



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
MARCH 22, 2023  
110 EAST MAIN STREET  
LOS GATOS, CA**

*Jeffery Barnett, Chair  
Steven Raspe, Vice Chair  
Susan Burnett, Commissioner  
Kylie Clark, Commissioner  
Kathryn Janoff, Commissioner  
Melanie Hanssen, Commissioner  
Emily Thomas, Commissioner*

**PARTICIPATION IN THE PUBLIC PROCESS**

**How to participate:** The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

**Effective Proceedings:** The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

**Deadlines for Public Comment and Presentations are as follows:**

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
  - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
  - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
  - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m.  
Live and Archived Planning Commission meetings can be viewed by going to:  
[www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube)***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,  
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN  
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

**TOWN OF LOS GATOS  
PLANNING COMMISSION MEETING AGENDA  
MARCH 22, 2023  
110 EAST MAIN STREET AND TELECONFERENCE  
TOWN COUNCIL CHAMBERS  
LOS GATOS, CA  
7:00 PM**

**IMPORTANT NOTICE**

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions listed below. The live stream of the meeting may be viewed on television and/or online at [www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube).

**PARTICIPATION**

To provide oral comments in real-time during the meeting:

- **Zoom webinar:** Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join:  
<https://losgatosca-gov.zoom.us/j/87680304683?pwd=MUUhSnhBQ0M5WDZSSUgzT3hRWUIQdz09>  
Passcode: 020539. You can also type in 876 8030 4683 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join>.
  - When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand.
- **Join by telephone:** Join by Telephone: Dial: USA 877 336 1839 US Toll-free or 636 651 0008 US Toll. Conference code: 686100.
  - If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- **In-Person:** If you wish to speak during the meeting, please complete a “speaker’s card” located on the back of the chamber benches and return it to the Planning Manager. If you wish to speak to an item on the agenda, please list the item number. If you wish to speak on an item NOT on the agenda, please list the subject and you may speak during the “Verbal Communications” period. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

When called to speak, you may be asked to provide your full name and your town/city of residence. This identifying information is optional and not a requirement for participation. Please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Commission meeting. If you wish to speak to an item or items on the Consent Calendar, please state which item number(s) you are commenting on at the beginning of your time.

If you are unable to participate in real-time, you may email to [Planning@losgatosca.gov](mailto:Planning@losgatosca.gov) the subject line “Public Comment Item #\_\_” (insert the item number relevant to your comment) or “Verbal Communications – Non-Agenda Item.” Comments received by 11:00 a.m. the day of the meeting will be reviewed and distributed before the meeting. All comments received will become part of the record.



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
MARCH 22, 2023  
7:00 PM**

**MEETING CALL TO ORDER**

**ROLL CALL**

**RULES OF DECORUM AND CIVILITY**

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to:

- Addressing the Planning Commission without first being recognized;
- Interrupting speakers, Planning Commissioners, or Town staff;
- Continuing to speak after the allotted time has expired;
- Failing to relinquish the microphone when directed to do so;
- Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

**PLEDGE OF ALLEGIANCE**

**VERBAL COMMUNICATIONS** *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

**CONSENT ITEMS** *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the March 8, 2023 Planning Commission Meeting

**OTHER BUSINESS** *(Up to three minutes may be allotted to each speaker on any of the following items.)*

2. Provide Input for the Draft Justice, Equity, Diversity, and Inclusion Plan.

**PUBLIC HEARINGS** (*Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.*)

3. Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback on Property Zoned R-M:5-12. **Located at 16185 George Street.** APN 529-18-046. Fence Height Exception Application FHE-22-008. PROPERTY OWNER/APPELLANT: Antony Jayaraj Alappat. APPLICANT: Sandra Paim. PROJECT PLANNER: Ryan Safty.
4. Requesting Approval for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed the Maximum Allowed Floor Area, and a Variance for the Required Front Setback and the Parking Requirements on Property Zoned R-1D:LHP. **Located at 114 Wilder Avenue.** APN 510-17-072. Architecture and Site Application S-22-030 and Variance Application V-22-002. Property Owner: Alvaro Anzoategui. Applicant: David Kuoppamaki. PROJECT PLANNER: Jocelyn Shoopman.

## **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

### **SUBCOMMITTEE REPORTS / COMMISSION MATTERS**

**ADJOURNMENT** (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

*Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.*

*Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 03/22/2023

ITEM NO: 1

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**DRAFT  
MINUTES OF THE PLANNING COMMISSION MEETING  
MARCH 8, 2023**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, March 8, 2023, at 7:00 p.m.

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Jeffrey Barnett, Vice Chair Steve Raspe, Commissioner Susan Burnett, Commissioner Kylie Clark, Commissioner Kathryn Janoff, and Commissioner Emily Thomas  
Absent: Commissioner Melanie Hanssen

**PLEDGE OF ALLEGIANCE**

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. **Approval of Minutes** – January 11, 2023
2. **Approval of Minutes** – January 25, 2023
3. **202 University Avenue**  
Variance Application V-22-003  
APN 529-04-001  
Applicant: Jay Plett, Architect  
Property Owner: Tyler and Kristine Shewey  
Project Planner: Sean Mullin

Requesting approval for construction of an accessory structure requiring variances to accessory structure lot coverage standards and side and rear setback requirements in the University-Edelen Historic District on property zoned R-1D:LHP. Requesting item be continued to a date certain of April 12, 2023.

**MOTION:**                      **Motion by Vice Chair Raspe** to approve adoption of the Consent Calendar. **Seconded by Commissioner Burnett.**

**VOTE:** Motion passed unanimously.

**PUBLIC HEARINGS**

**4. 144 Wood Road**

Building Permit Application B22-0025

APN 510-47-045

Property Owners/Appellants: Omari and Kavita Bouknight

Project Planner: Sean Mullin

Appeal of a Santa Clara County Fire Department decision denying a request for an exception to the State Minimum Fire Safe Regulations on property zoned HR-5.  
Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction.

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Omari Bouknight, Property Owner/Appellant

- We submitted our application in January 2021 and received a letter of approval on June 23, 2021 based on a detailed review by Fire, including site access. We submitted a request in October 2021 to receive our grading permits, but we have still not been able to start our approved project. This hearing is about an obscure and broken process that has resulted in unreasonably long timelines and has cost us tens of thousands of dollars. PRC 4290 was supposedly expanded in July 1, 2021 in a way that would apply to the majority of Los Gatos. These actions were not in accordance with Town process, including a rigorous technical review, which helps determine final conditions of approval, and we now face an alteration of those conditions. We had no hint that PRC 4290 was coming into play until more than seven months after July 1, 2021 and have been asked to go through a supplemental review procedure not codified in the development guidelines after approval at significant cost to us. Most other counties, if not all, are waiting for clarity around regulation amendments or they have introduced common sense interpretations. The required significant re-engineering of Wood Road would constitute a taking under three different legal doctrines. The project meets the intent of providing defensible space consistent with PRC 4290 regulations.

Kyran Prosod

- I support the Bouknight family's appeal. My wife and I have taken a particular interest in this project, and what the Bouknights have been through is completely excessive and unnecessary, and altering the final conditions of approval after Planning Commission approval is highly inappropriate. Their proposal significantly improves the fire safety in the area as compared to leaving the lot vacant. I urge the Planning Commission to approve their appeal this evening.

Margaret Belska

- I am a landowner in unincorporated Santa Clara County who is also impacted by PRC 4290. As part of my conditions of approval I was required to make significant and costly improvements to the existing subdivision road leading to my parcel, which were so unaffordable it rendered my parcel unbuildable. The Santa Clara County Fire Department denied my request for exception, but when I appealed my case to the Santa Clara County Planning Commission, they agreed that what was asked of me was a violation of my constitutional rights and could qualify as a taking, and my appeal was granted. Los Gatos appears to be the only holdout in the state still requiring infeasible and unconstitutional improvements as conditions of single-family home construction. I hope the Planning Commission approves the Bouknight's appeal.

Eugenia Givens

- I am a Los Gatos resident and homeowner. I support the Bouknight's appeal, as I believe the project meets the spirit of the fire safe regulations and would improve fire safety in the area. Getting single-family homes through the approval process in Los Gatos is known to be long and challenging, and that needs to change. Asking homeowners to re-engineer a public road that they are not responsible for is not appropriate. I hope the Planning Commission approves this appeal tonight.

Eric Wade

- I support this application. This meeting is about whether or not this Planning Commission believes Santa Clara County Fire is lawful in its interpretation of PRC 4290 and whether retroactively imposing it on previously approved projects is appropriate. The question is does denial of this application constitute a regulatory taking? The Commission has ruled that it does on all previous applications facing the same restriction. Denial of this application would impose a regulatory taking on the applicant, who will respond with a lawsuit against the Town and will win in the end.

Ed Chow

- I second Mr. Wade's comments regarding the regulatory taking. There are approximately 55 residences within a seven-mile radius of downtown Los Gatos that are affected by PRC 4290. The fiscal liability of losing a regulatory taking lawsuit would be significant, and unnecessary if the Planning Commission would approve the applicant's project. Edith Hannigan, Executive Officer of the Board of Forestry, who finalized the revision of PRC 4290, told me personally that local jurisdictions absolutely have the authority to grant exceptions to PRC 4290 when they deem it to be out of line with the local master plan, and this is the perfect opportunity to do that.

Vip

- The Bouknight's experience with Town of Los Gatos has been prolonged and I urge the Commission to help the project move along. The City of Saratoga recently streamlined its approach to PRC 4290, and it would be good for Los Gatos to do that as well. This has been

an unnecessarily prolonged process for the Bouknights, and the Planning Commission should approve the appeal tonight.

David

- I offer my support to the Bouknights, who have tried everything in their power to deal with a difficult situation. Back peddling on the previously approved plans in the post-entitlement phase is not appropriate. It is simply wrong that PRC 4290 is being applied only by our fire department, and there is no evidence that anywhere else is applying it in this manner.

Michael Strahs

- I'm here as a Los Gatos resident in support of the Bouknight family's appeal. I've followed this saga for several years and encourage the Planning Commission to grant the appeal tonight, because it is the fair thing to do given the circumstances. It is almost impossible to make Wood Road fully compliant, the Bouknights have agreed to reasonable mitigation, Santa Clara Fire conducted their operational assessment without incident, and there is a constitutional argument.

Julie Southern

- I live on Wood Road and my home there burned down in 1997. I ask that the Planning Commission not take any shortcut or exceptions in the name of fire safety just because they are a nice family. I am a nice person too, and it took a long time to rebuild my house.

Omari Bouknight, Property Owner/Appellant

- A fire was started on our vacant property in November 2022, and it is not uncommon for people to trespass on the property, which contrasts with having a fire safe dwelling with defensible space, significant water access, and reasonable road access. I'm grateful for the significant public support we have received. We have done everything the right way as we've navigated this obscure process. It has been nearly 18 months since we submitted for our grading permits in accordance with our conditions of approval, and it is time to complete that process. We have demonstrated that our project aligns well with the spirit and intent of PRC 4290 and improves fire safety in the area. Please approve our appeal.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**

**Motion by Commissioner Janoff** to grant the appeal of the Santa Clara County Fire Department decision denying a request for an exception to the State Minimum Fire Safe Regulations on property zoned HR-5 for 144 Wood Road. **Seconded by Commissioner Thomas.**

**VOTE:**

**Motion passed unanimously.**



**5. 15600-15650 Los Gatos Boulevard**

APNs 424-14-028 and -036

Property Owner/Applicant: Steve Lynch, Sand Hill Property Company

Project Planner: Jocelyn Shoopman

Requesting approval for construction of a new commercial building, a formula retail business (Whole Foods) greater than 6,000 square feet, a merger of two lots into one, a Variance from the required number of parking spaces, and removal of large protected trees on properties zoned CH. Categorically Exempt Pursuant to CEQA Guidelines Section 15332: In-Fill Development Projects.

Commissioner Thomas and Commissioner Clark announced that they live within 500-1000 feet of the subject site and would recuse themselves from participating in the public hearing for 15600-15650 Los Gatos Boulevard.

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Steve Lynch, Sand Hill Property Company, Applicant

- We've had projects in Los Gatos over time, such as the Netflix campus, the development at Blossom Hill, and the Palo Alto Medical Foundation building.

Ken Rodriguez, Architect and Master Planner, Applicant

- With this building we've tried to take the types of material that are very consistent in the community, such as cut stone, integral colored hand-troweled plaster walls, and wood siding. The trellis elements on the building would be a positive visual piece, with landscaping growing up and over many of those elements. We've also included a large glass element along Los Gatos Boulevard to be transparent and project sunlight into the building. We propose an outdoor patio, a prepared food area off the Boulevard, outdoor seating, and then an entire 20-foot deep outdoor sales area to encourage pedestrian and bicycle traffic. Lastly, we placed the building up on the street edge per the design guidelines, with screened parking at the rear.

Steve Lynch, Sand Hill Property Company, Applicant

- With respect to the parking variance request, staff found no significant impact from this project; in fact they found the architecture met the Town's guidelines and the use met the Los Gatos Boulevard policies for a use in this area. With respect to the environmental review, this is a Category 32 exception, which is very rare and only used when no impact or perceived impact from the project is found from the outset. The environmental review also looked at the parking, which is not a project impact, or an impact at all; it's just a conflict with the Town's code, which in this case is fairly antiquated. We had the Town's traffic engineer; our own transportation engineer, Hexagon; and the Town's consulting

engineer, TJKM, review this parking variance and they all felt that it could be justified. We are seven spaces short, which is 4 percent of our overall parking count.

Catherine Somers

- I am the Executive Director of the Chamber of Commerce and I ask what the Boulevard should look like 20 years from now? We somehow have to connect those 40 floating acres near Highway 85 into that vision, and the time is now. This project offers so much, but most importantly it is an anchor. That site has been vacant for many years, and we have to activate that Boulevard. The potential sales tax revenue speaks for itself, and the Town's budget is facing a deficit. This project is the necessary starting point to an economic boom on the Boulevard. The Sand Hill group has proven itself over and over again, and done extensive research and been met with mostly positive support. This is a huge opportunity we cannot pass up. Approve it tonight.

Nick Lamson

- I am with McCarthy Ranch, a local developer and property owner in Town, and we own the property across the street from the subject site. I want to express my support of this project. This development would play a vital role in the Town's overall vision to revitalize the Los Gatos Boulevard corridor. This site has been vacant for quite some time and this project is an opportunity to transform that vacant lot into a vibrant retail center that would serve the surrounding businesses. It's also important to note that the North Forty development down the street is bringing in new residents to Los Gatos, and this serves as another draw to this area.

Jim Foley

- I'm a local business owner and resident of Los Gatos. A decade ago I was part of a group that looked at a similar development for the site and Whole Foods was a name that came up, so this has been contemplated for a long time and appears to be a really good fit for this location. We're fortunate to have this project in front of us now and there is tremendous community support. I agree with prior speakers' comments regarding vitality on Los Gatos Boulevard. Over time we'll see projects on the Boulevard that look different and don't necessarily fit into the traditional boxes we're used to, so a little variance on parking here or there that makes this project work should be considered.

Alok (phonetic)

- I'm in favor of the project. If we look at it from a long-term perspective it's imperative that we encourage pedestrians and bicyclists and try to make that a priority. They should consider a much friendlier access to pedestrians and bicyclists coming in from the Los Gatos Manor and dedicate Los Gatos-Almaden to pedestrians and bicyclists.

Chris Zaler (phonetic)

- My family lives across from the subject site. The shipping and receiving area and the Los Gatos-Almaden Road driveway would greatly increase the noise, dirt, and disturbances at our property and for the neighbors around us with cars, trucks, and delivery vehicles early

in the morning and throughout the day. The driveway off Los Gatos-Almaden would add a lot more congestion to that intersection, which is confusing and has had multiple accidents over the years. It is hard to get in and out of our driveway and this would create even more disturbance and safety issues.

Jim Barth

- My wife and I own an apartment building on Carlton Avenue, one street away from Los Gatos Boulevard, and we are delighted with this opportunity to have Whole Foods this close to all the residents on Carlton, which is all condos and apartments. I'm a little disappointed that Town staff couldn't see beyond the lack of seven spaces, because I'm sure that formula was based on things in the past, but we have a lot of residents living within walking and biking distance of Los Gatos Boulevard, particularly this location, so I believe they will have vacant parking spaces. I like the design of the project and everything about it and I'm in full support.

John Zavoshy

- My wife and I own an apartment building immediately behind the proposed project. I am here to appeal to save the enormous oak tree that is 12 feet away from the fence on our property; that would entail sacrificing two parking spaces at most. It provides shade for our tenants. It would be a shame to cut something like this down, as it must be at least 130 years old. I do not oppose the project and welcome it; it would be a great addition to the area. With respect to the number of parking spaces, I have visited the Whole Foods locations on Los Gatos Boulevard and in Cupertino, and 30-40 percent of the parking spaces are not utilized.

Michael Strahs

- My home is just a half-mile walk from this location and my family could not be more thrilled to welcome Whole Foods in a full sized store to the neighborhood as quickly as possible. I look at the potential deficiency of seven spaces out of the 171 as effectively compliant. The Town should look at reducing the parking ratios anyway.

Julie Mersick (phonetic)

- My issue is with the wall that is being created all the way up the Boulevard and around the corner on Los Gatos-Almaden Road. Even though this project is well designed with nice landscaping, there is no engagement. Across the street where Philz is, there is always activity at that intersection in the carved out patio, and there is an opportunity here to do something similar but in a more visible place toward the corner.

Gary Kohlsaat

- I support this project and think it would be a huge step in the overall transformation of Los Gatos Boulevard and commend Ken Rodriguez and his team. The architecture is fabulous, fresh, exciting, and forward thinking, which is what the Boulevard should be. The siting of the building close to the sidewalk is really what we should be doing instead of parking lots. I have it on good authority that Whole Foods has been looking at doing this for over ten

years. Los Gatos deserves a better Whole Foods and I commend Sand Hill Properties for putting this application forward.

Steve Lynch, Sand Hill Property Company, Applicant

We have gone to great extent to save as many trees onsite as we can, but a lot of the trees were planted as parking lot trees in patches of ground wherever they could when this was Anderson Chevrolet. Some of the street trees are worth saving, and some are not.

Unfortunately, this site has had no maintenance, meaning no irrigation or watering for the trees. The oak tree in the back that John Zavoshy spoke about is a significant sized tree, but we will be lowering the grade in the back and raising it in the front and it would be very difficult, but not impossible, to save that tree; it would entail losing more than two parking spaces to do it and that is the fundamental problem.

Ken Rodriguez, Architect and Master Planner, Applicant

- I appreciate staff's comment regarding struggling with this variance, because I know Variances are difficult, particularly in Los Gatos. We need help with parking in this particular case, and as all the speakers said, most of the Whole Foods stores that were over-parked under other ordinances have unused parking stalls, and none of us want asphalt, we want activity, and I encourage a dialogue to try to find reasons for this Variance.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                      **Motion by Commissioner Janoff** to approve construction of a new commercial building, a formula retail business (Whole Foods) greater than 6,000 square feet, a merger of two lots into one, a Variance from the required number of parking spaces, and the removal of large protected trees on property zoned CH. **Seconded by Vice Chair Raspe.**

**VOTE:**                      **Motion passed unanimously.**

## **OTHER BUSINESS**

### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

Jennifer Armer, Planning Manager

- The Town Council:
  - Approved the Housing Element, per the Planning Commission's recommendation, on January 30, 2023;
  - Approved code amendments for lot mergers, per the Planning Commission's recommendation, on February 7, 2023;

MINUTES OF PLANNING COMMISSION MEETING OF MARCH 8, 2023

- Approved the first reading of a Planned Development amendment for the Shannon Valley Ranch subdivision and discussed SB 9, but did not make any changes to that Ordinance, on March 7, 2023.
- The Housing Element Advisory Board will meet on March 16, 2023 to review the revised version of the Housing Element, and we expect to have the revised version online by the end of the week.

**SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

**Historic Preservation Committee**

Vice Chair Raspe

- The HPC met since the last Planning Commission meeting regarding moving an ADU at 202 University, which was continued.

**Commission Matters**

None.

**ADJOURNMENT**

The meeting adjourned at 9:53 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the March 8, 2023 meeting as approved by the Planning Commission.

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/s/ Vicki Blandin

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**TOWN OF LOS GATOS  
PLANNING COMMISSION REPORT**

MEETING DATE: 03/22/2023

ITEM NO: 2

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DATE: March 17, 2023  
TO: Planning Commission  
FROM: Laurel Prevetti, Town Manager  
SUBJECT: Provide Input for the Draft Justice, Equity, Diversity, and Inclusion Plan.

**RECOMMENDATION:**

Provide input for the draft Justice, Equity, Diversity, and Inclusion (JEDI) Plan.

**BACKGROUND:**

On August 17, 2021, the Town Council unanimously voted to authorize the Town Manager to enter into an agreement for JEDI consultant services with American Leadership Forum Insights (ALFI). ALFI was selected to address the Town's external JEDI goals through Town partnerships with local organizations and the broader community. ALFI specializes in external engagement and dialogue and leveraging community partnerships.

Exhibit 1 contains ALFI's final Discovery Report documenting their approach, high level findings/themes, and recommendations. ALFI engaged with community leaders and Town partners, including the Chamber of Commerce, faith-based organizations, business owners, local school districts, and others in a series of listening sessions to assess the level of understanding of the current JEDI efforts and identify barriers and opportunities.

The recommendations were organized under the following topics:

- Collaborative on-going engagement;
- Develop safe spaces;
- Build capacity for the work;
- Connect this work to the vibrancy of the Town economy;
- Intentionally engage school districts and youth; and
- Continue to build affordable housing.

**PREPARED BY:** Holly Young  
Senior Management Analyst

BACKGROUND (continued):

On September 6, 2022, the Town Council unanimously voted to direct the Town Manager to work with ALFI on the development of a formal JEDI Plan. The Plan would fold in the individual recommendations from the Discovery Report and include specific long and short-term goals, action items with timelines, and metrics. The overall goal is to co-create with the community an actionable Plan for the Town of Los Gatos to become a more inclusive place and where all community members feel welcome and a sense of belonging.

In addition, the Town's recently adopted 2040 General Plan includes a Racial, Social, and Environmental Justice Element that includes definitions, goals, policies, and implementation programs ([https://losgatos2040.com/images/docs/LGGPU\\_02\\_EJ.pdf](https://losgatos2040.com/images/docs/LGGPU_02_EJ.pdf)). The JEDI Plan is intended to function in concert with this Element.

DISCUSSION:

ALFI and Town staff are taking a multipronged approach to gather input on the initial ideas for action items to be included in the JEDI Plan (Exhibit 2). These items are based on the recommendations in the Discovery Report and other related Town work. Some of these items are already underway and Exhibit 2 includes updates on all the items.

Feedback on the Potential Action Items is being sought from Town Boards, Committees, and Commissions; and the greater Los Gatos community. At least one community workshop will be held in Spring 2023 to garner additional public input. Town staff also will be reflecting on the organization internally in terms of how the Town can foster a more diverse workforce, strengthen procedures to protect staff from uncivil behavior, and be more welcoming for all. All of this input will be synthesized into a Draft JEDI Plan and the Town Boards, Committees, and Commissions will have another opportunity to provide comments.

The input of the Town's Boards, Committees, and Commissions is an important piece of the development of the JEDI Plan. To guide the discussion, please reflect and comment on the following:

1. Overall input on the Potential JEDI Plan Action Items in Exhibit 2.
2. How should we define "inclusion" and "belonging" in Los Gatos?
3. How do justice, diversity, equity, and inclusion intersect with the work of your Board/Committee/Commission?
4. How can your Board/Committee/Commission help to increase equity and inclusivity in Los Gatos?
5. How can we measure success?
6. Other ideas for how the Town Government organization as a whole can work toward a more equitable and inclusive Los Gatos.

PAGE 3 OF 3

SUBJECT: Input on the Draft Justice, Equity, Diversity, and Inclusion Plan

DATE: March 17, 2023

CONCLUSION:

Staff looks forward to the Board/Commission/Committee's feedback.

ENVIRONMENTAL ASSESSMENT:

This is not a project defined under CEQA, and no further action is required.

EXHIBITS:

1. ALFI Discovery Report
2. Potential JEDI Plan Action Items

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ALF INSIGHTS

# DISCOVERY REPORT





We can leverage our pride  
and use the JEDI plan to build upon  
the best of Los Gatos.

Dave Watermulder, Town of Los Gatos Interfaith Group





**THE TOWN** of Los Gatos over the past couple of years has worked diligently to create their Justice, Equity, Diversity and Inclusion Plan (JEDI) with the intent of lifting that work up into Town processes and policies as well as the community. The Town engaged ALF Insights (ALFI), the consulting arm of American Leadership Forum Silicon Valley (ALFSV), which is committed to bringing groups of people together in spaces of productive tension in order to build deeper relationships that lead to the creation of powerful community impact. As a neutral convener of cross sector leaders, ALFI has the ability to emerge new frameworks for how an organization or network manages change and embraces dynamic processes that use tension as a vehicle to bring their work to the next level.

ALFI was hired to accomplish the following phases of work:

#### **Phase I Goals: Discovery**

Engage community partners, through meetings with individuals and groups, in order to ascertain their understanding of the JEDI plan as well as gather input on equity and inclusion efforts in the Town.

#### **Phase II: Summary and Recommendations**

Summarize themes and ideas and provide back a set of recommendations about gaps in the current plan, suggestions for additions and deletions as well as points of clarity and to offer a process for on-going community engagement.

#### **WHAT WE DID: PROCESS OVERVIEW**

ALFI held a total of 18 Discovery sessions with 27 individuals spanning community members, business owners, nonprofit leaders, faith groups and education administrators. Please see the full list of who participated and their affiliation in Appendix D. Each individual or group was asked the following questions.

- What are the opportunities that you see for the Town as they move forward with their equity work ?
- What are you feeling most hopeful about?
- What are you most concerned about?
- What in your mind creates an inclusive community?
- JEDI Plan thoughts and feedback? Are you willing to engage in the JEDI process in the future? In what context?

#### **WHAT WE LEARNED: HIGH LEVEL THEMES**

The work of grappling with race and systemic inequities is hard and are not quickly resolved. It requires courageous and brave leadership, often in the face of strong opposition. Through the discovery process, ALFI heard the following themes across all of those we spoke to. It should be noted that of all those we interviewed, everyone was willing to be engaged in the on-going work.

**Opportunities** Overall participants saw many opportunities for the Town's continued commitment to the JEDI Plan:

- The opportunity for the Town government to create initiatives, policy, action and tone setting around the JEDI work.
- The opportunity for community learning centered around events, specific programs and dialogue in order to create awareness and enlightenment.
- The opportunity for the Town to engage and leverage the energy and voices of youth.
- The opportunity for businesses to promote inclusive practices.
- The opportunity to address this work through affordable housing which would impact the demographics of the Town and shift the definition of who is welcome.
- The opportunity to leverage the energy of the Town and the pride the community holds for the Town.

**Hope** The process and plan created a sense of hope for those that ALFI spoke to.

- Previous and current efforts to address race equity brings hope.
- The new ideas and possibilities that are centered in creating a new future for the Town.
- The participation and voices of youth through their school campuses, the March Against Hate and participation in government.
- The open acceptance of the LGBTQIA+ community through physical and visible solidarity such as public art displays.
- The interfaith work happening in the Town.
- That the JEDI Plan was created and being discussed openly and woven through the policies and practices of the Town.

**Inclusion** Being an inclusive Town, while defined differently by the participants, mattered to everyone. For some that was about wanting everyone to be comfortable in the Town and for others it was about ensuring that business is supported and creating a place that folks want to visit. An inclusive Town was defined as:

- A place in which there is open and visible support for all people.

- A place that is safe where people do not have to worry about being discriminated against based on their race, gender or sexual preference.
- A place with a diverse population in terms of race and economic background that provides for shared community experiences.
- A place that creates a true sense of belonging and seeks to create spaces without judgment.
- A place that can tolerate a diversity of viewpoints and in which its residents are able to engage in civil discourse across differences.
- A place that the community in Los Gatos has pride in and that those outside of the Town want to visit.

**Concerns** Along with the opportunities and hope that discovery participants felt, there are also real fears and concerns about the on-going JEDI work.

- Fear about engaging in the work and how that might impact the personal safety of participants.
- Fear that this work will reflect negatively on the Town, that it will keep people away from the Town, impacting businesses or will have negative fiscal impacts.
- Concern that the Town, and the larger community, lacks the capacity or knowledge to do the work. Who will own this work and ensure that it gets done?
- Concern that some residents do not agree with the Town doing this work and the resulting impact that has on individual leader's ability to stay engaged with the work.
- Concern that the Town will not go deep enough or far enough with the JEDI work to make a lasting impact. How do we ensure authentic versus performative action?
- Concern that the JEDI work may derail other critical work of the Town.

**JEDI Plan** Discovery participants had various levels of knowledge about the JEDI Plan in its current form and the following feedback.

- Ensure that the community is a part of creating and iterating the plan so that there is collective and coordinated energy to support the implementation of plan objectives.
- Ensure that the plan works in conjunction with the other work happening across the school,



business and nonprofits communities.

- Stay invested in the work and provide the support and infrastructure for that to occur.
- Create more specificity and accountability in the plan itself to ensure that the plan is not performative.
- Commit to this process for the long-term.

“

We are Los Gatos. We are working towards an authentic and accurate depiction of the people who live in the Town.

Catherine Somers, Los Gatos  
Chamber of Commerce

## RECOMMENDATIONS

As the Town moves forward with the JEDI plan and its resulting work products, we believe that the following recommendations will aid them in staying the course in creating a Town that is inclusive and safe for all.

### Collaborative, On-going Engagement

Instead of different groups working individually to address the issues of race equity, the Town of Los Gatos should provide the infrastructure and funding for those groups to work together long-term. Additionally, as these organizations will be doing the work, their voices should be a part of the design and implementation of the work in order to ensure the authenticity of the process.

> **RECOMMENDATION:** Form a facilitated, community working group that will come together to build relationships and develop a deeper understanding of JEDI concepts. Use this group to iterate

and deepen the JEDI plan that includes short and long-term goals as well as a timeline of activities.

- > **RECOMMENDATION:** Develop a statement of what inclusivity and belonging mean to the Town as a part of the JEDI Plan.

### Develop Safe Spaces

In order for people to be willing to publicly engage in this work, there needs to be a commitment to the physical safety of those who participate.

- > **RECOMMENDATION:** Create guidelines for safety that allow working group and community members to develop solidarity and commitment to seeing the process through.
- > **RECOMMENDATION:** Ensure all threats to personal safety will not be tolerated through clear policies and practices.
- > **RECOMMENDATION:** Utilize art and community engagement with art as a path to create safe spaces for learning and expression.

### Build Capacity for the Work

In order for the JEDI plan to be effective, there needs to exist a baseline of knowledge and understanding of historical inequities and how those impacts show up currently. Specifically the following concepts: intersectionality, color-blindness, economic disparities, historical inequities and the work of reconciliation.

- > **RECOMMENDATION:** Provide spaces for members of the community to learn and be in dialogue together.
- > **RECOMMENDATION:** Emphasize that the JEDI work benefits everyone and detail how and why this is the case as they engage in these community dialogues.

### Connect the Work to the Vibrancy of the Town Economy

Often there is a concern that engaging in JEDI work might negatively impact the public perception of the Town and the people who live there. In fact, the willingness to be “front and center” on the work of addressing historical and current inequities can in fact be a boost for the Town and its public image.

- > **RECOMMENDATION:** Develop a public facing campaign about what the Town is doing in regards to its JEDI work along with its plan. Ensure that there is transparency about what the Town is learning

and how they will be adjusting their work in support of the JEDI Plan.

### Intentionally Engage School Districts & Youth

One of the places where issues related to race and anti-semitism have shown up the most publicly has been on school campuses. In addition, there are many young people that are deeply engaged in JEDI work as the March Against Hate demonstrated.

- > **RECOMMENDATION:** Ensure that the school districts and youth have an intentional and connected voice to the JEDI work as it moves forward.
- > **RECOMMENDATION:** Reaffirm to the school districts that they are not alone in handling these incidents. Create space for them to work collaboratively with the Town to brainstorm solutions to these problems.

### Continue to Build Affordable Housing

Across all the participants ALFI spoke with, housing was brought up at least once in each of the discovery sessions. Ensuring economic diversity through affordable housing was seen as a critical piece in the JEDI puzzle.

- > **RECOMMENDATION:** continue to build and support affordable housing through the General Plan and Housing Element.



The town is starting to awaken now  
and we have to do something  
collectively to bring about change.

Kareem Syed, Former Resident;  
Peacemaker during BLM and other protests





## APPENDIX A: QUESTION SUMMARIES

**Discovery Question #1:** What are the opportunities that you see for the Town as they move forward with their equity work?

“In a world moving more and more toward a global way of thinking, the Town would be better served with the addition of a Unity Commission made up of diverse groups – ages, backgrounds, etc. – to be the eyes and ears of the Town and who bring more vitality to the community. Existing partnerships in the Town should be leveraged and synergies explored. Organizations such as NUMU, Los Gatos Library, Chamber of Commerce, Rotary, AWO, and others can work together to center, promote, and celebrate diversity.”

— Folake Phillips

Overall, participants felt that opportunities exist. Most communicated that the Town government can be leveraged as conveners, supporters, or initiators of the equity work. Collaboration was mentioned as a key ingredient to the success of this work and that the Town officials should foster environments for multiple sectors to work together. Business was a key sector discussed along with Community Based Organizations (CBO’s).

Although collaboration was discussed most, the need for support and leadership from the Town government, financial, organizational, and otherwise, was recognized as well. Often mentioned as initiators of events and programs that community leaders could then take over or amplify the work of CBO’s that is already happening. Some participants also stated that large businesses want to recruit skilled workers from all backgrounds and having an inclusive and diverse Town aids in the process.

Events, dialogues, and programs centered on community awareness and learning about JEDI were also seen as an opportunity. These occasions create space for various experiences and perspectives to be acknowledged and valued. The events should focus on elevating voices that are often marginalized, helping to make the Town inclusive and safe for all. Some direct ideas were, music festivals, economic investments in departments to push the work forward, ongoing equity curriculum, and opportunities to learn of the Town’s painful past.

A focus on youth in this process was also suggested. The thought is to have similar opportunities as mentioned above for students to lead and participate. Including JEDI into the school curriculum was also highlighted.

Affordable housing was another notable topic. The idea that diversity, equity, and inclusion depend on who can ‘afford’ to live in Los Gatos was at the heart of these suggestions.

## Discovery Question #2: What are you most hopeful about?

"I'm hopeful with the direction of this DEI process and am glad that it has begun. I'm proud of how the Town is handling these challenges and of the steps they have taken to prioritize their DEI efforts. I have listened to a few council meetings and am impressed by how the youth in this community have spoken up about their feelings and how articulately they were able to get their points across. Due to this involvement of the town's youth I think it would be a great opportunity to engage with the Town's youth commission."

— Dominic Broadhead

Participants were most hopeful regarding past and/or current events. Events like the March Against Hate, student-led initiatives at the high school and visual representations, such as rainbow sidewalks, were repeatedly mentioned. Some participants mention the existence of a JEDI plan and the surveying AFLI was conducting as signs of positive movement. Participants also mentioned that the town leadership bringing the JEDI conversation to the forefront was encouraging along with hearing and seeing so many other residents looking to create change.

Participants also expressed hope about future events and projects. There were numerous ideas communicated that had participants excited and engaged. Many discussed the opportunity for people to engage each other as people and not ideological groups. The space for human connectivity through dialogue, storytelling, music, and the arts was highly regarded and a source of hope for many participants. Participants mentioned hope in new people hired/elected to important roles within the Town i.e., new police chief and mayor.

Participants also discussed student engagement as a source of hope. Past events and the desire to create more opportunities for young people to influence policies, share ideas, and learn more about equity and inclusion seemed to come from participants across the board.

Other things to explore: Participants mentioned that the beginning of this work may be tough but believe the overall community will come along with time. Some believe the Town can

handle the challenges ahead, but officials need to keep moving the ball forward. To change will require the development of new skills and a higher capacity to hear and understand one another. Another thing that was notable is how infrequently the topic of the Town's police department was mentioned. This is a potential place of hope since policing, by and large, has shown up a lot in other cities and communities regarding JEDI work.

## Discovery Question #3: What are you most concerned about?

"Neither the Town nor the school district can solve this issue on their own. It is a community problem and to address it effectively, we need to find ways to work collaboratively across sectors to find solutions."

— Dr. Michael Grove

The overwhelming response to this question, along with it being mentioned throughout our interviews, was fear. The trepidations of many participants centered on the response of residents who may be resistant to the work. Although negative interactions were not expected from most residents, the strong and vitriolic nature of a small segment of residents weighed heavily on the minds of everyone we spoke with. Concerns about personal safety, alienation, and retaliation were consistently brought forward. Concerns about safety need to be addressed for the Town to get strong buy-in from the community. Addressing this issue will increase who and how long people stay engaged.

The next issue of concern is the efficacy and capacity to make change. Participants questioned the long-term commitment the Town has toward equity work. It was mentioned that the General Plan should reflect JEDI concerns to help it properly move forward. There was also concern that some people with influence and power will impede any progress either because change is hard or holding the status quo is preferred. Participants, acknowledging the large scope of the work and the challenging political climate, questioned if the Town possessed the knowledge and ability to create a more equitable and inclusive community.

Other things to consider in addressing



participant concerns are affordable housing, training and education for youth, and accessibility to resources to increase the community's knowledge around equity work.

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**Discovery Question #4:** What in your mind creates an inclusive community?

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"I'd like to be able to see a black, lesbian developer come and live comfortably in Los Gatos and attend her synagogue."

—Jon Hicks

When participants were asked to imagine what an inclusive community looked like they painted this picture: A community that is safe and welcoming to those who do not fit the norm, empathy and compassion exhibited between neighbors, vibrancy that is attributed to diversity, new voices welcomed at decision-making tables, and a deep sense of belonging that crosses the boundaries of gender, culture, race, sexual preference, and socio-economics. It was acknowledged that some of these characteristics may not be measurable, but the feeling would be recognizable.

Participants stated that an inclusive community has JEDI dialogues, addresses unconscious bias, educates people on the history of the indigenous people, creates intentional spaces and opportunities for residents to come together and celebrate differences. The inclusive community creates and highlights role models for the next generation to emulate, helping them be even better informed and aware of JEDI issues.

Participants stated that representations of diversity in business ownership, government officials and teachers would be part of an inclusive community. Community policing standards should be employed, where all residents are treated fairly no matter race, religion, or sexual orientation. Affordable housing should be part of an inclusive community.

Other topics to note, questions about the current demographics of the Town were raised and concerns that perceived homogeneity of economic backgrounds within the town may obscure the actual needs. Some participants mentioned the need for greater clarity regarding what the Town is communicating when it speaks of justice, equity, diversity, and inclusion.

**Discovery Question #5:** What are your thoughts on the JEDI Plan? Are you willing to engage in the JEDI process in the future? In what context?

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"I fully support the town's JEDI efforts. I think they'll be strengthened by including reasons why this is good for Los Gatos and worth town expenditure. I'd like to add that the town staff needs to make clear to the community how and why the JEDI efforts benefit everyone and harm no one."

—Amy Nishide

Everyone who participated was open and willing to engage the JEDI process in the future. Most were enthusiastic and excited to see the Town take these initial steps. There were some concerns about possible politicizing of the process and potential backlash.

Participants were generally familiar with the JEDI plan. Overall, participants thought the direction was good, while expressing concerns about clarity of purpose, tangible deliverables, and the long-term commitment. Collaboration between the various sectors; government, business, education, and the community; was highlighted as a large need. The development of a Unity Commission was suggested as a step to keep the work moving forward. Despite all the positive feedback, fear regarding the perception and response of some residents was mentioned. Fear was one of the most expressed emotions along with the desire for progress.

Participants suggested numerous ideas about how to engage the process. The majority fell into three categories: events/entertainment, dialogue, and training/education. Ideas such as movie viewings, concert series and using the arts to bring people together around topics of diversity and inclusion were suggested. Creating spaces for open and honest dialogue to help residents learn from one another was referenced. Training and educational partnerships between CBO's, schools and the government were also highlighted. Previous events and groups were named as examples to build on; March Against Hate, the Anti-Racism Coalition and the Chamber of Commerce to name a few.

## APPENDIX B: ALF INSIGHTS MODEL

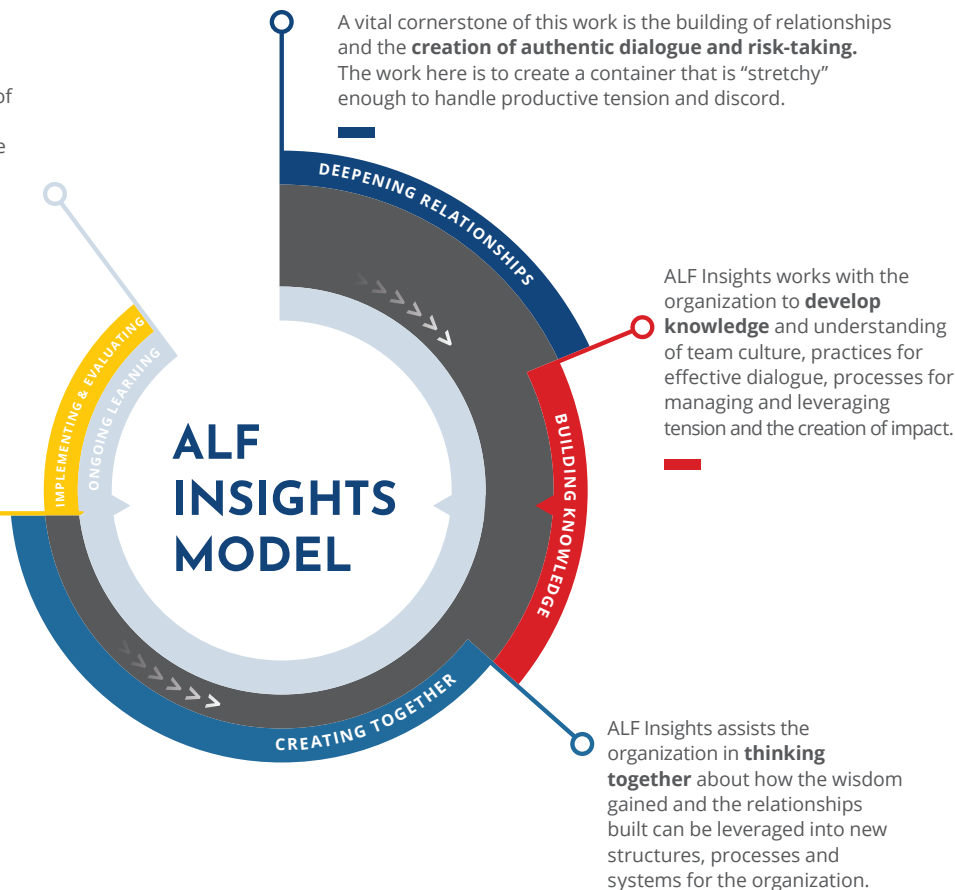
The work of emerging and building spaces for high quality dialogue within an organization is not a linear process but a cyclical one. The process of learning, creating, implementing, evaluating and iterating should become a cultural norm for an organization or network. When this process is built into the day to day ethos of an organization, it allows for growth, flexibility, nimbleness and responsiveness to the needs of employees, those served and the larger community.

ALF Insights (ALFI) knows, through its many years of working with diverse groups, that the creation and maintenance of relationships is critical for the success of any working group. In order for

members of a group to begin to engage with the work at hand, they have to be able to successfully take risks with each other in order for the ultimate products to have full buy-in and be responsive to the community's needs. The ability for members to authentically share their personal and professional value propositions, and to seek common ground, is inherently connected to the quality of relationship within the team. ALFI is focused on developing a highly personalized program that will move both relationships and impact forward. It is important to note that this is not a linear process as vigorous, generative social-impact groups are a picture of evolving social relationships *and* a robust platform for sustained production and impact.

ALF Insights works with the organization to **establish a structure of ongoing learning and development**. Maintenance of generative teams is ongoing and emergent work. It is critical to have structures in place and natural leaders identified so that the organization can evaluate, learn and iterate as needed.

ALF Insights works with the organization to **create a process of accountability at the staff, board and partner level** in order to ensure fidelity to new structures.



## APPENDIX C: ALF INSIGHTS FACULTY

For this project the following faculty members were engaged:



**Jenny Niklaus**  
ALFI Chief Facilitation Officer



**Jason Reynolds**  
ALFI Faculty



**Darcie Green**  
ALFI Faculty



**Allyson Paul**  
ALFI Executive Assistant

## APPENDIX D: LIST OF DISCOVERY PARTICIPANTS

**Rabbi Melanie Aron**, *Congregation Shir Hadash*  
**Father Ricardo Avila, Dave Watermulder,**  
**Erica Rader**, *Town of Los Gatos Interfaith Group*  
**Diane Fisher**, *Jewish Silicon Valley*  
**Kareem Syed**, *Former Resident; Peacemaker during BLM and other protests*  
**Jon Hicks**, *Netflix*  
**Catherine Somers**, *Los Gatos Chamber of Commerce*  
**Dr. Michael Grove**, *Los Gatos-Saratoga Union High School District*  
**Paul Johnson**, *Los Gatos Union School District*  
**Kristi Grasty**, *Los Gatos High School*  
**Kylie Clark, Jeffrey Suzuki, Amy Nishide,**  
**Ali Milano, Sandrine Chaumette, Rob Moore,**  
**Alicia Spargo**, *Los Gatos Anti-Racism Coalition*  
**Ami Davis**, *NUMU*  
**Karen Rubio**, *Plant Based Advocates*  
**Sasha Balasingham**, *Youth Commission Chair, Los Gatos High School*  
**Dominic Broadhead**, *Los Gatos-Saratoga Parks and Recreation Center*  
**Folake Philips, Varily Isaacs**, *AWO*  
**Teri Hope**, *Business Owner*  
**Susan Farwell**, *Business Owner*  
**Jim Foley**, *Business Owner*





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Sobrato Center for Nonprofits  
1400 Parkmoor Avenue, Suite 280  
San Jose, CA 95126

Email: [alfsv@alfsv.org](mailto:alfsv@alfsv.org)  
Phone: (408) 554.2000

## **STATUS OF DISCOVERY REPORT RECOMMENDATIONS AND OTHER TOWN EFFORTS**

### **ALF Insights**

#### **Town of Los Gatos Discovery Report: Recommendations Update 2/2023**

##### **Collaborative, On-going Engagement**

- **RECOMMENDATION:** Form a facilitated, community working group that will come together to build relationships and develop a deeper understanding of JEDI concepts. Use this group to iterate and deepen the JEDI plan that includes short and long-term goals as well as a timeline of activities.
- **RECOMMENDATION:** Develop a statement of what inclusivity and belonging mean to the Town as a part of the JEDI Plan.
- **UPDATE:** Both of these items are moving forward through the Community Working Group process.

##### **Develop Safe Spaces**

- **RECOMMENDATION:** Create guidelines for safety that allow working group and community members to develop solidarity and commitment to seeing the process through.
- **RECOMMENDATION:** Ensure all threats to personal safety will not be tolerated through clear policies and practices.
- **RECOMMENDATION:** Utilize art and community engagement with art as a path to create safe spaces for learning and expression.
- **UPDATE:** The Town Council has adopted civility guidelines for all Council and Commission meetings, being clear that:
  - The Town embraces diversity and strongly condemns hate speech and offensive, hateful language or racial intolerance of any kind at Town meetings.
  - Town Council and staff are well aware of the public's right to disagree with their professional opinion on various Town issues. However, anti-social behavior, slander, hatred, and bigotry statements are completely unacceptable and will not be tolerated in any way, shape, or form at Town meetings.

EXHIBIT 2

- All public comments at the Town Council meeting must pertain to items within the subject matter jurisdiction of the Town and shall not contain slanderous statements, hatred, and bigotry against non-public officials.

### **Build Capacity for the Work**

- **RECOMMENDATION:** Provide spaces for members of the community to learn and be in dialogue together.
- **RECOMMENDATION:** Emphasize that the JEDI work benefits everyone and detail how and why this is the case as they engage in these community dialogues.
- **UPDATE:** The Town is providing spaces for members of the community to learn and be in dialogue together, starting with programming through our Library on Affordable Housing and the intersection of environmental sustainability and equity.

### **Connect the Work to the Vibrancy of the Town's Economy**

- **RECOMMENDATION:** Develop a public facing campaign about what the Town is doing in regards to its JEDI work along with its plan. Ensure that there is transparency about what the Town is learning and how they will be adjusting their work in support of the JEDI Plan.

### **Intentionally Engage School Districts and Youth**

- **RECOMMENDATION:** Ensure that the school districts and youth have an intentional and connected voice to the JEDI work as it moves forward.
- **RECOMMENDATION:** Reaffirm to the school districts that they are not alone in handling these incidents. Create space for them to work collaboratively with the Town to brainstorm solutions to these problems.
- **UPDATE:** The Town signed an agreement with the Los Gatos Saratoga Union High School District and Los Gatos Union School District to be part of a social norms effort. The Districts have been invited to participate in the Town's JEDI Plan process.

### **Continue to Build Affordable Housing**

- **RECOMMENDATION:** Continue to build and support affordable housing through the General Plan and Housing Element.
- **UPDATE:** The 2040 General Plan adopted with its Racial, Social, and Environmental Justice Element on 6/30/22. The Housing Element with modifications was adopted by the Town Council on 1/30/23, finding it to be in substantial compliance with State law. The Town is continuing to address the detailed comments from the State, engaging with the community in that process.

## **Town of Los Gatos Justice, Equity, Diversity, and Inclusion Work Plan Update 2/2023**

### **JEDI Plan**

- **UNDERWAY:** Work with ALFI to prepare an actionable JEDI Plan with clear goals, timeframes, and measurable outcomes. Town staff will lead staff, general public, and other engagement in this effort.

### **Town Operations**

- **UNDERWAY AND ONGOING:** Require all Town Departments to use a lens of justice, equity, diversity, and inclusion in the:
  - Development of the Town budget, Capital Improvement Program, General Plan (see more information below), and other guiding documents;
  - Delivery of Town services; and
  - Creation of all new programs, projects, and policies.
- **UNDERWAY AND ONGOING:** Examine all proposed policies and ordinances in the context of promoting, facilitating, and improving justice, equity, diversity, and inclusion in Los Gatos. This work is done by the Council Policy Committee, appropriate Town Boards, Committees, and Commissions, and the Town Council.

### **Communications/Community Engagement**

- **UNDERWAY AND ONGOING:** Expand the Town's community engagement to include more Black, Indigenous, and People of Color.
- **UNDERWAY AND ONGOING:** Communicate actively on social media and in other forums to reinforce messages of inclusion, belonging, and welcoming.

### **Town Boards, Committees, and Commissions**

- **UNDERWAY AND ONGOING:** Recruit Town Board, Committee, and Commission members to reflect diverse communities of color, identity, and backgrounds.
- **UNDERWAY AND ONGOING:** Incorporate diversity, equity, and inclusion into the work of all Town Boards, Committees and Commissions and discuss these efforts with the Town Council and the public.
- **UPDATE:** DEI training is scheduled for all Town Board, Committee, and Commission members on February 23, 2023.

### Transparency in Government

- **UNDERWAY AND ONGOING:** Expand access to Town records and information to further demonstrate the Town's commitment to transparency in governmental operations.

### Police Reforms

- **UNDERWAY AND ONGOING:** Biannual Reports to review progress at Town Council meetings on Police Reforms, including independent investigations, mental health/homeless support, traffic stop data, and options for non-emergency calls.
- **UNDERWAY AND ONGOING:** Continue to strengthen the Police Department relationship with the County Behavioral Health services staff and Mobile Crisis Response Team.
- **UNDERWAY AND ONGOING:** Work toward the Police Chief's goal for all Department personnel to exceed the minimum number of hours of training in de-escalation and crisis intervention.
- **UNDERWAY AND ONGOING:** Continuously review and update Department policies and procedures to ensure that it is employing the best practices for hiring, training, eliminating bias, and ensuring the public's safety.

### Town Personnel

- **UNDERWAY AND ONGOING:** Foster a more diverse workforce by updating job descriptions and minimum qualifications to encourage a broader set of candidates, promoting job opportunities using conventional and unconventional techniques to reach deeper into the talent pool, and encouraging professional development to expand skills and abilities.
- **UNDERWAY AND ONGOING:** Strengthen procedures to protect employees from bullying, racism, and other uncivil behavior.
- **UNDERWAY AND ONGOING:** Encourage justice, diversity, equity, and inclusion training for Town staff members and Departments.





**TOWN OF LOS GATOS  
PLANNING COMMISSION REPORT**

MEETING DATE: 03/22/2023

ITEM NO: 2

DESK ITEM

---

DATE: March 22, 2023  
TO: Planning Commission  
FROM: Laurel Prevetti, Town Manager  
SUBJECT: Provide Input for the Draft Justice, Equity, Diversity, and Inclusion Plan.

REMARKS:

Exhibit 3 includes Planning Commissioner comments.

EXHIBITS:

Previously received with the March 22, 2023, Staff Report:

1. ALFI Discovery Report
2. Potential JEDI Plan Action Items

Received with this Desk Item Report:

3. Planning Commissioner Comments

PREPARED BY: Holly Young  
Senior Management Analyst

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[www.losgatosca.gov](http://www.losgatosca.gov)

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**From:** Jeffrey Barnett

**Sent:** Saturday, March 18, 2023 2:46:29 PM

**To:** Laurel Prevetti <[LPrevetti@losgatosca.gov](mailto:LPrevetti@losgatosca.gov)>; Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>

**Subject:** Planning Commission Meeting of 3.22.23 - Agenda Item 2

Dear Laurel and Joel.

I suggest that the JEDI report include examples of the types of discrimination that are prohibited in the operation of the Town and which are anathema to the JEDI principles.

A possible source is California Civil Code Section 51, pertinent parts of which are included below. While I believe that this statute is not binding on public entities such as our Town, it nevertheless embodies our principles and expresses our aspirations.

It would be important to recognize that these categories are examples, and are not comprehensive.

I would appreciate inclusion of this email as a desk item for Wednesday's meeting.

Thank you.

Jeffrey

California Civil Code Section 51

(a) This section shall be known, and may be cited, as the Unruh Civil Rights Act.

(b) All persons within the jurisdiction of this state are free and equal, and no matter what their ***sex, race, color, religion, ancestry, national origin, disability, medical condition, genetic information, marital status, sexual orientation, citizenship, primary language, or immigration status*** are entitled to the full and equal accommodations, advantages, facilities, privileges, or services in all business establishments of every kind whatsoever.

...

(e) For purposes of this section:

(1) "Disability" means any mental or physical disability as defined in Sections 12926 and 12926.1 of the Government Code.

(2) (A) "Genetic information" means, with respect to any individual, information about any of the following:

(i) The individual's genetic tests.

(ii) The genetic tests of family members of the individual.

(iii) The manifestation of a disease or disorder in family members of the individual.

EXHIBIT 3

(B) "Genetic information" includes any request for, or receipt of, genetic services, or participation in clinical research that includes genetic services, by an individual or any family member of the individual.

(C) "Genetic information" does not include information about the sex or age of any individual.

(3) "Medical condition" has the same meaning as defined in subdivision (i) of Section 12926 of the Government Code.

(4) "Religion" includes all aspects of religious belief, observance, and practice.

(5) "Sex" includes, but is not limited to, pregnancy, childbirth, or medical conditions related to pregnancy or childbirth. "Sex" also includes, but is not limited to, a person's gender. "Gender" means sex, and includes a person's gender identity and gender expression. "Gender expression" means a person's gender-related appearance and behavior whether or not stereotypically associated with the person's assigned sex at birth.

(6) "Sex, race, color, religion, ancestry, national origin, disability, medical condition, genetic information, marital status, sexual orientation, citizenship, primary language, or immigration status" includes a perception that the person has any particular characteristic or characteristics within the listed categories or that the person is associated with a person who has, or is perceived to have, any particular characteristic or characteristics within the listed categories.

(7) "Sexual orientation" has the same meaning as defined in subdivision (s) of Section 12926 of the Government Code.



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 3/22/2023

ITEM NO: 3

DATE: March 17, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback on Property Zoned R-M:5-12. **Located at 16185 George Street.** APN 529-18-046. Fence Height Exception Application FHE-22-008. PROPERTY OWNER/APPELLANT: Antony Jayaraj Alapat. APPLICANT: Sandra Paim. PROJECT PLANNER: Ryan Safty.

**RECOMMENDATION:**

Deny the appeal of a Community Development Director decision to deny a fence height exception request for construction of a six-foot tall fence within the required front yard setback on property zoned R-M:5-12, located at 16185 George Street.

**PROJECT DATA:**

General Plan Designation: Medium Density Residential  
Zoning Designation: R-M:5-12 – Multiple-Family Residential  
Applicable Plans & Standards: General Plan, Residential Design Guidelines  
Parcel Size: 8,207 square feet  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Commercial	Mixed Use Commercial	CH
South	Residential	Medium Density Residential	R-M:5-12
East	Residential	Mixed Use Commercial	CH:PD
West	Residential	Medium Density Residential	R-M:5-12

**PREPARED BY:** RYAN SAFTY  
Associate Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located at the corner of Roberts Road and George Street, one block east of Fisher Middle School (Exhibit 1). The Laurel Mews Residential Planned Development is across George Street, to the east, and commercial properties are across Roberts Road, to the north. The rest of the immediate neighborhood are residential uses.

The subject property was previously occupied by a pre-school. On October 6, 2020, an Architecture and Site Application was approved for a new single-family residence on the property. The Architecture and Site Application established the frontage on Roberts Road as the front-yard and the George Street frontage as the street-side yard. The construction of the new residence is nearly completed.

On December 9, 2022, the Town received an application for a fence height exception request to construct a six-foot tall fence within the front yard setback, along Roberts Road. The project plans are provided as Exhibit 4, and the Letter of Justification for the exception is provided as Exhibit 5.

On February 14, 2023, the exception request was denied by the Community Development Director as none of the required findings per Town Code Section 29.40.0320 could be made to support the request (Exhibit 7).

On February 24, 2023, the property owner appealed this decision to the Planning Commission (Exhibit 8).

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located at the corner of Roberts Road and George Street, one block east of Fisher Middle School (Exhibit 1). The Laurel Mews Residential Planned Development is across George Street, to the east, and commercial properties are across Roberts Road, to the north. The rest of the immediate neighborhood are residential uses.

B. Project Summary and Zoning Compliance

The property owner is appealing the Community Development Director decision to deny a fence height exception request for the construction of a six-foot tall wooden fence within the required front yard setbacks along Roberts Road.

DISCUSSION:

A. Fence Height Exception

The property owner requested a fence height exception for construction of a six-foot tall wooden fence along the front property line, adjacent to Roberts Road. The fence would be six feet tall, with the top 20 percent of the fence being open lattice material, as shown in Exhibit 4.

The previous pre-school use had vehicular access off Roberts Road. Adjacent to the driveway and along Roberts Road was an approximately four-foot tall, open-view, iron fence with five-foot tall wooden posts (Exhibit 10). With the 2020 Architecture and Site Application for a new two-story single-family residence, the driveway access was moved to George Street, with the Roberts Road frontage becoming the front yard area. As a condition of approval to the Architecture and Site Application, the owners were required to dedicate 10 feet of the Roberts Road frontage to the Town for right-of-way purposes. The location of the previous fence was approximately five feet in front of the new property line, within the Town's new right-of-way area. The proposed new six-foot fence would be along the new front property line. Staff created an exhibit comparing the previous fence location and design to the current proposal, which is provided as Exhibit 9.

Per Town Code Section 29.40.0315, fences and gates are limited to six feet in height with one foot of lattice on top (seven feet total), but are limited to, "three feet in height when located within a required front or side yard abutting a street, driveway view area, traffic view area, or corner sight triangle unless an exception is granted by the Town Engineer and Community Development Director." The proposed fence is limited to three feet by Code, as it is within the required front yard setback. Although this is a corner lot, the proposed fence is not within a driveway view area, traffic view area, or corner sight triangle.

DISCUSSION (continued):

Town Code Section 29.40.0320, provided below, allows an exception to any of the fence regulations if a property owner can demonstrate that one of the following conditions exist.

*Sec. 29.40.0320. - Exceptions.*

*An exception to any of these fence regulations may be granted by the Community Development Director. A fence exception application and fee shall be filed with the Community Development Department and shall provide written justification that demonstrates one (1) of the following conditions exist:*

- (a) Adjacent to commercial property, perimeter fences or walls may be eight (8) feet if requested or agreed upon by a majority of the adjacent residential property owners.*
- (b) On interior lots, side yard and rear yard fences, walls, gates, gateways, entry arbors, or hedges, behind the front yard setback, may be a maximum of eight (8) feet high provided the property owner can provide written justification that either:
  - (1) A special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening; or*
  - (2) A special wildlife/animal problem affects the property that cannot be practically addressed through alternatives. Documented instances of wildlife grazing on gardens or ornamental landscaping may be an example of such a problem.**
- (c) At public utility facilities, critical infrastructure, and emergency access locations, exceptions may be granted where strict enforcement of these regulations will result in a security or safety concern.*
- (d) A special security concern exists that cannot be practically addressed through alternatives.*
- (e) A special circumstance exists, including lot size or configuration, where strict enforcement of these regulations would result in undue hardship.*

The Letter of Justification (Exhibit 5) cited condition (d) related to security, stating that the owners are concerned about the safety and liability due to the sidewalk area being used as a school pick up area and kids may climb over or sit on the fence if it was only three feet tall. Staff did not feel that this was a special security concern. The owners also verbally referenced the fence heights and locations at the Laurel Mews Residential Planned Development across the street as justification; however, neighborhood compatibility is not one of the listed conditions for fence height exception approval.

The Community Development Department denied the fence height exception on February 14, 2023 (Exhibit 7) for the reasons outlined above.



DISCUSSION (continued):

B. Appeal Analysis

The Decision of the Community Development Director to deny the fence height exception was appealed on February 24, 2023 (Exhibit 8).

In addition to the reasoning provided in the Letter of Justification (Exhibit 5), the property owner provided three additional justification points in the appeal packet (with corresponding pictures), provided below:

1. This is the side/rear fence of the house. Neighboring residences (built in 2013) have exactly the same side/rear fence, so this is not out of character for the location;
2. This helps with privacy since across the street there are commercial properties including car shops; and
3. The proposed fence with a 10-foot distance from the street replaces an open-view metal fence (roughly six feet high) which was taken down.

Regarding the first point in the appeal packet, this is not the side/rear fence as the Architecture and Site Application established the front yard in this area along Roberts Road. The 20-foot rear yard area is to the south of the new residence and attached garage. Although neighboring properties in the Laurel Mews Residential Planned Development have similar fences as to what is proposed with this exception, they are a part of a Planned Development that supersedes the Zoning Code and were built in 2013, prior to the 2019 update to the Town's fence regulations.

Regarding the second point, there is a commercial use with a large parking lot directly to the north, across Roberts Road. Town Code Section 29.40.0320(a) allows eight-foot perimeter fences or walls when adjacent to commercial property if agreed upon by a majority of the adjacent residential property owners. In this case, the commercial property is across the street and not immediately adjacent to a commercial property. This exception is generally used to build eight-foot masonry walls when residential properties back up to commercial property to ensure safety, privacy, and noise attenuation.

Regarding the final point, a fence existed within a foot or so from the existing sidewalk prior to the Architecture and Site Application approval. The fence is no longer existing, so staff could not take measurements, but it appears to be a roughly three to four-foot tall open-view rod-iron fence with wooden posts roughly one foot higher. This fence was removed, and the area of the previous fence has since been dedicated to the Town as required by the Architecture and Site Application. Town Code Section 29.40.0325 (Exemptions) allows an existing non-conforming fence to be maintained and/or replaced in kind; however, the location, height, and design has changed, so this would not be an in-kind replacement.

DISCUSSION (continued):

C. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The property owner is requesting that the Planning Commission reconsider the Community Development Director's decision to deny the fence height exception to allow a new six-foot tall wooden fence within the required front yard setback.

B. Recommendation

Staff recommends that the Planning Commission deny the appeal of the Community Development Director decision to deny the fence height exception application based on the reasoning provided in this report.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and approve the fence height exception with the finding in Exhibit 2 and the draft conditions provided in Exhibit 3; or
3. Grant the appeal with additional and/or modified conditions.

PAGE 7 OF 7

SUBJECT: 16185 George Street/FHE-22-008

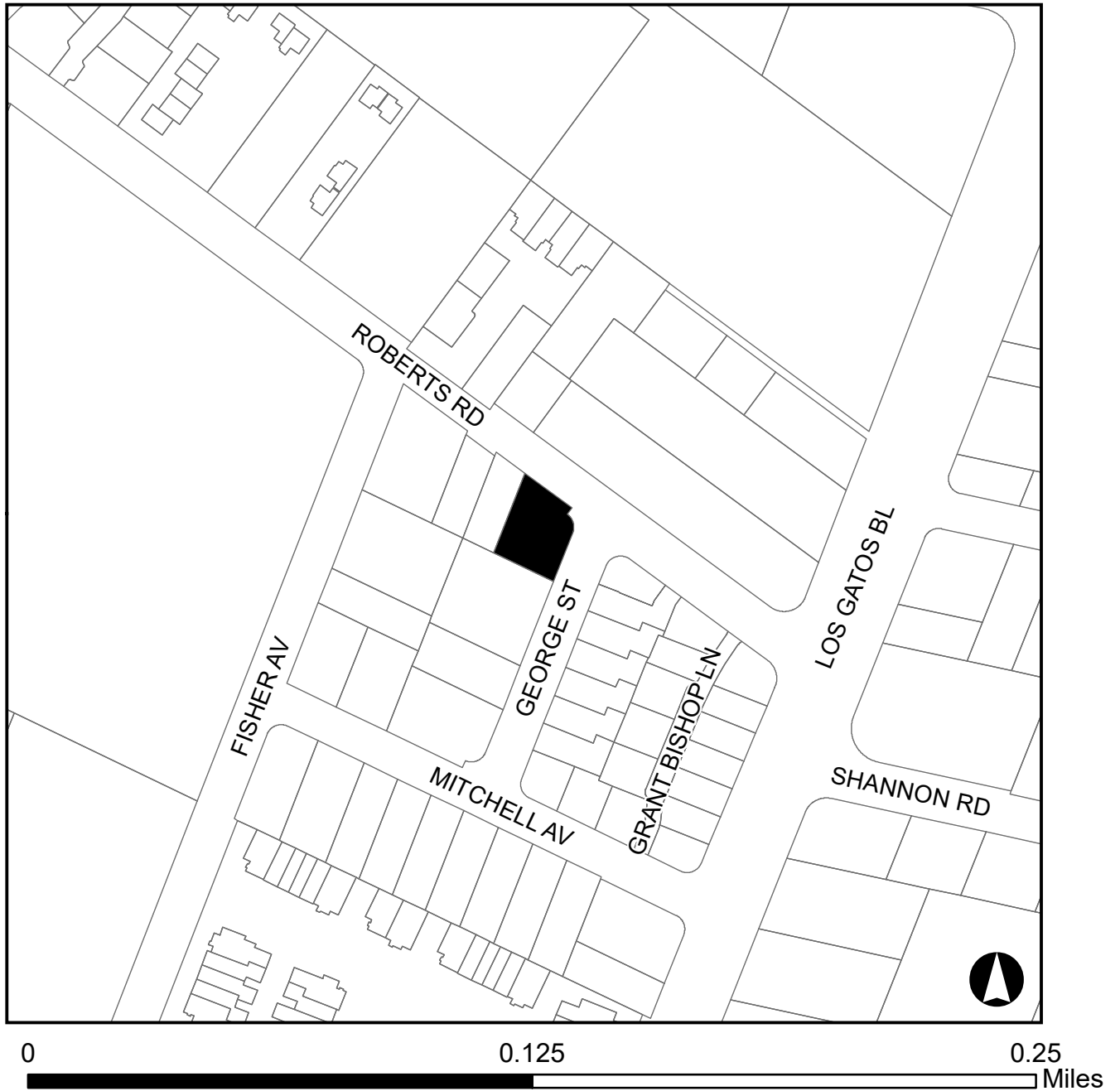
DATE: March 17, 2023

EXHIBITS:

1. Location Map
2. Required Finding
3. Recommended Conditions of Approval if Appeal is Granted
4. Project Plans, Received January 30, 2023
5. Letter of Justification, Received January 30, 2023
6. Neighborhood Outreach Summary, Received January 30, 2023
7. Fence Height Exception Denial Letter, Dated February 14, 2023
8. Appeal of the Community Development Director Decision, Received February 24, 2023
9. Diagram Showing Existing and Proposed Fence Design and Location
10. Pictures of Subject Property – Current Conditions and 2019 Conditions

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# 16185 George Street



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**PLANNING COMMISSION – March 22, 2023**  
**REQUIRED FINDING FOR:**

**16185 George Street**  
**Fence Height Exception FHE-22-008**

**Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback on Property Zoned R-M:5-12. APN 529-18-046.**

**Property Owner/Appellant: Antony Jayaraj.**

**Applicant: Sandra Paim.**

**Project Planner: Ryan Safty.**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

EXHIBIT 2

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**PLANNING COMMISSION – March 22, 2023**  
**DRAFT CONDITIONS OF APPROVAL**

**16185 George Street**  
**Fence Height Exception FHE-22-008**

**Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback on Property Zoned R-M:5-12. APN 529-18-046.**

**Property Owner/Appellant: Antony Jayaraj.**

**Applicant: Sandra Paim.**

**Project Planner: Ryan Safty.**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below.
2. EXPIRATION: The Fence Height Exception approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.

EXHIBIT 3

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SANTA CLARA FIRE DEPARTMENT - BUILDING PERMIT NO. B21-0029

THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA FIRE (CFC) & BUILDING (CBC) CODE, 2019 EDITION, AS ADOPTED BY THE TOWN OF LOS GATOS TOWN CODE (LGTC), CALIFORNIA CODE OF REGULATIONS (COR) AND HEALTH & SAFETY CODE.

THE SCOPE OF THIS PROJECT INCLUDES A NEW 3164 SF TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.

1.) REVIEW OF THIS DEVELOPMENT PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

2.) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED (NEW ONE-FAMILY DWELLING). (SEE NOTE THIS SHEET)

3.) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 35 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS WILL BE PROVIDED AS APPROPRIATE TO THE PROJECT.

4.) WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

5. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ALPHABETICAL OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 509.1.

CHANGING ACCESS FROM ROBERTS RD TO GEORGE ST WILL REQUIRE AN ADDRESS CHANGE FOR EMERGENCY RESPONSE. AN ADDRESS CHANGE IS IN PROGRESS. (ADDRESS CHANGE NOW COMPLETE - 16185 GEORGE STREET, LOS GATOS, CA)

THIS REVIEW SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE CALIFORNIA FIRE CODE OR OF OTHER LAWS OR REGULATIONS OF THE JURISDICTION. A PERMIT PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THE FIRE CODE OR OTHER SUCH LAWS OR REGULATIONS SHALL NOT BE VALID. ANY ADDITION TO OR ALTERATION OF APPROVED CONSTRUCTION DOCUMENTS SHALL BE APPROVED IN ADVANCE.

TREE PROTECTION NOTES

**Town of Los Gatos Tree Protection Conditions**

1. **TREE FENCING.** Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing hardscape, and placed no further than 60 inches from the existing structure. The fencing should consist of five-to six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaced apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.

2. The posts should be placed at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).

3. All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient mitigation: hand-digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undisturbed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.

4. Any future pathway or other landscape features established within a TPZ should be a raised or no-dig design, with a vertical soil core of no more than 2 to 3 inches (including for base material, edging and form); or where there are large surface roots (e.g. greater or equal to 2 inches in diameter), then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or subgrade must be avoided (foot tamping is acceptable), and soil fill used to level the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.

5. Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.

6. Staging areas and routes of access should be planned beyond tree canopies.

7. Preventative measures shall be implemented to avoid soil eroding or being spread/placed downhill beneath a tree's canopy.

8. Spoils created during digging should not be piled or spread on unpaved ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.

9. The limits of grading should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).

10. Great care must be taken during demolition of existing hardscape, curb/gutters, staircases, walkways, walls, sheds, foundations, fences, planter borders, mowlands, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.

11. Tree trunks must not be used as which supports for moving or lifting heavy loads.

12. Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.

13. Dust accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).

14. The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. Herbicides should not be used with a TPZ, where used on site, they should be labeled for safe use near trees.

15. The landscape design should conform to the following additional guidelines:

a. Plant material installed beneath the canopies of oaks must be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.

b. Irrigation can, overtime, adversely impact the oaks and should be avoided. Irrigation for any new plant material beneath an oak's canopy should be low volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).

c. Irrigation should not be applied within five feet from the oak trunks, or within six inches from the trunks of all other trees (existing and proposed).

d. Irrigation and lighting features (e.g. main line, lateral lines, valve boxes, wiring, and controllers) should be established so that no trenching occurs within a TPZ. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a trunk (various casing pit). Should this not be possible, the work may need to be performed using a pneumatic air device to avoid root damage.

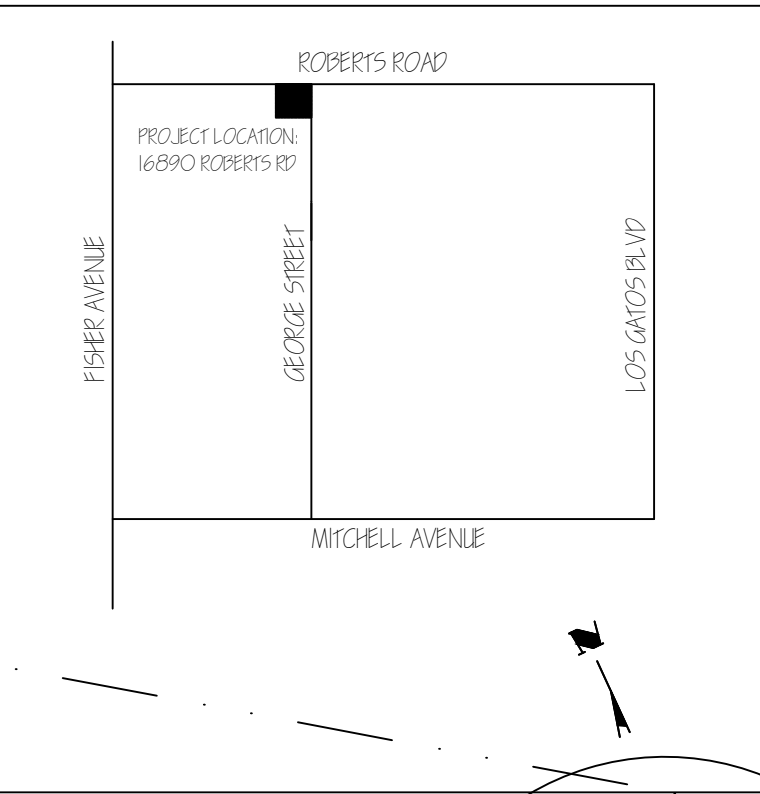
e. Ground cover beneath canopies should be compromised of a three-to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the tree trunk.

TREE TABLE				
SYMBOL	TRUNK SIZE	TYPE	DIAPHRAGM	HEIGHT
1	24" DIA	EX. OAK TREE	24'	24'
2	32" DIA	EX. OAK TREE	40'	32'
3	32" DIA	EX. OAK TREE	32'	32'

OWNER CONTACT INFORMATION

OWNERS	ANTONY AND TWINKLE JAYARAJ
MAILING ADDRESS	16890 ROBERTS RD, LOS GATOS, CA 95032
E-MAIL	AJAYARAJ@GMAIL.COM

VICINITY MAP



PROJECT SCOPE

DEMO EXISTING SINGLE FAMILY HOME (HPC APPROVED REMOVAL FROM INVENTORY SEPT 2019)

BUILD NEW TWO STORY HOME WITH ATTACHED GARAGE

UPGRADE UTILITIES; PROTECT AND MAINTAIN TREES;

10' TOWN DEDICATION (ROBERTS RD)

NEW DRIVEWAY/ CURB CUT; NO GRADING

AUTOMATIC FIRE SPRINKLERS; PER NFPA 13B & LOS GATOS AMENDMENTS

FENCE HEIGHT EXCEPTION: 6 FOOT HIGH WOOD FENCE (20% OPEN) (SEE PHOTO & DETAIL)

SHEET INDEX

A-0	CONDITIONS OF APPROVAL	
C-1	EXISTING CONDITIONS AND LOT DEDICATION	
C-2	(CIVIL) SITE PLAN	
C-3	EROSION CONTROL/ CONSTRUCTION SITE MANAGEMENT	
C-4	GRADING & EROSION CONTROL DETAILS	
A-1	SITE PLAN, BUILDING & SITE DATA, PROJECT SCOPE, SHEET INDEX, VICINITY MAP, CONTACT INFORMATION, FIRE DEPARTMENT NOTES, TREE TABLE, TREE PROTECTION	
A-2.1	FIRST FLOOR PLAN	
A-2.2	SECOND FLOOR PLAN	
A-3.1	CEILING PLAN/ ROOF PLANS	
A-4.1	ELEVATIONS	
A-4.2	ELEVATIONS	SDN GENERAL NOTES
A-5.1	CROSS SECTIONS	SD1 FRAMING DETAILS 5
A-6	WINDOWS/ DOORS	SD2 FRAMING DETAILS 5
E-1	MEP - FIRST FLOOR	SD3 FOUNDATION DETAILS 5
E-2	MEP - SECOND FLOOR	SI FLOOR FRAMING PLAN
T24-1	ENERGY REPORT	S2 ROOF FRAMING PLAN
T24-2	ENERGY REPORT	S3

BUILDING & LOT AREAS

LOT AREA					
GROSS AREA	8963 SF.				
10' DEDICATION	756 SF.				
NET AREA	8207 SF.				
IMPERVIOUS COVERAGE ... SF.					
	STRUCT. COV. - PATIOS	COVERED - PORCHES	P.W.	PATIO	WALK.
EXISTING	1104 + 300 + 50		1000	200	75
PROPOSED	1406.8 + 507 + 191		460	400	100
STRUCTURAL COVERAGE ... SF.					
	STRUCT. COV. - PORCHES + BALCONIES	TOTAL			
EXISTING	1104 + 300 + 50 + 0	1454			
PROPOSED	1406.8 + 507 + 191 + 129.4	2234.2			
ALLOWED	3389.2	3253.2			
BUILDING AREAS ... SF.					
					TOTAL (GROSS)
FIRST FLOOR	1406.8				1406.8
SECOND FLOOR	1250				1250
SUB TOTAL					2656.8
					32.3% FAR
GARAGE					507
					6% FAR
	MAX ALLOWABLE HOUSE F.A.R. - 2662 SF.				
	MAX ALLOWABLE GARAGE F.A.R. - 747 SF.				
	MAX LOT COVERAGE ALLOWED: 40% OF NET LOT AREA = 3283.2 SF				
	PROPOSED SITE COVERAGE = 2234.2 SF = 27.2%				

BUILDING & SITE DATA

GENERAL INFORMATION

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

AVERAGE SITE SLOPE: 2%

ASSESSOR'S PARCEL NUMBER: 529-18-046

ZONING DESIGNATION: R-M: S-12

LAND USE: MULTI-FAMILY - MEDIUM DENSITY

CONSTRUCTION: TYPE V-B OCCUPANCY CLASS: R-3/ U

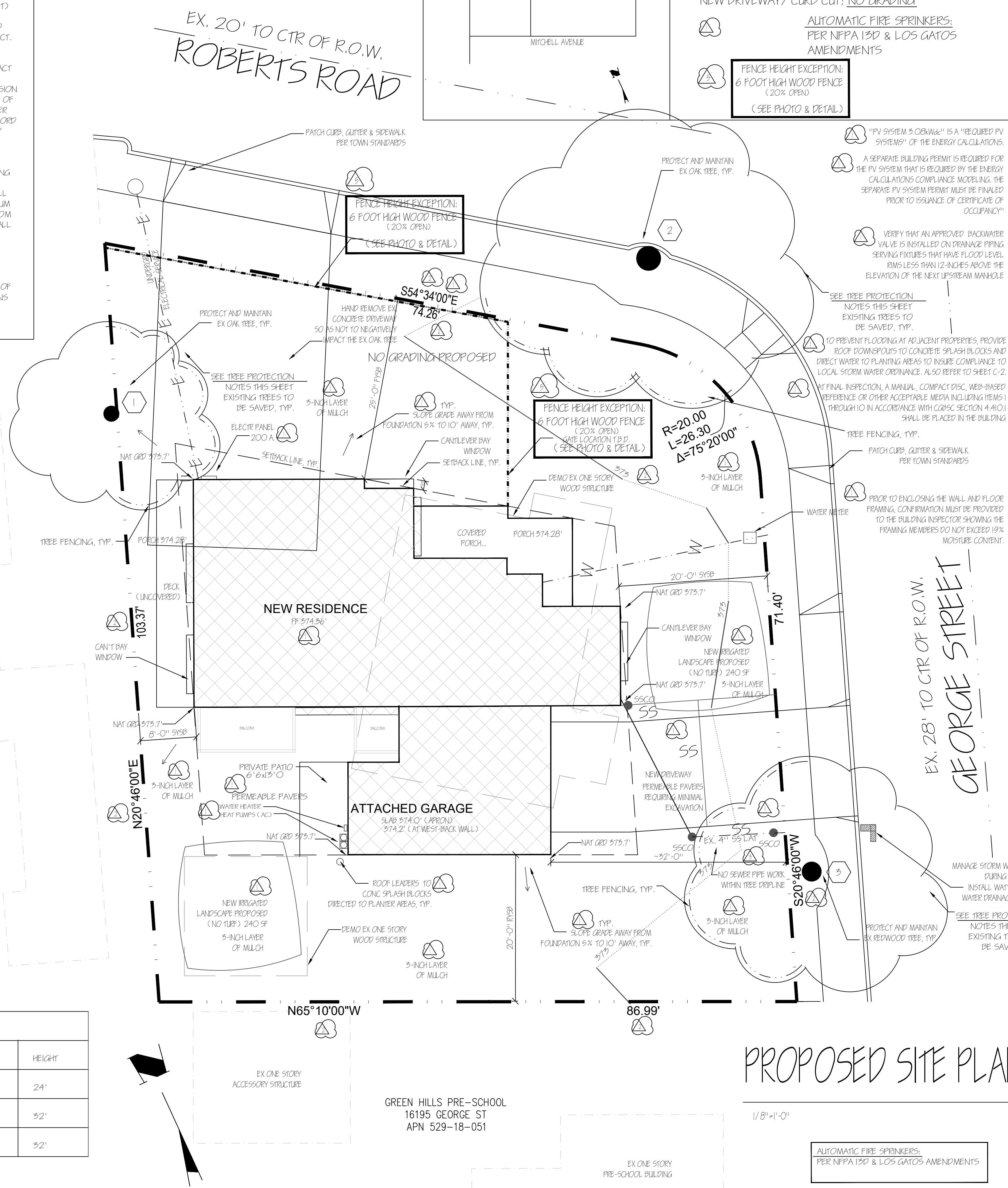
APPLICABLE CODES

2019 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES

LEGEND

- WALL PERIMETER
- SETBACK
- PROPERTY LINE
- TOPOGRAPHIC CONTOUR LINE
- GAS LINE
- SEWER LINE
- ELECTRIC LINE
- WATER LINE
- TREE FENCING
- EX. TREE DRIP LINE

0' 8' 16' 32'



SANDRA PAIM ARCHITECT

Residential Commercial Historical

P.O. Box 2136  
Los Gatos, Calif. 95031-2136

408-315-1403

www.sandrapaim.com

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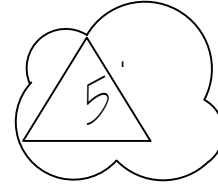
APN 529-18-046

JAYARAJ RESIDENCE  
16185 GEORGE STREET  
LOS GATOS, CA 95030

PRELIM SET	
PL CHK SET	X
PRICING SET	12-21-20
CONSTR SET	

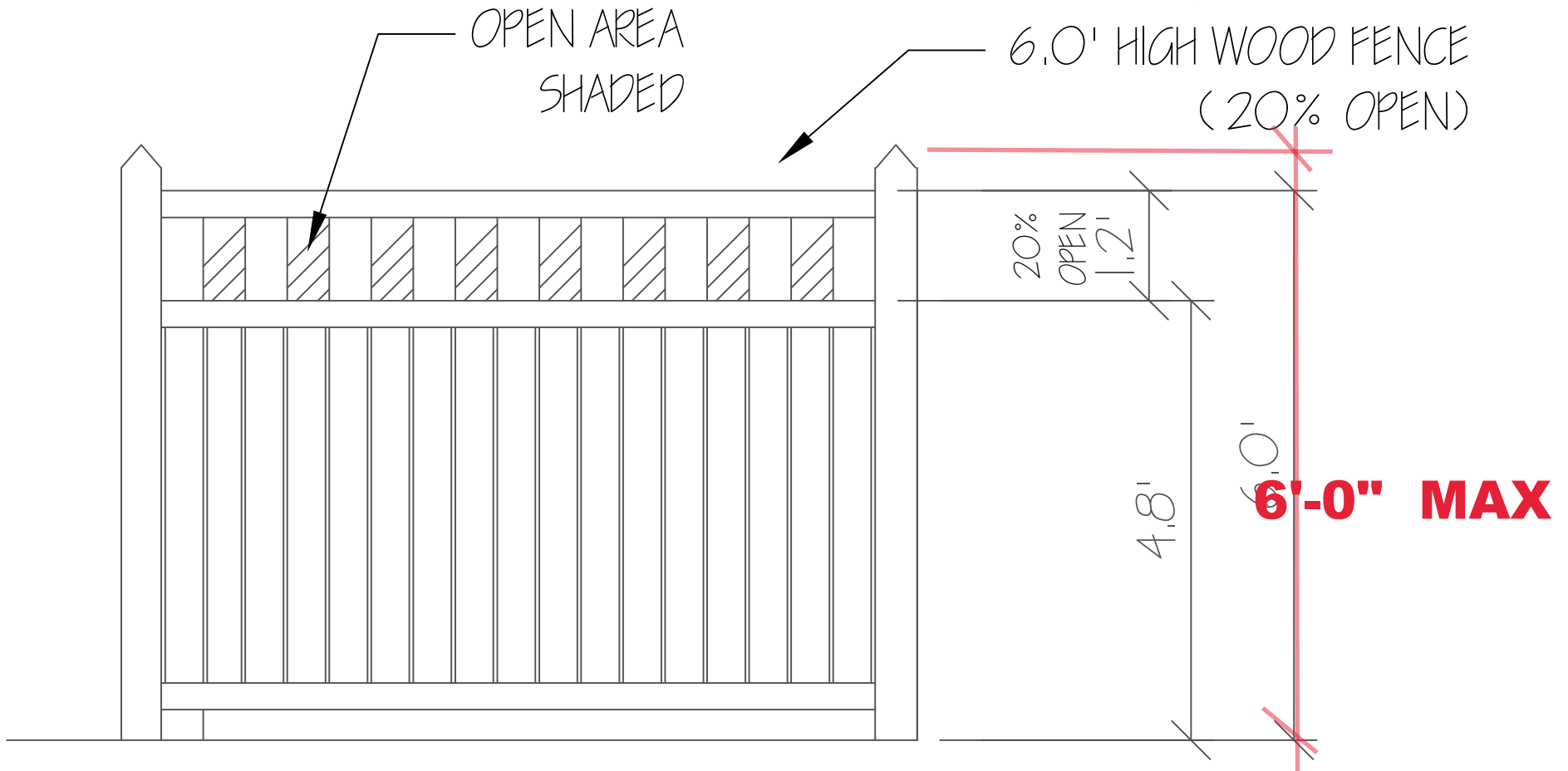
A-1





FENCE HEIGHT EXCEPTION:  
6.0' HIGH WOOD FENCE  
(20% OPEN)

OPEN AREA  
SHADED



Joel Paulson  
Planning Director  
Town of Los Gatos

December 7, 2022 \*Revised January 24, 2023\*

RE: Fence Height exception  
16185 George Street

Dear Joel,

Please accept our request for a fence height exception at Roberts Rd. based on a considerable safety and security concern as specifically outlined in the zoning regulations for fence height exceptions.

We are proposing a 6 foot high wood fence (20% open).

We are concerned about the safety and liability due to that sidewalk area being used as a school pick up area and the kids may climb over or sit on the fence if it was built at the required 3 foot height. \*Per Sect. 29.40.0320 exceptions, the situation demonstrates that (d) a special security concern exists that cannot be practically addressed through alternatives.\*

- See Site Plan for location and description of proposed 6 foot wood fence (20% open
- See Fence Detail ). \*As measured to the top of posts\*
- See Concept Photo of fence at corner of George Street and Mitchell

Please contact me with any comments or questions.

Sandra Paim Architect  
(408) 315-1403



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To,  
Ryan Safty  
Community Development Department  
Los Gatos CA 95030

From,  
Antony & Twinkle Jayaraj  
16185 George Street  
Los Gatos, CA 95032

Sub: Neighborhood outreach for fence height exception FHE-22-008

Dear Mr.Safty,  
We have reached out to following neighbors regarding fence height exception request FHE-22-008 at Roberts Road.

A cover letter, fence details and site plan was mailed to following addresses on Jan 10, 2023 and we didn't receive any comments or concerns as of 01/24/2023.

1. 16870 Roberts Rd, Los Gatos, CA 95032
2. 16200 George St, Los Gatos, CA 95032
3. 16204 George St, Los Gatos, CA 95032
4. 16195 George St, Los Gatos, CA 95032
5. 16900 Roberts Rd, Los Gatos, CA 95032
6. 16910 Roberts Rd, Los Gatos, CA 95032

Please see the cover letter attached below.

Regards,  
Antony & twinkle Jayaraj

Cover letter for neighborhood outreach

From,  
Antony & Twinkle Jayaraj  
16185 George Street  
Los Gatos, CA 95032

Sub : Fence height exemption request at Roberts Road fence

Hi Neighbor,

Happy new year! We are your neighbors at 16185 George Street and have filed a fence height exception FHE-22-008 at Los Gatos Town.

The exception request is for the Roberts Road side of the property to increase fence height from 3 ft to 6 ft with a 20 % open view fence. The exception doesn't affect the corner sight angle for traffic at Roberts and George Street intersection.

Please see attached the site plan with the proposed fence details attached.

If you need more details or have comments/concerns about our plans, please contact us at [aajayaraj@gmail.com](mailto:aajayaraj@gmail.com) (Ph- 408 332 1085) or our architect at [sandra@sandrapaim.com](mailto:sandra@sandrapaim.com) (Ph:-408 315 1403).

Thanks and Regards,  
Antony & Twinkle Jayaraj  
January 10, 2023



## TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

February 14, 2023

Sandra Paim  
PO Box 2136  
Los Gatos, CA 95031

**RE: 16185 George Street**  
Fence Height Exception (FHE-22-008)

Requesting Approval for an Exception to Construct a Six (6) Foot Tall Fence Within the Required Front Yard Setback on Property Zoned R-M:5-12. APN 529-18-046.

APPLICANT: Sandra Paim

The Los Gatos Community Development Department and Parks and Public Works Department have reviewed the referenced application for a fence height exception pursuant to Section 29.40.0320. On February 14, 2023, the Los Gatos Community Development Department has **denied** the request as the required findings (special security concern) could not be made.

PLEASE NOTE: Pursuant to Section 29.20.255 of the Town Code, this decision may be appealed to the Planning Commission within 10 days of the denial date. Any interested person may appeal this decision to the Planning Commission. Appeals, with the completed Appeal Form and appeal fee payment, must be submitted within 10 days from the date of denial, or by 4:00 p.m., February 23, 2023.

If you have any questions concerning this decision, please contact Project Planner Ryan Safty at (408) 354-6802 or via email at [RSafty@losgatosca.gov](mailto:RSafty@losgatosca.gov).

Sincerely,

Ryan Safty  
Associate Planner

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**TOWN OF LOS GATOS**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
 110 E. Main Street  
 Los Gatos, CA 95030

**RECEIVED**

**FEB 24 2023**

**TOWN OF LOS GATOS  
PLANNING DIVISION**

**APPEAL OF THE DECISION OF  
DIRECTOR OF COMMUNITY DEVELOPMENT**

**PLEASE TYPE or PRINT NEATLY**

I, the undersigned, do hereby appeal a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

DATE OF DECISION: 02-14-2023

PROJECT/APPLICATION: Fence Height Exception (FHE-22-008)

LOCATION: 16185 George Street, Los Gatos

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Director.

*Interested person means:*

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

**LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:**

This is side/rear fence of the house. Neighboring residences (built in 2013) have exactly same side/rear fence, so this is not out of character for the location.

This helps with privacy since across the street there are commercial properties including car shops.

The proposed fence with a 10ft distance from the street replaces a openview metal fence (~ 6ft high) which was taken down.

**IMPORTANT:**

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Director of Community Development. If the tenth (10<sup>th</sup>) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10<sup>th</sup>) day. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) days after the date of the filing of the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

**RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT**

PRINT NAME: Antony Jayaraj Alappat

SIGNATURE: 

DATE: 02-23-2023

ADDRESS: 16185 George Street, Los Gatos, CA 95032

PHONE: 4083321085

EMAIL: aajayaraj@gmail.com

\*\*\*\*\*

**OFFICE USE ONLY**

DATE OF PLANNING COMMISSION HEARING: \_\_\_\_\_

COMMISSION ACTION: 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_

DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

✓ PLAPPEAL \$ 234.00 Residential  
 PLAPPEAL \$ 934.00 Commercial  
 PLAPPEAL \$ 95.00 Tree Appeals

Fence at 16870 Roberts Road (Next door property built in 2013)

- Fence height 6ft 4 inches
- Distance of fence from side walk – 2ft 9 inches

The proposed fence is in alignment with neighborhood character





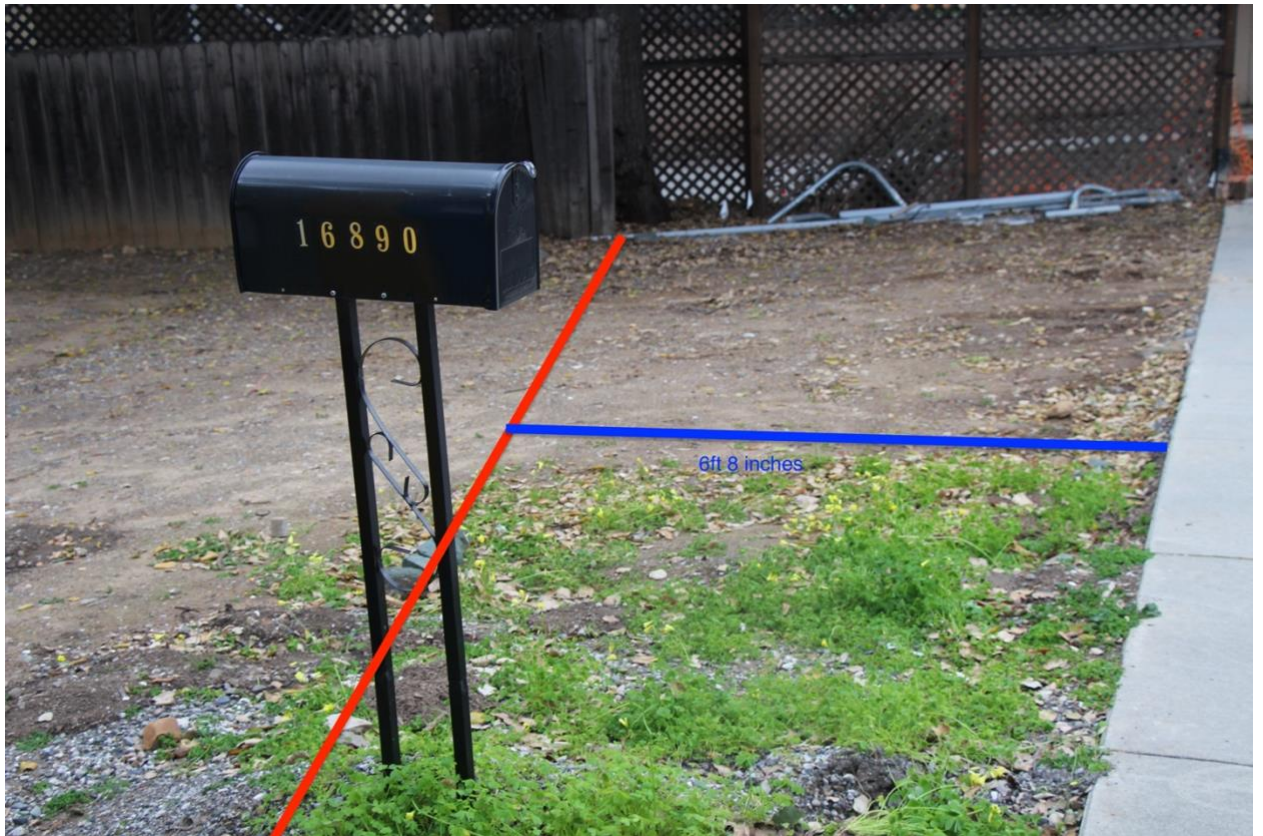
The fence helps with privacy with Commercial activity across Roberts road. Town code allows increased height near commercial activity zones.



Previous fence



Approximate new fence location



The fence will be around 6 ft 8 inches away from sidewalk, outside the 10ft we have dedicated to the town for public improvement. The property line was in the middle of the sidewalk before the dedication.

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EX. 20' TO CTR OF R.O.W.  
**ROBERTS ROAD**

NEW DRIVEWAY / CURB CUT; NO GRADING  
 SOLAR PANELS

Old property line

New property line



**Old Fence**

**Proposed Fence**

FENCE HEIGHT EXCEPTION:  
 6.0' HIGH WOOD FENCE  
 (20% OPEN)

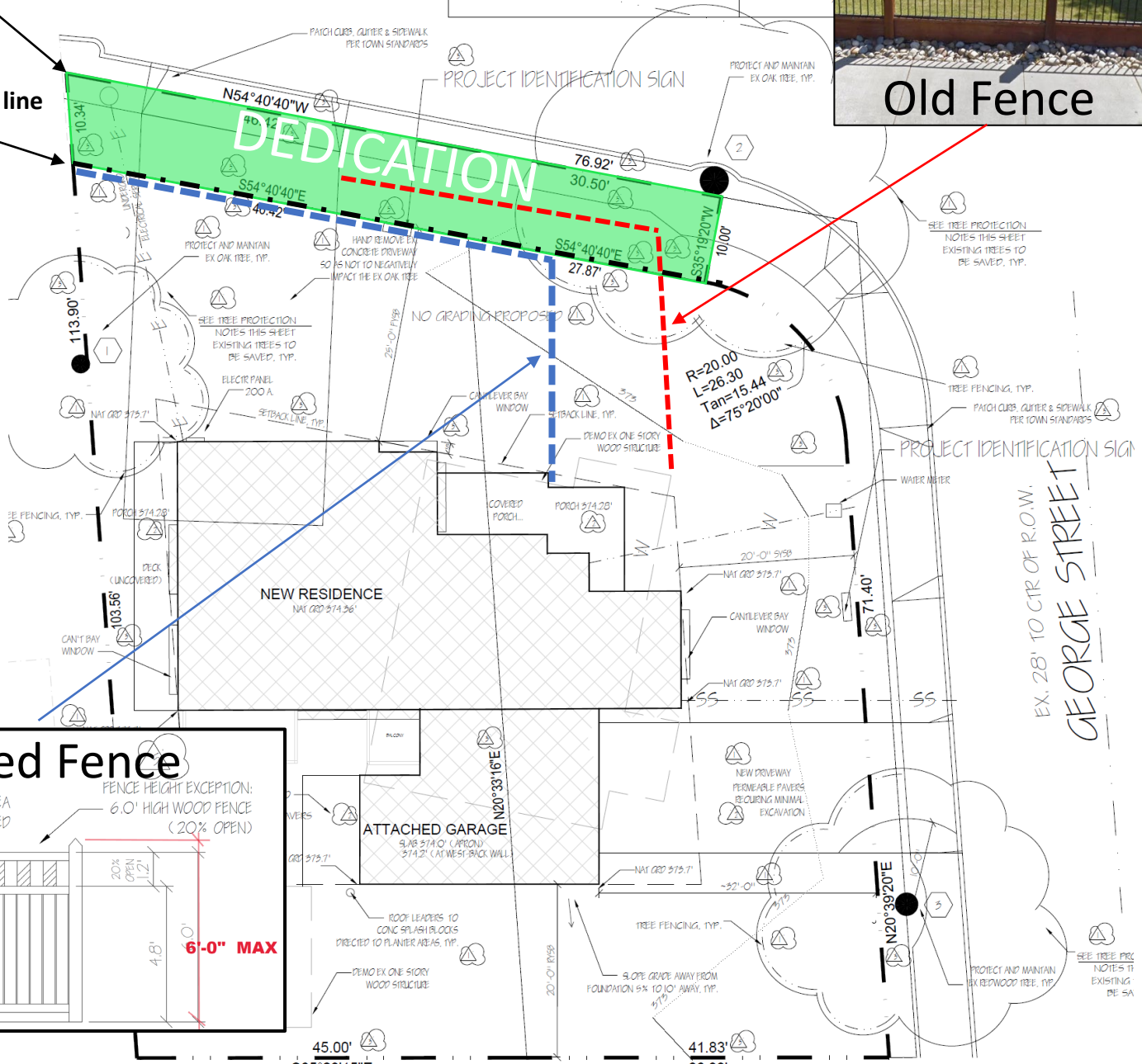
OPEN AREA  
 SHADED

20% OPEN  
 1.2'

4.8'

**6'-0" MAX**

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February, 2023





February, 2023





April, 2019





April, 2019





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 03/22/2023

ITEM NO: 4

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DATE: March 17, 2023  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed the Maximum Allowed Floor Area, and a Variance for the Required Front Setback and the Parking Requirements on Property Zoned R-1D:LHP. **Located at 114 Wilder Avenue.** APN 510-17-072. Architecture and Site Application S-22-030 and Variance Application V-22-002. Property Owner: Alvaro Anzoategui. Applicant: David Kuoppamaki.

RECOMMENDATION:

Approval.

PROJECT DATA:

General Plan Designation: Medium Density Residential  
Zoning Designation: R-1D:LHP – Single-family Residential Downtown (5,000 square-foot minimum) with a Landmark and Historic Preservation Overlay  
Applicable Plans & Standards: General Plan, Residential Design Guidelines  
Parcel Size: 5,366 square feet  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1D:LHP
South	Residential	Medium Density Residential	R-1D:LHP
East	Commercial	Central Business District	C-2:LHP and C-2
West	Residential	Medium Density Residential	R-1D:LHP

PREPARED BY: Jocelyn Shoopman  
Associate Planner

---

Reviewed by: Planning Manager and Community Development Director

---

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, 15303: New Construction.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, 15303: New Construction.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of an existing residence.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except the request to exceed the FAR standards, the required front setback, and the required number of parking spaces.
- As required by Section 29.40.075(c) of the Town Code for granting approval of an exception to the FAR standards.
- As required by Section 29.20.170 of the Town Code for granting a Variance application.
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the east side of Wilder Avenue in the Almond Grove Historic District (Exhibit 1). The subject property is approximately 5,366 square feet, where 5,000 square feet is required for a parcel in the R-1D zone. The site is developed with a 1,000 square-foot single-story residence. The applicant proposes demolition of the existing single-family residence and construction of a new two-story single-family residence that will exceed floor area ratio (FAR) standards (Exhibit 12). The project also requests a Variance to the required front setback and the required number of parking spaces for a single-family dwelling.

The project is being considered by the Planning Commission due to the request to exceed the maximum allowable FAR and the request for a Variance to the required front setback and the required number of parking spaces for a single-family dwelling in the Almond Grove Historic District.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is approximately 5,366 square feet, located on the east side of Wilder Avenue in the Almond Grove Historic District (Exhibit 1). The property is developed with a single-story residence. The subject site and surrounding properties to the north, west, and south are comprised of single-family homes. The properties to the east are comprised of commercial uses.

B. Project Summary

The applicant proposes demolition of the existing single-family residence and construction of a new 2,340-square foot single-family residence with a 513-square foot attached garage (Exhibit 12). The proposed residence would exceed the allowable FAR by 478 square feet. In addition, the proposed residence includes a front setback of approximately 11 feet, 8 inches, where 15 feet is required. The project includes one off-street parking space, where two spaces are required.

C. Zoning Compliance

The subject property is approximately 5,366 square feet, where 5,000 square feet is required for a parcel in the R-1D zone. A single-family residence is permitted in the R-1D zone. The proposed residence complies with the zoning regulations for height. The applicant requests approval to exceed the allowable FAR for the residence and a Variance to the Town Code for the required front setback and the required number of parking spaces.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes demolition of the existing single-story residence and construction of a 2,340-square foot two-story residence with a 513-square foot attached garage and 2,202 square feet of below grade square footage, of which 1,991 square feet would not count towards the allowable floor area; however, 211 square feet of below-grade square footage would count towards the allowable floor area as it extends beyond the enclosed building footprint of the main building pursuant to Section 29.40.072 of the Town Code. A portion of the right-hand side of the proposed porch would have a front setback of approximately 11 feet, 8 inches where 15 feet is required, as discussed in Section D below. The project also includes one off-street parking space, where two spaces are required by the Town Code, as discussed in Section E below. The applicant provided a Letter of Justification discussing the project (Exhibit 8).



PROJECT DESCRIPTION (continued):

The applicant is requesting approval to exceed the FAR standards for the property by approximately 478 square feet, including 211 square feet of below-grade square footage that counts towards the allowable floor area as described above. The Town Code allows for an FAR greater than what is allowed when determined to be consistent with the Residential Design Guidelines and compatible with the setbacks and FAR of development on surrounding properties, as discussed in Section B below. The applicant provided a Letter of Justification discussing the project and the requested FAR exceedance (Exhibit 8).

A summary of the floor area for the existing and proposed residence is included in the table below.

**Floor Area Summary**

	Existing SF	Proposed SF	Allowed SF
Main Residence			
First Floor	1,000	1,477	--
Second Floor	--	652	--
Countable Below-Grade Area	--	211	--
<b>Total</b>	<b>1,000</b>	<b>2,340</b>	<b>1,862</b>
Below-Grade Area*	0	1,991	--
Garage	178	513	531
* Pursuant to Sec. 29.10.020, floor area means the entire enclosed area of all floors that are more than four feet above the proposed grade, measured from the outer face of exterior walls or in the case of party walls from the centerline.			

The neighborhood compatibility of the proposed floor area is discussed in Section B below.

**B. Neighborhood Compatibility**

Pursuant to Section 29.40.075 of the Town Code, the maximum FAR for the subject property is 0.35 (1,862 square feet). The proposed residence would have an FAR of 0.44 (2,340 square feet), exceeding the maximum allowable floor area by 478 square feet. The table on the following page reflects the current conditions of the homes in the immediate area and the proposed project.

PROJECT DESCRIPTION (continued):**Immediate Neighborhood Comparison**

Address	Zoning	House SF	Garage SF	Total SF	Site SF	Building FAR	Exceed FAR?
104 Wilder Ave.	R-1D:LHP	2,117	720	2,837	6,456	0.33	No
112 Wilder Ave.	R-1D:LHP	2,508	576	3,084	7,624	0.33	No
122 Wilder Ave.	R-1D:LHP	1,912	559	2,471	5,597	0.34	No
124 Wilder Ave.	R-1D:LHP	1,108	408	1,516	5,611	0.20	No
107 Wilder Ave.	R-1D:LHP	2,048	0	2,048	7,515	0.27	No
113 Wilder Ave.	R-1D:LHP	2,288	420	2,708	7,769	0.29	No
115 Wilder Ave.	R-1D:LHP	968	0	968	6,872	0.14	No
121 Wilder Ave.	R-1D:LHP	1,692	220	1,912	6,103	0.28	No
123 Wilder Ave.	R-1D:LHP	2,299	560	2,859	6,100	0.38	Yes, by 218 sf
<b>114 Wilder Ave. (E)</b>	<b>R-1D:LHP</b>	<b>1,000</b>	<b>0</b>	<b>1,000</b>	<b>5,366</b>	<b>0.19</b>	<b>No</b>
<b>114 Wilder Ave. (P)</b>	<b>R-1D:LHP</b>	<b>2,340</b>	<b>513</b>	<b>1,862</b>	<b>5,366</b>	<b>0.44</b>	<b>Yes, by 478 sf</b>

Based on Town and County records, the homes in the immediate neighborhood range in size from 968 square feet to 2,508 square feet and building FARs range from 0.14 to 0.38. The applicant is proposing a 2,340-square foot residence (including 211 square feet of countable below-grade square footage) and a 513-square foot attached garage on a 5,366-square foot parcel. The proposed residence would be the second largest in terms of square footage and the largest in terms of FAR in the immediate neighborhood.

As shown in the table below, should the Planning Commission choose to consider a greater view of the immediate neighborhood, there are six homes along Wilder Avenue that currently exceed their maximum allowable FAR (Sheet PLN0, Exhibit 12).

**Greater Immediate Neighborhood Comparison**

Address	Zoning	House SF	Garage SF	Total SF	Site SF	Building FAR	Exceed FAR?
100 Wilder Ave.	R-1D:LHP	1,776	624	2,400	4,435	0.40	Yes, by 182 sf
128 Wilder Ave.	R-1D:LHP	1,975	484	2,459	5,621	0.35	Yes, by 36 sf
134 Wilder Ave.	R-1D:LHP	2,770	0	2,770	6,552	0.42	Yes, by 558 sf
138 Wilder Ave.	R-1D:LHP	788	0	788	6,173	0.13	No
140 Wilder Ave.	R-1D:LHP	2,104	660	2,764	6,977	0.30	No
146 Wilder Ave.	R-1D:LHP	2,213	619	2,832	5,833	0.38	Yes, by 210 sf
150 Wilder Ave.	R-1D:LHP	1,398	484	1,882	6,613	0.21	No
101 Wilder Ave.	R-1D:LHP	2,500	320	2,820	5,690	0.44	Yes, by 540 sf
127 Wilder Ave.	R-1D:LHP	1,215	0	1,215	6,077	0.20	No
131 Wilder Ave.	R-1D:LHP	1,563	382	1,945	6,118	0.26	No
135 Wilder Ave.	R-1D:LHP	1,787	413	2,200	6,050	0.30	No
139 Wilder Ave.	R-1D:LHP	2,191	588	2,779	6,138	0.36	Yes, by 99 sf
145 Wilder Ave.	R-1D:LHP	1,190	247	1,437	6,632	0.18	No
147 Wilder Ave.	R-1D:LHP	787	360	1,147	6,751	0.12	No

PROJECT DESCRIPTION (continued):

Section 29.40.075(c) of the Town Code states that the deciding body may allow a FAR in excess of the maximum allowed FAR if the following findings can be made:

1. The design theme, sense of scale, exterior materials, and details of the proposed project are consistent with the provisions of the adopted residential development standards; and
2. The lot coverage, setbacks, and FAR of the proposed project is compatible with the development on surrounding lots.

Exhibit 8 contains the applicant's Letter of Justification addressing the findings required to grant an exception to the maximum allowable FAR. In addition, the applicant states that the proposed residence has been designed and sized to be compatible with the immediate neighborhood, the greater immediate neighborhood, and existing residences that currently exceed their maximum allowable FAR. A neighborhood house size comparison chart has been included on Sheet PLN0 of the Development Plans (Exhibit 12).

C. Building Design

The applicant proposes a California cottage two-story residence. Proposed exterior materials include a cedar shake roof, horizontal siding, smooth stucco, a carriage style garage door with 12 window lites, and wood porch columns (Exhibit 12).

On January 27, 2021, the Historic Preservation Committee (HPC) considered a request for determination regarding the contributing status of the existing residence (Exhibit 4). The Committee determined that the existing residence is not historically or architecturally significant and noted that the Sanborn Fire Insurance Maps indicate that the existing residence was likely constructed after 1944.

On July 27, 2022, the HPC considered a preliminary review of a proposal for demolition of an existing non-contributing single-family residence and construction of a new single-family residence to exceed FAR standards and a Variance to front yard setback requirements and parking requirements (Exhibit 5). The HPC discussed the item and recommended that the applicant:

- Consider ways to break up the massing at the front of the residence;
- Consider a garage door finish or color that is less contrasting with the balance of the residence;
- Explore finishes for the brick that are more consistent with the Historic District; and
- Minimize the view of the guard rails around the front light well as it interrupts the flow of the porch.



PROJECT DESCRIPTION (continued):

Revised development plans were submitted on July 13, 2022. The revised plans show that the applicant responded to the July 27, 2022, recommendations of the HPC by:

- Providing justification for the massing of the front elevation and use of the brick material elsewhere on homes in the Almond Grove District; and
- Eliminating a light well along the front porch.

On September 28, 2022, the HPC considered the Architecture and Site application as a formal public hearing item (Exhibit 6). The HPC discussed the item and provided the following recommendations to the applicant, similar to the recommendations provided at the July 27, 2022, meeting:

- Consider ways to break up the massing at the front of the residence;
- Consider a less modern garage door, stylistically; and
- Consider another finish besides a whitewash for the brick that is more consistent with the Historic District.

On October 26, 2022, the HPC reviewed the proposed project, which included revisions in response to their comments, and forwarded a recommendation of approval of the proposed design with a recommendation that the garage door include 12 window lites (Exhibit 7).

D. Variance – Setbacks

The applicant is requesting a Variance from Section 29.40.740 of the Town Code for the required front setback in the R-1D zone.

Pursuant to Town Code, the required front setback in the R-1D zone is 15 feet. The main residence complies with the setback requirements; however, due to the angular shape of the front property line, a majority of the proposed covered porch, including three of the four wood columns encroaches within the required front setback. The proposed front porch along the right-hand side has an approximately 11-foot, eight-inch setback.

The applicant has provided a Neighborhood Context Map (Attachment 12, Sheet PLN0) showing how the proposed front porch setback is compatible with other properties in both the immediate and greater neighborhood context that also have front porches that encroach within the required front setback.

As required by Section 29.20.170 of the Town Code, the Planning Commission, on the basis of the evidence submitted at the hearing, may grant a Variance if it finds that:

PROJECT DESCRIPTION (continued):

1. Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
2. The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

In response to the required findings for a Variance, the applicant has provided justification that the request is in keeping with the neighborhood context and three other homes in the immediate neighborhood have porches that encroach within the required front setback with an additional six homes in the greater immediate neighborhood with porches that encroach within the required front setback (Exhibit 8 and Sheet PLN0, Exhibit 12).

E. Variance – Parking

The applicant is requesting a Variance from Section 29.10.150 of the Town Code for the required number of parking spaces for a single-family dwelling. Section 29.10.150(c)(1) of the Town Code requires two parking spaces for a single-family dwelling. The applicant is proposing a tandem two-car garage with an interior dimension of 11 feet by 40 feet. Pursuant to Town Code, a garage that is required parking for a single-family dwelling, shall have at least 20 feet by 20 feet clear inside dimension for a two-car garage and 11 feet by 20 feet for a one-car garage.

As required by Section 29.20.170 of the Town Code, the Planning Commission, on the basis of the evidence submitted at the hearing, may grant a Variance if it finds that:

1. Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
2. The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

In response to the required findings for a Variance, the applicant has provided justification that due to the shape of the parcel, it is not possible to construct a detached garage with vehicular access along Victory Lane like the majority of the homes on Wilder Avenue.

Therefore, in order to have a garage, the residence is required to have a garage facing Wilder Avenue and to maintain consistency with the appearance of the existing

PROJECT DESCRIPTION (continued):

neighborhood front facades, a single-wide garage with tandem parking is proposed (Exhibit 8).

F. Trees

The Town's Consulting Arborist reviewed the proposed project and provided recommendations for protection of the existing trees within the construction area (Exhibit 9). The Town Arborist identified four protected trees on the site and one protected tree on an adjacent property. Tree number 812, an Olive tree, is proposed for removal, but is exempt from the Tree Protection Ordinance as it is a fruit tree. No additional on-site trees are proposed for removal. Based on the recommendation of the Town's Consulting Arborist, exploratory trenching for Tree number 813 was completed by the applicant. The Consulting Arborist's supplemental report is provided in Exhibit 10. Arborist recommendations for tree protection have been included in the Conditions of Approval (Exhibit 3).

G. Neighbor Outreach

The property owner has indicated that they have shared the plans with surrounding neighbors as outlined in Exhibit 8.

H. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Sections 15303: New Construction.

PUBLIC COMMENTS:

Story poles and project signage were installed on the site by February 28, 2023, in anticipation of the March 22, 2023, Planning Commission hearing. Neighborhood letters of support for the project are included in Exhibit 11. At the time of this report's preparation, the Town has not received any public comment.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for construction a new two-story single-family residence to exceed FAR standards and a Variance to the front setback and the required number of parking spaces in the Almond Grove Historic

CONCLUSION (continued):

District. The applicant has responded to all recommendations of the HPC, who forwarded a recommendation of approval for the project. The applicant provided justification for the proposed FAR exceedance and the Variances to the front setback and parking requirements, demonstrating their consistency with the immediate and greater neighborhood, and a special circumstance given that the parcel has no rear vehicular access along Victory Lane.

B. Recommendation

Based on the analysis above, staff recommends approval of the Architecture and Site application and Variance application subject to the recommended conditions of approval (Exhibit 3). If the Planning Commission finds merit with the proposed project, it should:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
2. Make the finding as required by Section 29.10.09030(e) of the Town Code for the demolition of an existing structure (Exhibit 2);
3. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) except the request to exceed the FAR standards, the required front setback, and the required number of parking spaces (Exhibit 2);
4. Make the findings as required by Section 29.40.075(c) of the Town Code for granting approval of an exception to the FAR standards (Exhibit 2);
5. Make the required findings as required by Section 29.20.170 of the Town Code for granting a Variance (Exhibit 2);
6. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
7. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
8. Approve Architecture and Site Application S-22-030 and Variance Application V-22-002 with the conditions contained in Exhibit 3 and the Development Plans in Exhibit 12.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

PAGE 11 OF 11

SUBJECT: 114 Wilder Avenue/S-22-030 and V-22-002

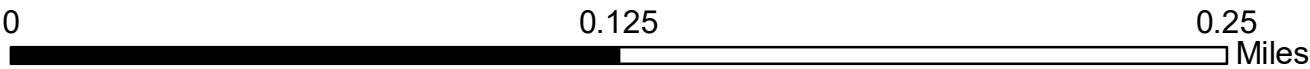
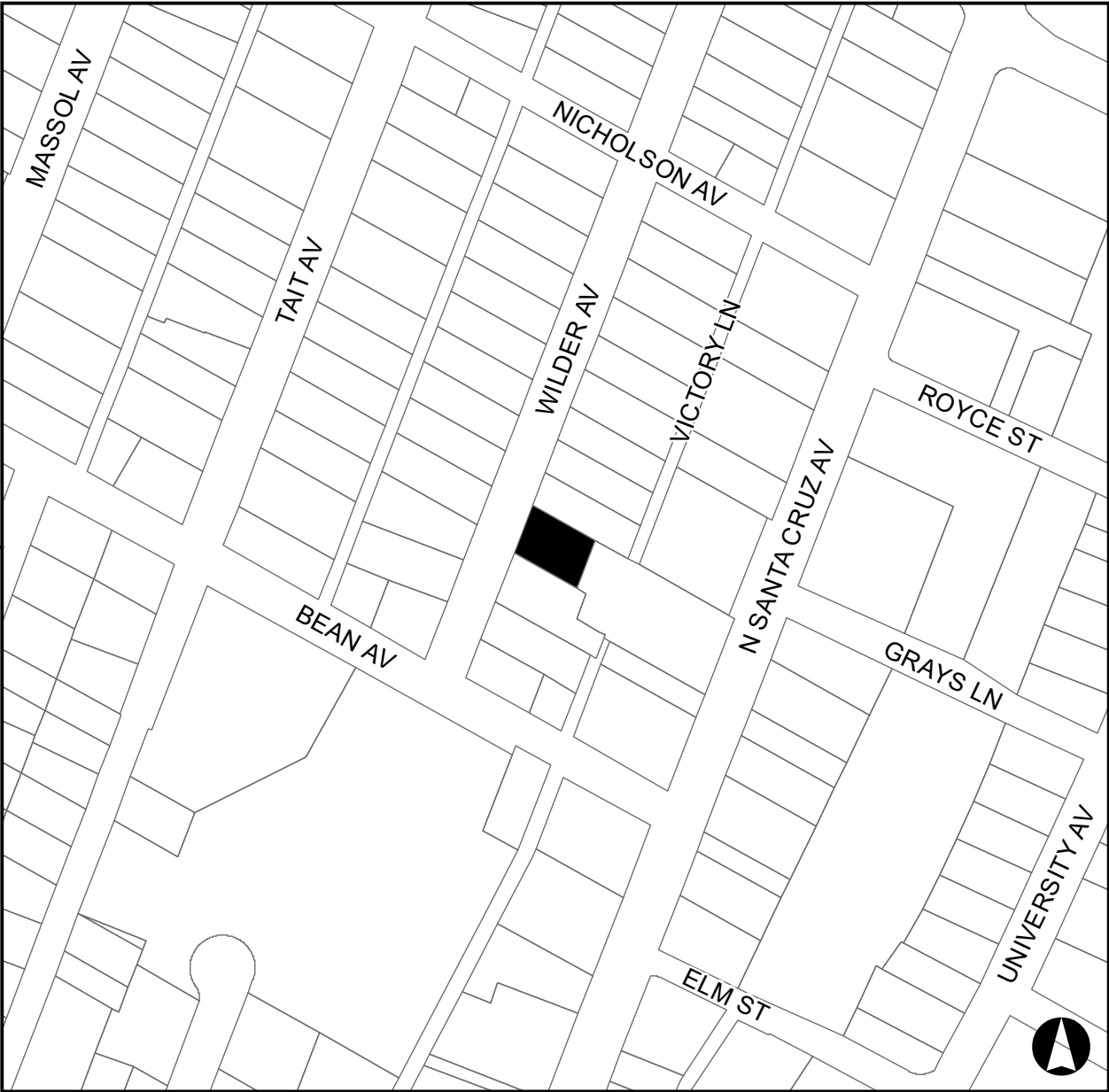
DATE: March 17, 2023

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Historic Preservation Committee Action Letter, January 27, 2021
5. Historic Preservation Committee Action Letter, July 27, 2022
6. Historic Preservation Committee Action Letter, September 28, 2022
7. Historic Preservation Committee Action Letter, October 26, 2022
8. Letter of Justification
9. Town's Consulting Arborist Report #1
10. Town's Consulting Arborist Report #2
11. Neighborhood Letters of Support
12. Development Plans

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# 114 Wilder Avenue



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**PLANNING COMMISSION – March 22, 2023**  
**REQUIRED FINDINGS AND CONSIDERATIONS FOR:**

**114 Wilder Avenue**  
**Architecture and Site Application S-22-030**  
**Variance Application V-22-002**

**Requesting Approval for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed the Maximum Allowed Floor Area, and a Variance for the Required Front Setback and the Parking Requirements on Property Zoned R-1D:LHP. Located at 114 Wilder Avenue. APN 510-17-072.**

**PROPERTY OWNER: Alvaro Anzoategui**  
**APPLICANT: David Kuoppamaki**  
**PROJECT PLANNER: Jocelyn Shoopman**

**FINDINGS**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

**Required finding for the demolition of existing structures:**

- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures:
  1. The Town's housing stock will be maintained as the single-family residence will be replaced.
  2. The existing structure has no architectural or historical significance.
  3. The property owner does not desire to maintain the structure as it exists; and
  4. The economic utility of the structures was considered.

**Required compliance with the Zoning Regulations:**

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with exception to the request to exceed Floor Area Ratio (FAR) standards and the Variance requests for the required front setback and required number of parking spaces.

EXHIBIT 2

**Required finding to exceed floor area ratio (FAR) standards:**

- As required by Section 29.40.075(c) of the Town Code for allowing a FAR in excess of the FAR standards in the Town Code:
  1. The design theme, sense of scale, exterior materials, and details of the proposed project are consistent with the provisions of the adopted residential development standards; and
  2. The lot coverage, setbacks, and FAR of the proposed project are compatible with the development on surrounding lots.

**Required findings for granting a Variance application:**

- As required by Section 29.20.170 of the Town Code for granting a Variance application:
  1. Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
  2. The granting of a variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

**Required compliance with the Residential Design Guidelines:**

- The project is in compliance with the Residential Design Guidelines for single-family residences not in hillside areas. The project was reviewed by the Historic Preservation Committee and recommendations were provided to address the consistency of the project with the surrounding neighborhood, Almond Grove Historic District, and the Residential Design Guidelines.

**CONSIDERATIONS****Required considerations in review of Architecture and Site applications:**

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

**PLANNING COMMISSION – March 22, 2023**  
**CONDITIONS OF APPROVAL**

**114 Wilder Avenue**  
**Architecture and Site Application S-22-030**  
**Variance Application V-22-002**

**Requesting Approval for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed the Maximum Allowed Floor Area, and a Variance for the Required Front Setback and the Parking Requirements on Property Zoned R-1D:LHP. Located at 114 Wilder Avenue. APN 510-17-072.**

**PROPERTY OWNER: Alvaro Anzoategui**  
**APPLICANT: David Kuoppamaki**  
**PROJECT PLANNER: Jocelyn Shoopman**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **STORY POLES:** The story poles on the project site shall be removed within 30 days of approval of the Architecture and Site application and Variance application.
4. **OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
5. **TREE REMOVAL PERMIT:** A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
6. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
7. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.

EXHIBIT 3

8. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
9. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
10. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
12. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

#### *Building Division*

14. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing single-family residence and attached garage. A separate Building Permit is required for the construction of the new single-family residence and attached garage. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
15. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
16. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
17. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
18. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.

19. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
20. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
21. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - a. Building pad elevation
  - b. Finish floor elevation
  - c. Foundation corner locations
  - d. Retaining wall(s) locations and elevations
22. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
23. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
  - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
  - b. All passage doors shall be at least 32-inch-wide doors on the accessible floor level.
  - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
  - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
24. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
25. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
26. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested

parties prior to permit issuance. Special Inspection forms are available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).

27. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
28. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - a. Community Development – Planning Division: (408) 354-6874
  - b. Engineering/Parks & Public Works Department: (408) 399-5771
  - c. Santa Clara County Fire Department: (408) 378-4010
  - d. West Valley Sanitation District: (408) 378-2407
  - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

*Engineering Division*

29. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
30. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
31. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are [available for download from the Town's website](#).
32. PRIOR APPROVALS: All conditions per prior approvals shall be deemed in full force and affect for this approval.
33. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.

34. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
35. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
36. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
37. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
38. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
39. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
40. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works

- hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
41. **PLAN CHECK FEES:** Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
  42. **INSPECTION FEES:** Inspection fees shall be deposited with the Town prior to the issuance of any grading or building.
  43. **PUBLIC WORKS INSPECTOR:** The Owner, Applicant and/or Developer shall fund a full time public works inspector, selected by the Town of Los Gatos, for the duration of the demolition and grading operations. The Owner, Applicant and/or Developer will be charged on a time and materials basis. A deposit for the full amount, to be estimated by the Town based on the Contractor's approved schedule, shall be paid prior to issuance of the demolition permit.
  44. **DESIGN CHANGES:** Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
  45. **PLANS AND STUDIES:** All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
  46. **GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS:** In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
  47. **ILLEGAL GRADING:** Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
  48. **TREE REMOVAL:** Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit.
  49. **SURVEYING CONTROLS:** Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
    - a. Retaining wall: top of wall elevations and locations.
    - b. Toe and top of cut and fill slopes.
  50. **PRECONSTRUCTION MEETING:** Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:



- a. Along with the Owner, Applicant and/or Developer, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
51. **RETAINING WALLS:** A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
52. **DEMOLITION:** Within 60-days of the Development Review Committee approval action being final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on each of the number (#) parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the existing house and construction of a replacement house.
53. **SOILS REPORT:** One electronic copy (PDF) of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
54. **SOILS ENGINEER CONSTRUCTION OBSERVATION:** During construction, all excavations and grading shall be inspected by the Owner's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner's soils engineer and submitted to the Town before a certificate of occupancy is granted.
55. **SOIL RECOMMENDATIONS:** The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Owner's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner, Applicant and/or Developer.
56. **WATER METER:** The existing water meter, currently located within the Town of Los Gatos right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
57. **SANITARY SEWER CLEANOUT:** The existing sanitary sewer cleanout, currently located within the Town of Los Gatos right-of-way, shall be relocated within the property in

- question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
58. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
59. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
60. SIDEWALK/CURB IN-LIEU FEE: A curb and sidewalk in-lieu fee of **\$11,780** shall be paid prior to issuance of a grading or building permit. This fee is based on 62 linear feet of curb at \$100.00 per linear foot and 279 square feet of 4.5-foot wide sidewalk at \$20.00 per square foot in accordance with Town policy and the Town's Comprehensive Fee Schedule. The final curb and sidewalk in-lieu fee for this project shall be calculated using the current fee schedule and rate schedule in effect at the time the fee is paid. A separate encroachment offsite improvement process is required for any public improvements designed to qualify for in-lieu fee reimbursement. Approval from the Town Engineer and PPW is required before any encroachment offsite improvement process can begin.
61. SIDEWALK REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
62. CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and

- gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
63. VALLEY GUTTER REPAIR: The Owner/Applicant shall repair and replace to existing Town standards any valley gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New valley gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of valley gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
64. DRIVEWAY APPROACH: The Owner, Applicant and/or Developer shall install \* (\*) Town standard residential/commercial driveway approach(es). The new driveway approach(es) shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
65. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
66. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
67. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
68. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at

a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's [Construction Management Plan Guidelines](#) document for additional information.

69. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
70. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
71. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
72. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
  - a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
73. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
74. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present

and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

75. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
  - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
  - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
  - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
  - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
  - f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
  - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
  - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
  - j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

76. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
77. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
78. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
79. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
80. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

81. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
82. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet CVR1): An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by

- increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011, that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code.
83. REQUIRED FIRE FLOW: (*Letter received*) The minimum required fireflow for this project is 1000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fireflow assumes installation of automatic fire sprinklers per CFC [903.3.1.3].
84. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
85. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
86. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
87. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]



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**TOWN OF LOS GATOS**  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

February 5, 2021

Alvaro Anzoategui  
114 Wilder Avenue  
Los Gatos, CA 95030  
Via email

**RE: 114 Wilder Avenue**

**Consider a Request for a Determination Regarding the Contributing Status of an Existing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-17-072**

**PROPERTY OWNER:/APPLICANT: Alvaro Anzoategui  
PROJECT PLANNER: Sean Mullin**

On January 27, 2021, the Los Gatos Historic Preservation Committee made the determination that the structure is not historically or architecturally significant, with the required findings, and noting that the Sanborn Fire Insurance Maps indicate that the existing residence was likely constructed after 1944.

If you have any questions, I can be contacted by email at [smullin@losgatosca.gov](mailto:smullin@losgatosca.gov).

Sincerely,

Sean Mullin, AICP  
Associate Planner

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**TOWN OF LOS GATOS**  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

July 28, 2022

David Kuoppamaki  
3141 Stevens Creek Blvd #104  
San Jose, CA 95117  
Via email

**RE: 114 Wilder Avenue**  
**Request for Review PHST-22-014**

**Preliminary Review for Demolition of an Existing Non-Contributing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards and a Variance to Front Yard Setbacks Requirements on Property Located in the Almond Grove Historic District Zoned R-1D:LHP.**

**PROPERTY OWNER: Alvaro Anzoategui**  
**APPLICANT: David Kuoppamaki**  
**PROJECT PLANNER: Sean Mullin**

On July 27, 2022, the Los Gatos Historic Preservation Committee discussed the item and recommended that the applicant:

- Consider ways to break up the massing at the front of the residence;
- Consider a garage door finish/color that is less contrasting with the balance of the residence;
- Explore finishes for the brick that are more consistent with the Historic District; and
- Minimize the view of the guard rails around the front light well as it interrupts the flow of the porch.

If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at [smullin@losgatosca.gov](mailto:smullin@losgatosca.gov).

Sincerely,

Sean Mullin, AICP  
Senior Planner

CC: Alvaro Anzoategui, via email

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**TOWN OF LOS GATOS**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**PLANNING DIVISION**  
**(408) 354-6872 Fax (408) 354-7593**

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

September 28, 2022

David Kuoppamaki  
3141 Stevens Creek Blvd #104  
San Jose, CA 95117  
Via email

**RE: 114 Wilder Avenue**  
**Architecture and Site Application S-22-030**  
**Variance Application V-22-002**

**Forward a Recommendation to the Community Development Director on a Request for Demolition of an Existing Non-Contributing Single-Family Residence and Construction of a New Single-Family Residence to Exceed the Floor Area Ratio Standards, and a Variance to the Front Yard Setback Requirements and the Parking Requirements on Property Located in the Almond Grove Historic District Zoned R-1D:LHP.**

**PROPERTY OWNER: Alvaro Anzoategui**  
**APPLICANT: David Kuoppamaki**  
**PROJECT PLANNER: Jocelyn Shoopman**

On September 28, 2022, the Los Gatos Historic Preservation Committee discussed the item and continued the matter to the October 26, 2022, meeting with the following recommendations to the applicant:

- Consider ways to break up the massing at the front of the residence;
- Consider a less modern garage door, stylistically; and
- Consider another finish besides a whitewash for the brick that is more consistent with the Historic District.

If you have any questions, I can be contacted by phone at (408) 354-6875 or by email at [JShoopman@losgatosca.gov](mailto:JShoopman@losgatosca.gov).

Sincerely,

Jocelyn Shoopman  
Associate Planner

cc: Alvaro Anzoategui, via email

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**TOWN OF LOS GATOS**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**PLANNING DIVISION**  
**(408) 354-6872 Fax (408) 354-7593**

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

October 27, 2022

David Kuoppamaki  
3141 Stevens Creek Blvd #104  
San Jose, CA 95117  
Via email

**RE: 114 Wilder Avenue**  
**Architecture and Site Application S-22-030**  
**Variance Application V-22-002**

**Forward a Recommendation to the Community Development Director on a Request for Demolition of an Existing Non-Contributing Single-Family Residence and Construction of a New Single-Family Residence to Exceed the Floor Area Ratio Standards, and a Variance to the Front Yard Setback Requirements and the Parking Requirements on Property Located in the Almond Grove Historic District Zoned R-1D:LHP.**

**PROPERTY OWNER: Alvaro Anzoategui**  
**APPLICANT: David Kuoppamaki**  
**PROJECT PLANNER: Jocelyn Shoopman**

On October 26, 2022, the Los Gatos Historic Preservation Committee recommended approval of the above request to the Community Development Director with the recommendation that the garage door include 12 window lites.

If you have any questions, I can be contacted by phone at (408) 354-6875 or by email at [JShoopman@losgatosca.gov](mailto:JShoopman@losgatosca.gov).

Sincerely,

Jocelyn Shoopman  
Associate Planner

cc: Alvaro Anzoategui, via email

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EXHIBIT 7

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3141 Stevens Creek Blvd #104  
San Jose, CA 95117  
408.357.0818 Office  
530.919.2921 Cell

DATE: JANUARY 5, 2023

**TO: LOS GATOS BUILDING DEPARTMENT**

**PROJECT OWNER/ADDRESS:**

Alvaro Anzoategui  
114 Wilder Ave  
Los Gatos, CA 95030

### **Written Description of Proposed Project/ Letter of Justification**

This project consists of the demolition of an existing 1,000 SF residence with 178 SF attached garage. We are proposing a new two story 2,129 SF residence with attached 513 SF tandem garage and 2,202 SF basement. We are proposing a 2,202 SF basement. 211 SF of this basement is under the rear covered porch and is to be added to the total FAR. Total house FAR = 2,340 SF. The house is designed to follow Los Gatos Residential Design Guidelines

### **R-1D: LHP W/ Historic Preservation**

The house is located in R-1D: LHP w/ Historic Preservation. We have designed the house to conform to the neighborhood setbacks, residence and garage neighborhood FAR regulations and Los Gatos building height regulations. On October 26, 2022, the Los Gatos Historic Preservation Committee recommended approval of our project to the Community Development Director with the recommendation that the garage door include 12 window lites per door.

### **Neighborhood Context**

The neighborhood has many different Architectural styles of homes and many 1 and 2 story homes. There are Craftsman, Ranch, Tudor, Cottage, Colonial, Cape Code and Bungalow style homes in the neighborhood. Our proposed design of California Cottage residence will fit in with this eclectic neighborhood Architectural styles. The neighbors to the right and left are both 2 stories residences.

### **Increasing FAR and Neighborhood Compatibility**

FAR -Per planning the max FAR for this lot is 1,862 SF Residence with 531 SF garage. We are proposing a 2,340 SF residence with a 513 SF garage. Our proposed house is 2,340 SF, bringing us over the max FAR by 477.61 SF. Our house comparison chart shows 7 residences on this block over FAR with the lowest being 35.58 SF over and the highest 558.15 SF over with an average of 272 SF over max FAR.

Garage – The neighborhood has garages mostly in the rear of the property with access from road/alleys behind. 114 Wilder has no access to a rear road/alley due to an existing commercial parking lot. Instead of providing a 2 car wide garage, we are proposing a single car tandem garage at the front of the residence. This is to keep the neighborhood context similar.

### **Variance Requests:**

1. Setbacks – The main residence complies with zoning setback requirements. The front setback requirement is 15'-0". The proposed front porch does setback 11'-8 ¾" from the property line. If you look at the neighborhood context map, multiple homes front porches are also within the front setback.
2. Parking – tandem parking may not be utilized to fulfill the two required parking spaces. We are asking for a variance in this instance to keep with neighborhood and historic compatibility

### **Town Code Variance Findings:**

The deciding body, on the basis of the evidence submitted at the hearing, may grant a variance if it finds that:

- A. Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zone; and

Variance request of 'setbacks' as mentioned above, many other homes in the neighborhood have

porches within the front setback.

Variance request of 'Parking', due to the special shape of the lot, it is not possible to have a detached garage in the rear ally like most homes in the neighborhood. We are required to have a garage facing Wilder Ave and to keep consistent with the appearance of the neighborhood front facades we propose a single wide garage with tandem parking

- B. The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

Variance request of 'setbacks' again, the front porch setback variance we are asking for is consistent within the neighborhood. Variance request of 'parking' again we are not asking for special privileges, just to be consistent with the historic design in the neighborhood.

**Neighborhood Outreach:**

The owner talked with the neighbors about the demolition of the existing house and construction of the new 2 story house with basement. Below are their comments.

Wilder – Sharon Macken- Looked great and wished us luck

Wilder – Daisy Pereira – (Mom) Good luck, let me know what you need help with.

& Wilder – Brett Sisney and Carolyn daughter Kelly – all in favor and wished us good luck on the project.

Wilder – on vacation when we contacted them.

Wilder – Left info with tenant and she was going to pass on info to the owner.

**Tree Inventory, Assessment,  
and  
Protection Report**

**114 Wilder Avenue  
Los Gatos, CA 95032**

**Prepared for:**

**Town of Los Gatos**

**July 11, 2022**

**Prepared By:**



**Monarch Consulting Arborists**

Richard Gessner  
P.O. Box 1010 - Felton, CA 95018  
1 831 331 8982  
[www.monarcharborists.com](http://www.monarcharborists.com)

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## Summary

The applicant is requesting approval for the demolition of an existing non-contributing single-family residence and construction of a new single-family residence to exceed floor area ratio (FAR) standards and a variance to the front yard setbacks requirements on a property located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-072.

The inventory contains five trees comprised of two different species. One coast redwood (*Sequoia sempervirens*) #813 is considered Large Protected and one olive (*Olea europaea*) #812 is an Exempt fruit tree. All the trees except the olive originate on adjacent sites. All the trees are in good overall condition. The coast redwood #813 will be moderate to highly impacted depending on limits of excavation and construction techniques, the olive #812 will be highly impacted and need to be removed, and the remaining three coast redwoods #811, #810 and #809 will not be affected.

Tree protection will include fence at sixteen feet for the coast redwoods in the back of the site (#811, #810, and #809) or maintaining the existing fence would likely be adequate. Coast redwood #813 could require exploratory trenching along the proposed foundation or excavation limits on the side where the tree originates along with selective root removal if any significant roots are encountered. There were five trees appraised for a rounded depreciated value of \$129,000.00 using the Trunk Formula Technique.

## Introduction

### Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

### Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

### Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on June 27, 2022. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.



- The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic				
Proposed Site Plan	5/6/22	A0.1	Yes	Kuop Designs
Erosion Control				
Grading and Drainage				
Utility Plan and Hook-up locations				
Exterior Elevations	5/6/22	A3.1, A3.2	Yes	Kuop Designs
Landscape Plan				
Irrigation Plan				
T-1 Tree Protection Plan				

## Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

## Observations

### Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: "A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



## Plans

The applicant is requesting approval for the demolition of an existing non-contributing single-family residence and construction of a new single-family residence to exceed floor area ratio (FAR) standards and a variance to the front yard setbacks requirements on a property located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-072.

## Tree Inventory

The inventory contains five trees comprised of two different species (Table 2). One coast redwood #813 is considered Large Protected<sup>1</sup> and one olive #812 is Exempt<sup>2</sup>. Except for the olive all the remaining coast redwoods all originate on adjacent sites with #813 on 112 Wilder Avenue and the rest in the back along the alley.

Table 2: Tree Inventory

Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Health	Structure	Form	Status
coast redwood ( <i>Sequoia sempervirens</i> )	813	72	85	45	Good	Good	Good	Large Protected
olive ( <i>Olea europaea</i> )	812	12	25	20	Good	Fair	Good	Exempt
coast redwood ( <i>Sequoia sempervirens</i> )	811	20	65	20	Good	Good	Good	Protected
coast redwood ( <i>Sequoia sempervirens</i> )	810	24	65	20	Good	Good	Good	Protected
coast redwood ( <i>Sequoia sempervirens</i> )	809	24	65	20	Good	Good	Good	Protected

<sup>1</sup> Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

<sup>2</sup> A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



## Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the “Cost Approach” and more specifically the “Trunk Formula Technique” (Appendix B).

“Trunk Formula Technique” is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the “Basic Tree Cost” based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree’s Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the “Condition Rating” section of this report. Functional limitations are based on factors associated with the tree’s interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were five trees appraised for a rounded depreciated value of \$129,000.00 using the Trunk Formula Technique.

Appraisal worksheets are available upon request



## Discussion

### Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

All the trees are in good overall condition with normal foliar color, size and density. The coast redwoods have single trunks and no descendable leans. The olive is multi-trunk but the growth habit of the tree is normal while somewhat suppressed under the coast redwoods in back.



## Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

It is not possible or practical to obtain a radius of 48 feet (8 times the trunk diameter distance). The proposed resident is close to the tree and any over-excavation could be problematic. The existing resident is also close to the tree and would act a a “place holder” to some extent because it is unlikely there are significant roots under the structure.

The olive #812 will need to be removed but the tree is Exempt. The remaining coast redwoods in the back of the site #811, #810, and #809 along the alleyway will not likely be affected but neither the redwoods or the olive are not located on the plans.

The coast redwood #813 will be moderate to highly impacted depending on limits of excavation and construction techniques, the olive #812 will be highly impacted and need to be removed, and the remaining three coast redwoods #811, #810 and #809 will not be affected.



## Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers (Appendix D).

Tree protection will include fence at sixteen feet for the coast redwoods in the back of the site (#811, #810, and #809) or maintaining the existing fence would likely be adequate. The olive will be removed so no protection is necessary.

Coast redwood #813 will potentially require exploratory trenching along the proposed foundation or excavation limits on the side where the tree originates to remove roots if necessary. Due to the size of the tree and the close proximity it is not possible to obtain the typical tree protection zones of eight times the trunk diameter distance or more in radius. The ANSI A300 Part 5, 2019 Standard Practices (*Management of Trees and Shrubs During Site Planning, Site Development, and Construction*) states the following:

### Section 55.1.3

The (Tree Protection Zone) TPZ radius should be 6-18 times the trunk diameter (DBH)

### Section 55.1.4

When the minimum TPZ radius cannot be achieved, appropriate mitigation shall be recommended.

In accordance with the ANSI Standard, mitigation for this project could include exploratory trenching around the building/limits of excavation perimeter adjacent to #813, selective root removal may be required if necessary.





## Conclusion

The applicant is requesting approval for the demolition of an existing non-contributing single-family residence and construction of a new single-family residence to exceed floor area ratio (FAR) standards and a variance to the front yard setbacks requirements on a property located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-072.

The inventory contains five trees comprised of two different species. One coast redwood #813 is considered Large Protected and one olive #812 is Exempt. All the trees except the olive originate on adjacent sites. All the trees are in good overall condition. The coast redwood #813 will be moderate to highly impacted depending on limits of excavation and construction techniques, the olive #812 will be highly impacted and need to be removed, and the remaining three coast redwoods #811, #810 and #809 will not be affected.

Tree protection will include fence at sixteen feet for the coast redwoods in the back of the site (#811, #810, and #809) or maintaining the existing fence would likely be adequate. Coast redwood #813 could require exploratory trenching along the proposed foundation or excavation limits on the side where the tree originates. Due to the size of the tree and the close proximity it is not possible to obtain the typical tree protection zone of eight times the trunk diameter distance or more in radius. Exploratory trenching around the building/limits of excavation perimeter adjacent to #813 may be required along with selective root removal if any significant roots are encountered.

There were five trees appraised for a rounded depreciated value of \$129,000.00 using the Trunk Formula Technique.



## Recommendations

1. Place tree numbers on all the plans. Locate trees #812 through #809 on the plans. Once civil drawings are available have them reviewed by the project arborist.
2. Place tree protection around between #811, #810, and #809 at a distance of 16 feet or maintain the existing privacy fence.
3. Coast redwood #813 will require exploratory trenching along the proposed foundation or excavation limits on the side where the tree originates to selectively remove roots if necessary. Use shoring techniques to avoid over-excavation as best as possible. Temporarily fence can be placed in the setback from the sidewalk along the edge of the property.
4. Install temporary irrigation or soaker hoses in all tree protection zones and provide supplemental watering during construction within all TPZ areas. Infrequent deeper watering is preferred.
5. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
6. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a tree's drip line or designated TPZ/CRZ.
7. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all three protection measures labeled "T-1 Tree Protection Plan."
8. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
9. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.



## Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.

Fite, Kelby, and Edgar Thomas. Smiley. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

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Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Bedminster, PA: International Society of Arboriculture 1998.

Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017. Print



## Glossary of Terms

**Basic Tree Cost:** The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

**Cost Approach:** An indication of value by adding the land value to the depreciated value of improvements.

**Defect:** An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

**Diameter at breast height (DBH):** Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

**Drip Line:** Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

**Form:** describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

**Health:** Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease.

**Mechanical damage:** Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

**Scaffold branches:** Permanent or structural branches that form the scaffold architecture or structure of a tree.

**Straw wattle:** also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.



**Structural evaluation:** focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

**Tree Protection Zone (TPZ):** Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

**Tree Risk Assessment:** Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

**Trunk:** Stem of a tree.

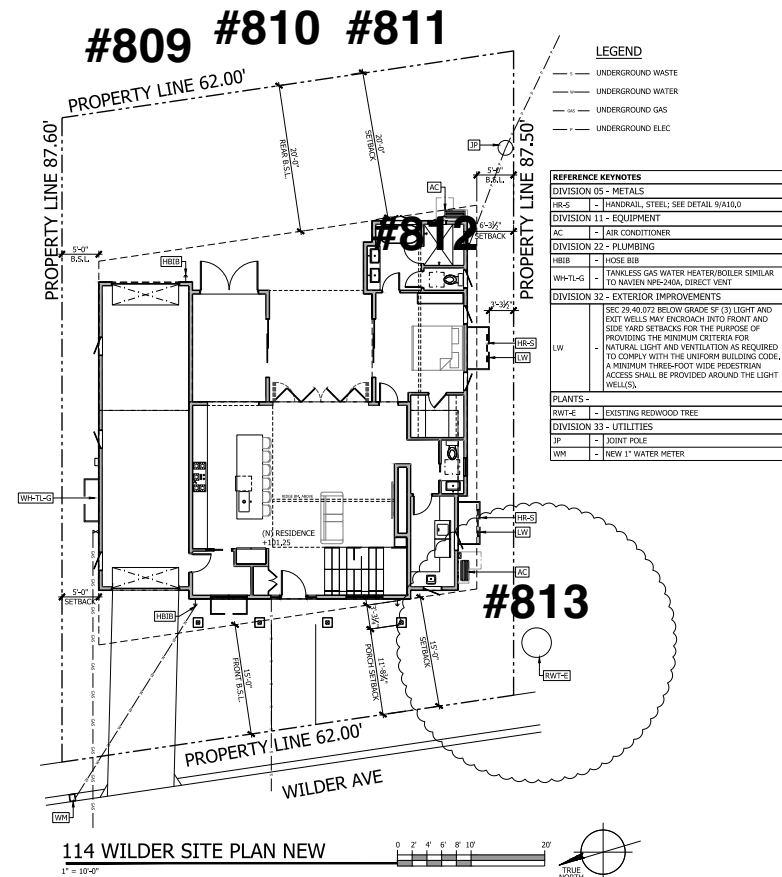
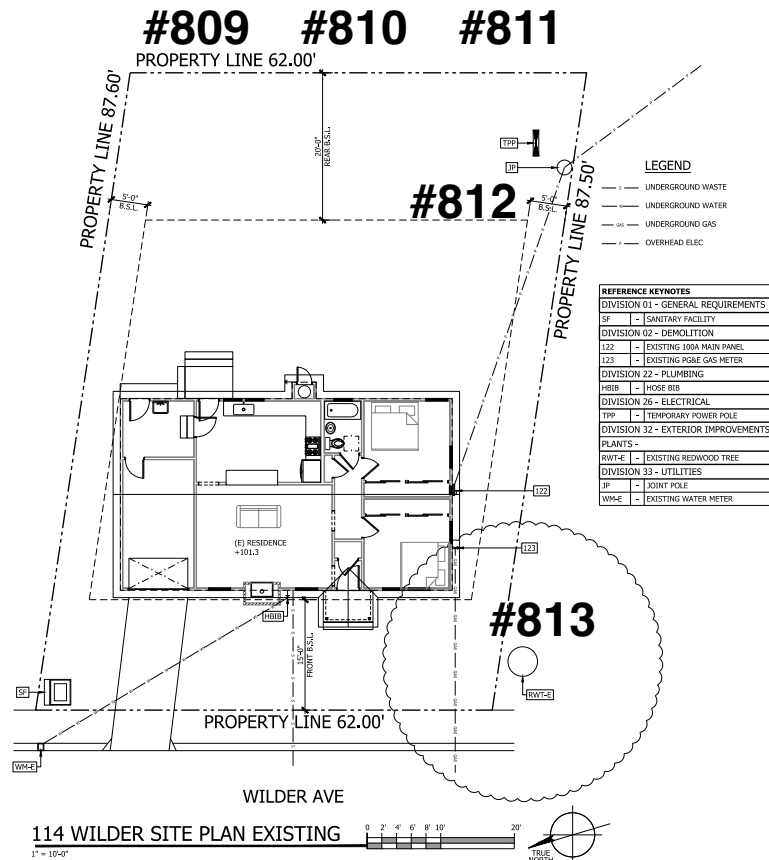
**Trunk Formula Technique:** Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

**Volunteer:** A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



# Appendix A: Tree Inventory Map and Site Plan

## A1: Existing and Proposed Site Plan



## Appendix B: Tree Inventory and Assessment Tables

Table 3: Inventory and Assessment Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Ideal Tree Protection Radii (ft.)
coast redwood ( <i>Sequoia sempervirens</i> )	813	72	45	Good	Moderate-High	Large Protected	\$89,800.00	48
olive ( <i>Olea europaea</i> )	812	12	20	Good	High	Exempt	\$12,300.00	14
coast redwood ( <i>Sequoia sempervirens</i> )	811	20	20	Good	Low	Protected	\$6,900.00	13
coast redwood ( <i>Sequoia sempervirens</i> )	810	24	20	Good	Low	Protected	\$10,000.00	16
coast redwood ( <i>Sequoia sempervirens</i> )	809	24	20	Good	Low	Protected	\$10,000.00	16





## Appendix C: Photographs

### C1:Coast redwood #813



## C2: Olive #812



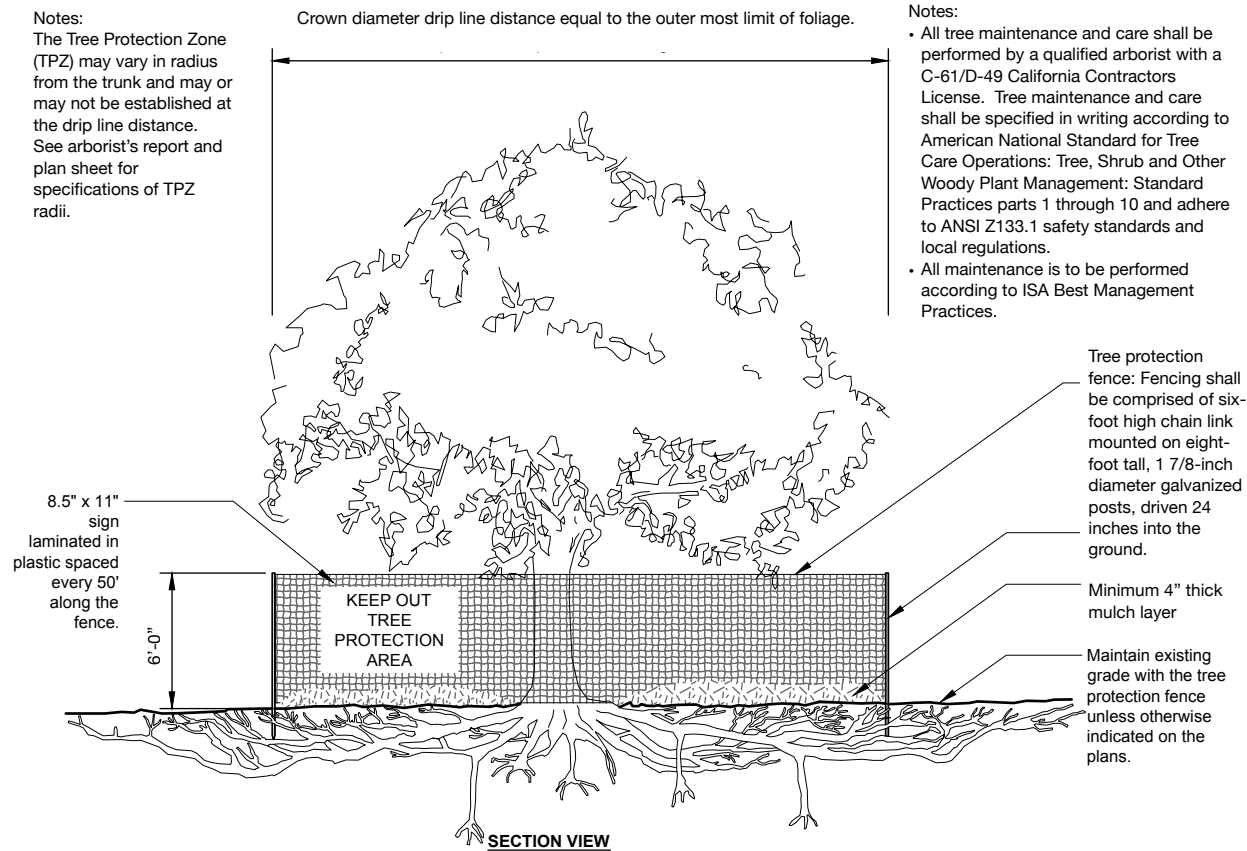


### C3: Coast redwoods #811, #810, and #809



## Appendix D: Tree Protection Guidelines

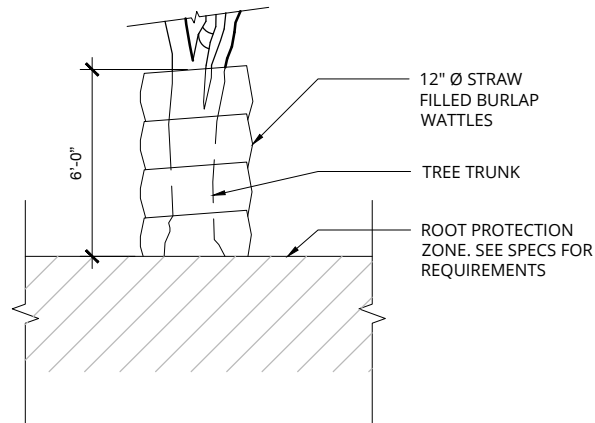
### D1: Plan Sheet Detail S-X (Type I)



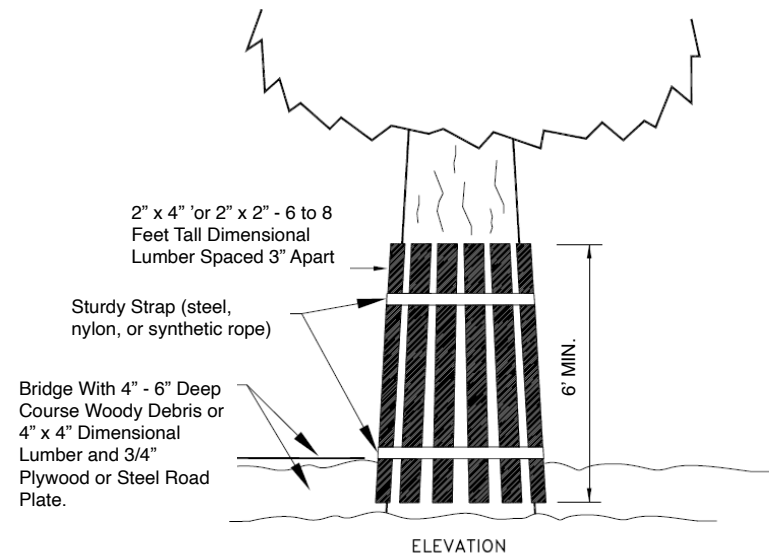
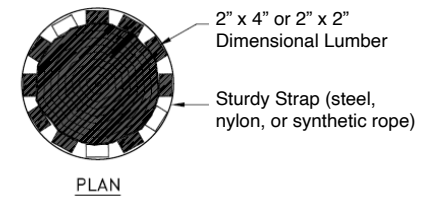
**S-X** TREE PROTECTION

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE  
Modified by Monarch Consulting  
Arborists LLC, 2019



**D2: Plan Sheet Detail S-Y (Type III)****SECTION VIEW****S-Y****TRUNK PROTECTION WITH WATTLE**

Note: See Local Ordinance Requirements and Arborist's Report for Additional Protection Specifications and Guidelines.

**Trunk Protection Vertical Timber  
Detail**

## D3: Section 29.10.1005. - Protection of Trees During Construction

### Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).



**All persons, shall comply with the following precautions**

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

**Prohibited Activities**

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.





## Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

## Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loggers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

## Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

## Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



**Appendix E: Tree Protection Signs**  
**E1: English**

# **Warning**

# **Tree Protection Zone**

**This Fence Shall Not Be Removed  
And Is Subject To Penalty According To  
Town Code 29.10.1025**



**E2: Spanish**

# **Cuidado Zona De Arbol Pretejido**

Esta valla no podrán ser sacados  
Y está sujeta a sanción en función de  
Código Ciudad del 29.101025



## Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



## Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B



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March 14, 2023

Jocelyn Shoopman  
Associate Planner  
110 E. Main Street  
Los Gatos, CA 95030



## Monarch Consulting Arborists

Richard Gessner  
P.O. Box 1010 – Felton, CA 95018  
1 831 331 8982  
[www.monarcharborists.com](http://www.monarcharborists.com)

The assignment was to inspect the exposed roots adjacent to the existing structure where the propose new residence will encroach. I visited the site on February 1, 2023.

The area is adjacent toe coast redwood (*Sequoia sempervirens*) #813 which originates not the neighboring property. The area of excavation is directly adjacent to the existing residence in a planting bed (Images 1 and 2). The soil has been carefully removed to expose the roots in this area. There is a significant mat of smaller roots occupying the space. The root proliferation in this area is likely from the roof drainage over time creating a moist environment for root growth.



**IMAGE 1: AREA OF EXCAVATION**



**IMAGE 2: EXPOSED ROOTS**





The roots in the area of the proposed new residence are not of a significant size or quantity to cause unreasonable harm to the adjacent tree, and can be removed by cutting them clean.

I recommend removing them and they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed root wounds should be backfilled.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B



March 14, 2023

Jessica and Alvaro,

The construction of your new home will be a wonderful addition to our neighborhood. I reviewed the plans and scope of work you sent over. The design and size of the house seem to be very fitting for the neighborhood.

I fully support your project.



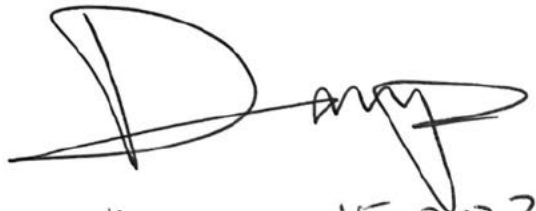
Gary Filizetti  
[REDACTED]  
Los Gatos, CA

March 13, 2023

Owners of 114 Wilder Ave,

So happy for the construction of the new house it will be a great addition to our street. Looks great and I really like the design. Best wishes for a smooth project!

Daisy Pereira ( [REDACTED] Los Gatos)



March 15, 2023

Jessica and Alvaro,

We are very excited for you to join Wilder! We are new members to the street ourselves but have already enjoyed the sense of community and welcoming environment. We believe you both will be great additions.

The plans look amazing and we are very excited to see them come to life! We believe the new house will both enhance the beauty and fit in seamlessly with this historic street.

Best,

nd Chris Clark


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NEW 2 STORY RESIDENCE

# ANZOATEGUI RESIDENCE

## OWNER

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030

## CONSULTANTS

## PROJECT SCOPE

DEMOLITION OF EXISTING RESIDENCE  
CONSTRUCTION OF NEW 2-STORY 2,129 SF 2 STORY(ABOVE GROUND) RESIDENCE WITH 2,202 SF BASEMENT AND 513 SF ATTACHED GARAGE

## PROJECT DATA

- APN 510-17-072
- ZONING SFR R-1D: LHP W/ HISTORIC PRESERVATION
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: YES
- YEAR BUILT NEW

## PROJECT SUMMARY TABLE

NET LOT AREA	5,366 SF	BASEMENT W/ FAR	.347072	BASEMENT W/O FAR		LIVING	.0989752	GARAGE FAR		DECK
FLOOR AREA	1ST LEVEL	2ND LEVEL	RES FAR	---	---	---	---	---	---	---
EXISTING	1,000	---	1,000	---	---	1,000	---	178	---	---
PROPOSED	1,477	652	211	2,340	1991	4,331	513	---	---	378

MAX ALLOWED 1,862 531

EXCEEDING MAX BY - 267  
BASEMENT OUTSIDE OF STRUCTURE - 211  
EXCEEDING MAX W/ EXCESS BASEMENT - 478

LOT COVERAGE  
MAX LOT COVERAGE 40% ALL BUILDINGS 2,146 SF  
PROPOSED LOT COVERAGE 1,990 SF

STANDARDS	REQUIRED (MAX)	PROPOSED
HEIGHT	30'-0"	29'-10 1/8"
SETBACKS 1ST FLOOR		
FRONT	15'-0"	15'-0"
FRONT PORCH	15'-0"	11'-8 3/4"
SIDE	5'-0"	5'-0"
REAR	20'-0"	20'-0"
PARKING & GARAGE		
	2 GARAGE	2 GARAGE
	SIDE BY SIDE	TANDEM

LANDSCAPE	IMPERVIOUS(SF)	PERVIOUS(SF)
EXISTING ROOF	1,178	---
EXISTING WALK	308	3,880
PROPOSED ROOF	1,990	---
PROPOSED WALK	557	2,819

## INDEX TO DRAWINGS

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BMP BLUE PRINT FOR A CLEAN BAY  
PLN0 NEIGHBORHOOD CONTEXT MAP  
PLN0.1 NEIGHBORHOOD ELEVATIONS  
PLN1 SITE PHOTOS  
PLN2 NEIGHBORHOOD PHOTOS  
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PLN4 PROPOSED RENDERINGS  
PLN5 SHADOW STUDY

### CIVIL

C1.1 STORM EROSION AND SEDIMENT CONTROL  
C1.2 GRADING APLAN AND SECTIONS  
C1.3 EROSION AND SEDIMENT CONTROL  
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### ARCHITECTURAL

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A4.1 ROOF PLAN  
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A5.2 SECTIONS  
A5.3 SECTIONS  
GP1 GREEN POINT RATING

## ABBREVIATIONS

AB.	AGGREGATE BASE	F.O.M.	FACE OF MASONRY	PSI	POUNDS PER SQUARE INCH
A.C.	ASPHALT CONCRETE	F.O.S.	FACE OF STUD	P.T.	PRESSURE TREATED
A/C	AIR CONDITIONING	FTG	FOOTING	Q.T.	QUARRY TILE
ACC	ACCESSIBLE				
A.D.	AREA DRAIN	GA.	GAUGE	RAD	RADIUS
ADJ	ADJUSTABLE	GALV	GALVANIZED	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	GLB	GLUE LAMINATED BEAM	R.D.	ROOF DRAIN
ALT	ALTERNATE	G.S.M.	GALVANIZED SHEET METAL	REINF	REINFORCE
ALUM	ALUMINUM	GWB	GYPSUM WALLBOARD	REQ'D	REQUIRED
APPROX	APPROXIMATE			RM	ROOM
A.T.	ACOUSTIC TILE	H.B.	HOSE BIBB	R.O.	ROUGH OPENING
		H.C.	HOLLOW CORE	RWD	REDWOOD
BLDG	BUILDING	HDWR	HARDWARE	RWL	RAIN WATER LEADER
BLKG	BLOCKING	HDWD	HARDWOOD	R.H.W.S.	ROUND HEAD WOOD SCREW
B.O.	BOTTOM OF	H.M.	HOLLOW METAL	SAF	SELF-ADHERED FLASHING
BOT	BOTTOM	HORIZ	HORIZONTAL	S.C.	SOLID CORE
B.U.R.	BUILT UP ROOFING	HT	HEIGHT	SDE	SIDE DRAINAGE EASEMENT
CAB	CABINET	I.D.	INSIDE DIAMETER	SHT	SHEET
CB	CALIFORNIA BUILDING CODE	INSUL	INSULATION	SIM	SIMILAR
C.J.	CONSTRUCTION JOINT	INT	INTERIOR	S.M.S.	SHEET METAL SCREW
CLG	CEILING	JAN	JANITOR	SPEC	SPECIFICATION
CLR	CLEAR	JOINT	JOINT	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	LT	LENGTH	S.S.	STAINLESS STEEL
C.O.	CLEAN OUT	LAM	LAMINATED	STD	STANDARD
COL	COLUMN	LAV	LAVATORY	S.T.S.	SELF-TAPPING SCREW
COMP	COMPOSITION	LB	POUND	STL	STEEL
CONT	CONTINUOUS	L.S.	LAG SCREW	STOR	STORAGE
CONC	CONCRETE	LT	LIGHT	STRUCT	STRUCTURAL
CTSK	COUNTERSUNK			SUSP	SUSPENDED
				SYM	SYMMETRICAL
D	DEPTH	MFR	MANUFACTURER	T&G	TONGUE & GROOVE
DTL	DETAIL	MAX	MAXIMUM	TEL	TELEPHONE
D.F.	DRINKING FOUNTAIN	MECH	MECHANICAL	THK	THICK
DIA	DIAMETER	MIN	MINIMUM	T.O.	TOP OF
DIM	DIMENSION	MISC	MISCELLANEOUS	T.O.C.	TOP OF CONCRETE
DN	DOWN	MPE	MULTI-PURPOSE EASEMENT	TYP	TYPICAL
DS	DOWNSPOUT	M.O.	MASONRY OPENING	U.O.N.	UNLESS OTHERWISE NOTED
DW	DISHWASHER	M.R.	MOISTURE RESISTANT	UNREINF	UNREINFORCED
DWG	DRAWING	(N)	NEW	UR	URINAL
		N.I.C.	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
(E)	EXISTING	NO.	NOMINAL	VERT	VERTICAL
EA	EACH	OBSC	OBSCURE	VEST.	VESTIBULE
E.J.	EXPANSION JOINT	O.C.	ON CENTER	VVC	VINYL WALL COVERING
ELEC	ELECTRICAL	O.D.	OUTSIDE DIAMETER	W	WIDTH
ELEV	ELEVATION	OPP	OPPOSITE	WC	WATER CLOSET
EQ	EQUAL	OZ.	OUNCE	WD	WOOD
EQUIP	EQUIPMENT	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	W.H.	WATER HEATER
EXT	EXTERIOR	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	WSCOT	WAINSCOT
		PERF	PERFORATED	WT	WEIGHT
(F)	FUTURE	PL	PLATE		
F.D.	FLOOR DRAIN	PLAS	PLASTIC		
F.E.	FIRE EXTINGUISHER	PLUMB	PLUMBING		
F.E.C.	FIRE EXTINGUISHER CABINET	PLYWD	PLYWOOD		
F.F.E.	FINISH FLOOR ELEVATION	PMF	PRESSED METAL FRAME		
F.G.	FINISH GRADE	PR	PAIR		
F.H.	FIRE HYDRANT				
F.H.W.S.	FLAT HEAD WOOD SCREW				
FIN.	FINISH				
FLR	FLOOR				
FLUOR	FLUORESCENT				
F.O.F.	FACE OF FINISH				

## SYMBOLS

W/	WITH	ROOM NAME	ROOM NAME
		100	ROOM NUMBER
		1 2	INTERIOR ELEVATIONS
		3	
		2	DETAIL NUMBER
		A4.1	SHEET NUMBER
		2	SECTION NUMBER
		A4.1	SHEET NUMBER
		(OR)	
		1	SECTION NUMBER
		A14.1	SHEET NUMBER
		BC24A	KEYNOTE
		100	DOOR NUMBER
		100	WINDOW NUMBER
		A6	WALL TYPE / STUD SIZE
		+9'-0"	INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN
		+6'-10" A.F.F.	ELEVATION SYMBOL
		4:12	ROOF PITCH
		2435.12 T.O.P.	NEW GRADE ELEVATION
		438.18	(E) GRADE ELEVATION
		A	GRID BUBBLE
		A001 R1	SIGN NUMBER
			SIGN TYPE

## APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2022:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS  
TITLE 24 CCR, PART 1 - 2022 BUILDING STANDARDS ADMINISTRATIVE CODE  
TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)  
TITLE 24 CCR, PART 2.5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)  
TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)  
TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC)  
TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC)  
TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE  
TITLE 24 CCR, PART 7 - 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE  
TITLE 24 CCR, PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE  
TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC)  
TITLE 24 CCR, PART 10 - 2022 EXISTING BUILDING CODE  
TITLE 24 CCR, PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

## DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN PER NFPA 13D
- UPGRADE DOMESTIC WATER SERVICE LINE

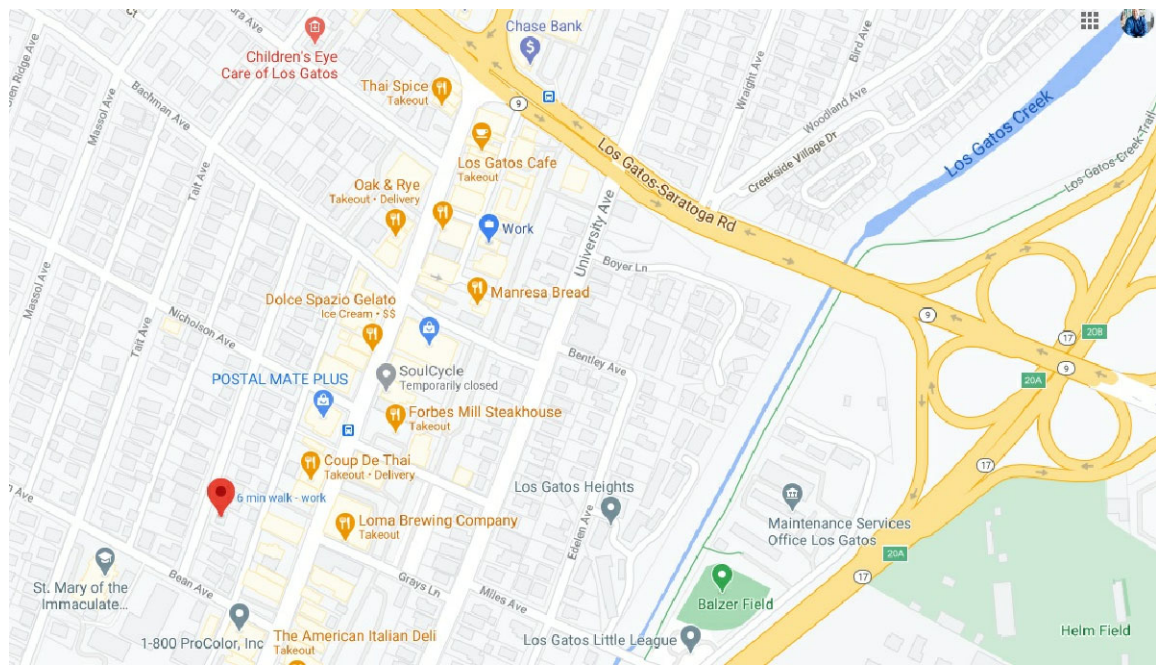
## SPECIAL INSPECTIONS

- ANCHORS POST-INSTALLED IN HARDENED CONCRETE
- FASTENING OF ELEMENTS OF THE SEISMIC FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS LESS THAN 4 INCHES.

## CONDITIONS OF APPROVAL

- THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.
- A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:
  - BUILDING PAD ELEVATION
  - FINISH FLOOR ELEVATION
  - FOUNDATION CORNER LOCATIONS
  - RETAINING WALL(S) LOCATIONS AND ELEVATIONS

## PROJECT LOCATION



## HERS FEATURE SUMMARY

## PHOTOVOLTAIC SYSTEM

- A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

REVISIONS	DATE

Ownership of Documents  
This document and the ideas and designs contained herein, as well as the information, as the property of KUOP Designs LLC and is not to be used in whole or in part for any other project without written authorization.  
c o p y r i g h t 2 0 2 0

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SAN JOSE, CA 95117

PAGE TITLE

## COVER SHEET

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 2039

SHEET:

**CVR1**

EXHIBIT 12

NEW RESIDENCE FOR:		DATE: 2022.05.06	
ALVARO ANZOATEGUI 114 WILDER AVE LOS GATOS, CA 95030 APN# 510-17-072		SCALE: PER SHEET	
DRAWN BY: DAVID		PLAN NO.: 2039	
SHEET:		<b>CVR2</b>	





**FIRE DEPARTMENT**  
**SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA, 95032-1818  
(650) 378-4010 • (650) 378-9542 (fax) • [www.sccfd.org](http://www.sccfd.org)



Internationally Accredited  
Agency

**STANDARD DETAILS & SPECIFICATIONS**

**SUBJECT:** Construction Site Fire Safety

Spec No  
Rev. Date  
Est. Date  
Approved By  
Page - 1 -

SI-7  
04/30/09  
12/17/02  
\_\_\_\_\_  
of 9

**SCOPE**

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

**REQUIREMENTS**

**I. Fire Protection Plan**

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the Fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department.
- B. Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- E. Site plans identifying the designated exterior assembly areas for each evacuation route.
- F. Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

**B. Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class II standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

**C. Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

**D. Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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3) Equipment shall not be refueled while in operation.  
4) Fuel for equipment shall be stored in an approved area outside of the building.  
(Ref. CFC Articles 87 & 13 – also 49, 79 and 11)

**VII. Hazardous Materials**

**A. Liquefied Petroleum Gas (LP-Gas)** - Storage and use shall comply with the following:

- Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:
  - (a) Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
  - (b) Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
  - (c) Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
  - (d) Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
  - (e) Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
  - (f) Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
  - (g) Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
  - (h) Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

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**G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.**

**II. General Safety Requirements**

**A. Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

**Key boxes:** Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

**B. Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.

**C. Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.

**D. Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.

**E. Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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**IV. Means of Egress Requirements**

**A. Minimum number of Exits:** All new buildings under construction shall have a least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.

**B. Multi-Story Buildings:** Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/ windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.

**Exception:** For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).

**C. Assembly Points:** Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

**V. Area Separation Walls**

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

**VI. Special Operation Requirements**

**A. Hot Work:** Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.

- Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:
  - (a) the hot work site is clear of combustibles or that combustibles are protected;
  - (b) exposed construction is of noncombustible materials or that combustible materials are protected;
  - (c) openings are protected;
  - (d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
  - (e) fire extinguishers are available, fully charged and operable; and
  - (f) fire watch personnel are assigned, equipped and trained.

**2. Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

**3. Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

**B. Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendance and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B-C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B-C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

**C. Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- Equipment shall be located so that exhausts do not discharge against combustible materials.
- When possible, exhausts should be piped to the outside of the building.

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2. In addition to the above, for LPG storage / use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:

- Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
- The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
- Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

**B. Storage, Use and Dispensing of Flammable and Combustible Liquids**

- Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- Tanks and containers shall be marked with the name of the product and **FLAMMABLE-KEEP FIRE AND FLAME AWAY**. Tanks (containers in excess of 60 gallons) shall also be labeled **KEEP 50 FEET FROM BUILDINGS**.
- Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- Plans for the installation / use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

**C. Compressed Gases**

- Gas cylinders shall be marked with the name of the contents.
- Gas cylinders shall be stored upright and secured to prevent falling.
- When not in use, valve protective caps shall be in place.
- Gas cylinders shall be protected against physical damage.
- When stored, gas cylinders shall be separated from each other based on their hazard classes.
- Combustible materials shall be kept a minimum of 10 feet from gas containers.
- Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

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**F. Only rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

**G. Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

**H. Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of 'No Smoking' signs shall be posted to ensure that smoking is controlled.

**I. Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

**Exceptions:**

- Vehicles that are temporarily parked for loading /unloading or other construction related operations. Such vehicles shall not be left unattended.
- Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

**J. Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

**Exceptions:**

- Materials that are staged for installation on a floor level.
- When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

**III. Fire Protection Systems**

**A. Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

- (a) the hot work site is clear of combustibles or that combustibles are protected;
- (b) exposed construction is of noncombustible materials or that combustible materials are protected;
- (c) openings are protected;
- (d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
- (e) fire extinguishers are available, fully charged and operable; and
- (f) fire watch personnel are assigned, equipped and trained.

**2. Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

**3. Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

**B. Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendance and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B-C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B-C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

**C. Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- Equipment shall be located so that exhausts do not discharge against combustible materials.
- When possible, exhausts should be piped to the outside of the building.

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8. Gas cylinders shall not be placed in areas where they may be damaged by falling objects.  
9. Ropes, chains or slings shall not be used to suspend gas cylinders, unless the cylinder was manufactured with appropriate lifting attachments.

SD46587/Dtds/12.10.09

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SAN JOSE, CA 95117

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:  
2022.05.06

SCALE:  
PER SHEET

DRAWN BY:  
DAVID

PLAN NO.:  
2039

SHEET:

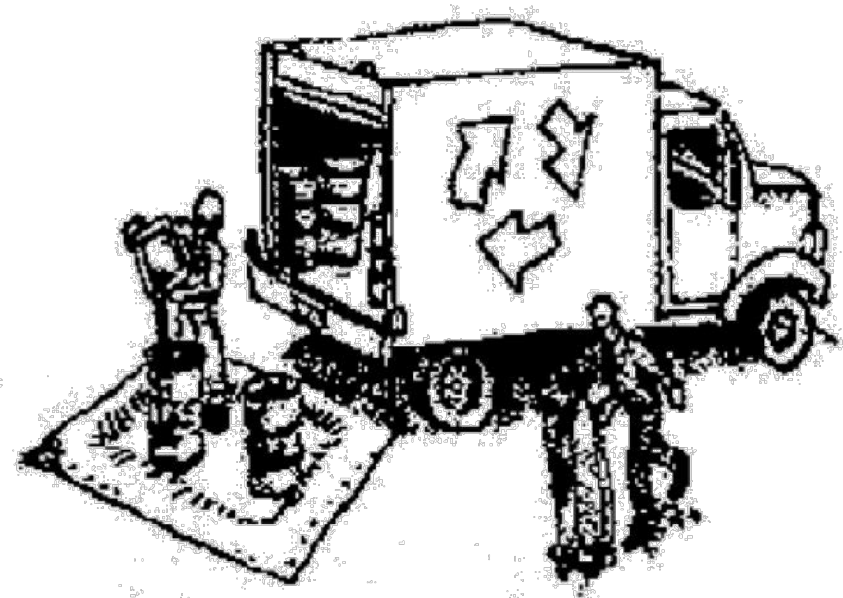
**CVR3**



# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



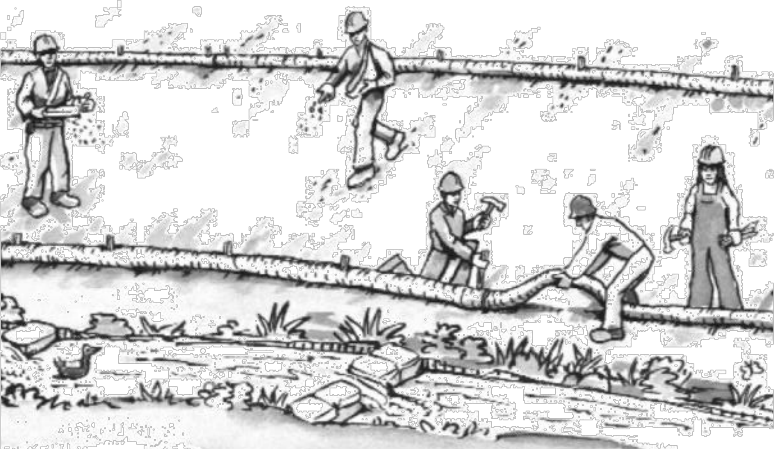
### Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

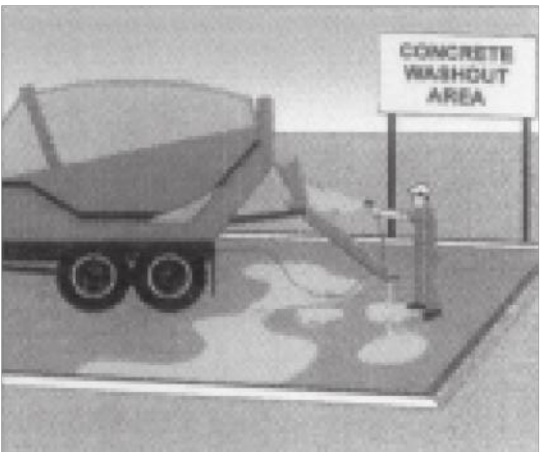
### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



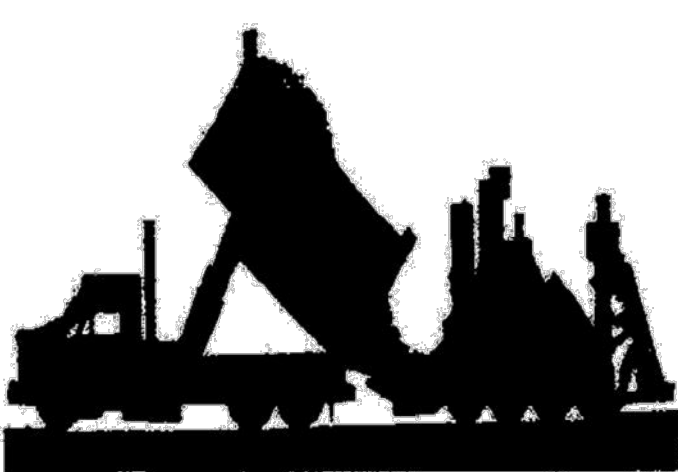
### Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work

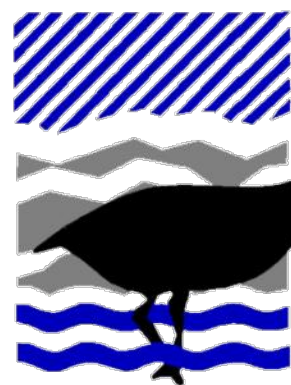


### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

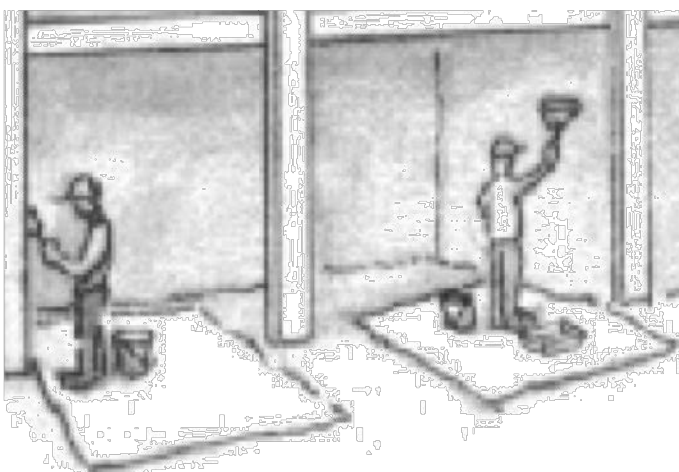
### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



**Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program**

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

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**BLUE PRINT FOR A CLEAN BAY**

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

DAVID

PLAN NO.:

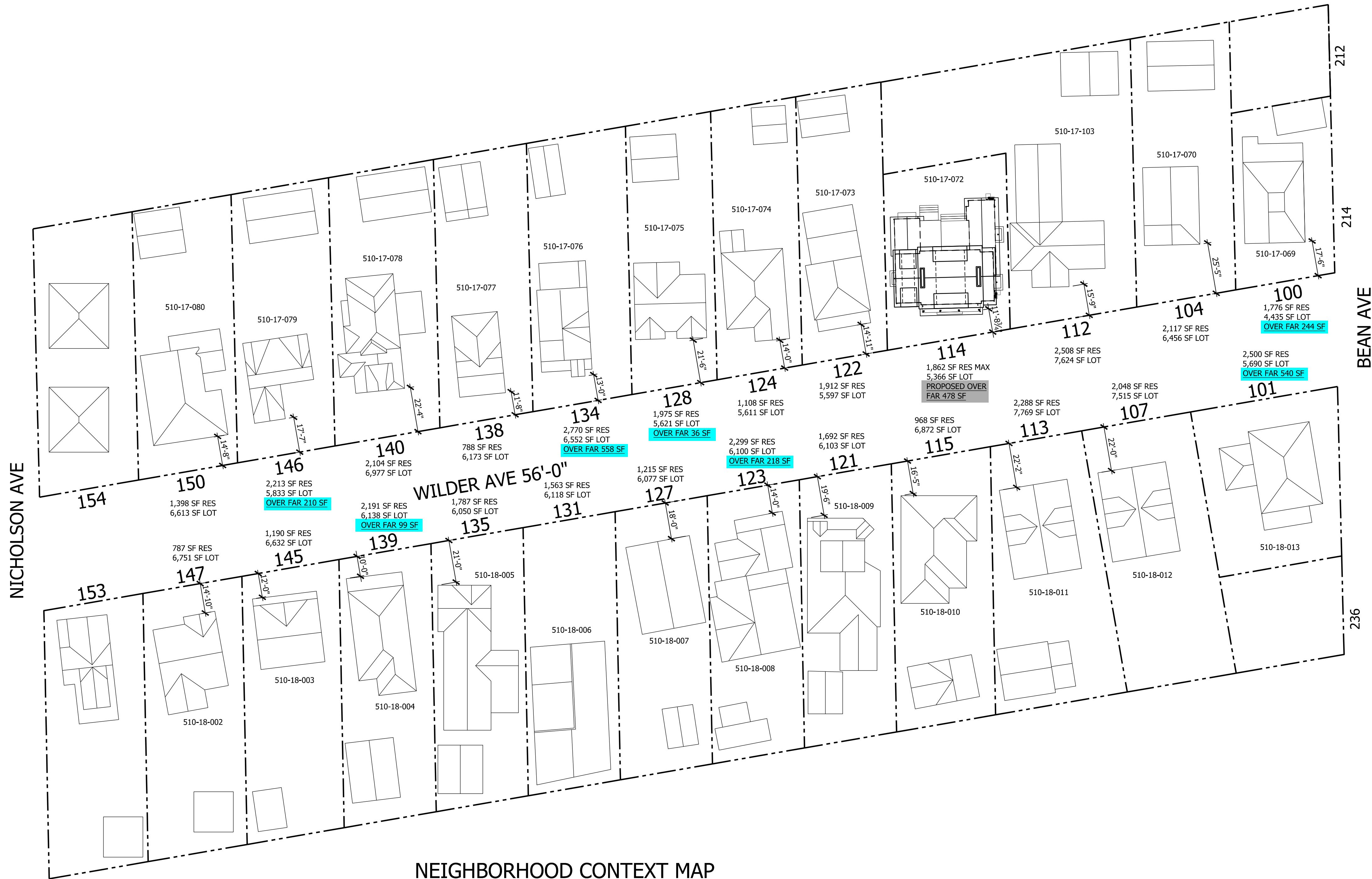
2039

SHEET:

**BMP**

Storm drain polluters may be liable for fines of up to \$10,000 per day!





NEIGHBORHOOD CONTEXT MAP

1" = 30'-0"

House Size Comparison Chart for 114 Wilder Ave between Bean Ave and Nicholson Ave

APN	Address	Stories	Zoning	House Size	Lot Size	Max Res FAR	Garage Size	FAR difference	Garage FAR	ADU	FAR	BLDG FAR
510-17-069	100 Wilder Ave	2	R-1D	1,776	4,435	1,532.20	624	-243.80			-0.00452	0.345
510-17-070	104 Wilder Ave	2	R-1D	2,117	6,456	2,184.40	720	67.40			0.011648	0.338
510-17-103	112 Wilder Ave		R-1D	2,508	7,624	2,508.36		0.36			0.020992	0.329
510-17-075	114 Wilder Ave	1	R-1D	1,000	5,366	1,862.39		862.39			0.002928	0.347
Proposed	114 Wilder Ave	2	R-1D	2,340	5,366	1,862.39	513	-477.61			0.002928	0.347
510-17-073	122 Wilder Ave	2	R-1D	1,912	5,597	1,932.22	559	20.22			0.004776	0.345
510-17-074	124 Wilder Ave	1	R-1D	1,108	5,611	1,936.42	408	828.42			0.004888	0.345
510-17-075	128 Wilder Ave	2	R-1D	1,975	5,621	1,939.42	484	-35.58			0.004968	0.345
510-17-076	134 Wilder Ave	2	R-1D	2,770	6,552	2,211.85	0	-558.15			0.012416	0.338
510-17-077	138 Wilder Ave	1	R-1D	788	6,173	2,102.62	0	1,314.62			0.009384	0.341
510-17-078	140 Wilder Ave	2	R-1D	2,104	6,977	2,331.60	660	227.60			0.015816	0.334
510-17-079	146 Wilder Ave	2	R-1D	2,213	5,833	2,002.68	649	-210.32			0.006664	0.343
510-17-080	150 Wilder Ave	1	R-1D	1,398	6,613	2,229.22	484	831.22			0.012904	0.337
OTHER SIDE OF STREET												
510-18-013	101 Wilder Ave	2	R-1D	2,500	5,690	1,960.09	320	-339.91			0.00552	0.344
510-18-012	107 Wilder Ave	2	R-1D	2,048	7,515	2,479.05	0	431.05			0.02012	0.330
510-18-011	113 Wilder Ave	2	R-1D	2,288	7,769	2,547.05	420	259.05			0.022152	0.328
510-18-010	115 Wilder Ave	1	R-1D	968	6,872	2,302.28	0	1,334.28			0.014976	0.335
510-18-009	121 Wilder Ave	2	R-1D	1,692	6,103	2,082.20	220	390.20			0.008824	0.341
510-18-008	123 Wilder Ave	1	R-1D	2,299	6,100	2,081.32	560	-217.68			0.0088	0.341
510-18-007	127 Wilder Ave	1	R-1D	1,215	6,077	2,074.59	0	859.59			0.008616	0.341
510-18-006	131 Wilder Ave	0	R-1D	1,563	6,118	2,086.58	0	523.58			0.008944	0.341
510-18-005	135 Wilder Ave	1	R-1D	1,787	6,050	2,066.68	413	279.68			0.0084	0.342
510-18-004	139 Wilder Ave	2	R-1D	2,191	6,138	2,092.42	588	-98.58			0.009104	0.341
510-18-003	145 Wilder Ave	1	R-1D	1,190	6,632	2,234.61	247	1,044.61			0.013056	0.337
510-18-002	147 Wilder Ave	1	R-1D	787	6,751	2,268.28	360	1,481.28			0.014008	0.336

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NEIGHBORHOOD CONTEXT MAP

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI

114 WILDER AVE

LOS GATOS, CA 95030

APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

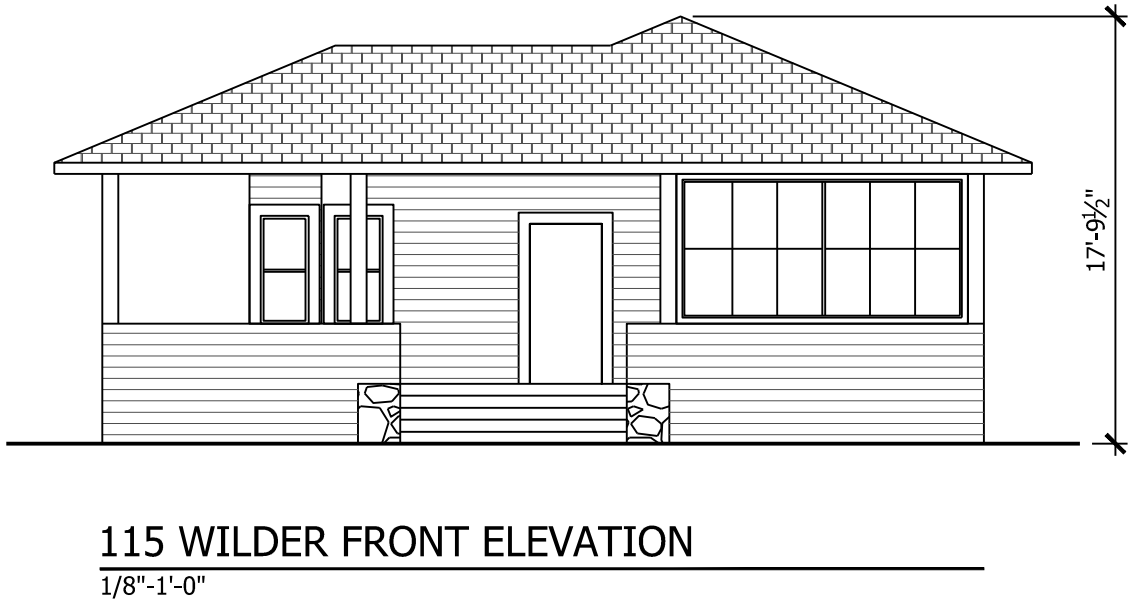
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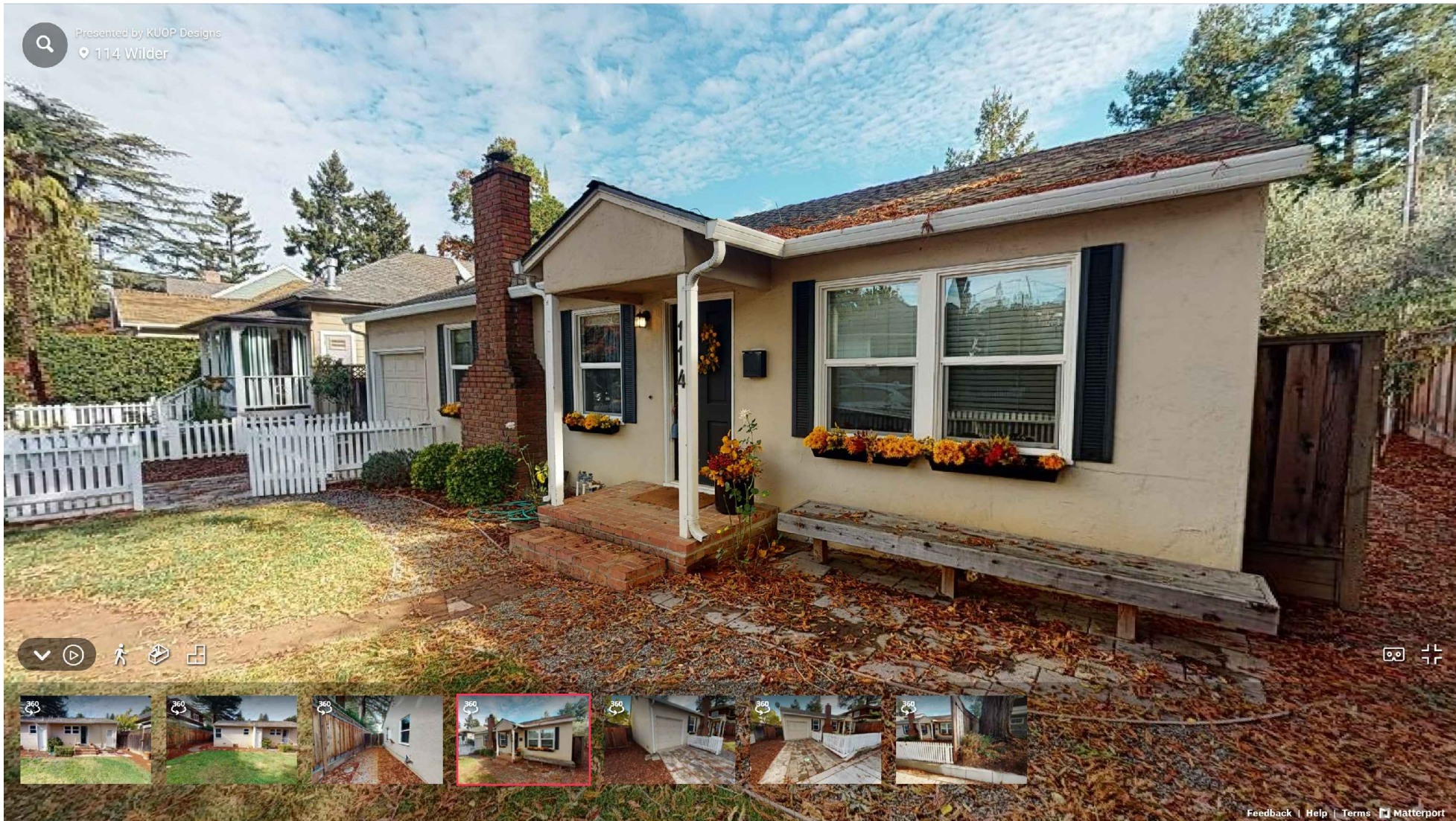
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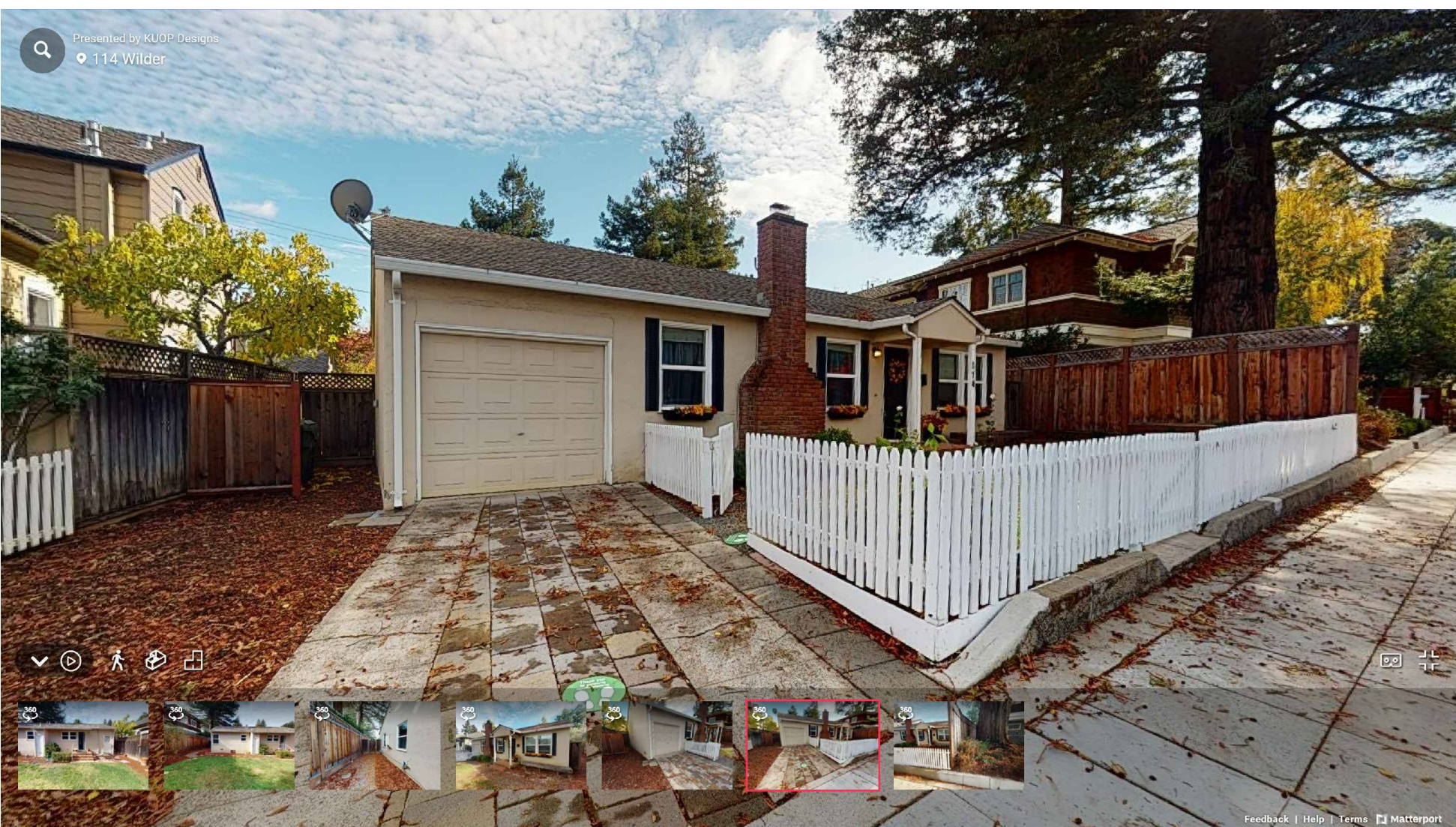
**NEIGHBORHOOD ELEVATIONS**

NEW RESIDENCE FOR:	
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114 WILDER AVE	
LOS GATOS, CA 95030	
APN# 510-17-072	
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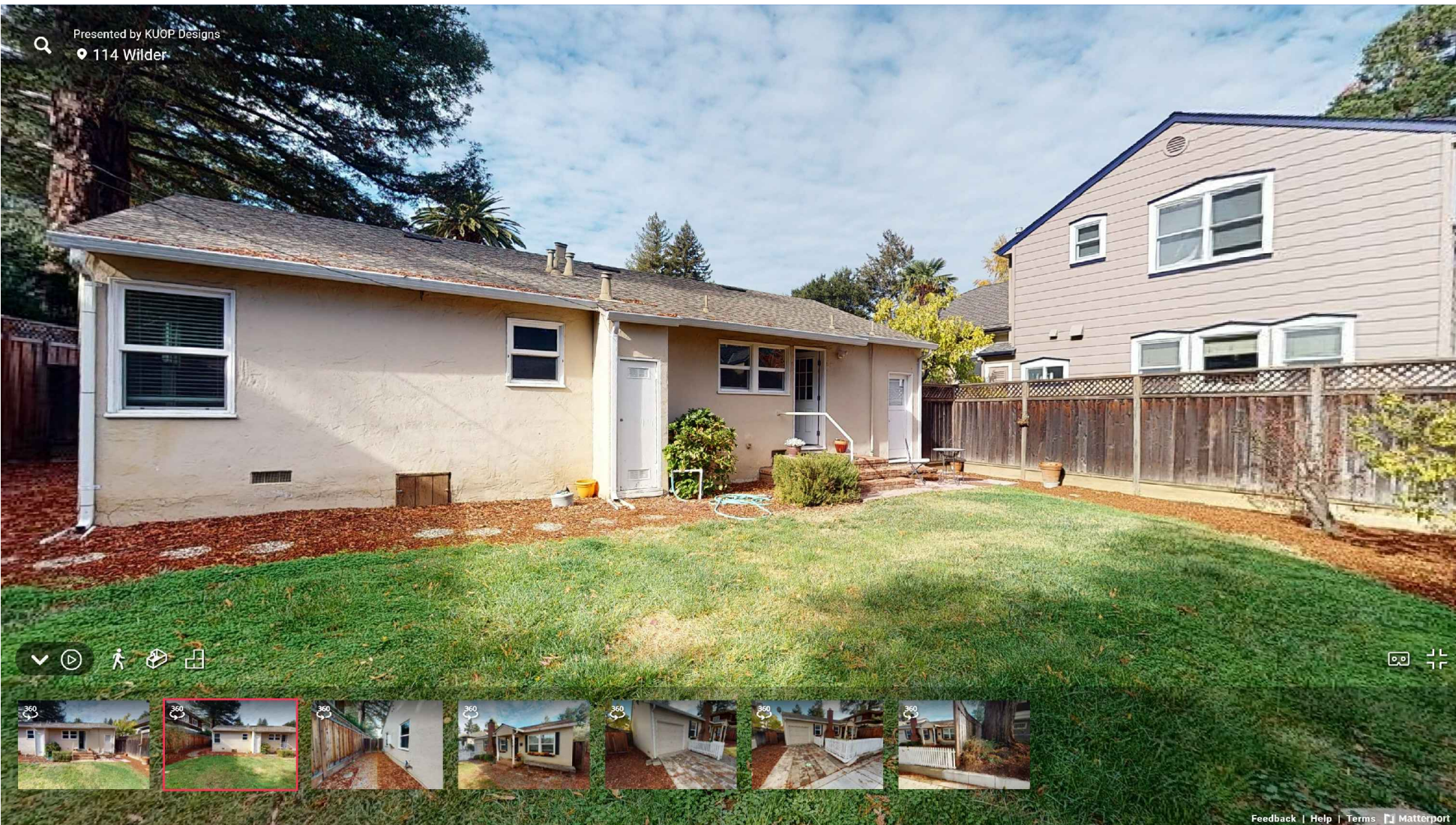
FRONT ELEVATION



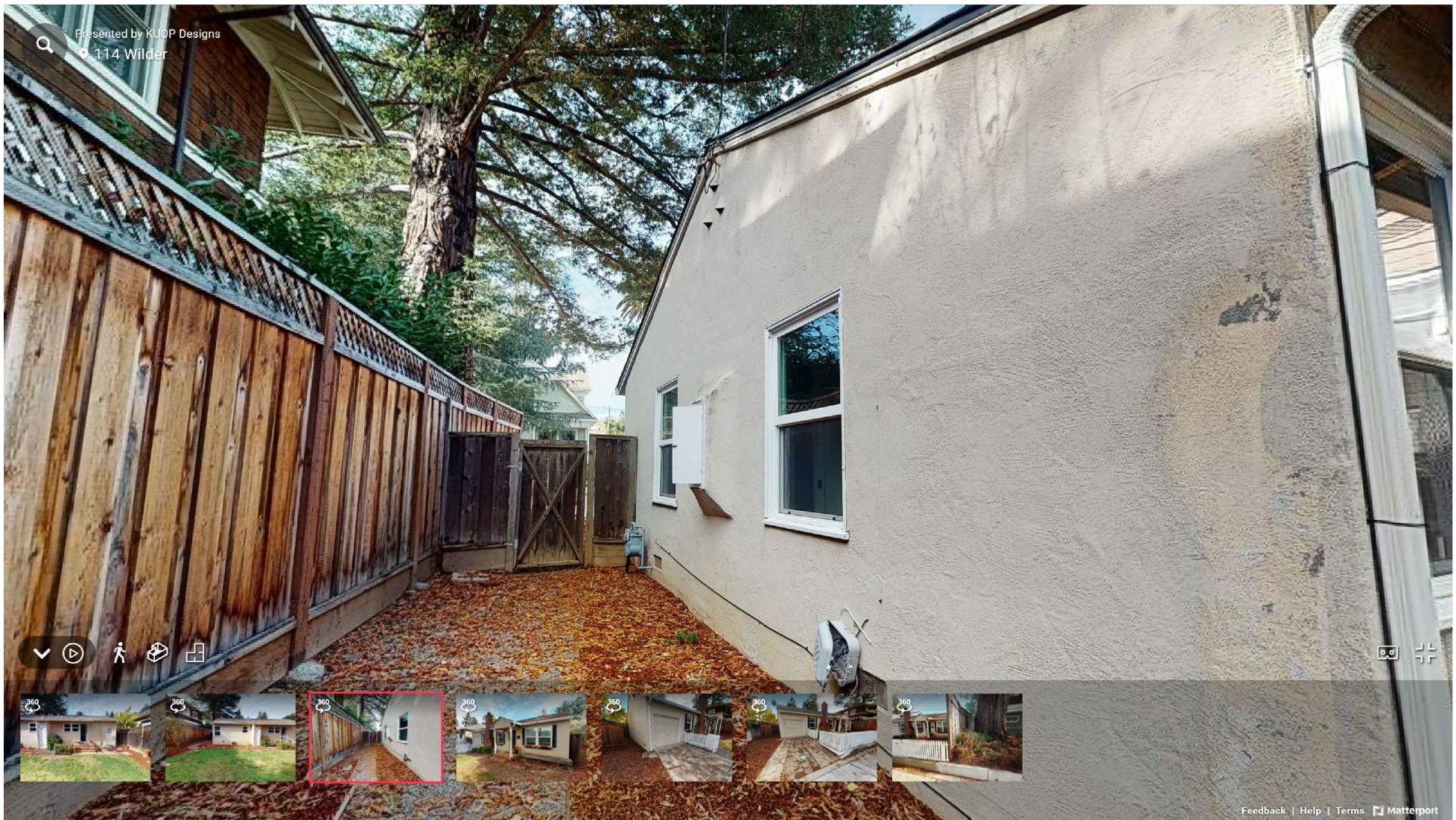
FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION



RIGHT ELEVATION

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**SITE PHOTOS**

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SHEET: **PLN1**





100 WILDER



104 WILDER



112 WILDER



122 WILDER



124 WILDER



128 WILDER



134 WILDER



138 WILDER



140 WILDER

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**NEIGHBORHOOD PHOTOS**

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SHEET: **PLN2**





101 WILDER



107 WILDER



113 WILDER



115 WILDER



121 WILDER



123 WILDER



127 WILDER



131 WILDER



135 WILDER



139 WILDER

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SHEET:

**PLN3**





CHIMNEY CAP: CUSTOM COPPER CAP

ROOFING: CALIFORNIA CEDAR SHAKE & SHINGLE BUREAU  
PRODUCT: HANDSPLIT HEAVY RED CEDAR SHAKES

GUTTERS: HALF ROUND COPPER GUTTERS

WINDOW TRIM: 1 IN X 3.5 IN ROUGH CUT, PAINT TO  
MATCH SIDING

SIDING: HARDIE HORIZONTAL SIDING, PAINT- BM SWISS  
COFFEE @ 75%

WINDOWS: MARVIN ULTIMATE CASEMENT PUSH OUT - 4 GRIDS -  
PATTERN: RECTANGULAR PATTERN

EXTERIOR LIGHT: CIRCA LIGHTING -BEDFORD WIDE TALL 3/4 LANTERN

ENTRY DOOR: 2/3 WINDOW FRONT DOOR WITH AS SMALL OF PROFILES AS  
POSSILBE AND SIDELIGHTS TO FIT THE 100 INCH OPENING WITH GRIDS

GARAGE DOOR: CUSTOM NATURAL WOOD WHITE RIFT OAK WITH CUSTOM  
STAIN AND 12 LITES PER PANEL AS APPROVED BY HPC.



PAINT: STUCCO AND SIDING BM SWISS COFFEE @ 75%

REAR GARAGE DOOR DESIGN TO MATCH FRONT  
ELEVATION GARAGE DOOR DESIGN

REVISIONS	DATE

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PROPOSED RENDERINGS

NEW RESIDENCE FOR:

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DATE:	2022.05.06
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DRAWN BY:	DAVID
PLAN NO.:	2039

SHEET:  
**PLN4**



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SAN JOSE, CA 95117

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PAGE TITLE

SHADOW STUDY

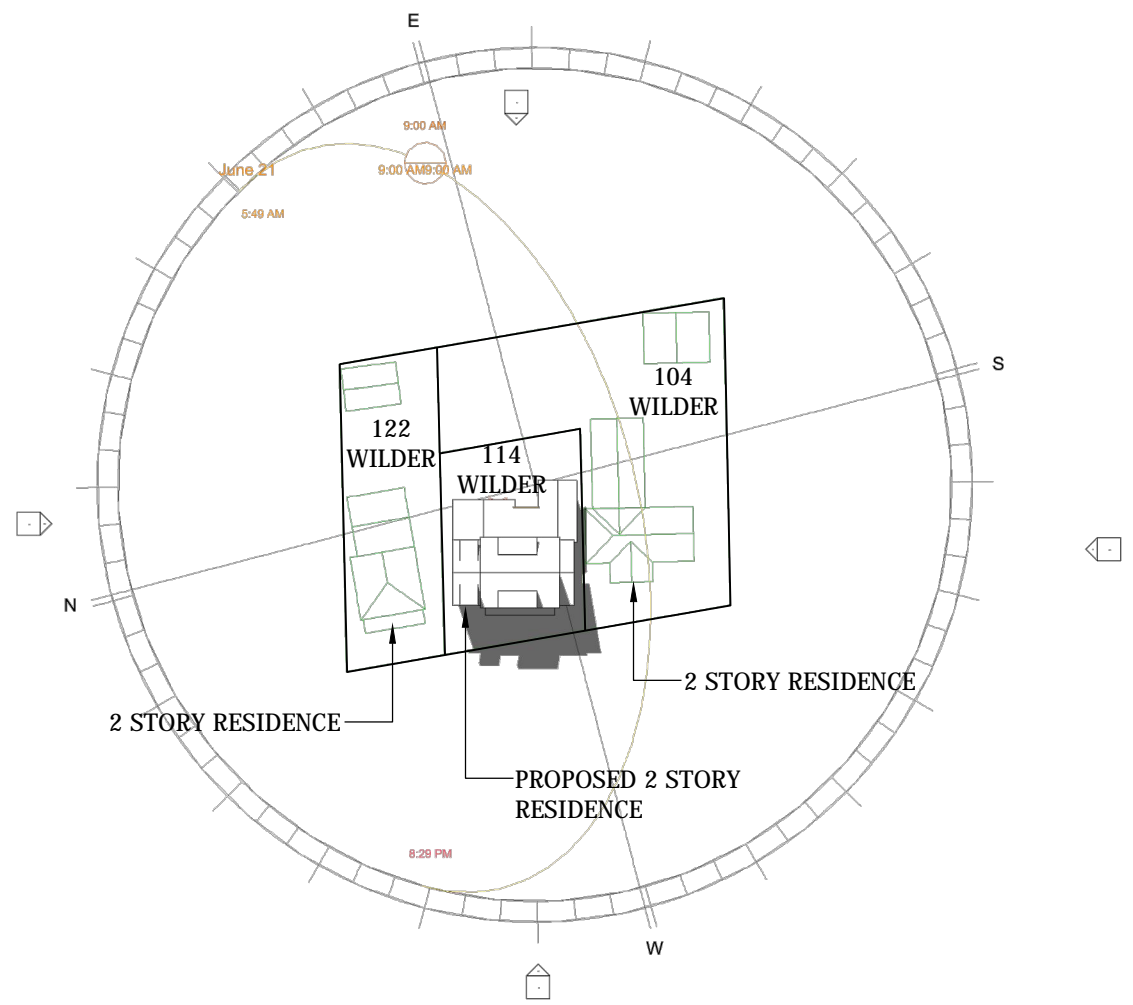
NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

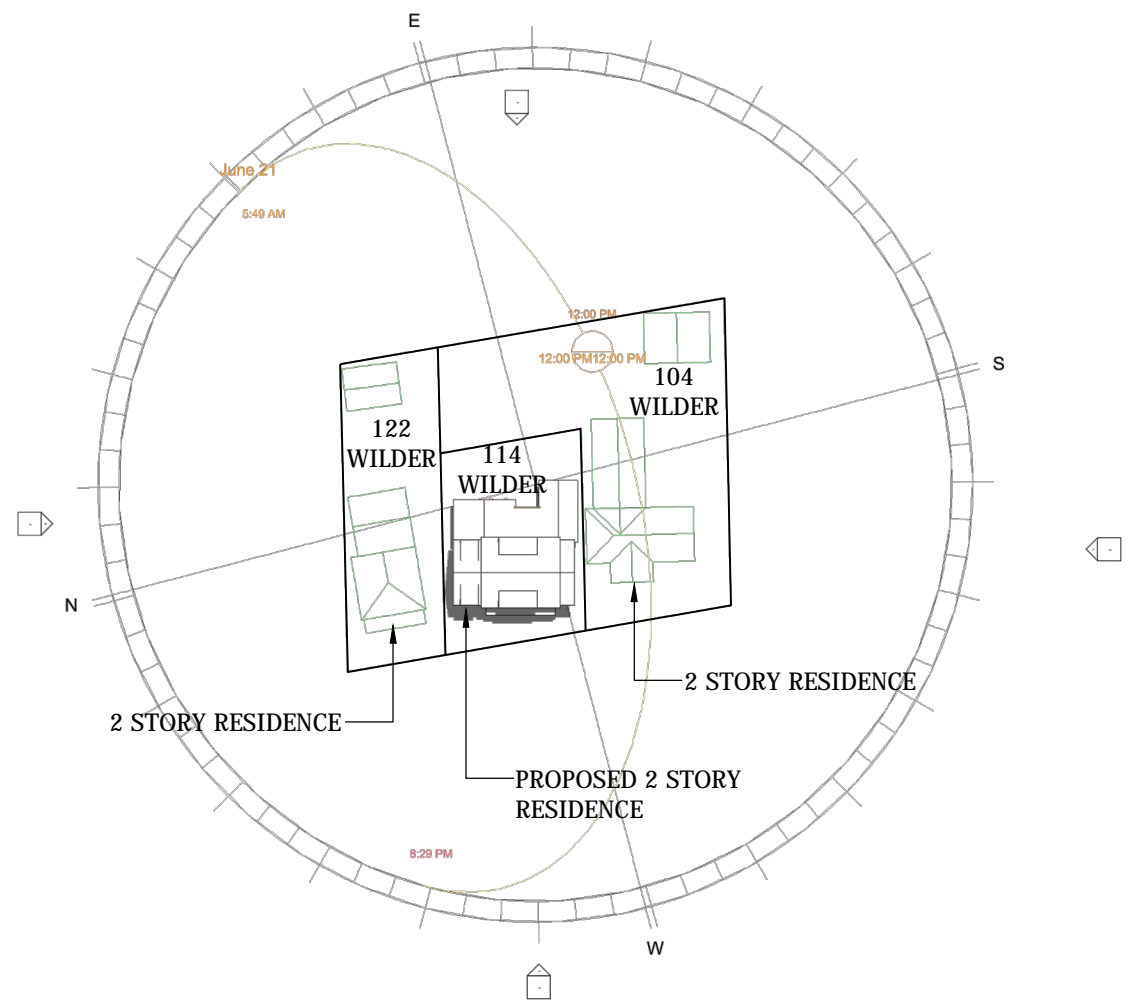
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PLAN NO.:	2039

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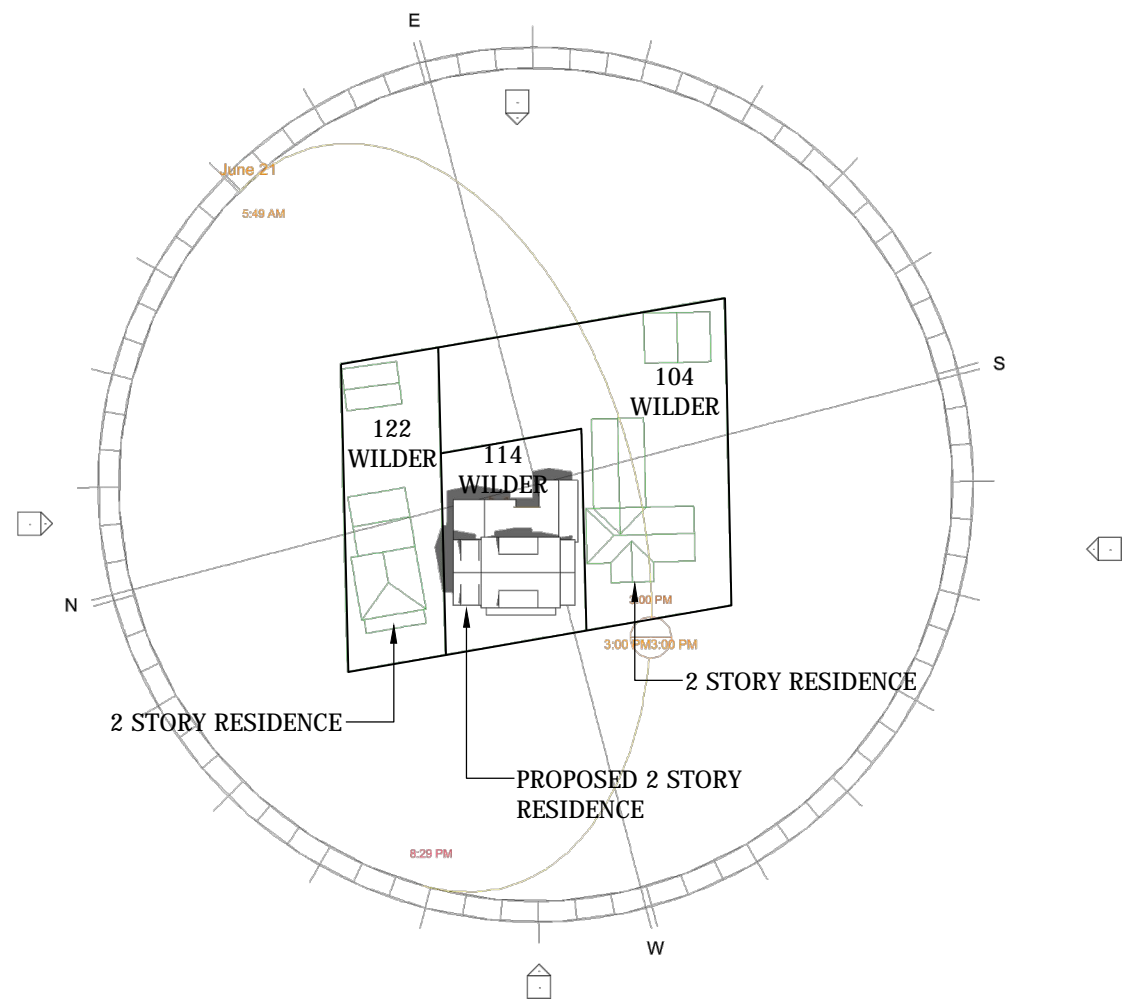
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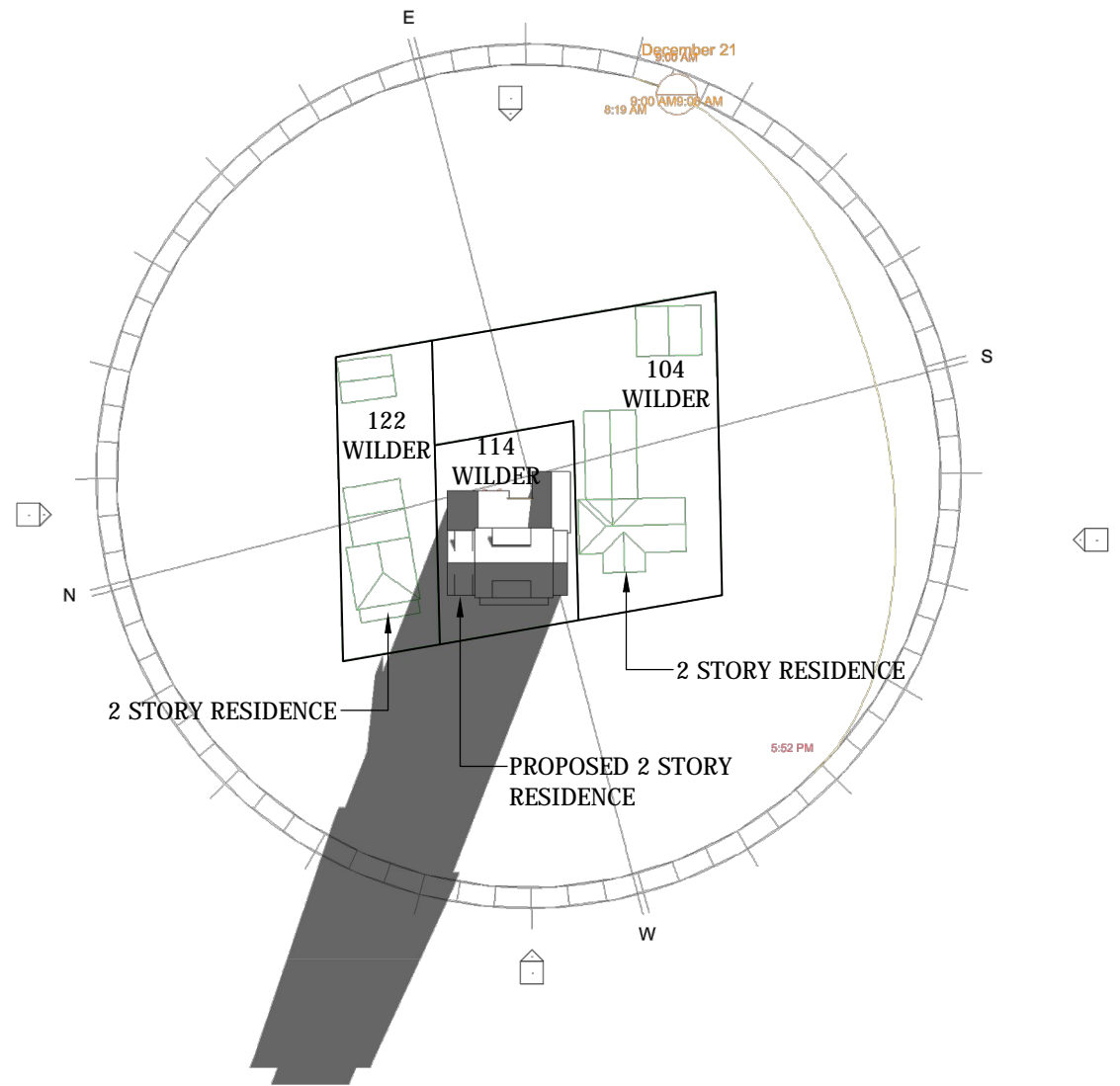
114 WILDER SOLAR ACCESS STUDY  
JUNE 21 9AM



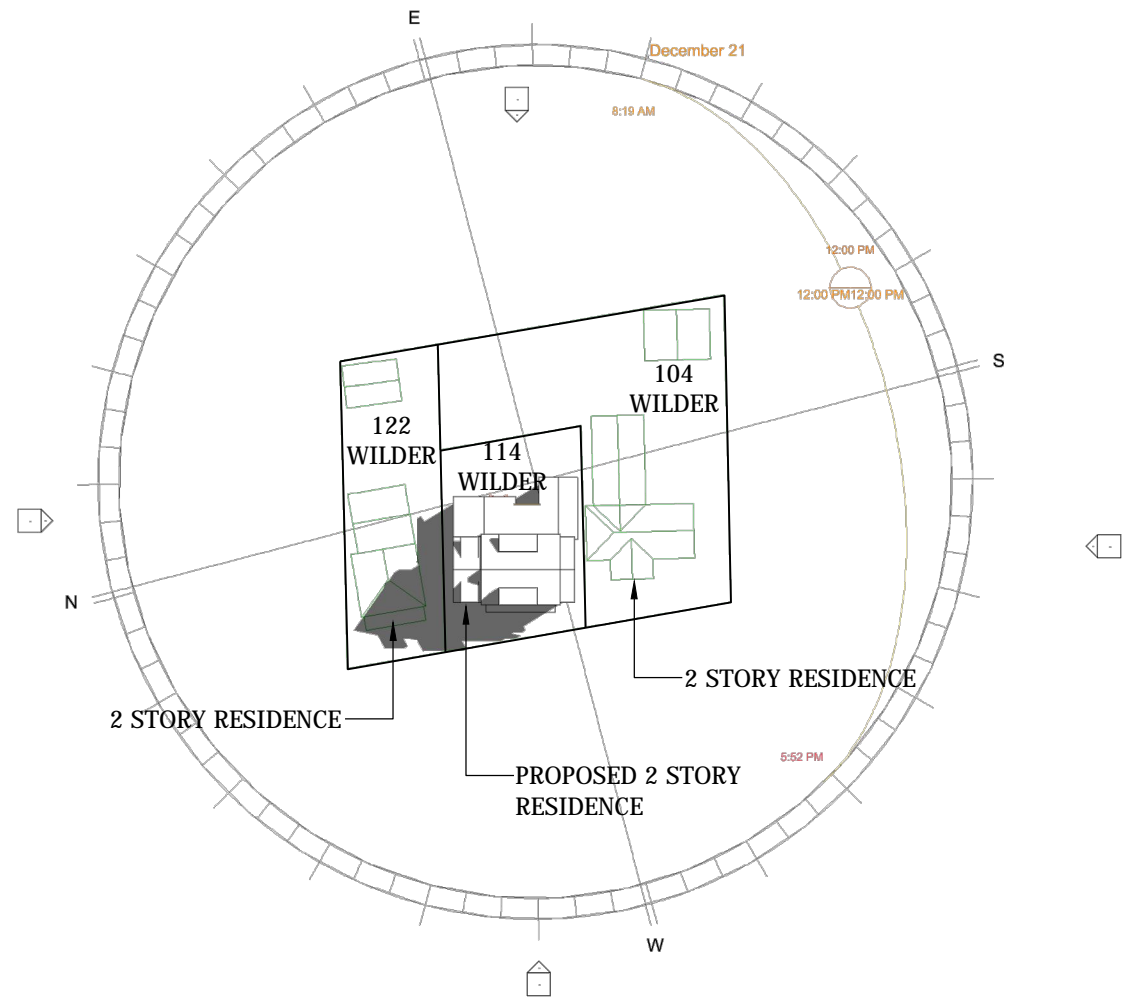
114 WILDER SOLAR ACCESS STUDY  
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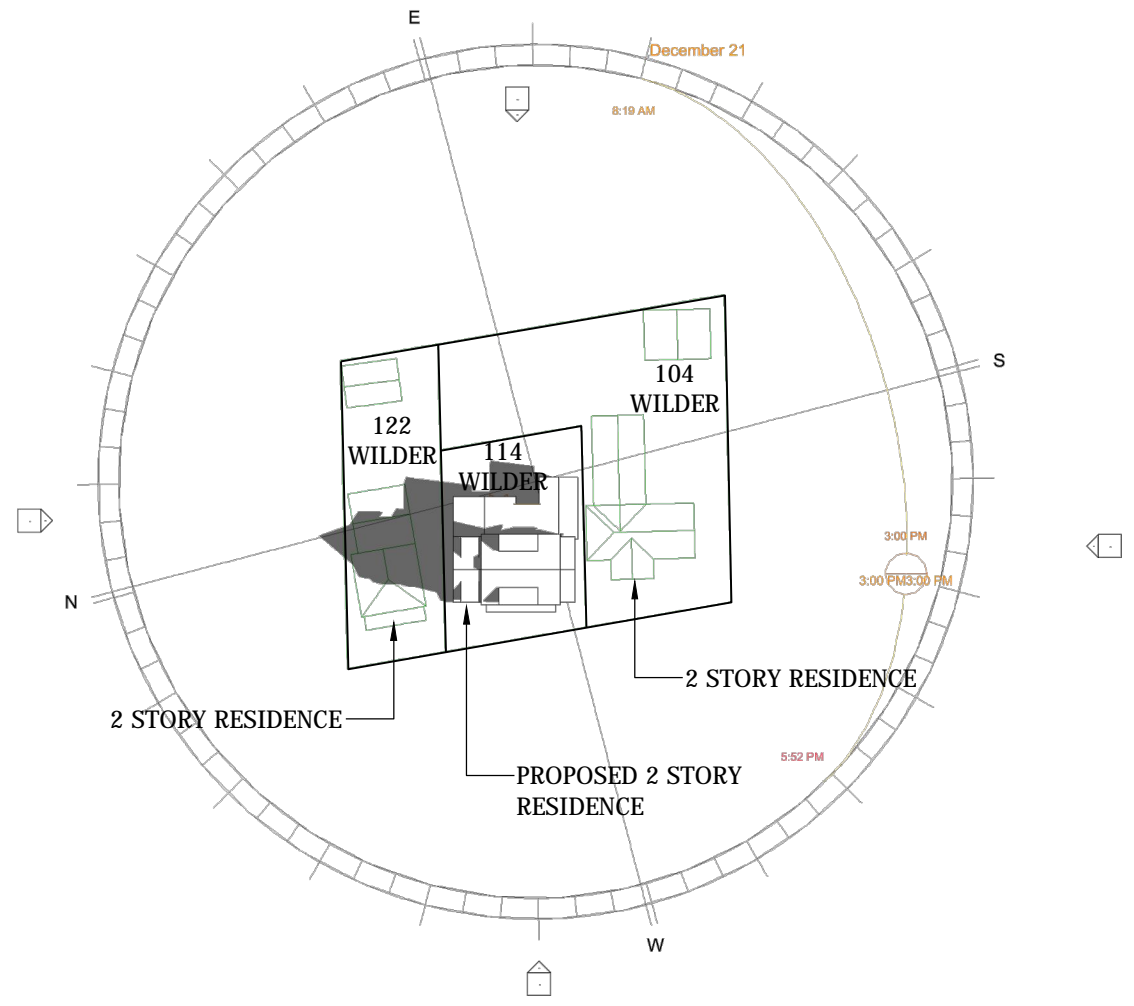
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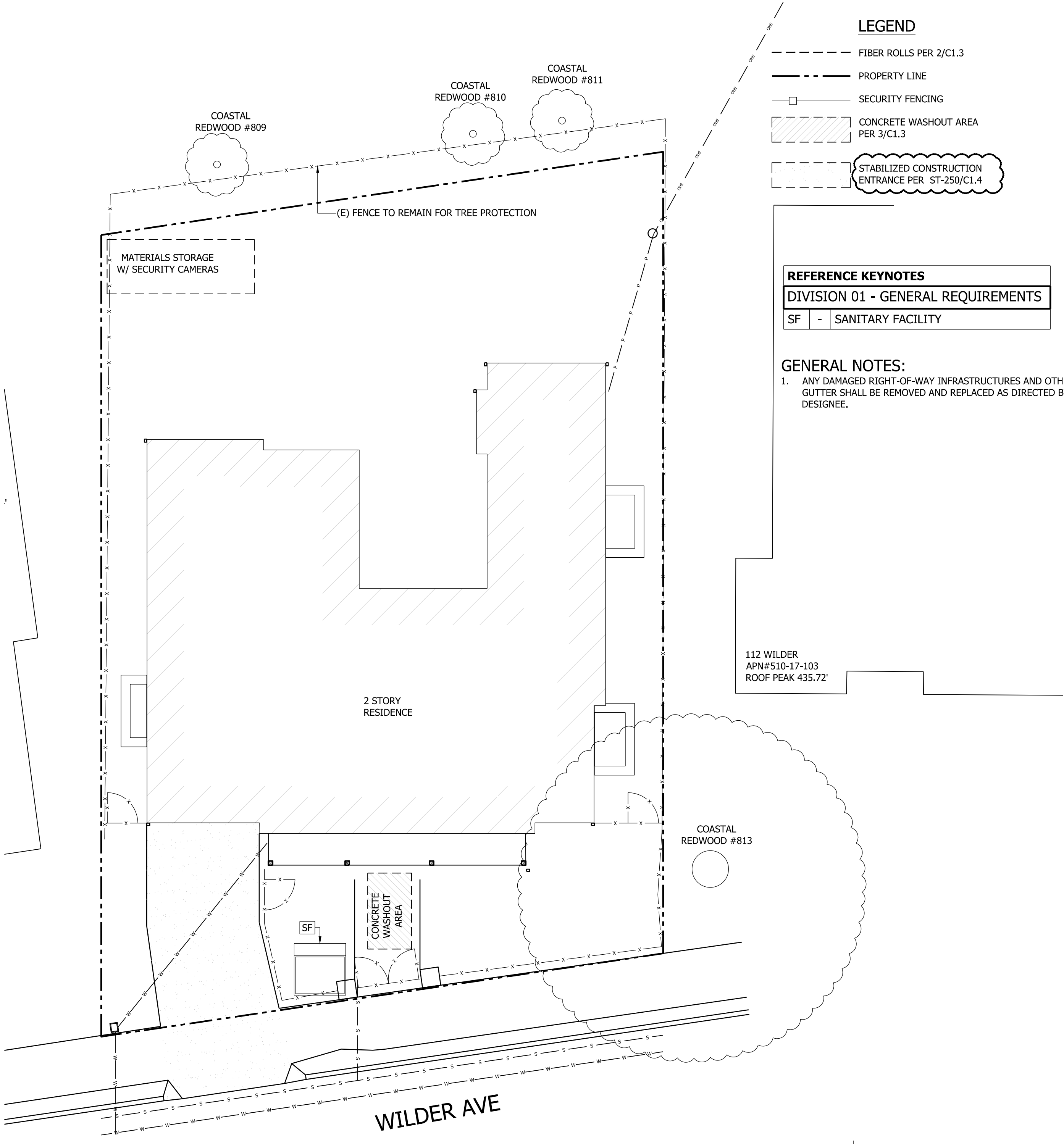
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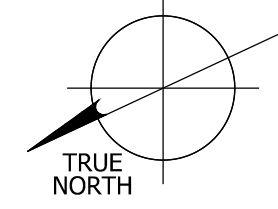
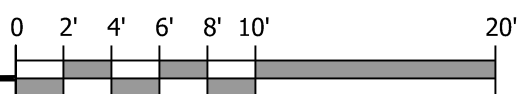
114 WILDER SOLAR ACCESS STUDY  
DECEMBER 21 12PM



114 WILDER SOLAR ACCESS STUDY  
DECEMBER 21 3PM



ILDER STORM WATER PREVENTION PLAN



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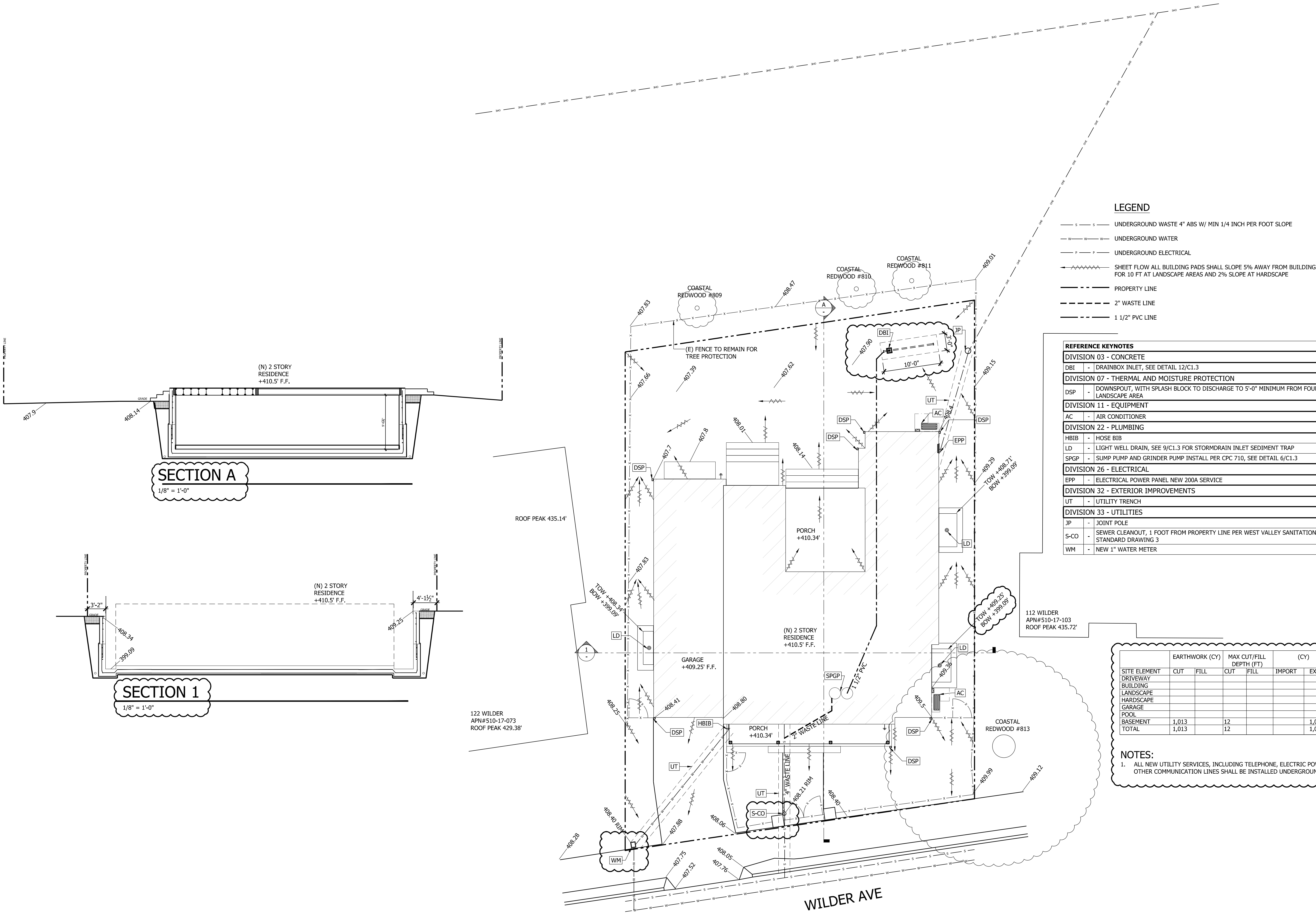
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**STORM EROSION AND SEDIMENT CONTROL PLAN**

NEW RESIDENCE FOR:  
ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06  
SCALE: PER SHEET  
DRAWN BY: DAVID  
PLAN NO.: 2039

SHEET:  
**C1.1**





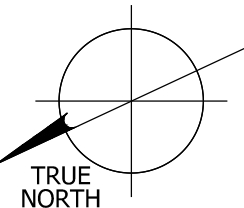
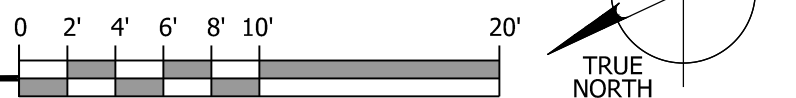
- LEGEND**
- S — S — UNDERGROUND WASTE 4" ABS W/ MIN 1/4 INCH PER FOOT SLOPE
  - W — W — W — UNDERGROUND WATER
  - P — P — UNDERGROUND ELECTRICAL
  - SHEET FLOW ALL BUILDING PADS SHALL SLOPE 5% AWAY FROM BUILDING FOR 10 FT AT LANDSCAPE AREAS AND 2% SLOPE AT HARDSCAPE
  - — — — — PROPERTY LINE
  - — — — — 2" WASTE LINE
  - — — — — 1 1/2" PVC LINE

REFERENCE KEYNOTES	
DIVISION 03 - CONCRETE	
DBI	- DRAINBOX INLET, SEE DETAIL 12/C1.3
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
DSP	- DOWNSPOUT, WITH SPLASH BLOCK TO DISCHARGE TO 5'-0" MINIMUM FROM FOUNDATION TO LANDSCAPE AREA
DIVISION 11 - EQUIPMENT	
AC	- AIR CONDITIONER
DIVISION 22 - PLUMBING	
HBIB	- HOSE BIB
LD	- LIGHT WELL DRAIN, SEE 9/C1.3 FOR STORMDRAIN INLET SEDIMENT TRAP
SPGP	- SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710, SEE DETAIL 6/C1.3
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE
DIVISION 32 - EXTERIOR IMPROVEMENTS	
UT	- UTILITY TRENCH
DIVISION 33 - UTILITIES	
JP	- JOINT POLE
S-CO	- SEWER CLEANOUT, 1 FOOT FROM PROPERTY LINE PER WEST VALLEY SANITATION DISTRICT STANDARD DRAWING 3
WM	- NEW 1" WATER METER

SITE ELEMENT	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
DRIVEWAY						
BUILDING						
LANDSCAPE						
HARDSCAPE						
GARAGE						
POOL						
BASEMENT	1,013		12			1,013
TOTAL	1,013		12			1,013

**NOTES:**  
1. ALL NEW UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND

114 WILDER GRADING PLAN



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GRADING PLAN AND SECTIONS

PAGE TITLE

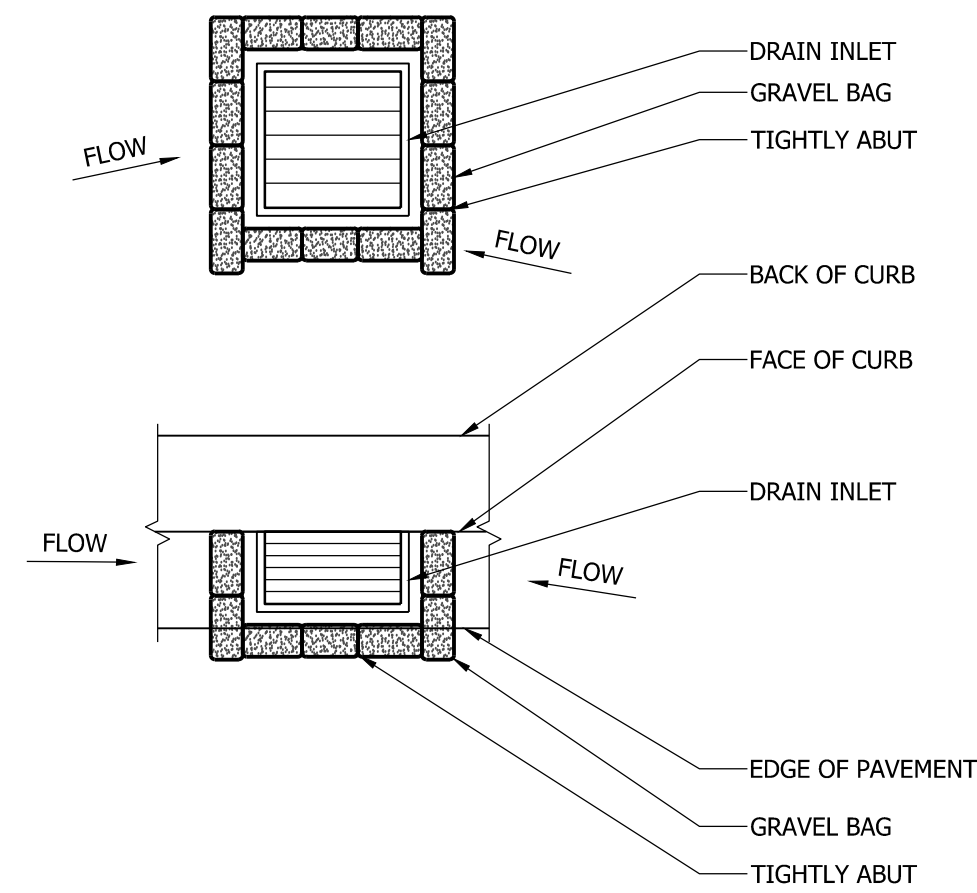
NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:	2022.05.06
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PLAN NO.:	2039

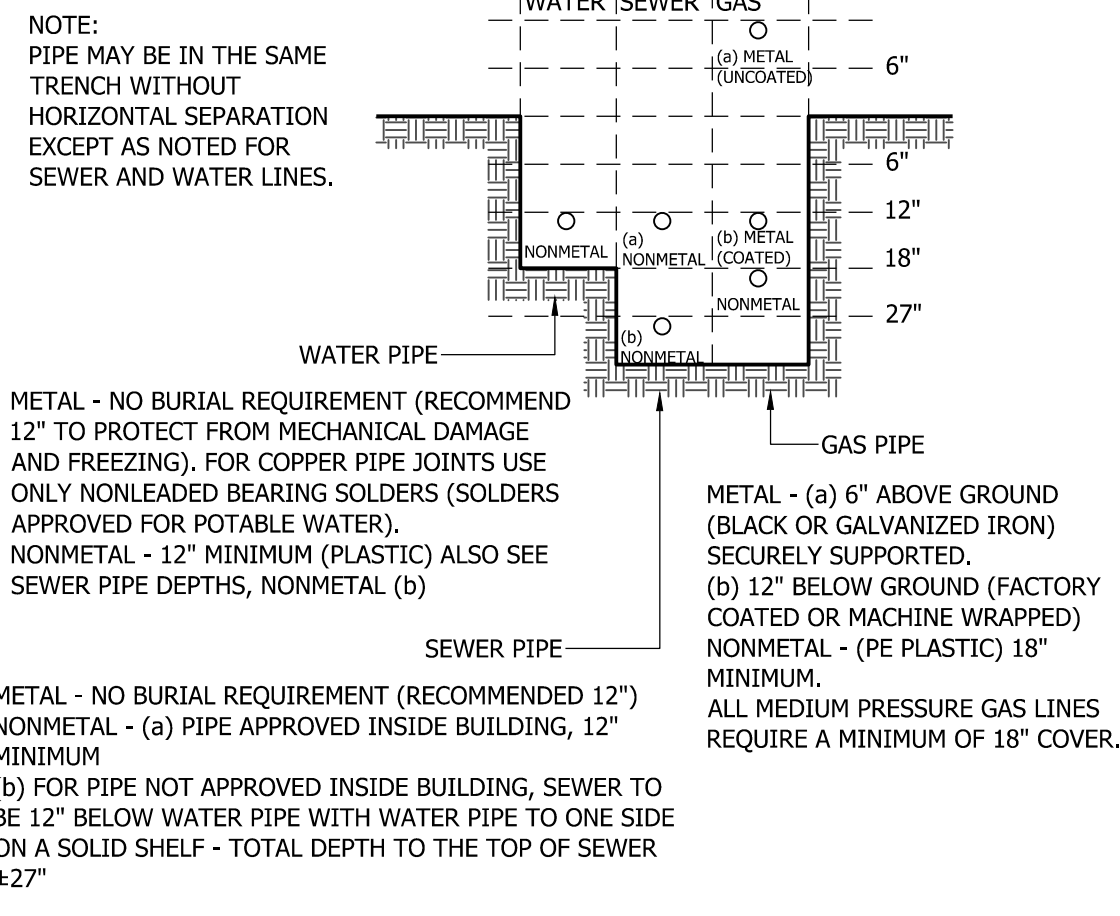
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**C1.2**





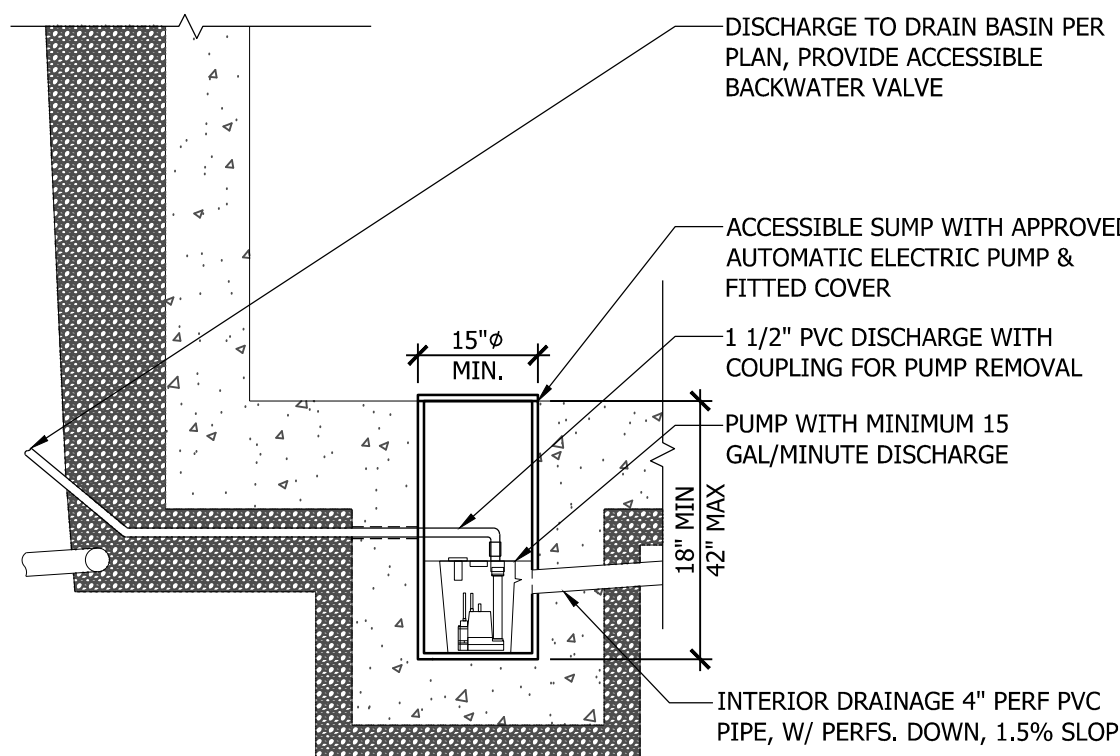
9 STORM DRAIN INLET SEDIMENT TRAP  
C1.3 SCALE: 1"=1'-0"

\\p\Details\Templates\Detail\_1-1-2.dwg - User - 08/26/2015 9:22:12 AM

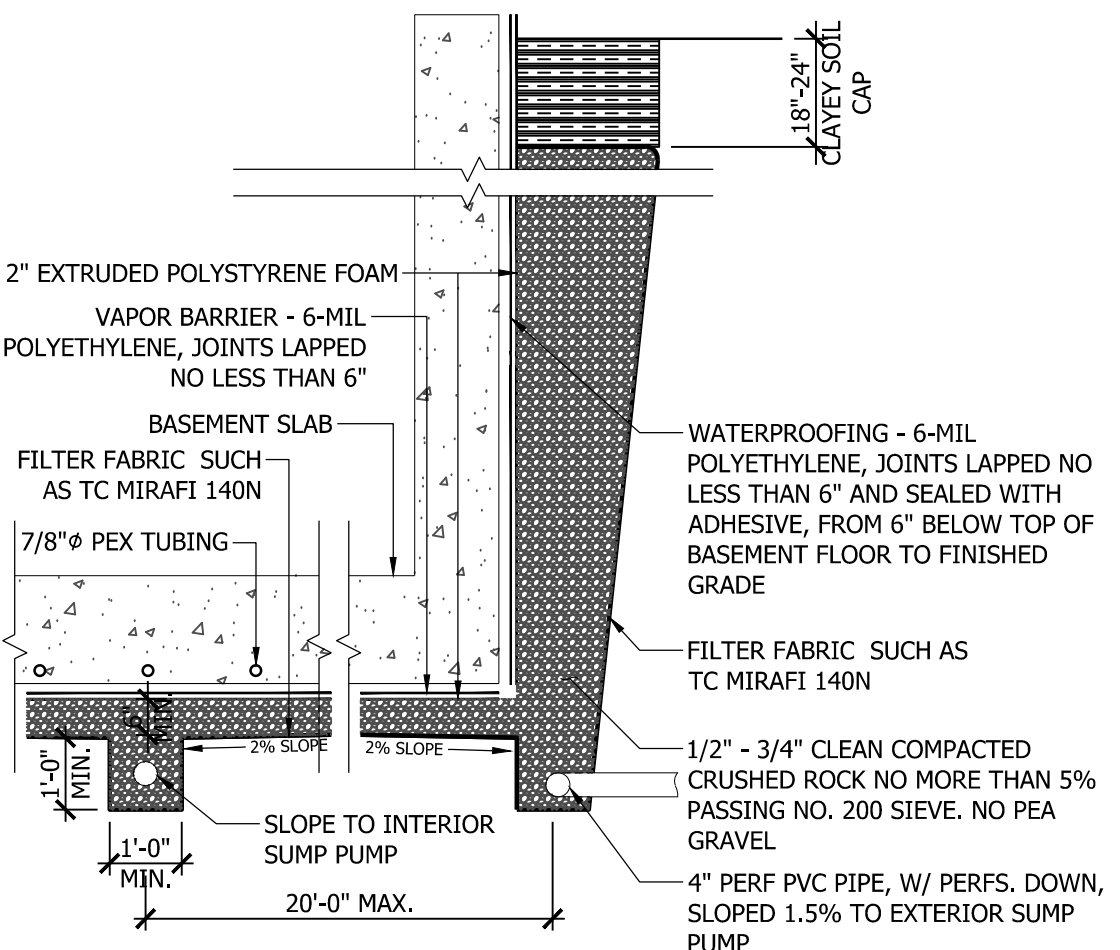


5 PIPING BURIAL DEPTHS  
C1.3 SCALE: 1/2\"=1'-0"

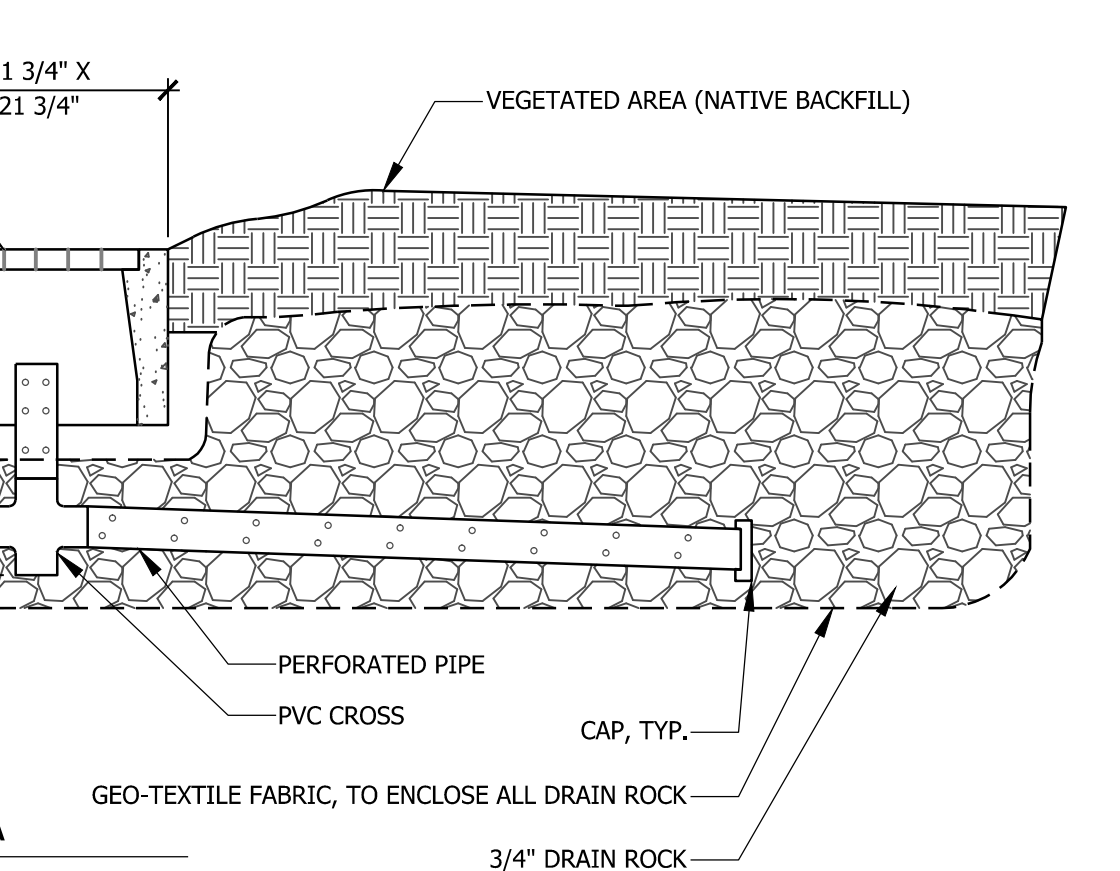
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6 SUMP PIT  
C1.3 SCALE: 3/8\"=1'-0"



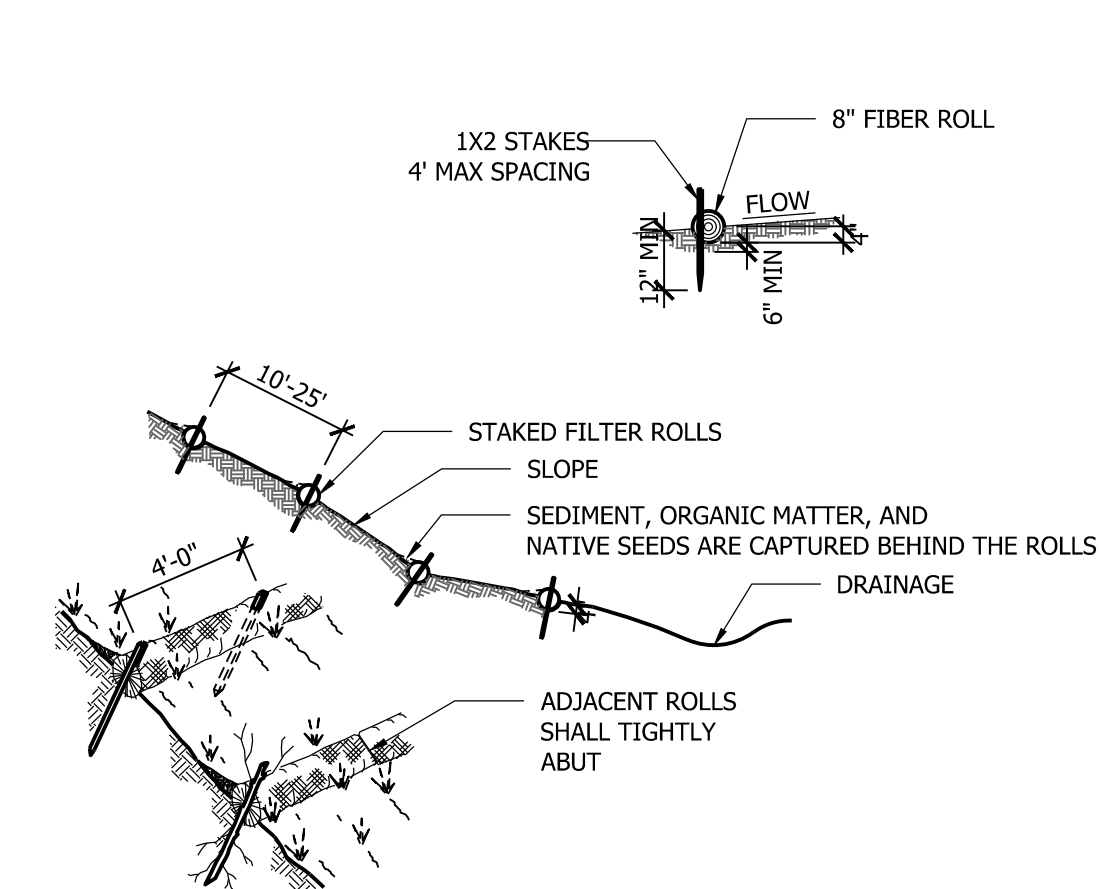
7 SUBSLAB DRAINAGE  
C1.3 SCALE: 3/8\"=1'-0"



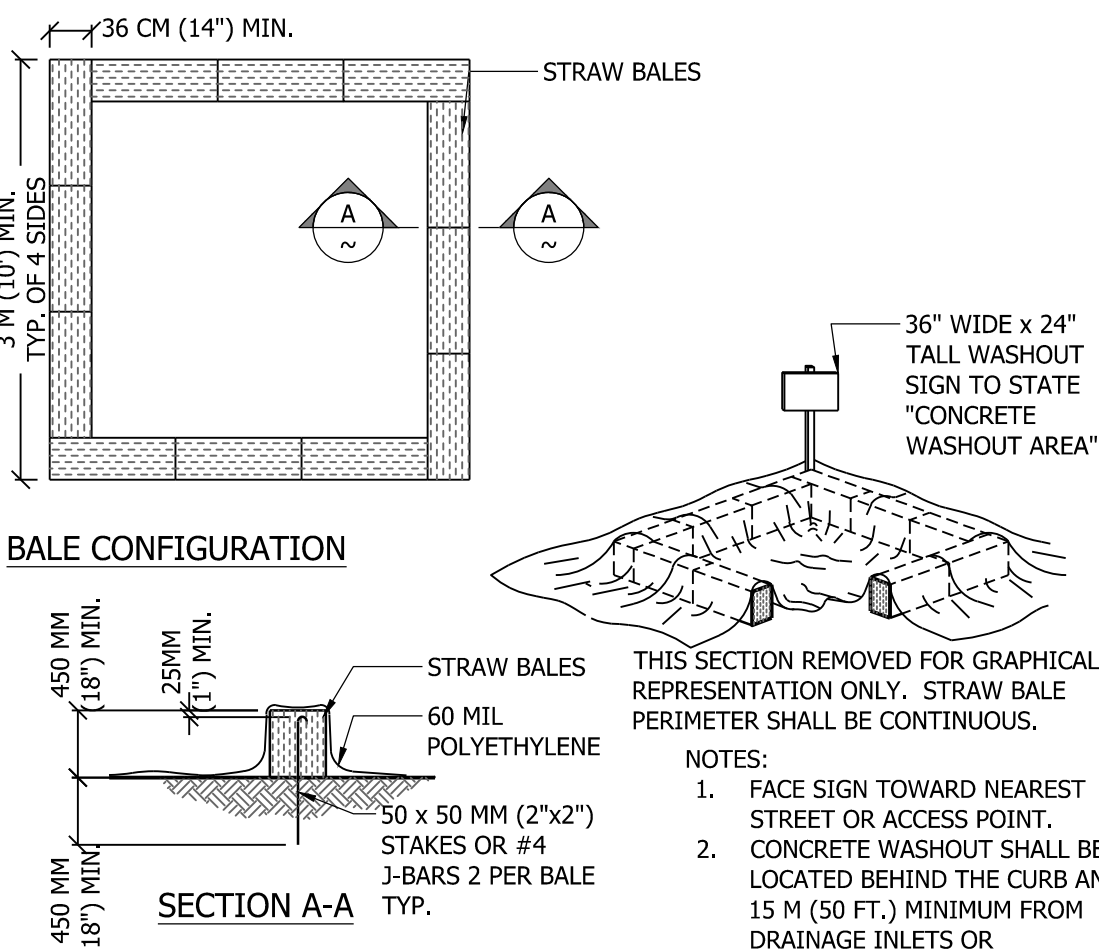
12 SHALLOW GRAVEL BASIN  
C1.3 SCALE: 3/4\"=1'-0"

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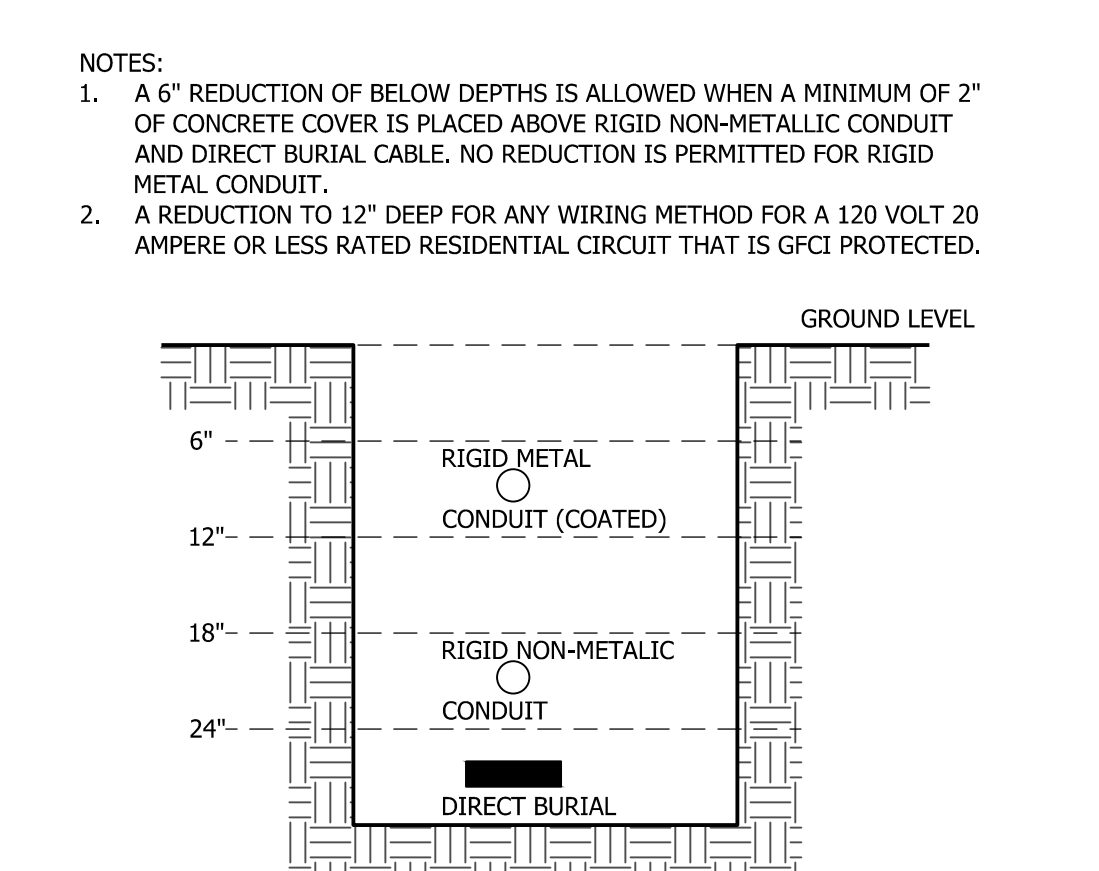
1 C1.3



2 FIBER ROLLS  
C1.3 SCALE: 1/8\"=1'-0"



3 CONCRETE WASHOUT AREA  
C1.3 N.T.S.



4 ELECTRICAL BURIAL DEPTHS  
C1.3 SCALE: 1\"=1'-0"

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PAGE TITLE  
EROSION AND SEDIMENT CONTROL

NEW RESIDENCE FOR:  
ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06  
SCALE: PER SHEET  
DRAWN BY: DAVID  
PLAN NO.: 2039  
SHEET: C1.3

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06  
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PLAN NO.: 2039

SHEET:  
**C1.4**

PAGE TITLE

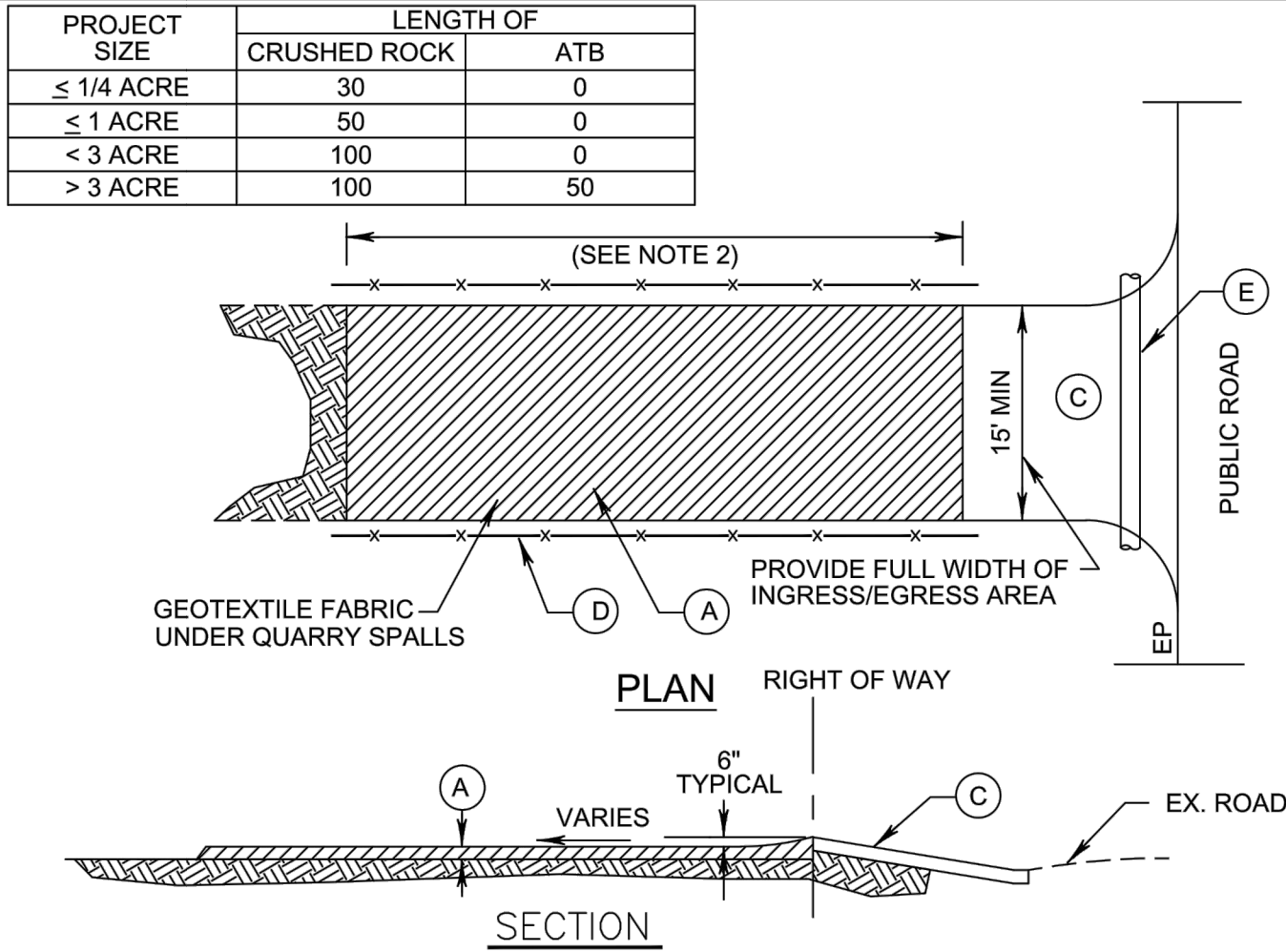
CITY STANDARD DETAILS

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- (A) 4" CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.  
(B) THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH APPROVAL OF THE CITY ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL SITE CONDITIONS AND SIZE DICTATE  
(C) ATB DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.  
(D) INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE  
(E) INSTALL 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

NOTES:

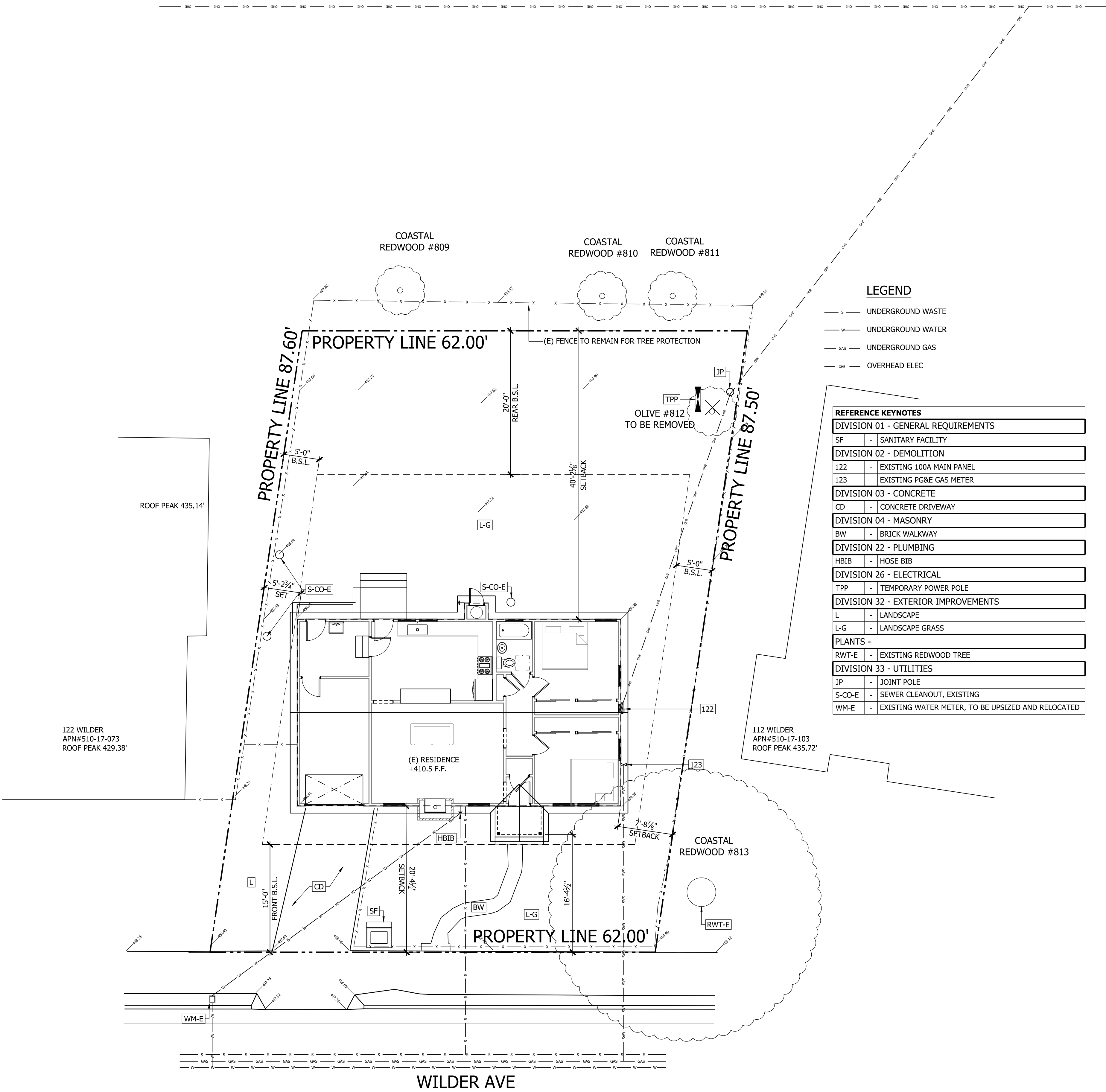
- 1 SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
2 MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.  
3 WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
4 PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NOT TO SCALE

APPROVED BY	DATE		STABILIZED CONSTRUCTION ENTRANCE	STD. PLAN NO.
	NOVEMBER 2010			ST-250
TOWN ENGINEER				

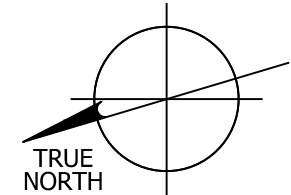
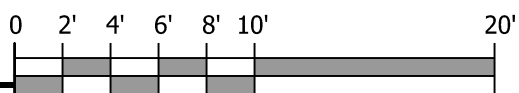
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114 WILDER SITE PLAN EXISTING

1/8" = 1'-0"



LEGEND

- S — UNDERGROUND WASTE
- W — UNDERGROUND WATER
- GAS — UNDERGROUND GAS
- OH — OVERHEAD ELEC

REFERENCE KEYNOTES

DIVISION 01 - GENERAL REQUIREMENTS	
SF	- SANITARY FACILITY
DIVISION 02 - DEMOLITION	
122	- EXISTING 100A MAIN PANEL
123	- EXISTING PG&E GAS METER
DIVISION 03 - CONCRETE	
CD	- CONCRETE DRIVEWAY
DIVISION 04 - MASONRY	
BW	- BRICK WALKWAY
DIVISION 22 - PLUMBING	
HBIB	- HOSE BIB
DIVISION 26 - ELECTRICAL	
TPP	- TEMPORARY POWER POLE
DIVISION 32 - EXTERIOR IMPROVEMENTS	
L	- LANDSCAPE
L-G	- LANDSCAPE GRASS
PLANTS -	
RWT-E	- EXISTING REDWOOD TREE
DIVISION 33 - UTILITIES	
JP	- JOINT POLE
S-CO-E	- SEWER CLEANOUT, EXISTING
WM-E	- EXISTING WATER METER, TO BE UPSIZED AND RELOCATED

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DATE

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PAGE TITLE

ARCHITECTURAL SITE PLAN EXISTING

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI

114 WILDER AVE

LOS GATOS, CA 95030

APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

DAVID

PLAN NO.:

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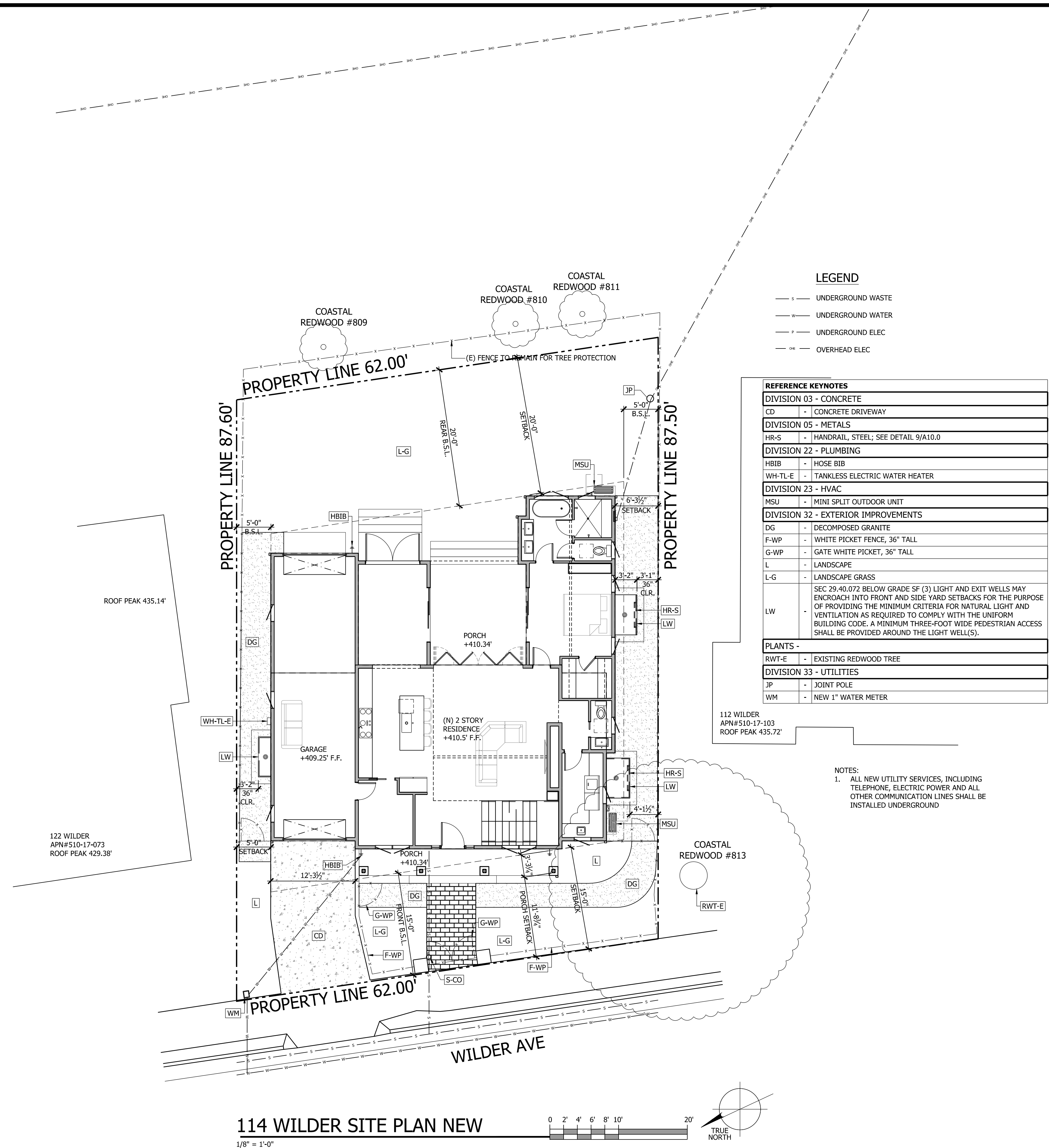
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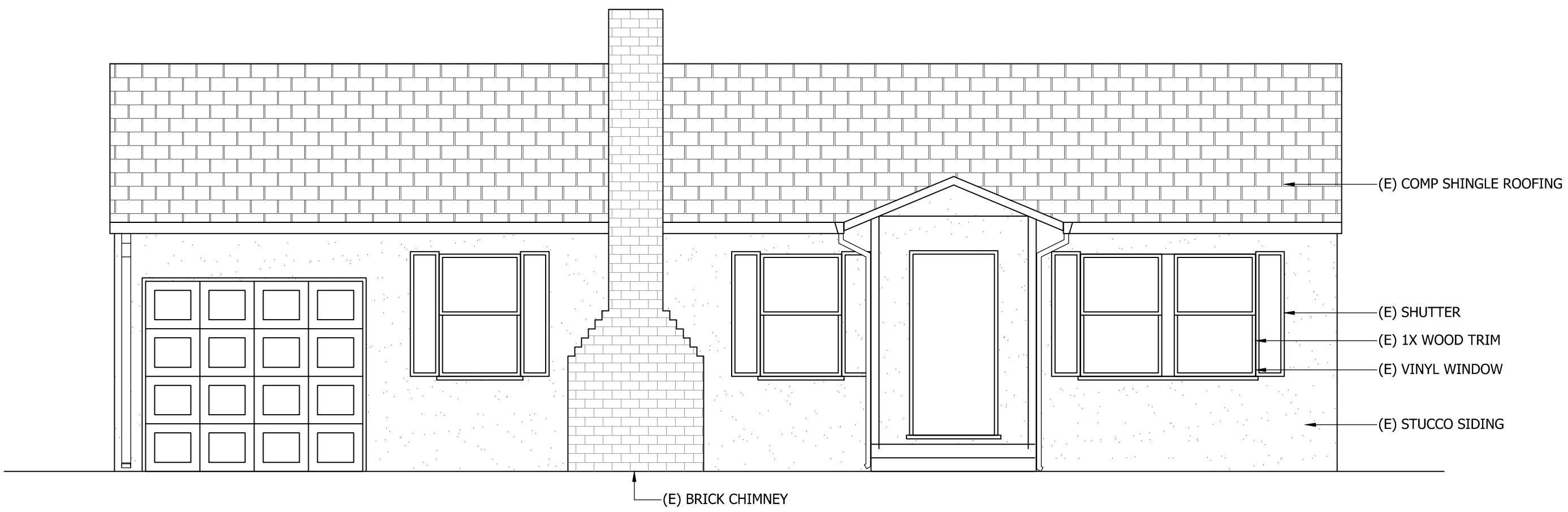
ARCHITECTURAL SITE PLAN NEW

NEW RESIDENCE FOR:  
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114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06  
SCALE: PER SHEET  
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PLAN NO.: 2039

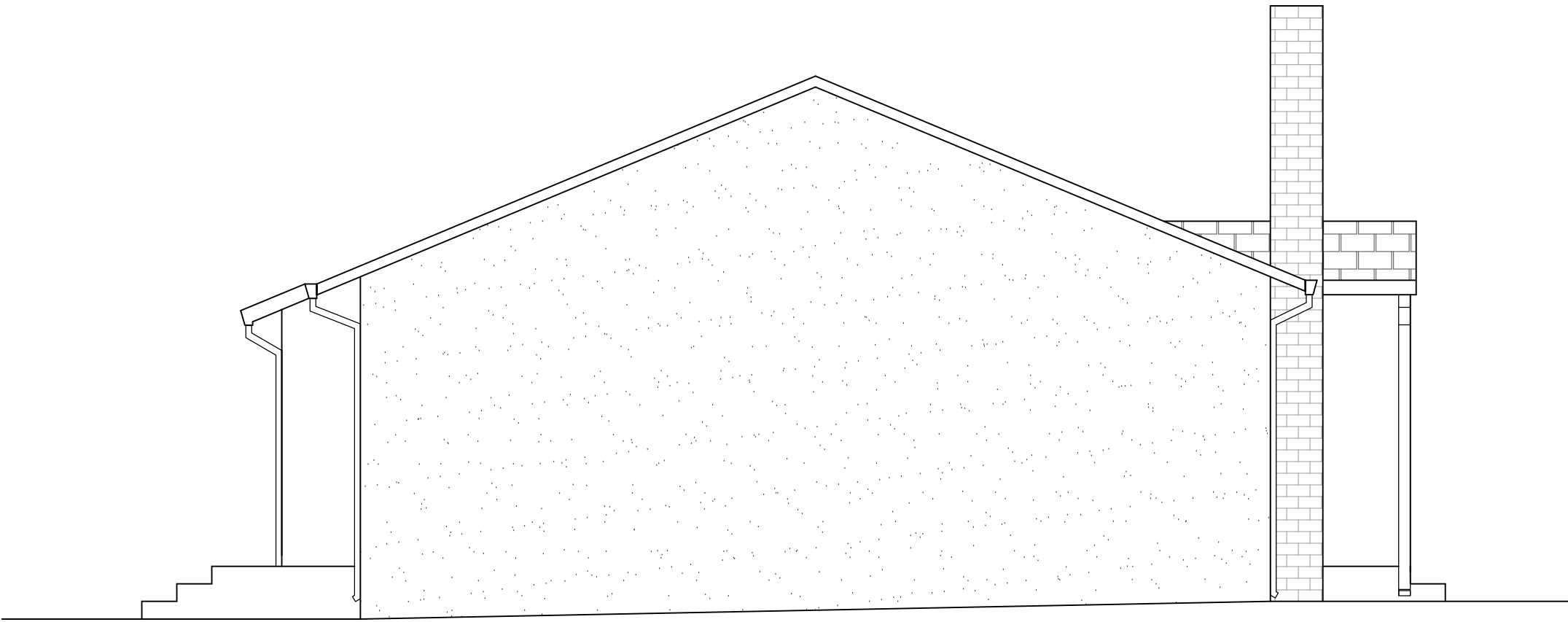
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FRONT (WEST) ELEVATION EXISTING

1/4" = 1'-0"



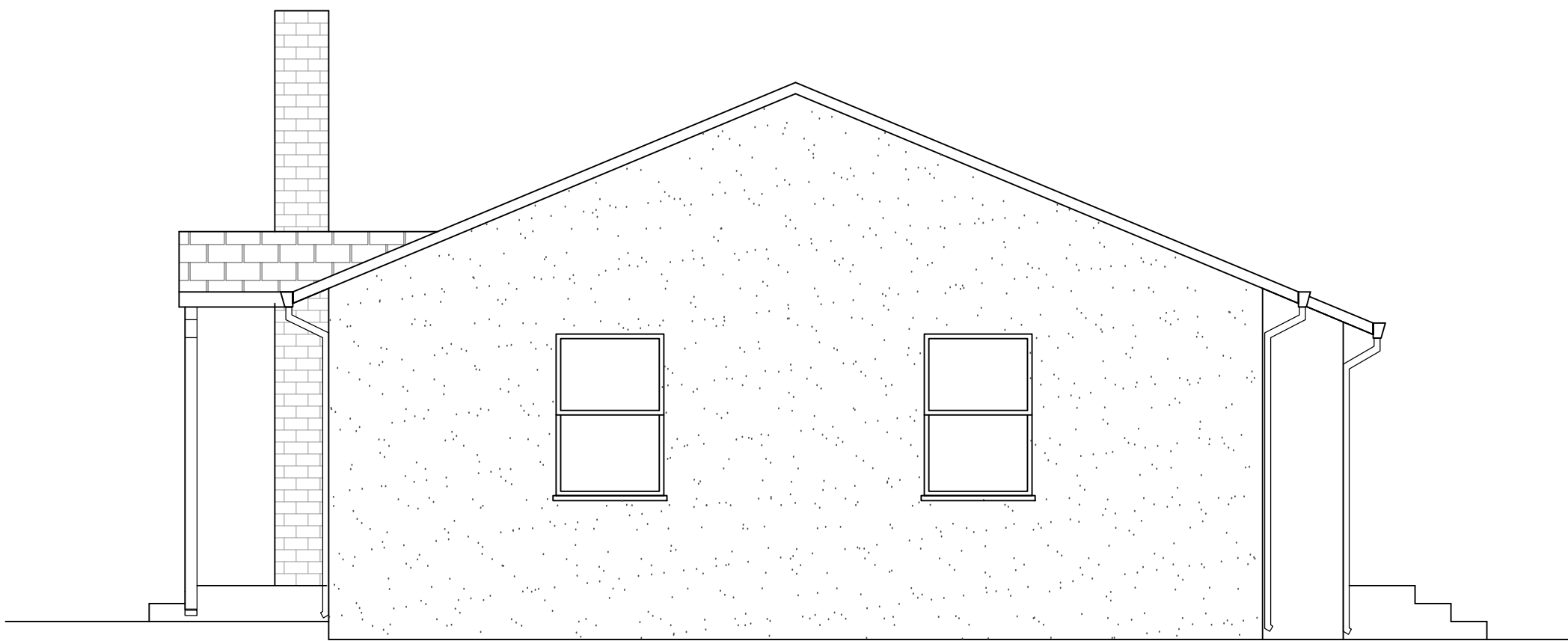
LEFT (NORTH) ELEVATION EXISTING

1/4" = 1'-0"



REAR (EAST) ELEVATION EXISTING

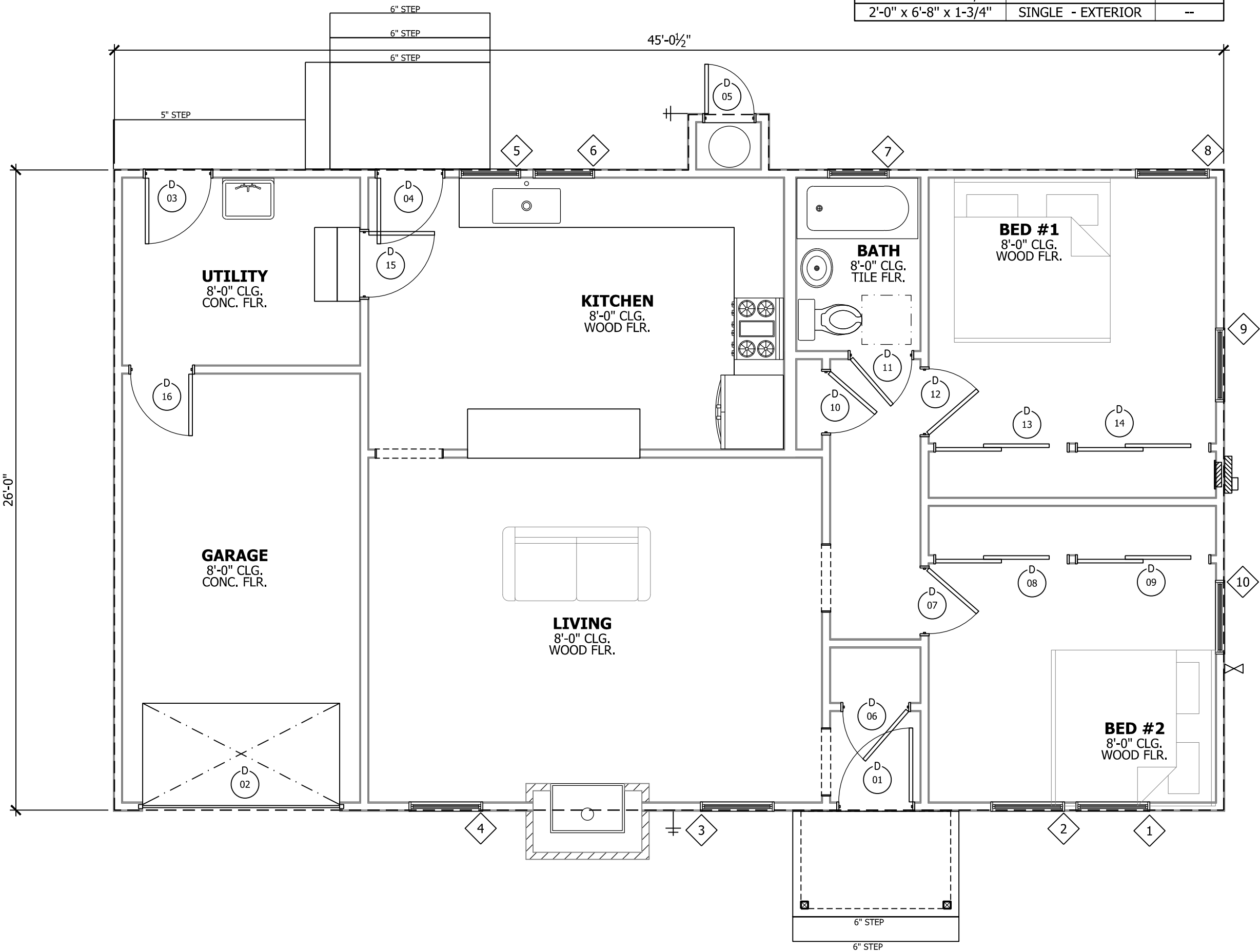
1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION EXISTING

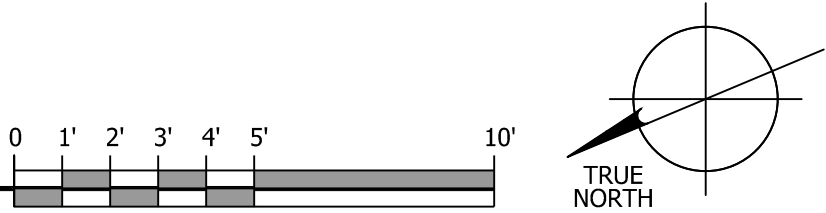
1/4" = 1'-0"

WINDOW SCHEDULE					DOOR AND FRAME SCHEDULE			
NUMBER	SIZE		STYLE	NOTES	SIZE	STYLE	NOTES	
1	3'-0"	4'-6"	SINGLE HUNG	--	3'-0" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
2	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
3	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
4	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
5	2'-6"	3'-0"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
6	2'-6"	3'-0"	SINGLE HUNG	--	8'-0" x 7'-0" x 1"	OVERHEAD SECTIONAL	--	
7	2'-6"	3'-0"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
8	3'-0"	4'-6"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
9	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
10	3'-0"	4'-6"	SINGLE HUNG	--	PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
					2'-0" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	



114 WILDER AVE FLOOR PLAN EXISTING

1/4" = 1'-0"



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SAN JOSE, CA 95117

NEW RESIDENCE FOR:

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114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

DAVID

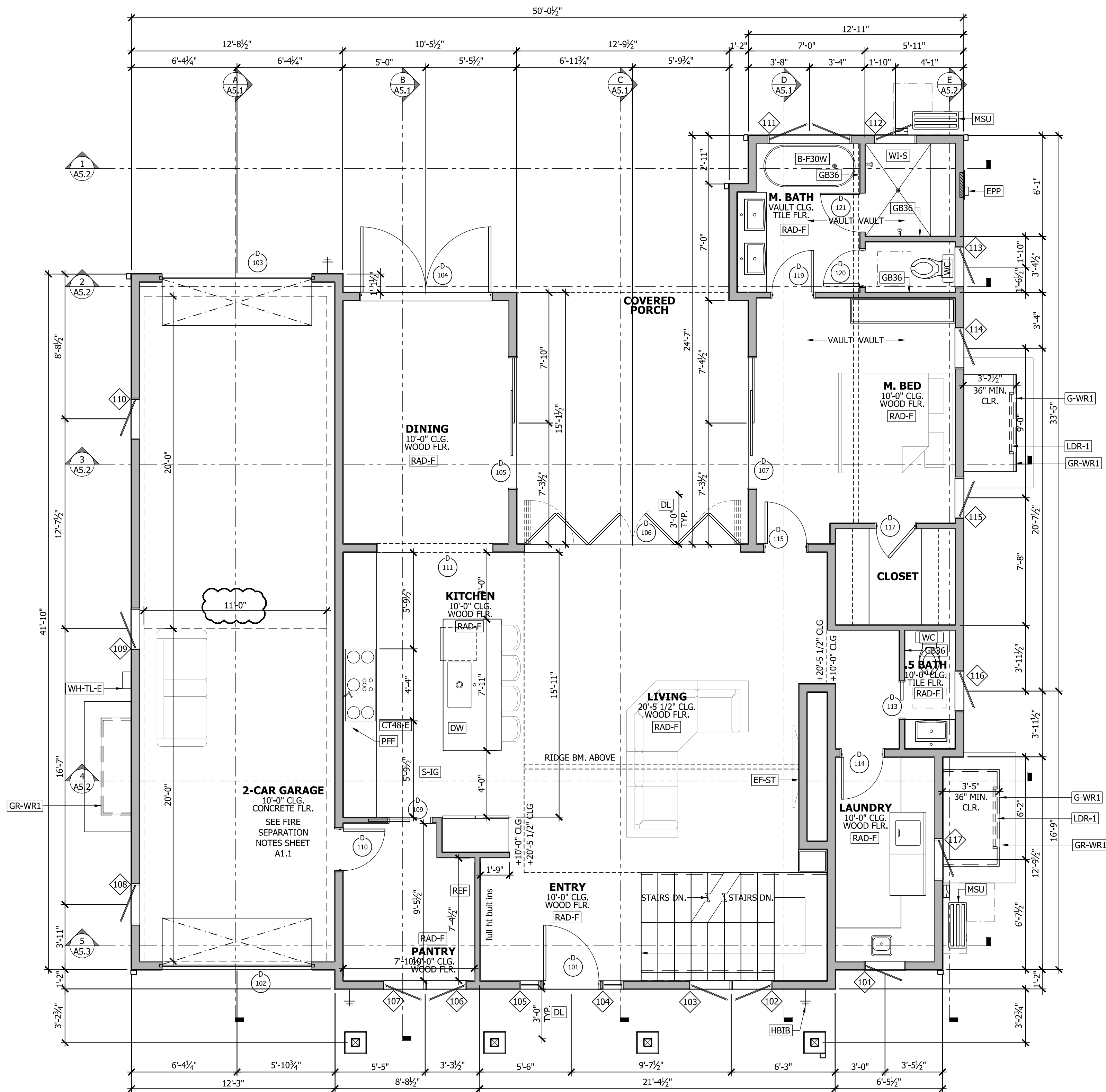
PLAN NO.:

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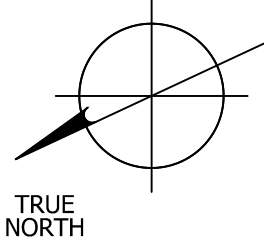
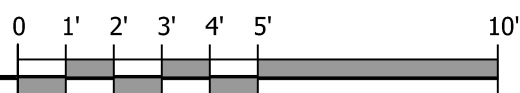
A2.0





114 WILDER 1ST FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
101	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
102	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
103	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
104	1'-3"	8'-0"	PICTURE	--	--	--	.23	.30	OAK	TEMP
105	1'-3"	8'-0"	PICTURE	--	--	--	.23	.30	OAK	TEMP
106	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
107	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
108	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
109	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
110	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
111	5'-0"	6'-0"	DOUBLE CASEMENT	--	--	--	.23	.30	WHITE	TEMP
112	2'-6"	5'-0"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
113	2'-6"	5'-0"	CASEMENT	--	--	--	.23	.30	WHITE	
114	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
115	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
116	2'-6"	4'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
117	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
101	3'-6" x 9'-0" x 1-3/4"	SINGLE - EXTERIOR	--/A	--/A	--/A	--	OAK	--
102	9'-0" x 9'-0" x 1"	OVERHEAD SECTIONAL	--/A	--/A	--/A	--	OAK	--
103	9'-0" x 9'-0" x 1"	OVERHEAD SECTIONAL	--/A	--/A	--/A	--	OAK	--
104	PR 4'-0" x 9'-0" x 1-3/4"	DOUBLE - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
105	PR 4'-0" x 9'-0" x 1-1/4"	SLIDING - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
106	13'-0" x 9'-0" x 1-3/4"	ACCORDION DOUBLE	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
107	PR 4'-0" x 9'-0" x 1-1/4"	SLIDING - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
109	2'-8" x 9'-0" x 1-3/4"	POCKET	--/A	--/A	--/A	--	WHITE	--
110	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	20 MIN RATED	WHITE	--
113	2'-4" x 9'-0" x 1-3/4"	POCKET	--/A	--/A	--/A	--	WHITE	--
114	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	100 SQ IN MAKEUP AIR
115	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
117	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
119	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
120	2'-4" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
121	2'-4" x 9'-0" x 1"	--	--/A	--/A	--/A	--	GLASS	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
GR-WR1	- GUARDRAIL, WROUGHT IRON, SEE DETAIL X/A10.0
G-WR1	- GATE, WROUGHT IRON, WITH SIDE HINGE, LATCH SHALL BE RELEASABLE FROM INSIDE THE WELL WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT REQUIRED FOR THE NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING R310.4
LDR-1	- ACCESS LADDER, STEEL; INSIDE WIDTH OF NOT LESS THAN 12 INCHES, SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL, R310.2.3.1
DIVISION 08 - DOORS AND WINDOWS	
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS. A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.
DIVISION 10 - SPECIALTIES	
EF-ST	- ELECTRIC FIREPLACE, 60" WIDE FRAMING
TOILET ACCESSORIES -	
GB36	- GRAB BAR BACKING; SEE DETAIL */A10.0 FOR ANCHORAGE.
DIVISION 11 - EQUIPMENT	
CT48-E	- 48" COOKTOP ELECTRIC W/ HOOD
DW	- DISHWASHER
REF	- 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
DIVISION 22 - PLUMBING	
B-F30W	- BATHRUB, FREESTANDING, 30" WIDE X 66" LONG
HB1B	- HOSE BIB
PFF	- POT FILLER FAUCET
S-IG	- ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 17/A10.1
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WH-TL-E	- TANKLESS ELECTRIC WATER HEATER
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1,
DIVISION 23 - HVAC	
MSU	- MINI SPLIT OUTDOOR UNIT
RAD-F	- RADIANT HEAT FLOORING SYSTEM, 1 1/8" WARM BOARD FLOOR SHEATHING
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE

REVISIONS	DATE

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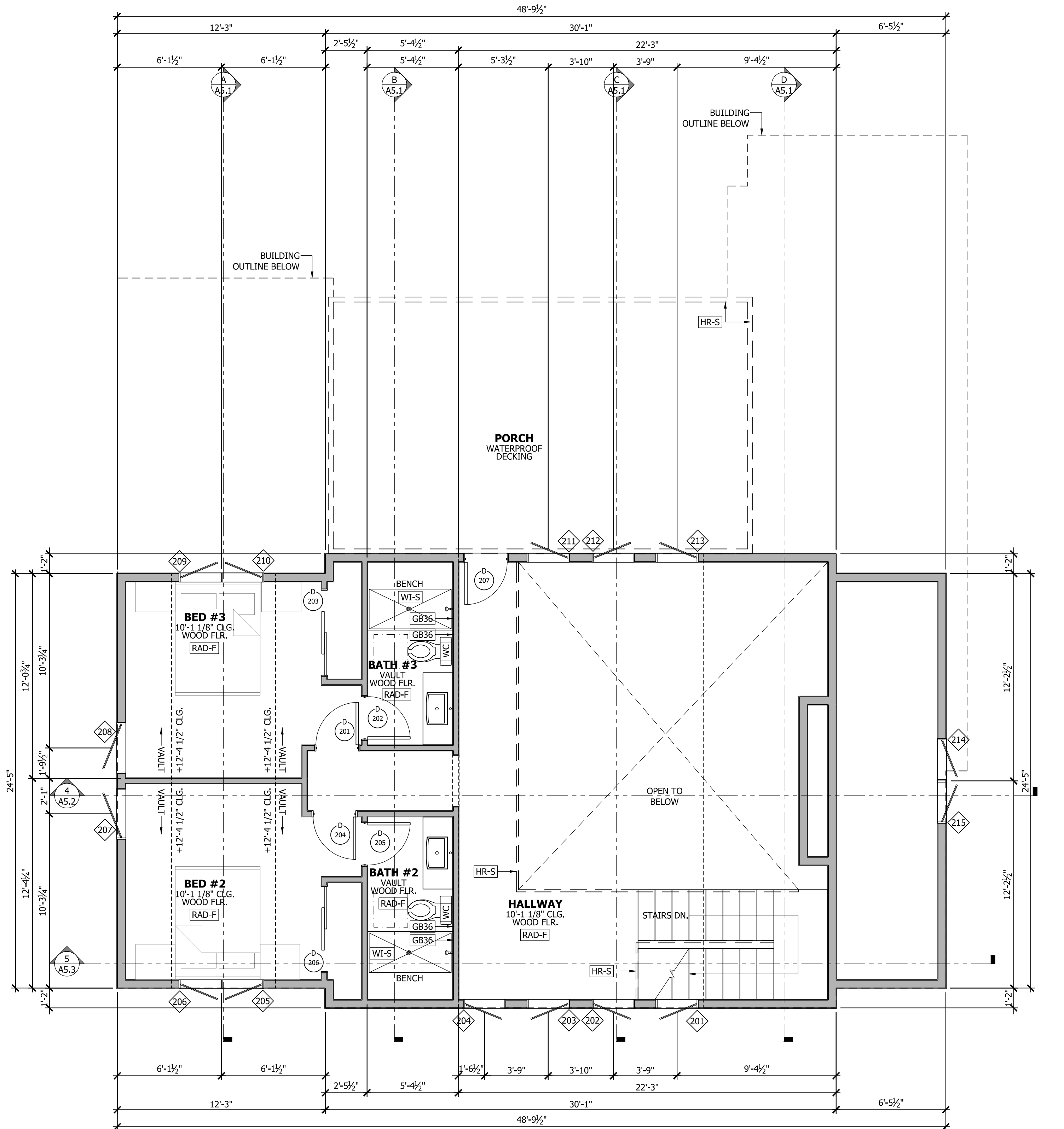
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PAGE TITLE  
**1ST FLOOR PLAN**

NEW RESIDENCE FOR:  
**ALVARO ANZOATEGUI**  
**114 WILDER AVE**  
**LOS GATOS, CA 95030**  
**APN# 510-17-072**

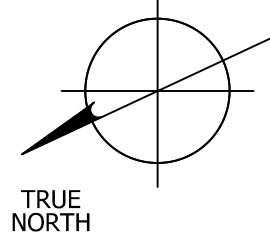
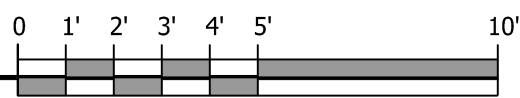
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DRAWN BY:	DAVID
PLAN NO.:	2039
SHEET:	<b>A2.1</b>





114 WILDER 2ND FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
201	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
202	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
203	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
204	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
205	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	EGRESS
206	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
207	3'-0"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
208	3'-0"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
209	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
210	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	EGRESS
211	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
212	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
213	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
214	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
215	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
201	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
202	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
203	PR 2'-6" x 9'-0" x 1-3/4"	HORIZONTAL BYPASS	--	--	--/A	--	WHITE	--
204	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
205	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
206	PR 2'-6" x 9'-0" x 1-3/4"	HORIZONTAL BYPASS	--	--	--/A	--	WHITE	--
207	2'-6" x 9'-0" x 1-3/4"	SINGLE - EXTERIOR	--	--	--/A	--	WHITE	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
HR-S	- HANDRAIL, STEEL; SEE DETAIL 9/A10.0
DIVISION 10 - SPECIALTIES	
TOILET ACCESSORIES -	
GB36	- GRAB BAR BACKING; SEE DETAIL */A10.0 FOR ANCHORAGE.
DIVISION 22 - PLUMBING	
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1.
DIVISION 23 - HVAC	
RAD-F	- RADIANT HEAT FLOORING SYSTEM, 1 1/8" WARM BOARD FLOOR SHEATHING

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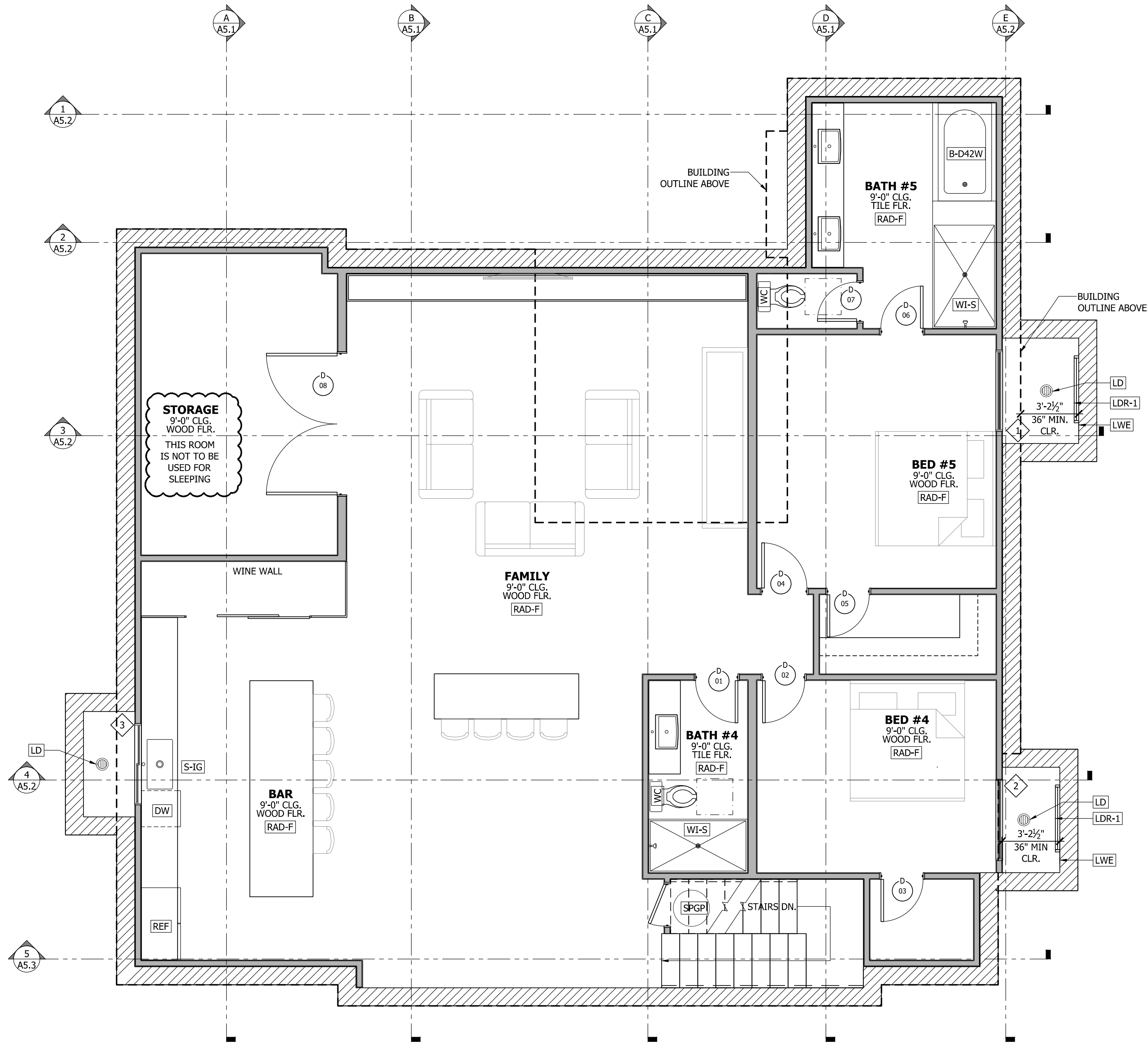
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PAGE TITLE  
**2ND FLOOR PLAN**

NEW RESIDENCE FOR:  
**ALVARO ANZOATEGUI**  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

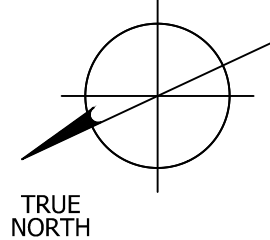
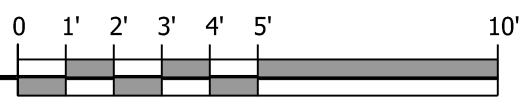
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PLAN NO.: 2039

SHEET:  
**A2.2**



114 WILDER BASEMENT FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
1	4'-6"	5'-0"	SINGLE HUNG	--	--	--	.23	.30	?	EGRESS
2	4'-6"	5'-0"	SINGLE HUNG	--	--	--	.23	.30	?	EGRESS
3	4'-6"	3'-0"	SLIDER	--	--	--	.23	.30	?	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
1	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
2	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
3	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
4	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
5	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
6	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
7	2'-4" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
LDR-1	- ACCESS LADDER, STEEL; INSIDE WIDTH OF NOT LESS THAN 12 INCHES, SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL, R310.2.3.1
DIVISION 11 - EQUIPMENT	
DW	- DISHWASHER
REF	- 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
DIVISION 22 - PLUMBING	
B-D42W	- BATHRUB, DROP IN, 42" WIDE X 66" LONG
LD	- LIGHT WELL DRAIN, SEE 9/C1.3 FOR STORMDRAIN INLET SEDIMENT TRAP
S-IG	- ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 17/A10.1
SPGP	- SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710, SEE DETAIL 6/C1.3
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1,
DIVISION 32 - EXTERIOR IMPROVEMENTS	
LWE	- LIGHTWELLS USED FOR EMERGENCY EGRESS MUST HAVE A MINIMUM CLEARANCE OF 36 INCHES IN ANY DIRECTION.

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PAGE TITLE  
**BASEMENT PLAN**

NEW RESIDENCE FOR:  
**ALVARO ANZOATEGUI**  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

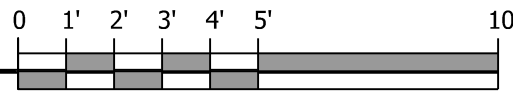
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FRONT (WEST) ELEVATION NEW

1/4" = 1'-0"

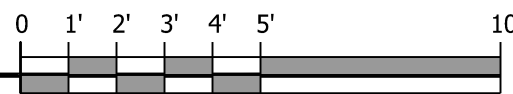


REFERENCE KEYNOTES	
DIVISION 04 - MASONRY	
BV1	- BRICK VENEER, MUTUAL MATERIALS - HARBOR MIST
DIVISION 05 - METALS	
GR1	- GUARDRAIL, SEE DETAIL 14/A10.1. O.F.C.I.
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
WCOL	- WOOD COLUMN
MISCELLANEOUS -	
AC-M	- ARCHITECTURAL CORNICE MOULDING
TR	- WOOD TRELLIS
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
GTR-C	- GUTTER, HALF ROUND PROFILE, COPPER
ROOFING AND SIDING -	
HSS	- HORIZONTAL RUSTIC SHIPLAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT, UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @ JOINTS (R703.2)
RST	- 1X ROUGH SAWN TRIM
SHG-1	- CLASS 'A' WOOD SHINGLES, RED CEDAR, OVER 30# FELT AND ROOF SHEATHING
DIVISION 08 - DOORS AND WINDOWS	
CGD	- CARRIAGE GARRAGE DOOR WITH 12 LITES PER DOOR. WOOD STAIN TO MATCH FRONT DOOR
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS. A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT TH EDOOR DOES NOT SWING OVER THE STAIRWAY.
WDW-1	- WINDOW WITH 1X ROUGH SAWN TRIM
WDW-2	- WINDOW TRIMLESS
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
AF-CR	- CEMENT PLASTER ARCHITECTURAL FOAM CORNICE
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, BM SWISS COFFEE AT 75%, SEE DETAIL XX/A10.0
DIVISION 10 - SPECIALTIES	
AN	- APPROVED 4" HIGH W/ 1/2" MIN STRIKE WIDTH ADDRESS NUMBERS WITH CONTRASTING BACKGROUND VISIBLE FROM STREET.
DIVISION 23 - HVAC	
CH-C	- CHIMNEY CAP, COPPER
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE WITH SHIELDING SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE



LEFT (NORTH) ELEVATION NEW

1/4" = 1'-0"



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ELEVATIONS NEW

NEW RESIDENCE FOR:

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APN# 510-17-072

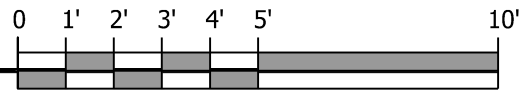
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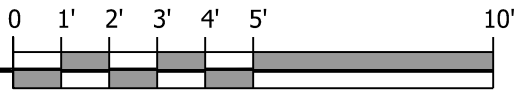




REAR (EAST) ELEVATION NEW  
1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION NEW  
1/4" = 1'-0"



REFERENCE KEYNOTES	
DIVISION 04 - MASONRY	
BV1	- BRICK VENEER, MUTUAL MATERIALS - HARBOR MIST
DIVISION 05 - METALS	
GR1	- GUARDRAIL, SEE DETAIL 14/A10.1. O.F.C.I.
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
WCOL	- WOOD COLUMN
MISCELLANEOUS -	
AC-M	- ARCHITECTURAL CORNICE MOULDING
TR	- WOOD TRELLIS
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
GTR-C	- GUTTER, HALF ROUND PROFILE, COPPER
ROOFING AND SIDING -	
HSS	- HORIZONTAL RUSTIC SHIPLAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT. UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @ JOINTS (R703.2)
RST	- 1X ROUGH SAWN TRIM
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DIVISION 08 - DOORS AND WINDOWS	
CGD	- CARRIAGE GARRAGE DOOR WITH 12 LITES PER DOOR. WOOD STAIN TO MATCH FRONT DOOR
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WDW-1	- WINDOW WITH 1X ROUGH SAWN TRIM
WDW-2	- WINDOW TRIMLESS
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
AF-CR	- CEMENT PLASTER ARCHITECTURAL FOAM CORNICE
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, BM SWISS COFFEE AT 75%, SEE DETAIL XX/A10.0
DIVISION 10 - SPECIALTIES	
AN	- APPROVED 4" HIGH W/ 1/2" MIN STRIKE WIDTH ADDRESS NUMBERS WITH CONTRASTING BACKGROUND VISIBLE FROM STREET.
DIVISION 23 - HVAC	
CH-C	- CHIMNEY CAP, COPPER
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE WITH SHIELDING SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE

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NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:

2022.05.06

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PER SHEET

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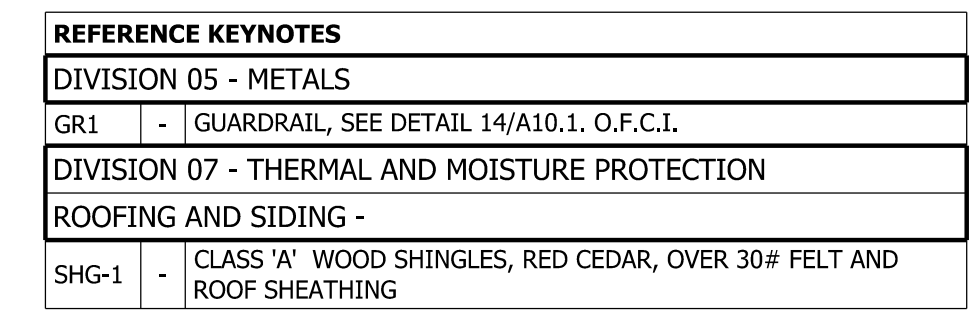
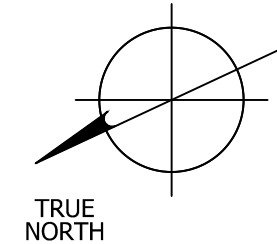
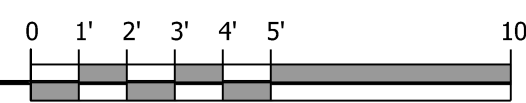
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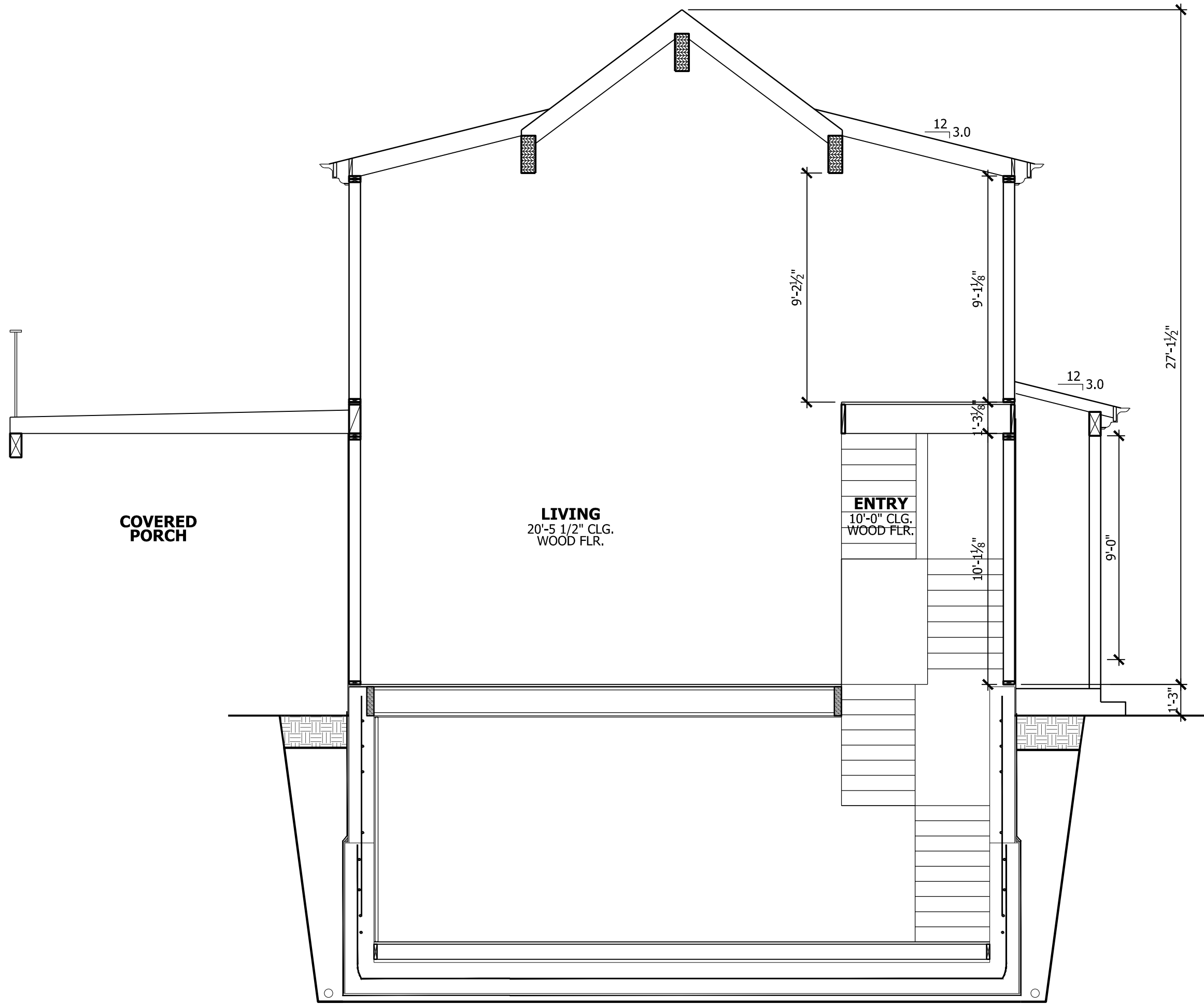
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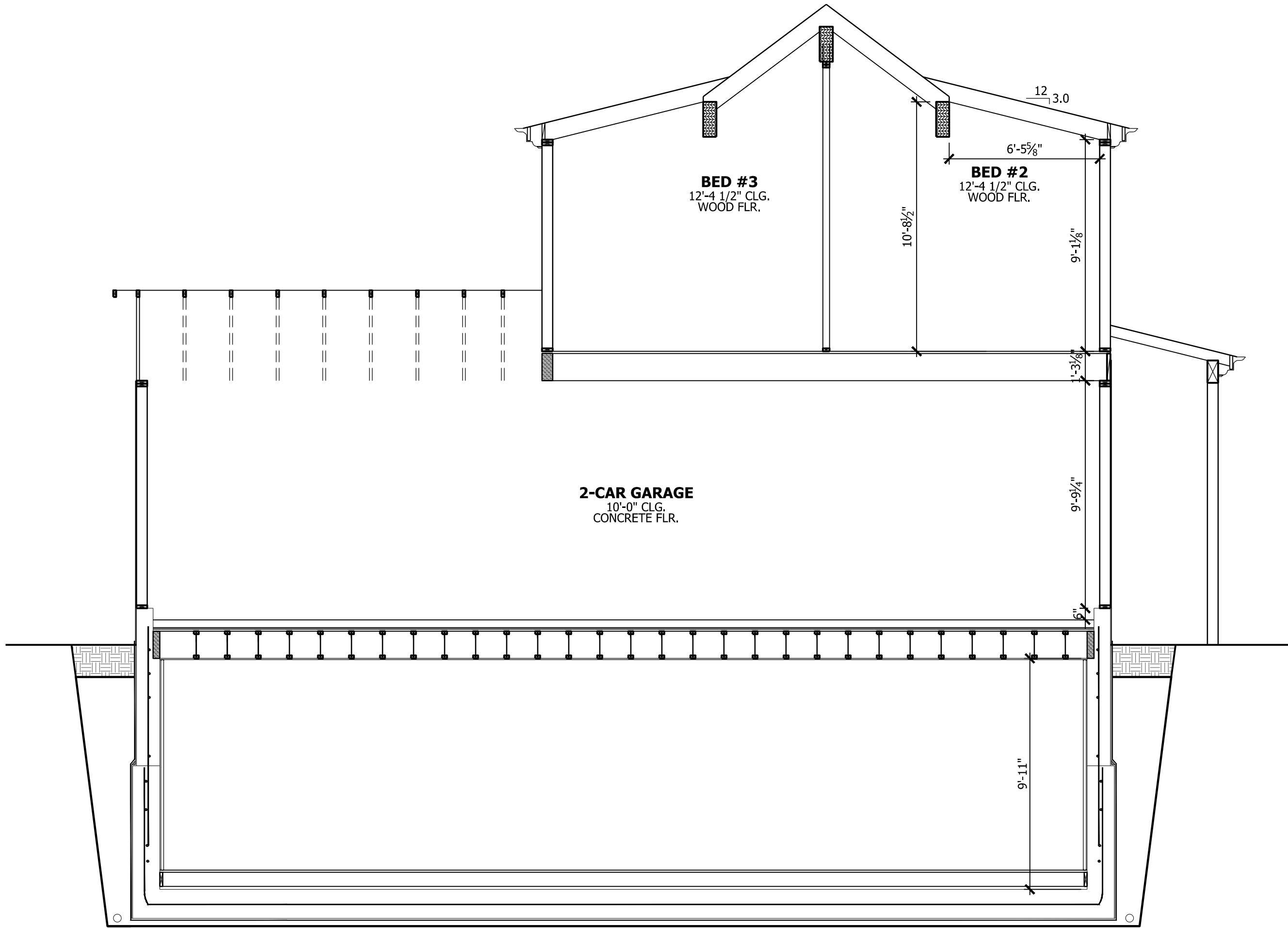
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$$1/4'' = 1'-0''$$




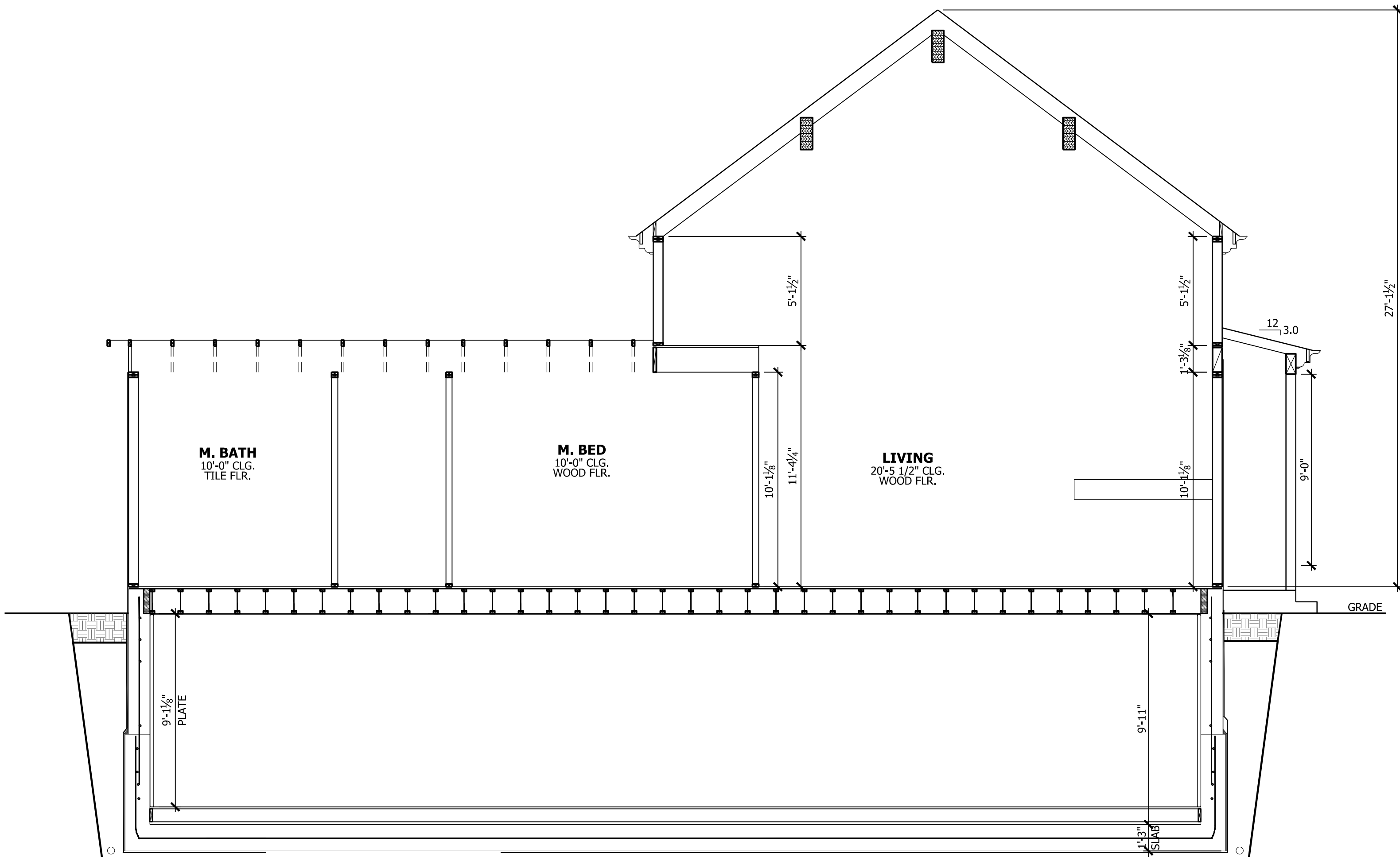
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1/4" = 1'-0"



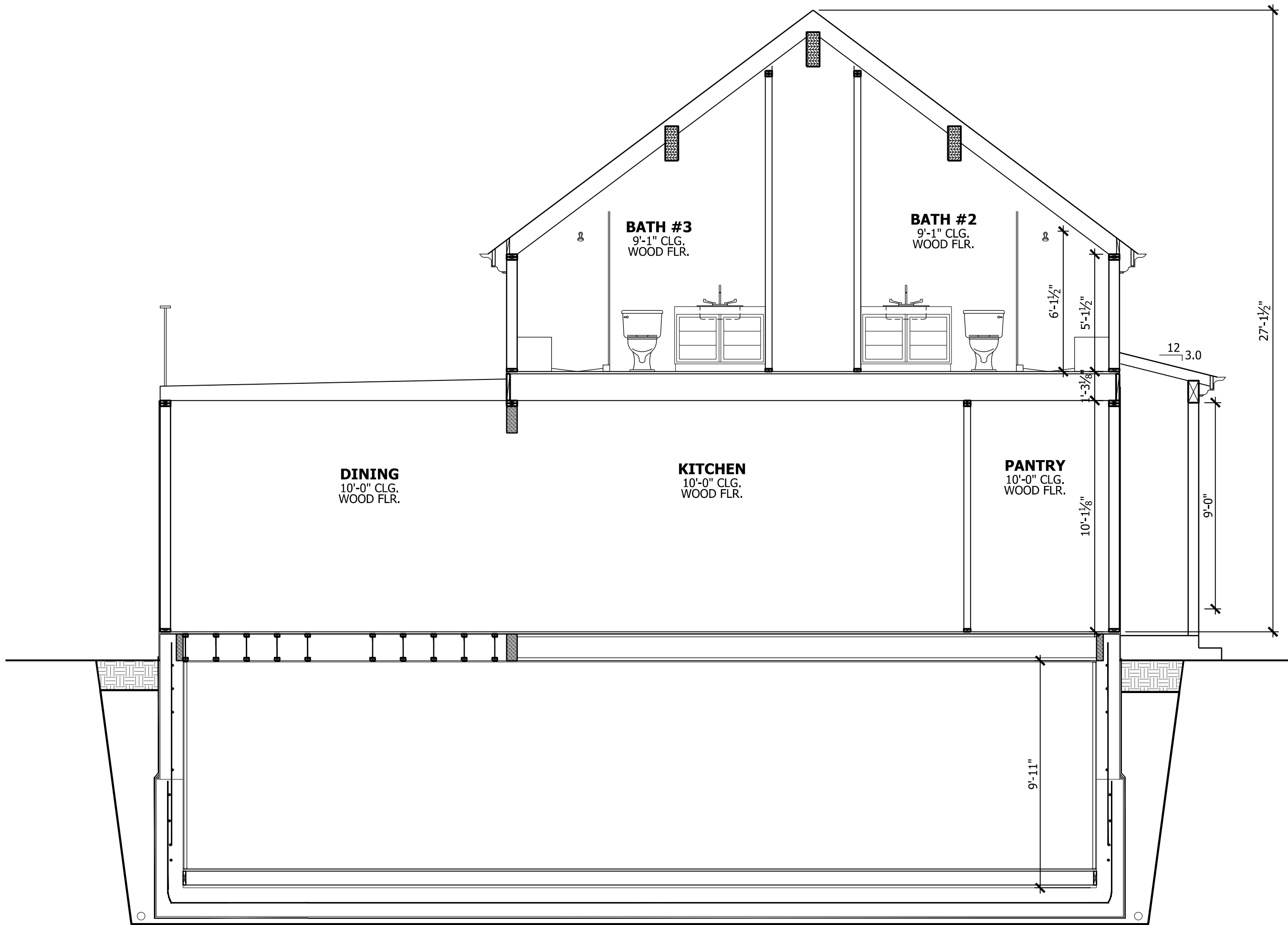
SECTION A

1/4" = 1'-0"



SECTION D

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

REVISIONS	DATE

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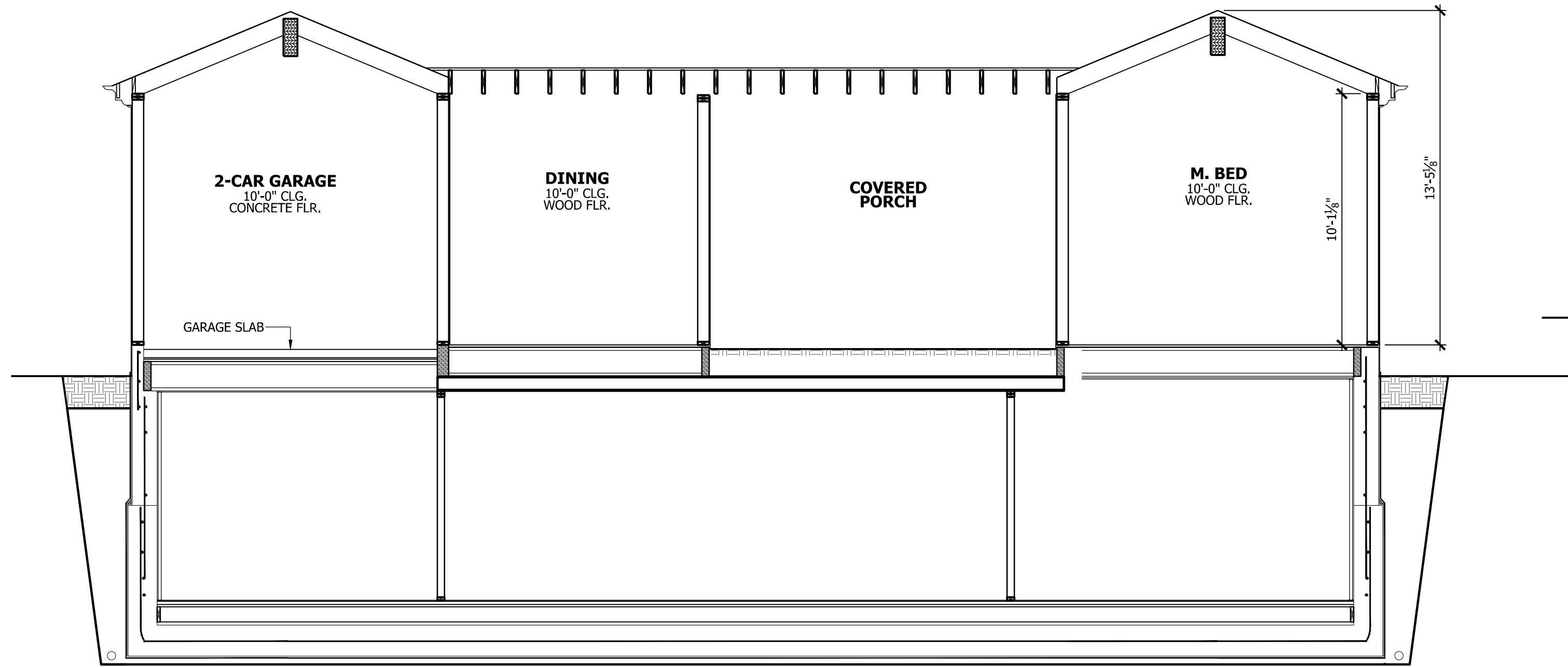
NEW RESIDENCE FOR:

DATE: 2022.05.06  
SCALE: PER SHEET  
DRAWN BY: DAVID  
PLAN NO.: 2039

SHEET:  
**A5.1**

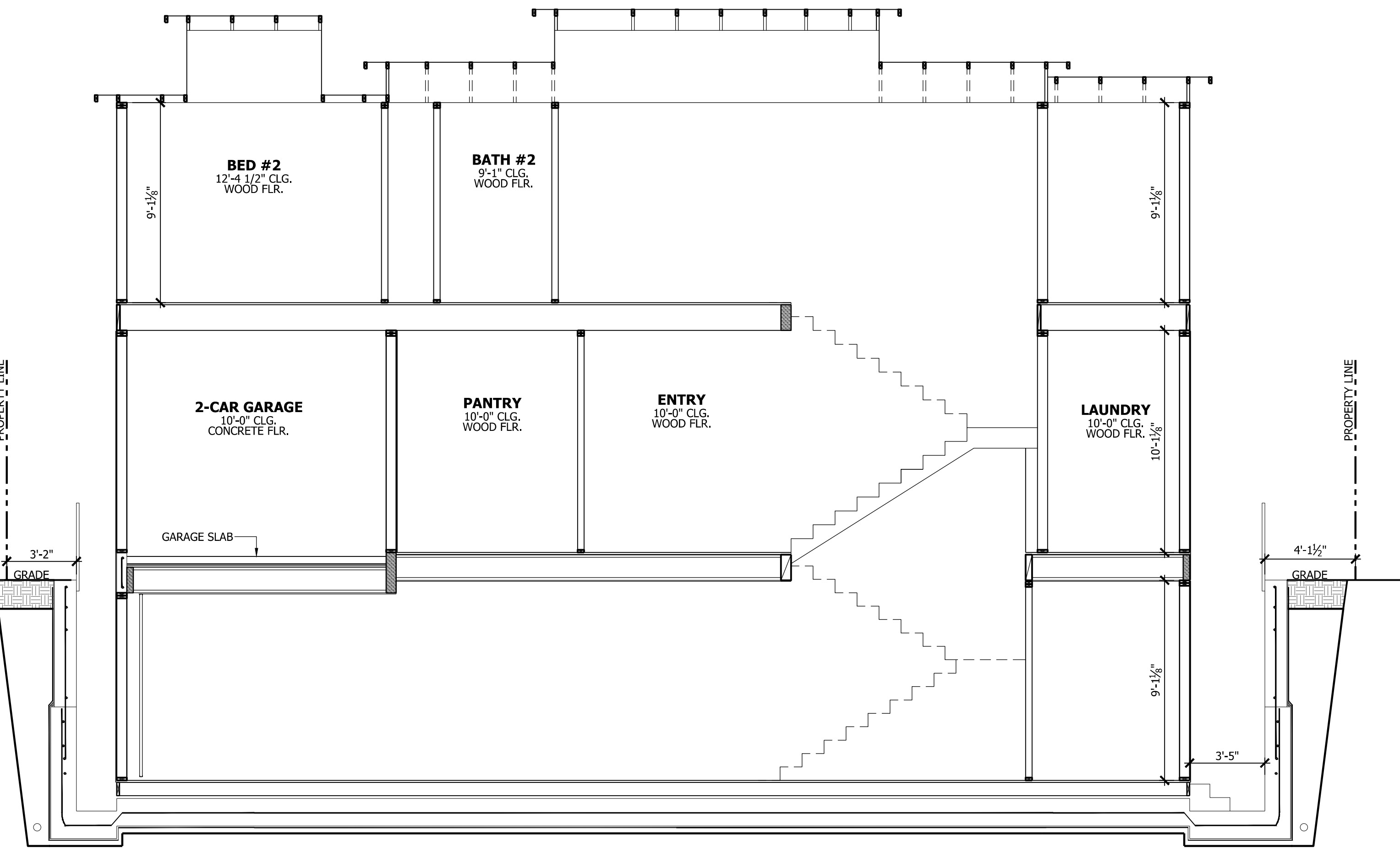
ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072





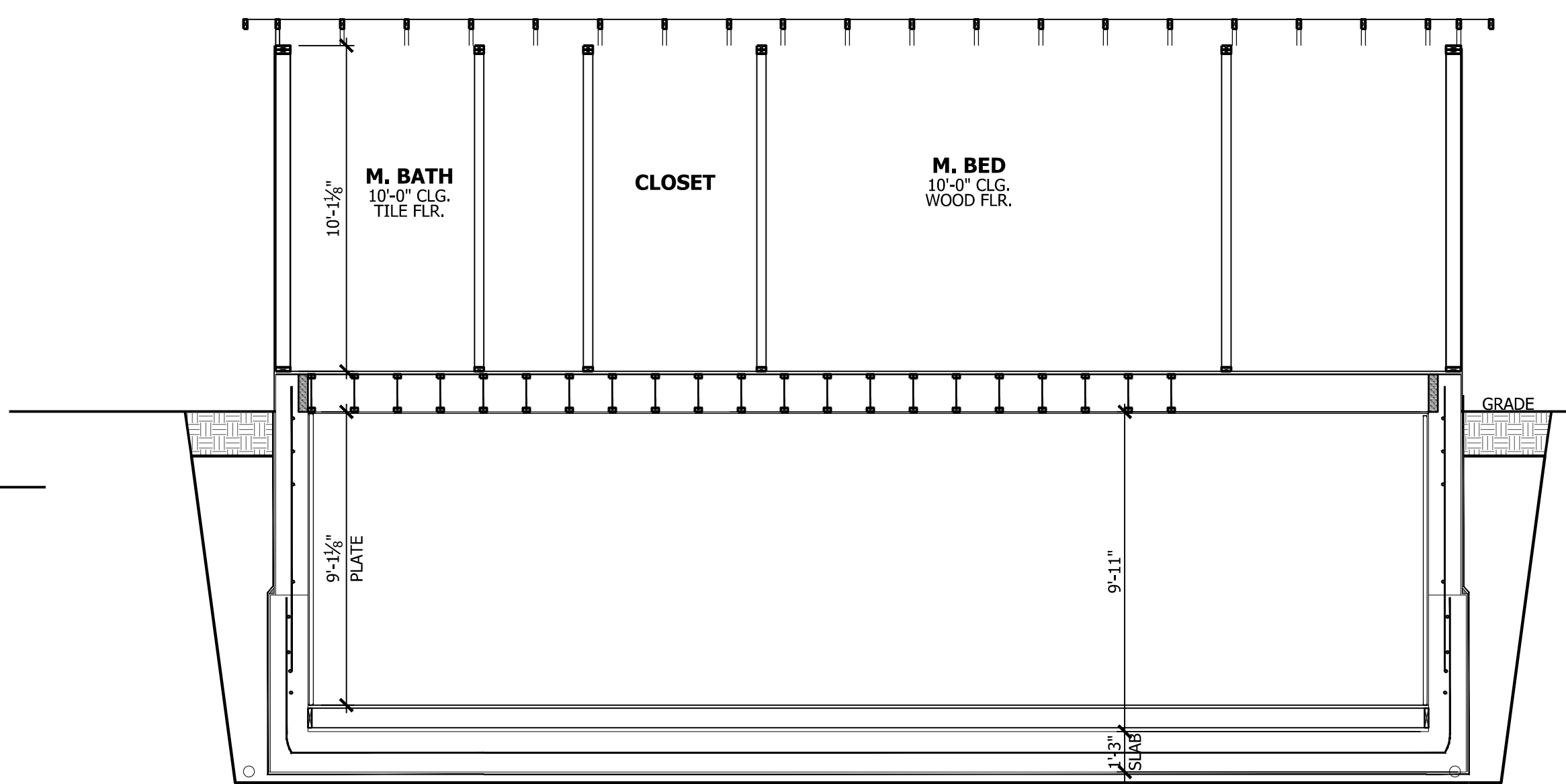
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1/4" = 1'-0"



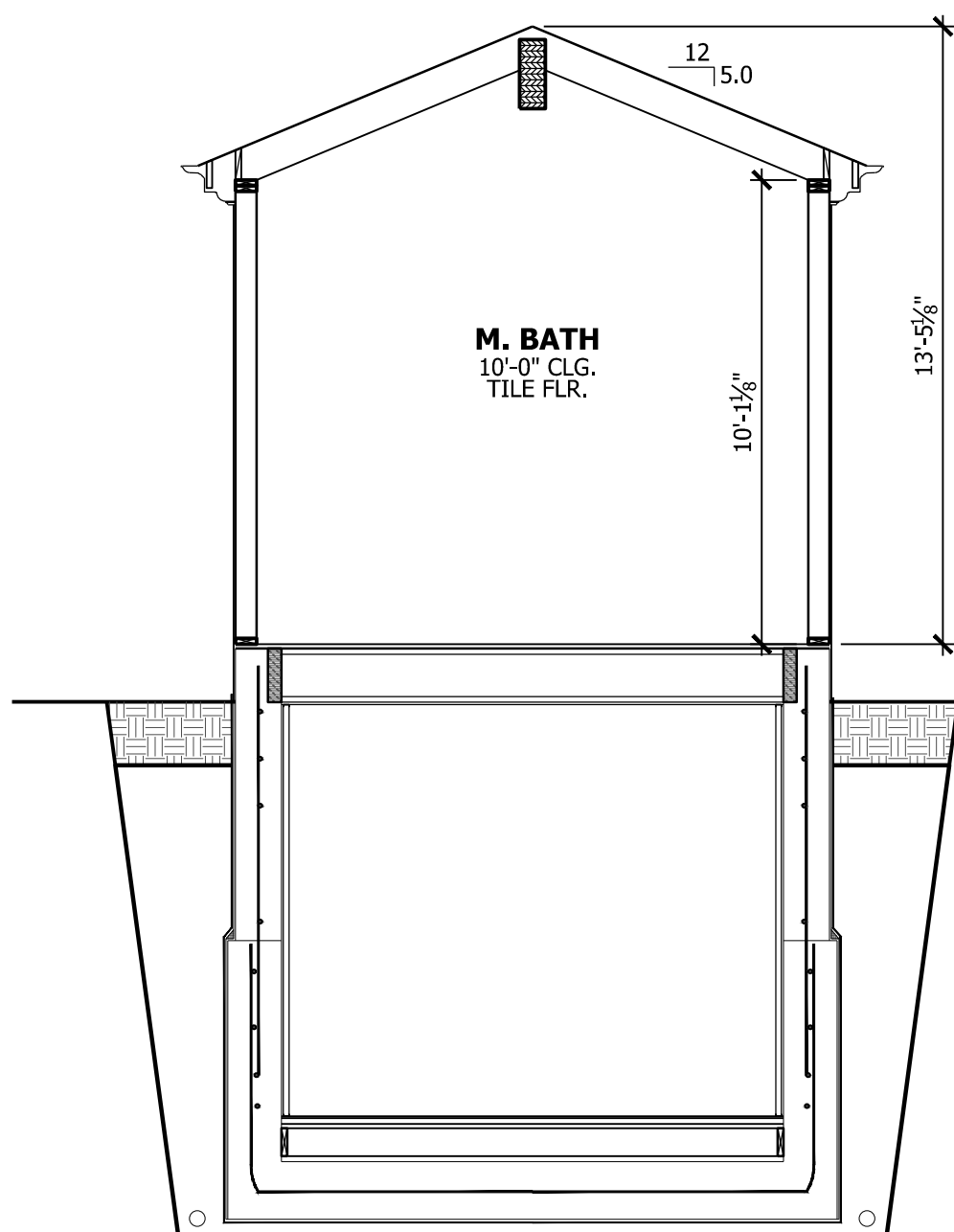
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1/4" = 1'-0"



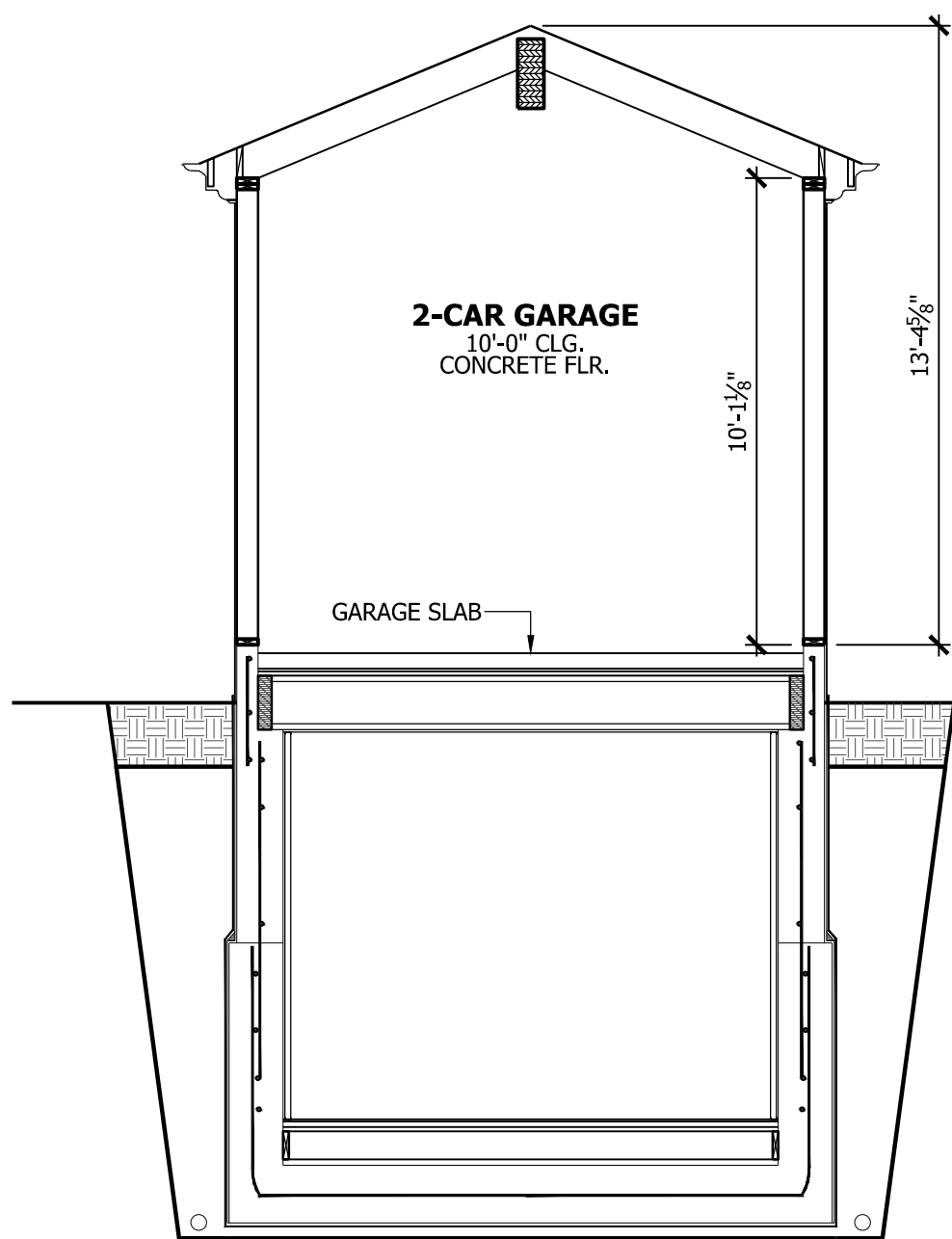
SECTION E

1/4" = 1'-0"



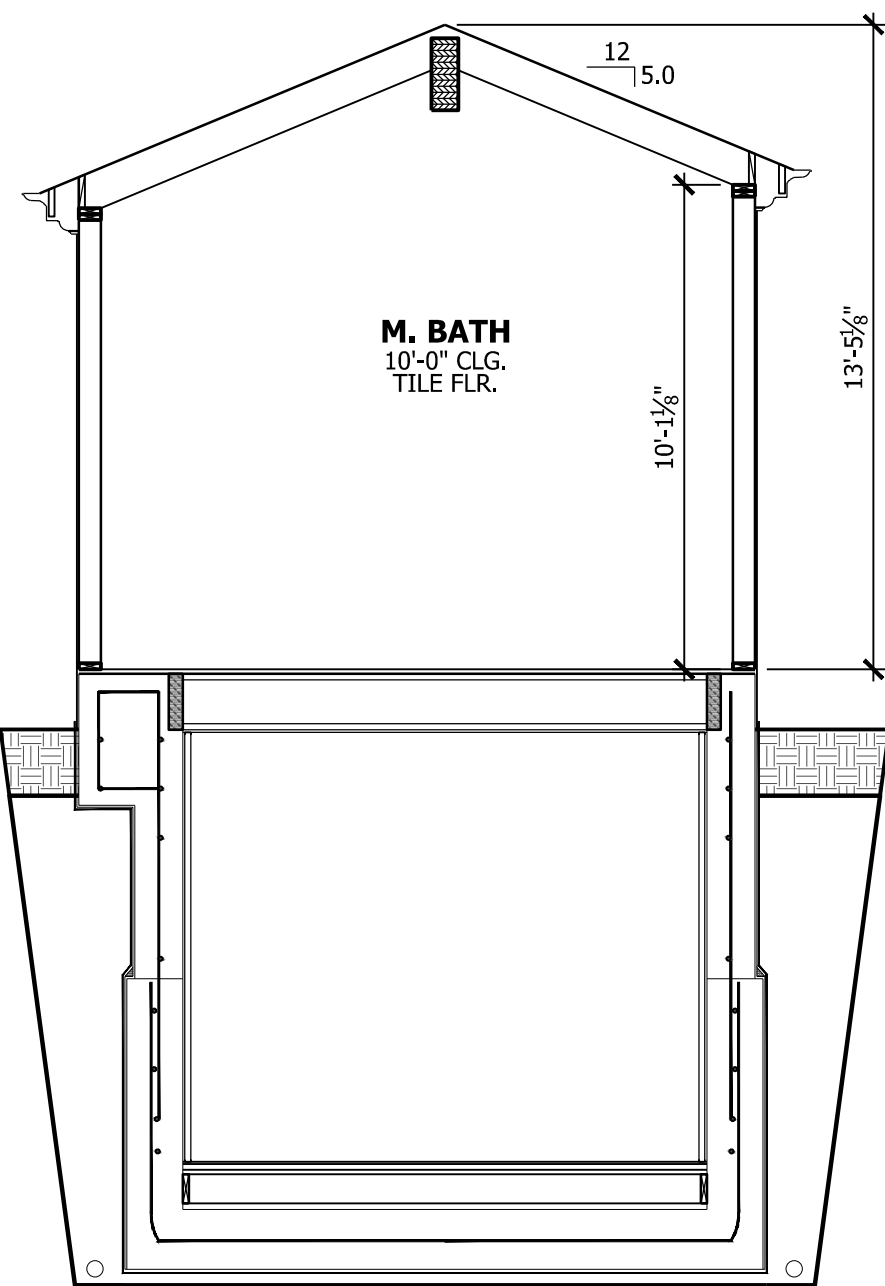
SECTION 1

1/4" = 1'-0"



SECTION 2

1/4" = 1'-0"



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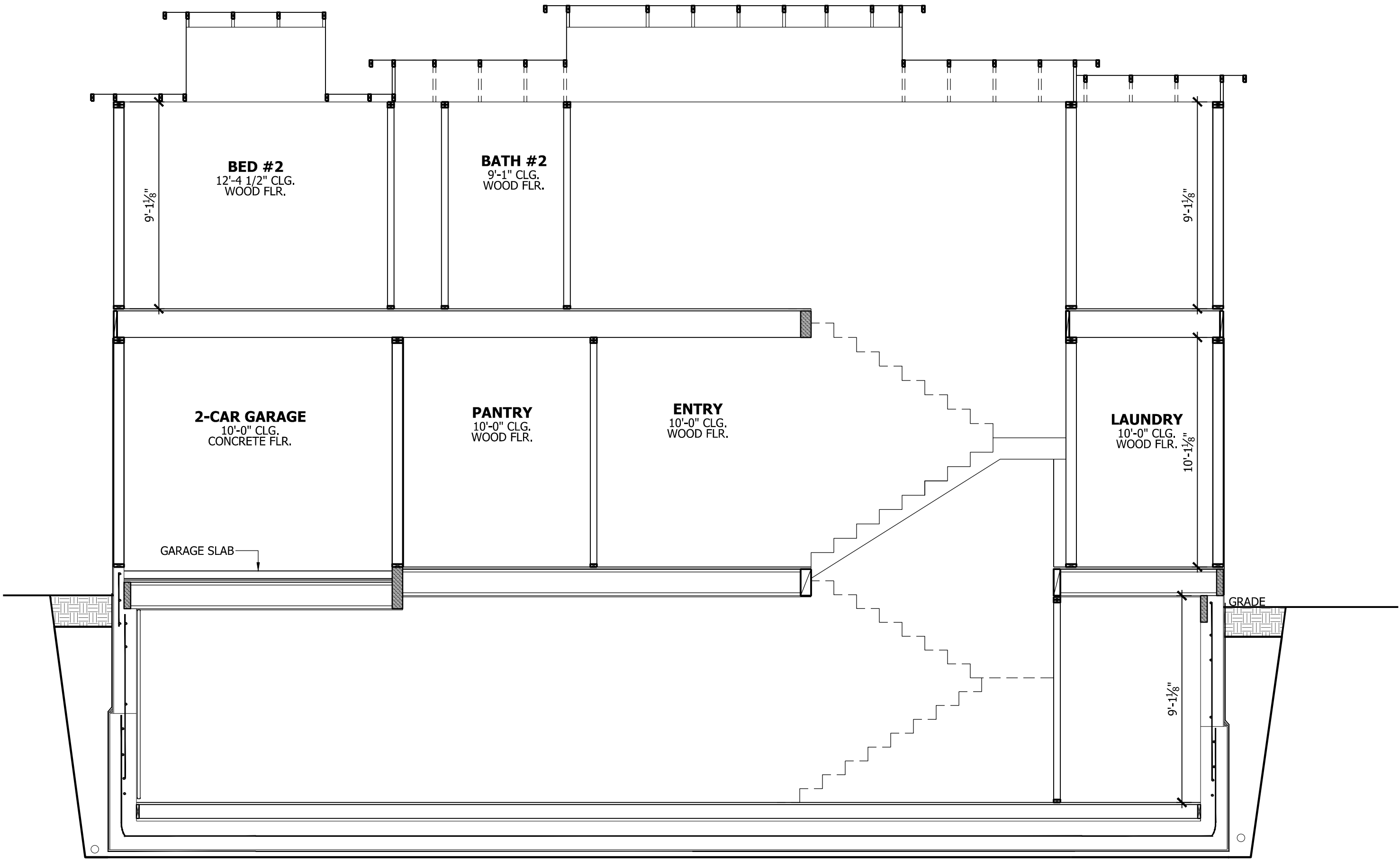
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PAGE TITLE  
**SECTIONS**

NEW RESIDENCE FOR:  
**ALVARO ANZOATEGUI**  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE: 2022.05.06  
SCALE: PER SHEET  
DRAWN BY: DAVID  
PLAN NO.: 2039

SHEET:  
**A5.2**



SECTION 5

1/4" = 1'-0"

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PAGE TITLE	
SECTIONS	
NEW RESIDENCE FOR: ALVARO ANZOATEGUI 114 WILDER AVE LOS GATOS, CA 95030 APN# 510-17-072	
DATE:	2022.05.06
SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	2039
SHEET:	
A5.3	



NEW HOME RATING SYSTEM, VERSION 8.0

**SINGLE FAMILY CHECKLIST**

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to provide healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 60 or more points. Earn the following minimum points per category:

- Community (C) Energy (E) Indoor Air Quality/Health (H), Resources (R), and Water (W); and meet the prerequisites CALGreen Mandatory, ES.2, HS.1, JS.1, JS.1, JS.1, JS.1

Directions for Use: Column A is a dropdown menu with the options of "Yes," "No," or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit [www.audittgreen.org/greenpointrated](http://www.audittgreen.org/greenpointrated)

**Build It Green is not a code enforcement agency.**

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and certified by Build It Green.

New Home Single Family Version 8.0

Project Address: 114 Wilder Ave  
Project Street: 114 Wilder Ave  
Project City: Los Gatos  
Project Zip: 95030

**MEASURES**

Points Achieved: 25  
Points Targeted: 60  
Certification Level Targeted: Certified  
Compliance Pathway Targeted: Mixed Fuel Compliance Energy Design Rating

**A. SITE**

**A1. Construction Footprint** (Site Preservation Plan Required Local Ordinance OR 40% of Site Undeveloped and Undisturbed)

**A2. Job Site Construction Waste Diversion**

**A3. Recycled Content Base Material** (Minimum 25% Post-Consumer Content)

**A4. Heat Island Effect Reduction (Non-Roof)**

**A5. Construction Environmental Quality Management Plan Including Flush-Out**

**A6. Stormwater Control: Prescriptive Path** (section capped at 2 points)

**A7. Stormwater Control: Performance Path** (section capped at 3 points)

**B. FOUNDATION**

**B1. Fly Ash and/or Slag in Concrete** (Minimum of 50%)

**B2. Radon-Resistant Construction**

**B3. Foundation Drainage System**

**B4. Moisture Controlled Crawlspace**

**B5. Structural Pest Controls**

**C. LANDSCAPE**

**C1. Plants Grouped by Water Needs (Hydrozoning)**

**C2. Three Inches of Mulch in Planting Beds**

**C3. Resource Efficient Landscapes**

**C4. Minimal Turf in Landscape**

**C5. Trees to Moderate Building Temperature** (at least 50% of Hired Planting (Shading and Shade Sheds))

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**I2. Low Carbon Homes**

**I3. Energy Storage**

**I4. Solar Hot Water Systems to Preheat Domestic Hot Water**

**J. BUILDING PERFORMANCE AND TESTING**

**J1. Third-Party Verification of Quality of Insulation Installation**

**J2. Supply and Return Air Flow Testing**

**J3. Mechanical Ventilation Testing**

**J4. All Electric or Combustion Appliance Safety Testing**

**J5. Building Performance Exceeds Title 24 Part 6**

**J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst**

**J7. Participation in Utility Program with Third-Party Plan Review**

**J8. ENERGY STAR® for Homes**

**J9. EPA Indoor airPlus Certification**

**J10. Blower Door Testing**

**K. FINISHES**

**K1. Entryways Designed to Reduce Tracked-In Contaminants**

**K2. Zero-VOC Interior Wall and Ceiling Paints**

**K3. Low-VOC Caulks and Adhesives**

**K4. Environmentally Preferable Materials for Interior Finish**

**K5. Formaldehyde Emissions in Interior Finish Exceed CARB**

**K6. Products That Comply With the Health Product Declaration Open Standard**

**K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion**

**K8. Comprehensive Inclusion of Low Emitting Finishes**

**L. FLOORING**

**L1. Environmentally Preferable Flooring**

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**C6. High-Efficiency Irrigation System**

**C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with test Timing)**

**C8. Rainwater Harvesting System**

**C9. Recycled Wastewater Irrigation System**

**C10. Submeter or Dedicated Meter for Landscape Irrigation**

**C11. Landscape Meets Water Budget**

**C12. Environmentally Preferable Materials for Site**

**C13. Reduced Light Pollution** (Exterior lighting fixtures shielded and directed downward)

**C14. Large Stature Tree(s)**

**C15. Third Party Landscape Program Certification**

**C16. Maintenance Contract with Certified Professional** (See Family Qualified Professional or Stake)

**D. STRUCTURAL FRAME AND BUILDING ENVELOPE**

**D1. Optimal Value Engineering**

**D2. Construction Material Efficiencies** (Pre-qualified wall and roof framing for at least 50% of project)

**D3. Engineered Lumber**

**D4. Insulated Headers**

**D5. FSC-Certified Wood**

**D6. Solid Wall Systems**

**D7. Energy Heels on Roof Trusses**

**D8. Overhang and Gutters**

**D9. Reduced Pollution Entering the Home from the Garage**

**D10. Structural Pest and Rot Controls**

**D11. Moisture-Resistant Materials in Wet Areas** (such as Kitchens, Bathrooms, Utility Rooms, and Basements)

**E. EXTERIOR**

**E1. Environmentally Preferable Decking**

**E2. Flashing Installation Third-Party Verified**

**E3. Rain Screen Wall System**

**E4. Durable and Non-Combustible Cladding Materials**

**E5. Durable Roofing Materials**

**E6. Vegetated Roof**

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**L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential**

**L3. Durable Flooring** (Not flooring to test surface)

**L4. Thermal Mass Flooring**

**M. APPLIANCES AND LIGHTING**

**M1. ENERGY STAR® Dishwasher**

**M2. Efficient Laundry Appliances**

**M3. Size-Efficient ENERGY STAR® Refrigerator**

**M4. Permanent Centers for Waste Reduction Strategies**

**M5. Lighting Efficiency**

**N. COMMUNITY**

**N1. Smart Development**

**N2. Home(s)/Development Located Near Transit**

**N3. Pedestrian and Bicycle Access**

**N4. Outdoor Gathering Places**

**N5. Social Interaction**

**N6. Passive Solar Design**

**N7. Adaptable Building**

**N8. Resiliency**

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**F. INSULATION**

**F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content**

**F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions**

**F3. Low GWP Insulation That Does Not Contain Fire Retardants**

**G. PLUMBING**

**G1. Efficient Distribution of Domestic Hot Water**

**G2. Install Water-Efficient Fixtures**

**G3. Pre-Plumbing for Graywater System**

**G4. Operational Graywater System**

**G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout**

**H. HEATING, VENTILATION, AND AIR CONDITIONING**

**H1. Sealed Combustion Units**

**H2. High Performing Zoned Hydronic Radiant Heating System**

**H3. Effective Ductwork**

**H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified**

**H5. Advanced Practices for Cooling**

**H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality**

**H7. Effective Range Hood Design and Installation**

**H8. High Efficiency HVAC Filter (MERV 16+)**

**H9. Advanced Refrigerants**

**H10. No Fireplace or Sealed Gas Fireplace**

**H11. Humidity Control Systems**

**H12. Register Design Per ACCA Manual T**

**RENEWABLE ENERGY**

**R1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)**

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**N6.1. Address/1000H (See Adopt, Permitted Standard, HAZUS, FEMA FIRM, or Seismic Evaluation)**

**N6.2. Strategies to Address Assessment Findings**

**N9. Social Equity in Community**

**N9.1. Diverse Workforce (Employer Diversity or Local Hire)**

**N9.2. Community Location (Proximity to Community)**

**D. OTHER**

**O1. GreenPoint Rated Checklist in Blueprints**

**O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors**

**O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs**

**O4. Builder's or Developer's Management Staff are Certified Green Building Professionals**

**O5. Home System Monitors**

**O6. Green Building Education**

**O7. Green Appraisal Addendum**

**O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation**

Summary					
Total Available Points in Specific Categories	285.0	30	15.0	60	85
Minimum Points Required in Specific Categories	60	2	20	2	2
Total Points Achieved	59.0	3.0	27.5	6.0	6.5

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PAGE TITLE

GREEN POINT RATING

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI  
114 WILDER AVE  
LOS GATOS, CA 95030  
APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

DAVID

PLAN NO.:

2039

SHEET:

GP1