



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
JUNE 22, 2022  
110 EAST MAIN STREET  
LOS GATOS, CA**

*Melanie Hanssen, Chair  
Jeffrey Barnett, Vice Chair  
Kylie Clark, Commissioner  
Kathryn Janoff, Commissioner  
Steven Raspe, Commissioner  
Reza Tavana, Commissioner  
Emily Thomas, Commissioner*

**PARTICIPATION IN THE PUBLIC PROCESS**

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
  - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
  - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
  - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m.  
Live and Archived Planning Commission meetings can be viewed by going to:  
[www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube)***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,  
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN  
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

## IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044 this meeting will not be physically open to the public and the Council and/or Commissioners will be teleconferencing from remote locations. Members of the public can only participate in the meeting by joining the Zoom webinar (log in information provided below). The live stream of the meeting may be viewed on television and/or online at: <https://losgatos-ca.municodemeetings.com/>.

**In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chambers.**

### PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at:

<https://losgatosca-gov.zoom.us/j/83234841285?pwd=WnUvOXIRVWhLVFVKUIBrOGVRNk96QT09>.

Passcode: 161130.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to [PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov) with the subject line “Public Comment Item #” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

### REMOTE LOCATION PARTICIPANTS

*The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR MELANIE HANSSEN, VICE CHAIR JEFFREY BARNETT, COMMISSIONER KYLIE CLARK, COMMISSIONER KATHRYN JANOFF, COMMISSIONER STEVEN RASPE, COMMISSIONER REZA TAVANA, AND COMMISSIONER EMILY THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
JUNE 22, 2022  
7:00 PM**

**MEETING CALL TO ORDER**

**ROLL CALL**

**RULES OF DECORUM AND CIVILITY**

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to:

- Addressing the Planning Commission without first being recognized;
- Interrupting speakers, Planning Commissioners, or Town staff;
- Continuing to speak after the allotted time has expired;
- Failing to relinquish the microphone when directed to do so;
- Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

**VERBAL COMMUNICATIONS** *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

**CONSENT ITEMS** *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the June 8, 2022 Planning Commission Meeting

**PUBLIC HEARINGS** *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Requesting Approval for Construction of a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 147 Arroyo Grande Way.** APN 424-23-030. Minor Residential Development Application MR-21-027. PROPERTY OWNER: Ayhan Mutlu.  
APPLICANT: Bilal Iiter. PROJECT PLANNER: Sean Mullin.

3. Review and Recommendation of the Draft Objective Standards to the Town Council.

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

**REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

**SUBCOMMITTEE REPORTS / COMMISSION MATTERS**

**ADJOURNMENT** (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

*Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.*

*Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 06/22/2022

ITEM NO: 1

---

**DRAFT  
MINUTES OF THE PLANNING COMMISSION MEETING  
JUNE 8, 2022**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, June 8, 2022, at 7:00 p.m.

**This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044, all planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.**

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Melanie Hanssen, Vice Chair Jeffrey Barnett, Commissioner Kylie Clark, Commissioner Kathryn Janoff, Commissioner Reza Tavana, and Commissioner Emily Thomas  
Absent: Commissioner Steve Raspe

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

**1. Approval of Minutes – May 25, 2022**

**MOTION:** Motion by Commissioner Tavana to approve adoption of the Consent Calendar. **Seconded** by Commissioner Clark.

**VOTE:** Motion passed unanimously.

**PUBLIC HEARINGS**

**2. 465 N. Santa Cruz Avenue**

Conditional Use Permit Application U-22-001

APN 410-16-004

Applicant: Marcie MacDonough

Property Owner: Dan and Jamie Pfister

Project Planner: Erin Walters

Requesting approval of a mixed-use project with one dwelling unit in an existing Commercial building, with shared parking on property zoned C-1.

Erin Walters, Associate Planner, presented the staff report.

Opened public comment.

Dan and Jamie Pfister, Owners

- We fell in love with this dilapidated building and thought it a great opportunity to make Los Gatos even better. Not much has been done to the building since it was built in the 1950s. We have lived and run a business in Los Gatos for ten years and are excited for the opportunity to put down more roots and make this building prettier and more useful.

Marcie MacDonough, Architect

- We are excited to add more housing to Los Gatos.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner Janoff** to approve a Conditional Use Permit for 465 North Santa Cruz Avenue, make the required findings found in Exhibit 2 including approval of less visitor parking and approval of the Shared Parking Agreement with clarification that the Town Attorney creates a Shared Parking Agreement that does not penalize the applicant, by adding additional fees and protects the residential user and approval of the Conditions of Approval in Exhibit 3 with the removal of Condition of Approval 22. **Seconded by Vice Chair Barnett.**

**VOTE:**                    **Motion passed unanimously.**

**OTHER BUSINESS**

**REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

Jennifer Armer, Planning Manager

- Town Council met on June 7, 2022, where it considered and accepted the recommendation from the HEAB of the Draft Sites Inventory.
- HEAB will hold a meeting on June 16, 2022, to begin discussion of policies for the update to the Housing Element.
- Town Council will hold a special meeting on June 20, 2022, to consider the Draft 2040 General Plan and Final EIR.
- Planning Commission will meet on June 22, 2022, to consider the Draft Objective Standards.

**SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

None.

**COMMISSION MATTERS**

None.

**ADJOURNMENT**

The meeting adjourned at 7:47 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the June 8, 2022 meeting as approved by the Planning Commission.

---

/s/ Vicki Blandin

***This Page  
Intentionally  
Left Blank***





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 06/22/2022

ITEM NO: 2

---

DATE: June 17, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Construction of a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 147 Arroyo Grande Way.** APN 424-23-030. Minor Residential Development Application MR-21-027. PROPERTY OWNER: Ayhan Mutlu.  
APPLICANT: Bilal Ilter. PROJECT PLANNER: Sean Mullin.

BACKGROUND:

On May 25, 2022, the Planning Commission considered the application and continued the matter to June 22, 2022. The Planning Commission directed the applicant to reduce the prominence of the second floor by pushing the master bedroom/bathroom portion back away from the street to be more consistent with bedroom four.

DISCUSSION:

In response to the direction of the Planning Commission, the applicant revised the project by pushing the master suite back approximately four feet (Exhibits 13 and 14). As a result, the offset of the front walls between the master suite and bedroom four has changed from approximately five feet, six inches to one foot, six inches. This is more consistent with the offset shown in Approach #1 included in the Consulting Architect's report (Exhibit 6). The mass of the relocated master suite now sits directly above the proposed living room where it previously did not. As a result, the previously proposed vaulted ceilings in the living room are no longer practical. To compensate, the applicant revised the lower-level plate height of the kitchen/living room section of the residence from eight feet to nine feet to achieve the desired interior ceiling height in the living room. The remaining portions of the residence maintain plate heights of eight feet and the maximum height of the residence has not changed.

The applicant also revised the layout of the master bathroom to facilitate the introduction of a pair of windows on the front elevation consistent with the front windows at bedroom four.

PREPARED BY: SEAN MULLIN, AICP  
Senior Planner

---

Reviewed by: Planning Manager and Community Development Director

---

DISCUSSION (continued):

This change responds to feedback that was not included in the formal direction from the Planning Commission related to the balance of the second-story windows of the front elevation.

STORY POLES:

The installed story poles have remained in place on the site. Additional netting was added on June 16, 2022, to demonstrate the revised master suite location.

PUBLIC COMMENTS:

At the time of this report's preparation, the Town has not received any additional public comment.

EXHIBITS:

Previously received with the May 25, 2022 Staff Report:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Neighborhood Exhibit
5. Letter of Justification
6. Consulting Architect Report
7. Applicant's Response to Consulting Architect Report
8. Town Arborist Report
9. Public Comments received prior to 11:00 a.m., Friday, May 20, 2022
10. Development Plans

Previously received with the May 25, 2022 Addendum Report:

11. Public comments received between 11:01 a.m., Friday, May 20, 2022, and 11:00 a.m., Tuesday, May 24, 2022

Previously received with the May 25, 2022 Desk Item Report:

12. Public comments received between 11:01 a.m., Tuesday, May 24, 2022, and 11:00 a.m., Wednesday, May 25, 2022.

Received with this Desk Item Report:

13. Applicant's Summary of Project Revisions
14. Revised Development Plans

**From:** Ayhan Mutlu <Ayhan.Mutlu@synopsys.com>  
**Sent:** Tuesday, May 31, 2022 2:18 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>  
**Cc:** Atlas Construction <atlasgeneralconstruction@hotmail.com>; leventaksin@gmail.com; ozgur.sevda@gmail.com  
**Subject:** MR-21-027 Project Revision Submission

**EXTERNAL SENDER**

Hello Sean,

Rose will be uploading a revision to the plan. Here are the summary of the changes

1. Pushed back master suite by ~4', difference between bedrom4 wall and master bath wall was about 5'7" now it is down to 1'6". Please note that in the consulting architect's recommendation the master was slightly forward, as shown below.



**3 AREA TO IMPROVE DESIGN**

2. Changed the plate heights of family+kitchen to 9' without changing the max height of the structure. I gave up my vaulted ceiling wish in the family room.
3. Although it was not required, we did decide to redesign the master bath to accommodate the suggested window from Commissioner Raspe, now it is consistent with bedroom4 window.

Please let me know if you have any questions.

Thank you  
- Ayhan

***This Page  
Intentionally  
Left Blank***



# MUTLU RESIDENCE REMODELING & ADDITION

## ADDRESS: 147 ARROYO GRANDE AVE. LOS GATOS CA

**OWNER: AYHAN MUTLU**  
ayhan.mutlu@synopsys.com  
(650) 750-4575

### SECTION 4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 Operation and maintenance manual. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

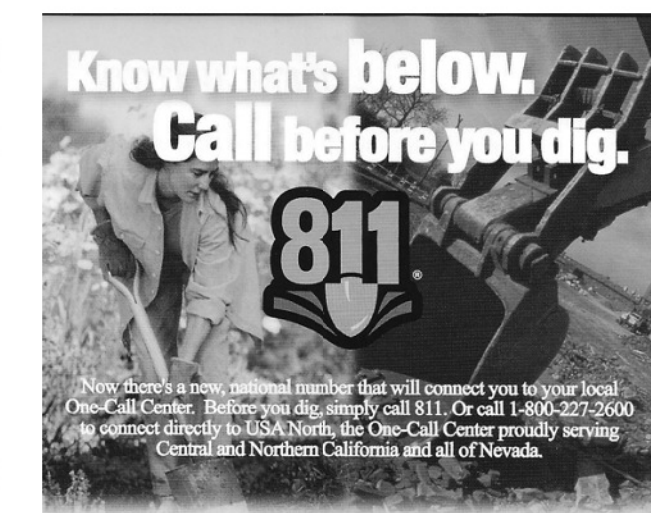
1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
  - a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
  - b. Roof and yard drainage, including gutters and downspouts.
  - c. Space conditioning systems, including condensers and air filters.
  - d. Landscape irrigation systems.
  - e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource

consumption, including recycle programs and locations.

4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspection verifications required by the enforcing agency or this code.

### 5 STEPS TO A SAFE EXCAVATION

1. Survey and Mark  
Survey your proposed excavation site. Make a list of affected operators of underground facilities (operators) at your job site, their needs and requirements. Mark the excavation site on paved surfaces with white spray chalk, water base, UV paint or equivalent less permanent type marking; use flags, stakes, whistles, etc. on unpaved surfaces. (Homeowners can use flour).
2. Call Before You Dig  
Call USA North 2 working days to 14 calendar days (legal notice) before you dig in California and Nevada. Only operators who are members of the USA North program will be notified. Compare your list of affected operators determined in Step 1, with the list of operators notified by USA North. For your safety, contact any operator at your job site that is not a member of USA North. USA North accepts design inquiry requests through its Internet application only. Call 925-799-9504 ext. 2309 for more information.
3. Wait The Required Time  
The legal 2 working days to 14 calendar days notice in California and Nevada allows USA North members to examine their underground facility records and respond to you. Excavators are required by law to wait until all operators of subsurface installations have provided a positive response to their excavation site. The positive response includes operators marking, or staking the horizontal path of their facility with the appropriate color code, providing information about the location of their facility, or advising you of clearance. Depending on our member's workload, they may contact you to try to reschedule a new start time for your excavation.
4. Respect The Marks  
Preserve facility marks for the duration of the job. If any of the operators' markings are not reasonably visible, you must call USA North and request re-marking by the affected operator(s). A re-mark request requires a 2 working day notice. When you request an operator(s) to re-mark their facilities, you will be asked if your excavation site is still outlined in white, so the USA North members can respond to your request. NOTE: A USA North ticket is active for 28 calendar days in California and Nevada from the date of its issuance. You must have an active USA North ticket for the entire duration of your excavation.
5. Dig With Care  
In California and Nevada hand excavate within 24" of the outside diameter of the facility. Facilities that are in conflict with your excavation are to be located by using hand tools and protected before power equipment is used. Notify the affected operator(s) of any contact, scrape, dent, nick or damage to their facility.  
Refer to California Government Code 42116 and Nevada Regulatory Statute 455.090 - 455.180 for liability risks. There are fines of up to \$50K and \$100K, respectively for violations of these state laws.

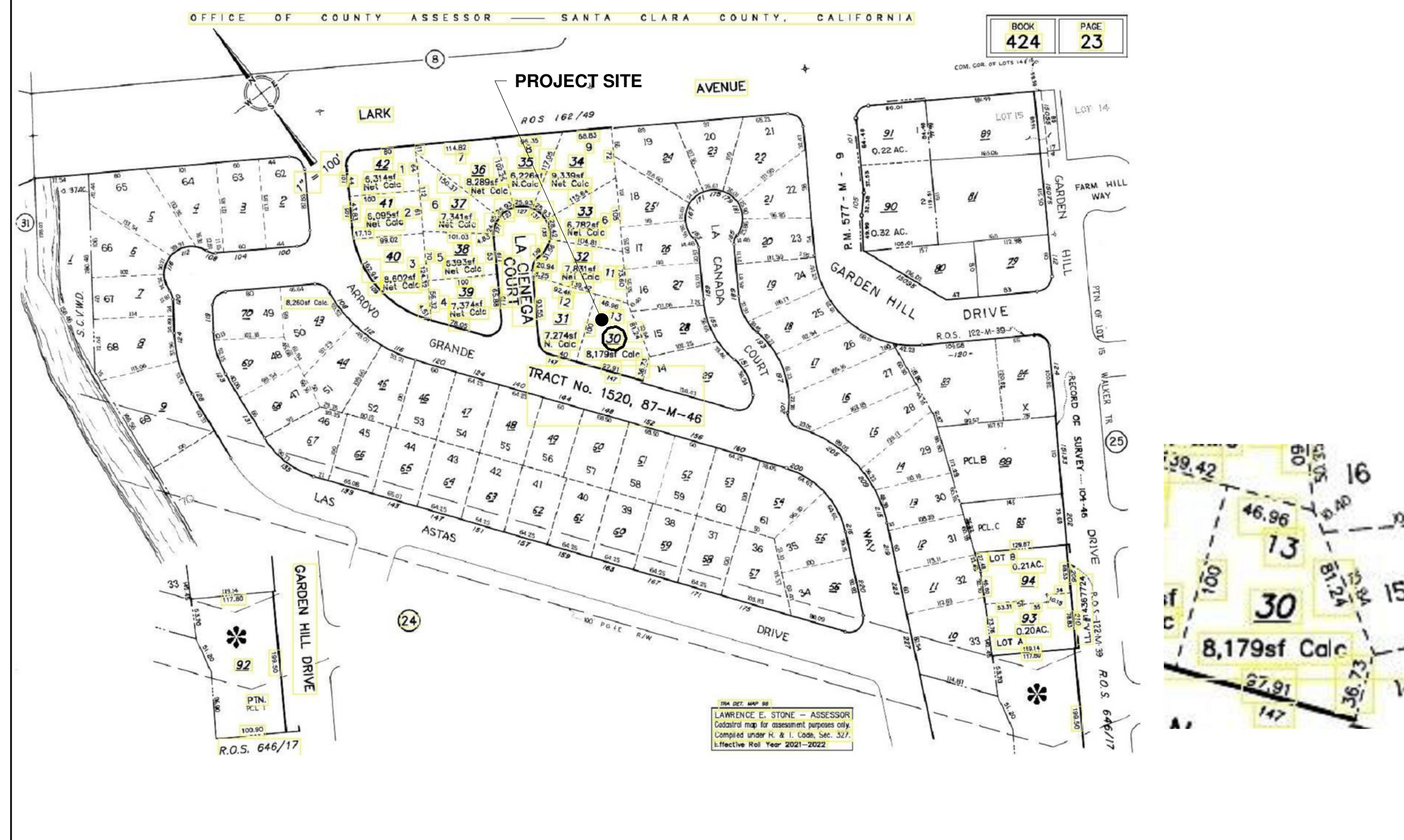


**811 / 1-800-227-2600**  
Call two working days before you dig  
It's the law and it's FREE

Whether you're a homeowner or professional excavator, if you're going to dig you must call USA North—the one call center serving Central and Northern California and all of Nevada. Excavations in California and Nevada require a full two (2) working day notice. In addition to your personal safety and the safety of others, calling before you dig is about protecting the vital buried facilities that supply electric, gas, water, cable and more to our homes, schools, facilities and businesses. Remember, it's the law and it's free.



Let's all do our part to protect our vital buried facilities.  
Pleaseon Take a tip and color code booklet with you.  
For more information, visit USA North online at www.usanorth.org  
Dig Safely.



PROJECT SUMMARY: **APN : 424-23-030**

**COORDINATE WITH SHEET A2 FOR AREA CALCULATIONS**

**LOT SIZE : 8,179 SQF**

**MAXIMUM ALLOWABLE FAR :**  
 RESIDENCE : FAR : 0.33      **FLOOR AREA : 2,655 SQF**  
 GARAGE : FAR 0.091          **FLOOR AREA : 745 SQF**

**EXISTING LIVABLE: 1,142.7 SQF**  
**GARAGE: 423.5 SQF**  
**EXISTING FIRST FLOOR ( Including Garage ) : 1,566.2 SQF**

**FIRST FLOOR**  
**NEW ADDITION: 380.7 SQF ( Livable )**  
**NEW GARAGE ADDITION ( ENLARGEMENT ) 150.1 SQF**  
**FIRST FLOOR PROPOSED TOTAL LIVABLE: 1,523.4 SQF**  
**FIRST FLOOR PROPOSED TOTAL:( Including Garage ) 2,097 SQF**

**SECOND FLOOR**  
**NEW ADDITION: 1,127.6 SQF ( Livable )**

**TOTAL PROPOSED LIVABLE : 2,651 SQF**

**ENTIRE BLDG PROPOSED ( inc. Garage ) 3,224.6 SQF**

**COVERED ENTRY PORCH: 102.8 SQF ( Counted for Lot Coverage )**  
**BALCONY 109 SQF ( Counted for Lot Coverage )**

**TOTAL PROPOSED LOT COVERAGE: 2,308.8 SQF ( 28 % )**

**PARKING SPACES: TWO COVERED ( ENCLOSED ),**  
**ZONING : RESIDENTIAL R-1:8**  
**TYPE OF CONSTRUCTION: V-B**  
**OCCUPANCY GROUP: R3 & U**  
**NO OF STORIES: 2**  
**APPLICABLE CODES: 2019 CRC , 2019 CBC, 2019 CMC, 2019 CPC, 2019 CEC, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CAL GREEN AND ALL LOCAL JURISDICTION APPLICABLE REGULATIONS**

No	Description	Date

**ARTE ARCHITECTURE**  
6451 DARBINE CT. NEWARK CA 94560  
PH (925) 504-8104 LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. THEY MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**COVER SHEET**



**MUTLU RESIDENCE  
REMODELING & ADDITION  
147 ARROYO GRANDE WAY  
LOS GATOS, CA**

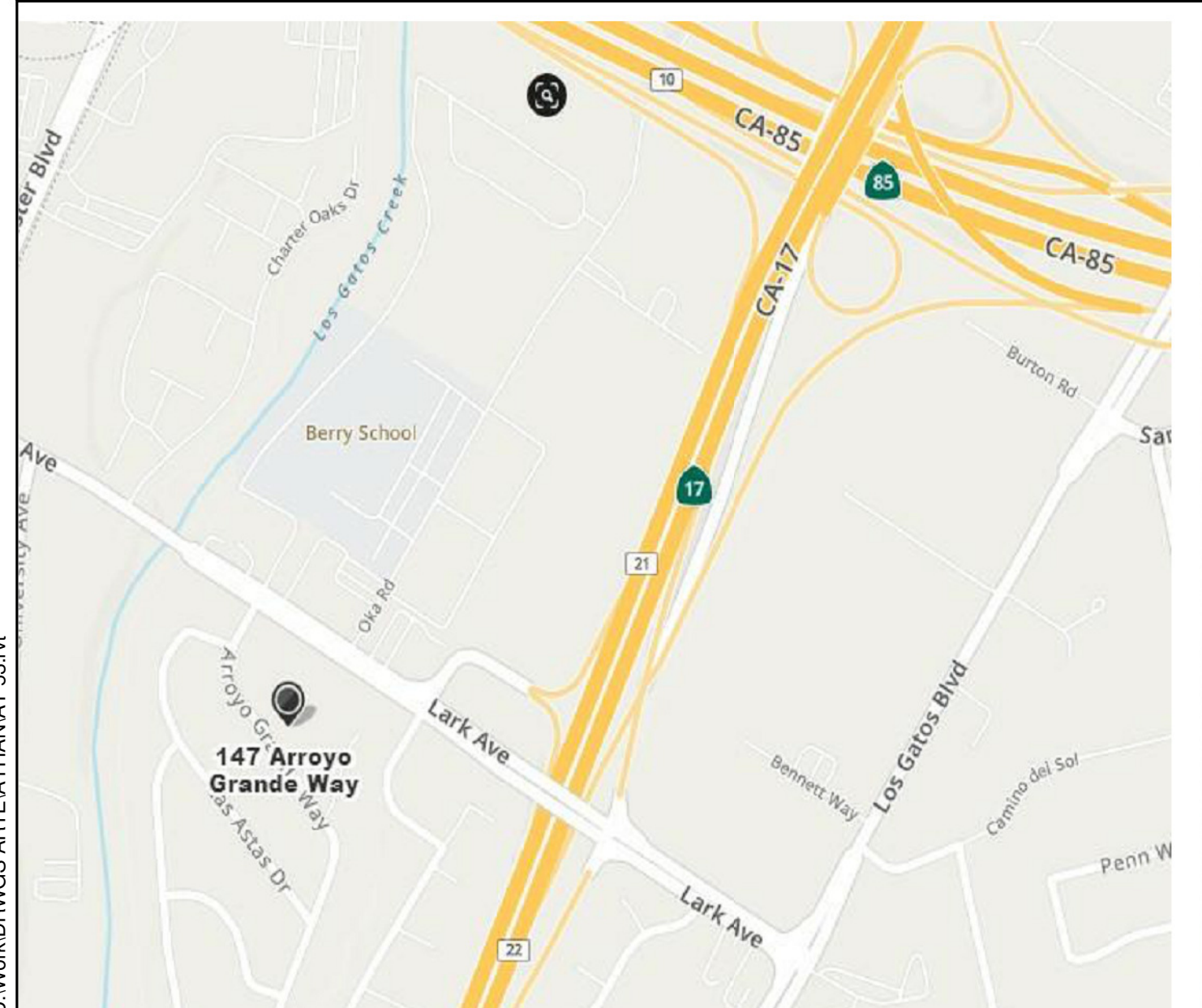
Project no: AY  
Date: MAY-30-2022  
Drawn by: Author  
Checked by: Checker

**A1**

Scale

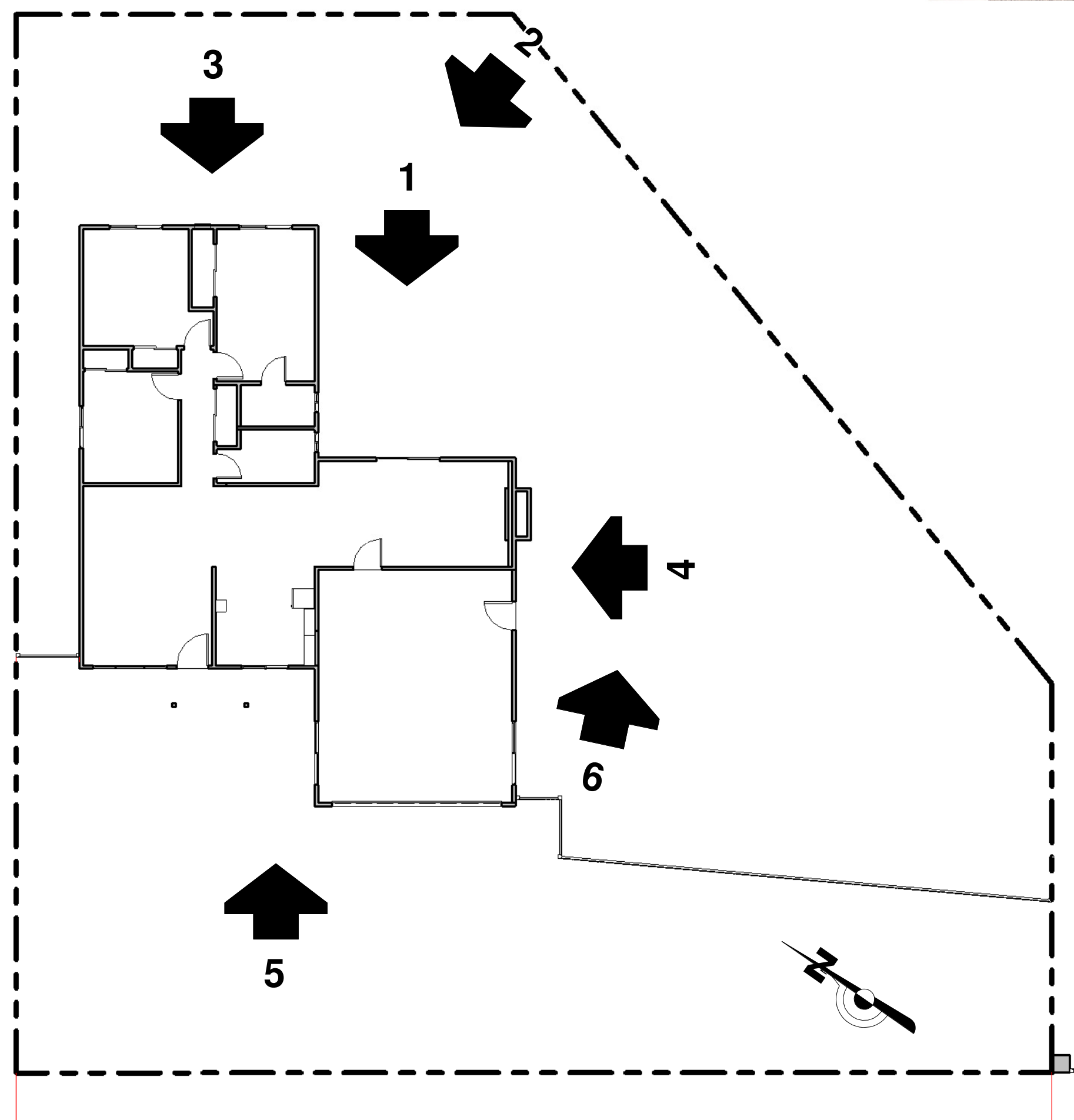
- DRAWING LIST	
Sheet Number	Sheet Name
A1	COVER SHEET
A2	EXIST. BLDG PHOTOS / AREA SCHEMATICS
A3	STREETScape
A4	SITE PLAN EXISTING
A5	SITE PLAN PROPOSED
A6	SHADOW STUDY JUNE 21
A7	SHADOW STUDY DEC 21
A7b	SHADOW STUDIES JUNE 21 & DEC 21 NOON
A8	DEMO ANALYSIS
A9	EXISTING AND DEMO PLAN
A10	PROPOSED FLOOR PLAN
A11	SECOND FLOOR PLAN
A12	ROOF PLANS
A13	EXTERIOR ELEVATIONS
A14	EXTERIOR ELEVATIONS
A15	SECTIONS
A16	3D EXT VIEWS
A17	ISOMETRIC
BMP	CONSTRUCTION BEST MANAGEMENT
CB	CLEAN BAY

**SCOPE OF WORK:**  
**ADDING NEW 380.7 SQF OF LIVABLE AREA IN FIRST FLOOR.**  
**ENLARGING GARAGE BY 150.1 SQF**  
**ADDING NEW 1,127.6 SQF SECOND FLOOR**  
**820 SQF AREA OF FIRST FLOOR TO BE REMODELED.**





# EXISTING BUILDING PHOTOS



EX 1	495.0 SQF
EX 2	451.7 SQF
EX 3	196.0 SQF

TOTAL EX. LIVABLE	1,142.7 SQF
-------------------	-------------

EX G1	177.3 SQF
EX G2	246.2 SQF

TOTAL EX. GARAGE	423.5 SQF
------------------	-----------

EXISTING FIRST FLOOR 1,566.2 SQF

AD 1	288.3 SQF	ADDITION TO GARAGE=150.1 SQF
AD 2	92.4 SQF	
AD 3	89.2 SQF	
AD 4	60.9 SQF	

TOTAL PROPOSED FIRST FLOOR LIVABLE ADDITION 380.7 SQ

TOTAL 1st FLOOR ADDITION	530.8 SQF
--------------------------	-----------

TOTAL FIRST FLOOR PROPOSED LIVABLE 1,523.4 SQF (COUNTED FOR FAR)

TOTAL PROPOSED GARAGE 573.6 SQF  
TOTAL FIRST FLOOR PROPOSED 2,097 SQF

SECOND FLOOR:

AD 5	137.5 SQF
AD 6	384.7 SQF
AD 7	59.0 SQF
AD 8	19.2 SQF
AD 9	50.7 SQF
AD 10	48.9 SQF
AD 11	347.8 SQF
AD 12	79.8 SQF

TOTAL 2nd FLOOR ADDITION 1,127.6 SQF (COUNTED FOR FAR)

TOTAL BOTH FLOORS LIVABLE 2,651 SQF  
TOTAL ENTIRE BLDG. INCLUDING GARAGE 3,224.6 SQF

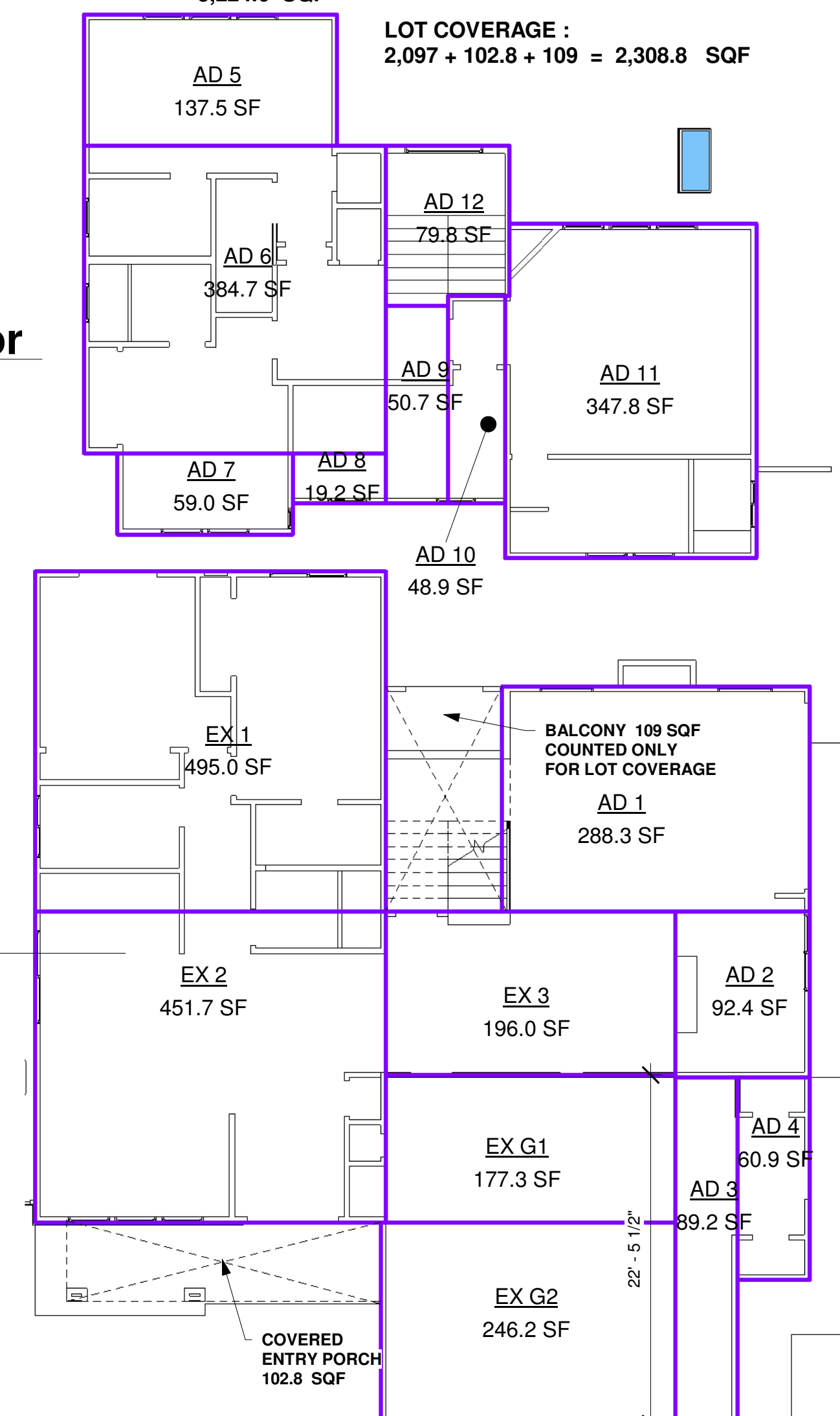
EXISTING LIVABLE:	1,142.7 SQF
GARAGE:	423.5 SQF
FIRST FLOOR NEW ADDITION:	530.8 SQF
SECOND FLOOR NEW ADDITION:	1,127.6 SQF
TOTAL LIVABLE :	2,651 SQF ( FAR )
ENTIRE BLDG ( Inc. Garage )	3,224.6 SQF

2,655 SQF MAX ALLOWABLE

LOT COVERAGE :  
2,097 + 102.8 + 109 = 2,308.8 SQF

2 Second Floor  
A2 1/8" = 1'-0"

1 First Floor  
A2 1/8" = 1'-0"

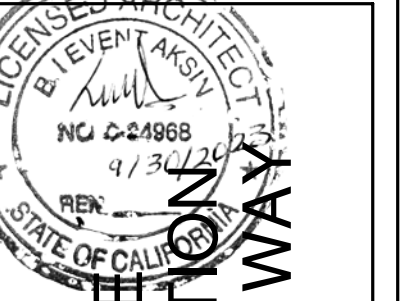


No.	Description	Date

**ARTE ARCHITECTURE**  
6451 DORPINE CT. NEWARK CA 94560  
Ph: (408) 504-8104 | LEVENTAS@GMAIL.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

EXIST. BLDG PHOTOS / AREA SCHEMATICS

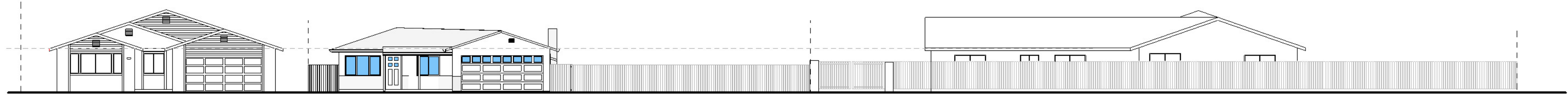


MUTLU RESIDENCE  
REMODELING & ADDITION  
147 ARROYO GRANDE WAY  
LOS GATOS, CA

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A2**  
Scale As indicated



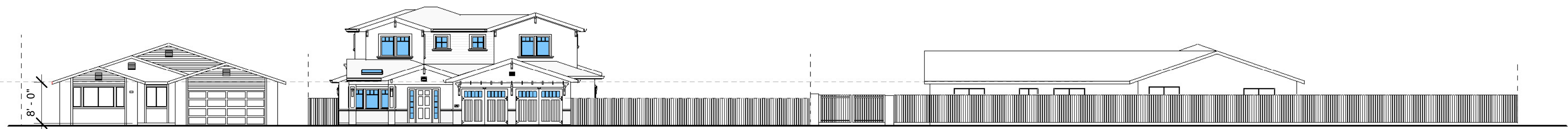


143

147  
PROJECT SITE

151

1 STREET SCAPE EXIST FRONT  
A3 1/16" = 1'-0"

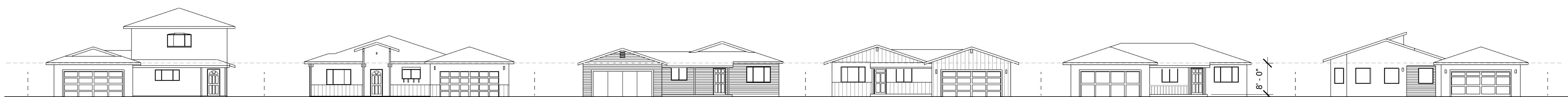
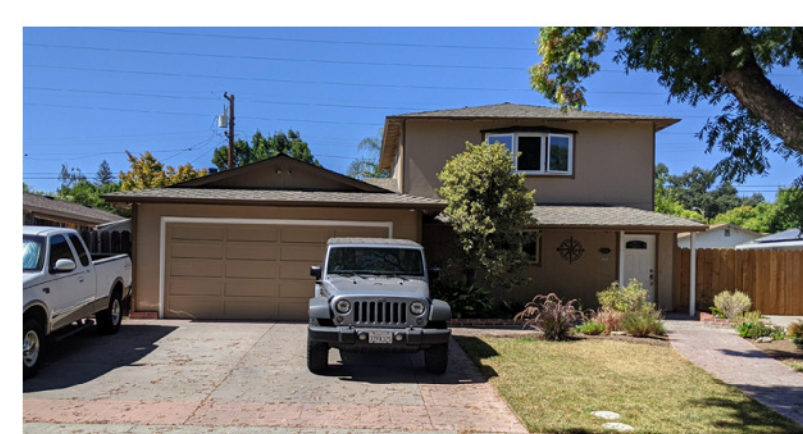


143

147  
PROJECT SITE

151

2 STRETSCAPE FRONT PROPOSED  
A3 1/16" = 1'-0"



156

152

148

144

140

124

3 ACROSS STREET  
A3 1/16" = 1'-0"

No.	Description	Date

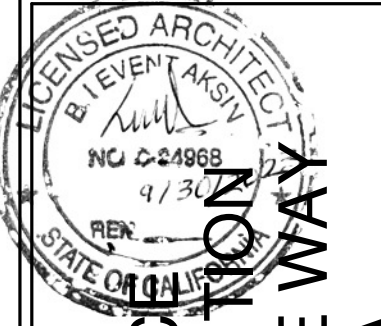
**ARTE ARCHITECTURE**

6451 DAPINE CT. NEWARK CA 94560  
PH: (408) 504-8104. LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

STREETSCAPE



MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA

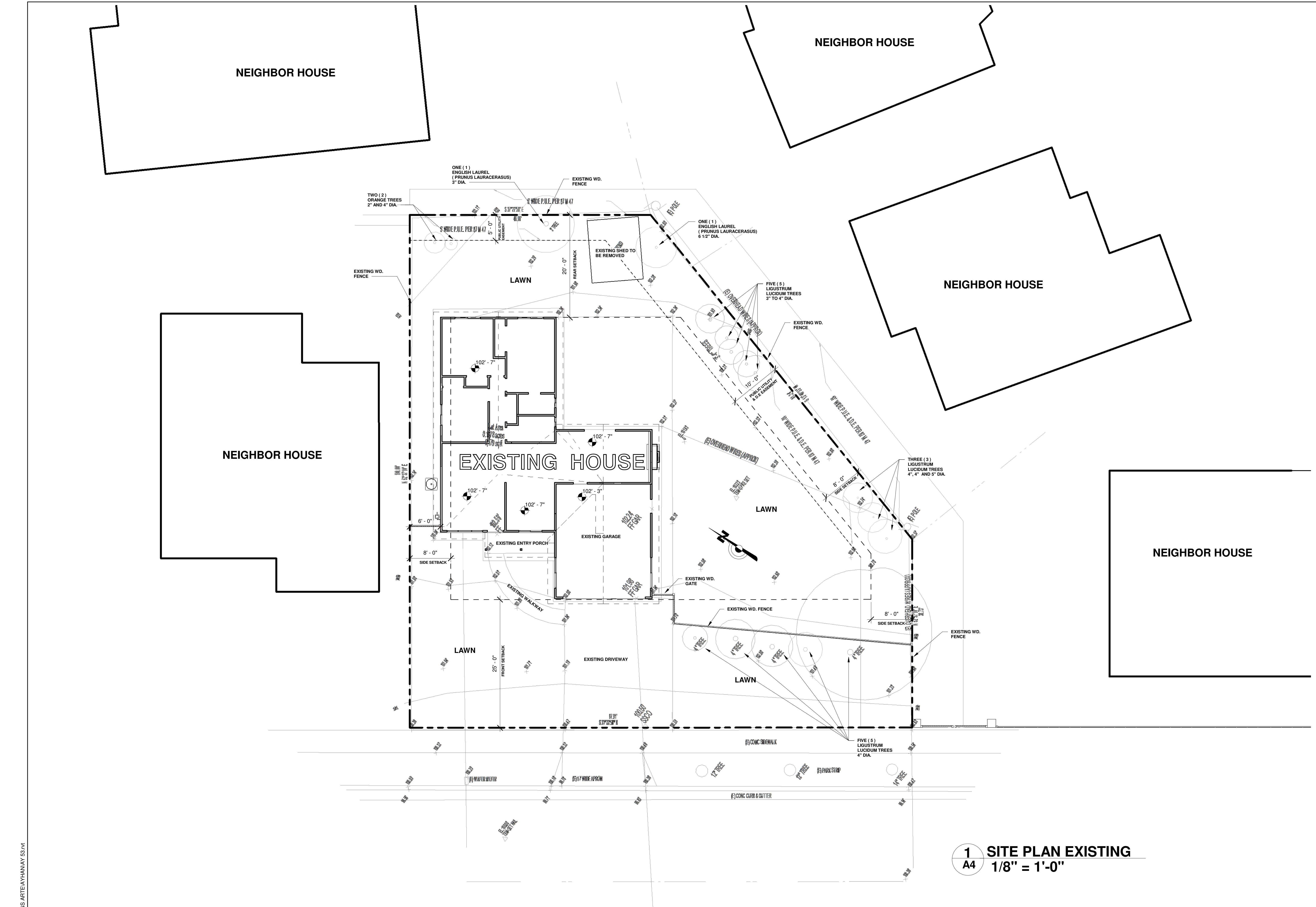
Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A3**

Scale 1/16" = 1'-0"

5/31/2022 2:24:18 PM





**1** SITE PLAN EXISTING  
**A4** 1/8" = 1'-0"

NOTE: PROTECT ALL TREES DURING THE CONSTRUCTION.

No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DAPINE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

**SITE PLAN EXISTING**



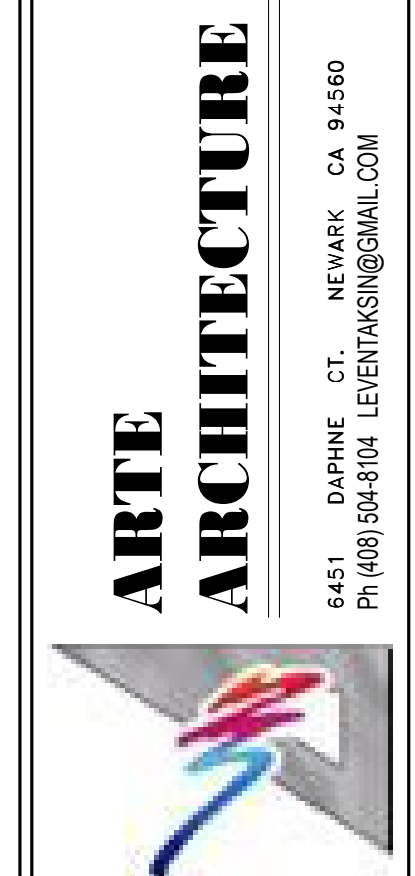
**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A4**  
 Scale 1/8" = 1'-0"



No.	Description	Date



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

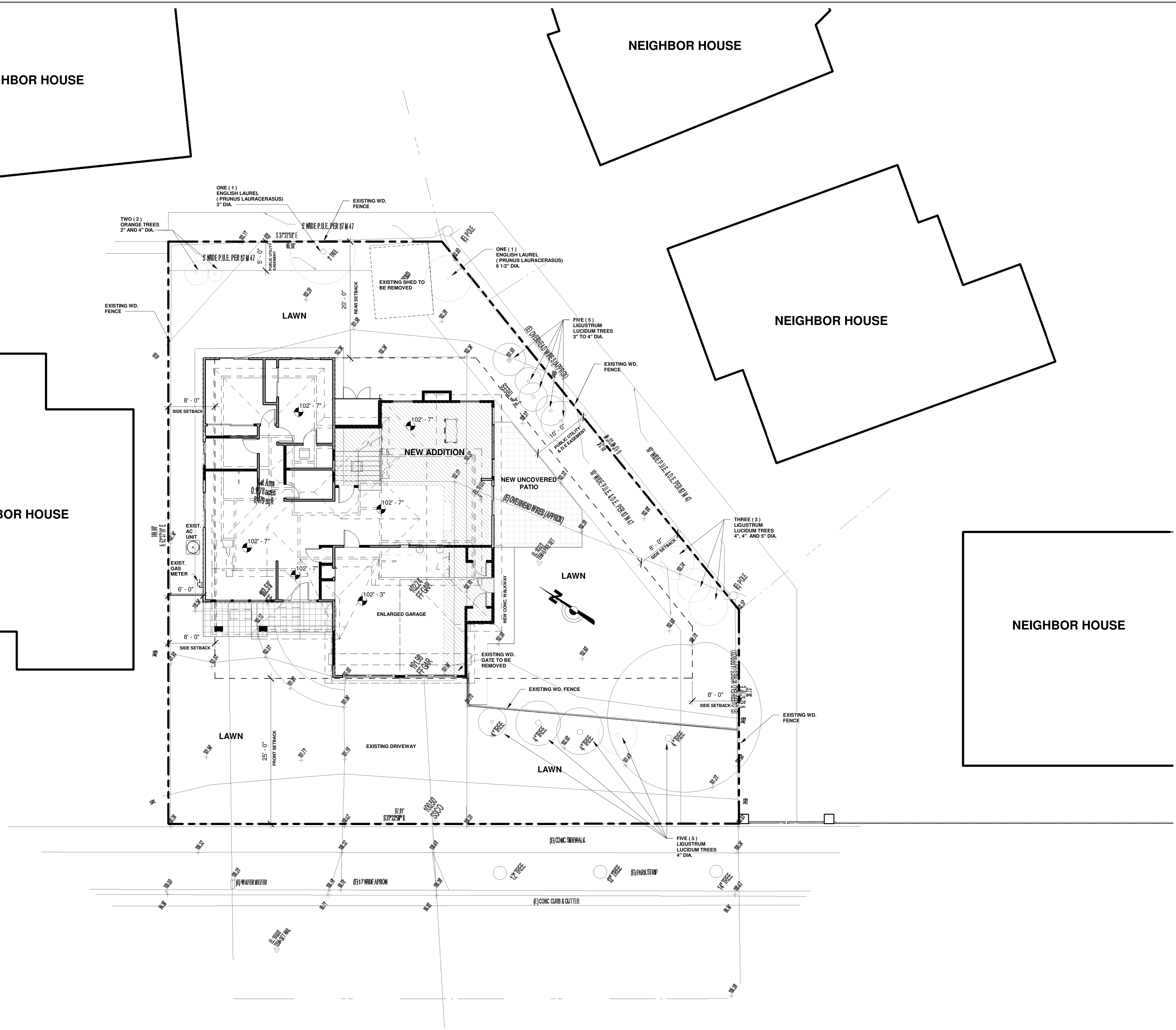


**MUTLU RESIDENCE  
REMODELING & ADDITION**  
147 ARROYO GRANDE WAY  
LOS GATOS, CA

Project no: AY  
Date: MAY-30-2022  
Drawn by: Author  
Checked by: Checker

**A5**  
Scale: 1/8" = 1'-0"

**SITE PLAN PROPOSED**



ARROYO GRANDE WAY

NOTE: PROTECT ALL TRESS DURING THE CONSTRUCTION.



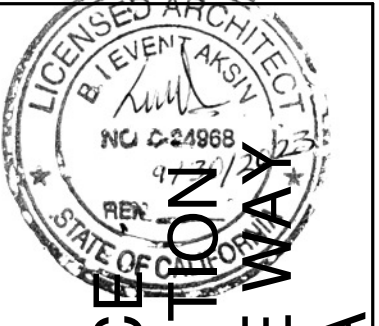
No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DORRNE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**SHADOW STUDY JUNE 21**



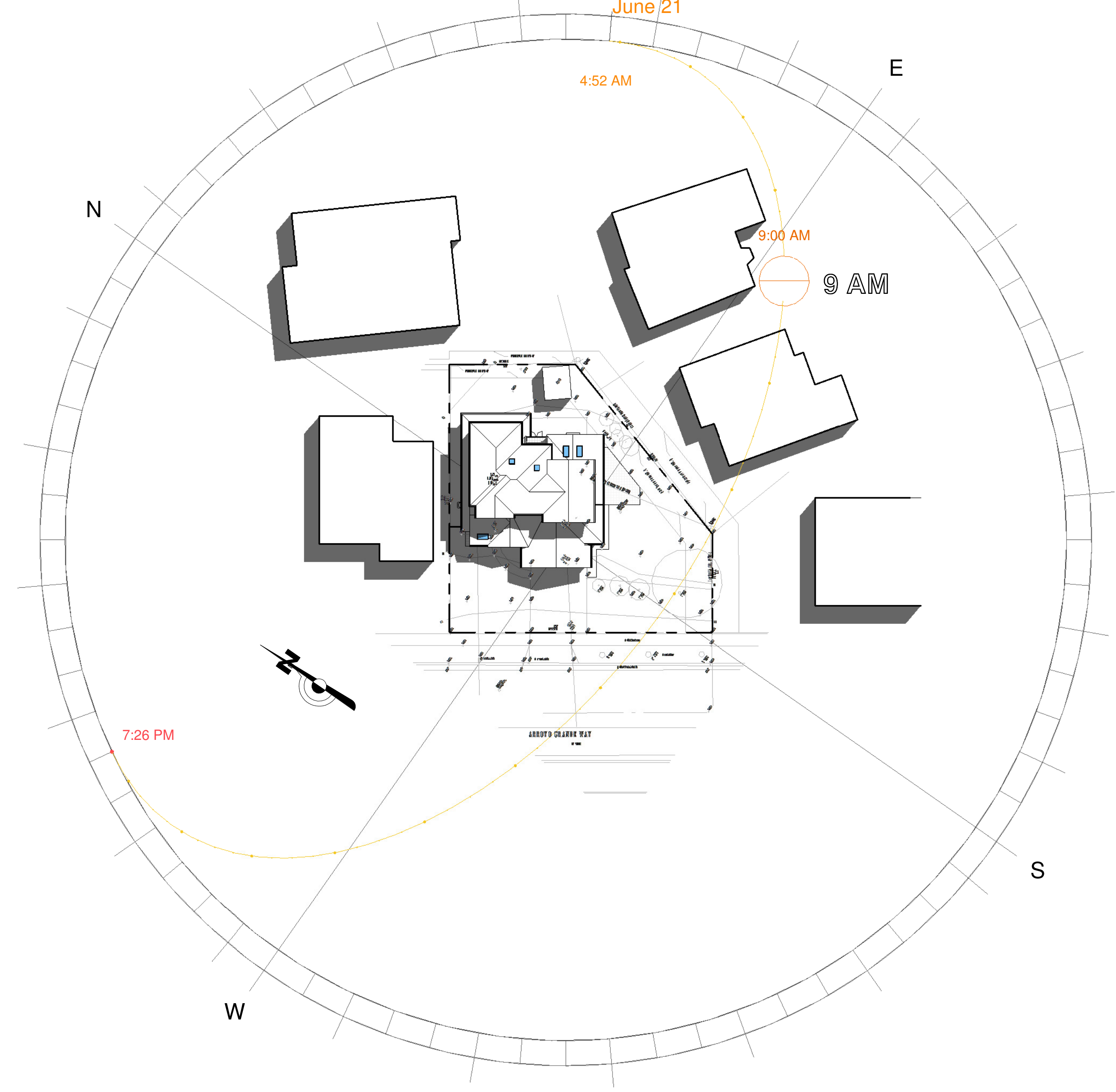
**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker

**A6**  
 Scale: 1" = 30'-0"

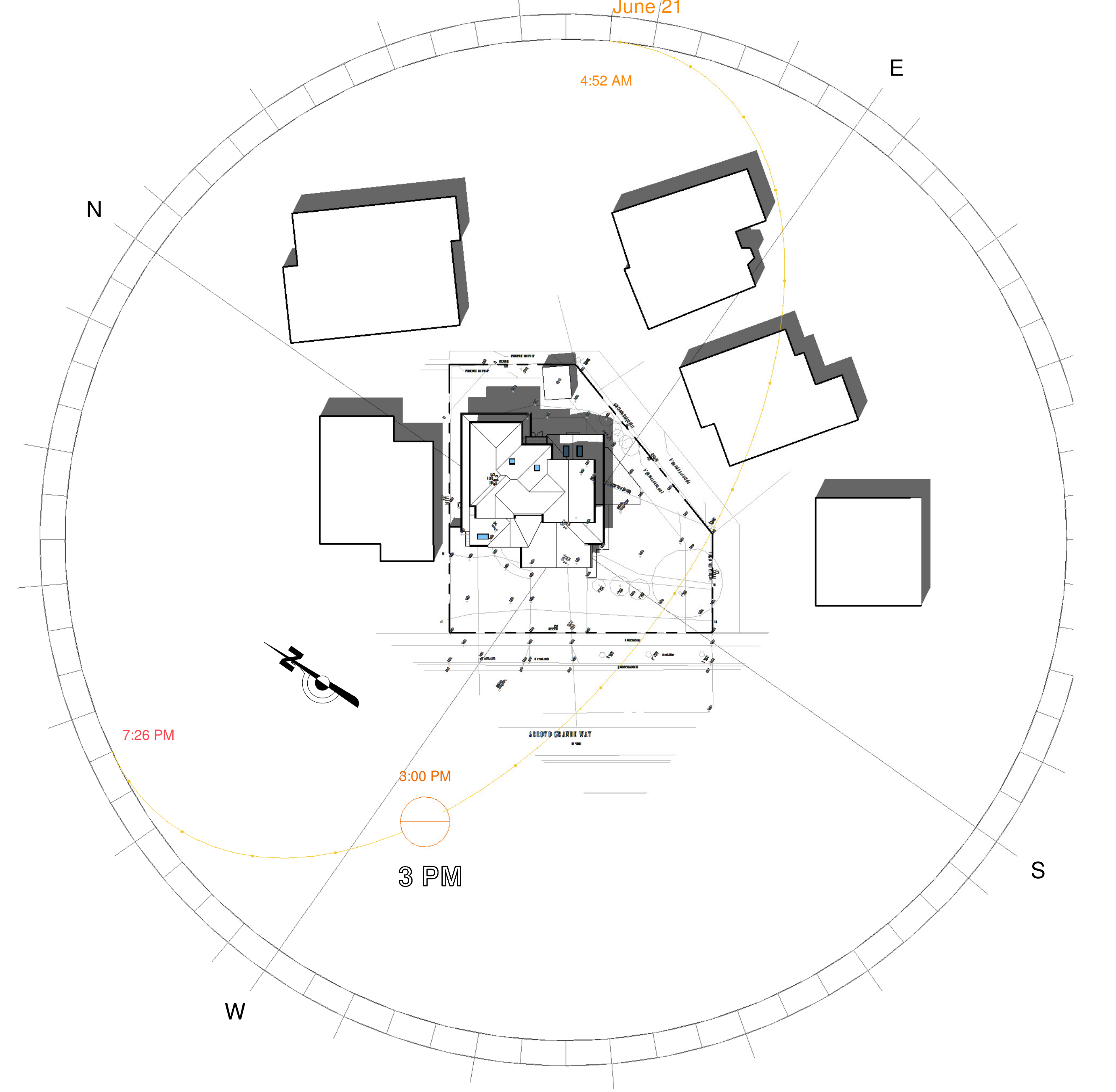
5/31/2022 2:24:20 PM

**JUNE 21**  
 June 21



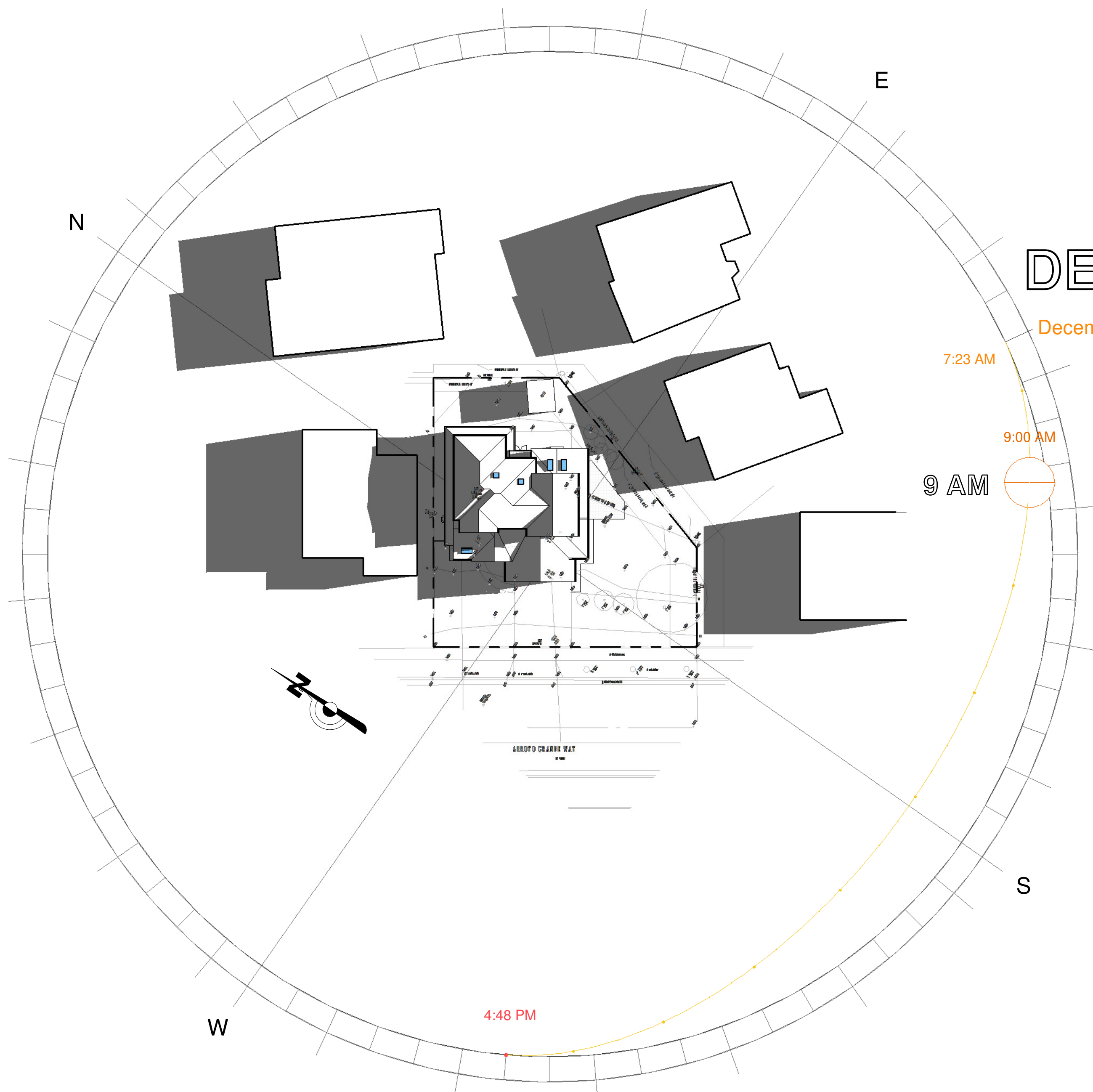
**2 9 AM SOLAR STUDY JUNE 21**  
 A6 1" = 30'-0"

**JUNE 21**  
 June 21



**1 3 PM SOLAR STUDY JUNE 21**  
 A6 1" = 30'-0"





**1** 9 AM SOLAR STUDY DEC 21  
**A7** 1" = 30'-0"



**2** 3 PM SOLAR STUDY DEC 21  
**A7** 1" = 30'-0"

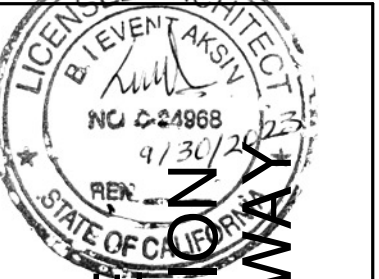
No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DARPAE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM



SHADOW STUDY DEC 21

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

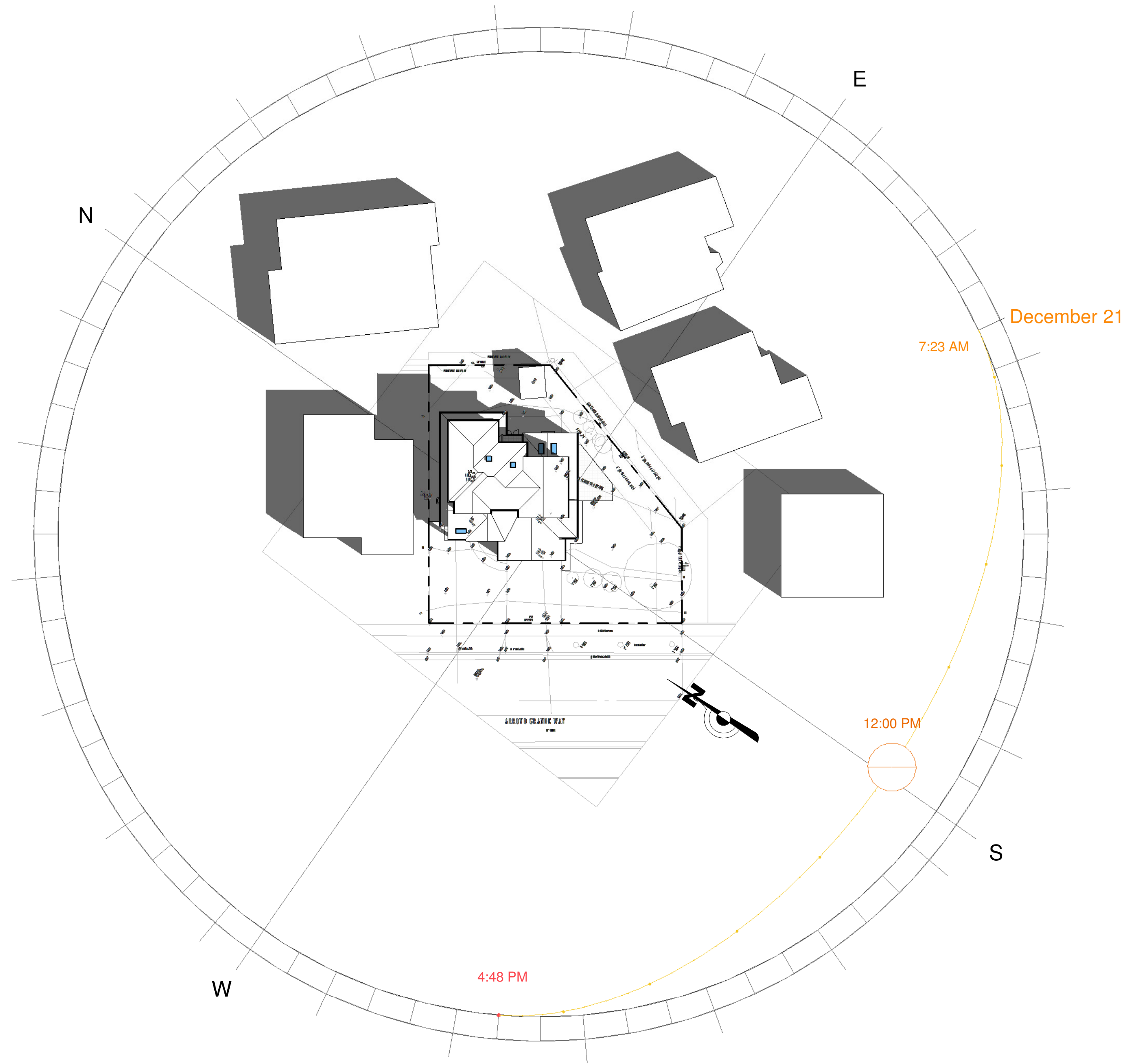


MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA

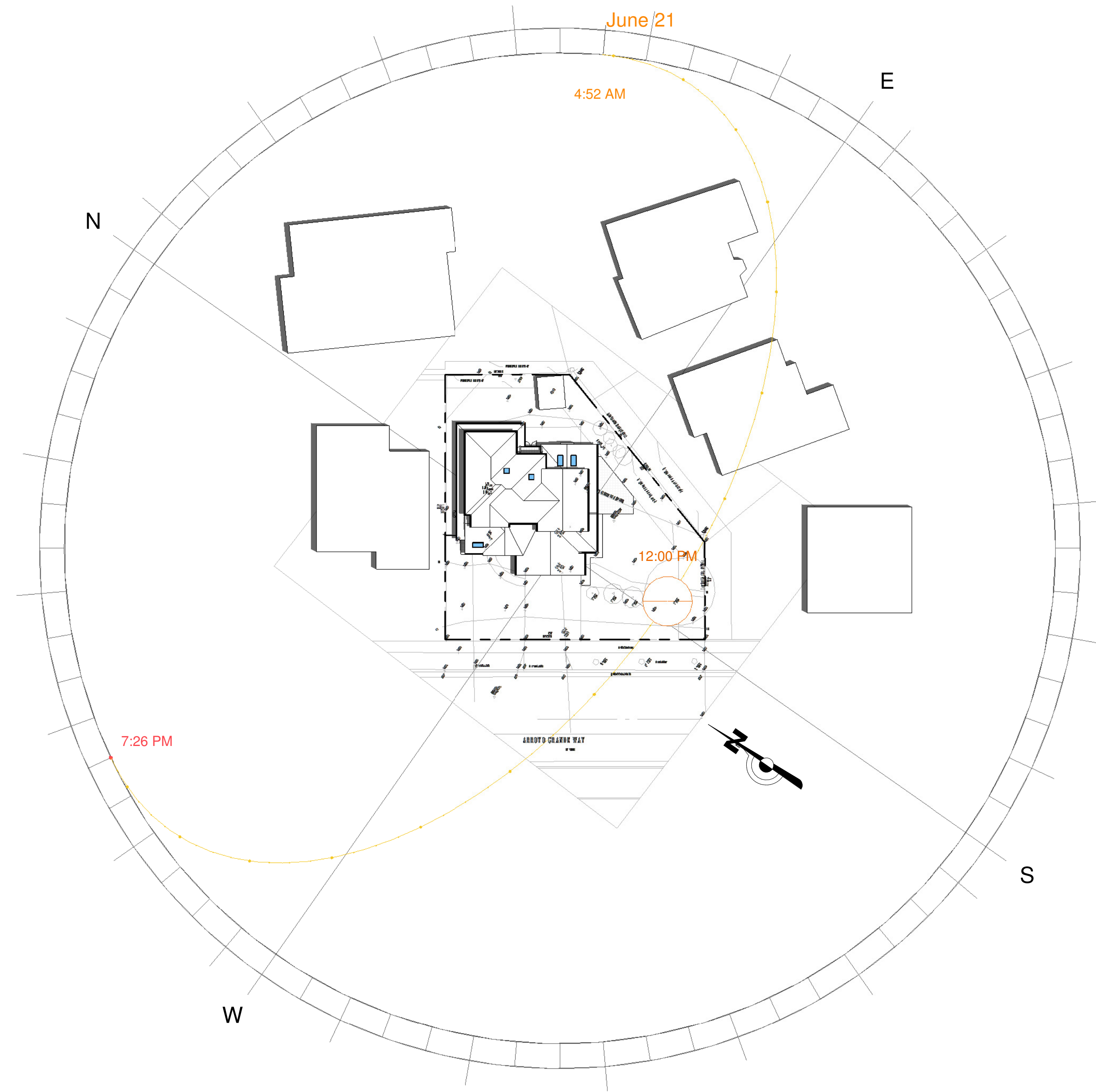
Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker

**A7**  
 Scale: 1" = 30'-0"





1 12 PM ( NOON ) SOLAR STUDY DEC 21  
A7b 1" = 30'-0"



2 12 PM ( NOON ) SOLAR STUDY JUNE 21  
A7b 1" = 30'-0"

No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DARPAVE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**SHADOW STUDIES JUNE 21 & DEC 21 NOON**

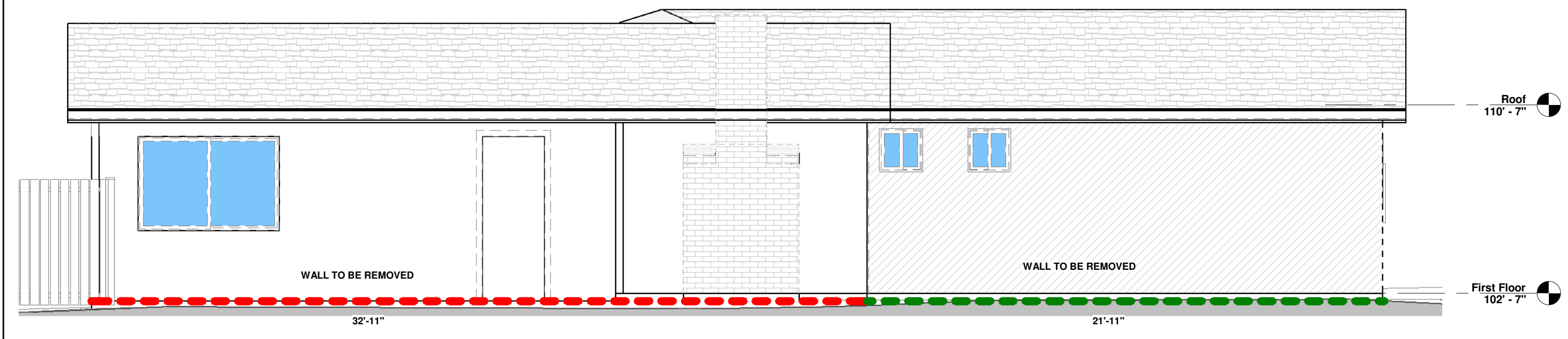
**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker
<b>A7b</b>	
Scale:	1" = 30'-0"

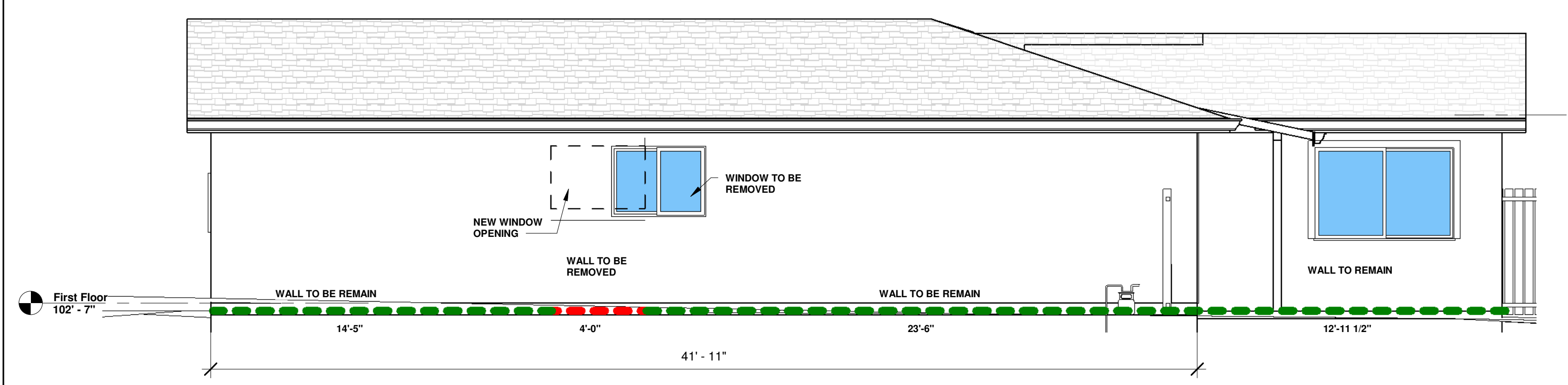


WALL LENGTH

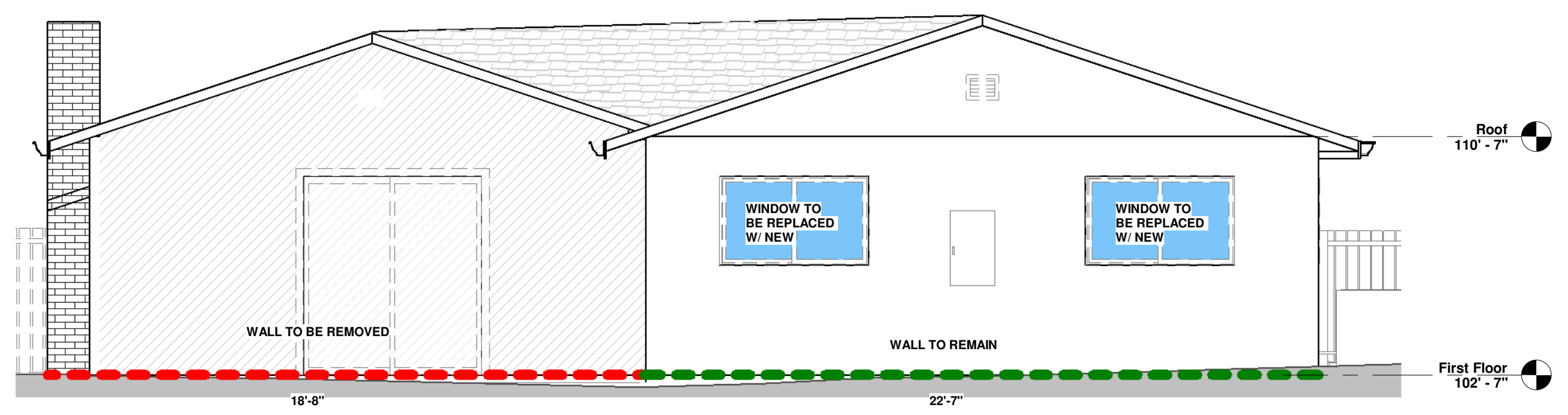
TO REMAIN	TO BE REMOVED
19'-0"	32'-11"
12'-11 1/2"	18'-8"
7'-1 3/4"	10'-4"
3'-9"	4'-0"
8'-3"	1'-8"
23'-6"	1'-5"
14'-5"	
22'-7"	
21'-11"	
22'-7"	
<b>TOTAL TO REMAIN :</b>	<b>TOTAL TO BE REMOVED</b>
<b>156'-1 1/4"</b>	<b>69'-0"</b>



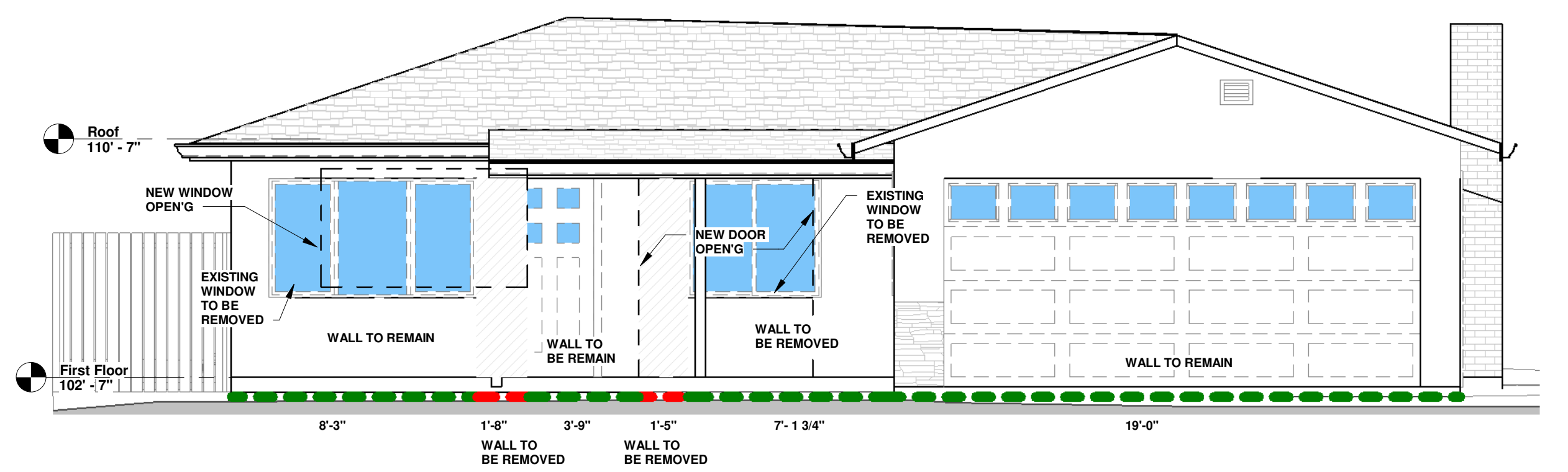
**5 SOUTHEAST ( RIGHT ) EXISTING DEMO**  
A8 1/4" = 1'-0"



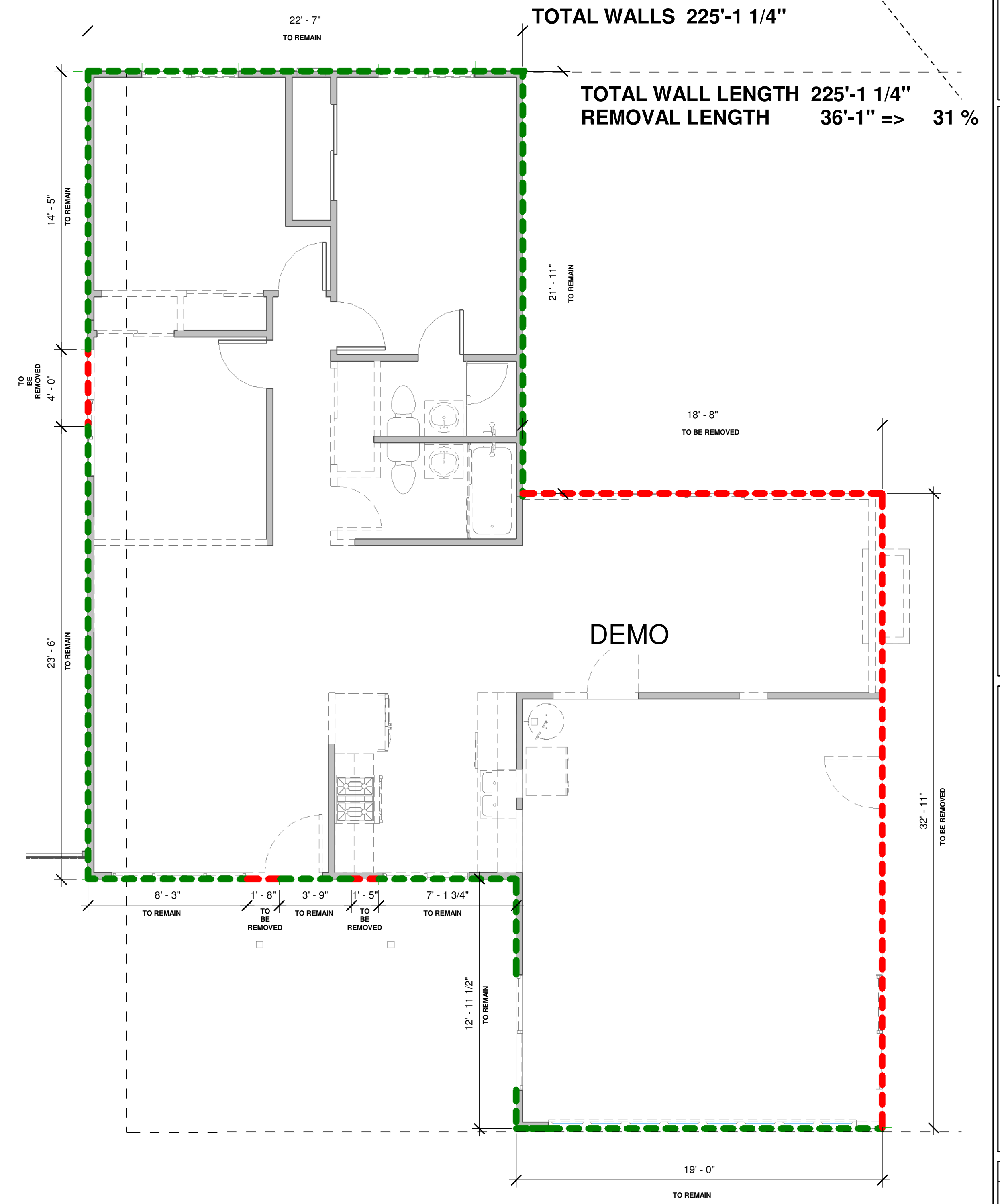
**4 NORTHWEST ( LEFT ) EXISTING DEMO**  
A8 1/4" = 1'-0"



**2 NORTHEAST ( REAR ) EXISTING DEMO**  
A8 1/4" = 1'-0"



**3 SOUTHWEST ( FRONT ) EXISTING DEMO**  
A8 1/4" = 1'-0"

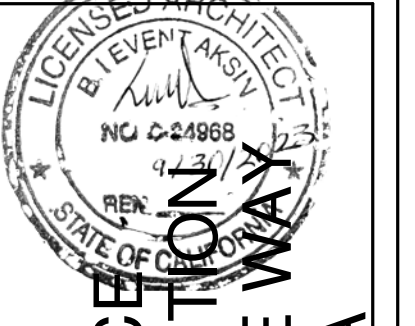


**1 FIRST FLOOR DEMO PERCENTAGE**  
A8 1/4" = 1'-0"

No.	Description	Date

**ARTE ARCHITECTURE**  
6451 DAPINE CT. NEWARK CA 94560  
Ph: (408) 504-8104. LEVENTAS@ARTEARCH.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

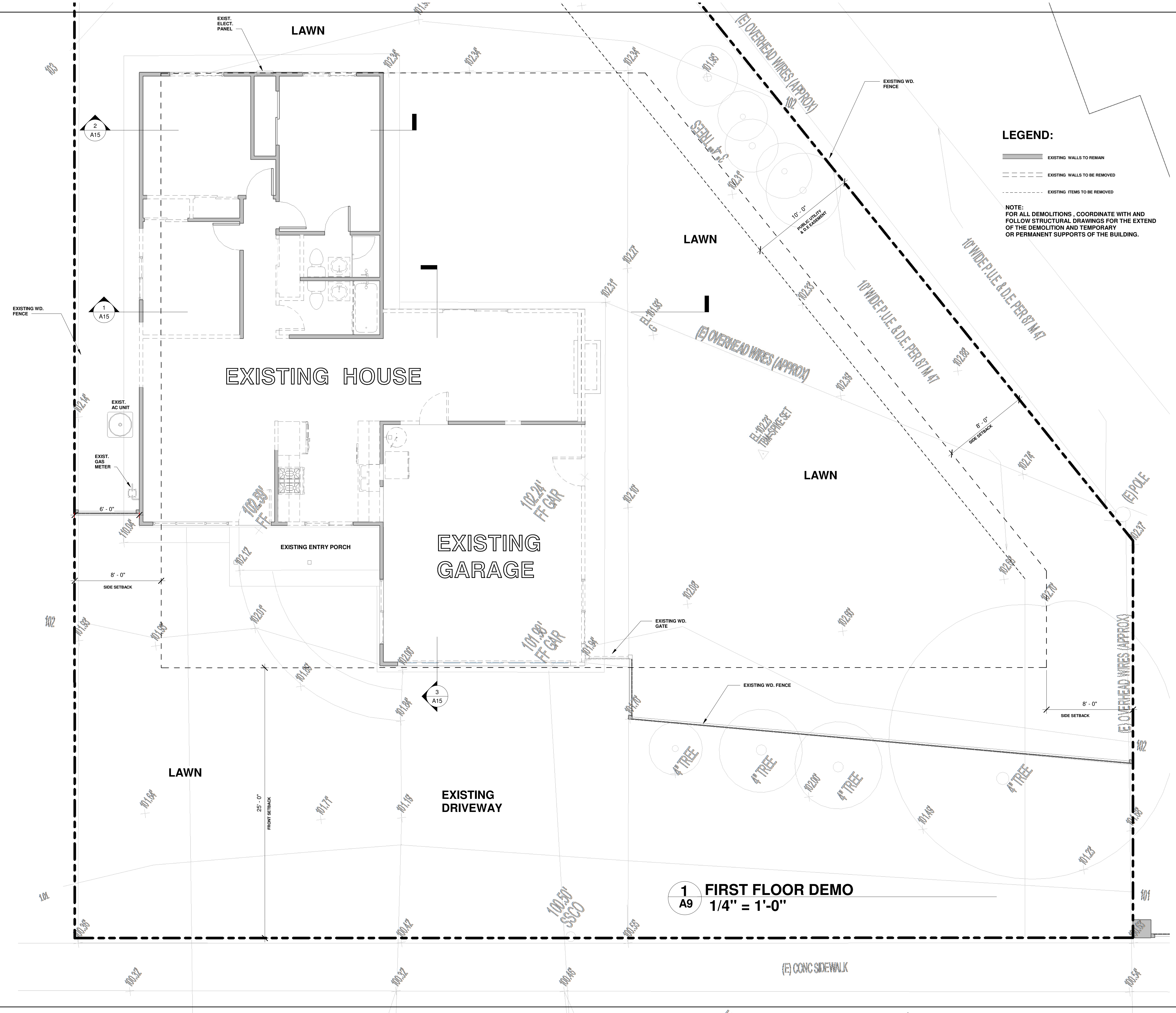


**MUTLU RESIDENCE  
REMODELING & ADDITION  
147 ARROYO GRANDE WAY  
LOS GATOS, CA**

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A8**  
Scale 1/4" = 1'-0"





**LEGEND:**

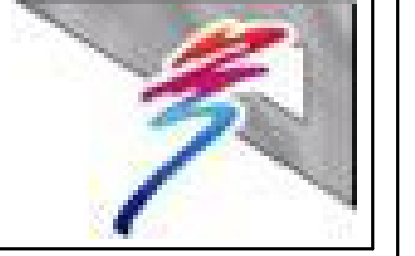
- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- - - EXISTING ITEMS TO BE REMOVED

**NOTE:**  
 FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

**1** FIRST FLOOR DEMO  
 A9 1/4" = 1'-0"

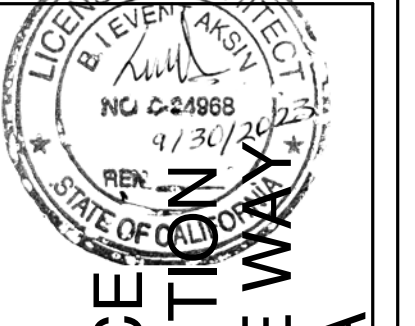
No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DORPINE CT. NEWARK CA 94560  
 PH (408) 504-8104. LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

**EXISTING AND DEMO PLAN**



**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

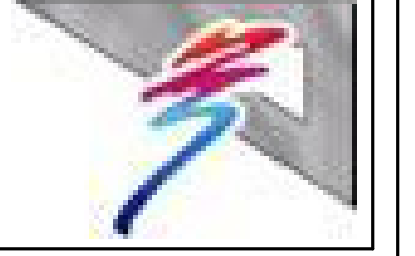
Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A9**  
 Scale 1/4" = 1'-0"



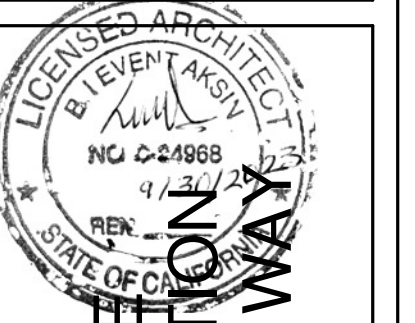
No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DAPINE CT. NEWARK, CA 94560  
 PH: (408) 504-8104. LEVENTAS@GMAIL.COM



**PROPOSED FLOOR PLAN**

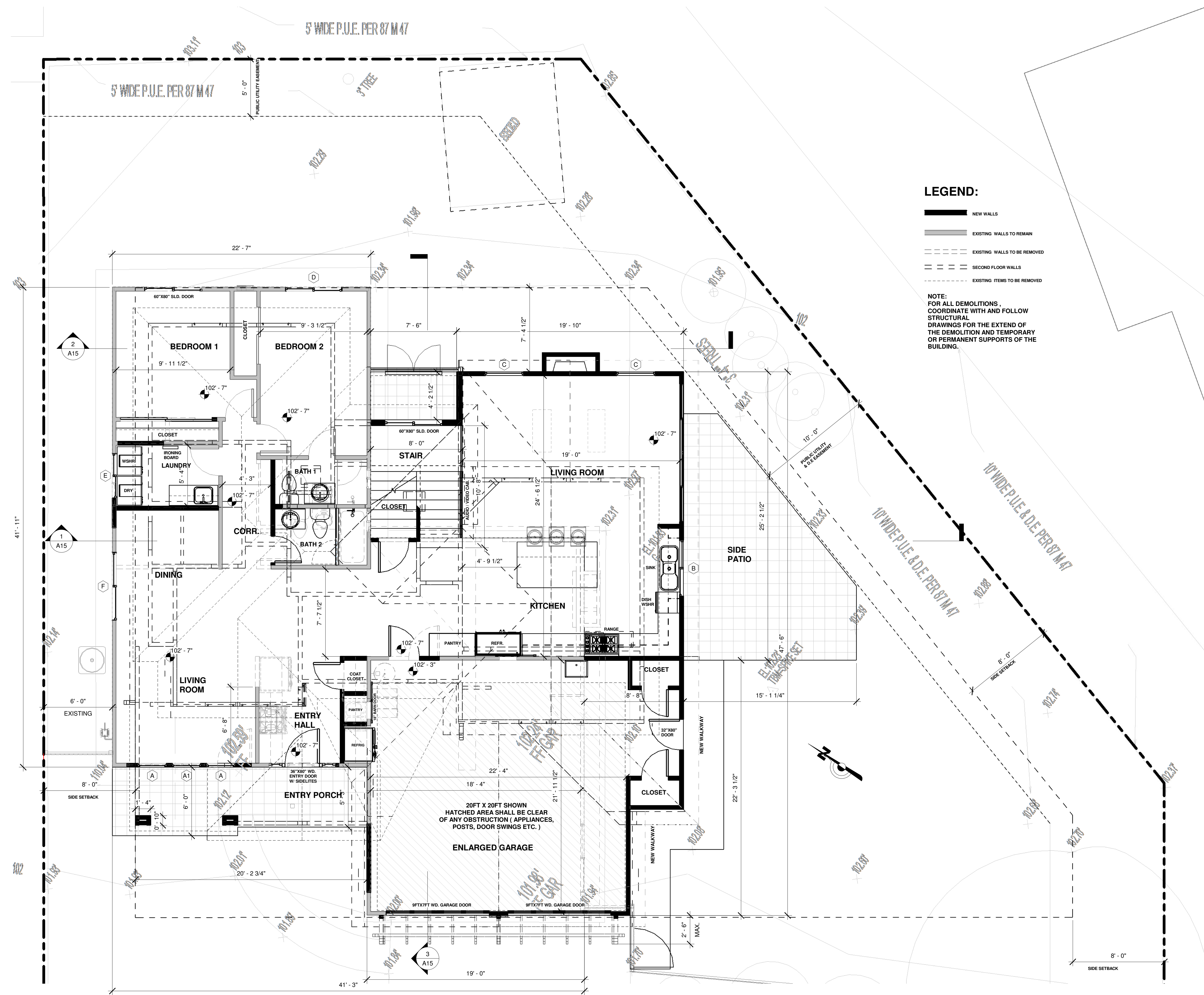
THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker

**A10**  
 Scale: 1/4" = 1'-0"



**1 FIRST FLOOR PROPOSED**  
**A10 1/4" = 1'-0"**



No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DASHNE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104 | LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. THEY MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

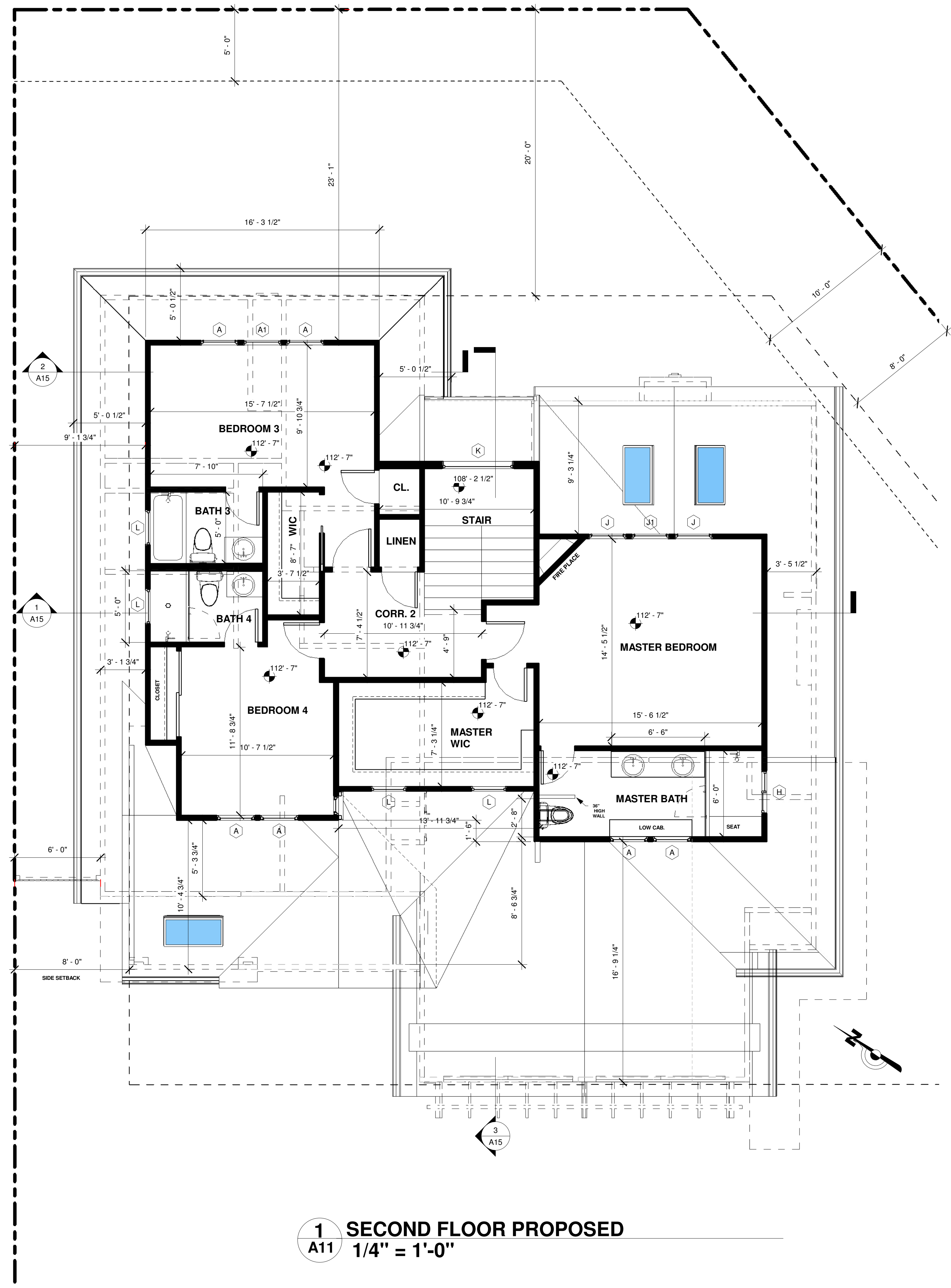


**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker

**A11**  
 Scale: 1/4" = 1'-0"

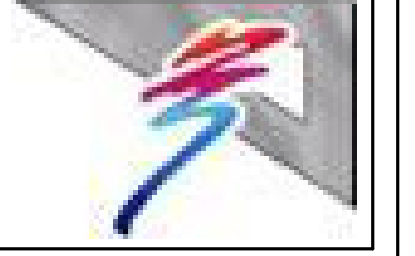
**SECOND FLOOR PLAN**



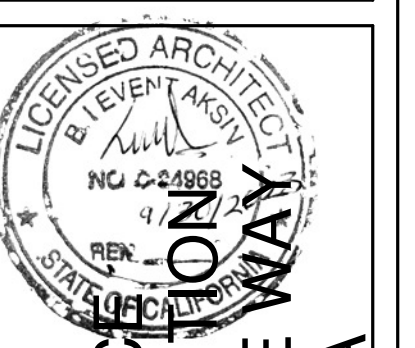
**1 SECOND FLOOR PROPOSED**  
 A11 1/4" = 1'-0"

No.	Description	Date

**ARTE ARCHITECTURE**  
 8451 DORPINE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM



THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

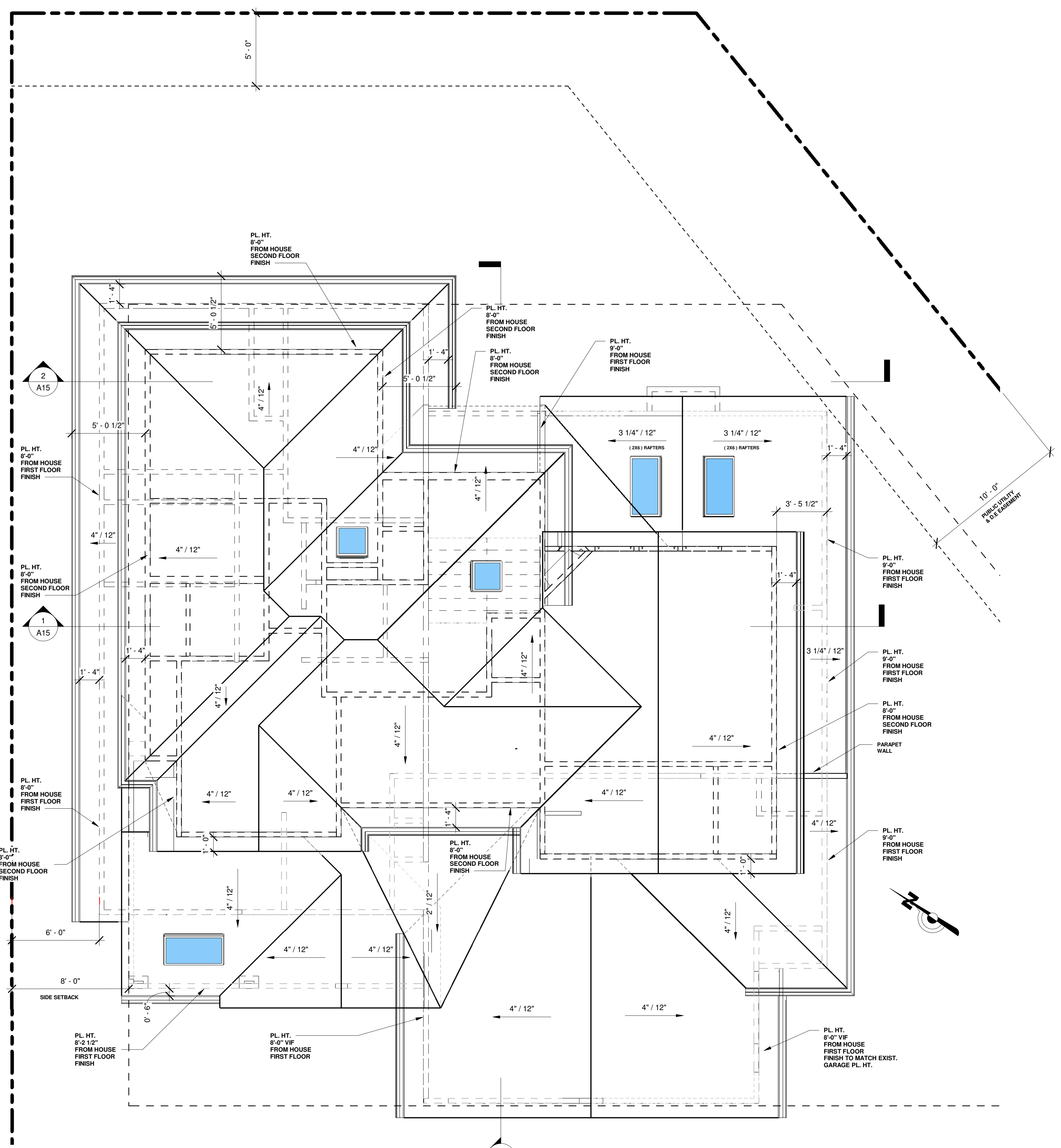


**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker

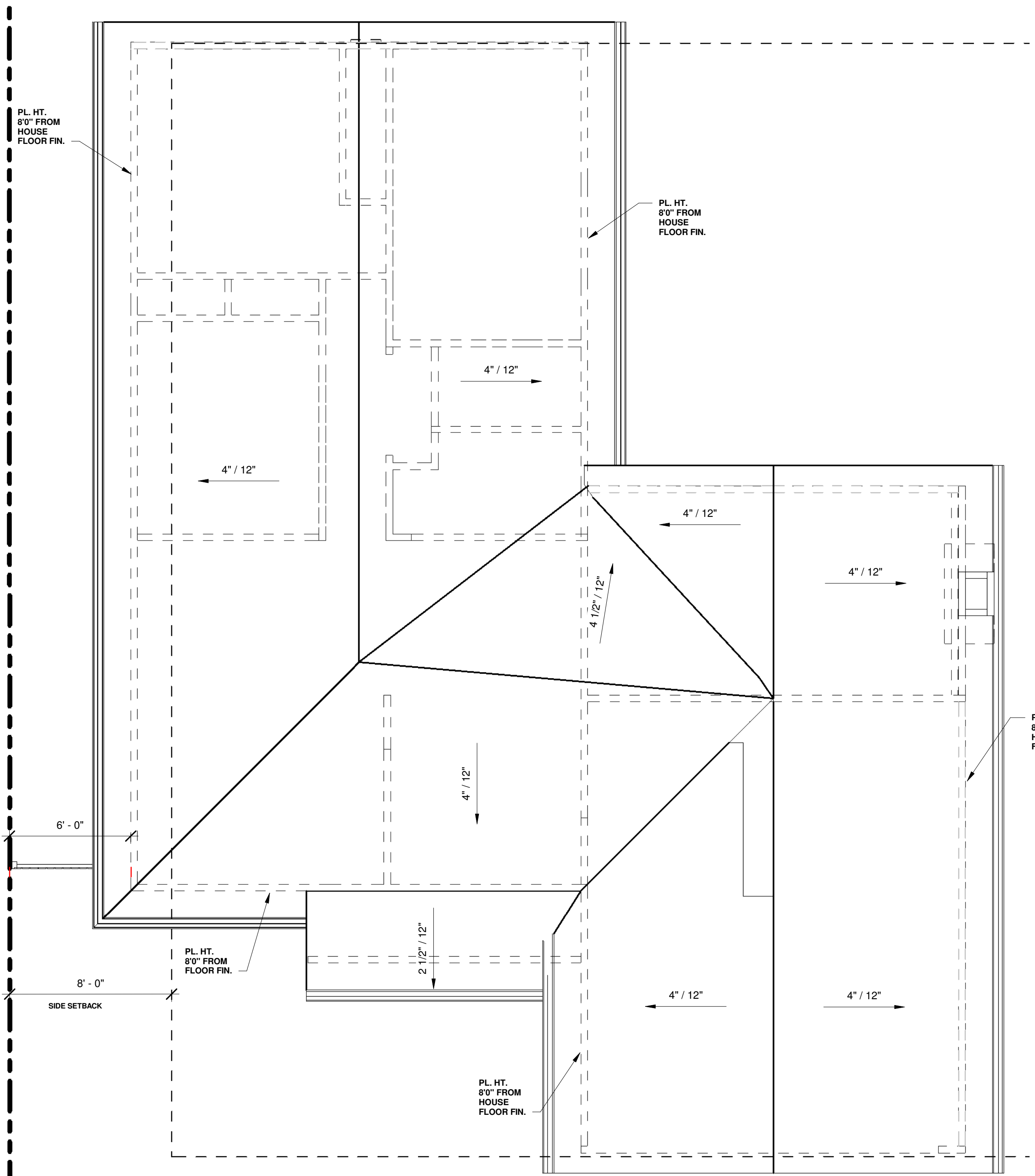
**A12**  
 Scale: 1/4" = 1'-0"

**ROOF PLANS**



**2 ROOF PLAN PROPOSED**  
 A12 1/4" = 1'-0"

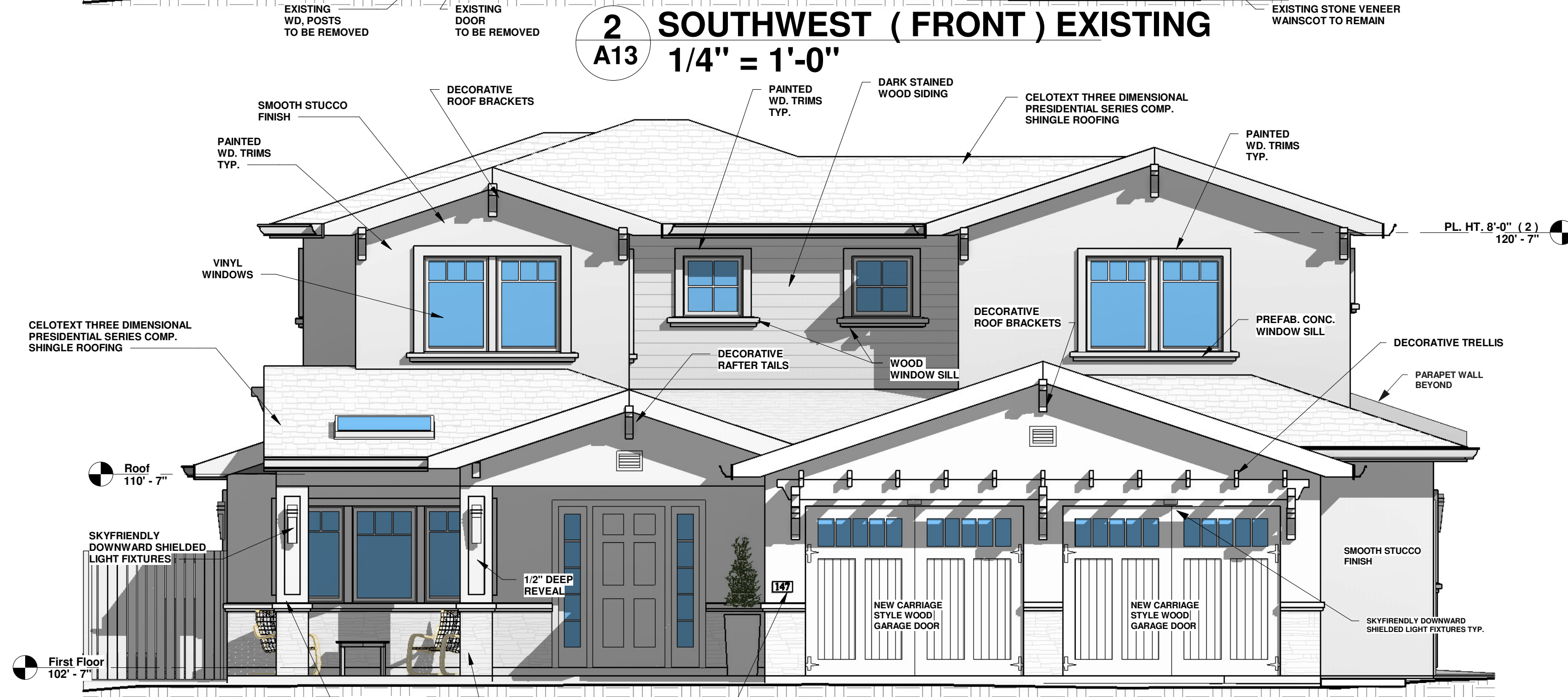
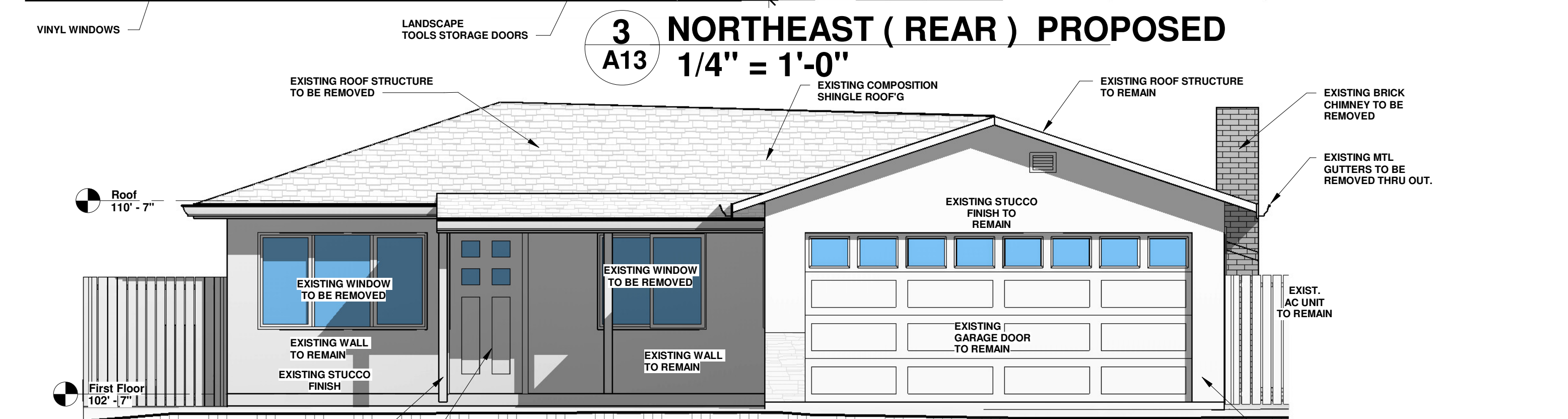
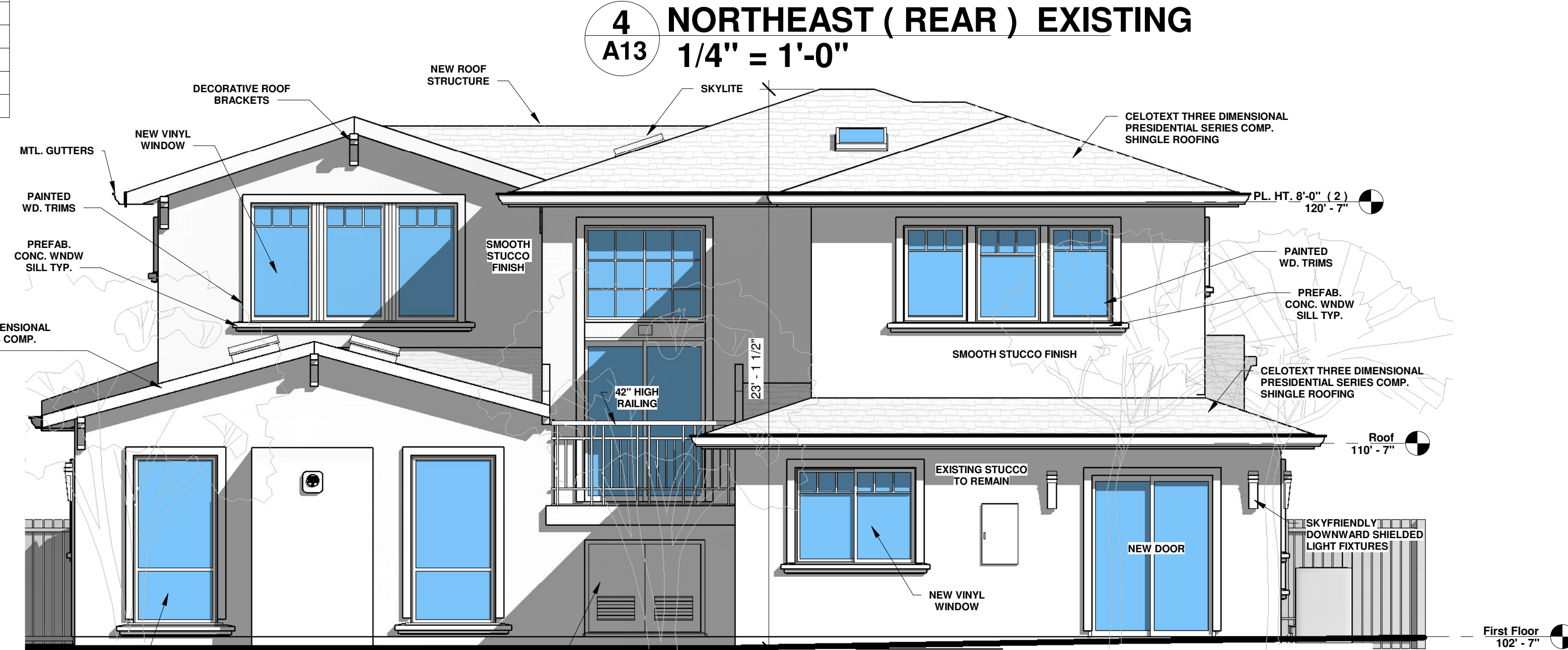
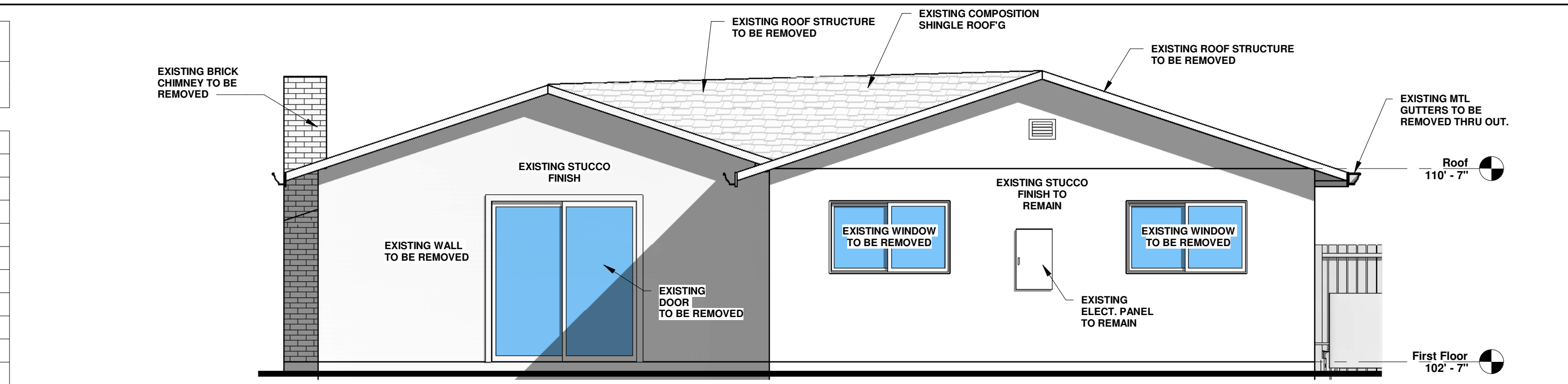
**ALL SKYLIGHT SHALL HAVE A FLAT PROFILE RATHER THAN A DOMED PROFILE THRU OUT TYP.**



**1 ROOF PLAN EXISTING**  
 A12 1/4" = 1'-0"



WINDOW SCHEDULE							
Type Mark	Count	Rough Opening		Material	Glazing Type	Comments	WINDOW TYPE
		Width	Height				
A	6	2' - 8"	4' - 0"	VINYL	* TEMP.	EGRESS WINDOW IN UPPER BEDROOM	SINGLE CASEMENT
A	2	2' - 8"	4' - 0"	VINYL	TEMP		SINGLE HUNG
A1	2	2' - 8"	4' - 0"	VINYL			FIXED WINDOW
B	1	5' - 0"	3' - 6"	VINYL	TEMP		SLIDING WINDOW
C	2	3' - 6"	7' - 0"	VINYL	TEMP	TWO PANEL TOP & BOTT	FIXED WINDOW
D	1	5' - 0"	4' - 0"	VINYL		EGRESS WINDOW	SLIDING WINDOW
E	1	4' - 0"	3' - 6"	VINYL	TEMP		SLIDING WINDOW
F	1	6' - 0"	5' - 0"	VINYL			SLIDING WINDOW
H	1	3' - 0"	2' - 0"	VINYL	TEMP		SLIDING WINDOW
J	2	2' - 8"	5' - 0"	VINYL		EGRESS WINDOW	SINGLE CASEMENT
J1	1	2' - 8"	5' - 0"	VINYL			FIXED WINDOW
J6	1	1' - 4"	4' - 0"				
K	1	5' - 0"	4' - 0"	VINYL	TEMP		FIXED WINDOW
L	4	2' - 6"	2' - 6"	VINYL	* TEMP.	TWO IN BATHROOMS TEMPERED	SINGLE CASEMENT
SK1	2	2' - 0"	2' - 0"	MTL.	FLAT GLAZING	GLAZING PER CRC R308.6, TEMP GLAZING	SQUARE SKYLITE
SK2	3	2' - 0"	4' - 0"	MTL.	FLAT GLAZING	GLAZING PER CRC R308.6, TEMP GLAZING	RECTANGULAR SKYLITE



ALL EXTERIOR LIGHT FIXTURES SHALL MEET THE TOWN CODE DOWNWARD DIRECTED AND SHIELDED SO THAT LIGHT BULBS ARE NOT DIRECTLY VISIBLE.

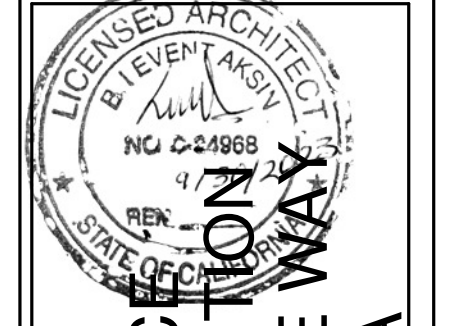
NOTE FOR WINDOWS:  
ALL WINDOWS SHALL BE SIMULATED DIVIDED LITES.

No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DARBANE CT. NEWARK, CA 94560  
 Ph: (408) 504-8104 | LEVENTAS@GMAIL.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**EXTERIOR ELEVATIONS**

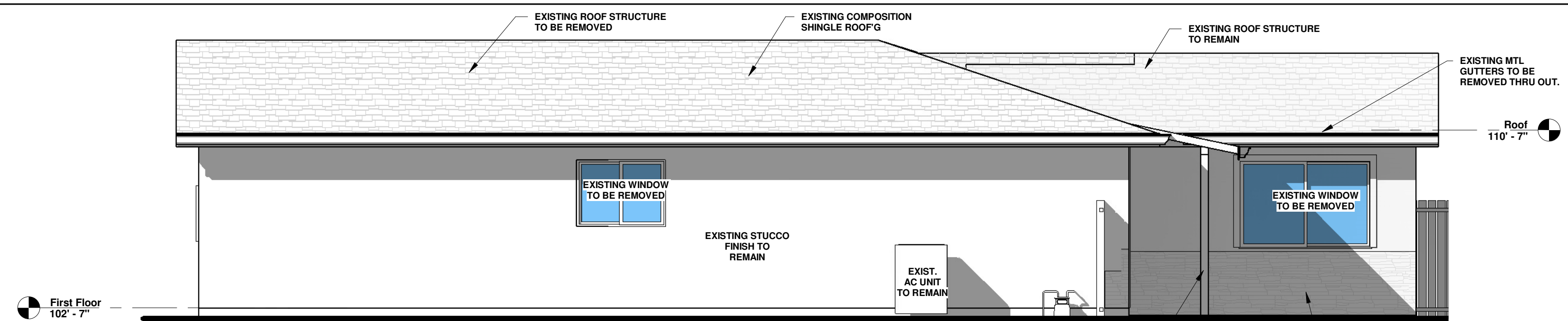


**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

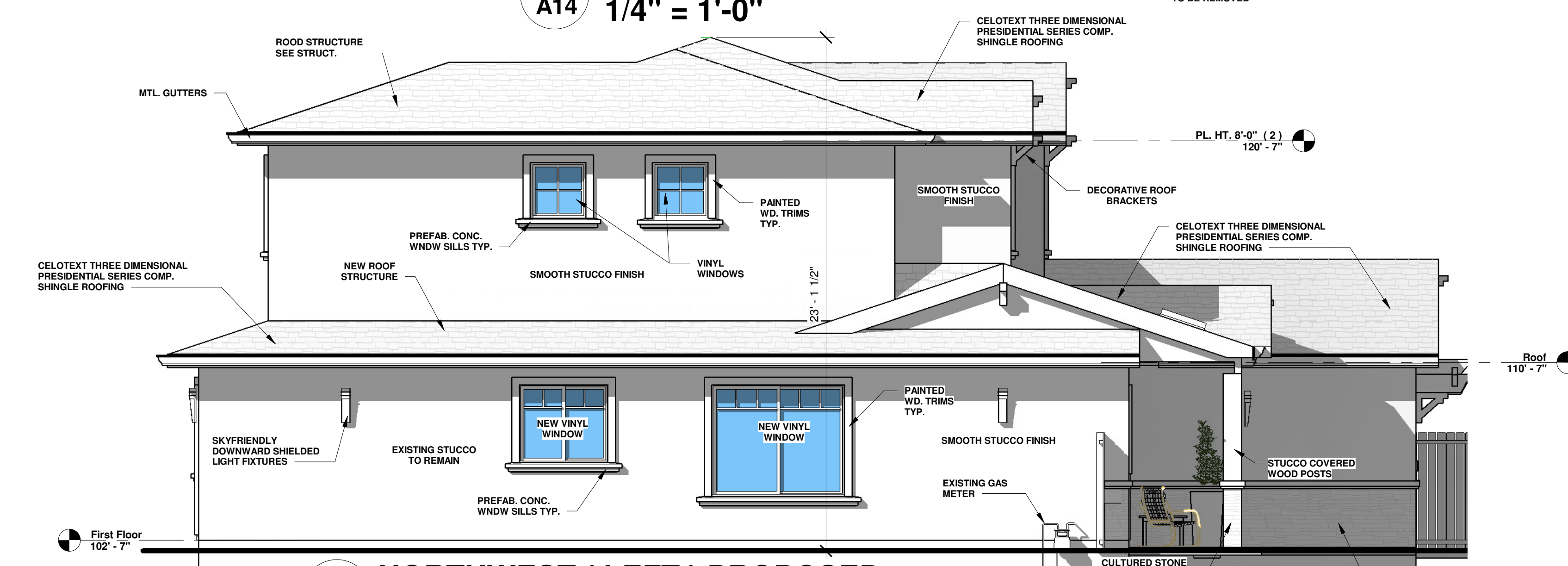
Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A13**  
 Scale 1/4" = 1'-0"

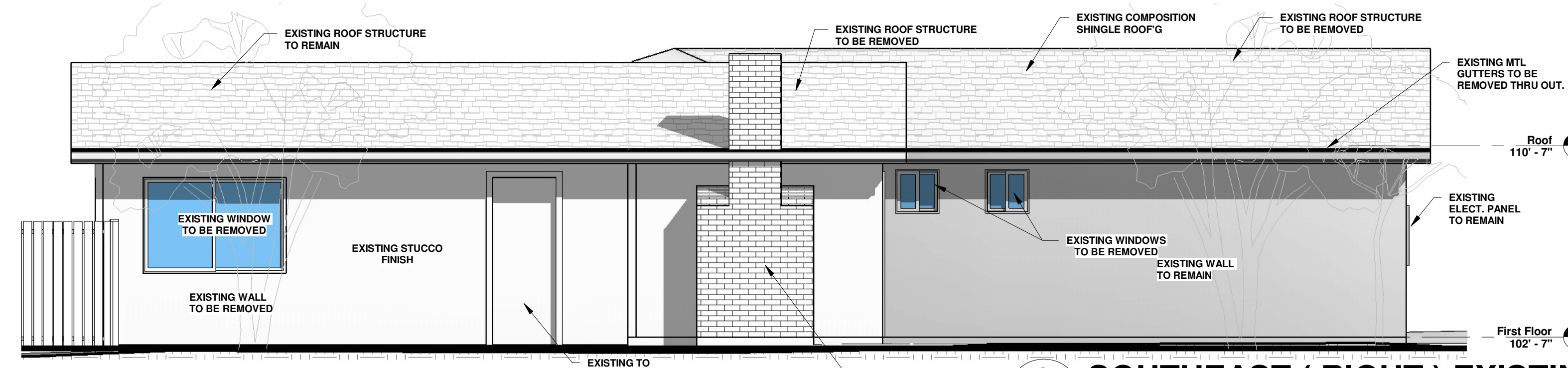




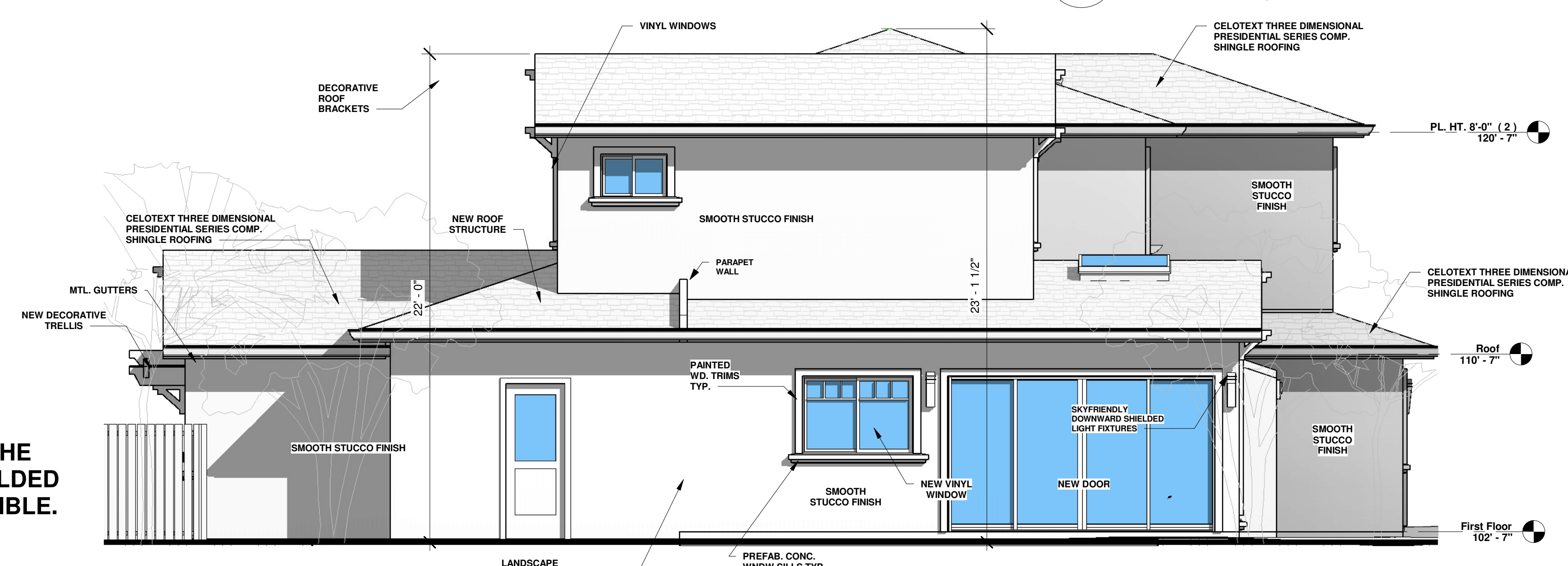
**4 NORTHWEST ( LEFT ) EXISTING**  
A14 1/4" = 1'-0"



**3 NORTHWEST ( LEFT ) PROPOSED**  
A14 1/4" = 1'-0"



**2 SOUTHEAST ( RIGHT ) EXISTING**  
A14 1/4" = 1'-0"



**1 SOUTHEAST ( RIGHT ) PROPOSED**  
A14 1/4" = 1'-0"

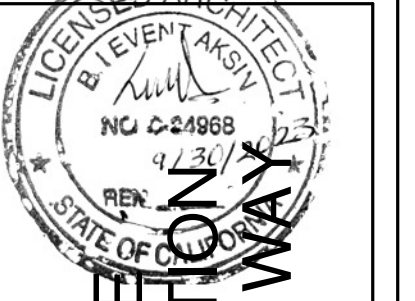
ALL EXTERIOR LIGHT FIXTURES SHALL MEET THE TOWN CODE DOWNWARD DIRECTED AND SHIELDED SO THAT LIGHT BULBS ARE NOT DIRECTLY VISIBLE.

No.	Description	Date

**ARTE ARCHITECTURE**  
6451 DORRNE CT. NEWARK, CA 94560  
Ph: (408) 504-8104 | LEVENTAS@ARTEARCH.COM

EXTERIOR ELEVATIONS

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS, CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



MUTLU RESIDENCE  
REMODELING & ADDITION  
147 ARROYO GRANDE WAY  
LOS GATOS, CA

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker

**A14**  
Scale 1/4" = 1'-0"



No.	Description	Date

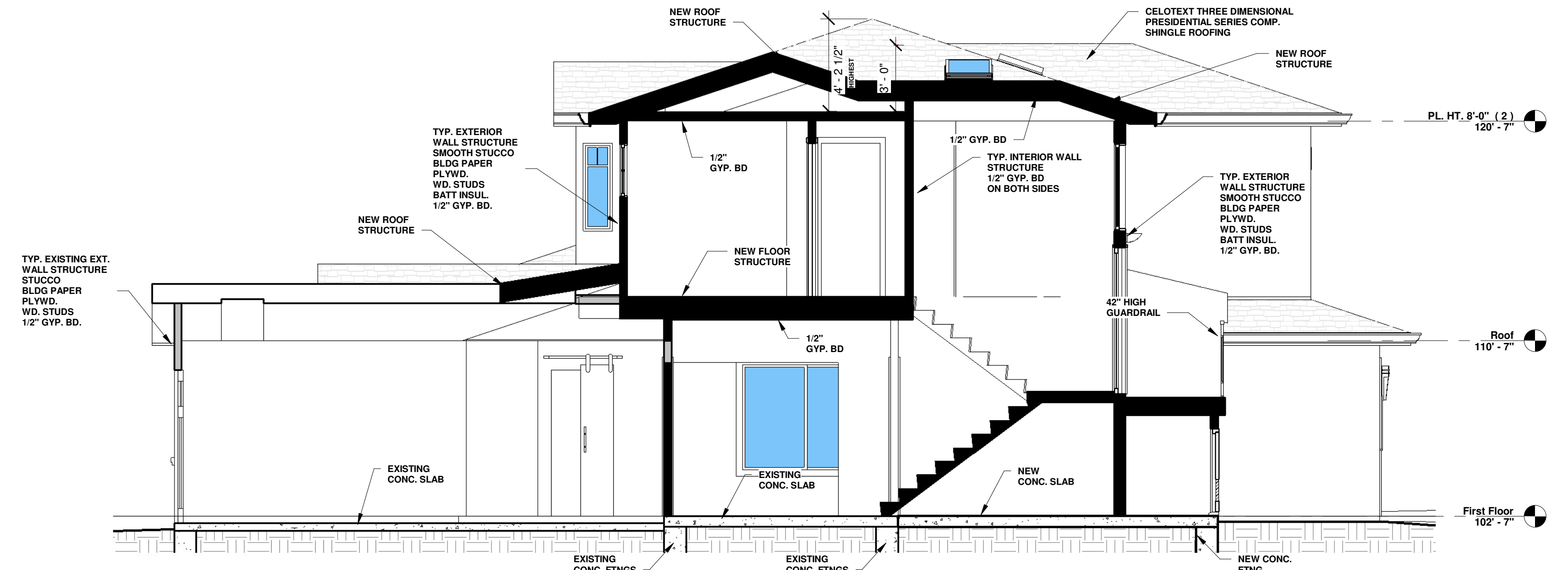
**ARTE ARCHITECTURE**  
 6451 DARBINE CT. NEWARK CA 94560  
 Ph: (408) 504-8104 | LEVENTAS@ARTEA.COM



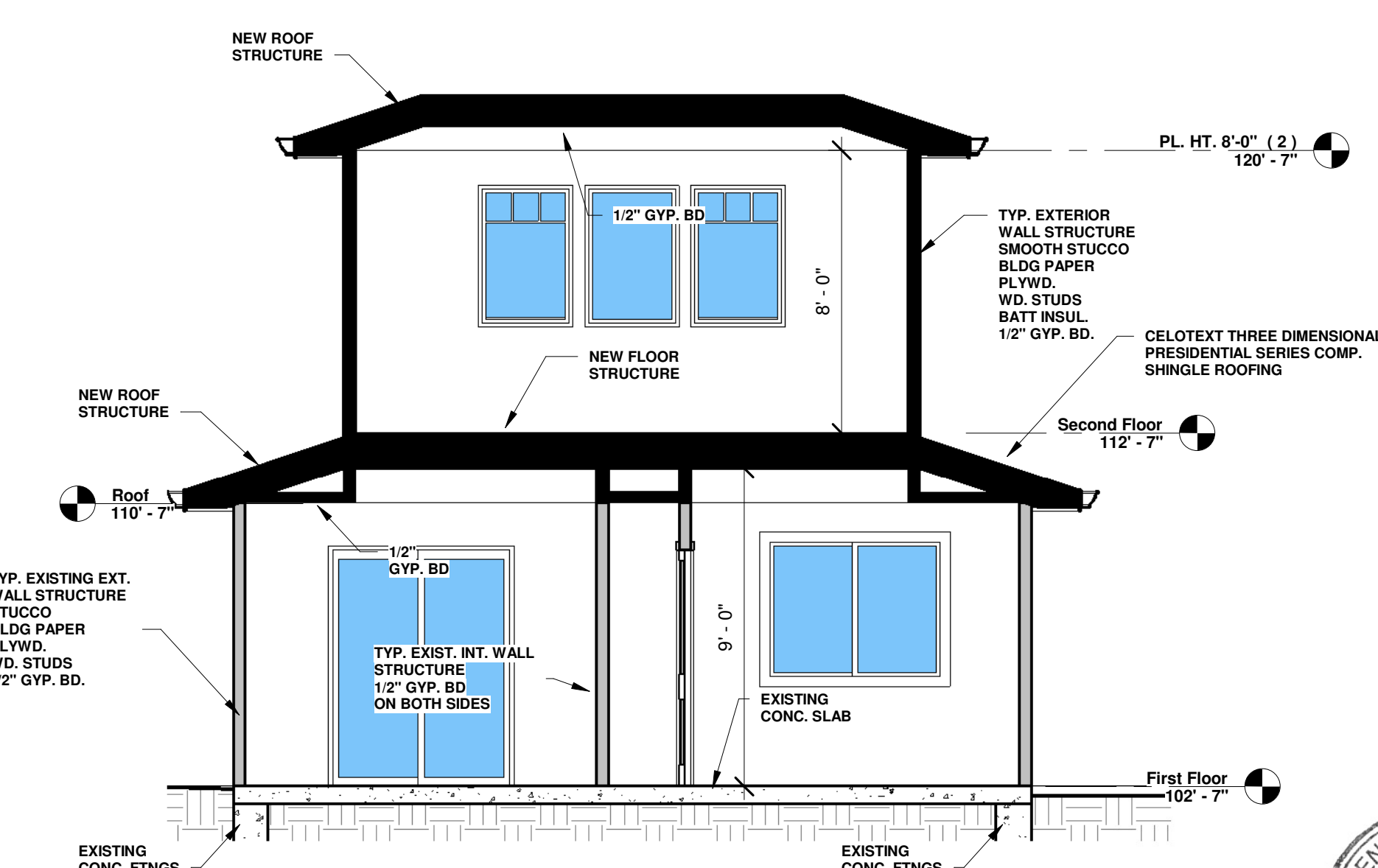
THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

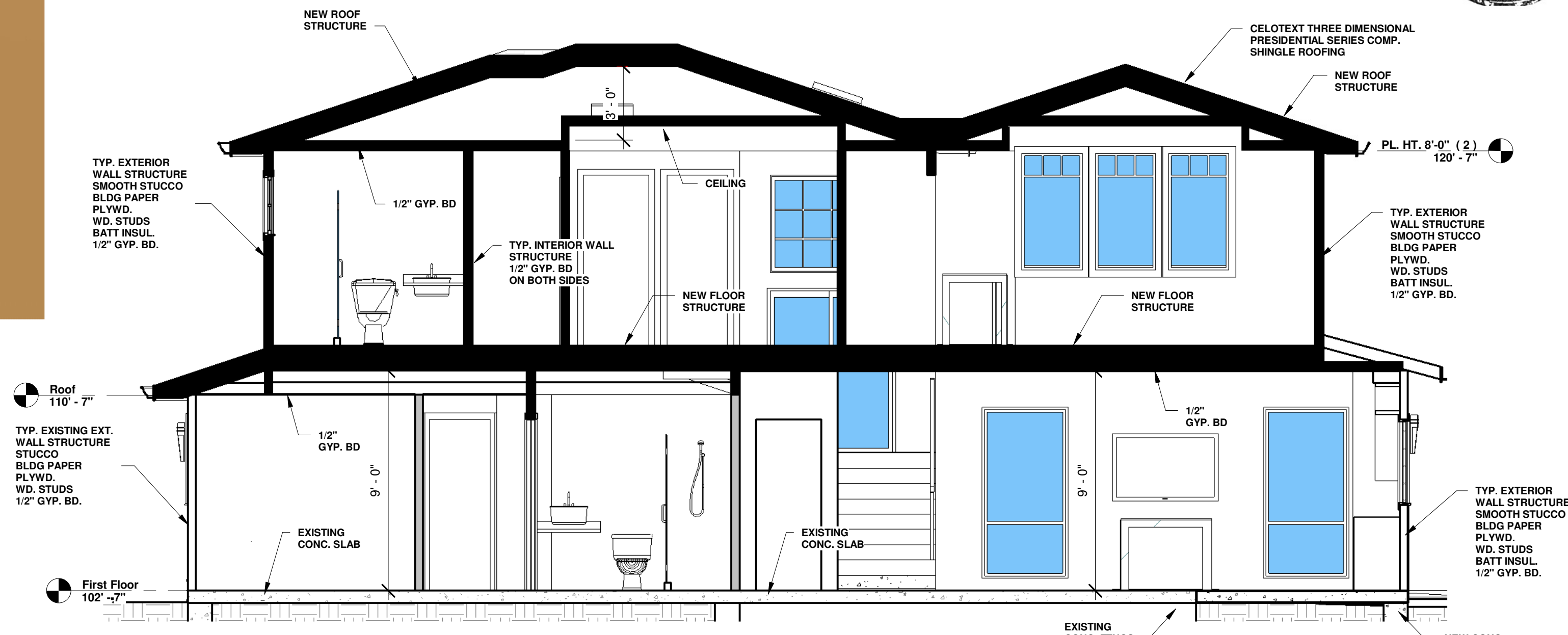
Project no: AY  
 Date: MAY-30-2022  
 Drawn by: Author  
 Checked by: Checker  
**A15**  
 Scale: 1/4" = 1'-0"



**3 LOGITUDINAL SECTION**  
 A15 1/4" = 1'-0"



**2 CROSS SECTION 2**  
 A15 1/4" = 1'-0"



**1 CROSS SECTION**  
 A15 1/4" = 1'-0"







PROPOSED VIEWS



No.	Description	Date

**ARTE ARCHITECTURE**  
 6451 DARPAE CT. NEWARK CA 94560  
 Ph: (408) 504-8104. LEVENTAS@GMAIL.COM

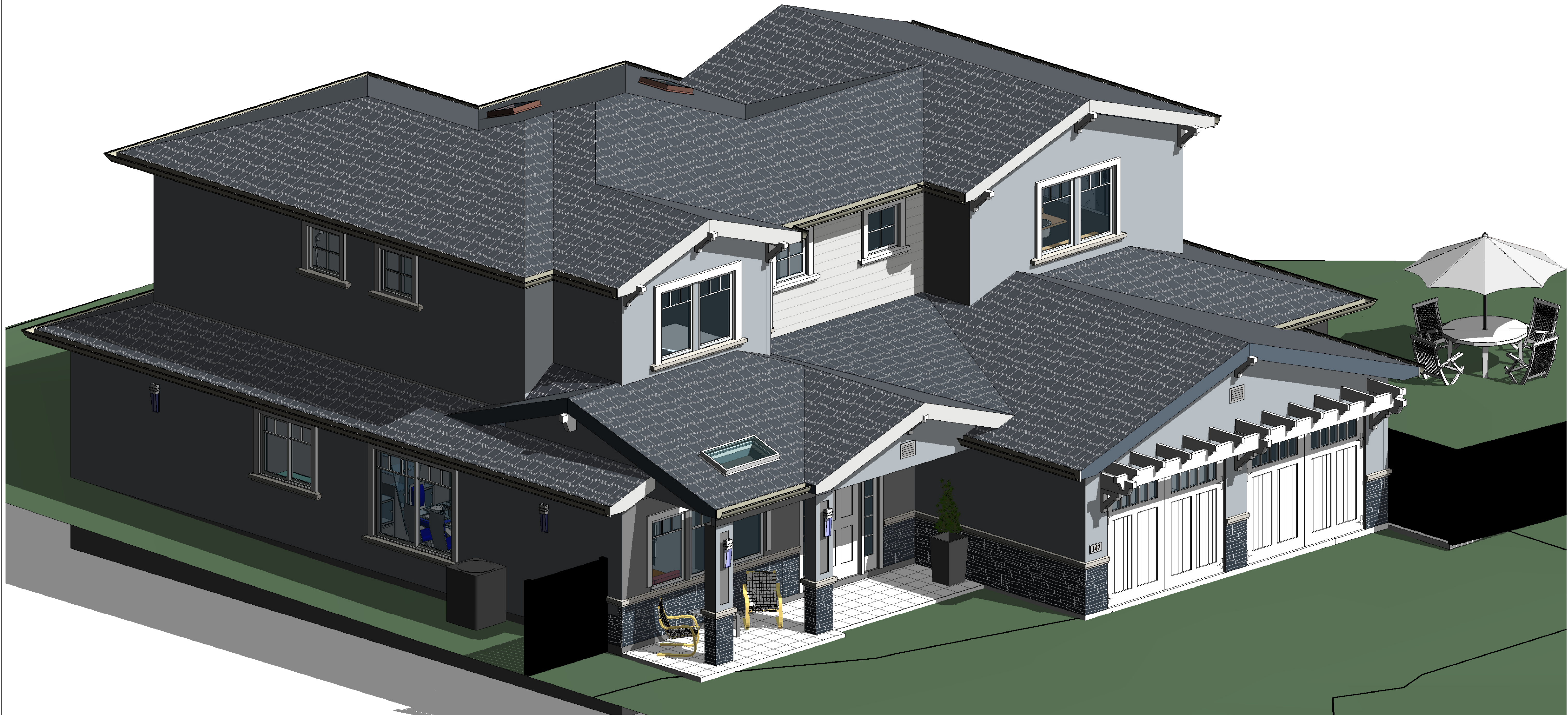
THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**3D EXT VIEWS**

**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE WAY  
 LOS GATOS, CA**

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker
<b>A16</b>	
Scale:	





No.	Description	Date

**ARTE ARCHITECTURE**

6451 DAPINE CT. NEWARK CA 94560  
Ph: (408) 504-8104. LEVENTAS@GMAIL.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED FOR ANY PROJECT EXCEPT AS INDICATED HEREON UNLESS PERMISSION IS GIVEN BY THE DESIGNER. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**ISOMETRIC**

**MUTLU RESIDENCE  
 REMODELING & ADDITION  
 147 ARROYO GRANDE  
 LOS GATOS, CA**

Project no:	AY
Date:	MAY-30-2022
Drawn by:	Author
Checked by:	Checker
<b>A17</b>	
Scale	



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



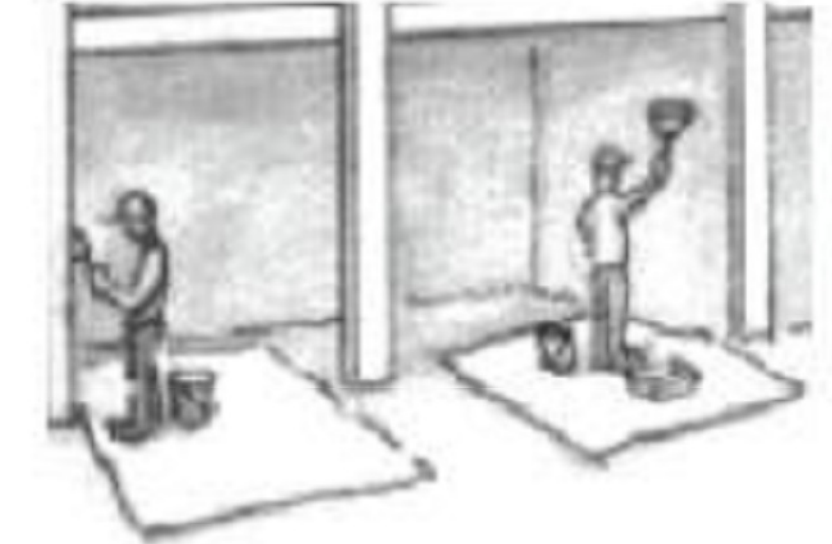
### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley  
Urban Runoff

Pollution Prevention Program

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**FRESH CONCRETE AND MORTAR APPLICATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

**GENERAL BUSINESS PRACTICES**

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

**STORM DRAIN POLLUTION FROM MASONRY AND PAVING**

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

**DURING CONSTRUCTION**

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**POOL/FOUNTAIN/SPA MAINTENANCE**

- Never discharge pool or spa water to a street or storm drain.
- OR
- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.
- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algicides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

**GENERAL BUSINESS PRACTICES**

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

**LANDSCAPING/GARDEN MAINTENANCE**

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

**HEAVY EQUIPMENT OPERATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

- Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cat litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.
- Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate spill response agencies immediately.

**STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE**

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

**BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP**

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

**WHAT CAN YOU DO?**

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**PAINT REMOVAL**

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

### SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

**EARTH MOVING ACTIVITIES**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

**DURING CONSTRUCTION**

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment paving machines dump trucks concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

**ASPHALT/CONCRETE REMOVAL**

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hose down streets to clean up tracked dirt.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Construction industry

**WHAT CAN YOU DO?**

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

**STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES**

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

**Spill Response Agencies**

- Dial 911
- Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710.
- Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).

**Local Pollution Control Agencies**

- Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 927-0710
- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Sunnyvale Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Quality Control Plant (415) 329-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

**ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL**

- Criminal Penalties.** Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.
- Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

Chgd	
By	
Date	
Revision	
No.	
Date: 07/01/03	
Drawn By:	
Designed By:	
PLAN FOR THE IMPROVEMENT OF <b>BLUEPRINT FOR A CLEAN BAY</b> ENCROACHMENT PERMIT NO.	
SCALE:	N.T.S.
SHEET:	<b>CB</b>





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 6/22/2022

ITEM NO: 3

---

DATE: June 17, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Review and Recommendation of the Draft Objective Standards to the Town Council.

**RECOMMENDATION:**

Review and recommendation of the Draft Objective Standards to the Town Council.

**BACKGROUND:**

The Town of Los Gatos has developed Draft Objective Standards for the review of multi-family and mixed-use development applications. This effort is in response to State legislation (Senate Bill (SB) 167, SB 35, and SB 330) requiring jurisdictions to adopt objective standards and to implement them in a streamlined review of qualifying housing projects. Objective standards are defined under State law as, “standards that involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal” (California Government Code, Section 65913.4).

The purpose of adopting objective standards is to:

- Comply with recent State housing legislation;
- Implement streamlined and ministerial review processes for qualifying housing projects;
- Ensure that these qualifying projects align with the Town’s expectations and vision to maintain and support the character of the Town;
- Provide a set of clear criteria to guide development; and
- Establish an objective framework by which a qualifying project will be evaluated.

**PREPARED BY:** SEAN MULLIN, AICP and RYAN SAFTY  
Senior Planner Associate Planner

---

Reviewed by: Planning Manager and Community Development Director

---

BACKGROUND (continued):

On November 5, 2019, the Town Council adopted Resolution 2019-053 (Exhibit 1) to authorize application for, and receipt of, SB 2 Planning Grant Program funds, including execution of an agreement with the California Department of Housing and Community Development (HCD) by the Town Manager. Planning staff submitted an application with a proposal to develop objective standards and by-right findings for the review of qualifying housing development applications, and to identify amendments to the Town Code necessary to add the objective standards and findings to Chapter 29 of the Town Code (Zoning Regulations). The Town received approval of the application and entered into an agreement with HCD to receive reimbursable grant funding for the proposed scope of work.

On November 20, 2020, staff released a request for qualifications (RFQ) to provide services for preparation of objective standards and by-right findings for the review of qualifying housing development applications as provided in the Town of Los Gatos SB 2 Planning Grant Program application. Staff received proposals from four firms. After reviewing the submittals and conducting interviews, staff concluded that M-Group planning consultants provided the best fit, capacity, and professional expertise for the proposed scope of work. On March 16, 2021, the Town Council authorized the Town Manager to execute an agreement with M-Group for the proposed scope of work.

To date, the project initiation phase has been completed, including review of State legislation and existing Town guidelines and standards, and collation of feedback received during five meetings with the Planning Commission subcommittee between July and December 2021. On February 22, 2022, staff conducted the first of two community engagement meetings to gather feedback from residents and stakeholders. On May 12, 2022, a preliminary draft of the objective standards was presented and discussed at a second community engagement meeting. A summary of the feedback received at the community engagement meetings is included as Exhibit 2. Based on the feedback from the Planning Commission subcommittee and the community, staff and M-Group developed Draft Objective Standards for consideration by the Planning Commission (Exhibit 3).

DISCUSSION:

The Draft Objective Standards document is organized into two sections: Site Standards (Section A) and Building Design (Section B). The Site Standards section includes objective standards for site layout and building placement; vehicular access and parking; and outdoor spaces and amenities. The Building Design section includes objective standards for building form and massing; façade articulation; materials; and roof design. Many of the objective standards have corresponding figures to help visualize the standards.



DISCUSSION (continued):

In addition to the objective standards listed in this document, qualifying multi-family and mixed-use projects would also be required to comply with all existing development requirements in the Town Code, including but not limited to building code requirements, existing Town standards, adopted specific plans, and development standards such as height and setbacks. If there is any conflict between these standards and those in another adopted document, the more restrictive standard shall apply.

PUBLIC COMMENTS:

Throughout the process and prior to the June 22, 2022, Planning Commission meeting, staff contacted several professional organizations, design professionals, developers, and residents to inform them about the meeting and encourage participation and written comment on the Draft Objective Standards. In addition to the direct contact summarized above, staff requested public input through the following media and social media resources:

- A poster posted at the Planning counter at Town Hall and at the Library;
- On the Town's website home page, What's New;
- On the Town's webpage dedicated to objective standards; and
- On the Town's social media accounts.

Public comments received by 11:00 a.m., Friday, June 17, 2022, are included as Exhibit 4.

CONCLUSION:

A. Summary

The Town of Los Gatos has developed Draft Objective Standards for the review of multi-family and mixed-use development applications as required by State legislation. The Draft Objective Standards were developed following research by staff and the Town's consultant, five meetings with the Planning Commission subcommittee, and two community engagement meetings.

B. Recommendation

The Draft Objective Standards have been forwarded to the Planning Commission for review. Staff recommends that the Planning Commission:

- Receive and consider public comments;
- Complete the review of the Draft Objective Standards;
- Provide input on any recommended modifications to the Draft Objective Standards; and

CONCLUSION (continued):

- Forward a recommendation to the Town Council to approve the Draft Objective Standards.

C. Alternatives

Alternatively, the Commission can:

1. Forward a recommendation of approval to the Town Council with additional and/or modified objective standards; or
2. Continue the matter to a date certain with specific direction to staff.

NEXT STEPS:

Following review and recommendation by the Planning Commission, the Town Council will consider the Draft Objective Standards, the Planning Commission recommendation, and any additional public comments. Once the Town Council adopts objective standards, staff will return to the Planning Commission for consideration of a Town Code amendment to incorporate by-right findings for qualifying housing projects meeting the adopted objective standards into the Town Code. Additionally, staff will develop streamlined review procedures for applications proposing qualifying housing projects.

EXHIBITS:

1. Town Council Resolution 2019-053
2. Summary of feedback received during community engagement meetings
3. Draft Objective Standards
4. Public Comments received prior to 11:00 a.m., Friday, June 17, 2022



**RESOLUTION 2019-053**

**RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS  
AUTHORIZING APPLICATION FOR, AND RECEIPT OF,  
SB 2 PLANNING GRANTS PROGRAM FUNDS**

**WHEREAS**, the State of California, Department of Housing and Community Development (Department) has issued a Notice of Funding Availability (NOFA) dated March 28, 2019, for its Planning Grants Program (PGP); and

**WHEREAS**, the Town Council of the Town of Los Gatos desires to submit a project application for the PGP program to accelerate the production of housing and will submit a 2019 PGP grant application as described in the Planning Grants Program NOFA and SB 2 Planning Grants Program Guidelines released by the Department for the PGP Program; and

**WHEREAS**, the Department is authorized to provide up to \$123 million under the SB 2 Planning Grants Program from the Building Homes and Jobs Trust Fund for assistance to Counties (as described in Health and Safety Code section 50470 et seq. (Chapter 364, Statutes of 2017 (SB 2)) related to the PGP Program.

**NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF LOS GATOS RESOLVES AS FOLLOWS:**

**SECTION 1.** The Town Council hereby authorizes and directs the Town Manager to apply for and submit to the Department the 2019 Planning Grants Program application in the amount of \$160,000.

**SECTION 2.** In connection with the PGP grant, if the application is approved by the Department, the Town Manager is authorized to enter into, execute, and deliver a State of California Agreement (Standard Agreement) for the amount of \$ 160,000, and any and all other documents required or deemed necessary or appropriate to evidence and secure the PGP grant, the Town of Los Gatos's obligations related thereto, and all amendments thereto (collectively, the "PGP Grant Documents").

**SECTION 3.** The Town of Los Gatos shall be subject to the terms and conditions as specified in the Standard Agreement, the SB 2 Planning Grants Program Guidelines, and any applicable PGP guidelines published by the Department. Funds are to be used for allowable

expenditures as specifically identified in the Standard Agreement. The application in full is incorporated as part of the Standard Agreement. Any and all activities funded, information provided, and timelines represented in the application will be enforceable through the executed Standard Agreement. The Town Council hereby agrees to use the funds for eligible uses in the manner presented in the application as approved by the Department and in accordance with the Planning Grants NOFA, the Planning Grants Program Guidelines, and 2019 Planning Grants Program Application.

**SECTION 4.** The Town Manager is authorized to execute the Town of Los Gatos Planning Grants Program application, the PGP Grant Documents, and any amendments thereto, on behalf of the Town of Los Gatos, as required by the Department for receipt of the PGP Grant.

**PASSED AND ADOPTED** at a regular meeting of the Town Council of the Town of Los Gatos, California, held on the 5<sup>th</sup> day of November 2019 by the following vote:

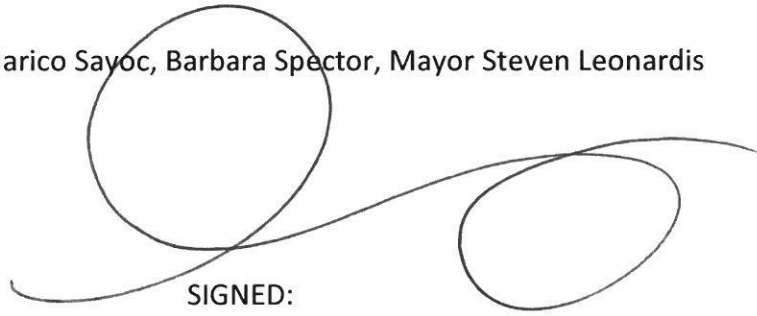
COUNCIL MEMBERS:

AYES: Marcia Jensen, Rob Rennie, Marico Sayoc, Barbara Spector, Mayor Steven Leonardis

NAYS: None

ABSENT: None

ABSTAIN: None

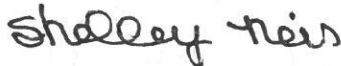


SIGNED:

MAYOR OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA

DATE: 11/8/19

ATTEST:



TOWN CLERK OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA

DATE: 11/8/2019



## February 22, 2022, Community Meeting Feedback

Below is a listing of the comments and questions received. Response(s) from the consultant and/or staff are provided below each comment in *italics*.

1. Questioned the “score card” measurement approach to allow developers to surpass some of the specific objective standard requirements yet still “pass”.

*The “score card” approach is just one option to implement objective standards and would only be used if the Town feels it is appropriate. The “score card” wouldn’t be drafted to allow developers to surpass important standards. It would be used in a way that gives the developer flexibility by offering several different approaches to achieve one of the Town’s underlining goals. Developers still need to meet the Town’s required threshold, but they would be given a variety of tools, each with different weighted values, to meet that threshold.*

2. Questioned how long the development of the Objective Standards document will take and asked when will the document be ready.

*We anticipate getting a drafted document to the community in spring of this year, collecting additional feedback from the community, and taking the document to the Planning Commission for review in early Summer. The Planning Commission would make a recommendation to the Town Council, and hopefully be completed by late summer or early fall of 2022.*

3. When this is adopted, will the Town have to go through and adopt revisions to existing Town documents? What happens after the Objective Standards document is adopted? Are there additional steps?

*This will be a standalone policy document. The Town’s strategy is to adopt objective standards and then develop a program for implementation.*

4. How would these standards work with the different range of housing projects, such as market rate and affordable housing? There should be a consistent look for all types of housing projects.

*These standards would apply to all multi-family and mixed-use projects: affordable and market rate. The Town would not have specific below-market rate design requirements; everything would be consistent.*

5. Questioned why objective standards aren't being developed for all housing types, as opposed to just multi-family and mixed-use projects. Many of the Town's design documents are just guidelines. How would the objective standards effect single-family development? This is an opportunity to apply objective standards to all projects so they can be processed faster.

*This current effort is to create a ministerial process for multi-family and mixed-use in compliance with State law and utilizing grant funds specifically for multi-family and mixed-use objective standards.*

6. Concern was also expressed regarding the exception process since current Town Code and policy documents have exception processes. Can we leave exception and exemptions in the guideline documents and require Planning Commission review for any exception or exemption?

*If the application requires any sort of exception or variance, they would not be eligible for the streamlined ministerial review and would be subject to a discretionary review process.*

7. Sometimes when standards are established, all development starts to look alike. Is there a possibility of having alternative standards? For example, height – to avoid flat roofs, is there the ability to have maximum roof height for flat roof and different maximum height for gabled roofs to promote a variation in roof massing?

*Yes, there are ways, but we need to be careful to make sure the zoning ordinance height requirements are still complied with. The Draft Objective Standards document includes a number of items that offer a list of different standards related to a single goal and requiring the developer to incorporate a minimum number of the standards, but not all.*

8. Why would the standards need to be consistent with the Zoning code? Couldn't we amend the Zoning code?

*Yes, the Zoning Code could be amended; however, this is intended to be a standalone policy document that works in concert with the Town Code.*



## May 12, 2022, Community Meeting Feedback

Below is a listing of the comments and questions received. Response(s) from the consultant and/or staff are provided below each comment in *italics*.

1. Questioned the quantity of housing required by the State.

*Today's presentation is about the development of objective standards for multi-family and mixed-use projects, not the Regional Housing Needs Allocation (RHNA) numbers, which is being reviewed by the Housing Element Advisory Board (HEAB) as a part of the Housing Element Update process.*

2. Questioned if these objective standards are new and different than the Town's current objective standards for these types of housing.

*These Draft Objective Standards are new. The Town Code has existing objective standards. Town staff and the consultant compiled a list of all existing Town standards, whether objective or subjective, for review. The Planning Commission subcommittee discussed each standard to determine which subjective standards should be modified to be objective and included in this document. The existing objective standards from Town Code and other policy documents are still applicable. The Town is reviewing which existing subjective standards should become objective for the review of qualifying multi-family and mixed-use projects. The goal is to not duplicate existing objective standards as they are still applicable.*

***This Page  
Intentionally  
Left Blank***



**TOWN OF LOS GATOS**  
**DRAFT OBJECTIVE STANDARDS**  
**June 22, 2022**

**PURPOSE**

The purpose of the Objective Design Standards is to ensure that new qualifying multi-family and mixed-use projects in Los Gatos provide high-quality architecture, integrate with surrounding development, and include well-designed amenities and open spaces to enhance community character. These standards are intended to guide property owners, applicants, developers, and design professionals by providing clear design direction that enhances the Town's unique character and ensures a high-quality living environment.

**ORGANIZATION AND APPLICABILITY**

The following Objective Design Standards are organized into two primary sections: Site Standards; and Building Design. The Site Standards section includes objective standards for site layout and building placement, vehicular access and parking, and outdoor spaces and amenities. The Building Design section includes objective standards for building form and massing, façade articulation, materials, and roof design.

Qualifying multi-family and mixed-use projects must also comply with all existing development requirements in the Town Code, including but not limited to building code requirements, existing Town standards, adopted specific plans, and development standards such as height and setbacks. If there is any conflict between these standards and those in another adopted document, the more restrictive standard shall apply.

EXHIBIT 3

## A. SITE STANDARDS

### A.1. Pedestrian Access

- 1.1 All on-site buildings, entries, facilities, amenities, and parking areas shall be internally connected with pedestrian pathways and may include use of the public sidewalk. Pedestrian pathways shall connect to the public sidewalk along each street.
- 1.2 Pedestrian walkways within internal parking areas shall be separated from vehicular circulation by a physical barrier, such as a grade separation or a raised planting strip of at least six inches.

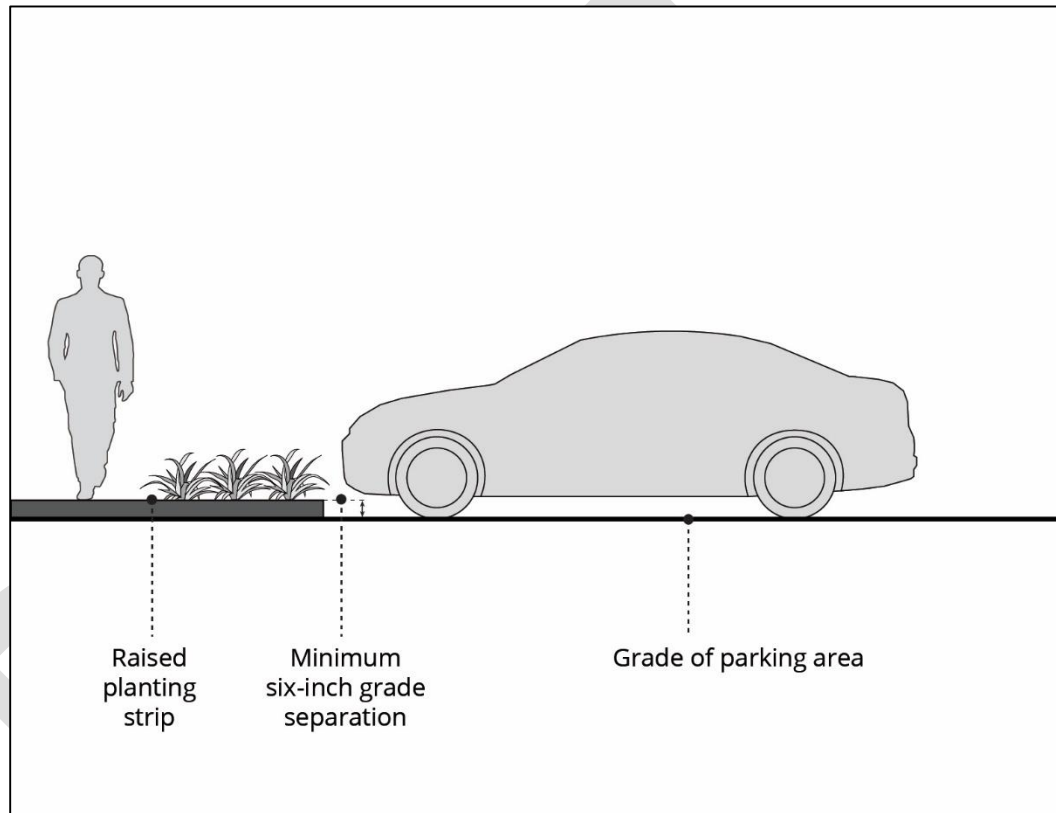


Figure A.1.2



## A.2. Vehicular Access

- 2.1 Off-street parking shall have internal vehicular circulation that precludes the use of a street for aisle-to-aisle circulation.

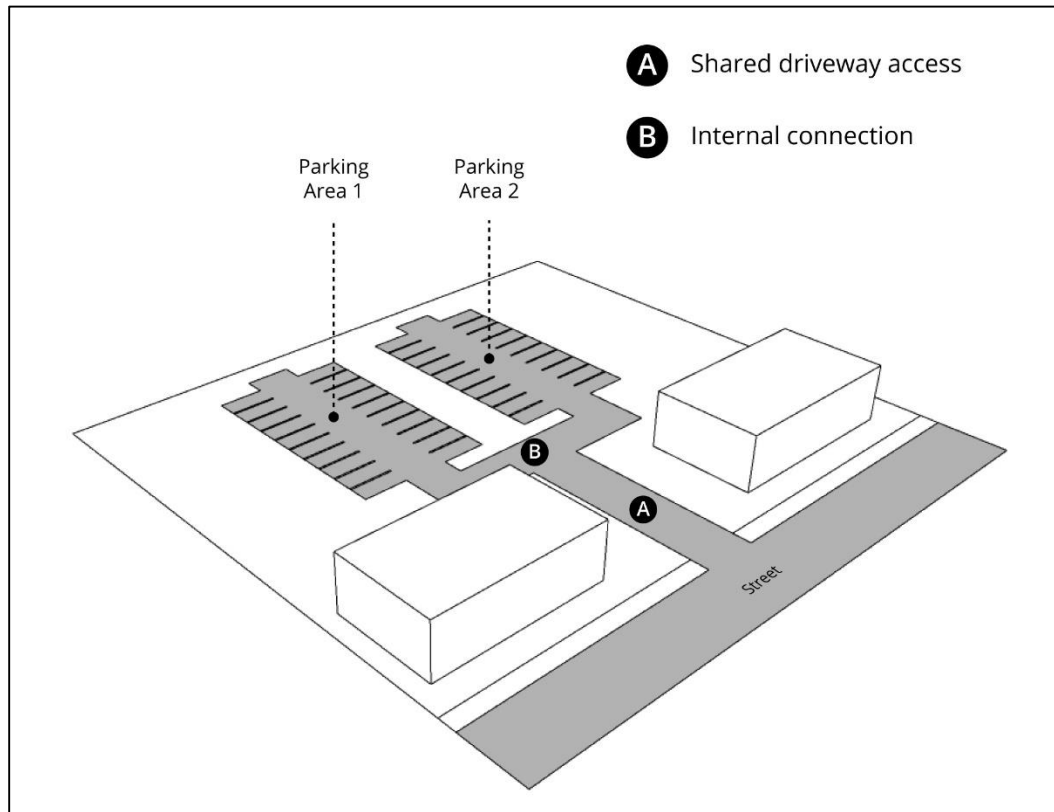
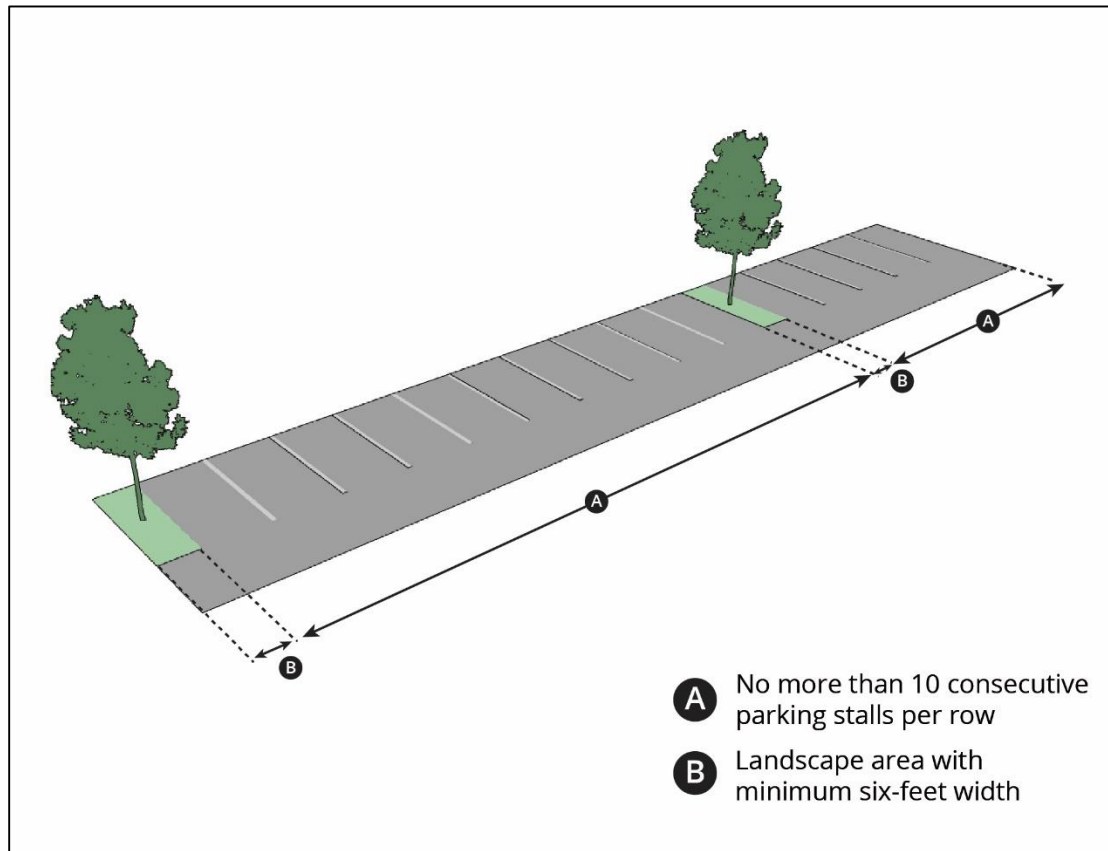


Figure A.2.1

## A.3. Parking Location and Design

- 3.1 Driveways and surface parking lots shall not be located between the building frontage and the street.
- 3.2 Multiple parking areas located on a common property shall be internally connected and shall use shared driveways to access the street.

- 3.3 Uncovered parking rows with at least 15 consecutive parking spaces shall include a landscape area of six feet minimum width at intervals of no more than 10 consecutive parking stalls. One tree shall be provided in each landscape area.



**Figure A.3.3**

- 3.4 Carports shall not be located between a building and a street.

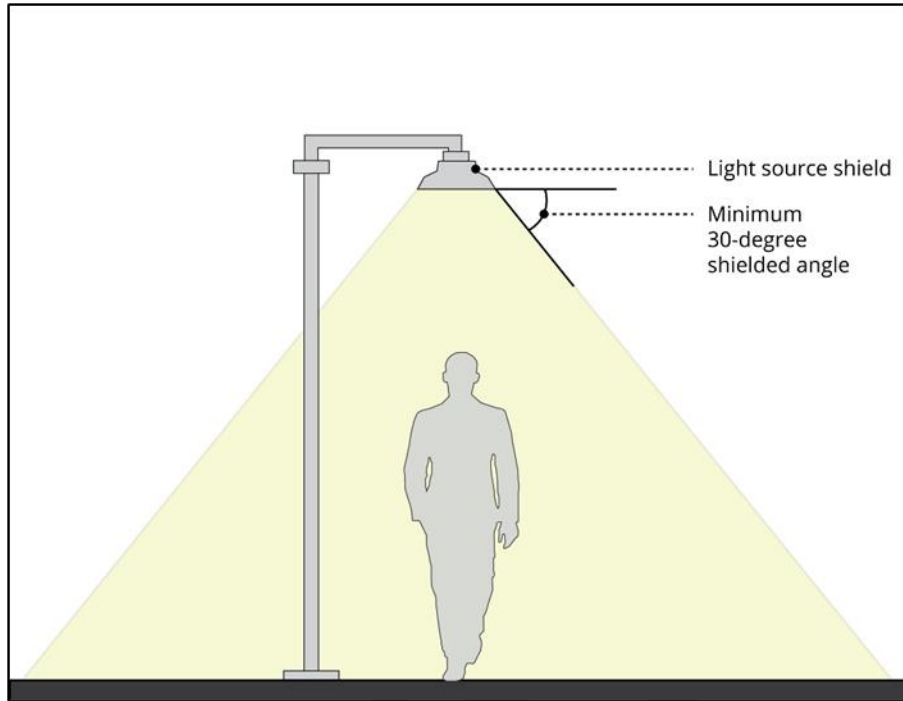
**A.4. Parking Structure Access**

- 4.1 Any automobile entry gate to a parking structure shall be located to allow a minimum of 25 feet between the gate and the back of the sidewalk to minimize conflicts between sidewalks and vehicle queuing.
- 4.2 A parking structure shall not occupy more than 50 percent of the building width of any street-facing façade and shall be recessed a minimum five feet from street-facing façades of the building.

**A.5. Utilities**

- 5.1 Pedestrian-oriented lighting shall be provided along all pedestrian paths. Exterior lighting fixtures shall be a minimum of three feet and a maximum of 15 feet in height.

- 5.2 Exterior lighting shall be fully shielded and restrain light to a minimum 30 degrees below the horizontal plane of the light source. Uplighting is prohibited.



**Figure A.5.2**

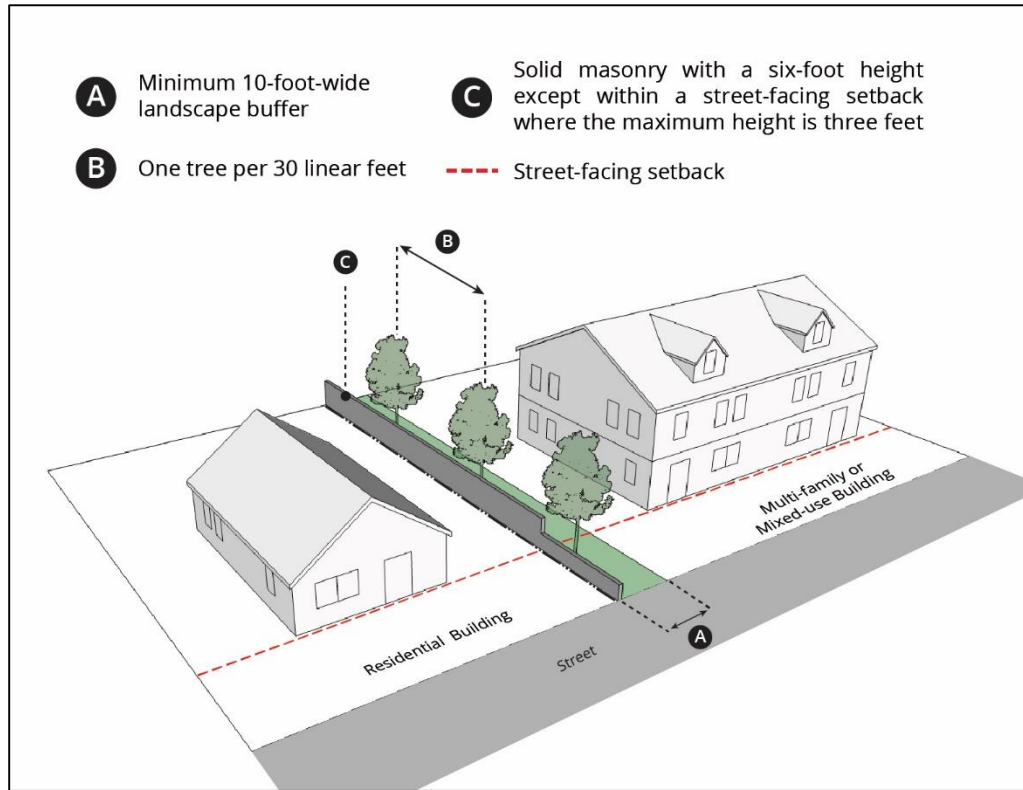
- 5.3 Rooftop and ground-mounted utility cabinets, mechanical equipment, trash, and service areas shall be screened from view from the street with landscape planting, fencing, or a wall. The screening shall be at least the same height as the item being screened and shall be constructed with one or more of the materials used on the primary building. Solar equipment is exempt from this requirement.

**A.6. Landscaping and Screening**

- 6.1 At least 50 percent of the front setback area shall be landscaped.
- 6.2 A minimum 10-foot-wide landscape buffer shall be provided between multi-family or mixed-use development and abutting residential properties. The buffer shall include the following:



- a. A solid masonry wall with a six-foot height, except within a street-facing setback, where the maximum permitted height is three feet;



**Figure A.6.2a**

- b. Trees planted at a rate of at least one tree per 30 linear feet along the shared property line. Tree species shall be selected from the Town of Los Gatos Master Street Tree List and shall be a minimum 15-gallon size; and

6.3 Surface parking lots shall be screened from view of the street with landscaping or a wall with a minimum three-foot height to screen the parking lot.

**A.7. Fencing**

7.1 Fences, walls, hedges, and gates within required setbacks along all street frontages shall have a maximum height of three feet.

7.2 Chain link fencing is prohibited.

7.3 Vehicular entry gates and pedestrian entry gates shall have a maximum height of six feet.

7.4 Solid vehicular and pedestrian entry gates are prohibited. Entry gates shall be a minimum 50 percent open view.

## **A.8. Retaining Walls**

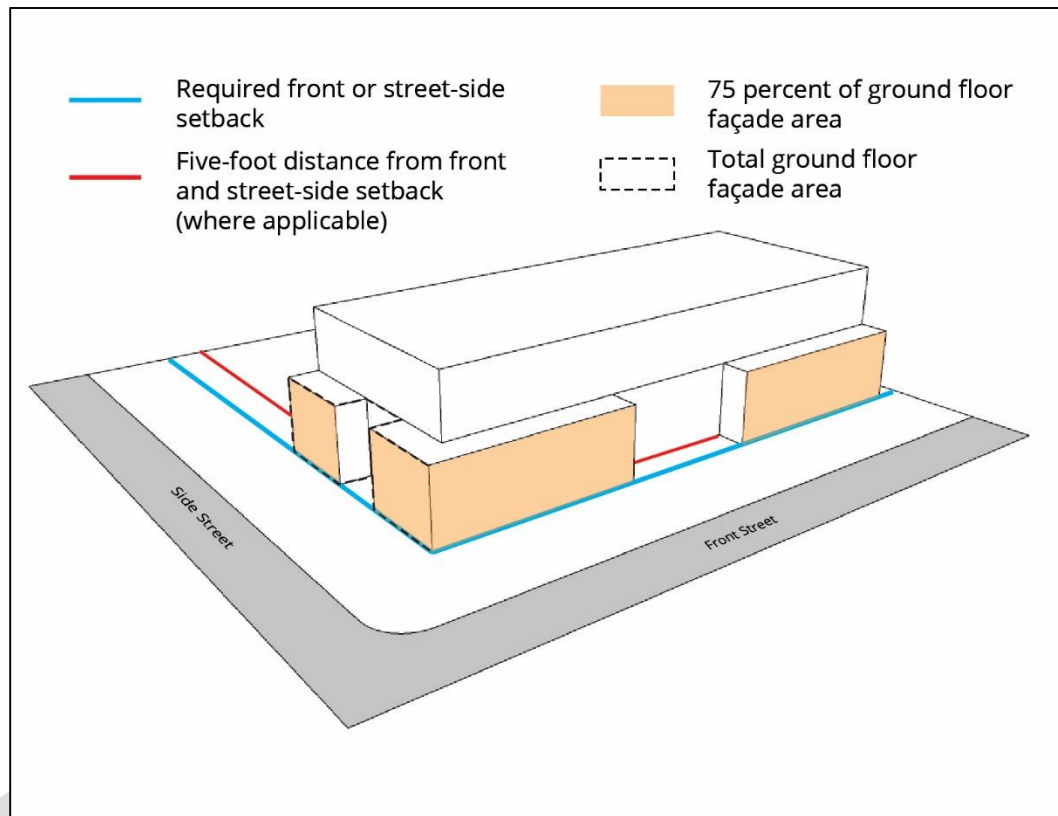
- 8.1 Retaining walls shall not exceed five feet in height. Where an additional retained portion is necessary, multiple-terraced walls shall be used. Terraced walls shall set back at least three feet from the lower segment.
- 8.2 Retaining walls shall not run in a straight continuous direction for more than 50 feet without including the following:
  - a. A break, offset, or landscape pocket in the wall plane of at least three feet in length and two feet in depth; and
  - b. Landscaping at a minimum height of three feet at the time of installation along a minimum of 60 percent of the total length of the retaining wall.

## **A.9. Open Space**

- 9.1 A minimum of 20 percent of the site area shall consist of landscaped open space. Landscaped open space may be in the form of trees, hedgerows, flowerbeds, or ground cover vegetation, such as grass.
- 9.2 Common open space shall be provided in mixed-use developments in the form of public gathering spaces, such as plazas, outdoor dining areas, squares, or pocket parks. The space required is a minimum of 100 square feet per residential unit plus a minimum of two percent of the commercial square footage.
- 9.3 Common open space shall be provided in multi-family residential development projects in the form of gathering spaces, such as play areas, pool areas, patios, rooftop decks, or other community areas for the use of residents. The minimum space required is 100 square feet per residential unit.
- 9.4 Common open spaces shall provide shading for a minimum 15 percent of each open space area by either trees or structures, such as awnings, canopies, umbrellas, or a trellis. Tree shading shall be calculated by using the diameter of the tree crown at 15 years maturity. Shading from other built structures shall be calculated by using the surface area of the overhead feature.

## A.10. Building Placement

- 10.1 To create a continuous streetscape appearance, development in a Community Place District shall place at least 75 percent of the ground floor of a building within five feet of the front and street-side setback (where applicable) requirement of the Town Code.



**Figure A.10.1**

- 10.2 A mixed-use residential project with a ground-floor commercial use shall provide site amenities on a minimum of 15 percent and maximum of 30 percent of the ground plane between the building and the front or street-side property line. The site amenities shall be comprised of any of the following elements:
- Landscape materials or raised planters;
  - Walls designed to accommodate pedestrian seating, no higher than 36 inches;
  - Site furnishings, including fountains, sculptures, and other public art; or
  - Tables and chairs associated with the ground floor use.



## B. BUILDING DESIGNS

### B.1. Massing and Scale

- 1.1 Multiple-story building façades that face a street shall incorporate breaks in the building mass by implementing a minimum of three of the following solutions along the façades facing the street:
- A minimum of 40 percent of the upper floor façade length shall step back from the plane of the ground-floor façade by at least six feet;

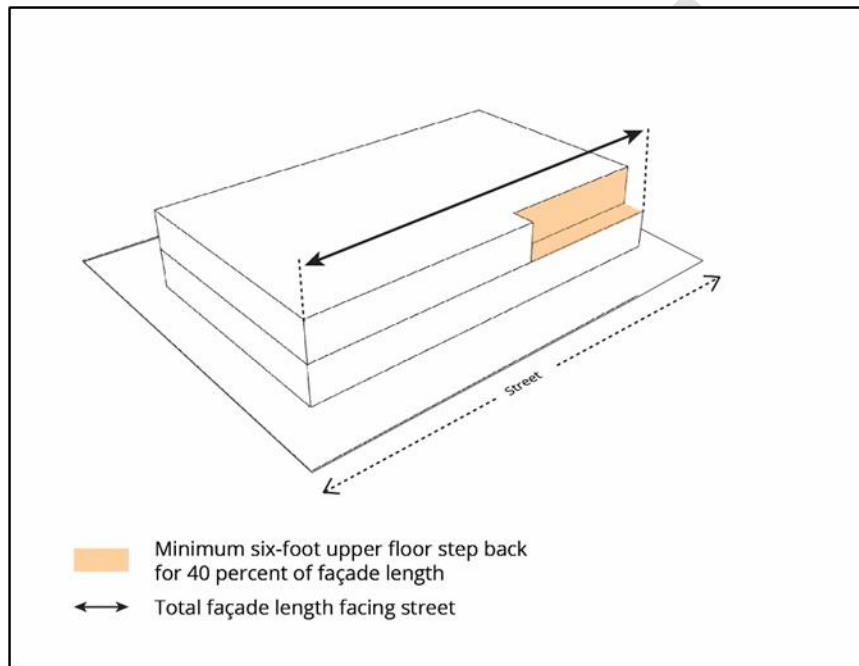
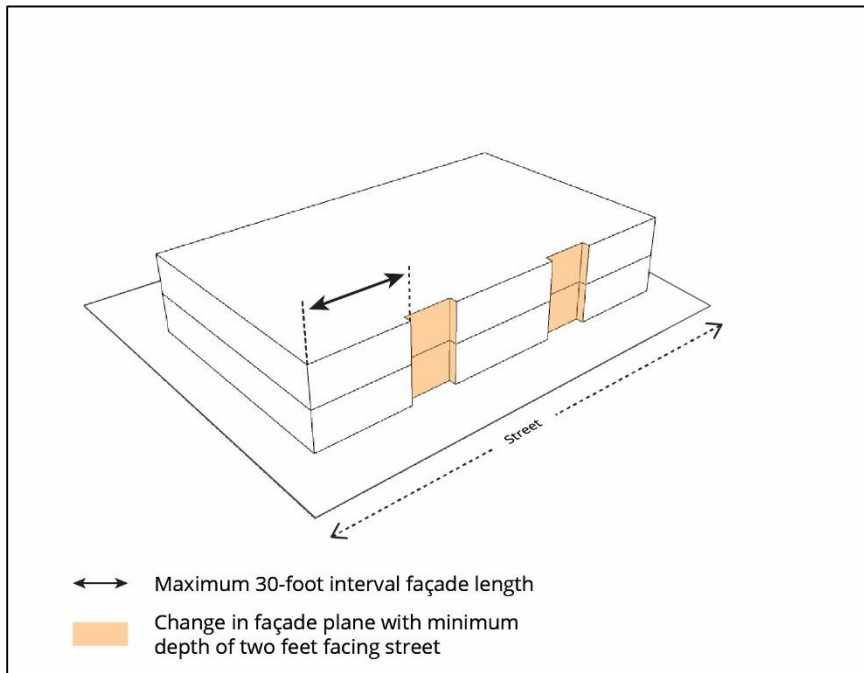


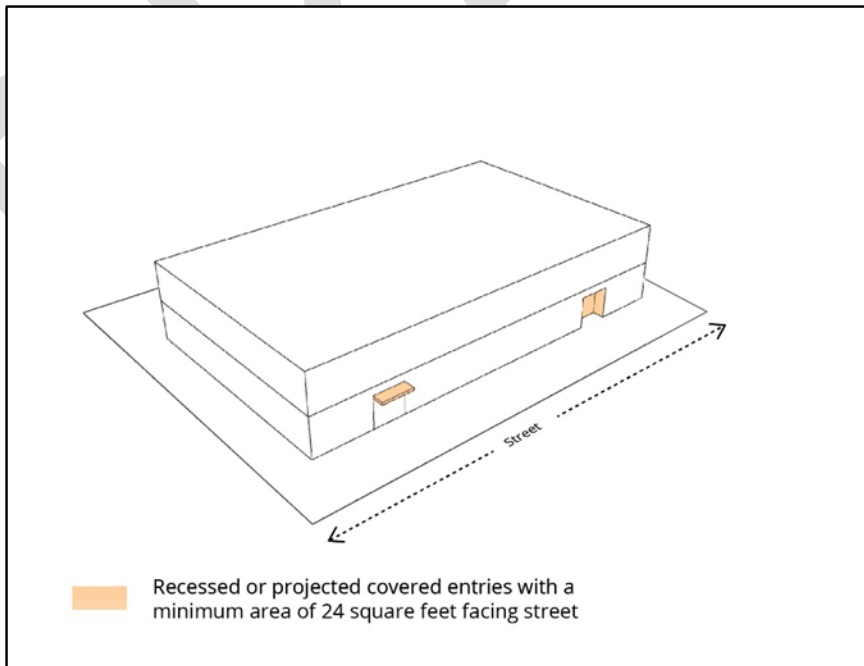
Figure B.1.1a

- b. Changes in the façade plane with a minimum change in depth of two feet for a minimum length along the façade of two feet at intervals of no more than 30 feet;



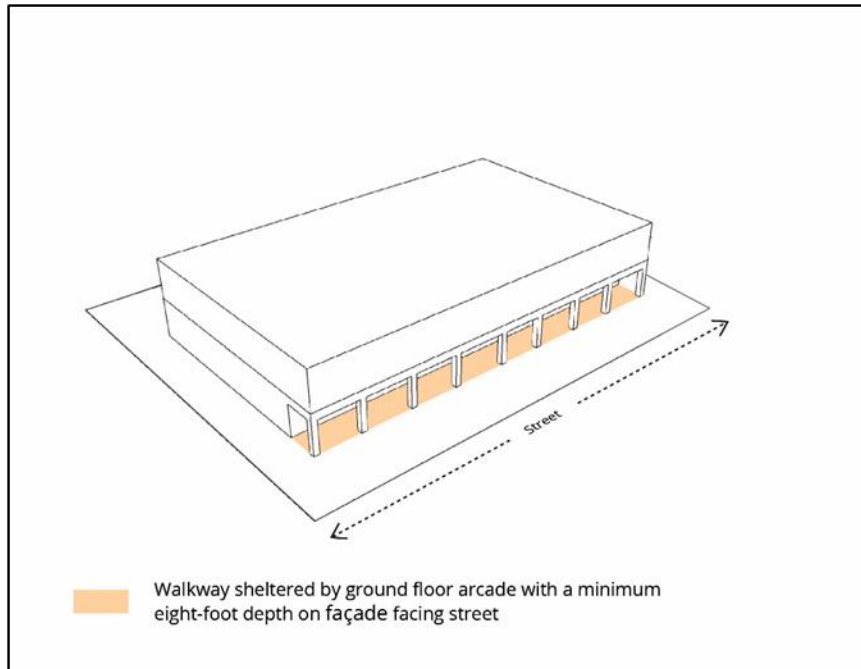
**Figure B.1.1b**

- c. Recessed or projected covered entries with a minimum area of 24 square feet;



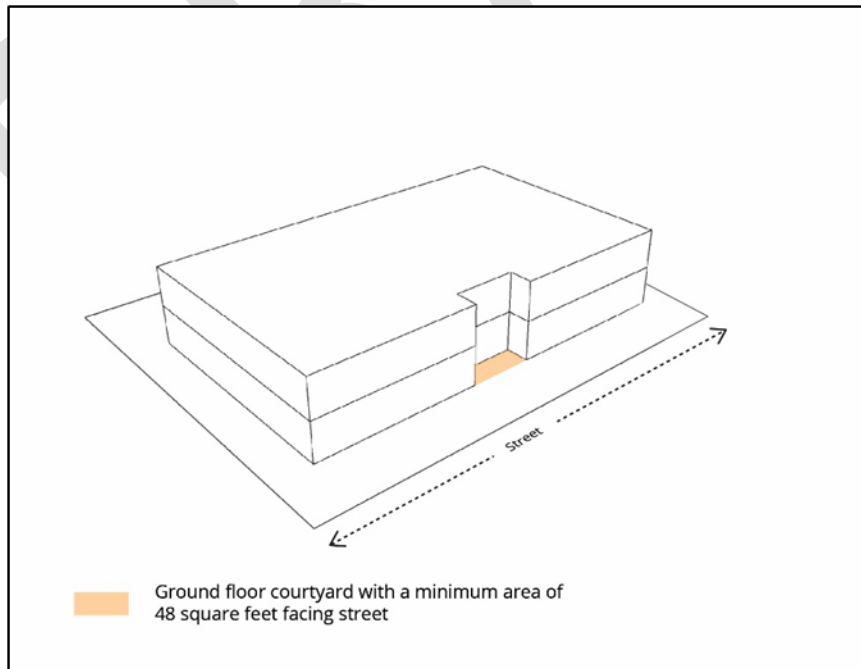
**Figure B.1.1c**

- d. An exterior arcade that provides a sheltered walkway within the building footprint with a minimum depth of eight feet, extending the full length of the façade;



**Figure B.1.1d**

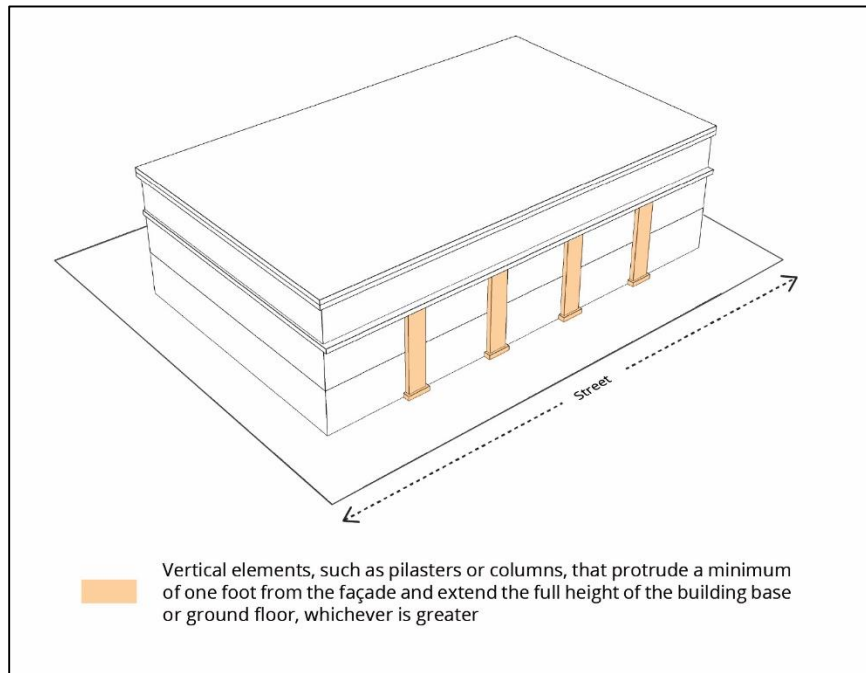
- e. Ground floor courtyards within the building footprint with a minimum area of 48 square feet;



**Figure B.1.1e**



- f. Vertical elements, such as pilasters or columns, that protrude a minimum of one foot from the façade and extend the full height of the building base or ground floor, whichever is greater.



**Figure B.1.1f**

- 1.2 Upper floors above two stories shall be set back by a minimum of five feet from the ground-floor façade.
- 1.3 Townhomes or rowhouses shall have no more than six contiguous units in any single building.

**B.2. Parking Structure Design**

- 2.1 The ground-floor façade of a parking structure facing a street or pedestrian walkway shall be fenestrated on a minimum of 40 percent of the façade.
- 2.2 Façade openings on upper levels of a parking structure shall be screened up to 30 percent of the opening to prevent full transparency into the structure.
- 2.3 Parking structures facing a street and greater than 40 feet in length shall include landscaping between the building façade and the street, or articulation of at least 25 percent of the façade length. The façade articulation shall be implemented by one of the following solutions:
  - a. An offset of the façade plane with a depth of at least 18 inches for a minimum of eight feet in horizontal length; or
  - b. A different building material covering the entire articulation change of 25 percent of the façade length.

### B.3. Roof Design

- 3.1 At intervals of no more than 40 feet along the building façade, horizontal eaves shall be broken using at least one of the following strategies:
- Gables;
  - Building projection with a depth of a minimum of two feet;
  - Change in façade or roof height of a minimum of four feet;
  - Change in roof pitch or form; or
  - Inclusion of dormers, parapets, and/or varying cornices.

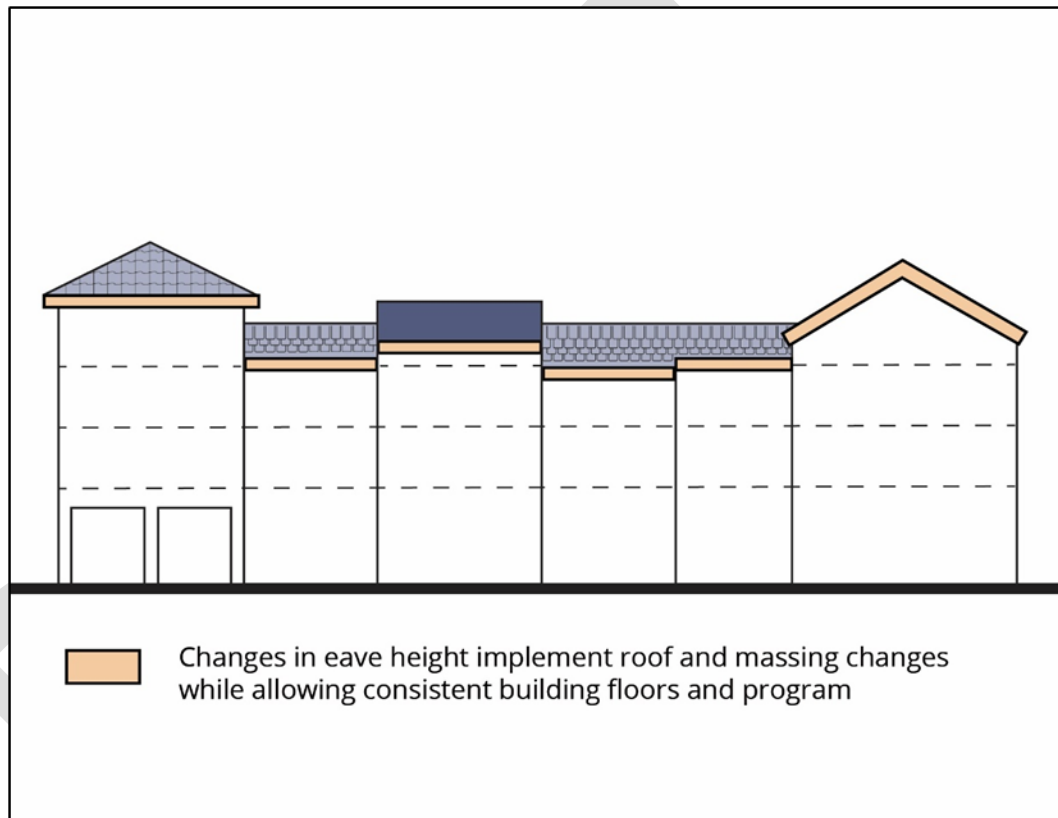


Figure B.3.1

- 3.2 Skylights shall have a flat profile rather than domed.

- 3.3 The total width of a single dormer or multiple dormers shall not exceed 50 percent of the length of the roof.



**Figure B.3.3**

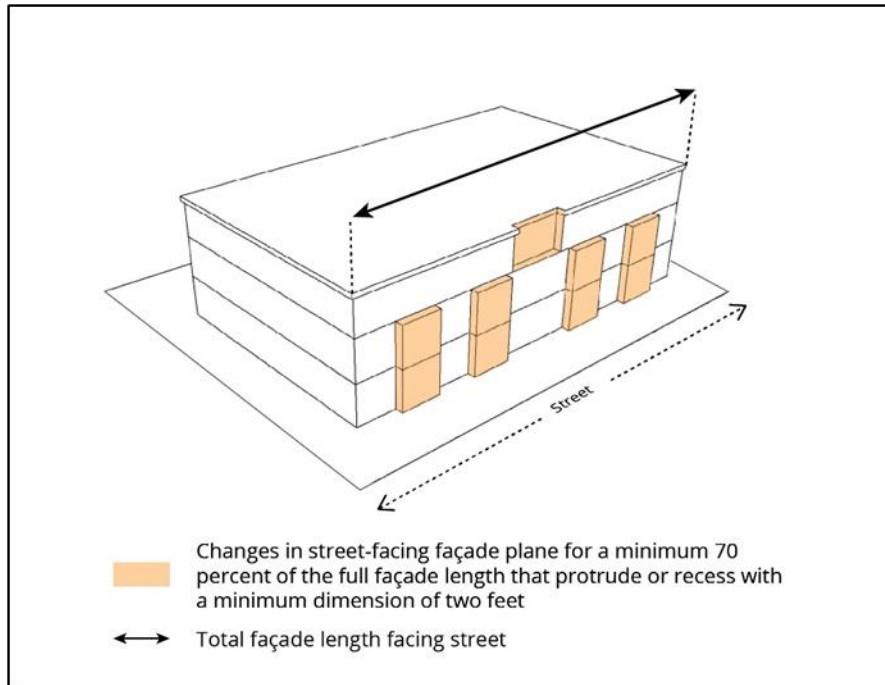
- 3.4 Eave depths shall not exceed 24 inches from the façade plane.  
3.5 Carport roof materials shall be the same as the primary building.

**B.4. Façade Design and Articulation**

- 4.1 Buildings greater than two stories shall be designed to differentiate the base, middle, and top of the building on any street-facing façade. Each of these elements shall be distinguished from one another using at least two of the following solutions:

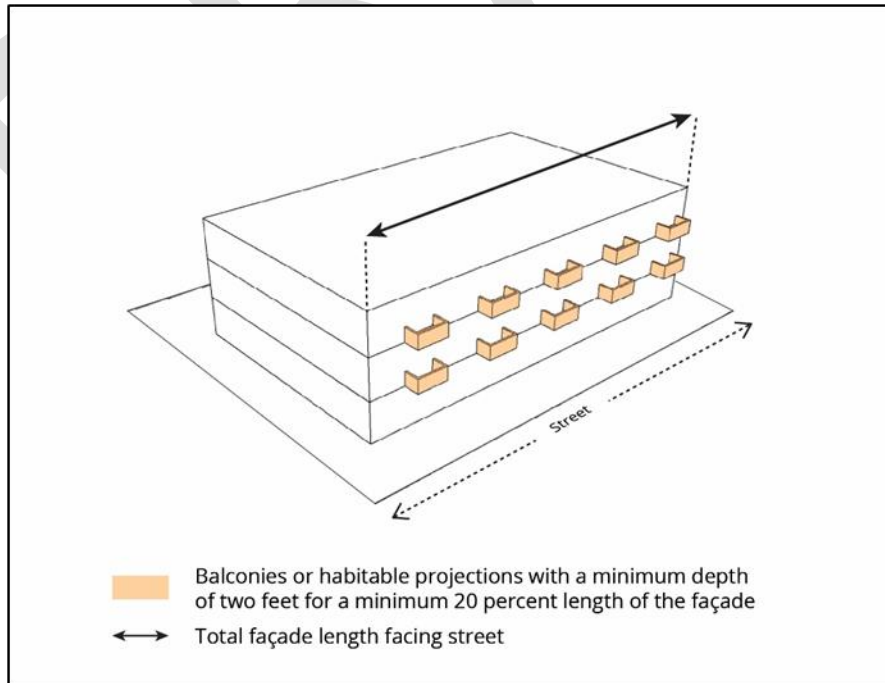


- a. Variation in building mass for a minimum of 70 percent of the length of the street-facing façade through changes in the façade plane that protrude or recess with a minimum dimension of two feet;



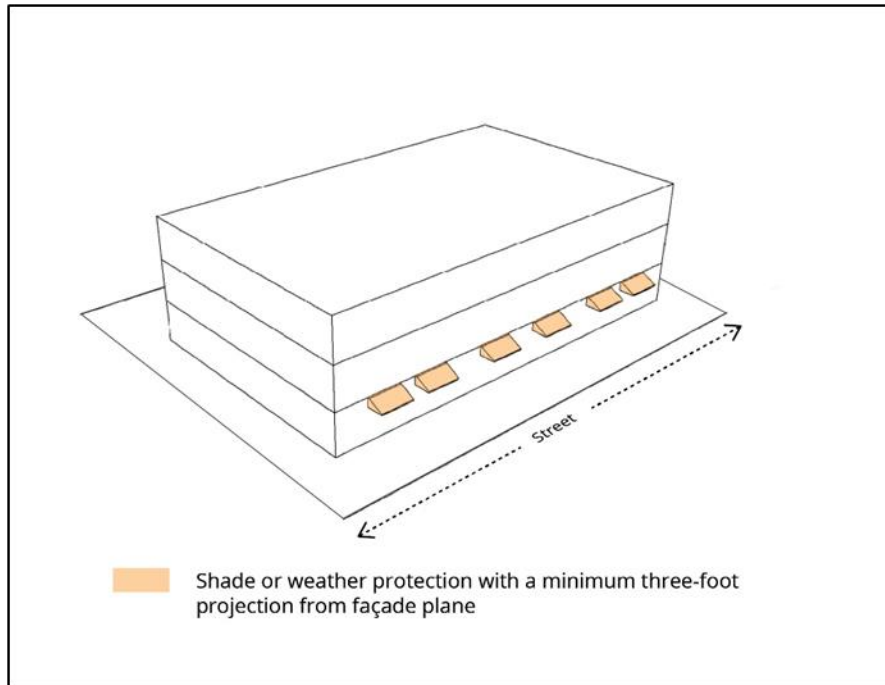
**Figure B.4.1a**

- b. Balconies or habitable projections with a minimum depth of two feet for a minimum of 20 percent length of the street-facing façade;



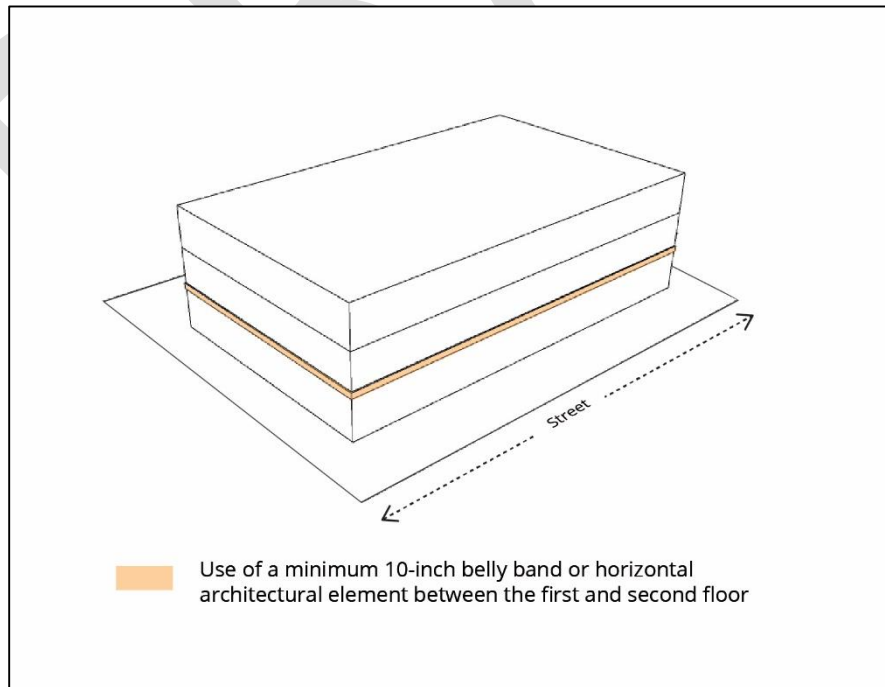
**Figure B.4.1b**

- c. Variation in façade articulation, using shade and weather protection components, projecting a minimum of three feet for a minimum of 20 percent length from the street-facing façade;



**Figure B.4.1c**

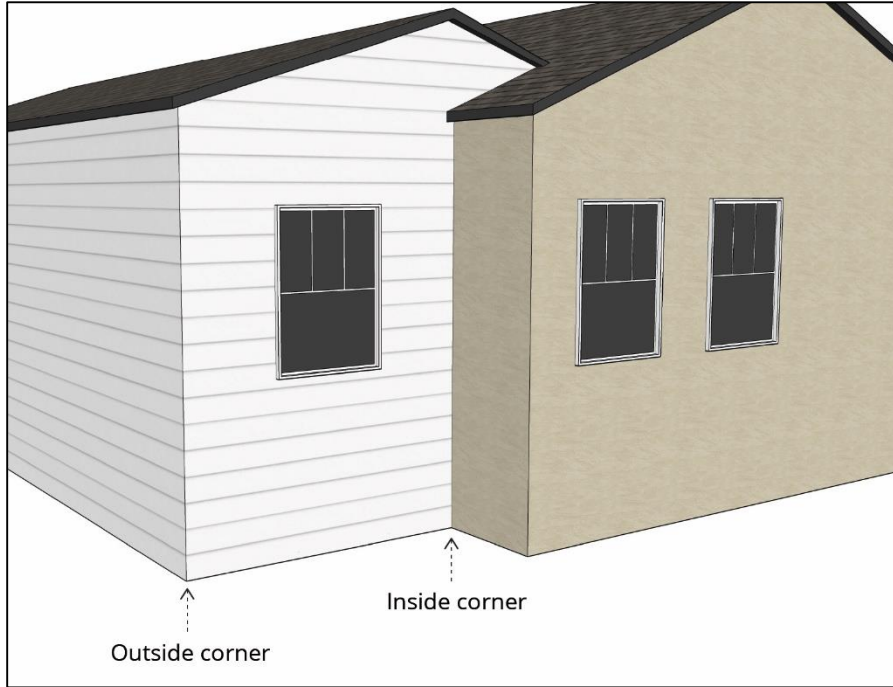
- d. Use of a belly band or horizontal architectural element with a minimum height of 10 inches between the first and second floor; or



**Figure B.4.1d**

- e. The use of at least two different façade materials, each covering a minimum of 20 percent of the street-facing façade.
- 4.2 Buildings shall incorporate the same materials on all façades.
- 4.3 Variation in the street-facing façade planes shall be provided for buildings greater than one story by incorporating any combination of the following architectural solutions to achieve a minimum of 12 points:
- Architectural features, such as:
    - Arcade or gallery along the ground floor; *8 points*
    - Awnings or canopies; *6 points*
    - Building cornice; *5 points*
    - Belly band, or horizontal architectural element, between the first and second floor; or *5 points*
    - Façade sconce lighting. *3 points*
  - Bay windows; *6 points*
  - Façade plane of upper floors steps back a minimum of five feet from the ground floor façade; *6 points*
  - Material and color changes; *5 points*
  - Balconies or Juliet balconies; *5 points*
  - Landscaped trellises or lattices; *5 points*
  - Chimneys; *3 points*
  - Wide overhangs with projecting brackets; *3 points*
  - Window boxes or plant shelves; or *3 points*
  - Decorative elements such as molding, ornamentation, or corbels. *3 points*
- 4.4 Mixed-use buildings shall provide the following architectural elements along the ground floor:
- a. A minimum of 60 percent of the street-facing façade between two and 10 feet above the adjacent grade shall consist of transparent windows; and
  - b. A form of weather protection above storefront entries that extends from the façade a minimum of three feet.
- 4.5 Garage doors shall be recessed a minimum of 12 inches from the façade plane and along the street-facing façade shall not exceed 40 percent of the length of the building façade.

- 4.6 Changes in building materials shall occur at inside corners or at architectural features that break up the façade plane such as columns.

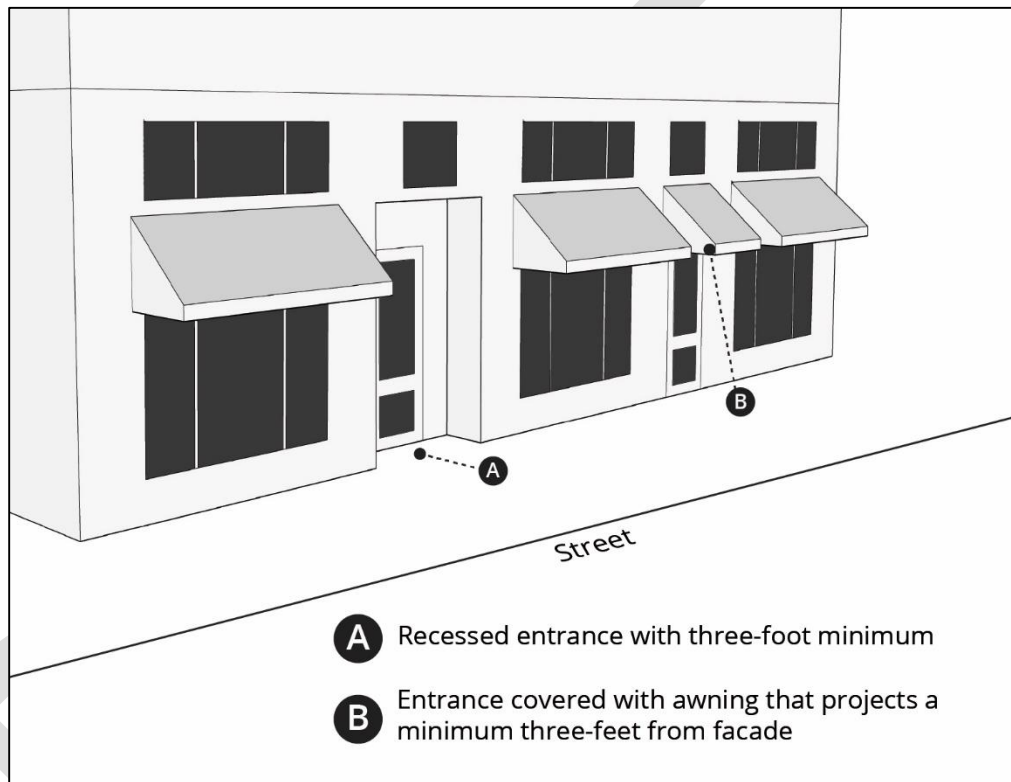


**Figure B.4.6**

DRAFT

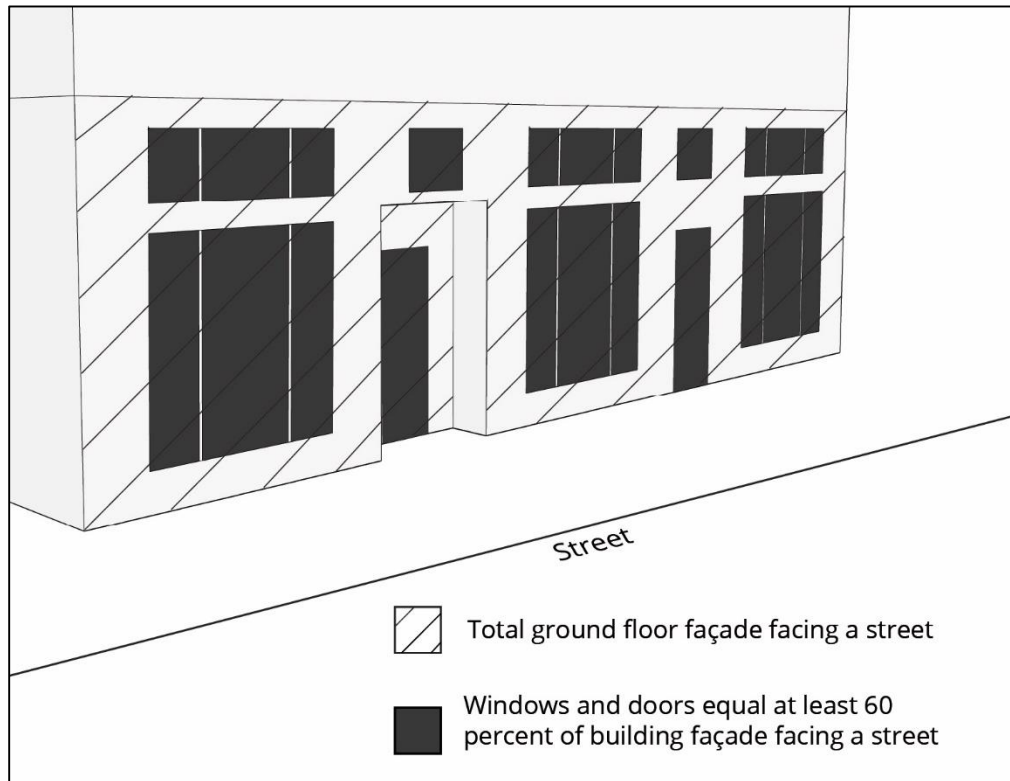


- 4.7 Mixed-use development shall meet the following requirements:
- a. Pedestrian entries to ground-floor and upper-floor commercial uses shall meet at least one of the following standards:
    - i. The entrance shall be recessed in the façade plane at least three feet in depth; or
    - ii. The entrance shall be covered by an awning, portico, or other architectural element projecting from the façade a minimum of three feet.



**Figure B.4.7a**

- b. For ground-floor commercial uses, façades facing a street shall include windows, doors, or openings for at least 60 percent of the building façade that is between two and 10 feet above the level of the sidewalk.



**Figure B.4.7b**

- 4.8 Mirrored windows are prohibited.
- 4.9 A primary building entrance shall be provided facing a street or common open space. All building entrances shall be recessed from the façade plane or covered by a building projection of at least three feet in depth measured from the wall plane.
- 4.10 Awnings shall be subject to the following requirements:
  - a. A minimum vertical clearance of eight feet measured from the pedestrian pathway;
  - b. Shall not extend beyond individual storefront bays; and
  - c. Shall not be patterned or striped.
- 4.11 For buildings abutting a single-family zoning district, rooftop and upper floor terraces and decks are prohibited.

- 4.12 For buildings abutting a single-family zoning district, balconies shall only be permitted on the street-facing building façade. Such balconies shall be without any projections beyond the building footprint.
- 4.13 Mixed-use buildings shall provide at least one of the following features along street-facing façades where the façade exceeds 50 feet in length:
- a. A minimum five-foot offset from the façade plane for a length of at least 10 feet;
  - b. Multiple pilasters or columns, each with a minimum width of two feet; or
  - c. Common open space, such as a plaza, outdoor dining area, or other spaces.
- 4.14 Continuous blank façades on any floor level shall not exceed 25 percent of the entire façade length along any street.

DRAFT



***This Page  
Intentionally  
Left Blank***

From: William Walker <[REDACTED]>  
Sent: Tuesday, June 14, 2022 12:17 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Objective Standards Draft Comments

EXTERNAL SENDER

Thank you for providing the draft for review by the citizens of Los Gatos.  
Here are my comments.

1) Parking

California is shutting down fossil fuel and nuclear power plants leading to inadequate capacity when the sun goes down and people need to charge their electric cars at home. In the future, car charging will need to happen during the day. To facilitate Daytime charging, parking lots should be roofed with solar arrays, with chargers in the parking lot under the arrays. We already see this happening, for example in the AMD parking lots on Union Avenue.

The draft doesn't mention solar panels over parking lots, it should. In fact, it should be a strong recommendation, instead of tree planting. Tall trees will shade solar panels.

2) Excessive regulation of Architectural styles

As I read the regulations pertaining to Architecture, I can't help but feel they will hamstring Architects, leading to bland architecture. Figure B.4.6 is an example of excessive regulation (IMHO, the suggested change of building materials is ugly as shown in the figure.) One has to ask, would the proposed regulations prevent another North 40, which has been almost universally panned as resembling a stack of shipping containers, or worse? Perhaps a better approach to architecture is to assemble a panel of architects to review and critique design proposals before they are built.

William Walker

Sent from my iPad



***This Page  
Intentionally  
Left Blank***



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 6/22/2022

ITEM NO: 3

ADDENDUM

---

DATE: June 21, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Review and Recommendation of the Draft Objective Standards to the Town Council.

**DISCUSSION:**

The following information is provided in response to Planning Commissioner questions regarding examples of subcommittee recommendations that were not included in the Draft Objective Standards. Staff has prepared Exhibit 5 addressing the specific examples provided.

The Planning Commission objective standards subcommittee held five meetings between July and December 2021. The subcommittee reviewed more than 500 existing subjective guidelines collated from Town documents to provide recommendations to staff on which subjective guidelines should be rewritten as objective standards. The subjective guidelines identified and included in the subcommittee's recommendations are summarized in Exhibit 6 with references to the preliminary objective standards created in response to the subcommittee's recommendations. Some items identified by the subcommittee were not included in the Draft Objective Standards. The reasons for exclusions varied but included: duplication of existing Town Code requirements; creation of unreasonable barriers to development; difficulties in enforcement; and not being appropriate when applied to multi-family and mixed-use projects. In collaboration with the Town's consultant, these recommendations were used to help create the Draft Objective Standards included as Exhibit 3 to the June 22, 2022, Planning Commission Staff Report.

Please note that many subjective guidelines identified by the subcommittee look different when converted into a draft standard. In writing the Draft Objective Standards, it was often necessary to identify the concept that a subjective guideline was attempting to address in order to create a standard that addresses the same concept. For example, one of the issues identified by the subcommittee was to "provide a foot candle limit for parking lot lights." While it is possible to write a standard limiting the foot candle power of a parking lot light fixture, the standard may not completely address the overarching concept, which is to limit light spillage

PREPARED BY: SEAN MULLIN, AICP and RYAN SAFTY  
Senior Planner Associate Planner

---

Reviewed by: Planning Manager and Community Development Director

---



PAGE 2 OF 2

SUBJECT: Draft Objective Standards

DATE: June 21, 2022

DISCUSSION (continued):

from exterior light fixtures onto neighboring properties. With this in mind, the draft objective standard developed from this subjective guideline is: Exterior lighting shall be fully shielded and restrain light to a minimum 30 degrees below the horizontal plane of the light source. Uplighting is prohibited. (A.5.2).

A Planning Commissioner also emailed links to the City of Palo Alto objective standards, which is included as Exhibit 7.

Staff looks forward to the discussion and will be available to answer any questions.

EXHIBITS:

Previously received with the June 22, 2022, Staff Report:

1. Town Council Resolution 2019-053
2. Summary of feedback received during community engagement meetings
3. Draft Objective Standards
4. Public Comments received prior to 11:00 a.m., Friday, June 17, 2022

Received with this Addendum Report:

5. Staff response to Commissioner's questions
6. Issues considered by the Objective Standards Subcommittee
7. Commissioner email regarding City of Palo Alto Objective Standards

Below are several examples of subjective guidelines that do not appear in the Draft Objective Standards followed by a response from staff in *italics*:

**November 3, 2021 Meeting:**

**ACCESS**

**a. Pedestrian Access**

7. Encourage the use of decorative bollards at all pedestrian crossings at street intersections to improve vehicle and pedestrian safety in the Downtown District.

16. Provide special textured and/or colored paving at pedestrian crossings of project entries.

***Response:*** *These types of improvements are typically in the right-of-way and subject to Town Engineering standards.*

**November 17, 2021 Meeting:**

**LANDSCAPING AND SCREENING**

**a. Street Trees and Streetscape Landscaping**

**Streetscape Landscaping**

11. Landscaping adjacent to street rights-of-way, driveway entrances, or trails should be avoided when it might restrict sight distance or interfere with already established native plants.

***Response:*** *This is included in A.7.1 and Town Code Section 29.40.0315(a)(3)*



**November 17, 2021 Meeting (continued):**

**LANDSCAPING AND SCREENING**

**c. Fencing and Retaining Walls**

**Fencing**

4. The use of fences and walls shall be minimized and located so that natural landforms appear to flow together and are not disconnected. The primary emphasis shall be on maintaining open views, protecting wildlife corridors, and maintaining the rural, open, and natural character of the hillsides.

***Response:*** *This is very specific to the hillside area, and it is doubtful these properties would be allow for mixed-use or multi-family development. Additionally, these fencing types may not suit the needs of mixed-use or multi-family development when located in the commercial areas.*

**November 23, 2021 Meeting:**

2. Building Height; 1. Buildings over two stories are discouraged in areas covered by these guidelines unless special circumstances warrant additional building height (Commercial Design Guidelines).

**BUILDING HEIGHT**

**General**

1. Buildings over two stories are discouraged in areas covered by these guidelines unless special circumstances warrant additional building height. [Commercial Design Guidelines](#)

***Response:*** *This is potentially overly restrictive. The Draft Objective Standards include strategies to mitigate the mass of buildings greater than two stories in B.1.1, B.1.2, B.4.1, B.4.3, and B.4.13.*

**ISSUES CONSIDERED BY THE OBJECTIVE STANDARDS SUBCOMMITTEE**

These issues were identified by the Objective Standards Subcommittee. Where applicable, a corresponding Draft Objective Standard is identified.

Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
<b>Pedestrian Access</b>			
S.1.	Pursue pedestrian connections to adjacent development.	None	Impractical due to potential private property issues.
S.2.	Define a minimum sidewalk width.	None	In Town Code and Engineering stadards.
S.3.	Determine if new development can be required to provide pedestrian connections to the Los Gatos Trail unless another agency would prohibit these connections.	None	Impractical due to potential private property issues.
<b>Vehicular Access</b>			
S.4.	Consider requiring driveways to be located to the rear of the lot.	A.3.1	
<b>Parking Location and Design</b>			
S.5.	Limit the number of surface parking spaces along street frontages or in front of a building.	A.3.1	
S.6.	Require pedestrian circulation on parking lots exceeding a certain size.	A.1.1, A.1.2	Created requirement and standards for circulation without tying them to a certain size parking lot.
S.7.	Consider increasing the parking lot landscaping requirement from 5%.	None	Five percent is included in Town Code Section 29.10.155(g)(6). Stricter requirements may not be consistent with State law.
S.8.	Provide pedestrian access from the parking lot to the building entrance.	A.1.1	
S.9.	Require off street maneuvering areas to eliminate aisle-to-aisle circulation via the street	A.2.1, A.3.2	
<b>Parking Structure Design</b>			
S.10.	Provide objective criteria to require an "active" ground floor. Perhaps a minimum fenestration requirement.	A.4.2, A.9, A.10.2, B.1.1.d, B.1.1.e, B.2.1, B.4.4.a, B.4.7.b, B.4.13	
S.11.	Limit blank facades facing a public street. Perhaps no more than 50% maximum or step back the façade a certain distance.	A.4.2, B.1, B.2, B.4	
S.12.	Provide architectural articulation of garages facing streets.	B.2.1, B.2.3, B.4.5	
S.13.	Provide parking structure setbacks.	A.4.2	
S.14.	Provide gate setback distance for parking garages.	A.4.1	
S.15.	Consider providing a minimum setback for parking structures.	A.4.2	
<b>Utilities</b>			
S.16.	Require all pedestrian walkways to have lighting for safety.	A.5.1	
S.17.	Consider providing different standards for interior lights not facing neighboring properties.	None	The Town Code requires all exterior light fixtures to be downward directed and shielded. Not pursued to maintain consistency with A.5.2 and Town Code.
S.18.	Provide a foot candle limit for parking lot lights.	A.5.2	
S.19.	Provide a minimum screening standard (lattice or plants) for utilities. Make a distinction between ground and roof equipment.	A.5.3	
S.20.	Screen trash and service collection from the street.	A.5.3	
<b>Landscaping and Screening</b>			
S.21.	Provide and define pedestrian amenities with objective criteria.	A.9	
S.22.	Street trees should come from the Town's list.	A.6.2.b	
S.23.	There should be a minimum open space requirement similar to the North 40 Specific Plan Requirement. Provide a minimum percentage.	A.6.1, A.9	
S.24.	The inner edge of front setbacks (i.e., away from the street edge) should be treated as a positive edge with one or more of the following: <ul style="list-style-type: none"> <li>§ Low wall</li> <li>§ Hedge</li> <li>§ Trellis structure</li> <li>§ Buildings</li> </ul>	A.10	
S.25.	Provide a standard for front setback edge treatments at least three feet in height to screen the front of automobile grilles in the parking lot from street view.	A.6.3	
S.26.	Require shrubs used to promote privacy to be fifteen gallon in size and six feet minimum height at planting.	A.6.2.b	
S.27.	Provide greater landscape buffering adjacent to residential parcels.	A.6.2.b	
S.28.	Provide landscaping between commercial structures and neighboring residents to screen, break up, and soften views of the structures.	A.6.2.b	
S.29.	Require roof screens to be constructed from the same materials as the building walls.	A.5.3	
S.30.	Visually screen all trash and outdoor storage areas from view.	A.5.3	



Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
S.31.	Make utility screening objective and note that the utilities shall not be able to be viewed from the right-of-way.	A.5.3	
S.32.	Provide standards on the type/size of landscape screening for surface parking lots.	A.6.3	
S.33.	Prohibit fences over three feet tall along public street frontages for mixed-use and multifamily development.	A.7.1	
S.34.	Prohibit solid fencing along streets.	A.7.1, A.7.4	Conflicts with need to screen parking lots.
S.35.	Prohibit chain link fences.	A.7.2	
S.36.	Require entryway gates and fencing to have an open design. Limit the size or appearance of monumental entry gates.	A.7.4	
S.37.	Require retaining walls that are visible from a public street to have a veneer of natural stone, stained concrete, or textured surface.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.38.	Require terraced retaining walls to be separated by at least three feet and including landscaping.	A.8.1	
S.39.	Require a break, offset, or planting pocket to breakup retaining walls for every 50-foot continuous length of a retaining wall.	A.8.2	
S.40.	List prohibited solid wall materials that separate commercial uses from adjacent residential parcels.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.41.	Require brick banding along with concrete for commercial street sidewalks.	None	This is an engineering standard (Villa Hermosa) and the focus of the the objective standards is on building design and building placement.
S.42.	Require a maximum amount of hardscape percentage.	A.6.1, A.9.1	
S.43.	Require new developments to include common open space areas in the form of public gathering spaces (i.e., plazas, squares, pocket parks) that are designed to stimulate pedestrian activity and complement the appearance and form of adjoining buildings.	A.9	
S.44.	Require shade trees in common outdoor spaces.	A.9.4	
S.45.	Determine if viewsheds into the surrounding hills can be made objective.	None	Very difficult to make objective and specific to development in the hillside area.
<b>Building Placement</b>			
S.46.	For Community Place Districts, relate buildings to the street and locate them on site to reinforce street frontages.	A.10.1	
S.47.	For Community Place Districts, require buildings to be placed close to, and oriented toward the street.	A.10.1	
S.48.	If possible, limit the height of buildings located on corners to one story in height and preserve views into the surrounding hills. Restrict unnecessary massing at street corners (i.e., domes and uninhabitable spaces).	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.49.	Require new homes to maximize privacy, protection of natural plant and wildlife habitats, and minimize ecological or visual impacts affecting open spaces, public spaces, or other properties.	A.6.2, B.1.2, B.4.11, B.4.12	
S.50.	Require improvements along outer gateways to the Town. Map gateways where these requirements would apply.	None	The locations of Town gateways have not been determined.
S.51.	Locate structures to minimize blocking sun access to living spaces, outdoor areas on adjacent homes, and solar panel sun access.	None	Very difficult to make objective and very restrictive to apply to every project in commercial zones.
S.52.	For Community Place Districts, if there is no conflict with Town Code, require front setbacks to be similar to those of structures on adjacent parcels, but not less than ten feet unless those of adjacent structures are less.	A.10.1	
S.53.	For Community Place Districts, require side setbacks to be provided to set the structures off from their neighbors unless the building is part of a continuous storefront within the same parcel. If no side setback is provided, the building design should blend with the adjacent buildings to create a continuous storefront.	A.10.1	
S.54.	For Community Place Districts, provide setbacks from street property lines to match those currently existing in the subdistrict.	A.10.1	
S.55.	For Community Place Districts, require new buildings to maintain a consistent setback from the public right-of-way in order to create a well-defined streetscape.	A.10.1	
S.56.	Require a minimum percentage of garages to be set back from the front façade.	B.4.5	
S.57.	Prohibit new setbacks on North Santa Cruz Avenue or West Main Street	None	Setbacks are established in the Town Code.
S.58.	Require larger setbacks for parcels fronting on Santa Cruz Avenue and Saratoga/Los Gatos Road North of Highway 9.	None	Setbacks are established in the Town Code.

Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
S.59.	Require accessory buildings and ADUs to be compatible with other buildings with forms, colors, and materials. Provide objective criteria for compatibility.	B.3.5	B.3.5 is written to address detached carport. ADUs are reviewed/approved under a separate process pursuant to State law.
<b>Building Height</b>			
S.60.	Set a limit on height exception for towers, spires, cupolas, and similar structures not used for human activity or storage.	Zoning Code Sec. 29.10.090	
<b>Massing and Scale</b>			
S.61.	Require garages to be subservient to entries and ground floor living spaces.	B.2.1, B.2.3, B.4.5	
S.62.	Require new outbuildings, such as garages, to be clearly subordinate to the main structure in massing, and utilize forms, materials, and details which are used on the main structure.	A.4.2, B.3.5, B.4.5	
S.63.	Require buildings to be designed at a pedestrian scale.	B.1.1, B.2.1, B.4.1, B.4.3, B.4.4, B.4.7, B.4.8, B.4.9, B.4.10, B.4.13, B.4.14	
S.64.	Require the scale and massing of new developments to provide transitions in building height and massing to the physical and visual character of adjoining neighborhoods. Projects backing up to residential neighborhoods should be sensitive to their potential impacts on the residents.	A.6.2, B.1.1, B.1.2, B.3.1, B.4.3, B.4.11, B.4.12	
S.65.	Step buildings down as they get close to neighbors that are smaller/single-story.	B.4.3	Town Code requires increased setbacks for nonresidential properties adjacent or across from residential. 29.60.225(5); 29.60.335(4); 29.60.435(5); 29.70.125(5); 29.70.235(3)
S.66.	Require medium density, high density, and mixed-use parcels in the Los Gatos Boulevard District adjacent to Single-Family parcels to include increased site setbacks and multi-story step backs to minimize the impact and increase compatibility with smaller adjacent structures.	B.4.3	Town Code requires increased setbacks for nonresidential properties adjacent or across from residential. 29.60.225(5); 29.60.335(4); 29.60.435(5); 29.70.125(5); 29.70.235(3)
S.67.	For projects located on corner parcels of streets leading into residential neighborhoods, special attention should be given to the following: <ul style="list-style-type: none"> <li>§ Breaking building forms into modules that are similar to those in residential neighborhoods.</li> <li>§ Providing landscaping and landscape elements that would be consistent with those used in residential areas.</li> <li>§ Screening any parking areas with low walls and landscaping.</li> </ul>	A.6.2, A.6.3, B.1.2	
S.68.	Require buildings taller than two stories to have floors above the second floor set back from the walls below.	B.1.1, B.1.2	
S.69.	Provide size transitions between larger and smaller buildings.	None	There was concern that applying this would inhibit best use of a property based on a neighboring building that could eventually be redeveloped itself.
S.70.	Require new structures, remodels, landscapes, and hardscapes to be designed to be architecturally consistent and similar in mass and scale with adjacent development to minimize compatibility issues.	None	Difficult to make objective.
S.71.	Avoid structures with height and bulk at front and side setback lines which are significantly greater than those of the adjacent homes.	B.1.1, B.1.2	
S.72.	Take care in the placement of second floor masses. Unless the architectural style traditionally has the second-floor front wall at or near the first-floor wall, set the second floor back from the front façade a minimum of 5 feet.	B.1.1, B.1.2, B.4.3	



Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
S.73.	The design of two-story homes constructed adjacent to one story houses should include techniques to minimize their visual impact and provide transitions in scale. Some techniques include:  <ul style="list-style-type: none"> <li>§ Step down to one story elements near the side setbacks</li> <li>§ Provide substantial side setbacks for the entire house</li> <li>§ Provide substantial second floor side setbacks</li> <li>§ Use hip roofs at the sides rather than gables</li> </ul>	A.6.2	Town Code requires increased setbacks for nonresidential properties adjacent or across from residential. 29.60.225(5); 29.60.335(4); 29.60.435(5); 29.70.125(5); 29.70.235(3)
S.74.	Try to protect views of hills.	None	Very difficult to make objective especially without a Town view protection ordinance.
S.75.	Eliminate box-like forms with large, unvaried roofs by using a variety of building forms and roof shapes with cluster units, variations in height, setback, and roof shape.	B.1.3, B.3.1, B.4.1, B.4.3	
S.76.	Construct a maximum of 6 attached units in a row.	B.1.3	
S.77.	Elevations shall be mixed within a development to avoid repetition of identical facades and rooflines.	B.3.1	
<b>Roof Design</b>			
S.78.	Require varied building and parapet heights except in locations where flat parapets are common.	B.3.1	
S.79.	Limit the depth of eaves to relate roof overhangs to the architectural style of the surrounding neighborhood.	B.3.4	
S.80.	Avoid the use of dome buildings.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.81.	Require flat profile skylights.	B.3.2	
S.82.	Require roof forms to include materials, elevations, and finishes that are consistent with the architectural style and design of the structure.		The subjective nature of architectural styles prevents this from being made objective.
S.83.	Encourage horizontal eaves longer than 40 to 50 feet in length to be broken up by gables, building projections, or other forms of articulation.	B.3.1, B.3.3	
S.84.	Require skylight glazing material that reduces glare at night, especially for bird safety. Large skylights with dome-style glazing should be prohibited.	B.3.2	Difficult to make first sentence objective.
S.85.	Try to incorporate a Light Reflective Value (LRV) similar to those in Hillside Design Guidelines for roof tones that blend with the environment.	None	Impractical and too limiting. Eliminates architectural styles.
<b>Façade Design and Articulation</b>			
S.86.	Minimize privacy intrusions on adjacent residences.	A.6.2, B.1.2, B.4.11, B.4.12	
S.87.	Minimize contrast between manmade buildings and the environment. Try to incorporate a Light Reflective Value (LRV) similar to those in Hillside Design Guidelines.	None	Impractical and too limiting. Eliminates architectural styles.
S.88.	Encourage buildings and sites within all Community Place Districts to integrate design features that create a pedestrian and neighborhood-friendly environment, including siting buildings close to the sidewalks, providing space for small plazas, and including public art.	A.10.1	
S.89.	Promote community design which is human-scaled, comfortable, safe, and conducive to pedestrian use. Strategies for standards include height of floor plates and width of building face.	B.1.1, B.2.1, B.4.1, B.4.3, B.4.4, B.4.7, B.4.8, B.4.9, B.4.10, B.4.13, B.4.14	
S.90.	Provide pedestrian arcades and/or other one-story architectural elements to reduce the visual height of tall walls.	B.1.1	
S.91.	Promote well defined architectural styles through the use of building massing, setbacks, façade articulation, fenestration, varied parapets, and other human-scaled architectural features.	B.4.1	
S.92.	Require multi-story buildings to incorporate step backs on upper floors to create a more human-scale and comfortable pedestrian environment.	B.1.1, B.1.2, B.4.3	
S.93.	Encourage all new and remodeled structures use at a minimum one of the following architectural design elements to enhance the uniqueness of the structure:  <ul style="list-style-type: none"> <li>§ Molding</li> <li>§ Ornamentation</li> <li>§ Corbels</li> <li>§ Cornices</li> <li>§ Colonnades</li> </ul>	B.4.3	

Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
S.94.	Break up the façade of horizontal buildings into smaller components by utilizing vertical adjacent building masses. Add a maximum amount of linear frontage for each required massing component.	B.4.1	
S.95.	Exterior wall planes should be varied in depth and/or direction. Desirable massing includes: variation in the wall plane; variation in wall height; roofs containing different forms and located at different levels.	B.4.1	
S.96.	Eliminate box-like forms with large, unvaried roofs by using a variety of building forms and roof shapes with clusters of units, variations in height, setback, and roof shape. Make the building visually and architecturally pleasing by varying the height, color, setback, materials, texture, landscaping, trim, roof shapes, and ridge orientation for all elevations.	B.4.1	
S.97.	Design with architectural integrity on all sides of the structure.	B.4.2	
S.98.	Maintain a strong street presence and design with consistency on all sides of the structure.	B.4.2	
S.99.	Provide visual relief for two story walls. Some techniques include: <ul style="list-style-type: none"> <li>§ Belly bands</li> <li>§ Pop outs and bay windows</li> <li>§ Material and color changes</li> <li>§ Chimneys</li> <li>§ Wide overhangs with projecting brackets</li> <li>§ Juliet balconies</li> <li>§ Window boxes and pot shelves</li> <li>§ Landscaped trellises and lattices</li> </ul>	B.4.3	
S.100.	Maintain continuity of design, materials, color, form and architectural detail for all elevations of a building that are visible from public areas or adjacent residences.	B.4.2	
S.101.	Orient buildings to avoid blank walls and service areas which are visible.	B.4.1	
S.102.	Treat commercial street-facing facades which exceed fifty feet in length as though they were constructed on individual parcels no wider than fifty feet.	B.4.13	
S.103.	Provide horizontal wall plane changes along street frontages and areas easily viewed from adjacent properties. Wall plane changes should have some portions that are at least two feet to provide building articulation.	B.4.1	
S.104.	The size and height of all detail elements shall be sympathetic to the major elements of adjacent structures.	None	Impractical and difficult to make objective.
S.105.	Avoid blank walls over ten feet long on primary frontages, and from the first fifty feet from Santa Cruz Avenue or Main Street. Break up larger blank walls with pilasters and landscaping.	B.4.14	
S.106.	Require some architectural elements of mixed-use buildings to include: <ul style="list-style-type: none"> <li>§ Shaped parapets or projecting cornices at street wall tops</li> <li>§ Large display windows framed by high quality materials.</li> <li>§ Projecting columns and pilasters</li> <li>§ Column/pilaster bases and bulkheads below display windows</li> <li>§ Projecting belt courses and other moldings</li> <li>§ Decorative details</li> </ul>	B.4.4	
S.107.	For mixed-use buildings, structures taller than one story should have design elements that emphasize the first floor. Elements might include: <ul style="list-style-type: none"> <li>§ Awnings</li> <li>§ Planters</li> <li>§ Projecting signs</li> <li>§ Divided light windows</li> <li>§ Small scale materials (e.g., brick, board, and batten wood)</li> </ul>	B.4.4	
S.108.	Require the design, form, roof pitch, materials, and color of new accessory dwelling units to be compatible with the primary dwelling. Entrances serving the accessory dwelling unit shall not be constructed on any elevation facing a public street.	None	ADUs are reviewed/approved under a separate process pursuant to State law.



Issue Number	Issue Identified in Subcommittee Meetings	Draft OS	Response
S.109.	Consider limiting second-story balconies in single-family scaled development (detached condos)	A.3.11	
S.110.	Be specific about the minimum/maximum balcony allowed per product type.	None	Impractical and not responsive to varying lot sizes
S.111.	Gable dormers, single or an aggregate of multiple dormers, should rarely exceed 50 percent of the width of the roof. Shed dorms can be wider.	B.3.3	
S.112.	Relate awning placement to the major architectural elements of the façade. <ul style="list-style-type: none"> <li>§ Add a maximum height</li> <li>§ Add maximum percentage of fabric awning</li> <li>§ Avoid covering transom windows or architectural elements such as bel courses, decorative trim, and similar features</li> <li>§ Use separate awnings over individual storefront bays defined by the columns or pilasters rather than placing a continuous awning across the building frontage</li> <li>§ Patterned and striped awnings are discouraged.</li> <li>§ Operable awnings are encouraged when appropriate for the style of the building</li> </ul>	B.4.7, B.4.10	
S.113.	Create a list of prohibited building materials. Consider using maximum LRV. No copper.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.114.	Make materials and color changes at inside corners rather than outside corners to avoid a pasted-on look.	B.4.6	
S.115.	Match wall materials to that of the building.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.116.	Ensure that all buildings have well designed and visible entries. Distinctive projecting or recessed entries shall be provided for each living unit.	B.4.9	
S.117.	Orient unit entries to streets and common open spaces rather than parking courtyards.	B.4.9	
S.118.	Create a minimum fenestration percentage for ground-floor commercial in mixed-use development.	B.4.7.b	
S.119.	Apply a window style consistency if possible.	None	Too restrictive, may create a style conflict with chosen architectural style of building.
S.120.	Maintain a high degree of fenestration and transparency on the ground floor of commercial buildings.	B.4.4, B.4.7.b, B.4.8	
S.121.	Encourage window box planters below display windows.	B.4.3	
S.122.	Prohibit mirror-like window tinting.	B.4.8	
S.123.	Establish a maximum percentage of garage facing along a street, or garage door articulation.	B.2.1, B.2.3, B.4.5	
S.124.	Carport roof materials need to be the same as the building and needs to be behind the building.	B.2.1, B.2.3, B.4.5	
S.125.	Recess garages from unit fronts along streets. Recesses from the building face of 18 feet or more are desirable to minimize the prominence of the garages and to allow guest parking on driveway aprons.	B.2.1, B.2.3, B.4.5	
S.126.	Front-facing garages should be recessed a minimum of 12 inches from the front façade of the living space.	B.2.1, B.2.3, B.4.5	
S.127.	Avoid designs that allow the garage to dominate the street façade. Garage doors should feature windows, recesses, and moldings to help blend the garages with the character of the unit.	B.2.1, B.2.3, B.4.5	

**From:** Jeffrey Barnett <[REDACTED]>  
**Sent:** Monday, June 20, 2022 11:33 AM  
**To:** Sean Mullin <SMullin@losgatosca.gov>; Ryan Safty <RSafty@losgatosca.gov>  
**Subject:** Planning Commission Meeting June 22, 2022; Item 3. Objective Standards

EXTERNAL SENDER

Dear Sean and Ryan,

The City of Palo Alto adopted its objective standards on June 1st.. Here is a link to an article about the project::

<https://www.paloaltoonline.com/news/2022/06/02/new-design-rules-for-palo-alto-housing-projects-govern-everything-from-window-sizes-to-architecture-styles>

Here is the link to the City Council's agenda packet for the June first meeting where the standards were considered. The Staff Report starts at page 32, and the draft ordinances start at page 51 and extend to Page 211..

<https://www.cityofpaloalto.org/files/assets/public/agendas-minutes-reports/agendas-minutes/city-council-agendas-minutes/2022/20220601/20220601pccsm.pdf>

The draft minutes of the City Council's June 1st meeting show that the Council approved the objective standards without change.

I kindly request that you distribute this email to the members of the Planning Commission for consideration prior to our Wednesday meeting.

Thank you in advance.

Jeffrey



***This Page  
Intentionally  
Left Blank***



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 6/22/2022

ITEM NO: 3

DESK ITEM

DATE: June 22, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Review and Recommendation of the Draft Objective Standards to the Town Council.

DISCUSSION:

Exhibit 8 includes suggestions from a Planning Commissioner for additions and modifications to the Draft Objective Standards based on the Palo Alto Objective Standards, which were included as Exhibit 7 to the June 22, 2022, Addendum Report.

EXHIBITS:

Previously received with the June 22, 2022, Staff Report:

1. Town Council Resolution 2019-053
2. Summary of feedback received during community engagement meetings
3. Draft Objective Standards
4. Public Comments received prior to 11:00 a.m., Friday, June 17, 2022

Previously received with the June 22, 2022, Addendum Report:

5. Staff response to Commissioner's questions
6. Issues considered by the Objective Standards Subcommittee
7. Commissioner email regarding City of Palo Alto Objective Standards

Received with this Desk Item Report:

8. Suggested additions and modifications provided by a Planning Commissioner

PREPARED BY: SEAN MULLIN, AICP and RYAN SAFTY  
Senior Planner Associate Planner

---

Reviewed by: Planning Manager and Community Development Director

---



***This Page  
Intentionally  
Left Blank***

## **JAB Proposed Considerations Regarding Town of Los Gatos based on City of Palo Alto Objective Standards**

### **1. Page 52 – Possible Introduction:**

Housing development Development projects Projects are required to comply with objective standards in order to take advantage of streamlined review pursuant to Section 18.77.073; . However, applicants may choose to forgo one or more objective standards, in which case the housing development project no longer meets the definition of a Housing Development Project and will be evaluated to the spirit of the relevant intent statements based on Context-Based Design Criteria for the zoning district.

### **2. Page 55 – Hierarchy in Site Circulation and Access**

18.24.030 Site Access

#### **(a) Contextual Design Criteria Intent Statement**

To provide facilities and accommodations for pedestrians, vehicles, cyclists, and transit users to safely and efficiently access and circulate both within individual sites and in the site’s surrounding context. Site access should include the following elements:

(1) Site circulation and access that presents a clear hierarchy and connectivity pattern both within a project and to adjacent sidewalks and transit stops. This hierarchy should prioritize pedestrians, bikes, vehicles, and utility/loading access in the order listed. This hierarchy may provide separate access for vehicles and other modes, or demonstrate how all modes are accommodated in shared access points.

(2) Connections to side streets, open spaces, mews, alleys, and paseos

(3) Vehicle, loading and service access that is integrated into building and landscape design and located to prevent conflicts with pedestrians and cyclists, while also provided convenient access to building entries.

(3)(4) Shared access agreements among property owners, where feasible, to reduce

### **3. Page 56 - Loading Docks**

(4) Loading Docks and Service Areas.

Loading and service areas shall be integrated into building and landscape design and located to minimize impact on the pedestrian experience as follows:



(A) Loading docks and service areas shall be located on facades other than the primary building frontage: on alleys, from parking areas, and/or at the rear or side of building if building includes these frontages. When only primary building frontage is available, loading docks and service areas shall be recessed a minimum five feet from the primary façade and shall be screened in accordance with Chapter 18.23.050.

(B) Loading dock and service areas located within setback areas shall be screened in accordance with Chapter 18.23.050 and separated from pedestrian access to the primary building entry to avoid impeding pedestrian movement and safety.

#### **4. Pages 56-57 – Corner Buildings Less Than 40 Feet**

(b) Objective Design Standards

(1) Treatment of Corner Buildings (less than 40 feet)

Corner buildings less than 40 feet in height and end units of townhouses or other attached housing products that face the street shall include the following features on their secondary building frontage:

(A) A height to width ratio greater than 1.2:1

(B) A minimum of 15 percent fenestration area.

#### **5. Pages 57-59 – Corner Buildings More Than 40 Feet**

(2) Treatment of Corner Buildings (40 feet and higher)

Corner buildings 40 feet or taller in height shall include at least one of the following special features:

(A) Street wall shall be located at the minimum front yard setback or build-to line for a minimum aggregated length of 40 feet in length on both facades meeting at the corner and shall include one or more of the following building features: (continued)

#### **6. Page 76 – Entry Dimensions**

(A) Building Entries Within Façade Design

(i) Primary building entries shall be scaled proportionally to the number of people served (amount of floor-area or number of units accessed). Building entries inclusive of doorway and facade plane shall meet the following minimum

dimensions:

- a. Individual residential entries: five feet in width
- b. Shared residential entry, such as mixed-use buildings: 8 feet in width
- c. Commercial building entry: 20 feet in width
- d. Storefront entry: six feet in width

(ii) Primary building entries (not inclusive of individual residential entries) shall include a façade modulation that includes at least one of the following:

- a. A recess or projection from the primary façade plane with a minimum depth of two feet.

**7. Pages 78-81 – More detailed objective standards for entries**

**8. Page 82 – Private Open Space**

b) Objective Design Standards

(1) Private Open Space

If Private Open Spaces is provided, it shall meet the following standards:

(A) Floor area shall include a clear space with a minimum dimension of a circle with a six-foot diameter.

(B) Minimum clear height dimension of 8'-6" feet

(C) Be accessed directly from a residential unit

(D) Balconies shall not be located within the daylight plane

(E) Notwithstanding subsection (a), ground floor patios shall meet the following minimum requirements:

(i) RM-20 and RM-30 districts: Minimum 100 square feet of area, the least dimension of which is eight feet for at least 75% of the area

(ii) RM-40 districts: Minimum 80 square feet of area, the least dimension of which is six feet for at least 75% of the area

(iii) Street facing private open space on the ground floor shall meet the finished floor height for ground floor residential standards in section 18.24.040(b)(4)

(2) If Common Open Space is provided, it shall meet the following standards:

(A) Minimum size of 200 square feet



(B) Area shall include a space with a minimum dimension of a circle with a 10-foot diameter.

(C) A minimum of 60% of the area shall be open to the sky and free of permanent weather protection or encroachments. Trellises and similar open-air features are permitted.

(D) Notwithstanding subsection (1), courtyards enclosed on four sides shall have a minimum dimension of 40 feet and have a minimum courtyard width to building height ratio of 1:1.25

### **9. Pages 120-122 - Streamlined Processing**

#### 18.77.073 Streamlined Housing Development Project Review Process

##### (a) Applicability

This section shall apply to applications for residential mixed-use and multifamily housing development projects, as defined in Government Code Section 65589.5(h)(2), that comply with all objective standards in this code and thereby qualify for streamlining under Government Code sections 65589.5 or 65905.5.

##### (b) Preliminary Board Review

Applicants are encouraged to seek preliminary review by the Architectural Review Board pursuant to Section 18.76.020(c) prior to submitting a formal application.

##### (c) Public Study Session

(1) Prior to preparing a written decision, the Director may, in his or her sole discretion, refer the application to the Architectural Review Board or to other advisory boards or committees for the purpose of determining whether minor adjustments to the application would result in closer adherence to the contextual design criteria and/or objective design standards contained in Chapter 18.24. An application should normally not be considered at more than one meeting of the Architectural Review Board.

(2) Notice of a public meeting to consider the application shall be given at least 7 days prior to the meeting by mailing to the applicant and all residents and owners of property

2.b

Packet Pg. 120

\*NOT YET ADOPTED\*

35

0160074\_20220505\_ay16

within 600 feet of the project. Notice shall include the address of the property, a brief description of the proposed project, and the date and time of the hearing.

(d) Decision by the Director

(1) The Director shall prepare a written decision to approve the application, approve it with conditions, or deny it.

(2) Neither the Director, nor the City Council on appeal, shall approve an application unless it is found that:

(A) The application complies with all applicable and objective standards in the Comprehensive Plan, the Palo Alto Municipal Code, and other City plans or policies.

(B) Approving the application will not result in a specific, adverse, impact upon the public health or safety, which cannot feasibly be mitigated or avoided in a satisfactory manner. As used in this Section, a “specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.

(3) Notice of the proposed director’s decision shall be given by mail to owners and residents of property within 600 feet of the property, and by posting in a public place. The notice shall include the address of the property, a brief description of the proposed project, a brief description of the proposed director’s decision, the date the decision will be final if it is not appealed, and a description of how to file an appeal.

(4) The Director’s decision shall become final 10 days after the date notice is mailed unless an appeal is filed.

(e) Appeals

(1) Any party, including the applicant, may file an appeal of the Director’s decision in written form in a manner prescribed by the director.



(2) An appeal seeking disapproval of a project or a reduction in density shall be limited to the grounds that both of the following exist:

(A) The project would have a specific, adverse impact upon the public health or safety unless the project is disapproved or approved upon the condition that the project be developed at a lower density. And

(B) There is no feasible method to satisfactorily mitigate or avoid the adverse impact identified pursuant to subsection (d)(2)(B)(i), other than the disapproval of the housing development project or the approval of the project upon the condition that it be developed at a lower density.

(f) Decision by the City Council

At the Director's discretion, an appeal may be set for hearing before the City Council or may be placed on the Council's consent calendar, within 45 days. The city council may:

(1) Adopt the findings and decision of the director; or

(2) If the item is on the consent calendar, city council may remove the appeal from the consent calendar, which shall require three votes, and direct that the appeal be set for a new noticed hearing before the city council, following which the city council shall adopt findings and take action on the application.

(g) Final Decision by the Council

The decision of the council on the appeal is final.