



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
JUNE 10, 2026
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
7:00 PM**

*Kendra Burch, Chair
Jeffrey Barnett, Vice Chair
Susan Burnett, Commissioner
Adam Mayer, Commissioner
Joe Sordi, Commissioner
Rob Stump, Commissioner
Emily Thomas, Commissioner*

IMPORTANT NOTICE

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions at the end of this agenda. The live stream of the meeting may be viewed on television and/or online at www.LosGatosCA.gov/TownYouTube.

To watch and participate via Zoom, please go to:

<https://losgatosca-gov.zoom.us/j/88436489094?pwd=EsA5rW7LuC5mDayk1uQf1Sjm1orUDw.1>

Enter Passcode: 011614

MEETING CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Planning Commission on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Commission. The law generally prohibits the Commission from discussing or taking action on such items. Town resources may not be used to facilitate audio or visual presentations. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to no more than three (3) minutes or such time as authorized by the Chair.)*

CONSENT ITEMS *(Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may remove an item from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions located at the end of this agenda. If an item is*

removed, the Chair has the sole discretion to determine when the item will be heard. Each speaker is limited to no more than three (3) minutes or such time as authorized by the Chair.)

1. Approve the Draft Minutes of the May 27, 2026, Planning Commission Meeting

PUBLIC HEARINGS *(Presentations during the Public Hearings portion of the agenda by appellants and applicants, including any expert or consultant assisting with the presentation, shall be limited to a total of no more than five (5) minutes for all speakers. Appellants and applicants shall be provided no more than three (3) minutes to rebut at the end of the public hearing. Visual presentations that require the use of staff resources shall be limited to appellants and applicants. Members of the public testifying at public hearings shall be limited to no more than three (3) minutes, or such time as authorized by the Chair.)*

2. Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Nonconforming Property Zoned R-1:8. **Located at 193 Howes Drive.** APN 527-43-021. Architecture and Site Application S-26-007. Categorically Exempt pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities. Property Owners: Neeraj Goel. Applicant: Laura Cuda. Project Planner: Suray Nathan.

3. Forward a Recommendation to the Town Council on an Ordinance Amending Chapter 29 (Zoning Regulations) of the Town Code Regarding Accessory Dwelling Units and Definitions. The Proposed Amendments are Not Subject to CEQA Review Pursuant to CEQA, Section 15061 (b)(3), Because it can be Seen with Certainty that they will not Significantly Affect the Physical Environment in that they Make Minor Changes to the Regulations Applicable to Accessory Dwelling Units and Definitions. Additionally, the Proposed Amendments are Statutorily Exempt Pursuant to Public Resources Code Section 21080.17. Town Code Amendment Application A-26-001. **Project Location: Town Wide.** Applicant: Town of Los Gatos.

OTHER BUSINESS *(Each speaker is limited to no more than three (3) minutes or such time as authorized by the Chair.)*

4. Discuss the Town Council's Direction on the Workplan for the Historic Preservation Committee and the Evaluation Process Used to Determine the Significance of Pre-1941 Residences. The Planning Commission's Discussion is Not Considered a Project Under the Adopted Guidelines for the Implementation of the California Environmental Quality Act.
5. Consider a Request to Determine that the Disposition of Land is in Conformance with the Town of Los Gatos 2040 General Plan for Property Zoned R-1D:LHP (Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay). **Located at 4 Tait Avenue.** APN: 510-44-054. The Determination is Not Subject to CEQA Review Pursuant to CEQA, Section 15061 (b)(3), Because it can be Seen with Certainty that the Determination will not have a Significant Effect on the Environment. Property Owner/Applicant: Town of Los Gatos. Project Planner: Sean Mullin.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time.*)

ADA NOTICE - In compliance with the Americans with Disabilities Act, if you require special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Please notify the Clerk's Office at least two (2) business days prior to the meeting so that reasonable arrangements can be made to ensure accessibility in compliance with 28 CFR §35.102-35.104 and related provisions.

NOTICE REGARDING SUPPLEMENTAL MATERIALS - Materials related to an item on this agenda submitted to the Commission after initial distribution of the agenda packets are available for public inspection in the Clerk's Office at Town Hall, 110 E. Main Street, Los Gatos and on the Town's website at www.losgatosca.gov. Planning Commission agendas and related materials can be viewed online at <https://losgatos-ca.municodemeetings.com/>.

HOW TO PARTICIPATE

The public is welcome to provide oral comments in real-time during the meeting in three ways:

- **Zoom webinar (Online):** Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: <https://losgatosca.gov.zoom.us/j/88436489094?pwd=EsA5rW7LuC5mDayk1uQf1SJm1orUDw.1>. Passcode: 011614. You can also type in 884 3648 9094 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join> and use passcode 011614.
 - When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand.
- **Telephone:** Please dial 855-758-1310 US Toll-free or 408-961-3927 US. (Webinar ID: 884 3648 9094). If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- **In-Person:** Please complete a “speaker’s card” located on the back of the Chamber benches and return it to the Vice Chair before the meeting or when the Chair announces the item for which you wish to speak.

NOTES: (1) Comments will be limited to three (3) minutes or less at the Chair’s discretion.

(2) If you are unable to participate in real-time, you may email planning@losgatosca.gov with the subject line “Public Comment Item #__” (insert the item number relevant to your comment).

(3) Deadlines to submit written public comments are:

- 3:00 p.m. the Friday before the Planning Commission meeting for inclusion in the agenda packet.
- 3:00 p.m. the Tuesday before the Planning Commission meeting for inclusion in an addendum.
- 11:00 a.m. on the day of the Planning Commission meeting for inclusion in a desk item.

*Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
www.LosGatosCA.gov/TownYouTube*



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/10/2026

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
MAY 27, 2026**

The Planning Commission of the Town of Los Gatos conducted a regular meeting in person and via teleconference.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Commissioner Susan Burnett, Commissioner Adam Mayer, Commissioner Rob Stump, and Commissioner Emily Thomas.

Absent: Chair Kendra Burch, Vice Chair Jeffrey Barnett (Recused), Commissioner Joe Sordi.

PLEDGE OF ALLEGIANCE

Commissioner Thomas led the Pledge of Allegiance. The audience was invited to participate.

VERBAL COMMUNICATIONS

The following individuals spoke during Verbal Communications.

1. Member of the Public

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. **Approval of Minutes** – May 13, 2026

The following individuals spoke on Consent Items

1. Member of the Public

(Video Time: 00:17:31)

MOTION: **Motion by Commissioner Stump** to correct the subheading under Item 5, 16769 Farley Road, on page 5 of the May 13, 2026 meeting minutes, which currently reads, “Minor Development in a Historic District Application HS-22-051, APN number 424-21-062, and should read, “Modify existing CUP,” as a replacement for that subtitle, and to approve adoption of the amended Consent Calendar. **Seconded by Commissioner Burnett.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 14789 Oka Road

Architecture and Site Application S-24-052
Subdivision Application M-24-017
Mitigated Negative Declaration Application ND-26-001
APNs 424-08-074 and -035
Applicant: Erik Hayden, Urban Catalyst
Property Owner: Yuki Farms, LLC
Project Planner: Erin Walters

Consider a request for approval to construct a multi-family residential development (138 units), a Condominium Vesting Tentative Map, remove large protected trees, and site improvements requiring a Grading Permit under Senate Bill 330 (SB 330) on vacant properties zoned R-1:8:HEOZ and R-1:8. An Initial Study and Mitigated Negative Declaration have been prepared.

Commissioner Mayer disclosed that he has worked with civil engineer and landscape architect firm, HMM, on projects in the past in a professional capacity, but he had not spoken with anyone there about this particular item.

Erin Walters, Senior Planner, presented the staff report.

Gabrielle Whelan, Town Attorney, presented regulatory framework information.

Town Attorney Whelan announced that Vice Chair Barnett was recused from the public hearing for 14789 Oka Road due to a conflict.

Planning Commission asked questions.

Commissioner Thomas Opened Public Comment.

The following individuals spoke on this item:

1. Lisa Ring (Applicant)
2. Alex Kamas
3. Member of the Public
4. Lee Fagot
5. Lisa Ring (Applicant)

Planning Commission asked questions of the applicant.

Commissioner Thomas closed Public Comment.

Planning Commission asked questions of staff.

(Video Time: 02:06:47)

MOTION: **Motion by Commissioner Stump** to recommend approval of a request to construct a multi-family residential development (138 units), a Condominium Vesting Tentative Map, remove large protected trees, and site improvements requiring a Grading Permit under Senate Bill 330 (SB 330) on vacant properties zoned R-1:8:HEOZ and R-1:8. **Seconded by Commissioner Mayer.**

Commissioners discussed the item.

VOTE: **Motion passed unanimously.**

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Joel Paulson, Director of Community Development

- None.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

Historic Preservation Committee

Commissioner Thomas

- The HPC met 5/27/26 to consider four items: 1) Unanimous approval of window modifications for a pre-1941 single-family residence on Peralta Avenue; 2) Unanimous denial to remove a property on Caldwell Avenue from the Historic Resources Inventory; 3) Denial of a request to remove a Wheeler Avenue home from the Historic Resources Inventory due to a split 2/2 vote; 4) Preliminary review of a historic home on Hernandez Avenue, which was well received.

Conceptual Development Advisory Committee

Vice Chair Barnett, read into the record by Commissioner Thomas

- CDAC met on 5/15/26 to discuss a developer's preliminary plan for construction of a 100 percent affordable multi-family residential development of 100 units on property located at 16601-16605 Lark Avenue. CDAC members supported affordable housing, but had questions regarding starkness of the architecture and the need for secondary access and protection of the common area located on the roof of a parking structure adjacent to Lark Avenue.

Commission Matters

None.

ADJOURNMENT

The meeting adjourned at 9:17 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the May 27, 2026 meeting as approved by the Planning Commission.

/s/ Vicki Blandin



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/10/2026

ITEM NO: 2

DATE: June 5, 2026
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Nonconforming Property Zoned R-1:8. **Located at 193 Howes Drive.** APN 527-43-021. Architecture and Site Application S-26-007. Categorically Exempt pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities. Property Owners: Neeraj Goel. Applicant: Laura Cuda. Project Planner: Suray Nathan.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8 – Single-Family Residential (8,000 square feet minimum)
Applicable Plans & Standards: General Plan, Residential Design Guidelines
Parcel Size: 6,970 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential and Public Park	Low Density Residential	R-1:8

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

PREPARED BY: Suray Nathan
Assistant Planner

Reviewed by: Planning Manager and Community Development Director

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).
- The project is in compliance with the Residential Design Guidelines for single-family residences not located in the hillside area.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the south side of Howes Drive, approximately 1,350 feet south of Los Gatos-Almaden Road (Exhibit 1). The 6,970-square foot subject lot is currently developed with a 1,088-square foot single-story residence and an attached 499-square foot garage on a nonconforming lot. The lot is nonconforming as it does not meet the zone's 8,000-square foot minimum lot size standard (Exhibit 8). Surrounding properties are developed with one-story single-family residences.

On September 11, 2025, the applicant submitted a Minor Residential Development application to construct a new second-story addition to an existing single-story residence. During the application review process, staff encouraged the applicant to reduce the floor area to avoid being the largest residence in the immediate neighborhood to better align with the Ranch-style residences in the neighborhood. In the Letter of Justification (Exhibit 4), the applicant attributes the home's relative size to the smaller lot sizes and lack of prior additions on neighboring properties.

The project meets all technical requirements of the Town Code, including height, floor area, building coverage, parking, and setbacks.

Pursuant to Section 29.20.480 (f) of the Town Code, if the Planning Director determines that the application cannot be approved because it does not comply with the Town's Development Standards and the applicant is unwilling to revise the plans further, then the applicant may file an Architecture and Site application (including the required fee) and the application shall be considered by the Planning Commission. The project is being referred to the Planning Commission as an Architecture and Site application, as staff is unable to approve the proposed

residence due to concerns that the proposed residence would be the largest in the immediate neighborhood in terms of floor area and FAR, exceeding the next-largest residence by 668 square feet. Additionally, it would be the first two-story home in the immediate neighborhood.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the south side of Howes Drive, approximately 1,350 feet south of Los Gatos-Almaden Road (Exhibit 1). There are no existing two-story residences within the immediate neighborhood.

B. Project Summary

The applicant is proposing to expand the existing 1,088-square foot single-story residence with a 364-square foot first-story addition and a 876-square foot second-story addition for a total square footage of 2,328 square feet (Exhibit 8).

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The project meets the objective standards of the zoning code for height, floor area, building coverage, parking, and setbacks.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes expanding an existing 1,088-square-foot, single-family home with a 364-square-foot first-story addition and a new 876-square-foot second-story addition. The resulting two-story residence would be 2,328 square feet; the maximum allowed for the lot (Exhibit 8). The proposed project would comply with the Town’s demolition calculation and would not be considered a new residence. A summary of the floor area for the proposed residence is included in the table below.

Floor Area Summary				
	Existing SF	Addition SF	Proposed SF	Max Allowed SF
First Floor	1,088	364	1,452	2,328
Second Floor	--	876	876	
Total	1,088	1,240	2,328	

The request is being considered by the Planning Commission due to concerns related to the proposed residence being the largest in the immediate neighborhood in terms of floor area and FAR, exceeding those of the next-largest residence by 668 square feet and FAR by 0.05. Additionally, it would be the first two-story home in the immediate neighborhood.

B. Neighborhood Compatibility

The immediate neighborhood consists of one-story, single-family Ranch-style residences. Based on Town and County records, the residences in the immediate area range in size from 1,020 to 1,660 square feet. The FAR ranges from 0.13 to 0.28. The proposed residence would be 2,328 square feet with a FAR of 0.33, making it the largest residence in the immediate neighborhood in both square footage and FAR. Pursuant to Town Code, the maximum allowable square footage for the 6,970-square foot lot is 2,328 square feet with a maximum FAR of 0.33. The table below reflects the current conditions of the immediate neighborhood:

Address	Zoning	Residence Floor Area	Garage Floor Area	Total Floor Area	Lot Size	Residence FAR	No. of Stories
193 Howes Dr (Ex.)	R-1:8	1,088	499	1,587	6,970	0.16	1
193 Howes Dr (Prop.)	R-1:8	2,328	499	2,827	6,970	0.33	2
189 Howes Dr	R-1:8	1,020	484	1,504	5,904	0.17	1
185 Howes Dr	R-1:8	1,088	458	1,546	6,059	0.18	1
201 Howes Dr	R-1:8	1,375	456	1,831	11,000	0.13	1
205 Howes Dr	R-1:8	1,375	456	1,831	6,000	0.23	1
210 Howes Dr	R-1:8	1,660	456	2,116	6,000	0.28	1
206 Howes Dr	R-1:8	1,612	461	2,073	6,000	0.27	1
202 Howes Dr	R-1:8	1,660	456	2,116	6,300	0.26	1
203 Howes Dr	R-1:8	1,375	456	1,831	6,300	0.22	1

The applicant asserts that the home's size stands out because the subject lot is nonconforming. The lot is nonconforming as it does not meet the zone's 8,000-square foot minimum lot size standard. However, nonconforming parcels define the neighborhood's character; only a single lot in the immediate area meets the R-1:8 zone's 8,000-square-foot minimum standard (Exhibit 4).

C. Building Design

The proposed two-story residence transforms a single-story traditional Ranch-style architecture with wood siding into a two-story residence designed in a modern transitional architectural style with stucco siding (Exhibit 8).

The Town's Consulting Architect reviewed the proposed residence on September 22, 2025, and was generally supportive of the design, stating that it is modest in size and scale, but would be the first two-story home in the immediate neighborhood (Exhibit 5).

The Consulting Architect made four recommendations to better align the project with the immediate neighborhood and Residential Design Guidelines. These are detailed below, along with the applicant and staff's italicized responses (Exhibit 6).

1. Extend the first-floor eave and roof across the two-story wall and set the second-floor Great Room wall back from the first-floor wall line.

Applicant Response: *Plans revised to provide visual relief between two stories with intersecting roof plane.*

Staff Response: *The applicant extended the first-floor eave and roof across the two-story wall, but did not set back the second-floor Great Room wall (Exhibit 8; Sheet A3.5).*

2. Provide more uniformity in the size and proportions of all windows in the house.

Applicant Response: *Window size and configuration revised to create consistent grouping and size to better complement the style in both the front and back elevations.*

Staff Response: *The applicant provided greater uniformity in window size and proportions, except for the window for the proposed stairway. The Consulting Architect recommended modifying the stairway window to match the style and alignment of the other rear windows for greater architectural consistency. (Exhibit 8; Sheet A3.5).*

3. Consider a special window treatment in the Great Room within a more organized pattern.

Applicant Response: *The materials are revised and clarified, and incorporate horizontal siding on portions of the front elevation.*

Staff Response: *The applicant incorporated the recommendations provided by the Consulting Architect.*

4. The applicant proposes the change in wall materials from horizontal siding to smooth stucco. Generally, for a small-scale house like this, a change of material would not likely be objectionable, but staff may wish to discuss the change before approving it.

Staff Response: *The Consulting Architect highlights a conflict with Residential Design Guideline 3.8.2, which mandates façade materials that reflect the surrounding neighborhood. Because the applicant proposes a full-height stucco finish in an area dominated by wood-sided homes, staff defers to the Planning Commission to evaluate if the proposal meets the intent of the Guidelines.*

D. Tree Impacts

The subject property contains one protected tree, which will remain. Furthermore, the project will not impact any trees on adjacent properties.

E. Parking

Pursuant to Section 29.10.150(c)(1) of the Town Code, a single-family residence requires two on-site parking spaces. An existing attached two-car garage will remain to meet the minimum required parking spaces.

F. Neighbor Outreach

The applicant has been in communication with the surrounding neighbors regarding the proposed project. A summary of their outreach efforts is included as Exhibit 7. At the time of preparation of this report, no public comment has been received.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

PUBLIC COMMENTS:

Story poles and project signage were installed on the subject property prior to the mailing of notices for the public hearing. Written notice was sent to property owners and residents within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for a 364-square foot first-story addition and a new 876-square foot second-story addition to an existing 1,088-square foot single-story residence (Exhibit 8). The project is consistent with the property's zoning and General Plan Land Use designation. The project complies with the objective standards of the Town Code related to allowable floor area, setbacks, building coverage, parking, and height. The proposed residence would be the first two-story home and the largest residence in the immediate neighborhood in terms of floor area and FAR. The project was reviewed by the Town's Consulting Architect, who provided four recommendations to improve its consistency with the Residential Design Guidelines. The applicant responded to the Consulting Architect's feedback by implementing some of the recommendations. The project is referred to the Planning Commission because the proposed additions would establish the first two-story structure and the largest overall residence within the immediate neighborhood.

B. Recommendation

Based on the analysis above, staff recommends denial of the Architecture and Site application based on concerns related to size of the addition, neighborhood compatibility, and consistency with the Residential Design Guidelines.

C. Alternatives

Alternatively, the Commission can:

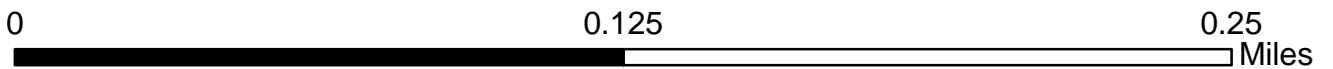
1. Approve the application by taking the following actions:
 - a. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities (Exhibit 2);
 - b. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
 - c. Make the finding that the project complies with the Town's Residential Design Guidelines for single-family residences not located in the hillside area (Exhibit 2);
 - d. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
 - e. Approve Architecture and Site application S-26-007 with the conditions contained in Exhibit 3 and the development plans in Exhibit 8.
2. Approve the application with additional and/or modified conditions; or
3. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Letter of Justification
5. Consulting Architect's Report, dated September 22, 2025
6. Applicant's Response to the Consulting Architect's Report, dated February 10, 2026
7. Summary of Applicant's Neighborhood Outreach
8. Development Plans

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193 Howes Drive



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PLANNING COMMISSION – June 10, 2026
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

193 Howes Drive
Architecture and Site Application S-26-007

Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Nonconforming Property Zoned R-1:8. APN 527-43-021. Categorically Exempt Pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities.

Property Owners: Neeraj Goel
Applicant: Laura Cuda
Project Planner: Suray Nathan

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

Required compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

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PLANNING COMMISSION – June 10, 2026
DRAFT CONDITIONS OF APPROVAL:

193 Howes Drive
Architecture and Site Application S-26-007

Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Nonconforming Property Zoned R-1:8. APN 527-43-021. Categorically Exempt Pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities.

Property Owners: Neeraj Goel
Applicant: Laura Cuda
Project Planner: Suray Nathan

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, Development Review Committee, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. TREE FENCING: Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
8. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
9. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

10. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant’s sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant’s indemnity obligation.

11. DEMOLITION AFFIDAVIT: Prior to issuance of a building permit, a Demolition Affidavit must be submitted and signed by the property owner, project architect, project engineer and contractor.
12. STORY POLES/PROJECT IDENTIFICATION SIGNAGE: Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture and Site application.
13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.



Los Gatos Planning Division
110 E. Main Street, Los Gatos, CA 95030
408.354.6872

December 23, 2025

PROJECT DESCRIPTION & LETTER OF JUSTIFICATION

193 Howes Drive – Minor Residential Application (MR-25-012)

Applicant: Seigo Designs | Owner: Neeraj Goel | APN: 527-43-021 | Zoning: R-1:8

Project Overview

The proposed project at 193 Howes Drive consists of a second-story addition to an existing single-story residence located within the R-1:8 zoning district.

The project retains the existing building footprint and legal nonconforming setbacks, with no horizontal expansion of the structure. All additional floor area is accommodated vertically to minimize site impacts, preserve neighborhood character, and comply with the intent of the Town's Residential Design Guidelines (RDG).

The design responds directly to site constraints, neighborhood context, and Town guidance, with particular attention to scale, privacy, and compatibility.

a. Floor Area Ratio (FAR) Relative to the Immediate Neighborhood

The proposed residence complies with the maximum FAR permitted under the R-1:8 zoning district. While the resulting FAR may be higher than some nearby homes, this condition reflects parcel-specific factors, including the comparatively smaller lot size and the absence of prior additions that are common among neighboring properties.

Importantly, the project does not exceed the allowable FAR and achieves its increase without expanding the existing building footprint. The additional floor area is accommodated entirely within the existing envelope, avoiding increased lot coverage, new setback encroachments, or expanded site disturbance.

Additionally, several nearby homes exhibit comparable or greater perceived scale and massing due to larger lot sizes, wider footprints, or deeper building depths, even where their FAR ratios may differ. As a result, the proposed home does not read as visually larger or out of character when evaluated in terms of overall neighborhood scale and appearance, which is consistent with the intent of the RDG.

b. Height Relative to the Immediate Neighborhood

The proposed structure complies with all applicable height limits and is comparable to other two-story residences within the surrounding neighborhood context. While many nearby homes are single-story, the proposed height is moderated through roof form, articulation, and placement of the second story away from adjacent properties.

The second story is centrally located on the site and is not positioned directly adjacent to neighboring residences, reducing perceived height and bulk when viewed from surrounding properties and the public right-of-way.



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#740-118
Pleasanton, CA 94566
USA

Phone 925 399-1487
Email info@seigodesigns.com
Web site www.seigodesigns.com

c. Compliance with the Residential Design Guidelines (RDG)

The project is consistent with the RDG by:

- Retaining the existing building footprint and avoiding outward expansion.
- Preserving established setback patterns and neighborhood rhythm.
- Limiting bulk through compact second-story massing; and
- Utilizing simple residential forms and proportions appropriate to the neighborhood.

The design prioritizes compatibility and restraint rather than maximization of development potential, aligning with the RDG's intent to respect neighborhood character while allowing reasonable improvements.

d. Compatibility with the Immediate Neighborhood

Neighborhood compatibility is achieved through siting, massing, and context-sensitive design. The property is partially adjacent to a public play lot, providing greater separation than typical interior residential parcels and reducing potential impacts related to scale, privacy, and visibility.

The project maintains existing setbacks, does not introduce new encroachments, and remains consistent with the prevailing pattern of single-family residential development in the area. In addition, outreach to neighboring property owners resulted in no objections to the proposed design, further demonstrating neighborhood compatibility.

e. Privacy and Second-Story Window Design

Privacy considerations were a key factor in the design and placement of second-story windows. Windows have been oriented and located to minimize direct views into adjacent residences and private outdoor areas. Where windows face neighboring properties, they are limited in size, set back from property lines, or serve secondary spaces rather than primary living areas.

The adjacency to the public play lot further reduces privacy impacts, as the primary outlook from the second story is toward open space rather than neighboring yards. These measures are consistent with the privacy standards and guidelines of the RDG and ensure that the project does not create unreasonable privacy impacts.

Conclusion

The proposed project represents a thoughtful and context-sensitive improvement to the existing residence. By maintaining the existing footprint, complying with all applicable development standards, and carefully addressing scale, privacy, and neighborhood character, the project meets the intent of the Town's Residential Design Guidelines and zoning regulations. The design reflects a balanced approach that accommodates the homeowner's needs while respecting the surrounding neighborhood.

Thank you,
James Woodard, CID, NCIDQ
Principal Designer



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Phone 925 399-1487
Email info@seigodesigns.com
Web site www.seigodesigns.com

September 22, 2025

Ms. Suray Nathan
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

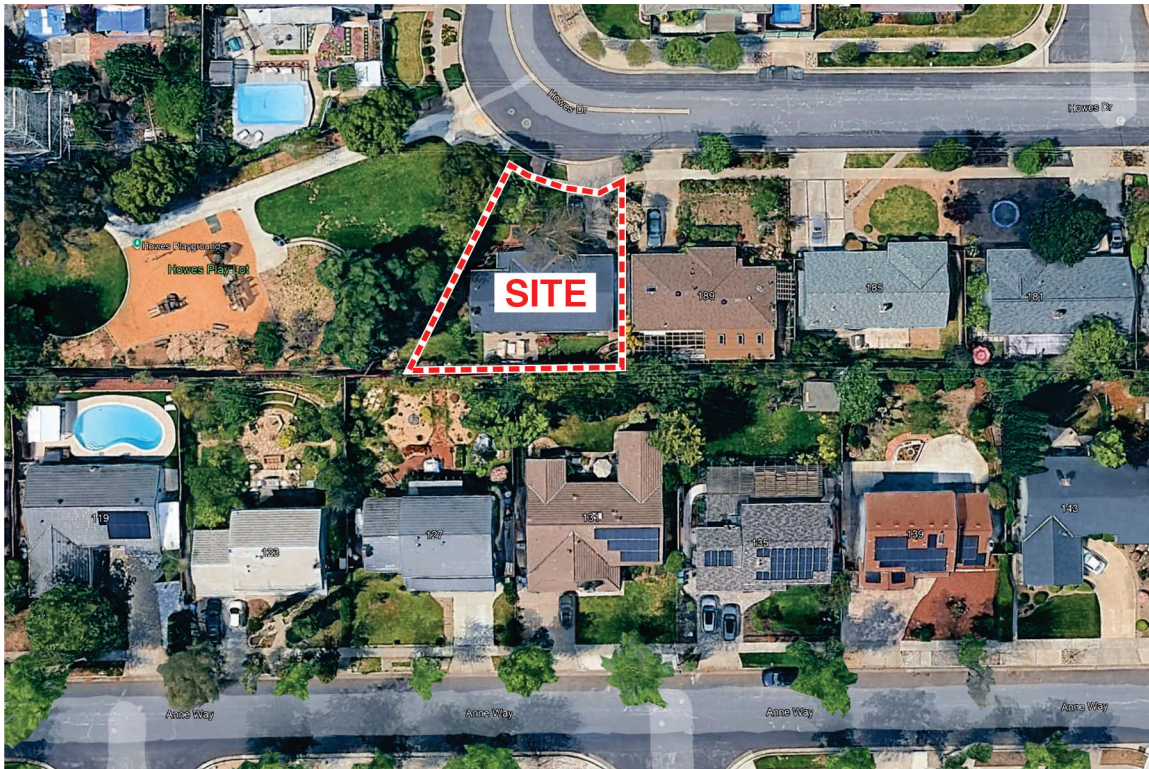
RE: 193 Howes Drive

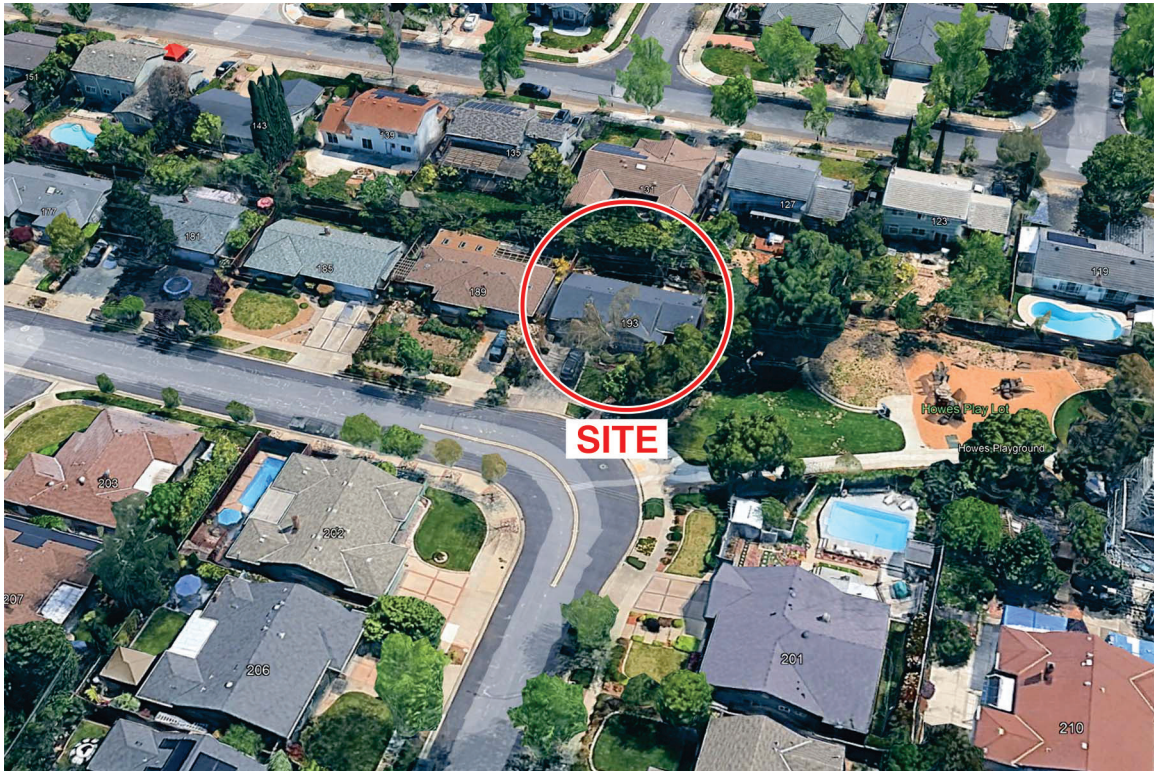
Dear Suray:

I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

NEIGHBORHOOD CONTEXT

The site is located on a large semi-rural parcel near other similarly sized one story homes. Photos of the site and its surrounding neighborhood are shown on the following page.





THE SITE



House immediately across Howes Drive

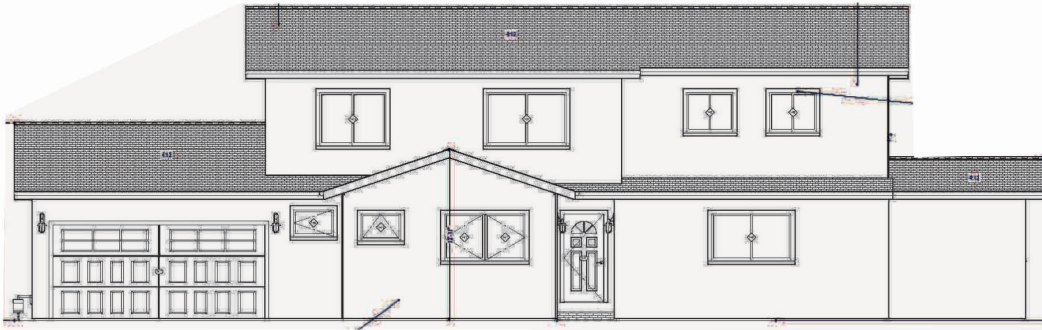


Nearby house to the left



House immediately to the left

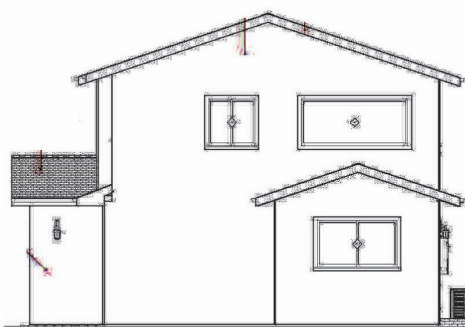
PROPOSED PROJECT



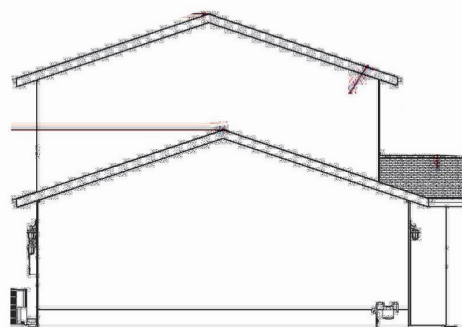
FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

ISSUES AND CONCERNS

The proposed addition is modest in size and scale. While this would be the first home in this immediate neighborhood with a second story, there is little chance that any other second floor addition could be designed that would have less of an impact. However, there are a few details that would not be consistent with the town's Residential Design Guidelines.

1. The two story tall flat wall on the rear elevation would not be consistent with Residential Design Guideline 3.3.3.

3.3.3 Provide visual relief for two story walls



The two story single plane wall would not be consistent with Residential Design Guideline 3.3.3

2. The multitude of different sizes and proportions for the windows on both the front and rear facades would not be consistent with Residential Design Guidelines 3.7.1 and 3.7.2.

3.7.1 Arrange windows in patterns and groupings consistent with the architectural style and surrounding neighborhood

- Many architectural styles have individual windows that are grouped into patterns of two, three or more windows. Be conscious of this fact, and organize the windows to complement the style.

3.7.2 Match window types and proportions to the architectural style and to the surrounding neighborhood

- Select window types to complement the style of the house. ...
- Most architectural styles feature windows that have either vertical or square proportions. Avoid horizontal window proportions unless the style (e.g., Modern or Ranch Style) is clearly supportive of that shape. Horizontal groupings of vertical and square windows are one means of providing visual balance to a facade design.
- Limit the number of different window types and proportions to enhance the visual unity of the house design.
- For second floor additions to existing homes, match the windows on the original first floor.



The large variety of window sizes and proportions is chaotic and would not be consistent with Residential Design Guidelines 3.7.1 and 3.7.2



The large variety of window sizes and proportions is chaotic and would not be consistent with Residential Design Guidelines 3.7.1 and 3.7.2

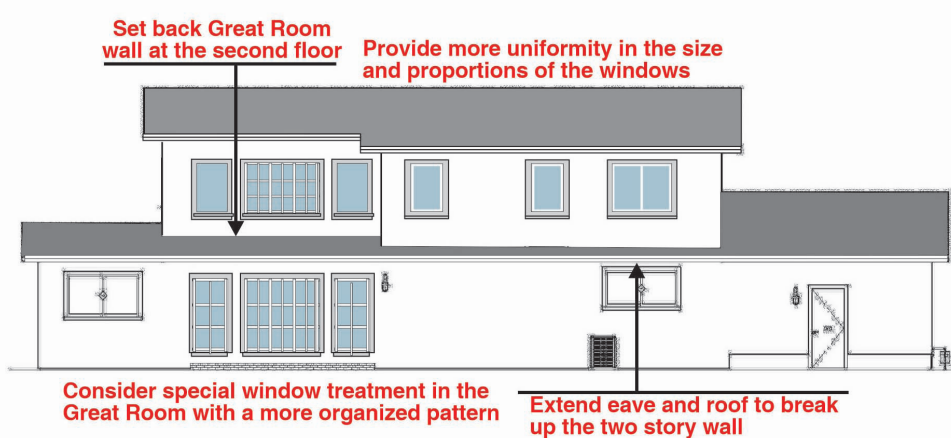
3. There is potentially some conflict with Residential Design Guideline 3.8.2 which calls for using facade materials drawn from the surrounding neighborhood. In this case the applicant is proposing to replace the existing horizontal board siding with stucco on both stories. Other homes in the immediate neighborhood appear to have their original horizontal board siding.

3.8.2 Select materials that are sensitive to the surrounding neighborhood

- *One way of fitting a new house into an existing neighborhood - especially if the new house is bigger than many of the others around it - is to use materials drawn from the surrounding neighborhood. An all stucco house might seem out of character in an all wood neighborhood, but the predominant use of wood siding with some elements of stucco can often work.*

RECOMMENDATIONS

1. Extend the first floor eave and roof across the two story wall and set the second floor Great Room wall back from the first floor wall line.
2. Provide more uniformity in the size and proportions of all windows in the house.
3. Consider a special window treatment in the Great Room within a more organized pattern.





4. The applicant the proposed change in wall materials from horizontal siding to smooth stucco. Generally for a small scale house like this, a change of material would not likely be objectionable but staff may wish to discuss the change before approving it.

Suray, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

A handwritten signature in black ink that reads "Larry L. Cannon".

Larry L. Cannon



Los Gatos Planning Division
110 E. Main Street, Los Gatos, CA 95030
408.354.6872

February 5, 2026

PROJECT DESCRIPTION & LETTER OF JUSTIFICATION

193 Howes Drive – Minor Residential Application (MR-25-012)

Applicant: Seigo Designs | Owner: Neeraj Goel | APN: 527-43-021 | Zoning: R-1:8

Reply to Consulting Architect Report

1. Plans revised to provide visual relief between two stories with intersecting roof plane.
2. Window size and configuration revised to create consistent grouping and size to better complement the style in both the front and back elevations.
3. The materials are revised and clarified and incorporate horizontal siding on portions of the front elevation



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Neighbour	Name	Date	Supportive
█ Howes Dr	[REDACTED]	10/19/2025	Y
█ Barbara Dr		10/19/2025	Y
█ Howes Dr			NA
█ Leigh Ave			NA
█ Howes Dr		11/01/2025	Y
█ Howes Dr		11/01/2025	Y
█ Howes Dr		11/08/2025	Y
█ Howes Dr		Already aware	Y
█ Regent Dr			NA
█ Anne Way			NA
█ Anne Way		11/01/2025	Y
█ Anne Way			Y(Texted. She Acknowledged. Not available ot meet in person as she is on east coast)
█ Howes Dr			Y

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GOEL RESIDENCE MULTI-LEVEL ADDITIONS

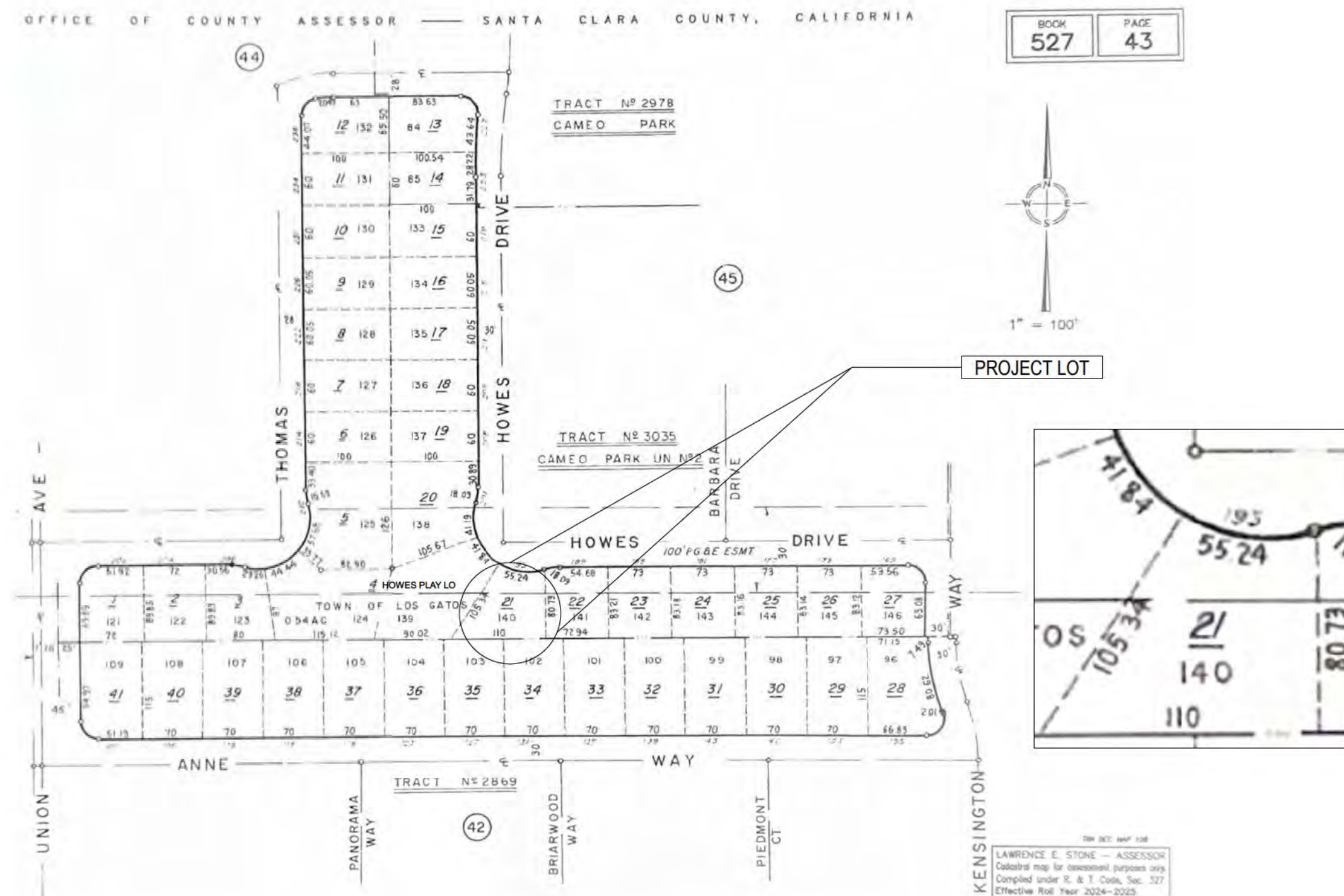
VINCINTY MAP NTS



EXTERIOR FRONT IMAGE



ASSESSOR'S MAP NTS



BUILDING INFORMATION

APN: 527-43-021
ZONING: R-1:8

PROJECT ADDRESS:
193 HOWES DR
LOS GATOS, CA 95032
SANTA CLARA COUNTY

CODES:
CALIFORNIA BUILDING CODE 2022
CALIFORNIA FIRE CODE 2022
CALIFORNIA ELECTRICAL CODE 2022
CALIFORNIA MECHANICAL CODE 2022
CALIFORNIA PLUMBING CODE 2022
CALIFORNIA GREEN BUILDING STANDARDS CODE 2022
RESIDENTIAL BUILDING CODE 2022
ENERGY CODE 2022
LOS GATOS MUNICIPAL CODE

OCCUPANCY: R-3/U
CONSTRUCTION TYPE: V-B
NUMBER OF STORIES: 1 EXISTING, 2 PROPOSED
SPRINKLERS: NO

SI E INFORMA ION	
APN	527 43 021
ZONING	R1:8
LO AREA	6970 SQ FT (REGULAR SHAD)
EXIS ING	
SQUARE FOOT AGE	1089
BEDROOMS	2
BA HS	1.5
GARAGE SF	482
FAR	15.61%
TOT FRON	158
LO COVERAGE	22.2%
PROPOSED	
ADDI ION SF	1240
O AL SF	2328
BEDROOMS	4
BA HS	4
GARAGE SF	482
FAR	15.61%
TOT FRON	319
LO COVERAGE	27.6%
MO SH: ACHIEVE GRADE	27' 0"
SE BACKS	
FRON (NO CHANG)	27' 0"
REAR (NO CHANG)	20' 0"
LEF (NO CHANG)	32' 0"
RIGH (PROPOSED I)	19' 0"
R 1:8 REQUIREMEN S	
FRON	20'
REAR	20'
SIDE	8'
PARKING SPACES	
HWP: POOL COVER NO. COV. IN PRINCP BLDG. UN L	2
BLDG. DRIVE IN. NO REVERSE COVER IN BLDG.	0
MINIMUM FOR OFF STRE: 15 MINIMUM FOR OFF	0
MIN. OF 10' SLAB DE. BDRM. UN	0

SHEET INDEX

1	A1.0	COVER SHEET
2	A1.1	BUILD IT GREEN CHECKLIST
3	A1.2	GREEN BUILDING CODE
4	A1.3	GREEN BUILDING CODE
5	A1.4	PROJECT DESCRIPTION
6	A2.0	SITE PLAN
7	A2.1	PHOTOS OF EXISTING
8	A2.3	STREETSCAPE
9	A2.4	SHADOW STUDY
10	A3.0	EXISTING FLOOR PLAN
11	A3.1	PROPOSED FLOOR PLAN
12	A3.3	EXTERIOR ELEVATIONS
13	A3.4	EXTERIOR ELEVATIONS
14	A3.5	EXTERIOR ELEVATIONS
15	A3.6	EXTERIOR ELEVATIONS
16	A3.7	ROOF PLAN
17	A3.8	CROSS SECTIONS
18	A5.0	NOTES A
19	A5.1	NOTES B
20	A5.2	NOTES C

SCOPE OF WORK

- 1240 SQ FT ADDITION
 - LEVEL 1 ADDITION: 364 SF
 - LEVEL 2 ADDITION: 876 SF
- TOTAL AREA OF WORK: 2328 SF
- LEVEL 1
 - OPEN AND EXPAND KITCHEN
 - NEW STAIR ACCESS TO LEVEL 2 IN LIVING
 - NEW GREAT ROOM
 - NEW FAMILY
 - DEMOLISH BRICK FIREPLACE
 - CONVERT BEDROOM 2 TO OFFICE
 - REMOVE POWDER ROOM
 - EXPAND LAUNDRY INTO HALL PASSAGE WITH STORAGE CABINETRY
 - RELOCATE ELECTRICAL PANEL
- LEVEL 2
 - NEW PRIMARY SUITE
 - NEW JACK & JILL BEDROOM/BATH SUITE
- NEW CABINETRY, PLUMBING, LIGHTING, WIRING, APPLIANCES, FINISHES
- ESTIMATED VALUATION: TBD

PROJECT NOTES

- SEE SHEETS NOTES A / NOTES B FOR GENERAL NOTES, SITE NOTES AND CODE COMPLIANCE
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON THE PLANS TAKE PRECEDENCE OVER SCALING
- SPECIFICATIONS IF INCLUDED SUPERCEDE DRAWINGS SHOULD A DISCREPANCY BETWEEN SPECIFICATION AND DRAWINGS OCCUR
- CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 OR 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.

SYMBOLS INDEX

	DOOR
	WINDOW
	CABINET
	FINISH
	PLAN NOTES
	COMPLIANCE NOTES

PROJECT DIRECTORY

OWNER:
NEERAJ GOEL
193 HOWES DR
LOS GATOS, CA 95032

DESIGNER:
SEIGO DESIGNS & INTERIORS, LLC
6754 BERNAL AVE. #740-118
PLEASANTON CA 94566

JAMES WOODARD CID #6958
JWOODARD@SEIGODESIGNS.COM
925.399.1487

LAURA CUDA
262.237.4749
LCUDA@SEIGODESIGNS.COM

CONTRACTOR:
TBD

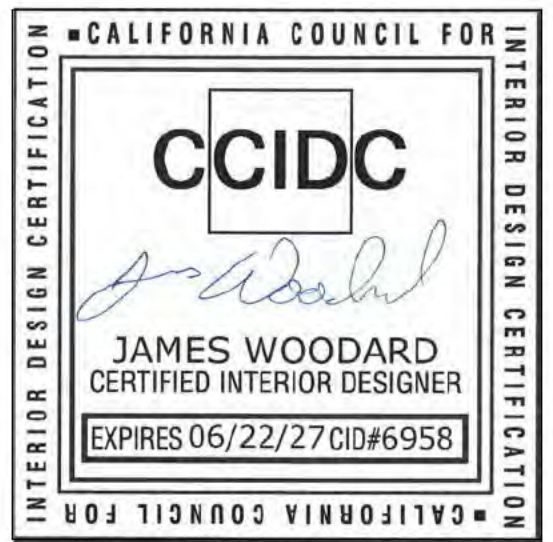
ENGINEER:
TBD

DEFERRED SUBMITTALS

- TRUSS

DESIGN REVISION ACKNOWLEDGEMENT AND RECEIPT

REV S ON MEMO LOG					
DATE	NUMBER	PERM T	DES GN	REC EVED BY	SHEET



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

PROJECT: MULTI-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
COVER SHEET

A1.0
EXHIBIT 8

GreenPoint Rated Existing Home Checklist

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each table are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the form. The measure or practice must be found in at least 10% of the home to earn points.

Instructions: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.org/greenpointrated

GreenPoint Rated Existing Home Checklist Version 2.1.3

Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: AA. COMMUNITY. Sub-sections include: 1. Home is Located within 1/2 Mile of a Major Transit Stop, 2. Compact Development & House Size, 3. Pedestrian and Bicycle Access/Alternative Transportation, 4. Safety & Social Gathering, 5. Diverse Households.

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Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: I. RENEWABLE ENERGY, J. BUILDING PERFORMANCE, K. FINISHES. Sub-sections include: 1. Off-Grid Energy Consumption with Onsite Renewable Generation, 2. Energy Survey and Education, 1. Entryways Designed to Reduce Tracked in Contaminants.

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Enter Label: Whole House

Points Achieved:

Grid for tracking points achieved across various categories.

Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: B. FOUNDATION, C. LANDSCAPE, D. STRUCTURAL FRAME & BUILDING ENVELOPE. Sub-sections include: 1. Replace Portland Cement in Concrete with Recycled Flyash or Slag, 1. Resource-Efficient Landscapes, 1. Optimal Value Engineering.

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Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: E. EXTERIOR FINISH, F. INSULATION, G. PLUMBING, H. HEATING, VENTILATION & AIR CONDITIONING. Sub-sections include: 1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking, 1. Install Insulation with 30% Post-Consumer Recycled Content, 1. Distribute Domestic Hot Water Efficiently.

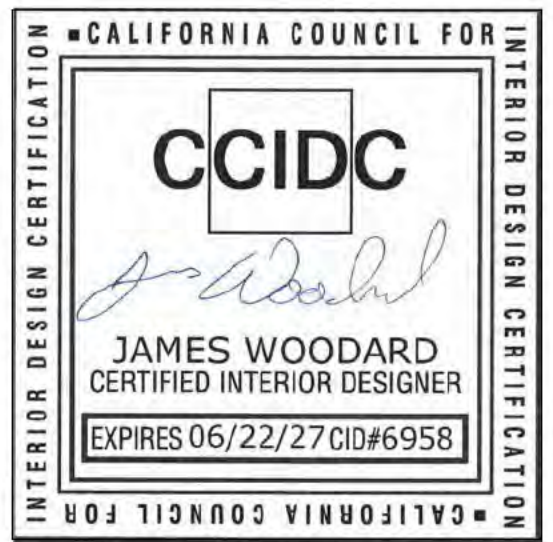
© 2020 Build It Green GreenPoint Rated Existing Home Checklist v2.1.3 3

Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: L. FLOORING, M. APPLIANCES AND LIGHTING, N. OTHER, P. INNOVATIONS. Sub-sections include: 1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content, 1. ENERGY STAR Dishwasher, 1. Incorporate GreenPoint Checklist in Blueprints or Distribute Checklist.

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Table with columns: Project Name, Points Achieved, Community, Energy, AQH/Health, Resources, Water. Section: Q. INNOVATIONS, Summary. Sub-sections include: 1. Green Booth (25% or Roof Area Minimum), 1. GreenPoint Rated Existing Home Checklist v2.1.3 6

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SEIGO DESIGNS & INTERIORS 6754 BERNAL AVE. #740-118 PLEASANTON, CA 94566 (925)399-1487

DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

Table with columns: NO, DATE, DESCRIPTION, BY. Revisions section.

PROJECT: MULT-LEVEL ADDITIONS GOEL RESIDENCE 193 HOWES DR LOS GATOS, CA 95032

SHEET NAME: BUILD IT GREEN CHECKLIST

A1.1



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON. PARTY
N/A RESPON. PARTY
YES APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may be applied to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of State Architect, Structural Safety
OSHDP Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference):
FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar porous material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.
(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flow to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved for permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.

When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

- When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.
- When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

- Construction documents shall show locations of future EV spaces.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. **Exception:** Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.

EVCS shall comply with at least one of the following options:
1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.

The charging spaces shall be designed to comply with the following:
1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).

3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle A-5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B, EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway methods(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.

Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.

When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets.

The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals.

The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 80 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.

When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019	
PRODUCT CLASS [spray force in ounces force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial pretinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf) (113 grams-force(gf))

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.

Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE: THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 80 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

- The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <https://www.water.ca.gov>

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.

Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- Identify diversion facilities where the construction and demolition waste material collected will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].

Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 lbs./sq. ft. of the building area shall meet the minimum 85% construction waste reduction requirement in Section 4.408.1.

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.

Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 85% construction waste reduction requirement in Section 4.408.1.

4.408.5 DOCUMENTATION.

Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

- Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
- Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspections verifications required by the enforcing agency or this code.
- Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
- Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(b).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tetrachloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROG in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17 commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT^{1,2}
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FALX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATINGS, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS:

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ¹	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 3/16" (6 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDC/PD/DEDC/ELB/IAQ/Pages/VOC.aspx>

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDC/PD/DEDC/ELB/IAQ/Pages/VOC.aspx>

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDC/PD/DEDC/ELB/IAQ/Pages/VOC.aspx>

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European EN 13986 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

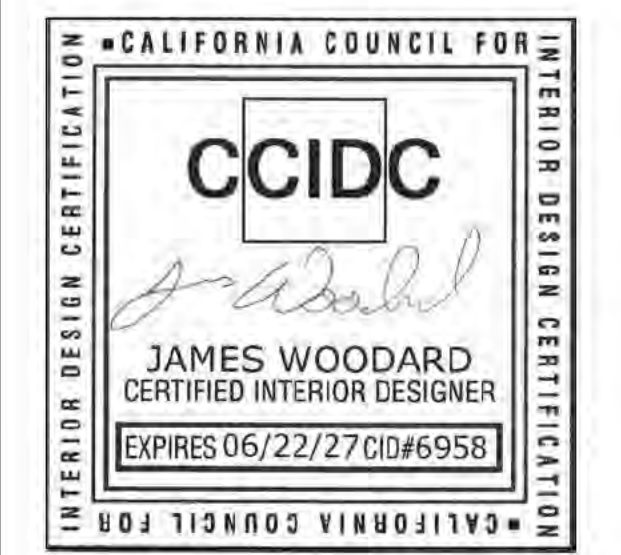
[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT: MULTILEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
GREEN BUILDING CODE

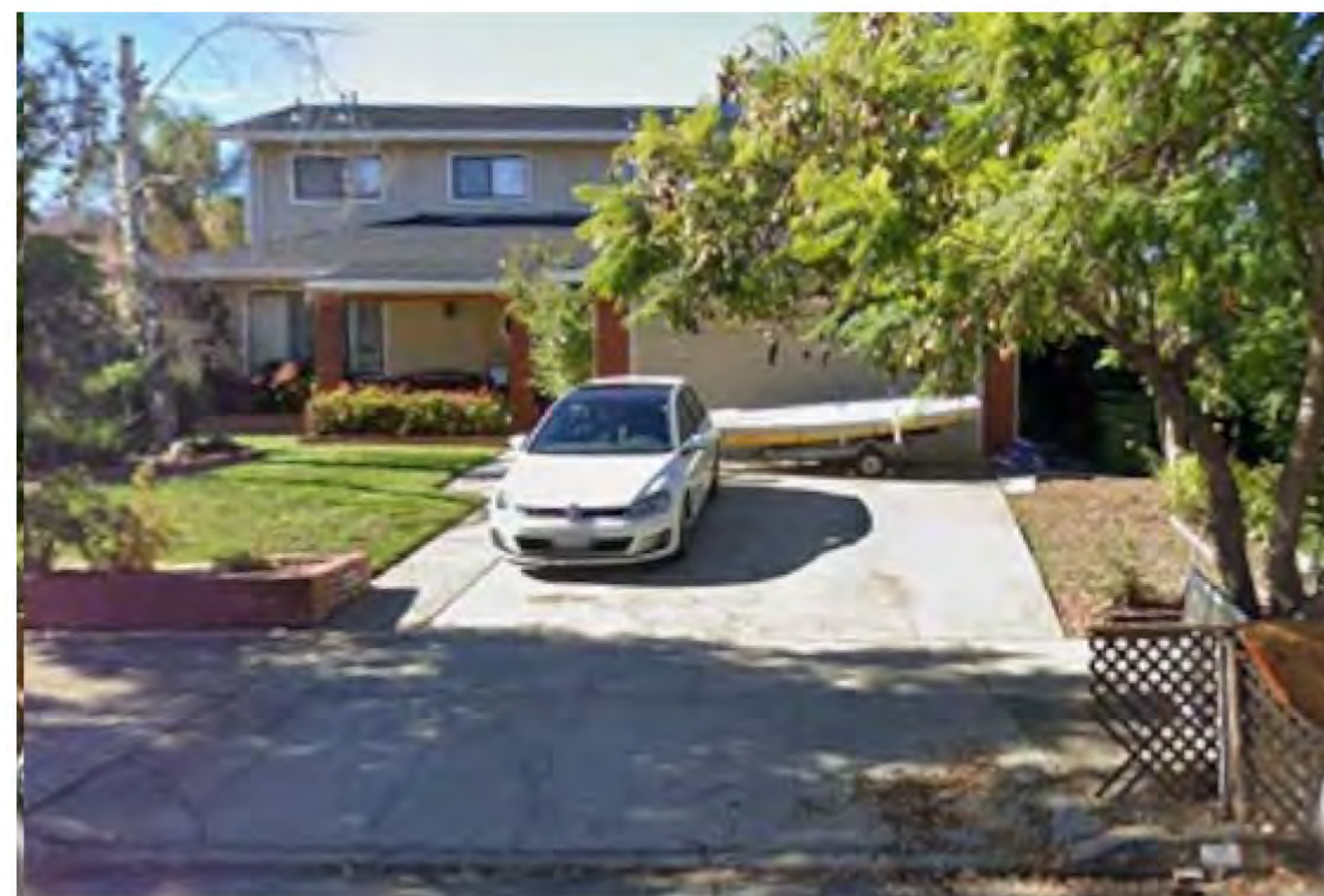
A1.3

SAMPLE OF EXISTING 2-STORY HOMES IN NEIGHBORHOOD:

- 211 Howes Dr
- 219 Howes Dr
- 259 Howes Ct
- 255 Howes Ct
- 253 Howes Ct
- 123 Anne Way
- 127 Anne Way
- 135 Anne Way
- 139 Anne Way
- 144 Anne Way
- 105 H debrand Dr
- 293 Herschner Ct
- 295 Herschner Ct
- 287 Herschner Ct
- 259 Herschner Ct



211 HOWES DR



219 HOWES DR



259 HOWES CT



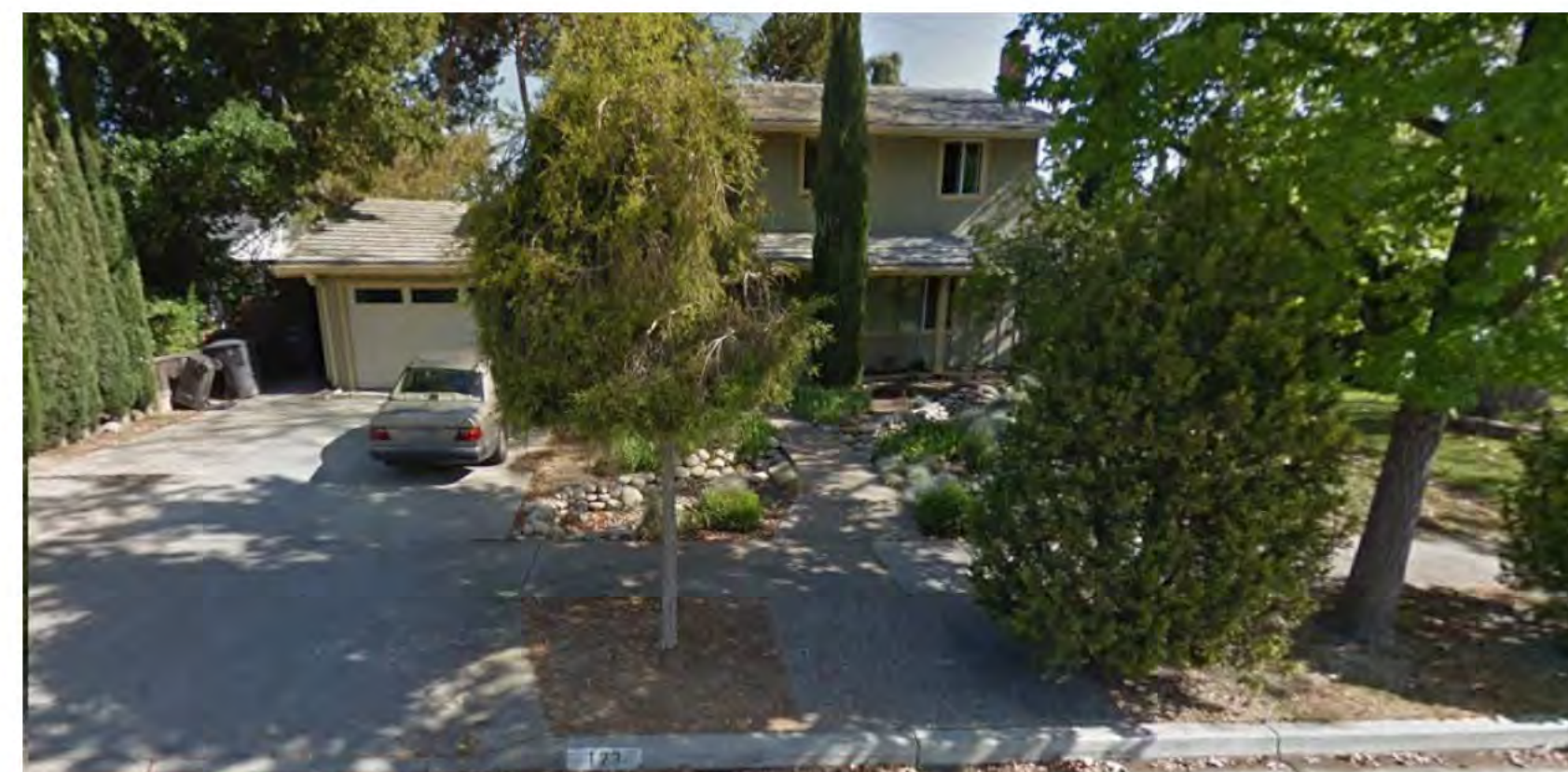
255 HOWES CT



253 HOWES CT



127 ANNE WAY



123 ANNE WAY

PROJECT DESCRIPTION LETTER:



Los Gatos Planning Division
110 E. Main Street, Los Gatos, CA 95030
408.354.6872

December 3, 2025

PROJECT DESCRIPTION & LETTER OF JUSTIFICATION

193 Howes Drive – Minor Residential Application (MR-25-012)
Applicant: Seigo Designs | Owner: Neeraj Goel | APN: 527-43-021 | Zoning: R-1.8

1. Project Overview

This project proposes a modest second-story addition totaling 1,240 sq. ft. to an existing one-story home on a uniquely shaped lot adjacent to the Howes Drive Play Lot. The design maintains a predominantly one-story appearance from the street, places the second story toward the center of the lot, and incorporates revisions responding to Town comments and recommendations from the Cannon Design Group.

2. Response to Los Gatos Comment #6

6a. Largest FAR in the Immediate Neighborhood?

No. The proposed FAR is not the largest. Several surrounding homes, including 127 Anne Way (two-story) and larger one-story homes at 201, 205, and 206 Howes Drive, present equal or greater visible massing. Due to the parcel's narrowed frontage and adjacency to open space, the proposed mass appears smaller than many nearby structures.

6b. Tallest in the Immediate Neighborhood?

No. The proposed ridge of ~23'6" is lower than the nearby two-story home at 127 Anne Way (~26 ft) and is consistent with neighborhood height patterns. The second story is recessed behind the front façade, reducing perceived height.

6c. RDG Compliance

The project complies with the Residential Design Guidelines:

- **Massing (RDG 3.3):** The revised design adds articulation, varied roof planes, and breaks in wall surfaces to reduce two-story massing.
- **Windows (RDG 3.7):** Upper-level windows now follow consistent proportions and patterns, reduced in variety per consultant recommendations.
- **Materials (RDG 3.8):** Stucco and painted wood trim match surrounding homes; final material revisions follow consultant guidance.
- **Neighborhood Context:** The design retains ranch-style proportions and a low street profile.

6d. Compatibility with the Immediate Neighborhood

Compatibility is achieved through:

- **Centered second story** away from adjacent properties
- **Deep front setback** matching neighborhood rhythm
- **Traditional roof forms** (4:12 pitch) consistent with nearby homes
- **Shadow study** showing minimal impacts and most shading falling on the play lot
- **Open-space adjacency** which significantly reduces visibility from neighbors' private yards



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6e. Privacy Standards Compliance

- No second-story windows directly face neighboring primary living areas.
- East/west windows use higher sill heights or modest sizing.
- Most upper-story glazing faces the play lot, not private yards.
- Window revisions follow RDG privacy guidelines and Cannon Design Group recommendations.

3. Response to Cannon Design Group Recommendations

Revisions include:

1. Additional articulation and eave extensions to break up two-story rear massing
2. More uniform window sizing and layout
3. Simplified window patterns in the Great Room
4. Materials adjusted for neighborhood sensitivity

These revisions meet or exceed the consultant's recommendations.

4. Neighbor Outreach Summary (Los Gatos Requirement #9)

From 10/19/2025 to 11/08/2025, outreach was completed to 13 nearby properties on Howes Dr, Barbara Dr, Anne Way, Regent Dr, and Leigh Ave.

All neighbors who responded expressed support or no objection.

No concerns were raised regarding height, FAR, massing, privacy, or shading.

Key Findings:

- No privacy concerns were raised.
- Neighbors noted that the second story faces the play lot, reducing visual impact.
- Several expressed support for improving the home.
- No objections were received

A spreadsheet of neighbor responses shall be submitted.

5. Conclusion

The revised project at 193 Howes Drive:

- Is not the tallest nor the largest FAR in the immediate neighborhood
- Complies fully with the Residential Design Guidelines
- Incorporates all Town and consulting architect recommendations
- Demonstrates minimal massing, shadow, and privacy impacts
- Has clear neighbor support and no objections

The applicant respectfully requests approval of the revised design.

Thank you,

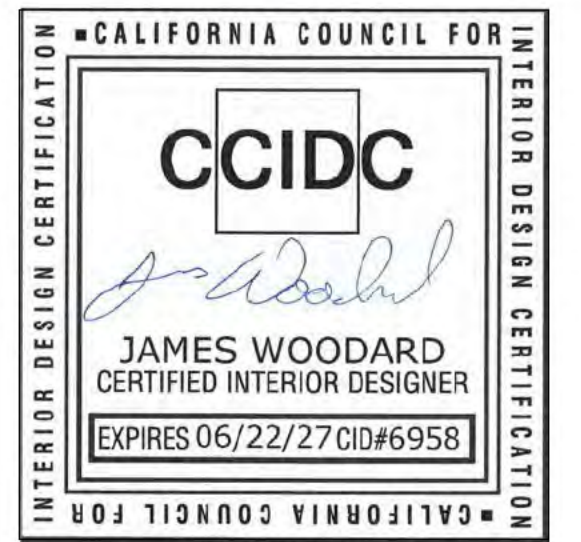
James Woodard, Seigo Designs and Interiors, LLC



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USA

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Web site

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SEIGO DESIGNS & INTERIORS
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PLEASANTON, CA 94566
(925)399-1487

DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

PROJECT: MULT-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
PROJECT DESCRIPTION

A1.4

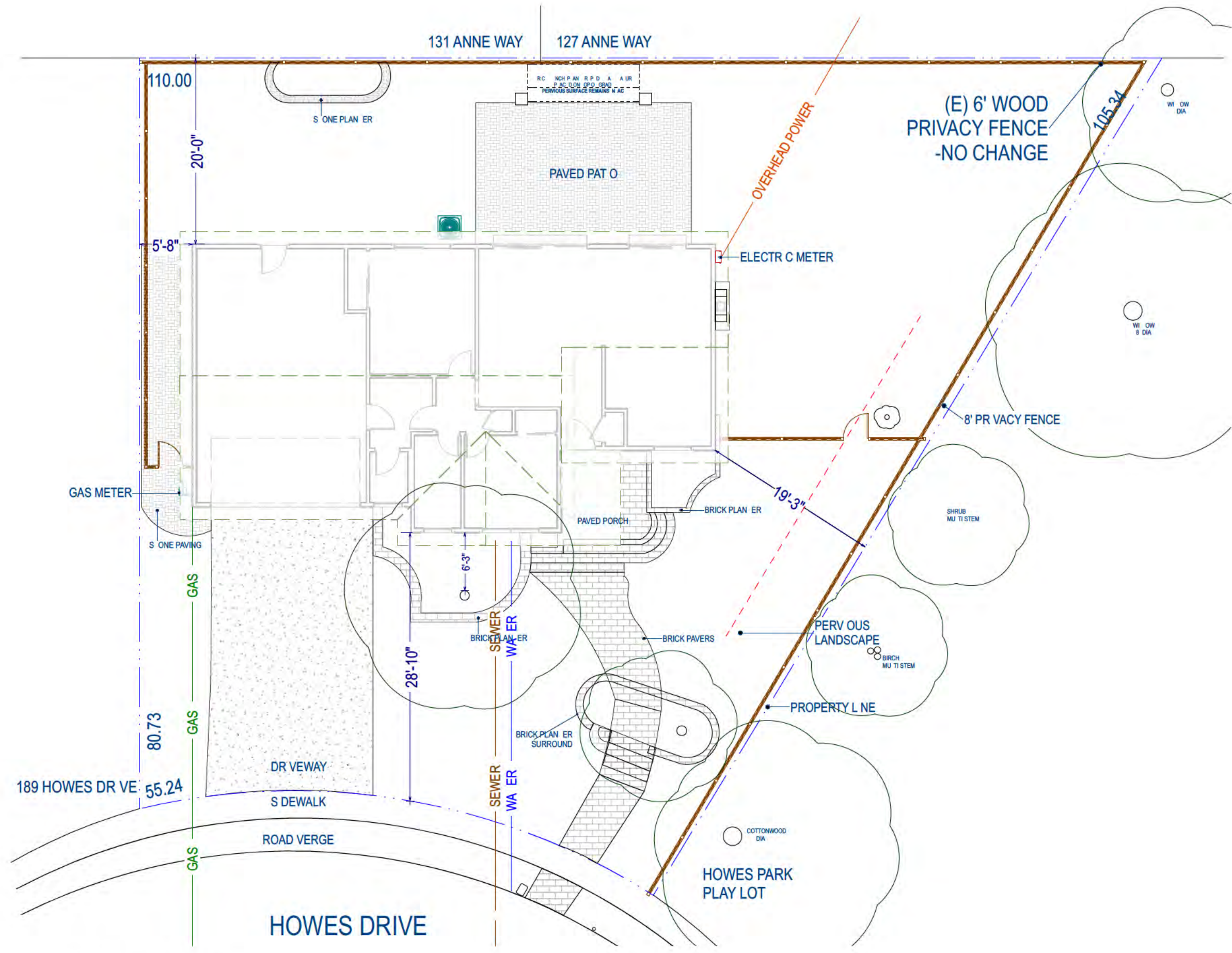
- NOTE: A SURVEY WAS NOT PREPARED FOR THIS PROJECT. VERIFY IN FIELD.
 SITE MEASUREMENTS ARE BASED ON PHYSICAL LANDMARKS. LOT DIMENSIONS ARE PER ASSESSOR'S MAP.
 - NO TREES OF NOTABLE SIZE ON THE PROPERTY. (E) TREES SHALL NOT BE AFFECTED
 - AVERAGE SLOPE OF LOT: APPROXIMATELY 0% (ESSENTIALLY FLAT, WITH ONLY REQUIRED DRAINAGE AWAY FROM STRUCTURE).

FLOOR AREA SUMMARY:

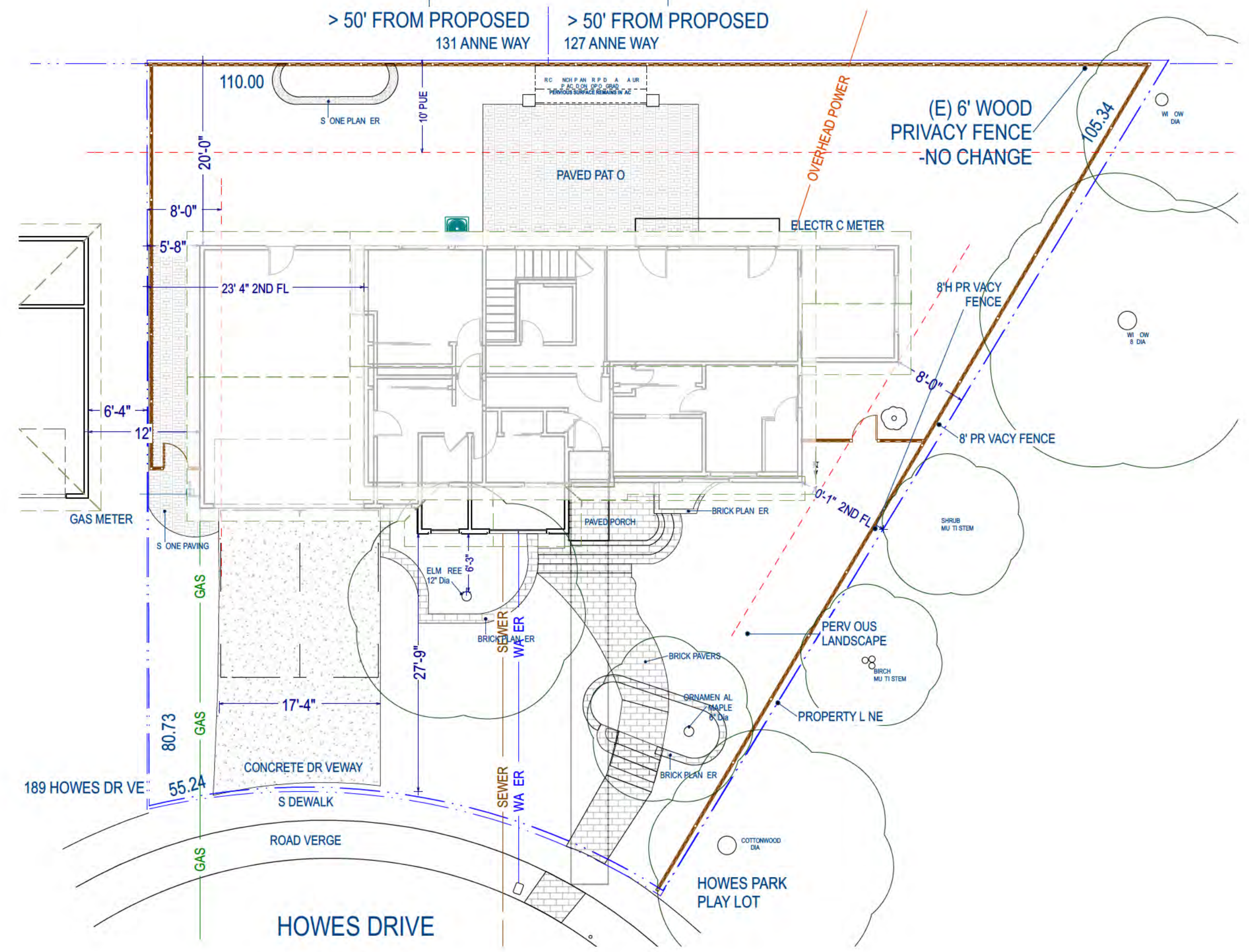
	EXISTING	PROPOSED	TOTAL
2ND FLOOR	N/A	876 S F	876 S F
1ST FLOOR	1 088 S F	364 S F	1 452 S F
TOTAL	1 088 S F	1 240 S F	2 328 S F
(MAX ALLOWED HOUSE)			2 328 S F
GARAGE	499 S F	0 S F	499 S F
(MAX ALLOWED GARAGE)			659 S F

SETBACK JUSTIFICATION:

1. THE PROPOSED ADDITION DOES NOT INCREASE ANY NONCONFORMITY. THE ENCROACHED EAST (LEFT) SIDE SETBACK OF 5'-8" IS EXISTING. OTHERWISE THE R-1:8 SETBACKS ARE COMPLIANT.
2. DUE TO THE PROPERTY'S IRREGULAR LOT SHAPE, THE EXISTING STRUCTURE WAS BUILT WITH A LEGAL NONCONFORMING LEFT-SIDE SETBACK. THE PROPOSED WORK DOES NOT EXPAND OR INCREASE THIS CONDITION IN ANY WAY; ALL NEW CONSTRUCTION IS PLACED FULLY WITHIN THE EXISTING FOOTPRINT. THE PROJECT THEREFORE MAINTAINS THE EXISTING NONCONFORMITY WITHOUT INTENSIFYING IT.
3. THE SECOND STORY IS PLACED ENTIRELY WITHIN THE EXISTING FOOTPRINT, ENSURING NO FURTHER REDUCTION OF THE 25-FT FRONT, 8-FT SIDE, OR 20-FT REAR SETBACKS. BECAUSE THE LOT SHAPE AND THE ADJACENCY TO THE PUBLIC PLAY LOT LIMIT EXPANSION OPTIONS, PLACING NEW AREA ABOVE THE EXISTING STRUCTURE YIELDS THE LEAST IMPACTFUL SOLUTION.



1 EXISTING
 SCALE 3/32" = 1'-0"



2 PROPOSED
 SCALE 3/32" = 1'-0"

SITE PLAN NOTES:

- SEE SHEETS NOTES A/NOTES B FOR GENERAL NOTES AND CODE COMPLIANCE
 - CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 OR 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
 - THE BUILDING ADDRESS NUMBERS SHALL BE ILLUMINATED AND PLACED IN APPROPRIATION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (2022 CRC R319). THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2".
 - SEISMIC AUTOMATIC SHUT-OFF VALVE TO BE INSTALLED AT THE GAS METER OR PROPANE TANK
 - EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATIONS DERIVED FROM AVAILABLE RECORDS.
 - DRAINAGE SLOPE OF GRADE AWAY FROM EXTERIOR FOUNDATIONS TO BE 6 INCHES MINIMUM WITHIN 10 FEET (5% MINIMUM). AT IMPERVIOUS SURFACES, A MINIMUM 2% SLOPE IS PERMITTED. [CRC §R401.3]
- *TREES SHALL BE SHALL BE PROTECTED PER MUNICIPAL CODE 17.16:**
17.16.070 PROTECTION OF EXISTING TREES.
 ALL PERSONS SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:
 1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL A STURDY FENCE AT THE DR PL NE OF ANY TREE WHICH WILL BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS NEAR THE FENCE. THE DR PL NE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
 2. PROHIBIT EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DR PL NE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
 3. PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DR PL NE OR DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DR PL NE.
 4. PROHIBIT THE ATTACHMENT OF WRESSES AND ROPES TO ANY HERITAGE TREE.
 5. DESIGN UTILITY SERVICES AND RIGGING TO BE LOCATED OUTSIDE OF THE DR PL NE WHEN FEASIBLE.
 6. RETAIN THE SERVICES OF A CERTIFIED ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE CERTIFIED ARBORIST SHALL BE PRESENT WHENEVER ACTIVITY OCCURS WHICH POSES A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED.
 7. THE DIRECTOR SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

TRENCH DEPTH FOR BOTH SEWER AND WATER SHALL BE CPC 314-314.4 COMPLIANT ELECTRICAL TRENCH SHALL COMPLY WITH CEC 300.5

- TRENCH DEPTH NOTES:**
ELECTRICAL
 * CAUTION TAPE REQUIRED 6" BELOW GRADE
 * ALL BURIED CONDUIT IN FLOOD ZONE WILL BE REQUIRED TO BE WATER TIGHT TO 1 FOOT ABOVE BFE
 DIRECT BURIAL CABLES
 24" MIN BELOW GRADE OR BY LISTED SPECIFICATION OF CABLE
 RIGID CONDUIT WITH CONDUCTORS
 18" MIN BELOW GRADE
 24" MIN UNDER DRIVEWAYS, STREETS, ETC
 RIGID NONMETALLIC CONDUIT WITH CONDUCTORS
 18" MIN BELOW GRADE
 SCH 80 FOR RIGID PROTECTION TO PANEL BOX OR 8 FT ABOVE GROUND
 24" MIN UNDER DRIVEWAYS, STREETS, ETC
 RESIDENTIAL BRANCH CIRCUITS
 120 VOLTS OR LESS WITH GFCI PROTECTION (MAX 20 AMPS)
 12" MIN BELOW GRADE, RIGID CONDUIT
 CIRCUITS FOR CONTROL OF LANDSCAPE LIGHTING OR RIGGING TO 30 VOLTS OR LESS WITH TYPE OF CABLES
 6" MIN BELOW GRADE
 * LOW VOLTAGE DOES NOT REQUIRE TAPE
WATER PLUMBING
 PVC (APPROVED FOR EXTERIOR LOCATIONS ONLY)
 12" MIN BELOW GRADE, PROTECTED AT ALL OTHER LOCATIONS
 FERROUS METAL OR NONFERROUS METAL
 12" MIN BELOW GRADE
GAS PLUMBING
 * NO LP GAS PLUMBING APPROVED UNDER CONCRETE SLABS
 * ALL CONNECTIONS TO BE WRAPPED
 FERROUS (COATED METAL) GAS PLUMBING
 12" BELOW GRADE
 18" BELOW GRADE FOR MOBILE HOME INSTALLATIONS
 PLASTIC GAS PIPING (WITH LISTED METALLIC SERVICES)
 18" BELOW GRADE (TO A POINT 6" ABOVE GRADE) WITH ELECTRICALLY CONTINUOUS INSULATED #18 AWG YELLOW COPPER TRACER WIRE OR APPROVED TRACER TAPE AND SHALL TERMINATE ABOVE GRADE AT EACH END
SEWER PLUMBING (UPC 7183)
 ABS
 18" MIN 12" BELOW GRADE WITHIN 2' OF ANY STRUCTURE ALL OTHER AREAS PROTECTED FROM SUNLIGHT PHYSICAL DAMAGE AND FROST
 ALL ELECTRICAL, GAS, WATER & ABS PLUMBING SUGGESTED TO BE MINIMUM OF 4" SEPARATE ON SAME TRENCH
 * TYPICALLY SEPARATE ON PIPES SUGGESTED IF THERE IS EVER A PROBLEM TO BE REPAIRED WHEN SEPARATED

N

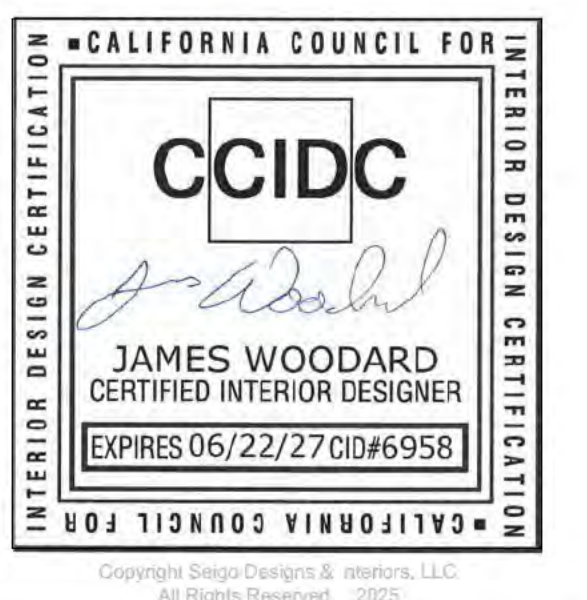
IMPERVIOUS SURFACES:

- EXISTING: 1400 SF
- PROPOSED: 2084

SITE INFORMATION

APN	527-43-021
ZONING	R1:8
LOT AREA	6970 SQ FT (IRREGULAR SHAPE)
EXISTING	
SQUARE FOOTAGE	1088
BEDROOMS	2
BATHS	1.5
GARAGE SF	482
FAR	15.61%
FOOTPRINT	1546
LOT COVERAGE	22.2%
PROPOSED	
ADDITION SF	1240
TOTAL SF	2328
BEDROOMS	4
BATHS	3
GARAGE SF	482
FAR	33.4%
FOOTPRINT	1935
LOT COVERAGE	27.8%
HEIGHT ABOVE GRADE	23'-6"
SETBACKS	
FRONT (NO CHANGE)	27'-9"
REAR (NO CHANGE)	20'-0"
LEFT (NO CHANGE)	5'-8"
RIGHT (PROPOSED 8'-0")	19'-3"
R-1:8 REQUIREMENTS:	
FRONT	25'
REAR	20'
SIDE	8'
PARKING SPACES:	
	2

THE PARCEL DOES NOT CONTAIN APPROPRIATE NATURAL SLOPE. ONLY STANDARD FOUNDATION DRAINAGE (5% MINIMUM FOR 10 FT) EXIST. WHICH DOES NOT AFFECT THE AVERAGE LOT SLOPE DETERMINATION.



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DATE: 5/7/2026

SCALE: AS NOTED

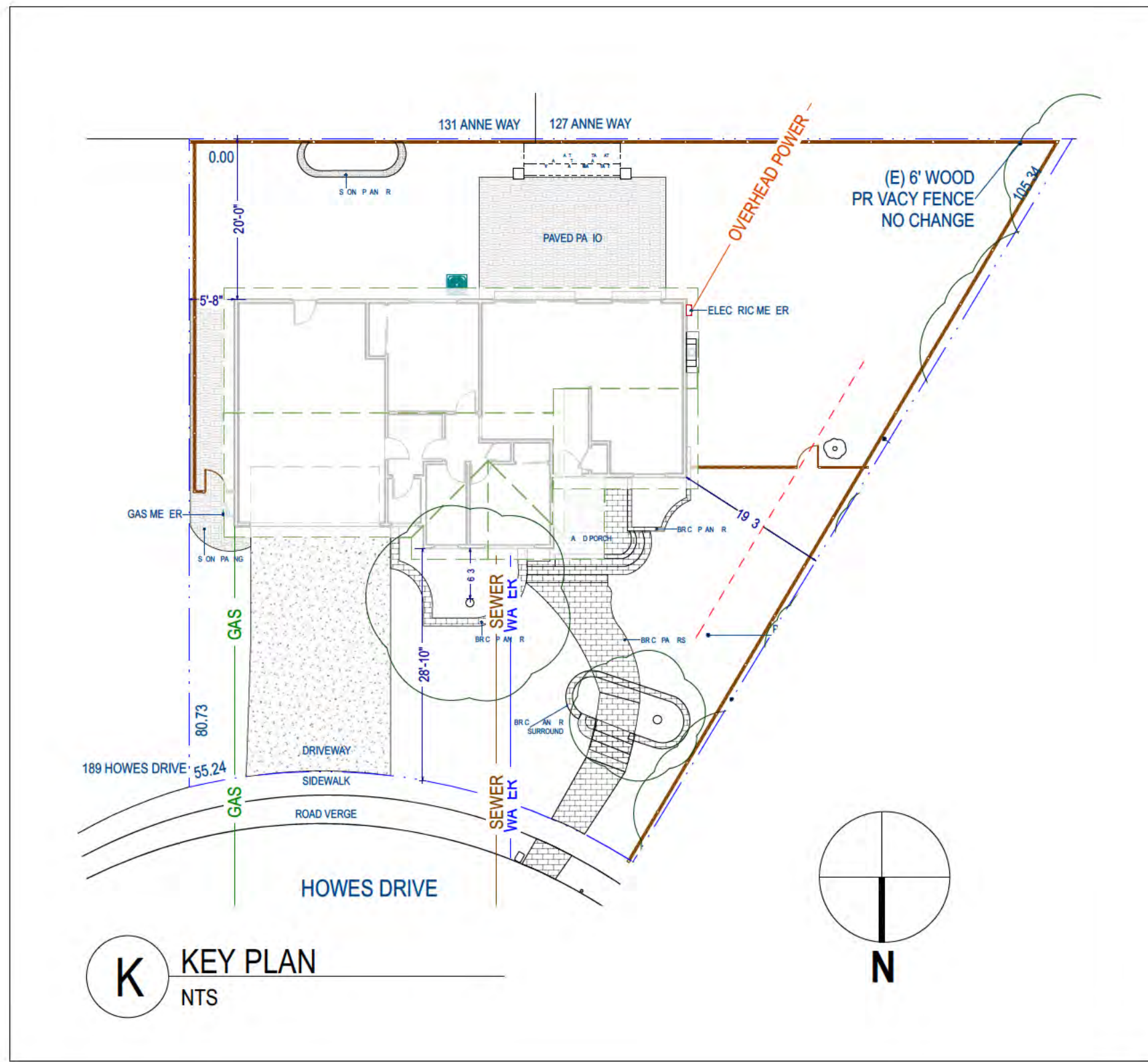
DRAWN BY: JMW / LCC

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT: MULTILEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
 SITE PLAN

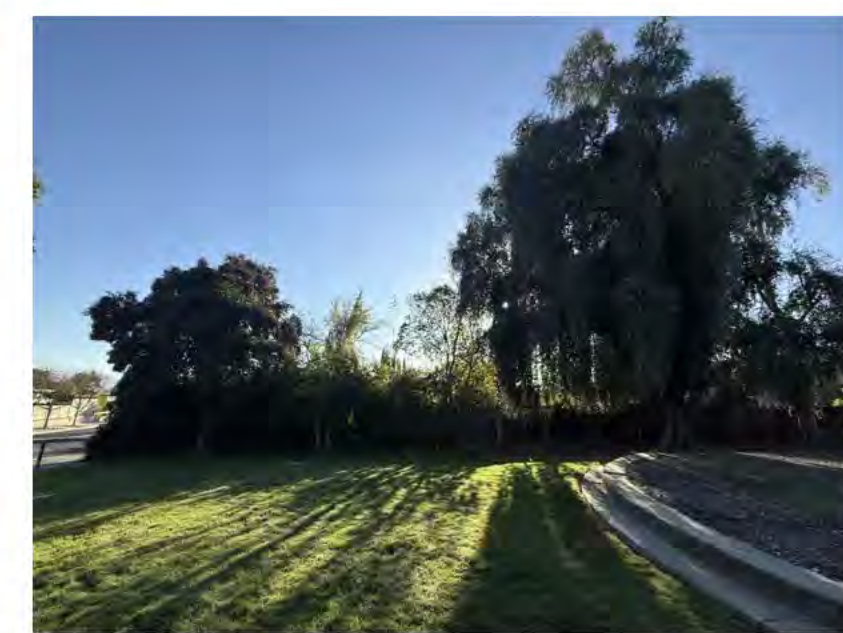
A2.0



1 FRONT -NORTH
NTS



2 LEFT -EAST
NTS



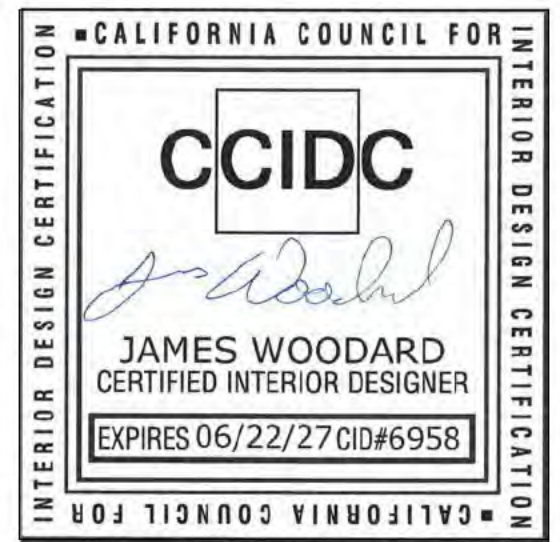
5 PLAYLOT'S FENCELINE TREES
NTS



3 REAR -SOUTH
NTS



4 RIGHT -WEST
NTS



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 5/7/2026
SCALE: AS NOTED
DRAWN BY: JMW / LCC

REVISIONS		
NO	DATE	DESCRIPTION

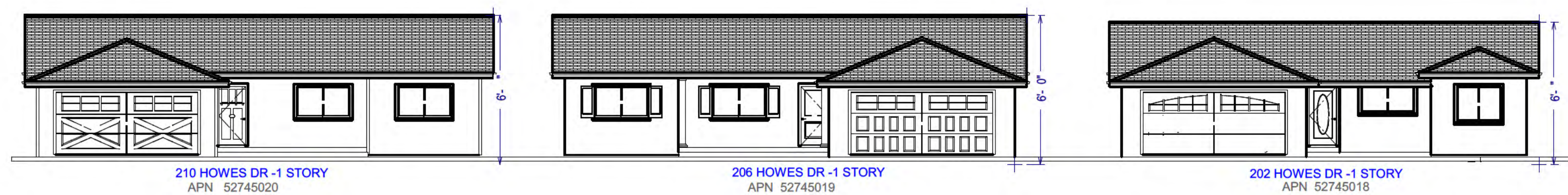
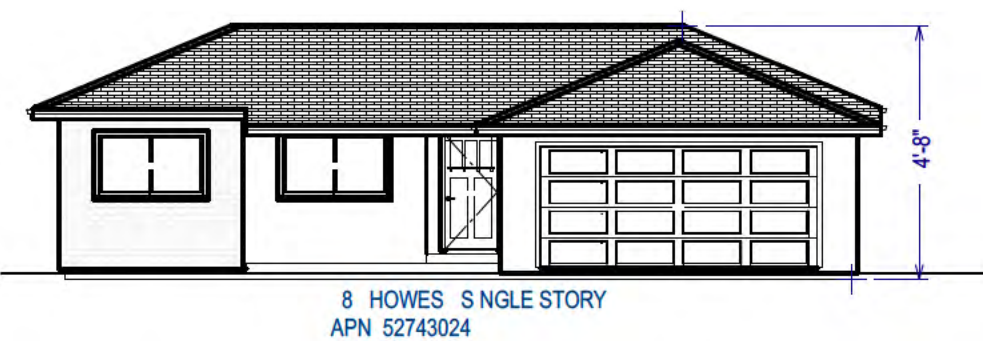
PROJECT: MULT-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
PHOTOS OF EXISTING

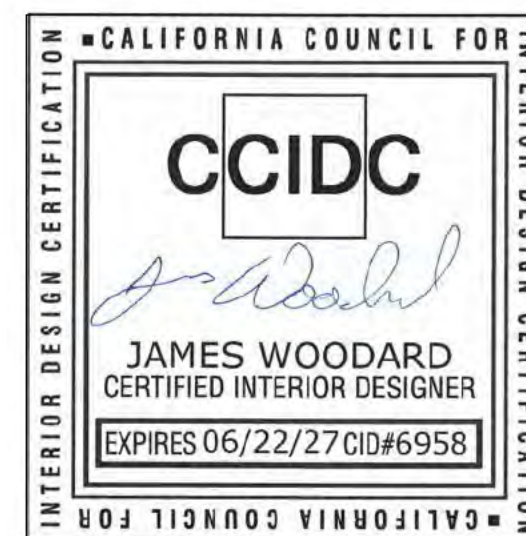
A2.1



ST1 SOUTH VIEW- SAME SIDE
A2.3 NTS



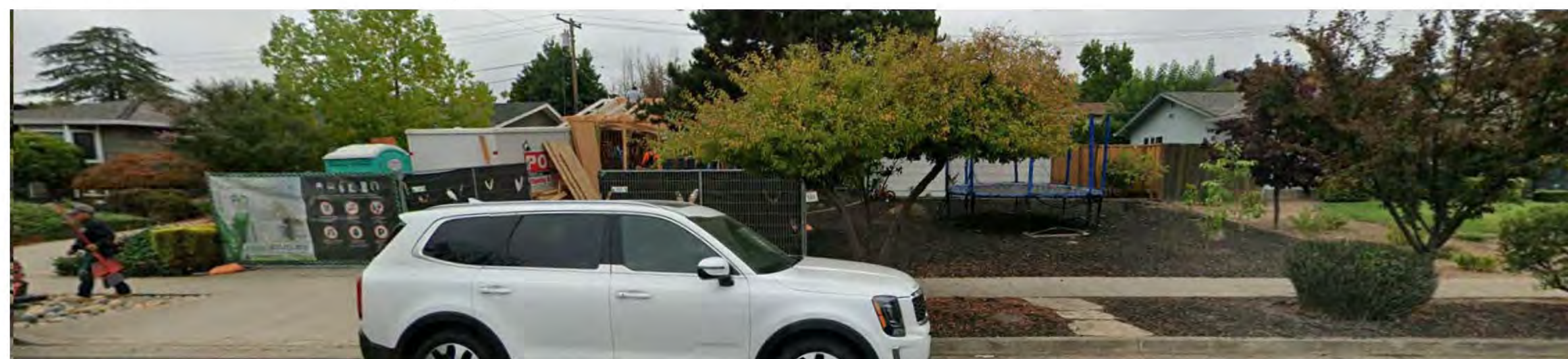
- EXISTING 2-STORY HOMES IN NEIGHBORHOOD:
- 211 Howes Dr
 - 219 Howes Dr
 - 259 Howes Ct
 - 255 Howes Ct
 - 253 Howes Ct
 - 123 Anne Way
 - 127 Anne Way
 - 135 Anne Way
 - 139 Anne Way
 - 144 Anne Way
 - 105 H debrand Dr
 - 293 Herschner Ct
 - 295 Herschner Ct
 - 287 Herschner Ct
 - 259 Herschner Ct



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REVISIONS			
NO	DATE	DESCRIPTION	BY



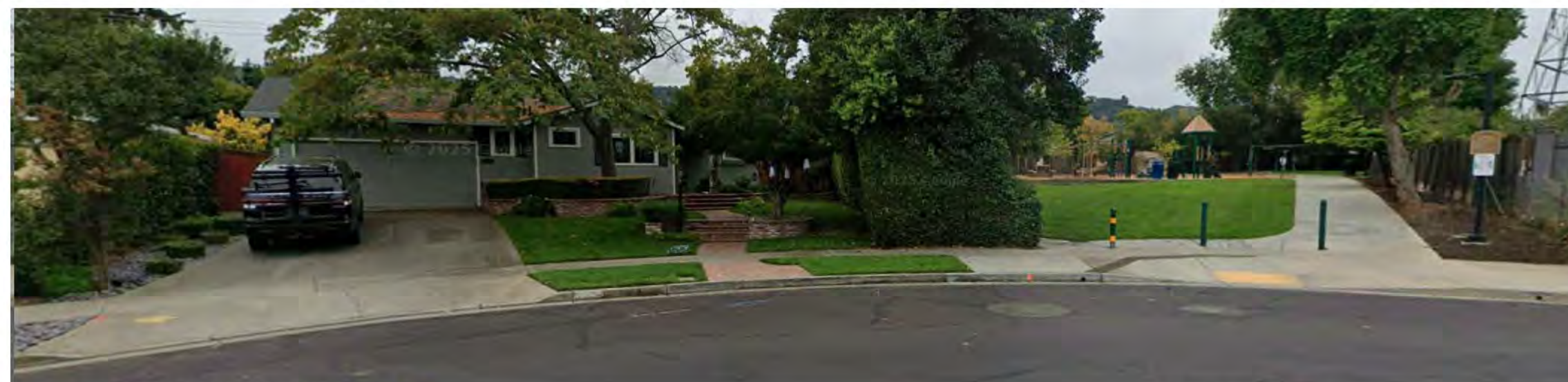
SOUTH VIEW -SAME SIDE -181 HOWES DR (adu & jadu permits 2024)



SOUTH VIEW -SAME SIDE -185 HOWES DR



SOUTH VIEW -SAME SIDE -189 HOWES DR



SOUTH VIEW -SAME SIDE -193 HOWES DR

HOWES PLAY LOT



HOWES PLAY LOT -AT THE BEND IN HOWES

NORTH(west) VIEW -201 HOWES DR



NORTH VIEW -202 HOWES DR



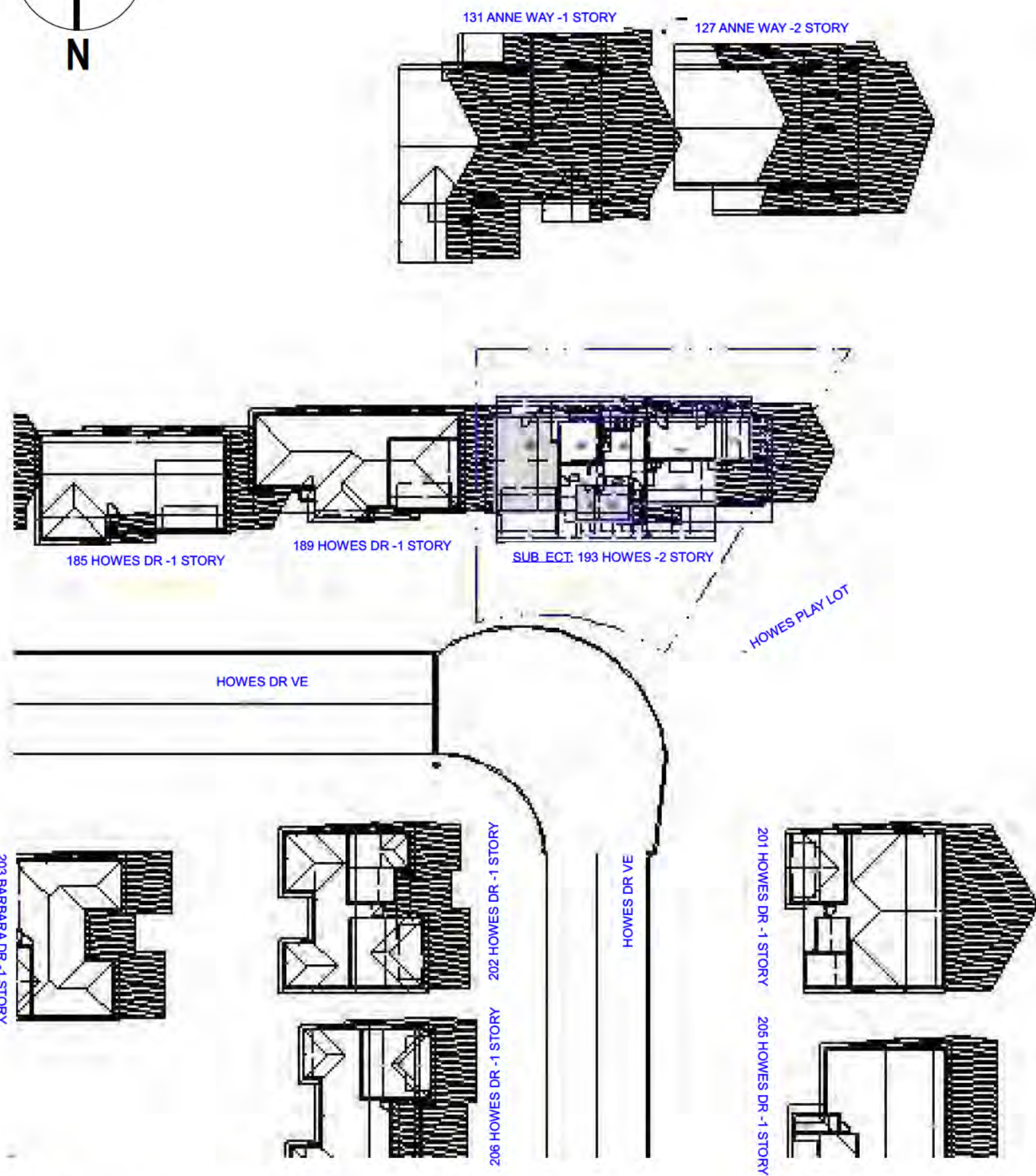
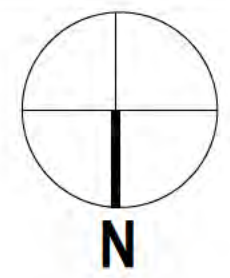
NORTH VIEW -203 BARBARA DR

PROJECT: MULT-LEVEL ADDITIONS

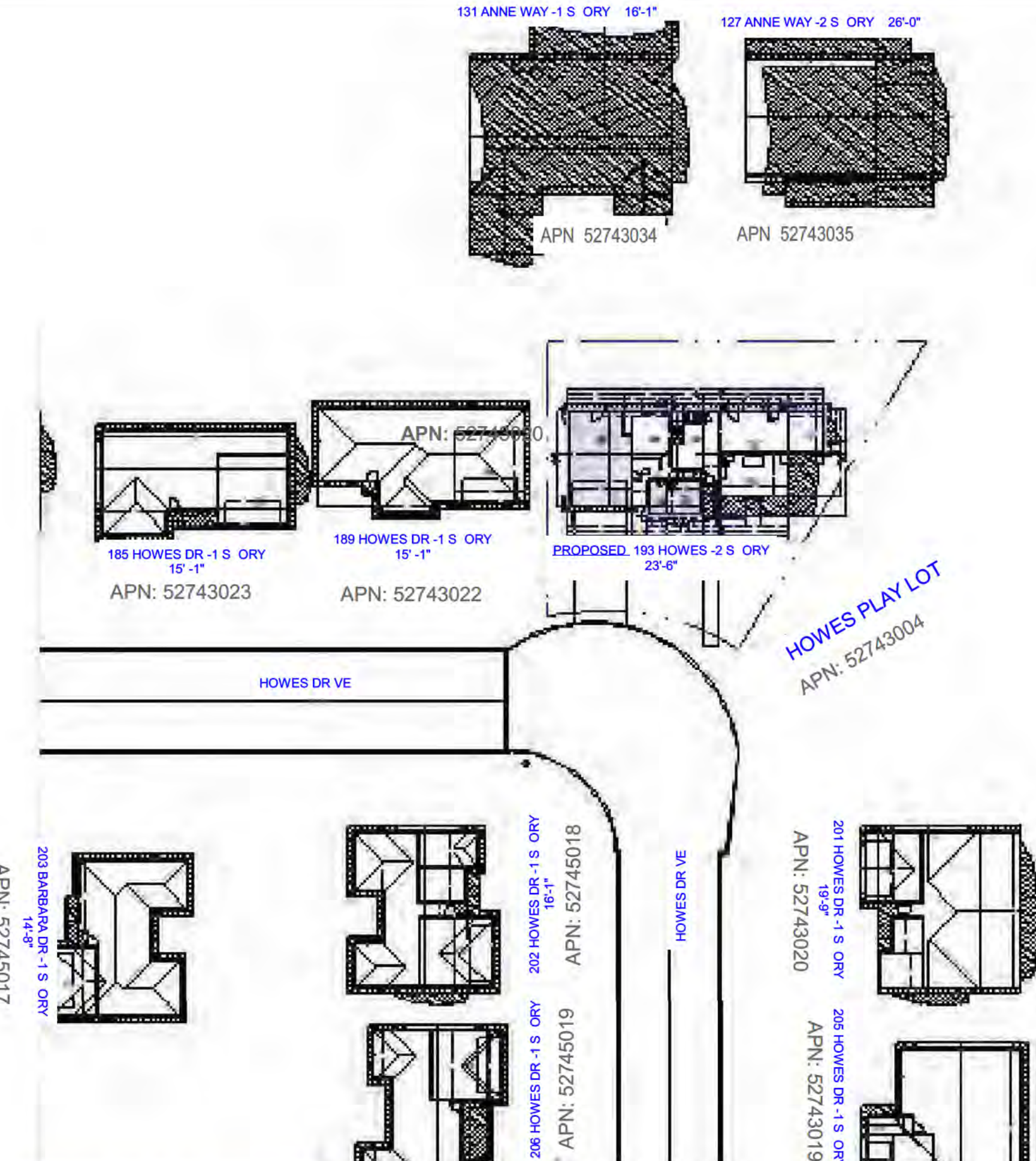
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
STREETSCAPE

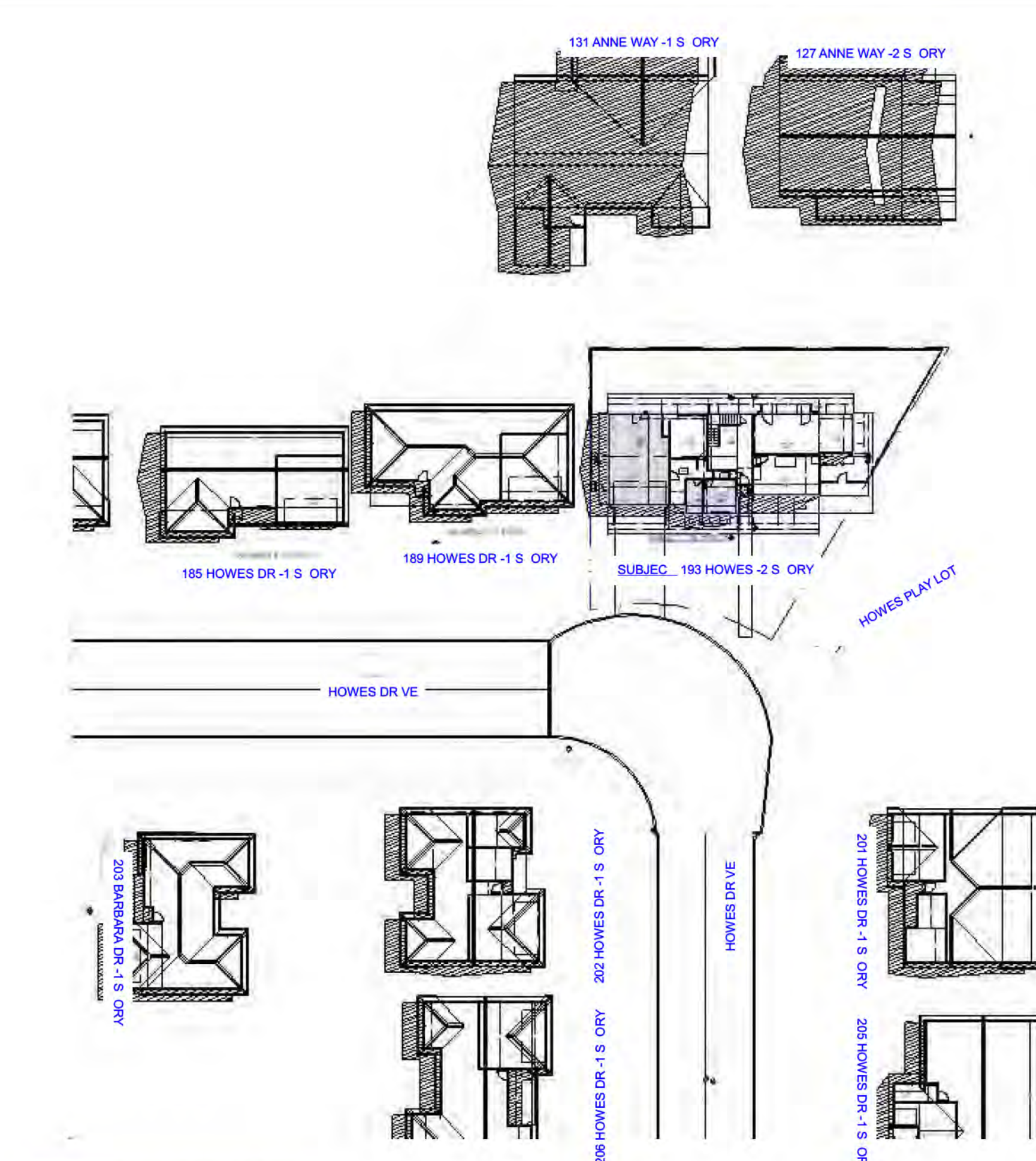
A2.3



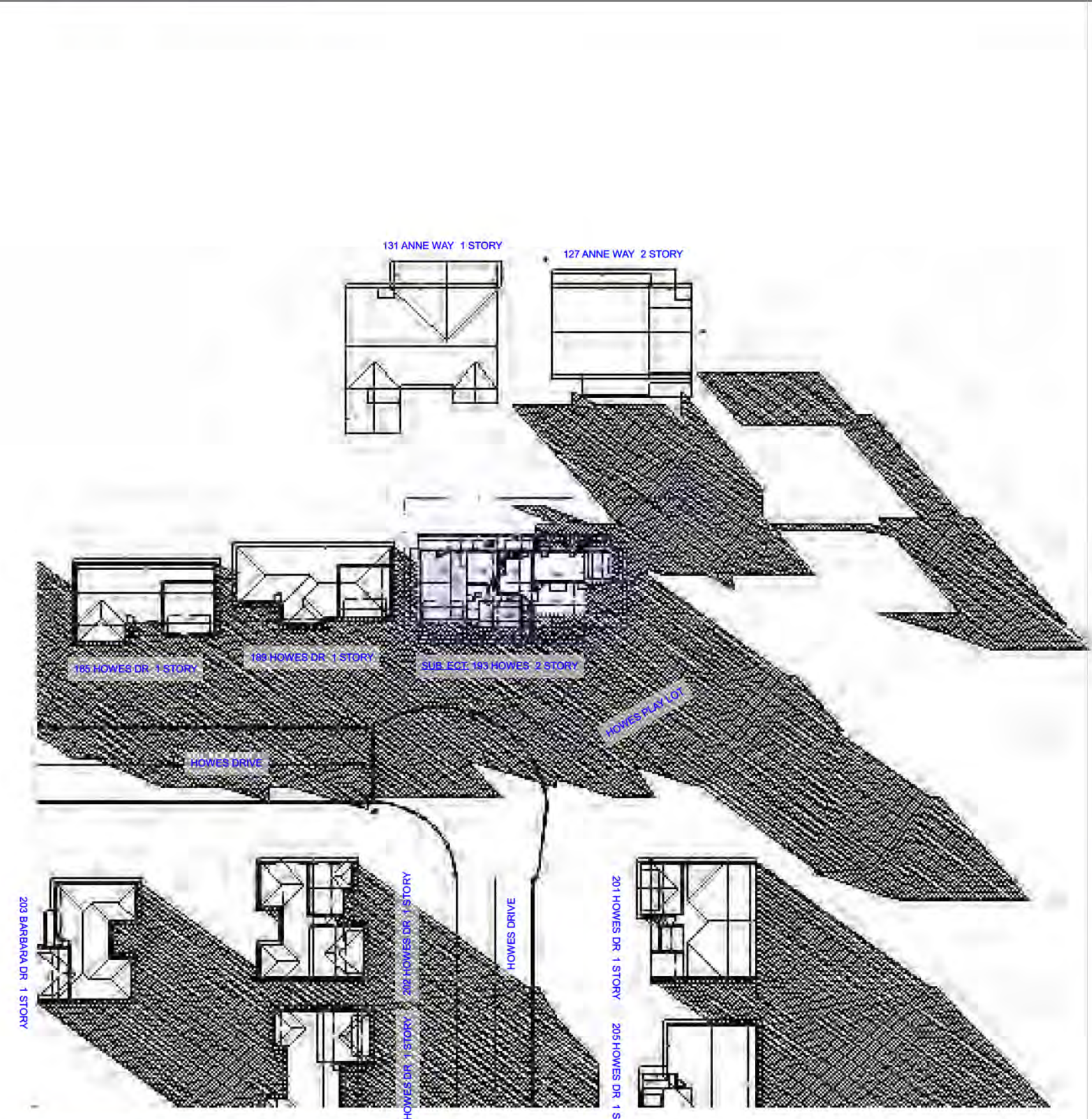
JUNE 21, 9AM



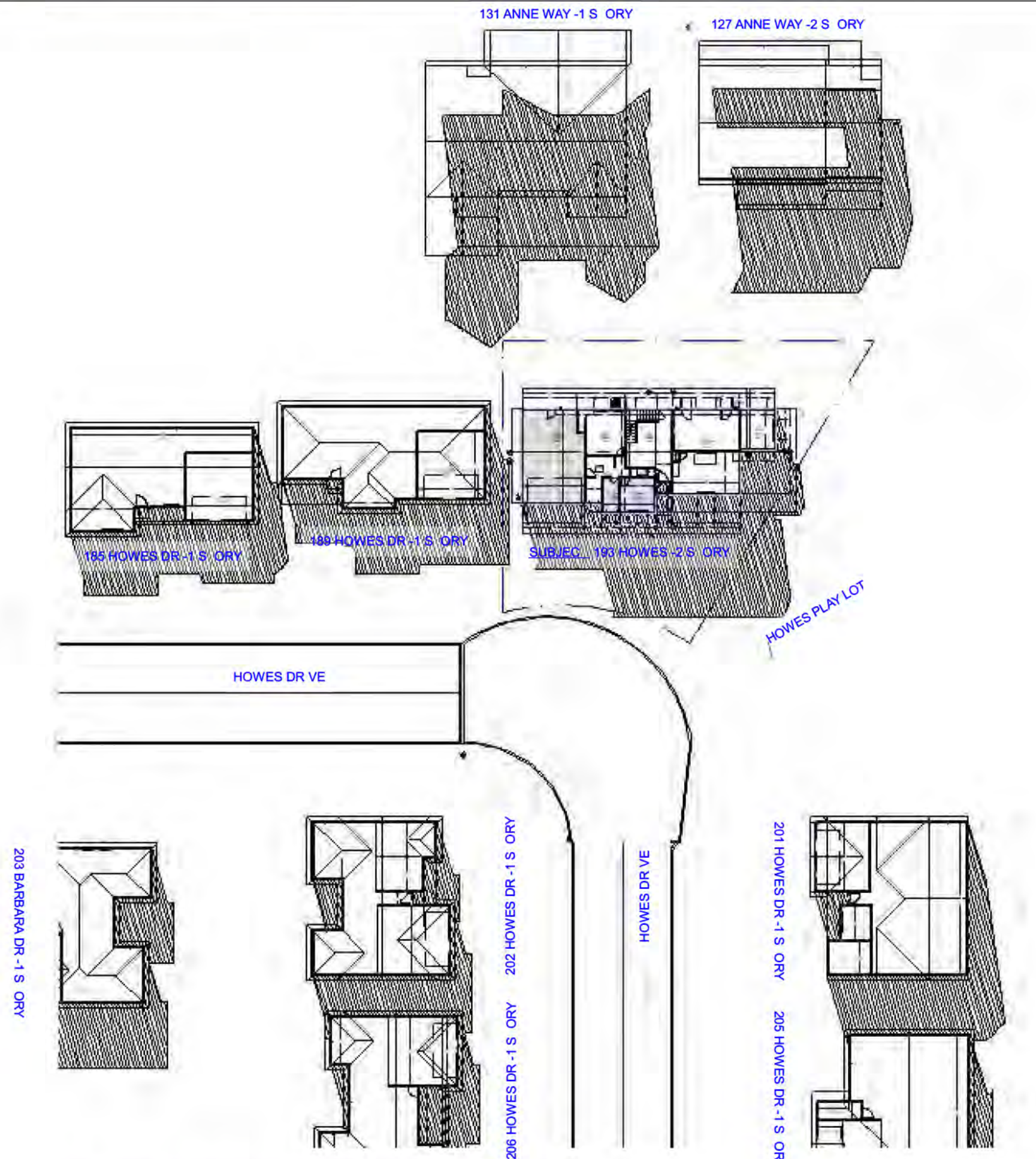
JUNE 21, NOON



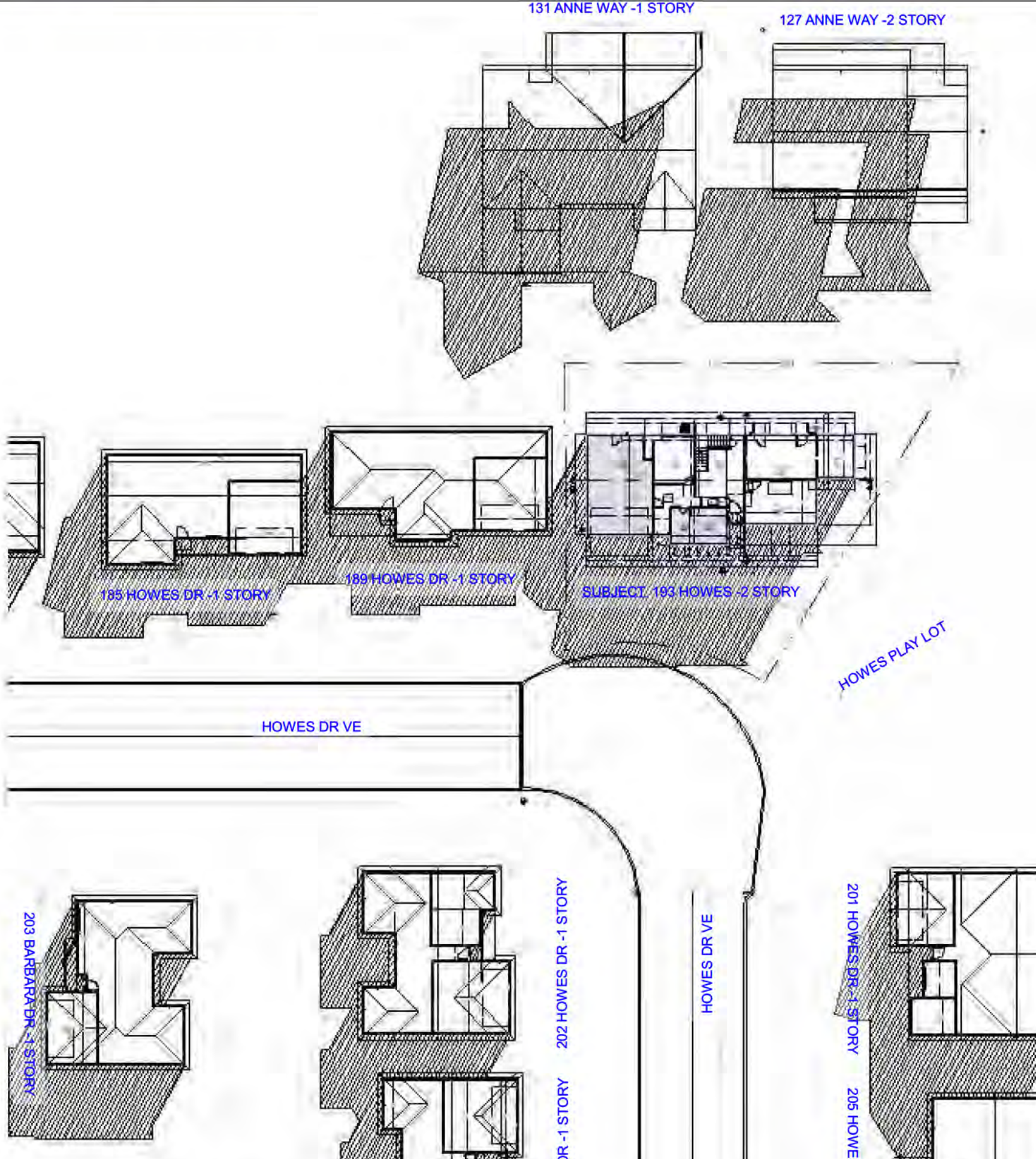
JUNE 21, 3PM



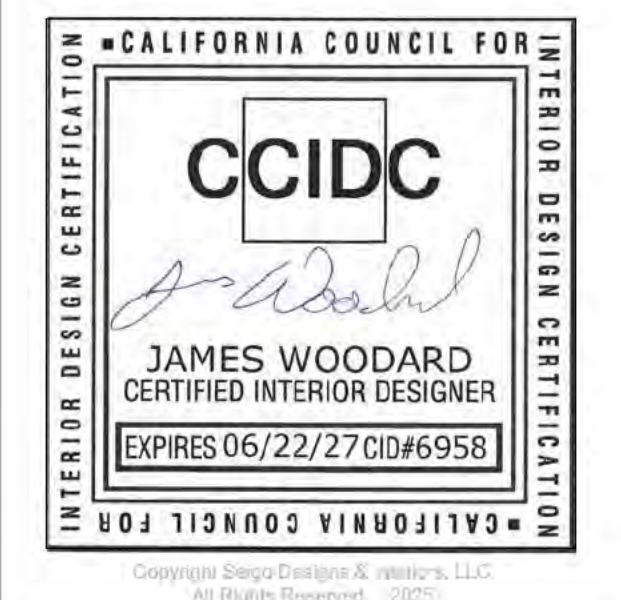
DECEMBER 21, 9AM



DECEMBER 21, NOON



DECEMBER 21, 3PM



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DATE: 5/7/2026
SCALE: AS NOTED
DRAWN BY: JMW / LCC

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT: MULTI-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
SHADOW STUDY

A2.4

- EXISTING NOTES:**
- SEE NOTES A/NOTES B FOR GENERAL NOTES & CODE COMPLIANCE
 - FIELD VERIFICATION OF EXISTING CONDITIONS & DIMENSIONS PER BUILDER PRIOR TO DEMO
 - HW & HVAC PER T24
 - NO WORK IN NOTED GRAY AREAS
 - ELECTRICAL PANEL 100A, SERVICE SHALL BE UPGRADED

KEY NOTES

DESIGN NOTES	
①	AREA OF 620 SF LEVEL 1 ADDITION
②	RELOCATE AND UPDATE 100A ELECTRICAL PANEL AND METER
③	GAS METER
④	EXPAND KITCHEN
⑤	DEMO BRCKFR
⑥	4X12 BEAM 97" AFF
⑦	ALTER LIVING TO FACILITATE STAIR ACCESS TO LEVEL 2
⑧	CONVERT BEDROOM TO OFFICE
⑨	REMOVE DOORS DOORWAY TO REMAIN
⑩	OPEN AND EXPAND LAUNDRY WITH STORAGE
⑪	DEMOLISH POWDER FOR CABINETS STORAGE
⑫	LIKE-FOR-LIKE REMODEL
⑬	NO WORK

TECHNICAL DEMOLITION CALCULATION:

(Per Town of Los Gatos Demolition Policy – Zoning Regulations 29.10.020)

Existing Structure | Preserved Wall Framing (LF) | Demolished Wall Framing (LF)

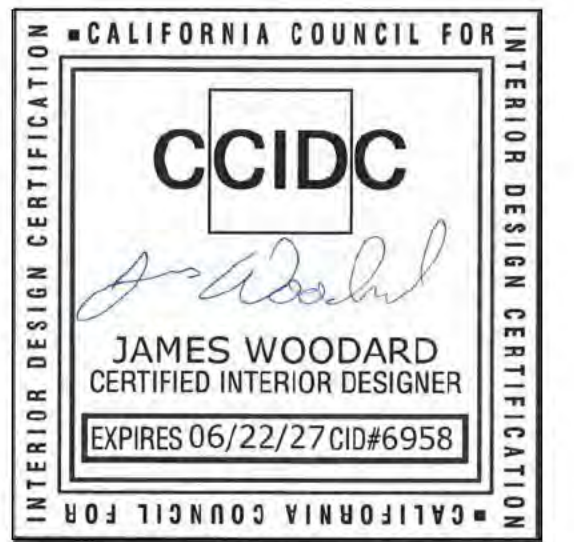
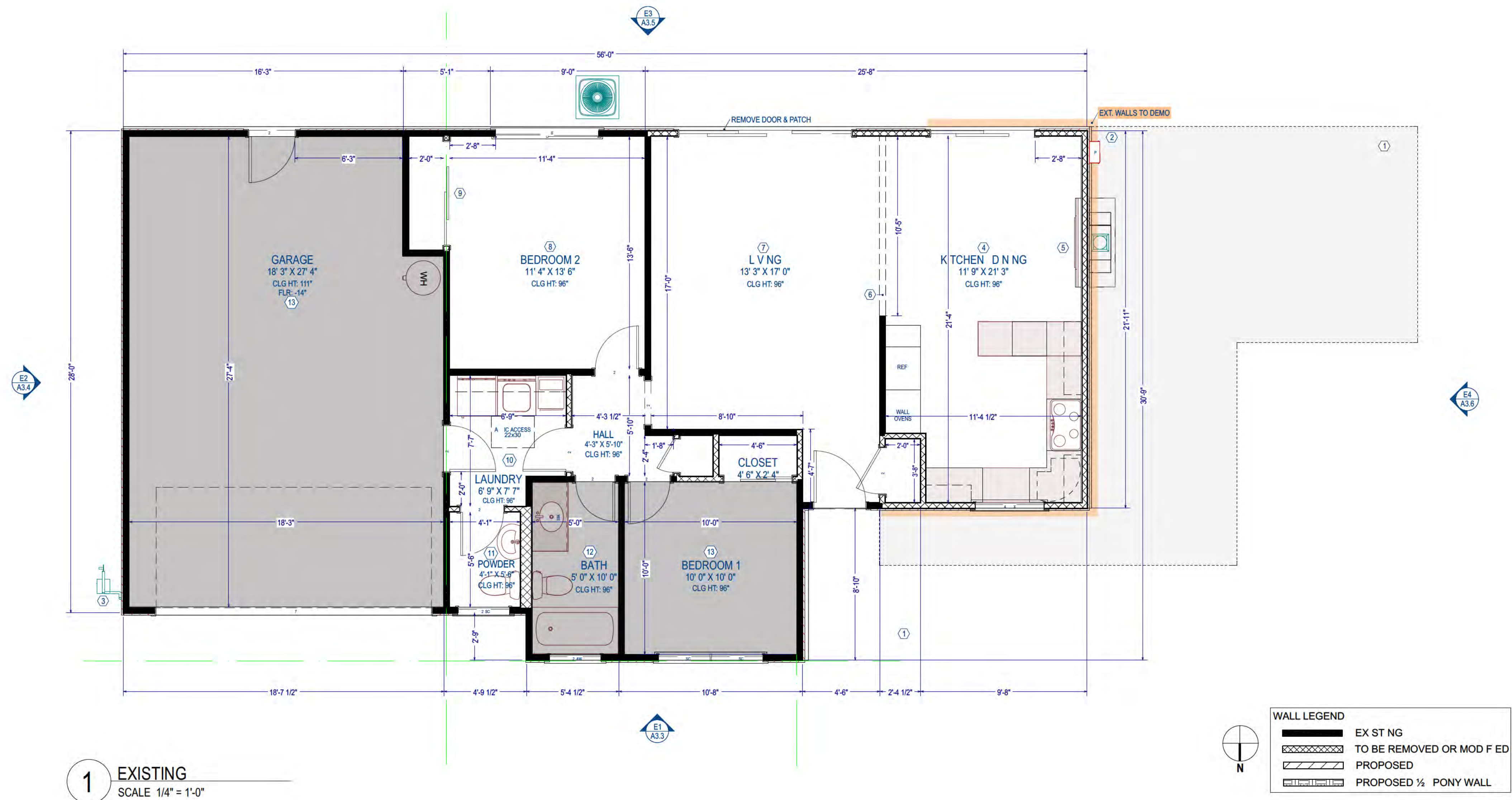
1st Floor: 174'-4" LF | 146'-4" LF | 28'-2" LF

2nd Floor: 0 LF | 0 LF | 0 LF

Total: 174'-4" LF | 146'-4" LF | 28'-2" LF

- Preserved = 146'-4" LF
 - Demolished = 28'-2" LF
- 140 LF > 35 LF → NO TECH DEMO**

* MEASUREMENTS ILLUSTRATED ON EXTERIOR ELEVATIONS



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SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT: MULTILEVEL ADDITIONS
GOEL RESIDENCE
 193 HOWES DR
 LOS GATOS, CA 95032

SHEET NAME:
 EXISTING FLOOR PLAN

A3.0

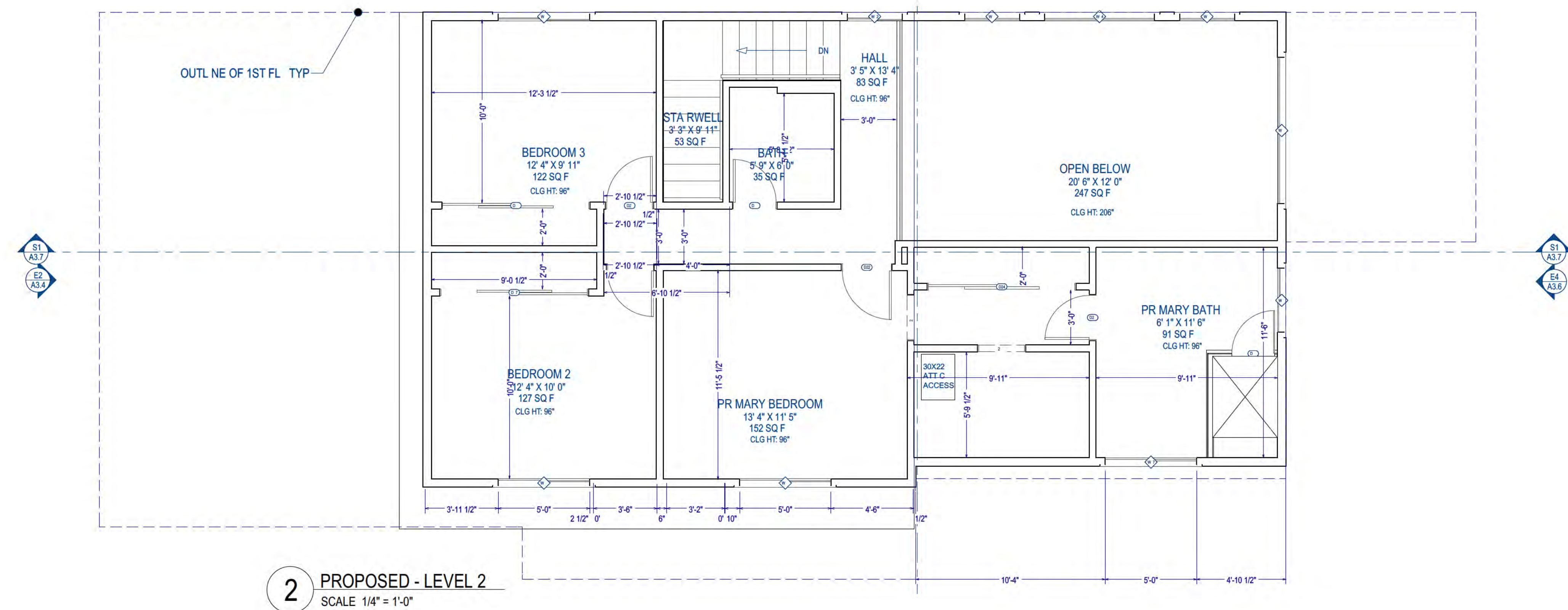
WALL LEGEND

	EXISTING
	TO BE REMOVED OR MODIFIED
	PROPOSED
	PROPOSED 1/2 PONY WALL

PROPOSED PLAN NOTES:

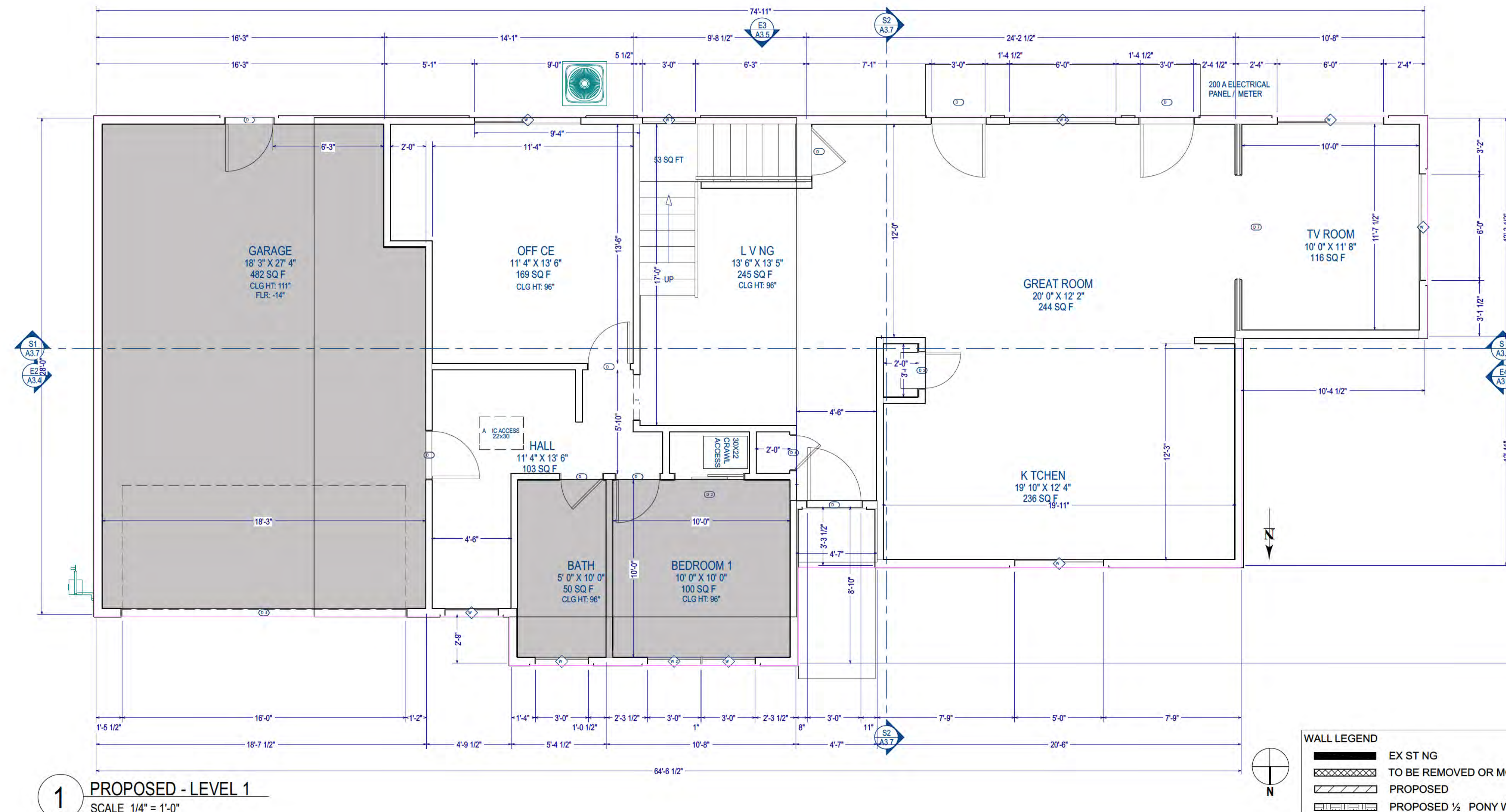
- SEE SHEETS NOTES A/NOTES B FOR CODE COMPLIANCE
- HW & HVAC TBD**
- EXISTING WINDOWS AND DOORS TO REMAIN UNLESS OTHERWISE NOTED; HEADER SIZES / OPENINGS ARE NOMINAL AND SHALL BE VERIFIED IN FIELD.
- SHOWER DRAIN TO BE CENTERED UON
- CABINETS IN PLAN AND SCHEDULE FOR REFERENCE ONLY. SEE CABINET MANUFACTURER / VENDOR SPECIFICATIONS. DETAILS PER DRAWINGS (NOT ATTACHED); CONTRACTOR TO PROVIDE BACKING IN WALLS WHERE REQUIRED TO SUPPORT CABINET
- ELECTRIC PANEL 100A
- STAIRWELLS ARE INCLUDED IN SQUARE FOOTAGE PROVIDED**

PLAN NOTES	
1	100A ELECTRICAL PANEL
2	DEMO NON-STRUCTURAL WALL
3	ELECTRIC METER
4	GAS METER
5	HEADER CHANGE
6	INDUCTION COOKTOP, HOOD VENT 100 CFM MIN
7	LAUNDRY, DEDICATED CIRCUIT, !!NOTE VENTING!!
8	NEW DRYER, WASHER, WATER HOOKUP
9	NO WORK OR CHANGES IN GRAY AREAS
10	PROPOSED 221 SF ADDITION
11	PROPOSED 85 SF COND. SPACE TO (E) DWELLING
12	RANGE, ??GAS LINE MOVED??
13	RELOCATE ENTRANCE
14	TANKLESS WATER HEATERS, ??GAS OR ELECTRIC?? TBD

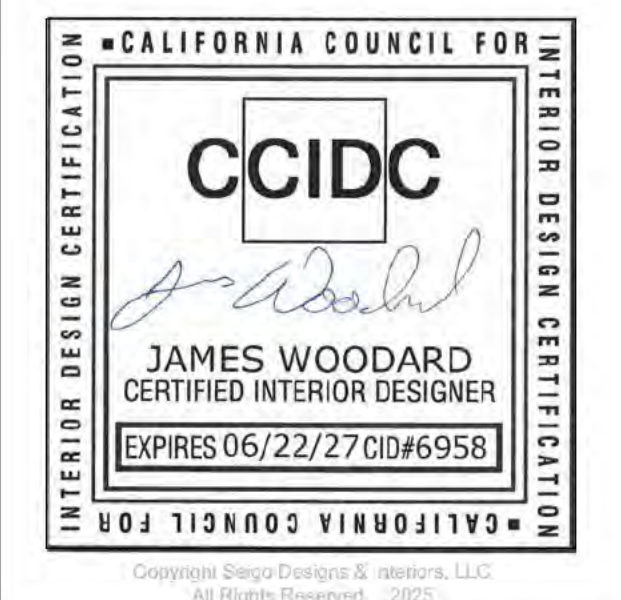


COMPLIANCE NOTES

- A** FIRE-RESISTANT CONSTRUCTION GARAGE / CARPORTS
 - SOLID WOOD / SOLID HONEYCOMB-CORE STEEL 1-3/8" OR THICKER DOOR OR 20-MINUTE FIRE-RATED DOOR BETWEEN THE GARAGE AND RESIDENCE. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING DEVICE - 2022 CRC R302.5.1
 - PARTITION 1/2" OR GREATER GYPSUM BOARD (OR EQ) APPLIED TO THE GARAGE SIDE - 2022 CRC R302.6 TLE 24 PART 2.5
 - CILING SEPARATION 5/8" TYPE X GYPSUM BOARD (OR EQ) - 2022 CRC R302.6
- B** EGRESS WITH NET OPENING 5.7 SQ FT HEIGHT OF 24" WIDTH 20" BOTTOM AFF 44" OR GREATER - CRC R310.2.1-3 2022
- C** BATH EXHAUST FANS
 - BATHROOM EXHAUST FANS SHALL PROVIDE A RATE OF 50CFM MINIMUM FOR INTERMITTENT OPERATION AND 20CFM MINIMUM FOR CONTINUOUS OPERATION - 2022 CMC 405.3.1
 - ALL BATH FANS THAT SERVE A TUB OR SHOWER AREA SHALL BE ENERGY STAR COMPLIANT WITH HUMIDITY CONTROLS AND TERMINATING TO THE EXTERIOR OF THE BUILDING. EXHAUST FANS SHALL BE ENERGY STAR RATED DEVICES WITH 50-80 HUMIDITY CONTROL - 2022 CGBSC 4.506.1
- D** SHOWER CONTROL VALVES TO HAVE AN ANTI-SCALD CAPACITY WITH A HIGH LIMIT STOP OF 120° - 2022 CPC 408.3.2
- E** RANGE HOOD SHALL HAVE A CAPTURE EFFICIENCY (CE) RATING OF 85% OR A MINIMUM FLOW RATE OF 280 CFM CENC 150.0(1)G
- F** 20 AMP DEDICATED CIRCUIT TO BE INSTALLED FOR 240-VOLT CLOTHES DRYER - CEC 210.11(C)(2) 210.52(F) 2022 TLE 24.105.0(V)
- G** EXTERIOR RECEPTACLE OUTLET TO BE READILY ACCESSIBLE FROM GRADE AND LESS THAN 6.5 FEET ABOVE GRADE AT THE FRONT AND BACK OF THE DWELLING - CEC 210.52(E)(1)
- H** EXTERIOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH THE FOLLOWING:
 - A PHOTOCELL OR OTHER AUTOMATIC SWITCHING DEVICE
 - A PHOTOCELL OR OTHER AUTOMATIC SWITCHING DEVICE
 - AN ASTRONOMICAL TIME CLOCK CONTROL - CENC 150.0(K)3



FLOOR AREA BREAKDOWN (LGMC §29.10.020)			
	Existing	Proposed	Total
1st Floor (Living)	1,088 s.f.	364 s.f.	1,452 s.f.
2nd Floor (Living)	N/A	823 s.f.	823 s.f.
Stairwell (counted on 2nd floor only)	N/A	53 s.f.	53 s.f.
TOTAL HOUSE (FAR)	1,088 s.f.	1,240 s.f.	2,328 s.f.
(MAX ALLOWED HOUSE)			2,328 s.f.



SEIGO DESIGNS & INTERIORS
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DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

PROJECT: MULTILEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

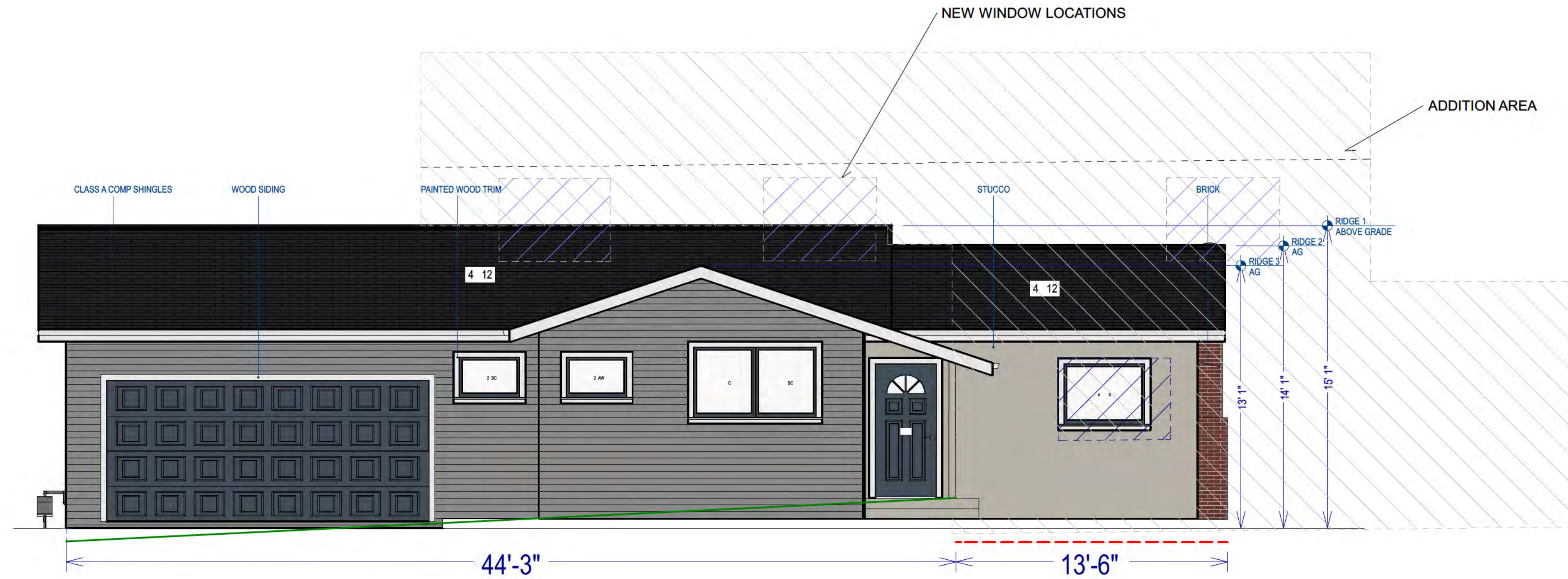
SHEET NAME:
PROPOSED FLOOR PLAN

A3.1

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO
 PRESERVE- LINEAR FT ———
 DEMO- LINEAR FT - - - - -



E1 FRONT-NORTH
 A3.3 SCALE 1/4" = 1'-0"

PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT - STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

WINDOWS # DOORS

- NEW WINDOWS TO MATCH THE EXISTING ONES IN STYLE AND MATERIAL WITH VINYL
- ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD BE UL LISTED SO THAT NO BULBS ARE VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES
- NO SKYLIGHTS ARE PROPOSED



E5 FRONT-NORTH
 A3.3 SCALE 1/4" = 1'-0"



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SCALE: AS NOTED

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REVISIONS			
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PROJECT: MULTILEVEL ADDITIONS

GOEL RESIDENCE
 193 HOWES DR
 LOS GATOS, CA 95032

SHEET NAME:
 EXTERIOR ELEVATIONS

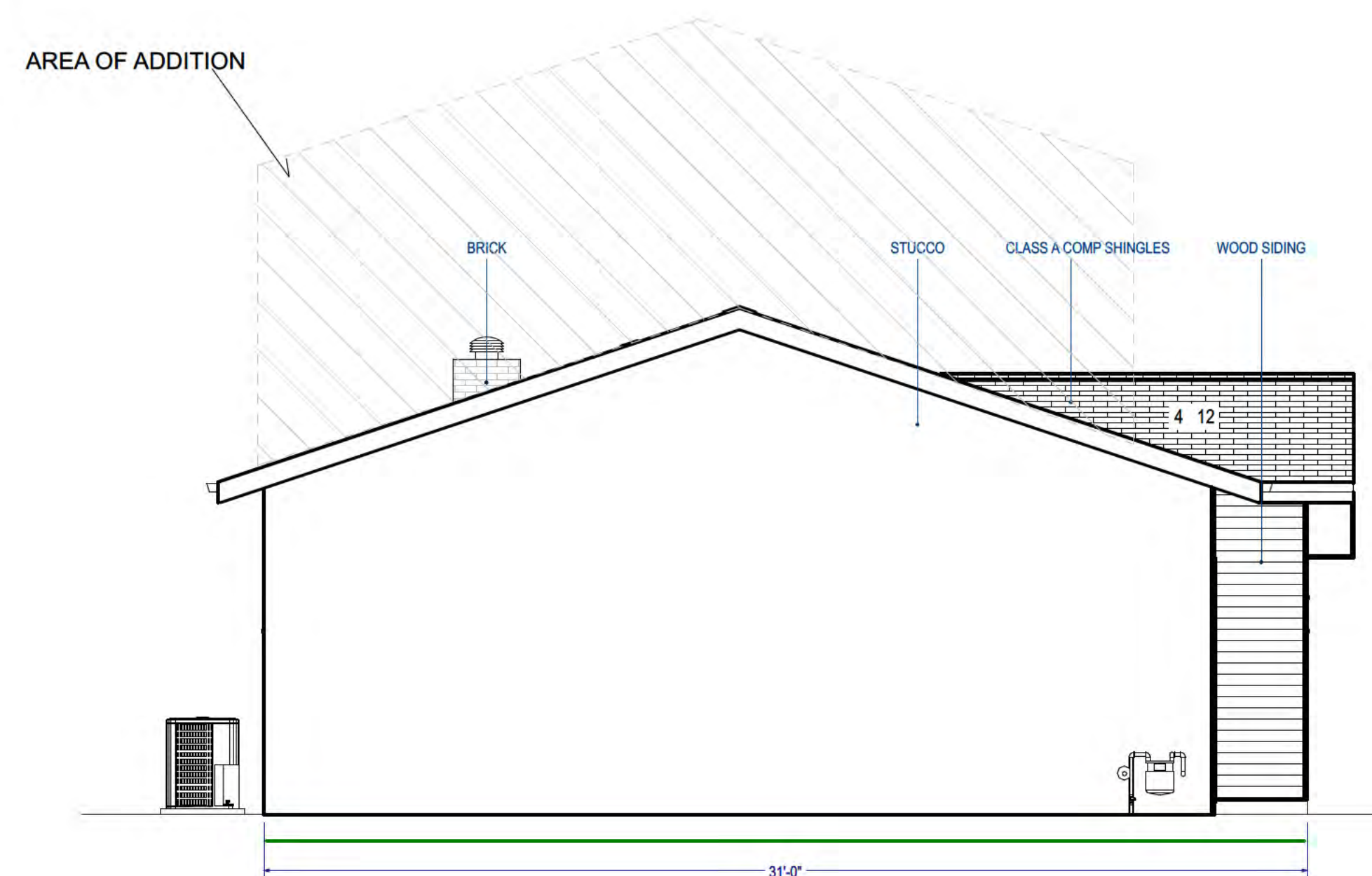
A3.3

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO

- PRESERVE- LINEAR FT ———
- DEMO- LINEAR FT - - - - -

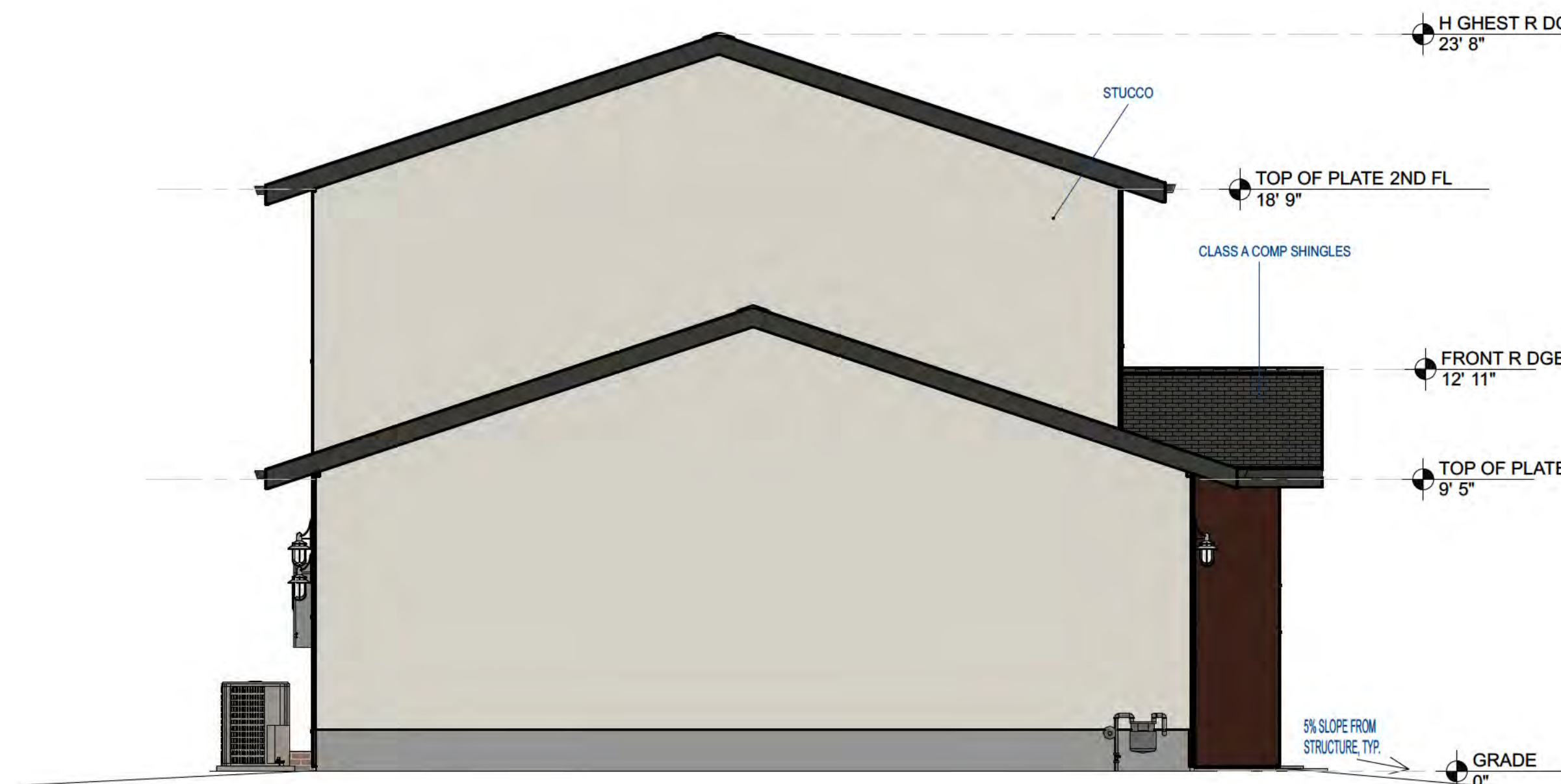


E2 LEFT -EAST
A3.4 SCALE 1/4" = 1'-0"

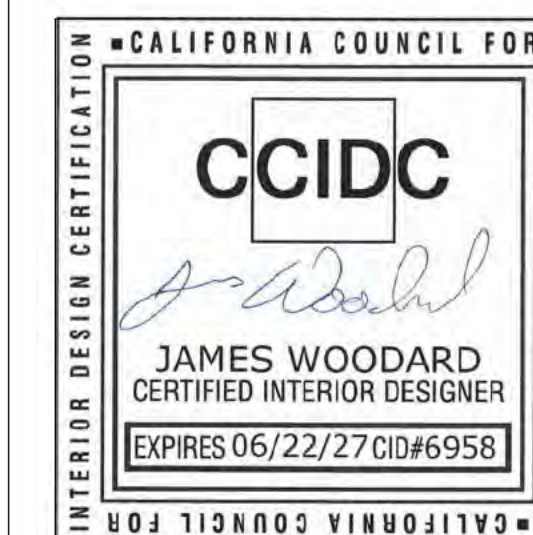
PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT - STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

WINDOWS # DOORS



E6 LEFT -EAST
A3.4 SCALE 1/4" = 1'-0"



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REVISIONS			
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PROJECT: MULTILEVEL ADDITIONS

GOEL RESIDENCE
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LOS GATOS, CA 95032

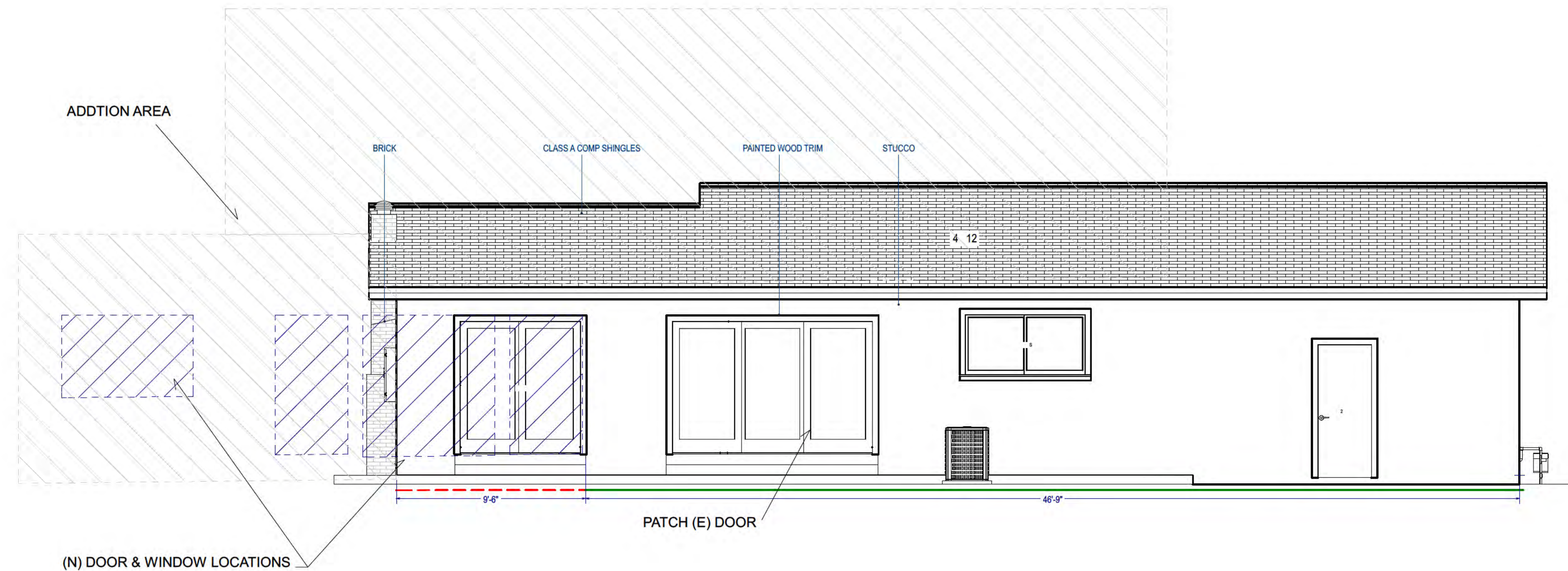
SHEET NAME:
EXTERIOR ELEVATIONS

A3.4

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO
 PRESERVE- LINEAR FT ———
 DEMO- LINEAR FT - - - - -



E3 REAR-SOUTH
 A3.5 SCALE 1/4" = 1'-0"

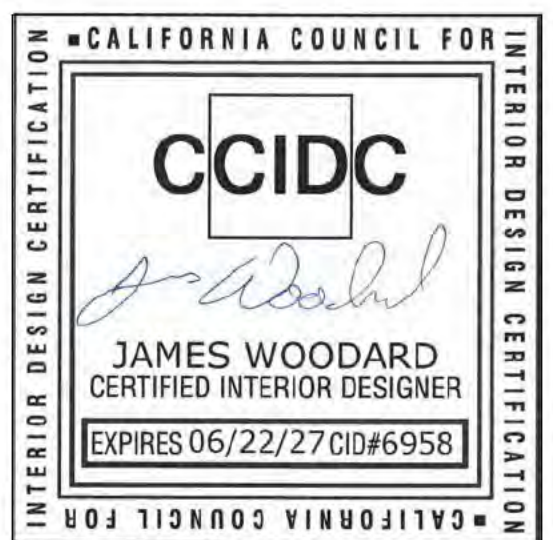
PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT - STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

◇ # WINDOWS ○ # DOORS



E7 REAR-SOUTH
 A3.5 SCALE 1/4" = 1'-0"



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SCALE: AS NOTED

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REVISIONS			
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PROJECT: MULT-LEVEL ADDITIONS

GOEL RESIDENCE
 193 HOWES DR
 LOS GATOS, CA 95032

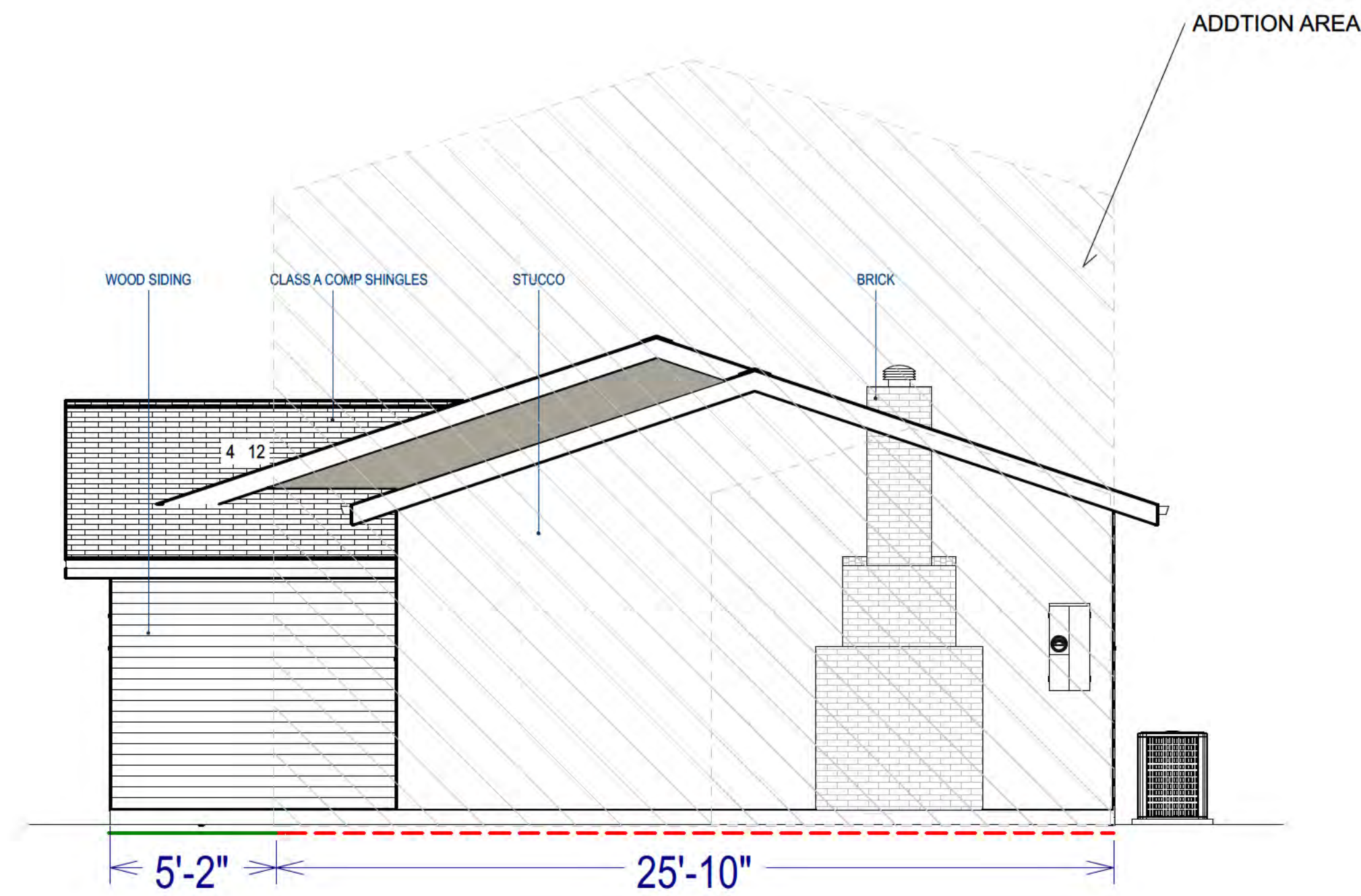
SHEET NAME:
 EXTERIOR ELEVATIONS

A3.5

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO	
PRESERVE- LINEAR FT	—————
DEMO- LINEAR FT	- - - - -



E4 RIGHT - WEST
A3.6 SCALE 1/4" = 1'-0"

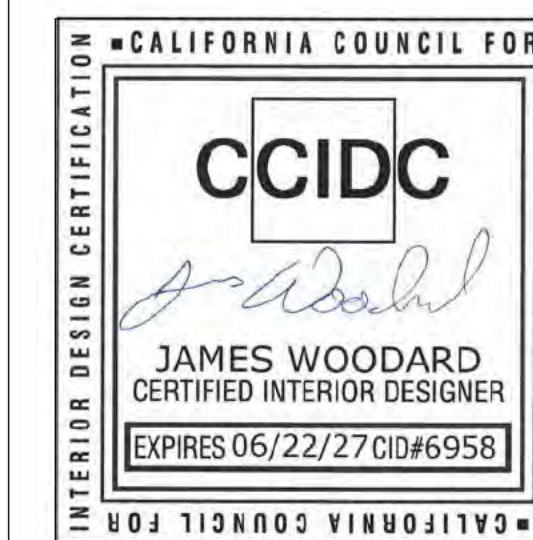
PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT - STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

◇ # WINDOWS ○ # DOORS



E8 RIGHT - WEST
A3.6 SCALE 1/4" = 1'-0"



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GOEL RESIDENCE
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LOS GATOS, CA 95032

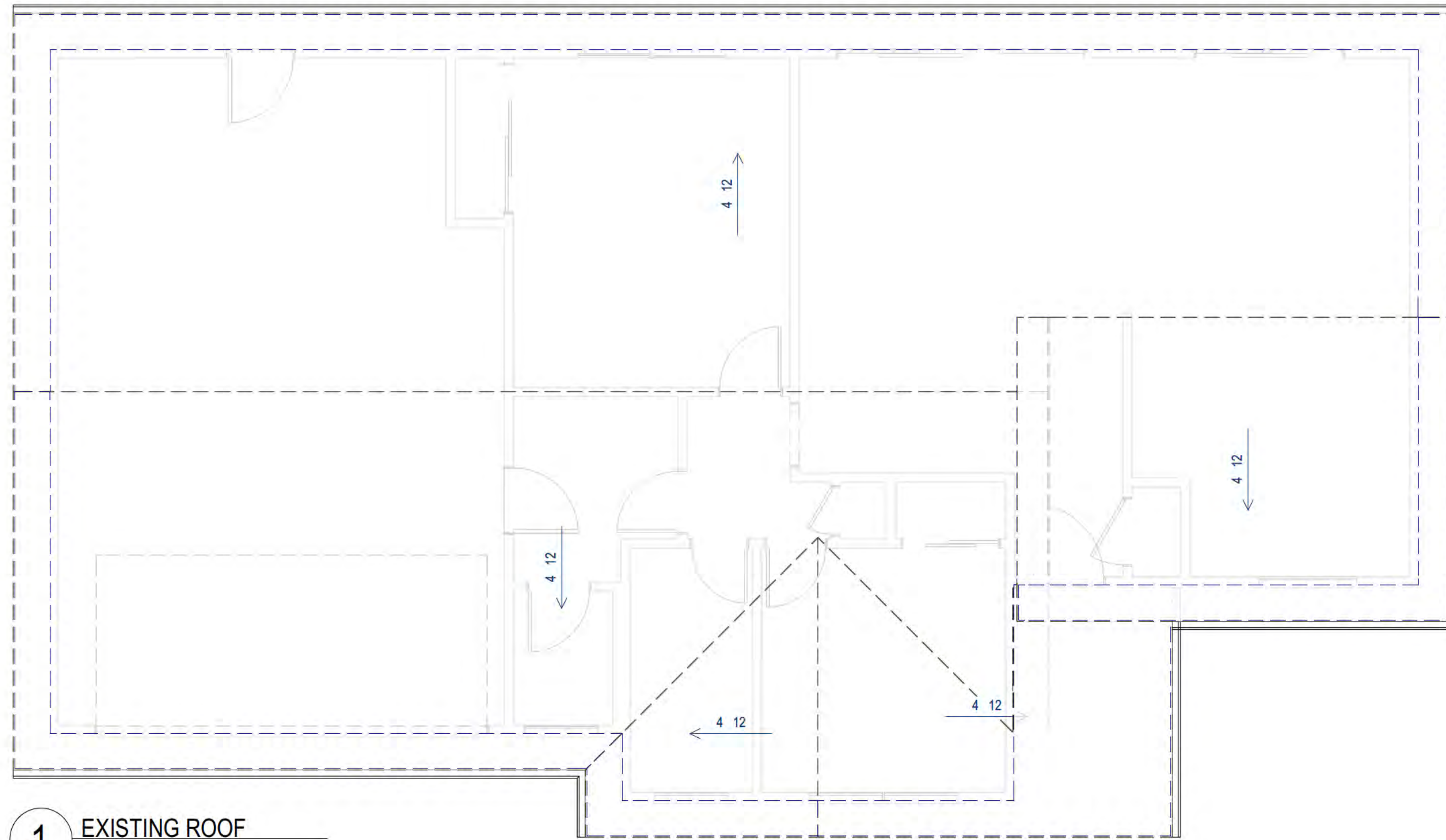
SHEET NAME:
EXTERIOR ELEVATIONS

A3.6

ROOF PLAN

NOTES:

- MATCH EXISTING ROOF PITCH, EAVE DEPTH
- VERIFY IN FIELD ROOF PITCH, EAVE DEPTH. ROOF PITCH AND EAVES SHALL EQUAL EXISTING.
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108
- NO SKYLIGHTS PROPOSED



1 EXISTING ROOF
SCALE 1/4" = 1'-0"

VENTILATION

ATTIC VENTILATION

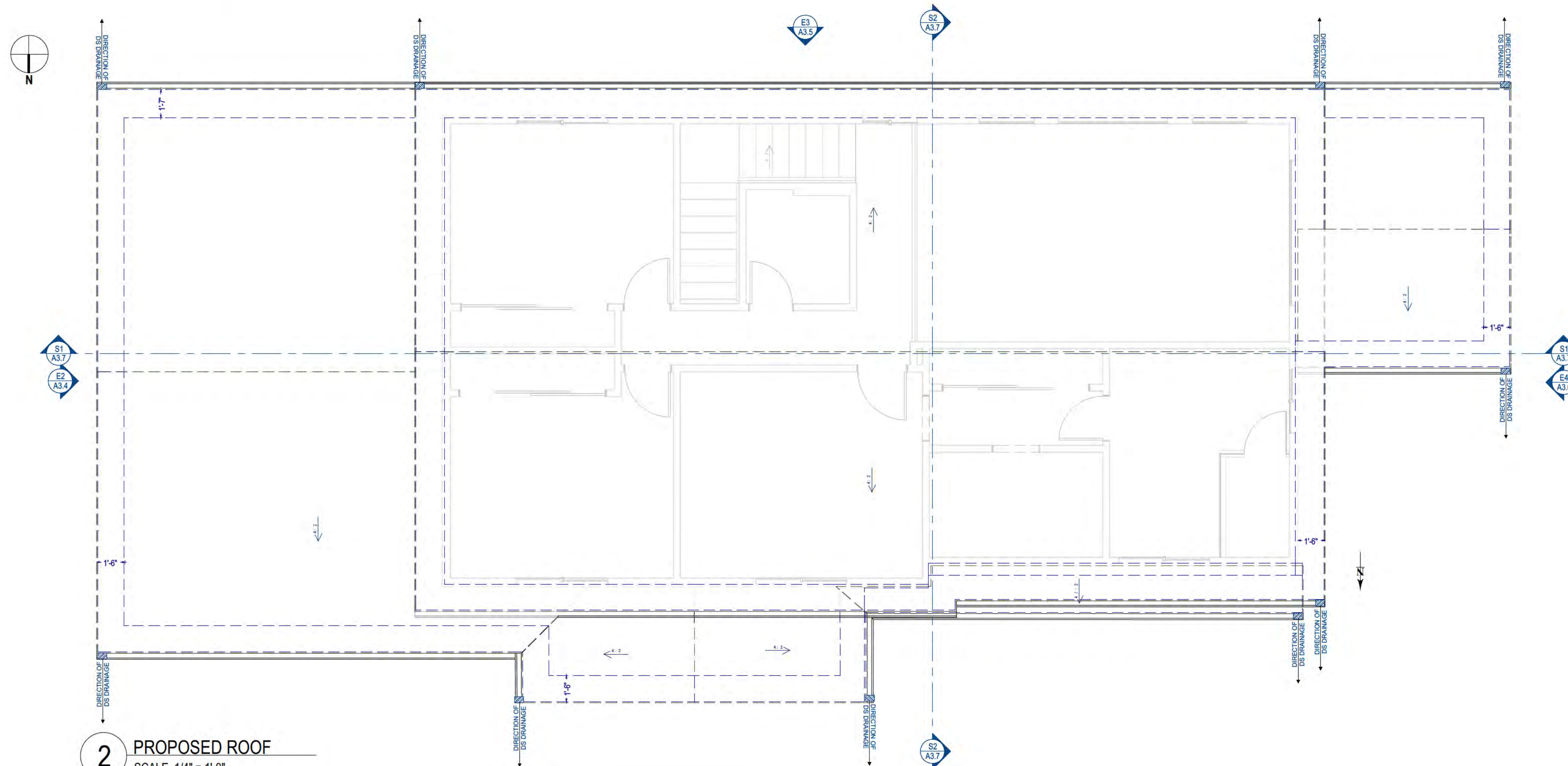
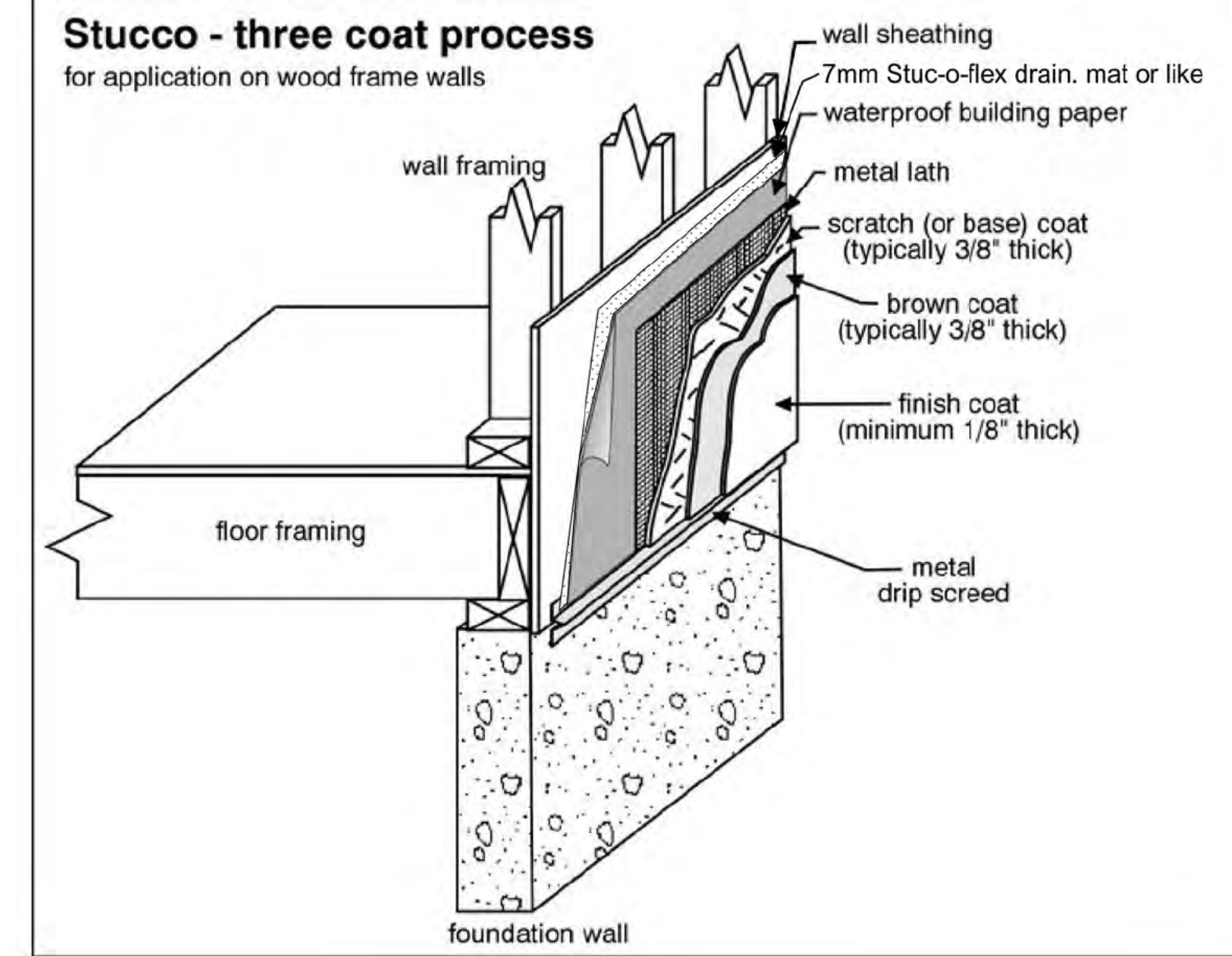
ROOF VENT = 12.5 SQ. N. NFA / LF
OWENS CORNING VENTURE RIGID ROLL RIDGE VENT OR EQUAL
EAVE VENT = 10 SQ. N. NFA / LF
OWENS CORNING VENTURE INFLOW INTAKE VENT OR EQUAL
[NFA = FREE AREA]

ATTIC AREA = 1061 SF
D V DED BY 150 SF REQU RED VENT AREA = 7.10 SF
NTAKE FREE AREA NEEDED 3.55 SF / 511 SQ. N
EX AUST FREE AREA NEEDED 3.55 SF / 511 SQ. N
PROV DE 41 LF R DGE VENT = 3.56 SF
PROV DE 52 LF EAVE VENT = 3.61 SF
VENT LAT ON PROV DED = 7.17 SF

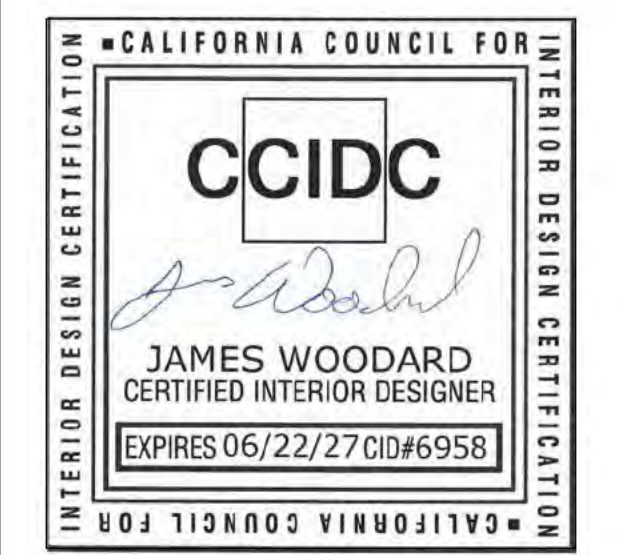
FOUNDATION VENTILATION
UNDER FLOOR AREA = 484 SF
D V DED BY 150 SF REQU RED AREA OF 3.23 SF / 465 SQ. N
FOUNDAT ON VENT 8"x16" 128 SQ. N / VENT (0.89 SF / VENT)
S LVER METALS V26F OR EQUAL
PROV DE 4 V26F = 3.56 SF

Stucco - three coat process

for application on wood frame walls



2 PROPOSED ROOF
SCALE 1/4" = 1'-0"



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PLEASANTON, CA 94566
(925)399-1487

DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

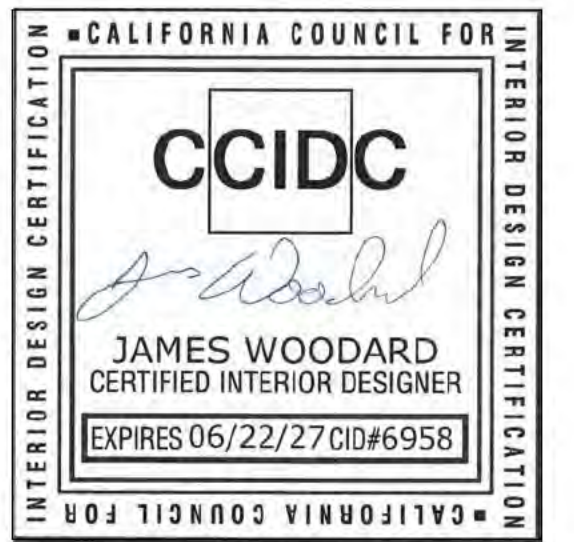
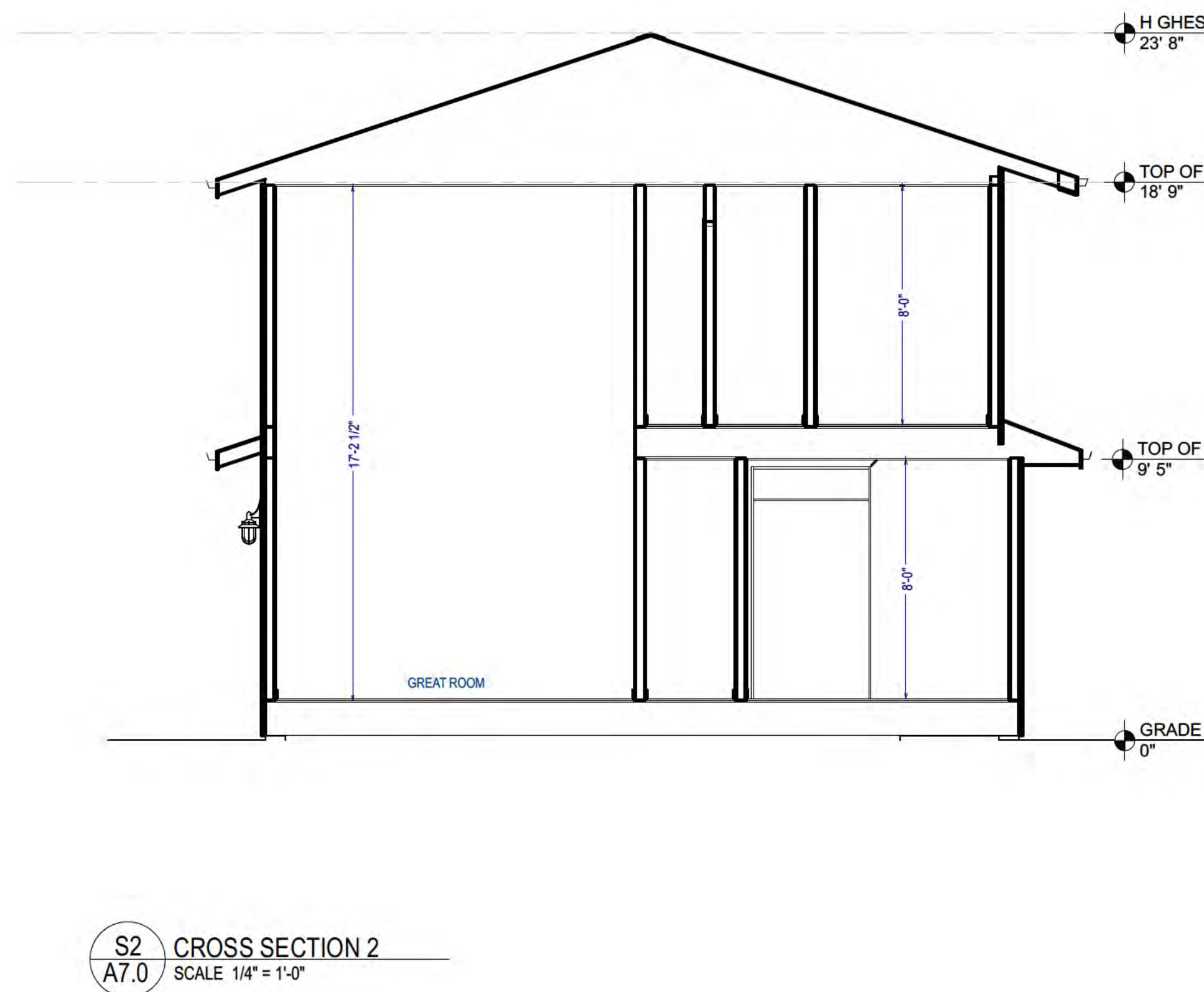
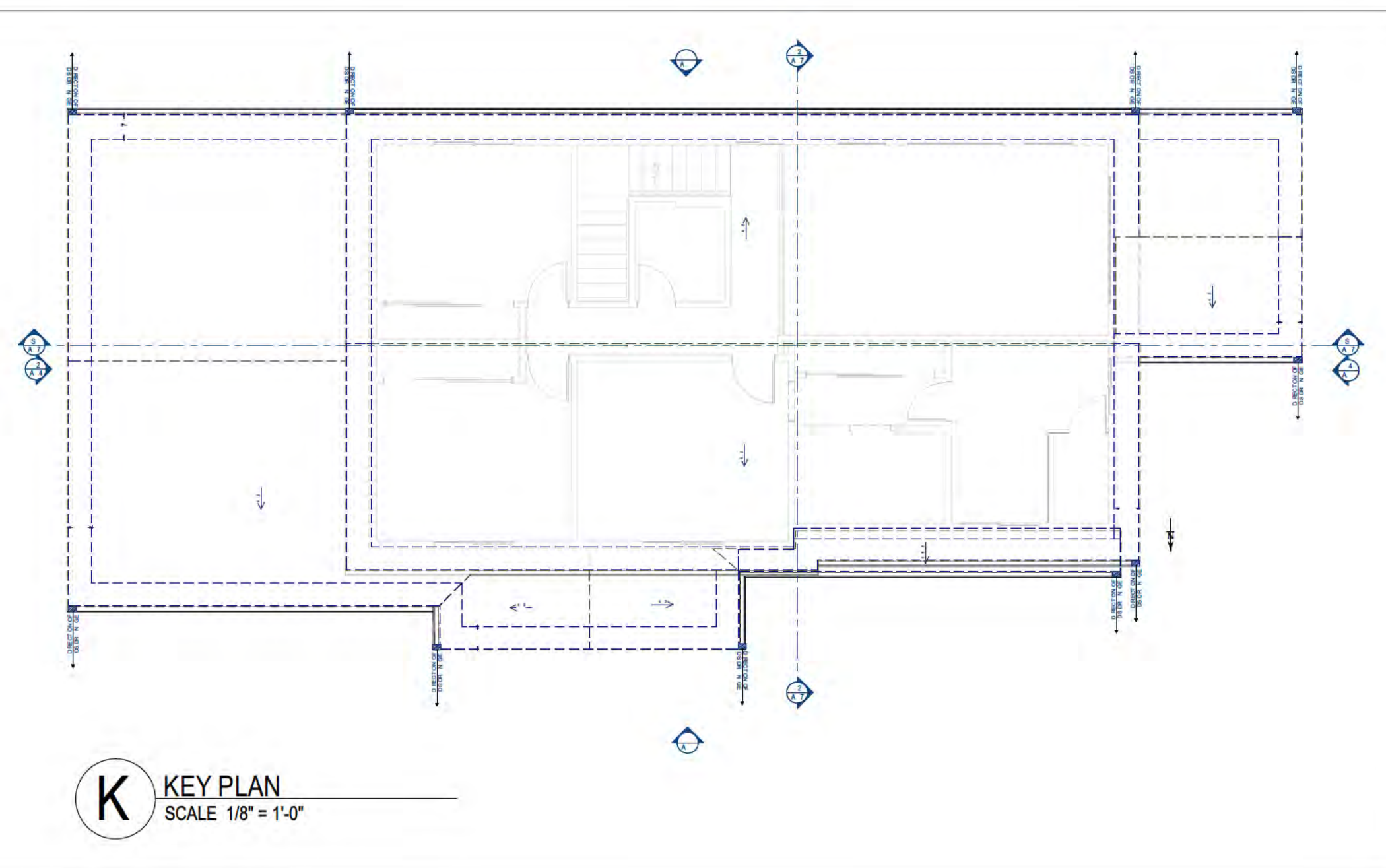
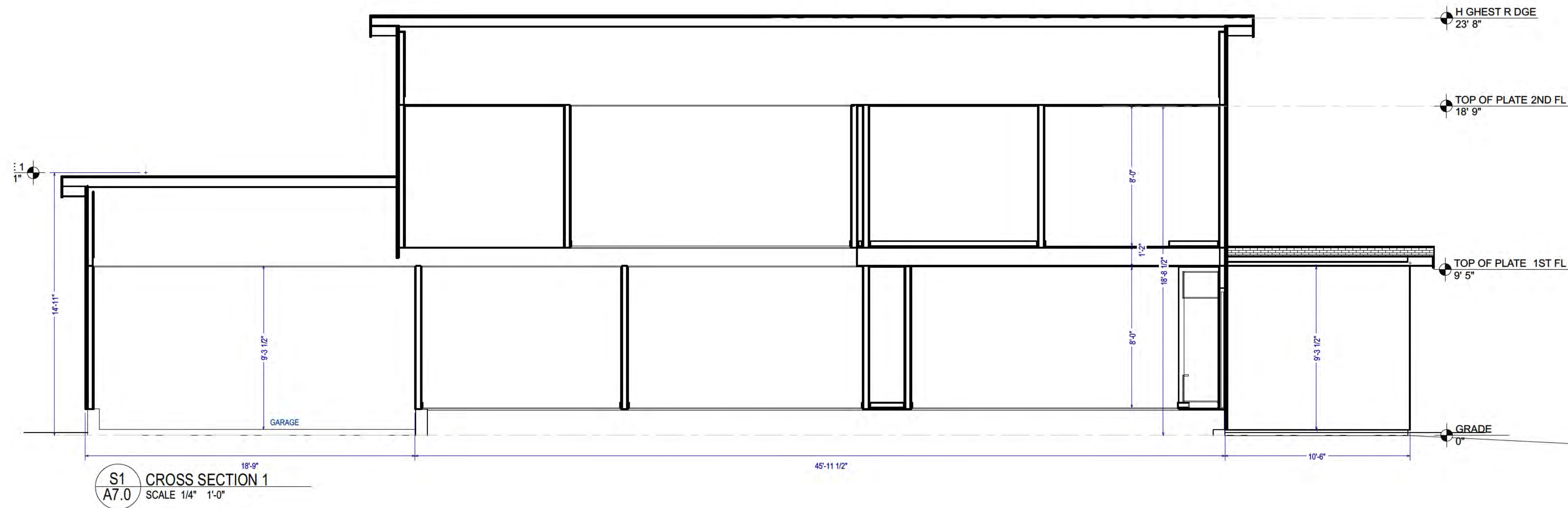
PROJECT: MULT-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
ROOF PLAN

A3.7

CROSS SECTIONS

- NOTES:**
- R-1bd INSULATION IN NEW EXTERIOR WALLS
 - R-TBD INSULATION IN ATTIC



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
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PROJECT: MULTILEVEL ADDITIONS

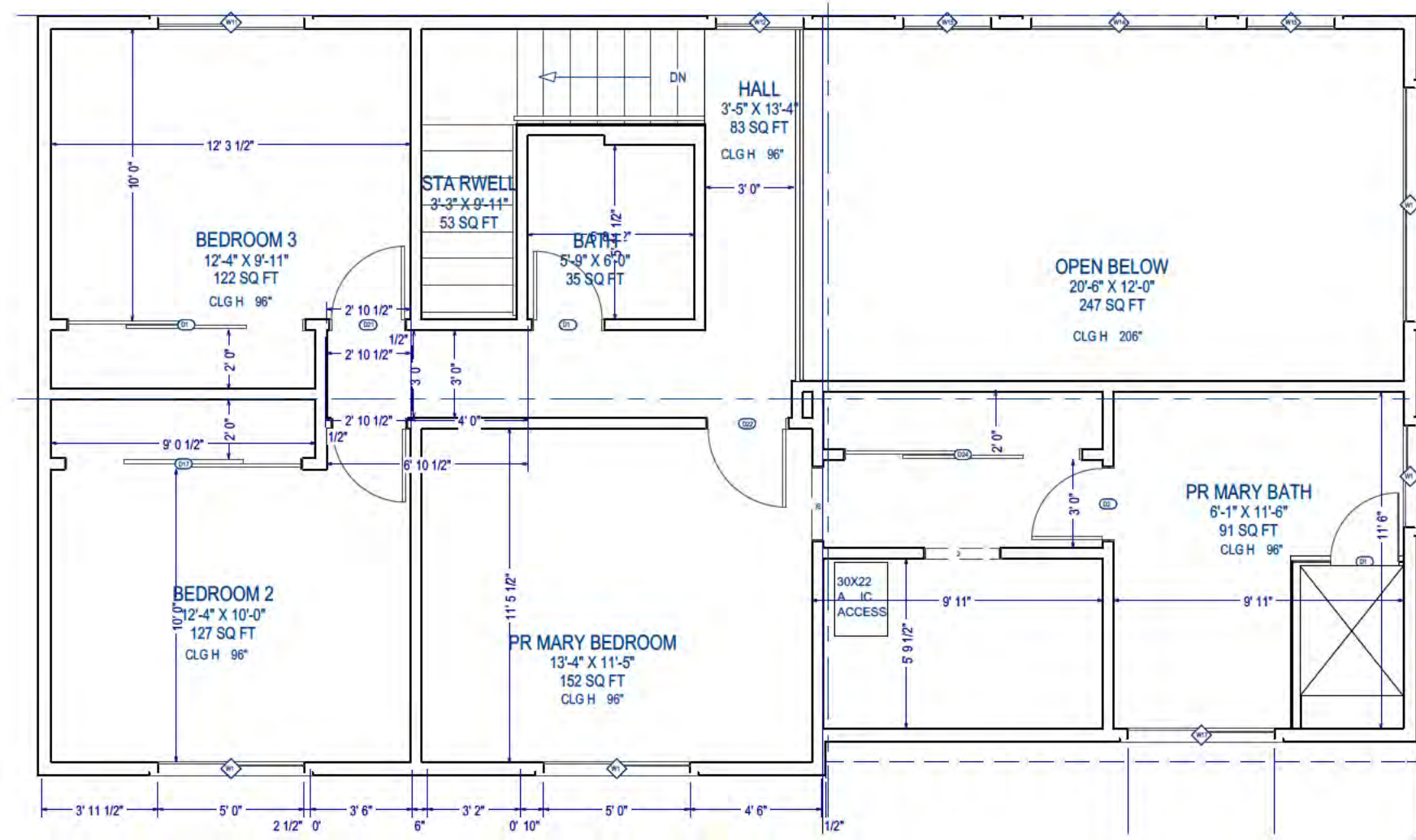
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
CROSS SECTIONS

A3.8

SCHEDULES

*E/N - EXISTING / NEW
EXISTING WINDOW AND DOORS TO REMAIN UNLESS OTHERWISE NOTED



2 PROPOSED - LEVEL 2
SCALE 1/4" = 1'-0"

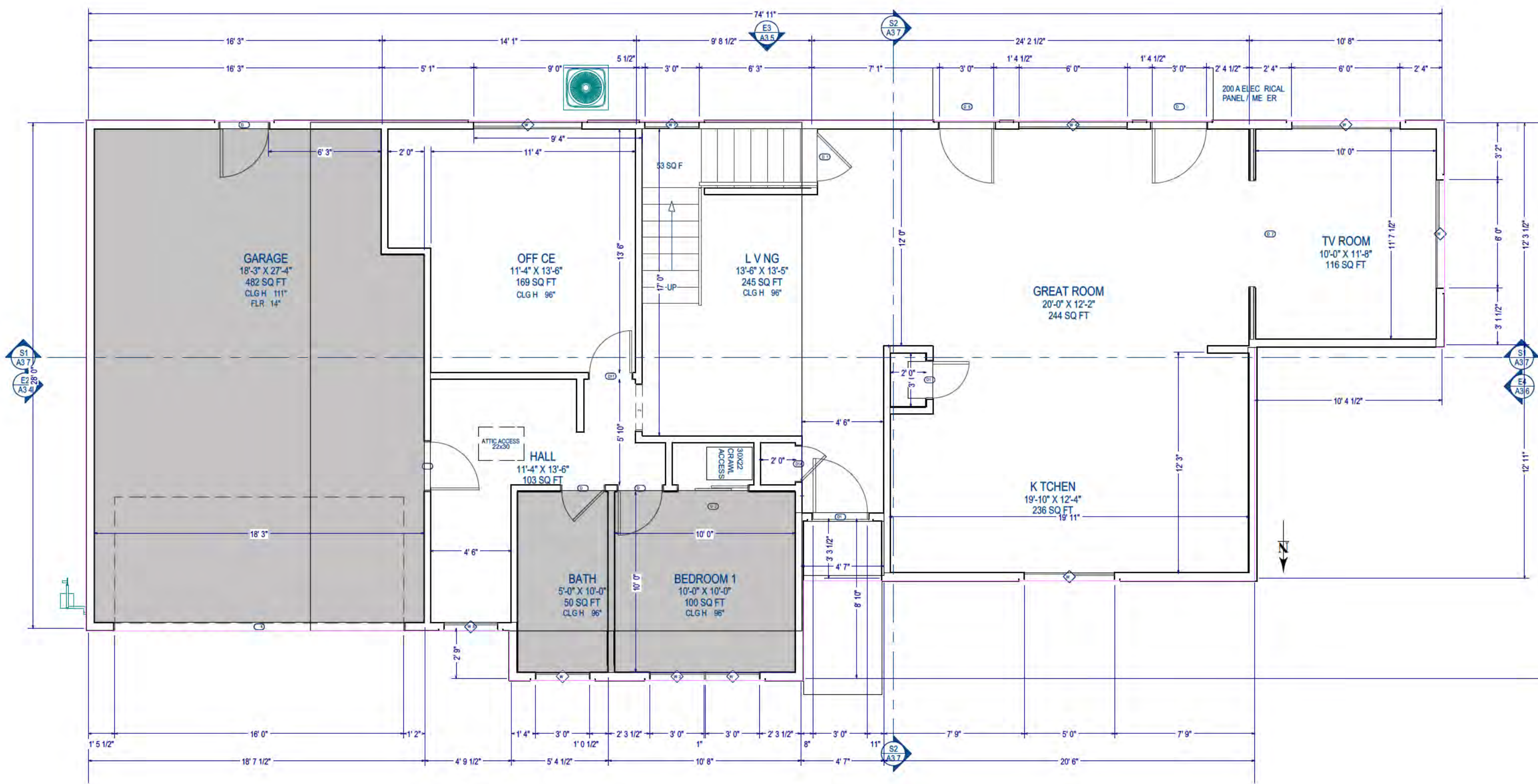
#	E/N/R	FLR	ROOM	DESCRIPTION	DIMENSIONS	QTY	COMMENTS
D01	N	1	UNDER-STAIRS	HINGED-DOOR P04	32"x80"x1 3/8" L IN	1	
D02	1	1	CLOSET/BEDROOM 1	SLIDER-DOOR P04	(2) 24"x80"x1 3/8" R IN	1	
D03	E	1	GARAGE	EXT. HINGED-SLAB	32"x80"x1 3/4" R EX	1	
D04	E	1	GARAGE	GARAGE-GARAGE DOOR CHD05	192"x84"x1 3/4"	1	
D05	N	1	GREAT ROOM	EXT. HINGED-GLASS PANEL	36"x80"x1 3/4" L EX	1	
D06	N	1	GREAT ROOM	EXT. HINGED-GLASS PANEL	36"x80"x1 3/4" R EX	1	
D07	N	1	GREAT ROOM /TV ROOM	EXT. DOUBLE POCKET-GLASS PANEL	(2) 35"x80"x1 3/4" L/R EX	1	
D08	E	1	HALL/BATH	HINGED-DOOR P04	28"x80"x1 3/8" L IN	1	
D09	E	1	HALL/BEDROOM 1	HINGED-DOOR P04	28 15/16"x80"x1 3/8" R IN	1	
D10	E	1	HALL/GARAGE	EXT. HINGED-SLAB	32"x80"x1 3/4" R EX	1	FIRE-RATED
D11	1	1	HALL/OFFICE	HINGED-DOOR P04	28"x80"x1 3/8" R IN	1	
D12	1	1	KITCHEN/CLOSET	HINGED-GLASS PANEL	24"x80"x1 3/8" L IN	1	
D13	E	1	LIVING	EXT. HINGED-DOOR E25	36"x80"x1 3/4" L EX	1	
D14	1	1	LIVING/CLOSET	HINGED-DOOR P04	23"x80"x1 3/8" R IN	1	
D15	1	1	UNSPECIFIED	EXT. HINGED-DOOR E21	36"x80"x1 3/4" L EX	2	
D16	2	2	BATH/PRIMARY BATH	SHOWER-GLASS SLAB	28"x80"x1/2" R	1	
D17	2	2	CLOSET/BEDROOM 2	SLIDER-DOOR P04	(2) 49"x80"x1 3/8" L IN	1	
D18	2	2	CLOSET/BEDROOM 3	SLIDER-DOOR P04	(2) 49"x80"x1 3/8" L IN	1	
D19	2	2	HALL/BATH	HINGED-DOOR P04	28"x80"x1 3/8" L IN	1	
D20	2	2	HALL/BEDROOM 2	HINGED-DOOR P04	30"x80"x1 3/8" L IN	1	
D21	2	2	HALL/BEDROOM 3	HINGED-DOOR P04	30"x80"x1 3/8" R IN	1	
D22	2	2	HALL/PRIMARY BEDROOM	HINGED-DOOR P04	32"x80"x1 3/8" L IN	1	
D23	2	2	WALK-IN CLOSET/PRIMARY BATH	HINGED-DOOR P04	29"x80"x1 3/8" L IN	1	
D24	2	2	WALK-IN CLOSET/WALK-IN CLOSET	SLIDER-DOOR P04	(2) 49"x80"x1 3/8" L IN	1	

NO SKYLIGHTS PROPOSED

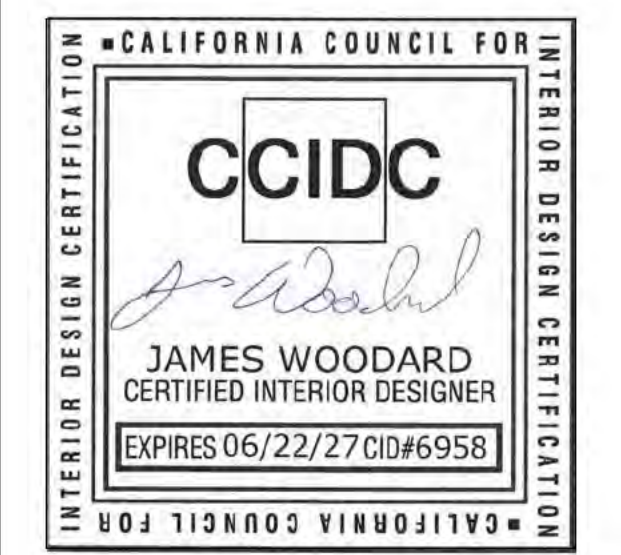
#	E/N/R	FLR	ROOM	DESCRIPTION	DIMENSIONS	AFF	QTY	COMMENTS
W01	E	1	BATH	SINGLE AWNING	36"x24"AW	56"	1	TEMPERED
W02	E	1	BEDROOM 1	SINGLE CASEMENT-HL	36"x42"SC	38"	1	EGRESS
W03	E	1	BEDROOM 1	SINGLE CASEMENT-HR	36"x42"SC	38"	1	EGRESS
W04	N	1	GREAT ROOM	FIXED GLASS	72"x80"FX	0"	1	
W05	E	1	HALL	SINGLE CASEMENT-HL	36"x24"SC	60"	1	TEMPERED
W06	E	1	KITCHEN	LEFT SLIDING	60"x42"LS	38"	1	
W07	N	1	LIVING	FIXED GLASS	36"x72"FX	118"	1	
W08	E	1	OFFICE	LEFT SLIDING	72"x36"LS	44"	1	EGRESS
W09	N	1	TV ROOM	LEFT SLIDING	72"x42"LS	38"	2	
W10	N	2	BEDROOM 2	LEFT SLIDING	60"x42"LS	38"	1	
W11	N	2	BEDROOM 3	LEFT SLIDING	60"x48"LS	32"	1	
W12	N	2	HALL	LEFT SLIDING	36"x48"LS	32"	1	
W13	N	2	OPEN BELOW	FIXED GLASS	96"x48"FX	32"	1	
W14	N	2	OPEN BELOW	FIXED GLASS	72"x48"FX	32"	1	
W15	N	2	OPEN BELOW	FIXED GLASS	36"x48"FX	32"	2	
W16	N	2	PRIMARY BATH	LEFT SLIDING	42"x48"LS	32"	1	
W17	N	2	PRIMARY BATH	LEFT SLIDING	60"x42"LS	38"	1	
W18	N	2	PRIMARY BEDROOM	LEFT SLIDING	60"x42"LS	38"	1	

CABINETS IN PLAN AND SCHEDULE FOR REFERENCE ONLY.
SEE CABINET MANUFACTURER / VENDOR SPECIFICATIONS FOR INSTALL

#	FLR	ROOM	DESCRIPTION	DIMENSIONS	QTY
C01	1	HALL	BASE CABINET	72"x18"x18"	1
C02	1	HALL	WALL CABINET	72"x12"x24"	1
C03	1	HALL	BASE CABINET	30"x24"x36"	1
C04	1	HALL	WALL CABINET	30"x12"x39"	1
C05	1	HALL	WALL CABINET	33"x12"x39"	2
C06	1	KITCHEN	BASE CABINET	24"x24"x36"	4
C07	1	KITCHEN	BASE CABINET	36"x24"x36"	3
C08	1	KITCHEN	UTILITY CABINET	48"x24"x93"	1
C09	1	KITCHEN	BASE CABINET	18"x24"x36"	1
C10	1	KITCHEN	UTILITY CABINET	30"x24"x93"	1
C11	1	KITCHEN	BASE CABINET	48"x12"x18"	2
C12	1	KITCHEN	BASE CABINET	45"x24"x36"	2
C13	1	KITCHEN	CORNER WALL CABINET	24"x24"x39"	2
C14	1	KITCHEN	WALL CABINET	24"x12"x39"	2
C15	1	KITCHEN	BASE CABINET	30"x24"x36"	2
C16	1	KITCHEN	WALL CABINET	30"x12"x39"	1
C17	1	KITCHEN	BASE CABINET	4"x36"x36"	2
C18	1	KITCHEN	BASE CABINET	27"x24"x36"	2
C19	1	KITCHEN	WALL CABINET FILLER	1 7/16"x12"x39"	1
C20	1	KITCHEN	WALL CABINET	54"x12"x39"	2
C21	2	BEDROOM 2	BASE CABINET	41 1/4"x24"x30"	1
C22	2	BEDROOM 2	BASE CABINET	65"x18"x18"	1
C23	2	BEDROOM 2	UTILITY CABINET	41 1/8"x18"x93"	1
C24	2	BEDROOM 2	WALL CABINET	41 1/8"x12"x63"	1
C25	2	BEDROOM 3	BASE CABINET	63"x18"x18"	1
C26	2	BEDROOM 3	BASE CABINET	39"x24"x30"	1
C27	2	BEDROOM 3	WALL CABINET	39"x12"x63"	1
C28	2	BEDROOM 3	UTILITY CABINET	39"x18"x93"	1
C29	2	PRIMARY BEDROOM	BASE CABINET	39"x24"x30"	1
C30	2	PRIMARY BEDROOM	BASE CABINET	39 15/16"x18"x18"	2
C31	2	PRIMARY BEDROOM	UTILITY CABINET	38"x18"x93"	1
C32	2	PRIMARY BEDROOM	WALL CABINET	39"x12"x63"	1



1 PROPOSED - LEVEL 1
SCALE 1/4" = 1'-0"



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GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
SCHEDULES

A4.0

GENERAL NOTES:

A BU LD NG CODES ALL WORK SHALL COMPLY W TH THE APPL CABLE REQU REMENTS OF THE CAL FORN A BU LD NG CODE CAL FORN A MECHAN CAL CODE CAL FORN A PLUMB NG CODE CAL FORN A ELECTR CAL CODE AS WELL AS THE STATE AND LOCAL BU LD NG CODES

B SHOULD ERRORS OM SS ONS OR D SCREPAN ES APPEAR N DRAW NGS OR SPEC F CAT ONS OR N THE WORK DONE BY OTHERS AFFECT NG TH S WORK THE DES GNER SHALL BE NOT F ED AT ONCE AND SHALL SSUE NSTRUCT ONS AS TO PROCEED F THE CONTRACTOR PROCEEDS W THOUT CONTACT NG THE DES GNER AND/OR OWNER THE CONTRACTOR SHALL BE L ABLE FOR ANY EXPENS VE THAT MAY RESULT

C DETA LED DRAW NG AND SPEC F CAT ONS TAKE PRECEDENCE OVER GENERAL DRAW NG AND SPEC F CAT ONS D MENS ON TAKE PRECEDENCE OVER SCALED MEASUREMENTS

D THE CONTRACTOR SHALL CONFORM TO AND AB DE BY ALL LOCAL C TY COUNTY AND STATE BU LD NG AND SAFETY LAWS SUCH LAWS SHALL BE CONSD ERED A PART OF THESE SPEC F CAT ONS AND THE PROV S ONS OF SUCH REGULAT ONS SHALL BE OBSERVED THE CONTRACTOR SHALL NOT FY THE DES GNER F DRAW NGS OR SPEC F CAT ONS THAT ARE AT VAR ANCE SHOULD THE CONTRACTOR PERFORM ANY WORK CONTRARY TO SUCH LAWS OR REGULAT ONS THE CONTRACTOR SHALL BEAR ALL SUCH COSTS AR S NG

E SCOPE ALL WORK NECESSARY ND CATED OR REASONABLY NFERRED OR REQU RED BY CODES AS L STED N "A" SHALL BE COMPLETED FOR A COMPLETE AND PROPER F N SHED JOB

F PERM TS THE GENERAL BU LD NG PERM T & PLAN CHECK FEES SHALL BE SECURED & PA D FOR BY THE OWNER ALL OTHER PERM TS SHALL BE TAKEN OUT & PA D FOR BY E THER THE GENERAL BU LD NG CONTRACTOR OR BY THE SUBCONTRACTOR D RECTLY RESPON S BLE

G ALTERNATES DES GNS MATER ALS EQUI PMENT PRODUCTS & CONSTRUCT ON METHODS OTHER THAN THOSE DESCR BED BELOW OR ND CATED ON THE DRAW NGS MAY BE CONSD ERED FOR USE PROV DED THEY ARE F RST APPROVED N WR T NG BY THE OWNER DES GNER PREVIA L NG ENG NEER & GOVERN NG AUTHORITY

H NTEG ON THE NTEG ON OF THE DOCUMENTS S TO NCLUDE ALL LABOR MATER ALS EQUI PMENT & TRANSPORTAT ON NECESSARY FOR THE COMPLET ON OF THE WORK CHANGE ORDERS THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTER NG ADD NG TO OR DEDUCT NG FROM THE SCOPE OF WORK THE CONTRACT SUM BE NG ADJUSTED ACCORD NGLY

J CUTT NG & PATCH NG ALL TRADES SHALL DO THE R OWN CUTT NG F TT NG PATCH NG ETC K CLEAN UP ALL TRADES SHALL AT ALL T MES KEEP THE PREM SES FREE FROM ACCUMULAT ONS OF WASTE MATER ALS OR RUBB SH FROM & ABOUT THE BU LD NG AND ALL THE R TOOLS SCAFFOLD NG & SURPLUS MATER ALS & LEAVE THE JOB N A BROOM-CLEAN COND T ON NCLUD NG REMOV NG ALL LABELS ST CKERS PA NT SMEARS ETC FROM L GHT NG F XTURES PLUMB NG F XTURES GLASS SURFACES F N SH HARDWARE CAB NETS COUNTERTOP ETC

L TEMPORARY TO LETS THE GENERAL CONTRACTOR SHALL PROV DE TEMPORARY TO LET FAC L TES FOR ALL TRADES UNT L THE COMPLET ON OF THE PROJECT

M L NES & LEVELS THE CONTRACTOR SHALL BE RESPON S BLE FOR THE ACCURACY OF THE BU LD NG L NES & LEVELS THE CONTRACTOR SHALL COMPARE CAREFULLY THE L NES & LEVELS SHOWN ON THE DRAW NGS W TH EX ST NG LEVELS FOR LOCAT ON & CONSTRUCT ON OF THE WORK & D SCREPAN ES BEFORE PROCEED NG W THOUT CONTACT NG THE OWNER & DES GNER THE CONTRACTOR SHALL BE L ABLE FOR ANY EXPENSE THAT MAY RESULT

N HOMEOWNER W LL TAKE ANY NECESSARY PRECAUT ONS TO REMOVE OR RELOCATE TEMS OF VALUE TO BE REUSED AND/OR SAVED OR N ANY DANGER OR BE NG DAMAGED DUE TO THE CONSTRUCT ON PROCESS

SITE NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. NEW RAINWATER DOWNSPOUTS, IF ANY, SHALL BE DISCONNECTED AND DIRECT RUNOFF TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
3. ADDRESS IDENTIFICATION BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7MM). PER CBC [F] 502.1, CRC R319.1
4. SEISMIC AUTOMATIC SHUT-OFF VALVE TO BE INSTALLED AT THE GAS METER OR PROPANE TANK.

2022 CAL GREEN CODE- EFFECTIVE 01/01/23

- WATER CONSERV NG PLUMB NG F XTURES & F TT NGS
 - * ALL NONCOMPL ANT PLUMB NG F XTURES W LL BE REPLACED W TH WATER-CONSERV NG PLUMB NG F XTURES PER CAL FORN A C V L CODE 1101.1
 - 4 303 1 1 WATER CLOSETS LESS THAN OR EQUAL TO 1 28GAL/FLUSH
 - 4 303 1 2 UR NALS LESS THAN OR EQUAL TO 0 125 GAL/FLUSH FOR WALL MOUNT AND 0 5 GAL/FLUSH FOR ALL OTHER UR NALS
 - 4 303 1 3 1 S NGLE SHOWERHEADS LESS THAN OR EQUAL TO 1 8 GPM @ 80 PS
 - 4 303 1 3 2 MULT PLE SHOWERHEADS COMB NED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A S NGLE VALVE SHALL NOT EXCEED 1 8 GPM @ 80 PS OR ONLY ONE SHOWER OUTLET S TO BE N OPERAT ON AT ONE T ME
 - 4 303 1 4 1 LAVATORY FAUCET TO BE 1 2 GM @ 60PS MAX MUM THE M N MUM FLOW RATE SHALL NOT BE LESS THAN 0 8 GPM @ 20 PS
 - 4 303 1 4 2 LAVATORY FAUCETS N COMMON AND PUBL C USE AREAS OF RES DENT AL BU LD NG LESS THAN OR EQUAL TO 0 5 GPM @ 60 PS
 - 4 303 1 4 3 METER NG FAUCETS LESS THAN OR EQUAL TO 0 2 GALLONS PER CYCLE
 - 4 303 1 4 4 K TCHEN FAUCETS LESS THAN OR EQUAL TO 1 8 GPM @ 60 PS
 - 4 506 1 EACH BATHROOM SHALL BE MECHAN CALLY VENT LATED W TH AN "ENERGY STAR" COMPL ANT EXHAUST FAN BE DUCTED TO TERM NATE OUTS DE THE BU LD NG AND BE CONTROLLED BY A HUM D TY CONTROL HUM D TY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELAT VE HUM D TY RANGE OF LESS THAN 50% TO A MAX MUM OF 80%
 - 5 303 3 1 TO LETS [TO HAVE] A MAX MUM FLOW RATE OF 1 28 GPF
- FENESTRAT ON
 - NEW AND REPLACEMENT W NDOWS AND SKYL GHTS SHALL COMPLY W TH THE FENESTRAT ON REQU REMENTS N THE CAL FORN A ENERGY CODE T TLE 24 PART 6 SECT ON 110 6
 - F REPLACES
 - 4 503 1 ANY N STALLED GAS F REPLACE SHALL BE A D RECT-VENT SEALED-COMBUST ON TYPE

EMERGENCY ESCAPE AND RESCUE OPENINGS AND DOORS

- 2022 CRC, TITLE 24 PART 2.5
- R310.2.1 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M²)
- R310.2.2 THE NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610MM), WIDTH SHALL BE 20 INCHES (508 MM)
- R310.2.3 THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES (1118MM) MEASURED FROM THE FLOOR
- R310.3 WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE A SIDE-HINGED DOOR OR A SLIDING DOOR

MEANS OF EGRESS

- 2022 CBC, TITLE 24 PART 2
- 1003.2 CEILING HEIGHT: SHALL NOT BE LESS THAN 7 FEET 6 INCHES ABOVE THE FINISHED FLOOR
- 2022 CRC, TITLE 24 PART 2.5
- R310.2.1 ALL NEW/REMODELED BEDROOMS TO HAVE EMERGENCY EGRESS WINDOWS WITH A MINIMUM 24" HEIGHT, MINIMUM 20" WIDTH OR A MINIMUM 5.75SQFT OPENING; FINISHED SILL NO HIGHER THAN 44" AFF
- R311.1 THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
- R311.2 NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE CLEAR MINIMUM WIDTH OF 32 INCHES AT A 90-DEGREE OPENING. THE CLEAR HEIGHT OF THE OPENING SHALL BE A MINIMUM OF 78 INCHES (1961MM).
- R311.3 THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. LANDINGS SHALL BE A MINIMUM OF 36 INCHES (914MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%).
- R311.3.1 LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1.5 INCHES (38MM) LOWER THAN THE TOP OF THE THRESHOLD.
- R311.6 THE WIDTH OF THE HALLWAY SHALL NOT BE LESS THAN 3 FEET (914MM)
- R311.7.1 STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES (914MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEAD ROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 31.5 INCHES (787MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- R311.7.2 THE HEADROOM IN STAIRWAYS SHALL NOT BE LESS THAN 6 FEET 8 INCHES (2032MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
- R311.7.3 A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS.
- R311.7.6 THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN 36 INCHES (914MM).
- R311.7.7 THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2% SLOPE).

FIRE-RESISTANT CONSTRUCTION: GARAGE / CARPORTS

- 2022 CRC, TITLE 24 PART 2.5
- R302.5.1 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES (35MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8 INCHES (35MM) THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE.
- R302.6 THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED:
 - FROM THE RESIDENCE AND ATTICS - NOT LESS THAN 1/5-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
 - FROM HABITABLE ROOMS ABOVE THE GARAGE/CARPORT - NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT
 - GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT - NOT LESS THAN 1/5-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

VENTILATION NOTES:

- ENV RONMENTAL A R DUCT EXHAUST FOR THE LAUNDRY BATHROOM K TCHEN AND OTHER EXHAUST FAN DUCTS SHALL TERM NATE OUTS DE THE BU LD NG
- THE FAN SHALL RUN NTERM TTENTLY (ON DEMAND) OR CONT NUOUSLY
- A REMO LY ACCESS BLE MANUAL CONTROL DES GNE D TO BE OPERATED AS NEEDED OR AN AUTOMAT C CONTROL SHALL BE PROV DED FOR NTERM TTENT OPERAT ONS CMC 405 3 405 4
- THE EXHAUST DUCT SHALL HAVE A BACK DRAFT DAMPER HOWEVER WHEN THE EXHAUST FAN OPERATES CONT NUOUSLY A BACK DRAFT DAMPER S NOT REQU RED
- BATHROOM EXHAUST FANS SHALL PROV DE A RATE OF 50CFM M N MUM FOR NTERM TTENT OPERAT ON AND 20CFM M N MUM FOR CONT NUOUS OPERAT ON CMC 405 3 1
- K TCHEN EXHAUST FANS SHALL PROV DED A RATE OF 100 CFM M N MUM FOR NTERM TTENT RANGE HOOD OPERAT ON OR 300CFM M N MUM FOR MECHAN CAL EXHAUST FANS NCL DOWNDRAFT APPL ANCES
- FOR CONT NUOUS OPERATED VENT LAT ON THE EXHAUST RATE SHALL NOT BE LESS THAN 5 A R CHANGES PER HOUR BASED ON ENCLOSED K TCHEN VOLUME
- EXHAUST FANS SHALL BE ENERGY STAR RATED DEV CES W TH 50-80 HUM D TY CONTROL CALGREEN 4 506 1
- THE TERM NAT ON OF ALL ENV RONMENTAL A R DUCTS SHALL BE A M N MUM OF 3 FEET FROM ANY OPEN NGS NTO THE BU LD NG SUCH AS DOORS W NDOWS SKYL GHTS OR ATT C VENTS 3 FEET FROM A PROPERTY L NE AND 10 FEET FROM A FORCED-A R NLET CMC 502 2 1

INTERIORS

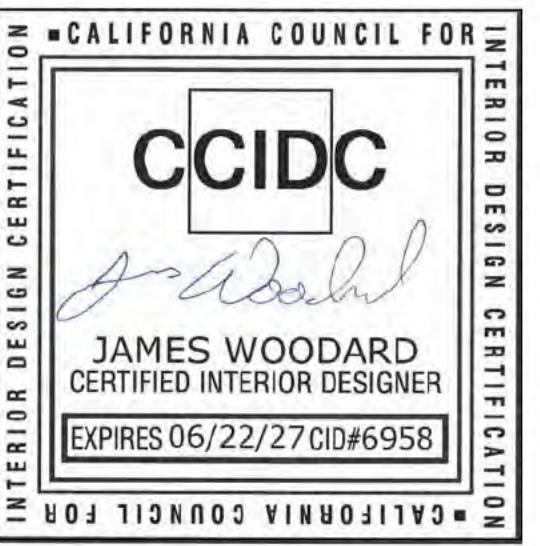
- LIGHT AND VENTILATION: 2022 TITLE CRC, R303.1
- HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS. THE OPENABLE AREA TO THE OUTDOORS SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA.
- HABITABLE SPACE DIMENSIONS
- 2022 TITLE 24 CBC, 1208
- 1208.1 HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL BE NOT LESS THAN 7 FEET (2134MM). KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET (914MM) BETWEEN COUNTER FRONTS AND APPLIANCES OR WALLS.
- 1208.2 OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET 6 INCHES (2286MM) ABOVE THE FINISHED FLOOR. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET (2134MM) ABOVE THE FINISHED FLOOR.
- 1208.3 EVERY DWELLING UNIT SHALL NOT HAVE LESS THAN ONE ROOM THAT SHALL NOT HAVE LESS THAN 120 SQUARE FEET (11.2M²) OF NET FLOOR AREA. OTHER HABITABLE ROOMS SHALL NOT HAVE A NET FLOOR AREA OF 70 SQUARE FEET (6.5M²).
- 1208.4 EFFICIENCY DWELLING UNITS SHALL HAVE A LIVING ROOM OF NOT LESS THAN 190 SQUARE FEET (17.7M²) OF FLOOR AREA, BE PROVIDED WITH A SEPARATE CLOSET, BE PROVIDED WITH A KITCHEN SINK, COOKING APPLIANCE AND REFRIGERATOR (EACH HAVING A CLEAR WORKING SPACE OF NOT LESS THAN 30 INCHES IN FRONT), AND BE PROVIDED WITH A SEPARATE BATHROOM CONTAINING A WATER CLOSET, LAVATORY AND BATHTUB OR SHOWER.
- 2022 TITLE 24 CRC, R304
- R304.1 HABITABLE ROOMS SHALL NOT HAVE A FLOOR AREA LESS THAN 70 SQUARE FEET (6.5M²). A KITCHEN IS AN EXCEPTION.
- R304.2 HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FEET (2134MM) IN ANY HORIZONTAL DIMENSION. A KITCHEN IS AN EXCEPTION.
- R304.3 PORTIONS OF A ROOM WITH A SLOPING CEILING MEASURING LESS THAN 5 FEET (1524MM) OR A FURRED CEILING MEASURING LESS THAN 7 FEET (2134MM) FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA.
- 2022 TITLE 24 CRC, R305
- R305.1 HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET (2134MM); BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 6 FEET 8 INCHES (2032MM).
- R305.1.1 PORTIONS OF BASEMENTS THAT DO NOT CONTAIN HABITABLE SPACES OR HALLWAYS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 6 FEET 8 INCHES (2032MM).
- CRAWL AND ATTIC SPACE DIMENSIONS
- 2022 TITLE 24 CBC, 1209
- 1209.1 CRAWL SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESS OPENING THAT SHALL NOT BE LESS THAN 18 INCHES BY 24 INCHES (457MM BY 610MM).
- 1209.2 AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (509MM BY 762MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762MM). CLEAR HEADROOM OF NOT LESS THAN 30 INCHES (762MM) SHALL BE PROVIDED IN THE ATTIC SPACE AT OR ABOVE THE ACCESS OPENING.
- BATH SPACES
- 2022 TITLE 24 CBC, 1210
- 1210.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (1829MM) ABOVE THE DRAIN INLET.
- 1210.2.4 BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.
- 2022 TITLE 24 CRC, 307 AND 702
- 307.2 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE THE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT SHALL NOT EXTEND TO A HEIGHT LESS THAN 6 FEET (1829MM) ABOVE THE FLOOR.
- 702.3.7 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CUT OR EXPOSED EDGES, INCLUDING THOSE AT WALL INTERSECTIONS, SHALL BE SEALED AS RECOMMENDED BY THE MANUFACTURER.
- 702.3.7.1 WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE IS DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
- 2022 TITLE 24 CPC, 408
- 408.6 ALL NEW SHOWERS TO BE 1024 SQUARE INCHES MINIMUM AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE
- 408.5 THE HEIGHT OF SHOWER THRESHOLD TO COMPLY WITH CPC 408.5.
- 408.5 THE TOP OF THE DRAIN TO BE A MINIMUM 2 INCHES AND MAXIMUM 9 INCHES BELOW THE TOP OF THE THRESHOLD.
- SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN A 22" MIN. UNOBSTRUCTED OPENING FOR EGRESS PER CPC.

SMOKE AND CARBON MONOXIDE ALARMS

- "SMOKE ALARMS SHALL BE INSTALLED PER MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. ALL BATTERY POWERED SMOKE ALARMS SHALL HAVE A 10-YEAR BATTERY.
- CONTRACTOR TO FIELD VERIFY SMOKE ALARMS IN ALL BEDROOMS AND AT ALL CEILING HEIGHT CHANGES.
- CONTRACTOR TO FIELD VERIFY SMOKE ALARMS AS REQUIRED BY R314.1, R314.2
- 2022 TITLE 24 CBC, [F] 907.2.11.2; CRC, R314.3
- SMOKE ALARMS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, EACH STORY OF THE BUILDING, BASEMENTS AND HABITABLE ATTICS
- SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ROOM OPEN TO THE HALLWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610MM) OR MORE
- 2022 TITLE 24 CBC, [F] 907.2.11.8; CRC, R314.3.3
- NFPA 72 SECTION 29.8.3.4 SPECIFIC LOCATION REQUIREMENTS
- SHALL NOT BE LOCATED WHERE AMBIENT CONDITIONS ARE OUTSIDE THE LIMITS SPECIFIED BY THE MANUFACTURER'S PUBLISHED INSTRUCTIONS
- SHALL NOT BE LOCATED WITHIN UNFINISHED ATTICS OR GARAGES OR IN OTHER SPACES WHERE TEMPERATURES CAN FALL BELOW 40°F (4°C) OR EXCEED 100°F (38°C)
- SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
 - "THE ALARM OR DETECTOR SHALL BE EITHER A PHOTOELECTRIC SMOKE ALARM OR IONIZATION ALARM WITH AN ALARM-SILENCING SWITCH IF PLACED CLOSER THAN 20 FEET FROM A PERMANENTLY INSTALLED COOKING DEVICE.
- SHALL NOT BE INSTALLED LESS THAN A 3-FOOT (0.91M) HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A REQUIRED SMOKE ALARM
- SHALL NOT BE INSTALLED WITHIN A 36-INCH (910MM) HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW FROM THOSE REGISTERS
- SHALL NOT BE INSTALLED WITHIN A 36-INCH (910MM) HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED FAN
- SHALL BE LOCATED TO DETECT SMOKE RISING IN A STAIRWAY WITHOUT AN INTERVENING DOOR OR OBSTRUCTION
- SHALL BE LOCATED ON THE BASEMENT CEILING NEAR THE ENTRY TO THE STAIRS FOR STAIRWAYS LEADING UP FROM A BASEMENT
- SHALL BE INSTALLED ON THE HIGHEST PORTION OF A TRAY-SHAPED (COFFERED) CEILING WITHIN 12 INCHES (300MM) VERTICALLY DOWN FROM THE HIGHEST POINT
- ALARMS / DETECTORS INSTALLED IN ROOMS WITH JOISTS OR BEAMS SHALL COMPLY WITH THE NFPA 17.7.3.2.4 REQUIREMENTS
- 2022 TITLE 24 CRC, R315
- *CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.
- *CONTRACTOR TO FIELD VERIFY CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1, R315.2
- FOR EXISTING BUILDINGS AND NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE OR FIREPLACE AND/OR HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.
- WHERE AN ADDITION IS MADE TO AN EXISTING DWELLING, OR A FUEL-BURNING HEATER, APPLIANCE OR FIREPLACE IS ADDED TO AN EXISTING DWELLING, NOT PREVIOUSLY REQUIRED TO BE PROVIDED WITH CARBON MONOXIDE ALARMS, NEW CARBON MONOXIDE ALARMS SHALL BE INSTALLED.
- COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL COMPLY WITH SECTION R315 AND ALL REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS. R315.4

RESIDENTIAL SKYLIGHTS

- *SKYLIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS (INCLUDING NEW FLASHING)
- 2022 CRC TITLE 24, PART 2.5, R308.6.2
- GLAZING MATERIALS SHALL BE LIMITED TO LAMINATED GLASS WITH NOT LESS THAN A 0.015-INCH (0.38MM) POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANES 16 SQUARE FEET (1.5M²) OR LESS, FULLY TEMPERED GLASS, HEAT-STRENGTHENED GLASS, WIRED GLASS, APPROVED RIGID PLASTIC
- 2022 CRC TITLE 24, PART 2.5, R308.6.8
- UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH LESS THAN 3:12 (25% SLOPE) SHALL BE MOUNTED ON A CURB EXTENDING A MINIMUM OF 4 INCHES (102MM) ABOVE THE ROOF PLANE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER
- 2022 CEC TITLE 24, PART 6, 110.6 - TABLE 110.6-A
- DEFAULT SKYLIGHT FENESTRATION U-FACTOR
 - METAL FRAME SINGLE PANE TO BE 1.98, NONMETAL FRAME SINGLE PANE TO BE 1.47
 - METAL FRAME DOUBLE PANE TO BE 1.3, NONMETAL FRAME DOUBLE PANE TO BE 0.84
- 2022 CEC TITLE 24, PART 6, 110.6 - TABLE 110.6-A
- DEFAULT SKYLIGHT FENESTRATION U-FACTOR
 - METAL FRAME SINGLE PANE TO BE 1.98, NONMETAL FRAME SINGLE PANE TO BE 1.47
 - METAL FRAME DOUBLE PANE TO BE 1.3, NONMETAL FRAME DOUBLE PANE TO BE 0.84
- 2022 CEC TITLE 24, PART 6, 150.0(q)
- FENESTRATION, INCLUDING SKYLIGHT PRODUCTS MUST HAVE a maximum U-factor of 0.45 and THE AREA-WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION, INCLUDING SKYLIGHT PRODUCTS, SHALL NOT EXCEED 0.45
- 2022 CBC TITLE 24, PART 2, 2610.0
- LIGHT TRANSMITTING PLASTIC SKYLIGHT GLAZING
 - 2610.3 SHALL NOT SLOPE LESS THAN 4:12
 - 2610.4 SHALL HAVE A MAXIMUM AREA WITHIN THE CURB OF 100 SQUARE FEET (9.3M²)
 - 2610.6 SKYLIGHTS SHALL BE SEPARATED FROM EACH OTHER BY A DISTANCE NOT LESS THAN 4 FEET (1219 MM) IN A HORIZONTAL PLANE
 - 2610.7 WHERE EXTERIOR WALL OPENINGS ARE REQUIRED TO BE PROTECTED (FIRE-RATED CONSTRUCTION), A SKYLIGHT SHALL NOT BE INSTALLED WITHIN 6 FEET (1829MM) OF SUCH EXTERIOR WALL
- 2022 CPC TITLE 24, PART 2, 906.2
- OPERABLE SKYLIGHTS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ALL PLUMBING VENTS OR THE VENT SHALL TERMINATE 3 FEET FROM ANY ENVIRONMENTAL AIR VENT



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DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
NOTES A

A5.0

Electrical Notes:

All permits applied for after January 1, 2023 must comply with the 2022 24 standards
California residential code title 24 part 2.5
California energy code title 24 part 6 [building energy efficiency standards] section 150 mandatory features and devices
California electrical code title 24 part 3
California green building standards code title 24 part 11

detectors/alarms - SEE SHEET NOTES A

outlets and circuits

- *Final location of all outlets shall be verified with the owner at time of inspection
- GROUND-FAULT C RCUT- INTERRUPT ON SHALL BE PROVIDED ON NEWLY INSTALLED RECEPTACLE OUTLETS IN DWELLING UNIT LOCATIONS SPECIFIED IN CEC 210 8(A)(1) THROUGH (A)(11) CEC 210 8(A)
- FOR NEW STRUCTURES AND ADDITIONS TO EXISTING STRUCTURES A CONCRETE ENCASED GROUND ELECTRODE SHALL BE INSTALLED THUS SHALL CONSIST OF 20' OF 1/2" M IN MUM D AMETER BARE OR ZINC COATED REBAR OR BARE COPPER WREN THE PORTION OF THE FOOTING IN CONTACT WITH THE EARTH CEC 250 52(A)(3)
- H REPAIR OR REPLACEMENT OF ELECTRICAL WIRING AND EQUIPMENT UNDERGOING REPAIR WITH THE MATERIAL SHALL BE PERMITTED EXCEPT [PMC 20 10 110]
- REPLACEMENT OF RECEPTACLES SHALL COMPLY WITH CEC406 4(D) ARC-FAULT C RCUT- INTERRUPTER TYPE AND GROUND-FAULT C RCUT- INTERRUPTER TYPE RECEPTACLES SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION CEC 406 4(D)(1)
- A NON-GROUND NG-TYPE RECEPTACLE SHALL BE PERMITTED TO BE REPLACED WITH A GROUND NG-TYPE RECEPTACLE WHERE SUPPLIED THROUGH A GROUND-FAULT C RCUT- INTERRUPTER GROUND NG-TYPE RECEPTACLES OR THE RECOVER PLATES SHALL BE MARKED "GFC PROTECTED" AND "NO EQUIPMENT GROUND" VISIBLE AFTER INSTALLATION AN EQUIPMENT GROUND NG CONDUCTOR SHALL NOT BE CONNECTED BETWEEN THE GROUND NG-TYPE RECEPTACLES CEC 406 4(D)(2)
- PLUG FUSES OF THE Edison-BASE TYPE SHALL BE USED FOR REPLACEMENTS ONLY WHERE THERE IS NO EVIDENCE OF OVERFUSING OR TAMPERING CEC 240 51(B)
- RECEPTACLES SHALL BE NO MORE THAN 6 FEET MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE FROM A RECEPTACLE OUTLET CEC 210 52(A)(1)
- WALLS 2 FEET WIDE OR GREATER AND UNBROKEN BY THE FLOOR LINE SHALL HAVE AN OUTLET CEC 210 52(A)(2)
- ALL RECEPTACLES TO BE INSTALLED NOT MORE THAN 5'-6" ABOVE THE FLOOR SHALL BE TAMPER-RESISTANT CEC 406 12
- RECEPTACLES SERVING THE KITCHEN COUNTERTOPS SHALL BE GFC/ AFC PROTECTED AND TAMPER RESISTANT CEC 210 8(A)(6) AND 406 12
- RECEPTACLE OUTLETS SHALL BE INSTALLED A MAXIMUM OF 24 INCHES FROM A RECEPTACLE OUTLET IN THAT SPACE CEC 210 52(C)(1)
- ISLAND AND PENINSULAR COUNTERTOPS SHALL HAVE AT LEAST ONE RECEPTACLE 9 SQUARE FEET OR FRACTON THEREOF OF THE COUNTERTOP AND FOR ADDITIONAL 18 SQUARE FEET OR FRACTON THEREOF AT LEAST ONE RECEPTACLE OUTLET SHALL BE LOCATED WITHIN 2 FEET OF THE OUTER END OF A PENINSULAR COUNTERTOP CEC 210 52(C)(2)
- RECEPTACLE OUTLETS SHALL BE NO MORE THAN 20 INCHES ABOVE THE COUNTERTOP BELOW THE COUNTERTOP RECEPTACLE OUTLETS SHALL BE INSTALLED NO MORE THAN 12 INCHES AND SHALL NOT BE INSTALLED WHERE THE COUNTER EXTENDS MORE THAN 6 INCHES BEYONDSUPPORT BASE CEC 210 52(C)(3)
- ALL RECEPTACLES IN BATHROOMS LAUNDRY AREAS AT OR BELOW GRADE CRAWL SPACES BASEMENTS OR OTHER NDOOR DAMP/WET LOCATIONS SHALL BE GFC PROTECTED CEC 210 8
- AT LEAST ONE BATHROOM RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BATH CEC 210 52(D)
- AT LEAST ONE RECEPTACLE IN AREAS DESIGNATED FOR LAUNDRY EQUIPMENT CEC 210 52(F)
- AT LEAST ONE GARAGE RECEPTACLE OUTLET SHALL BE INSTALLED IN THE NEAR EACH VEHICLE BAY AND NOT MORE THAN 5.5 FEET ABOVE THE FLOOR CEC 210 52(G)(1)
- HALLWAYS 10 FEET OR GREATER SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET CEC210 52(H)
- SEPARATE FOYERS GREATER THAN 60 SQUARE FEET SHALL HAVE RECEPTACLES LOCATED IN EACH UNINTERRUPTED WALL SPACE 3 FEET OR WIDER
- ALL EXTERIOR RECEPTACLES SHALL BE GFC WATERPROOF AND TAMPER RESISTANT AND INSTALLED WITHIN 6 1/2 FT ABOVE GRADE AT THE FRONT AND BACK OF THE DWELLING CEC 210 8(A)(3) 406 9(B) 210 52(E)
- ALL 120 VOLT SINGLE PHASE 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNITS KITCHENS FAMILY ROOMS DINING ROOMS LIVING ROOMS BEDROOMS SUNROOMS RECREATION ROOMS CLOSETS HALLWAYS LAUNDRY AREAS OR SMLAR ROOMS OR AREAS SHALL BE PROTECTED BY ALSTED COMBINATION ON-TYPE ARC FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT CEC 210 12(A)
- TWO OR MORE 20-AMPERE SMALL-APPLANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS CEC 210 11 (C)(1)
- BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY AT LEAST ONE DEDICATED 120-VOLT 20 AMP BRANCH CIRCUIT CEC 210 11(C)(3)
- 30 AMP DEDICATED CIRCUIT TO BE INSTALLED FOR 220- AND 240-VOLT CLOTHES DRYER CEC 220 54 NFPA 70 2020
- WHERE A BOX IS USED AS THE SOLE SUPPORT OF A CEILING SUSPENDED (PADDLE) FAN THE BOX SHALL BE LISTED FOR THE APPLICATION AND FOR THE WEIGHT OF THE FAN TO BE SUPPORTED AS PER CEC 314 27(C) AND 422 18

interior fixtures and switching

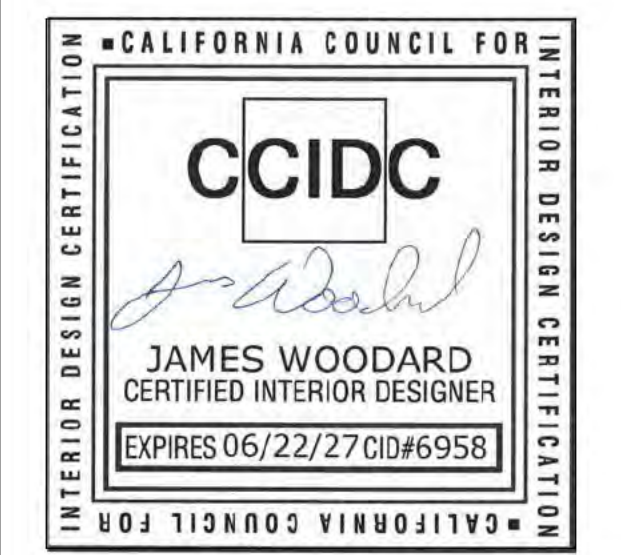
- All proposed lighting shall be high efficacy in accordance with table 150 0-A CEnC 150 0(k)(1)(A)
- DIMMING CONTROLS-LIGHTING IN HABITABLE SPACES INCLUDING BUT NOT LIMITED TO LIVING DINING KITCHEN & BEDROOMS SHALL HAVE AREADILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP & DOWN FORWARD PHASE CUT DIMMERS CONTROLLING LED LIGHT SOURCES IN THESE SPACES SHALL COMPLY WITH NEMA SSL 7A 150 0(K)2F
- ANY RECESSED DOWNLIGHT LUMINA RES TO BE TYPE "C" INSULATED AREAS
- ANY RECESSED DOWNLIGHT LUMINA RES SHALL NOT CONTAIN SCREW BASE LAMP SOCKETS AND HAVE A LABEL THAT CERTIFIES THE LUMINA RES SURTIGHT WITH A RLEAKAGE LESS THAN 2.0 CFM AT 75 PASCAL LIGHTS SHALL BE SEALED INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN AIR TIGHTNESS BETWEEN THE LUMINA RES HOUSING AND CEILING AND MEET THE CLEARANCE AND INSTALLATION REQUIREMENTS OF CALIFORNIA ELECTRICAL CODE SECTION 410 116 CENC 150(K)1C
- ALL RECESSED DOWNLIGHT LUMINA RES LOCATED IN CATHEDRAL CEILING SHALL BE DIRECT ONL FIXTURES
- LUMINA RES PERMITTED IN CLOTHES CLOSET TO BE ANY OF THE FOLLOWING
- SURFACE-MOUNTED OR RECESSED INCANDESCENT OR LED LUMINA RES WITH COMPLETELY ENCLOSED LIGHT SOURCES
- SURFACE-MOUNTED OR RECESSED FLUORESCENT LUMINA RES
- SURFACE-MOUNTED FLUORESCENT OR LED LUMINA RES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN THE CLOTHES CLOSET STORAGE CEC 410 16
- LUMINA RES INSTALLED IN WET OR DAMP LOCATIONS (NLTUB OR SHOWER ENCLOSURES) SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" CEC 410 10(A)
- A LUMINA RE INSTALLED IN A TUB OR SHOWER AREA SHALL HAVE NO PARTS OF CORD-CONNECTED LUMINA RES CHAIN- CABLE- OR CORD-SUSPENDED (PADDLE) FANS LOCATED WITHIN 3 FT HORIZONTALLY AND 8 FT VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD CEC 410 10(D)
- THSZONES ALL-ENCOMPASSING AND INCLUDES THE SPACE DIRECTLY OVER THE TUB OR SHOWER
- LUMINA RES LOCATED WHERE SUBJECT TO SHOWER SPRAY SHALL BE MARKED SUITABLE FOR WET LOCATIONS
- ALL LIGHTING SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT ALLOW MANUAL ON AND OFF SWITCHING CENC 150 0(K)2A
- LIGHTSWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED
- NO CONTROLS SHALL BYPASS ADMMER OCCUPANT SENSOR OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION CEC 150 0(K) CENC 150 0(K)2B

Electrical Notes CONTINUED:

All permits applied for after January 1, 2023 must comply with the 2022 24 standards
California residential code title 24 part 2.5
California energy code title 24 part 6 [building energy efficiency standards] section 150 mandatory features and devices
California electrical code title 24 part 3
California green building standards code title 24 part 11

interior fixtures and switching cont

- All proposed lighting shall be high efficacy in accordance with table 150.0-A. CEnC 150.0(k)(1)(A).
 - AT LEAST ONE INSTALLED LUMINA RE IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC OFF FUNCTION. CENC 150(K)2E
 - INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY FROM THE FANS. CEnC 150(K)2G
 - UNDERCAB NET, UNDERSHELF, NTER OR DISPLAY CABINET, SWITCHED OUTLETS TO BE CONTROLLED SEPARATELY FROM CEILING-INSTALLED LIGHTING CEnC 150(K)2G
- exterior fixtures and switching**
- ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE WEATHERPROOF
 - EXTERIOR OR WP GFC PROTECTED OUTLETS TO HAVE BUBBLE COVER
 - AT LEAST ONE RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6.5 FEET ABOVE GRADE LEVEL SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING CEC 210 52(E)(1)
 - PERMANENTLY MOUNTED EXTERIOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF EITHER LISTED BELOW
 - A PHOTOCELL OR EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL OR
 - AN ASTRONOMIC TIME CLOCK CONTROL CENC 150 0(K)3



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DATE: 5/7/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY

PROJECT: MULTI-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
NOTES B

A5.1



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/10/2026

ITEM NO: 3

DATE: June 5, 2026
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Forward a Recommendation to the Town Council on an Ordinance Amending Chapter 29 (Zoning Regulations) of the Town Code Regarding Accessory Dwelling Units and Definitions. The Proposed Amendments are Not Subject to CEQA Review Pursuant to CEQA, Section 15061 (b)(3), Because it can be Seen with Certainty that they will not Significantly Affect the Physical Environment in that they Make Minor Changes to the Regulations Applicable to Accessory Dwelling Units and Definitions. Additionally, the Proposed Amendments are Statutorily Exempt Pursuant to Public Resources Code Section 21080.17. Town Code Amendment Application A-26-001. **Project Location: Town Wide.** Applicant: Town of Los Gatos.

RECOMMENDATION:

Forward a recommendation to the Town Council on amendments to Chapter 29 (Zoning Regulations) of the Town Code regarding accessory dwelling units and definitions.

CEQA:

The proposed amendments are not subject to CEQA review, pursuant to CEQA Section 15061(b)(3), because it can be seen with certainty that they will not significantly affect the physical environment in that they make minor changes to the regulations applicable to accessory dwelling units and definitions. Additionally, the proposed amendments are Statutorily Exempt pursuant to Public Resources Code Section 21080.17.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director, and Town Attorney

FINDINGS:

- The proposed amendments are not subject to CEQA review pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15061(b)(3); and the proposed amendments are statutorily exempt pursuant to Public Resources Code Section 21080.17; and
- The amendments to Chapter 29 of the Town Code are consistent with the General Plan.

BACKGROUND:

In 2016, the Governor signed several bills intended to help address the State's housing crisis by creating new housing opportunities through accessory dwelling units (ADU) and junior accessory dwelling units (JADU). Since then, the Governor continued to sign additional bills into law that further streamlined the permitting process for ADUs and JADUs. As a result, the Town updated the Town Code regarding ADUs and JADUs in 2017, 2020, and 2023 to comply with updated state laws. Since the current ADUs and JADUs regulations have been in place, additional bills have been signed into law further revising regulations around ADUs and JADUs, requiring additional amendments to the Town Code. The latest bills signed into law impacting the Town's Ordinance include:

- **AB 462** (2025) requires a local agency to issue a Certificate of Occupancy for an ADU, even if the primary dwelling has not yet been issued a Certificate of Occupancy, if constructed in a county that is subject to a proclamation of a state of emergency made by the Governor on or after February 1, 2025.
- **SB 477** (2024) made changes to the numbering of the sections of Government Code for State ADU and JADU Laws.
- **SB 543** (2025) revised the definition of a JADU to clarify and require the size of a JADU to be no more than 500 square feet of interior livable space and prohibits impact fees upon the development of an ADU that has 750 square feet of interior livable space or less or JADU that has 500 square feet of interior livable space or less. Furthermore, the prohibition on requiring fire sprinkler installation additionally applies to JADUs.
- **AB 1154** (2025) made changes to the owner-occupancy requirement of JADUs for only those units that have shared sanitation facilities with the existing structure, and allows rental of a JADU for a term longer than 30 days.
- **SB 1211** (2024) defines "livable space" as a space in a dwelling intended for human habitation. Furthermore, it specifies that uncovered, off-street parking spaces demolished in conjunction with the construction of an ADU do not need to be replaced. Additionally, the bill authorizes up to eight detached ADUs on a lot with an existing multi-family dwelling, provided that the number of ADUs does not exceed the number of existing units on the lot, and prohibits a local agency from imposing any objective development standards on 66323 Units that are not authorized by the provisions of Government Code section 66323, subdivision (a).

Below is a discussion of a draft Ordinance that includes amendments to Chapter 29 of the Town Code (Zoning Regulations), Section 29.10.020 (Definitions) and Sections 29.10.305 through 29.10.400 (ADUs) (Exhibit 2).

DISCUSSION:

The draft Ordinance, included as Exhibit 2, would align the Town’s regulations with state law. The most significant change coming from state law is the creation of two categories of ADUs. The first, enabled under CA Government Code Section 66314, allows for an ADU that is subject to the Town’s standard ADU development regulations. These Town-standard ADUs are subject to most of the regulations included in the current ADU Ordinance. The second, enabled under CA Government Code Section 66323, allows for multiple ADUs on a property by-right and allows for JADUs. The draft Ordinance includes separate sections for Town-standard ADUs, by-right ADUs, and JADUs.

Much of the Town’s existing ADU Ordinance has been carried forward into the draft Ordinance with some revisions and reorganization to align with state law as discussed in the following section. The most substantive change in the draft Ordinance relates to the number of accessory units that can be built on a single property. When combining each unit type, the draft Ordinance allows the following:

Maximum Number of Accessory Units per Property			
Primary Dwelling Type	Single-Family Dwelling	Multi-Family Dwelling (MFD)	
		Existing MFD	Proposed MFD
Number of Accessory Units Allowed per Lot	<u>4 total</u> <ul style="list-style-type: none"> • 1 Town-standard ADU. Can be attached, detached, or conversion. • 3 by-right ADUs: <ul style="list-style-type: none"> 1 detached ADU + 1 conversion ADU + 1 JADU 	<u>4 minimum</u> <ul style="list-style-type: none"> • 1 conversion, or up to 25 percent of existing units. • 8 detached ADUs, provided the number does not exceed the number of existing primary units. 	<u>2 detached ADUs</u>

The discussion below goes through the Code sections and provides staff’s summary of the modifications proposed under the draft Ordinance.

Sec. 29.10.305. Intent and authority.

The current language has been carried forward. References to CA Government Code have been updated.

Sec. 29.10.310. Definitions.

All existing definitions have been carried forward with modifications to some. New definitions were added for by-right accessory dwelling unit, conversion, Hillside Area, livable space, nonconforming zoning condition, permitting agency, and Town-standard accessory dwelling unit.

Sec. 29.10.315. Review process.

The review process section has been revised to reflect new review timelines mandated by state law.

Sec. 29.10.320. General requirements and restrictions.

Much of the general requirements and restrictions section has been carried forward into the draft Ordinance and are applicable to Town-standard ADUs, by-right ADUs, and JADUs. Several requirements and restrictions were moved into this section from Section 29.10.325 to make them applicable to all ADUs, including: height; stories; balconies and decks; entrances; interior connection; and conversion of existing floor area. The FAR, design standards, and number of ADUs subsections were relocated to the Town-standard ADU section since they would not apply to by-right ADUs or JADUs. Table 1-1 was revised to remove the limitation on combined grading depths, which staff identified as a barrier to some ADU projects.

Sec. 29.10.325. Town-standard accessory dwelling unit development requirements.

The draft Ordinance includes a revised section that provides requirements and regulations specific to Town-standard ADU projects. Separate sections specific to by-right ADUs and JADU projects follow.

A new table is included in the draft Ordinance to help simplify the general development standards applicable to a Town-standard ADU project. Most of the regulations included in this table are consistent with the existing Ordinance; however, the FAR regulations have been revised. The FAR regulations continue to provide a 10 percent increase in FAR standards for single-family properties to be used for a Town-standard ADU project. Language was added clarifying that the maximum increase is limited to 1,200 square feet per single-family property. Additionally, for a single-family property that already exceeds the FAR standards, the increase is limited to 800 square feet.

New language applicable to an ADU project on a multi-family property recognizes that FAR standards do not apply to multi-family properties and allocates 800 square feet for a Town-standard ADU.

Sec. 29.10.327. By-right accessory dwelling unit development requirements.

Section 29.10.327 in the draft Ordinance is a new section providing development requirements for by-right ADUs as required by CA Government Code Section 66323. This new section includes a table providing the development standards applicable to by-right ADU projects. The table provides the applicable standards for by-right ADUs located on single-family and multi-family properties.

Sec. 29.10.330. Junior accessory dwelling unit development standards.

The majority of the current language applicable to JADUs has been carried forward in the draft Ordinance. Subparagraph (c) was revised to recognize that the size of a JADU is measured pursuant to the interior livable space definition. Subparagraph (g) was revised to require owner-occupancy of the primary dwelling or the JADU only when sanitation facilities are not provided within the JADU.

Sec. 29.10.335. Unpermitted units.

The current language has been carried forward. References to CA Government Code have been updated.

Sec. 29.10.340. Nonconforming accessory dwelling units and junior accessory dwelling units.

The current language has been carried forward.

Sec. 29.10.350. Elimination and/or demolition of existing accessory dwelling units and/or junior accessory dwelling units.

The current language has been carried forward.

Sec. 29.10.355. Nonconforming zoning conditions.

The current language has been carried forward.

Sec. 29.10.360. Utilities.

The current language has been carried forward with minor changes to clarify the exceptions that apply to by-right ADUs.

Sec. 29.10.365. Fees.

The current language has been carried forward. Additional subparagraphs were added from state law that clarify exemptions to fees applicable to some ADUs.

Amendments to other Code Sections.

While not directly related to the proposed amendments to the ADU ordinance, staff recommends an amendment to Town Code Section 29.10.020 – Definitions. Specifically, the definition of *attic* would be revised to align with the habitable space definition of the Building Code:

Attic means a non-habitable space (that may or may not be used for storage) with a maximum height of seven (7) feet ~~six (6) inches~~ as measured from the upper surface of the attic floor to the underside of the roof above. For the purposes of this definition, unfinished attic spaces are considered to have floor surfaces. Once an attic space exceeds seven (7) feet ~~six (6) inches~~ in height, all areas down to five (5) feet will be counted toward the floor area ratio.

PUBLIC COMMENTS:

Staff conducted outreach through the following media and social media resources, as well as direct communication with stakeholders as summarized below:

- The Town’s website home page, What’s New;
- The Town’s Facebook page;
- The Town’s Twitter account;
- The Town’s Instagram account;
- The Town’s NextDoor page; and
- Direct email communication to local architects and designers.

At the time this report was published, no public comments were received.

ENVIRONMENTAL ASSESSMENT:

The proposed amendments are not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3), because it can be seen with certainty that they will not significantly affect the physical environment in that they make minor changes to the regulations applicable to accessory dwelling units and definitions. Additionally, the proposed amendments are Statutorily Exempt pursuant to Public Resources Code Section 21080.17.

CONCLUSION:

A. Summary

The draft Ordinance aligns the Town's ADU/JADU regulations with state law and provides a clear set of regulations and process framework for residents to follow when pursuing an ADU/JADU project. The draft Ordinance also updates a term included in the Definitions section of the Town Code to align with the Building Code.

B. Recommendation

Staff recommends that the Planning Commission review the information included in the staff report and forward a recommendation to the Town Council for approval of the amendments to Chapter 29 of the Town Code in the draft Ordinance (Exhibit 2). The Planning Commission should also include any comments or recommended changes to the draft Ordinance in taking the following actions:

1. Make the finding that the proposed amendments are not subject to CEQA pursuant to CEQA, Section 15061(b)(3), because it can be seen with certainty that they will not significantly affect the physical environment in that they make minor changes to the regulations applicable to accessory dwelling units and definitions. Additionally, the proposed amendments are Statutorily Exempt pursuant to Public Resources Code Section 21080.17 (Exhibit 1);
2. Make the required finding that the amendments to Chapter 29 of the Town Code in the draft Ordinance are consistent with the General Plan (Exhibit 1); and
3. Forward a recommendation to the Town Council for approval of the amendments to Chapter 29 of the Town Code in the draft Ordinance (Exhibit 2).

C. Alternatives

Alternatively, the Commission can:

1. Forward a recommendation to the Town Council for approval of the draft Ordinance with modifications; or
2. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Required Findings
2. Draft Ordinance
3. ADU Ordinance in track changes
4. CA Government Code Sections 66310 through 6634

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PLANNING COMMISSION – June 10, 2026
REQUIRED FINDINGS FOR:

Town Code Amendment Application A-26-001

Forward a Recommendation to the Town Council on an Ordinance Amending Chapter 29 (Zoning Regulations) of the Town Code Regarding Accessory Dwelling Units and Definitions. The Proposed Amendments are Not Subject to CEQA Review Pursuant to CEQA, Section 15061 (b)(3), Because it can be Seen with Certainty that they will not Significantly Affect the Physical Environment in that they Make Minor Changes to the Regulations Applicable to Accessory Dwelling Units and Definitions. Additionally, the Proposed Amendments are Statutorily Exempt Pursuant to Public Resources Code Section 21080.17.

FINDINGS

Required Findings for CEQA:

- The proposed amendments are not subject to CEQA review pursuant to CEQA, Section 15061(b)(3), because it can be seen with certainty that they will not significantly affect the physical environment in that they make minor changes to the regulations applicable to accessory dwelling units and definitions. Additionally, the proposed amendments are Statutorily Exempt pursuant to Public Resources Code Section 21080.17.

Required Findings for General Plan:

- The amendments to Chapter 29 of the Town Code regarding accessory dwelling units are consistent with the General Plan.

EXHIBIT 1

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DRAFT ORDINANCE

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING CHAPTER 29, ZONING REGULATIONS, OF THE TOWN CODE REGARDING ACCESSORY DWELLING UNITS AND DEFINITIONS.

WHEREAS, from 2016 through 2025, the Governor signed a number of bills intended to address the State’s housing crisis by creating new housing opportunities through accessory dwelling units and junior accessory dwelling units; and

WHEREAS, in 2017, 2020, and 2023, the Town updated the Town Code regarding accessory dwelling units and junior accessory dwelling units to comply with state laws; and

WHEREAS, since the Town last updated the Town Code regarding accessory dwelling units and junior accessory dwelling units in 2023, the regulatory framework at the state-level continues to evolve with the passing of additional bills regarding accessory dwelling units and junior accessory dwelling units, including but not limited to Assembly Bills 462 and 1154; and Senate Bills 477, 543, 1211; and

WHEREAS, these bills made changes in the development standards, fees, and process requirements applicable to accessory dwelling units and junior accessory dwelling units, to continue to address barriers to the development of accessory dwelling units and junior accessory dwelling units; and

WHEREAS, the Town Council of the Town of Los Gatos adopted the 2023-2031 Housing Element on January 30, 2023, which includes policies that promote accessory dwelling units as a means to increase access to opportunity for lower-income households by encouraging infill of smaller units in single-family neighborhoods (Policy HE-1.7); ensure that at least 30 percent of the housing stock is rental units and continue to support the development of ADUs as a means of affordable rental housing (Policy HE-2.4); and encourage homeowners to construct detached rental ADUs in order to increase the housing stock of smaller rental units (Policy HE-2.6); and

WHEREAS, the Town Council wishes to amend the Town Code to comply with state law and to implement Policies HE-1.7, HE-2.4, and HE-2.6 of the Town of Los Gatos 2023-2031 Housing Element; and

WHEREAS, the amendments are consistent with the General Plan and its Elements; and

WHEREAS, the amendments are consistent with Chapter 29, “Zoning Regulations” of the Town Code.

WHEREAS, the Town reviewed the changes in state law regarding accessory dwelling units and junior accessory dwelling units that have taken place since the 2023 update to the Town Code and determined that amendments to the Town’s Accessory Dwelling Unit Ordinance were necessary; and

WHEREAS, in drafting the revised accessory dwelling unit and junior accessory dwelling unit regulations, the Town considered changes in state law; and feedback and clarification from the California Department of Housing and Community Development; and

WHEREAS, this matter was regularly noticed in conformance with state and Town law and came before the Planning Commission for public hearing on June 10, 2026; and

WHEREAS, on June 10, 2026, the Planning Commission reviewed and commented on the proposed amendments regarding accessory dwelling units and forwarded a recommendation to the Town Council for approval of the proposed amendments; and

WHEREAS, this matter was regularly noticed in conformance with state and Town law and came before the Town Council for public hearing on _____; and

WHEREAS, on _____, the Town Council reviewed and commented on the proposed amendments regarding accessory dwelling units and the Town Council voted to introduce the Ordinance; and

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Los Gatos as follows:

SECTION I. Division 7, “Accessory Dwelling Units,” of Article 1, “In General,” of Chapter 29, “Zoning Regulations,” of the Town of Los Gatos Town Code is amended to read as follows:

DIVISION 7. ACCESSORY DWELLING UNITS

Sec. 29.10.305. Intent and authority.

This Division is adopted to comply with California Government Code Sections 66310-66342, which mandate that applications for accessory dwelling units be considered ministerially without a public hearing; and sets Town-standards for the development of accessory dwelling units in order to increase the supply of affordable housing in a manner that is compatible with existing neighborhoods.

Sec. 29.10.310. Definitions.

The following words, terms, and phrases, when used in these accessory dwelling unit regulations, shall have the meanings ascribed to them in this section:

Accessory dwelling unit means a detached, attached, or conversion residential dwelling unit that is located on the same parcel as a proposed or existing single-family dwelling or multi-family dwelling. It shall provide complete independent living facilities for one or more persons with permanent provisions for living, sleeping, eating, cooking, and sanitation. An accessory dwelling unit also includes efficiency units and manufactured homes.

- (1) A detached accessory dwelling unit is physically separate from a primary dwelling.

- (2) An attached accessory dwelling unit is:
- a. Constructed as a physical expansion (i.e., addition) of an existing primary dwelling unit, including construction of a new basement underneath a primary dwelling unit to accommodate an accessory dwelling unit; or
 - b. Constructed as part of a proposed primary dwelling unit;
- (3) A conversion accessory dwelling unit is:
- a. Contained within the existing space of a primary dwelling unit, including within its living area, basement, or attached garage;
 - b. Created from non-livable space of a multi-family dwelling; or
 - c. Contained within the existing space of an accessory building or structure as defined by Town Code Section 29.10.020.

By-right accessory dwelling unit means an accessory dwelling unit and/or junior accessory dwelling unit that complies with California Government Code Section 66323, which allows for a streamlined approval process exempt from some Town development standards.

Conversion means modification of existing floor area/interior space for the purpose of converting to an accessory dwelling unit or junior accessory dwelling unit.

Efficiency kitchen means a limited kitchen that includes a cooking facility with appliances, a food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling unit. Examples of cooking appliances that may be used are: microwave ovens, hot plates, and similar appliances intended for use on top of a countertop. Refrigerator size is not limited.

Efficiency unit has the meaning set forth in Section 17958.1 of the Health and Safety Code.

High-quality transit corridor has the meaning set forth in Section 21155 of the Public Resources Code.

Hillside Area means all properties located within the Hillside Area Map of the Town's Hillside Development Standards and Guidelines.

Junior accessory dwelling unit means a dwelling unit that does not exceed an interior livable space of five hundred (500) square feet and is entirely contained within the space of a proposed or existing single-family residence. For the purposes of this definition, enclosed spaces within the single-family residence, such as attached garages, are considered a part of the proposed or existing single-family residence. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure.

Kitchen means a cooking facility that includes a permanently installed cooking appliance, sink, refrigerator, food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the dwelling unit.

Livable space means a space in a dwelling intended for human habitation, including living, sleeping, eating, cooking, and sanitation.

Living area means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.

Major transit stop has the meaning set forth in Section 21155 of the Public Resources Code.

Manufactured home has the meaning set forth in Section 18007 of the Health and Safety Code.

Nonconforming accessory dwelling unit means a unit that exists under the following circumstances:

- (1) A unit which was created or converted lawfully but, due to a zone change or an amendment to the zoning ordinance, became nonconforming; or
- (2) A unit which was created lawfully while within the County but, upon annexation to the Town, became nonconforming.

Nonconforming zoning condition means a physical improvement on a property that does not conform with current zoning standards.

Objective standards means standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal.

Passageway means a pathway that is unobstructed, clear to the sky, and extends from a street to one (1) entrance of the accessory dwelling unit.

Permitting agency means any entity that is involved in the review of a permit for an accessory dwelling unit or junior accessory dwelling unit and for which there is no substitute, including, but not limited to, applicable planning departments, building departments, utilities, and special districts.

Proposed dwelling means a dwelling that is the subject of a permit application and that meets the requirements for permitting.

Public transit means a location, including but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.

Tandem parking means that two (2) or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.

Town-standard accessory dwelling unit means an accessory dwelling unit that complies with Town development standards as permitted under California Government Code Sections 66314 to 66322.

Unpermitted accessory dwelling unit means a dwelling unit that was created through the construction of a new structure or expansion of an existing structure without the benefit of a Building Permit (at a time when a Building Permit was required) and that cannot be otherwise legalized because it does not comply with development standards provided in this Chapter.

Sec. 29.10.315. Review process.

- (a) Development of an accessory dwelling unit and/or junior accessory dwelling unit consistent with this division shall be reviewed ministerially as a Building Permit and be subject to following:
 - (1) *Application review.* Upon receipt of an application to create or serve an accessory dwelling unit, the Town shall determine whether the application is complete and provide written notice of this determination to the applicant not later than fifteen (15) business days after receiving the application. If the Town determines the application is incomplete, the applicant may cure and address the items that are deemed to be incomplete by the permitting agency. When reviewing a revised application submitted to address the identified incomplete determination, the permitting agency shall not require the application to include an item that was not included in the list of incomplete items provided in the written determination. Upon receipt of a revised application, the Town shall determine whether the application is complete and provide written notice of this determination to the applicant not later than 15 business days after receiving the application. If a permitting agency does not make a timely determination as required by this paragraph, the application or resubmitted application shall be deemed to be complete for the purposes of this section. If a permit application is determined to be incomplete or is denied, the determination may be appealed to the Planning Commission within ten (10) days of the decision pursuant to Town Code Section 29.20.255. The appeal shall be subject to the procedures contained in 29.20.260 and 29.20.265. The Planning Commission shall provide a final determination no later than 60 business days after receipt of the applicant's written appeal.
 - (2) *Final action.* The Town shall take final action within sixty (60) days of receiving a complete application. When an accessory dwelling unit and/or junior accessory dwelling unit is proposed in conjunction with a permit application to create a new single-family or multi-family dwelling, the Town shall not take final action on the accessory dwelling unit and/or junior accessory dwelling unit until the application for the new single-family or multi-family dwelling is approved.
 - (3) *Certificate of occupancy.* The Town shall not issue a Certificate of Occupancy for an accessory dwelling and/or junior accessory dwelling unit before the Town issues a Certificate of Occupancy for the primary dwelling, unless the conditions of California Government Code Section 66328 are met.

- (4) *Demolition.* A demolition permit for a detached garage that is to be replaced with an accessory dwelling unit shall be reviewed with the application for the accessory dwelling unit and issued at the same time.
- (b) *Notification.* The Town shall not require, and the applicant shall not be otherwise required to provide written notice or post a placard for construction of an accessory dwelling unit and/or junior accessory dwelling unit. No noticing shall be required for the demolition of a detached garage that is to be replaced with an accessory dwelling unit, unless the property is located within an architecturally and historically significant historic district.
- (c) *Denial.* An application may be denied if it does not meet the applicable design and development standards. An application may also be denied if the following findings are made:
 - (1) Adverse impacts on health, safety, and/or welfare of the public.
- (d) *Appeals.* Accessory dwelling units and junior accessory dwelling units that are consistent with this division are ministerial and are not subject to an appeal.

Sec. 29.10.320. General requirements and restrictions.

The following requirements and restrictions apply to Town-standard accessory dwelling units, by-right accessory dwelling units, and junior accessory dwelling units.

- (a) *Incentive program.* Any accessory dwelling unit or junior accessory dwelling unit developed under an Incentive Program which may be established by Resolution of the Town Council shall be made affordable to eligible applicants pursuant to the requirements of the Incentive Program. A Deed Restriction shall be recorded specifying that the accessory dwelling unit or junior accessory dwelling unit shall be offered at a reduced rent that is affordable to a lower income renter (less than eighty (80) percent AMI) provided that the unit is occupied by someone other than a member of the household occupying the primary dwelling.
- (b) *Parcel requirements.* An accessory dwelling unit and/or junior accessory dwelling unit may only be created on parcels satisfying all the following general requirements:
 - (1) *Permitted zones.* A parcel zoned to allow single-family or multi-family residential use; and
 - (2) *Dwelling unit.* A parcel that includes a proposed or existing primary dwelling.
- (c) *Lot coverage.* All accessory dwelling units and junior accessory dwelling units are exempt from the lot coverage standards applicable to the zone and the accessory structure lot coverage limitations included in Section 29.40.015 (A)(5).
- (d) *Height.* Accessory dwelling units shall be subject to the height requirements below:
 - (1) A height of sixteen (16) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling.

- (2) A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling that is within one-half ($\frac{1}{2}$) mile walking distance of a major transit stop or a high-quality transit corridor. An additional two (2) feet in height shall be provided to accommodate a roof pitch on the accessory dwelling unit that is aligned with the roof pitch of the primary dwelling unit.
 - (3) A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing multi-family, multi-story dwelling.
 - (4) A height of twenty-five (25) feet or the height limitation of the applicable zoning district that applies to the primary dwelling, whichever is lower, for an accessory dwelling unit that is attached to a proposed or existing two-story primary dwelling.
 - (5) Accessory dwelling units may be added directly above an existing one-story accessory structure on a property with a proposed or existing two-story primary dwelling in the R-1, R-D, R-M, RMH, and R-1D zones. These second-story accessory dwelling units may not be internally connected to the accessory structure below by an interior staircase.
- (e) *Stories.* Accessory dwelling units and junior accessory dwelling units shall be contained within one (1) story.
 - (f) *Entrances.* Attached accessory dwelling units, conversion accessory dwelling units, and junior accessory dwelling units shall include a separate entrance from the main entrance to the proposed or existing primary dwelling. An accessory dwelling unit or junior accessory dwelling unit contained on a second story shall be served by a separate, dedicated interior or exterior stairway. A passageway from the accessory dwelling unit or junior accessory dwelling unit to a public street may be created but shall not be required by the Town.
 - (g) *Interior connection.* An attached accessory dwelling unit may, but shall not be required to, contain an interior doorway connection between the primary dwelling and the accessory dwelling unit.
 - (h) *Balconies and Decks.* New balconies, rooftop terraces, and second-story decks are prohibited.
 - (i) *Conversion of existing floor area.* An accessory dwelling unit shall be permitted if the accessory dwelling unit is contained within the existing space of, or constructed in the same location and manner as, an existing primary dwelling or accessory structure. The following provisions shall apply:
 - (1) The accessory dwelling unit shall be located on a lot zoned to allow single-family, two-family, or multi-family residential use.
 - (2) The accessory dwelling unit shall have a separate entrance from the primary dwelling.
 - (3) The accessory dwelling unit shall have existing side and rear setbacks sufficient for fire safety.

- (4) An expansion of one hundred fifty (150) square feet beyond the physical dimensions of an existing structure, limited to accommodating ingress and egress, shall be permitted.
 - (5) When an existing structure is nonconforming as to setback standards and converted to an accessory dwelling unit, any expansion of that structure may not be nearer to a property line than the existing building in accordance with section 29.10.245.
- (j) *Parking.* One (1) parking space per accessory dwelling unit or per bedroom, whichever is less, shall be provided in addition to the required minimum number of parking spaces for the primary dwelling. These spaces may be provided in a front or side setback abutting a street on a driveway (provided that it is feasible based on specific site or fire and life safety conditions) or through tandem parking. In addition to parking otherwise required for units as set forth in section 29.10.150 of the Town Code, the number of off-street parking spaces required by this Chapter for the primary dwelling shall be provided prior to the issuance of a Building Permit or final inspection, for a new accessory dwelling unit.
- (1) *Exceptions.* No parking space shall be required under any of the following conditions:
- a. No additional parking shall be required for a junior accessory dwelling unit.
 - b. The accessory dwelling unit is located within one-half (½) mile walking distance of public transit.
 - c. The accessory dwelling unit is located within an architecturally and historically significant historic district.
 - d. The accessory dwelling unit is contained within the proposed or existing space of, or constructed in substantially the same location and manner as, an existing primary dwelling or accessory structure.
 - e. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.
 - f. When there is a car share vehicle (as defined by the California Vehicle Code) located within one (1) block of the accessory dwelling unit.
 - g. When a permit application for an accessory dwelling unit is submitted with a permit application to create a new single-family dwelling or multi-family dwelling on the same lot.
 - h. When a garage is demolished in conjunction with the construction of an accessory dwelling unit, or converted to an accessory dwelling unit, any lost off-street parking spaces required for the primary dwelling shall not be required to be replaced.
 - i. When the Director finds that the lot does not have adequate area to provide parking.

(k) *Grading.*

(1) As required by Chapter 12, Article II and Section 29.10.09045 (b) of the Town Code, grading activities shall not exceed 50 cubic yards, cut plus fill, unless exempted per subsection (2) below or unless first receiving approval of a discretionary Architecture and Site Application.

(2) Grading exemptions:

- a. Light wells that do not exceed the minimum required by the Building Code.
- b. Grading activities required to provide the minimum driveway and fire access as required by the Santa Clara County Fire Department.
- c. Excavation within the footprint of a proposed accessory dwelling unit and/or junior accessory dwelling unit.

Note that these exemptions are only for the discretionary approval requirement listed in Town Code Section 29.10.09045 (b) and not the Grading Permit requirement at building permit submittal per Town Code Chapter 12, Article II.

(l) *Cut and fill.* Construction of an accessory dwelling unit and/or a junior accessory dwelling unit shall be subject to the cut and fill requirements specified by Table 1-1 (Cut and Fill Requirements for Accessory Dwelling Units and Junior Accessory Dwelling Units) below:

Table 1-1. Cut and Fill Requirements for Accessory Dwelling Units and Junior Accessory Dwelling Units		
Site Element	Cut	Fill
Accessory dwelling unit/junior accessory dwelling unit	4 feet	3 feet
Driveways*	4 feet	3 feet
Other (decks, yards)	4 feet	3 feet
* Excludes cut and fill for the minimum driveway and fire access standards as required by the Santa Clara County Fire Department.		

- (m) *Retaining walls.* Retaining walls shall not exceed five (5) feet in height and shall not run in a continuous direction for more than fifty (50) feet without a break, offset, or planting pocket. Retaining walls shall have a five (5) foot landscape buffer adjacent to the street.
- (n) *Light reflectivity value.* Exterior materials for accessory dwelling units and/or junior accessory dwelling units in the Hillside Area shall comply with requirements in Chapter V, Section I, of the Town's Hillside Development Standards and Guidelines.
- (o) *Landscaping.* All landscaping shall comply with the California Model Water Efficient Landscape Ordinance (MWELO).
- (p) *Lighting.* New exterior lighting fixtures shall be downward directed and utilize shields so that no bulb is visible to ensure that the light is directed to the ground surface and does not spill onto neighboring parcels consistent with Section 29.10.09015 of the Town Code.
- (q) *Trees.* Any proposed work shall comply with the protection, removal, and replacement requirements for protected trees in Chapter 29, Article I, Division 2, "Tree Protection," of the Town Code.

- (r) *Stormwater management.* The development shall comply with the requirements of the Town's National Pollution Discharge Elimination System Permit as implemented by Chapter 22 of the Town Code, and as demonstrated by a grading and drainage plan prepared by a registered civil engineer.
- (s) *Conveyance.* Except as provided in California Government Code Section 66341, an accessory dwelling unit may be rented separate from the primary dwelling but may not be sold or otherwise conveyed separate from the primary dwelling.
- (t) *Town codes and ordinances.* All accessory dwelling units and junior accessory dwelling units shall comply with all the provisions of this Chapter and other applicable Town Codes.
- (u) *Building codes.* All accessory dwelling units and junior accessory dwelling units shall comply with applicable building, health, and fire codes, except that the construction of an accessory dwelling unit shall not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code (Title 24 of the California Code of Regulations), unless the Building Official or enforcement agency of the local agency makes a written finding based on substantial evidence in the record that the construction of the accessory dwelling unit could have a specific, adverse impact on public health and safety.
- (v) *Rentals longer than 30 days.* Rentals for durations of less than thirty (30) days, including short-term rentals (as defined by the California Government Code), are prohibited.
- (w) *Maximum number of dogs, cats, or litters.* All accessory dwelling units shall comply with Section 4.40.010 of the Town Code.
- (x) *Density.* Accessory dwelling units that conform to California Government Code Section 66314 shall be deemed an accessory use and shall not be considered to exceed the allowable density for the lot upon which the accessory dwelling unit is located, and that accessory dwelling units are a residential use that is consistent with the existing General Plan and zoning designation for the lot.
- (y) *Fire sprinklers.* The installation of fire sprinklers shall not be required in an accessory dwelling unit or a junior accessory dwelling unit if sprinklers are not required for the primary residence. The construction of an accessory dwelling unit or junior accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling or existing multi-family dwelling.

Sec. 29.10.325. Town-standard accessory dwelling unit development requirements.

As provided in California Government Code Sections 66314, the following are the Town development requirements for a Town-standard accessory dwelling unit.

- (a) Location.
 - (1) No Town-standard detached accessory dwelling unit may be constructed in front of the primary dwelling except in the HR and RC zones.

(2) No Town-standard accessory dwelling unit may be constructed in front of a primary dwelling or added to an existing second story of a primary dwelling that is any of the following:

- a. A Historic Structure, as defined in section 29.10.020 of the Zoning Code;
- b. Listed in the Town of Los Gatos Historic Resource Inventory, as defined by Town Code Chapter 29, Article VII, Division 3, "Historic Preservation and LHP or Landmark and Historic Preservation Overlay Zone;" or
- c. Listed in the California Register of Historical Resources.

(b) *Development requirements.* Construction of a Town-standard accessory dwelling unit shall be subject to the development requirements specified by Table 1-2 (Town-standard Accessory Dwelling Units Development Requirements) below:

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Table 1-2. Town-Standard Accessory Dwelling Units Development Requirements			
	Conversion ADU ⁽¹⁾	New construction detached ADU	Attached ADU
Maximum Number	One (1) total		
FAR	Town-standard accessory dwelling units located on a property with a proposed or existing single-family residence are allowed a ten (10) percent increase in the floor area ratio standards for all structures, excluding garages. This increase shall not be less than 800 square feet and shall not exceed 1,200 square feet per property. If a property exceeds FAR standards, the increase provided herein is limited to 800 square feet. This increase does not apply to by-right accessory dwelling units or junior accessory dwelling units. Floor area ratio standards do not apply to multi-family residential properties. A Town-standard accessory dwelling unit located on a property with a proposed or existing multi-family residence may be up to 800 square feet.		
Maximum Size	Single-family property: 1,200 square feet; Multi-family property: 800 square feet	Single-family property: 1,200 square feet; Multi-family property: 800 square feet	Single-family property: 1,200 square feet ⁽⁴⁾ Multi-family property: 800 square feet ⁽⁴⁾
Setbacks ⁽²⁾			
Front	N/A	Per the applicable zoning district	Per the applicable zoning district
Rear	Sufficient for fire and safety	4 feet minimum	4 feet minimum
Side (including street-side)	Sufficient for fire and safety	4 feet minimum	4 feet minimum
From any other structure located on the same lot ⁽³⁾	N/A	5 feet minimum	5 feet minimum
<p>(1) Includes attached garages.</p> <p>(2) Cornices, eaves, belt courses, sills, canopies, bay windows, chimneys, or other similar architectural features may extend into required setbacks as specified in Section 29.40.070 (b) of the Zoning Code.</p> <p>(3) Measured from the exterior wall surface and/or supporting posts.</p> <p>(4) May not exceed 50 percent of the size of the primary dwelling.</p>			

- (c) *Exceptions.* Detached accessory dwelling units exceeding a combined square footage of four hundred fifty (450) square feet in the R-1, R-D, R-M, RMH, and R-1D zones shall not be subject to the Administrative Procedure for Minor Residential Projects. Detached accessory dwelling units exceeding a combined square footage of six hundred (600) or one thousand (1,000) square feet in the HR and RC zones shall not be subject to Development Review Committee or Planning Commission approval.
- (d) *Design standards.* The purpose of these objective design standards is to ensure that the residential appearance of a property is maintained and that a Town-standard accessory dwelling unit is compatible with the primary dwelling and the neighborhood. The following objective design standards apply only to Town-standard accessory dwelling units and do not apply to by-right accessory dwelling units:

- (1) *Front entryway.* A front entryway framing a front door shall have a roof eave that matches or connects at the level of the adjacent eave line.
- (2) *Front porch.* If proposed, front porches shall have a minimum depth of six (6) feet and a minimum width equal to twenty-five (25) percent of the linear width of the front elevation.
- (3) *Windows.* All second-story windows less than ten (10) feet from rear and/or side property lines shall be clerestory with the bottom of the glass at least six (6) feet above the finished floor, except as necessary for egress purposes as required by the Building Code.
- (4) *Outside stairways.* Outside stairways serving a second-story accessory dwelling unit and/or junior accessory dwelling unit shall not be constructed on any building elevation facing a street.
- (5) *Detached and/or attached accessory dwelling units.* A detached and/or attached accessory dwelling unit shall match the existing architectural style of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling. An exception to this requirement may be granted pursuant to the requirements of the California Code of Regulations, Title 24.
- (6) *Attached garage conversion.* An existing attached garage that is converted to an accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match those of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling to remove any appearance that the structure was originally a garage.
- (7) *Detached garage conversion.* An existing detached garage that is converted to an accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match the remaining portions of the detached structure by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim that remove any appearance that the structure was originally a garage.

Sec. 29.10.325. By-right accessory dwelling unit development requirements.

As provided in California Government Code Sections 66323, the following are the development requirements for by-right accessory dwelling units.

- (a) *Development requirements.* Construction of a by-right accessory dwelling unit shall be subject to the development requirements specified by Table 1-3 (By-Right Accessory Dwelling Unit Development Requirements) below:

Table 1.3. By-Right Accessory Dwelling Unit Development Requirements

Table 1.3. By-Right Accessory Dwelling Unit Development Requirements					
	Single-Family Properties		Multi-Family Properties		
	Interior/ conversion ADU ⁽³⁾	New construction detached ADU	Interior/ conversion ADU ⁽⁴⁾	New construction detached ADU	
				On lot with existing MFD	On lot with proposed MFD
Maximum Number (may be combined)	One (1)	One (1)	One (1), or 25 percent of existing units, whichever is greater	Eight (8), provided the number of ADUs pursuant to this clause does not exceed the number of primary dwelling units.	Two (2)
FAR	N/A	N/A	N/A	N/A	N/A
Maximum Size	N/A ⁽²⁾	800 square feet	N/A ⁽²⁾	800 square feet	800 square feet
Setbacks ⁽¹⁾					
Front	Sufficient for fire and safety	Per the applicable zoning district ⁽⁵⁾	Sufficient for fire and safety	Sufficient for fire and safety	Per the applicable zoning district ⁽⁵⁾
Side/ Street-Side		4 feet minimum			4 feet minimum
Rear		4 feet minimum			4 feet minimum
From any other structure located on the same lot ⁽⁶⁾	N/A	5 feet minimum	N/A		5 feet minimum
<p>(1) Cornices, eaves, belt courses, sills, canopies, bay windows, chimneys, or other similar architectural features may extend into required setbacks as specified in Section 29.40.070 (b) of the Zoning Code.</p> <p>(2) Must be located within the converted space of a proposed or existing single-family residence or accessory structure, or within the converted non-livable space of an existing multi-family dwelling. On a single-family property, an existing accessory structure may be expanded by no more than 150 square feet to accommodate ingress and egress.</p> <p>(3) Includes attached garages.</p> <p>(4) Such as storage rooms, boiler rooms, passageways, attics, basements, or garages.</p> <p>(5) Front setback requirements shall not preclude construction of by-right accessory dwelling units.</p> <p>(6) Measured from the exterior wall surface and/or supporting posts.</p>					

(c) *Exceptions.* Detached accessory dwelling units exceeding a combined square footage of four hundred fifty (450) square feet in the R-1, R-D, R-M, RMH, and R-1D zones shall not be subject to the Administrative Procedure for Minor Residential Projects. Detached accessory dwelling units exceeding a combined square footage of six hundred (600) or one thousand (1,000) square feet in the HR and RC zones shall not be subject to Development Review Committee or Planning Commission approval.

Sec. 29.10.330. Junior dwelling unit development standards.

(a) *Location.* A junior accessory dwelling unit shall be constructed entirely within the walls of the proposed or existing single-family residence. For the purposes of this paragraph, enclosed uses within the residence, such as attached garages, are considered a part of the proposed or existing single-family residence. Junior accessory dwelling units may not be located within the space of, or attached to, a detached accessory structure of any type.

- (b) *Setbacks.* A junior accessory dwelling unit shall be subject to the setback requirements of the applicable zoning district for a single-family residence, or the setbacks established by the existing single-family residence within which the junior accessory dwelling unit is located, whichever is less and sufficient for fire safety.
- (c) *Maximum unit size.* The maximum size of a junior accessory dwelling unit is five hundred (500) square feet of interior livable space.
- (d) *Entrances.* A junior accessory dwelling unit shall include a separate entrance from the main entrance to the proposed or existing single-family residence. When separate sanitation facilities are not included within the space of the junior accessory dwelling unit, an interior entry into the main living area of the primary dwelling shall be provided in addition to the separate entrance from the main entrance to the proposed or existing single-family residence. A junior accessory dwelling unit contained on a second story shall be served by a separate, dedicated interior or exterior stairway. A passageway from the accessory dwelling unit to a public street may be created but shall not be required by the Town.
- (e) *Kitchen.* A junior accessory dwelling unit shall contain a kitchen or an efficiency kitchen.
- (f) *Sanitation facilities.* A junior accessory dwelling unit may include separate sanitation facilities, or it may share sanitation facilities with the single-family residence. If sanitation facilities are not provided within the space of the junior accessory dwelling unit, an interior doorway shall be provided between the junior accessory dwelling unit and the living area of the single-family dwelling.
- (g) *Owner-occupancy.* If sanitation facilities are not provided within the space of the junior accessory dwelling unit, the property owner shall reside in the single-family residence in which the junior accessory dwelling unit is located. The property owner may reside in either the remaining portion of the single-family residence or the newly created junior accessory dwelling unit. Owner-occupancy shall not be required if the owner is another governmental agency, land trust, or housing organization.
- (h) *Deed Restriction.* Prior to Building Permit issuance, the applicant shall record a Deed Restriction in the form prescribed by the Town, which shall run with the land and provide for all the following:
 - (1) A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers.
 - (2) A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this section.
 - (3) Owner-occupancy consistent with this section.
- (i) *Fire or life protection.* For purposes of any fire or life protection ordinance or regulation, a junior accessory dwelling unit shall not be considered a separate or new dwelling unit.

Sec. 29.10.335. Unpermitted units.

This section provides a mechanism to legalize unpermitted accessory dwelling units and junior accessory dwelling units in compliance with California Government Code Section 66311.7.

- (a) *Applicability.* This section applies to accessory dwelling units and junior accessory dwelling units that were unlawfully constructed prior to January 1, 2020, and that have not been deemed substandard pursuant to Section 17920.3 of the Health and Safety Code by the Building Official. The Community Development Director may determine construction date by any credible means warranted, including use of aerial photography, county records, photographs, and signed affidavits.
- (b) *Relief.* The Town shall not deny a permit to legalize an unpermitted accessory dwelling unit and/or junior accessory dwelling unit solely due to either of the following:
 - (1) The accessory dwelling unit and/or junior accessory dwelling unit is in violation of building standards pursuant to Article 1 (commencing with Section 17960) of Chapter 5 of Part 1.5 of Division 13 of the Health and Safety Code; or
 - (2) The accessory dwelling unit and/or junior accessory dwelling unit does not comply with this Chapter or California Government Code Section 66333 through 66339.5.
- (c) *Approval.* An unpermitted accessory dwelling unit and/or junior accessory dwelling unit may be legalized in compliance with Section 29.10.315 (Review Process).
- (d) *Enforcement.* A property owner who makes known to the Town the existence of an unpermitted accessory dwelling unit and/or junior accessory dwelling unit, but who fails to obtain and finalize a Building Permit, shall be subject to enforcement and penalties as specified by Division 9 of this Chapter.
- (e) *Exception.* The Town may deny a permit to legalize an unpermitted accessory dwelling unit and/or junior accessory dwelling unit if the Building Official makes a finding that correcting any violation(s) is necessary to protect the health and safety of the public or occupants of the structure.

Sec. 29.10.340. Nonconforming accessory dwelling units and junior accessory dwelling units.

- (a) *Permits.* The owner of a nonconforming accessory dwelling unit and/or junior accessory dwelling unit, as defined in Section 29.10.310, must obtain a permit in compliance with Section 29.10.315 (Review Process).

Where an application has been submitted for a nonconforming accessory dwelling unit and/or junior accessory dwelling unit and Town records do not establish its nonconforming status, the property owner will have sixty (60) days from the date the Town provides notice of its findings to submit any facts and evidence to support a claim that the unit is nonconforming as defined in this Article. If at the end of sixty (60) days evidence has not been submitted by the

property owner to establish the accessory dwelling unit and/or junior accessory dwelling unit is nonconforming to the satisfaction of the Community Development Director, the unit shall be determined to be an unpermitted accessory dwelling unit pursuant to section 29.10.335 and subject to its regulations.

- (b) *Units existing at time of annexation.* Upon annexation a lawful accessory dwelling unit and/or junior accessory dwelling unit shall become nonconforming and the owner must either apply for a permit pursuant to Section 29.10.315 (Review Process) within one (1) year of the date of annexation. A property owner who makes known to the Town the existence of a nonconforming accessory dwelling unit and/or junior accessory dwelling unit but who fails to obtain and finalize a Building Permit, shall be subject to enforcement and penalties as specified by Division 9 of this chapter.

Sec. 29.10.350. Elimination and/or demolition of existing accessory dwelling units and/or junior accessory dwelling units.

In order to eliminate and/or demolish, without replacement, an approved accessory dwelling unit and/or junior accessory dwelling unit, the Development Review Committee shall make the finding that the proposed elimination and/or demolition, (without replacement), is consistent with the Town's Housing Element of the General Plan. In order to eliminate and/or demolish an existing accessory dwelling unit, the Development Review Committee must make the demolition findings pursuant to Section 29.10.09030.

Sec. 29.10.355. Nonconforming zoning conditions.

The Town shall not deny an application for a permit to create an accessory dwelling unit and/or junior accessory dwelling unit based on a need for the correction of nonconforming zoning conditions, building code violations, or unpermitted structures that do not present a threat to public health and safety and that are not affected by the construction of the accessory dwelling unit and/or junior accessory dwelling unit.

Sec. 29.10.360. Utilities.

- (a) An accessory dwelling unit may be required to have a new or separate utility connection, including a separate sewer lateral, between the accessory dwelling unit and the utility. A connection fee or capacity charge may be charged that is proportionate to the size in square feet of the accessory dwelling unit or its drainage fixture unit (DFU) values.
 - (1) Exceptions: Junior accessory dwelling units, by-right accessory dwelling units within the proposed space of a single-family dwelling, or by-right accessory dwelling units within the existing space of a single-family dwelling or accessory structure are exempt from any requirement to install a new or separate utility connection and to pay any associated connection or capacity fees or charges, unless the unit was constructed with a new single-family dwelling.

Sec. 29.10.365. Fees.

- (a) *Connection fees and capacity charges.* An accessory dwelling unit shall not be considered by the Town, special district, or water corporation to be a new residential use for purposes of calculating connection fees or capacity charges for utilities, including water and sewer service, unless the accessory dwelling unit was constructed with a new single-family dwelling.
- (b) *Impact fees.* An accessory dwelling unit with less than seven hundred fifty (750) square feet of interior livable space or a junior accessory dwelling unit is exempt from impact fees imposed by the Town, special district, or water corporation. An accessory dwelling seven hundred fifty (750) square feet or greater is subject to the Traffic Impact Fee requirements of the Town's Traffic Impact Policy (Policy 1-08), as may be amended from time to time. Any impact fees charged for an accessory dwelling unit of seven hundred fifty (750) square feet or more of interior livable space shall be charged proportionately in relation to the square footage of the primary dwelling unit. For purposes of this subparagraph, "impact fee" has the same meaning as the term "fee" is defined in subdivision (b) of California Government Code Section 66000, except that it also includes fees specified in Section 66477. "Impact fee" does not include any connection fee or capacity charge charged by a local agency, special district, or water corporation.
- (c) For the purposes of this section and Section 17620 of the Education Code, an accessory dwelling unit or junior accessory dwelling unit that contains less than 500 square feet of interior livable space shall, for the purpose of subparagraph (C) of paragraph (1) of subdivision (a) of Section 17620 of the Education Code, be considered other residential construction that does not increase assessable space by 500 square feet.
- (d) A homeowner applying for a permit for a previously unpermitted accessory dwelling unit or junior accessory dwelling unit constructed before January 1, 2020, shall not be required to pay impact fees or connection or capacity charges except when utility infrastructure is required to comply with Section 17920.3 of the Health and Safety Code and when the fee is authorized by this Section.

Secs. 29.10.370—29.10.400. Reserved.

SECTION II. The definition of "attic" included in Section 29.10.020, "Definitions," of Chapter 29, "Zoning Regulations," of the Town of Los Gatos Town Code is amended to read as follows:

Sec. 29.10.020. Definitions.

Attic means a non-habitable space (that may or may not be used for storage) with a maximum height of seven (7) feet as measured from the upper surface of the attic floor to the underside of the roof above. For the purposes of this definition, unfinished attic spaces are considered to have floor surfaces. Once an attic space exceeds seven (7) feet in height, all areas down to five (5) feet will be counted toward the floor area ratio.

SECTION III. California Environmental Quality Act (CEQA) Considerations.

The Town Council finds that the proposed amendments are not subject to CEQA review pursuant to CEQA, Section 15061(b)(3), because it can be seen with certainty that they will not significantly affect the physical environment in that they make minor changes to the regulations applicable to accessory dwelling units and definitions. Additionally, the proposed amendments are Statutorily Exempt pursuant to Public Resources Code Section 21080.17.

SECTION IV. Severability.

In the event that a court of competent jurisdiction holds any Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance unconstitutional, preempted, or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The Town hereby declares that it would have adopted each Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more Sections, subsections, paragraphs, sentences, clauses or phrases in this Ordinance might be declared unconstitutional, preempted, or otherwise invalid.

SECTION V. Publication.

In accordance with Section 63937 of the Government Code of the State of California, this Ordinance takes effect 30 days from the date of its passage. The Town Council hereby directs the Town Clerk to cause this Ordinance or a summary thereof to be published or posted in accordance with Section 36933 of the Government Code of the State of California.

SECTION VI. Effective Date.

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the ___th day of _____ 2026, and adopted by the Town Council of the Town of Los Gatos at its regular meeting on the ____ day of _____ 2026, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DIVISION 7. ACCESSORY DWELLING UNITS

Sec. 29.10.305. Intent and authority.

This Division is adopted to comply with amendments to Government Code Sections 66310-66342, §§ 65852.2, 65852.22, 65852.23, and 65852.26, which mandate that applications for accessory dwelling units be considered ministerially without a public hearing; and sets Town standards for the development of accessory dwelling units in order to increase the supply of affordable housing in a manner that is compatible with existing neighborhoods.

Sec. 29.10.310. Definitions.

The following words, terms, and phrases, when used in these accessory dwelling unit regulations, shall have the meanings ascribed to them in this section:

Accessory dwelling unit means a detached, ~~or~~ attached, or conversion residential dwelling unit that is located on the same parcel as a proposed or existing primary-single-family or multi-family dwelling. It shall provide complete independent living facilities for one or more persons with permanent provisions for living, sleeping, eating, cooking, and sanitation. An accessory dwelling unit also includes efficiency units and manufactured homes.

- (1) A detached accessory dwelling unit is physically separate from a primary dwelling.
- ~~(2) An attached accessory dwelling unit is contained within the space of and/or physically attached to a proposed or existing primary dwelling.~~
- (2) An attached accessory dwelling unit is:
 - a. Constructed as a physical expansion (i.e., addition) of an existing primary dwelling unit, including construction of a new basement underneath a primary dwelling unit to accommodate an accessory dwelling unit; or
 - b. Constructed as part of a proposed primary dwelling unit;
- (3) A conversion accessory dwelling unit is:
 - a. Contained within the existing space of a primary dwelling unit, including within its living area, basement, or attached garage;
 - b. Created from non-livable space of a multi-family dwelling; or
 - c. Contained within the existing space of an accessory building or structure as defined by Town Code Section 29.10.020.

By-right accessory dwelling unit means an accessory dwelling unit and/or junior accessory dwelling unit that complies with California Government Code Section 66323, which allows for a streamlined approval process exempt from some Town development standards.

Conversion means modification of existing floor area/interior space for the purpose of converting to an accessory dwelling unit or junior accessory dwelling unit.

Efficiency kitchen means a limited kitchen that includes a cooking facility with appliances, a food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling

unit. Examples of cooking appliances that may be used are: microwave ovens, hot plates, and similar appliances intended for use on top of a countertop. Refrigerator size is not limited.

Efficiency unit has the meaning set forth in Section 17958.1 of the Health and Safety Code.

High-quality transit corridor has the meaning set forth in Section 21155 of the Public Resources Code.

Hillside Area means all properties located within the Hillside Area Map of the Town's Hillside Development Standards and Guidelines.

Junior accessory dwelling unit means a dwelling unit that does not exceed an interior livable space floor area of five hundred (500) square feet and is entirely contained within the space of a proposed or existing single-family residence. For the purposes of this definition, enclosed spaces within the single-family residence, such as attached garages, are considered a part of the proposed or existing single-family residence. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure.

Kitchen means a cooking facility that includes a permanently installed cooking appliance, sink, refrigerator, food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the dwelling unit.

~~Legal nonconforming zoning condition means a physical improvement on a property that was lawful when it was constructed but does not conform with current zoning standards.~~

Livable space means a space in a dwelling intended for human habitation, including living, sleeping, eating, cooking, and sanitation.

Living area means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.

Major transit stop has the meaning set forth in Section 21155 of the Public Resources Code.

Manufactured home has the meaning set forth in Section 18007 of the Health and Safety Code.

Nonconforming accessory dwelling unit means a unit that exists under the following circumstances:

- (1) A unit which was created or converted lawfully but, due to a zone change or an amendment to the zoning ordinance, became nonconforming; or
- (2) A unit which was created lawfully while within the County but, upon annexation to the Town, became nonconforming.

Nonconforming zoning condition means a physical improvement on a property that does not conform with current zoning standards.

Objective design standards means standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal.

Passageway means a pathway that is unobstructed, clear to the sky, and extends from a street to one (1) entrance of the accessory dwelling unit and/or junior accessory dwelling unit.

Permitting agency means any entity that is involved in the review of a permit for an accessory dwelling unit or junior accessory dwelling unit and for which there is no substitute, including, but not limited to, applicable planning departments, building departments, utilities, and special districts.

Proposed dwelling means a dwelling that is the subject of a permit application and that meets the requirements for permitting.

Public transit means a location, ~~such as including but not limited to~~, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.

Tandem parking means that two (2) or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.

Town-standard accessory dwelling unit means an accessory dwelling unit that complies with Town development standards as permitted under California Government Code Sections 66314 to 66322.

Unpermitted accessory dwelling unit means a dwelling unit that was created through the construction of a new structure or expansion of an existing structure without the benefit of a Building Permit (at a time when a Building Permit was required) and that cannot be otherwise legalized because it does not comply with development standards provided in this Chapter.

Sec. 29.10.315. Review process.

(a) Development of an accessory dwelling unit and/or junior accessory dwelling unit consistent with this division shall be reviewed ministerially as a Building Permit ~~and be subject to the following: and the Town shall take final action within sixty (60) days of submittal of a complete application.~~

~~(1) When an accessory dwelling unit and/or junior accessory dwelling unit is proposed in conjunction with a permit application to create a new single-family or multi-family dwelling, the Town shall not take final action on the accessory dwelling unit and/or junior accessory dwelling unit until the application for the new single-family or multi-family dwelling is approved.~~

~~(2) The Town shall not issue a Certificate of Occupancy for an accessory dwelling and/or junior accessory dwelling unit before the Town issues a Certificate of Occupancy for the primary dwelling.~~

(1) *Application review.* Upon receipt of an application to create or serve an accessory dwelling unit, the Town shall determine whether the application is complete and provide written notice of this determination to the applicant not later than fifteen (15) business days after receiving the application. If the Town determines the application is incomplete, the applicant may cure and address the items that are deemed to be incomplete by the permitting agency. When reviewing a revised application submitted to address the identified incomplete determination, the permitting agency shall not require the application to include an item that was not included in the list of incomplete items provided in the written determination. Upon receipt of a revised application, the Town shall determine whether the application is complete and provide written notice of this determination to the applicant not later than 15 business days after receiving the application. If a permitting agency does not make a timely determination as required by this paragraph, the application or resubmitted application shall be deemed to be complete for the purposes of this section. If a permit application is determined to be incomplete or is denied, the determination may be appealed to the Planning Commission within ten (10) days of the decision pursuant to Town Code Section 29.20.255. The appeal shall be subject to the procedures contained in 29.20.260 and 29.20.265. The Planning Commission shall provide a final determination no later than 60 business days after receipt of the applicant's written appeal.

(2) *Final action.* The Town shall take final action within sixty (60) days of receiving a complete application. When an accessory dwelling unit and/or junior accessory dwelling unit is proposed in conjunction with a permit application to create a new single-family or multi-family dwelling, the Town shall not take final action on the accessory dwelling unit and/or junior accessory dwelling unit until the application for the new single-family or multi-family dwelling is approved.

(3) *Certificate of occupancy.* The Town shall not issue a Certificate of Occupancy for an accessory dwelling and/or junior accessory dwelling unit before the Town issues a Certificate of Occupancy for the primary dwelling, unless the conditions of California Government Code Section 66328 are met.

(4) Demolition. A demolition permit for a detached garage that is to be replaced with an accessory dwelling unit shall be reviewed with the application for the accessory dwelling unit and issued at the same time.

- (b) *Notification.* The Town shall not require, and the applicant shall not be otherwise required to provide written notice or post a placard for construction of an accessory dwelling unit and/or junior accessory dwelling unit. No noticing shall be required for the demolition of a detached garage that is to be replaced with an accessory dwelling unit, unless the property is located within an architecturally and historically significant historic district.
- (c) *Denial.* An application may be denied if it does not meet the design and development standards. An application may also be denied if the following findings are made:
 - (1) Adverse impacts on health, safety, and/or welfare of the public.
- (d) *Appeals.* Accessory dwelling units and junior accessory dwelling units that are consistent with this division are ministerial and are not subject to an appeal.

Sec. 29.10.320. General requirements and restrictions.

The following requirements and restrictions apply to Town-standard accessory dwelling units, by-right accessory dwelling units, and junior accessory dwelling units.

- (a) *Incentive program.* Any accessory dwelling unit or junior accessory dwelling unit developed under an Incentive Program which may be established by Resolution of the Town Council shall be made affordable to eligible applicants pursuant to the requirements of the Incentive Program. A Deed Restriction shall be recorded specifying that the accessory dwelling unit or junior accessory dwelling unit shall be offered at a reduced rent that is affordable to a lower income renter (less than eighty (80) percent AMI) provided that the unit is occupied by someone other than a member of the household occupying the primary dwelling.
- (b) *Parcel requirements.* An accessory dwelling unit and/or junior accessory dwelling unit may only be created on parcels satisfying all the following general requirements:
 - (1) *Permitted zones.* A parcel zoned to allow single-family or multi-family residential use, ~~and-~~
 - (2) *Dwelling unit.* A parcel that includes a proposed or existing primary dwelling.
- ~~(c) *Number.* Accessory dwelling units and/or a junior accessory dwelling unit may be permitted on a residential parcel as follows:~~

~~(1) — *Single-family development.* Not more than one (1) junior accessory dwelling unit contained within the space of a proposed or existing single-family dwelling, and one (1) accessory dwelling unit, may be permitted on a lot with a proposed or existing primary dwelling.~~

~~(2) — *Multi-family development.* Not more than a number equal to twenty-five (25) percent of the existing multi-family dwelling units rounded up to the next whole number, within the portions of an existing multi-family dwelling not used as livable space (such as storage rooms, boiler rooms, passageways, attics, basements, or garages), and two (2) detached accessory dwelling units, may be permitted on a lot with a proposed or existing multi-family dwelling.~~

~~(d) — *Floor area ratio (FAR) standards.*~~

~~(1) — *Accessory dwelling units.* Accessory dwelling units (attached or detached) are allowed a ten (10) percent increase in the floor area ratio standards for all structures, excluding garages. Exception: Up to eight hundred (800) square feet of gross floor area of an accessory dwelling unit shall be exempt from the applicable FAR standards. This subsection does not apply to junior accessory dwelling units.~~

~~(2) — *Junior accessory dwelling units.* Junior accessory dwelling units are subject to the floor area ratio standards for all structures, excluding garages.~~

~~(ce) *Lot coverage.* All Aa accessory dwelling units and junior accessory dwelling units are exempt from the lot coverage standards applicable to the zone and the accessory structure lot coverage limitations included in Section 29.40.015 (A)(5).~~

~~(d) *Height.* Accessory dwelling units shall be subject to the height requirements below:~~

- (1) A height of sixteen (16) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling.
 - (2) A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling that is within one-half (½) mile walking distance of a major transit stop or a high-quality transit corridor. An additional two (2) feet in height shall be provided to accommodate a roof pitch on the accessory dwelling unit that is aligned with the roof pitch of the primary dwelling unit.
 - (3) A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing multi-family, multi-story dwelling.
 - (4) A height of twenty-five (25) feet or the height limitation of the applicable zoning district that applies to the primary dwelling, whichever is lower, for an accessory dwelling unit that is attached to a proposed or existing two-story primary dwelling.
 - (5) Accessory dwelling units may be added directly above an existing one-story accessory structure on a property with a proposed or existing two-story primary dwelling in the R-1, R-D, R-M, RMH, and R-1D zones. These second-story accessory dwelling units may not be internally connected to the accessory structure below by an interior staircase.
- (e) *Stories.* Accessory dwelling units and junior accessory dwelling units shall be contained within one (1) story.
- (f) *Entrances.* Attached accessory dwelling units, conversion accessory dwelling units, and junior accessory dwelling units shall include a separate entrance from the main entrance to the proposed or existing primary dwelling. An accessory dwelling unit or junior accessory dwelling unit contained on a second story shall be served by a separate, dedicated interior or exterior stairway. A passageway from the accessory dwelling unit or junior accessory dwelling unit to a public street may be created but shall not be required by the Town.
- (g) *Interior connection.* An attached accessory dwelling unit may, but shall not be required to, contain an interior doorway connection between the primary dwelling and the accessory dwelling unit.
- (h) *Balconies and Decks.* New balconies, rooftop terraces, and second-story decks are prohibited.
- (i) *Conversion of existing floor area.* An accessory dwelling unit shall be permitted if the accessory dwelling unit is contained within the existing space of, or constructed in the same location and manner as, an existing primary dwelling or accessory structure. The following provisions shall apply:
- (1) The accessory dwelling unit shall be located on a lot zoned to allow single-family, two-family, or multi-family residential use.
 - (2) The accessory dwelling unit shall have a separate entrance from the primary dwelling.
 - (3) The accessory dwelling unit shall have existing side and rear setbacks sufficient for fire safety.
 - (4) An expansion of one hundred fifty (150) square feet beyond the physical dimensions of an existing structure, limited to accommodating ingress and egress, shall be permitted.
 - (5) When an existing structure is nonconforming as to setback standards and converted to an accessory dwelling unit, any expansion of that structure may not be nearer to a property line than the existing building in accordance with section 29.10.245.
- (fj) *Parking.* One (1) parking space per accessory dwelling unit or per bedroom, whichever is less, shall be provided in addition to the required minimum number of parking spaces for the primary dwelling. These spaces may be provided in a front or side setback abutting a street on a driveway (provided that it is feasible based on specific site or fire and life safety conditions) or through tandem parking. In addition to parking otherwise required for units as set forth in section 29.10.150 of the Town Code, the number of off-street parking spaces required by this Chapter for the primary dwelling shall be provided prior to the issuance of a Building Permit or final inspection, for a new accessory dwelling unit.

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- (1) *Exceptions.* No parking space shall be required under any of the following conditions:
- a. No additional parking shall be required for a junior accessory dwelling unit.
 - b. The accessory dwelling unit is located within one-half (½) mile walking distance of public transit.
 - c. The accessory dwelling unit is located within an architecturally and historically significant historic district.
 - d. The accessory dwelling unit is contained within the proposed or existing space of, or constructed in substantially the same location and manner as, an existing primary dwelling or accessory structure.
 - e. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.
 - f. When there is a car share vehicle (as defined by the California Vehicle Code) located within one (1) block of the accessory dwelling unit.
 - g. When a permit application for an accessory dwelling unit is submitted with a permit application to create a new single-family dwelling or multi-family dwelling on the same lot.
 - h. When a garage is demolished in conjunction with the construction of an accessory dwelling unit, or converted to an accessory dwelling unit, any lost off-street parking spaces required for the primary dwelling shall not be required to be replaced.
 - i. When the Director finds that the lot does not have adequate area to provide parking.

~~(g) — *Design standards.* The purpose of these objective design standards is to ensure that the residential appearance of a property is maintained and that an accessory dwelling unit and/or junior accessory dwelling unit are compatible with the primary dwelling and the neighborhood. The following objective design standards apply to the construction of an accessory dwelling unit and/or junior accessory dwelling unit:~~

- ~~(1) — *Front entryway.* A front entryway framing a front door shall have a roof eave that matches or connects at the level of the adjacent eave line.~~
- ~~(2) — *Front porch.* If proposed, front porches shall have a minimum depth of six (6) feet and a minimum width equal to twenty five (25) percent of the linear width of the front elevation.~~
- ~~(3) — *Windows.* All second-story windows less than ten (10) feet from rear and/or side property lines shall be clerestory with the bottom of the glass at least six (6) feet above the finished floor, except as necessary for egress purposes as required by the Building Code.~~
- ~~(4) — *Balconies and Decks.* Balconies, rooftop terraces, and second-story decks are prohibited for all accessory dwelling units and junior accessory dwelling units.~~
- ~~(5) — *Outside stairways.* Outside stairways serving a second-story accessory dwelling unit and/or junior accessory dwelling unit shall not be constructed on any building elevation facing a street. This standard shall not preclude construction of an eight hundred (800) square foot accessory dwelling unit.~~
- ~~(6) — *Detached and/or attached accessory dwelling units.* A detached and/or attached accessory dwelling unit shall match the existing architectural style of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling.~~

An exception to this requirement may be granted pursuant to the requirements of the California Code of Regulations, Title 24.

~~(7) Attached garage conversion. An existing attached garage that is converted to an accessory dwelling unit and/or junior accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match those of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling to remove any appearance that the structure was originally a garage.~~

~~(8) Detached garage conversion. An existing detached garage that is converted to an accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match the remaining portions of the detached structure by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim that remove any appearance that the structure was originally a garage.~~

(kH) Grading.

(1) ~~To the extent~~As required by Chapter 12, Article II and Section 29.10.09045 (b) of the Town Code, the grading activities shall not exceed 50 cubic yards, cut plus fill, unless exempted per set forth in subsection (2) below or unless first receiving approval of a may require a Grading Permit, but will not require discretionary ~~review of an~~ Architecture and Site Application.

(2) Grading exemptions: activities associated with the construction of an accessory dwelling unit and/or junior accessory dwelling unit shall not exceed fifty (50) cubic yards, cut plus fill, except:

- a. Light wells that do not exceed the minimum required by the Building Code; ~~shall not count as grading activity for the purpose of this section.~~
- ii. Grading activities required to provide the minimum driveway and fire access as required by the Santa Clara County Fire Department; and
- b. Excavation within the footprint of a proposed accessory dwelling unit and/or junior accessory dwelling unit, shall not count as grading activity for the purpose of this section.

Note that these exemptions are only for the discretionary approval requirement listed in Town Code Section 29.10.09045 (b) and not the Grading Permit requirement at building permit submittal per Town Code Chapter 12, Article II.

(i) Cut and fill. Construction of an accessory dwelling unit and/or a junior accessory dwelling unit shall be subject to the cut and fill requirements specified by Table 1-1 (Cut and Fill Requirements for Accessory Dwelling Units and Junior Accessory Dwelling Units) below:

Table 1-1. Cut and Fill Requirements for Accessory Dwelling Units and Junior Accessory Dwelling Units		
Site Element	Cut*	Fill*
Accessory dwelling unit/junior accessory dwelling unit	4 feet	3 feet
Driveways**	4 feet	3 feet
Other (decks, yards)*	4 feet	3 feet
* Combined depths of cut plus fill for an accessory dwelling unit or junior accessory dwelling unit shall be limited to six (6) feet.		
** Excludes cut and fill for the minimum driveway and fire access standards as required by the Santa Clara County Fire Department.		

(mj) Retaining walls. Retaining walls shall not exceed five (5) feet in height and shall not run in a continuous direction for more than fifty (50) feet without a break, offset, or planting pocket. Retaining walls shall have a five (5) foot landscape buffer adjacent to the street.

- (nk) *Light reflectivity value.* Exterior materials for accessory dwelling units and/or junior accessory dwelling units in the Hillside ~~Overlay Area~~ shall comply with requirements in Chapter V, Section I, of the Town's Hillside Development Standards and Guidelines.
- (ol) *Landscaping.* All landscaping shall comply with the California Model Water Efficient Landscape Ordinance (MWELO).
- (pm) *Lighting.* New exterior lighting fixtures shall be downward directed and utilize shields so that no bulb is visible to ensure that the light is directed to the ground surface and does not spill onto neighboring parcels consistent with Section 29.10.09015 of the Town Code.
- (qm) *Trees.* Any proposed work shall comply with the protection, removal, and replacement requirements for protected trees in Chapter 29, Article I, Division 2, "Tree Protection," of the Town Code.
- (re) *Stormwater management.* The development shall comply with the requirements of the Town's National Pollution Discharge Elimination System Permit as implemented by Chapter 22 of the Town Code, and as demonstrated by a grading and drainage plan prepared by a registered civil engineer.
- (sp) *Conveyance.* Except as provided in CA Government Code Section ~~6634165852-26~~, an accessory dwelling unit may be rented separate from the primary dwelling but may not be sold or otherwise conveyed separate from the primary dwelling.
- (tq) *Town codes and ordinances.* All accessory dwelling units and junior accessory dwelling units shall comply with all the provisions of this Chapter and other applicable Town Codes.
- (uf) *Building codes.* All accessory dwelling units and junior accessory dwelling units shall comply with applicable building, health, and fire codes, except that the construction of an accessory dwelling unit shall not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code (Title 24 of the California Code of Regulations), unless the Building Official or enforcement agency of the local agency makes a written finding based on substantial evidence in the record that the construction of the accessory dwelling unit could have a specific, adverse impact on public health and safety.
- (sv) *Rentals longer than 30 days.* Rentals for durations of less than thirty (30) days, including short-term rentals (as defined by the California Government Code), are prohibited.
- (wt) *Maximum number of dogs, cats, or litters.* All accessory dwelling units shall comply with Section 4.40.010 of the Town Code.
- (x) Density. Accessory dwelling units that conform to California Government Code Section 66314 shall be deemed an accessory use and shall not be considered to exceed the allowable density for the lot upon which the accessory dwelling unit is located, and that accessory dwelling units are a residential use that is consistent with the existing General Plan and zoning designation for the lot.
- (y) Fire sprinklers. The installation of fire sprinklers shall not be required in an accessory dwelling unit or a junior accessory dwelling unit if sprinklers are not required for the primary residence. The construction of an accessory dwelling unit or junior accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling or existing multi-family dwelling.

Sec. 29.10.325. Town-standard Accessory dwelling unit development standards requirements.

An accessory dwelling unit must comply with the following objective development standards:

As provided in California Government Code Sections 66314, the following are the Town development requirements for a Town-standard accessory dwelling unit.

(a) *Location.*

- (1) No ~~detached-Town-standard~~ accessory dwelling unit may be constructed in front of the primary dwelling except in the HR and RC zones.
- (2) No Town-standard accessory dwelling unit may be constructed in front of a primary dwelling or added to an existing second story of a primary dwelling that is any of the following:
 - a. A Historic Structure, as defined in section 29.10.020 of the Zoning Code;
 - b. Listed in the Town of Los Gatos Historic Resource Inventory, as defined by Town Code Chapter 29, Article VII, Division 3, "Historic Preservation and LHP or Landmark and Historic Preservation Overlay Zone;" or
 - c. Listed in the California Register of Historical Resources.

(b) *Development requirements.* Construction of a Town-standard accessory dwelling unit shall be subject to the development requirements specified by Table 1-2 (Town-standard Accessory Dwelling Units Development Requirements) below:

Table 1-2. Town-standard Accessory Dwelling Units Development Requirements			
	<u>Conversion ADU⁽¹⁾</u>	<u>New construction detached ADU</u>	<u>Attached ADU</u>
<u>Maximum Number</u>	<u>One (1) total</u>		
<u>FAR</u>	<u>Town-standard accessory dwelling units located on a property with a proposed or existing single-family residence are allowed a ten (10) percent increase in the floor area ratio standards for all structures, excluding garages. This increase shall not be less than 800 square feet and shall not exceed 1,200 square feet per property. If a property exceeds FAR standards, the increase provided herein is limited to 800 square feet. This increase does not apply to by-right accessory dwelling units or junior accessory dwelling units.</u> <u>Floor area ratio standards do not apply to multi-family residential properties. A Town-standard accessory dwelling unit located on a property with a proposed or existing multi-family residence may be up to 800 square feet.</u>		
<u>Maximum Size</u>	<u>Single-family property: 1,200 square feet;</u> <u>Multi-family property: 800 square feet</u>	<u>Single-family property: 1,200 square feet;</u> <u>Multi-family property: 800 square feet</u>	<u>Single-family property: 1,200 square feet⁽⁴⁾</u> <u>Multi-family property: 800 square feet⁽⁴⁾</u>
<u>Setbacks⁽²⁾</u>			
<u>Front</u>	<u>N/A</u>	<u>Per the applicable zoning district</u>	<u>Per the applicable zoning district</u>
<u>Rear</u>	<u>Sufficient for fire and safety</u>	<u>4 feet minimum</u>	<u>4 feet minimum</u>
<u>Side (including street-side)</u>	<u>Sufficient for fire and safety</u>	<u>4 feet minimum</u>	<u>4 feet minimum</u>
<u>From any other structure located on the same lot⁽³⁾</u>	<u>N/A</u>	<u>5 feet minimum</u>	<u>5 feet minimum</u>
<u>(1) Includes attached garages.</u>			

- (2) Cornices, eaves, belt courses, sills, canopies, bay windows, chimneys, or other similar architectural features may extend into required setbacks as specified in Section 29.40.070 (b) of the Zoning Code.
- (3) Measured from the exterior wall surface and/or supporting posts.
- (4) May not exceed 50 percent of the size of the primary dwelling.

(c) *Exceptions.* Detached accessory dwelling units exceeding a combined square footage of four hundred fifty (450) square feet in the R-1, R-D, R-M, RMH, and R-1D zones shall not be subject to the Administrative Procedure for Minor Residential Projects. Detached accessory dwelling units exceeding a combined square footage of six hundred (600) or one thousand (1,000) square feet in the HR and RC zones shall not be subject to Development Review Committee or Planning Commission approval.

(d) *Design standards.* The purpose of these objective design standards is to ensure that the residential appearance of a property is maintained and that a Town-standard accessory dwelling unit is compatible with the primary dwelling and the neighborhood. The following objective design standards apply only to Town-standard accessory dwelling units and do not apply to by-right accessory dwelling units:

- (1) *Front entryway.* A front entryway framing a front door shall have a roof eave that matches or connects at the level of the adjacent eave line.
- (2) *Front porch.* If proposed, front porches shall have a minimum depth of six (6) feet and a minimum width equal to twenty-five (25) percent of the linear width of the front elevation.
- (3) *Windows.* All second-story windows less than ten (10) feet from rear and/or side property lines shall be clerestory with the bottom of the glass at least six (6) feet above the finished floor, except as necessary for egress purposes as required by the Building Code.
- (4) *Outside stairways.* Outside stairways serving a second-story accessory dwelling unit and/or junior accessory dwelling unit shall not be constructed on any building elevation facing a street.
- (5) *Detached and/or attached accessory dwelling units.* A detached and/or attached accessory dwelling unit shall match the existing architectural style of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling. An exception to this requirement may be granted pursuant to the requirements of the California Code of Regulations, Title 24.
- (6) *Attached garage conversion.* An existing attached garage that is converted to an accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match those of the primary dwelling by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim as the primary dwelling to remove any appearance that the structure was originally a garage.
- (7) *Detached garage conversion.* An existing detached garage that is converted to an accessory dwelling unit shall include removal of the vehicle garage door(s), which shall be replaced with architectural features to match the remaining portions of the detached structure by using the same exterior wall material, wainscot, trim material, roofing material, and window frames/trim that remove any appearance that the structure was originally a garage.

(b) *Setbacks.* Accessory dwelling units shall be subject to the setback requirements specified in Table 1-2 (Accessory Dwelling Unit Setback Requirements) below:

Table 1-2. Accessory Dwelling Unit Setback Requirements ⁽¹⁾						
	Single-Family			Multi-Family		
	New construction	New attached ADU	New attached ADU	New construction	Conversion of portions existing	Conversion of existing

	detached ADU	within the existing space of the primary dwelling ⁽²⁾ or accessory structure	within the proposed space of the primary dwelling	detached ADU	multi-family dwelling not used as livable space ⁽³⁾	accessory structure(s)
Front	Per the applicable zoning district ⁽⁴⁾	N/A	Per the applicable zoning district ⁽⁴⁾	Per the applicable zoning district ⁽⁴⁾	N/A	N/A
Rear	4-foot minimum	Sufficient for fire and safety	4-foot minimum	4-foot minimum		
-Side (including street-side)	4-foot minimum		4-foot minimum	4-foot minimum		
-From any other structure located on the same lot ⁽⁵⁾	5-foot minimum	N/A	5-foot minimum	5-foot minimum	N/A	N/A
<p>(1) Cornices, eaves, belt courses, sills, canopies, bay windows, chimneys, or other similar architectural features may extend into required setbacks as specified in Section 29.40.070 (b) of the Zoning Code.</p> <p>(2) Includes attached garages.</p> <p>(3) Such as storage rooms, boiler rooms, passageways, attics, basements, or garages.</p> <p>(4) Front setback requirements shall not preclude construction of an 800 square-foot accessory dwelling unit.</p> <p>(5) Measured from the exterior wall surface and/or supporting posts.</p>						

(c) — *Maximum unit size.*

(1) — The maximum floor area of an accessory dwelling unit is one thousand two hundred (1,200) square feet.

(2) — An attached accessory dwelling unit that is not created through conversion of existing space shall not exceed fifty (50) percent of the size of the existing primary dwelling. Exception: Up to eight

hundred (800) square feet of gross floor area of an attached accessory dwelling unit shall be exempt from this subsection.

(3) ~~Detached accessory dwelling units exceeding a combined square footage of four hundred fifty (450) square feet in the R-1, R-D, R-M, RMH, and R-1D zones shall not be subject to the Administrative Procedure for Minor Residential Projects. Detached accessory dwelling units exceeding a combined square footage of six hundred (600) or one thousand (1,000) square feet in the HR and RC zones shall not be subject to Development Review Committee or Planning Commission approval.~~

(d) ~~Maximum number of bedrooms. There is no limit on the number of bedrooms in an accessory dwelling unit.~~

(e) ~~Stories. Accessory dwelling units shall be contained within one (1) story.~~

(f) ~~Height. Accessory dwelling units shall be subject to the height requirements below:~~

(1) ~~A height of sixteen (16) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling.~~

(2) ~~A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing single-family or multi-family dwelling that is within one-half of one mile walking distance of a major transit stop or a high-quality transit corridor. An additional two feet in height shall be provided to accommodate a roof pitch on the accessory dwelling unit that is aligned with the roof pitch of the primary dwelling unit.~~

(3) ~~A height of eighteen (18) feet for a detached accessory dwelling unit on a lot with a proposed or existing multi-family, multi-story dwelling.~~

(4) ~~A height of twenty-five (25) feet or the height limitation of the applicable zoning district that applies to the primary dwelling, whichever is lower, for an accessory dwelling unit that is attached to a proposed or existing two-story primary dwelling.~~

(5) ~~Accessory dwelling units may be added directly above an existing one-story accessory structure on a property with a proposed or existing two-story primary dwelling in the R-1, R-D, R-M, RMH, and R-1D zones. These second-story accessory dwelling units may not be internally connected to the accessory structure below by an interior staircase.~~

(g) ~~Entrances. Attached accessory dwelling units shall include a separate entrance from the main entrance to the proposed or existing primary dwelling. An accessory dwelling unit contained on a second-story shall be served by a separate, dedicated interior or exterior stairway. A passageway from the accessory dwelling unit to a public street may be created but shall not be required by the Town.~~

(h) ~~Interior connection. An attached accessory dwelling unit may, but shall not be required to, contain an interior doorway connection between the primary dwelling and the accessory dwelling unit.~~

(i) ~~Conversion of existing floor area. An accessory dwelling unit shall be permitted if the accessory dwelling unit is contained within the existing space of, or constructed in the same location and manner as, an existing primary dwelling or accessory structure. The following provisions shall apply:~~

(1) ~~The accessory dwelling unit shall be located on a lot zoned to allow single-family, two-family, or multi-family residential use.~~

~~(2) — The accessory dwelling unit shall have a separate entrance from the primary dwelling.~~

~~(3) — The accessory dwelling unit shall have existing side and rear setbacks sufficient for fire safety.~~

~~(4) — An expansion of one hundred fifty (150) square feet beyond the physical dimensions of an existing structure, limited to accommodating ingress and egress, shall be permitted.~~

~~(5) — When an existing structure is nonconforming as to setback standards and converted to an accessory dwelling unit, any expansion of that structure may not be nearer to a property line than the existing building in accordance with section 29.10.245.~~

~~(j) — *Density.* Accessory dwelling units that conform to California Government Code Section 65852.2 shall be deemed an accessory use and shall not be considered to exceed the allowable density for the lot upon which the accessory dwelling unit is located, and that accessory dwelling units are a residential use that is consistent with the existing General Plan and zoning designation for the lot.~~

~~(k) — *Fire sprinklers.* Accessory dwelling units shall not be required to provide fire sprinklers if they are not required for the primary residence. The construction of an accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.~~

Sec. 29.10.325. By-right accessory dwelling unit development requirements.

As provided in California Government Code Sections 66323, the following are the development requirements for by-right accessory dwelling units.

(a) Development requirements. Construction of a by-right accessory dwelling unit shall be subject to the development requirements specified by Table 1-3 (By-Right Accessory Dwelling Unit Development Requirements) below:

Table 1.3. By-Right Accessory Dwelling Unit Development Requirements					
	Single-Family Properties		Multi-Family Properties		
	<u>Conversion ADU⁽³⁾</u>	<u>New construction detached ADU</u>	<u>Conversion ADU⁽⁴⁾</u>	<u>New construction detached ADU</u>	
				<u>On lot with existing MFD</u>	<u>On lot with proposed MFD</u>
<u>Maximum Number (may be combined)</u>	<u>One (1)</u>	<u>One (1)</u>	<u>One (1), or 25 percent of existing units, whichever is greater</u>	<u>Eight (8), provided the number of ADUs pursuant to this clause does not exceed the number of primary dwelling units.</u>	<u>Two (2)</u>
<u>FAR</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
<u>Maximum Size</u>	<u>N/A⁽²⁾</u>	<u>800 square feet</u>	<u>N/A⁽²⁾</u>	<u>800 square feet</u>	<u>800 square feet</u>
<u>Setbacks⁽¹⁾</u>					
<u>Front</u>	<u>Sufficient for fire and safety</u>	<u>Per the applicable zoning district⁽⁵⁾</u>	<u>Sufficient for fire and safety</u>	<u>Sufficient for fire and safety</u>	<u>Per the applicable zoning district⁽⁵⁾</u>
<u>Side/ Street-Side</u>		<u>4 feet minimum</u>			<u>4 feet minimum</u>
<u>Rear</u>		<u>4 feet minimum</u>			<u>4 feet minimum</u>
<u>From any other structure located on the same lot⁽⁶⁾</u>	<u>N/A</u>	<u>5 feet minimum</u>	<u>N/A</u>		<u>5 feet minimum</u>

- (1) Cornices, eaves, belt courses, sills, canopies, bay windows, chimneys, or other similar architectural features may extend into required setbacks as specified in Section 29.40.070 (b) of the Zoning Code.
- (2) Must be located within the converted space of a proposed or existing single-family residence or accessory structure, or within the converted non-livable space of an existing multi-family dwelling. On a single-family property, an existing accessory structure may be expanded by no more than 150 square feet to accommodate ingress and egress.
- (3) Includes attached garages.
- (4) Such as storage rooms, boiler rooms, passageways, attics, basements, or garages.
- (5) Front setback requirements shall not preclude construction of by-right accessory dwelling units.
- (6) Measured from the exterior wall surface and/or supporting posts.

(c) Exceptions. Detached accessory dwelling units exceeding a combined square footage of four hundred fifty (450) square feet in the R-1, R-D, R-M, RMH, and R-1D zones shall not be subject to the Administrative Procedure for Minor Residential Projects. Detached accessory dwelling units exceeding a combined square footage of six hundred (600) or one thousand (1,000) square feet in the HR and RC zones shall not be subject to Development Review Committee or Planning Commission approval.

Sec. 29.10.330. Junior dwelling unit development standards.

- (a) *Location.* A junior accessory dwelling unit shall be constructed entirely within the walls of the proposed or existing single-family residence. For the purposes of this paragraph, enclosed uses within the residence, such as attached garages, are considered a part of the proposed or existing single-family residence. Junior accessory dwelling units may not be located within the space of, or attached to, a detached accessory structure of any type.
- (b) *Setbacks.* A junior accessory dwelling unit shall be subject to the setback requirements of the applicable zoning district for a single-family residence, or the setbacks established by the existing single-family residence within which the junior accessory dwelling unit is located, whichever is less and sufficient for fire safety.
- (c) *Maximum unit size.* The maximum ~~floor area size~~ of a junior accessory dwelling unit is five hundred (500) square feet of interior livable space, measured from the outer face of exterior walls and the centerline of shared interior walls.
- (d) *Entrances.* A junior accessory dwelling unit shall include a separate entrance from the main entrance to the proposed or existing single-family residence. When separate sanitation facilities are not included within the space of the junior accessory dwelling unit, an interior entry into the main living area of the primary dwelling shall be provided in addition to the separate entrance from the main entrance to the proposed or existing single-family residence. A junior accessory dwelling unit contained on a second story shall be served by a separate, dedicated interior or exterior stairway. A passageway from the accessory dwelling unit to a public street may be created but shall not be required by the Town.
- (e) *Kitchen.* A junior accessory dwelling unit shall contain a kitchen or an efficiency kitchen.
- (f) *Sanitation facilities.* A junior accessory dwelling unit may include separate sanitation facilities, or it may share sanitation facilities with the single-family residence. If sanitation facilities are not provided within the space of the junior accessory dwelling unit, an interior doorway shall be provided between the junior accessory dwelling unit and the living area of the single-family dwelling.
- (g) *Owner-occupancy.* If sanitation facilities are not provided within the space of the junior accessory dwelling unit, the property owner shall reside in the single-family residence in which the junior accessory dwelling unit will be located. The property owner may reside in either the remaining portion of the single-family residence or the newly created junior accessory dwelling unit. Owner-occupancy shall not be required if the owner is another governmental agency, land trust, or housing organization.
- (h) *Deed Restriction.* Prior to Building Permit issuance, the applicant shall record a Deed Restriction in the form prescribed by the Town, which shall run with the land and provide for all the following:
 - (1) A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers.
 - (2) A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this section.
 - (3) Owner-occupancy consistent with this section.
- (i) *Fire or life protection.* For purposes of any fire or life protection ordinance or regulation, a junior accessory dwelling unit shall not be considered a separate or new dwelling unit.

Sec. 29.10.335. Unpermitted units.

This section provides a mechanism to legalize unpermitted accessory dwelling in compliance with Government Code Section 66311.765852.23.

- (a) *Applicability.* This section applies to accessory dwelling units and junior accessory dwelling units that were unlawfully constructed prior to January 1, 202018, and that have not been deemed substandard pursuant to Section 17920.3 of the Health and Safety Code by the building official. The Community Development Director may determine construction date by any credible means warranted, including use of aerial photography, county records, photographs, and signed affidavits.
- (b) *Relief.* The Town shall not deny a permit to legalize an unpermitted accessory dwelling and/or junior accessory dwelling unit solely due to either of the following:
 - (1) The accessory dwelling unit and/or junior accessory dwelling unit is in violation of building standards pursuant to Article 1 (commencing with Section 17960) of Chapter 5 of Part 1.5 of Division 13 of the Health and Safety Code; or
 - (2) The accessory dwelling unit and/or junior accessory dwelling unit does not comply with Government Code Section 66333 through 66339.5-65852.2; or
 - ~~(3) The accessory dwelling unit does not comply with this Chapter.~~
- (c) *Approval.* An unpermitted accessory dwelling unit and/or junior accessory dwelling unit may be legalized in compliance with Section 29.10.315 (Review Process).
- (d) *Enforcement.* A property owner who makes known to the Town the existence of an unpermitted accessory dwelling unit and/or junior accessory dwelling unit, but who fails to obtain and finalize a Building Permit, shall be subject to enforcement and penalties as specified by Division 9 of this Chapter.
- (e) *Exception.* The Town may deny a permit to legalize an unpermitted accessory dwelling unit and/or junior accessory dwelling unit and instead require correction of the violation(s) if the Building Official makes a finding that correcting the violation(s) is necessary to protect the health and safety of the public or occupants of the structure.

Sec. 29.10.340. Nonconforming accessory dwelling units and junior accessory dwelling units.

- (a) *Permits.* The owner of a nonconforming accessory dwelling unit and/or junior accessory dwelling unit, as defined in Section 29.10.310, must obtain a permit in compliance with Section 29.10.315 (Review Process).

Where an application has been submitted for a nonconforming accessory dwelling unit and/or junior accessory dwelling unit and Town records do not establish its nonconforming status, the property owner will have sixty (60) days from the date the Town provides notice of its findings to submit any facts and evidence to support a claim that the unit is nonconforming as defined in this Article. If at the end of sixty (60) days evidence has not been submitted by the property owner to establish the accessory dwelling unit and/or junior accessory dwelling unit is nonconforming to the satisfaction of the Community Development Director, the unit shall be determined to be an unpermitted accessory dwelling unit pursuant to section 29.10.335 and subject to its regulations.

- (b) *Units existing at time of annexation.* Upon annexation a lawful accessory dwelling unit and/or junior accessory dwelling unit shall become nonconforming and the owner must either apply for a permit pursuant to Section 29.10.315 (Review Process) within one (1) year of the date of annexation. A property owner who makes known to the Town the existence of a nonconforming accessory dwelling unit and/or junior accessory

dwelling unit but who fails to obtain and finalize a Building Permit, shall be subject to enforcement and penalties as specified by Division 9 of this chapter.

Sec. 29.10.350. Elimination and/or demolition of existing accessory dwelling units and/or junior accessory dwelling units.

In order to eliminate and/or demolish, without replacement, an approved accessory dwelling unit and/or junior accessory dwelling unit, the Development Review Committee shall make the finding that the proposed elimination and/or demolition, (without replacement), is consistent with the Town's Housing Element of the General Plan. In order to eliminate and/or demolish an existing accessory dwelling unit, the Development Review Committee must make the demolition findings pursuant to Section 29.10.09030.

Sec. 29.10.355. Nonconforming zoning conditions.

The Town shall not deny an application for a permit to create an accessory dwelling unit and/or junior accessory dwelling unit based on a need for the correction of nonconforming zoning conditions, building code violations, or unpermitted structures that do not present a threat to public health and safety and that are not affected by the construction of the accessory dwelling unit and/or junior accessory dwelling unit.

Sec. 29.10.360. Utilities.

- (a) An accessory dwelling unit may be required to have a new or separate **unity-utility** connection, including a separate sewer lateral, between the accessory dwelling unit and the utility. A connection fee or capacity charge may be charged that is proportionate to the size in square feet of the accessory dwelling unit or its drainage fixture unit (DFU) values.
 - (1) Exceptions: Junior accessory dwelling units, **by-right** accessory dwelling units within the proposed space of a single-family dwelling, or **by-right** accessory dwelling units within the existing space of a single-family dwelling or accessory structure are exempt from any requirement to install a new or separate utility connection and to pay any associated connection or capacity fees or charges, unless the **accessory dwelling** unit was constructed with a new single-family dwelling.

Sec. 29.10.365. Fees.

- (a) *Connection fees and capacity charges.* An accessory dwelling unit shall not be considered by the Town, special district, or water corporation to be a new residential use for purposes of calculating connection fees or capacity charges for utilities, including water and sewer service, unless the accessory dwelling unit was constructed with a new single-family dwelling.
- (b) *Impact fees.* An accessory dwelling unit less than seven hundred fifty (750) square feet or a junior accessory dwelling unit is exempt from impact fees imposed by the Town, special district, or water corporation. An accessory dwelling seven hundred fifty (750) square feet or greater is subject to the Traffic Impact Fee requirements of the Town's Traffic Impact Policy (Policy 1-08), as may be amended from time to time. Any impact fees charged for an accessory dwelling unit of seven hundred fifty (750) square feet or more shall be charged proportionately in relation to the square footage of the primary dwelling unit. For purposes of this subparagraph, "impact fee" has the same meaning as the term "fee" is defined in subdivision (b) of CA Government Code Section 66000, except that it also includes fees specified in Section 66477. "Impact fee" does not include any connection fee or capacity charge charged by a local agency, special district, or water corporation.

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- (c) For the purposes of this section and Section 17620 of the Education Code, an accessory dwelling unit or junior accessory dwelling unit that contains less than 500 square feet of interior livable space shall, for the purpose of subparagraph (C) of paragraph (1) of subdivision (a) of Section 17620 of the Education Code, be considered other residential construction that does not increase assessable space by 500 square feet.
- (d) A homeowner applying for a permit for a previously unpermitted accessory dwelling unit or junior accessory dwelling unit constructed before January 1, 2020, shall not be required to pay impact fees or connection or capacity charges except when utility infrastructure is required to comply with Section 17920.3 of the Health and Safety Code and when the fee is authorized by this Section.

Secs. 29.10.370—29.10.400. Reserved.

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TITLE 7. PLANNING AND LAND USE [65000 - 66499.58]

(Heading of Title 7 amended by Stats. 1974, Ch. 1536.)

DIVISION 1. PLANNING AND ZONING [65000 - 66345.4]

(Heading of Division 1 added by Stats. 1974, Ch. 1536.)

CHAPTER 13. Accessory Dwelling Units [66310 - 66342]

(Chapter 13 added by Stats. 2024, Ch. 7, Sec. 20.)

ARTICLE 1. General Provisions [66310 - 66313.5]

(Article 1 added by Stats. 2024, Ch. 7, Sec. 20.)

66310.

The Legislature finds and declares all of the following:

- (a) Accessory dwelling units are a valuable form of housing in California.
- (b) Accessory dwelling units provide housing for family members, students, the elderly, in-home health care providers, the disabled, and others, at below market prices within existing neighborhoods.
- (c) Homeowners who create accessory dwelling units benefit from added income, and an increased sense of security.
- (d) Allowing accessory dwelling units in single-family or multifamily residential zones provides additional rental housing stock in California.
- (e) California faces a severe housing crisis.
- (f) The state is falling far short of meeting current and future housing demand with serious consequences for the state's economy, our ability to build green infill consistent with state greenhouse gas reduction goals, and the well-being of our citizens, particularly lower and middle-income earners.

(g) Accessory dwelling units offer lower cost housing to meet the needs of existing and future residents within existing neighborhoods, while respecting architectural character.

(h) Accessory dwelling units are, therefore, an essential component of California’s housing supply.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66311.

It is the intent of the Legislature that an accessory dwelling unit or a junior accessory dwelling unit ordinance adopted by a local agency has the effect of providing for the creation of accessory dwelling units or a junior accessory dwelling unit and that provisions in this ordinance relating to matters including unit size, parking, fees, and other requirements, are not so arbitrary, excessive, or burdensome so as to unreasonably restrict the ability of homeowners to create accessory dwelling units or junior accessory dwelling units in zones in which they are authorized by local ordinance.

(Amended by Stats. 2025, Ch. 520, Sec. 1. (SB 543) Effective January 1, 2026.)

66311.5.

(a) Fees charged for the construction of accessory dwelling units or junior accessory dwelling units shall be determined in accordance with Chapter 5 (commencing with Section 66000) and Chapter 7 (commencing with Section 66012).

(b) An accessory dwelling unit or junior accessory dwelling unit shall not be considered by a local agency, special district, or water corporation to be a new residential use for purposes of calculating connection fees or capacity charges for utilities, including water and sewer service, unless the unit was constructed with a new single-family dwelling.

(c) (1) A local agency, special district, or water corporation shall not impose any impact fee upon the development of an accessory dwelling unit that has 750 square feet of interior livable space or less or a junior accessory dwelling unit that has 500 square feet of interior livable space or less. Any impact fees charged for an accessory dwelling unit that has more than 750 square feet of interior livable space shall be charged proportionately in relation to the square footage of the primary dwelling unit.

(2) For purposes of this subdivision, “impact fee” has the same meaning as the term “fee” is defined in subdivision (b) of Section 66000, except that it also includes fees specified in

Section 66477. “Impact fee” does not include any connection fee or capacity charge charged by a local agency, special district, or water corporation.

(3) For the purposes of this section and Section 17620 of the Education Code, an accessory dwelling unit or junior accessory dwelling unit that contains less than 500 square feet of interior livable space shall, for the purpose of subparagraph (C) of paragraph (1) of subdivision (a) of Section 17620 of the Education Code, be considered other residential construction that does not increase assessable space by 500 square feet.

(d) For an accessory dwelling unit or a junior accessory dwelling unit described in paragraph (1) of subdivision (a) of Section 66323, a local agency, special district, or water corporation shall not require the applicant to install a new or separate utility connection directly between the unit and the utility or impose a related connection fee or capacity charge, unless the unit was constructed with a new single-family dwelling, or upon separate conveyance of the accessory dwelling unit pursuant to Section 66342.

(e) For an accessory dwelling unit that is not described in paragraph (1) of subdivision (a) of Section 66323, a local agency, special district, or water corporation may require a new or separate utility connection directly between the accessory dwelling unit and the utility. Consistent with Section 66013, the connection may be subject to a connection fee or capacity charge that shall be proportionate to the burden of the proposed accessory dwelling unit, based upon either its square feet or the number of its drainage fixture unit (DFU) values, as defined in the Uniform Plumbing Code adopted and published by the International Association of Plumbing and Mechanical Officials, upon the water or sewer system. This fee or charge shall not exceed the reasonable cost of providing this service.

(Added by renumbering Section 66324 by Stats. 2025, Ch. 520, Sec. 7. (SB 543) Effective January 1, 2026.)

66311.7.

(a) Notwithstanding any other law, and except as otherwise provided in subdivision (b), a local agency shall not deny a permit for an unpermitted accessory dwelling unit or an unpermitted junior accessory dwelling unit that was constructed before January 1, 2020, due to either of the following:

(1) The accessory dwelling unit or junior accessory dwelling unit is in violation of building standards pursuant to Article 1 (commencing with Section 17960) of Chapter 5 of Part 1.5 of Division 13 of the Health and Safety Code.

(2) The accessory dwelling unit or junior accessory dwelling unit does not comply with this article or Article 3 (commencing with Section 66333), as applicable, or any local ordinance regulating accessory dwelling units or junior accessory dwelling units.

(b) Notwithstanding subdivision (a), a local agency may deny a permit for an accessory dwelling unit or junior accessory dwelling unit subject to subdivision (a) if the local agency makes a finding that correcting the violation is necessary to comply with the standards specified in Section 17920.3 of the Health and Safety Code.

(c) This section shall not apply to a building that is deemed substandard pursuant to Section 17920.3 of the Health and Safety Code.

(d) A local agency shall inform the public about the provisions of this section through public information resources, including permit checklists and the local agency's internet website, which shall include both of the following:

(1) A checklist of the conditions specified in Section 17920.3 of the Health and Safety Code that would deem a building substandard.

(2) Informing homeowners that, before submitting an application for a permit, the homeowner may obtain a confidential third-party code inspection from a licensed contractor to determine the unit's existing condition or potential scope of building improvements before submitting an application for a permit.

(e) A homeowner applying for a permit for a previously unpermitted accessory dwelling unit or junior accessory dwelling unit constructed before January 1, 2020, shall not be required to pay impact fees or connection or capacity charges except when utility infrastructure is required to comply with Section 17920.3 of the Health and Safety Code and when the fee is authorized by subdivision (e) of Section 66311.5.

(f) Subject to subdivision (c), upon receiving an application to permit a previously unpermitted accessory dwelling unit or junior accessory dwelling unit constructed before January 1, 2020, an inspector from the local agency may inspect the unit for compliance with health and safety standards and provide recommendations to comply with health and safety standards necessary to obtain a permit. If the inspector finds noncompliance with health and safety standards, the local agency shall not penalize an applicant for having the unpermitted accessory dwelling unit or junior accessory dwelling unit and shall approve necessary permits to correct noncompliance with health and safety standards.

(Added by renumbering Section 66332 by Stats. 2025, Ch. 520, Sec. 9. (SB 543) Effective January 1, 2026.)

66312.

Notwithstanding Section 65803, this chapter shall also apply to a charter city.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66313.

For purposes of this chapter:

(a) “Accessory dwelling unit” means an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family or multifamily dwelling is or will be situated. An accessory dwelling unit also includes the following:

(1) An efficiency unit.

(2) A manufactured home, as defined in Section 18007 of the Health and Safety Code.

(b) “Accessory structure” means a structure that is accessory and incidental to a dwelling located on the same lot.

(c) “Efficiency unit” has the same meaning as defined in Section 17958.1 of the Health and Safety Code.

(d) “Junior accessory dwelling unit” means a unit that is no more than 500 square feet of interior livable space in size and contained entirely within a single-family residence. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure.

(e) “Livable space” means a space in a dwelling intended for human habitation, including living, sleeping, eating, cooking, or sanitation.

(f) “Living area” means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.

(g) “Local agency” means a city, county, or city and county, whether general law or chartered.

(h) “Nonconforming zoning condition” means a physical improvement on a property that does not conform to current zoning standards.

(i) “Objective standards” means standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal.

(j) “Passageway” means a pathway that is unobstructed clear to the sky and extends from a street to one entrance of the accessory dwelling unit.

(k) “Permitting agency” means any entity that is involved in the review of a permit for an accessory dwelling unit or junior accessory dwelling unit and for which there is no substitute, including, but not limited to, applicable planning departments, building departments, utilities, and special districts.

(l) “Proposed dwelling” means a dwelling that is the subject of a permit application and that meets the requirements for permitting.

(m) “Public transit” means a location, including, but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of transportation that charge set fares, run on fixed routes, and are available to the public.

(n) “Tandem parking” means that two or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.

(Amended by Stats. 2025, Ch. 520, Sec. 2. (SB 543) Effective January 1, 2026.)

66313.5.

The department may review, adopt, amend, or repeal guidelines to implement uniform standards or criteria that supplement or clarify the terms, references, and standards set forth in this chapter. The guidelines adopted pursuant to this section are not subject to Chapter 3.5 (commencing with Section 11340) of Part 1 of Division 3 of Title 2.

(Added by renumbering Section 66327 by Stats. 2025, Ch. 520, Sec. 8. (SB 543) Effective January 1, 2026.)

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TITLE 7. PLANNING AND LAND USE [65000 - 66499.58]

(Heading of Title 7 amended by Stats. 1974, Ch. 1536.)

DIVISION 1. PLANNING AND ZONING [65000 - 66345.4]

(Heading of Division 1 added by Stats. 1974, Ch. 1536.)

CHAPTER 13. Accessory Dwelling Units [66310 - 66342]

(Chapter 13 added by Stats. 2024, Ch. 7, Sec. 20.)

ARTICLE 2. Accessory Dwelling Unit Approvals [66314 - 66331]

(Article 2 added by Stats. 2024, Ch. 7, Sec. 20.)

66314.

A local agency may, by ordinance, provide for the creation of accessory dwelling units in areas zoned to allow single-family or multifamily dwelling residential use. The ordinance shall do all of the following:

(a) Designate areas within the jurisdiction of the local agency where accessory dwelling units may be permitted. The designation of areas may be based on the adequacy of water and sewer services and the impact of accessory dwelling units on traffic flow and public safety. A local agency that does not provide water or sewer services shall consult with the local water or sewer service provider regarding the adequacy of water and sewer services before designating an area where accessory dwelling units may be permitted.

(b) (1) Impose objective standards on accessory dwelling units that include, but are not limited to, parking, height, setback, landscape, architectural review, maximum size of a unit, and standards that prevent adverse impacts on any real property that is listed in the California Register of Historical Resources. These standards shall not include requirements on minimum lot size.

(2) Notwithstanding paragraph (1), a local agency may reduce or eliminate parking requirements for any accessory dwelling unit located within its jurisdiction.

(c) Provide that accessory dwelling units do not exceed the allowable density for the lot upon which the accessory dwelling unit is located, and that accessory dwelling units are a residential use that is consistent with the existing general plan and zoning designation for the lot.

(d) Require the accessory dwelling units to comply with all of the following:

(1) Except as provided in Article 4 (commencing with Section 66340), the accessory dwelling unit may be rented separate from the primary residence, but shall not be sold or otherwise conveyed separate from the primary residence.

(2) The lot is zoned to allow single-family or multifamily dwelling residential use and includes a proposed or existing dwelling.

(3) The accessory dwelling unit is either attached to, or located within, the proposed or existing primary dwelling, including attached garages, storage areas or similar uses, or an accessory structure or detached from the proposed or existing primary dwelling and located on the same lot as the proposed or existing primary dwelling, including detached garages.

(4) If there is an existing primary dwelling, the total floor area of an attached accessory dwelling unit shall not exceed 50 percent of the existing primary dwelling.

(5) The total floor area for a detached accessory dwelling unit shall not exceed 1,200 square feet.

(6) No passageway shall be required in conjunction with the construction of an accessory dwelling unit.

(7) No setback shall be required for an existing living area or accessory structure or a structure constructed in the same location and to the same dimensions as an existing structure that is converted to an accessory dwelling unit or to a portion of an accessory dwelling unit, and a setback of no more than four feet from the side and rear lot lines shall be required for an accessory dwelling unit that is not converted from an existing structure or a new structure constructed in the same location and to the same dimensions as an existing structure.

(8) Local building code requirements that apply to detached dwellings, except that the construction of an accessory dwelling unit shall not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code (Title 24 of the California Code of Regulations), unless the building official or enforcement agency of the local agency makes a written finding based on substantial evidence in the record that the construction of the accessory dwelling unit could have a

specific, adverse impact on public health and safety. Nothing in this paragraph shall be interpreted to prevent a local agency from changing the occupancy code of a space that was uninhabitable space or was only permitted for nonresidential use and was subsequently converted for residential use pursuant to this article.

(9) Approval by the local health officer where a private sewage disposal system is being used, if required.

(10) (A) Parking requirements for accessory dwelling units shall not exceed one parking space per accessory dwelling unit or per bedroom, whichever is less. These spaces may be provided as tandem parking on a driveway.

(B) Offstreet parking shall be permitted in setback areas in locations determined by the local agency or through tandem parking, unless specific findings are made that parking in setback areas or tandem parking is not feasible based upon specific site or regional topographical or fire and life safety conditions.

(C) This subparagraph shall not apply to an accessory dwelling unit that is described in Section 66322.

(11) When a garage, carport, covered parking structure, or uncovered parking space is demolished in conjunction with the construction of an accessory dwelling unit or converted to an accessory dwelling unit, the local agency shall not require that those offstreet parking spaces be replaced.

(12) Accessory dwelling units shall not be required to provide fire sprinklers if they are not required for the primary residence. The construction of an accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.

(e) Require that a demolition permit for a detached garage that is to be replaced with an accessory dwelling unit be reviewed with the application for the accessory dwelling unit and issued at the same time.

(f) An accessory dwelling unit ordinance shall not require, and the applicant shall not be otherwise required, to provide written notice or post a placard for the demolition of a detached garage that is to be replaced with an accessory dwelling unit, unless the property is located within an architecturally and historically significant historic district.

(Amended by Stats. 2025, Ch. 67, Sec. 109. (AB 1170) Effective January 1, 2026.)

66315.

Section 66314 establishes the maximum standards that a local agency shall use to evaluate a proposed accessory dwelling unit on a lot that includes a proposed or existing single-family dwelling. No additional standards, other than those provided in Section 66314, shall be used or imposed, including an owner-occupant requirement, except that a local agency may require that the property may be used for rentals of terms 30 days or longer.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66316.

An existing accessory dwelling unit ordinance governing the creation of an accessory dwelling unit by a local agency or an accessory dwelling ordinance adopted by a local agency shall provide an approval process that includes only ministerial provisions for the approval of accessory dwelling units and shall not include any discretionary processes, provisions, or requirements for those units, except as otherwise provided in this article. If a local agency has an existing accessory dwelling unit ordinance that fails to meet the requirements of this article, that ordinance shall be null and void and that agency shall thereafter apply the standards established in this article for the approval of accessory dwelling units, unless and until the agency adopts an ordinance that complies with this article.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66317.

(a) (1) A permit application for an accessory dwelling unit shall be considered and approved ministerially without discretionary review or a hearing, notwithstanding Section 65901 or 65906 or any local ordinance regulating the issuance of variances or special use permits.

(2) (A) A permitting agency shall determine whether an application to create or serve an accessory dwelling unit is complete and provide written notice of this determination to the applicant not later than 15 business days after the permitting agency received the application.

(B) If the permitting agency determines an application is incomplete, the permitting agency shall provide the applicant with a list of incomplete items and a description of how the application can be made complete. The list and description shall be provided with the written notice required by subparagraph (A).

(C) After receiving a notice that the application was incomplete, an applicant may cure and address the items that are deemed to be incomplete by the permitting agency.

(D) In the review of an application submitted pursuant to subparagraph (C), the permitting agency shall not require the application to include an item that was not included in the list required by subparagraph (B).

(E) If an applicant submits an application pursuant to subparagraph (C), the permitting agency shall determine whether the additional application has remedied all incomplete items listed in the determination issued pursuant to subparagraph (B). This additional application is subject to the timelines and requirements specified in subparagraph (A).

(F) If a permitting agency does not make a timely determination as required by this paragraph, the application or resubmitted application shall be deemed to be complete for the purposes of this section.

(3) The permitting agency shall either approve or deny the application to create or serve an accessory dwelling unit within 60 days from the date the permitting agency receives a completed application if there is an existing single-family or multifamily dwelling on the lot. If the permit application to create or serve an accessory dwelling unit is submitted with a permit application to create a new single-family or multifamily dwelling on the lot, the permitting agency may delay approving or denying the permit application for the accessory dwelling unit until the permitting agency approves or denies the permit application to create the new single-family or multifamily dwelling, but the application to create or serve the accessory dwelling unit shall be considered without discretionary review or hearing. If the applicant requests a delay, the 60-day time period shall be tolled for the period of the delay. If the local agency has not approved or denied the completed application within 60 days, the application shall be deemed approved. A local agency may charge a fee to reimburse it for costs incurred to implement this section, including the costs of adopting or amending any ordinance that provides for the creation of an accessory dwelling unit.

(b) If a permitting agency denies an application for an accessory dwelling unit pursuant to subdivision (a), the permitting agency shall, within the time period described in subdivision (a), return in writing a full set of comments to the applicant with a list of items that are defective or deficient and a description of how the application can be remedied by the applicant.

(c) No local ordinance, policy, or regulation, other than an accessory dwelling unit ordinance consistent with this article shall be the basis for the delay or denial of a building permit or a use permit under this section.

(d) (1) If a permit application is determined to be incomplete under paragraph (2) of subdivision (a) or denied under paragraph (3) of subdivision (a), the permitting agency shall provide a process for the applicant to appeal that decision in writing to the governing body of the agency or, if there is no governing body, to the director of the agency, as provided by that agency. A city or county shall provide that the right of appeal is to the governing body or, at their option, the planning commission, or both.

(2) A permitting agency on the appeal shall provide a final written determination by not later than 60 business days after receipt of the applicant's written appeal. The fact that an appeal is permitted to both the planning commission and to the governing body does not extend the 60-business-day period.

(Amended by Stats. 2025, Ch. 520, Sec. 3. (SB 543) Effective January 1, 2026.)

66318.

(a) A local agency may amend its zoning ordinance or general plan to incorporate the policies, procedures, or other provisions applicable to the creation of an accessory dwelling unit if these provisions are consistent with the limitations of this article.

(b) An accessory dwelling unit ordinance shall not be considered in the application of any local ordinance, policy, or program to limit residential growth.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66319.

An accessory dwelling unit that conforms to Section 66314 shall be deemed to be an accessory use or an accessory building and shall not be considered to exceed the allowable density for the lot upon which it is located, and shall be deemed to be a residential use that is consistent with the existing general plan and zoning designations for the lot. The accessory dwelling unit shall not be considered in the application of any local ordinance, policy, or program to limit residential growth.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66320.

When a local agency that has not adopted an ordinance governing accessory dwelling units in accordance with Section 66314 receives an application for a permit to create or serve an accessory dwelling unit pursuant to this article, the local agency shall approve or disapprove the application ministerially without discretionary review pursuant to Section 66317.

(Amended by Stats. 2025, Ch. 520, Sec. 4. (SB 543) Effective January 1, 2026.)

66321.

(a) Subject to subdivision (b), a local agency may establish minimum and maximum unit size requirements for both attached and detached accessory dwelling units.

(b) Notwithstanding subdivision (a), a local agency shall not establish by ordinance any of the following:

(1) A minimum square footage requirement for either an attached or detached accessory dwelling unit that prohibits an efficiency unit.

(2) A maximum square footage requirement for either an attached or detached accessory dwelling unit that is less than either of the following:

(A) Eight hundred fifty square feet of interior livable space.

(B) One thousand square feet of interior livable space for an accessory dwelling unit that provides more than one bedroom.

(3) Any requirement for a zoning clearance or separate zoning review or any other minimum or maximum size for an accessory dwelling unit, size based upon a percentage of the proposed or existing primary dwelling, or limits on lot coverage, floor area ratio, open space, front setbacks, and minimum lot size, for either attached or detached dwellings that does not permit an accessory dwelling unit with at least 800 square feet of interior livable space and with four-foot side and rear yard setbacks to be constructed in compliance with all other local development standards.

(4) Any height limitation that does not allow at least the following, as applicable:

(A) A height of 16 feet for a detached accessory dwelling unit on a lot with an existing or proposed single family or multifamily dwelling unit.

(B) A height of 18 feet for a detached accessory dwelling unit on a lot with an existing or proposed single family or multifamily dwelling unit that is within one-half of one mile walking distance of a major transit stop or a high-quality transit corridor, as those terms are defined in Section 21155 of the Public Resources Code. A local agency shall also allow an additional two feet in height to accommodate a roof pitch on the accessory dwelling unit that is aligned with the roof pitch of the primary dwelling unit.

(C) A height of 18 feet for a detached accessory dwelling unit on a lot with an existing or proposed multifamily, multistory dwelling.

(D) A height of 25 feet or the height limitation in the local zoning ordinance that applies to the primary dwelling, whichever is lower, for an accessory dwelling unit that is attached to a primary dwelling. This subparagraph shall not require a local agency to allow an accessory dwelling unit to exceed two stories.

(Amended by Stats. 2025, Ch. 520, Sec. 5. (SB 543) Effective January 1, 2026.)

66322.

Notwithstanding any other law, and whether or not the local agency has adopted an ordinance governing accessory dwelling units in accordance with Section 66314, all of the following shall apply:

(a) A local agency shall not impose any parking standards for an accessory dwelling unit in any of the following instances:

(1) Where the accessory dwelling unit is located within one-half of one mile walking distance of public transit.

(2) Where the accessory dwelling unit is located within an architecturally and historically significant historic district.

(3) Where the accessory dwelling unit is part of the proposed or existing primary residence or an accessory structure.

(4) When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.

(5) When there is a car share vehicle located within one block of the accessory dwelling unit.

(6) When a permit application for an accessory dwelling unit is submitted with a permit application to create a new single-family dwelling or a new multifamily dwelling on the

same lot, provided that the accessory dwelling unit or the parcel satisfies any other criteria listed in this subdivision.

(b) The local agency shall not deny an application for a permit to create an accessory dwelling unit due to the correction of nonconforming zoning conditions, building code violations, or unpermitted structures that do not present a threat to public health and safety and are not affected by the construction of the accessory dwelling unit.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66323.

(a) Notwithstanding Sections 66314 to 66322, inclusive, a local agency shall ministerially approve an application for a building permit within a residential or mixed-use zone to create any of the following units, or any combination of the following units:

(1) One accessory dwelling unit and one junior accessory dwelling unit per lot with a proposed or existing single-family dwelling if all of the following apply:

(A) The accessory dwelling unit or junior accessory dwelling unit is within the proposed space of a single-family dwelling or existing space of a single-family dwelling or accessory structure and may include an expansion of not more than 150 square feet beyond the same physical dimensions as the existing accessory structure. An expansion beyond the physical dimensions of the existing accessory structure shall be limited to accommodating ingress and egress.

(B) The space has exterior access from the proposed or existing single-family dwelling.

(C) The side and rear setbacks are sufficient for fire and safety.

(D) The junior accessory dwelling unit complies with the requirements of Article 3 (commencing with Section 66333).

(2) One detached, new construction, accessory dwelling unit that does not exceed four-foot side and rear yard setbacks for a lot with a proposed or existing single-family dwelling. A local agency may impose the following conditions on the accessory dwelling unit:

(A) A total floor area limitation of not more than 800 square feet of livable space.

(B) A height limitation as provided in subparagraph (A), (B), or (C) of paragraph (4) of subdivision (b) of Section 66321, as applicable.

(3) (A) Multiple accessory dwelling units within the portions of existing multifamily dwelling structures that are not used as livable space, including, but not limited to, storage rooms, boiler rooms, passageways, attics, basements, or garages, if each unit complies with state building standards for dwellings.

(B) A local agency shall allow at least one accessory dwelling unit within an existing multifamily dwelling and shall allow up to 25 percent of the existing multifamily dwelling units.

(4) (A) (i) Multiple accessory dwelling units, not to exceed the number specified in clause (ii) or (iii), as applicable, that are located on a lot that has an existing or proposed multifamily dwelling, but are detached from that multifamily dwelling and are subject to a height limitation in subparagraph (A), (B), or (C) of paragraph (4) of subdivision (b) of Section 66321, as applicable, and rear yard and side setbacks of no more than four feet.

(ii) On a lot with an existing multifamily dwelling, not more than eight detached accessory dwelling units. However, the number of accessory dwelling units allowable pursuant to this clause shall not exceed the number of existing units on the lot.

(iii) On a lot with a proposed multifamily dwelling, not more than two detached accessory dwelling units.

(B) If the existing multifamily dwelling has a rear or side setback of less than four feet, the local agency shall not require any modification of the existing multifamily dwelling as a condition of approving the application to construct an accessory dwelling unit that satisfies the requirements of this paragraph.

(b) A local agency shall not impose any objective development or design standard that is not authorized by this section upon any unit that meets the requirements of any of paragraphs (1) to (4), inclusive, of subdivision (a).

(c) A local agency shall not require, as a condition for ministerial approval of a permit application for the creation of an accessory dwelling unit or a junior accessory dwelling unit, the correction of nonconforming zoning conditions.

(d) The installation of fire sprinklers shall not be required in an accessory dwelling unit or a junior accessory dwelling unit if sprinklers are not required for the primary residence. The construction of an accessory dwelling unit or a junior accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing multifamily dwelling.

(e) A local agency shall require that a rental of the accessory dwelling unit created pursuant to this section be for a term longer than 30 days.

(f) A local agency may require, as part of the application for a permit to create an accessory dwelling unit connected to an onsite wastewater treatment system, a percolation test completed within the last five years, or, if the percolation test has been recertified, within the last 10 years.

(Amended by Stats. 2025, Ch. 520, Sec. 6. (SB 543) Effective January 1, 2026.)

66325.

(a) Except as provided in subdivision (b), this article shall supersede a conflicting local ordinance.

(b) This article does not limit the authority of local agencies to adopt less restrictive requirements for the creation of an accessory dwelling unit.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66326.

(a) A local agency shall submit a copy of the ordinance adopted pursuant to Section 66314 to the Department of Housing and Community Development within 60 days after adoption. After adoption of an ordinance, the department may submit written findings to the local agency as to whether the ordinance complies with this article.

(b) (1) If the department finds that the local agency's ordinance does not comply with this article, the department shall notify the local agency and shall provide the local agency with a reasonable time, no longer than 30 days, to respond to the findings before taking any other action authorized by this article.

(2) The local agency shall consider the findings made by the department pursuant to paragraph (1) and shall do one of the following:

(A) Amend the ordinance to comply with this article.

(B) Adopt the ordinance without changes. The local agency shall include findings in its resolution adopting the ordinance that explain the reasons the local agency believes that the ordinance complies with this article despite the findings of the department.

(c) (1) If the local agency does not amend its ordinance in response to the department's findings or does not adopt a resolution with findings explaining the reason the ordinance complies with this article and addressing the department's findings, the department shall

notify the local agency and may notify the Attorney General that the local agency is in violation of state law.

(2) Before notifying the Attorney General that the local agency is in violation of state law, the department may consider whether a local agency adopted an ordinance in compliance with this article between January 1, 2017, and January 1, 2020.

(d) If a local agency fails to submit a copy of its ordinance to the department within 60 days of adoption pursuant to this section or fails to respond to the department's findings that the local ordinance does not comply with this article within 30 days pursuant to this section, that ordinance shall be null and void. The local agency shall thereafter apply the standards established in this article for the approval of accessory dwelling units, unless and until the agency adopts an ordinance that complies with this article, including, but not limited to, the submittal requirements of this section.

(Amended by Stats. 2025, Ch. 510, Sec. 1. (SB 9) Effective January 1, 2026.)

66328.

(a) A local agency shall not issue a certificate of occupancy for an accessory dwelling unit before the local agency issues a certificate of occupancy for the primary dwelling.

(b) Notwithstanding subdivision (a), a local agency shall issue a certificate of occupancy for an accessory dwelling unit constructed in a county that is subject to a proclamation of a state of emergency made by the Governor on or after February 1, 2025, if both of the following requirements are met, even if the primary dwelling has not yet been issued a certificate of occupancy:

(1) The primary dwelling was substantially damaged or destroyed by an event referenced in the state of emergency proclamation issued by the Governor.

(2) The accessory dwelling unit has been issued construction permits and has passed all required inspections.

(c) Subdivision (b) does not apply to an accessory dwelling unit attached to the primary dwelling.

(Amended by Stats. 2025, Ch. 491, Sec. 1. (AB 462) Effective October 10, 2025.)

66329.

(a) Except as provided in subdivision (b), nothing in this article shall be construed to supersede or in any way alter or lessen the effect or application of the California Coastal Act of 1976 (Division 20 (commencing with Section 30000) of the Public Resources Code), except that the local government shall, pursuant to Section 66317, either approve or deny a coastal development permit application for an accessory dwelling within 60 days of receiving a completed application, and shall not be required to hold public hearings for coastal development permit applications for accessory dwelling units. The process to approve or deny a coastal development permit application under this subdivision shall happen concurrently with the process to approve or deny an application for an accessory dwelling unit under Section 66317.

(b) (1) If the local government does not have a certified local coastal plan or program, as defined in Section 31001 of the Public Resources Code, then the California Coastal Commission shall either approve or deny the coastal development permit application for an accessory dwelling unit within 60 days of receiving a completed application.

(2) A local government that does not have a certified local coastal plan or program shall immediately notify the California Coastal Commission that a permit application for an accessory dwelling unit is complete pursuant to Section 66317.

(3) The California Coastal Commission's review process to approve or deny a coastal development permit application shall happen concurrently with the process to approve or deny an application for an accessory dwelling unit under Section 66317 provided that the California Coastal Commission has received a completed application for a coastal development permit pursuant to Section 65943.

(4) Notwithstanding paragraph (1), if the coastal development permit application to create or serve an accessory dwelling unit is submitted with a coastal development permit application to create or serve a new single-family or multifamily dwelling on the lot, the California Coastal Commission may delay approving or denying the coastal development permit application for the accessory dwelling unit until the California Coastal Commission approves or denies the coastal development permit application to create or serve the new single-family or multifamily dwelling.

(5) Except as provided in paragraph (4), if the California Coastal Commission has not approved or denied the completed coastal development permit application for the accessory dwelling unit within 60 days, the application shall be deemed approved.

(c) Any decision of a local government pursuant to subdivision (a) is not subject to appeal under Section 30603 of the Public Resources Code.

(Amended by Stats. 2025, Ch. 491, Sec. 2. (AB 462) Effective October 10, 2025.)

66330.

A local agency may count an accessory dwelling unit for purposes of identifying adequate sites for housing, as specified in subdivision (a) of Section 65583.1, subject to authorization by the department and compliance with this division.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66331.

In enforcing building standards pursuant to Article 1 (commencing with Section 17960) of Chapter 5 of Part 1.5 of Division 13 of the Health and Safety Code for an accessory dwelling unit described in subdivision (a) or (b), a local agency, upon request of an owner of an accessory dwelling unit for a delay in enforcement, shall delay enforcement of a building standard, subject to compliance with Section 17980.12 of the Health and Safety Code:

(a) The accessory dwelling unit was built before January 1, 2020.

(b) The accessory dwelling unit was built on or after January 1, 2020, in a local jurisdiction that, at the time the accessory dwelling unit was built, had a noncompliant accessory dwelling unit ordinance, but the ordinance is compliant at the time the request is made.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

Government Code - GOV

TITLE 7. PLANNING AND LAND USE [65000 - 66499.58]

(Heading of Title 7 amended by Stats. 1974, Ch. 1536.)

DIVISION 1. PLANNING AND ZONING [65000 - 66345.4]

(Heading of Division 1 added by Stats. 1974, Ch. 1536.)

CHAPTER 13. Accessory Dwelling Units [66310 - 66342]

(Chapter 13 added by Stats. 2024, Ch. 7, Sec. 20.)

ARTICLE 3. Junior Accessory Dwelling Units [66333 - 66339.5]

(Article 3 added by Stats. 2024, Ch. 7, Sec. 20.)

66333.

Notwithstanding Article 2 (commencing with Section 66314), a local agency may, by ordinance, provide for the creation of junior accessory dwelling units in single-family residential zones. The ordinance may require a permit to be obtained for the creation of a junior accessory dwelling unit, and shall do all of the following:

(a) Limit the number of junior accessory dwelling units to one per residential lot zoned for single-family residences with a single-family residence built, or proposed to be built, on the lot.

(b) If the junior accessory dwelling unit has shared sanitation facilities with the existing structure, require owner-occupancy in the single family residence in which the junior accessory dwelling unit will be permitted. The owner may reside in either the remaining portion of the structure or the newly created junior accessory dwelling unit. Owner-occupancy shall not be required if the junior accessory dwelling unit has separate sanitation facilities, or if the owner is another governmental agency, land trust, or housing organization.

(c) Require the recordation of a deed restriction, which shall run with the land, shall be filed with the permitting agency, and shall include both of the following:

(1) A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers.

(2) A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this article.

(d) Require a permitted junior accessory dwelling unit to be constructed within the walls of the proposed or existing single-family residence. For purposes of this subdivision, enclosed uses within the residence, such as attached garages, are considered a part of the proposed or existing single-family residence.

(e) (1) Require a permitted junior accessory dwelling unit to include a separate entrance from the main entrance to the proposed or existing single-family residence.

(2) If a permitted junior accessory dwelling unit does not include a separate bathroom, the permitted junior accessory dwelling unit shall include a separate entrance from the main entrance to the structure, with an interior entry to the main living area.

(f) Require the permitted junior accessory dwelling unit to include an efficiency kitchen, which shall include all of the following:

(1) A cooking facility with appliances.

(2) A food preparation counter and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling unit.

(g) Require that a rental of a junior accessory dwelling unit be for a term longer than 30 days.

(Amended by Stats. 2025, Ch. 507, Sec. 1. (AB 1154) Effective January 1, 2026.)

66333.5.

(a) A local agency shall submit a copy of the ordinance adopted pursuant to Section 66333 to the Department of Housing and Community Development within 60 days after adoption. After adoption of an ordinance, the department may submit written findings to the local agency as to whether the ordinance complies with this article.

(b) (1) If the department finds that the local agency's ordinance does not comply with this article, the department shall notify the local agency and shall provide the local agency with a reasonable time, no longer than 30 days, to respond to the findings before taking any other action authorized by this article.

(2) The local agency shall consider the findings made by the department pursuant to paragraph (1) and shall do one of the following:

(A) Amend the ordinance to comply with this article.

(B) Adopt the ordinance without changes. The local agency shall include findings in its resolution adopting the ordinance that explain the reasons the local agency believes that the ordinance complies with this article despite the findings of the department.

(c) (1) If the local agency does not amend its ordinance in response to the department's findings or does not adopt a resolution with findings explaining the reason the ordinance complies with this article and addressing the department's findings, the department shall notify the local agency and may notify the Attorney General that the local agency is in violation of state law.

(2) Before notifying the Attorney General that the local agency is in violation of state law, the department may consider whether a local agency adopted an ordinance in compliance with this article between January 1, 2017, and January 1, 2020.

(d) If a local agency fails to submit a copy of its ordinance to the department within 60 days of adoption pursuant to this section or fails to respond to the department's findings that the local ordinance does not comply with this article within 30 days pursuant to this section, that ordinance shall be null and void. The local agency shall thereafter apply the standards established in this article for the approval of junior accessory dwelling units, unless and until the agency adopts an ordinance that complies with this article, including, but not limited to, the submittal requirements of this section.

(Added by Stats. 2025, Ch. 520, Sec. 10. (SB 543) Effective January 1, 2026.)

66334.

(a) A junior accessory dwelling unit ordinance adopted pursuant to Section 66333 shall not require additional parking as a condition to grant a permit.

(b) This article shall not be interpreted to prohibit the requirement of an inspection, including the imposition of a fee for that inspection, to determine if the junior accessory dwelling unit complies with applicable building standards.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66335.

(a) (1) An application for a permit pursuant to this article shall, notwithstanding Section 65901 or 65906 or any local ordinance regulating the issuance of variances or special use permits, be considered ministerially, without discretionary review or a hearing.

(2) (A) A permitting agency shall determine whether an application to create or serve a junior accessory dwelling unit is complete and provide written notice of this determination to the applicant not later than 15 business days after the permitting agency received the application.

(B) If the permitting agency determines an application is incomplete, the permitting agency shall provide the applicant with a list of incomplete items and a description of how the application can be made complete. The list and description shall be provided with the written notice required by subparagraph (A).

(C) After receiving a notice that the application was incomplete, an applicant may cure and address the items that are deemed to be incomplete by the permitting agency.

(D) In the review of an application submitted pursuant to subparagraph (C), the permitting agency shall not require the application to include an item that was not included in the list required by subparagraph (B).

(E) If an applicant submits an application pursuant to subparagraph (C), the permitting agency shall determine whether the additional application has remedied all incomplete items listed in the determination issued pursuant to subparagraph (B). This additional application is subject to the timelines and requirements specified in subparagraph (A).

(F) If a permitting agency does not make a timely determination as required by this paragraph, the application or resubmitted application shall be deemed to be complete for the purposes of this section.

(3) The permitting agency shall either approve or deny the application to create or serve a junior accessory dwelling unit within 60 days from the date the local agency receives a completed application if there is an existing single-family dwelling on the lot.

(4) If the permit application to create or serve a junior accessory dwelling unit is submitted with a permit application to create or serve a new single-family dwelling on the lot, the permitting agency may delay approving or denying the permit application for the junior accessory dwelling unit until the permitting agency approves or denies the permit application to create or serve the new single-family dwelling, but the application to create

or serve the junior accessory dwelling unit shall still be considered ministerially without discretionary review or a hearing.

(5) If the applicant requests a delay, the 60-day time period shall be tolled for the period of the delay.

(b) If a permitting agency denies an application for a junior accessory dwelling unit pursuant to subdivision (a), the permitting agency shall, within the time period described in subdivision (a), return in writing a full set of comments to the applicant with a list of items that are defective or deficient and a description of how the application can be remedied by the applicant.

(c) A local agency may charge a fee to reimburse the local agency for costs incurred in connection with the issuance of a permit pursuant to this article.

(d) No local ordinance, policy, or regulation, other than a junior accessory dwelling unit ordinance consistent with this article, shall be the basis for the delay or denial of a building permit or a use permit under this section.

(e) (1) If a permit application is determined to be incomplete under paragraph (2) of subdivision (a) or denied under paragraph (3) of subdivision (a), the permitting agency shall provide a process for the applicant to appeal that decision in writing to the governing body of the agency or, if there is no governing body, to the director of the agency, as provided by that agency. A city or county shall provide that the right of appeal is to the governing body or, at their option, the planning commission, or both.

(2) A permitting agency on the appeal shall provide a final written determination by not later than 60 business days after receipt of the applicant's written appeal. The fact that an appeal is permitted to both the planning commission and to the governing body does not extend the 60-business-day period.

(Amended by Stats. 2025, Ch. 520, Sec. 11. (SB 543) Effective January 1, 2026.)

66335.5.

When a local agency that has not adopted an ordinance governing junior accessory dwelling units in accordance with Section 66333 receives an application for a permit to create or serve a junior accessory dwelling unit pursuant to this article, the local agency shall approve or disapprove the application ministerially without discretionary review pursuant to Section 66335.

(Added by Stats. 2025, Ch. 520, Sec. 12. (SB 543) Effective January 1, 2026.)

66336.

A local agency shall not deny an application for a permit to create a junior accessory dwelling unit pursuant to this article due to the correction of nonconforming zoning conditions, building code violations, or unpermitted structures that do not present a threat to public health and safety and that are not affected by the construction of the junior accessory dwelling unit.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66337.

(a) For purposes of any fire or life protection ordinance or regulation, a junior accessory dwelling unit shall not be considered a separate or new dwelling unit.

(b) This article shall not be construed to prohibit a city, county, city and county, or other local public entity from adopting an ordinance or regulation relating to fire and life protection requirements within a single-family residence that contains a junior accessory dwelling unit so long as the ordinance or regulation applies uniformly to all single-family residences within the zone regardless of whether the single-family residence includes a junior accessory dwelling unit or not.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66338.

(a) For purposes of providing service for water, sewer, or power, including a connection fee, a junior accessory dwelling unit shall not be considered a separate or new dwelling unit.

(b) This section shall not be construed to prohibit a local agency from adopting an ordinance or regulation related to a service or a connection fee for water, sewer, or power, that applies to a single-family residence that contains a junior accessory dwelling unit, so long as that ordinance or regulation applies uniformly to all single-family residences regardless of whether the single-family residence includes a junior accessory dwelling unit.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66339.

If a local agency has not adopted a local ordinance pursuant to this article, the local agency shall ministerially approve a permit to construct a junior accessory dwelling unit that satisfies the requirements set forth in paragraph (1) of subdivision (a) of Section 66323 and the requirements of this article.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66339.5.

(a) Except as provided in subdivision (b), this article shall supersede a conflicting local ordinance.

(b) This article does not limit the authority of local agencies to adopt less restrictive requirements for the creation of a junior accessory dwelling unit.

(Added by Stats. 2025, Ch. 520, Sec. 13. (SB 543) Effective January 1, 2026.)

Government Code - GOV

TITLE 7. PLANNING AND LAND USE [65000 - 66499.58]

(Heading of Title 7 amended by Stats. 1974, Ch. 1536.)

DIVISION 1. PLANNING AND ZONING [65000 - 66345.4]

(Heading of Division 1 added by Stats. 1974, Ch. 1536.)

CHAPTER 13. Accessory Dwelling Units [66310 - 66342]

(Chapter 13 added by Stats. 2024, Ch. 7, Sec. 20.)

ARTICLE 4. Accessory Dwelling Unit Sales [66340 - 66342]

(Article 4 added by Stats. 2024, Ch. 7, Sec. 20.)

66340.

For purposes of this article:

(a) “Qualified buyer” means persons and families of low or moderate income, as that term is defined in Section **50093** of the Health and Safety Code.

(b) “Qualified nonprofit corporation” means a nonprofit corporation organized pursuant to Section 501(c)(3) of the Internal Revenue Code that has received a welfare exemption under Section **214.15** of the Revenue and Taxation Code for properties intended to be sold to low-income families who participate in a special no-interest loan program.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66341.

A local agency shall allow an accessory dwelling unit to be sold or conveyed separately from the primary residence to a qualified buyer if all of the following apply:

(a) The accessory dwelling unit or the primary dwelling was built or developed by a qualified nonprofit corporation.

(b) There is an enforceable restriction on the use of the land pursuant to a recorded contract between the qualified buyer and the qualified nonprofit corporation that satisfies all of the requirements specified in paragraph (10) of subdivision (a) of Section 402.1 of the Revenue and Taxation Code.

(c) The property is held pursuant to a recorded tenancy in common agreement that includes all of the following:

(1) The agreement allocates to each qualified buyer an undivided, unequal interest in the property based on the size of the dwelling that each qualified buyer occupies.

(2) A repurchase option that requires the qualified buyer to first offer the qualified nonprofit corporation to buy the accessory dwelling unit or primary dwelling if the buyer desires to sell or convey the property.

(3) A requirement that the qualified buyer occupy the accessory dwelling unit or primary dwelling as the buyer's principal residence.

(4) Affordability restrictions on the sale and conveyance of the accessory dwelling unit or primary dwelling that ensure the accessory dwelling unit and primary dwelling will be preserved for low-income housing for 45 years for owner-occupied housing units and will be sold or resold to a qualified buyer.

(5) If the tenancy in common agreement is recorded after December 31, 2021, it shall also include all of the following:

(A) Delineation of all areas of the property that are for the exclusive use of a cotenant. Each cotenant shall agree not to claim a right of occupancy to an area delineated for the exclusive use of another cotenant, provided that the latter cotenant's obligations to each of the other cotenants have been satisfied.

(B) Delineation of each cotenant's responsibility for the costs of taxes, insurance, utilities, general maintenance and repair, improvements, and any other costs, obligations, or liabilities associated with the property. This delineation shall only be binding on the parties to the agreement, and shall not supersede or obviate the liability, whether joint and several or otherwise, of the parties for any cost, obligation, or liability associated with the property where such liability is otherwise established by law or by agreement with a third party.

(C) Procedures for dispute resolution among the parties before resorting to legal action.

(d) A grant deed naming the grantor, grantee, and describing the property interests being transferred shall be recorded in the county in which the property is located. A Preliminary

Change of Ownership Report shall be filed concurrently with this grant deed pursuant to Section 480.3 of the Revenue and Taxation Code.

(e) Notwithstanding Section 66324, if requested by a utility providing service to the primary residence, the accessory dwelling unit has a separate water, sewer, or electrical connection to that utility.

(f) Nothing in this section limits the ability of an accessory dwelling unit to be sold or otherwise conveyed separate from the primary residence as a condominium pursuant to an ordinance adopted under Section 66342.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)

66342.

In addition to the requirement that a local agency allow the separate sale or conveyance of an accessory dwelling unit pursuant to Section 66341, a local agency may also adopt a local ordinance to allow the separate conveyance of the primary dwelling unit and accessory dwelling unit or units as condominiums. Any such ordinance shall include all of the following requirements:

(a) The condominiums shall be created pursuant to the Davis-Stirling Common Interest Development Act (Part 5 (commencing with Section 4000) of Division 4 of the Civil Code).

(b) The condominiums shall be created in conformance with all applicable objective requirements of the Subdivision Map Act (Division 2 (commencing with Section 66410)) and all objective requirements of a local subdivision ordinance.

(c) Before recordation of the condominium plan, a safety inspection of the accessory dwelling unit shall be conducted as evidenced either through a certificate of occupancy from the local agency or a housing quality standards report from a building inspector certified by the United States Department of Housing and Urban Development.

(d) (1) Neither a subdivision map nor a condominium plan shall be recorded with the county recorder in the county where the real property is located without each lienholder's consent. The following shall apply to the consent of a lienholder:

(A) A lienholder may refuse to give consent.

(B) A lienholder may consent provided that any terms and conditions required by the lienholder are satisfied.

(2) Prior to recordation of the initial or any subsequent modifications to the condominium plan, written evidence of the lienholder's consent shall be provided to the county recorder along with a signed statement from each lienholder that states as follows:

“(Name of lienholder) hereby consents to the recording of this condominium plan in their sole and absolute discretion and the borrower has or will satisfy any additional terms and conditions the lienholder may have.”

(3) The lienholder's consent shall be included on the condominium plan or a separate form attached to the condominium plan that includes the following information:

(A) The lienholder's signature.

(B) The name of the record owner or ground lessee.

(C) The legal description of the real property.

(D) The identities of all parties with an interest in the real property as reflected in the real property records.

(E) The lienholder's consent shall be recorded in the office of the county recorder of the county in which the real property is located.

(e) The local agency shall include the following notice to consumers on any accessory dwelling or junior accessory dwelling unit submittal checklist or public information issued describing requirements and permitting for accessory dwelling units, including as standard condition of any accessory dwelling unit building permit or condominium plan approval:

“NOTICE: If you are considering establishing your primary dwelling unit and accessory dwelling unit as a condominium, please ensure that your building permitting agency allows this practice. If you decide to establish your primary dwelling unit and accessory dwelling unit as a condominium, your condominium plan or any future modifications to the condominium plan must be recorded with the County Recorder. Prior to recordation or modification of your subdivision map and condominium plan, any lienholder with a lien on your title must provide a form of written consent either on the condominium plan, or on the lienholder's consent form attached to the condominium plan, with text that clearly states that the lender approves recordation of the condominium plan and that you have satisfied their terms and conditions, if any.

In order to secure lender consent, you may be required to follow additional lender requirements, which may include, but are not limited to, one or more of the following:

(a) Paying off your current lender.

You may pay off your mortgage and any liens through a refinance or a new loan. Be aware that refinancing or using a new loan may result in changes to your interest rate or tax basis. Also, be aware that any subsequent modification to your subdivision map or condominium plan must also be consented to by your lender, which consent may be denied.

(b) Securing your lender’s approval of a modification to their loan collateral due to the change of your current property legal description into one or more condominium parcels.

(c) Securing your lender’s consent to the details of any construction loan or ground lease.

This may include a copy of the improvement contract entered in good faith with a licensed contractor, evidence that the record owner or ground lessee has the funds to complete the work, and a signed statement made by the record owner or ground lessor that the information in the consent above is true and correct.”

(f) If an accessory dwelling unit is established as a condominium, the local government shall require the homeowner to notify providers of utilities, including water, sewer, gas, and electricity, of the condominium creation and separate conveyance.

(g) (1) The owner of a property or a separate interest within an existing planned development that has an existing association, as defined in Section 4080 of the Civil Code, shall not record a condominium plan to create a common interest development under Section 4100 of the Civil Code without the express written authorization by the existing association.

(2) For purposes of this subdivision, written authorization by the existing association means approval by the board at a duly noticed board meeting, as defined in Section 4090 of the Civil Code, and if needed pursuant to the existing association’s governing documents, membership approval of the existing association.

(h) An accessory dwelling unit shall be sold or otherwise conveyed separate from the primary residence only under the conditions outlined in this paragraph or pursuant to this article.

(Added by Stats. 2024, Ch. 7, Sec. 20. (SB 477) Effective March 25, 2024.)



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/10/2026

ITEM NO: 4

DATE: June 5, 2026
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Discuss the Town Council's Direction on the Workplan for the Historic Preservation Committee and the Evaluation Process Used to Determine the Significance of Pre-1941 Residences. The Planning Commission's Discussion is Not Considered a Project Under the Adopted Guidelines for the Implementation of the California Environmental Quality Act.

BACKGROUND:

On February 25, 2026, the Chair requested that an item be added to a Planning Commission agenda for a discussion of the Town Council's direction on the workplan for the Historic Preservation Committee (HPC) and the evaluation process used to determine the historic significance of pre-1941 residences.

On December 2, 2025, the Town Council discussed a letter from the HPC regarding future historic preservation workplan items (Exhibit 1, Attachment 1). The Council directed staff to evaluate the level of effort and the feasibility of the following items:

- Preserving smaller homes;
- Reviewing the boundaries of the historic districts;
- Refreshing the Bloomfield survey;
- Considering replacement structure historically relevant;
- Adopting pre-1941 to 70-year rolling; and
- Updating and clarifying definitions and required findings for determining [historic] status.

The Council asked that staff return with this information after the objective standards update is substantially completed (Exhibit 2). The objective standards update project is in progress. Staff has not begun to evaluate the Town Council's requests regarding historic preservation.

Staff looks forward to the Commission's discussion on this topic.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director and Town Attorney

PAGE 2 OF 2

SUBJECT: Discussion of Council Direction on HPC Workplan

DATE: June 10, 2026

PUBLIC COMMENTS:

Staff conducted outreach to a group of local architects and designers to make them aware of the Commission's discussion. No comments were received at the time this report was published.

ENVIRONMENTAL REVIEW:

The discussion of the Town's Council's direction on the workplan for the HPC and the evaluation process to determine significance of pre-1941 residences is not considered a project under the adopted Guidelines for the Implementation of the California Environmental Quality Act.

EXHIBITS:

1. Town Council Staff Report with Attachment, December 2, 2025
2. Town Council Meeting Minutes, December 2, 2025



**TOWN OF LOS GATOS
COUNCIL AGENDA REPORT**

MEETING DATE: 12/02/2025

ITEM NO: 20

DATE: November 26, 2025
TO: Mayor and Town Council
FROM: Chris Constantin, Town Manager
SUBJECT: **Discuss a Letter from the Historic Preservation Committee to the Town Council Regarding Future Historic Preservation Workplan Items and Provide Direction to Staff**

RECOMMENDATION: Discuss a Letter from the Historic Preservation Committee to the Town Council Regarding Future Historic Preservation Workplan Items and Provide Direction to Staff.

FISCAL IMPACT:

This discussion has no fiscal impact.

STRATEGIC PRIORITY:

This discussion supports the Town's core goal of Community Character and the strategic priority to preserve the Town's small-town charm and provide a range of housing opportunities and historic neighborhoods, while diligently maintaining and implementing the Housing Element.

BACKGROUND:

At its meeting on September 24, 2025, the Historic Preservation Committee (Committee) discussed several historic preservation topics at the request of the Committee Chair, with the goal of identifying potential items for inclusion in a letter to the Town Council regarding future work plan priorities. The Committee reached consensus on a number of topics to be included in the letter, and the Chair requested that a final draft be returned to the Committee for formal adoption.

On November 19, 2025, the Committee discussed the final draft of the letter to the Council and voted unanimously to adopt the letter.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Town Manager, Assistant Town Manager, Town Attorney, and Finance Director

SUBJECT: Discuss a Letter from the Historic Preservation Committee to the Town Council Regarding Future Historic Preservation Workplan Items and Provide Direction to Staff

DATE: November 26, 2025

This letter is being presented to the Council for discussion and consideration at the request of the Mayor.

DISCUSSION:

The Historic Preservation Committee typically has not had a separate work plan as the Town Code prescribes an existing workload of items for their consideration. Per Section 29.80.227 of the Town Code, the powers and duties of the Committee include the following:

1. Regularly review and make recommendations to the Planning Commission concerning the determination of all matters pertaining to historic preservation which comes before the Planning Commission.
2. Review and make recommendations to the Planning Director concerning the determination of a minor residential development permit for properties with a LHP overlay zone or structures which were built prior to 1941.
3. Review and make recommendations to the Planning Director concerning minor residential and commercial exterior alterations not covered under the architecture and site approval process or the minor residential development permit, for designated properties with a LHP overlay zone pursuant to subsection 29.20.485.
4. Upon request of the Planning Director, review pending or proposed building permits dealing with historic structures when it is questionable that the work proposed meets the guidelines for pre-1941 structures.
5. May, on request of the property owner, advise with respect to any proposed work requiring or not requiring a Town permit on any historic structure, a designated landmark site or in a designated historic district. Examples of the work referred to are additions, demolitions, painting and repainting of exterior surfaces, roofing, fencing, landscaping, glazing, and installation of lighting fixtures. In advising, the Historic Preservation Committee shall be guided by the purposes and standards specified in this division and other applicable ordinances and/or development standards. This subsection does not impose regulations or controls on any property.
6. Review and make recommendations to the Planning Director on requests for removal of a pre-1941 property from the Historic Resources Inventory.

Town commissions, committees, and boards serve at the pleasure of the Council, and any work plans are established by Council direction. The Committee's letter outlines several potential work plan items for consideration (Attachment 1). The topics included in the proposed historic preservation workplan would require review and consideration by the Historic Preservation Committee, Planning Commission, and Town Council. It is not meant to be limited to the Historic Preservation Committee since it addresses the Town's approach and regulations of historic preservation in the Town.

PAGE 3 OF 3

SUBJECT: Discuss a Letter from the Historic Preservation Committee to the Town Council Regarding Future Historic Preservation Workplan Items and Provide Direction to Staff

DATE: November 26, 2025

Staff seeks Council guidance on which items the Council is interested in exploring. Clear direction from the Council will help ensure alignment with Council priorities, efficient use of the Committee's time, adequate staff support, and appropriate consideration of budgetary impacts. As this is being agendaized outside of the regular work plan cycle, staff has not yet had the opportunity to evaluate these items and the impacts may be broad reaching. Once Council provides guidance on items of interest, staff will evaluate the items for impacts for Council's further consideration, including staffing and budgetary resources.

CONCLUSION:

Staff looks forward to the Council's discussion on these topics. Additionally, staff will be prepared to discuss the next potential steps based on the Council's direction.

ENVIRONMENTAL ASSESSMENT:

This is not a project defined under CEQA, and no further action is required.

ATTACHMENTS:

1. Letter to the Town Council Regarding Future Historic Preservation Committee Workplan Items

To: Mayor Hudes and Members of the Town Council
From: Historic Preservation Committee
Re: Proposed Historic Preservation Committee Work Program
Date: November 13, 2025

The Historic Preservation Committee is pleased to submit the proposed Work Program for your review and consideration. The attached document outlines the Committee's overarching goal, key objectives, and a series of recommended action items designed to support the Town's historic preservation priorities.

For clarity and ease of reference, the recommended action items are organized into five categories. During the Committee's Special Meeting on October 29, 2025, members acknowledged areas of overlap among these categories; however, the Committee unanimously agreed to retain them, as each reflects important intersections and gaps within existing guiding documents and policies.

While mindful of the Town's current budget and staffing constraints, the Committee believes this Work Program is well aligned with the Town's strategic objectives and will strengthen the preservation, understanding, and stewardship of Los Gatos' historic resources. We respectfully request the Council's consideration of the proposed action items.

Respectfully submitted,
Lee Quintana, Chair
Martha Queiroz, Vice Chair
Susan Burnett, Committee Member
Alan Feinberg, Committee Member
Emily Thomas, Committee Member

Historic Preservation Work Program

Goal of the Work Program

Enhance efficiency, transparency, and understanding of the entire historic resources review and approval process for the community members, committee members/commissioners, Town Council members, and staff.

Objectives of the Work Program

- **Objective A:** Update and clarify the definitions and required findings for determining historic resource status in Town code
- **Objective B:** Provide consistency and alignment across Town documents, procedures, and code sections related to historic preservation and resources
- **Objective C:** Improve the consistency and predictability of decisions by clarifying the criteria and standards used in evaluating historic resources
- **Objective D:** Improve shared understanding of the purpose and value of historic resources through clearer documentation, communication, and education
- **Objective E:** Improve efficiency of the Historic Preservation review and approval process
- **Objective F:** Enhance historic preservation policies and procedures that support Housing Element goals
- **Objective G:** Update existing historic districts and evaluate potential districts, heritage areas, and special recognition area

Recommended Action Items

Area	Action Item	Justification	Objective
<p>Chapter 29 Article I Division 1. - Miscellaneous</p> <p>Sec. 29.10.09030. - Demolitions</p>	1. Clarify demolition of historic structures (c)	<p>Article I Division 1 Sec. 29.10.09030. Demolitions and Article VIII Division 3 Sec. 29.80.310 are not consistent with each other or the Residential Design Guidelines.</p> <p>Sec. 29.10.09030. (c) cites criteria for permit approval for demolition of a historic structure although the requirements are not identified as findings. It is not clear how these requirements differ or relate to findings listed in Sec. 29.10.09030.(e)(2).</p>	<input type="checkbox"/> A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G
	2. Clarify definition of "contributor to a potential historic district"	Sec. 29.10.09030. (c) term "contributor to a potential historic district" is not defined and only used in the Bloomfield Survey.	
	3. Clarify the reason for and criteria of the "report"	In Sec. 29.10.09030.(c) the required "report" is vague and its intent is not clear; it doesn't state if/when the report is used to determine historic resource status or other decision making.	
	4. Clarify preservation of historically or architecturally significant buildings or structures (e)(2)	Sec. 29.10.09030.(e) is not clear with regards to the difference between findings for historic and non-historic structures and its relevance to granting architecture and site applications.	
<p>Chapter 29 Article VIII</p> <p>Division 3 - Historic Preservation and LHP Landmark and Historic Preservation Overlay Zone</p>	5. Add definitions of the Town's historic resources	The code does not currently include definitions of historic resources or findings in Chapter 29 Article VIII Division 3. The difference between "pre-1941", "Historic Status Code", and "contributor" are not defined but used to make decisions.	<input checked="" type="checkbox"/> A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G
	6. Add findings for different types of historic resources	Findings are only required with regards to status in the historic inventory. Considerations for all other situations are not clear.	
	7. Clarify the differences between the Federal/State findings and the Town's findings for integrity		
	8. Clarify the difference between findings and considerations and when they are applied		

Recommended Action Items

	<p>9. Change title of Sec. 29.80.290 Standards for Review from “Standards” to “Considerations”</p> <p>10. Move Sec. 29.80.290 Standards for Review to follow definitions</p>	<p>Considerations are currently described in the code as standards.</p> <p>Sec. 29.80.290 outlines the review process but is currently “hidden” after less used code.</p>	
<p>1991 Historical Resources Survey Project (Bloomfield Survey and Historic Inventory)</p>	<p>11. Update, conduct a new survey, or use the current survey for reference only</p>	<p>The Bloomfield Survey was a “windshield” survey conducted 30 years ago, therefore, not all pre-1941 structures in Town were evaluated and some structures included in the survey do not meet criteria for a historic resource.</p>	<p><input type="checkbox"/> A</p> <p><input checked="" type="checkbox"/> B</p> <p><input checked="" type="checkbox"/> C</p> <p><input checked="" type="checkbox"/> D</p> <p><input checked="" type="checkbox"/> E</p> <p><input checked="" type="checkbox"/> F</p> <p><input checked="" type="checkbox"/> G</p>
	<p>12. Add a description of the Bloomfield Survey including its purpose, study area, methodology, and final recommendations to the Residential Design Guidelines</p>	<p>The Bloomfield Survey is central to the review, analysis, and decision making process and its intended use is currently absent from the Residential Design Guidelines. A description of the survey will increase the understanding of the Town’s historic preservation review process.</p>	
	<p>13. Consider revising the 1941 construction date for historic resources</p>	<p>This date was chosen because it was the first year the County has comprehensive tax records for the Town. The Bloomfield Survey recommended changing the 1941 date.</p>	
	<p>14. Protect historic resources not currently covered under the LHP Overlay by:</p> <ul style="list-style-type: none"> a. Designating additional historic districts and/or updating current historic districts as recommended by the Bloomfield Survey, starting with Glenridge b. Establishing a Heritage Area based on the Bloomfield Survey area c. Establishing special recognition areas or sites to acknowledge architectural, cultural, or aesthetic resources that are newer than 1941 	<p>There are districts in Town with a high concentration of pre-1941 structures that have been identified in the Bloomfield Survey as “potential contributors to historic districts”. The Survey suggested the addition of Historic Districts, specifically Glenridge.</p> <p>A Heritage Area could protect structures identified as “potential contributors to a historic district” by the Bloomfield Survey.</p> <p>There are areas of Town outside of current Historic Districts that have architectural, cultural, and aesthetic significance that do not qualify as a historic resource under the current 1941 standard. For example, the mosaics depicting early California life at Riviera Drive.</p>	

Recommended Action Items

	15. Separate the Town’s Inventory of Historic Resources from the Bloomfield Survey and publish the Inventory	Not all pre-1941 structures listed in the Survey meet the criteria for a Los Gatos Historic Resource. Publishing the Historic Inventory and list of the Survey would allow better public access and transparency.	
Residential Design Guidelines Chapter 4 Historic Resources	16. Revise and update acceptable substitute materials including window replacements and siding materials	There are many new materials available that are of high quality, integrity, and indistinguishable from traditional materials. In addition, these materials may be required by fire code and/or insurance companies for fire safety.	<input type="checkbox"/> A
	17. Add specific guidelines for additions and accessory structures for historic resources and historic districts	The Guidelines currently focus on the immediate neighborhood for compatibility, which is appropriate for new construction, but not for additions or accessory structures for historic resources or districts. Specific guidance for additions and accessory structures for historic resources and districts with consideration of the architecture and character defining features of the existing structure rather than immediate neighborhood would be more appropriate.	<input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F
	18. Clarify Section 4.5 Demolitions and definitions in the sidebar on page 42; cite findings required to demolish a historic resource	The process is unclear and does not align with Sec. 29.10.09030 Demolition Code.	<input type="checkbox"/> G
Other	19. Add a Flow Chart or Table of the various types referrals to the HPC	It is not clear how projects move through historic review in Town. Adding a flow chart, a table, and/or graphics would demystify the process for the various types of applications and projects that are referred to the HPC.	<input type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> C
	20. Sec. 29.40.075. - Floor area ratio Consider adjusting the garage square footage included FAR calculations for historic properties and/or historic districts zoned R-1D and R-D	Historic properties and lots in historic districts typically have smaller detached garages located at the rear of the property. Garages that are detached from historic structures minimize the mass of additions to existing structures. Changing the FAR calculation to incentivise detached garages would keep the historic pattern of neighborhoods. Alternatively, extending the 400 square foot limit to lots greater than 5,000 square feet could achieve a similar outcome.	<input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F <input type="checkbox"/> G



**TOWN OF LOS GATOS
COUNCIL AGENDA REPORT**

**Minutes of the Town Council Meeting
Tuesday, December 2, 2025**

The Town Council of the Town of Los Gatos conducted a regular meeting in person and via teleconference.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Mayor Matthew Hudes, Vice Mayor Rob Moore, Council Member Mary Badame, Council Member Rob Rennie, Council Member Maria Ristow.

Absent: None.

PLEDGE OF ALLEGIANCE

Mayor Hudes invited Ben Daniel to lead the Pledge of Allegiance. The audience was invited to participate.

The Mayor announced that items seventeen and eighteen will be moved to the next regular meeting, and that item twelve will be addressed immediately after the Youth Commission's presentation on their work plan.

PRESENTATIONS

The Youth Commission gave a presentation on their work plan.

OTHER BUSINESS

12. Approval of a Two-Year Work Plan for the Los Gatos Youth Commission (2026 - 2028).

Council discussed the item.

Mayor Hudes opened public comment.

No one spoke.

Mayor Hudes closed public comment.

MOTION: Motion by Council Member Ristow to approve the work plan with the change suggested by the Vice Mayor [support the Town of Los Gatos's implementation of the 2026 statewide plastic bag ban through educating residents and recognizing businesses that comply with the new law]. **Seconded** by Vice Mayor Moore.

VOTE: Motion passed unanimously.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approve the Minutes of the November 18, 2025, Town Council Meeting.
2. Adopt a Resolution Declaring Weeds a Public Nuisance, Ordering Such Nuisance to be Abated, and Setting a Public Hearing Date of February 3, 2026, to Consider Objections to the Proposed Abatement. **RESOLUTION 2025-060**
3. Authorize the Town Manager to Execute a Third Amendment to an Agreement for Services with OpenGov, Inc., for an Amount Not to Exceed \$401,214.79.
4. Authorize the Town Manager to Execute an Agreement for Consultant Services with Dudek for the Preparation of an Urban Forest Management Plan for an Amount Not to Exceed \$243,810 and Approve Revenue and Expenditure Budget Adjustments in the Amount of \$243,810.
5. Receive an Annual Report Regarding the Independent Police Auditor Function.
6. Authorize the Town Manager to Execute a First Amendment to the Agreement for Services with Lisa Wise, Inc., Revising the Scope of Work at No Additional Cost.
7. Adopt an Ordinance of the Town Council of the Town of Los Gatos Repealing Chapter 6, "Building Regulations," and Chapter 9, "Fire Prevention and Protection," of the Town of Los Gatos Municipal Code, and Replacing Them with a New Chapter 6, "Building Code and Regulations," that Includes the New 2025 California Building, Fire, and Reach Codes as Amended. Amendments Include Updated Fire Safety Requirements in Wildland Urban Interface Areas for New, Renovated, or Repaired Structures, as well as Reach Codes Affecting Air Conditioning Replacement and Electrical Readiness in Renovations/Alterations. Town Code Amendment Application A25-005. Project Locations: Town Wide. Applicant: Town of Los Gatos.
Ordinance Title: An ordinance of the Town Council of the Town of Los Gatos Repealing Chapter 6, "Building Regulations," and Chapter 9, "Fire Prevention and Protection," and Replacing Them with a New Chapter 6, "Building Codes and Regulations," that Includes the New 2025 California Building, Fire, and Reach Codes, as Amended. Amendments Include Updated Fire Safety Requirements in Wildland Urban Interface Areas for New, Renovated, or Repaired Structures. **ORDINANCE 2380**
8. Authorize the Town Manager to Execute Agreements for Environmental Consultant Services with David J. Powers and Associates, EMC Planning Group, Inc., and Raney Planning and Management, Inc.
9. Authorize the Town Manager to Execute the First Amendment to an Agreement for Services with Los Gatos Monte Sereno Safe Routes to School Program for an Amount of \$371,158.26 Plus Annual CPI Increases, and Budget Adjustments in the Amount of \$88,457 to Recognize Annual Funding from Valley Transportation Authority's Measure B Education & Encouragement Program (CIP No. 812-0134).
10. Authorize the Town Manager to Execute a Fourth Amendment to the Agreement for Services with Sequoia Ecological Consulting Inc.
11. Authorize the Town Manager to Reopen the Building Replacement at Corporation Yard Project (4118715; CIP No. 821-2302) and Authorize an Expenditure Budget Adjustment in the Amount of \$83,565.38.

12. Approval of a Two-Year Work Plan for the Los Gatos Youth Commission (2026 - 2028).
13. Authorize the Town Manager or Designee to Enter into a First Amendment to the Contract for Litigation Legal Services for FY 2025-26 with Goldfarb and Lipman to Increase the Contract Amount by \$150,000.00, for a Total Contract Amount Not to Exceed \$350,000.00 and Authorize an Expenditure Budget Adjustment of \$150,000.00 from the General Fund Unassigned Fund Balance.
14. Authorize the Town Manager to Execute a Fifth Amendment in substantially the form presented with Hinderliter de Llamas & Associates dba HdL Companies for Sales or Transaction and Use Tax Management and Audit Services; Adopt a Resolution as Required by the California Department of Tax and Fee Administration (CDTFA), Authorizing Certain Town Representatives and a Town Contractor Access to Sales or Transactions, and Use Tax Records Pursuant to Revenue and Taxation Code Section 7056; and Rescind Resolution 2025-051. **RESOLUTION 2025-063**
15. Authorize a Revenue and Expenditure Budget Adjustment in the Amount of \$9,500.00 from the Town's Public Art Fund for the Forbes Mill Footbridge Children's Art for Fiscal Year 2025-26.
16. Adopt a Resolution Modifying the Hours of Enforcement for Passenger Loading Zones on East Main Street Adjacent to Los Gatos High School. **RESOLUTION 2025-061**

Mayor Hudes opened public comment.

Lee Quintana

- Commented on item eight.

Mayor Hudes closed public comment.

MOTION: Motion by Council Member Ristow to approve items one through eleven, and thirteen through sixteen. Seconded by Vice Mayor Moore.

VOTE: Motion passed unanimously.

VERBAL COMMUNICATIONS

Sudhana Belur, Indigenous Justice Coalition

- Commented on the federal recognition for Muwekma Ohlone Tribe.

Parker Huynhm, Indigenous Justice Coalition

- Commented on the federal recognition for Muwekma Ohlone Tribe.

Ray He, Indigenous Justice Coalition

- Commented on the federal recognition for Muwekma Ohlone Tribe.

Gavin Chang, Indigenous Justice Coalition

- Commented on the federal recognition for Muwekma Ohlone Tribe.

OTHER BUSINESS

17. Adopt a Resolution for the California Public Employees' Retirement System Retirement Plan to Waive the 180-day Retiree Rehire Wait Period for Gitta Ungvari.

This item was moved to the next regular Town Council Meeting (December 16).

18. Adopt a Resolution for the California Public Employees' Retirement System Retirement Plan to Waive the 180-day Retiree Rehire Wait Period for Janette Judd.

This item was moved to the next regular Town Council Meeting (December 16).

19. Resolution Terminating Membership in the Pooled Liability Assurance Network Joint Powers Authority and Authorizing Membership in the California Joint Powers Insurance Authority (CJPIA) to Obtain Risk Management and Insurance Coverages. **RESOLUTION 2025-062**

Chris Constantin, Town Manager, presented the staff report and provided a presentation outlining the purpose of the item, the staff recommendation, and an overview of the item.

The Council asked questions of a CJPIA representative.

Mayor Hudes opened public comment.

No one spoke.

Mayor Hudes closed public comment.

Council asked questions and discussed the item.

MOTION: Motion by Council Member Badame to adopt a resolution authorizing the Town Manager and Town Attorney to issue written notice of termination of the Town's membership in the Pooled Liability Assurance Network Joint Powers Authority (PLAN JPA) at the end of the fiscal year and to execute all necessary agreements to join the California Joint Powers Insurance Authority (CJPIA) and obtain risk management and insurance coverages. **Seconded by Vice Mayor Moore.**

VOTE: Motion passed unanimously.

COUNCIL/TOWN MANAGER REPORTS

Council Matters

20. Discuss a Letter from the Historic Preservation Committee to the Town Council Regarding Future Historic Preservation Workplan Items and Provide Direction to Staff.

Sean Mullin, Planning Manager, presented the staff report.

Mayor Hudes opened public comment.

Lee Quintana, Historic Preservation Committee Chair

- Commented on the proposed work plan items.

Susan Burnett

- Commented on the reasons for the proposed workplan items.

Mayor Hudes closed public comment.

The Council asked questions and discussed the item.

MOTION: Motion by Mayor Hudes to ask staff to evaluate the level of effort and the feasibility of the following items: preserving smaller homes, reviewing the boundaries of the historic districts, refreshing the Bloomfield survey, considering replacement structure historically relevant, and adopting pre-1941 to seventy year rolling, and to update and clarify definitions and required findings for determining [historic] status after the objective standards have been substantially completed. **Seconded by Council Member Badame.**

VOTE: Motion passed unanimously.

Council Matters

- Council Member Badame stated she participated in a meeting of the Silicon Valley Animal Control Authority (SVACA), a resident wildfire advisory group; attended a Diversity, Equity, and Inclusion Commission (DEIC) meeting as an observer, and a meeting of the Finance Commission as an observer.
- Council Member Ristow stated she attended the Los Gatos Interfaith Thanksgiving Service, the Live Oak Thanksgiving Celebration, a Silicon Valley Clean Energy Authority (SVCEA) Finance and Administration Committee meeting; met with the North40 developers, and residents.
- Vice Mayor Moore stated he attended the Los Gatos Interfaith Thanksgiving Service, a meeting with El Camino Hospital representatives, Muse Markets, a Finance Commission meeting, and other meetings.
- Council Member Rennie stated he attended the SVCEA Risk Oversight Committee meeting.
- Mayor Hudes stated he met with neighbors of the Twin Oaks development; observed the DEIC meeting; participated in meetings with the Community Center group, SVCEA, the West Valley Mayors and Managers, and the Los Gatos Thrives Foundation.

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SUBJECT: Minutes of the Town Council Meeting of December 2, 2025

DATE: December 2, 2025

Town Manager Report

Chris Constantin, Town Manager

- Stated he had no report.

Closed Session Report

Gabrielle Whelan, Town Attorney

- Stated that the Town Council started closed session (before the regular meeting) and will reconvene in closed session after the regular meeting is adjourned, and will return to the Chambers to report out.

ADJOURNMENT

The meeting adjourned at 9:17 p.m.

Respectfully Submitted:

/s/ Jenna De Long, Deputy Town Clerk



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/10/2026

ITEM NO: 5

DATE: June 5, 2026
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Determine that the Disposition of Land is in Conformance with the Town of Los Gatos 2040 General Plan for Property Zoned R-1D:LHP (Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay). **Located at 4 Tait Avenue.** APN: 510-44-054. The Determination is Not Subject to CEQA Review Pursuant to CEQA, Section 15061 (b)(3), Because it can be Seen with Certainty that the Determination will not have a Significant Effect on the Environment. Property Owner/Applicant: Town of Los Gatos. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request to determine that the disposition of land is in conformance with the Town of Los Gatos 2040 General Plan for property zoned R-1D:LHP, located at 4 Tait Avenue.

PROJECT DATA:

General Plan Designation: Medium Density Residential
Zoning Designation: R-1D:LHP (Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay)
Applicable Plans & Standards: General Plan
Parcel Size: 0.27 Acres

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director and Town Attorney

Surrounding Area			
	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1D
East	Commercial	Medium Density Residential and Central Business District	R-1D and C-2
South	Residential	Medium Density Residential	R-1D:LHP
West	Residential	Medium Density Residential	R-1D

CEQA:

The determination is not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3), because it can be seen with certainty that the determination will not have a significant effect on the environment.

FINDINGS:

- The determination is not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3), because it can be seen with certainty that the determination will not have a significant effect on the environment.
- As required by CA Government Code Section 65402 that the disposition of real property is in conformance with the Town of Los Gatos 2040 General Plan.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property has long been owned by the Town. The property is developed with an approximately 2,525-square foot primary building and an ancillary outbuilding originally constructed as a fire station and later used as a museum. The museum use was discontinued several years ago, and the buildings are currently unoccupied.

From 2020 to 2025, the Town sought a tenant for the property through a lease agreement with Tait Firehouse, LLC. The agreement allowed the property to remain in Town control, maintained the historic value of the property, required no monetary resources from the Town, and provided a potential annual revenue stream to the Town. At the request of the applicant, the property was rezoned for commercial use to allow the tenants of the building to lease the existing building for commercial uses. A viable commercial tenant for the space was never secured. The Town returned the property back to the residential zoning in early 2026.

On January 21, 2025, the Council adopted Resolution 2025-002 declaring the property to be exempt surplus land pursuant to the Surplus Land Act [CA Government Code Section 54221(f)(1)(B)] and authorizing the Town Manager to pursue disposition of the property.

On October 7, 2025, the Council approved an agreement for brokerage services for the disposition of the property. The Town is currently in contract with a potential buyer for the property.

DISCUSSION:

CA Government Code Section 65402 (Exhibit 2) provides that the Town's acquisition or disposal of real property shall be submitted to and reported upon by the planning agency, in this case the Planning Commission, with respect to conformity with the adopted general plan.

The property has been vacant for some time. Attempts were made to secure a commercial tenant for the property without success. The Town now seeks to dispose of the property, which would provide opportunity for residential use of the property, additional residential development, and preservation of the historic firehouse building.

The General Plan land use designation for the property is Medium Density Residential, which provides for multiple-family residential, duplex, and/or small single-family homes. Disposal of the property allows for residential use of the existing building and potential development of additional housing units within the Town, consistent with the adjacent pattern of development. The Town's Housing Element supports a consistency finding for the disposition of the property as identified within multiple general plan goals and policies. Applicable goals within the Housing Element supportive of the consistency finding include the following:

- **Goal HE-1:** Facilitate All Types of Housing Construction.
The Town encourages the production of diverse new housing options to ensure that an adequate supply is available to meet the existing and future needs of all residents.
- **Policy HE-1.7:** Infill opportunities in single-family neighborhoods.
The Town shall increase access to opportunity for lower-income households by encouraging infill of smaller units in single-family neighborhoods (e.g., ADUs, multi-generational housing units, and SB 9 projects).
- **Policy HE-4.5:** Preserve residences of historic or architectural value.
The Town shall encourage the preservation of residential buildings with historic or architectural value.

CA Government Code section 65402 provides that the Town's disposition of the real property shall be submitted to and reported upon by the Planning Commission with respect to conformity with the adopted general plan. The Town of Los Gatos 2040 General Plan goals and

policies cited provide the basis for the Planning Commission to find that the Town's disposition of the subject property is consistent with the General Plan.

ENVIRONMENTAL REVIEW:

The determination is not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3). This Section states that an activity is covered by the commonsense exemption that CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA review. The disposition of property will not involve nor approve any physical change nor any reasonably foreseeable future change and does not include any modification that would affect the historic significance of the building or the physical environment.

CONCLUSION:

A. Summary

The Town seeks a determination from the Planning Commission that the disposition of real property is consistent with the Town of Los Gatos 2040 General Plan.

B. Recommendation

Based on the analysis above, staff recommends that the Planning Commission adopt the draft Resolution included as Exhibit 1 to:

1. Make the required finding that this determination is not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3), in that it can be seen with certainty that there is no possibility that a determination that the disposition of land is in conformance with the Town of Los Gatos 2040 General Plan will have a significant effect on the environment (Exhibit 1); and
2. Make the finding as required by CA Government Code Section 65402 that the disposition of real property is in conformance with the Town of Los Gatos 2040 General Plan (Exhibit 1).

C. Alternatives

Alternatively, the Planning Commission can:

1. Continue the matter to a date certain with specific direction;
2. Adopt the Resolution with modifications; or

PAGE 5 OF 5

SUBJECT: 4 Tait Avenue

DATE: June 5, 2026

3. Find that the disposition of real property is not in conformance with the General Plan providing findings for denial.

EXHIBITS:

1. Draft Resolution for consistency with the General Plan
2. CA Government Code Section 65402

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RESOLUTION 2026-

RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF LOS GATOS DETERMINING THAT THE DISPOSITION OF LAND IS IN CONFORMANCE WITH THE TOWN OF LOS GATOS 2040 GENERAL PLAN FOR PROPERTY ZONED R-1D:LHP (SINGLE-FAMILY RESIDENTIAL DOWNTOWN WITH A LANDMARK AND HISTORIC PRESERVATION OVERLAY).

**PROPERTY LOCATION: 4 TAIT AVENUE
APN 510-44-054
PROPERTY OWNER: TOWN OF LOS GATOS**

WHEREAS, the Town of Los Gatos (“Town”) owns the real property located at 4 Tait Avenue (Santa Clara County Assessor Parcel Number 510-44-054); and

WHEREAS, California Government Code Section 65402 provides in part that a local agency’s acquisition or disposal of real property shall be submitted to and reported upon by the planning agency with respect to conformity with the adopted general plan applicable thereto; and

WHEREAS, on January 21, 2025, the Town Council adopted Resolution 2025-002 declaring the property located at 4 Tait Avenue to be exempt surplus land pursuant to the Surplus Land Act [CA Government Code Section 54221(f)(1)(B)] and authorizing the Town Manager to pursue disposition of the property; and

WHEREAS, on October, 7, 2025, the Town Council approved an agreement for brokerage services for the disposition of the property. The Town is currently in contract with a potential buyer for the property; and

WHEREAS, the Town requests that the Planning Commission determine that the disposition of land is in conformance with the Town of Los Gatos 2040 General Plan for property zoned R-1D:LHP, located at 4 Tait Avenue (Santa Clara County Assessor Parcel Number 510-44-054); and

WHEREAS, the Town adopted the Town of Los Gatos 2040 General Plan on June 30, 2022. On April 2, 2024, the Town Council voted to rescind the 2040 Land Use Element and 2040 Community Design Element, reverting back to the 2020 Land Use Element and 2020 Community Design Element; and

WHEREAS, the 2040 General Plan contains multiple goals and policies within the Housing Element that support a consistency finding for the disposition of the subject property, including:

- **Goal HE-1:** Facilitate All Types of Housing Construction.
The Town encourages the production of diverse new housing options to ensure that an adequate supply is available to meet the existing and future needs of all residents.
- **Policy HE-1.7:** Infill opportunities in single-family neighborhoods.
The Town shall increase access to opportunity for lower-income households by encouraging infill of smaller units in single-family neighborhoods (e.g., ADUs, multi-generational housing units, and SB 9 projects).
- **Policy HE-4.5:** Preserve residences of historic or architectural value.
The Town shall encourage the preservation of residential buildings with historic or architectural value.

WHEREAS, the subject property is designated within the 2040 General Plan as Medium Density Residential; and

WHEREAS, disposition of the subject property would provide an opportunity for residential use of the property, additional residential development, and preservation of the historic firehouse building; and

WHEREAS, the Town intends to dispose of the subject property for private development and preservation of the historic firehouse building purposes; and

WHEREAS, on June 10, 2026, the Planning Commission reviewed the proposed disposition of the subject property to determine whether such disposition is in conformance with the Town of Los Gatos 2040 General Plan; and

WHEREAS, the Planning Commission considered all testimony and materials submitted along with any and all subsequent reports and materials submitted regarding this matter.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission:

1. The Recitals above are incorporated into these findings.
2. The following findings are made by the Planning Commission of the Town of Los Gatos. The facts and evidence that support these findings are also contained and explained in the record of proceedings for the proposed request, including without limitation the staff report for the Planning Commission hearings.

(A) Finding required for the California Environmental Quality Act (CEQA):

This determination is not subject to CEQA review pursuant to CEQA, Section 15061 (b)(3). This Section states that an activity is covered by the commonsense exemption that CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA review. The disposition

of the property located at 4 Tait Avenue will not involve nor approve any physical change nor any reasonably foreseeable future change and does not include any modification that would affect the historic significance of the building or the physical environment.

(B) Findings required by CA Government Code Section 65402:

Based on the foregoing, the Planning Commission hereby determines that the disposition of the property located at 4 Tait Avenue (Santa Clara County Assessor Parcel Number 510-44-054) for private development purposes conforms with the 2040 General Plan and adopts this resolution for purposes of reporting General Plan conformance pursuant to CA Government Code Section 65402.

3. Pursuant to Town Code Section 29.20.275, this decision is appealable to the Town Council within ten days of adoption of this resolution.
4. If any section, subsection, sentence, clause, or phrase of this resolution is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this resolution.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the Town of Los Gatos, California, held on the 10th day of June 2026, by the following vote:

PLANNING COMMISSIONERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

CHAIR OF THE TOWN OF LOS GATOS
PLANNING COMMISSION

DATE: _____

ATTEST:

COMMUNITY DEVELOPMENT DIRECTOR

DATE: _____

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State of California

GOVERNMENT CODE

Section 65402

65402. (a) If a general plan or part thereof has been adopted, no real property shall be acquired by dedication or otherwise for street, square, park or other public purposes, and no real property shall be disposed of, no street shall be vacated or abandoned, and no public building or structure shall be constructed or authorized, if the adopted general plan or part thereof applies thereto, until the location, purpose and extent of such acquisition or disposition, such street vacation or abandonment, or such public building or structure have been submitted to and reported upon by the planning agency as to conformity with said adopted general plan or part thereof. The planning agency shall render its report as to conformity with said adopted general plan or part thereof within forty (40) days after the matter was submitted to it, or such longer period of time as may be designated by the legislative body.

If the legislative body so provides, by ordinance or resolution, the provisions of this subdivision shall not apply to: (1) the disposition of the remainder of a larger parcel which was acquired and used in part for street purposes; (2) acquisitions, dispositions, or abandonments for street widening; or (3) alignment projects, provided such dispositions for street purposes, acquisitions, dispositions, or abandonments for street widening, or alignment projects are of a minor nature.

(b) A county shall not acquire real property for any of the purposes specified in paragraph (a), nor dispose of any real property, nor construct or authorize a public building or structure, in another county or within the corporate limits of a city, if such city or other county has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, and a city shall not acquire real property for any of the purposes specified in paragraph (a), nor dispose of any real property, nor construct or authorize a public building or structure, in another city or in unincorporated territory, if such other city or the county in which such unincorporated territory is situated has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, until the location, purpose and extent of such acquisition, disposition, or such public building or structure have been submitted to and reported upon by the planning agency having jurisdiction, as to conformity with said adopted general plan or part thereof. Failure of the planning agency to report within forty (40) days after the matter has been submitted to it shall be conclusively deemed a finding that the proposed acquisition, disposition, or public building or structure is in conformity with said adopted general plan or part thereof. The provisions of this paragraph (b) shall not apply to acquisition or abandonment for street widening or alignment projects of a minor nature if the legislative body having the real property within its boundaries so provides by ordinance or resolution.

(c) A local agency shall not acquire real property for any of the purposes specified in paragraph (a) nor dispose of any real property, nor construct or authorize a public building or structure, in any county or city, if such county or city has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, until the location, purpose and extent of such acquisition, disposition, or such public building or structure have been submitted to and reported upon by the planning agency having jurisdiction, as to conformity with said adopted general plan or part thereof. Failure of the planning agency to report within forty (40) days after the matter has been submitted to it shall be conclusively deemed a finding that the proposed acquisition, disposition, or public building or structure is in conformity with said adopted general plan or part thereof. If the planning agency disapproves the location, purpose or extent of such acquisition, disposition, or the public building or structure, the disapproval may be overruled by the local agency.

Local agency as used in this paragraph (c) means an agency of the state for the local performance of governmental or proprietary functions within limited boundaries. Local agency does not include the state, or county, or a city.

(Amended by Stats. 1974, Ch. 700.)