



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
JANUARY 11, 2023  
110 EAST MAIN STREET  
LOS GATOS, CA**

Melanie Hanssen, Chair  
Jeffrey Barnett, Vice Chair  
Susan Burnett, Commissioner  
Kylie Clark, Commissioner  
Kathryn Janoff, Commissioner  
Steven Raspe, Commissioner  
Emily Thomas, Commissioner

**PARTICIPATION IN THE PUBLIC PROCESS**

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
  - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
  - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
  - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

*Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m. Live and Archived Planning Commission meetings can be viewed by going to: [www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube)*

**IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]**

**TOWN OF LOS GATOS  
PLANNING COMMISSION MEETING AGENDA  
JANUARY 11, 2023  
110 EAST MAIN STREET AND TELECONFERENCE  
TOWN COUNCIL CHAMBERS  
LOS GATOS, CA  
7:00 PM**

**IMPORTANT NOTICE**

This meeting is being conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044 this meeting will not be physically open to the public and the Council and/or Commissioners will be teleconferencing from remote locations. Members of the public can only participate in the meeting by joining the Zoom webinar (log in information provided below). The live stream of the meeting may be viewed on television and/or online at [www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube). **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chambers.**

**PARTICIPATION**

To provide oral comments in real-time during the meeting:

- **Zoom webinar:** Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: <https://losgatosca-gov.zoom.us/j/83372043034?pwd=UnF5bmtVWDhnWGVHR2NnOWFGVEF2QT09>. Passcode: 473108. You can also type in 833 7204 3034 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join>.
  - When the Mayor announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand.
- **Join by telephone:** Join by Telephone: Dial: USA 877 336 1839 US Toll-free or 636 651 0008 US Toll. Conference code: 686100
  - If you are participating by calling in, press #2 on your telephone keypad to raise your hand.

When called to speak, you may be asked to provide your full name and your town/city of residence. This identifying information is optional and not a requirement for participation. Please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting. If you wish to speak to an item or items on the Consent Calendar, please state which item number(s) you are commenting on at the beginning of your time.

If you are unable to participate in real-time, you may email to [Planning@losgatosca.gov](mailto:Planning@losgatosca.gov) the subject line “Public Comment Item #\_\_” (insert the item number relevant to your comment) or “Verbal Communications – Non-Agenda Item.” Comments received by 11:00 a.m. the day of the meeting will be reviewed and distributed before the meeting. All comments received will become part of the record.



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
JANUARY 11, 2023  
7:00 PM**

**MEETING CALL TO ORDER**

**ROLL CALL**

**RULES OF DECORUM AND CIVILITY**

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to:

- Addressing the Planning Commission without first being recognized;
- Interrupting speakers, Planning Commissioners, or Town staff;
- Continuing to speak after the allotted time has expired;
- Failing to relinquish the microphone when directed to do so;
- Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

**VERBAL COMMUNICATIONS** *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

**CONSENT ITEMS** *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the December 14, 2022 Planning Commission Meeting

**PUBLIC HEARINGS** *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Requesting Approval for Construction of a Shared Driveway, Two New Single-Family Residences to Exceed the Maximum Height for Visible Homes in the Hillside, and Site Work Requiring a Grading Permit on Vacant Property Zoned HR-2½. **Located at 400 Surmont Drive.** APN 527-20-003. Architecture and Site Applications S-21-004 and S-21-023. PROPERTY OWNER: Sandra K. Anderson, TTE. APPLICANT: Studio 3 Design. PROJECT PLANNER: Ryan Safty.

3. Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned C-2. **Located at 301-307 N. Santa Cruz Avenue.** Request for Review PHST-22-020. APN 510-14-048. Property Owner/Applicant/Appellant: Mike Millen. Project Planner: Ryan Safty.
4. Consider an Appeal of a Historic Preservation Committee Decision to Deny a Request to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 253 W. Main Street.** APN 510-45-006. Minor Development in a Historic District Application HS-22-051. PROPERTY OWNER/APPELLANT: Mike and Kim Wasserman. APPLICANT: Bess Wiersema, Studio Three Design. PROJECT PLANNER: Sean Mullin.
5. Consider and Make a Recommendation to the Town Council on the Draft 2023-2031 Housing Element. Location: Town-Wide. General Plan Amendment Application GP-22-003.

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

6. Election of Chair and Vice Chair.

#### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

#### **SUBCOMMITTEE REPORTS / COMMISSION MATTERS**

**ADJOURNMENT** (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

*Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.*

*Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 1

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**DRAFT  
MINUTES OF THE PLANNING COMMISSION MEETING  
DECEMBER 14, 2022**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, December 14, 2022, at 7:00 p.m.

**This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044, all planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.**

**MEETING CALLED TO ORDER AT 7:00 PM**

**ROLL CALL**

Present: Chair Melanie Hanssen, Vice Chair Jeffrey Barnett, Commissioner Kathryn Janoff, Commissioner Steve Raspe, and Commissioner Emily Thomas  
Absent: Commissioner Kylie Clark and Commissioner Reza Tavana

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

- 1. Approval of Minutes** – November 9, 2022
- 2. Approval of Minutes** – November 21, 2022 Special Meeting

**MOTION:**                   **Motion by Commissioner Raspe to approve adoption of the Consent Calendar. Seconded by Commissioner Thomas.**

**VOTE:**                   **Motion passed unanimously.**

**PUBLIC HEARINGS**

**3. 202 University Avenue**

Variance Application V-22-003

APN 529-04-001

Applicant: Jay Plett, Architect

Property Owner: Tyler and Kristine Shewey

Requesting Approval for Construction of an Accessory Structure Requiring Variances to Accessory Structure Lot Coverage Standards and Side and Rear Setback Requirements in the University-Edelen Historic District on Property Zoned R-1D:LHP.

**Chair Hanssen reported that the applicants for Item 3, 202 University Avenue, had requested the item be continued.**

Commissioners discussed the matter.

**MOTION:**                   **Motion by Vice Chair Barnett** to continue the public hearing for 202 University Avenue to a date certain of January 25, 2023. **Seconded by Commissioner Thomas.**

**VOTE:**                   **Motion passed unanimously.**

**4. 14876 Clara Street**

Architecture and Site Application S-22-033

APN 409-25-027

Applicant: Louie Leu, Architect

Property Owner: Jacob John

Project Planner: Jocelyn Shoopman

Requesting Approval for Construction of a Second Story Addition to an Existing Single-Family Residence on Property Zoned R-1:12.

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Louie Leu, Architect/Applicant

- The lot zoning allows for structures up to 30 feet high, and our structure is only 23 feet, five inches. The maximum allowed floor area is approximately 5,766, and ours is less than 4,000. The house sits down a couple of feet from the street, so the overall height impact would be less. The proposed addition is fairly modest at 1,200 square feet, and the new upper floor is located above the existing main floor with setbacks of 48 feet from the front (two times the required front setback), 44 feet from one side and 48 feet from the other side (four times the required side setback), and 52 feet from the rear, so impact to the

neighbors is minimal. The upper floor windows are minimal facing toward the sides and we do not believe neighbor privacy is an issue. We have made sure the massing and elevation blend in with the smaller one-story homes of the neighborhood. The site has many mature trees, all are to be retained, particularly the five large evergreen trees in the front that obscure much of the home from the two houses directly in front. Our design is close to the Consulting Architect's recommendations, with the exception of gables instead of hips for the roof, and a standing metal seam roof instead of asphalt shingles, but we would be open to changing the gables to hips and standing seam to asphalt shingles if that is the Commission's preference. We raised the roofline in the middle of the house to reduce the height of the second floor. We felt the brick would add interest to the project and reflect other homes in the area that also have a feature material.

Jeff Whalen

- My property is contiguous to the subject property at the street. Because this is predominantly a single-story neighborhood this project is not consistent with the Town's Residential Guidelines with respect to special qualities, scale, character, and architectural sensitivity with respect to surrounding neighborhood homes. Of the 12 remodels in the neighborhood over 28 years, including mine, no one has requested nor added a second story out of respect for the neighborhood and integrity of the architectural style, consistency, good will, and privacy. The two homes referenced by the architect as having metal roofs and brick facades were permitted prior to being annexed into the Town. The proposed covered grand entry juts out from the existing front door 10 feet and beyond the current overhanging front porch and door, which moves the front mass to the street. Overhanging front porches are dominant in the neighborhood and desired per the Town guidelines.

Lainey Richardson

- We have only single-story homes on the circle. A developer owns the house above me and I'm concerned that if he submits plans and can go up two stories, we will lose all backyard and pool privacy. If the burned-down house across the street is able to go up two stories, we'll lose the view of the mountains. If the Commission allows the applicants to build a two-story home on the circle, nothing will stop future applicants from adding on a second story, and the look of the entire neighborhood would be changed. The neighborhood is all single-story ranch homes on large lots. The subject project has a large backyard and the applicants should consider placing an ADU back there to extend their living space in a way that is not be visible to neighbors and would not change the neighborhood look.

Brent Ventura

- The circle consists of 14 homes and is characterized by 2,035 square foot, one-story homes on large, half-acre lots. This would be the first two-story home on the circle, and staff recommends denial because it doesn't comply with the Town's Residential Design Guidelines. In my 30 years on the circle there have been 13 remodels, and not one has ever added a second story, because the lots are so large that there is plenty of room to expand outward. This neighborhood would be high on the list if the Town considered early post-war neighborhoods as worthy of protection, due to its harmony and unity of design.

The applicant did not incorporate most of the Consulting Architect's suggested changes. I request the application be returned to the Development Review Committee with instructions that the applicant proceed with a one-story remodel with design changes consistent with the Guidelines and the Consulting Architect.

Irv John, Son of Property Owner

- My name is Irv John and I'm a sixth grader at Fisher Middle School. My family and I have been living on Clara Street for two-and-a-half years. My brother and I always dreamed of having our own rooms, but there were not many two-story homes available, so we checked the zoning on this single-story property when it was purchased to ensure we could have two stories. We have counted at least ten two-story homes in the immediate neighborhood. Our home would be a great upgrade, like homes on La Rinconada and Golf Links Drive. Currently my brother and I share a room, and there is not enough room for our grandmothers to visit.

Jacob John, Property Owner

- This is clearly not a single-story overlay zone. This lot was advertised as being capable of having two stories. This is not a single-story neighborhood. Our project is very modest and located where it needs to be relative to the existing house. The house cannot be arbitrarily moved back, because the existing house is not being demolished. We are willing to accept all of the Consulting Architect's recommendations if the Commission prefers.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner Thomas** to approve an Architecture and Site Application for 14876 Clara Street, subject to implementing the Consulting Architect's recommendations as determined by the Planning Manager. **Seconded by Commissioner Janoff.**

**Vice Chair Barnett requested the motion be amended to include the requirement of a composition shingle roof.**

**The maker of the motion accepted the modification to the motion.**

**The seconder of the motion accepted the modification to the motion.**

Closed Public Comment.

Commissioners discussed the matter.

**VOTE:**                    **Motion passed unanimously.**



**5. Amendments to Town Code Regarding Town-Initiated Parcel Mergers**

Town Code Amendment Application A-22-003

Applicant: Town of Los Gatos

Project Location: Town-Wide

Consider Amendments to Chapter 24 (Subdivision Regulations) and Chapter 29 (Zoning Regulations) to the Town Code Regarding Town-Initiated Parcel Mergers.

Gabrielle Whelan, Town Attorney, presented the staff report.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                   **Motion by Commissioner Raspe** to recommend to Town Council amendments to Chapter 24 and Chapter 29 of the Zoning Code regarding Town-initiated parcel mergers. **Seconded by Commissioner Thomas.**

**Vice Chair Barnett** requested the motion be amended to include the findings that the project is exempt from CEQA, and the Town Code amendments are consistent with the General Plan.

**The maker of the motion accepted the amendment to the motion.**

**The seconder of the motion accepted the amendment to the motion.**

Opened Public Comment.

None.

Closed Public Comment.

**VOTE:**                   **Motion passed unanimously.**

**6. General Plan Amendment to the Hazards and Safety Element**

General Plan Amendment Application GP-22-002

Location: Town Wide

Consider a General Plan Amendment to Add Policies to the Hazards and Safety Element.

Jennifer Armer, Planning Manager, presented the staff report.

Commissioners discussed the matter.

Opened Public Comment.

None.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Vice Chair Barnett** to recommend Town Council add policies to the Hazards and Safety Element. **Seconded by Commissioner Raspe.**

**VOTE:**                    **Motion passed unanimously.**

### **OTHER BUSINESS**

**Item 7 under Other Business has been postponed to a later Planning Commission meeting and will be re-noticed. No action is required from the Planning Commission on either Item 7 or Item 8.**

**7. 15860-15894 Winchester Boulevard and 17484 Shelburne Way**

Architecture and Site Application S-21-008

Conditional Use Permit Application U-21-010

Variance Application V-21-003

Mitigated Negative Declaration ND-22-001

APNs 529-11-013, -038, -039, and -040

Applicant/Property Owner: Green Valley Corp. d.b.a. Swenson

Project Planner: Jennifer Armer

Requesting Approval for Demolition of Four Residential Buildings, Construction of an Assisted Living and Memory Care Facility, Variance from the Maximum Height and Lot Coverage Requirements, and Removal of Large, Protected Trees on Property Zoned O.

**8. Draft 2023 Planning Commission Meeting Schedule**

### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

Jennifer Armer, Planning Manager

- The Town Council held a special meeting on December 13, 2022 where they elected Maria Ristow to Mayor and Mary Badame to Vice Mayor for 2023.
- Thanked Commissioner Tavana, who has completed his term as a Planning Commissioner.
- Congratulate Chair Melanie Hanssen has been reappointed to the Planning Commission.
- Welcome new 2023 Planning Commissioner Susan Burnett, currently on the Historic Preservation Committee (HPC), who will join the Planning Commission in January 2023.
- New HPC and General Plan Committee (GPC) members have been appointed, with two members from the HEAB appointed to full-term GPC positions.

- The Town Council will discuss the next steps for the Housing Element at its December 20, 2022 meeting.
- Town offices will be closed for the holidays from December 23, 2022 through January 2, 2023. No new Planning or Building applications will be accepted or processed during that time.

## **SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

### **Historic Presentation Committee**

Commissioner Raspe

- The HPC met on December 14, 2022 with a full calendar, although Commissioner Raspe was unable to attend.

### **Housing Element Advisory Board**

Chair Hanssen

- The HEAB met on December 1, 2022 rescheduled from the November 17, 2022 meeting, and prepared for written comments on the Draft Housing Element from HCD in January 2023.

### **Commission Matters**

Chair Hanssen

- Thanked Commissioner Tavana for his service to the Planning Commission for the past four years.
- Congratulated Adam Mayer and Ryan Rosenberg, both appointed to the GPC, and future Planning Commissioner Susan Burnett.

## **ADJOURNMENT**

The meeting adjourned at 9:01 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the December 14, 2022 meeting as approved by the Planning Commission.

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/s/ Vicki Blandin

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 1/11/2023

ITEM NO: 2

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DATE: January 6, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Construction of a Shared Driveway, Two New Single-Family Residences to Exceed the Maximum Height for Visible Homes in the Hillside, and Site Work Requiring a Grading Permit on Vacant Property Zoned HR-2½. **Located at 400 Surmont Drive.** APN 527-20-003. Architecture and Site Applications S-21-004 and S-21-023. PROPERTY OWNER: Sandra K. Anderson, TTE. APPLICANT: Studio 3 Design. PROJECT PLANNER: Ryan Safty.

BACKGROUND:

On November 21, 2022, the Planning Commission considered the applications and continued the matter to January 11, 2023. The Planning Commission directed the applicant to consider the comments of the Planning Commission, including:

- Reduce the height of the proposed residences;
- Incorporate additional landscape and tree screening to the east of the proposed footprints; and
- Conduct additional neighborhood outreach.

DISCUSSION:

The applicant has revised the project to reduce the height of the proposed residences by approximately two to three feet; added landscape and tree screening behind each proposed residence; and submitted evidence of additional neighborhood outreach. The applicant's neighborhood outreach summary is provided as Exhibit 21. A summary of the design changes is provided as Exhibit 22. Updated plans are included as Exhibits 23 and 24.

PREPARED BY: Ryan Safty  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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DISCUSSION (continued):

**Parcel 1 (Architectural and Site Application S-21-004)**

The proposed residence on Parcel 1 was reduced by up to three feet, as shown in the updated project plans (Exhibit 23). The elevation sheets in Exhibit 23 show the updated proposal, with the previous elevation outline shown in a red-dashed line for comparison. Additionally, the roof plan notes both previous roof heights (in black text) and proposed roof heights (in blue text and boxed) for comparison.

As explained in the applicant's response letter (Exhibit 22), the roof pitch was reduced from 4:12 to 3.5:12 and the plate heights were reduced by two to two- and one-half feet throughout the residence. As noted on the roof plan (Sheet A2.2 of Exhibit 23), the maximum roof height was reduced from 398.58 feet to 395.42 feet.

The updated building sections on Sheets A4.1 – A4.3 show maximum height along each section, but that height line is drawn to the top of the finished floor, while height is measured to existing grade below. Building Section-G on Sheet A4.4 is drawn correctly and shows a maximum proposed height of 21 feet, six inches, therefore an exception from the 18-foot height limit is still required. The maximum height of the previous proposal was approximately 24 feet, six inches.

In addition to the height reduction, the applicant has added landscape screening behind the proposed residence. The landscaping is located to the east of the building footprint, compliant with the Fire Defensible Space requirements, to help address neighbor concerns regarding visibility and massing of the proposed residence. As noted on Sheet L-6 of Exhibit 23, five new, native 24-inch box trees would be placed roughly 40 feet east of the rear of the residence, along with a mixture of shrubs.

The proposed footprint would remain the same. The application would still require exceptions to the Hillside Development Standards and Guidelines (HDS&G) for maximum height of visible homes in the hillsides, maximum height of the lowest finished floor of a structure above existing grade, maximum cut for the rear yard area adjacent to the residence, and maximum cut and fill for the shared driveway and fire turnaround area, as noted on pages 6 through 8 of the November 21, 2022, Planning Commission meeting staff report.

**Parcel 2 (Architectural and Site Application S-21-023)**

The proposed residence on Parcel 2 was reduced by up to two- and one-half feet, as shown in the updated project plans (Exhibit 24). The elevation sheets in Exhibit 24 show the updated proposal, with the previous elevation outline shown in a red-dashed line for comparison. Additionally, the roof plan notes both previous roof heights (in black text) and proposed roof heights (in blue text and boxed) for comparison.



DISCUSSION (continued):

As explained in the applicant's response letter (Exhibit 22), the majority of the roof pitch was reduced from 6:12 to 5:12 and the plate heights were reduced by one-half to two feet throughout the residence. As noted on the roof plan (Sheet A2.2 of Exhibit 24), the maximum roof height was reduced from 426.75 feet to 424.25 feet. With this height reduction, the countable attic floor area within the roof form was reduced by 178 square feet, reducing the overall proposed floor area from 4,343 square feet to 4,256 square feet.

The updated building sections on Sheets A4.1 – A4.3 show maximum height along each section, but that height line is drawn to the top of the finished floor, while height is measured to existing grade below. The maximum proposed height of the updated Parcel 2 residence would be approximately 22 feet, therefore an exception from the 18-foot height limit is still required. The maximum height of the previous proposal was approximately 24 feet, six inches.

In addition to the height reduction, the applicant has added landscape screening behind the proposed residence. The landscaping is located to the east of the building footprint, compliant with the Fire Defensible Space requirements, to help address neighbor concerns regarding visibility and massing of the proposed residence. As noted on Sheet L-7 of Exhibit 24, four new, native 24-inch box trees would be placed roughly 40 feet east of the rear of the residence, along with a mixture of shrubs.

The proposed footprint would remain the same. The application would still require exceptions to the HDS&G for maximum height of visible homes in the hillsides, maximum height of the lowest finished floor of a structure above existing grade, maximum cut for the rear yard area adjacent to the residence, maximum cut and fill for the private driveway and fire turnaround area, and maximum retaining wall heights, as noted on pages 8 through 10 of the November 21, 2022, Planning Commission meeting staff report. The applicant has also added two small retaining walls at the downhill side (north side) to allow for additional landscape screening and to reduce the visibility of the home from the north as shown on Sheet C-9 of Exhibit 24.

PUBLIC COMMENTS:

Story poles and project signage were originally installed on the site on October 24, 2022. To show the updated massing with reduced heights, revised story poles with blue netting was installed on the site along with the original poles and orange netting on December 23, 2022 (Exhibit 25). Staff was informed on January 4, 2023 that the poles and netting on the site were damaged by the recent storms (Exhibit 26) a few days after the installation. The applicant is unable to correct the damaged story poles prior to the January 11, 2023 Planning Commission hearing. If the Planning Commission feels the story poles need to be installed prior to taking action on the applications, the item can be continued to a date certain to allow the applicant time to correct the story poles and netting.

PUBLIC COMMENTS (continued):

No public comments following the November 21, 2022, Planning Commission hearing have been received.

CONCLUSION:

A. Summary

The applicant has submitted revised development plans (Exhibits 23 and 24) and conducted additional neighborhood outreach (Exhibit 21) in response to the Planning Commission's direction.

B. Recommendation

Should the Planning Commission determine that the revised project meets the direction provided at the November 21, 2022 meeting and finds merit with the proposed project, the Commission can take the actions below to approve the Architecture and Site applications:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction, and consistent with the previously prepared Notice of Exemption (NOE) (Exhibit 2);
2. Make the finding that the project complies with the applicable sections of the Hillside Development Standards and Guidelines with requested exceptions for: maximum allowed height of visible homes in the hillsides; maximum height of the lowest finished floor of a structure above existing grade; maximum cut for the rear yard areas adjacent to the proposed residence; maximum cut and fill for the shared driveway and fire turnaround area; and maximum retaining wall height (Exhibit 2);
3. Make the finding that the project complies with the Hillside Specific Plan (Exhibit 2);
4. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
5. Approve Architecture and Site Applications S-21-004 and S-21-023 with the conditions contained in Exhibit 3 and the updated development plans in Exhibits 23 and 24.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the applications with additional and/or modified conditions; or
3. Deny the applications.

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SUBJECT: 400 Surmont Drive/S-21-004 and S-21-023

DATE: January 6, 2023

EXHIBITS:

Previously received with the November 21, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Subdivision Notice of Exemption
5. Project Description/Letter of Justification
6. Property Photos
7. Color and Materials Board – Parcel 1
8. Color and Materials Board – Parcel 2
9. Visibility Analysis
10. Consulting Architect's Report
11. Applicant's Response to Consulting Architect's Report
12. Consulting Arborist's Report
13. Applicant's Response to Consulting Arborist's Report
14. Neighbor Outreach Summary
15. Development Plans – Parcel 1
16. Development Plans – Parcel 2
17. Public Comments
18. Applicant's Response to Public Comments

Previously received with the November 21, 2022 Desk Item Report:

19. Public Comment received between 11:01 a.m., Friday November 18, 2022, and 11:00 a.m., Monday, November 21, 2022
20. Applicant's Response to Public Comments in Exhibit 17

Received with this Staff Report:

21. Updated Neighbor Outreach Summary
22. Applicant's Summary of Design Changes
23. Updated Development Plans – Parcel 1
24. Updated Development Plans – Parcel 2
25. Updated Story Pole Pictures and Certification Letter, installed December 23, 2022
26. Pictures of damaged story poles following storm, received January 4, 2023

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**From:** [Bess Wiersema](#)  
**To:** [Ryan Safty](#); [Terence J. Szewczyk](#); [Jennifer Armer](#); [bob](#); [Ana Manzo](#)  
**Subject:** email for the record regarding outreach  
**Date:** Friday, December 2, 2022 9:20:47 AM

---

**EXTERNAL SENDER**

Ryan,

Per our email chain, I am providing you documentation that should go on record for PC. We were all a little shocked and surprised that the consensus seemed to be we had not done neighbor outreach. In fact, it has been significant. Terry will provide a brief summary and attachments so you can forward those to the commissioners as well. As you know, this has been a lengthy process, and my client (and our team) has been very proactive in accommodating comments whether they are related to roads, drainage, fire, visibility, garbage cans, etc. I think it's very important that all parties are aware of the outreach from the start, as well as the fact that we are again, working with an expanded neighborhood, rather than the "immediate" neighborhood that is mandated in Design Guidelines, etc.

Thanks,

B

**From:** [REDACTED]  
**To:** [Ryan Safty](#)  
**Subject:** SURMONT SUBDIVISION  
**Date:** Monday, December 19, 2022 8:46:22 AM  
**Attachments:** [Surmont Subdivision Letter.pdf](#)  
[400 Surmont Parcel 1 RevPlansElevs-1.pdf](#)  
[400 Surmont Parcel 2 RevPlansElevs-2.pdf](#)  
[Surmont Subdivision Mailing List\(1\).docx](#)  
[rev2\\_400 Surmont Site Plans - Defensible Area.pdf](#)

---

EXTERNAL SENDER

Hi Ryan

The attached items were included in a mailing to the neighbors listed on the attached Mailing list on Friday, December 16th.

Thanks

Bob

Robert O. Hughes  
**THE BUILDING WORKS**  
A CORPORATION  
License No. 442850

[REDACTED]

[REDACTED]

[REDACTED]





December 12, 2022

Re: **SURMONT SUBDIVISION**

In consideration of the comments offered by the neighbors to the project and the Planning Commission members, the following changes have been made to the proposed project:

- To work toward an 18' overall height for both homes, our Architectural and Engineer teams have lowered the plate (ceiling) heights and reduced the roof pitch. Refer to the enclosed elevation plans. Please note the revised plans do not reflect the finish material. These plans are to demonstrate the height changes only.

The story poles will be modified to reflect the lower heights in the week of December 19<sup>th</sup>. Blue netting will demonstrate the lower heights.

- To achieve screening at the project, it was necessary to comply with the Fire Defensible Space Zones. This requires no trees can be planted and only irrigated shrubs are allowed from a distance of 30' from Building, Decks, and other Structures. In the area of 30' to 100' from Buildings, Decks, and other Structures, trees can be planted, but far enough apart that a minimum distance of 10' between branches and adjoining shrubs shall be maintained at all times.

Given these conditions, screening trees and/or scrubs will be planted at a minimum of 30' from the rear of both homes to achieve screening from neighboring homes. Refer to the enclosed site plans showing the Fire Defensible Space Zones and proposed planting,

If you have any questions and/or comments on any issues pertaining to these two proposed homes, please contact me via e-mail or by telephone by way of the information provided on my enclosed business card.

Respectively Submitted  
THE BUILDING WORKS

ROH/bs

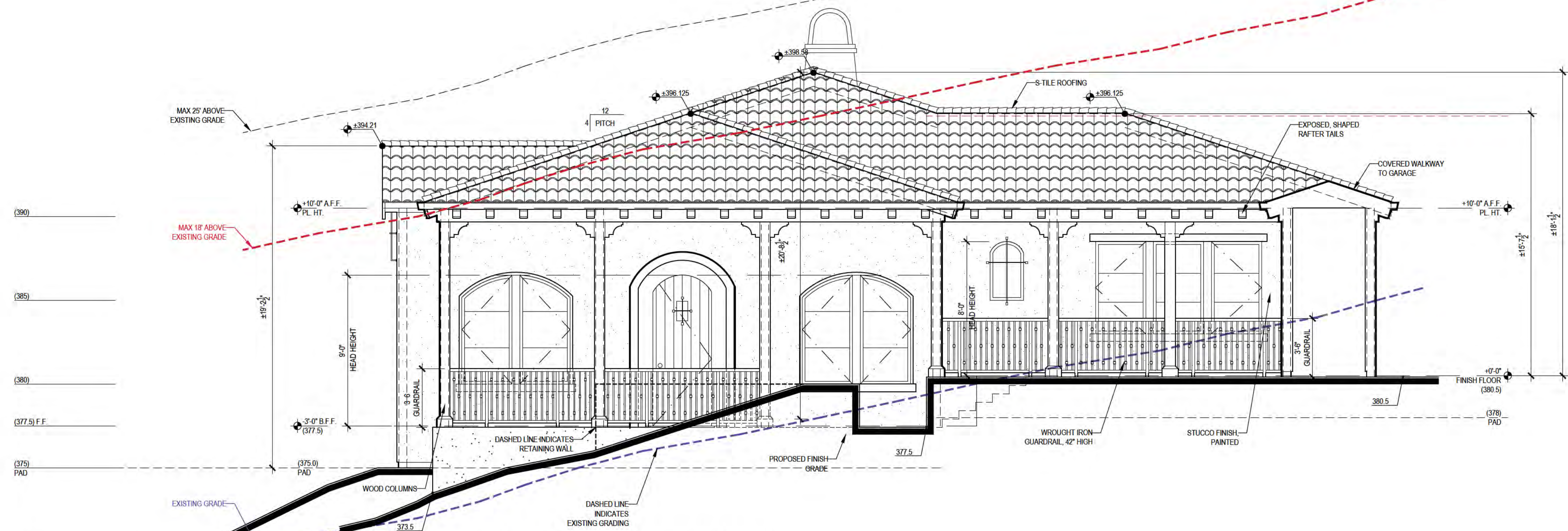
Robert O. Hughes  
President

cc: Ryan Safty, Planner, Town of Los Gatos

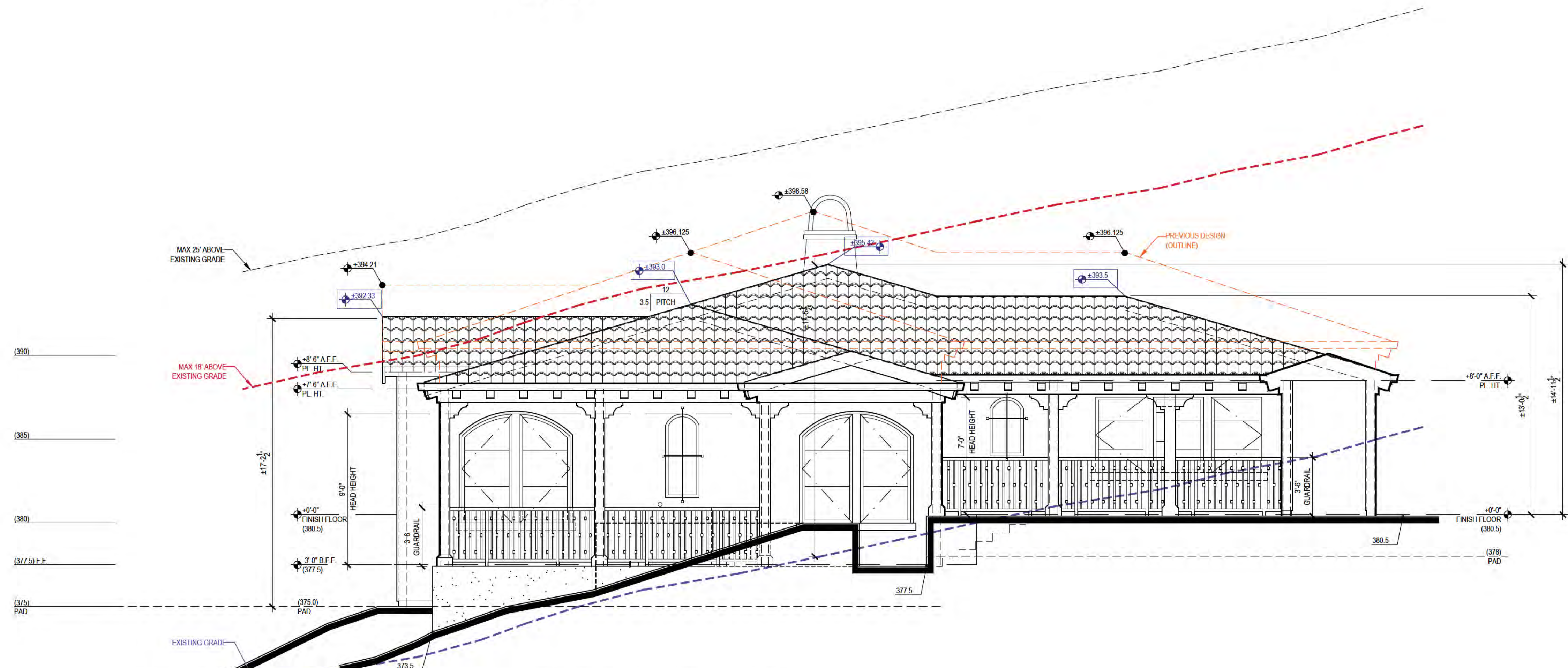


PROPOSED MATERIALS	
WINDOWS:	KOLBE, OR APPROVED EQ. GREEN TEA LEAF ALUMINUM CLAD EXTERIOR, WOOD INTERIOR
WINDOW TRIM:	CAST STONE
ROOFING MATERIAL:	CLAY ROOF TILE, MCA B330-R, OLD SANTA BARBARA BLEND, OR APPROVED EQ.
STUCCO:	SMOOTH FINISH, BENJAMIN MOORE HC-25, QUINCY TAN, OR APPROVED EQ.
WOOD COLUMNS:	DARK WOOD STAIN
RETAINING WALLS:	STUCCO FINISH (CONCRETE (POURED IN PLACE))

- TOWN NOTES:**
- ALL EXTERIOR FIXTURES WILL COMPLY WITH TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND SHIELDED FROM NEIGHBORS VIEW
  - ALL EXTERIOR FIXTURES, LOCATIONS, TYPE AND NUMBER WILL COMPLY WITH TOWN REQUIREMENTS



1 - WEST (FRONT) ELEVATION  
PARCEL #1



1 - WEST (FRONT) ELEVATION  
PARCEL #1  
REVISED ELEVATION

PLANNING COMMISSION  
COMPARISON



STUDIO THREE DESIGN  
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION  
638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032  
T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

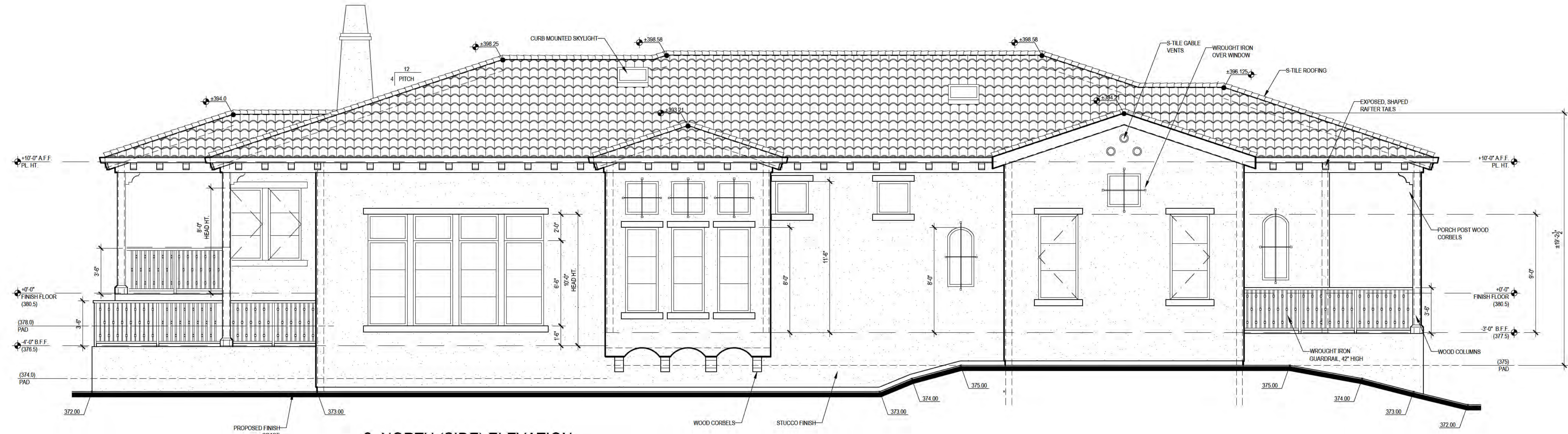
- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
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- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V

SCALE: 1/4" = 1'-0"

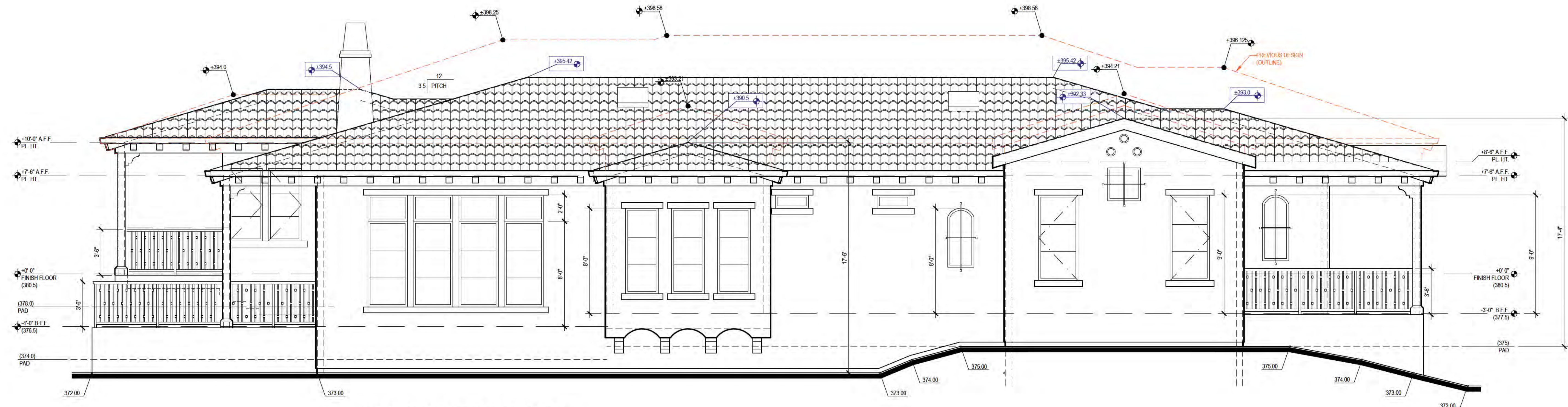
EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

**A3.5**





2-NORTH (SIDE) ELEVATION  
PARCEL #1



2-NORTH (SIDE) ELEVATION  
PARCEL #1  
REVISED ELEVATION

PLANNING COMMISSION  
COMPARISON

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
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PLANNING SUBMITTAL
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V

SCALE: 1/4" = 1'-0"

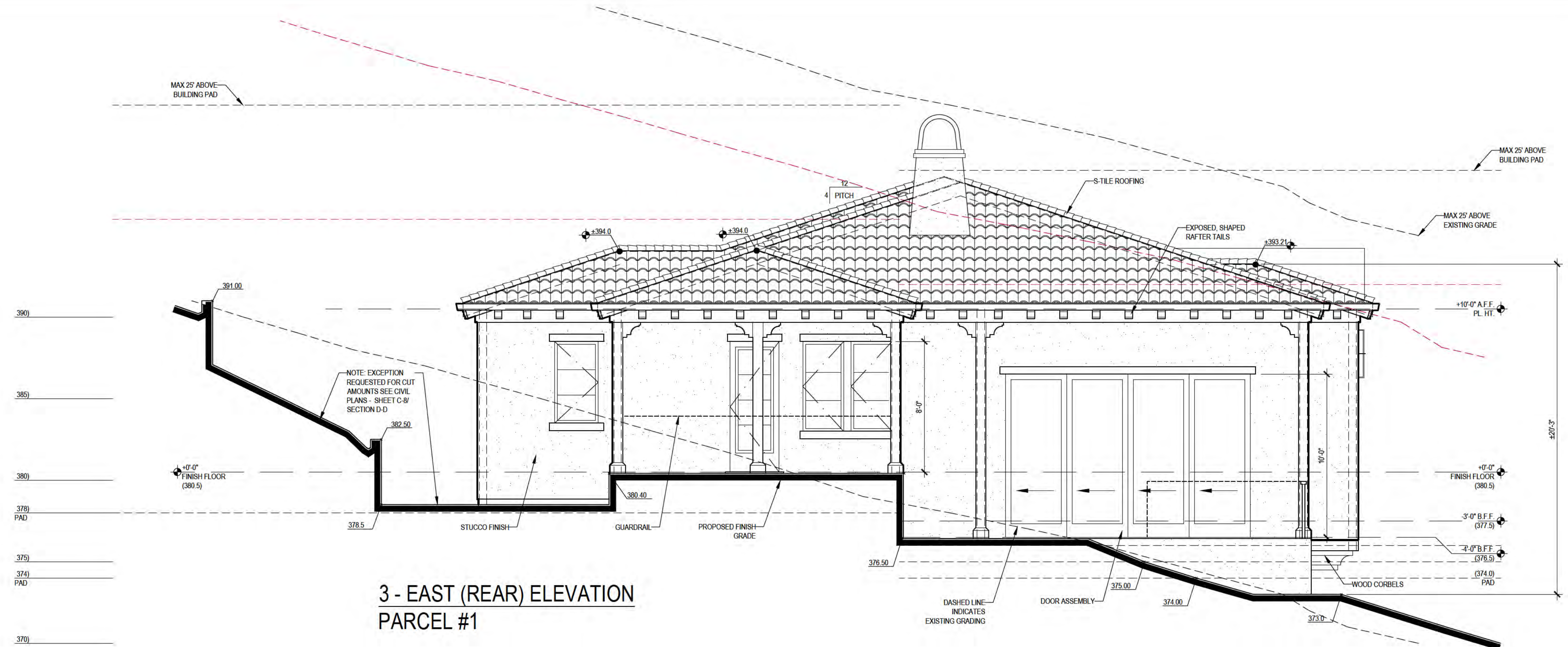
EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)



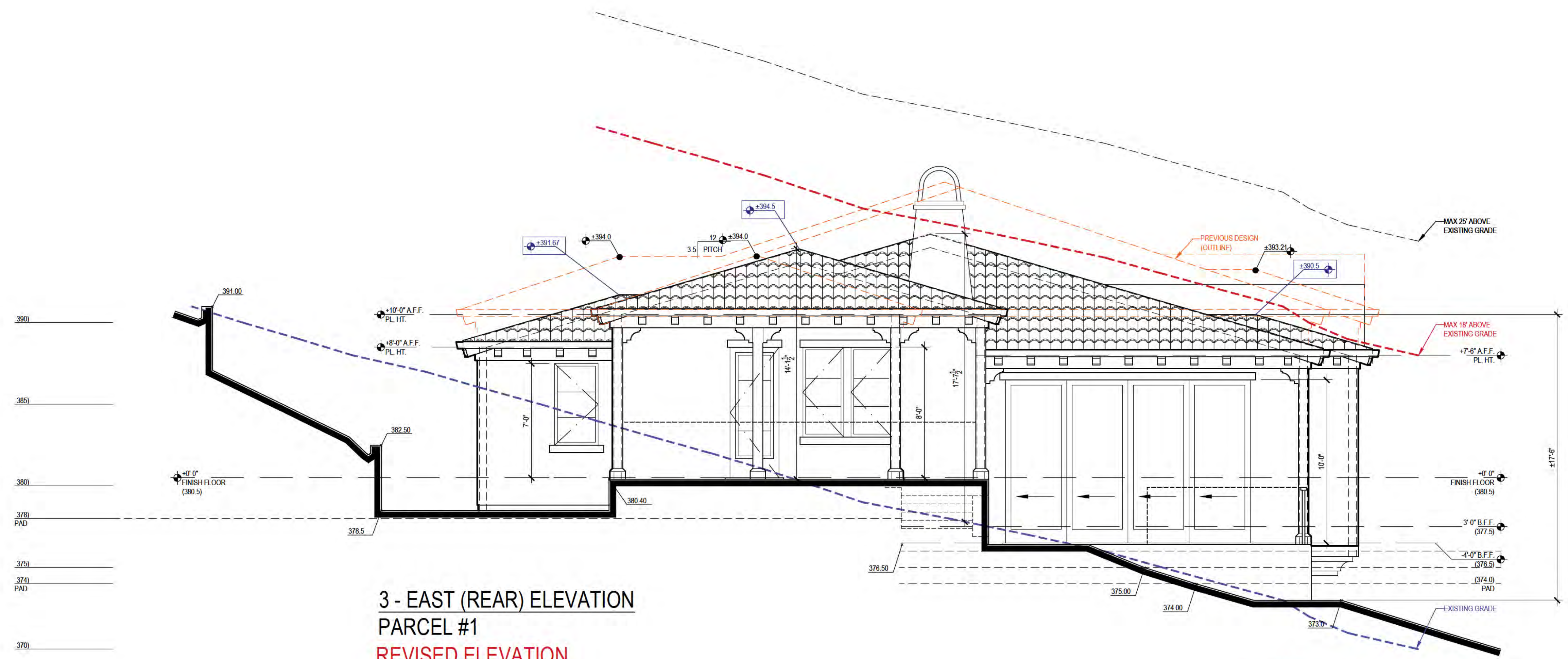
PROPOSED MATERIALS	
WINDOWS:	KOHLER, OR APPROVED EQ. GREEN TEA LEAF ALUMINUM CLAD EXTERIOR, WOOD INTERIOR
WINDOW TRIM:	CAST STONE
ROOFING MATERIAL:	CLAY ROOF TILE, MCA B330-R, OLD SANTA BARBARA BLEND, OR APPROVED EQ.
STUCCO:	SMOOTH FINISH, BENJAMIN MOORE HC-25, QUINCY TAN, OR APPROVED EQ.
WOOD COLUMNS:	DARK WOOD STAIN
RETAINING WALLS:	STUCCO FINISH (CONCRETE (POURED IN PLACE))

**TOWN NOTES:**

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**3 - EAST (REAR) ELEVATION  
PARCEL #1**



**3 - EAST (REAR) ELEVATION  
PARCEL #1  
REVISED ELEVATION**

**PLANNING COMMISSION  
COMPARISON**



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION  
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T 408.292.3252  
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400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

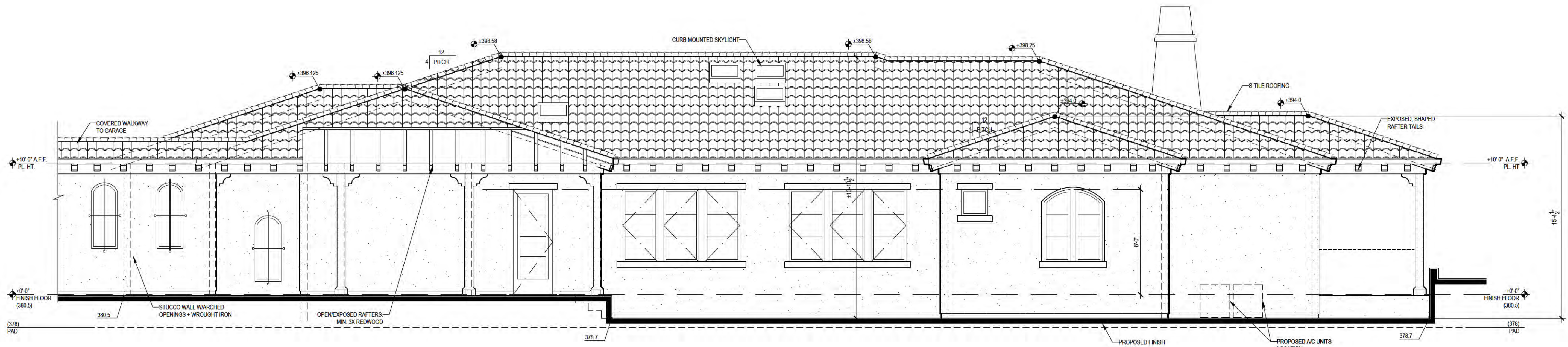
- 20 AUGUST 2019
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PLANNING SUBMITTAL
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V

SCALE: 1/4" = 1'-0"

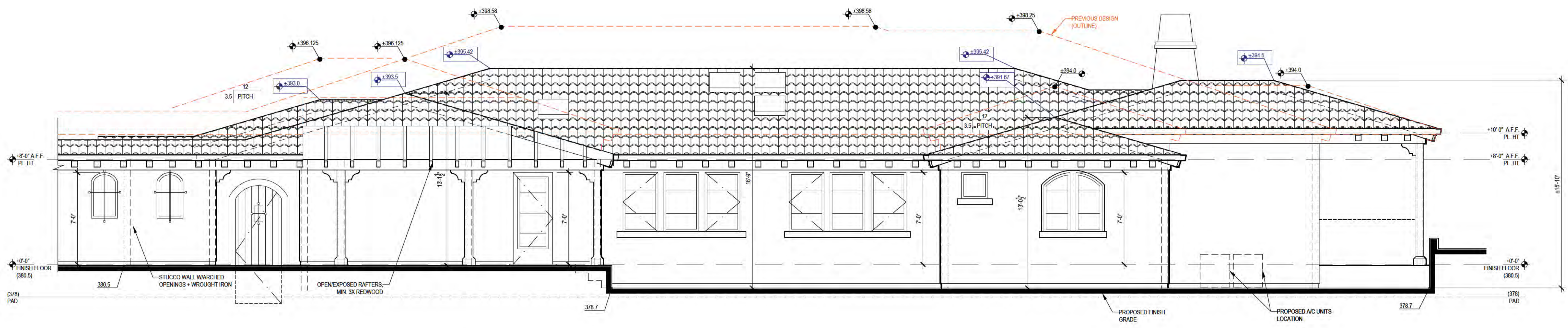
EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

**A3.7**





4- SOUTH (SIDE) ELEVATION  
PARCEL #1



4- SOUTH (SIDE) ELEVATION  
PARCEL #1  
REVISED ELEVATION

PLANNING COMMISSION  
COMPARISON

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL I
- 23 AUGUST 2021  
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V

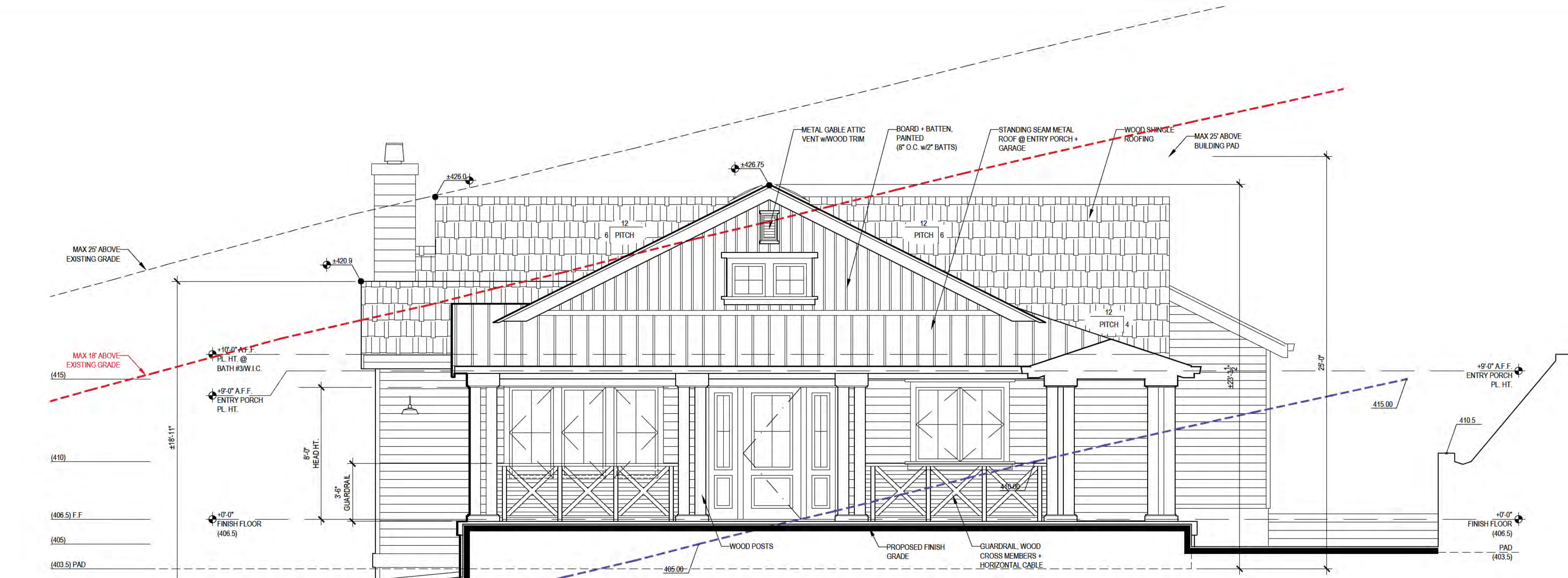
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

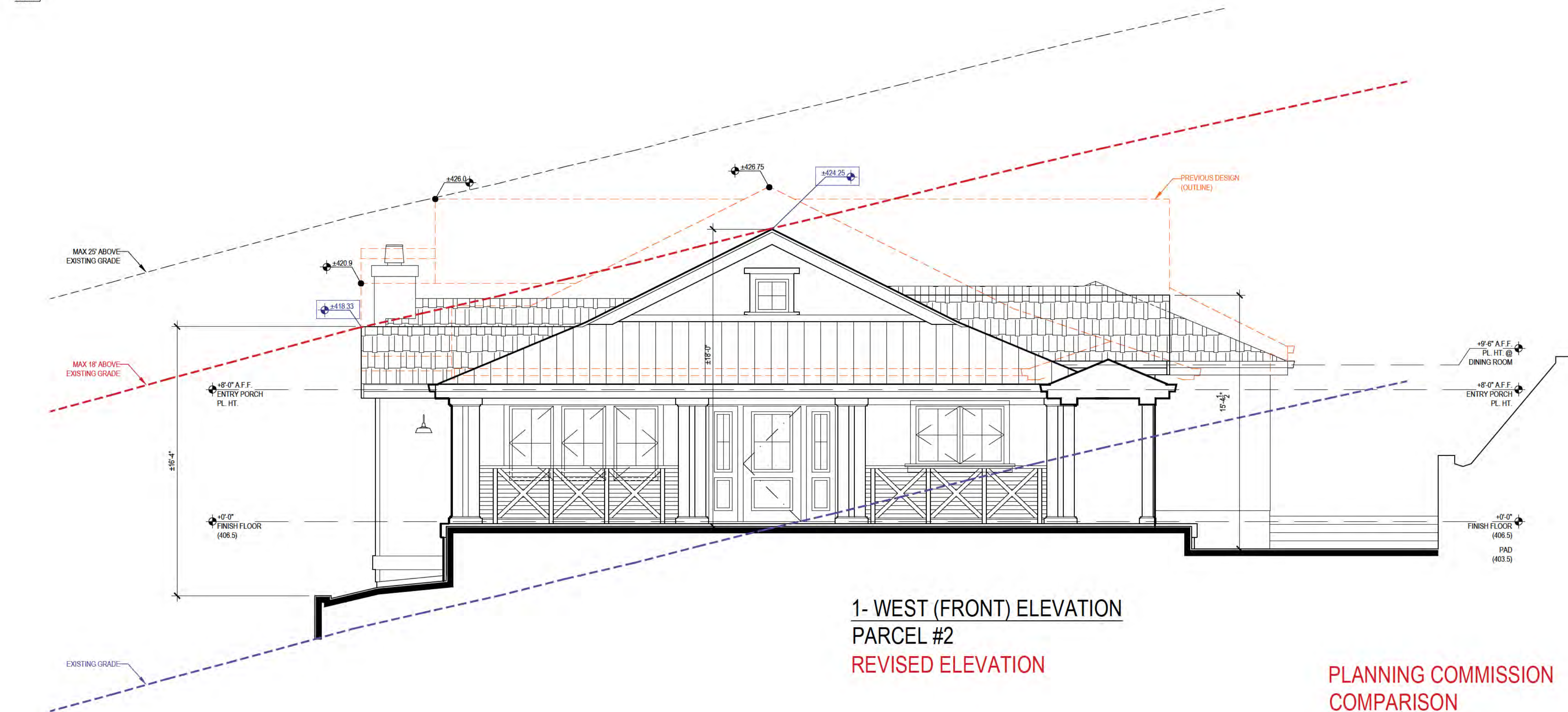


PROPOSED MATERIALS	
WINDOWS:	KOLBE, OR APPROVED EQ. BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR
WINDOW TRIM:	PAINTED WOOD, BENJAMIN MOORE HC-190, BLACK
ROOFING MATERIAL:	METAL, STANDING SEAM ROOF; CHARCOAL GRAY, WOOD ROOF SHINGLES, TREATED
SIDING:	BOARD + BATTEN VERTICAL SIDING, HORIZONTAL SIDING, BENJAMIN MOORE HC-168, CHELSEA GRAY
WOOD COLUMNS:	DARK WOOD STAIN
RETAINING WALLS:	BOARD FORM FINISH

- TOWN NOTES:**
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1- WEST (FRONT) ELEVATION  
PARCEL #2



1- WEST (FRONT) ELEVATION  
PARCEL #2  
REVISED ELEVATION

PLANNING COMMISSION  
COMPARISON

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
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PLANNING SUBMITTAL V

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

**A3.5**

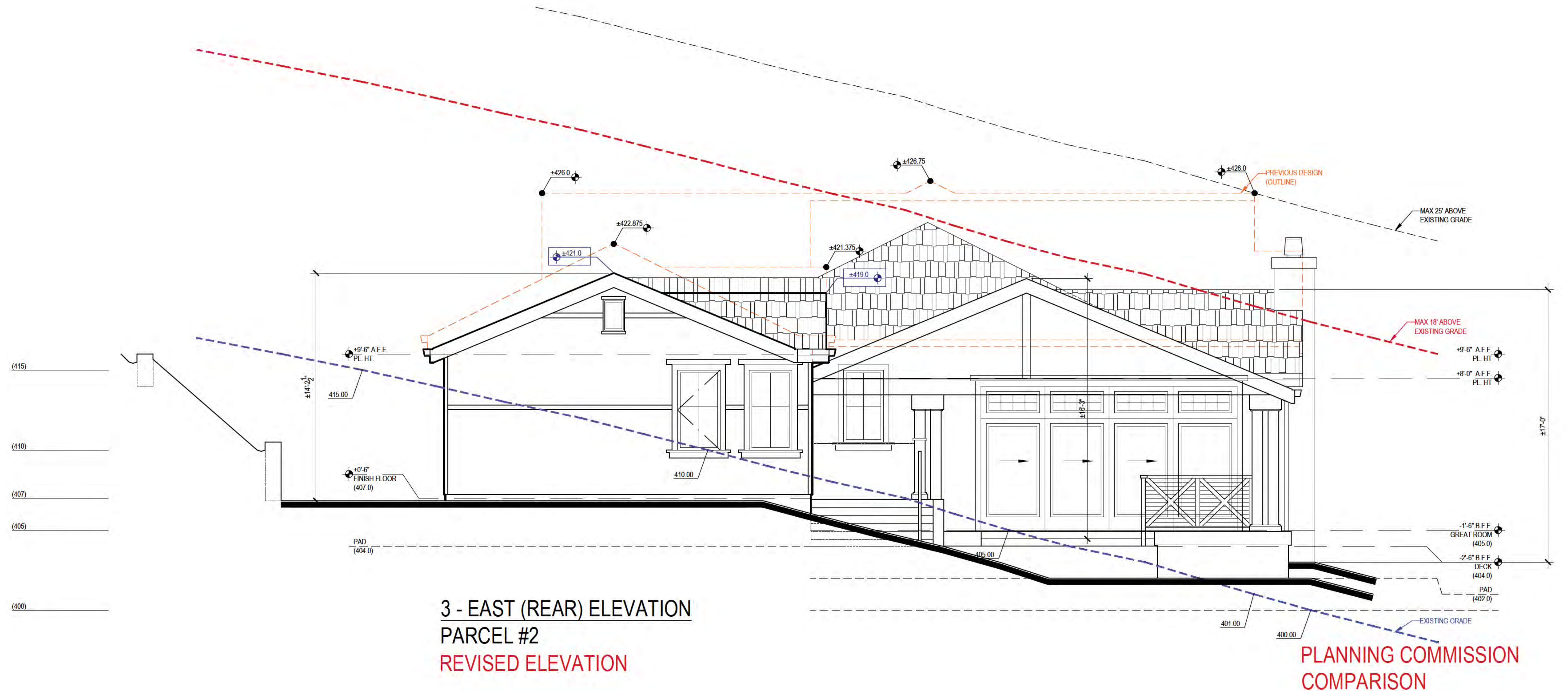
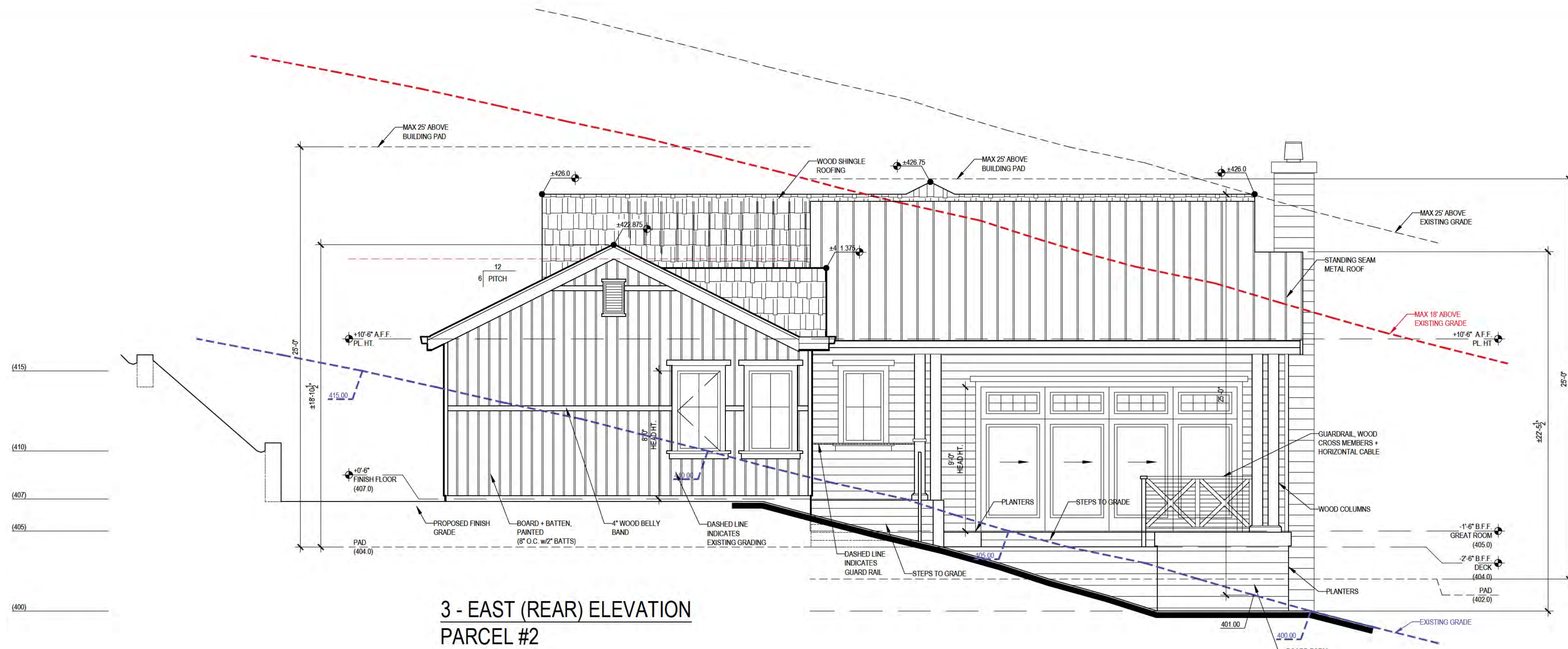






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400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
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PLANNING SUBMITTAL V

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

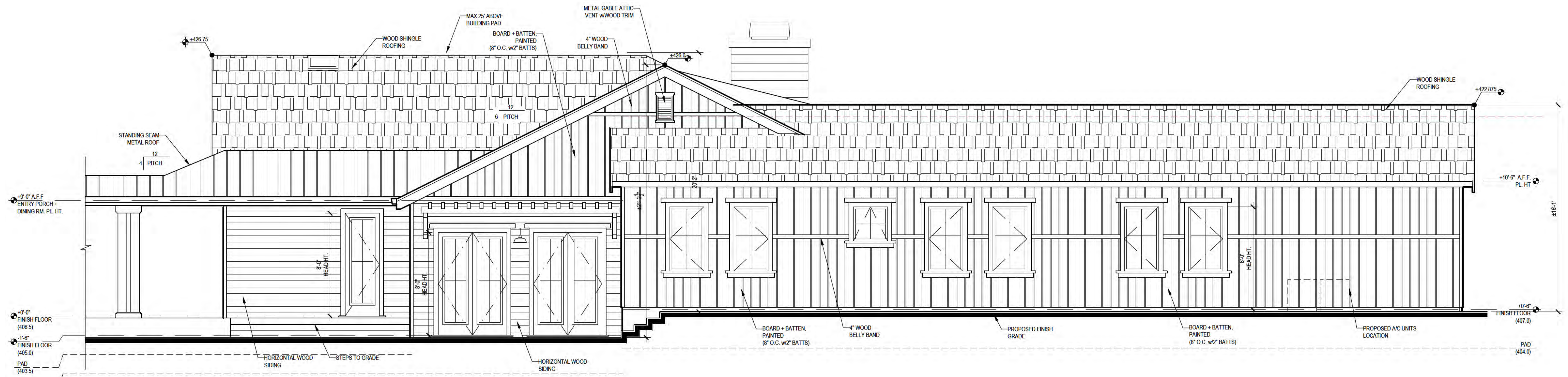




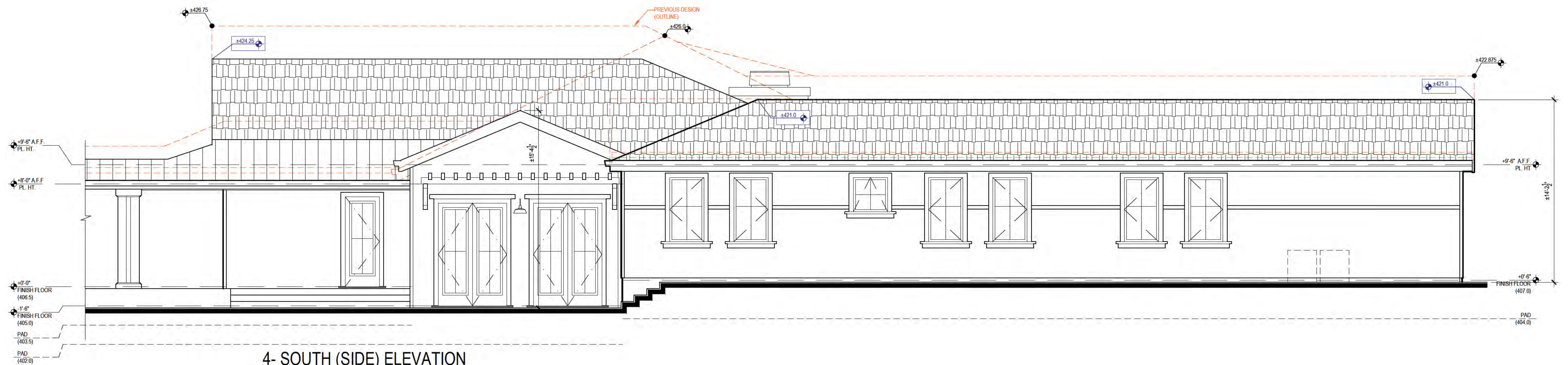
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



4- SOUTH (SIDE) ELEVATION  
PARCEL #2



4- SOUTH (SIDE) ELEVATION  
PARCEL #2  
REVISED ELEVATION

PLANNING COMMISSION  
COMPARISON

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
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95032

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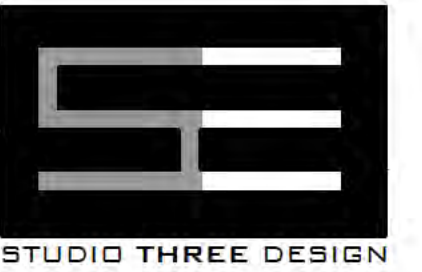
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
(PLANNING COMMISSION  
COMPARISON)

A3.8



PROPOSED TREES + PLANT LIST



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
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CALIFORNIA  
95032

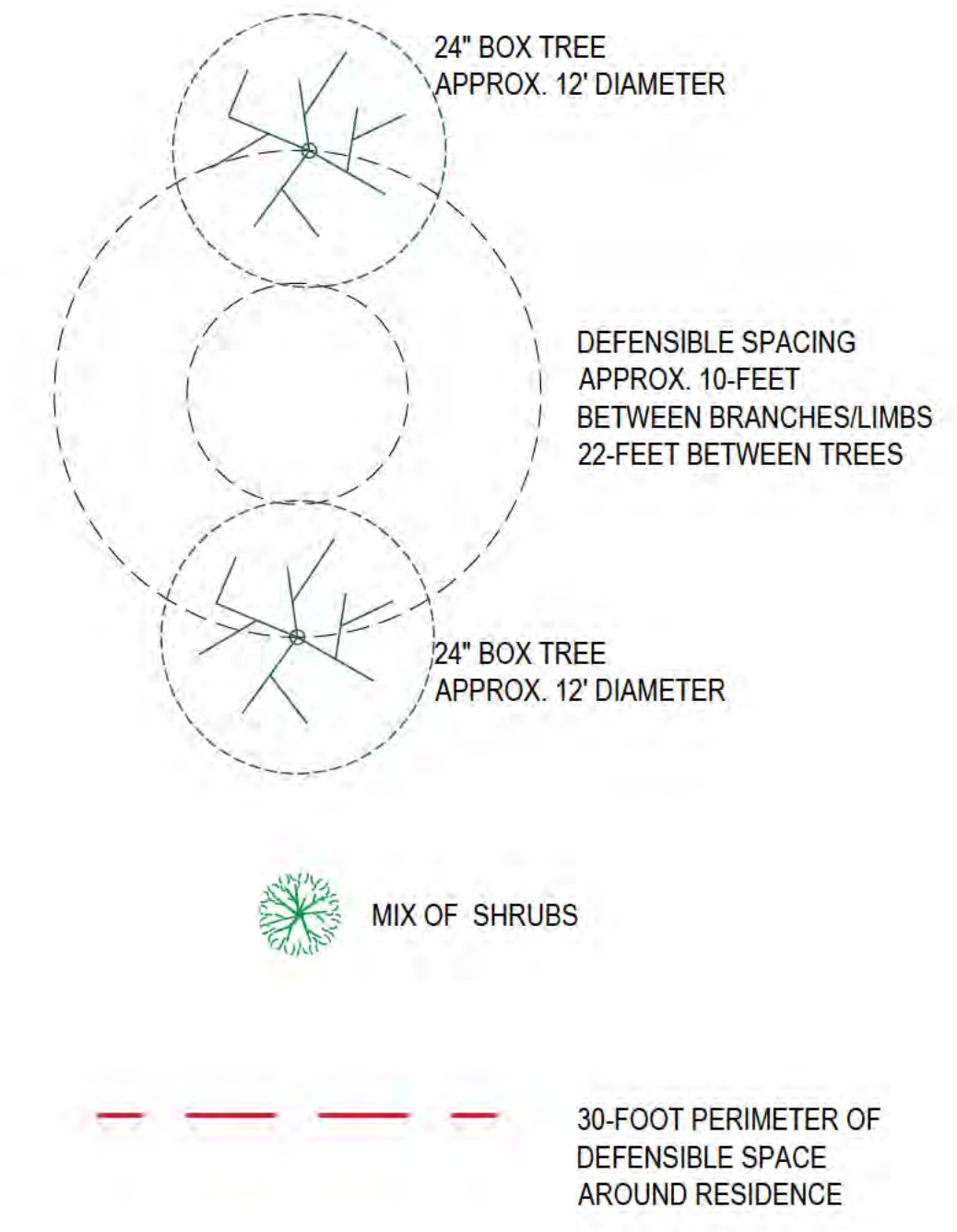
T 408.292.3252  
F 253.399.1125

Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

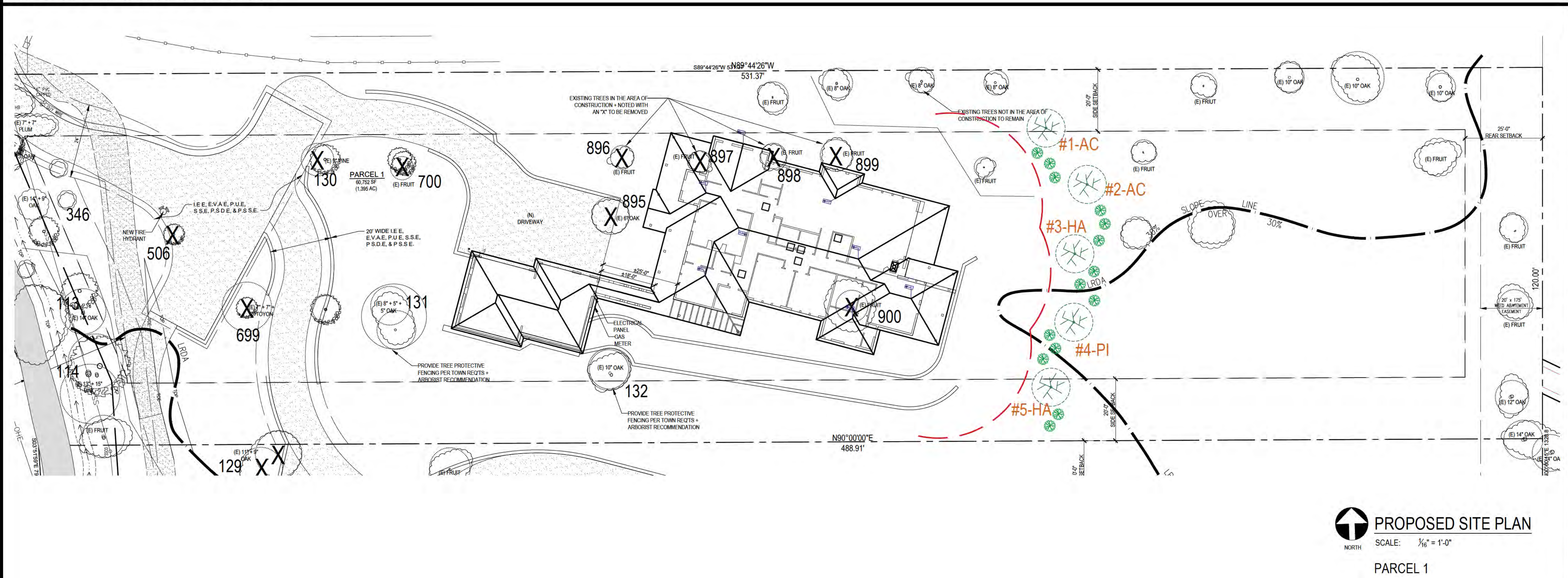
Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.

### PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	8	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLY LEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crumosa</i>	WOOLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ca	5	<i>Corryza elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
La	26	<i>Lepedaria calycina</i>	WHITE PTICHER SAGE	5 gal	LOW	YES/CA
Ra	2	<i>Rhamnus californica</i>	CALIFORNIA COFFEE BERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Seyninchum bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA



SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

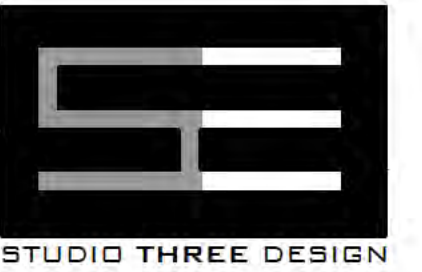
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**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PARCEL 1

SCALE: AS NOTED  
PROPOSED LANDSCAPE SCREENING



PROPOSED TREES + PLANT LIST



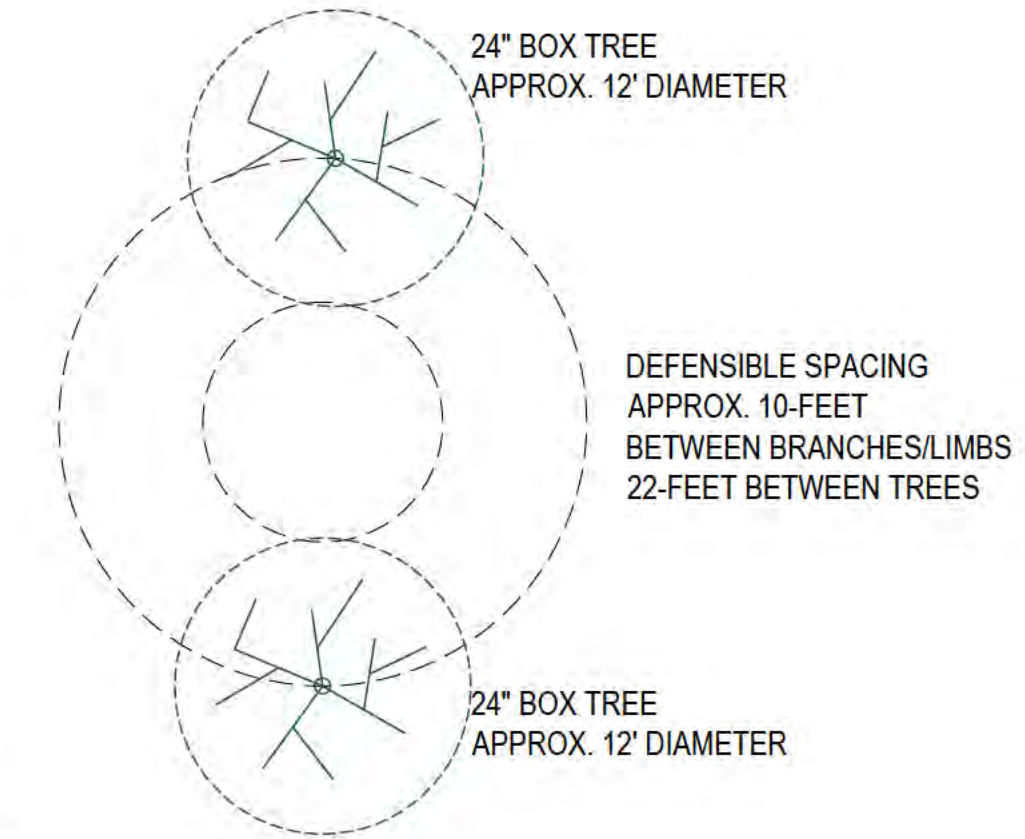
INTERIORS  
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638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032  
T 408.292.3252  
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Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.

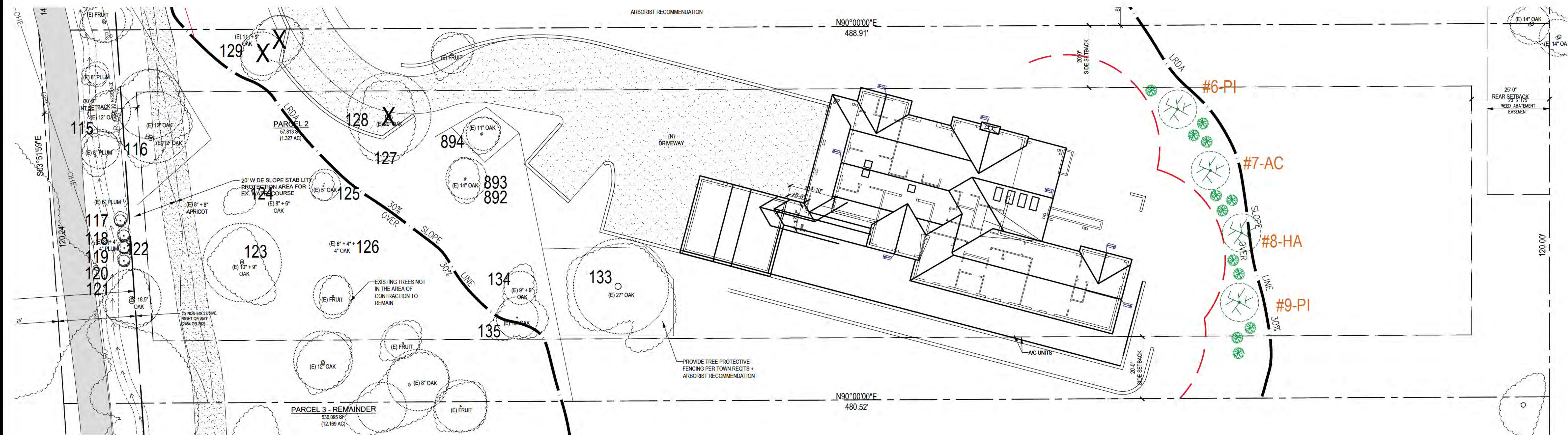
### PROPOSED TREE & PLANT LIST

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<b>Trees</b>						
Ac	5	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Aretostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	5	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
La	26	<i>Lepedaria calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Ra	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mo	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA



MIX OF SHRUBS  
30-FOOT PERIMETER OF DEFENSIBLE SPACE AROUND RESIDENCE

SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
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PLANNING SUBMITTAL V

SCALE: AS NOTED

PROPOSED LANDSCAPE SCREENING

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PARCEL 2



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December 19, 2022

Studio Three Design has prepared a summary of changes based on the Planning Commission Special Meeting on November 21, 2022. The following are the changes for each parcel:

**PARCEL 1 (S-21-004):**

- No exceptions will be requested for height, only the grading ones that were received and seemingly accepted at Planning Commission.
- Roof pitch reduced from 4:12 to 3.5:12
- Underfloor exception requested at North side, see sheet A4.3/Section F and sheet C8.
- Plate height at West elevations reduced at both levels from 10' to 7.5' and 8'
- Plate height at North elevation reduced from 10' to 8.5' at dining room
- Plate height at North elevation reduced overall from 10' to 7.5'
- Plate height at gable at Nook reduced from 10' to 7.5'
- Plate height reduced at South side from 10' to 8'
- Added Sheet L6 – Proposed Landscape Screening (Parcel 1), provides additional landscaping per neighbor's request and meets the fire / defensible space concerns of the owner.

**PARCEL 2 (S-21-023):**

- Request a minor height exception at East Elevation (portion of gable), see sheet A3.2, sheet A4.1/Section B, sheet A4.2/Section C. Overall main roof ridgelines under the 18'.
- The roof rework reduced the countable attic SF from 713 SF to 535 SF
  - Main House - 3,450 SF (no change)
  - Attic Area –535 SF (reduce)
  - Garage – 671 SF (no change)
  - Total – 4,656 SF (reduce 178 SF)
- Roof pitch was reduced from a 6:12 to a 5:12 (with one section of main ridge remaining at 6:12).
- Plate height at West elevation was reduced from 10' to 8', and 9' to 8' respectively across the split levels.
- Plate height at North elevation was reduced from 10' to 8' and 10.5' to 9.5' respectively
- Plate height at East elevation was reduced from 10.5' to 9.5', reduced Great Room + Covered Deck #1 from 10.5' to 8' (with gable at covered deck).
- Plate height at South elevation was reduced from 10.5' to 9.5'.
- Two small retaining walls (less than 3' in height) were added at the downhill side to allow for additional screening / landscaping as well as reduce the overall massing of the home and designed as planters, see sheet A4.2/Section C and sheet C9/Section E-E.
- Added Sheet L6 – Proposed Landscape Screening (Parcel 2), provides additional landscaping per neighbor's request and meets the fire / defensible space concerns of the owner.

The client will be providing a letter describing the additional neighborhood efforts he has made with regards to the noted privacy concerns from the neighbors in the expanded neighborhood. Revised story poles plans submitted and approved on 12/12/2022.

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## SCC FIRE DEPARTMENT NOTES

1. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

2. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. **Please indicate on the cover sheet that an automatic fire sprinkler system shall be provided and installed per NFPA 13D.**

3. **Fire Apparatus (Engine) Access Driveways Required:** Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum outside turning radius of 36-feet and a maximum slope of 15%. Installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 503.

4. **Fire Department (Engine) Driveway Turnaround Required:** Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. **Maximum grade in any direction shall be a maximum of 5%.** Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503 Driving surface shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34050 kg).

5. **Fire Hydrant Systems Required:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, onsite fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet. [CFC, Section 507.5.1].

6. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

7. **Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

8. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

## WATER FLOW LETTER



1265 S. Bascom Avenue  
San Jose, CA 95128-3514

Writer's Direct Line: (408) 279-7821  
Email: marty.henderson@sjwater.com

April 23, 2021

Northern California Fire Protection Services, Inc.  
16480 Joleen Way, Building A  
Morgan Hill, CA 95037

Attention: Rocci Cetani III, CET

Subject: 400 Surmont Dr., Los Gatos, CA

Dear Mr. Cetani:

On April 22, 2021, you requested fire protection water supply from a single outlet. Based on the information that was supplied by you, the table below provides the results of a water supply computer simulation at the location indicated. These results are valid for one year from the date of the simulation. Flow data is from the water distribution main, not from the meter connection. Elevations are interpolated from United States Geological Survey contours.

Flow Location:	Surmont Dr., approx. 165' S/S Surmont Ct.
Main Size:	Proposed 8 in.
Elevation:	364 ft.
Date of Computer Simulation:	April 23, 2021
Static Pressure:	82 psi
Residual Pressure:	75 psi
Simulation Discharge:	750 gpm

Determining the size of a Private Fire Protection Service or adequacy of a private fire protection system from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

Sincerely,

Marty Henderson  
Engineering Support Supervisor

For additional information  
Backflow: 408-279-7872  
Map requests: 408-918-7360  
Static water pressure: 408-918-7361  
Water meter sizing: 408-279-7839

MH:rh  
400 Surmont Dr.doc  
cc: Fire Flow File

## PROJECT DATA

**PROJECT ADDRESS:** 400 SURMONT DRIVE  
(CROSS STREET, WESTHILL DRIVE)  
**527-20-003**  
**LOT AREA** (FROM COUNTY RECORD) 60,752 SF (1.395 AC)  
**ZONING =** HR-2.5  
**LAND USE =** HILLSIDE RESIDENTIAL  
**FLOOD ZONE =** ZONE X  
**HISTORIC ZONE =** NO  
**FIRE SPRINKLERS =** YES  
**OCCUPANCY =** R3/U (SINGLE FAMILY DWELLING / UTILITY)  
**WUI FIRE AREA =** YES (WILDLAND URBAN INTERFACE)  
**HAZARD ZONE =** COUNTY FAULT RUPTURE HAZARD ZONE  
**V-B**  
**CONSTRUCTION TYPE=** V-B  
**REQUIRED PARKING:** 2 OFF STREET SPACES

<b>SETBACKS</b>	<b>ALLOWED</b>
FRONT:	30'
SIDE (INTERIOR):	20'
REAR:	25'

<b>BUILDING HEIGHT</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
HOUSE:	18' - 0" (MAX.)	± 18'-0"

### FLOOR AREA RATIO (FAR) CALCULATION

**Gross Lot Size:** 60,752 SF  
**Ave. Slope:** 27.3%  
**Net Lot Size:** 60,752 SF x (1-30% + 3% x 7) OR 60,752 x 49% = 29,768 SF

**Reduction of net site area on sloping lots**  
**Average lot slope: 20.01 - 30%**

**Percentage of net lot area to be deducted (30% = 3% for each 1% of slope over 20%)**  
**As Los Gatos IV Development Intensity Table 2, FAR = 19%**  
**Allowable Floor Area = 29,768 x 19% = 5,700SF**

<b>FLOOR AREA RATIO</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
<b>HABITABLE HOUSE</b>	5,700 SF	3,683 SF
<b>ATTIC AREA OVER 7-FEET</b>		N/A

<b>GARAGE:</b>	
GARAGE	996 SF
COVERED WALKWAY	106 SF
<b>TOTAL</b>	5,700 SF

## INDEX

**Architectural Plans**  
A1.1 Cover Sheet  
A1.2 Tree Preservation Req'ts + GreenPoint Checklist  
A1.3 Proposed Site Plan + Site Line Study  
T-1 Tree Protection Requirements  
A2.1 Proposed Floor Plan  
A2.2 Proposed Roof Plan  
A2.3 Proposed Garage Floor + Roof Plans  
A3.1 Proposed Exterior Elevations  
A3.2 Proposed Exterior Elevations  
A3.3 Proposed Exterior Elevations (Garage)  
A3.4 Proposed Exterior Elevations  
A4.1 Building Sections  
A4.2 Building Sections  
A4.3 Building Sections  
A4.4 Building Sections

**Landscape Plans**  
L1 Cover Sheet  
L2 Frontage + Driveway Proposed Tree + Planting Parcel 1 + 2  
L3 Parcel 1 Proposed Trees + Planting  
L4 Parcel 2 Proposed Trees + Planting  
L5 Tree Table  
L6 Proposed Landscape Screening (Parcel 1)  
L7 Proposed Landscape Screening (Parcel 2)

**Civil Plans**  
C-0 Cover Sheet  
C-1 Tentative Map (Previously Approved)  
C-2 Access Road Plan + Profile  
C-3 Utility Plan  
C-4 (Not included in this Submission)  
C-5 Access Road Plan + Profile  
C-6 Erosion Control Plan  
C-7 Erosion Control + Construction Details  
C-8 Parcel 1 Site Plan

**Owner:** Sandra K. Anderson, Trustee  
400 Surmont Drive  
Los Gatos, CA 95032  
C/O Bob Hughes (408) 559-8850  
**Designer:** Studio 3 Design  
Contact: Bess Wiersema  
bess@studio-three.com  
638 University Avenue  
Los Gatos, California 95032  
ph: (408) 292-3252  
fax: (253) 399-1125  
**Civil Engineer:** TS/Civil Engineering  
Contact: Terrance J. Szweczyk  
terry@tscivil.com  
1776 Technology Drive  
San Jose, California 95110  
ph: (408) 452-9300 EXT 220  
**Contractor:** The Building Works  
Contact: Robert O. Hughes  
bldgworks@aol.com  
2730 Union Avenue, Suite B  
San Jose, California 95124  
ph: (408) 559-8850  
fax: (408) 559-3075  
**Landscape Architect:** Alyson Flynn  
Landscape Architect & Associates  
Contact: Alyson Flynn  
50 San Tropez Drive  
Hollister, California 95023  
ph: (408) 274-4114

## CODES USED

The following codes are currently in effect:

2019 California Building Code	2019 California Existing Building Code
2019 California Residential Code	2018 International Existing Building Code
2019 California Electrical Code	2019 California Green Building Standards Code
2019 California Mechanical Code	Town of Los Gatos New Energy Reach Codes
2019 California Plumbing Code	
2019 California Energy Code	
2019 California Fire Code	

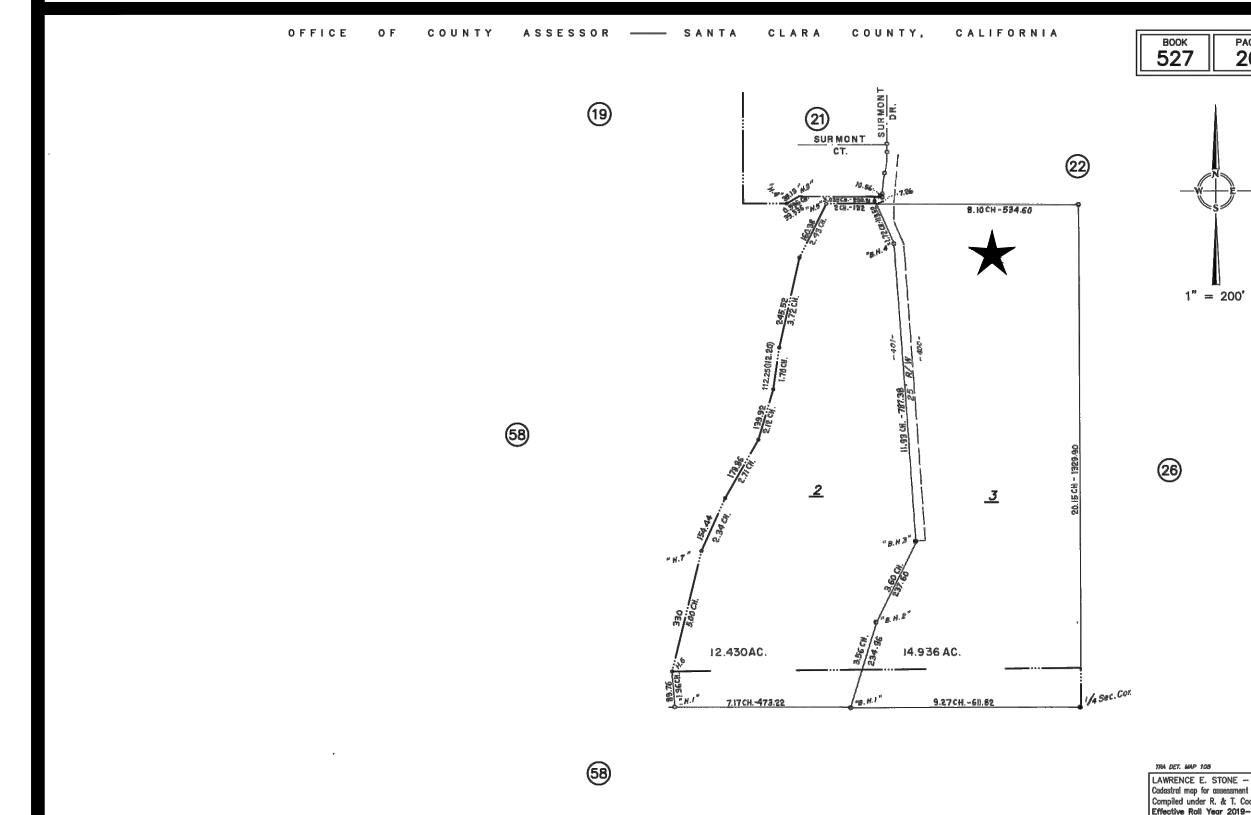
## PROJECT DESCRIPTION

This project is a new, one-story, single-family residence with an attached garage (connected via partially enclosed, covered walkway).

## DEFERRED SUBMITTAL(S)

- FIRE HYDRANT (PC 19-2053) - Hydrant installation shall occur prior to the commencement of combustible construction.
- AUTOMATIC FIRE SPRINKLER SYSTEM - PROVIDED + INSTALLED PER NFPA 13D

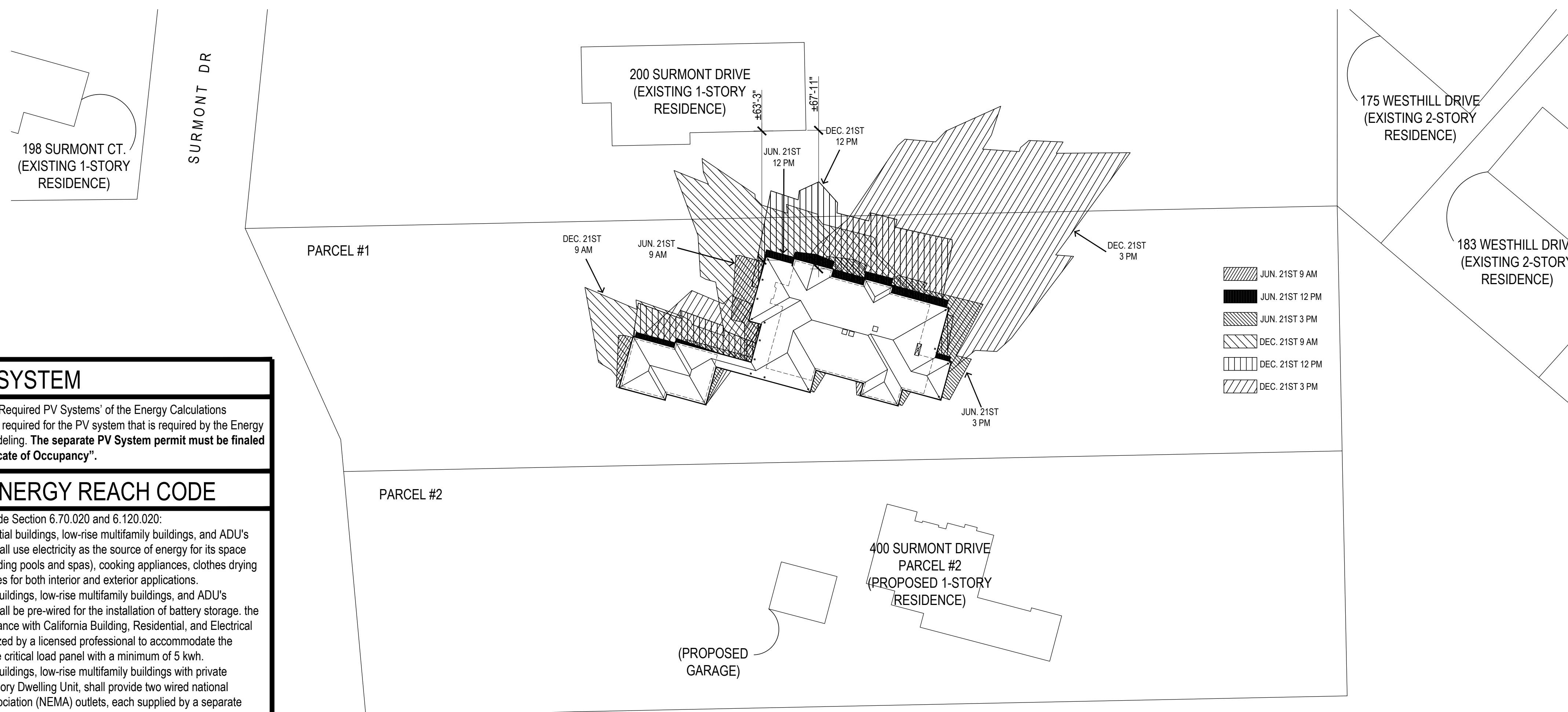
## PARCEL MAP



## VICINITY MAP



## SHADOW STUDY



## REQUIRED PV SYSTEM

- PV System 2.53 kWdc is a 'Required PV Systems' of the Energy Calculations
- A separate building permit is required for the PV system that is required by the Energy Calculations compliance modeling. **The separate PV System permit must be finalized prior to issuance of Certificate of Occupancy.**

## TOWN OF LG ENERGY REACH CODE

In accordance with the Town Code Section 6.70.020 and 6.120.020:

- All new single-family residential buildings, low-rise multifamily buildings, and ADU's (Accessory Dwelling Unit) shall use electricity as the source of energy for its space heating, water heating (including pools and spas), cooking appliances, clothes drying appliances, and other features for both interior and exterior applications.
- All single-family residential buildings, low-rise multifamily buildings, and ADU's (Accessory Dwelling Unit) shall be pre-wired for the installation of battery storage. The pre-wiring shall be in accordance with California Building, Residential, and Electrical Codes and be adequately sized by a licensed professional to accommodate the back-up loads installed in the critical load panel with a minimum of 5 kwh.
- All single-family residential buildings, low-rise multifamily buildings with private garages, and ADU's (Accessory Dwelling Unit), shall provide two wired national electrical manufacturers association (NEMA) outlets, each supplied by a separate 40-ampere minimum dedicated branch circuit, and shall be installed specifically for supplying electrical power to an electric vehicle charger. One outlet shall be installed inside the garage and the other outlet shall be installed outside the garage.



INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
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CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

20 AUGUST 2019

31 JANUARY 2020  
PLANNING SUBMITTAL

23 AUGUST 2021  
PLANNING SUBMITTAL II

16 NOVEMBER 2021  
PLANNING SUBMITTAL III

29 APRIL 2022  
PLANNING SUBMITTAL IV

08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: N/A

COVER SHEET

**A1.1**

EXHIBIT 23



# TREE PRESERVATION INSTRUCTIONS

The Los Gatos Town Code requires a tree removal permit in order to remove any tree designated as a Protected Tree under the Town Code. The Town Code also requires a permit to prune more than 25% of a Protected Tree within a 3-year period, or to remove or cut any branch or root greater than 4 inches in diameter of any Large Protected Tree or Heritage Tree (see definitions below). Property owners may be subject to significant fines and civil actions by the Town if removal or pruning requiring a permit is done without first obtaining a permit.

## Protected Tree(s)

Protected Trees are defined in the Town Code as any of the following:

- All trees which have a 12 inch or greater diameter on developed residential property.
- All trees which have an 8 inch or greater diameter on developed Hillside residential property.
- All trees of the following species which have an 8 inch or greater diameter located on any developed residential property:
  - Blue Oak (*Quercus douglasii*)
  - Black Oak (*Quercus kelloggii*)
  - California Buckeye (*Aesculus californica*)
  - Pacific Madrone (*Arbutus menziesii*)
- All trees which have a 4 inch or greater diameter on vacant or non-residential property.
- All trees which have a 4 inch or greater diameter when removal relates to any development review.
- Any tree that was required to be planted or retained by the terms and conditions of a development approval, building permit, tree removal permit or code enforcement action.

## Large Protected Tree(s) or a Heritage Tree (s)

A *Large Protected Tree* is any tree with a diameter of 48 inches or more. In addition, all Oak, California Buckeye, and Pacific Madrone with a diameter of 24 inches or more are considered Large Protected Trees.

A *Heritage Tree* is a tree specifically designated by action of the Town Council which possesses exceptional aesthetic, biological, cultural, or historic value to the community.

## Diameter of a Tree(s)

Diameter is measured at a height of 4.5 feet above the average natural grade. For multi-trunked trees, diameter is the sum of all trunk diameters measured at 4.5 feet above the average natural grade.

A permit is not required for removal or major pruning of any of the following trees:

- A fruit or nut tree less than 18 inches in diameter.
- Any of the following trees that are less than 24 inches in diameter:
  - Black Acacia (*Acacia melanoxylon*)
  - Tulip Tree (*Liriodendron tulipifera*)
  - Tree of Heaven (*Ailanthus altissima*)
  - Blue Gum Eucalyptus (*E. globulus*)
  - Red Gum Eucalyptus (*E. camaldulensis*)
  - Other Eucalyptus (*E. spp.*)—**Hillsides only**
  - Palm (except *Phoenix canariensis*)
  - Privet (*Ligustrum lucidum*)

## Dangerous Tree(s)

A tree may be removed or severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are still required to notify the Town prior to any removal or pruning and must receive approval from the Town before taking any emergency action. Contact the Parks and Public Works Department at (408) 359-5770 Monday through Friday between the hours of 7:00 a.m. to 4:00 p.m. or the Police Department at (408) 354-8600 after hours or on weekends to report a dangerous tree and request approval for removal or pruning without a permit. Within 72 hours following removal or pruning, photos and a description of the emergency action taken must be submitted to the Department of Parks and Public Works.

## Requirements for a Removal or Pruning Permit \*

The following items are required to apply for a tree removal or pruning permit:

- A completed application signed by the property owner. Applications are available online at <http://www.losgatosca.gov/DocumentCenter/View/14925> or at the Parks and Public Works Department, Monday through Friday between the hours of 8:00 a.m. and 1:00 p.m.
- Photos and/or a site plan of the tree(s) proposed for removal or pruning (for pruning, proposed cuts should be indicated on photo).
- A completed tree removal worksheet (located on the reverse side of the application).
- Inspect trees prior to removal or major pruning to confirm the absence of active bird nests, particularly during the spring/summer nesting season (February 1 through August 31).
- If required by the Town Arborist following initial inspection, a certified or consulting arborist's written report.
- If part of a development application, a copy of the associated tree report.
- If structural damage to a building, major landscape feature or utilities is the basis for the request, a report from a licensed architect or engineer may be required describing what modifications to buildings, structures, improvements or utilities would be necessary to mitigate the damages caused by the tree.
- For Large Protected Tree or Heritage Tree removal or pruning permits, notification will be sent to neighboring residents and property owners prior to issuance by the Parks and Public Works Department (more information on noticing is provided on page 4 of this FAQ).
- Payment of a permit fees, as established by Town resolution. The current fee is \$130 for one tree, plus \$65 for each additional tree included in the same application.

\*Pruning or root pruning must be supervised by an ISA-certified arborist or an ASCA-Registered Arborist. See Section 29.10.1010 of the Town Code for specifications to determine if a pruning permit is required.

## Tree Protection Zone

The tree protection zone (TPZ) means the area of a temporary fenced tree enclosure at or beyond the tree's dripline or as specified in a report prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is permitted unless approved and supervised by the certified or consulting arborist.

## Tree Protection Fencing Requirements\*

- Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-feet deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished, posts may be supported by concrete base.
- Posted eight and one-half-inch by eleven-inch sign on each tree fence stating: "Warning - Tree Protection Zone - This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025"
- Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits.
- Tree protection fencing is required to remain in place throughout construction.

\*Any protected tree on-site will require replacement according to its appraised value if it is damaged beyond repair as a result of construction.

## Sec. 29.10.0985 - Determination and conditions of permit.

The Director shall determine whether to grant a permit. The Director may consult with other Town departments or outside agencies at his/her discretion. When a development application for any zoning approval, or subdivision of land, including lot line adjustment, is under consideration by the Planning Commission, the determination on the tree removal permit shall be made concurrently by the Planning Commission with the related matter. The Director or the deciding body shall impose, except when removal is permitted if the tree is dead or a Tree Risk Rating of Extreme or High is present, as a condition on which a protected tree removal permit is granted that two (2) or more replacement trees of a species and a size designated by the Director or designee, shall be planted in the following order of preference:

- Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private property. Table 3-1, Tree Canopy-Replacement Standard shall be used as a basis for this requirement. The person requesting the permit shall pay the cost of purchasing and planting the replacement trees.
- If a tree or trees cannot be reasonably planted on the subject property, an in-lieu payment in an amount set forth by the Town Council by resolution shall be paid to the Town Tree Replacement Fund to:
  - Add or replace trees on public property in the vicinity of the subject property; or
  - Add or replace trees or landscaping on other Town property; or
  - Support the Town's urban forestry management program.

Canopy Size of Removed Tree <sup>1</sup>	Replacement Requirement <sup>2,4</sup>	Single Family Residential Replacement Option <sup>3,4</sup>
10 feet or less	Two 24-inch box trees	Two 15-gallon trees
More than 10 feet to 25 feet	Three 24-inch box trees	Three 15-gallon trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees	Four 15-gallon trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees	Not Available
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees	Not Available

## Notes

- To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.
- Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.
- Single Family Residential Replacement Option is available for developed single family residential lots under n thousand (10,000) square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All fifteen-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on twenty-four-inch box tree rates as adopted by Town Council.
- Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and section 29.10.0987 Special Provisions—Hillsides.

Replacement with native species is strongly encouraged. Most fruit and nut trees, palm trees, or "nuisance" species (see section 29.10.0970(2) of the Town Code) are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved, permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows: 24 inch box tree = \$250, 36 inch box tree = \$500

# GREENPOINT CHECKLIST

## Single Family GreenPoint Checklist

The GreenPoint Checklist is based on the various green building certifications from the home and is the basis for the award of GreenPoint ratings. A home can be awarded a GreenPoint rating of 1 through 5 (1 through 5) based on the number of points earned. The maximum possible score is 50 points. Energy, Green Building, Water, Health, Safety, and other categories are included. The GreenPoint Checklist is a tool for homeowners to track their progress and identify areas for improvement. For more information, visit [www.losgatosca.gov/DocumentCenter/View/14925](http://www.losgatosca.gov/DocumentCenter/View/14925).

**400 Surmont Drive - Parcel 1**

Area	Points Available	Points Earned	Comments
<b>A. SITE</b>	15	15	
<b>B. FOUNDATION</b>	10	10	
<b>C. LANDSCAPE</b>	10	10	
<b>D. STRUCTURAL ELEMENTS</b>	10	10	
<b>E. ROOFING</b>	10	10	
<b>F. HEATING, VENTILATION &amp; AIR CONDITIONING</b>	10	10	
<b>G. PLUMBING</b>	10	10	
<b>H. ELECTRICAL</b>	10	10	
<b>I. RENEWABLE ENERGY</b>	10	10	
<b>Total Points Available</b>	<b>100</b>	<b>100</b>	

**400 Surmont Drive - Parcel 1**

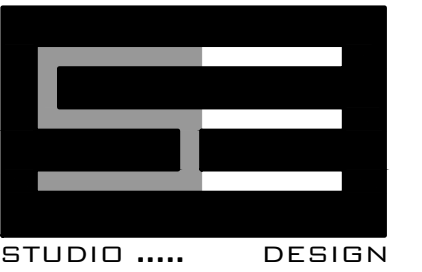
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**400 Surmont Drive - Parcel 1**

Area	Points Available	Points Earned	Comments
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<b>E. ROOFING</b>	10	10	
<b>F. HEATING, VENTILATION &amp; AIR CONDITIONING</b>	10	10	
<b>G. PLUMBING</b>	10	10	
<b>H. ELECTRICAL</b>	10	10	
<b>I. RENEWABLE ENERGY</b>	10	10	
<b>Total Points Available</b>	<b>100</b>	<b>100</b>	

**400 Surmont Drive - Parcel 1**

Area	Points Available	Points Earned	Comments
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<b>C. LANDSCAPE</b>	10	10	
<b>D. STRUCTURAL ELEMENTS</b>	10	10	
<b>E. ROOFING</b>	10	10	
<b>F. HEATING, VENTILATION &amp; AIR CONDITIONING</b>	10	10	
<b>G. PLUMBING</b>	10	10	
<b>H. ELECTRICAL</b>	10	10	
<b>I. RENEWABLE ENERGY</b>	10	10	
<b>Total Points Available</b>	<b>100</b>	<b>100</b>	



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REMODELS +  
ADDITIONS  
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638 UNIVERSITY AVE  
LOS GATOS  
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T 408.292.3252  
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PLANNING SUBMITTAL VII

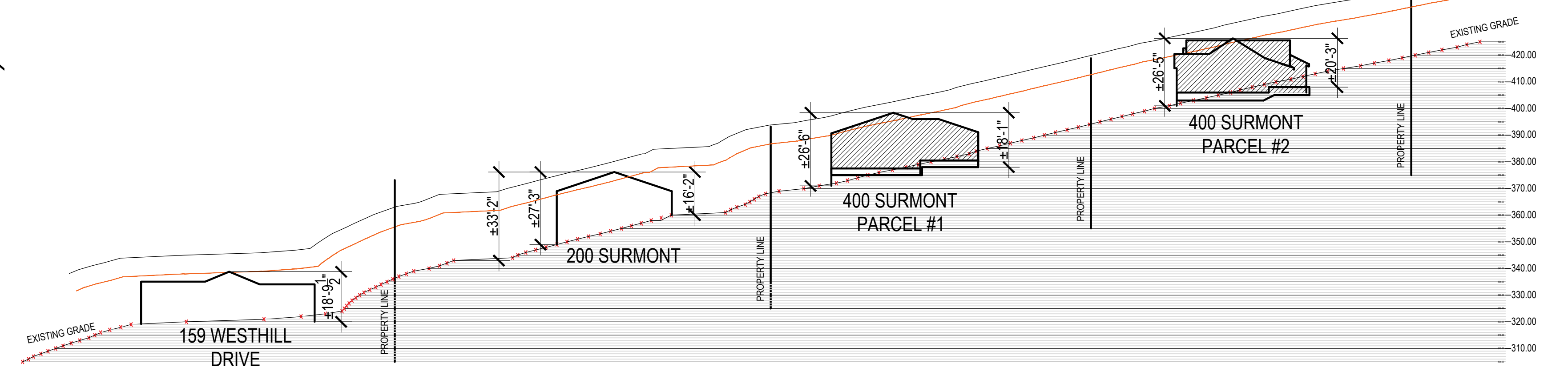
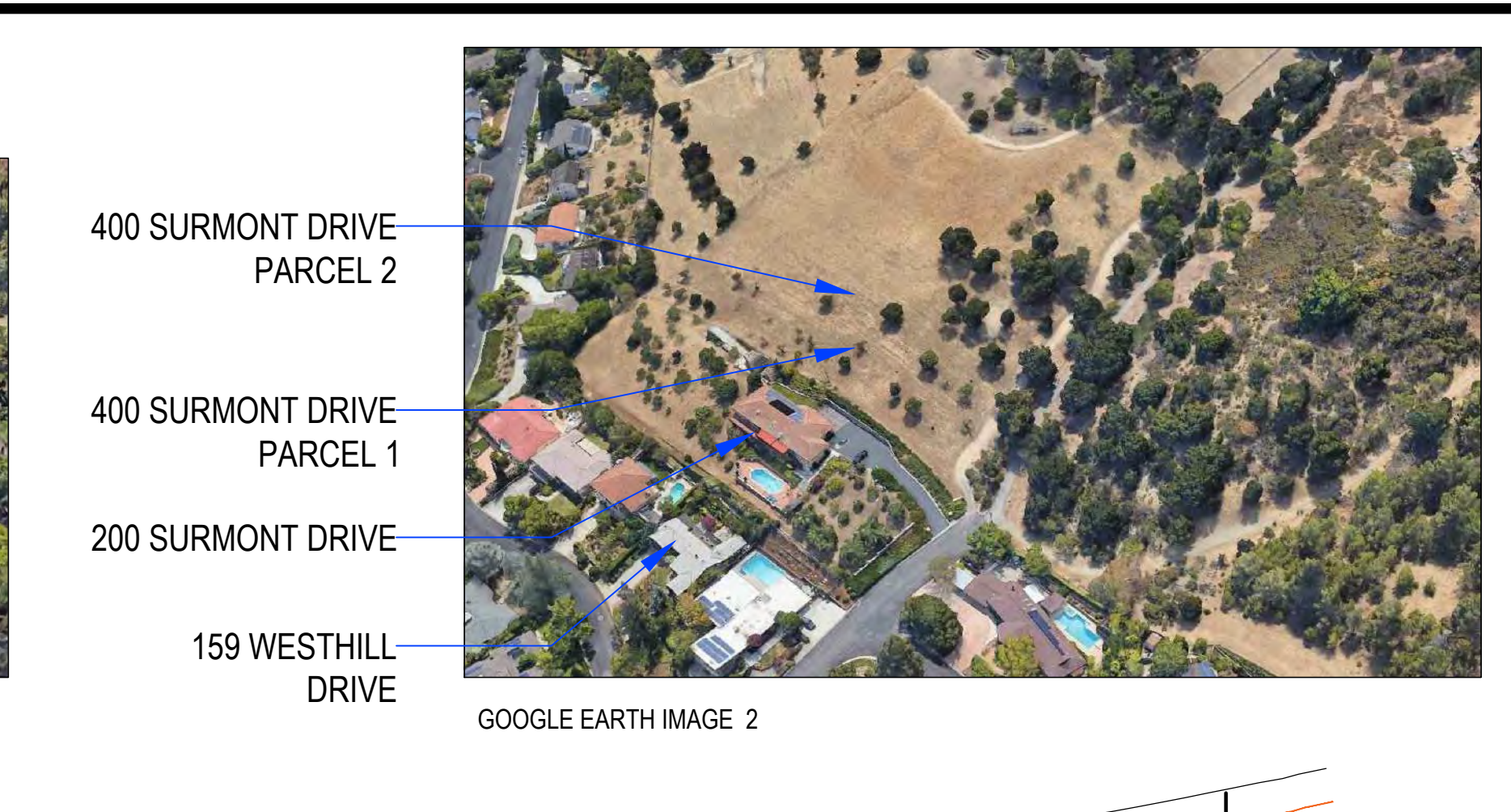
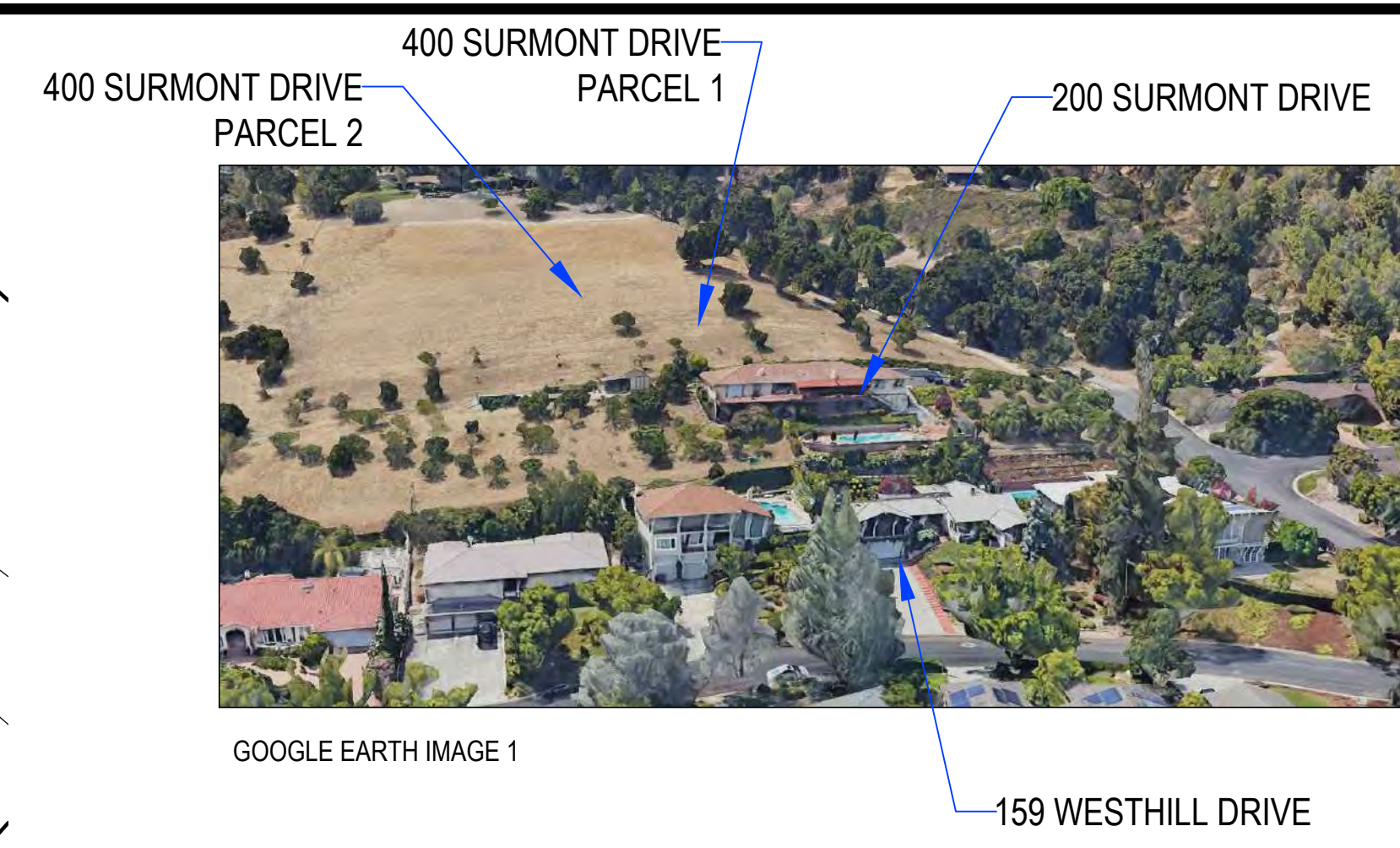
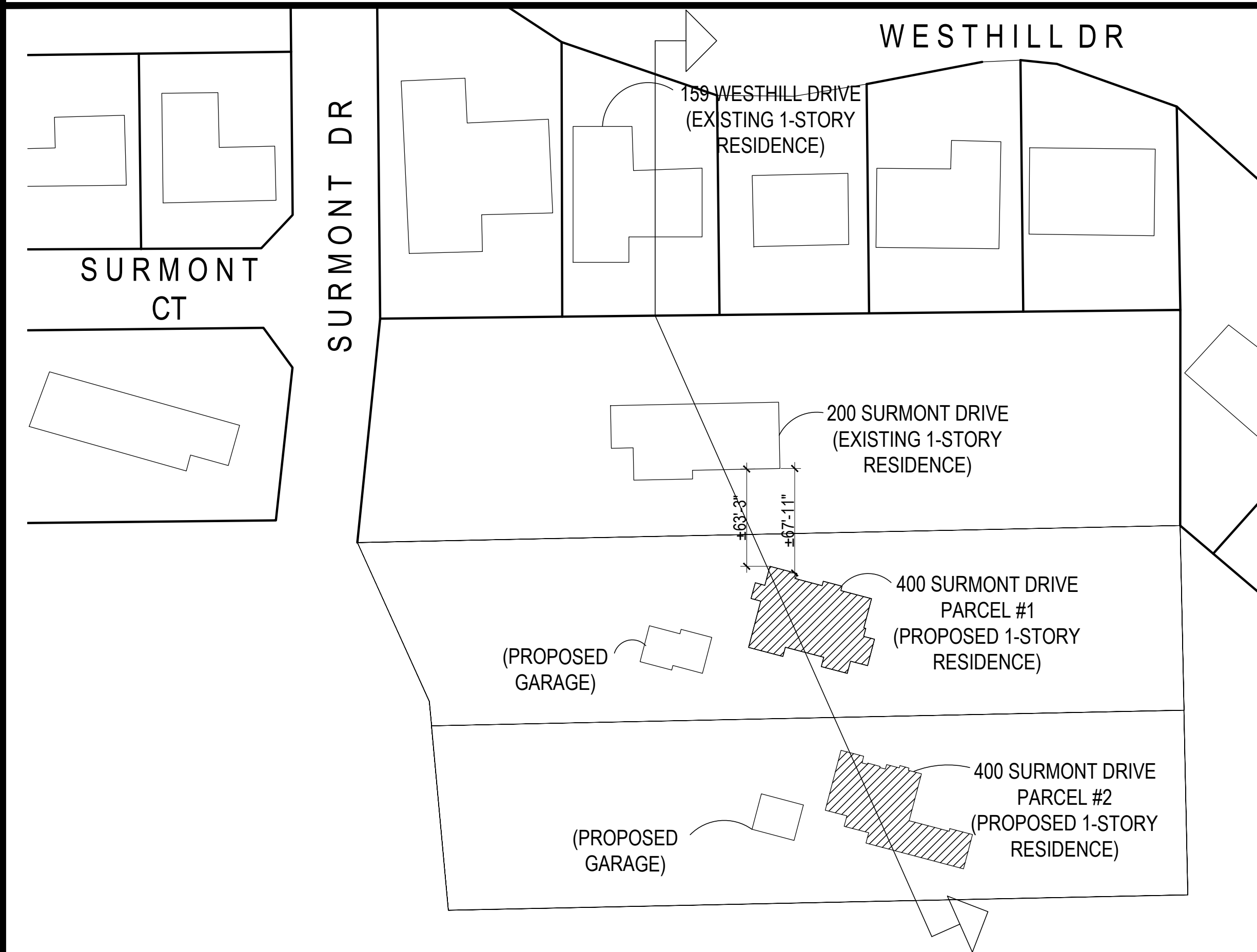
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TREE PRESERVATION  
INSTRUCTIONS +  
GREENPOINT CHECKLIST

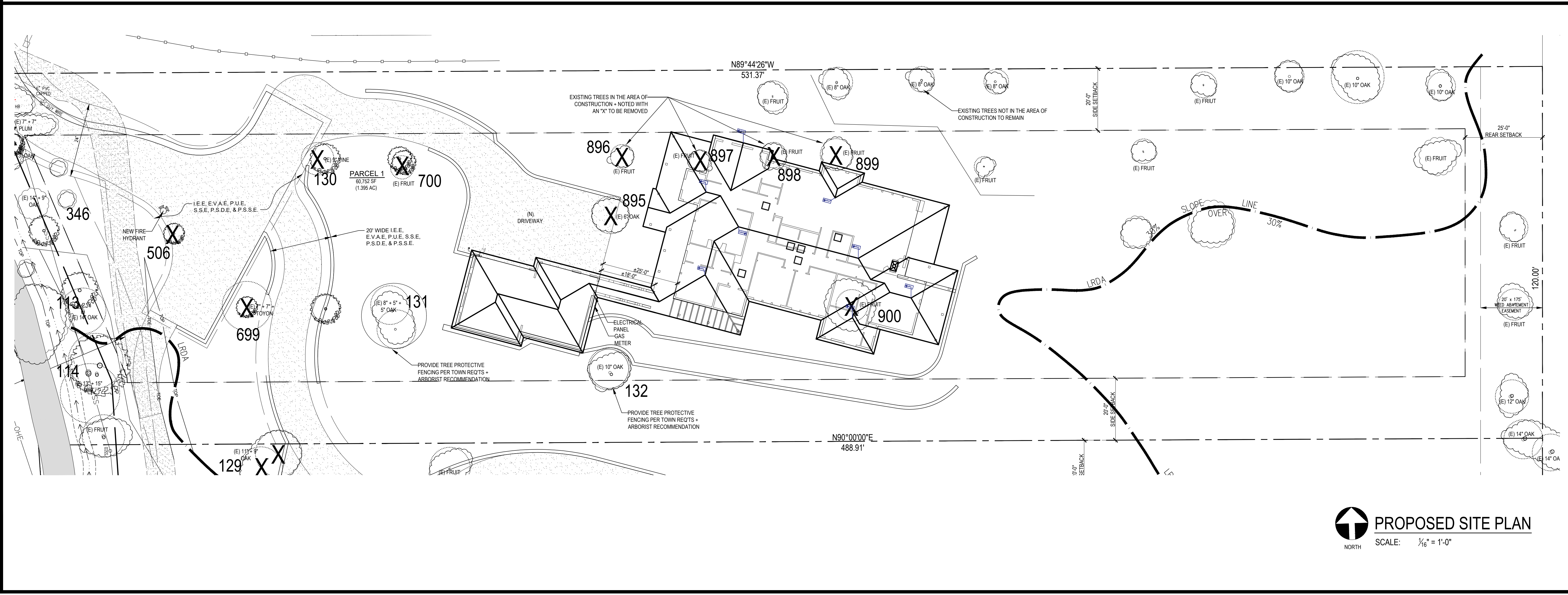
A 1.2



SITE LINE STUDY / MASSING RELATIONSHIP



SITE PLAN



**SE**  
STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: AS NOTED

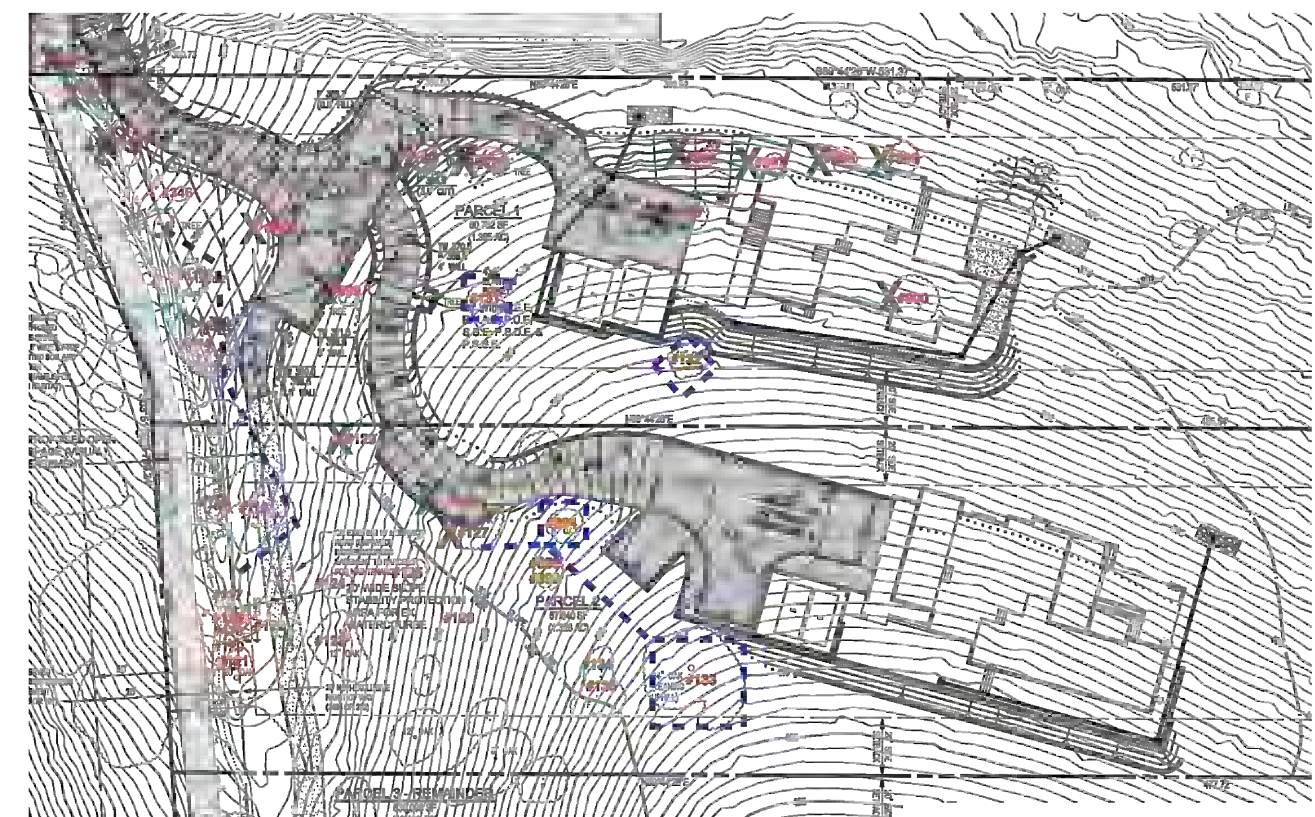
**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"

PROPOSED SITE PLAN +  
SITE LINE STUDY/  
MASSING RELATIONSHIP

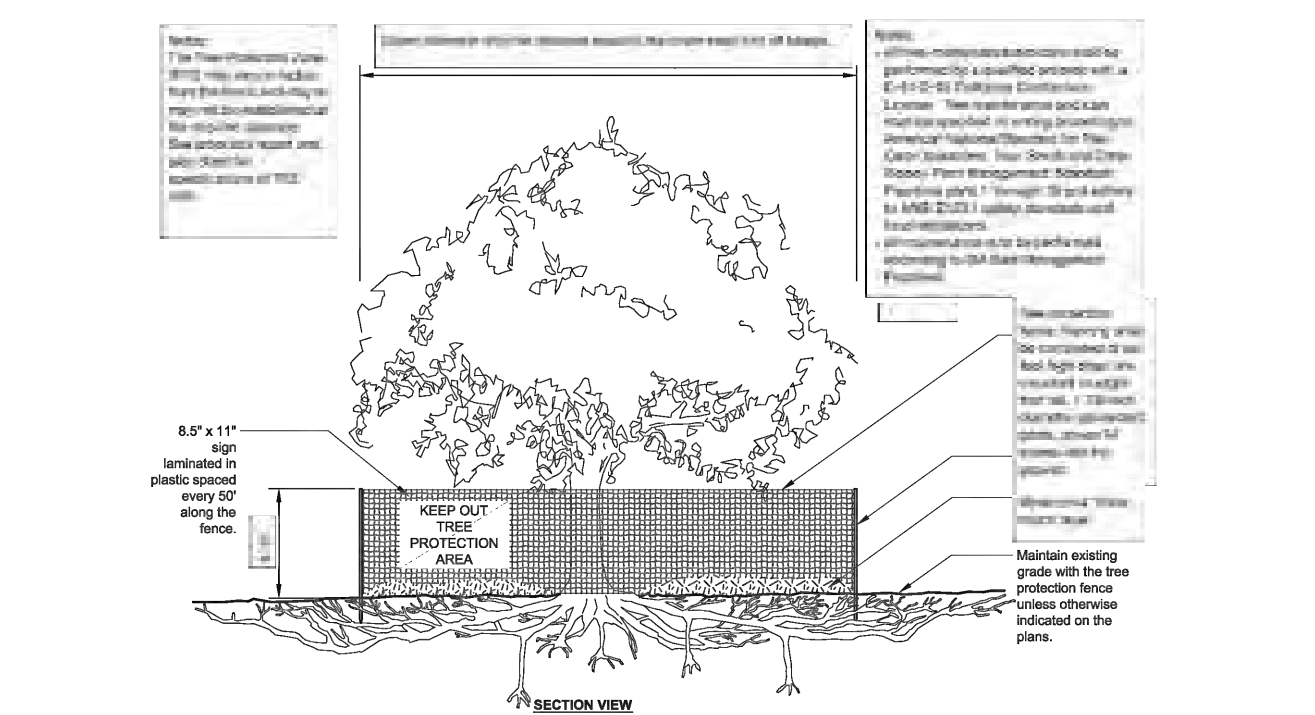
**A1.3**



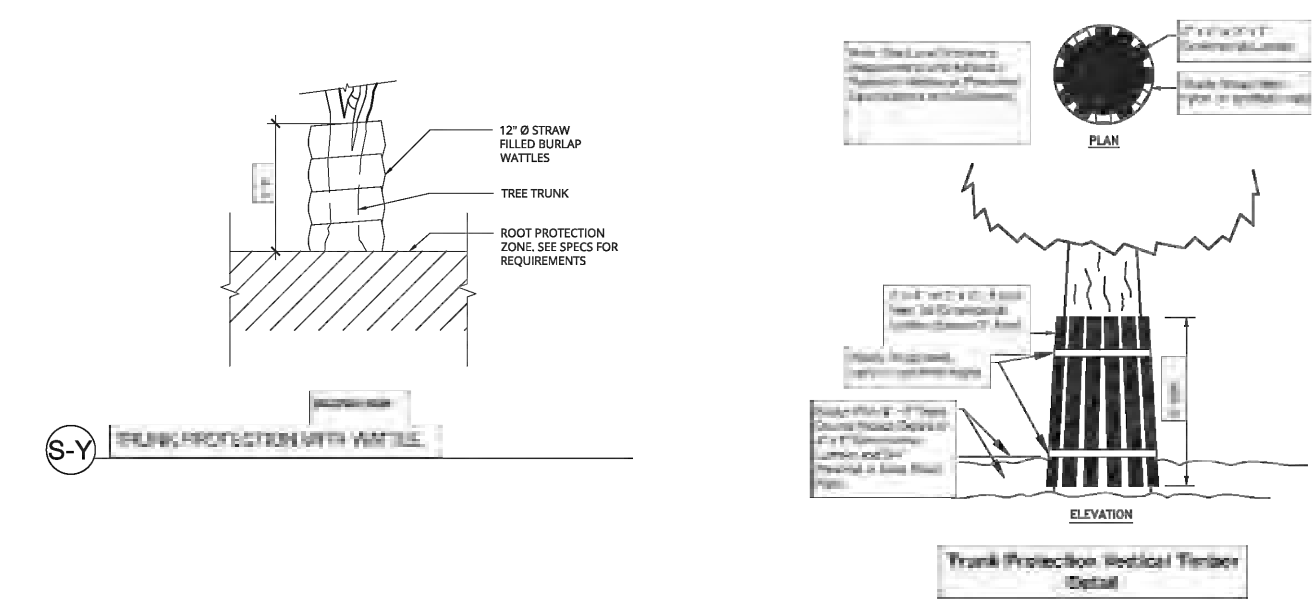
**Appendix A: Site Plan and Tree Locations**  
Site plan not to scale. Trees with an 'X' next to them are highly impacted. The blue dash represents the tree protection fence.



**Appendix D: Tree Protection Guidelines**  
**D1: Fence Specifications**



**D2: Trunk Protection Specifications**



**Appendix B: Tree Inventory and Assessment Tables**

Table 2: Inventory Summary

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	110	8	10	15	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	111	6, 6	15	15	Fair	Fair	High	\$750.00	Protected
apricot ( <i>Prunus armeniaca</i> )	112	7, 7	15	15	Poor	Poor	High	\$710.00	Exempt
holly oak ( <i>Quercus ilex</i> )	113	13	30	30	Fair	Fair	Low	\$2,340.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	114	14, 9	35	30	Fair	Fair	Low	\$2,700.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	115	14	35	35	Good	Good	Low	\$1,380.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	116	13, 15	35	35	Fair	Fair	Low	\$2,090.00	Large Protected
wild plum ( <i>Prunus sp.</i> )	117	8	25	25	Good	Poor	Low	\$620.00	Exempt
wild plum ( <i>Prunus sp.</i> )	118	8	25	25	Good	Poor	Low	\$620.00	Exempt
wild plum ( <i>Prunus sp.</i> )	119	6	25	25	Good	Poor	Low	\$390.00	Exempt
wild plum ( <i>Prunus sp.</i> )	120	8, 4, 3	25	25	Good	Poor	Low	\$770.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	121	18, 5	35	35	Good	Good	Low	\$5,400.00	Protected
apricot ( <i>Prunus armeniaca</i> )	122	8, 8	15	15	Fair	Poor	Low	\$1,700.00	Exempt

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
coast live oak ( <i>Quercus agrifolia</i> )	123	10, 9	35	35	Fair	Fair	Low	\$1,820.00	Protected
holly oak ( <i>Quercus ilex</i> )	124	8, 6	25	25	Fair	Fair	Low	\$1,420.00	Protected
holly oak ( <i>Quercus ilex</i> )	125	5	20	20	Good	Good	Low	\$620.00	Protected
holly oak ( <i>Quercus ilex</i> )	126	6, 4, 4	20	20	Fair	Fair	Low	\$940.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	127	14	30	30	Good	Good	High	\$3,140.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	128	11	30	30	Good	Good	High	\$1,990.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	129	11, 9	25	25	Good	Good	High	\$3,140.00	Protected
stone pine ( <i>Pinus pinea</i> )	130	9	25	15	Good	Poor	High	\$880.00	Protected
luyon ( <i>Heteromeles arbutifolia</i> )	131	7, 7, 7	25	25	Fair	Fair	Moderate	\$2,150.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	132	8, 5, 5	30	30	Fair	Fair	Moderate	\$1,120.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	133	27	55	55	Good	Good	Moderate	\$11,300.00	Large Protected
coast live oak ( <i>Quercus agrifolia</i> )	134	9, 9	25	25	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	135	13	25	25	Good	Good	Low	\$2,730.00	Protected
wild plum ( <i>Prunus sp.</i> )	346	4, 4, 4	10	8	Good	Poor	Low	\$930.00	Exempt

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	806	3, 3, 3	10	8	Good	Poor	High	\$1,100.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	899	7, 7	10	8	Poor	Poor	High	\$710.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	700	6	15	10	Fair	Fair	High	\$460.00	Protected
apricot ( <i>Prunus armeniaca</i> )	892	4, 4, 4, 6	10	8	Dead	Poor	Low	\$0.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	893	13	25	15	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	894	9	15	10	Good	Good	Moderate	\$1,380.00	Protected
apricot ( <i>Prunus armeniaca</i> )	895	6, 4, 3	10	8	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	896	6	15	10	Poor	Poor	High	\$230.00	Protected
apricot ( <i>Prunus armeniaca</i> )	897	4	10	8	Poor	Poor	High	\$150.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	898	10	10	8	Poor	Poor	High	\$710.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	899	8	10	8	Poor	Poor	High	\$470.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	900	12	10	8	Poor	Poor	High	\$1,000.00	Exempt

**Tree Protection**

Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K. and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers.

Trees #131, #332, #133 and #894 are all located close to proposed construction and will require tree protection fence around them to help prevent damage. There are four trees in close proximity to these including #134, #135, #892 and #893 which will be enclosed as a group with #131 and #132. Tree #133 will need a minimum of eighteen feet of protection radii to help ensure its survival. The remaining three trees are small and ten feet of protection radii would be ideal.

**Conclusion**

The inventory contains 39 trees comprised of 6 different species. Two coast live oaks are considered Large Protected, and sixteen fruit trees are Exempt. Eighteen trees are in good condition, eleven fair, nine in poor shape and one is dead. Most of the trees in poor condition are remnant orchard trees. The best specimen in the building area is coast live oak #133. Eighteen trees are poorly suited for retention which are primarily fruit trees. Ten trees have fair suitability for preservation and the remaining eleven have good suitability. Sixteen trees will be highly impacted and are expected to be removed, four moderately affected and nineteen are not near the improvements. Seven trees will require replacements (#111, #127, #128, #129, #130, #700, and #896) resulting is twenty-one (21) 24 inch box specimens. Seven of the sixteen trees expected to be highly impacted are Protected (#111, #127, #128, #129, #130, #700, and #896) while the remaining are Exempt fruit trees. Trees #131, #332, #133 and #894 are all located close to proposed construction and will require tree protection fence around them to help prevent damage. There are four trees in close proximity to #131 and #132 including #134, #135, #892 and #893 which will be enclosed as a group. Tree #133 will need a minimum of eighteen feet of protection radii to help ensure its survival. The remaining three trees are small and ten feet of protection radii would be ideal. A total of 39 trees were appraised for a rounded depreciated value of \$64,260.00 using the Trunk Formula Method.

**Recommendations**

- Update the site plans and survey to show the current existing conditions and corrected locations (Appendix A) of the trees and their trunks, including those along the drainage and their associated numbers.
- Place tree numbers and tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all protection measures labeled "T-1 Tree Protection Plan."
- Place tree protection fence along the service road near the drainage outside the tree dip lines (#113, #114, #115, and #116), around #133 at eighteen feet (18'), and around #332, #133 (#134 and #135) and #894 (#892 and #893) at a radius of ten feet (10').
- Provide a landscape plan that accounts for the loss in tree canopy to include in tabular form the required replacements in accordance with the Town's Tree Canopy Replacement Standard. Seven trees will require replacements (#111, #127, #128, #129, #130, #700, and #896) resulting is twenty-one (21) 24 inch box specimens..
- All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management: Standard Practices parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
- Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
- Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
- Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

**Section 29.10.1005. - Protection of Trees During Construction**  
**Tree Protection Zones and Fence Specifications**

- Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

**All persons, shall comply with the following precautions**

- Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
- Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- Prohibit the attachment of wires, signs or ropes to any protected tree.
- Design utility services and irrigation lines to be located outside of the dripline when feasible.
- Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

**Monitoring**

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented. The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

**Root Pruning**

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

**Boring or Tunneling**

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

**Tree Pruning and Removal Operations**

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
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CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #1  
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CALIFORNIA  
95032

20 AUGUST 2019

31 JANUARY 2020  
PLANNING SUBMITTAL

23 AUGUST 2021  
PLANNING SUBMITTAL II

16 NOVEMBER 2021  
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29 APRIL 2022  
PLANNING SUBMITTAL IV

08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: N/A

TREE PROTECTION  
REQUIREMENTS

T-1





INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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PLANNING SUBMITTAL IV

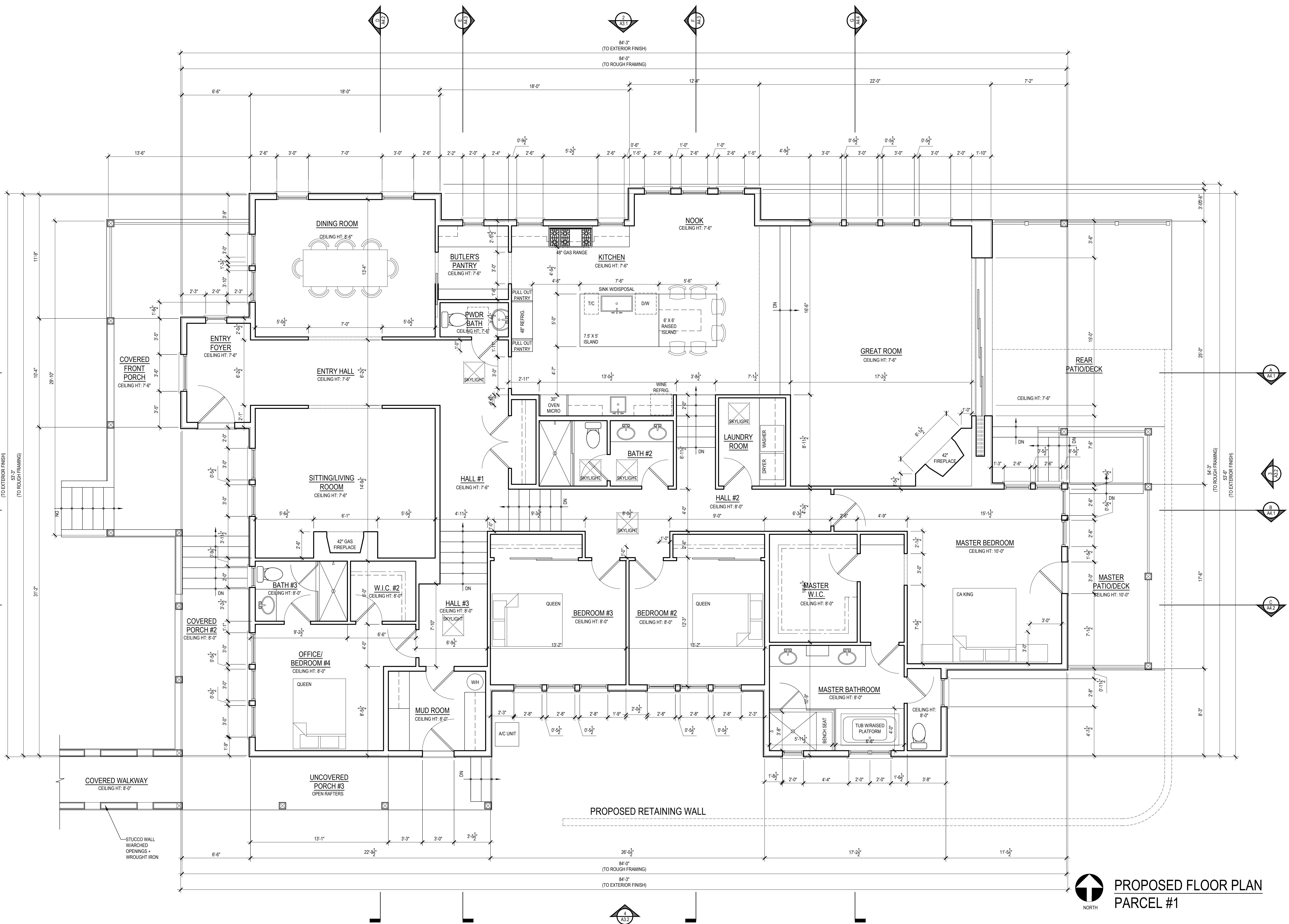
08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

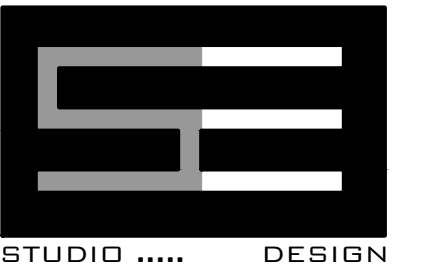
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PROPOSED FLOOR PLAN

A2.1



**PROPOSED FLOOR PLAN  
PARCEL #1**



STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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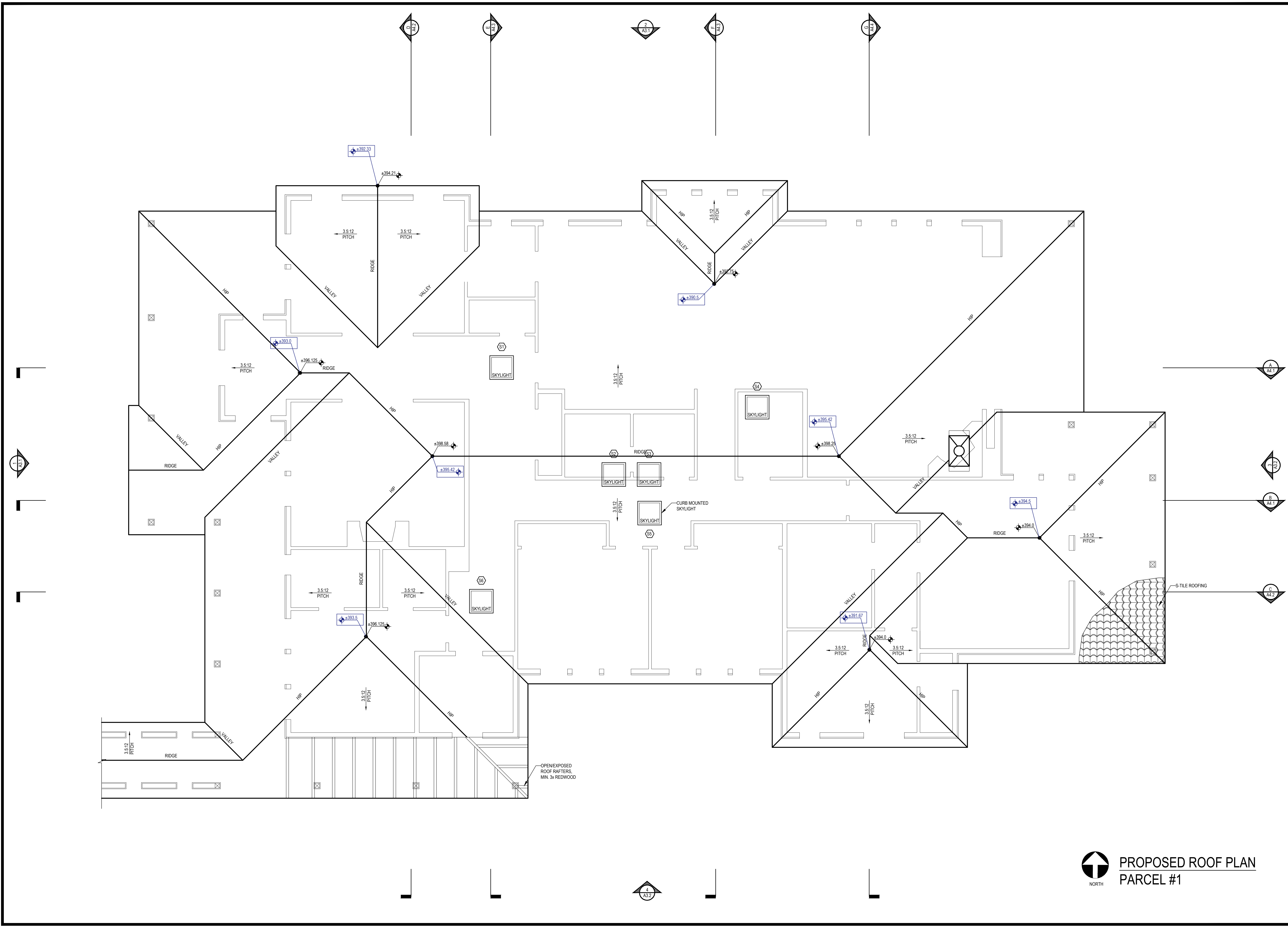
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PROPOSED ROOF PLAN



PROPOSED ROOF PLAN  
PARCEL #1

A2.2





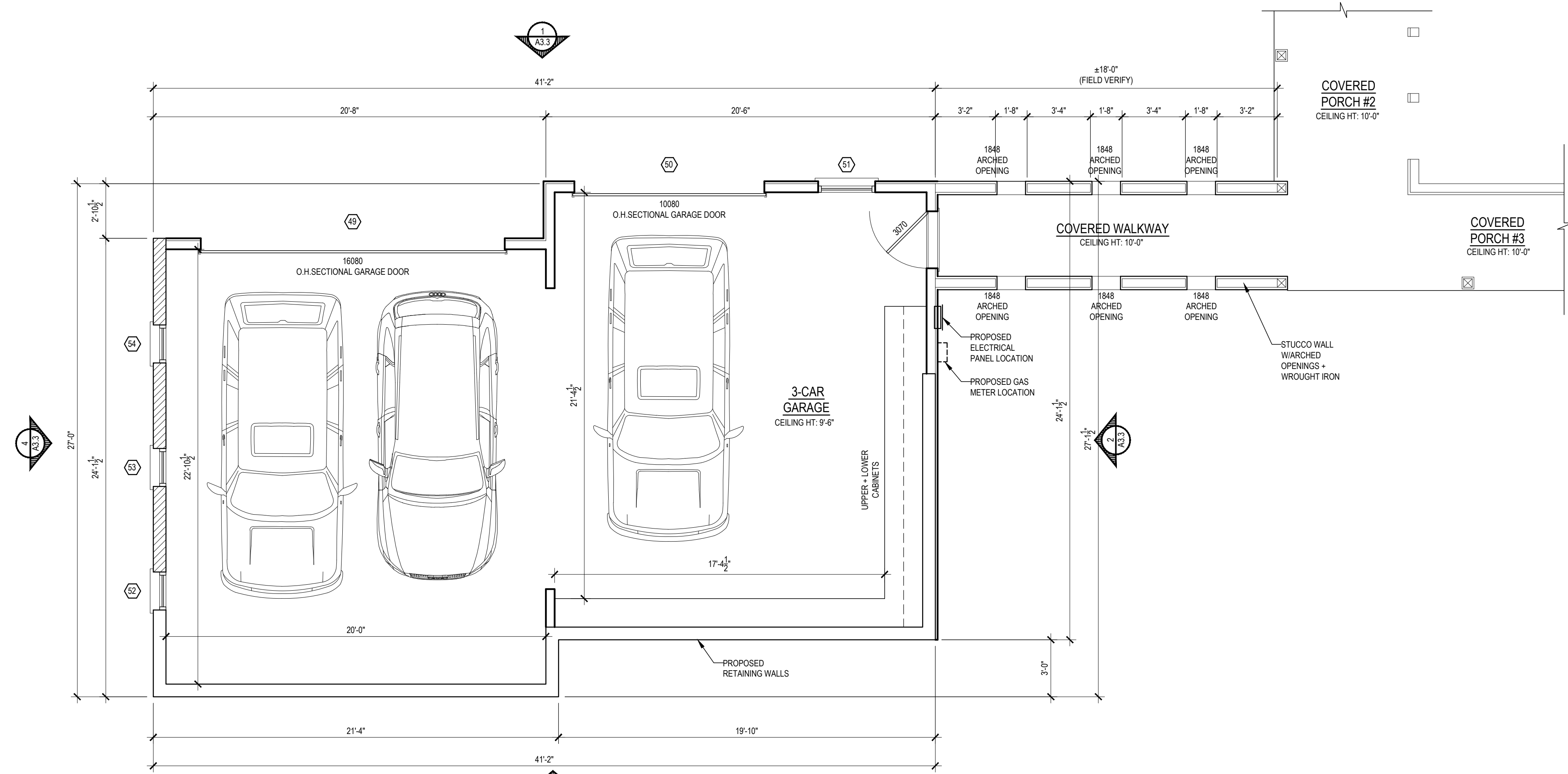
STUDIO ..... DESIGN

INTERIORS  
REMDELS +  
ADDITIONS  
NEW CONSTRUCTION

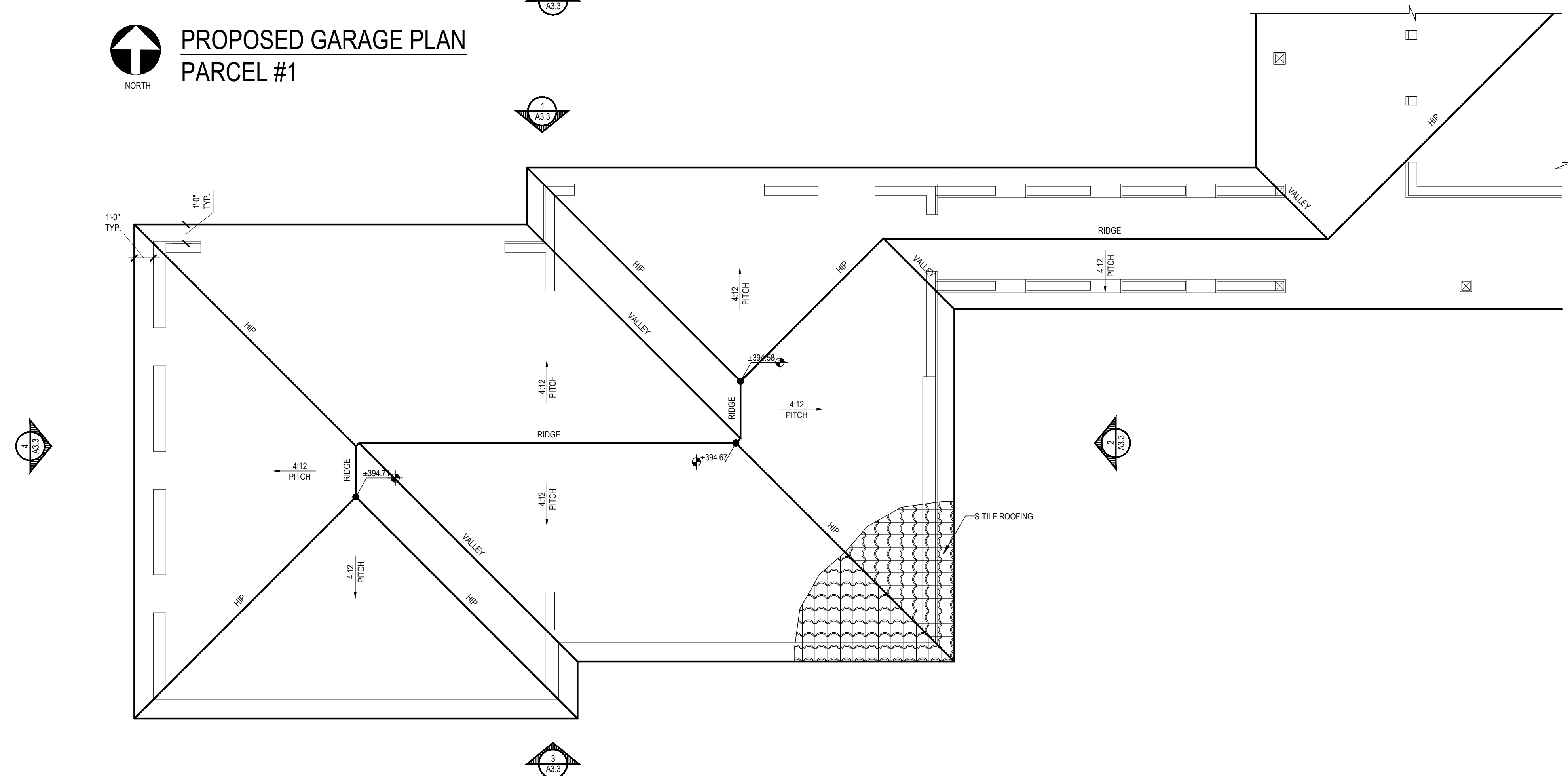
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**PROPOSED GARAGE PLAN  
PARCEL #1**



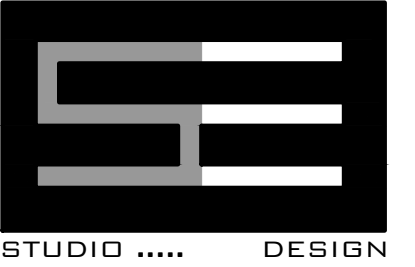
**PROPOSED GARAGE ROOF PLAN  
PARCEL #1**

- 20 AUGUST 2019
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PLANNING SUBMITTAL
- 23 AUGUST 2021  
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SCALE: 1/4" = 1'-0"

PROPOSED GARAGE  
FLOOR + ROOF PLANS

**A2.3**

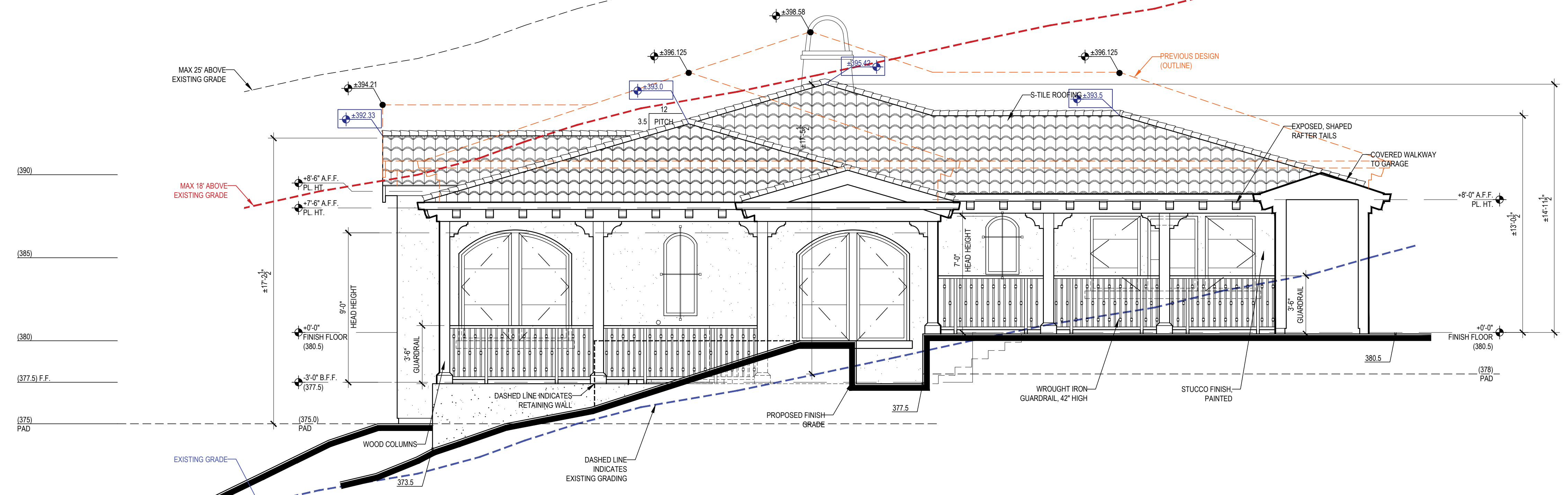


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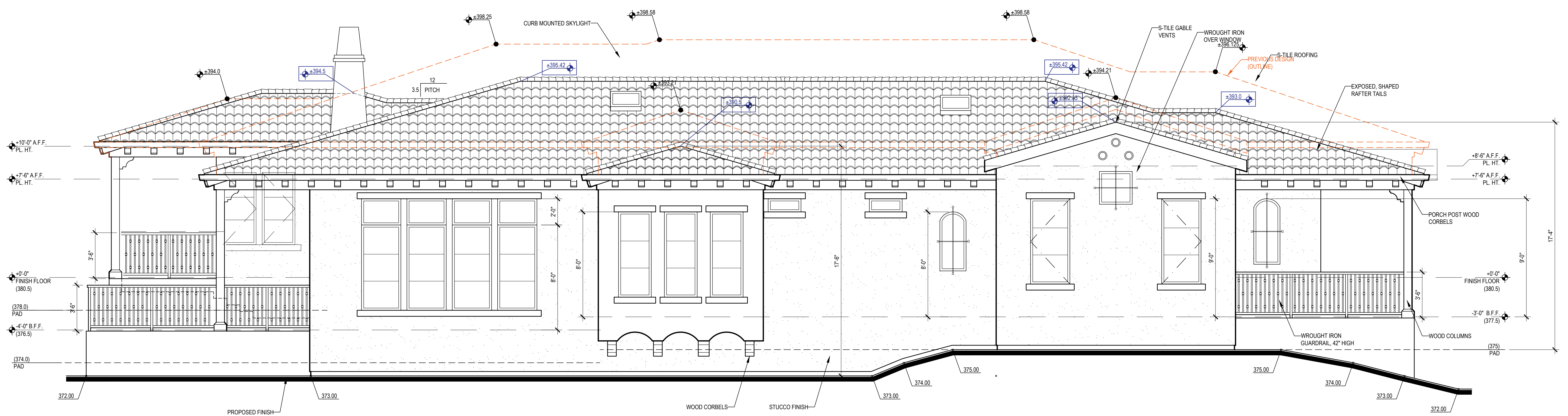
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REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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1 - WEST (FRONT) ELEVATION  
PARCEL #1



2 - NORTH (SIDE) ELEVATION  
PARCEL #1

400 SURMONT DRIVE  
PARCEL #1  
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CALIFORNIA  
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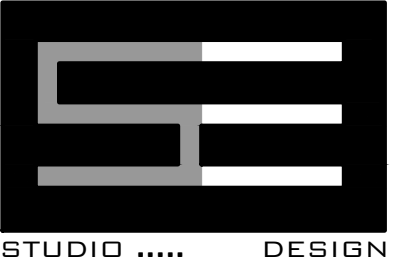
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PLANNING SUBMITTAL V
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PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A3.1



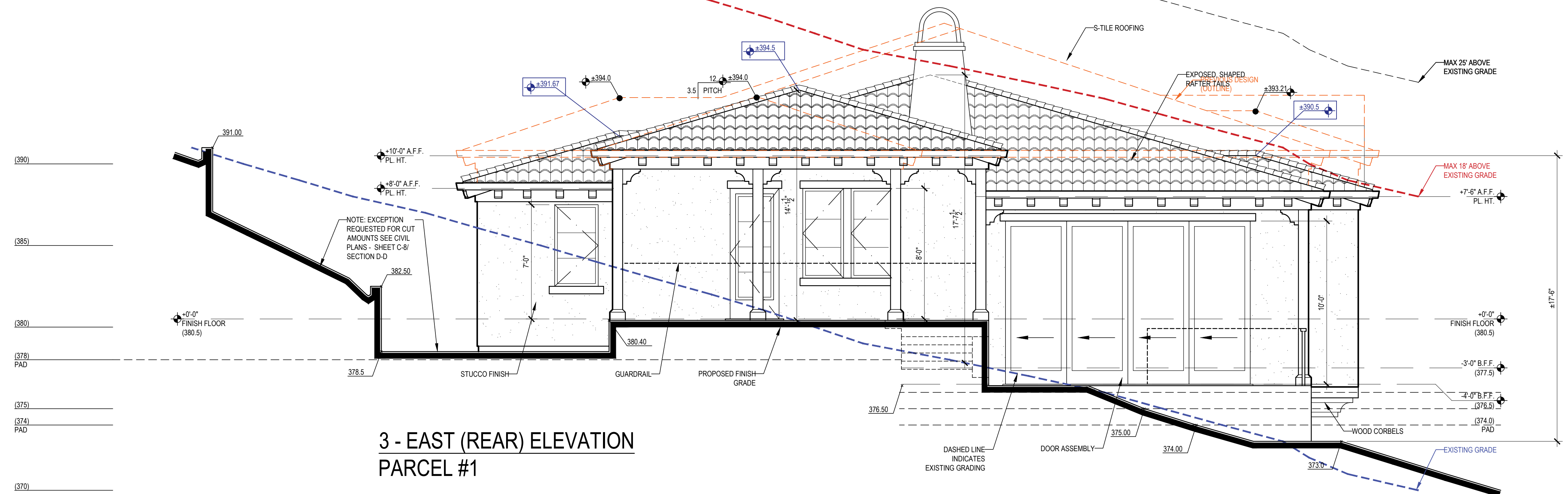


STUDIO ..... DESIGN

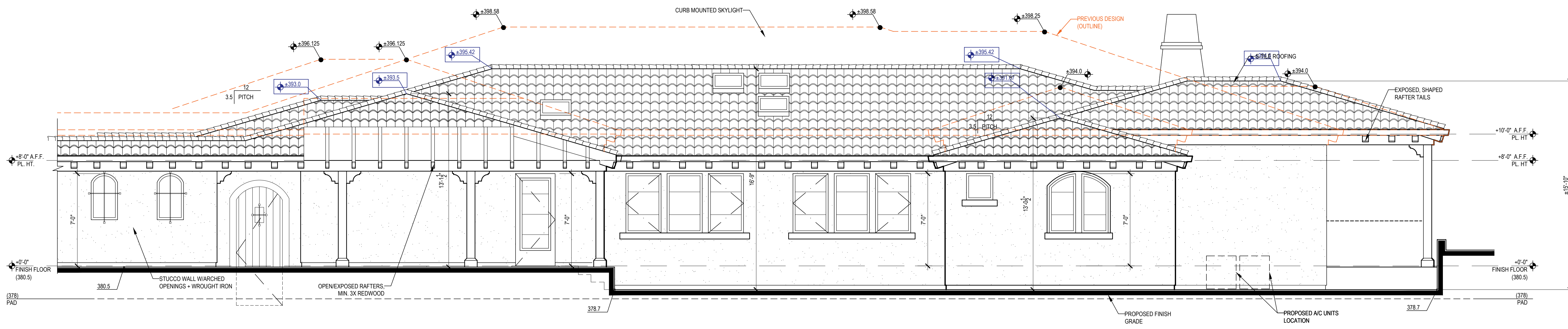
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3 - EAST (REAR) ELEVATION  
PARCEL #1



4 - SOUTH (SIDE) ELEVATION  
PARCEL #1

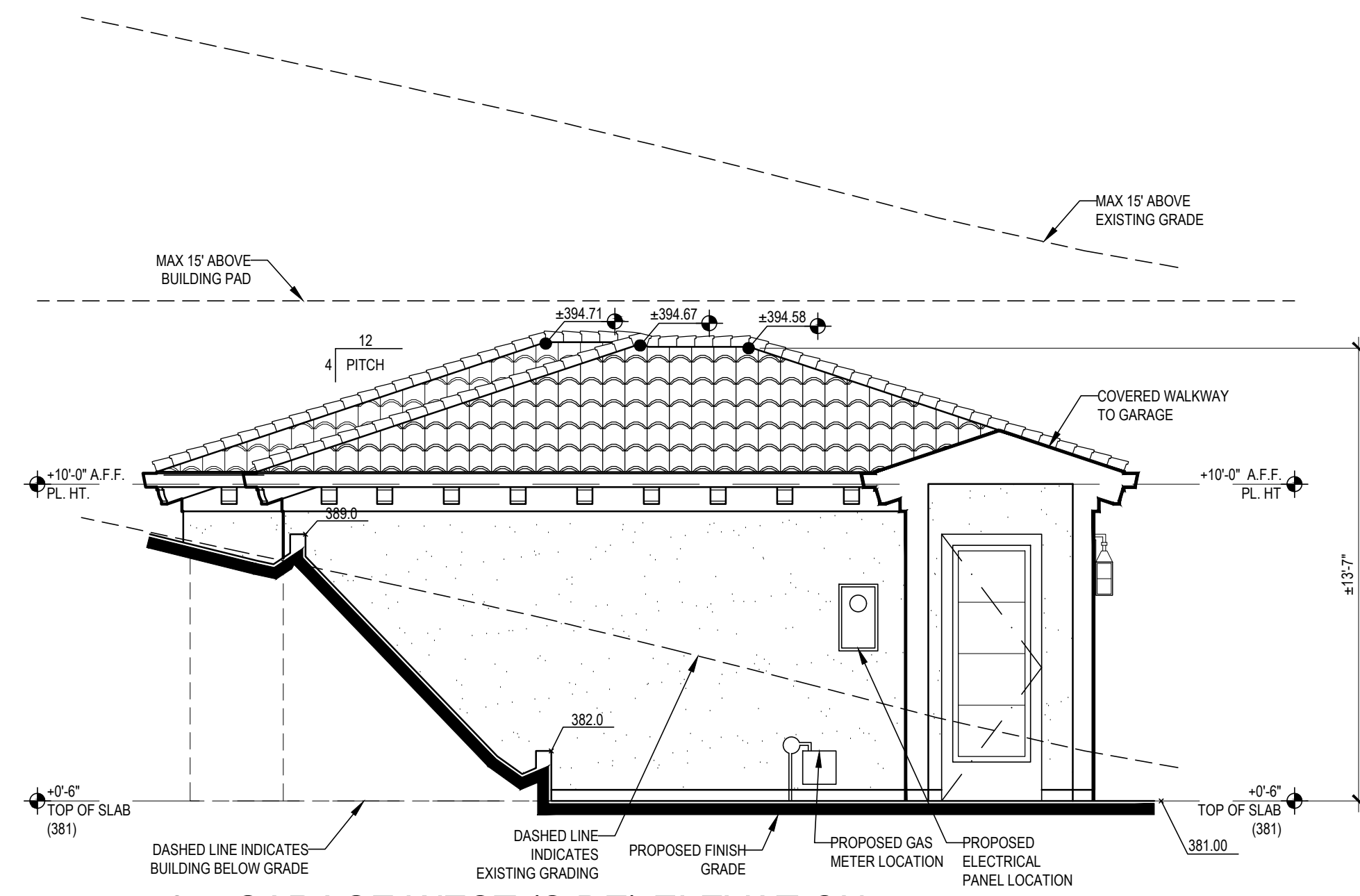
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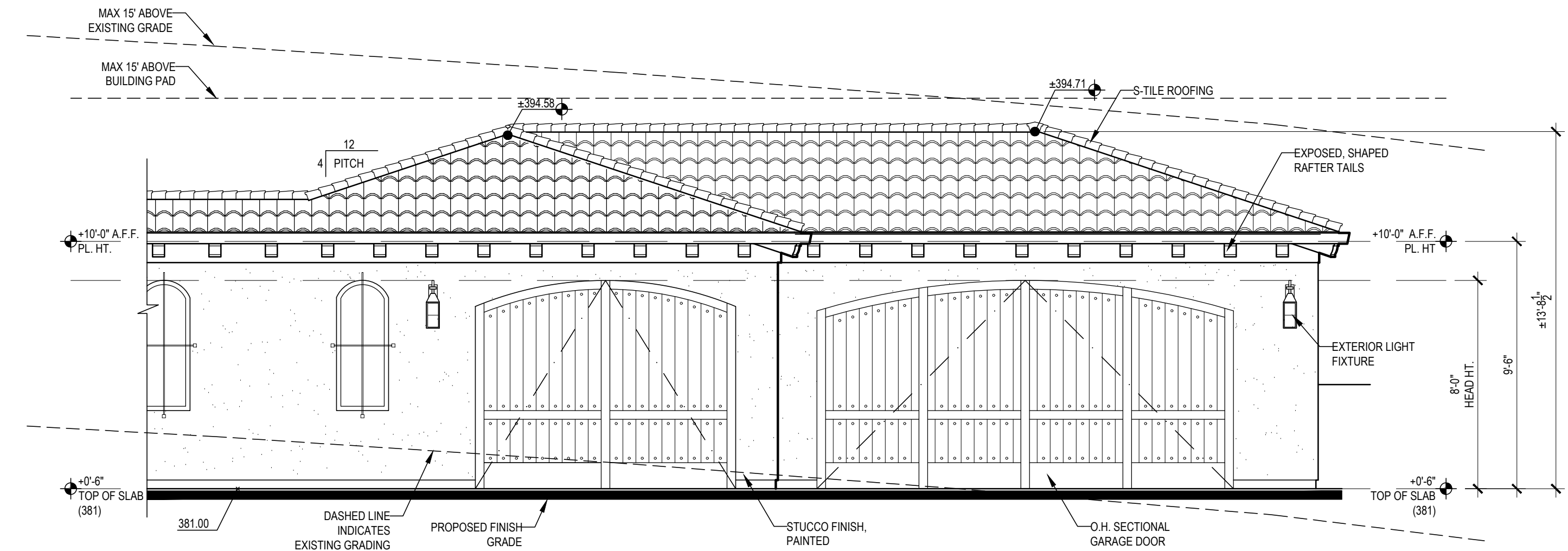
SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATIONS

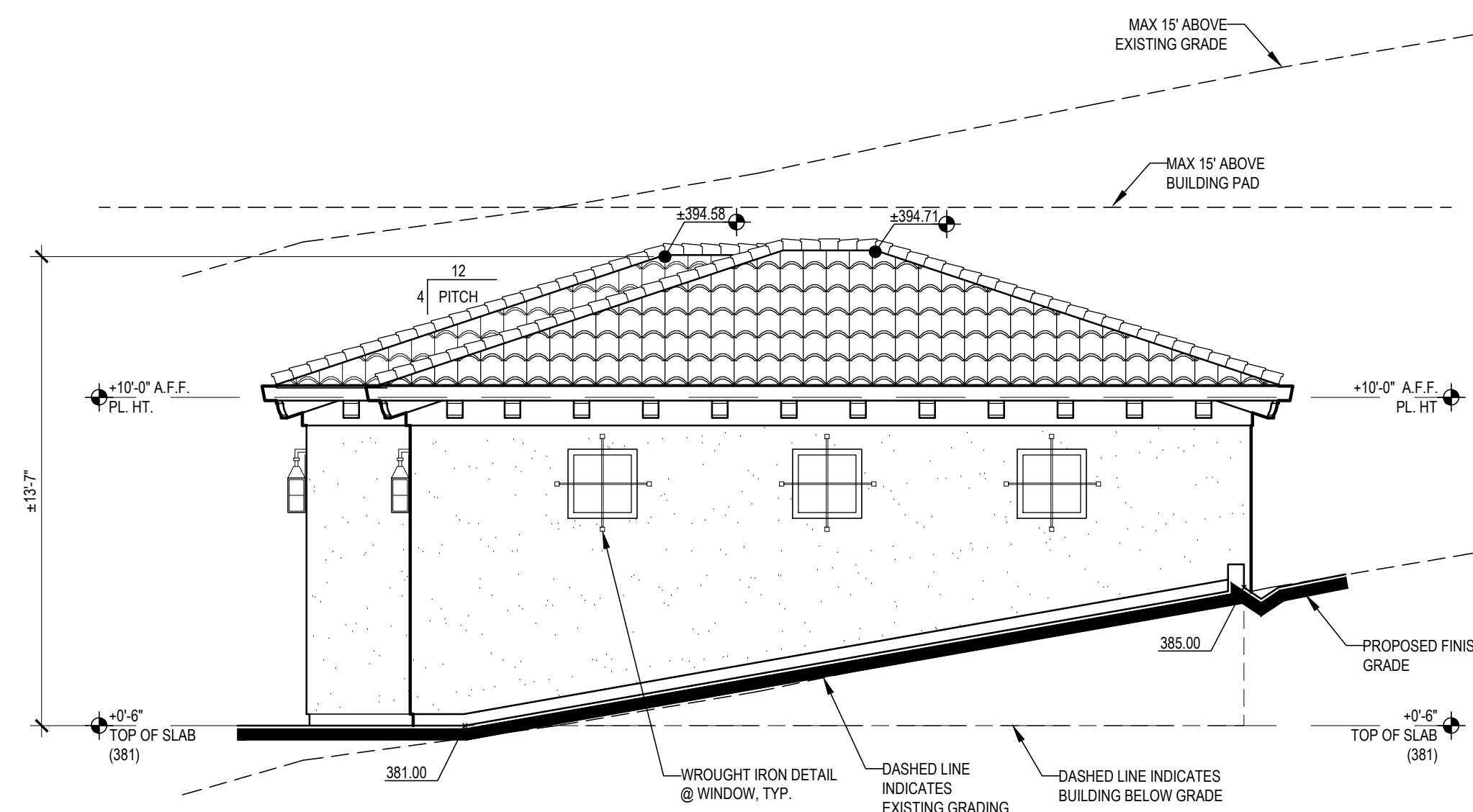
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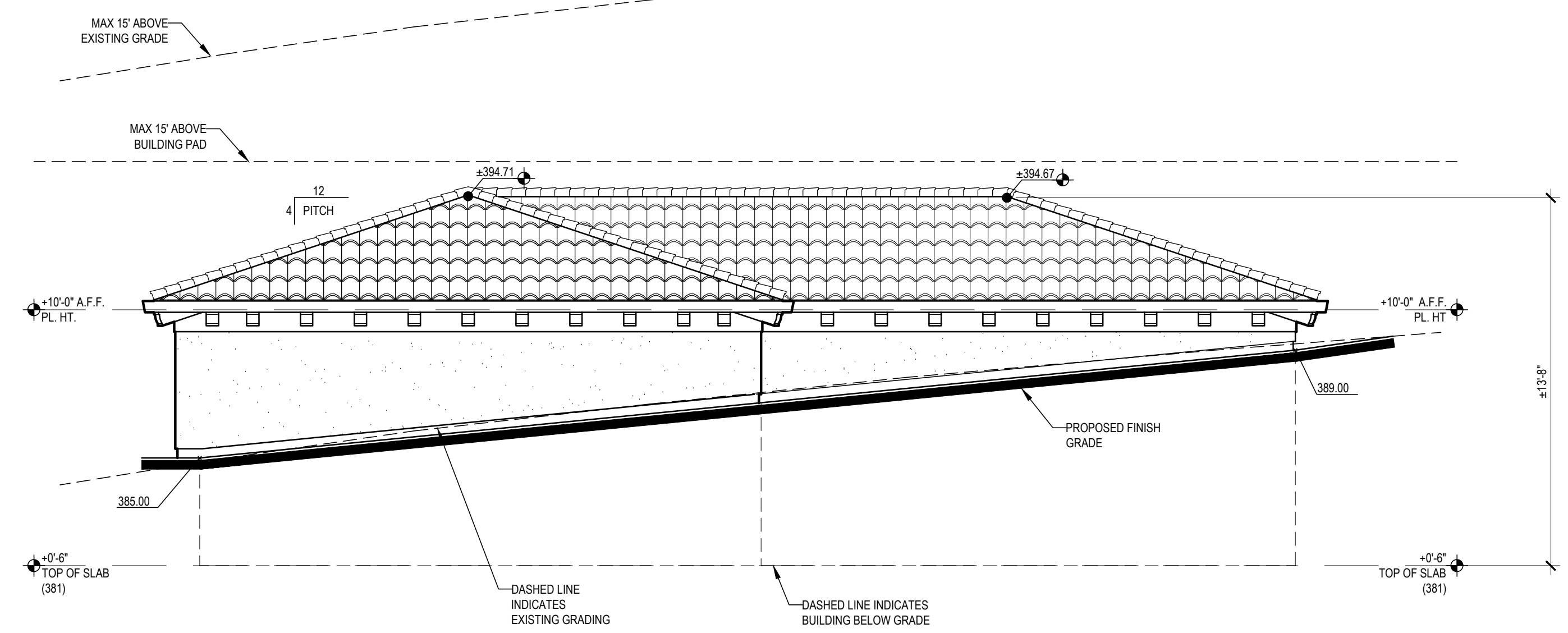
**2 - GARAGE WEST (SIDE) ELEVATION  
PARCEL #1**



**1 - GARAGE NORTH (FRONT) ELEVATION  
PARCEL #1**



**4 - GARAGE EAST (SIDE) ELEVATION  
PARCEL #1**



**3 - GARAGE SOUTH (REAR) ELEVATION  
PARCEL #1**

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

20 AUGUST 2019

31 JANUARY 2020  
PLANNING SUBMITTAL

23 AUGUST 2021  
PLANNING SUBMITTAL II

16 NOVEMBER 2021  
PLANNING SUBMITTAL III

29 APRIL 2022  
PLANNING SUBMITTAL IV

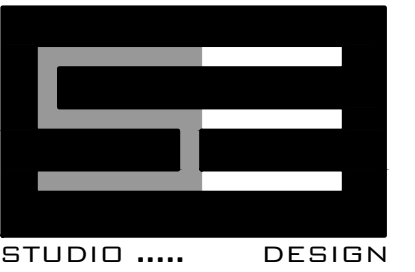
08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
(GARAGE)

**A3.3**

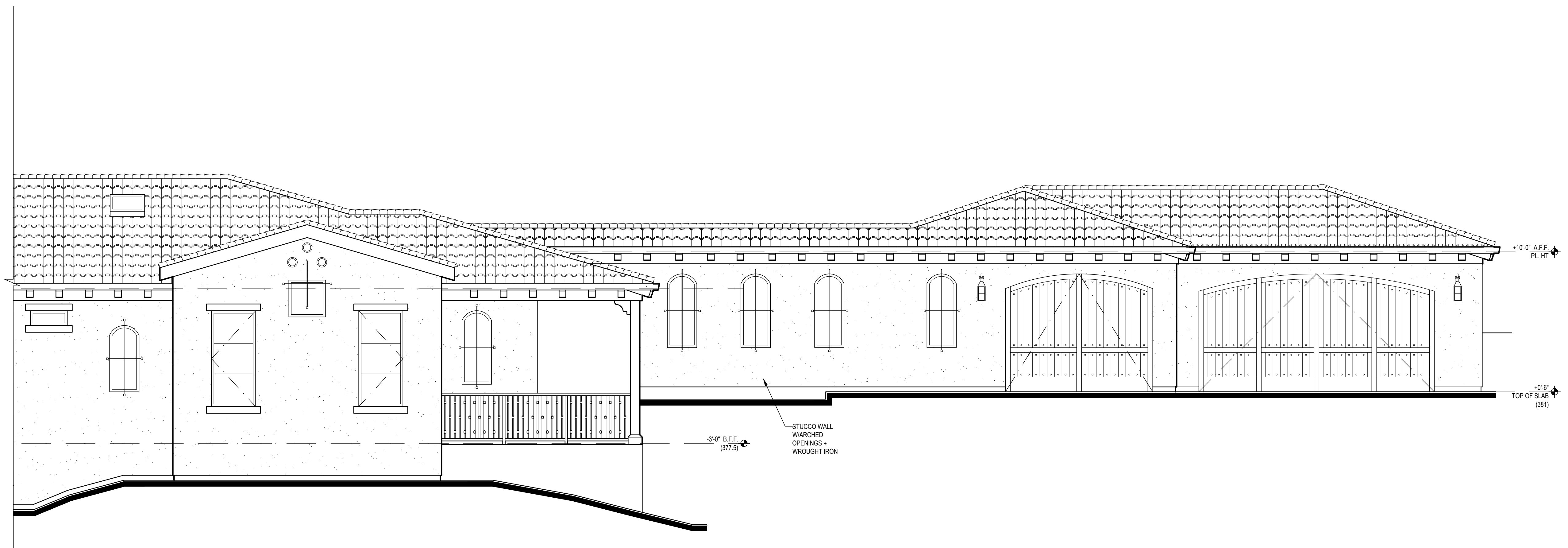
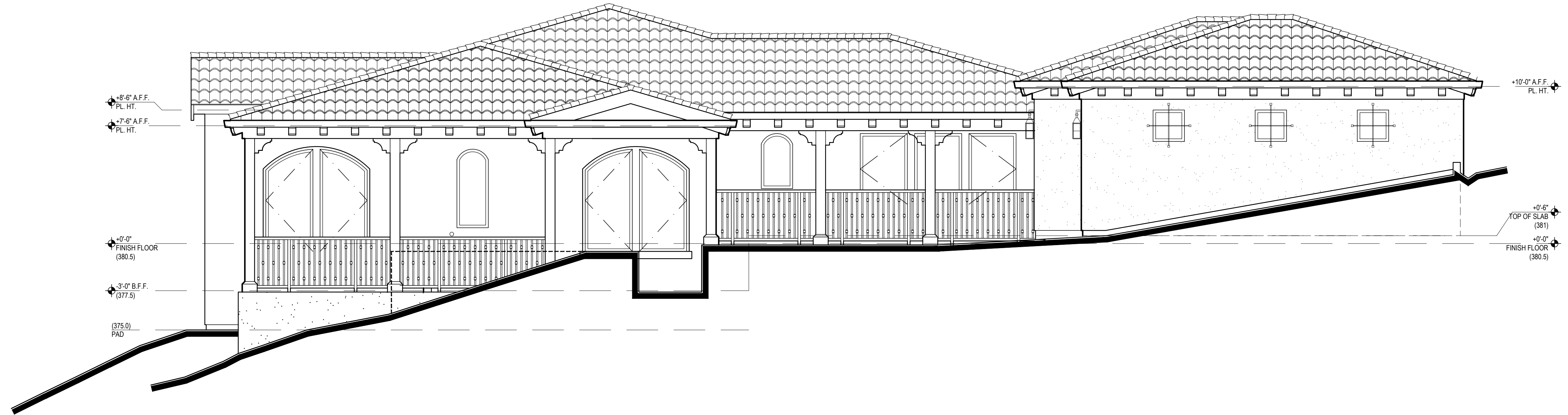


STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



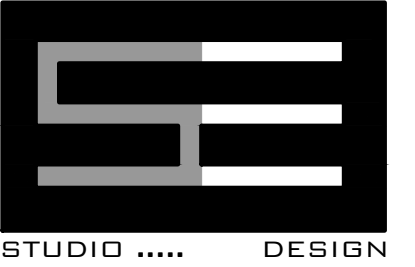
400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
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PLANNING SUBMITTAL IV
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PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

**A3.4**



STUDIO ..... DESIGN

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REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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PLANNING SUBMITTAL III

29 APRIL 2022  
PLANNING SUBMITTAL IV

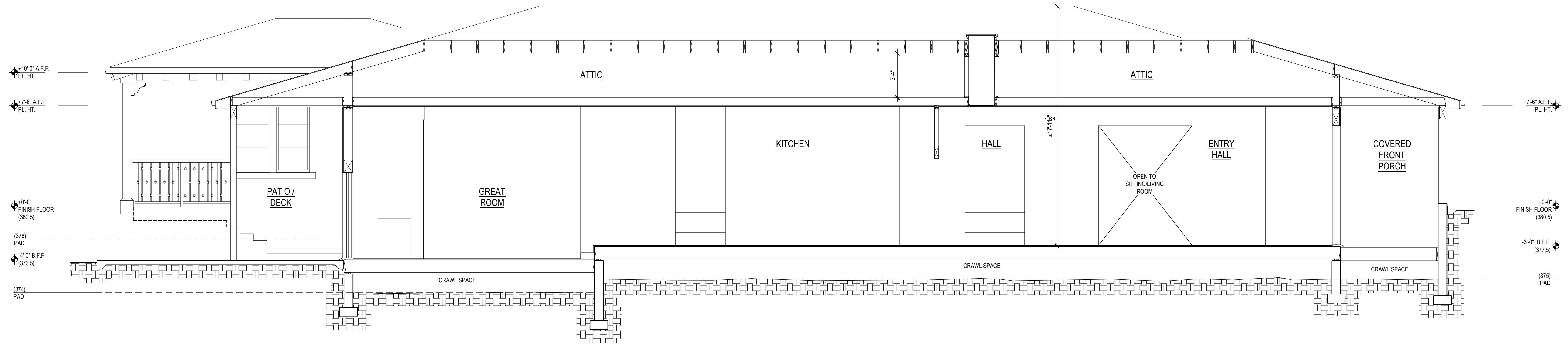
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PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

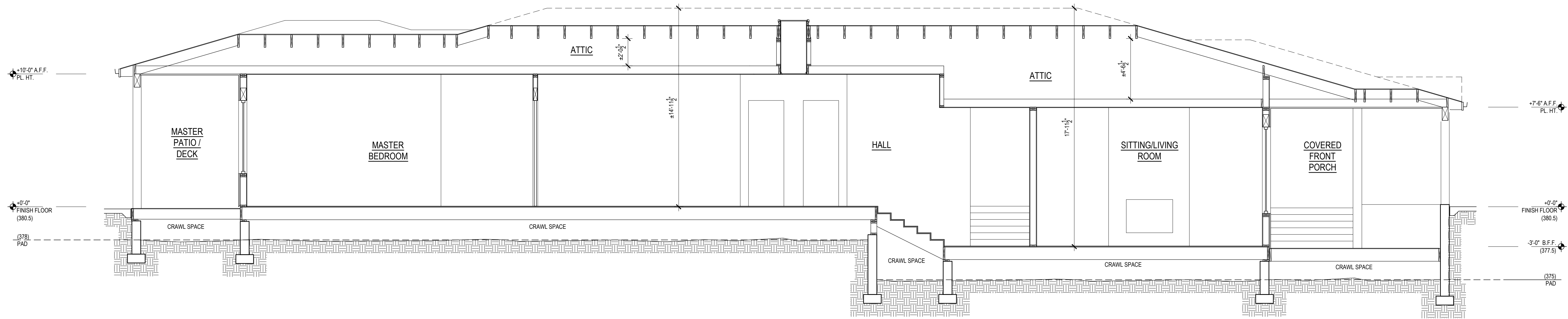
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

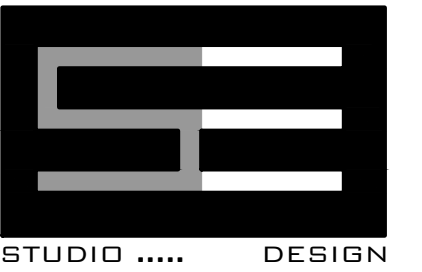
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A - BUILDING SECTION



B - BUILDING SECTION

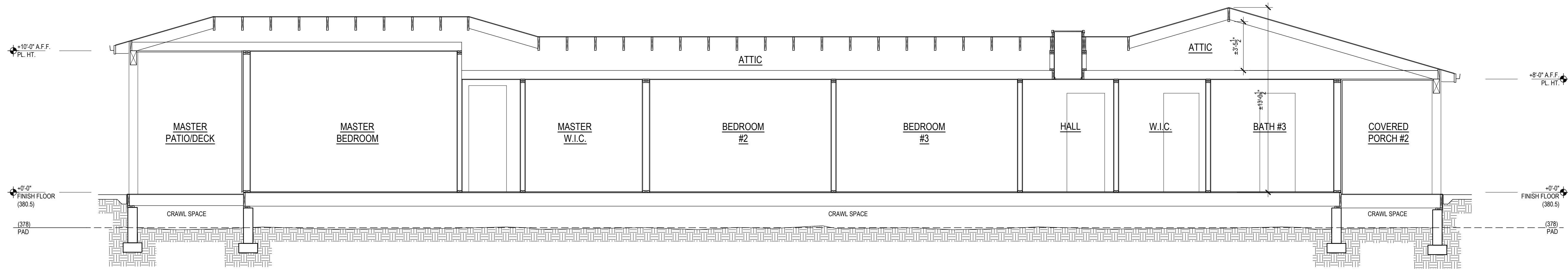


STUDIO ..... DESIGN

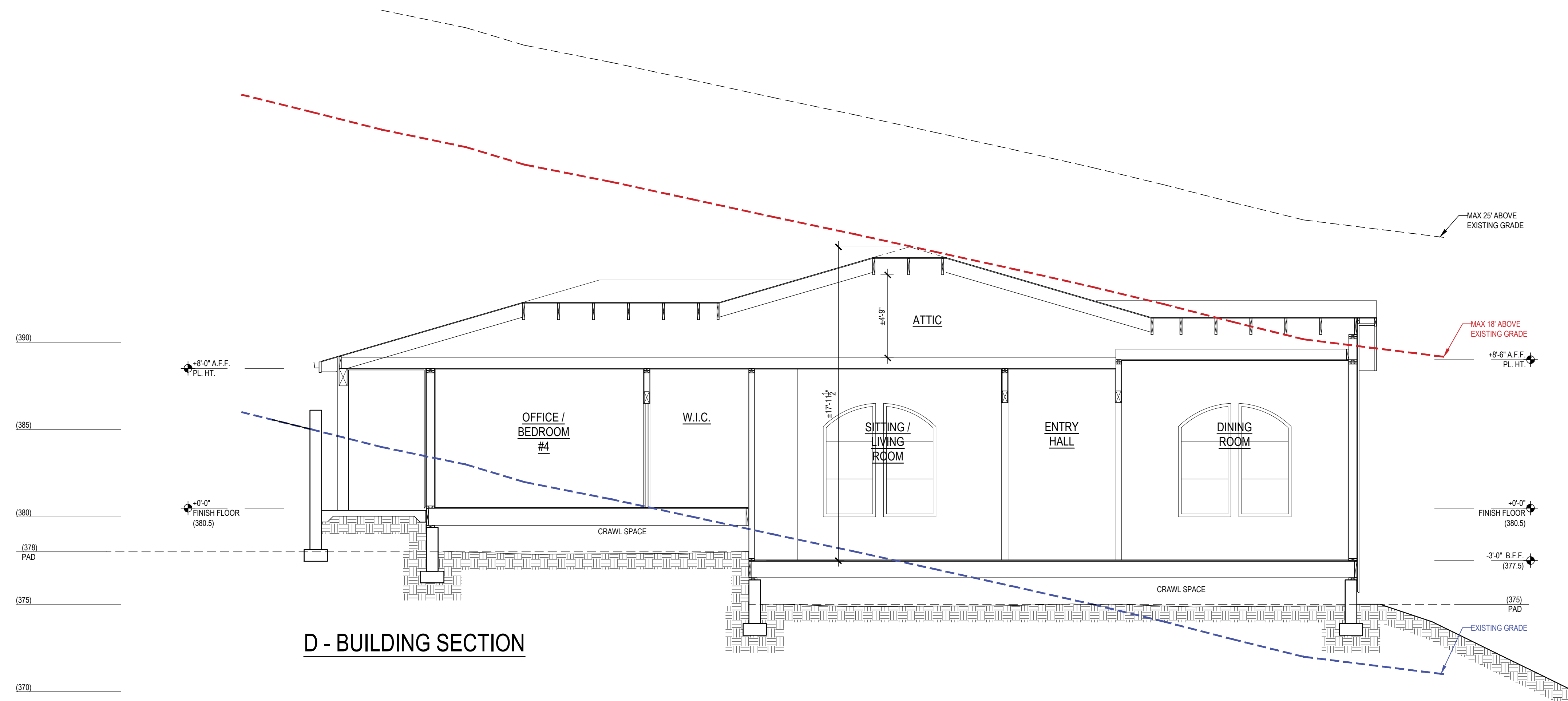
INTERIORS  
REMDELS +  
ADDITIONS  
NEW CONSTRUCTION

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C - BUILDING SECTION



D - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
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95032

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PLANNING SUBMITTAL IV

08 JULY 2022  
PLANNING SUBMITTAL V

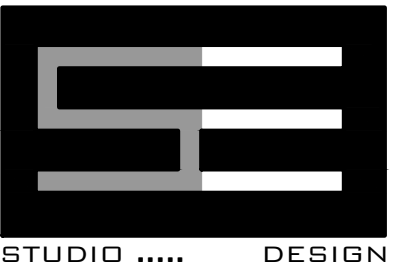
19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.2



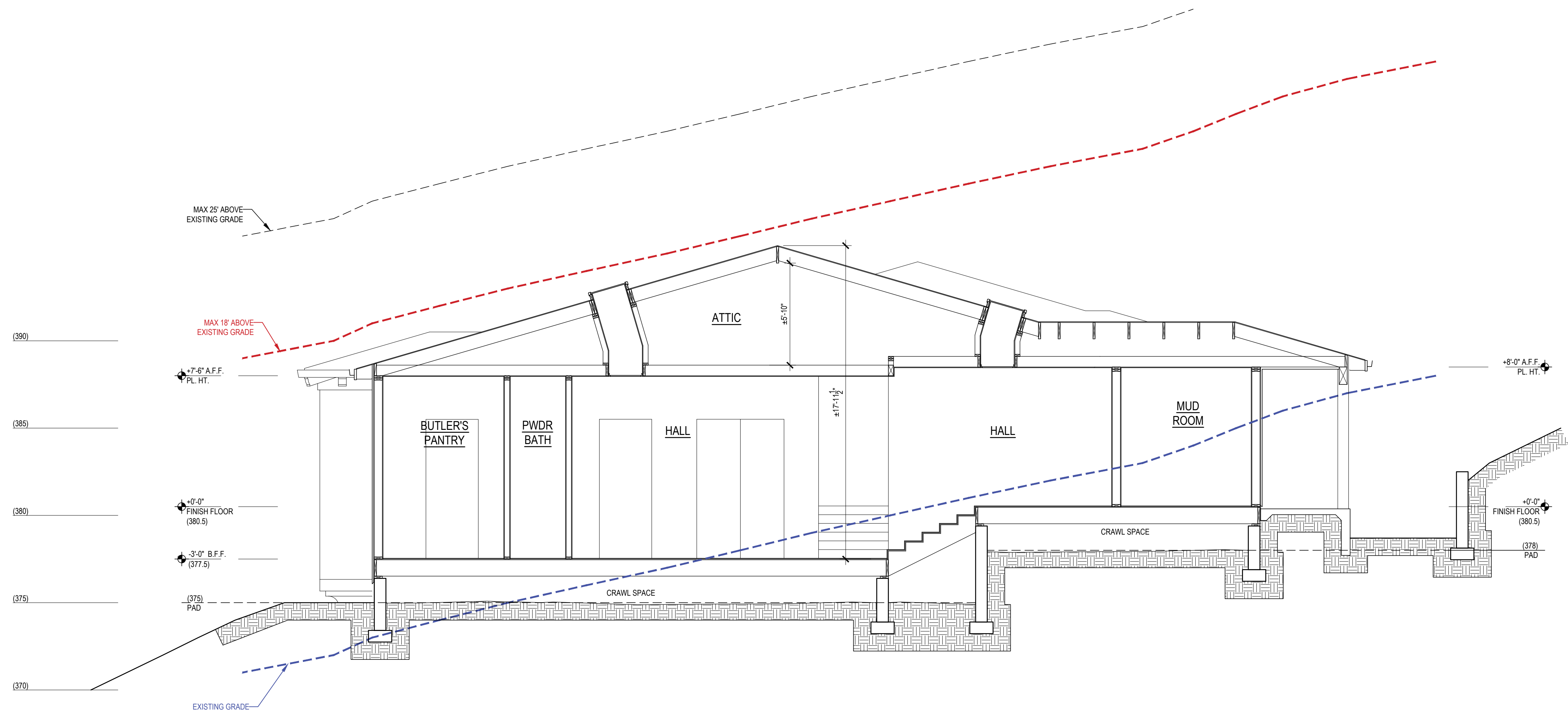


STUDIO ..... DESIGN

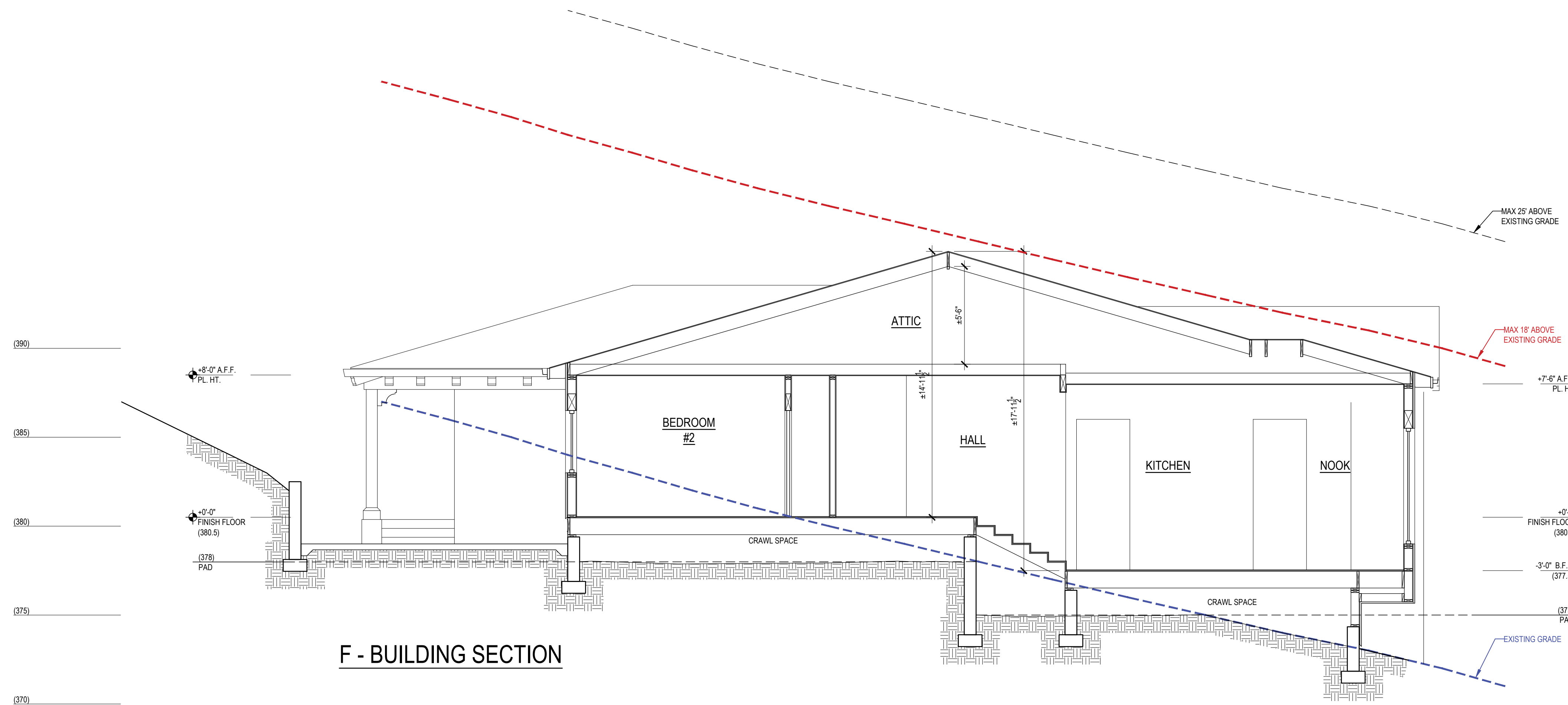
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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CALIFORNIA  
95032

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E - BUILDING SECTION



F - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.3

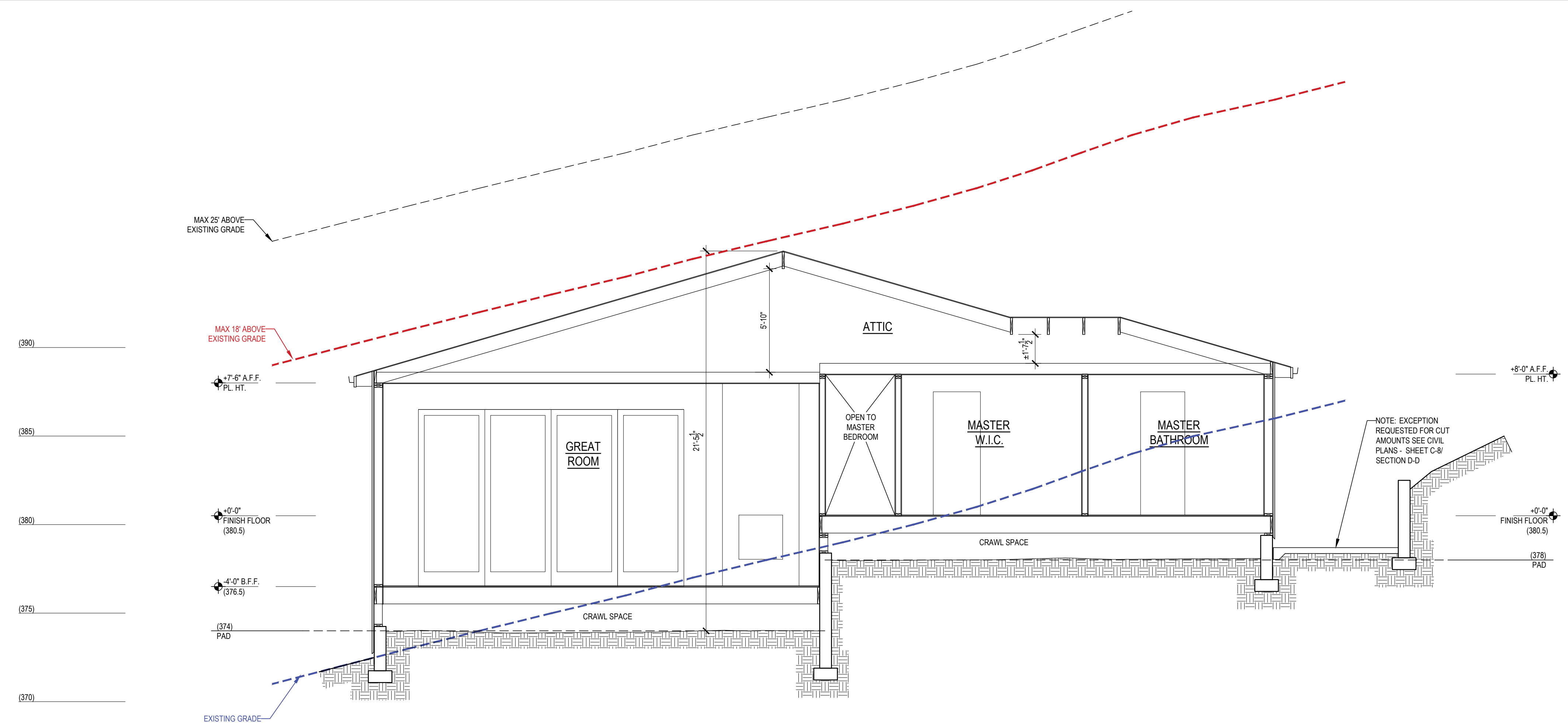


STUDIO ..... DESIGN

INTERIORS  
RENDELS +  
ADDITIONS  
NEW CONSTRUCTION

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CALIFORNIA  
95032

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G - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

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PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.4

# PROJECT ADDRESS

400 SURMONT DRIVE, LOS GATOS, CA 95032

A.P.N. : 527-20-003

PARCEL 1 AND 2

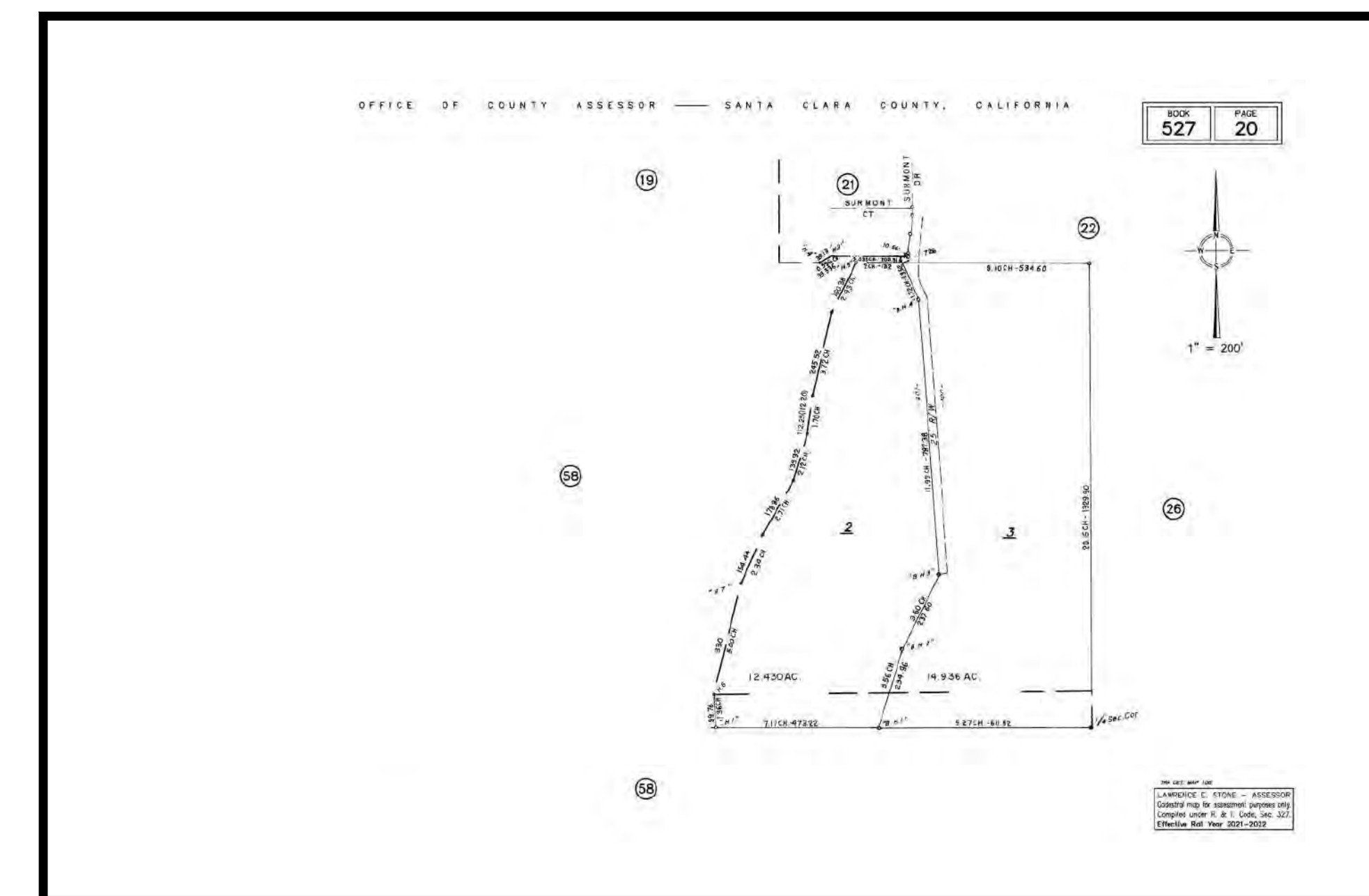
## INDEX

- L1 Cover Sheet
- L2 Frontage and Driveway Proposed Trees and Planting Parcel 1 and 2
- L3 Parcel 1 Proposed Trees and Planting
- L4 Parcel 2 Proposed Trees and Planting
- L5 Tree Table

## SUMMARY/AMENDMENTS

- \*Proposed Planting Pocket Shown on L2, L3, and L4
- \*Tree Table, Showing Existing and Proposed Trees
- \*Trees Numbered Per Arborist Report
- \*Tree and Plant Species Adjacent to The Driveway Approach off of Surmont Are Native.
- \*All Plants and Trees Used Are Native of California
- \*Fire Defensible Space Zones.
- \*All Proposed Trees Are 30' Away From Residence
- \*All Proposed Trees and Shrubs Are Native.

## PARCEL MAP



ALYSON FLYNN  
LANDSCAPE ARCHITECT & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114  
Landscape Architect No. 3074



Driveway  
400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date Aug 06, 2021

Scale 1/8" = 1' 0"

Drawn AF

Sheet

L 1

of Sheets



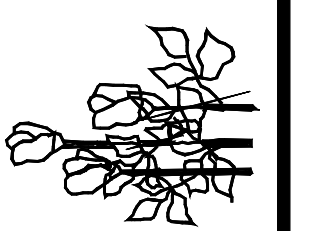
Revisions	By
March 19, 2022	CLL
July 20, 2022	CLL

This plan is for general construction only, it is not fully detailed or specified. It is the responsibility of the contractor and /or owner to select, resolve, and install all construction features, planting materials, irrigation systems, and/or areas drains and drainage pipe.

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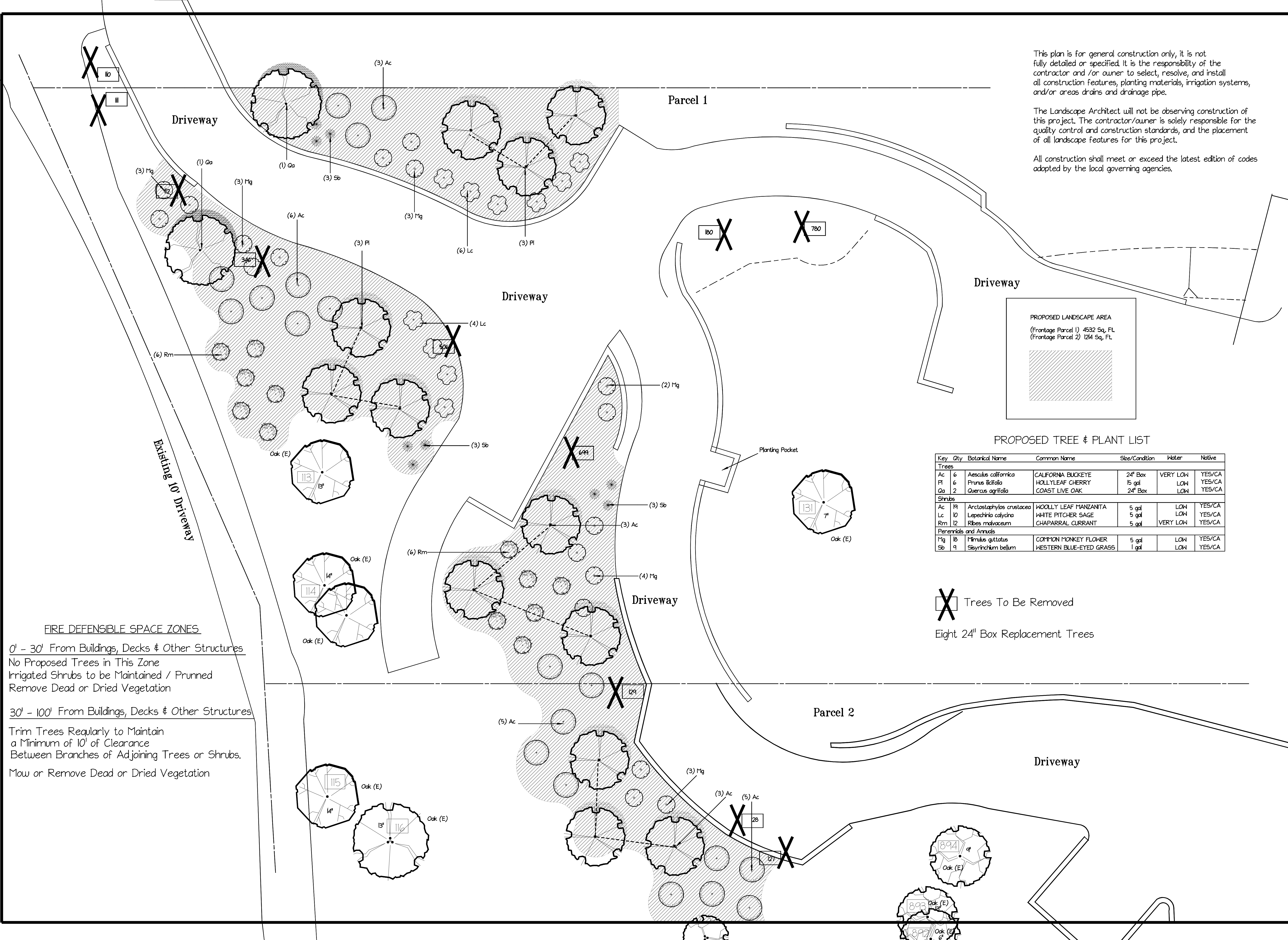
All construction shall meet or exceed the latest edition of codes adopted by the local governing agencies.

ALYSON FLYNN & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114



Driveway  
400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date: Jun 18, 2020  
Scale: 1/8" = 1' 0"  
Drawn: AF  
Sheet: L 2  
of: 2 Sheets



PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size/Condition	Water	Native
<b>Trees</b>						
Ac	6	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pf	6	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	15 gal	LOW	YES/CA
Ga	2	<i>Quercus agrifolia</i>	COAST LIVE OAK	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	19	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Lc	10	<i>Lepachia calycina</i>	WHITE FITCHER SAGE	5 gal	LOW	YES/CA
Rm	12	<i>Ribes malvaceum</i>	CHAPARRAL CURRANT	5 gal	VERY LOW	YES/CA
<b>Perennials and Annals</b>						
Mg	18	<i>Minulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	9	<i>Sisyrinchium bellum</i>	WESTERN BLUE-EYED GRASS	1 gal	LOW	YES/CA

X Trees To Be Removed  
Eight 24" Box Replacement Trees

FIRE DEFENSIBLE SPACE ZONES

0' - 30' From Buildings, Decks & Other Structures  
No Proposed Trees in This Zone  
Irrigated Shrubs to be Maintained / Pruned  
Remove Dead or Dried Vegetation

30' - 100' From Buildings, Decks & Other Structures  
Trim Trees Regularly to Maintain a Minimum of 10' of Clearance Between Branches of Adjoining Trees or Shrubs.  
Mow or Remove Dead or Dried Vegetation





PROPOSED LANDSCAPE AREA  
5,612 Sq. Ft.

PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pt	1	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	23	<i>Arctostaphylos crustacea</i>	HOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
CDS	9	<i>Ceanothus x 'Dark Star'</i>	DARK STAR CEANOTHUS	5 gal	LOW	YES/CA
Cs	3	<i>Calandrinia spectabilis</i>	CALANDRINA SPECTABILIS	5 gal	LOW	YES/CA
Lc	21	<i>Lepechinia calycina</i>	WHITE FITCHER SAGE	5 gal	LOW	YES/CA
Rm	15	<i>Ribes malvaceum</i>	CHAPARRAL CURRANT	5 gal	VERY LOW	YES/CA
<b>Perennials and Annuals</b>						
Am	5	<i>Achillea millefolium</i>	YARRON	1 gal	LOW	YES/CA
Mg	17	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA

Three Trees to Be Removed Requiring Replacement  
#127, #128, #129 - See Arborist Report  
Plan Includes Four Replacement Trees

FIRE DEFENSIBLE SPACE ZONES

0' - 30' From Buildings, Decks & Other Structures

No Proposed Trees in This Zone  
Irrigated Shrubs to be Maintained / Pruned  
Remove Dead or Dried Vegetation

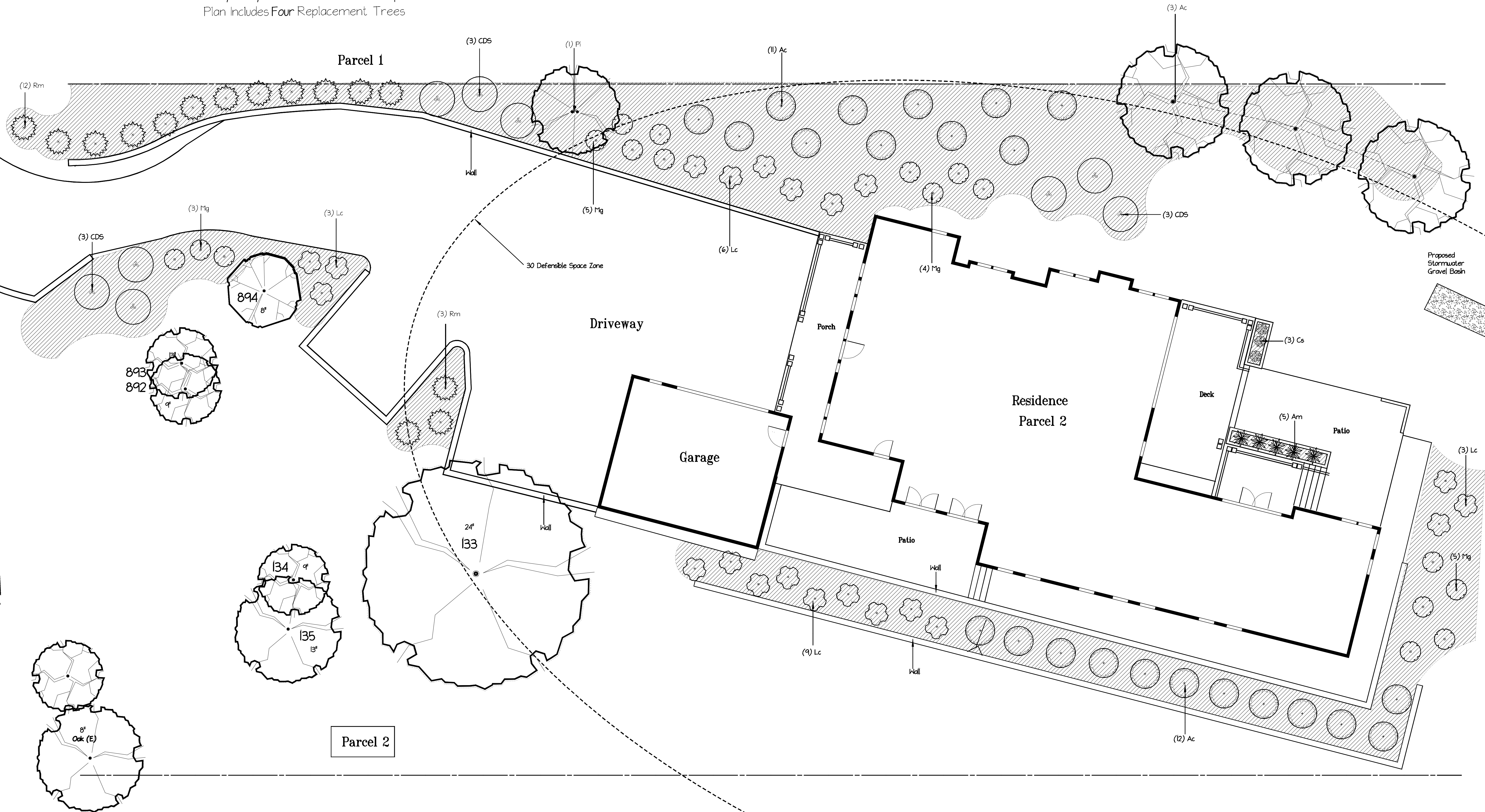
30' - 100' From Buildings, Decks & Other Structures

Trim Trees Regularly to Maintain  
a Minimum of 10' of Clearance  
Between Branches of Adjoining Trees or Shrubs.  
Mow or Remove Dead or Dried Vegetation

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Revisions	By
Jan. 31, 2022	CLL
March 19, 2022	CLL

ALYSON FLYNN & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114

Parcel 2 Landscape Plan  
400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date Jun. 18, 2020  
Scale 1/8" = 1' 0"  
Drawn AF/CLL  
Sheet L 4  
of Sheets



TREE LOCATIONS - ARBORIST REPORT

400 Surmont Drive, Los Gatos

Tree Inventory and Assessment

September 27, 2019  
Revised February 11, 2022

Appendix A: Site Plan and Tree Locations

Site plan not to scale. Trees with an 'X' next to them are highly impacted. The blue dash represents the tree protection fence.



Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018  
831.331.8982 - rick@monarcharborist.com

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X Trees To Be Removed

TREE TABLE

TREES TO BE REMOVED REQUIRING REPLACEMENTS

ID #	Tree Species	Canopy Size	Replacement Requirement
111	Coast Live Oak	15	All Require 3 - 24" Box
127	Coast Live Oak	30	
128	Coast Live Oak	30	
129	Coast Live Oak	25	
130	Stone Pine	15	
700	Coast Live Oak	10	
896	Coast Live Oak	10	

PROPOSED TREES

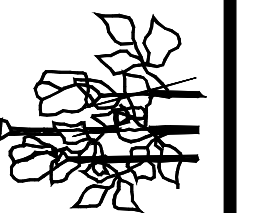
Key	Qty	Botanical Name	Common Name	Size/Condition	Water	Native
Trees (L2 Frontage)						
Ac	6	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pt	6	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	15 gal	LOW	YES/CA
Ga	2	<i>Quercus agrifolia</i>	COAST LIVE OAK	24" Box	LOW	YES/CA
Trees (L3 Parcel 1)						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pt	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
Trees (L4 Parcel 2)						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pt	1	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA

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50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114



EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Appendix B: Tree Inventory and Assessment Tables  
Table 2: Inventory Summary

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	110	8	10	15	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	111	6.5	15	15	Fair	Fair	High	\$750.00	Protected
apricot ( <i>Prunus armeniaca</i> )	112	7.7	15	15	Poor	Poor	High	\$710.00	Exempt
holly oak ( <i>Quercus ilex</i> )	113	13	30	30	Fair	Fair	Low	\$2,340.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	114	14.9	35	30	Fair	Fair	Low	\$2,700.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	115	14	35	35	Good	Good	Low	\$1,380.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	116	13.15	35	35	Fair	Fair	Low	\$2,090.00	Large Protected
wild plum ( <i>Prunus sp.</i> )	117	8	25	25	Good	Poor	Low	\$600.00	Exempt
wild plum ( <i>Prunus sp.</i> )	118	8	25	25	Good	Poor	Low	\$600.00	Exempt
wild plum ( <i>Prunus sp.</i> )	119	6	25	25	Good	Poor	Low	\$390.00	Exempt
wild plum ( <i>Prunus sp.</i> )	120	8.4, 3	25	25	Good	Poor	Low	\$770.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	121	18.5	35	35	Good	Good	Low	\$5,400.00	Protected
apricot ( <i>Prunus armeniaca</i> )	122	8.8	15	15	Fair	Poor	Low	\$1,700.00	Exempt

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EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
coast live oak ( <i>Quercus agrifolia</i> )	123	10.9	35	35	Fair	Fair	Low	\$1,820.00	Protected
holly oak ( <i>Quercus ilex</i> )	124	8.6	25	25	Fair	Fair	Low	\$1,420.00	Protected
holly oak ( <i>Quercus ilex</i> )	125	5	20	20	Good	Good	Low	\$620.00	Protected
holly oak ( <i>Quercus ilex</i> )	126	6.4, 4	20	20	Fair	Fair	Low	\$940.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	127	14	30	30	Good	Good	High	\$3,140.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	128	11	30	30	Good	Good	High	\$1,990.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	129	11.9	25	25	Good	Good	High	\$3,140.00	Protected
stone pine ( <i>Pinus pinea</i> )	130	9	25	15	Good	Poor	High	\$880.00	Protected
tyson ( <i>Heteromeles arbutifolia</i> )	131	7.7, 7	25	25	Fair	Fair	Moderate	\$2,150.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	132	8.5, 5	30	30	Fair	Fair	Moderate	\$1,120.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	133	27	55	55	Good	Good	Moderate	\$11,300.00	Large Protected
coast live oak ( <i>Quercus agrifolia</i> )	134	9.9	25	25	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	135	13	25	25	Good	Good	Low	\$2,730.00	Protected
wild plum ( <i>Prunus sp.</i> )	346	4.4, 4.4	10	8	Good	Poor	Low	\$930.00	Exempt

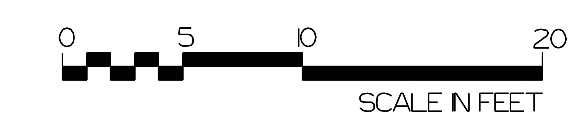
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18 of 30

EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	506	3.3, 3,	10	8	Good	Poor	High	\$1,100.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	699	7.7	10	8	Poor	Poor	High	\$710.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	700	6	15	10	Fair	Fair	High	\$460.00	Protected
apricot ( <i>Prunus armeniaca</i> )	892	4.4, 4, 6	10	8	Dead	Poor	Low	\$0.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	893	13	25	15	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	894	9	15	10	Good	Good	Moderate	\$1,380.00	Protected
apricot ( <i>Prunus armeniaca</i> )	895	6.4, 3	10	8	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	896	6	15	10	Poor	Poor	High	\$230.00	Protected
apricot ( <i>Prunus armeniaca</i> )	897	4	10	8	Poor	Poor	High	\$150.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	898	10	10	8	Poor	Poor	High	\$710.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	899	8	10	8	Poor	Poor	High	\$470.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	900	12	10	8	Poor	Poor	High	\$1,000.00	Exempt

Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018  
831.331.8982 - rick@monarcharborist.com  
19 of 30



EXISTING TREE INVENTORY FROM ARBORIST REPORT

400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date March 22, 2022  
Scale 1/8" = 1' 0"  
Drawn CLL  
Sheet L 5  
of Sheets



PROPOSED TREES + PLANT LIST



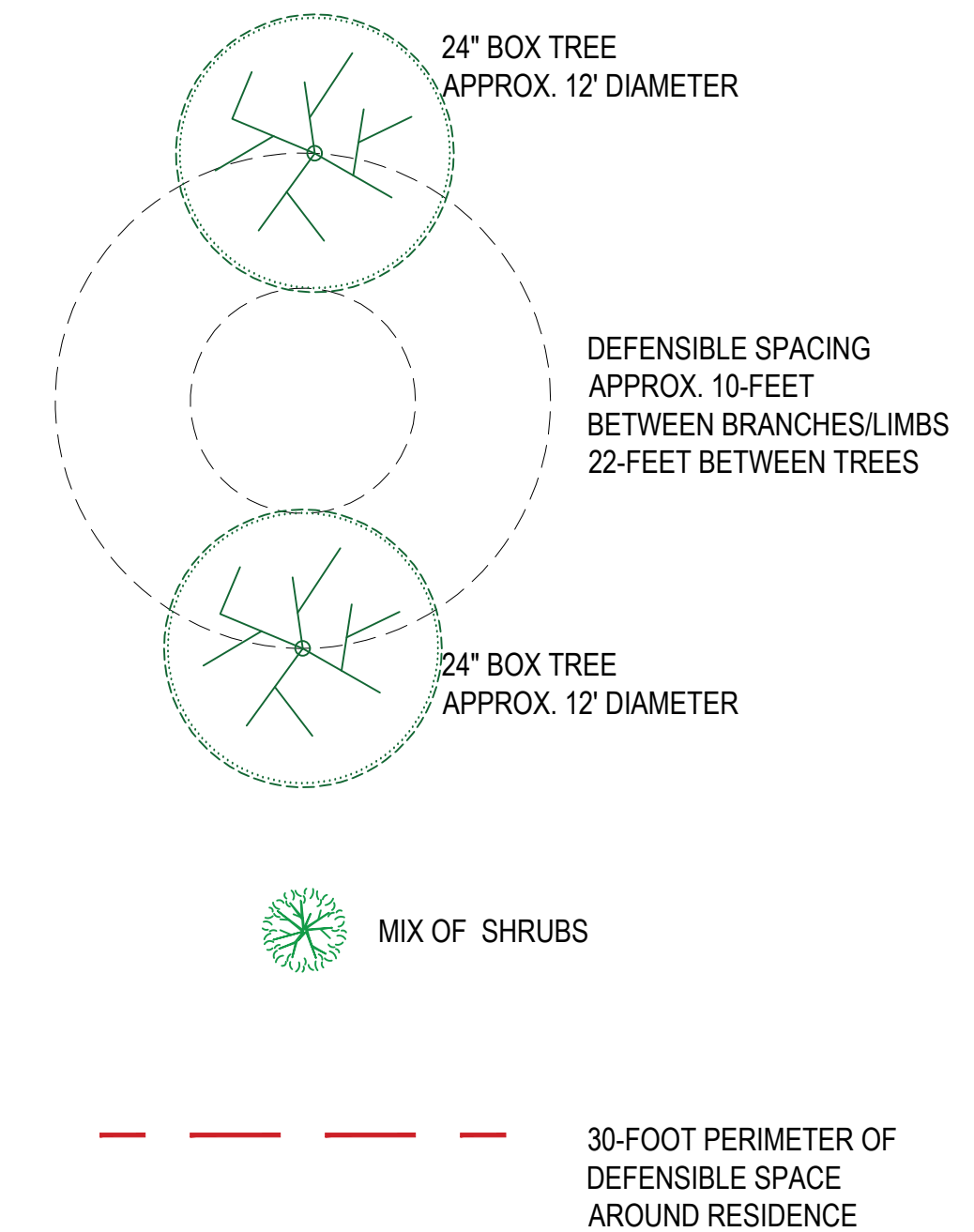
INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION  
638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032  
.....  
F 253.399.1125

Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

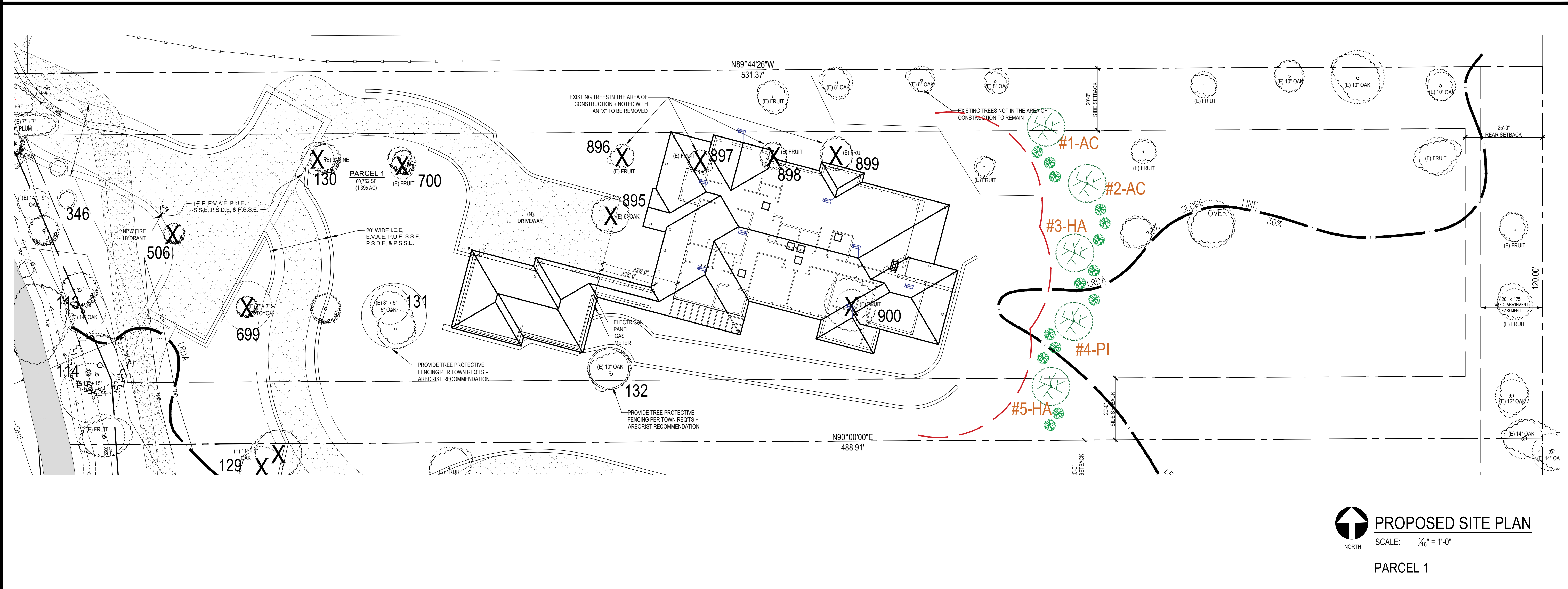
Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.

PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	15	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
La	26	<i>Lepechinia calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Rc	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA



SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
NORTH  
PARCEL 1

SCALE: AS NOTED  
PROPOSED LANDSCAPE  
SCREENING



PROPOSED TREES + PLANT LIST



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

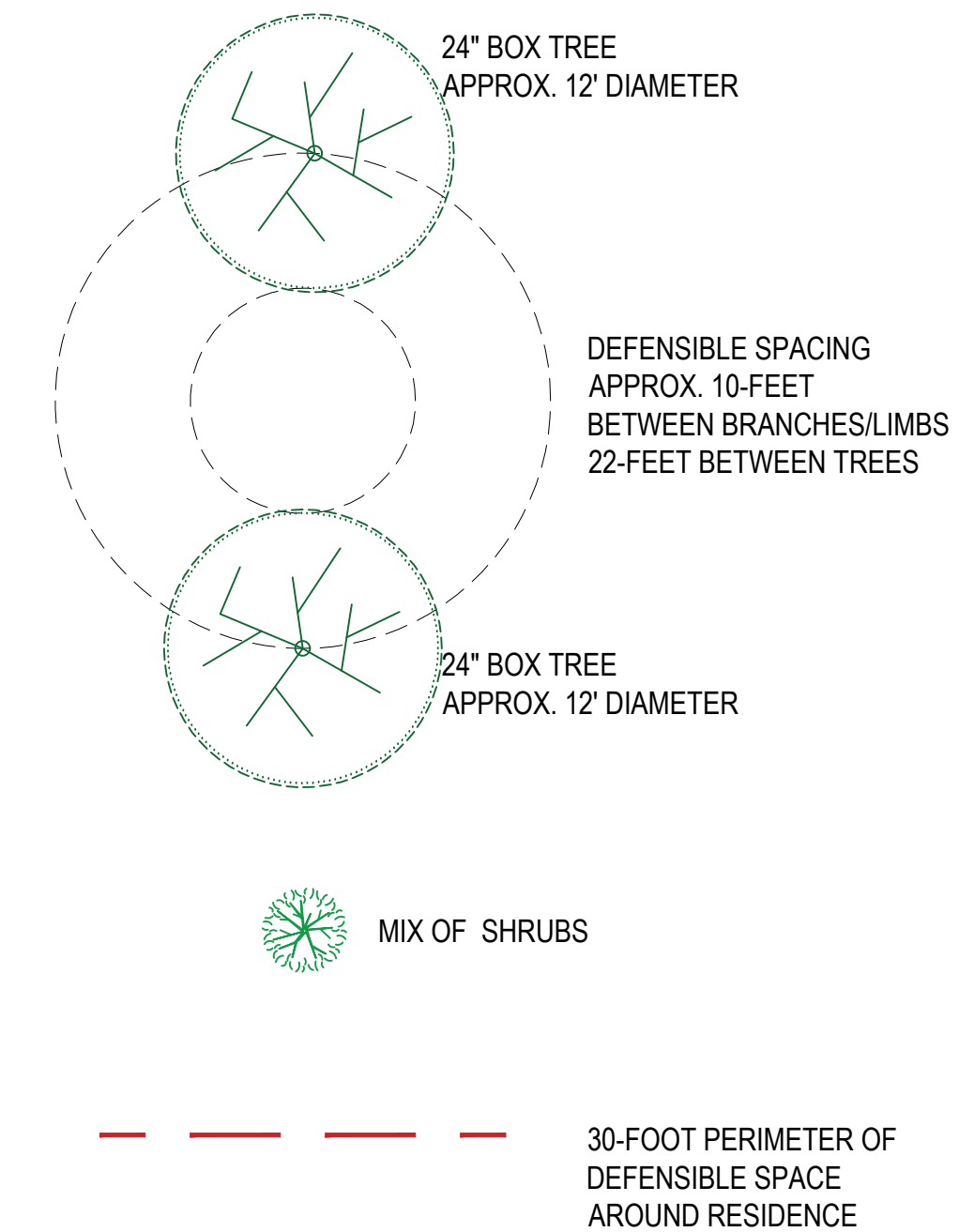
T 408.292.3252  
F 253.399.1125

Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

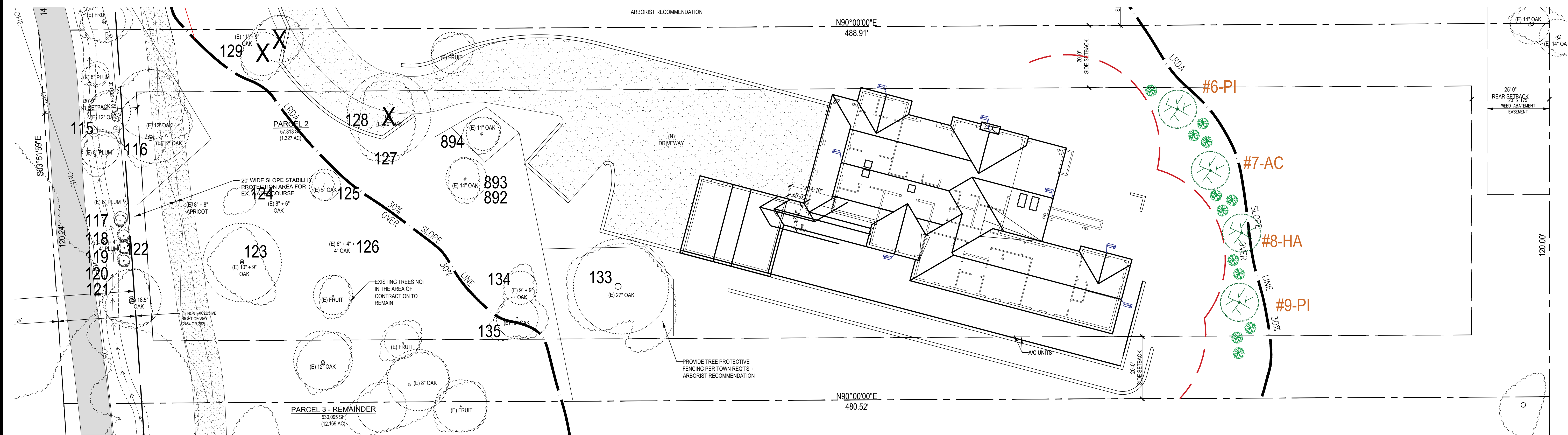
Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.

PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	15	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
Lc	26	<i>Lepechinia calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Rc	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Minulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA



SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: AS NOTED

**PROPOSED SITE PLAN**

SCALE: 1/16" = 1'-0"

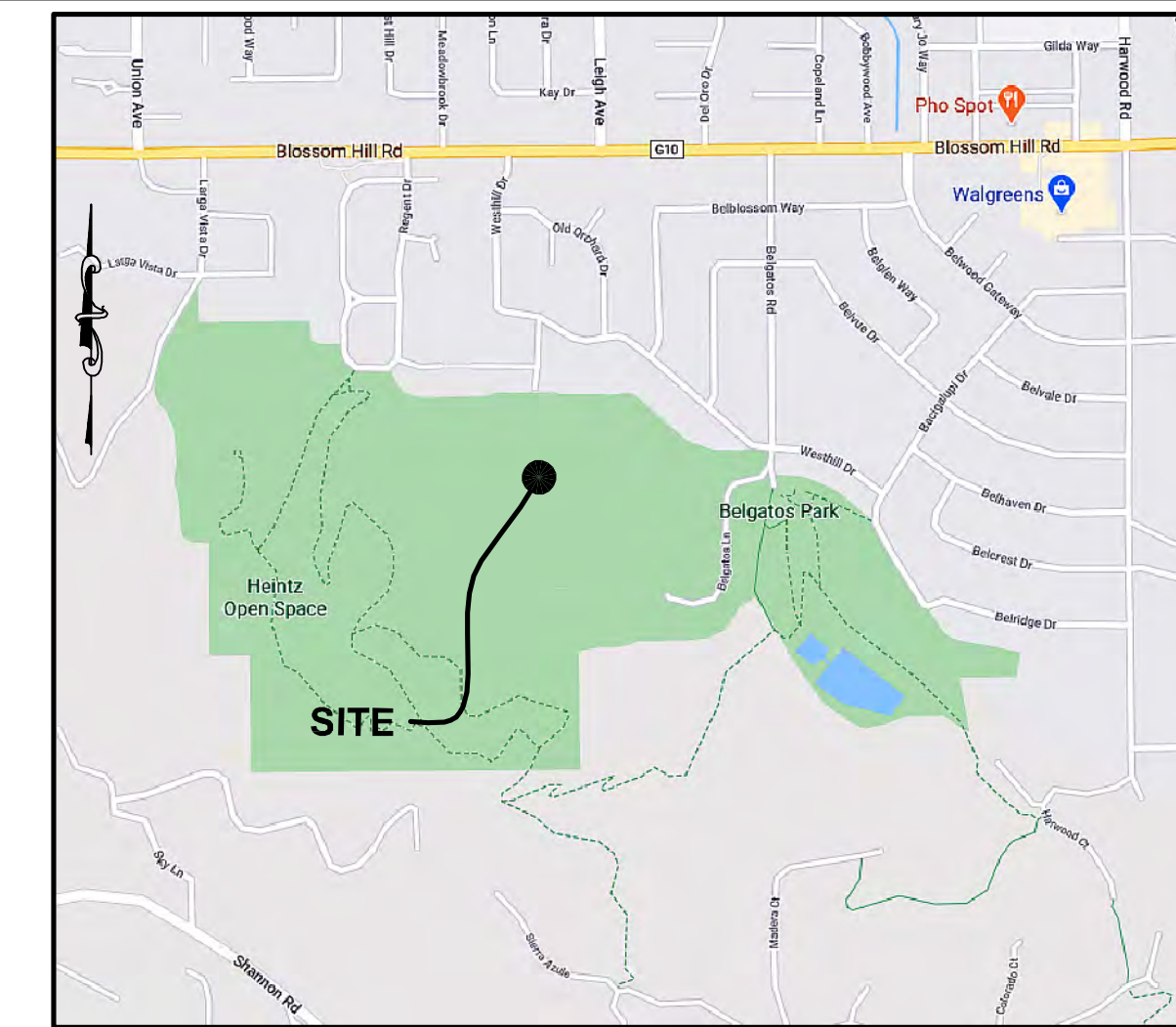
PARCEL 2

PROPOSED LANDSCAPE  
SCREENING



# PLANS FOR THE CONSTRUCTION OF TWO NEW HOMES

400 SURMONT DRIVE  
LOS GATOS, CALIFORNIA  
ARCHITECTURE AND SITE APPLICATION



VICINITY MAP  
N.T.S.

## TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408)399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHALL INCLUDE:
  - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
  - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO ME GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIR BORN PARTICULATES.
- THE CONTRACTOR SHALL WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS: a.) RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION) b.) TOE AND TOP OF FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THE DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.  
SOILS ENGINEER: EARTH SYSTEMS PACIFIC, BILL ZEHFBACH, REFERENCE REPORT NUMBER SH-11172SA, DATED MARCH 10, 2010  
LETTER NUMBER 303158, DATED MAY 24, 2019, SHALL BE THOROUGHLY COMPLIED WITH.  
BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ONSITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEO TECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.

- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS, AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- APPLICANT: SANDRA ANDERSON PHONE: (408) 559-8850
- GENERAL CONTRACTOR: THE BUILDING WORKS PHONE: (408) 391-8130
- GRADING CONTRACTOR: TBD PHONE: \_\_\_\_\_
- a) CUT: 2,432 CY EXPORT: 1833 CY (SEE SHEET C-8)  
b) FILL: 599 CY IMPORT: 0 CY
- WATER SHALL BE AVAILABLE ON SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENT AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OF PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLAN (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

## LEGEND

DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---	AC BERM	---	---
ADJACENT PROPERTY LINE	---	---	TOP OF BANK	---	---
STREET CENTER LINE	---	---	TOE OF BANK	---	---
BUILDING SETBACK LINES	---	---	WIRE FENCE	---	---
EASEMENT	---	---	CHAIN LINK FENCE	---	---
DIRT ROAD	---	---	WOOD FENCE	---	---
ROAD/PAVEMENT	---	---	SANITARY SEWER LINE	---	---
CURB	---	---	PERFORATED SEPTIC LINE	---	---
CURB AND GUTTER	---	---	ELECTRIC LINE	---	---
CONCRETE	---	---	GAS LINE	---	---
CONTOUR MAJOR	530	530	STORM DRAIN LINE	---	---
CONTOUR MINOR	534	534	WATER LINE	---	---
LIMIT OF GRADING	---	---	OVERHEAD WIRE	---	---
BLOCK RETAINING WALL	---	---	SWALE/FLOWLINE	---	---
ROCK RETAINING WALL	---	---	PROP. GRASSY SWALE	---	---
DRIVEWAY	---	---	LEAST RESTRICTIVE DEVELOPMENT AREA	---	---
BUILDING	---	---			
BUILDING 2nd FLOOR	---	---			

## ABBREVIATIONS

AB	- AGGREGATE BASE	JP	- JOINT POLE
AC	- ASPHALTIC CONCRETE	MAX	- MAXIMUM
AD	- AREA DRAIN	MIN	- MINIMUM
APT	- ANGLE POINT	MPVC	- MIDPOINT OF VERTICAL CURVE
AS	- AGGREGATE SUBBASE	MH	- MANHOLE
BC	- BEGINNING OF CURVE	N	- NORTH
BFP	- BACK FLOW PREVENTOR	NO	- NUMBER
BOW	- BOTTOM OF WALL	OH	- OVERHANG
BVC	- BEGIN VERTICAL CURVE	OHE	- OVERHEAD ELECTRIC
BW	- BACK OF WALK	NTS	- NOT TO SCALE
C	- CONCRETE	P	- PAVEMENT ELEVATION
COL	- COLUMN	PCC	- PORTLAND CEMENT CONCRETE
CY	- CUBIC YARD	PIV	- POST INDICATOR VALVE
CB	- CATCH BASIN	PL	- PROPERTY LINE
C&G	- CURB AND GUTTER	PMH	- POWER MANHOLE
CI	- CURB INLET	PP	- POWER POLE
CIP	- CAST IRON PIPE	PVC	- POLYVINYL CHLORIDE PIPE
CL	- CENTER LINE OR CLASS	R	- RADIUS
CLF	- CHAIN LINK FENCE	RC	- RELATIVE COMPACTION
CO	- CLEANOUT	RCF	- REINFORCED CONCRETE PIPE
CMP	- CORRUGATED METAL PIPE	R/W	- RIGHT OF WAY
CONC	- CONCRETE	SW	- SIDEWALK
CONC	- CONSTRUCTION OR CONSTRUCT	S	- SLOPE OR SOUTH
CPAU	- CITY OF PALO ALTO UTILITIES	SB	- SEDIMENT BASIN
D	- DOOR	SD	- STORM DRAIN
DI	- DROP INLET	SDDI	- STORM DRAIN DROP INLET
DIP	- DUCTILE IRON PIPE	SF	- SILT FENCE
DOM	- DOMESTIC	S.L.D.	- SEE LANDSCAPE DRAWINGS
DW	- DOMESTIC WATER	SMH	- SIGNAL MANHOLE
DWG	- DRAWING	SS	- SANITARY SEWER
E	- EAST	STA	- STATION
EC	- END OF CURVE	STD	- STANDARD
EP	- EDGE OF PAVEMENT	TYP	- TYPICAL
ER	- END OF RETURN	TC	- TOP OF CURB
EVC	- END VERTICAL CURVE	TPZ	- TREE PROTECTION ZONE
ELEV	- ELEVATION	TS	- TOP OF SLAB
EX	- EXISTING	TOW	- TOP OF WALL
EX EXIST	- EXISTING	U/G	- UNDERGROUND
FDC	- FIRE DEPARTMENT CONNECTION	UN	- UNLESS OTHERWISE NOTED
FF	- FACE OF CURB	VC	- VERTICAL CURVE
FG	- FINISHED FLOOR	W	- WEST
FH	- FINISHED GRADE	WELL T	- TREE WELL
FL	- FIRE HYDRANT	WGW	- WATER, GAS, WASTEWATER
FOUND	- FOUNDATION	WM	- WATER METER
FS	- FINISHED SURFACE	WV	- WATER VALVE
FT	- FOOT	WMF	- WELDED WIRE FABRIC
FW	- FIRE WATER	W/	- WITH
GB	- GRADE BREAK		
GV	- GATE VALVE		
HC	- HANDICAP		
HP	- HIGH POINT		
INV	- INVERT ELEVATION		

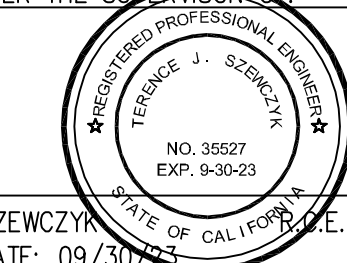
## BENCHMARK

ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON DAVID88

## SHEET INDEX

C-0	COVER SHEET
C-1	TENTATIVE MAP (PREVIOUSLY APPROVED)
C-2	ACCESS ROAD PLAN AND PROFILE
C-3	UTILITY PLAN
C-4	(NOT INCLUDED IN THIS SUBMISSION)
C-5	ACCESS ROAD PLAN AND PROFILE
C-6	EROSION CONTROL PLAN
C-7	EROSION CONTROL AND CONSTRUCTION DETAILS
C-8	PARCEL 1 SITE PLAN

DESIGNED UNDER THE SUPERVISION OF:



TERENCE J. SZEWCHYK  
EXPIRATION DATE: 09/30/23

TSCIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

COVER SHEET  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

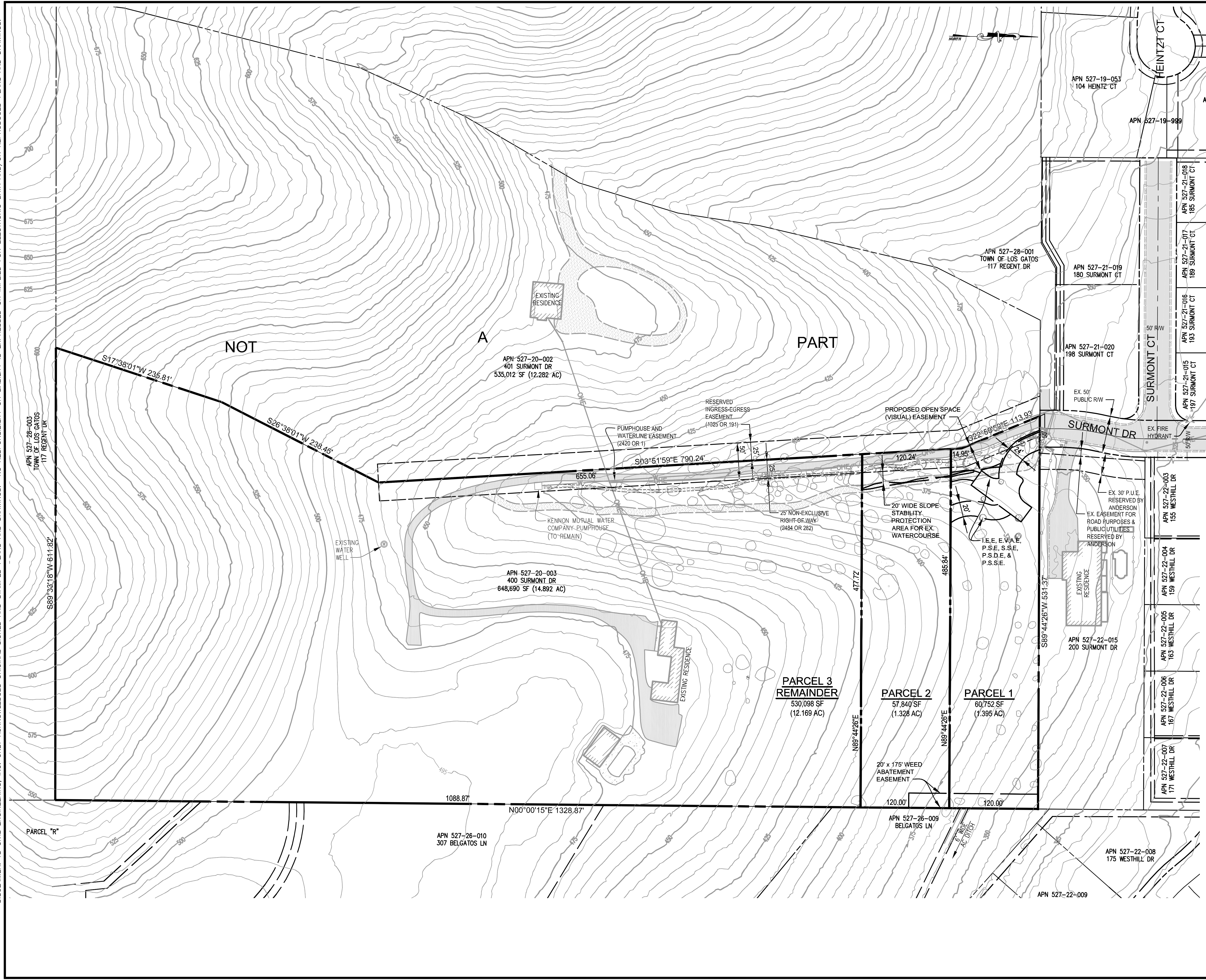
NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 12-13-22  
SCALE: AS NOTED  
DRAWN BY: DKH  
SURVEYED BY: TJS  
PROJ ENGR: JMS  
CHECK BY: TJS  
SHEET NO. **C-0** OF 8 SHEETS  
JOB NO. 16-233

12/13/2022 2:49pm N:\2016\0605\16-233\DWG\16-233\_P1\_CO COVER SHEET.DWG - CO



DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.



**TENTATIVE MAP NOTES**

TRACT NAME: 400 SURMONT DRIVE  
MINOR SUBDIVISION  
2 PARCELS AND DESIGNATED  
REMAINDER

OWNER: SANDRA K. ANDERSON, TRUSTEE  
400 SURMONT DRIVE  
LOS GATOS, CA 85032  
C/O BOB HUGHES (408) 559-8850

CIVIL ENGINEER: TERENCE J. SZEWCZYK  
TS/CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
(408) 452-9300 EXT 220

APN: 527-20-003

GROSS AREA: 648,690 SF (14.892 ACRES)

ZONING: HR-2.5

AVERAGE SLOPE: 27.3%

LOT YIELD: 14.89 AC / 2.72 AC/DU  
= 5.5 DU'S OR LOTS

PROPOSED LOTS: 2 + DESIGNATED REMAINDER

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

WATER SUPPLY: SAN JOSE WATER COMPANY

SEWAGE DISPOSAL: WEST VALLEY  
SANITATION DISTRICT

GAS & ELECTRIC: PG&E

**LEGEND**

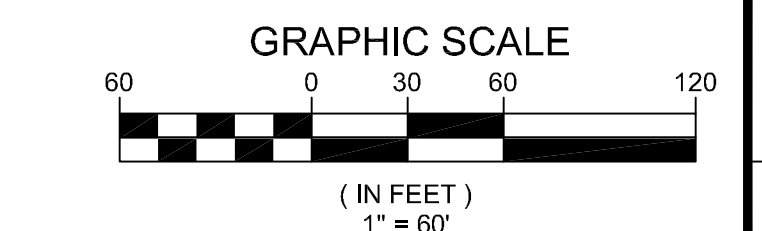
- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- BUILDING SETBACK LINES
- EX. EASEMENT
- EX. ROAD
- EX. CONTOUR MAJOR
- EX. CONTOUR MINOR
- EX. DRIVEWAY
- PROP. PROPERTY LINE
- PROP. CONTOUR MAJOR
- PROP. CONTOUR MINOR
- PROP. DRIVEWAY
- PROP. CONCRETE
- SINGLE FAMILY RESIDENTIAL USE

**AREA CHART**

PARCEL 1	60,752 SF (1.395 AC)
PARCEL 2	57,840 SF (1.328 AC)
PARCEL 3 (REMAINDER)	530,098 SF (12.169 AC)
<b>TOTAL</b>	<b>648,690 SF (14.892 AC)</b>

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK  
EXPIRATION DATE: 09/30/23



TS CIVIL ENGINEERING  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 1  
GRADING AND SITE  
IMPROVEMENT

**TENTATIVE MAP  
(PREVIOUSLY APPROVED)**  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

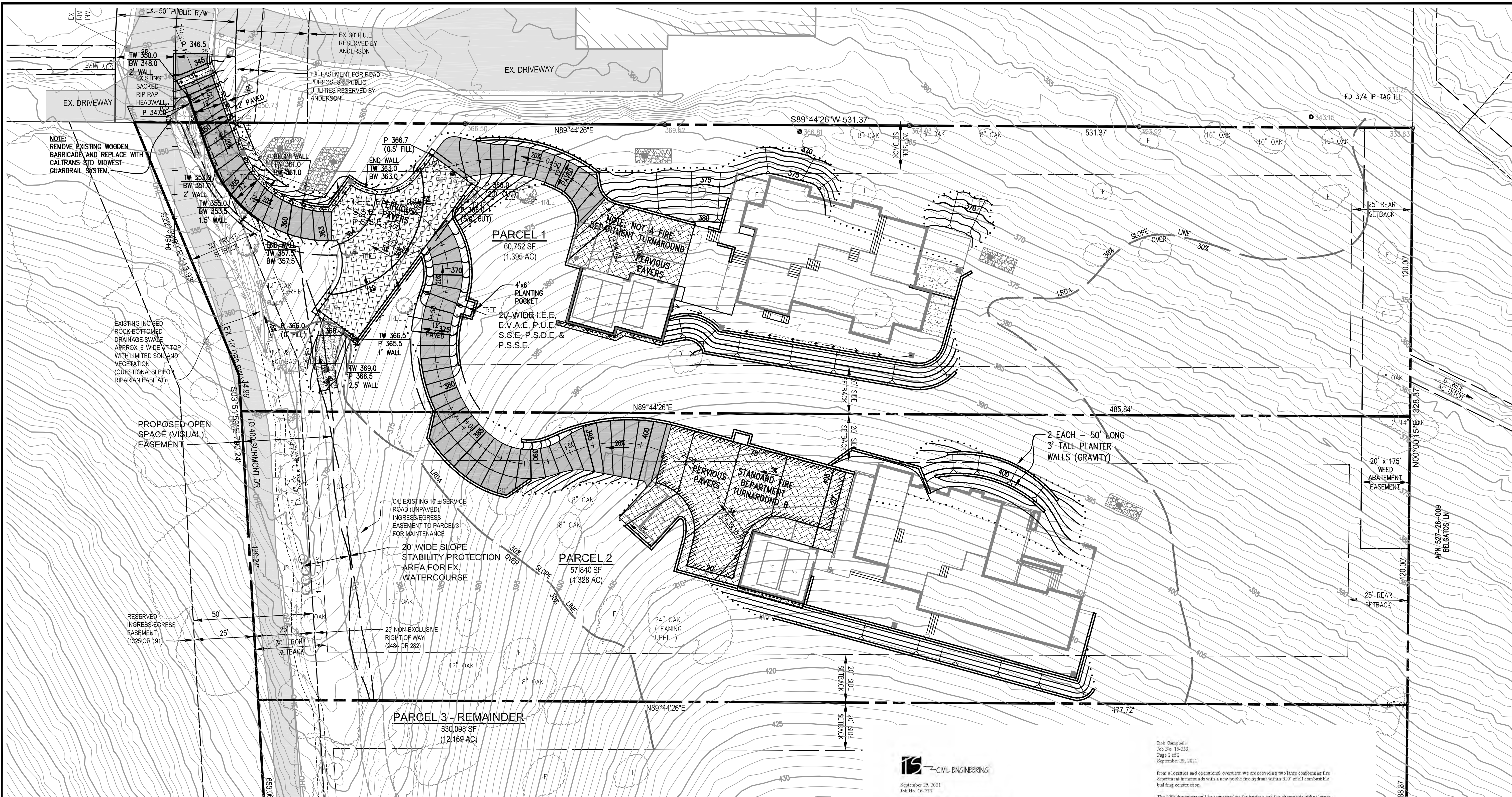
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DATE: 12-13-22  
SCALE: 1"=60'  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO.  
**C-1**  
OF 8 SHEETS  
JOB NO.  
16-233

12/13/2022 2:50pm - N:\2016 JOBS\16-233\DWG\16-233\_P1\_CT TENTATIVE MAP.DWG - CT



DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.



### IMPERVIOUS COVERAGE TABULATION

- 400 SURMONT DRIVE - 3 PROJECTS  
 I. MINOR SUBDIVISION  
 II. PARCEL 1 - RESIDENCE  
 III. PARCEL 2 - RESIDENCE

I. MINOR SUBDIVISION	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
A) SHARED ACCESS ROAD	948	0.95	901
B) FIRE DEPARTMENT TURNAROUND*	2295*	0.10	230
SUBTOTAL	3,243	-	1,131

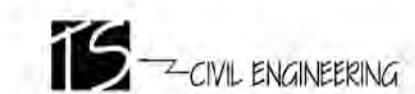
\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS

II. PARCEL 1	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
C) DRIVEWAY	795	0.95	756
D) GARAGE TURNAROUND*	1269*	0.10	127
E) GARAGE	995	1.00	995
F) COVERED PORCH/DECK	1003	1.00	1003
G) RESIDENCE	3674	1.00	3674
H) PARCEL 2 DRIVEWAY WITHIN PARCEL 1	934	0.95	887
SUBTOTAL	8670	-	7441

\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS

III. PARCEL 2	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
I) TURNOUT	320	0.95	304
J) DRIVEWAY	1435	0.95	1363
K) FIRE DEPARTMENT TURNAROUND*	3730*	0.10	373
L) GARAGE	673	1.00	673
M) COVERED PORCH (FRONT)	426	1.00	426
N) RESIDENCE	3405	1.00	3405
O) COVERED DECK (REAR)	464	1.00	464
SUBTOTAL	10,513	-	7068

\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS



September 28, 2021  
 Job No: 16-233  
 Robert L. Campbell, PE - Fire Protection Engineer  
 Santa Clara County Fire Department  
 14700 Winchester Blvd  
 Los Gatos, CA 95033

Subject: Justification For 20% Sloped Driveways  
 Architecture & Site Application for Checking 2-1-204  
 400 Surmont Drive, Los Gatos

Drawn By: Campbell

Pursuant to the Staff technical review comments on the Architecture & Site Approved Application (2-1-204) we are submitting the following additional justification for the access road and individual lot driveways for slopes over 15% and drains at a maximum of 20%.

A. The Town Hillside Specific Plan (HSP) is the paramount authority as it is both legislative zoning and general plan document adopted by the Town Council and the Santa Clara County Board of Supervisors. The HSP provides for 20% sloped driveways to maintain geologic and the preservation of roadways through shared use driveways. The specific terms of this site development are under 20% slope, which is an uphill driveway adopted by the Town in 2014 per the Hillside Standard Design Ordinance (HSDSO). (Note that the Town has never properly adopted these 2014 standards with the partner agency, Santa Clara County, as such the authority here is absolute. Regardless, the use of 15% driveways versus 20% would have the following air impacts:

- The current 430 combined driveway lengths for 20% would increase to 373 at 15% resulting in an additional impervious area of 1716 SF (plus 39%) and increase in stormwater volume to 320 CY of grading (plus 30%).

B. The County Fire Department Specification for the Driveway Requirements, Section III (outlined) allow for driveways up to 20% provided they are no longer than 300'. We have taken our previous "Fire service versus on-site parking" exhibit and highlighted it in green and numbered each issue to restate the previous justification. Furthermore,

1776 BAYVIEW DRIVE, SAN JOSE, CA 95131  
 (408) 253-8888 FAX: (408) 253-8888  
 WWW.TSCVIL.COM

Rob Campbell  
 Job No: 16-233  
 Page 2 of 2  
 September 29, 2021

From a legislative and operational overview, we are providing two large conforming fire department turnarounds with a new public fire hydrant within 300' of all combustible building construction.

The 20% driveways will be more than twice as long as the alignment without larger than maximum inside turn radii of 40' minimum. The three driveways at 20% are 165', 65' & 200' respectively which are easily less than 300' and represent moderate climb of 33', 13' & 40' in elevation, respectively. The point is that on the low fuel (grass and fruit trees) hillside of moderate slope (25%), we are not creating a danger only remote and elevated fire risk for these structures, adjacent residences, or firefighters. The Parcel 2 fire department turnaround provides an excellent staging location for both residences. Finally, both residences will be equipped with full fire sprinklers inside the residences which exceed the current standards of which every other existing residence within the immediate neighborhood.

Should you require additional information please contact me by email: [terence@tscivil.com](mailto:terence@tscivil.com) or cell phone at (408) 316-2595

*Terence J. Szczygiel*

TS CIVIL ENGINEERING, INC.  
 EXP. 9-30-23  
 Terence J. Szczygiel, P.E. 035927  
 Principal Engineer

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZCZYGIEL, P.E.  
 EXPIRATION DATE: 09/30/2023  
 12-13-22

TERENCE J. SZCZYGIEL, P.E. 035927

EXPIRATION DATE: 09/30/2023

GRAPHIC SCALE  
 1" = 20'

(IN FEET)  
 1" = 20'

LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 1  
 GRADING AND SITE  
 IMPROVEMENT

APN 527-26-009  
 BELGATOS LN

LOT LAYOUT PLAN AND  
 ACCESS ROAD PLAN AND PROFILE

400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

TS CIVIL ENGINEERING, INC.  
 1776 BAYVIEW DRIVE  
 SAN JOSE, CA 95131

PH: 408.452.9300  
 FAX: 408.837.7550

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DATE: 12-13-22

SCALE: 1"=20'

DRAWN BY: DKH

SURVEYED BY:

PROJ ENGR: TJS

CHECK BY: TJS

SHEET NO.

**C-2**

OF 8 SHEETS

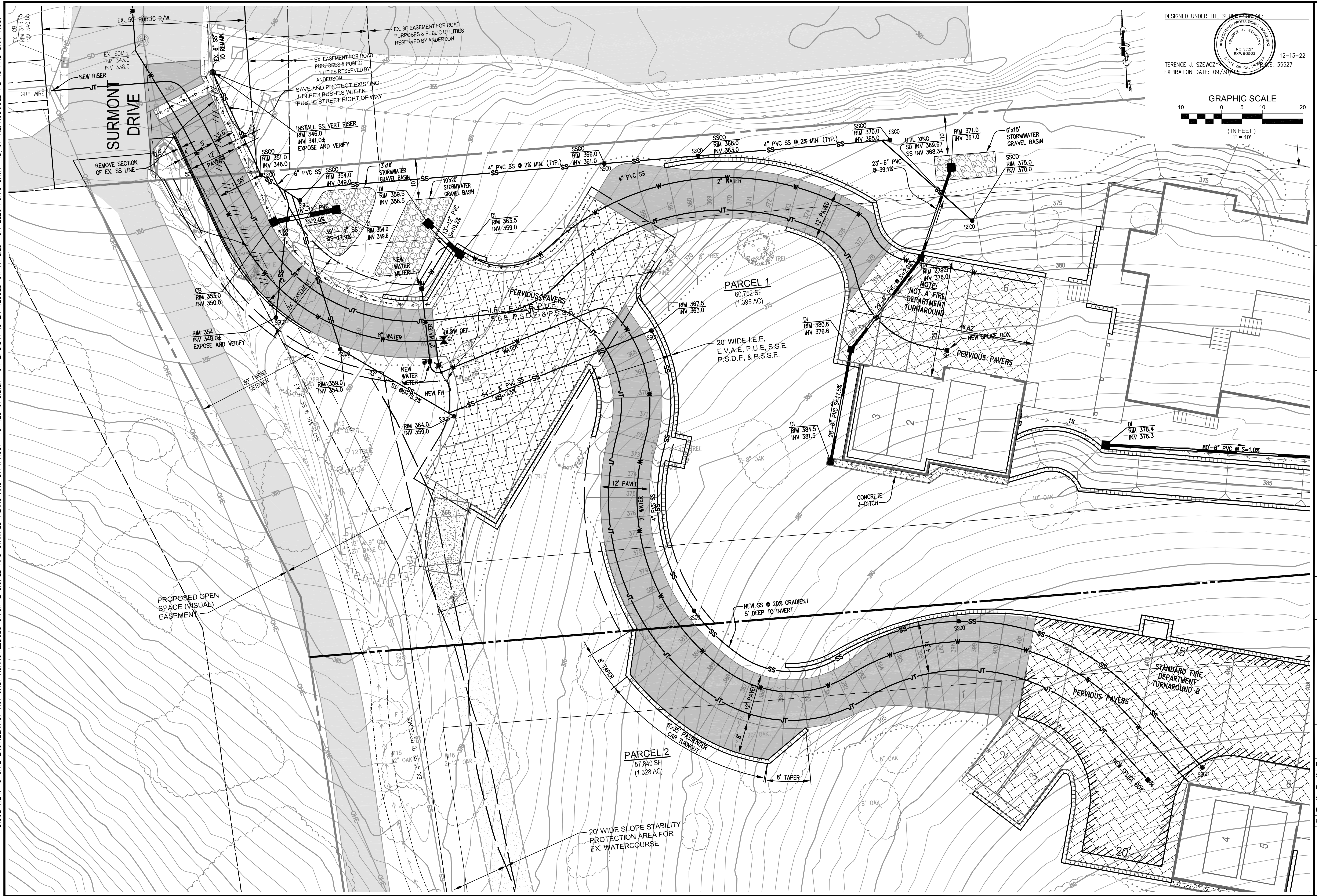
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**16-233**

Page 59

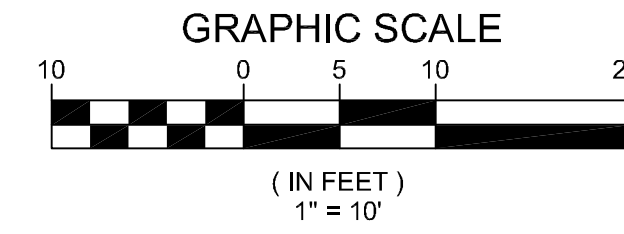
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DESIGNED UNDER THE SUPERVISION OF  
 REGISTERED PROFESSIONAL ENGINEER  
 TERENCE J. SZEWCZYK  
 NO. 35527  
 EXP. 9-30-22  
 STATE OF CALIFORNIA  
 EXPIRATION DATE: 09/30/2022  
 12-13-22  
 35527



LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 1  
 GRADING AND SITE  
 IMPROVEMENT

UTILITY PLAN  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

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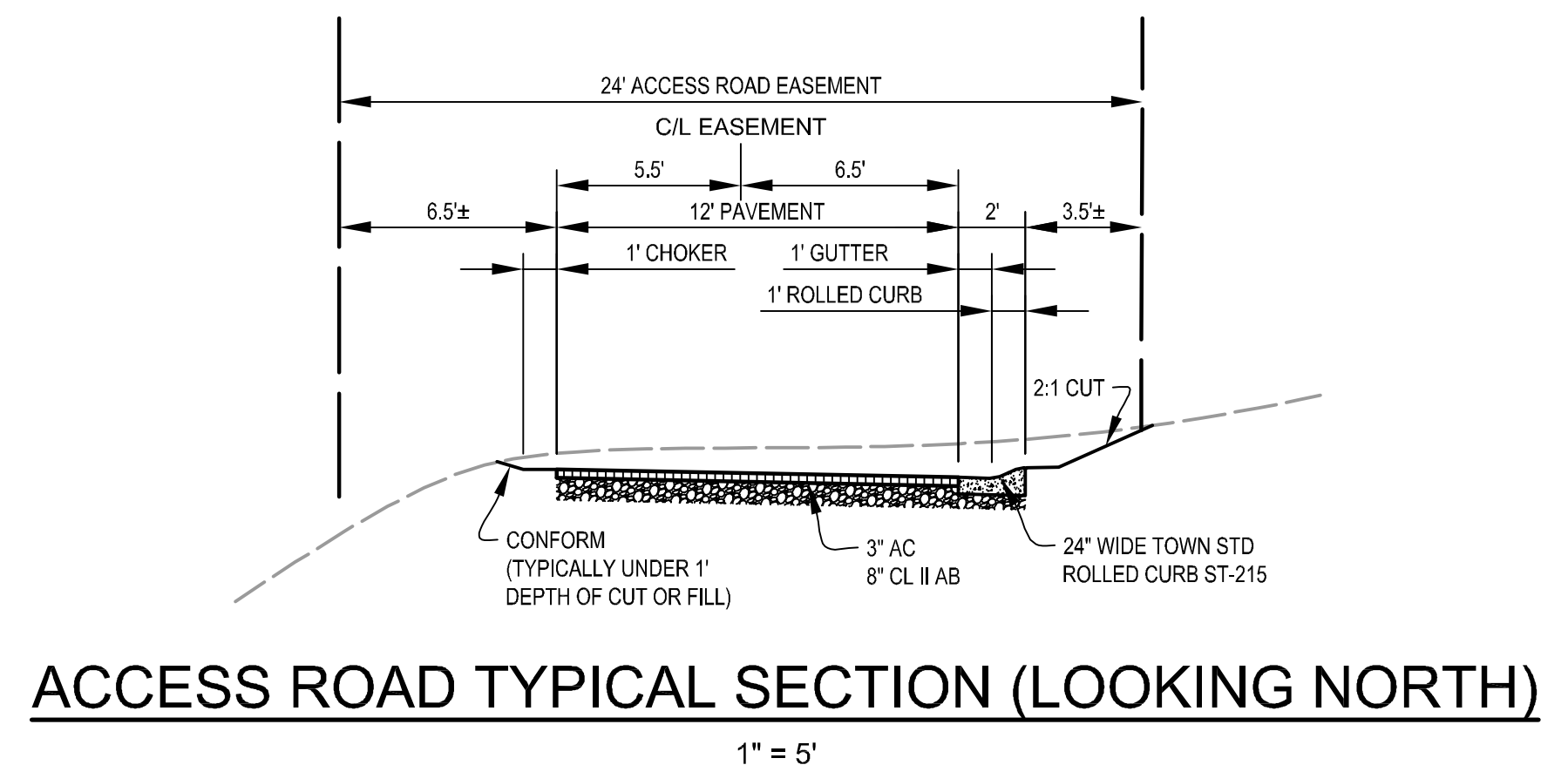
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 OF 8 SHEETS  
 JOB NO.  
 16-233

TSCIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300  
 FAX: 408.837.7550  
**TS** CIVIL ENGINEERING

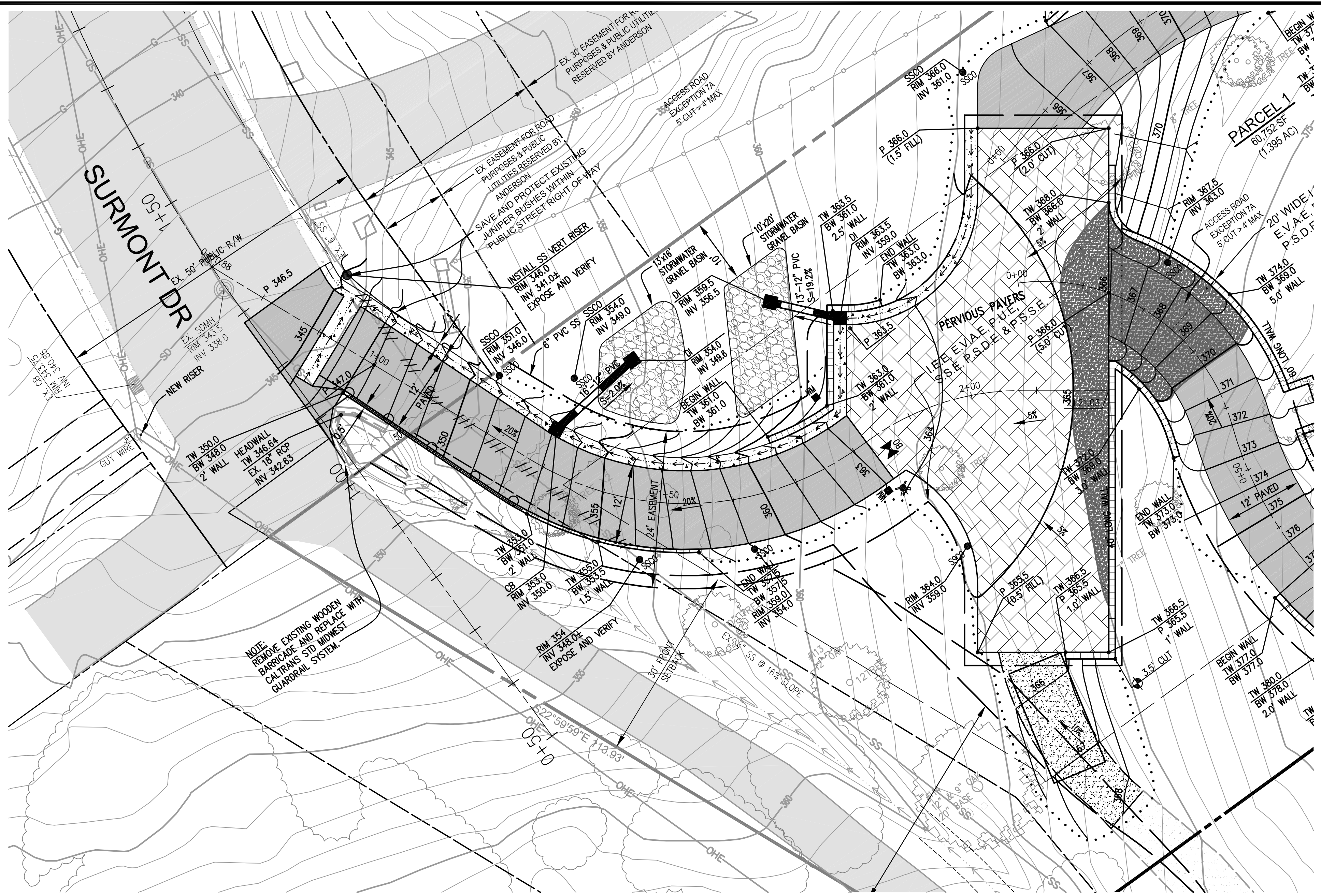
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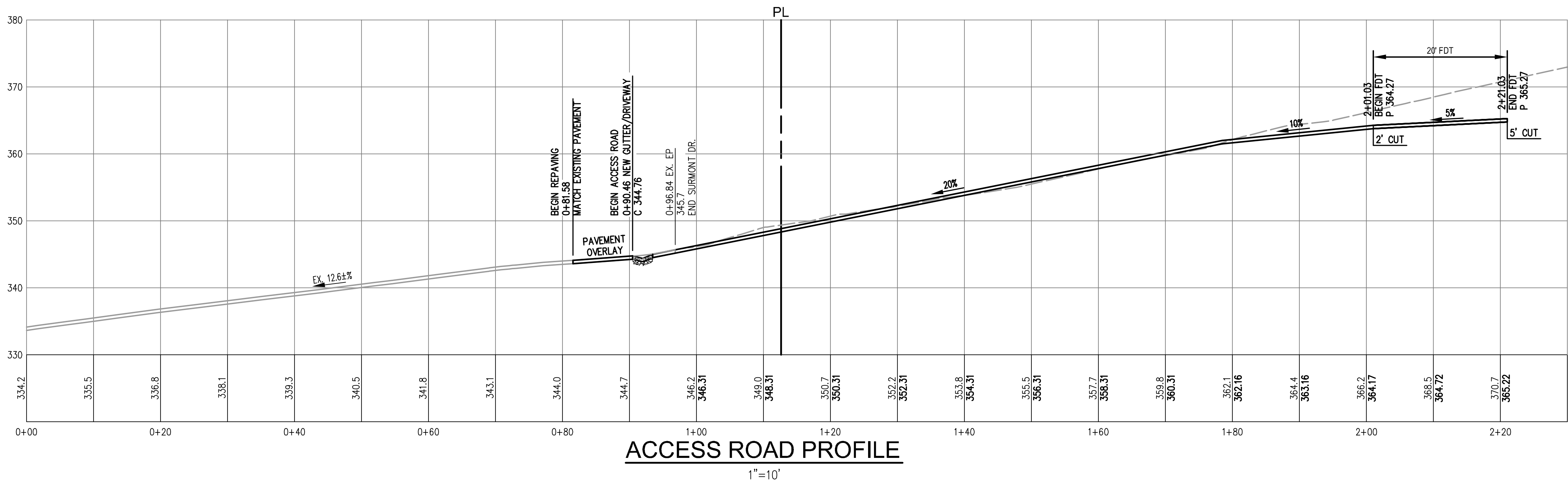
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**ACCESS ROAD TYPICAL SECTION (LOOKING NORTH)**  
1" = 5'



**ACCESS ROAD PLAN**  
1" = 10'



**ACCESS ROAD PROFILE**  
1" = 10'

DESIGNED UNDER THE SUPERVISION OF

TERENCE J. SZCWCZYK  
EXPIRATION DATE: 09/30/23

12-13-22

GRAPHIC SCALE  
1" = 10'

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DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO. **C-5**  
OF 8 SHEETS  
JOB NO. 16-233

**ACCESS ROAD  
PLAN AND PROFILE**  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 1  
GRADING AND SITE  
IMPROVEMENT

TS CIVIL ENGINEERING  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

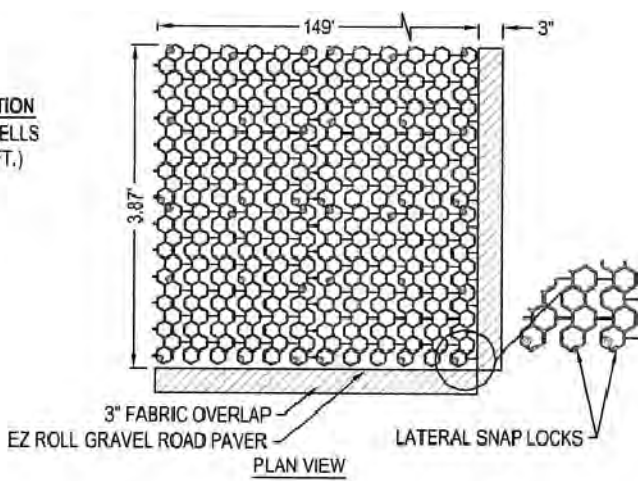
12/13/2022 2:50pm - N:\2016 JOBS\16-233\DWG\16-233\_P1\_C5 ACCESS ROAD PLAN AND PROFILE.DWG - C3



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**EZ ROLL™ GRAVEL PAVER** PRODUCT DESCRIPTION  
 CELL SIZE: 2-1/4" HEXAGONAL CELLS  
 STOCK ROLL SIZE: 3.87' X 14' (577 SQ. FT.)  
 NESTED HONEYCOMB CELL: 57,888 PSF  
 LAYOUT COMPRESSIVE: 400 PSI  
 STRENGTH (OPEN CELL NO FILL) EXCEEDS H2O LOADING



**EZ ROLL GRAVEL PAVERS**  
 FIRE/HEAVY LOAD

**NOTES:**  
 1. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.  
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 3. DO NOT SCALE DRAWING.  
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.  
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



REVISION DATE 8-24-2015

**TREE REMOVAL TABLE**

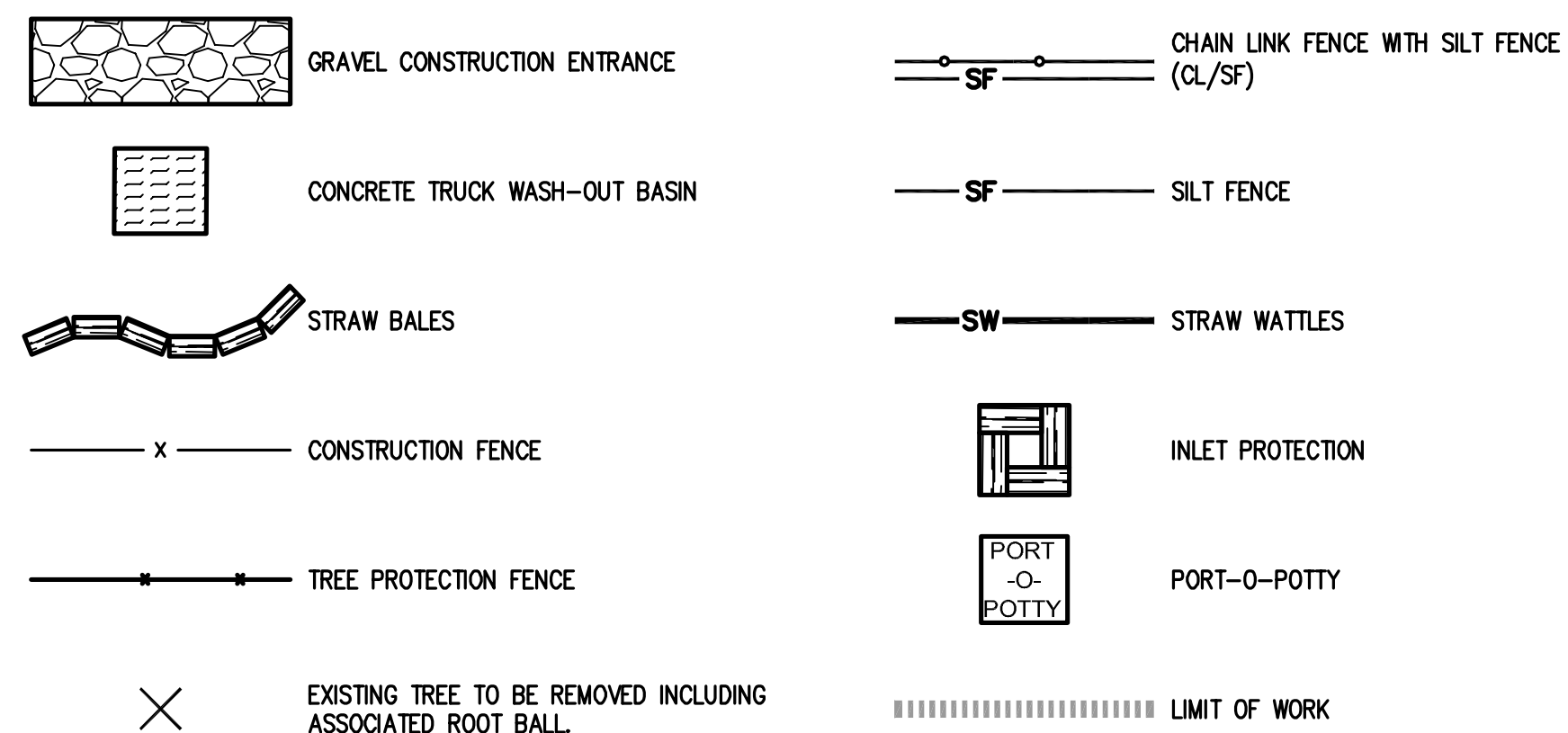
PARCEL 1	TREE ID	TREE SPECIES	LOCATION
PARCEL 1	#130	9" STONE PINE	AT HAMMERHEAD
	#131	3-7" TOYON	AT HAMMERHEAD
	#111	6" & 9" LIVE OAK	AT ACCESS ROAD NEAR SURMONT

PARCEL 2	TREE ID	TREE SPECIES	LOCATION
PARCEL 2	#129	9" & 11" LIVE OAK	UPHILL FROM DRIVEWAY

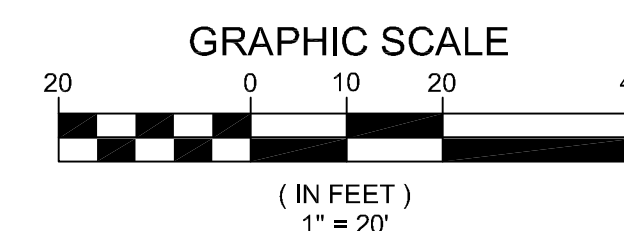
**NOTES:**

- THERE ARE MERELY 4 PROTECTED REMOVALS
- ALL OTHER TREES ARE UNPROTECTED FRUIT TREES, GENERALLY IN POOR HEALTH

**EROSION CONTROL LEGEND**



DESIGNED UNDER THE SUPERVISION OF:  
 TERENCE J. SZEWZYK  
 LICENSED PROFESSIONAL ENGINEER  
 NO. 35527  
 EXP. 9-30-23  
 STATE OF CALIFORNIA  
 12-13-22  
 EXPIRATION DATE: 09/30/24



TS/CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300  
 FAX: 408.837.7550

**TS** CIVIL ENGINEERING

LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 1  
 GRADING AND SITE  
 IMPROVEMENT

TREE PROTECTION AND  
 EROSION CONTROL PLAN  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

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DATE: 12-13-22  
 SCALE: 1"=20'  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.  
**C-6**  
 OF 8 SHEETS  
 JOB NO.  
 16-233

12/13/2022 2:49pm N:\2016 Jobs\16-233\DWG\16-233\_P1\_C6 EROSION CONTROL PLAN.DWG - C6



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• Etched polypropylene face  
 • Face anchored in concrete  
 • Ultra-violet inhibitor  
 • Exceeds ASTM-D1693 Standards for Environmental Stress Cracking Resistance

**Cast Iron Grate ADA Compliant No. V09-71C30 lbs.**

**Drain Box No. B09 BOX 90 lbs.**

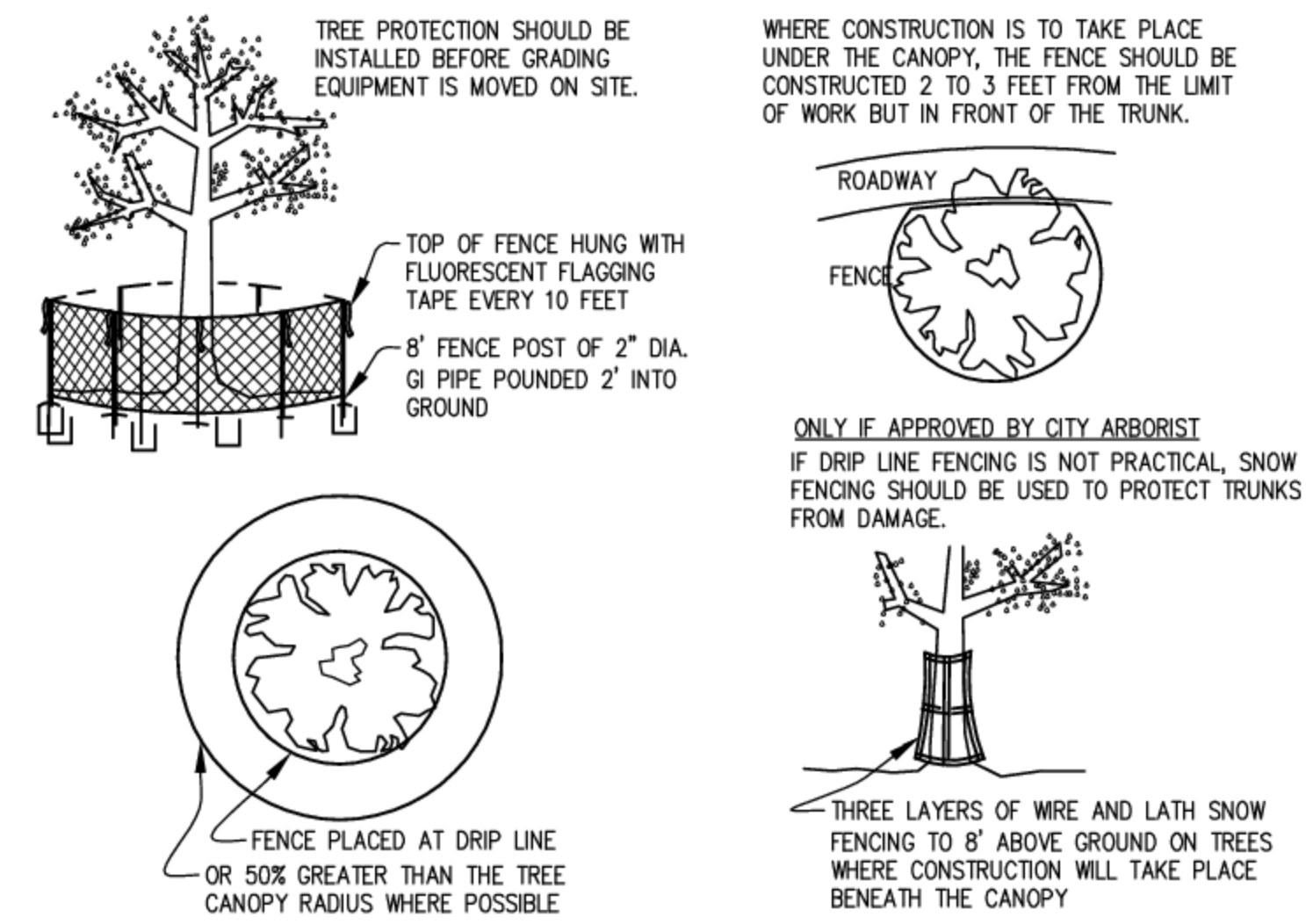
A curb type reinforced box for use in light drainage installations. Approximate dimensions and weight shown.

Oldcastle Ordering Code	Item	Approx. Shipping Weight	Description
B09BOX	BOX	90 lbs.	B09 Drain Box (19 1/4" x 18 1/2") - 28 per pallet
V09-71C	LID	30 lbs.	Cast Iron Grate - ADA Compliant
B09X12	EXTENSION	87 lbs.	12" Reinforced Concrete Box Extension - 28 per pallet
B09SL	SLAB	30 lbs.	Reinforced Concrete Slab (11 3/4" x 19 3/4")

**V09 BOX**  
 FILE NAME: V09\_I50  
 ISSUE DATE: January, 2011  
 OldcastleEnclosures.com

**V09 DRAIN BOX**  
 10-1/4" x 16-3/4"  
 CHRISTY

Phone: (803) 735-5006 Fax: (803) 486-6806  
 Copyright © 2017 Oldcastle, Inc.



- TREE PROTECTIVE NOTES:**
- 1.) TREE PROTECTIVE FENCING SHALL BE INSTALLED AS SHOWN ON THE PLAN AND ESTABLISHED PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE. IT SHALL BE COMPRISED OF SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON EIGHT-FOOT TALL, TWO-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART. ONCE ESTABLISHED, THE FENCING MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL FINAL INSPECTION.
  - 2.) UNLESS OTHERWISE APPROVED, ALL CONSTRUCTION ACTIVITIES MUST BE CONDUCTED OUTSIDE THE DESIGNATED FENCED AREA (EVEN AFTER FENCING IS REMOVED). THESE ACTIVITIES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: DEMOLITION, GRADING, TRENCHING, EQUIPMENT CLEANING, STOCKPILING, AND DUMPING MATERIALS (INCLUDING SOIL FILL), AND EQUIPMENT/VEHICLE OPERATION AND PARKING.
  - 3.) ANY APPROVED GRADING OR TRENCHING BENEATH THE TREES' CANOPIES SHALL BE MANUALLY PERFORMED USING SHOVELS.
  - 4.) ANY PRUNING OF TREES ON SITE MUST BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST AND ACCORDING TO ISA STANDARDS.
  - 5.) THE DISPOSAL OF HARMFUL PRODUCTS (SUCH AS CHEMICALS, OIL AND GASOLINE) IS PROHIBITED BENEATH TREE CANOPIES OR ANYWHERE ON SITE THAT ALLOWS DRAINAGE BENEATH TREE CANOPIES. ADDITIONALLY, FUEL SHALL NOT BE STORED NOR SHALL ANY REFUELING OR MAINTENANCE OF EQUIPMENT OCCUR WITHIN 20 FEET OF THE TREES' TRUNKS.
  - 6.) HERBICIDES SHALL NOT BE APPLIED BENEATH THE TREE CANOPIES. WHERE USED ON SITE, THEY MUST BE LABELED FOR SAFE USE NEAR TREES.

**TREE PROTECTION DETAIL**  
NOT TO SCALE

**NOTES:**

1. CONTRACTION JOINTS OF ONE OF THESE TYPES SHOWN ABOVE TO BE PLACED 10' C/C. COMPLETELY SEVER THE STRUCTURE TO THE POINTS SHOWN. JOINTS MAY BE MADE BY INSERTING MIN. 3/16" BITUMINOUS FILLER DUMMY JOINTS. JOINTS SHALL BE CLEANED AND EDGED.
2. FINISHED WORK SHALL NOT VARY MORE THAN 1/8" IN GRADE AND 1/4" IN ALIGNMENT.
3. EXPOSED SURFACES SHALL BE LIGHT BROOM FINISH.
4. SIDEWALKS BEHIND ROLLED CURBS SHALL BE A MINIMUM OF 6" THICK.
5. CONCRETE SHALL INCLUDE ONE (1) POUND OF LAMP BLACK PER CUBIC YARD OF CONCRETE.
6. #4 REBAR SHALL BE EXTENDED ALONG LENGTH OF GUTTER.

**NOT TO SCALE**

APPROVED BY	DATE	CONCRETE ROLLED CURB	STD PLAN NO
<i>[Signature]</i>	NOVEMBER 2010		ST-215

PROJECT: 16-233-003  
 TO: WALTER EBER and Sidewalk Maintenance  
 FROM: GIS\PPW\TLG\_GENERAL\Standard Details\ST-215.dwg

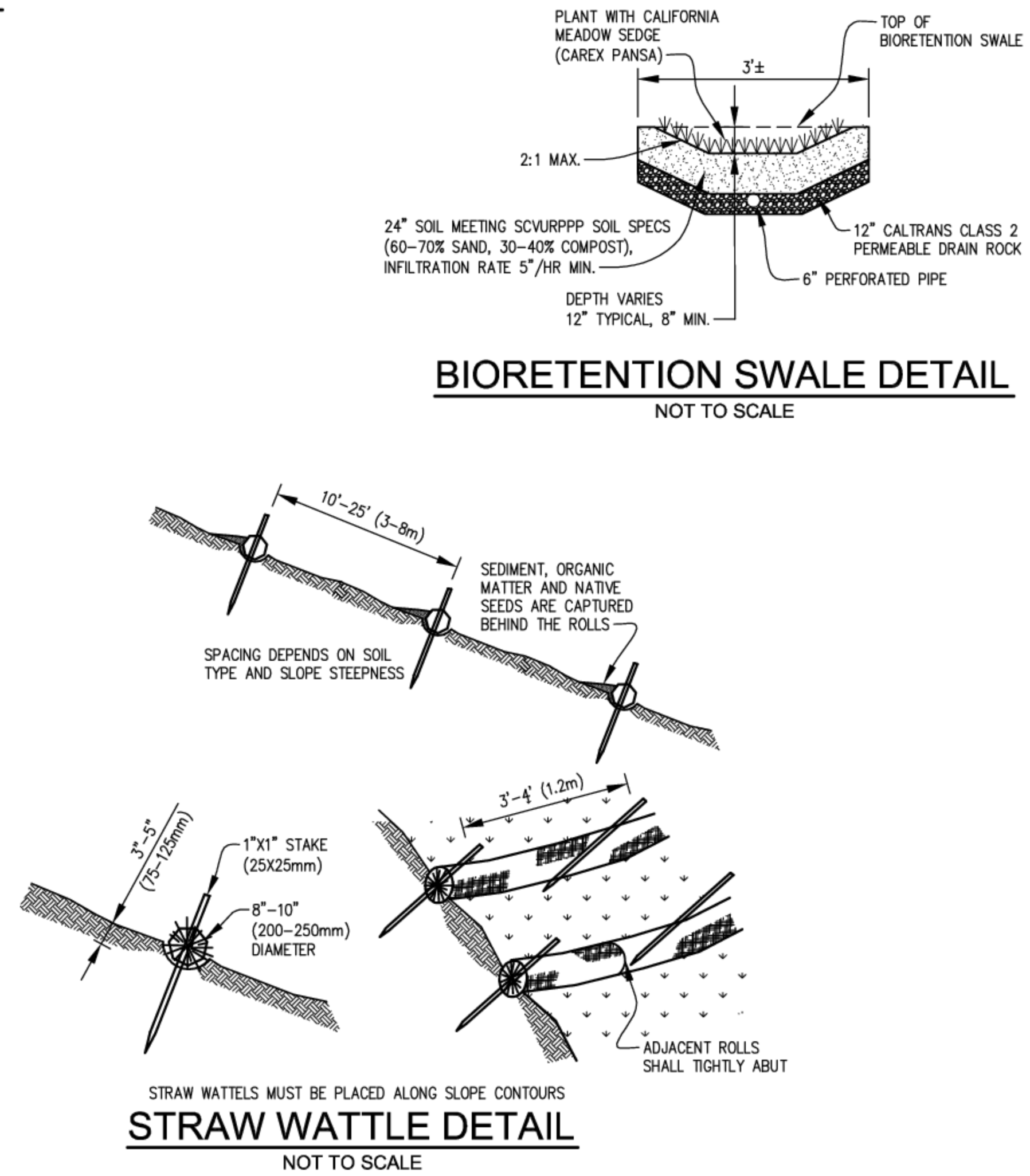
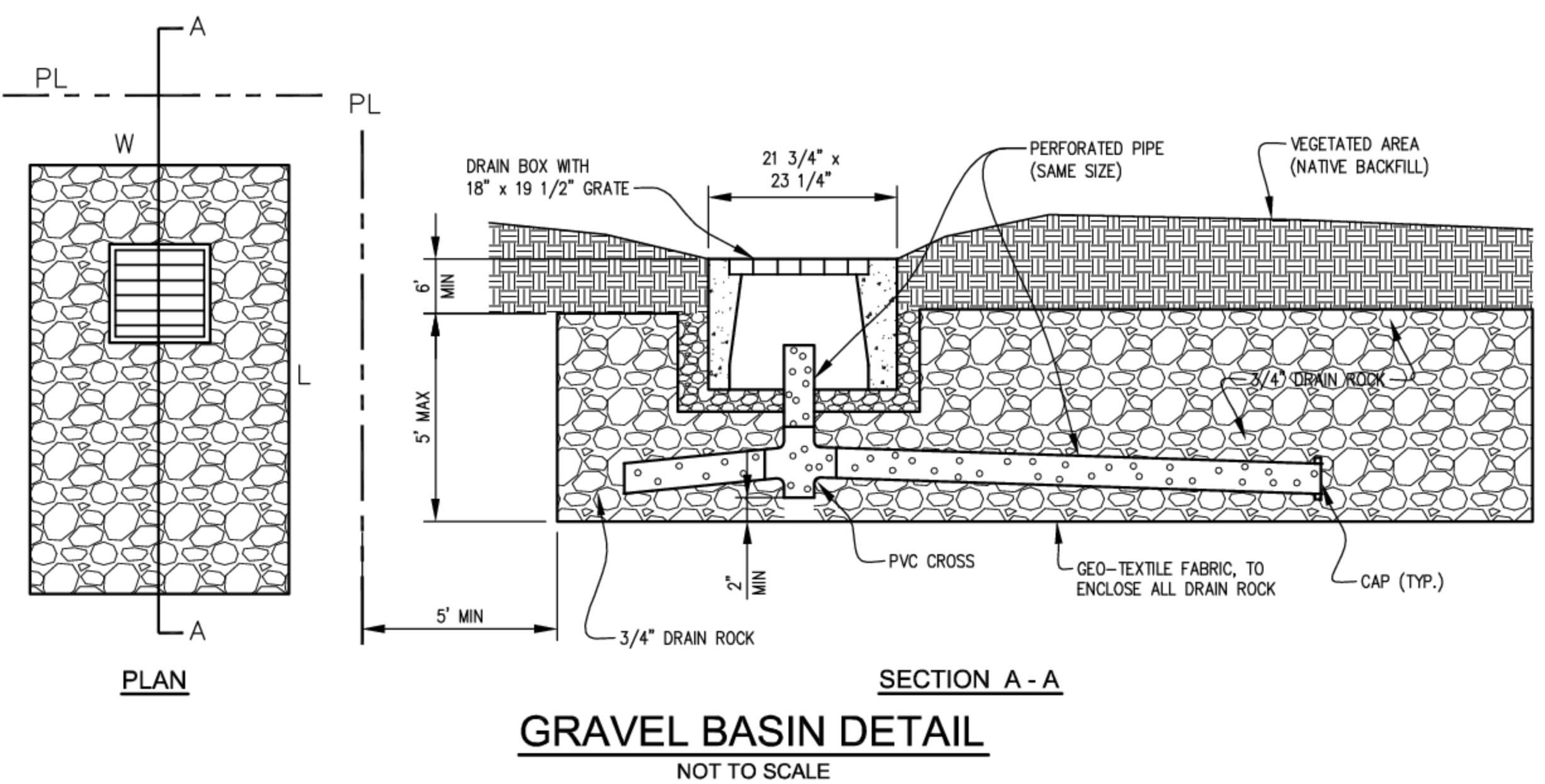
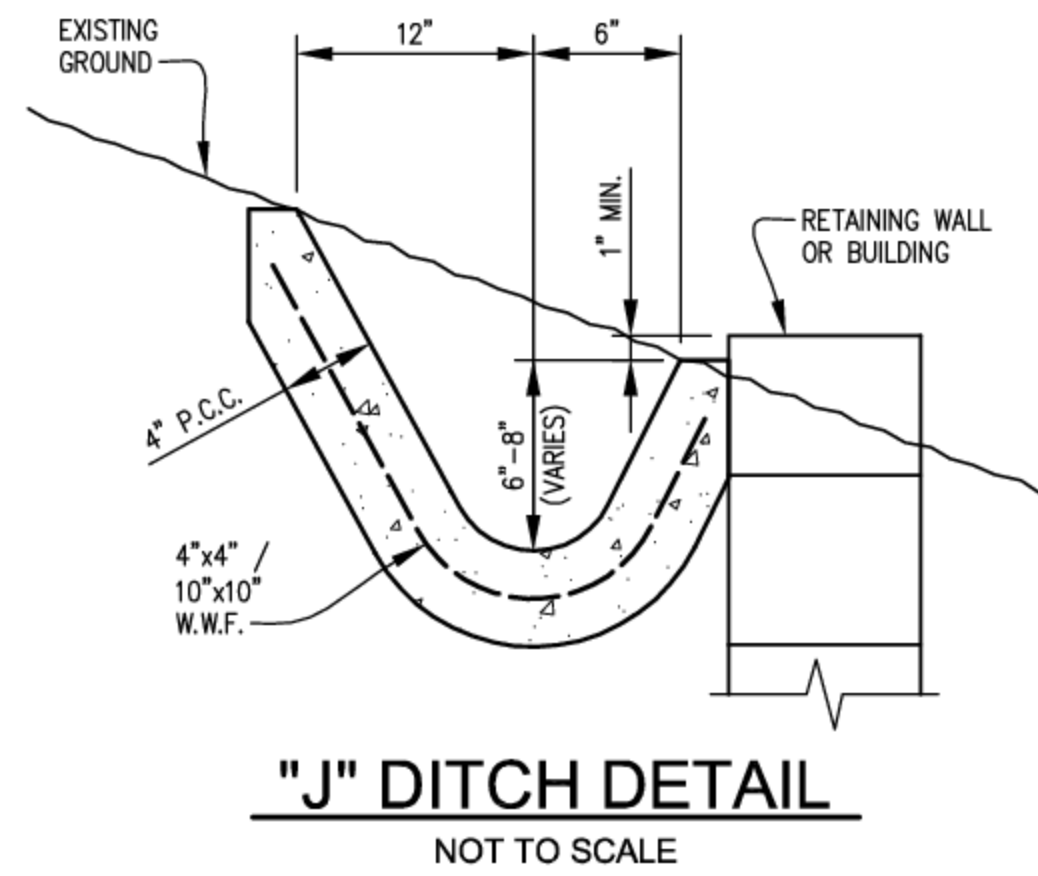
**NOTES:**

- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. MINIMUM WIDTH = 14'.
- (B) 1/2" WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15' OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CONCRETE SHALL BE A MIN. OF 6" THICK FOR RESIDENTIAL AND 8" THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 6" CLASS II AGGREGATE BASE 95% MAXIMUM COMPACTION ASTM D1557, OVER COMPACTED SUBGRADE.
- (F) ALL CONCRETE SHALL BE CLASS A, PER CALTRANS SPECS, WITH 1 LB. (MIN.) LAMP BLACK PER CUBIC YARD.
- (G) ALL WORK SHALL COMFORM TO CURRENT ADA REQUIREMENTS.

**NOT TO SCALE**

APPROVED BY	DATE	CONCRETE DRIVEWAY WITHOUT PLANTER	STD PLAN NO
<i>[Signature]</i>	NOVEMBER 2010		ST-219

PROJECT: 16-233-003  
 TO: WALTER EBER and Sidewalk Maintenance  
 FROM: GIS\PPW\TLG\_GENERAL\Standard Details\ST-219.dwg



**MECHANICAL 2 LINE PIPE RAIL**

ITEM NO.	PART NO.	DESCRIPTION	MATERIAL
1	AR513	1 1/2" SCH40 ALUM. PIPE TOP RAIL	6063-T6
2	AR513	1 1/2" SCH40 ALUM. PIPE POST	6063-T6
3	AR513	1 1/2" SCH40 ALUM. PIPE INTERMEDIATE RAIL	6063-T6
4	AR505/304	3/8" CAST ALUM. POST SHOE	

NOTES:  
 1. SIDE MOUNT IS AVAILABLE  
 2. ADDITIONAL LINES AVAILABLE PER JOB SPECIFICATIONS.  
 3. PRE ENGINEERED AND PRE FABRICATED OR KNOCK DOWN FOR FIELD FIT.

AMERICAN RAILING SYSTEMS, INC.  
 1812 MCCLURE AVE., CHICAGO, IL 60614  
 PHONE: (847) 879-7577  
 STYLE: MECHANICAL TWO LINE PIPE RAIL  
 FINISHES AVAILABLE: BAKED ENAMEL, KYNAR ANODIZED, DURANODIC & POWDER COAT

CUSTOMER: \_\_\_\_\_  
 JOB NAME: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRN. BY: \_\_\_\_\_ JOB #: \_\_\_\_\_

DESIGNED UNDER THE SUPERVISION OF:  
 TERENCE J. SZEWZYK, P.E.  
 EXPIRATION DATE: 09/30/23

**TS CIVIL ENGINEERING**  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300 FAX: 408.837.7550

**LANDS OF ANDERSON**  
 400 SURMONT DRIVE  
 PARCEL 1  
 GRADING AND SITE IMPROVEMENT

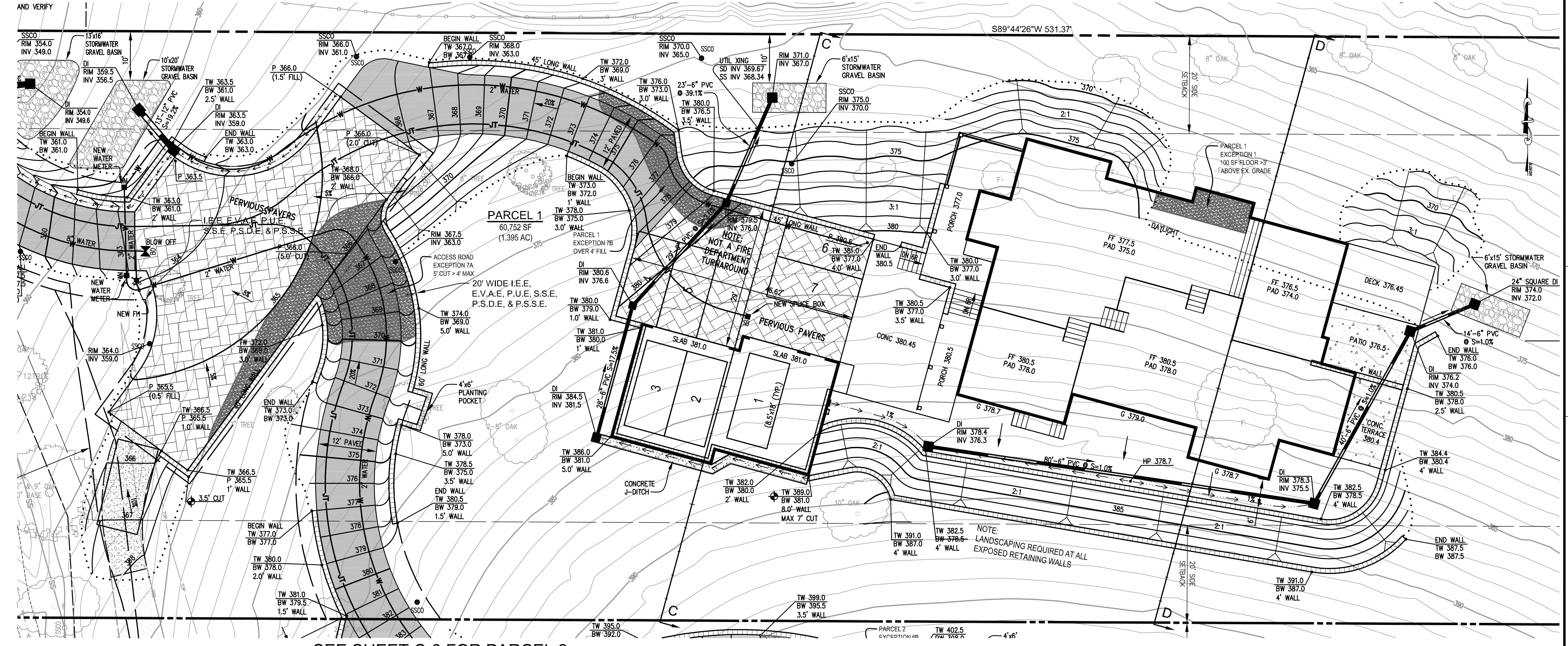
**EROSION CONTROL AND CONSTRUCTION DETAILS**  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

NO.	DATE	REVISIONS	BY
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DATE: 12-13-22  
 SCALE: AS NOTED  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO. **C-7** OF 8 SHEETS  
 JOB NO. 16-233



SEE SHEET C-2 FOR DRIVEWAY, C-3 FOR UTILITIES

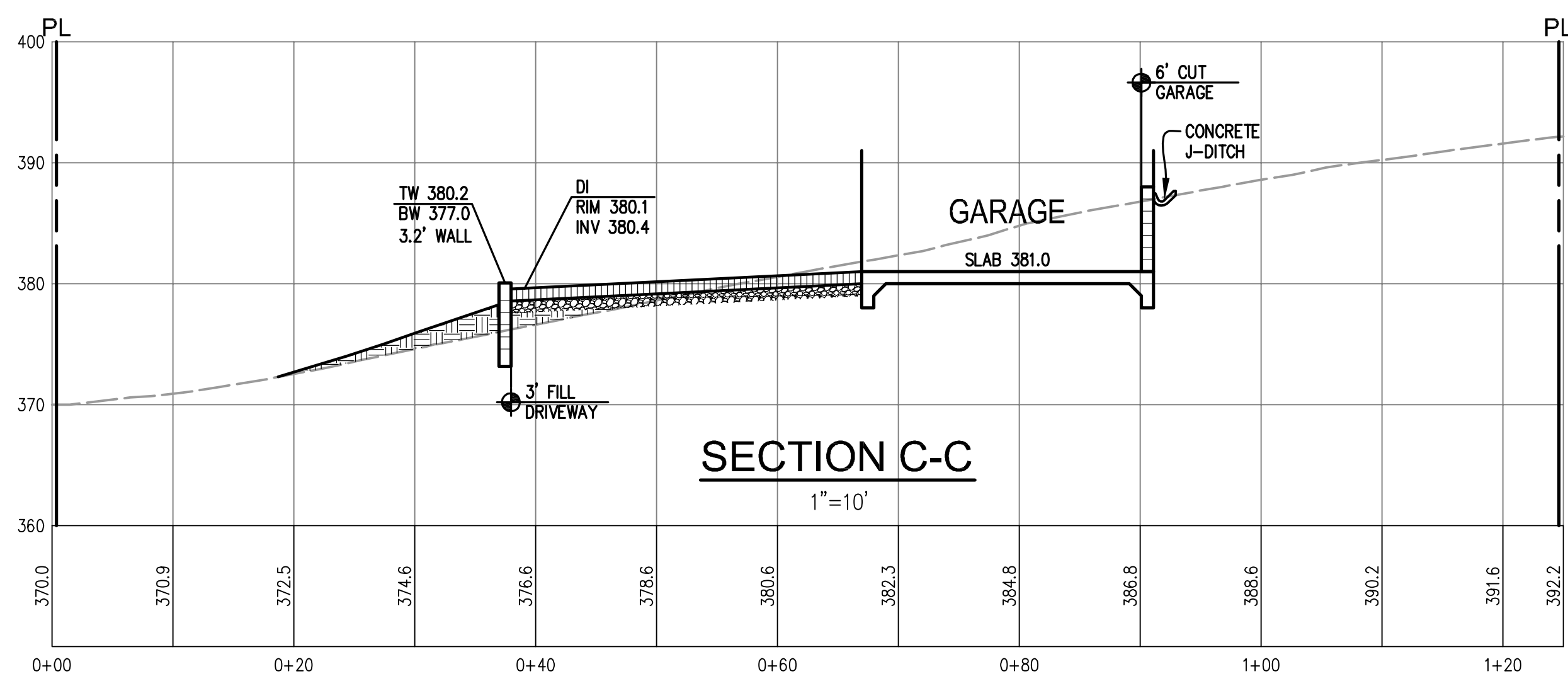


SEE SHEET C-9 FOR PARCEL 2

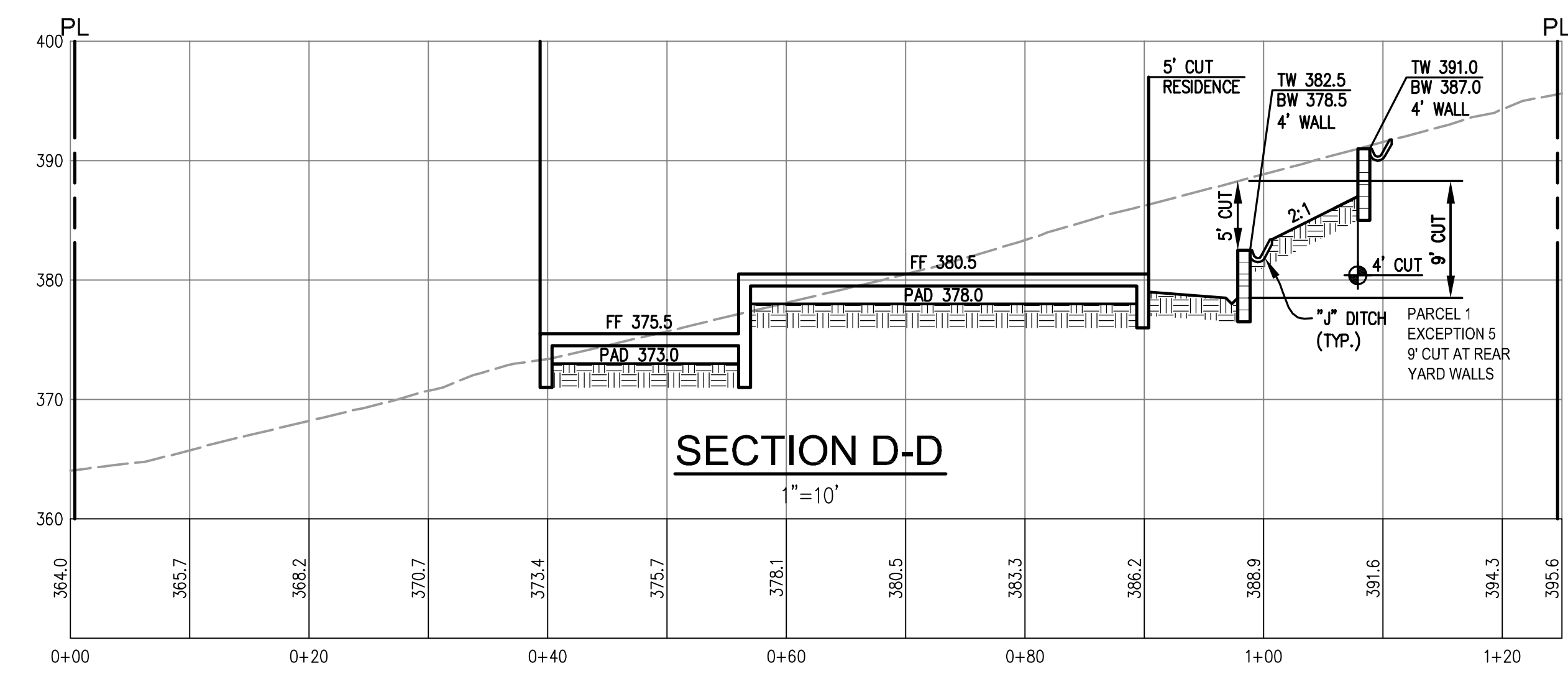
**NOTE:**  
WALKWAYS AND PATIOS ARE REQUIRED TO BE CONSTRUCTED OF PERVIOUS MATERIALS

EARTHWORK SUMMARY				
	CUT (CY)	MAX DEPTH	FILL (CY)	MAX DEPTH
ACCESS ROAD	74	5'	40	2'
DRIVEWAY	80	4'	218	4'
RESIDENCE	589	8'	100	4'
GARAGE	192	7'	0	0
REAR YARD	320	6'	0	0
<b>TOTAL</b>	<b>1,255</b>		<b>358</b>	

897 CY TO BE HAULED OFF SITE



**SECTION C-C**  
1"=10'



**SECTION D-D**  
1"=10'

DESIGNED UNDER THE SUPERVISION OF

TERENCE J. SZCWCZYK  
EXPIRATION DATE: 09/30/23

12-13-22

**GRAPHIC SCALE**  
1" = 10'

TS CIVIL ENGINEERING  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 1  
GRADING AND SITE  
IMPROVEMENT

PARCEL 1 SITE PLAN  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 12-13-22  
SCALE: 1"=10'  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO.  
**C-8**  
OF 8 SHEETS  
JOB NO.  
**16-233**

12/13/2022 2:49pm - N:\2016 JOBS\16-233\DWG\16-233\_P1\_C8\_PARCEL 1 SITE PLAN.DWG - C8



# SCC FIRE DEPARTMENT NOTES

- Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.**
- Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. **Please indicate on the cover sheet that an automatic fire sprinkler system shall be provided and installed per NFPA 13D.**
- Fire Apparatus (Engine) Access Driveways Required:** Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum outside turning radius of 36-feet and a maximum slope of 15%. Installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 503.
- Fire Department (Engine) Driveway Turnaround Required:** Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. **Maximum grade in any direction shall be a maximum of 5%.** Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503 Driving surface shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34050 kg).
- Fire Hydrant Systems Required:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, onsite fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet. [CFC, Section 507.5.1].
- Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
- Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

# WATER FLOW LETTER



1265 S. Bascom Avenue  
San Jose, CA 95128-3514

Writer's Direct Line: (408) 279-7821  
Email: marty.henderson@sjwater.com

April 23, 2021

Northern California Fire Protection Services, Inc.  
16480 Joleen Way, Building A  
Morgan Hill, CA 95037

Attention: Rocci Cetani III, CET

Subject: 400 Surmont Dr., Los Gatos, CA

Dear Mr. Cetani:

On April 22, 2021, you requested fire protection water supply from a single outlet. Based on the information that was supplied by you, the table below provides the results of a water supply computer simulation at the location indicated. These results are valid for one year from the date of the simulation. Flow data is from the water distribution main, not from the meter connection. Elevations are interpolated from United States Geological Survey contours.

Flow Location:	Surmont Dr., approx. 165' S/S Surmont Ct.
Main Size:	Proposed 8 in.
Elevation:	364 ft.
Date of Computer Simulation:	April 23, 2021
Static Pressure:	82 psi
Residual Pressure:	75 psi
Simulation Discharge:	750 gpm

Determining the size of a Private Fire Protection Service or adequacy of a private fire protection system from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

Sincerely,

Marty Henderson  
Engineering Support Supervisor

For additional information  
Backflow: 408-279-7872  
Map requests: 408-918-7360  
Static water pressure: 408-918-7361  
Water meter sizing: 408-279-7839

MH:eh  
400 Surmont Dr.doc  
cc: Fire Flow File

# PROJECT DATA

**PROJECT ADDRESS:** 400 SURMONT DRIVE, PARCEL #2  
**A.P.N. :** 527-20-003  
**LOT AREA (FROM COUNTY RECORD)** 57,840 SF (1.328 AC)  
**ZONING =** HR-2.5  
**FLOOD ZONE =** ZONE X  
**HISTORIC ZONE =** NO  
**OCCUPANCY =** R3/U (SINGLE FAMILY DWELLING / UTILITY)  
**WUI FIRE AREA =** YES  
**HAZARD ZONE =** COUNTY FAULT RUPTURE HAZARD ZONE  
**CONSTRUCTION TYPE=** V-B  
**REQUIRED PARKING:** 2 OFF STREET SPACES

<b>SETBACKS</b>	<b>ALLOWED</b>
FRONT:	30'
SIDE (INTERIOR):	20'
REAR:	25'

<b>BUILDING HEIGHT</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
HOUSE:	18'-0" (MAX.)	± 18'-0"

### FLOOR AREA RATIO (FAR) CALCULATION

**Gross Lot Size:** 57,840 SF  
**Ave. Slope:** 27.3%  
**Net Lot Size:** 57,840 SF x (1-30% + 3% x 7) OR 57,840 x 49% = 28,342 SF

**Reduction of net site area on sloping lots**  
**Average lot slope: 20.01 - 30%**

**Percentage of net lot area to be deducted (30% = 3% for each 1% of slope over 20%)**  
**As Los Gatos IV Development Intensity Table 2, FAR = 19%**  
**Allowable Floor Area = 28,342 x 19% = 5,500 SF**

<b>FLOOR AREA RATIO</b>	<b>ALLOWED</b>	<b>PROPOSED</b>
HABITABLE HOUSE	5,500 SF	3,450 SF
ATTIC AREA OVER 7-FEET		535 SF

<b>GARAGE:</b>	<b>671 SF</b>
<b>TOTAL</b>	<b>5,500 SF</b> / <b>4,656 SF</b>

# INDEX

- Architectural Plans**
- A1.1 Cover Sheet
  - A1.2 Tree Preservation Req'ts + GreenPoint Checklist
  - A1.3 Proposed Site Plan + Site Line Study
  - T-1 Tree Protection Requirements
  - A2.1 Proposed Floor Plan
  - A2.2 Proposed Roof Plan
  - A2.3 Proposed Garage Floor + Roof Plans
  - A3.1 Proposed Exterior Elevations
  - A3.2 Proposed Exterior Elevations (Garage)
  - A3.3 Proposed Exterior Elevations (Garage)
  - A3.4 Proposed Exterior Elevations
  - A4.1 Building Sections
  - A4.2 Building Sections
  - A4.3 Building Sections

- Landscape Plans**
- L1 Cover Sheet
  - L2 Frontage + Driveway Proposed Tree + Planting Parcel 1 + 2
  - L3 Parcel 1 Proposed Trees + Planting
  - L4 Parcel 2 Proposed Trees + Planting
  - L5 Tree Table
  - L6 Proposed Landscape Screening (Parcel 1)
  - L7 Proposed Landscape Screening (Parcel 2)

- Civil Plans**
- C-0 Cover Sheet
  - C-1 Tentative Map (Previously Approved)
  - C-2 Access Road Plan + Profile
  - C-3 Utility Plan
  - C-4 (Not included in this Submission)
  - C-5 Access Road Plan + Profile
  - C-6 Erosion Control Plan
  - C-7 Erosion Control + Construction Details
  - C-8 Parcel 1 Site Plan
  - C-9 Parcel 2 Site Plan

**Owner:**  
 Sandra K. Anderson, Trustee  
 400 Surmont Drive  
 Los Gatos, CA 95032  
 C/O Bob Hughes (408) 559-8850

**Designer:**  
 Studio 3 Design  
 Contact: Bess Wiersema  
 bess@studio-three.com  
 638 University Avenue  
 Los Gatos, California 95032  
 ph: (408) 292-3252  
 fax: (253) 399-1125

**Civil Engineer:**  
 TS/Civil Engineering  
 Contact: Terrance J. Szweczyk  
 terry@tscivil.com  
 1776 Technology Drive  
 San Jose, California 95110  
 ph: (408) 452-9300 EXT 220

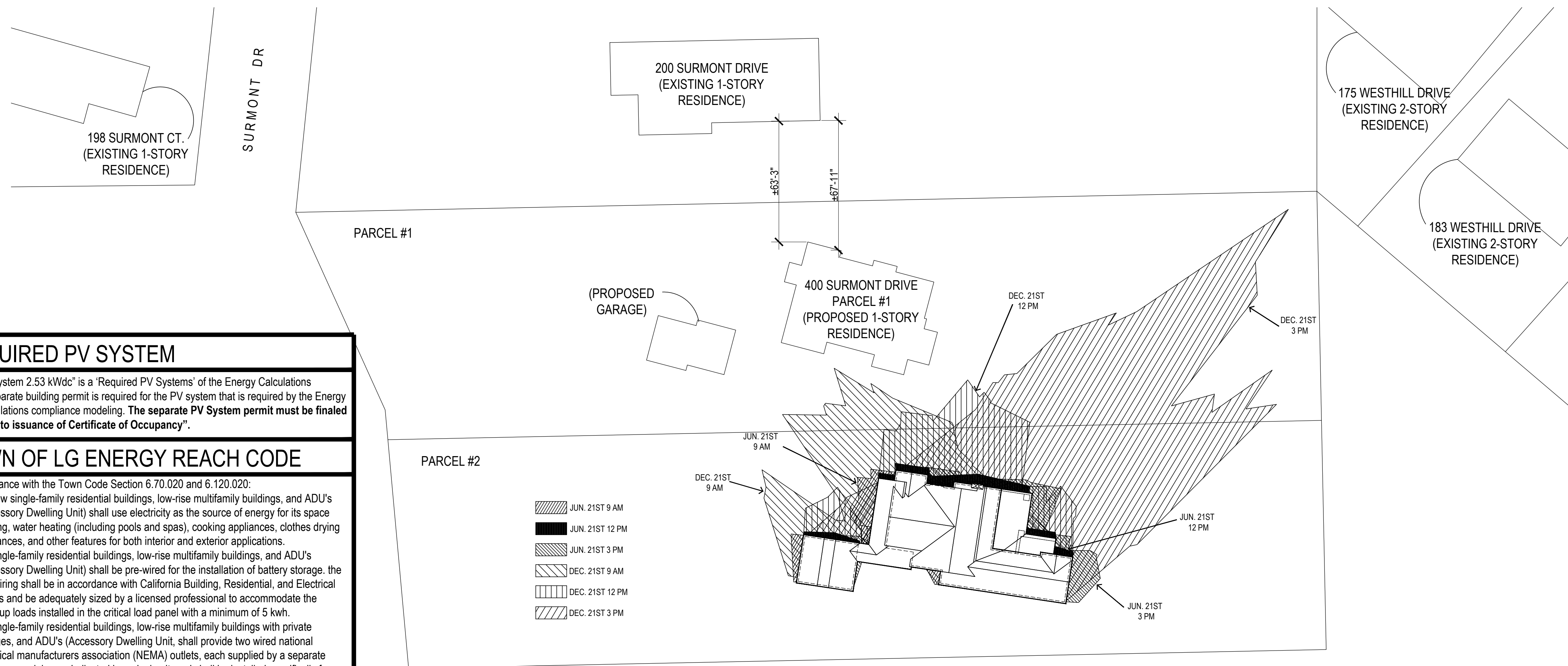
**Contractor:**  
 The Building Works  
 Contact: Robert O. Hughes  
 bldgworks@aol.com  
 2730 Union Avenue, Suite B  
 San Jose, California 95124  
 ph: (408) 559-8850  
 fax: (408) 559-3075

**Landscape Architect:**  
 Alyson Flynn  
 Landscape Architect & Associates  
 Contact: Alyson Flynn  
 50 San Tropez Drive  
 Hollister, California 95023  
 ph: (408) 274-4114

# CODES USED

- The following codes are currently in effect:**
- 2019 California Building Code
  - 2019 California Residential Code
  - 2019 California Electrical Code
  - 2019 California Mechanical Code
  - 2019 California Plumbing Code
  - 2019 California Energy Code
  - 2019 California Fire Code
  - 2019 California Existing Building Code
  - 2018 International Existing Building Code
  - 2019 California Green Building Standards Code
  - Town of Los Gatos New Energy Reach Codes

# SHADOW STUDY



# REQUIRED PV SYSTEM

- PV System 2.53 kWdc is a 'Required PV Systems' of the Energy Calculations
- A separate building permit is required for the PV system that is required by the Energy Calculations compliance modeling. **The separate PV System permit must be finalized prior to issuance of Certificate of Occupancy.**

# TOWN OF LG ENERGY REACH CODE

- In accordance with the Town Code Section 6.70.020 and 6.120.020:
- All new single-family residential buildings, low-rise multifamily buildings, and ADU's (Accessory Dwelling Unit) shall use electricity as the source of energy for its space heating, water heating (including pools and spas), cooking appliances, clothes drying appliances, and other features for both interior and exterior applications.
  - All single-family residential buildings, low-rise multifamily buildings, and ADU's (Accessory Dwelling Unit) shall be pre-wired for the installation of battery storage, the pre-wiring shall be in accordance with California Building, Residential, and Electrical Codes and be adequately sized by a licensed professional to accommodate the back-up loads installed in the critical load panel with a minimum of 5 kwh.
  - All single-family residential buildings, low-rise multifamily buildings with private garages, and ADU's (Accessory Dwelling Unit, shall provide two wired national electrical manufacturers association (NEMA) outlets, each supplied by a separate 40-ampere minimum dedicated branch circuit, and shall be installed specifically for supplying electrical power to an electric vehicle charger. One outlet shall be installed inside the garage and the other outlet shall be installed outside the garage.

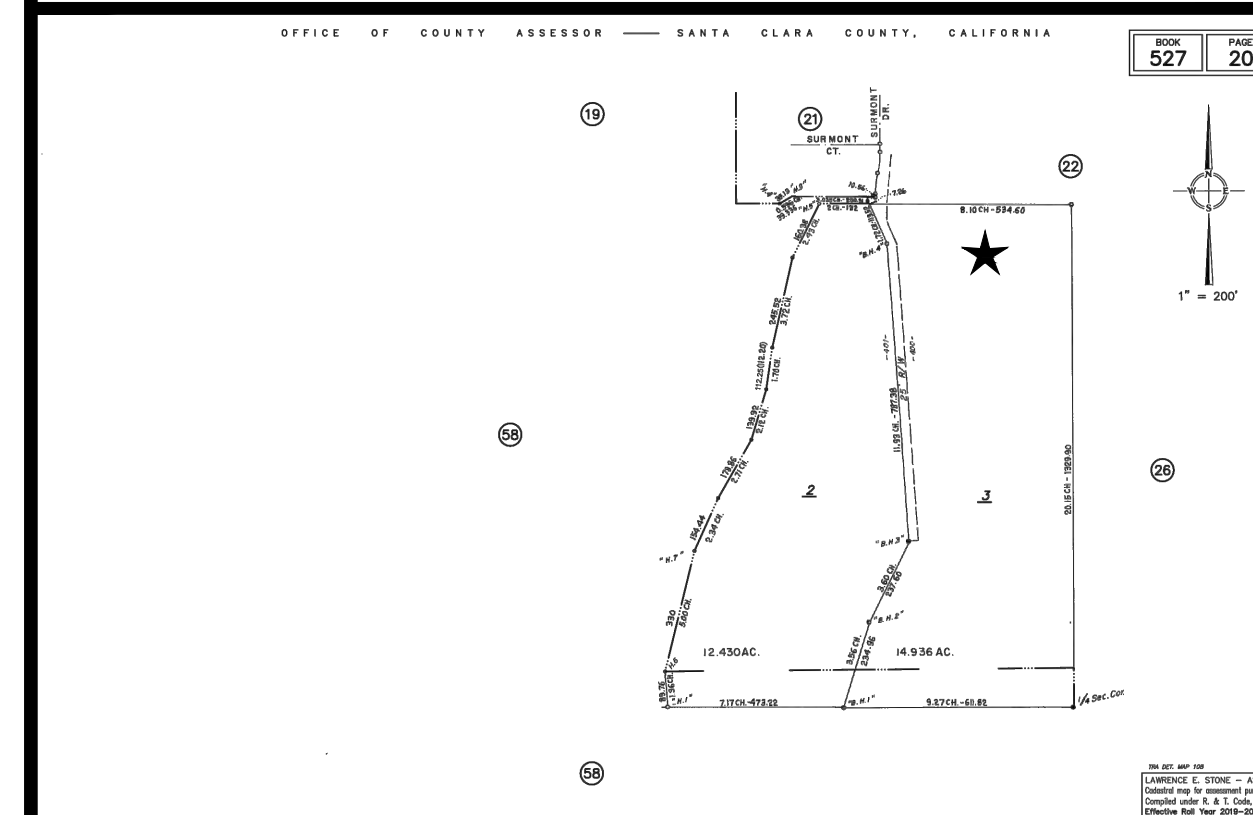
# PROJECT DESCRIPTION

This project is a new, one-story, single-family residence with a attached garage.

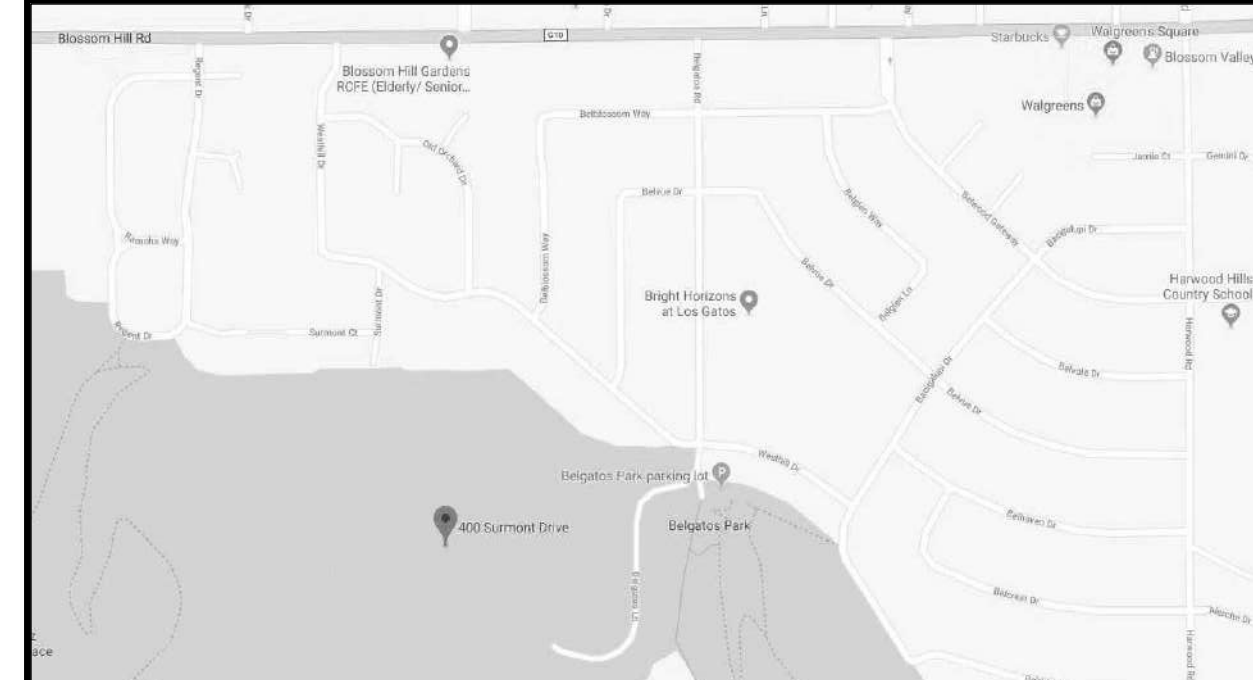
# DEFERRED SUBMITTAL(S)

- FIRE HYDRANT (PC 19-2053) - Hydrant installation shall occur prior to the commencement of combustible construction.
- AUTOMATIC FIRE SPRINKLER SYSTEM - PROVIDED + INSTALLED PER NFPA 13D

# PARCEL MAP



# VICINITY MAP



INTERIORS  
 REMODELS +  
 ADDITIONS  
 NEW CONSTRUCTION

638 UNIVERSITY AVE  
 LOS GATOS  
 CALIFORNIA  
 95032

T 408.292.3252  
 F 253.399.1125

400 SURMONT DRIVE  
 PARCEL #2  
 LOS GATOS  
 CALIFORNIA  
 95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: N/A

COVER SHEET

**A1.1**  
 EXHIBIT 24



# TREE PRESERVATION INSTRUCTIONS

The Los Gatos Town Code requires a tree removal permit in order to remove any tree designated as a Protected Tree under the Town Code. The Town Code also requires a permit to prune more than 25% of a Protected Tree within a 3-year period, or to remove or cut any branch or root greater than 4 inches in diameter of any Large Protected Tree or Heritage Tree (see definitions below). Property owners may be subject to significant fines and civil actions by the Town if removal or pruning requiring a permit is done without first obtaining a permit.

- Protected Tree(s)**  
Protected Trees are defined in the Town Code as any of the following:
- All trees which have a 12 inch or greater diameter on developed residential property.
  - All trees which have an 8 inch or greater diameter on developed Hillside residential property
  - All trees of the following species which have an 8 inch or greater diameter located on any developed residential property:
    - Blue Oak (*Quercus douglasii*)
    - Black Oak (*Quercus kelloggii*)
    - California Buckeye (*Aesculus californica*)
    - Pacific Madrone (*Arbutus menziesii*)
  - All trees which have a 4 inch or greater diameter on vacant or non-residential property.
  - All trees which have a 4 inch or greater diameter when removal relates to any development review.
  - Any tree that was required to be planted or retained by the terms and conditions of a development approval, building permit, tree removal permit or code enforcement action.

**Large Protected Tree(s) or a Heritage Tree (s)**  
A Large Protected Tree is any tree with a diameter of 48 inches or more. In addition, all Oak, California Buckeye, and Pacific Madrone with a diameter of 24 inches or more are considered Large Protected Trees.

A Heritage Tree is a tree specifically designated by action of the Town Council which possesses exceptional aesthetic, biological, cultural, or historic value to the community.

**Diameter of a Tree(s)**  
Diameter is measured at a height of 4.5 feet above the average natural grade. For multi-trunked trees, diameter is the sum of all trunk diameters measured at 4.5 feet above the average natural grade.

- A permit is not required for removal or major pruning of any of the following trees:
- A fruit or nut tree less than 18 inches in diameter.
  - Any of the following trees that are less than 24 inches in diameter:
    - Black Acacia (*Acacia melanoxylon*)
    - Tulip Tree (*Liriodendron tulipifera*)
    - Tree of Heaven (*Ailanthus altissima*)
    - Blue Gum Eucalyptus (*E. globulus*)
    - Red Gum Eucalyptus (*E. camaldulensis*)
    - Other Eucalyptus (*E. spp.*)—Hillsides only
    - Palm (except Phoenix *canariensis*)
    - Privet (*Ligustrum lucidum*)

**Dangerous Tree(s)**  
A tree may be removed or severely pruned without a permit when there is an imminent danger to life, property, utilities or essential transportation facilities. Property owners are still required to notify the Town prior to any removal or pruning and must receive approval from the Town before taking any emergency action. Contact the Parks and Public Works Department at (408) 359-5770 Monday through Friday between the hours of 7:00 a.m. to 4:00 p.m. or the Police Department at (408) 354-8600 after hours or on weekends to report a dangerous tree and request approval for removal or pruning without a permit. Within 72 hours following removal or pruning, photos and a description of the emergency action taken must be submitted to the Department of Parks and Public Works.

- Requirements for a Removal or Pruning Permit**  
The following items are required to apply for a tree removal or pruning permit:
- A completed application signed by the property owner. Applications are available online at <http://www.losgatosca.gov/DocumentCenter/View/14925> or at the Parks and Public Works Department, Monday through Friday between the hours of 8:00 a.m. and 1:00 p.m.
  - Photos and/or a site plan of the tree(s) proposed for removal or pruning (for pruning, proposed cuts should be indicated on photo).
  - A completed tree removal worksheet (located on the reverse side of the application).
  - Inspect trees prior to removal or major pruning to confirm the absence of active bird nests, particularly during the spring/summer nesting season (February 1 through August 31).
  - If required by the Town Arborist following initial inspection, a certified or consulting arborist's written report.
  - If part of a development application, a copy of the associated tree report.
  - If structural damage to a building, major landscape feature or utilities is the basis for the request, a report from a licensed architect or engineer may be required describing what modifications to buildings, structures, improvements or utilities would be necessary to mitigate the damages caused by the tree.
  - For Large Protected Tree or Heritage Tree removal or pruning permits, notification will be sent to neighboring residents and property owners prior to issuance by the Parks and Public Works Department (more information on noticing is provided on page 4 of this FAQ).
  - Payment of a permit fees, as established by Town resolution. The current fee is \$130 for one tree, plus \$65 for each additional tree included in the same application.

**Tree Protection Zone**  
The tree protection zone (TPZ) means the area of a temporary fenced tree enclosure at or beyond the tree's dripline or as specified in a report prepared by a certified or consulting arborist. The TPZ is a restricted activity zone before and after construction where no soil disturbance is permitted unless approved and supervised by the certified or consulting arborist.

- Tree Protection Fencing Requirements**
- Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-feet deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished, posts may be supported by concrete base.
  - Posted eight and one-half-inch by eleven-inch sign on each tree fence stating: "Warning - Tree Protection Zone - This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025"
  - Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits.
  - Tree protection fencing is required to remain in place throughout construction.

*\*Any protected tree on-site will require replacement according to its appraised value if it is damaged beyond repair as a result of construction.*

Sec. 29.10.0985 - Determination and conditions of permit.  
The Director shall determine whether to grant a permit. The Director may consult with other Town departments or outside agencies at his/her discretion. When a development application for any zoning approval, or subdivision of land, including lot line adjustment, is under consideration by the Planning Commission, the determination on the tree removal permit shall be made concurrently by the Planning Commission with the related matter. The Director or the deciding body shall impose, except when removal is permitted if the tree is dead or a Tree Risk Rating of Extreme or High is present, as a condition on which a protected tree removal permit is granted that two (2) or more replacement trees of a species and a size designated by the Director or designee, shall be planted in the following order of preference:

- Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private property. Table 3-1, Tree Canopy-Replacement Standard shall be used as a basis for this requirement. The person requesting the permit shall pay the cost of purchasing and planting the replacement trees.
- If a tree or trees cannot be reasonably planted on the subject property, an in-lieu payment in an amount set forth by the Town Council by resolution shall be paid to the Town Tree Replacement Fund to:
  - Add or replace trees on public property in the vicinity of the subject property; or
  - Add or replace trees or landscaping on other Town property; or
  - Support the Town's urban forestry management program.

Canopy Size of Removed Tree <sup>1</sup>	Replacement Requirement <sup>2,4</sup>	Single Family Residential Replacement Option <sup>3,4</sup>
10 feet or less	Two 24-inch box trees	Two 15-gallon trees
More than 10 feet to 25 feet	Three 24-inch box trees	Three 15-gallon trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees	Four 15-gallon trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees	Not Available
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees	Not Available

- Notes**
- To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.
  - Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.
  - Single Family Residential Replacement Option is available for developed single family residential lots under n thousand (10,000) square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All fifteen-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on twenty-four-inch box tree rates as adopted by Town Council.
  - Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and section 29.10.0987 Special Provisions—Hillsides.
- Replacement with native species is strongly encouraged. Most fruit and nut trees, palm trees, or "nuisance" species (see section 29.10.0970(2) of the Town Code) are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved, permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows: 24 inch box tree = \$250, 36 inch box tree = \$500

# GREENPOINT CHECKLIST

**Single Family GreenPoint Checklist**

The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home that has a GreenPoint score of 40 or higher is eligible for a GreenPoint Rated certification. The GreenPoint program is a voluntary program that is designed to encourage homeowners to improve the energy efficiency, water efficiency, and indoor air quality of their homes. The GreenPoint program is a voluntary program that is designed to encourage homeowners to improve the energy efficiency, water efficiency, and indoor air quality of their homes.

**400 Surmont Drive - Parcel 2**

Points Available	Points Earned	Energy	Water	Indoor Air Quality	Smart Home
100	100	100	100	100	100

**400 Surmont Drive - Parcel 2**

Points Available	Points Earned	Energy	Water	Indoor Air Quality	Smart Home
100	100	100	100	100	100

**400 Surmont Drive - Parcel 2**

Points Available	Points Earned	Energy	Water	Indoor Air Quality	Smart Home
100	100	100	100	100	100

**400 Surmont Drive - Parcel 2**

Points Available	Points Earned	Energy	Water	Indoor Air Quality	Smart Home
100	100	100	100	100	100

**Summary**

Total Available Points in Specific Categories*	4+	56+	42+	66+	43+
Minimum Points Required in Specific Categories*	0	30	5	6	9
<b>Total Points Achieved</b>	<b>59</b>	<b>1</b>	<b>34</b>	<b>5</b>	<b>7</b>

**Project has not yet met the following recommended minimum requirements:**  
\* Total Project Score of At Least 50 Points



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

20 AUGUST 2019  
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17 JANUARY 2020  
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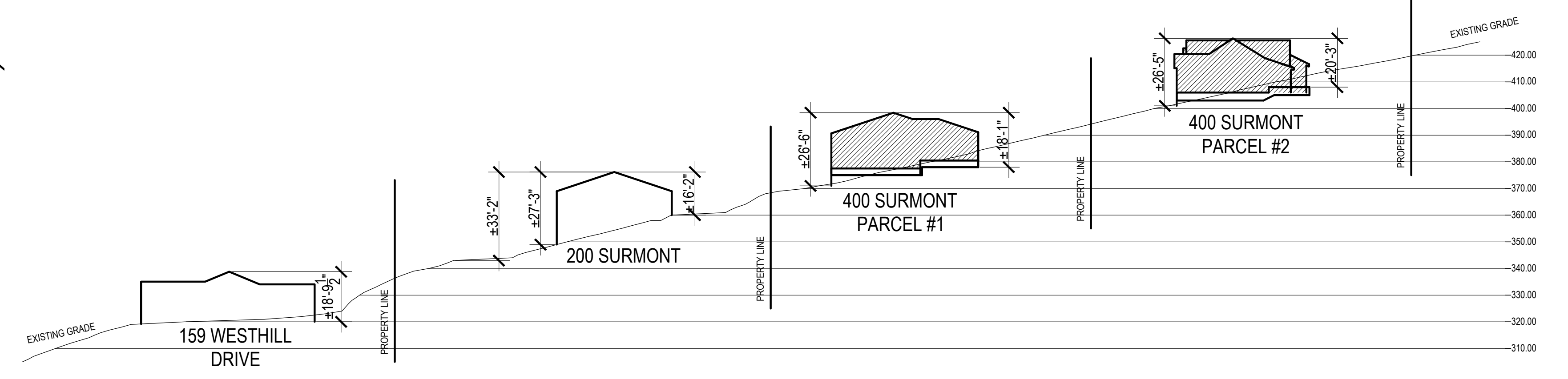
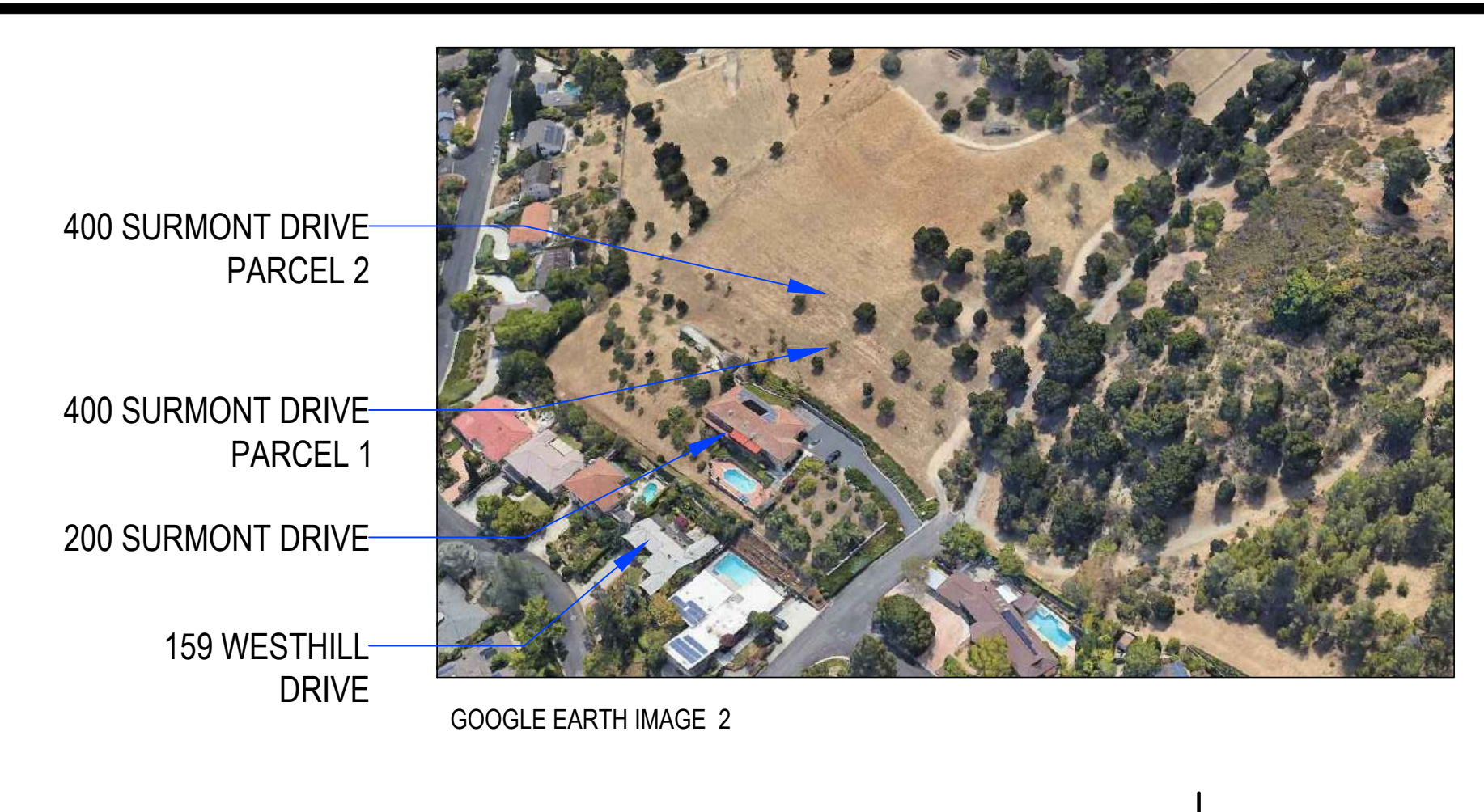
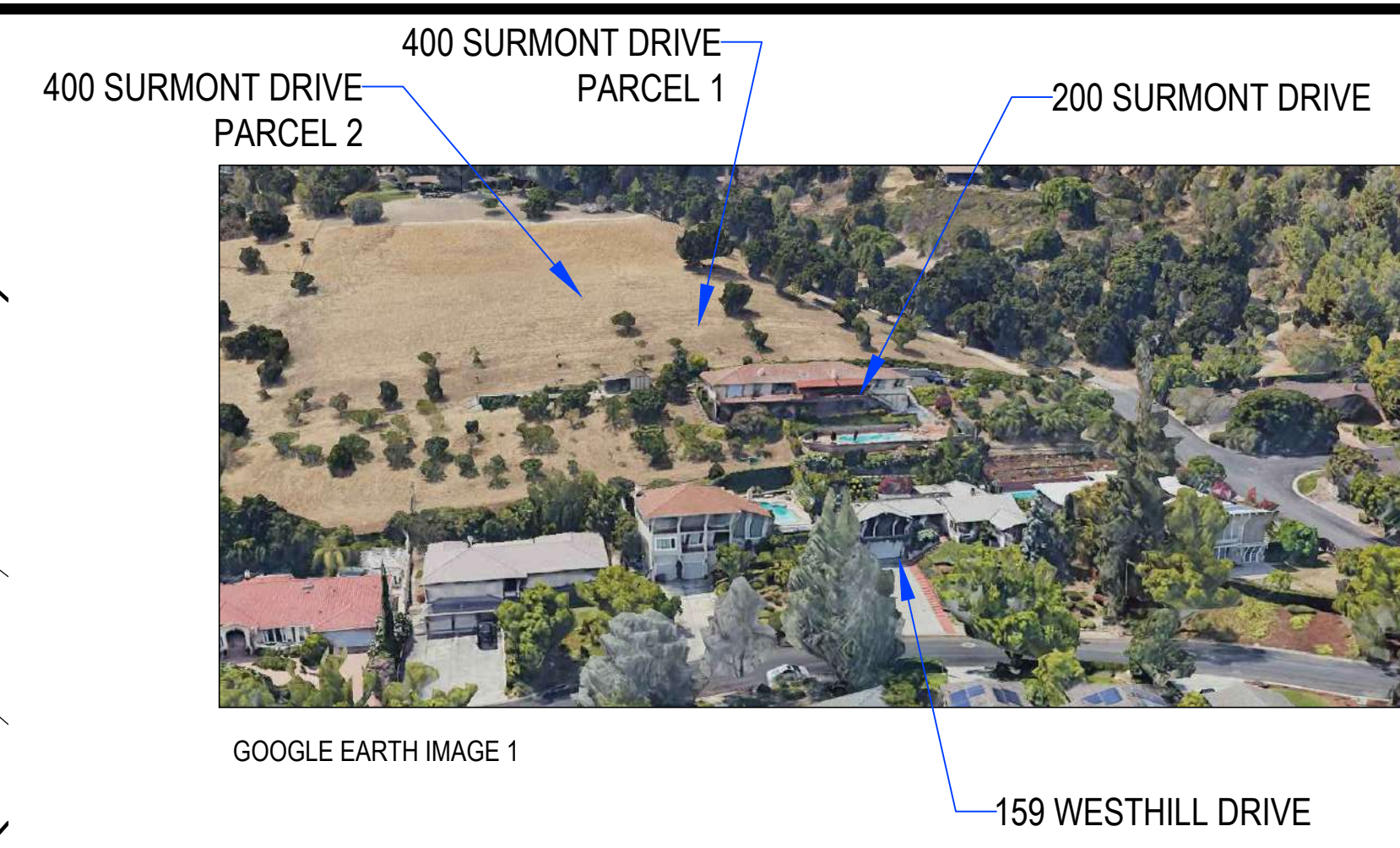
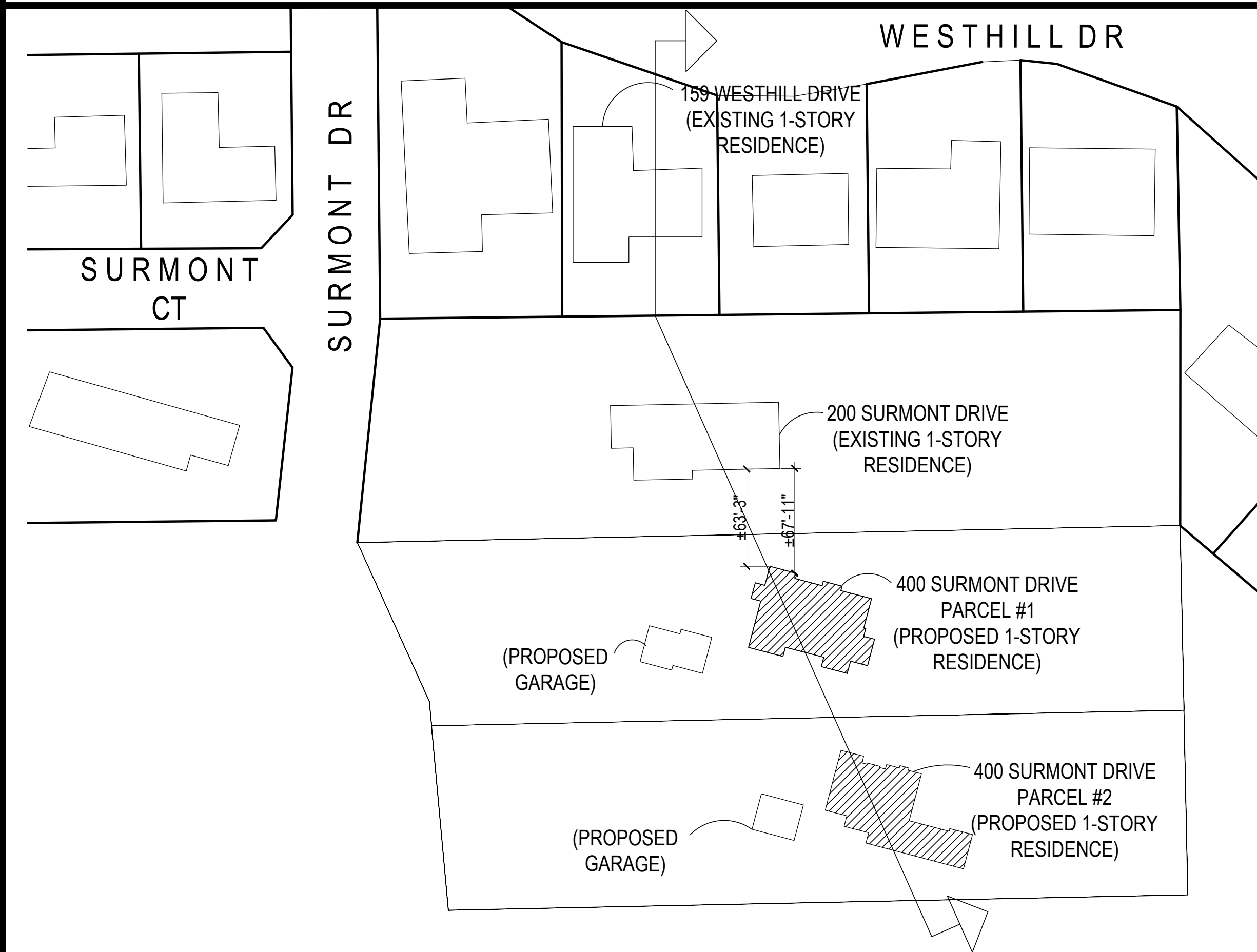
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TREE PRESERVATION  
INSTRUCTIONS +  
GREENPOINT CHECKLIST

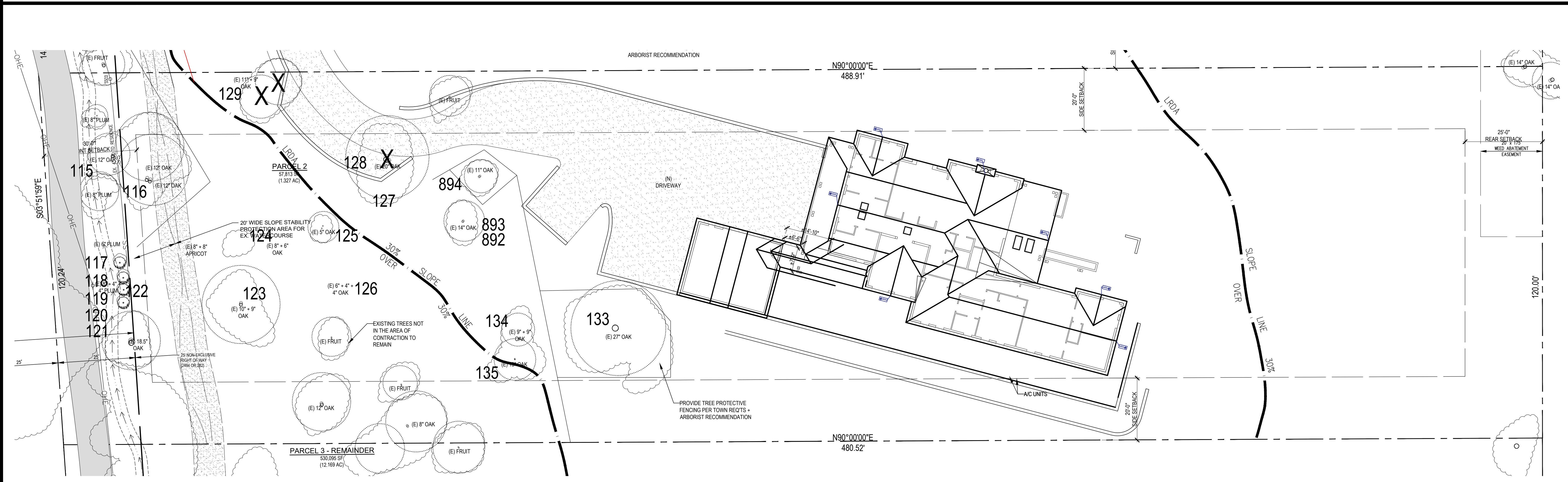
A 1.2



SITE LINE STUDY / MASSING RELATIONSHIP



SITE PLAN



**SE**  
STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
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95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
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- 23 AUGUST 2021  
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- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"

SCALE: AS NOTED

PROPOSED SITE PLAN +  
SITE LINE STUDY/  
MASSING RELATIONSHIP

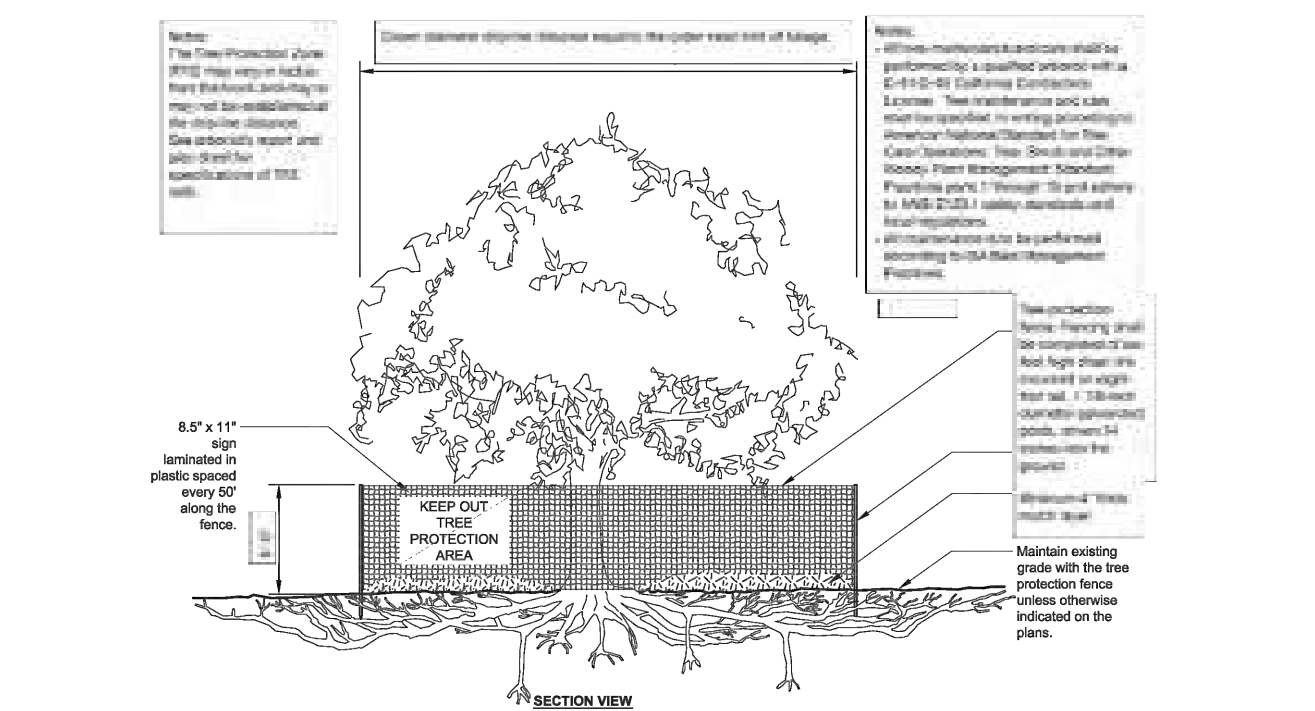
**A1.3**



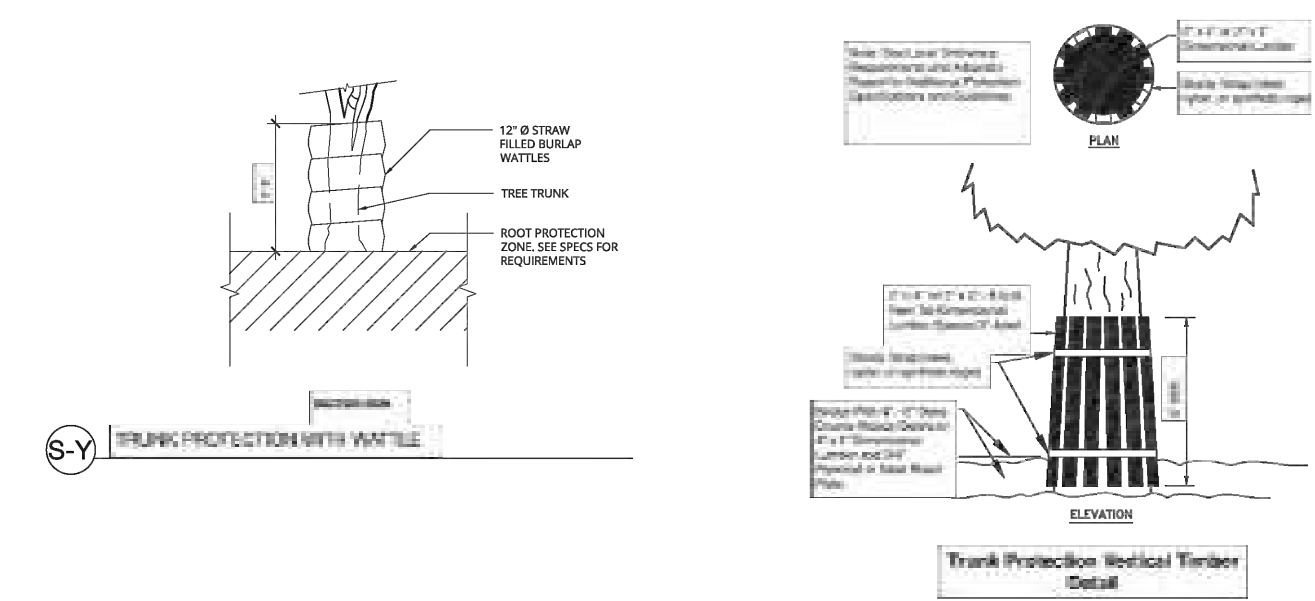
**Appendix A: Site Plan and Tree Locations**  
Site plan not to scale. Trees with an 'X' next to them are highly impacted. The blue dash represents the tree protection fence.



**Appendix D: Tree Protection Guidelines**  
**D1: Fence Specifications**



**D2: Trunk Protection Specifications**



**Appendix B: Tree Inventory and Assessment Tables**

Table 2: Inventory Summary

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot (Prunus armeniaca)	110	8	10	15	Poor	Poor	High	\$470.00	Exempt
coast live oak (Quercus agrifolia)	111	6, 5	15	15	Fair	Fair	High	\$750.00	Protected
apricot (Prunus armeniaca)	112	7, 7	15	15	Poor	Poor	High	\$710.00	Exempt
holly oak (Quercus ilex)	113	13	30	30	Fair	Fair	Low	\$2,340.00	Protected
coast live oak (Quercus agrifolia)	114	14, 9	35	30	Fair	Fair	Low	\$2,700.00	Protected
coast live oak (Quercus agrifolia)	115	14	35	35	Good	Good	Low	\$1,380.00	Protected
coast live oak (Quercus agrifolia)	116	13, 15	35	35	Fair	Fair	Low	\$2,090.00	Large Protected
wild plum (Prunus sp.)	117	8	25	25	Good	Poor	Low	\$620.00	Exempt
wild plum (Prunus sp.)	118	8	25	25	Good	Poor	Low	\$620.00	Exempt
wild plum (Prunus sp.)	119	6	25	25	Good	Poor	Low	\$390.00	Exempt
wild plum (Prunus sp.)	120	8, 4, 3	25	25	Good	Poor	Low	\$770.00	Exempt
coast live oak (Quercus agrifolia)	121	18, 5	35	35	Good	Good	Low	\$5,400.00	Protected
apricot (Prunus armeniaca)	122	8, 8	15	15	Fair	Poor	Low	\$1,700.00	Exempt

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
coast live oak (Quercus agrifolia)	123	10, 9	35	35	Fair	Fair	Low	\$1,820.00	Protected
holly oak (Quercus ilex)	124	8, 6	25	25	Fair	Fair	Low	\$1,420.00	Protected
holly oak (Quercus ilex)	125	5	20	20	Good	Good	Low	\$620.00	Protected
holly oak (Quercus ilex)	126	6, 4, 4	20	20	Fair	Fair	Low	\$940.00	Protected
coast live oak (Quercus agrifolia)	127	14	30	30	Good	Good	High	\$3,140.00	Protected
coast live oak (Quercus agrifolia)	128	11	30	30	Good	Good	High	\$1,990.00	Protected
coast live oak (Quercus agrifolia)	129	11, 9	25	25	Good	Good	High	\$3,140.00	Protected
stone pine (Pinus pinea)	130	9	25	15	Good	Poor	High	\$880.00	Protected
toyon (Heteromeles arbutifolia)	131	7, 7, 7	25	25	Fair	Fair	Moderate	\$2,150.00	Protected
coast live oak (Quercus agrifolia)	132	8, 5, 5	30	30	Fair	Fair	Moderate	\$1,120.00	Protected
coast live oak (Quercus agrifolia)	133	27	55	55	Good	Good	Moderate	\$11,300.00	Large Protected
coast live oak (Quercus agrifolia)	134	9, 9	25	25	Good	Good	Low	\$2,730.00	Protected
coast live oak (Quercus agrifolia)	135	13	25	25	Good	Good	Low	\$2,730.00	Protected
wild plum (Prunus sp.)	346	4, 4, 4	10	8	Good	Poor	Low	\$930.00	Exempt

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot (Prunus armeniaca)	806	3, 3, 3	10	8	Good	Poor	High	\$1,100.00	Exempt
apricot (Prunus armeniaca)	899	7, 7	10	8	Poor	Poor	High	\$710.00	Exempt
coast live oak (Quercus agrifolia)	700	6	15	10	Fair	Fair	High	\$460.00	Protected
apricot (Prunus armeniaca)	892	4, 4, 4	10	8	Dead	Poor	Low	\$0.00	Exempt
coast live oak (Quercus agrifolia)	893	13	25	15	Good	Good	Low	\$2,730.00	Protected
coast live oak (Quercus agrifolia)	894	9	15	10	Good	Good	Moderate	\$1,380.00	Protected
apricot (Prunus armeniaca)	895	6, 4, 3	10	8	Poor	Poor	High	\$470.00	Exempt
coast live oak (Quercus agrifolia)	896	6	15	10	Poor	Poor	High	\$230.00	Protected
apricot (Prunus armeniaca)	897	4	10	8	Poor	Poor	High	\$150.00	Exempt
apricot (Prunus armeniaca)	898	10	10	8	Poor	Poor	High	\$710.00	Exempt
apricot (Prunus armeniaca)	899	8	10	8	Poor	Poor	High	\$470.00	Exempt
apricot (Prunus armeniaca)	900	12	10	8	Poor	Poor	High	\$1,000.00	Exempt

**Tree Protection**

Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K. and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers.

Trees #131, #332, #133 and #894 are all located close to proposed construction and will require tree protection fence around them to help prevent damage. There are four trees in close proximity to these including #134, #135, #892 and #893 which will be enclosed as a group with #131 and #132. Tree #133 will need a minimum of eighteen feet of protection radii to help ensure its survival. The remaining three trees are small and ten feet of protection radii would be ideal.

**Conclusion**

The inventory contains 39 trees comprised of 6 different species. Two coast live oaks are considered Large Protected, and sixteen fruit trees are Exempt. Eighteen trees are in good condition, eleven fair, nine in poor shape and one is dead. Most of the trees in poor condition are remnant orchard trees. The best specimen in the building area is coast live oak #133. Eighteen trees are poorly suited for retention which are primarily fruit trees. Ten trees have fair suitability for preservation and the remaining eleven have good suitability. Sixteen trees will be highly impacted and are expected to be removed, four moderately affected and nineteen are not near the improvements. Seven trees will require replacements (#111, #127, #128, #129, #130, #700, and #896) resulting is twenty-one (21) 24 inch box specimens. Seven of the sixteen trees expected to be highly impacted are Protected (#111, #127, #128, #129, #130, #700, and #896) while the remaining are Exempt fruit trees. Trees #131, #332, #133 and #894 are all located close to proposed construction and will require tree protection fence around them to help prevent damage. There are four trees in close proximity to #131 and #132 including #134, #135, #892 and #893 which will be enclosed as a group. Tree #133 will need a minimum of eighteen feet of protection radii to help ensure its survival. The remaining three trees are small and ten feet of protection radii would be ideal. A total of 39 trees were appraised for a rounded depreciated value of \$64,260.00 using the Trunk Formula Method.

**Recommendations**

- Update the site plans and survey to show the current existing conditions and corrected locations (Appendix A) of the trees and their trunks, including those along the drainage and their associated numbers.
- Place tree numbers and tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all protection measures labeled "T-1 Tree Protection Plan."
- Place tree protection fence along the service road near the drainage outside the tree dip lines (#113, #114, #115, and #116), around #133 at eighteen feet (18'), and around #332, #133 (#134 and #135) and #894 (#892 and #893) at a radius of ten feet (10').
- Provide a landscape plan that accounts for the loss in tree canopy to include in tabular form the required replacements in accordance with the Town's Tree Canopy Replacement Standard. Seven trees will require replacements (#111, #127, #128, #129, #130, #700, and #896) resulting is twenty-one (21) 24 inch box specimens..
- All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management: Standard Practices parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
- Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
- Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
- Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

**Section 29.10.1005. - Protection of Trees During Construction**

**Tree Protection Zones and Fence Specifications**

- Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

**All persons, shall comply with the following precautions**

- Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
- Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- Prohibit the attachment of wires, signs or ropes to any protected tree.
- Design utility services and irrigation lines to be located outside of the dripline when feasible.
- Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

**Monitoring**

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented. The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

**Root Pruning**

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

**Boring or Tunneling**

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

**Tree Pruning and Removal Operations**

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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F 253.399.1125

400 SURMONT DRIVE  
PARCEL #2  
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CALIFORNIA  
95032

20 AUGUST 2019

17 JANUARY 2020  
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23 AUGUST 2021  
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29 APRIL 2022  
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19 DECEMBER 2022  
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SCALE: 1/8" = 1'-0"

TREE PROTECTION  
REQUIREMENTS

T-1





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REMODELS +  
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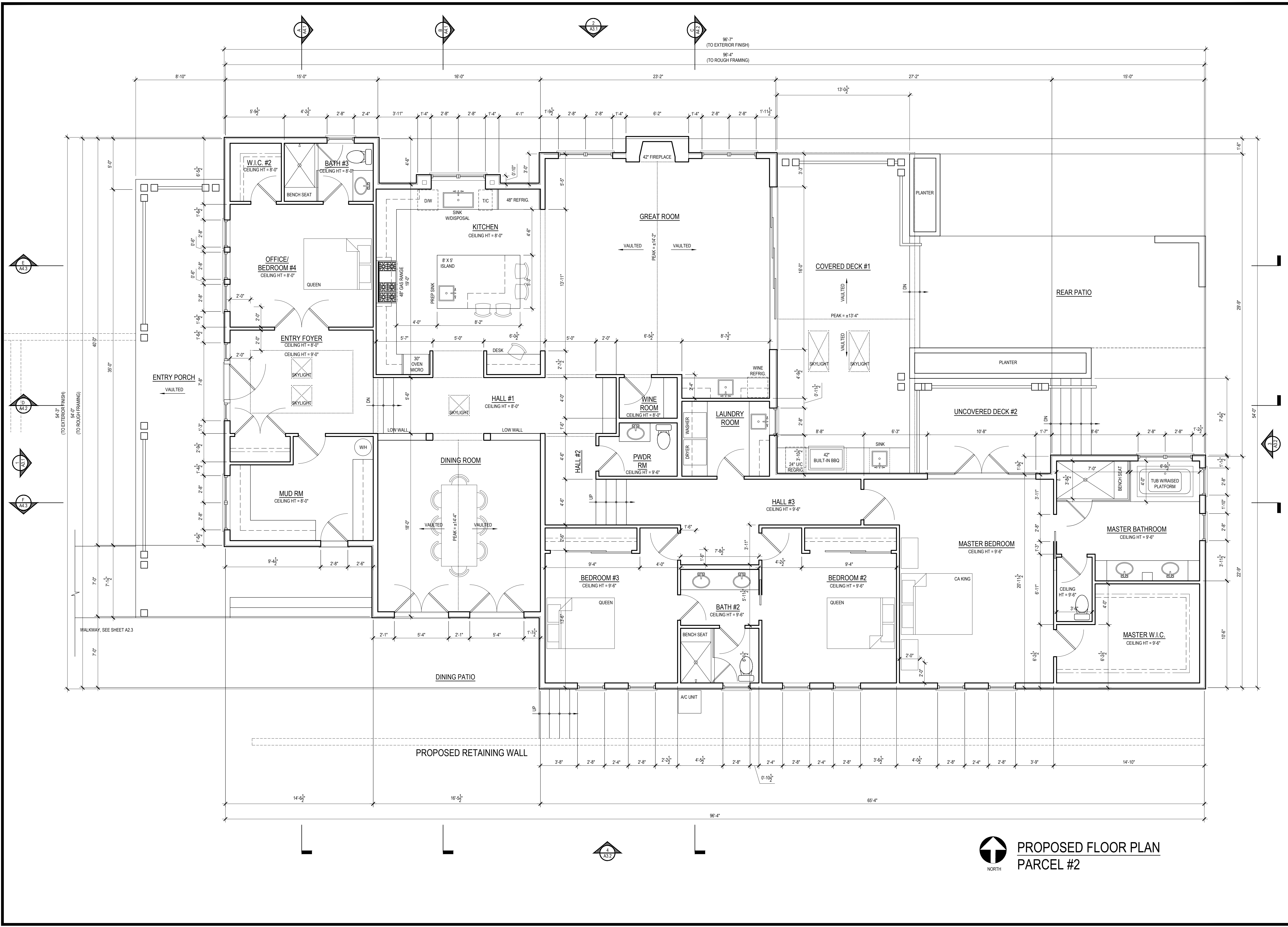
08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN

A2.1



PROPOSED FLOOR PLAN  
PARCEL #2





STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
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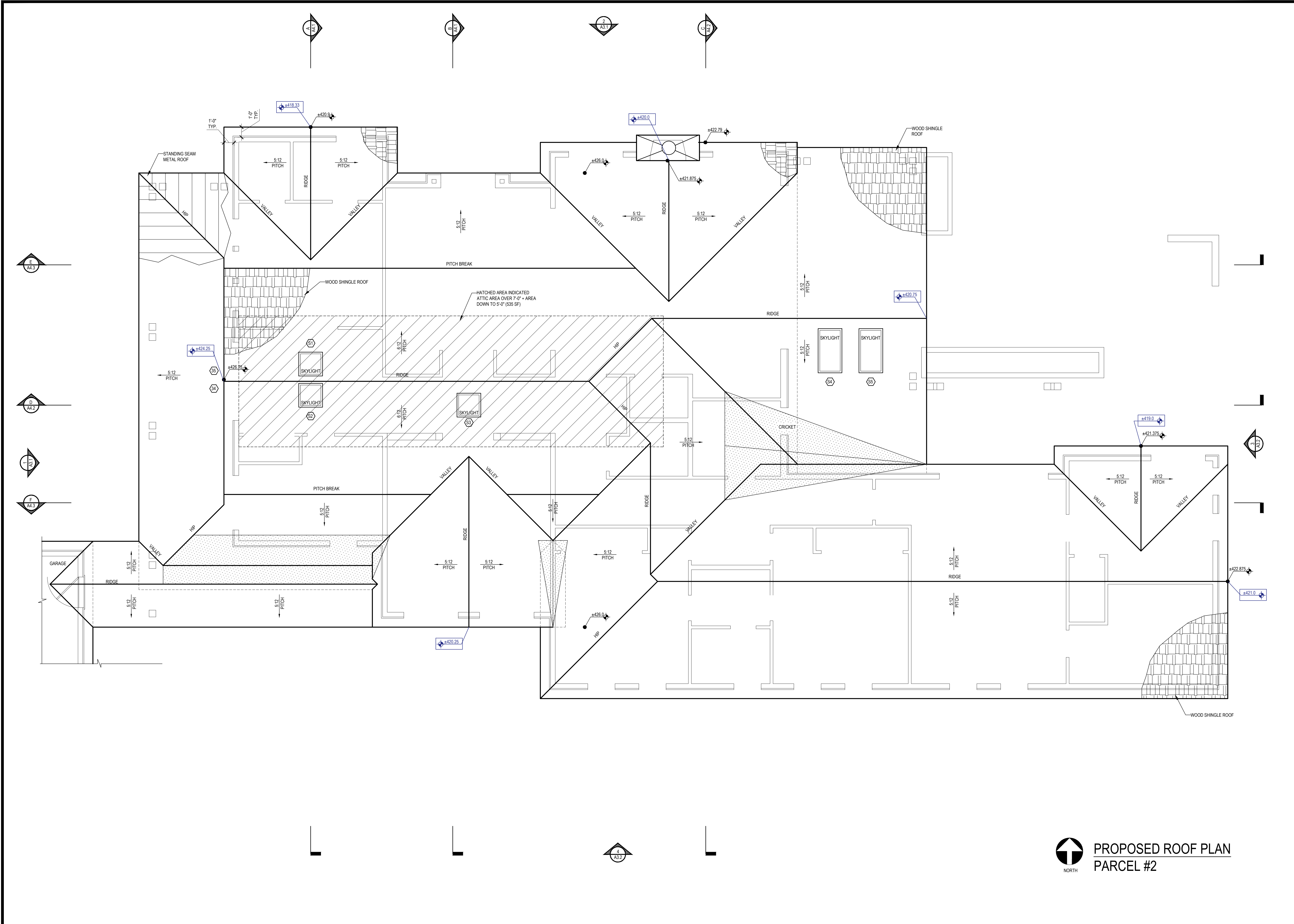
08 JULY 2022  
PLANNING SUBMITTAL V

19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

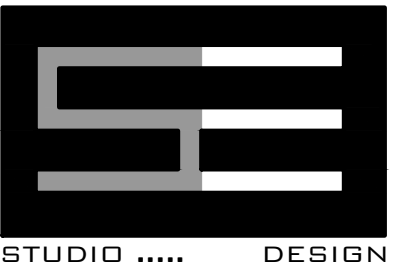
PROPOSED ROOF PLAN

**A2.2**



**PROPOSED ROOF PLAN  
PARCEL #2**





INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION  
638 UNIVERSITY AVE  
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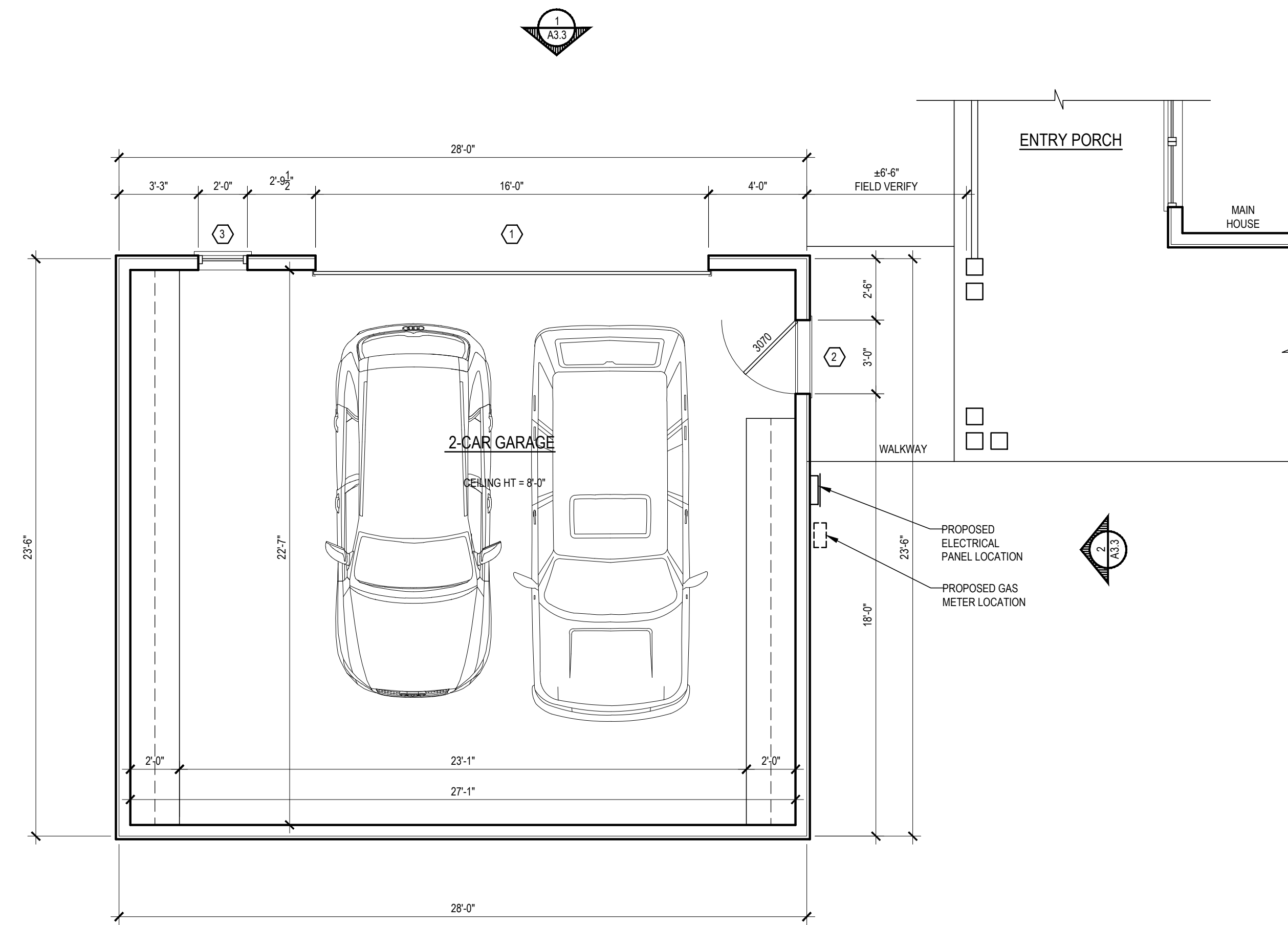
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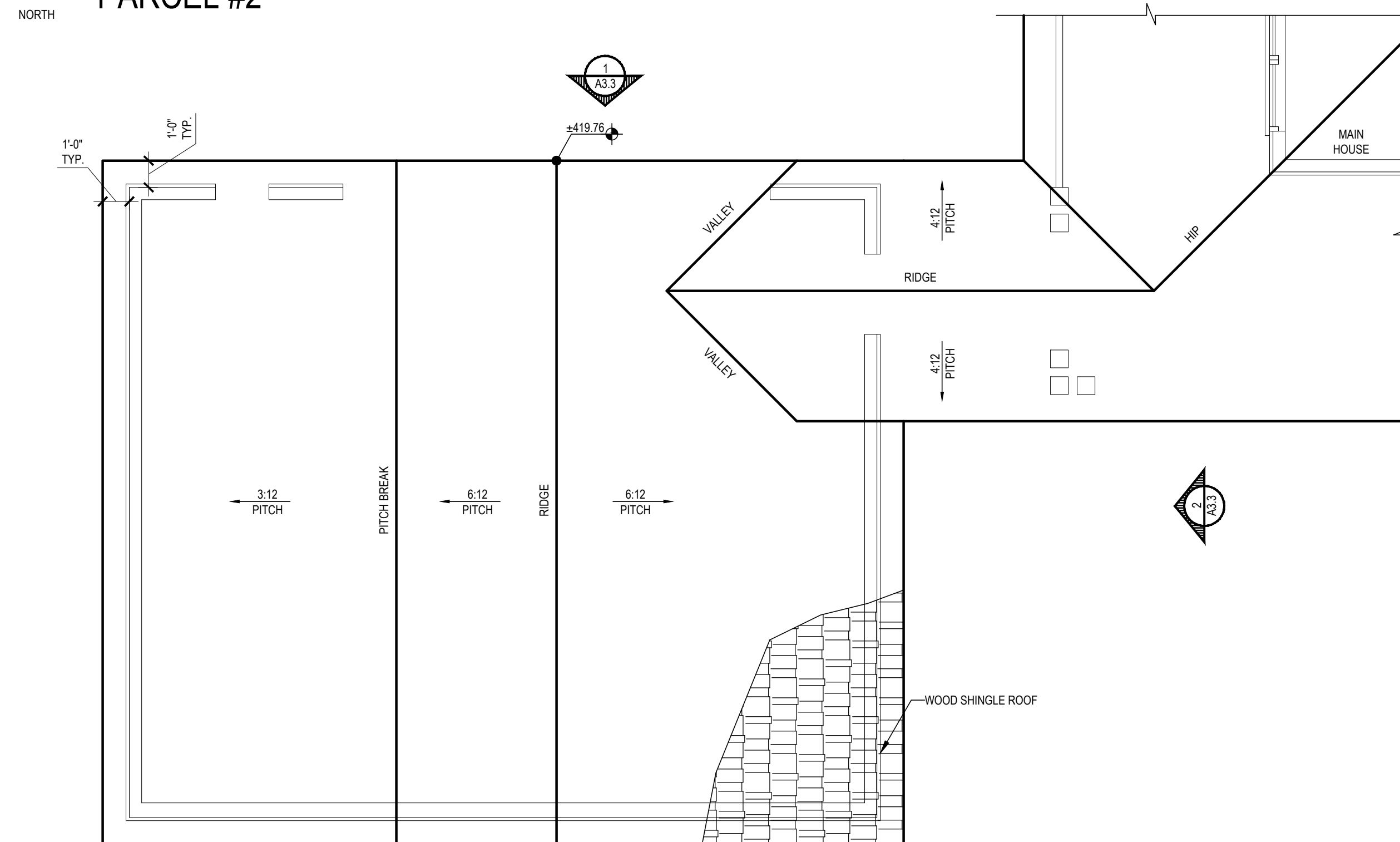
SCALE: 1/4" = 1'-0"

PROPOSED GARAGE  
FLOOR + ROOF PLANS

**A2.3**



**PROPOSED GARAGE PLAN  
PARCEL #2**



**PROPOSED GARAGE ROOF PLAN  
PARCEL #2**



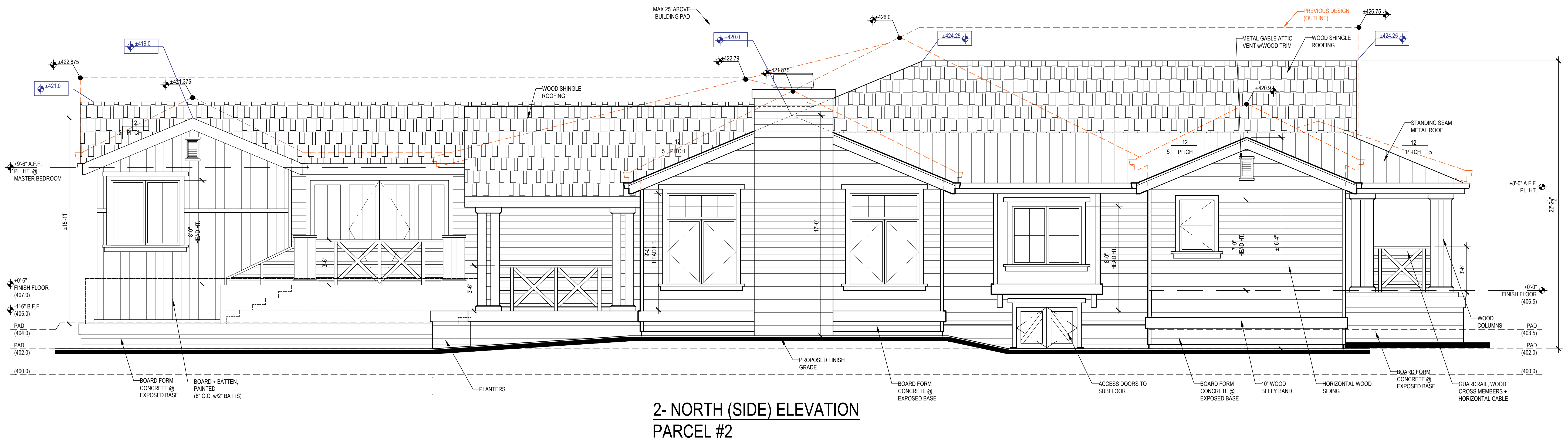
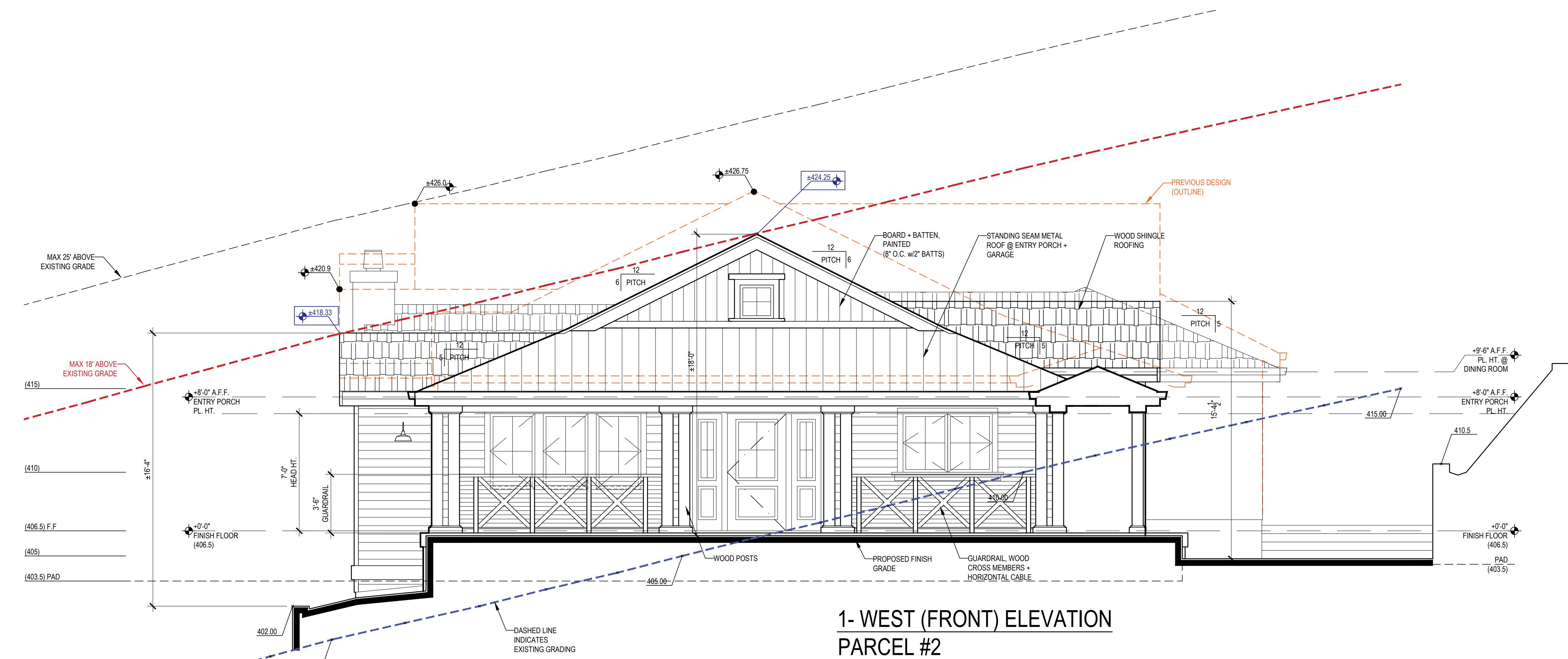


STUDIO ..... DESIGN

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SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A3.1



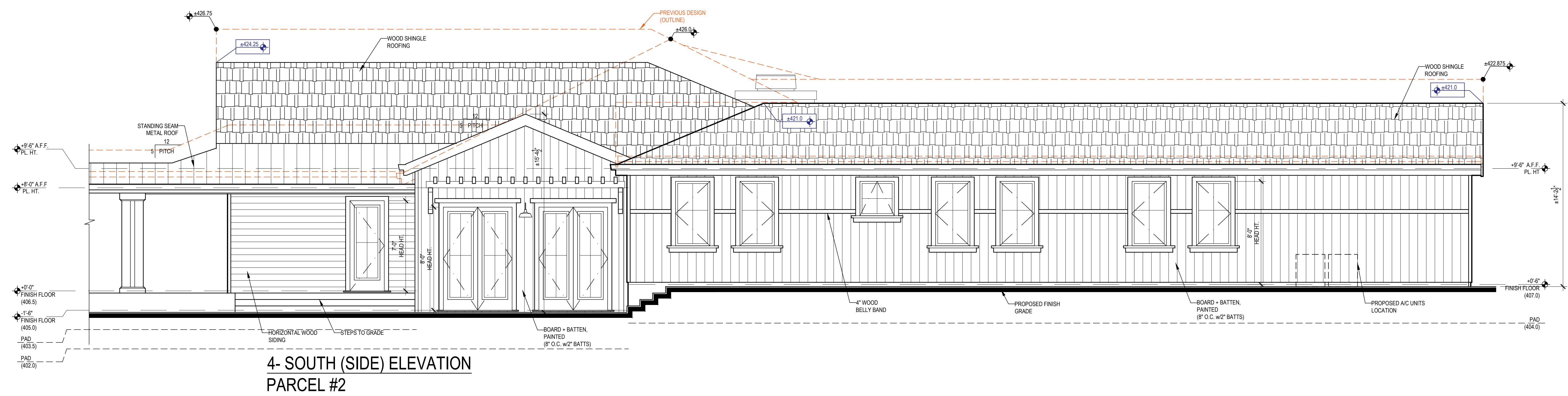
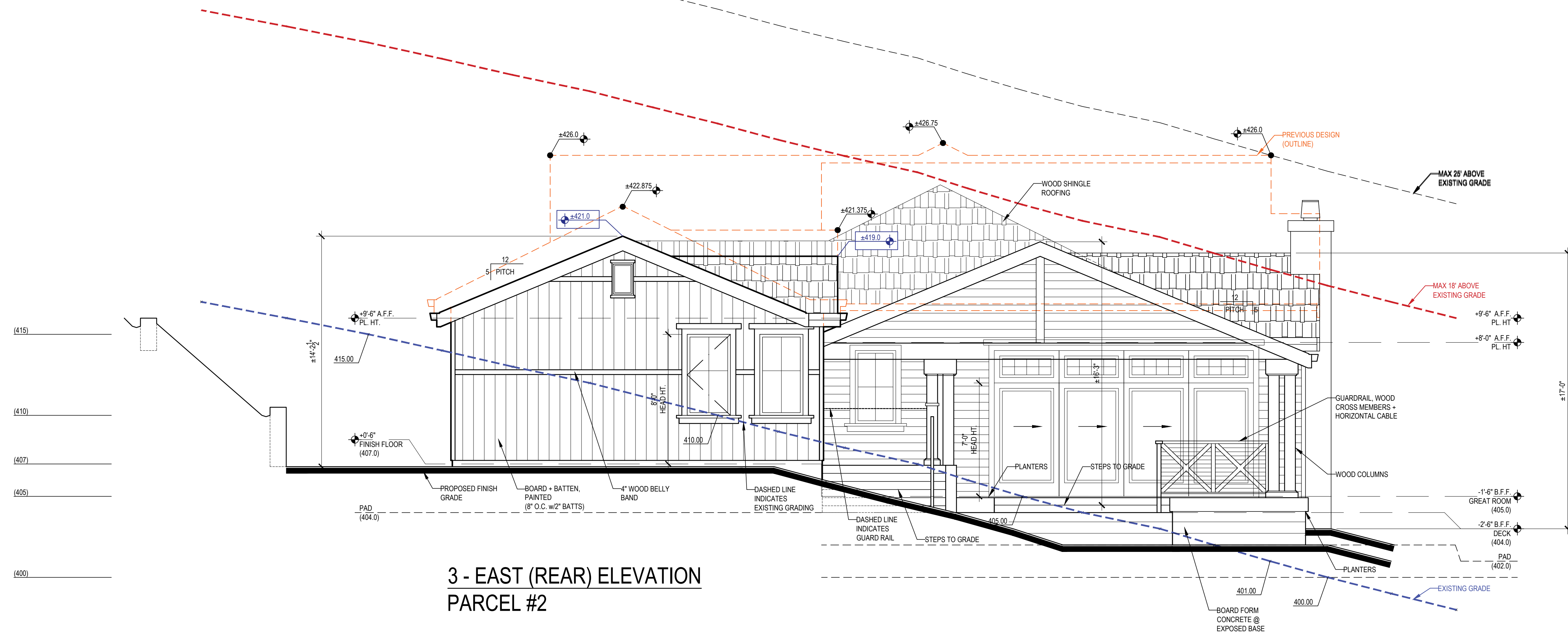


STUDIO ..... DESIGN

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PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

**A3.2**

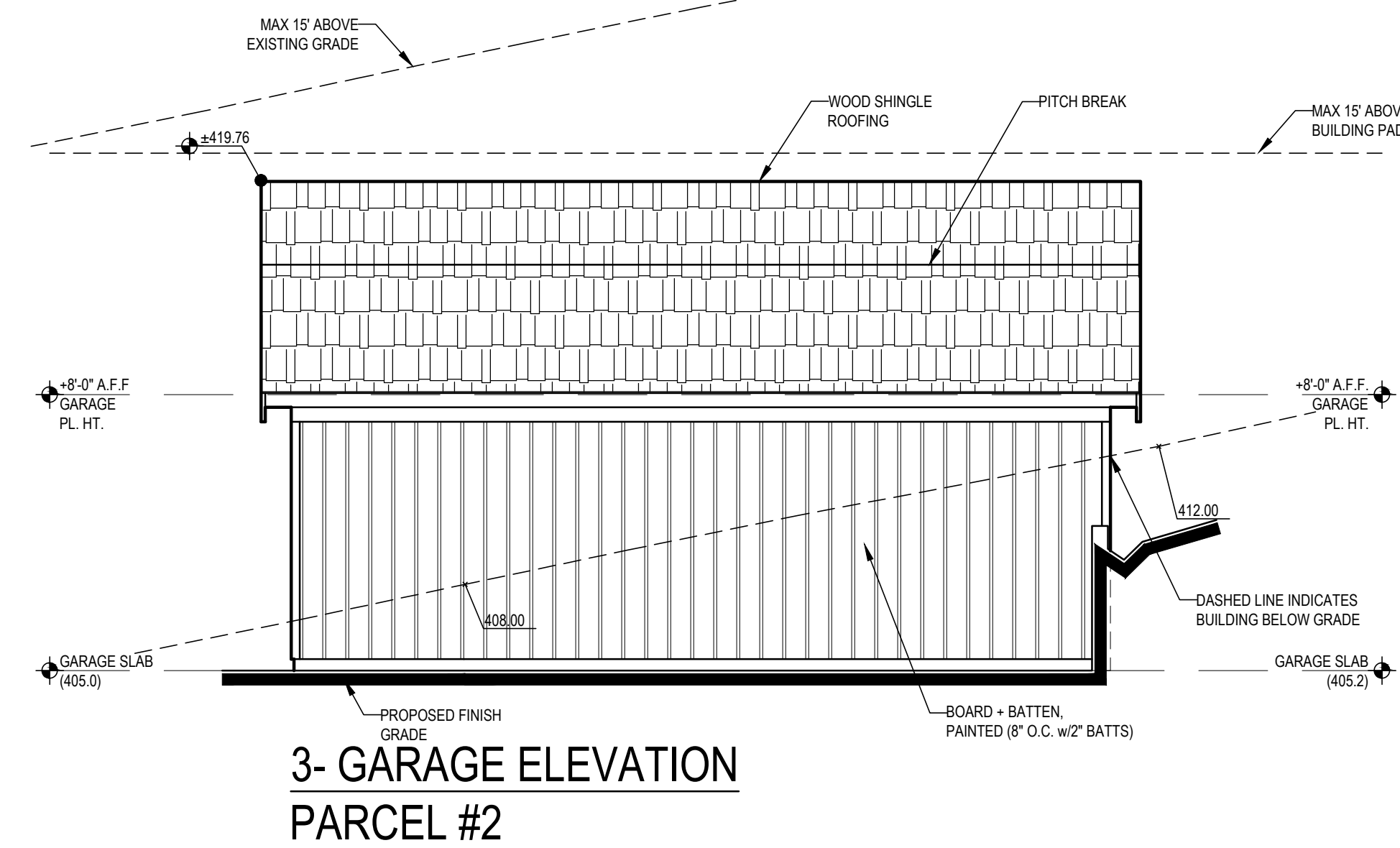
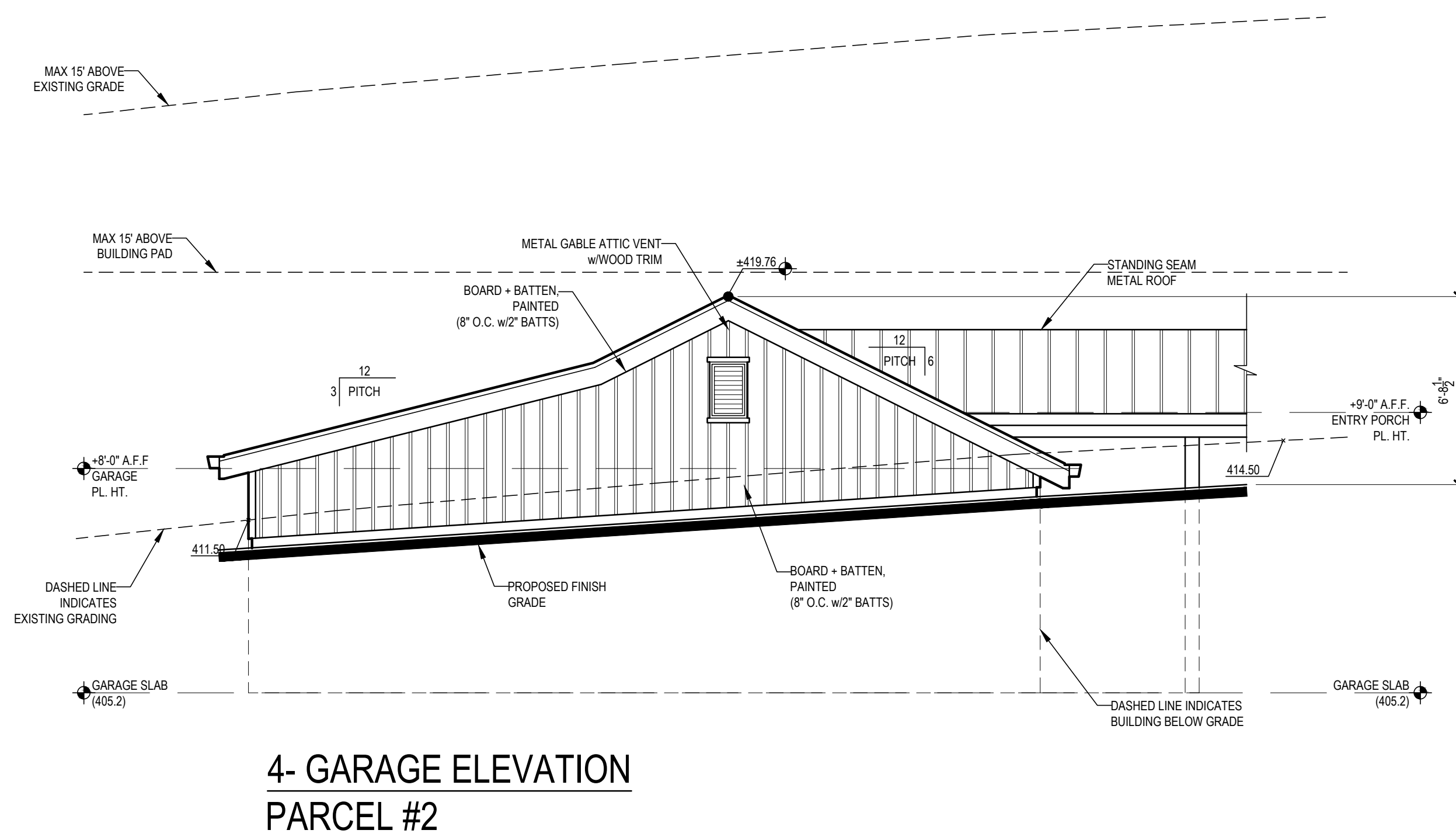
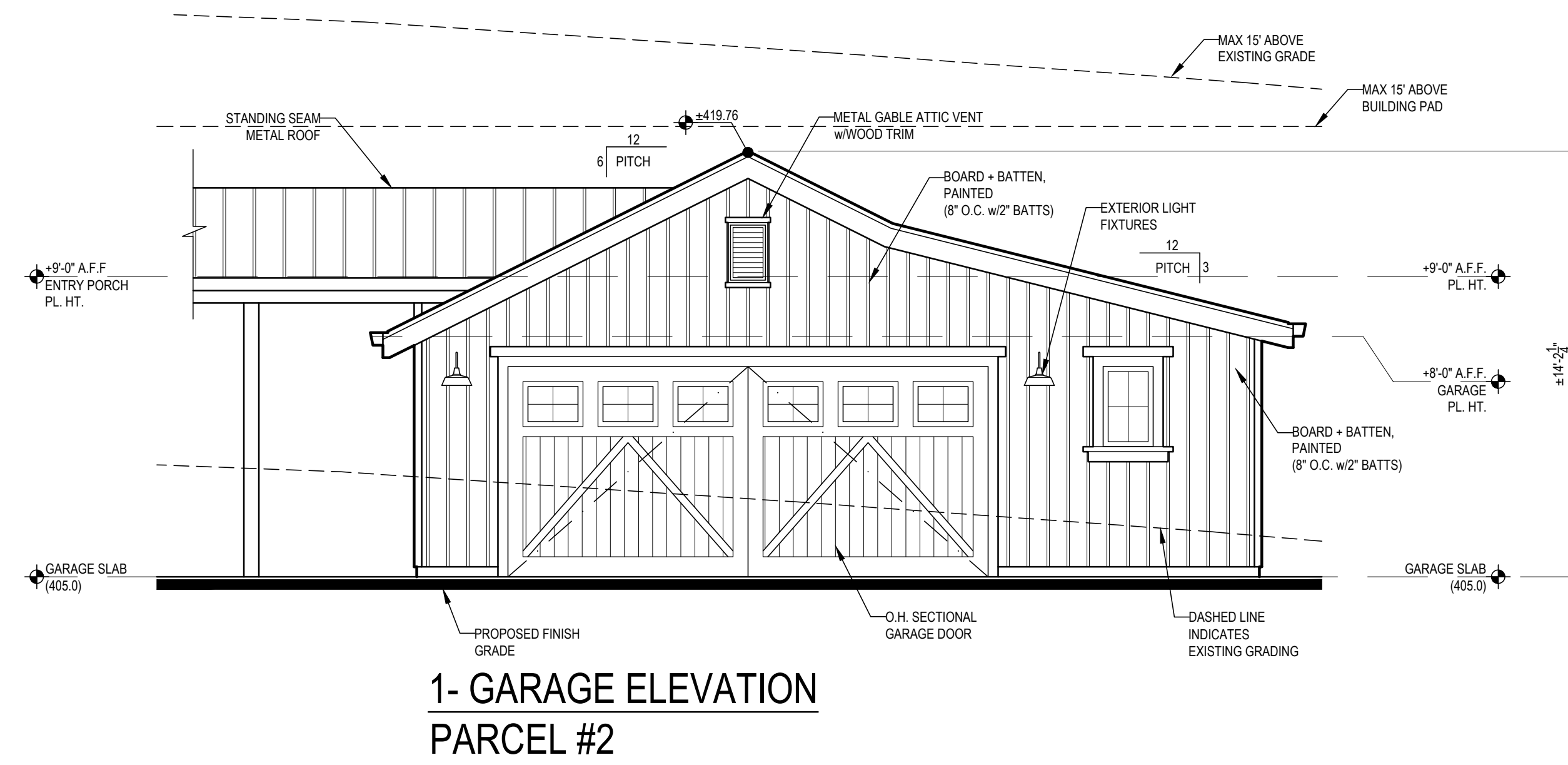
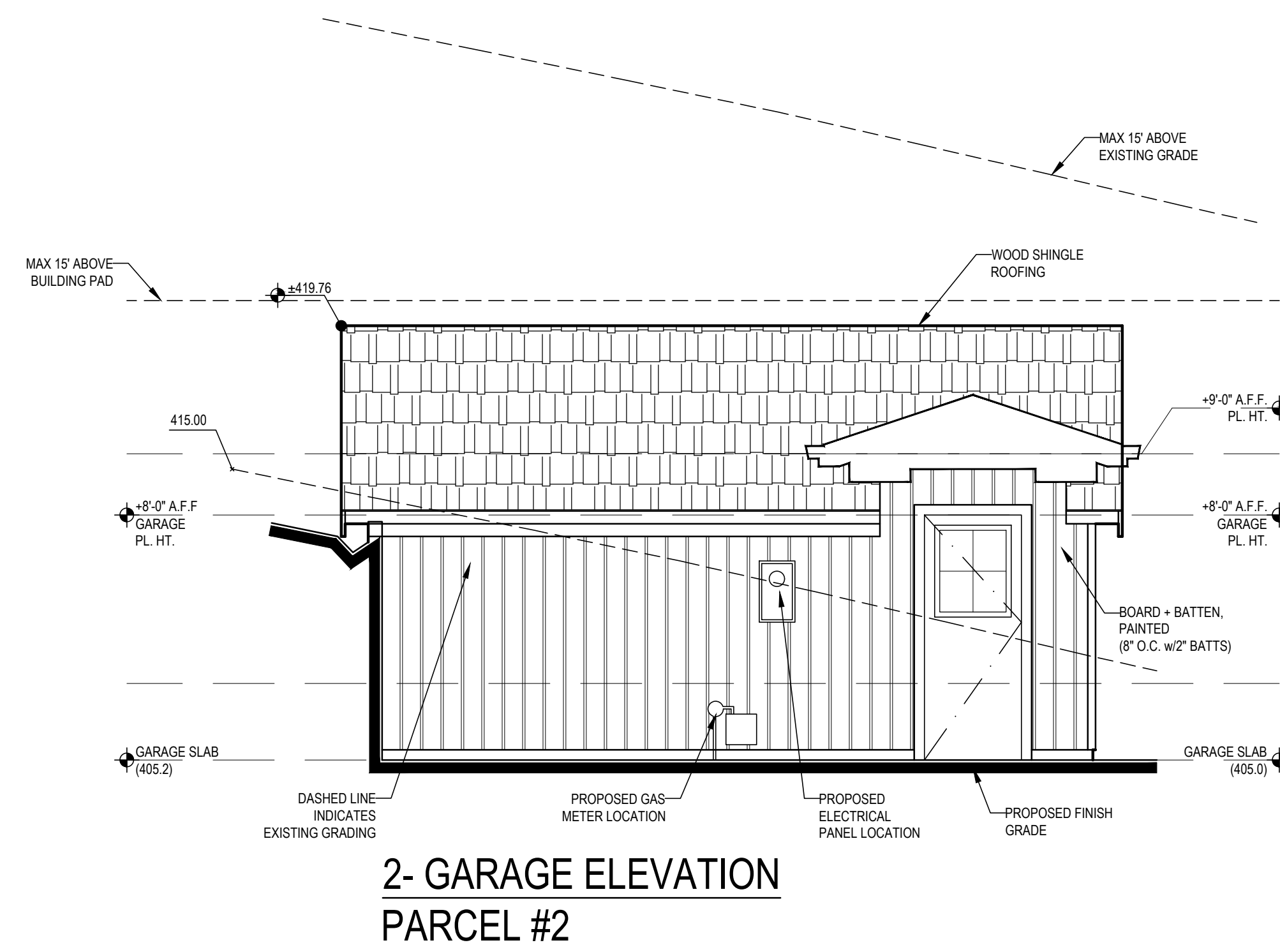




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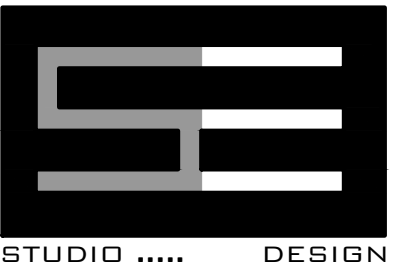
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PLANNING SUBMITTAL VII

SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATIONS  
(GARAGE)

**A3.3**





STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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1a- WEST (FRONT) ELEVATION W/GARAGE  
PARCEL #2



2a- NORTH (SIDE) ELEVATION W/GARAGE  
PARCEL #2

400 SURMONT DRIVE  
PARCEL #2  
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PLANNING SUBMITTAL

23 AUGUST 2021  
PLANNING SUBMITTAL II

16 NOVEMBER 2021  
PLANNING SUBMITTAL III

29 APRIL 2022  
PLANNING SUBMITTAL IV

08 JULY 2022  
PLANNING SUBMITTAL V

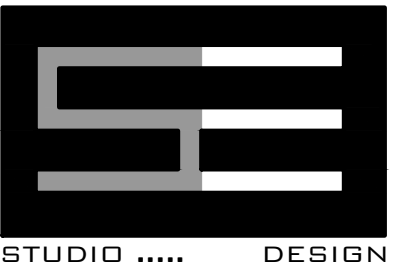
19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATIONS

A3.4

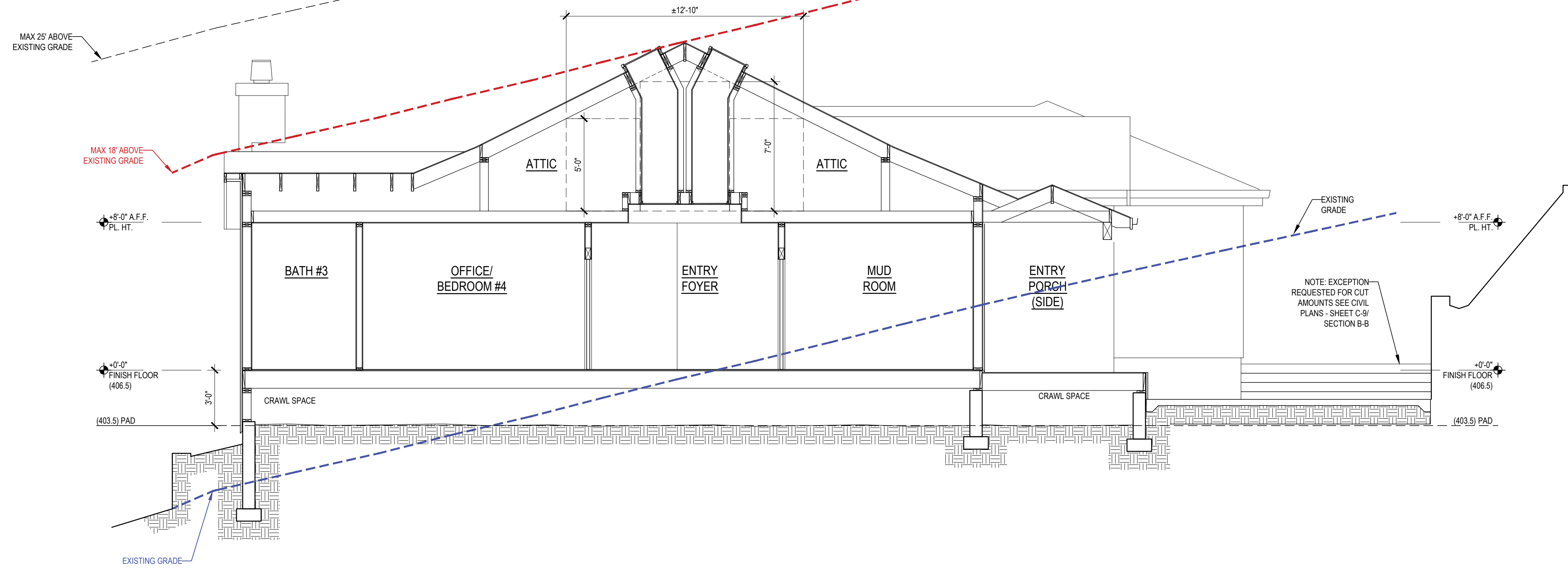




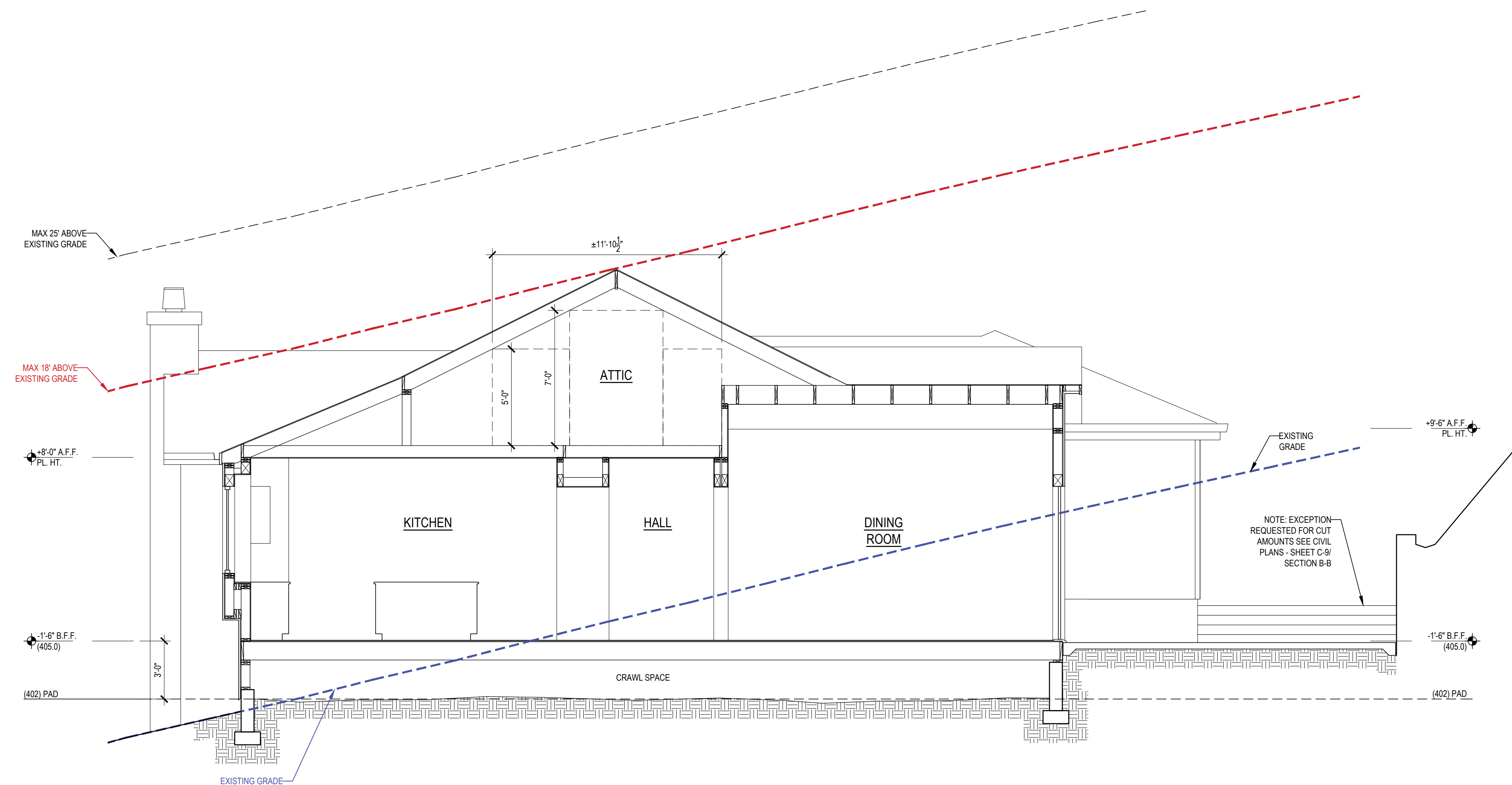
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

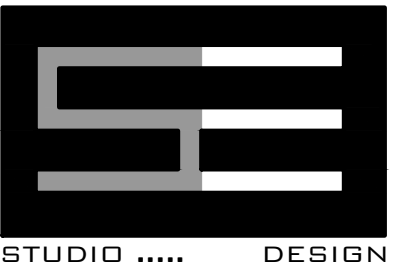
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- 17 JANUARY 2020  
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- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.1



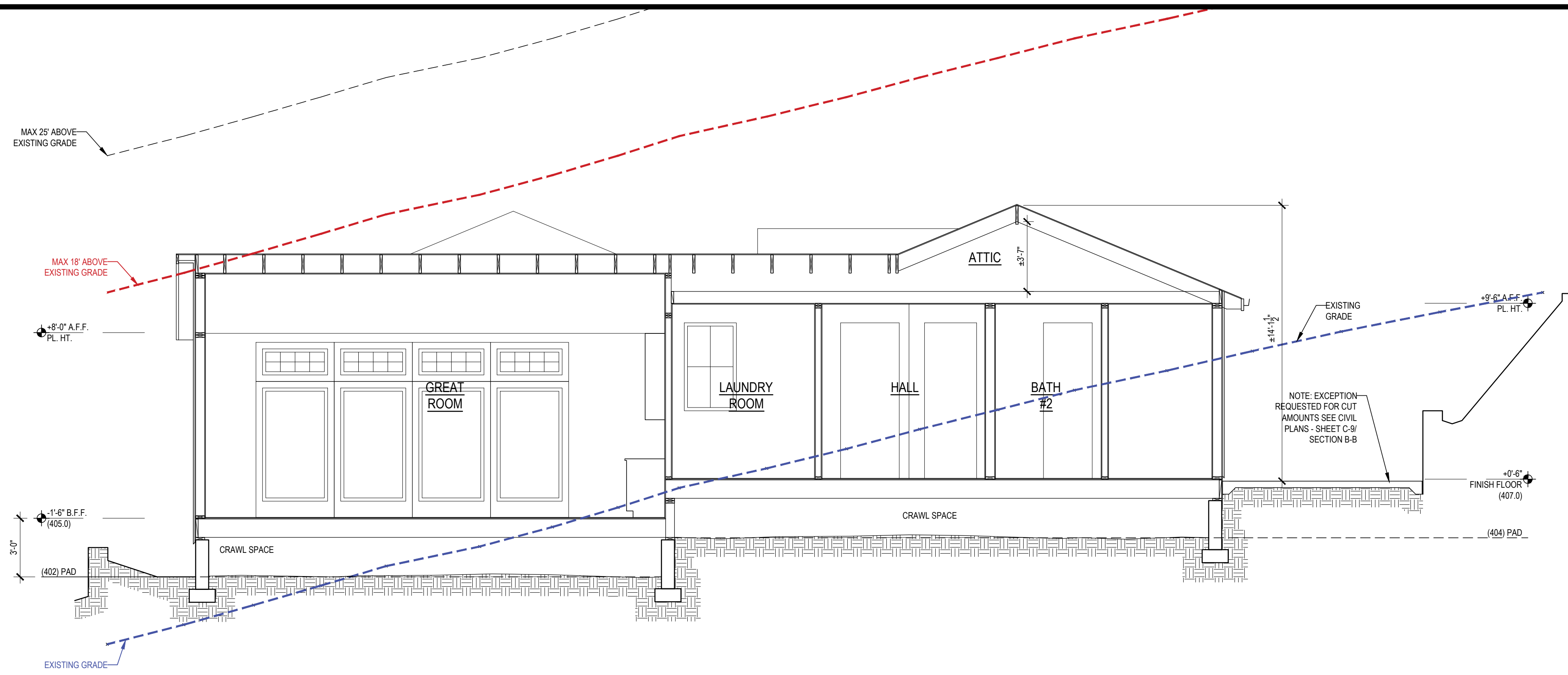


STUDIO ..... DESIGN

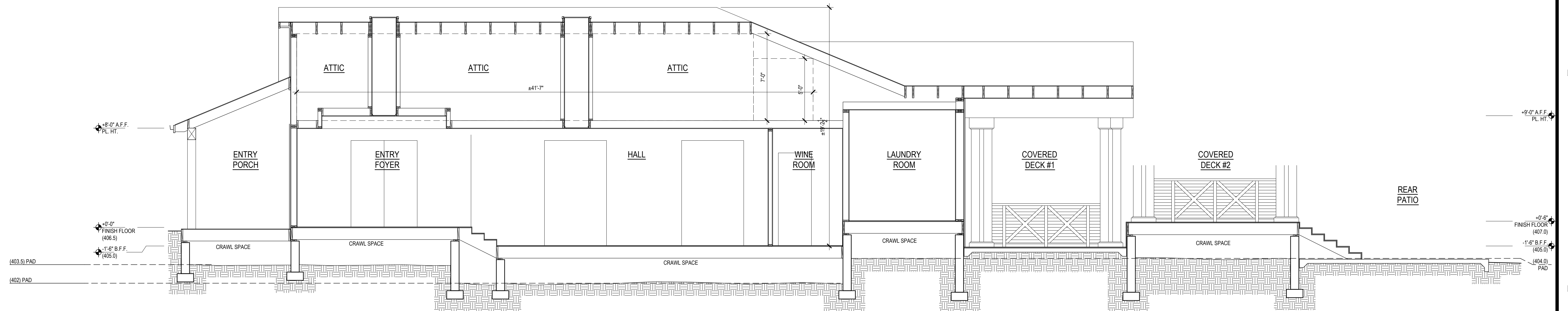
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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C - BUILDING SECTION



D - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

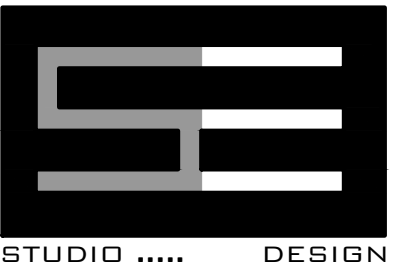
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- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
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PLANNING SUBMITTAL III
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PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.2



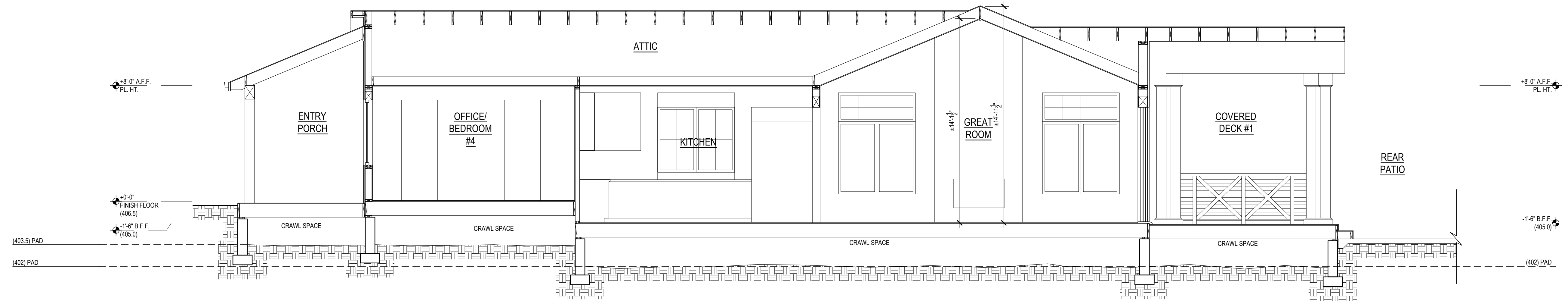


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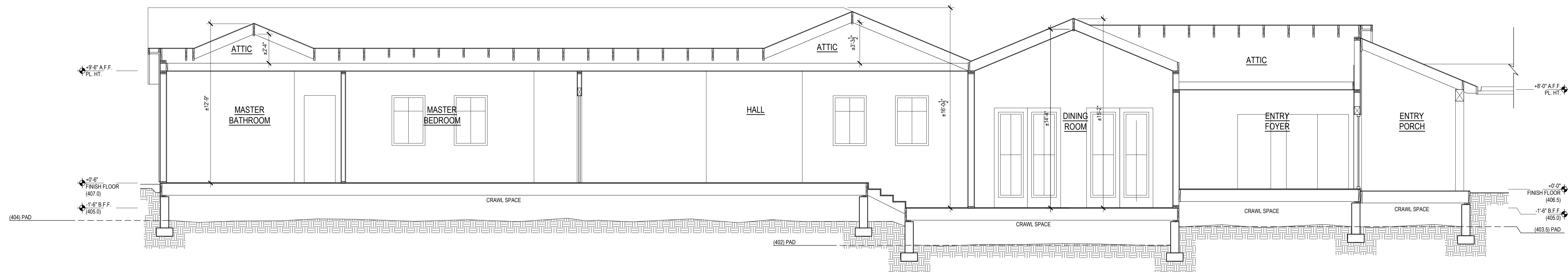
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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95032

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E - BUILDING SECTION



F - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
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- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/2" = 1'-0"

BUILDING SECTIONS

A4.3



# PROJECT ADDRESS

400 SURMONT DRIVE, LOS GATOS, CA 95032

A.P.N. : 527-20-003

PARCEL 1 AND 2

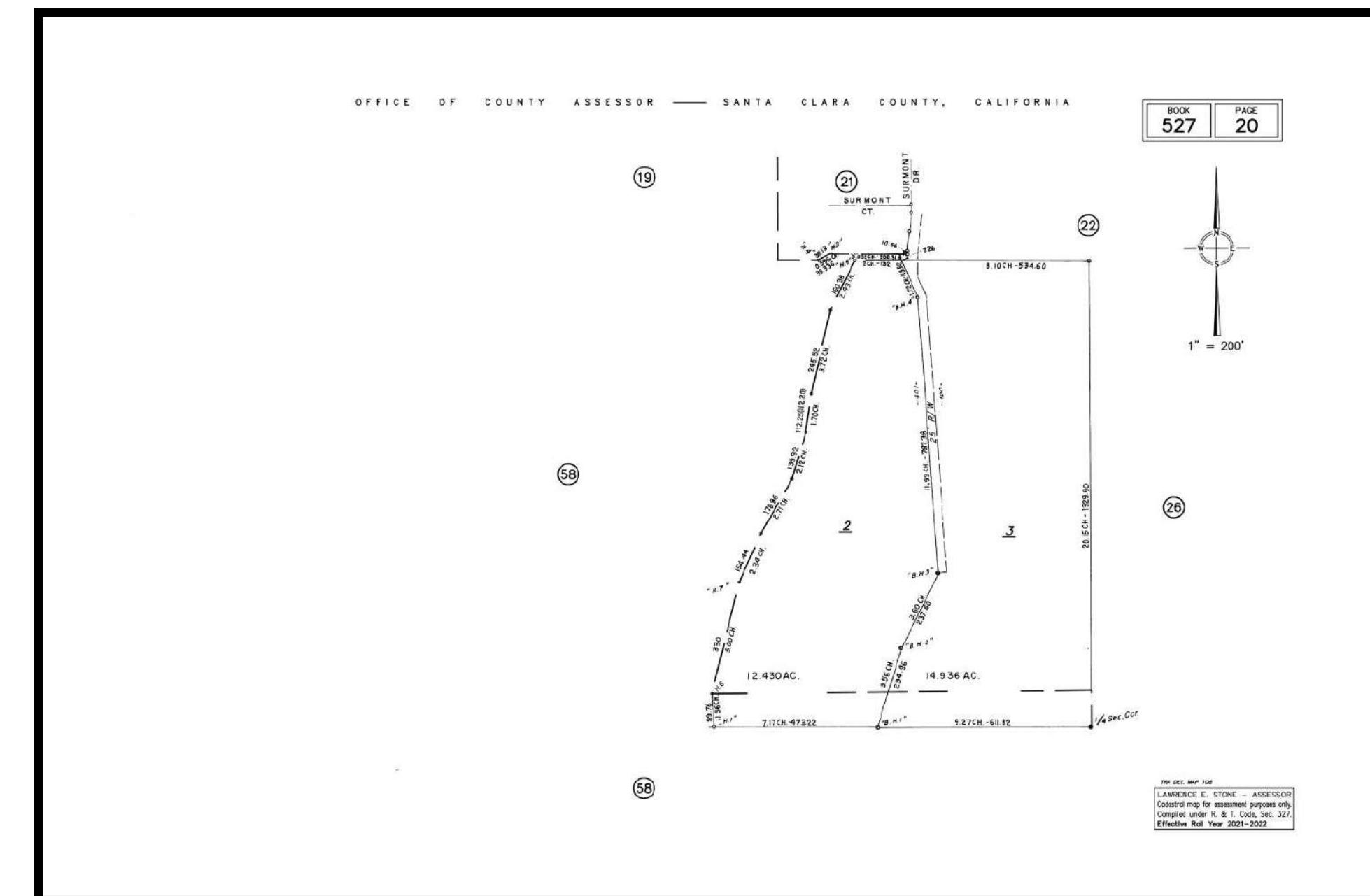
## INDEX

- L1 Cover Sheet
- L2 Frontage and Driveway Proposed Trees and Planting Parcel 1 and 2
- L3 Parcel 1 Proposed Trees and Planting
- L4 Parcel 2 Proposed Trees and Planting
- L5 Tree Table

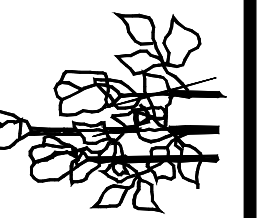
## SUMMARY/AMENDMENTS

- \*Proposed Planting Pocket Shown on L2, L3, and L4
- \*Tree Table, Showing Existing and Proposed Trees
- \*Trees Numbered Per Arborist Report
- \*Tree and Plant Species Adjacent to The Driveway Approach off of Surmont Are Native.
- \*All Plants and Trees Used Are Native of California
- \*Fire Defensible Space Zones.
- \*All Proposed Trees Are 30' Away From Residence
- \*All Proposed Trees and Shrubs Are Native.

## PARCEL MAP



ALYSON FLYNN  
LANDSCAPE ARCHITECT & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114  
Landscape Architect No. 3074



Driveway  
400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date Aug 06, 2021

Scale 1/8" = 1' 0"

Drawn AF

Sheet

L 1

of Sheets



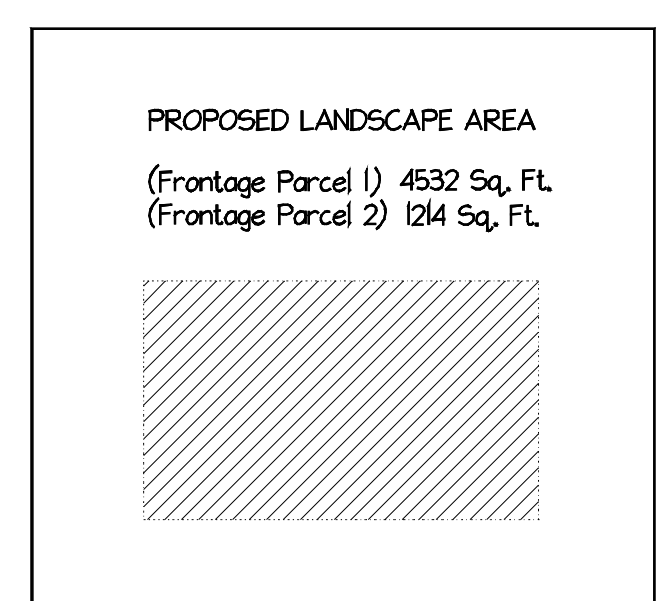
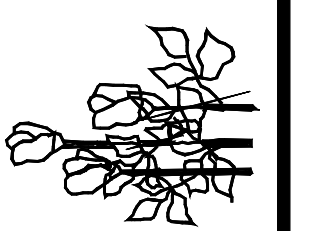
Revisions	By
March 19, 2022	CLL
July 20, 2022	CLL

This plan is for general construction only, it is not fully detailed or specified. It is the responsibility of the contractor and /or owner to select, resolve, and install all construction features, planting materials, irrigation systems, and/or areas drains and drainage pipe.

The Landscape Architect will not be observing construction of this project. The contractor/owner is solely responsible for the quality control and construction standards, and the placement of all landscape features for this project.

All construction shall meet or exceed the latest edition of codes adopted by the local governing agencies.

ALYSON FLYNN & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 274-4114



PROPOSED TREE & PLANT LIST

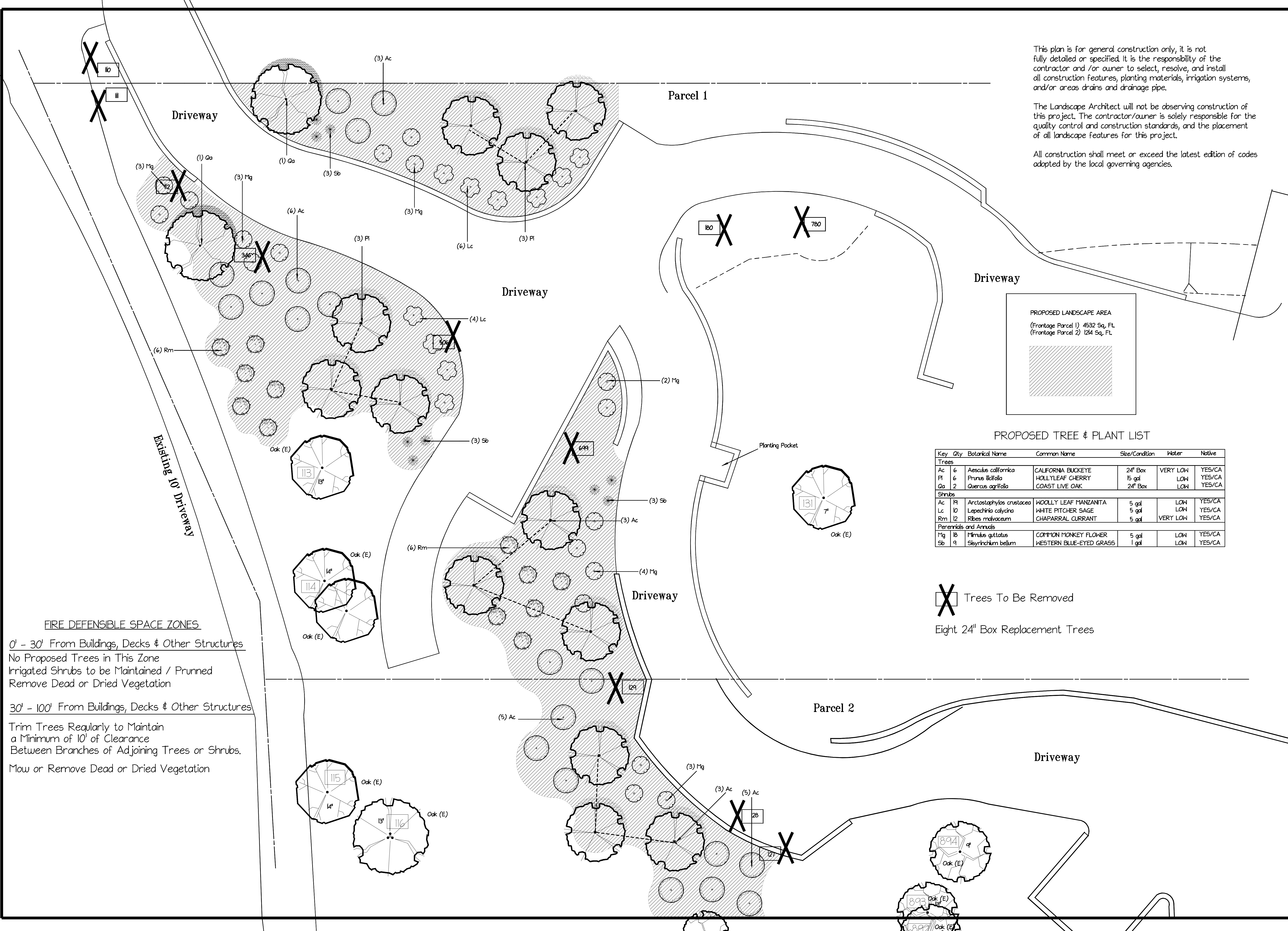
Key	Qty	Botanical Name	Common Name	Size/Condition	Water	Native
<b>Trees</b>						
Ac	6	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pf	6	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	15 gal	LOW	YES/CA
Ga	2	<i>Quercus agrifolia</i>	COAST LIVE OAK	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	19	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Lc	10	<i>Lepachia calycina</i>	WHITE FITCHER SAGE	5 gal	LOW	YES/CA
Rm	12	<i>Ribes malvaecium</i>	CHAPARRAL CURRANT	5 gal	VERY LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	18	<i>Minulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	9	<i>Sisyrinchium bellum</i>	WESTERN BLUE-EYED GRASS	1 gal	LOW	YES/CA

**X** Trees To Be Removed  
Eight 24" Box Replacement Trees

FIRE DEFENSIBLE SPACE ZONES

0' - 30' From Buildings, Decks & Other Structures  
No Proposed Trees in This Zone  
Irrigated Shrubs to be Maintained / Pruned  
Remove Dead or Dried Vegetation

30' - 100' From Buildings, Decks & Other Structures  
Trim Trees Regularly to Maintain a Minimum of 10' of Clearance Between Branches of Adjoining Trees or Shrubs.  
Mow or Remove Dead or Dried Vegetation



Driveway  
400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

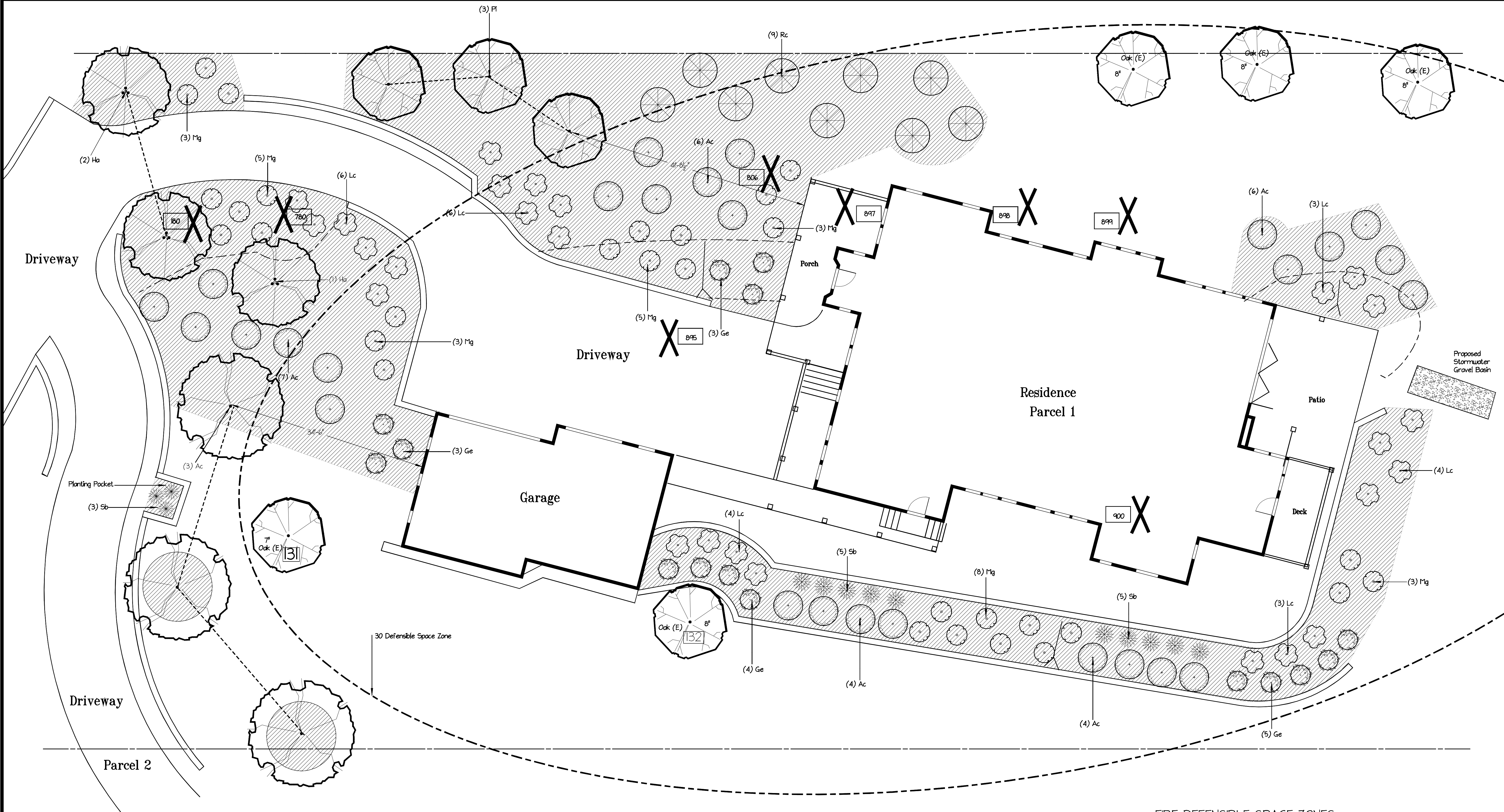
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Drawn	AF
Sheet	L 2
of	Sheets



Revisions	By
Aug 23, 2021	CLL
March 14, 2022	CLL
July 20, 2022	CLL

ALYSON FLYNN & ASSOCIATES  
 50 San Tropez Drive  
 Hollister, CA 95023  
 Phone (408) 274-4114

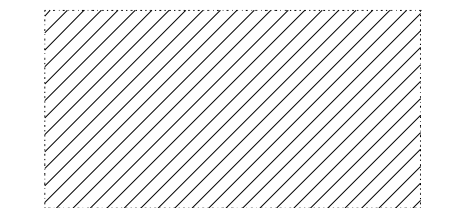
Parcel 1 Landscape Plan  
 400 Surmont Drive  
 Los Gatos, CA 95032  
 APN 527-20-003



PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pf	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	15	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
Lc	26	<i>Lepechinia calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Rc	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	18	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA

PROPOSED LANDSCAPE AREA  
 6495 Sq. Ft.



**FIRE DEFENSIBLE SPACE ZONES**  
 0' - 30' From Buildings, Decks & Other Structures  
 No Proposed Trees in This Zone  
 Irrigated Shrubs to be Maintained / Pruned  
 Remove Dead or Dried Vegetation  
 30' - 100' From Buildings, Decks & Other Structures  
 Trim Trees Regularly to Maintain  
 a Minimum of 10' of Clearance  
 Between Branches of Adjoining Trees or Shrubs.  
 Mow or Remove Dead or Dried Vegetation

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Four Trees to Be Removed Requiring Replacement #111, #130, #700, #896 - See Arborist Report  
 Plan Includes 9 Replacement Trees  
 X Trees To Be Removed







TREE LOCATIONS - ARBORIST REPORT

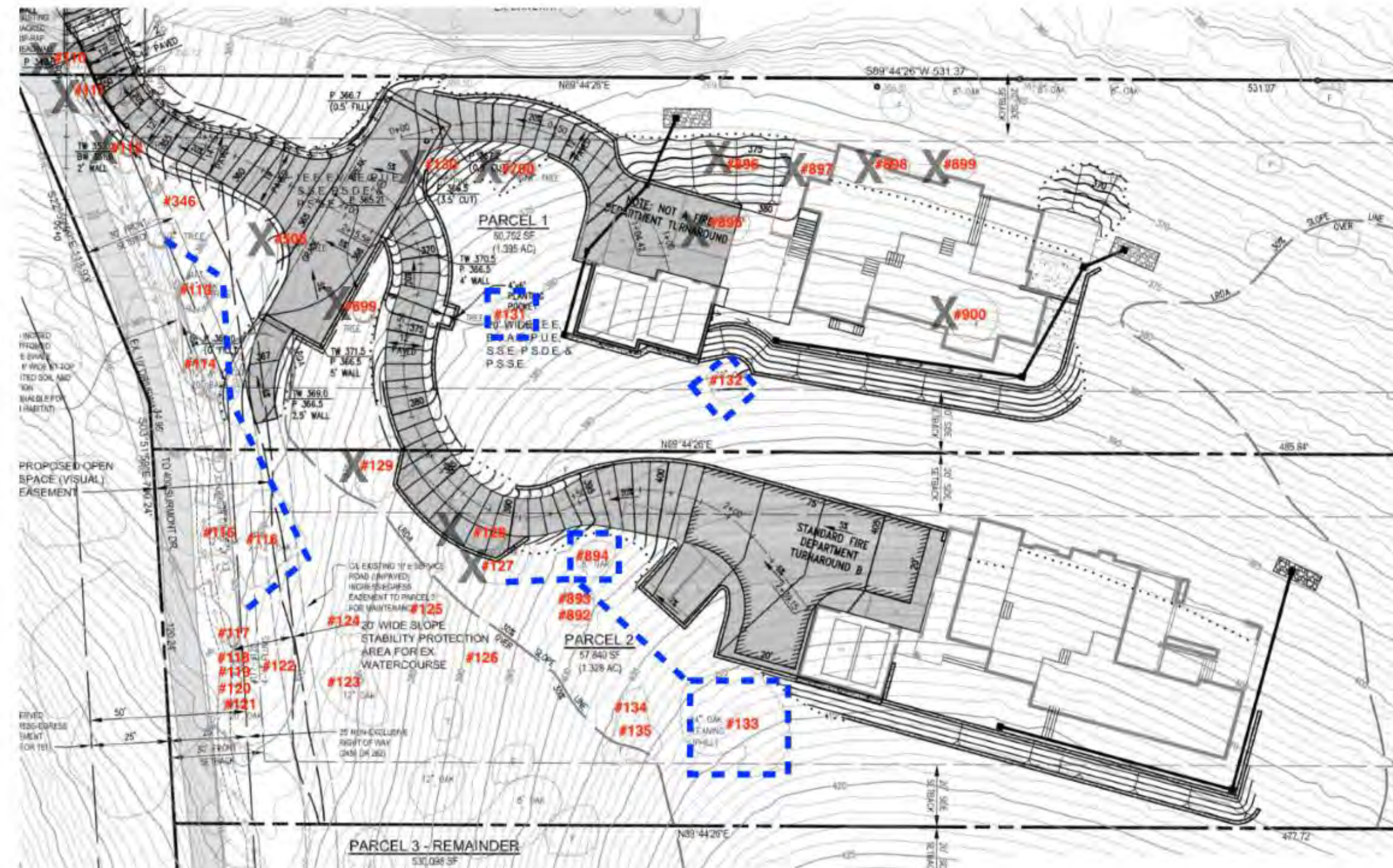
400 Surmont Drive, Los Gatos

Tree Inventory and Assessment

September 27, 2019  
Revised February 11, 2022

Appendix A: Site Plan and Tree Locations

Site plan not to scale. Trees with an 'X' next to them are highly impacted. The blue dash represents the tree protection fence.



Monarch Consulting Arborists LLC - P.O. Box 1010, Felton, CA 95018  
831.331.8982 - rick@monarcharborist.com

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X Trees To Be Removed

TREE TABLE

TREES TO BE REMOVED REQUIRING REPLACEMENTS

ID #	Tree Species	Canopy Size	Replacement Requirement
111	Coast Live Oak	15	All Require 3 - 24" Box
127	Coast Live Oak	30	
128	Coast Live Oak	30	
129	Coast Live Oak	25	
130	Stone Pine	15	
700	Coast Live Oak	10	
896	Coast Live Oak	10	

PROPOSED TREES

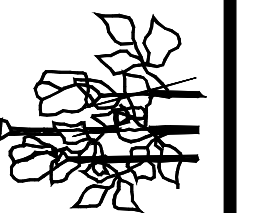
Key	Qty	Botanical Name	Common Name	Size/Condition	Water	Native
Trees (L2 Frontage)						
Ac	6	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pt	6	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	15 gal	LOW	YES/CA
Ga	2	<i>Quercus agrifolia</i>	COAST LIVE OAK	24" Box	LOW	YES/CA
Trees (L3 Parcel 1)						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pt	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
Trees (L4 Parcel 2)						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Pt	1	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA

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ALYSON FLYNN & ASSOCIATES  
50 San Tropez Drive  
Hollister, CA 95023  
Phone (408) 271-4114



EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Appendix B: Tree Inventory and Assessment Tables  
Table 2: Inventory Summary

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	110	8	10	15	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	111	6.5	15	15	Fair	Fair	High	\$750.00	Protected
apricot ( <i>Prunus armeniaca</i> )	112	7.7	15	15	Poor	Poor	High	\$710.00	Exempt
holly oak ( <i>Quercus ilex</i> )	113	13	30	30	Fair	Fair	Low	\$2,340.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	114	14.9	35	30	Fair	Fair	Low	\$2,700.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	115	14	35	35	Good	Good	Low	\$1,380.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	116	13.15	35	35	Fair	Fair	Low	\$2,090.00	Large Protected
wild plum ( <i>Prunus sp.</i> )	117	8	25	25	Good	Poor	Low	\$600.00	Exempt
wild plum ( <i>Prunus sp.</i> )	118	8	25	25	Good	Poor	Low	\$600.00	Exempt
wild plum ( <i>Prunus sp.</i> )	119	6	25	25	Good	Poor	Low	\$390.00	Exempt
wild plum ( <i>Prunus sp.</i> )	120	8.4, 3	25	25	Good	Poor	Low	\$770.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	121	18.5	35	35	Good	Good	Low	\$5,400.00	Protected
apricot ( <i>Prunus armeniaca</i> )	122	8.8	15	15	Fair	Poor	Low	\$1,700.00	Exempt

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EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
coast live oak ( <i>Quercus agrifolia</i> )	123	10.9	35	35	Fair	Fair	Low	\$1,820.00	Protected
holly oak ( <i>Quercus ilex</i> )	124	8.6	25	25	Fair	Fair	Low	\$1,420.00	Protected
holly oak ( <i>Quercus ilex</i> )	125	5	20	20	Good	Good	Low	\$620.00	Protected
holly oak ( <i>Quercus ilex</i> )	126	6.4, 4	20	20	Fair	Fair	Low	\$940.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	127	14	30	30	Good	Good	High	\$3,140.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	128	11	30	30	Good	Good	High	\$1,990.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	129	11.9	25	25	Good	Good	High	\$3,140.00	Protected
stone pine ( <i>Pinus pinea</i> )	130	9	25	15	Good	Poor	High	\$880.00	Protected
tyson ( <i>Heteromeles arbutifolia</i> )	131	7.7, 7	25	25	Fair	Fair	Moderate	\$2,150.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	132	8.5, 5	30	30	Fair	Fair	Moderate	\$1,120.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	133	27	55	55	Good	Good	Moderate	\$11,300.00	Large Protected
coast live oak ( <i>Quercus agrifolia</i> )	134	9.9	25	25	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	135	13	25	25	Good	Good	Low	\$2,730.00	Protected
wild plum ( <i>Prunus sp.</i> )	346	4.4, 4.4	10	8	Good	Poor	Low	\$930.00	Exempt

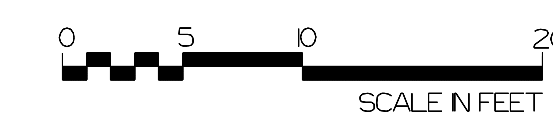
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18 of 30

EXISTING TREE INVENTORY

400 Surmont Drive, Los Gatos  
Tree Inventory and Assessment  
September 27, 2019  
Revised February 11, 2022

Tree Species	I.D. Number	Trunk Diameter (in.)	Height (ft.)	Canopy Diameter (ft.)	Condition	Suitability for Preservation	Expected Impact	Rounded Value	Status
apricot ( <i>Prunus armeniaca</i> )	506	3.3, 3,	10	8	Good	Poor	High	\$1,100.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	699	7.7	10	8	Poor	Poor	High	\$710.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	700	6	15	10	Fair	Fair	High	\$460.00	Protected
apricot ( <i>Prunus armeniaca</i> )	892	4.4, 4, 6	10	8	Dead	Poor	Low	\$0.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	893	13	25	15	Good	Good	Low	\$2,730.00	Protected
coast live oak ( <i>Quercus agrifolia</i> )	894	9	15	10	Good	Good	Moderate	\$1,380.00	Protected
apricot ( <i>Prunus armeniaca</i> )	895	6.4, 3	10	8	Poor	Poor	High	\$470.00	Exempt
coast live oak ( <i>Quercus agrifolia</i> )	896	6	15	10	Poor	Poor	High	\$230.00	Protected
apricot ( <i>Prunus armeniaca</i> )	897	4	10	8	Poor	Poor	High	\$150.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	898	10	10	8	Poor	Poor	High	\$710.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	899	8	10	8	Poor	Poor	High	\$470.00	Exempt
apricot ( <i>Prunus armeniaca</i> )	900	12	10	8	Poor	Poor	High	\$1,000.00	Exempt

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EXISTING TREE INVENTORY FROM ARBORIST REPORT

400 Surmont Drive  
Los Gatos, CA 95032  
APN 527-20-003

Date March 22, 2022

Scale 1/8" = 1' 0"

Drawn CLL

Sheet L 5

of Sheets



PROPOSED TREES + PLANT LIST



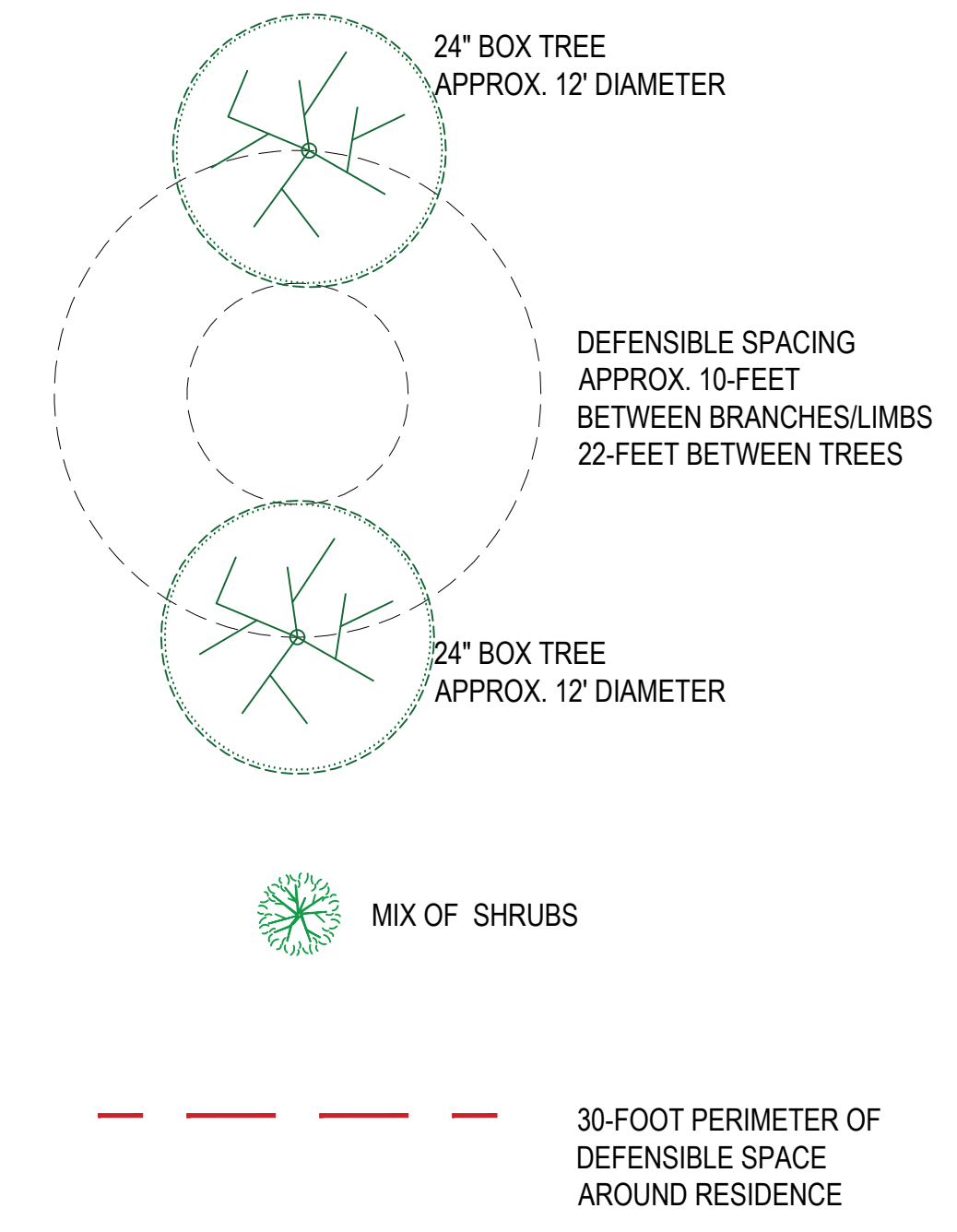
INTERIORS  
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NEW CONSTRUCTION  
638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032  
.....  
F 253.399.1125

Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

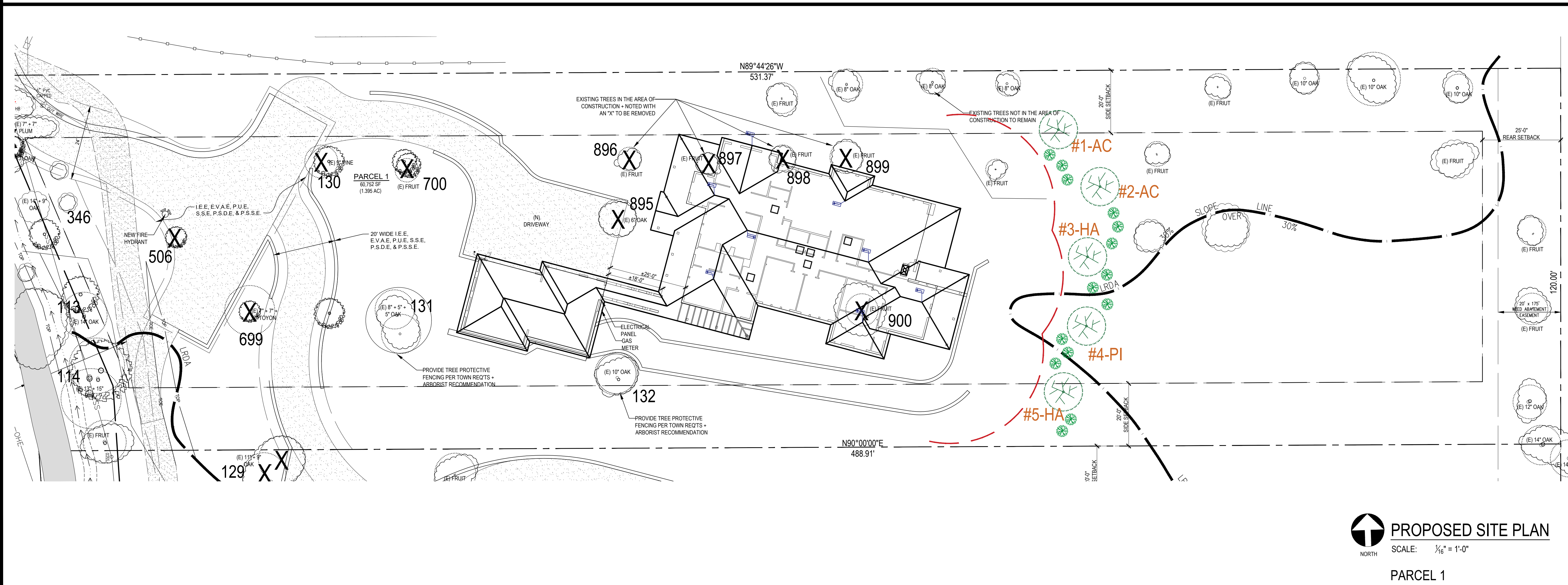
Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.

PROPOSED TREE & PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	15	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
Lc	26	<i>Lepechinia calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Rc	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA



SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 31 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PARCEL 1

SCALE: AS NOTED  
PROPOSED LANDSCAPE  
SCREENING



PROPOSED TREES + PLANT LIST



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

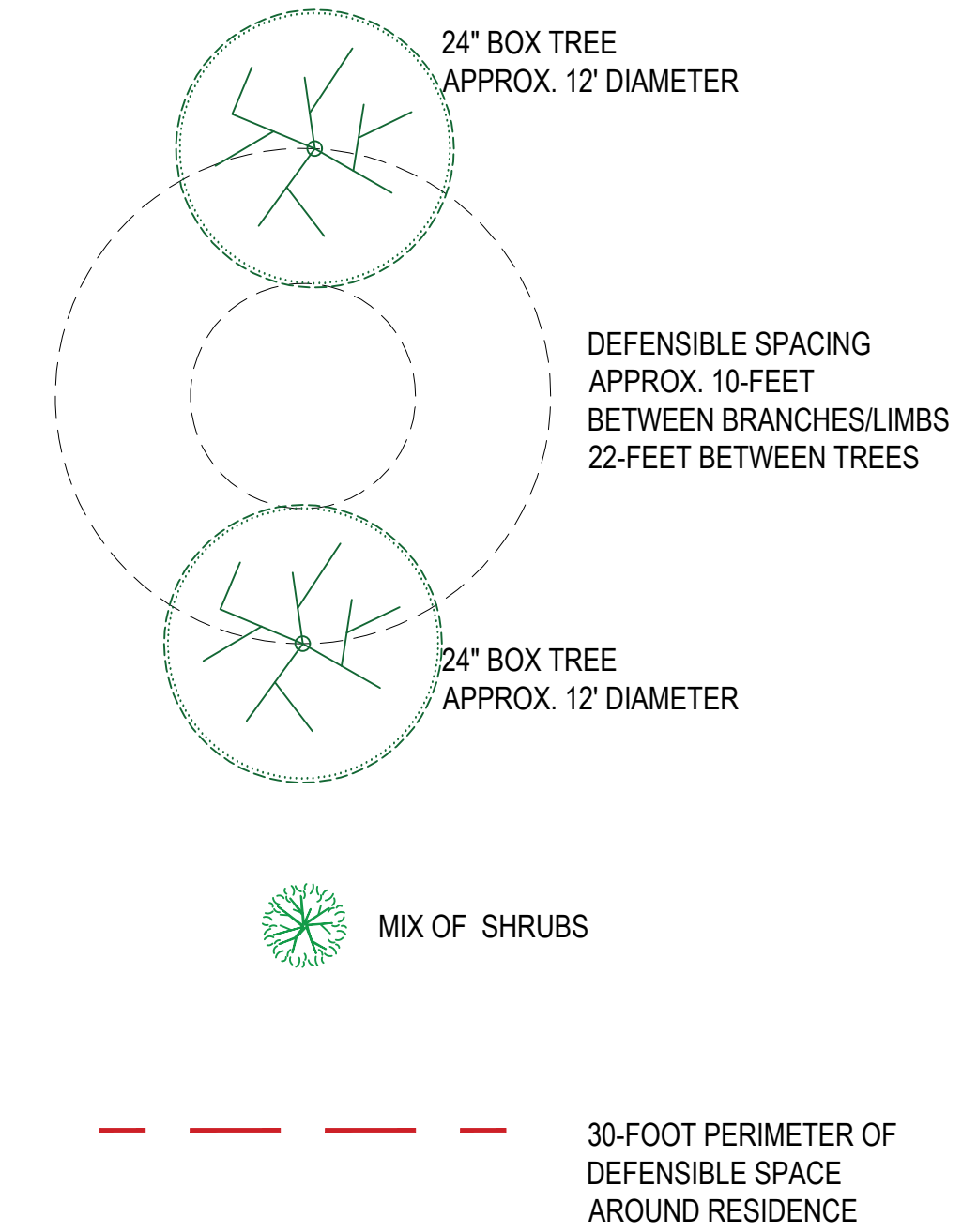
T 408.292.3252  
F 253.399.1125

PROPOSED TREE & PLANT LIST

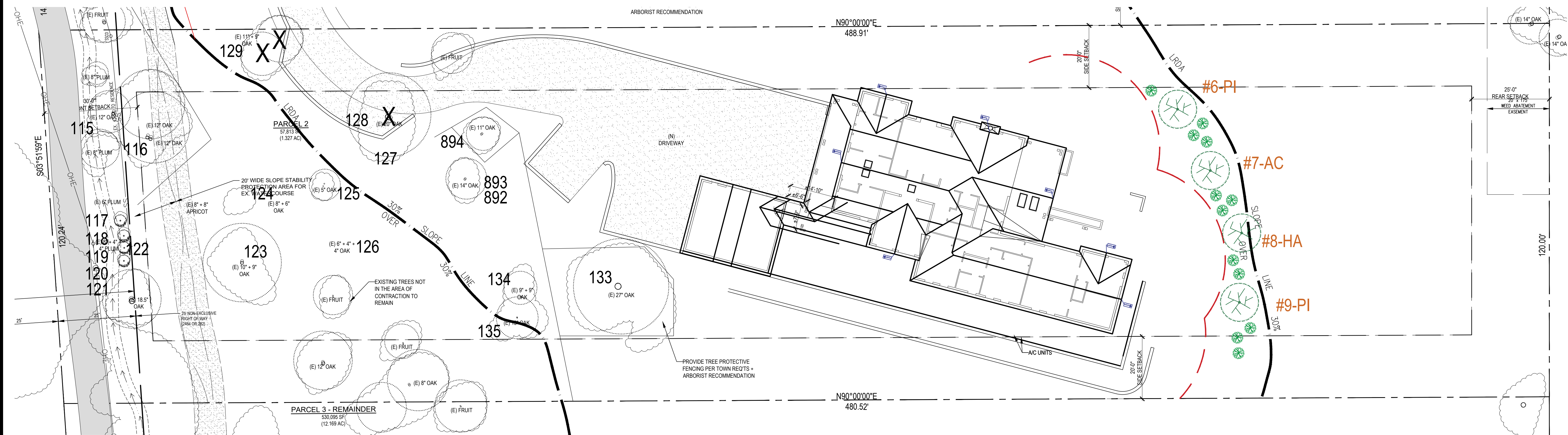
Key	Qty	Botanical Name	Common Name	Size	Water	Native
<b>Trees</b>						
Ac	3	<i>Aesculus californica</i>	CALIFORNIA BUCKEYE	24" Box	VERY LOW	YES/CA
Ha	3	<i>Heteromeles arbutifolia</i>	CHRISTMAS BERRY	24" Box	LOW	YES/CA
Pi	3	<i>Prunus ilicifolia</i>	HOLLYLEAF CHERRY	24" Box	LOW	YES/CA
<b>Shrubs</b>						
Ac	27	<i>Arctostaphylos crustacea</i>	WOOLLY LEAF MANZANITA	5 gal	LOW	YES/CA
Ge	15	<i>Garrya elliptica</i>	SILK TASSEL	5 gal	LOW	YES/CA
Lc	26	<i>Lepechinia calycina</i>	WHITE PITCHER SAGE	5 gal	LOW	YES/CA
Rc	9	<i>Rhamnus californica</i>	CALIFORNIA COFFEEBERRY	5 gal	LOW	YES/CA
<b>Perennials and Annuals</b>						
Mg	30	<i>Mimulus guttatus</i>	COMMON MONKEY FLOWER	5 gal	LOW	YES/CA
Sb	13	<i>Sisyrinchium bellum</i>	BLUE-EYED GRASS	1 gal	VERY LOW	YES/CA

Trees listed in the below Proposed Tree and Plant List will be planted a minimum of 22' apart to be in compliance with the Fire Defensible Space Zone requirements that mature trees must maintain a minimum of 10' clearance between branches and adjoining trees and shrubs. The trees will be planted staggered to provide the most screening possible while being in compliance with the Fire Defensible Space Zone separation requirements.

Shrubs from the same list will be planted amongst the trees maintaining the proper spacing to be in compliance with the Fire Defensible Space Zone.



SITE PLAN - LANDSCAPE/SCREENING



400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: AS NOTED

**PROPOSED SITE PLAN**

SCALE: 1/16" = 1'-0"

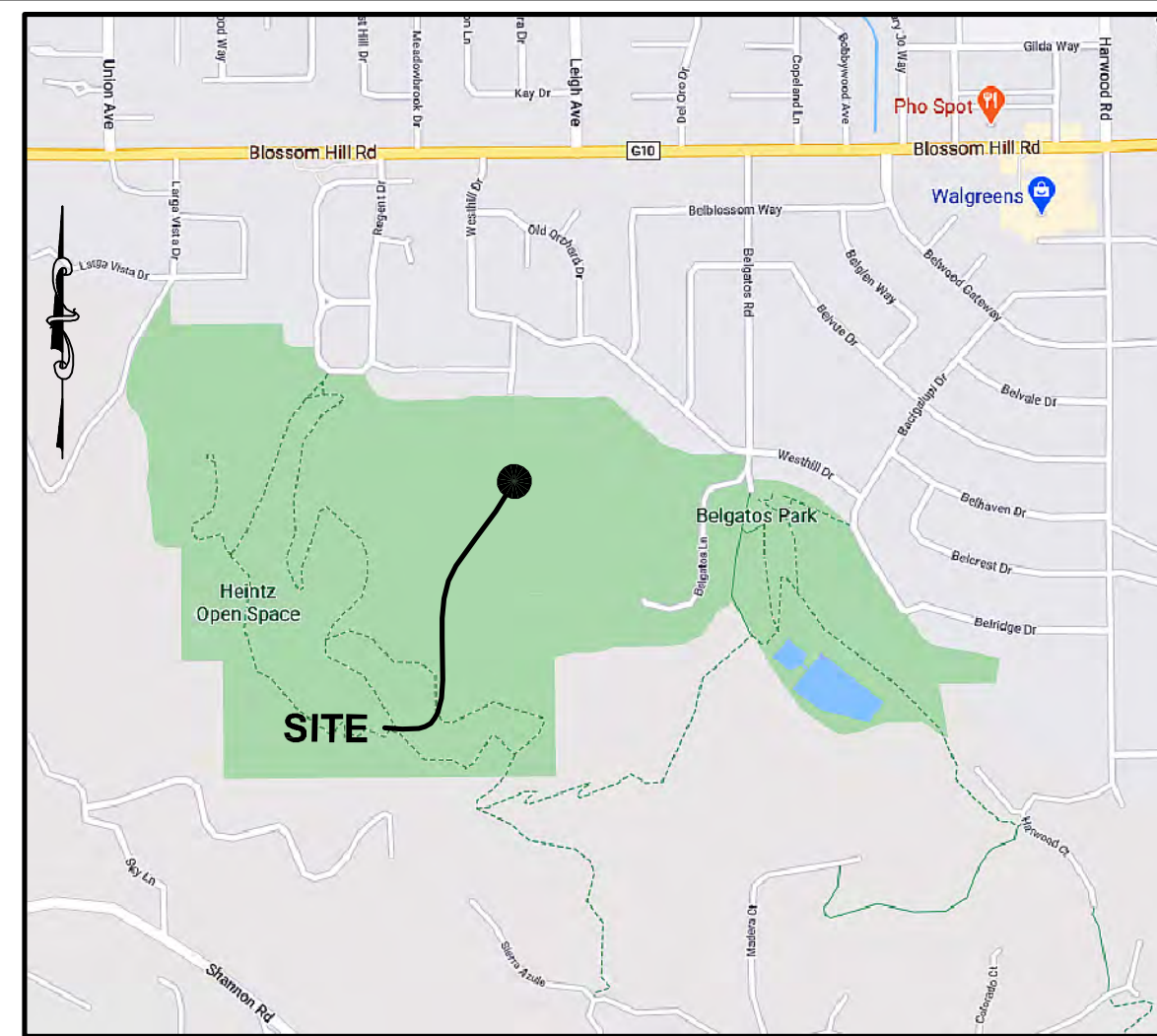
PARCEL 2

PROPOSED LANDSCAPE  
SCREENING



# PLANS FOR THE CONSTRUCTION OF TWO NEW HOMES

400 SURMONT DRIVE  
LOS GATOS, CALIFORNIA  
ARCHITECTURE AND SITE APPLICATION



VICINITY MAP  
N.T.S.

## TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE FIELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408)399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHALL INCLUDE:
  - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
  - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPUCANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO ME GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY RO EITHER PUBLIC PROPERTY OR PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABUSHED BY THE AIR DUALITY MANAGEMENT DISTRICT FOR AIR BORN PARTICULATES.
- THE CONTRACTOR SHALL WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE OUAUIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS: a.) RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY ADN APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION) b.) TOE AND TOP OF FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPUCANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THE DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPUCANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.  
SOILS ENGINEER: EARTHSYSTEMS PACIFIC, BILL ZEHFBACH, REFERENCE REPORT NUMBER SH-11172SA, DATED MARCH 10, 2010  
LETTER NUMBER 303158, DATED MAY 24, 2019, SHALL BE THOROUGHLY COMPLIED WITH.  
BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ONSITE TO VERIFY THAT THE ACTUAL CONDITONS ARE AS ANTICIPATED IN THE DESIGN--LEVEL CEO TECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMIAENDATIONS AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVNCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OR ANY REQUIRED CHANGES PRIOR TO PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION ADN TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW/ AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.

- ALL PRIVATE AN PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED. THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE ANO NO CLOSURE SHALL BE GRANTED WITHOUT EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS, AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- APPLICANT: SANDRA ANDERSON PHONE: (408) 559-8850
- GENERAL CONTRACTOR: THE BUILDING WORKS PHONE: (408) 391-8130
- GRADING CONTRACTOR: TBD PHONE: \_\_\_\_\_
- a) CUT: 2,432 CY EXPORT: 1833 CY (SEE SHEETS C-8 & C-9)  
b) FILL: 599 CY IMPORT: 0 CY
- WATER SHALL BE AVAILABLE ON SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBUC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPUCAILE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENT AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE MEIHOE AD APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBIUTY OF THE CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO NE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OF PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR STREET WILL NOT BE ALLOWEDUNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENCE
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STOR1A WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLAN (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWEDONTO TOWN STREETS OR INTO THE PUBUC STORM DRAIN SYSTEM WITHOUT TREATME11.I BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBIUTY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AN ADQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

## LEGEND

DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---	AC BERM	---	---
ADJACENT PROPERTY LINE	---	---	TOP OF BANK	---	---
STREET CENTER LINE	---	---	TOE OF BANK	---	---
BUILDING SETBACK LINES	---	---	WIRE FENCE	---	---
EASEMENT	---	---	CHAIN LINK FENCE	---	---
DIRT ROAD	---	---	WOOD FENCE	---	---
ROAD/PAVEMENT	---	---	SANITARY SEWER LINE	---	---
CURB	---	---	PERFORATED SEPTIC LINE	---	---
CURB AND GUTTER	---	---	ELECTRIC LINE	---	---
CONCRETE	---	---	GAS LINE	---	---
CONTOUR MAJOR	530	530	STORM DRAIN LINE	---	---
CONTOUR MINOR	534	534	WATER LINE	---	---
LIMIT OF GRADING	---	---	OVERHEAD WIRE	---	---
BLOCK RETAINING WALL	---	---	SWALE/FLOWLINE	---	---
ROCK RETAINING WALL	---	---	PROP. GRASSY SWALE	---	---
DRIVEWAY	---	---	LEAST RESTRICTIVE DEVELOPMENT AREA	---	---
BUILDING	---	---			
BUILDING 2nd FLOOR	---	---			

## ABBREVIATIONS

AB	- AGGREGATE BASE	JP	- JOINT POLE
AC	- ASPHALTIC CONCRETE	MAX	- MAXIMUM
AD	- AREA DRAIN	MIN	- MINIMUM
APT	- ANGLE POINT	MPVC	- MIDPOINT OF VERTICAL CURVE
AS	- AGGREGATE SUBBASE	MH	- MANHOLE
BC	- BEGINNING OF CURVE	N	- NORTH
BFP	- BACK FLOW PREVENTOR	NO	- NUMBER
BOW	- BOTTOM OF WALL	OH	- OVERHANG
BVC	- BEGIN VERTICAL CURVE	OHE	- OVERHEAD ELECTRIC
BW	- BACK OF WALK	NTS	- NOT TO SCALE
C	- CONCRETE	P	- PAVEMENT ELEVATION
COL	- COLUMN	PCC	- PORTLAND CEMENT CONCRETE
CY	- CUBIC YARD	PIV	- POST INDICATOR VALVE
CB	- CATCH BASIN	PL	- PROPERTY LINE
C&G	- CURB AND GUTTER	PMH	- POWER MANHOLE
CI	- CURB INLET	PP	- POWER POLE
CIP	- CAST IRON PIPE	PVC	- POLYVINYL CHLORIDE PIPE
CL	- CENTER LINE OR CLASS	R	- RADIUS
CLF	- CHAIN LINK FENCE	RC	- RELATIVE COMPACTION
CO	- CLEANOUT	RCP	- REINFORCED CONCRETE PIPE
CMP	- CORRUGATED METAL PIPE	R/W	- RIGHT OF WAY
CONC	- CONCRETE	SW	- SIDEWALK
CONC	- CONSTRUCTION OR CONSTRUCT	S	- SLOPE OR SOUTH
CPAU	- CITY OF PALO ALTO UTILITIES	SB	- SEDIMENT BASIN
D	- DOOR	SD	- STORM DRAIN
DI	- DROP INLET	SDDI	- STORM DRAIN DROP INLET
DIP	- DUCTILE IRON PIPE	SF	- SILT FENCE
DOM	- DOMESTIC	S.L.D.	- SEE LANDSCAPE DRAWINGS
DW	- DOMESTIC WATER	SMH	- SIGNAL MANHOLE
DWG	- DRAWING	SS	- SANITARY SEWER
E	- EAST	STA	- STATION
EC	- END OF CURVE	STD	- STANDARD
EP	- EDGE OF PAVEMENT	TYP	- TYPICAL
ER	- END OF RETURN	TC	- TOP OF CURB
EVC	- END VERTICAL CURVE	TPZ	- TREE PROTECTION ZONE
ELEV	- ELEVATION	TS	- TOP OF SLAB
EX	- EXISTING	TOW	- TOP OF WALL
EX, EXIST	- EXISTING	U/G	- UNDERGROUND
FDC	- FIRE DEPARTMENT CONNECTION	UN	- UNLESS OTHERWISE NOTED
FF	- FACE OF CURB	VC	- VERTICAL CURVE
FG	- FINISHED FLOOR	W	- WEST
FH	- FINISHED GRADE	WELL T	- TREE WELL
FL	- FIRE HYDRANT	WGW	- WATER, GAS, WASTEWATER
FOUND	- FOUNDATION	WM	- WATER METER
FS	- FINISHED SURFACE	WV	- WATER VALVE
FT	- FOOT	WMF	- WELDED WIRE FABRIC
FW	- FIRE WATER	W/	- WITH
GB	- GRADE BREAK		
GV	- GATE VALVE		
HC	- HANDICAP		
HP	- HIGH POINT		
INV	- INVERT ELEVATION		

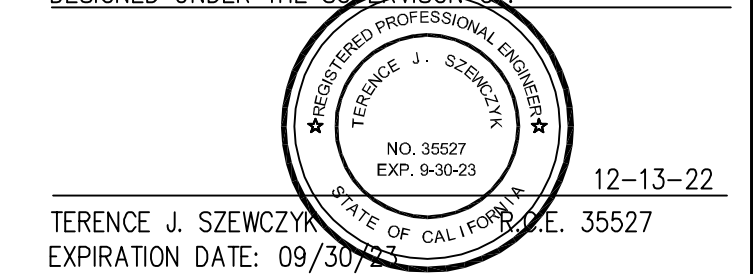
## BENCHMARK

ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON DAVID88

## SHEET INDEX

C-0	COVER SHEET
C-1	TENTATIVE MAP (PREVIOUSLY APPROVED)
C-2	ACCESS ROAD PLAN AND PROFILE
C-3	UTILITY PLAN
C-4	(NOT INCLUDED IN THIS SUBMISSION)
C-5	ACCESS ROAD PLAN AND PROFILE
C-6	EROSION CONTROL PLAN
C-7	EROSION CONTROL AND CONSTRUCTION DETAILS
C-8	PARCEL 1 SITE PLAN
C-9	PARCEL 2 SITE PLAN

DESIGNED UNDER THE SUPERVISION OF:



TERENCE J. SZCZYTY  
EXPIRATION DATE: 09/30/23

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 2  
GRADING AND SITE  
IMPROVEMENT

COVER SHEET  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

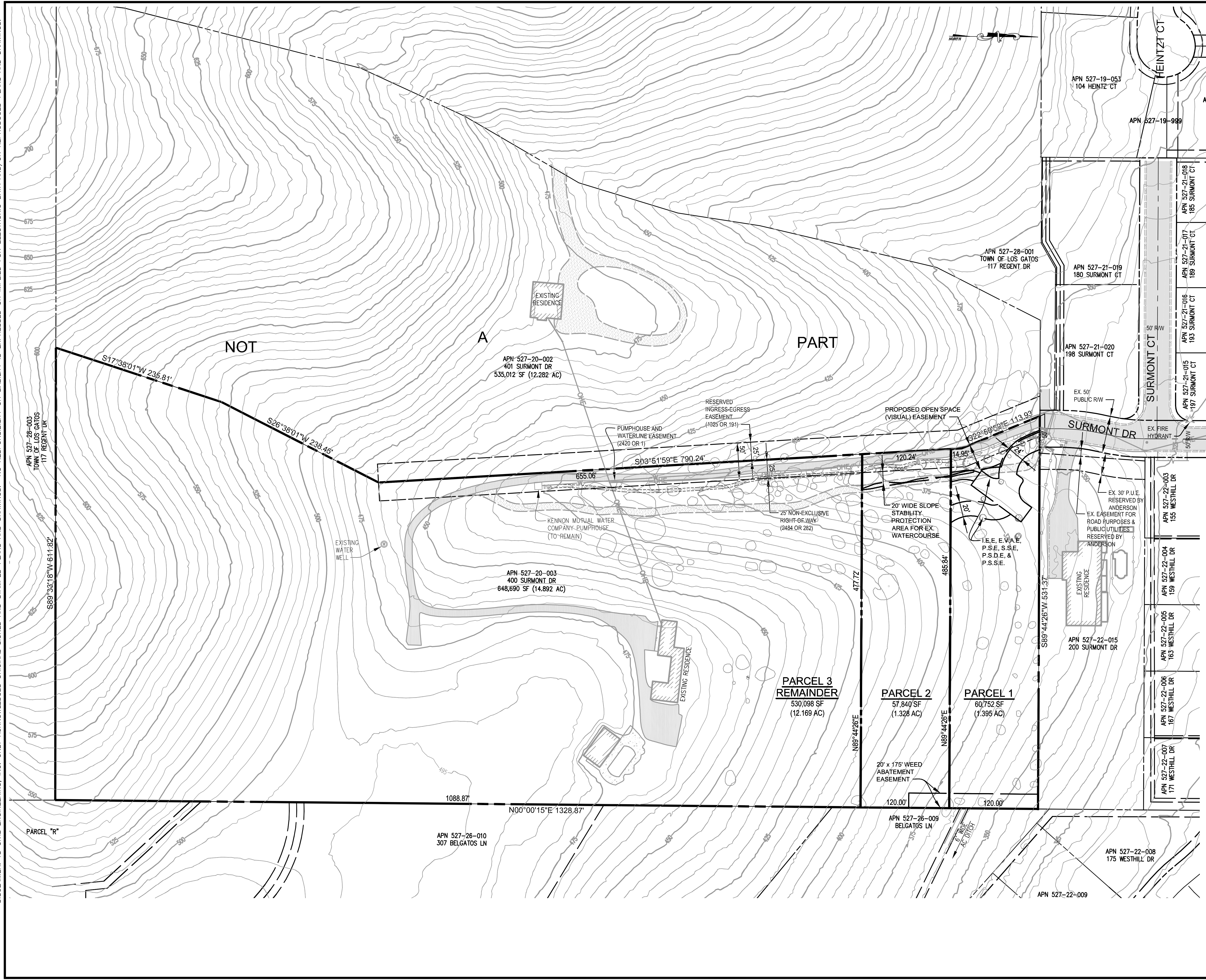
NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 12-13-22  
SCALE: AS NOTED  
DRAWN BY: DKH  
SURVEYED BY: JMS  
PROJ ENGR: TJS  
CHECK BY: TJS

SHEET NO.  
**C-0**  
OF 9 SHEETS  
JOB NO.  
16-233



DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.



**TENTATIVE MAP NOTES**

TRACT NAME: 400 SURMONT DRIVE  
MINOR SUBDIVISION  
2 PARCELS AND DESIGNATED  
REMAINDER

OWNER: SANDRA K. ANDERSON, TRUSTEE  
400 SURMONT DRIVE  
LOS GATOS, CA 85032  
C/O BOB HUGHES (408) 559-8850

CIVIL ENGINEER: TERENCE J. SZEWCZYK  
TS/CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
(408) 452-9300 EXT 220

APN: 527-20-003

GROSS AREA: 648,690 SF (14.892 ACRES)

ZONING: HR-2.5

AVERAGE SLOPE: 27.3%

LOT YIELD: 14.89 AC / 2.72 AC/DU  
= 5.5 DU'S OR LOTS

PROPOSED LOTS: 2 + DESIGNATED REMAINDER

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

WATER SUPPLY: SAN JOSE WATER COMPANY

SEWAGE DISPOSAL: WEST VALLEY  
SANITATION DISTRICT

GAS & ELECTRIC: PG&E

**LEGEND**

- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- BUILDING SETBACK LINES
- EX. EASEMENT
- EX. ROAD
- EX. CONTOUR MAJOR
- EX. CONTOUR MINOR
- EX. DRIVEWAY
- PROP. PROPERTY LINE
- PROP. CONTOUR MAJOR
- PROP. CONTOUR MINOR
- PROP. DRIVEWAY
- PROP. CONCRETE
- SINGLE FAMILY RESIDENTIAL USE

**AREA CHART**

PARCEL 1	60,752 SF (1.395 AC)
PARCEL 2	57,840 SF (1.328 AC)
PARCEL 3 (REMAINDER)	530,098 SF (12.169 AC)
<b>TOTAL</b>	<b>648,690 SF (14.892 AC)</b>

TS CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

**TS** CIVIL ENGINEERING

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 2  
GRADING AND SITE  
IMPROVEMENT

**TENTATIVE MAP  
(PREVIOUSLY APPROVED)**  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 12-13-22

SCALE: 1"=60'

DRAWN BY: DKH

SURVEYED BY: TJS

PROJ ENGR: TJS

CHECK BY: TJS

SHEET NO.

**C-1**  
OF 9 SHEETS

JOB NO.  
16-233

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK  
REGISTERED PROFESSIONAL ENGINEER  
NO. 35527  
EXP. 9-30-23

12-13-22

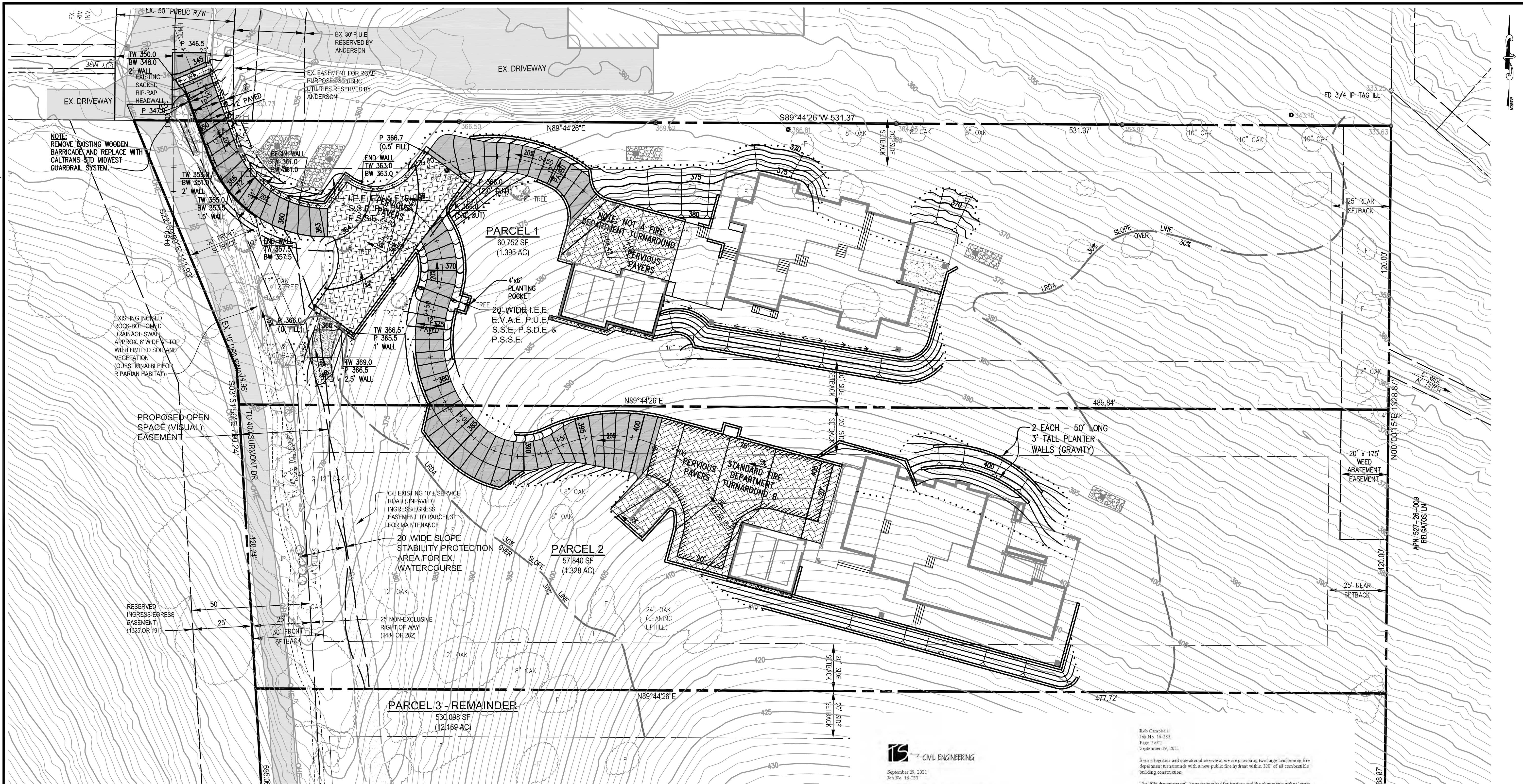
TERENCE J. SZEWCZYK  
STATE OF CALIFORNIA  
EXPIRATION DATE: 09/30/23

GRAPHIC SCALE  
0 30 60 120  
(IN FEET)  
1" = 60'

12/13/2022 11:59am - N:\2016 JOBS\16-233\DWG\16-233\_P2.C1 TENTATIVE MAP.DWG - C1



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### IMPERVIOUS COVERAGE TABULATION

- 400 SURMONT DRIVE - 3 PROJECTS  
 I. MINOR SUBDIVISION  
 II. PARCEL 1 - RESIDENCE  
 III. PARCEL 2 - RESIDENCE

I. MINOR SUBDIVISION	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
A) SHARED ACCESS ROAD	948	0.95	901
B) FIRE DEPARTMENT TURNAROUND*	2295*	0.10	230
SUBTOTAL	3,243	-	1,131

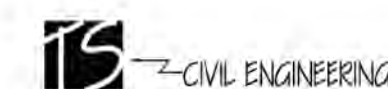
\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS

II. PARCEL 1	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
C) DRIVEWAY	795	0.95	756
D) GARAGE TURNAROUND*	1269*	0.10	127
E) GARAGE	995	1.00	995
F) COVERED PORCH/DECK	1003	1.00	1003
G) RESIDENCE	3674	1.00	3674
H) PARCEL 2 DRIVEWAY WITHIN PARCEL 1	934	0.95	887
SUBTOTAL	8670	-	7441

\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS

III. PARCEL 2	AREA (SF)	IMPERVIOUS FACTOR	NET AREA (SF)
I) TURNOUT	320	0.95	304
J) DRIVEWAY	1435	0.95	1363
K) FIRE DEPARTMENT TURNAROUND*	3730*	0.10	373
L) GARAGE	673	1.00	673
M) COVERED PORCH (FRONT)	426	1.00	426
N) RESIDENCE	3405	1.00	3405
O) COVERED DECK (REAR)	464	1.00	464
SUBTOTAL	10,513	-	7068

\*PERVIOUS PAVEMENTS TO BE UTILIZED AT FLATTER PAVEMENT AREAS, ONLY 0.10 IMPERVIOUS



September 29, 2021  
 Job No. 16-233

Robert L. Campbell, PE - Fire Protection Engineer  
 Santa Clara County Fire Department  
 14700 Winchester Blvd  
 Los Gatos, CA 95033

Subject: Justification For 20% Sloped Driveways  
 Architecture & Site Application for Grading 2-21-20-4  
 400 Surmont Drive, Los Gatos

Drawn By: Campbell, R.

Pursuant to the Staff Technical Review comments on the Architecture & Site Approved Application (2-21-20-4), we are submitting the following additional justification for the access road and individual lot driveways for slopes over 15% and designs at a maximum of 20%.

A. The Town Hillside Specific Plan (HSP) is the paramount authority as it is both legislative zoning and general plan document adopted by the Town Council and the Santa Clara County Board of Supervisors. The HSP provides for 20% sloped driveways to maximize grading and the protection of roadways through shared use driveways. The specific terms of this site development area is under 20% slope, which is an unofficial standard adopted by the Town in 2014 per the Hillside Standards & Design Ordinance (HSDSD). (Note that the Town has never properly updated these 2014 conditions with the partner agency, Santa Clara County, as such the authority here is advisory. If granted, the use of 19% driveways versus 20% would have the following air impacts:

- The current 450 contained driveway length for 20% would increase to 373 at 15% resulting in an additional impervious area of 1716 SF (plus 39%) and increase eastwork volume to 520 CY of grading (plus 30%).

B. The County Fire Department Specification for the Driveway Requirements, Section III (outdated) allow for driveways up to 20% provided they are no longer than 300'. We have taken our previous "Fire service versus on-site parking" exhibit and light ghted it in green and numbered each issue to restate the previous justification. Furthermore,

1776 TECHNOLOGY DRIVE, SAN JOSE, CA 95131  
 408-412-8822 FAX: 408-551-7550  
 WWW.TSCVIL.COM

Sub: Campbell  
 Job No: 16-233  
 Page 2 of 2  
 September 29, 2021

From a location and operational overview, we are providing two large conforming fire department turnarounds with a new public fire hydrant within 310' of all combustible loading courtyards.

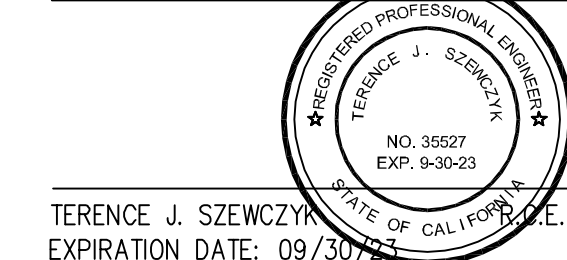
The 20% driveways will be slope marked for traction and the alignment will be larger than minimum inside turn radii of 40' minimum. The three driveways at 20% are 165', 65' & 200' respectively which are easily less than 300' and represent moderate climb of 33', 13' & 40' in elevation, respectively. The point is that on this low fuel (grasses and front lawn) hillside of moderate slope (25%), we are not creating a dangerously remote and elevated fire risk for these structures adjacent residences, or firefighters. The Parcel 2 5m deep turnaround provides an excellent staging location for both residences. Finally, both residences will be equipped with full fire sprinklers inside the residences which exceed the current standards of which every other existing residence within the immediate neighborhood.

Should you require additional information please contact me by email: [terence@tscivil.com](mailto:terence@tscivil.com) or cell phone at (408) 916-2899

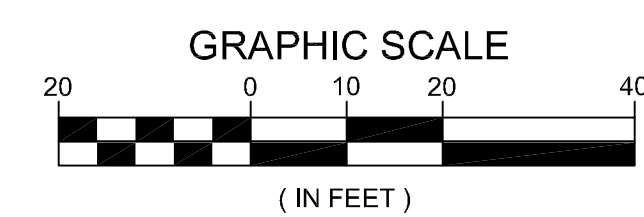
*Terence J. Szczygiel*

TS CIVIL ENGINEERING, INC.  
 EXPIRES: 9-30-23  
 Principal Engineer

DESIGNED UNDER THE SUPERVISION OF:



TERENCE J. SZCZYGIEL, P.E. 12-13-22  
 EXPIRATION DATE: 09/30/23



LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE  
 IMPROVEMENT

TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110

FAX: 408.837.7550  
 PH: 408.452.9300

LOT LAYOUT PLAN AND  
 ACCESS ROAD PLAN AND PROFILE

400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

APN 527-26-009  
 BELGATOS LN

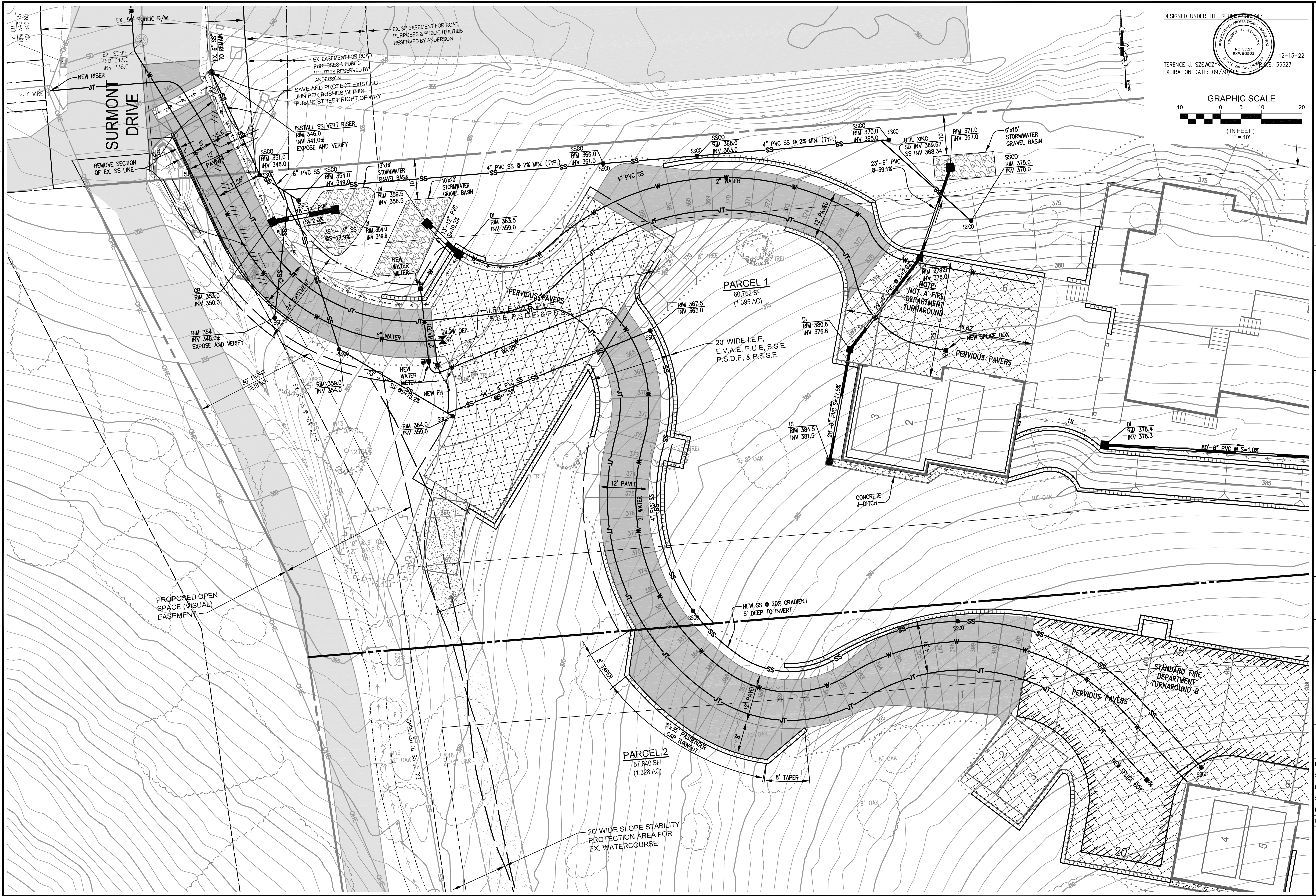
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 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.

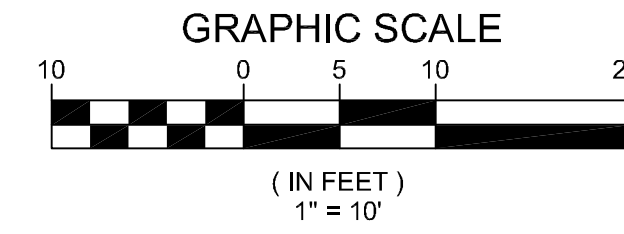
**C-2**  
 OF 9 SHEETS  
 JOB NO.  
 16-233



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 REGISTERED PROFESSIONAL ENGINEER  
 TERENCE J. SZEWCZYK  
 NO. 35527  
 EXP. 9-30-22  
 STATE OF CALIFORNIA  
 EXPIRATION DATE: 09/30/2022  
 12-13-22  
 35527



LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE  
 IMPROVEMENT

UTILITY PLAN  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

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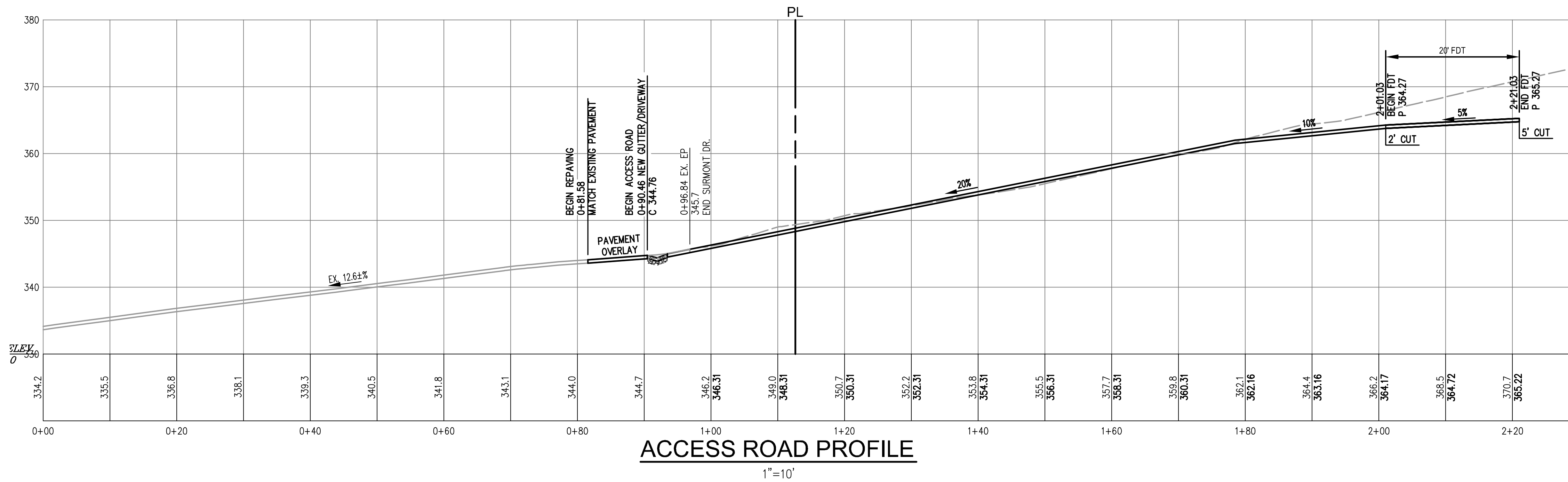
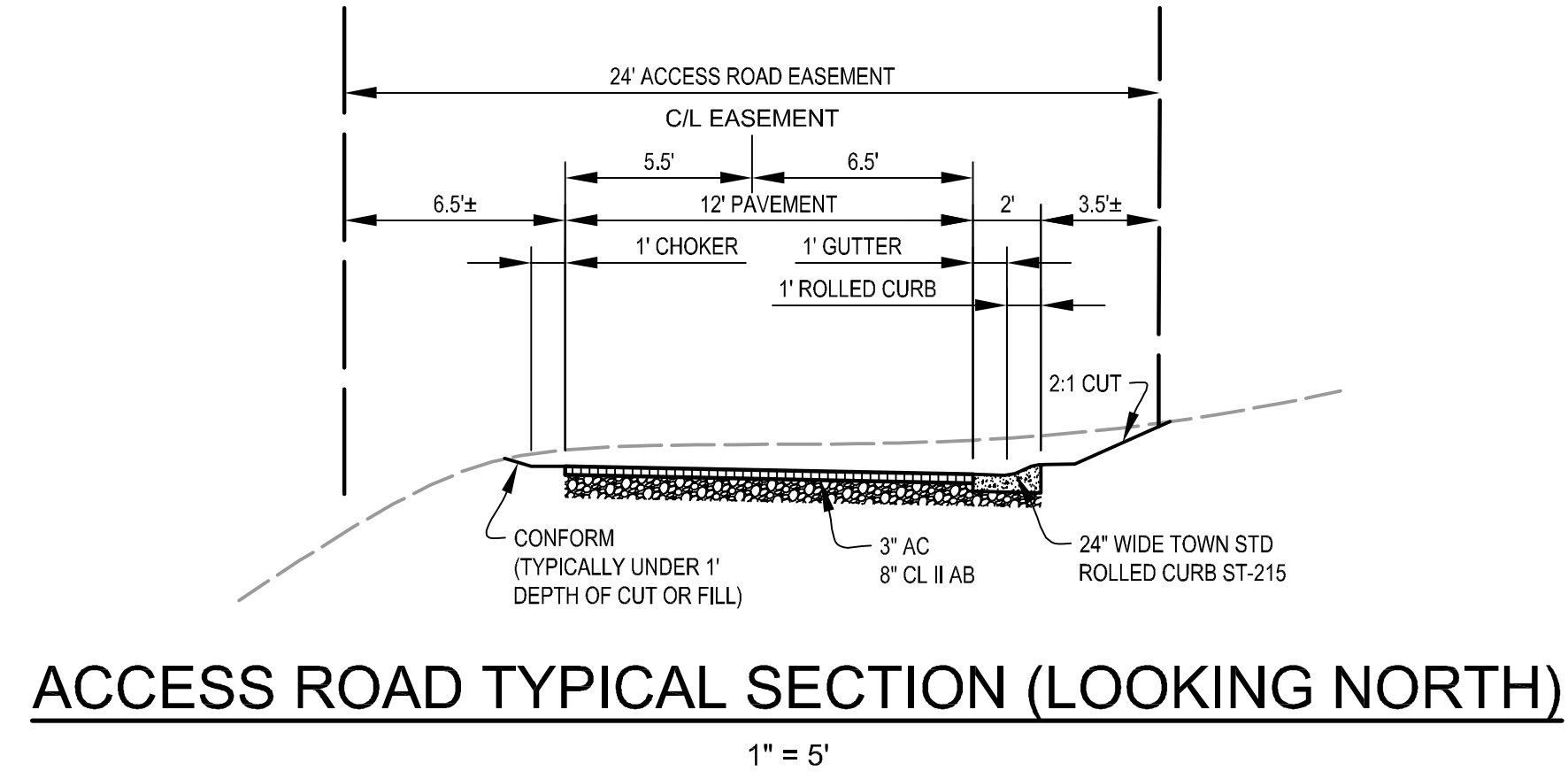
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 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.  
**C-3**  
 OF 9 SHEETS  
 JOB NO.  
 16-233

TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300  
 FAX: 408.837.7550

12/13/2022 11:59am - N:\2016 JOBS\16-233\DWG\16-233\_P2\_C3 UTILITY PLAN.DWG - C3



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 TERENCE J. SZCZYTY  
 NO. 35527  
 EXP. 9-30-23  
 STATE OF CALIFORNIA  
 EXPIRATION DATE: 09/30/24  
 12-13-22

DATE: 12-13-22  
 SCALE: AS NOTED  
 DRAWN BY: DKH  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS

GRAPHIC SCALE  
 10 0 5 10 20  
 (IN FEET)  
 1" = 10'

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 SAN JOSE, CA 95110  
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**TS** CIVIL ENGINEERING

LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE  
 IMPROVEMENT

**ACCESS ROAD  
 PLAN AND PROFILE**  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

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SHEET NO. **C-5**  
 OF 9 SHEETS  
 JOB NO. 16-233

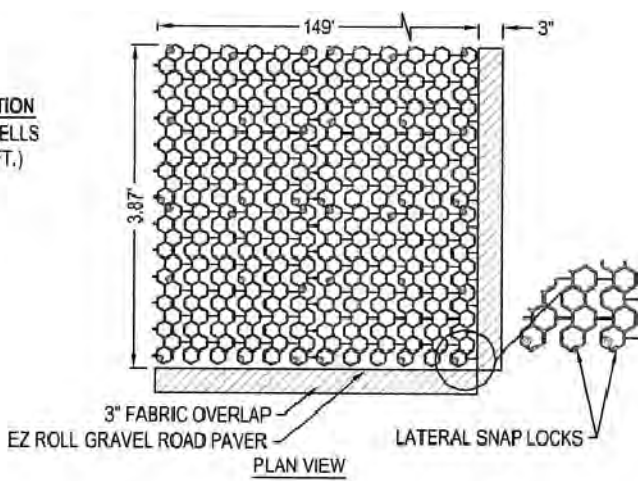
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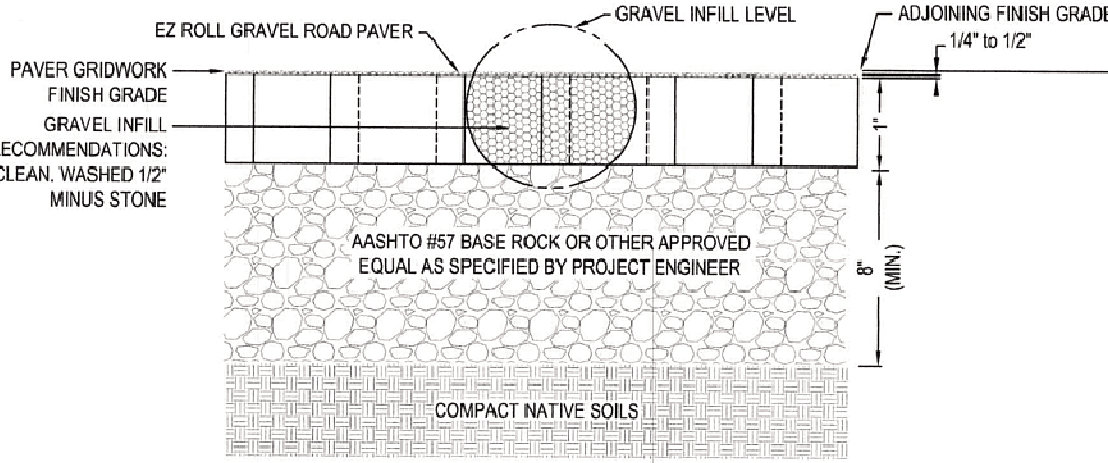
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**EZ ROLL™ GRAVEL PAVER** PRODUCT DESCRIPTION  
 CELL SIZE: 2-1/4" HEXAGONAL CELLS  
 STOCK ROLL SIZE: 3.87' X 149' (577 SQ. FT.)  
 NESTED HONEYCOMB CELL: 57,888 PSF  
 LAYOUT COMPRESSIVE: 400 PSI  
 STRENGTH (OPEN CELL NO FILL) EXCEEDS H2O LOADING



**EZ ROLL GRAVEL PAVERS**  
 FIRE/HEAVY LOAD



**NOTES:**  
 1. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.  
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 3. DO NOT SCALE DRAWING.  
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.  
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



REVISION DATE 8-24-2015

**TREE REMOVAL TABLE**

**PARCEL 1**

#130	9" STONE PINE AT HAMMERHEAD
#131	3-7" TOYON AT HAMMERHEAD
#111	6" & 9" LIVE OAK AT ACCESS ROAD NEAR SURMONT

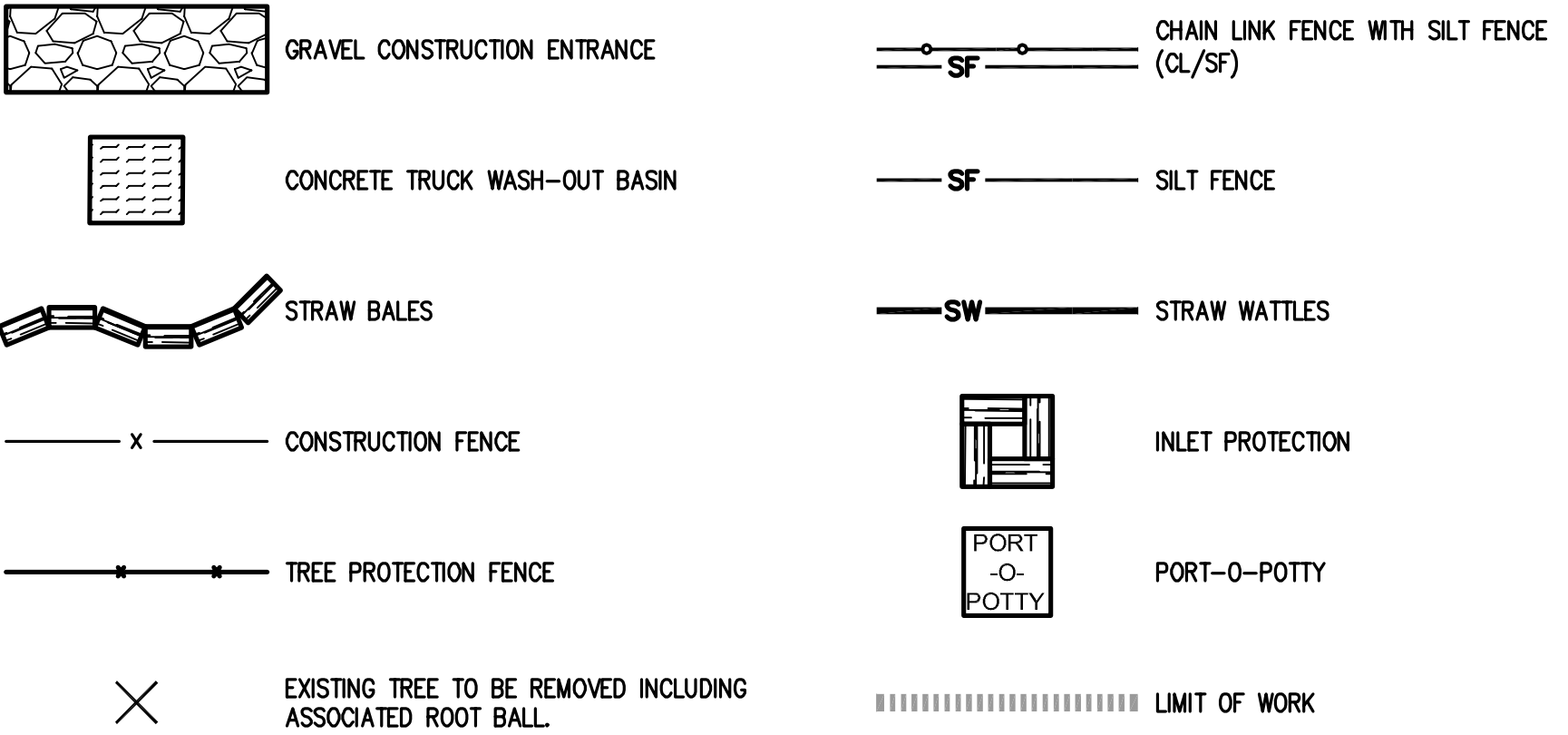
**PARCEL 2**

#129	9" & 11" LIVE OAK UPHILL FROM DRIVEWAY
------	--

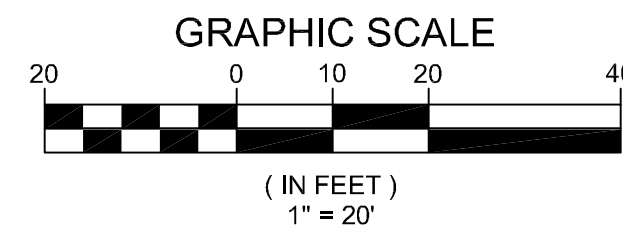
**NOTES:**

- THERE ARE MERELY 4 PROTECTED REMOVALS
- ALL OTHER TREES ARE UNPROTECTED FRUIT TREES, GENERALLY IN POOR HEALTH

**EROSION CONTROL LEGEND**



DESIGNED UNDER THE SUPERVISION OF:  
 TERENCE J. SZEWZYK  
 LICENSED PROFESSIONAL ENGINEER  
 NO. 35527  
 EXP. 9-30-23  
 STATE OF CALIFORNIA  
 12-13-22  
 EXPIRATION DATE: 09/30/24



TS CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300  
 FAX: 408.837.7550

**TREE PROTECTION AND EROSION CONTROL PLAN**  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE IMPROVEMENT

LANDS OF ANDERSON  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE IMPROVEMENT

LOS GATOS, CA 95032  
 APN 527-20-003

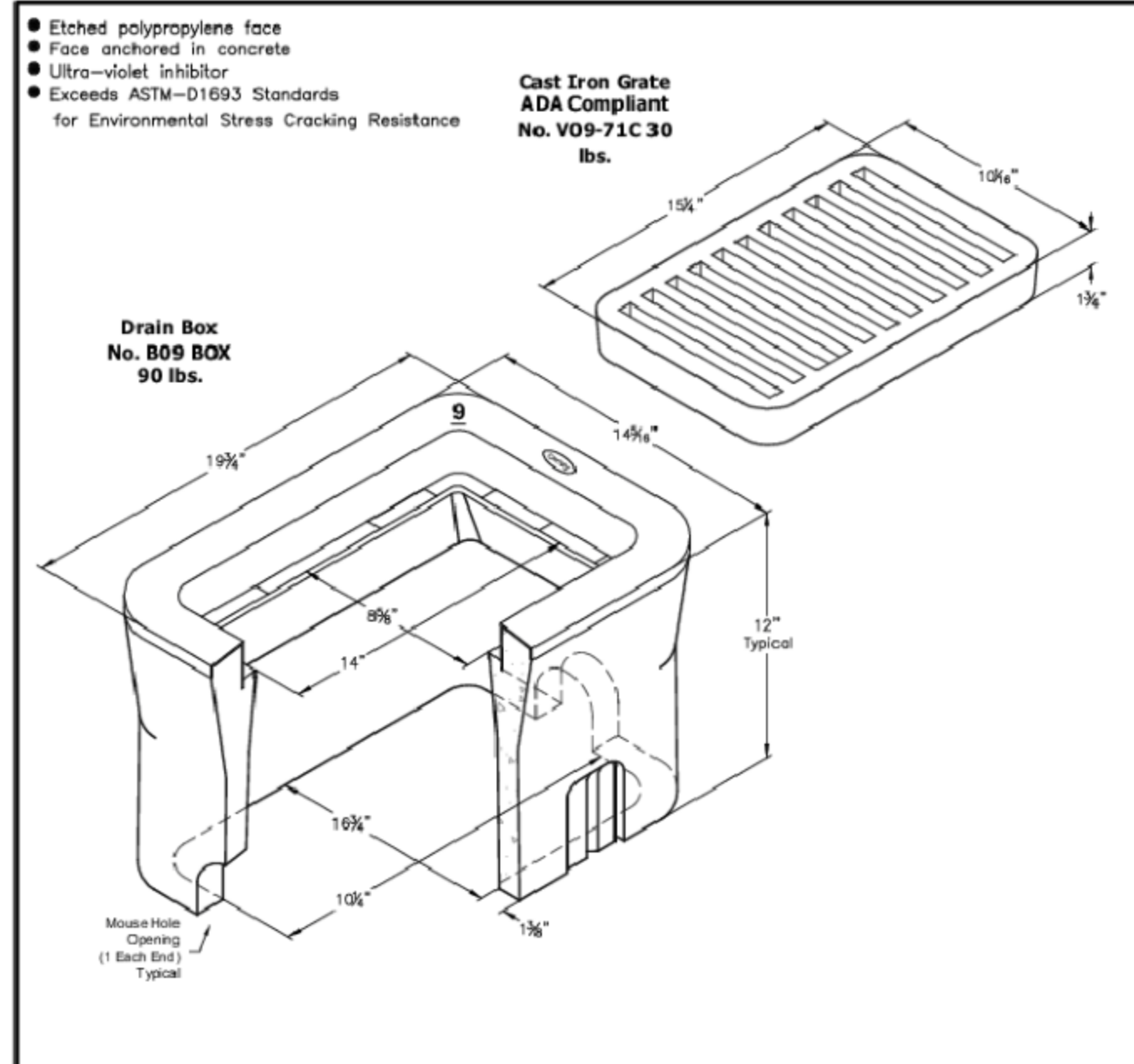
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DATE: 12-13-22  
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 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO.  
**C-6**  
 OF 9 SHEETS  
 JOB NO.  
 16-233

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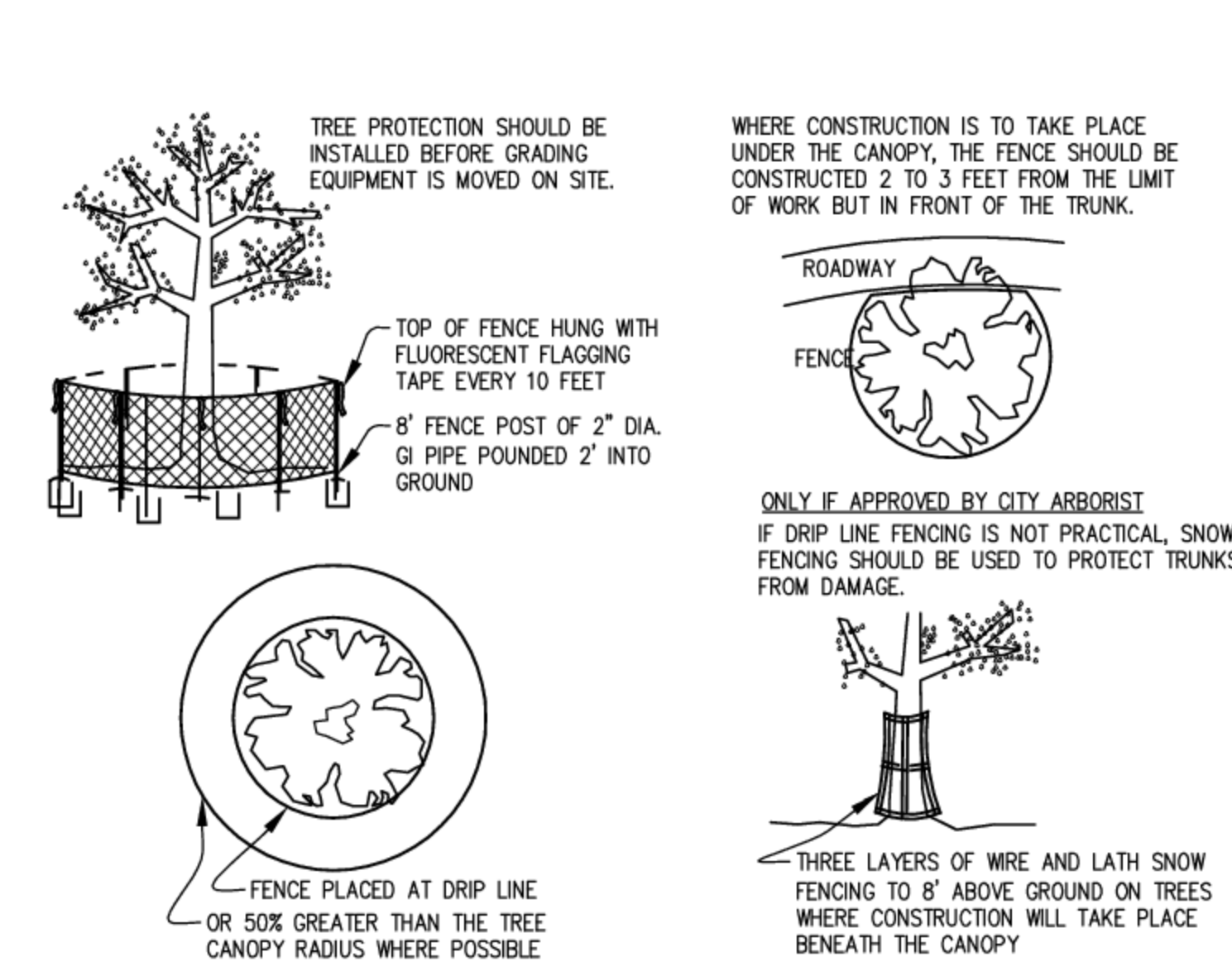
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Oldcastle Ordering Code	Item	Approx. Shipping Weight	Description
BO9BOX	BOX	90 lbs.	BO9 Drain Box (19 1/4\" x 18 1/4\" ) - 28 per pallet
V09-71C	LID	30 lbs.	Cast Iron Grate - ADA Compliant
BO9X12	EXTENSION	87 lbs.	12\" Reinforced Concrete Box Extension - 28 per pallet
BO9SL	SLAB	30 lbs.	Reinforced Concrete Slab (11 3/4\" x 19 3/4\" )

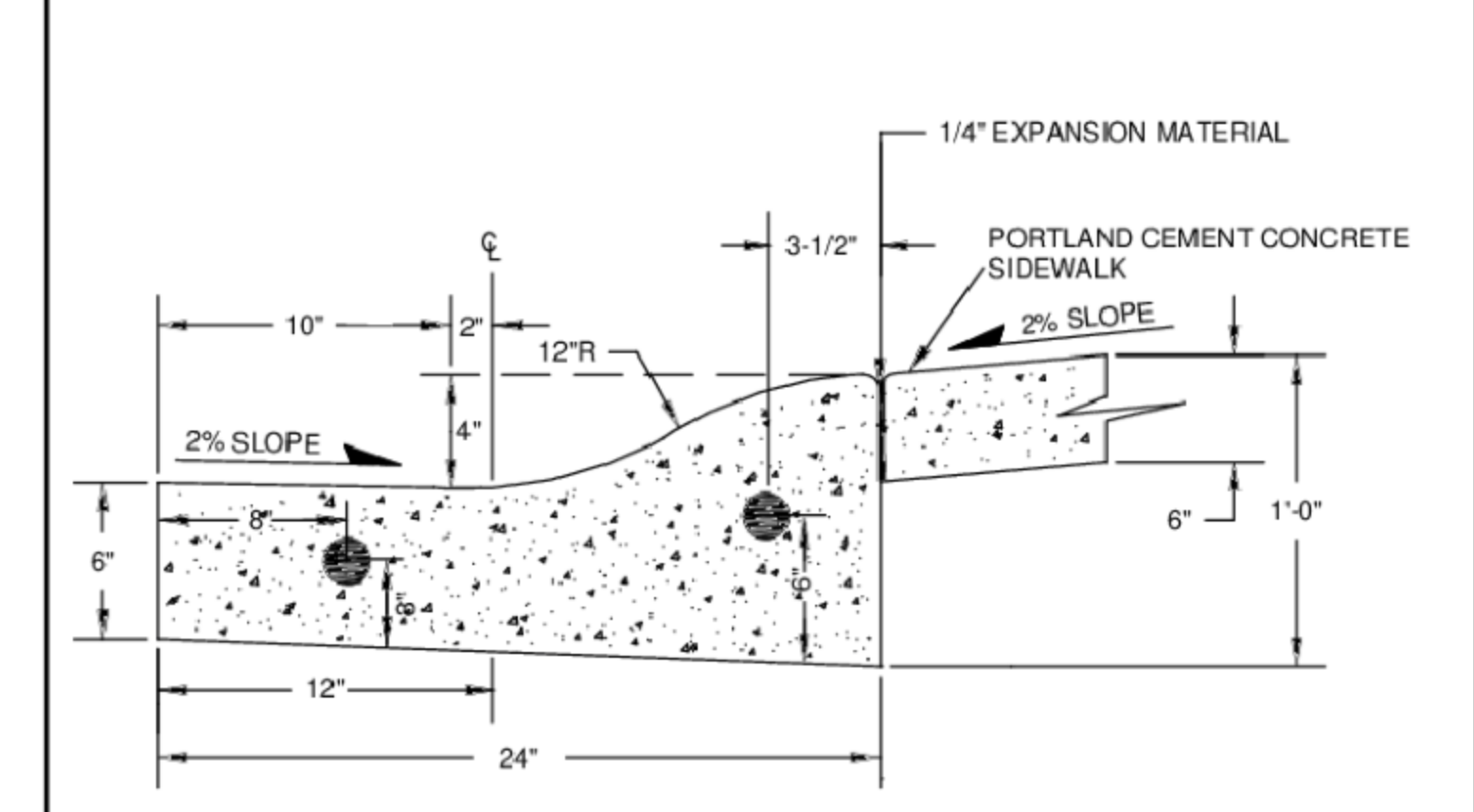
**Oldcastle** Enclosure Solutions  
 Phone: (803) 735-5006 Fax: (803) 486-6806  
 Copyright © 2017 Oldcastle, Inc.

<b>V09 BOX</b>	<b>V09 DRAIN BOX</b>
FILE NAME: V09_L50	10-1/4\" x 16-3/4\"
ISSUE DATE: January, 2011	CHRISTY
OldcastleEnclosures.com	



- TREE PROTECTIVE NOTES:**
- TREE PROTECTIVE FENCING SHALL BE INSTALLED AS SHOWN ON THE PLAN AND ESTABLISHED PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE. IT SHALL BE COMPRISED OF SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON EIGHT-FOOT TALL, TWO-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART. ONCE ESTABLISHED, THE FENCING MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL FINAL INSPECTION.
  - UNLESS OTHERWISE APPROVED, ALL CONSTRUCTION ACTIVITIES MUST BE CONDUCTED OUTSIDE THE DESIGNATED FENCED AREA (EVEN AFTER FENCING IS REMOVED). THESE ACTIVITIES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: DEMOLITION, GRADING, TRENCHING, EQUIPMENT CLEANING, STOCKPILING, AND DUMPING MATERIALS (INCLUDING SOIL FILL), AND EQUIPMENT/VEHICLE OPERATION AND PARKING.
  - ANY APPROVED GRADING OR TRENCHING BENEATH THE TREES' CANOPIES SHALL BE MANUALLY PERFORMED USING SHOVELS.
  - ANY PRUNING OF TREES ON SITE MUST BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST AND ACCORDING TO ISA STANDARDS.
  - THE DISPOSAL OF HARMFUL PRODUCTS (SUCH AS CHEMICALS, OIL AND GASOLINE) IS PROHIBITED BENEATH TREE CANOPIES OR ANYWHERE ON SITE THAT ALLOWS DRAINAGE BENEATH TREE CANOPIES. ADDITIONALLY, FUEL SHALL NOT BE STORED NOR SHALL ANY REFUELING OR MAINTENANCE OF EQUIPMENT OCCUR WITHIN 20 FEET OF THE TREES' TRUNKS.
  - HERBICIDES SHALL NOT BE APPLIED BENEATH THE TREE CANOPIES. WHERE USED ON SITE, THEY MUST BE LABELED FOR SAFE USE NEAR TREES.

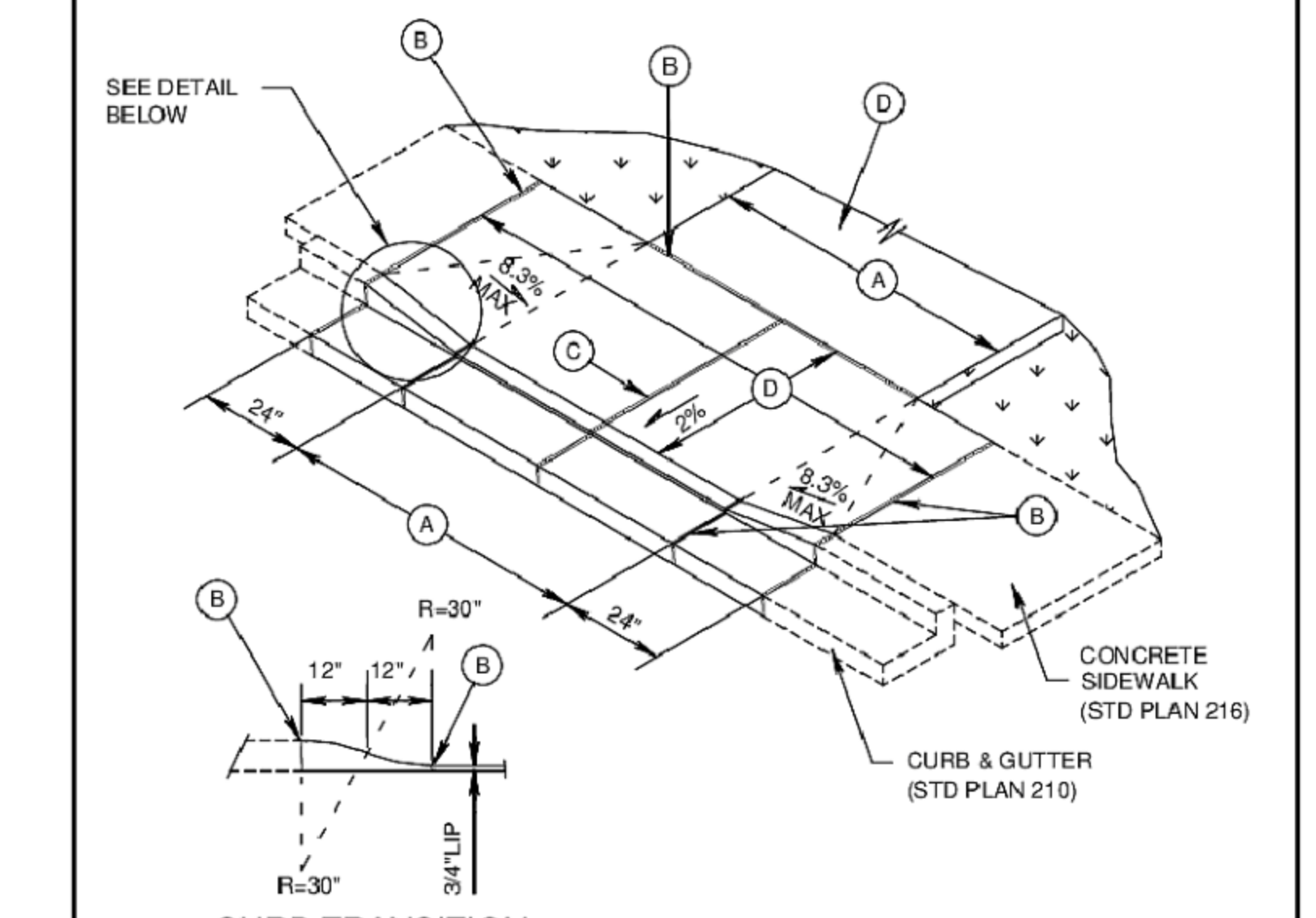
**TREE PROTECTION DETAIL**  
NOT TO SCALE



- NOTES:**
- CONTRACTION JOINTS OF ONE OF THESE TYPES SHOWN ABOVE TO BE PLACED 10' C/C. COMPLETELY SEVER THE STRUCTURE TO THE POINTS SHOWN. JOINTS MAY BE MADE BY INSERTING MIN. 3/16\" BITUMINOUS FILLER DUMMY JOINTS. JOINTS SHALL BE CLEANED AND EDGED.
  - FINISHED WORK SHALL NOT VARY MORE THAN 1/8\" IN GRADE AND 1/4\" IN ALIGNMENT.
  - EXPOSED SURFACES SHALL BE LIGHT BROOM FINISH.
  - SIDEWALKS BEHIND ROLLED CURBS SHALL BE A MINIMUM OF 6\" THICK.
  - CONCRETE SHALL INCLUDE ONE (1) POUND OF LAMP BLACK PER CUBIC YARD OF CONCRETE.
  - #4 REBAR SHALL BE EXTENDED ALONG LENGTH OF GUTTER.

APPROVED BY	DATE	CONCRETE ROLLED CURB	STD PLAN NO
<i>[Signature]</i>	NOVEMBER 2010	CONCRETE ROLLED CURB	ST-215
Project Specification: TO WALKWAY CURB, EDGE, and Sidewalk Maintenance			

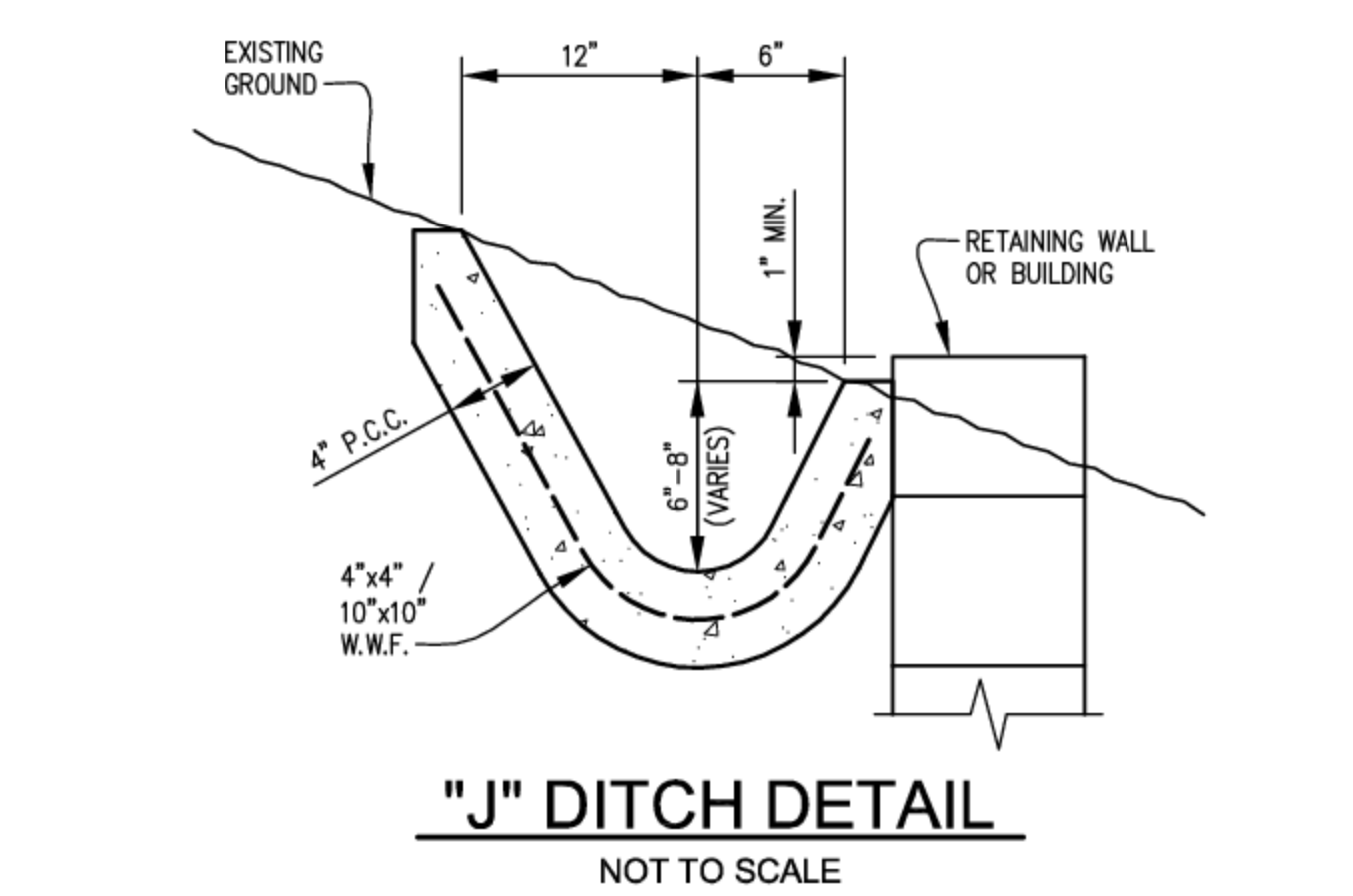
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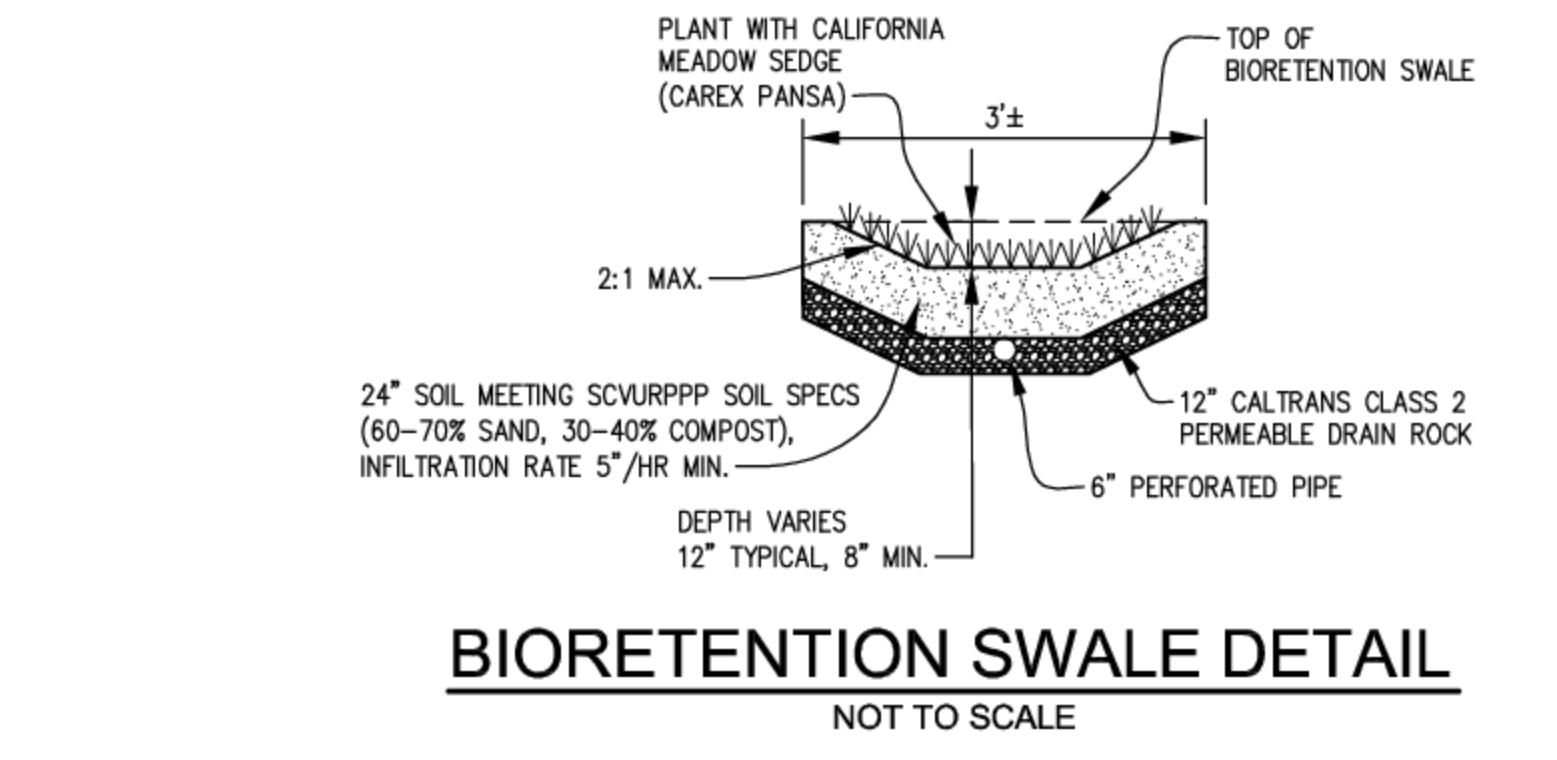
- NOTES:**
- EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. MINIMUM WIDTH = 14'.
  - 1/2\" WIDE FULL DEPTH EXPANSION JOINT.
  - FULL DEPTH EXPANSION JOINT IF (A) IS 15' OR GREATER.
  - DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
  - DRIVEWAY CONCRETE SHALL BE A MIN. OF 8\" THICK FOR RESIDENTIAL AND 8\" THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 6\" CLASS II AGGREGATE BASE 95% MAXIMUM COMPACTION ASTM D1557, OVER COMPACTED SUBGRADE.
  - ALL CONCRETE SHALL BE CLASS A, PER GALTRANS SPEGS, WITH 1 LB. (MIN.) LAMP BLACK PER CUBIC YARD.
  - ALL WORK SHALL COMFORM TO CURRENT ADA REQUIREMENTS.

APPROVED BY	DATE	CONCRETE DRIVEWAY WITHOUT PLANTER	STD PLAN NO
<i>[Signature]</i>	NOVEMBER 2010	CONCRETE DRIVEWAY WITHOUT PLANTER	ST-219
Project Specification: TO WALKWAY CURB, EDGE, and Sidewalk Maintenance			

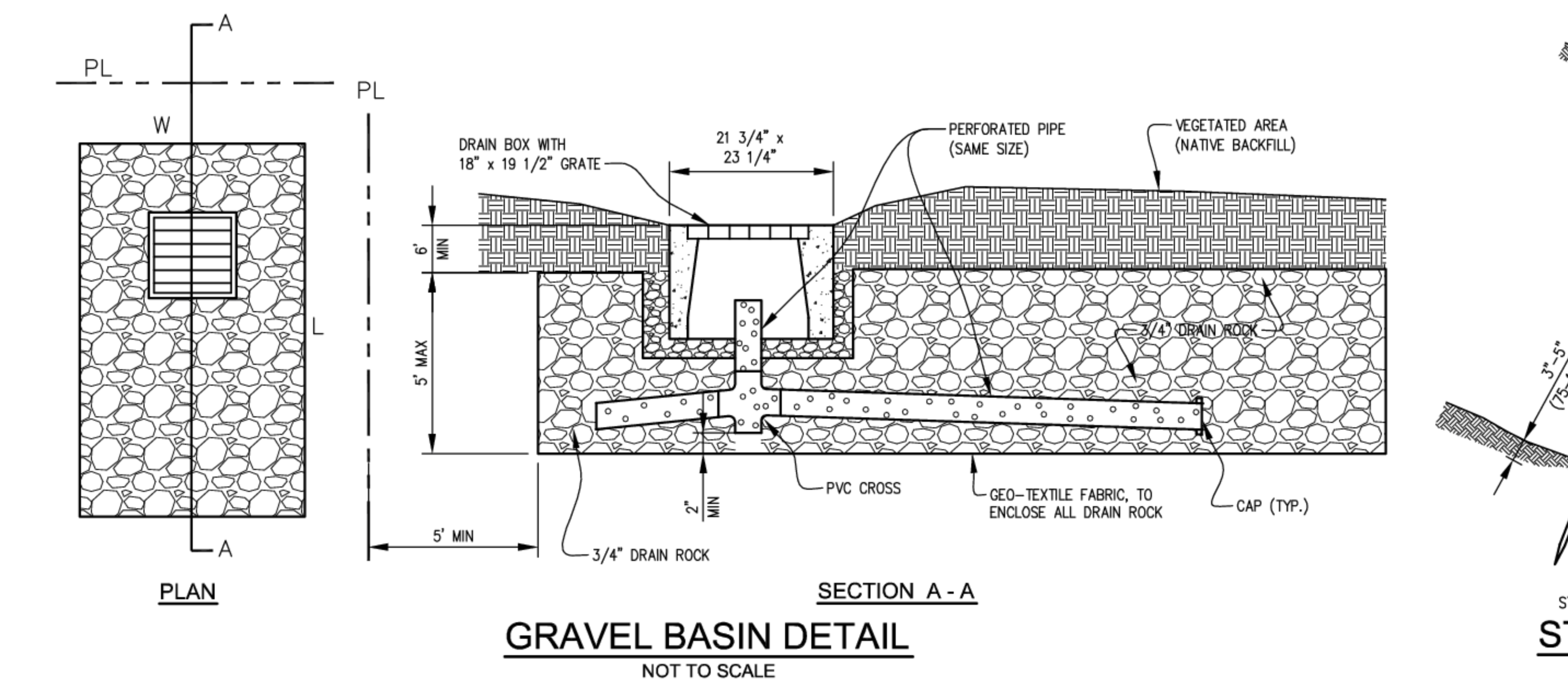
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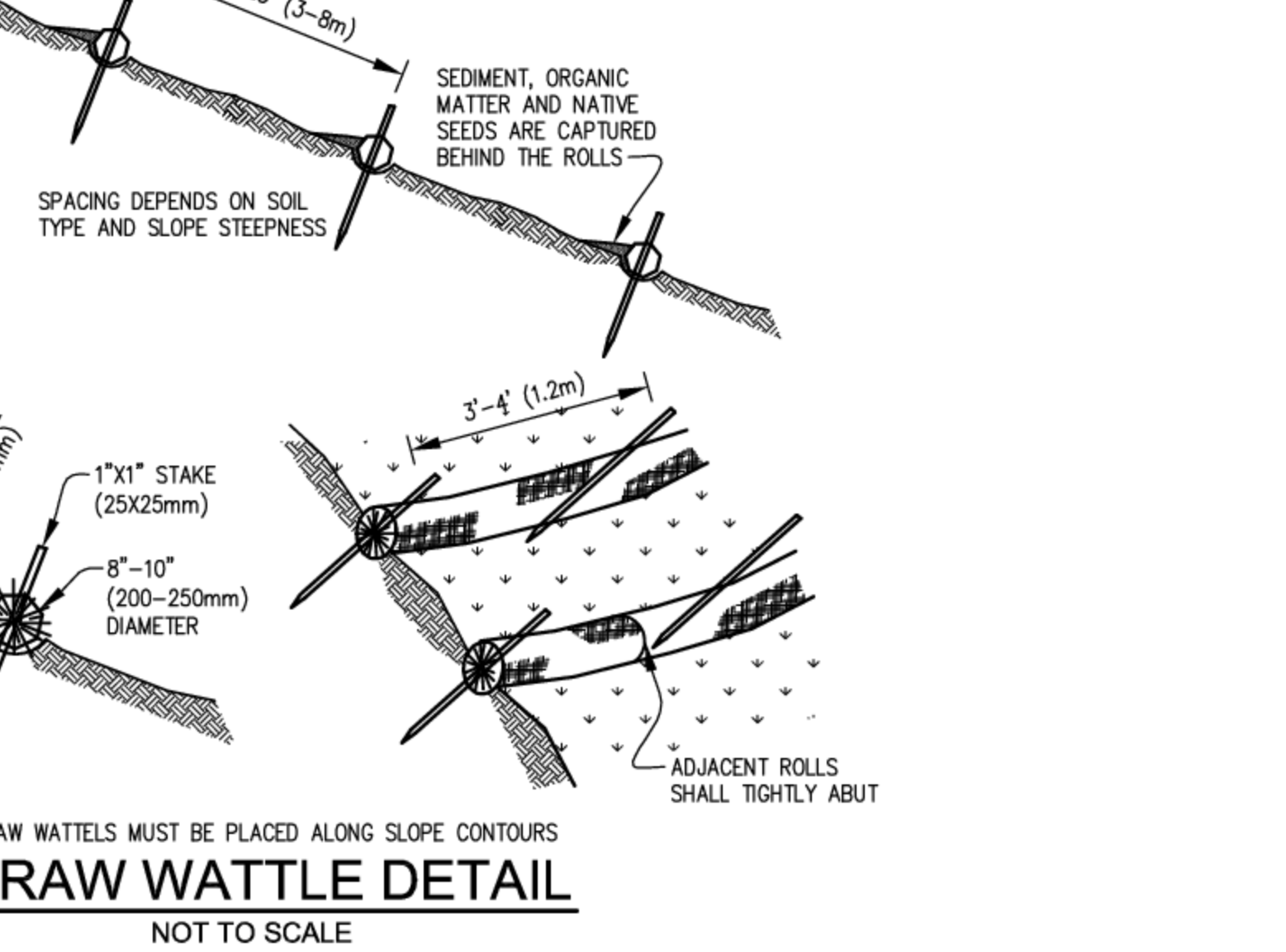
**"J" DITCH DETAIL**  
NOT TO SCALE



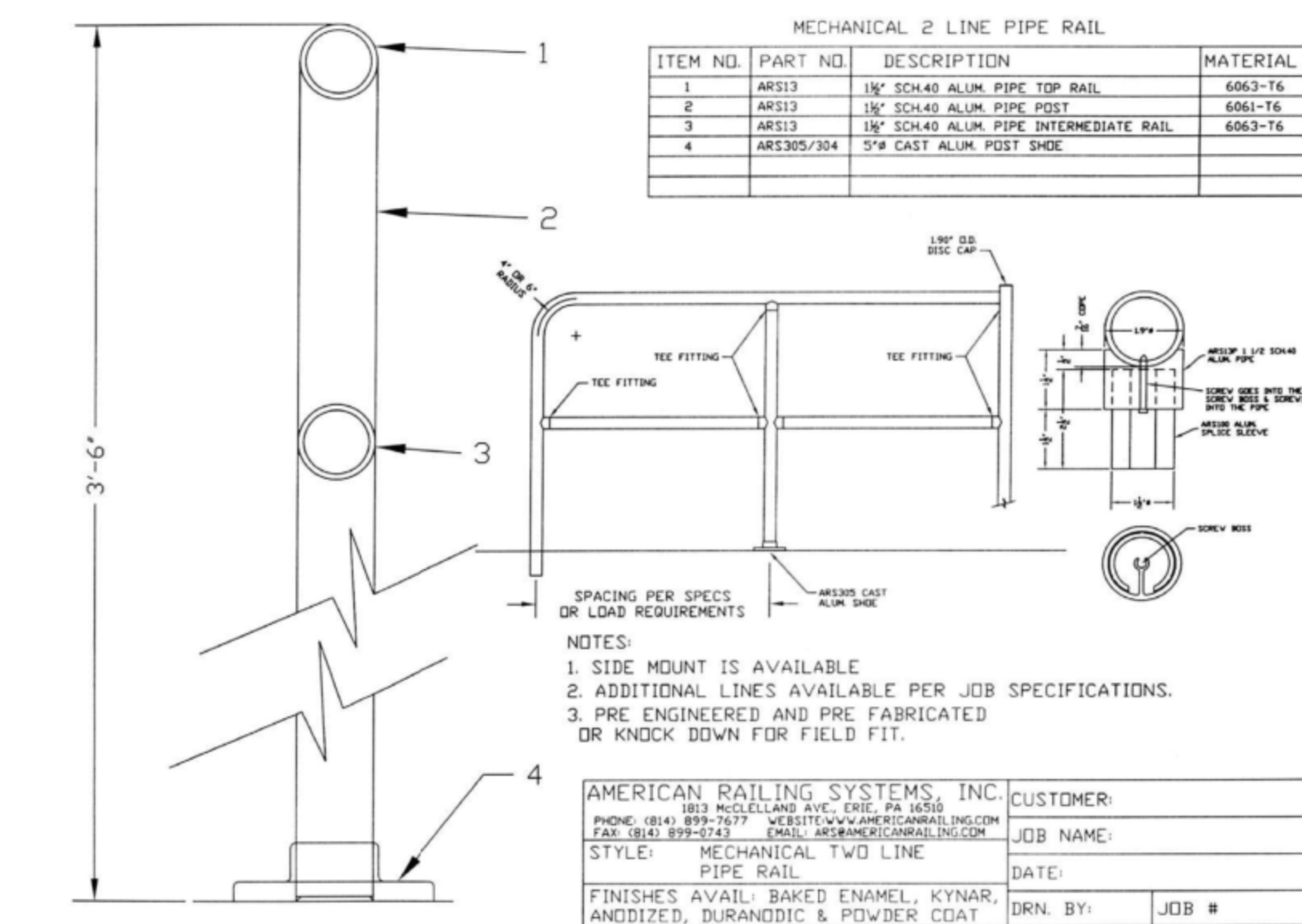
**BIORETENTION SWALE DETAIL**  
NOT TO SCALE



**GRAVEL BASIN DETAIL**  
NOT TO SCALE



**STRAW WATTLE DETAIL**  
NOT TO SCALE



ITEM NO.	PART NO.	DESCRIPTION	MATERIAL
1	AR513	1 1/2\" SCH40 ALUM. PIPE TOP RAIL	6063-T6
2	AR513	1 1/2\" SCH40 ALUM. PIPE POST	6063-T6
3	AR513	1 1/2\" SCH40 ALUM. PIPE INTERMEDIATE RAIL	6063-T6
4	AR505/304	3/4\" CAST ALUM. POST SHOE	

AMERICAN RAILING SYSTEMS, INC. CUSTOMER:  
 PHONE: (800) 899-7577 WEBSITE: WWW.AMERICANRAILING.COM  
 FINISHES AVAILABLE: BAKED ENAMEL, KYNAR, ANODIZED, DURANODIC & POWDER COAT  
 DATE: 12-13-22  
 EXPIRATION DATE: 09/30/23

**TS CIVIL ENGINEERING**  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.452.9300 FAX: 408.837.7550

**LANDS OF ANDERSON**  
 400 SURMONT DRIVE  
 PARCEL 2  
 GRADING AND SITE IMPROVEMENT

**EROSION CONTROL AND CONSTRUCTION DETAILS**  
 400 SURMONT DR  
 LOS GATOS, CA 95032  
 APN 527-20-003

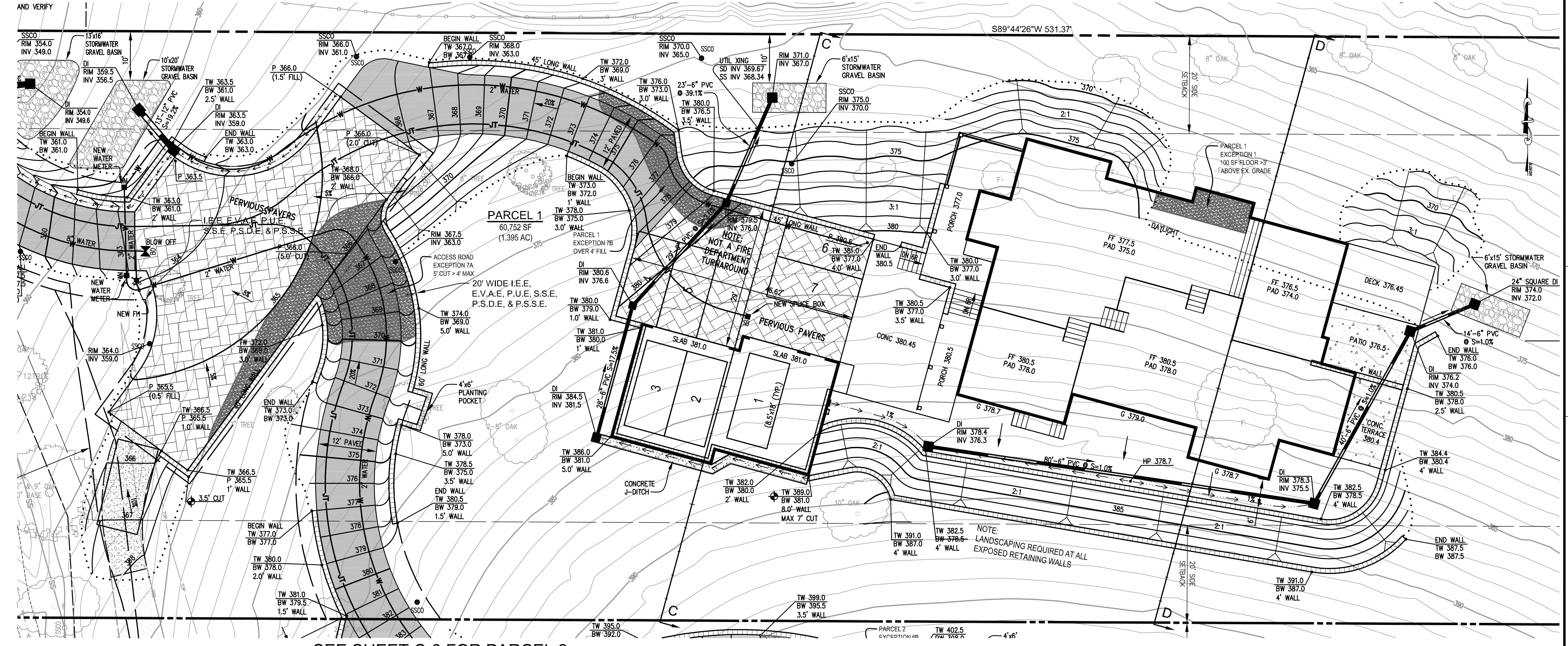
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	3	TJS
	4	
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	6	

DATE: 12-13-22  
 SCALE: AS NOTED  
 DRAWN BY: DKH  
 SURVEYED BY: TJS  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO. **C-7** OF 9 SHEETS  
 JOB NO. 16-233

DESIGNED UNDER THE SUPERVISION OF:  
 TERENCE J. SZEWCYK  
 EXPIRATION DATE: 09/30/23



SEE SHEET C-2 FOR DRIVEWAY, C-3 FOR UTILITIES

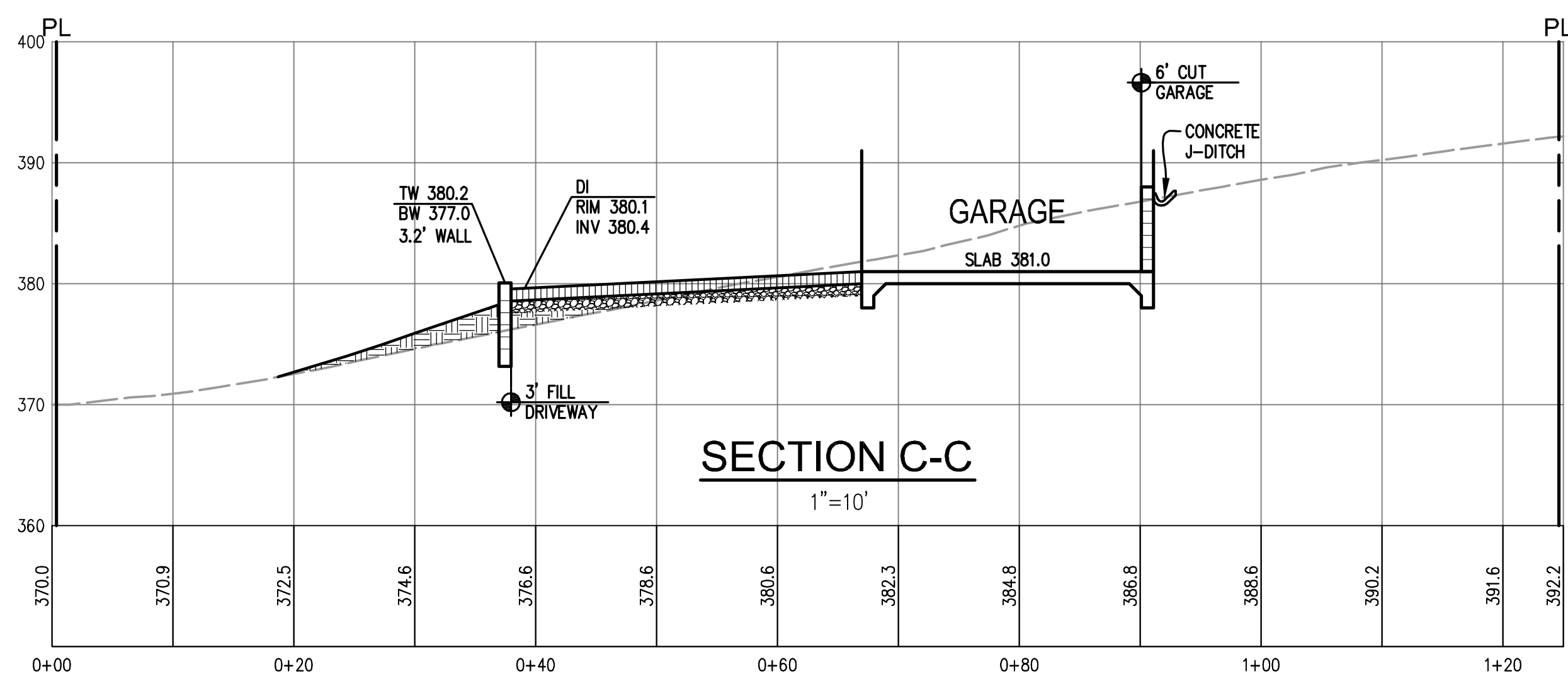


SEE SHEET C-9 FOR PARCEL 2

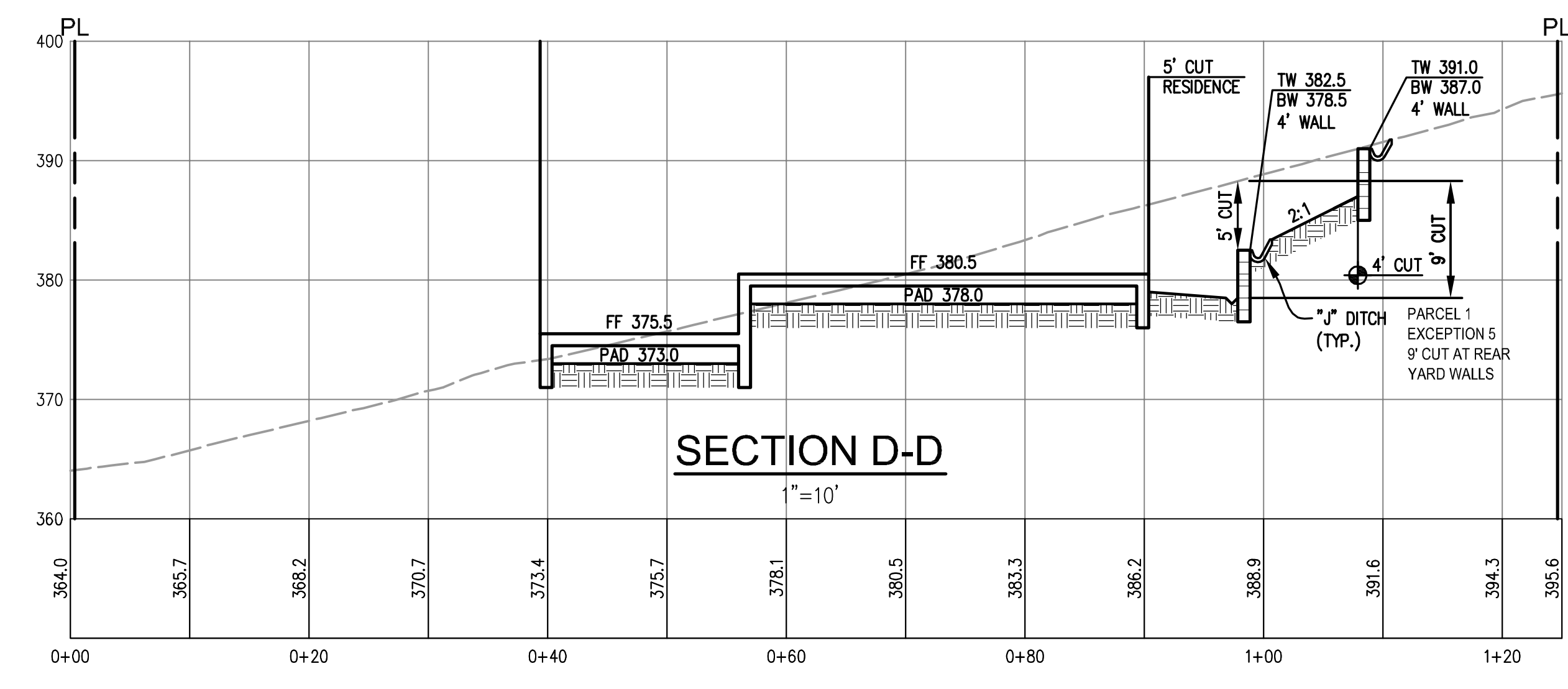
**NOTE:**  
WALKWAYS AND PATIOS ARE REQUIRED TO BE CONSTRUCTED OF PERVIOUS MATERIALS

EARTHWORK SUMMARY				
	CUT (CY)	MAX DEPTH	FILL (CY)	MAX DEPTH
ACCESS ROAD	74	5'	40	2'
DRIVEWAY	80	4'	218	4'
RESIDENCE	589	8'	100	4'
GARAGE	192	7'	0	0
REAR YARD	320	6'	0	0
<b>TOTAL</b>	<b>1,255</b>		<b>358</b>	

897 CY TO BE HAULED OFF SITE



**SECTION C-C**  
1"=10'



**SECTION D-D**  
1"=10'

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZCWCZYK  
STATE OF CALIFORNIA  
NO. 35527  
EXP. 9-30-23

12-13-22  
EXPIRATION DATE: 09/30/2023

**GRAPHIC SCALE**  
1" = 10'  
0 5 10 20  
(IN FEET)

LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 2  
GRADING AND SITE  
IMPROVEMENT

PARCEL 1 SITE PLAN  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

TS  
TS CIVIL ENGINEERING  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

NO.	DATE	BY	REVISIONS
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1			

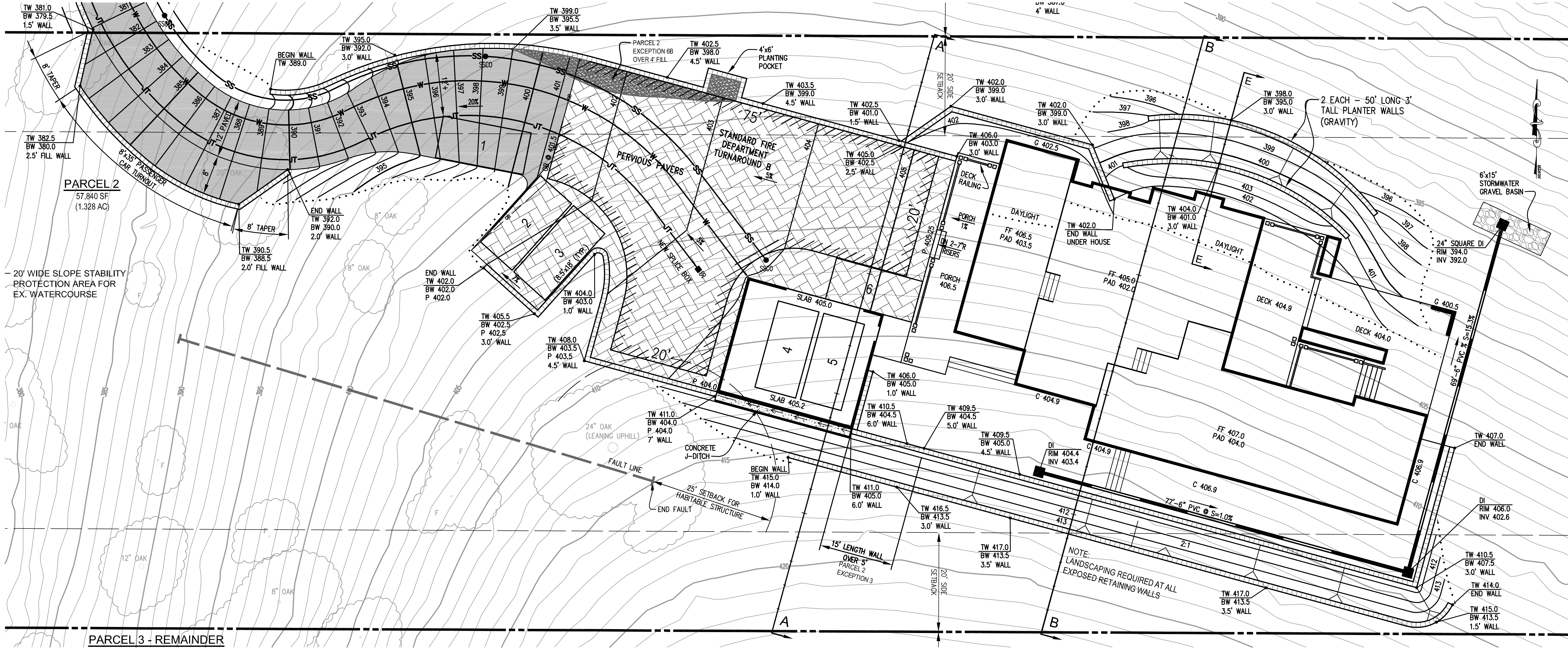
DATE: 12-13-22  
SCALE: 1"=10'  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO.  
**C-8**  
OF 9 SHEETS  
JOB NO.  
16-233

12/13/2022 11:59am - N:\2016 JOBS\16-233\DWG\16-233\_P2\_C8\_PARCEL 1 SITE PLAN.DWG - C8



DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.

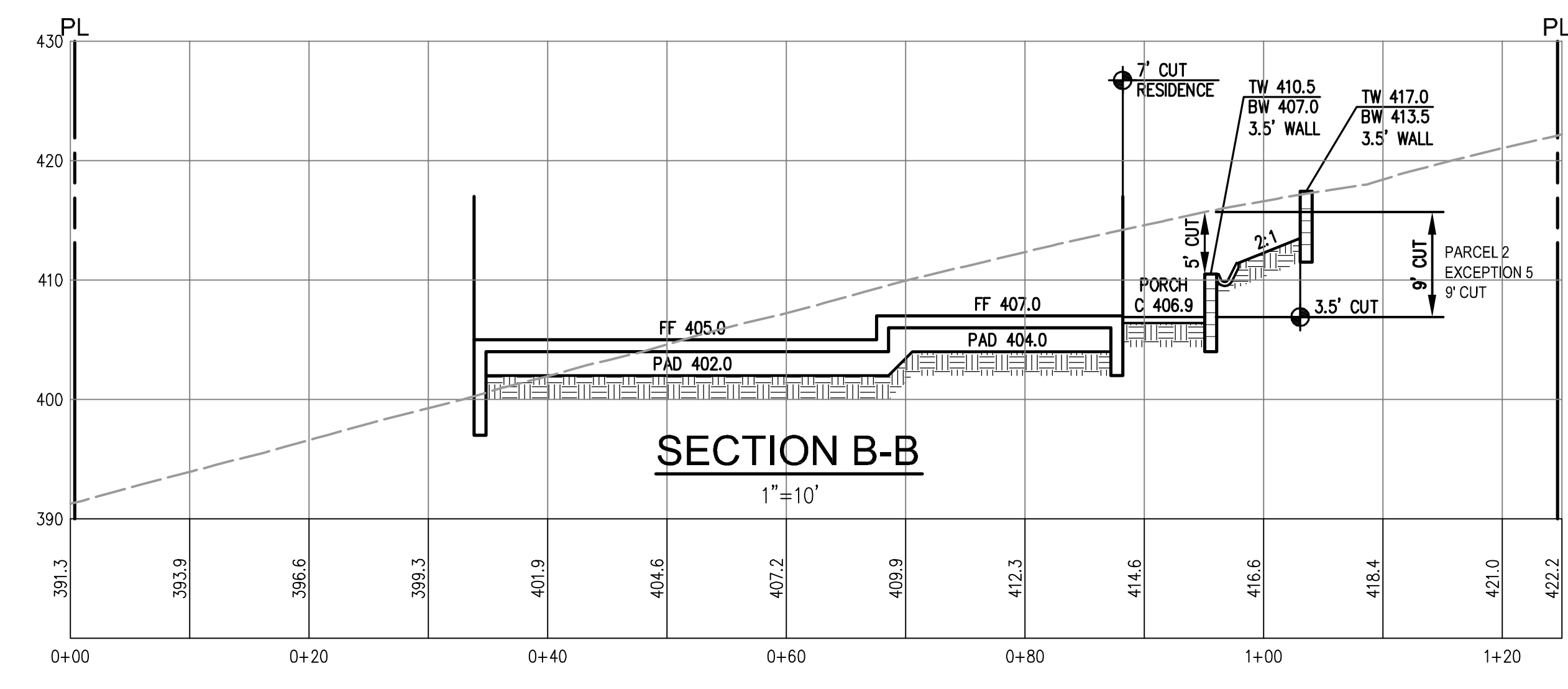
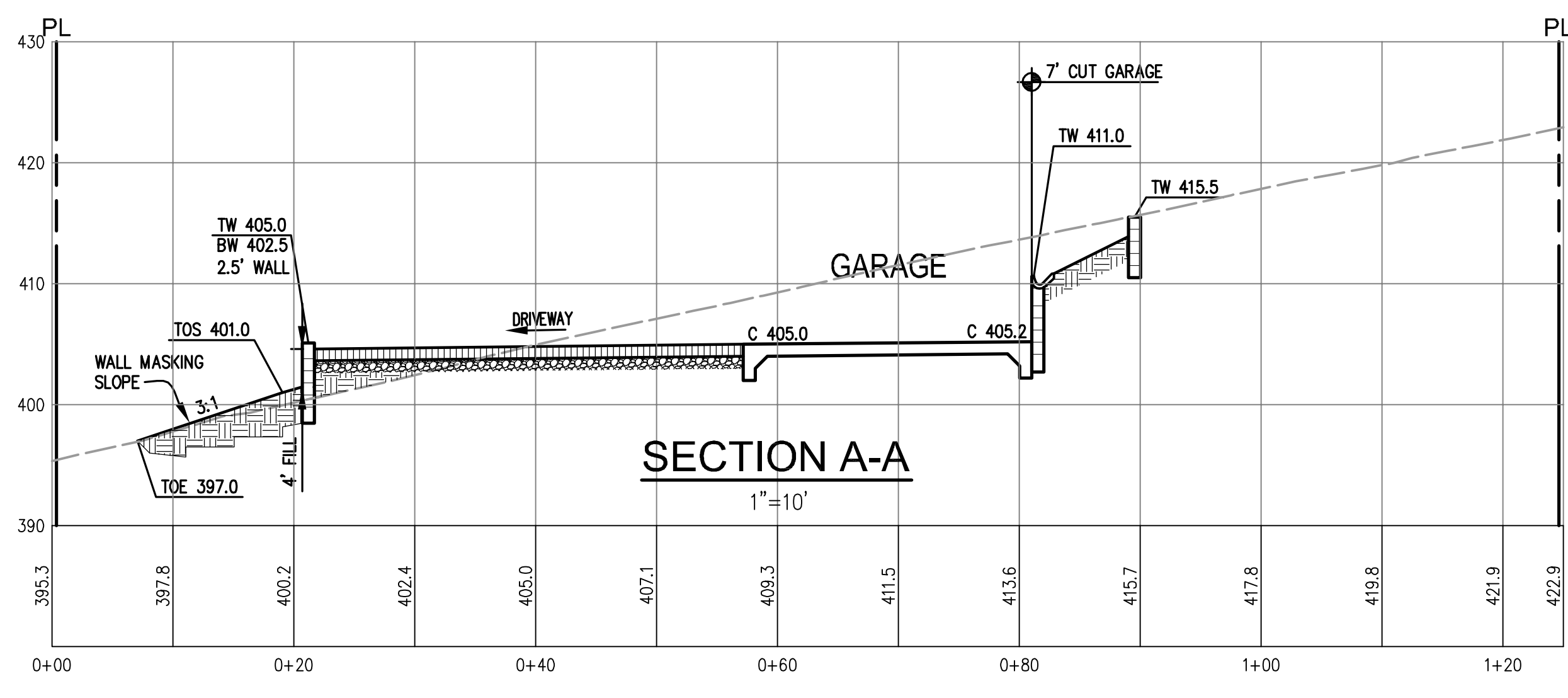
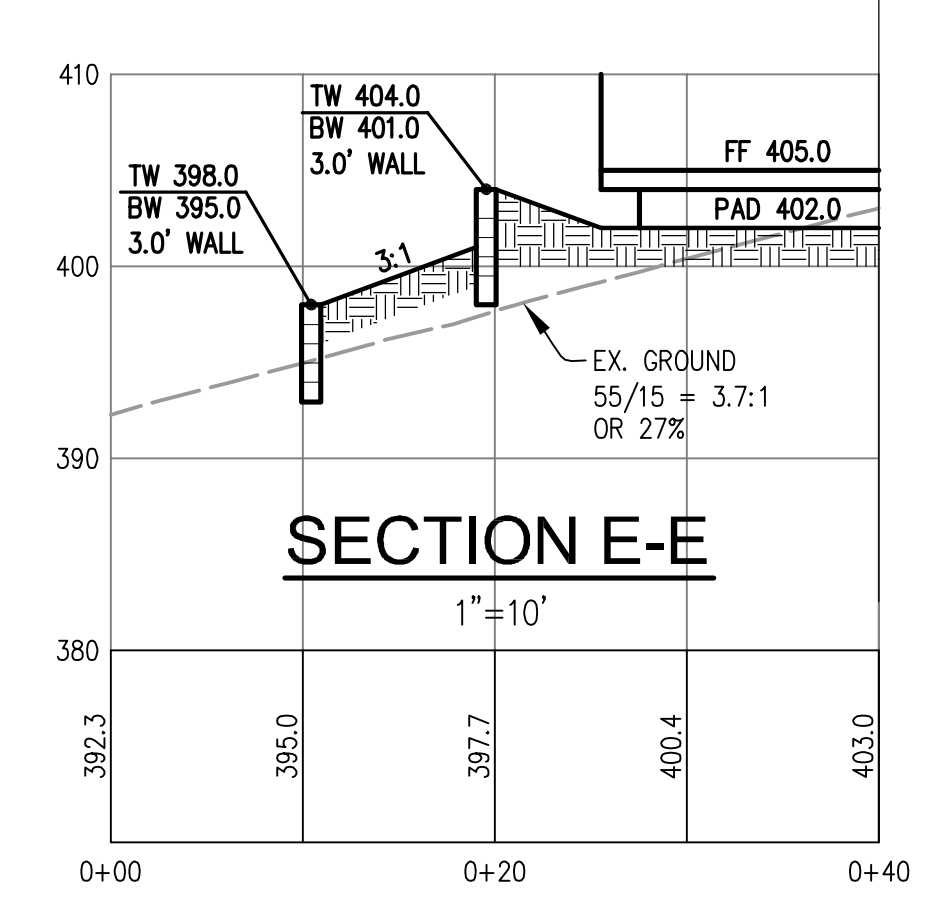
SEE SHEET C-8 FOR PARCEL 1



**NOTE:**  
WALKWAYS AND PATIOS ARE REQUIRED TO BE CONSTRUCTED OF PERVIOUS MATERIALS

EARTHWORK SUMMARY				
	CUT (CY)	MAX DEPTH	FILL (CY)	MAX DEPTH
DRIVEWAY	205	5'	75	3'
RESIDENCE	525	8'	-	-
TURNAROUND	-	-	166	5'
GARAGE	162	7.3'	-	-
REAR YARD	285	5'	-	-
TOTAL	1,177		241	

863 CY TO BE HAULED OFF SITE



DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK  
STATE OF CALIFORNIA, No. 35527  
EXPIRATION DATE: 09/30/23

DATE: 12-13-22  
SCALE: 1"=10'  
DRAWN BY: DKH  
SURVEYED BY:  
PROJ ENGR: TJS  
CHECK BY: TJS  
SHEET NO. **C-9**  
OF 9 SHEETS  
JOB NO. 16-233

GRAPHIC SCALE  
1" = 10'  
(IN FEET)

TS CIVIL ENGINEERING, INC.  
1776 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

**TS** CIVIL ENGINEERING

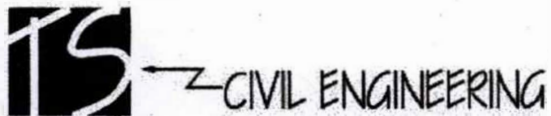
LANDS OF ANDERSON  
400 SURMONT DRIVE  
PARCEL 2  
GRADING AND SITE  
IMPROVEMENT

PARCEL 2 SITE PLAN  
400 SURMONT DR  
LOS GATOS, CA 95032  
APN 527-20-003

NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

12/13/2022 11:41am - N:\2016 JOBS\16-233\DWG\16-233\_P2\_C9\_PARCEL 2 SITE PLAN.DWG - C9





Job No. 16-233  
~~October 24, 2022~~ DECEMBER 23, 2022

Ryan Safty, Associate Planner  
Town of Los Gatos Planning Division  
110 E. Main Street  
Los Gatos, CA 95030 MODIFIED TO 18' HEIGHT

Subject: Story Pole Certification Parcels 1 & 2  
400 Surmont Drive , Los Gatos, CA

Dear Mr. Safty, ON DEC 23, 2022, I INSPECTED THE LOWERED ROOF HEIGHT AS INDICATED BY THE BLUE NETTING AND FOUND THE STORY POLES TO BE ACCURATE.

~~On October 20, 2022,~~ I inspected the height and location of the story poles and netting at the subject property. The poles were found to be consistent with the approved Architectural Plans by Studio Three Design. These poles were also installed consistent with the required building setbacks. Photographs are attached.

Should you require more information, please contact me at [terry@tscivil.com](mailto:terry@tscivil.com) or (408) 316-2696.

Sincerely,  
TS/CIVIL ENGINEERING, INC.  
Terence J. Szewczyk, P.E. C35527  
Principal Engineer








**PRIVATE PROPERTY**  
**NO TRESPASSING**

400 SURMONT DRIVE - PARCEL #1  
Architecture and Site Application 5-21-004

400 SURMONT DRIVE - PARCEL #1  
Architecture and Site Application 5-21-004



Revisiting Approval for Construction of a Shared Driveway, Two New Single-Family Residences to Exceed the Maximum Height for Visible Homes in the Hillside, and Site Work Requiring a Grading Permit on Property zoned NR-2.5. APN: 527-20-003. 4,785 square feet.

PROPERTY OWNER: SARAH A. ANDERSON, TRUSTEE  
APPLICANT: STUDIO 3 DESIGN  
TELEPHONE NUMBER: 408-291-3252

A public hearing will be conducted via teleconference at <TIME> on <DAY> <DATE>. Link to attend this meeting will be available on the agenda for the meeting, which will be available on the Town's website.

For more information about this project, please contact the Town of Los Gatos Planning Division at 110 E. Main Street, Los Gatos, (408) 354-6872. Plans can be reviewed on <https://www.losgatosca.gov/2216/Pending-Planning-Projects>































































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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023  
ITEM NO: 2  
ADDENDUM

---

DATE: January 10, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Construction of a Shared Driveway, Two New Single-Family Residences to Exceed the Maximum Height for Visible Homes in the Hillside, and Site Work Requiring a Grading Permit on Vacant Property Zoned HR-2½. **Located at 400 Surmont Drive.** APN 527-20-003. Architecture and Site Applications S-21-004 and S-21-023. PROPERTY OWNER: Sandra K. Anderson, TTE. APPLICANT: Studio 3 Design. PROJECT PLANNER: Ryan Safty.

Remarks:

Exhibit 27 includes public comment received between 11:01 a.m., Friday, January 6, 2023, and 11:00 a.m., Tuesday, January 10, 2023.

EXHIBITS:

Previously received with the November 21, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Subdivision Notice of Exemption
5. Project Description/Letter of Justification
6. Property Photos
7. Color and Materials Board – Parcel 1
8. Color and Materials Board – Parcel 2
9. Visibility Analysis
10. Consulting Architect's Report
11. Applicant's Response to Consulting Architect's Report
12. Consulting Arborist's Report
13. Applicant's Response to Consulting Arborist's Report
14. Neighbor Outreach Summary

PREPARED BY: RYAN SAFTY  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

---



PAGE 2 OF 2

SUBJECT: 400 Surmont Drive/S-21-004 and S-21-023

DATE: January 10, 2023

EXHIBITS (continued):

15. Development Plans – Parcel 1
16. Development Plans – Parcel 2
17. Public Comments
18. Applicant's Response to Public Comments

Previously received with the November 21, 2022 Desk Item Report:

19. Public Comment received between 11:01 a.m., Friday November 18, 2022, and 11:00 a.m., Monday, November 21, 2022
20. Applicant's Response to Public Comments in Exhibit 17

Previously received with the January 11, 2023 Staff Report:

21. Updated Neighbor Outreach Summary
22. Applicant's Summary of Design Changes
23. Updated Development Plans – Parcel 1
24. Updated Development Plans – Parcel 2
25. Updated Story Pole Pictures and Certification Letter, installed December 23, 2022
26. Pictures of damaged story poles following storm, received January 4, 2023

Received with this Addendum Report:

27. Public Comment received between 11:01 a.m., Friday, January 6, 2023, and 11:00 a.m., Tuesday, January 10, 2023.



From: Diane Michaelis  
Sent: Monday, January 9, 2023 8:46 AM  
To: Ryan Safty <RSafty@losgatosca.gov>  
Subject: 400 Surmont Dr

EXTERNAL SENDER

Dear Ryan,

I am writing to let you know our concerns remain the same as we have stated before regarding this development. The two large houses will dominate what was once an open rural hillside and do not “nestle into the hillside” as they are described or step into the topography of the land. The revised elevations do not appear to adhere to the 18 ft height limit or do much to reduce the bulk of the structures.

Furthermore, the adjacent “hillside open space” on our property, mandated by the town to remain undeveloped, now abruptly will end and the hillside will be covered with two houses that do not visually blend with the natural environment. The land being developed is contiguous to our open space and would oblivate the beautiful hillside views the town intended to preserve. The development is fully viewable from the view platform and many other points.

If, in fact, you are allowing this development to proceed, the height should be maximized at 18 feet from the existing grade, per the requirements.

On parcel number 2, it appears the finished floor from existing grade is 6.5 feet as indicated on the west elevation and is indicated as 5 ft on the east elevation. Does this meet the requirement?

Diane Michaelis



From: Diane Michaelis  
Sent: Monday, January 9, 2023 8:56 AM  
To: Ryan Safty <RSafty@losgatosca.gov>  
Subject: 400 Surmont drive

EXTERNAL SENDER

Hi Ryan,

I just received a copy of the story pole Visibility Analysis for 400 Surmont Drive dated 10/21/22 submitted by TS Civil Engineering.

It contains photos that do not depict an accurate representation of the visibility of the houses from the view platform. I hope you all get a chance to view the story poles, especially from the view platform at the corner of Selinda Way and Los Gatos Almaden Rd for an accurate picture.

Also, regarding the new neighboring residence at [REDACTED], the report asserted that the home was approved "without any discussion of regional visibility". This is not correct. As Jennifer Armor will confirm, the visibility analysis was fully discussed in determining the placement of our new home. We went to great lengths to comply with the visibility restrictions and make sure our home could not be seen AT ALL from the viewing platform- as required by the town. We understood this was to preserve the beautiful open hillside views.

Diane Michaelis





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023  
ITEM NO: 2  
DESK ITEM

---

DATE: January 11, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Construction of a Shared Driveway, Two New Single-Family Residences to Exceed the Maximum Height for Visible Homes in the Hillside, and Site Work Requiring a Grading Permit on Vacant Property Zoned HR-2½. **Located at 400 Surmont Drive.** APN 527-20-003. Architecture and Site Applications S-21-004 and S-21-023. PROPERTY OWNER: Sandra K. Anderson, TTE. APPLICANT: Studio 3 Design. PROJECT PLANNER: Ryan Safty.

Remarks:

The applicant submitted updated section drawings for each residence, showing existing grade (Exhibits 28 and 29). The January 11, 2023 Staff Report stated that the maximum proposed height of the Parcel 1 residence was approximately 21 feet, six inches, and the maximum proposed height of the Parcel 2 residence was approximately 22 feet. With the existing grade lines added to the section drawings, staff was able to verify the maximum proposed heights along each building section, which are shown with blue arrows in Exhibits 28 and 29. The maximum proposed height of the Parcel 1 residence is shown at 19.8 feet in Section D of Exhibit 28. The maximum proposed height of the Parcel 2 residence is shown at 19.2 feet in Section B of Exhibit 29.

The applicant also provided an exhibit showing the roof area of each residence that would exceed the 18-foot maximum height limitation (Exhibit 30): 11 percent of the Parcel 1 roof would exceed 18 feet in height; and 10 percent of the Parcel 2 roof would exceed 18 feet in height.

Exhibit 31 includes the applicant's responses to public comments.

Exhibit 32 includes additional public comment received between 11:01 a.m., Tuesday, January 10, 2023, and 11:00 a.m., Wednesday, January 11, 2023.

PREPARED BY: RYAN SAFTY  
Associate Planner

---

Reviewed by: Planning Manager and Community Development Director

---



PAGE 2 OF 3

SUBJECT: 400 Surmont Drive/S-21-004 and S-21-023

DATE: January 11, 2023

EXHIBITS:

Previously received with the November 21, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Subdivision Notice of Exemption
5. Project Description/Letter of Justification
6. Property Photos
7. Color and Materials Board – Parcel 1
8. Color and Materials Board – Parcel 2
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24. Updated Development Plans – Parcel 2
25. Updated Story Pole Pictures and Certification Letter, installed December 23, 2022
26. Pictures of damaged story poles following storm, received January 4, 2023

Previously received with the January 11, 2023 Addendum Report:

27. Public Comment received between 11:01 a.m., Friday, January 6, 2023, and 11:00 a.m., Tuesday, January 10, 2023.



PAGE 3 OF 3

SUBJECT: 400 Surmont Drive/S-21-004 and S-21-023

DATE: January 11, 2023

EXHIBITS (continued):

Received with this Desk Item Report:

28. Parcel 1 Building Sections with Existing Grade Lines and Maximum Height
29. Parcel 2 Building Sections with Existing Grade Lines and Maximum Height
30. Roof Plans Showing Percentage of Roof Over Maximum Height
31. Applicant's response to public comments
32. Public Comments received between 11:01 a.m., Tuesday, January 10, 2023, and 11:00 a.m., Wednesday, January 11, 2023.



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STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

20 AUGUST 2019

31 JANUARY 2020  
PLANNING SUBMITTAL

23 AUGUST 2021  
PLANNING SUBMITTAL II

16 NOVEMBER 2021  
PLANNING SUBMITTAL III

29 APRIL 2022  
PLANNING SUBMITTAL IV

08 JULY 2022  
PLANNING SUBMITTAL V

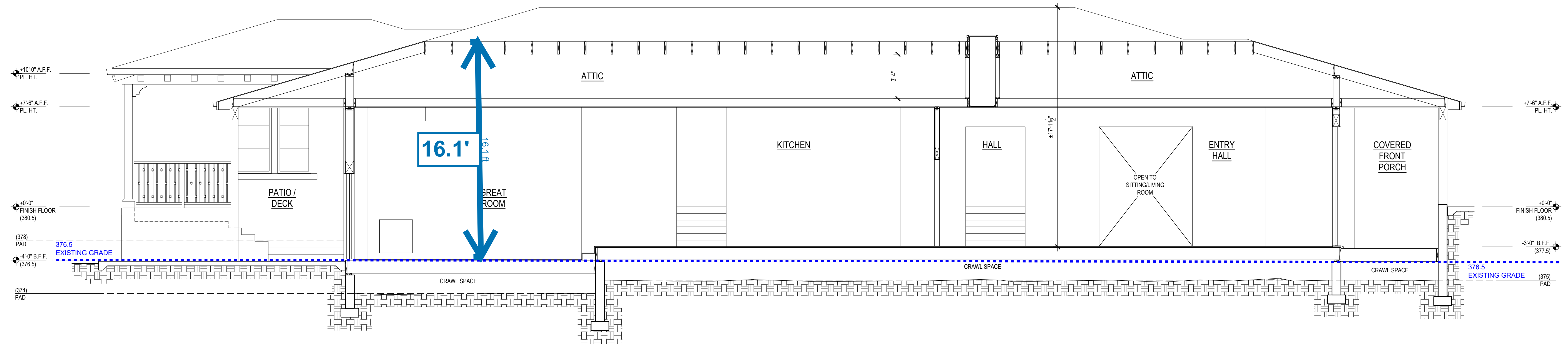
19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

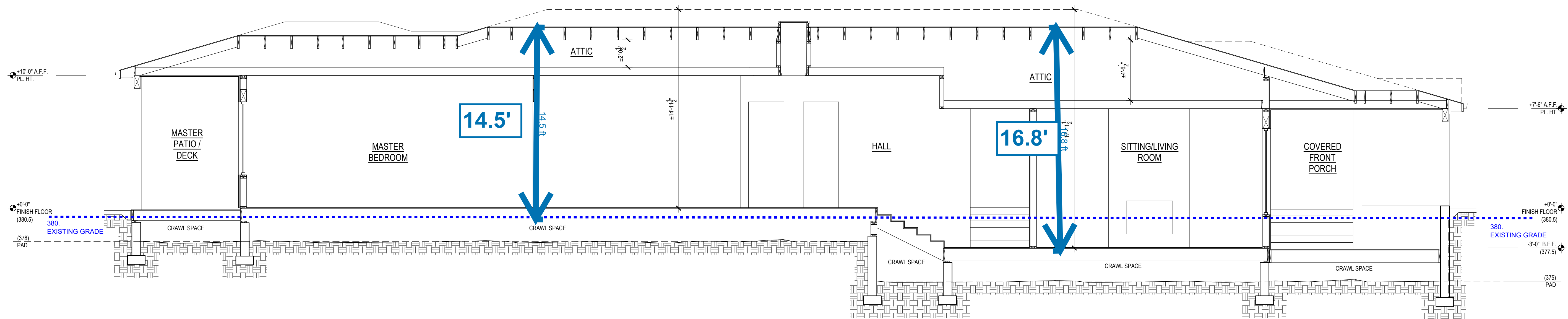
BUILDING SECTIONS

A4.1

EXHIBIT 28

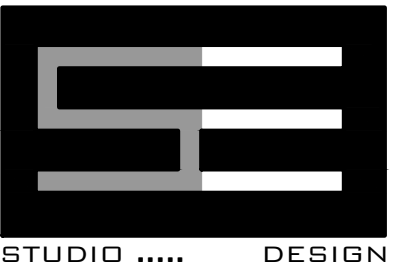


A - BUILDING SECTION



B - BUILDING SECTION



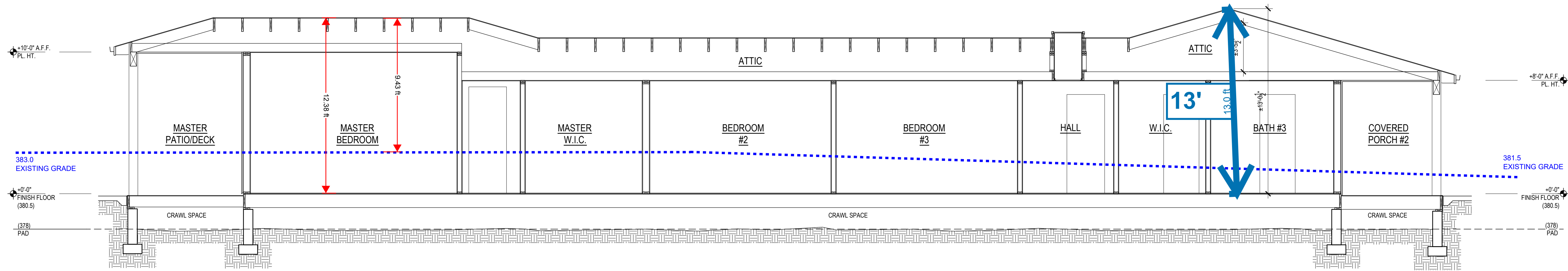


STUDIO ..... DESIGN

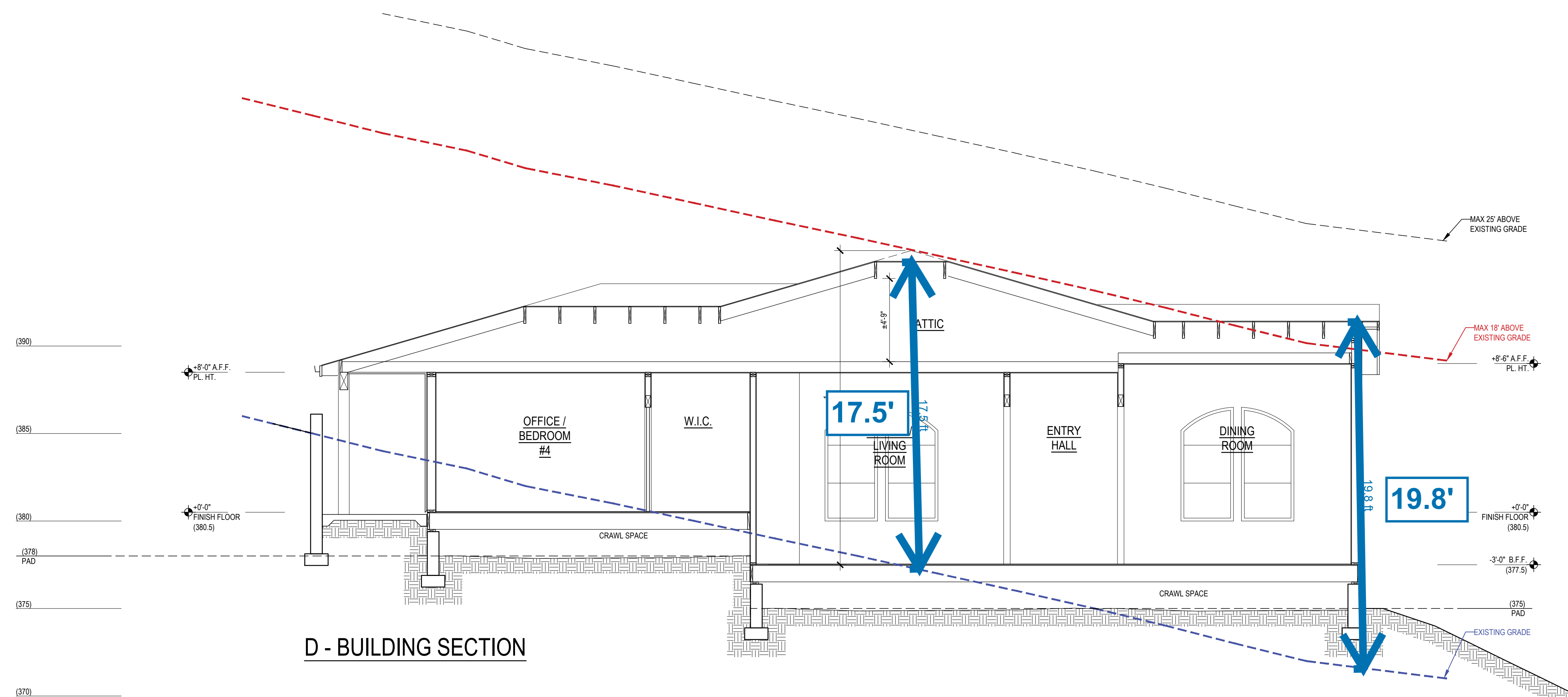
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



C - BUILDING SECTION



D - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

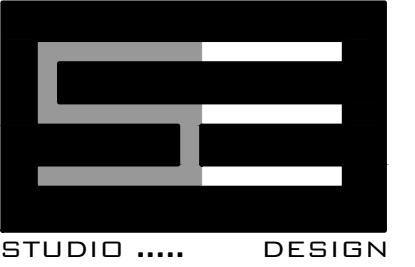
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- 23 AUGUST 2021  
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- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.2



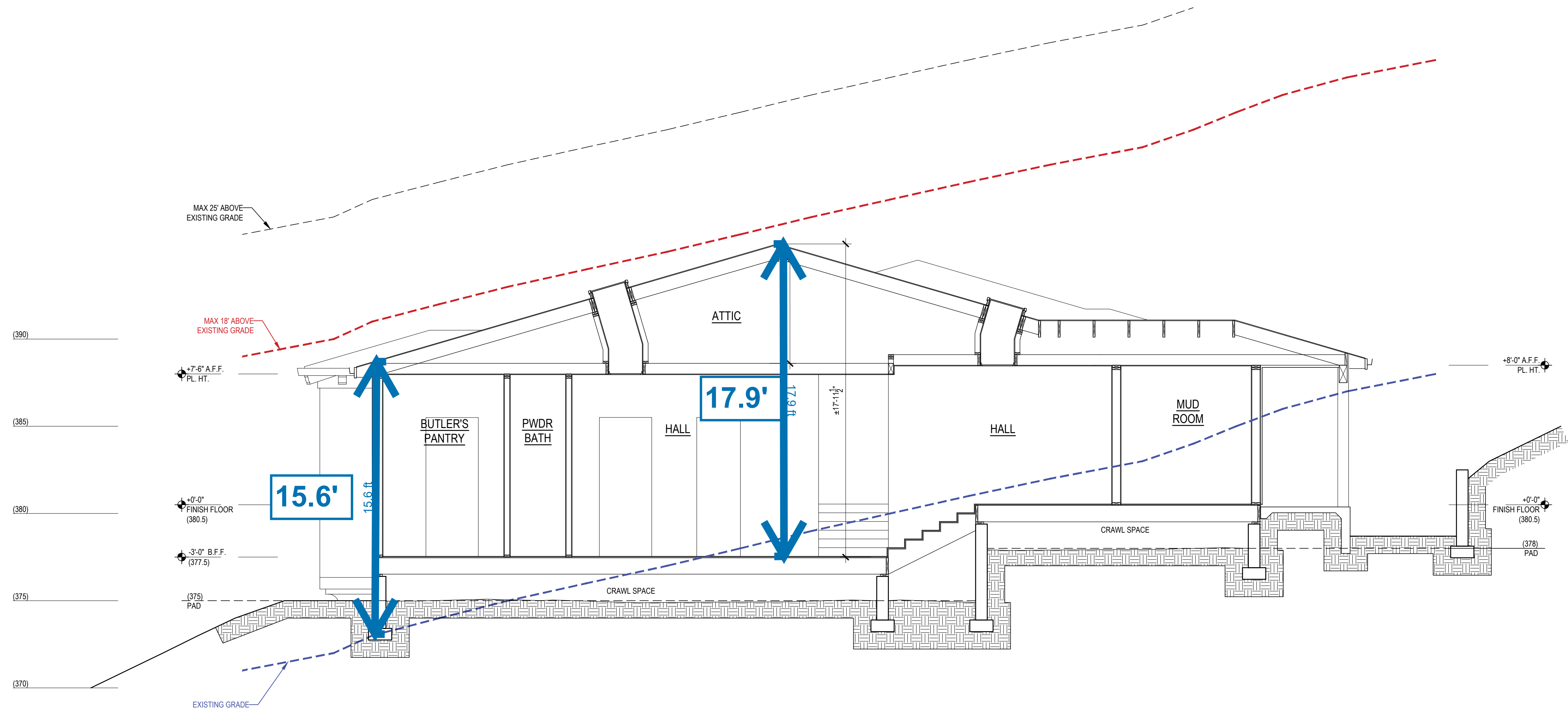


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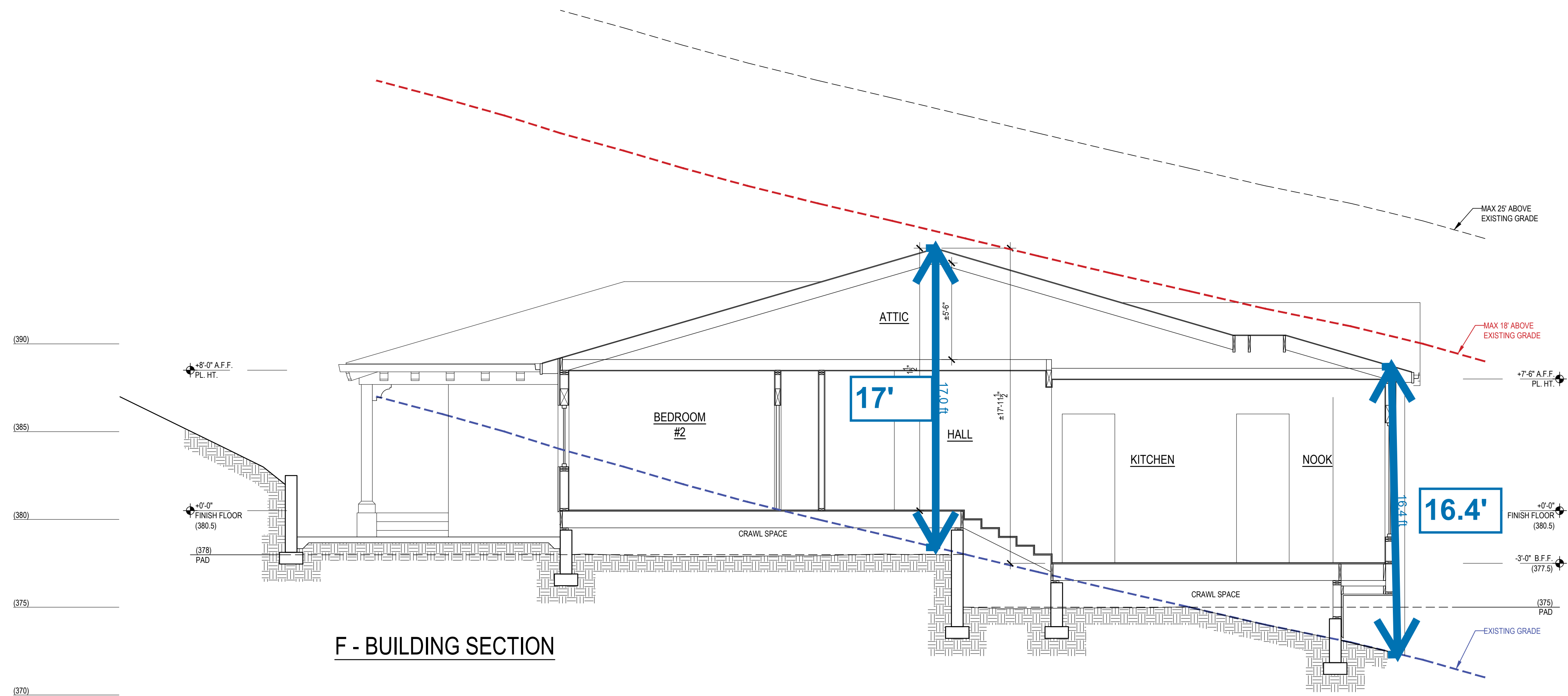
INTERIORS  
REMDELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

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E - BUILDING SECTION



F - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

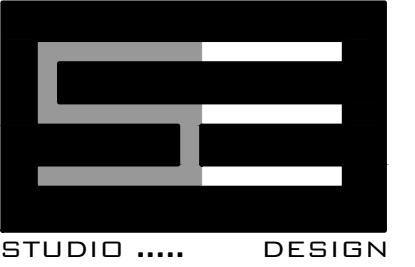
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PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
- 16 NOVEMBER 2021  
PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.3



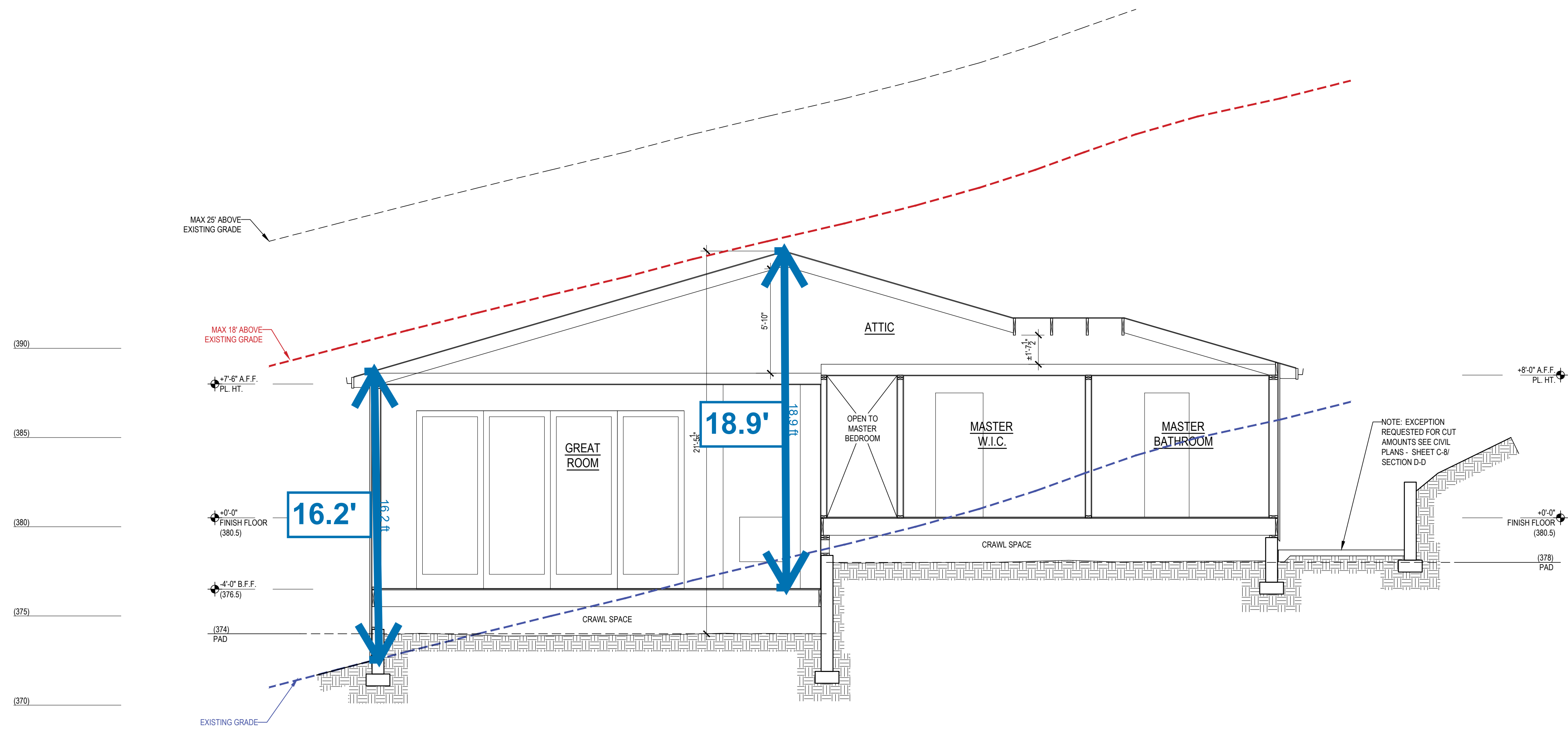


STUDIO ..... DESIGN

INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



G - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #1  
LOS GATOS  
CALIFORNIA  
95032

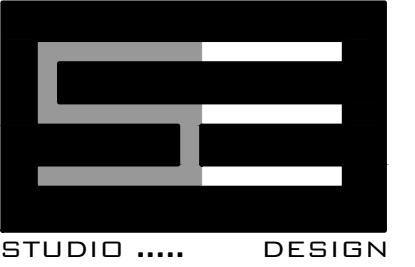
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- 23 AUGUST 2021  
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PLANNING SUBMITTAL III
- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.4



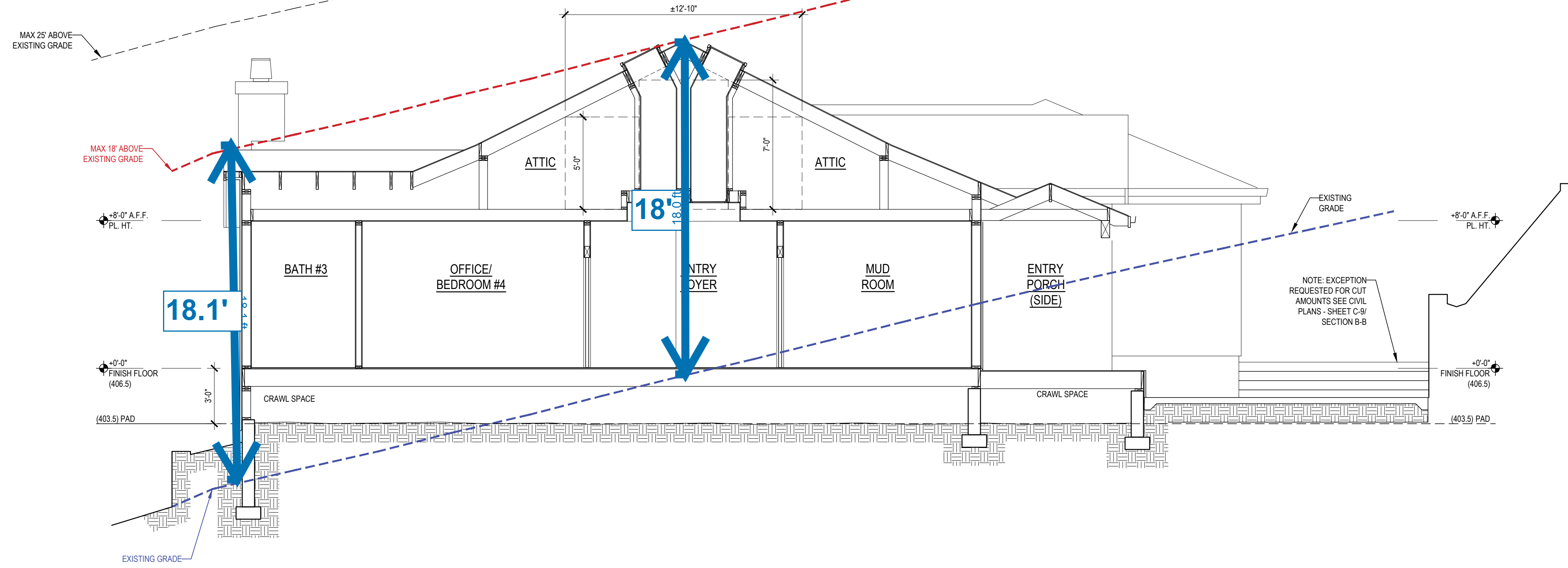


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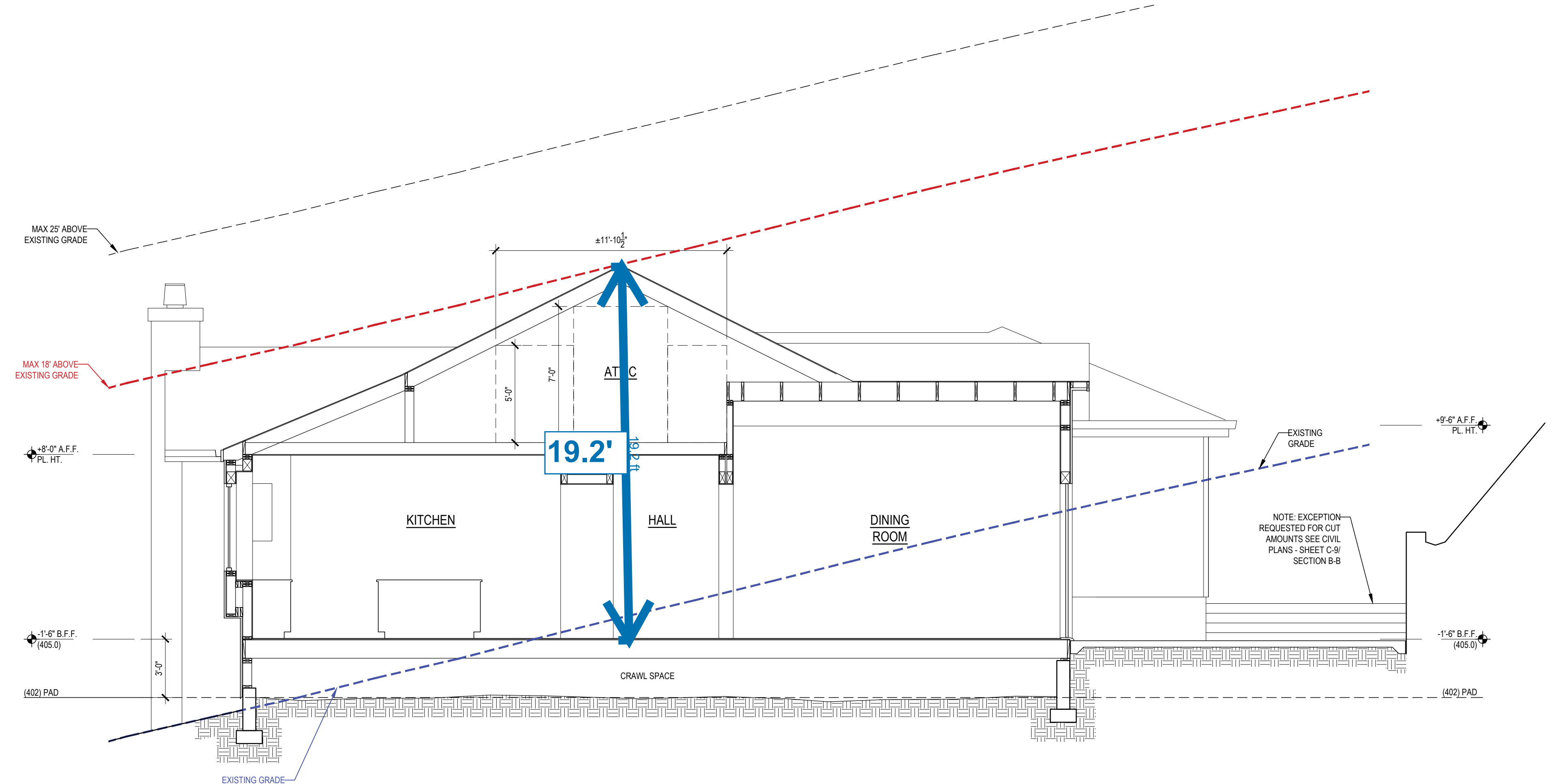
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
- 17 JANUARY 2020  
PLANNING SUBMITTAL
- 23 AUGUST 2021  
PLANNING SUBMITTAL II
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PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

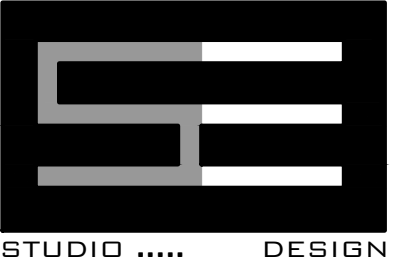
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.1

EXHIBIT 29



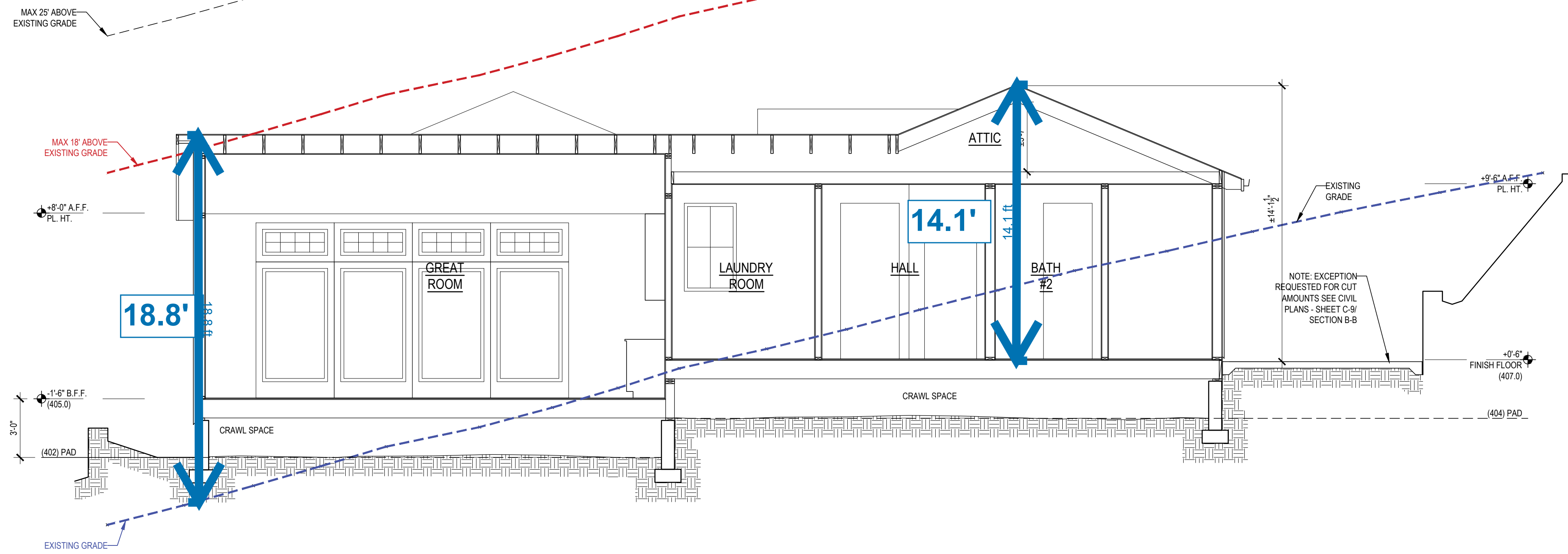


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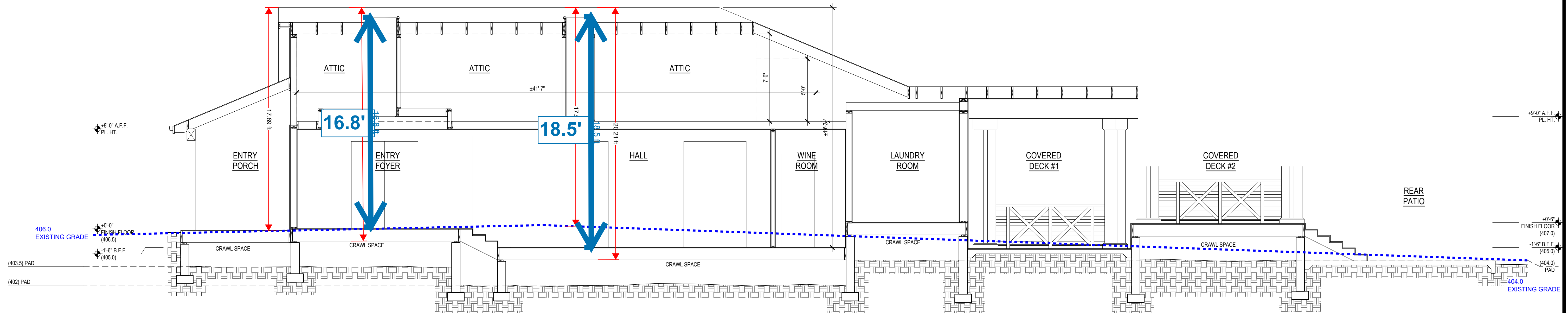
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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CALIFORNIA  
95032

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F 253.399.1125



C - BUILDING SECTION



D - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

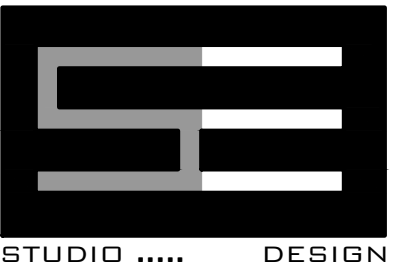
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- 17 JANUARY 2020  
PLANNING SUBMITTAL
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- 29 APRIL 2022  
PLANNING SUBMITTAL IV
- 08 JULY 2022  
PLANNING SUBMITTAL V
- 19 DECEMBER 2022  
PLANNING SUBMITTAL VII

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.2



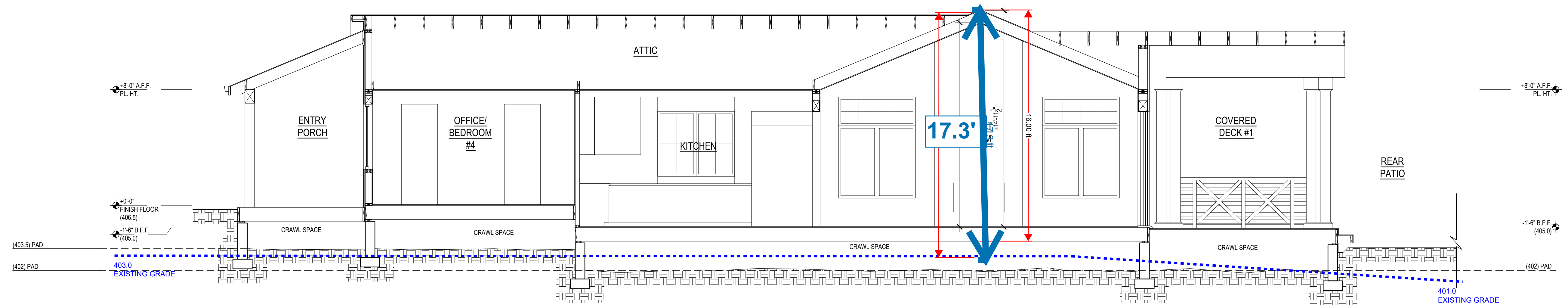


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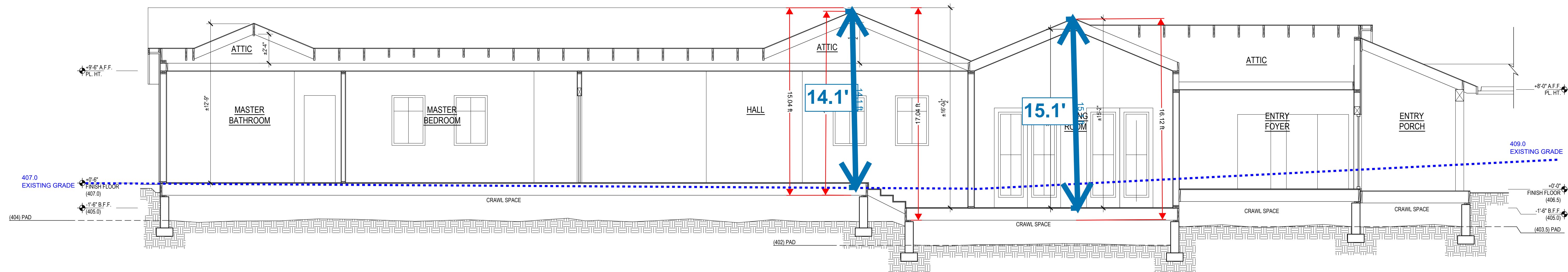
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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95032

T 408.292.3252  
F 253.399.1125



E - BUILDING SECTION



F - BUILDING SECTION

400 SURMONT DRIVE  
PARCEL #2  
LOS GATOS  
CALIFORNIA  
95032

- 20 AUGUST 2019
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PLANNING SUBMITTAL VII

SCALE: 1/2" = 1'-0"

BUILDING SECTIONS

A4.3



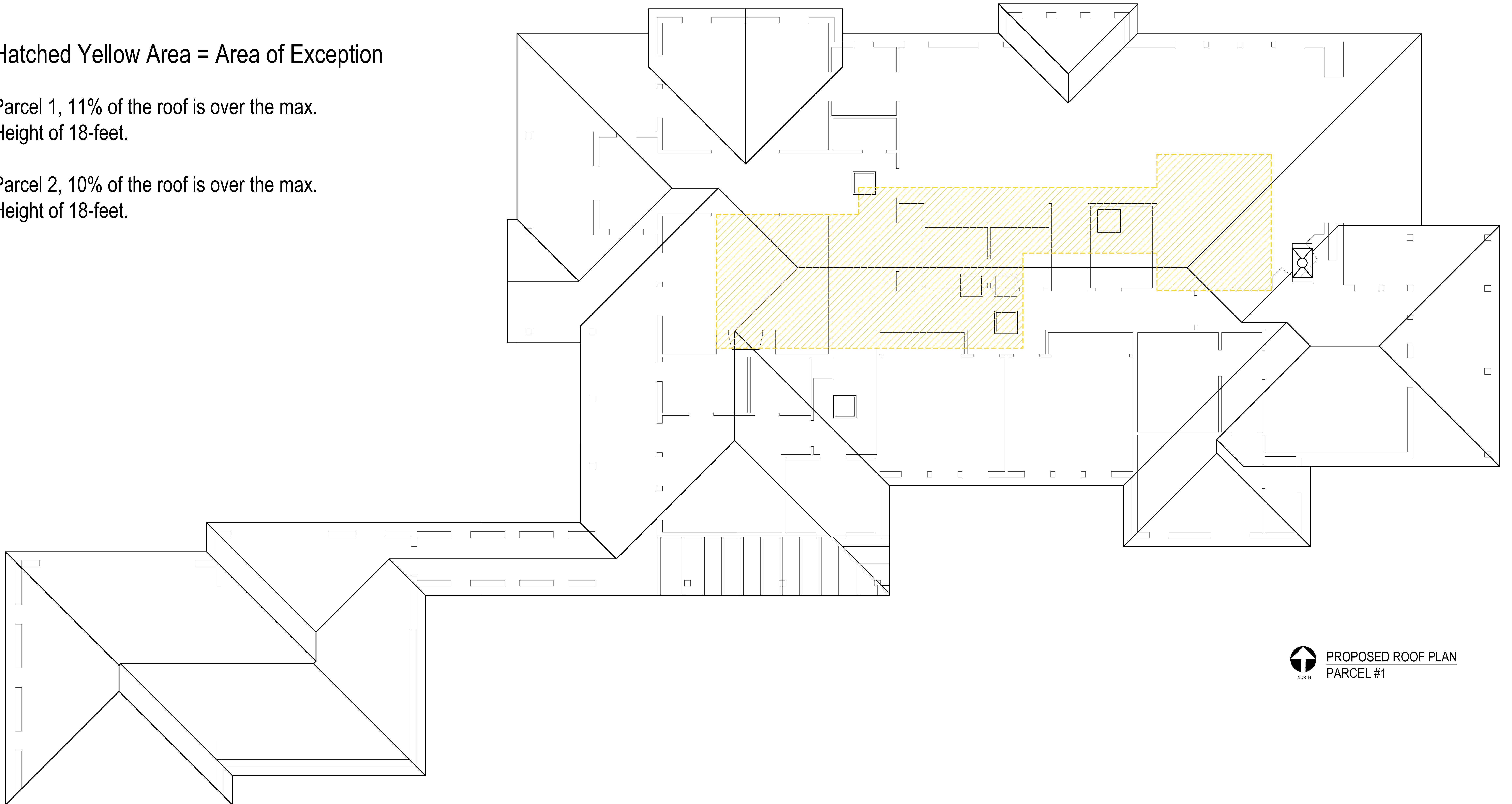
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Hatched Yellow Area = Area of Exception

Parcel 1, 11% of the roof is over the max.  
Height of 18-feet.

Parcel 2, 10% of the roof is over the max.  
Height of 18-feet.




 PROPOSED ROOF PLAN  
PARCEL #1

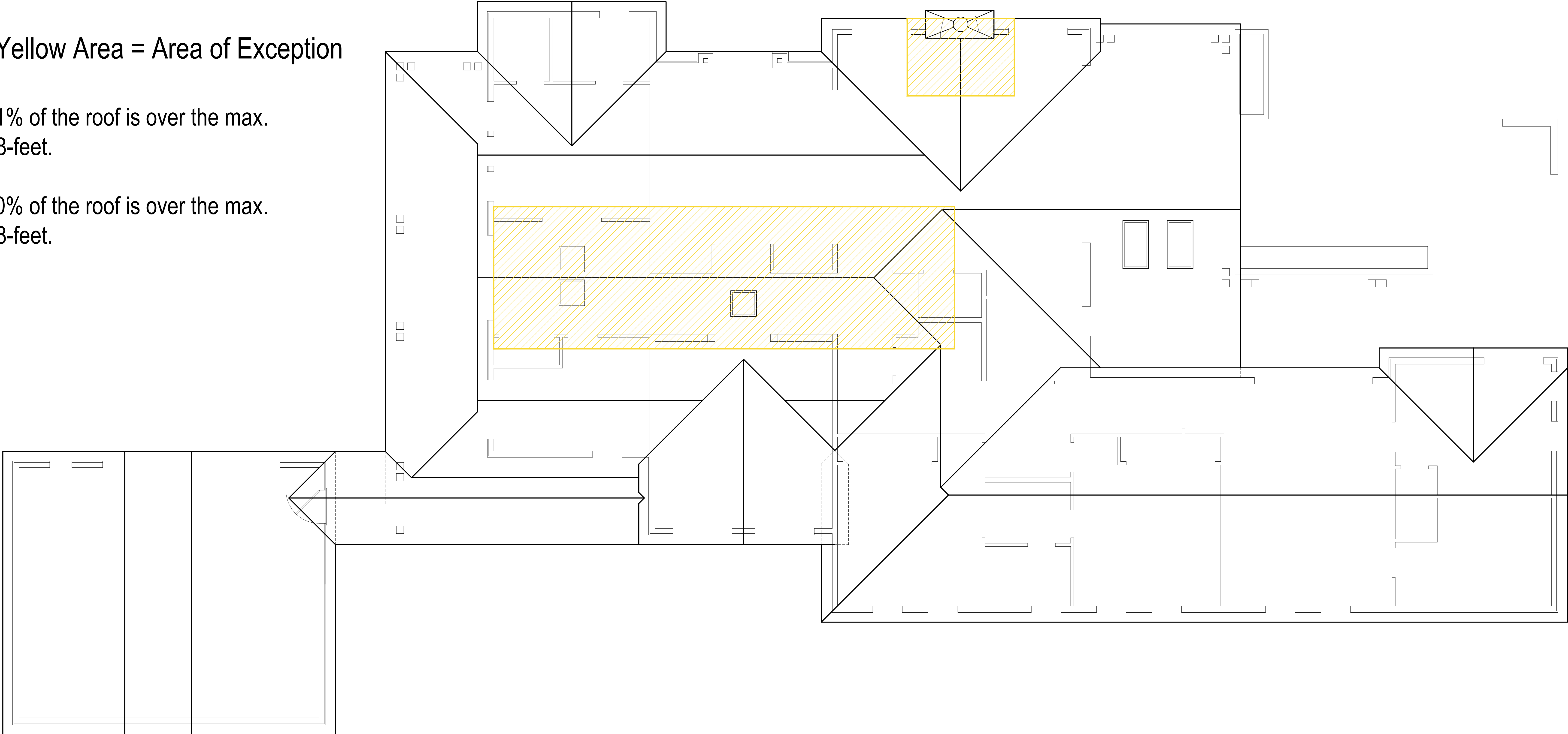
EXHIBIT 30



Hatched Yellow Area = Area of Exception

Parcel 1, 11% of the roof is over the max.  
Height of 18-feet.

Parcel 2, 10% of the roof is over the max.  
Height of 18-feet.





Hi Mike and Diane

Yesterday Ryan forwarded your latest concerns with our project to me, so I felt the need to respond and hopefully correct your interpretation of some of the issues you raise:

- It is not the requirement of the Hillside Specific Plan that new homes not be visible from the viewing platform at Los Gatos-Almaden Road and Selinda Way. One is allowed to build a home at 25' height in the Hillside Specific Plan unless it is deemed to be 24.5% visible from the viewing platform based on specific camera techniques. I did some initial story pole installation (1 pole installed for each home), and it appeared that the homes would not be 24.5% visible. When the complete story poles were installed it was determined that, in fact, the homes would be 24.5% visible. Based on the direction of the Planning Commission I lowered the height of the homes to 18' based on measurement standards from the Hillside Specific Plan. There is a less than 10% exception for each home where the overall height exceeds 18' at the noted portion of the home.
- It needs to be noted that this is open hillside land. There are no significant trees that provide any screening like the oak trees that are in front of your home. I have chosen to work within the Hillside Specific Plan to make this project compliant and compatible with the existing surroundings and the given development standards.
- The homes have been designed so that the foundations and roof lines are stepped into the hillside and follow the natural slope as suggested in the Hillside Specific Plan.
- Finish colors and materials have been carefully selected so that the homes blend into the hillside as suggested by the Hillside Specific Plan; refer to color boards submitted
- Much of the two parcels are left undeveloped to lend themselves as a continuation of your open space. Access from your property to the remaining portion of this development still exists. You have been granted an easement across the undeveloped portion of these two lots so that you can continue to maintain a portion of your property.
- Your home is designed so that your view from the majority of the rooms is away from these two homes. You have windows in your Master Bathroom and Master Bedroom and a deck off your Master Bedroom that have a minimal view of these homes. Once the proposed screening landscaping is planted combined with the fact the majority of each lot from your property to the landscape screening is left in its natural state, your view from these rooms and deck will be mostly natural.

If you wish to discuss these issues with me, please feel free to contact me at your convenience.

Respectfully Submitted  
Robert O. Hughes  
**THE BUILDING WORKS**



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Date: January 10, 2023

To: Planning Commission

Re: 400 Surmont Dr. Request For Approval Of Exceptions

Dear Commissioners,

In a letter dated Dec. 12, 2022 from Robert Hughes stated: "To work toward an 18' overall height for both homes," which is 21 feet 6 inches for Parcel 1 and approximately 22 feet for Parcel 2. The revised elevation plans and story poles do not reflect the maximum 18 feet height hill-side guide lines. Please do not approve the revised height exceptions request for both parcels.

The request to approve the grading exception should also not be approved. I concur with Lee Quintana's assessment: This is an example of designing a house and then using the constraints of the property as an excuse to not meet the Hillside Design Standards and Guidelines rather than designing a house that conforms to the existing property topography and does not need exceptions.

Regarding the proposed planting of trees and shrubs to achieve screening from neighboring homes, the Town's Botanist should provide his/her review and opinion. A local nursery stated that the California Buckeye tree is not a good screen.

The request to approve construction of a Shared Driveway for Parcels 1 & 2 should be denied and instead a Cul-De-Sac should be built and also relocating the drainage ditch should be approved based on the future development of homes for the 400 and 401 Surmont Drive properties, and more than likely, pickup of the garbage cans in the Cul-De-Sac will be approved by the two new owners.

Thank you,

Chris Tanimoto



**From:** Todd Osborne [REDACTED]  
**Sent:** Wednesday, January 11, 2023 12:58 AM  
**To:** Ryan Safty <RSafty@losgatosca.gov>; Planning Comment <PlanningComment@losgatosca.gov>  
**Cc:** Todd Osborne [REDACTED]  
**Subject:** Osborne Family Public Comment Submission: Regarding 400 Surmont Court Planning Commission Event on Wednesday 1/11/2023

**EXTERNAL SENDER**

To: Mr. Ryan Safty and Town of Los Gatos Planning Commission

Fm: Todd Osborne and Cindy Osborne Family  
[REDACTED] Los Gatos, CA 95032

Re: Public Comment Submission for Public Record, Planning Commission Hearing About 400 Surmont Drive on Wednesday 1/11/23

SENT VIA EMAIL 1/11/23

To begin this letter, we wish to thank Mr. Safty for his excellent communication and support throughout this process. His communication and detailed documentation have been extremely helpful.

We are writing to place into the public record our family's PUBLIC COMMENTS. This letter includes follow-up comments incremental to the letter we submitted prior to the November 21, 2022 planning commission meeting. We stand by all the issues raised in our letter submitted into the public record for that event and use this letter to provide additional input.

The request we make today to the planning commission is to reject all waivers for the proposal to develop 400 Surmont Court. The issues raised by our family not only affect the current development proposal for 400 Surmont Drive, but the future development of other nearby land also will become related matter(s) with many of the same issues raised here. The acreage involved are extremely inhospitable to development and present incredible problems in terms of public safety and public good for residents of the town of Los Gatos. Please do not establish a dangerous precedent for our families and our beloved town.

After reviewing communication from the developer in late December 2022 and viewing amended story poles for 400 Surmont Drive, we believe that all requested waivers for the existing 2-parcel development proposal should be rejected. Nothing of substance has changed. We understand that the



town planning staff has recommended that all waivers be rejected prior to the November meeting. None of the late December updates by the developer have changed our family's consensus with the findings of the town's planning staff last November that all waivers should be rejected.

The changes outlined by the developer do not bring either parcel 1 or parcel 2 into compliance with the Town of Los Gatos Hillside Development Standards and Guidelines. The simple reality is that the project designs do not conform. Each of the home designs, locations, access, and infrastructure simply don't work per the criteria established for the public safety and public good of Los Gatos residences. Please insist that the developer meets all existing standards and guidelines without waivers.

Our family is not anti-development; however, we absolutely reject the waivers requested because the project is completely flawed. The homes were never intended to meet the town's standards and guidelines, and the developer is now attempting to negotiate instead of making the necessary substantive changes that would remove the need for many waivers. In fact, the developer had the option of designing a development proposal that included a new cul-de-sac extension to Surmont Drive. This design would solve access and would relocate drainage to maintain public safety. This design would also avoid a lot of the infrastructure weakness including garbage pick up among other things outlined in our original letter. However, the developer decided not to proceed down that path despite that "concept" being floated (and favorably viewed by town officials) in early stages of this development. We ask the planning commission to please reject all waivers until a properly designed proposal (with all necessary attributes appropriate to meet existing town standards and guidelines for these parcels) is formally presented by the developer.

Respectfully,

Todd and Cindy Osborne

PS. As additional background, we've included an attachment, the .pdf file of our letter that was submitted prior to the 11/21/2022 planning commission meeting. This letter outlines each waiver request and explains our reasons for rejecting all waivers.

END



**Todd and Cindy Osborne Family**

**[REDACTED], Los Gatos, CA 95032**

**Los Gatos Planning Commission Members**

**Attn: Mr. Ryan Safty, Project Planner, Town of Los Gatos**

**RE: 400 Surmont Drive Development, Public Hearing Scheduled for November 21, 2022**

**DELIVERED SUNDAY 11/20/2022 VIA EMAIL: [PLANNINGCOMMENT@LOSGATOSCA.GOV](mailto:PLANNINGCOMMENT@LOSGATOSCA.GOV)**

**NOTE: DEADLINE FOR SUBMISSION PER GREEN MEETING NOTICE IS MONDAY 11.21.22 11AM**

TO: Mr. Ryan Safty and Members of the Town of Los Gatos Planning Commission;

We are writing to place into the public record our family's PUBLIC COMMENTS. Please see the following letter delivered via email to the PLANNING COMMISSION for consideration at the public hearing on Monday, November 21<sup>st</sup>, 2022 at 7pm.

Specifically, we believe the developer's plans for 400 Surmont Drive do not align with the requirements, objectives, and goals of the ***Town of Los Gatos Hillside Development Standards & Guidelines*** approved by the Town Council in 2004.

We also believe the developer's actual plan, as defined by Story Poles now in place and described in the ***Updated Revised Letter of Justification and Description*** dated August 9, 2022, is highly inconsistent with what was communicated to neighbors dating back to August 2020. The current plan and elements under consideration by the PLANNING COMMISSION should be rejected, included the 3 items listed here:

1. Construction of Shared Driveway
2. Two New Single-Family Residences to Exceed Maximum Height for Visible Homes in the Hillside
3. Grading Permit on Vacant Property Zoned HR-2 ½, APN 527-20-003

We support a fair minded, reasonable development, but only a plan that meets the town's baseline and is safe and appropriate, matching or exceeding existing standards and guidelines without exception.



## Overview Details:

After reviewing the materials provided by the developer by mail (August 2000) to our family as a “neighbor” and then reviewing additional documents subsequently uploaded by the developer and 3<sup>rd</sup> parties working on behalf of the developer, we find that many of the original promised attributes/details of the development have changed for the worse and ask the Planning Commission to review/reject all of the proposal elements and waivers until changes are made by the developer for reasons that include:

1. Open Space Views and Requirements Not Supported by Home Locations/Designs
2. Change from Single Story to Multi Story Requiring Waiver on Maximum Height
3. Safety and Access Hazards Due to Lack of Promised Generous Setbacks

The developer’s new waiver/permit requests demonstrate that the project DOES NOT meet a baseline standard to move forward and should not be given any waivers or exceptions to the town’s standards and guidelines for hillside development.

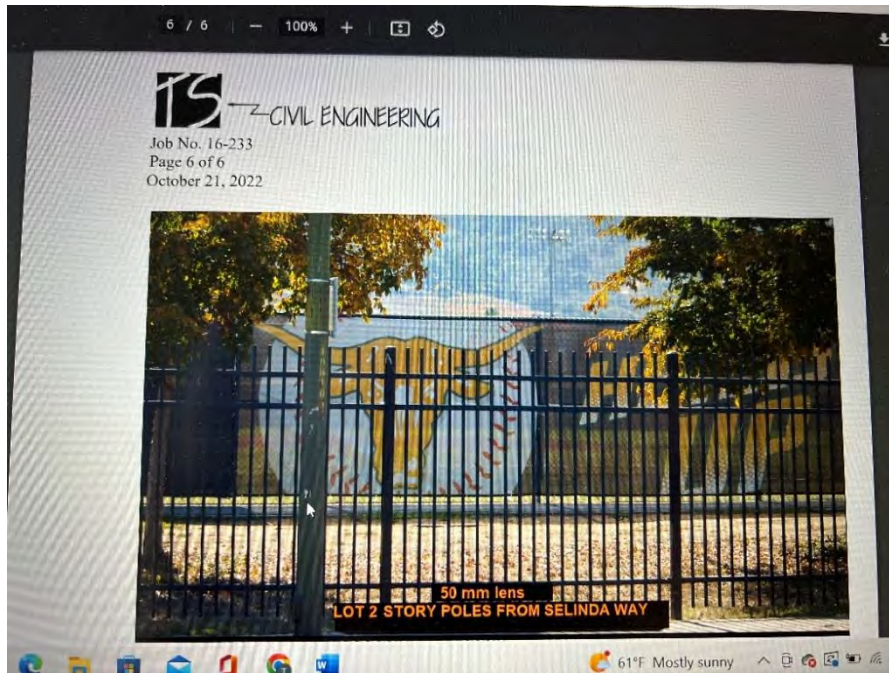
An immediate example that negatively impacts public good at large and the Town of Los Gatos can be seen in the photo below, taken from the defined town Viewing Platform, of the installed Story Poles. Homes stand out and are obvious to the naked eye (photo in 50mm focal length), with one entire home is 100% visible and the second at least 80% visible.



Oddly, the photo in the Visibility Study provided by TS Civil Engineering in the **Updated Visibility Study** document purported to be taken from the town’s Viewing Platform does not



represent the reality of the scene. The photo (50mm focal length from LG-Almaden and Selinda Way) is not from Viewing Platform and camera is directed at the ground rather than the hillside Story Pole locations. This is clear case of incorrect documentation.



Additionally, it's particularly problematic to us that the civil engineer report(s) devalue the Town of Los Gatos Hillside Standards and Guidelines, stating/implying they are archaic, bogus, and should be invalidated, using the term "illogical aberrations" and apparently not worthy of the developer's consideration or concern. See actual final paragraph:

***"It should be noted that somehow the good intentions of the Hillside Specific Plan visibility policies related to only "ridgeline projection" have evolved over 40 years to now require "invisible residences," The proposed residences are neither unsightly nor obtrusive, and the original staff who developed these policies in the 1980s would be disappointed about the present illogical aberrations..."***

The developer and civil engineer should not be permitted to submit false or misleading information to fit their preferred narrative while disregarding the Town of Los Gatos Hillside Standards and Guidelines (which exist for all residents and the public good at large).

Additional Concerns:

HILLSIDE STABILITY AND DRAINAGE: Additional impacts to the public good and the neighborhood directly below 400 Surmont Drive that we believe should be addressed by the Planning Commission include changes of hillside integrity and stability. New grading permit for



this development will absolutely affect changes to existing hillside open space. Unintended consequences that include potential for change to water runoff, altered drainage flow, increased chance of mudslide and instability, and even expanding possibility of flash flood (especially if/when the minimal existing drainage areas / culvert become blocked or collapse).

**WILD FIRE DANGER AND DRIVEWAY ACCESS:** We believe the proposed home locations and development of this hillside open space property as currently designed, increase the chance of major fire events and reduce the ability of emergency first responders to access and fight wildfire. The proposed shared driveway is a specific concern as the maximum space available is apparently limited to only 12 feet width and required fire equipment turning radius appear uncertain from plans (with construction of driveway between proposed walls, drainage culvert, and property line). Should the driveway be blocked by parked vehicle(s) there is no chance that fire engine could access up the hillside or even as far as the two proposed homes. That inability to fight a fire means a far greater chance that a fire will spread to the neighborhoods below 400 Surmont Drive and beyond.

**WILDLIFE HABITAT AND INVASIVE AFFECTS:** The positive aspects of wildlife in our neighborhood have already been impacted by hillside development activities. And unintended consequences have appeared including present in prior 24 months of dangerous animals being pushed into existing neighborhood because of development work. Rattlesnakes are now commonplace despite fact we've never seen a rattlesnake on our property before August 2020. Rodents too have infiltrated down the hillside and become problematic for the first time in over 20 years.

**PROBLEMATIC LOGISTICS OF GARBAGE COLLECTION:** The existing street design creates a significant amount of garbage can congestion two days a week (Thursday and Friday) when a large number of family homes place their garbage cans (organic, recycling, and regular garbage) in a very small area at and near the intersection of Surmont Drive and Surmont Court. Because existing and proposed hillside homes have no curbside, the existing access and visual nuisance will be made worse with large volume of new cans.

**HILLSIDE VIEW TO RIDGELINE FROM [REDACTED]:** As final photo submission confirms, our family loses a significant portion of the ridgeline view we've enjoyed in the 23 years we've lived in our home. Height waiver should not be granted for this reason as well.





Photo above taken from deck at 50mm focal length from [REDACTED]

Thank you for your attention and consideration to the issues we've raised in this letter.

Sincerely,

Todd and Cindy Osborne

[REDACTED]

Los Gatos, CA 95032



Wednesday, January 11, 2023

TO: Ryan Safty and Members of the Town of Los Gatos Planning Commission

RE: 400 Surmont Drive Development

I hope this letter finds you all doing well.

We, the homeowners of [REDACTED], ask that the current application for the development at 400 Surmont Drive be denied on the basis that the proximity of the proposed house on parcel #1 is an invasion of our privacy.

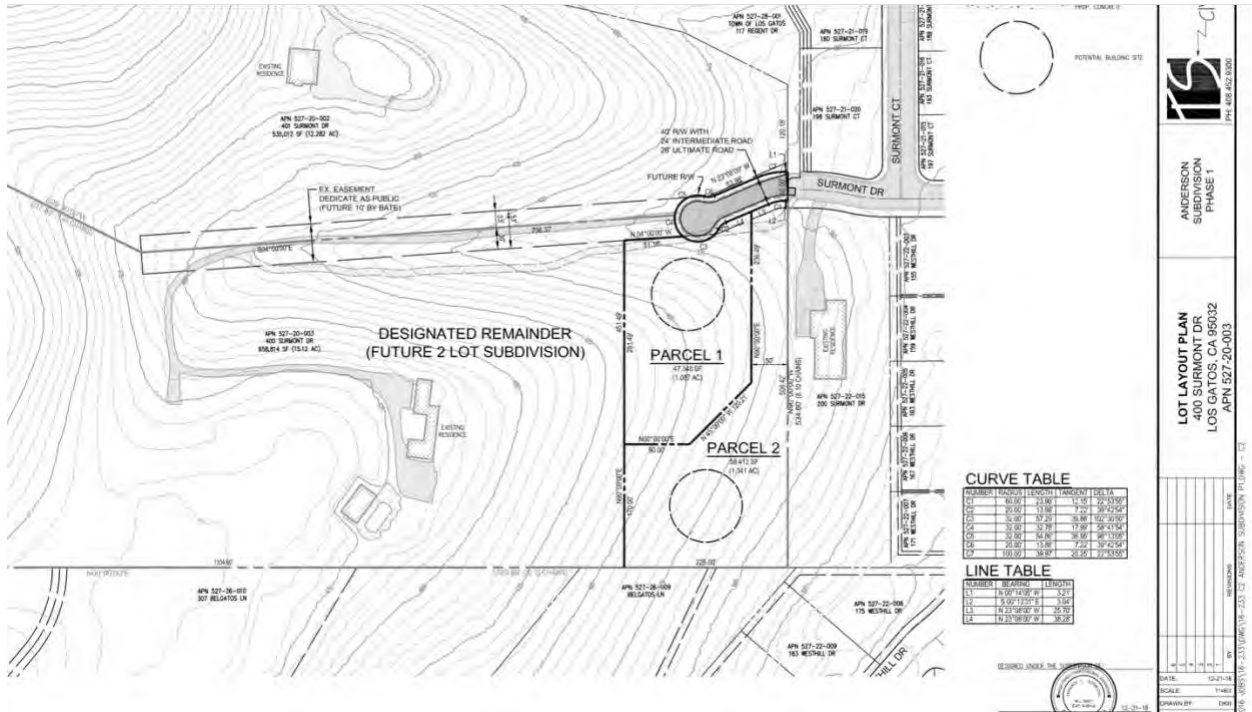
We had planned at this evening's meeting to ask the town for the same courtesy of privacy screening (tree and shrubs) that our neighbors to the east are receiving from the developer, but we have learned recently that that would be prohibited due to the Fire Defensible Space regulations. The proposed house on parcel #1 would sit exactly 20 feet from our property, and the FDS requires a minimum of 30 feet of open space. Therefore, the developer would be unable to plant any trees or bushes to protect our home from the almost 5,000 square foot house.

We respectfully ask that the house on Parcel #1 be moved to a distance of at least 30 feet from our property line so that the developers can plant trees and shrubs to protect our privacy.

Our further grievance with this whole project is based on the developer's misrepresentation of what they were going to do and where they were going to place these houses. The original proposal states: "...both houses are planned to be one-story with generous setbacks and floor plans that nestle into the hillside terrain."



This following image was presented to the town and to the neighbors indicating where the houses would approximately be placed:





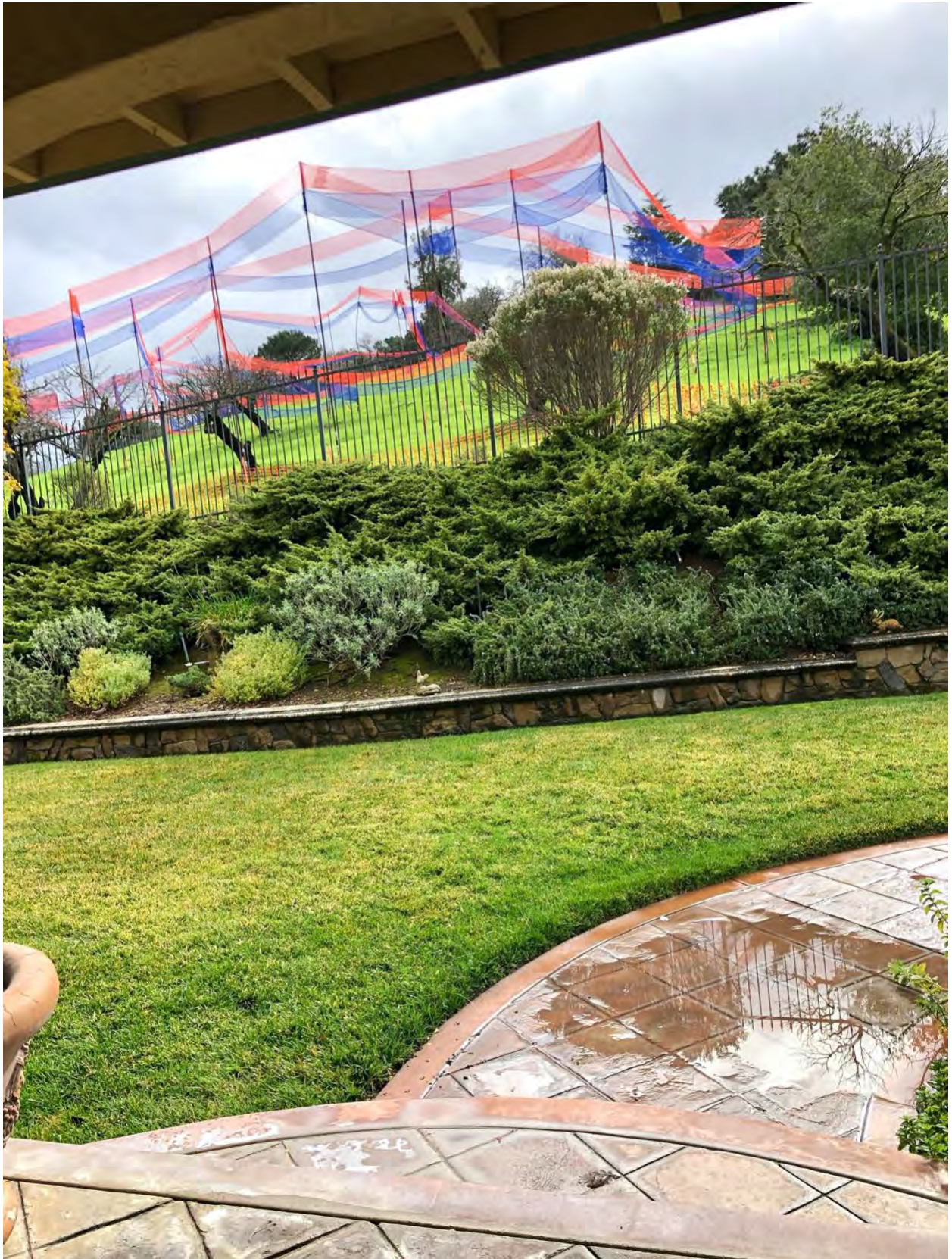
Instead, this is what we're all dealing with today: All three houses stacked on top of one another!



And, as the story polls show, this is what we at [REDACTED] are stuck with



today!





Again, Thank you for your time with this very important matter.

Respectfully,

Paul Cosentino

████████████████████



Tuesday, January 11, 2023

TO: Ryan Safty and Members of the Town of Los Gatos Planning Commission

RE: 400 Surmont Drive Development

I hope this letter finds you all doing well.

I have some news regarding the garbage can issue that I've written to you about for the past few years.

I was finally able to ascertain accurate and complete information directly from the district manager at West Valley Collection & Recycling, Virginia Palafox. I met with Ms. Palafox last Friday at her offices downtown, along with Matt Chapa, and they explained to me that WVC&R can neither guarantee nor can anyone within her office "assure" anyone that they will pick up garbage on the proposed private driveway hammerhead for the new development at 400 Surmont Drive.

The reason for this is that WVC&R will only guarantee servicing houses on public roads. They will, however, service private roads and driveways if and only if they obtain written permission from each homeowner currently living on the private road. If just one homeowner does not sign WVC&R's private road agreement – no matter how many houses reside on any given private road/driveway do sign — they will not service any of the houses.

This means that it IS possible that Surmont Drive, Surmont Court, and even Westhill Drive could be inundated with 10 to 14+ extra garbage cans from the development at 400 Surmont Drive. And, in addition, with the sale and development of the Bates' 10-acer property at 401 Surmont Drive, there could be another 7 to 14+ cans put out onto Surmont Drive. I make these statements because it is quite possible that these new future homeowners may not want a garbage truck munching up their private driveways every week, and they may choose to have their cans brought down to the street, just as is the case currently with Sandy Anderson at 400 Surmont Drive (see attached photo of typical Friday morning on Surmont Drive).

Therefore, once again, I propose that the best remedy to this situation is to work out with the developer extending Surmont Drive (just as we did when we built our home). This would provide the space needed to properly service these new houses, and avoid causing any future irreversible garbage can chaos to the neighborhood.

Thank you for your time with this very important matter.

Paul Cosentino





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 3

DATE: January 6, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned C-2. **Located at 301-307 N. Santa Cruz Avenue.** Request for Review PHST-22-020. APN 510-14-048.  
Property Owner/Applicant/Appellant: Mike Millen.  
Project Planner: Ryan Safty.

RECOMMENDATION:

Deny the appeal of the Historic Preservation Committee decision to deny the removal of a presumptive historic property (pre-1941) from the Historic Resources Inventory on property zoned C-2, located at 301-307 N. Santa Cruz Avenue.

PROJECT DATA:

General Plan Designation: Central Business District  
Zoning Designation: C-2  
Applicable Plans & Standards: General Plan, Commercial Design Guidelines  
Parcel Size: 21,000 square feet  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Commercial	Central Business District	C-2
South	Commercial	Central Business District	C-2
East	Commercial	Central Business District	C-2
West	Commercial	Central Business District	C-2

PREPARED BY: RYAN SAFTY  
Associate Planner

Reviewed by: Planning Manager and Community Development Director



PAGE 2 OF 8

SUBJECT: 301-307 N. Santa Cruz Avenue/Appeal of a Historic Preservation Committee  
Decision on PHST-22-020

DATE: January 6, 2023

CEQA:

The request to remove the property from the Historic Resources Inventory is not considered a project under the California Environmental Quality Act.

FINDINGS:

- As required to remove a pre-1941 property from the Historic Resources Inventory.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located at the northwest corner of Bachman Avenue and N. Santa Cruz Avenue (Exhibit 1). The property contains five existing primary buildings: 208 Bachman Avenue (old location of CB Hannegans); and 301, 303, 305, and 307 N. Santa Cruz Avenue. The structure at 208 Bachman Avenue was removed from the Historic Resources Inventory (HRI) by the Town Council in 1996.

On October 18, 2022, the property owner submitted materials requesting that the Historic Preservation Committee (HPC) formally remove the primary buildings on the site from the HRI due to a lack of historic significance and loss of integrity resulting from previous modifications and additions (Exhibit 3, Attachment 4).

On November 16, 2022, the HPC considered the property owner's request, including the letter of justification, research materials, and site photographs of the subject property (Exhibit 3, Attachment 4). The HPC approved the removal of 301 N. Santa Cruz from the HRI, but denied the removal of the primary buildings at 303, 305, and 307 N. Santa Cruz Avenue from the HRI (Exhibits 3, 4, and 5).

On November 18, 2022, the property owner appealed the decision of the HPC to the Planning Commission (Exhibit 6). The property owner indicated that the information provided to the HPC proved that the buildings at 303, 305, and 307 N. Santa Cruz Avenue are not historic and must be removed from the HRI.

Pursuant to Section 29.20.258 of the Town Code, the decision of the HPC may be appealed to the Planning Commission by any interested party as defined by Section 29.10.020 within 10 days of the decision.



BACKGROUND (continued):

For non-residential and mixed-use projects an interested person is defined as, “any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.” The appellant meets the requirements.

Pursuant to Town Code Section 29.20.265, the appeal shall be set for the first regular meeting of the Planning Commission in which the business of Planning Commission will permit, more than five (5) days after the date of filing the appeal. The Planning Commission may hear the matter anew and render a new decision on the matter.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located at the northwest corner of Bachman Avenue and N. Santa Cruz Avenue (Exhibit 1). The surrounding properties are zoned C-2 with commercial uses.

B. Project Summary

The property owner is appealing the HPC decision to deny a request to remove the subject presumptive historic property (pre-1941) from the HRI.

DISCUSSION:

A. Removal from the Historic Resources Inventory

Town Code Section 29.10.020 defines “Historic Structure” and includes, “Any primary structure constructed prior to 1941, unless the deciding body has determined that the structure has no historic significance and should not be included in the Town Historic Resources Inventory.”

The property owner is requesting approval to remove the subject presumptive historic property (pre-1941) from the HRI. The property owner provided a Letter of Justification, research materials, and site photographs of the subject property within their submittal (Exhibit 3, Attachment 4).



DISCUSSION (continued):

Pursuant to Town Code Section 29.80.215, the purpose of the Town's Historic Preservation Ordinance states:

It is hereby found that structures, sites, and areas of special character or special historical, architectural, or aesthetic interest or value have been and continue to be unnecessarily destroyed or impaired, despite the feasibility of preserving them. It is further found that the public health, safety, and welfare require prevention of needless destruction and impairment, and promotion of the economic utilization and discouragement of the decay and desuetude of such structures, sites, and areas.

The purpose of historic preservation is to promote the health, safety, and general welfare of the public through:

- 1) The protection, enhancement, perpetuation, and use of structures, sites, and areas that are reminders of past eras, events, and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.

When considering a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit the HPC considers the following findings:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period, or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.



DISCUSSION (continued):

B. Historic Preservation Committee

On November 16, 2022, the HPC received the staff report (Exhibit 3), opened the meeting, and considered testimony from the property owner (Exhibit 4). After asking questions of the property owner, the HPC closed the public hearing and discussed the project. The HPC voted unanimously (5-0) to deny the overall request to remove the entire property from the HRI; however, within the motion, the HPC confirmed the previous Town Council decision to remove 208 Bachman Avenue from the HRI and approved of the removal of 301 N. Santa Cruz Avenue from the HRI. The primary buildings at 303, 305, and 307 N. Santa Cruz Avenue were not removed.

C. Appeal to Planning Commission

The decision of the HPC was appealed on November 18, 2022, by the property owner, Mike Millen (Exhibit 6). Per the property owner, the appeal should be granted for the four following reasons. The four points made in the appeal are followed by staff analysis in *italic font*.

1. Appellant: 305 N. Santa Cruz Avenue was constructed in 1956 and must be removed because it is post-1941.

*At the November 16, 2022, HPC meeting, the HPC noted that the structures at 301 and 305 (formerly 303) no longer have historical significance (Exhibit 4). The letter of justification and historic research (Exhibit 3, Attachment 4) states that the structure originally built at 305 N. Santa Cruz Avenue was substantially changed in the 1960s. The original building at 305 N. Santa Cruz Avenue, which is now called 303 N. Santa Cruz Avenue, currently adjoins the corner building at 301 N. Santa Cruz Avenue, and both the left and right walls of the building no longer exist in their original form as those walls have been made into party walls with the adjoining buildings.*

*The building permit records presented to the HPC (Exhibit 3, Attachment 3) show that a building at 305 ½ N. Santa Cruz Avenue was built in 1956. Town records only included the building permit and no plans, so it is not clear what was built in 1956 as the 305 ½ address does not currently exist. The Town's 1990 Anne Bloomfield Survey notes the building at 305 N. Santa Cruz Avenue had been altered and gave the structure a historic status code of "historic and some altered but still contributor to district if there is one."*



DISCUSSION (continued):

*Lastly, the current building footprint at 305 N. Santa Cruz Avenue does not match the 1928 Sanborn Map. The Town prepared an exhibit comparing the footprints from the 1928 Sanborn Map (last edition prior to 1941) and a building permit from 2013 (Exhibit 7). Comparing 1928 footprints to 2013 footprints, the building at 305 N. Santa Cruz has been extensively altered over the years. Additionally, staff analyzed aerial photography for the site from 1931, 1948, and 1968 (Exhibit 8). Exhibit 8 shows that the building footprints along N. Santa Cruz Avenue were separated in 1931 and remained separated through 1948 (following the 1941 HRI cut-off), and then appear to have been combined by the 1968 aerial.*

2. Appellant: The integrity of 303 and 307 N. Santa Cruz Avenue are such that the structures no longer have the potential to convey significance.

*At the November 16, 2022, HPC meeting, the HPC noted that the structures at 303 and 307 still have historical significance (Exhibit 4). As noted in Exhibit 3, the 1990 Anne Bloomfield Survey notes that both 303 and 307 N. Santa Cruz Avenue are "intact" with a Town of Los Gatos Historic Status Code of "historic and intact or worthy of special note." Building Permit records for 303 and 307 N. Santa Cruz Avenue show interior remodels and minor exterior alterations; meanwhile, Exhibits 7 and 8 show that the building footprints of 301-307 N. Santa Cruz Avenue were significantly altered sometime between 1928 and 2013.*

3. Appellant: The structures are not associated with significant events, persons, types, periods, construction methods, or master work.

*Pursuant to Town Code Section 29.80.215, there are five findings for the HPC to consider when reviewing HRI removal requests (listed above in Section A of this report). The appellant claims that findings 1, 2, and 3 can be made, but did not mention findings 4 (Town history) and 5 (historic integrity). The HPC members commented that 301 and 305 N. Santa Cruz Avenue no longer have historic significance, although only 301 N. Santa Cruz was removed from the HRI. The HPC determined that the structures at 303 and 307 N. Santa Cruz Avenue still have historic significance (Exhibit 4).*



DISCUSSION (continued):

4. Appellant: Anne Bloomfield and Town staff previously decided that the buildings are not worthy of inclusion in the inventory.

*The 1990 Anne Bloomfield Survey (Exhibit 3, Attachment 2) includes 208 Bachman Avenue, and 301, 303, 305, and 307 N. Santa Cruz Avenue. The 1990 Anne Bloomfield survey does not determine whether or not a property or structure is historic and should be included in the HRI; instead, the survey identified potentially historic properties within the Town and provided an analysis on the status of each structure. This survey is used by the Town's deciding bodies to help determine if a property or structure should be included in the HRI. For the buildings fronting N. Santa Cruz Avenue (301-307), the HRI evaluation sheet within the survey noted that the cumulative rating of these buildings, "appears ineligible for designation because newer than 1941." The individual structures at 301 and 305 N. Santa Cruz Avenue are noted to have been altered with a historic status code of "historic and some altered but still contributor to district if there is one;" however, the structures at 303 and 307 N. Santa Cruz Avenue are noted to be intact with a historic status code of "historic and intact or worthy of special note."*

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of this report's preparation, the Town has not received any public comment.

ENVIRONMENTAL REVIEW:

The request to remove the property from the HRI is not considered a project under the California Environmental Quality Act.

CONCLUSION:

A. Summary

The property owner is requesting that the Planning Commission reconsider the HPC decision to deny the removal of the presumptive historic property (pre-1941) from the HRI.



CONCLUSION (continued):

B. Recommendation

For reasons stated in this report, it is recommended that the Planning Commission deny the appeal and uphold the decision of the HPC to deny the removal of the presumptive historic property (pre-1941) from the HRI.

C. Alternatives

Alternatively, the Commission can:

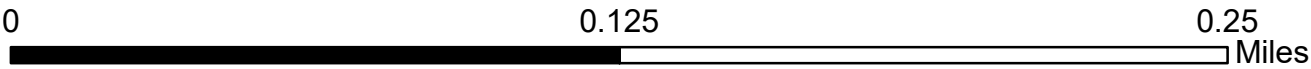
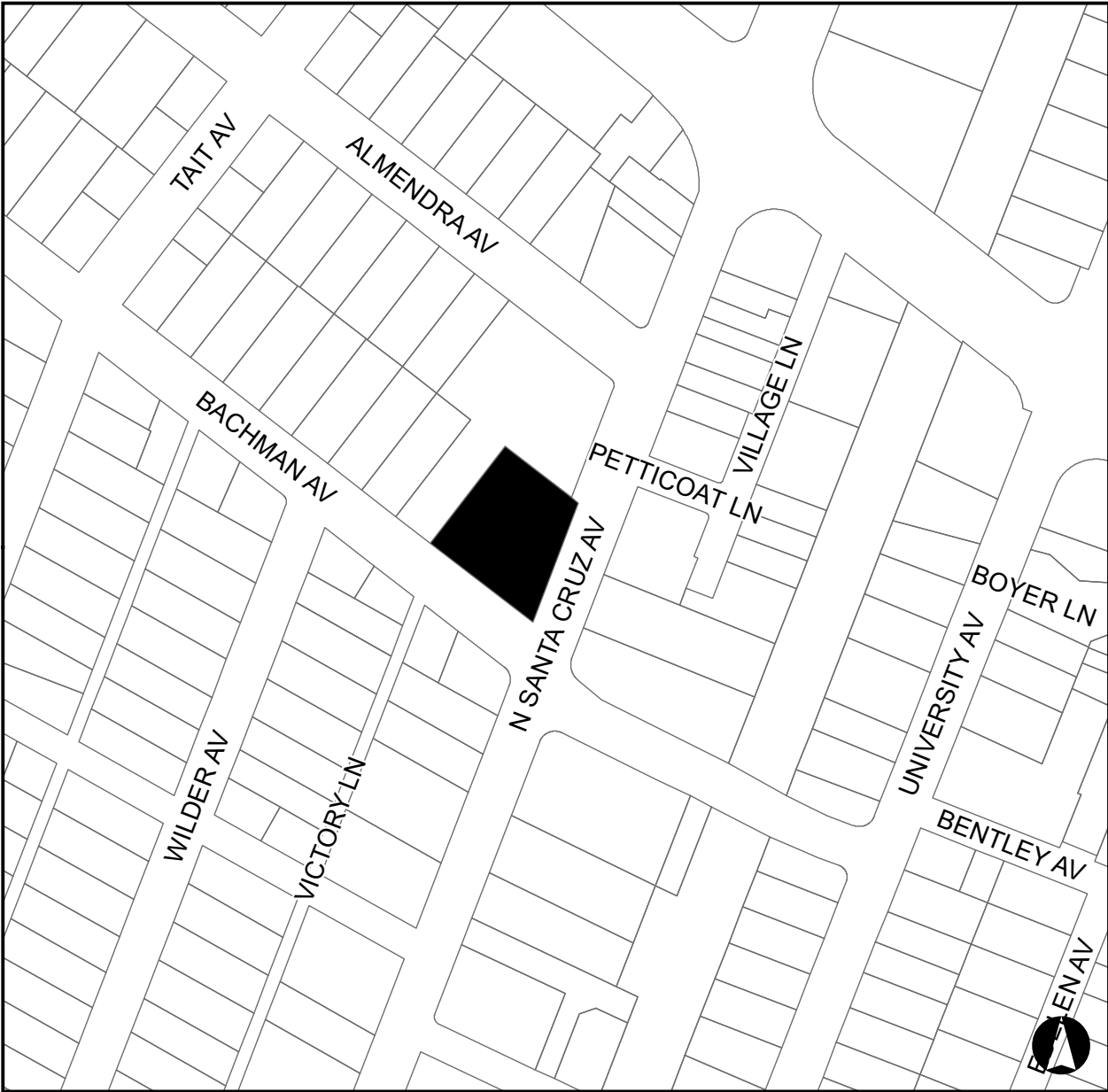
1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and remove the subject property from the HRI, making one or more of the findings provided in Exhibit 2; or
3. Remand the appeal to the HPC with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings
3. Historic Preservation Committee Staff Report and Attachments, November 16, 2022
4. Historic Preservation Committee Meeting Minutes for November 16, 2022
5. Historic Preservation Committee Action Letter, November 16, 2022
6. Appeal of the Historic Preservation Committee, received November 18, 2022
7. Historic Building Footprint Comparisons
8. Historic Aerial Photographs



# 301-307 N. Santa Cruz Ave





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**PLANNING COMMISSION – January 11, 2023**  
**REQUIRED FINDINGS FOR:**

**301-307 N. Santa Cruz Avenue**  
**Request for Review PHST-22-020**

**Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned C-2. APN 510-14-048.**

**PROPERTY OWNER/APPLICANT/APPELLANT: Mike Millen**

**FINDINGS**

**Required findings to determine that a pre-1941 structure has no significant or architectural merit:**

- As required for a determination that a pre-1941 primary structure has no historic significance or architectural merit:
  1. The structure is not associated with events that have made a significant contribution to the Town;
  2. No Significant persons are associated with the site;
  3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
  4. The structure does not yield information to Town history; or
  5. The integrity has been compromised such that the structure no longer has the potential to convey significance.



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**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

MEETING DATE: 011/16/2022

ITEM NO: 2

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DATE: November 11, 2022  
TO: Historic Preservation Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned C-2. **Located at 301-307 N. Santa Cruz Avenue.** APN 510-14-048. Request for Review PHST-22-020. PROPERTY OWNER: Millen Family Partnership, LP. APPLICANT: Mike Millen. PROJECT PLANNER: Ryan Safty.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned C-2 located at 301-307 N. Santa Cruz Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1900 per County Assessor's Database, with an effective year built date of 1910
2. Town of Los Gatos Historic Status Code: Historic and intact or worthy of special note, and historic and some altered but still contributor to district if there is one
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The subject property contains five existing primary buildings: 208 Bachman Avenue (CB Hannegans), and 301, 303, 305, and 307 N. Santa Cruz Avenue. The applicant is requesting approval to remove the property from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1900, with an effective year built date of 1910. The property is not within a historic district or LHP overlay.

PREPARED BY: RYAN SAFTY  
Associate Planner

---



DISCUSSION (continued):

The subject property is included in the Sanborn Fire Insurance maps, beginning in 1891 (Attachment 1). 208 Bachman Avenue, location of the former CB Hannigans restaurant, was previously a two-story residence, and is the only primary building on the site until 1928. The 1928 Sanborn Fire Insurance map shows a “tea room” at 301 N. Santa Cruz Avenue, and two small detached dwelling units at 305 and 307 N. Santa Cruz Avenue. The 1928-1956 map shows major additions and modifications to both 208 Bachman Avenue and 301 N. Santa Cruz Avenue.

The property is included in the 1990 Anne Bloomfield Survey (Attachment 2); specifically, 208 Bachman Avenue, and 301, 303, 305, and 307 N. Santa Cruz Avenue are listed. 208 Bachman Avenue had a historic status code of “historic and some altered but still contributor to district if there is one” and “historic but grossly altered.” The estimated age was 1890’s, with a note that the building was raised in the 1940’s. The building at 208 Bachman Avenue was removed from the historic resource inventory by Town Council in 1996.

The group of buildings fronting on N. Santa Cruz (301, 303, 305, and 307) are all also listed in the 1990 Anne Bloomfield Survey. These buildings are listed as Mediterranean style with a historic status code of “historic and some altered but still contributor to district if there is one” and “historic and intact or worthy of special note.” Both 301 and 305 are noted to have been altered, while 303 and 307 are noted as “intact.” The estimated age of the buildings is 1930’s, and remodeled in the 1960’s. The “Evaluation Sheet” within the survey shows the building ages as 1952 with a cumulative rating of 7: “appears ineligible for designation because newer than 1941.”

Town records are extensive and included in Attachment 3. As 208 Bachman has already been removed from the inventory, only the N. Santa Cruz addresses are included. Town records show that the commercial building at 301 N. Santa Cruz Avenue was constructed in 1952, with an added storefront in 1982, and a new garage door and re-roof in 2006. Records for 303 N. Santa Cruz show an interior remodel in 2006, and an expansion of the restaurant into the adjacent building at 305 N. Santa Cruz Avenue in 2010. Records for 305 N. Santa Cruz Avenue also show that the building was constructed in 1956. Lastly, records for 307 N. Santa Cruz Avenue show a building permit for alteration of the structure in 1950, as well as a re-roof permit from 1993.

The applicant’s Historic Research Submittal (Attachment 4) reflects much of the information presented above. Per the applicant’s research: the existing residence at 301 N. Santa Cruz Avenue was removed and replaced by a commercial building in 1952; 303 N. Santa Cruz Avenue appears to have been built sometime in the 1960’s; 305 N. Santa Cruz Avenue was substantially altered in the 1960’s; and substantial alterations and additions occurred to 307 N. Santa Cruz Avenue in the 1960’s. As summarized in Attachment 4, the buildings on this parcel that existed 80 years ago (per the Sanborn Fire Insurance maps) bear very little resemblance to the complex standing today.



CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, the structure would be removed from the Historic Resources Inventory and any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

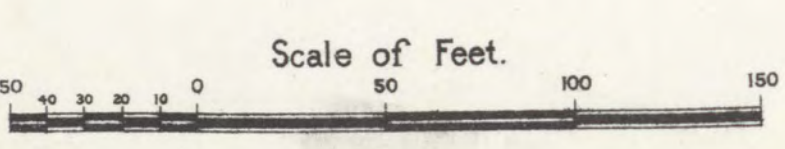
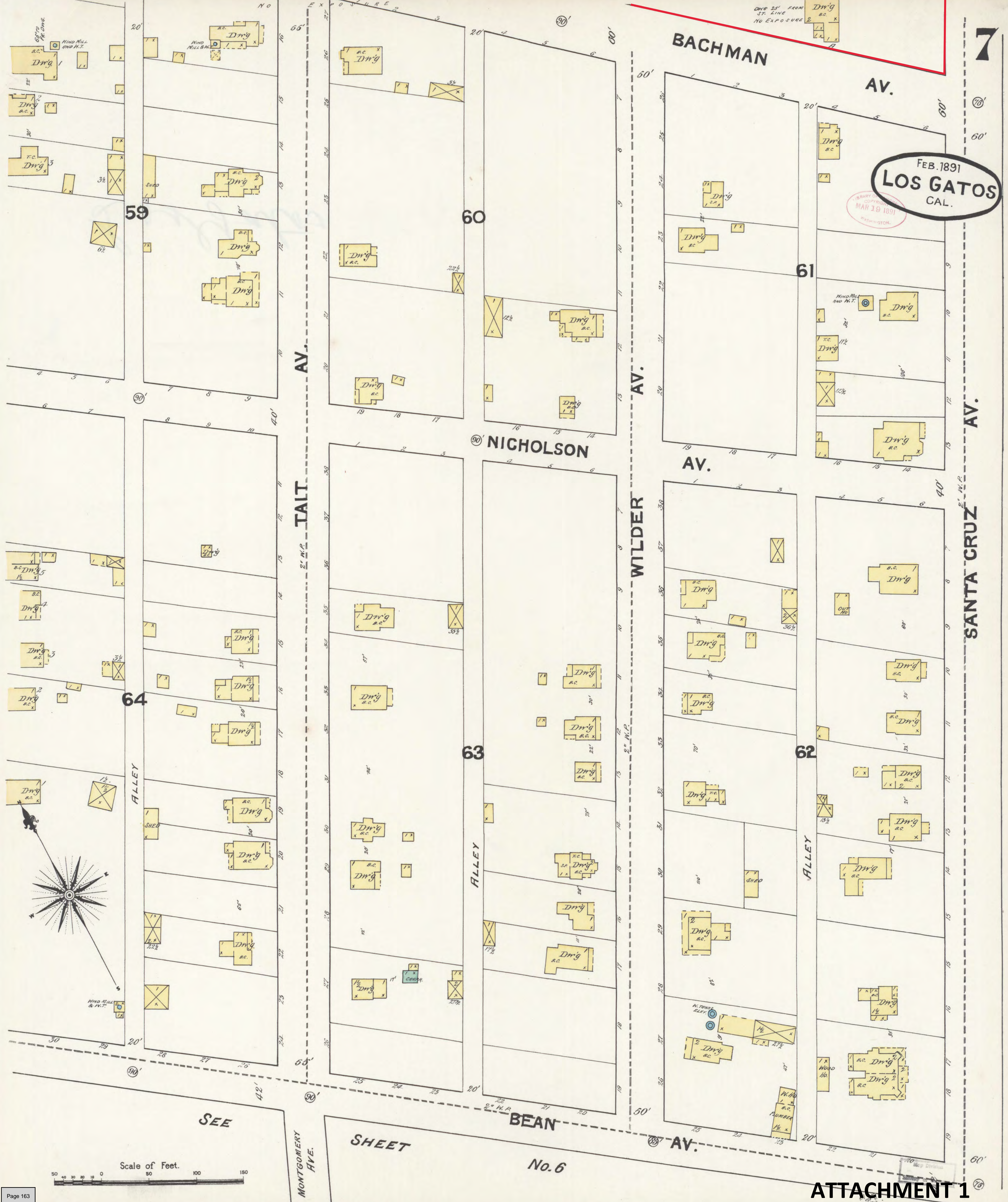
1. Sanborn Fire Insurance Maps
2. 1990 Anne Bloomfield Survey
3. Town Records
4. Applicant's Historic Research Submittal



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FEB. 1891  
LOS GATOS  
CAL.  
LIBRARY COPY  
MAR 19 1891  
WASHINGTON.





April 1895  
**LOS GATOS**  
CAL.

AV.

MASSOL

AV.

TAIT

NICHOLSEN

BACHMAN

AV.

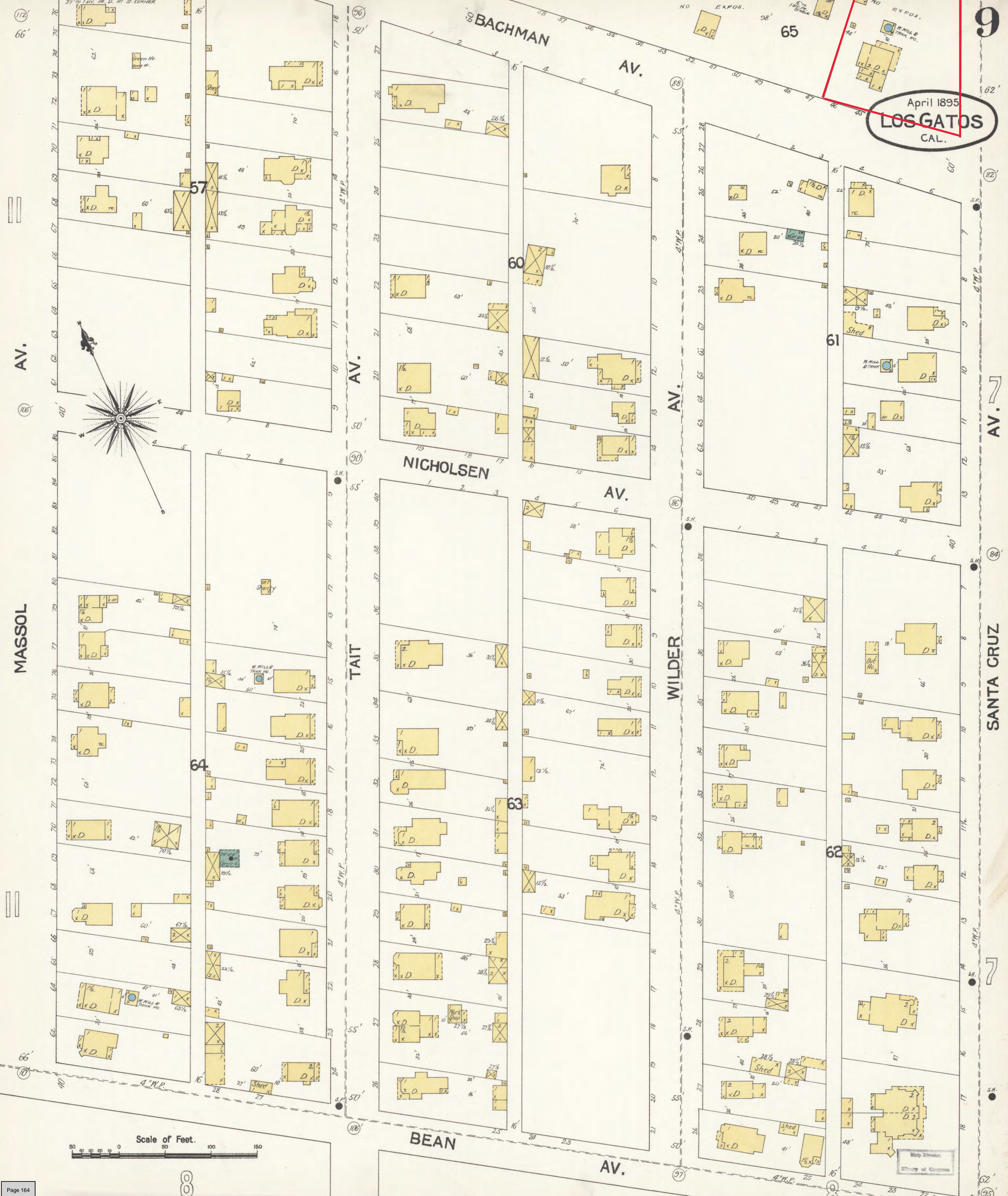
AV.

WILDER

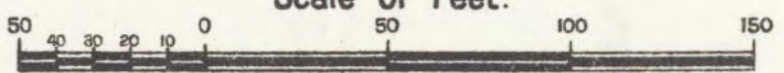
AV. 7

SANTA CRUZ

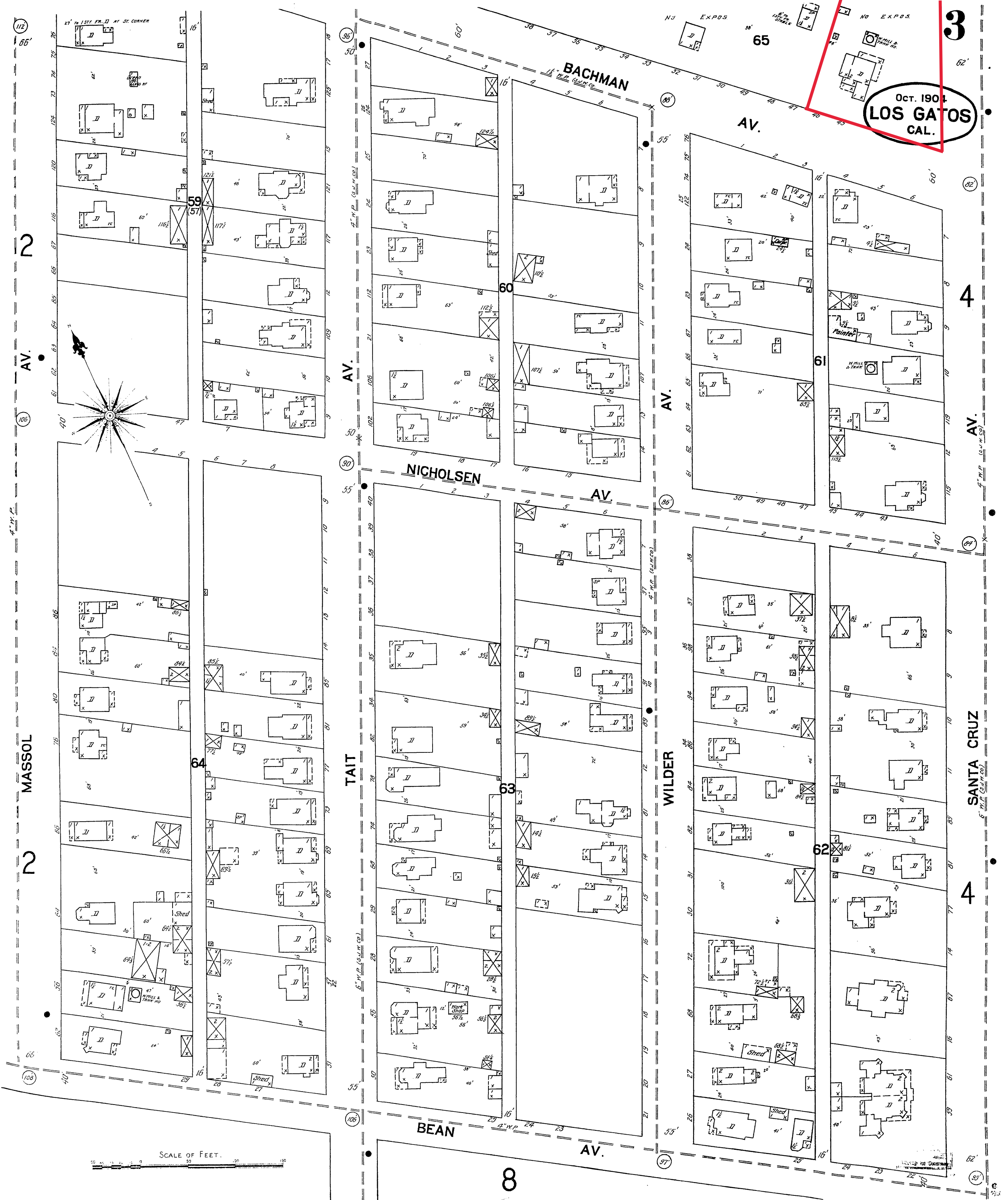
7



Scale of Feet.







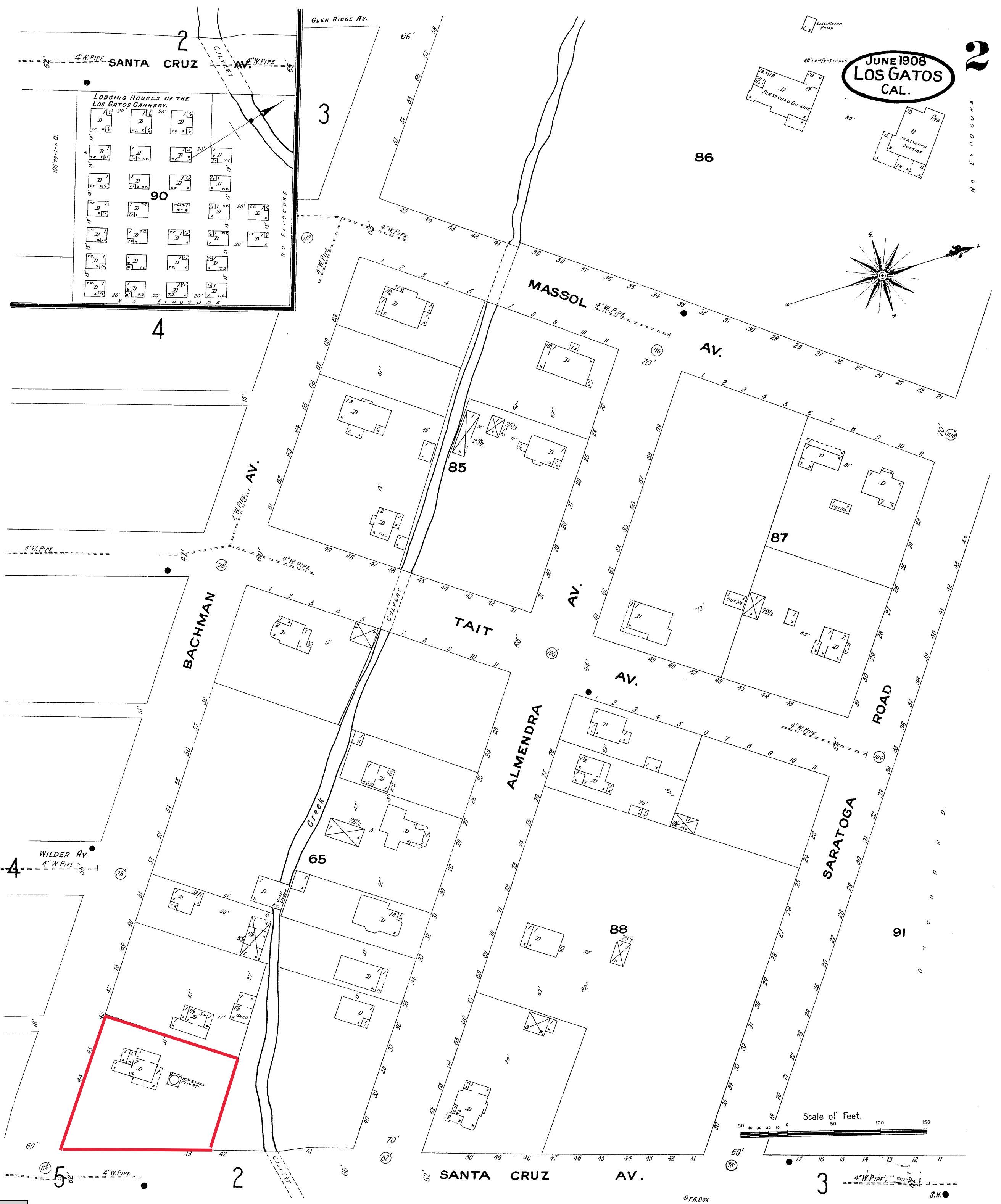
OCT. 1904  
LOS GATOS  
CAL.

SCALE OF FEET.



JUNE 1908  
LOS GATOS  
CAL.

2





6

6

MARCH 1928  
LOS GATOS  
CALIF.





6  
49

6



7

12

Scale of Feet



Copyright 1928 by The Surveyors Association



6

6





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Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

234  
C

File address 208 Bachman - "Hannegans"

PARCEL MAP INFORMATION

Parcel # 510-14-048-rear ptn Lot size: \_\_\_\_\_ front ft. x \_\_\_\_\_ ft. deep

Lot shape: Rectangle L Rectangle with small rear jog \_\_\_\_\_ Other \_\_\_\_\_

Location: N / S E W side of B St Ave / Other \_\_\_\_\_

distance to cross st: \_\_\_\_\_ ft. N S E W from \_\_\_\_\_

whole parcel at NE NW / SE SW corner of N Santa Cruz

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Messel Sub Old Block # 1 Old lot # ?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating loc R Estimated age 1890s, raised 1940s. Style orig. house OA # stories \_\_\_\_\_

Alterations restaurant add'ns out to street

Other house behind

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date \_\_\_\_\_

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date \_\_\_\_\_  
County Inventory 1979 \_\_\_\_\_  
Town of Los Gatos: Designation \_\_\_\_\_ Recognition \_\_\_\_\_  
District Name \_\_\_\_\_  
Previous Survey \_\_\_\_\_  
Gebhard: page # \_\_\_\_\_ illustration page # \_\_\_\_\_  
Butler/Junior League \_\_\_\_\_

PHOTOS: Roll/frame # 011/32,33 Date 2-11-89





Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY  
 LOS GATOS RESEARCH

649

File address 301-03-05-07 N. Santa Cruz

PARCEL MAP INFORMATION

Parcel # 510-14-048-E pln Lot size: 157 front ft. x 115-160 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other □ + diag. of NISC

Location: N    S    E    W    side of    St    Ave    Other   

distance to cross st:    ft. N    S    E    W    from   

at NE    NW    / SE    SW    corner of NISC & Bachman

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Massal Sub Old Block # 1 Old lot # ? 20?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating √+√+ Estimated age 1930s <sup>1960s</sup> Style Med # stories 1

Alterations

Other 301-Rem. 303 Med. 305 LG Beauty Outlet. 307 "Design Mine" - 4 shops

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy)

Effective date   

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908	13	NW SC2 & Bachman	160x160	A Jensen
Survey	1944				

MISCELLANEOUS

National Register listed date   

County Inventory 1979   

Town of Los Gatos: Designation    Recognition   

District Name   

Previous Survey   

Gebhard: page #    illustration page #     
 Butler/Junior League   



# 007/012.33 Date 2 Nov 89

303

305

307

group





LOS GATOS HISTORIC RESOURCES INVENTORY

EVALUATION SHEET

Building or District Name Commercial Stores

Address(es) 301-303-305-307 North Santa Cruz Ave.

Criterion	This Building	Ratings
<b>A. ARCHITECTURE</b>		
1. Building type	<u>4 stores, 1-story</u>	E VG <u>G</u> FP
2. Construction	<u>concrete block (per B.P.)</u>	E VG <u>G</u> FP
3. Style :	<u>Mediterranean - pretty good ex.</u>	E VG <u>G</u> FP
4. Architect	<u>Frank C. Troseder</u>	E <u>VG</u> G FP
5. Design	<u>zigzag footprint <sup>miniaturizes</sup> fits diagonal plot</u>	E <u>VG</u> G FP
6. Interior	<u>—</u>	E VG G <u>FP</u>
<b>B. HISTORY</b>		
7. Age	<u>1952</u>	E VG G F <u>P</u>
8. Person(s)	<u>A. Jensen (developer)</u>	E VG G <u>FP</u>
9. Event	<u>—</u>	E VG G <u>FP</u>
10. Patterns	<u>commercial devel. moves north</u> <u>(primary imp, loosely con.)</u>	E <u>VG</u> G FP
<b>C. ENVIRONMENT</b>		
11. Scale/Massing	<u>important - maintains small shops scale</u>	E <u>VG</u> G FP
12. Setting	<u>landscaping in zigzag</u>	E <u>VG</u> G FP
13. Landmark	<u>inconspicuous</u>	E VG G <u>FP</u>
<b>D. INTEGRITY</b>		
14. Alterations	<u><sup>301,305</sup> 2 of the 4 shops altered, <sup>303+307</sup> 2 intact</u>	E VG <u>G</u> FP

CUMULATIVE RATING: 3    Appears eligible for National Register.  
 4    May become eligible for National Register.  
 5    Appears eligible for local designation.  
 D    Contributor to district that is any of the above.  
 N    Non-contributor to the district.  
 6    Appears ineligible for designation, but older than 1942.  
 7    Appears ineligible for designation because newer than 1941.



Evaluated by: B  
 Reviewed by: ML  
 Reviewed by: \_\_\_\_\_  
 Reviewed by: \_\_\_\_\_

Date -3-91  
 Date 4-16-91  
 Date \_\_\_\_\_  
 Date \_\_\_\_\_



LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Commercial Stores

Address(es) 301-07 N. Sta. Cruz

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	(2)	0	Type		
10	5	(2)	0	Construction		
10	5	(2)	0	Style		
8	(4)	2	0	Architect		
25	(12)	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	( <u>0</u> )	Interior	—	<u>22</u>
	16	6		ARCHITECTURE		(Max. 50)
10	5	2	(1/0)	Age		
15	8	4	(0)	Person		
10	5	2	(0)	Event		
<u>15</u>	( <u>8</u> )	<u>4</u>	<u>0</u>	Patterns	—	<u>8</u>
				HISTORY		(Max. 25)
25	(12)	6	0	Scale/Massing		
8	(4)	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	( <u>0</u> )	Landmark	—	<u>16</u>
				ENVIRONMENT		(Max. 25)
0	-6	(-12)	125	INTEGRITY	—	<u>-12</u>

Cumulative Rating: CUMULATIVE TOTAL 34

- 60+ = 3 (appears eligible for National Register)
- 40-59 = 5 (appears eligible for local listing)
- 23-59 = D (contributor to district rated one of the above)
- (22-) = 6 or 7 (ineligible) or non-contributor







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# APPLICATION FOR BUILDING PERMIT

Date June 12 1952

The undersigned herewith makes application for the

Construction of 1 Story

concrete block Building, of

Type Construction, no basement, to be used and

occupied as Comm Building

Foundation to be slab floor

With a footing of 16 in. 8 in. top and 4 in. high

Outside walls to be concrete block

Interior to be Plaster & concrete block

The roof will be iron & asbestos J.M.

supported by 2x8 rafters 16" c.

Will be heated by Gas with truss flue

Estimated value, \$ 25000

..... hereby agree to save, indemnify and keep harmless the Town of Los Gatos against all liabilities, judgements, costs and expenses which may in any wise accrue against said city in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street, or sub-sidewalk place by virtue thereof, and will in all things strictly comply with the conditions of this permit.

Owner Anton M. Jensen Address Montebello & Piedmont

Architect Frank C. Peterson Los Gatos

Contractor Delfo Los Gatos

No. 1401

## BUILDING PERMIT

TOWN OF LOS GATOS

Inspector's file No.  
Department of Building & Inspection

PERMIT is herewith granted to Anton M. Jensen

Location 301 NSC Ave. Montebello & Piedmont Ave

for Construction in accordance with plans and specifications approved, and now on file in this office.

Receipt for 1000 Dollars as fee, is hereby acknowledged.

Contractor Delfo Dated June 12 1952

J.M. Peterson Building Inspector

THIS PERMIT MUST BE POSTED ON THE JOB



# TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95008  
BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

## APPLICATION FOR BUILDING PERMIT

✓  
B 9656 1

FOR APPLICANT TO FILL IN

BUILDING ADDRESS <b>301 N. Santa Cruz Ave. Los Gatos</b>				
LOT NO	TRACT			
USE OF EXISTING BUILDING	SIZE OF LOT <b>61x70</b>			
OWNER <b>Bert Milken</b>	NO. OF BUILDINGS NOW ON LOT <b>1</b>			
ADDRESS <b>301 N. Santa Cruz Ave. Los Gatos</b>	PH <b>354-6006</b>			
ARCHITECT OR ENGINEER <b>owner</b>	PH <b>same</b>			
ADDRESS				
CONTRACTOR <b>Thornhill Construction Inc.</b>	PH <b>258-7011</b>			
ADDRESS <b>2478 Lone Oak Dr. San Jose 95121</b>				
STATE LICENSE <b>336956</b>	TOWN LICENSE			
<b>DESCRIPTION OF WORK</b>				
NEW	ADD	ALTER	REPAIR	DEMOLISH
		<b>15 #</b>		
<b>AREAS</b>				
BASE	2nd fl.	GAR	BSMT	OTHER
<b>15 #</b>				
<b>USE OF STRUCTURE</b>		<b>DESCRIPTION OF WORK</b>		
<b>Retail Furniture Store. Add storefront door at secondary entrance w/ slab to match side blk elev. ESTIMATE \$2,000</b>				
		ESTIMATE # <b>2,000</b>		

BUILDING PERMIT APPROVAL		DATE
PLAN DEPT.	<i>[Signature]</i>	<b>3/16/82</b>
PUBLIC WORKS	<i>[Signature]</i>	<b>3/16/82</b>
FIRE DEPT.	<i>[Signature]</i>	<b>1/1</b>
BUILDING DEPT.	<i>[Signature]</i>	<b>3/16/82</b>
SEWER CONNECT		
FR SB	TYPE CONST	
REAR SB	W/C GROUP	
LEFT SB	USE ZONE	
RIGHT SB	FIRE SPR	
VALUATION	<b>\$ 2,000</b>	
<b>FEES &amp; TAXES</b>		
BUILDING PERMIT	<b>\$ 32</b>	<b>SD</b>
SEISMIC TAX		<b>SD</b>
CONSTRUCTION TAX		
UTILITY TAX		
PLAN CHECK FEE		
<b>TOTAL</b>	<b>\$ 33</b>	<b>00</b>

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

NOT APPLICABLE

**CONTRACTORS DECLARATION**

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW

SIGNATURE **x David Larimer Jr.**

**COMPLETE A OR B**

**WORKER'S COMPENSATION DECLARATION**

**A** I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE **x David Larimer Jr.**

**INSPECTION RECORD**

*[Handwritten notes and signatures]*

*[Signature]*

*[Signature]*

**CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**

**B** I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA

SIGNATURE **x David Larimer Jr.**

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

*[Signature]*

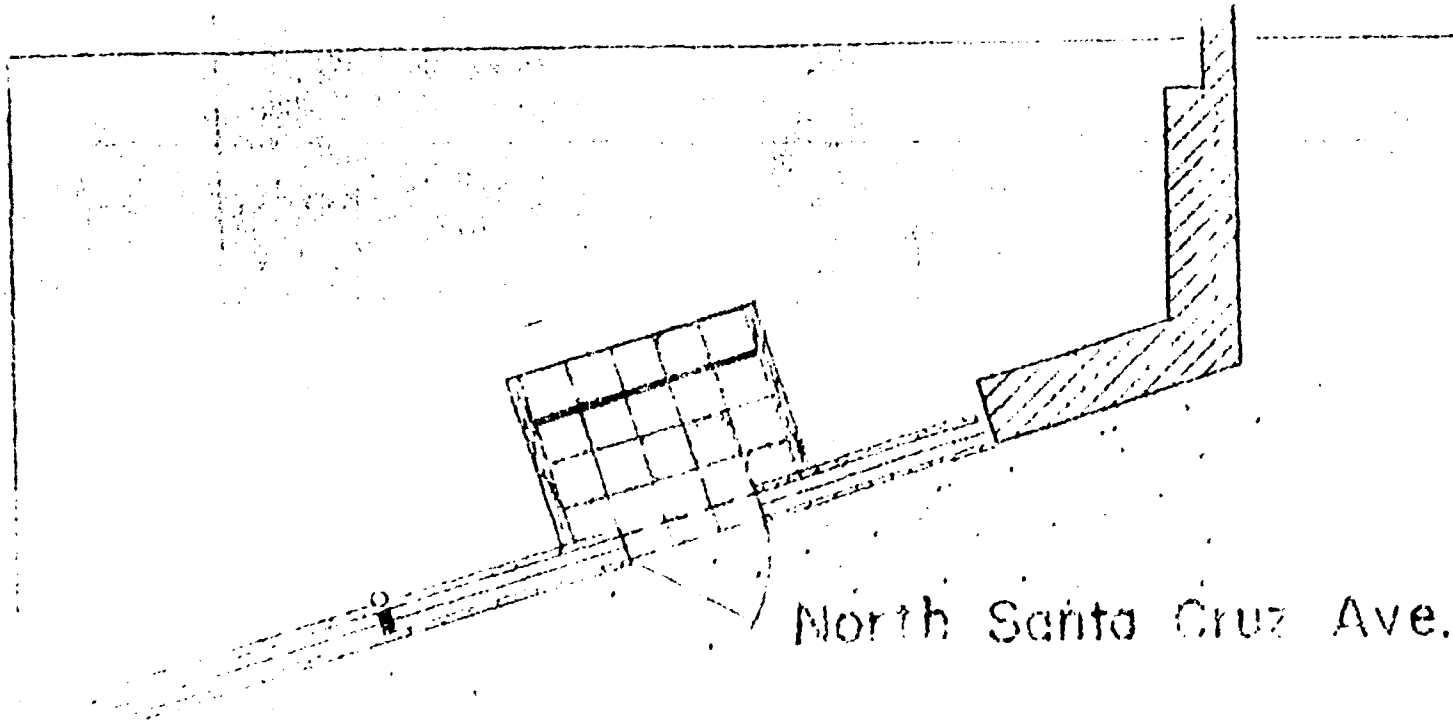
**VALIDATION**

MAR 16 82 4374 •• 0033.00T

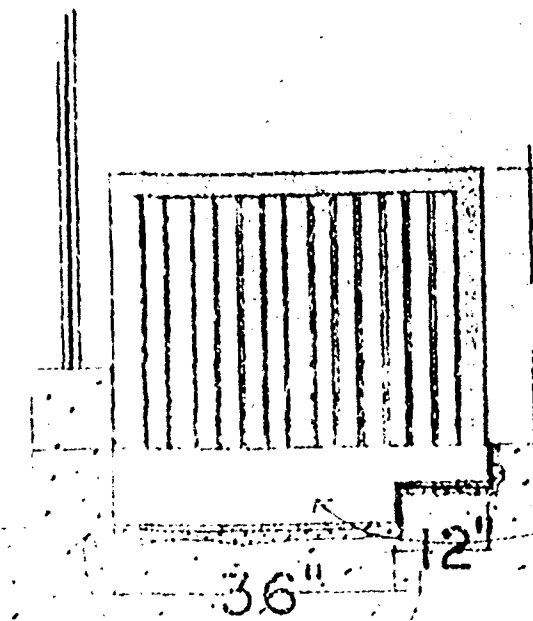
APPROVALS		DATE	SIGNATURE
FOUNDATION			
FRAME			
INSULATION			
LANDSCAPING			
FINAL			

*[Signature]*





FLOORPLAN  
scale 1/4" = 1'

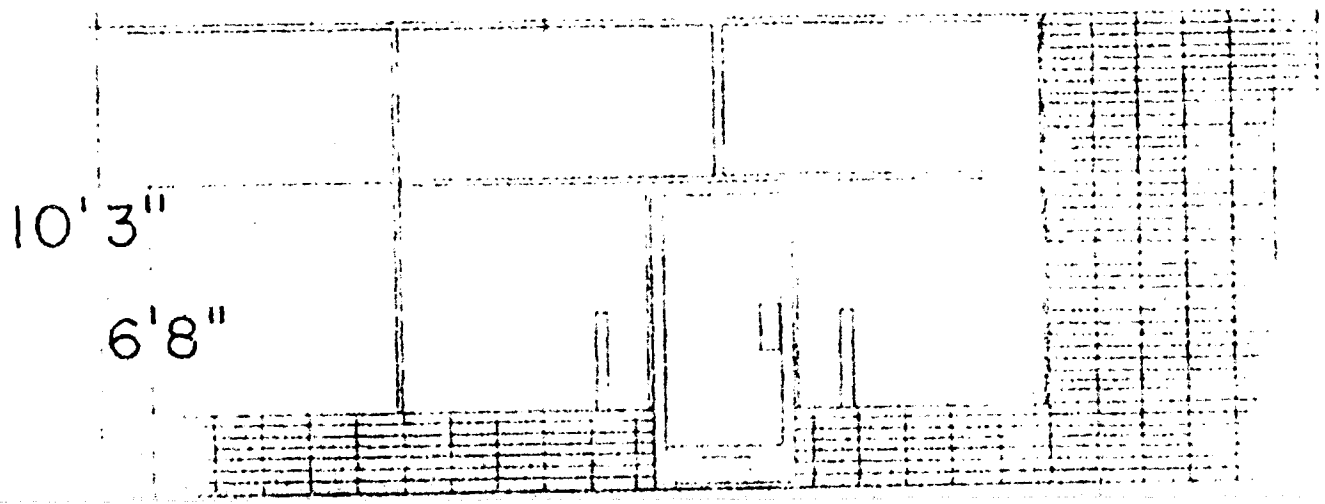


SECTION  
scale 1/2" = 1'

12" Quoc lan  
36" D.F. bo.

Saw cut c  
remove c

36" 12"



10' 3"

6' 8"

301 N. Santa Cruz



**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
ELECTRICAL PERMIT**

Permit Number: **R06-547**  
 Work Description: **T/I TO ADD GARAGE DOOR AT REAR FOR AUTO SHOWROOM AND ADD INTERIOR WALL FOR OFFICE AREA 400 SF**  
 Building Address: **301 N SANTA CRUZ AV LG** Status: **APPLIED**  
 Applied: **09/18/2006** Issued:  
 Approved: Expired:

OWNER: **MILLEN TRUST** 09/18/2006 Phone:  
**18364 OAK DR**  
**MONTE SERENO, CA**  
**95030**  
 License:  
 CONTRACTOR: **P & R CONSTRUCTION** 09/18/2006 Phone: **760 272 6404**  
**42 RGO BUENA CIRCLE**  
**PALM DESERT CA**  
**92260**  
 License: **853195**

Square Footage:

How Residence: **0** Remodel: **0** Commercial: **0**

Description	Tot Fee
Building Plan Check Fee	7.00
Electrical Permit Fee	61.00

Total Calculated Fees: \$68.00  
 Total Additional Fees: \$0.00  
 Total Fees Due: \$68.00  
 Total Payments: \$0.00  
 Balance Due: \$68.00

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 License Class **B** Lic. No. **853195** Exp. Date **1-31-07** Contractor Use **Residential**

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the contractor's state license law for the following reasons (Sec. 7011.5, Business and Professions Code):  
 (1) I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7014, Business and Professions Code);  
 (2) I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7011, Business and Professions Code);  
 (3) I am exempt under Sec. \_\_\_\_\_, B.P.C. for this reason.

**WORKER'S COMPENSATION DECLARATION**

I hereby affirm under penalty of perjury one of the following declarations:  
 (1) I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 (2) I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_  
 (3) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_  
 I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.  
 Signature of Applicant or Agent **Russ Pearce** Date **9-18-06**

**NOTICE:**

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.





TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
(408) 354-6881 or (408) 399-5711 FAX (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

PERMIT APPLICATION FOR
PLAN REVIEW, BUILDING PERMIT OR REROOF PERMIT

Bolo-1091

SITE ADDRESS 301 N. Santa Cruz Ave Suite Today's Date 8-14

TYPE OF WORK TO BE DONE [ ] New [ ] Addition [X] Alteration [ ] Repair [ ] Reroof [ ] Deck [ ] Pool/Spa [ ] Renewal

DETAILED DESCRIPTION OF WORK TO BE DONE: Remove a wall. Add put larger Rear door to (inner) (outer)

Table with 5 columns: PROJECT AREA, New/Add Sq. Ft., Alteration Sq. Ft., Reroof/Pool/Spa/Deck SF, Retaining Wall LF. Row 1: 1st Floor, 3500, 405.1, 6'

CONSTRUCTION VALUATION: 25,000 Include costs of all labor and materials
IS BUILDING/ADDITION: Heated? [X] Yes [ ] No Cooled? [X] Yes [ ] No [ ] Pre 1941/Historic [ ] Fire Sprinkler System
Proposed Use of Building: SALES CARS Construction Type PRICK Occupancy Type

CONTACT NAME MARK REEVE Phone 408-482-0550 Fax 408-354-6285
Address 60 East main St. City Los Gatos Zip 95030

Property Owner Name Bert Millen Phone (Required) 891-0809
Address 70156 Las Gatos 95031 Zip CA

Architect/Engineer/Designer Michelle Miner License # Phone 408-374-3939
Address (HOUSE OF HAWS) City Los Gatos Zip

Contractor Name Russ Rene (R + R Construction)
State License No. 853195 License Type Expires Town Business Lic. No.

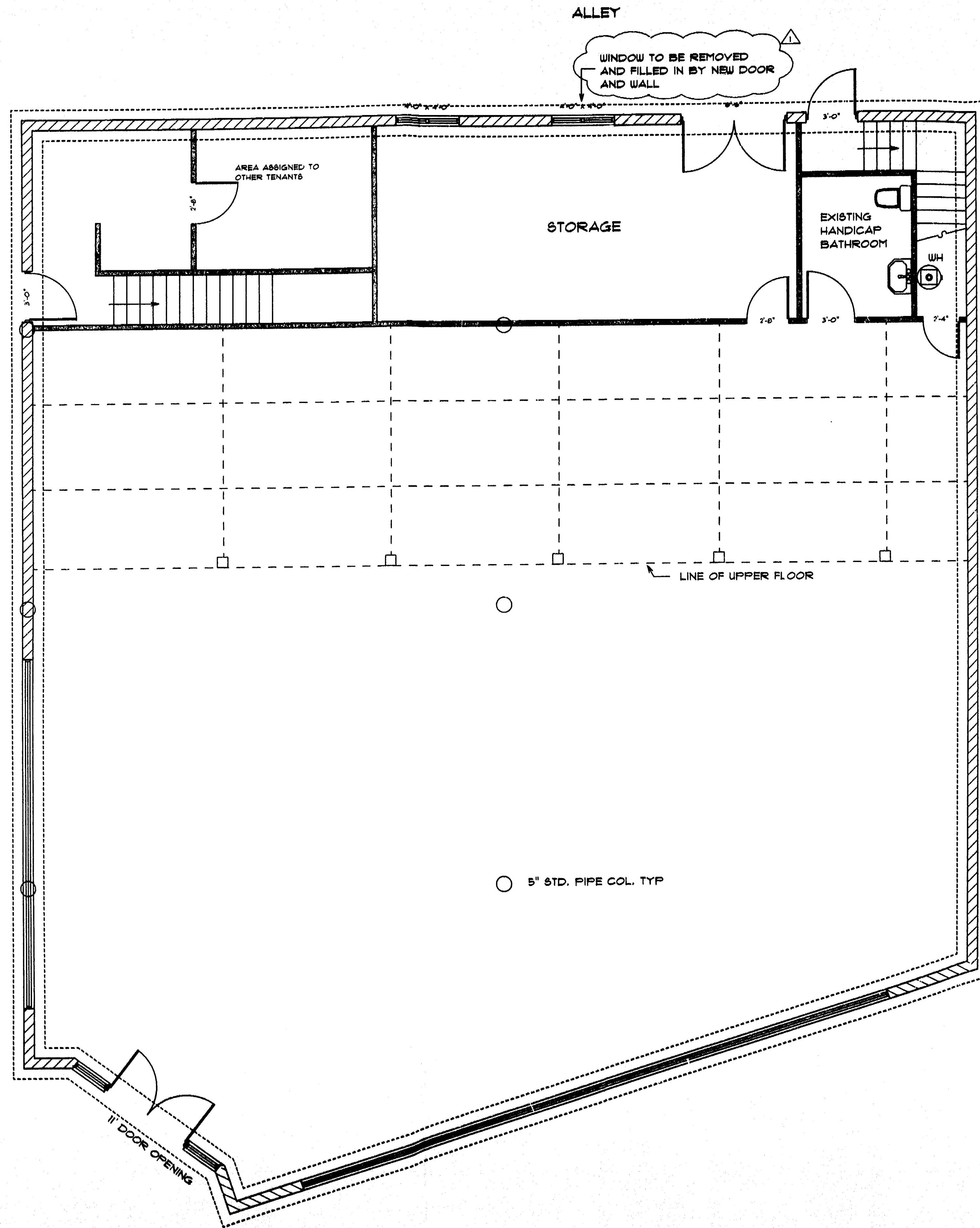
Commercial Tenant Phone # 951-318-2476 - NO Employees.
Address City Zip

CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (sec. 3097, Civ. C.)
Lender's Name Lender's Address

I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this Town to enter upon the property for inspection purposes.
Signature [Signature] Date 8-14-06



# Silicon Valley Auto



1/4" EXISTING FLOOR PLAN Z

## CONDITIONS OF APPROVAL

Requesting approval to operate a new car sales facility (Lumberghal) on property owned C-APN 518-14-06.  
**PROPERTY OWNER:** Best Mills  
**APPLICANT:** Silicon Valley Auto Group

### TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

1. APPROVAL: This application shall be completed in accordance with all of the conditions approved below. Any change or modification made to the approved plans shall be approved by the Director of Community Development or the Planning Commission, depending on the scope of the change.
2. EXPIRATION OF APPROVAL: These applications will expire two years from the date of approval unless they are used before expiration. Section 29.20.233 defines what constitutes use of an approved permit under the Zoning Ordinance.
3. SHOWROOM DISPLAY: A maximum of ten (10) cars may be displayed in the showroom.
4. OUTDOOR AUTO STORAGE: No automobiles shall be stored outdoors.
5. AUTO DELIVERY: No automobiles shall be delivered to the site.
6. AUTO REPAIR: No auto repair shall occur on site.
7. TRUCK ACCESS TO SHOWROOM: Vehicle access to the showroom floor shall be via a service alley on the west side of the building. Keep clear markings shall be placed in the alley. Access shall be allowed across the public sidewalk only by cars when the access to the service alley is not accessible. Access across the public sidewalk at the corner of the building will require a minimum of two persons in addition to the driver to provide for traffic control. The applicant shall submit a traffic control plan to the satisfaction of the Community Development Director prior to the occupancy of the building. Any damage to the existing sidewalk improvements shall be repaired at the applicant's expense.
8. HAZARDOUS MATERIAL: No storage of hazardous materials shall be allowed on site, except that which is located in the display vehicles.
9. HOURS OF OPERATION: The auto showroom shall limit the hours of operation from 9:00 a.m. to 6:00 p.m. Monday through Friday and from 10:00 a.m. to 6:00 p.m. Saturday and Sunday.
10. MINOR EXTERIOR ALTERATIONS: Exterior paint color and the existing entry doors at the corner of Pacheco and N. Santa Cruz east on the west side of the building adjacent to the existing alley may be modified to the satisfaction of the Director of Community Development.

11. CONDITIONS OF APPROVAL: The Conditions of Approval shall be "filed" in full on the cover sheet of the construction plan submitted for a building permit.
12. SIZE OF PLANS: The maximum size of construction plans for building permits shall be 24" x 36".
13. PLANS: The construction plans for this project shall be prepared under the direct supervision of a licensed architect or engineer. (Business and Professions Code Section 5538)
14. SPECIAL INSPECTIONS: When a special inspection is required by UBC Section 1701, it is without prejudice to the requirement that the applicant shall be required to submit to the Building Official for approval prior to issuance of the building permit in accordance with UBC Section 1003.3. Special inspection forms are available from the Building Division Service Counter. The Town Special Inspection schedule shall be based on the construction phase.
15. TITLE 24 ACCESSIBILITY - COMMERCIAL: On-site general path of travel shall comply with the latest California Title 24 Accessibility Standards. Work shall include but not be limited to accessibility entrances from parking and sidewalks.
16. TITLE 24 ACCESSIBILITY - COMMERCIAL: The building shall be upgraded to comply with the latest California Title 24 Accessibility Standards. Necessary work shall be first investigated by the design architect then confirmed by Town staff.
17. TITLE 24 ACCESSIBILITY - COMMERCIAL: On-site parking facility shall comply with the latest California Title 24 Accessibility Standards for the disability.
18. APPROVALS REQUIRED: The project requires the following agencies approval before issue a building permit.
  - \* State Fire Marshal Plan Transmittal (608) 378-4010

### REPAIR AND IMPROVEMENT OF SIDEWALK, USE OF PARKS AND PUBLIC WORKS:

19. VILLA HERMOSEA SIDEWALK: Replace the existing non-paved sidewalk on the Pacheco Avenue frontage with Town Standard Villa Hermosa patterned sidewalk to match the remainder of the property street frontage. The sidewalk improvements shall be completed prior to building permit final sign off. (P.P.W.)
20. OPERATIONS: No vehicle parking or waiting shall be performed at this site.
21. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town Ordinance. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
22. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over 5500 will require construction security.
23. PUBLIC WORKS INSPECTIONS: The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
24. SET BACKS IN PUBLIC RIGHT-OF-WAY: It is the responsibility of contractor and home owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
25. RESTORATION OF PUBLIC IMPROVEMENTS: The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operation. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavement, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Ditching improvement to be repaired or replaced shall be at the discretion of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall require a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
26. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m., weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty five (85) dBA at twenty-five (25) feet. If the device is located within a structure on the property, the measurement shall be made at distance as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property shall not exceed eighty-five (85) dBA.

## COMPLIANCE MEMORANDUM

IT IS SILICON VALLEY AUTO GROUP'S INTENTIONS TO ABIDE BY THE ALL OF THE ABOVE SAID CONDITIONS OF APPROVAL.  
 WE INTEND TO HIRE A CITY APPROVED CONTRACTOR TO INSTALL THE VILLA HERMOSEA SIDEWALK.  
 WE WILL SUBMIT A TRAFFIC CONTROL PLAN TO THE COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO OCCUPANCY OF THE BUILDING.  
 THE EXISTING BUILDING MEETS TITLE 24 ACCESSIBILITY, WITH THE EXCEPTION OF THE FRONT DOOR AND WE ARE REPLACING IT TO MEET CODE.

TOWN OF LOS GATOS  
 BUILDING DIVISION  
 PLAN APPROVED  
 DATE: 8/14/06  
 (Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, or local regulations.)

*Michelle* 7/11/06

## INDEX

1	INDEX - EXISTING FLOOR PLAN - CONDITIONS OF APPROVAL
2	NEW FLOOR PLAN - ELEVATION - SECTION
3	PICTURES
61.1	STRUCTURAL NOTES
62.1	FOUNDATION PLAN
62.2	MEZZANINE FRAMING PLAN
63.1	PICTURES

## PERSONNEL

**OWNER:** SILICON VALLEY AUTO GROUP  
 66 E. MAIN STREET  
 LOS GATOS, CA 95030

**DESIGNER:** ERVIN LAVON HAWES  
 HOUSE OF HAWES  
 2067 COLUSA WAY  
 SAN JOSE, CA. 95130  
 (408) 374-3939

**STRUCTURAL ENGINEERING:** ORIAN ENGINEERING INC.  
 RTAN OTHER  
 12251 OLD POMERADO ROAD, SUITE A  
 FOLSOM, CA 95664  
 (916) 678-1974

## SCOPE OF WORK

OWNER PROPOSED TO OPEN UP REAR WALL AND PUT A NEW GARAGE DOOR TO BRING CARS INTO THE SHOWROOM. THE EXISTING BACK STORAGE AREA WILL BE DIVIDED INTO TWO AREAS, ONE FOR OFFICE AND ONE FOR AN ACCESS TO BRING THE CARS INTO THE SHOWROOM. NEW TILE FLOOR WILL BE INSTALLED.

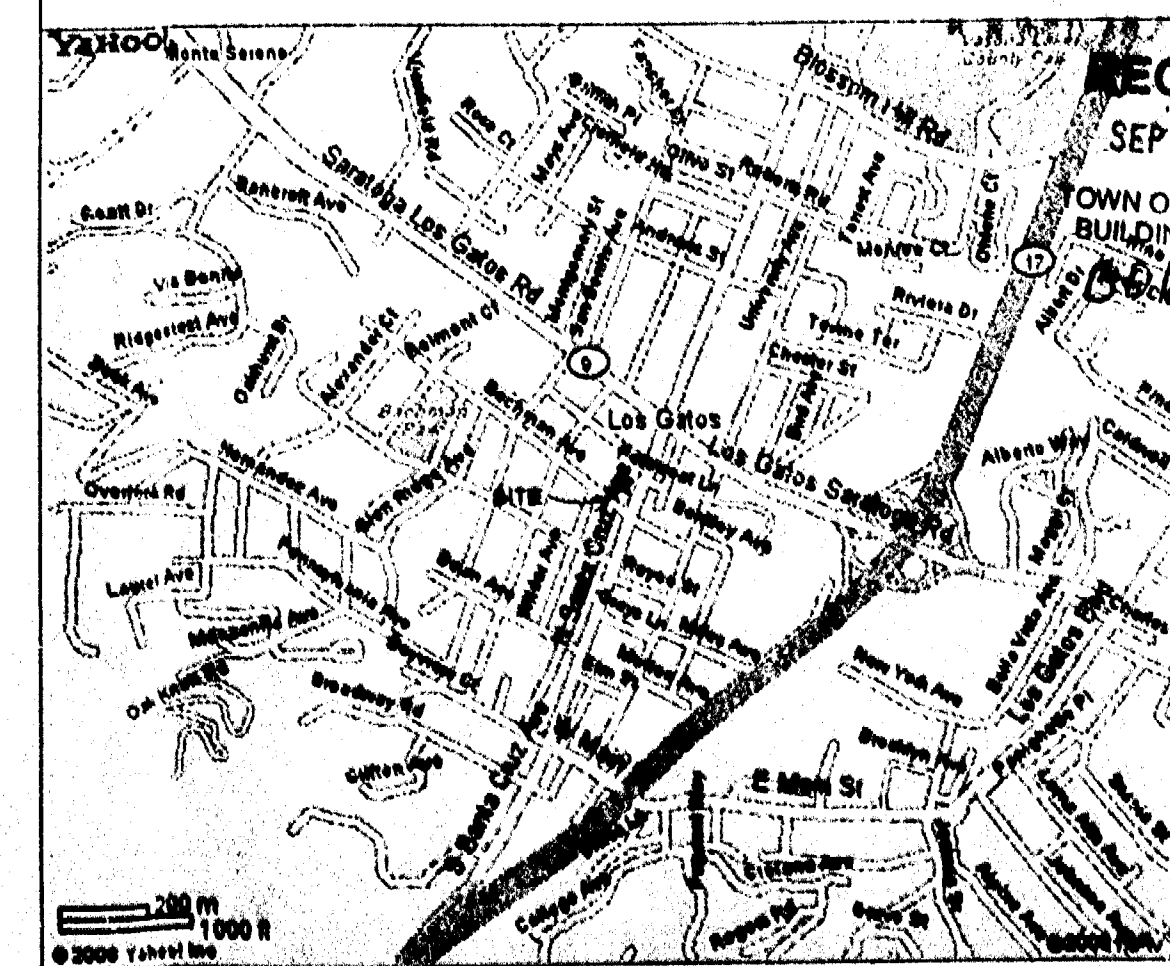
## NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH:
- A) CALIF. FIRE CODE 2001 EDITION (2000 UFC)
  - B) CALIF. BLDG. CODE 2001 EDITION (1997 UBC)
  - C) CALIF. MECH. CODE 2001 EDITION (2000 UMC)
  - D) CALIF. PLUMB'G CODE 2001 EDITION (2000 UFC)
  - E) CALIF. ELEC. CODE 2004 EDITION (2002 NEC)
  - F) CALIF. ENERGY EFFEC. STAND. 2005 EDITION
  - G) ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

## ANALYSIS

ZONING:	C2
OCCUPANCY CLASSIFICATION:	GROUP B
TYPE OF CONSTRUCTION:	TYPE V-N
DESIGNATION:	AUTO SHOWROOM
TOTAL OF PORTION OF BUILDING ASSIGNED TO SILICON VALLEY AUTO:	3340 S.F.
(SHOWROOM AREA):	2905 S.F.

## VICINITY MAP



REVISIONS	BY
30 AUG. 06	MM

THE PLANS, DEAS AND DESIGN INCLON ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DRAWING SOLELY FOR THE PROJECT. PLANS SHALL NOT BE USED, SHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE HOUSE OF HAWES.

## House of Haws Inc.

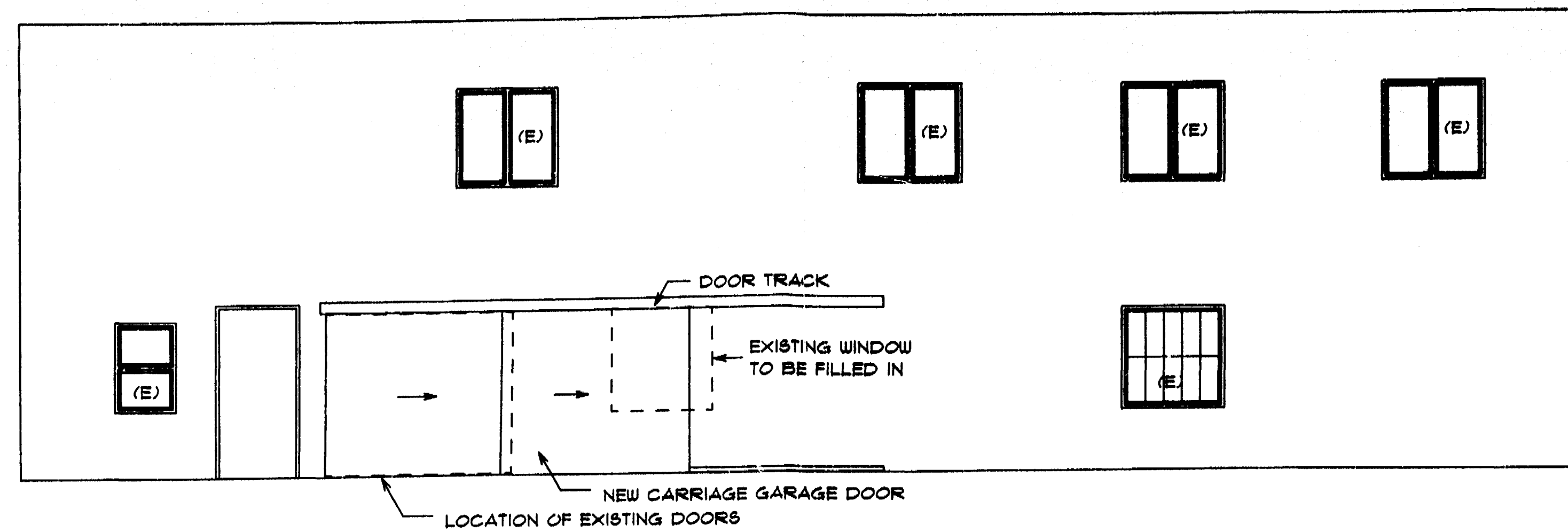
Ervin Lavon Haws - Designer

2067 Colusa Way, San Jose, CA. 95130  
 (408) 374-3939 Fax: (408) 374-4073

A Showroom For:  
**Silicon Valley Auto**  
 301 N. Santa Cruz Ave., Los Gatos, CA

DRAWN	MM
CHECKED	ELH
DATE	8 AUG. 06
SCALE	1/4" = 1'-0"
JOB NO.	0424
SHEET	1





1/4" REAR ELEVATION



**20% RULE**  
Accessibility for Existing Buildings  
2001 CBC Sec 1134b 2.1 EX1

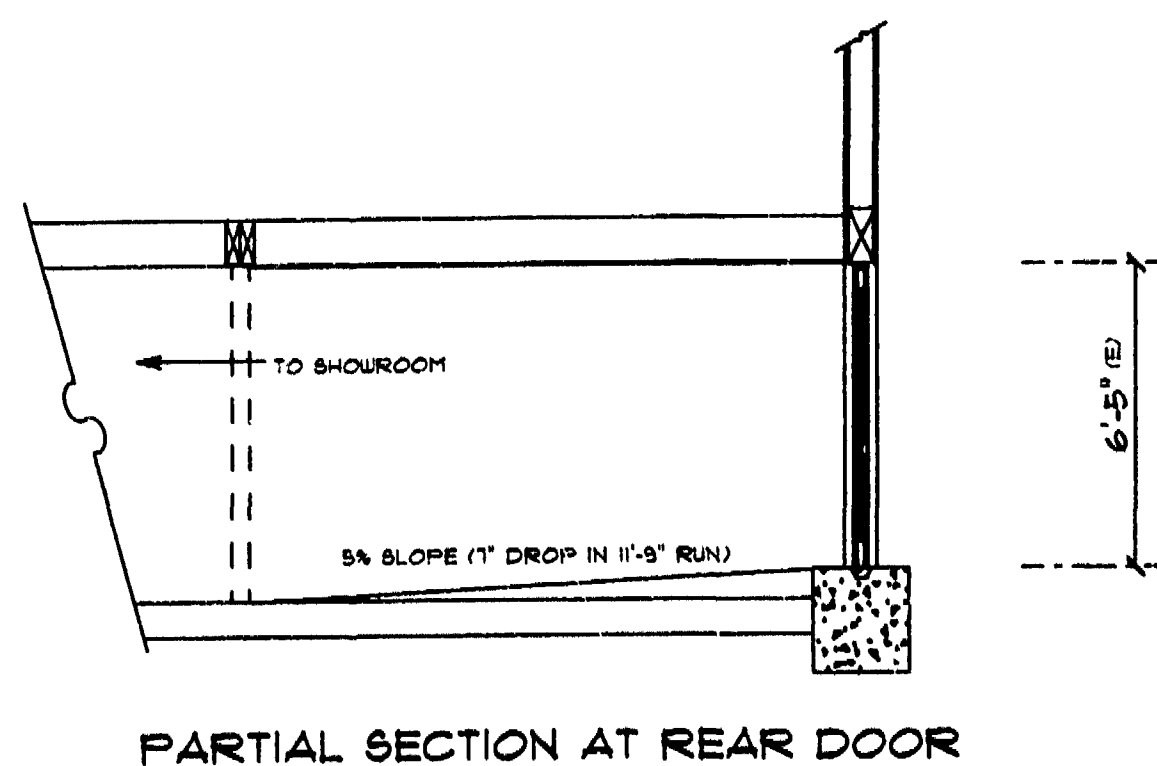
- 20% rule applies to a valuation threshold under \$113,586.07 (revised 01/06)
  - Actual work of project shall comply with full accessibility
  - Full compliance creates unreasonable hardship, will apply for unreasonable hardship
  - Will provide a maximum amount of 20% of cost of construction for the following prioritized accessibility features in the following order:
    - accessible entrance
    - accessible route to altered area (including parking and path of travel from public sidewalk)
    - accessible restrooms
    - accessible telephones
    - accessible drinking fountains
    - additional accessible elements
- Valuation threshold over \$113,586.07 (revised 01/06)
  - Plans show full accessibility compliance

A. Cost of proposed project	\$ 25,000
B. Total amount spent on other projects at this tenant space within the past 3 years	\$ 25,000
C. Total Cost (Line A + Line B)	\$ 50,000
D. If (Line C) is over \$113,586.07 then full accessibility required	
E. If (Line C) is less than the valuation threshold of \$113,586.07, then 20% of Line A is the minimum amount required to be spent for accessibility compliance. 20% x Line A = \$	5,000

20% Upgrade Expenditures (Detailed cost of construction)	
1. new front door	\$ 6,000
2. _____	\$ _____
3. _____	\$ _____
4. _____	\$ _____
<b>Total Expenditure Greater or Equal to line (E)</b>	<b>\$ 6,000</b>

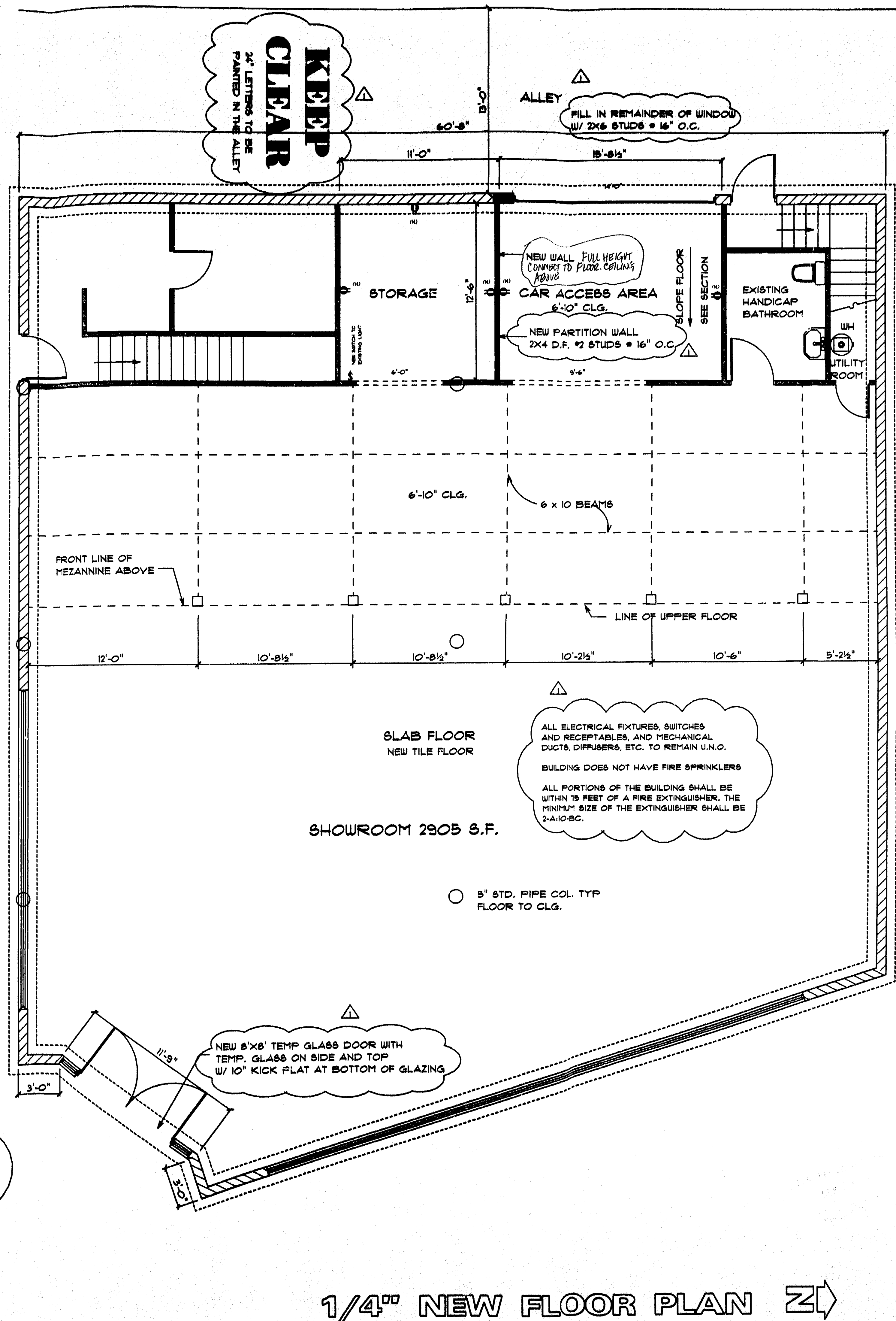
Projects limited to heating, ventilation, air conditioning, re-roofing, and cosmetic work that does not affect items regulated by code (i.e., painting) are exempt from accessibility upgrades.



GLAZING (1) WITH 24 INCHES OF EITHER SIDE OF ANY DOOR  
(2) GREATER THAN 9 SQ.FT IN AREA WITH BOTTOM EDGE LESS THAN 18\"/>

EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS SHALL NOT BE USED ON EXIT DOORS.

FRONT DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS



1/4" NEW FLOOR PLAN

REVISIONS	BY
30 AUG 06	PHM

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**House of Haws Inc.**  
Ervin Lavon Haws - Designer  
2067 Colma Way, San Jose, Ca., 95120  
(408) 314-3939 Fax (408) 314-4075

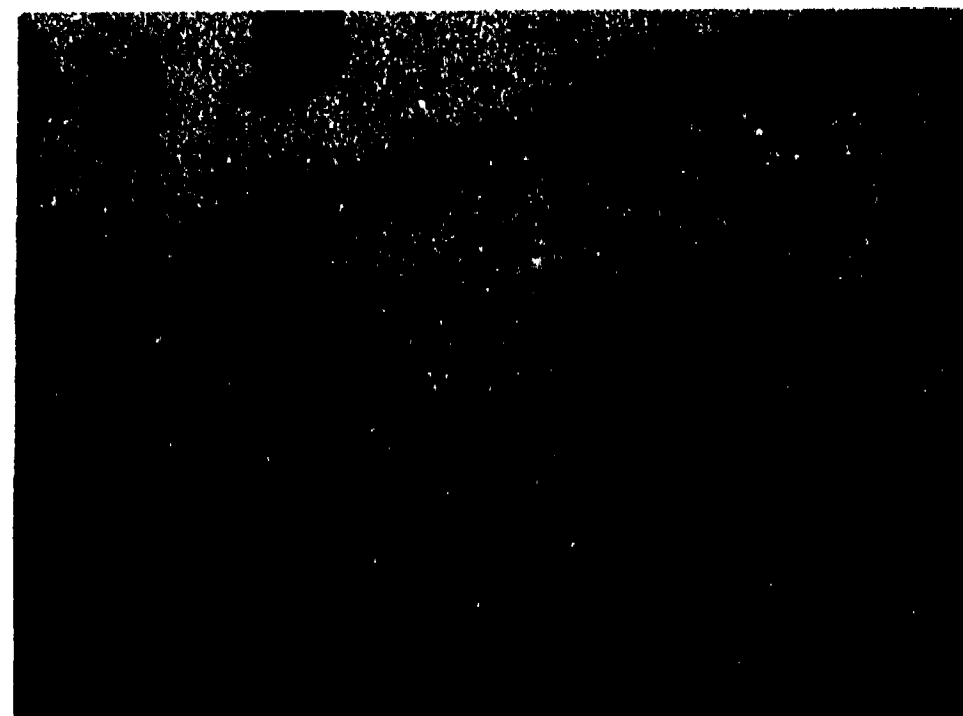
A Showroom For:  
**Silicon Valley Auto**  
301 N. Santa Cruz Ave., Los Gatos, CA

DRAWN	PHM
CHECKED	ELN
DATE	8 AUG 06
SCALE	1/4" = 1'-0"
JOB NO.	0624
SHEET	2





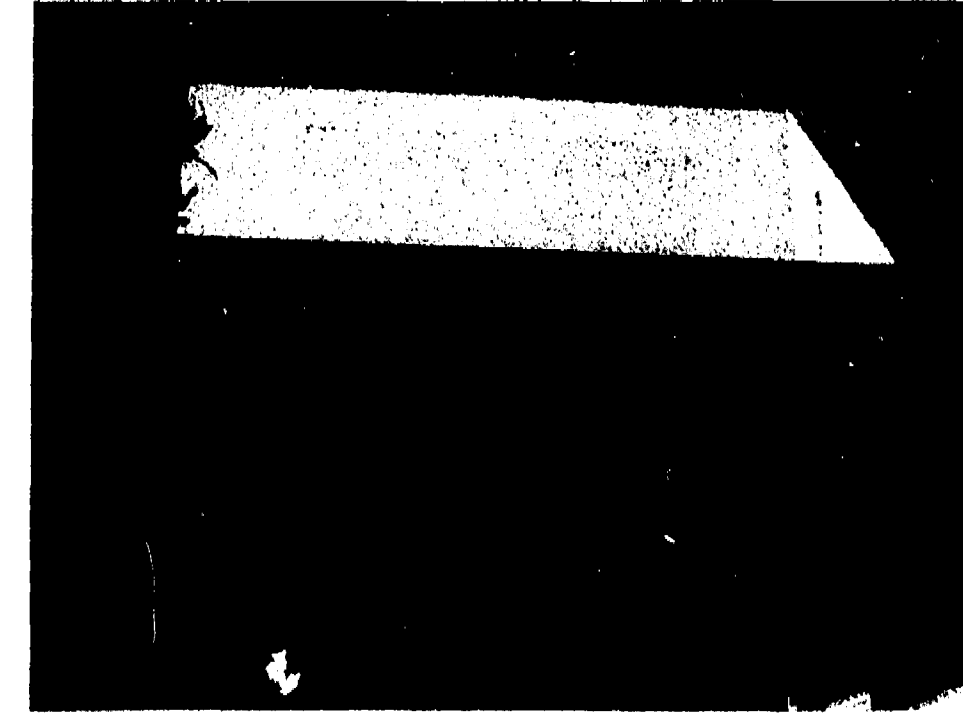
REAR/ALLEY



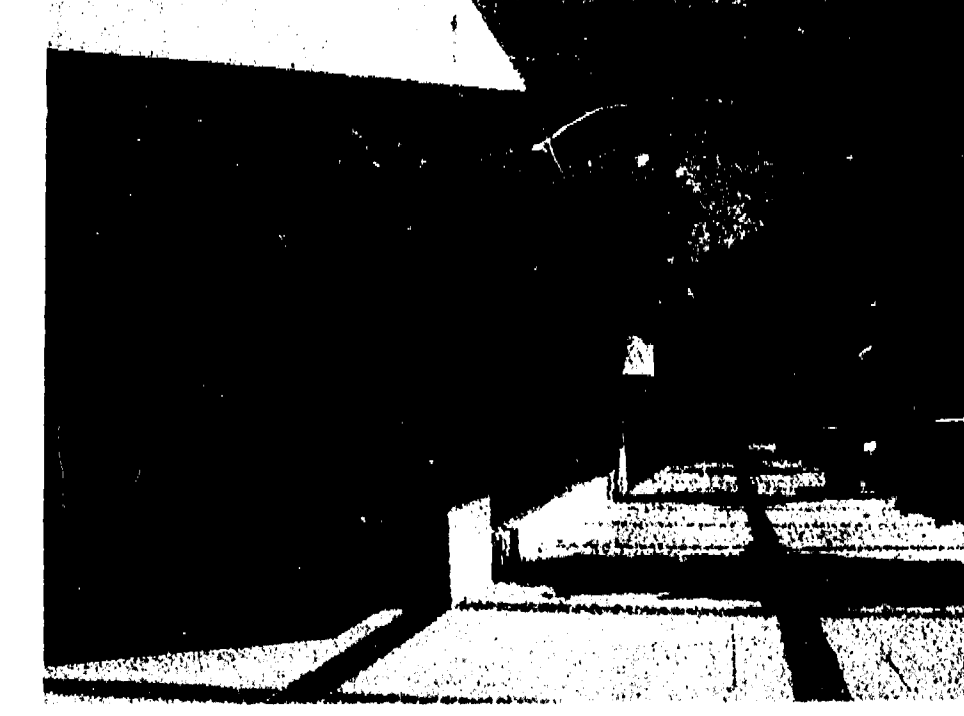
REAR/ALLEY



BACHMAN AVE. SIDE



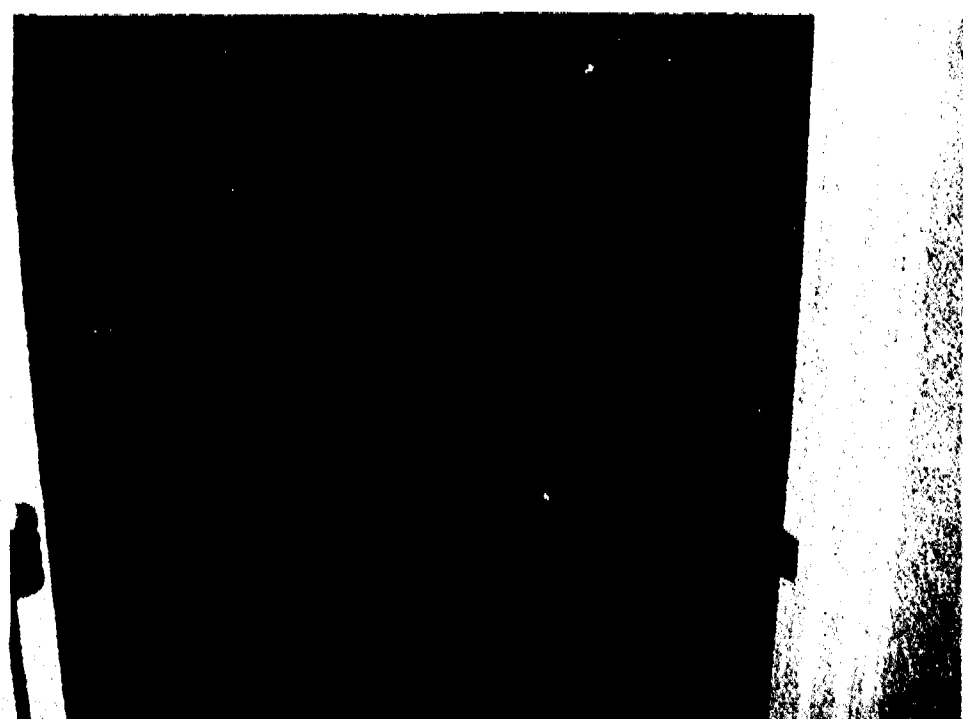
ENTRY  
BUILDING ADDRESS NUMBERS MIN. 6" TALL  
TO BE ATOP FRONT DOOR TO BE CLEARLY  
LEGIBLE FROM THE ADJACENT STREETS,  
AND W/ CONTRAST TO THE BACKGROUND.



ENTRY FACING SANTA CRUZ AVE. SIDE



UTILITY CLOSET



HANDICAP BATHROOM



INTERIOR FACING SANTA CRUZ AVE.



INTERIOR/MEZZANINE



INTERIOR FACING ENTRY

EXISTING PICTURES

REVISIONS	BY

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNER ACCEPTS NO LIABILITY FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE HOUSE OF HAWKS.

House of Hawks Inc.

Ervin Lavon Hawks - Designer  
20671 Coltona Way, San Jose, CA, 95130  
(408) 374-3939 Fax: (408) 374-4078

*Mohella*

A Showroom For:

Silicon Valley Auto

301 N. Santa Cruz Ave. Los Gatos, CA

DRAWN
MM
CHECKED
EM
DATE
8 AUG. 06
SCALE
JOB NO.
0604
SHEET
3
OF 8-SHETS

17 18 29



**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING PERMIT**

Permit Number: B06-0131

Work Description: T/I FOR RESTAURANT "JAMES RANDALL" 400 SF

Building Address: 303 N SANTA CRUZ AV LG

Status: PC COMPL

Applied: 03/02/2006 Issued:  
Approved:

Expires: 03/02/2007

OWNER MILLEN BERT D;GLORIA P TRUST 03/02/2006 Phone: 408-891-0809  
18364 OAK DR  
MONTE SERENO, CA  
95030

CONTRACTOR License: OWNER/BUILDER 05/16/2006 Phone:  
SAME

TENANT License: 000000  
RESTAURANT JAMES RANDALL 03/13/2006 Phone: 408-621-0330  
303 N SANTA CRUZ AV  
LOS GATOS CA  
BRENDA HAMMOND  
FAX: 408-395-353-1594 95030

ARCHITECT License: STOWERS GREGORY 03/02/2006 Phone: (408) 358-5488  
STOWERS ASSOCIATES ARCHITECTS  
15195 LOS GATOS BL STE 1  
LOS GATOS CA 95032  
License: C26712

Valuation: \$58,852.00  
Total Sq. Ft.: 400 Liveable Sq.Ft.: 0  
Class Code: 437 Bldg Count: 1 House Count: 0

\*\*\*\*\*

Description	Tot. Fee
Building Permit Fees	797.41
Building Plan Check Fees	497.52
Computer Services Fee	30.62
Microfilm Fees - Bldg.	27.50
Microfilm Fees - Plng.	137.50
Planning Plan Check Fees	153.08
Road Impact Fee	16.00
Seismic Tax 5%	.29
Seismic Tax 95%	5.60
Title 24 Fees	114.81

\*\*\*\*\*

Total Calculated Fees: \$1,780.33  
Total Additional Fees: \$0.00  
Total Fees Due: \$1,780.33  
Total Payments: \$703.50  
Balance Due: \$1,076.83

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ License No. \_\_\_\_\_ Exp. Date \_\_\_\_\_ Contractor Name \_\_\_\_\_

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractor's State License Law for the following reason: (Sec. 7031.5, Business and Professions Code)

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code).

I am exempt under Sec. \_\_\_\_\_, B. & P.C. for this reason \_\_\_\_\_

**WORKER'S COMPENSATION DECLARATION**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier \_\_\_\_\_ Policy No. \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**CONSTRUCTION LENDING AGENCY:** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: Bert Milten

Date: 5/15/06

Janet Wallace

5/16/06



**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
ELECTRICAL PERMIT**

Permit Number: **E06-113**  
 Work Description: **T/I FOR RESTAURANT "JAMES RANDELL" 680 SF**  
 Building Address: **303 N SANTA CRUZ AV LG** Status: **APPLIED**  
 Applied: **03/02/2006** Issued:  
 Approved: Expired:

OWNER MILLEN BERT D;GLORIA P TRUST03/02/2006 Phone: 408-891-0809  
 18364 OAK DR  
 MONTE SERENO, CA  
 95030

CONTRACTOR OWNER/BUILDER License: 05/16/2006 Phone:  
 SAME

TENANT License: 000000  
 RESTAURANT JAMES RANDALL 03/13/2006 Phone: 408-621-0330  
 303 N SANTA CRUZ AV  
 LOS GATOS CA  
 BRENDA HAMMOND  
 FAX:408-395-353-1594 95030

ARCHITECT STOWERS GREGORY 03/02/2006 Phone: (408) 358-5488  
 STOWERS ASSOCIATES ARCHITECTS  
 15495 LOS GATOS BL STE 1  
 LOS GATOS CA 95032  
 License: C26712

--Square Footage--

New Residence: 0 Remodel: 0 Commercial: 0

Description	Tot Fee
Building Plan Check Fees	29.25
Electical Permit Fees	149.00
*****	
Total Calculated Fees:	\$178.25
Total Additional Fees:	\$0.00
Total Fees Due:	\$178.25
Total Payments:	\$0.00
Balance Due:	\$178.25

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ Lic. No. \_\_\_\_\_ Exp. Date \_\_\_\_\_ Contractor Name \_\_\_\_\_

**OWNER-BUILDER DECLARATION**

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I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code).

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I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

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I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Bert Milen Date 5/15/06

**NOTICE:**

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.



TABLE OF ADJACENT USES ON SUBJECT PROPERTY:

ADDRESS	USE	SQUARE FOOTAGE
301 N. SANTA CRUZ AVENUE	RETAIL	3,793 SQ. FT.
303 N. SANTA CRUZ AVENUE	RESTAURANT JAMES RANDALL	2,229 SQ. FT.
307 N. SANTA CRUZ AVENUE	RETAIL	1,150 SQ. FT.
204 BACHMAN (ABOVE 301)	OFFICE (BERT MILLEN)	1,632 SQ. FT.
208 BACHMAN AVENUE	CB HANNIGAN'S RESTAURANT	2,161 SQ. FT.
TOTAL SITE SQUARE FOOTAGE		9,465 SQ. FT.

CHANGE 214.55.F OF EXISTING DINNING ROOM TO NEW EXPANDED KITCHEN

SCOPE OF WORK SEE PAGE 3 FLOOR PLAN

PROJECT INFORMATION

PARCEL NUMBER 510-14-048  
 SITE AREA 20,473 SQ. FT.  
 ZONING C-3  
 BUILDING USE  
 EXISTING USES: 303 N. SANTA CRUZ RESTAURANT  
 CONSTRUCTION TYPE V-N V-B  
 FIRE SPRINKLERS NO  
 NO. OF STORIES 1 + BASEMENT  
 PARKING 4 On-Site plus Street Parking  
 OCCUPANCY CLASSIFICATION A-2

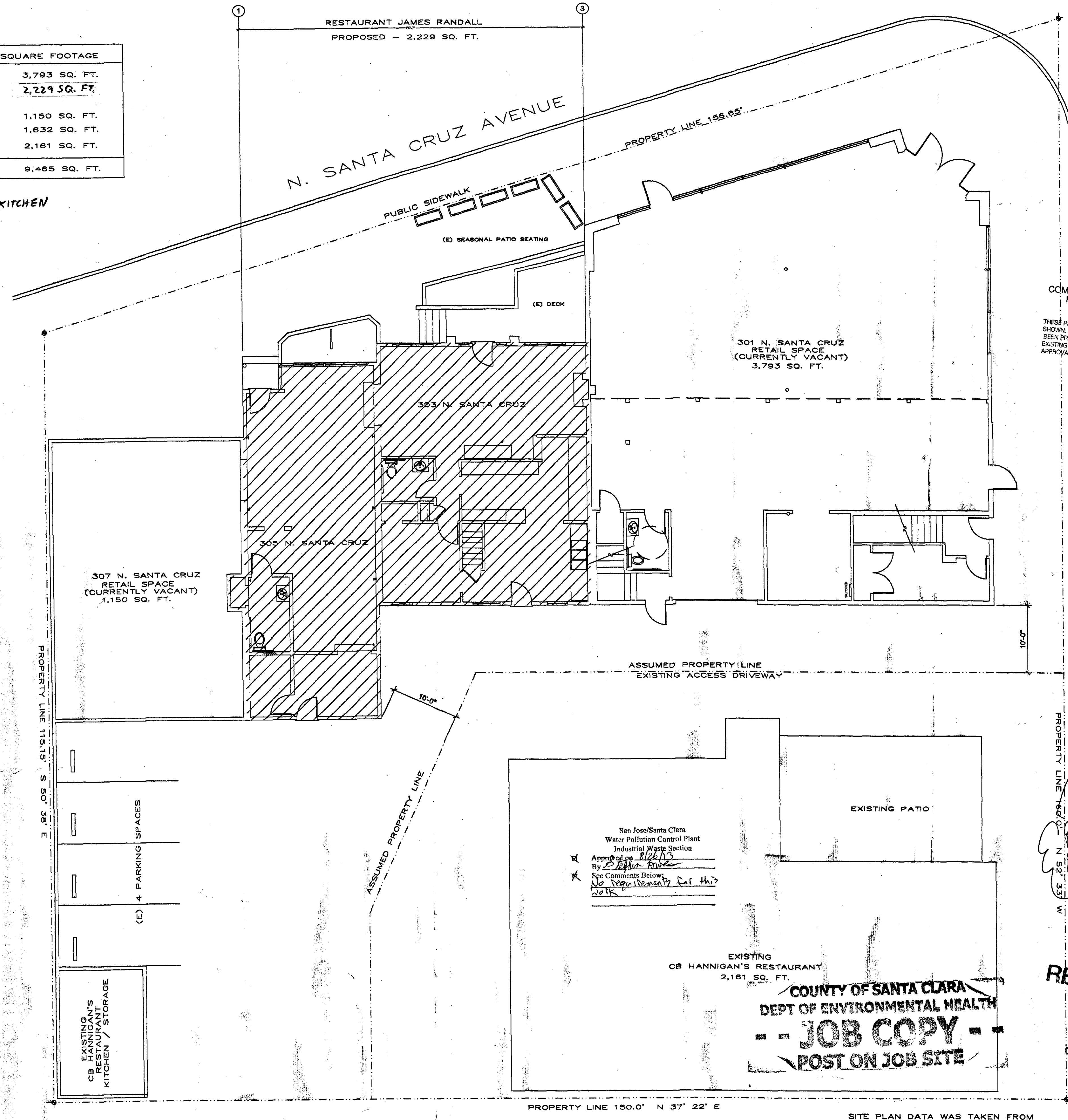
SHEET INDEX  
 1. SITE PLAN  
 2. SEATING PLAN  
 3. FLOOR PLAN  
 4. PLUMBING, ELECTRICAL, MECHANICAL  
 5-1. STRUCTURAL

CALIFORNIA  
 BUILDING CODE EDITION 2010  
 MECHANICAL CODE EDITION 2010  
 PLUMBING CODE EDITION 2010  
 ELECTRICAL CODE EDITION 2010

GENERAL NOTES

- Existing construction data shown on the drawings was obtained from available drawings. The contractor shall verify all existing conditions and shall notify the architect of all exceptions before proceeding with the work.
- All discrepancies between drawings shall be clarified with the architect prior to proceeding with work.
- Work shall be performed in conformance with local, county, state and federal codes, laws, and regulations applicable to this work.
- All demolition and construction debris shall be promptly removed from the site. Stockpiling of materials on site shall not be permitted. Items notes as being delivered to the Owner shall be removed with the most care to not damage such items. Coordinate with the Owner timing and delivery of such items.
- The General Contractor shall have access to power and water at the site. Make arrangements with Owner as required for use.
- The General Contractor shall have access to toilet facilities at the building.
- The General Contractor shall make provisions for phone service at the construction site. Building telephone lines will not be available for use by the General Contractor or their subs.
- Weekly site meetings shall be conducted during the construction process. These meetings shall include the General Contractor, the Owner and the Architect. Any sub-contractor working on the project may be present at these meetings. Additional meeting may be scheduled as required by the Owner, Architect or Contractor.
- The General Contractor shall be required to clean the construction site daily. Access to the construction area shall be from the rear of the building. Construction crew parking shall be in the rear of the building. No parking or deliveries will be allowed at the front of the center.

1 SITE PLAN  
 SCALE: 1/8" = 1'-0"



San Jose/Santa Clara  
 Water Pollution Control Plant  
 Industrial Waste Section  
 Approved on 8/26/13  
 By [Signature]  
 See Comments Below  
 No requirements for this work

EXISTING  
 CB HANNIGAN'S RESTAURANT  
 2,161 SQ. FT.  
 COUNTY OF SANTA CLARA  
 DEPT OF ENVIRONMENTAL HEALTH  
 JOB COPY  
 POST ON JOB SITE

SITE PLAN DATA WAS TAKEN FROM AVAILABLE DRAWINGS MADE AVAILABLE TO THE ARCHITECT BY THE PROPERTY OWNER.

COMMUNITY DEVELOPMENT  
 PLANNING DIVISION  
 APPROVED  
 THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROVIDED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.  
 13 4 Sept. '13

PROJECT  
 RENOVATION / EXPANSION OF  
**Restaurant James Randall**  
 Existing Restaurant  
 303 North Santa Cruz Avenue  
 Los Gatos, California 95030  
 Expansion Into  
 KITCHEN EXPANSION

ISSUE DATE  
 PERMIT SUBMITTAL 07.15.2010

STAMP  
 PREPARED BY:  
 MARCO CAVIGLIA  
 [Signature]

From WSP  
 Permit not required  
 8/26/13

Town of Los Gatos  
 BUILDING DIVISION  
 PLAN APPROVED  
 Date 8/26/13  
 Please check approval of documents submitted for construction to permit of any federal, state, or local laws, regulations or ordinances that may apply to the project. The project shall be in accordance with the applicable laws, regulations and ordinances of the County of Santa Clara and the State of California.

JOB NO. 2010.05  
 DRAWN BY MNC  
 SCALE AS NOTED

RESUBMITTAL RECEIVED  
 AUG 29 2013  
 TOWN OF LOS GATOS  
 CDD BUILDING DIVISION  
 B13-0495

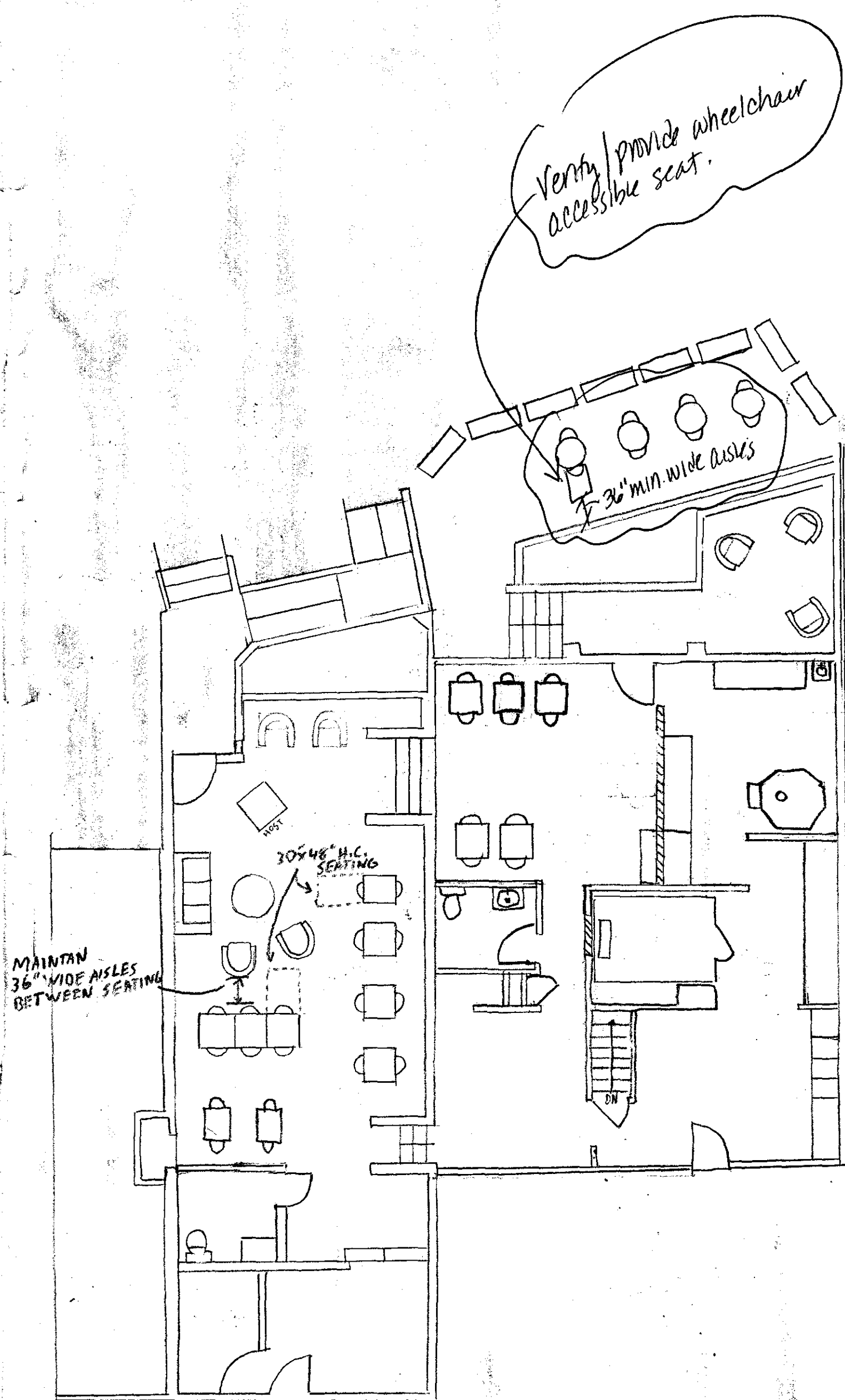
SITE PLAN  
 1

Date 8/26/13 No. B13-0495  
 APPROVED  
 SANTA CLARA COUNTY  
 Dept. of Environmental Health  
 By [Signature] R.E.H.S.  
 R.E.H.S. No. 1650

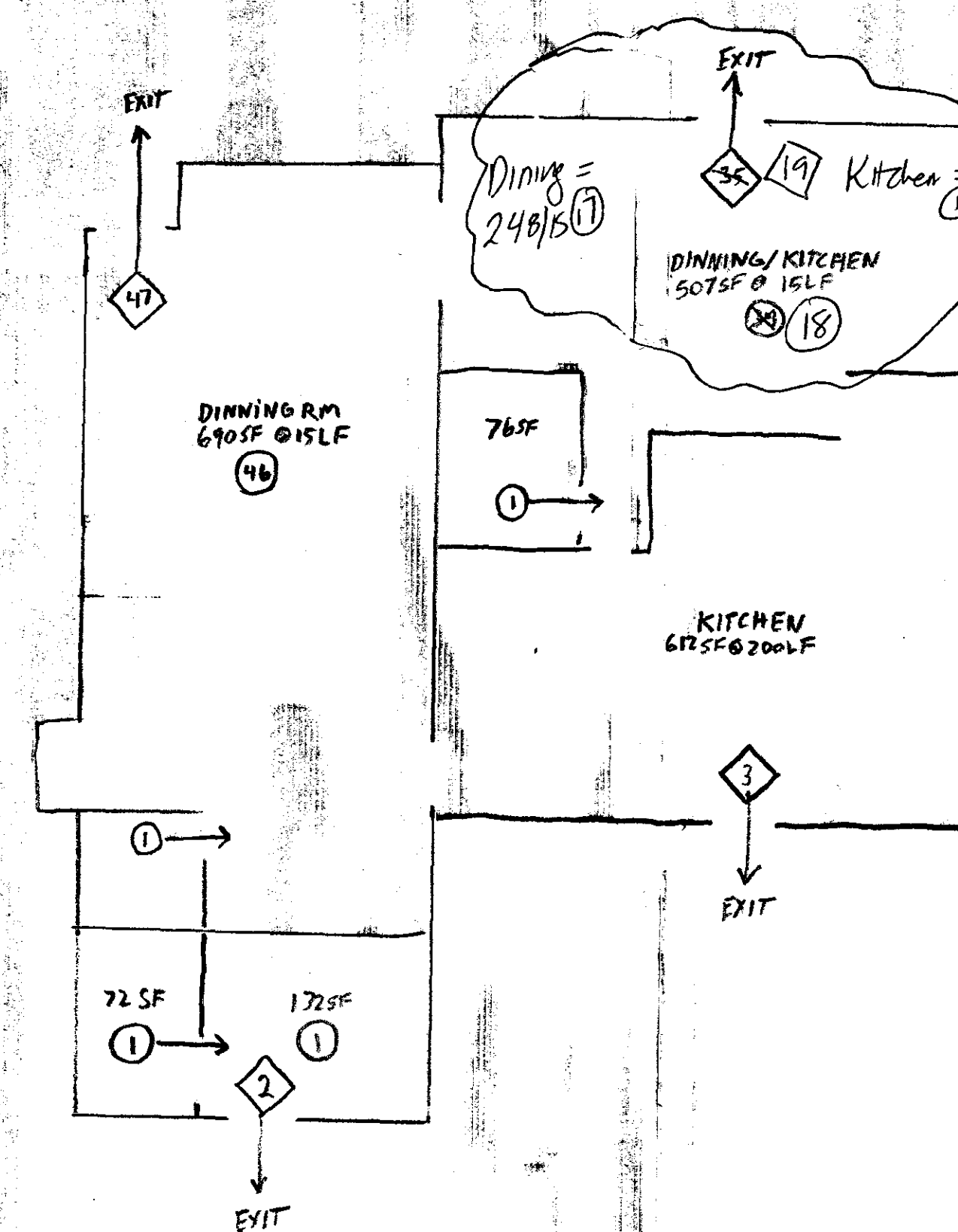
RECEIVED  
 JUL 23 2013  
 SANTA CLARA COUNTY  
 DEPT. OF ENVIRONMENTAL HEALTH

SKOSHS





1 PROPOSED SEATING PLAN  
SCALE 1/8" = 1'-0"



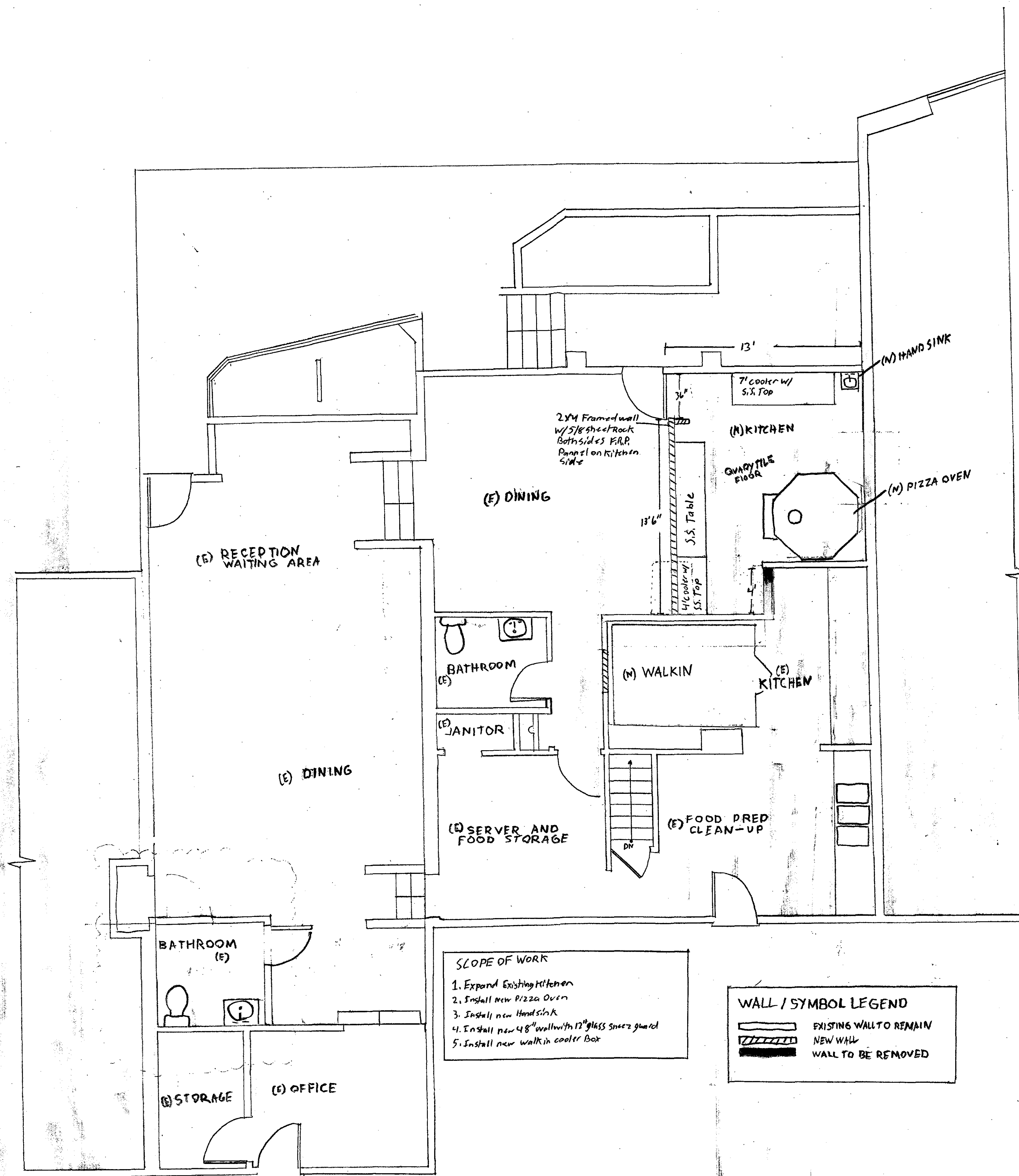
2 OCCUPANT LOAD DIAGRAM  
SCALE 1/8" = 1'-0"

COMMUNITY DEVELOPMENT  
PLANNING DIVISION  
APPROVED  
THESE PLANS HAVE BEEN APPROVED AS  
SHOWN. ANY MODIFICATION TO WHAT HAS  
BEEN PROPOSED OR TO WHAT IS SHOWN AS  
EXISTING MAY REQUIRE A SEPARATE  
APPROVAL.  
jfs 4 Sept. '13

PLAN REVIEW APPROVAL  
SEP 3 2013  
TOWN OF LOS ANGELES  
BUILDING DIVISION

SEATING PLAN  
2





COMMUNITY DEVELOPMENT  
 PLANNING DIVISION  
 APPROVED  
 THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.  
 4 Sep. '13

- SCOPE OF WORK**
1. Expand Existing Kitchen
  2. Install new Pizza Oven
  3. Install new Hand Sink
  4. Install new 4'8" wall with 12" glass sneeze guard
  5. Install new walk-in cooler box

**WALL / SYMBOL LEGEND**

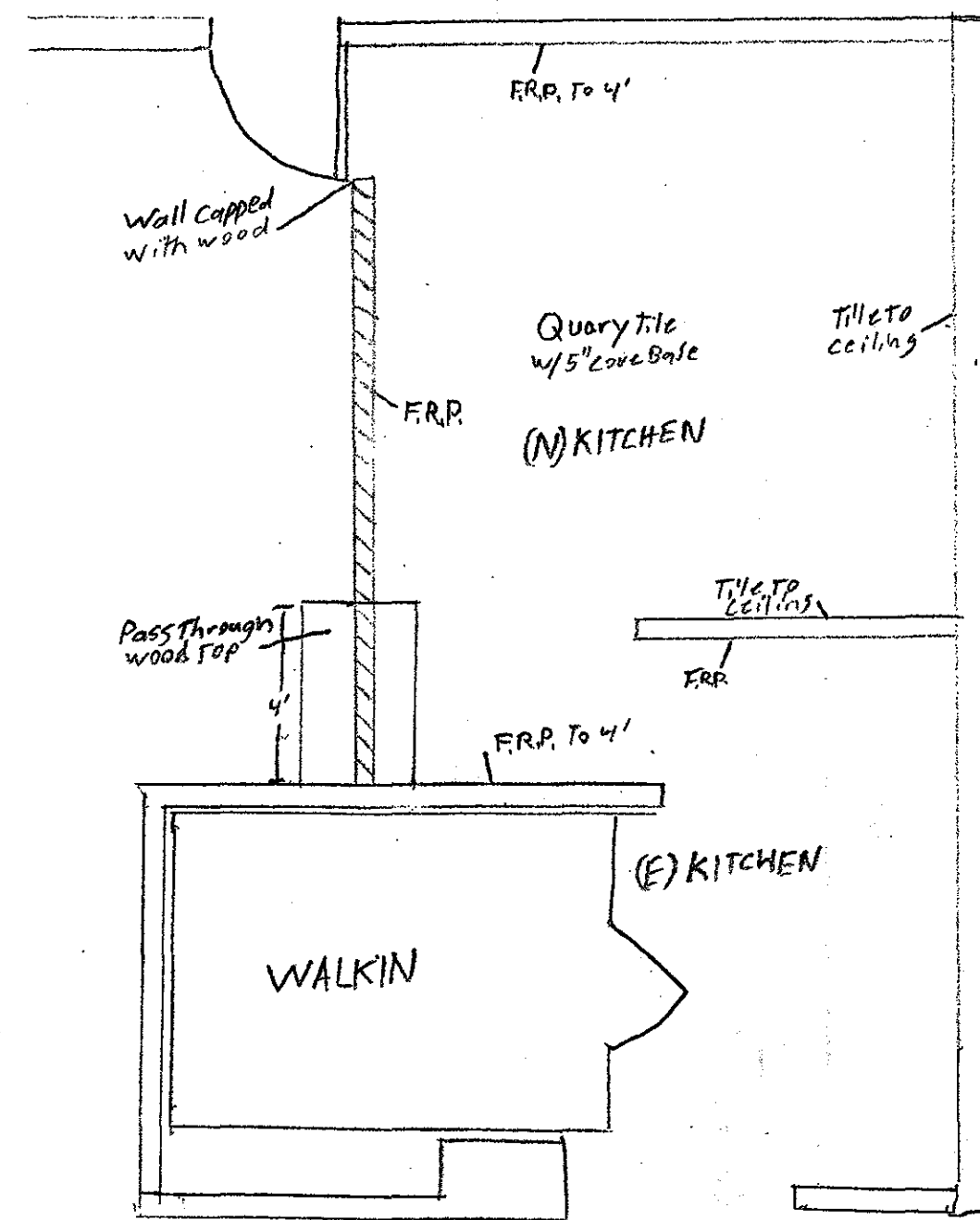
	EXISTING WALL TO REMAIN
	NEW WALL
	WALL TO BE REMOVED

PLAN REVIEW APPROVAL  
 SEP 30 2013  
 TOWN OF LOS GATOS  
 BUILDING DIVISION

1 PROPOSED FLOOR PLAN  
 SCALE 1/4" = 1'-0"

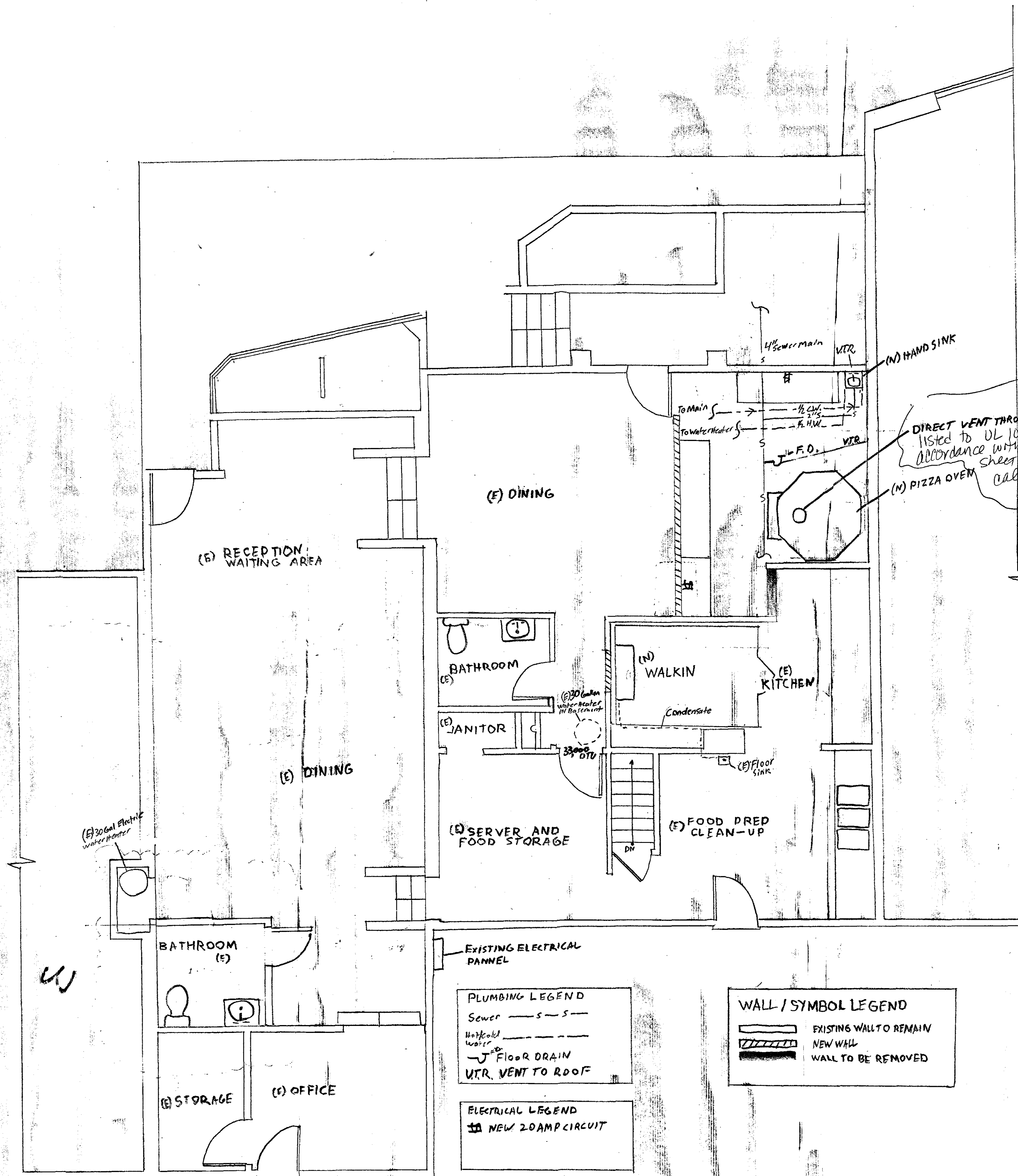
Santa Clara County  
 Department of Environmental Health  
 1555 Berger Drive, Ste. 300  
 San Jose, CA 95112-2716





① Finish Plan  
SCALE 1/4" = 1'-0"

- NOTES**
1. PLUMBING FIXTURES AND PIPING TO BE LISTED BY AN APPROVED LISTING and TESTING AGENCY AND PROPERLY LABELED CPC 301.1.1
  2. PLUMBING SYSTEM TO CONFORM TO 2010 CALIFORNIA PLUMBING CODE CPC 310.4
  3. ALL WATER LINES WILL BE COPPER
  4. ALL DWV WILL BE ABS
  5. MINIMUM OF 2% SLOPE AT ALL HORIZONTAL DRAIN PIPE
  6. NEW RECEPTACLE OUTLETS INSTALLED MINIMUM 15" MAX 48" ABOVE FLOOR
  7. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY NATIONALLY RECOGNIZED TESTING LAB AND PROPERLY LABELED



DIRECT VENT THROUGH ROOF USING 8-INCH CHIMNEY PIPE LISTED TO UL 103HT and installed per UL 737, in accordance with the Magnaini pizza oven spec. sheet attached to the back of the structural calc. booklet.

**PLUMBING LEGEND**

Sewer	— S — S —
Hot/Cold Water	— — — — —
FLOOR DRAIN	— J —
U.T.R. VENT TO ROOF	— V —

**ELECTRICAL LEGEND**

NEW 20 AMP CIRCUIT	— [Symbol] —
--------------------	--------------

**WALL / SYMBOL LEGEND**

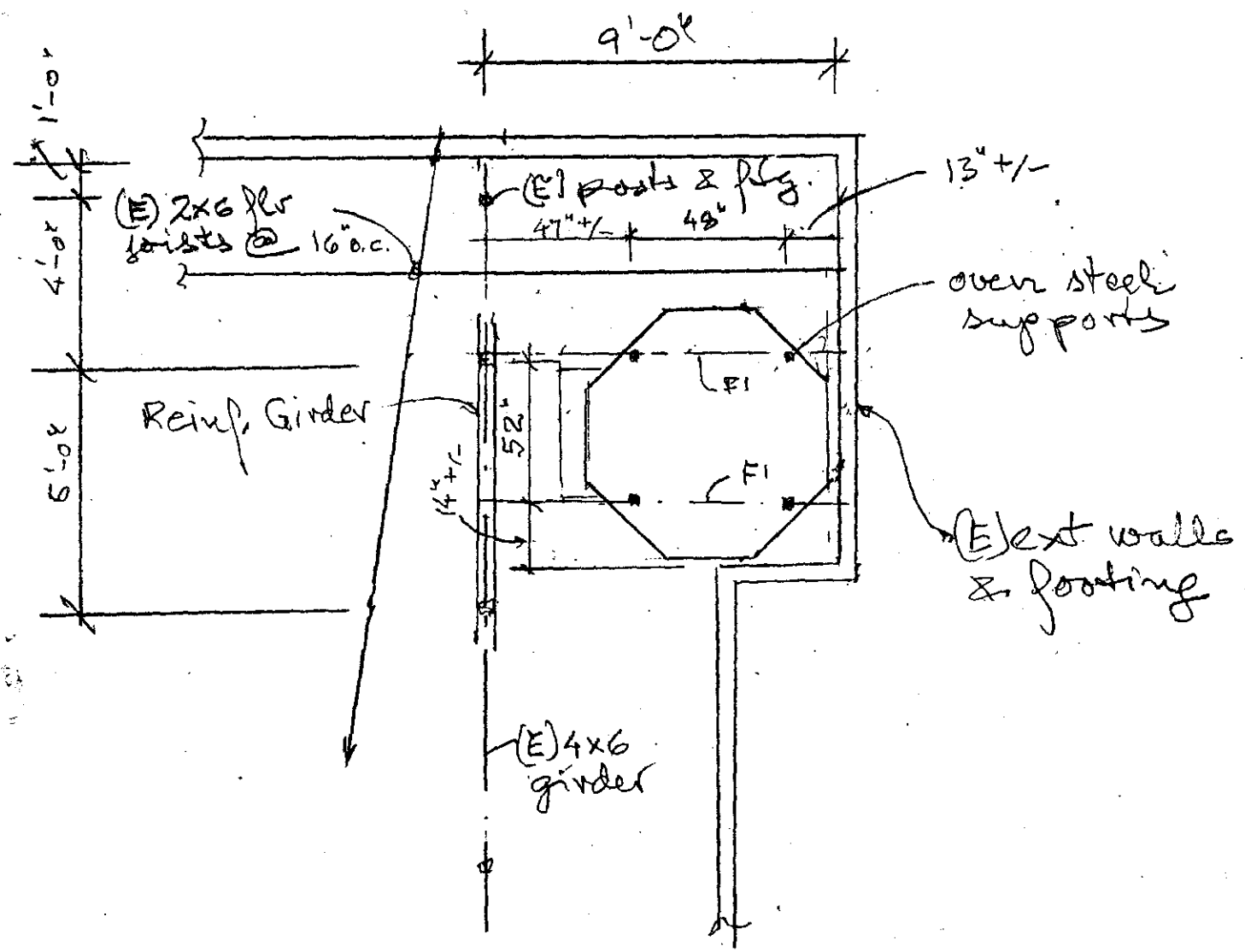
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	NEW WALL
[Symbol]	WALL TO BE REMOVED

① PROPOSED PLUMBING PLAN/ELECTRICAL PLAN/MECHANICAL PLAN  
SCALE 1/4" = 1'-0"

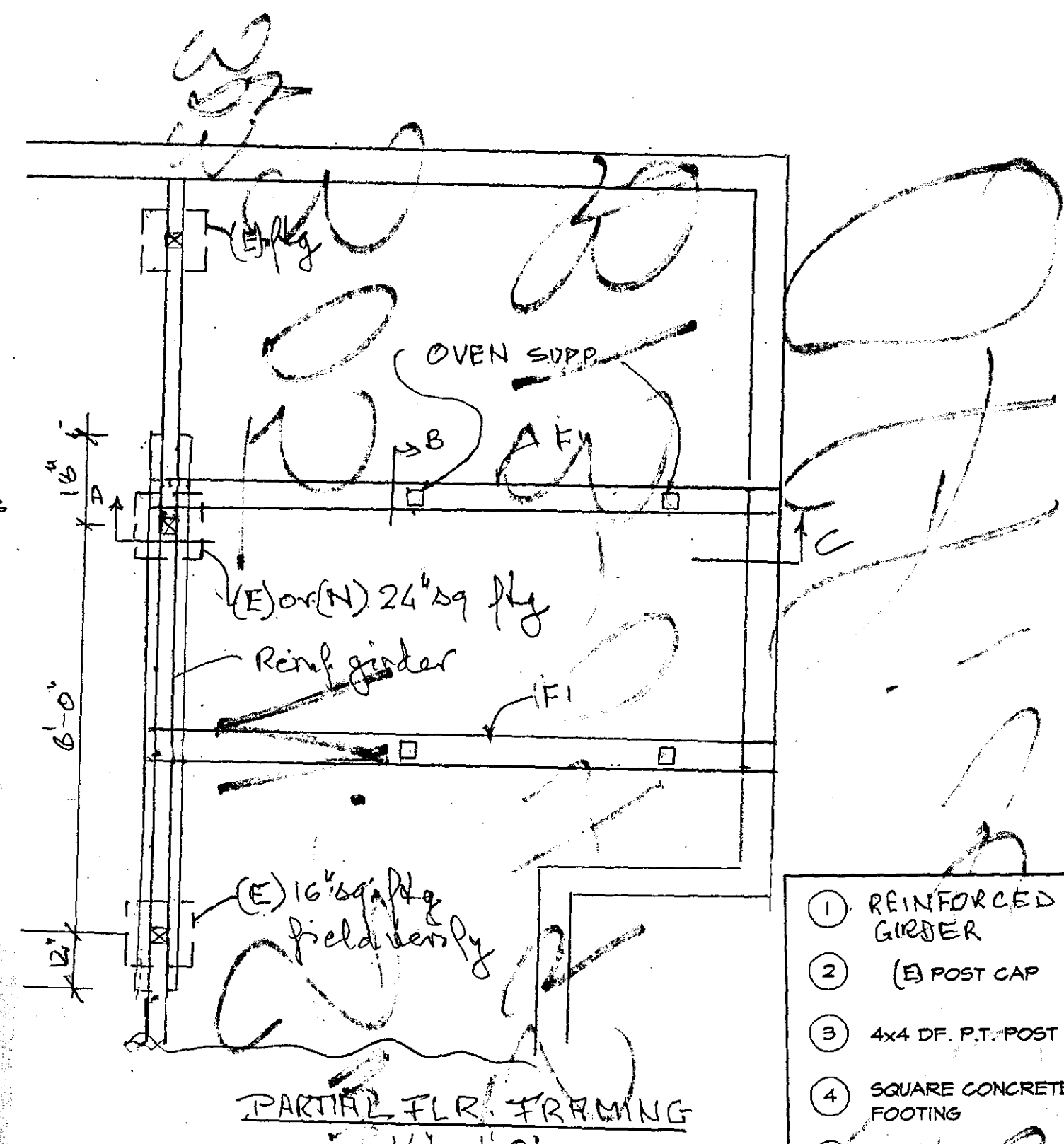
PLAN REVIEW APPROVAL  
SEP 3<sup>rd</sup> 2013  
TOWN OF LOS GATOS  
BUILDING DIVISION

Santa Clara County  
Department of Environmental Health  
1555 Berger Drive, Ste. 300  
San Jose, CA 95112-2714  
**M.E.R. PLAN**





OVEN LOCATION  
1/4" = 1'-0"

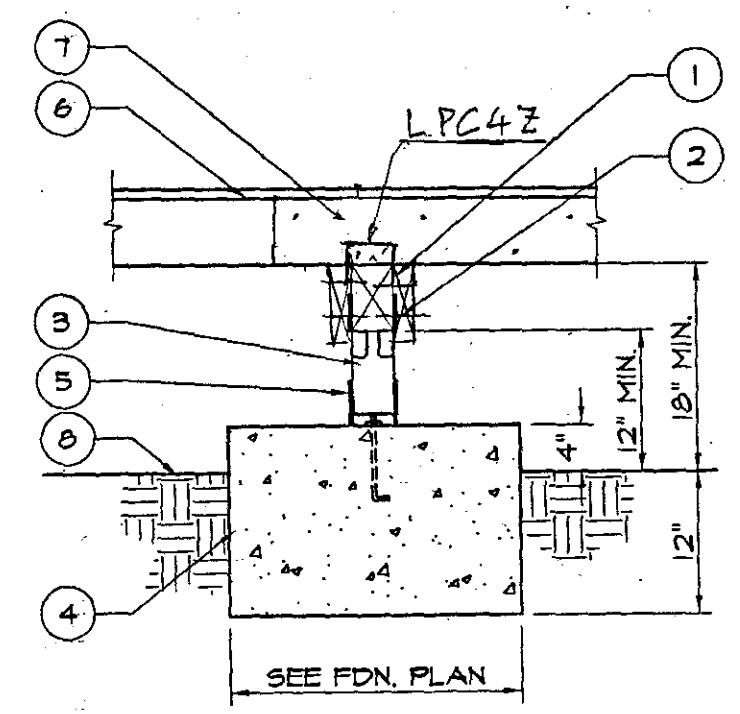


STRUCTURAL MEMBERS & CONNECTIONS CHART

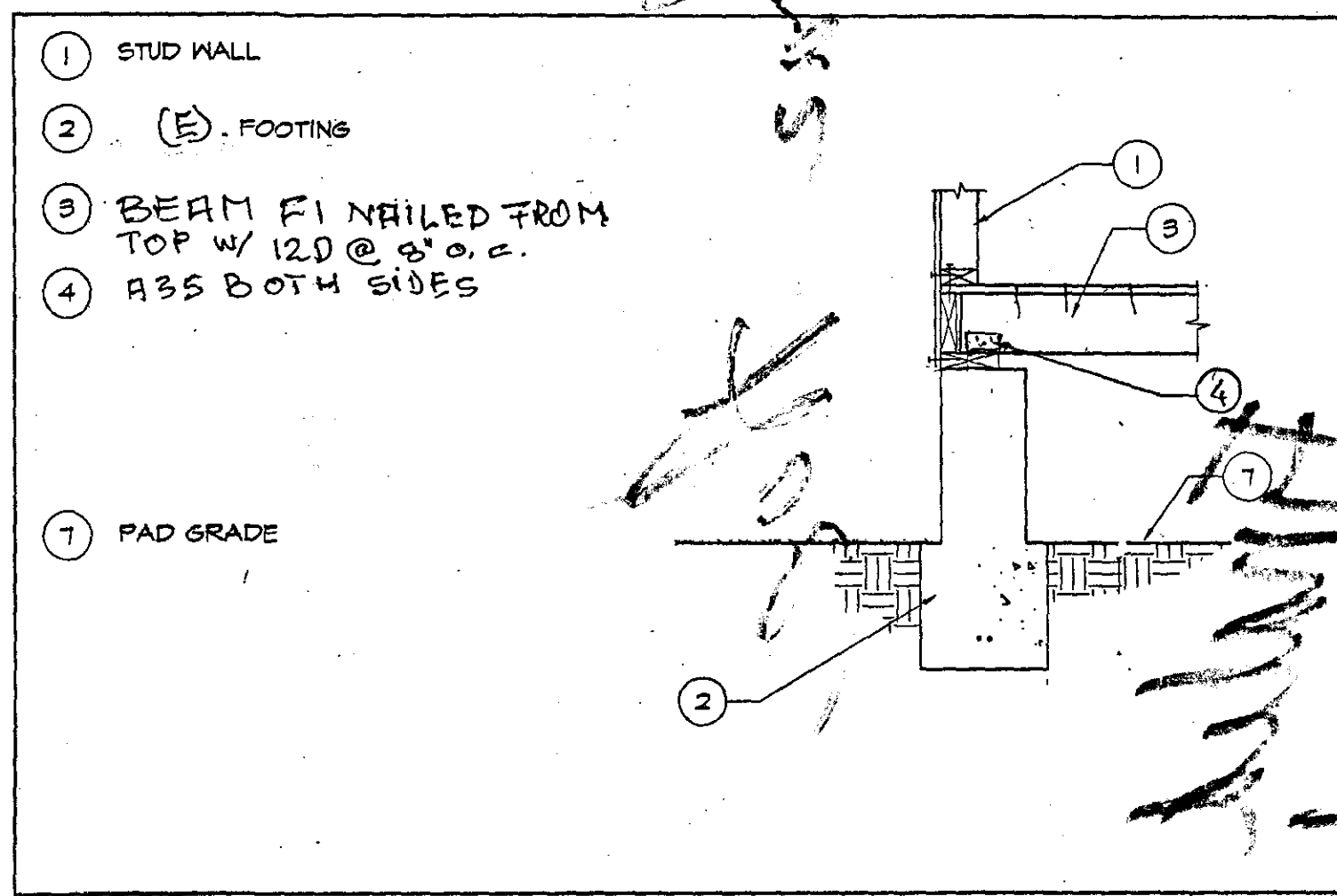
IDENT.	DESCRIPT.	SIZE	MATERIAL	CONNECTIONS	SUPPORTS	REMARK
REINF. GIRDER	B EAM	(2) 1 3/4 X 7 1/4	MICROLLAM 1.9E	DET. A SDS25312 @ 8" FROM BOTH SIDES	4X4 POST	SCABBED ON BOTH SIDES OF (E) GIRDER
F1	BEAM	5 1/4 X 7	PARALLAM 2.0E	DET. A, C, LPC4Z & (2) A35	REINFORCED GIRDER	ABOVE GIRDER, INSTALLED FLAT

NOTE: ALL POSTS SPECIFIED IN THIS CHART, MUST BE DF#2 OR BETTER.

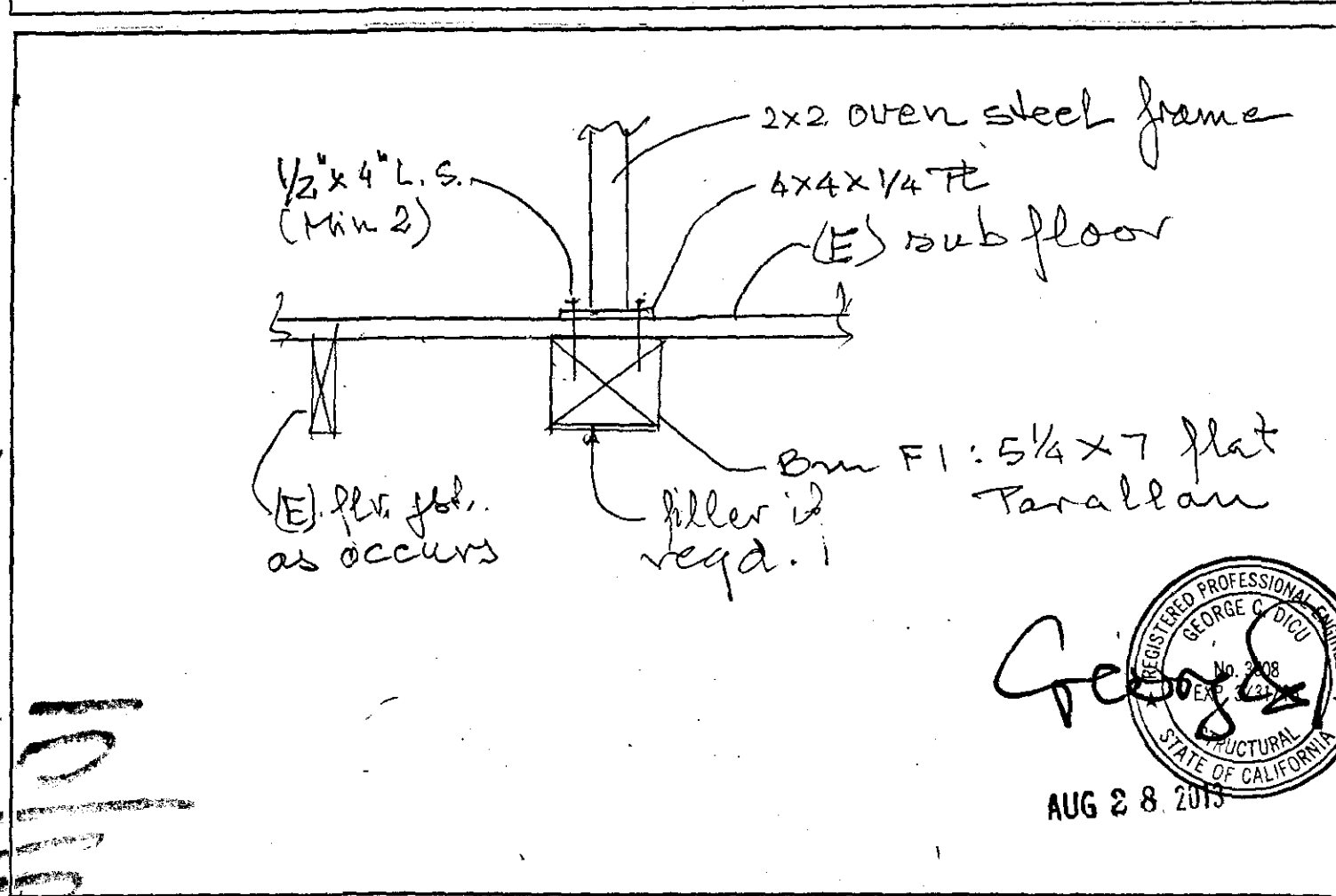
- ① REINFORCED GIRDER
- ② (E) POST CAP
- ③ 4x4 DF. P.T. POST
- ④ SQUARE CONCRETE FOOTING
- ⑤ (E) POST BASE
- ⑥ (E) FLOOR CONSTRUCTION
- ⑦ BM. F1
- ⑧ PAD GRADE



INTERIOR FOOTING



BERM F1 @ (E) FOOTING



SECT. @ OVEN LEG

3000 SCOTT BLVD STE 108  
SANTA CLARA, CA 95054  
PHONE: (408) 985-0830  
FAX: (408) 955-2015

**ALL STRUCTURAL**  
CONSULTING ENGINEERS INC.

PIZZA OVEN SUPPORT  
303 N SANTA CRUZ AV  
LOS GATOS, CA

MARIO CAVILLIA

DATE: 07/11/13  
SCALE: SCALE  
DRAWN: BD  
JOB: 13048  
SHEET: S-1

REGISTERED PROFESSIONAL ENGINEER  
GEORGE C. DICU  
No. 2708  
STRUCTURAL  
STATE OF CALIFORNIA  
AUG 28 2013



<b>PROJECT ARCHITECT</b>	Stowers Associates Architects Inc Greg Stowers, AIA 15495 Los Gatos Blvd., Suite 1 Los Gatos, California 95032  T: 408.358.5488 F: 408.358.5490  Lic. No. C28712
<b>BUILDING OWNER</b>	Bert Millen 301 N. Santa Cruz Avenue Los Gatos, CA 95030
<b>TENANT</b>	Restaurant James Randall Owner: Brenda Hammond 303 N. Santa Cruz Avenue Los Gatos CA 95030  Tel: 408. 621-0330

# RENOVATIONS AND EXPANSION FOR RESTAURANT JAMES RANDALL

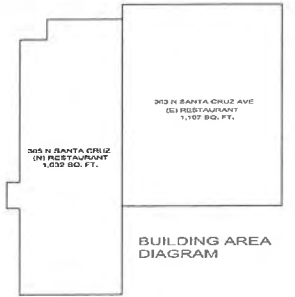
## 303 & 305 NORTH SANTA CRUZ AVENUE, LOS GATOS CA 95030

**ARCHITECT**











**STOWERS ASSOCIATES ARCHITECTS INC.**  
  
GREG STOWERS, AIA  
  
15495 LOS GATOS BLVD., STE 1  
LOS GATOS, CA 95032  
  
WWW.STOWERSASSOCIATES.COM  
PHONE: 408.358.5488  
CELL: 408.405.6048  
FAX: 408.358.5490


<b>PROJECT INFORMATION</b>	
PARCEL NUMBER	510-14-048
SITE AREA	20,473 SQ. FT.
ZONING	C-3
BUILDING USE	RESTUARANT RETAIL
EXISTING USES:	303 N. SANTA CRUZ RESTUARANT 305 N. SANTA CRUZ RESTUARANT
PROPOSED USES:	303 N. SANTA CRUZ RESTUARANT 305 N. SANTA CRUZ RESTUARANT
CONSTRUCTION TYPE	V-N
FIRE SPRINKLERS	NO
NO. OF STORIES	1 + BASEMENT
PARKING	4 On-Site plus Street Parking
BUILDING SQUARE FOOTAGE	
303 (E) RESTAURANT	1,197 SQ. FT.
305 (N) RESTAURANT	1,032 SQ. FT.
PROPOSED TOTAL	2,229 SQ. FT.



ABBREVIATIONS	
∅ Centerline ∅ Diameter # Perpendicular # Pound or Number AC.OUS. Acoustical A.D. Area Drain ADJ. Adjustable AGGR. Aggregate AL. Aluminum AL.T. Alternate APPROX. Approximate ARCH. Architectural ASPH. Asphalt BD. Board BITUM. Bituminous BLDG. Building BLK. Block BLKG. Blocking BM. Beam BOT. Bottom BKT. Bracket B.U. Built Up CAB. Cabinet C.B. Catch Basin CEM. Cement CER. Ceramic C.I. Cast Iron CIR. Circuit CJ. Control Joint CL. Clear CLG. Ceiling CLKG. Caulking CLO. Closet CLR. Clear C.O. Clear Opening COL. Column CONC. Concrete CONF. Conference CONN. Connection CONSTR. Construction CONT. Continuous CORR. Corridor CTSK. Countersunk CNTR. Counter CTR. Center C.W. Cold Water DBL. Double DEPT. Department D.F. Drinking Fountain DET. Detail DIA. Diameter DIAG. Diagonal DIM. Dimension DISP. Dispenser DN. Down D.O. Door Opening D.P. Damp Proofing DRL. Door DWR. Drawer DS. Downspout D.S.P. Dry Standpipe D.T. Drapery Track DWG. Drawing E. East (E) Existing	EA. Each E.J. Expansion Joint ELEV. Elevation ELEC. Electrical ELEV. Elevator EMER. Emergency ENC. Enclosure E.P. Electrical Panelboard EQ. Equal EQPT. Equipment E.W.C. Electric Water Cooler EXIST. Existing EXPO. Exposed EXP. Expansion EXT. Exterior F.A. Fire Alarm F.B. Flat Bar F.D. Floor Drain FDN. Foundation F.E. Fire Extinguisher F.E.C. Fire Extinguisher Cab. F.H.C. Fire Hose Cabinet FIN. Finish F.F.E. Finish Floor Elevation FLASH. Flashing FLUOR. Fluorescent F.O.C. Face of Concrete F.O.F. Face of Finish F.O.S. Face of Studs FRPF. Fireproof F.S. Full Size FT. Foot or Feet FOOT. Footing FUR. Furring GA. Gauge GALV. Galvanized G.B. Grab Bar G.I. Galvanized Iron GND. Ground GR. Grade GYP. Gypsum H.B. Hose Bibb H.C. Hollow Core HDWD. Hardwood HM. Hollow Metal HORIZ. Horizontal HR. Hour HGT. Height H.W. Hot Water I.D. Inside Diameter INFO. Information INSUL. Insulation INT. Interior JAN. Janitor J. BOX Junction Box JT. Joint KIT. Kitchen K.O. Knock Out K.S. Knee Space LAB. Laboratory LAB. Laboratory LAV. Lavatory LKR. Locker LT. Light L.P. Low Point

DRAWING SYMBOLS																																																																																																						
 GRID OR COLUMN LINE   DOOR SYMBOL   WINDOW SYMBOL   REVISION   W/ OPTIONAL CLOUD AROUND REVISED ITEM   DIMENSION POINT OR LEVEL LINE   SECTION REFERENCE   DETAIL	<table border="1"> <tr> <td>MACH. Machine</td> <td>MAT. Material</td> <td>MAX. Maximum</td> <td>M.C. Medicine Cabinet</td> <td>MECH. Mechanical</td> <td>MEMB. Membrane</td> <td>MET. Metal</td> <td>MFR. Manufacturer</td> <td>M.H. Manhole</td> <td>MIN. Minimum</td> <td>MISC. Miscellaneous</td> <td>M.O. Masonry Opening</td> <td>MTD. Mounted</td> <td>MUL. Mullion</td> <td>N. North</td> <td>N.I.C. Not In Contract</td> <td>NO. or # Number</td> <td>NOM. Nominal</td> <td>N.T.S. Not To Scale</td> <td>O.A. Overall</td> <td>OBS. Obscure</td> <td>O.C. On Center</td> <td>O.D. Outside Diameter (Dim.)</td> <td>OFF. Office</td> <td>OPNG. Opening</td> <td>OPP. Opposite</td> <td>P.A. Planting Area</td> <td>PAV. Paving</td> <td>PCAST. Precast</td> <td>PL. Plate</td> <td>P. LAM. Plastic Laminate</td> <td>PLAS. Plaster</td> <td>PR. Pair</td> <td>PT. Point</td> <td>P.T.D./R. Paper Towel Dispenser Combination Paper Towel Dispenser &amp; Receptacle</td> <td>Q.T. Quarry Tile</td> <td>R. Riser</td> <td>RAD. Radius</td> <td>R.D. Roof Drain</td> <td>REF. Reference</td> <td>REFR. Refrigerator</td> <td>RGTR. Register</td> <td>REINRF. Reinforce</td> <td>REQD. Required</td> <td>RESIL. Resilient</td> <td>RM. Room</td> <td>R.O. Rough Opening</td> <td>RWD. Redwood</td> <td>R.W.L. Rain Water Leader</td> <td>S. South</td> <td>S.C. Solid Core</td> <td>S.C.D. Seal Cover Dispenser</td> <td>SCHED. Schedule</td> <td>SCR. Screen</td> <td>S.D. Soap Dispenser</td> <td>SECT. Section</td> <td>SEP. Separation</td> <td>SHR. Shower</td> <td>SH. Sheet</td> <td>SIM. Similar</td> <td>S.N.D. Sanitary Napkin Dispenser</td> <td>S.N.R. Sanitary Napkin Receptacle</td> <td>SPEC. Specification</td> <td>SPKR. Speaker</td> <td>SQ. Square</td> <td>S.S. Stainless Steel</td> <td>S. SK. Service Sink</td> <td>STA. Station</td> <td>STD. Standard</td> <td>STL. Steel</td> <td>STOR. Storage</td> <td>STRUCT. Structural</td> <td>SUSP. Suspended</td> <td>SYM. Symmetrical</td> <td>TOIL. Toilet</td> <td>T.B. Towel Bar</td> <td>T.C. Top of Curb</td> <td>TEL. Telephone</td> <td>T. &amp; G. Tongue &amp; Groove</td> <td>T.P. Top of Pavement</td> <td>T.P.D. Toilet Paper Dispenser</td> <td>T.W. Top of Wall</td> <td>TYP. Typical</td> <td>U.O.N. Unless Otherwise Noted</td> <td>UTIL. Utility</td> <td>V.C.T. Vinyl Composition Tile</td> <td>VERT. Vertical</td> <td>VEST. Vestibule</td> <td>V.I.F. Verify In Field</td> <td>W. West</td> <td>WI. Win</td> <td>W.C. Water Closet</td> <td>W.H. Water Heater</td> <td>WD. Wood</td> <td>WDW. Window</td> <td>W/O. Without</td> <td>W.P. Waterproof</td> <td>W.S. Weather Stripping</td> <td>WSC.T. Walnscot</td> <td>WT. Weight</td> <td>W.R. Water Resistant</td> </tr> </table>	MACH. Machine	MAT. Material	MAX. Maximum	M.C. Medicine Cabinet	MECH. Mechanical	MEMB. Membrane	MET. Metal	MFR. Manufacturer	M.H. Manhole	MIN. Minimum	MISC. Miscellaneous	M.O. Masonry Opening	MTD. Mounted	MUL. Mullion	N. North	N.I.C. Not In Contract	NO. or # Number	NOM. Nominal	N.T.S. Not To Scale	O.A. Overall	OBS. Obscure	O.C. On Center	O.D. Outside Diameter (Dim.)	OFF. Office	OPNG. Opening	OPP. Opposite	P.A. Planting Area	PAV. Paving	PCAST. Precast	PL. Plate	P. LAM. Plastic Laminate	PLAS. Plaster	PR. Pair	PT. Point	P.T.D./R. Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle	Q.T. Quarry Tile	R. Riser	RAD. Radius	R.D. Roof Drain	REF. Reference	REFR. Refrigerator	RGTR. Register	REINRF. Reinforce	REQD. Required	RESIL. Resilient	RM. Room	R.O. Rough Opening	RWD. Redwood	R.W.L. Rain Water Leader	S. South	S.C. Solid Core	S.C.D. Seal Cover Dispenser	SCHED. Schedule	SCR. Screen	S.D. Soap Dispenser	SECT. Section	SEP. Separation	SHR. Shower	SH. Sheet	SIM. Similar	S.N.D. Sanitary Napkin Dispenser	S.N.R. Sanitary Napkin Receptacle	SPEC. Specification	SPKR. Speaker	SQ. Square	S.S. Stainless Steel	S. SK. Service Sink	STA. Station	STD. Standard	STL. Steel	STOR. Storage	STRUCT. Structural	SUSP. Suspended	SYM. Symmetrical	TOIL. Toilet	T.B. Towel Bar	T.C. Top of Curb	TEL. Telephone	T. & G. Tongue & Groove	T.P. Top of Pavement	T.P.D. Toilet Paper Dispenser	T.W. Top of Wall	TYP. Typical	U.O.N. Unless Otherwise Noted	UTIL. Utility	V.C.T. Vinyl Composition Tile	VERT. Vertical	VEST. Vestibule	V.I.F. Verify In Field	W. West	WI. Win	W.C. Water Closet	W.H. Water Heater	WD. Wood	WDW. Window	W/O. Without	W.P. Waterproof	W.S. Weather Stripping	WSC.T. Walnscot	WT. Weight	W.R. Water Resistant
MACH. Machine	MAT. Material	MAX. Maximum	M.C. Medicine Cabinet	MECH. Mechanical	MEMB. Membrane	MET. Metal	MFR. Manufacturer	M.H. Manhole	MIN. Minimum	MISC. Miscellaneous	M.O. Masonry Opening	MTD. Mounted	MUL. Mullion	N. North	N.I.C. Not In Contract	NO. or # Number	NOM. Nominal	N.T.S. Not To Scale	O.A. Overall	OBS. Obscure	O.C. On Center	O.D. Outside Diameter (Dim.)	OFF. Office	OPNG. Opening	OPP. Opposite	P.A. Planting Area	PAV. Paving	PCAST. Precast	PL. Plate	P. LAM. Plastic Laminate	PLAS. Plaster	PR. Pair	PT. Point	P.T.D./R. Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle	Q.T. Quarry Tile	R. Riser	RAD. Radius	R.D. Roof Drain	REF. Reference	REFR. Refrigerator	RGTR. Register	REINRF. Reinforce	REQD. Required	RESIL. Resilient	RM. Room	R.O. Rough Opening	RWD. Redwood	R.W.L. Rain Water Leader	S. South	S.C. Solid Core	S.C.D. Seal Cover Dispenser	SCHED. Schedule	SCR. Screen	S.D. Soap Dispenser	SECT. Section	SEP. Separation	SHR. Shower	SH. Sheet	SIM. Similar	S.N.D. Sanitary Napkin Dispenser	S.N.R. Sanitary Napkin Receptacle	SPEC. Specification	SPKR. Speaker	SQ. Square	S.S. Stainless Steel	S. SK. Service Sink	STA. Station	STD. Standard	STL. Steel	STOR. Storage	STRUCT. Structural	SUSP. Suspended	SYM. Symmetrical	TOIL. Toilet	T.B. Towel Bar	T.C. Top of Curb	TEL. Telephone	T. & G. Tongue & Groove	T.P. Top of Pavement	T.P.D. Toilet Paper Dispenser	T.W. Top of Wall	TYP. Typical	U.O.N. Unless Otherwise Noted	UTIL. Utility	V.C.T. Vinyl Composition Tile	VERT. Vertical	VEST. Vestibule	V.I.F. Verify In Field	W. West	WI. Win	W.C. Water Closet	W.H. Water Heater	WD. Wood	WDW. Window	W/O. Without	W.P. Waterproof	W.S. Weather Stripping	WSC.T. Walnscot	WT. Weight	W.R. Water Resistant		

INDEX OF DRAWINGS	
ARCHITECTURAL	STRUCTURAL
A0.1 TITLE SHEET AND PROJECT INFORMATION	N/A
A1.1 SITE PLAN	
A2.1 EXISTING / PROPOSED FLOOR PLAN	
MECHANICAL	
	N/A
ELECTRICAL	
	N/A
PLUMBING	
	N/A
TITLE 24	
	N/A

<b>BUILDING CODES</b>	2007 CALIFORNIA BUILDING CODE BASED ON THE 2006 INTERNATIONAL BUILDING CODE. As amended by the State of California along with any applicable local and/or state laws and regs.
<b>VICINITY MAP</b>	

<b>GENERAL PROJECT NOTES</b>	<ol style="list-style-type: none"> <li>Existing construction data shown on the drawings was obtained from available drawings. The contractor shall verify all existing conditions and shall notify the architect of all exceptions before proceeding with the work.</li> <li>All discrepancies between drawings shall be clarified with the architect prior to proceeding with work.</li> <li>Work shall be performed in conformance with local, county, state and federal codes, laws, and regulations applicable to this work.</li> <li>All demolition and construction debris shall be promptly removed from the site. Stockpiling of materials on site shall not be permitted. Items notes as being delivered to the Owner shall be removed with the most care to not damage such items. Coordinate with the Owner timing and delivery of such items.</li> <li>The General Contractor shall have access to power and water at the site. Make arrangements with Owner as required for use.</li> <li>The General Contractor shall not have access to toilet facilities at the building. Provide temporary toilet facilities on site. Obtain approval of location prior to placement.</li> <li>The General Contractor shall make provisions for phone service at the construction site. Building telephone lines will not be available for use by the General Contractor or their subs.</li> <li>Weekly site meetings shall be conducted during the construction process. These meetings shall include the General Contractor, the Owner and the Architect. Any sub-contractor working on the project may be present at these meetings. Additional meeting may be scheduled as required by the Owner, Architect or Contractor.</li> <li>The General Contractor shall be required to clean the construction site daily. Access to the construction area shall be from the rear of the building. Construction crew parking shall be in the rear of the building. No parking or deliveries will be allowed at the front of the center.</li> </ol>
------------------------------	---

<b>BLDG ACCESSIBILITY - 20% RULE</b>	<p>THE CURRENT BUILDING IS NOT ADA COMPLIANT. THE PATH OF TRAVEL FROM THE STREET IS IMPEDED BY A SET OF 2 STEPS AND THE BACK DOOR IS IMPEDED BY A SINGLE STEP. IN LOOKING AT THE REAR DOOR, SITE CONFLICTS DO NOT ALLOW FOR A RAMP TO EASILY BE INSTALLED. THE CURRENT BATHROOM IS ALSO NOT COMPLIANT.</p> <p>COST FOR SCOPE OF PROJECT:</p> <p>NEW DOORWAY TO CONNECT SPACES: \$3,000 ACCESSIBLE BATHROOM UPGRADE: \$5,000 NEW FLOORING THROUGHOUT: \$3,000 NEW INTERIOR FINISHES: \$1,000 TOTAL ESTIMATED PROJECT COSTS: \$12,000</p> <p>PERCENT OF TI TOWARDS ACCESSIBILITY UPGRADES: 42%</p>
--------------------------------------	--

<b>WRITTEN SCOPE OF WORK / JUSTIFICATION</b>	<p>SCOPE OF WORK:</p> <ol style="list-style-type: none"> <li>INSTALL NEW PASSAGEWAY TO CONNECT 305 NORTH SANTA CRUZ AVENUE TO EXISTING RESTAURANT AT 303 NORTH SANTA CRUZ AVENUE.</li> <li>MODIFY EXISTING BATHROOM AS REQUIRED TO CREATE ACCESSIBLE BATHROOM.</li> <li>INSTALL NEW FLOORING AND WALL FINISHES THROUGHOUT ENTIRE SPACE.</li> </ol> <p>JUSTIFICATION:</p> <p>THE EXISTING DINING ROOM AT RESTAURANT JAMES RANDALL IS VERY SMALL AND INTIMATE, WHICH IS LOVELY FOR A SMALL INTIMATE DINNER, BUT IS NOT VERY FUNCTIONAL WHEN LARGER PARTIES WANT TO EAT AT THE RESTAURANT. ADDITIONALLY, THERE IS CURRENTLY ONLY LIMITED STANDING SPACE FOR GUESTS TO WAIT FOR THEIR TABLES.</p> <p>THE GOAL OF THE EXPANSION IS TO USE THE NEW SPACE AS THE MAIN ENTRY TO THE RESTAURANT. A RECEPTION AND WAITING AREA WILL BE CREATED TO ALLOW FOR GUESTS TO COMFORTABLE WAIT FOR THEIR TABLES TO BE READY. A NEW DINING SERVICE BAR WILL BE CREATED AS WELL AS ADDITIONAL SEATING THAT WILL ALLOW FOR A MORE COMPLETE AND FULL SERVICE DINING EXPERIENCE.</p> <p>A FULLY ACCESSIBLE BATHROOM WILL BE CREATED. IN RELATION TO THE PROJECT AND SPACE WILL ALSO BE CREATED FOR AN OFFICE TO RUN THE RESTAURANT OPERATIONS OUT OF, INSTEAD OF THEIR CURRENT LOCATION IN THE MAIN KITCHEN.</p> <div style="text-align: center;"> <p><b>RECEIVED</b></p> <p>JUL 7 - 2010</p> <p>TOWN OF LOS GATOS PLANNING DIVISION</p> </div>
--	--

PROJECT

RENOVATION / EXPANSION OF

## Restaurant James Randall

Existing Restaurant  
303 North Santa Cruz Avenue  
Los Gatos, California 95030

Expansion Into  
305 North Santa Cruz Avenue  
Los Gatos, California 95030

ISSUE	DATE
PLANNING SUBMITTAL	05.05.2010
PLANNING RESUBMITTAL	05.25.2010
PLANNING RESUBMITTAL	06.15.2010

OWNERSHIP AND USE OF DOCUMENT

ALL DRAWINGS, SPECIFICATIONS AND NOTES SHALL REMAIN THE PROPERTY OF STOWERS ASSOCIATES ARCHITECTS INC. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF STOWERS ASSOCIATES ARCHITECTS INC. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

JOB NO. 2010.05  
DRAWN BY GTS  
SCALE AS NOTED

**TITLE SHEET**

**A0.1**



ARCHITECT



**STOWERS ASSOCIATES ARCHITECTS INC.**

GREG STOWERS, AIA

15495 LOS GATOS BLVD., STE 1  
LOS GATOS, CA 95032

WWW.STOWERSASSOCIATES.COM  
PHONE: 408.358.5488  
CELL: 408.406.6048  
FAX: 408.358.5490

PROJECT

RENOVATION / EXPANSION OF

# Restaurant James Randall

Existing Restaurant

303 North Santa Cruz Avenue  
Los Gatos, California 95030

Expansion Into

305 North Santa Cruz Avenue  
Los Gatos, California 95030

ISSUE DATE

PLANNING RESUBMITTAL 05.25.2010

PLANNING RESUBMITTAL 06.15.2010

STAMP

OWNERSHIP AND USE OF DOCUMENT  
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JOB NO. 2010.05

DRAWN BY GTS

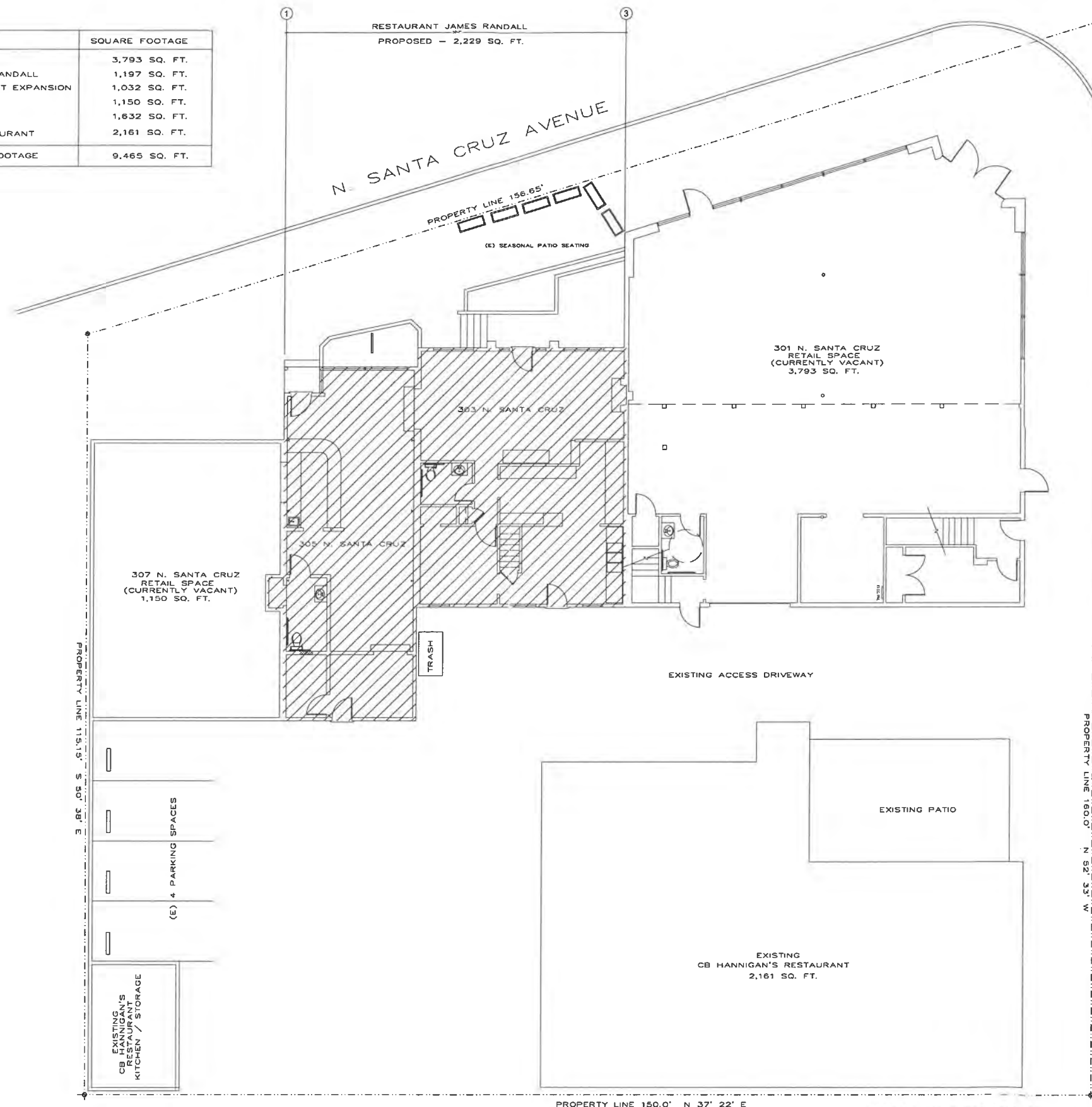
SCALE AS NOTED

SITE PLAN



TABLE OF ADJACENT USES ON SUBJECT PROPERTY:

ADDRESS	USE	SQUARE FOOTAGE
301 N. SANTA CRUZ AVENUE	RETAIL (VACANT)	3,793 SQ. FT.
303 N. SANTA CRUZ AVENUE	RESTAURANT JAMES RANDALL	1,197 SQ. FT.
305 N. SANTA CRUZ AVENUE	PROPOSED RESTAURANT EXPANSION	1,032 SQ. FT.
307 N. SANTA CRUZ AVENUE	RETAIL (VACANT)	1,150 SQ. FT.
204 BACHMAN (ABOVE 301)	OFFICE (BERT MILLEN)	1,632 SQ. FT.
208 BACHMAN AVENUE	CB HANNIGAN'S RESTAURANT	2,161 SQ. FT.
	TOTAL SITE SQUARE FOOTAGE	9,465 SQ. FT.



1 SITE PLAN  
SCALE: 1/8" = 1'-0"

SITE PLAN DATA WAS TAKEN FROM AVAILABLE DRAWINGS MADE AVAILABLE TO THE ARCHITECT.



ARCHITECT



**STOWERS ASSOCIATES ARCHITECTS INC.**

GREG STOWERS, AIA

15495 LOS GATOS BLVD., STE 1  
LOS GATOS, CA 95032

WWW.STOWERSASSOCIATES.COM  
PHONE: 408.358.5488  
CELL: 408.408.8048  
FAX: 408.358.5490

PROJECT

RENOVATION / EXPANSION OF

**Restaurant James Randall**

Existing Restaurant  
303 North Santa Cruz Avenue  
Los Gatos, California 95030

Expansion Into  
305 North Santa Cruz Avenue  
Los Gatos, California 95030

ISSUE	DATE
PLANNING SUBMITTAL	05.05.2010
PLANNING RESUBMITTAL	05.25.2010
PLANNING RESUBMITTAL	06.15.2010

STAMP


OWNERSHIP AND USE OF DOCUMENT

JOB NO. 2010.05

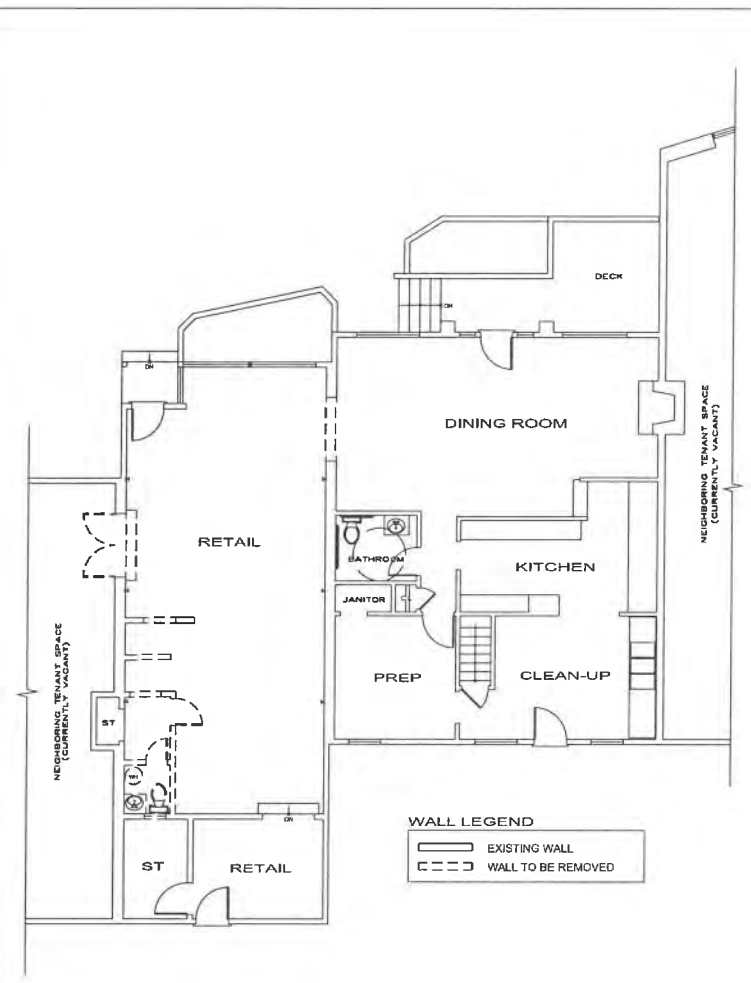
DRAWN BY GTS

SCALE AS NOTED

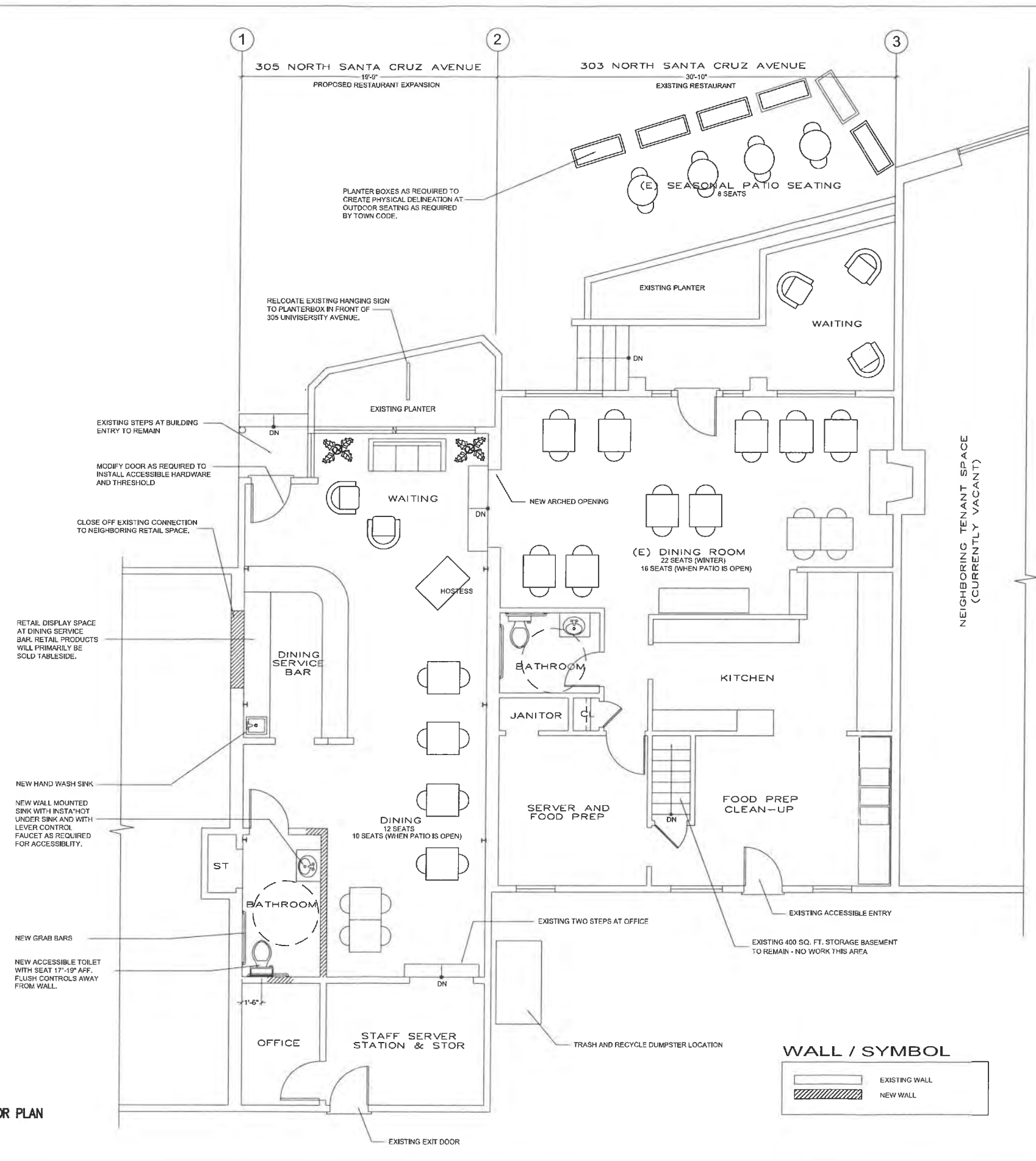
FLOOR PLAN



**A2.1**



**2** EXISTING / DEMO PLAN  
SCALE: 1/8" = 1'-0"



**1** PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



305 NSC Ave

TOWN OF LOS GATOS

No 1335 B

Building Inspection Department  
Phone Elgato 4-4520

BUILDING PERMIT

Location

305 1/2 N Santa Cruz Ave  
Lot Block Tract

Street

Setbacks ft.

Zone C Front 10  
Side ( ) ( )  
Rear

Date 2-1-1956

Is hereby granted in accordance with application to

Build  
Remodel  
Add to  
Move  
or  
1 Story Family Residence and  
No. 5 Store  
Other Type Structure

Occupancy

Owner

Contractor

Valuation

RECEIPT for

as inspection fee is hereby acknowledged 12.22 Dollars

Town of Los Gatos Building Inspection Department

By W A Baker

CAL, PLUMBING AND GAS PERMITS ARE REQUIRED  
IN ADDITION TO THIS PERMIT

INSPECTION RECORD

	DATE	INSPECTOR
FOOTINGS		
FOUNDATION FORMS		
POUR NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED		
BOND BEAM (CONC. BLK)		
ROUGH PLBG.		
	PARTIAL	
	COMPLETE	
GAS PRESSURE		
ROUGH FRAME		
(INCLUDES FLUES, ROOF & SIDING)		
DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED		
ROUGH WIRING		
COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED		
STUCCO WIRE & LATH		
PLUMBING FIXTURES		
GAS APPLIANCES		
ELECTRICAL FIXTURES		
BUILDING COMPLETE		

No Utilities Will Be Cleared Until  
(Building Complete) Has Been Approved



# APPLICATION FOR BUILDING PERMIT

DATE Jan 5 1950

The undersigned herewith makes application for the

Alteration of 1 Story  
Stucco Building, of  
Type Construction, basement, to be used and

occupied as Business Shop

Foundation to be as is

With a footing of    in. in. top and    in. high

Outside walls to be as is

Interior to be same

The roof will be same

supported same

Will be heated by    with    flue

Estimated value, \$ 500

.....hereby agree to save, indemnify and keep harmless the Town of Los Gatos against all liabilities, judgments, costs and expenses which may in any wise accrue against said city in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street, or sub-sidewalk place by virtue thereof, and will in all things strictly comply with the conditions of this permit.

Owner C. M. James Address 307 Monte Rey Ln

Architect   

Contractor Self

Inspector's File No. No 1002

Department of Building & Inspection

## BUILDING PERMIT TOWN OF LOS GATOS

PERMIT is herewith granted to

on 307 Monte Rey Ln

for    in accordance with plans and specifications approved, and now on file in this office.

Receipt for    Dollars, as fee, is hereby acknowledged.

Dated Jan 5 1950

Inspector:



# TOWN OF LOS GATOS

110 E. CENTER ST., LOS GATOS, CA 95030  
 BUILDING INSPECTION DEPARTMENT • PHONE 384-6377

INSPECTION REQUESTS PHONE 384-6377

**B** 25662

**1**

**BUILDING ADDRESS**  
 STREET, AVE, BLVD, ETC. SUITE OR APT. NO.  
 307 NO. SANTA CRUZ  
 BANK  
 BANK OF THE WEST  
 P.O. Box 8050  
 WALNUT CREEK, CA. 94596  
 ARCHITECT □ ENGINEER □ DESIGNER □ PH.  
 ADDRESS SUITE OR APT. NO.  
 CITY ZIP  
 CONTRACTOR EL CAMINO ROOFING PH. 408-292-7144  
 ADDRESS SUITE OR APT. NO.  
 1650 SO. 7TH ST  
 CITY SAN JOSE, CA. ZIP 95112  
 STATE LICENSE # 424322 TOWN LICENSE

**SQUARE FOOTAGE**

1st FL.	EXISTING	ADDITION
2nd FL.		
(BASE/1st FL.)		
SUBTOTAL		TOTAL
GARAGE		
OTHERS		

NO. OF STORIES 1 SIZE OF LOT NO. OF LIVING UNITS  
 APN ESTIMATE VALUATION

**DESCRIPTION OF WORK:** Remove Existing Roofs, 1 gravel + 1 cap sheet.  
 Apply 25lb Base & 3-Layer 11lb Glass Plys with 450 lb Pk Gravel. 300  
 partial roof. 4750

**CONTRACTORS DECLARATION**  
 I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.  
 SIGNATURE \* By Bob De Galleary

**WORKER'S COMPENSATION DECLARATION**  
 I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREBY FURNISHED, AND COMPLETES WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.  
 SIGNATURE \* By Bob De Galleary

**CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**  
 I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.  
 SIGNATURE \* By Bob De Galleary

I HEREBY AFFIRM THAT I HAVE READ THE APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER ON THE ABOVE DESCRIBED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE \* By Bob De Galleary

REQ. FINAL	PLAN	PERMIT APPROVALS	DATE
INSPECTION	DEPT.	OK Bob	4/28/93
INSPECTION	ENGINEERING	N.A. (OK)	4/28/93
INSPECTION	FIRE	OK (OK)	4/28/93

FRONT S.S.	FEES AND TAXES	
REAR S.S.	PERMIT ISSUANCE	BldgPrmt \$ 20.00
LEFT S.S.	BUILDING PERMIT	BldgPrmt 79.50
RIGHT S.S.	TITLE - 24	Title24F
USE ZONE	SEPMCO TAX	SMIP 5% 1.05
		SMIP 95% 1.00
SEWER NO.	PLAN CHECK	PChkBldg 1.10
TYPE GROUP	MICRO BUILDING	MicroBldg 1.10
TYPE CONST.	CONSTRUCTION TAX	ConstCap
FIRE SFFRINKLER	UTILITY TAX	ConstUnd
	PARK TAX	ConstPrk
	PLANNING PLAN CHECK	PchPlan
	MICRO PLANNING	MicroPln
	STORM DRAIN ENG.	BasIn
<b>TOTAL \$</b>		<b>121.65</b>

**INSPECTION RECORD**  
 4/29/93 T/O (OK)

**VALIDATION** PAID APR 28 1993  
 #14594/93

**TOWN OF LOS GATOS**

APPROVAL:	DATE	INSPECTOR'S SIG.
FORWARDER/LOCAL		
USE/FLOOR/GENERAL		
PLANNING		
ENGINEERING		
FIRE		
INSPECTION	4/28/94	(OK)
INSPECTION	4/28/94	(OK)



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**REQUEST FOR REVIEW  
HISTORIC PRESERVATION COMMITTEE**

**TOWN OF LOS GATOS - COMMUNITY DEVELOPMENT DEPARTMENT**  
110 E MAIN STREET, LOS GATOS, CA 95030  
[PLANNING@LOSGATOSCA.GOV](mailto:PLANNING@LOSGATOSCA.GOV)  
408-354-6872

**PLEASE SUBMIT APPLICATION WITH ALL REQUIRED DOCUMENTS VIA THE CITIZEN'S PORTAL:**  
<https://permits.losgatosca.gov/Login-and-Manage-My-Records>

PLEASE TYPE OR PRINT CLEARLY

**1. PROPERTY LOCATION:**

Address of subject property 301, 303 , 305, 307 N. Santa Cruz Ave.  
Zoning: C-2 Property Size: 20,599 ft APN: 510-14-048  
Year built: Varies  
Existing use: 301-Vacant, 303/305-Restaurant, 307-Yogurt shop

**2. APPLICANT REQUEST:**

- |  |   |
|--|---|
| <input type="checkbox"/> Determination of Significance                         | <input checked="" type="checkbox"/> Removal from Historic Resources Inventory |
| <input type="checkbox"/> Preliminary Review                                    | <input type="checkbox"/> Demolition   |
| <input type="checkbox"/> Exterior Modifications Outside of a Historic District | <input type="checkbox"/> Other: _____   |

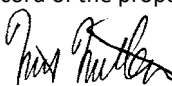
**3. APPLICANT:**

Name Mike Millen (Mng. Member of General Partner) Phone: (408)871-2777  
Address 204 Bachman Ave.  
City Los Gatos State CA Zip 95030  
Email MillenLP@millen.org

**4. NAME OF PROPERTY OWNER: (If same as above, check here )**

Name Millen Family Partnership, LP Phone: (408)871-2777  
Address 204 Bachman Ave.  
City s Gatos State CA Zip 95030  
Email MillenLP@millen.org

I hereby certify that I am the owner of record of the property described in Box #2 above, and that I approve of the action requested herein.

SIGNATURE OF OWNER  DATE 10/17/22

The information contained in this application is considered part of the public record. Therefore, it will appear in both the public record file for the site address, which is available upon request, and on the permitting system on the official Town of Los Gatos website at [www.losgatosca.gov](http://www.losgatosca.gov).



MILLEN FAMILY PARTNERSHIP, LP  
MICHAEL MILLEN, *MANAGING MEMBER*  
204 Bachman Ave. • Los Gatos, CA 95030  
(408) 871-2777 [CELL] • E-mail: [MikeMillen@aol.com](mailto:MikeMillen@aol.com)

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October 18, 2022

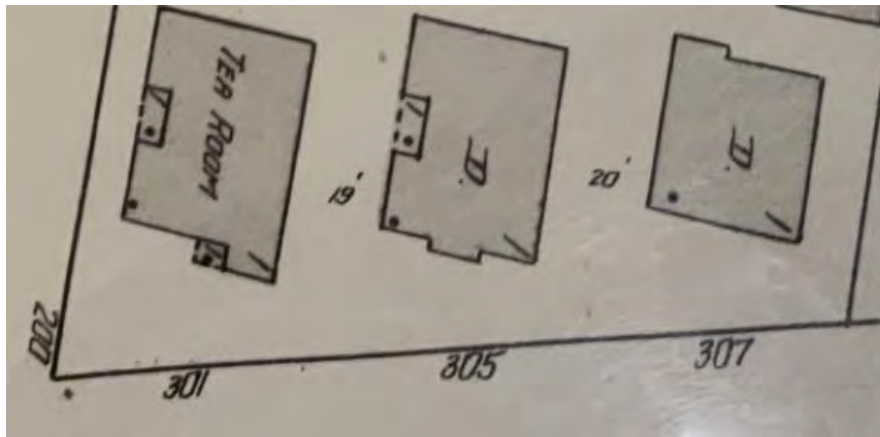
Historic Preservation Committee  
Town of Los Gatos  
[electronically submitted]

In Re: 301, 303, 305 & 307 N. Santa Cruz Ave.  
Request to Remove from Inventory

Dear Historic Preservation Committee:

The owner of the above parcel, Millen Family Partnership, LP, hereby requests that 301, 303, 305 & 307 N. Santa Cruz Ave be officially removed from the Town's historic inventory. All four buildings are on the same parcel of land and form a united complex which, while quite functional, is bereft of historical significance.

What used to be three residences with side yards (as shown by this 1928 Sanborn Map) has become a modern commercial complex which does not belong in the Town's historical inventory.



**THE TOWN HAS PREVIOUSLY FOUND THE CURRENT BUILDING COMPLEX  
AS LACKING HISTORICAL SIGNIFICANCE**

The Town previously conducted an evaluation and inventory of this complex. (Exhibit 1.) The Town noted that 301 and 305 had been altered and that the entire complex appeared ineligible for designation due to significant post-1941 alterations. (See Exhibit 1, "Evaluation Sheet".)



In her historical survey, Architectural Historian Anne Bloomfield confirmed remodeling of the buildings in the 1960s.

(andwritten in red)  
Estimated age 1930s PH 60s Style Med

This is confirmed in the Historical Evaluation sheet in which Ms. Bloomfield and a Town representative state that 301 and 305 have been altered.

D. INTEGRITY  
14. Alterations <sup>301, 305</sup> 2 of the 4 shops altered 2 intact <sup>305/207</sup>

Further, presumably on account of the fact the remodeling was so substantial and so modern, the two agreed that the complex "Appears ineligible for designation".

CUMULATIVE RATING: 3 5 Appears eligible for National Register.  
4 May become eligible for National Register.  
5 Appears eligible for local designation.  
D Contributor to district that is any of the above.  
N Non-contributor to the district.  
6 Appears ineligible for designation, but older than 1942.  
7 5 Appears ineligible for designation because newer than 1941.



Evaluated by: [Signature] Date -3-91  
Reviewed by: ML Date 4-16-91

A brief review of each of the four buildings demonstrates the basis for this finding.

### 301 N. SANTA CRUZ

The current structure at 301 N. Santa Cruz is a cement/plaster building which was built in 1952 as per the building permit. Any residence which was previously at this location was torn down to make way for this cinderblock commercial building.

#### APPLICATION FOR BUILDING PERMIT

Date June 12 1952  
The undersigned herewith makes application for the  
Construction of 1 Stor X  
Cement block Building, of  
Type Construction, no basement, to be used and  
occupied as Comm Building.  
Foundation to be slab floor  
With a footing of 16 in. 8 in. top and 4 in. high  
Outside walls to be Cement Block  
Interior to be Plaster & cement blocks  
The roof will be tan & asbestos J M  
supported 2x8 rafters 16" C  
Will be heated by Gas with fancoil flue  
Estimated value, \$ 25000

..... hereby agree to save, indemnify and keep harmless the Town of Los Gatos against all liabilities, judgements, costs and expenses which may in any wise accrue against said city in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street, or sub-sidewalk place by virtue thereof, and will in all things strictly comply with the conditions of this permit.

Owner Anton M. Jensen Address Montebello Park  
Architect Frank C. Prosser Los Gatos  
Contractor Self " Los Gatos

**BUILDING PERMIT** No. 1401  
TOWN OF LOS GATOS Inspector's file No. \_\_\_\_\_  
Department of Building & Inspection  
PERMIT is herewith granted to Anton M. Jensen  
Location 301 N. Santa Cruz & Bachman's Ave  
for New Building in accordance with plans and specifications  
approved, and now on file in this office.  
Receipt for Forty two & no/100 Dollars  
as fee, is hereby acknowledged.  
Contractor Self Dated June 12 1952  
THIS PERMIT MUST BE POSTED ON THE JOB M. Sullivan  
Building Inspector



**303 N. SANTA CRUZ**

The structure built at 303 N. Santa Cruz (which is now called 305 because it actually adjoins 307 N. Santa Cruz) is a wood framed building. The 1928 Sanborn Map (page 1) shows this space as an empty side yard. As detailed below, the historical evidence indicates that this building was constructed in the 1960s.



There is no 1941 Assessment for 303 N. Santa Cruz and Anne Bloomfield's research for the year 1952 confirms that 303 did not exist at the time.

*Anne Bloomfield*  
**ARCHITECTURAL/CULTURAL SURVEY**  
**NAME RESEARCH**

ARCHITECTURAL HISTORY  
 (415) 922-1063  
 3229 WEBSTER STREET  
 SAN FRANCISCO, CA 94115

Name (person, building, organization, etc.) \_\_\_\_\_  
 Addresses associated with Name 301-307 N. Sta Cruz  
 Relevant dates: construction \_\_\_\_\_, birth \_\_\_\_\_, death \_\_\_\_\_, other \_\_\_\_\_

1. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for holdface)
1952	SJD	Treseder Frank (Roberta) archt	Kress & Gibson ISJI r Los Gatos
"	"	N. Sta. Cruz, 301	Mickelsen's Furniture
"	"	" 305	Berg's Antiques
"	"	" 307	Golden Buddha Gift shop

This is consistent with the 1952 Polk directory which indicates 303 did not exist.

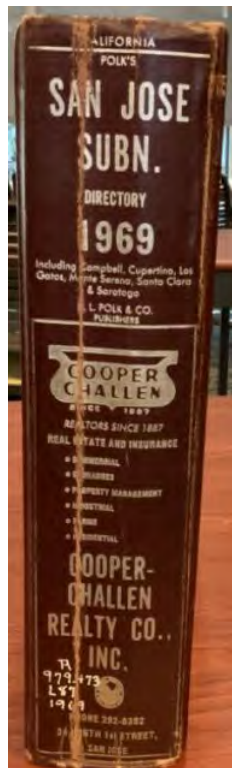
ACTIVE SINCE 1867  
**JAMES A. CLAYTON & CO.**  
 REAL ESTATE — INSURANCE — PROPERTY MANAGEMENT  
 34 W. Santa Clara St. San Jose, California  
 PHONE CYPRESS 2-4282

(1952) R. L. POLK & CO.'S

<p>250                  SANTA CRUZ AV. NORTH—Contd                  54½ Nerenberg Benj optom                  EL 4-2704                  55 Polly Prim Pastry Shop                  EL 4-1155                  56 Mode O Day women's clo                  Jenkin's Dress Shop EL 4-4716                  56½ Hanson E A auto repr                  EL 4-4325                  57 Dick's Family Liquor Store                  EL 4-1170                  58 Fremier Realty Co                  EL 4-3720                  59 Standard Sta gas sta                  60 Los Gatos Auto Electric                  EL 4-4333                  Bean av begins</p>	<p>233 Nelsens Texaco Station gas                  sta EL 4-9755                  236 Lezie Marie Studio photog                  EL 4-2258                  Lezie P L                  236½ O'Shea C A EL 4-1674                  Bachman av begins                  Ins EL 4-1315                  300 Gateway Realty &amp; General                  EL 4-4316                  301 Mickelsen's Furniture                  EL 4-4316                  305 Berg's Antiques EL 4-3716                  307 Golden Buddha gift shop                  EL 4-2216                  308 Peterson T N Mrs EL 4-4559                  312 Gatio Cleaners EL 4-4143                  314 Vacant</p>	<p>489 Bellew W K phys                  491 Ruby's Festival Dress Shop                  EL 4-2400                  493 Roy's Bootery EL 4-4253                  497 Covert J P phys EL 4-4100                  Andrews begins                  500 Panighetti A G @ EL 4-4764                  503 Johnson Birdie E @                  EL 4-4968                  506 Hawkins O L EL 4-4045                  511 Giraudo B J @ EL 4-4154                  511½ Haack R W EL 4-1614                  512 James B I real est EL 4-1547                  Peterson W C real est                  515 Locatelli E F 4-4535                  518 Boyajlan E W auto sups @                  EL 4-4442</p>
---	--	--



By contrast, the 1969 Polk directory shows “303 Berg’s Antiques”.



This historical evidence suggests that 303 was built sometime in the 1960s.

### 305 N. SANTA CRUZ

The structure originally built at 305 N. Santa Cruz (which actually adjoins 301 and is now called 303) was substantially changed in the 1960s.



305 (now called 303) N. Santa Cruz



First, the existing floor-to-ceiling commercial plate glass windows are not residential windows. There is little doubt that they were added mid-century when this part of downtown became substantially commercial.

Second, looking at the exterior, both the left and right walls of the building no longer exist in their original form as those walls have been made party walls with the adjoining buildings. Also, the left 1/3 in front of the structure has changed. Formerly, there was a clear area adjoining 301.



Now, as shown in the color photo on the previous page, this area has become a raised patio only a few inches below the main entrance with divisional fencing changing the presentation of the building.

Finally, Anne Bloomfield confirmed in the 1991 Evaluation that the Interior was of no historical value and gave it an FP rating.

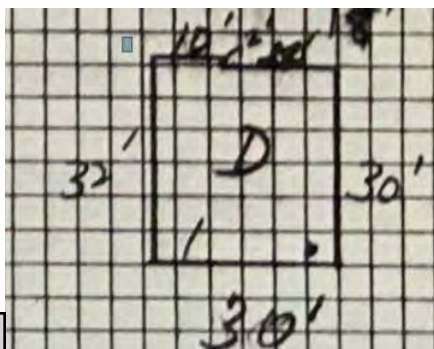
6. Interior

E VG G (FP)

This is due to the inside having been completely remodeled many times when it was converted from residential to retail and then, years later, to a bakery and now full service restaurant.

**307 N. SANTA CRUZ**

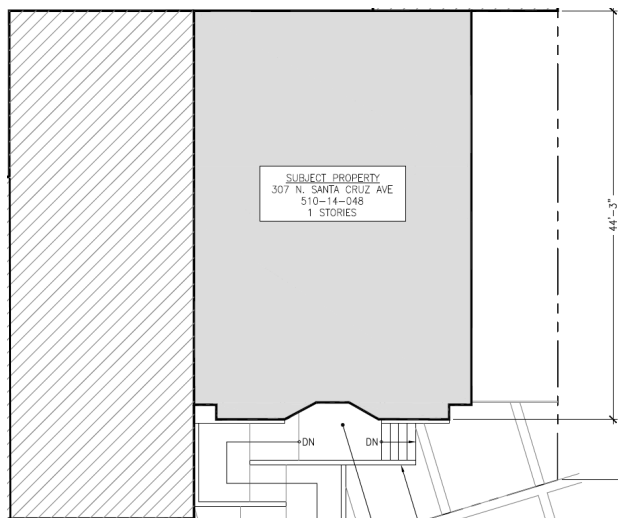
It does appear that a residential dwelling of some sort existed at 307 N. Santa Cruz prior to 1941. However, the footprint of the building has changed substantially.



As can be seen from this close-up of the 1941 Assessor's diagram, the building in 1941 was measured as being only 30' long. After 1941, and mostly likely in the 1960s or 1970s, an additional 14' was added to the building's length.



This enlargement can be seen in the architect's diagram of the yogurt shop which currently occupies the space. What used to be a 30' long building has become a 44.25' long building. The landlord's believes that this was done in the 1960s or early 1970s.



The original brick chimney for 307 was removed, floor to-ceiling-commercial windows installed, and, as shown in this Anne Bloomfield photo, the awning covering the front of the building was removed as part of a remodel for a later business.



Moreover, the owners, to continue their compliance with the Americans with Disabilities Act (ADA), constructed a code-compliant wheelchair ramp in front of the building. While the owners were pleased to do this to further facilitate access to all the community, it worked a distinct alteration on the façade's presentation.



Finally, the side windows which existed in 1966 (see bottom of left photo) no longer exist today.



### CONCLUSION

The buildings on this parcel that existed 80 years ago (two of which were built since) bear very little resemblance to the complex standing today. While there are landmark buildings in Los Gatos which well deserve to be carefully curated to bridge the gap between the old and new, this completely renovated 301-307 complex (along with the newly constructed buildings) is unrecognizable as being part of the Town's fabric in the 1930s. Based on all of the above, the Committee is requested to find that all four buildings, 301, 303, 305, and 307, none of which are in a historical overlay, should be officially removed from the Los Gatos Downtown Historic Inventory.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Millen". The signature is stylized and cursive.

Michael Millen



Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY  
 LOS GATOS RESEARCH

649

File address 301-03-05-07 N. Santa Cruz

PARCEL MAP INFORMATION

Parcel # 510-14-048-E pln Lot size: 157 front ft. x 115-160 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other □ + diag. of NISC

Location: N    S    E    W    side of    St    Ave    Other   

distance to cross st:    ft. N    S    E    W    from   

at NE    NW    / SE    SW    corner of NISC & Bachman

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Massal Sub Old Block # 1 Old lot # ? 20?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ✓+✓+ Estimated age 1930s <sup>1960s</sup> Style Med # stories 1

Alterations

Other 301-Rem. 303 Med. 305 LG Beauty Outlet. 307 "Design Mine" - 4 shops

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date   

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908	13	NW SC2 & Bachman	160x160	A Jensen
Survey	1944				

MISCELLANEOUS

National Register listed date   

County Inventory 1979   

Town of Los Gatos: Designation    Recognition   

District Name   

Previous Survey   

Gebhard: page #    illustration page #     
 Butler/Junior League   



# 007/012.33 Date 2 Nov 89

303

305

307

group





LOS GATOS HISTORIC RESOURCES INVENTORY

EVALUATION SHEET

Building or District Name Commercial Stores

Address(es) 301-303-305-307 North Santa Cruz Ave.

Criterion	This Building	Ratings
<b>A. ARCHITECTURE</b>		
1. Building type	<u>4 stores, 1-story</u>	E VG <u>G</u> FP
2. Construction	<u>concrete block (per B.P.)</u>	E VG <u>G</u> FP
3. Style :	<u>Mediterranean - pretty good ex.</u>	E VG <u>G</u> FP
4. Architect	<u>Frank C. Troseder</u>	E <u>VG</u> G FP
5. Design	<u>zigzag footprint <sup>miniaturizes</sup> fits diagonal plot</u>	E <u>VG</u> G FP
6. Interior	<u>—</u>	E VG G <u>FP</u>
<b>B. HISTORY</b>		
7. Age	<u>1952</u>	E VG G F <u>P</u>
8. Person(s)	<u>A. Jensen (developer)</u>	E VG G <u>FP</u>
9. Event	<u>—</u>	E VG G <u>FP</u>
10. Patterns	<u>commercial devel. moves north</u> <u>(primary imp, loosely con.)</u>	E <u>VG</u> G FP
<b>C. ENVIRONMENT</b>		
11. Scale/Massing	<u>important - maintains small shops scale</u>	E <u>VG</u> G FP
12. Setting	<u>landscaping in zigzag</u>	E <u>VG</u> G FP
13. Landmark	<u>inconspicuous</u>	E VG G <u>FP</u>
<b>D. INTEGRITY</b>		
14. Alterations	<u><sup>301,305</sup> 2 of the 4 shops altered, <sup>303+307</sup> 2 intact</u>	E VG <u>G</u> FP

CUMULATIVE RATING: 3    Appears eligible for National Register.  
 4    May become eligible for National Register.  
 5    Appears eligible for local designation.  
 D    Contributor to district that is any of the above.  
 N    Non-contributor to the district.  
 6    Appears ineligible for designation, but older than 1942.  
 7       Appears ineligible for designation because newer than 1941.



Evaluated by: B  
 Reviewed by: ML  
 Reviewed by: \_\_\_\_\_  
 Reviewed by: \_\_\_\_\_

Date -3-91  
 Date 4-16-91  
 Date \_\_\_\_\_  
 Date \_\_\_\_\_



LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Commercial Stores

Address(es) 301-07 N. Sta. Cruz

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	(2)	0	Type		
10	5	(2)	0	Construction		
10	5	(2)	0	Style		
8	(4)	2	0	Architect		
25	(12)	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	( <u>0</u> )	Interior	—	<u>22</u>
	16	6		ARCHITECTURE		(Max. 50)
10	5	2	(1/0)	Age		
15	8	4	(0)	Person		
10	5	2	(0)	Event		
<u>15</u>	( <u>8</u> )	<u>4</u>	<u>0</u>	Patterns	—	<u>8</u>
				HISTORY		(Max. 25)
25	(12)	6	0	Scale/Massing		
8	(4)	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	( <u>0</u> )	Landmark	—	<u>16</u>
				ENVIRONMENT		(Max. 25)
0	-6	(-12)	125	INTEGRITY	—	<u>-12</u>

Cumulative Rating:

CUMULATIVE TOTAL 34

- 60+ = 3 (appears eligible for National Register)
- 40-59 = 5 (appears eligible for local listing)
- 23-59 = D (contributor to district rated one of the above)
- (22- = 6 or 7 (ineligible) or non-contributor)









**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

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**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING  
NOVEMBER 16, 2022**

The Historic Preservation Committee of the Town of Los Gatos conducted a Regular Meeting on November 16, 2022 at 3:00 p.m.

This meeting This meeting is being conducted utilizing teleconferencing and electronic means consistent with Town Council Policy 2-01 entitled Town Agenda Format and Rules and Town Resolution. In accordance with Town Policy and Resolution, the public may only view the meeting online and not in the Council Chamber.

**MEETING CALLED TO ORDER AT 3:00 PM**

**ROLL CALL**

Present: Chair Timothy Lundell, Vice Chair Barry Cheskin, Planning Commissioner Kylie Clark, Planning Commissioner Steve Raspe, and Committee Member Susan Burnett.

Absent: None.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. Approval of Minutes – October 26, 2022

**MOTION:**                   **Motion by Commissioner Raspe to approve the Consent Calendar.  
Seconded by Chair Lundell.**

**VOTE:**                     **Motion passed unanimously.**



**PUBLIC HEARINGS**

2. 301-307 N. Santa Cruz Avenue  
Request for Review PHST-22-020

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned C-2. Located at 301-307 N. Santa Cruz Avenue. APN 510-14-048.

PROPERTY OWNER: Millen Family Partnership, LP

APPLICANT: Mike Millen

PROJECT PLANNER: Ryan Safty

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Mike Millen, Applicant

- He is the owner, speaking on behalf of the family. Their parents bought the property in the 70's. They want to make the parcel vibrant again. Architects ask if they can design something new, or if they must keep certain items to make it conform.
- Some of the addresses are post-1941 and do not need to be considered.
- The address at 208 Bachman had gone before the Town Council. They determined it had lost any historical integrity.
- The address at 307 has changed from thirty to forty feet long. Windows and chimneys were removed. The buildings are now adjoined with party walls.
- Some of the address numbers have changed over the years; 305 is now 303.
- The Bloomfield Survey states too many changes.

Committee members asked questions of the applicant.

Mike Millen, Applicant

- They need all four buildings on the parcel removed from the inventory for complete design freedom.
- They found the 1990 Bloomfield Survey inconsistent. It stated that 301 and 305 were altered and 303 and 307 were intact. But cumulative rating stated that everything is ineligible.

Closed Public Comment.

Committee members discussed the matter.



- The Commercial Business District is important. The structure at 208 was removed from the inventory. 301 and 305 (formerly 303) no longer have historical significance.
- Originally each address had separate owners and should be separately evaluated.
- The Ann Bloomfield evaluation sheet included all four buildings. The summary stated that they were a good representation of the Spanish Colonial or Mediterranean style. Scaling and massing was very important for the small shop scale.
- Bloomfield ranked the property with 34 points: 12 out of 12 for scaling and massing, 12 for design, 8 for pattern, 4 for architecture, 6 for total type, style and construction, and 4 for setting. Two of the buildings merit staying in the Historic Inventory.
- In both the 2020 and 2040 General Plan guidelines, the goal is to maintain the historic character of the downtown area. The Land Use Element refers to the downtown as the historic heart of the town and has implementation plans.
- Structures at 303 and 307 still have historic significance.

Committee members asked questions of Staff.

Staff

- The primary date of 1900 is used as a filler date when the actual build date is unknown. The effective date reflects when known major reconstruction has taken place.

Committee members asked questions of the applicant.

Mike Millen, Applicant

- The Hannigan's site was removed from the historic Inventory by the Town Council. Mike was young but, remembers this story. In the early 90's, the restaurant received complaints about excessive noise from their patio. They installed plexiglass barriers to keep the noise level down. But they did not have a permit. The matter came before the Town Council who removed it from the Historic Resources Inventory because there was no historic significance. Mike does not know why it did not go before the Historic Preservation Committee.

Committee members asked questions of Staff.

Staff

- In order to be fair and consistent, the determination needs to be based on the findings listed in the staff report.

Committee members discussed the matter.

- Two of the structures have undergone alterations but retain a large portion of original and distinctive characteristics.



MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
NOVEMBER 16, 2022

- The 301 building is a newer with no historic characteristics.
- Item 3 finding: No distinctive characteristic of type, period or method of construction representation of work of a master. In 1990, Bloomfield claimed it that the 303 building still has characteristics.
- We are lumping four ideas into one basket. 301 is obviously yes, take it off. Most of the changes occurred before that 1990 Bloomfield Survey. Changes and modification were done to the other structures, but they still retain original characteristics. But Sanborn lumped all the structures in one.
- We still have the discretion to separate the structures.
- Some of the buildings were built before 1941. Revisions were made but they retain some pre 1941 characteristics.
- How much was changed in each building? Can the applicant give clear evidence? The evidence in the packet is muddled.
- Agree that 301 can be removed
- When we remove from structures from the inventory it is very clear cut. But not in this case. Two buildings look Mediterranean or Spanish colonial. The facades look good and are not falling down. They are right behind the Almond Grove Historic district.

Staff:

- Can continue and ask for more information from the applicant. They did extensive research. If there's no additional information, then there is no need to continue.

Committee members asked questions of the applicant.

Mike Millen, Applicant

- They spent hours in the library, going through photos, phone directories and insurance maps. The material determined what existed commercially, except for 301 which was a residence running a tea house.

Committee members discussed the matter.

- Cannot let all four addresses be removed based on what we know now.
- Applicant could reapply with clear evidence of severe alteration for each address.
- No prejudice to applicant if part of the application is denied.

Staff

- 208 Bachman has no historic merit and would not return to the Committee. 301 N. Santa Cruz Avenue, too, does not need to come back to the Committee.

Modification to the other building on the site would be reviewed consistent with other historic properties in Town.



MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
NOVEMBER 16, 2022

The parcel would be removed from the Historic Resources Inventory, but with certain addresses staying historic.

**MOTION:**                    **Motion** by **Chair Lundell** to approve the removal of the structure located at 301 North Santa Cruz Avenue from the Historic Resources Inventory but deny without prejudice the removal of the other structures on that property (addressed as 303, 305, and 307 N. Santa Cruz Avenue).  
**Seconded** by **Member Burnett**.

**VOTE:**                    **Motion passed unanimously.**

**Appeal rights were recited.**

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

None.

**ADJOURNMENT**

The meeting adjourned at 3:56 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the November 16, 2022 meeting as approved by the Historic Preservation Committee.

---

/s/ Jennifer Armer, AICP, Planning Manager



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## TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

November 17, 2022

Mike Millen  
204 Bachman Avenue  
Los Gatos, CA 95030  
Via email

**RE: 301-307 N. Santa Cruz Avenue**

**Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned C-2. APN 510-14-048. Request for Review Application PHST-22-020.**

**PROPERTY OWNER: Millen Family Partnership, LP  
APPLICANT: Mike Millen  
PROJECT PLANNER: Ryan Safty.**

On November 16, 2022, the Los Gatos Historic Preservation Committee approved the removal of the building addressed as 301 N. Santa Cruz Avenue (located on the corner of N. Santa Cruz and Bachman Avenues) from the Historic Resources Inventory (HRI) and denied without prejudice the removal of the buildings addressed as 303, 305, and 307 N. Santa Cruz Avenue (located northeast of the building addressed as 301 N. Santa Cruz Avenue). The building addressed as 301 N. Santa Cruz Avenue is no longer under the purview of the Historic Preservation Committee, along with 204 and 208 Bachman Avenue previously determined by the Town Council to have lost historic integrity. The property remains on the HRI and any proposed exterior alterations to the buildings that remain on the HRI may require review by the Historic Preservation Committee.

PLEASE NOTE: Pursuant to Sections 29.20.258 and 29.20.260 of the Town Code, this approval may be appealed to the Planning Commission within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

EXHIBIT 5



If you have any questions, I can be contacted by phone at (408) 354-6802 or by email at [RSafty@logatosca.gov](mailto:RSafty@logatosca.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "RSafty".

Ryan Safty, Associate Planner  
p.p. Sean Mullin, AICP, Senior Planner

N:\DEV\HISTORIC PRESERVATION\HPC Action Letters\2022\Santa Cruz N, 301 - Action Letter - 11-16-22.docx





**TOWN OF LOS GATOS**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
 110 E. Main Street  
 Los Gatos, CA 95030

**APPEAL OF THE DECISION OF  
 HISTORIC PRESERVATION COMMITTEE**

**PLEASE TYPE or PRINT NEATLY**

I, the undersigned, do hereby appeal a decision of the HISTORIC PRESERVATION COMMITTEE as follows:

DATE OF DECISION: 11/16/2022

PROJECT/APPLICATION: PHST-22-020

LOCATION: 301-307 N. Santa Cruz Avenue

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Historic Preservation Committee.

*Interested person means:*

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.


LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

- 1 ) 305 N. Santa Cruz was constructed in 1956 and must be removed because it is post-1941
- 2) The integrity of 303 and 307 are such that the structures no longer have the potential to convey significance.
- 3) The structures are not associated with significant events, personae, types, periods, construction methods, or master work
- 4) Anne Bloomfield and Town staff previously decided that the buildings are not worthy of inclusion in the inventory

**IMPORTANT:**

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Historic Preservation Committee. If the tenth (10<sup>th</sup>) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10<sup>th</sup>) day, usually a Monday. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) after the date of the filing of the appeal. The Planning Commission may hear the matter a new and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

**RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT**

PRINT NAME: Mike Millen SIGNATURE: 

DATE: 11/18/2022 ADDRESS: 204 Bachman Ave., Los Gatos, CA 95030

PHONE: (408) 871-2777 EMAIL: MikeMillen@aol.com

\*\*\*\*\*

**OFFICE USE ONLY**

DATE OF PLANNING COMMISSION HEARING: \_\_\_\_\_

COMMISSION ACTION: 1. \_\_\_\_\_ DATE: \_\_\_\_\_  
 2. \_\_\_\_\_ DATE: \_\_\_\_\_  
 3. \_\_\_\_\_ DATE: \_\_\_\_\_

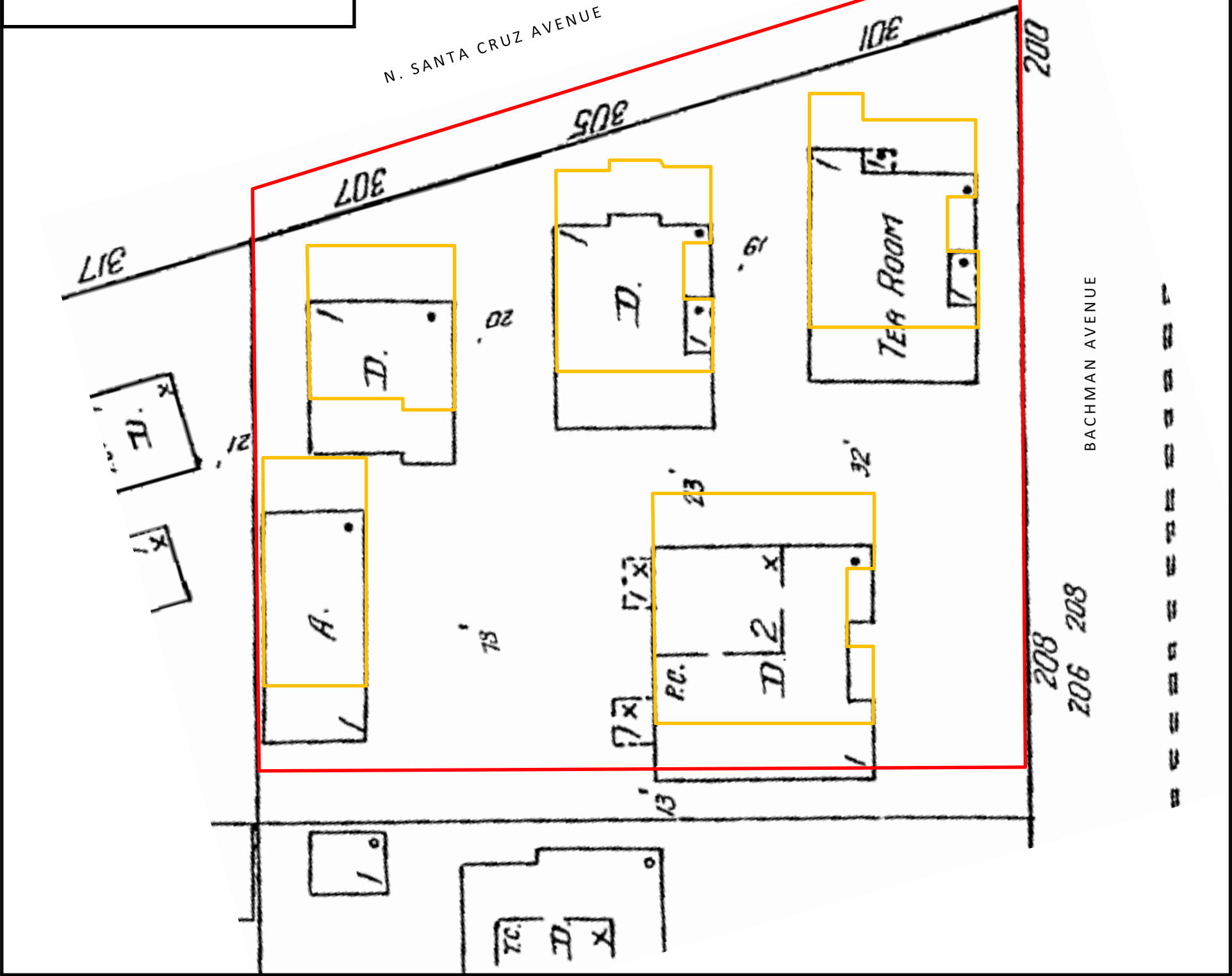
No Appeal Fee for the decision by the Historic Preservation Committee.



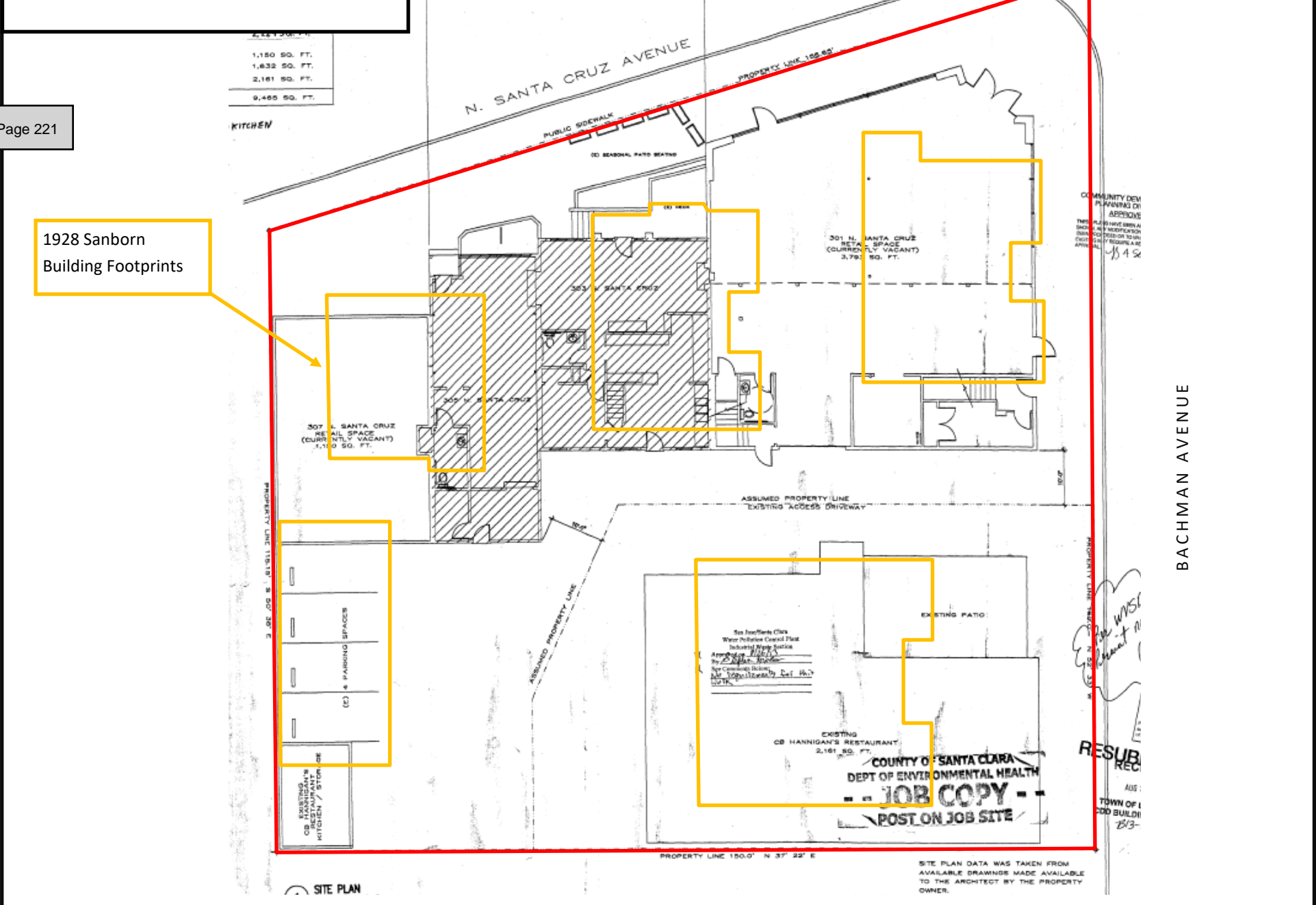
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# 1928 Sanborn Map



# 2013 Building Permit



Page 221

1928 Sanborn Building Footprints



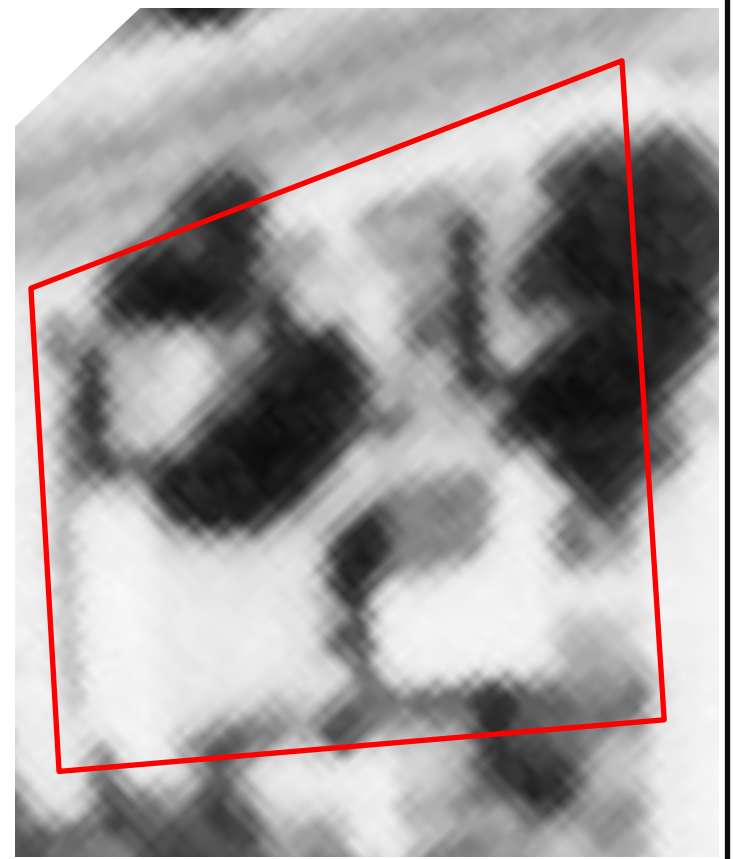
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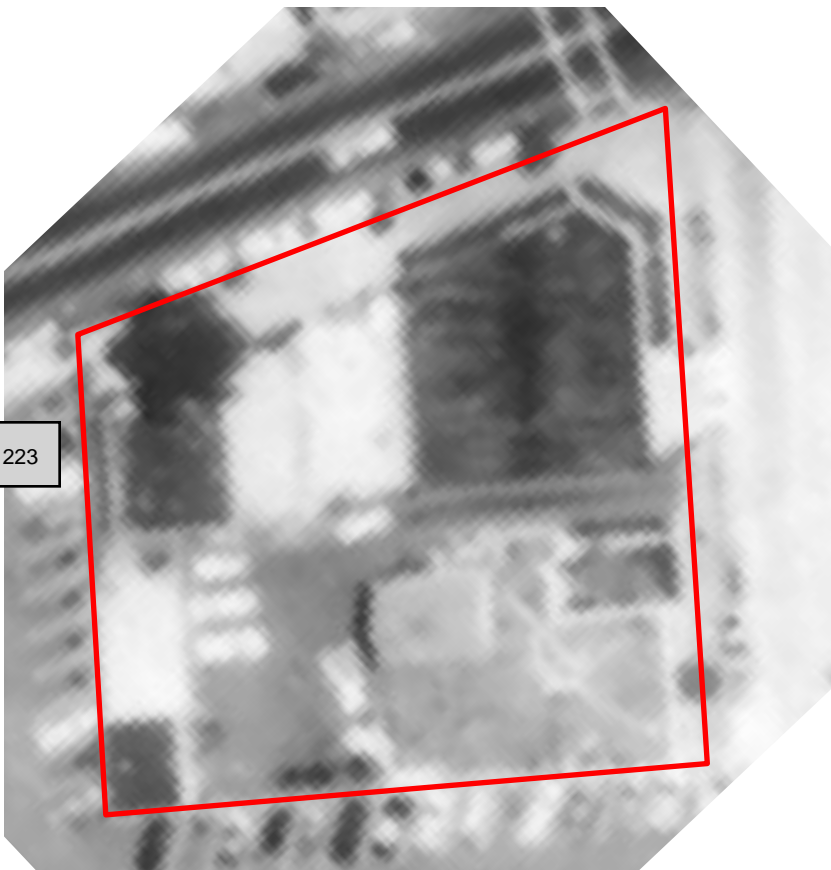
**1931**

Three detached structures fronting N. Santa Cruz Avenue



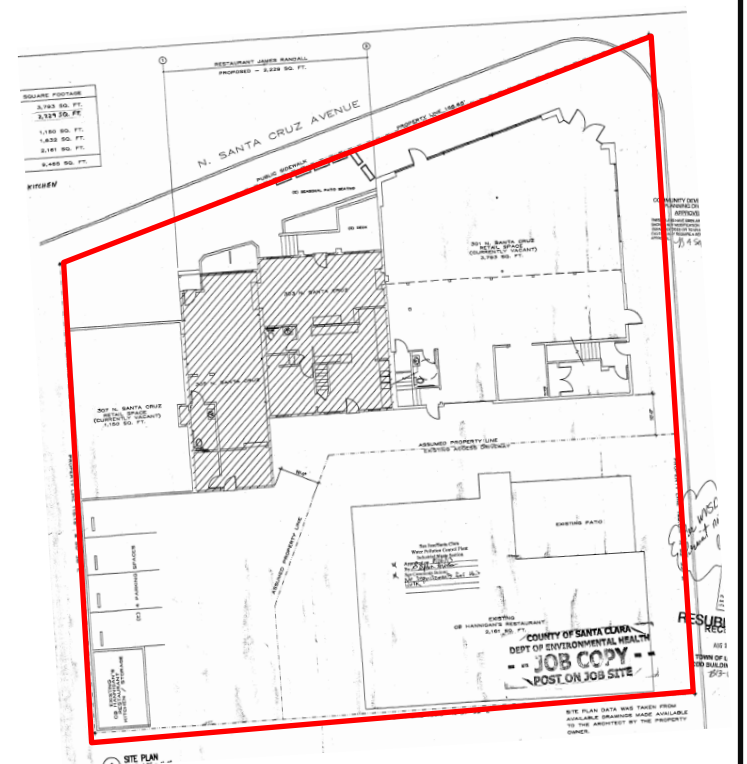
**1948**

Three detached structures fronting N. Santa Cruz Avenue



**1968**

Multiple attached structures fronting N. Santa Cruz Avenue



**2013 Building Permit**

Four attached structures fronting N. Santa Cruz Avenue



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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 4

DATE: January 6, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider an Appeal of a Historic Preservation Committee Decision to Deny a Request to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 253 W. Main Street.** APN 510-45-006. Minor Development in a Historic District Application HS-22-051. PROPERTY OWNER/APPELLANT: Mike and Kim Wasserman. APPLICANT: Bess Wiersema, Studio Three Design. PROJECT PLANNER: Sean Mullin.

RECOMMENDATION:

Deny the appeal of the Historic Preservation Committee decision to deny a request to modify the previously approved front door on a new single-family residence in the Broadway Historic District on property zoned R-1D:LHP, located at 253 W. Main Street.

PROJECT DATA:

General Plan Designation: Medium Density Residential  
Zoning Designation: R-1D:LHP, Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay  
Applicable Plans & Standards: General Plan, Residential Design Guidelines  
Parcel Size: 7,500 square feet  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential and Commercial	Medium Density Residential and Central Business District	R-1D:LHP and C-2:LHP
South	Residential	Medium Density Residential	R-1D:LHP
East	Residential	Medium Density Residential	R-1D:LHP
West	Residential	Medium Density Residential	R-1D:LHP

PREPARED BY: SEAN MULLIN, AICP  
Senior Planner

Reviewed by: Planning Manager and Community Development Director



CEQA:

The request to modify the previously approved front door is not considered a project under the California Environmental Quality Act.

FINDINGS:

- The project complies with the Residential Design Guidelines for single-family residences located in historic districts.

CONSIDERATIONS:

- As required by Section 29.80.290, in evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- (2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the south side of W. Main Street across from its intersection with Tait Avenue (Exhibit 1). The property is located in the Broadway Historic District and a new single-family residence is currently under construction.

On February 26, 2020, the Historic Preservation Committee reviewed a request for a determination regarding the contributing status of an existing single-family residence on the subject property and found that the residence was not historically or architecturally significant and that the integrity had been compromised through alterations over time.

On July 22, 2020, the Historic Preservation Committee considered an Architecture and Site application requesting demolition of the existing residence and construction of a new single-family residence and forwarded a recommendation of approval.



BACKGROUND (continued):

On November 18, 2020, the Development Review Committee approved the project and Building Permits were issued on May 26, 2021.

On November 3, 2022, staff was made aware that the installed front door was not consistent with door approved by the Development Review Committee. Staff determined that the installed front door was not in substantial conformance with the approved project and was unable to find an administrative remedy to allow the modification at the staff level. After consulting with the applicant, staff scheduled the modification request for the next available Historic Preservation Committee meeting.

On December 14, 2022, the Historic Preservation Committee considered a request to modify the previously approved front door and by a vote of two to one denied the request finding that the proposed modification was not consistent with the chosen architectural style or with the Broadway Historic District (Exhibits 3 and 4).

On December 20, 2022, the property owner appealed the decision of the Historic Preservation Committee to the Planning Commission (Exhibit 5). In their appeal, the appellant indicates that the proposed front door is consistent with Section 29.80.290 of the Town Code as it complements the architectural style, design, arrangement, texture, materials, and color and that the door does not adversely affect the architectural characteristics or other features of the property.

Pursuant to Section 29.20.258 of the Town Code, the decision of the Historic Preservation Committee may be appealed to the Planning Commission by any interested person as defined by Section 29.10.020 within 10 days of the decision.

Pursuant to Town Code Section 29.20.265, the appeal shall be set for the first regular meeting of the Planning Commission in which the business of Planning Commission will permit, more than five (5) days after the date of filing the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the south side of W. Main Street across from its intersection with Tait Avenue (Exhibit 1). The surrounding properties are zoned R-1D:LHP and C-2:LHP.



PROJECT DESCRIPTION (continued):

B. Project Summary

The property owner is appealing the Historic Preservation Committee's decision to deny a request to modify the previously approved front door.

DISCUSSION:

A. Front Door Modification Request

The property owner has appealed the Historic Preservation Committee's denial of their request to modify the previously approved front door. The requested modification would change the front door from the approved divided-lite, aluminum clad wood door (Exhibit 3, Attachment 1) to a custom antique wood door (Exhibit 3, Attachment 2). A Letter of Justification presented to the Historic Preservation Committee provided reasons for the modification, including that the approved front door lacked the appearance of a formal entry door and that the proposed door is an antique door that would formalize the entry by providing character in-keeping with traditional homes in the neighborhood (Exhibit 3, Attachment 2). This Letter of Justification also includes a letter from the property owners indicating that the proposed door originated in Mexico and is approximately 300 years old. This letter further details the familial origins of the proposed door and how it came into the owners' possession. A supplemental letter from the property owners provides additional information and details regarding the door (Exhibit 3, Attachment 3).

B. Required Review Criteria

Section 4.10 of the Residential Design Guidelines provides guidance for new construction within the Town's historic districts (Exhibit 6). In general, this section stresses the importance of designing within a recognized architectural style that is consistent with and supportive of the district, does not create a false sense of historical development within the district, and is respectful of the established patterns. Proposed exterior alterations in a historic district are required to comply with the Residential Design Guidelines.

Town Code Section 29.80.290 provides standards for review that the deciding body shall consider in their review of a proposal for exterior alterations. The subject property is located in the Broadway Historic District, to which the following standard applies:

- (2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely



DISCUSSION (continued):

affect the character, or the historical, architectural or aesthetic interest or value of the district.

On July 22, 2020, the Historic Preservation Committee considered the proposed new home and forwarded a recommendation of approval to the deciding body. Included with this action was a recommendation that the deciding body make the required finding and consideration discussed above.

On November 18, 2020, the Development Review Committee made all required Findings and Considerations and approved the project.

The proposed alteration to the approved front door qualifies as an exterior alteration in a historic district and the project is required to comply with the Findings and Considerations outlined above.

C. Historic Preservation Committee

On December 14, 2022, the Historic Preservation Committee received the staff report (Exhibit 3), opened the meeting, and considered testimony from the applicant. After asking questions of the applicant, the Historic Preservation Committee closed the public hearing and discussed the project. The Historic Preservation Committee reopened the public hearing to ask the applicant specific questions before continuing their discussion. A motion was made to approve the request, but failed to secure a second. Another motion was offered to deny the request on the basis that the proposed door was not consistent with the chosen architectural style or with the Broadway Historic District. This motion was seconded and passed with a vote of two to one, with two Committee members absent (Exhibit 4).

D. Appeal to Planning Commission

The decision of the Historic Preservation Committee was appealed on December 20, 2022, by the property owner, Mike Wasserman (Exhibit 5). Per the appellant, the appeal should be granted for the three following reasons. The three points made in the appeal are followed by staff analysis in *italic font*.

1. Appellant: The proposed door meets with the requirements of Section 29.80.290 of the Town Code as it complements the architectural style, arrangement, texture, materials, and color.

*During their December 14, 2022, consideration of the proposed front door, the Historic Preservation Committee was unable to make the required Findings and Considerations*



DISCUSSION (continued):

*as discussed above. The Historic Preservation Committee discussed the proposed door and found that it was not consistent with the chosen architectural style or with the Broadway Historic District. The Historic Preservation Committee denied the request with a vote of two to one, with two Committee members absent.*

2. Appellant: The proposed door does not adversely affect the exterior architectural characteristics or other features of the property.

*As discussed above, the Historic Preservation Committee was unable to support the proposed door, finding that it was not consistent with the chosen architectural style or with the Broadway Historic District.*

3. Appellant: The proposed door brings some history to the property.

*The appellant provided the history of the proposed door (Exhibits 3 and 5) and indicates in their appeal that including it on the new residence would preserve this artifact and add history to the new home currently under construction (Exhibit 5). The appellant also included a list of 50 residences in the area with solid wood front doors.*

In addition to the information provided by the appellant, the project architect submitted information on the chosen architectural style and discussed how the proposed door is consistent (Exhibit 7). The new residence is described by the project architect as being designed in the Tudor/Tudor Revival/New Traditional style. The project architect outlines some of the key design elements of the chosen architectural style, including “articulated/paneled entry doors, solid in nature, wood.” The architect, as well as the appellant, also stress that the front door would be well set back from the street, which would reduce its prominence.

E. Neighbor Outreach

The appellant has indicated that they have been communicating with the surrounding neighbors to discuss the proposed project. A summary of their outreach efforts is included as Exhibit 8.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. Public comments received by 11:00 a.m., Friday, January 6, 2023, are included as Exhibit 9.



ENVIRONMENTAL REVIEW:

The request to modify the previously approved front door is not considered a project under the California Environmental Quality Act.

CONCLUSION:

A. Summary

The appellant is requesting that the Planning Commission grant their appeal of the Historic Preservation Committee's decision to deny a request to modify the previously approved front door and approve the proposed front door.

B. Recommendation

For reasons stated in this report, it is recommended that the Planning Commission deny the appeal and uphold the decision of the Historic Preservation Committee to deny the request to modify the previously approved front door.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and approve the proposed front door, making the required findings and considerations provided in Exhibit 2; or
3. Remand the appeal to the Historic Preservation Committee with specific direction.

EXHIBITS:

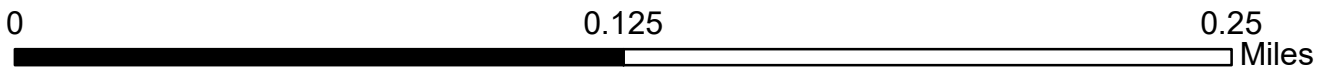
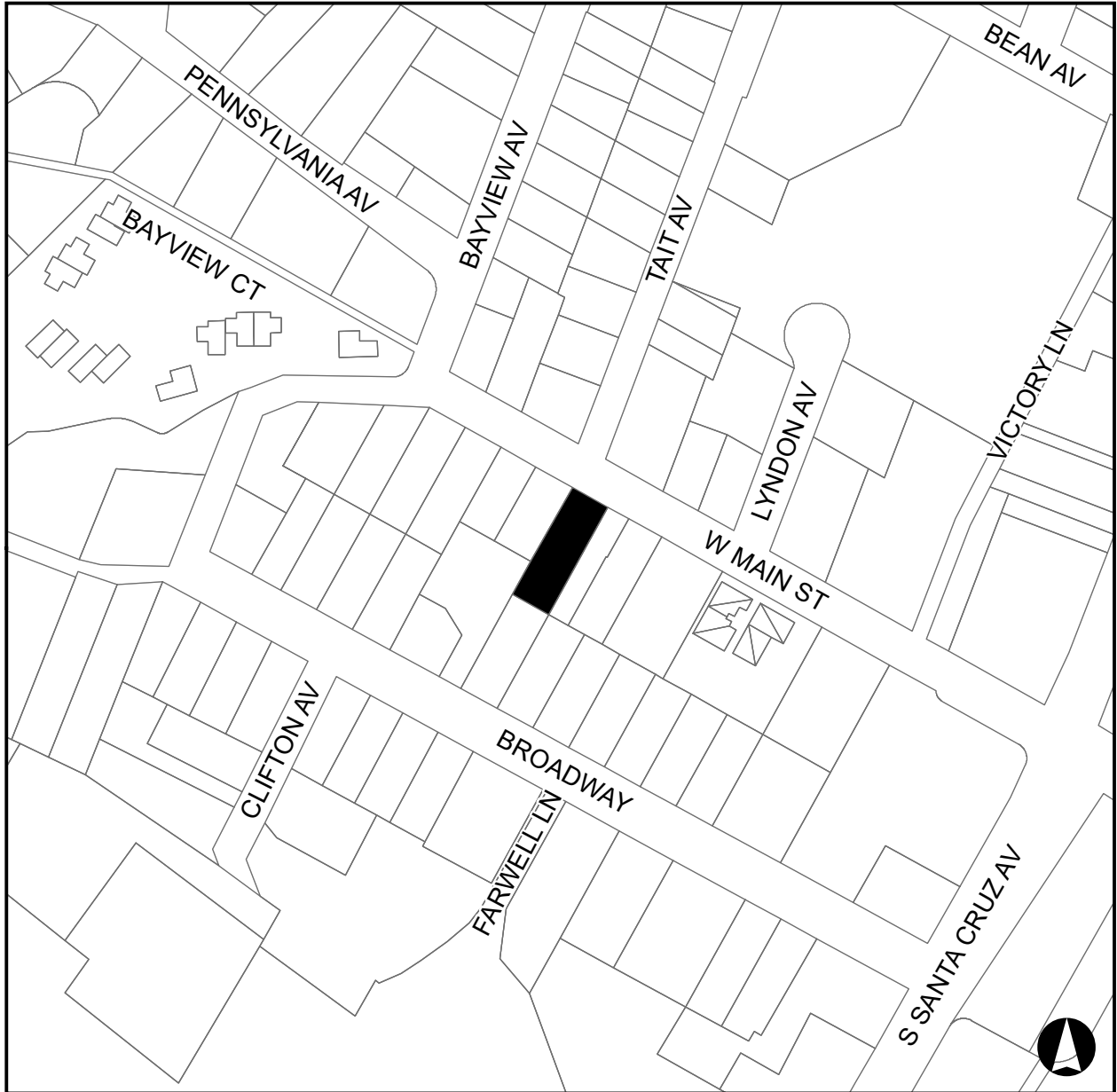
1. Location Map
2. Required Findings and Considerations
3. Historic Preservation Committee Staff Report and Attachments, December 14, 2022
4. Historic Preservation Committee Action Letter, December 14, 2022
5. Appeal of the Historic Preservation Committee Denial, received December 20, 2022
6. Residential Design Guidelines, Section 4.10
7. Summary of Architectural Style by the Project Architect
8. Summary of Neighbor Outreach
9. Public Comments Received by 11:00 a.m., Friday, January 6, 2023



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# 253 W Main Street





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**PLANNING COMMISSION –January 11, 2023**  
**REQUIRED FINDINGS & CONSIDERATIONS FOR:**

**253 W Main Street**

**Minor Development in a Historic District Application HS-22-051**

**Consider an Appeal of a Historic Preservation Committee Decision to Deny a Request to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP.**

**PROPERTY OWNER: Mike and Kim Wasserman**

**APPLICANT: Bess Wiersema, Studio 3 Design**

**PROJECT PLANNER: Sean Mullin**

**FINDINGS**

**Required compliance with the Residential Design Guidelines:**

- The project is in compliance with the Residential Design Guidelines for single-family residences located in Historic Districts.

**CONSIDERATIONS**

**Required considerations in review of Minor Development in a Historic District applications:**

- As required by Section 29.80.290, in evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- (2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

EXHIBIT 2



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**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

MEETING DATE: 12/14/2022

ITEM NO: 7

---

DATE: December 9, 2022  
TO: Historic Preservation Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 253 W. Main Street.** APN 510-45-006. Minor Development in a Historic District Application HS-22-051. PROPERTY OWNER: Mike and Kim Wasserman. APPLICANT: Bess Wiersema, Studio Three Design. PROJECT PLANNER: Sean Mullin.

RECOMMENDATION:

Consider a request to modify the previously approved front door on a new single-family residence located in the Broadway Historic District on property zoned R-1D:LHP located at 253 W. Main Street.

PROPERTY DETAILS:

1. Date primary structure was built: N/A, new residence under construction
2. Town of Los Gatos Preliminary Historic Status Code: N/A
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, Broadway District
5. If yes, is it a contributor? No
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

On February 26, 2020, the Historic Preservation Committee reviewed a request for determination regarding the contributing status of an existing single-family residence on the subject property and found that the residence was not historically or architecturally significant and that the integrity had been compromised through alterations over time.

PREPARED BY: SEAN MULLIN, AICP  
Senior Planner

---



BACKGROUND (continued):

On July 22, 2020, the Committee considered a request for demolition of the existing residence and construction of a new single-family residence and forwarded a recommendation of approval.

On November 18, 2020, the Development Review Committee approved the project and Building Permits were issued on May 26, 2021. The new residence is currently under construction.

On November 3, 2022, staff was made aware that the installed front door was not consistent with the approved door. Staff determined that the installed front door was not in substantial conformance with the approved project and was unable to find an administrative remedy to allow the modification at the staff level. After consulting with the applicant, staff scheduled the modification request for the next available Historic Preservation Committee meeting.

DISCUSSION:

The applicant is requesting approval to change the front door from the approved divided-lite, aluminum clad wood door (Attachment 1) to a custom antique wood door (Attachment 2). The applicant provided a Letter of Justification providing reasons for the modification, including that the approved front door lacked the appearance of a formal entry door and that the proposed door is an antique door that would formalize the entry by providing character in-keeping with traditional homes in the neighborhood (Attachment 2). The Letter of Justification also includes a letter from the property owners indicating that the proposed door originated in Mexico and is approximately 300 years old. The letter further details the familial origins of the proposed door and how it came into the owners' possession. A supplemental letter from the property owners provides additional information and details regarding the door (Attachment 3).

CONSIDERATIONS:

A. Considerations

**Sec. 29.80.290. Standards for review.**

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

\_\_\_\_\_ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of



CONSIDERATIONS (continued):

the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

CONCLUSION:

The applicant is requesting approval to change the front door from the approved divided-lite, aluminum clad wood door to a custom antique wood door. Should the Committee find merit in the request the project would be completed with a Building Permit and would not return to the Committee.

ATTACHMENTS:

1. Approved elevations and materials board
2. Applicant's request and Letter of Justification
3. Letter from Property Owner



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**ELEVATION / SECTION NOTES**

- WHERE INDICATED, ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES. MINIMUM FIRE RATED CLASS A.
- WHERE INDICATED, ROOFING TO BE STANDING-SEAM METAL - MINIMUM FIRE RATED CLASS A.
- ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL.
- WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY).
- ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
- WHERE INDICATED STUCCO WALLS: (1) 3-COAT, 7/8" MINIMUM THICK; (2) OVER PAPER-BACKED METAL LATH (3) OVER TWO LAYERS OF GRADE D PAPER (4) OVER PLYWOOD SHEATHING, (4) USE 26 GA GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 8" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING. CRC SECTION R703.6
- DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.
- AT STONE VENEER ANCHOR USING 22 GA GALVANIZED SHEET METAL ANCHOR TIES (WITH A LIP OR HOOK ON EXTENDED LEG ENGAGING NO. 9 GA CONTINUOUS WIRE JOINT REINFORCEMENT) SPACED @ 24" O.C. MAXIMUM HORIZONTAL AND 16" O.C. MAXIMUM VERTICAL - ALTHOUGH SPACING SHOULD RESULT IN ONE ANCHOR PER MAXIMUM 2 SQ. FT. (E.G., ANCHORS @ 16" O.C. VERTICAL AND HORIZONTAL).

**WINDOW / DOOR NOTES**

- SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS.
- ALUMINUM CLAD EXTERIOR, WOOD INTERIOR.
- ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL.
- PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQUIRED PER CBC 2406.3.A ALL INGRESS AND EGRESS DOORS: 1. ALL SHOWERS AND BATH/TUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE. C. GLAZING WITHIN 12" OF ANY DOORS VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL. E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION. F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
- PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE DOOR) WITH METAL THRESHOLD IN BED OF SEALANT.
- UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
- VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
- VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- SEE TITLE 24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
- TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC. FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
- THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.



**5 - PROPOSED NORTHEAST ELEVATION**

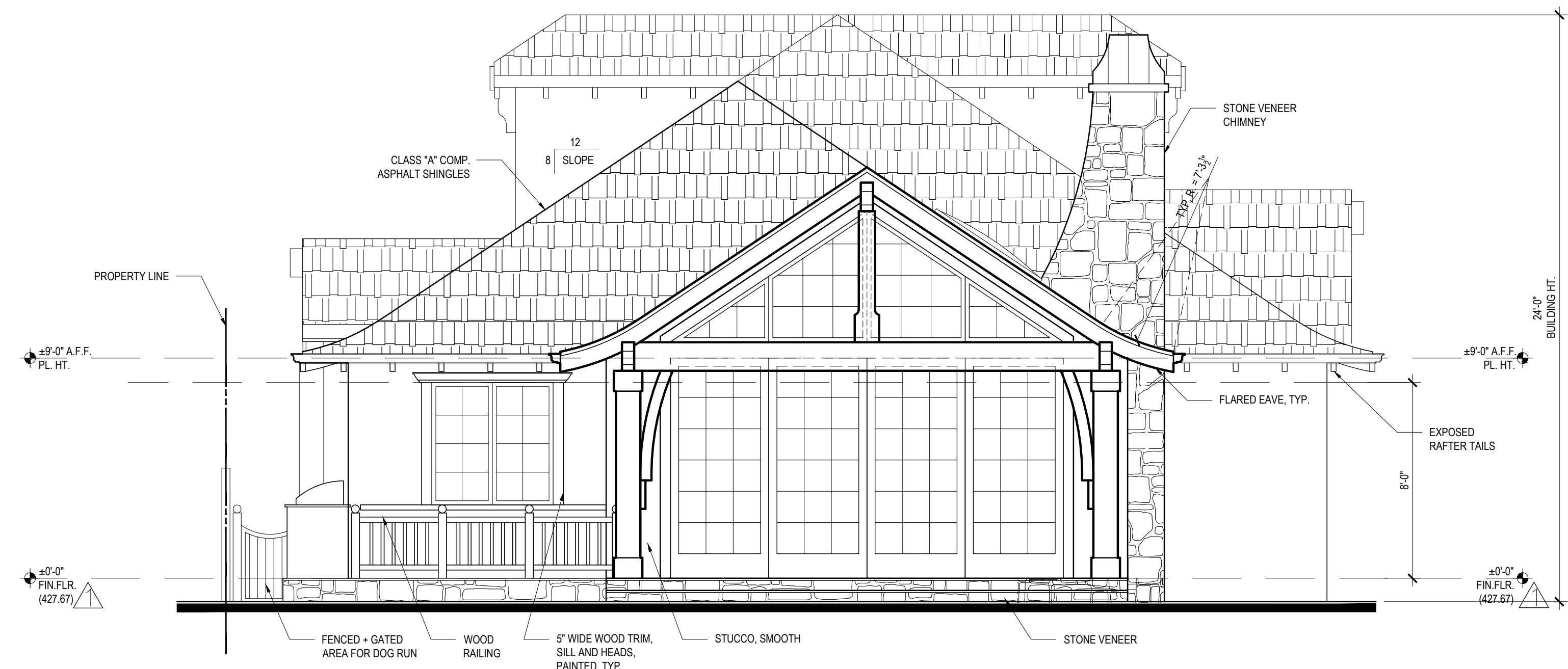
GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

PLAN REVIEW ACCEPTANCE

05.06.2021

Susan O'Brien

Approved Front Door



**6 - PROPOSED SOUTHWEST ELEVATION**

GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020

10 OCTOBER 2020

PLAN REVIEW APPROVAL

22 DECEMBER 2020

09 MARCH 2021

TOWN OF LOS GATOS  
BUILDING DIVISION

22 MARCH 2021

16 APRIL 2021

17 APRIL 2021

SCALE: 1/2" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

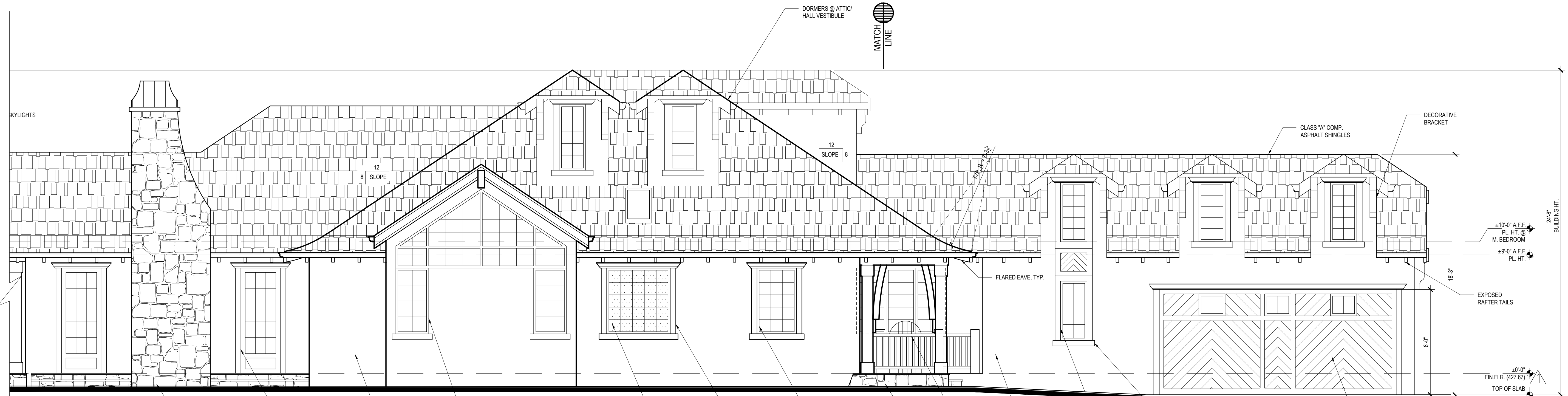




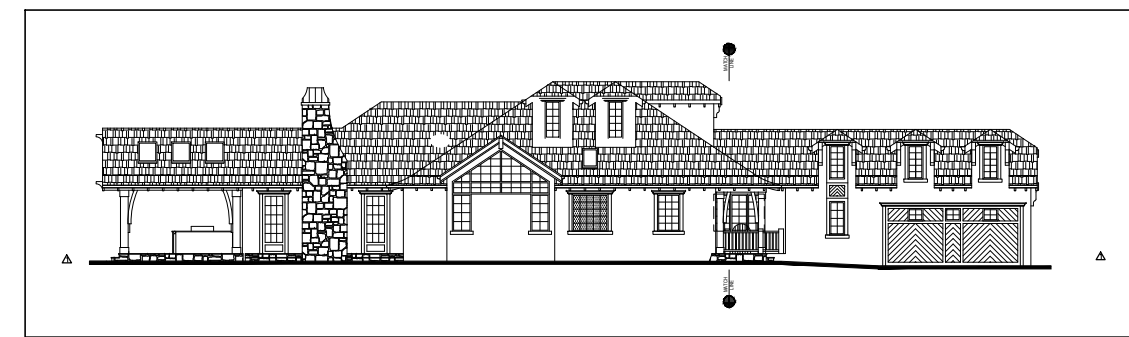
INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE.  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125



### 7 - PROPOSED NORTHWEST ELEVATION



GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

PLAN REVIEW ACCEPTANCE  
**05.06.2021**  
Susan O'Brien



### 8 - PROPOSED SOUTHEAST ELEVATION



GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

- 26 FEBRUARY 2020
  - 26 OCTOBER 2020
  - 22 DECEMBER 2020
  - 09 MARCH 2021
  - 22 MARCH 2021
  - 16 APRIL 2021
- PLAN REVIEW APPROVAL  
**05.26.2021**  
TOWN OF LOS GATOS  
BUILDING DIVISION  
MWLO SUBMITTAL  
BP RESUBMITTAL

SCALE: 1/2" = 1'-0"

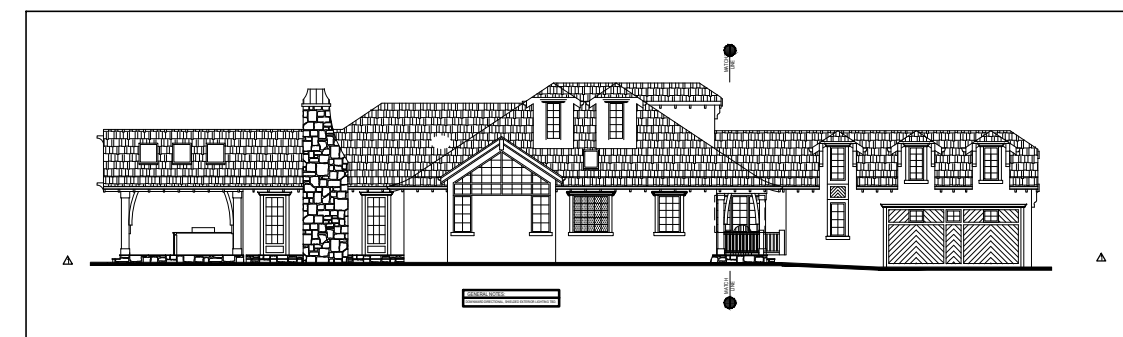
PROPOSED EXTERIOR  
ELEVATIONS

# A3.3





7 - PROPOSED NORTHWEST ELEVATION

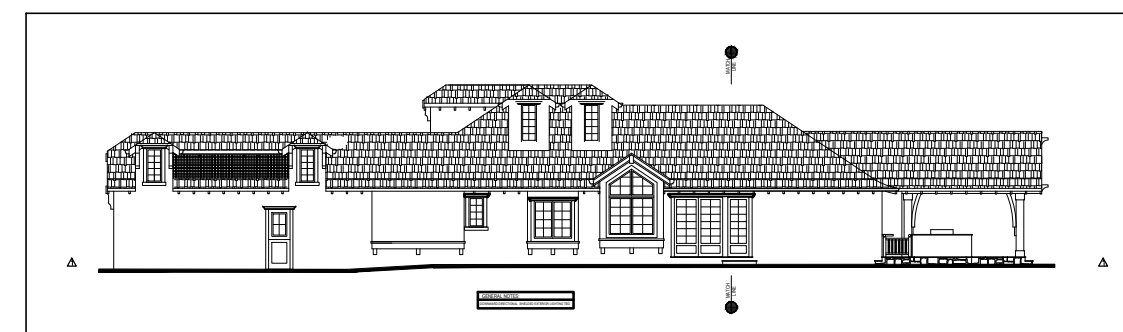


GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

PLAN REVIEW ACCEPTANCE  
**05.06.2021**  
Susan O'Brien



8 - PROPOSED SOUTHEAST ELEVATION



GENERAL NOTES:  
DOWNWARD DIRECTIONAL, SHIELDED EXTERIOR LIGHTING TBD.

PLAN REVIEW APPROVAL  
**05.26.2021**  
TOWN OF LOS GATOS  
BUILDING DIVISION  
09 MARCH 2021  
17 BP RESUBMITTAL  
22 MARCH 2021  
MWEO SUBMITTAL  
16 APRIL 2021  
2 BP RESUBMITTAL

WASSERMAN  
253 W. MAIN STREET  
LOS GATOS  
CALIFORNIA  
95030

A.P.N. 510-45-006

26 FEBRUARY 2020  
PLANNING RESUBMITTAL III  
22 DECEMBER 2020  
BUILDING SUBMITTAL  
09 MARCH 2021  
17 BP RESUBMITTAL  
22 MARCH 2021  
MWEO SUBMITTAL  
16 APRIL 2021  
2 BP RESUBMITTAL

SCALE: 1/2" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

**A3.4**





CertainTeed Presidential Shake TL  
 Luxury Shingle, Aged bark

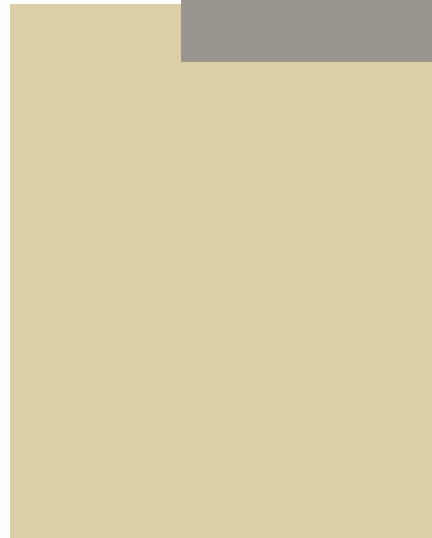
Wood trim,  
 Painted,  
 Benjamin  
 Moore AC-27



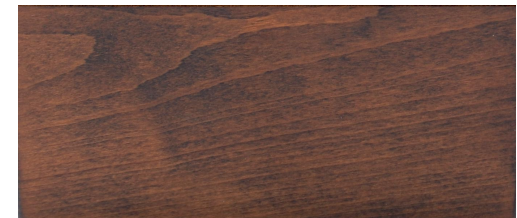
Stone veneer,  
 Canyon Creek Ledge



Kolbe window,  
 Aluminum clad exterior, Wood interior,  
 Exterior color: Coastal storm



Stucco, Smooth mottled finish,  
 Benjamin Moore HC-29



Accent wood for exterior columns  
 and beams





10 November 2022

RE: 110 Main Street

Sean - Thank you for your notification that you want us to re-review the front door at this project. I wanted to send you some additional information that may help you and Joel make an administrative decision rather than sending us to HPC in December. It is my understanding that Mike + Kim Wasserman are also meeting with Joel this Friday to discuss. Please note the following details, which I believe need to be strongly considered in your evaluation:

- This is not a remodel/ addition to an existing historical home, please recall the original home was found to have no significant historical relevance and character, and was removed from the Town's list of credible homes. The new home fits the neighborhood and meets the Design Guidelines, even with a change of entry door.
- The subsequent approved design of the home was found to contain elements that reflected the original home such as exposed rafter tails, roof elements, etc - never was it mentioned or requested from HPC that the window fenestration patterns let alone the front door be part of the design.
- The proposed design had more of a "french door" look, with extensive glass rather than a proper front door. Design Guidelines suggest that front doors be street facing, but to my knowledge there are no requirements specific to materials or style, rather they should be in keeping with the character and pattern language of the neighborhood and home.
- The recently installed front door is actually an antique door, providing character that a new door would not have, and is of heirloom quality. Please see the details listed in the letter from the Owner, included.
- The current setup / installation of the door is in keeping with traditional homes in the neighborhood as well as the original intent of the drawings: a central main door flanked by sidelights. The current solid door affords the Owner some security and privacy from the street as well.

Thanks for your consideration,  
Bess

**Bess Wiersema**  
principal + owner  
408.292.3252

**STUDIOTHREEDESIGN**  
ARCHITECTURE INTERIORS

638 University Avenue Los Gatos, California. 95032  
T 408.292.3252 F 253.399.1125

studio-three.com



Mr. Joel Paulson

November 9, 2022

Community Development Director  
Town of Los Gatos

Dear Mr. Paulson,

Please excuse the length of this letter as I'm writing about a lot of history, both family and otherwise, so have many emotions flowing through me. Please read it in its entirety.

I understand you'd find it helpful to learn more about the approximately 300 year old historical front door I was able to re-obtain last year. I guess it qualifies as a family heirloom as it spent 48 years on my parent's home previously.

Here is its -- and my -- story:

About 55 years ago, my Mom decided she wanted to design and build a home for our family. So my parents bought a piece of land in unincorporated Los Gatos. She then went to a couple of architects to share her well thought out ideas about floor plans and style. Architects in the late 60's were almost all men, as the two she met with were. They were condescending and essentially dismissed her ideas and said "Honey that's not how we do it. Why don't you ask your husband to make an appointment with me and us guys can figure it out and you can care for the children."

She then met with the President of the American Institute of Architects (AIA) Santa Clara County chapter and told him she was considering going to school to get the degrees she needed. He said "That's not a good job for a woman. Maybe you could be a secretary for an architect."

Rather than discourage my Mom, these words motivated her.

So she enrolled at Stanford University and got BOTH a Master's degree in Architecture AND a Masters degree in Engineering. I remember in 1972 going to her graduation and how proud I felt seeing her in cap and gown. She was the only woman in her class.

So Mom got the credentials she needed and set out to build us a home, and we moved in in 1974. During the building of our home (1973) she and my Dad went to Tlaquepaque (Mexico) and acquired the door and several other authentic and historical pieces. The property my parents built on was also historical, as it once belonged to the family that owned the largest prune orchard in California, and Robert Louise Stevenson had stayed in the log cabin on this historical property. (Unlike the cottage at 303 W. Main St. which the HPC unanimously agreed was not of any historical significance.)

Mom was all about authentic and historical. That's why she wanted those doors. She knew these lands had originally been part of Mexico -- as California had only become a State in 1850 and Los Gatos a Town in 1887, so having doors from the 1700's from the country that once owned what we now call Los Gatos, was awesome.

My Mom lived in that home from 1974 to 2014. After building it she also did work for NASA. Talk about different ends of the spectrum. She eventually sold our home in 2014. A couple of buyers and sellers later, the newest owner was approved for a new home. Fortunately a Planner from the 7<sup>th</sup> floor of our



County Planning/Building Department remembered hearing I once lived at that address and came upstairs to my office to tell me my childhood home was destined for demolition.

The Planner gave me the new owner's name and number and I met with him on site. I asked him if I could have my historical front door and he said yes.

Obviously I thanked that Planner profusely. That was last year (2021). Our Main St plans were approved in 2020. Because our plans were approved a year BEFORE I reclaimed my front door is the ONLY reason my door wasn't included in the original plan. Now that I have my door back and for all the reasons above I respectfully ask that you allow me to use my historical and magnificent door on my home.

And think what a beautiful backdrop the door will make when our daughter Nicole has her wedding pictures taken in front of it in April of next year? That will mark the 3rd generation of Wassermans to enjoy that door.

***This one of a kind door -- more than twice as old as Los Gatos itself -- is an historic link to the country that once owned the land we now call Los Gatos.***

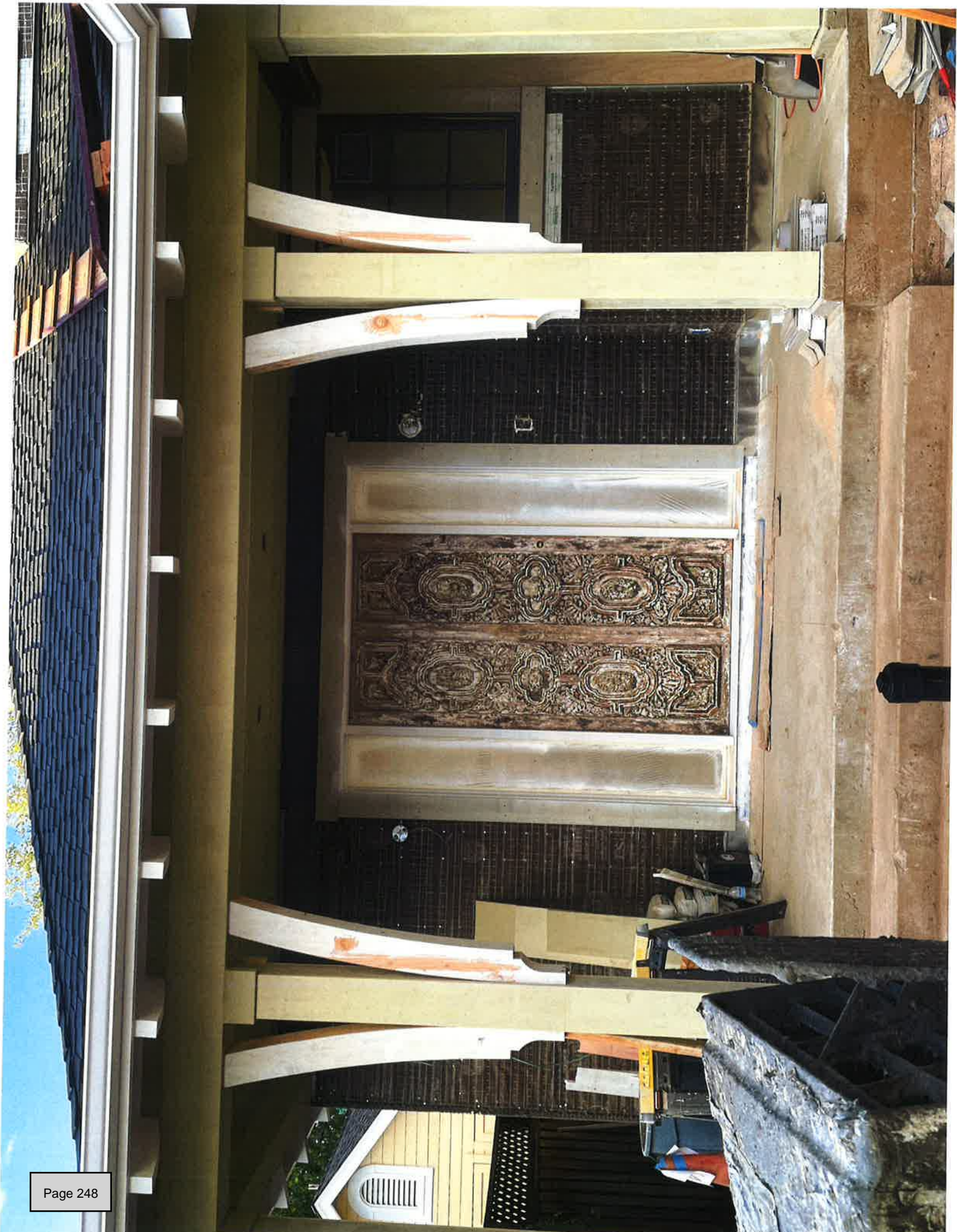
***That said, I respectfully request based on this information, you, as the CDD, make the determination that our historic door is acceptable and there is no need for us to appear before the HPC.***

Thank you very much,

Mike and Kim Wasserman

303 W. Main Street, LG 95030







December 7, 2022

Dear Historic Preservation Committee Members,

I hand delivered this letter, 2 photos (1 from the sidewalk and 1 close-up) and a page of signatures – *from all the households on my street* -- to the Town of LG today, and hope each of you has the opportunity to review everything prior to our appearing before you on 12/14.

*The short story is* I was able to save the 300 year old church door (see close-up photo) that had been the front door of my family's home on an historic piece of LG property for the last 50 years. All I'm asking is to use this exquisite hand carved door on the home Kim and I are building at 253 W. Main St.

*The "long story"* – although 1.5 pages isn't very long – is one I believe you'll find captivating about this spectacular historical door. This door adds value and charm to the District – especially where we are – which is 78' to the west of the Happy Dragon Thrift Shop (commercial), and 80' SW of a hair salon and massage parlor (commercial). Heck, I think this particular area in the Historical District truly needs this door – and as you'll read below is soooooo lucky we have the opportunity to make that happen!

This letter contains both family and door history, so please excuse any emotional tone you may perceive in my writing. I hope you find what you read helpful as you learn more about our 300 year old historical front door I was able to re-obtain last year, *one year after our plans were approved -- which is the only reason why this door wasn't in the original plans. IF I could have somehow obtained this family heirloom 2 years ago, I'm confident the HPC would have approved it then, and we wouldn't need to be here today.*

That said, here is its -- and my -- story. Enjoy:

About 55 years ago, my Mom wanted to design a home for our family. So my parents bought a piece of land in Los Gatos. She then went to a couple of architects to share her well thought out ideas about floor plans. Architects in the 60's were almost all men, as the two she met with were. They offered no help and said "Honey, this isn't how it's done. Ask your husband to make an appointment with us and we guys will figure it out while you care for the children." You can imagine how this made my Mom feel.

She then met with the President of the American Institute of Architects (AIA) Santa Clara County chapter and told him she was considering going to school to become an architect so she could design her own house. He said "That's not a good job for a woman. Maybe you could be a secretary for an architect."

Rather than discourage my Mom, these words motivated her.

She enrolled at Stanford and earned Master degrees in Architecture and Engineering. She did her thesis on their property which was known as "Ojo del Monte" and then designed our home.



During the building of our home she and my Dad went to Tlaquepaque (Mexico) and acquired this architecturally stunning historical church door – thought to be 250 years old at that time.

The property my parents built on was also historical, as it once belonged to the family that owned the largest prune orchard in California, and Robert Louise Stevenson had stayed in the log cabin on this property, too.

Mom was all about authentic and historical. In addition, being from a church, this door had religious significance to our family, too. That's 3 reasons why she wanted this door. She knew these lands had originally been part of Mexico -- as California had only become a State in 1850 and Los Gatos a Town in 1887, so having a door from the early 1700's -- from the country that once owned what we now call Los Gatos -- was an awesome link.

(Remember: El Rancho de los Gatos was a 6,631 acre Mexican land grant in present day Santa Clara County, made in 1840 by Governor Juan Alvarado to Jose Maria Hernandez and Sebastian Fabian Peralta, from which Los Gatos was originally carved out.)

My Mom lived in that home from 1974 to 2014. Medical reasons caused her to sell it. A couple of buyers and sellers later, the current owner was approved to build a new home. Fortunately a Planner from the County's Planning/Building Dept. remembered hearing I once lived at that address and told me my childhood home was going to be demolished!

I called the new owner and asked if I could have my family's historical door and he said yes.

Obviously I thanked that Planner profusely. That was just last year (2021). Our Main St. plans had been approved in 2020. Because our plans were approved a year BEFORE I reclaimed my front door is the ONLY reason my door wasn't included in the original design. (The door shown in the plans is clearly not historical, or even safe!)

***Over 100 people in the last 30 days have seen the door and described it as: stunning, fantastic, incredible, unbelievable, epic, unreal, majestic, historic, awesome, beautiful, etc.***

***Heck, I'd argue since the HPC ruled in 2020 that "our property didn't have any historical significance" your allowing this door to be our front door is actually adding some history and art back into the property and neighborhood!***

Based on all this information, we respectfully request that you, the Historic Preservation Committee of Los Gatos, makes the determination that our historic door is appropriate for our use at 253 W. Main St., Los Gatos.

Thank you very much,

  
Kim Wasserman

  
Mike Wasserman



Please look at the picture of our door.

If after doing so, you approve of Mike and Kim Wasserman having this 300 year old hand carved church door as their front door on the house they're building at 303 W. Main St., please sign below. (Please know prior to this, for 50 years this door was the front door on Mike's childhood home on an historic property in LG.) Thank you for your time and signature.

 [Redacted]

 [Redacted]

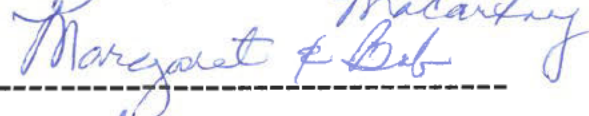
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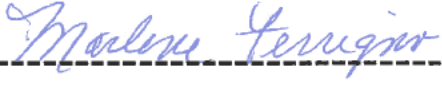
 Margaret & Bob <sup>Macarthy</sup>

 W. Anderson [Redacted]

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 Nicole Kelly [Redacted]

 Resden Rogimella [Redacted]

 Malene Ferrigno [Redacted]

 Joe Ferrigno [Redacted]

 Don Ferrigno [Redacted]

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 Roger L. Anderson [Redacted]

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## TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

December 15, 2022

Bess Wiersema  
Studio Three Design  
638 University Avenue  
Los Gatos, CA 95030  
Via email

**RE: 253 W. Main Street  
Minor Development in a Historic District Application HS-22-051**

**Requesting Approval to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. APN 510-45-006.**

**PROPERTY OWNER: Mike and Kim Wasserman  
APPLICANT: Bess Wiersema, Studio Three Design  
PROJECT PLANNER: Sean Mullin**

On December 14, 2022, the Los Gatos Historic Preservation Committee denied the above request finding that the proposed modification was not consistent with the chosen architectural style or with the Broadway Historic District.

PLEASE NOTE: Pursuant to Sections 29.20.258 and 29.20.260 of the Town Code, this approval may be appealed to the Planning Commission within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at [smullin@losgatosca.gov](mailto:smullin@losgatosca.gov).

Sincerely,

Sean Mullin, AICP  
Senior Planner

cc: Mike and Kim Wasserman, via email



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**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
110 E. Main Street  
Los Gatos, CA 95030**

**APPEAL OF THE DECISION OF  
HISTORIC PRESERVATION COMMITTEE**

**PLEASE TYPE or PRINT NEATLY**

I, the undersigned, do hereby appeal a decision of the HISTORIC PRESERVATION COMMITTEE as follows:

DATE OF DECISION: 12/14/22

PROJECT/APPLICATION: HISTORIC DISTRICT APPLICATION HS-22-051

LOCATION: 253 W. MAIN ST. LG 95030

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Historic Preservation Committee.

*Interested person means:*

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

OUR WOODEN DOOR MEETS SECTION 29.80.290 AS IT COMPLIMENTS THE ARCHITECTURAL STYLE, DESIGN, ARRANGEMENT, TEXTURE, MATERIALS AND COLOR. AND DOES NOT ADVERSELY AFFECT THE EXTERIOR ARCHITECTURAL CHARACTERISTICS OR OTHER FEATURES OF THE PROPERTY. IT ALSO BRINGS SOME HISTORY TO THE PROPERTY.

**IMPORTANT:**

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Historic Preservation Committee. If the tenth (10<sup>th</sup>) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10<sup>th</sup>) day, usually a Monday. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) after the date of the filing of the appeal. The Planning Commission may hear the matter a new and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

**RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT**

PRINT NAME: MIKE WASSERMAN

SIGNATURE: Mike Wasserman

DATE: 12/19/22

ADDRESS: 301 W. MAIN ST. LG 95030

PHONE: 408-248-8259

EMAIL: MWASSERMAN@AOL.COM

\*\*\*\*\*

**OFFICE USE ONLY**

DATE OF PLANNING COMMISSION HEARING: \_\_\_\_\_

COMMISSION ACTION: 1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_

DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

No Appeal Fee for the decision by the Historic Preservation Committee.



Hello Planning Commissioners,

December 19, 2022

I know you receive a lot of info and only have so many hours in a day, so I would ask you read this letter, and the letter I wrote to the HPC dated 12/7/22, **and see the list of signatures of all our neighbors on W. Main approving of our door** (staff redacted their addresses for privacy purposes), **and a list of 50 (!) addresses all around us, including next door, that have solid wood front doors, and the suggested motion below.**

Over my 20 year career as an elected official, which has included 5,000+ meetings with the public, I've never seen a discussion like this about a door. For those of you that don't know me or of my significant involvement with Los Gatos design and land use prior to being on the Board of Supes, following is a brief summary of what I did when I was an LG Town Council member and Mayor from 2002-2010 (besides having lived in the Broadway Historical District for the last 38 years and owning a Bell Ringer award Victorian).

From 2004 – 2010. I was instrumental in making the following things a reality in LG:

The Hillside Design Guidelines AND the Civic Center Master Plan AND the Residential Design Guidelines (including FAR) AND the new Police Building on LG Blvd. AND the new library AND the General Plan update.

My wife and I are appearing before you now because we were fortunate enough to rescue my family's 300 year old WOOD front door about 6 months ago. It had spent the last 50 years on an historic property I grew up on -- and we now have the chance to repurpose it on our home!

We're preserving an historic artifact, a family heirloom, and adding history to our otherwise non historic property on West Main St. – that is only 80' from a commercial thrift shop, hair salon and massage parlor.

We are only before you because this door is different from the generic divided-lite glass door – which deprives us of safety and privacy -- drawn on our plans 2 years ago.

That said, *please approve our use of this beautiful hand carved historic wooden door – set 57' back from the street -- which is clearly more appropriate for not only our style house, but also for the historic district, by making the following motion:*

***“I move for approval of the Wasserman’s wooden door as it meets Section 29.80.290 as it complements the architectural style, design, arrangement, texture, materials and color. And does not adversely affect the exterior architectural characteristics or other features of the property.” (And then ask for a second to your motion.)***







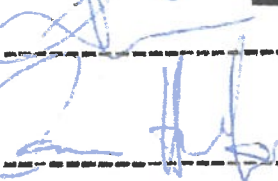





This door brings some history to the property and is admired by the neighbors.












Thank you.....Mike and Kim Wasserman (Plz feel free to contact us at 408-348-8259 with any questions or to see our door up close.)



Please look at the picture of our door.

If after doing so, you approve of Mike and Kim Wasserman having this 300 year old hand carved church door as their front door on the house they're building at 303 W. Main St., please sign below. (Please know prior to this, for 50 years this door was the front door on Mike's childhood home on an historic property in LG.) Thank you for your time and signature.

  
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*Margaret & Bob*  
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*W. Anderson*  
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*Ryder Rogimble*  
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*Malen Ferrigno*  
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*Tom Ferrigno*  
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*Tom Ferrigno*  
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*Robert Busi*  
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*Roger L. Anderson*  
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50 Houses in the neighborhood with solid wood front doors:

251 W MAIN ST	140 WILDER
300 W MAIN ST	147 WILDER
333 W MAIN ST	201 WILDER
339 W MAIN ST	204 WILDER
98 BROADWAY	205 WILDER
93 BROADWAY	212 WILDER
86 BROADWAY	221 WILDER
68 BROADWAY	229 WILDER
2 PENNSYLVANIA	
35 BAYVIEW	
52 BAYVIEW	
101 MASSOL	
118 MASSOL	
120 MASSOL	
130 MASSOL	
131 MASSOL	
141 MASSOL	
150 MASSOL	
218 MASSOL	
224 MASSOL	
228 MASSOL	
231 MASSOL	
240 MASSOL	
251 BACHMAN	
315 TAIT	
310 TAIT	
231 TAIT	
223 TAIT	
203 TAIT	
132 TAIT	
112 TAIT	
21 TAIT	
18 TAIT	
10 TAIT	
5 TAIT	
236 BEAN	
100 WILDER	
114 WILDER	
126 WILDER	
128 WILDER	
131 WILDER	
139 WILDER	



## HISTORIC RESOURCES

## 4

EXAMPLES OF SYMPATHETIC  
NEW CONSTRUCTION4.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY  
UNITS

Follow the provisions set forth in Guideline 3.9 on page 33.

## 4.10 NEW CONSTRUCTION

**This section applies only to new houses constructed within one of the Town's designated historic districts**

- Replacement of an existing character-defining or historic structure with a new structure is strongly discouraged.
- New structures should be built in the same style and design of contributing structures in the district. In general, Victorian, Craftsman/Bungalow, and Mission Revival/Mediterranean styles are the contributors to Los Gatos' historic districts.
- Exact duplication is neither required or encouraged. However, a recognized architectural style and design in the district is required.
- New Victorian and Craftsman style structures must accurately replicate the traditional style, design and integrity of those contributing structures in the district.
- Replacement of a noncontributing structure is acceptable.
- The established contextual patterns and rhythms should be respected. It is perfectly acceptable that a new "style" be introduced, if it is in keeping with the neighborhood. Historically that has occurred throughout the development of the Town of Los Gatos.
- New structures should not create a false sense of the historical development of the district.
- Conform new structures to the existing and/or required setbacks, and replace the "footprint" of the original structures if any.
- Respect the established site patterns and harmonize with neighboring buildings and existing topography. Exceptions might occur at corners, or where unusual existing condition or neighboring structures create a special condition.
- Respect the street pattern created by open space.
- New construction should be in keeping with the existing neighborhood. It should be especially sensitive to the height and scale of the homes on immediately adjacent parcels. Front facades should appear similar in height to those seen historically in the block. Taller portions should be set back further on the lot.



- When a new project has more square footage than the surrounding structures, reduce the scale of the structure with sensitive design treatments. Setbacks, overhangs, bay windows, changes in roof slopes, and facade ornament are all methods for reducing the scale of a structure.
- Floor to floor heights should match the floor to floor of adjacent contributing structures.
- The proportion of window and door openings in new construction should be similar to that of the existing surrounding architecture.
- Porches on new structures should have proportions, materials and roof slopes similar to original porches in the district. They should also have depths similar to contributing structures in the district which normally allows for the placement of furniture on the porch.

#### 4.11 NONCONTRIBUTING STRUCTURES

**This section applies only to existing houses located within one of the Town's designated historic districts**

##### 4.11.1 Remodel to a Contributing Status

- Owners of noncontributing structures within the Town's historic districts are encouraged to remodel them into the style and design of a contributing structure in the district.
- Structures most suitable for this type of remodel are those that would likely have been classified as contributing structures absent previous remodel work or additions that were not sympathetic to the original architecture of the structure.
- In some cases, it may also be possible to make changes that would convert an otherwise non-descript structure into a contributing structure for the district. In general, Victorian, Craftsman/Bungalow, and Mission Revival/Mediterranean styles are the contributors to Los Gatos' historic districts.
- An applicant must produce photographs, counts, and documentation of the location of existing structures of that style in the district or reference materials indicating consistency with contributing styles in the district.
- All exterior elements subject to review should be consistent with the proposed style.
- Remove previous additions and alternations that are not consistent with the architectural style of the structure and the district.
- Carry out exterior changes to the building facades and additions using the guidelines in Section 4.8, 4.9 and 4.10.



## Sean Mullin

---

**From:** Bess Wiersema <bess@studio-three.com>  
**Sent:** Thursday, December 22, 2022 10:23 AM  
**To:** Sean Mullin; Mike Wasserman; kjwasserman; David Zicovich  
**Cc:** Kelly Kaufman  
**Subject:** Tudor / Tudor Revival / Cottage Doors for Main Street

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### EXTERNAL SENDER

Sean -

I wanted to provide some extra detail and imagery that should help to better justify the style of door selected at the Wasserman residence. As you are aware, the original home was found to have little to no historical value, and was permitted to be demolished. The subsequent new build was found by HPC to meet the Design Guidelines, and had elements that paid homage to the original structure, especially with respect to the roof lines. This is a significant element of the home, and helped to define the overall design as Tudor / Tudor Revival / New Traditional. Some key elements of such style are:

- steep pitched roof lines, and details such as a "jerkinhead" or turned hip-over-gable roofs
- casement windows with mullions in a classical pattern and vertical orientation
- stucco facades
- heavy timber details on the facade / defining elements
- articulated / panelled entry doors, solid in nature, wood

Our project contains all of these, in a respectful and characterful manner. On the original plans, there was no front door articulation, rather an all glass French type door, recessed back in the heavily hooded porch. There was no mention about the door, door style, or articulation in any HPC discussions. As the project developed, the Wasserman family was lucky to inherit a real, antique door with immense character - and the aesthetic coincides with the approved style of the home.

A little history on what a Tudor style door is: the overall type, is British, and came to be in the late 1400's coinciding with the first Tudor monarchs, and is secular in nature with timberwork, carved wooden doors harkening a more mediaval time and influences from places that were colonized by the British. Tudor Revival, first manifested itself in the early 1800's in both America and Great Britain, and took the style of the original English vernacular, and became popular elsewhere in the world, eliminating the heavier stone and plaster details affiliated with the original, tending towards more timber details to articulate porches, eaves, etc. Doors remained iconic, and not glass, nor French Door in nature. Ultimately Tudor Revival transitioned to the American Arts + Crafts movement, and also still maintain the "New Traditional" today as well. The proposed door fits the very history of the style, and frankly is a better fit than the original all glass door proposed.

A quick "google search" of tudor doors, as well as deeper dive into some Tudor history sites yielded the images attached, for your reference. Comparing our proposed door to these, I believe we are squarely within reason with our proposal. Please note the second to last image specifically - where a door is set back within the entry porch, with heavy timber details and a wood panel / carved door - this is certainly our condition!



I believe my client has articulated the history of their particular door, as well as the desire to have some level of privacy in their home, especially based upon its location. The door is not a primary feature of the home in that it is set back, significantly from the street, recessed under a heavy timber articulated porch, and adds to the overall character of the home, consistent with the intended (and approved) style of the home. Please reach out with any questions about this!

Warm Regards,  
B

**Bess Wiersema**  
principal + owner  
408.292.3252



Shop the  
STUDIO  
AT DESIGN MART

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**From:** Bess Wiersema <bess@studio-three.com>  
**Sent:** Thursday, December 22, 2022 5:54 AM  
**To:** Bess Wiersema <bess@studio-three.com>  
**Subject:** Tudor Doors





















Please look at the picture of our historic hand carved 300 year old church door. It's been in our family for 51 years.

Now please look at the picture of the aluminum clad glass door the Historic Preservation Committee on a 2-1 vote, said we must use. We are appealing that decision and need your help

If after looking, you approve of Mike and Kim Wasserman using their historic solid wood door as their front door on the house they're building at 253 W. Main St., please sign below.

Thank you for your time and signature.

Claire Pease [redacted]  
[Signature] Rick Marvescuit  
[Signature] mark Lasecto  
Bud Jan Bud Lasecto  
[Signature] MUNE DUBRESON  
[Signature] CAROLINE DUBRESON  
[Signature] [redacted]

M. hadh Pomeroy Marnie Riston  
[Signature] LG  
[Signature] LOS GATOS  
[Signature] Victor Denigis  
[Signature] [redacted]  
[Signature] LOS GATOS, CA  
[Signature] [redacted]  
Cynthia Fuller LOS GATOS, CA  
[Signature] PHD [redacted] LOS GATOS CA

(BROADWAY RESIDENTS)



Please look at the picture of our historic hand carved 300 year old church door. It's been in our family for 51 years.

Now please look at the picture of the aluminum clad glass door the Historic Preservation Committee on a 2-1 vote, said we must use. We are appealing that decision and need your help

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Thank you for your time and signature.

Robert White [redacted] L.G.	[redacted] LG
Taylor Taylor [redacted] LG	[redacted]
Shokoufeh AZIMA [redacted] LG	[redacted]
Elizabeth Nelson [redacted]	ANDREAS BONOMARINO
Becky Wallen Los Gatos	Lyna Chyanova
Cherry Britand Los Gatos	Ken Rodrigues, FAIA
Margaret Perry Los Gatos	[redacted]
[redacted] Los Gatos	C. Davis [redacted]
[redacted] L.G.	[redacted]

(W. MAIN ST., TAIT & MISC. LG)

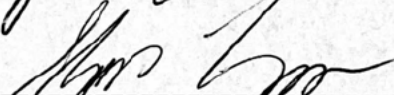
Handwritten notes and scribbles at the bottom right corner.



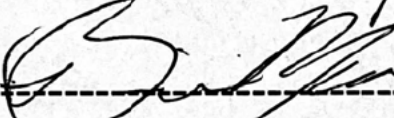
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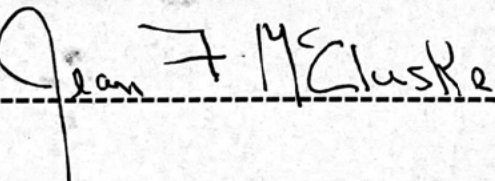
  
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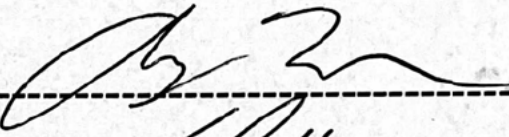
  
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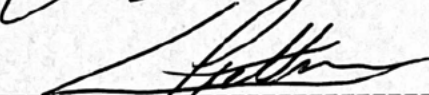
  
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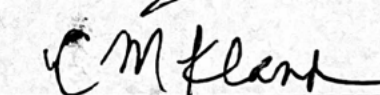
  
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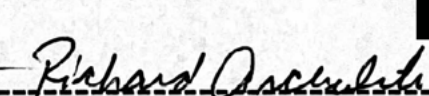
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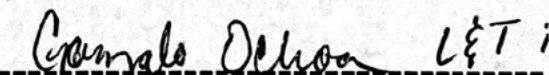
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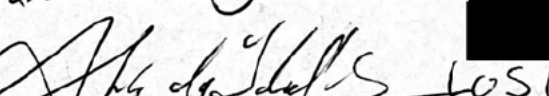
  
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(MISC. LG RESIDENTS)



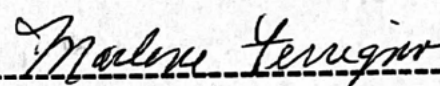


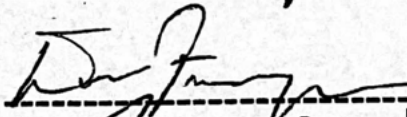

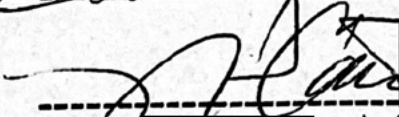
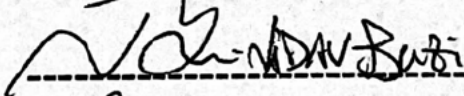

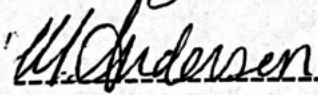

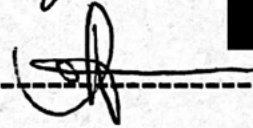
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THIS IS A COPY OF  
WHAT WAS SUBMITTED  
TO THE HPC

Please look at the picture of our door.

If after doing so, you approve of Mike and Kim Wasserman having this 300 year old hand carved church door as their front door on the house they're building at 303 W. Main St., please sign below. (Please know prior to this, for 50 years this door was the front door on Mike's childhood home on an historic property in LG.) Thank you for your time and signature.

			
			
			
			
			
			
	 Margaret & Bob		
			
			

(ALL W. MAIN ST. RESIDENTS)

STOP  
W. MAIN



**From:** Maria Ristow <[REDACTED]>  
**Sent:** Tuesday, December 27, 2022 10:15 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Cc:** Warren Ristow [REDACTED]  
**Subject:** 253 W. Main Street, appeal of HPC decision

EXTERNAL SENDER

Good evening,

We live in the Broadway Historic district, in a historic home, and we support the Wasserman family's request. They are building a brand new home in a historic district. Their proposed use of a 300-year-old antique wood door, with sentimental and historic value, will immediately tie the home back to the origins of California and add to the visual interest of the entry.

It's impossible to understand how a new door made in China could possibly be preferable to a 300-year old wood church door from Mexico that graced another Los Gatos home for five decades. In the interests of Historic Preservation, we believe preserving family history will only make the new home at 253 W. Main fit better into the Broadway Historic District.

The historic guidelines encourage Victorians to be painted multiple colors, require window styles to remain authentic, and overall look to keeping the charming character of our downtown alive. Our homes are varied styles, colors, ages, lending a lovely eclectic and authentic look to the district. The use of this antique family door seems like the perfect answer to helping a new home contribute to our history.

Please grant the appeal and allow the Wassermans to use the family door on their new home. The neighborhood is asking!

Thank you,  
Warren and Maria Ristow  
[REDACTED]



From: Christopher Morgan [REDACTED]  
Sent: Wednesday, January 4, 2023 1:27 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman's Door

EXTERNAL SENDER

Hello Planning Commission,

I'm writing in regards to Mike Wasserman's front door. Mike and his family have been richly intertwined with Los Gatos for many years. I remember walking down Andrews Ave. to go to Collectors Corner ( Mike's shop) to buy comic cards and candy as a kid. Years later I find that Mike, my neighbor was the guy I'd see every weekend behind the counter. Wild stuff. My family has lived in Los Gatos since the 40s and in that time there have been a lot of changes here. My grandmothers childhood home, that they built from adobe on highway 9, was "absorbed" into a modern home build years ago. This saddens me, but I understand progress never stops.

The towns reaction to Mikes plea to use his family's historic front door greatly disturbs me. It is an absolutely gorgeous piece of historic craftsmanship, and as a professional woodworker/sculptor, it gives me great joy to see it when I pass by.

There is a security factor to be addressed as well. The historic door is very thick and safe, a feature which we were required to abide by when building our own home on Main Street years ago. I personally feel that the proposed glass door would invite a level of exposure and potential danger to Mike and Kim. They, like us, are on a main frontage street. We do not have long driveways, so security measures must be taken where possible. Mike has been the target of protestors and threats in the past few years, and most of the neighbors feel that a clear glass door would be a mistake.

My third point of contention is simply freedom. Would YOU like to be told what type of front door you could use on a house you shelled out hundreds of thousands of dollars to build? Would your life be more full and happy making your own choices? Our elected leadership needs to start taking into consideration the freedoms that make life great here, lest we end up like every other once colorful and vibrant town that was extinguished and reduced to gray monotony.

Let the man put in his family door :) It means more to him than the modern glass door means to you. Mike has and always will have the full support of the neighborhood, because that's how we do things on Main Street.

Sincerely,  
Chris Morgan

LG business owner  
Sculptor  
Friendly Neighbor



From: Marc Dubresson [REDACTED]  
Sent: Wednesday, January 4, 2023 6:55 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman's door

EXTERNAL SENDER

To whom it may concern.

I reside in the immediate neighborhood [REDACTED] of Kim and Mike Wasserman's new residence. I have seen the historic door in setting, with surrounding glass panels and find it perfectly fits the historic character of this beautiful Los Gatos street. Los Gatos is about personality and distinction and that door will be as much of a talking point as the interesting architecture of the house it is attached to and the rest of the unique residences surrounding it. Please allow this piece to stand.

Regards,

Marc Dubresson



From: claire leclair [REDACTED] >  
Sent: Thursday, January 5, 2023 10:43 AM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman Door

EXTERNAL SENDER

"I've seen the Wasserman's wonderful hand carved historic wooden door and definitely think they should be able to use it as their new front door in the Town's Historic District." Sincerely, Claire Leclair



From: Suzanne Meinhardt [REDACTED]  
Sent: Thursday, January 5, 2023 12:08 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman's door

EXTERNAL SENDER

I support the Wasserman's door choice and I hope you will also.  
Suzanne Meinhardt  
[REDACTED]  
Los Gatos, Ca 95030



**From:** Howard Labe [REDACTED]  
**Sent:** Thursday, January 5, 2023 12:20 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Cc:** Jill Nakamura [REDACTED]  
**Subject:** Wasserman's Door

EXTERNAL SENDER

Dear Planning commission,

After visiting Mike Wasserman's home, I've seen the Wasserman's wonderful hand carved historic wooden door and definitely think they should be able to use it as their new front door in the Town's Historic District.

Thanks for your consideration.

Sincerely,

Howard Labe  
[REDACTED]



From: Dorothy B [REDACTED]  
Sent: Thursday, January 5, 2023 4:32 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Washerman's front door

EXTERNAL SENDER

I don't believe that the planning department should decide about a resident's front door. This is a historical family door, and most appropriate for a home in our Los Gatos historical district. I urge you to approve the Wasserman's appeal.

Thank you,  
Dorothy Burke



**From:** Camila Mardesich [REDACTED]  
**Sent:** Thursday, January 5, 2023 5:56 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman - front door

EXTERNAL SENDER

Hello Planning Dept.

Wanted to drop a line to share our sentiments that we really enjoy the historic wooden Wasserman door in lieu of the originally planned door. Our corner of heaven is historic and we really appreciate the fact that we can maintain some sentimental value and nostalgia to those who care the most.

Sincerely,  
The Mardesich Family on Broadway



From: Marlene Ferrigno [REDACTED]  
Sent: Thursday, January 5, 2023 7:32 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Washerman Front Door

EXTERNAL SENDER

We live at [REDACTED] The Washerman's are our new neighbors. Please allow them to install their historical front wood doors. It is the best choice for our block. We don't want to have to look at aluminum glass doors that do not compliment the rest of our homes, Thank you, Marlene & Louis Ferrigno



**From:** Frank [REDACTED]  
**Sent:** Thursday, January 5, 2023 8:13 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's Door

EXTERNAL SENDER

Hello,

I would like to request that the attached PDF be included in the 1/11/2023 Planning Commission item to consider Mike Wasserman's appeal to approve his front door. Please feel free to let me know if this would be possible.

Thank you in advance for your assistance.

Much appreciated,

Frank Villalobos



January 5, 2023

Planning Commission  
Town of Los Gatos  
110 E. Main St.  
Los Gatos, CA 95030

RE: Approval of Mr. Mike Wasserman's Front Door

Esteemed Members of the Planning Commission,

I write to offer my support for Mike Wasserman's appeal to have his front door approved.

I must note that Mr. Wasserman has obtained his neighbors' approval for the front door, and having seen the door myself, I find no logical reason why such a historic door would not be approved; it does not have an outlandish or unfitting design/color that would negatively impact the character of the Town's Historic District.

I have also been following Mr. Wasserman's long and arduous home building process which has only been exacerbated by the ongoing pandemic, supply chain issues, and more recently, an economic downturn. There is no doubt that the previous action taken by the commission has been yet another obstacle which is only prolonging this process.

On a more personal note, the door's Mexican origin is also a reflection of the diversity and tolerance of Los Gatos and its residents. Let's ensure that we continue to embrace these values, especially in this case where it perfectly complements the historic aesthetic of the town.

I ask that you please grant Mike Wasserman his appeal. Thank you for your consideration.

Kindly,

Frank Villalobos



**From:** Cameron Hunter [REDACTED]  
**Sent:** Thursday, January 5, 2023 8:26 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's door

EXTERNAL SENDER

To whom it may concern,

I think it's silly a decision about a person's door even had to go to the Planning Commission. The Wasserman's historic hand carved door is aesthetically nicer than an aluminum and glass door. It is clearly more appropriate in the historic district, and safer, too. Please grant their Appeal.

Sincerely,

Cameron & Catriona Hunter



**From:** Philip Knopf [REDACTED]  
**Sent:** Thursday, January 5, 2023 8:53 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Mike Wasserman's Front Door

EXTERNAL SENDER

Members of the Los Gatos Planning Commission:

I am writing this email in support of the installation of the Heritage carved wooden doors at the new home Mike Wasserman and his wife Kim are building at 253 West Main Street.

I remember seeing these impressive doors at Mike's parents' home when he had his initial campaign rally 20 years ago, when he was running for the Los Gatos Town Council.

I am a builder and remember outstanding woodwork.

I think it is wonderful Mike was able to salvage and repurpose such a valuable piece of woodwork. Also, something that has a lot of history and so much meaning to him and his family.

These doors share much the same character as the front door of the Historic Firehouse/Museum building across the street.

I am asking you to approve the request by the Wasserman's to install the Heritage Wood Carved doors in their new home.

Regards  
Phil Knopf



From: Linda Loew [REDACTED]  
Sent: Thursday, January 5, 2023 5:32 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman's door

EXTERNAL SENDER

As a home owner and resident since 1985 living in the Almond Grove, I approve the Wasserman's historic wooden door.

Regards,  
Linda Loew  
[REDACTED], Los Gatos



**From:** Nadav Buzi [REDACTED]  
**Sent:** Thursday, January 5, 2023 9:43 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's door

EXTERNAL SENDER

Dear Planning Commission,

As nearby neighbors, we would like to voice our wholehearted support for the beautifully hand carved door at the Wasserman's home. Its historic nature and design would only add to the lovely character of our neighborhood. Please allow the Wasserman family to keep their door, and wonderful family tradition, in place.

Sincerely yours,

Sharon and Nadav Buzi



**From:** Jim Fuller [REDACTED]  
**Sent:** Thursday, January 5, 2023 11:03 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's door

**EXTERNAL SENDER**

A few points on this subject:

1. This is the silliest thing you could possibly be wasting time on... if you really don't have anything better to do with PC time and Town resources perhaps that is a subject which would be more productive.
2. A hand crafted architectural element such as a three(3) century old wood door is certainly a vast improvement over anything a residential contractor is going to install.
3. Within a historic district, as this is, the architectural element in question seems infinitely more appropriate than something made from glass or tin. As a student of architecture and a follower of the organic architecture of F.L. Wright's use of natural elements, I find this issue absurdly disgusting.

Please permit Mike and Kim Wasserman to use their family's door in their new home, the community will be better for it.

Thank You,  
Capt. Jim Fuller  
[REDACTED]  
Los Gatos, CA  
[REDACTED]



**From:** Steve McGrath [REDACTED]  
**Sent:** Friday, January 6, 2023 12:06 AM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's door

EXTERNAL SENDER

To Whom it may concern

We live at [REDACTED], directly adjacent to the Wasserman's new home. We have been residents of Los Gatos for over 12 years and, along with every resident on W. Main Street, we are strongly in favor of the wooden door over the alternative generic glass door.

We respectfully voice our opinion in support of allowing the Wassermans to use their historic wooden door.

Regards

Steve & Linda McGrath  
YogaSource Los Gatos | One Yoga

[REDACTED]



**From:** TIM PERRY [REDACTED]  
**Sent:** Friday, January 6, 2023 7:52 AM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman's historic wooden door

EXTERNAL SENDER

Planning Commission,

We prefer the Wasserman's historic wooden door to the aluminum clad glass door on the plans for his home on Main Street.

We understand, that like any piece of art, some individuals will appreciate the aesthetic properties of that door more than others.

Some prefer the contemporary over the classical or the shiny-new over the aged historical.

We believe that all the bits and pieces and the "one of a kind" items found on homes around our town are exactly what add to the history, uniqueness and character of Los Gatos.

We respectfully ask that you please approve the Wasserman's historic wooden door.

Patti and Tim Perry

[REDACTED]  
Los Gatos



**From:** Ken Rodrigues [REDACTED]  
**Sent:** Friday, January 6, 2023 9:09 AM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman`s Front Entry Door

EXTERNAL SENDER

Dear members of the Town of Los Gatos Planning Commission,

I am writing this email to ask your support of Kim and Mike Wasserman`s request to install a “Historic” hand carved wood door on their new home on Main Street

I have lived in this beautiful neighborhood for 40 years and love its rich character and history. The homes are lovely and are very eclectic in their design and detailing. This is one of the strong character defining elements of the neighborhood`s fabric. I recently viewed the door and learned of it`s unique history and believe it is a good design element to add to their new home. This wood carved door is historic in character, age and material making it a good choice for a new home located in a neighborhood of older historical homes.

A front door welcomes family, visitors and neighbors. This wood door, with it`s aged history and amazing story will become a historical design feature on the Wasserman`s new home. Isn`t this exactly why Los Gatos has a historical downtown neighborhood district-to encourage new homes to take on a historical character of their own? Wouldn`t it be the best green solution to re-use a beautifully hand carved wood door of this age on a new home in the district?

As an architect who has designed many projects in Los Gatos I care deeply for the rich architectural history of the town and commend the planning commission for it`s successful past efforts to protect this history.

Please approve the Wasserman`s request to use this unique door on their new home being built on Main Street.

Thank you for your time and consideration of this request,

Kenneth Rodrigues FAIA  
Kenneth Rodrigues & Partners  
Architects and Planners



From: bettycolwell [REDACTED]  
Sent: Friday, January 6, 2023 10:53 AM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Washerman's Door

EXTERNAL SENDER

Planning Commission.

Please grant the Wassermans' appeal to use their historic hand carved door instead of the aluminum clad glass door. Privacy and safety should also be taken into consideration.

Thank you.

Betty Colwell





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 4

ADDENDUM

---

DATE: January 10, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider an Appeal of a Historic Preservation Committee Decision to Deny a Request to Modify the Previously Approved Front Door on a New Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 253 W. Main Street.** APN 510-45-006. Minor Development in a Historic District Application HS-22-051. PROPERTY OWNER/APPELLANT: Mike and Kim Wasserman. APPLICANT: Bess Wiersema, Studio Three Design. PROJECT PLANNER: Sean Mullin.

Remarks:

Exhibit 10 includes a letter from the property owner describing inaccurate statements made during discussion of the request leading to the Historic Preservation Committee erring in its decision to deny the request to modify the previously approved front door.

Exhibit 11 includes public comment received between 11:01 a.m., Friday, January 6, 2023, and 11:00 a.m., Tuesday, January 10, 2023.

EXHIBITS:

Previously received with the January 11, 2023 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Historic Preservation Committee Staff Report and Attachments, December 14, 2022
4. Historic Preservation Committee Action Letter, December 14, 2022
5. Appeal of the Historic Preservation Committee Denial, received December 20, 2022
6. Residential Design Guidelines, Section 4.10
7. Summary of Architectural Style by the Project Architect

PREPARED BY: SEAN MULLIN, AICP  
Senior Planner

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Reviewed by: Planning Manager and Community Development Director

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PAGE 2 OF 2

SUBJECT: 253 W. Main Street/HS-22-051

DATE: January 10, 2023

EXHIBITS (continued):

8. Summary of Neighbor Outreach
9. Public Comments Received by 11:00 a.m., Friday, January 6, 2023

Received with this Addendum Report:

10. Email from Property Owner, dated January 7, 2023
11. Public Comments Received Between 11:01 a.m., Friday, January 6, 2023, and 11:00 a.m., Tuesday, January 10, 2023



**From:** MIKE WASSERMAN [REDACTED]  
**Sent:** Saturday, January 7, 2023 4:59 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>  
**Cc:** Architect Bess Weirsema Studio 3 <bess@studio-three.com>; Kim [REDACTED]; Mike's Mail [REDACTED]  
**Subject:** Correcting HPC misstatements

Dear Commissioners,

Below are the specifics of erroneous statements made in the 12/14/22 HPC meeting that I think are critical for you to have prior to Wednesday.

We have concerns that the style of the proposed antique door was not considered appropriately during HPC review, and that erroneous assumptions were made and stated by Ms. Burnett leading to the 2-1 vote against the door despite it being harmonious with and relevant to the style of the home.

Because of my 20 years of experience in government, I know all information from the HPC meeting has been given to you, so I'm sending this to you to correct that information for the public record.

At the HPC meeting, motion maker Ms. Burnett began her comments at time stamp 1 hour and 17 minutes into the meeting as follows: "I was driving down Tait. And I saw this door and I thought, what happened? Is that sort of a door that's like a safety door to protect the door that's behind it?"

I have no idea why she said this. The reality is our front door is not visible if you're driving on the right side of Tait towards W. Main St. Nor is it visible if you look for it when stopped at the stop sign (please see photo below as proof of this).

At time stamp 1:23:30, she said "We have direct directives here. There are 3 areas that doors are addressed."

That's not true. These are guidelines, not directives. And none of them apply to doors.

At time stamp 1:31:12. Ms. Burnett quoted from page 55 of the Residential Design Guidelines and said "All exterior elements subject to review should be consistent with the proposed style."

The paragraph she quoted is under section 4.11.1 "Remodel to a Contributing Status" and in red letters states "this section applies only to existing houses located within one of the Town's designated historic districts."

Ours is not a remodel to a contributing status and does not fall under the sentence she quoted.

In the Design Guidelines, there are no specific rules for style of doors, other than they be relevant to the style of the home and that they prefer them to be front facing and articulated in some way, so as to have some detail to them.

Thank you.....Mike Wasserman







From: ADCOCK STEPHANIE [REDACTED]  
Sent: Friday, January 6, 2023 12:39 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman door

EXTERNAL SENDER

I think the Wasserman's should be allowed to install their family heirloom door. It will look much better than a door made in China. Thank you

Kaye Little  
Homeowner  
[REDACTED]



From: Stephanie Adcock [REDACTED]  
Sent: Friday, January 6, 2023 12:43 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman door

EXTERNAL SENDER

Please allow The Wassermans to install their family door. The history behind the door is something to be proud of! The wood will look much better than a door made of metal and glass.

Stephanie Adcock  
[REDACTED]  
Homeowner since 1973



**From:** [REDACTED]  
**Sent:** Friday, January 6, 2023 2:21 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Cc:** [REDACTED]  
**Subject:** "Wasserman's Front Door"

EXTERNAL SENDER

Hello,

We live across the street from the Wasserman's new house on W. Main Street and walk by their home multiple times per day. We've viewed and carefully considered their carved wood entry door as opposed to the aluminum clad glass door in the original design and feel it is congruent to the house design and neighborhood. It is agreeable to us as immediate neighbors. Their historic door appears to meld better with their particular home design.

Please grant the Wasserman's appeal, so they may use their hand carved wooden door, instead of the aluminum clad glass door in the original plans.

The front entry is set back from the street a bit, and is not immediately visible to passers-by like many other houses. Solid wood doors provide more security and safety for the residents inside as well as a bit more sound and weather insulation so there is a practical consideration of use as well as aesthetic harmony.

Best regards,

Kat Battaglia & Rob White



**From:** Nancy Pearson [REDACTED]  
**Sent:** Friday, January 6, 2023 2:54 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Subject:** Wasserman Door

EXTERNAL SENDER

Good Afternoon,

Hopefully this email is not arriving too late! I wanted to let you all know of my support of Mike and Kim Wasserman and their antique door. It has character, shows true artisanship, and is a family heirloom. Surely this is something that the Town can approve as an amendment to their house plans. I can see no logical reason why it shouldn't be allowed!

Thank you,

Nancy Pearson  
[REDACTED]



From: MITZI ANDERSON [REDACTED]  
Sent: Friday, January 6, 2023 4:30 PM  
To: Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
Subject: Wasserman door

EXTERNAL SENDER

Dear Planning Commissioners,

I have lived in LG for years and love the beauty and uniqueness of the historic district. The Wasserman's door is a beautiful addition and fitting for his house and the neighborhood. The glass door he is being asked to use is a generic, cookie cutter door that does not add to the beauty of the neighborhood. Using this antique door makes the house authentic and avoids the "expected" glass door most houses use nowadays. I'm asking you to allow the Wassermans to use their historic wooden door as their front door. Every residence on W. Main St. has signed a petition in favor of the wooden door over the glass door.

Sincerely,  
Mitzi Anderson  
Los Gatos



**From:** Mark Regoli [REDACTED]  
**Sent:** Monday, January 9, 2023 3:58 PM  
**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Cc:** Maria Ristow [REDACTED]  
**Subject:** 253 W. Main Street-Historic District Application HS-22-051

**EXTERNAL SENDER**

Dear Friends and Neighbors, and Los Gatos Planning Staff,

I have lived across from Mike Wasserman for almost 20 years, in the historic Broadway District, and urge you to approve the instillation of his hand carved door. His contractor David Zicovich built my home to historic standards and has done excellent work for years in Los Gatos. Even going by Mike's current home under construction, you can tell this home is going to be beautiful. Dave and Mike's attention to detail and design are exemplary to others doing ground up construction or renovations.

Mike has always been sensitive to the historic area and a huge supporter of Los Gatos.

Please approve his request.

Sincerely,

Mark



**MARK REGOLI**

[REDACTED]  
[REDACTED]  
[REDACTED]



**From:** Mark Regol [REDACTED]  
**Sent:** Monday, January 9, 2023 4:52 PM  
**To:** Planning <Planning@losgatosca.gov>  
**Cc:** Sean Mullin <SMullin@losgatosca.gov>  
**Subject:** Re: 253 W. Main Street-Historic District Application HS-22-051

EXTERNAL SENDER

Sean,

I just wanted to reach out about Dave and Mike, and their request for this modification.

Dave does top quality work. He built my home at [REDACTED] and I fell in love with it the moment I saw it. He has built several other homes in the historic district, and I would encourage to see a few. Mike's home under construction looks amazing. This is a minor change and allows a little personal expression which I believe is an enhancement to the design and community.

I am sorry that I can't attend the Zoom meeting, but I encourage you to keep an open mind regarding this matter.

Sincerely,

Mark



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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 5

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DATE: January 6, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider and Make a Recommendation to the Town Council on the Draft 2023-2031 Housing Element. Location: Town-Wide. General Plan Amendment Application GP-22-003.

**RECOMMENDATION:**

Consider and make a recommendation to the Town Council on the Draft 2023-2031 Housing Element.

**EXECUTIVE SUMMARY:**

The Town of Los Gatos has prepared a draft update to the Housing Element of the General Plan to affirmatively further fair housing and accommodate the 1,993-unit Regional Housing Needs Allocation (RHNA) for the 2023-2031 Housing Element cycle. The content of the draft 2023-2031 Housing Element is structured for consistency with the requirements set forth in State law. In addition to responding to requirements of State law, the Housing Element also demonstrates the Town of Los Gatos' strategy to meet the Town's locally determined housing needs, and that these needs are addressed through policies and programs outlined within the Housing Element. Public review and input have been a critical component of this 6<sup>th</sup> cycle Housing Element Update. A copy of the Draft 2023-2031 Housing Element is available on the Town's Housing Element website: <https://engagelosgatoshousing.com>.

**BACKGROUND:**

California Government Code Section 65580 and following regulates the use and requirements of housing elements in California. State law requires that the Town update its General Plan Housing Element every eight years. State law further requires adoption of an updated Housing Element that is substantially compliant with Government Code Sections 65580 and following by January 31, 2023.

**PREPARED BY:** Erin Walters and Jocelyn Shoopman  
Associate Planners

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Reviewed by: Planning Manager, Community Development Director, and Town Attorney

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BACKGROUND (continued):

Starting in early 2021, the Town has worked diligently through the required steps to comply with State law with the goal of adopting a Housing Element prior to the January 31, 2023, deadline. Exhibit 3 presents a timeline outlining the ongoing efforts that have been completed toward achieving this goal. Guidance was also provided by the California Housing and Community Development Department (HCD) throughout the process.

On October 14, 2022, the Town submitted the Draft Housing Element and a response to public comments received during the 30-day public comment period to HCD for preliminary review, which consists of a 90-day review.

On December 13, 2022, Town staff met with the HCD reviewer and received verbal, preliminary input on the Draft Housing Element.

On December 20, 2022, the Town Council recommended that the current version of the Draft 2023-2031 Housing Element, as submitted to HCD on October 14, 2022, be considered for adoption prior to the statutory deadline of January 31, 2023. In addition, the Town Council recommended that the Sites Inventory of the Housing Element utilize the minimum density, requiring additional sites to be added in order to comply with the Town's RHNA as determined by the Association of Bay Area Governments (ABAG) and required buffer. The sites added are detailed in the Discussion Section of this report.

The primary purpose of this agenda item is to provide a recommendation to Town Council on whether to adopt the Draft 2023-2031 Housing Element (Exhibit 1) with the revised Sites Inventory Analysis (Exhibit 4) and revised Sites Inventory Form (Exhibit 5).

DISCUSSION:

The following section summarizes the required components of housing element updates per State law, new requirements included since the 5th cycle Housing Element adoption (2015-2023), and penalties for non-compliance with Housing Element law. The section also includes a summary of public meetings related to the 6<sup>th</sup> cycle Housing Element Update prior to today's meeting.

**Required Components of a Housing Element**

Pursuant to Government Code Section 65583, local governments are required to include the items below within their Housing Elements, and subsequent updates thereto. Newly required components introduced as part of the 6<sup>th</sup> cycle are included in *italics* below and discussed in further detail within the "New Requirements for the 6<sup>th</sup> cycle Housing Element Update" Section on the following page.



DISCUSSION (continued):

1. **Housing Needs Assessment:** Examine demographic, employment, housing trends and conditions, and identify existing and projected housing needs of the community, with attention paid to special housing needs (e.g., large families, persons with disabilities). This Section includes a community's RHNA as determined by a community's regional planning body in partnership with HCD.
2. **Evaluation of Past Performance:** Review the prior Housing Element to measure progress in implementing policies and programs.
3. **Housing Sites Inventory:** Identify locations of available sites for housing development or redevelopment to demonstrate there is enough land zoned for housing to meet future need at all income levels.
4. **Community Engagement:** Implement a robust community engagement program that includes reaching out to individuals and families at all economic levels of the community, plus historically underrepresented groups.
5. **Constraints Analysis:** Analyze and recommend remedies for existing and potential governmental and nongovernmental barriers to housing development.
6. **Policies and Programs:** Establish policies and programs to be carried out during the 2023-2031 planning period to fulfill the identified housing needs.
7. *Affirmatively Furthering Fair Housing (AFFH): Analyze and address significant disparities in housing needs and access to opportunity by proposing housing goals, objectives, and policies that aid in replacing segregated living patterns with truly integrated and balanced living patterns, transforming racially and ethnically concentrated areas of poverty into areas of opportunity, and fostering and maintaining compliance with civil rights and fair housing laws.*

**New Requirements for the 6<sup>th</sup> Cycle Housing Element Update**

Pursuant to recent State legislation, the following items are now required as part of the housing element update process:

- *Affirmatively Furthering Fair Housing (AFFH).* Assembly Bill (AB) 686, passed in 2018, created new requirements for jurisdictions to affirmatively further fair housing. According to AB 686, affirmatively furthering fair housing means to take “meaningful actions, in addition to combating discrimination, which overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristics” and is Federally mandated by the 1968 Fair Housing Act. The four main goals are to:
  - Address significant disparities in housing needs and in access to opportunity;
  - Replace segregated living patterns with truly integrated and balanced living patterns;
  - Transform racially and ethnically concentrated areas of poverty into areas of opportunity; and



DISCUSSION (continued):

- Foster and maintain compliance with civil rights and fair housing laws.
- *Public Comment on Draft Revisions.* AB 215 (2021), requires local governments to make the first draft revision of their housing element update available for public comment for at least 30 days. Further, if any comments are received, a local government must take at least ten additional business days to consider and incorporate public comments into the draft revision before submitting to HCD. HCD must review the draft and report its written findings to the planning agency within 90 days of receiving the first draft submittal for each housing element revision or within 60 days of its receipt for a subsequent draft amendment or adoption.

**Penalties for Non-Compliance**

In the current 6<sup>th</sup> cycle, jurisdictions face a number of new consequences for not adopting a Housing Element that is substantially compliant with state Housing Element law by the statutory deadline of January 31, 2023. Under legislation enacted in recent years, if a jurisdiction does not comply with State housing law, HCD may refer the jurisdiction to the Attorney General and significant fines may be imposed. A court finding a Housing Element inadequate may limit local land use decision-making authority until the jurisdiction brings its Housing Element into compliance, or local governments may lose the right to deny certain projects.

Conversely, an HCD-certified Housing Element makes jurisdictions eligible for, or with higher priority for, numerous sources of funding.

*Builder's Remedy*

Under the Housing Accountability Act, jurisdictions who do not have an adopted Housing Element that is in substantial compliance with State law by the statutory deadline (January 31, 2023, for the Bay Area) could be required to approve a residential development even if it does not meet local General Plan and zoning regulations. The "builder's remedy" has been in the Housing Accountability Act since 1990 and pertains to residential developments that have at least 20 percent low-income units or 100 percent moderate income units. HCD has confirmed that no such 120-day grace period will apply this cycle and any jurisdiction that adopts a Housing Element later than January 31, 2023, will be subject to the "builder's remedy." This provision in the Housing Accountability Act has been available for quite some time and in Los Gatos no applications have come forward during previous Housing Element cycles when the Town missed the statutory deadline for adoption of a Housing Element.

Staff fully recognizes that the current Housing Element cycle is unlike any past cycle. It is possible that a developer could invoke the "builder's remedy" in connection with a planning



DISCUSSION (continued):

application submitted in February if the Town Council does not adopt a Housing Element that is in substantial compliance with Housing Element law by January 31, 2023.

**Housing Element Requirements**

The following section summarizes the major topics covered by the Town's Housing Element.

A. Housing Needs Assessment

As part of the housing element update process the Town is required to analyze the existing and projected housing needs of the Town, including its fair share of RHNA requirements. The Town's analysis of housing needs is required to include an assessment of detailed demographic data including: population age, size, and ethnicity; household characteristics; overpayment trends; housing stock conditions; units in need of replacement or rehabilitation; and needs of special needs populations including the elderly, persons with disabilities, unhoused persons, extremely low-income households, and farmworkers. Utilizing the Housing Needs Data Report provided by ABAG, the 6<sup>th</sup> cycle Housing Element Update outlines the Town's housing needs. See Appendix B of the Draft 2023-2031 Housing Element.

B. Regional Housing Needs Allocation (RHNA)

In January of 2022, HCD approved ABAG's adopted *Final RHNA Plan for the San Francisco Bay Area: 2023-2031 (Plan)* which establishes a total RHNA for the San Francisco Bay Area of 441,176 residential units for the 6<sup>th</sup> cycle housing element update 2023-2031 planning period. ABAG's *Plan* further distributes this RHNA across the Bay Area's nine counties, and 101 cities based on demographic and population data received from the California Department of Finance (DOF). Local jurisdictions must then utilize their ascribed RHNA to update the housing elements of their general plans for the 6<sup>th</sup> cycle planning period, inclusive of identifying eligible land resources to accommodate their RHNA.

RHNA requirements are organized into four affordability categories, established according to the Area Median Income (AMI) of a geography. These categories include very low-income residential units, which are affordable to households earning less than 50 percent of AMI; low-income residential units, which are affordable to households earning between 50 percent and 80 percent of AMI; moderate income residential units, which are affordable to households earning between 80 percent and 120 percent of AMI; and above moderate-income residential units which are affordable to households earning over 120 percent of AMI. The Town's RHNA is summarized on the following page:



DISCUSSION (continued):

Town of Los Gatos RHNA		
Income Category	5 <sup>th</sup> Cycle RHNA (2015-2023)	6 <sup>th</sup> Cycle RHNA (2023-2031)
Very Low (less than 50% of AMI)	201	537
Low (50-80% of AMI)	112	310
Moderate (80-120% of AMI)	132	320
Above Moderate (More than 120% of AMI)	174	826
Total	619	1,993

*RHNA Buffer*

New “no net loss” provisions of Government Code Section 65863 require the Town to ensure an adequate supply of land be made available for housing development throughout the duration of the 2023-2031 planning period. This means that if housing sites identified within the jurisdictions 6<sup>th</sup> cycle Housing Element are developed with non-residential uses, lower residential densities, or residential uses at affordability levels that are different than anticipated by the Housing Element, the Town’s Housing Element could be determined to be out of compliance. Accordingly, the Town’s Sites Inventory was compiled with a 16 percent buffer to address future compliance with “no net loss” provisions.

C. Constraints Analysis

In addition to analyzing the existing and projected housing needs of the Town, the Housing Element must also identify and analyze potential and actual governmental and nongovernmental constraints to the maintenance, improvement, or development of housing for all income levels in the community, regardless of protected class. A summary of constraints to the development and improvement of housing in the Town is included in Appendix C of the Draft 2023-2031 Housing Element.

D. Housing Resources and Sites Inventory

As part of the 6<sup>th</sup> cycle housing element update, the Town is also required to identify resources available to the Town for the preservation, rehabilitation, and production of housing throughout the community. These resources also include land within the Town of Los Gatos that are identified as eligible for accommodation of the Town’s RHNA requirements. Pursuant to Government Code Section 65583.2(a), the following resources are eligible for accommodation of the Town’s RHNA: vacant sites zoned for residential use; vacant sites zoned for nonresidential use that allows residential development; residentially zoned sites that are capable of being developed at a higher density; or sites zoned for nonresidential use that can be redeveloped for residential use, and for which the Housing



DISCUSSION (continued):

Element includes a program to rezone the site. The Town's Housing Sites Inventory is summarized in Appendices D and H of the Draft 2023-2031 Housing Element.

In response to Town Council direction given on December 20, 2022, a revised Sites Inventory Analysis (Exhibit 4) and revised Sites Inventory Form (Exhibit 5) have been prepared with the calculations based on an assumption of housing development at the minimum density for sites that accommodate affordable units. As a result, two additional sites were added to maintain the RHNA plus buffer discussed above. Those sites include:

- Site C-7 – 15495 Los Gatos Boulevard (APN: 424-22-030); and
- Site C-8 – 15445 Los Gatos Boulevard (APN: 424-19-068).

As a result, the revised Sites Inventory Analysis (Exhibit 4) and revised Sites Inventory Form (Exhibit 5) include sufficient sites to meet the RHNA requirement in each income category, plus a buffer of 319 housing units (16 percent).

E. Goals, Policies, and Implementation Programs

The Housing Element includes a set of goals, policies, and implementation programs intended to promote the preservation, rehabilitation, and production of housing throughout the Town. Goals are long-range, broad, and comprehensive targets that describe future outcomes the Town desires. A policy is a specific instructional guideline that seeks to promote a goal. Together, goals and policies are implemented through a series of programs that identify specific, quantifiable actions the Town will undertake during the 6<sup>th</sup> cycle planning period. The Town's Draft Goals, Policies, and Implementation Programs are summarized in Section 10.6 of the Draft 2023-2031 Housing Element.

F. Affirmatively Furthering Fair Housing (AFFH)

Assembly Bill (AB) 686, passed in 2018, created new requirements for jurisdictions to affirmatively further fair housing as part of the housing element update process. These requirements, found in Government Code Section 8899.50, are intended to address racial inequalities seen today throughout California which developed through historical policies and practices enacted at Federal, State, regional, and local levels and across the public and private sectors. Though many of these explicit forms of historical discrimination have been outlawed, the results of these systems have left a lasting imprint on both the Bay Area region and the Town. Racially explicit practices (e.g., racial covenants) which excluded persons of color from predominately white neighborhoods have been replaced with race-neutral land use policies that continue to exclude these same groups. Furthermore, rapidly increasing housing costs have deepened racial and economic disparity and segregation,



DISCUSSION (continued):

displacing many low income people and people of color to the peripheries of the region or out of the Bay Area all together.

Accordingly, the Town must incorporate fair housing considerations into its 6<sup>th</sup> Cycle Housing Element to increase housing opportunities in high resource neighborhoods. The following summarizes the components of the required AFFH component of the Town's Housing Element and can be found in Appendix A of the Draft 2023-2031 Housing Element:

- Targeted Community Outreach;
- Assessment of Fair Housing;
- Fair Housing Outreach Capacity and Enforcement;
- Segregation and Integration Patterns;
- Racially and/or Ethnically Concentrated Areas of Poverty (R/ECAPS) and Racially Concentrated Areas of Affluence (RCAA);
- Disparities In Access to Opportunity;
- Sites Inventory Relative to Affirmatively Further Fair Housing; and
- Goals, Policies, and Implementation Programs that Affirmatively Further Fair Housing.

G. Evaluation of Past Progress

Pursuant to State Law, the Draft Housing Element summarizes the implementation status of Goals, Policies, and Implementation Programs from the Town's 5<sup>th</sup> cycle Housing Element. See Appendix E of the Draft 2023-2031 Housing Element.

H. Community Engagement

Beginning the summer of 2021, the Town has conducted a comprehensive community engagement and outreach strategy, as required by Government Code, to inform the 6<sup>th</sup> cycle Housing Element Update process. This strategy has included a series of 13 Housing Element Advisory Board (HEAB) public meetings; two community meetings; a joint study session with the HEAB, Planning Commission, and Town Council; four Town Council meetings; and public engagement at staff hosted informational booths. The Town has a dedicated Housing Element Update website which has provided the public interactive engagement opportunities including the Balancing Act mapping tool, housing polls, and surveys. Community engagement opportunities have been publicized on the Town's website, through the Town's multiple social media platforms and through targeted email updates to the Town's Notify Me subscriber list for the 2040 General Plan Update and Housing Element Update. Postcards were also sent to all property owners and tenants in the Town for the Housing Element Community meeting. Announcements have been provided in the local newspaper for all HEAB meetings, community meetings, study



DISCUSSION (continued):

sessions, public hearings, and for the 30-day public review period of the Initial Public Review Draft Housing Element. Feedback received throughout the ongoing community engagement and outreach process has assisted staff and the consulting team in preparing the Draft Housing Element Update and related items.

Exhibit 3 presents a chronological timeline detailing the ongoing efforts that have been completed.

**Next Steps**

To complete the goal of adopting a Housing Element that is in substantial compliance with State law by the statutory deadline (January 31, 2023), the Town Council is scheduled to consider Planning Commission's recommendation on the adoption of the Draft Housing Element at a Special Town Council Meeting on January 30, 2023.

In parallel with the process under consideration tonight, Town staff and the consultants will continue to work with HCD to consider and respond to any comments from their review of the Draft Housing Element. The Town expects to receive its comment letter from HCD on the Draft Housing Element by January 12, 2023. Once the HCD comment letter has been received, a draft memorandum in response to the HCD comment letter, illustrating how each comment has been responded to and how it is in substantial compliance with State law will be prepared for review by the HEAB.

Based on review and recommendation from the HEAB, a revised draft will be submitted to HCD in response to the initial comment letter. Subsequent reviews by HCD will take up to 60 days.

The Town must post the revision on its website and email a link to all individuals and organizations that have previously requested notices relating to the Town's Housing Element for at least seven days prior to submitting a revised draft Housing Element to HCD.

Based on HCD's second review, it is possible that additional revisions may be needed before HCD would certify the Housing Element. This means that Planning Commission and Town Council hearings for adoption of a revised Housing Element would need to be conducted.

ENVIRONMENTAL ASSESSMENT:

An Environmental Analysis was prepared for the Housing Element Update. Although the Housing Element Update could have a significant effect on the environment, it was found that all potentially significant effects have been analyzed adequately in Town of Los Gatos 2040 General Plan Environmental Impact Report (EIR), pursuant to applicable standards including



ENVIRONMENTAL ASSESSMENT (continued):

CEQA Guidelines Section 15168(c)2, and the Housing Element Update is consistent with the growth projections evaluated in the General Plan EIR.

PUBLIC COMMENTS:

At the time of this report's preparation, the Town has not received any public comment.

CONCLUSION:

A. Recommendation

Staff recommends that the Planning Commission:

1. Receive and consider public comments;
2. Consider the Draft 2023-2031 Housing Element (Exhibit 1), the Environmental Analysis (Exhibit 2), and the Revised Sites Inventory (Exhibit 4); and
3. Forward a recommendation to the Town Council to adopt the Draft 2023-2031 Housing Element (Exhibit 1) with the revised Sites Inventory Analysis (Exhibit 4) and revised Sites Inventory Form (Exhibit 5);

B. Alternatives

Alternatively, the Commission can:

1. Recommend the Town Council not adopt the Draft 2023-2031 Housing Element; or
2. Recommend adoptions with modifications.

EXHIBITS:

Previously received (available online here: <https://engagelosgatoshousing.com>):

1. Draft 2023-2031 Housing Element
2. Environmental Analysis

Received with this Staff Report:

3. Housing Element Update Process Timeline
4. Revised Appendix D, Sites Inventory Analysis
5. Revised Appendix H, Sites Inventory Form



## HOUSING ELEMENT PROCESS TIMELINE

On April 21, 2021, the Town issued a Request for Proposals (RFP) for consultant services for preparation of the 2023-2031 Housing Element. The Town received a proposal from one firm, EMC Planning Group, Inc.

On June 15, 2021, the Town Council authorized the Town Manager to execute an agreement for Consultant Services with EMC Planning Group, Inc. to prepare the 2023-2031 Housing Element and associated public engagement and environmental review documents.

On August 3, 2021, the Town Council adopted Resolution 2021-032 to establish the Housing Element Advisory Board (HEAB) to serve as an advisory board that provides input on specific tasks associated with the Housing Element Update and established the role of the HEAB as follows:

- Provide guidance on the development of the Housing Element Update;
- Provide an additional forum for public involvement;
- Forward milestone products to the Planning Commission and Town Council;
- Review the Draft Housing Element; and
- Make recommendations to the Planning Commission and Town Council.

On August 9, 2021, the Town participated in a Let's Talk Housing Community Meeting for Santa Clara County jurisdictions hosted by the Santa Clara County Planning Collaborative.

On September 21, 2021, the Town Council appointed four at-large members to the HEAB, in addition to the existing nine members of the General Plan Committee (GPC).

On October 15, 2021, the HEAB held their first meeting to elect the Chair and Vice Chair and adopt a meeting schedule.

On December 16, 2021, the HEAB discussed the Housing Element process, milestones, and reviewed the Draft Housing Needs Assessment and Review of Previous Housing Element appendices as contextual background information for future work by the HEAB.

On February 17, 2022, the HEAB reviewed and discussed the Housing Element Site Inventory analysis process.

On March 31, 2022, a Community Meeting was held for the public to review and provide input on potential sites for inclusion in the Site Inventory. At the meeting, the Balancing Act tool and Housing Element Update website site surveys were introduced to the public.

On April 6, 2022, a Joint Study Session of the Town Council, Planning Commission, and HEAB was held to discuss the production of affordable housing.



On April 21, 2022, the HEAB provided feedback on additional sites to include in the Site Inventory, in addition to the sites already identified by staff and the Housing Element Consultant. Results from the Balancing Act tool and Housing Element Update website site surveys were also shared with the HEAB.

On April 21, 2022, Property Owner Interest forms were mailed out to the property owners of the sites selected in the Draft Site Inventory to garner their interest in providing housing on their property. An electronic copy of the Property Owner Interest form was also made available on the Housing Element Update website.

On April 24, 2022, Town staff hosted a booth at the Spring Into Green event at the Town Plaza to provide the public an opportunity to discuss the Housing Element Update.

On May 5, 2022, the HEAB continued the discussion of the Site Inventory and provided feedback on additional sites that should be included.

On May 19, 2022, HEAB recommended the acceptance of the Site Inventory as proposed within Tier 1, with modifications to reduce the number of housing units within the North Forty, to add the site located at 206 Knowles Drive, and to add the site located within the California Department of Transportation right-of-way off of Oka Road. The sites identified by the HEAB at their meetings of April 21, 2022, and May 5, 2022, were divided by staff into three tiers based on the HCD checklist, property size, Zoning, General Plan land use designation, recently developed, environmental constraints, public feedback, and Property Owner Interest forms that were submitted to the Town.

On June 7, 2022, the Town Council considered the Site Inventory as recommended by the HEAB and recommended approval of the Tier 1 sites as presented in the staff report with an amendment to provide a unit projection for Senate Bill 9 projects. Since the recommendation of the HEAB at their May 19, 2022, meeting, an additional Property Owner Interest form was received for 15795 Los Gatos Boulevard and was added to the Tier 1 list. In addition, a letter from the property owner for 15827 Los Gatos Boulevard was received requesting to be removed from the Draft Site Inventory. In response, the Tier 2 site list was modified to remove the site.

On June 16, 2022, the HEAB reviewed and provided initial direction and modifications to the Draft Housing Element Goals, Policies, and Implementation Programs.

On July 7, 2022, the HEAB continued to review and provide additional direction and modifications to the Draft Housing Element Goals, Policies, and Implementation Programs.

On August 4, 2022, the HEAB completed review of the Draft Housing Element Goals, Policies, and Implementation Programs and provided feedback for additional modifications.

On August 16, 2022, signatures were submitted to the Town in support of a referendum on the Land Use and Community Design Elements of the approved 2040 General Plan.



On August 18, 2022, the HEAB reviewed and provided feedback for modifications to the Initial Public Review Draft Housing Element prior to the release of the document for the required 30-day public comment period.

On August 29, 2022, the Town released the Initial Public Review Draft Housing Element for a 30-day public comment period which ran from August 29, 2022, to September 27, 2022.

On September 4, 2022, Town staff hosted a booth at the Los Gatos Farmers' Market to provide the public an opportunity to discuss the Initial Public Review Draft Housing Element during the 30-day public comment period.

On September 15, 2022, the HEAB received public comments on the Initial Public Review Draft Housing Element during the 30-day public review period.

On September 27, 2022, the referendum signatures on the Land Use and Community Design Elements of the approved 2040 General Plan were verified by the Santa Clara County Registrar.

On October 9, 2022, Town staff hosted a booth at the Los Gatos Farmers' Market to provide opportunity for the public to discuss the Draft Housing Element.

On October 14, 2022, the Town submitted the Draft Housing Element and a response to public comments received during the 30-day public comment period to HCD for preliminary review. By law, HCD has up to 90 days to complete its first review. The full document can be viewed at [EngageLosGatosHousing.com](https://EngageLosGatosHousing.com).

On October 20, 2022, the HEAB reviewed the Draft Housing Element that was submitted to HCD for preliminary review, including a summary of all modifications that were made to the Draft Housing Element. Modifications to the Site Inventory as reviewed by the Town Council on June 7, 2022, include:

- The addition of 401-409 Alberto Way as the property owner submitted a Property Owner Interest form to the Town;
- The removal of 404 North Santa Cruz Avenue, 420 North Santa Cruz Avenue, and 430 North Santa Cruz Avenue (Los Gatos Shopping Center) from the Site Inventory per the property owner's request and therefore deleted the North Santa Cruz Avenue Area;
- The removal of 16535 Camellia Terrace and parcel number 523-02-005 (El Gato Village) as no Property Owner Interest form was submitted;
- Increased the housing density within the North Forty Specific Plan from 20 dwelling units per acre to a minimum of 30 dwelling units per acre to align with Implementation Program D and a public comment received from a member representing the interests of the property owner during the 30-day public comment period;
- Revised the housing density used for the calculation of projected housing units in the Site Inventory from the maximum density to the typical density, to be consistent with the 2040 General Plan Residential Buildout;



- Increased the maximum housing density within the Affordable Housing Overlay Zone (AHOZ) from 20 dwelling units per acre to 40 dwelling units per acre to align with Implementation Program BF;
- Modified the distribution for each income category to be consistent with the HCD Housing Element Site Inventory Guidebook, which allows jurisdictions to use a higher density (default density of 30 dwelling units per acre) as a proxy for lower income affordability;
- Created a Senate Bill 9 (SB 9) unit projection;
- Modified the number of housing units generated in the Pipeline Projects based on the creation of a new SB 9 projection, Planning applications that have been withdrawn, and projects that have received their Certificate of Use and Occupancy;
- Decreased the overall total number of housing units in the Site Inventory from 2,448 units to 2,371 units, as a result of the changes listed above; and
- Created a separate Appendix H, Site Inventory Form per HCD formatting requirements.

On November 9, 2022, Town staff hosted a booth at the Los Gatos Farmers' Market to provide the public an opportunity to discuss the Draft Housing Element that was submitted to HCD for preliminary review.

On November 15, 2022, a Renter's Survey was published on the Housing Element Update website and made available in hard copies at the Community Development Department and Town Library. The survey is available in English, Spanish, and Russian in both the electronic and hard copy versions.

On November 17, 2022, the HEAB meeting was rescheduled by staff to December 1, 2022, due to the meeting being cancelled as a result of the Town's website being down and the agenda being unavailable to members of the public.

On November 18, 2022, Town staff hosted an informational table at the Town Library to provide the public an opportunity to discuss the Draft Housing Element and publicize the availability of the Renter's Survey.

On December 1, 2022, the HEAB discussed anticipated comments on the Draft Housing Element based on comments other jurisdictions have received from HCD on their Draft Housing Element.

On December 11, 2022, Town staff hosted a booth at the Los Gatos Farmers' Market to provide the public an opportunity to discuss the Draft Housing Element.

On December 13, 2022, Town staff met with our HCD reviewer and received verbal, preliminary input on the Draft Housing Element.

On December 20, 2022, the Town Council recommended that the current version of the Draft 2023-2031 Housing Element as submitted to HCD on October 14, 2022, be adopted prior to the statutory deadline of January 31, 2023. In addition, the Town Council recommended that the Sites Inventory of the Housing Element utilize the minimum density, requiring additional sites to be added in order to comply with the Town's RHNA and buffer.



Sites Inventory Analysis





## D.1 Vacant and Available Sites

The *Plan Bay Area 2050 Final Blueprint*<sup>1</sup> forecasts that the nine-county Bay Area will add 1.4 million new households between 2015 and 2050. For the eight-year time frame covered by this Housing Element Update, the Department of Housing and Community Development (HCD) has identified the region’s housing need as 441,176 units. The total number of housing units assigned by HCD is separated into four income categories that cover housing types for all income levels, from very low-income households to market rate housing. This calculation, known as the Regional Housing Needs Allocation (RHNA), is based on population projections produced by the California Department of Finance as well as adjustments that incorporate the region’s existing housing need. The adjustments result from recent legislation requiring HCD to apply additional adjustment factors to the baseline growth projection from California Department of Finance, in order for the regions to get closer to healthy housing markets. The adjustments focus on the region’s vacancy rate, level of overcrowding, and the share of cost burdened households and seek to bring the region more in line with comparable areas. The new laws governing the methodology for how HCD calculates the RHNA resulted in a significantly higher number of housing units for which the Bay Area must plan compared to previous cycles.

## D.2 Regional Housing Needs Allocation

In December 2021, ABAG adopted a Final Regional Housing Needs Allocation (RHNA) Methodology. For Los Gatos, the RHNA required to be planned for the 6<sup>th</sup> cycle Housing Element Update is 1,993 units, an increase of 322 percent from the last cycle.

### RHNA Summary

Los Gatos’ share of the regional housing need for the eight-year period from 2023 to 2031 is 1,993 units, which is a 322 percent increase over the 619 units required by the 2015 to 2023 RHNA. The housing need is divided into the four income categories of housing affordability. Table D-1 shows Los Gatos’ RHNA for the planning period 2023 through 2031 in comparison to the RHNA distributions for Santa Clara County and the Bay Area region. With an update required every eight years by the State of California, this Housing Element covers a planning period from January 31, 2023, to January 31, 2031 (also referred to as the “6th cycle”).

**Table D-1 Los Gatos’ Regional Housing Needs Allocation: 2023–2031**

Income Group	Los Gatos Units	Percent	Santa Clara County Units	Percent	Bay Area Units	Percent
Very Low Income (<50% of AMI)	537	26.9%	32,316	24.9%	114,442	25.9%
Low Income (50%-80% of AMI)	310	15.6%	18,607	14.4%	65,892	14.9%
Moderate Income (80%-120% of AMI)	320	16.1%	21,926	16.9%	72,712	16.5%
Above Moderate Income (>120% of AMI)	826	41.4%	56,728	43.8%	188,130	42.6%
Total	1,993	100.0%	129,577	100.0%	441,176	100.0%

Source: ABAG 2021

<sup>1</sup> Plan Bay Area 2050 is a long-range plan charting the course for the future of the nine-county San Francisco Bay Area. It covers four key issues: the economy, the environment, housing and transportation



## D.3 Site Inventory

The purpose of the sites inventory is to identify and analyze specific sites that are available and suitable for residential development during the planning period between 2023-2031 in order to accommodate Los Gatos' assigned 1,993 housing units. The Town does not build the housing but rather creates the implementation programs and policies to plan for where the housing can be located and how many units could be built on potential sites.

In 2017, Senate Bill (SB) 166 was signed into law and included new "no net loss" provisions that require communities to provide an ongoing, adequate supply of land resources for housing development during the entirety of the housing element update planning period. These provisions mean communities face risks of non-compliance should a housing site be developed with non-residential uses, lower residential densities, or residential uses at affordability levels higher than anticipated by the Housing Element. To avoid noncompliance, HCD advises communities to "buffer" their assigned RHNA numbers. The Site Inventory includes 48 sites in order to have enough capacity for the RHNA and recommended buffer of at least 15 percent. These sites, in addition to Accessory Dwelling Unit (ADU) Projections, Senate Bill (SB) 9 Projections, and Pipeline Projects have a total capacity of 2,312 units (1,993 units plus a 16 percent buffer).

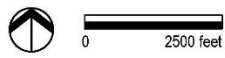
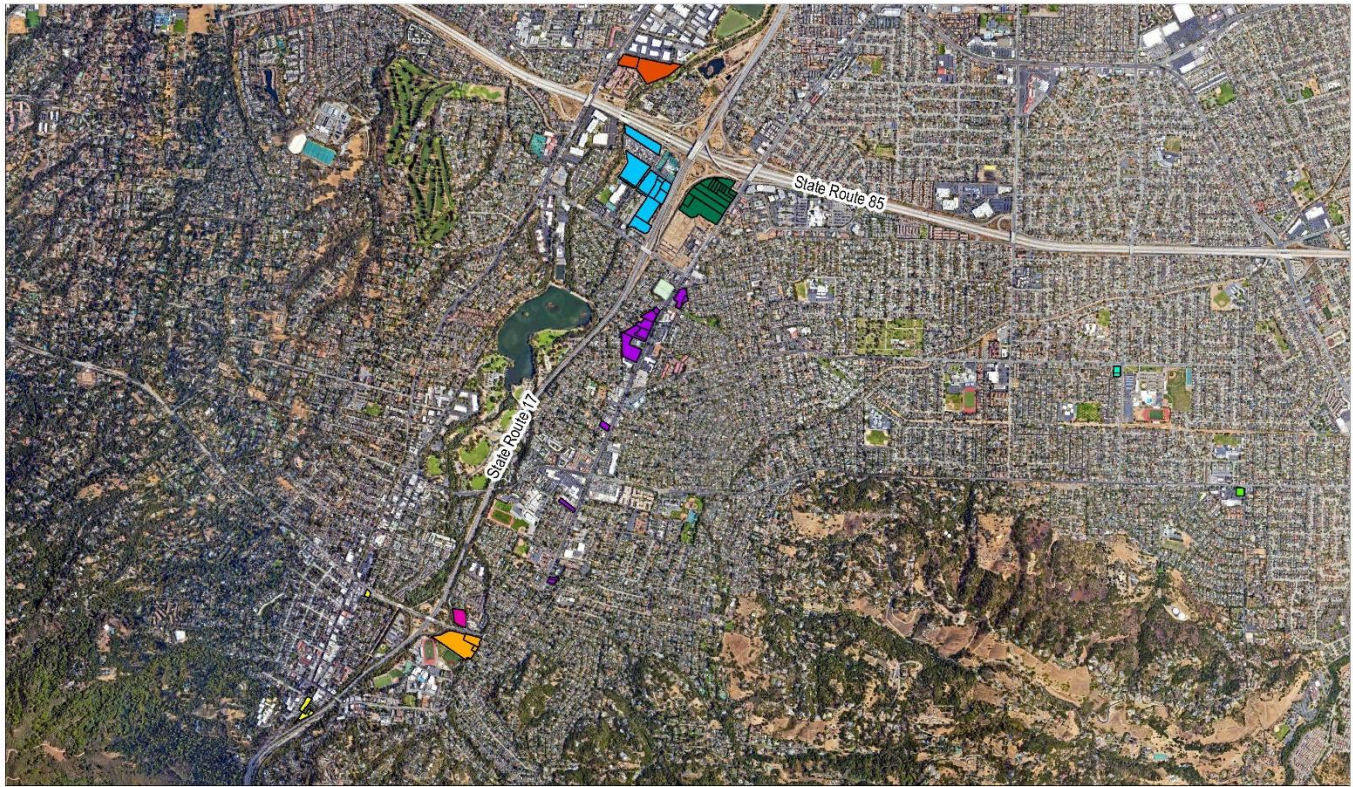
### Overview of Selected Sites

This section provides information on the current list of potential sites that show how the Town will accommodate the State's required minimum of 1,993 housing units. Please note that the site numbers listed here are added only as a way to reference the site and label it on a map. The site number is not an indication of preference or priority. Figure D-1 shows an overview of the potential sites inventory map developed for Los Gatos' 6<sup>th</sup> cycle Housing Element Update. The following sites make up the Site Inventory, which is available as Appendix H.



# Appendix D. Sites Inventory Analysis

Figure D-1 Overall Area Parcel Locations



- |  |  |   |
|--|--|---|
| <span style="background-color: yellow; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Downtown Area<br>Parcels        | <span style="background-color: purple; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Los Gatos Blvd.<br>Area Parcels | <span style="background-color: orange; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Winchester Blvd.<br>Area Parcels |
| <span style="background-color: lightgreen; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Harwood Rd.<br>Area Parcels | <span style="background-color: darkgreen; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> North Forty<br>Area Parcels  | <span style="background-color: cyan; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Union Ave.<br>Area Parcels         |
| <span style="background-color: orange; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Los Gatos Lodge<br>Area Parcels | <span style="background-color: blue; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Lark Ave.<br>Area Parcels         | <span style="background-color: pink; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> Alberto Way<br>Area Parcels        |

Source: Santa Clara County GIS 2022, Google Earth 2022



## Overall Area Parcel Locations

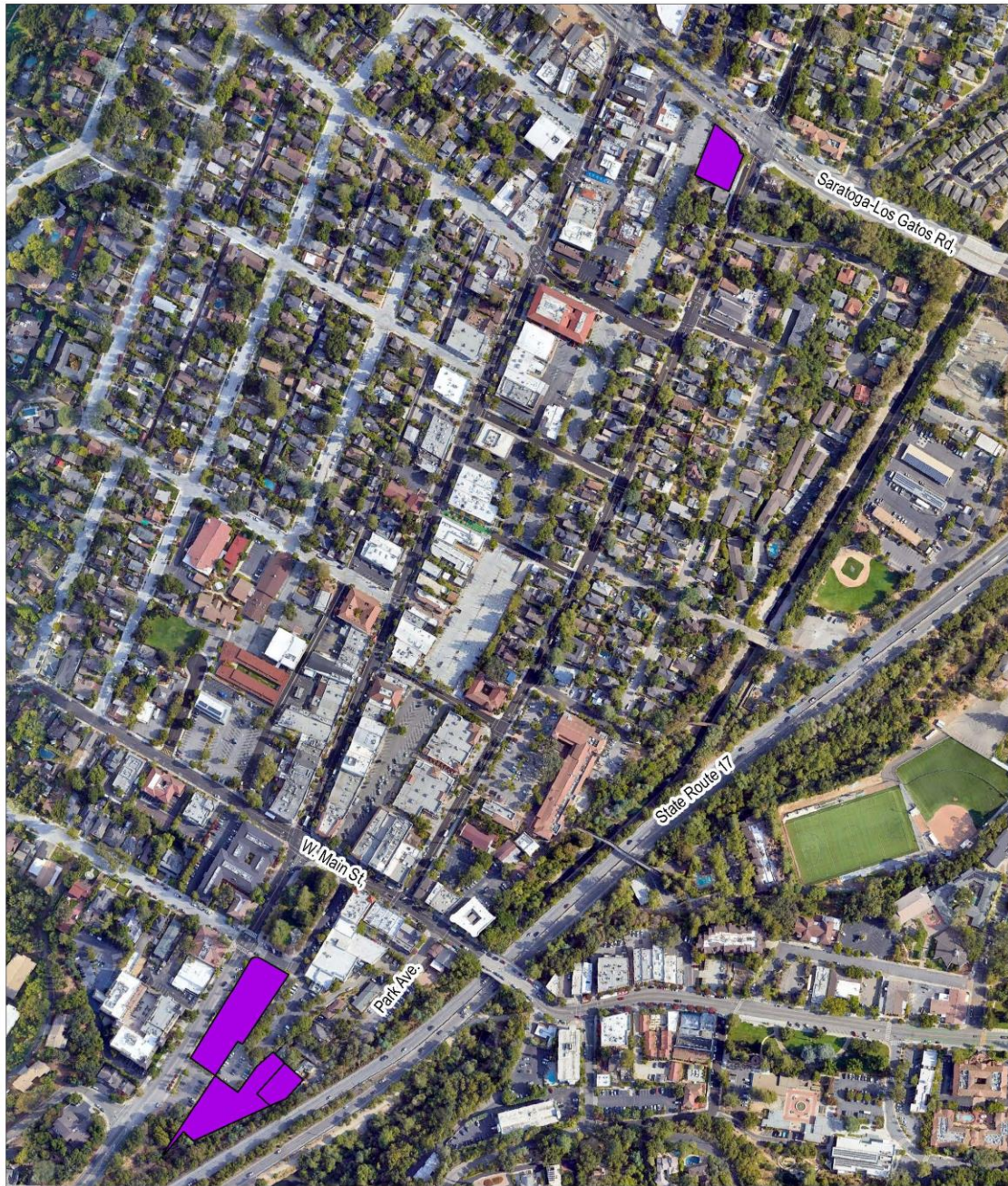
Tier 1 - Los Gatos Housing Element Update - Site Selection

### Sites Details

This section provides information on each of the sites selected for inclusion in the site inventory of vacant and available sites.



Figure D-2 Downtown Area



Source: Santa Clara County GIS 2022, Google Earth 2022



### Downtown Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site A-1

#### Park Avenue

**Addresses:** 50 Park Avenue and 61 Montebello Way

**Number of Housing Units:** 5

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Park Avenue Site (A-1) is located in the Downtown Area on the southwest end of Town on a wooded parcel that is currently identified as Very High Fire Risk. The site is triangular in shape with parking lots and South Santa Cruz Avenue on one side, Highway 17 on a second side, and Downtown Los Gatos forming the third side. Proximity to Downtown Los Gatos ensures that this site provides pedestrian access to urban services. This site currently is developed with residential units and is designated Medium Density Residential. The site is zoned R-1D and would allow five housing units developed at a minimum density of five du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Very high fire hazard; existing residential dwelling units would require demolition.

**Figure D-3 Park Avenue (Site A-1)**





## Site A-2 South Santa Cruz Avenue

**Address:** 101 South Santa Cruz Avenue

**Number of Housing Units:** 16

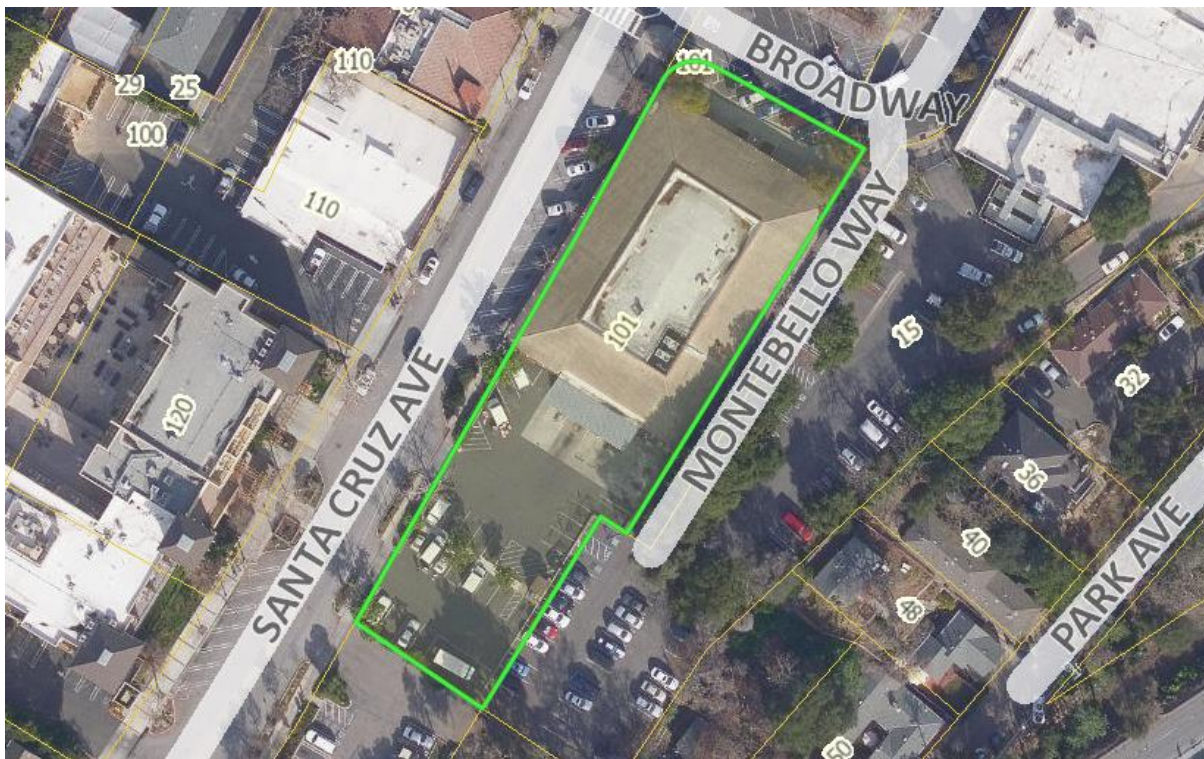
**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The South Santa Cruz Avenue Site (A-2) is located in the Downtown Area on the southwest end of Town along South Santa Cruz Avenue on an occupied commercial parcel in Downtown Los Gatos. The site is currently identified as Medium Density Residential. Proximity to Downtown Los Gatos ensures that this site provides pedestrian access to urban services. This site is designated as Central Business District and zoned C-2, which would allow 16 housing units developed at a minimum density of 20 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Very high fire hazard; the existing commercial use would require demolition.

**Figure D-4 South Santa Cruz Avenue (Site A-2)**





## Appendix D. Sites Inventory Analysis

### Site A-3

#### University Avenue

**Address:** 165 Los Gatos-Saratoga Road

**Number of Housing Units:** 7

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The University Avenue Site (A-3) is located in the Downtown Area at the corner of Los Gatos-Saratoga Road and University Avenue on an occupied commercial site. Proximity to Downtown Los Gatos ensures that this site would provide pedestrian access to urban services. This site is designated as Central Business District and zoned C-2, which would allow seven housing units developed at a minimum density of 20 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing commercial building would require demolition.

**Figure D-5 University Avenue (Site A-3)**

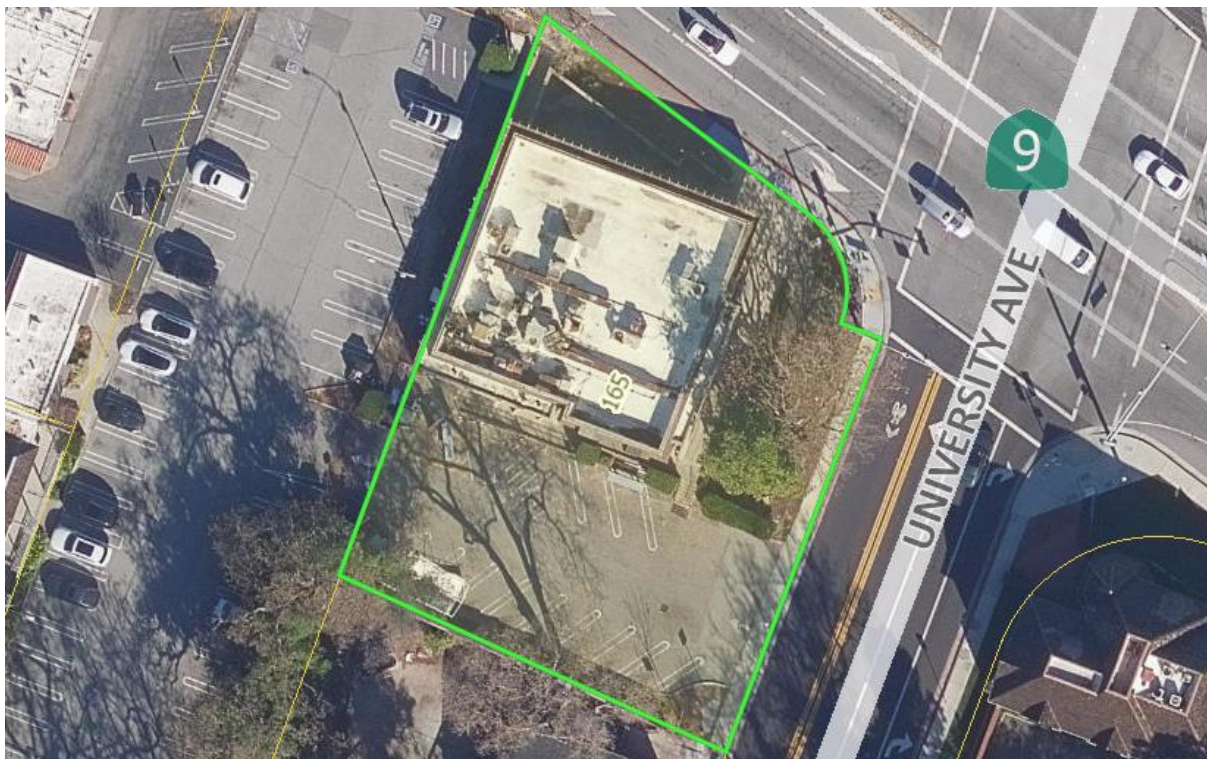




Figure D-6 Los Gatos Lodge Area



Los Gatos Lodge Parcel Locations

Source: Santa Clara County GIS2022, Google Earth 2022



### Los Gatos Lodge Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site B-1

#### Los Gatos Lodge

**Address:** 50 Los Gatos-Saratoga Road

**Number of Housing Units:** 264

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos Lodge Site (B-1) is located in the Los Gatos Lodge Area immediately adjacent to the interchange of Highway 9 and Highway 17, east of Downtown Los Gatos. The site is the current location of the Los Gatos Lodge, with the Los Gatos High School sports fields to the south, lower-density residential uses across Bella Vista Avenue to the east, and Best Western Inn across Highway 9 on the north. This site is designated as Mixed-Use Commercial and zoned CH:PD, which would allow 264 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** Yes

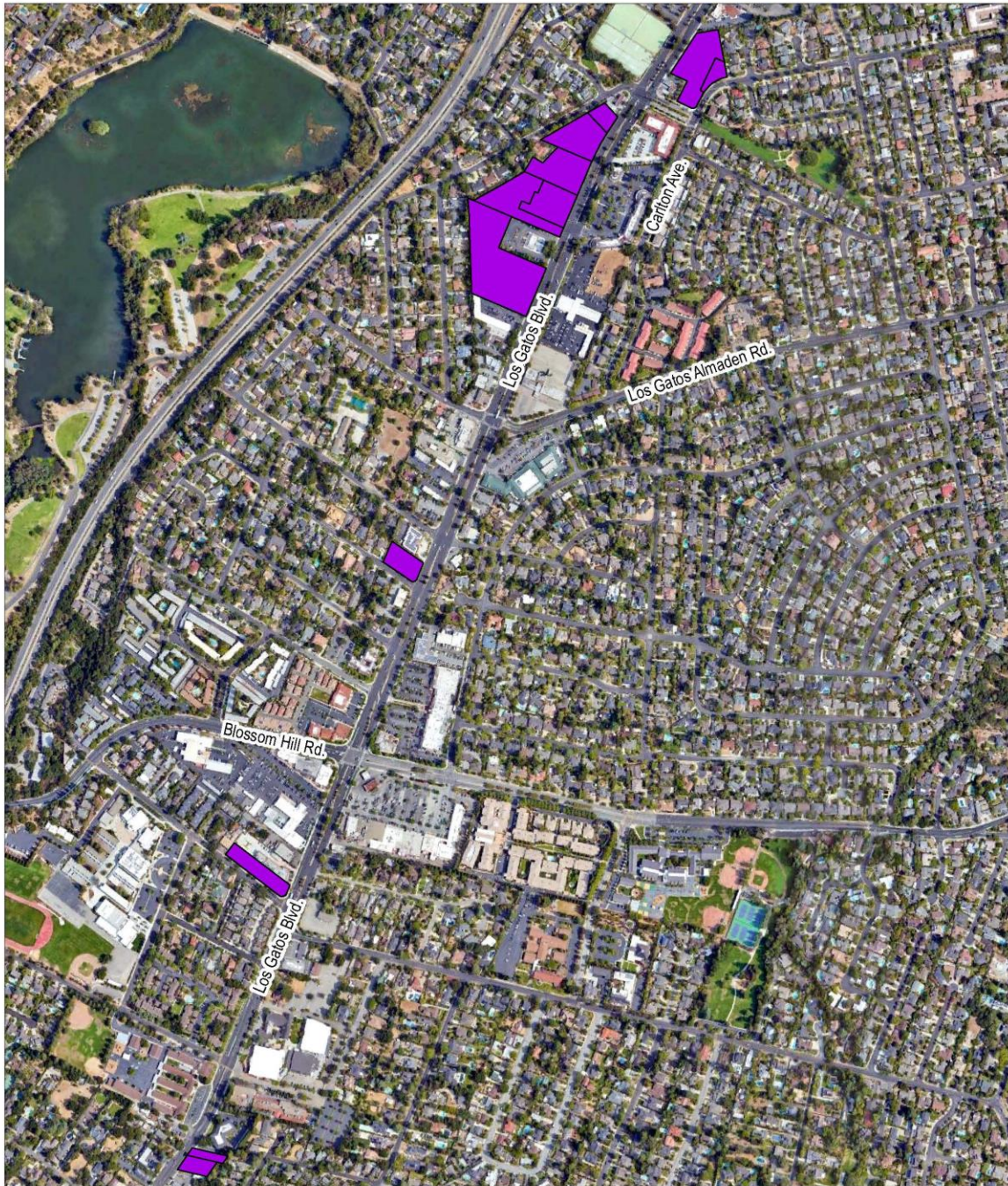
**Constraints:** Existing commercial buildings would require demolition and removal or modification of the existing Planned Development Overlay to accommodate residential.

**Figure D-7 Los Gatos Lodge (Site B-1)**





Figure D-8 Los Gatos Boulevard Area



Source: Santa Clara County GIS 2022, Google Earth 2022



### Los Gatos Boulevard Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site C-1

#### Ace Hardware

**Address:** 15300 Los Gatos Boulevard

**Number of Housing Units:** 48

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Ace Hardware Site (C-1) is located in the Los Gatos Boulevard Area on the east side of Los Gatos Boulevard and north of Gateway Drive. The site is the current location of Ace Hardware, with commercial uses to the north, south, and west, and lower-density residential uses to the east. The site is designated as Mixed-Use Commercial and zoned C-1, which would accommodate 48 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing commercial building would require demolition.

**Figure D-9 Ace Hardware (Site C-1)**





## Site C-2 Los Gatos Boulevard

**Address:** 15349, 15367, and 15405 Los Gatos Boulevard

**Number of Housing Units:** 86

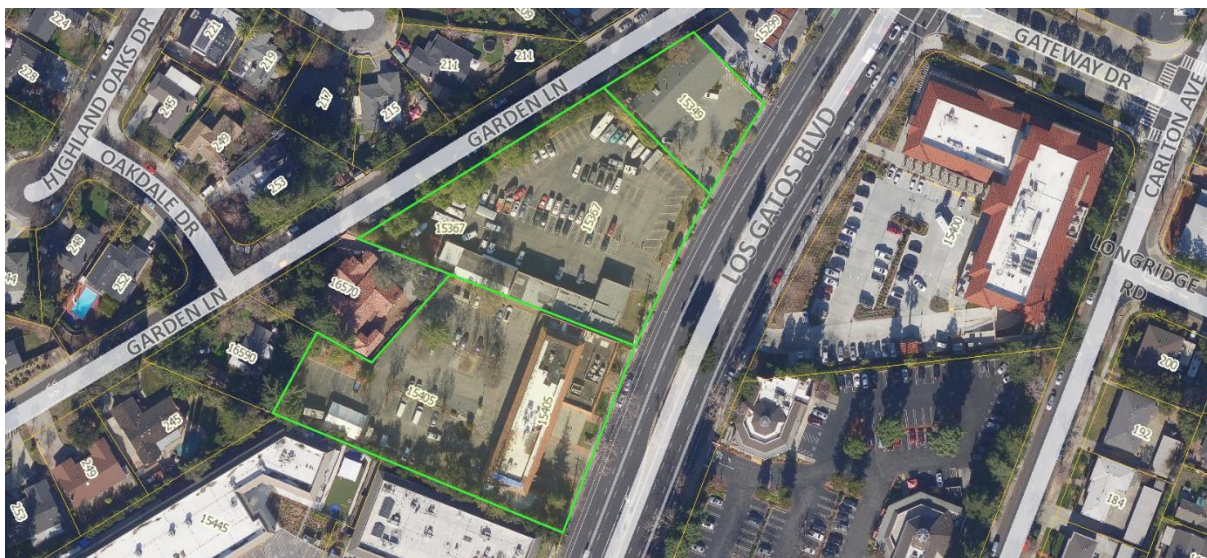
**“By Right” + 20% Affordable:** Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-2) is located in the Los Gatos Boulevard Area on the west side of Los Gatos Boulevard, and south of Garden Lane. The site is the current location of multiple commercial uses, with commercial uses to the north, south, and east, and lower-density residential uses to the west. The site is designated as Mixed-Use Commercial and zoned CH, which would accommodate 86 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing commercial building would require demolition.

**Figure D-10 Los Gatos Boulevard (Site C-2)**





## Appendix D. Sites Inventory Analysis

### Site C-3

#### Los Gatos Boulevard

**Address:** 15425 Los Gatos Boulevard

**Number of Housing Units:** 33

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-3) is located in the Los Gatos Boulevard Area on the west side of Los Gatos Boulevard and east of Garden Lane. The site is the current location of office and commercial uses, with commercial uses located on all sides. The site is designated as Mixed-Use Commercial and zoned CH, which would accommodate 33 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing commercial building would require demolition.

**Figure D-11 Los Gatos Boulevard (Site C-3)**





## Site C-4 Affordable Treasures

**Address:** 15795 Los Gatos Boulevard

**Number of Housing Units:** 19

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Affordable Treasures Site (C-4) is located in the Los Gatos Boulevard Area at the northwest corner of Los Gatos Boulevard and Farley Lane. The site is the current location of Affordable Treasures Party Store with commercial uses located to the north, south, and east and lower-density residential uses located to the west. The site is designated as Mixed-Use Commercial and zoned CH, which would accommodate 19 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing commercial building would require demolition.

**Figure D-12 Affordable Treasures (Site C-4)**





## Appendix D. Sites Inventory Analysis

### Site C-5

#### Los Gatos Boulevard

**Address:** 16203 Los Gatos Boulevard

**Number of Housing Units:** 24

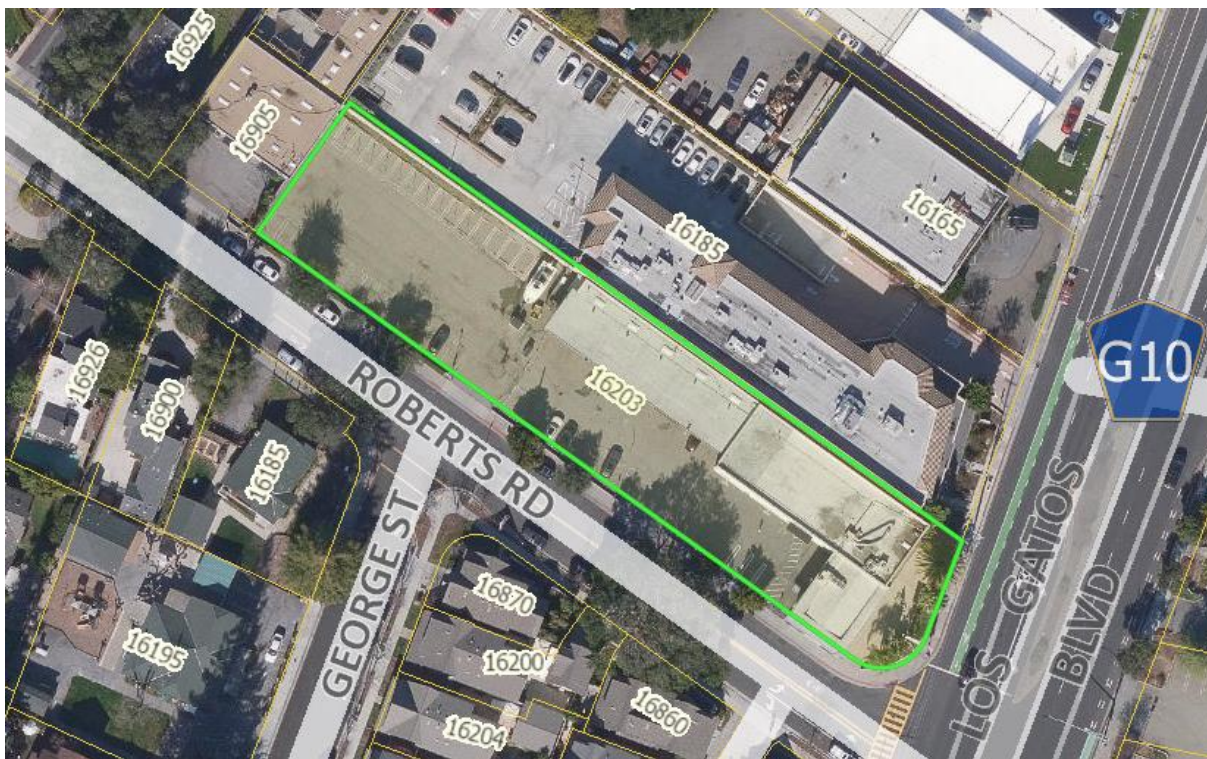
**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-5) is located in the Los Gatos Boulevard Area at the northwest corner of Los Gatos Boulevard and Roberts Road. The site is the current location of NC Boardshop skateboard shop and Autobahn Los Gatos, with commercial uses located to the north, east, and west and medium-density residential uses located to the south. The site is designated as Mixed-Use Commercial and zoned CH, which would accommodate 24 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, a Conceptual Development Advisory Committee application for a mixed-use development was submitted on November 17, 2020 pending an anticipated density increase as part of the General Plan and Housing Element Updates.

**Constraints:** Existing commercial buildings would require demolition.

**Figure D-13 Los Gatos Boulevard (Site C-5)**





## Site C-6

### Los Gatos Boulevard

**Address:** 16492 Los Gatos Boulevard

**Number of Housing Units:** 6

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-6) is located in the Los Gatos Boulevard Area on the east side of Los Gatos Boulevard, north of Spencer Avenue. The site is the current location of LG Wines and Liquors and Happy Cleaners, with commercial uses located to the north, south, and west and low-density residential uses located to the east. The site is designated as Low Density Residential but zoned C-1, which would accommodate six housing units developed at a minimum density of 10 du/ac.

**Property Owner Interest Form Submitted:** Yes, and the owner has submitted written interest in changing the land use designation to Neighborhood Commercial.

**Constraints:** Existing commercial use would require demolition.

**Figure D-14 Los Gatos Boulevard (Site C-6)**





## Appendix D. Sites Inventory Analysis

### Site C-7 Los Gatos Boulevard

**Address:** 15495 Los Gatos Boulevard

**Number of Housing Units:** 116

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-7) is located in the Los Gatos Boulevard Area on the west side of Los Gatos Boulevard and east of Garden Lane. The site is comprised of three separate commercial buildings, with commercial uses located to the north, south, and east. Low-density residential uses are located to the west. The site is designated as Mixed- Use Commercial but zoned CH, which would accommodate 116 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, a property owner has contacted staff with an inquiry for residential development of the site.

**Constraints:** Existing commercial buildings would require demolition.

**Figure D-15 Los Gatos Boulevard (Site C-7)**





Site C-8

Los Gatos Boulevard

Address: 15445 Los Gatos Boulevard

Number of Housing Units: 46

“By Right” + 20% Affordable: Not Required – Not used in previous cycle.

**Description:** The Los Gatos Boulevard Site (C-8) is located in the Los Gatos Boulevard Area on the west side of Los Gatos Boulevard and east of Garden Lane. The site is the current location of Virtus Performance Club, with commercial uses located to the east and south. Low-density residential uses are located to the north and west. The site is designated as Mixed-Use Commercial but zoned CH, which would accommodate 46 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the site is adjacent to other sites within the Site Inventory.

**Constraints:** Existing commercial building would require demolition.

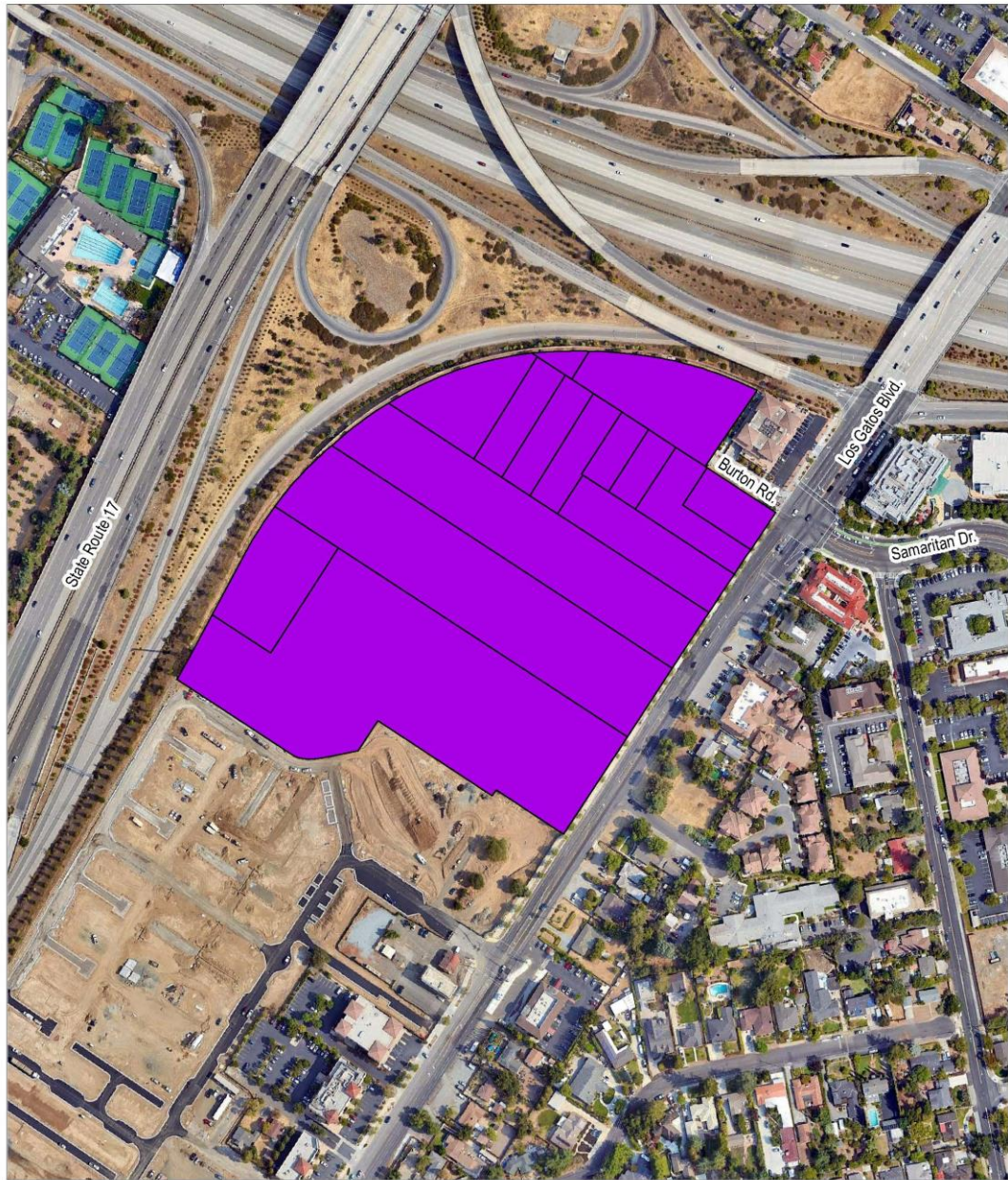
Figure D-16 Los Gatos Boulevard (Site C-8)





# Appendix D. Sites Inventory Analysis

Figure D-17 North Forty Area



Source: Santa Clara County GIS 2022, Google Earth 2022



## North Forty Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



**Site D-1 North Forty Phase II**

**Address:** 14859 Los Gatos Boulevard, et. al.

**Number of Housing Units:** 461

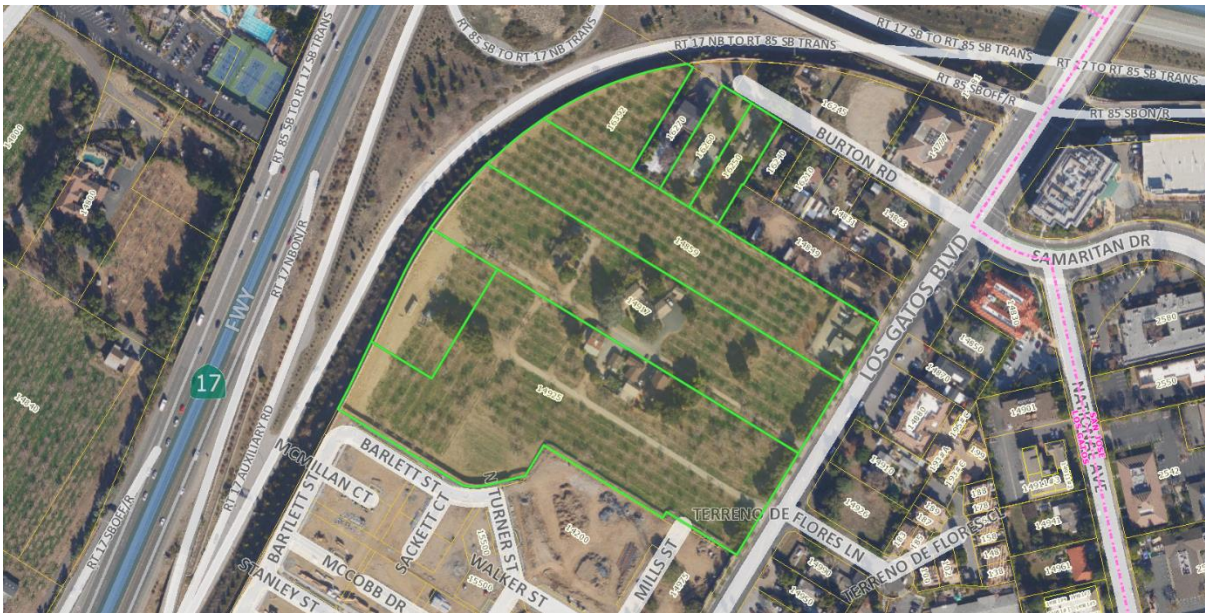
**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-1) is located in the North Forty Area on the west side of Los Gatos Boulevard, south of Burton Road. The site contains existing single-family residences and agriculture uses. Commercial uses are located to the south and west and arterial highways located to the north and east. The site is designated and zoned as North Forty Specific Plan, which would accommodate 461 units at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the property owner has been involved in attending Housing Element Advisory Board (HEAB) meetings and submitted written public comments regarding intent and interest in residential development on the site.

**Constraints:** Existing buildings would require demolition.

**Figure D-18 North Forty Phase II (Site D-1)**





## Appendix D. Sites Inventory Analysis

### Site D-2

#### North Forty Phase II

**Address:** 16245 Burton Road

**Number of Housing Units:** 38

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-2) is located in the North Forty Area at the terminus of Burton Road, on the west side of Los Gatos Boulevard. The site is underutilized with a single-family residence. Commercial uses are located to the east and arterial highways located to the north and west. The site is designated and zoned as North Forty Specific Plan, which would accommodate 38 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

**Figure D-19** North Forty Phase II (Site D-2)





## Site D-3 North Forty (Phase II)

**Address:** 16240 Burton Road

**Number of Housing Units:** Eight

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-3) is located in the North Forty Area along Burton Road and adjacent to the Highway 17/Highway 85 interchange. The site contains a single-family residence. Other North Forty Specific Plan properties surround the site. The site is designated and zoned as North Forty Specific Plan, which would accommodate eight housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

**Figure D-20 North Forty Phase II (Site D-3)**





## Appendix D. Sites Inventory Analysis

### Site D-4

#### North Forty Phase II

**Address:** 16270 Burton Road

**Number of Housing Units:** 13

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-4) is located in the North Forty Area at the end of Burton Road and immediately adjacent to the Highway 17/Highway 85 interchange. The site contains a single-family residence. Other North Forty Specific Plan properties surround the site. The site is designated and zoned as North Forty Specific Plan, which would accommodate 13 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

**Figure D-21 North Forty Phase II (Site D-4)**





## Site D-5

### North Forty Phase II

**Address:** 16210 Burton Road

**Number of Housing Units:** 25

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-5) is located in the North Forty Area along Burton Road and on the west side of Los Gatos Boulevard. The site contains single-family residences. Other North Forty Specific Plan properties surround the site. The site is designated and zoned as North Forty Specific Plan, which would accommodate 25 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

**Figure D-22 North Forty Phase II (Site D-5)**





## Appendix D. Sites Inventory Analysis

### Site D-6

#### North Forty Phase II

**Address:** 14849 Los Gatos Boulevard

**Number of Housing Units:** 28

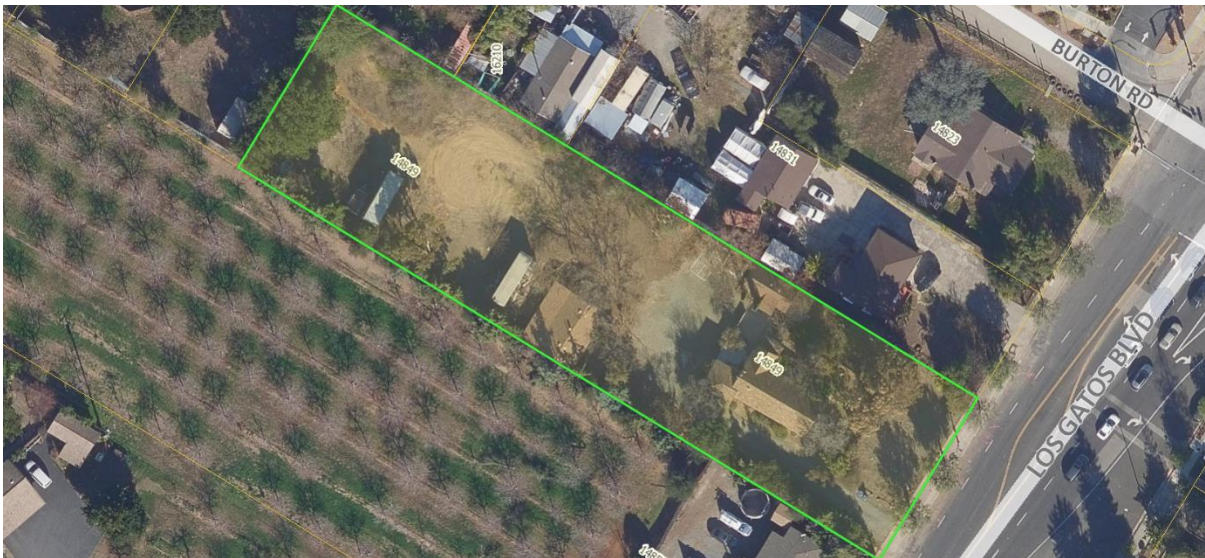
**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-6) is located in the North Forty Area on the west side of Los Gatos Boulevard, south of Burton Road. The site contains a single-family residence. Other North Forty Specific Plan properties surround the site on the north, south, and west. East of the site, across Los Gatos Boulevard there are commercial uses. The site is designated and zoned as North Forty Specific Plan, which would accommodate 28 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

**Figure D-23 North Forty Phase II (Site D-6)**





## Site D-7

### North Forty Phase II

**Address:** 14823 Los Gatos Boulevard

**Number of Housing Units:** 11

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The North Forty Phase II Site (D-7) is located in the North Forty Area at the southwest corner of Burton Road and Los Gatos Boulevard. The site contains a single-family residence. Other North Forty Specific Plan properties surround the site on the south and west. North of the site, across Burton Road, and east of the site, across Los Gatos Boulevard, there are commercial uses. The site is designated and zoned as North Forty Specific Plan, which would accommodate 11 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway.

**Constraints:** Existing residential building would require demolition.

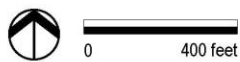
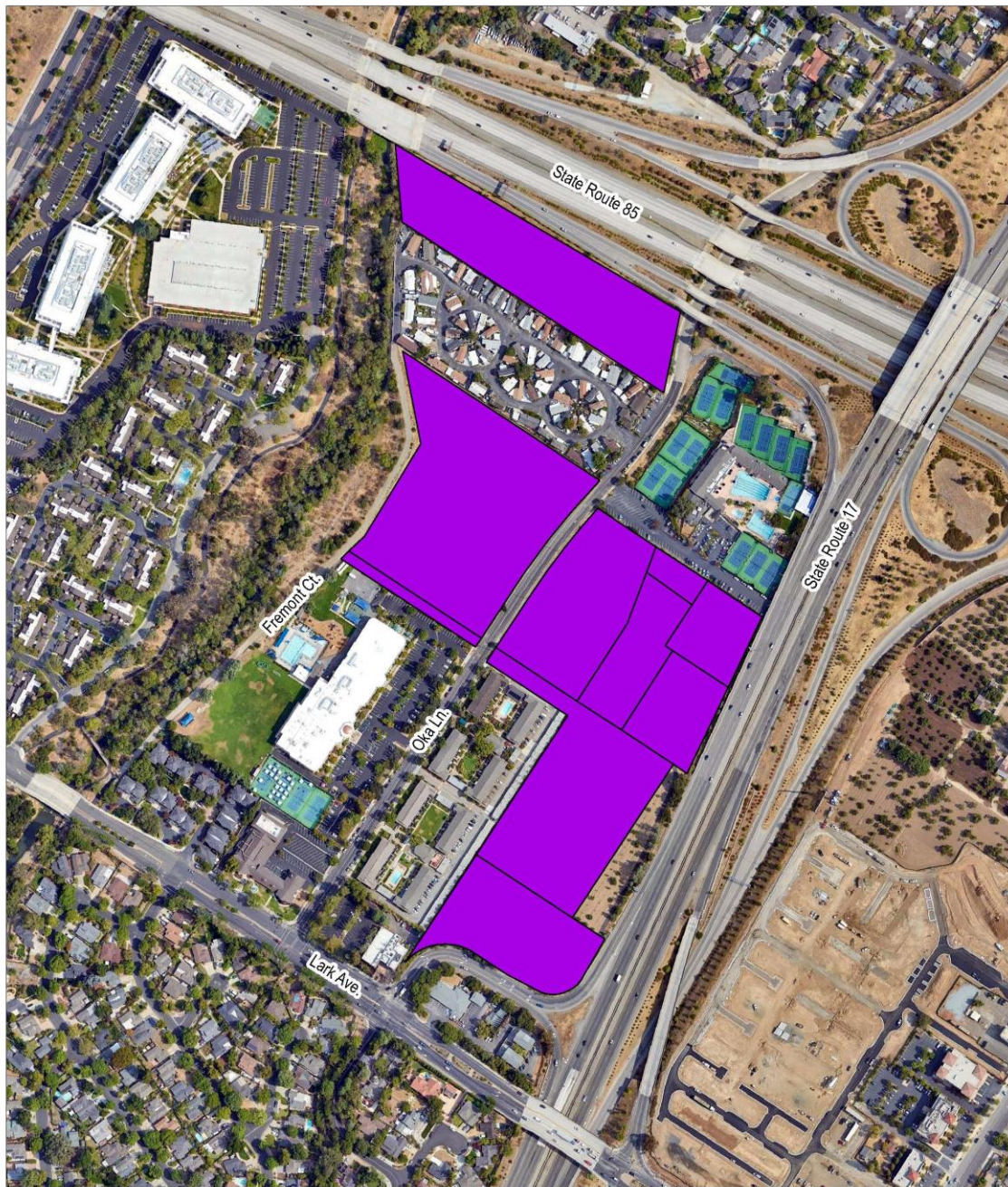
**Figure D-24 North Forty Phase II (Site D-7)**





# Appendix D. Sites Inventory Analysis

Figure D-25 Lark Avenue Area



Lark Avenue Area Parcel Locations

Source: Santa Clara County GIS 2022, Google Earth 2022



## Lark Avenue Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Site E-1

### Oka Road

Address: Oka Road

Number of Housing Units: 124

“By Right” + 20% Affordable: Required – Used in previous cycle.

**Description:** The Oka Road Site (E-1) is located in the Lark Avenue Area on the east side of Oka Road, north of Lark Avenue. The site contains residential and agricultural uses. Major arterial highways are located north and east of the site, with the Los Gatos Swim and Racquet Club immediately north. Agricultural and commercial uses are located across Oka Road. The site is designated as Low-Density Residential and Medium-Density Residential. Parcels within the site are zoned R-1-8 and R-M:5-12, which would allow 124 housing units developed at a typical density of four du/ac for parcels designated as Low-Density Residential and at a minimum density of 14 du/ac for parcels designated as Medium-Density Residential.

**Property Owner Interest Form Submitted:** No; however the property owner has submitted a public comment to the HEAB regarding future development of the site.

**Constraints:** Existing buildings would require demolition.

Figure D-26 Lark Avenue (Site E-1)





## Appendix D. Sites Inventory Analysis

### Site E-2

#### Oka Lane

**Address:** Oka Lane

**Number of Housing Units:** 26

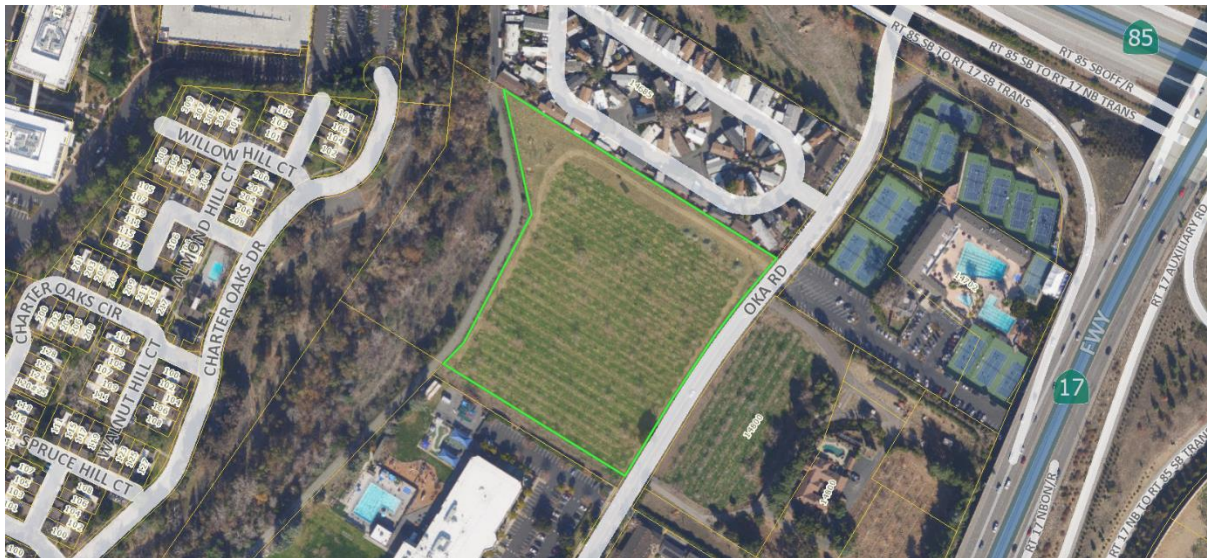
**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The Oka Lane Site (E-2) is located in the Lark Avenue Area on the west side of Oka Road, north of Lark Avenue. The site contains agricultural uses. Major arterial highways are located north and east of the site, with the Bonnie View mobile home park to the north. Agricultural and commercial uses are located across Oka Road. The site is designated as Low-Density Residential. The site is zoned R-1:8, which would allow 26 housing units developed at a typical density of 4 du/ac.

**Property Owner Interest Form Submitted:** No; however the property owner has submitted a public comment to the HEAB regarding future development of the site.

**Constraints:** Proximity to adjacent highways.

**Figure D-27 Oka Lane (Site E-2)**





## Site E-3

### Caltrans Right of Way

**Address:** Caltrans Right of Way

**Number of Housing Units:** 69

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Caltrans Right of Way Site (E-3) is located in the Lark Avenue Area south and west of the Highway 17/Highway 85 interchange. The site is currently vacant. Major arterial highways are located north and east of the site. Commercial uses are located west of the site across Oka Road, and the Bonnie View mobile home park is located immediately south of the site. Should the site be annexed by the Town, it is designated as Medium-Density Residential and zoned as R-M:5-12, which would accommodate 69 housing units developed at a minimum density of 14 du/ac.

**Property Owner Interest Form Submitted:** No, the Town has yet to reach out to Caltrans regarding future development of the site.

**Constraints:** Consultation with Caltrans for future development.

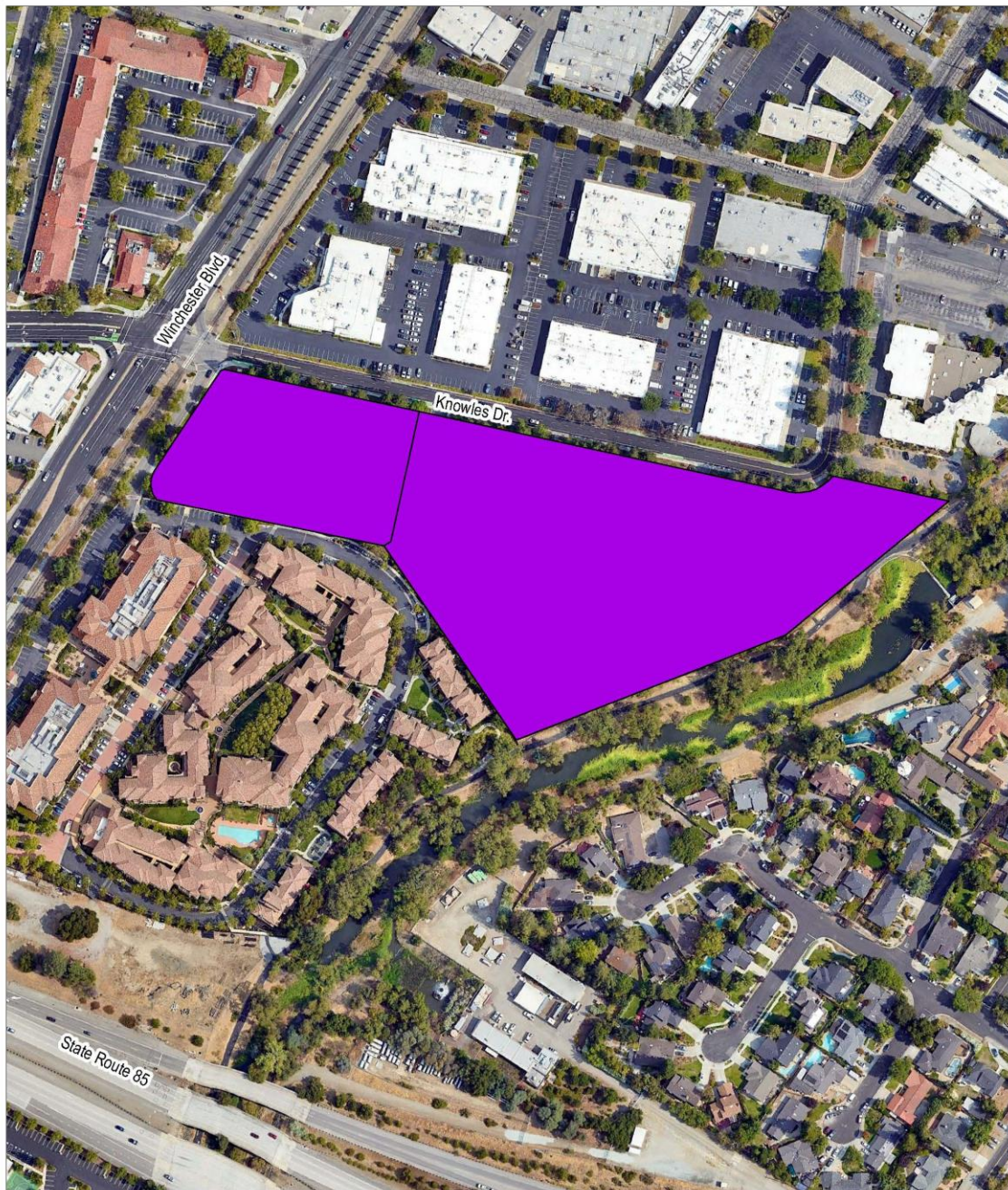
**Figure D-28 Caltrans Right of Way (Site E-3)**





# Appendix D. Sites Inventory Analysis

Figure D-29 Winchester Boulevard Area



Winchester Boulevard Area Parcel Locations

Source: Santa Clara County GIS 2022, Google Earth 2022



## Winchester Boulevard Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Site F-1

### Knowles Drive

**Address:** 110 Knowles Drive

**Number of Housing Units:** 220

**“By Right” + 20% Affordable:** Required – Used in previous cycle.

**Description:** The Knowles Drive Site (F-1) is located in the Winchester Boulevard Area north and west of the Highway 17/Highway 85 interchange. The site contains industrial uses. Los Gatos Creek is immediately south and east of the site, with low-density residential uses located beyond. High-density residential uses are located south and west of the site. Commercial/industrial uses are located north of the site across Knowles Drive. The site is designated as High-Density Residential and zoned CM:AHOZ, which would accommodate 220 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however the site is located within the Affordable Housing Overlay Zone.

**Constraints:** Existing buildings would require demolition and adjacency to the Los Gatos Creek Trail.

**Figure D-30 Knowles Drive (Site F-1)**





## Appendix D. Sites Inventory Analysis

### Site F-2

#### Winchester Boulevard

**Address:** 206 Knowles Drive

**Number of Housing Units:** 72

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Winchester Boulevard Site (F-2) is located in the Winchester Boulevard Area at the northeast intersection of A Street and Knowles Drive. The site contains office uses. Multi-family residential is located to the south and office uses are located to the north, south, and west of the site. The site is designated as High-Density Residential and zoned CM, which would accommodate 72 housing units developed at a minimum density of 30 du/ac.

**Property Owner Interest Form Submitted:** No; however, the site is located immediately adjacent to 110 Knowles Drive (Site F-1), which has an Affordable Housing Overlay Zone.

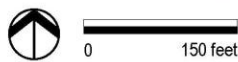
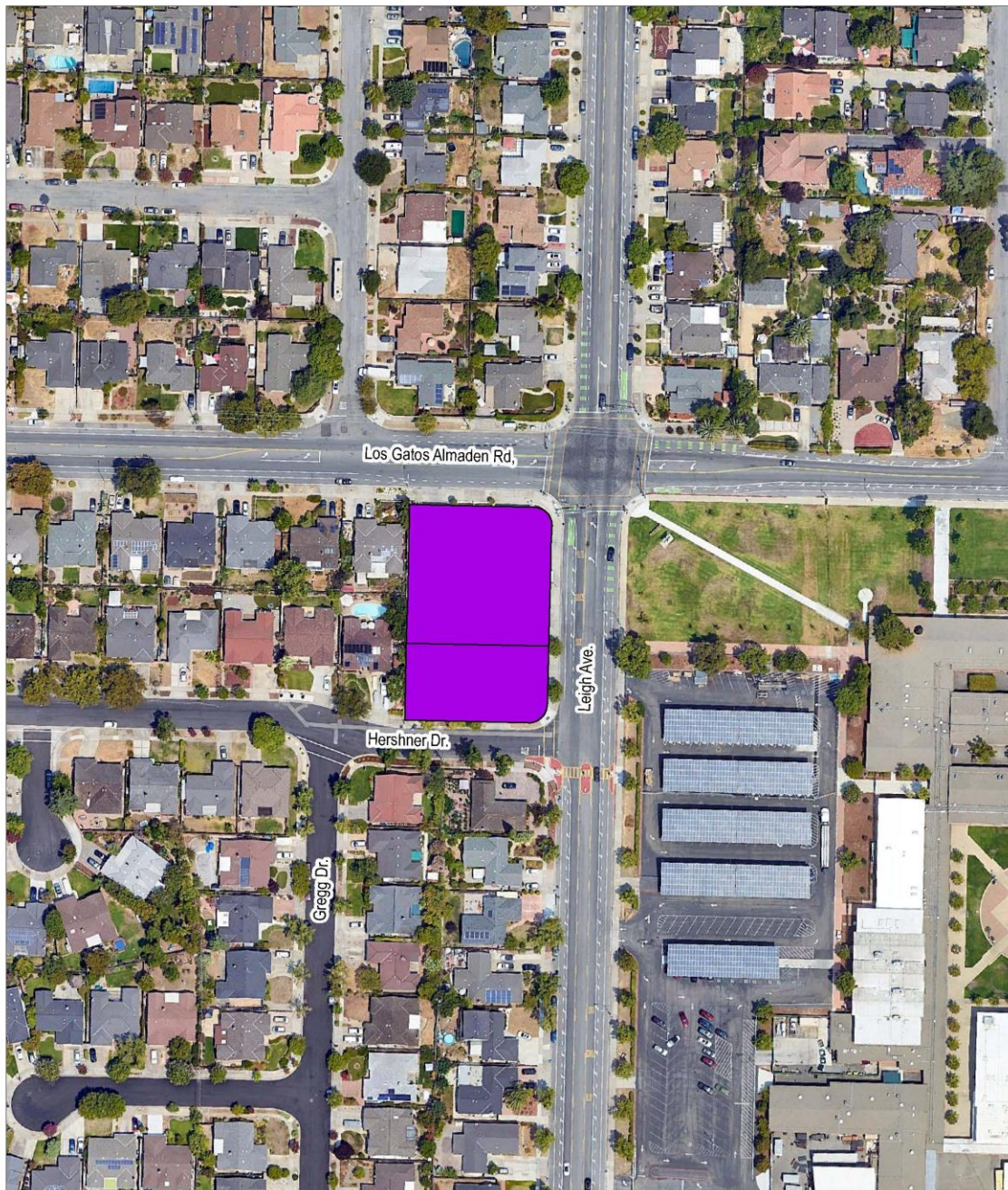
**Constraints:** Existing buildings would require demolition and adjacency to the Los Gatos Creek Trail.

**Figure D-31 Winchester Boulevard (Site F-2)**





Figure D-32 Union Avenue Area



Union Avenue Area  
Parcel Locations

Source: Santa Clara County GIS 2022, Google Earth 2022



## Union Avenue Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site G-1

#### Los Gatos-Almaden Road

**Address:** 440 Los Gatos Almaden Road

**Number of Housing Units:** 8

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Los Gatos-Almaden Road Site (G-1) is located in the Union Avenue Area at the northwest corner of Leigh Avenue and Los Gatos-Almaden Road. The site contains a gas station and commercial building. Low-density residential are located north, south, and west of the site. Leigh High School is located east of the site across Leigh Avenue. The site is designated as Neighborhood Commercial and zoned C-1, which would accommodate eight housing units developed at a minimum density of 10 du/ac.

**Property Owner Interest Form Submitted:** Yes

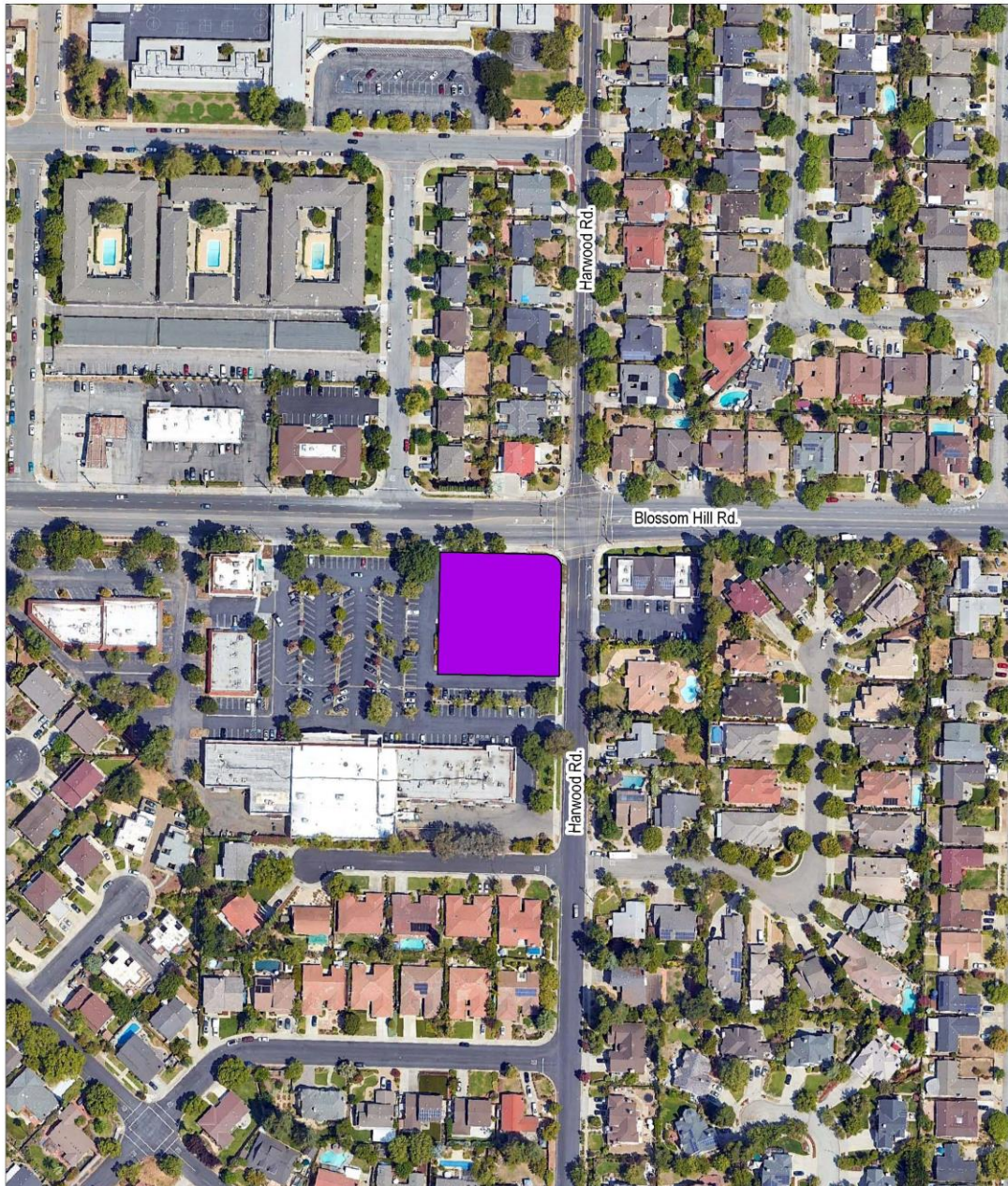
**Constraints:** Existing gas station and commercial building would require demolition.

**Figure D-33 Los Gatos-Almaden Road (Site G-1)**





Figure D-34 Harwood Road Area



Source: Santa Clara County 2022, Google Earth 2022



**Harwood Road Area**  
Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site H-1

#### Valero

**Address:** 14000 Blossom Hill Road

**Number of Housing Units:** 7

**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle

**Property Owner Interest Form Submitted:**

**Description:** The Valero Site (H-1) is located in the Harwood Road Area at the southwest corner of Blossom Hill Road and Harwood Road. The site contains a gas station. Low-density residential are located north, south, and east of the site. Commercial uses are located immediately west of the site. The site is designated as Neighborhood Commercial and zoned C-1, which would accommodate seven housing units developed at a minimum density of 10 du/ac.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Existing gas station and commercial building would require demolition.

**Figure D-35 Valero (Site H-1)**

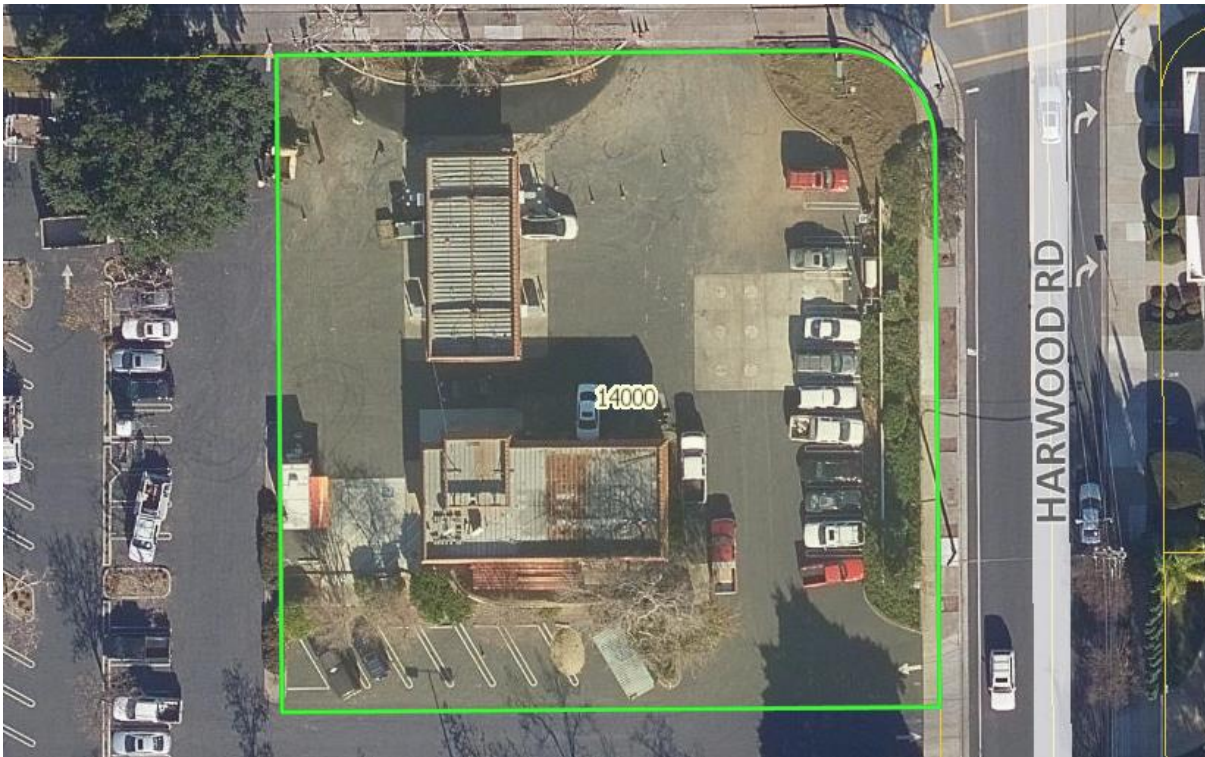
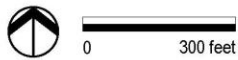




Figure D-36 Alberto Way Area



Alberto Way Area  
Parcel Locations

Source: Santa Clara County GIS2022, Google Earth 2022



## Alberto Way Area

Tier 1 - Los Gatos Housing Element Update - Site Selection



## Appendix D. Sites Inventory Analysis

### Site I-1

#### Alberto Way

**Address:** 401-409 Alberto Way

**Number of Housing Units:** 60

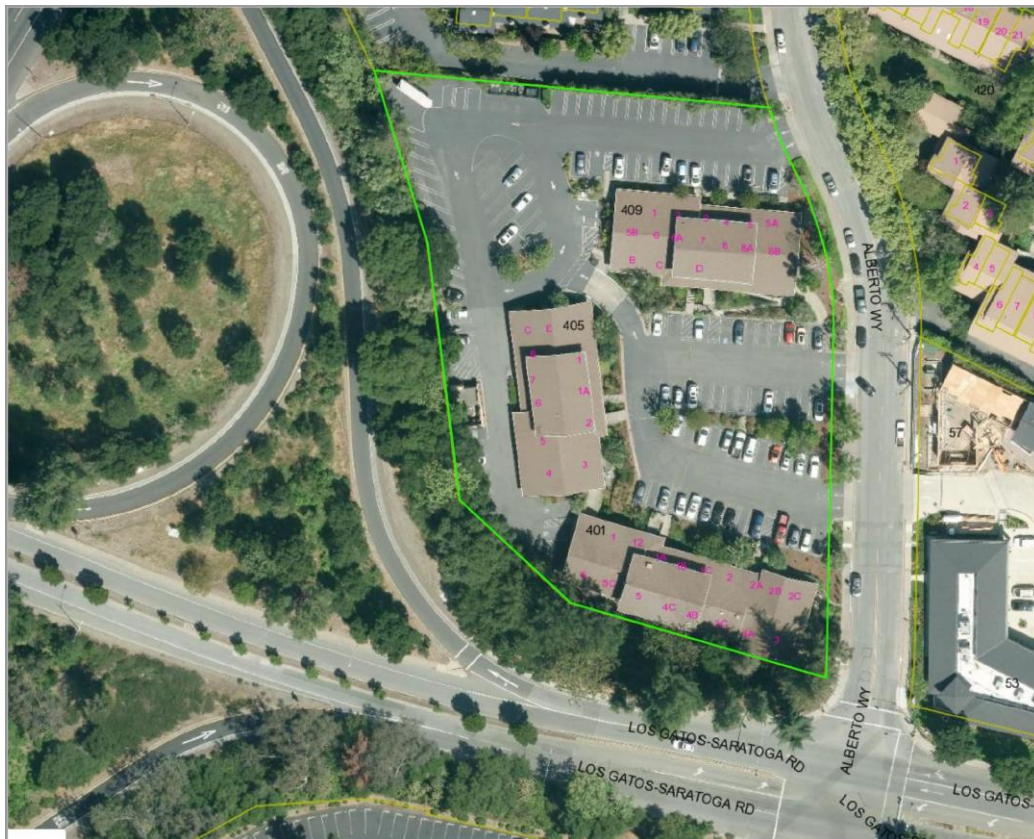
**“By Right” + 20% Affordable:** Not Required – Not used in previous cycle.

**Description:** The Alberto Way Site (I-1) is located in the Alberto Way Area, located at the intersection of Alberto Way and Los Gatos-Saratoga Road. The site is currently vacant. Multi-family residential are located north and east of the site. Commercial uses are located immediately south and east of the site with Highway 17 to the west. The site is designated as Mixed Use Commercial and zoned CH, which would accommodate 60 housing units developed at a density of 27 du/ac based on a development application submitted by the property owner to the Town on December 6, 2022.

**Property Owner Interest Form Submitted:** Yes

**Constraints:** Proximity to adjacent Highway 17 onramp.

**Figure D-37** Alberto Way (Site I-1)





### Accessory Dwelling Unit (ADUs and Junior ADUs) Projections

**Address:** Various Locations

**Number of Housing Units:** 200

**“By Right” + 20% Affordable:** Not required, instead a formula exists for projecting the next eight-year cycle, along with assumptions of 30 percent very-low income units, 30 percent low income units, 30 percent moderate income units, and 10 percent above moderate categories.

**Description:** Accessory dwelling units according to ADU Ordinance.

**Constraints:** To have HCD consider 200 units as a reasonable expectation for construction in this eight-year cycle, the Town is reliant upon the averaging of previous ADU permit submittals.

### Senate Bill 9 (SB 9) Projections

**Address:** Various Locations

**Minimum Number of Housing Units:** 96

**“By Right” + 20% Affordable:** Not required – Instead, formula exists for projecting the next eight-year cycle.

**Description:** New housing units generated from the SB 9 Ordinance.

**Constraints:** To have HCD consider SB 9 units as a reasonable expectation for construction in this eight-year cycle, the Town is reliant upon the averaging of previous SB 9 permit submittals.

### Pipeline Projects

**Address:** Addresses listed below:

105 Newell Avenue – net four units  
20101 Foster Road – net one unit  
North Forty Phase I – net 14 units  
465 North Santa Cruz Avenue – net one unit  
16195 George Street – net three units  
144 Wood Road – net one unit  
16100 Greenridge Terrace – net seven units  
15215 Shannon Road – net four units  
17200 Los Robles – net two units  
400 Surmont Drive – net two units  
14915 Shannon Road – net 10 units  
16220 Hardwood – net two units  
14926 Los Gatos Boulevard – net five units  
15415 National Avenue – net one unit  
45 Reservoir Road – net one unit  
200 Happy Acres – net one unit  
15343 Santella Court – net one units  
15415 Santella Court – net one unit  
15365 Santella Court – net one unit  
15860 Winchester Boulevard – net 113 units  
120 Oak Meadow Drive – net one unit

**Number of Housing Units:** 176

**“By Right” + 20% Affordable:** Not required

**Description:** New housing units generated from projects with Planning entitlements and Planning applications currently under Town review.

**Constraints:** None



## Appendix D. Sites Inventory Analysis

### *Inventory of Vacant and Available Sites*

This section provides the formal inventory of sites that the Town of Los Gatos will rely on in the 6<sup>th</sup> Housing Element planning cycle. Per State law and Housing Policy, the Town is required to maintain “no net loss” of the housing capacity represented by this list of parcels and the sites they comprise. To facilitate this, the inventory presented in Appendix H has been designed with excess capacity. This allows some degree of flexibility in decision making for individual development projects as they come forward for approval.

In short, with some limited flexibility, the Town is committed to permitting housing on each of the parcels listed in the table below, and in so doing ensuring that the number of units listed for each parcel in the table “planned capacity” is achieved. Should the Town approve development that is inconsistent with the parcel’s planned capacity, it is then required as part of that approval to:

1. Find, based on quantitative evidence, that the remaining inventory of housing sites is still sufficient to meet the Town’s 6<sup>th</sup> cycle RHNA; or
2. Identify one or more available sites with the realistic development capacity to replace the housing that would have otherwise been developed had consistency with planned capacity been achieved.

Appendix H provides details and capacity estimates for each of the parcels that comprise the Site Inventory as identified in the section above.

## D. 4 Summary and Conclusions

The sites identified in this report are sufficient to accommodate Los Gatos’ Regional Housing Needs Allocation for the 6<sup>th</sup> cycle planning period. This number accommodates a buffer of approximately 16 percent above RHNA, which would equal capacity of approximately 319 additional units. These sites, in addition to Accessory Dwelling Units Projections, Senate Bill 9 Projections, and Pipeline Projects have a total capacity of 2,312 units. This “cushion” for capacity above the base RHNA number is highly recommended because of the State’s no-net-loss policy, which precludes jurisdictions from approving development that results in an overall housing site deficit. The “cushion” essentially provides a degree of flexibility for policy makers as they make development decisions. Many of the sites identified in this report have existing uses that would need to be demolished before new housing could be constructed.

For communities like Los Gatos that are largely built out and surrounded by other communities and undevelopable hillsides, redevelopment and densification is the only practical solution to providing a fair share of future housing for the San Francisco Bay Area. By its nature, such redevelopment is more costly and more time consuming than building new units on vacant land. To offset these constraints, higher densities are proposed in some areas. These higher densities act as a market incentive to offset the added cost and time required build new housing on redeveloped sites. Property owner interest will be pivotal for facilitating single-family site opportunities to add housing through construction of ADUs and use of SB 9 processes, which allow for up to four units on a property zoned for a single house.



Sites Inventory Form





**Please Start Here, Instructions in Cell A2, Table in A3:B17**

**Form Fields**

Site Inventory Forms must be submitted to HCD for a housing element or amendment adopted on or after January 1, 2021. The following form is to be used for satisfying this requirement. To submit the form, complete the Excel spreadsheet and submit to HCD at sitesinventory@hcd.ca.gov. Please send the Excel workbook, not a scanned or PDF copy of the tables.

<b>General Information</b>	
Jurisdiction Name	LOS GATOS
Housing Element Cycle	6th
<b>Contact Information</b>	
First Name	Joel
Last Name	Paulson
Title	Community Development Director
Email	<a href="mailto:jpaulson@losgatosca.gov">jpaulson@losgatosca.gov</a>
Phone	4083546879
<b>Mailing Address</b>	
Street Address	<u>110 East Main Street</u>
City	Los Gatos
Zip Code	94538
<b>Website</b>	
	<a href="https://www.losgatosca.gov/897/Planning">https://www.losgatosca.gov/897/Planning</a>



Table A: Housing Element Sites Inventory, Table Starts in Cell A2 For Santa Clara County Jurisdictions, please format the APNs as follows: 999-99-999

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Maximum Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
LOS GATOS	50 Park Avenue	95030	529-01-040	A	Medium Density Residential	R-1D	5	12	0.18	Residential	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	1	1	Site A-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	61 Montebello Way	95030	529-01-041	A	Medium Density Residential	R-1D	5	12	0.69	Residential	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	4	4	Site A-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	101 South Santa Cruz Avenue	95030	529-01-022		Central Business District	C-2	20	30	0.8	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	16	16	Site A-2	Property Owner Interest Form Submitted	
LOS GATOS	165 Los Gatos Saratoga Road	95030	529-04-083		Central Business District	C-2	20	30	0.37	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	7	7	Site A-3	Property Owner Interest Form Submitted	
LOS GATOS	50 Los Gatos Saratoga Road	95030	529-24-032	B	Mixed Use Commercial	CH-PD	30	40	7.04	Hotel/motel	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	151	51	9	211	Site B-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	Los Gatos Saratoga Road	95030	529-24-001	B	Mixed Use Commercial	CH-PD	30	40	1.49	Hotel/motel	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	18	9	18	45	Site B-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	Los Gatos Saratoga Road	95030	529-24-003	B	Mixed Use Commercial	CH-PD	30	40	0.28	Hotel/motel	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	3	2	3	8	Site B-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	15300 Los Gatos Boulevard	95032	424-17-036		Mixed Use Commercial	C-1	30	40	1.6	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	33	9	6	48	Site C-1	Property Owner Interest Form Submitted	
LOS GATOS	15349 Los Gatos Boulevard	95032	424-19-049	C	Mixed Use Commercial	CH	30	40	0.34	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	7	2	1	10	Site C-2 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	Los Gatos Boulevard	95032	424-19-048	C	Mixed Use Commercial	CH	30	40	1.2	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	26	8	2	36	Site C-2 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	Los Gatos Boulevard	95032	424-19-069	C	Mixed Use Commercial	CH	30	40	1.34	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	28	8	4	40	Site C-2 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	15425 Los Gatos Boulevard	95032	424-19-067		Mixed Use Commercial	CH	30	40	1.09	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	23	7	3	33	Site C-3	Property Owner Interest Form Submitted	
LOS GATOS	15975 Los Gatos Boulevard	95032	529-15-059		Mixed Use Commercial	CH	30	40	0.64	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	13	4	2	19	Site C-4	Property Owner Interest Form Submitted	
LOS GATOS	16203 Los Gatos Boulevard	95032	529-16-069		Mixed Use Commercial	CH	30	40	0.79	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	17	5	2	24	Site C-5	Property Owner Interest Form Submitted	
LOS GATOS	16492 Los Gatos Boulevard	95032	532-07-086	D	Low Density Residential	C-1	10	20	0.23	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	2	2	Site C-6 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	Los Gatos Boulevard	95032	532-07-085	D	Low Density Residential	C-1	10	20	0.38	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	4	4	Site C-6 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	15495 Los Gatos Boulevard	95032	424-22-030		Mixed Use Commercial	CH	30	40	3.85	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	81	23	12	116	Site C-7	Property Owner contacted staff with inquiry on residential development	
LOS GATOS	15445 Los Gatos Boulevard	95032	424-19-068		Mixed Use Commercial	CH	30	40	1.53	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	32	9	5	46	Site C-8	Adjacent to sites within the Site Inventory	
LOS GATOS	14859 Los Gatos Boulevard	95032	424-07-094	E	North Forty Specific Plan	North Forty Specific Plan	30	30	2.9	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	57	13	17	87	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	16392 Los Gatos Boulevard	95032	424-07-095	E	North Forty Specific Plan	North Forty Specific Plan	30	30	0.78	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	15	3	5	23	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	16260 Burton Road	95032	424-07-053	E	North Forty Specific Plan	North Forty Specific Plan	30	30	0.44	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	8	2	3	13	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	16250 Burton Road	95032	424-07-009	E	North Forty Specific Plan	North Forty Specific Plan	30	30	0.44	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	8	2	3	13	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	14917 Los Gatos Boulevard	95032	424-07-081	E	North Forty Specific Plan	North Forty Specific Plan	30	30	3.74	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	73	17	22	112	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	14925 Los Gatos Boulevard	95032	424-07-115	E	North Forty Specific Plan	North Forty Specific Plan	30	30	6.07	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	118	27	37	162	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	Los Gatos Boulevard	95032	424-07-116	E	North Forty Specific Plan	North Forty Specific Plan	30	30	1.02	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	20	5	6	31	Site D-1 consolidated parcels	Property Owner has been involved in submitting public comments on the Housing Element Update regarding residential development on the site	
LOS GATOS	16245 Burton Road	95032	424-06-115		North Forty Specific Plan	North Forty Specific Plan	30	30	1.17	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	23	5	7	35	Site D-2 consolidated parcels	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	Burton Road	95032	424-06-116		North Forty Specific Plan	North Forty Specific Plan	30	30	0.11	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	2	0	1	3	Site D-2 consolidated parcels	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	16240 Burton Road	95032	424-07-010		North Forty Specific Plan	North Forty Specific Plan	30	30	0.26	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	5	1	2	8	Site D-3	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	16270 Burton Road	95032	424-07-052		North Forty Specific Plan	North Forty Specific Plan	30	30	0.43	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	8	2	3	13	Site D-4	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	16210 Burton Road	95032	424-07-054		North Forty Specific Plan	North Forty Specific Plan	30	30	0.26	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	5	1	2	8	Site D-5 consolidated parcels	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	14831 Los Gatos Boulevard	95032	424-07-083		North Forty Specific Plan	North Forty Specific Plan	30	30	0.66	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	11	3	3	17	Site D-5 consolidated parcels	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	14849 Los Gatos Boulevard	95032	424-07-084		North Forty Specific Plan	North Forty Specific Plan	30	30	0.93	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	18	4	6	28	Site D-6	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	14923 Los Gatos Boulevard	95032	424-07-085		North Forty Specific Plan	North Forty Specific Plan	30	30	0.37	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	6	1	4	11	Site D-7	No, however, the parcel is located within Phase II of the North 40 Specific Plan Area where recent significant housing development is underway	
LOS GATOS	14800 Oka Road	95032	424-08-057		Low Density Residential	R-1.8	0	5	2.97	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	0	1	11	12	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	Oka Lane	95032	424-08-029		Low Density Residential	R-1.8	0	5	0.31	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	1	1	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	Oka Lane	95032	424-08-059		Low Density Residential	R-1.8	0	5	1.01	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	4	4	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	Oka Lane	95032	424-08-060		Low Density Residential	R-1.8	0	5	1.29	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	5	5	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	14800 Oka Road	95032	424-08-058		Low Density Residential	R-1.8	0	5	1.41	Residential	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	6	6	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	16603 Lark Avenue	95032	424-08-017		Medium Density Residential	R-M5-12	14	22	2.48	Residential	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	3	3	29	35	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	14840 Oka Road	95032	424-08-021		Medium Density Residential	R-M5-12	14	22	4.32	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element - Non-Vacant	6	6	49	61	Site E-1 consolidated parcels	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	Oka Lane	95032	424-08-074		Low Density Residential	R-1.8	0	5	6.41	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	2	1	23	26	Site E-2	No, however the property owner has submitted a public comment to the HEAB regarding future development of the site.	
LOS GATOS	Oka Road (Cal Trans ROW)	95032	000-00-000		Medium Density Residential	R-1.8	14	22	4.9	Vacant	YES - Current	YES - State-Owned	Available	Not Used in Prior Housing Element	7	7	55	69	Site E-3		
LOS GATOS	110 Knowles Drive	95032	424-32-077		High Density Residential	CM-AHOZ	30	40	7.34	Commercial	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element - Non-Vacant	106	79	35	220	Site F-1	No, however the site is located within the Affordable Housing Overlay Zone.	
LOS GATOS	206 Knowles Drive	95032	424-32-076		High Density Residential	CM	30	40	2.41	Commercial	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing Element	35	26	11	72	Site F-2	No, however, the site is located immediately adjacent to 110 Knowles Drive (Site F-1), which has an Affordable Housing Overlay Zone.	
LOS GATOS	440 Los Gatos Alameda Road	95032	527-49-048		Neighborhood Commercial	C-1	10	20	0.92	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	5	5	Site G-1 consolidated parcels	Property Owner Interest Form Submitted	
LOS GATOS	445 Leigh Avenue	95032	527-49-049		Neighborhood Commercial	C-1	10	20	0.29	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Housing Element	0	0	3	3	Site G-1 consolidated parcels	Property Owner Interest Form Submitted	



Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need, Table Starts in Cell A2

For Santa Clara County jurisdictions, please format the APNs as follows: 999-99-999

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate-Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Infrastructure	Optional Information1	Optional Information2	Optional Information3
LOS GATOS	50 Park Avenue	95030	529-01-040	0	0	0	0	1 Shortfall of Sites	0.18	Medium Density Resi	R-1D	Medium Density Resi	R-1D	5	12	1 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	61 Montebello Way	95030	529-01-041	0	0	0	0	4 Shortfall of Sites	0.69	Medium Density Resi	R-1D	Medium Density Resi	R-1D	5	12	4 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	101 S. Santa Cruz Avenue	95030	529-01-022	0	0	0	0	16 Shortfall of Sites	0.8	Central Business Dist	C-2	Central Business Dist	C-2	20	30	16 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	165 Los Gatos-Saratoga Road	95030	529-04-083	0	0	0	0	7 Shortfall of Sites	0.37	Central Business Dist	C-2	Central Business Dist	C-2	20	30	17 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	50 Los Gatos-Saratoga Road	95030	529-24-032	76	75	51	9	9 Shortfall of Sites	7.04	Mixed Use Commerc	CH:PD	Mixed Use Commerc	CH:PD	30	40	211 Non-Vacant	Hotel/motel	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Los Gatos-Saratoga Road	95030	529-24-001	9	9	9	18	18 Shortfall of Sites	1.49	Mixed Use Commerc	CH:PD	Mixed Use Commerc	CH:PD	30	40	45 Non-Vacant	Hotel/motel	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Los Gatos-Saratoga Road	95030	529-24-003	1	2	2	3	3 Shortfall of Sites	0.28	Mixed Use Commerc	CH:PD	Mixed Use Commerc	CH:PD	30	40	8 Non-Vacant	Hotel/motel	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15300 Los Gatos Boulevard	95032	424-17-036	24	9	9	6	6 Shortfall of Sites	1.6	Mixed Use Commerc	C-1	Mixed Use Commerc	C-1	30	40	48 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15349 Los Gatos Boulevard	95032	424-19-049	5	2	2	1	1 Shortfall of Sites	0.34	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	10 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15367 Los Gatos Boulevard	95032	424-19-048	18	8	8	2	2 Shortfall of Sites	1.2	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	36 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15405 Los Gatos Boulevard	95032	424-19-069	20	8	8	4	4 Shortfall of Sites	1.34	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	40 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15425 Los Gatos Boulevard	95032	424-19-067	16	7	7	3	3 Shortfall of Sites	1.09	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	33 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15795 Los Gatos Boulevard	95032	529-15-059	9	4	4	2	2 Shortfall of Sites	0.64	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	19 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16203 Los Gatos Boulevard	95032	529-16-069	12	5	5	2	2 Shortfall of Sites	0.79	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	24 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16492 Los Gatos Boulevard	95032	532-07-086	0	0	0	2	2 Shortfall of Sites	0.23	Low Density Resident	C-1	Low Density Resident	C-1	10	20	2 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Los Gatos Boulevard	95032	532-07-085	0	0	0	4	4 Shortfall of Sites	0.38	Neighborhood Comm	C-1	Neighborhood Comm	C-1	10	20	4 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15495 Los Gatos Boulevard	95032	424-22-030	58	23	23	12	12 Shortfall of Sites	3.85	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	116 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	15445 Los Gatos Boulevard	95032	424-19-068	23	9	9	5	5 Shortfall of Sites	1.53	Mixed Use Commerc	CH	Mixed Use Commerc	CH	30	40	46 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14859 Los Gatos Boulevard	95032	424-07-094	44	13	13	17	17 Shortfall of Sites	2.9	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	87 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16392 Los Gatos Boulevard	95032	424-07-095	12	3	3	5	5 Shortfall of Sites	0.78	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	23 Non-Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16260 Burton Road	95032	424-07-053	6	2	2	3	3 Shortfall of Sites	0.44	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	13 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16250 Burton Road	95032	424-07-009	6	2	2	3	3 Shortfall of Sites	0.44	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	13 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14917 Los Gatos Boulevard	95032	424-07-081	56	17	17	22	22 Shortfall of Sites	3.74	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	112 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14925 Los Gatos Boulevard	95032	424-07-115	91	27	27	37	37 Shortfall of Sites	6.07	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	182 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Los Gatos Boulevard	95032	424-07-116	15	5	5	6	6 Shortfall of Sites	1.02	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	31 Non-Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16245 Burton Road	95032	424-06-115	18	5	5	7	7 Shortfall of Sites	1.17	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	35 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Burton Road	95032	424-06-116	2	0	0	1	1 Shortfall of Sites	0.11	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	3 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16240 Burton Road	95032	424-07-010	4	1	1	2	2 Shortfall of Sites	0.26	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	8 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16270 Burton Road	95032	424-07-052	6	2	2	3	3 Shortfall of Sites	0.43	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	13 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16210 Burton Road	95032	424-07-054	4	1	1	2	2 Shortfall of Sites	0.26	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	8 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14831 Los Gatos Boulevard	95032	424-07-063	8	3	3	3	3 Shortfall of Sites	0.56	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	17 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14849 Los Gatos Boulevard	95032	424-07-064	14	4	4	6	6 Shortfall of Sites	0.93	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	28 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14823 Los Gatos Boulevard	95032	424-07-065	5	1	1	4	4 Shortfall of Sites	0.37	North Forty Specific	North Forty Specific	North Forty Specific	North Forty Specific	30	30	11 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14800 Oka Road	95032	424-08-057	0	0	1	11	11 Shortfall of Sites	2.97	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	12 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Oka Lane	95032	424-08-029	0	0	0	1	1 Shortfall of Sites	0.31	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	1 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Oka Lane	95032	424-08-059	0	0	0	4	4 Shortfall of Sites	1.01	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	4 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Oka Lane	95032	424-08-060	0	0	0	5	5 Shortfall of Sites	1.29	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	5 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14800 Oka Road	95032	424-08-058	0	0	0	6	6 Shortfall of Sites	1.41	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	6 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	16603 Lark Avenue	95032	424-08-017	0	3	3	29	29 Shortfall of Sites	2.48	Medium Density Resi	R-M:5-12	Medium Density Resi	R-M:5-12	14	22	35 Non-Vacant	Residential	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	14840 Oka Road	95032	424-08-021	0	6	6	49	49 Shortfall of Sites	4.32	Medium Density Resi	R-M:5-12	Medium Density Resi	R-M:5-12	14	22	61 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Oka Lane	95032	424-08-074	0	2	1	23	23 Shortfall of Sites	6.41	Low Density Resident	R-1.8	Low Density Resident	R-1.8	0	5	26 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	Oka Road (Cal Trans ROW)	95032	000-00-000	0	7	7	55	55 Shortfall of Sites	4.9	Medium Density Resi	R-1.8	Medium Density Resi	R-1.8	14	22	69 Vacant	Vacant	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	110 Knowles Drive	95032	424-32-077	66	40	79	35	35 Shortfall of Sites	7.34	High Density Resident	CM:AHOZ	High Density Resident	CM:AHOZ	30	40	220 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	206 Knowles Drive	95032	424-32-076	22	13	26	11	11 Shortfall of Sites	2.41	High Density Resident	CM	High Density Resident	CM	30	40	72 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	440 Los Gatos Almaden Road	95032	527-49-048	0	0	0	5	5 Shortfall of Sites	0.52	Neighborhood Comm	C-1	Neighborhood Comm	C-1	10	20	5 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			
LOS GATOS	445 Leigh Avenue	95032	527-49-049	0	0	0	3	3 Shortfall of Sites	0.29	Neighborhood Comm	C-1	Neighborhood Comm	C-1	10	20	3 Non-Vacant	Commercial	YES - Current	Housing Element Overlay Zone (HEOZ) implementation program			



**Table C: Land Use, Table Starts in A2**

Zoning Designation From Table A, Column G and Table B, Columns L and N (e.g., "R-1")	General Land Uses Allowed (e.g., "Low-density residential")
R-1D	Single-family dwelling, provided that there is not more than one principal residential structure on a lot, two-family dwelling, provided that there is not more than one principal residential structure on a lot, family daycare home, and residential care facility, small family home.
C-1	Retailing, including formula retail up to six thousand (6,000) square feet, Personal service businesses and service businesses necessary for the conduct of households, Office activities, Limited manufacturing activities when a majority of sales are made, on site, to the ultimate consumer, Activities permitted in the LM zone which were approved on or before February 1, 1993, provided any change of use must be a conforming use in the C-1 zone, and Group classes, and single-family, two-family, and multi-family in a mixed-use project through a CUP.
C-2	Retailing, including formula retail up to six thousand square feet, Office activities subject to subsection (c), Limited manufacturing activities when a majority of sales are made, on site, to the ultimate consumer, Wholesaling without warehousing on the premises, Single-family and two-family uses, in conjunction with the other uses permitted in this section and multi-family in a mixed-use project through a CUP
CH	Retailing, including formula retail up to six thousand square feet, Personal service businesses and service businesses necessary for the conduct of households, Office activities, Limited manufacturing activities when a majority of sales are made on site to the ultimate consumer, Group classes, and single-family, two-family, and multi-family in a mixed-use project through a CUP
CH:PD	Hotel up to 300 rooms, a conference facility containing approximately 10,000 square feet, and an underground parking facility
North Forty Specific Plan	Retail, Restaurant, Personal Service, Office, Hotel, Townhomes, Rowhouses, Multi-Family, Condominiums, Live/Work Lofts, Park, Public Transpiration and Parking Facilities, Small Family Daycare, Alternating Use/Shared Parking, and Botanical Nursery
R-1:8	Single-family dwelling, provided that there is not more than one principal residential structure on a lot, raising of trees, vegetables and horticultural specialties, but not including commercial greenhouses, retail nurseries, or storage of landscaping equipment, products or supplies for commercial uses, family daycare home, and residential care facility, small family home.
R-M:5-12	Single-family dwelling, two-family dwelling, family daycare home, residential care facility, small family home, multi-family dwelling, and a transitional Housing facility as defined by Health and Safety Code section 50675.2
CM	Activities involving controlled manufacturing, research and development, wholesaling, warehousing, and other light industrial uses, Sales to the ultimate consumer of articles manufactured on the premises to the customer's order, Professional and administrative offices, Emergency shelters as defined by Health and Safety Code section 50801
CM:AHOZ	Multifamily dwellings, Two-family dwellings, and Single-family dwellings.
HEOZ	Housing Element Overlay Zone Implementation Program BF to apply to the sites included in the Site Inventory to modify the development standards (i.e., density, lot coverage, FAR, height) on those sites



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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 01/11/2023

ITEM NO: 5

ADDENDUM

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DATE: January 10, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider and Make a Recommendation to the Town Council on the Draft 2023-2031 Housing Element. Location: Town-Wide. General Plan Amendment Application GP-22-003.

**REMARKS:**

Exhibit 6 includes Planning Commissioner comments.

**EXHIBITS:**

Previously received (available online here: <https://engagelosgatoshousing.com>):

1. Draft 2023-2031 Housing Element
2. Environmental Analysis

Previously received with the January 11, 20223 Staff Report:

3. Housing Element Update Process Timeline
4. Revised Appendix D, Sites Inventory Analysis
5. Revised Appendix H, Sites Inventory Form

Received with this Addendum:

6. Planning Commissioner Comments

**PREPARED BY:** Erin Walters and Jocelyn Shoopman  
Associate Planners

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Reviewed by: Planning Manager, Community Development Director, and Town Attorney

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**From:** Jeffrey Barnett <[REDACTED]>  
**Sent:** Saturday, January 7, 2023 3:01:21 PM  
**To:** Jocelyn Shoopman <[jshoopman@losgatosca.gov](mailto:jshoopman@losgatosca.gov)>; Jennifer Armer <[JArmer@losgatosca.gov](mailto:JArmer@losgatosca.gov)>  
**Subject:** Proposed Revisions to the 2023-2031 Housing Element - Policy HE-6.1, Page 10-38

EXTERNAL SENDER

Dear Jocelyn and Jennifer.

Would you kindly include the attachment as a Desk Item for Agenda Item 5 on Wednesday?

Thanks in advance.

Jeffrey



Current Language:

Support and publicize housing programs that protect individuals' rights and enforce fair housing laws prohibiting arbitrary discrimination in the building, financing, selling or renting of housing on the basis of race, color, ancestry, religion, national origin, sex, sexual orientation, age, disability/medical condition, familial status, marital status, source of income or other such factors.

Proposed revisions:

1. After "sexual orientation" add "gender identification or expression". It may be covered under the term "sex", but that is not clear. In CC 51(e)(5), sex is expressly defined to include gender identification and expression, but this policy does not completely track Section 51.
2. Add "genetic information".
3. Add "primary language".
4. Add "citizenship".
5. Change "disability/medical condition" to "disability, medical condition".
6. Add "immigration status".
7. Consider adding "military or veteran status".
8. Change "other factors" to "other arbitrary factors". *Marina Point, Ltd. V. Wolfson* (1982) 30 Cal3rd 721, 736.

These recommendations are based on the following:

**A. California Civil Code Section 51:**

(a) This section shall be known, and may be cited, as the Unruh Civil Rights Act.

(b) All persons within the jurisdiction of this state are free and equal, and no matter what their sex, race, color, religion, ancestry, national origin, disability, medical condition, genetic information, marital status, sexual orientation, citizenship, primary language, or immigration status are entitled to the full and



equal accommodations, advantages, facilities, privileges, or services in all business establishments of every kind whatsoever.

(c) This section shall not be construed to confer any right or privilege on a person that is conditioned or limited by law or that is applicable alike to persons of every sex, color, race, religion, ancestry, national origin, disability, medical condition, marital status, sexual orientation, citizenship, primary language, or immigration status, or to persons regardless of their genetic information.

(d) Nothing in this section shall be construed to require any construction, alteration, repair, structural or otherwise, or modification of any sort whatsoever, beyond that construction, alteration, repair, or modification that is otherwise required by other provisions of law, to any new or existing establishment, facility, building, improvement, or any other structure, nor shall anything in this section be construed to augment, restrict, or alter in any way the authority of the State Architect to require construction, alteration, repair, or modifications that the State Architect otherwise possesses pursuant to other laws.

(e) For purposes of this section:

(1) “Disability” means any mental or physical disability as defined in Sections 12926 and 12926.1 of the Government Code.

(2) (A) “Genetic information” means, with respect to any individual, information about any of the following:

(i) The individual’s genetic tests.

(ii) The genetic tests of family members of the individual.

(iii) The manifestation of a disease or disorder in family members of the individual.

(B) “Genetic information” includes any request for, or receipt of, genetic services, or participation in clinical research that includes genetic services, by an individual or any family member of the individual.

(C) “Genetic information” does not include information about the sex or age of any individual.

(3) “Medical condition” has the same meaning as defined in subdivision (i) of Section 12926 of the Government Code.



(4) “Religion” includes all aspects of religious belief, observance, and practice.

(5) “Sex” includes, but is not limited to, pregnancy, childbirth, or medical conditions related to pregnancy or childbirth. “Sex” also includes, but is not limited to, a person’s gender. “Gender” means sex and includes a person’s gender identity and gender expression. “Gender expression” means a person’s gender-related appearance and behavior whether or not stereotypically associated with the person’s assigned sex at birth.

(6) “Sex, race, color, religion, ancestry, national origin, disability, medical condition, genetic information, marital status, sexual orientation, citizenship, primary language, or immigration status” includes a perception that the person has any particular characteristic or characteristics within the listed categories or that the person is associated with a person who has, or is perceived to have, any particular characteristic or characteristics within the listed categories.

(7) “Sexual orientation” has the same meaning as defined in subdivision (s) of Section 12926 of the Government Code.

(f) A violation of the right of any individual under the federal Americans with Disabilities Act of 1990 (Public Law 101-336) shall also constitute a violation of this section.

(g) Verification of immigration status and any discrimination based upon verified immigration status, where required by federal law, shall not constitute a violation of this section.

**B. Government Code Section 1139.8(a)(2):** “California’s robust nondiscrimination laws include protections on the basis of sexual orientation, gender identity and gender expression, among other characteristics”.

**C. Government Code 12920:**

“Further, the practice of discrimination because of race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, or genetic information in housing accommodations is declared to be against public policy.

**D. AFFH Report, Appendix A at Page 65**

**A.6 Fair Housing Enforcement and Outreach Capacity**



“This section discusses fair housing legal cases and inquiries, fair housing protections and enforcement, and outreach capacity. Fair housing legal cases and inquiries. California fair housing law extends beyond the protections in the Federal Fair Housing Act (FHA). [In addition to FHA protected classes—race, color, ancestry/national origin, religion, disability, sex, and familial status—California law offers protections for age, sexual orientation, gender identity or expression, genetic information, marital status, military or veteran status, and source of income \(including Federal housing assistance vouchers\).](#)

**E. <https://calcivilrights.ca.gov/housing/#whoBody>:**

California law protects individuals from illegal discrimination by housing providers based on the following:

Race, color

Ancestry, national origin

[Citizenship, immigration status](#)

[Primary language\\*](#)

Age

Religion

Disability, mental or physical

Sex, gender

Sexual orientation

[Gender identity, gender expression](#)

[Genetic information](#)

Marital status

Familial status

Source of income

Military or veteran status

F. Protection against discrimination on the basis of gender identification or expression is also present in laws found in the Education Code, Insurance Code, Welfare and Institutions Code and the Health and Safety Code.



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