
17:30	1	8
17:45	0	2
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	1
19:45	0	0
20:00	0	0
20:15	0	0
20:30	1	0
20:45	0	1
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	2
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	390	388

11:30	0	1
11:45	1	1
12:00	0	0
12:15	0	0
12:30	0	0
12:45	0	0
13:00	1	0
13:15	0	1
13:30	0	0
13:45	0	0
14:00	0	0
14:15	3	0
14:30	0	0
14:45	0	0
15:00	0	3
15:15	0	0
15:30	0	0
15:45	1	0
16:00	1	2
16:15	0	0
16:30	1	1
16:45	1	1
17:00	1	1
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	16	17

Results for Sensor Zone 'ExitA' in AP: 'APEG 9545'

Start Date: 12/12/2023 00:00 PST

End Date: 12/13/2023 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/12/2023 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 07:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 07:30:00	0.67	7	n/a	n/a	135.49	136.21	n/a
12/12/2023 07:45:00	11.04	72	n/a	n/a	11.30	12.68	n/a
12/12/2023 08:00:00	6.09	46	n/a	n/a	17.42	18.61	n/a
12/12/2023 08:15:00	1.31	18	n/a	n/a	37.24	37.94	n/a
12/12/2023 08:30:00	0.36	3	n/a	n/a	383.55	384.46	n/a
12/12/2023 08:45:00	0.04	1	n/a	n/a	250.19	251.20	n/a
12/12/2023 09:00:00	0.30	3	n/a	n/a	435.14	435.85	n/a
12/12/2023 09:15:00	0.48	4	n/a	n/a	259.31	260.35	n/a
12/12/2023 09:30:00	0.58	3	n/a	n/a	311.20	312.60	n/a
12/12/2023 09:45:00	0.23	2	n/a	n/a	420.20	421.51	n/a
12/12/2023 10:00:00	0.54	5	n/a	n/a	163.78	164.81	n/a
12/12/2023 10:15:00	0.45	3	n/a	n/a	200.84	202.13	n/a
12/12/2023 10:30:00	0	0	n/a	n/a	n/a	n/a	n/a

12/12/2023 10:45:00	0.08	1 n/a	n/a	1,412.81	1,414.18	n/a
12/12/2023 11:00:00	0.90	3 n/a	n/a	470.15	471.50	n/a
12/12/2023 11:15:00	0.13	1 n/a	n/a	1,052.18	1,056.98	n/a
12/12/2023 11:30:00	1.22	8 n/a	n/a	99.33	100.76	n/a
12/12/2023 11:45:00	0.78	4 n/a	n/a	300.37	302.10	n/a
12/12/2023 12:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 12:15:00	0.74	7 n/a	n/a	197.85	198.78	n/a
12/12/2023 12:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 12:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 13:00:00	0.10	1 n/a	n/a	2,799.23	2,800.23	n/a
12/12/2023 13:15:00	0.16	3 n/a	n/a	358.18	358.76	n/a
12/12/2023 13:30:00	0.43	4 n/a	n/a	249.18	249.93	n/a
12/12/2023 13:45:00	0.04	1 n/a	n/a	280.30	281.84	n/a
12/12/2023 14:00:00	0.34	3 n/a	n/a	457.46	458.33	n/a
12/12/2023 14:15:00	0.74	6 n/a	n/a	131.30	132.29	n/a
12/12/2023 14:30:00	0.72	4 n/a	n/a	260.28	261.93	n/a
12/12/2023 14:45:00	1.07	8 n/a	n/a	106.01	107.29	n/a
12/12/2023 15:00:00	8.05	56 n/a	n/a	16.86	18.12	n/a
12/12/2023 15:15:00	2.48	21 n/a	n/a	44.42	45.56	n/a
12/12/2023 15:30:00	1.89	17 n/a	n/a	51.96	53	n/a
12/12/2023 15:45:00	2.73	24 n/a	n/a	36.41	37.43	n/a
12/12/2023 16:00:00	1.48	13 n/a	n/a	66.01	67	n/a
12/12/2023 16:15:00	2	15 n/a	n/a	58.89	60.02	n/a
12/12/2023 16:30:00	2.50	14 n/a	n/a	60.81	62.47	n/a
12/12/2023 16:45:00	0.48	6 n/a	n/a	144.90	145.69	n/a
12/12/2023 17:00:00	0.42	4 n/a	n/a	183.21	184.13	n/a
12/12/2023 17:15:00	1.79	4 n/a	n/a	239.23	241.88	n/a
12/12/2023 17:30:00	0.55	5 n/a	n/a	169.43	171.61	n/a
12/12/2023 17:45:00	0.64	5 n/a	n/a	76.90	77.98	n/a
12/12/2023 18:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 18:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 18:30:00	0.29	1 n/a	n/a	2,581.90	2,582.76	n/a
12/12/2023 18:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 19:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 19:15:00	0.34	1 n/a	n/a	2,696.42	2,699.04	n/a
12/12/2023 19:30:00	0.07	1 n/a	n/a	1,092.36	1,095.43	n/a
12/12/2023 19:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 20:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 20:15:00	0.80	1 n/a	n/a	3,249.46	3,250.13	n/a
12/12/2023 20:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 20:45:00	0.13	1 n/a	n/a	1,197.73	1,204.97	n/a
12/12/2023 21:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 21:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 21:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 21:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 22:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 22:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 22:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 22:45:00	1.81	4 n/a	n/a	1,915.52	1,919.58	n/a
12/12/2023 23:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/12/2023 23:15:00	0	0 n/a	n/a	n/a	n/a	n/a

12/12/2023 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/12/2023 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.60	414	---	n/a	133.16	134.42	n/a

Hillbrook School Driveway In and Out
 Thursday, December 14, 2023
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	1	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	1	0
6:00	2	0
6:15	1	0
6:30	3	0
6:45	1	0
7:00	8	0
7:15	14	3
7:30	35	6
7:45	77	60
8:00	37	43
8:15	6	8
8:30	6	4
8:45	6	4
9:00	3	1
9:15	1	1
9:30	3	5
9:45	3	1
10:00	0	1
10:15	4	2
10:30	0	0
10:45	4	3
11:00	2	4
11:15	5	4

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	1	1
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	0	0
7:30	0	0
7:45	4	4
8:00	0	1
8:15	1	0
8:30	1	1
8:45	0	1
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0
10:00	0	0
10:15	0	0
10:30	0	0
10:45	0	0
11:00	0	0
11:15	1	1

11:30	4	3
11:45	1	1
12:00	2	4
12:15	3	0
12:30	3	5
12:45	0	1
13:00	2	0
13:15	1	3
13:30	1	1
13:45	1	2
14:00	1	3
14:15	4	2
14:30	15	3
14:45	26	6
15:00	19	53
15:15	13	18
15:30	15	17
15:45	14	28
16:00	10	17
16:15	5	17
16:30	11	6
16:45	3	17
17:00	0	5
17:15	1	2
17:30	1	3
17:45	2	8
18:00	0	0
18:15	0	1
18:30	1	1
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	1
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	2
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
total	382	380

11:30	0	0
11:45	1	0
12:00	0	1
12:15	0	0
12:30	0	0
12:45	0	0
13:00	1	1
13:15	0	0
13:30	0	0
13:45	0	0
14:00	0	0
14:15	0	0
14:30	2	0
14:45	0	0
15:00	0	2
15:15	1	0
15:30	0	1
15:45	0	0
16:00	1	0
16:15	2	2
16:30	0	1
16:45	2	1
17:00	0	0
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	18	18

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 12/14/2023 00:00 PST

End Date: 12/15/2023 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/14/2023 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 06:00:00	0.33	1	n/a	n/a	n/a	n/a	n/a
12/14/2023 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 07:15:00	0.49	3	n/a	n/a	1,547.98	1,550.12	n/a
12/14/2023 07:30:00	0.99	6	n/a	n/a	179.88	181.37	n/a
12/14/2023 07:45:00	13.25	66	n/a	n/a	11.90	13.67	n/a
12/14/2023 08:00:00	5.99	46	n/a	n/a	18.21	19.43	n/a
12/14/2023 08:15:00	1.34	9	n/a	n/a	90.94	92.24	n/a
12/14/2023 08:30:00	0.67	5	n/a	n/a	183.49	184.69	n/a
12/14/2023 08:45:00	1.52	5	n/a	n/a	183.44	186.21	n/a
12/14/2023 09:00:00	0.09	1	n/a	n/a	666.55	667.59	n/a
12/14/2023 09:15:00	0.32	2	n/a	n/a	544.22	545.41	n/a
12/14/2023 09:30:00	0.71	6	n/a	n/a	144.75	145.91	n/a
12/14/2023 09:45:00	0.11	1	n/a	n/a	302.08	302.84	n/a
12/14/2023 10:00:00	0.28	3	n/a	n/a	415.76	416.59	n/a
12/14/2023 10:15:00	0.20	2	n/a	n/a	491.24	492.20	n/a
12/14/2023 10:30:00	0.09	1	n/a	n/a	391.51	392.30	n/a

12/14/2023 10:45:00	0.42	3	n/a	n/a	521.64	522.57	n/a
12/14/2023 11:00:00	0.53	4	n/a	n/a	210.20	211.38	n/a
12/14/2023 11:15:00	0.71	5	n/a	n/a	209.41	210.82	n/a
12/14/2023 11:30:00	0.47	3	n/a	n/a	166.68	168.04	n/a
12/14/2023 11:45:00	0.12	1	n/a	n/a	588.13	589.46	n/a
12/14/2023 12:00:00	1.20	5	n/a	n/a	319.90	321.83	n/a
12/14/2023 12:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 12:30:00	1.31	5	n/a	n/a	326.18	328.78	n/a
12/14/2023 12:45:00	0.82	3	n/a	n/a	252.38	254.80	n/a
12/14/2023 13:00:00	0.19	1	n/a	n/a	911.90	912.92	n/a
12/14/2023 13:15:00	0.37	3	n/a	n/a	303.50	304.98	n/a
12/14/2023 13:30:00	0.13	1	n/a	n/a	1,091.13	1,091.73	n/a
12/14/2023 13:45:00	0.24	2	n/a	n/a	440.67	441.76	n/a
12/14/2023 14:00:00	0.39	3	n/a	n/a	143.82	144.98	n/a
12/14/2023 14:15:00	0.49	2	n/a	n/a	604.08	606.30	n/a
12/14/2023 14:30:00	0.59	3	n/a	n/a	356.89	358.24	n/a
12/14/2023 14:45:00	0.77	5	n/a	n/a	186.74	188.11	n/a
12/14/2023 15:00:00	9.05	61	n/a	n/a	13.94	15.30	n/a
12/14/2023 15:15:00	2.46	18	n/a	n/a	46.67	47.90	n/a
12/14/2023 15:30:00	2.95	18	n/a	n/a	50.27	51.75	n/a
12/14/2023 15:45:00	3.28	28	n/a	n/a	31	32.06	n/a
12/14/2023 16:00:00	2.55	17	n/a	n/a	46.68	48.05	n/a
12/14/2023 16:15:00	3.33	20	n/a	n/a	44.51	45.98	n/a
12/14/2023 16:30:00	0.97	7	n/a	n/a	121.31	122.49	n/a
12/14/2023 16:45:00	2.68	19	n/a	n/a	48.47	49.76	n/a
12/14/2023 17:00:00	0.93	5	n/a	n/a	169.95	171.60	n/a
12/14/2023 17:15:00	1.31	3	n/a	n/a	276.07	277.30	n/a
12/14/2023 17:30:00	0.39	3	n/a	n/a	192.68	196.70	n/a
12/14/2023 17:45:00	0.98	8	n/a	n/a	157.84	158.96	n/a
12/14/2023 18:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 18:15:00	0.34	2	n/a	n/a	915.34	916.80	n/a
12/14/2023 18:30:00	0.12	1	n/a	n/a	878.13	879.02	n/a
12/14/2023 18:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 19:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 19:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 19:30:00	3.40	1	n/a	n/a	2,891.88	2,892.98	n/a
12/14/2023 19:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 20:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 20:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 20:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 20:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 21:00:00	0.45	1	n/a	n/a	5,384.80	5,415.38	n/a
12/14/2023 21:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 21:30:00	0.24	2	n/a	n/a	1,059.05	1,061.49	n/a
12/14/2023 21:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 22:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 22:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 22:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 22:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 23:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 23:15:00	0	0	n/a	n/a	n/a	n/a	n/a

12/14/2023 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2023 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.73	420	---	n/a	131.39	132.90	n/a

Hillbrook School Driveway In and Out
 Wednesday, December 20, 2023
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	1	0
5:30	0	0
5:45	1	0
6:00	3	0
6:15	0	0
6:30	2	0
6:45	1	1
7:00	2	1
7:15	7	2
7:30	24	9
7:45	79	61
8:00	38	40
8:15	12	12
8:30	4	5
8:45	5	4
9:00	3	0
9:15	3	5
9:30	2	1
9:45	3	3
10:00	2	1
10:15	2	1
10:30	1	1
10:45	3	1
11:00	5	3
11:15	2	2

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	1	1
7:30	0	0
7:45	4	4
8:00	0	0
8:15	0	0
8:30	0	0
8:45	0	0
9:00	0	0
9:15	0	0
9:30	1	1
9:45	0	0
10:00	0	0
10:15	0	0
10:30	0	0
10:45	0	0
11:00	0	0
11:15	0	0

11:30	1	3
11:45	1	3
12:00	0	2
12:15	1	1
12:30	4	1
12:45	2	2
13:00	1	0
13:15	2	4
13:30	0	1
13:45	1	1
14:00	1	1
14:15	6	2
14:30	28	6
14:45	32	8
15:00	21	59
15:15	8	28
15:30	6	9
15:45	4	10
16:00	3	11
16:15	0	6
16:30	2	3
16:45	2	3
17:00	1	1
17:15	3	1
17:30	5	7
17:45	8	0
18:00	5	0
18:15	5	2
18:30	5	0
18:45	1	1
19:00	2	2
19:15	0	0
19:30	2	13
19:45	0	18
20:00	0	2
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	1	0
21:45	0	0
22:00	0	0
22:15	0	3
22:30	0	1
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
total	369	368

11:30	1	1
11:45	0	0
12:00	0	0
12:15	0	0
12:30	0	0
12:45	1	0
13:00	0	1
13:15	0	0
13:30	1	0
13:45	1	2
14:00	0	0
14:15	2	0
14:30	1	0
14:45	0	0
15:00	0	2
15:15	0	1
15:30	0	0
15:45	1	1
16:00	1	1
16:15	1	0
16:30	1	1
16:45	0	1
17:00	1	0
17:15	0	0
17:30	1	1
17:45	0	1
18:00	2	2
18:15	3	3
18:30	3	1
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	1
19:45	2	2
20:00	1	2
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	30	30

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 12/20/2023 00:00 PST

End Date: 12/21/2023 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/20/2023 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 06:45:00	0.16	1	n/a	n/a	n/a	n/a	n/a
12/20/2023 07:00:00	0.14	1	n/a	n/a	1,169.03	1,170.50	n/a
12/20/2023 07:15:00	0.84	5	n/a	n/a	194.61	195.86	n/a
12/20/2023 07:30:00	0.98	8	n/a	n/a	131.31	132.60	n/a
12/20/2023 07:45:00	9.81	67	n/a	n/a	12.18	13.49	n/a
12/20/2023 08:00:00	4.33	39	n/a	n/a	21.84	22.85	n/a
12/20/2023 08:15:00	1.09	13	n/a	n/a	58.69	59.47	n/a
12/20/2023 08:30:00	0.47	4	n/a	n/a	177.09	178.08	n/a
12/20/2023 08:45:00	0.43	4	n/a	n/a	261.96	262.87	n/a
12/20/2023 09:00:00	0.08	1	n/a	n/a	794.30	795.41	n/a
12/20/2023 09:15:00	0.49	4	n/a	n/a	235.81	236.85	n/a
12/20/2023 09:30:00	0.30	3	n/a	n/a	280.12	280.88	n/a
12/20/2023 09:45:00	0.29	3	n/a	n/a	389.52	390.61	n/a
12/20/2023 10:00:00	0.11	1	n/a	n/a	632.45	633.20	n/a
12/20/2023 10:15:00	0.11	2	n/a	n/a	289.49	290.02	n/a
12/20/2023 10:30:00	0.09	2	n/a	n/a	514.45	514.98	n/a

12/20/2023 10:45:00	0.13	1 n/a	n/a	684.05	684.70	n/a
12/20/2023 11:00:00	0.29	3 n/a	n/a	450.37	451.35	n/a
12/20/2023 11:15:00	0.31	2 n/a	n/a	319.81	320.90	n/a
12/20/2023 11:30:00	0.29	2 n/a	n/a	491.46	492.86	n/a
12/20/2023 11:45:00	0.65	4 n/a	n/a	244.25	245.77	n/a
12/20/2023 12:00:00	0.45	2 n/a	n/a	555.28	556.61	n/a
12/20/2023 12:15:00	0.17	1 n/a	n/a	962.25	964.67	n/a
12/20/2023 12:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 12:45:00	0.29	2 n/a	n/a	835.92	837.40	n/a
12/20/2023 13:00:00	0.18	1 n/a	n/a	509.93	511.06	n/a
12/20/2023 13:15:00	1.29	5 n/a	n/a	260.65	263.08	n/a
12/20/2023 13:30:00	0.08	1 n/a	n/a	425.82	426.92	n/a
12/20/2023 13:45:00	0.22	3 n/a	n/a	321.42	322.10	n/a
12/20/2023 14:00:00	0.13	1 n/a	n/a	847.22	847.91	n/a
12/20/2023 14:15:00	0.48	3 n/a	n/a	482.50	483.92	n/a
12/20/2023 14:30:00	0.83	6 n/a	n/a	135.21	136.40	n/a
12/20/2023 14:45:00	0.90	6 n/a	n/a	170.93	172.37	n/a
12/20/2023 15:00:00	8.09	61 n/a	n/a	13.54	14.74	n/a
12/20/2023 15:15:00	4.35	30 n/a	n/a	25.84	27.11	n/a
12/20/2023 15:30:00	0.93	8 n/a	n/a	101.99	103.18	n/a
12/20/2023 15:45:00	1.79	12 n/a	n/a	84.65	85.76	n/a
12/20/2023 16:00:00	1.24	11 n/a	n/a	81.61	82.88	n/a
12/20/2023 16:15:00	1.26	10 n/a	n/a	79.35	80.30	n/a
12/20/2023 16:30:00	0.96	5 n/a	n/a	180.07	182.11	n/a
12/20/2023 16:45:00	0.60	4 n/a	n/a	250.55	251.46	n/a
12/20/2023 17:00:00	0.12	1 n/a	n/a	835.85	838.70	n/a
12/20/2023 17:15:00	0.20	1 n/a	n/a	532.35	533.43	n/a
12/20/2023 17:30:00	1.33	8 n/a	n/a	109.29	110.83	n/a
12/20/2023 17:45:00	0.79	1 n/a	n/a	640.14	641.60	n/a
12/20/2023 18:00:00	1.02	2 n/a	n/a	575.77	581.22	n/a
12/20/2023 18:15:00	2.29	6 n/a	n/a	187.98	191.12	n/a
12/20/2023 18:30:00	2.59	7 n/a	n/a	126.05	129.94	n/a
12/20/2023 18:45:00	0.11	1 n/a	n/a	947.11	951.08	n/a
12/20/2023 19:00:00	0.11	1 n/a	n/a	105.02	106.04	n/a
12/20/2023 19:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 19:30:00	2.07	14 n/a	n/a	188.92	190.11	n/a
12/20/2023 19:45:00	3.10	20 n/a	n/a	40.56	42.03	n/a
12/20/2023 20:00:00	1.65	7 n/a	n/a	106.04	108.01	n/a
12/20/2023 20:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 20:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 20:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 21:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 21:15:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 21:30:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 21:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 22:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 22:15:00	0.48	3 n/a	n/a	2,761.30	2,763.18	n/a
12/20/2023 22:30:00	0.49	1 n/a	n/a	186.53	187.76	n/a
12/20/2023 22:45:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 23:00:00	0	0 n/a	n/a	n/a	n/a	n/a
12/20/2023 23:15:00	0	0 n/a	n/a	n/a	n/a	n/a

12/20/2023 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/20/2023 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.65	415	---	n/a	134.96	136.30	n/a

Table 3 – Daily Sensys Count Summary – 2023 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
12/11/23	Monday	394	401	1.8%	802	
12/12/23	Tuesday	414	413	0.2%	828	
12/13/23	Wednesday	426	422	0.9%	852	
12/14/23	Thursday	416	420	1.0%	840	
12/15/23	Friday	400	399	0.3%	800	
12/16/23	Saturday	3	3	0.0%	6	
12/17/23	Sunday	9	9	0.0%	18	
12/18/23	Monday	390	392	0.5%	784	
12/19/23	Tuesday	401	414	3.2%	828	
12/20/23	Wednesday	414	415	0.2%	830	Middle School Winter Concert
12/21/23	Thursday	376	376	0.0%	752	

Note: Allowable percent difference less than five percent; daily trip cap 880 trips during school year. Red = value exceeds conditional use permit threshold

Location: Marchmont Dr, W/O Entrance Gate
 Date Range: 12/8/2023 - 12/14/2023
 Site Code: 01

Time	Friday 12/8/2023			Saturday 12/9/2023			Sunday 12/10/2023			Monday 12/11/2023			Tuesday 12/12/2023			Wednesday 12/13/2023			Thursday 12/14/2023			Mid-Week Average		
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00 AM	0	0	0	0	0	0	0	0	0	1	1	2	0	0	0	1	1	2	0	0	0	0	0	1
3:00 AM	1	1	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00 AM	1	1	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	0	0	
5:00 AM	2	0	2	2	0	2	0	0	0	2	1	3	2	0	2	1	0	1	1	0	1	1	0	1
6:00 AM	7	0	7	0	2	2	0	0	0	9	0	9	8	0	8	9	0	9	8	2	10	8	1	9
7:00 AM	147	54	201	0	0	0	0	0	0	145	59	204	145	87	232	138	80	218	132	80	212	138	82	221
8:00 AM	53	64	117	1	1	2	0	0	0	68	72	140	69	63	132	61	66	127	55	65	120	62	65	126
9:00 AM	11	23	34	0	0	0	1	1	2	11	13	24	12	13	25	8	10	18	11	9	20	10	11	21
10:00 AM	13	12	25	1	1	2	1	0	1	11	10	21	12	9	21	10	16	26	8	6	14	10	10	20
11:00 AM	9	11	20	0	0	0	0	0	0	4	9	13	11	13	24	5	4	9	13	13	26	10	10	20
12:00 PM	11	9	20	1	1	2	2	3	5	9	9	18	5	7	12	7	11	18	8	12	20	7	10	17
1:00 PM	11	9	20	0	0	0	0	1	1	11	11	22	7	8	15	11	12	23	6	7	13	8	9	17
2:00 PM	44	20	64	0	0	0	0	0	0	64	20	84	59	17	76	64	25	89	46	13	59	56	18	75
3:00 PM	59	103	162	2	2	4	1	1	2	54	115	169	54	122	176	61	87	148	60	116	176	58	108	167
4:00 PM	28	52	80	0	0	0	0	0	0	36	74	110	23	56	79	26	83	109	33	61	94	27	67	94
5:00 PM	7	19	26	0	0	0	0	0	0	7	17	24	4	16	20	8	16	24	3	19	22	5	17	22
6:00 PM	2	3	5	1	1	2	1	0	1	0	0	0	0	0	0	1	4	5	1	2	3	1	2	3
7:00 PM	0	0	0	0	0	0	0	1	1	0	1	1	0	1	1	1	2	3	0	1	1	0	1	2
8:00 PM	0	1	1	0	0	0	0	0	0	0	0	0	1	1	2	0	0	0	0	0	0	0	0	1
9:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	0	1	1
10:00 PM	0	2	2	0	0	0	0	0	0	0	3	3	0	2	2	0	3	3	0	0	0	0	2	2
11:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	406	384	790	8	8	16	6	7	13	432	415	847	412	415	827	412	420	832	386	408	794	403	414	818
Percent	51%	49%		50%	50%		46%	54%		51%	49%		50%	50%		50%	50%		49%	51%		49%	51%	
AM Peak	07:00	08:00	07:00	05:00	06:00	05:00	09:00	09:00	09:00	07:00	08:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00
Vol.	147	64	201	2	2	2	1	1	2	145	72	204	145	87	232	138	80	218	132	80	212	138	82	221
PM Peak	15:00	15:00	15:00	15:00	15:00	15:00	12:00	12:00	12:00	14:00	15:00	15:00	14:00	15:00	15:00	14:00	15:00	15:00	15:00	15:00	15:00	15:00	15:00	15:00
Vol.	59	103	162	2	2	4	2	3	5	64	115	169	59	122	176	64	87	148	60	116	176	58	108	167

1. Mid-week average includes data between Tuesday and Thursday.



December 3, 2024

Mr. Michael Vroman, PE
Senior Traffic Engineer
Town of Los Gatos
41 Miles Avenue
Los Gatos, CA 95030

Hillbrook School 2023-2024 School Year, Spring Trimester Monitoring

Dear Mr. Vroman;

As requested, W-Trans has prepared a summary of the Spring Trimester traffic monitoring of Hillbrook School in Los Gatos for the 2023-2024 school year. The purpose of this letter is to summarize the 2024 Spring Trimester daily vehicle trips and to note any discrepancies in the data collection. Based on the collected data, Hillbrook School has not exceeded the maximum number of daily trips during the Spring Trimester. However, the manual count data collected exceeded the Sensys counts by more than five percent, on average.

Existing Conditions

The Hillbrook School is located at 300 Marchmont Drive in the Town of Los Gatos. According to Condition 17 of the school's Conditional Use Permit, "the maximum number of daily vehicle trips shall not exceed 880." The school can identify up to ten exception days where they are permitted to exceed the maximum number of daily trips, however, the total number of trips on these exception days shall not exceed 960. The school maintains two Sensys magnetometer traffic counters embedded in the pavement of the exit lane outside the school's gate, approximately thirty feet apart. These magnetometers are calibrated to detect the presence of vehicles and motorcycles, but not bicycles or other non-motorized means of transportation.

Hillbrook School and Sensys staff continuously monitor the functionality of the system. The magnetometers are self-calibrating, self-tuning, and are upgraded remotely as new software is released. The sensors are to be calibrated and validated each trimester. Sensys staff have previously conducted an independent validation of the count system and concluded the daily counts show between 97 percent and 99.75 percent accuracy. Hillbrook School has implemented traffic control measures to improve the flow of vehicles over the sensors in order to maintain data accuracy, such as lane delineators along Marchmont Drive.

Hillbrook School has only one vehicular access point, and because of this it is assumed that all exit trips also made an entrance trip through this location. For reporting purposes, the maximum of either Exit A or Exit B is used to determine the number of daily trips. It is noted that the normal daily vehicle trips from the houses located adjacent to Hillbrook School on Marchmont Drive have the potential to also be detected by the Sensys counters. The trips have the potential to be detected by one or both sensors, and thus could possibly increase in the number of days where the difference between sensors is larger than five percent.

The Conditional Use Permit also outlines the requirements of manual data collection in Condition 19 and "the school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips."

A permanent backup pneumatic tube counter, a MetroCount MC56000 Vehicle Classifier System, is located in both the entrance and exit lanes just outside of the school's gate. Pneumatic tube systems utilize rubber

tubes placed across traffic lanes in specific configurations. When a vehicle travels over the tube the air pressure in the tube is compressed and this compression triggers an event recording. The system is programmed to classify vehicles based on the distance between the front and rear axle. The school's MetroCount system counts the total number of trips, both entrance and exit trips. While the Sensys system can be accessed remotely online, the MetroCount system is local to the school's network. The school has agreed to, and continues to, actively provide W-Trans with backup data directly from the MetroCount system when necessary.

24-hour Manual Counts and Observations

For the 2024 Spring Trimester, traffic counts were obtained on Marchmont Drive on May 7, 9, and 15, 2024. These dates were selected to cover a variety of on-campus activities. Thursday, May 9 and Wednesday, May 15 were exception days for "JK/K New Family Admissions Reception" and "8th Grade Musical" events which were scheduled on these days, respectively. The 24-hour Video and Sensys traffic counts for the selected dates are enclosed.

The traffic counts based on video taken by W-Trans represent the total sum of entrance and exit trips for 24-hours, broken down into 15-minute intervals. The Sensys counts represent the exit trips for the same 24-hour period. In order to convert exit trips to both entrance and exit trips, the maximum count from either Exit A or Exit B was determined and then doubled (assuming one trip in is equivalent to one trip out). The raw Sensys data and video counts are enclosed. The manual counts were then compared to the Sensys data for the same time period in Table 1.

Table 1 – Summary of 24-Hour Counts for Spring Trimester 2024					
Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Video	Sensys	Percent Difference	Difference in Trips
5/7/24	Tuesday	843	798	5.48%	45
5/9/24	Thursday	851	826	2.98%	25
5/15/24	Wednesday	834	816	2.18%	18
Average		843	813	3.55%	29

Note: Red Text = value exceeds conditional use permit threshold

The manually counted video counts were reviewed to verify accuracy of the Sensys counts. The Sensys counts were lower than the video counts on all three count collection days, resulting in an average percent difference of 3.55 percent. None of the data points exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days or 960 daily trips for an exception day, and the average difference between the Sensys counts and the video counts was less than five percent.

Seven-Day Tube Counts

Last year, Hillbrook School was out of compliance with the Conditional Use Permit during the 2023 Spring Trimester. Because of this, additional week-long tube counts were obtained during the 2024 Spring Trimester. These counts were collected between Friday, February 9 and Thursday, February 15. Table 2 provides a comparison of the tube counts and the Sensys data for the same time period.

Table 2 – Summary of Seven-Day Tube Counts for Spring Trimester 2024

Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Tube	Sensys	Percent Difference	Difference in Trips
2/9/24	Friday	790	738	6.81%	52
2/10/24	Saturday	8	8	0.00%	0
2/11/24	Sunday	0	2	200.00%	2
2/12/24	Monday	792	748	5.71%	44
2/13/24	Tuesday	821	713	14.08%	108
2/14/24	Wednesday	800	750	6.45%	50
2/15/24	Thursday	793	726	8.82%	67
Average		572	526	34.55%	46
School Day Average		799	735	8.37%	64

Note: Red Text = value exceeds conditional use permit threshold

The tube counts were higher than the Sensys counts on six of the seven collection days, resulting in an average percent difference of 8.37 percent on school days. The large percentage difference between the Sunday tube counts and Sensys counts were due to overall low volumes. As the difference in trips between the tube and Sensys counts only differ by two trips, with tube counts showing zero and Sensys showing two, it is unlikely that either system had major errors. With lower volumes, higher variances among the different types of counts are more likely to occur. Also, a representative from Sensys confirmed that their system is designed to continuously auto-calibrate and that the diagnostics platform regularly monitors the health and functionality of all components. Based on this, Sensys considers these ongoing processes to satisfy the audit requirement.

None of the data points exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days or 960 daily trips for an exception day. However, the average difference between the Sensys counts and the tube counts for school days was greater than the five percent limit set in the Conditional Use Permit.

Backup Pneumatic Tube Counts

On February 29, 2024, 912 daily trips were recorded via the Sensys magnetometers. This exceeds the daily threshold of 880 trips for a regular school day specified in the school's Conditional Use Permit. To verify the accuracy of the data for this day, backup counts were subsequently requested from the school's pneumatic tube counter. The pneumatic tube data showed that a total of 874 trips accessed the school campus on February 29, 2024. The pneumatic tube counters are generally considered more accurate than the Sensys counts, and therefore the tube count was used for a more accurate determination of counts on the one day that the total trips recorded trips per the Sensys counts exceeded the 880-trip threshold. When applying the tube count of 874 daily trips, the school did not exceed the maximum number of trips on any day in the Spring Trimester.

2024 Spring Trimester Summary

- During the 2024 Spring Trimester, Hillbrook School did not exceed the maximum number of 880 daily trips. Enclosed, in Table 3, is the daily summary of Sensys counts for the 2024 Spring Trimester. There were seven traffic exception days during the 2024 Spring Trimester. The number of daily trips did not exceed the maximum number of daily trips (960) for an exception day or the maximum number of daily trips (880) for a regular school day.
- The highest number of daily vehicle trips was 876 trips and occurred on Thursday, May 16, 2024.
- The average number of school day vehicle trips for the 2024 Spring Trimester was approximately 748 trips, which is fewer trips than the daily maximum of 880 trips allowed by the Conditional Use Permit.
- Excluding weekends and school holidays, there were 68 instances where the difference between Sensor A and Sensor B was greater than five percent. The average difference between the Sensor A and Sensor B counts was 28 vehicles.
- The cumulative percent difference between Sensor A and Sensor B for the 2024 Spring Trimester was 7.5 percent.
- The largest daily difference between Sensor A and Sensor B was 56 vehicles on Mar 6, 2024 and May 31, 2024. In January 2024, the average daily difference between Sensor A and Sensor B was 12 vehicles. The difference was approximately 15 vehicles in February 2024, 36 vehicles in March 2024, 38 vehicles in April 2024, 37 vehicles in May 2024, and 20 vehicles in June 2024.

Conclusions

Hillbrook School was in compliance with Condition 17 of the school's Conditional Use Permit for the school year 2023-2024 Spring Trimester; the average number of school day vehicle trips was approximately 748 trips. The average difference in traffic counts between the collected counts and the Sensys counts was greater than the five percent threshold specified in Condition 19 of the Conditional Use Permit, though none of the manual counts were in excess of the 880 daily trip limit. However, Condition 19 states that the school is out of compliance if the tube counts exceed the Sensys counts by more than five percent *and* the counts exceed the maximum number of daily trips. Therefore, Hillbrook School was in compliance with the Conditional Use Permit since the counts did not exceed the maximum number of daily trips.

Between the two Sensys sensors there was a cumulative percent difference for the Spring Trimester of 7.5 percent. To ensure accuracy of readings and reduce these discrepancies below the five percent threshold, it is recommended that both Sensys Sensors be calibrated or checked by technicians to produce more consistent results.

The next scheduled monitoring report will be the 2024-2025 Fall Trimester Manual Counts, which is anticipated to be completed in January 2025 prior to the conclusion of Hillbrook School's Fall Trimester. We will continue to provide monthly downloads of Sensys data during the first week of each month.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Mark Spencer". The signature is written in a cursive style with a large initial "M".

Mark Spencer, PE (Traffic)
Senior Principal

MES/ngb/vh/LGA900-3.L4

Enclosures: Spring Trimester Count Summary, 24-Hour Traffic Counts, Seven-Day Tube Counts, February 29 Pneumatic Tube Count



Table 3 – Daily Sensys Count Summary – 2024 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes	
		Exit A	Exit B	Percent Difference	Daily Trips		
01/08/24	Monday	375	379	1.1%	758	First Day of Trimester	
01/09/24	Tuesday	374	373	0.3%	748		
01/10/24	Wednesday	376	381	1.3%	762		
01/11/24	Thursday	427	437	2.3%	874		
01/12/24	Friday	409	410	0.2%	820		
01/13/24	Saturday	10	11	9.5%	22		
01/14/24	Sunday	8	8	0.0%	16		
01/15/24	Monday	24	23	4.3%	48		MLK Jr Day (No School)
01/16/24	Tuesday	411	422	2.6%	844		
01/17/24	Wednesday	418	405	3.2%	836		
01/18/24	Thursday	378	407	7.4%	814		
01/19/24	Friday	378	400	5.7%	800		
01/20/24	Saturday	195	201	3.0%	402		
01/21/24	Sunday	6	5	18.2%	12		
01/22/24	Monday	390	400	2.5%	800		
01/23/24	Tuesday	353	369	4.4%	738		
01/24/24	Wednesday	384	403	4.8%	806		
01/25/24	Thursday	368	388	5.3%	776		
01/26/24	Friday	330	349	5.6%	698		
01/27/24	Saturday	22	20	9.5%	44		
01/28/24	Sunday	9	7	25.0%	18		
01/29/24	Monday	386	403	4.3%	806		
01/30/24	Tuesday	401	396	1.3%	802		
01/31/24	Wednesday	394	403	2.3%	806		
02/01/24	Thursday	399	388	2.8%	798		
02/02/24	Friday	401	399	0.5%	802		
02/03/24	Saturday	7	7	0.0%	14		
02/04/24	Sunday	0	0	0.0%	0		
02/05/24	Monday	393	402	2.3%	804		
02/06/24	Tuesday	397	411	3.5%	822		
02/07/24	Wednesday	357	376	5.2%	752		
02/08/24	Thursday	375	396	5.4%	792		

Table 3 – Daily Sensys Count Summary – 2024 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
02/09/24	Friday	340	369	8.2%	738	
02/10/24	Saturday	3	4	28.6%	8	
02/11/24	Sunday	1	1	0.0%	2	
02/12/24	Monday	351	374	6.3%	748	
02/13/24	Tuesday	360	389	7.7%	713	8th Grade SIL Impact Summit
02/14/24	Wednesday	347	375	7.8%	750	
02/15/24	Thursday	351	363	3.4%	726	
02/16/24	Friday	375	392	4.4%	784	
02/17/24	Saturday	3	3	0.0%	6	
02/18/24	Sunday	4	4	0.0%	8	
02/19/24	Monday	10	12	18.2%	24	February Break (No School)
02/20/24	Tuesday	37	36	2.7%	74	February Break (No School)
02/21/24	Wednesday	44	47	6.6%	94	February Break (No School)
02/22/24	Thursday	40	42	4.9%	84	February Break (No School)
02/23/24	Friday	28	25	11.3%	56	February Break (No School)
02/24/24	Saturday	3	3	0.0%	6	
02/25/24	Sunday	5	5	0.0%	10	
02/26/24	Monday	382	378	1.1%	764	
02/27/24	Tuesday	409	418	2.2%	836	
02/28/24	Wednesday	381	384	0.8%	768	
02/29/24	Thursday	456	455	0.2%	912	Tube counts show 874 trips
03/01/24	Friday	325	378	15.1%	756	
03/02/24	Saturday	6	6	0.0%	12	
03/03/24	Sunday	3	3	0.0%	6	
03/04/24	Monday	315	340	7.6%	680	
03/05/24	Tuesday	365	389	6.4%	778	
03/06/24	Wednesday	322	378	16.0%	756	
03/07/24	Thursday	310	363	15.8%	726	
03/08/24	Friday	336	370	9.6%	740	
03/09/24	Saturday	8	7	13.3%	16	
03/10/24	Sunday	8	7	13.3%	16	
03/11/24	Monday	349	376	7.4%	752	
03/12/24	Tuesday	343	375	8.9%	750	
03/13/24	Wednesday	327	351	7.1%	702	
03/14/24	Thursday	352	390	10.2%	780	

Table 3 – Daily Sensys Count Summary – 2024 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
03/15/24	Friday	337	371	9.6%	742	
03/16/24	Saturday	3	4	28.6%	8	
03/17/24	Sunday	8	8	0.0%	16	
03/18/24	Monday	308	353	13.6%	706	
03/19/24	Tuesday	377	405	7.2%	810	
03/20/24	Wednesday	329	353	7.0%	706	
03/21/24	Thursday	54	63	15.4%	126	
03/22/24	Friday	202	233	14.3%	466	
03/23/24	Saturday	10	9	10.5%	20	
03/24/24	Sunday	0	0	0.0%	0	
03/25/24	Monday	319	362	12.6%	724	
03/26/24	Tuesday	343	373	8.4%	686	
03/27/24	Wednesday	351	390	10.5%	780	
03/28/24	Thursday	388	412	6.0%	824	
03/29/24	Friday	316	354	11.3%	708	
03/30/24	Saturday	0	0	0.0%	0	
03/31/24	Sunday	0	0	0.0%	0	
04/01/24	Monday	138	171	21.4%	342	
04/02/24	Tuesday	246	279	12.6%	558	
04/03/24	Wednesday	261	285	8.8%	570	
04/04/24	Thursday	263	300	13.1%	600	
04/05/24	Friday	244	286	15.8%	572	
04/06/24	Saturday	2	2	0.0%	4	
04/07/24	Sunday	3	3	0.0%	6	
04/08/24	Monday	23	23	0.0%	46	Spring Break (No School)
04/09/24	Tuesday	18	18	0.0%	36	Spring Break (No School)
04/10/24	Wednesday	37	34	8.5%	74	Spring Break (No School)
04/11/24	Thursday	13	14	7.4%	28	Spring Break (No School)
04/12/24	Friday	13	11	16.7%	26	Spring Break (No School)
04/13/24	Saturday	0	0	0.0%	0	
04/14/24	Sunday	3	3	0.0%	6	
04/15/24	Monday	349	377	7.7%	754	
04/16/24	Tuesday	325	380	15.6%	760	
04/17/24	Wednesday	317	357	11.9%	714	
04/18/24	Thursday	331	379	13.5%	758	

Table 3 – Daily Sensys Count Summary – 2024 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
04/19/24	Friday	336	375	11.0%	750	
04/20/24	Saturday	5	6	18.2%	12	
04/21/24	Sunday	4	3	28.6%	8	
04/22/24	Monday	318	365	13.8%	730	
04/23/24	Tuesday	331	369	10.9%	738	
04/24/24	Wednesday	350	373	6.4%	746	
04/25/24	Thursday	324	372	13.8%	744	
04/26/24	Friday	308	346	11.6%	692	Identity Food Festival & Cultural Performances
04/27/24	Saturday	6	5	18.2%	12	
04/28/24	Sunday	2	3	40.0%	6	
04/29/24	Monday	346	381	9.6%	762	
04/30/24	Tuesday	343	378	9.7%	756	
05/01/24	Wednesday	336	361	7.2%	722	
05/02/24	Thursday	366	400	8.9%	800	
05/03/24	Friday	341	376	9.8%	752	
05/04/24	Saturday	9	9	0.0%	18	
05/05/24	Sunday	3	4	28.6%	8	
05/06/24	Monday	398	408	2.5%	816	
05/07/24	Tuesday	369	399	7.8%	798	
05/08/24	Wednesday	348	379	8.5%	758	
05/09/24	Thursday	370	413	11.0%	826	JK/K New Family Admissions Reception
05/10/24	Friday	358	391	8.8%	782	
05/11/24	Saturday	8	9	11.8%	18	
05/12/24	Sunday	3	5	50.0%	10	
05/13/24	Monday	350	379	8.0%	758	
05/14/24	Tuesday	349	394	12.1%	788	
05/15/24	Wednesday	366	408	10.9%	816	8th Grade Musical
05/16/24	Thursday	403	438	8.3%	876	8th Grade Musical
05/17/24	Friday	366	396	7.9%	792	
05/18/24	Saturday	3	4	28.6%	8	
05/19/24	Sunday	4	5	22.2%	10	
05/20/24	Monday	313	347	10.3%	694	
05/21/24	Tuesday	330	377	13.3%	754	

Table 3 – Daily Sensys Count Summary – 2024 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
05/22/24	Wednesday	302	347	13.9%	694	
05/23/24	Thursday	331	376	12.7%	752	
05/24/24	Friday	321	363	12.3%	726	Lower School Exhibition of Learning
05/25/24	Saturday	7	6	15.4%	14	
05/26/24	Sunday	4	6	40.0%	12	
05/27/24	Monday	13	11	16.7%	26	Memorial Day (No School)
05/28/24	Tuesday	362	403	10.7%	806	
05/29/24	Wednesday	346	394	13.0%	788	
05/30/24	Thursday	359	381	5.9%	762	
05/31/24	Friday	368	424	14.1%	848	Alumni Celebration
06/01/24	Saturday	7	7	0.0%	14	
06/02/24	Sunday	5	5	0.0%	10	
06/03/24	Monday	330	364	9.8%	728	
06/04/24	Tuesday	275	280	1.8%	560	Last Day of Trimester

Note: Allowable percent difference less than five percent: daily trip cap 880 trips during school year. Red = value exceeds conditional use permit threshold



Date: 5/7/24
 Location: Marchmont Dr, W-O Entrance Gate
 Site Code: 1
 Time: 24 Hour

Lights					Heavies				
Time	IN	OUT	IN	OUT	Time	IN	OUT	IN	OUT
0:00	0	0			0:00	0	0		
0:15	0	0			0:15	0	0		
0:30	0	0	0	0	0:30	0	0	0	0
0:45	0	0			0:45	0	0		
1:00	0	0			1:00	0	0		
1:15	0	0	0	0	1:15	0	0	0	0
1:30	0	0			1:30	0	0		
1:45	0	0			1:45	0	0		
2:00	0	0			2:00	0	0		
2:15	0	0	0	0	2:15	0	0	0	0
2:30	0	0			2:30	0	0		
2:45	0	0			2:45	0	0		
3:00	0	0			3:00	0	0		
3:15	0	0	0	0	3:15	0	0	0	0
3:30	0	0			3:30	0	0		
3:45	0	0			3:45	0	0		
4:00	0	0			4:00	0	0		
4:15	0	0	0	0	4:15	0	0	0	0
4:30	0	0			4:30	0	0		
4:45	0	0			4:45	0	0		
5:00	0	0			5:00	0	0		
5:15	0	0	3	0	5:15	0	0	1	1
5:30	1	0			5:30	0	0		
5:45	2	0			5:45	1	1		
6:00	1	0			6:00	0	0		
6:15	4	0	6	0	6:15	0	0	0	0
6:30	0	0			6:30	0	0		
6:45	1	0			6:45	0	0		
7:00	4	0			7:00	1	0		
7:15	10	0	142	74	7:15	1	2	6	5
7:30	35	5			7:30	1	1		
7:45	93	69			7:45	3	2		
8:00	38	49			8:00	0	1		
8:15	11	11	59	65	8:15	0	0	0	1
8:30	5	3			8:30	0	0		
8:45	5	2			8:45	0	0		
9:00	0	0			9:00	0	0		
9:15	1	1	6	5	9:15	0	0	0	0
9:30	3	2			9:30	0	0		
9:45	2	2			9:45	0	0		
10:00	0	0			10:00	0	0		
10:15	4	3	8	4	10:15	0	0	0	0
10:30	2	1			10:30	0	0		
10:45	2	0			10:45	0	0		
11:00	3	1			11:00	0	0		
11:15	0	1	7	9	11:15	0	0	0	0
11:30	3	5			11:30	0	0		
11:45	1	2			11:45	0	0		
12:00	2	4			12:00	0	0		
12:15	4	1	12	9	12:15	0	0	1	0
12:30	5	3			12:30	0	0		
12:45	1	1			12:45	1	0		
13:00	1	2			13:00	0	1		

13:15	2	3	8	9	13:15	0	0	0	1
13:30	3	1			13:30	0	0		
13:45	2	3			13:45	0	0		
14:00	4	5	51	15	14:00	0	0	5	1
14:15	3	4			14:15	3	0		
14:30	16	3			14:30	1	1		
14:45	28	3			14:45	1	0		
15:00	26	49	71	113	15:00	0	4	1	4
15:15	16	21			15:15	0	0		
15:30	9	20			15:30	1	0		
15:45	20	23			15:45	0	0		
16:00	4	37	18	65	16:00	1	1	5	5
16:15	5	17			16:15	2	2		
16:30	6	8			16:30	1	1		
16:45	3	3			16:45	1	1		
17:00	2	6	11	26	17:00	0	1	0	1
17:15	5	6			17:15	0	0		
17:30	2	9			17:30	0	0		
17:45	2	5			17:45	0	0		
18:00	0	1	0	1	18:00	0	0	0	0
18:15	0	0			18:15	0	0		
18:30	0	0			18:30	0	0		
18:45	0	0			18:45	0	0		
19:00	0	2	0	3	19:00	0	0	0	0
19:15	0	0			19:15	0	0		
19:30	0	1			19:30	0	0		
19:45	0	0			19:45	0	0		
20:00	1	1	1	2	20:00	0	0	0	0
20:15	0	1			20:15	0	0		
20:30	0	0			20:30	0	0		
20:45	0	0			20:45	0	0		
21:00	0	0	0	0	21:00	0	0	0	0
21:15	0	0			21:15	0	0		
21:30	0	0			21:30	0	0		
21:45	0	0			21:45	0	0		
22:00	0	0	0	2	22:00	0	0	0	0
22:15	0	0			22:15	0	0		
22:30	0	0			22:30	0	0		
22:45	0	2			22:45	0	0		
23:00	0	0	0	0	23:00	0	0	0	0
23:15	0	0			23:15	0	0		
23:30	0	0			23:30	0	0		
23:45	0	0			23:45	0	0		
Total:	403	402	805	Total:	19	19	38		

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 05/07/2024 00:00 PDT

End Date: 05/08/2024 00:00 PDT

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
05/07/2024 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 05:45:00	2.55	1	n/a	n/a	n/a	n/a	n/a
05/07/2024 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 07:15:00	0.55	3	n/a	n/a	1,823.16	1,831.58	n/a
05/07/2024 07:30:00	0.62	6	n/a	n/a	179.49	180.75	n/a
05/07/2024 07:45:00	10.58	74	n/a	n/a	11.30	12.57	n/a
05/07/2024 08:00:00	7.17	52	n/a	n/a	15.93	17.18	n/a
05/07/2024 08:15:00	0.89	9	n/a	n/a	77.19	78.09	n/a
05/07/2024 08:30:00	0.31	3	n/a	n/a	245.38	246.30	n/a
05/07/2024 08:45:00	0.23	2	n/a	n/a	622.75	623.82	n/a
05/07/2024 09:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 09:15:00	0.10	1	n/a	n/a	1,179.66	1,180.60	n/a
05/07/2024 09:30:00	0.28	2	n/a	n/a	423.45	424.84	n/a
05/07/2024 09:45:00	0.03	1	n/a	n/a	1,569.40	1,570.09	n/a
05/07/2024 10:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 10:15:00	0.06	1	n/a	n/a	1,474.66	1,474.94	n/a
05/07/2024 10:30:00	0.09	1	n/a	n/a	1,127.08	1,127.64	n/a

05/07/2024 10:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 11:00:00	0.13	1 n/a	n/a	1,804.13	1,804.91	n/a
05/07/2024 11:15:00	0.06	1 n/a	n/a	783.50	784.63	n/a
05/07/2024 11:30:00	0.51	4 n/a	n/a	262.39	263.21	n/a
05/07/2024 11:45:00	0.18	1 n/a	n/a	955.19	957.02	n/a
05/07/2024 12:00:00	0.36	3 n/a	n/a	116.78	117.96	n/a
05/07/2024 12:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 12:30:00	0.26	2 n/a	n/a	952.08	953.50	n/a
05/07/2024 12:45:00	0.04	1 n/a	n/a	773.03	773.88	n/a
05/07/2024 13:00:00	0.81	5 n/a	n/a	295.13	296.46	n/a
05/07/2024 13:15:00	0.17	1 n/a	n/a	457.67	458.66	n/a
05/07/2024 13:30:00	0.06	1 n/a	n/a	658.27	659.79	n/a
05/07/2024 13:45:00	0.25	3 n/a	n/a	517.08	517.69	n/a
05/07/2024 14:00:00	0.46	5 n/a	n/a	109.11	109.94	n/a
05/07/2024 14:15:00	0.45	4 n/a	n/a	249.64	250.71	n/a
05/07/2024 14:30:00	0.20	2 n/a	n/a	558.90	559.61	n/a
05/07/2024 14:45:00	0.22	2 n/a	n/a	156.60	157.88	n/a
05/07/2024 15:00:00	6.31	49 n/a	n/a	29.19	30.34	n/a
05/07/2024 15:15:00	2.37	20 n/a	n/a	45.07	46.15	n/a
05/07/2024 15:30:00	2.50	21 n/a	n/a	42.68	43.75	n/a
05/07/2024 15:45:00	1.90	19 n/a	n/a	43.59	44.45	n/a
05/07/2024 16:00:00	3.56	36 n/a	n/a	25.99	26.90	n/a
05/07/2024 16:15:00	1.94	14 n/a	n/a	60.41	61.65	n/a
05/07/2024 16:30:00	1.26	8 n/a	n/a	98.89	100.25	n/a
05/07/2024 16:45:00	0.66	5 n/a	n/a	89.81	91.02	n/a
05/07/2024 17:00:00	0.95	7 n/a	n/a	151.26	152.49	n/a
05/07/2024 17:15:00	0.61	6 n/a	n/a	172.66	173.62	n/a
05/07/2024 17:30:00	0.79	8 n/a	n/a	122.19	123.14	n/a
05/07/2024 17:45:00	0.90	5 n/a	n/a	151.23	152.51	n/a
05/07/2024 18:00:00	0.25	1 n/a	n/a	367.05	368.99	n/a
05/07/2024 18:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 18:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 18:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 19:00:00	3.01	2 n/a	n/a	1,915.61	1,917.82	n/a
05/07/2024 19:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 19:30:00	2.54	1 n/a	n/a	1,898.78	1,923.74	n/a
05/07/2024 19:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 20:00:00	2.62	2 n/a	n/a	1,049.02	1,061.07	n/a
05/07/2024 20:15:00	2.56	1 n/a	n/a	645.77	668.06	n/a
05/07/2024 20:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 20:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 21:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 21:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 21:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 21:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 22:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 22:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 22:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 22:45:00	3.08	2 n/a	n/a	4,621.81	4,635.54	n/a
05/07/2024 23:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/07/2024 23:15:00	0	0 n/a	n/a	n/a	n/a	n/a

05/07/2024 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/07/2024 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.68	399	---	n/a	152.80	154.22	n/a



Date: 5/9/24
 Location: Marchmont Dr, W-O Entrance Gate
 Site Code: 1
 Time: 24 Hour

Lights					Heavies				
Time	IN	OUT	IN	OUT	Time	IN	OUT	IN	OUT
0:00	0	0			0:00	0	0		
0:15	0	0	0	0	0:15	0	0	0	0
0:30	0	0			0:30	0	0		
0:45	0	0			0:45	0	0		
1:00	0	0			1:00	0	0		
1:15	0	0	0	0	1:15	0	0	0	0
1:30	0	0			1:30	0	0		
1:45	0	0			1:45	0	0		
2:00	0	0			2:00	0	0		
2:15	0	0	0	0	2:15	0	0	0	0
2:30	0	0			2:30	0	0		
2:45	0	0			2:45	0	0		
3:00	0	0			3:00	0	0		
3:15	0	0	0	0	3:15	0	0	0	0
3:30	0	0			3:30	0	0		
3:45	0	0			3:45	0	0		
4:00	0	0			4:00	0	0		
4:15	0	0	1	1	4:15	0	0	0	0
4:30	1	1			4:30	0	0		
4:45	0	0			4:45	0	0		
5:00	0	0			5:00	0	0		
5:15	1	1	2	1	5:15	0	0	1	1
5:30	0	0			5:30	1	1		
5:45	1	0			5:45	0	0		
6:00	2	0			6:00	0	0		
6:15	0	0	5	0	6:15	0	0	0	0
6:30	1	0			6:30	0	0		
6:45	2	0			6:45	0	0		
7:00	2	2			7:00	0	0		
7:15	8	1	123	73	7:15	1	1	5	2
7:30	23	5			7:30	0	0		
7:45	90	65			7:45	4	1		
8:00	36	44			8:00	0	3		
8:15	6	12	54	63	8:15	0	0	1	4
8:30	5	5			8:30	1	1		
8:45	7	2			8:45	0	0		
9:00	4	2			9:00	0	0		
9:15	3	3	9	7	9:15	0	0	1	1
9:30	0	2			9:30	1	1		
9:45	2	0			9:45	0	0		
10:00	3	0			10:00	0	0		
10:15	0	1	7	1	10:15	0	0	1	0
10:30	1	0			10:30	0	0		
10:45	3	0			10:45	1	0		
11:00	0	1			11:00	1	1		
11:15	0	2	2	8	11:15	1	1	2	3
11:30	1	3			11:30	0	1		
11:45	1	2			11:45	0	0		
12:00	3	1			12:00	0	0		
12:15	3	0	15	8	12:15	0	0	0	0
12:30	5	2			12:30	0	0		
12:45	4	5			12:45	0	0		
13:00	2	2			13:00	0	0		

13:15	2	3	6	9	13:15	0	0	0	0
13:30	2	1			13:30	0	0		
13:45	0	3			13:45	0	0		
14:00	1	3	60	25	14:00	0	0	4	0
14:15	6	5			14:15	2	0		
14:30	16	6			14:30	2	0		
14:45	37	11			14:45	0	0		
15:00	17	57	67	106	15:00	0	4	2	5
15:15	14	11			15:15	0	0		
15:30	18	30			15:30	1	0		
15:45	18	8			15:45	1	1		
16:00	23	7	45	39	16:00	2	2	5	5
16:15	12	9			16:15	0	1		
16:30	3	17			16:30	1	1		
16:45	7	6			16:45	2	1		
17:00	3	3	9	37	17:00	0	1	0	1
17:15	2	11			17:15	0	0		
17:30	2	13			17:30	0	0		
17:45	2	10			17:45	0	0		
18:00	0	14	0	18	18:00	0	0	0	0
18:15	0	1			18:15	0	0		
18:30	0	3			18:30	0	0		
18:45	0	0			18:45	0	0		
19:00	0	3	0	4	19:00	0	0	0	0
19:15	0	0			19:15	0	0		
19:30	0	1			19:30	0	0		
19:45	0	0			19:45	0	0		
20:00	0	0	0	0	20:00	0	0	0	0
20:15	0	0			20:15	0	0		
20:30	0	0			20:30	0	0		
20:45	0	0			20:45	0	0		
21:00	0	0	0	0	21:00	0	0	0	0
21:15	0	0			21:15	0	0		
21:30	0	0			21:30	0	0		
21:45	0	0			21:45	0	0		
22:00	0	0	0	0	22:00	0	0	0	0
22:15	0	0			22:15	0	0		
22:30	0	0			22:30	0	0		
22:45	0	0			22:45	0	0		
23:00	0	0	0	2	23:00	0	0	0	0
23:15	0	0			23:15	0	0		
23:30	0	2			23:30	0	0		
23:45	0	0			23:45	0	0		
Total:	405	402	807		Total:	22	22	44	

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 05/09/2024 00:00 PDT

End Date: 05/10/2024 00:00 PDT

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
05/09/2024 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 04:30:00	2.59	2	n/a	n/a	0.15	1.27	n/a
05/09/2024 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 05:15:00	2.53	1	n/a	n/a	2,770.01	2,792.20	n/a
05/09/2024 05:30:00	2.66	1	n/a	n/a	855.13	877.93	n/a
05/09/2024 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 07:15:00	0.36	1	n/a	n/a	6,017.13	6,041.06	n/a
05/09/2024 07:30:00	0.62	5	n/a	n/a	254.19	255.72	n/a
05/09/2024 07:45:00	10.06	69	n/a	n/a	11.85	13.16	n/a
05/09/2024 08:00:00	5.40	49	n/a	n/a	17.42	18.42	n/a
05/09/2024 08:15:00	1.25	11	n/a	n/a	60.61	61.63	n/a
05/09/2024 08:30:00	0.50	6	n/a	n/a	164.28	164.98	n/a
05/09/2024 08:45:00	0.26	3	n/a	n/a	254.53	255.34	n/a
05/09/2024 09:00:00	0.48	2	n/a	n/a	522.54	523.84	n/a
05/09/2024 09:15:00	0.12	1	n/a	n/a	260.35	263.12	n/a
05/09/2024 09:30:00	0.20	3	n/a	n/a	428.81	429.69	n/a
05/09/2024 09:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 10:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/09/2024 10:15:00	0.04	1	n/a	n/a	2,947.84	2,948.20	n/a
05/09/2024 10:30:00	0	0	n/a	n/a	n/a	n/a	n/a

05/09/2024 10:45:00	0.54	2 n/a	n/a	956.89	957.78	n/a
05/09/2024 11:00:00	0.05	1 n/a	n/a	571.73	575.25	n/a
05/09/2024 11:15:00	0.84	3 n/a	n/a	394.56	396.69	n/a
05/09/2024 11:30:00	0.55	4 n/a	n/a	202.51	203.92	n/a
05/09/2024 11:45:00	0.38	2 n/a	n/a	377.61	378.58	n/a
05/09/2024 12:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 12:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 12:30:00	0.24	3 n/a	n/a	917.46	918.81	n/a
05/09/2024 12:45:00	1.06	3 n/a	n/a	324.64	327.87	n/a
05/09/2024 13:00:00	0.17	1 n/a	n/a	257.08	257.52	n/a
05/09/2024 13:15:00	0.24	3 n/a	n/a	550.43	551.22	n/a
05/09/2024 13:30:00	0.06	1 n/a	n/a	908.85	910.13	n/a
05/09/2024 13:45:00	0.15	1 n/a	n/a	747.77	748.31	n/a
05/09/2024 14:00:00	0.18	2 n/a	n/a	475.49	476.63	n/a
05/09/2024 14:15:00	0.71	4 n/a	n/a	202.81	204.35	n/a
05/09/2024 14:30:00	0.48	4 n/a	n/a	264.09	265.07	n/a
05/09/2024 14:45:00	1.30	11 n/a	n/a	80.71	81.79	n/a
05/09/2024 15:00:00	7.12	57 n/a	n/a	14.93	16.06	n/a
05/09/2024 15:15:00	1.13	9 n/a	n/a	90.07	91.21	n/a
05/09/2024 15:30:00	3.37	29 n/a	n/a	31.91	32.94	n/a
05/09/2024 15:45:00	1.21	9 n/a	n/a	89.54	90.87	n/a
05/09/2024 16:00:00	1.11	10 n/a	n/a	96.45	97.40	n/a
05/09/2024 16:15:00	1.07	10 n/a	n/a	85.08	86.07	n/a
05/09/2024 16:30:00	1.77	14 n/a	n/a	63.53	64.61	n/a
05/09/2024 16:45:00	0.90	7 n/a	n/a	134.69	135.96	n/a
05/09/2024 17:00:00	0.58	5 n/a	n/a	167.36	168.39	n/a
05/09/2024 17:15:00	1.18	12 n/a	n/a	78.97	79.89	n/a
05/09/2024 17:30:00	1.35	14 n/a	n/a	60.27	61.11	n/a
05/09/2024 17:45:00	2.03	10 n/a	n/a	79.06	80.82	n/a
05/09/2024 18:00:00	5.72	15 n/a	n/a	62.26	65.11	n/a
05/09/2024 18:15:00	2.51	1 n/a	n/a	386.27	396.24	n/a
05/09/2024 18:30:00	5.50	4 n/a	n/a	214.42	231.75	n/a
05/09/2024 18:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 19:00:00	5.33	3 n/a	n/a	600.43	609.50	n/a
05/09/2024 19:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 19:30:00	2.56	1 n/a	n/a	1,726.26	1,749.71	n/a
05/09/2024 19:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 20:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 20:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 20:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 20:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 21:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 21:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 21:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 21:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 22:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 22:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 22:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 22:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 23:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/09/2024 23:15:00	0	0 n/a	n/a	n/a	n/a	n/a

05/09/2024 23:30:00	2.88	3	n/a	n/a	4,778.63	4,787.72	n/a
05/09/2024 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.85	413	---	n/a	162.89	164.61	n/a



Date: 5/15/24
 Location: Marchmont Dr, W-O Entrance Gate
 Site Code: 1
 Time: 24 Hour

Lights					Heavies				
Time	IN	OUT	IN	OUT	Time	IN	OUT	IN	OUT
0:00	0	0			0:00	0	0		
0:15	0	0			0:15	0	0		
0:30	0	0	0	0	0:30	0	0	0	0
0:45	0	0			0:45	0	0		
1:00	0	0			1:00	0	0		
1:15	0	0	0	0	1:15	0	0	0	0
1:30	0	0			1:30	0	0		
1:45	0	0			1:45	0	0		
2:00	0	0			2:00	0	0		
2:15	0	0	0	0	2:15	0	0	0	0
2:30	0	0			2:30	0	0		
2:45	0	0			2:45	0	0		
3:00	0	0			3:00	0	0		
3:15	0	0	0	0	3:15	0	0	0	0
3:30	0	0			3:30	0	0		
3:45	0	0			3:45	0	0		
4:00	0	0			4:00	0	0		
4:15	0	0	0	0	4:15	0	0	0	0
4:30	0	0			4:30	0	0		
4:45	0	0			4:45	0	0		
5:00	1	1			5:00	0	0		
5:15	1	1	3	2	5:15	0	0	0	0
5:30	0	0			5:30	0	0		
5:45	1	0			5:45	0	0		
6:00	2	0			6:00	1	0		
6:15	1	0	5	1	6:15	0	1	1	1
6:30	1	1			6:30	0	0		
6:45	1	0			6:45	0	0		
7:00	5	1			7:00	0	0		
7:15	9	3	104	60	7:15	1	1	5	2
7:30	25	7			7:30	0	0		
7:45	65	49			7:45	4	1		
8:00	49	43			8:00	0	2		
8:15	10	13	66	64	8:15	0	0	0	2
8:30	4	4			8:30	0	0		
8:45	3	4			8:45	0	0		
9:00	6	2			9:00	0	1		
9:15	0	1	6	4	9:15	0	0	0	1
9:30	0	1			9:30	0	0		
9:45	0	0			9:45	0	0		
10:00	1	3			10:00	0	0		
10:15	1	2	5	9	10:15	0	0	0	0
10:30	1	0			10:30	0	0		
10:45	2	4			10:45	0	0		
11:00	3	4			11:00	0	0		
11:15	2	3	8	11	11:15	1	1	3	1
11:30	2	1			11:30	0	0		
11:45	1	3			11:45	2	0		
12:00	1	0			12:00	0	2		
12:15	2	1	7	5	12:15	0	0	0	2
12:30	2	3			12:30	0	0		
12:45	2	1			12:45	0	0		
13:00	2	3			13:00	0	0		

13:15	1	2	6	10	13:15	0	0	0	0
13:30	1	3			13:30	0	0		
13:45	2	2			13:45	0	0		
14:00	0	2	54	16	14:00	0	0	4	0
14:15	5	2			14:15	3	0		
14:30	15	2			14:30	0	0		
14:45	34	10			14:45	1	0		
15:00	25	58	44	94	15:00	0	3	2	5
15:15	8	13			15:15	0	1		
15:30	7	19			15:30	1	0		
15:45	4	4			15:45	1	1		
16:00	5	9	25	28	16:00	1	1	4	5
16:15	7	6			16:15	1	1		
16:30	7	8			16:30	1	2		
16:45	6	5			16:45	1	1		
17:00	9	10	18	20	17:00	2	1	6	6
17:15	4	2			17:15	1	2		
17:30	2	4			17:30	2	1		
17:45	3	4			17:45	1	2		
18:00	2	1	18	3	18:00	2	2	9	8
18:15	9	1			18:15	3	2		
18:30	5	1			18:30	1	2		
18:45	2	0			18:45	3	2		
19:00	3	3	6	6	19:00	2	0	2	0
19:15	2	1			19:15	0	0		
19:30	1	2			19:30	0	0		
19:45	0	0			19:45	0	0		
20:00	0	0	3	4	20:00	0	1	1	1
20:15	0	0			20:15	1	0		
20:30	3	1			20:30	0	0		
20:45	0	3			20:45	0	0		
21:00	1	23	1	38	21:00	2	2	2	4
21:15	0	10			21:15	0	2		
21:30	0	5			21:30	0	0		
21:45	0	0			21:45	0	0		
22:00	0	0	0	0	22:00	0	0	0	0
22:15	0	0			22:15	0	0		
22:30	0	0			22:30	0	0		
22:45	0	0			22:45	0	0		
23:00	0	1	0	3	23:00	0	0	0	0
23:15	0	2			23:15	0	0		
23:30	0	0			23:30	0	0		
23:45	0	0			23:45	0	0		
Total:	379	378	757		Total:	39	38	77	

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 05/15/2024 00:00 PDT

End Date: 05/16/2024 00:00 PDT

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
05/15/2024 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 05:00:00	2.55	1	n/a	n/a	n/a	n/a	n/a
05/15/2024 05:15:00	2.52	1	n/a	n/a	623.29	646.27	n/a
05/15/2024 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 06:15:00	2.69	2	n/a	n/a	1,849.99	1,861.92	n/a
05/15/2024 06:30:00	2.96	2	n/a	n/a	396.46	408.15	n/a
05/15/2024 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 07:15:00	0.51	2	n/a	n/a	1,448.97	1,462.91	n/a
05/15/2024 07:30:00	1.23	9	n/a	n/a	133.46	134.85	n/a
05/15/2024 07:45:00	7.61	54	n/a	n/a	15.41	16.69	n/a
05/15/2024 08:00:00	5.04	45	n/a	n/a	17.37	18.39	n/a
05/15/2024 08:15:00	1.20	13	n/a	n/a	68.15	69	n/a
05/15/2024 08:30:00	0.35	3	n/a	n/a	268.64	269.64	n/a
05/15/2024 08:45:00	0.38	3	n/a	n/a	126.34	127.24	n/a
05/15/2024 09:00:00	0.10	1	n/a	n/a	903.46	904.91	n/a
05/15/2024 09:15:00	0.59	3	n/a	n/a	406.49	408.30	n/a
05/15/2024 09:30:00	0.08	1	n/a	n/a	760.67	761.45	n/a
05/15/2024 09:45:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 10:00:00	0.19	2	n/a	n/a	1,000.57	1,001.45	n/a
05/15/2024 10:15:00	0.08	1	n/a	n/a	592.88	593.55	n/a
05/15/2024 10:30:00	0	0	n/a	n/a	n/a	n/a	n/a

05/15/2024 10:45:00	0.28	3 n/a	n/a	661.77	662.48	n/a
05/15/2024 11:00:00	0.21	2 n/a	n/a	546.71	547.77	n/a
05/15/2024 11:15:00	0.58	4 n/a	n/a	269.21	270.70	n/a
05/15/2024 11:30:00	0.22	1 n/a	n/a	697.13	697.36	n/a
05/15/2024 11:45:00	0.76	3 n/a	n/a	198.70	201.25	n/a
05/15/2024 12:00:00	0.47	2 n/a	n/a	513.03	513.83	n/a
05/15/2024 12:15:00	0.11	1 n/a	n/a	1,227.77	1,231.56	n/a
05/15/2024 12:30:00	0.40	3 n/a	n/a	306.30	307.34	n/a
05/15/2024 12:45:00	0.13	1 n/a	n/a	903.97	905.45	n/a
05/15/2024 13:00:00	0.23	3 n/a	n/a	166.12	166.83	n/a
05/15/2024 13:15:00	0.30	1 n/a	n/a	601.67	602.79	n/a
05/15/2024 13:30:00	0.18	2 n/a	n/a	768.10	769.96	n/a
05/15/2024 13:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 14:00:00	0.22	2 n/a	n/a	815.51	816.37	n/a
05/15/2024 14:15:00	0.94	2 n/a	n/a	402.90	407.03	n/a
05/15/2024 14:30:00	0.13	1 n/a	n/a	409.41	410.45	n/a
05/15/2024 14:45:00	1.31	10 n/a	n/a	172.22	173.37	n/a
05/15/2024 15:00:00	7.05	60 n/a	n/a	14.03	15.10	n/a
05/15/2024 15:15:00	1.56	13 n/a	n/a	65.20	66.17	n/a
05/15/2024 15:30:00	1.94	17 n/a	n/a	53.09	54.15	n/a
05/15/2024 15:45:00	0.68	4 n/a	n/a	182.07	183.61	n/a
05/15/2024 16:00:00	1.41	9 n/a	n/a	110.74	112.18	n/a
05/15/2024 16:15:00	0.84	6 n/a	n/a	140.08	141.28	n/a
05/15/2024 16:30:00	1.47	11 n/a	n/a	91.01	92.28	n/a
05/15/2024 16:45:00	0.96	6 n/a	n/a	145.95	147.01	n/a
05/15/2024 17:00:00	1.68	12 n/a	n/a	67.85	69.27	n/a
05/15/2024 17:15:00	0.91	4 n/a	n/a	200.45	202.44	n/a
05/15/2024 17:30:00	1.60	6 n/a	n/a	169.51	171.43	n/a
05/15/2024 17:45:00	2.34	7 n/a	n/a	131.89	135.36	n/a
05/15/2024 18:00:00	1.36	5 n/a	n/a	93.25	95.80	n/a
05/15/2024 18:15:00	1.33	5 n/a	n/a	154.30	156.13	n/a
05/15/2024 18:30:00	1.37	4 n/a	n/a	260.12	262.91	n/a
05/15/2024 18:45:00	1.24	4 n/a	n/a	278.30	282.17	n/a
05/15/2024 19:00:00	0.93	4 n/a	n/a	229.97	231.83	n/a
05/15/2024 19:15:00	0.09	1 n/a	n/a	794.66	795.79	n/a
05/15/2024 19:30:00	0.24	2 n/a	n/a	505.36	506.33	n/a
05/15/2024 19:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 20:00:00	0.37	1 n/a	n/a	1,514.96	1,516	n/a
05/15/2024 20:15:00	0.31	1 n/a	n/a	470.46	473.76	n/a
05/15/2024 20:30:00	0.16	1 n/a	n/a	1,320.73	1,323.51	n/a
05/15/2024 20:45:00	0.89	3 n/a	n/a	440.01	441.70	n/a
05/15/2024 21:00:00	3.65	21 n/a	n/a	39.14	40.87	n/a
05/15/2024 21:15:00	1.70	9 n/a	n/a	68.50	70.21	n/a
05/15/2024 21:30:00	5.33	6 n/a	n/a	163.64	171.48	n/a
05/15/2024 21:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 22:00:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 22:15:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 22:30:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 22:45:00	0	0 n/a	n/a	n/a	n/a	n/a
05/15/2024 23:00:00	2.56	1 n/a	n/a	4,987.68	4,989.42	n/a
05/15/2024 23:15:00	3.28	1 n/a	n/a	1,395.73	1,418.74	n/a

05/15/2024 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
05/15/2024 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.85	408	---	n/a	160.31	162.04	n/a

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Location: Marchmont Dr, W/O Entrance Gate
 Date Range: 2/9/2024 - 2/15/2024
 Site Code: 01

Time	Friday 2/9/2024			Saturday 2/10/2024			Sunday 2/11/2024			Monday 2/12/2024			Tuesday 2/13/2024			Wednesday 2/14/2024			Thursday 2/15/2024			Mid-Week Average		
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total
12:00 AM	0	0	0	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:00 AM	0	0	0	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00 AM	0	0	0	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:00 AM	0	1	1	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00 AM	0	0	0	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5:00 AM	4	1	5	0	0	0	-	-	-	1	0	1	2	1	3	2	0	2	2	1	3	2	1	3
6:00 AM	6	0	6	0	0	0	-	-	-	12	0	12	6	1	7	6	0	6	8	2	10	7	1	8
7:00 AM	167	63	230	0	0	0	-	-	-	147	75	222	132	81	213	122	59	181	139	61	200	131	67	198
8:00 AM	58	69	127	2	2	4	-	-	-	57	64	121	62	59	121	80	63	143	57	59	116	66	60	127
9:00 AM	9	21	30	0	0	0	-	-	-	12	12	24	19	11	30	9	37	46	17	9	26	15	19	34
10:00 AM	5	11	16	1	1	2	-	-	-	12	10	22	9	13	22	15	15	30	13	9	22	12	12	25
11:00 AM	6	7	13	0	0	0	-	-	-	5	7	12	6	7	13	9	9	18	10	12	22	8	9	18
12:00 PM	6	8	14	0	0	0	-	-	-	9	10	19	3	5	8	4	7	11	8	12	20	5	8	13
1:00 PM	6	9	15	0	0	0	-	-	-	7	9	16	5	2	7	7	7	14	9	15	24	7	8	15
2:00 PM	60	15	75	0	0	0	-	-	-	55	17	72	58	18	76	71	26	97	50	23	73	60	22	82
3:00 PM	47	121	168	0	0	0	-	-	-	50	96	146	52	116	168	36	95	131	55	111	166	48	107	155
4:00 PM	22	42	64	1	0	1	-	-	-	25	62	87	28	37	65	25	61	86	30	44	74	28	47	75
5:00 PM	7	15	22	0	1	1	-	-	-	8	20	28	20	17	37	10	21	31	8	18	26	13	19	31
6:00 PM	0	0	0	0	0	0	-	-	-	0	4	4	7	12	19	0	0	0	0	4	4	2	5	8
7:00 PM	0	0	0	0	0	0	-	-	-	1	1	2	2	25	27	0	1	1	1	2	3	1	9	10
8:00 PM	0	0	0	0	0	0	-	-	-	0	1	1	0	3	3	0	0	0	1	0	1	0	1	1
9:00 PM	0	2	2	0	0	0	-	-	-	0	0	0	0	0	0	0	0	0	0	1	1	0	0	0
10:00 PM	0	2	2	0	0	0	-	-	-	0	3	3	0	0	0	0	3	3	0	2	2	0	2	2
11:00 PM	0	0	0	0	0	0	-	-	-	0	0	0	0	2	2	0	0	0	0	0	0	0	1	1
Total	403	387	790	4	4	8	-	-	-	401	391	792	411	410	821	396	404	800	408	385	793	405	400	805
Percent	51%	49%		50%	50%		-	-		51%	49%		50%	50%		50%	51%		51%	49%		50%	50%	
AM Peak	07:00	08:00	07:00	08:00	08:00	08:00	-	-	-	07:00	07:00	07:00	07:00	07:00	07:00	07:00	08:00	07:00	07:00	07:00	07:00	07:00	07:00	07:00
Vol.	167	69	230	2	2	4	-	-	-	147	75	222	132	81	213	122	63	181	139	61	200	131	67	198
PM Peak	14:00	15:00	15:00	16:00	17:00	16:00	-	-	-	14:00	15:00	15:00	14:00	15:00	15:00	14:00	15:00	15:00	15:00	15:00	15:00	14:00	15:00	15:00
Vol.	60	121	168	1	1	1	-	-	-	55	96	146	58	116	168	71	95	131	55	111	166	60	107	155

1. Mid-week average includes data between Tuesday and Thursday.

Thursday, February 29, 2024

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0500	2	0	2	0	0	0	0	0	0	0	0	0	0	0	9.5	-
0600	10	0	8	0	0	0	2	0	0	0	0	0	0	0	8.9	-
0700	221	2	197	11	1	1	5	4	0	0	0	0	0	0	10.1	13.4
0800	135	3	111	13	0	2	3	3	0	0	0	0	0	0	11.3	13
0900	24	1	17	5	0	1	0	0	0	0	0	0	0	0	10	10.5
1000	26	2	19	2	0	0	1	2	0	0	0	0	0	0	10.4	12.3
1100	29	1	23	3	0	0	2	0	0	0	0	0	0	0	11.6	14.3
1200	28	2	19	3	0	1	1	2	0	0	0	0	0	0	11	12.3
1300	19	0	17	1	0	0	1	0	0	0	0	0	0	0	10.2	11.4
1400	97	0	80	15	1	0	0	1	0	0	0	0	0	0	9.5	11.6
1500	148	4	125	8	0	1	7	3	0	0	0	0	0	0	10.7	12.5
1600	97	6	64	10	0	1	9	7	0	0	0	0	0	0	12.5	13.6
1700	31	1	23	3	0	0	1	3	0	0	0	0	0	0	11.9	13.6
1800	2	0	2	0	0	0	0	0	0	0	0	0	0	0	8.7	-
1900	2	0	2	0	0	0	0	0	0	0	0	0	0	0	8.3	-
2000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2200	3	0	3	0	0	0	0	0	0	0	0	0	0	0	8.2	-
07-19	857	22	697	74	2	7	30	25	0	0	0	0	0	0	10.8	13
06-22	869	22	707	74	2	7	32	25	0	0	0	0	0	0	10.7	13
06-00	872	22	710	74	2	7	32	25	0	0	0	0	0	0	10.7	13
00-00	874	22	712	74	2	7	32	25	0	0	0	0	0	0	10.7	13

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	874	22	712	74	2	7	32	25	0	0	0	0	0	0	10.7	13



Hillbrook Bus Routes 2024-2025

BLUE LINE - Serving Sunnyvale, Saratoga, and Los Gatos

Morning Route

Arrives at: 7:15 AM

1291 S Mary Ave, Sunnyvale, CA 94087

Sunnyvale Starbucks

Arrives at: 7:30 AM

20390 Park Pl, Saratoga, CA 95070

Village Preschool

Arrives at: 7:40 AM

276 N Santa Cruz Ave

Parking lot behind OY! Gluten Free Baking

NEW Arrives at: 7:45 AM

151 E Main Street, Los Gatos, 95030

High School Court/Main Street

Arrives at Hillbrook Los Gatos at 7:50 AM

Afternoon Route

NEW

Arrives at: 3:15 PM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

Arrives at: 3:23 PM

151 E Main Street, Los Gatos, 95030

High School Court/Main Street

Arrives at 3:30 PM

140 Saratoga Los Gatos Rd., Los Gatos, 95032

(near Chase Bank & Coldwell Banker)

Public Parking Lot

Arrives at: 3:40 PM

20390 Park Pl, Saratoga, CA 95070

Village Preschool of Saratoga

This bus returns to Hillbrook at 4 PM for the Late Bus runs.

YELLOW LINE - *Serving Santa Clara, Saratoga and Los Gatos*

Morning Route

Arrives at 7:15 AM

3550 Homestead Rd, Santa Clara, CA 95051
(near Homestead Auto Wash)

Lawrence Station Shopping Center

Arrives at 7:25 AM

12855 Paseo Presada, Saratoga, CA 95070

El Quito Park

Arrives at: 7:35 AM

Winchester & Newell, Los Gatos, 95032

Bay Club Courtside (overflow parking lot)

Arrives at 7:45 AM

16445 Shannon Rd, Los Gatos, 95032

Blossom Hill Park

Afternoon Route

Arrives at: 3:15 PM

16445 Shannon Rd, Los Gatos, 95032

Blossom Hill Park

Arrives at: 3:25 PM

14675 Winchester Blvd, Los Gatos, CA 95032

Bay Club Courtside

Arrives at 3:35 PM

12855 Paseo Presada, Saratoga, CA 95070

El Quito Park

Arrives at 3:45 PM

3550 Homestead Rd, Santa Clara, CA 95051

Lawrence Station Shopping Center

Arrives at 4:00 PM

1291 S Mary Ave, Sunnyvale, CA 94087

Sunnyvale Starbucks

GREEN LINE - Serving South San José and Los Gatos

Morning Route

Arrives at: 7:15 AM

1110 Blossom Hill Rd #10, San José, 95118

AT&T Store/Office Max

Arrives at: 7:25 AM

14184 Blossom Hill Rd, Los Gatos, 95032

Blossom Hill Square Shopping Center (behind US Bank)

Arrives at: 7:35 AM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

NEW

Arrives at 7:40 AM

16445 Shannon Rd, Los Gatos, 95032

Blossom Hill Park

Arrives at Hillbrook Los Gatos 7:50 PM

Arrives at 8:05 AM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash - pick up any US students

Afternoon Route

Arrives at: 3:30 PM

240 N 2nd St, San Jose, 95112

Hillbrook Upper School San Jose

Arrives at: 3:40 PM

65 Cahill St, San José, CA 95110

Caltrain Diridon Station

Arrives at: 4:00 PM

20 Cherry Blossom Lane

Congregation Shir Hadash

Arrives at: 5:30 PM

240 N 2nd St, San Jose, 95112

Hillbrook Upper School San Jose

Arrives at: 5:40 PM

65 Cahill St, San José, CA 95110

Caltrain Diridon Station

Arrives at: 6:00 PM

20 Cherry Blossom Lane

Congregation Shir Hadash

RED LINE - *Serving Willow Glen and San José*

Morning Route

Arrives at: 7:00 AM

680 Dana Ave, San José, 95126

Hester Park & Rose Garden Library

Arrives at: 7:10 AM

1309 Willow Street, San José, 95125

Willow & Camino Ramon VTA bus stop

Arrives at: 7:20 AM

Curtner Ave & Radio Ave, San José, CA 95125

Lincoln Glen Park

Arrives at: 7:28 AM

3053 Meridian Ave, San José, 95124

Wells Fargo

Afternoon Route

Arrives at 3:20 PM

14184 Blossom Hill Rd., Los Gatos, 95032

**Blossom Hill Square Shopping Center
(behind US Bank)**

Arrives at: 3:30 PM

3053 Meridian Ave, San José, 95124

Front of Wells Fargo parking lot

Arrives at: 3:38 PM

Curtner Ave & Radio Ave, San José, CA 95125

Lincoln Glen Park

Arrives at: 3:45 PM

1309 Willow Street, San José, 95125

Willow & Camino Ramon VTA stop

Arrives at: 4:00 PM

680 Dana Ave, San José, 95126

Hester Park & Rose Garden Library

Late Bus

Late buses are provided for students participating in after school athletics, activities and enrichment classes.

Shir Hadash - 20 Cherry Blossom Lane

Departs Hillbrook	Arrives to Shir Hadash
4:00 PM	4:05 PM
4:15 PM	4:20 PM
4:30 PM	4:35 PM
4:45 PM	4:50 PM
5:00 PM	5:05 PM

Final Late Bus to San José

Arrives at: 5:05 PM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

Arrives at: 5:30 PM

1309 Willow Street, San José, 95125

Willow & Camino Ramon VTA bus stop

Arrives at 5:40 PM

240 N 2nd St, San Jose 95112

Hillbrook Upper School

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HILLBROOK SCHOOL

Dear Commissioners,

The following is our annual update to the Planning Commission. This update details our compliance with the conditional use permit. As the Planning Commission is aware, the Town Council approved a new CUP for the school in March 2015. Since that approval nine years ago, the school has taken steps to ensure we remain in compliance.

We feel Hillbrook remains fully in compliance with the CUP. In particular, the school has:

- posted the exception days and a list of the evening events for the 2024-25 school year on our publicly accessible neighborhood section of our website as of August 2024 - [link here](#). See below for the full list of exception days and events.
- reorganized our athletic program so that we only have athletic contests on campus at most three days a week and only two days outside
- maintained a robust and mandatory Traffic Demand Management plan (TDM plan). Highlights of the plan can be found on our website - [link here](#).
- Installed and continued to monitor the traffic count monitoring system as approved by the Town of Los Gatos.
- Worked with the Los Gatos Parks & Public Works department to ensure approval of any new bus stops as explained in the CUP.
- Enrolled no more than the 414 maximum number of students on our Los Gatos campus for the 2024-25 school year. As of the first day of school, September 1, we had 366 students enrolled in our JK-8.
- Reduced our summer programs to be in compliance with the requirements described in the CUP.

Over the last few years, we have implemented measures to manage our traffic and to ensure our compliance with the CUP. We have an extensive Traffic Demand Management Plan (TDM plan), that includes:

- A clear expectation for all families that they bike, walk, shuttle, or carpool to school each day.
- A Transportation Coordinator who oversees our TDM and ensures that families understand the expectations and are given support in meeting the requirements.
- Three shuttles that bring students to and from school each day. Overall, more than 40 percent of students are consistently using the shuttles.
- An active carpooling program that includes online maps that help families identify carpool buddies. The Transportation Coordinator supports families looking for carpool matches.
- A traffic and safety monitor who periodically provides support in the neighborhood as well as extensive signage that reminds people to drive slowly through the neighborhood (25 mph on Lower Marchmont and 15 mph on Upper Marchmont).



HILLBROOK SCHOOL

The Planning Commission will see when it reviews our traffic from the 2023-24 school year that we are successfully meeting the expectations of the daily cap of 880 cars (or 440 cars exiting campus). We had no violations of the daily cap during the 2023-24 school year.

We work hard to stay in compliance with the CUP, and we continue to make a concerted effort to be a positive member of the greater Marchmont neighborhood and the Los Gatos community.

Sincerely,

Mark Silver
Head of School

Shannon Hunt-Scott
Chair, Board of Trustees



HILLBROOK SCHOOL

- Active participation in Safe Routes to School. Hillbrook is the only private school in Los Gatos that is an active member of this important organization.
- Various measures to encourage employee carpooling and alternative transportation options, including financial incentives for using alternative forms of transportation.

The following are the exception days for the 2024-25 school year (days in which the school can have up to 480 cars exiting campus):

AUGUST - JANUARY:

- Family Fun Night - Friday, September 6th, 2024
- Back to School Night - Thursday, September 12th, 2024

FEBRUARY - JUNE:

- Winter Concert - Thursday, January 23rd, 2025
- State of the School - Friday, January 24th, 2025
- SIL Impact Summit - Tuesday, March 18th, 2025
- JK - 2nd New Family Admissions Reception - Wednesday, May 7, 2025
- 8th Grade Musical - Wednesday, May 21st and Thursday, May 22nd, 2025

The following are the evening & weekend events for the 2024-25 school year:

AUGUST - DECEMBER:

- Family Fun Night - Friday, September 6, 2024
- Back To School Night - Thursday, September 12th, 2024
- Open House - Saturday, November 16th, 2025

JANUARY - JUNE:

- Winter Concert - Thursday, January 23rd, 2025
- State of the School - Friday, January 24th, 2025
- SIL Impact Summit - Tuesday, March 18, 2025
- 8th Grade Musical - Wednesday, May 21st and Thursday, May 22nd, 2025
- Lower School Exhibition of Learning - Friday, May 23rd, 2025
- 8th Grade Recognition Ceremony - Monday, June 2nd, 2025

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 4

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval for Technical Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence, and a Variance for the Required Front Setback on Property Zoned R-1:8. **Located at 16590 Garden Lane.** APN 424-19-054. Architecture and Site Application S-24-049 and Variance Application V-24-002. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. Property Owner/Applicant: Sunayana Bedi. Project Planner: Erin Walters.

RECOMMENDATION:

Consider a request for approval for technical demolition of an existing single-family residence, construction of a new single-family residence, and a variance for the required front setback on property zoned R-1:8, located at 16590 Garden Lane.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8, Single-Family Residential
Applicable Plans & Standards: General Plan; Residential Design Guidelines
Parcel Size: 12,064 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Commercial	Mixed Use Commercial	CH
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Erin M. Walters
Senior Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of an existing residence.
- As required by Section 29.20.170 of the Town Code for granting a Variance application.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of meeting the required front setbacks.
- The project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The project site is located on the south side of Garden Lane approximately 700 feet west of Gateway Drive (Exhibit 1). The subject property is 12,064 square feet and developed with a single-story, 1,539-square foot single-family residence with a detached 612-square foot garage.

On September 23, 2021, the property owner applied for a Building Permit for an addition and remodel to an existing single-story residence at the subject site. The property owner, designer, civil engineer, and contractor submitted a demolition plan and signed the Demolition Affidavit acknowledging their understanding of the Town's demolition requirements for a non-historic structure per Town Code (Attachment 4).

On July 26, 2023, the Town project planner, and Town Building inspector met on site with the property owners, designer, and contractor to discuss the Town's demolition policy, demolition plan, Demolition Affidavit, and consequences if the project becomes a demolition.

On August 7, 2023, Building Permit B21-0900 was issued for the addition and remodel.

On October 24, 2023, the contractor requested a site visit by the Chief Building Official and planning staff to review the existing conditions of a portion of the exterior walls.

On October 27, 2023, the Building Official, Senior Building Inspector, and project planner met on site with the contractor, property owners, and project designer to review the conditions of the existing exterior walls. Following the review of a portion of the existing walls, the Community Development Director approved the replacement of in-kind non-repairable wall resulting in no change to its exterior appearance or character per Section 29.10.020 of the Town Code as the existing exterior walls did not have appropriate framing. The in-kind replacement walls were required to be rebuilt at the same height as the height of existing walls.

Pursuant to Town Code Section 29.10.020 - Demolition (non-historic structures) means removal of more than fifty (50) percent of the exterior walls. The following is exempt from this definition:

a. Repair. The removal and replacement of in-kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

On November 28, 2023, a revised demolition plan was approved for the subject project.

On July 23, 2024, it was brought to Planning staff's attention by the project Building Inspector, that more than 50 percent of the exterior walls (framing) had been removed at the subject site without notification of or approval by the Community Development Department prior to removal (Attachment 5). This constitutes an unlawful demolition per Town Code and per the revised signed Demolition Affidavit (Attachment 6). A stop work was issued for the Building Permit, the applicant was directed to apply for an Architecture and Site application for a technical demolition of the residence.

On September 12, 2024, the applicant applied for an Architecture and Site Application for the technical demolition of the existing single-family residence and to construct a new single-family residence. In addition, the applicant applied for a Variance application to request a reduced front setback due to the requirement of 10-foot right-of-way dedication required by the Parks and Public Works Department. Pursuant to Town Code the applicant has paid double application fees for the work unlawfully completed. A stop work order on construction for Building Permit B21-0900 remains in place until the proper Planning permits have been obtained.

The proposed project is the same scope of work as the approved Building Permit.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the south side of Garden Lane approximately 700 feet west of Gateway Drive (Exhibit 1). The property is developed with a single-family residence and a detached garage. Single-family residential development surrounds the property to the west, north and east. Commercial development is located behind the subject residential property.

B. Project Summary

The applicant proposes technical demolition of an existing single-family residence, construction of a new single-family residence, and a variance for the required front setback (Exhibit 7).

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The proposed residence is in compliance with the allowable floor area, height, lot coverage, and on-site parking requirements for the property. The project is in compliance with the allowable setbacks with the exception of a request for a reduced front setback requiring a Variance due to the required 10-foot right-of-way dedication.

DISCUSSION:

A. Architecture and Site Application

The existing one-story residence is 1,539 square feet with a 613-square foot detached garage. The applicant proposes to add a 1,004-square foot addition to the existing residence and add a 524-square foot attached garage. The applicant proposes to demolish the existing detached garage. The proposed Development Plans are included in Exhibit 10.

A summary of the floor area for the existing residence and proposed residence is included in the table below.

Floor Area Chart					
	Existing SF	Demolition	Proposed Addition	Total SF	Maximum Allowed SF
Main House - 1 st Floor	1,539		1,004	2,543	3,220
Detached Garage	613	613		0	902
Attached Garage			524	524	902

The proposed project materials include stucco siding, concrete roofing tiles, metal clad windows, and composite cement fiber window and door trim. The design meets the Residential Design Guidelines and was approved through a Building Permit prior to the project's technical demolition.

The applicant has provided a Project Description and a Letter of Justification (Exhibit 7). The applicant has provided photographs of the existing site conditions (Exhibit 8).

B. Neighborhood Compatibility

The subject property is 10,734 square feet with a maximum allowable floor area of 3,220 square feet for the residence, and 902 square feet for the garage. The maximum allowable FAR for the residence and any accessory structure is 0.30. The table below reflects the current conditions of the residences in the immediate neighborhood based on County records and the proposed project.

FAR Comparison - Neighborhood Analysis							
Address	Zoning	Residential SF	Garage SF	Total SF	Lot Area SF	Residential FAR	No. of Stories
211 Oakwood Way	R-1:8	1,685	428	2,113	8,276	0.20	1
215 Oakwood Way	R-1:8	1,154	428	1,582	7,405	0.16	1
253 Oakdale Drive	R-1:8	1,976	428	2,404	10,545	0.19	1
252 Oakdale Drive	R-1:8	1,660	428	2,088	10,019	0.17	1
256 Garden Lane	R-1:8	1,232	462	1,694	8,712	0.14	1
249 Garden Lane	R-1:8	1,781	437	2,218	8,712	0.20	1
245 Garden Lane	R-1:8	1,965	528	2,493	13,504	0.15	1
16570 Garden Lane	R-1:8	4,745	240	4,985	12,268	0.31	2
16590 Garden Lane (E)	R-1:8	1,539	613	2,152	12,064	0.13	1
16590 Garden Lane (P)	R-1:8	2,543	524	3,067	10,734	0.23	1

* Residential square footage does not include garages.
 **The total square footage numbers do not include below grade square footage.

Seven of the eight properties in the immediate neighborhood are developed as one-story residences. The property sizes within the immediate neighborhood range from 7,405 square feet to 13,504 square feet. Based on Town and County records, the residences in the immediate neighborhood range in size from 1,154 square feet to 4,745 square feet. The FAR of the residences in the immediate neighborhood range from 0.14 to 0.31. The applicant is proposing a 2,543-square foot residence and a FAR of 0.23 on a 10,734-square foot parcel. The proposed project would not result in the largest in terms of square footage or FAR in the immediate neighborhood.

C. Right-of-Way Dedication

The project requires a 10-foot right-of-way dedication along Garden Lane, reducing the gross lot size from 12,064 square feet to a net lot size of 10,734 square feet. The 10-foot right-of-way dedication creates a nonconforming front yard setback of 16 feet, one-inch where a minimum of 25 feet is required.

D. Variance Application

The applicant is requesting a Variance from Town Code Section 29.40.405(a) to allow a reduced front yard setback of 16 feet, one-inch where a minimum of 25 feet is required for R-1:8 zoned properties.

As required by Section 29.20.170 of the Town Code, the deciding body, on the basis of the evidence submitted at the hearing, may grant a Variance if it finds that:

1. Because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
2. The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

The applicant has provided the following justifications for the required Variance findings (Exhibit 7):

1. In regard to the first finding, during permitted construction of an addition and remodel to an existing single-story residence more than fifty percent of the exterior wall framing was removed resulting in a technical demolition of the house. A 10-foot right-of-way dedication is required as part of the Architecture and Site application, therefore this requirement reduces the originally provided front setback from 25 feet, seven-inches to 16 feet, one-inch where a 25-foot minimum front yard setback is required. Because of special circumstances applicable to the property, as that the residence is under construction with approved building permits with an established front façade setback and that the property is being required to provide a 10-foot right-of-way dedication the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
2. In regard to finding two, granting of a Variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which the property is situated.

E. Tree Impacts

On April 29, 2024, the Town Arborist visited the site and provided an arborist report providing the current condition of the trees on site (Exhibit 9). Tree protection will be provided on site per the report recommendations.

F. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Project identification signage was installed on the site and written notice was sent to property owners and tenants located within 300 feet of the subject property. At the time of drafting the report no public comments have been received.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for the technical demolition of an existing one-story residence and the construction of a new one-story residence. The proposed project is not the largest in terms of square footage or FAR in the immediate neighborhood. The project is in compliance with the objective standards of the Town Code related to allowable floor area, height, lot coverage, and on-site parking requirements. Due to the approved Building Permit project resulting in a technical demolition, the project is subject to a 10-foot public right-of-way dedication. The applicant requests a Variance from the Town Code Section to allow a reduced front yard setback of 16 feet, 1 inch where a minimum of 25 feet is required for R-1:8 zoned properties to maintain the established front façade setback of the residence that is currently under construction. The proposed project is the same scope of work as the approved Building Permit. A stop work order on construction has been issued for Building Permit B21-0900, until the proper Planning permits have been obtained.

B. Recommendation

Staff recommends that the Planning Commission consider the request and, if merit is found with the proposed project, take the following steps to approve the Architecture and Site application and Variance application:

1. Find that the proposed project is Categorically Exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);
3. Make the required findings as required by Section 29.20.170 of the Town Code for granting a Variance (Exhibit 2);
4. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the required front setbacks (Exhibit 2);
5. Make the finding that the project complies with the Residential Design Guidelines (Exhibit 2);
6. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
7. Approve Architecture and Site application S-24-049 and Variance application V-24-002 with the conditions contained in Exhibit 3 and the development plans in Exhibit 10.

C. Alternatives

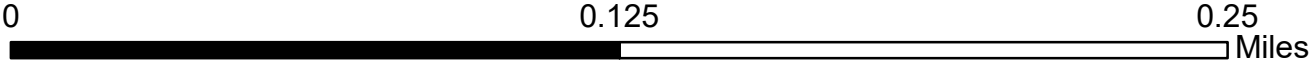
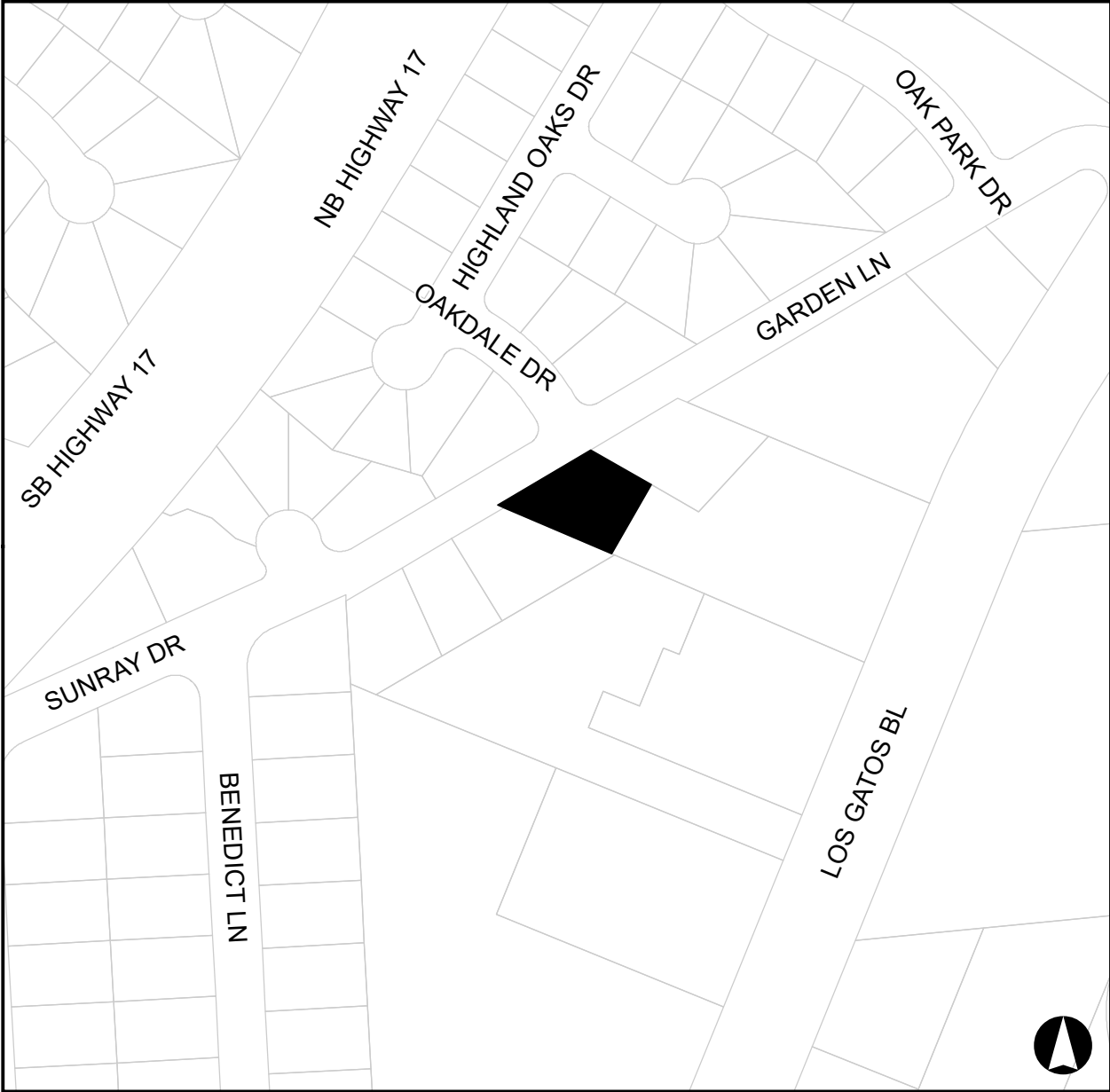
Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Demolition Affidavit, signed May 12, 2023
5. Notice of Unlawful Demolition
6. Demolition Affidavit, signed April 30, 2024
7. Project Description and Letter of Justification
8. Site Photographs
9. Arborist Report
10. Development Plans

16590 Garden Lane



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PLANNING COMMISSION – January 8, 2025
REQUIRED FINDINGS & CONSIDERATIONS FOR:

16590 Garden Lane
Architecture and Site Application S-24-049
Variance Application V-24-002

Consider a Request for Approval for Technical Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence, and a Variance for the Required Front Setback on Property Zoned R-1:8. APN 424-19-054. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures.

Property Owner/Applicant: Sunayana Bedi.

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required finding for the demolition of existing structures:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of an existing residence:
 1. The Town's housing stock will be maintained as the single-family residence will be replaced;
 2. The existing structure has no architectural or historical significance as it was removed from the Historic Resources Inventory prior to application submittal;
 3. The property owner does not desire to maintain the structure as it exists; and
 4. The economic utility of the structures was considered.

Required findings for granting a Variance application:

- As required by Section 29.20.170 of the Town Code for granting a Variance application:
 - (1) Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
 - (2) The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

EXHIBIT 2

Required compliance with the Zoning Regulations:

- The project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of meeting the required front setbacks.

Required compliance with the Residential Design Guidelines:

- The project complies with the Residential Design Guidelines for single-family residences not located in hillside areas.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

PLANNING COMMISSION – January 8, 2025
CONDITIONS OF APPROVAL

16590 Garden Lane
Architecture and Site Application S-24-049
Variance Application V-24-002

Consider a Request for Approval for Technical Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence, and a Variance for the Required Front Setback on Property Zoned R-1:8. APN 424-19-054. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures.

PROPERTY OWNER/APPLICANT: Sunayana Bedi.

TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
7. TREE FENCING: Protective tree fencing and other protection measures consistent with Section 29.10.1005 of the Town Code shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.

10. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
11. **PROJECT IDENTIFICATION SIGN:** The project identification sign on the project site shall be removed within 30 days of approval of the Architecture & Site application.
12. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense. Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant’s sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant’s indemnity obligation.
13. **COMPLIANCE MEMORANDUM:** A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

14. **PERMITS REQUIRED:** A revision to the existing Building Permit B21-0900 will be required with revisions clouded and corresponding revision explanation letter.
15. **APPLICABLE CODES:** The applicable codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.
16. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
17. **SIZE OF PLANS:** Minimum size 24” x 36”, maximum size 30” x 42”.

18. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
19. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.40.020. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
20. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
21. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
22. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

23. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
24. PAYMENT OPTIONS:
 - a. All payments regarding fees and deposits can be mailed to:
Town of Los Gatos PPW – Attn: Engineering Dept
41 Miles Avenue
Los Gatos, CA 95030

Or hand deliver/drop off payment in engineering lock box
Checks made out to **"Town of Los Gatos"** and should mention **address and application number** on memo/note line.

25. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
26. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are [available for download from the Town's website](#).
27. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
28. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
29. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
30. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
31. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
32. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
33. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.

34. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
35. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
36. GRADING: Any grading work, cut/fill, earthwork or combination thereof (completed or proposed on submitted plans) on the parcel over the upcoming two-year period are combined with regards to grading permit thresholds. This also applies to adjacent parcels with identical owners, applicants and or developers.
37. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
38. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. For sites greater than four (4) acres in area:
 - a. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - b. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
 - c. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - d. Replant vegetation in disturbed areas as quickly as possible.
 - e. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
39. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities

and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.

40. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
41. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
42. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
43. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
44. CONSTRUCTION HOURS: All improvements and construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
45. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
46. DELAYED/DEFERRED REPORTS AND REVIEWS: TLGPPW strongly recommend that reports requiring a peer review be submitted and completed prior to committee approval/building permit stage. Note that these reviews may require a design change by the applicant and/or additional studies. Applicants who chose to defer assume risk that required changes may send project back to planning stage.
47. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
48. PRIVATE UTILITIES: Private utilities in town right of way is prohibited and should be located on parcel which it serves, unless otherwise allowed via easement.

49. FOR PLANTERS: The Owner, Applicant and/or Developer shall apply for an encroachment permit for the proposed planters within the public sidewalk and/or Town's right-of-way. The Owner, Applicant and/or Developer shall work with Parks and Public Works Department staff to arrive at a mutually agreeable solution that addresses safety and aesthetic issues. If no solution is reached, the vegetative screening requirement shall be waived. A Private Improvements in the Public Right-of-Way (formerly Indemnity) Agreement will be required if planters are proposed to be located within the Town's right-of-way. A copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any grading or building permits.
50. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits.
51. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
52. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
53. EASEMENTS: Show 10' PUE on plans per title report.
54. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit. An arborist report may be necessary. Please contact Tammy Robnett-Illges, Engineering Administrative Assistant trobnett-illges@losgatosca.gov (408) 399-5771 for more information.
55. DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
 - a. Garden Lane: A 10' foot, (1,374 sq. foot area) right-of-way along Garden Lane shall be dedicated in fee.
56. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

57. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

58. PLAN REVIEW COMMENTS: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
59. The fire department has no comments or conditions. The plans are approved as submitted.
60. This project deem approval and will be using 2019 Town Codes.
61. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance [CFC, Ch.1, 105.3.6].

DEMOLITION AFFIDAVIT

Historic Structures (Located in an historic district, on an historic site, or constructed prior to 1941)

Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

Demolition (historic structures) means:

- Removal of more than twenty-five (25) percent of the wall area facing a public street(s) and/or fifty (50) percent of all exterior wall area; or
- Enclosure or alteration of more than twenty-five (25) percent of the wall area facing a public street and/or fifty (50) percent of the exterior wall area so that they no longer function as exterior walls.

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. There are exemptions for replacement, repair, or removal. Please see Section 29.10.020 for exemptions.

- Exterior wall covering means the exterior finished surface of an exterior wall (i.e. stucco, siding, or shingles).

NonHistoric Structures Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

Demolition (nonhistoric structures) means:

- Removal of more than fifty (50) percent, as measured linearly, of all exterior walls.
- An exterior wall encompasses the total height and width of the studs/structural elements used in framing the side of the building.
- Measurement of existing exterior walls, for the purpose of demolition calculation, is a linear measurement of the perimeter of each floor of the building (the perimeter of the first floor plus the perimeter of the second floor).

There is an exemption for repair. Please see Section 29.10.020 for the exemption.

Additional Information:

- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- The installation of new doors or windows within existing door and window openings does not count as demolition.
- Existing exterior wall framing may not be removed from the existing wall plane, stored elsewhere, and/or replaced.
- Existing exterior wall framing must remain within the existing wall plane.
- The height of the existing wall framing may be increased to accommodate a taller plate height if kept within the existing wall plane.
- The existing top and bottom plate of the wall framing shall remain, and portions may not be removed. If cut, this section of wall framing will be counted as removed.
- Existing exterior wall framing may be lifted if kept within the existing wall plane to be attached to a new foundation or below-grade square footage.

I have read and understand all the information on this page:

Gurmeet Singh 

5/12/2023

Property Owner (Sign & Date)

5/11/23

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of Record (Sign & Date)

Designer



5/11/23

Architect of Record (Sig & Date)

Jose M Garcia

5/11/2023

Contractor of Record (Sign & Date)

EXHIBIT 4

DEMOLITION AFFIDAVIT (continued)

Read this entire page, initial by your title, sign, and date at the bottom.



Property Owner: I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. Furthermore, I am ultimately responsible for all persons working on this project.

Designer

Architect of Record: I certify that I have reviewed the project demolition plan/colorized elevations and verify that it is accurate, does not propose a demolition as defined by the Town, and that the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

Engineer of Record: I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

Contractor of Record: I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town.

I, Engineer of Record, Architect of Record, Property Owner, and Contractor of Record, hereby certify that I have read and fully understand Section 29.10.020 of the Town Code (attached) concerning the definition of an historic structure and the definition of a demolition and that I have read and fully understand Section 29.10.09030 (f) through (l) of the Town Code (attached) concerning penalties associated with unlawful demolition. I understand that if an unlawful demolition occurs, this application and permit will be subject to an additional development review process including a public hearing for which new requirements may be imposed and any existing nonconforming conditions will need to be addressed. New requirements may include undergrounding of electrical service, sidewalk improvements, and right-of-way dedication.

This property is is not historic.

16590 Garden Ln. Los Gatos CA	Building Permit Number B21-0900
PROJECT ADDRESS	Building Permit Number
Angelito M. Perez 5/11/23 Engineer of Record (sign, print, and date)	Gurmeet Singh 5/12/2023 Property Owner (sign, print, and date)
Jose Lopez Designer 5/11/23 Architect of Record (sign, print, and date)	Zion Builders, Jose Garcia - 5/11/2023 Contractor of Record (sign, print, and date)

The information contained in this application is considered part of the public record. Therefore, it will appear in both public record file for the site address, which is available upon request, and on the permitting system on the official Los Gatos website at www.losgatosca.gov. Rev. 8/12

Jose M. Garcia 5/15/2023

Excerpts from Los Gatos Town Code

Chapter 29

Section 29.10.020

Demolition (historic structures) means:

- (1) Removal of more than twenty-five (25) percent of the wall(s) facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of all exterior walls; or
- (2) Enclosure or alteration (i.e.: new window and/or window relocation) of more than twenty-five percent of the walls facing a public street (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of the exterior walls so that they no longer function as exterior walls; or

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

- a. Replacement. The exterior wall covering may be removed if the covering is not original to the structure.
- b. Repair. The removal and replacement of in kind non-repairable exterior wall covering resulting in no change to its exterior appearance or historic character if approved by the deciding body.
- c. Removal. The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

Demolition (non historic structures) means removal of more than fifty (50) percent of the exterior walls. The following is exempt from this definition:

- a. Repair. The removal and replacement of in kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

Excerpts from Los Gatos Town Code

Chapter 29

Section 29.10.09030

Sec. 29.10.09030. Demolitions.

(a) Scope. Applications for demolition permits (Uniform Building Code, section 301(a), or any successor section) filed with the Building Department shall be submitted to the Planning Director for approval unless such permit is required as part of a code enforcement action by the Building Official, Council, or other authorized agency.

(b) Approval of permits. The Planning Director may approve the demolition permit application if:

- (1) It is accompanied by a building permit for a replacement structure which meets all town regulations and has received all required approvals, or

(2) It is for demolition of an accessory building or structure.

(c) Demolition of historic structures. A demolition permit for a historic structure may only be approved if:

(1) The structure poses an imminent safety hazard; or

(2) The structure is determined not to have any special historical, architectural or aesthetic interest or value.

Any request to demolish an historic structure shall be reviewed by the Historic Preservation Committee. All applications to demolish an historic structure which has been identified as a contributor to an existing historic district, a potential historic district, or is eligible for local designation shall be accompanied by a detailed report describing all aspects of the structure's physical condition and shall incorporate pertinent information from the Town's Historic Resources Inventory describing the structure's historical and architectural characteristics. This report shall be prepared by a qualified person knowledgeable in historic preservation under contract with the Town at the applicant's expense. Applications for all other historic structures proposed for demolition shall be accompanied by a detailed report describing all aspects of the structure's physical condition prepared by an architect, licensed design professional or registered civil engineer at the applicant's expense.

(d) Architecture and site approval required. Issuance of a demolition permit requires architecture and site approval if:

(1) The conditions of subsection (b)(1) are not met, or

(2) An application is for demolition of an accessory building or structure and the Planning Director determines for any reason that the accessory building or structure ought not to be demolished.

(e) Findings. In architecture and site approval proceedings, the deciding body shall consider:

(1) Maintaining the Town's housing stock.

(2) Preservation of historically or architecturally significant buildings or structures.

(3) Property owner's desire or capacity to maintain the structure.

(4) Economic utility of the building or structure.

(f) Verification that work will not result in a demolition: Prior to issuance of a building permit and/or zoning approval for an addition where the work will result in the removal of over forty (40) percent of the exterior walls, the developer shall submit written verification from a registered structural engineer, certifying that the exterior walls shown to remain are structurally sound and will not be required to be removed for the addition. Prior to issuance of a building permit, the property owner and contractor shall sign an affidavit to the town that they are aware of the town's definition of a demolition and the penalties associated with an unlawful demolition.

(g) Penalties for unlawful demolition: A property owner who has unlawfully demolished a structure shall:

(1) File the required Planning and Building Department applications and pay the required fees as established by resolution for new applications and for work unlawfully completed.

(2) Be subject to the greater of the following penalties set by the Planning Director as an administration order:

a. If the structure has a Landmark Historic Preservation designation a fine equaling fifteen (15) percent of the building permit valuation at the time of demolition, as determined by the Planning Director; or

b. If the structure was an historic residence and does not have a Landmark Historic Preservation overlay zone, the fine shall be equal to ten (10) percent of the building permit valuation at the time of demolition, as determined by the Planning Director.

If no building permit was issued, the fine shall be assessed on the building permit filed for the replacement structure.

(3) In all cases, no changes to the previously approved plans may be made except as determined by the Planning Director to meet current zoning and building code requirements. No building permits for new construction at this site shall be approved until the required applications have been filed and approved and the required penalty fee has been paid.

(h) Collection of penalty fees. The Town may collect the assessed penalty fees by use of all legal means including the recordation of a lien.

(1) Whenever the amount on the penalty fee pursuant to this chapter has not been satisfied in full within ninety (90) days and/or has not been successfully challenged by a timely writ of mandate, this obligation may constitute a lien against the real property on which the violation has occurred.

(2) The lien provided herein shall have no force and effect until recorded with the county recorder. Once recorded, the administration order shall have the force and effect and priority of a judgment lien governed by the provisions of sections 697.340 of the Code of Civil Procedure and may be extended as provided in sections 683.110 to 683.220, inclusive, of the Code of Civil Procedure.

(3) Interest shall accrue on the principal amount of the judgment remaining unsatisfied pursuant to law.

(4) Prior to recording any such lien, the Planning Director shall prepare and file with the Town Clerk a report stating the amounts due and owing.

(5) The Town Clerk shall fix a time, date and place for hearing such report and any protests or objections thereto by Town Council.

(6) The Planning Director shall cause written notice to be served on the property owner not less than ten (10) days prior to the time set for the hearing.

a. Demolition for Corrective Maintenance. If during the construction process for an approved construction the developer has determined that the structure is in a deteriorated condition that cannot be repaired, an architecture and site application can be filed requesting a demolition without a penalty provided the following conditions have been met:

1. Construction work has ceased, and
2. The work completed prior to filing the application does not classify as a demolition, and
3. Documentation has been provided to justify the necessity of the demolition, and

4. No changes to the previously approved plans will be made except as determined by the Planning Director to meet current zoning and building code requirements. If a planning filing fee was paid for the original addition, this fee shall be credited to the architecture and site application fee. If the Development Review Committee determines that the application cannot be approved, the applicant shall pay the credited fee for the architecture and site application if the application is appealed to the Planning Commission.

(j) **Salvage of Building Materials.** When demolition of a structure is allowed, the town shall provide the developer of the structure to be demolished with information about the salvaging of building materials. At least ten (10) days prior to the date when the demolition is scheduled to commence, the developer shall provide the Planning Director with written notice, and an advertisement published in a newspaper of general circulation, of the availability of materials for salvage, including the name and telephone number of a contact person. Upon request, the Planning Director may make this information available to persons who may be interested in contacting the owner(s) to arrange for possible salvage of building materials. No salvaging of materials shall occur until a demolition permit has been approved by the Building Department.

(Ord. No. 1316, §§ 3.65.010--3.65.040, 6-7-76; Ord. No. 1375, 11-21-77; Ord. No. 1789, § V, 5-15-89; Ord. No. 1887, § I, 2-3-92; Ord. No. 2083, § I, 5-7-01; Ord. No. 2285, § I, 6-18-19; Ord. No. 2295, § I, 11-19-19)

From: Erin Walters

Sent: Tuesday, July 23, 2024 12:38 PM

To: Sunayana Bed [REDACTED]

Cc: Robert Gray <RGray@losgatosca.gov>; Jennifer Armer <JARmer@losgatosca.gov>; Roy Alba <ralba@losgatosca.gov>; Kyle Moore <KMoore@losgatosca.gov>

Subject: Technical Demolition - 16590 Garden Lane -B21-0900 - Stop Work and Apply for Architecture and Site Application

Good Afternoon Sunayana,

It has been brought to staff's attention that more than 50% of the exterior walls (framing) have been removed at 16590 Garden Lane (B21-0900) without notifying the Planning Division prior to removal. This constitutes an unlawful demolition per the Town Code and the Demolition Affidavit for non-historic structures. An exterior wall encompasses the total height and width of studs/architectural element uses in framing the side of the building. See attached signed Demolition Affidavit.

Penalties for Unlawful Demolition

Per Town Code Section Sec. 29.10.09030 (g) A property owner who has unlawfully demolished a structure shall file the required Planning and Building Department applications and pay the required fees as established by resolution for new applications and for work unlawfully completed.

Architecture and Site Application (Planning Application and Public Hearing Required)

Per Town Code apply for an Architecture and Site Application for the approval for technical demolition of an existing single-family residence and construction of a new single-family residence.

Link to Application: <https://www.losgatosca.gov/DocumentCenter/View/361/Development-Review-Application-Package-PDF?bidId=>

See application and submittal requirements on page 7 and 8.

- Submit a pre-application for a A&S application via the Town's online permitting system. <https://www.losgatosca.gov/897/Planning>
- A project planner will review to determine if the application materials are complete.
- Fees will be collected by the project planner.
 - a. Fees: \$13,360.06 x 2 = \$26,720.12 (Per Town Code double application fees for work unlawfully completed.)

Future Building and Engineering Application associated with the A&S:

Please note per Town Code double application fees for work unlawfully completed.

Existing Building Permit B21-0900:

A stop work has been placed on the existing building permit B21-0900. Contact Robert Gray, Chief Building Official, if you have questions.

For reference here is a link to the Demolition Affidavit:

<https://www.losgatosca.gov/DocumentCenter/View/8030/Demolition-Affidavit?bidId=>

Please let me know if you are available to discuss the Architecture and Site Application process on Wednesday, July 24 at noon on the phone or at the planning counter at Town Hall.

Appeal Rights: Per Town Code Section 29.20.255. - Appeals from the decision by the Planning Director. Any interested person as defined in section 29.10.020 may appeal to the Planning Commission any decision of the Planning Director: (4) Determination of an unlawful demolition and/or the penalty and the cost assessment for the unlawful demolition. Per Town Code Section 29.20.260. - Notice of appeal. The appellant must file a written notice of appeal with the Planning Director not more than ten (10) days after the date of mailing of written notification of the Planning Director's decision

Sincerely,



Erin Walters • Associate Planner

Community Development Department • 110 E. Main Street, Los Gatos CA 95030

Ph: 408.354.6867 • 408-354-6872

www.losgatosca.gov • ewalters@losgatosca.gov

COMMUNITY DEVELOPMENT HOURS:

Counter Hours: 8:00 AM – 1:00 PM, Monday – Friday

Phone Hours: 8:00 AM – 5:00 PM, Monday – Friday

All permit submittals are to be done online via our Citizen's Portal platform. All other services can be completed at the counter. For more information on permit submittal, resubmittal, and issuance, please visit the [Building](#) and [Planning](#) webpages.



General Plan update, learn more at <https://www.losgatosca.gov/GeneralPlan>



Housing Element update, learn more at www.losgatosca.gov/HousingElement

Confidentiality Disclaimer

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Think Green, please consider the environment before printing this e-mail.

DEMOLITION AFFIDAVIT

Historic Structures (Located in an historic district, on an historic site, or constructed prior to 1941)

Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

Demolition (historic structures) means:

- Removal of more than twenty-five (25) percent of the wall area facing a public street(s) and/or fifty (50) percent of all exterior wall area; or
- Enclosure or alteration of more than twenty-five (25) percent of the wall area facing a public street and/or fifty (50) percent of the exterior wall area so that they no longer function as exterior walls.

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. There are exemptions for replacement, repair, or removal. Please see Section 29.10.020 for exemptions.

- Exterior wall covering means the exterior finished surface of an exterior wall (i.e. stucco, siding, or shingles).

NonHistoric Structures Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

Demolition (nonhistoric structures) means:

- Removal of more than fifty (50) percent, as measured linearly, of all exterior walls.
- An exterior wall encompasses the total height and width of the studs/structural elements used in framing the side of the building.
- Measurement of existing exterior walls, for the purpose of demolition calculation, is a linear measurement of the perimeter of each floor of the building (the perimeter of the first floor plus the perimeter of the second floor).

There is an exemption for repair. Please see Section 29.10.020 for the exemption.

Additional Information:

- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- The installation of new doors or windows within existing door and window openings does not count as demolition.
- Existing exterior wall framing may not be removed from the existing wall plane, stored elsewhere, and/or replaced.
- Existing exterior wall framing must remain within the existing wall plane.
- The height of the existing wall framing may be increased to accommodate a taller plate height if kept within the existing wall plane.
- The existing top and bottom plate of the wall framing shall remain, and portions may not be removed. If cut, this section of wall framing will be counted as removed.
- Existing exterior wall framing may be lifted if kept within the existing wall plane to be attached to a new foundation or below-grade square footage.

I have read and understand all the information on this page:

Sunayana Bedi 4/30/2024

Property Owner (Sign & Date)

Architect of Record (Sig & Date)

Contractor of Record (Sign & Date)

Contractor of Record (Sign & Date)

DEMOLITION AFFIDAVIT (continued)

Read this entire page, initial by your title, sign, and date at the bottom.

SB **Property Owner:** I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. Furthermore, I am ultimately responsible for all persons working on this project.

_____ **Architect of Record:** I certify that I have reviewed the project demolition plan/colorized elevations and verify that it is accurate, does not propose a demolition as defined by the Town, and that the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

_____ **Engineer of Record:** I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

_____ **Contractor of Record:** I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town.

I, Engineer of Record, Architect of Record, Property Owner, and Contractor of Record, hereby certify that I have read and fully understand Section 29.10.020 of the Town Code (attached) concerning the definition of an historic structure and the definition of a demolition and that I have read and fully understand Section 29.10.09030 (f) through (l) of the Town Code (attached) concerning penalties associated with unlawful demolition. I understand that if an unlawful demolition occurs, this application and permit will be subject to an additional development review process including a public hearing for which new requirements may be imposed and any existing nonconforming conditions will need to be addressed. New requirements may include undergrounding of electrical service, sidewalk improvements, and right-of-way dedication.

This property is is not historic.

16590 Garden Lane, Los Gatos, CA 95032 PROJECT ADDRESS	B23-0805 Building Permit Number
Engineer of Record (sign, print, and date)	Sunayana Bedi Sunayana Bedi 4/30/2024 Property Owner (sign, print, and date)
Architect of Record (sign, print, and date)	Contractor of Record (sign, print, and date)

The information contained in this application is considered part of the public record. Therefore, it will appear in both public record file for the site address, which is available upon request, and on the permitting system on the official Los Gatos website at www.losgatosca.gov. Rev. 8/12

Excerpts from Los Gatos Town Code

Chapter 29

Section 29.10.020

Demolition (historic structures) means:

- (1) Removal of more than twenty-five (25) percent of the wall(s) facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of all exterior walls; or
- (2) Enclosure or alteration (i.e.: new window and/or window relocation) of more than twenty-five percent of the walls facing a public street (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of the exterior walls so that they no longer function as exterior walls; or

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

- a. Replacement. The exterior wall covering may be removed if the covering is not original to the structure.
- b. Repair. The removal and replacement of in kind non-repairable exterior wall covering resulting in no change to its exterior appearance or historic character if approved by the deciding body.
- c. Removal. The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

Demolition (non historic structures) means removal of more than fifty (50) percent of the exterior walls. The following is exempt from this definition:

- a. Repair. The removal and replacement of in kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

Excerpts from Los Gatos Town Code

Chapter 29

Section 29.10.09030

Sec. 29.10.09030. Demolitions.

(a) Scope. Applications for demolition permits (Uniform Building Code, section 301(a), or any successor section) filed with the Building Department shall be submitted to the Planning Director for approval unless such permit is required as part of a code enforcement action by the Building Official, Council, or other authorized agency.

(b) Approval of permits. The Planning Director may approve the demolition permit application if:

- (1) It is accompanied by a building permit for a replacement structure which meets all town regulations and has received all required approvals, or

(2) It is for demolition of an accessory building or structure.

(c) Demolition of historic structures. A demolition permit for a historic structure may only be approved if:

(1) The structure poses an imminent safety hazard; or

(2) The structure is determined not to have any special historical, architectural or aesthetic interest or value.

Any request to demolish an historic structure shall be reviewed by the Historic Preservation Committee. All applications to demolish an historic structure which has been identified as a contributor to an existing historic district, a potential historic district, or is eligible for local designation shall be accompanied by a detailed report describing all aspects of the structure's physical condition and shall incorporate pertinent information from the Town's Historic Resources Inventory describing the structure's historical and architectural characteristics. This report shall be prepared by a qualified person knowledgeable in historic preservation under contract with the Town at the applicant's expense. Applications for all other historic structures proposed for demolition shall be accompanied by a detailed report describing all aspects of the structure's physical condition prepared by an architect, licensed design professional or registered civil engineer at the applicant's expense.

(d) Architecture and site approval required. Issuance of a demolition permit requires architecture and site approval if:

(1) The conditions of subsection (b)(1) are not met, or

(2) An application is for demolition of an accessory building or structure and the Planning Director determines for any reason that the accessory building or structure ought not to be demolished.

(e) Findings. In architecture and site approval proceedings, the deciding body shall consider:

(1) Maintaining the Town's housing stock.

(2) Preservation of historically or architecturally significant buildings or structures.

(3) Property owner's desire or capacity to maintain the structure.

(4) Economic utility of the building or structure.

(f) Verification that work will not result in a demolition: Prior to issuance of a building permit and/or zoning approval for an addition where the work will result in the removal of over forty (40) percent of the exterior walls, the developer shall submit written verification from a registered structural engineer, certifying that the exterior walls shown to remain are structurally sound and will not be required to be removed for the addition. Prior to issuance of a building permit, the property owner and contractor shall sign an affidavit to the town that they are aware of the town's definition of a demolition and the penalties associated with an unlawful demolition.

(g) Penalties for unlawful demolition: A property owner who has unlawfully demolished a structure shall:

(1) File the required Planning and Building Department applications and pay the required fees as established by resolution for new applications and for work unlawfully completed.

(2) Be subject to the greater of the following penalties set by the Planning Director as an administration order:

a. If the structure has a Landmark Historic Preservation designation a fine equaling fifteen (15) percent of the building permit valuation at the time of demolition, as determined by the Planning Director; or

b. If the structure was an historic residence and does not have a Landmark Historic Preservation overlay zone, the fine shall be equal to ten (10) percent of the building permit valuation at the time of demolition, as determined by the Planning Director.

If no building permit was issued, the fine shall be assessed on the building permit filed for the replacement structure.

(3) In all cases, no changes to the previously approved plans may be made except as determined by the Planning Director to meet current zoning and building code requirements. No building permits for new construction at this site shall be approved until the required applications have been filed and approved and the required penalty fee has been paid.

(h) Collection of penalty fees. The Town may collect the assessed penalty fees by use of all legal means including the recordation of a lien.

(1) Whenever the amount on the penalty fee pursuant to this chapter has not been satisfied in full within ninety (90) days and/or has not been successfully challenged by a timely writ of mandate, this obligation may constitute a lien against the real property on which the violation has occurred.

(2) The lien provided herein shall have no force and effect until recorded with the county recorder. Once recorded, the administration order shall have the force and effect and priority of a judgment lien governed by the provisions of sections 697.340 of the Code of Civil Procedure and may be extended as provided in sections 683.110 to 683.220, inclusive, of the Code of Civil Procedure.

(3) Interest shall accrue on the principal amount of the judgment remaining unsatisfied pursuant to law.

(4) Prior to recording any such lien, the Planning Director shall prepare and file with the Town Clerk a report stating the amounts due and owing.

(5) The Town Clerk shall fix a time, date and place for hearing such report and any protests or objections thereto by Town Council.

(6) The Planning Director shall cause written notice to be served on the property owner not less than ten (10) days prior to the time set for the hearing.

a. Demolition for Corrective Maintenance. If during the construction process for an approved construction the developer has determined that the structure is in a deteriorated condition that cannot be repaired, an architecture and site application can be filed requesting a demolition without a penalty provided the following conditions have been met:

1. Construction work has ceased, and
2. The work completed prior to filing the application does not classify as a demolition, and
3. Documentation has been provided to justify the necessity of the demolition, and

4. No changes to the previously approved plans will be made except as determined by the Planning Director to meet current zoning and building code requirements. If a planning filing fee was paid for the original addition, this fee shall be credited to the architecture and site application fee. If the Development Review Committee determines that the application cannot be approved, the applicant shall pay the credited fee for the architecture and site application if the application is appealed to the Planning Commission.

(j) **Salvage of Building Materials.** When demolition of a structure is allowed, the town shall provide the developer of the structure to be demolished with information about the salvaging of building materials. At least ten (10) days prior to the date when the demolition is scheduled to commence, the developer shall provide the Planning Director with written notice, and an advertisement published in a newspaper of general circulation, of the availability of materials for salvage, including the name and telephone number of a contact person. Upon request, the Planning Director may make this information available to persons who may be interested in contacting the owner(s) to arrange for possible salvage of building materials. No salvaging of materials shall occur until a demolition permit has been approved by the Building Department.

(Ord. No. 1316, §§ 3.65.010--3.65.040, 6-7-76; Ord. No. 1375, 11-21-77; Ord. No. 1789, § V, 5-15-89; Ord. No. 1887, § I, 2-3-92; Ord. No. 2083, § I, 5-7-01; Ord. No. 2285, § I, 6-18-19; Ord. No. 2295, § I, 11-19-19)

PROPOSED PROJECT

The existing single family detached house is approximately 1,539 square feet with a detached garage of approximately 612 square feet.

We applied for building permit to demolish the detached garage, remodel the existing house and add approximately 927 square feet to the existing house and add approximately 524 square feet to build a new attached 2 car garage. We received building permit approval on 8/7/2023.

Per the demolition affidavit, less than 50% of the exterior framing was to be removed. However, while framing, and unbeknownst to us, more than 50% of the framing was removed. The project changed hands from one Contractor to another Contractor. Unfortunately, the new Contractor removed more than 50% of the exterior framing, without our knowledge, informing us or our approval. All development thus far has been done by City's approval and we certainly had every intention to inform the City of any change, if any, had we known, but this partial exterior framing removal was unbeknown to us and we were not privy to it.

As a result of this action by the Contractor, a stop-work order was issued on 7/23/2024, which resulted in a technical demolition. We were also informed on 7/23/2024 that we have to apply for an Architecture and Site application as the project had resulted in a demolition.

We are now requesting approval of the demolition of the existing house to consort a brand new single family detached, 1 story house of approximately 2,433 square feet with an attached 2 car garage of approximately 524 square feet.

We request expeditious approval please, as we stand to loose a lot of time, money and workers, if this project is delayed. Thank You!

Respectfully,

DocuSigned by:

Sunayana Bedi

9/10/2024

CC92D4119BBA403...

Sunayana Bedi

Owner

sunayana.bedi@yahoo.com

650.669.3466

LETTER OF JUSTIFICATION # 2

The project requires a 10 foot right of way dedication along Garden Lane. Consequently, this reduces the proposed front setback and requires a Variance application/fees.

Pursuant to Section 29.20.170 of the Town Code

The deciding body, on the basis of the evidence submitted at the hearing, may grant a variance if it finds that:

- (1) Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zone; and
- (2) The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

Based on the justification above, we request a variance.

Respectfully,

Sunayana Bedi

Sunayana Bedi

Owner

sunayana.bedi@yahoo.com

650.669.3466













SUPER Jumbo Tc
Weather-Resistive Barriers

ASTM E2536 Type II
Complies with Federal Specification 709-1, Grade "60" Sheet 2
Low VOC
Made in USA

ES

ES-1027

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TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS DEPARTMENT

PHONE (408) 399-5770

FAX (408) 354-8529

SERVICE CENTER
41 MILES AVENUE
LOS GATOS, CA 95030

June 9, 2023

Ms. Erin Walters, *Associate Planner*
TOWN OF LOS GATOS
Planning Department
110 E. Main Street
Los Gatos, California 95030

Re: Arborist Report – 16590 Garden Lane – B-21-0900

Dear Ms. Walters,

On May 24, 2023, I conducted a site visit at 16590 Garden Lane for the proposed one-story addition and new driveway per your request and have prepared an Arborist Report. See attached tree inventory map and site plan and site photographs.

There are a total of 12 protected trees on-site.

Tree Inventory Table					
Tree Number	Species Name	Trunk Canopy	Condition	Expected Impact	Remove or Save
1	Valley Oak	32 ft	Good	Low	Save
2	Deodar Cedar	30 ft	Poor	Low	Save
3	Deodar Cedar	25 ft	Poor	Low	Save
4	Deodar Cedar	25 ft	Fair	Low	Save
5	Deodar Cedar	27 ft	Fair	Low	Save
6	Coast Redwood	25 ft	Fair		Save
7	Coast Redwood	20 ft	Good	High	Save
8	Coast Redwood	20 ft	Good	High*	Save
9	Red Cedar	15 ft	Poor	Moderate	Save
10	Deodar Cedar	20 ft	Good	Low	Save
11	Deodar Cedar	32 ft	Good	Low	Save
12	Wild Cherry	N/A	Dead – fell over in storm	N/A	Remove

Recommendations:

1. Update existing tree locations to show actual location of tree. On site plans label tree number and diameter.

2. Applicant's team to provide diameter of each tree, fill in table above.
3. *Tree impact depends on proposed scope of work. Applicant to provide new design for garage and driveway. Arborist to review revised design.
4. Tree protection and tree protection signage must be installed prior to issuance of a building permit.
5. The applicant's team may choose to apply for a tree removal permit for Trees 2-5 and Tree 8. Replacement trees or in-lieu fees will be required per Town Code.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. Applicant to include tree table on page A-5.
8. Applicant to print Arborist report on a sheet of the building plans.

For additional questions, please contact me at (408) 761-4530.

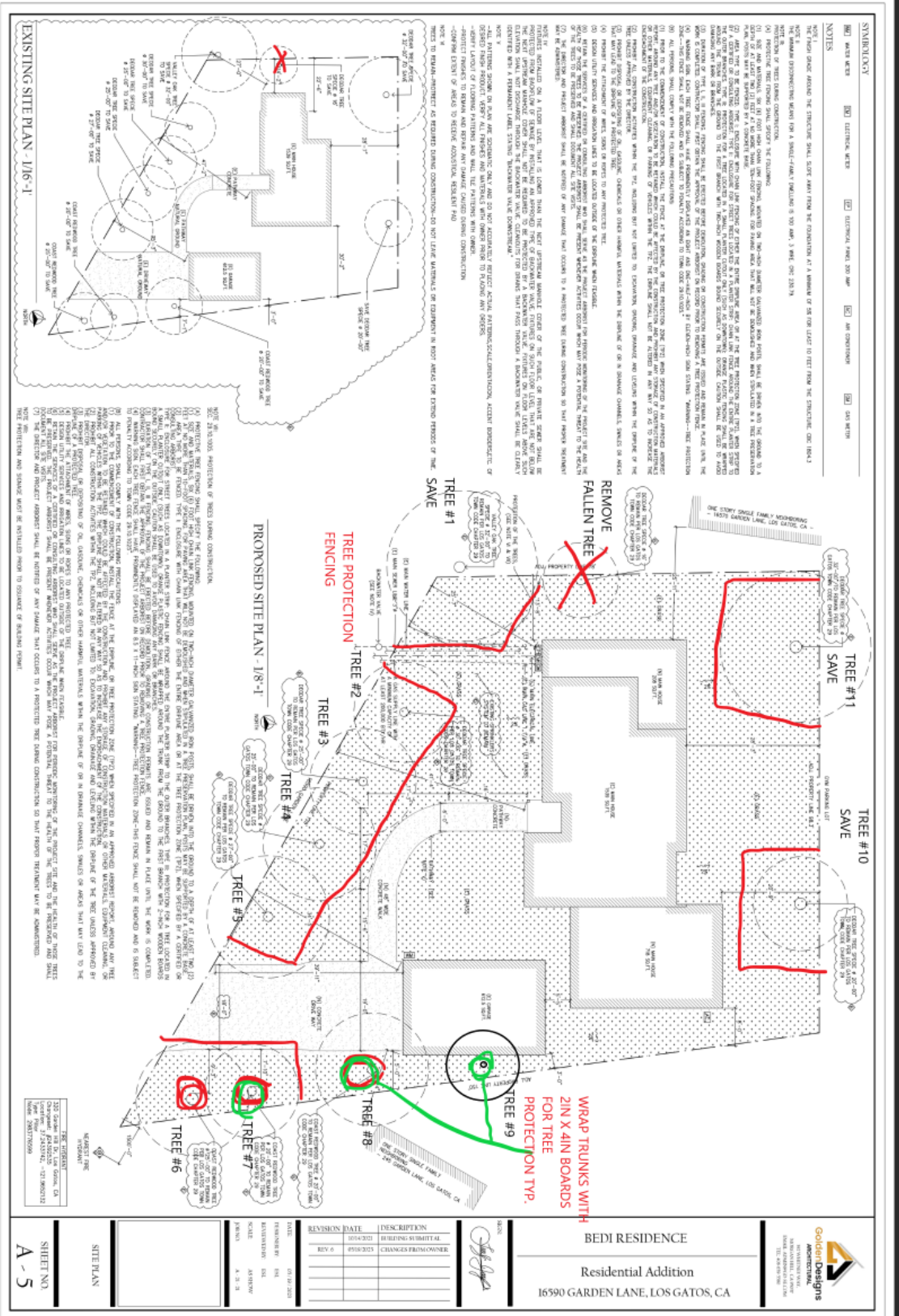
Sincerely,





Rob Moulden, Town Arborist



Attachment 1 – Tree Inventory Map and Site Plan.




Existing and Proposed Site Plan








Attachment 2 – Site Photographs.

Tree Number	Species Name	Photograph
1	Valley Oak	
2	Deodar Cedar	

3	Deodar Cedar		
4	Deodar Cedar		

5	Deodar Cedar		
6	Coast Redwood		
7	Coast Redwood		

8	Coast Redwood		
			
9	Red Cedar		

<p>10</p>	<p>Deodar Cedar</p>		
<p>11</p>	<p>Deodar Cedar</p>		
<p>12</p>	<p>Wild Cherry</p>	<p>N/A – Dead Fallen Tree – To be removed</p>	

Attachment 3 –

Town Code Sec. 29.10.1005. - Protection of trees during construction

(a) *Protective tree fencing shall specify the following:*

(1) *Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.*

(2) *Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.*

(3) *Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.*

(4) *Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."*

(b) *All persons, shall comply with the following precautions:*

(1) *Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.*

(2) *Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.*

(3) *Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.*

(4) *Prohibit the attachment of wires, signs or ropes to any protected tree.*

(5) *Design utility services and irrigation lines to be located outside of the dripline when feasible.*

(6) *Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.*

(7) *The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.*

GENERAL NOTES

- 1) THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FIELD CONDITIONS.
- 2) THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
- 3) PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE REPORTED TO THE ARCHITECT.
- 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE UNIFORM BUILDING CODE, HANDICAP ACCESS CODE AND ALL APPLICABLE ORDINANCES, INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- 5) THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THESE DOCUMENTS SHALL BE INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR IN THE NOTES. DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS SPECIFICALLY INDICATED TO BE DEMOLISHED IN THE CONSTRUCTION DOCUMENT, WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.
- 6) ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- 7) ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE VERIFIED.
- 8) THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE DELAYS AFFECTING OCCUPANCY.
- 9) THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTION AS REQUIRED TO MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COMPLETION DATE.
- 10) THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND FIRE SPRINKLER WORK (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- 11) NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- 12) THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY CONTRACTOR AND SUB-CONTRACTORS.
- 13) THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP AND SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.
- 14) BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
- 15) THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES. THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- 16) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED SUBMITTALS.
- 17) SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT.
- 18) THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- 19) EACH TRADE SHALL EXAMINE THE PREMISES TO ENSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.

DEMILOTION PLAN SHEET NOTES

1. THE DEMOLITION PLAN IS A GRAPHIC REPRESENTATION OF THE EXISTING FIELD CONDITIONS BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT. IT IS NOT INTENDED TO BE A RECORD DRAWING OF THE EXISTING BUILDING. DEMOLITION DRAWINGS ARE DEVELOPED TO SHOW BOUNDARIES AND SCOPE TO NON-STRUCTURAL DEMOLITION OF SELECTED ITEMS. THE CONTRACTOR SHALL PERFORM A DETAILED WALK-THROUGH WITH THE CLIENT'S REPRESENTATIVE TO CONFIRM THE SCOPE OF WORK, VERIFY THE EXISTING CONDITIONS, AND ALL CONFLICTS WITH THE SCHEDULED SCOPE OF WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF AND REPLACEMENT OF EXISTING UTILITIES AS REQUIRED TO COMPLETE THE NEW SCOPE OF WORK AS SHOWN IN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL THE PERTINENT CITY AND COUNTY REQUIREMENTS FOR DEMOLITION, INCLUDING, BUT NOT LIMITED TO, REMOVAL OF DEBRIS, BUILDING PROTECTION, LOCATION AND TYPE OF CONTAINERS AND THE DISCARDING OF MATERIALS.
3. THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE TOXIC MATERIALS AND DOES NOT AUTHORIZE THE DEMOLITION AND/OR REMOVAL OF TOXIC MATERIALS. ALL TOXIC MATERIALS DISCOVERED DURING THE FIELD INSPECTION AND THE DEMOLITION OF THE WORK SCOPE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. ALL DEMOLITION AND REMOVAL OF TOXIC MATERIALS SHALL BE IN CONFORMANCE WITH ALL STATE AND LOCAL CODES. ALL PERMITS AND APPROVALS SHALL BE CONTAINED AND COPIES GIVEN TO THE OWNER'S REPRESENTATIVE FOR RECORD.
4. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL-OSHA) FOR DEMOLITION AND THE PROTECTION OF PUBLIC AREAS AND THE SURROUNDING AREAS.
5. THE CONTRACTOR SHALL MAKE A DETAILED SURVEY OF THE AREAS OF WORK AND DETERMINE THE METHOD OF REMOVED SCHEDULED WORK WITHOUT DAMAGE TO AREAS THAT ARE NOT SCHEDULED FOR DEMOLITION. CONTRACTOR SHALL REPAIR ALL DAMAGED WORK AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL REQUEST, AT HIS OPTION, AS BUILT-DRAWINGS TO BE MADE AVAILABLE TO HIM FOR THE PURPOSES OF VERIFYING THE SCOPE OF WORK AND TO AID IN DETERMINING TOTAL COSTS OF DEMOLITION. THE USE OF AS-BUILT DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WALK-THROUGH AS SCHEDULED HEREIN.
7. ITEMS SCHEDULED TO BE SALVAGED AND OR RELOCATED SHALL BE KEPT CLEAN AND IN THEIR ORIGINAL CONDITION. ITEMS DAMAGED OR LOST SHALL BE REPLACED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. EXISTING FIRE SPRINKLERS, SMOKE DETECTORS AND CARBON MONOXIDE ALARMS ARE TO REMAIN OPERATIONAL DURING CONSTRUCTION.
9. IN THE PRESENCE OF ASBESTOS, THE CONTRACTOR IS TO ABATE.

WASTE MANAGEMENT PLAN

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR CALL WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

CAL GREEN 4.106.2 REQUIRES THAT DURING CONSTRUCTION, STORM WATER FROM THE PROPERTY REMAINS ON THE PROPERTY. UTILIZING CATCH BASIN, WATTLES, STRAW AND FILTERS.

VEHICLE & CONSTRUCTION EQUIPMENT SERVICE AND STORAGE

AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTES SHALL BE PROMPTLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION AND SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.

STANDARD EROSION CONTROL NOTES

1. SEDIMENT CONTROL MANAGEMENT:
TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED, AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR, MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION:
ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND POTENTIAL FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST.
STORM WATER RUNOFF:
NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED.
DUST CONTROL:
THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.
STOCKPILING:
EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
2. EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
3. INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
4. PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
5. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.
6. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.

STANDARD BEST MANAGEMENT PRACTICE NOTES

1. SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST.
2. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
3. SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST.
4. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE: AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFFSITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
5. MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
6. HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE, HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
7. PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
8. CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
9. SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
10. INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

FIRE DEPARTMENT NOTE

FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.

PROVIDE CLASS A ROOF COVERING. THE ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER ROOF COVERING.

EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING: BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 72406 SAFETY GLAZED OR CONSTRUCTED OF GLASS BLOCK UNITS OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257 OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA.

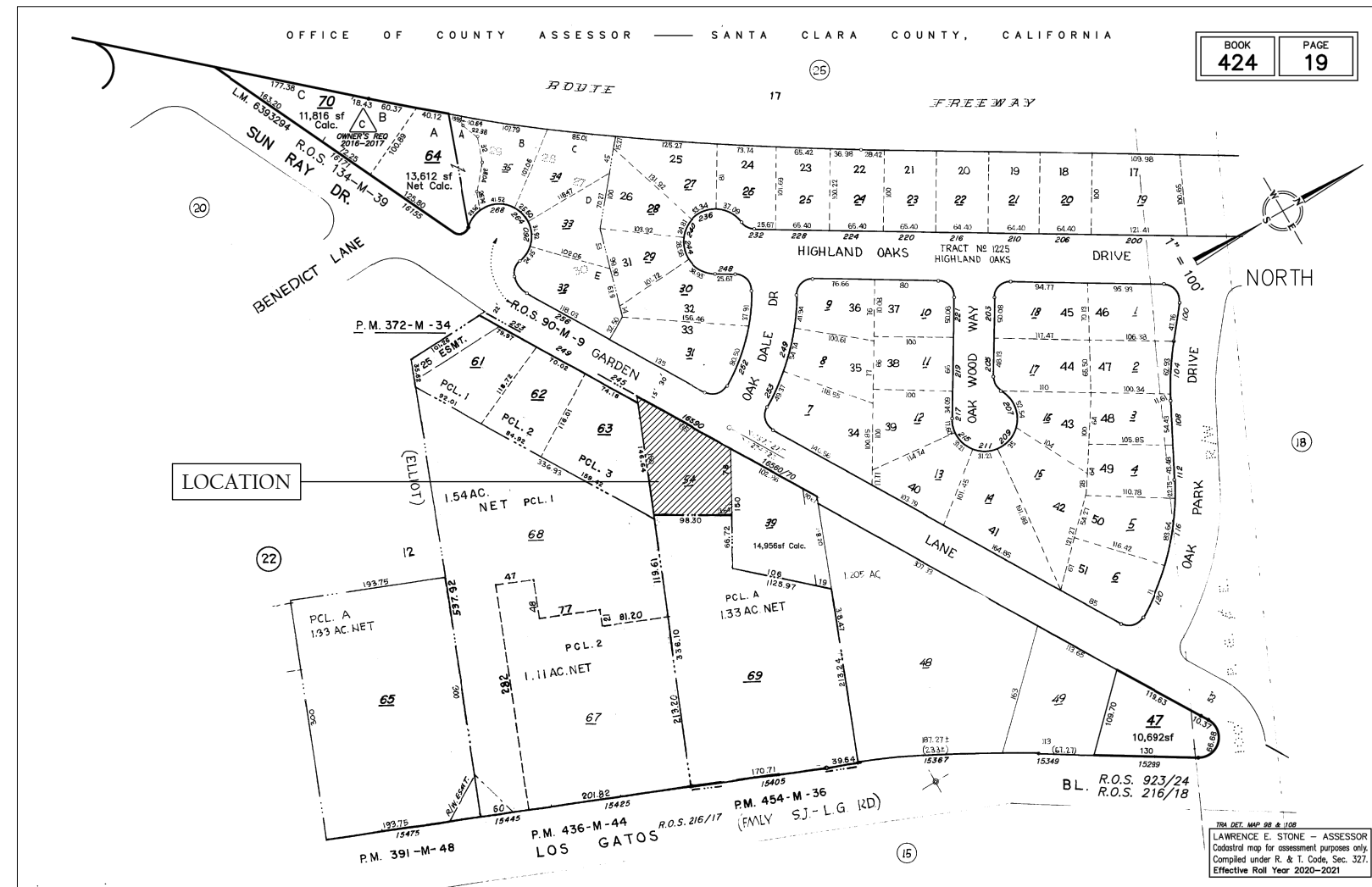
ARCHITECTURE AND SITE APPLICATION S-24-049- AND VARIANCE APPLICATION V-24-0xx

PROJECT TEAM	PROJECT DATA	SHEET INDEX																																																																																																																											
OWNER: SUNAYA BEDI TEL: 165 – 0669 – 3466 sunaya.bedi@yahoo.com DESIGNER: JOSE LOPEZ DESIGN MANAGER 392 WHITNEY WAY, MORGAN HILL, CA 95037 TEL: 408 – 659 – 5780 ADMIN@GD-SE.COM ENERGY CONSULTANT: CARSTAIRS ENERGY INC. 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 WWW.CARSTAIRSENERGY.COM TEL: (805) – 904 9048 TITLE24@YAHOO.COM	<table border="1"> <tr><td>ASSESSOR'S PARCEL No:</td><td>424 – 19 – 054</td></tr> <tr><td>ZONING:</td><td>R-3U</td></tr> <tr><td>BUILDING TYPE:</td><td>VB</td></tr> <tr><td>EXISTING GROSS:</td><td>12,064.00 SQ.FT.</td></tr> <tr><td>NET LOT SIZE:</td><td>10,734.31 SQ.FT.</td></tr> <tr><td>FIRE SPRINKLERS:</td><td>NON SPRINKLERS</td></tr> <tr><td>FLOOD ZONE:</td><td>NO</td></tr> <tr><td>ZONING:</td><td>R-1:8</td></tr> </table>	ASSESSOR'S PARCEL No:	424 – 19 – 054	ZONING:	R-3U	BUILDING TYPE:	VB	EXISTING GROSS:	12,064.00 SQ.FT.	NET LOT SIZE:	10,734.31 SQ.FT.	FIRE SPRINKLERS:	NON SPRINKLERS	FLOOD ZONE:	NO	ZONING:	R-1:8	ARCHITECTURE A-1 COVER SHEET. A-2 CALGREEN RESIDENTIAL MANDATORY. A-3 CALGREEN RESIDENTIAL MANDATORY. A-4 SITE PLAN. A-5 ARBORIST REPORT A-6 EXISTING FLOOR PLAN. A-7 EXISTING ELEVATIONS. A-8 PROPOSED FLOOR PLAN. A-9 PROPOSED ELEVATIONS. A-10 PROPOSED ROOF PLAN. A-11 FOUNDATION VENT AND SECTIONS. A-12 EXISTING AND PROPOSED AREAS. E-1 ELECTRICAL PLAN. E-2 GENERAL NOTES.																																																																																																											
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FLOOR AREA RATIO CALCULATION <p>$FAR = .35 - \frac{((A-5) \times 0.20)}{25}$</p> <p>*WHERE: "A" IS THE NET LOT AREA IN THOUSANDS OF S.F. (E.G. 7,500 S.F. IS WRITTEN AS 7.5)</p> <p>* NOTE: THE PRODUCT OF THE FAR EQUATION WILL BE A DECIMAL. FOR EXAMPLE, .326 IS THE FAR FOR AN 8,000 S.F. LOT. TO CALCULATE THE MAXIMUM LIVING AREA, MULTIPLY THE FAR BY THE LOR AREA AS FOLLOWS: .326 x 8,000 S.F. = 2,608 S.F. OF MAXIMUM LIVING AREA</p> <p>A = 10,734.31 SQ.FT. (LOT AREA)</p> <p>$FAR = .35 - \frac{((10,734-5) \times 0.20)}{25} = .3042$</p> <p>$= 12,064 \times .3042 = 3,663.37 \text{ SQ.FT. (MAXIMUM ALLOWED F.A.R. AREA)}$</p> <p>1539 S.F. EXISTING F.A.R. (FLOOR AREA RATIO)</p> <p>2,594 S.F. TOTAL PROPOSED F.A.R.</p>		ABBREVIATIONS <table border="1"> <tr> <td>AA. ATTIC ACCESS</td> <td>FW. FIXED WINDOW</td> <td>SHW. SINGLE HUNG WINDOW</td> </tr> <tr> <td>AC. AIR CONDITIONER</td> <td>GAR. GARAGE</td> <td>SQ.FT. SQUARE FEET</td> </tr> <tr> <td>ADJ. ADJACENT</td> <td>GBR. GUEST BEDROOM</td> <td>S.L. 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ADDITIONAL NOTES

- NOTE I: THE BUILDER MUST BE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.
- NOTE II: DOCUMENTATION SHALL BE PROVIDED. PRIOR TO FIRST INSPECTION, CONFIRM COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.5.
- NOTE III:
 A.- ALL ADHESIVE, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR; CGBSC 4.504.2.4.
 B.- PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

VICINITY MAPS



CITY STAMPS

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024

DESIGNER BY: ESL

REVIEWED BY: ESL

SCALE: AS SHOW

JOB NO: A -21 -21

COVER SHEET

SHEET NO. A-1

EXHIBIT 10

Golden Designs
Structural Engineering

392 WHITNEY WAY,
MORGAN HILL, CA 95037
EMAIL: ADMIN@GD-SE.COM
TEL: 408-659-5580

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN: *[Signature]*

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

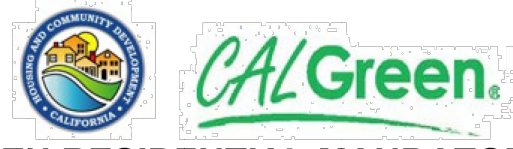
DATE: 10/16/2024

DESIGNER BY: ESL

REVIEWED BY: ESL

SCALE: AS SHOW

JOB NO: A -21 -21



2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

CHAPTER 1 – ADMINISTRATION	
SECTION	REQUIREMENTS
Scope	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
CHAPTER 3 – GREEN BUILDING	
SECTION	REQUIREMENTS
Additions and alterations	
301.1.1	<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings.
Low-rise and high-rise residential buildings	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
Mixed occupancy buildings	
302.1	Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy. Exceptions: <ul style="list-style-type: none"> Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.



2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
Storm water drainage and retention during construction	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
Grading and paving	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations which do not alter the existing drainage path.
Electric vehicle (EV) charging for new construction	
4.106.4	<ul style="list-style-type: none"> Comply with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: <ol style="list-style-type: none"> On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon 1 of the following: <ol style="list-style-type: none"> Where there is no commercial power supply. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit. Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities. Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see CALGreen Chapter 2.



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2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
EV charging: 1- & 2-family dwellings/townhouses with attached private garages	
4.106.4.1	<ul style="list-style-type: none"> Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Identification	
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
EV charging for multifamily dwellings	
4.106.4.2	<ul style="list-style-type: none"> Applies to all multifamily dwelling units with parking facilities on the site. 10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.



2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
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2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
EV charging space (EV space) locations	
4.106.4.2.1	Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least 1 EV space shall be located in the common use parking areas and shall be available for use by all residents.
EV charging stations (EVCS)	
4.106.4.2.1.1	When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3.) shall comply with at least 1 of the following options: <ol style="list-style-type: none"> The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2. Exception: EVCS designed and constructed in compliance with the California Building Code Chapter 11B are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.
EV charging space (EV space) dimensions	
4.106.4.2.2	EV spaces shall be designed to comply with the following: <ol style="list-style-type: none"> The minimum length of each EV space shall be 18 feet. The minimum width of each EV space shall be 9 feet. In every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.



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2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
SECTION	REQUIREMENTS
Single EV space required	
4.106.4.2.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required	
4.106.4.2.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
Identification	
4.106.4.2.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.



2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
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HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
EV charging for hotels and motels	
4.106.4.3	<ul style="list-style-type: none"> Applies to all newly constructed hotels and motels. Construction documents shall identify the location of EV spaces. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.
Number of required EV spaces	
4.106.4.3.1	Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.
EV charging space (EV space) dimensions	
4.106.4.3.2	EV spaces shall be designed to comply with the following: <ul style="list-style-type: none"> Minimum length of each EV space shall be 18 feet. Minimum width of each EV space shall be 9 feet.
Single EV space required (similar to 4.106.4.2.3)	
4.106.4.3.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.



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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
SECTION	REQUIREMENTS
Multiple EV spaces required (similar to 4.106.4.2.4)	
4.106.4.3.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
Identification (similar to 4.106.4.2.5)	
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
Accessible EV spaces	
4.106.4.3.6	In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.
Division 4.2 – ENERGY EFFICIENCY	
Scope	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2019 California Energy Code.



2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
SECTION	REQUIREMENTS
Water conserving plumbing fixtures and fittings	
4.303.1	Plumbing fixtures and fittings shall comply with the following: <ul style="list-style-type: none"> 4.303.1.1 – Water closets: ≤ 1.28 gal/flush. 4.303.1.2 – Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush. 4.303.1.3.1 – Single showerheads: ≤ 1.8 gpm @ 80 psi. 4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time. 4.303.1.4.1 – Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi. 4.303.1.4.2 – Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi. 4.303.1.4.3 – Metering faucets: ≤ 0.2 gallons per cycle. 4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
Standards for plumbing fixtures and fittings	
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
Outdoor potable water use in landscape areas	
4.304.1	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY	
Rodent proofing	
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.



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BEDI RESIDENCE

 16590 GARDEN LANE, LOS GATOS, CA

SIGN:

[Signature]

REVISION	DATE	DESCRIPTION
10/16/2024		BUILDING SUBMITTAL

DATE: 10/16/2024
 DESIGNER BY: ESL
 REVIEWED BY: ESL
 SCALE: AS SHOWN
 JOB NO: A-21-21

CITY STAMPS

CALGREEN RESIDENTIAL MANDATORY

SHEET NO. **A-2**

CALGreen.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Construction waste management	
4.408.1	<ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Provide documentation to the enforcing agency per Section 4.408.5. <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
Construction waste management plan	
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
Waste management company	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.

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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Waste stream reduction alternative [LR]	
4.408.4 & 4.408.4.1	<ul style="list-style-type: none"> Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
Operation and maintenance manual	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
Recycling by occupants	
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
Division 4.5 – ENVIRONMENTAL QUALITY	
Fireplaces - General	
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.

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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Protection of mechanical equipment during construction	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
Adhesives, sealants and caulks	
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.
Paints and coatings	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Aerosol paints and coatings	
4.504.2.3 & 4.504.2.4	<ul style="list-style-type: none"> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4.
Carpet systems	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). NSF/ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold.
Carpet cushion	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
Carpet adhesive	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Resilient flooring systems	
4.504.4	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with 1 or more of the following: <ol style="list-style-type: none"> Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
Composite wood products	
4.504.5 & 4.504.5.1	<ul style="list-style-type: none"> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).

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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Concrete slab foundations	
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
Capillary break	
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: <ol style="list-style-type: none"> A 4-inch thick base of 1/2 inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
Moisture content of building materials	
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none"> Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.

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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Bathroom exhaust fans	
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none"> Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. <ol style="list-style-type: none"> Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.
Heating and air-conditioning system design	
4.507.2	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: <ol style="list-style-type: none"> The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

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See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE	
SECTION	REQUIREMENTS
CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS	
Installer training	
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: <ol style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
Special inspection	
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
Documentation	
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

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Golden Designs
Structural Engineering

392 WHITNEY WAY,
MORGAN HILL, CA 95037
EMAIL: ADMIN@GD-SE.COM
TEL: 408 659 5580

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
1	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A-21-21

CITY STAMPS

CALGREEN
RESIDENTIAL
MANDATORY

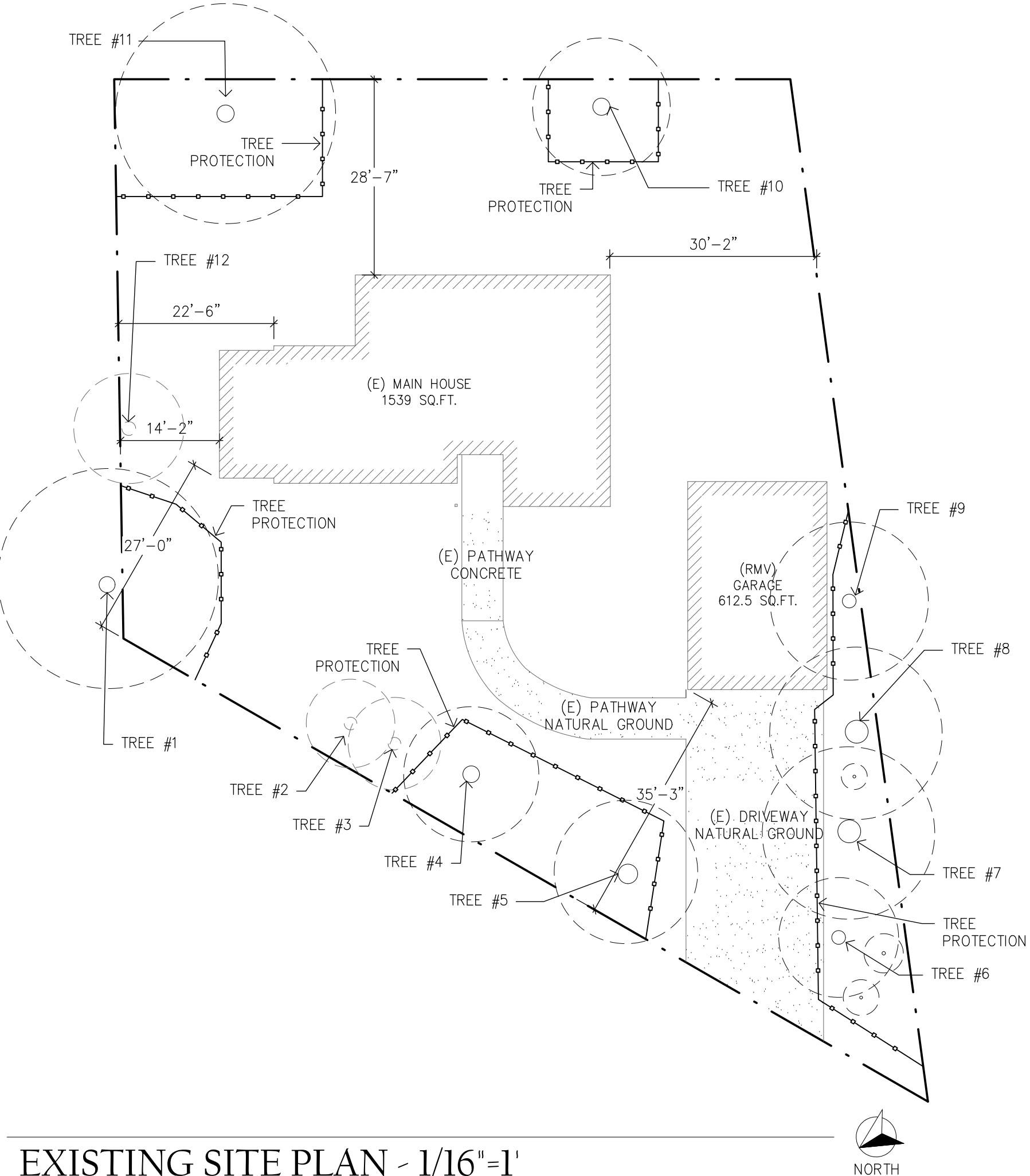
SHEET NO.
A - 3

SYMBOLOLOGY

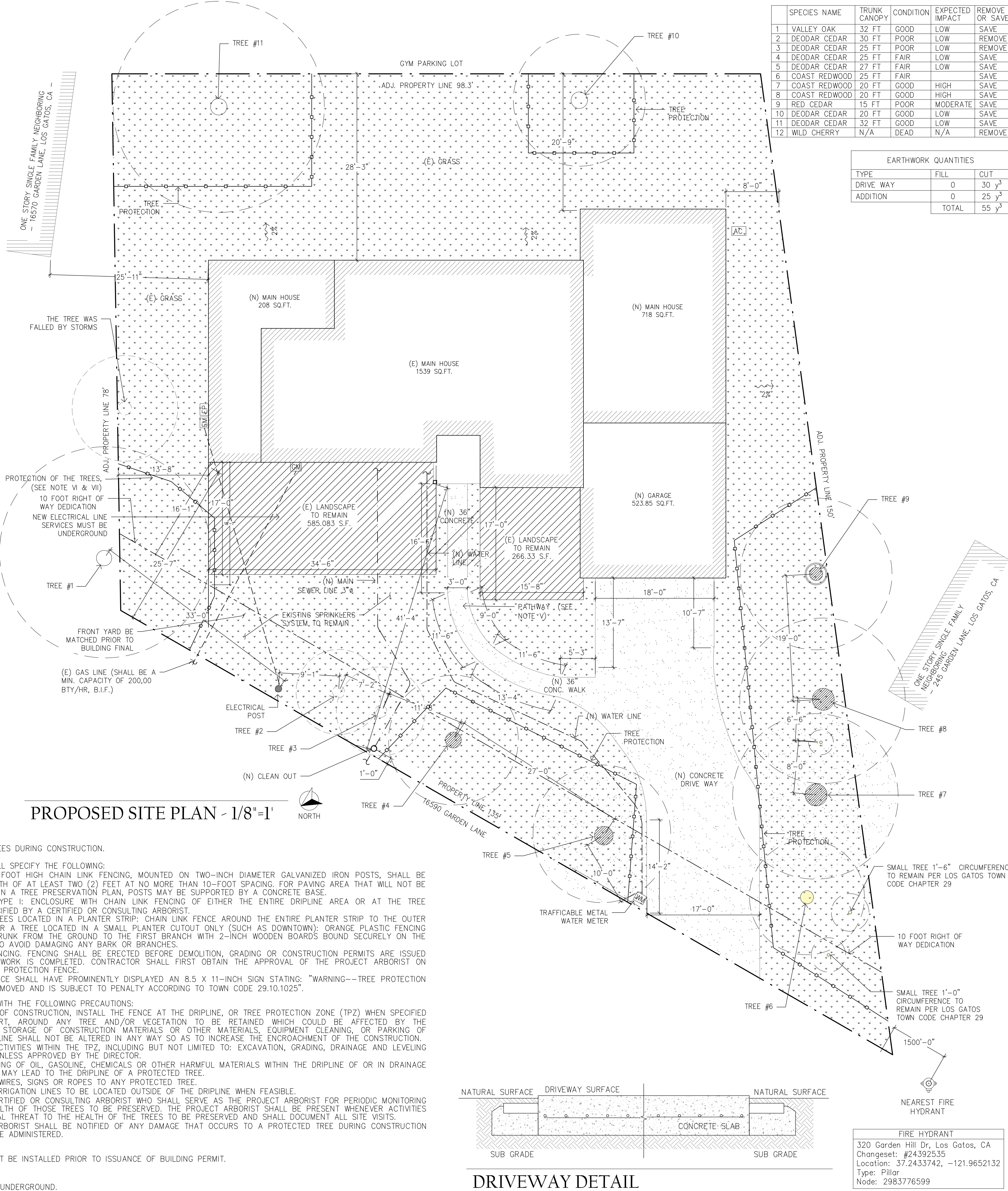
- WM WATER METER
- EM ELECTRICAL METER
- EP ELECTRICAL PANEL 200 AMP
- AC AIR CONDITIONER
- GM GAS METER

NOTES

- NOTE I:
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.3
- NOTE II:
THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMP, 3 WIRE, CRC 230.79.
- NOTE III:
PROTECTION OF TREES DURING CONSTRUCTION.
(A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:
(1) SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
(2) AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP: CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN): ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.
(3) DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.
(4) WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING--TREE PROTECTION ZONE--THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."
(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:
(1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
(2) PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
(3) PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.
(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.
(5) DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
(6) RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.
(7) THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.
- NOTE IV:
FIXTURES INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC, OR PRIVATE SEWER SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON SUCH FLOOR LEVEL THAT ARE NOT BELOW THE NEXT UPSTREAM MANHOLE COVER SHALL NOT BE REQUIRED TO BE PROTECTED BY A BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. CLEANOUTS FOR DRAINS THAT PASS THROUGH A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM."
- NOTE V:
-ALL PATTERNS SHOWN ON PLAN ARE SCHEMATIC ONLY AND DO NOT ACCURATELY REFLECT ACTUAL PATTERNS, SCALE, ORIENTACION, ACCENT BORDERS, ETC. OF DESIRED FINISH PRODUCT. VERIFY ALL FINISHES AND MATERIALS WITH OWNER PRIOR TO PLACING ANY ORDERS.
-VERIFY LAYOUT OF FLOORING PATTERNS AND WALL TILE PATTERNS WITH OWNER.
-PROTECT FINISHES TO REMAIN AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION
-CONFIRM EXTENT OF AREAS TO RECEIVE ACOUSTICAL RESILIENT PAD
- NOTE VI:
TREES TO REMAIN--PROTECT AS REQUIRED DURING CONSTRUCTION--DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTEND PERIODS OF TIME.

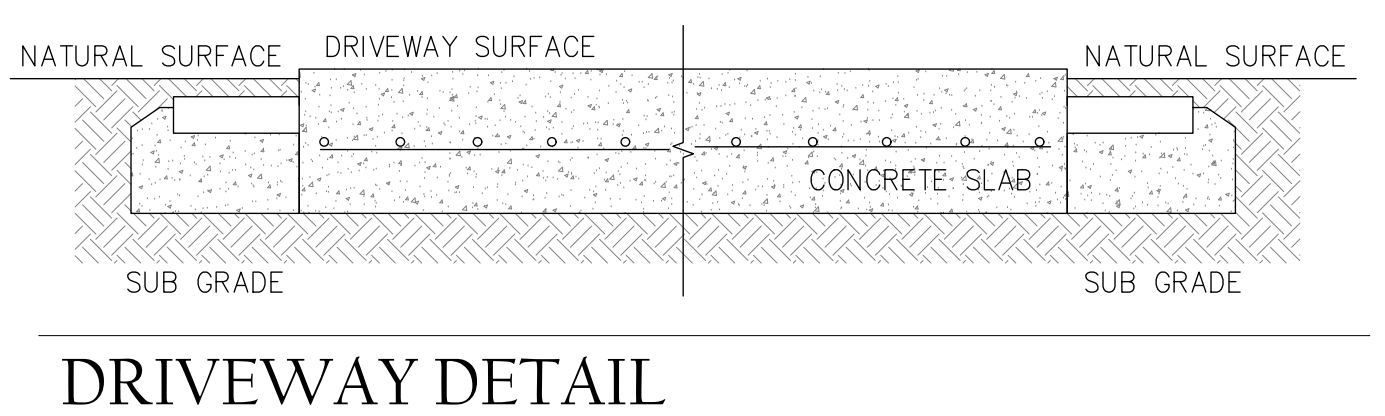


EXISTING SITE PLAN - 1/16"=1'



PROPOSED SITE PLAN - 1/8"=1'

- NOTE VII:
SEC. 29.10.1005. PROTECTION OF TREES DURING CONSTRUCTION.
(A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:
(1) SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN 10-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
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TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP: CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN): ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.
(3) DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.
(4) WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN 8.5 X 11-INCH SIGN STATING: "WARNING--TREE PROTECTION ZONE--THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."
(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:
(1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
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(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.
(5) DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
(6) RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.
(7) THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.
- NOTE VIII:
TREE PROTECTION AND SIGNAGE MUST BE INSTALLED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NOTE IX:
ALL THE UTILITY SERVICES MUST BE UNDERGROUND.



DRIVEWAY DETAIL

	SPECIES NAME	TRUNK CANOPY	CONDITION	EXPECTED IMPACT	REMOVE OR SAVE
1	VALLEY OAK	32 FT	GOOD	LOW	SAVE
2	DECODAR CEDAR	30 FT	POOR	LOW	REMOVE
3	DECODAR CEDAR	25 FT	POOR	LOW	REMOVE
4	DECODAR CEDAR	25 FT	FAIR	LOW	SAVE
5	DECODAR CEDAR	27 FT	FAIR	LOW	SAVE
6	COAST REDWOOD	25 FT	FAIR	LOW	SAVE
7	COAST REDWOOD	20 FT	GOOD	HIGH	SAVE
8	COAST REDWOOD	20 FT	GOOD	HIGH	SAVE
9	RED CEDAR	15 FT	POOR	MODERATE	SAVE
10	DECODAR CEDAR	20 FT	GOOD	LOW	SAVE
11	DECODAR CEDAR	32 FT	GOOD	LOW	SAVE
12	WILD CHERRY	N/A	DEAD	N/A	REMOVE

EARTHWORK QUANTITIES		
TYPE	FILL	CUT
DRIVE WAY	0	30 y ³
ADDITION	0	25 y ³
TOTAL		55 y³



BEDI RESIDENCE
16590 GARDEN LANE, LOS GATOS, CA

SIGN: *Julie Jeffrey*

REVISION DATE	DESCRIPTION
10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A-21-21

SITE PLAN
SHEET NO.
A - 4

FIRE HYDRANT
320 Garden Hill Dr, Los Gatos, CA
ChangeSet: #24392535
Location: 37.2433742, -121.9652132
Type: Pillar
Node: 2983776599



TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS DEPARTMENT
PHONE (408) 399-5770
FAX (408) 354-8529
SERVICE CENTER
41 MILLS AVENUE
LOS GATOS, CA 95030

June 9, 2023

Ms. Erin Walters, Associate Planner
TOWN OF LOS GATOS
Planning Department
110 E. Main Street
Los Gatos, California 95030

Re: Arborist Report – 16590 Garden Lane – B-21-0900

Dear Ms. Walters,

On May 24, 2023, I conducted a site visit at 16590 Garden Lane for the proposed one-story addition and new driveway per your request and have prepared an Arborist Report. See attached tree inventory map and site plan and site photographs.

There are a total of 12 protected trees on-site.

Tree Inventory Table with columns: Tree Number, Species Name, Trunk Canopy, Condition, Expected Impact, Remove or Save

Recommendations:

- 1. Update existing tree locations to show actual location of tree. On site plans label tree number and diameter.

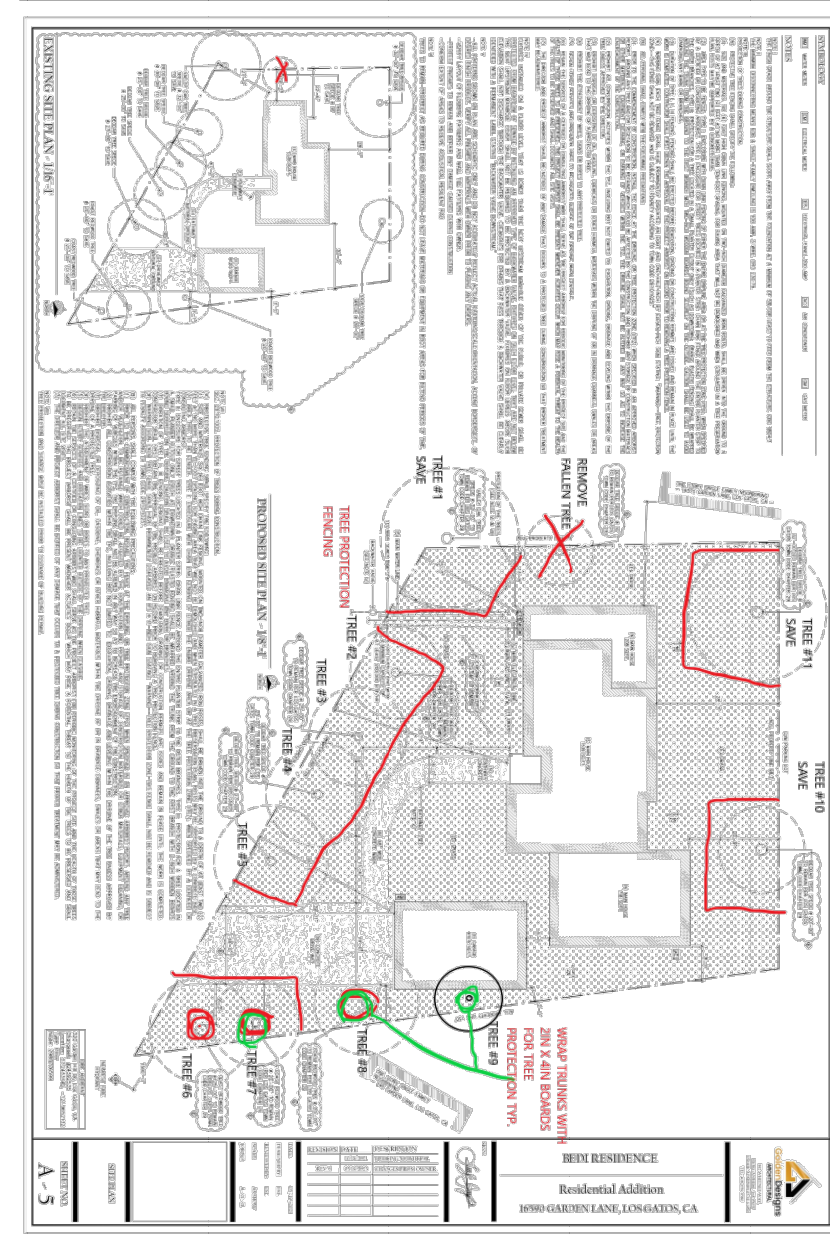
- 2. Applicant's team to provide diameter of each tree, fill in table above.
3. *Tree impact depends on proposed scope of work. Applicant to provide new design for garage and driveway. Arborist to review revised design.
4. Tree protection and tree protection signage must be installed prior to issuance of a building permit.
5. The applicant's team may choose to apply for a tree removal permit for Trees 2-5 and Tree 8. Replacement trees or in-lieu fees will be required per Town Code.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. Applicant to include tree table on page A-5.
8. Applicant to print Arborist report on a sheet of the building plans.

For additional questions, please contact me at (408) 761-4530.

Sincerely,

Rob Moulden, Town Arborist

Attachment 1 – Tree Inventory Map and Site Plan. Existing and Proposed Site Plan



Attachment 2 – Site Photographs.

Table with columns: Tree Number, Species Name, Photograph. Includes photos of Valley Oak and Deodar Cedar trees.

Table with columns: Tree Number, Species Name, Photograph. Includes photos of Deodar Cedar trees.

Table with columns: Tree Number, Species Name, Photograph. Includes photos of Deodar Cedar, Coast Redwood, and Red Cedar trees.

Table with columns: Tree Number, Species Name, Photograph. Includes photos of Coast Redwood and Red Cedar trees.

Table with columns: Tree Number, Species Name, Photograph. Includes photos of Deodar Cedar, Deodar Cedar, and Wild Cherry trees.

Attachment 3 –

Town Code Sec. 29.10.1005 - Protection of trees during construction

- (a) Protective tree fencing shall specify the following:
(1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing.
(2) Area type to be fenced. Type I. Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist.
(3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed.
(4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."
(b) All persons, shall comply with the following precautions:
(1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ.
(2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
(3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
(4) Prohibit the attachment of wires, signs or ropes to any protected tree.
(5) Design utility services and irrigation lines to be located outside of the dripline when feasible.
(6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved.
(7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.



BEDI RESIDENCE
16590 GARDEN LANE, LOS GATOS, CA

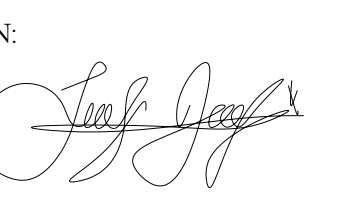
SIGN: [Signature]

Table with columns: REVISION, DATE, DESCRIPTION. Includes entry for BUILDING SUBMITTAL on 10/16/2024.

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A - 21 - 21

ARBORIST REPORT

SHEET NO. A - 5

SIGN: 

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: ASSHOW
JOB NO: A-21-21

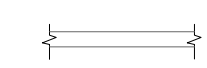
CITY STAMPS	

EXISTING FLOOR PLAN

SHEET NO.
A - 6

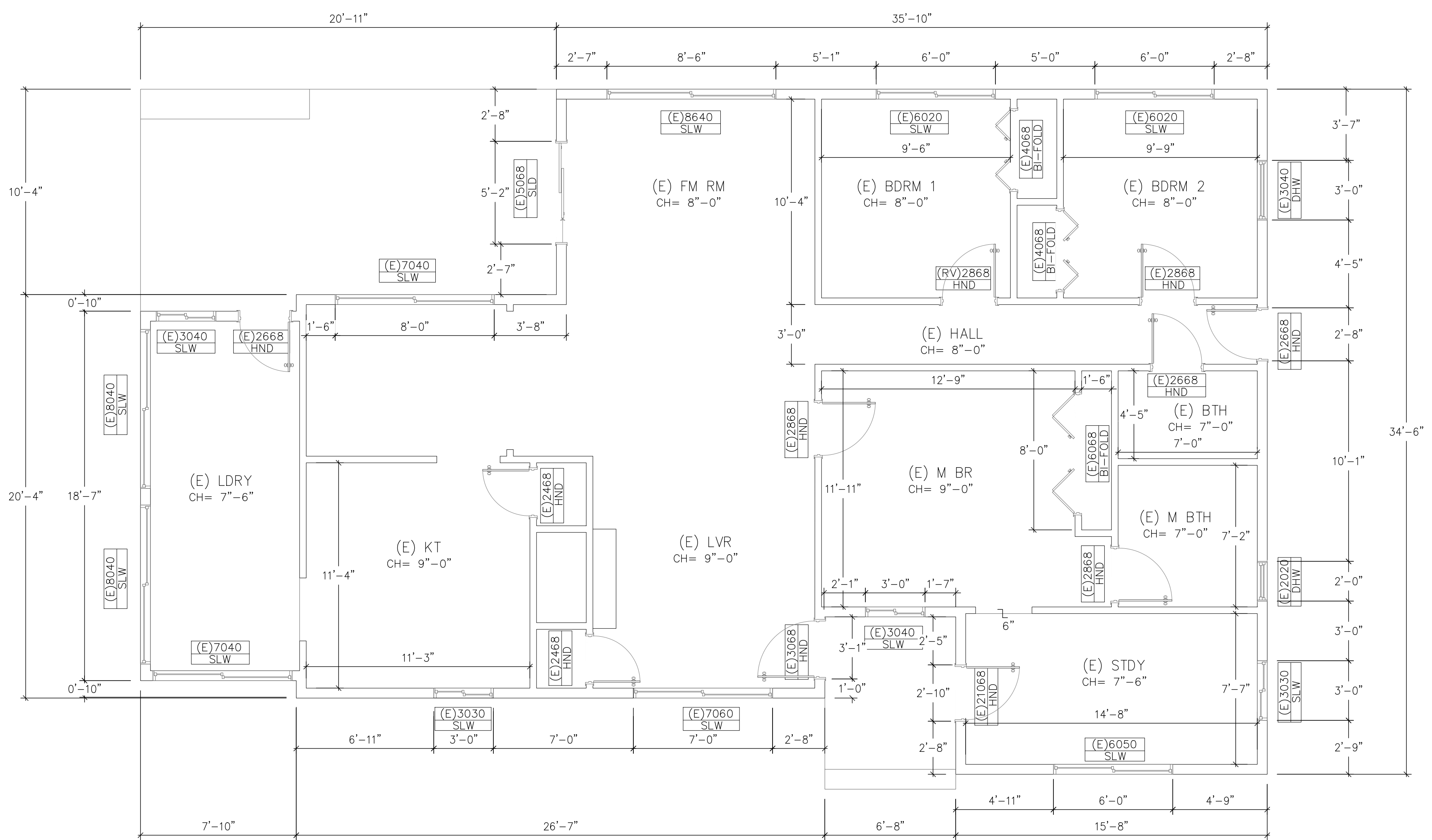
SYMBOLGY

SLW HORIZONTAL SLIDER WINDOW
HND HINGED DOOR
DHW DOUBLE HUNG WINDOW
BI-FOLD BI-FOLDING DOOR

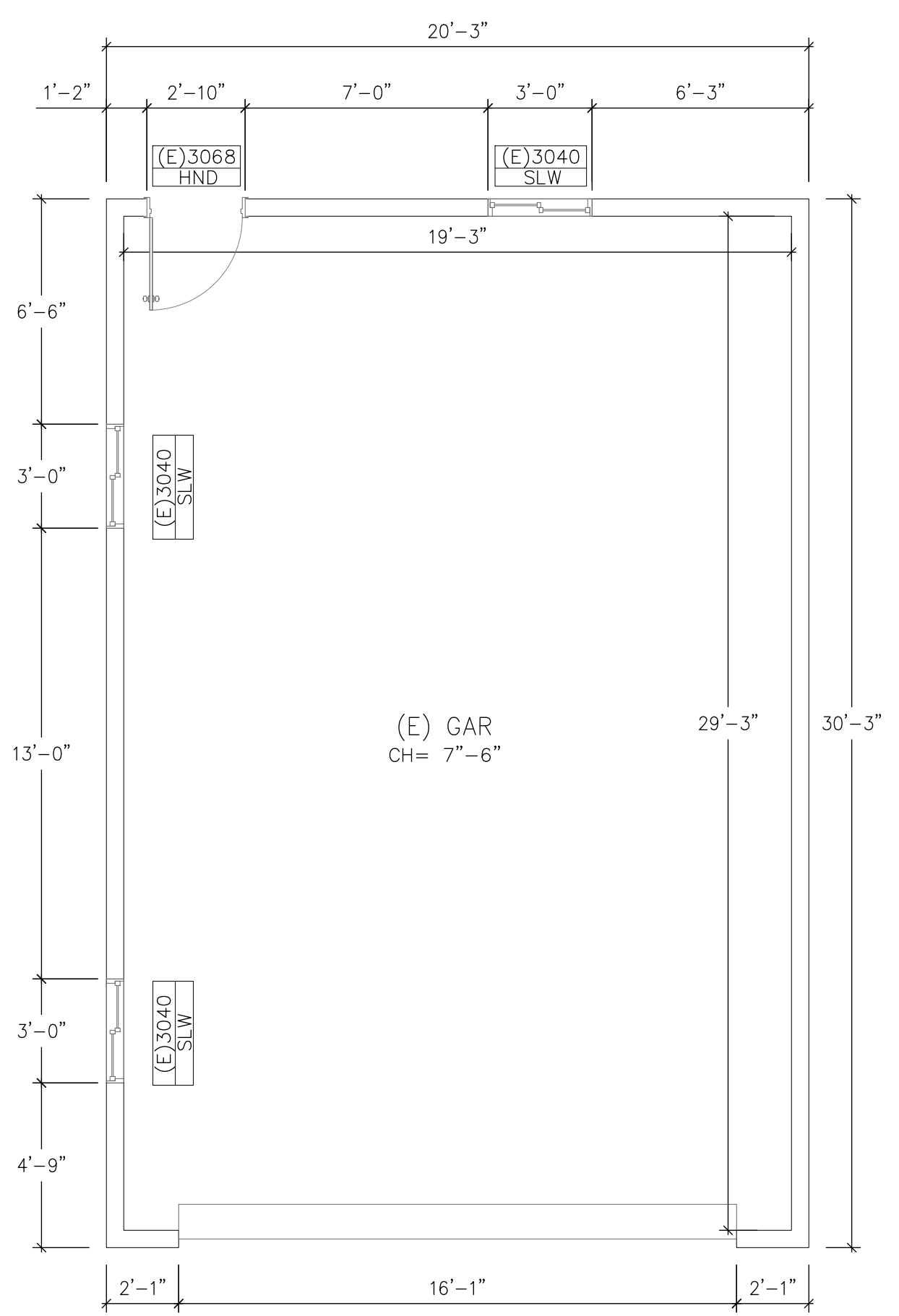
 EXISTING WALL: INDICATES EXISTING WALLS AND STRUCTURES TO REMAIN. REPAIR DAMAGE CAUSED BY REMOVING FINISHES.

NOTES

NOTE: DIMENSIONS SHOWN ARE MEASURE TO APPROXIMATE FACE OF STUDS. FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.



EXISTING FLOOR PLAN - 1/4"=1'



SIGN:

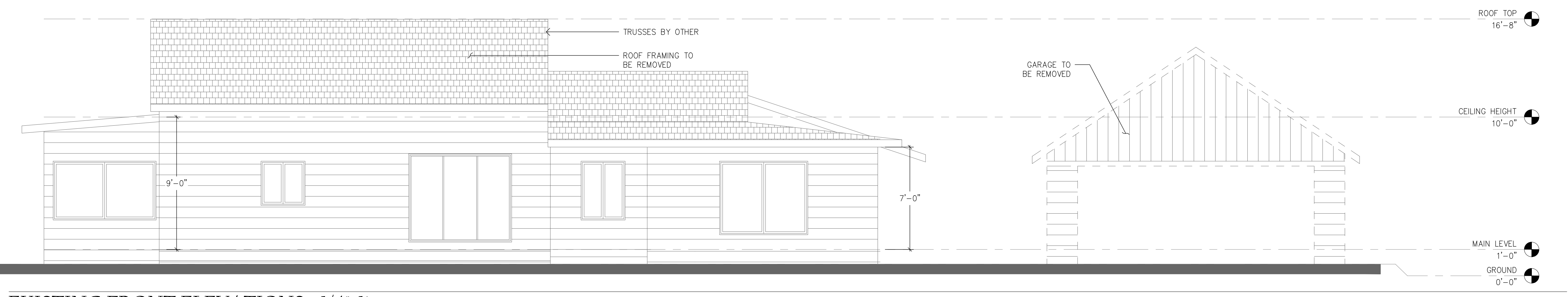


REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

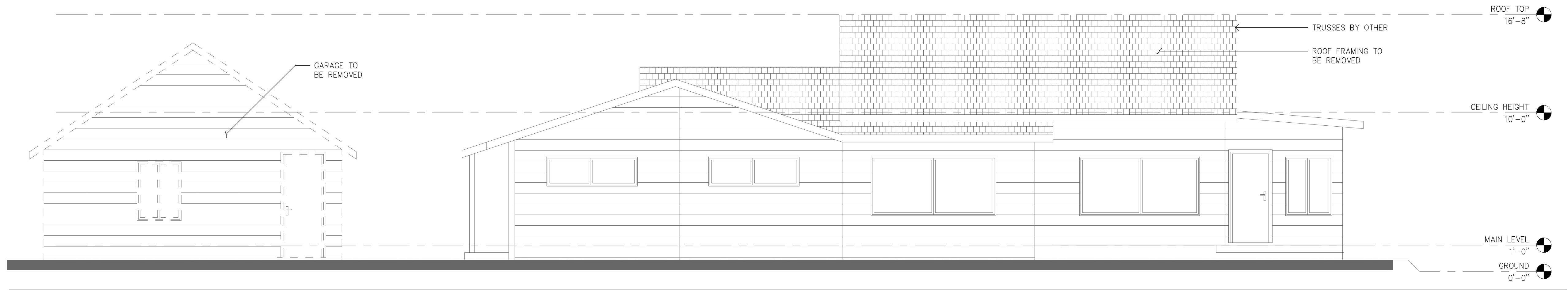
DATE: 10/16/2024
 DESIGNER BY: ESL
 REVIEWED BY: ESL
 SCALE: ASSHOW
 JOB NO: A-21-21

EXISTING ELEVATIONS

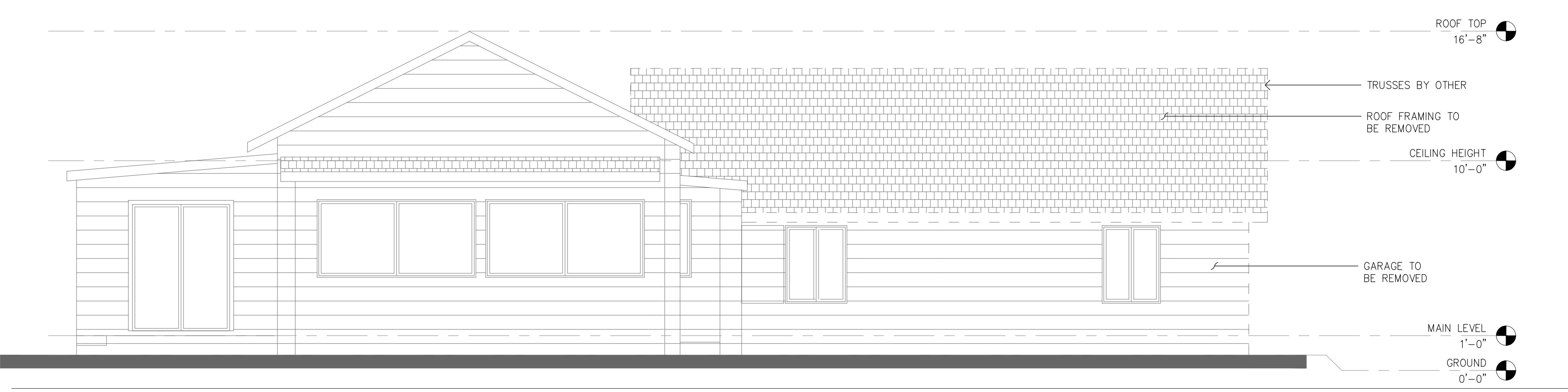
SHEET NO.
A-7



EXISTING FRONT ELEVATIONS - 1/4"=1'



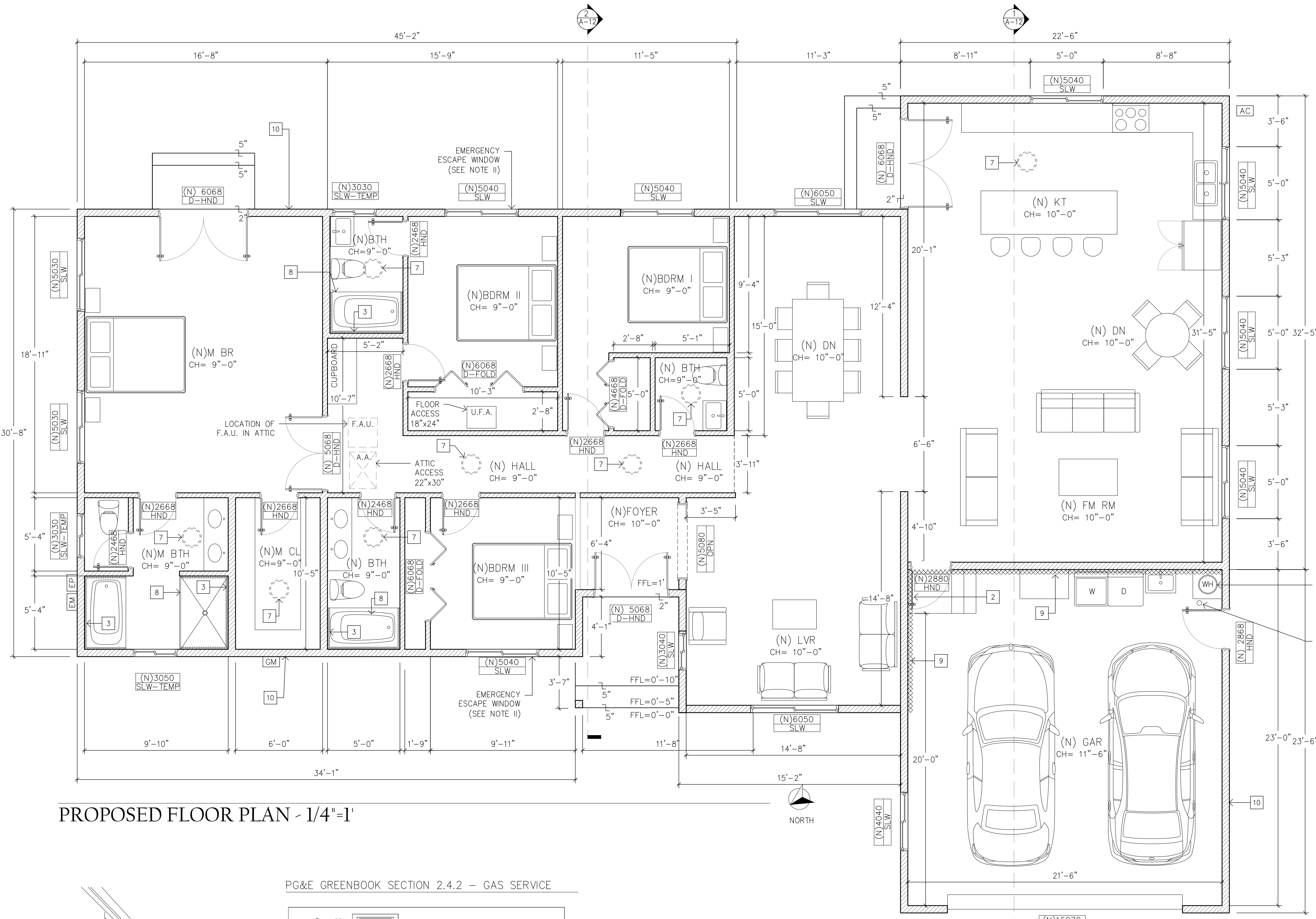
EXISTING REAR ELEVATIONS - 1/4"=1'



EXISTING LEFT ELEVATIONS - 1/8"=1'



EXISTING RIGHT ELEVATIONS - 1/8"=1'



PROPOSED FLOOR PLAN - 1/4" = 1'

SYMBOLOLOGY

D-FOLD	DOUBLE FOLDING	NEW WALL: EXTERIOR WALL
SLW	SLIDING WINDOW	6" AND INTERIOR WALL 4"
D-HND	DOUBLE HINGED	EM
HND	HINGED	WM
TEMP	SAFETY GLASS	EP
	EXISTING WALL: INDICATES EXISTING WALLS AND STRUCTURES TO REMAIN, REPAIR DAMAGE CAUSED BY REMOVING FINISHES.	GM
		AC

- KEYNOTES**
- EGRESS WINDOW PER R310 CRC 2019
 - 1-3/8" THICK SOLID WOOD DOOR OR SOLID OR HONEY-COMB CORE STEEL DOOR, OR 20 MINUTE FIRE RATED FIRE DOOR BETWEEN THE GARAGE AND HABITABLE ROOMS. THIS DOOR SHALL BE SELF CLOSING AND SELF LATCHING (CRC R302.5.1)
 - PROVIDE A SMOOTH, HARD NONABSORBENT SURFACE OVER MOISTURE RESISTENT UNDERLAYMENT 72" ABOVE DRAIN INLET (CRC 1210.3).
 - 5/8" TYPE "X" GYPSUM BOARD ON ALL WALL & CEILING SURFACES OF GARAGE SIDE CONTINUE TO ROOF TYP.
 - PROVIDE 36" MIN. DEEP LANDING PER R311.3 (SEE EXTERIOR LANDING IN GENERAL DETAILS)
 - NEW 50 GAL. TANK WATER HEATER
 - 10" SUN TUNNEL
 - PANEL OF SHOWER AND BATHTUB SHALL BE TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, SEE NOTE IV.
 - 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING.
 - NEW EXTERIOR COATING STUCCO, SHERWIN WILLIAMS ALABASTER (SW 7008)

NOTES

NOTE I:
WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GRATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

CALIFORNIA CIVIL ARTICLE 1101.4 AND CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1030; EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM SIZE IS 5.7 SQUARE FEET OF NET CLEAR OPENING WITH A MINIMUM DIMENSION OF 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

NOTE II: CRC R317.3.1 UNDERFLOOR POST, SILLS ON CONCRETE, AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER; COATINGS FOR FASTENER, POST BASES, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE H.D. GALVANIZED, Z-MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE H.D. GALVANIZED.

NOTE III: R308.4.5; GLAZING AND WEST SURFACES. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHROOMS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

NOTE IV: THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMP, 3 WIRE. CRC 230.79.

NOTE V: WHERE COMBUSTION APPLIANCE OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ.FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY, IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN). ASHRAE 62.2, SECTION 6.4.

NOTE VI: A HERS RATER MUST VERIFY THAT INSTALLED RANGE HOODS ARE LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SHOULD REQUIREMENTS. PROVIDE EVIDENCE OF HERS VERIFICATIONS TO TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

- DETAILS**
- ALL LANDING ARE TO BE SLOPED A MINIMUM OF 1/4" PER FOOT TO DRAIN WATER
- MINIMUM WIDTH EQUAL TO WIDTH OF DOOR
- MINIMUM WIDTH EQUAL TO WIDTH OF DOOR
- EXTERIOR LANDING DETAIL 2
- TOILET SPACES AT LEAST 30" WIDE, WITH AT LEAST 24" CLEAR IN FRONT OF WATER CLOSET PER 2019 CPC 407.5
- TOILET CLEARANCES DETAIL 1
- INSTALLATION REQUIREMENTS:
- THE MINIMUM DISTANCE FROM BOLLARD TO EQUIPMENT IS 12" OR THE MINIMUM WORKING CLEARANCE PER THE MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- BOLLARD SHALL HAVE A REFLECTIVE STRIP OR BE A HIGH CONTRAST COLOR.
- THE FOLLOWING ARE TWO APPROVED INSTALLATION OPTIONS.
- THESE TYPES OF RESTRAINTS ARE OVER-THE-COUNTER PRODUCTS SOLD AT YOUR LOCAL HARDWARE STORE.
- DRILL PILOTS ON-CENTER LINE OF STUD, INSERT SCREWS THROUGH PUNCHED HOLES IN STRAP, USE WASHERS
- THIS 18" STAND IS REQUIRED FOR HEATERS INSTALLED IN A GARAGE LOCATION
- WALL STUD
- THE LOWER STRAP MUST BE A MINIMUM OF 4" ABOVE THE CONTROL UNIT
- CONTROL UNIT
- 4" SCHEDULE 40 STEEL PIPE, MINIMUM 1/4" FILLET WELD TO BASE.
- 4" SCHEDULE 40 STEEL PIPE, MINIMUM 1/4" FILLET WELD TO BASE.
- BASE PLATE 8"x8"x1/2" 5/8" ANCHOR (5/8"x4" WEDGE ANCHOR OR CONCRETE SCREW ANCHOR 1600 LB MIN. ALLOWED TENSION AT 2-3/4" EMBEDMENT)
- PER 2022 CBC 406.2.9.3 VEHICLE IMPACT PROTECTION.

PG&E GREENBOOK SECTION 2.4.2 - GAS SERVICE

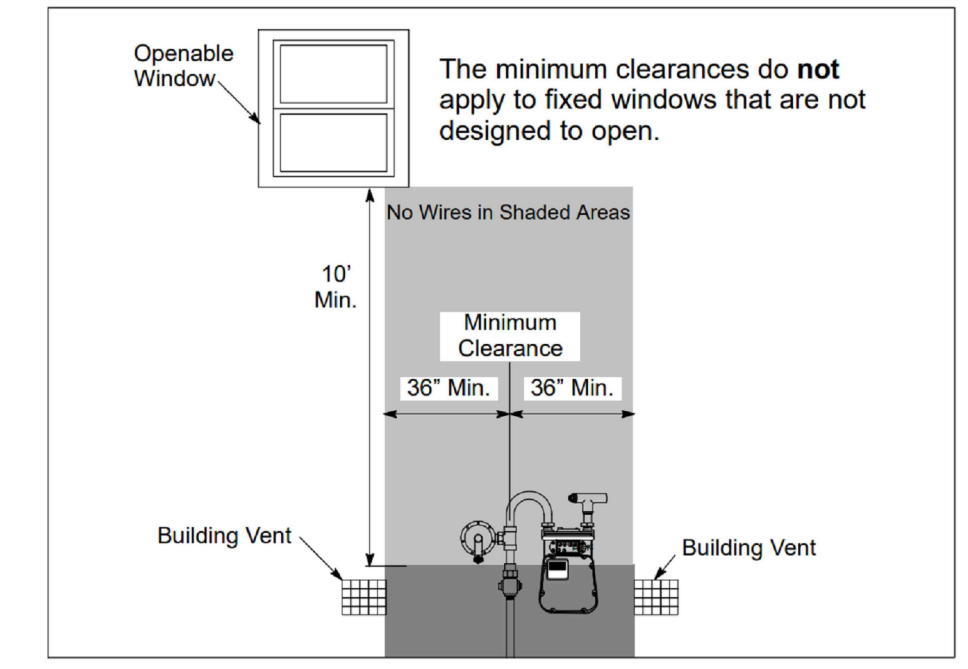


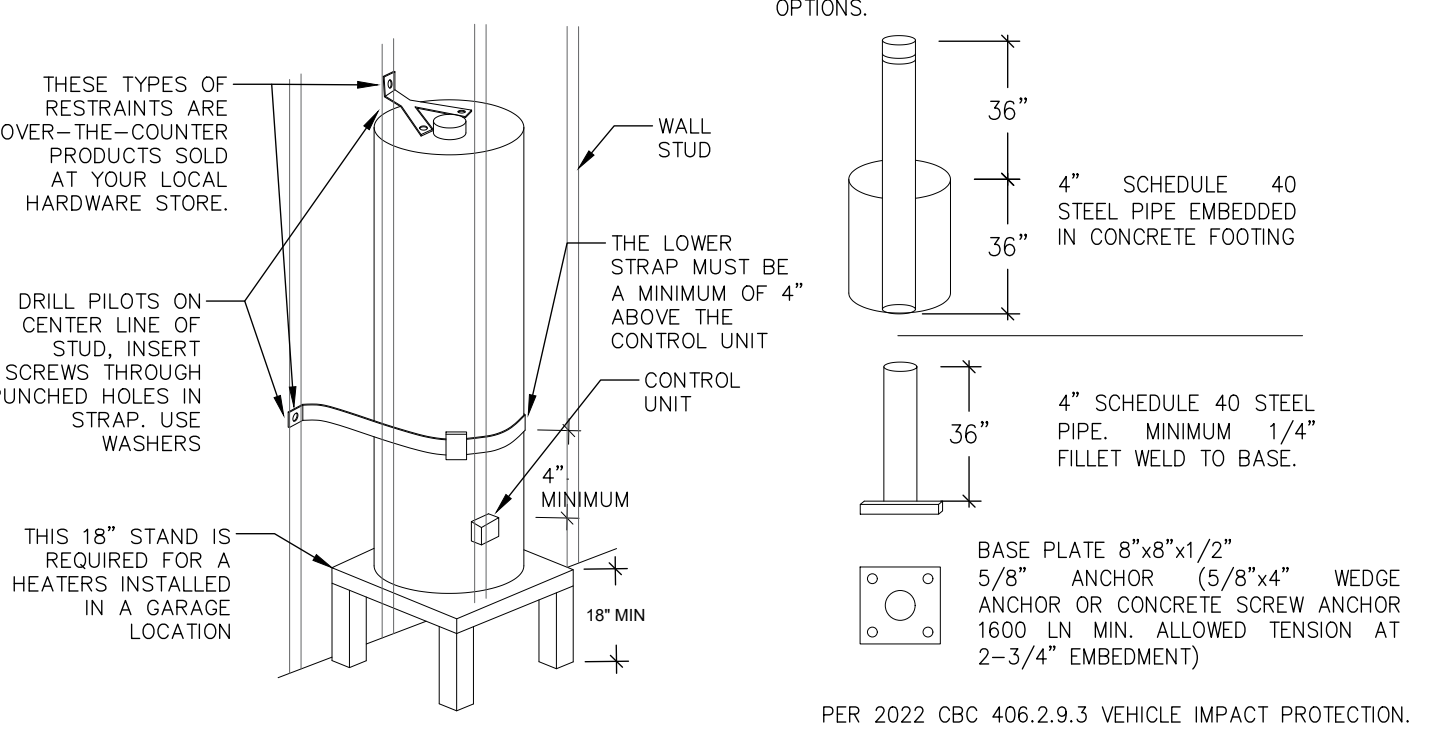
Figure 2-20 Gas Meter Set Clearance From Building Openings

Notes in reference to Figure 2-20.

- Do not place gas regulator vents under display platforms or show windows in commercial buildings. This includes any permanent, elevated display floors or platforms associated with the window, where the purpose of the window is to present a display to the public.
- Do not place gas regulator vents under building overhangs where the overhang is likely to direct venting gas to a building opening.
- The building vent openings, sources of ignition, and above-ground water sources must be a minimum of 36 inches away from the riser.
- Applicants must not install water spigots, lines, gutter systems, or other above-ground sources within 36 inches of the gas or electric facilities.
- For a large meter or multi-meter manifold, the minimum separation requirement for sources of ignition, opening to buildings or sources of above-ground water, extend 12 inches beyond the farthest connection to the applicant houseline, and 10 feet above the highest regulator vent.

"IAPMO UES ER#199"
VELUX TGF-014 FLEXIBLE SUN TUNNEL
SKU: TGF 014

DIMENSIONS		DETAILS	
DAYLIGHT AREA (SQ.FT.)	0.957	PRODUCT WIDTH (IN)	14
PRODUCT DEPTH (IN):	14	ROUGH OPENING HEIGHT	14
PRODUCT HEIGHT (IN):	96	ROUGH OPENING WIDTH	14
COLOR FAMILY	GRIS	PRODUCT WEIGHT (LB.)	23.8 LB
FLASHING INCLUDED	YES	RETURNABLE	90-DAYS
HARDWARE INCLUDED	YES	SEVERE WEATHER READY	NO
LOW-E (Y,N)	NO	SKYLIGHT MOUNTING TYPE	ACRYLIC
MATERIAL	ACRYLIC	TUNNEL TYPE	FLEX
MAXIMUM ROOF PITCH (DEGREES)	60	U-FACTOR	0.42
MINIMUM ROOF PITCH (DEGREES)	14		



2 WATER HEATER / VEHICLE IMPACT PROTECTION
DETAIL NOT TO SCALE

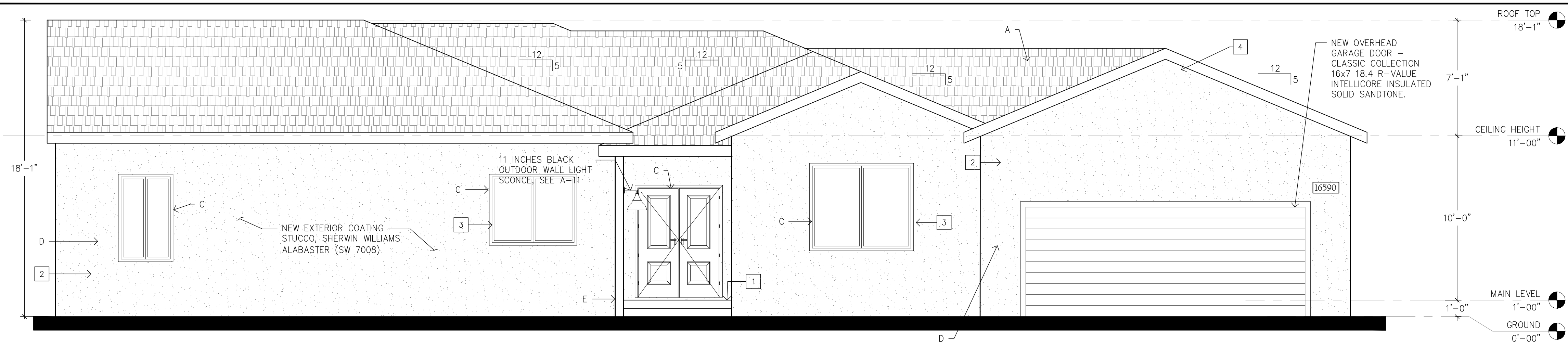
BEDI RESIDENCE
16590 GARDEN LANE, LOS GATOS, CA

SIGN: *[Signature]*

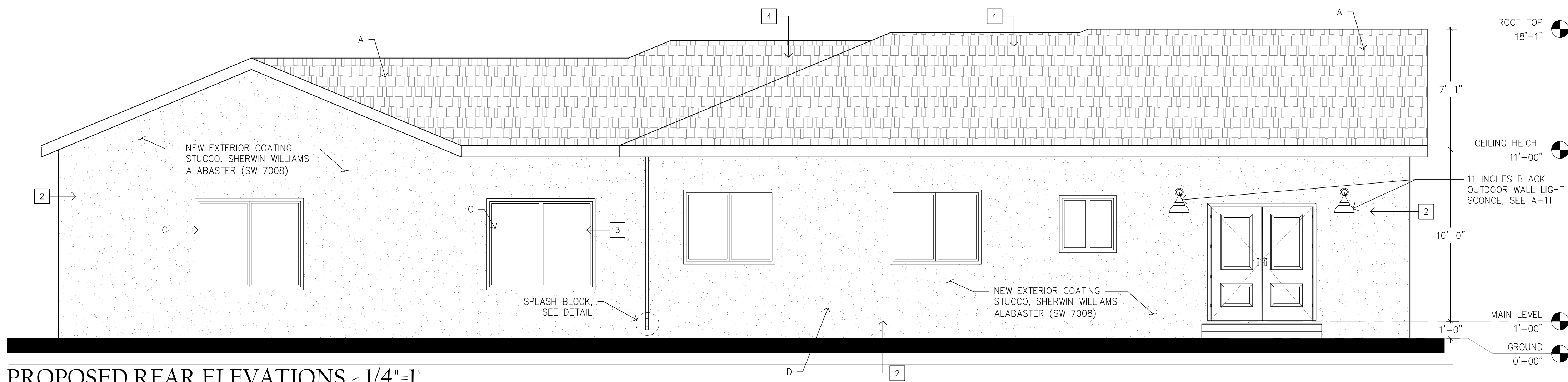
REVISION	DATE	DESCRIPTION
1	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A-21-21

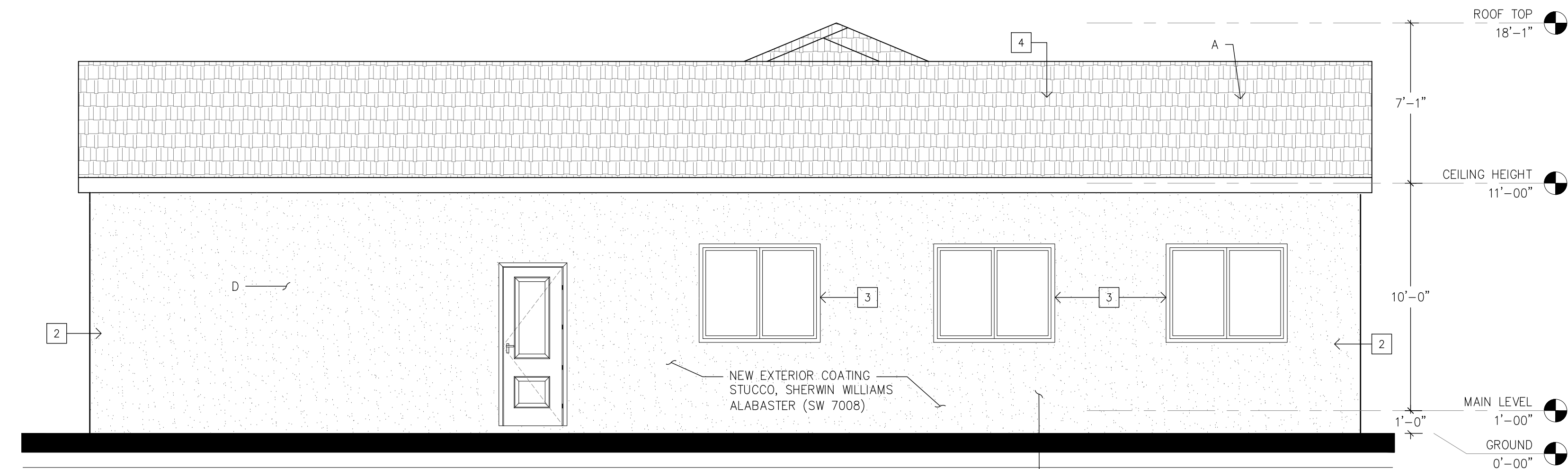
PROPOSED FLOOR PLAN
SHEET NO. A-8



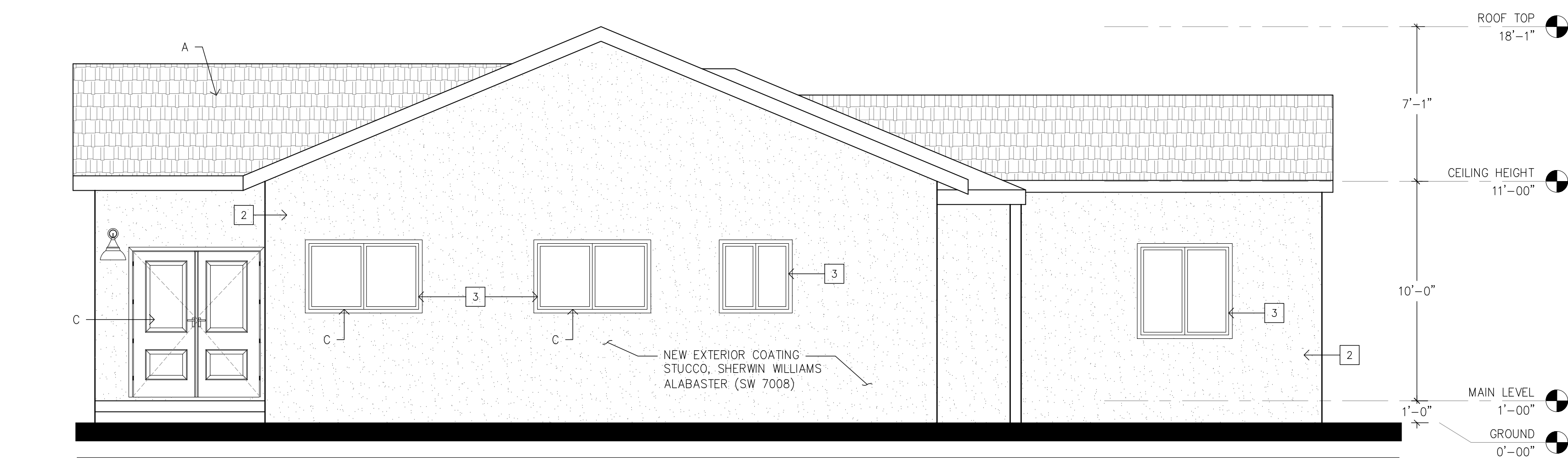
PROPOSED FRONT ELEVATIONS - 1/4"=1'



PROPOSED REAR ELEVATIONS - 1/4"=1'



PROPOSED RIGHT ELEVATIONS - 1/4"=1'



PROPOSED LEFT ELEVATIONS - 1/4"=1'

PLAN SPECIFICATIONS

- PROVIDE LANDING AT ALL EXTERIOR DOORS, FOR INSWING DOORS THE MAX. CHANGE IN ELEVATION THRESHOLD TO THE LANDING IS 7 3/4", FOR OUTSWING DOORS THE MAX. HEIGHT IS 1", THE LANDING SHALL BE THE WIDTH OF THE DOOR AND THE LENGTH SHALL BE MIN. 36".
 - NEW EXTERIOR COATING TYPICAL STUCCO: WITH 3-COAT SYSTEM, 7/8" MINIMUM THICK, HAS TWO LAYERS OF GRADE "D" PAPER OVER PLYWOOD SHEATHING, AND HAS 26-GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING) CRC R703.6.2, R703.6.2.1 AND R703.6.3.
 - W.U.I. (WILDLAND URBAN INTERFACE) APPROVED METAL CLAD WINDOWS OR EQUAL, ALUMINUM WINDOW FRAME, WHITE COLOR. SEE PLAN FOR SIZE.
 - ROOFING ASPHALT COMPOSITION SHINGLES CLASS "A", BLACK COLOR: UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19-INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEET 19 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.
- NOTE: THE LEGENDS NUMBER ARE SPECIFIC TO THIS PARTICULAR SHEET

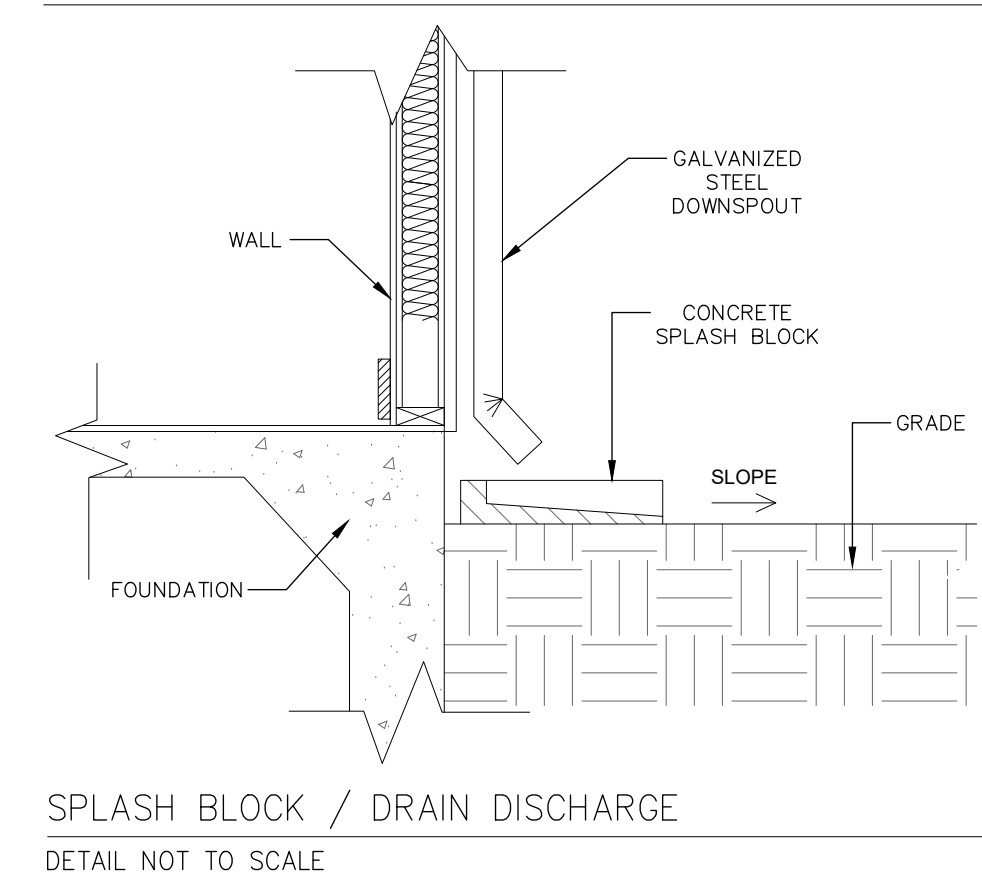
KEYNOTES

- A CONCRETE SHINGLES ROOF, MATCH TO EXISTING
- B PAINT GRADE FACTORY FINISHED ALUMINUM GARAGE DOOR, INSTALL PER MANUFACTURER'S INSTRUCTIONS: CLOPAY DOORS WHITE COLOR
- C PAINTED COMPOSITE CEMENT FIBER WINDOW/DOOR TRIM BY WHITE COLOR
- D TYPICAL HARDIE SIDING, WHITE COLOR
- E ONE PIECE 12" SQUARE WOOD COLUMN, WHIT TYPICAL HARDIE SIDING WHITE COLOR COATING 8 1/2x11".

NOTES

- EXTERIOR COVERING**
- R703.1 GENERAL**
EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AS DESCRIBED IN SECTION R703.8.
- R703.1.1 WATER RESISTANCE**
THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED BY SECTION R703.2 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA ENERGY CODE.
- EXCEPTIONS:**
1. A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE SHALL NOT BE REQUIRED OVER CONCRETE OR MASONRY WALLS DESIGNED IN ACCORDANCE WITH CHAPTER 6 AND FLASHED ACCORDING TO SECTION R703.8 OR R703.8.
- R703.6.3 WATER-RESISTIVE BARRIERS**
WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
EXCEPTION: WHERE THE WATER-RESISTIVE BARRIER THAT IS APPLIED OVER WOOD-BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT 60-MINUTE GRADE D PAPER AND IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NONWATER-ABSORBING LAYER OR DRAINAGE SPACE.
- R703.6 EXTERIOR PLASTER**
INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM C 1063 AND THE PROVISIONS OF THIS CODE.
- R703.6.1 LATH**
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCH-LONG (22.2 MM) GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.
- R703.6.2 PLASTER**
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1 (1).
- ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.
- R319 SITE ADDRESS.**
ON WOOD-FRAME CONSTRUCTION WITH AN R319.1 ADDRESS IDENTIFICATION, BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPelled OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM), WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

DETAILS



CITY STAMPS

SIGN:

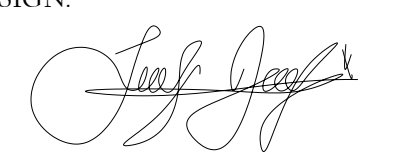
Joseph J. ...

REVISION	DATE	DESCRIPTION
1	10/16/2024	BUILDING SUBMITTAL

DATE:	10/16/2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A-21-21

PROPOSED ELEVATIONS


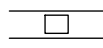
SHEET NO.
A-9

SIGN: 

REVISION DATE	DESCRIPTION
10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A-21-21

SYMBOLLOGY

-  SURFACE ROOF FLOW ARROW. SLOPE GRADE AT INDICATE.
-  GUTTER
- D.S. DOWNSPOUT

NOTES.

SECTION 4710
MATERIALS, SYSTEMS AND METHODS OF CONSTRUCTION:
4710.1 ROOFING.
4710.1.1 GENERAL. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER AND THE CALIFORNIA BUILDING CODE, CHAPTER 15. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4710.1.2 ROOF COVERINGS. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
4710.1.3 ROOF VALLEYS. WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
4710.1.4 ROOF GUTTERS. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
4710.2 ATTIC VENTILATION.
4710.2.1 GENERAL. WHEN REQUIRED BY THE CALIFORNIA BUILDING CODE, CHAPTER 15, ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 MM) OPENINGS OR ITS EQUIVALENT.
4710.2.2 EAVE OR CORNICE VENTS. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.
EXCEPTION: EAVE AND CORNICE VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE.

ATTIC VENTILATION CALCULATION.

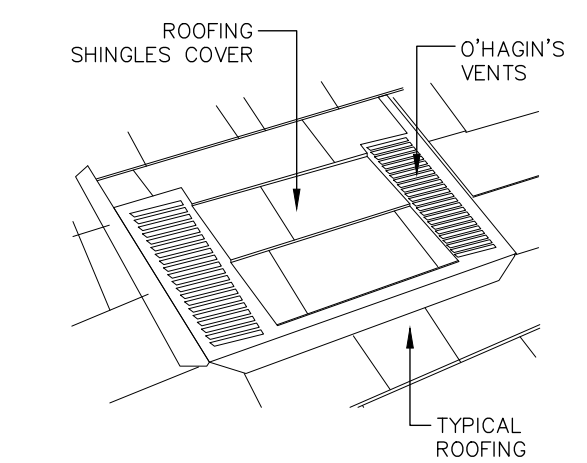
SPACE VENTILATION AREA =
 $2516 / 150 = 16.77 \times 144 = 2415.3 \text{ S.I.}$

SPACE VENTILATION AREA
NEW ROOF AREA =
 $2990 \text{ S.F.} / 150 = 19.93 \times 144 = 2869.92 \text{ S.I.}$

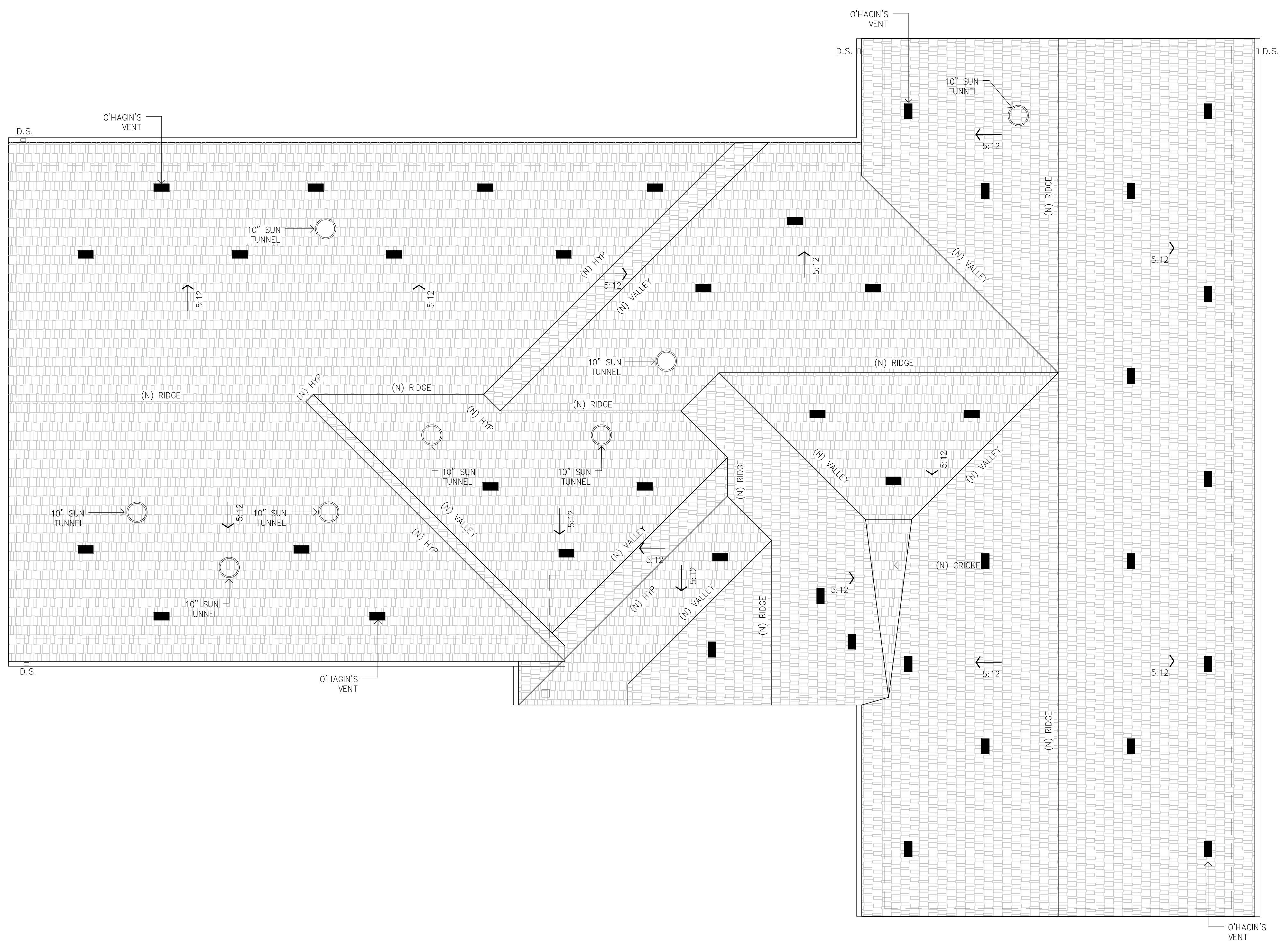
VENTILATION REQUIRED : 2869.92
LOW PROFILE ATTIC VENT WITHIN 3' OF EDGE AND NEAR THE RIDGE.

O'HAGIN'S VENTS 72 S.I.
No. OF O'HAGIN'S REQUIRED $2869.92 / 72 = 39.86$

INSTALL MIN 40 O'HAGIN'S VENTS



O'HAGIN'S VENT (ROOF VENT)
DETAIL NOT TO SCALE



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SIGN: *[Signature]*


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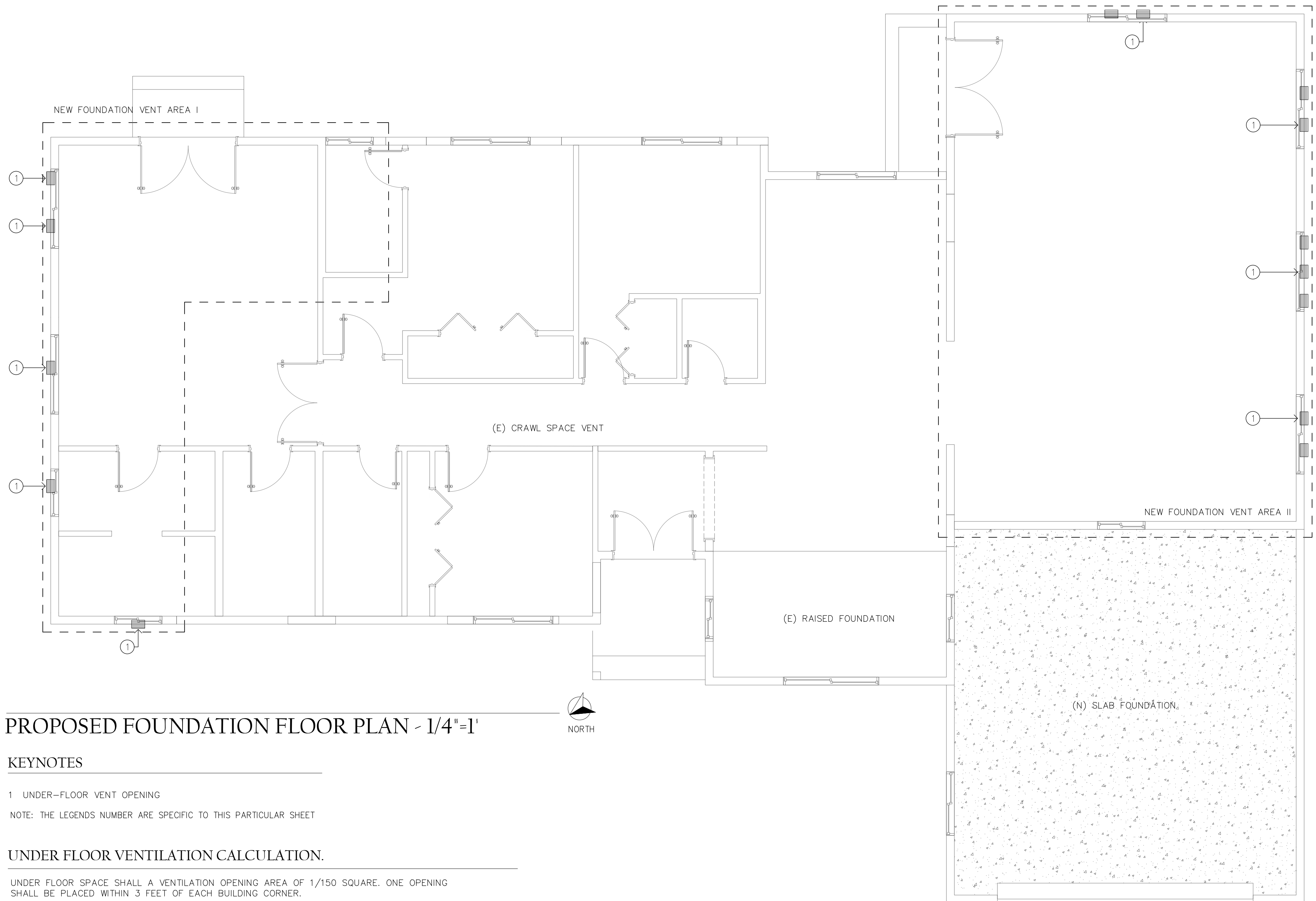
DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A-21-21

CITY STAMPS

FOUNDATION VENT AND SECTION

SHEET NO. **A-11**

Specifications			
Dimensions: H 11 in, W 9 in, D 12 in			
	Sconce Type Barn <small>See Similar Items</small>	Number of Lights 1 Light <small>See Similar Items</small>	Light Direction Down <small>See Similar Items</small>
	Power Source Hardwired <small>See Similar Items</small>	Fixture Material Metal <small>See Similar Items</small>	Durability Rust Resistant Weather Resistant
Dimensions			
Mounting Plate Height (in.)	6		
Mounting Plate Width (in.)	5		
Product Depth (in.)	12 in		
Product Height (in.)	11 in		
Product Width (in.)	9 in		
Details			
Compatible Bulb Type	Eco-Incandescent, Incandescent, LED		
Damp/Wet Rating	Damp Rated		
Durability	Rust Resistant, Weather Resistant		
Exterior Lighting Product Type	Sconce		
Fixture Color/Finish	Black		
Fixture Material	Metal		
Included	Hardware Included		
Indoor/Outdoor	Indoor, Outdoor		
Light Bulb Base Code	E26		
Light Bulb Type Included	No Bulbs Included		
Light Direction	Down		
Max. Bulb Wattage (W)	60 W		
Number of Lights	1 Light		
Outdoor Lighting Features	Dimmable		
Package Quantity	1		
Power Source	Hardwired		
Product Size	Medium		
Product Weight (lb.)	1.74 lb		
Recommended Light Bulb Shape Code	A19		
Returnable	90-Day		
Sconce Type	Barn		
Shade Material	Metal		
Shape	Bowl		
Style	Casual, Farmhouse		
Voltage Type	Line Voltage		



PROPOSED FOUNDATION FLOOR PLAN - 1/4"=1'

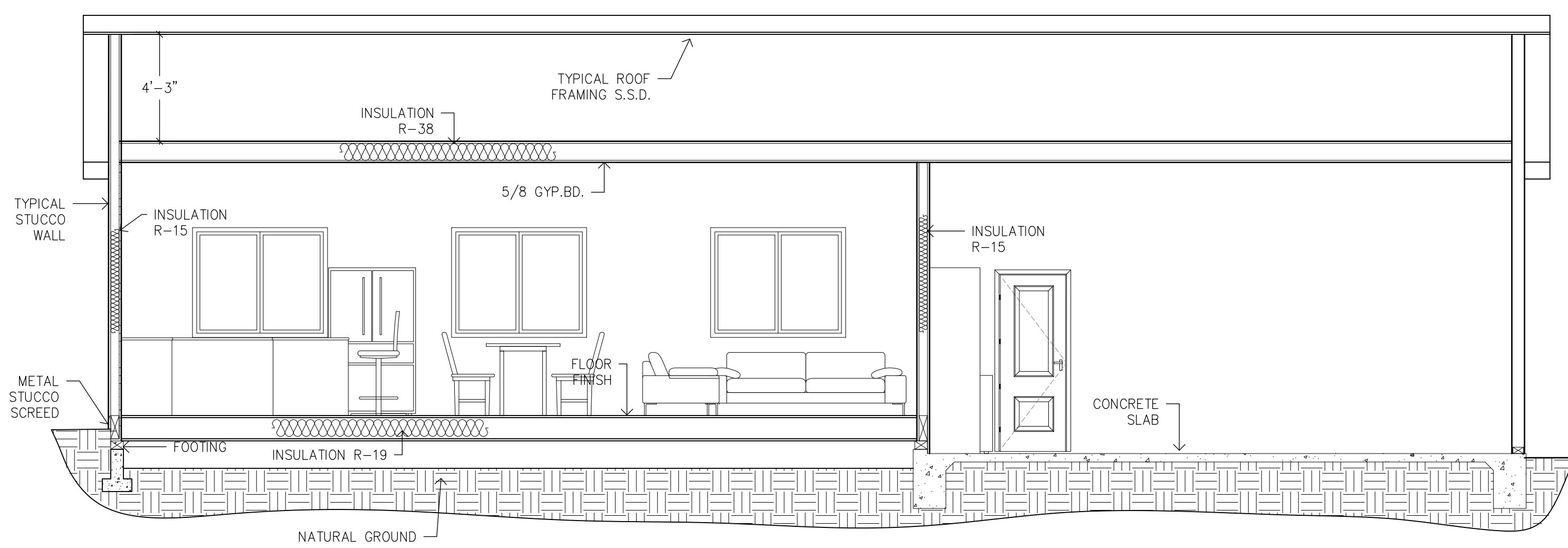
KEYNOTES

1 UNDER-FLOOR VENT OPENING
NOTE: THE LEGENDS NUMBER ARE SPECIFIC TO THIS PARTICULAR SHEET

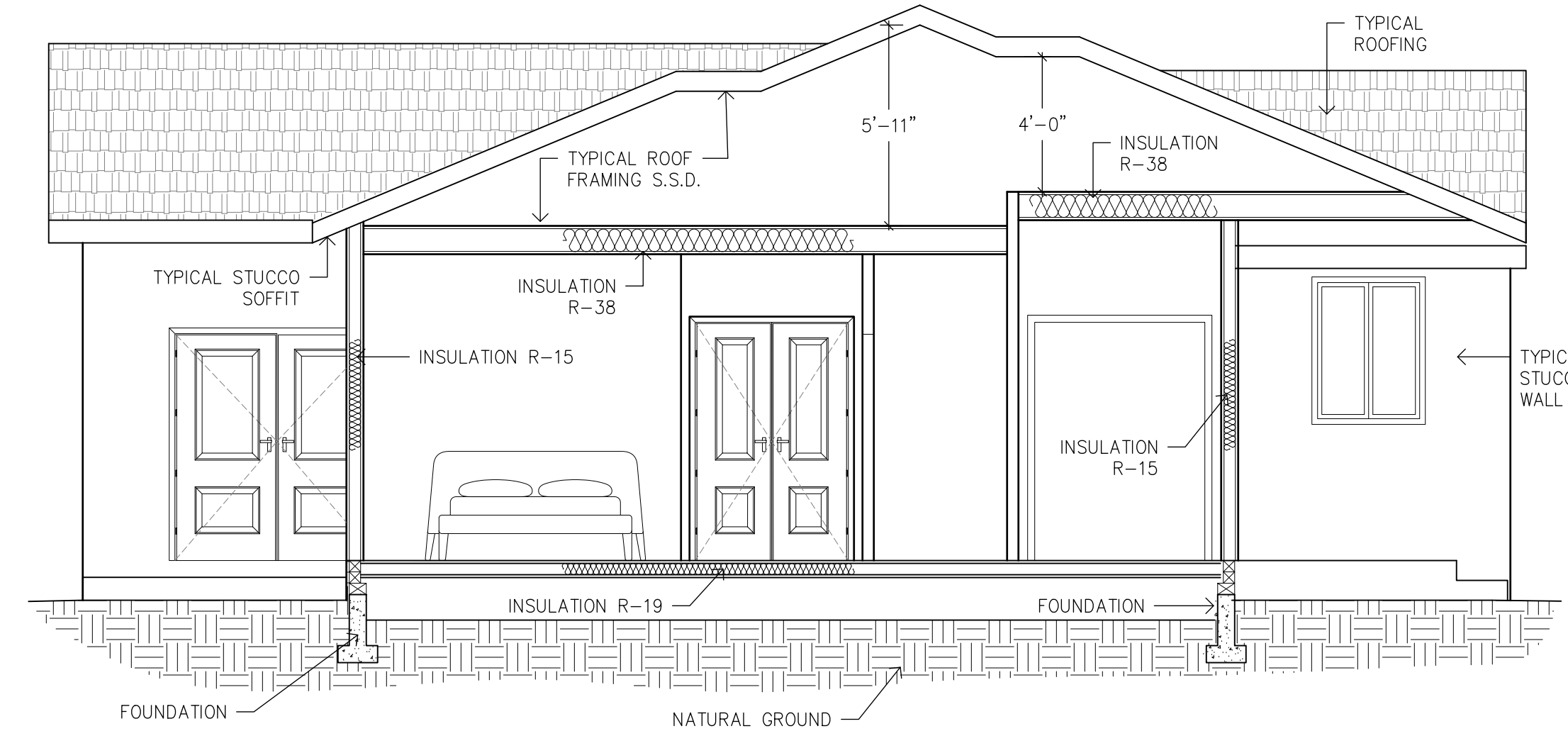
UNDER FLOOR VENTILATION CALCULATION.

UNDER FLOOR SPACE SHALL A VENTILATION OPENING AREA OF 1/150 SQUARE. ONE OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH BUILDING CORNER.
OPENINGS SHALL BE COVERING HAVING OPENINGS NO GREATER THAN 1/4". (R408.2)

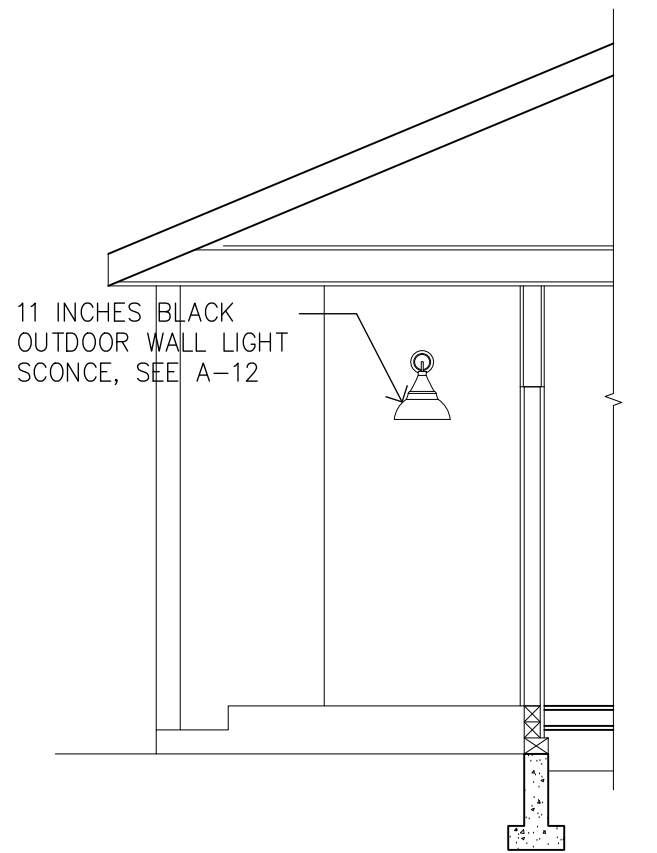
AREA I (N)379.5 / 150 = 2.53 S.F. x 144 = 364.32 S.I. REQUIRED VENT AREA = 364.32 S.I.	AREA II (N)717 / 150 = 4.78 S.F. x 144 = 688.32 S.I. REQUIRED VENT AREA = 688.32 S.I.
VENT SIZE = 6" x 14" = 84 S.I. (FREE) No. OF VENTS REQUIRED 364.32 / 84 = 4.3	VENT SIZE = 6" x 14" = 84 S.I. (FREE) No. OF VENTS REQUIRED 688.32 / 84 = 8.19
INSTALL MIN 5 VENTS	INSTALL MIN 9 VENTS



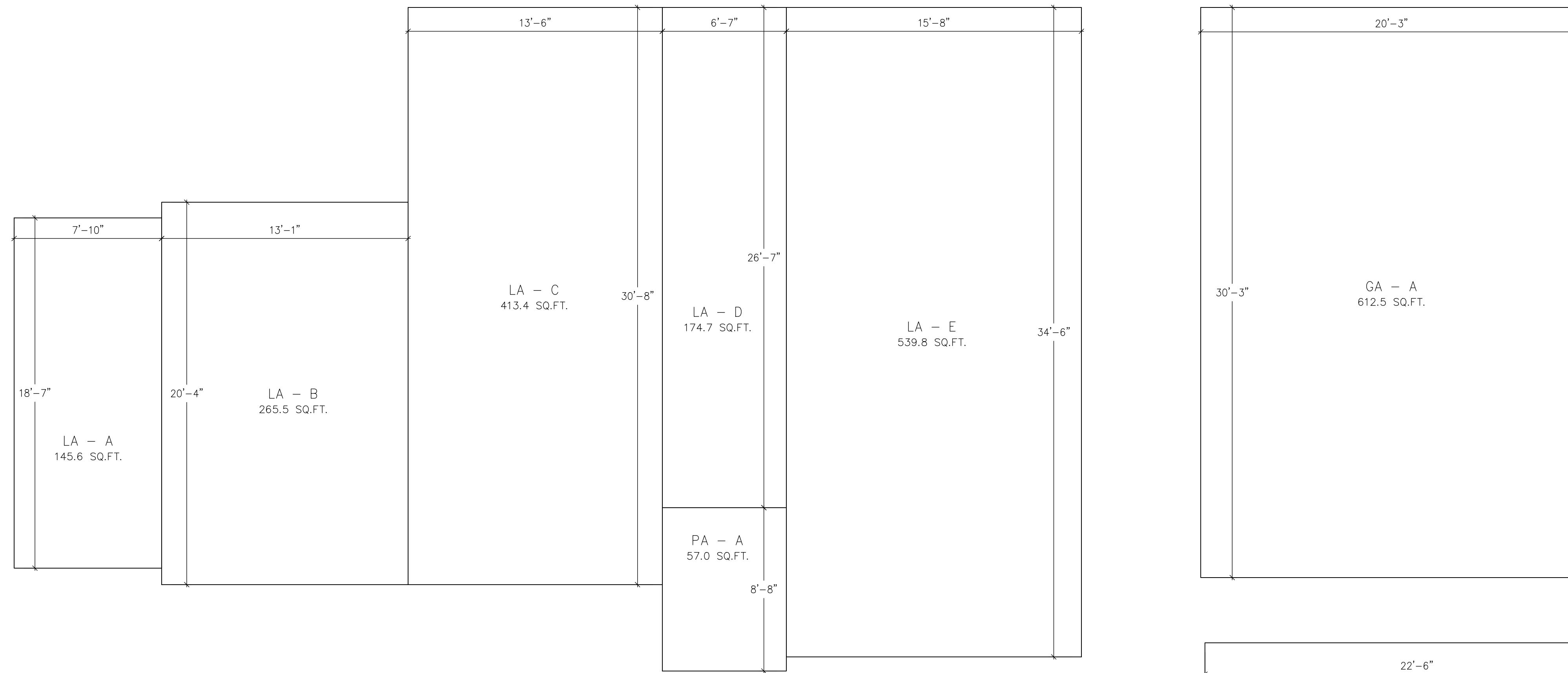
SECTION 1 - 1/4"=1'



SECTION 2 - 1/4"=1'



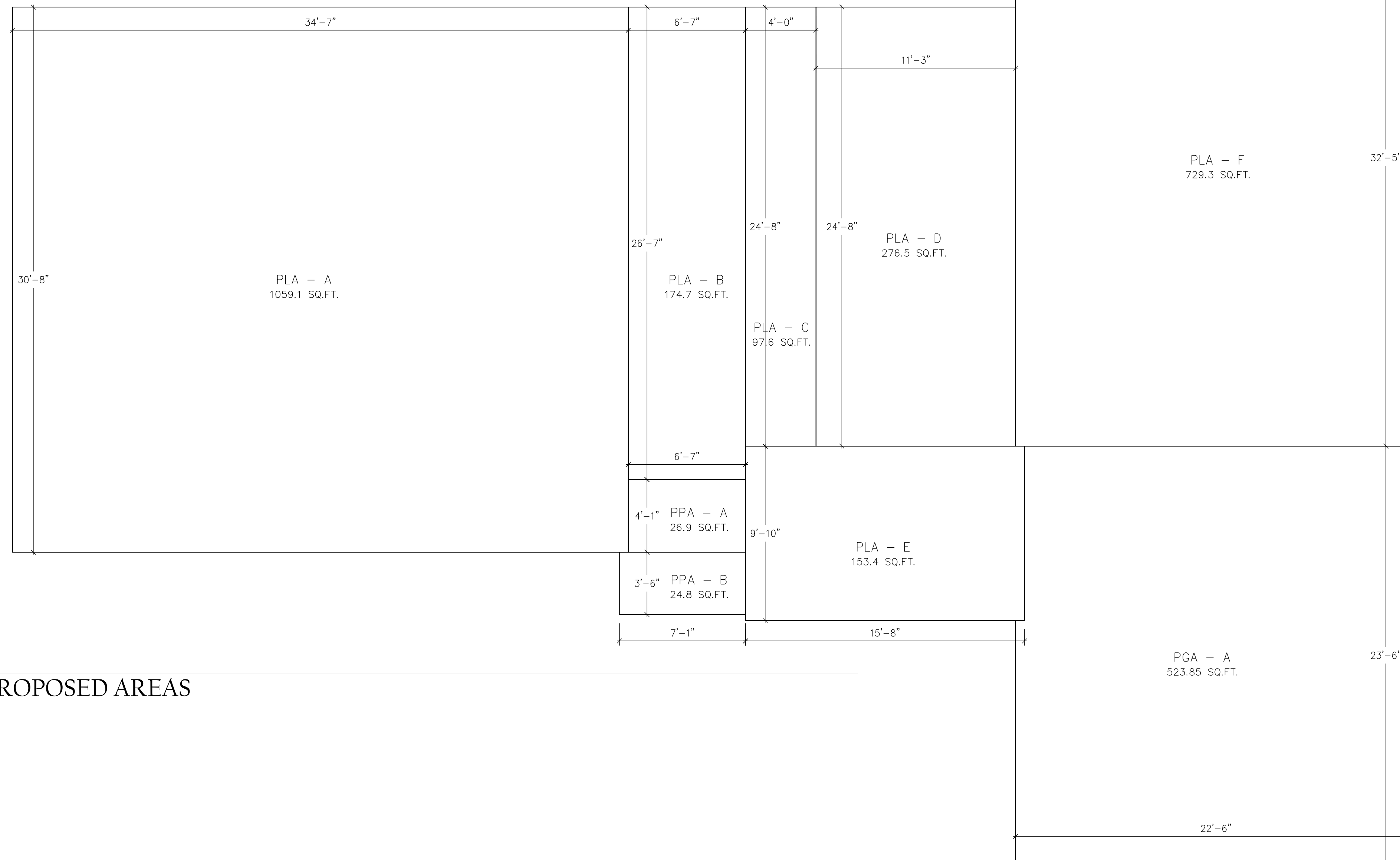
SECTION 3 - 1/4"=1'



AREA	DIMENSION (W*L)	AREA
EXISTING LIVING AREA (LA)		
LA - A	7'-10" X 18'-7"	145.6 SQ.FT.
LA - B	13'-1" X 20'-4"	265.5 SQ.FT.
LA - C	13'-6" X 30'-8"	413.4 SQ.FT.
LA - D	6'-7" X 26'-7"	174.7 SQ.FT.
LA - E	15'-8" X 34'-6"	539.8 SQ.FT.
EXISTING PORCH AREA (PA)		
PA - A	6'-7" X 8'-8"	57.0 SQ.FT.
EXISTING GARAGE AREA (GA)		
GA - A	20'-3" X 30'-3"	612.5 SQ.FT.
TOTAL		
LA		1539 SQ.FT.
PA		57.0 SQ.FT.
GA		612.5 SQ.FT.

AREA	DIMENSION (W*L)	AREA
PROPOSED LIVING AREA (PLA)		
PLA - A	34'-7" X 30'-8"	1059.1 SQ.FT.
PLA - B	6'-7" X 26'-7"	174.7 SQ.FT.
PLA - C	4'-0" X 24'-8"	97.6 SQ.FT.
PLA - D	11'-3" X 24'-8"	276.5 SQ.FT.
PLA - E	15'-8" X 9'-10"	153.4 SQ.FT.
PLA - F	22'-6" X 32'-5"	729.3 SQ.FT.
PROPOSED PORCH AREA (PPA)		
PPA - A	6'-7" X 4'-1"	26.9 SQ.FT.
PPA - B	7'-1" X 3'-6"	24.8 SQ.FT.
PROPOSED GARAGE AREA (PGA)		
PGA - A	23'-6" X 22'-6"	523.85 SQ.FT.
TOTAL		
PROPOSED LIVING AREA (PLA)		2490.6 SQ.FT.
PROPOSED PORCH AREA (PPA)		51.7 SQ.FT.
PROPOSED GARAGE AREA (PGA)		523.85 SQ.FT.

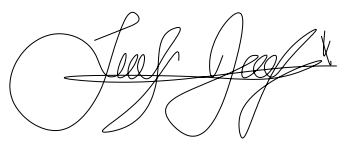
EXISTING AREAS - 1/4"=1'



PROPOSED AREAS

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SIGN:



REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
 DESIGNER BY: ESL
 REVIEWED BY: ESL
 SCALE: ASSHOW
 JOB NO: A-21-21

EXISTING AND PROPOSED AREAS

SHEET NO.
A - 12

SIGN:
Luigi Jayo

REVISION	DATE	DESCRIPTION
001	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOWN
JOB NO: A-21-21

SYMBOLGY

- HOSE BIB WITH BACKFLOW PREVENTER DEVICE
- INDOOR WALL SCONCE LIGHT FIXTURE
- WIRING
- COMBINATION FAN/RECESSED FLUORESCENT LIGHT-FAN TO BE CONTINUOUS 20 CFM MIN. & MUST VENT TO EXTERIOR-FAN SHALL COMPLY WITH ASHRAE 62.2 SECTION 5 & SHALL BE ENERGY STAR COMPLIANT-FAN & LIGHT TO BE SWITCHED SEPARATELY-FAN TO BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT FOR RELATIVE HUMIDITY RANGE OF 50-80% PER CALGREEN 4.506.1.2.
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- MANUAL-ON/AUTO-OFF VACANCY SENSOR SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT ON UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR. CECNC SECTION 150.0(O)
- DUPLEX OUTLET
- DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTOR PER CEC 210-8(A)(B)
- WATERPROOF RECEPTACLE WITH GROUND FAULT INTERRUPTOR PER CEC 210-8(A)(B)
- CABINET FOR EV CAPABLE, WITH 208/240-VOLT BRANCH CIRCUIT
- ELECTRICAL METER
- ELECTRICAL PANEL 200 AMP
- LIGHTS HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME LOCK, OR BY AN ENERGY MANAGEMENT CONTROL SYSTEM, OR BY BOTH A MOTION SENSOR AND PHOTOCELL TYPE.
- ALL EXTERIOR LIGHTING TO BE DOWNWARD DIRECTED WITH THE BULB SHIELDED.
- HANGING LAMP
- 6" CEILING RECESSED LED LIGHT
- LIGHT/CEILING FAN COMBINATION
- KITCHEN COOKER EXTRACTOR FAN
- HARDWIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK-UP TYPICAL THROUGHOUT HOUSE AT LOCATIONS SHOWN. SMOKE DETECTORS WITHIN 20 FEET OF A KITCHEN, OR A ROOM WITH A WOOD BURNING STOVE OR FIREPLACE, SHALL BE PHOTOELECTRIC. OTHER SMOKE DETECTORS TO BE DUAL SENSOR (PHOTO/ION)-INSTALL PER MANUF. INSTRUCTIONS. SEE NOTE 24 UNDER 4/A0.1g FOR ADDITIONAL SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR REQUIREMENTS.
- HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP-INSTALL PER MANUF. INSTRUCTIONS. DETECTOR TO BE LISTED AS COMPLYING WITH UL 2034 AND UL 2075 AND INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720.
- EXISTING WALL
- REGISTER AIR CONDITIONER 8"x12"
- REGISTER AIR CONDITIONER 6"x10"

LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME LOCK, OR BY AN ENERGY MANAGEMENT CONTROL SYSTEM, OR BY BOTH A MOTION SENSOR AND PHOTOCELL TYP.

REPLACEMENT AND NEW PLUMBING FIXTURE NOTE

WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS). CALIFORNIA CIVIL ARTICLE 1101.4 AND CALGREENS 4.303.1

NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING REQUIREMENTS FOR MAXIMUM FLOW RATES FOR CALGREEN 4.303.1

WATER CLOSETS EFFECTIVE FLUSH VOLUME - 1.28 GPF
SINGLE SHOWERHEAD - 1.8 GPM @ 80 PSI
MULTIPLE SHOWERHEADS CONTROLLED BY A SINGLE VALVE - 1.8 GPM @ 80 PSI
LAVATORY FAUCETS - 1.2 GPM @ 60 PSI (MINIMUM 0.8 GPM @ 20 PSI)
KITCHEN FAUCETS - 1.5 GPM @ 60 PSI

MECHANICAL AND PLUMBING NOTES

THE HVAC SYSTEM IN THE ATTIC IT SHALL COMPLY WITH SECTION 904.11 CMC 2019. IT SHALL INCLUDE A SERVICE PLATFORM, CATWALK TO THE SCUTTLE, LIGHTING AND 110V POWER.

BATHROOMS REQUIRE 50 CFM MINIMUM HUMIDITY CONTROLLED EXHAUST FANS (BY FAN OR SWITCH) PER R405.6 AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.

KITCHEN HOOD VENT TO HAVE DAMPER AND BE DUCTED TO THE EXTERIOR WITH SMOOTH WALL SHEET METAL PER INSTALLED MANUFACTURER'S REQUIREMENTS. EXHAUST FAN MUST PROVIDE A MINIMUM OF 100 CFM.

ALL PENETRATIONS INTO THE FIRE RATED FLOORS, WALLS, AND CEILINGS SHALL NOT COMPROMISE THE FIRE RATING. J-BOXES TO BE METAL. CAN LIGHTS TO BE SEALED IN 5/8 GYPSUM BOXES.

WEST VALLEY SANITATION DISTRICT (W.V.S.D.) REQUIRED CHECK VALVE IS TO BE PLACED 5' FROM THE HOUSE AND THE "PROPERTY LINE CLEANOUT" IS TO BE PLACED NEXT TO THE PROPERTY LINE.

CLOTHING AND DISH WASHING MACHINES SHALL BE FITTED WITH WATER HAMMER ARRESTORS.

DRYER EXHAUST VENT PER 504.32019 CMC

THE DRYER MOISTURE EXHAUST DUCT SHALL NOT EXCEED 14' MIN OF 4" DIA WITH A BACKDRAFT DAMPER TO BE METAL OR MOISTURE RATED PVC WITH A SMOOTH INTERIOR SURFACE W/O SCREWS. DUCT SHALL TERMINATE AT LEAST 3' FROM OPENINGS INTO THE BUILDING.

SHEET NOTES

THE FINAL LOCATION OF ALL ELECTRICAL AND SIGNAL EQUIPMENT, PANEL BOARDS, FIXTURES, ETC., SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. TEST EXISTING ELECTRICAL SYSTEM TO VERIFY PROPER GROUNDING. ELECTRIC RANGES AND CLOTHES DRYER SHALL BE PROVIDED WITH AN EQUIPMENT-GROUNDING CONDUCTOR BY MEANS OF THE METAL ENCLOSURE, BY AN EQUIPMENT GROUNDING CONDUCTOR OR BY A SEPARATE FLEXIBLE WIRE OR STRIP PER CEC 250.140 (4 CONDUCTORS REQUIRED). PROVIDE PROPER GROUNDING OF THE ELECTRICAL SERVICE TO CEC REQUIREMENTS, BOND TO 10' MINIMUM METAL COLD WATER PIPE LOCATED IN GROUND AND 20' LONG #4 REBAR UFFER OR 20' LONG NO. 4 BARE COPPER. ARTICLE CEC 250.50

SNAP SWITCHES, INCLUDING DIMMER AND SIMILAR CONTROL SWITCHES, SHALL BE EFFECTIVELY GROUND AND SHALL PROVIDE A MEANS TO GROUND METAL FACEPLATES, WHETHER OR NOT A METAL FACEPLATE IS INSTALLED. CEC 404.9(A).

MECHANICAL QUICK DISCONNECTS MUST BE READILY ACCESSIBLE. GFCI RECEPTACLES: ALL 15 AND 20 AMP/ 120V RECEPTACLES IN WET LOCATIONS TO BE GFCI PROTECTED.

EXTERIOR WATERPROOF RECEPTACLES TO BE ALSO GFCI PROTECTED.

IF KNOB AND TUBE WIRING IS FOUND IN EXISTING STRUCTURE, IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR INSTRUCTIONS.

MANUAL SWITCH NOTE: THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR. CEC 150.

NOTE: ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCRONCH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY.

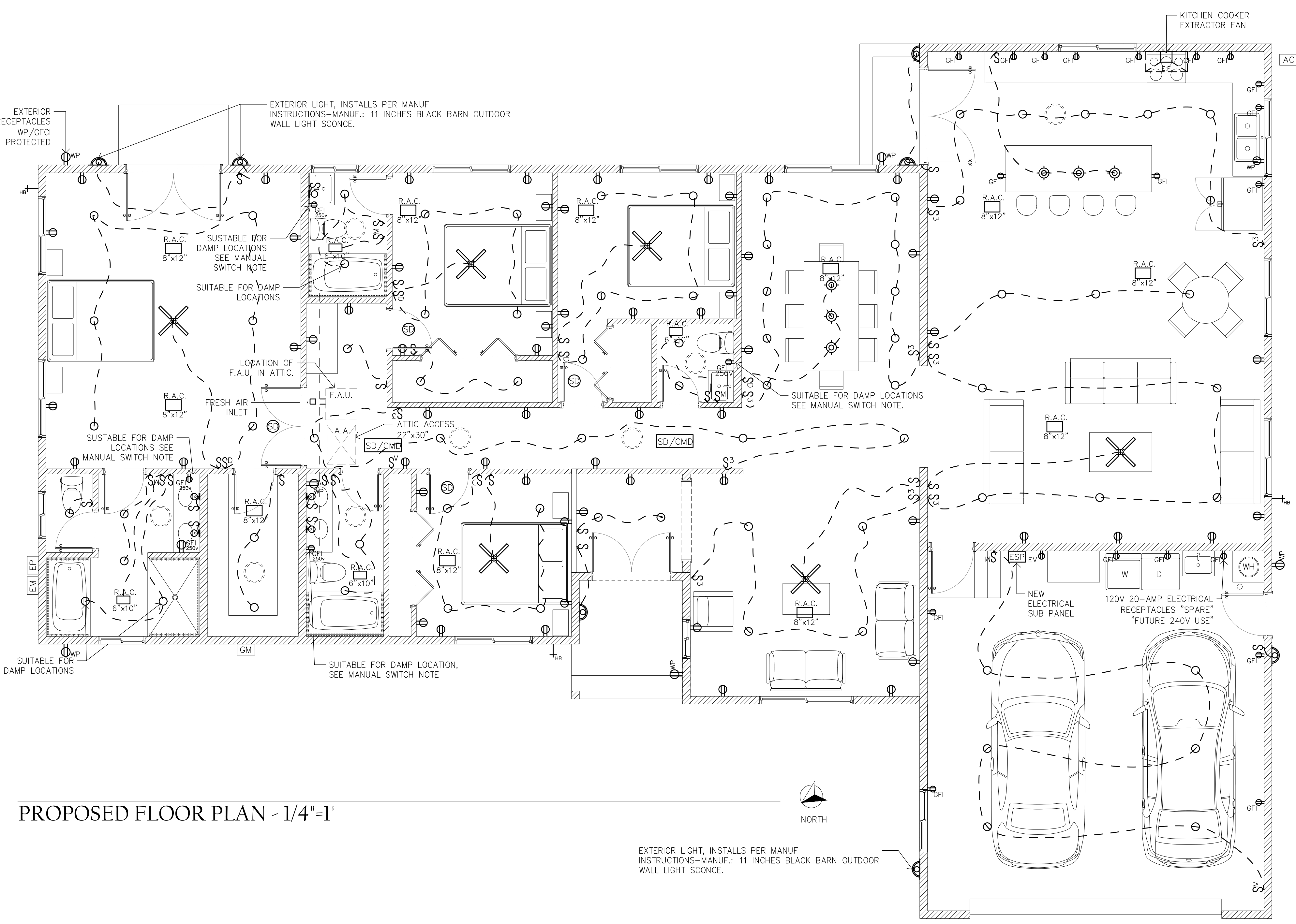
NOTE II: ALL LIGHTING SHALL BE HIGH EFFICACY (IE. PHOSPHOR-STAR MH, HPS, GU-24 SOCKETS OTHER THAT LEDS, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0-4.

NOTE III: ANY NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR. CEC 150.0 (K) IE

NOTE IV: ANY LIGHTS SOURCE INTEGRAL TO DRAWERS, CABINETS AND LINEN CLOSETS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR CEC 150.0(K) 1L

NOTE V: ALL COMPLETED CE22-116-G-1 FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

CITY STAMPS



PROPOSED FLOOR PLAN - 1/4"=1'

ELECTRICAL GENERAL NOTES

- CHECK LIST OF CIRCUITS SPECIFICALLY REQUIRED BY THE CEC
- ONE LAUNDRY CIRCUIT, CEC 210.52 REQUIRED AMPACITY: 20A.
 - THE MINIMUM NUMBER OF BRANCH CIRCUITS SHALL BE DETERMINED FROM THE TOTAL CALCULATED LOAD AND THE SIZE RATING OF THE CIRCUITS USED, CEC 210.11(A) (REQUIRED AMPACITY: 20A).
 - IN ALL INSTALLATIONS, THE NUMBER OF CIRCUITS SHALL BE SUFFICIENT TO SUPPLY THE LOAD SERVED, CEC 210.11(A)(REQUIRED AMPACITY: 15A AND 20A).
- CHECK LIST OF REQUIRED LIGHTING OUTLETS (SEE CALIFORNIA ELECTRICAL CODE ARTICLE 210-70)
- WALL SWITCHED LIGHT OR PLUG IN EACH LIVING ROOM, BEDROOM, ETC.
 - WALL SWITCHED LIGHT IN EACH KITCHEN, BATHROOM, ETC.
 - WALL SWITCHED LIGHT IN EACH HALLWAY.
 - WALL SWITCHED LIGHT IN THE BASEMENT.
 - WALL SWITCHED LIGHT IN AN ATTACHED GARAGE.
 - WALL SWITCHED LIGHT EACH OUTDOOR ENTRANCE OR EXIT.
 - WALL SWITCHED LIGHT IN A DETACHED GARAGE WHEREVER SUCH GARAGE HAS ELECTRICAL POWER.
 - LIGHT NEAR ATTIC FURNACE EQUIPMENT SWITCHED NEAR ACCESS.
 - LIGHT OVER STAIRWAY WITH SWITCHES AT TOP AND BOTTOM.
- CHECK LIST OF REQUIRED PLUG OUTLETS (SEE CALIFORNIA ELECTRICAL CODE ARTICLE 210-50 AND 510-52)
- IN ALL AREAS SPECIFIED IN 250.52 ALL RECEPTACLES SHALL BE TAMPER-RESISTANT. ATTACHED CORDS FOR MOST LAMPS ETC. ARE 6 FEET LONG AND FOR KITCHEN APPLIANCES ARE 24 INCHES LONG.
- PLUG WITHIN 6 FEET OF ALL POINTS ALONG THE BASE OF WALLS.
 - PLUG IN ANY ISOLATED 2 FEET OR WIDER WALL SECTION ONE MIGHT PLACE A LAMP ETC.
 - OUTSIDE PLUG ACCESSIBLE AT GARAGE AT THE FRONT AND BACK OF DWELLING.
 - 120V PLUG WITHIN 6 FEET OF ANY OTHER LARGE APPLIANCE SUCH AS A FREEZER.
 - PLUG WITHIN 6 FEET OF ANY OTHER LARGE APPLIANCE SUCH AS A FREEZER.

- CRG 314.2.2: HARDWIRED SMOKE DETECTION IS REQUIRED IN EACH BEDROOM, COMBINATION SMOKE AND CARBON MONOXIDE DETECTION IS REQUIRED OUTSIDE EACH BEDROOM AND ON EACH FLOOR.
- CEC ART. 406.12 ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "TAMPER-RESISTANT RECEPTACLES".
- ART. 210.12 AND ART. 210.8 CEC 2019: ARC FAULT (AFCI) REQUIRED IN FAMILY RMS, DINING RMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUN ROOMS, REC RMS, CLOSETS AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATH RMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS AND LAUNDRY AREAS.
- ALL NEW LIGHTING SHALL BE HIGH-EFFICACY COMPLIANT TO TABLE 150.0A CEC.
- SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB (JOINT APPENDIX 8) COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES IN CEILING RECESSED DOWNLIGHTS AND LED'S ARE TO BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING.
- EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL AND MOTION PER ENERGY 110.9
- AT LEAST ONE FIXTURE IN EACH GARAGE IS TO BE CONTROLLED BY A VACANCY SENSOR.
- AT LEAST ONE FIXTURE IN EACH LAUNDRY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.
- AT LEAST ONE FIXTURE IN EACH UTILITY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.
- AT LEAST ONE FIXTURE IN EACH BATHROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.
- UNDER CABINET LIGHTING SHALL BE CONTROLLED BY SEPARATE SWITCHING.
- A 120V RECEPTACLE SHALL BE PLACED WITHIN 3' OF A WATER HEATER AND WITHIN 25' OF AN A/C CONDENSER.

ROOM OUTLETS

- IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS SPECIFIED IN 210.52.
- (1) SPACING. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 1.8 M (6 FT) FROM A RECEPTACLE OUTLET.
- (2) WALL SPACE. AS USED IN THIS SECTION, A WALL SPACE SHALL INCLUDE THE FOLLOWING:
(A) ANY SPACE 600 MM (2 FT) OR MORE IN WIDTH (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, AND SIMILAR OPENINGS, FIREPLACES AND FIXED CABINETS.
(B) THE SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS
(C) THE SPACE AFFORDED BY FIXED ROOM DIVIDERS SUCH AS FREESTANDING BAR-TYPE COUNTERS OR RAILINGS
- (3) FLOOR RECEPTACLES. RECEPTACLE OUTLETS IN OR ON FLOORS SHALL NOT BE COUNTED AS PART OF THE REQUIRED NUMBER OF RECEPTACLE OUTLETS UNLESS LOCATED WITHIN 450 MM (18 IN.) OF THE WALL.
- SWITCH LOCATIONS
ALL LIGHT SWITCHES MOUNTING HEIGHT ABOVE FINISH FLOOR +42" AND WITHIN 16" OF ROOM DOOR (UNLESS OTHERWISE NOTED)
GARBAGE DISPOSAL SWITCH TYPICALLY IN BACKSPLASH ALINED WITH OUTLETS, TYPICALLY 42" A.F.F.
- ALL BATHROOMS CONTAINING BATHTUB AND SHOWERS SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH SECTION 403.7 OF CMC OR SEC R303.3 OF CRC & SECTION 150-O OF CAL. ENERGY CODE & ANSI/ASHRAE STANDARD 62.2
 - ALL RECEPTACLE IN DWELLING UNITS FOR 125-VOLT, 15 & 20 AMP SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. SECTION 406.11 CEC.
 - LOCATION OF THE RECEPTACLE OUTLETS SHALL BE DESIGNED TO COMPLY WITH CEC SECTION 210.50 TO 210.51. AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6.5 FT ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING.
 - ALL 125-VOLT, SINGLE-PHASE, 15 & 20 AMP RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND-FAULT INTERRUPTER PROTECTION (GFI) FOR PERSONNEL, SEC 210.8 CEC.
 - ALL 120-VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. SEC 210.12 CEC.
 - VERIFY LOCATION OF RECESSED LIGHTING WITH CEILING JOISTS, NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHTING DIMENSIONS AND CEILING JOISTS.

CFM CALCULATION

PROJECT DATA:	CALCULATION:
2486 SF TOTAL LIVING AREA	CFM PER SF
5 OCCUPANTS (4 BEDROOMS + 1)	2466 / 100 = 24.66
	24.66 x 3 = 73.98
	CFM PER OCCUPANT.
	5 x 7.5 = 37.5

TOTAL
73.98 + 37.5 = 111.48 CFM

THE EXHAUST FAN SIZE SHALL BE MIN. 112 CFM.

GFCI OUTLETS (GROUND FAULT CIRCUIT INTERRUPTER) CEC210.8

- IN DWELLING UNITS, ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(A)(1) THROUGH (10) SHALL HAVE GFCI PROTECTION.
- BATHROOMS - ALL RECEPTACLES IN A BATHROOM ARE REQUIRED TO BE GFCI PROTECTED.
 - GARAGES - THE PURPOSE OF GFCIS IN GARAGE IS TO PROVIDE A DEGREE OF SAFETY FOR PERSONS USING PORTABLE HAND HELD TOOLS, GARDENING APPLIANCES, SNOW BLOWERS, ETC. THAT MIGHT BE CONNECTED TO RECEPTACLES IN GARAGES SINCE THEY ARE OFTEN THE LOCATION OF THE CLOSEST RECEPTACLE. ALSO, AUTO REPAIR WORK AND GENERAL WORKSHOP ELECTRICAL TOOL USAGE ARE PROTECTED.
 - OUTDOORS
 - CRAWL SPACE AT OR BELOW GRADE LEVEL
 - UNFINISHED BASEMENTS - AREAS NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND THE LIKE. EXCEPTION TO (5): A RECEPTACLE SUPPLYING ONLY A PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM SHALL NOT BE REQUIRED TO HAVE GFCI PROTECTION.
 - KITCHENS - WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACE. RECEPTACLES WITHIN 6 FEET OF A WET BAR SINK ARE REQUIRED TO BE GFCI PROTECTED.
 - SINKS - LOCATED IN AREAS OTHER THAN KITCHENS WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
 - BATHROOMS
 - BATHROOMS OR SHOWER STALLS - WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL
 - LAUNDRY AREAS

ARCHITECTURAL

WALL AND FLOOR FLASHING: ALL FLASHING AT WALLS, FLOORS, AND ROOF JUNCTURES TO VERTICAL SURFACES SHALL BE 26 GA. G.I. UNLESS NOTED OTHERWISE ON PLANS. FORM FABRICATE AND INSTALL FLASHING AS SHOWN ON DETAILS. SET ALL FLASHING IN PLASTIC CEMENT AND SET JOINTS IN BUTYL MASTIC. FLASHING SECTIONS SHALL HAVE AN END LAP OF 4" MIN.

DOORS: ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL FRENCH DOORS SHALL BE PAINT GRADE WOOD WITH TEMPERED, DOUBLE GLASS PANELS ARRANGED AS SHOWN ON PLANS AND DOOR SCHEDULE.

WINDOWS: ALL WINDOWS SHALL BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL WINDOWS ARE TO BE WOOD OR VINYL FRAMED DOUBLE GLAZED WITH PANES AS SHOWN ON PLANS AND WINDOW SCHEDULE AND A MAXIMUM U-VALUE AS SET FORTH IN THE T-24 ENERGY CALCULATIONS.

BATH COUNTER TOPS: ALL BATH COUNTERTOPS AND SPLASHES SHALL BE CERAMIC TILE AS SELECTED BY OWNER UNLESS NOTED OTHERWISE ON THE PLANS. USE GRANITE OR MARBLE TILE OR SLAB WHERE NOTED ON PLANS AND INTERIOR ELEVATIONS.

WEATHER BARRIER: ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED WITH AN UNDERLAYMENT OF (2) LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD WALL SHEATHING. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION WITH MIN. 2" LAP AT HORIZONTAL JOINTS AND MIN. 6" LAP AT VERTICAL JOINTS. UNDERLAYMENT SHALL BE FREE OF HOLES AND BREAKS OTHER THAN THOSE FROM NAILING TO PLYWOOD SHEATHING OR WALL STUDS.

INSULATION: FIBERGLASS BATH INSULATION SHALL BE INSTALLED ACCORDING TO THE T-24 REPORT. SEE T-24 REPORT FOR INSULATION VALUES.

CAULKING: ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILING AND FLOOR ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

TUBS & SHOWERS: SHOWERS SHALL BE A MIN. SIZE OF 1024 SQ.IN AND ACCOMMODATE AT 30" CIRCLE, BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE HARDIE SIDING, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN. HEIGHT OF 72". SHOWER WALLS SHALL BE FINISHED WITH CERAMIC TILE OF OTHER SMOOTH, HARD NON-ABSORBENT COVERING. ALL TUB AND SHOWER GLAZING SHALL BE MADE OF SHATTER-RESISTANT TEMPERED GLASS. SWING DOORS SHALL OPEN OUTWARD WITH A MIN. OPENING CLEARANCE OF 22".

PRE-FABRICATED FIREPLACES: PRE-FABRICATED METAL FIREPLACES SHALL BE INSTALLED WITH INSULATED CHIMNEY FLUE, SPARK ARRESTOR AND ACCESSORIES ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FIREPLACE OPENING SHALL BE EQUIPPED WITH A TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR. FIREPLACE SHALL HAVE A FLUE DAMPER AND AN OUTSIDE AIR INTAKE WITH DAMPER. ONLY GAS APPLIANCE FIREPLACES ARE TO BE USED.

GLAZING: ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND THE CALIFORNIA RESIDENTIAL CODE. GLAZING IN HAZARDOUS LOCATIONS SHALL BE FULLY TEMPERED GLASS OR APPROVED PLASTIC AND IS PERMANENTLY IDENTIFIED BY THE MANUFACTURER OR INSTALLER.

MECHANICAL ROOM DOORS: ACCESS DOORS OF THE MECHANICAL ROOM SHALL BE SOLID CORE WITH MINIMUM 100 SQ. IN. LOUVERED VENT AT TOP OF DOORS AND MINIMUM 100 SQ. IN. LOUVERED VENT AT BOTTOM OF DOORS.

GYPSUM WALLBOARD: ALL INTERIOR WALL AND CEILING FACES ARE TO BE SHEATHED WITH 1/2" GYPSUM WALLBOARD EXCEPT WHERE NOTED TO USE 5/8" TYPE "X" WALLBOARD. TAPE, TEXTURE AND PAINT GYP. BOARD ACCORDING TO FINISH SCHEDULE. ALL GAPS AND PENETRATIONS AT 5/8" TYPE "X" WALLBOARD SHALL BE FILLED WITH TAPING COMENT. NAIL ALL GYP. BOARD TO WALL STUDS, PLATES, BLOCKING, ETC. AS FOLLOWS: 1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14 GA. ACID-ETCHED, PHOSPHATE COATED NAIL OR 4d "DRYVITE" NAIL AT 7" O.C. 5/8" TYPE "X" WALLBOARD 6d "COOLER" NAILS AT 7" O.C.

ROOF VENTILATION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE OR 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAWE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENINGS OF AT LEAST 1/16" AND A MAXIMUM OF 1/8" DIMENSION. VENTS SHALL BE LOCATED SO AS TO PROVIDE CROSS VENTILATION OF EACH SEPARATE ATTIC SPACE AND SHALL PROTECT AGAINST THE ENTRANCE OF RAIN AND SNOW.

STAIR HANDRAILS: EVERY STAIRWAY OF 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND EVERY OPEN SIDE OF A STAIRWAY SHALL HAVE A GUARDRAIL. HANDRAILS MOUNTED ON A WALL SHALL HAVE A MIN. 1-1/2" SPACE BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1-1/4" AND 2" CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ALL HANDRAILS ARE TO BE PLACED 34" AND 38" ABOVE TREAD NOSING AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. GUARDRAILS:

GUARDRAILS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO THE APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILL ERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO ONE SQUARE GUARDRAIL AND STAIR RAILINGS SHALL BETWEEN RAILS, OPEN BALUSTERS, PICKETS, ETC., ARRANGED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THE OPENINGS.

ARCHITECTURAL (CONT.)

SKYLIGHTS: ALL SKYLIGHTS ARE TO BE PRE-MANUFACTURED PLASTIC DOME TYPES WITH ANODIZED ALUMINUM FRAMES MOUNTED ON WOOD CURBS OR DIRECTLY TO ROOF DECK. FRAME COLOR IS TO MATCH OR BE SIMILAR TO THE ROOF COLOR. CURB HEIGHT ABOVE THE ADJACENT ROOF SURFACE IS TO BE 4" MINIMUM. THE DOME HEIGHT IS TO BE MINIMUM 5" OR 10% OF THE MAXIMUM SPAN OF THE DOME. SKYLIGHT UNITS SHALL MEET TITLE 24 REQUIREMENTS. SKYLIGHTS WITH INSTALLED GLAZING 12" ABOVE THE WALKING SURFACE SHALL BE CONSTRUCTED OF LAMINATED GLASS WITH A POLYVINYL BUTYRAL INTERLAYER AND A MINIMUM THICKNESS OF 0.030 INCHES (.76 mm).

EXTERIOR PLASTER LATH: EXTERIOR PLASTER LATH SHALL BE OF AN APPROVED, PAPER-BACKED, CORROSION RESISTANT METAL OR WIRE FABRIC AND SHALL BE SELF FURRING. (1/4" MIN.) APPLY LATH OVER WALL UNDERLAYMENT WITH THE LONG DIMENSION HORIZONTAL AND LAP A MIN. 1/2" AT THE SIDES AND MIN. 1" AT THE ENDS. WHERE END LAPS OF SHEETS DO NOT OCCUR OVER SUPPORTS, THEY SHALL BE SECURELY TIED TOGETHER WITH A MIN. 18 GA. WIRE. REINFORCEMENT SHALL BE USED AT ALL CORNERS OR THE LATH SHALL BE CARRIED AROUND CORNERS AT LEAST ONE SUPPORT. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION LINE ON ALL EXTERIOR STUD WALLS A MIN. OF 4" ABOVE HIGHEST ADJACENT GRADE. THE SCREED SHALL ALLOW TRAPPED WATER TO DRAIN TO THE OUTSIDE. BOTH THE METAL LATH AND PAPER UNDERLAYMENT SHALL TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. NAILING OF METAL LATH SHALL BE AT A MAX. OF 6 O.C. EACH WAY USING EITHER 11 GA. X 1-1/2" LONG X 7/16" HEAD NAILS OR 16 GA. STAPLES WITH 7/8" LEGS.

EXTERIOR PLASTER: EXTERIOR PLASTER SHALL BE PORTLAND CEMENT APPLIED IN THREE COATS TO A MIN. THICKNESS OF 7/8". SEE EXTERIOR ELEVATIONS FOR TEXTURE VARIATIONS.

APPLIANCES: THE CONTRACTOR SHALL PROVIDE RESIDENTIAL EQUIPMENT WHICH IS U.L. LABELED. PROVIDE, TO THE OWNER, ALL MANUFACTURER'S STANDARD WRITTEN WARRANTIES, OWNER'S MANUALS, AND STANDARD ACCESSORIES. CONTRACTOR SHALL INSTALL THE APPLIANCES WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY ALL CODES AND LISTINGS. APPLIANCE TYPES, STYLES, COLORS, ETC., SHALL BE SELECTED BY OWNER.

EMERGENCY EGRESS ESCAPE AND RESCUE WINDOWS: BASEMENTS OF DWELLING UNITS AND EVERY BEDROOM BELOW THE 4TH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE DIRECTLY TO EXTERIOR. THE UNITS SHALL BE OPERABLE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND HAVE A NET CLEAR OPENING OF NO LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL BE A MINIMUM OF 24" AND THE WIDTH SHALL BE A MINIMUM OF 20" WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR IN DWELLING UNITS. WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4 INCH DIAMETER WHERE SUCH OPENING ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. WHERE SUCH WINDOW OPENINGS DO NOT COMPLY, WINDOW FALL PREVENTION DEVICES AND WINDOW GUARDS THAT COMPLY WITH ASTM F 2090, SHALL BE PROVIDED.

STREET ADDRESS: NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1 /2 INCH.

SPARK ARRESTORS: SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS INCLUDING OUTSIDE FIREPLACES.

GARAGE: 1-HR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6, 20 MINUTE, 1-3/4" SOLID WOOD FIRE RATED DOOR WITH SELF CLOSING AND SELF LATCHING DEVICES PER CRC SECTION R302.5

DIMENSIONS: ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ELECTRICAL

CODES: ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS.

LISTINGS: ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

RECESSED FIXTURES: PROVIDE RECESSED FIXTURE CLEARANCE PER CODE. RECESSED FIXTURES IN INSULATED CEILINGS SHALL BE "IC" APPROVED FIXTURES.

DRYER LOADS: CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS PER APPLIANCE OR BY NAMEPLATE RATING.

ELECTRICAL BOXES: ELECTRIC SWITCH AND OUTLET BOXES ON EXTERIOR WALLS SHALL HAVE RUBBER GASKETS FOR MEDIUM INFILTRATION CONTROL.

KITCHEN AND BATH FIXTURES: ALL GENERAL LIGHTING FIXTURES AND BULBS IN KITCHEN AND BATH AREAS SHALL HAVE AN EFFICACY RATING OF 40 LUMENS PER WATT OR GREATER. FLUORESCENT FIXTURES WITH PLUG-IN (NOT SCREW-IN) FLUORESCENT LAMPS SHALL BE USED.

CLOSET LIGHTS: LIGHT FIXTURES IN CLOSETS/WARDROBES SHALL HAVE A MIN. 18" HORIZONTAL CLEARANCE TO SHELVES.

TUB/SHOWER LIGHTS: LIGHT FIXTURES MOUNTED WITHIN 5' OF A SPA/TUB SHALL BE MOUNTED AT LEAST 76" ABOVE THE MAXIMUM WATER LEVEL OF THE SPA/TUB AND SHALL BE GFCI PROTECTED.

DRYER/COOKING UNIT OUTLETS: CLOTHES DRYERS AND COOKING UNITS SHALL HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET.

OUTDOOR OUTLETS: PROVIDE OUTSIDE RECEPTACLES AT THE FRONT AND REAR OF THE HOME WITHIN 6'-6" OF GRADE WHICH ARE WATERPROOF AND GFCI PROTECTED. SEE PLAN FOR LOCATIONS.

KITCHEN BRANCH CIRCUITS: SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS. THESE OUTLETS CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS (INCLUDING REFRIGERATOR).

BATHROOM OUTLET CIRCUITS: REQUIRED BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT WHICH CANNOT SERVE ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS: ALL NEW NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES THAT ARE WITHIN 5 1/2' ABOVE FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ARC-FAULT AND GROUND FAULT OUTLETS: ARC-FAULT (AFCI) REQUIRED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC ROOMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.

MECHANICAL

CODES: ALL HVAC EQUIPMENT, DUCT WORK AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CURRENT MECHANICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND MANUFACTURER'S SPECIFICATIONS. ALL PLUMBING WORK SHALL CONFORM WITH THE CURRENT CALIFORNIA PLUMBING CODE.

LISTINGS: ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

EXHAUST FANS: ALL INTERIOR EXHAUST FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR OR MORE. EXHAUST FANS AND FAN SYSTEMS SHALL HAVE BACK-DRAFT DAMPER CONTROLS.

1 HOUR WALLS: HVAC DUCTS PENETRATING ONE HOUR WALLS (GARAGE/HOUSE WALL) SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL. 1 HOUR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6.

GAS PIPING: GAS PIPING SHALL NOT BE IMBEDDED IN OR BELOW CONCRETE SLABS SEWER PIPING; PLASTIC OR PVC SEWER LINE SHALL BE PLACED WITH MIN. 6" OF SAND BASE AND COVER.

FORCED AIR UNIT: FORCED AIR UNIT(S) SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND THOSE OF THE STRUCTURAL ENGINEER WHEN INSTALLED IN AN ATTIC SPACE.

GAS APPLIANCES: ALL GAS APPLIANCES AND EQUIPMENT SHALL HAVE INTERMITTENT IGNITION DEVICES WITH NO CONTINUOUS BURNING PILOTS. ALL APPLIANCES SHALL COMPLY WITH THE CURRENT CALIFORNIA MECHANICAL CODE.

WATER HEATERS: WATER HEATERS SHALL BE INSULATED WITH EXTERNAL BLANKETS OF R-12 OR GREATER. INSULATE HOT WATER INLET AND OUTLET PIPES (FIRST FIVE FEET IN UNCONDITIONED SPACES) WITH EXTERNAL WRAPPING OF R-4 OR GREATER. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. WATER HEATERS LOCATED IN NON-LIVING SPACES SHALL BE INSTALLED ON A PLATFORM SUCH THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN EIGHTEEN INCHES ABOVE THE FINISHED FLOOR.

TANKLESS WATER HEATERS: TANKLESS WATER HEATER SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

DRYER VENT: CLOTHES DRYERS SHALL VENT TO THE OUTSIDE OF THE BUILDING AND SHALL BE A MAXIMUM 14' IN LENGTH WITH TWO FEET REDUCTION FOR EACH 90 DEGREE ELBOW OVER TWO.

PLUMBING VENTS: ALL PLUMBING VENTS SHALL BE MINIMUM 10 FEET FROM OPERABLE SKYLIGHTS.

THERMOSTATS: ONLY "SETBACK" THERMOSTATS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION SHALL BE USED.

HOSE BIBS: HOSE BIBS AND WATER OUTLETS TO HOSE ATTACHMENTS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

FORCED AIR UNIT CLEARANCES: LISTED FURNACES SHALL BE INSTALLED IN CONFORMANCE WITH THE CONDITIONS OF THEIR LISTING. THE FURNACE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE. CLEARANCES OF LISTED FURNACES FROM COMBUSTIBLES SHALL BE AS SPECIFIED IN THE LISTING OR ON THE FURNACE RATING PLATE. UNLISTED FURNACES SHALL HAVE THE FOLLOWING CLEARANCES FROM COMBUSTIBLES: ABOVE TOP OF CASING OR FURNACE 6" FROM TOP AND SIDES OF WARM-AIR BONNET OR PLENUM 6" FROM FRONT (UNLESS ACCESS REQUIREMENTS GREATER 18" FROM BACK OF FURNACE 6" FROM SIDES OF FURNACE 6" DISHWASHERS: DISHWASHING MACHINES CONNECTED DIRECTLY TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL SHALL HAVE AN APPROVED DISHWASHER AIR CAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK/DRAIN BOARD, WHICH EVER IS HIGHER.

TUB AND SHOWER VALVES: TUB AND SHOWER VALVES SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE QUICK ACTING VALVES. ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED (SUCH AS DISHWASHERS, CLOTHES WASHERS, ETC.) SHALL BE APPROVED WITH DEVICES AS CLOSE TO QUICK ACTING VALVES AS POSSIBLE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

DUCT TERMINATIONS: ALL ENVIRONMENTAL AIR DUCT TERMINATIONS SHALL BE A MINIMUM OF (3) FEET FROM PROPERTY LINES AND/OR ANY OPENINGS INTO THE BUILDING.

CALGREEN:

JOINTS AND OPENINGS: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PRE-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.

HEATING AND AIR CONDITIONING SYSTEM DESIGN SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL 5 OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLOUGH, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINTS SHALL COMPLY WITH VOC AND OTHER CONTENT LIMITS. SPECIFIED IN SECTION 4.504.5 OF THE CDBG. ALL PRODUCT CONTAINERS SHALL REMAIN ON SITE FOR FIELD VERIFICATION. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CDBG SECTION 4.504.

FINISHES: USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LITER (GPL) VOCs REGARDLESS OF SHEEN) CDBG 4.504.2.2 USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113 (CDBG 4.504.2.3) DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH MATERIALS HAVE BEEN USED PER CDBG 4.504.2.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCOPE PROGRAM.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH TABLE 4.504.5. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT IN ACCORDANCE WITH CDBG SECTION 4.505.3.

ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CA CIVIL CODE SECTIONS 1101.01-1101.8.

ALL EXISTING TO REMAIN PLUMBING FIXTURES SHALL CONFORM TO THE FOLLOWING: TOILETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH TOILETS WITH A MAXIMUM OF 1.28 GPF.

SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM SHALL BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.

LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM SHALL BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.



392 WHITNEY WAY, MORGAN HILL, CA 95037 EMAIL: ADMIN@GSD.EM.COM TEL: 408 659 5580

BEDI RESIDENCE

10590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10/16/2024

DESIGNER BY: ESL

REVIEWED BY: ESL

SCALE: AS SHOW

JOB NO: A-21-21

CITY STAMPS

GENERAL NOTES

SHEET NO.

E - 2



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 5

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Front and Side Yard Setbacks on a Nonconforming Vacant Property Zoned R-1:8. **Located at 16500 Marchmont Drive.** APN 532-08-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15303(a): New Construction or Conversion of Small Structures. Property Owners: Ahmad Shamsoddini, Elham Eshraghi, and Mehrdad Alipour. Applicant: Tony Jeans. Project Planner: Suray Nathan.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8 – Single-Family Residential, 8,000 square-foot minimum
Applicable Plans & Standards: General Plan, Residential Design Guidelines
Parcel Size: 5,116 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:10
East	Residential	Low Density Residential	R-1:10
West	Residential	Low Density Residential	R-1:8

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures.

PREPARED BY: Suray Nathan
Assistant Planner

Reviewed by: Planning Manager and Community Development Director

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures;
- As required by Section 29.10.265 of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements;
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except for the requested front and side yard setback reductions; and
- The project is in compliance with the Residential Design Guidelines for single-family residences not located in the hillside area.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the west side of Hilow Road, just south of the corner of Marchmont Drive and Hilow Road (Exhibit 1). All surrounding properties are zoned for and developed with single-family residential uses. The property is a 5,116-square foot vacant lot and is zoned R-1:8.

On January 10, 2024, the Town approved a Senate Bill 9 (SB 9) Urban Lot Split that was submitted by the current applicant for this Architecture and Site application. The Urban Lot Split divided a 12,426-square foot lot into two parcels: a 7,310-square foot lot developed with a 1,950-square foot single-story dwelling, and the subject property, a 5,116-square foot vacant lot.

The R-1:8 zone requires a minimum lot size of 8,000 square feet and a minimum lot width of 60 feet. The subject property is 5,116 square feet with a lot width of 54 feet. Therefore, the subject property is nonconforming as to lot size and lot width. The only nonconforming property within the immediate neighborhood is the other parcel created through the SB 9 Urban Lot Split, which has a lot size of 7,310 square feet.

On June 11, 2024, the applicant applied for an Architecture and Site Application (S-24-021) for a proposed 1,468-square foot single-story residence with an attached 510-square foot garage, 1,081 square feet of below-grade square footage, and a 512-square foot basement-level Accessory Dwelling Unit (ADU). The proposed residence includes reduced front and side yard setbacks.

The proposed project meets the technical requirements of the Town Code for floor area, building coverage, parking, and height. The project is being referred to the Planning Commission to consider whether the reduced setbacks are consistent with other homes in the immediate neighborhood.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the west side of Hilow Road, just south of the corner of Marchmont Drive and Hilow Road, approximately a quarter of a mile south of Shannon Road and half a mile west of Los Gatos Boulevard (Exhibit 1). All surrounding properties are zoned for and developed with single-family residential uses.

B. Project Summary

The applicant is proposing a new 1,468-square foot single-story residence with an attached 510-square foot garage, 1,081 square feet of below-grade square footage, and a 512-square foot basement-level ADU. The proposed residence includes a front setback of 16 feet, where 25 feet is required by the zone, side yard setbacks of six feet on both sides, where eight feet is required by the zone, and a height of 20 feet, 11 and a half inches, where a maximum height of 30 feet is allowed by the zone.

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The parcel is 5,116 square feet where the minimum for an R-1:8 zone parcel is 8,000 square feet, and therefore, it is considered nonconforming. The applicant is requesting an exception pursuant to Town Code Section 29.10.265, which allows the Planning Commission to consider modification of any rule of the zone, including front, side, and rear yard requirements, by the terms of an architecture and site approval so that the building and its use will be compatible with the neighborhood.

DISCUSSION:

A. Architecture and Site Analysis

Pursuant to Town Code Section 29.40.075, the maximum allowable square footage for the 5,116-square foot property is 1,791 square feet for a residence and 512 square feet for a garage. The applicant is proposing a new 1,468-square foot single-story residence with an attached 510-square-foot garage, 1,081 square feet of below-grade square footage, and a 512-square foot basement-level ADU (Exhibit 11). Pursuant to state law, the ADU will be processed under a ministerial building permit and is not the subject of this Architecture and Site application.

The applicant has provided a Letter of Justification detailing the project (Exhibit 4). The project proposes a traditional style residence with details consistent with the neighborhood (Exhibit 11). Proposed exterior materials include: a composite shingle roof; gray/beige stucco siding; black wood-clad windows with divided lights; 14-inch square wood columns; wood railing; and a cedar-stained wood garage door at the front façade (Exhibit 5). The proposed one-story residence includes a 1,468-square foot main floor, a 510-square foot attached garage, 1,081 square feet of below-grade square footage, and a 512-square foot basement ADU. A summary of the floor area for the proposed residence is included in the table below.

Floor Area Summary		
	Allowed SF	Proposed SF
First Floor	1,791	1,468
Below Grade Area	N/A	1,087
Garage	512	510

B. Site Design

The proposed residence would be centered between the side property lines, extending two feet into each required side setback (Exhibit 11). The residence also extends nine feet into the required front setback, but would comply with the required rear setback. An attached two-car garage would be located on the south side of the residence and served by a driveway taking access from Hilow Road. The proposed site design provides a street presence that is consistent with the immediate neighborhood.

C. Building Design

The proposed residence is designed in a generic traditional architectural style, with gray/beige stucco siding, black wood-clad windows with divided lights, 14-inch square wood columns, wood railing, and a cedar-stained wood garage door at the front façade (Exhibit 5). The proposed hipped roof has grey composite shingles.

The Town's Consulting Architect reviewed the proposed residence on June 14, 2024 (Exhibit 6). In the report, the Consulting Architect noted that the proposed residence is modest in size in a generic-traditional architectural style. Its height is limited by placing roughly half of the floor space in a cellar configuration. The Consulting Architect identified six issues and concerns and provided recommendations for changes to increase compatibility with the Residential Design Guidelines and the immediate neighborhood. In response to these recommendations, the applicant made modifications to the design of the residence and submitted a letter responding to the recommendations (Exhibit 7). The Consulting Architect's issues and recommendations are provided below, followed by the applicant's response in *italics*.

1. While the overall height of the house would be limited by virtue of the partially below-grade configuration, the eave line would be considerably higher than other homes in its

immediate neighborhood. That would not be consistent with Residential Design Guideline 3.3.2. Recommendation: Redesign the entry porch to be compatible with other homes in the neighborhood. Recommendations include eliminating the stone façade and adding landscaping to buffer the view of the tall porch eave line.

Entry Porch Design:

- a. *Stone accents eliminated.*
- b. *Residential Design Guideline 3.10.1:*
 - i. *The column design has been amended to painted wood construction.*
 - ii. *A well-proportioned beam has been added above the porch columns and is visible from both inside and outside of the porch.*
 - iii. *The railings have been amended to painted wood construction.*
 - iv. *The vertical balusters will be constructed with simple square balusters.*
 - v. *The porch stairs are specified to match the finish of the porch flooring.*
 - vi. *The landscape plan includes plantings to buffer the porch eave line.*

2. The proposed metal roofing would be out of character in this neighborhood. Select a roofing material that is more consistent with the material, color, and texture of other homes in the immediate neighborhood.

The standing seam metal roof has been removed, and grey composite shingles have been proposed to be more consistent in material, color, and texture with nearby neighborhood homes.

3. Avoid designs that allow the garage to dominate the street façade and limit the prominence of the garage by recessing the garage door to be consistent with Residential Design Guideline 3.4.1.

The garage door has been recessed to be consistent with Residential Design Guideline 3.4.1.

4. Residential Design Guideline 3.10.4 states that chimneys should extend to ground level and avoid cantilevers above ground level. Extend the proposed cantilevered chimney to grade consistent with Residential Design Guideline 3.10.4.

The applicant has added corbels to the cantilevered chimney; however, has not extended the chimney to grade to be consistent with Residential Design Guidelines 3.10.4 as recommended by the Town's Consulting Architect.

5. Wood trim is encouraged on stucco houses, and divided lights are common in many home styles in Los Gatos. Add trim at all windows to be consistent with Residential Design Guideline 3.7.4.

Window trim has been added to all doors and windows, and all windows now include divided lights.

6. The proposed columns are too small for the scale of this house. Increase the size of the columns on the rear façade to be consistent with Residential Design Guideline 3.10.1.

The size of the columns at the rear balcony have been increased.

D. Tree Impacts

The subject property contains seven trees: three Siberian Elms; one Olive; one Deodar Cedar; one Aleppo Pine; and one Pepper tree. The project proposes removal of five of the protected trees (Exhibit 11, Sheet A1.1). Pursuant to Section 29.10.0970 of the Town Code, fruit trees less than 18 inches in diameter may be removed without a tree removal permit. The Consulting Arborist provided recommendations for tree preservation and recommended planting 15 replacement trees of 15-gallon size to offset the proposed tree removal (Exhibit 8). The development plans show that 23 trees would be planted to offset the tree removal.

E. Parking

Pursuant to Section 29.10.150(c)(1) of the Town Code, a single-family residence requires two on-site parking spaces. The applicant has satisfied the requirement by including an attached two-car garage (Exhibit 11, Sheet A2.1).

F. Neighborhood Compatibility

The immediate neighborhood is predominantly one-story single-family residences. Based on Town and County records, the residences in the immediate area range in size from 1,618 square feet to 4,723 square feet. The floor area ratios range from 0.12 to 0.27. The proposed residence would be 1,468 square feet with a floor area ratio of 0.29. Pursuant to Town Code, the maximum allowable square footage for the 5,116-square foot lot is 1,791 square feet with a maximum floor area ratio of 0.35. The table below reflects the current conditions of the immediate neighborhood:

Address	Zoning	House Floor Area	Garage Floor Area	Total Floor Area	Lot Size	House FAR	No. of Stories
16500 Marchmont Dr (E)	R-1:8	N/A	N/A	N/A	5,116	N/A	N/A
16500 Marchmont Dr (P)	R-1:8	1,468	510	1,978	5,116	0.29	1
16500 Marchmont Dr Par 1	R-1:8	1,950	435	2,385	7,310	0.27	1
16501 Marchmont Dr	R-1:8	1,618	899	2,517	13,550	0.12	1
159 Cardinal Ln	R-1:10	2,258	492	2,750	12,720	0.18	1
160 Robin Wy	R-1:10	2,858	500	3,358	14,374	0.20	1
135 Longmeadow Dr	R-1:10	2,854	441	3,295	16,552	0.17	1
139 Longmeadow Dr	R-1:10	4,723	789	5,512	25,384	0.19	1
201 Marchmont Dr	R-1:10	2,101	507	2,608	9,928	0.21	1

The proposed residence would be the largest home in the immediate neighborhood in terms of FAR, but the smallest in terms of floor area.

G. Setbacks

The vacant property was created by the applicant through an Urban Lot Split under SB 9, resulting in a nonconforming parcel size of 5,116 square feet and a nonconforming lot width of 54 feet. The proposed project includes an exception to the required front and side yard setbacks (Exhibit 11). Pursuant to the Town Code, the required front setback is 25 feet, and the proposed front setback is 16 feet. The required side yard setback is eight feet, and the proposed side setbacks are six feet on each side.

Town Code Section 29.10.265 allows modification of any rule of the zone, including front, side, and rear yard setback requirements, under an Architecture and Site application if it is found that the building and its use will be compatible with the neighborhood. The applicant provided information on neighborhood compatibility in Exhibits 6 and 10.

The applicant provided a Letter of Justification for the reduced setbacks (Exhibit 9). In their letter, the applicant notes that the property is nonconforming in terms of size and width, making it appropriate to consider reduced setbacks. The applicant also notes that the property’s frontage on Hilow Road is unusual to the neighborhood pattern. Lastly, the applicant provided an exhibit showing the approximate distance of neighboring residences to their property lines and edge of the street to demonstrate the compatibility of the proposed setbacks with the neighborhood. This includes the property to the north of the subject property, which is the other parcel created through the SB 9 Urban Lot Split.

Regarding the nonconforming characteristics of the property, staff notes that they did not exist prior to the SB 9 lot split. The applicant determined the subject property’s size and width, consistent with the requirements of SB 9. The property’s frontage on Hilow Road is unique for the neighborhood, but also resulted from the SB 9 lot split. Regarding the consistency of the proposed reduced setbacks within the neighborhood, the applicant’s exhibit provides dimensions, but does not indicate whether the measured setbacks are front, side, or street-side. The following table reflects the setbacks provided in Town records.

Address	Zoning	Required Front Yard Setback	Proposed or Existing Front Yard Setback	Required Side Yard and Street Side Yard Setbacks	Proposed or Existing Side Yard/ Street Side Setbacks
16500 Marchmont Dr (Parcel 2)	R-1:8	25'	16'	8'	6'
16500 Marchmont Dr (Parcel 1)	R-1:8	25'	25'	8'/15'	11'/15'

16501 Marchmont Dr	R-1:8	25'	25'-11"	8'/15'	16'-11"/18'
159 Cardinal Lane	R-1:10	25'	26'-6"	10'/15'	5'/16'-2"
160 Robin Way	R-1:10	25'	30'	10'/15'	8'/16'
201 Marchmont Dr	R-1:8	25'	25'	8'/15'	*

*No Town records were found.

The neighborhood analysis shows that the subject house is the only one that does not conform to the front yard setback; however, two houses do not conform to the side yard setback. As such, staff is unable to make the finding that the proposed reduced front yard setback is compatible with the neighborhood, as required by Town Code Section 29.10.265.

H. Neighbor Outreach

The applicant provided a map showing the homes visited along with a list of the names of the neighbors they consulted (Exhibit 10). The applicant mentioned that they have consulted with several neighbors who have verbally expressed support for the project. At the time of preparation of this report, no public comment has been received.

I. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Story poles and project signage were installed on the subject property prior to mailing of notices for the public hearing. Written notice was sent to property owners and residents within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The applicant requests approval to construct a new single-family residence with reduced front and side yard setbacks on a nonconforming vacant property. The proposed residence includes a front setback of 16 feet, where 25 feet is required, and side setbacks of six feet, where eight feet is required. The R-1:8 zone requires a minimum lot size of 8,000 square feet and a minimum lot width of 60 feet. The subject property is 5,116 square feet with a lot width of 54 feet. Therefore, the subject property is nonconforming as to lot size and lot width. Town Code Section 29.10.265(3) allows the Planning Commission to modify the front and side yard setback requirement of a nonconforming lot if it is found that the building and its use will be compatible with the neighborhood.

B. Recommendation

Based on the analysis provided above, staff recommends that the Planning Commission deny the Architecture and Site application as the proposed reduced front setback is not compatible with the neighborhood as required by Town Code Section 29.10.265.

C. Alternatives

Alternatively, the Commission can:

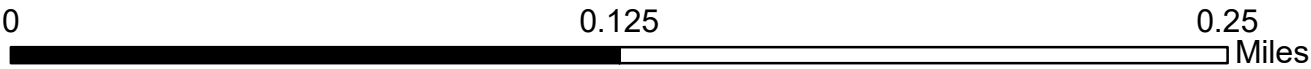
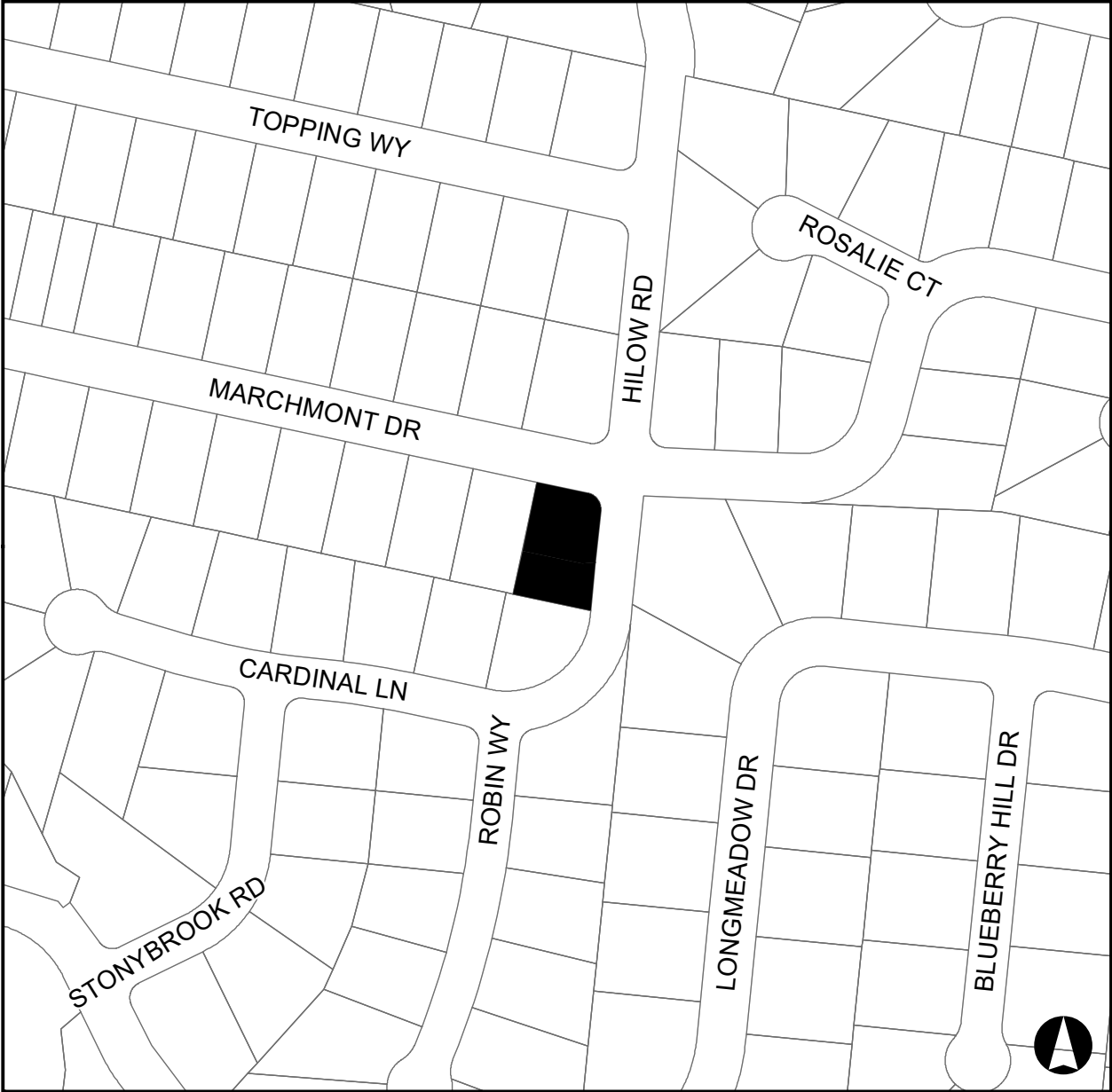
1. Approve the application by taking the following actions:
 - a. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
 - b. Make the finding as required by Section 29.10.265 of the Town Code for allowing an exception to setbacks on a non conforming property (Exhibit 2);
 - c. Make the finding that the project complies with the objective standards on Chapter 29 of the Town Code except the requested front and side yard setback reduction (Exhibit 2);
 - d. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2);
 - e. Make the finding that the project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas (Exhibit 2); and
 - f. Approve Architecture and Site Application S-24-021 with the draft conditions contained in Exhibit 3.
2. Continue the matter to a date certain with specific direction; or
3. Approve the application with additional and/or modified conditions.

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Letter of Justification
5. Color and Materials Board
6. Consulting Architect's Report
7. Applicant's Response to the Consulting Architect's Report
8. Consulting Arborist's Report
9. Letter of Justification for reduced setbacks
10. Applicant's neighborhood outreach efforts
11. Development Plan

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16500 Marchmont Drive



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PLANNING COMMISSION – January 8, 2025
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

16500 Marchmont Drive
Architecture and Site Application S-24-021

Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Front and Side Yard Setbacks on a Nonconforming Vacant Property Zoned R-1:8. APN 532-08-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15303(a): New Construction or Conversion of Small Structures.

Property Owners: Ahmad Shamsoddini, Elham Eshraghi, and Mehrdad Alipour
Applicant: Tony Jeans
Project Planner: Suray Nathan

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures.

Required finding for a setback exception on a non-conforming property:

- As required by Section 29.10.265 of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements:
 1. The subject property is nonconforming with regard to lot size; and
 2. The front and side setbacks of the new residence are compatible with the neighborhood.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code except for the requested front and side yard setback reductions.

Required compliance with the Residential Design Guidelines:

- The project design is in compliance with the Residential Design Guidelines for single-family residences not located in the hillside area in that the Town’s Consulting Architect has reviewed the proposal, and recommendations were provided to address consistency with the immediate neighborhood to which the applicant responded with design changes and/or justification.

CONSIDERATIONS

Required considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

PLANNING COMMISSION – January 8, 2025
CONDITIONS OF APPROVAL

16500 Marchmont Drive
Architecture and Site Application S-24-021

Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Front and Side Yard Setbacks on a Nonconforming Vacant Property Zoned R-1:8. APN 532-08-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15303(a): New Construction or Conversion of Small Structures.

Property Owners: Ahmad Shamsoddini, Elham Eshraghi, and Mehrdad Alipour
Applicant: Tony Jeans
Project Planner: Suray Nathan

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **STORY POLES/PROJECT IDENTIFICATION SIGNAGE:** Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture & Site application.
4. **OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
5. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
7. **TREE FENCING:** Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. **TREE STAKING:** All newly planted trees shall be double-staked using rubber tree ties.
9. **FRONT YARD LANDSCAPE:** Prior to issuance of a Certificate of Occupancy the front yard

- must be landscaped.
10. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
 11. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

EXHIBIT 3

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant’s sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant’s indemnity obligation.

12. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

13. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing single-family residence. A separate Building Permit is required for the construction of the new single-family residence. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
14. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
15. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and

submitted with the building permit application detailing how the Conditions of Approval will be addressed.

16. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
17. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
18. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
19. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
20. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
21. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
22. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch-wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5' x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
 - d. Door buzzer, bell or chime shall be hard wired at primary entrance.

23. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
24. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
25. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
26. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
27. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

28. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.

29. PAYMENT OPTIONS:

- a) All payments regarding fees and deposits can be mailed to:

Town of Los Gatos PPW – Attn: Engineering Dept
41 Miles Avenue
Los Gatos, CA 95030

Or hand deliver/drop off payment in engineering lock box

Checks made out to **“Town of Los Gatos”** and should mention **address and application number** on memo/note line.

30. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
31. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town’s Engineering Design Standards, which are available for download from the Town’s website.
32. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
33. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town’s right-of-way.
34. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
35. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor’s sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the

issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

36. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
37. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
38. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.
39. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
40. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
41. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: All grading work taking place with this application and related applications/projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
42. GRADING: Any grading work, cut/fill, earthwork or combination thereof (completed or proposed on submitted plans) on the parcel over the upcoming two-year period are combined with regards to grading permit thresholds. This also applies to adjacent parcels with identical owners, applicants and or developers.
43. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
44. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust

for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. For sites greater than four (4) acres in area:

- a) Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - b) Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
 - c) Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - d) Replant vegetation in disturbed areas as quickly as possible.
 - e) Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
45. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
46. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
47. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
48. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense
49. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a) Protect sensitive areas and minimize changes to the natural topography.
 - b) Minimize impervious surface areas.
 - c) Direct roof downspouts to vegetated areas.
 - d) Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e) Use landscaping to treat stormwater.
50. CONSTRUCTION HOURS: All improvements and construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays.

The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.

51. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
52. DELAYED/DEFERRED REPORTS AND REVIEWS: TLGPPW strongly recommend that reports requiring a peer review be submitted and completed prior to committee approval/building permit stage. Note that these reviews may require a design change by the applicant and/or additional studies. Applicants who chose to defer assume risk that required changes may send project back to planning stage.
53. WATER METER: Water meters currently in public right-of-way shall be relocated within the property in question, within 30" of the property line / the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
54. SANITARY SEWER CLEANOUT: Sanitary sewer cleanouts currently in public right-of-way shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
55. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - a) Along with the Owner, Applicant and/or Developer, setup a pre-construction meeting with Eric Christianson, Senior Public Works Inspector echristianson@losgatosca.gov (408) 354-6824 to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b) Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
56. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
57. PRIVATE UTILITIES: Private utilities in town right of way is prohibited and should be located on parcel which it serves, unless otherwise allowed via easement.
58. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed

private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits.

59. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
60. GRADING PERMIT A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). All grading work taking place with this application and related applications /projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the A&S review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
61. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit. An arborist report may be necessary. Please contact Tammy Robnett-Illges, Engineering Administrative Assistant trobnett-illges@losgatosca.gov (408) 399-5771 for more information.
62. DEDICATIONS: The following shall be dedicated via parcel map or separate instrument. The dedication shall be recorded before any post planning permits are issued:
 - a) Private Utility Easement (PUE): Ten (10) feet wide, along westerly property line to the Marchmont Drive right-of-way.
63. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

64. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. A new private utility easement/private ingress/egress easement shall be recorded, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of a grading or building permit. A realigned access driveway shall be completed prior to the issuance of grading or building permit.
65. TRENCHING MORATORIUM: Trenching within a newly paved street will be allowed subject to the following requirements:
- a) The Town standard "T" trench detail shall be used.
 - b) A Town-approved colored controlled density backfill shall be used.
 - c) All necessary utility trenches and related pavement cuts shall be consolidated to minimize the impacted area of the roadway.
 - d) The total asphalt thickness shall be a minimum of three (3) inches, meet Town standards, or shall match the existing thickness, whichever is greater. The final lift shall be 1.5-inches of one-half (½) inch medium asphalt. The initial lift(s) shall be of three-quarter (¾) inch medium asphalt.
 - e) The Contractor shall schedule a pre-paving meeting with the Town Engineering Construction Inspector the day the paving is to take place.
 - f) A slurry seal topping may be required by the construction inspector depending their assessment of the quality of the trench paving. If required, the slurry seal shall extend the full width of the street and shall extend five (5) feet beyond the longitudinal limits of trenching. Slurry seal materials shall be approved by the Town Engineering Construction Inspector prior to placement. Black sand may be required in the slurry mix. All existing striping and pavement markings shall be replaced upon completion of slurry seal operations. All pavement restorations shall be completed and approved by the Inspector before occupancy.
66. SIDEWALK IN-LIEU FEE: A curb and sidewalk in-lieu fee of **\$12,685.00** shall be paid prior to issuance of a grading or building permit. This fee is based on 59 linear feet of curb at **\$7,375.00** per linear foot and 265 square feet of 4.5-foot wide sidewalk at **\$20.00** per square foot in accordance with Town policy and the Town's Comprehensive Fee Schedule. The final curb and sidewalk in-lieu fee for this project shall be calculated using the current fee schedule and rate schedule in effect at the time the fee is paid. A separate encroachment offsite improvement process is required for any public improvements designed to qualify for in-lieu fee reimbursement. Approval from the Town Engineer and PPW is required before any encroachment offsite improvement process can begin.
67. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.
68. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of a grading/building permit the Owner shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The amount based on the current resolution is \$10,421.76. The fee shall be paid before issuance of any grading or building permit. The final traffic impact mitigation fee for this

project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time, using a comparison between the existing and proposed uses.

69. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
70. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
71. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
72. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
 - a) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.

- b) All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
- c) All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
- d) As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
- e) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
- f) All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
- g) All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- h) Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
- i) All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
- j) Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

73. FIRE SPRINKLERS REQUIRED: *(As Noted on Sheet A1)* Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. 1. An automatic sprinkler system shall be provided throughout all new buildings and structures, other than Group R occupancies, except as follows: a. Buildings and structures not located in any Wildland-Urban Interface and not exceeding 1,200 square feet of fire area. b. Buildings and structures located in any Wildland-Urban Interface Fire Area and not exceeding 500 square feet of fire area. c. Group S-2 or U occupancies, including photovoltaic support structures, used exclusively for vehicle parking which meet all of the following: i. Noncombustible construction. ii. Maximum 5,000 square feet in building area. iii. Structure is open on not less than three (3) sides nor 75% of structure perimeter. iv. Minimum of 10 feet separation from existing

buildings, or similar structures, unless area is separated by fire walls complying with California Building Code 706. d. Canopies, constructed in accordance with CBC 406.7.2, used exclusively for weather protection of vehicle fueling pads per CBC 406.7.1 and not exceeding 5,000 square feet of fire area. 2. An automatic sprinkler system shall be installed throughout all new buildings with a Group R fire area. Exception: Accessory Dwelling Unit, provided that all of the following are met: a. The unit meets the definition of an Accessory Dwelling Unit as defined in the Government Code Section 65852.2. b. The existing primary residence does not have automatic fire sprinklers. c. The accessory dwelling unit does not exceed 1,200 square feet in size. d. The unit is on the same lot as the primary residence. e. The unit meets all apparatus access and water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code. 3. An approved automatic fire sprinkler system shall be installed in new manufactured homes (as defined in California Health and Safety Code Sections 18007 and 18009) and multifamily manufactured homes with two dwelling units (as defined in California Health and Safety Code Section 18008.7) in accordance with Title 25 of the California Code of Regulations. 4. An automatic sprinkler system shall be installed throughout existing buildings with a Group R fire area when additions are made causing the fire area to exceed 3,600 square feet. Exception: Additions where all of the following are met: a. Building addition does not exceed 500 square feet. b. The resultant structure meets all water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code. 5. An automatic sprinkler system shall be provided throughout existing Group A, B, E, F, L, M, S and U buildings and structures, when additions are made that increase the fire area to more than 3,600 square feet or that create conditions described in Sections 903.2.1 through 903.2.18. 6. Any change in the character of occupancy or in use of any building with a fire area equal to or greater than 3,600 square feet which, in the opinion of the fire code official or building official, would place the building into a more hazardous division of the same occupancy group or into a different group of occupancies and constitutes a greater degree of life safety 1 or increased fire risk 2, shall require the installation of an approved fire automatic fire sprinkler system.

Sprinklers require for new house.

74. REQUIRED FIRE FLOW: *(Letter received)* The minimum require fireflow for this project is 500 Gallons Per Minute (GPM) at 20 psi residual pressure. This fireflow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]
75. WATER SUPPLY REQUIREMENT: *(As Noted on Sheet A1)* Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by

that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

76. ADDRESS IDENTIFICATION: *(As Noted on Sheet A1)* New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
77. CONSTRUCTION SITE FIRE SAFETY: *(As Noted on Sheet A1)* All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

Town of Los Gatos
110E Main St,
Los Gatos CA 95030
Attn: Planning

September 4th, 2024

16500 Marchmont Drive, Parcel #2
Project Description & Justification

Plancheck Comment 1(i) - Added to Description & Justification:

The home is a **single story residence**, complying with FAR, with an attached ADU Compliant with the Zoning Code and Guidelines (except as previously noted in this Justification). We have additionally responded to the Consulting Architect's comments and made some minor changes.

The rear-facing Balcony is 35 ft from the property line and, at a 5ft elevation above finished grade, is not a privacy issue. Neighbors have been supportive of the plans.

Planning:

The owners purchased the property six months ago and have completed an ULS under SB-9 rules.

The plan is for two of the co-owners to move into the existing home and raise their family there while developing the vacant lot for sale, so that they can afford Los Gatos house prices.

The original proposal was that the new home would comprise 2 separate dwelling units to comply with the Town Ordinance for SB-9 and be submitted for ministerial approval, to accelerate the process. We proceeded down that path, with a primary floor and a lower level basement and incorporated a forward-facing second story bonus room over the garage as the only "upstairs" room.

The SB-9 "objective design standards" posed one headache – a 25 ft front setback, which did not follow the neighborhood pattern of 15 ft setbacks along this section of Hilow as it transitions to Cardinal – which we decided to live with for expediency.

Once we completed the design concepts, we spoke to several neighbors – most significantly Todd and Kristin Harris next door at 159 Cardinal – and visited their home. To my surprise, the orientation of their rear yard entertaining area faces Hilow and their views would be interrupted by the planned second story bonus room over the garage.

Because this house will be for sale and the owners will be living next door, they were not wedded to the second story bonus room even though they like it as a feature. So we asked several neighbors whether they would prefer to see a second story window on the front

façade (with the house set back), or a single story façade (with the house shifted forward to match the neighborhood). The answer was a resounding “**Build a lower profile house with a setback matching the neighborhood pattern**”.

So we re-designed the home as a single story with a lower profile roof, giving a height reduction of 4ft, and were able to maintain the neighbors’ open field of view. We are now submitting for A&S approval of this project – requesting a reduced Hilow front-setback (of 16ft rather than 25ft) – conforming to the neighborhood pattern. The side setbacks for this narrow lot are proposed at 6 ft (rather than the standard 8ft), but this would be more than the 4 ft permissible setbacks for an SB-9 project. [Please look at Sheets SC1.0 and SC1.1 to consider Neighborhood Compatibility in terms of front and Side Setbacks. We believe that this home is compatible with the neighborhood as proposed.](#)

As this is a full A&S application, we recognize that we will have to extend frontage improvements across the property, which in an SB-9 application would not be required. But we really believe that this is a good compromise for all concerned (the Town, neighbors and the owners) – with the owners taking a significant gamble (both financial and in terms of time) that the Town will support their and the neighbors’ wishes.

We will show, in our presentation to the DRC, the SB-9 design that we had originally developed, and is our back-up plan if the Town does not like the plans we have submitted. We do believe that we have neighbor support for this approach and will be communicating with them more as we continue through the process.

The end result is that this project requests a single story, low profile single family home, with a basement. In addition it asks for what can be considered an ADU (or a small SB-9 second unit – to comply with the aspirations of the Town SB-9 Ordinance). As this is presented as an A&S Application, some street frontage improvements are proposed – although neighborhood opinions vary on this because some neighbors would prefer no street widening, so as to keep the street less conducive to speeding.

If there are any questions, please call me at (408)354-1833

Thank you



Tony Jeans

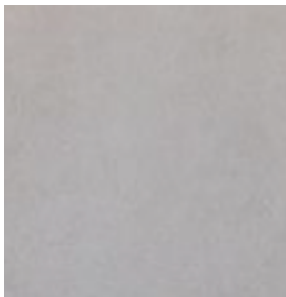
COLOR AND MATERIALS – 16705 HILOW RD



ROOF – COMPOSITION [GREY]



WINDOWS – WOOD CLAD [BLACK]



EXTERIOR FINISH – STUCCO
COLOR – LIGHT GREY/BEIGE

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June 14, 2024

Ms. Suray Nathan
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 15600 Marchmont Drive

I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

NEIGHBORHOOD CONTEXT

The site is located on a short side street in an established neighborhood of one story homes with a range of traditional architectural styles. Several new homes have been proposed and reviewed in the surrounding neighborhood. Photos of the site and its surrounding neighborhood are shown on the following page.





THE SITE: Hillow Road Frontage



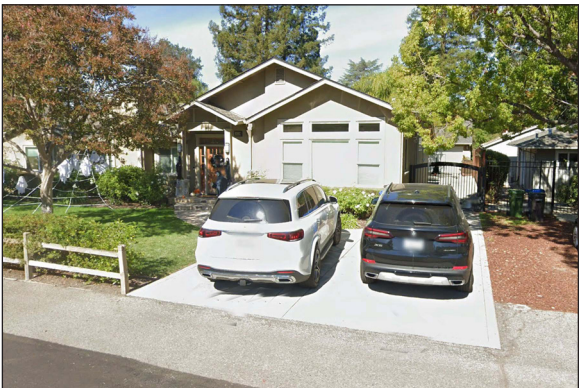
EXISTING HOUSE ON THE SITE: Hillow Road Facade



House immediately adjacent to the site on Hillow Road



View along Hillow Road Site to left



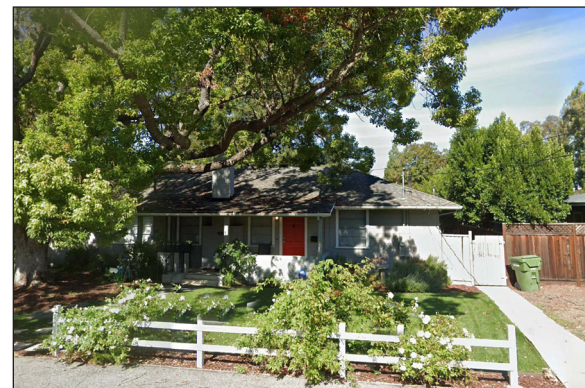
Nearby Home



Nearby Home

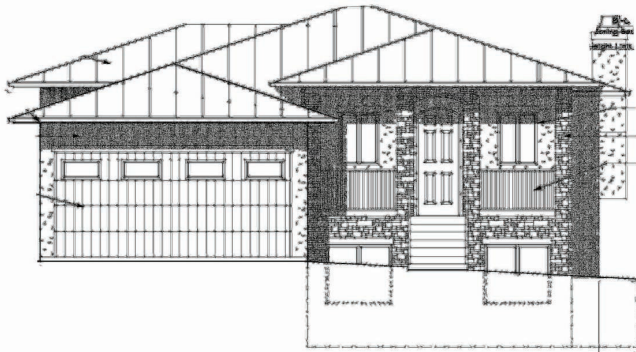


Nearby Home



Nearby Home

PROPOSED PROJECT



Proposed Front Elevation



Proposed Rear Elevation



Proposed Left Side Elevation



Proposed Right Side Elevation

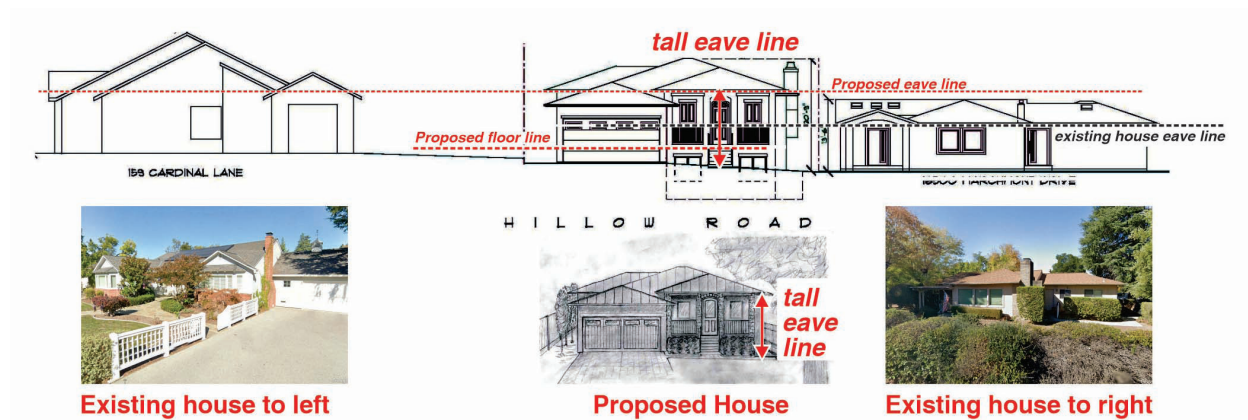
ISSUES AND CONCERNS

The proposed home is modest in size in a generic-traditional architectural style. Its height is limited by placing roughly half of the floor space in a cellar configuration. There are, however, a few concerns to be addressed.

1. While the overall height of the house would be limited by virtue of the partially below grade configuration. The eave line would be considerably higher than other homes in its immediate neighborhood. That would not be consistent with Residential Design Guideline 3.3.2.

3.3.2 Height and bulk at front and side setbacks

- *Avoid eave lines and roof ridge lines that are substantially taller than the adjacent houses*



2. The stone proposed for the front facade porch is not carried consistently around the other home facades. This would not be consistent with Residential Design Guideline 3.2.2.

3.2.2 Design for architectural integrity

- *In general, it is best to select a clear and distinctive architectural style rather than utilizing generic design elements or mixing elements from different architectural styles.*
- *Building massing, roof pitches, materials, window types and proportions, design features (e.g., roof dormers), and other architectural features should be consistent with the traditions of the selected style.*
- *Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.*

Metal roofing would be out of character with this neighborhood

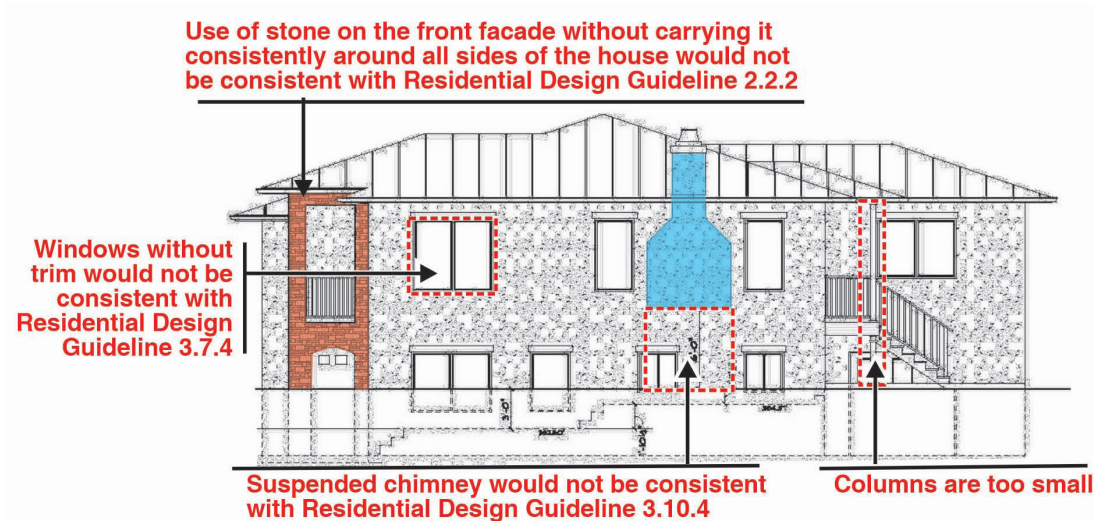


Use of stone on the front facade without carrying it consistently around all sides of the house would not be consistent with Residential Design Guideline 2.2.2

3. The proposed metal roofing would be out of character with this neighborhood.
4. The chimney is suspended on the side facade without extending to grade which would not be consistent with Residential Design Guideline 3.10.4.

3.10.4 Chimneys

- *Chimneys should extend to ground level. Avoid cantilevers above the ground.*



5. The windows appear to be set in to the wall without trim which would not be consistent with Residential Design Guideline 3.7.4.

3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- *Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.*
 - *Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.*
 - *Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.*
6. The columns on the rear facade are too small for the scale of this house.

RECOMMENDATIONS

1. Redesign the entry porch to be compatible with other homes in the neighborhood. Recommendations include:

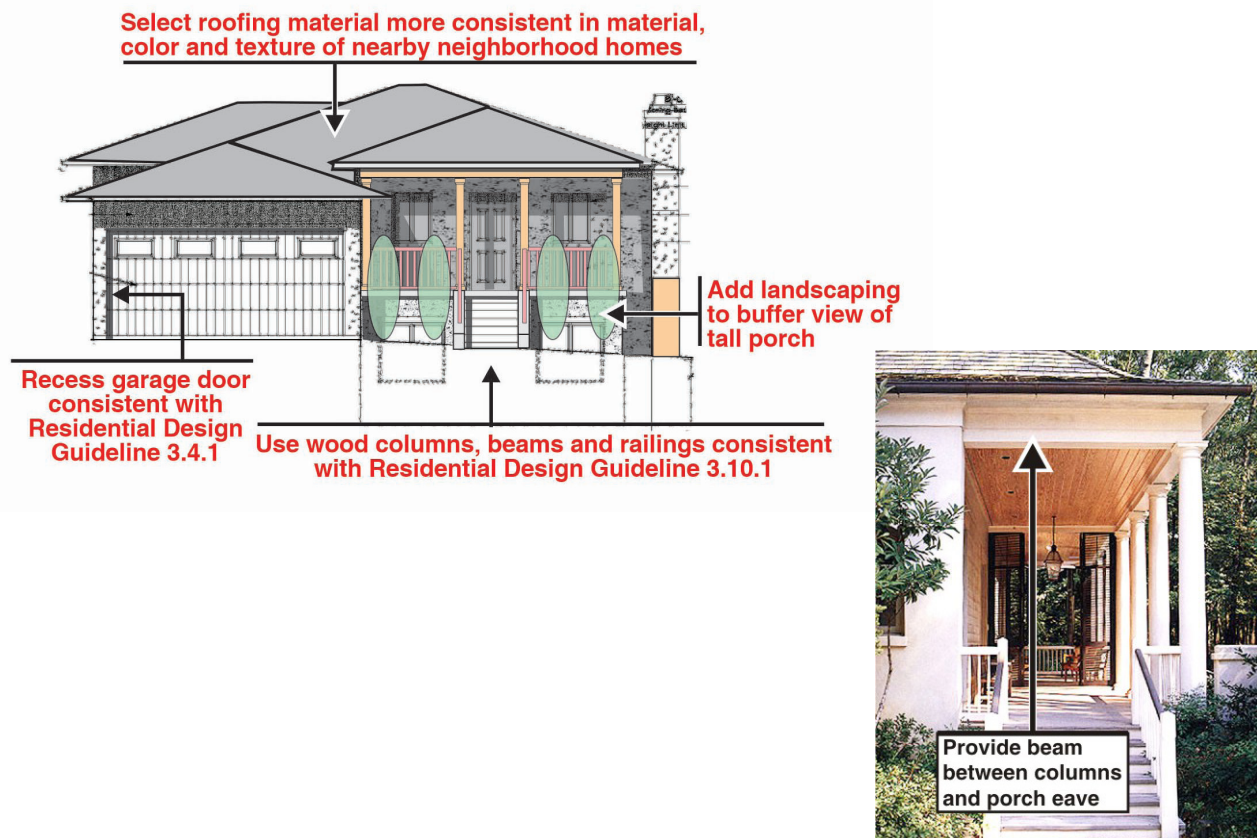
- **Eliminate the stone.**
- **Design the porch to be consistent with Residential Design Guideline 3.10.1.**

3.10.1 Porches and Entries

- *Select columns that are traditional to the architectural style of the house. Take care in selecting columns with an appropriate width to height ratio for the style. Except for a very few styles, the columns should have appropriate caps and bases with proportions typical of the style.*
- *Provide a well proportioned beam between the column caps and the roof. Size and detail the beam so that it looks like a convincing structural member. It should be visible both from inside and outside of the porch. A common problem is to make this element of the porch too small or to face it with a material (e.g., siding) that would not carry the weight above if it were structural. For most architectural styles, molding and trim will divide the beam vertically into three major elements of varying height.*
- *Railings should generally be constructed of wood unless the specific architectural style allows for metal or stone. Provide both top and bottom rails with the bottom rail raised above the porch floor level.*
- *Vertical balusters should be appropriate to the architectural style. Some are quite simple while others may have special shapes.*
- *Take care in designing porch stairs. They generally should match the porch floor (e.g., wood) or the sidewalk material if other than concrete (e.g., brick).*

Note: All porches are expected to be usable and have a minimum depth of 6 feet or preferably more.

- Add landscaping to buffer the view of the tall porch eave line.

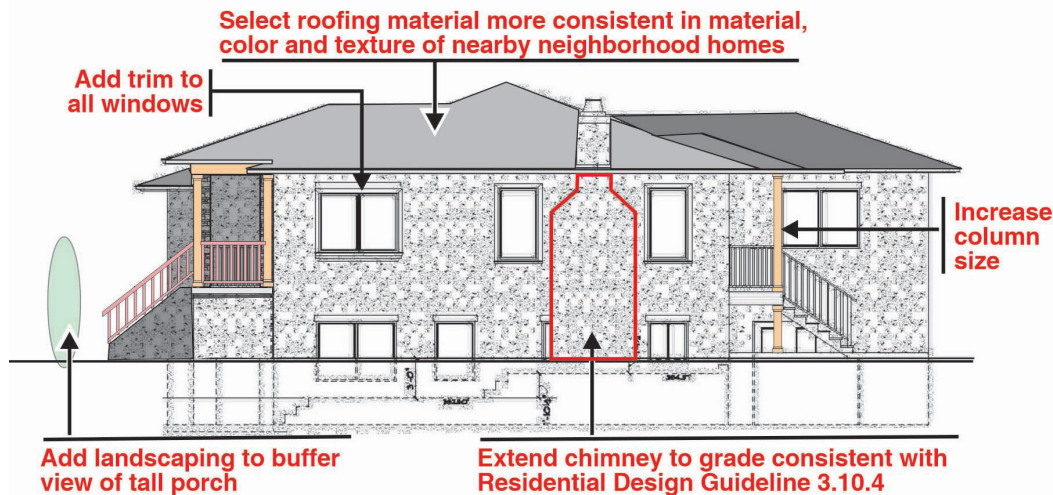


2. Select a roofing material that is more consistent with the material, color and texture of other homes in the immediate neighborhood.
3. Recess the garage door to be consistent with Residential Design Guideline 3.4.1.

3.4.1 Limit the prominence of garages

- *Recess garage doors as much as possible from the garage facade.*

4. Extend the chimney to grade consistent with Residential Design Guideline 3.10.4.



5. Add trim at all windows to be consistent with Residential Design Guideline 3.7.4.

3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- *Divided lights (i.e., larger window panes broken up into smaller pieces) are common in many home styles found in Los Gatos. Use either vertical or square proportions for the smaller window elements. Be consistent in the proportions (i.e., the ratio of the horizontal to the vertical dimension) of the smaller panes. Do not use snap in flat grids to simulate divided lights. Use either true divided lights or one of the newer window systems that have dimensional muntins on both the exterior and interior of the glass along with a spacer muntin between the panes of glass. Use consistently for windows on all sides of the house.*

6. Increase the size of the columns on the rear facade.

Suray, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

Larry L. Cannon

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Tel: 408.354.1863 Fax: 408.350.1823

Town of Los Gatos
P.O. Box 949
110 East Main Street
Los Gatos, CA. 95031
Suray Nathan

September 4, 2024

Address: 16705 Hilow Road
Consulting Architect Review: Cycle 1
RE: S-24-021

The following is an itemized response letter to the cycle 1 consulting architect plan check comments generated by the Cannon Design Group dated June 14, 2024. All items listed and revised have been “clouded” and marked with a revision date on the appropriate drawing sheets.

RECOMMENDATIONS:

1. Entry Porch Design:
 - a. Stone accents eliminated.
 - b. Residential Design Guideline 3.10.1:
 - i. The column design has been amended to painted wood construction.
 - ii. A well-proportioned beam has been added above the porch columns and is visible from both inside and outside of the porch.
 - iii. The railings have been amended to painted wood construction.
 - iv. The vertical balusters will be constructed with simple square balusters.
 - v. The porch stairs are specified to match the finish of the porch flooring.
 - vi. The landscape plan includes plantings to buffer the porch eave line.
2. The roofing material has been amended to class “A” composition roofing to match neighborhood styles.
3. The garage door is now recessed to be consistent with Residential Design Guideline 3.4.1.
4. The chimney has been amended by reducing the size/bulk and adding corbels.
5. Add trim at all windows and doors to be consistent with Residential Design Guideline 3.7.4:
 - a. Window trim has been added to all doors and windows.
 - b. The window design now includes divided lights at all windows.
6. The size of the columns at the rear balcony have been increased.

Tony Jeans
For THIS Design

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TOWN OF LOS GATOS

**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593**

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95031

June 11, 2024

Monarch Consulting Arborists LLC
P.O. Box 1010
Felton, CA 95018

**ARBORIST REVIEW
AUTHORIZATION TO PROCEED**

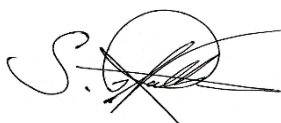
Monarch Consulting Arborists LLC is hereby authorized to proceed in the review of the trees in the vicinity of the proposed development and recommendations for the preservation of existing trees for the following project (Purchase Order #FY24-355):

16500 Marchmont Drive
Architecture and Site Application S-24-021


Requesting Approval for Construction of a New Two-Story Single-Family Residence on Property Zoned R-1:8. APN 532-08-017. The Project is Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303(a): New Construction.

PROPERTY OWNER(S): Ahmad Shamsoddini; Elham Eshraghi; Mehrdad Alipour
APPLICANT: Tony Jeans

The cost of preparing the report shall not exceed \$2,000. Any work required to complete the review in excess of this amount shall be authorized by the Town prior to its completion.

By 

Suray R. Nathan
Assistant Planner

By: 

Monarch Consulting Arborists LLC
Richard Gessner, Consulting Arborist/Owner

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REQUEST FOR REDUCED SETBACKS AT 16705 HILOW ROAD

REDUCED FRONT SETBACK (25 ft reduced to 16 ft)

When this neighborhood was created, it was done so in an unusual manner – with primary Roadways and secondary Alleyways. This can be seen from the Subdivision maps which created the underlying subdivision and introduced the concept of “Building, Air and Light” Setbacks of 25 feet at the front of each property, but only 8ft Building/Air/Light setbacks along the Alleyways.

Hilow Road is one of the Alleyways, and as such properties facing Hilow (in this general neighborhood) are dramatically closer to the street than is usual. On the NEIGHBORHOOD CONTEXT PLAN and NEIGHBORHOOD SETBACK COMPARISON shown on Plan Sheet SC1.0 you can see that the setbacks to Hilow Road are all in the neighborhood of 6 -12-15 ft. It should be noted that the physical roadway

We are requesting that the new home to be built at 16705 Hilow Road be granted the same setback as the neighboring homes, so as not to create a neighborhood anomaly – which would look ridiculous in this context. It should be noted that the neighboring home at 16500 Marchmont Drive has never faced Marchmont – but rather faces Hilow Road also – so they have requested a new address of 16701 Hilow Road, which will make the addresses make more sense.

REDUCED SIDE SETBACKS (8ft REDUCED TO 6ft)

This property is a 5,000 sq ft lot in a neighborhood of larger (10,000 sq ft) parcels and with a legal non-conforming width of 54 ft (60 ft Zoning minimum). As such it is appropriate to consider a reduced side setback for this property. In similar situations in other parts of the Town a 5 ft side setback is common, however we have chosen to keep it as a 6 ft setback as we feel that we have created a design that works well in this situation.

Again – this is an unusual location when considering ‘frontage’ and ‘side setbacks’ in that there are no other homes that ‘front’ directly on Hilow Road within 3 blocks. The only home that truly fronts on Hilow Road in a similar manner, is the neighboring home to the North – which is undergoing a significant remodel. When completed, it will have a neighboring address of 16701 Hilow Road and a corresponding side setback of 4ft (less than the 6ft proposed).

It is in this context that I feel that this home should be judged. A new home that is designed to conform to the neighborhood pattern in an unusual streetscape, but which will work well as it is designed.

It should be noted that this parcel was created using SB9, and the side setback available could be 4ft, rather than the 6ft we have elected to use in this instance.

Thank you

Tony Jeans

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NEIGHBOR DISCUSSIONS - SUPPORT



WE HAD DETAILED DISCUSSIONS WITH THE IMMEDIATE NEIGHBORS AS WELL AS NUMEROUS NEARBY RESIDENTS. ALL WERE IN SUPPORT OF THE APPROACH THAT WE ARE TAKING WITH THIS PROJECT (SO FAR)

SHEET A6.0:

14. Existing and proposed grade lines indicated and conform with the 4' threshold.
- 15.

GENERAL COMMENTS:

15. A separate neighborhood outreach visual sheet included with this submittal. Addresses have been shown. Neighbors spoken to:
 - Todd Harris [REDACTED] at 159 Cardinal
 - .Sangeeta Narasimhan [REDACTED] at 135 Longmeadow
 - Tori + Corey (Chayne) @ 139 Longmeadow
 - Mehrdad Alipour & Elham Eshragi @ 16500 Marchmont [REDACTED]
 - Dennis ? – owner @ 16501 Marchmont.
 - Various other neighbors also have been spoken to and offered support
16. Project signage is included with this submittal.

If there are questions please contact me

Thank you

Tony Jeans
[REDACTED]

proposed new single-story residence,
basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hilow Road
Los Gatos, CA 95032

SHEET INDEX:

- ARCHITECTURAL**
- NO. DESCRIPTION
 - T1.0 COVER SHEET/PROPERTY DATA
 - C1.0 PARCEL DESCRIPTION
 - C1.1 PARCEL MAP
 - C3.0 GRADING AND DRAINAGE PLAN
 - C3.1 CIVIL DETAILS
 - A1.0 ARCHITECTURAL SITE PLAN
 - A1.1 PROPOSED LANDSCAPE PLAN
 - A2.0 PROPOSED LOWER FLOOR PLAN
 - A2.1 PROPOSED MAIN FLOOR PLAN
 - A4.0 PROPOSED EXTERIOR ELEVATIONS
 - A4.1 PROPOSED EXTERIOR ELEVATIONS
 - A5.0 PROPOSED ROOF PLAN
 - A6.0 CROSS SECTIONS
 - A6.1 CROSS SECTIONS
 - CP1 CALCULATION PLANS
 - SC1.0 NEIGHBORHOOD CONTEXT/SCHEMATIC STREETSCAPE
 - SC1.1 PHOTOGRAPHIC STREETSCAPE

T.H.I.S Design

DESIGN and DEVELOPMENT

P.O. BOX 1518 Los Gatos, CA, 95031
VOICE: 408.354.1833
www.thisdesign.com

proposed new single-story
residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hilow Road
Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
LOT 2
5,116.0 SF

R - 1

building department stamp

FIRE DEPARTMENT NOTES:

1. FIRE SPRINKLERS REQUIRED FOR ONE AND TWO-FAMILY DWELLINGS. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLES B102.1 (1) AND B102.1 (2), OF THE CALIFORNIA FIRE CODE, AND/OR ADDITIONS EXCEEDING FIFTY (50) PERCENT OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT AND/OR ADDITIONS EXCEEDING SEVEN HUNDRED FIFTY (750) SQUARE FEET. WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. ADDITIONS OVER FIFTY (50) PERCENT AND/OR SEVEN HUNDRED FIFTY (750) SQUARE FEET AS REFERENCED ABOVE, SHALL BE TREATED AS NEW STRUCTURE REGARDING THE INSTALLATION OF FIRE SPRINKLER SYSTEMS. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK SEC. 6.150.020
2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE SANTA CLARA FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S) 2016 CFG SEC 903.3.5 AND HEALTH AND SAFETY CODE 13114.1
3. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED CFG SEC. 905.1
4. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH THE APPLICABLE PROVISIONS OF THE CFG CHAPTER 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION S1-T. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT CFG CHAPTER 33



PROPERTY DATA:

ASSessor'S PARCEL NO. 532 - 08 - 017

EXISTING USE: SINGLE FAMILY RESIDENCE

ZONING DISTRICT: R - 1

OCCUPANCY GROUP: R3/U

WILDLAND URBAN INTERFACE ZONE (WUI): NO

CONSTRUCTION TYPE: V - B

SPECIAL INSPECTION ITEMS: SHEARWALLS/EPOXY

NUMBER OF STORIES: 1 WITH BASEMENT/ADU

FIRE SPRINKLERS REQUIRED: YES

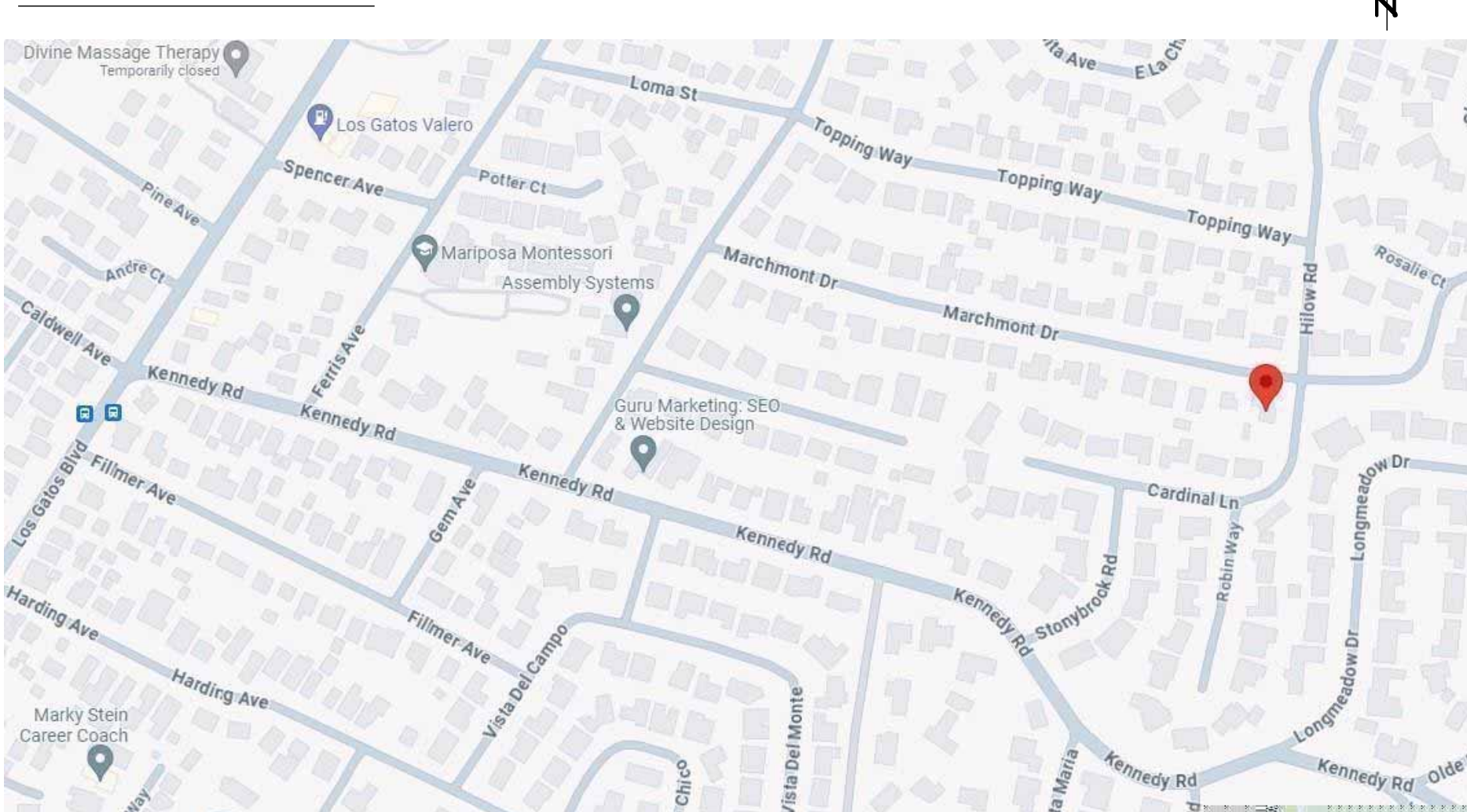
PARKING SPACES PROVIDED: 2 COVERED, 2 UNCOVERED

PROPOSED PROJECT DATA

	EXISTING	PROPOSED	ALLOWED	ALLOWED W/ ADU
MAIN FLOOR	0 SF	1,461.98 SF		
LOWER FLOOR	0 SF	0 SF		UNDER PORCH ADU EXEMPT
ATTIC	0 SF	0 SF		
BASEMENT (EXEMPT)	0 SF	1,081.14 SF		
TOTAL AREA	0 SF	1,461.98 SF	1,791.00 SF	2,303.00 SF
GARAGE	0 SF	431.50 SF	510.00 SF	
ADU (ATTACHED)	0 SF	509.11 SF	512.00 SF	
LOT COVERAGE	0 SF	2,019.98 SF	(40%) 2,046.40 SF	

NOTE:
THE ADU SHALL BE UNDER A SEPARATE MINISTERIAL PERMIT

VICINITY MAP:



SCOPE OF WORK:

1. CONSTRUCT NEW SINGLE-FAMILY RESIDENCE AND ATTACHED ADU
2. LOT IS NEWLY SUBDIVIDED THROUGH 889. NO FURTHER SUBDIVISIONS ALLOWED

SETBACKS:

R - 1 : 8 SETBACKS

FRONT: 25'-0"
SIDE: 8'-0"
REAR: 20'-0"
STREETSIDE: 15'-0"

	FRONT	SIDE WEST	SIDE EAST	REAR
PROPOSED BUILDING SETBACKS	16'-0"	6'-0"	6'-0"	20'-0"

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE

This document constitutes original copyrighted material produced as an instrument of service by the designer Tony Jean. These documents shall not be utilized and/or duplicated without the permission of the designer in writing. The design remains the sole property of Tony Jean and/or "T.H.I.S Design".

cover sheet

2023 - 31
January 22, 2024

Sheet
T1.0

PARCEL MAP

A SUBDIVISION OF LOT 35 AS SHOWN ON THE KENWOOD ACRES SUBDIVISION MAP TRACT NO. 328, FILED FOR RECORD IN BOOK 10 OF MAPS AT PAGE 56 SANTA CLARA COUNTY RECORDS

TOWN OF LOS GATOS
SANTA CLARA COUNTY, CALIFORNIA
APRIL 2024

WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070

Owner's Statement

WE HEREBY STATE THAT we are the parties having any record title interest in the subdivided real property shown within the distinctive borderline on this map, and we hereby consent to the preparation and recordation of this map and all dedications and offers of dedication therein. The real property shown within the distinctive borderline of this map shall not be further subdivided under the procedures outlined in Government Code Section 66411.7. We also reserve for the owners of Parcel 2 a four feet wide strip of land 86 feet in length, along the westernmost boundary of Parcel 1, as a Private Drainage Easement "PDE" to Marchmont Drive. Said easement permits installation and maintenance of private drainage facilities and is to be kept open and free of buildings and permanent structures of any kind, except irrigation systems and appurtenances thereto, lawful fences and unsupported roof overhangs. The maintenance, repair and/or replacement of such facilities and the subsequent restoration of Parcel 1 shall be the sole responsibility of the owners of Parcel 2. Said easement is not offered, nor is it accepted for dedication, by the Town of Los Gatos.

OWNER: AHMAD SHAMSODDINI, MEHRDAD ALIPOUR AND ELHAM ESHRAGHI

[Handwritten signatures: Ahmad Shamsoddini, Mehrdad Alipour, Elham Eshraghi]

ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Santa Clara) SS

On 4.15, 2024 before me, Cosammamoses, a Notary Public, personally appeared

Ahmad Shamsoddini and Mehrdad Alipour & Elham Eshraghi, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the persons(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand:

Notary's Signature [Handwritten Signature]

Printed Notary's Name Cosammamoses

Notary's Principal Place of Business: 750 University Ave, Los Gatos

Notary Commission Number: 2340487

Expiration of Notary's Commission: 1.15.2025

ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Santa Clara) SS

On _____, 20____ before me, _____, a Notary Public, personally appeared _____ and _____

_____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the persons(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand:

Notary's Signature _____

Printed Notary's Name _____

Notary's Principal Place of Business: _____

Notary Commission Number: _____

Expiration of Notary's Commission: _____

SURVEYOR'S STATEMENT

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of _____ on November 21, 2023. I hereby state that all the monuments are of the character and occupy the positions indicated and that the monuments are, or will be, sufficient to enable the survey to be retraced, and that this parcel map substantially conforms to the approved or conditionally approved tentative map.

Harry Babicka 4-11-2024
Harry Babicka, LS 4953 DATE
Registration Expires: 12-31-2025



TOWN ENGINEER'S STATEMENT

I hereby state that I have examined this map, and the subdivision as shown complies with applicable local ordinances and provisions of the subdivision Map Act.

E 2 2 5/10/24
Gary Heap DATE
R.C.E. No. 52355
Registration Expires 12-31-2024

TOWN SURVEYOR'S STATEMENT

I hereby state that I have examined this map, and I am satisfied that said map is technically correct in accordance with Section 66442 of the Government Code (Subdivision Map Act).

[Handwritten Signature] 5-9-24
Dean A Jurado, Acting Town Surveyor Date
L.S. No. 9032
Registration Expires: 09-30-2025



COUNTY RECORDER'S STATEMENT

Filed this 21st day of May, 2024, at 3:07 4 A.M./P.M. in Book 962 of Maps, at pages 5 and 5 Santa Clara County Records, at the request of Fidelity National Title Company.

File No. 25639422 Regina Alcomendras, County Recorder
Santa Clara County, California

Fee: \$ 82 By: _____ Deputy

Bk 962
Pgs: 4-5

25639422

4.

PARCEL MAP

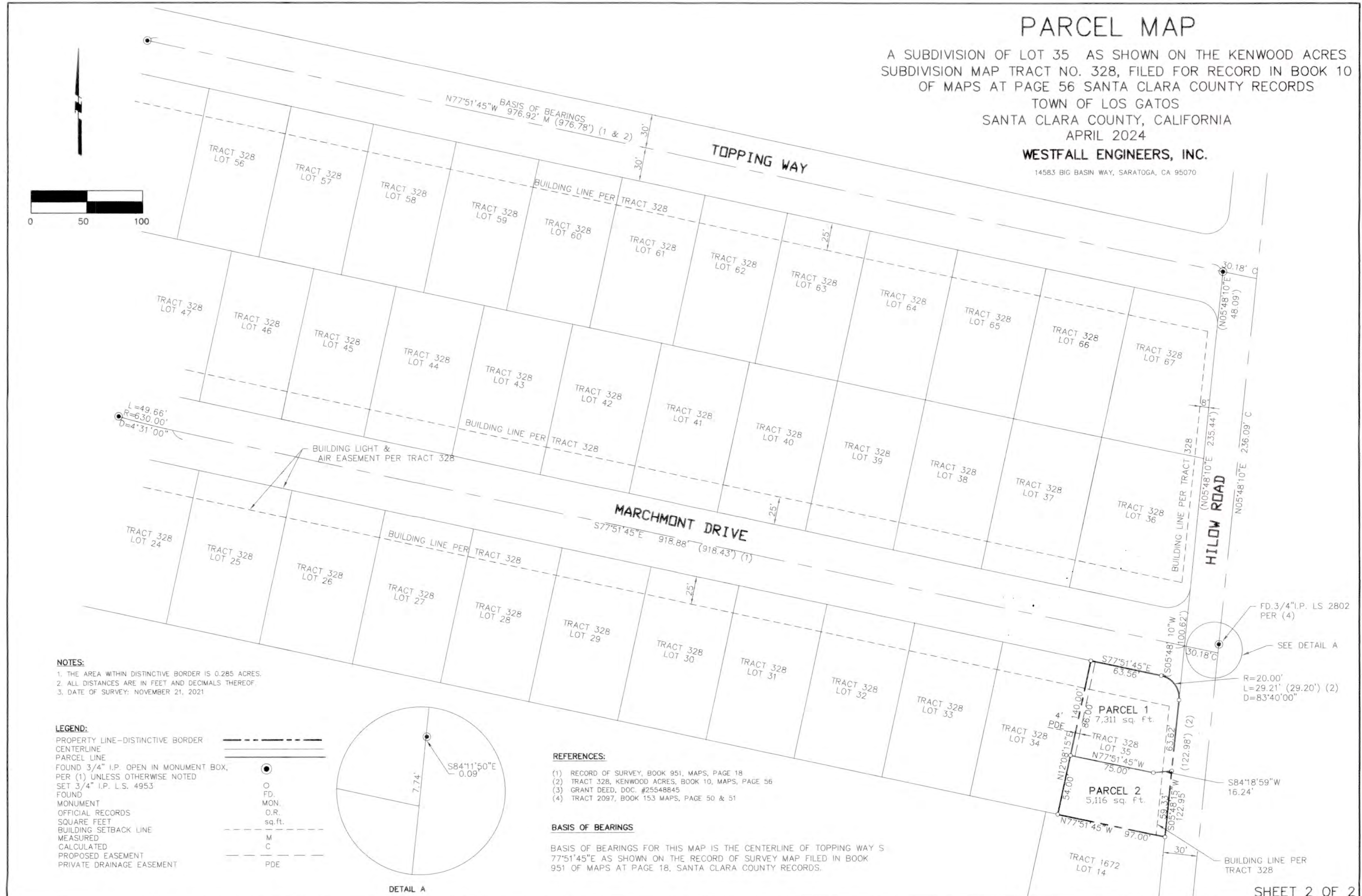
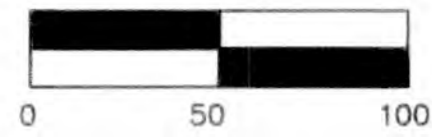
A SUBDIVISION OF LOT 35 AS SHOWN ON THE KENWOOD ACRES
SUBDIVISION MAP TRACT NO. 328, FILED FOR RECORD IN BOOK 10
OF MAPS AT PAGE 56 SANTA CLARA COUNTY RECORDS

TOWN OF LOS GATOS
SANTA CLARA COUNTY, CALIFORNIA

APRIL 2024

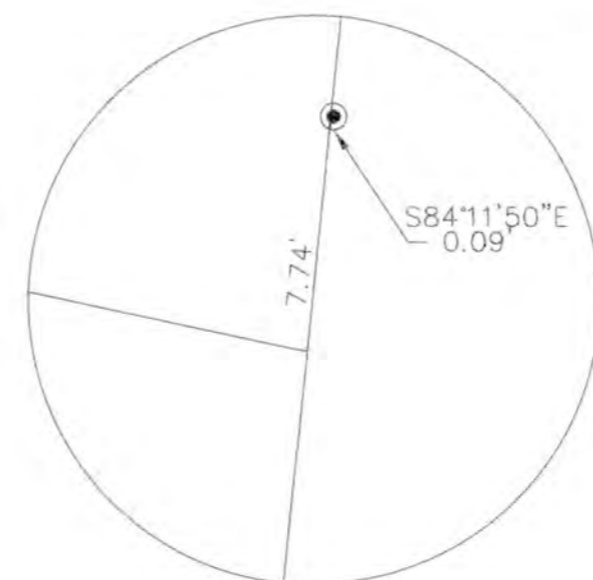
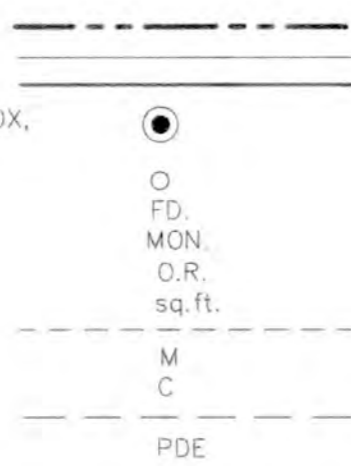
WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070



- NOTES:**
1. THE AREA WITHIN DISTINCTIVE BORDER IS 0.285 ACRES.
 2. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 3. DATE OF SURVEY: NOVEMBER 21, 2021

- LEGEND:**
- PROPERTY LINE-DISTINCTIVE BORDER
 - CENTERLINE
 - PARCEL LINE
 - FOUND 3/4" I.P. OPEN IN MONUMENT BOX, PER (1) UNLESS OTHERWISE NOTED
 - SET 3/4" I.P. L.S. 4953
 - FOUND
 - MONUMENT
 - OFFICIAL RECORDS
 - SQUARE FEET
 - BUILDING SETBACK LINE
 - MEASURED
 - CALCULATED
 - PROPOSED EASEMENT
 - PRIVATE DRAINAGE EASEMENT



DETAIL A

- REFERENCES:**
- (1) RECORD OF SURVEY, BOOK 951, MAPS, PAGE 18
 - (2) TRACT 328, KENWOOD ACRES, BOOK 10, MAPS, PAGE 56
 - (3) GRANT DEED, DOC. #25548845
 - (4) TRACT 2097, BOOK 153 MAPS, PAGE 50 & 51

BASIS OF BEARINGS

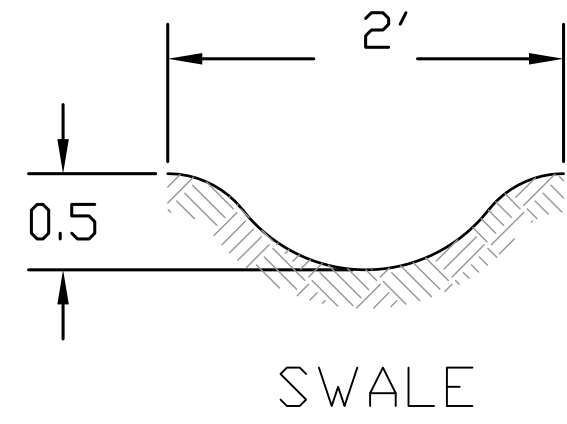
BASIS OF BEARINGS FOR THIS MAP IS THE CENTERLINE OF TOPPING WAY S 77°51'45"E AS SHOWN ON THE RECORD OF SURVEY MAP FILED IN BOOK 951 OF MAPS AT PAGE 18, SANTA CLARA COUNTY RECORDS.

Bk 962
Pg: 5-5

15.

EARTHWORK

Av. slope: 1.5%	Earthwork / Agg (CY)		Max. Cut/ Fill Depth (ft)		(C Y)	
Site Element	Cut	Fill	Cut	Fill	Import	Export
Driveway/Pkg.	0	5		1	5	0
House	0	0	0	0	0	0
Patio/Ctyard	25	0	7.5	0	0	25
Garage	0	0	0	0	0	0
Landscape	0	25	0	1.5	25	0
Basement	420	0	7	0	0	420
Fire Egress	25	0	7.5	0	0	25
Staiways	20	0	5	0	0	20
TOTAL	490	30			0	460



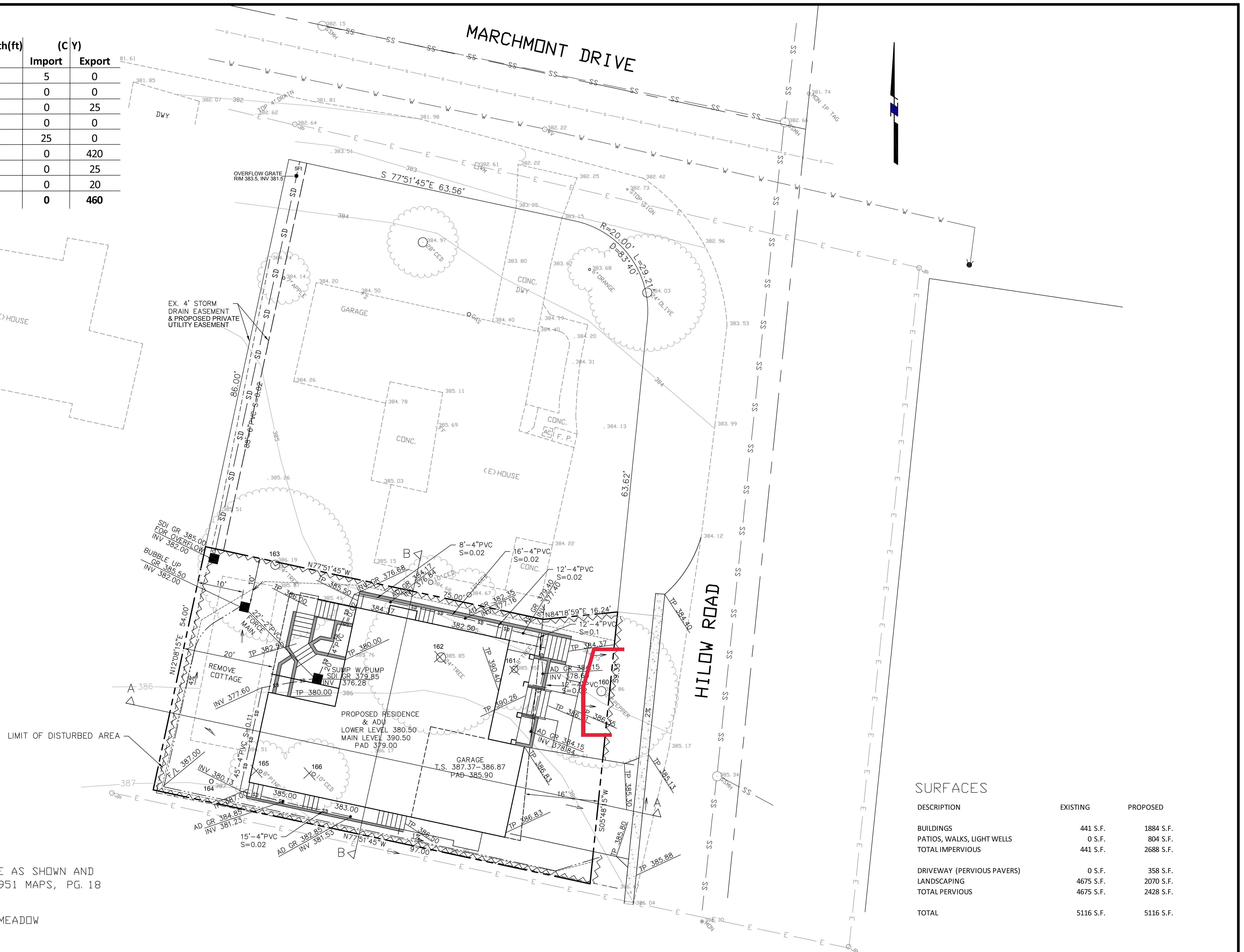
NOTE:
ALL AREA DRAINS TO BE 4" DIAMETER MINIMUM DRAINAGE INLET FOR OVERFLOW TO BE PRECAST CONCRETE INLET 2" BY 2" WITH GRATE.

LEGEND

EXISTING	PROPOSED

BASIS OF BEARINGS:
CALCULATED CENTER LINE OF MARCHMONT DRIVE AS SHOWN AND MONUMENTED ON THE RECORD OF SURVEY BOOK 951 MAPS, PG. 18

BENCHMARK:
TOWN OF LOS GATOS MONUMENT LG45 AT LONG MEADOW AND CLOVER WAY, ELEVATION 382.66'.

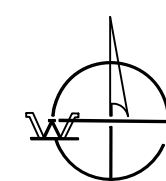


SURFACES

DESCRIPTION	EXISTING	PROPOSED
BUILDINGS	441 S.F.	1884 S.F.
PATIOS, WALKS, LIGHT WELLS	0 S.F.	804 S.F.
TOTAL IMPERVIOUS	441 S.F.	2688 S.F.
DRIVEWAY (PERVIOUS PAVERS)	0 S.F.	358 S.F.
LANDSCAPING	4675 S.F.	2070 S.F.
TOTAL PERVIOUS	4675 S.F.	2428 S.F.
TOTAL	5116 S.F.	5116 S.F.

NO.	BY	DATE	REVISION	BY	DATE	DATE: August 2024
						SCALE: HOR. 1" = 10' VERT.
						DESIGNED: JC
						CHECKED BY: KC
						PROJ. ENGR: KC

BY: KAREL CYMBAL RCE 34534
DATE:



WESTFALL ENGINEERS, INC.

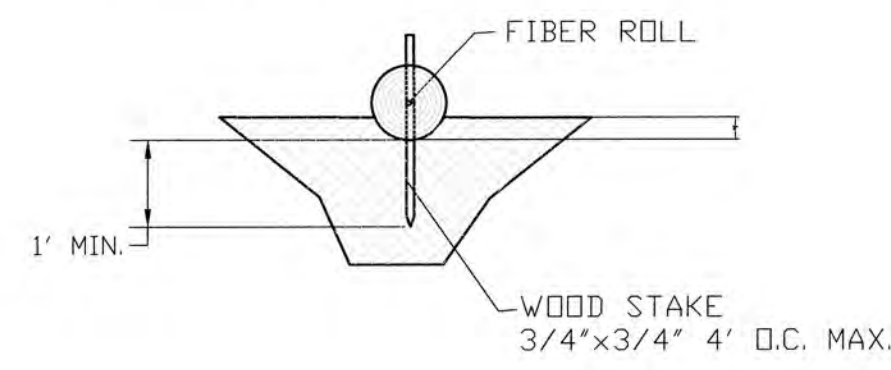
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

GRADING AND DRAINAGE PLAN

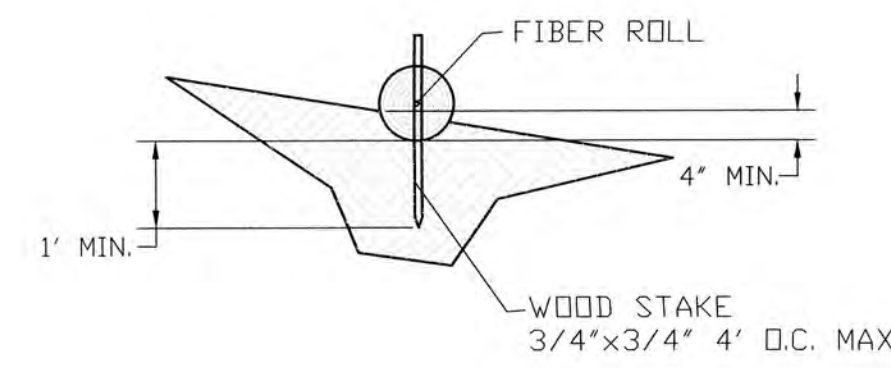
16705 HILOW DRIVE, LOS GATOS, CA

JOB NO. 2023-030
SHEET 1
OF 2

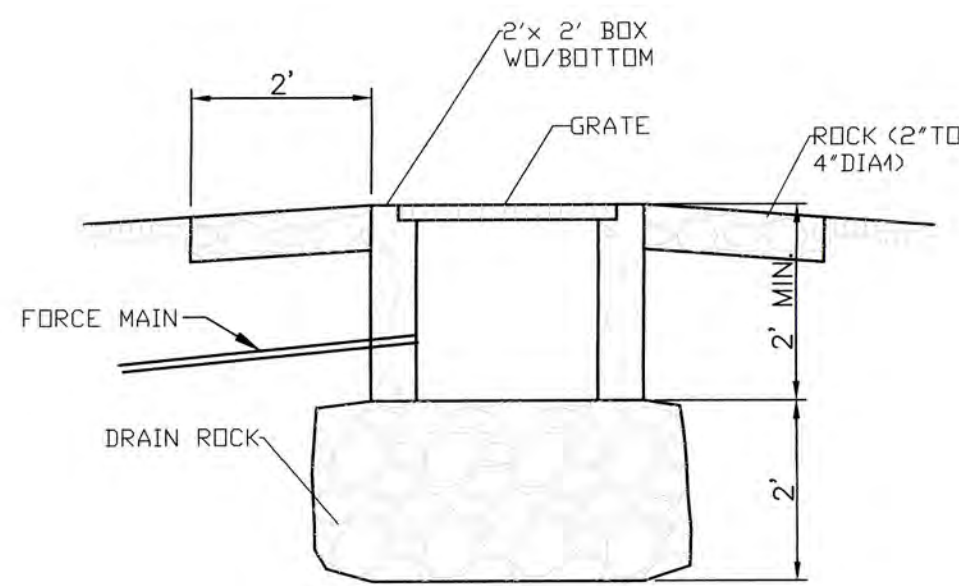
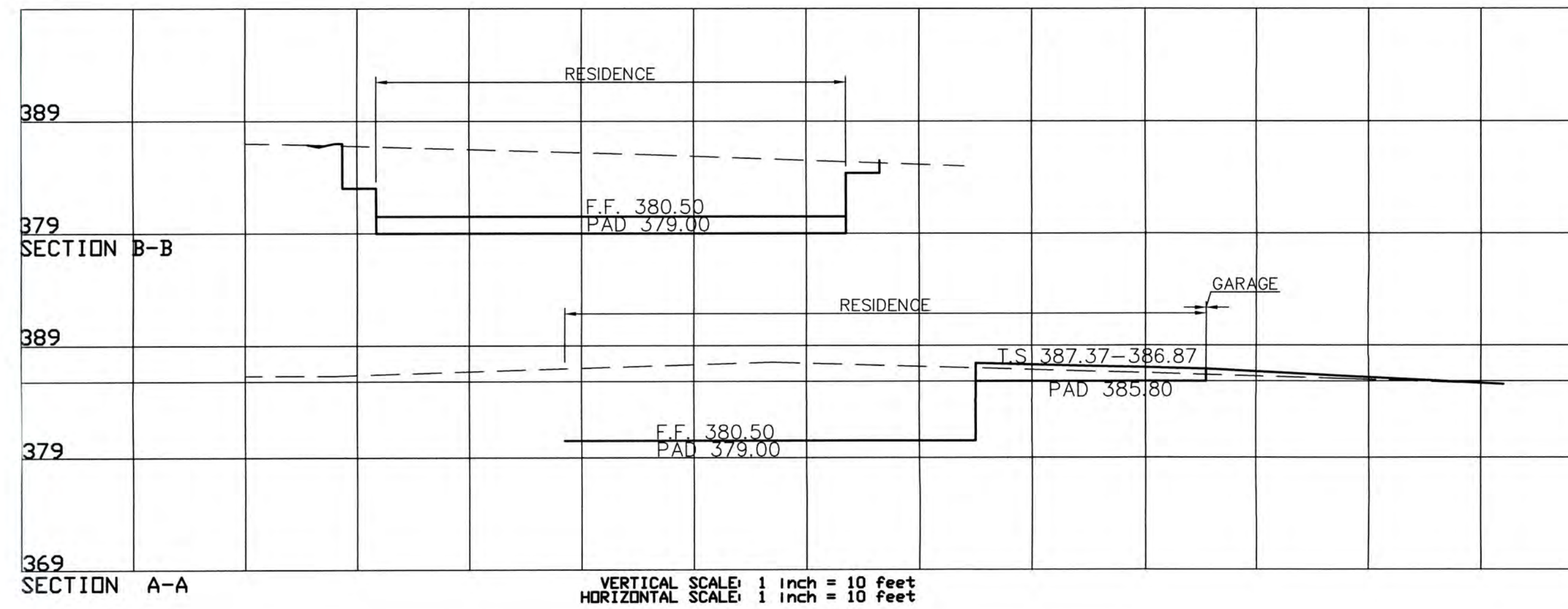
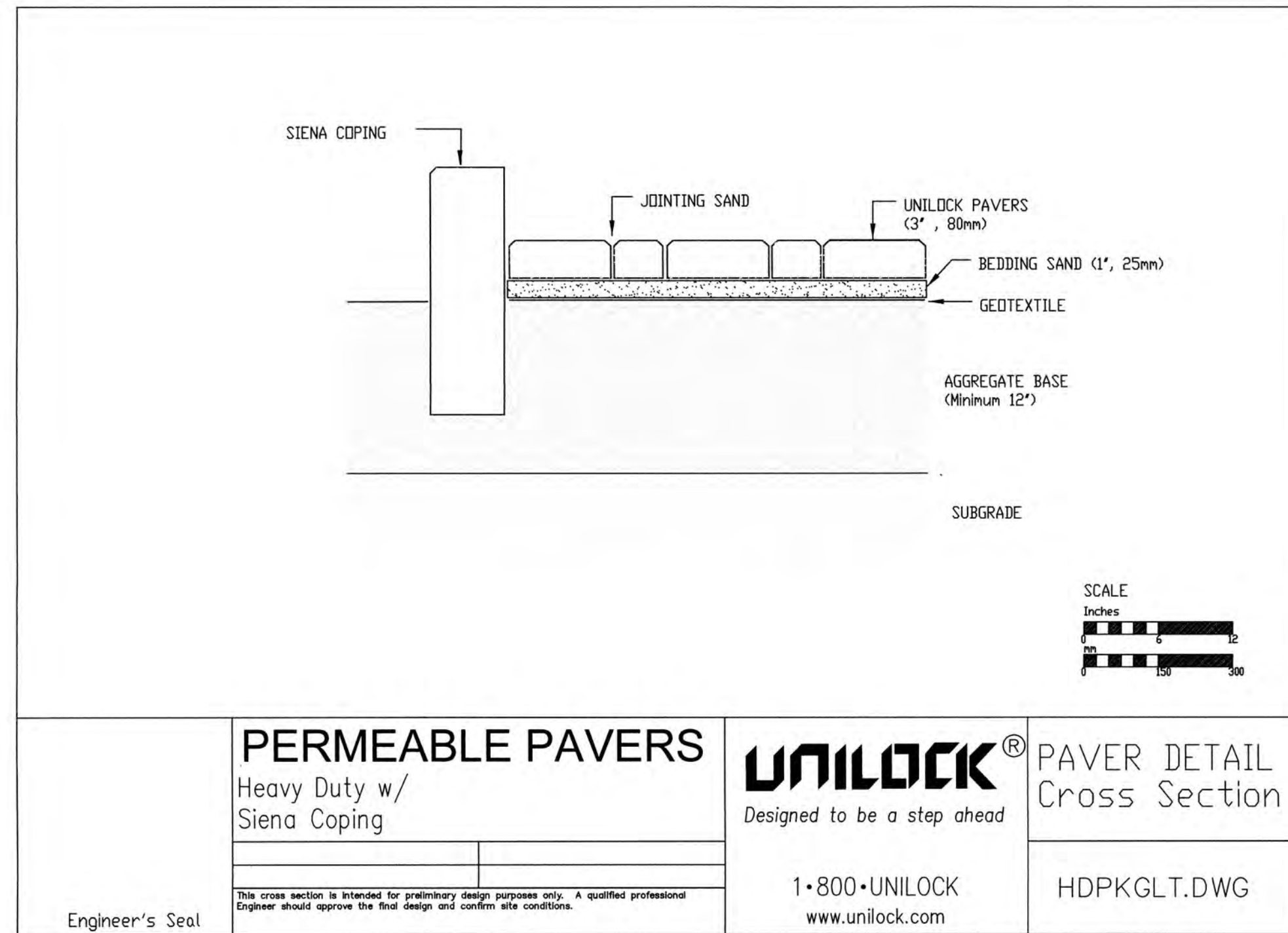
Place fiber rolls into the key trench and stake on both sides of the roll within 6 feet of each end and then every six inches with 1"x2" stakes. Stakes are typically driven in on alternating sides of the roll. When more than one fiber roll is placed in a row, the rolls should be abutted securely to one another to provide a tight joint, not overlapped.



ENTRENCHMENT DETAIL FOR FIBER ROLLS



ENTRENCHMENT DETAIL FOR FIBER ROLLS



BUBBLE UP ENERGY DISSIPATOR

1 CONSTRUCTION ENTRANCE

PROJECT SIZE	LENGTH OF	
	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
< 1 ACRE	50	0
< 3 ACRE	100	0
> 3 ACRE	100	50

PLAN: Shows a cross-section of a construction entrance with labels A, B, C, D, E. Includes notes: (SEE NOTE 2), 15' MIN., PROVIDE FULL WIDTH OF INGRESS/EGRESS AREA, PUBLIC ROAD, RIGHT OF WAY, GEOTEXTILE FABRIC UNDER QUARRY SPALLS.

SECTION: Shows a cross-section of a construction entrance with labels A, B, C. Includes notes: 8" TYPICAL, EX. ROAD, VARIES.

NOTES:

- 4" CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.
- THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH APPROVAL OF THE CITY ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL SITE CONDITIONS AND SIZE DICTATE.
- ATB DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.
- INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE
- INSTALL 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

NOTES:

- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 1:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NOT TO SCALE

APPROVED BY	DATE	TOWN OF LOS GATOS	STABILIZED CONSTRUCTION ENTRANCE	STD. PLAN NO.
<i>[Signature]</i>	NOVEMBER 2010			ST-250
TOWN ENGINEER				

NO.	BY	DATE	REVISION	BY	DATE
1	ATJ	10-2-24	PLANCHECK COMMENTS #2 - CONSTRUCTION ENTRANCE		

DATE: August 2024
SCALE: HOR. 1" = 10' VERT.
DESIGNED: JC
CHECKED BY: KC
PRJ. ENGR: KC

BY: KAREL CYMBAL RCE 34534
DATE:



WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

GRADING AND DRAINAGE PLAN

16705 HILOW DRIVE, LOS GATOS, CA

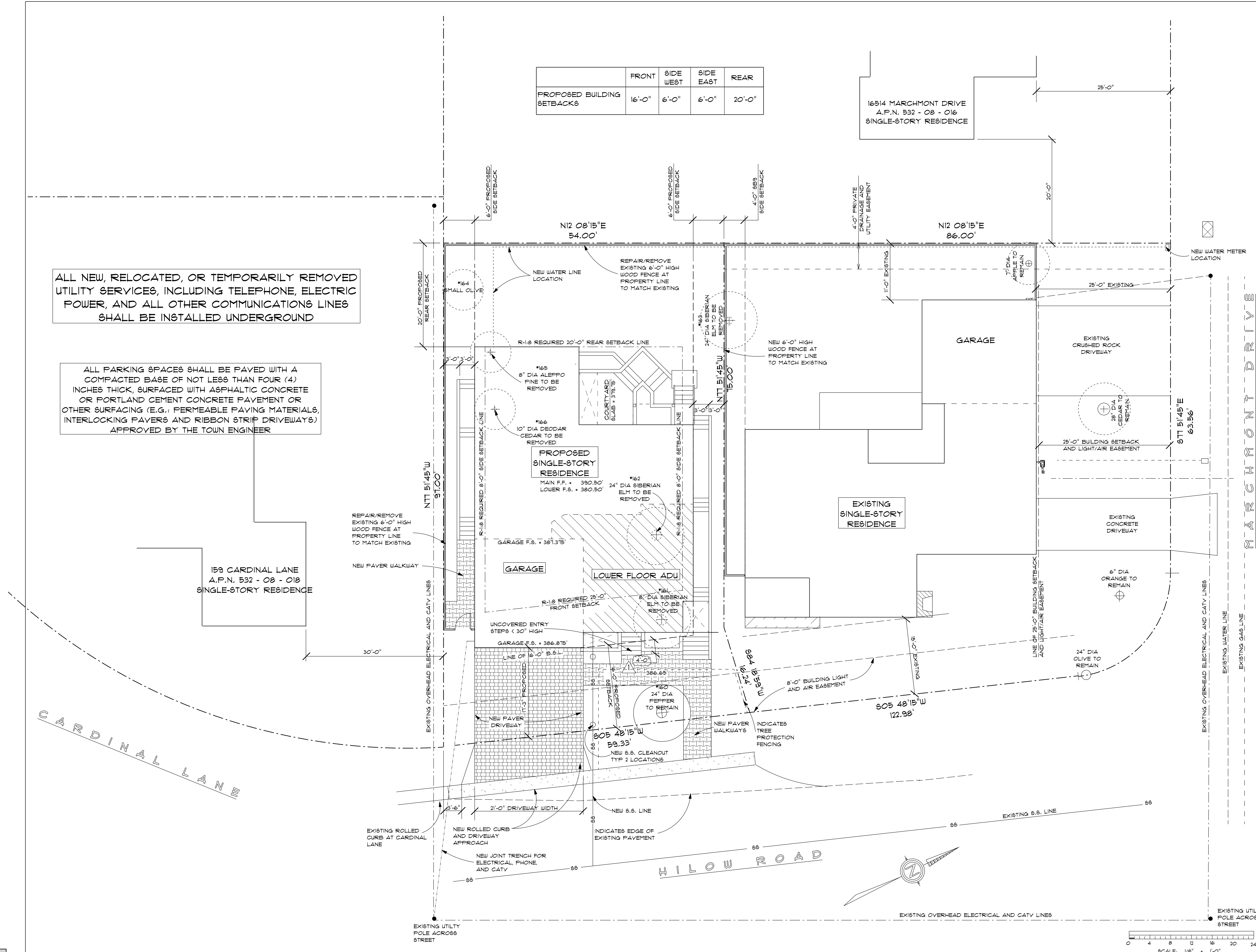
JOB NO.
2023-030
SHEET
OF **C3.1**

	FRONT	SIDE WEST	SIDE EAST	REAR
PROPOSED BUILDING SETBACKS	16'-0"	6'-0"	6'-0"	20'-0"

16514 MARCHMONT DRIVE
 A.P.N. 532 - 08 - 016
 SINGLE-STORY RESIDENCE

ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER, AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND

ALL PARKING SPACES SHALL BE PAVED WITH A COMPACTED BASE OF NOT LESS THAN FOUR (4) INCHES THICK, SURFACED WITH ASPHALTIC CONCRETE OR PORTLAND CEMENT CONCRETE PAVEMENT OR OTHER SURFACING (E.G.: PERMEABLE PAVING MATERIALS, INTERLOCKING PAVERS AND RIBBON STRIP DRIVEWAYS) APPROVED BY THE TOWN ENGINEER



proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hilow Drive
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

THE ADU SHALL BE UNDER A SEPARATE MINISTERIAL PERMIT

building department stamp

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Revisions:

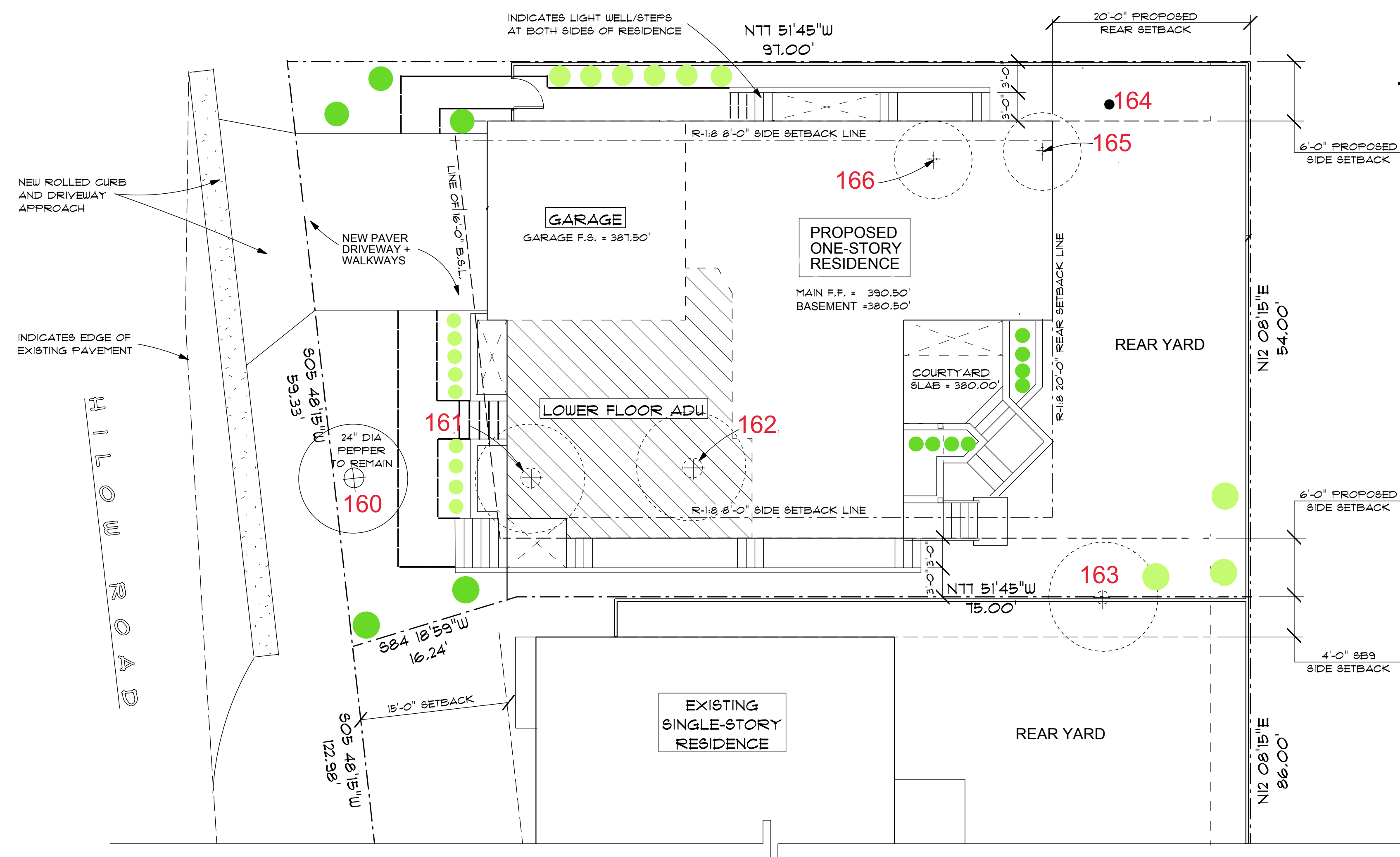
proposed site plan

scale: 1/8" = 1'-0"

2023 - 31

November 02, 2023

Sheet
A1.0



TREE TABLE

No.	SPECIES	SIZE	COND.	ACTION
160	Pepper	22"	FAIR	SAVE
161	Siberian Elm	18"	POOR	REMOVE
162	Siberian Elm	24"	POOR	REMOVE
163	Siberian Elm	26"	POOR	REMOVE
164	Olive	2 2/4"	FAIR	REMOVE
165	Deodar Cedar	10"	FAIR	REMOVE
166	Aleppo Pine	9"	FAIR	REMOVE

REPLACEMENT TREES + SHRUBS (13 x 15 gal OR 24" Box REQUIRED)

- Evergreen Tree 24" Box - SCREEN X 9
- Evergreen Hedge 15gal - SCREEN X 9
- Deciduous Tree 24" Box - DECOR. X 5
- Planter Shrubs 5 gal - DECOR X 8

All Replacement Trres + Shrubs to be Drought Tolerant species and at least 50% to be California Native Varietals

LANDSCAPING SHALL COMPLY WITH MWEL0 REGULATIONS AND FOLLOW BEST PRECTICES FOR WATER CONSERVATION

proposed new two-story residence, basement and ADU for the:
SHAMSODDINI RESIDENCE
 16500 Marchmont Drive
 Los Gatos, CA 95032
 LOT 2
 A.P.N. 532 - 08 - 017
 R - 1

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Revisions: 1 Plancheck Comments #2 10-2-24

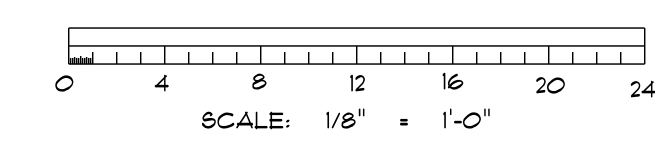
LANDSCAPE PLAN

scale: 1/8" = 1'-0"

2023 - 31

November 02, 2023

Sheet
A1.1



Friday, 10/11/2024 16500 MARCHMONT DRIVE / LOS GATOS / SHAMSODDINI / THIS

proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hilow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

proposed lower/ADU floor plan

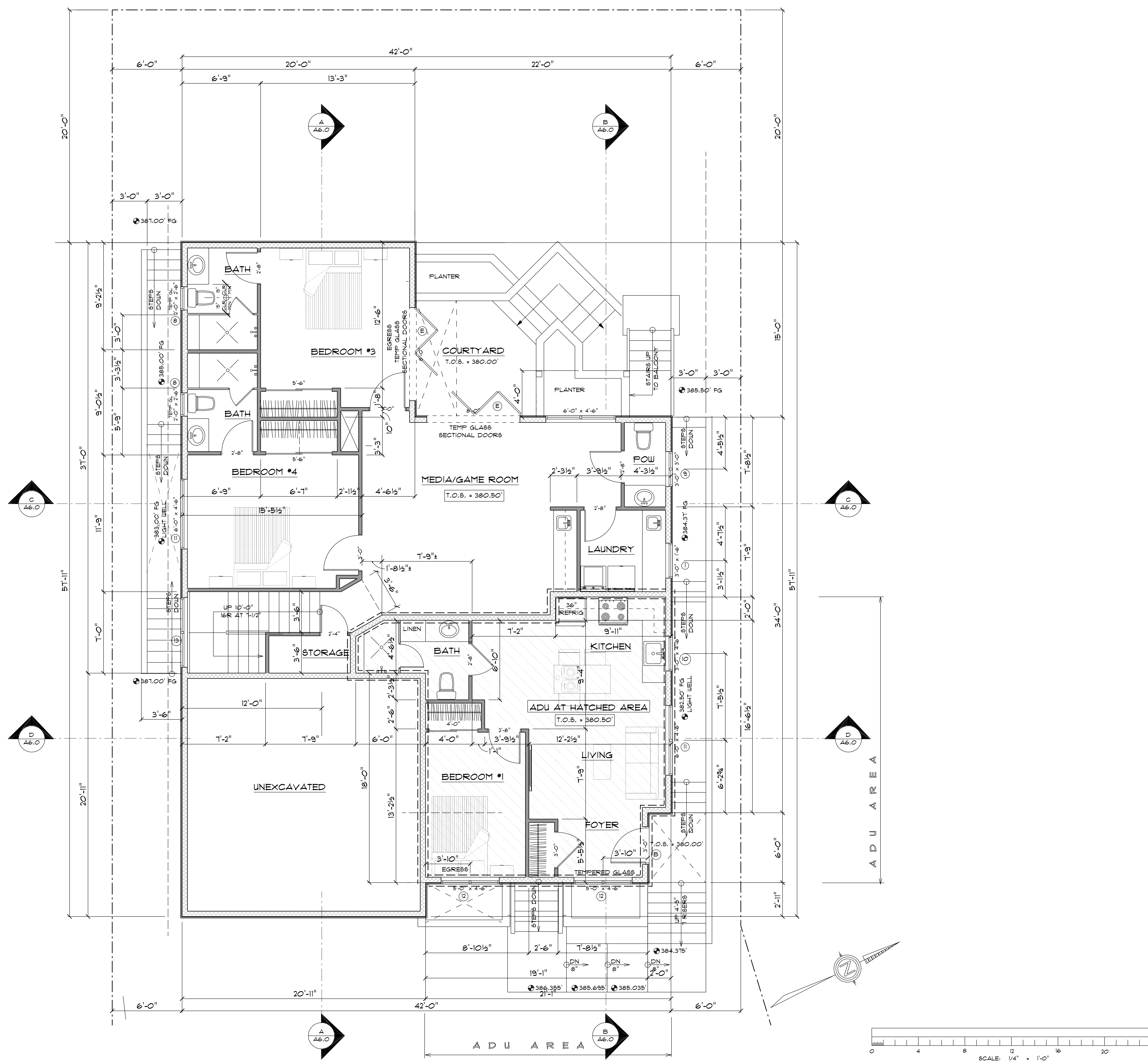
scale: 1/4" = 1'-0"

2023 - 31

April 02, 2024

Sheet

A2.0



proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hillow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

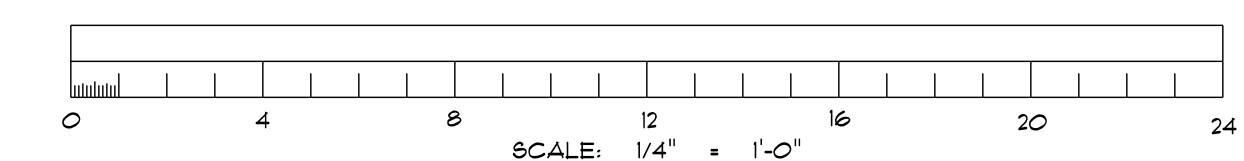
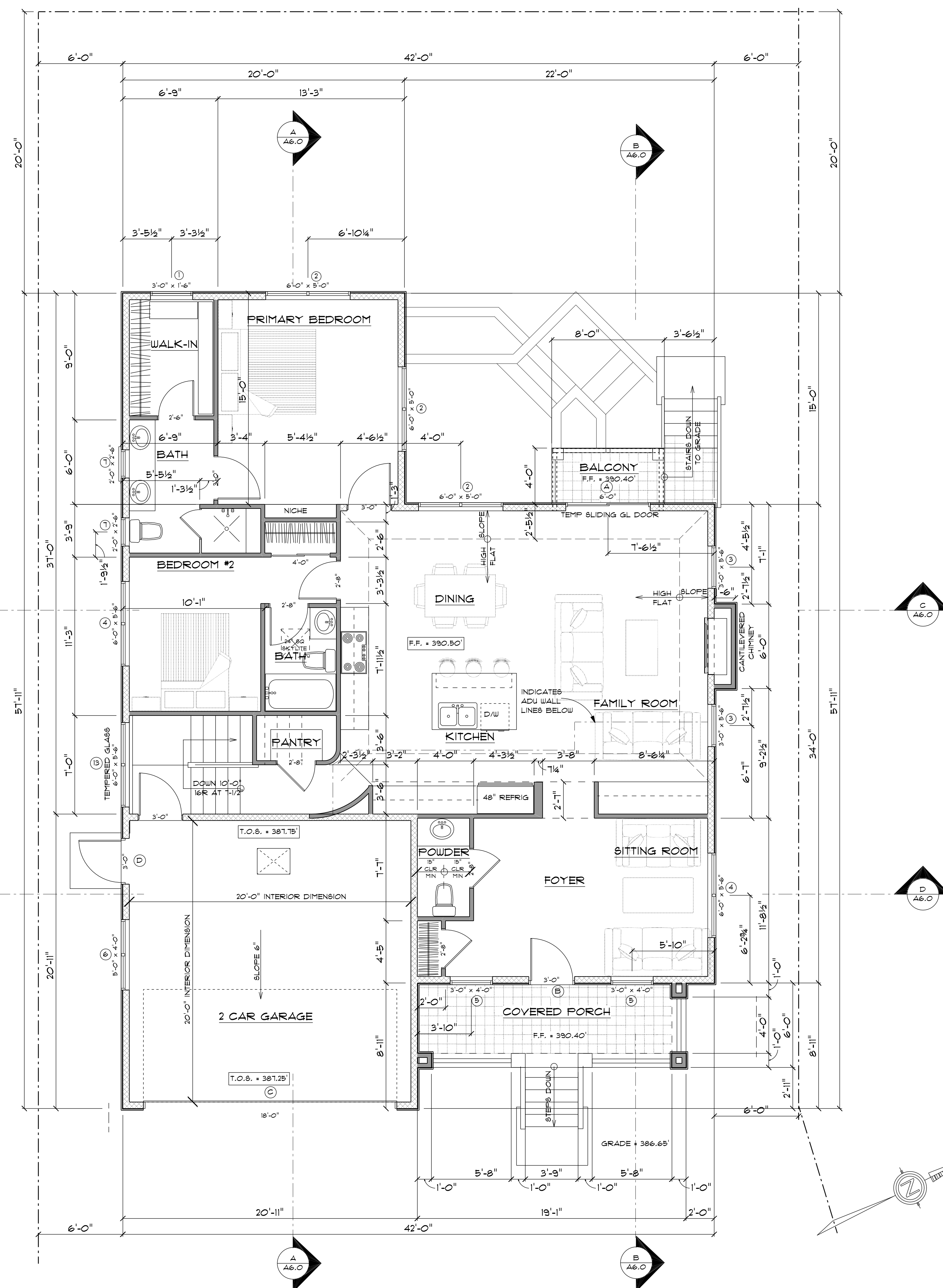
proposed main floor plan

scale: 1/4" = 1'-0"

2023 - 31

April 02, 2024

Sheet
A2.1



proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hillow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

front and left side exterior elevations

scale: 1/4" = 1'-0"

2023 - 31

April 02, 2024

Sheet

A4.0

MATERIALS:

- A** CLASS "A" COMPOSITION ROOFING
- B** OGEE GUTTERS BLACK
- C** SMOOTH STUCCO LIGHT TAUPE
- D** WOOD DOORS STAINED CEDAR
- E** WOOD CLAD WINDOWS BLACK W/ TDL
- F** PAINTED WINDOW/DOOR TRIM: 2 X 6 HEAD, 2 X 4 SIDE TRIM, 2 X 6 SILL, 2 X 4 APRON
- G** PAINTED WOOD RAILING SYSTEM
- H** PAINTED 4 X 12 WOOD BEAM
- I** PAINTED 14" SQ. WOOD COLUMNS
- J** EXTERIOR STAIR TREADS/RISERS TO MATCH PORCH FLOORING
- K** RECESSED GARAGE DOOR



EAST (FRONT) ELEVATION

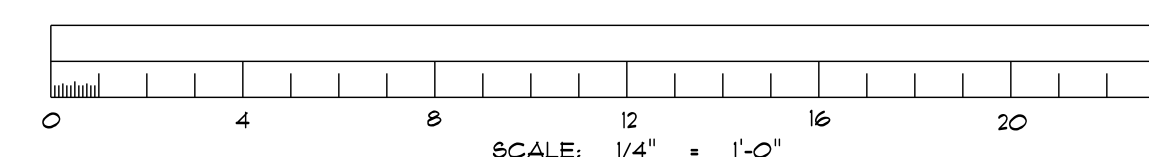
NO CHANGES IN EXISTING GRADE PROPOSED



SOUTH (LEFT) SIDE ELEVATION

PROPOSED SKYLIGHTS SHALL HAVE A FLAT PROFILE AND BE NON-REFLECTIVE. VELUX FIXED CURB-MOUNTED MODEL FCM (SEE SPECIFICATIONS SHEET 6P1)

ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES



ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES

PROPOSED SKYLIGHTS SHALL HAVE A FLAT PROFILE AND BE NON-REFLECTIVE. VELUX FIXED CURB-MOUNTED MODEL FCM (SEE SPECIFICATIONS SHEET 6P1)



WEST (REAR) ELEVATION

NO CHANGES IN EXISTING GRADE PROPOSED



NORTH (RIGHT) SIDE ELEVATION

proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hillow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

rear and right side exterior elevations

scale: 1/4" = 1'-0"

2023 - 31

April 02, 2024

Sheet
A4.1

proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hillow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

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Revisions:

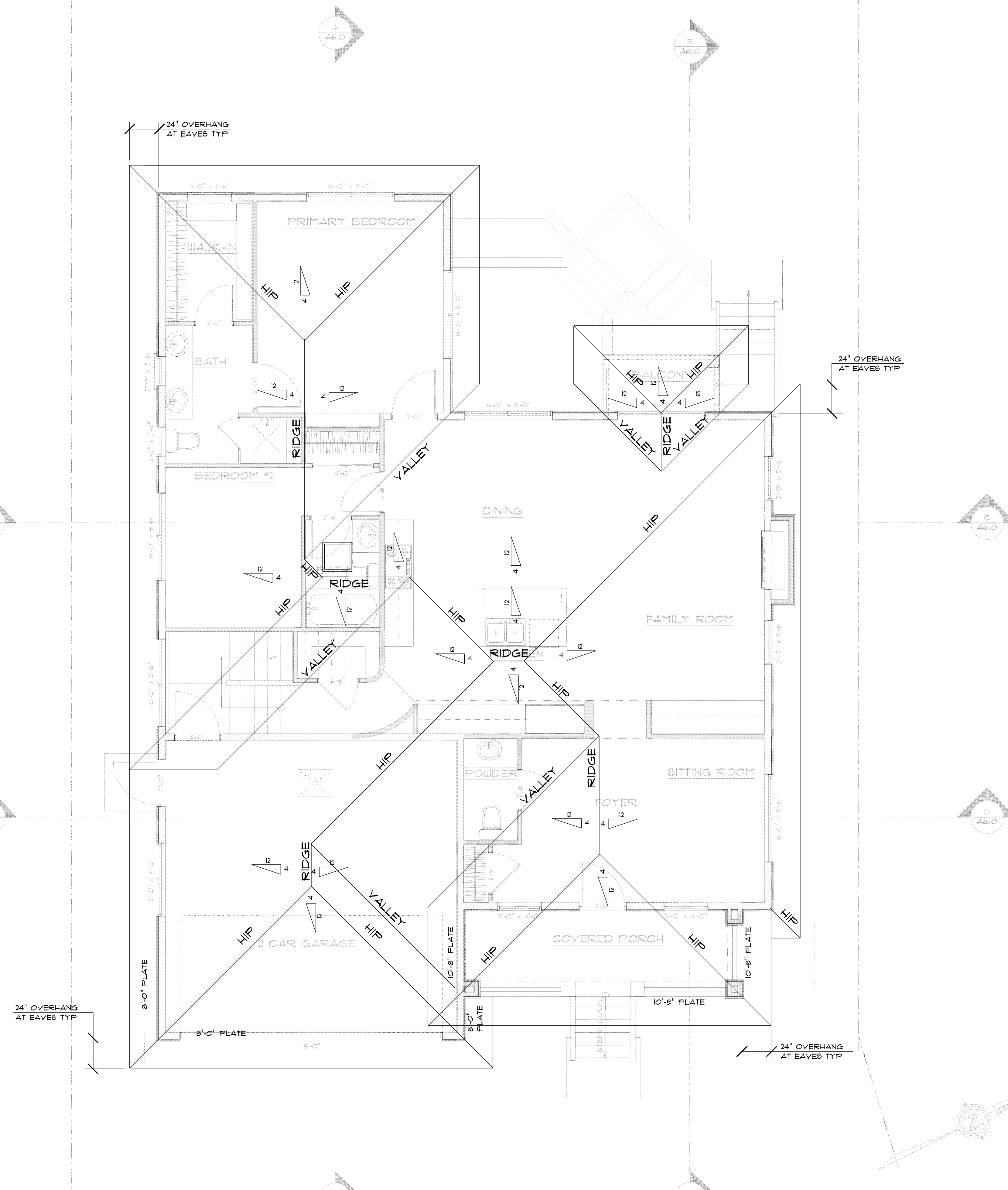
roof plan

scale: 1/4" = 1'-0"

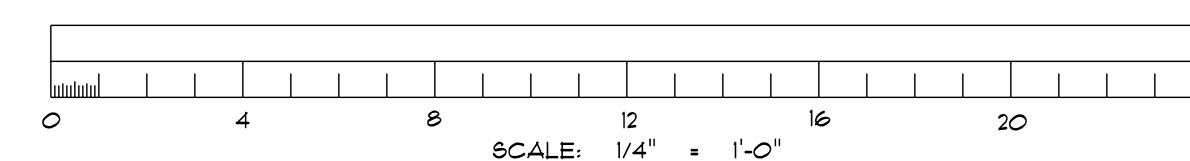
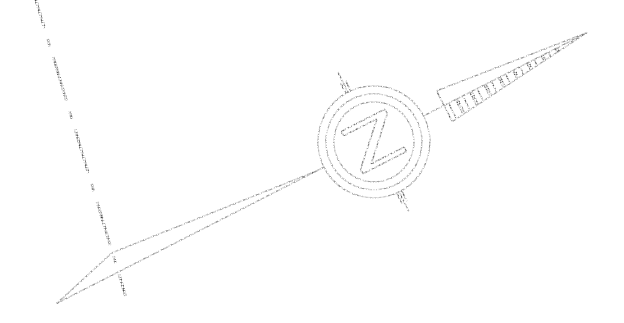
2023 - 31

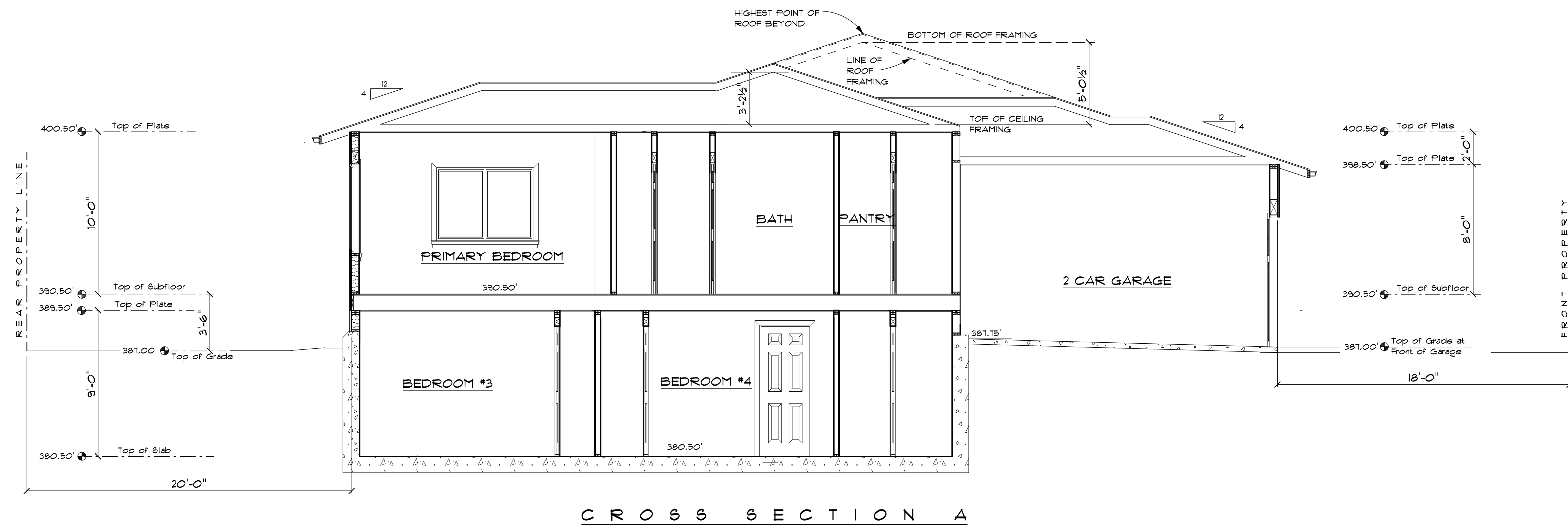
April 02, 2024

Sheet
A5.0

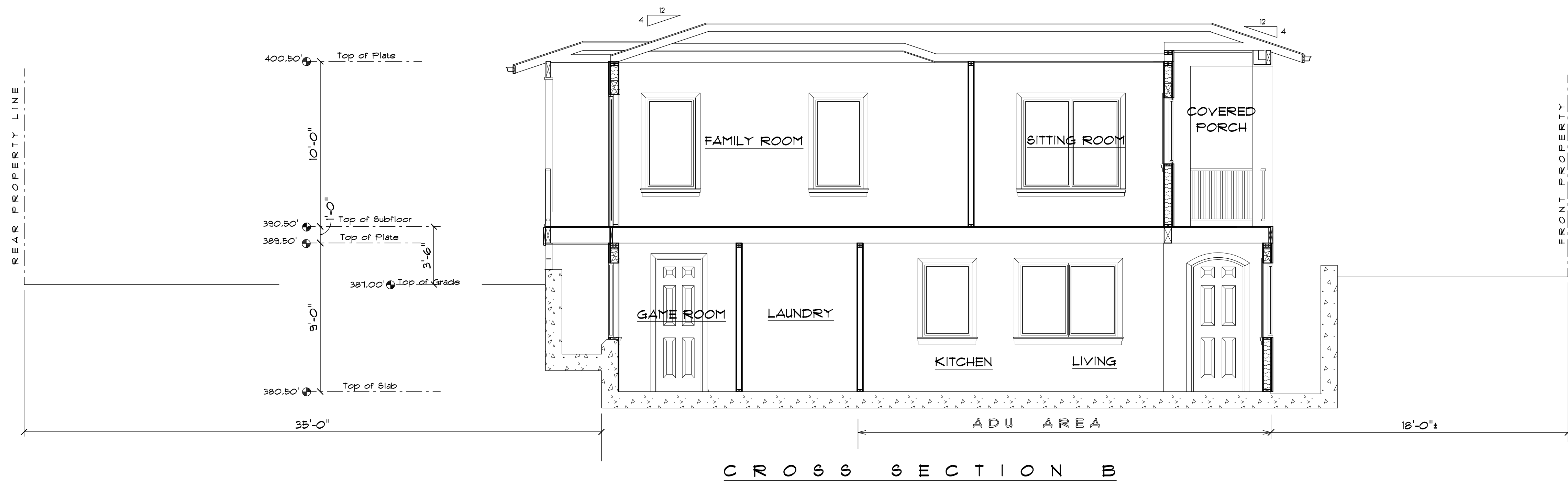


PROPOSED SKYLIGHTS SHALL HAVE A FLAT PROFILE AND BE NON-REFLECTIVE. VELUX FIXED CURB-MOUNTED MODEL FCM (SEE SPECIFICATIONS SHEET SP1)





NO CHANGES IN EXISTING GRADE PROPOSED



proposed new single-story residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hillow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

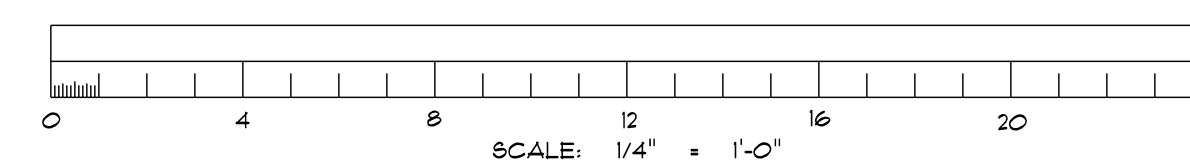
cross sections A and B

scale: 1/4" = 1'-0"

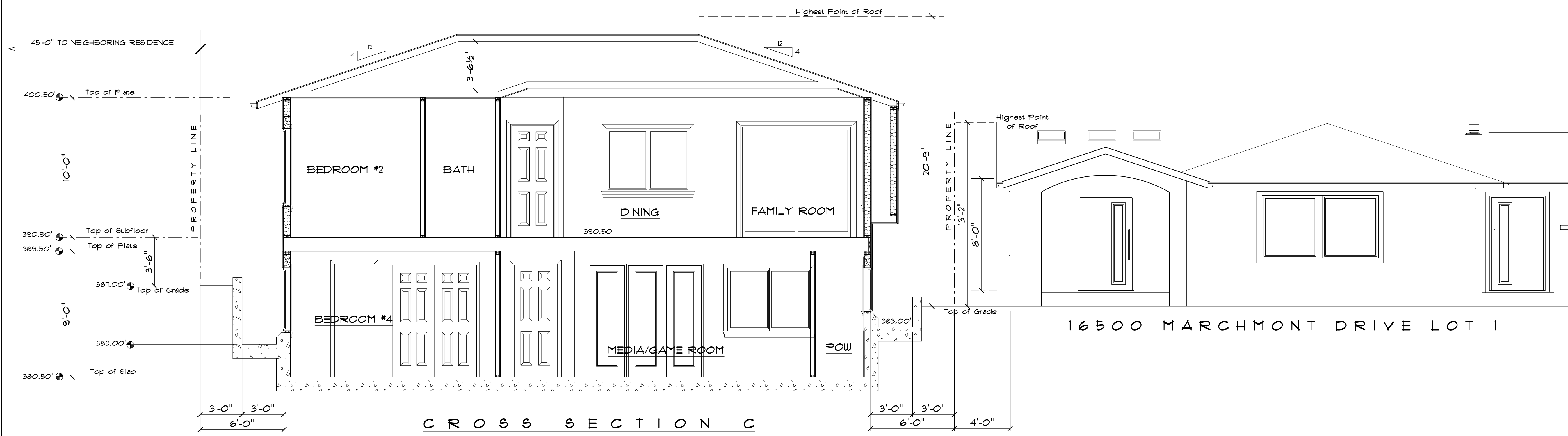
2023 - 31

April 02, 2024

Sheet
A6.0

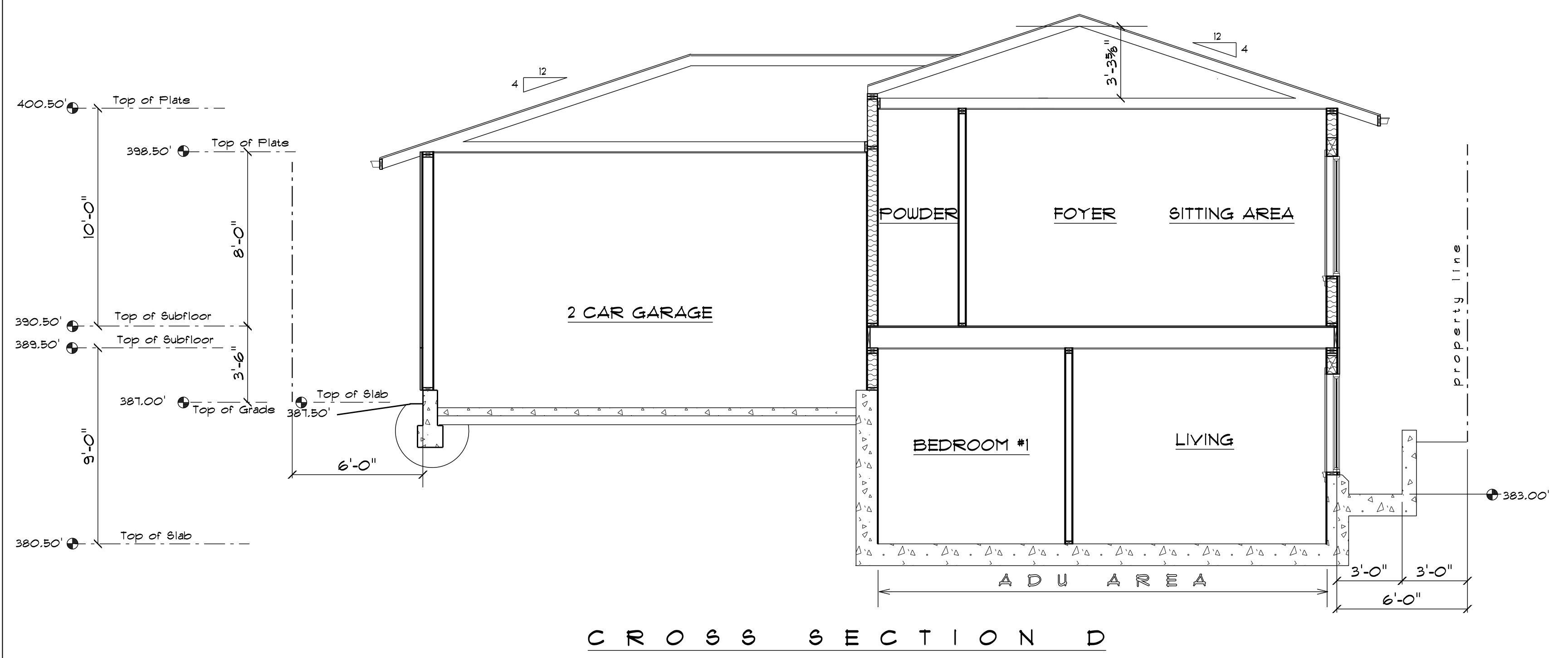


16705 Hillow Road, Los Gatos, CA 95032 / SHAMSODDINI / 7.19



CROSS SECTION C

NO CHANGES IN EXISTING GRADE PROPOSED



CROSS SECTION D

16500 MARCHMONT DRIVE LOT 1

proposed new single-story residence, basement and ADU for the:
SHAMSODDINI RESIDENCE
 16705 Willow Road
 Los Gatos, CA 95032
 A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF
 R - 1
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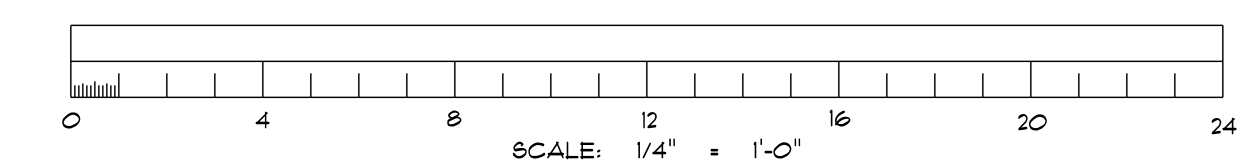
Revisions:

cross sections C and D

scale: 1/4" = 1'-0"

2023 - 31 Sheet

April 02, 2024 **A6.1**



proposed new single-story residence, basement and ADU for the:
SHAMSODDINI RESIDENCE

16705 Hilow Road
 Los Gatos, CA 95032

A.P.N. 532 - 08 - 017
 LOT 2
 5,116.0 SF

R - 1

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Revisions:

calculation plans

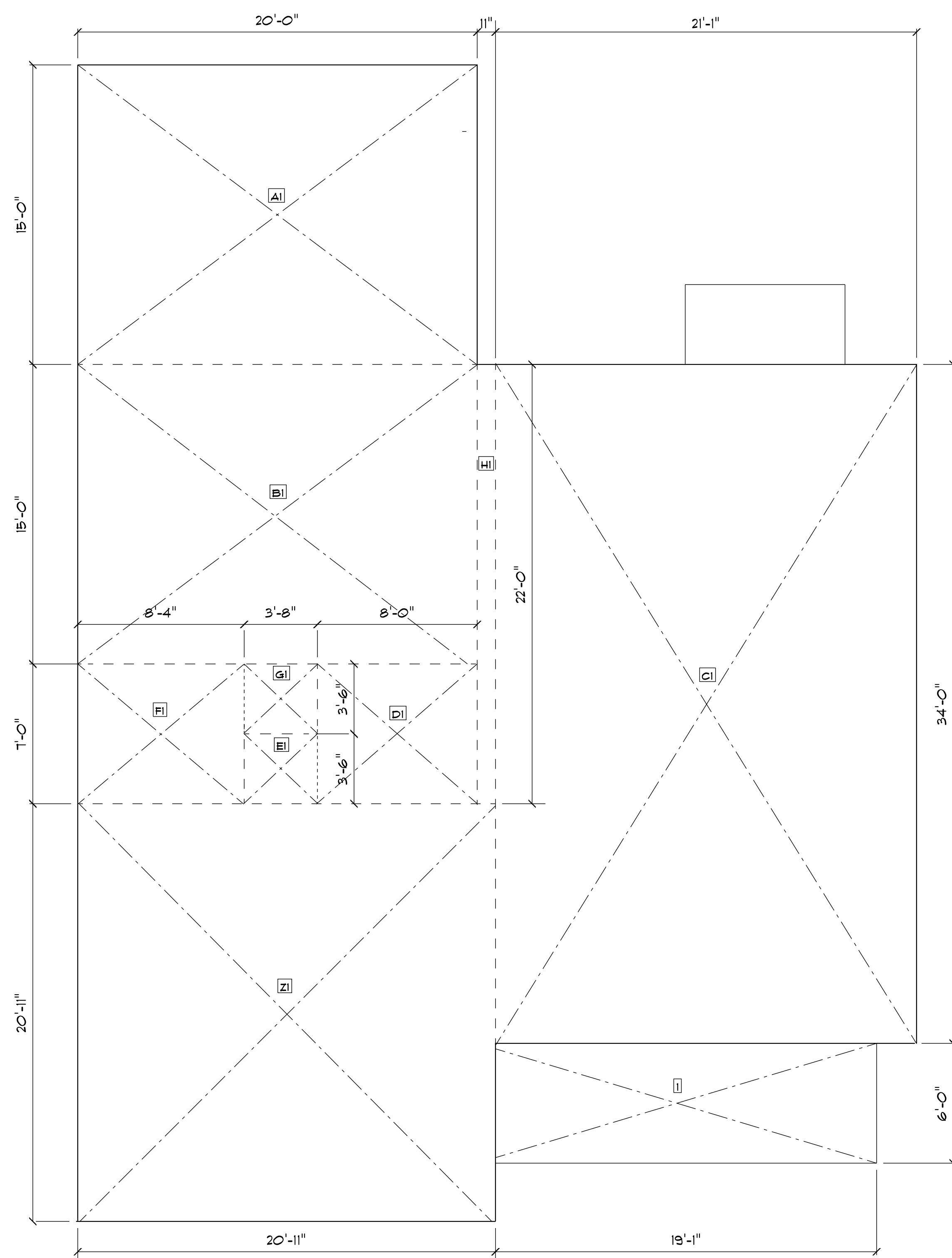
scale: 1/4" = 1'-0"

2023 - 31

April 02, 2024

Sheet

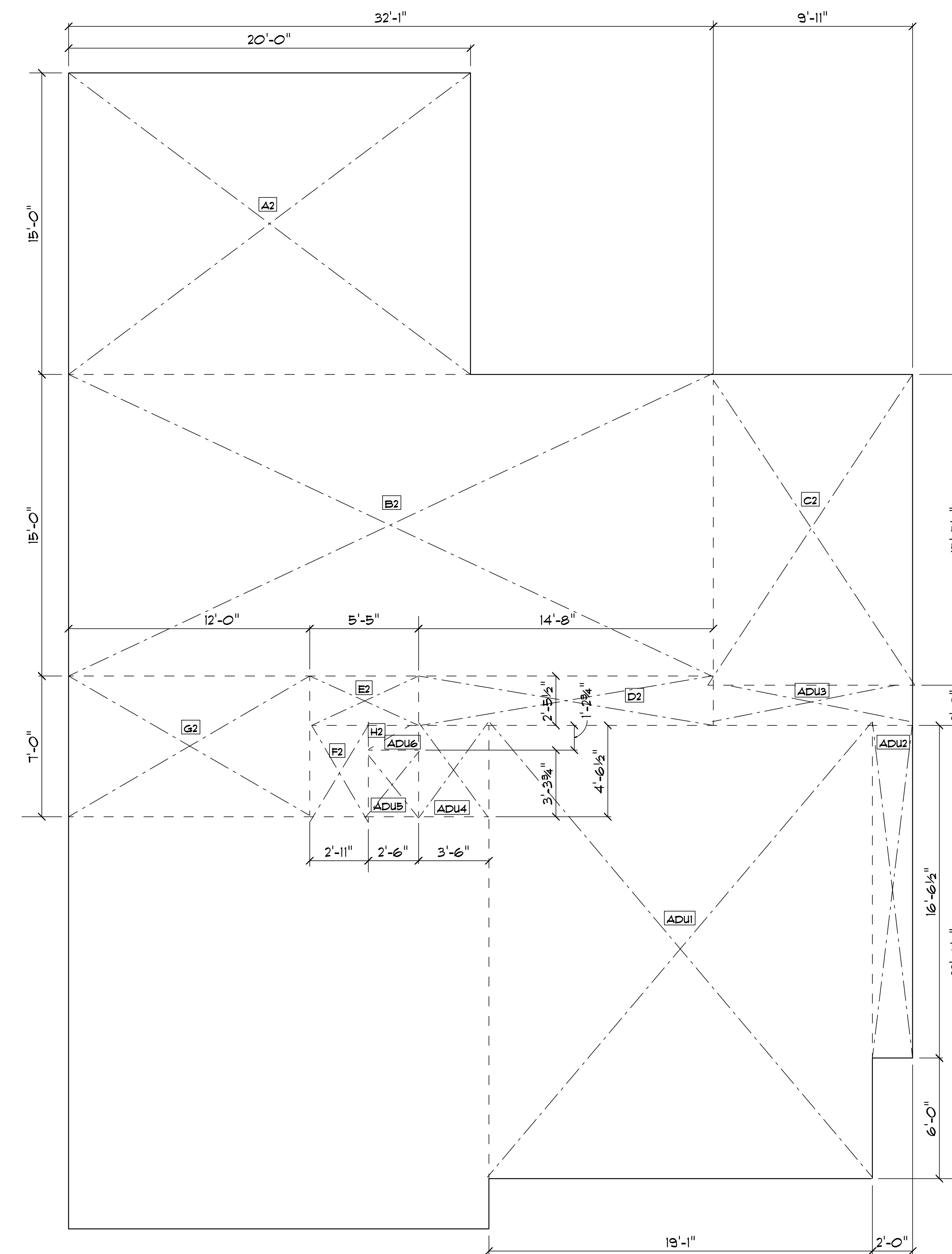
CPI



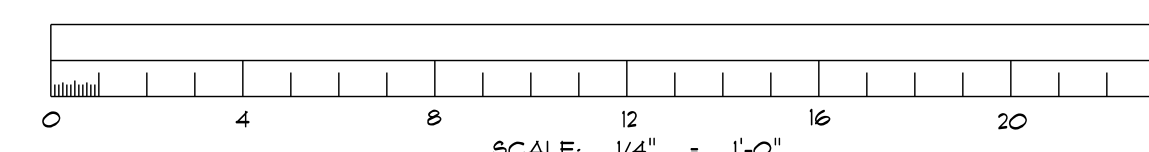
MAIN FLOOR PLAN

SQUARE FOOT CALCULATIONS:

KEY	SIZE	SQ. FT.
A1	20'-0" x 15'-0"	300.00
B1	20'-0" x 15'-0"	300.00
C1	21'-1" x 34'-0"	716.83
D1	8'-0" x 7'-0"	56.00
E1	3'-8" x 3'-6"	12.83
F1	8'-4" x 7'-0" STAIRWAY	58.33
G1	3'-8" x 3'-6" STAIRWAY	12.83
H1	11" x 22'-0"	20.16
TOTAL MAIN FLOOR LIVABLE AREA (INCLUDING STAIRWAY)		1,467.98
A2	20'-0" x 15'-0"	300.00
B2	32'-1" x 15'-0"	481.25
C2	9'-11" x 15'-5 1/2"	153.29
D2	14'-8" x 2'-5 1/2"	36.05
E2	5'-5" x 2'-5 1/2"	13.31
F2	2'-11" x 4'-6 1/2"	13.24
G2	12'-0" x 7'-0"	84.00
TOTAL LOWER FLOOR LIVABLE AREA		1,091.14
TOTAL RESIDENCE LIVABLE AREA		2,549.12
ADU1	19'-1" x 22'-6 1/2"	430.17
ADU2	2'-0" x 16'-6 1/2"	33.08
ADU3	9'-11" x 2'-0"	19.83
ADU4	3'-6" x 4'-6 1/2"	15.85
ADU5	2'-6" x 3'-3 3/4"	8.28
ADU6	2'-8" x 1'-4 3/4" / 2	1.86
TOTAL ADU AREA		509.11
Z1	20'-11" x 20'-11"	437.50
TOTAL GARAGE AREA		437.50
I	19'-1" x 6'-0"	114.50
TOTAL COVERED PORCH AREA		114.50



LOWER FLOOR/ADU PLAN



Wednesday, November 22, 2023 10:02 AM / LOS GATOS / LOS GATOS / SHAMSODDINI / THIS

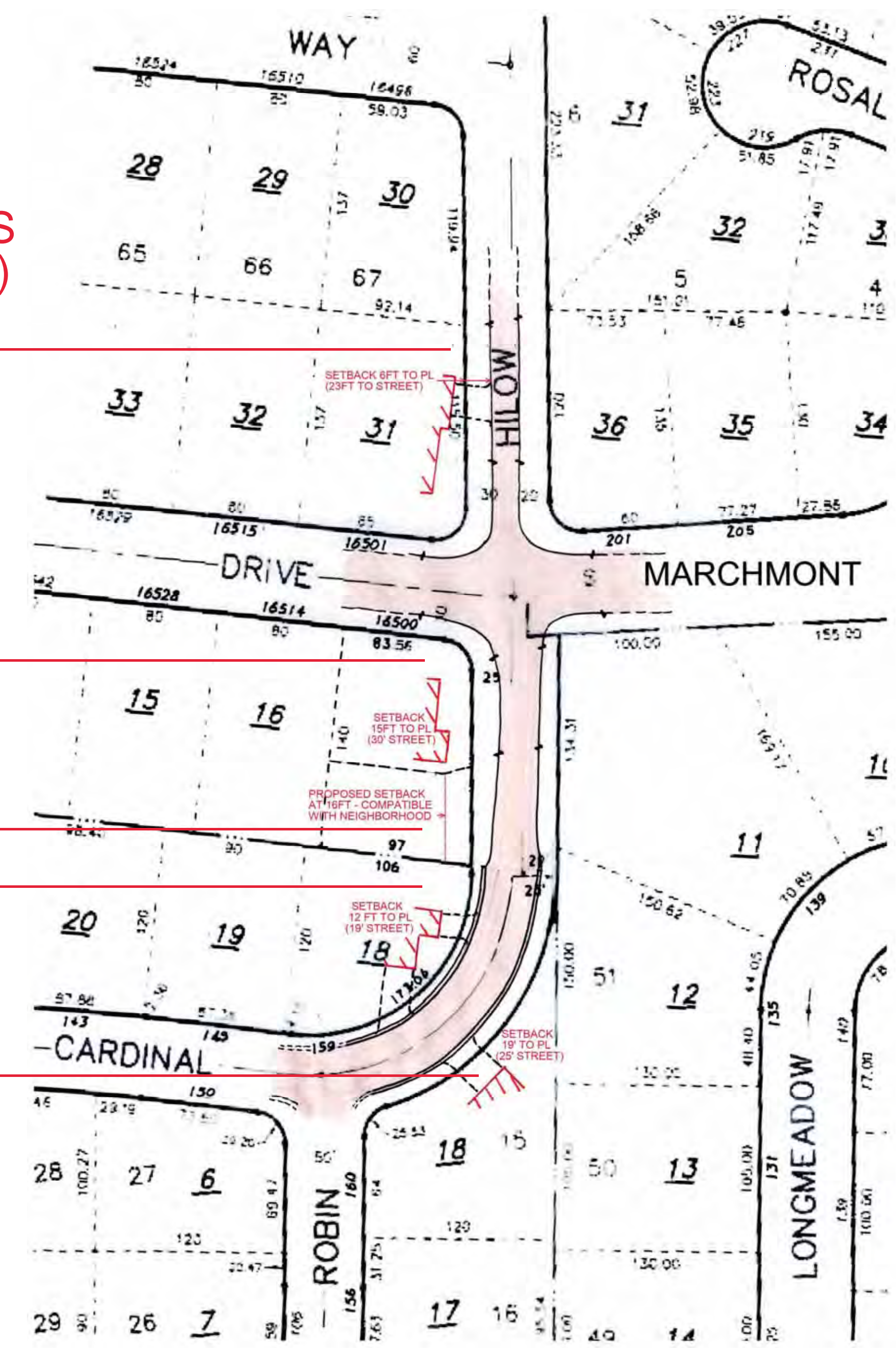
COMPARATIVE SETBACKS TO HILOW ROAD (FRONT)

STREET SETBACK 6FT

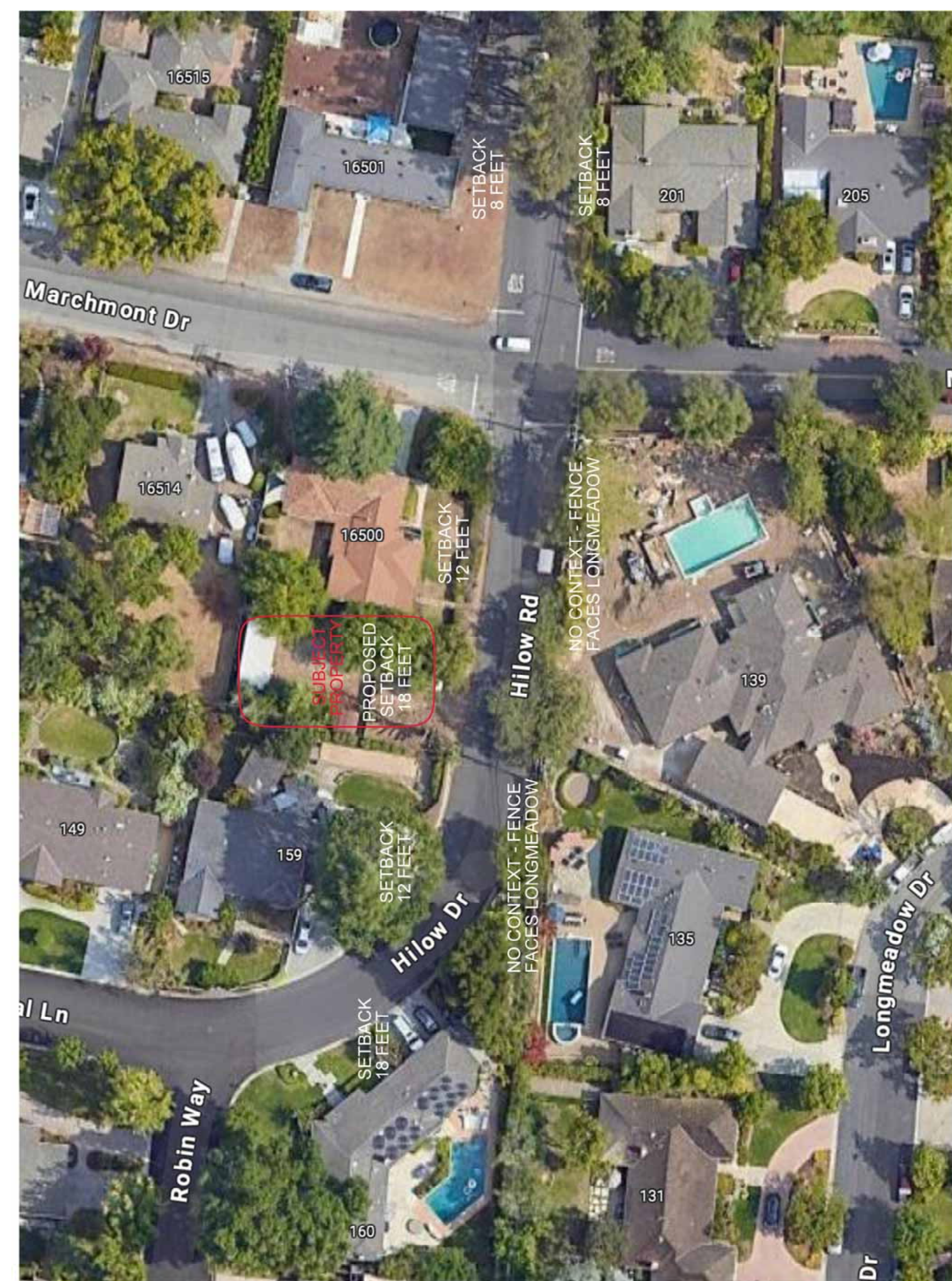
STREET SETBACK 15FT

FRONT SETBACK 16FT HILOW RD PROPOSED
STREET SETBACK 12FT AT CARDINAL FRONTAGE

STREET SETBACK 19FT AT CARDINAL FRONTAGE



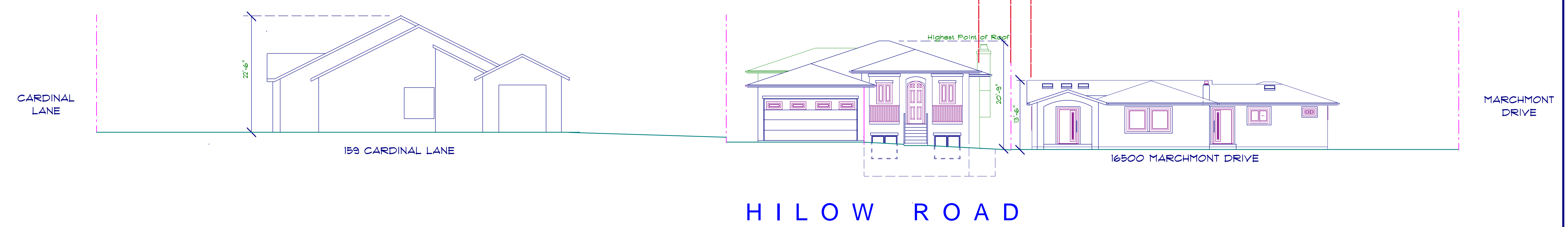
NEIGHBORHOOD SETBACK COMPARISON
NO SCALE



NEIGHBORHOOD CONTEXT PLAN
NO SCALE

SIDE SETBACKS

PROPOSED 6FT 4FT EXISTING AT
16705 HILOW 16500 MARCHMONT



proposed new two-story residence, basement and ADU for the:
SHAMSODDINI RESIDENCE
16705 Hilow Rd
Los Gatos, CA 95032
A.P.N. 532 - 08 - 011
R - 1

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Revisions: Plancheck Comments 8-24-24

schematic streetscape

EAST SIDE OF HILOW/CARDINAL LANE



149 CARDINAL



159 CARDINAL

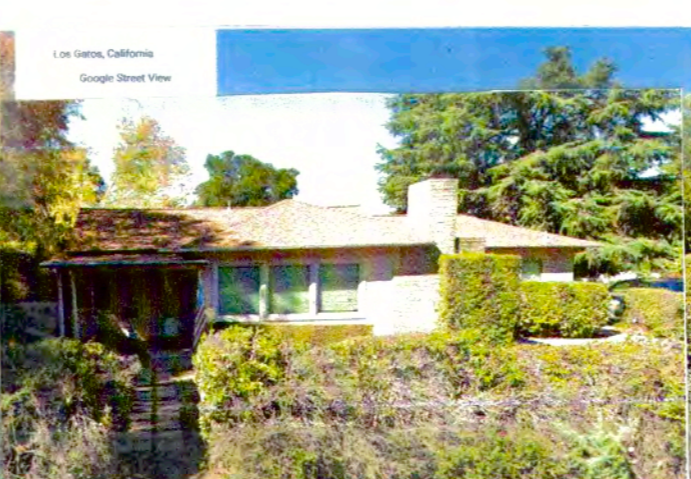
- THIS PROJECT CONTINUES FROM CARDINAL LANE
- THERE ARE NO HOUSES FRONTING ON HILOW HERE



159 CARDINAL
(AT CORNER)



PROPOSED
PROJECT
(SCHEMATIC
RENDERING)



16500 MARCHMONT



MARCHMONT DRIVE



16501 MARCHMONT

WEST SIDE OF HILOW/CARDINAL
(OPPOSITE SIDE OF STREET)



150 CARDINAL



201 MARCHMONT
(BEHIND TREES)



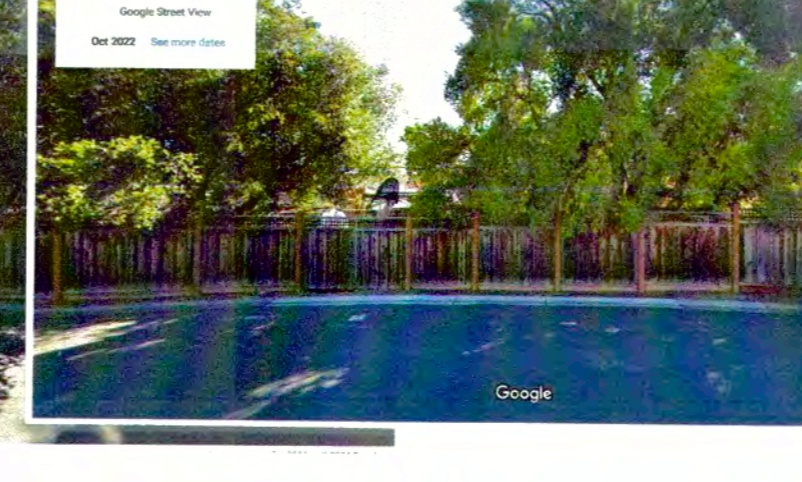
MARCHMONT DRIVE



139 LONGMEADOW
(BEHIND FENCE)



135 LONGMEADOW
(BEHIND FENCE)



160 ROBIN WAY
(AT CARDINAL)



139 LONGMEADOW
(FRONT OF HOUSE)



135 LONGMEADOW
(FRONT OF HOUSE)

proposed new two-story
residence, basement and ADU for the:

SHAMSODDINI RESIDENCE

16705 Hilow Rd
Los Gatos, CA 95032

A.P.N. 532 - 08 - 017

R - 1

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Revisions: Plancheck Comments 8-24-24

streetscape

2023 - 31

May 23, 2024

Sheet

SCI.D

Thursday, May 23, 2024 16500 MARCHMONT DRIVE / LOS GATOS / T.H.I.S

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 6

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of a Community Development Director Decision to Deny a Request to Remove a Pre-1941 Property from the Historic Resources Inventory on Property Zoned R-1:8. **Located at 55 Ellenwood Avenue.** APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Appellant: Vishal Jain. Project Planner: Sean Mullin.

RECOMMENDATION:

Deny the appeal and uphold the Community Development Director decision to deny the removal of a pre-1941 property from the Historic Resources Inventory (HRI) on property zoned R-1:8, located at 55 Ellenwood Avenue.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8; Single Family Residential
Applicable Plans & Standards: General Plan, Town Code, Residential Design Guidelines
Parcel Size: 21,000 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director and Town Attorney

CEQA:

The project is not subject to the California Environmental Quality Act pursuant to the adopted Guidelines for the Implementation of CEQA, Section 15061(b)(3): A project is exempt from CEQA when the activity is covered by the commonsense exemption that CEQA only applies to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question will have a significant effect on the environment, the activity is not subject to CEQA.

FINDINGS:

- As required to remove a pre-1941 property from the HRI.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the south side of Ellenwood Avenue, just south of the intersection of Ellenwood Avenue and Alexander Avenue (Exhibit 1). The property is currently developed with a single-family residence. The Santa Clara County Assessor's Database lists a construction date for the residence of 1918. The 1990 Anne Bloomfield Survey does not provide a construction date estimate, but provides a preliminary rating of "N-new, probably built since 1950" (Exhibit 3, Attachment 1). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the residence as having a consistent footprint through 1956 (Exhibit 3, Attachment 2).

On October 23, 2024, the Historic Preservation Committee (HPC) considered a request to remove the subject property from the HRI due to a lack of historic significance and loss of integrity resulting from previous modifications and additions (Exhibits 3 and 4). The HPC received the staff report and desk item, held a public hearing, and discussed the request. The HPC voted four to zero with one member recused to forward a recommendation of denial to the Community Development Director. In their motion, the HPC noted that the residence still represents a time and place, and that finding number 3 could not be made (Exhibit 5). The request was denied by the Community Development Director on October 25, 2024 (Exhibit 6). The audio from this meeting is available on the Town's website at <https://logatos-ca.municodemeetings.com/bc-hpc/page/historic-preservation-committee-6>.

On October 31, 2024, the property owner appealed the decision of the Community Development Director to the Planning Commission (Exhibit 7).

The Town Code provides that decisions of the Community Development Director may be appealed to the Planning Commission by any interested party as defined by Section 29.10.020

within 10 days of the decision. For residential projects an interested person is defined as, “any person or persons or entity or entities who own property or reside within one thousand (1,000) feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.” The appellant meets the requirements.

Pursuant to Town Code Section 29.20.265, the appeal shall be set for the first regular meeting of the Planning Commission in which the business of Planning Commission will permit, more than five (5) days after the date of filing the appeal. The Planning Commission may hear the matter anew and render a new decision on the matter.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the south side of Ellenwood Avenue, just south of the intersection of Ellenwood Avenue and Alexander Avenue (Exhibit 1). The property is currently developed with a single-family residence. All the surrounding properties are zoned R-1:8 and developed with single-family residences.

B. Project Summary

The property owner is appealing the Community Development Director’s decision to deny a request to remove the pre-1941 property from the HRI.

DISCUSSION:

A. HPC Authority and Applicability

Town Code Section 29.10.020 defines “Historic Structure” as “any primary structure constructed prior to 1941, unless the deciding body has determined that the structure has no historic significance and should not be included in the Town Historic Resources Inventory.” The Santa Clara County Assessor’s Database lists a construction date of 1918 for the residence; therefore, the subject property is included on the HRI.

Pursuant to Town Code Section 29.80.215, the purpose of the Town’s Historic Preservation Ordinance states:

It is hereby found that structures, sites, and areas of special character or special historical, architectural, or aesthetic interest or value have been and continue to be unnecessarily destroyed or impaired, despite the feasibility of preserving them. It is further found that the public health, safety, and welfare require prevention of needless destruction and impairment, and promotion of the economic utilization and discouragement of the decay and desuetude of such structures, sites, and areas.

The purpose of historic preservation is to promote the health, safety, and general welfare of the public through:

1. The protection, enhancement, perpetuation, and use of structures, sites, and areas that are reminders of past eras, events, and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.
2. The development and maintenance of appropriate settings and environments for such structures.
3. The enhancement of property values, the stabilization of neighborhoods and areas of the Town, the increase of economic and financial benefits to the Town and its inhabitants, and the promotion of tourist trade and interest.
4. The enrichment of human life in its educational and cultural dimensions by serving aesthetic as well as material needs and fostering knowledge of the living heritage of the past.

Residential Design Guidelines Section 4.6 speaks specifically to pre-1941 structures and provides that pre-1941 structures have the potential to be historically significant, but not all will necessarily be classified as historic. Applications for removal, remodeling, or additions to structures constructed prior to 1941 will be reviewed by staff to determine their historic merit and contribution to the surrounding neighborhood. An initial evaluation will be made utilizing the 1991 Anne Bloomfield Historical Resources Survey Project for Los Gatos. Staff may, at the discretion of the Community Development Director, refer a project application to the HPC for its input and recommendations.

When considering a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit, the HPC considers the following findings in their recommendation to the Community Development Director:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period, or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

B. Historic Preservation Committee

On October 23, 2024, the HPC received the staff report and desk item, held a public hearing, and discussed the request (Exhibits 3 and 4). Following discussion, the HPC voted four to

zero with one member recused to forward a recommendation of denial to the Community Development Director. In their motion, the HPC noted that the residence still represents a time and place, and that finding number 3 could not be made (Exhibit 5). On October 25, 2024, the Community Development Director denied the request for removal (Exhibit 6).

C. Appeal to Planning Commission

The decision of the Community Development Director was appealed on October 31, 2024, by one of the property owners, Vishal Jain (Exhibit 7). In their reasons for why the appeal should be granted provided on the appeal form, the appellant notes that major remodels have eliminated the historic integrity of the residence and that the HPC review process was rushed and potentially biased. Additional information supporting the appellant's appeal was provided by their architect (Exhibit 8). This information addresses each of the five findings required for removing a property from the HRI. Below are the points raised by the appellant in Exhibit 7, followed by staff's response in *italics*.

1. Major remodels have eliminated the historic integrity of the residence.

The October 23, 2024, HPC staff report summarizes Town permit records for the subject property (Exhibit 3). The staff report notes that two significant additions were constructed in 1994 and 1998, and references an exhibit prepared by staff showing the approximate footprint of the residence prior to 1994 and the demolition impacts incurred to the residence resulting from the additions to the residence (Exhibit 3, Attachment 3). The staff report also notes that the Bloomfield Survey conducted in 1990 rating the residence as "new" occurred prior to completion of the 1994 and 1998 additions. Following review of the staff report and discussion of the request, the HPC was unable to make finding number 3 for removal and recommended denial of the request to the Community Development Director (Exhibits 5 and 6).

Exhibit 8 prepared by the property owner's architect and further discussed below, provides additional exhibits demonstrating the impact that the 1994 and 1998 additions had on the integrity of the original residence. Additionally, this exhibit provides a rough calculation of the demolition incurred through the two additions that concludes the residence experienced a technical demolition under the Town's definition as a result of the additions. These additional exhibits and calculation were not available during the October 23, 2024, HPC review.

2. The HPC review was rushed and potentially biased.

Staff has no comment on the claim that the HPC review was rushed and potentially biased raised by the appellant. The audio from the October 23, 2024 meeting is available on the Town's website at <https://losgatos-ca.municodemeetings.com/bc-hpc/page/historic-preservation-committee-6>.

The supplemental information provided by the property owner's architect address each of the five findings required for removal of a residence and provides exhibits and statements concluding that all the findings for removal can be made (Exhibit 8). Below are the five required findings followed by a summary of the appellant's justification for each finding.

1. The structure is not associated with events that have made a significant contribution to the Town.
 - Extensive research at the Los Gatos Public Library revealed no mention of this property in historical newspapers, articles, notable real estate listings, or public records. The absence of such documentation strongly suggests the property lacks significant historical importance.
 - Research found no evidence linking this property to any historical significance.
2. No Significant persons are associated with the site.
 - The appellant's exhibit provides a list of people associated with 55 Ellenwood and concludes that no persons significant to the Town are associated with the site.
3. There are no distinctive characteristics of type, period, or method of construction or representation of work of a master.
 - The Anne Bloomfield Survey documents the home, built in the 1950s, received preliminary rating of "N", due to major renovations by 1989. No distinctive architectural features were identified, and no construction changes are recorded in city archives through 1994. This undermines its historic integrity and diminishes its eligibility for historic designation.
 - Windows and other features reflect a nonhistoric typology.
4. The structure does not yield information to Town history.
 - Extensive research at the Los Gatos Public Library revealed no mention of this property in historical newspapers, articles, notable real estate listings, or public records. The absence of such documentation strongly suggests the property lacks significant historical importance.
 - Research found no evidence linking this property to any historical significance.

5. The integrity has been compromised such that the structure no longer has the potential to convey significance.
 - The exhibits provided by the applicant demonstrate the impact that the 1994 and 1998 additions had on the integrity of the original residence. Through a rough calculation of the demolition incurred through the two additions, the appellant concludes the residence experienced a technical demolition under the Town's definition.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. Public comments received by 11:00 am, January 3, 2025, are included as Exhibit 9.

ENVIRONMENTAL REVIEW:

The project is not subject to the California Environmental Quality Act pursuant to the adopted Guidelines for the Implementation of CEQA, Section 15061(b)(3): A project is exempt from CEQA when the activity is covered by the commonsense exemption that CEQA only applies to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question will have a significant effect on the environment, the activity is not subject to CEQA.

CONCLUSION:

A. Summary

The property owner is appealing the Community Development Director's decision to deny a request to remove the pre-1941 property from the HRI.

B. Recommendation

For reasons stated in this report, which include the HPC not being able to make finding #3 in their recommendation, it is recommended that the Planning Commission deny the appeal and uphold the decision of the Community Development Director to deny the removal of the presumptive historic property (pre-1941) from the HRI.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and remove the subject property from the HRI, making the findings provided in Exhibit 2; or
3. Remand the appeal to the HPC with specific direction.

PAGE 8 OF 8

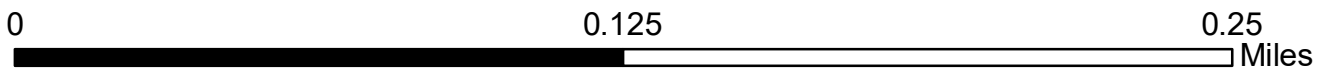
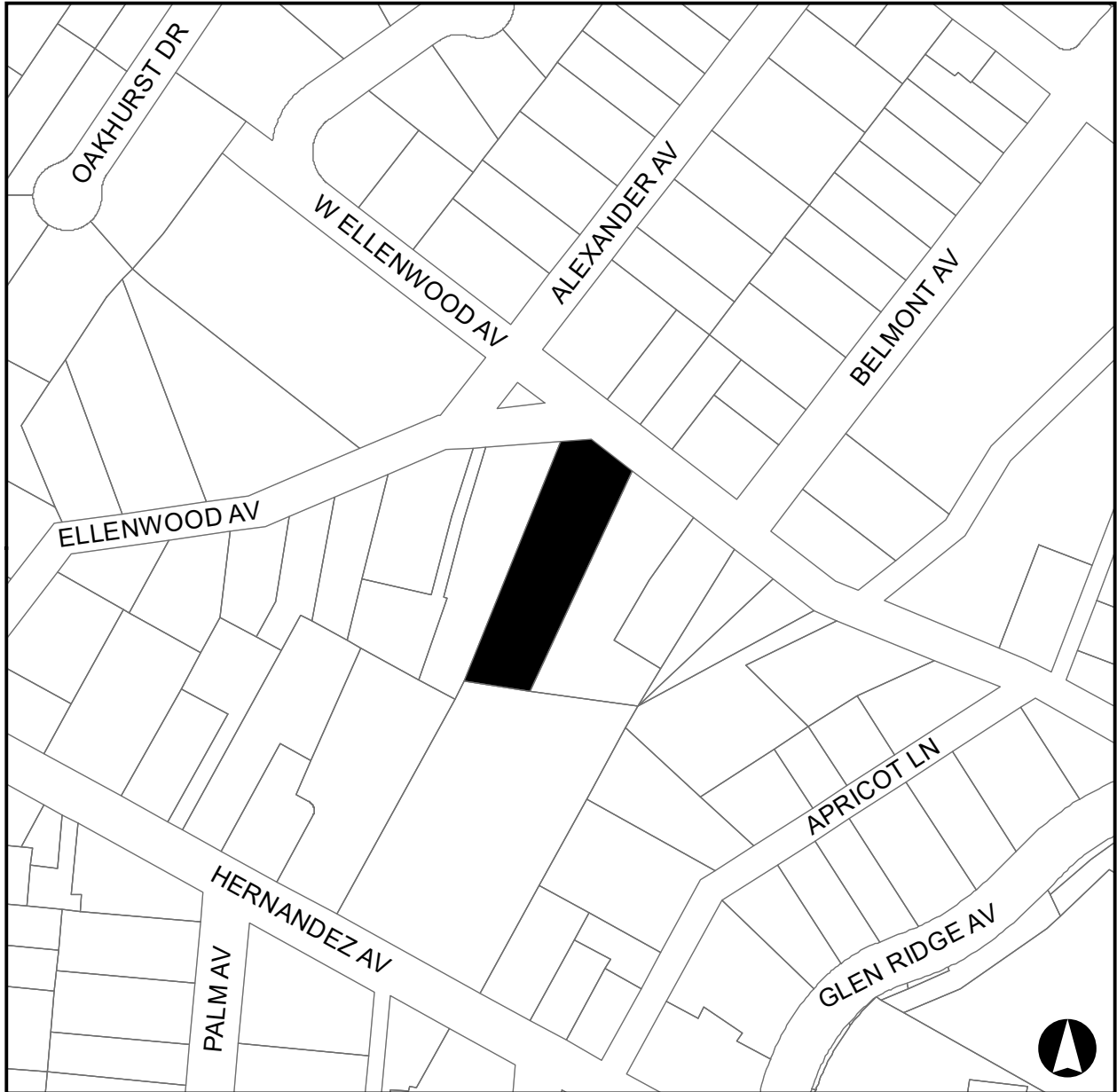
SUBJECT: 55 Ellenwood Avenue/Appeal of PHST-24-020

DATE: January 3, 2025

EXHIBITS:

1. Location Map
2. Required Findings
3. Historic Preservation Committee Staff Report and Attachments, October 23, 2024
4. Historic Preservation Committee Desk Item Report and Attachments, October 23, 2024
5. Historic Preservation Committee Meeting Minutes for October 23, 2024
6. Historic Preservation Committee Action Letter, October 23, 2024
7. Appeal of the Community Development Director, Received October 31, 2024
8. Supplemental Information Provided by Applicant's Architect
9. Public Comment Received by 11:00 am, Friday, January 3, 2025

55 Ellenwood Avenue



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PLANNING COMMISSION – January 8, 2025
REQUIRED FINDINGS FOR:

55 Ellenwood Avenue
Request for Review PHST-24-020

Consider an Appeal of a Community Development Director Decision to Deny a Request to Remove a Pre-1941 Property from the Historic Resources Inventory on Property Zoned R-1:8. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3).

Property Owner: Pooja Goel
Applicant: Melina Padilla
Appellant: Vishal Jain
Project Planner: Sean Mullin.

FINDINGS

Required findings to determine that a pre-1941 structure has no significant or architectural merit:

- As required for a determination that a pre-1941 primary structure has no historic significance or architectural merit:
 1. The structure is not associated with events that have made a significant contribution to the Town;
 2. No Significant persons are associated with the site;
 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
 4. The structure does not yield information to Town history; or
 5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/23/2024

ITEM NO: 7

DATE: October 18, 2024
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 55 Ellenwood Avenue.** APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:8 located at 55 Ellenwood Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1918 per County Assessor
2. Town of Los Gatos Historic Status Code: N – New (probably built since 1950)
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The applicant is requesting approval to remove the pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1918. The 1990 Anne Bloomfield Survey does not provide a construction date estimate, but provides a preliminary rating of "new, probably built since 1950" (Attachment 1). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the residence as having a consistent footprint through 1956 (Attachment 2).

PREPARED BY: Sean Mullin, AICP
Planning Manager

DISCUSSION (continued):

A review of Town records provides the following:

- 1958 – Building Permit – scope unknown;
- 1973 – Building Permit to enclose part of an existing deck;
- 1994 – Building Permit for construction of a 1,400-square foot addition to the existing 1,589-square foot home for a new primary bedroom suite; and
- 1998 – Approval of a Minor Residential Development application for a new second-story addition and subsequent Building Permit for the addition, which included a new attached garage.

Based on the development plans contained in Town records, staff prepared an exhibit showing the approximate footprint of the residence prior to 1994 and the demolition impacts incurred to the residence resulting from the 1994 and 1998 additions to the residence (Attachment 3). Staff also notes that the Bloomfield Survey conducted in 1990 rating the residence as “new” occurred prior to completion of the 1994 and 1998 additions.

The applicant provided an informational packet with their application, which includes a summary of the history of the residence, a Letter of Justification, and pictures of the residence (Attachment 4). Based on the research provided, the applicant believes that the required findings for removal from the Historic Resources Inventory can be made for this property as the residence is not in its original condition and there is nothing noted about the property that is significant to the Town’s history.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, a recommendation of approval of the request to remove the property from the Historic Resources Inventory would be forwarded to the Community Development Director. Once approved by the Director, any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

FINDINGS (continued):

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Impact of Additions Exhibit
4. Applicant's Submittal Packet

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ND

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

1055

File address 55 Ellenwood

PARCEL MAP INFORMATION

Parcel # 510-19-010 Lot size: _____ front ft. x _____ ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other

Location: N S E W side of _____ St Ave Other

distance to cross st: _____ ft. N S E W from _____

at NE NW SE SW corner of _____

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name _____ Old Block # _____ Old lot # _____

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating N Estimated age _____ Style _____ # stories _____

Alterations _____

Other _____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8911 Effective date 12-87

APN 510-19-010	ADDRESS 55 ELLENWOOD	AV LG 95030	70	7	7	POOL	
SINGLE FAMILY	TRA 3-001	70 SQ. FEET	1,820	TOT ROOMS	DINING ROOM	GARAGE S/F	320
USE CODE	01	300 ADDN S/F		BEDROOMS	FAMILY ROOM	FIN BSMT	
YR BUILT	18	.48 NO. FLOORS	1	BATHS	UTILITY RM		

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date _____

County Inventory 1979 _____

Town of Los Gatos: Designation _____ Recognition _____

District Name _____

Previous Survey _____

PHOTOS: Roll/frame # 028/8 Date 5 Feb 90

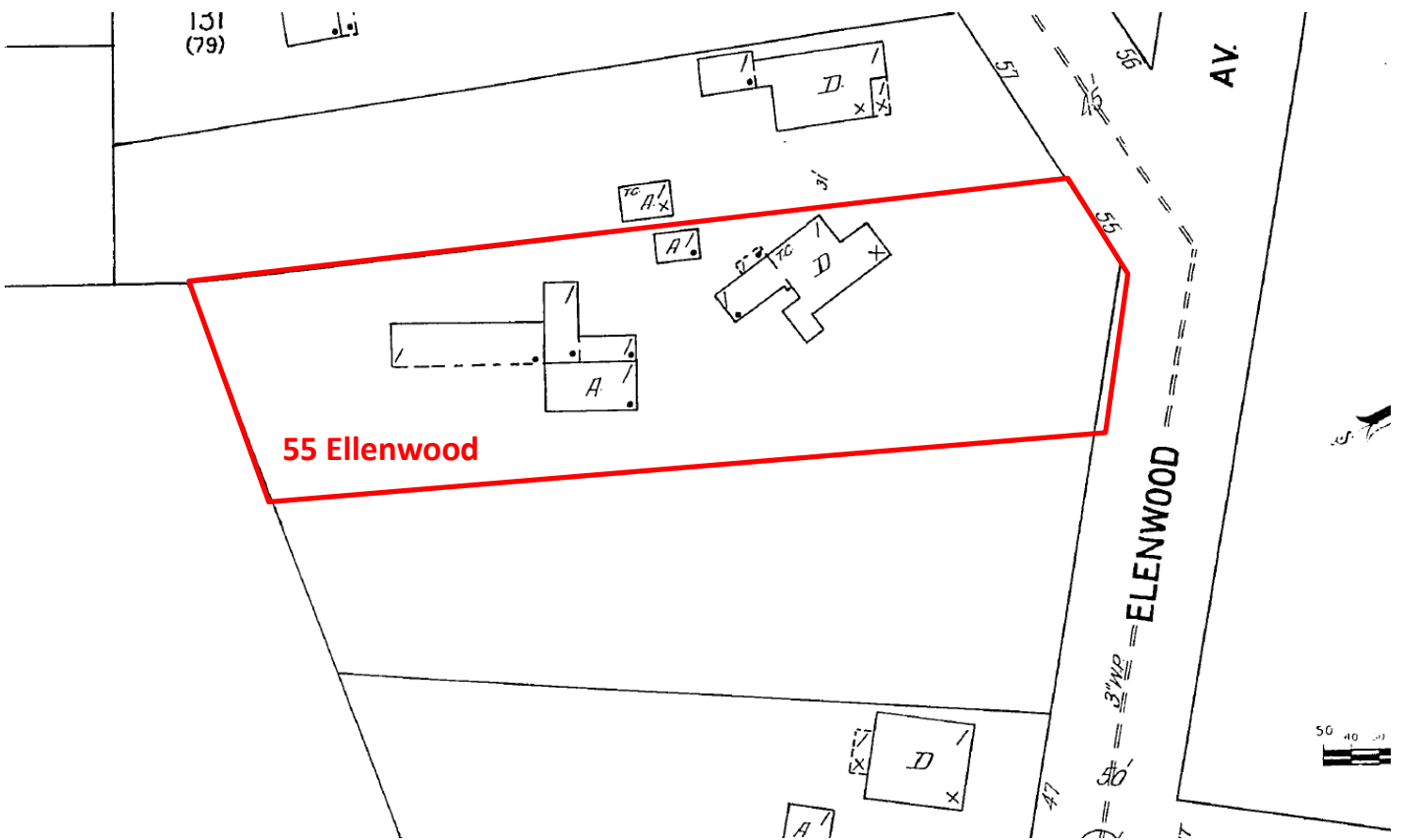


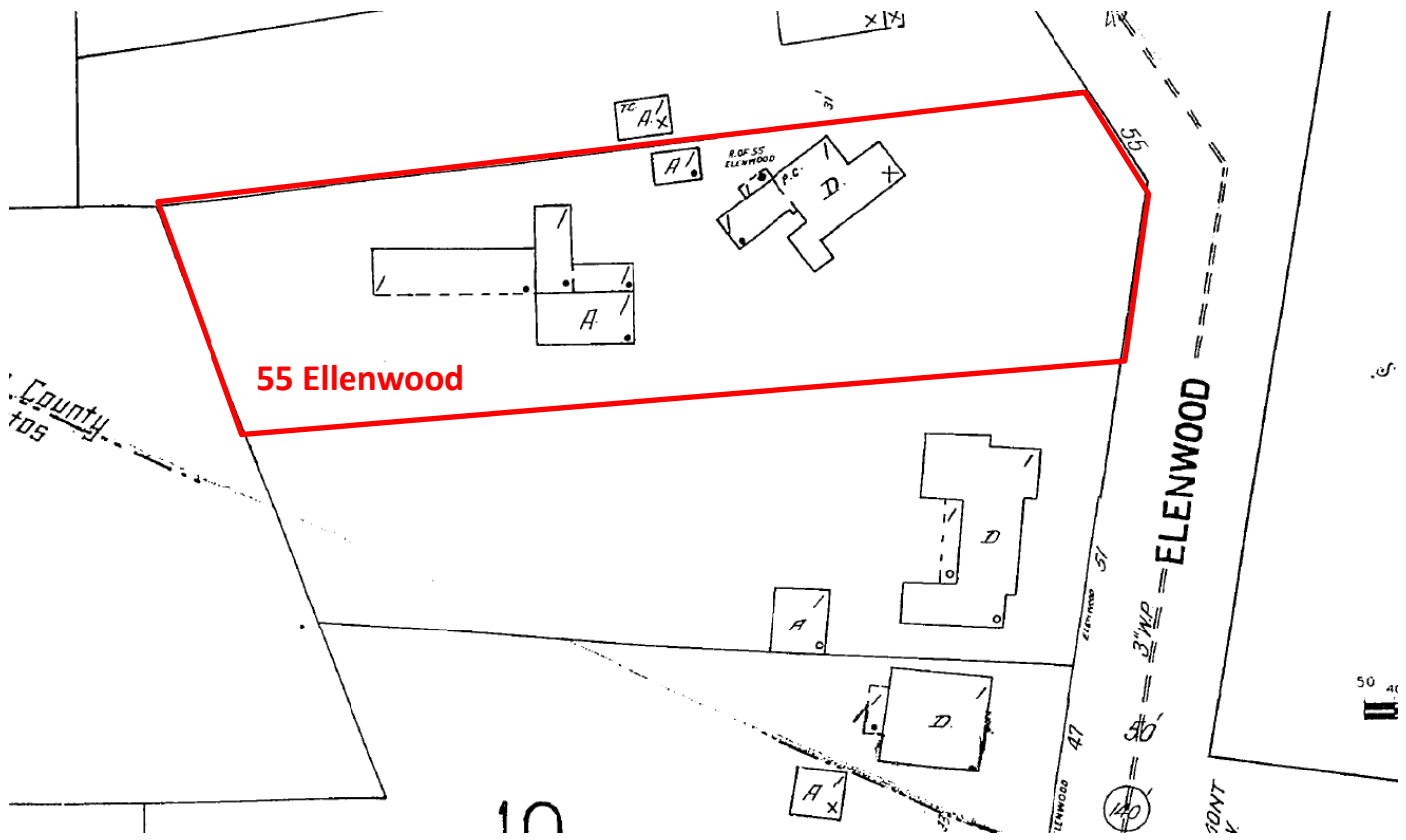
POSTED

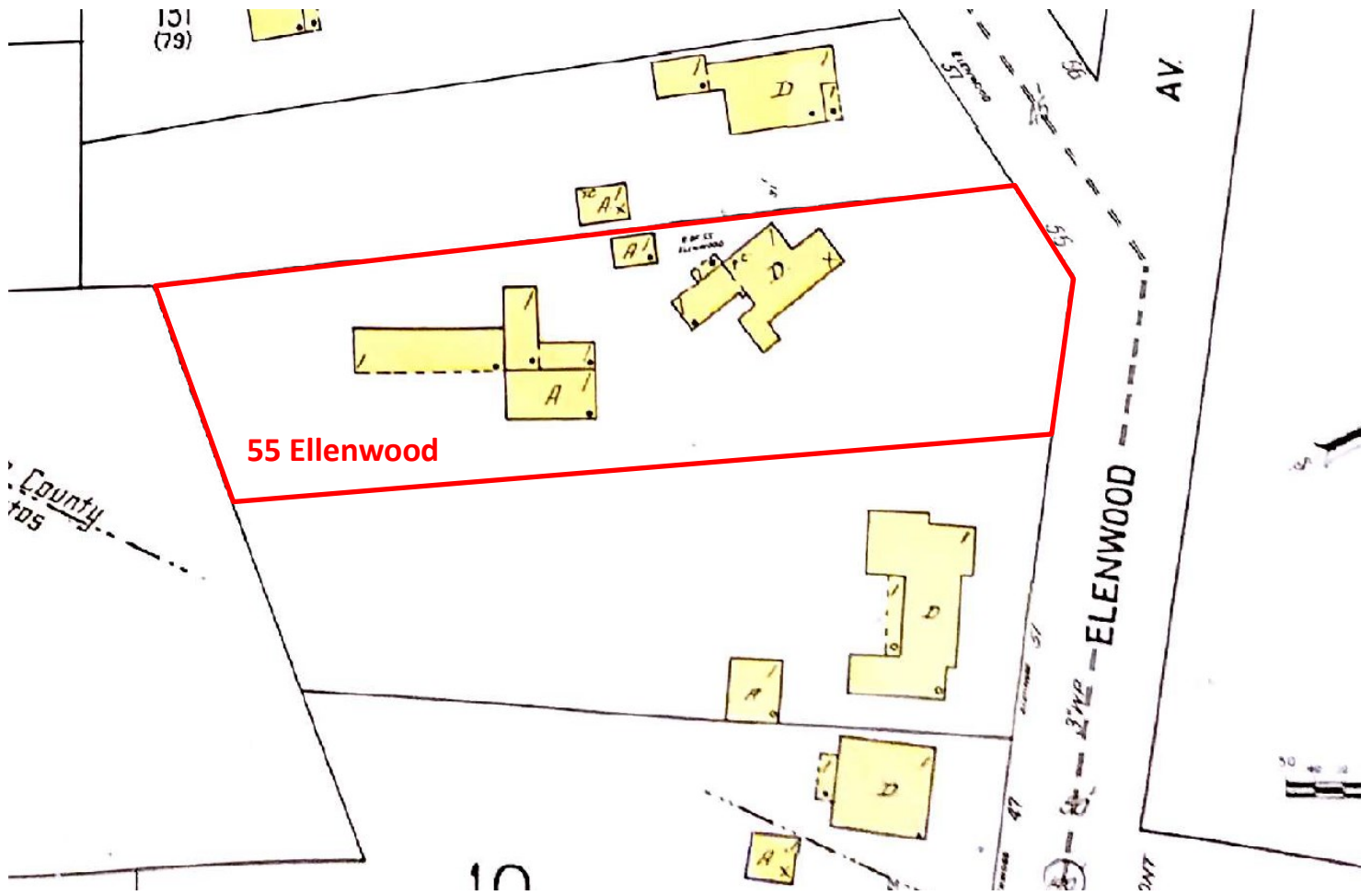
55 Ellenwood
EVALUATION. Date 1950s?
Contributor _____
District Non-contrib
ent: 7
Page 243

Alterations: Moved _____
Raised _____ Porch encl _____
Addition _____ Siding _____
Windows _____ Condition _____
Designer: a _____ b _____ d _____

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101
(79)

55 Ellenwood

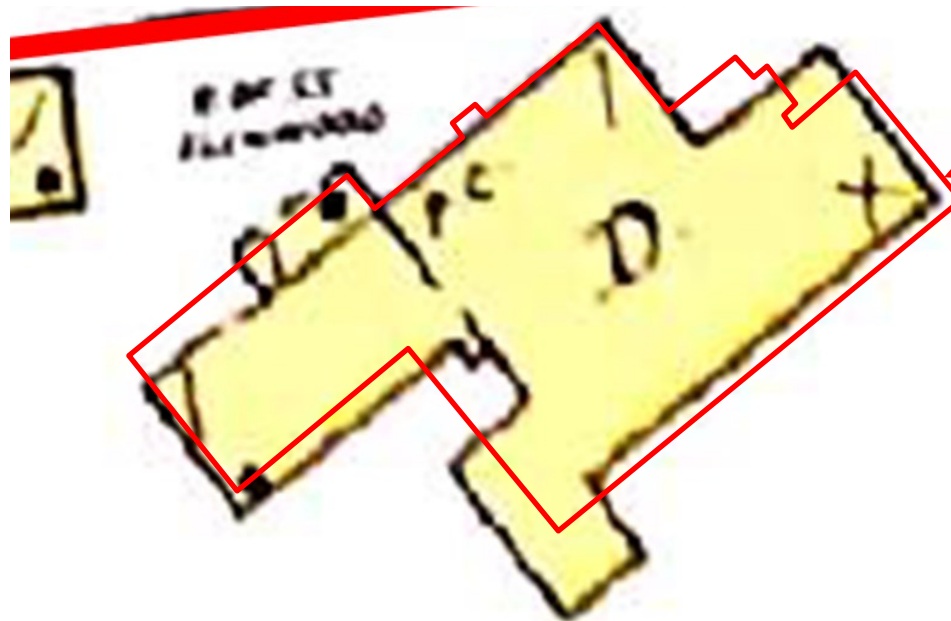
AV.

ELENWOOD

County

10

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Approximate outline of residence as reflected in 1994 Building Permit

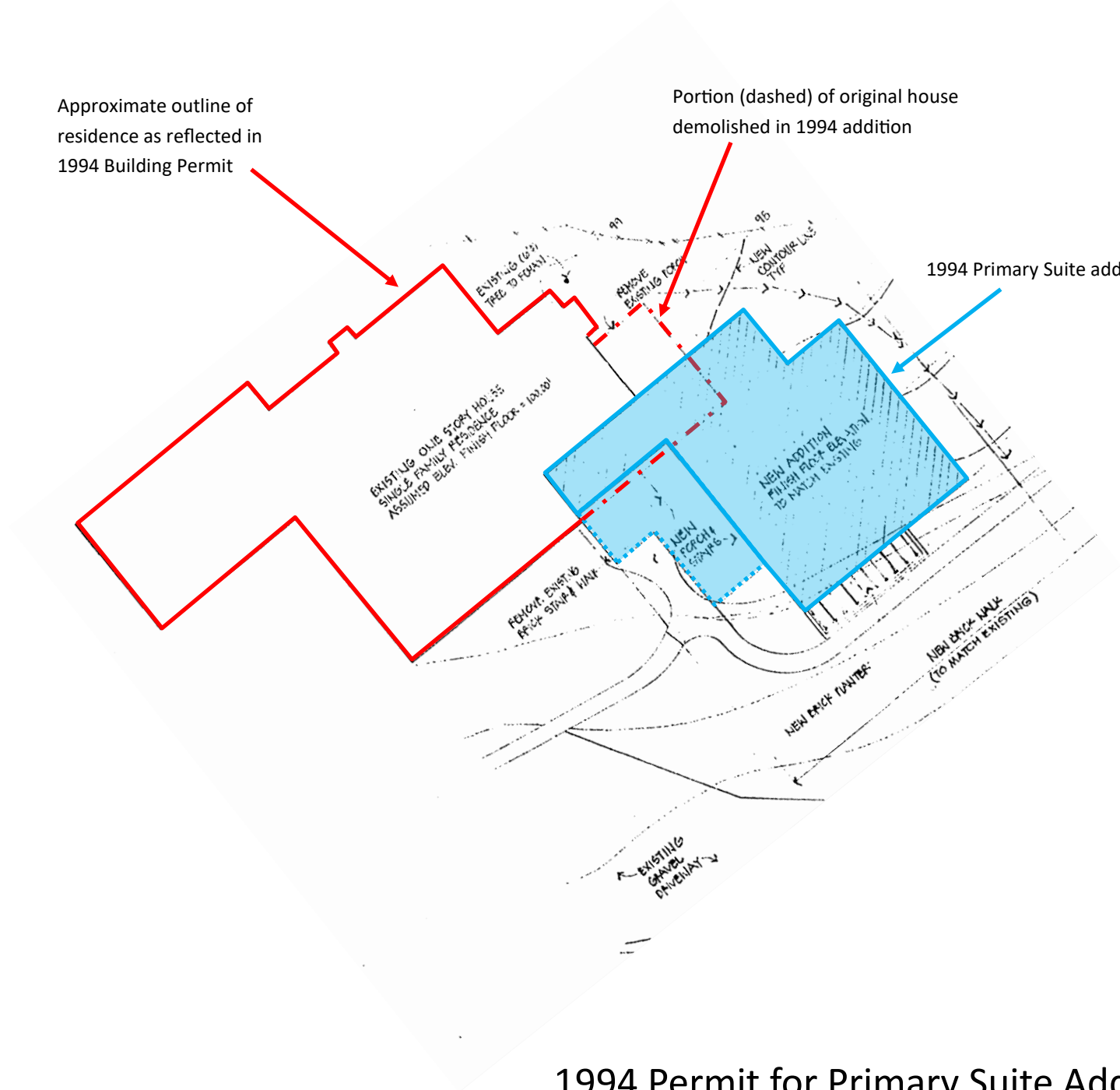
1956 Sanborn Map

ATTACHMENT 3

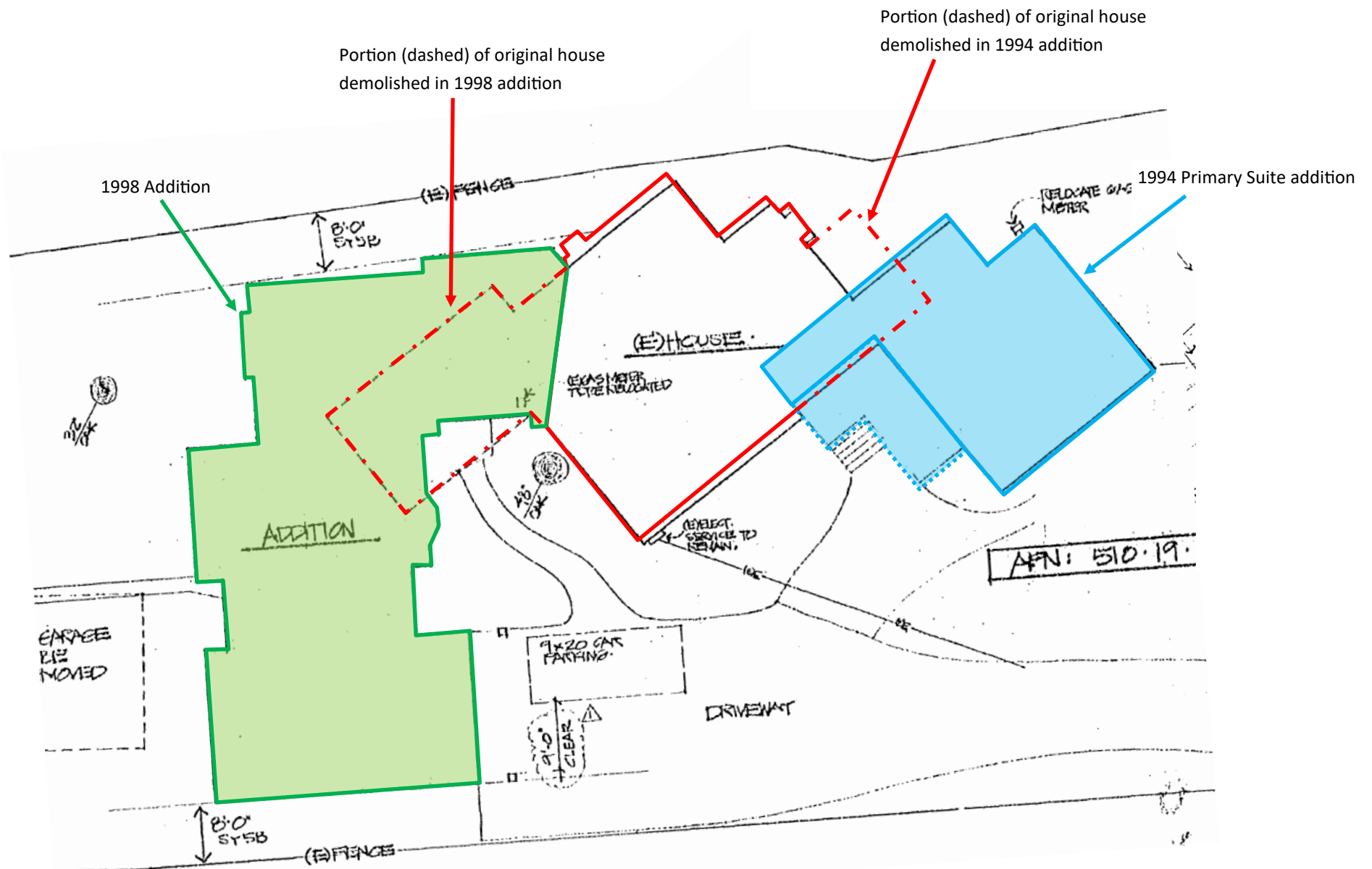
Approximate outline of residence as reflected in 1994 Building Permit

Portion (dashed) of original house demolished in 1994 addition

1994 Primary Suite addition



1994 Permit for Primary Suite Addition



1998 Permit for Addition

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DATE: October 25, 2024
TO: Historic Preservation Committee
SUBJECT: Consider a Request to Remove a Property from the Historic Resources Inventory for Property Zoned R-1:8. Located at 55 Ellenwood Ave. **APN** :510-19-011
PROPERTY OWNER/APPLICANT: [REDACTED]
PROJECT PLANNER: Sean Mullin, AICP Senior Planner Community Development Department

RECOMMENDATION:

Consider a request to remove a property from the Historic Resources Inventory for property zoned R-1:8 located at 55 Ellenwood Avenue, Los Gatos, California 95030-5221

Property Location Information

APN: 510-19-011
Site Address: 51 ELLENWOOD AV LOS GATOS CA 95030-5221
Recorded Size (Assessor Database): 25,136 sq. ft. / 0.6 acres
TRA: 03000

Planning and Development Information

APN:51019011 is incorporated (LOS GATOS).
General Plan: USA
USA: Los Gatos (100%)
SOI: Los Gatos
Zoning: INCORPORATED
Supervisor District: 5
Approved Building Site: Research needed to evaluate parcel as a Building Site

Special Area Policies and Information

- Los Gatos Hillside Specific Plan Area: IN
 - Fire Responsibility Area: LRA (100%)
 - Fire Protection District: Santa Clara County Central Fire Protection District
 - Geohazard: County landslide hazard zone
 - Historic Parcel: NO
 - FEMA Flood Zone: X (100%)
 - Sanitary District: West Valley Sanitation District
 - Watershed: San Francisco Bay
 - Rain isohyet: 32 inches
- Nearest named creek: ALMENDRA CREEK (630 feet)
Nearest named lake: Vasona Reservoir (5713 feet)

ATTACHMENTS:

1. Applicant letter
2. Picture from Los Gatos Library records
3. List of previous owner from Polk's Directories and County records
4. Anne Bloomfield's survey report
5. Property pictures

To whom it may concern,

I am writing to request removing the property at 55 Ellenwood Avenue, Los Gatos from the historic listing. As I investigate, this property has the following information:

1. After conducting extensive research at Los Gatos Public Library, we were unable to find any mention of this property in historical newspapers, any articles, any important real estate listings, or public records. If the building had significant historical importance, we believe it would have been documented somewhere. Please see Exhibit 3 for reference.
2. During our research at the library, we reviewed several documents, including Project Bellringer II, which lists homes built before 1900, and a paper on the Los Gatos Historic Homes Tours. Additionally, we searched the Historic Property Research Collection. None of these sources, however, made any mention of 55 Ellenwood Avenue, suggesting that this property may not be recognized as historically significant in these contexts. Please see Exhibit 1 and 2 for reference.
3. Upon researching in Bookcase# 11 in 1941 tax assessment survey, no information regarding 55 Ellenwood Avenue was found, indicating that the property may not have been recorded during that period. Please see Exhibit 4 for reference.
4. In Anne Bloomfield's 1989 survey, she indicated that 55 Ellenwood Avenue was likely constructed around 1950. Additionally, she assigned a preliminary rating of "N". This indicates that the property underwent major changes between the time it was originally constructed and 1989 (when survey was conducted) which led the surveyor to indicate the year of construction as 1950. None of the construction related changes are recorded in city archives from the time it was built until 1994. Please see Exhibit 5 for reference.
5. We have reviewed the Sanborn maps from 1928 and 1944, which indicate that the house's construction remained largely unchanged during that time. However, between 1944 and 1998, this property underwent several major remodels, revisions, and additions that led to technical demolitions, including massive changes to the front elevation of the property during the major revisions, remodels and extensions done during 1994 and 1998. As a result, much of the building's original historical character has been lost. Please see Exhibit 6, 7, 8 and 9 for reference.
6. According to our research from Polk's Directories and County records, these are the list of people who resided in this house.
 1. 1934-1945 Stanley A R and Flowers C H
 2. Aug 13,1968- Dec 24,1986: First Syndey and Roberts Dunton owned the property, in middle property defaulted to bank (First National Bank and Palo Alto Financial Corporation) before owned by Leigh & Merry Belden)
 3. Dec 24, 1986: Leigh & Merry Belden sold it to Andris Holms
 4. March 24,1992: Andris Holms transferred the property to Andris and Leslie as Community Property
 5. Dec 20, 2002: Property was transferred from Community Property to Andris and Leslie's Trust
 6. April 26, 2012: Property was transferred from Trust to Leslie Holms (Survivor)+ Trust
 7. June 18, 2019: Property was transferred from Leslie Ann Holms and Trust to "The [REDACTED] Family Revocable Trust with [REDACTED] as Trustees--> Upon Looking all records, we were not able to find evidence of any significant architectural entity or individual associates with this property.
7. We are encountering several ongoing challenges with this property. The doors frequently stick, making them difficult to open, and the inadequate drainage system results in constant maintenance costs every few months. Neighbors have also expressed concerns about the building's appearance and overall condition reducing the appeal of the neighborhood and has been brought up in every meetup. Additionally, the outdated roof design not only prevents us from installing solar panels but also causes frequent issues with the shingles, which break periodically and require repairs every few months. This has led to water leakage, causing further damage to various parts of the house. The skylights are very old, with seals that no longer function properly, leading to water leaks during rainy weather. Please see pictures attached.
8. The exterior shingles of the house are also severely aged, contributing to water seepage around the window trims. This has caused significant window damage, making them difficult to open and reducing ventilation. Despite multiple cleanings, the growth of algae and discoloration on the exterior persists.
9. Furthermore, the doors leading to both the front and backyard do not open smoothly, and when they do, they make noise and do not close properly, especially during rainy weather. The wooden frames around these doors are also visibly rotted. We have attached pictures for reference.
10. In addition, plumbing issues are frequent, with clogged pipes occurring about every few weeks due to the old plumbing system. As a result, we are limited to using only one of the three bathrooms regularly.
11. The house has also severe ant infestation causing unhygienic conditions in the kitchen area.

We as the current owners of 55 Ellenwood Ave, Los Gatos, CA for the last 6 years humbly request to please review the facts and help consider removing the property from historic resources inventory as major changes in 1994 and 1998 have consumed the historical integrity of the property.

Museums of Los Gatos Historic Homes Tours

Address	Year(s) Appeared
237 Almendra Ave.	2009
75 Alpine Ave.	1991
77 Alpine Ave.	2001
79 Alpine Ave.	2001
31 Ashler	2013
16158 Bachman Ave.	2017
212 Bean Ave.	2002
212 Bella Vista Ave.	2000
37 Broadway	2012
42 Broadway	2008
44 Broadway	2003
45 Broadway	1991, 2012
47 Broadway	1994, 1999, 2012
68 Broadway	2001
72 Broadway	2001
15 Chestnut Ave.	1999
16 Chestnut Ave.	1995, 2009
40 Chestnut Ave.	2009
54 Chestnut Ave.	1999, 2004
21 Clifton Ave.	2008
59 College Ave.	2015
100 Creffield Heights	2011
140 Creffield Heights	2011
16660 Cypress Wy.	1994, 2015
106 E. Main St. (NUMU)	2017
129 Edelen Ave.	1998, 2013
130 Edelen Ave.	2003, 2013
15 Ellenwood Ave.	2001
51 Ellenwood Ave.	2008
60 Ellenwood Ave.	2008
61 Ellenwood Ave.	2005
66 Ellenwood Ave.	2008
18537 Eucalyptus Dr.	2000
90 Fairview	1994
19 Glen Ridge Ave.	1993
20 Glen Ridge Ave.	2007
22 Glen Ridge Ave.	1995, 2006

Los Gatos Project Billinger 1976-1987

V Melvin, Gloria Basuini^{no}
16351 Almaden/Los Gatos Road (p-1901)

Thomas, Ann Atkinson
75 Alpine (1887)

Spencer, Eleanor Anderson
256 Bachman (1880)

Thomas J., Mrs. Pashos
328 Bachman (1885)

Joseph M., Mrs. Mayer
212 Bella Vista Avenue (1881)

Thomas R., Mrs. Conklin
316 Bella Vista Avenue (1891)

II Dan, Linda Sylvester
37 Broadway (1896)

Peter Carter
45 Broadway (1886)

Raymond Macabee
62 Broadway (1885)

Daniel, Mrs. Krag
64 Broadway (1893)

Michael, Kim Wasserman
72 Broadway (1887)

Patrick, Mrs. Boner
81 Broadway (1893)

Mrs. Bruce Berryman
89 Broadway (1891)

Lynn, Pam Brandhorst
93 Broadway (1887)

Bernard, Mrs. La Casse
107 Broadway (1891)

Mrs. Stanley Swanson
131 Broadway (p-1901)

Harold, Mrs. Partridge
198 Broadway (p-1901)

II Richard, Marlene Wright
42 Central Avenue (1890)

John, Nora Hellingsen
64 Central Avenue (1895)

Mrs. Niall Tabor
16 Chestnut (1895)

II Patrick O'Laughlin, Maggie Kilkenny
54 Chestnut (1894)

Robert, Mrs. Brouwer
56 Cleland (1896)

Robert H. Schumacher
90 Cleland (1886)

V Gary, Susan Griffiths
120 Cleland (1891)

Jack B., Mrs. Wytman
126 Cleland (1886)

George, Mitzl Baltes
39 College (1891)

James, Mrs. Farwell
113 Edelen (1889)

II Galen, Marjorie Muttersbach
118 Edelen (p-1901)

Mrs. Eva Small
121 Edelen (p-1901)

II Mrs. Jeanne, Miss Jacqui Wilson
239 Edelen (1892)

Elmer, Mrs. Rhoads
255 Edelen (1900)

Gary, Lita Ruble
52 Fairview Plaza (1890)

Ronald, Marilyn Plescia
63 Fairview Plaza (1890)

Ms. Jane Hinchliffe
87 Fairview Plaza (1885)

II William, Maria Simon, Hoeft
16780 Farley Road (1887)

William, Mrs. Cotton
14 Glenridge (1895)

J. Philip DiNapoli
19 Glenridge (1885)

Gary, Marily Hart
20 Glenridge (1885)

Steven, Mrs. Sporleder
22 Glenridge (1885)

A.P., Mrs. Rodrigues
25 Glenridge (1898)

Andre, Jean Libante
33 Glenridge (1885)

Robert, Mrs. Brusca
216 Glenridge (1896)

Richard, Mrs. Kline
19 Hernandez (1895)

Gerald W. Clark
124 Hernandez (p-1900)

Gordon H., Lita Langlois
130 Hernandez (1895)

James, Annie Lawrie
145 Johnson (1891)

Tal, Marguerita Lloyd
200 Johnson (p-1901)

II Dan, Naidine Clark
202 Johnson (p-1901)

Anthony Olivas
301 Johnson (1895)

Robert W., Jeanette Allen
333 Johnson (1891)

As It Was – Dora Rankin, 1965

House Index

rough alphabetical by street name

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West Side of Jackson Street, just south of East Main Street – “The Erickson Home” – Page 20

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West side of Massol Avenue – “In Blackberry Heaven” – Page 18

Northwest Corner of North Santa Cruz Avenue and Bean Avenue – “The Mansion Duplex” – Page 17

9 Palm Avenue – “House of Tragedy” – Page 31

ND

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 55 Ellenwood

PARCEL MAP INFORMATION

Parcel # 55-29-210 Lot size: _____ front ft. x _____ ft. deep
Lot shape: Rectangle L Rectangle with small rear jog _____ Other _____
Location: N S E W side of _____ St. Ave. Other _____
distance to cross st: _____ ft. N S E W from _____
at NE NW SE SW corner of _____

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name _____ Old Block # _____ Old lot # _____

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating W Estimated age _____ Style _____ # stories _____

Alterations _____

Other _____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8711 Effective date 12 87

SEE 310-15-010 ADDRESS 15 ELLENWOOD 20 22 14 2000
SCHOOL DISTRICT 704 1500 1500 1500 1500 1500 1500 1500 1500 1500
OFF CODE 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000
15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000 15 0000

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

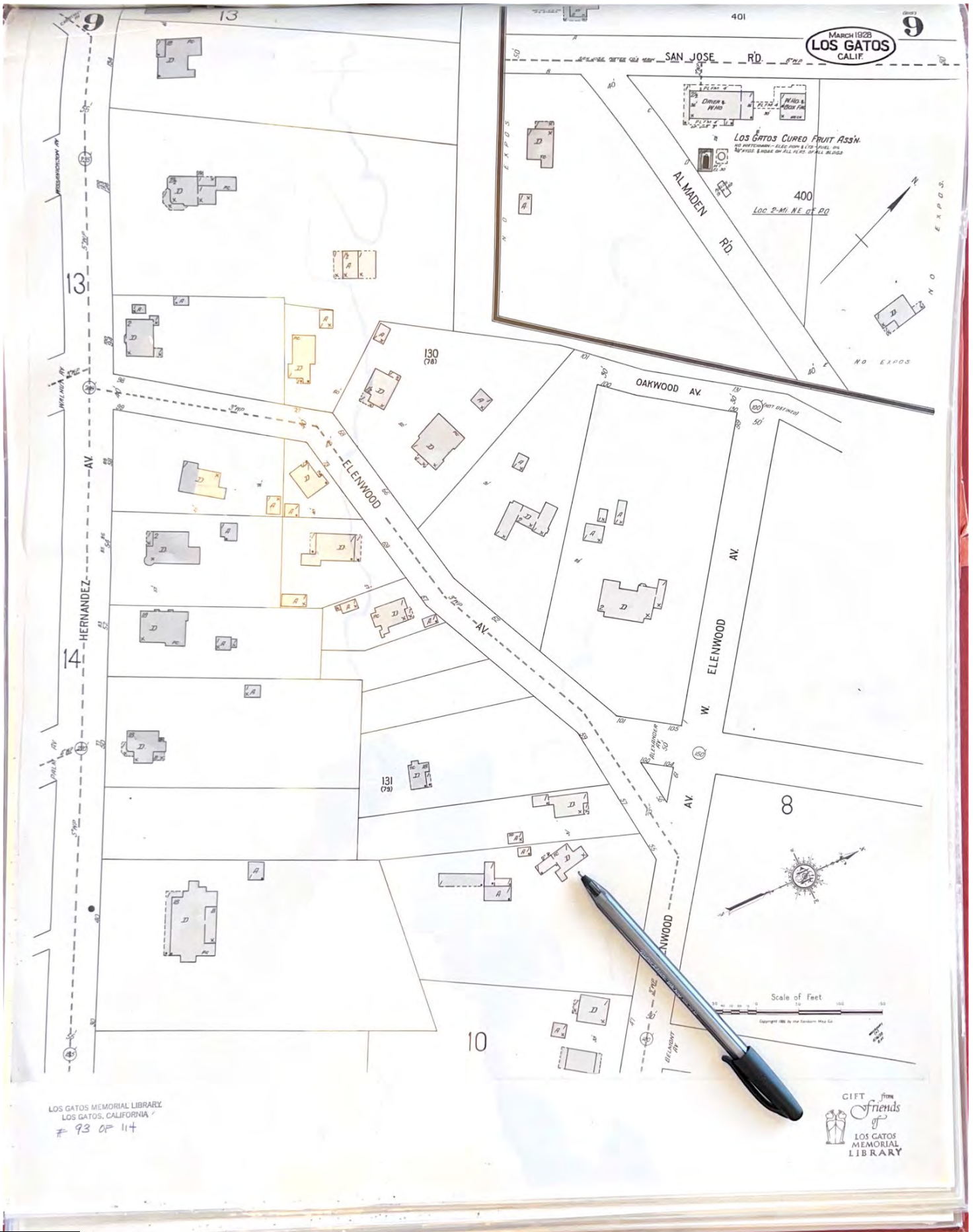
National Register listed date _____
County Inventory 1979 _____
Town of Los Gatos: Designation _____ Recognition _____
District Name _____
Previous Survey _____

PHOTOS: Roll/frame # _____ Date _____



55 Ellenwood
EVALUATION Date 1950
Contributor _____
District Non-contributor _____
Earliest known Owner Resident _____
Context(#): 7

Alterations: Moved _____
Raised Porch encl _____
Addition Siding _____
Windows Condition _____
Designer: a b d _____

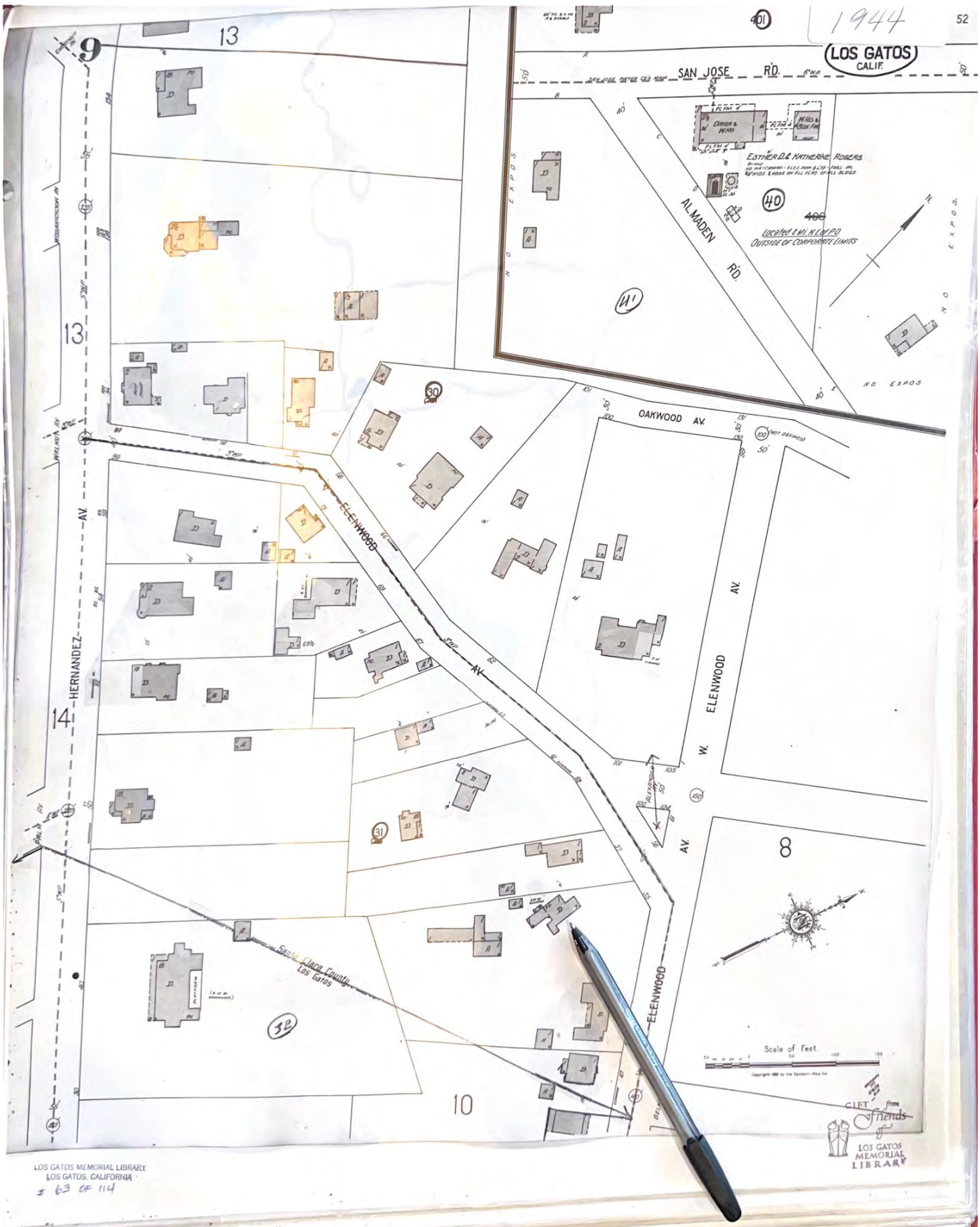


LOS GATOS MEMORIAL LIBRARY
 LOS GATOS, CALIFORNIA
 # 93 OF 114

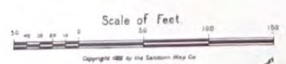
GIFT from
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1944

LOS GATOS CALIF.



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LOS GATOS, CALIFORNIA
63 OF 114



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Friends
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MEMORIAL
LIBRARY

TOPOGRAPHIC SURVEY

THE BOUNDARIES OF LAND DESCRIBED IN THE DEED FROM LESLIE ANN HOLMES TO USING, TAKING, FOLLOWS, TRUSTEE OF THE JOHN REUCKENBACH TRUST CONTROL LINE 2316 AND RECORDING BOOK 14743, PAGE 2210266, SANTA CLARA COUNTY RECORDS, APR 21, 1990, CONTAIN A TYPICAL 1:300 SCALE TOTAL LOT AREA = 23,028 SQ FT

APRIL 2023 SCALE 1"=30'

ELLENWOOD AVENUE
(55' WIDE)

LM 65

EXISTING HOUSE
55 ELLENWOOD AVENUE, LOS GATOS
APN 513 15 010

DEED 24210266

DEED 20609965

SYMBOL LEGEND

- STAKE ELEVATION
- PROPERTY POINT
- SAS W/ ELEV
- WREATH OR CONTROL BOX
- TORONTO DRAINAGE
- LOC. TEL. NUMBER
- WATER SERVICE CONNECTION
- COMMUNICATION BOX
- TRAIL FOOTPRINT
- 1' HIGH FLOOR ELEVATION
- RECORD OR APT. DATA, NO. 24210266
- RECORD OR APT. DATA, NO. 20609965

LINE LEGEND

- PROPERTY BOUNDARY
- FORMER FLOW LINE
- EXISTING FENCE
- EXISTING ROAD R/W
- MAJOR CENTERLINE LINE
- MINOR CENTERLINE LINE
- EDGE OF PAVEMENT / WALKWAY
- CENTERLINE OF ROAD R/W
- EDGE OF DRIVEWAY / ROAD SHOULDER
- LOW VEGETATION LINE
- RETAINING WALL
- AC UNIT

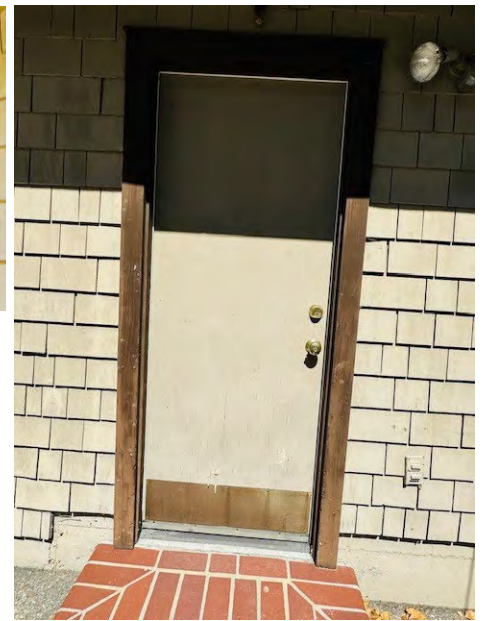
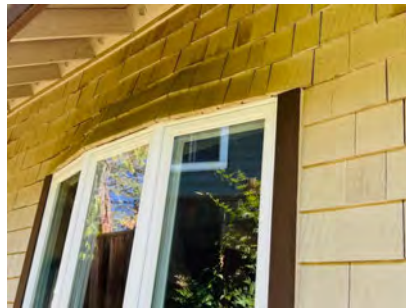
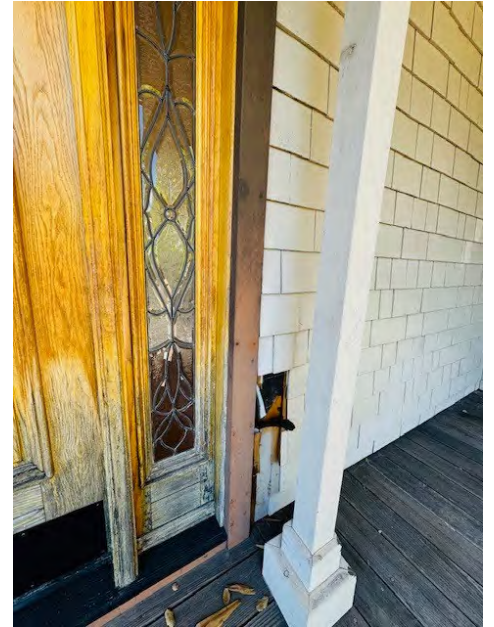
MAJO SURVEYING

1000 WEST 10TH AVENUE
SUITE 100
SAN JOSE, CALIFORNIA 95128

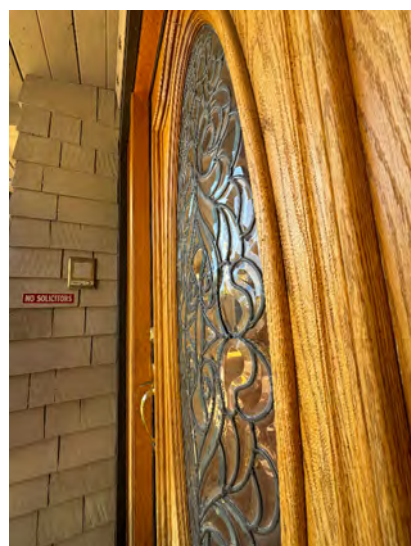
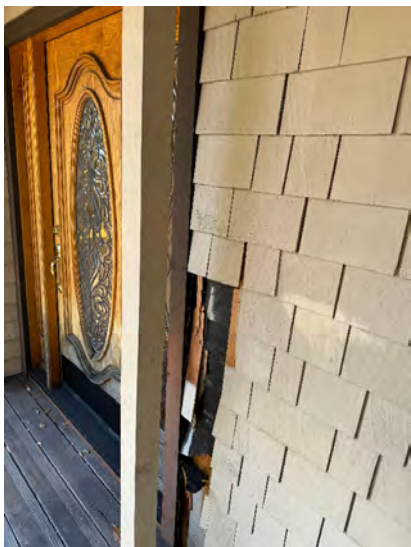


SCALE: 1"=30'

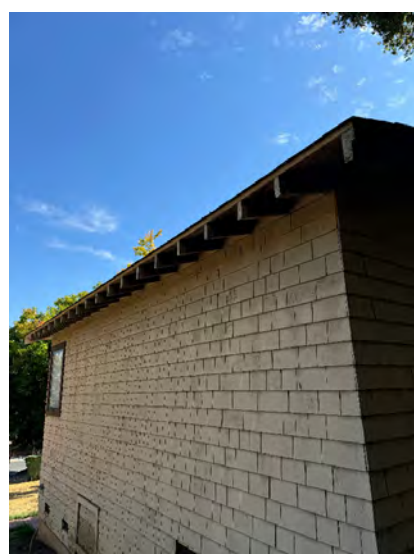
Notes:
 1. ALL INFORMATION ON THIS SURVEY IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.
 2. ALL INFORMATION ON THIS SURVEY IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.
 3. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED EASEMENTS OR ENCUMBRANCES.
 4. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED EASEMENTS OR ENCUMBRANCES.
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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/23/2024

ITEM NO: 7

DESK ITEM

DATE: October 23, 2024
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 55 Ellenwood Avenue.** APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Project Planner: Sean Mullin.

DISCUSSION:

Attachment 5 includes additional photos of the exterior of the residence located at 55 Ellenwood Avenue.

ATTACHMENTS:

Previously received with the October 23, 2024 Staff Report:

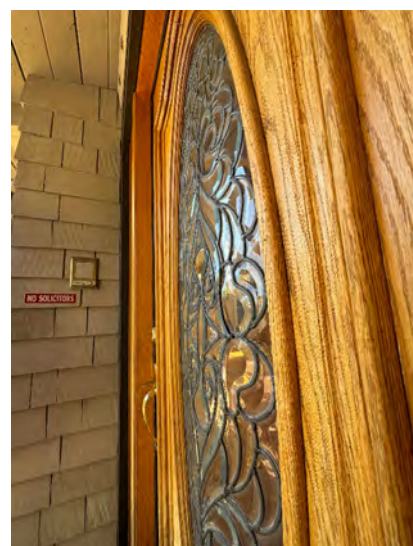
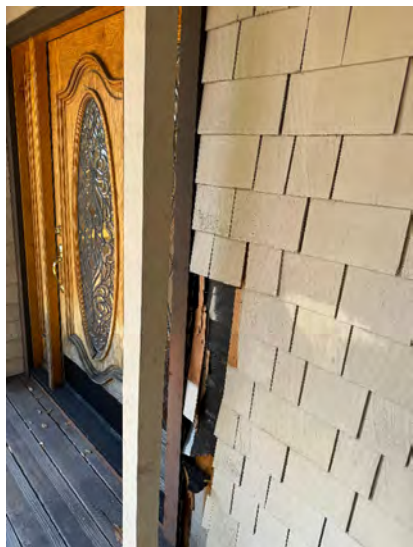
1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Impact of Additions Exhibit
4. Applicant's Submittal Packet

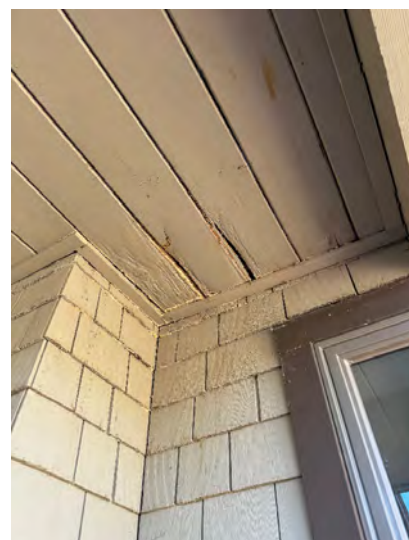
Received with this Desk Item Report:

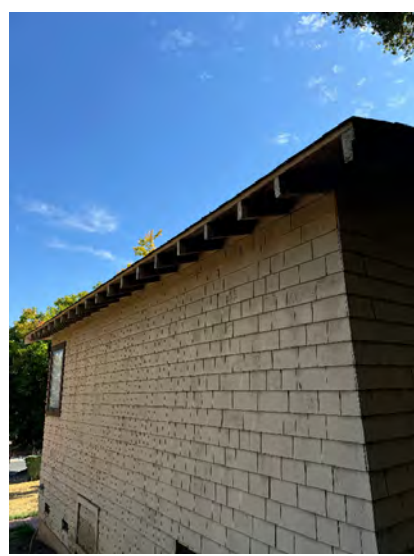
5. Photos

PREPARED BY: Sean Mullin, AICP
Planning Manager

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
OCTOBER 23, 2024**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on October 23, 2024 at 4:00 p.m.

MEETING CALLED TO ORDER AT 4 PM

ROLL CALL

Present: Chair Susan Burnett, Vice Chair Lee Quintana, Planning Commissioner Jeffrey Barnett, Committee Member Barry Cheskin and Committee Member Martha Queiroz.

Absent: None

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – July 24, 2024
2. Approval of Minutes – September 25, 2024

MOTION: **Motion by Vice Chair Lee Quintana** to approve the Consent Calendar.
Seconded by Committee Member Martha Queiroz.

VOTE: **Motion passed unanimously.** Planning Commissioner Jeffrey Barnett recused on Item 1.

PUBLIC HEARINGS

3. 145 Tait Avenue
Minor Residential Development Application MR-24-010

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. Located on 145 Tait Avenue. APN 510-18-029. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: Jennifer McNellis
Applicant: Eric Beckstrom
Project Planner: Erin Walters
Continued from September 11, 2024

Committee Member Queiroz recused themselves from Item 3, 145 Tait Avenue as their property is located within 1,000 feet of the subject property.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jennifer McNellis, Owner, Paul, and Erik Beckstrom, Architect

- They received feedback from the Committee and consulting architect, Larry Cannon. They addressed his five points:
 1. They modified the plans to blend the roof ridge height with the current second-story addition that was done in 1996.
 2. Switched picture windows to Marvin windows with muntins and dividers.
 3. Both garage doors will be the same height.
 4. Will use Marvin style windows.
 5. Bay window will maintain a 12-inch setback.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Chair Burnett** to Forward a Recommendation to the Director on a Request for Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Seconded by Barry Cheskin.**

VOTE: **Motion passed unanimously.**

Appeal rights read.

4. 200 Hernandez Avenue

Request for Review Application PHST-24-018

Requesting Approval for Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:12. APN 510-21-003. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: Vaishali Singh-Sood

Project Planner: Sean Mullin

Continued from September 25, 2024

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Vaishali Singh-Sood, Owner

- Read written statement. As requested by the Committee, they provided documents, regarding weight differences between roof styles, pros and cons of a metal roof, and the fire benefits of a metal roof.
- They provided photos of standing seam roofs and samples of barrel roof and standing seam roof materials. The barrel style material can bend. There are seamless steel roof in the neighborhood.
- Provided a black standing seam roof. The prior owner added the red trim. They spoke to the former owner's daughter who said that the roof was originally black.

Committee members asked questions of the applicant.

Vaishali Singh-Sood, Owner

- They prefer black and not the traditional red because it was never red.
- Adding a barrel trim to the roof will need to be discussed with roofers
- Roofers said a tile roof could not be supported because there are no trusses.
- In the photo, the rafter tails under the roof will remain.
- The current red trim on the windows is not original. The red trim was painted in the 1990's by the prior homeowner. If they are allowed a standing seam roof, they would be willing to come to an agreed solution.

Committee Member

- Have they considered alternative materials? On the American Institute of Architects website there were two options to consider. There is a metal product that looks like a barrel roof and a lightweight concrete product that is lighter than tile. The weight of Spanish tile is 2.9 per square foot.

Vaishali Singh-Sood, Owner

- They are afraid of branches falling on the roof. If a steel metal barrel roof is dented it is costly to replace.
- They spoke to three roofers, but no structural engineers, who say that the roof cannot support the weight of tile which is 2.9 per square foot.
- They prefer and believe that a standing seam roof and not a barrel metal roof is more resistant to damage.

Closed Public Comment.

Committee members discussed the matter.

- Want the barrel edging.
- Want the edging color to match the red window trim color.
- The roof slope is slight. If they have a barrel edging, the standing seam roof is not very visible.
- A black standing seam roof looks too modern and sets a precedent.
- Like to see a barrel trim, if feasible.
- If no barrel roof, then would like to see a calculation.
- A standing seam metal roof doesn't match the style of the house and the neighborhood.
- Roof appears very prominent and visible from the street. It would be a large expanse of black metal.
- Owning a historic home requires maintenance.
- Need to research other materials that includes metal.
- Not convinced that a barrel style metal roof is more prone to damage.
- Concerned about not using the color of clay tiles which is more authentic.

MOTION: **Motion by Chair Burnett** to request that the applicant return with more information, including how much weight the roof can accommodate. Investigate more materials such as presented by a committee member, confer with the Town's Building Official, and a structural engineer to determine the weight threshold. **Seconded by Committee Member Queiroz.**

Friendly Amendment by Commissioner Barnett.

Present it to the Town's Building Official first, and if not opined, present it to a CA licensed structural engineer. Letter from a Structural engineer that it cannot support a tile roof and what it can support.

Comment by Committee Member Cheskin

To Refine the Friendly amendment, what is the weight threshold?

Motion withdrawn by Chair Burnett.

New MOTION: **Motion by Chair Burnett** to request that the applicant return with information presented by a structural engineer whether the house can bear the lightweight concrete or steel roofing examples presented by Committee Member Queiroz. Applicant will return with barrel style shapes on the eaves or on the entire roof. **Seconded by Commissioner Barnett.**

Friendly Amendment by Committee Member Cheskin.

To clarify to the applicant that the committee wants and expects that the trim or entire roof have the appearance of a barrel roof.

Friendly amendment accepted by **Chair Burnett** and **Commissioner Barnett.**

Friendly Amendment by Committee Member Cheskin.

To clarify what is the threshold. How many pounds per square foot?

Friendly amendment accepted by **Chair Burnett** and **Commissioner Barnett.**

VOTE: Motion passed unanimously.

5. 52 Ashler Avenue

Minor Residential Development Application MR-24-009

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 410-14-048. Exempt Pursuant to CEQA Section 15301: Existing Facilities.

Property Owner: Joseph Ervin

Applicant: Ramin Zohoor

Project Planner: Maria Chavarin

Maria Chavarin, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant was not present.

Closed Public Comment.

Committee members discussed the matter.

- Design looks much improved from the original plans with the addition of the shed dormer.
- The mass is still big in the front elevation, the floor plan looks good.
- Prefer a larger center gable dormer instead of two on the sides.
- The applicant fulfilled the requirement by meeting with the architect.
- This is an improvement to the existing house design which was very awkward.
- They responded to the architect's recommendations.

MOTION: **Motion by Vice Chair Quintana** to forward a recommendation of approval to the Community Development Director on the plans as modified per the recommendation of the Town's Consulting Architect for Construction on 52 Ashler Avenue. Make the finding that the pre-1941 structure will neither adversely affect the exterior architecture characteristic or other features of the property which is the subject of the application. **Seconded by Committee Member Queiroz.**

VOTE: **Motion passed unanimously.**

6. 352 W. Main Street

Minor Development in a Historic District Application HS-24-054

Requesting Approval for Construction of Exterior Alteration (Window Replacement) to a Non-Contributing Multi-Family Residential Development in the Broadway Historic District on Property Zoned R-1D:LHP. APN 510-45-033. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: West Main Partners LLC.

Applicant: Byron Brown

Project Planner: Suray Nathan

Suray Nathan, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- Their intention is to upgrade the existing windows. The original build date was listed as 1930, but it is actually 1953. There are four addresses (346, 348, 350 and 352) on the same APN, but historic information stopped at 325. The buildings next door and across the street have white vinyl windows. When they applied for the Building Permit they were instructed to come before the HPC. The existing windows are a mix of materials including vinyl, aluminum and wood. They wanted to make the windows consistent. The windows have already been bought and created.

Committee members asked questions of the applicant and made comments.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- They chose vinyl to improve insulation and waterproofing. Choosing vinyl is a major cost savings. They have many windows to replace for their tenants.
- The windows are also fire-tempered because the building is in a wildfire zone. One pane must be tempered for fire safety.
- They already have the windows.
- They brought photos of the existing windows and a sample of the proposed windows.

Committee member made a comment.

- Residential Design Guidelines say that windows must be compatible with the project. The vinyl should look like wood.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- Would it be acceptable if the vinyl was painted a different color like wood?
- Vinyl is paintable. Now, they have UV paint for vinyl.
- Job has been postponed until resolved.
- They would hate to throw away the windows. They have 58 windows.

Committee member made a comment.

- How do we prevent this situation from happening?

Staff

- Most people come in and check at the beginning.
- The Design Guidelines in Chapter 4.84 says that windows should be constructed of real glass, window frames should be constructed of real wood not vinyl, metal or plastic. Wood sashes may be vinyl or metal clad if consistent with the historic design context.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- Trim around all the existing windows is wood. Some have shutters

Committee member made a comment.

- If not in a historic district, no permits are needed if replaced within existing window openings. Is the permit required?

Staff

- Permits are not uncommon.

Committee member made a comment.

- Troubled that it doesn't meet the Design guidelines even though they already bought the windows.

Open Public Comment

Committee members asked questions of the applicant.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- They were in the permit process when they measured and ordered the windows.

Closed Public Comment

Committee members discussed the matter.

- The 58 windows are prominent.
- It would be a huge improvement if all the windows were matching.
- If painted and not white that could be recommended.
- Use of vinyl is a direct violation. White is very stark,
- The windows clearly need to be replaced.
- Is white the concern? We have made exceptions.
- Vinyl is not acceptable.
- The house is not historic but is in a historic district.
- Seems to be a waste of materials and the tenants may not get new windows due to higher costs.

Committee members asked questions of the applicant.

Byron Brown, Applicant, Ralph Cavanna, and Timothy Vago, Applicants

- Speaking on behalf of the owner, the preference would be to paint the vinyl a wood color.
- The project is expensive at \$60,000. It is at the top of their budget.
- They want to complete the project before winter.
- They can bring in a painted sample.
- They have been doing business in Los Gatos for the last 30 years and have followed the permitting process. In this case, they learned about the historic component at the last stage.
- They cannot get a manufacture's credit because the windows are not standard. They were made to fit each window opening.

Committee member made a comment.

- Do not want to set a precedent for use of vinyl windows.

Staff:

- This does not set a precedent. Each project is considered case by case.

MOTION: **Motion by Committee Member Cheskin** to continue to the next meeting. The applicant will bring back samples of painted vinyl windows to show the quality and effect of the paint and that it appears less like vinyl.
Seconded by Committee Member Queiroz

Friendly Amendment by Vice Chair Quintana

We should not choose the color.

Friendly Amendment by Vice Chair Quintana

To clarify it would be to see the quality and effect of the paint. That it appears less like vinyl.

Friendly Amendment accepted by **Committee Member Cheskin** and **Committee Member Queiroz**.

VOTE: **Motion passed unanimously.**

7. 55 Ellenwood Avenue
Request for Review PHST-24-020

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3).

Property Owner: Pooja Goel

Applicant: Melina Padilla

Project Planner: Sean Mullin

Committee Member Cheskin recused themselves from Item 7, 55 Ellenwood Avenue, as their property is located within 1,000 feet of the subject property.

Sean Mullin, Planning Manager, presented the staff report.

Committee members asked questions of the Project Planner.

Opened Public Comment.

Applicant presented the project.

Pooja Goel, Owner. Rashel, husband

- They have lived there for six years. There are many maintenance issues regarding plumbing, pest control, and electrical. They can only use one bathroom. They need to repair the roof and siding. They have not lived there for the last 3 months.
- There are no plans to demolish.
- They want to make the house liveable for their family and parents.
- Two of the three doors don't work.
- The siding is rotting. They clean out gutters every year. But there are still leaks.
- The roof too old for solar panels.
- Multiple revisions were done to the house over the years.
- Additions were done in 1994 and 1998.

Committee members asked questions of the applicant.

Pooja Goel, Owner. Rashel, husband.

- They are not planning to demolish.
- They request removal from the Historic Inventory because they may want to extend the house in the future.
- They plan to paint the house, repair the roof, repair the skylight leakages, change the doors, and make vents in the house so that they can get solar and AC.
- You cannot see much of the house from the street.
- The structure in the back has a bathroom that doesn't work. The plumber wasn't able to fix it.

Closed Public Comment.

MOTION: **Motion by Chair Burnett** to extend the meeting past 2 hours by 15 minutes. **Seconded by Vice Chair Quintana.**

VOTE: **Motion passed 4-0, Committee Member Cheskin recused.**

Committee members discussed the matter.

- The appearance and style of the house hasn't changed over the years
- Even with the additions, it still looks historic and is surrounded by historic homes.
- Have the five criteria been met?

Committee members asked questions of the applicant.

Pooja Goel, Owner. Rashel, husband

- They know the prior owners who lived there for 35 years.
- They did lots of historical research.
- Little is left of the original house.

Closed Public Comment.

Committee members discussed the matter.

- Are pre-1941 houses being judged by state or federal standards.
- It is premature to take it off the inventory.
- The house has the look and there are distinctive features of a time and place still present.
- Can the 5th finding be made?

MOTION: **Motion by Chair Burnett** to deny the request as it still represents a time and place. And that the finding number 3 cannot be made. **Seconded by Committee Member Queiroz.**

VOTE: **Motion passed 4-0, Committee Member Cheskin recused.**

MOTION: **Motion by Chair Burnett** to extend the meeting past the two hours from 6:00 to 6:30 PM. **Seconded by Commissioner Barnett.**

VOTE: **Motion passed 4-0, Committee Member Cheskin recused.**

Friendly Amendment by Vice Chair Quintana

That the integrity of the structure has not been lost. It is still recognizable.

Friendly amendment accepted by **Chair Burnett** and **Committee Member Queiroz.**

VOTE: **Motion passed 4-0, Committee Member Cheskin recused.**

Appeal rights read

8. 50 Hernandez Avenue
Request for Review Application PHST-24-002

Requesting Approval for Modification (Siding Replacement) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 510-20-003. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.
Property Owner: Richard Archuleta and Chrissy Klander
Applicant: Jay Plett, Architect
Project Planner: Sean Mullin

Chair Burnett and Committee Member Cheskin recused themselves from Item 8, 50 Hernandez Avenue, as their properties are located within 1,000 feet of the subject property.

Vice Chair Quintana remains by random selection to retain quorum.

Sean Mullin, Planning Manager, presented the staff report

Opened public comment.

Applicant presented the project.

Jay Plett, Applicant

- Currently there is a mix of siding throughout the house and additions. Some repairs in the past were patched over and filled with Bondo. They'd like to retore with three lap wood siding to be consistent. An addition in the back has been approved.

Committee members asked questions of the applicant.

Jay Plett, Applicant

- Currently there is a mix of siding throughout the house and additions.
- Until actual construction began, they couldn't see the patching.
- It is a Technical Demolition. Request to be exempt that allows when something is not reparable.
- The appropriate siding is cedar or redwood. Old growth redwood is cost prohibitive now. Original siding was done in 1903. Now they use treated pine.
- The owner chose that profile because it matches the existing three lap siding on the home.

Closed public comment.

Committee members discussed the matter.

- Replacement with matching siding is an improvement over the existing hodge podge.

MOTION: **Motion by Committee Member Barnett to Recommend Approval to the Community Development Director for Modification (Siding Replacement) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 510-20-003. **Seconded** by Committee Member Queiroz.**

VOTE: **Motion passed 3-0, Chair Burnett and Committee Member Cheskin are recused.**

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

- Director's decisions all aligned with the recommendations of the Committee.
- Appeal received for 228 Bachman Avenue and is scheduled for the Planning Commission on November 13, 2024.

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

- Next HPC Special meeting is November 20. Due to the holiday and meets at 4:00 PM

COMMITTEE MATTERS

None.

ADJOURNMENT

The meeting adjourned at 6:29 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the October 23, 2024 meeting as approved by the Historic Preservation Committee.

/s/ Sean Mullin, AICP, Planning Manager

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

October 25, 2024

Melina Padilla
2375 Zanker Road, Suite 245
San Jose, CA 95131
Via email

**RE: 55 Ellenwood Avenue
Request for Review PHST-24-020**

**Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3).
Property Owner: Pooja Goel
Applicant: Melina Padilla
Project Planner: Sean Mullin**

On October 23, 2024, the Los Gatos Historic Preservation Committee recommended denial of the above request to the Community Development Director. The request was denied by the Community Development Director on October 25, 2024.

PLEASE NOTE: Pursuant to Sections 29.20.255 and 29.20.260 of the Town Code, this decision may be appealed to the Planning Commission by any interested person as defined by Town Code Section 29.10.020 within 10 days on forms available online with fees paid. Final deadline is 4:00 p.m. on that 10th day. Therefore, this action should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at smullin@logatosca.gov.

Best regards,

Sean Mullin, AICP
Planning Manager

Cc: Pooja Goel, via email

N:\DEV\HISTORIC PRESERVATION\HPC Action Letters\2024\Ellenwood Ave, 55 - 10-23-24 - HPC Action Letter.docx

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TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT

110 E. Main Street
Los Gatos, CA 95030

BP41724
PAID
TOWN OF LOS GATOS

APPEAL OF THE DECISION OF
DIRECTOR OF COMMUNITY DEVELOPMENT

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

DATE OF DECISION:

10/25/2024

PROJECT/APPLICATION:

PH ST - 24 - 020

LOCATION:

55 ELLENWOOD AVE, LOS GATOS, CA

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Director.

95030

Interested person means:

- 1. Residential projects. Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. Non-residential and mixed-use projects. Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

I am appealing the decision to remove my property as historic, as major remodels have eliminated its historical integrity, and the review process was rushed and potentially biased.

IMPORTANT:

- 1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Director of Community Development. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day. Appeals are due by 4:00 P.M. If an appeal is filed on a Friday, they must be submitted by 1:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) days after the date of the filing of the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: VISHAC JAIN

SIGNATURE: Vishac Jain

DATE: 10/30/2024

ADDRESS: 55 Ellenwood Ave, Los Gatos

PHONE: [Redacted]

EMAIL: [Redacted]

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____

COMMISSION ACTION:

- 1. _____
2. _____
3. _____

DATE: _____
DATE: _____
DATE: _____

PLAPPEAL \$ 264.00 Residential
PLAPPEAL \$ 1052.00 Commercial
PLAPPEAL \$ 107.00 Tree Appeals

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55 Ellenwood Ave.

Appeal of HPC Ruling to Planning Commission

January 8th, 2025

STUDIOTHREE**DESIGN**
ARCHITECTURE | INTERIORS

638 University Avenue Los Gatos, California, 95032
T 408.292.3252 F 253.399.1125
studio-three.com

FINDINGS:

Related to a request for a determination that a pre-1941 structure (55 Ellenwood) has no historic significance or architectural merit:

1. The structure is not associated with events that have made a significant contribution to the Town.

2. No Significant persons are associated with the site.

3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.

4. The structure does not yield information to Town history.

5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

The Property + HPC Comments

Evidence of an underlying desire of HPC to not listen to fact.

55 Ellenwood



Source: Google Maps Satellite

"Original structure as I remember it, and I've lived here for 50 years!" - HPC

FALSE

"Still looks historic." - HPC

FALSE

"Still has the feeling even though it's been added to from when I moved here 45 years ago." - HPC

"Appearance + style hasn't changed." - HPC

FALSE

Sanborn Maps

1928 Sanborn Map **1928 (Before Lot Split)**

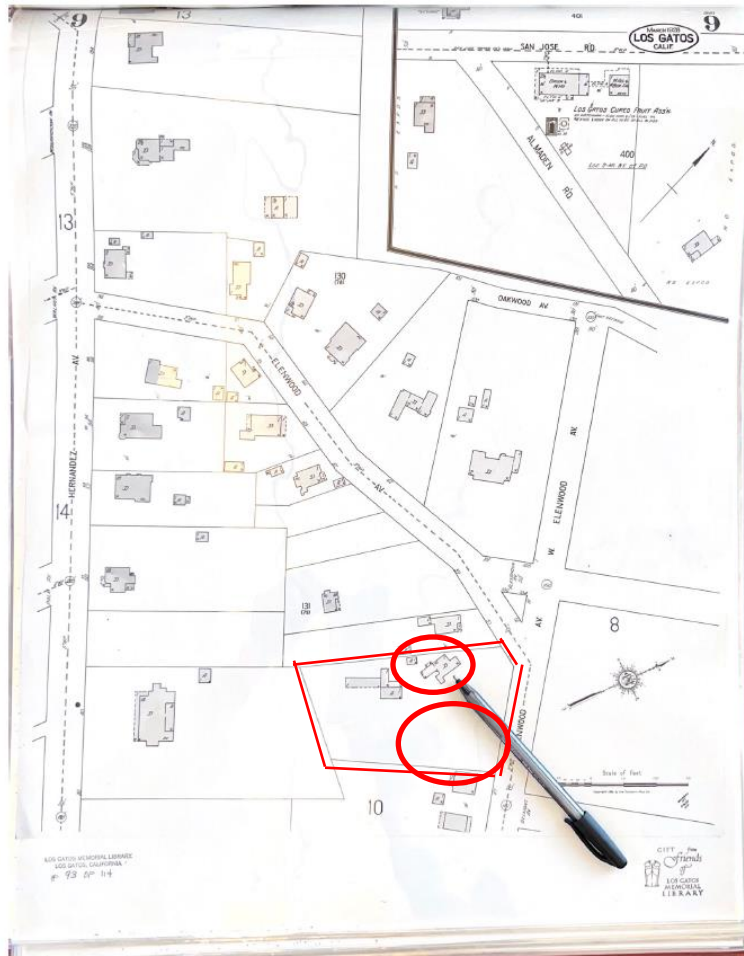


Exhibit 6 (Source Los Gatos Library)

1944 Sanborn Map **1944 (After Lot Split)**

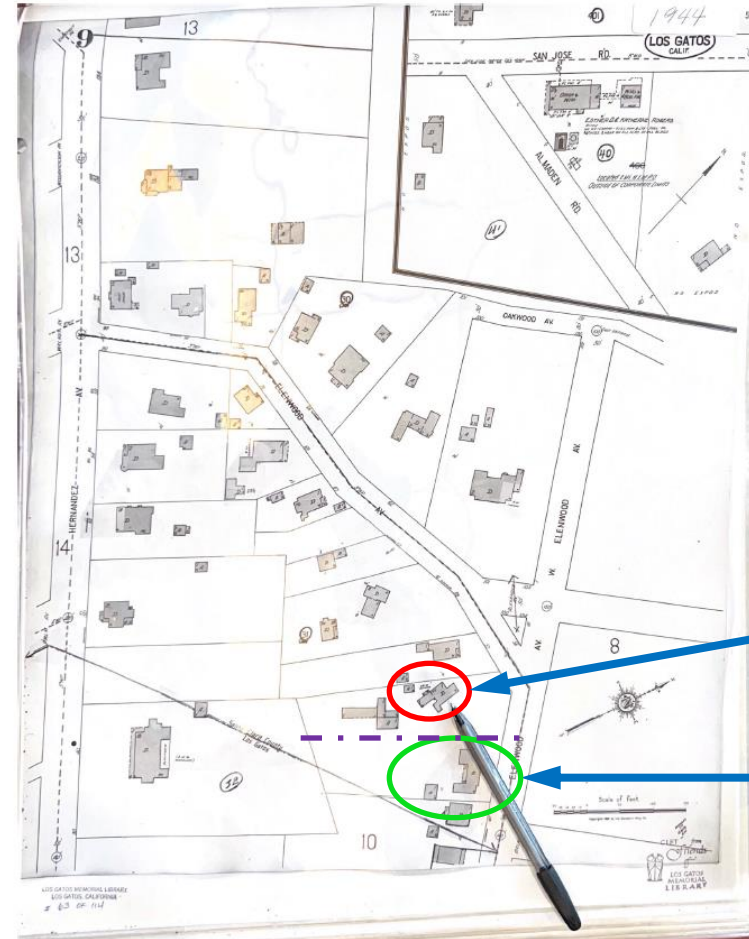


Exhibit 7 (Source Los Gatos Library)

Sanborn maps from 1928 and 1944 show significant changes to the property by 1998, including major remodels that altered its original character.

55 Ellenwood

51 Ellenwood Is Born (Neighbor)

Other Notable Dates:

Permit 1994

Permit 1998

FINDING #1, #4

House Index

Extensive research at the Los Gatos Public Library revealed no mention of this property in historical newspapers, articles, notable real estate listings, or public records. The absence of such documentation strongly suggests the property lacks significant historical importance.

✓ **1. The structure is not associated with events that have made a significant contribution to the Town.**

✓ **4. The structure does not yield information to Town history.**

As It Was – Dora Rankin, 1965

House Index

rough alphabetical by street name

- 328 Bachman Avenue – “The Watkins Home” – Page 19
- North side of Broadway – The Crall Home” – Page 16
- Hill south of Broadway – “John Lyndon Home” – Page 15
- East Side of College Avenue – “The Mariotti Fence” – Page 20
- Corner of East Main Street and College Avenue – “The Historic Hotel” – Page 20
- 130 Edelen Avenue – “The Miles Home” – Page 16
- Fairview Plaza – “Minster’s Home” – Page 12
- 107 Foster Road – “The Russell Sund Home” – Page 21
- 20 Glen Ridge Avenue – “Dexter Pierce Home” – Page 13
- 33 Glen Ridge Avenue – The D.C. Crummey Home – Page 6
- Corner of Glen Ridge and Hernandez Avenues – “Redwood Pillars” – Page 10
- Glen Ridge Avenue off Nicholson Avenue – “Printer’s Home” – Page 13
- 55 Hernandez Avenue – Page 11
- Corner of Hernandez and Peralta Avenues – “The Judge’s Home” – Page 15
- West Side of Jackson Street, just south of East Main Street – “The Erickson Home” – Page 20
- Between Loma Alta Avenue and Johnson Avenue – “The Noble Home” – Page 21
- Between Los Gatos and Saratoga – “Nippon Mura” – Page 23
- 115 Massol Avenue – “The Sporleder Home” – Page 18
- West side of Massol Avenue – “In Blackberry Heaven” – Page 18
- Northwest Corner of North Santa Cruz Avenue and Bean Avenue – “The Mansion Duplex” – Page 17
- 9 Palm Avenue – “House of Tragedy” – Page 31

FINDING #1, #4

Museums of Los Gatos Historic Homes Tour

Research found no evidence linking this property to any historical significance.



1. The structure is not associated with events that have made a significant contribution to the Town.



4. The structure does not yield information to Town history.

Museums of Los Gatos Historic Homes Tours

Address	Year(s) Appeared
237 Almendra Ave.	2009
75 Alpine Ave.	1991
77 Alpine Ave.	2001
79 Alpine Ave.	2001
31 Ashler	2013
16158 Bachman Ave.	2017
212 Bean Ave.	2002
212 Bella Vista Ave.	2000
37 Broadway	2012
42 Broadway	2008
44 Broadway	2003
45 Broadway	1991
47 Broadway	1994
68 Broadway	2001
72 Broadway	2001
15 Chestnut Ave.	1999
16 Chestnut Ave.	1995
40 Chestnut Ave.	2009
54 Chestnut Ave.	1999
21 Clifton Ave.	2008
59 College Ave.	2015
100 Creffield Heights	2011
140 Creffield Heights	2011
16660 Cypress Wy.	1994
106 E. Main St. (NUMU)	2017
129 Edelen Ave.	1998
130 Edelen Ave.	2003
15 Ellenwood Ave.	2001
51 Ellenwood Ave.	2008
60 Ellenwood Ave.	2008
61 Ellenwood Ave.	2005
66 Ellenwood Ave.	2008
18537 Eucalyptus Dr.	2000
90 Fairview	1994
19 Glen Ridge Ave.	1993
20 Glen Ridge Ave.	2007
22 Glen Ridge Ave.	1995



FINDING #2

List Of People Recorded As Associated With 55 Ellenwood:

1. 1934 – 1945 Stanley A R and Flowers C H
2. 1968 – 1986 Sydney and Roberts Dunton
3. 1968 – 1986 First National Bank and Palo Alto Financial Corporation
4. 1968 – 1986 Leigh & Merry Belden
5. 1986 Andris Holms
6. 1992 Andris and Leslie
7. 2002 Andris and Leslie Trust
8. 2012 Leslie Holms Trust
9. 2019 The Jain Family Revocable Trust with Vishal Jain and Pooja Goel as Trustees



2. No Significant persons are associated with the site.

FINDING #3

The Anne Bloomfield Survey documents the home, built in the 1950s, received preliminary rating of "N", due to major renovations by 1989. No distinctive architectural features were identified, and no construction changes are recorded in city archives through 1994. This undermines its historic integrity and diminishes its eligibility for historic designation.

3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;

ARCHITECTURAL HISTORY
1415 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Anne Bloomfield
ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 55 Ellenwood

PARCEL MAP INFORMATION
Parcel # _____ Lot size: _____ front ft. x _____ ft. deep
Lot shape: Rectangle L Rectangle with small rear jog _____ Other _____
Location: N S E W side of _____ St Ave Other _____
distance to cross st: _____ ft. N S E W from _____
at NE NW SE SW corner of _____


HISTORIC INFORMATION ON PARCEL MAP
Old tract or subdivision name _____ Old Block # _____ Old lot # _____

FIELD SURVEY INFORMATION (handwritten in red)
Preliminary rating N Estimated age _____ Style _____ # stories _____
Alterations _____
Other _____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 9771 Effective date 12/89

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS
National Register listed date _____
County inventory 1979 _____
Town of Los Gatos: Designation _____ Recognition _____
District Name _____
Previous Survey _____
EVALUATION: Contributor _____ Date 1992
Earliest known Owner Resident _____
Context(s): _____

PHOTOS: Roll/frame # _____ Date _____


Alterations: Moved _____
Raised _____ Porch encl. _____
Windows _____ Condition _____
Designer: a. b. c.

55 Ellenwood

"N"

1989

1950

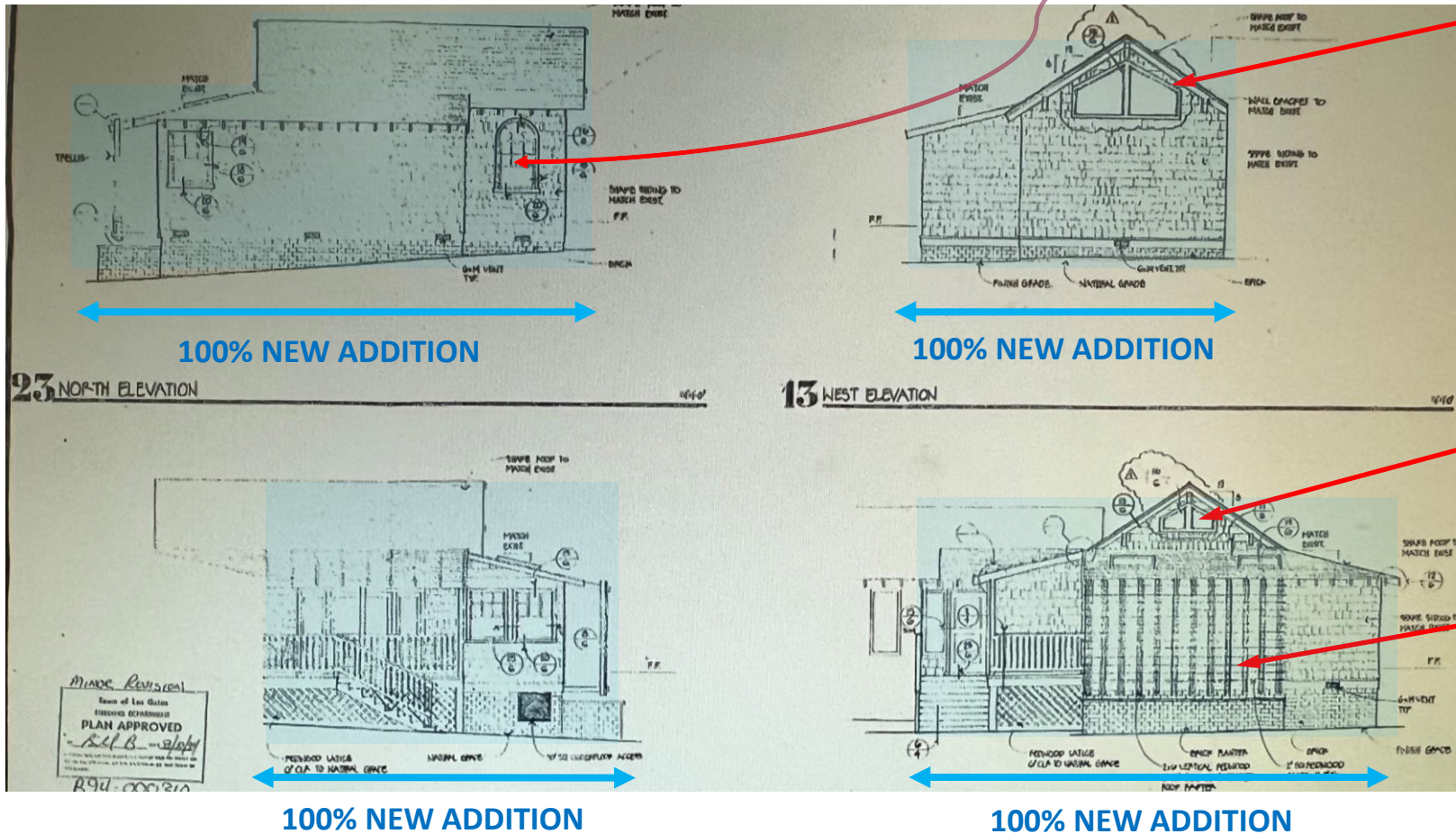
District Non-contributing

FINDING #3, #5

1994 Approved Permitted Work / Addition

Non original window typology

New Windows at new Master Bedroom – nonhistorical typology.



New Windows at new Master Bedroom – nonhistorical typology

New exposed 2x6 rafters visible from public sidewalk + trellis and lattice

3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.

5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #3, #5

"Still looks historic."
- HPC

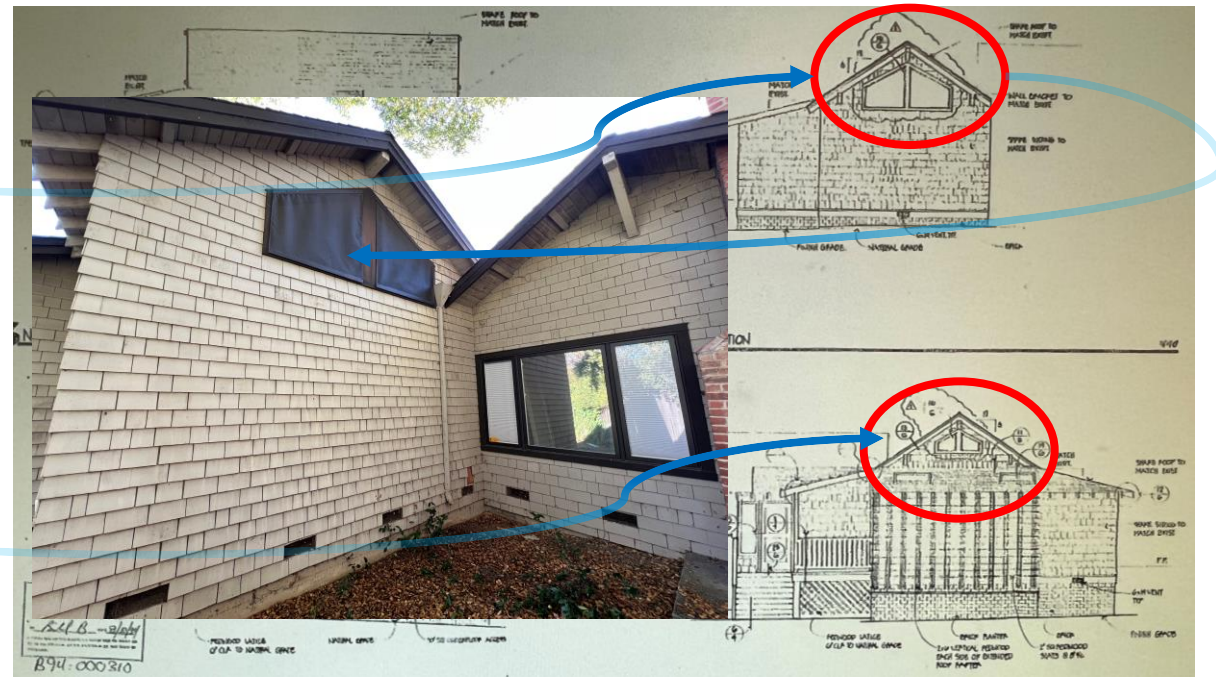
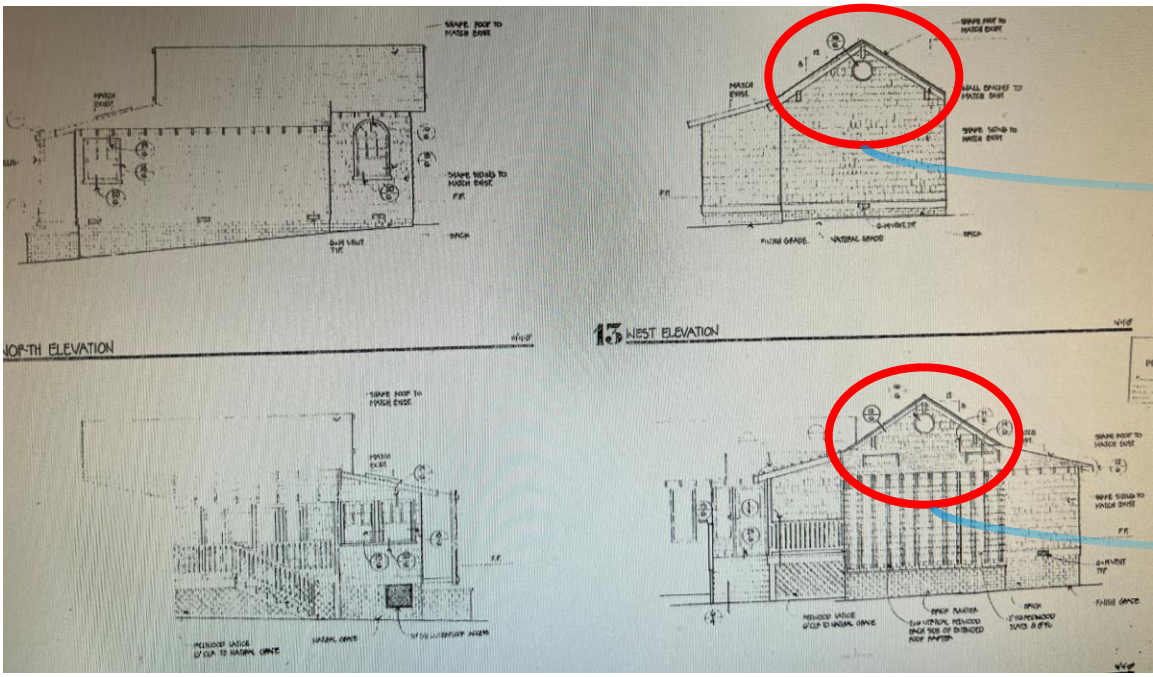
FALSE

"Appearance + style hasn't changed." - HPC

FALSE

Before 1994 Construction

After 1994 Construction



300% Window Size Increase at New Addition



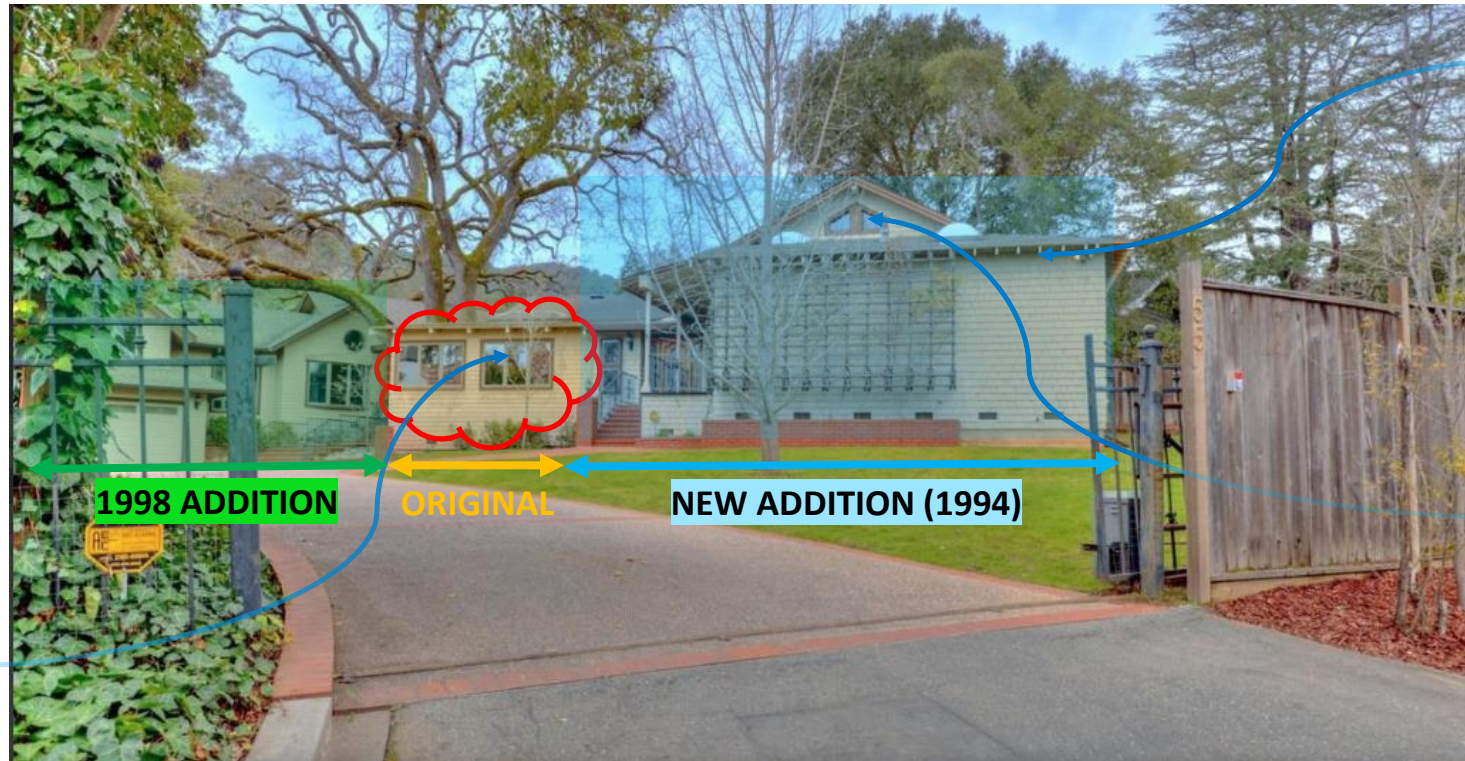
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.



5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #3, #5

2019 Image



Different exposed rafter tail detail not matching original

New Windows at Master Bedroom

No evidence of original vs current fenestration pattern



3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.



5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #3

1998 New Addition

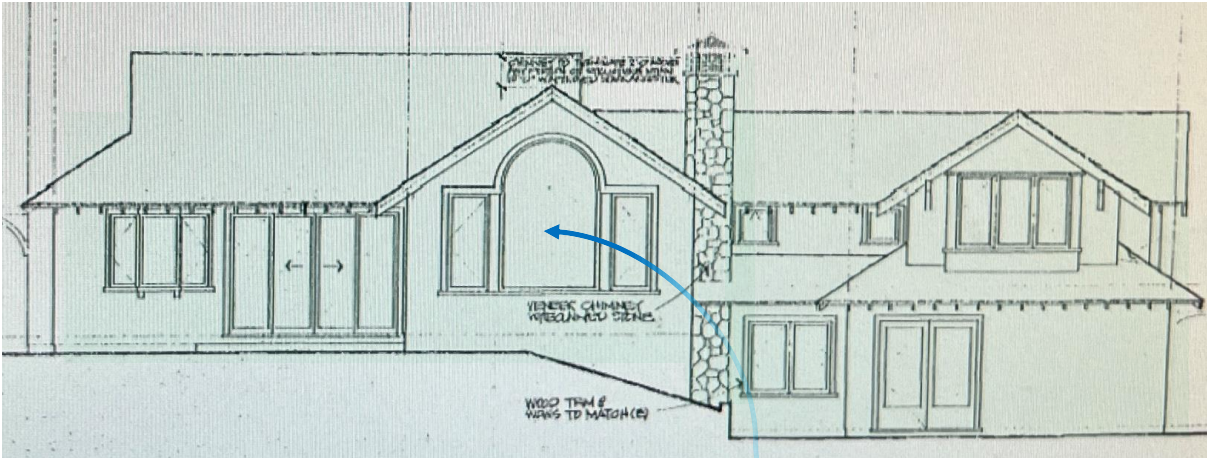
"Original structure as I remember it, and I've lived here for 50 years!" - HPC

FALSE

Contemporary veneer stone chimney

1998 Approved Permit

2019 Image



100% NEW ADDITION

100% NEW ADDITION

Contemporary grand arched window at new living room addition

Contemporary windows at new game room addition



3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.

FINDING #3, #5

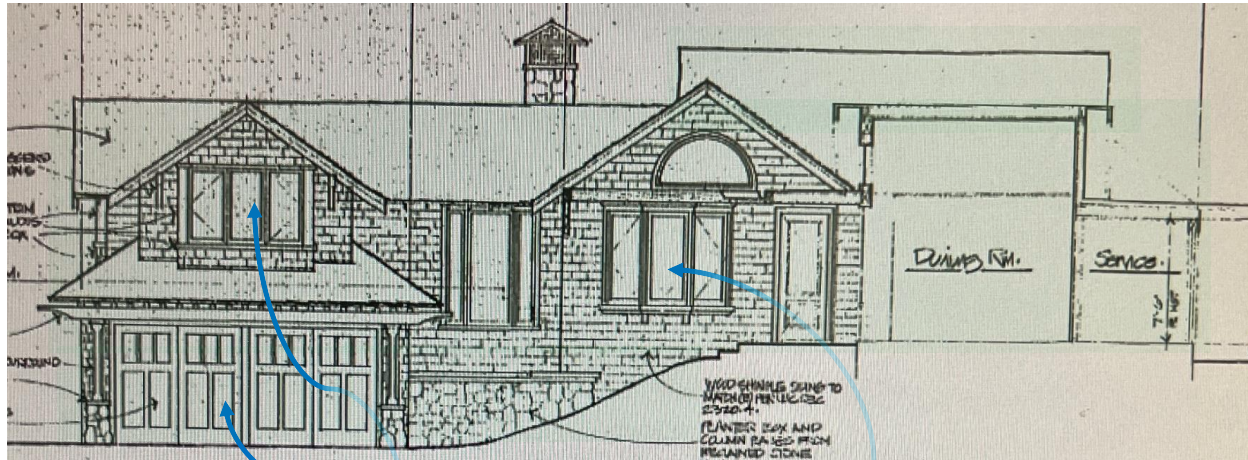
1998 New Addition

"Appearance + style hasn't changed." - HPC

FALSE

1998 Proposed North Elevation (Approved)

2024 Image



100% NEW ADDITION

100% NEW ADDITION

Contemporary swinging windows above modern door panels

Contemporary fenestration configuration + type

3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.

5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #3, #5

Current Photo of Existing House (2024)

NEW ADDITION (1998)

ORIGINAL STRUCTURE

NEW ADDITION (1994)



✓
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;

✓
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #5

55 Ellenwood Ave. (Before 1994 Renovation)



“Original structure as I remember it, and I’ve lived here for 50 years!” - HPC

FALSE

“Appearance + style hasn’t changed.” - HPC

FALSE

FINDING #5

Existing Property Picture From Redfin Real Estate Listing (2019)



← NEW ADDITION (1998)

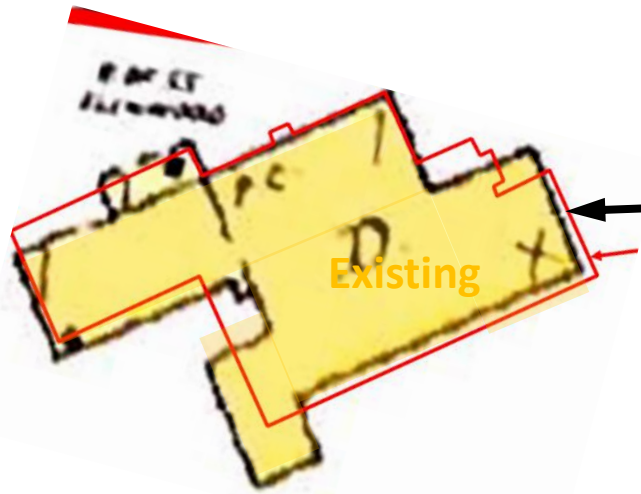
ORIGINAL STRUCTURE →

← NEW ADDITION (1994) →

FINDING #5

Approved Permits (1994)

Original Footprint

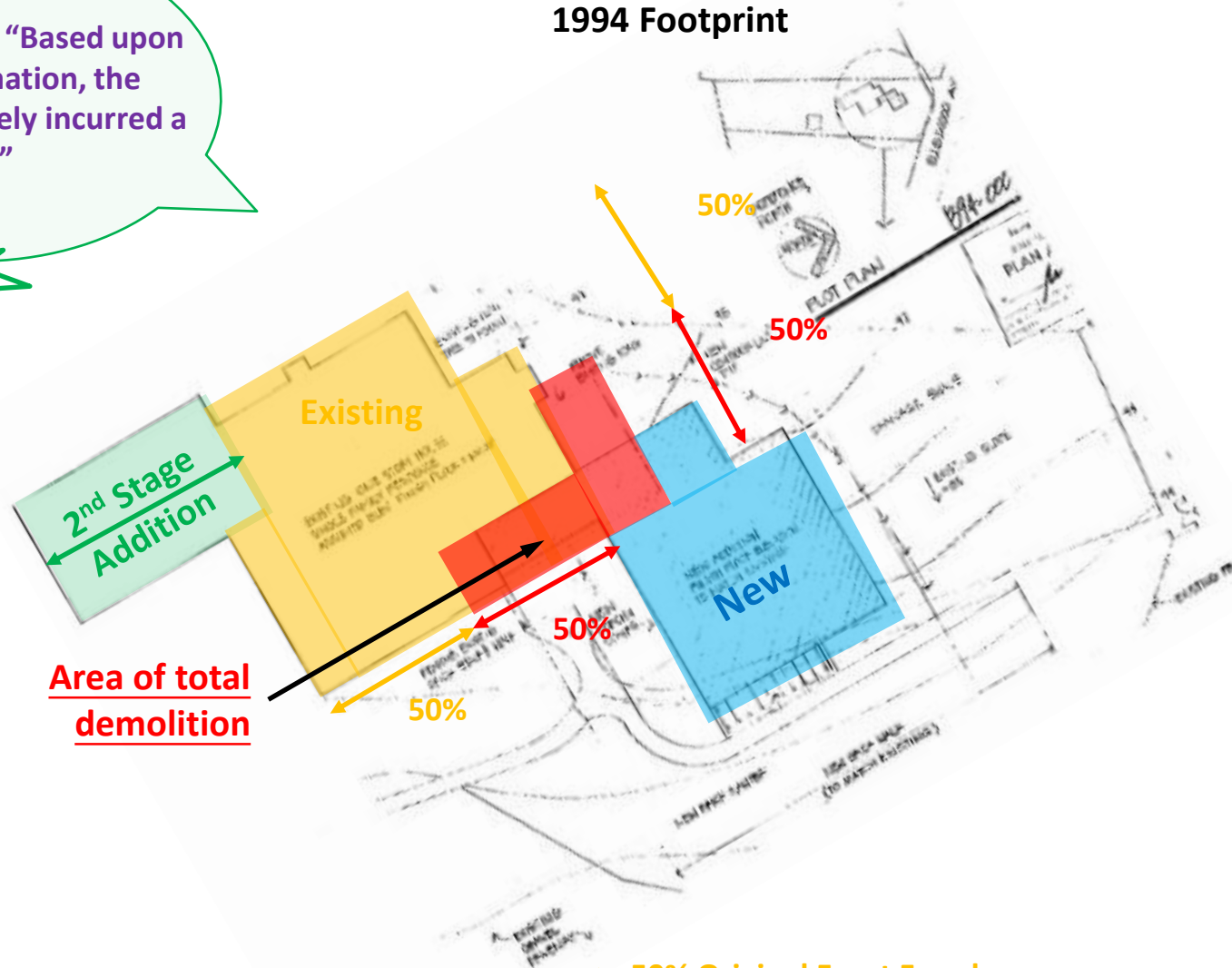


Outline of residence as reflected in 1994 Building Permit

100% Original House Footprint Per San Born Map 1928 +1944

Staff Comment: "Based upon available information, the property has likely incurred a technical demo."
TRUE

1994 Footprint



Area of total demolition

50% Original Front Facade
50% Technical Demolition at Front Facade

Technical demolition of area 50% affected at "front facade"

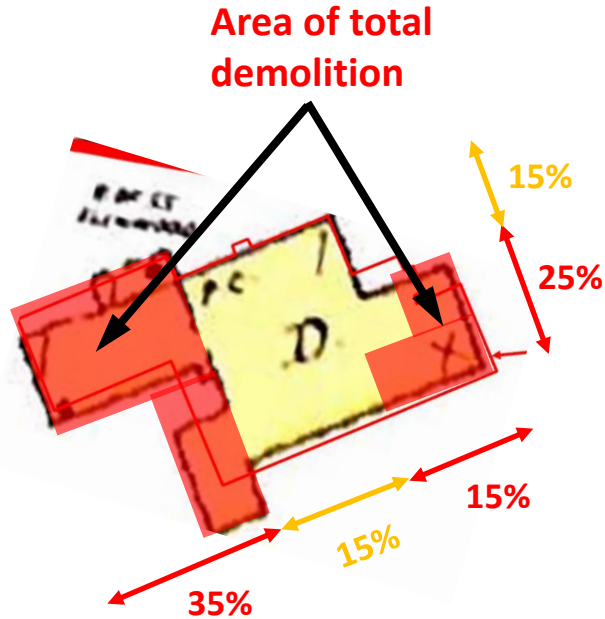
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDING #5

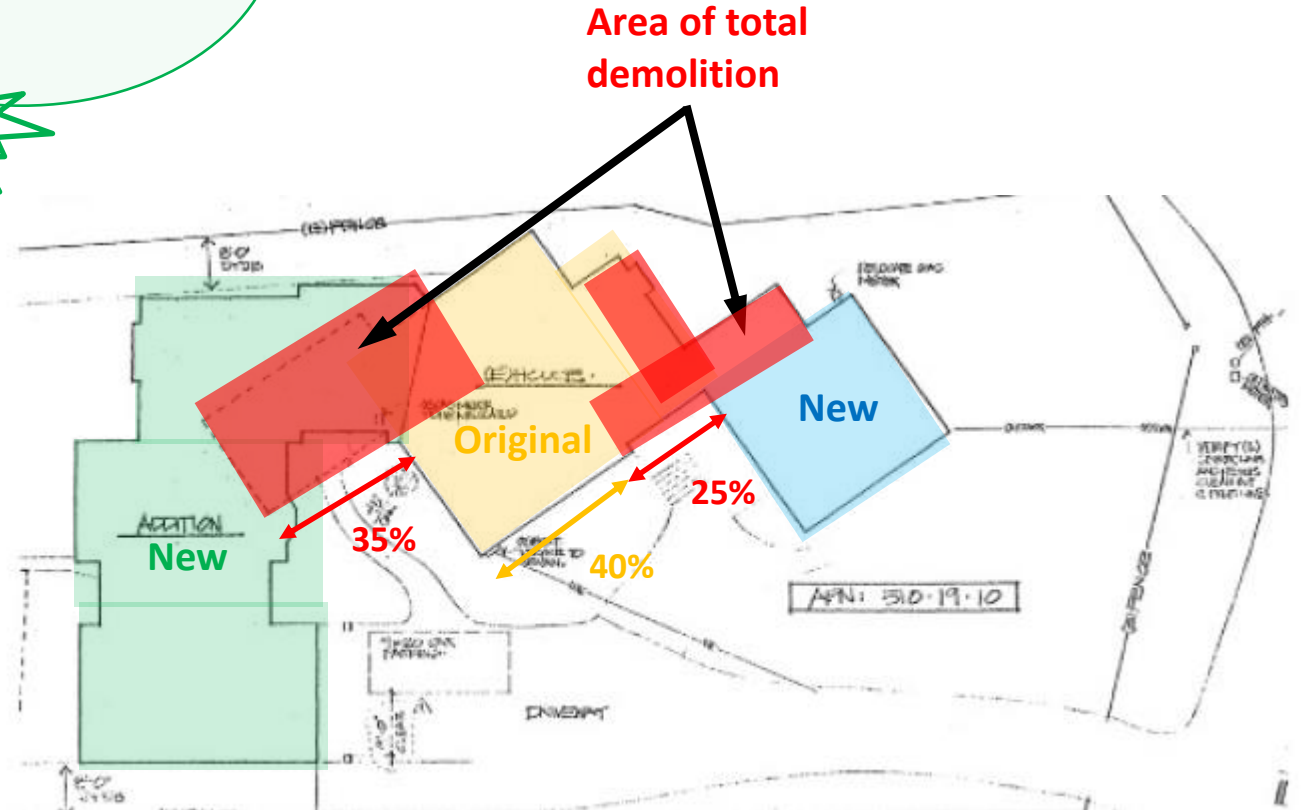
Approved Permits - (1998)

"Staff leans towards interpretation that prior permitted work already involved a technical demo"

TRUE



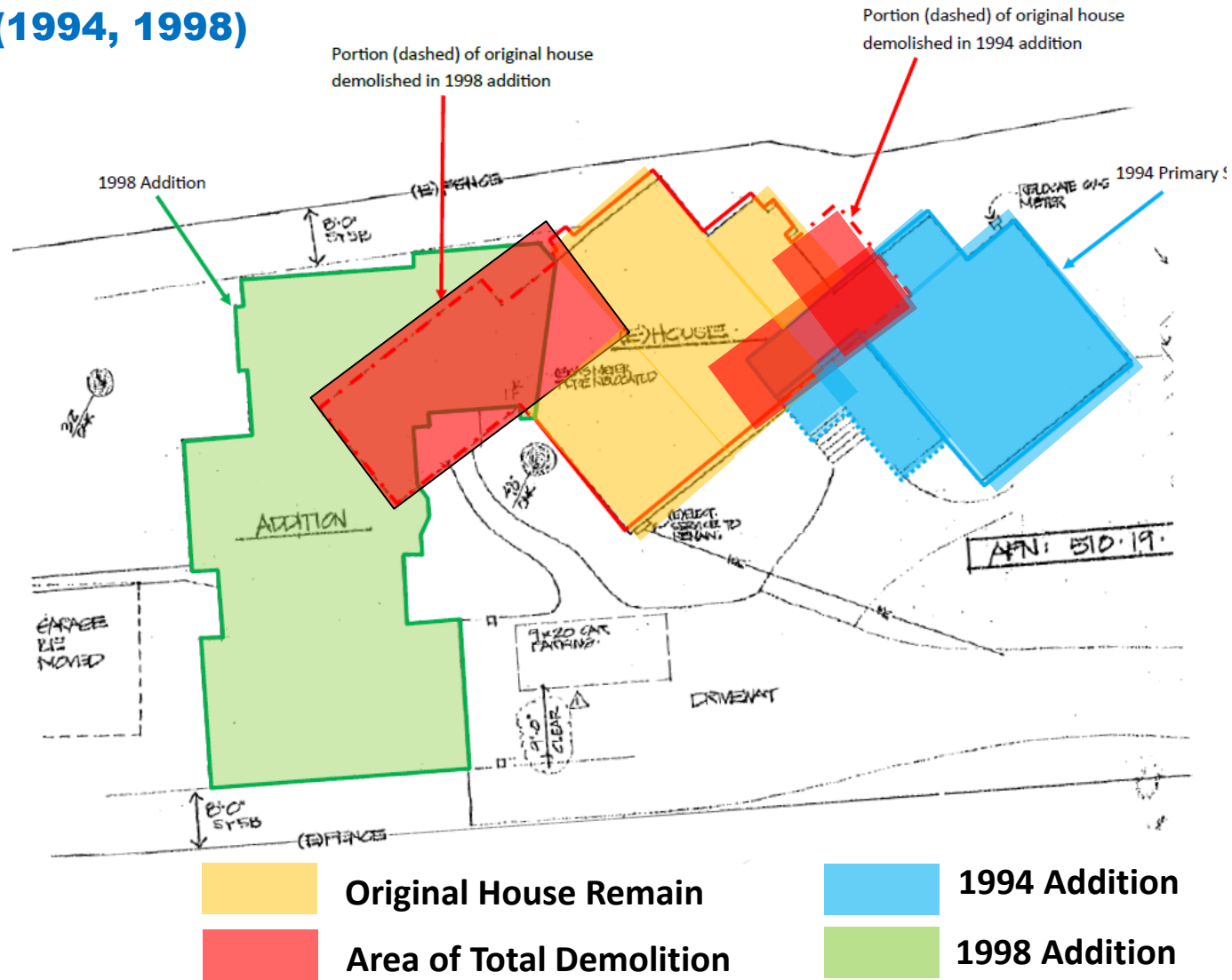
30% Original Front Facade
 70% Technical Demolition at Front Facade
70% > 25% max demolition @ FRONT



40% Original Front
 60% Technical Demo at Front
 ➤ Technical demolition of area 60% and 70% affected at "front facade"

FINDING #5

Approved Permits (1994, 1998)



"Staff leans towards interpretation that prior permitted work already involved a technical demo"

TRUE

"Still looks historic." - HPC

FALSE

"Still has the feeling even though it's been added to from when I moved here 45 years ago." - HPC

FALSE

"Original structure as I remember it, and I've lived here for 50 years!" - HPC

FALSE

"Appearance + style hasn't changed." - HPC

FALSE

5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

FINDINGS:

Related to a request for a determination that a pre-1941 structure (55 Ellenwood) has no historic significance or architectural merit:



1. The structure is not associated with events that have made a significant contribution to the Town.



2. No Significant persons are associated with the site.



3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.



4. The structure does not yield information to Town history.



5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

November 2, 2024

Attention: Los Gatos Planning Commission

neighbor of Pooja and Vishal Goel. We have lived directly across the street at [REDACTED] for 46 years. Having purchased and resided at our house since 1978, we are very familiar with 55 Ellenwood. For the record, after Corlene and I returned from our active duty Navy assignment in Japan and, just after the Loma Prieta Earthquake, our house was remodeled around 1991 where we put on a second story and added more square footage.

Over the years, we have known three owners, Merry and Lee Belden who owned the house when we bought ours. Later, Leslie and Andy Holms who bought the house from the Belden's and now, Pooja and Vishal Goel. We have seen the house remodeled from a two bedroom bungalow to what is now; a very different house.

The remodeled house moved the front door to the new addition and the old front door is now an auxiliary entry. The addition built by the Holms was a total change of the floor plan. The two car garage that was never part of the old termite-ridden structure. The Holms remodel had no resemblance to the original structure.

The Historical Committee should know, many of the older homes in Los Gatos were built as smaller summer homes for weekend use by San Francisco residents who wanted relief from the persistent fog in the city. The Goel's house today has no resemblance to any historical building. You can check the building department's records and see the remodel changes for yourself. There is no historical comparison to what the old house on 55 Ellenwood might have been.

We offer this as our declaration that there is no resemblance to a historical house at 55 Ellenwood. We understand that a member of the historical committee who lives in Los Gatos, may have driven by the property and presented the statement that the house is historical. As neighbors of 46 years across from this house, we can attest that the house has been completely remodeled and added onto where there is no resemblance to any original structure on the property. We urge the planning commission to approve the remodel plans Pooja and Vishal Goel have presented to the city. As neighbors across the street from the Goel's property, we can verify that their intended improvements will make a vast improvement over the existing structure.

Verbal claims from historical committee members with drive-by inspections, in our opinion, are not sufficient to stop the remodeling that is requested by the owners. We recommend the planning commission approve the Goel's remodel plans.

Regards,

[REDACTED] oran

Tedi Uhrowczik

[REDACTED]

December 22, 2024

Gentlemen and Ladies:

I am writing to you because I am in support of the current remodel of 55 Ellenwood Ave, Los Gatos. The following are the facts:

1. I have resided at [REDACTED] (across the street from 55 Ellenwood) since 1979, 45 yrs. Since that time, almost every house in our Ellenwood, West Ellenwood, Belmont, Apricot, Alexander and Bachman Ave area has been remodeled, greatly increasing the charm and appeal of the area.

2. 55 Ellenwood specifically has gone through 3 major changes/remodels since 1979:

1981 After we remodeled our home in 1980, the Beldens used our contractor, BenRogers Construction to remodel 55 Ellenwood

1994 remodel by the Holms

1998 major remodel by the Holms changing the entire front of the house

3. Because of all the changes over last 45 years, 55 Ellenwood has not retained **anything** that one could call "historical". However, what it has retained is a home façade which is ugly with no charm/ambiance.

4. For sure, I am not in support of all remodeling. There have been remodels approved in the neighborhood that are way too big given their lot sizes. These are the remodels which are totally inappropriate for our charming area. I support only the ones which are appropriate.

5. I am so very pleased that Pooja and Vishal are now remodeling their property to better fit the upscale charm and ambiance of the neighborhood. Again, the area has changed drastically over my 45 years here, definitely for the better. And I look forward to finally seeing a beautiful home at 55 Ellenwood with a softer, more pleasant look than it's current "non-historic" ugly look.

6. I therefore ask you to allow Pooja/Vishal to proceed with the beautification of their currently rundown, ugly, non-historic property.

Tedi Uhrowczik

Owner/Resident



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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 7

DATE: January 3, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Side and Rear Yard Setbacks, Site Improvements Requiring a Grading Permit, and Removal of Large Protected Trees on a Nonconforming Vacant Property Zoned R-1:20. **Located at 45 Reservoir Road.** APN 529-33-054. Architecture and Site Application S-22-048. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Farnaz Agahian. Applicant: Gary Kohlsaar, Architect. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for approval to construct a new single-family residence with reduced side and rear yard setbacks, site improvements requiring a Grading Permit, and removal of large protected trees on property zoned R-1:20, located at 45 Reservoir Road.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:20, Single-Family Residential 20,000 square feet minimum
Applicable Plans & Standards: General Plan; Residential Design Guidelines; Hillside Development Standards and Guidelines; Hillside Specific Plan
Parcel Size: 10,000 square feet (0.23 acres)
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1D
South	Residential	Low Density Residential	R-1:20
East	Residential	Low Density Residential	R-1:10
West	Residential	Low Density Residential	R-1:20

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

FINDINGS:

- As required, the project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.
- As required by Section 29.10.265 of the Town Code for modification of zoning rules on nonconforming lots to allow exceptions to side and rear setbacks, driveway/access road width, and driveway depth on a nonconforming property.
- As required by Section 29.10.150 (h)(2) of the Town Code to allow an exception to parking requirements when a lot does not have adequate area to provide parking as required.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except for the side and rear setbacks, driveway/access road width, parking configuration and dimensions, and driveway depth.
- The project is in compliance with the Residential Design Guidelines for single-family residences.
- As required, that other than the exceptions to grading depths, retaining wall heights, and buildings located outside of the least restrictive development area (LRDA), the project complies with the Hillside Development Standards and Guidelines (HDS&G).
- As required, that other than an exception to the guest parking requirement, the project complies with the Hillside Specific Plan (HSP).

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located east of Reservoir Road and accessed via a private road serving several lots between Reservoir Road and Rogers Street (Exhibit 1). The subject property is undeveloped and approximately 0.23 acres (10,000 square feet) with an average slope of 28 percent. In 2015, the Town issued Certificates of Compliance for six lots and approved a lot merger to combine the six lots into three lots. The three separate parcels include 55 and 60 Rogers Street, and the subject property at 45 Reservoir. The subject property is zoned R-1:20

and nonconforming as to size and width. The Architecture and Site application has been referred to the Planning Commission based on concerns related to the proposed intensity of development and the applicant's request for exceptions to setback requirements, road width, parking, driveway depth, grading depths, retaining wall heights, and LRDA.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located east of Reservoir Road and accessed via a private driveway that bisects the property and serves several lots between Reservoir Road and Rogers Street (Exhibit 1). Single-family residential development surrounds the property. The property ascends approximately 14 feet from north-to-south to the private road, from which the property ascends an additional 30 feet to the south property line. The LRDA is concentrated in the southern (rear) portion of the property and the area of the existing private road.

B. Project Summary

The applicant proposes construction of a two-story residence with an attached two-car garage. The project includes areas of below-grade square footage that would not count toward the size of the residence. An attached ADU is included on the second story of the residence. Consistent with state law, the ADU will be processed with a separate ministerial Building Permit and is not the subject of this application. Much of the proposed residence would be located outside of the LRDA due to site and access constraints. The proposed residence, absent the ADU, would not be visible pursuant to the HDS&G, as only 22 percent would be visible from the viewing area located at Los Gatos-Saratoga Road (Highway 9) and Highway 17 (Exhibit 12). The project requires a Grading Permit for site improvements for earthwork quantities exceeding 50 cubic yards. The project also requires exceptions to setbacks, road width, parking, driveway depth, grading depths, retaining wall heights, and LRDA.

C. Zoning Compliance

A single-family residence is permitted in the R-1:20 zone. The proposed residence is in compliance with the zoning regulations for allowable floor area, height, and on-site parking requirements for the property. The applicant requests exceptions to the zoning standards for side and rear setbacks, parking, and driveway depth.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes construction of a new 1,640-square foot, two-story residence with an attached two-car garage in a tandem configuration and an attached ADU (Exhibit 12). The project proposes a traditional Mediterranean style residence with subdued colors to blend with the surrounding hillside environment (Exhibit 4). The applicant has provided a Letter of Justification detailing the project and the requested exceptions to the requirements of the Town Code, HDS&G, and HSP (Exhibit 5). In addition to the 1,640 square feet of countable FAR, the residence includes 1,287 square feet of below-grade square footage. The residence includes an attached 564 square-foot garage in a tandem configuration. The proposed garage includes 338 square feet of below grade square footage that does not count toward FAR. The garage also includes areas that do count toward FAR: 163 square feet of above grade square footage; and 63 square feet of below grade square footage that extends beyond the footprint of the residence above. These areas are within the 400 square feet allowed for a garage on the property. A summary of the floor area for the proposed residence is included in the table below.

Floor Area				
	Above Grade	Below Grade	Below Grade Beyond Footprint	Totals
Lower Floor	313 sf	1,287 sf	0 sf	1,600 sf
Main Floor	1,327 sf	0 sf	0 sf	1,327 sf
Garage (Lower Floor)	163 sf	338 sf	63 sf	564 sf
Totals	1,803 sf	1,625 sf	63 sf	3,491 sf
Table does not include 516 sf attached ADU.				

The proposed residence would be sited in the middle of the property, uphill from the private road (Exhibit 12). The residence would extend outside of the LRDA and requires reduced side and rear setbacks. The maximum height of the proposed residence is 24 feet, nine inches, where a maximum of 30 feet is allowed by the Town Code and a maximum of 25 feet is allowed by the HDS&G for nonvisible homes. The project requires a Grading Permit for site improvements for earthwork quantities exceeding 50 cubic yards. The project also requires exceptions to setbacks, road width, parking, driveway depth, grading depths, retaining wall heights, and LRDA.

B. Building Design

The applicant proposes a traditional Mediterranean style residence with subdued colors to blend with the surrounding hillside environment (Exhibit 12). Proposed exterior materials include: a concrete tile roof; integral-colored smooth coat stucco siding with a belly band; metal-clad wood windows and doors; cast stone columns, trim, and windowsills; and

painted metal railings (Exhibit 4). The proposed exterior materials comply with the HDS&G standard for nonvisible homes, each having a light reflectivity value (LRV) less than 30.

The proposed residence has been designed to bench into the hillside to reduce building height and locate a significant portion of the massing below grade. The residence strategically incorporates hipped and flat roof forms to maintain compliance with the HDS&G maximum height standard of 25 feet. The proposed tandem garage configuration reduces the prominence of the street-facing garage while providing two parking spaces; although only one of the spaces meets the dimension requirements by the Town Code. An additional compliant on-site guest parking space is located north of the private road.

The Town's Consulting Architect reviewed the proposed residence and noted that the site slope, the fragmentation of the site into two parts, and the resultant small amount of developable area on the site are major constraints for this project (Exhibit 6). The Consulting Architect identified two issues and concerns and provided recommendations for changes to increase compatibility with the Residential Design Guidelines and the immediate neighborhood. In response to these recommendations, the applicant made modifications to the design of the residence and submitted a letter responding to the recommendations (Exhibit 7). The Consulting Architect's issues and recommendations are provided below, followed by the applicant's response in *italics*.

1. The tall side walls are not consistent with Residential Design Guideline 3.3.3.
Recommendation: Add projecting molding at the proposed color change. Note that the use of two wall colors or the use of a single color would both be acceptable.

A projecting molding has been added at the horizontal color change location around the entire perimeter of the building.

2. A second issue is of more concern and may not have a viable alternative aside from a smaller building footprint and volume. The issue is that the proposed house is quite close to the road and appears to be closer to the road than other nearby homes. This may be acceptable given the private access road, but it seems out of character with its current semirural, wooded environment.

The property shape and access through the lot is highly unusual and creates an undue hardship on the allowable building envelope that we cannot overcome. The road has been moved away from the building envelope as much as possible.

C. Height

The proposed residence would not be visible, as defined by the HDS&G, being 22 percent visible from the viewing area located at Los Gatos-Saratoga Road and Highway 17 (Exhibit 12, Sheets A-12 and A-13). Heights of nonvisible homes are limited by the HDS&G to a

maximum of 25 feet at any point and a low-to-high dimension of 35 feet. The proposed residence complies with these standards having a maximum height of 24 feet, nine inches; and a low-to-high dimension of 26 feet, three inches.

D. Neighborhood Compatibility

Pursuant to the Town Code, the maximum allowable floor area for the subject property is 1,656 square feet for the residence and 400 square feet for the garage. The following table reflects the current conditions of the homes in the immediate area and the proposed project.

FAR Comparison - Neighborhood Analysis							
Address	Zoning	Gross Lot Area SF	House SF	Garage SF	Total SF	House FAR	No. of Stories
56 Cleland Ave	R-1D	9,580	1,372	251	1,623	0.14	1
80 Cleland Ave	R-1D	15,649	972	341	1,313	0.06	1
90 Cleland Ave	R-1D	19,038	1,728	264	1,992	0.09	1
36 Rogers Rd	R-1:10	39,472	4,833	704	5,537	0.12	2
26 Rogers Rd	R-1:10	17,275	3,081	462	3,543	0.18	2
49 Reservoir Rd	R-1:20	18,613	3,012	962	3,974	0.16	2
47 Reservoir Rd	R-1:20	19,151	1,799	180	1,979	0.09	1
60 Rogers Rd	R-1:20	15,512	2,592	857	3,449	0.17	1
45 Reservoir Rd (P)	R-1:20	10,000	1,640	226	1,640	0.16	2

The eight properties in the immediate area are developed with one- and two-story residences and include a mix of architectural styles. The property sizes within the immediate area range from 0.22 to 0.91 acres. Based on Town and County records, the size of the residences located in the immediate area range from 972 square feet to 4,833 square feet. The applicant is proposing a residence of 1,640 square feet with an attached garage of 226 square feet. The 0.23-acre parcel allows for a maximum residence size of 1,656 square feet and a maximum garage size of 400 square feet by the Town Code. The proposed residence would be the seventh largest in terms of total square footage and the third largest in terms of FAR.

E. Site Design

The undeveloped property is approximately 10,000 square feet, located east of Reservoir Road and accessed via a private road that bisects the property and serves several lots between Reservoir Road and Rogers Street (Exhibit 1). The property has an average slope of 28 percent and ascends approximately 14 feet from north-to-south to the private road, from which the property ascends an additional 30 feet to the south property line (Exhibit 12). The LRDA is concentrated in the southern (rear) portion of the property and in the road area. The proposed residence is located on the south side of the private road, benched into

the hillside and extending outside of the limits of the LRDA. The proposed rear yard area is limited in size and formed by two retaining walls with maximum heights of five feet. Exterior access around the residence is provided by a stairway along the left side of the residence. The front yard area includes the existing private road, a guest parking space, and a firetruck turnaround. The required turnaround is located downslope of the residence utilizing a portion of the private road and requiring construction of retaining walls with a maximum height of 15 feet, six inches.

The proposed site design requires approval of several exceptions to the Town Code, HDS&G, and HSP including:

- Required 15-foot side and 25-foot rear setbacks (Town Code);
- Driveway/access road with a minimum width of 18 feet (Town Code);
- Two off-street parking spaces, configuration, and dimensions (Town Code);
- Driveway depth of at least 18 feet in length (Town Code);
- Grading depths shall not exceed four feet of cut and/or three feet of fill (HDS&G);
- Retaining wall heights should not be higher than five feet (HDS&G);
- Buildings shall be located within the LRDA (HDS&G); and
- Four guest parking spaces shall be provided (HSP)

Setbacks:

The R-1:20 zone requires a minimum lot size of 20,000 square feet; a lot width of 100 feet; and minimum setbacks of 30 feet in the front, 25 feet in the rear, and 15 feet on the sides. The subject property was the product of a 2015 merger of six lots into three lots. What resulted was a lot that is nonconforming with an area of 10,000 square feet and a width of 83 feet. In addition to these nonconforming characteristics, the lot is further burdened with a private access road that bisects the property near the middle. As a result, the building envelope is limited to the southern portion of the property, south of the private road.

The proposed two-story residence meets the required front setback, and includes a rear setback of 19 feet, seven inches, and sides setbacks of 12 feet, 10 inches, and 12 feet, six inches. The applicant's Letter of Justification notes that the nonconforming characteristics of the lot and the location of the existing private road necessitate reduced side and rear setbacks (Exhibit 5). The requested reduced setbacks allow the residence, with the desired architectural program, to be less visible and comply with the height limitations.

Town Code Section 29.10.265 (3) allows the Planning Commission to modify any rule of the zone including front, side, and rear setback requirements so that the building and its use will be compatible with the neighborhood. A review of Town records shows that the proposed setbacks would be compatible with three residences in the immediate neighborhood that include setbacks that do not meet the requirements of the zone.

Driveway/Access Road Width:

Town Code Section 29.10.155 requires driveways/access roads to be at least 18 feet wide. The existing private road varies in width as it traverses six properties between Reservoir Road and Rogers Street. The road width does not meet Town Code standards in numerous locations. The applicant proposes to widen portions of the road on their property to meet the 18-foot requirement, but notes in their Letter of Justification that they do not control the portions of the road that are not on the subject property (Exhibit 5). The applicant continues that they balanced the road widening with fire access, tree preservation, and existing conditions in addressing this requirement. The applicant requests an exception to the road width requirement.

Required Off-Street Parking:

Pursuant to Town Code Section 29.10.155 (d)(3), when a garage is used to accommodate the two required parking spaces for single-family dwellings, the garage must have interior clear dimensions of at least 20 feet by 20 feet. This requirement results in a side-by-side parking configuration. The applicant proposes an attached two-car garage in a tandem configuration. Of the two provided parking spaces within the garage, one meets the minimum dimensions for a single-car garage parking space of 11 feet by 20 feet. The applicant requests an exception to allow the tandem configuration and the dimensions of the second parking space to be reduced to 11 feet by 18 feet. Section 29.10.150 (h)(2) allows the deciding body to consider an exception when the lot does not have adequate area to provide parking as required. In their Letter of Justification, the applicant notes that an 18-foot-long parking space is still practical and would provide for additional backup space (Exhibit 5).

Driveway/Backup Distance:

The Town Code requires that garages opening up onto a street be served by a driveway with a length not be less than 18 feet. Given the site constraints, a compliant driveway is not feasible. The proposed driveway is approximately three feet, six inches at its shortest point. The width of the roadway and firetruck turnaround adjacent to the garage is 49 feet, five inches and would provide ample back up distance for vehicles exiting the garage. The private road serves five other properties and vehicular traffic is anticipated to be minimal, limiting potential conflicts with the proposed driveway configuration. The applicant requests an exception to the driveway depth requirement due to the constraints of the site.

Grading Depths:

The HDS&G limits grading depths outside of the footprint of a primary residence to four feet of cut and three feet of fill. The proposed site work includes cut depths of eight feet, three inches in the rear yard area where retaining walls would be used to create a limited outdoor

living area. The required firetruck turnaround requires backfill of the proposed retaining walls with depths up to 15 feet, six inches. In their Letter of Justification, the applicant notes that inclusion of an on-site turnaround is unavoidable due to the configuration of the private road (Exhibit 5). The applicant also notes that the required backfill for the turnaround will help reduce soil off haul from the excavation for the residence by allowing the spoils to be used as fill.

Retaining Wall Heights:

The HDS&G includes a guideline that retaining walls should not exceed a height of five feet and that when additional retained heights are needed due to extreme site conditions, the use of multiple terraced retaining walls is preferred. The proposed on-site firetruck turnaround is required since the private roadway connecting Reservoir Road and Rogers Street includes a turn onto Rogers Street with a radius that is too sharp for firetruck circulation. Due to the numerous constraints of the site and the dimension and slope requirements of a turnaround, the applicant proposes retaining walls on the north portion of the property with heights between five feet and fifteen feet, six inches. Due to the limited space available to provide a turnaround, the use of terraced retaining walls is not feasible. In their Letter of Justification, the applicant requests an exception and notes the dimension and slope requirements of the turnaround area, which necessitates the tall retaining walls (Exhibit 5). The applicant proposes soldier pile and wood lagging retaining walls to provide a natural appearance. The Landscape Plans show that nine 24-inch box Thuja green giant trees would be planted at the base of the wall to provide screening and reduce the visual impact of the walls. These proposed trees are located greater than 30 feet from residence and would not be consistent with the HDS&G requirement that plant species in this zone be native and indigenous. The draft conditions of approval include a condition to revise this species to be consistent with this requirement.

Buildings Outside of the LRDA:

The HDS&G includes a standard requiring that buildings be located in the LRDA. The LRDA on the subject property is concentrated in the southern (rear) portion of the property and the area of the existing private road. Much of the proposed residence would extend outside of the LRDA limits due to the limited areas of LRDA and other site constraints. In their Letter of Justification, the applicant describes the limited LRDA and that there is not enough area to allow the construction of a new residence. Due to site constraints, the applicant requests an exception to allow the building to be located outside of the limited LRDA.

Guest Parking:

Four additional guest parking spaces are required by the HSP. One guest space is proposed on the north side of the private road. The applicant's Letter of Justification notes that the size and configuration of the lot, along with the prioritization of site access for residents and

the fire department, have made it challenging to provide all four guest spaces (Exhibit 5). The applicant requests an exception to allow only one guest parking space.

F. Tree Impacts

The development plans were reviewed by the Town's Consulting Arborist who inventoried 18 protected trees within the project area and made recommendations for their preservation (Exhibit 8). The project proposes removal of 10 protected trees to accommodate the new residence. Tree protection measures are included on Sheet A-5 of the development plans (Exhibit 12). In response to the Consulting arborists recommendations, the applicant adjusted the location of drainage infrastructure to reduce impacts to existing oak trees. The Landscape Plans indicate that 32 new trees will be planted on site to offset the proposed tree removal. If the project is approved, tree protection measures would be implemented prior to construction and maintained for the duration of construction activity. Arborist recommendations for tree protection have been included in the Conditions of Approval to mitigate impacts to protected trees (Exhibit 3).

G. Visibility

Pursuant to the HDS&G, a visible home is defined as a single-family residence where 24.5 percent or more of an elevation can be seen from any of the Town's established viewing areas. The applicant's visibility analysis provides a perspective of the proposed residence from the viewing area located at Los Gatos-Saratoga Road (Highway 9) and Highway 17 (Exhibit 12). The provided analysis shows that the proposed residence would be 22 percent visible and is considered not visible by the HDS&G. Nonvisible homes shall not exceed a height of 25 feet and a low-to-high height of 35 feet. As discussed above, the proposed residence complies with these HDS&G height standards. Several on-site trees screen the residence and meet the health requirements for inclusion in the visibility calculation. Conditions of approval are included in Exhibit 3 requiring maintenance of the existing trees to remain and replacement of any trees used in the visibility analysis if they die or are removed. Additionally, the LRV of all exterior materials for nonvisible residences may be averaged and may not exceed an average LRV of 30. The proposed residence would meet the LRV limitations as shown on the provided color and materials board (Exhibit 4).

H. Grading

The Site Planning Section of the HDS&G limits site grading cut depths to a maximum of four feet and fill depths to a maximum of three feet. As discussed above, the applicant is requesting an exception to the cut depth limitations to allow a maximum cut of eight feet, three inches in the rear yard area where retaining walls would be used to create a limited outdoor area. Additionally, the applicant is requesting an exception to the fill depth limitations to allow a maximum fill depth of 15 feet, six inches in portions of the driveway and fire truck turnaround area to meet the requirements of the Santa Clara County Fire

Department. The applicant has included a Letter of Justification addressing the requested exceptions (Exhibit 5). This application has been reviewed and approved by the Town's Engineering Division and the Santa Clara County Fire Department.

The project also includes site improvements with grading quantities exceeding 50 cubic yards, which requires approval of a Grading Permit. The Town's Parks and Public Works Engineering staff have included a condition of approval requiring submittal and evaluation of a Grading Permit in parallel with the required Building Permits (Exhibit 3).

I. Neighbor Outreach

In their Letter of Justification, the applicant provides a summary of their neighbor outreach efforts (Exhibit 5).

J. CEQA Determination

The project is Categorical Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

PUBLIC COMMENTS:

Story poles and project signage were installed on the site by November 21, 2024, in anticipation of the January 8, 2025, Planning Commission hearing (Exhibit 9). Public comments received by 11:00 a.m., Friday, January 3, 2025, are included as Exhibit 11.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for construction of a new a single-family residence with reduced side and rear yard setbacks, site improvements requiring a Grading Permit, and removal of large protected trees on a nonconforming vacant property. The residence is well designed and compatible with the immediate area. The project is consistent with the Zoning and General Plan Land Use Designation for the property. Due to the desired architectural program and the constraints of the site, the applicant is requesting exceptions to setbacks, road width, parking, driveway depth, grading depths, retaining wall heights, and LRDA, and has provided a Letter of Justification discussing these requested exceptions (Exhibit 5). Aside from the requested exceptions, the project complies with the Zoning Code, Hillside Development Standards and Guidelines, and Hillside Specific Plan.

B. Recommendation

Staff recommends that the Planning Commission consider the request and, if merit is found with the proposed project, take the following steps to approve the Architecture and Site application:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
2. Make the finding as required by Section 29.10.265 of the Town Code to allow exceptions to side and rear setbacks, driveway/access road width, and driveway depth on a nonconforming property (Exhibit 2);
3. Make the finding as required by Section 29.10.150 (h)(2) of the Town Code to allow an exception to parking requirements when a lot does not have adequate area to provide parking as required;
4. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except for the side and rear setbacks; driveway/access road width; parking configuration and dimensions; and driveway depth (Exhibit 2);
5. Make the finding that the project is in compliance with the Residential Design Guidelines for single-family residences (Exhibit 2);
6. Make the finding that due to the constraints of the site, exceptions to grading depths, retaining wall heights, and buildings located outside of the Least Restrictive development Area (LRDA) appropriate, and the project is otherwise in compliance with the applicable sections of the Hillside Development Standards and Guidelines (Exhibit 2);
7. Make the finding that other than an exception to the guest parking requirement, the project complies with the Hillside Specific Plan (Exhibit 2);
8. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
9. Approve Architecture and Site Application S-22-048 with the conditions contained in Exhibit 3 and the development plans in Exhibit 12.

C. Alternatives

Alternatively, the Planning Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

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SUBJECT: 45 Reservoir Road/S-22-048

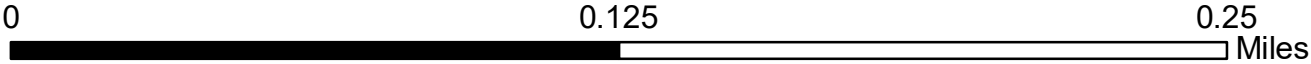
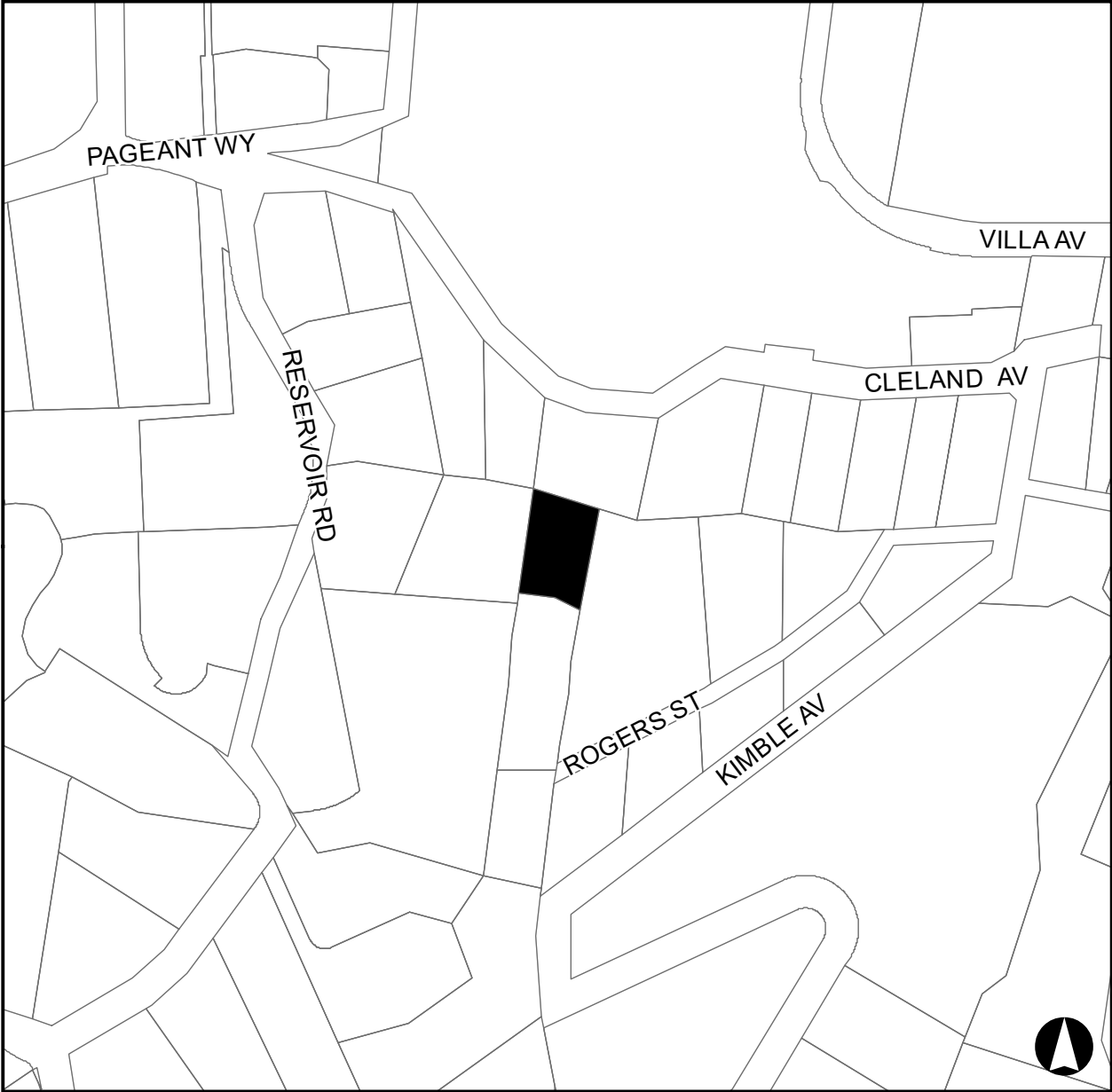
DATE: January 3, 2025

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Color and Materials Board
5. Letter of Justification
6. Consulting Architect's Report
7. Applicant's Response to Consulting Architect's Report
8. Consulting Arborist's Report
9. Story Pole Photos
10. Site Photos
11. Public comments received by 11:00 a.m., Friday, January 3, 2025
12. Development Plans

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45 Reservoir Road



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DEVELOPMENT REVIEW COMMITTEE – January 8, 2025
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

45 Reservoir Road

Architecture and Site Application S-22-048

Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Side and Rear Yard Setbacks, Site Improvements Requiring a Grading Permit, and Removal of Large Protected Trees on a Nonconforming Vacant Property Zoned R-1:20. APN 529-33-054. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction.

Property Owner: Farnaz Agahian
Applicant: Gary Kohlsaas, Architect
Project Planner: Sean Mullin

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

Required finding for a setback exception on a non-conforming property:

- As required by Section 29.10.265 of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements, driveway/access road width, and driveway depth:
 1. The subject property is nonconforming with regard to lot size; and
 2. The side and rear setbacks, driveway/access road width; and driveway depth of the new residence are compatible with the neighborhood.

Required finding for exemption to parking requirements:

- As required by Section 29.10.150 (h)(2) of the Town Code to allow an exception to parking requirements, the lot does not have adequate area to provide parking as required.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except for the side and rear setbacks, driveway/access road width,

parking configuration and dimensions, and driveway depth and the findings for these exceptions can be made.

Required compliance with the Residential Design Guidelines:

- The project complies with the Residential Design Guidelines for single-family residences.

Required compliance with the Hillside Development Standards and Guidelines:

- The project complies with the Hillside Development Standards and Guidelines except for the exceptions to grading depths, retaining wall heights, and buildings located outside of the least restrictive development area.

Required compliance with the Hillside Specific Plan:

- As required, the project complies with the Hillside Specific Plan except for the exception to the guest parking requirement.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

DRAFT

PLANNING COMMISSION – January 8, 2025
CONDITIONS OF APPROVAL

45 Reservoir Road
Architecture and Site Application S-22-048

Consider a Request for Approval to Construct a New Single-Family Residence with Reduced Side and Rear Yard Setbacks, Site Improvements Requiring a Grading Permit, and Removal of Large Protected Trees on a Nonconforming Vacant Property Zoned R-1:20. APN 529-33-054. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction.

Property Owner: Farnaz Agahian
Applicant: Gary Kohlsaar, Architect
Project Planner: Sean Mullin

TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
7. TREE FENCING: Protective tree fencing and other protection measures consistent with Section 29.10.1005 of the Town Code shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.

9. LANDSCAPE SPECIES: Revise all landscape species to be consistent with the Hillside Development Standards and Guidelines.
10. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
12. STORY POLES/PROJECT IDENTIFICATION SIGNAGE: Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture & Site application.
13. EXTERIOR COLORS: The exterior colors of all structures shall comply with the Hillside Development Standards & Guidelines.
14. DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all exterior materials be maintained in conformance with the Town's Hillside Development Standards & Guidelines.
15. MAINTENANCE AGREEMENT: Following the issuance of a certificate of occupancy, the property owner shall execute a five-year maintenance agreement with the Town that the property owner agrees to protect and maintain the trees shown to remain on the approved plans, trees planted as part of the tree replacement requirements, and guarantees that said trees will always be in a healthy condition during the term of the maintenance agreement.
16. TREE DEED RESTRICTION: Prior to issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that identifies the on-site trees that were used to provide screening in the visibility analysis and requires their replacement if they die or are removed.
17. NESTING BIRDS: To avoid impacts to nesting birds, the removal of trees and shrubs shall be minimized to the greatest extent feasible. Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction starts, if work is scheduled to start or if work already occurring during the nesting season stops for at least two weeks and is scheduled to resume during the bird nesting season, then a qualified biologist shall conduct a pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project construction. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 14 days prior to start of construction, with the second survey conducted with 48 hours prior to start of construction. Appropriate minimum survey radius surrounding each work area is typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. If

the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize “normal” bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

18. SPECIAL-STATUS BATS: Approximately 14 days prior to tree removal or structure demolition activities, a qualified biologist shall conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and within and surrounding any structures that may be disturbed by the project. These surveys will include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an “Anabat” unit. Potential roosting features found during the survey shall be flagged or marked.

If no roosting sites or bats are found, a letter report confirming absence will be prepared and no further measures are required.

If bats or roosting sites are found, a letter report and supplemental documents will be prepared prior to grading permit issuance and the following monitoring, exclusion, and habitat replacement measures will be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they will be evicted as described under (b) below. If bats are found roosting during the nursery season, they will be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats will be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the CDFW) will be established around the roosting site within which no construction activities including tree removal or structure disturbance will occur until after the nursery season.

- b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures scheduled to be disturbed by project activities, the individuals will be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction.

If needed, other methods conducted under the direction of a qualified bat biologist could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance of any structures will be conducted no earlier than the following day (i.e., at least one night will be provided between initial roost eviction disturbance and tree removal/structure disturbance). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

19. **ARCHAEOLOGICAL RESOURCES AND HUMAN REMAINS:**
 - a. In the event that archaeological traces are encountered, all construction within a 50-meter radius of the find will be halted, the Community Development Director will be notified, and an archaeologist will be retained to examine the find and make appropriate recommendations.
 - b. If human remains are discovered, the Santa Clara County Coroner will be notified. The Coroner will determine whether or not the remains are Native American. If the Coroner determines the remains are not subject to his authority, he will notify the Native American Heritage Commission, who shall attempt to identify descendants of the deceased Native Americans.
 - c. If the Community Development Director finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in CEQA Guidelines Section 15064.5(e). If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Community Development Director for consideration and approval, in conformance with the protocol set forth in Public Resources Code Section 21083.2.
 - d. A final report shall be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report will include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
20. **DUSKY-FOOTED WOODRATS:** This project will implement the following standard measures to minimize impacts on woodrats and active woodrat nests on the project site.

- a. PRECONSTRUCTION SURVEY. A qualified biologist will conduct a preconstruction survey for San Francisco dusky-footed woodrat nests within 30 days of the start of work activities. If active woodrat nests are determined to be present in, or within 10 feet of the impact areas, the conditions below (Avoidance and/or Nest Relocation) will be implemented, as appropriate. If no active woodrat nests are present on or within 10 feet of impact areas, no further conditions are warranted.
- b. AVOIDANCE. Active woodrat nests that are detected within the work area will be avoided to the extent feasible. Ideally, a minimum 10-foot buffer will be maintained between project activities and woodrat nests to avoid disturbance. In some situations, a small buffer may be allowed if, in the opinion of a qualified biologist, nest relocation (below) would represent a greater disturbance to the woodrats than the adjacent work activities.
- c. NEST RELOCATION. If avoidance of active woodrat nests within and immediately adjacent to (within 10 feet of) the work areas is not feasible, then nest materials will be relocated to suitable habitat as close to the project site as possible (ideally, within or immediately adjacent to the project site).

Relocation efforts will avoid the peak nesting season (February-July) to the maximum extent feasible. Prior to the start of construction activities, a qualified biologist will disturb the woodrat nest to the degree that all woodrats leave the nest and seek refuge outside of the construction area. Disturbance of the woodrat nest will be initiated no earlier than one hour before dusk to prevent the exposure of woodrats to diurnal predators. Subsequently, the biologist will dismantle and relocate the nest material by hand. During the deconstruction process, the biologist will attempt to assess if there are juveniles in the nest. If immobile juveniles are observed, the deconstruction process will be discontinued until a time when the biologist believes the juveniles will be capable of independent survival (typically after 2 to 3 weeks). A no-disturbance buffer will be established around the nest until the juveniles are mobile. The nest may be dismantled once the biologist has determined that adverse impacts on the juveniles would not occur.

21. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded

basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

22. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

23. PERMITS REQUIRED: A Building Permit is required for the construction of the new single-family residence and attached garage. An additional Building Permit will be required for the PV System that is required by the California Energy Code.
24. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
25. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
26. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
27. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
28. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
29. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
30. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation

- c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
31. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
 32. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch-wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
 33. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
 34. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
 35. WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2019 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
 36. PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
 37. PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
 38. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
 39. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
 40. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:

- a. Community Development – Planning Division: (408) 354-6874
- b. Engineering/Parks & Public Works Department: (408) 399-5771
- c. Santa Clara County Fire Department: (408) 378-4010
- d. West Valley Sanitation District: (408) 378-2407
- e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

- 41. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner’s representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner’s expense.
- 42. PAYMENT OPTIONS:
 - a. All payments regarding fees and deposits can be mailed to:
 Town of Los Gatos PPW – Attn: Engineering Dept
 41 Miles Avenue
 Los Gatos, CA 95030

Or hand deliver/drop off payment in engineering lock box
 Checks made out to **“Town of Los Gatos”** and should mention **address and application number** on memo/note line.
- 43. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 44. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town’s Engineering Design Standards, which are available for download from the Town’s website.
- 45. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
- 46. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to

the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.

47. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
48. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed, therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
49. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
50. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
51. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.
52. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
53. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
54. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of

the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.

55. **ILLEGAL GRADING:** Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
 - a. **DUST CONTROL:** Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
56. **CONSTRUCTION ACTIVITIES:** All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
57. **SILT AND MUD IN PUBLIC RIGHT-OF-WAY:** It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
58. **COVERED TRUCKS:** All trucks transporting materials to and from the site shall be covered.
59. **GOOD HOUSEKEEPING:** Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person, or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense
60. **SITE DESIGN MEASURES:** This project shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.

- d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
61. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
 62. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration, or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
 63. SANITARY SEWER CLEANOUT: Sanitary sewer cleanouts shall be relocated within the property in question.
 64. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - a. Along with the Owner, Applicant and/or Developer, attend a pre-construction meeting with the Town Inspector to discuss the project conditions of approval, working hours, site maintenance, and other construction matters.
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
 65. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
 66. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
 67. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). Grading work taking place either simultaneously, on-site is considered eligible for the grading permit process and could be counted toward quantities, depending on permit status. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the A&S review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works

Department located at 41 Miles Avenue. The grading plans shall include topographic map/existing conditions, final grading, drainage, retaining wall location(s), driveway, utility sheet and erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

68. SECURITY OF PERFORMANCE: Prior to approval of the grading permit, the applicant shall provide security for the performance of the work described and delineated on the approved grading plans. The form of security shall be one (1) or a combination of the following to be determined by the Town Engineer and subject to the approval of the Town Attorney
 - a. Bond or bonds issued by one (1) or more duly authorized corporate sureties on a form approved by the Town.
 - b. Deposit, with the Town, money, negotiable bonds of the kind approved for securing deposits of public monies, or other instrument of credit from one (1) or more financial institutions subject to regulation by the State or Federal Government wherein such financial institution pledges funds are on deposit and guaranteed for payment.
69. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15).
70. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
71. DRAINAGE STUDY: Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
72. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading permits, the Owner, Applicant and/or Developer shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the

- proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
73. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit. An arborist report may be necessary.
 74. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall: top of wall elevations and locations.
 - b. Toe and top of cut and fill slopes.
 75. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
 76. PROXIMITY OF RETAINING WALLS TO ADJACENT BUILDINGS: Prior to the issuance of a grading or building permit, structural details for the proposed retaining walls located immediately adjacent to or in the immediate vicinity of existing buildings on adjoining lots shall be submitted confirming that said walls will not negatively affect the structural integrity of these buildings.
 77. WEST VALLEY SANITATION DISTRICT: All sewer connection and treatment plant capacity fees shall be paid either immediately prior to the issuance of a sewer connection permit. Written confirmation of payment of these fees shall be provided prior to issuance of the Grading Permit.
 78. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.
 79. GEOTECHNICAL/GEOLOGICAL ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner's soils engineer and submitted to the Town before a certificate of occupancy is granted.
 80. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
 81. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building or grading permit, the Owner shall pay the project's proportional share of transportation improvements

needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued.

82. PRECONSTRUCTION PAVEMENT SURVEY: Prior to issuance of any grading or building permit, the Owner, Applicant and/or Developer shall complete a pavement condition survey documenting the extent of existing pavement defects using a smartphone video (in Landscape orientation only) or digital video camera. The survey shall extend the length of Reservoir Road and the connecting private access driveway. The results shall be documented in a report and submitted to the Town for review.
83. POSTCONSTRUCTION PAVEMENT SURVEY: The Owner, Applicant and/or Developer shall complete a pavement condition survey covering the same sections of roads documented in the Preconstruction Pavement Survey to determine whether road damage occurred as a result of project construction and whether there were changes in pavement strength. Rehabilitation improvements required to restore the pavement to pre-construction condition. The results shall be documented in a report and submitted to the Town for review and approval before a Certificate of Occupancy for any new building can be issued. The Owner, Applicant and/or Developer shall be responsible for completing any required road repairs prior to release of the faithful performance bond.
84. ON-SITE/OFF-SITE PARKING: Parking spaces shall be paved with a compacted base not less than four (4) inches thick, surfaced with asphaltic concrete or Portland cement concrete pavement or other surfacing (e.g.: permeable paving materials, interlocking pavers and ribbon strip driveways) approved by the Town Engineer.
85. TRAFFIC CONTROL PLAN: If a traffic control plan is required, it must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
 - a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.
 - b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
 - c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
86. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities or providing additional traffic

control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand, and other loose debris.

87. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed portable restroom locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
88. SHARED PRIVATE STREET: The private street accessing the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.
89. EMERGENCY VEHICLE ACCESS: The Emergency Vehicle Access Easement (EVAE) that traverses the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.
90. EMERGENCY VEHICLE ACCESS EASEMENT: Prior to the issuance of any grading or building permits, the Owner, Applicant and/or Developer shall coordinate with the Santa Clara County Fire Department to ensure that any proposed modifications to the Emergency Vehicle Access Easement that traverses the Project Site are curvilinear, allows for the Department's equipment to travel across said easement, and meets all Department specifications. Plans shall be submitted to the Santa Clara County Fire Department for approval prior to construction.
91. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required at the property line, within one (1) foot of the property line, or at a location specified by the Town.
92. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition.

Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.

93. RELOCATION OF TRASH AND RECYCLING COLLECTION LOCATION: Prior to the issuance of any permits, an approval letter from West Valley Collection & Recycling accepting the

trash and recycling collection locations shall be provided to the Town.

94. **BEST MANAGEMENT PRACTICES (BMPs):** The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
95. **INFILTRATION TRENCHES:** The following requirements apply to the proposed infiltration trenches:
 - a. Prior to completion of the Final Stormwater Control Plan, a geotechnical engineer shall review the design of the infiltration trenches and retaining walls along the portion of the road within the property boundary and determine whether additional structural supports are needed to ensure stability of the road and the adjacent hillside during the wet season.
 - b. The assumed infiltration rate shall be verified with actual site-specific soils data prior to the Final Stormwater Control Plan for the development. If the infiltration rate is lower, a hydrologic analysis shall be conducted to ensure that the proposed trench sizes are adequate.
 - c. The infiltration trench shall be protected from sediment generated during construction of homes on the lots. The proposed source control measures shall be indicated on the project plans.
 - d. Maintenance of stormwater treatment and the infiltration trenches shall be the responsibility of the property owner and/or future property owners.
96. **UNLAWFUL DISCHARGES:** It is unlawful to discharge any wastewater or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning, or vehicle cleaning.
97. **EROSION CONTROL:** Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department during the grading permit application process. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to silt fences, fiber rolls (with locations and details), erosion control blankets,

Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months.

98. **AIR QUALITY:** To limit the project's construction-related dust and criteria pollutant

emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
 - f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
 - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
 - j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
99. **DETAILING OF STORMWATER MANAGEMENT FACILITIES:** Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted grading and drainage plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
100. **WATER FEATURES:** New swimming pools, hot tubs, spas and/or fountains shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's authority and standards, to facilitate draining events. Discharges from these feature(s) shall be directed to the sanitary sewer and are not allowed into the storm drain system.
101. **SITE DRAINAGE:** Rainwater leaders shall be discharged to splash blocks. On-site drainage

systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used, they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure will not adversely affect the adjacent property. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

102. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
103. NOTE: The subject property is located within the Very High Fire Hazard Severity Zone (VHFHSZ) of the Local Responsibility Area (LRA). Pursuant to California Public Resources Code (PRC) 4290, the California Board of Forestry and Fire Protection is required to "...adopt regulations implementing minimum fire safety standards related to defensible space" applicable to "the perimeters and access to all residential, commercial, and industrial building construction." In 2018, the Legislature passed and the Governor signed SB 901 (Dodd), which expanded the applicability of the regulations promulgated under PRC 4290 to land in the Local Responsibility Area (LRA) Very High Fire Hazard Severity Zone. Where a conflict exists between local & 4290 requirements, the more stringent requirement shall apply. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.08. All comments below that result from PRC 4290 are identified by **.
104. **WIDTH: (a) All roads shall be constructed to provide a minimum of two ten (10) foot traffic lanes, not including shoulder and striping. These traffic lanes shall provide for two-way traffic flow to support emergency vehicle and civilian egress, unless other standards are provided in this article or additional requirements are mandated by local jurisdictions or local subdivision requirements. Vertical clearances shall conform to the requirements in California Vehicle Code section 35250. (b) All one-way roads shall be constructed to provide a minimum of one twelve (12) foot traffic lane, not including shoulders. The local jurisdiction may approve one-way roads. (1) All one-way roads shall, at both ends, connect to a road with two traffic lanes providing for travel in different directions, and shall provide access to an area currently zoned for no more than ten (10) residential units. (2) In no case shall a one-way road exceed 2,640 feet in length. A turnout shall be placed and constructed at approximately the midpoint of each one-way road. (c) All driveways

shall be constructed to provide a minimum of one (1) ten (10) foot traffic lane, fourteen (14) feet unobstructed horizontal clearance, and unobstructed vertical clearance of thirteen feet, six inches (13' 6"). California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2 Articles 1-5, § 1273.01.

-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.

105. ****ROAD SURFACES:** (a) Roads shall be designed and maintained to support the imposed load of fire apparatus weighing at least 75,000 pounds and provide an aggregate base. (b) Driveways and road and driveway structures shall be designed and maintained to support at least 40,000 pounds. (c) Project proponent shall provide engineering specifications to support design, if requested by the local authority having jurisdiction. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.02.

-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.

106. ****GRADES:** (a) At no point shall the grade for all roads and driveways exceed 16 percent. (b) The grade may exceed 16%, not to exceed 20%, with approval from the local authority having jurisdiction and with mitigations to provide for same practical effect. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.03.

-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.

107. ****RADIUS:** (a) No road or road structure shall have a horizontal inside radius of curvature of less than fifty (50) feet. An additional surface width of four (4) feet shall be added to curves of 50-100 feet radius; two (2) feet to those from 100-200 feet. (b) The length of vertical curves in roadways, exclusive of gutters, ditches, and drainage structures designed to hold or divert water, shall be not less than one hundred (100) feet. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.04.

-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.

108. ****TURNAROUND:** (As noted on sheet A-4 and sheet 4) (a) Turnarounds are required on driveways and dead- end roads. (b) The minimum turning radius for a turnaround shall be forty (40) feet, not including parking, in accordance with the figures in 14 CCR §§ 1273.05(e) and 1273.05(f). If a hammerhead/T is used instead, the top of the "T" shall be a minimum of sixty (60) feet in length.(c) Driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided no more than 400 feet apart. (d) A turnaround shall be provided on driveways over 300 feet in length and shall be within fifty (50) feet of the building.(d) Each dead-end road shall have a turnaround constructed at its terminus. Where parcels are zoned five (5) acres or larger, turnarounds shall be provided at a maximum of 1,320 foot intervals.(e) Figure A. Turnarounds on roads with two ten-foot traffic lanes. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.05.

-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.

109. PRC 4290 REQUEST FOR EXCEPTION CONDITIONS OF APPROVAL:
- a. A copy of the Alternate Means/Methods application form including approval signature, exhibits, and these comments shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.
 - b. Sign(s) to be provided:
 - At Reservoir St indicating the turnaround is onsite.
 - At turnaround indicating the turnaround location and no parking in the turn around.
 - c. Language and location of these signs to be provided on building permit drawings, and approved prior to building permit issuance.
110. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet A1) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations.
111. REQUIRED FIRE FLOW: (Letter received) The minimum require fireflow for this project is 875 Gallons Per Minute (GPM) at 20 psi residual pressure. This fireflow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]
112. FIRE DEPARTMENT (ENGINE) DRIVEWAY TURNAROUND REQUIRED: (As noted on sheet A-4 and sheet 4) Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. Maximum grade in any direction shall be a maximum of 5%. Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503.
-Approved Request of Exception PC 24-2558. See comment number 108 for conditions of approval.
113. WILDLAND-URBAN INTERFACE: This project is located within the designated Wildland-Urban Interface Fire Area. The building construction shall comply with the provisions of California Building Code (CBC) Chapter 7A. Note that vegetation clearance shall be in compliance with CBC Section 701A.3.2.4 prior to project final approval. Check with the Planning Department for related landscape plan requirements.
114. WATER SUPPLY REQUIREMENTS: (As Noted on Sheet A1) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

115. ADDRESS IDENTIFICATION: (As Noted on Sheet A1) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
116. CONSTRUCTION SITE FIRE SAFETY: (As Noted on Sheet A1) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
117. EMERGENCY GATE/ACCESS GATE REQUIREMENTS: (As Noted on Sheet A1) Gate installations shall conform with Fire Department Standard Details and Specification G-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed; if they are operated manually, then an approved Knox padlock shall be installed.
118. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance [CFC, Ch.1, 105.3.6].

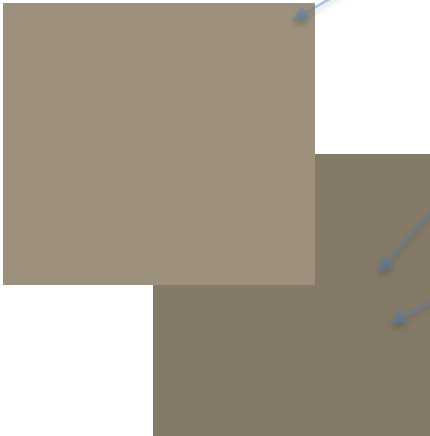
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DRAFT



ROOF COVER: FLAT SHAPE CONCRETE TILE

EAGLE ROOFING, flat profile concrete tile
- Color Concord Blend or similar (LRA 19.71)



EXTERIOR WALLS: SMOOTH STUCCO

BENJAMIN MOORE
Color Raccoon Hollow 978 or similar (LRV 27.93)

EXTERIOR WALLS: SMOOTH STUCCO

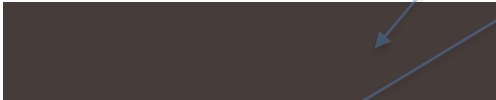
BENJAMIN MOORE
Color Stampede 979 or similar (LRV 19.00)

PATIO AND COLUMNS:

BENJAMIN MOORE. Cast stone decorative columns.
Color Stampede 979 or similar (LRV 19.00)

WINDOW AND DOOR:

Combination of aluminum clad & steel window and door
Color ranges from dark bronze to black (LRV 2.48)



TRIM:

Decorative cast stone trim.

LIGHT FIXTURE:

Wall mounted fixture with shield (similar).
Matte texture in black finish.



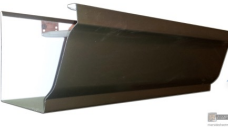
RAIL/ GUARD:

Combination of solid low wall with stucco finish & open decorative iron rail with matte black painted finish.



GUTTER:

Painted, matte finish. Color ranges from dark bronze to black.



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Planning Department
Community Development Department, Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

July 30, 2024

Re: The Agahian Residence, 45 Reservoir Road, Los Gatos
Project Description/ Letter of Justification (ver 2.0)
Updated 11.26.24

To Whom it May Concern:

On behalf of the property owner Ms. Farnaz Agahian, I am pleased to present this project for an Architecture and Site application. The proposed project includes the construction of a new two-story residence with an attached two car garage, as well as an attached accessory dwelling unit (ADU). The letter, accompanies the building plans and supplemental exhibits, contains descriptions of the property, the neighborhood. It also describes how the proposed development complies with the Hillside Development Standards and Guidelines.

DESCRIPTION OF EXISTING PROPERTY

Access

The property is located along a private access road of Reservoir Drive, connecting both the public portion of Reservoir Drive and Roger Street with access gates on both ends. This private road serves a total of 5 properties including the subject property. The 10,000sf vacant lot was sub-divided via a lot merger application back in 2015 (from 60 Rogers Street) and was zoned R-1-20. The property borders a group of R-1-10 lots on the eastern side and a group of R-1D lots on the northern side. An easement was established along Reservoir Drive for ingress/ egress, with utility easements (gas and sanitary sewer) going back to 60 Rogers Street.

Topography

This site has a north facing slope that averages at 28%, with the least restrictive development areas (LRDA) mainly on the access road and a few small graded areas throughout. A series of mature oak trees cover the rear, eastern and western property lines. Remnants of old stone steps and retaining walls can be seen where the new perimeter wood fence is erected. An asphalt paved access road cuts thru the property and a relatively steep cut bank can be seen downhill from the road (likely from the creation of the road). Overall, apart from being visible to the immediately adjacent neighbors, the property is relatively private and isolated.

DESCRIPTION OF PROPOSED RESIDENCE

Early Development and Challenges:

With the lot sized at 83ft wide by 126ft long, this 10,000sf lot was zoned R-1-20 with associated setbacks: side setback is 15ft, the rear setback is 25ft and the front setback is 30ft. In addition, the majority of the LRDA area is over the access road, which cuts through and takes up 1/3 of the building envelope, leaving the rest of the building envelope very limited and at a slope over 30%.

An early application back in 2018 was submitted by a different owner for a 2,400sf, 2.5-story home with a basement. A couple issues were brought up during the development review regarding the massing of the building, high hillside visibility and the large amount of retaining wall and road expansion work to accommodate a fire-truck turnaround.

The hillside overlay design standards further restricted the building envelope with their 18ft /28ft height limits, allowable floor area (FAR), fire access, among other hillside challenges.

Final Design and Solutions:

The top priorities for the final design are working with the existing road, fitting the program efficiently in the tight building envelope, balancing the building mass and reducing the hillside visibility. A couple strategies were applied included using a tandem garage to limit facade massing, going with a reverse floor plan (with bedrooms on the lower floor and main living spaces on the upper floor) to make best use of the limited windows/views, and limiting the building to a two-story design with a stepped facade/shape following the road and the topography contour. In working with a steep topography, a sizable amount of the lower floor (70%) is located below grade to reduce visible bulk and mass.

Even with all these methods, development exceptions to build outside of the LRDA as well as going into the side and rear setbacks are still unavoidable to make the design work. We will explain more in detail below.

Floor Plan Arrangement and Connectivity

The house features a reversed floor plan with a tandem garage and 2 bedroom suites on the lower floor. The main living spaces (kitchen, living and dining rooms) are on the main floor, where a 530sf attached accessory dwelling unit (ADU) is also located with separate living amenities and entrance through the side yard. A covered porch (loggia) is located on the main floor to provide outdoor living space and exterior definition as the hillside terrain doesn't always allow for conventional, widespread patios.

Surrounding the residence is a series of walkways and steps for circulation. Using tiered grading and retaining walls, a modest yard space was carved out at the back yard, as well as a narrow walkway around the back of the house. A series of access stairs is located on the east side and a light well on the west side of the house. Together they allow for egress, air and light access, and being able to walk around the house. This 2-story house is connected on the inside via a stairway as well as an elevator, with access on each level that leads to the outside space.

Exterior Styling

Proposed residence is of a simple Mediterranean styling with subdued terra cotta colors to blend in with the natural hillside environment. Low-sloped, hipped roofs with flat roof tiles cover

over the house and a flat roof covers the loggia. Walls have two-tone stucco finish and dark-color gridded windows and doors. Stepped building forms, plus solid and open volumes are used to break up the massing. A sizable portion of the building is buried into the hillside as much as practical to diminish the two-story appearance. Lastly the building facade is adorned with subtle architectural elements to add interest to the styling.

There is a mixture of eclectically styled, one and two-story homes, with floor areas ranging from 1,500sf to 3,500sf within the neighborhood. We expect the proposed residence to be compatible to the neighborhood, both architecturally and in size.

Private Road Fire Access and Plans For Downhill Area:

Despite the Reservoir private road being a through path that connects Rogers Street and Reservoir Road, the hair-pin turn in front of 36 Rogers Street makes the road impossible for a fire truck to drive up and thru, rendering our project site a dead-end site. We've been working with the Fire Department on an AMMR (Alternative Materials, Methods of Construction, or Modification of Code) and after evaluating multiple options, we have to go with a fire truck turn-around area in order to allow the emergency vehicles to come on site, while permit the local ingress/egress traffic on the private road. A modified turnaround area of roughly 40ft by 45-50ft has been added in front of the garage, set at the same level as the road.

The construction of the turn-around area will no doubt be challenging: with substantial grading and tall retaining walls that require grading exceptions. However it is necessary to do this to prioritize the fire safety of our residents and the neighborhood. In addition, careful considerations are made to address the visibility of the retaining walls, drainage and to provide landscape screening to our neighbors.

* See further explanation below for grading and retaining wall exceptions.

Fire Water Supply:

A number of hydrants are available within reach of the subject property, with the closest one located on Reservoir Road (in front of 39 Reservoir Rd) with a total travel distance of 483ft from the farthest corner of the house to the hydrant. The new residence will be equipped with fire sprinkler protection system as well, among other fire protection measures.

Visibility:

With visibility dictating our allowable building heights, it is a high priority in our design. To evaluate its impact to our design, we set up temporary, partial story-poles of the proposed building shape and superimposed simulations of the proposed residence to conduct studies from the town's designated viewing areas. Compare with 6 years ago when the last application was filed, many of the same screening trees have grown and are providing excellent screening for the proposed residence. Further, a shorter and slightly wider re-design allows us to take better advantage of the screening trees. The result is a very encouraging reduction of the visibility percentage: from 62% down to 22% of the front elevation. Among the visible portions are the loggia and a small section of the powder room. The main house portion is setback by a good amount, or is shielded by the screening trees. This percentage categorizes the house as a non-visible home with an allowable height of 28ft. The proposed new building design is mostly below the 18ft height plane (see sections and elevations).

Neighbor Outreach:

With this property been years in development, many of the neighbors (long-term and those who recently moved in) are aware of the development and have been in touch with the owner. It gave us a chance to review the project with them, listen and take in their concerns and feedbacks. Ranging from road expansion, privacy and utility issues. This is, however, an on-going activity and we will continue to do so as we progress in our application with the town. We have included a separate list documenting our correspondence with our neighbors.

EXCEPTION REQUESTS AND JUSTIFICATIONS

Below is a list of our effort of minimizing the exceptions requested for the project and our justifications.

EXCEPTION TO TOWN CODE REQUIREMENTS:

1. Parking configuration and stall size: due to the existing road elevation, the garage works best being on the east side of the property. However even with a reduced rear setback having (2) 20ft long parking spaces will push the garage facade really close to the road and on-coming traffic. We are requesting an exemption to reduce the second parking space from 20ft long down to 18ft long. A 18ft long parking space is still a very practical size and it can potentially avoid a bottleneck between the garage and the road.
2. Setback Encroachment: (refer to architectural site plan on A1)
 - This 10,000sf vacant lot was subdivided from a much bigger lot zoned R-1-20 and was given the same zoning designation with the associated setbacks. However the actual lot size, widths and lengths are in fact more similar and compatible with its bordering properties that are zoned with R-1D and R-1-10 zones. Having to follow the R-1-20 setbacks, compounded with the reduction of the building envelope due to the pre-existing road location, undoubtedly would have forced the design into a 3-story home (as seen in past application design). It would have exceeded both the 18ft and 28ft height limits and adversely increased the hillside visibility percentage by a great amount, making it a very visible home.
 - Our alternative is to propose a small amount of encroachment into the standard side and rear setbacks. This allows us to keep to a 2-story design. Stretching the building wider rather than taller also makes better use of the existing screening trees. An exception is hereby requested to allow partial encroachment into the rear and side setbacks.

EXCEPTIONS TO HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES

1. Retaining wall height exception at the fire truck turn-around: (refer to architectural site plan on A4 and civil sheet C4)
 - The required turn-around space, with even a modified footprint, requires an area of roughly 40ft by 50ft and a slope of no more than 5%. It needs to be on the same level as the existing road and expands towards the downhill area. Retaining walls that are needed to create this pad will vary between 5ft to 15.5ft high. They can be constructed out of soldier pile and wood lagging, which has a natural rustic appearance that is commonly seen in the hillside area. It also allows for natural drainage and avoids the need of complex drainage lines that is normally required for concrete wall construction.

- In addition of the retaining wall appearance, 4ft of landscape buffer zones are planned around the turn-around area to screen the walls from neighbors.
2. Grading (Fill) exception along the outer edge of the widened road: (refer to architectural site plan on A4 and civil sheet C4)
 - Fill areas of up to 15.5 ft is necessary for the construction of the turn-around area. While this is a significant height and will require an exception, it can significant offset and amount of soil off-haul created by the house grading.
 3. Structure outside of the least restrictive development area: (refer to sheet A3 and A4) this property used to be the yard space of 60 Rogers Street, so the only LRDA were created for the private road, as well as a few small, graded areas for the remnant landscape steps. The rest of the property, including the building envelope remains an ungraded, steep hill. There is not enough LRDA on this property that will allow the construction of a new residence. Hence we are hoping to apply for exception to this requirement.

EXCEPTIONS TO HILLSIDE SPECIFIC PLAN

1. Guest parking spaces at Hillside Specific Plan: the size and configuration of the lot has made it challenging to provide all the hillside specific street parking, and we want to prioritize getting ingress/egress and fire truck access while being sensitive with grading and road expansion. So instead of the 4 required spaces we are requesting to reduce it to 1 parking space.

EXCEPTIONS TO TOWN CODE:

SEC 29.10.155(c)(2) Driveway/ access road must be a minimum of 18 feet in width for the full length to Reservoir Road:

1. The creation of the access road granted a 12 ft easement for ingress and egress purposes across the 5 neighboring properties. While our property owner can make improvements on her property, she has no control over her neighbors' portion of the road.
2. We have to prioritize spaces for fire access and maneuvering, off street parking, tree preservation and visibility screening, all along a very limited road frontage. We have widened about 60% of our road, including the choke point at the 2 brick pillars, to get at least a 12 ft wide road as well as a space for a fire truck turn-around. The rest of the road is widened as much as possible to accommodate some parking, while leaving us about 15'-9" of egress width, some space for tree preservation and drainage management.
3. The current road varies from 12 to 24 ft in width and has separate, widened parking and maneuvering space in front of each property it serves, providing turn-out spaces that have worked well with these residences for years.

COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS & GUIDELINES

In addition to what was identified above, the proposed home specifically addresses the Hillside Development Standards and Guidelines as follows:

III Site Planning:

- All the site constraints have been carefully analyzed in planning the building position, size and configuration.
- An infill project within a developed neighborhood to minimize substantial impacts to public services.
- New building pad elevation was chosen to work with the existing road slope and elevations to minimize impacts to neighbors. Road expansion work was kept to a reasonable extent with minimal amount of grading and retaining wall.
- Trees downhill from road are preserved to maintain visibility screening. New trees are proposed to screen retaining wall from neighbors.
- Grading locations and quantities were carefully applied to minimize extents and impacts.
- Permanent retaining walls for house and yard were kept to 5ft or less, and in discreet locations to minimize visibility and grading needs.

V Development Intensity and Architectural Design:

- Proposed house size and a two-story configuration are compatible to the neighboring homes.
- The proposed contemporary mediterranean style blends in well with natural hillside setting and among the wide-ranging home styles of the neighborhood.
- Minimized number and size of windows facing neighbors. Positioned deck and outdoor spaces away from neighbors.
- Used simple forms, low, hipped rooflines, as well as varying wall planes to break up elevation and massing into smaller units.
- All exterior materials are natural to blend in with the environment, meet WUI classification for fire resistance and to have a light reflective value (LRV) or less than 30.

Privacy:

- With the proposed residence set into the hill, the majority of the windows are directed downhill and away from the nearby neighbors.
- The outdoor gathering areas such as Loggia and yard are located on the private side of the residence, away from the adjacent neighbors.
- New trees are proposed on the downhill side of the lot to increase privacy screening.

VI. SITE ELEMENTS

The use of retaining walls: (refer to architectural site plan on A1 and civil sheet C4)

- To limit and amount of grading and avoid creating large flat areas, the rear yard used permanent retaining walls to create a tier configuration of landscaped area, a small yard and a walkway around the back of the house.
- Retaining walls are used to create egress light well for the lower floor bedroom, as well as egress stair on the side of the house.
- Retaining walls at rear yard are split up to minimize wall mass and height.

CONCLUSION

Designing a home on this site has proven to be quite challenging. In particular, the extremely constrained development area, the steep slope and visibility of the site have complicated the effort. Several iterations of the design and extensive analysis were required before we arrive at this present version.

In the end, I am very happy with the results. The size, mass, color and exterior style of this house are in keeping with the intent of the Hillside Development Standards and Guidelines. Through the use of the hillside guidelines and exception requests for the creation of a fire truck turn-around, we hope to achieve the owner's goals, makes the best use of the property, while respecting the neighborhood and its natural environment. We believe this will be a high-quality addition to this neighborhood. We appreciate your time to review our application and hope to get your support and approval.

Sincerely,



Gary Kohlsaat
Architect C19245

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November 28, 2022

Mr. Sean Mullin
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

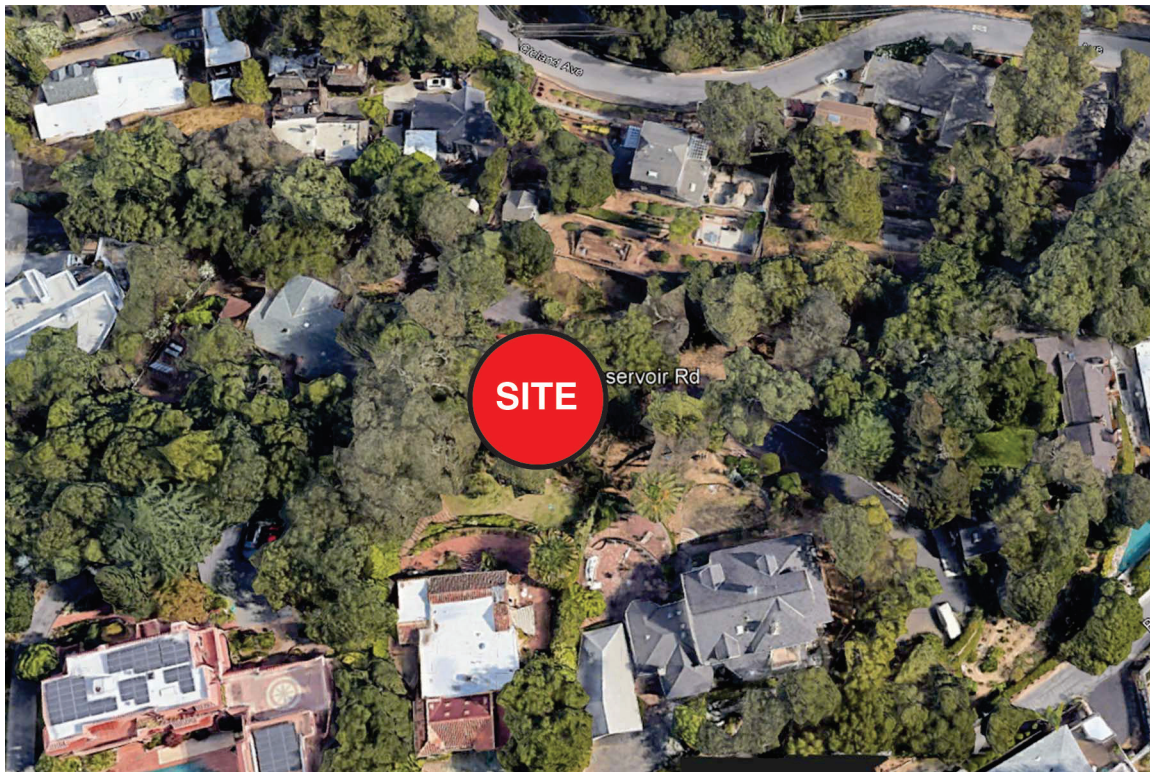
RE: 45 Reservoir Road

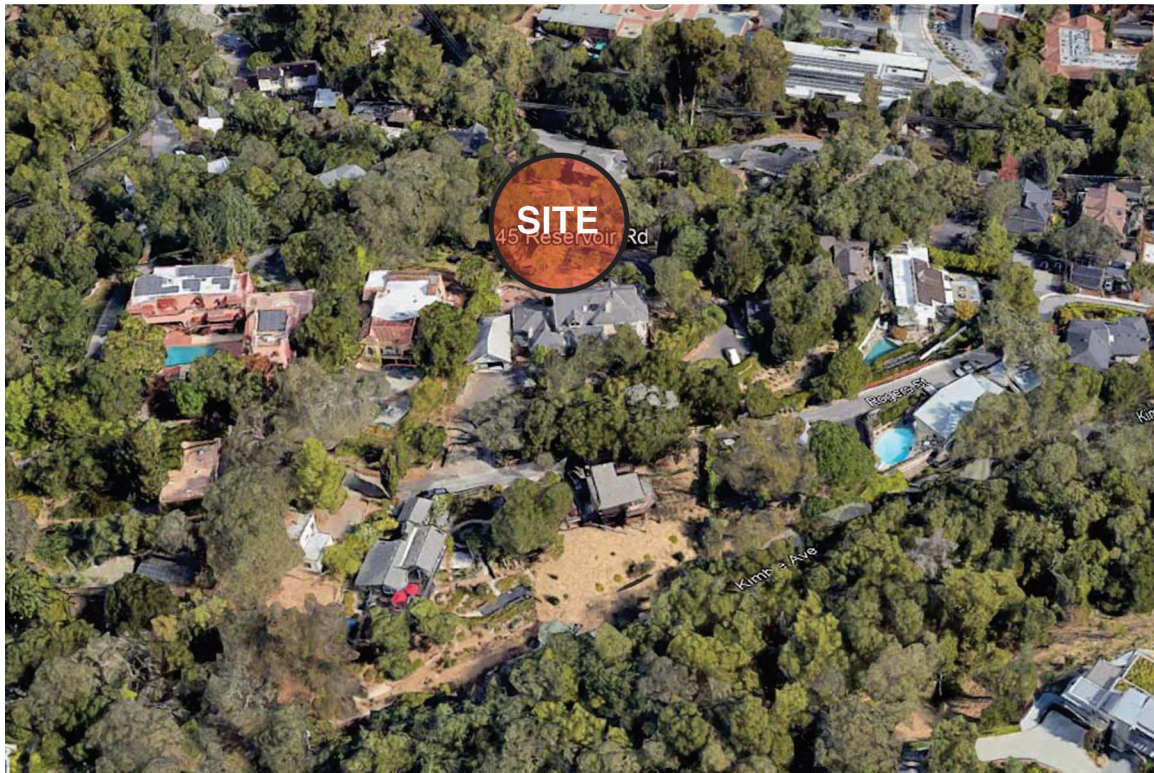
Dear Sean:

I reviewed the drawings and evaluated the site context. My comments and recommendations are as follows:

NEIGHBORHOOD CONTEXT

The site is located on a steep sloping parcel within a semi-rural wooded environment. Photos of the site and surrounding neighborhood context are shown on the following page.



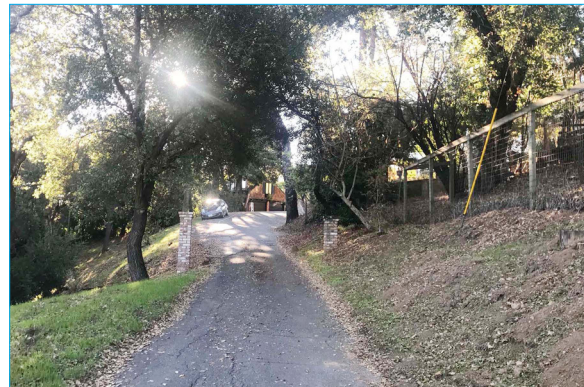


THE SITE

Streetview photos below provided by the applicant



Private Road: Site on the left



Private Road: Site on the right



Private Road: Site on the left



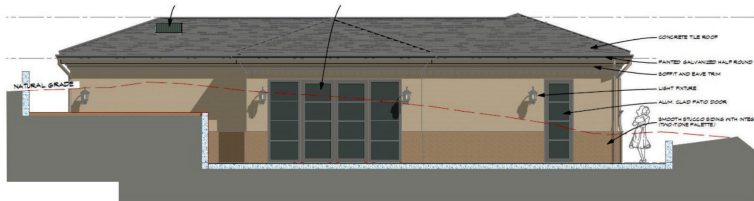
Private Road: View of site downhill segment

PROJECT OVERVIEW

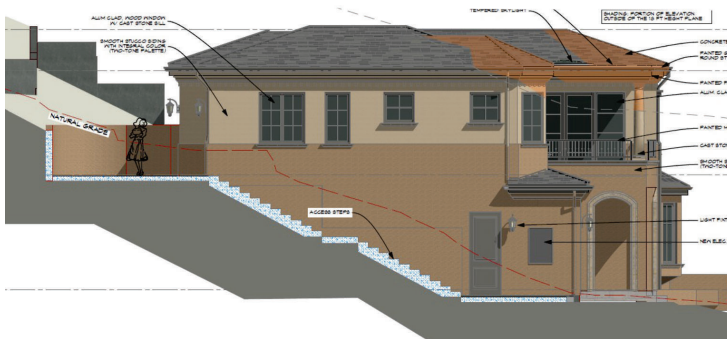
The proposed two-story house is designed in a Traditional Mediterranean Style. See proposed elevations and sections below.



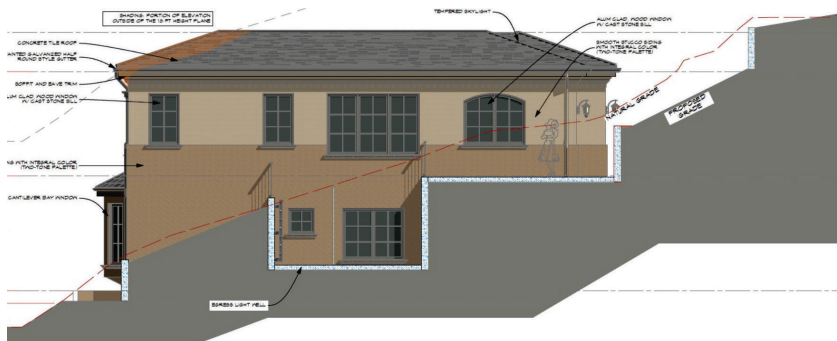
PROPOSED FRONT ELEVATION (Entry)



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

ISSUES AND CONCERNS

The site slope, the fragmentation of the site into two parts and the resultant small amount of developable area on this site are major constraints for this project. I have only a couple of observations for staff's consideration.

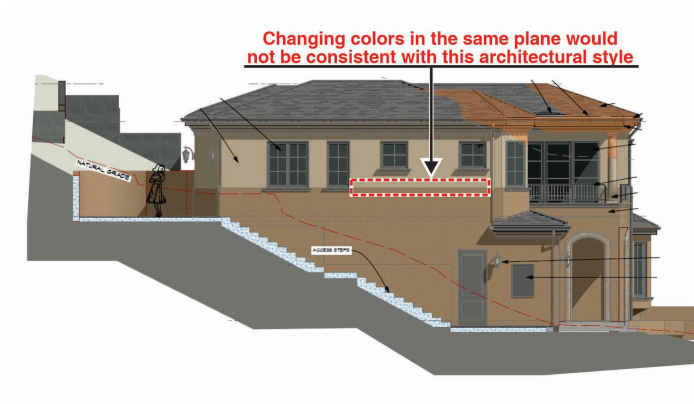
The tall side walls are not consistent with Residential Design Guideline 3.3.3.

3.3.3 Provide visual relief for two story walls

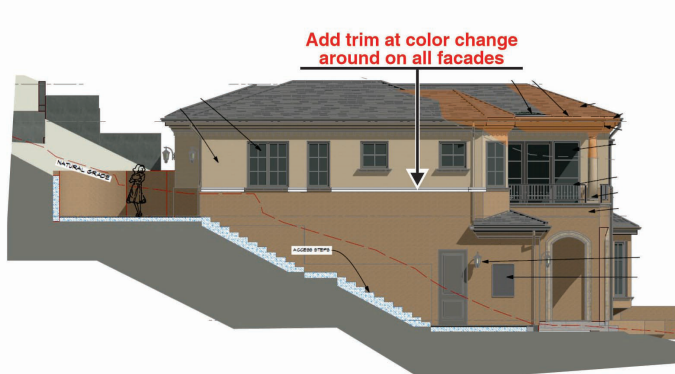
The color change proposed between the lower and upper portions of the walls helps, but that would not be total consistent with the intent of Residential Design Guideline 3.8.4.

3.8.4 Materials changes

- *Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.*

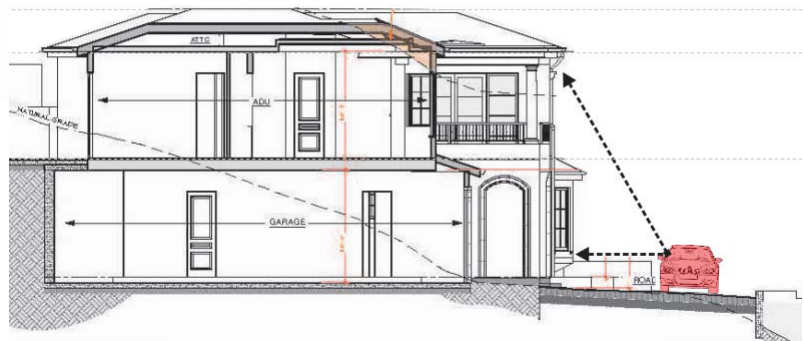
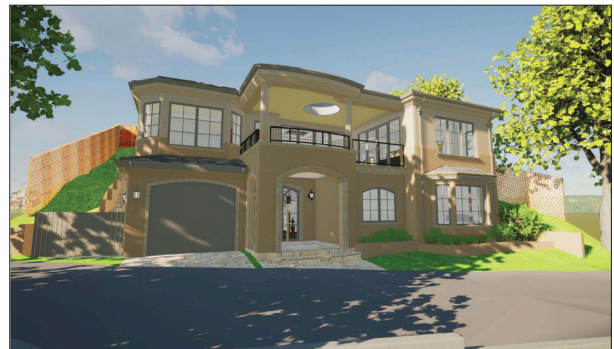
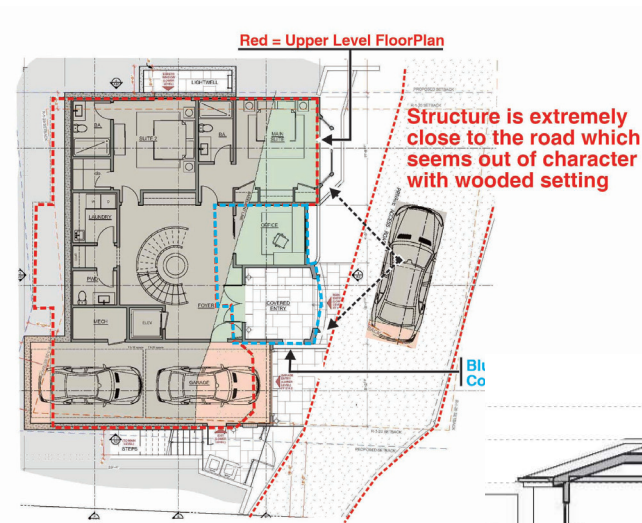


Recommendation: Add projecting molding at the proposed color change. Note that the use of two wall colors or the use of a single color would both be acceptable - see photo examples below.



A second issue is of more concern and may not have a viable alternative aside from a smaller building footprint and volume. However, I do feel it is important to identify the issue because of its potential impact on the character of the private drive.

The issue is that the proposed house is quite close to the road and appears to be closer to the road than other nearby homes. This may be acceptable given the private access road, but it seems out of character with its current semi-rural, wooded environment - see illustrations below.



Sean, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP



Town of Los Gatos
Planning Division
110 E. Main Street
Los Gatos, CA 95030

March 20, 2023

Re: The Agahian Residence, 45 Reservoir Road,
Architecture & Site App.: S-22-048

Attn: Sean Mullin

In response to architectural consultant response letter, by Larry Cannon, dated November 28, 2022, is our response letter below.

1. A projecting molding has been added at the horizontal color change location around the entire perimeter of the building.
2. The property shape and access through the lot is highly unusual and creates an undue hardship on the allowable building envelope that we can not over come. The road has been moved away from the building envelope as much as possible.

If you have any questions regarding the revisions made, please give me a call.

Sincerely,

A handwritten signature in black ink, appearing to read "Jaclyn Greenmyer".

Jaclyn Greenmyer

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**Tree Inventory, Assessment,
and
Protection Report**

**45 Reservoir Road
Los Gatos, CA 95032**

Prepared for:

Town of Los Gatos

December 4, 2022

Prepared By:



Monarch Consulting Arborists

Richard Gessner
P.O. Box 1010 - Felton, CA 95018
1 831 331 8982
www.monarcharborists.com

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Summary

The applicant is requesting approval for construction of a new single-family residence and site improvements requiring a grading permit on vacant property Zoned R-1:20. APN 529-33-054. The inventory contains twenty (20) trees comprised of eight (8) different species. Six oaks are Large Protected with three originating on the adjacent property and fruit trees #309 and #317 are Exempt. Trees #302, #303, #313, #317, #319, #314, #315, and #316 are not indicated on the plans and #303, #320, #314, #315, and #316 are all located on adjacent properties. Twelve trees are in good condition, three fair, four poor and one coast live oak (#308) is in very poor shape. There are discrepancies between the civil, landscape, and architectural plans. Fifteen trees are to be highly impacted and five moderate to highly depending on their actual location. Tree protection will focus on those located on adjacent sites #314, #315, #316, #303, and #320 and whether or not tree #318 is to be preserved. Trees #314, #315, #316, and #303 need to be located to help determine impacts. The applicant will be required to replace fifteen protected trees according to the ordinance. There were twenty trees appraised for a rounded depreciated value of \$235,440.00 (\$146,200 are the three blue oaks on the adjacent site).

Introduction

Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on December 2, 2022. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.



- The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic				
Proposed Site Plan		A4	Yes	Kohlsaas & Associates
Erosion Control				
Grading and Drainage		C-4	Yes	TS Engineering
Utility Plan and Hook-up locations		C-5	Yes	TS Engineering
Exterior Elevations				
Landscape Plan		A5	Yes	Kohlsaas & Associates
Irrigation Plan				
T-1 Tree Protection Plan				

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

Observations

Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: “A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

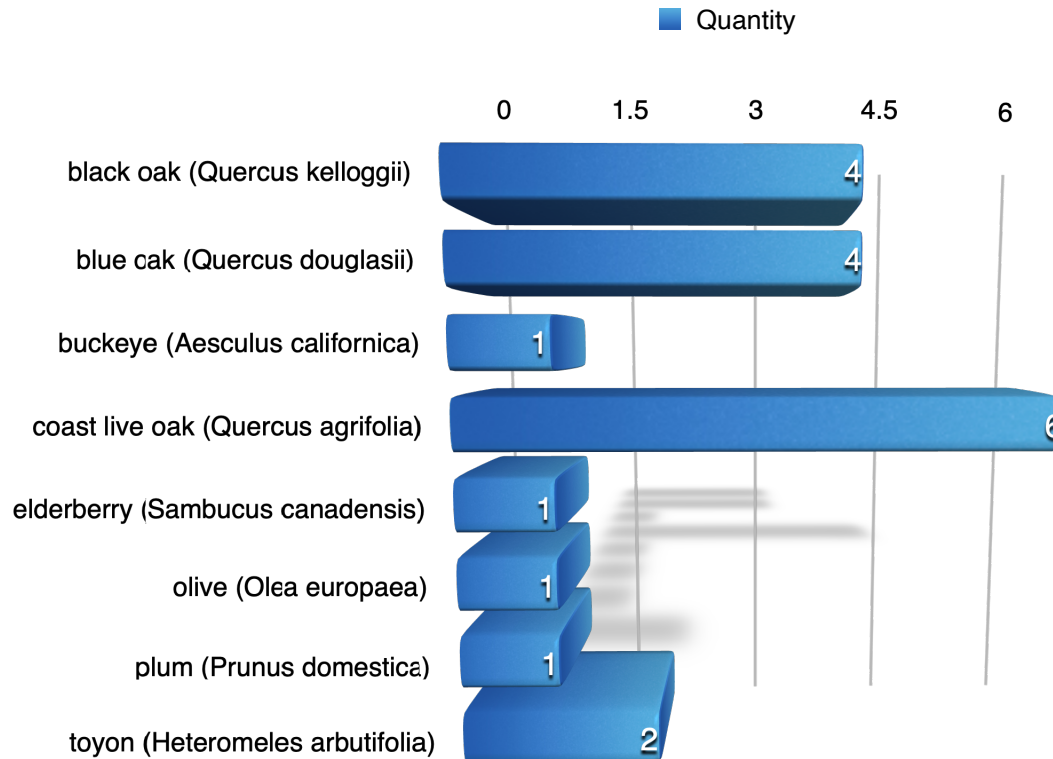
Plans

The applicant is requesting approval for construction of a new single-family residence and site improvements requiring a grading permit on vacant property Zoned R-1:20. APN 529-33-054.



The inventory contains twenty (20) trees comprised of eight (8) different species (Chart 1). Six oaks are considered Large Protected¹ with three of those originating on the adjacent property (blue oaks #314, #15, and #316) and three coast live oaks (#304, #305, and #318) on site. Fruit trees olive #309 and plum #317 are Exempt². Trees #302, #303, #313, #317, #319, #314, #315, and #316 are not indicated on the plans. Trees #303, #320, #314, #315, and #316 are all located on adjacent properties.

Chart 1: Species Distribution



¹ Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

² A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the “Cost Approach” and more specifically the “Trunk Formula Technique” (Appendix B).

“Trunk Formula Technique” is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the “Basic Tree Cost” based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree’s Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the “Condition Rating” section of this report. Functional limitations are based on factors associated with the tree’s interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were twenty trees appraised for a rounded depreciated value of \$235,440.00 (\$146,200 are the three blue oaks on the adjacent site).

Appraisal worksheets are available upon request.



Discussion

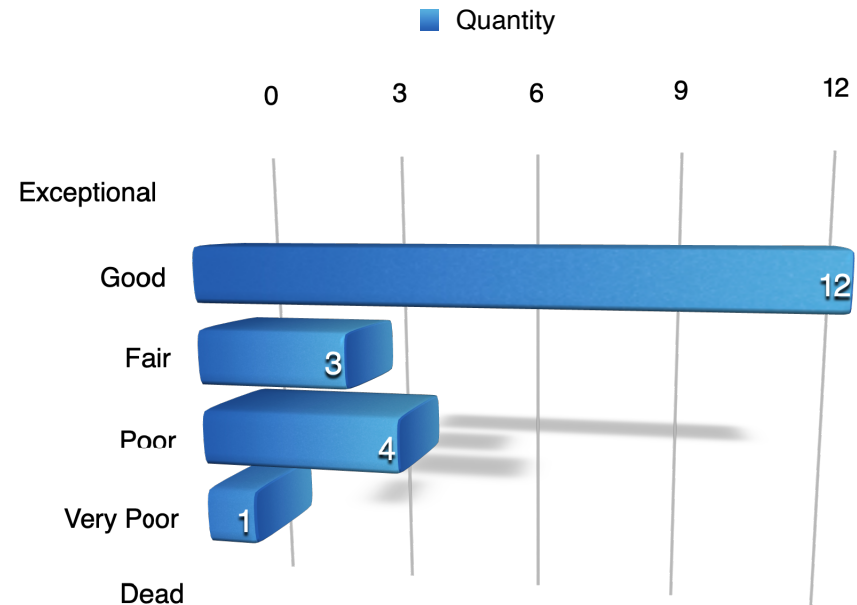
Condition Rating

A tree’s condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 91- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Twelve trees are in good condition, three fair, four poor and one coast live oak (#308) is in very poor shape (Chart 2). The lot and the trees have not been maintained or maintained very well. Several trees #304, #311, and #312 are either topped or poorly maintained to avoid overhead high voltage lines.

Chart 2: Condition Ratings



Expected Impact Level

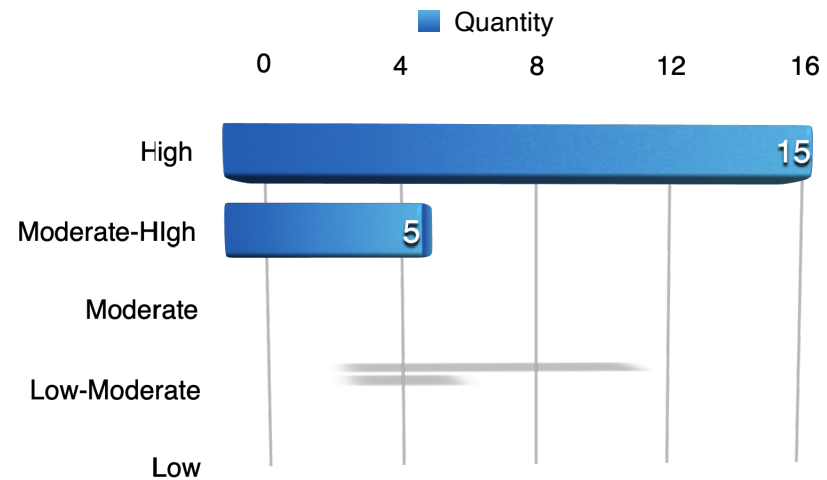
Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Trees #302, #303, #313, #317, #319, #314, #315, and #316 are not indicated on the plans. There are discrepancies between the civil, landscape, and architectural plans. The architectural plans (A4), landscape plan (A5), civil drawings (C-7) indicate the lower coast live oak #318 is to be retained but the Grading and Drainage Plan C-4 clearly indicates this tree would be highly impacted by the keyway and grading in this area. I believe this tree (#318) is critical for screening. Architectural sheets A4 and A5 also indicate coast live oak #320 is to be removed, however the tree is indicated to be on the adjacent property.

Looking at the civil plans all the trees on site would be required to be removed. The architectural plans indicate #301, #310, and #318 are to be preserved but again are in conflict with the grading and drainage plans. There are five trees that could be moderately impacted located on the adjacent properties which are #314, #315, #316, #303, and #320. Trees #314, #315, #316 will need to be located to obtain exact distances from the excavation to the trees. #303, and #320 are near the road improvements and will need to be preserved. Fifteen trees are to be highly impacted and five moderate to highly (Chart 4).

Chart 4: Expected Impact



Mitigation for Removals

The table below indicates the recommended replacement values (Table 2). The applicant will be required to replace fifteen protected trees according to the ordinance. Alternatively it may be possible to create an approved landscape plan or provide an in-lieu payment.

Table 2: Town of Los Gatos Tree Canopy - Replacement Standard

Canopy Size of Removed Tree (1)	Replacement Requirement (2)(4)	Single Family Residential Replacement Option (3)(4)
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees or two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or three 36 inch box trees	Not available
Greater than 55 feet	Ten 24 inch box trees; or five 36 inch box trees	Not available

¹To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

²Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

³Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town’s Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24” box tree rates as adopted by Town Council.

⁴Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions—Hillsides.



Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers (Appendix D).

Tree protection will focus on those located on adjacent sites #314, #315, #316, #303, and #320 and whether or not tree #318 is to be preserved. Trees #314, #315, #316, and #303 need to be located to help determine what exactly the impacts are expected. Fence around these trees no closer than six times their trunk diameter distance would likely be adequate. Obtaining eight to ten times the trunk diameter in radius from trees #314, #315, #316 would be ideal.



Conclusion

The applicant is requesting approval for construction of a new single-family residence and site improvements requiring a grading permit on vacant property Zoned R-1:20. APN 529-33-054. The inventory contains twenty (20) trees comprised of eight (8) different species. Six oaks are Large Protected with three originating on the adjacent property (blue oaks #314, #15, and #316) and three coast live oaks (#304, #305, and #318) on site. Fruit trees olive #309 and plum #317 are Exempt. Trees #302, #303, #313, #317, #319, #314, #315, and #316 are not indicated on the plans and #303, #320, #314, #315, and #316 are all located on adjacent properties. Twelve trees are in good condition, three fair, four poor and one coast live oak (#308) is in very poor shape.

There are discrepancies between the civil, landscape, and architectural plans. The architectural plans (A4), landscape plan (A5), civil drawings (C-7) indicate the lower coast live oak #318 is to be retained but the Grading and Drainage Plan C-4 clearly indicates this tree would be highly impacted by the keyway and grading in this area. I believe this tree (#318) is critical for screening. Architectural sheets A4 and A5 also indicate coast live oak #320 is to be removed, however the tree is on the adjacent property. Looking at the civil plans all the trees on site would be required to be removed. The architectural plans indicate #301, #310, and #318 are to be preserved but are in conflict with the grading and drainage plans. There are five trees that could be moderately impacted on the adjacent properties which are #314, #315, #316, #303, and #320. Trees #314, #315, #316 will need to be located to obtain exact distances from the excavation to them. #303, and #320 are near the road improvements and will need to be preserved. Fifteen trees are to be highly impacted and five moderate to highly depending on their actual location.

Tree protection will focus on those located on adjacent sites #314, #315, #316, #303, and #320 and whether or not tree #318 is to be preserved. Trees #314, #315, #316, and #303 need to be located to help determine what exactly the impacts are expected. Fence around these trees no closer than six times their trunk diameter distance would likely be adequate. Obtaining eight to ten times the trunk diameter in radius from trees #314, #315, #316 would be ideal.

The applicant will be required to replace fifteen protected trees according to the ordinance. There were twenty trees appraised for a rounded depreciated value of \$235,440.00 (\$146,200 are the three blue oaks on the adjacent site).



Recommendations

1. Place tree numbers on all the plans. Make sure the trees are clearly indicated for removal on all the plans. The trees should also be very clearly marked on site prior to removal.
2. Locate trees #302, #303, #313, #317, #319, #314, #315, and #316 on the plans.
3. Coordinate trees to be preserved or removed between the civil engineer and architect (#301, #310, #318, #320).
4. Place tree protection fence at least eight times the trunk diameter distance from the trunks of trees to be retained.
5. Install temporary irrigation or soaker hoses in all tree protection zones and provide supplemental watering during construction within all TPZ areas. Monitor watering times or amounts to ensure adequate soil saturation. (A 5/8" soaker hose requires about 200 minutes to deliver one inch of water to a garden. This number is affected by the length of the hose and the overall rate of flow from the faucet. A good rule of thumb is to expect about ½ GPM as a standard faucet flow rate.). Infrequent deeper watering is preferred.
6. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
7. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
8. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Alternatively create a separate plan sheet that includes all three protection measures labeled "T-1 Tree Protection Plan."
9. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.



10. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.

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Glossary of Terms

Basic Tree Cost: The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

Cost Approach: An indication of value by adding the land value to the depreciated value of improvements.

Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drip Line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

Form: describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

Health: Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease.

Mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Scaffold branches: Permanent or structural branches that form the scaffold architecture or structure of a tree.

Straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.



Structural evaluation: focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

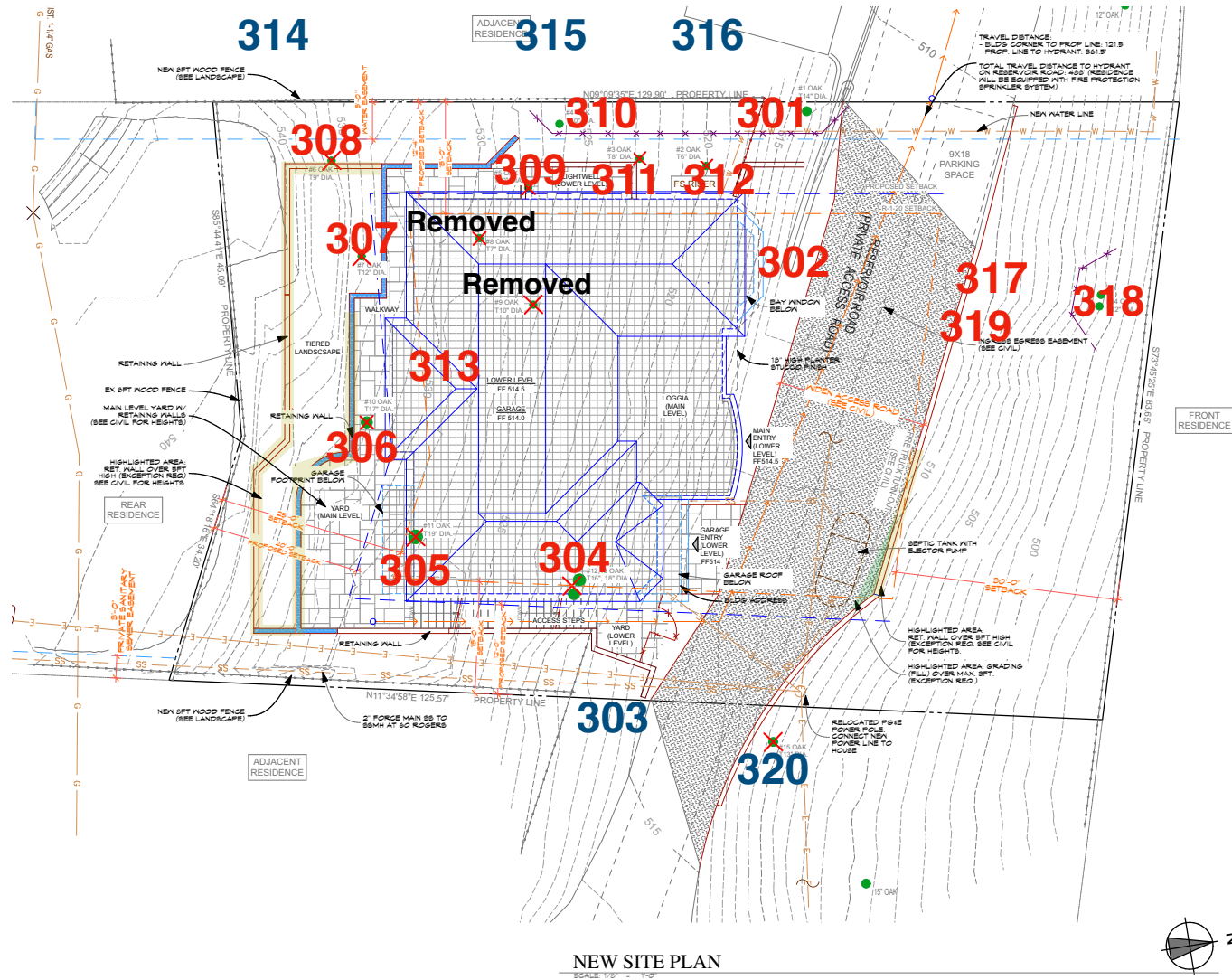
Trunk: Stem of a tree.

Trunk Formula Technique: Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

Volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



Appendix A: Tree Inventory Map and Proposed Site Plan



Appendix B: Tree Inventory and Assessment Tables

Table 3: Inventory and Assessment Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition/Percent	Expected Impact	Protection Status	Rounded Depreciated Value	Tree Protection Radii (8X DBH ft.)
black oak (<i>Quercus kelloggii</i>)	301	18	35	Fair/50%	High	Protected	\$10,900.00	12
toyon (<i>Heteromeles arbutifolia</i>)	302	4, 3	8	Good/70%	High	Protected	\$1,270.00	3
buckeye (<i>Aesculus californica</i>)	303	5	10	Good/70%	Moderate-High	Protected	\$670.00	3
coast live oak (<i>Quercus agrifolia</i>)	304	19, 20	35	Poor/30%	High	Large Protected	\$9,400.00	19
coast live oak (<i>Quercus agrifolia</i>)	305	26	35	Fair/50%	High	Large Protected	\$13,400.00	17
black oak (<i>Quercus kelloggii</i>)	306	18	25	Good/70%	High	Protected	\$15,300.00	12
blue oak (<i>Quercus douglasii</i>)	307	12	20	Fair/50%	High	Protected	\$4,860.00	8
coast live oak (<i>Quercus agrifolia</i>)	308	12	20	Very poor	High	Protected	\$860.00	8
olive (<i>Olea europaea</i>)	309	10	20	Good/70%	High	Exempt	\$2,790.00	7
coast live oak (<i>Quercus agrifolia</i>)	310	10	20	Poor/30%	High	Protected	\$1,190.00	7
black oak (<i>Quercus kelloggii</i>)	311	10	10	Poor/30%	High	Protected	\$2,020.00	7



Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition/Percent	Expected Impact	Protection Status	Rounded Depreciated Value	Tree Protection Radii (8X DBH ft.)
black oak (<i>Quercus kelloggii</i>)	312	6	10	Poor/30%	High	Protected	\$730.00	4
toyon (<i>Heteromeles arbutifolia</i>)	313	5	10	Good/70%	High	Protected	\$1,270.00	3
blue oak (<i>Quercus douglasii</i>)	314	36	45	Good/70%	Moderate-High	Large Protected	\$61,200.00	24
blue oak (<i>Quercus douglasii</i>)	315	30	45	Good/70%	Moderate-High	Large Protected	\$42,500.00	20
blue oak (<i>Quercus douglasii</i>)	316	30	45	Good/70%	Moderate-High	Large Protected	\$42,500.00	20
plum (<i>Prunus domestica</i>)	317	4, 4	15	Good/70%	High	Exempt	\$940.00	4
coast live oak (<i>Quercus agrifolia</i>)	318	14, 18	35	Good/70%	High	Large Protected	\$14,700.00	15
elderberry (<i>Sambucus canadensis</i>)	319	4, 4	15	Good/70%	High	Protected	\$940.00	4
coast live oak (<i>Quercus agrifolia</i>)	320	17	35	Good/70%	Moderate-High	Protected	\$8,000.00	11



Appendix C: Photographs

C1: #303 and #320



C2: #301 and #302



C3: #318



C4: Trees #315 and #316 (Adjacent site)



C5: #308 and #314



C6: #309, #310 and #311



C7: #306, #313, and #307



C8: #304

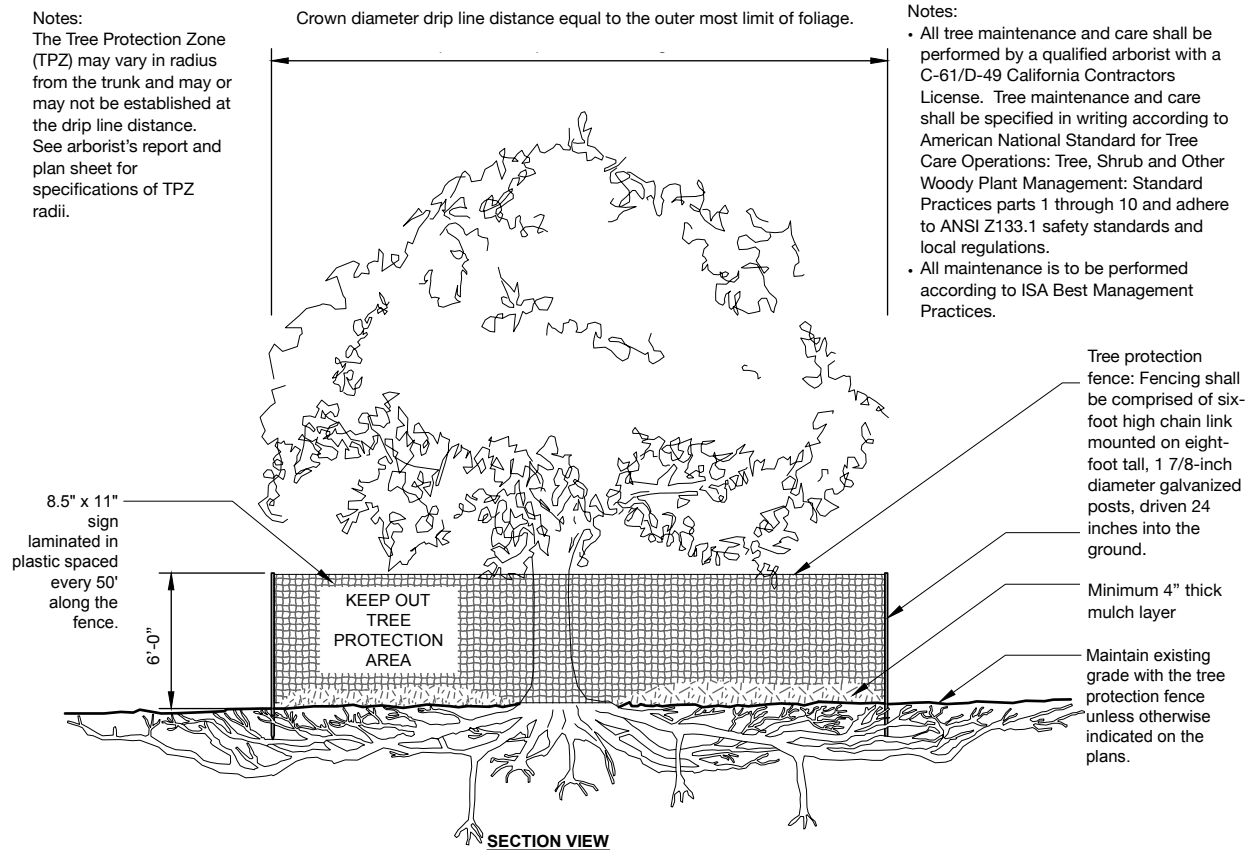


C9: #305

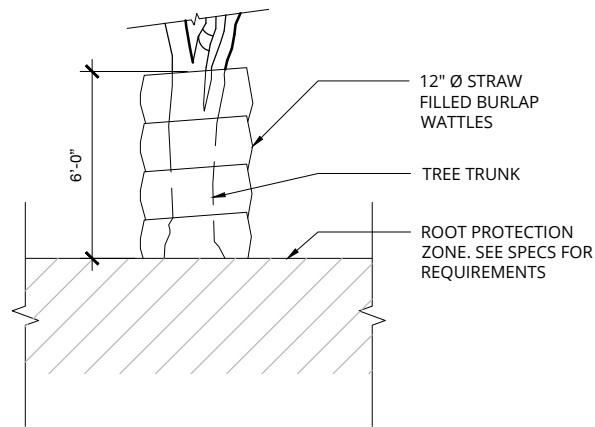


Appendix D: Tree Protection Guidelines

D1: Plan Sheet Detail S-X (Type I)



D2: Plan Sheet Detail S-Y (Type III)

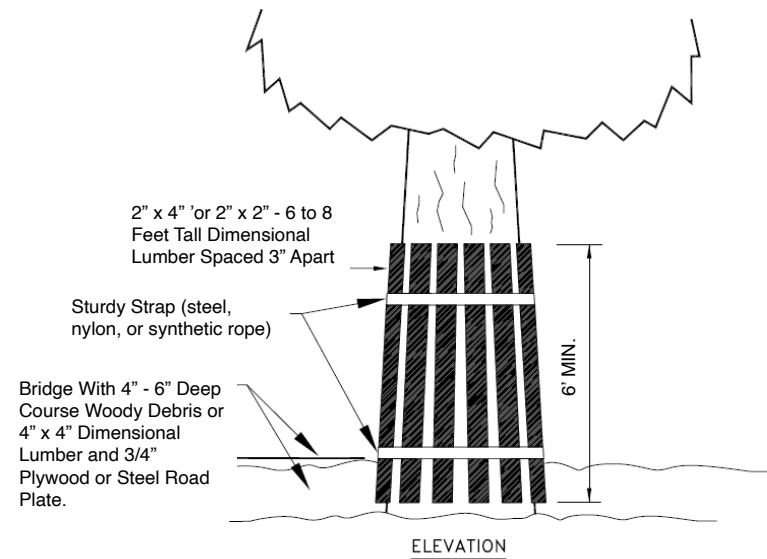
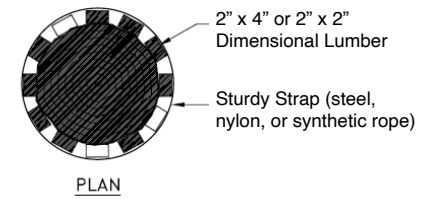


SECTION VIEW

S-Y

TRUNK PROTECTION WITH WATTLE

Note: See Local Ordinance Requirements and Arborist's Report for Additional Protection Specifications and Guidelines.



Trunk Protection Vertical Timber Detail



D3: Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).



All persons, shall comply with the following precautions

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Prohibited Activities

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.



Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



Appendix E: Tree Protection Signs
E1: English

Warning

Tree Protection Zone

**This Fence Shall Not Be Removed
And Is Subject To Penalty According To
Town Code 29.10.1025**



E2: Spanish

Cuidado Zona De Arbol Pretejido

**Esta valla no podrán ser sacados
Y está sujeta a sanción en función de
Código Ciudad del 29.101025**



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B



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Story Poles installed at 45 Reservoir Road – AS No.: S22-048







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On private road approaching lot (building envelope on left side)



On private road (building envelope on right side), pillars mark the edge of property



On private road, building pad on left side, road cut on the right



Looking downhill from private road



Left over retaining walls at rear yard

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Paul and Pamela Pasma
[REDACTED]
Los Gatos, CA. 95030

RECEIVED

MAY 25 2023

TOWN OF LOS GATOS
PLANNING DIVISION

May 20, 2023

Sean Mullin
Senior Planner, Los Gatos Planning Department
110 E Main St.
Los Gatos, CA 95030

Dear Sean,

I wanted to follow up our earlier conversation with a letter summarizing the conversations I had with yourself and Gary Kohlsaas, the architect for the proposed development at 45 Reservoir Road. I discussed everything with my wife and there are a couple points I hope you consider as the project moves through the planning and building approval processes.

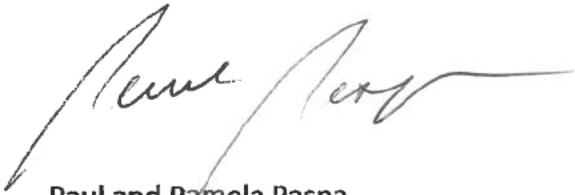
In terms of the house design our only takeaway is the project is oversized for the lot. I think it should be implicit when anyone purchases a small property that they should expect to build a home that is proportional to the property and complies with local code. Instead the plans are for a substantial home with an ADU that exceeds the required setbacks on at least 3 sides and possibly height too. I told Gary the size of the home and setbacks are mostly a concern for the adjacent neighbors and do not directly impact us so not something I will 'complain' about, but something I think should be considered with any other feedback you receive.

What does concern us is the project is large and challenging due to access via the private drive with little to no parking on the property for construction vehicles. The required excavation, trucking of materials in and out for construction of retaining walls, foundation, and concrete work will all negatively impact everyone that lives along the private drive for a long time. Trucking dirt off site alone will require between 70-80 trips for large dump trucks to haul off dirt. Then importing concrete, gravel, lumber and other building materials will likely double or triple that number of trucking trips. That's a lot of traffic for a very small road and property and will impact everyone with noise, dust, and traffic. I discussed this with Gary he understood this would be a unique issue due to the property size and location and at the time Gary didn't have an answer as to how the owners planned to manage this and only said it would be something to discuss with the contractors. I told him I disagreed with that approach as contractors will do what's easiest to get their jobs done and not necessarily what works best for the people living in the area. I had a similar issue when I built our home 20+ years ago and personally had to be on top of the workers on a daily basis or they would park anywhere that was convenient, even blocking the public road and/or private drive. I'd urge you, due to the access and location, that

you make it a condition of approval that the application include a clearly stated plan for how vehicles should enter and leave the jobsite, and where builders are allowed park their vehicles if there is insufficient parking available on the construction site. The private drive should not be blocked for any extended periods of time or double as a contractor parking lot while the work is performed.

And the last thing I'd ask is there should be an understanding that any damage or wear and tear to properties or landscaping from all the vehicle traffic through the properties along the private drive be mitigated and repaired within a defined period of time after occupancy is granted. The private drive was just resurfaced less than a year ago and I expect after this project the resurfacing may need to be redone to restore it to the current condition.

Best regards,

A handwritten signature in black ink, appearing to read "Paul and Pamela Paspas". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Paul and Pamela Paspas



REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD
 LOS GATOS, CA 95030

COVER SHEET
 DATE: 11/08/22
 SCALE: AS SHOWN
 SHEET
A-1
 1 OF -



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD
 LOS GATOS, CA 95030

VICINITY MAP	PROJECT DIRECTORY	FIRE / BUILDING NOTES	PROJECT DATA	SHEET INDEX																												
	<p>PROPERTY OWNER: FARNAZ AGAHIAN 1558 THORNERIA DRIVE SAN JOSE, CA 95131 TEL: (408) 284-5180</p> <p>ARCHITECT: KOHL SAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 345-2555</p> <p>CIVIL ENGINEERING: HANNA BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2175</p> <p>SURVEYOR: HANNA BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2175</p>	<p>FIRE SPRINKLERS: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 515.2 as adopted and amended by L&TC.</p> <p>WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 409.5.3 and Health and Safety Code 15114.7</p> <p>ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. (CFC Sec. 505.1).</p> <p>EMERGENCY GATE/ACCESS GATE REQUIREMENTS: Gate installations shall conform with Fire Department Standard Details and Specification D-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. Knox Key-switch is required for the automatic gate.</p> <p>FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 18 feet 6 inches, minimum curbing turning radius of 36 feet outside and 25 feet inside, and a maximum slope of 15%. Installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 503.</p> <p>CONSTRUCTION SITE FIRE SAFETY: All construction site must comply with applicable provisions of the CFC chapter 55 and County of Santa Clara Standard Detail and Specification S1-7.</p> <p>REACH CODE COMPLIANCE: This residence will comply with the town's electric appliance, electric vehicle and energy storage system requirements in accordance with town code section 6.10.020 and 6.120.020.</p>	<p>PROJECT ADDRESS: 45 RESERVOIR ROAD LOS GATOS, CA 95030</p> <p>APN#: 524-33-054</p> <p>ZONING: R-1-20 (IN HILLSIDE OVERLAY)</p> <p>OCCUPANCY GROUP: R-3, U</p> <p>CONSTRUCTION TYPE: V-B</p> <p>AVERAGE LOT SLOPE: 23% (SEE SLOPE CALCS. ON CIVIL PLANS)</p> <p>GROSS & NET SITE AREA: 10,000SF GROSS, 4,600SF NET (SEE CALCS BELOW)</p> <p>STORIES: NEW (2) STORY RESIDENCE, NEW ATTACHED ACCESSORY DWELLING UNIT, ATTACHED GARAGE, BELOW GRADE BASEMENT</p> <p>PARKING: 2 COVERED SPACES, 1 UNCOVERED SPACE</p> <p>FIRE SPRINKLER: WILL PROVIDE</p> <p>REDUCTION OF NET SITE AREA ON SLOPING LOT (20% PLUS 5% FOR EACH 1% OF SLOPE OVER 20%) USING AVERAGE SLOPE OF 23%: -> 30% + 24% = 54% REDUCTION</p> <p>ALLOWABLE FAR = 0.40 * (4.6 - 2) / 3 * 0.05 = 0.4 * 0.0433 = 0.3567</p> <p>ALLOWABLE FLOOR AREA: NET LOT AREA * FAR = 4,600SF * 0.3567 = 1,640.825SF</p> <p>NET LOT AREA: GROSS LOT AREA - REDUCTION % 10,000SF * (1-54%) = 4,600SF</p> <table border="1"> <thead> <tr> <th>FLOOR AREAS:</th> <th>FLOOR AREA (A)</th> <th>EXCLUSION (B)</th> <th>(A) + (B)</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR</td> <td>1,827 SF</td> <td></td> <td>1,827 SF</td> </tr> <tr> <td>LOWER FLOOR</td> <td>315 SF</td> <td>128 SF (1)</td> <td>1,600 SF</td> </tr> <tr> <td>GARAGE</td> <td>0 SF</td> <td>599 SF (1)</td> <td></td> </tr> <tr> <td>SUB-TOTAL</td> <td>1,640 SF</td> <td>163 + 699 SF (2)</td> <td>564 SF</td> </tr> <tr> <td>ADU</td> <td>516 SF</td> <td></td> <td>516 SF</td> </tr> <tr> <td>TOTAL FLOOR AREAS</td> <td>2,156 SF</td> <td></td> <td>4,007 SF</td> </tr> </tbody> </table> <p>* EXCLUSIONS: (1) BELOW GRADE BASEMENT AREA (2) GARAGE EXEMPTION UP TO 400SF</p> <p>STRUCTURAL COVERAGE: RESIDENCE + ADU + GARAGE: 2,156 SF PATIOS, BALCONIES (OUTSIDE RESIDENCE FOOTPRINT): 148 SF TOTAL: 2,304 SF = 23.48%</p>	FLOOR AREAS:	FLOOR AREA (A)	EXCLUSION (B)	(A) + (B)	MAIN FLOOR	1,827 SF		1,827 SF	LOWER FLOOR	315 SF	128 SF (1)	1,600 SF	GARAGE	0 SF	599 SF (1)		SUB-TOTAL	1,640 SF	163 + 699 SF (2)	564 SF	ADU	516 SF		516 SF	TOTAL FLOOR AREAS	2,156 SF		4,007 SF	<p>A-1 COVER SHEET</p> <p>A-2 NEIGHBORHOOD SITE PLAN</p> <p>A-3 DEMO/EXISTING SITE PLAN</p> <p>A-4 ARCHITECTURAL SITE PLAN</p> <p>A-5 PRELIMINARY LANDSCAPE PLAN</p> <p>A-6 LOWER LEVEL FLOOR PLAN</p> <p>A-7 MAIN LEVEL FLOOR PLAN</p> <p>A-8 ROOF PLAN</p> <p>A-9 ELEVATIONS</p> <p>A-10 ELEVATIONS</p> <p>A-11 SECTIONS</p> <p>A-12 VISIBILITY STUDY</p> <p>A-13 VISIBILITY STUDY</p> <p>A-14 SHADOW STUDIES</p> <p>C-1 CIVIL COVER SHEET</p> <p>C-2 BLUEPRINT FOR A CLEAN BAY</p> <p>C-3 EXISTING TOPO SURVEY & DEMO PLAN</p> <p>C-4 GRADING AND DRAINAGE PLAN</p> <p>C-5 UTILITY PLAN</p> <p>C-6 UTILITY PLAN</p> <p>C-7 CROSS SECTIONS & DETAILS</p> <p>C-8 EROSION CONTROL PLAN</p>
FLOOR AREAS:	FLOOR AREA (A)	EXCLUSION (B)	(A) + (B)																													
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TOTAL FLOOR AREAS	2,156 SF		4,007 SF																													
	<p>SCOPE OF WORK</p> <p>SITE AND ARCHITECTURAL DEVELOPMENT ON AN EXISTING VACANT R1-20 ZONED LOT (HILLSIDE OVERLAY).</p> <p>WORK TO INCLUDE:</p> <p>BUILDINGS:</p> <ol style="list-style-type: none"> CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED ACCESSORY DWELLING UNIT, AN ATTACHED GARAGE AND BELOW GRADE BASEMENT. COVERED DECK EGRESS, VENTILATION WELLS AND ACCESS STAIRS. <p>SITE IMPROVEMENTS (REFER TO CIVIL PLANS):</p> <ol style="list-style-type: none"> MODIFY EXISTING PRIVATE ROAD TO PROVIDE PARKING AND FIRE TRUCK TURN-AROUND. SITE RETAINING WALLS AND PAVED YARDS UTILITY TRENCHING AND CONNECTIONS TREE REMOVAL AND NEW TREE PLANTING 																															

REV	REVISIONS
REV 1.30.24	
REV 9.25.24	
REV 10.29.24	

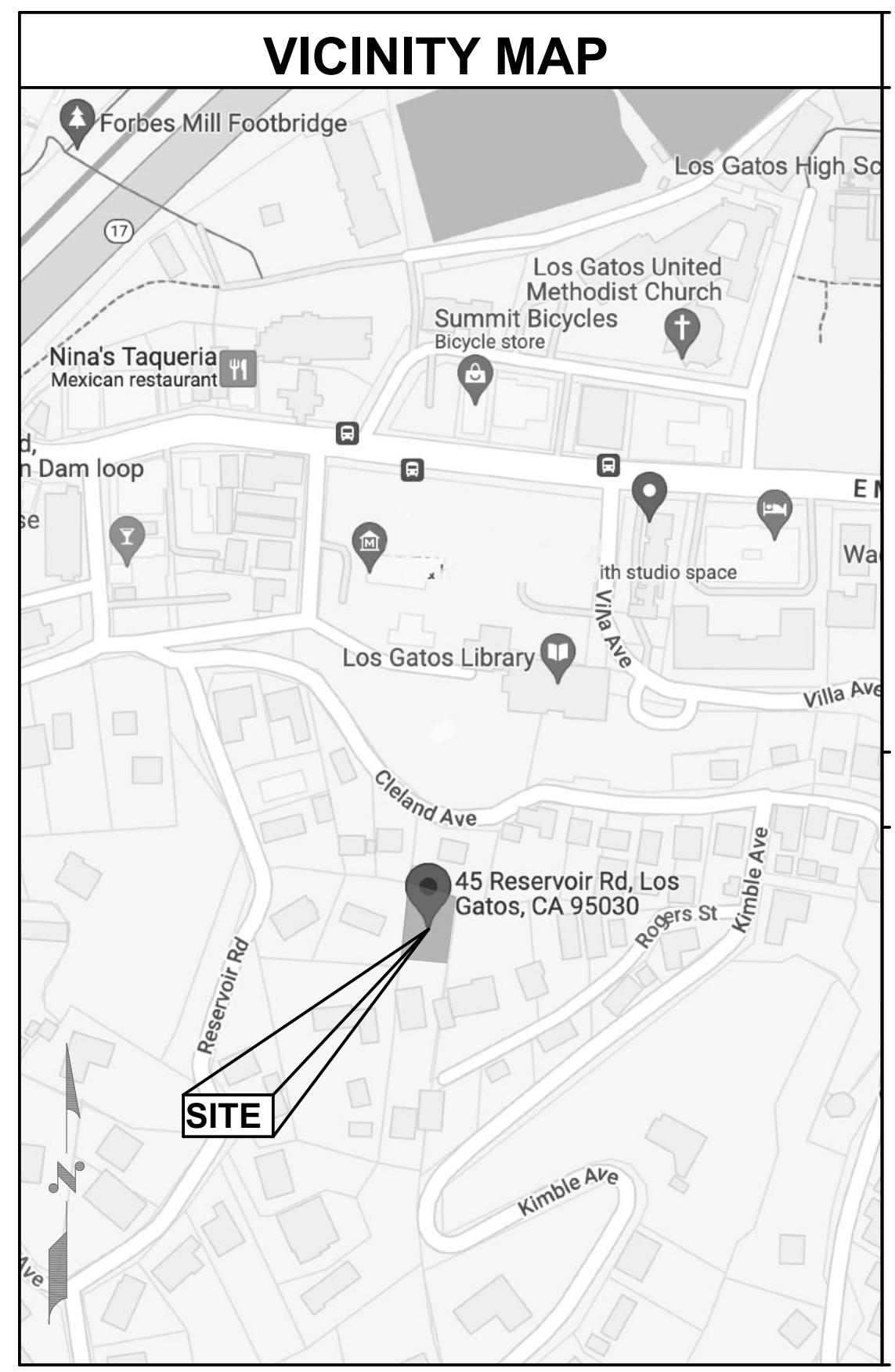


ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

NEIGHBORHOOD SITE PLAN

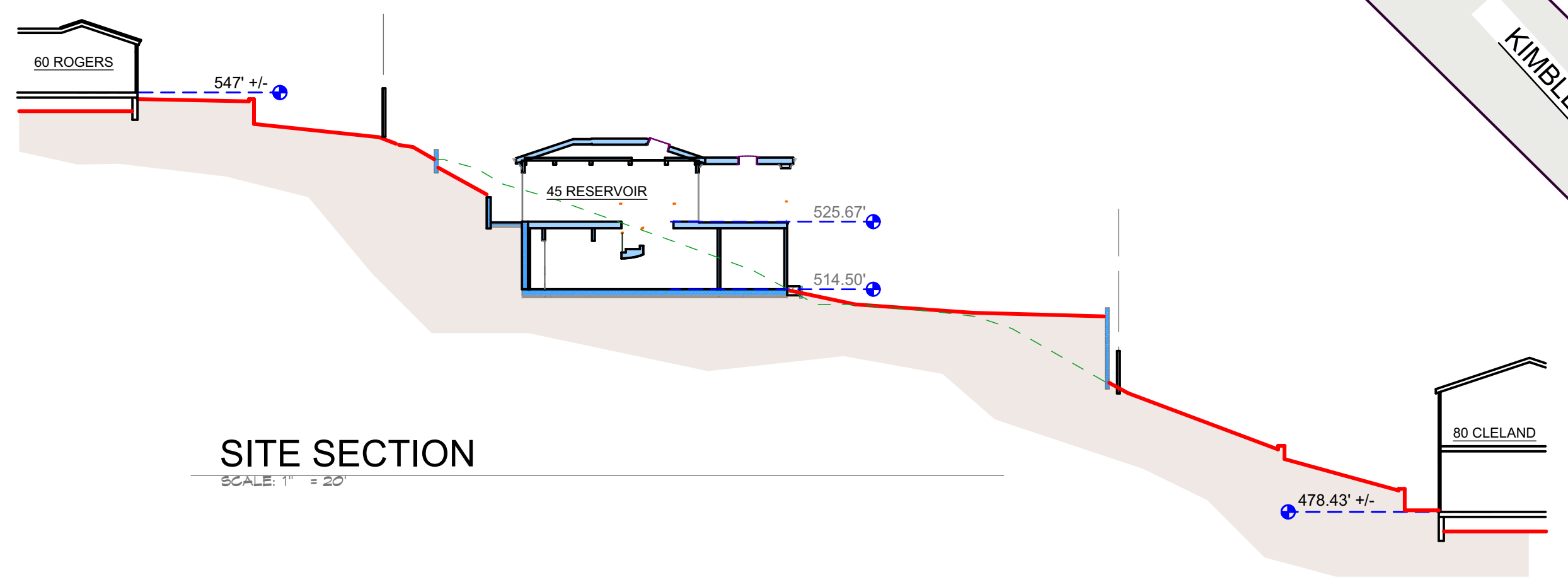
DATE: 11/08/22
 SCALE: AS SHOWN

SHEET
A-2
 2 OF -

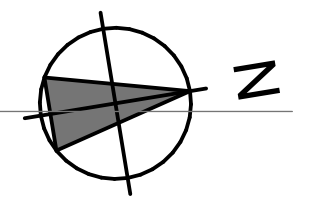


LEGEND

LABEL	ADDRESS: ZONING: (LOT SIZE)
R-1D (MIN. SIZE LOT 5000SF)	SETBACK FRONT 15FT SIDE 5FT REAR 20FT
R-1-10 (MIN. SIZE LOT 10,000SF)	SETBACK FRONT 25FT SIDE 10FT REAR 20FT
R-1-20 (MIN. SIZE LOT 20,000SF)	SETBACK FRONT 30FT SIDE 15FT REAR 25FT



NEIGHBORHOOD SITE PLAN
 SCALE: 1" = 40'



REVISIONS

REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



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ARCHITECTURE AND SITE APPLICATION FOR
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**DEMO/
 EXISTING
 SITE PLAN**

DATE: 11/08/22

SCALE: AS SHOWN

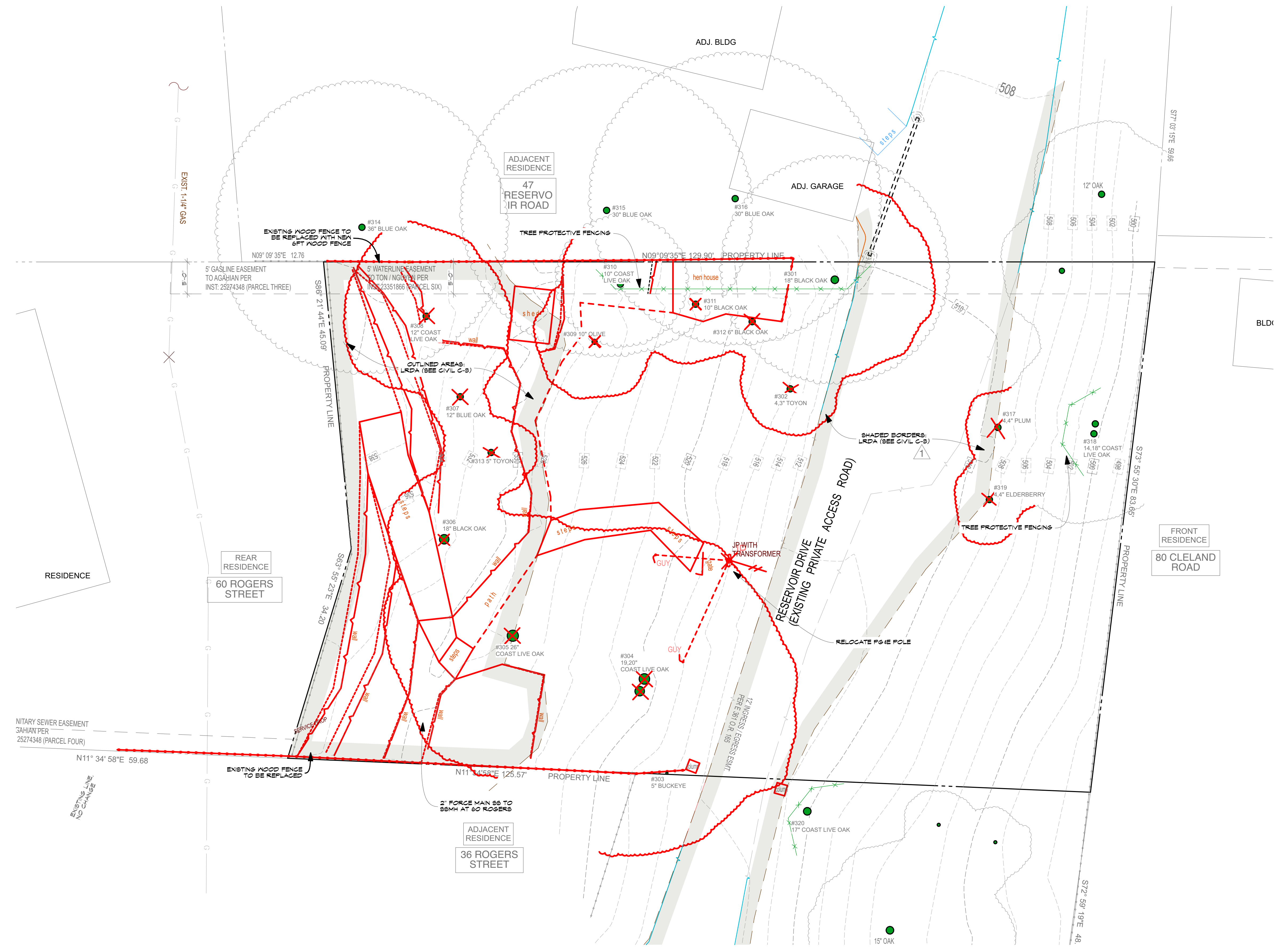
SHEET

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3 OF -

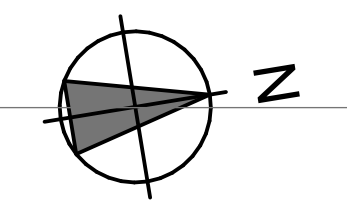
LEGEND

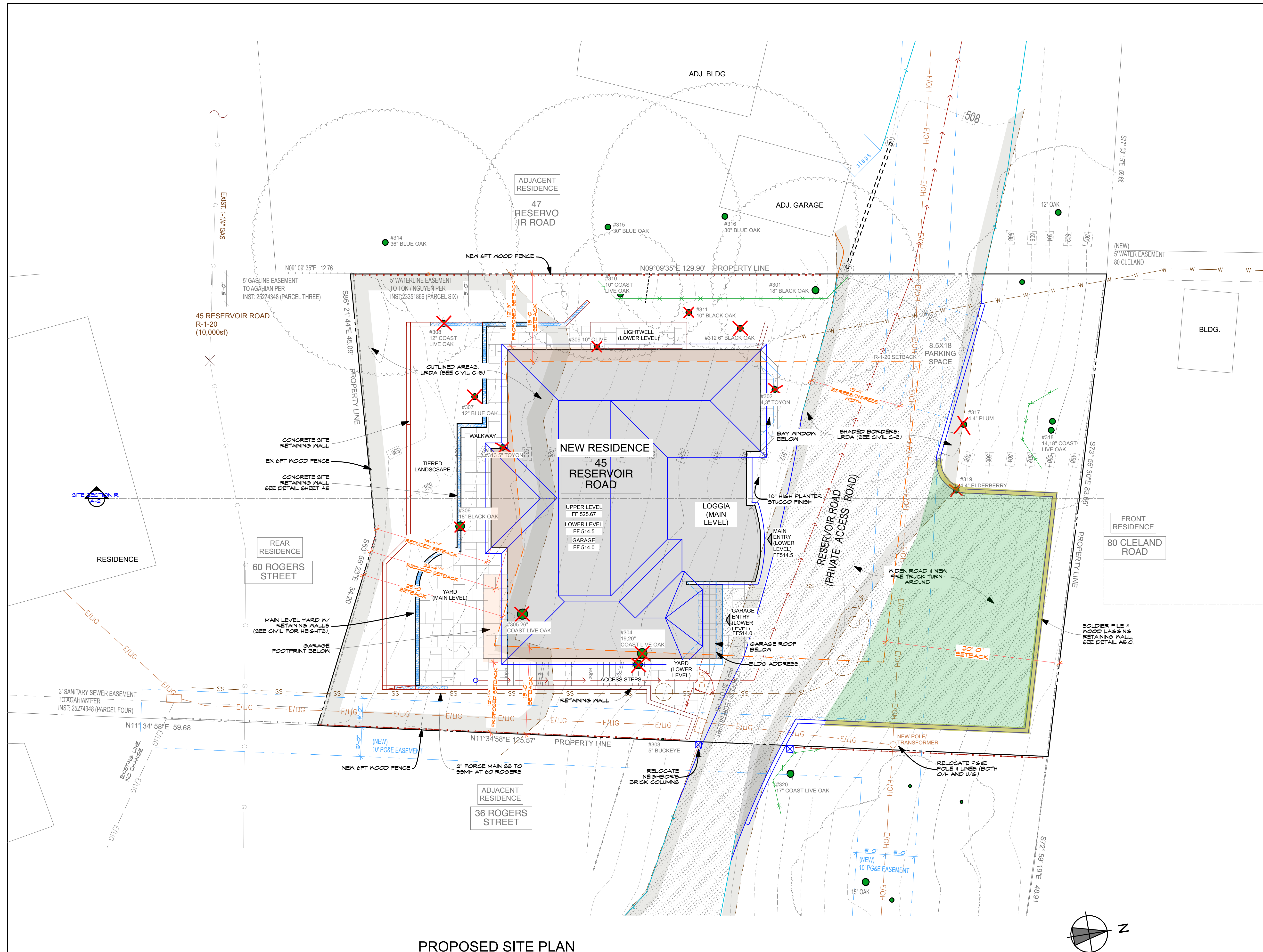
	EXISTING PROPERTY LINE
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING LANDSCAPE RETAINING WALLS
	EXISTING WOOD FENCE
	TREE PROTECTION FENCE
	ELECTRICAL METER
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING ASPHALT PAVED PRIVATE ROAD
	LEAST RESTRICTIVE DEVELOPMENT AREA



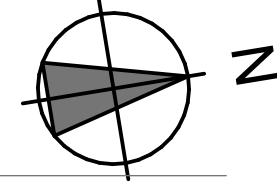
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"





PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



SCOPE OF WORK

SITE AND ARCHITECTURAL DEVELOPMENT ON AN EXISTING VACANT R-1-20 ZONED LOT (HILLSIDE OVERLAY).
 WORK TO INCLUDE:
 BUILDINGS:
 1. CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED ACCESSORY DWELLING UNIT, AN ATTACHED GARAGE AND BELOW GRADE BASEMENT.
 2. COVERED DECK AND BALCONY.
 3. EGRESS, VENTILATION WELLS AND ACCESS STAIRS.

SITE IMPROVEMENTS (REFER TO CIVIL AND LANDSCAPE PLANS):
 1. MODIFY EXISTING PRIVATE ROAD TO PROVIDE PARKING AND FIRE TRUCK TURNOUT.
 2. DRIVEWAY ACCESS TO GARAGE.
 3. SITE RETAINING WALLS AND PAVED YARDS.
 4. LANDSCAPE AND IRRIGATION.
 5. UTILITY TRENCHING AND CONNECTIONS.

TREE PROTECTION

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING, WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED. POSTS MAY BE SUPPORTED BY CONCRETE BASE.

2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 24.10.102B".

3. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

SITE ADDRESS

ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. 4" HIGH WITH A MIN. STROKE WIDTH OF 1/8". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CBC RB19.1. SEE FRONT ELEVATION ON A12 FOR LOCATION.

LEGEND

- EXISTING PROPERTY LINE
- - - BUILDING SETBACK LINE (R-1-20)
- - - BUILDING SETBACK LINE (PROPOSED)
- [Solid Blue] MAIN LEVEL STRUCTURE FOOTPRINT
- [Dashed Blue] LOWER LEVEL STRUCTURE FOOTPRINT
- [Blue Line] OVERHEAD ROOF LINE
- [Red Box] LIGHT WELL, ACCESS STAIR, YARDS
- [Red Line] CONCRETE RETAINING WALL
- [Red Line] EXISTING/NEW WOOD FENCE
- [Green X] TREE PROTECTION FENCE
- [Red X] EXISTING TREE TO BE REMOVED
- [E/OH] ELECTRICAL LINE (OVERHEAD)
- [E/UG] ELECTRICAL LINE (UNDERGROUND)
- [W] WATER METER
- [SS] SEWER CLEAN-OUT
- [Green] AREA DRAIN LOCATIONS
- [Red Arrow] TRAVEL DISTANCE FROM HYDRANT TO FARTHEST BLDG CORNER
- [Green] EXCEPTION AREA WITH RETAINING WALLS OVER 4FT HIGH
- [Light Green] EXCEPTION AREA WITH FILL OVER 8FT HIGH
- [Orange] FLOOR AREA ENCRoACHING INTO SETBACK
- [Grey] LEAST RESTRICTIVE DEVELOPMENT AREA

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD
 LOS GATOS, CA 95030

ARCHITECTURAL SITE PLAN

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

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REVISIONS

REV.	1.30.24
REV.	9.25.24
REV.	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD
 LOS GATOS, CA 95030

PRELIMINARY LANDSCAPE PLAN

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

A-5

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LEGEND

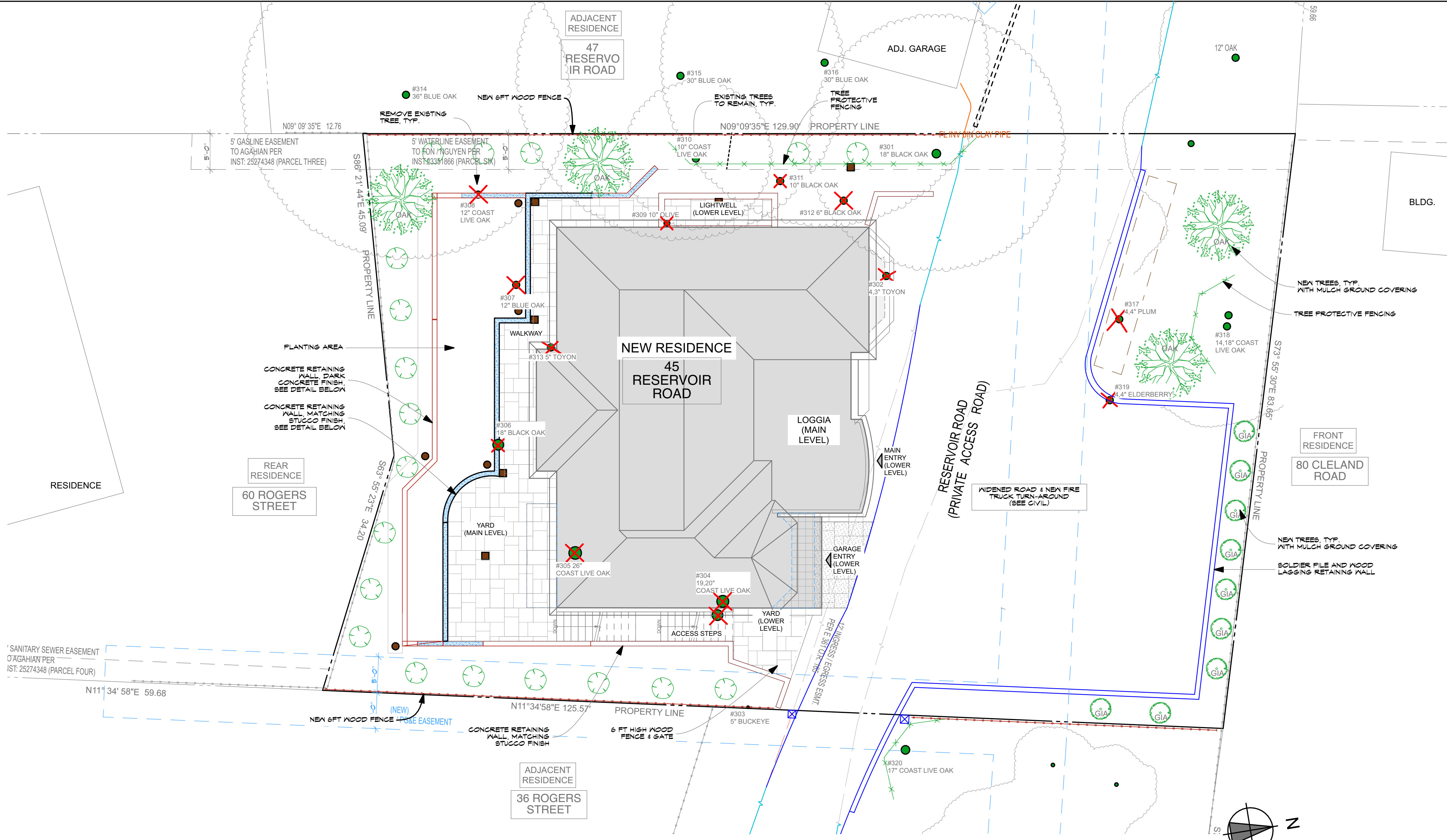
- DRIVEWAY: STONE PAVEMENT / CONCRETE SLAB
- WALKWAY, YARD, SITE STAIR: STONE PAVEMENT / CONCRETE SLAB
- ROAD: ASPHALT PAVING
- LANDSCAPE AREA W/ MULCH COVER
- CONCRETE RETAINING WALLS FINISH TO BE SANDBLASTED WITH STAINED CONCRETE, OR SMOOTH STUCCO FINISH, BOTH TO HAVE LRV OF 50 OR LESS.
- TREE: EXISTING TREE (AND DRIB LINE) TO REMAIN
- EXISTING TREE TO BE REMOVED
- (4) OAK
- (14) BAY LAUREL, PODOCARPUS, OR PITTOSPORUM (WITHIN 50' FROM RESIDENCE)
- (9) 24 BOX THUJA GREEN GIANT

TREE INVENTORY

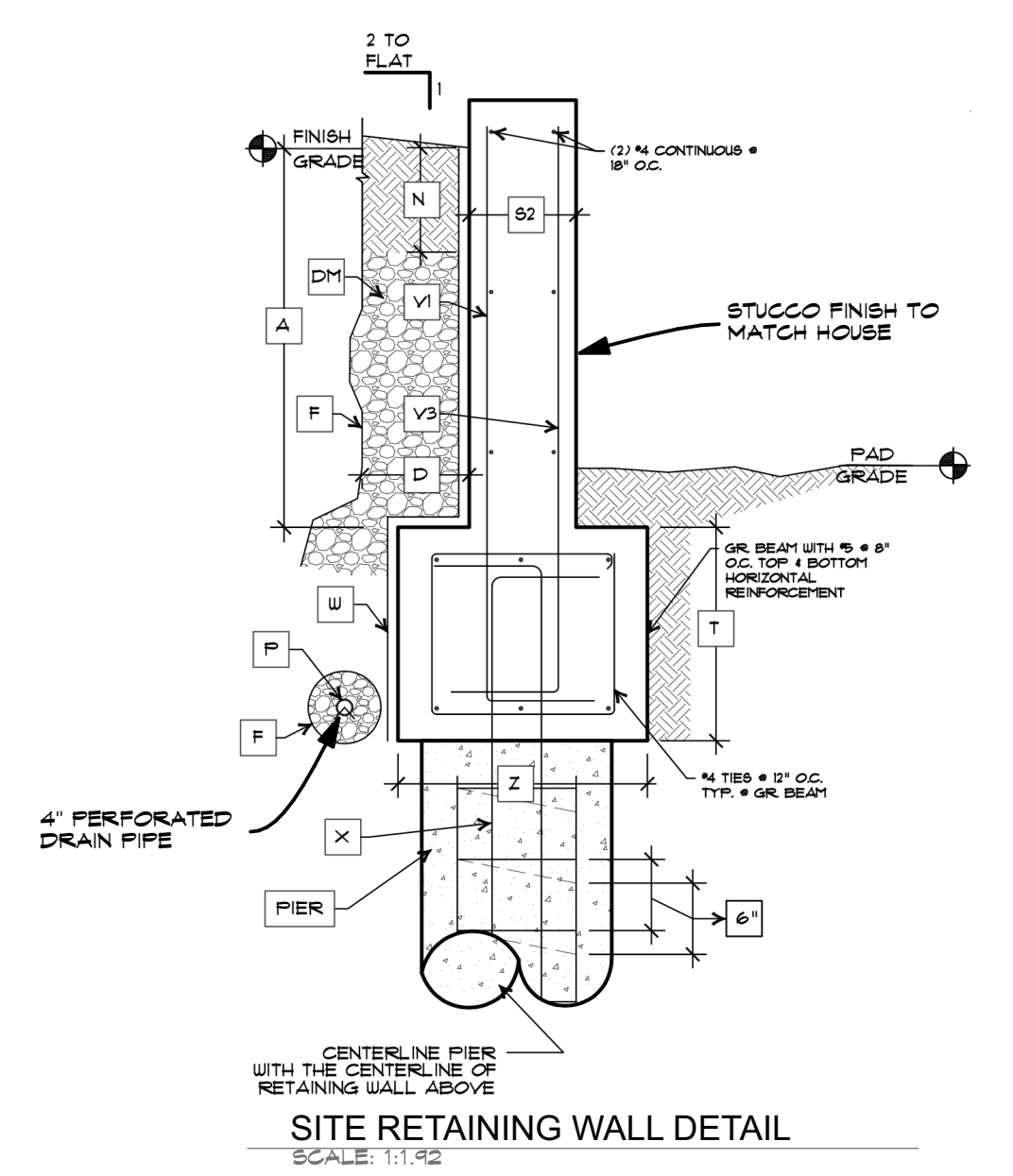
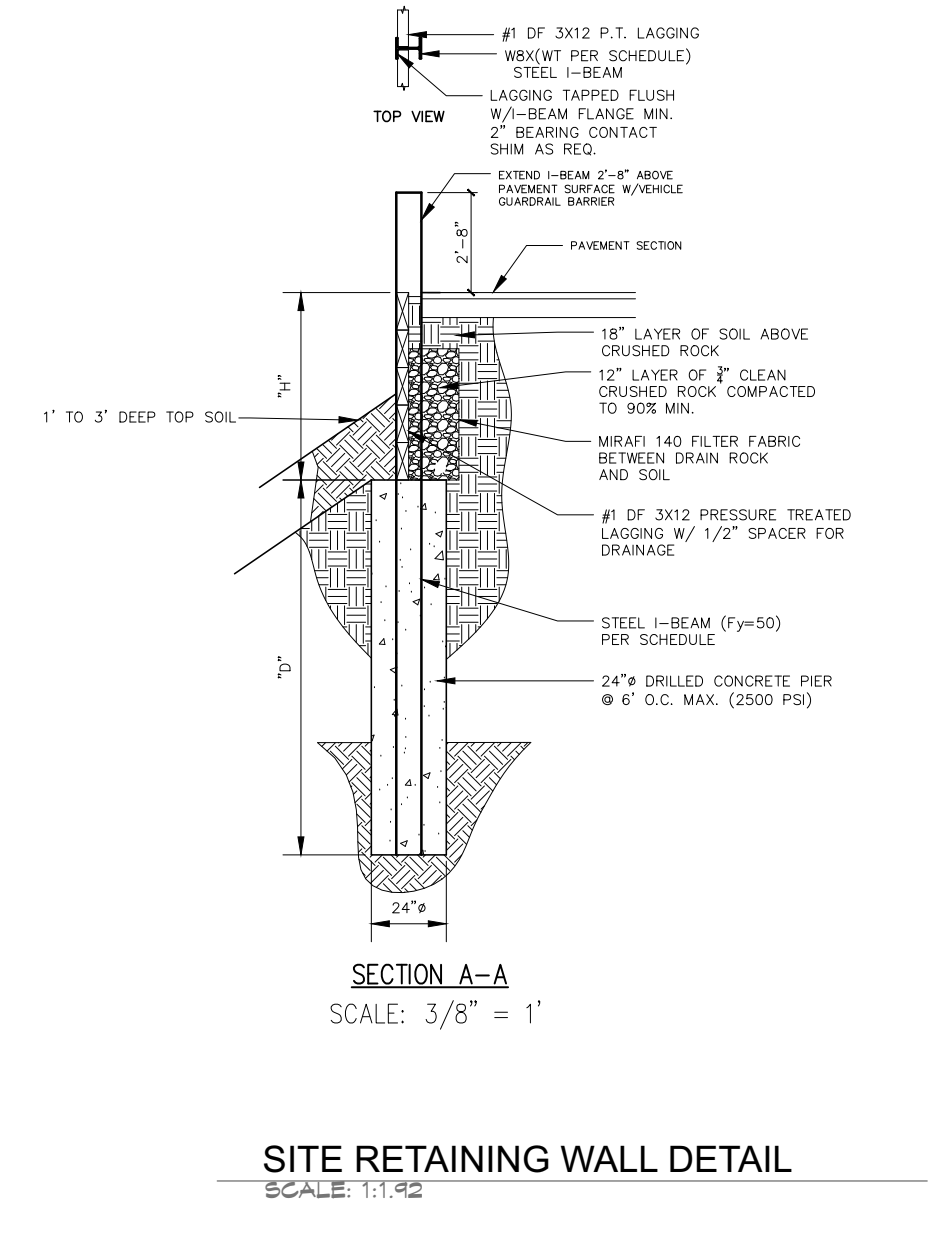
ID	SPECIES	CANOPY	STATUS	REPLACEMENT
301	BLACK OAK	35'	REMAIN	
302	TOYON	8'	REMOVE	(2) 15 GAL.
303	BUCKEYE	10'	REMAIN	
304	LIVE OAK	35'	REMOVE	(4) 15 GAL.
305	LIVE OAK	35'	REMOVE	(4) 15 GAL.
306	BLACK OAK	25'	REMOVE	(3) 15 GAL.
307	BLUE OAK	20'	REMOVE	(3) 15 GAL.
308	LIVE OAK	20'	REMOVE	(3) 15 GAL.
309	OLIVE	20'	REMOVE	EXEMPT
310	LIVE OAK	20'	REMAIN	
311	BLACK OAK	10'	REMOVE	(2) 15 GAL.
312	BLACK OAK	10'	REMOVE	(2) 15 GAL.
313	TOYON	10'	REMOVE	(2) 15 GAL.
314	BLUE OAK	45'	REMAIN*	
315	BLUE OAK	45'	REMAIN*	
316	BLUE OAK	45'	REMAIN*	
317	PLUM	15'	REMOVE	EXEMPT
318	LIVE OAK	35'	REMAIN	
319	ELDERBERRY	15'	REMOVE	EXEMPT (neighbor's property)
320	LIVE OAK	35'	REMAIN*	

TOTAL REPLACEMENT TREES = (25) 24" BOX.

* INDICATES TREES LOCATED ON ADJACENT PROPERTIES.



PRELIMINARY LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS	
REV.	7.30.24
REV.	9.23.24
REV.	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
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 45 RESERVOIR ROAD LOS GATOS, CA 95030

LOWER LEVEL FLOOR PLAN

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

A-6

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LEGEND

- EXISTING PROPERTY LINE
- BUILDING SETBACK LINE
- REDUCED BUILDING SETBACK LINE
- FLOOR AREA (RESIDENCE)
- FLOOR AREA (ADU)
- BELOW GRADE BASEMENT AREA
- GARAGE AREA (NOT COUNTED AS BELOW GRADE BASEMENT)
- FLOOR AREA ENCROACHING INTO SETBACK
- OUTLINE OF FLOOR FOOTPRINT ABOVE
- RETAINING WALLS
- PAVED PATIOS, YARDS
- EXTERIOR LIGHT FIXTURE



LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

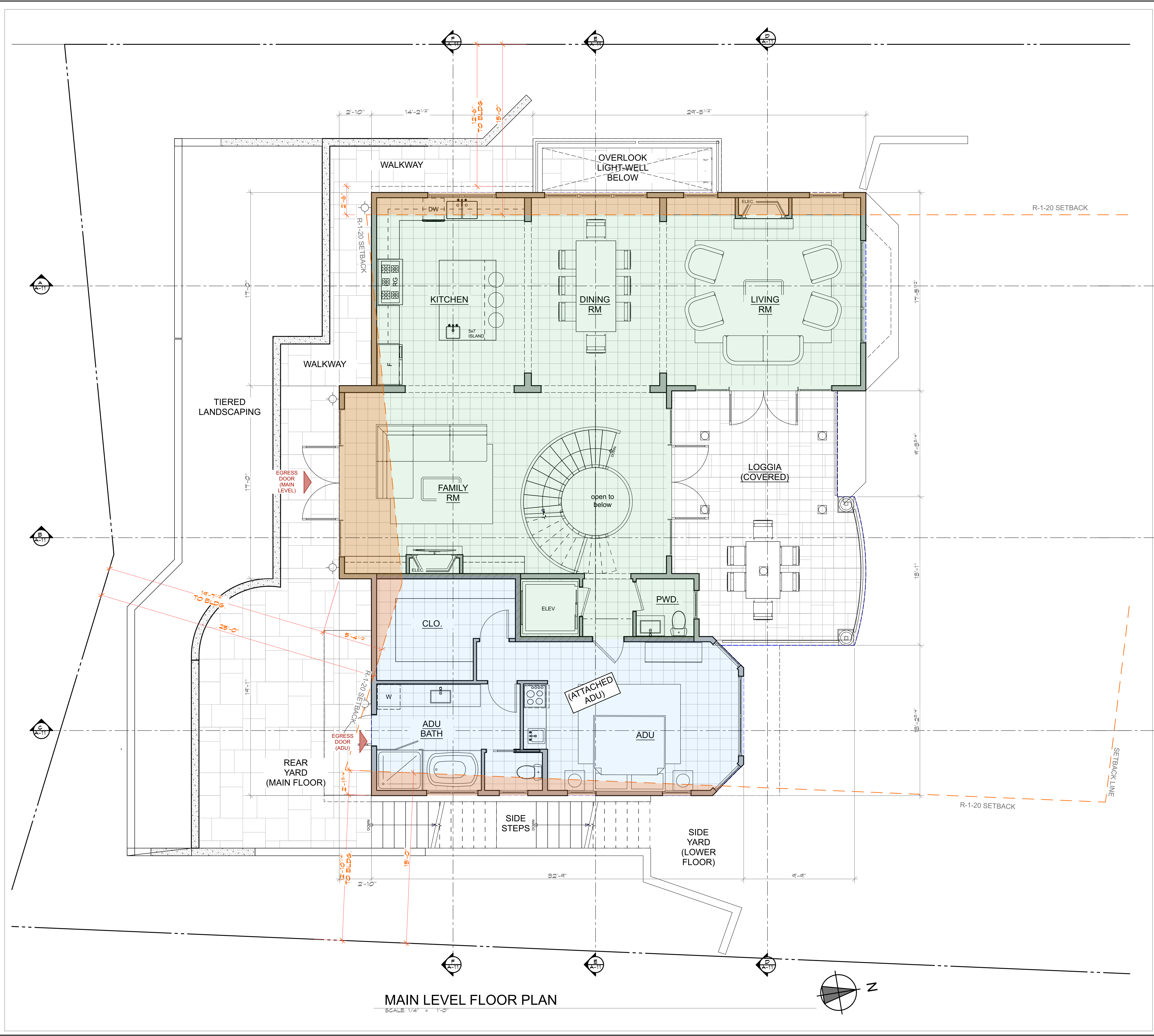
MAIN LEVEL FLOOR PLAN

DATE: 11/08/22
 SCALE: AS SHOWN

SHEET
A-7
 7 OF -

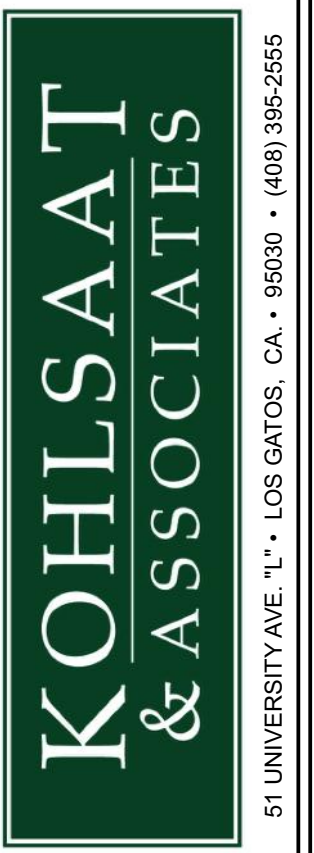
LEGEND

- EXISTING PROPERTY LINE
- BUILDING SETBACK LINE
- REDUCED BUILDING SETBACK LINE
- FLOOR AREA (RESIDENCE)
- FLOOR AREA (ADU)
- BELOW GRADE BASEMENT AREA
- GARAGE AREA (NOT COUNTED AS BELOW GRADE BASEMENT)
- FLOOR AREA ENCROACHING INTO SETBACK
- OUTLINE OF FLOOR FOOTPRINT ABOVE
- RETAINING WALLS
- PAVED PATIOS, YARDS
- EXTERIOR LIGHT FIXTURE



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
REV	7.30.24
REV	9.25.24
REV	10.29.24

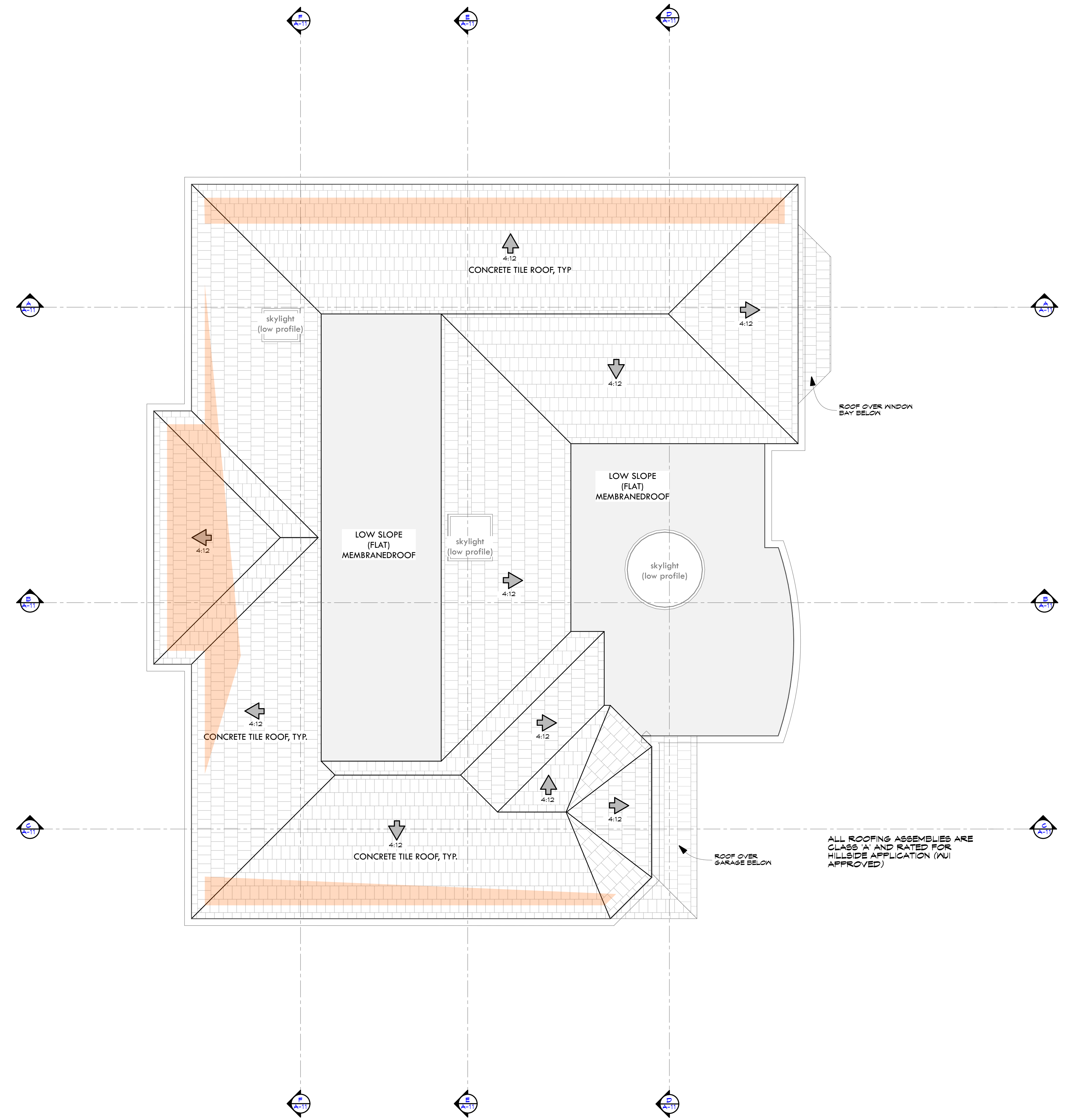


ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

ROOF PLAN

DATE: 11/08/22
 SCALE: AS SHOWN

SHEET
A-8
 2 OF -



ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

REV.	7.30.24
REV.	9.25.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

ELEVATIONS

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

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NORTH (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"

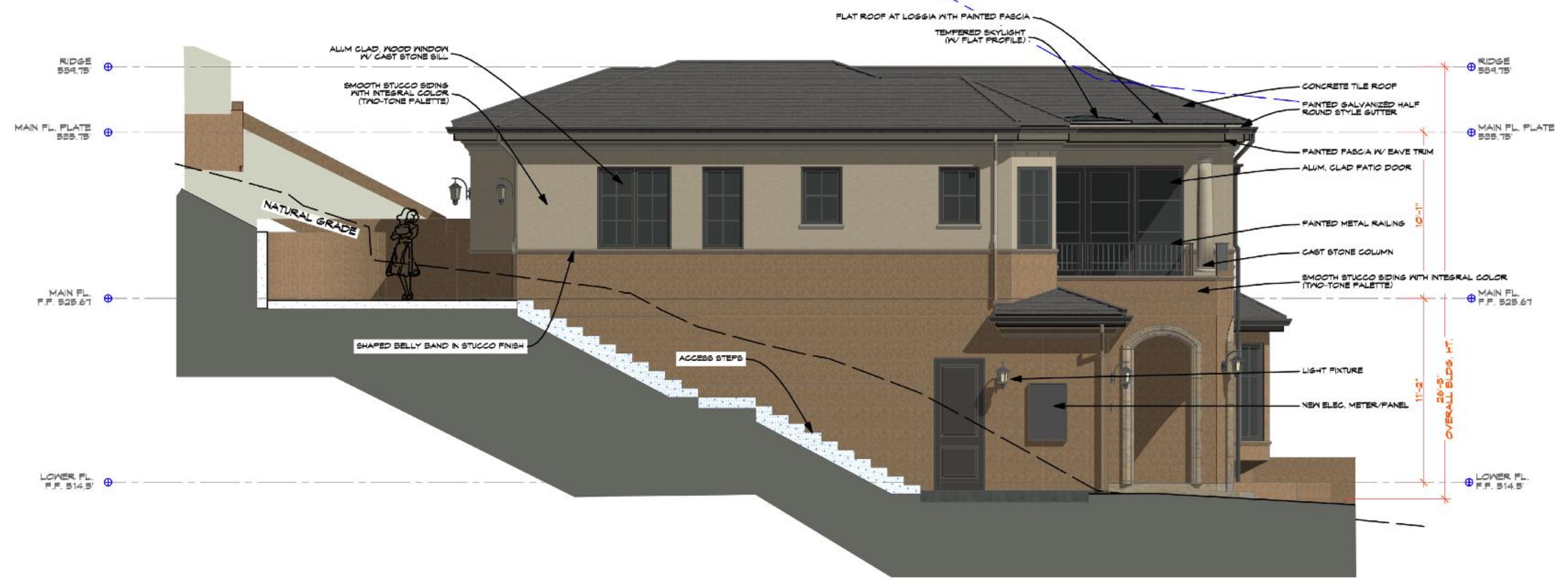
Front Elevation

Material	Area	Specification	LRV	LRV x Area
Stucco-Lighter	206	EM-Huntington Beige HC-21	40	8240
Stucco-Darker	419	EM-Free Spirit 245	24.4	10223.6
Gutters	35	EM-Kendall Charcoal	15	525
Cast Stone	26	Siena Stone-Oatmeal	50	1300
D/W Frames	196	Fleetwood-Black Anodized	3.3	646.8
Total =	882		Total =	20935.4
			LRV =	23.75623

Left Elevation

Material	Area	Specification	LRV	LRV x Area
Stucco-Lighter	225	EM-Huntington Beige HC-21	40	9000
Stucco-Darker	426	EM-Free Spirit 245	24.4	10394.4
Gutters	25	EM-Kendall Charcoal	15	375
Cast Stone	18	Siena Stone-Oatmeal	50	900
D/W Frames	70	Fleetwood-Black Anodized	3.3	231
Total =	764		Total =	20900.4
			LRV =	27.35654

AVERAGE LRV CALCULATIONS



EAST (LEFT) ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS

REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 LOS GATOS, CA 95030
 45 RESERVOIR ROAD

ELEVATIONS

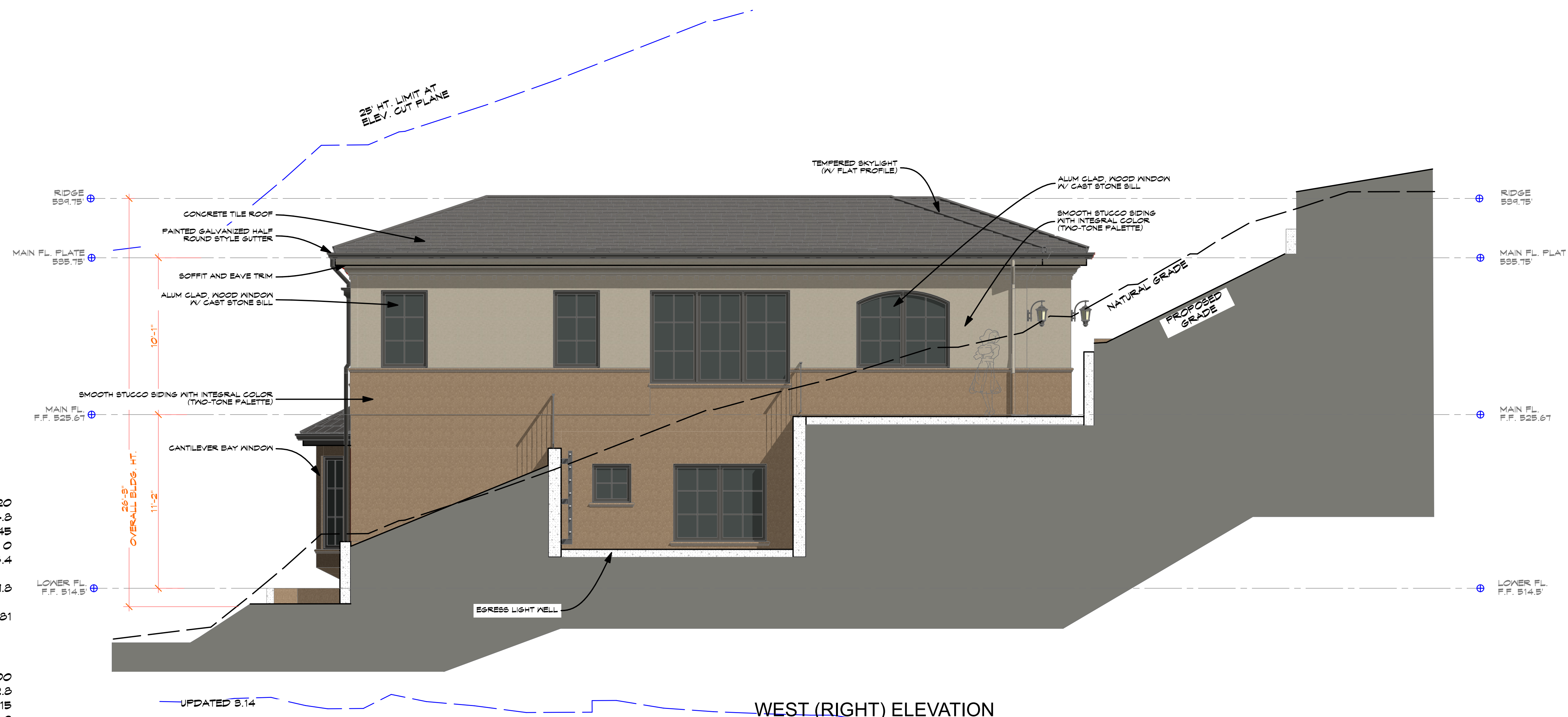
DATE: 11/08/22

SCALE: AS SHOWN

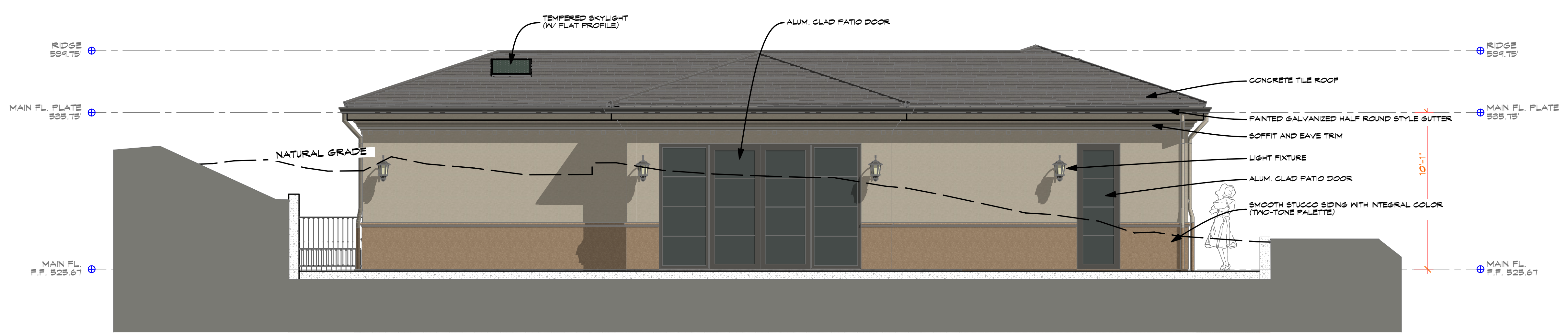
SHEET

A-10

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WEST (RIGHT) ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"

Rear Elevation

Stucco-Lighter	293	EM-Huntington Biege HC-21	40	11720
Stucco-Darker	117	EM-Free Spirit 245	24.4	2854.8
Gutters	23	EM-Kendall Charcoal	15	345
Cast Stone	0	Siena Stone-Oatmeal	50	0
D/M Frames	33	Fleetwood-Black Anodized	3.3	125.4
Total =	433			14919.8
				LRV = 34.45631

Right Elevation

Stucco-Lighter	225	EM-Huntington Biege HC-21	40	9000
Stucco-Darker	312	EM-Free Spirit 245	24.4	7612.8
Gutters	21	EM-Kendall Charcoal	15	315
Cast Stone	0	Siena Stone-Oatmeal	50	0
D/M Frames	43	Fleetwood-Black Anodized	3.3	153.4
Total =	559			16927.8
				LRV = 30.33656

Total Average LRV

Front Elevation	23.7
Left Elevation	27.4
Rear Elevation	34.5
Right Elevation	30.3
	116
Average LRV =	29

AVERAGE LRV CALCULATIONS

SCALE: 1/8" = 1'-0"

REVISIONS	
REV	7.30.24
REV	9.25.24
REV	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

SECTIONS

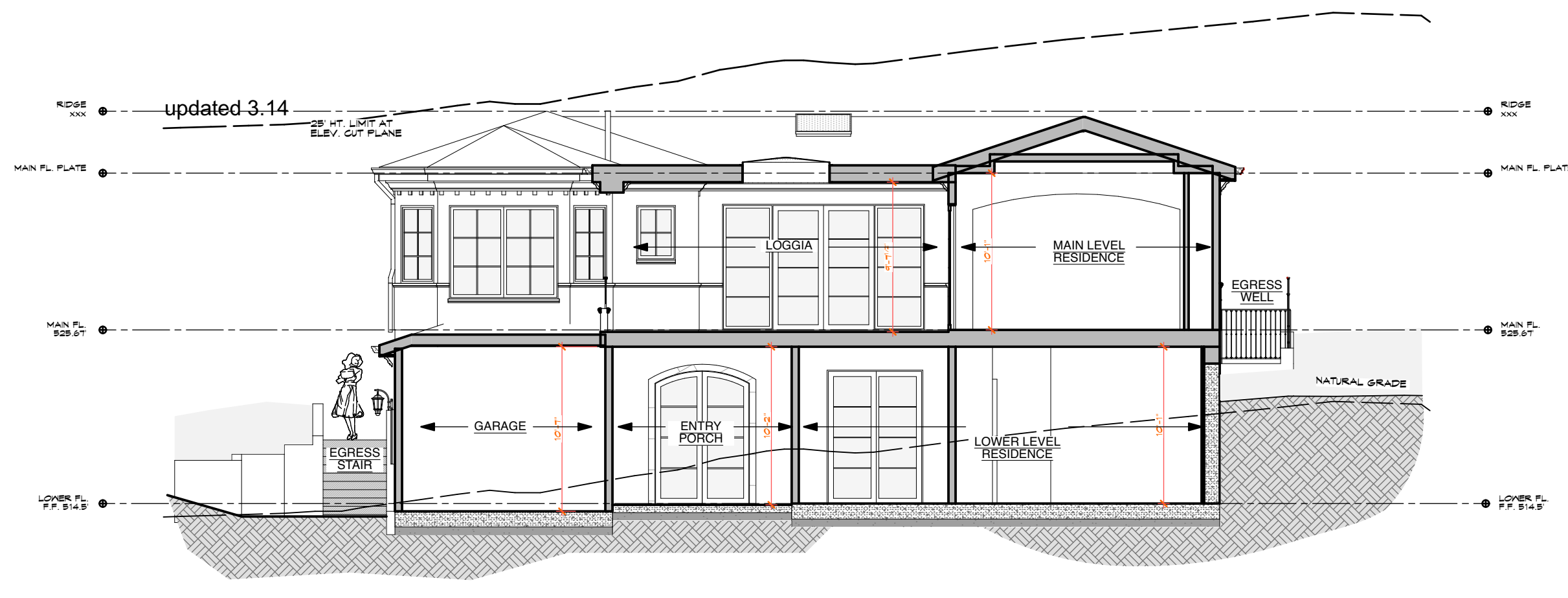
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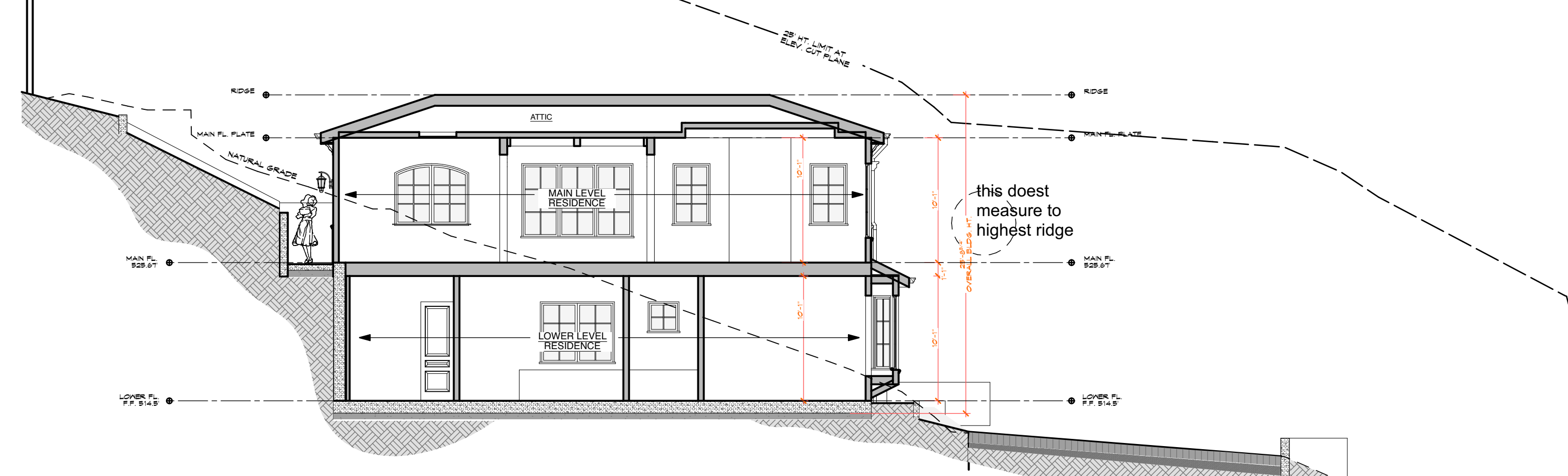
SHEET

A-11

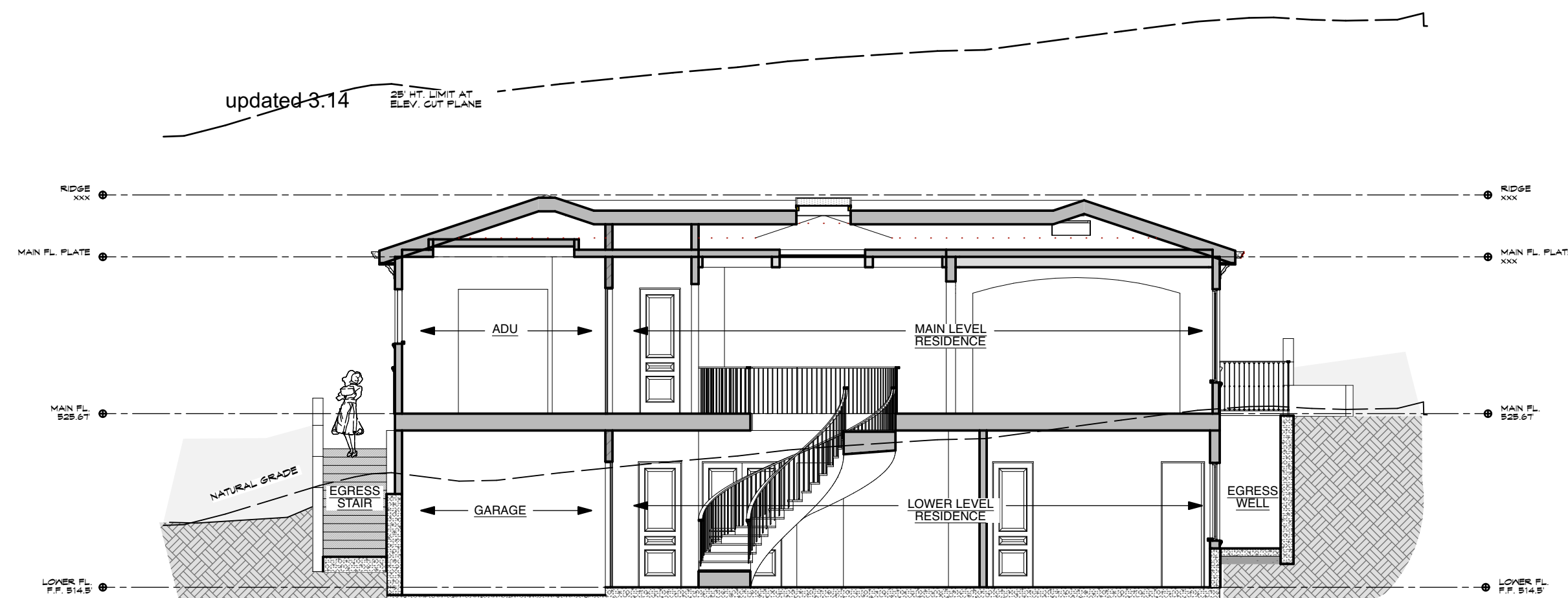
11 OF -



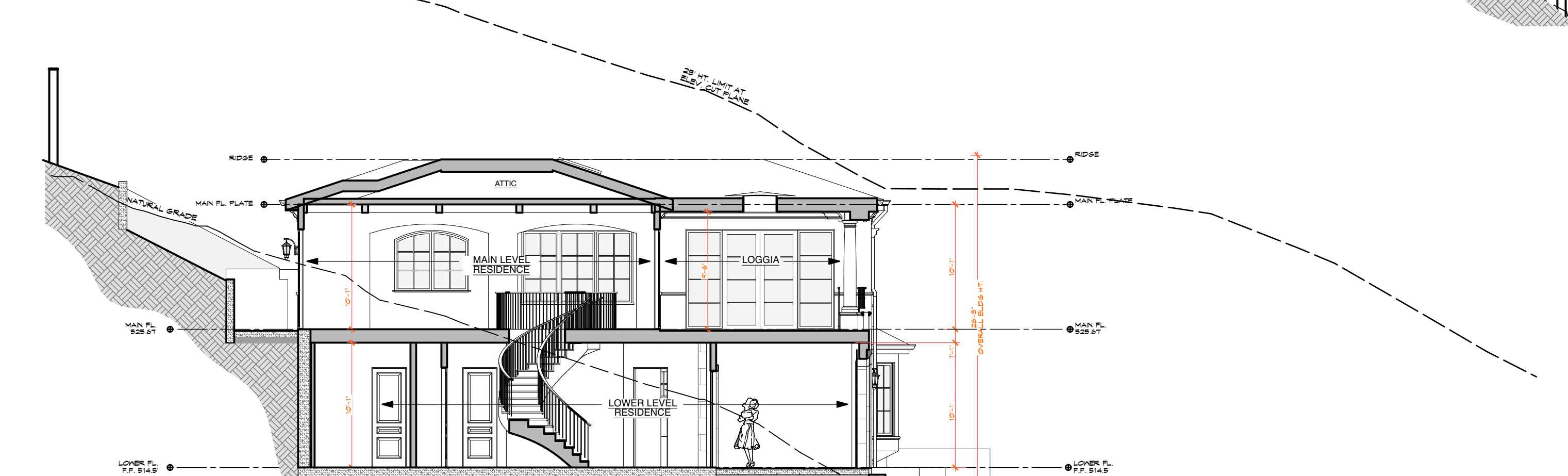
SECTION D
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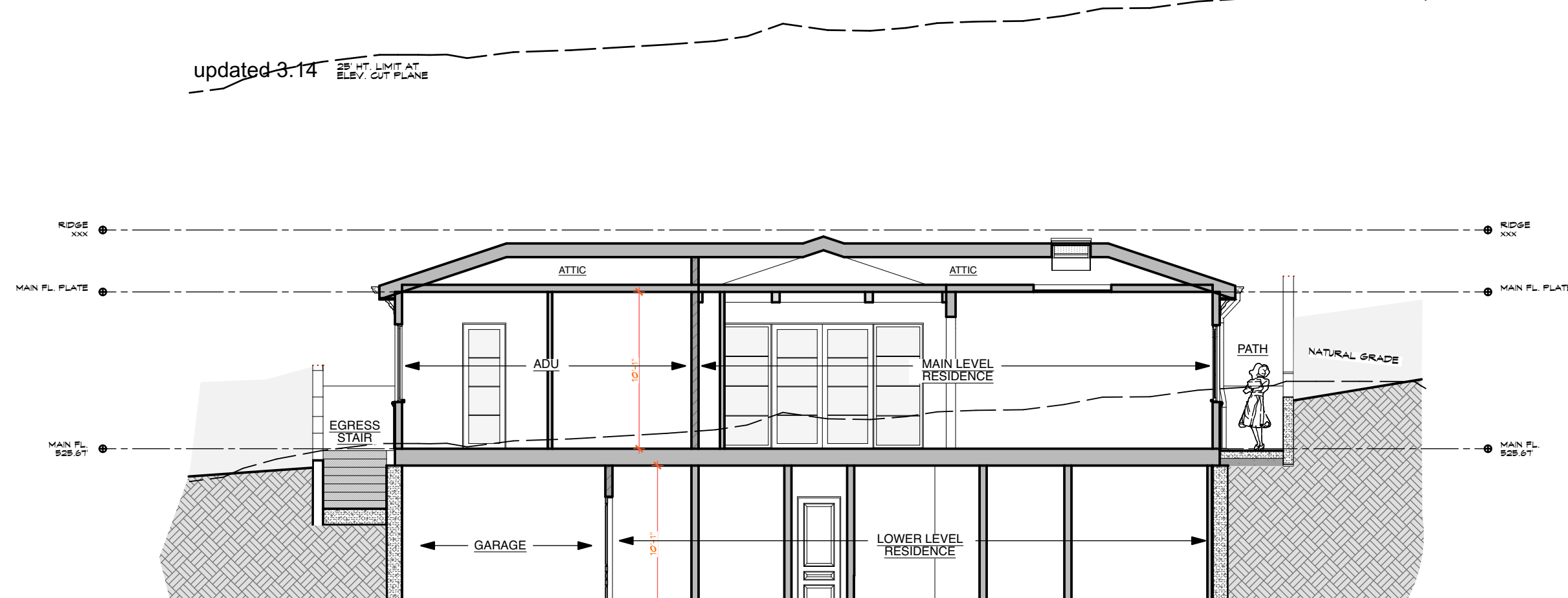
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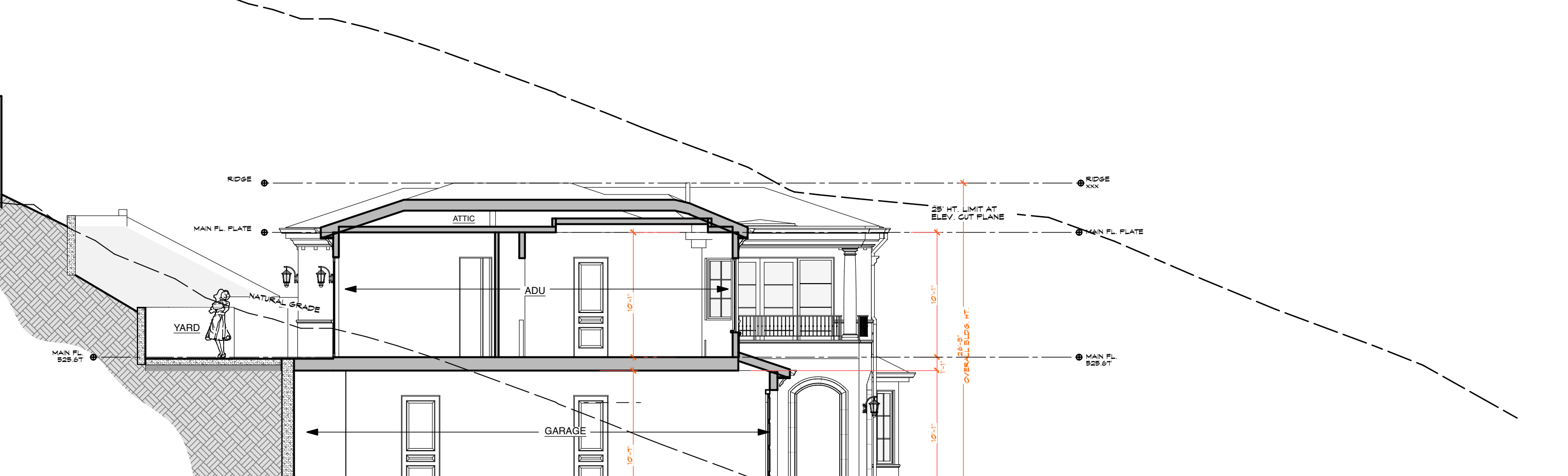
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SCALE: 1/8" = 1'-0"



SECTION B
SCALE: 1/8" = 1'-0"



SECTION F
SCALE: 1/8" = 1'-0"



SECTION C
SCALE: 1/8" = 1'-0"



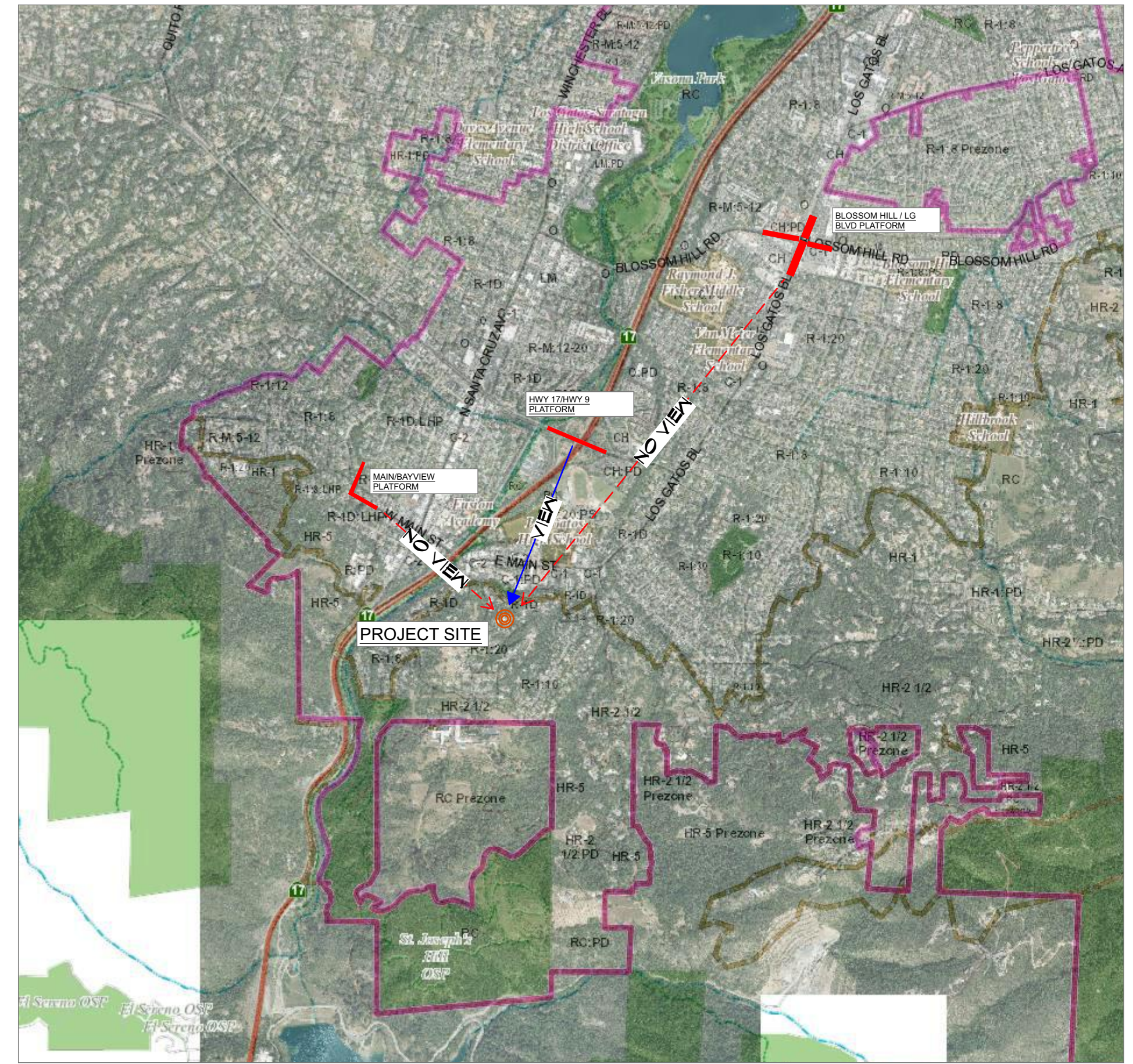
PHOTO TAKEN WITH 50MM LENS

REPRESENT THE VISIBILITY OF THE PROPOSED RESIDENCE FROM THE NAKED EYE



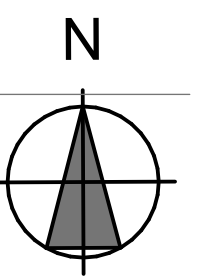
PHOTO TAKEN WITH 300MM LENS

REPRESENT AN UP-CLOSE PERSPECTIVE TO IDENTIFY VISIBLE STORY POLES, NETTING, TREES AND/OR SHRUBBERY.



MAP

SHOWING PROJECT SITE IN RELATIONSHIP TO VIEWING PLATFORMS



REQUIREMENT

CONDUCT A VISIBILITY ANALYSIS AS REQUIRED BY THE HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES FOR PROJECTS WITH THE POTENTIAL FOR BEING VISIBLE FROM ANY ESTABLISHED VIEWING AREA.

OBSERVATION LOCATIONS

BLOSSOM HILL/LG BLVD	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
MAIN & BAYVIEW	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
SELINDA WAY & LG ALMADEN ROAD	TOO FAR, NO VIEW TO PROJECT SITE
HAY 17 & HAY 9	VIEW TO PROJECT SITE, SEE ANALYSIS BELOW

METHOD

1. USING PRELIMINARY PARTIAL STORY POLES* AND ORANGE NETTING TO CALL OUT CRITICAL HEIGHTS AND BUILDING CORNERS.
2. PHOTOGRAPHS OF THE STORY POLES WERE TAKEN USING 50MM AND 300MM LENSES.
3. SEE PHOTOS FOR RESULTS AND ANALYSIS.

* CERTIFIED, COMPLETE STORY POLES COMPLIANT TO TOWN'S STANDARDS WILL BE INSTALLED AT LATER DATE.

ANALYSIS RESULTS

3 OUT OF 4 ELEVATIONS OF THE PROPOSED HOME ARE NOT VISIBLE TO THE VIEWING PLATFORM.

PART OF THE FRONT ELEVATION IS SHOWN TO BE PARTIALLY VISIBLE TO THE VIEWING PLATFORM, THE RATIO BETWEEN VISIBLE PART VS. NON-VISIBLE PART IS 22 : 78.

ADU PORTION OF THE RESIDENCE IS EXCLUDED FROM THE VISIBILITY CALCULATION.

PLANNING CONSIDERATIONS TO MINIMIZE VISIBILITY OF PROPOSED HOME

1. MINIMIZE BUILDING WIDTH ON VISIBLE SIDE OF THE LOT.
2. EMPLOY TIERED BUILDING CONFIGURATION, FOLLOWING THE HILLSIDE NATURAL CONTOUR.
3. USE OF AN AVERAGE LRV BELOW 30 FOR EXTERIOR FINISHES INCLUDING: ROOF COVERING, WALL SIDING AND EXTERIOR TRIM.
4. SITE PLANNING TO PRESERVE EXISTING MATURE TREES, WHICH PROVIDE SUBSTANTIAL SCREENING OF HOME.

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

VISIBILITY STUDY

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

A-12

12 OF -

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. "L" • LOS GATOS, CA • 95030 • (408) 385-2555

ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

VISIBILITY STUDY

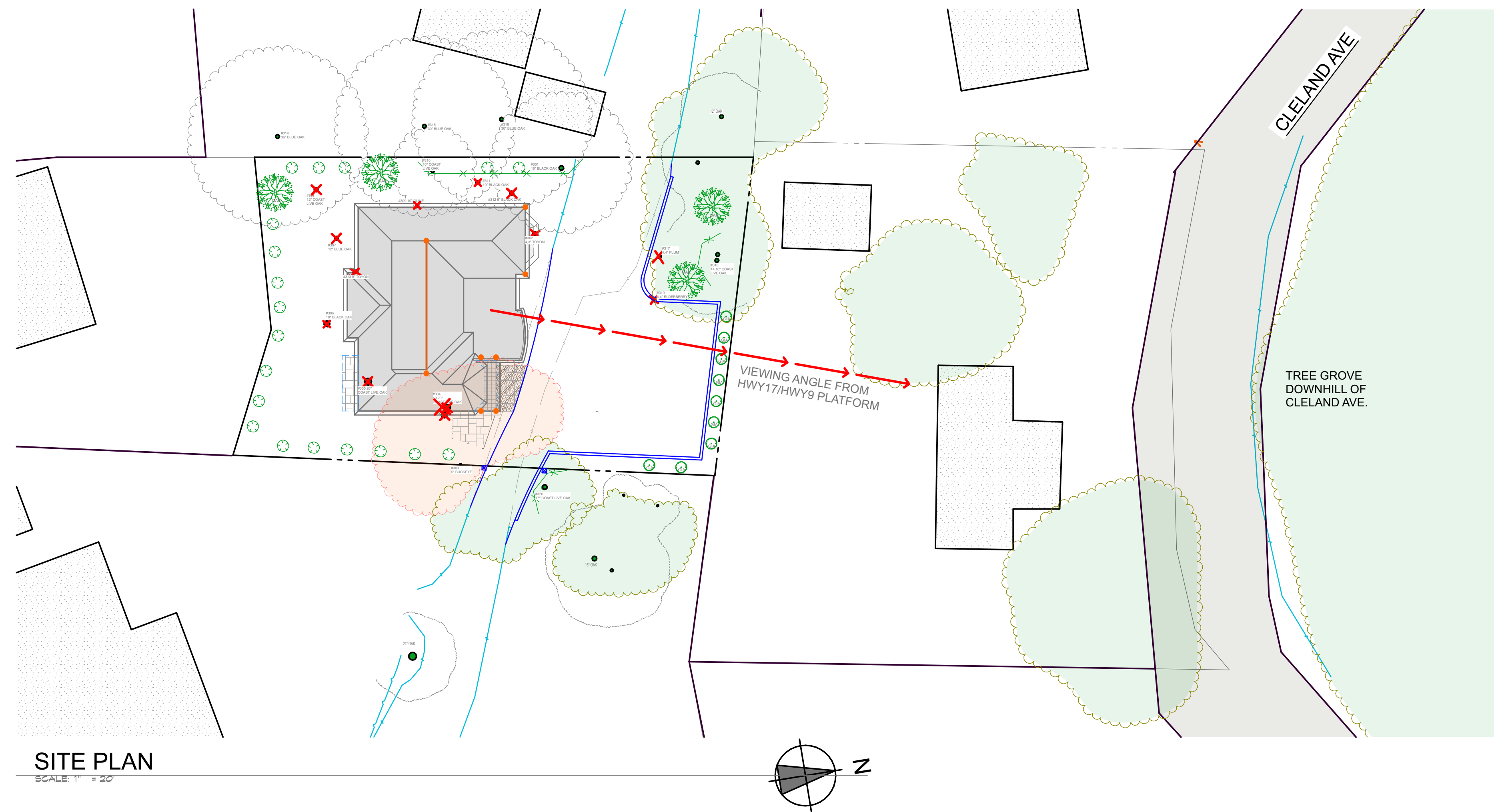
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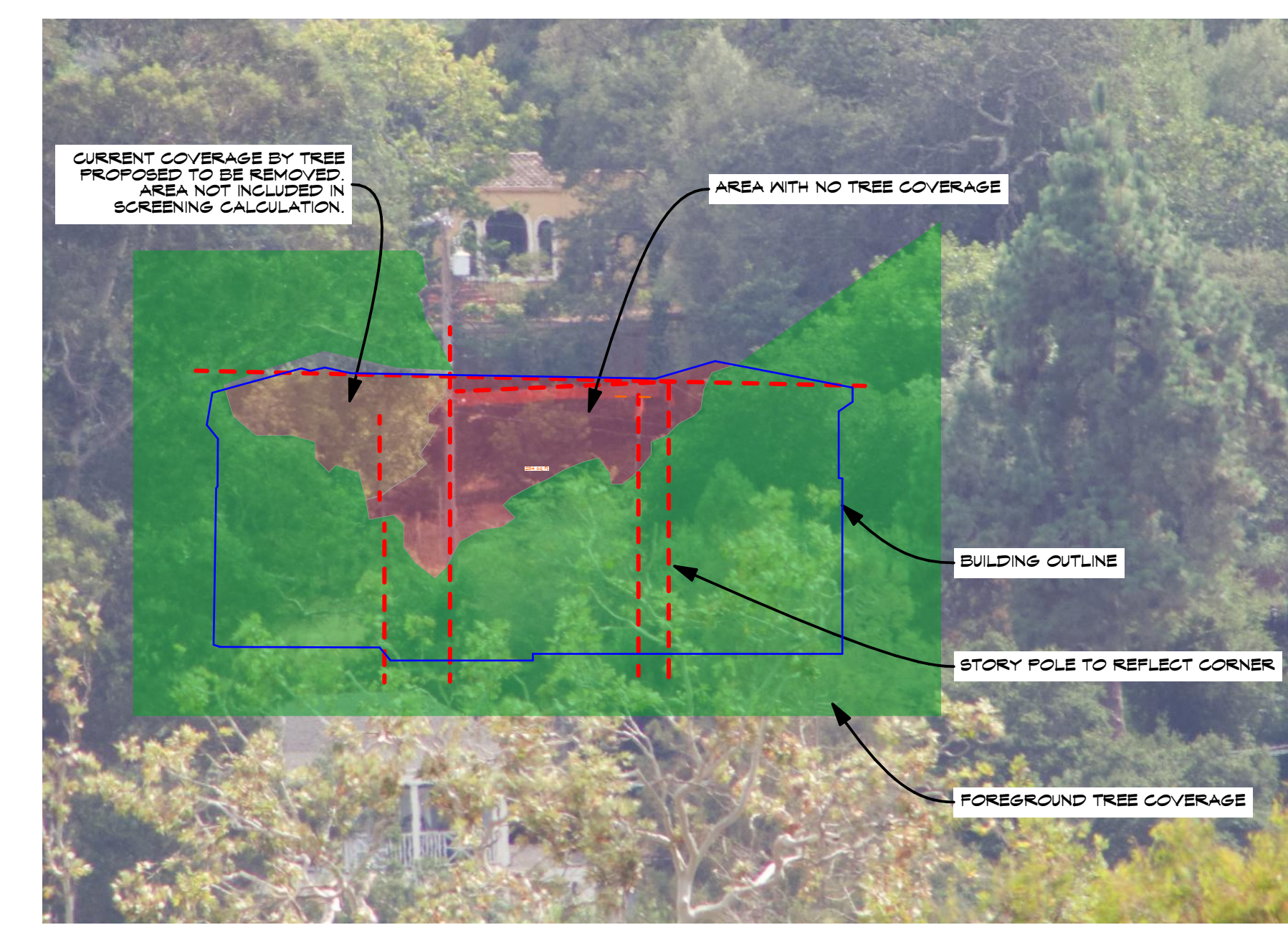
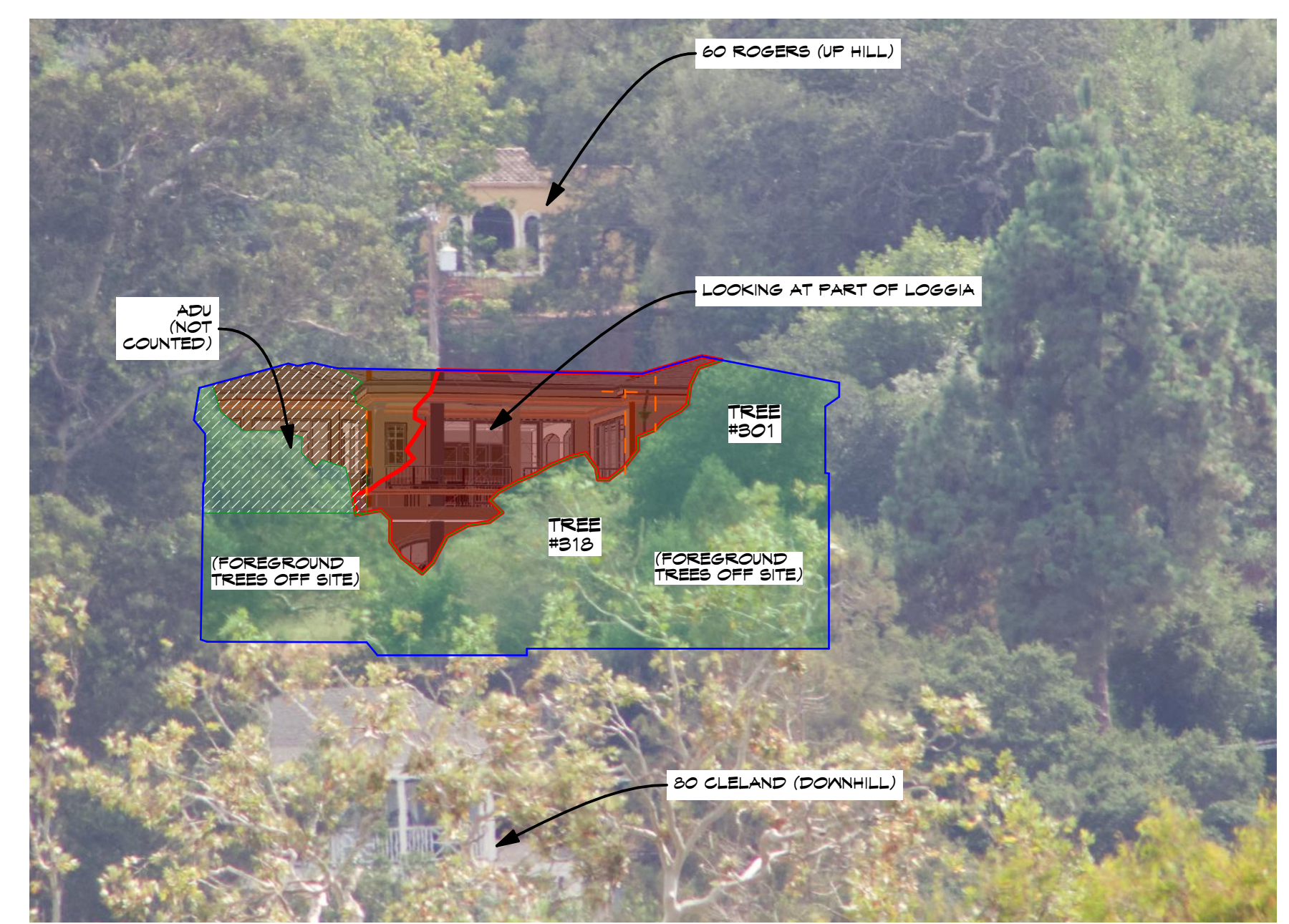
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A-13

13 OF -



ANALYSIS RESULT:
 RED SHADED AREA INDICATED VISIBLE AREA.
 ORANGE AREA INDICATES AREA NOW VISIBLE DUE TO TREE REMOVAL.
 (ADU EXCLUDED FROM CALCULATIONS)
 THE TOTAL VISIBLE PART EQUALS TO 22% OF THE ELEVATION.
 NO OTHER SIDE OF THE HOUSE IS VISIBLE.



TREE COVERAGE AND BUILDING VISIBILITY ANALYSIS

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
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SHADOW STUDIES

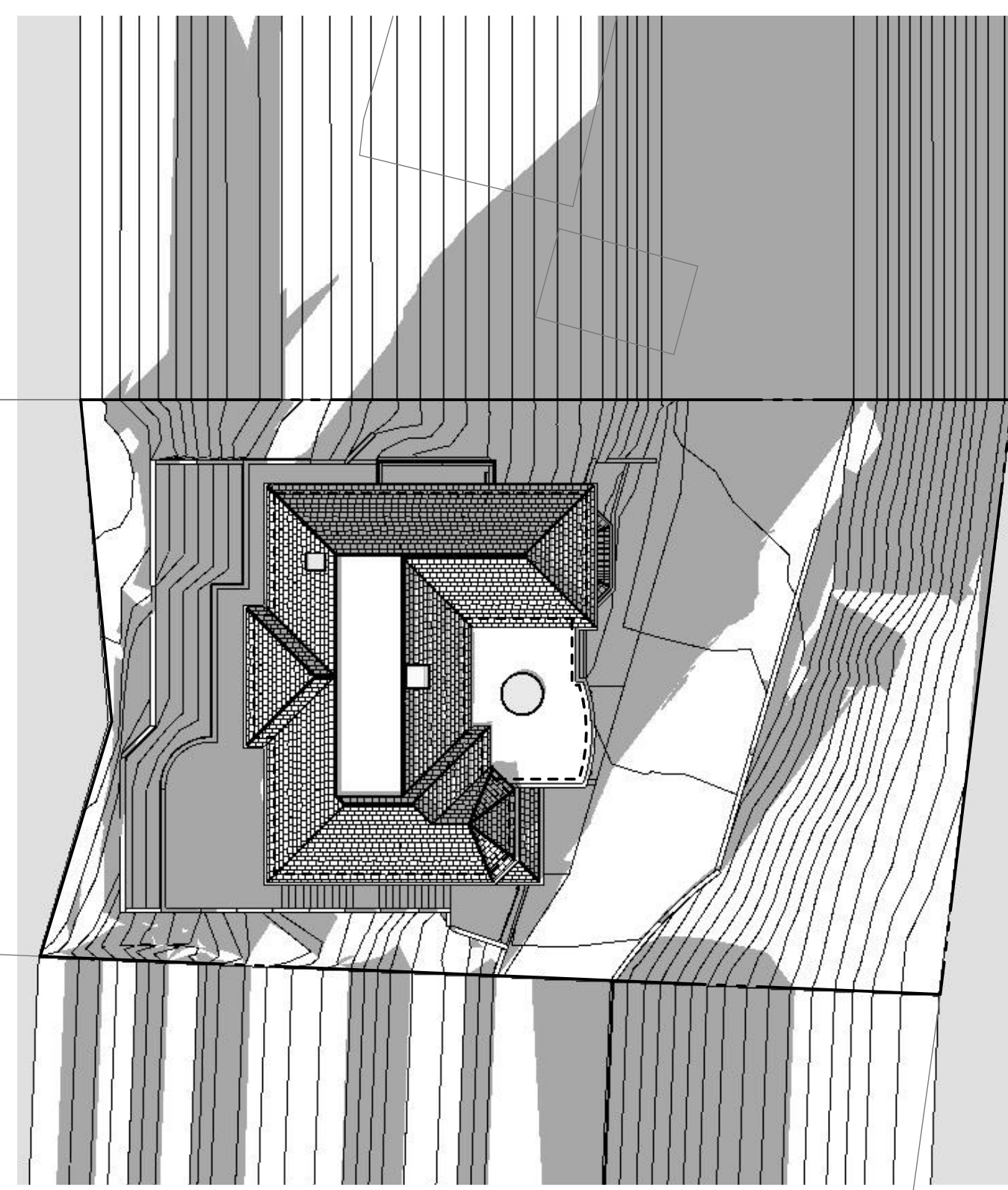
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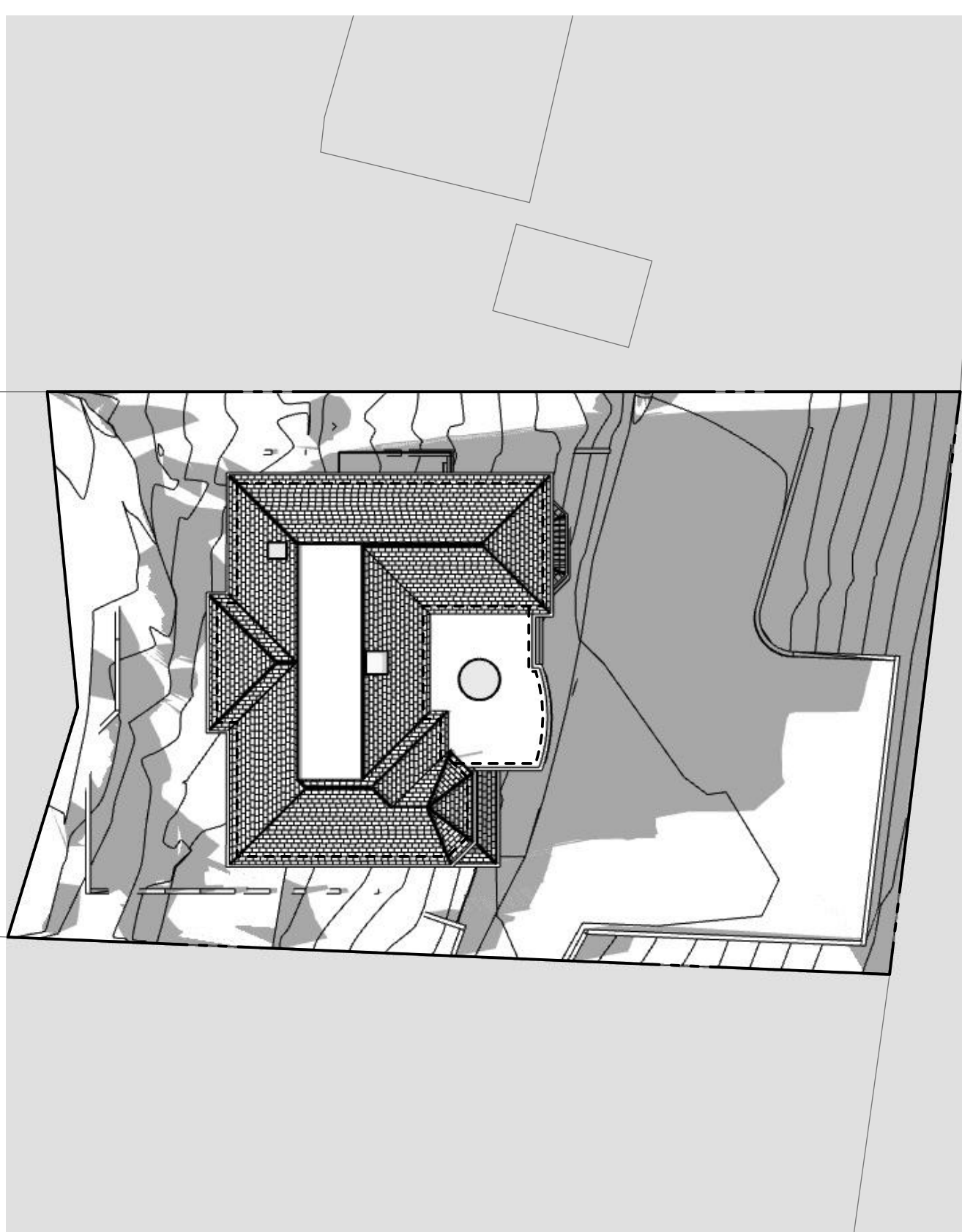
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A-14

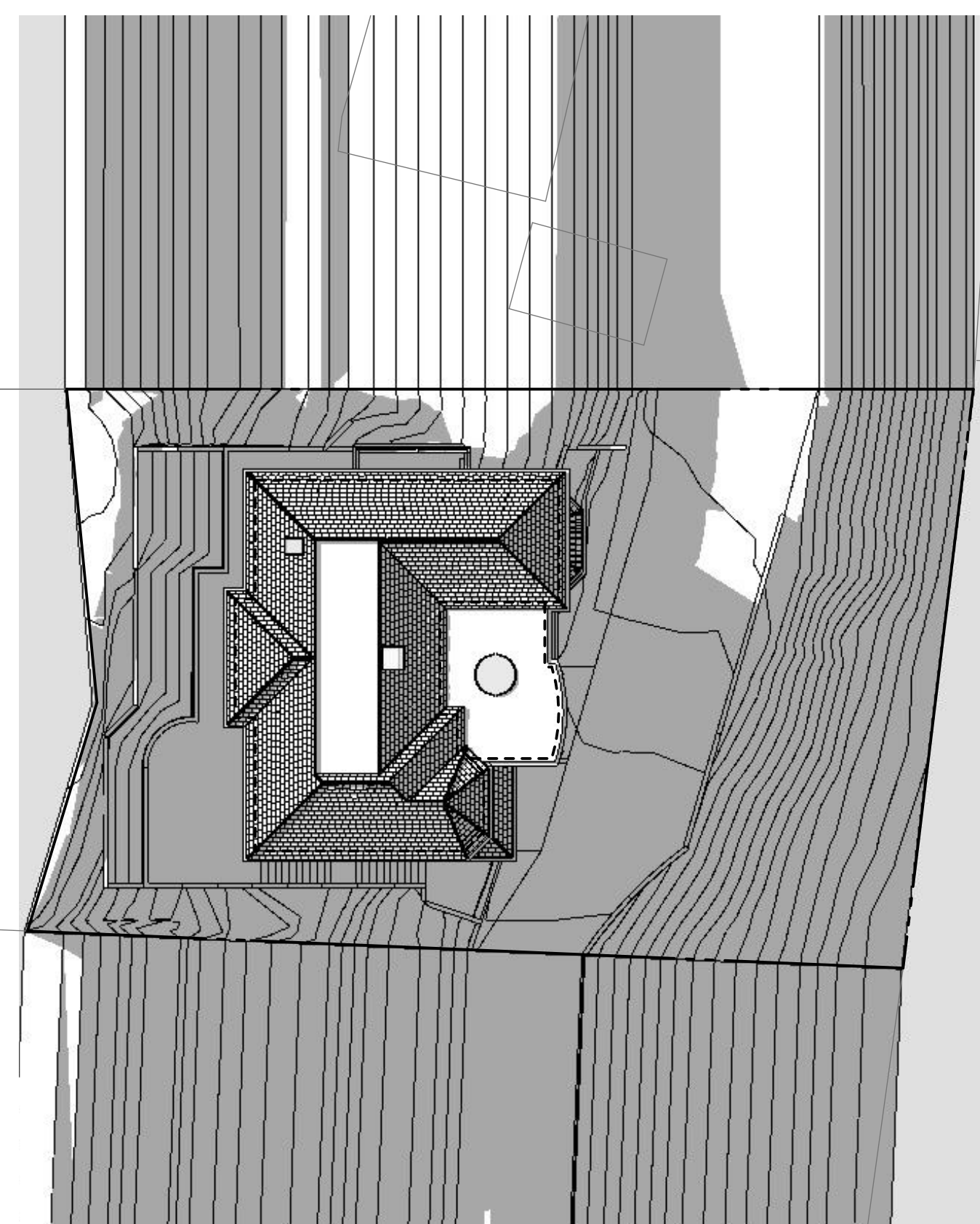
14 OF -



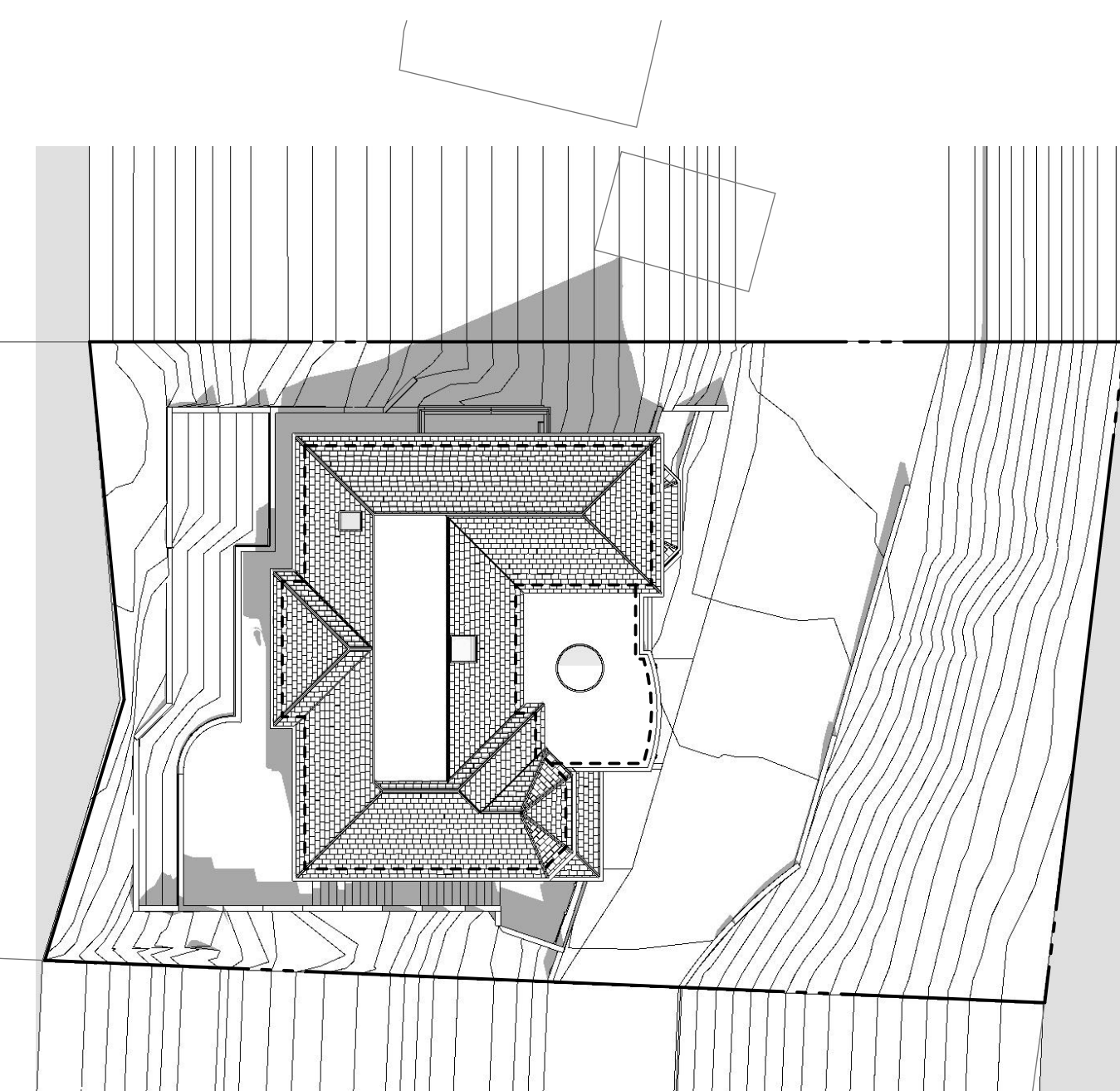
Dec 21, 9am
 SCALE: 1" = 20'-0"



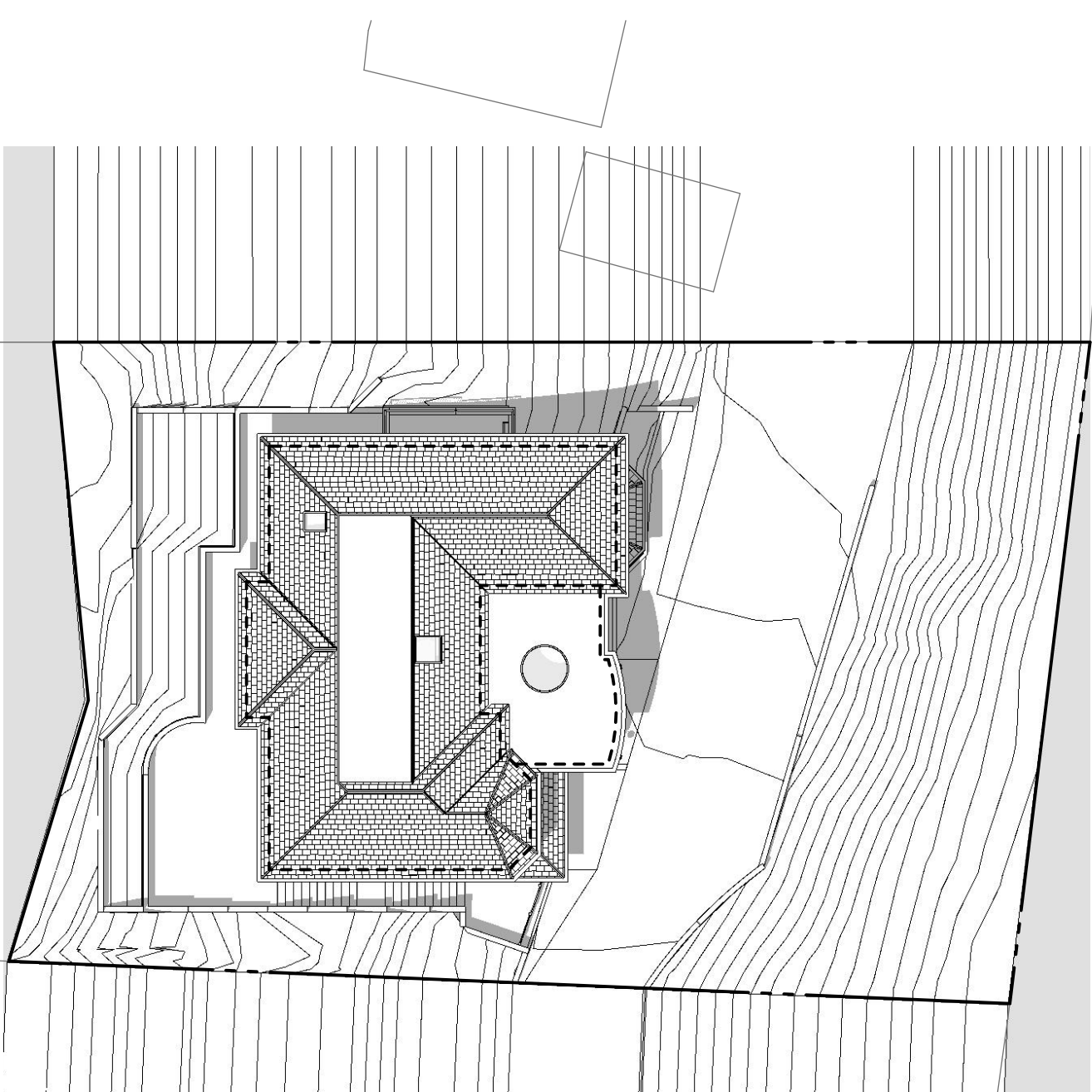
Dec 21, 12pm
 SCALE: 1" = 20'-0"



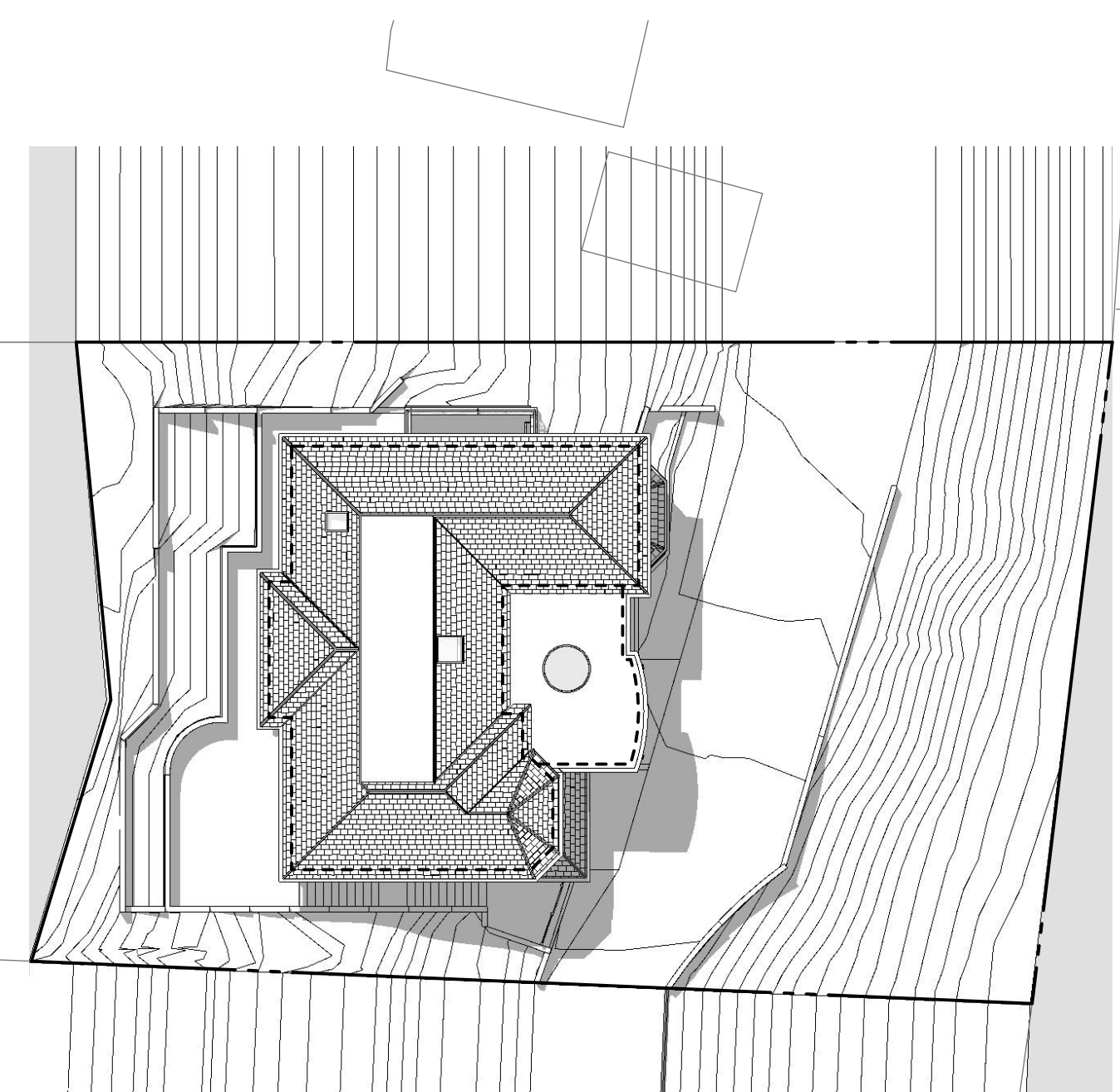
Dec 21, 3pm
 SCALE: 1" = 20'-0"



June 21, 9am
 SCALE: 1" = 20'-0"



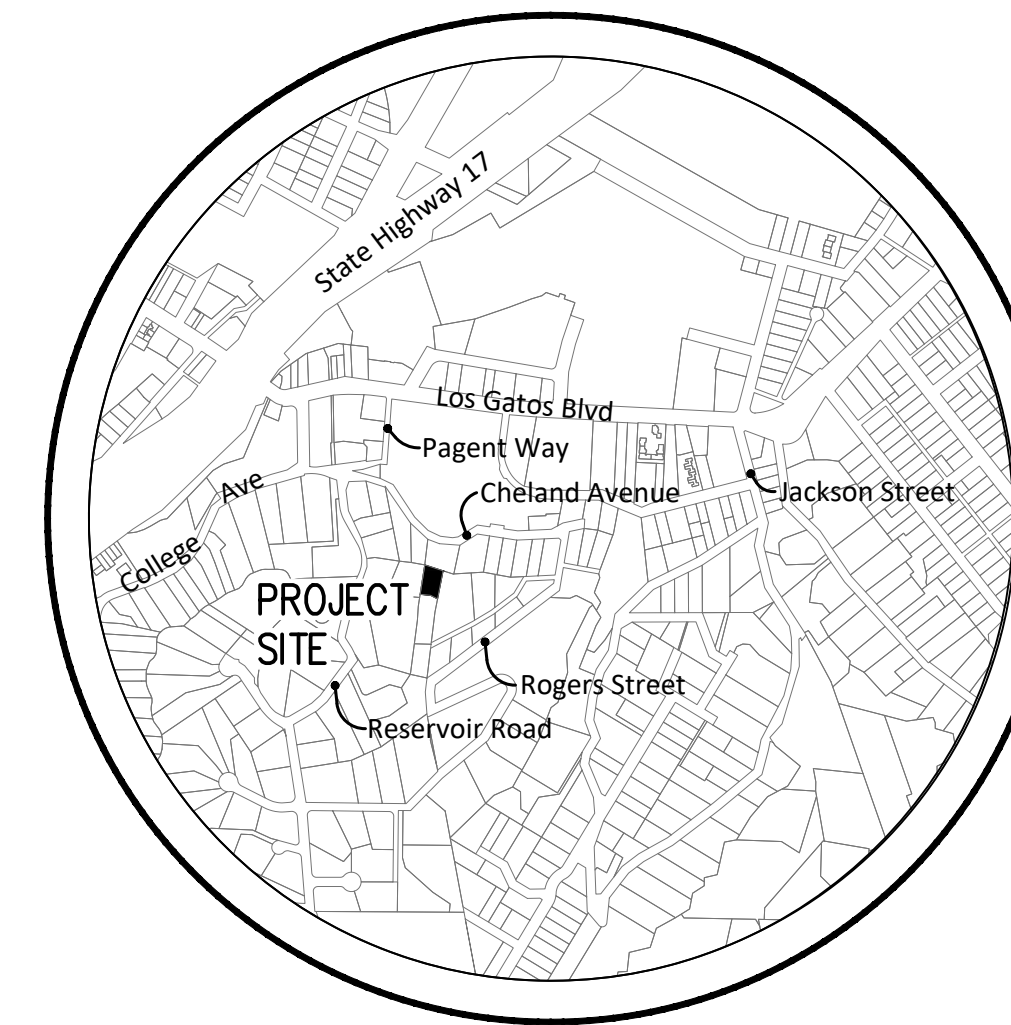
June 21, 12pm
 SCALE: 1" = 20'-0"



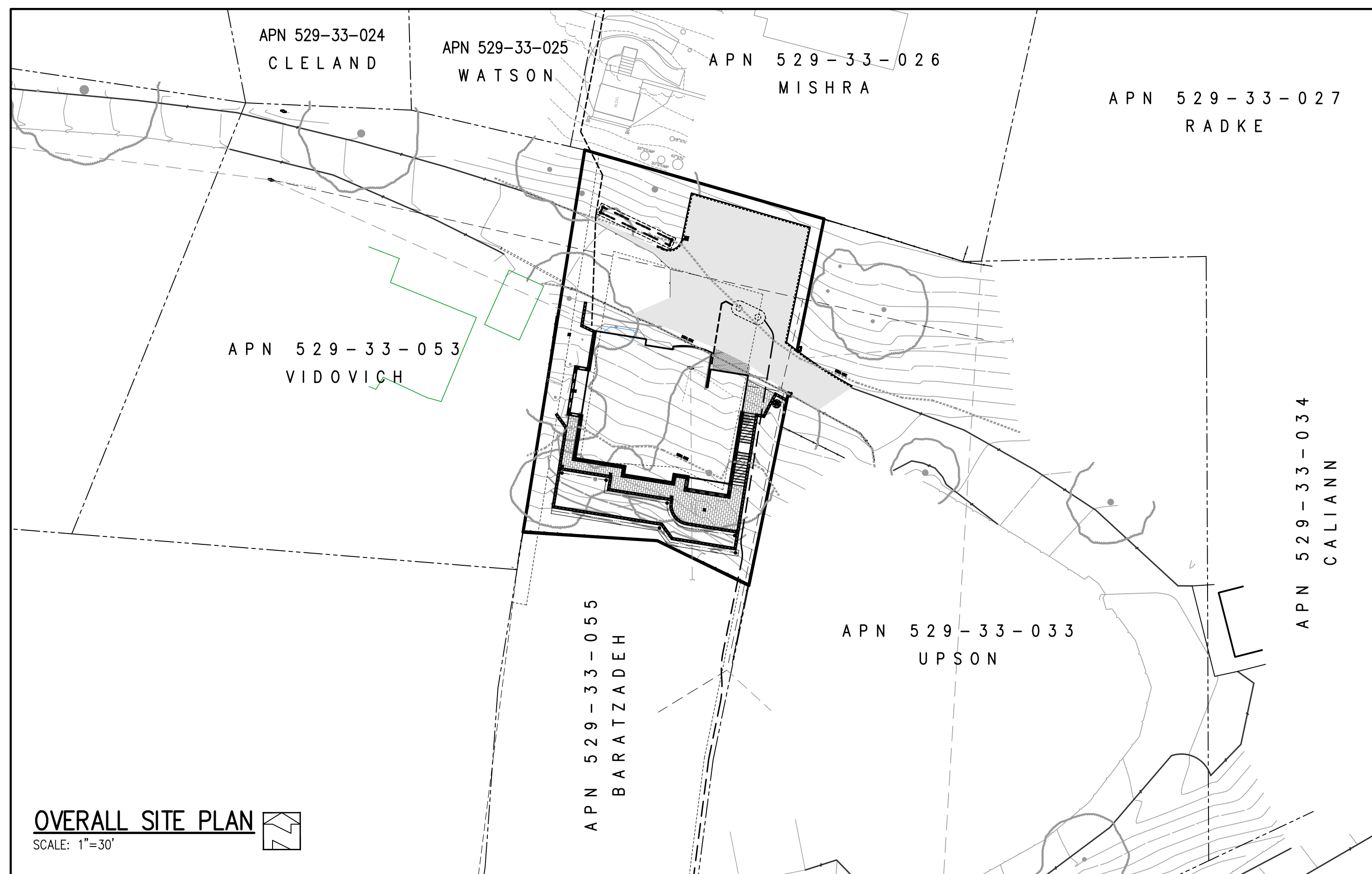
June 21, 3pm
 SCALE: 1" = 20'-0"

PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS

TOWN OF LOS GATOS
ARCHITECTURAL & SITE APPLICATION NO. S-22-048



VICINITY MAP



OVERALL SITE PLAN
SCALE: 1"=30'

SHEET INDEX

- TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- GRADING & DRAINAGE PLAN
- UTILITY PLAN
- CROSS SECTIONS & DETAILS
- EROSION CONTROL PLAN

GRADING QUANTITIES			
SITE ELEMENT	CUT	FILL	HEIGHT
RESIDENCE	882± C.Y.	0± C.Y.	18.8'±/0'±
DRIVEWAY	15± C.Y.	283± C.Y.	1.0'±/15.5'±
YARD	510± C.Y.	65± C.Y.	8.2'±/6'±
TOTAL	1,407± C.Y.	348± C.Y.	

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA:	TOTAL SITE AREA DISTURBED: 8,188 SF			
9,973 SF	(INCLUDING CLEARING, GRADING OR EXCAVATING)			
	EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	3,884 SF	3,884 SF	2,401 SF	6,285 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA		6,285 SF		
PERVIOUS AREA	6,089 SF		1,448 SF	3,688 SF

ABBREVIATIONS

AB AGGREGATE BASE	GA GAUGE	R/W RIGHT-OF-WAY
AC ASPHALT CONCRETE	GB GRADE BREAK	(S) SOUTH
AD AREA DRAIN	GM GAS METER	5 SLOPE
ARV AIR RELEASE VALVE	GS GAS SERVICE	SCC SANTA CLARA COUNTY
BC BACK OF CURB	HDPE HIGH-DENSITY POLYETHYLENE	SCCFD SANTA CLARA COUNTY FIRE DEPARTMENT
BFP BACKFLOW PREVENTER	HP HIGH POINT	SD STORM DRAIN
BW BOTTOM OF WALL	IEE INGRESS/EGRESS EASEMENT	SDCO STORM DRAIN CLEANOUT
CATV CABLE TELEVISION	IN INCH	SDE STORM DRAIN EASEMENT
CB CATCH BASIN	INV INVERT ELEVATION	SDMH STORM DRAIN MANHOLE
CFS CUBIC FEET PER SECOND	LAT LATERAL	SDR STANDARD DIMENSION RATIO
C/L CENTERLINE	LG LIP OF GUTTER	SF SQUARE FEET
CMP CORRUGATED METAL PIPE	LP LOW POINT	SJWC SAN JOSE WATER COMPANY
CO CLEANOUT	MAX MAXIMUM	SS SANITARY SEWER
CY CUBIC YARD	MH MANHOLE	SSCO SANITARY SEWER CLEANOUT
DCVA DOUBLE CHECK VALVE ASSEMBLY	MIN MINIMUM	SSE SANITARY SEWER EASEMENT
DI DROP INLET	MPH MILES PER HOUR	SSVMH SANITARY SEWER MANHOLE
DIA DIAMETER	(N) NORTH	STD STANDARD
DIP DUCTILE IRON PIPE	N.T.S. NOT TO SCALE	S/W SIDEWALK
DWY DRIVEWAY	O.C. ON CENTER	TC TOP OF CURB
(E) EAST	O.D. OUTSIDE DIAMETER	TELE TELEPHONE
EG EXISTING GRADE	PAD PAD ELEVATION	TLG TOWN OF LOS GATOS
ELEC ELECTRICAL	PCC PORTLAND CEMENT CONCRETE	TW TOP OF WALL
EP EDGE OF PATH	PERF PERFORATED	TYP TYPICAL
EVAE EMERGENCY VEHICLE ACCESS EASEMENT	PG&E PACIFIC GAS & ELECTRIC COMPANY	VCP VITRIFIED CLAY PIPE
EX EXISTING	PIEE PRIVATE INGRESS/EGRESS EASEMENT	(W) WEST
FC FACE OF CURB	PL PROPERTY LINE	W WATER
FDC FIRE DEPARTMENT CONNECTION	PR PROPOSED	WM WATER METER
FF FINISHED FLOOR ELEVATION	PSDE PRIVATE STORM DRAIN EASEMENT	WS WATER SERVICE
FG FINISHED GRADE	PSE PUBLIC SERVICE EASEMENT	WV WATER VALVE
FH FIRE HYDRANT	PSSE PRIVATE SANITARY SEWER EASEMENT	WVSD WEST VALLEY SANITATION DISTRICT
FL FLOW LINE	PUE PUBLIC UTILITY EASEMENT	XING CROSSING
FM FORCED MAIN	PVC POLYVINYL CHLORIDE	
FS FIRE SERVICE	R RADIUS	
FT FEET	RCP REINFORCED CONCRETE PIPE	
G GAS	RIM RIM ELEVATION	

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER CZEARTH, INC. REFERENCE REPORT NO. 2218C-01R1 DATED 01-20-23 LETTER NO. DATED SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTOR'S LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
- DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: FARNAZ AGAHIAN PHONE: 408-234-5780
- GENERAL CONTRACTOR: PHONE:
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIMES, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTE:

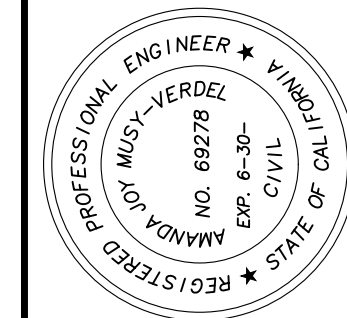
WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.



DATE: SEPTEMBER 4, 2024	SCALE: AS SHOWN
DESIGN: AM	DRAWN: TM
CHECK: XX	ENGR: XX

LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
COVER SHEET
ARCHITECTURAL & SITE APPLICATION NO. S-22-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PROJECT NO.: 23067

HANNA-BRUNETTI
EST. 1986
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173
EMAIL: ENGINEERING@HANNABRUNETTI.COM

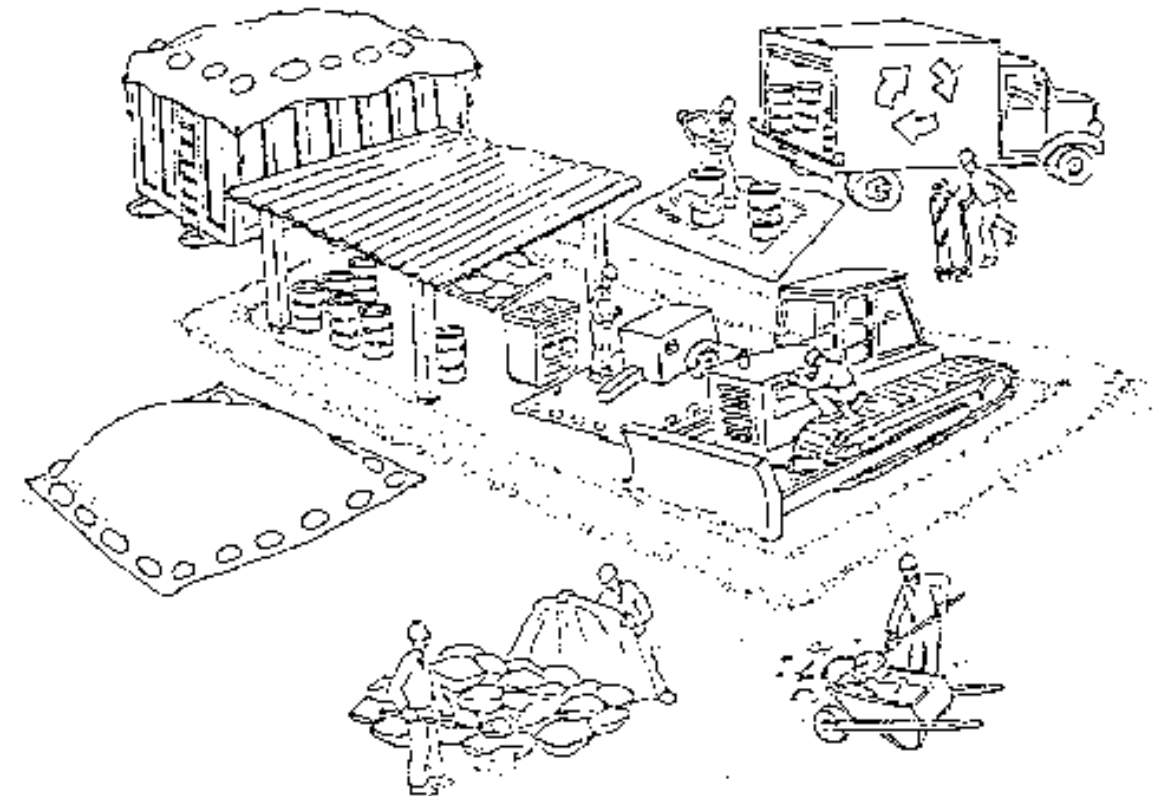
DATE	BY	REVISIONS

SHEET 1 OF 8

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

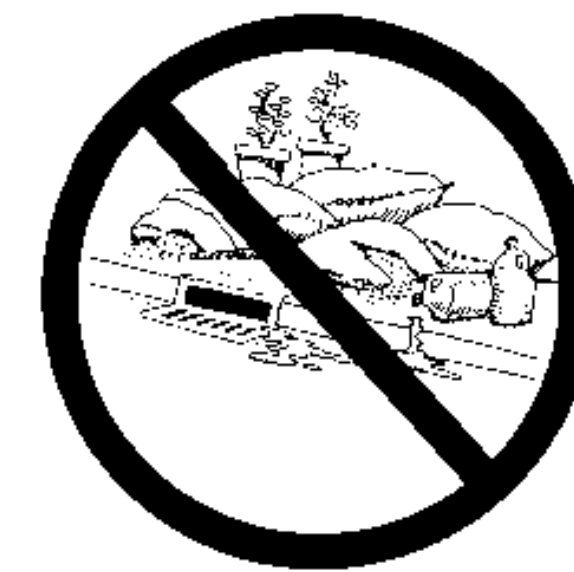
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



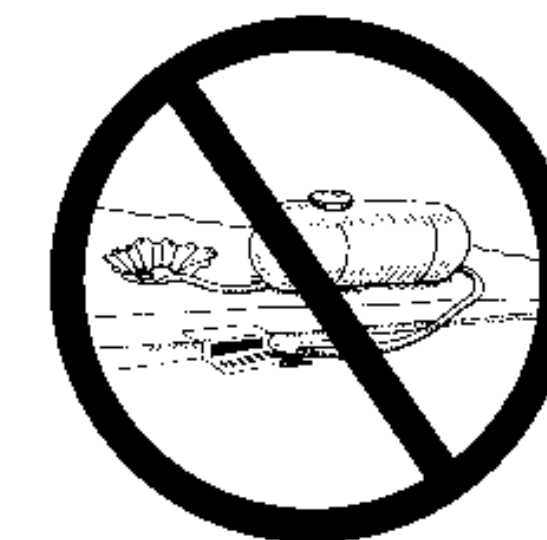
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



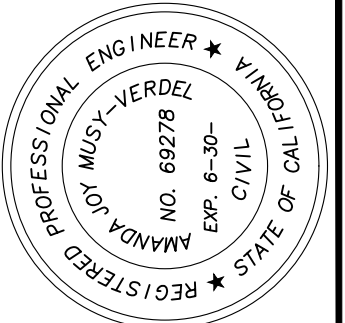
Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



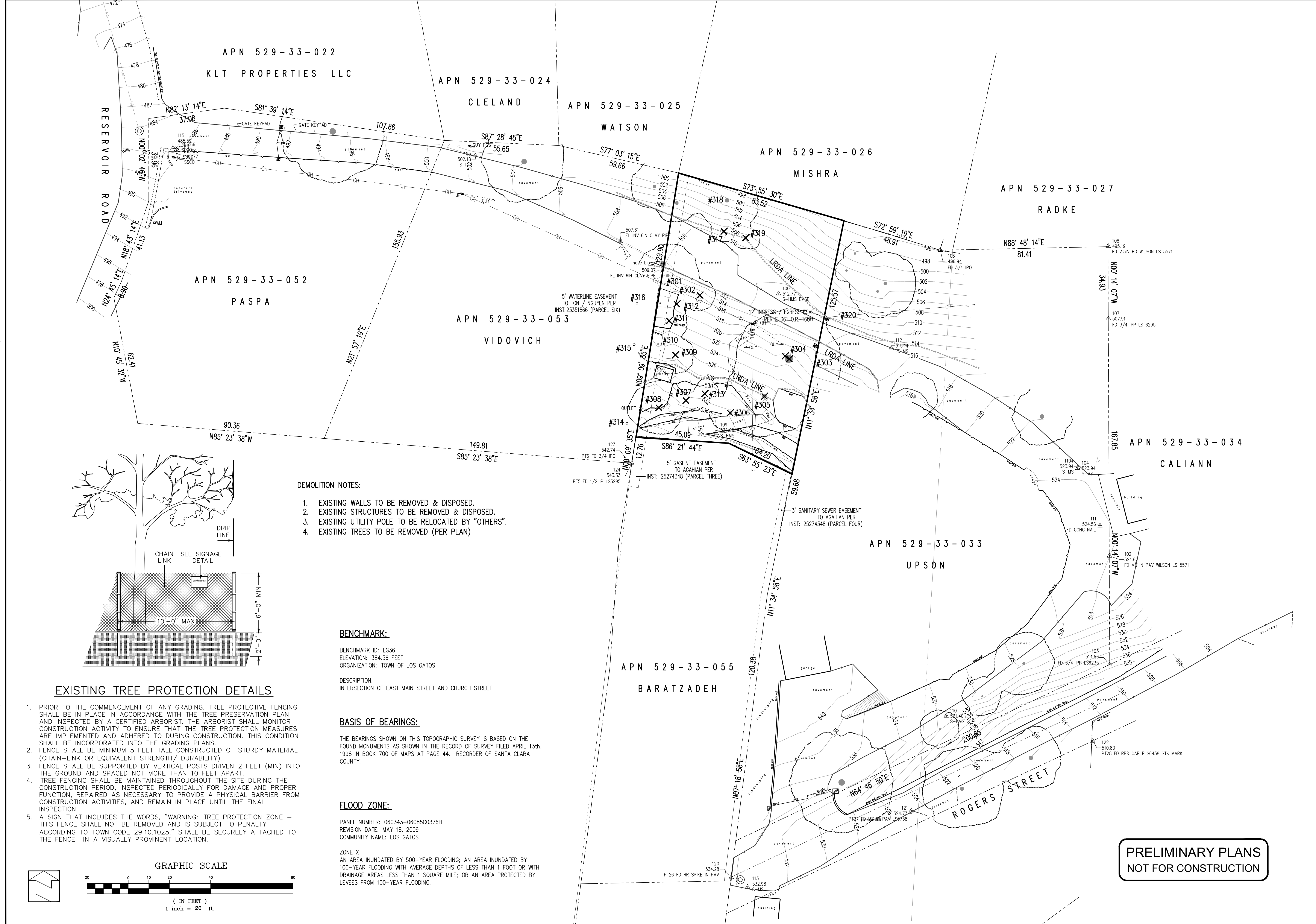
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SCALE:	NONE
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	23067

GRADING & DRAINAGE PLANS
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
BLUEPRINT FOR A CLEAN BAY
ARCHITECTURAL & SITE APPLICATION NO. S-22-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

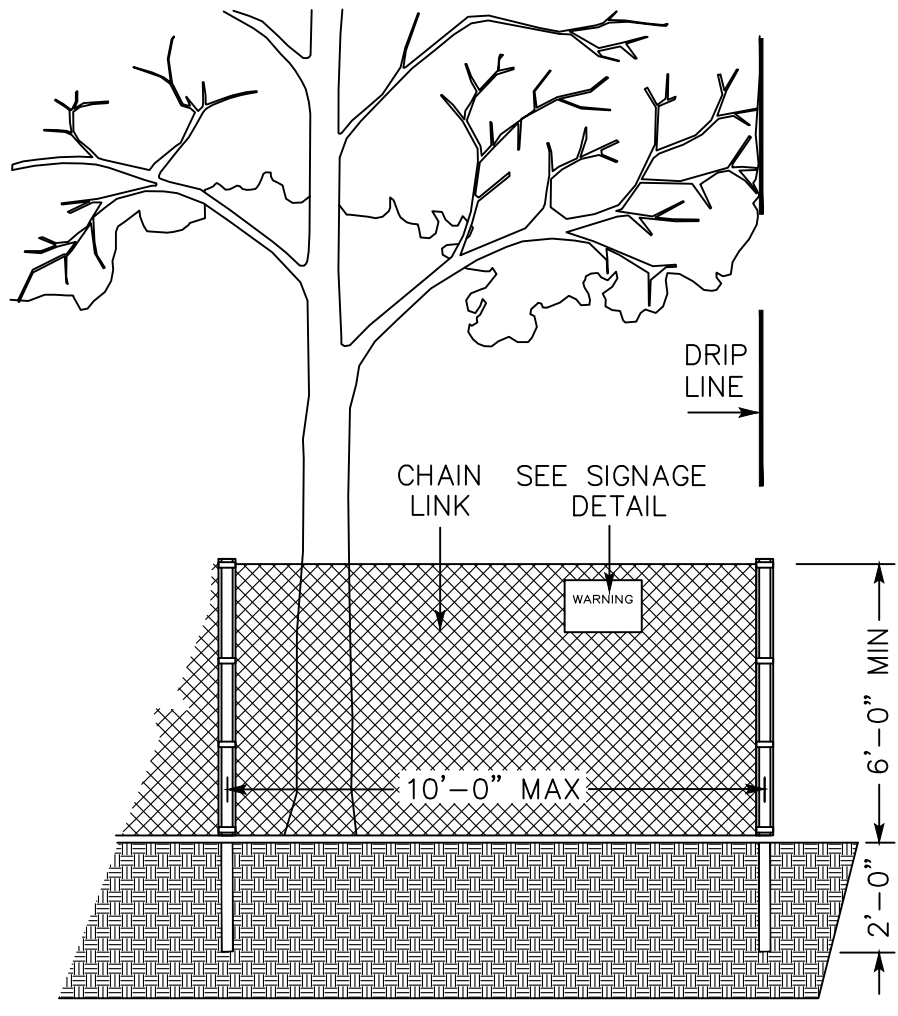
HANNA BRUNETTI
REGISTERED CIVIL ENGINEER
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
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EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS;



- DEMOLITION NOTES:**
1. EXISTING WALLS TO BE REMOVED & DISPOSED.
 2. EXISTING STRUCTURES TO BE REMOVED & DISPOSED.
 3. EXISTING UTILITY POLE TO BE RELOCATED BY "OTHERS".
 4. EXISTING TREES TO BE REMOVED (PER PLAN)



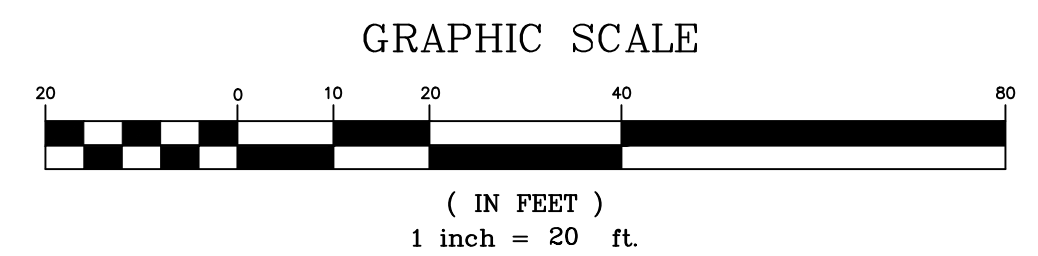
EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

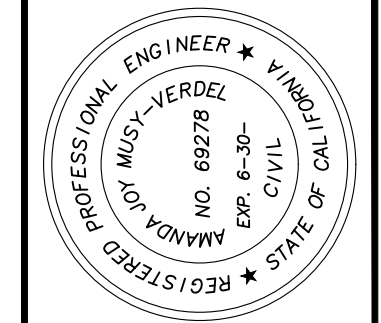
BENCHMARK:
 BENCHMARK ID: LG36
 ELEVATION: 384.56 FEET
 ORGANIZATION: TOWN OF LOS GATOS
 DESCRIPTION:
 INTERSECTION OF EAST MAIN STREET AND CHURCH STREET

BASIS OF BEARINGS:
 THE BEARINGS SHOWN ON THIS TOPOGRAPHIC SURVEY IS BASED ON THE FOUND MONUMENTS AS SHOWN IN THE RECORD OF SURVEY FILED APRIL 13th, 1988 IN BOOK 700 OF MAPS AT PAGE 44. RECORDER OF SANTA CLARA COUNTY.

FLOOD ZONE:
 PANEL NUMBER: 060343-060850376H
 REVISION DATE: MAY 18, 2009
 COMMUNITY NAME: LOS GATOS
 ZONE X
 AN AREA INUNDED BY 500-YEAR FLOODING; AN AREA INUNDED BY 100-YEAR FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; OR AN AREA PROTECTED BY LEVEES FROM 100-YEAR FLOODING.



**PRELIMINARY PLANS
 NOT FOR CONSTRUCTION**



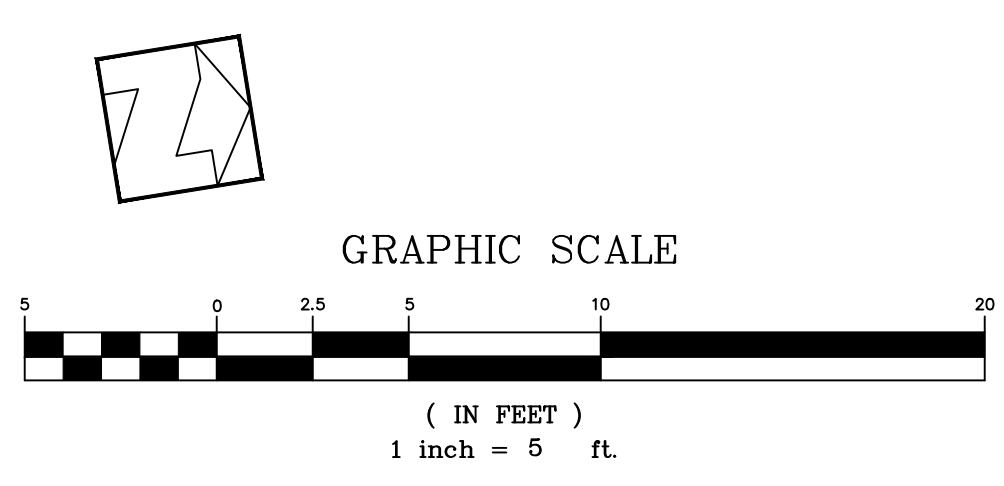
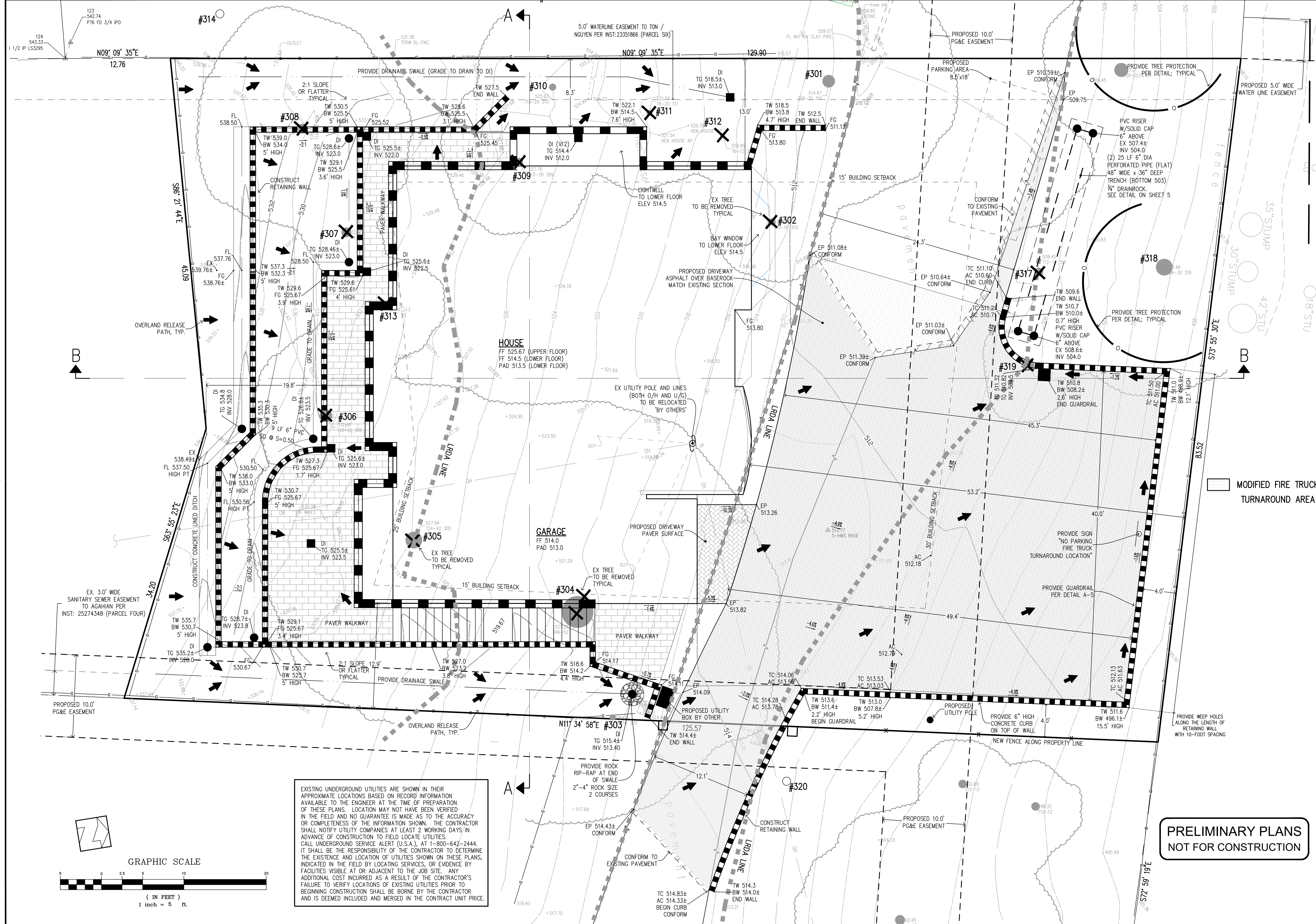
DATE: SEPTEMBER 4, 2024	SCALE: 1"=20'
DESIGN: AM	DRAWN: TM
CHECK: XX	ENGR: AM
PROJECT NO.: 23067	

PLAN FOR THE IMPROVEMENT OF
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
 APN 529-33-054
EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
 ARCHITECTURAL & SITE APPLICATION NO. S22-048
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
 EST. 1980
 CIVIL ENGINEERS • LAND SURVEYORS
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 7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
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 EMAIL: ENGINEERING@HANNABRUNETTI.COM

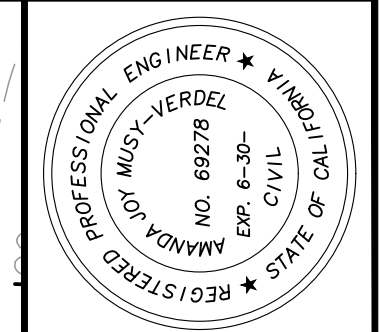
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EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



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LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
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PROJECT NO.: 23067

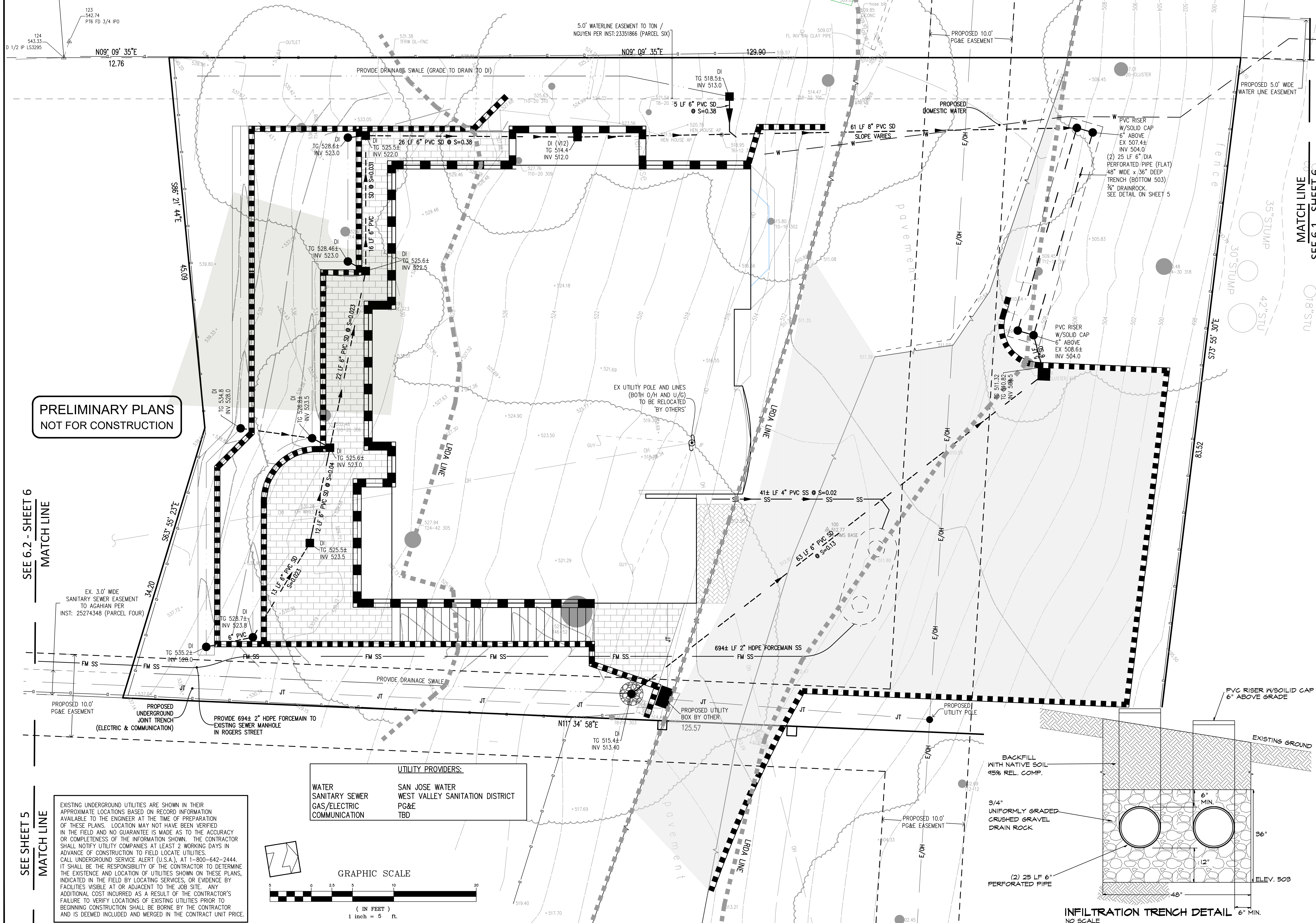
HANNA BRUNETTI
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BY	DATE	REVISIONS

SHEET 4 OF 8

JOB NO. 23067

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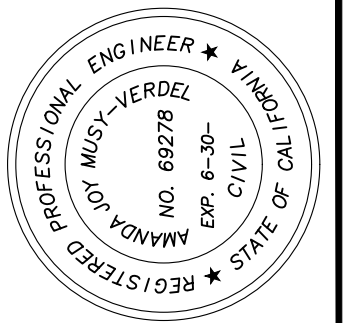
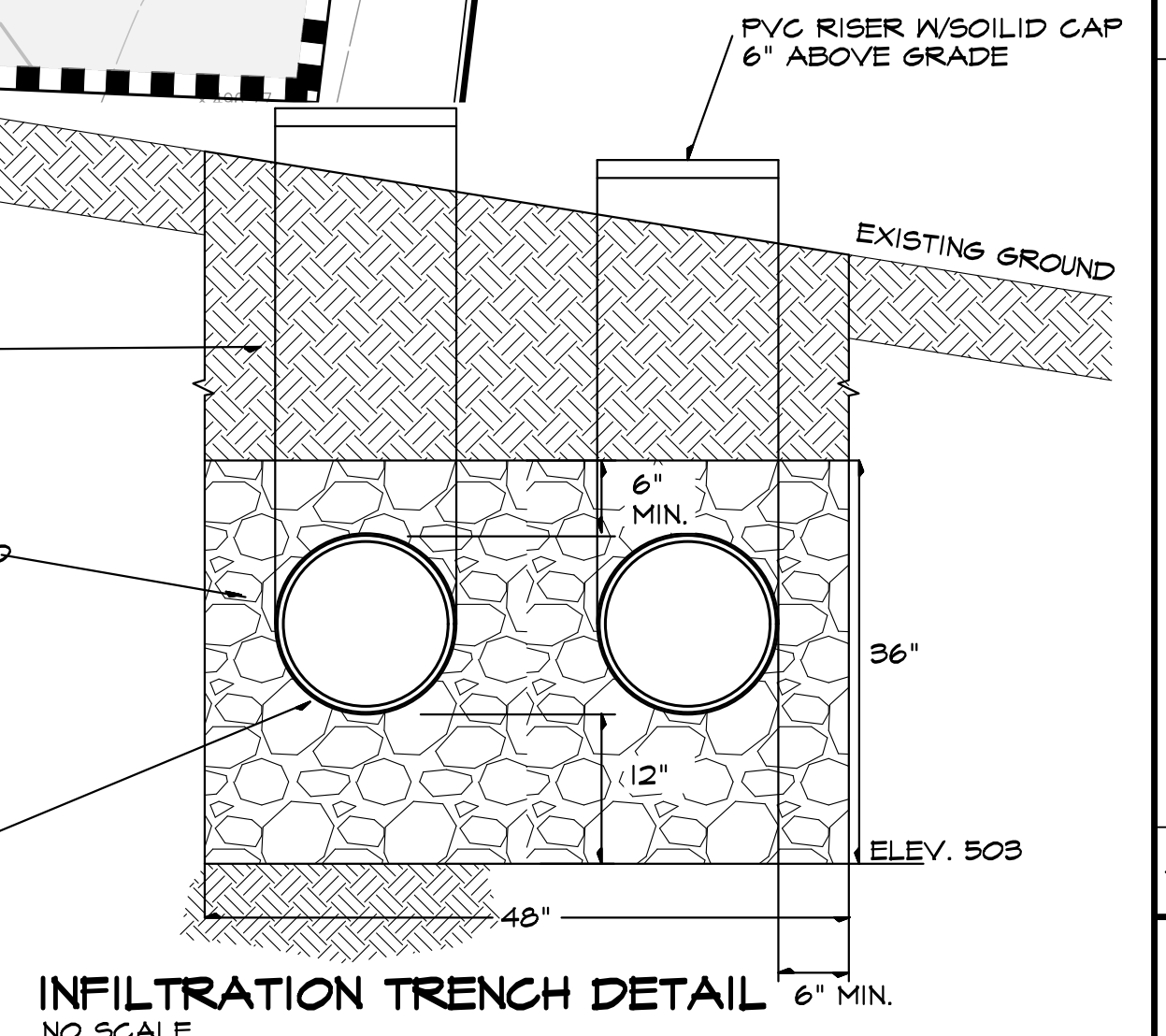
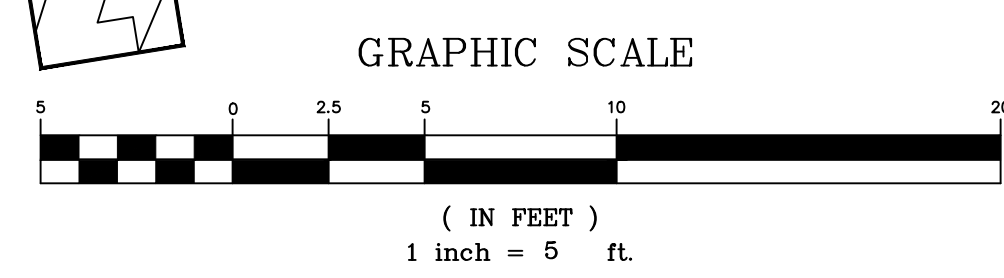


PRELIMINARY PLANS
NOT FOR CONSTRUCTION

SEE 6.2 - SHEET 6
MATCH LINE

SEE SHEET 5
MATCH LINE

UTILITIES PROVIDERS:
WATER SAN JOSE WATER
SANITARY SEWER WEST VALLEY SANITATION DISTRICT
GAS/ELECTRIC PG&E
COMMUNICATION TBD



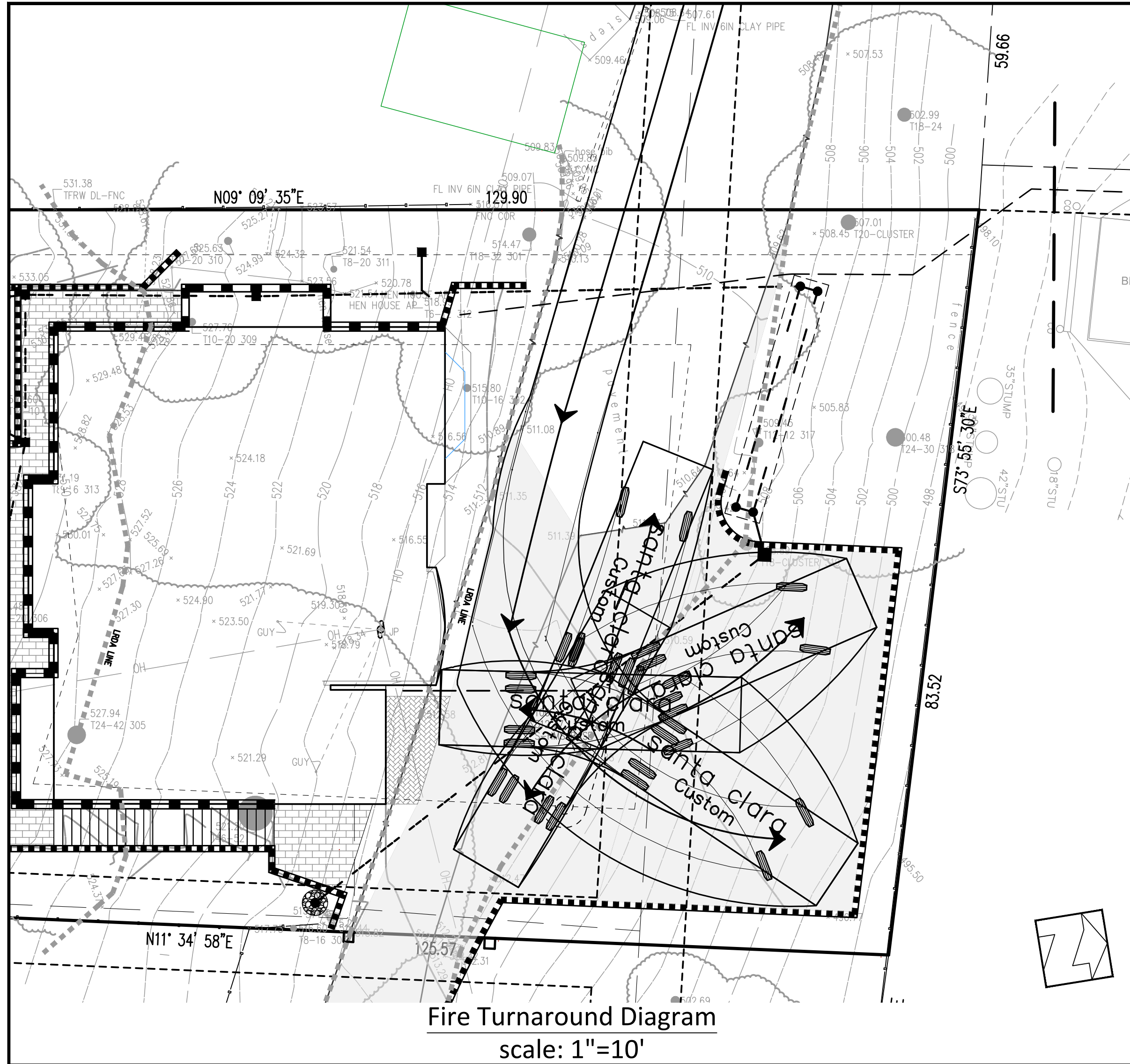
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LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
UTILITY PLAN
ARCHITECTURAL & SITE APPLICATION NO. S-222-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PROJECT NO.: 23067

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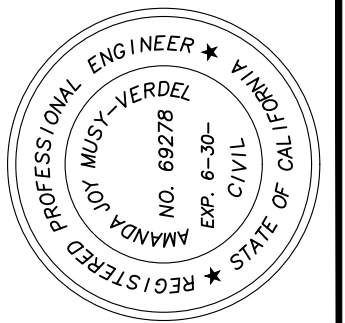
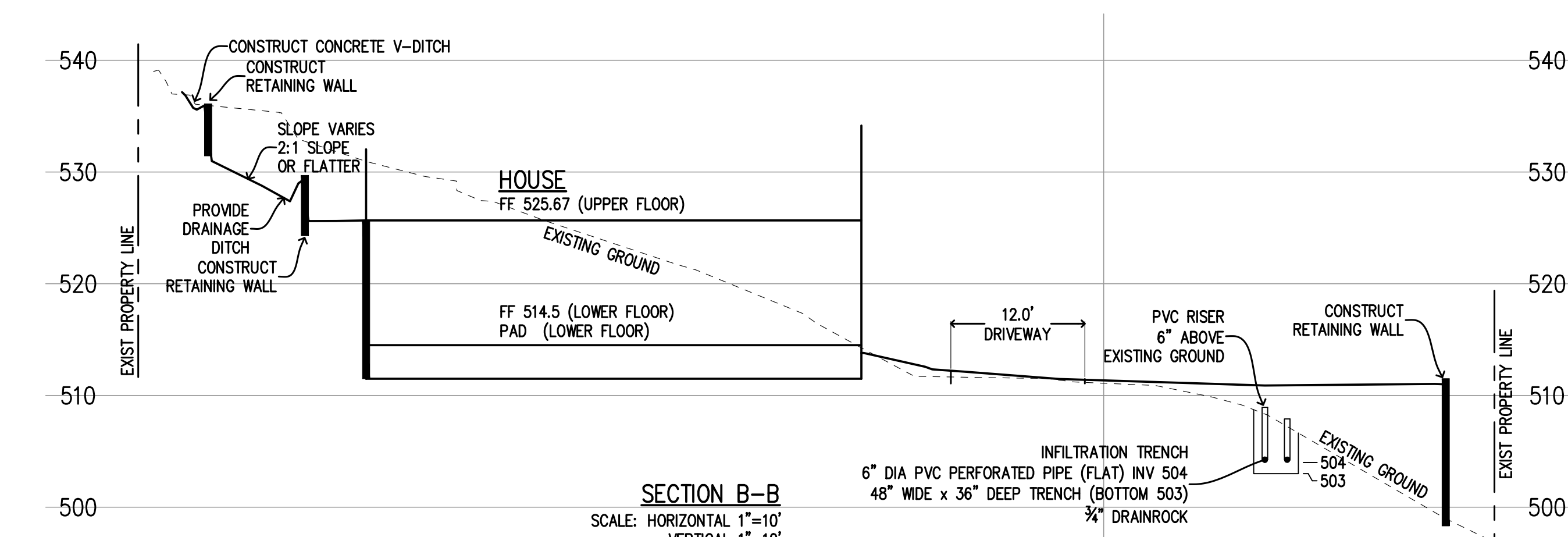
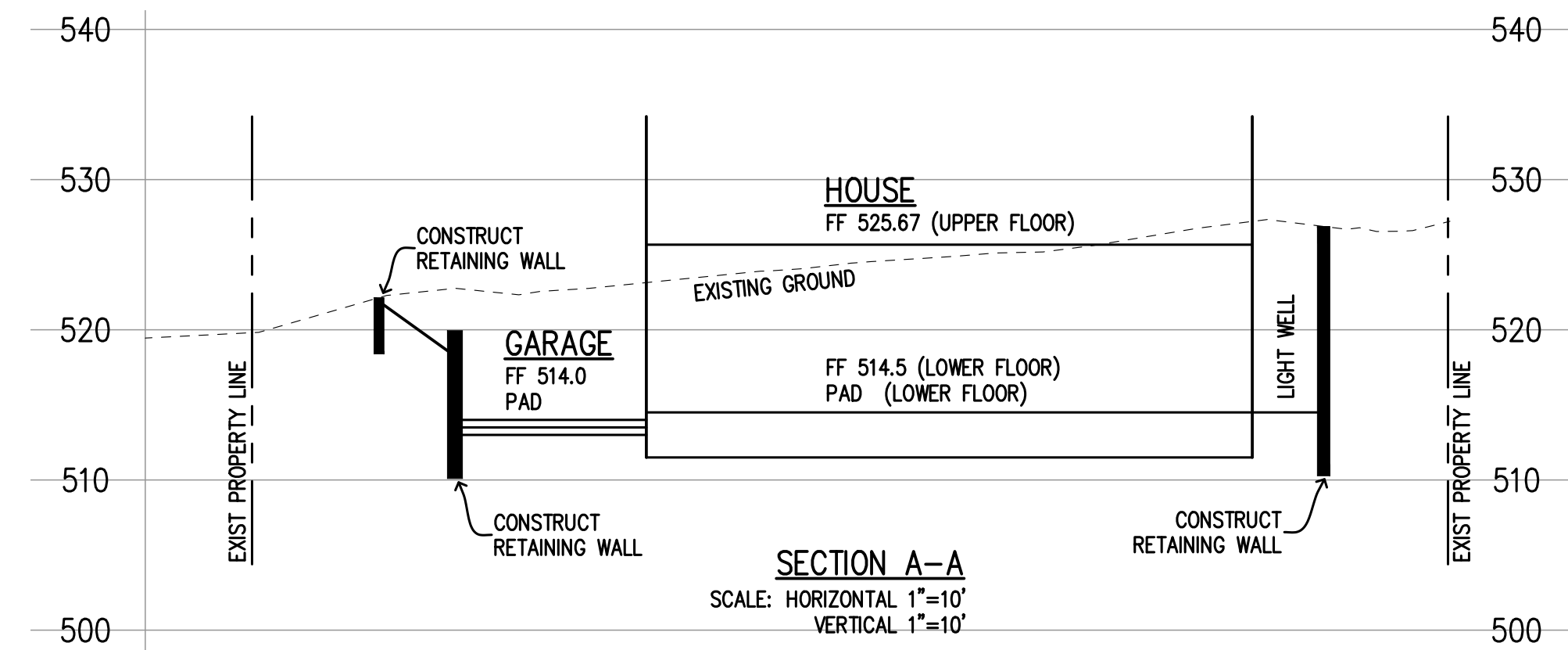
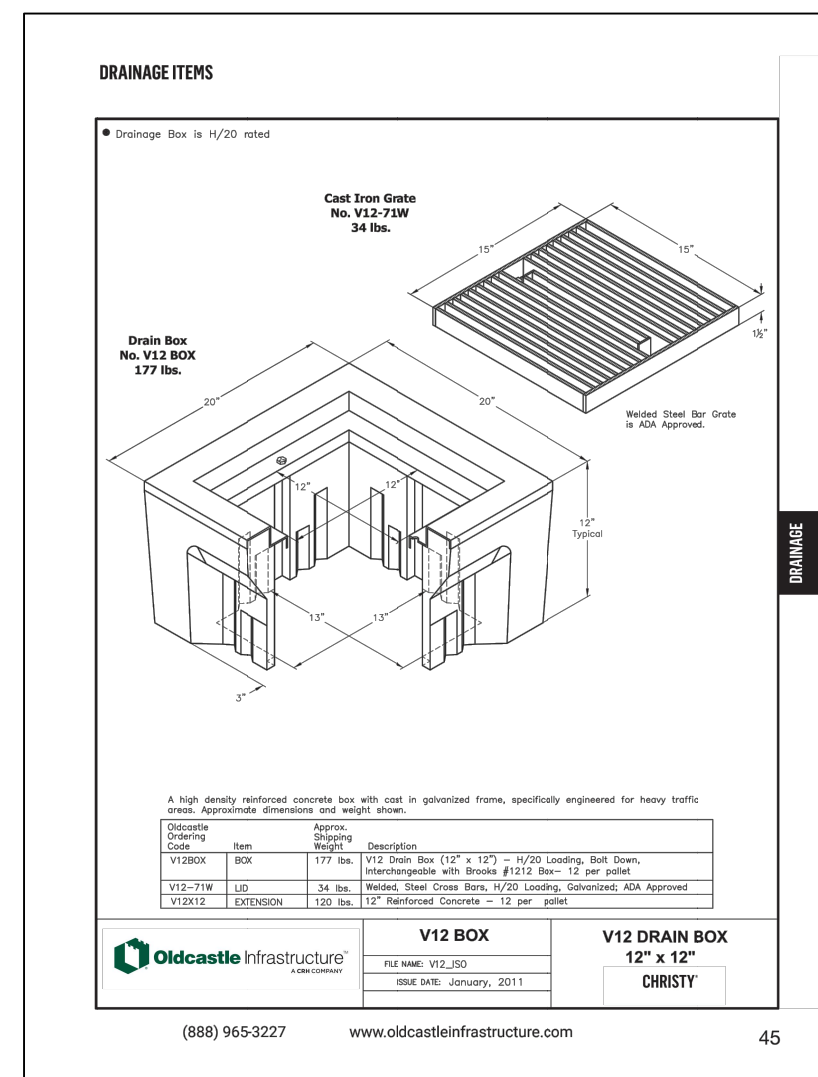
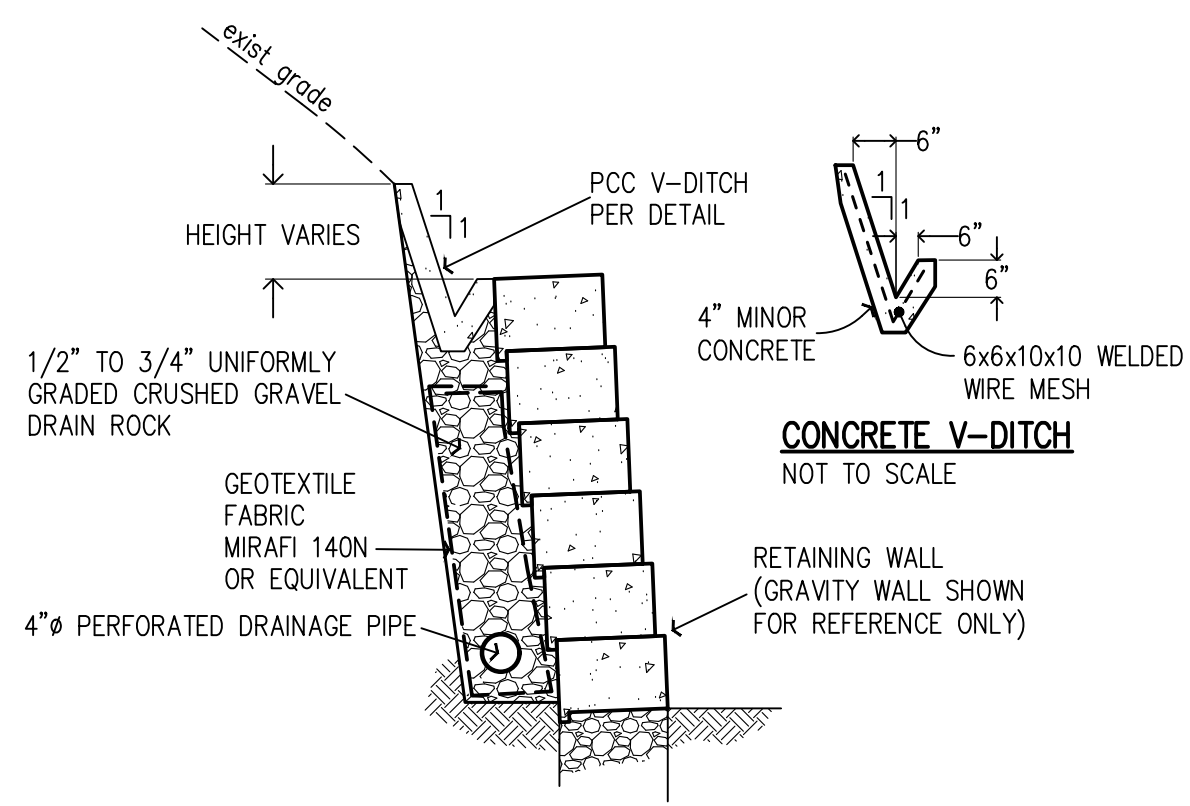
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SEE SHEET 5
MATCH LINE

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CONCRETE-LINED DITCH AT BACK OF RETAINING WALL
NO SCALE



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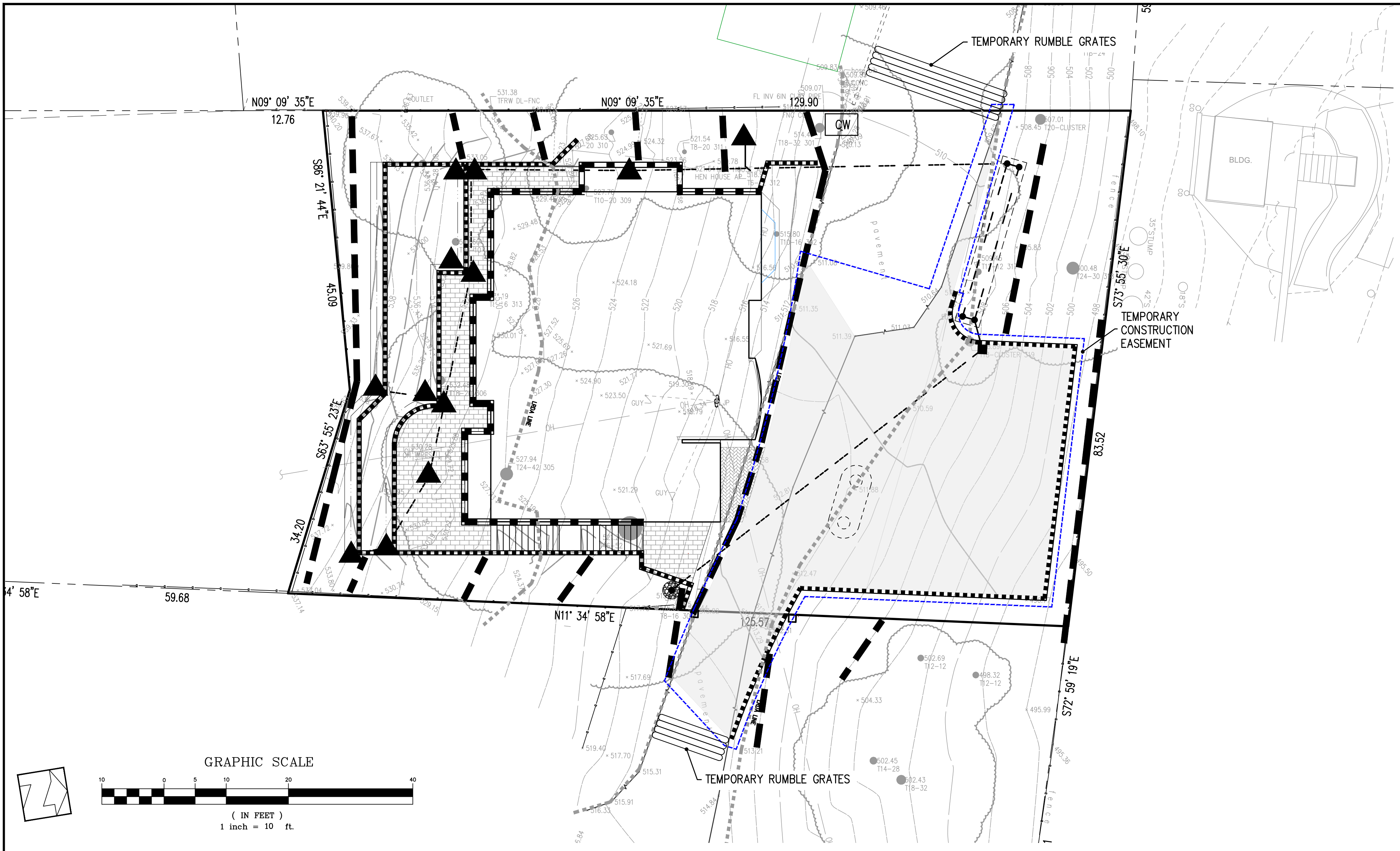
PLAN FOR THE IMPROVEMENT OF
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
CROSS SECTIONS & DETAILS
ARCHITECTURAL & SITE APPLICATION NO. S-22-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

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PRELIMINARY PLANS
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EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE TOWN.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE QSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL TOWN ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO TOWN ENGINEER'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE, SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
- IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

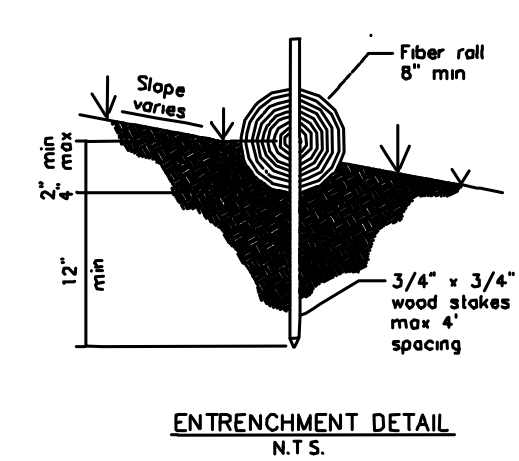
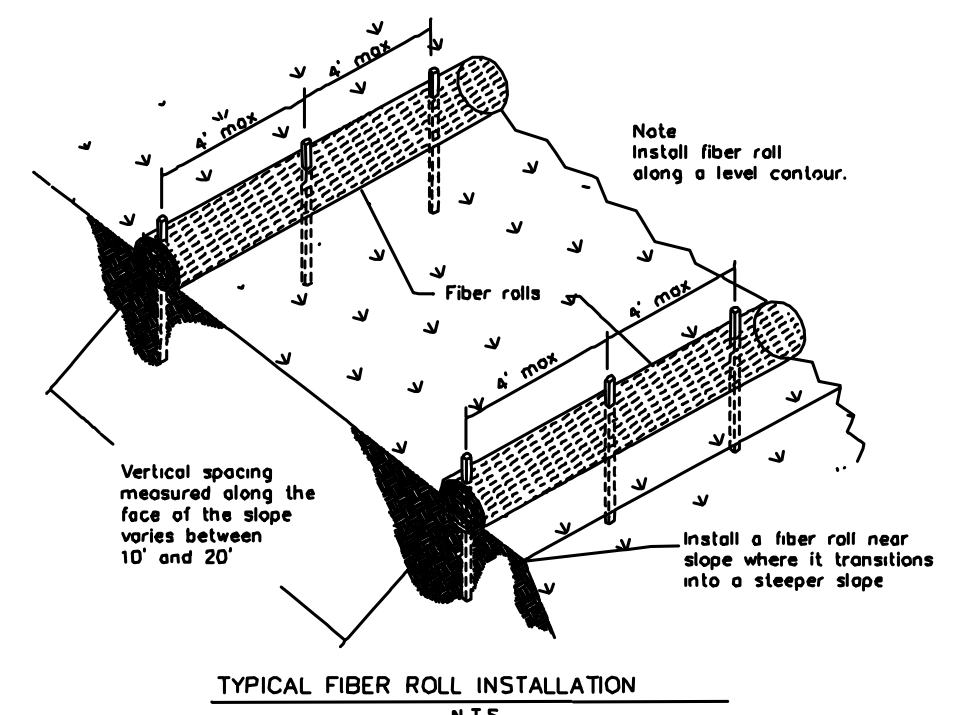
HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

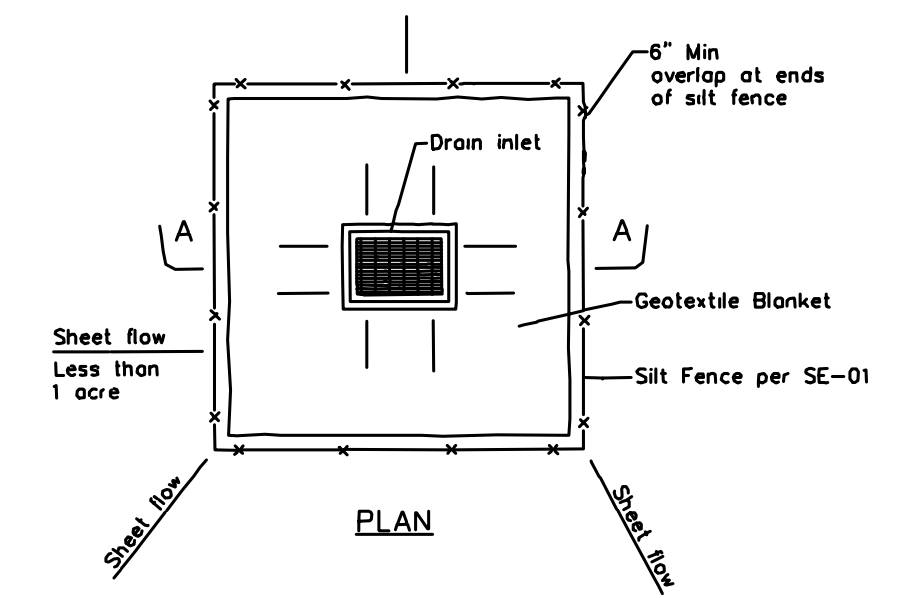
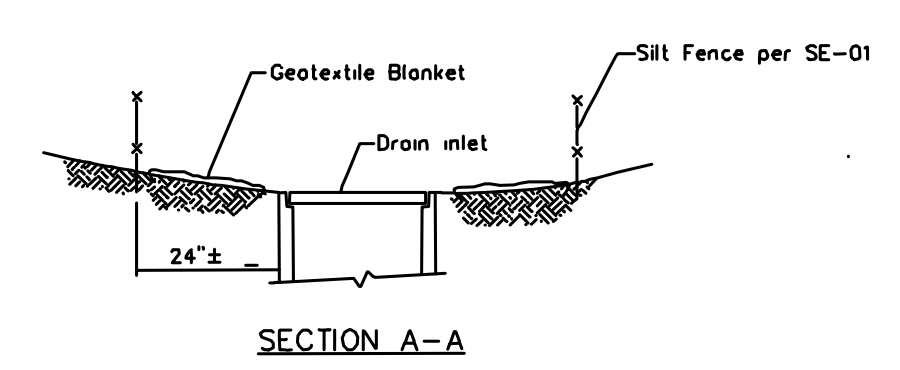
LEGEND

- FIBER ROLL BARRIER PER DETAIL SE-5
- STORM DRAIN INLET PROTECTION PER DETAIL SE-10
- CW CONCRETE WASHOUT AREA

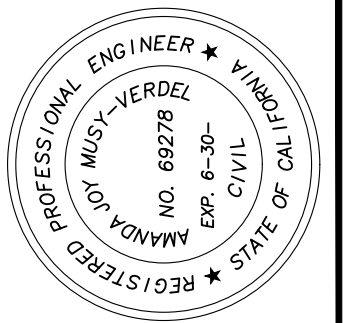
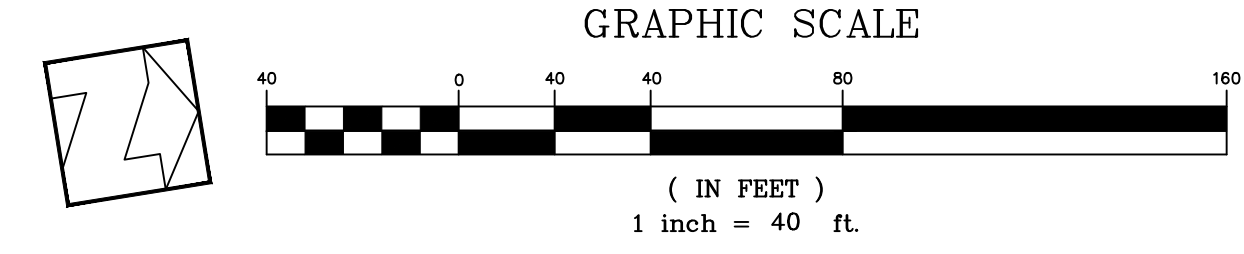
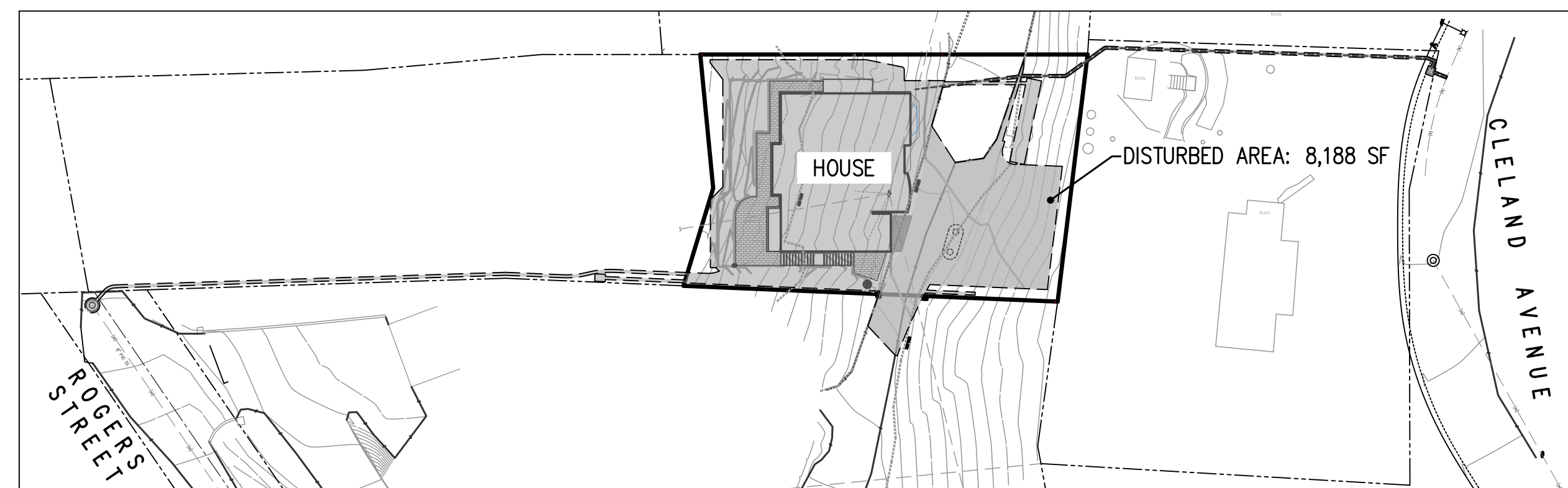
SE-5 Fiber Rolls



SE-10 Storm Drain Inlet Protection



- NOTES**
- For use in areas where grading has been completed and final soil stabilization and seeding are pending.
 - Not applicable in paved areas.
 - Not applicable with concentrated flows.



DATE: SEPTEMBER 4, 2024
 SCALE: AS SHOWN
 DESIGN: AM
 DRAWN: TM
 CHECK: XX
 ENGR: AM
 PROJECT NO.: 23067

PLAN FOR THE IMPROVEMENT OF
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
 APN 529-33-054
EROSION CONTROL PLAN
 ARCHITECTURAL & SITE APPLICATION NO. S22-048
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
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REVISIONS	DATE



**TOWN OF LOS GATOS
GENERAL PLAN COMMITTEE
REPORT**

MEETING DATE: 01/08/2025

ITEM NO: 8

DATE: January 2, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Select a Chair and Vice Chair.

RECOMMENDATION:

Select a Chair and Vice Chair.

REMARKS:

Annually, a Town Commission appoints its Chair and Vice Chair for the upcoming year.

PREPARED BY: Alexa Nolder
Administrative Technician

Reviewed by: Planning Manager and Community Development Director

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