



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
FEBRUARY 10, 2021
110 EAST MAIN STREET
LOS GATOS, CA**

*Kathryn Janoff, Chair
Kendra Burch, Vice Chair
Jeffrey Barnett, Commissioner
Melanie Hanssen, Commissioner
Jeffrey Suzuki, Commissioner
Reza Tavana, Commissioner
Emily Thomas, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
<https://www.kcat.org/government-meetings>

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]

IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID-19 pandemic. The live stream of the meeting may be viewed on television and/or online at: <https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chamber.**

PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at: <https://losatosca.gov.zoom.us/j/84199173675?pwd=eHNWa1JVT1U1RktONEdZU1E1YkpmZz09>
Passcode: 254578.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to PlanningComment@losatosca.gov with the subject line “Public Comment Item # ” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

REMOTE LOCATION PARTICIPANTS

The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR KATHRYN JANOFF, VICE CHAIR BURCH, COMMISSIONER BARNETT, COMMISSIONER HANSSSEN, COMMISSIONER SUZUKI, COMMISSIONER TAVANA, AND COMMISSIONER THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
FEBRUARY 10, 2021
7:00 PM**

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Before the Planning Commission acts on the consent agenda, any member of the public or Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda)*

1. Drafted Minutes of the January 13, 2021 Meeting

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Requesting Approval for demolition of an existing single-family residence, construction of a new single-family residence, removal of a large protected tree, and site improvements requiring a Grading Permit on property zoned R-1:12. APN 510-20-068. This property is located at **62 Ellenwood Avenue**. PROPERTY OWNER: Lisa and Case Swenson. APPLICANT: Lisa Nichols, Arcanum Architecture, Inc. PROJECT PLANNER: Sean Mullin. Continued from the December 9, 2020 Planning Commission meeting.

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

None.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)*

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection on the official Town of Los Gatos website.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 02/10/2021

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
JANUARY 13, 2021**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, January 13, 2021, at 7:00 p.m.

This meeting was conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID19 pandemic and was conducted via Zoom. All planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Chair Melanie Hanssen, Vice Chair Kathryn Janoff, Commissioner Jeffrey Barnett, Commissioner Kendra Burch, and Commissioner Reza Tavana.

Absent: None.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – December 9, 2020

MOTION: Motion by Commissioner Tavana to approve adoption of the Consent Calendar. **Seconded** by Commissioner Burch.

VOTE: Motion passed unanimously.

PUBLIC HEARINGS

2. 15 Loma Alta Avenue

Architecture and Site Application S-19-023

APN 532-29-073

Applicant: Babak Homayouni

Appellants: Kelly Luoma and Rick Rutter

Property Owner: BAB Investment Group LLC

Project Planner: Jennifer Armer

Consider an Appeal of a Development Review Committee Decision Approving a Request for Demolition of an Existing Single-family Residence and Construction of a New Single-family Residence with Reduced Setbacks on Nonconforming Property Zoned R-1:8.

Continued from November 11, 2020 meeting.

Jennifer Armer, Senior Planner, presented the staff report.

Opened Public Comment.

Kelly Luoma (Appellant)

- They appreciate that the house has been reduced in size and height, which had been big concerns for her. She would not call the latest design a traditional Craftsman because it is still contemporary. She is left confused as to what the story poles reflect because the roof pitch is not shown in the plans and the elevation heights are not consistent. They are concerned that water is being pushed towards their property. The chimney is also inconsistent, appearing on some views, but not in others. There are questions with the current plans that have not been adequately addressed.

Rick Rutter (Appellant)

- Some of their concerns are more in the details. They are confused as to how specific things need to be before they move forward because there is confusion regarding some of the plan's changes. The Applicants have been very good in trying to meet with them on certain areas, but he would like them to address these final points.

Bahar Masarati, Architect (Applicant)

- The story poles do not change, except for the garage roof, so the maximum height will remain the same whether the story poles are changed or not. All the concerns regarding the most current set of plans submitted have been addressed.

Babak Homayouni, Architect (Applicant)

- When Ms. Masarati says the height remains the same it means they have already reduced the height by 3 feet in the new design. One of the Appellant's concerns was the garage height, so they are willing to lower the garage roof pitch from 8:12 to 6:12 to achieve more

light and less shadow for their property and give consistency with the rest of the home. They have solicited comment from the Appellants on the new plans and addressed comments made by their neighbor, James Lyon. It is impossible to show the Appellants how the Craftsman would be with respect to the story poles, because story poles reflect the volume of the house, the pitch of the roof, and the overall home.

James Lyon

- The project has come a long way. The Applicants have addressed most of his concerns and the Appellant's civil engineering concerns should be addressed as conditions of approval prior to the issuance of building permits. He requested the Town Architect give the project a final review prior to approval in terms of consistency of the design and leave the final approval to staff. He supported the Craftsman design.

Babak Homayouni, Architect (Applicant)

- They will go with the Appellant's desired roof pitch of 6:12. A railing for the balcony was not indicated because there is no railing as the roof serves as a railing. The civil plans have not been changed to coordinate with the architectural drawings because there is no change to the footprint, so there is no need to change the plan. They will secure the back yard and they can build an 8-foot fence if the Appellants desire. The Town has provided them a drain to deal with water and there is no way to drain the water from the house to anywhere else, and it has been approved by the Town's civil engineers. They cannot guide the water the other way; they have to follow the slope.

Kelly Luoma (Appellant)

- She reiterated that she appreciated that the house had been reduced in scope. She clarified that there currently is a fence and gate on their property. They are trying to protect their property and do have water concerns and want it on record that they are saying it now, because the area is prone to flooding.

James Lyon

- The water from the subject site would be split and directed both into the alley and to the Appellant's property. There are inconsistencies between the architectural and civil plans and there might be additional considerations under the permit review; they will see what happens when they get 6 inches of rain.

Rick Rutter (Appellant)

- He appreciated what has been done to move the project forward and said addressing the neighbor's concerns would help get it to the finish line. The water is still a concern.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Burch** to deny an appeal of a Development Review Committee decision and approve an Architecture and Site Application for 15 Loma Alta Avenue. **Seconded by Commissioner Tavana.**

VOTE: **Motion passed unanimously.**

3. 201-223 Los Gatos-Saratoga Road

Sign Permit Application SN-20-035

APN 510-14-009

Applicant: Michele Richmond

Property Owner: Joey McCarthy, McCarthy Ranch

Project Planner: Ryan Safty

Consider a Request for Approval of an Exception to the Town's Commercial Design Guidelines to Allow Four Panels on an Existing Ground Sign on Property Zoned C-2.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Joe Goggiano, McCarthy Ranch

- A fourth panel is needed to complete development of the property. There are four prospective tenants, thus the need for the fourth panel on the sign. It would help in marketing the property to be able to offer signage to any future tenant.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Barnett** to approve an Exception to the Town's Commercial Design Guidelines and approve a Sign Permit for 201-223 Los Gatos-Saratoga Road. **Seconded by Commissioner Burch.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

4. Election of Chair and Vice Chair

MOTION: **Motion** by **Chair Hanssen** to nominate **Vice Chair Janoff** as Chair of the 2021 Planning Commission. **Seconded** by **Commissioner Burch**.

VOTE: **Motion passed unanimously.**

MOTION: **Motion** by **Chair Janoff** to nominate **Commissioner Burch** as Vice Chair of the 2021 Planning Commission. **Seconded** by **Commissioner Hanssen**.

VOTE: **Motion passed unanimously.**

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Joel Paulson, Director of Community Development

- None.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

General Plan Advisory Committee

Commissioner Hanssen

- GPAC met December 17, 2020; reviewed the Mobility Element for the third time.
- GPAC met 1/7/21; reviewed the Land Use Element.

General Plan Committee

Commissioner Hanssen

- GPC met January 13, 2021; considered a General Plan Amendment for Tait Avenue, a property owned by the Town, and forwarded a recommendation of approval to the Planning Commission and Town Council.

Conceptual Development Advisory Committee

Commissioner Barnett

- CDAC met January 13, 2021; discussed conceptual plans for 16203 Los Gatos Boulevard.

Historic Preservation Committee

Commissioner Burch

- HPC met December 16, 2020; reviewed a proposal to relocate a Yuki house to another part of the first half of the North 40 and possible uses for it.
- HPC met January 12, 2020; reviewed Initial Drafts of the Land Use and Community Design Elements.

COMMISSION MATTERS

Commissioner Hanssen:

- Congratulated Chair Janoff and Vice Chair Burch on their new Planning Commission positions, and thanked her fellow commissioners for their help in dealing with the struggles of 2020.

Vice Chair Burch:

- Thanked Commissioner Hanssen for her service as the 2020 Planning Commission Chair.

Chair Janoff:

- Announced two new planning commissioners would be appointed on January 19, 2021 and would be in place for the next Commission meeting.

ADJOURNMENT

The meeting adjourned at 8:16 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the January 13, 2021 meeting as approved by the Planning Commission.

/s/ Vicki Blandin



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 02/10/2021

ITEM NO: 2

DATE: February 4, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Demolition of an Existing Single-family Residence, Construction of a New Single-family Residence, Removal of a Large Protected Tree, and Site Improvements Requiring a Grading Permit on Property Zoned R-1:12 Located at 62 Ellenwood Avenue. APN 510-20-068. Architecture and Site Application S-20-008. Property Owners: Lisa and Case Swenson. Applicant: Lisa Nichols, Arcanum Architecture, Inc. Project Planner: Sean Mullin.

BACKGROUND:

On December 9, 2020, the Planning Commission considered the application and continued the matter to January 27, 2021. The Planning Commission directed the applicant to consider the comments of the Planning Commission, including:

- Incorporate softer materials;
- Utilize materials that are age compatible within the architecture and the surrounding neighborhood;
- Articulate the two-story mass by stepping it in at the front elevation;
- Reduce the driveway width; and
- Revise the fence design to be more compatible with the neighborhood.

Following the December 9, 2020 meeting, the applicant requested that the application be continued to a date uncertain to allow additional time to prepare revised materials. The applicant later requested a hearing date of February 10, 2021. The Town completed noticing for this hearing including publishing notices in the newspaper, posting agendas throughout the Town, and mailing notice cards to all property owners and occupants within 300 feet of the subject property. Additionally, the story poles have been updated and an updated project sign has been posted in accordance with Town policy.

PREPARED BY: SEAN MULLIN, AICP
Associate Planner

Reviewed by: Planning Manager and Community Development Director

DISCUSSION:

The applicant has revised the development plans in response to the comments received from the Planning Commission and provided a summary of the revisions to the development plans (Exhibits 16 and 19). The architecture of the main residence has been revised to a cottage vernacular, incorporating painted horizontal wood siding, split-faced stone veneer siding, a wood shingle roof, metal clad wood divided lite windows, steel divided lite windows and doors, stained cedar garage doors, reclaimed solid wood lintels, wood trellis and columns, and copper gutters, downspouts, and flue enclosures (Exhibits 17 and 19). The Residential Design Guidelines discourages the use of architectural copper due to concerns with its potential to contribute pollution to surface waters and the San Francisco Bay through runoff. In response to this concern, the applicant has indicated to staff that the copper will not be used and will be replaced with painted bonderized metal. Staff has included elimination of the architectural copper as a Condition of Approval (Exhibit 15).

The footprint and floorplan of the proposed residence and garage have both been maintained as previously proposed with only minor updates to the fenestration. The roof of the two-story portion of the residence has been changed from a hip roof to a gable-end roof with the plate and ridge heights consistent with the previous proposal. The two-story portion of the residence now includes a change in materials from stone siding to horizontal wood siding to break up the two-story massing and provide visual relief at this street-facing two-story wall.

The ridge and plate heights of the revised residence and garage remain consistent with those of the previous proposal with the exception of the single-story portion on the north side of the residence. The ridge height of this portion has been reduced by eight inches and the plate height has been reduced by 12 inches to align with the eave above the adjacent front entry. Other updates to the residence include the removal of the front entry trellis, small front balcony, and awning on the north section of the residence. Additionally, the front door has changed from steel and glass to wood, and proportional shutters have been added to the second-story front window.

In addition to the revisions made to the residence, the applicant has also responded to the direction of the Planning Commission by reducing the width of the proposed driveway from 18 feet to 14 feet in the interior of the property. The design of the front fence has been updated by eliminating the stone and metal accents and simplifying the materials to a vertical weathered wood picket. The siting of the front fence has also been simplified to a simple linear configuration paralleling the front property line and turning into the property with increasing setbacks as it traverses from south to north. The proposed pedestrian and northern vehicular gates have also been revised to a rectangular wood frame with vertical wood paneling and inset hog wire. The vehicular gate on the south side of the property has been updated to match the revised vertical wood picket fence proposed along the front of the property. The applicant

DISCUSSION (continued):

continues to pursue a fence height exception for the front fence and gates and includes additional written justification on Sheet L5.4 of the revised development plans (Exhibit 19).

STORY POLES:

The installed story poles have been maintained and updated to reflect the change from a hip roof to a gable-end roof on the second story and the lowering of the roof ridge and plate heights of the single-story portion on the north side of the residence. The applicant communicated to staff that the six poles representing the north portion of the residence were installed just prior to a final height adjustment being made on the plans to match the eave line at the entry. As a result, these six poles are approximately three inches taller than the heights indicated in the plans. The story poles have been certified by a licensed surveyor who indicated that they accurately reflect the height and location of the proposed residence, with this exception.

PUBLIC COMMENTS:

At the time of this report's preparation, the Town has not received any public comment.

CONCLUSION:

A. Summary

The applicant has submitted revised development plans responding to the Planning Commission's direction (Exhibit 19).

B. Recommendation

Should the Planning Commission determine that the revised project meets the direction provided at the December 9, 2020 meeting, the Commission can take the actions below to approve the Architecture and Site application:

1. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);
3. Make the findings as required by Section 29.10.0992 of the Town Code for the removal of protected trees (Exhibit 2);

CONCLUSION (continued):

4. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
5. Make the finding that due security concerns a Fence Height Exception as allowed by Section 29.40.0320 of the Town Code is appropriate (Exhibit 2);
6. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
7. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
8. Approve Architecture and Site Application S-20-008 with the conditions contained in Exhibit 15 and the revised development plans in Exhibit 19.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

Previously received with the December 9, 2020 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Color and Materials Board
5. Project Description and Letter of Justification
6. Consulting Architect's Report, dated May 19, 2020
7. Applicant's response to the Consulting Architect's Report, dated August 18, 2020
8. Consulting Arborist's Report, dated June 3, 2019
9. Applicant's response to the Consulting Arborist's Report, dated August 18, 2020
10. Fence Height Exception Letter of Justification, dated August 17, 2020
11. Applicant's neighbor outreach efforts, dated August 18, 2020
12. Applicant's neighbor outreach efforts, dated November 18, 2020
13. Public comments received by 11:00 a.m., Friday, December 4, 2020
14. Development Plans, received November 20, 2020

Received with this Staff Report:

15. Revised Recommended Conditions of Approval
16. Applicant Response Letter

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SUBJECT: 62 Ellenwood Avenue/S-20-008

DATE: February 4, 2021

EXHIBITS (continued):

17. Revised Color and Materials Board
18. Exterior light fixture
19. Revised Development Plans, received January 27, 2021

PLANNING COMMISSION –February 10, 2021
CONDITIONS OF APPROVAL

62 Ellenwood Avenue
Architecture and Site Application S-20-008

**Requesting Approval for Demolition of an Existing Single-family Residence,
Construction of a New Single-family Residence, Removal of a Large Protected Tree,
and Site Improvements Requiring a Grading Permit on Property Zoned R-1:12.
APN 510-20-068**

PROPERTY OWNER: Lisa Nichols, Arcanum Architecture, Inc.
APPLICANT: Lisa and Case Swenson
PROJECT PLANNER: Sean Mullin

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. MATERIALS: Architectural copper shall be eliminated from the development plans prior to the issuance of a building or grading permit.
4. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
5. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any protected trees to be removed, prior to the issuance of a building or grading permit.
6. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan and must remain on the site.
7. TREE FENCING: Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
10. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report. These recommendations must be

incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed.

11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
12. SALVAGE OF BUILDING MATERIALS: Prior to the issuance of a demolition permit, the developer shall provide the Community Development Director with written notice of the company that will be recycling the building materials. All wood, metal, glass, and aluminum materials generated from the demolished structure shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting the type and weight of materials, shall be submitted to the Town prior to the Town's demolition inspection.
13. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
14. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
15. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

16. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing single-family residence. A separate Building Permit is required for the construction of the new single-family residence and attached garage. An additional Building Permit will be required for each separate structure that is not attached to another permitted structure (example: swimming pool, ground mount solar array, retaining walls, pool pavilion, etc.)
17. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
18. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.

19. **BUILDING & SUITE NUMBERS:** Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
20. **SIZE OF PLANS:** Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
21. **REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE:** Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
22. **SOILS REPORT:** A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
23. **SHORING:** Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
24. **FOUNDATION INSPECTIONS:** A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
25. **TITLE 24 ENERGY COMPLIANCE:** All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
26. **TOWN RESIDENTIAL ACCESSIBILITY STANDARDS:** New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.

27. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
28. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
29. WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2019 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
30. PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
31. PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
32. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
33. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
34. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

35. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of

the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.

36. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
37. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
38. PRIOR APPROVALS: All conditions per prior approvals shall be deemed in full force and affect for this approval.
39. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
40. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
41. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
42. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
43. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before

starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.

44. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
45. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
46. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
47. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
48. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits or recordation of the Parcel / Final Map.
49. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
50. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
51. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering

Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant/Developer's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

52. **ILLEGAL GRADING:** Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
53. **DRIVEWAY:** The driveway conform to existing pavement on Ellenwood Avenue shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
54. **CONSTRUCTION EASEMENT:** Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
55. **DRAINAGE STUDY:** Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
56. **TREE REMOVAL:** Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
57. **SURVEYING CONTROLS:** Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall: top of wall elevations and locations.
 - b. Toe and top of cut and fill slopes.
58. **PRECONSTRUCTION MEETING:** Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - a. Along with the Owner, Applicant and/or Developer, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;

- b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
59. **RETAINING WALLS:** A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
60. **IMPROVEMENT AGREEMENT:** The Owner, Applicant and/or Developer shall enter into an agreement to construct public improvements in accordance with Town Code Section 24.40.020. The Owner, Applicant and/or Developer shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner, Applicant and/or Developer shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any encroachment, grading or building permit.
61. **WATER METER:** The existing water meter, currently located within the Ellenwood Avenue right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
62. **CERTIFICATE OF OCCUPANCY:** The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
63. **GREEN INFRASTRUCTURE MEASURES:** Projects which propose work within the Town's right-of-way, including but not limited to pavement restoration, street widening, construction of curb, gutter and/or sidewalk, right-of-way dedication, etc., will be evaluated by Staff to determine its potential for the implementation of Green Infrastructure measures and associated improvements.
64. **FRONTAGE IMPROVEMENTS:** The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
65. **UTILITIES:** The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All

new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

66. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
67. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
68. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
69. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
70. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
71. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.

72. **SANITARY SEWER BACKWATER VALVE:** Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
73. **BEST MANAGEMENT PRACTICES (BMPs):** The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
74. **NPDES STORMWATER COMPLIANCE:** In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
75. **SITE DESIGN MEASURES:** All projects shall incorporate at least one of the following measures:
- a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
76. **DUST CONTROL:** Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to

minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

77. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
78. WATER FEATURES: New swimming pools shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's authority and standards, to facilitate draining events. Discharges from this feature shall be directed to the sanitary sewer and are not allowed into the storm drain system.
79. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
80. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
81. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
82. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

83. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
84. FIRE SPRINKLERS REQUIRED: (As noted on Sheet A0.0 and L0.0) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. Sprinklers are required for both structures.
85. WATER SUPPLY REQUIREMENTS: (As noted on Sheet L0.0) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
86. ADDRESS IDENTIFICATION: (As noted on Sheet L0.0) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. CFC Sec. 505.1.
87. CONSTRUCTION SITE FIRE SAFETY: (As noted on Sheet L0.0) All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
88. EMERGENCY GATE/ACCESS GATE REQUIREMENTS: (As noted on Sheet C2.1 and L0.0) Gate installations shall conform with Fire Department Standard Details and Specification G-1 and,

when open shall not obstruct any portion of the minimum required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed; if they are operated manually, then an approved Knox padlock shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 18 feet from the road being exited. [CFC Sec. 503.6 and 506] [LGTC Sec. 29.40.030]. A Knox Key Switch will be provided and installed as noted. Rev. 10/13/20 KB.

89. FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: (As noted on Sheet C2.1 and L0.0) Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1. Rev. 10/13/20 KB.
90. General: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

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Planning Department
Town of Los Gatos
110 E. Main Street
Los Gatos, Ca 95030

RE: 62 Ellenwood Avenue – Demolition of an existing single-family residence, construction of a new single-family residence, removal of a large protected tree, and site improvements requiring a Grading Permit on property zoned R-1:12.

Architecture and Site Application S-20-008

Dear Planning Commission:

Below is a narrative of the updates to our drawings as requested by the Planning Commission at the hearing on December 9th, 2020.

Our approach to meet the request of the committee to revise the building to be less modern and age-appropriate for the neighborhood was thoughtfully discussed with the clients. A Spanish Colonial design was studied however, the clients had a strong preference not to incorporate a barrel tile roof. We then explored architectural vernaculars that would also be appropriate: Arts and Crafts and Bungalow. We landed on a Cottage vernacular that would be a simple, informal structure, indicative of early to mid-1900s with horizontal wood siding and trim, stone, and a wood shingle roof; all materials and elements of northern California suburban and rural environments. The second story roof was changed from hip to gable forms in keeping with the simple details and massing of the cottage style. To maintain alignment with the original discussion of a Spanish Colonial home, we kept the color palette light and similar to the existing home.

In addition, we reduced the driveway width to 14'-0", modified the front fence to be more traditional by removing the stone fins and metal accents allowing the pickets to be exposed and showcase a more patina and rural look. By adding additional trees and removing the trellis at the courtyard, the one-story entry is celebrated but kept as a casual front porch and maintains a traditional appearance with solid wood doors.

We feel confident that this design is consistent with the neighborhood cottage vibe and will age gracefully with the surrounding homes.

Thank you,

Timothy Chappelle

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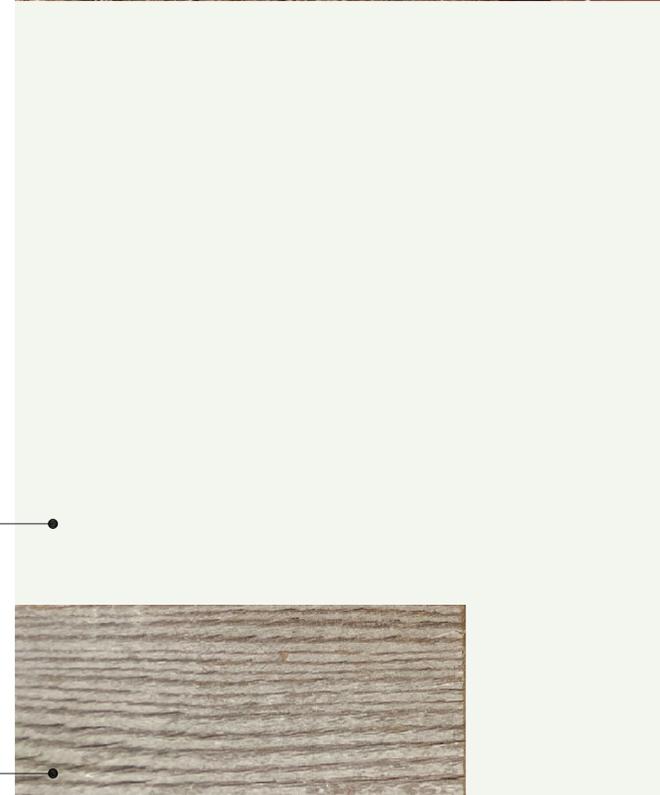
WOOD SHINGLE ROOF



COPPER GUTTERS & DOWNSPOUTS



HORIZONTAL WOOD SIDING



RECLAIMED WOOD LINTELS



STEEL DOORS & WINDOWS



RAFTERS, EAVES & TRELLISES



SPLIT FACED STONE VENEER



ARCANUM

ARCANUM ARCHITECTURE INC.
329 BRYANT STREET, SUITE 3C
SAN FRANCISCO, CA 94107

DELTA 3 REVISION - MATERIAL BOARD
62 ELLENWOOD AVENUE
LOS GATOS, CALIFORNIA

1.27.21

EXHIBIT 17

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SAFELY EXPERIENCE OUR INSPIRING SPACES. [LEARN MORE.](#)

MODERN SKI HOUSE BEACH HOUSE BABY & CHILD TEEN RH INTERIOR DESIGN GALLERIES



PÉTRUS SQUARE SCONCE

\$795 REGULAR

\$596 MEMBER

Jonathan Browning's spare, minimalist designs are inspired by the Viennese Secessionists of the 1900s, whose radical ideas paved the way for Modernism. In our Pétrus Collection, Browning scaffolds a clear glass shade in a linear metal frame.

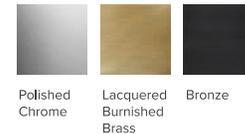
SHOP THE ENTIRE COLLECTION ▶

HIDE DETAILS -

- Handcrafted of brass with clear glass shades; inner cylindrical shade comes in a choice of clear or **frosted glass** (both included)
- Rated for one 40W max. E26-base bulb
- Bulb included
- If brighter light is preferred, consider an LED bulb with a higher lumen output. [View our assortment.](#)
- Dimmer switch compatible
- **Also includes optional frosted glass shade for a different aesthetic**
- 110-120V manufactured to US standards for US and Canadian markets. Requires outlet adapter and voltage converter for use internationally.
- Certified to Wet UL electrical standard: suitable for use indoors or outdoors, including areas that receive direct contact with rain, snow or excessive moisture
- Hardwire; professional installation required
- Wipe with a soft dry cloth; avoid the use of all cleaners and abrasives, as they will damage the finish

SHOW DIMENSIONS +

FINISH OPTIONS



Shown in Bronze with clear glass shade.

To be installed with frosted glass shade.



PÉTRUS SQUARE SCONCE

\$795 REGULAR ITEM# 10032074 BRZ

\$596 MEMBER

FINISH

Bronze ▼

PRICE

\$795 REGULAR

\$596 MEMBER

QTY

1 ▼

ADD TO CART

AVAILABILITY

This item is in stock and will be delivered on or before 02/04/21 [Check your zip/postal code.](#)

DELIVERY

Standard Delivery Shipping

RETURNS

This item can be returned within 30 days of delivery. Learn more about our [Return Policy.](#)

[VIEW IN STOCK ITEMS](#) +

LIGHTING METAL SWATCH - 1"W X 5"L

\$30 REGULAR

\$22 MEMBER

Finish options vary by collection.

[See all product details.](#)

CHAT WITH A DESIGNER
WE'RE HERE TO HELP YOU 24/7

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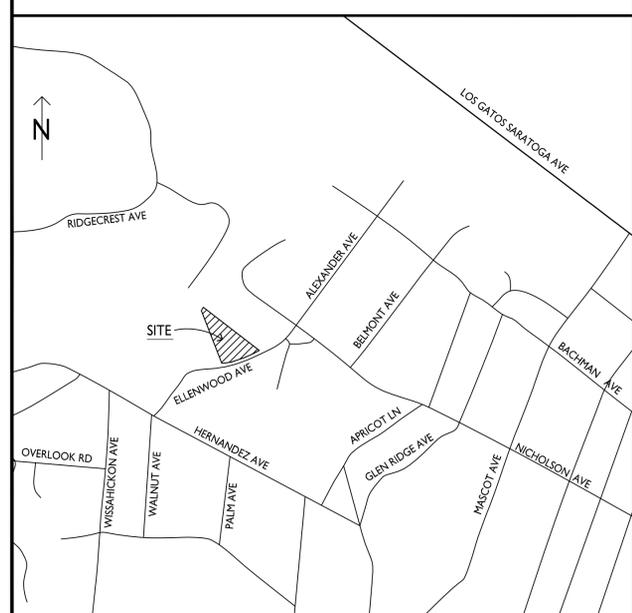


62 ELLENWOOD AVENUE

ARCANUM
 REGISTERED ARCHITECT
 TIMOTHY CHAPPELLE
 C 370088
 REV. 07.31.14
 STATE OF CALIFORNIA

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

VICINITY MAP



PROJECT DIRECTORY

OWNER:	Case and Lisa Swenson 62 Ellenwood Avenue Los Gatos, CA 95030	Lisa Swenson T: (408) 690-0173 E: lisa@swenson.com
ARCHITECT:	Arcanum Architecture, Inc. 329 Bryant Street, Suite 3C San Francisco, CA 94107	Tim Chappelle T: (415) 357-4400 E: tim@arcanumarchitecture.com
SURVEYOR:	Westfall Engineers, Inc. 14583 Big Basin Way Saratoga, CA 95070	Harry Babicka T: (408) 867-0244 E: harry@westf.com
LANDSCAPE ARCHITECT:	Studio Green 232 Sir Francis Drake Blvd San Anselmo, CA 94960	John Merten T: (415) 721-0905 E: john@studiogreen.com
CIVIL:	BKF Engineers 255 Shoreline Drive, Suite 200 Redwood City, CA 94065	Craig Smith T: (650) 482-6300 E: csmith@bkf.com
GEOTECHNICAL ENGINEER:	Pollak Engineers, Inc. 61 East Main Street, Suite D Los Gatos, CA 95030	Robert Pollak T: (408) 499-5589 E: rp@pollakengineering.com

PROJECT STATISTICS

PROJECT LOCATION:	62 ELLENWOOD AVENUE LOS GATOS, CA 95030
A.P.N.:	510-20-068
LOT SIZE:	32,733 SF (0.75 ACRES) PER SURVEY
PROJECT TYPE:	(N) TWO STORY SINGLE FAMILY DWELLING W/ PARTIAL BASEMENT. THE PROJECT ALSO WILL INCLUDE A (N) POOL AND POOL PAVILION.
EXISTING CONDITIONS:	ALL (E) STRUCTURES TO BE DEMOLISHED OR REMOVED.
ZONING:	R-1-12
OCCUPANCY GROUP:	R-3 SINGLE FAMILY DWELLING, U-GARAGE
CONSTRUCTION TYPE:	TYPE V-B
STORIES:	TWO OVER PARTIAL BASEMENT
SEPTIC/SEWER:	SEWER
SIZE OF PROPERTY:	0.75 ACRES (32,733 SF)
IMPERVIOUS COVERAGE:	NONE
WILDLAND URBAN INTERFACE FIRE AREA:	IN - VERY HIGH
SANITARY DISTRICT:	WEST VALLEY SANITATION DISTRICT
GRADING QUANTITIES:	SEE CIVIL DRAWINGS
LOT AVERAGE SLOPE:	7.9%
LOT UNDER HDGS:	YES (LOT AREA > 30,000 SF) NOTE: NO NEED TO FOLLOW HDGS, SEE LOT AVERAGE SLOPE
FIRE SPRINKLERS:	YES

SHEET INDEX

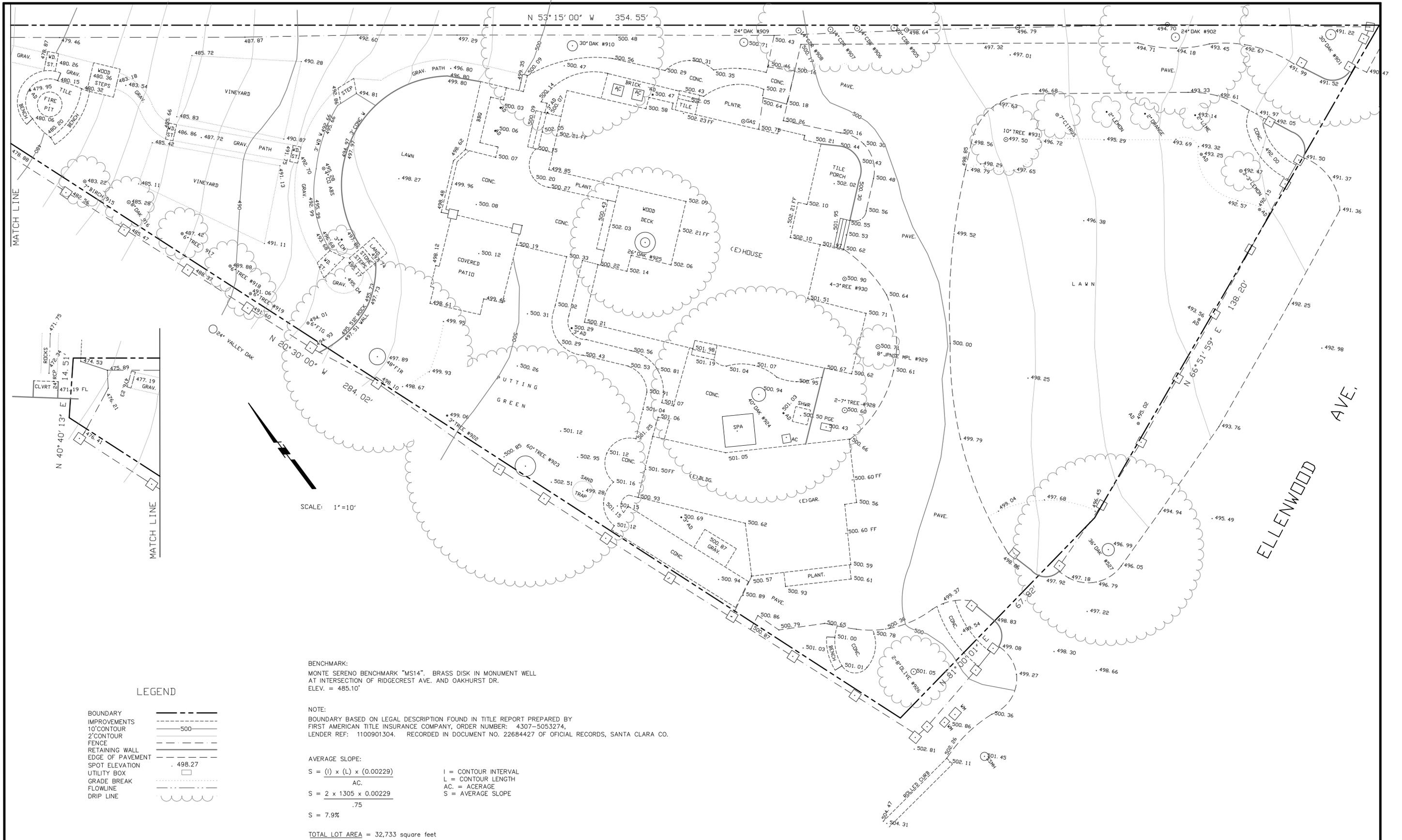
<ul style="list-style-type: none"> ■ A0.0 COVER SHEET ■ SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY 	<ul style="list-style-type: none"> ■ A1.0 STREETScape ELEVATIONS AND SECTIONS ■ A1.1 STREETScape ELEVATIONS AND SECTIONS AND OVERLAY ELEVATION ■ A1.2 SHADOW STUDIES
<p>CIVIL</p> <ul style="list-style-type: none"> ■ C0.0 TITLE SHEET ■ C0.1 NOTES ■ C1.1 EXISTING CONDITIONS ■ C2.1 GRADING PLAN ■ C2.2 SITE SECTIONS ■ C3.1 UTILITY PLAN ■ C4.1 EROSION CONTROL PLAN ■ C4.2 BEST MANAGEMENT PRACTICES ■ C5.1 DETAIL SHEET 	<p>LANDSCAPE</p> <ul style="list-style-type: none"> ■ L0.0 SITE PLAN & LANDSCAPE COVER SHEET ■ L0.0R RENDERED SITE PLAN ■ L0.1 EXISTING TREE & REMOVAL PLAN ■ L0.2 EXISTING TREE & REMOVAL PLAN MATERIAL & CALLOUT PLAN ■ L1.0 MATERIAL & CALLOUT PLAN ■ L1.1 LIGHTING SCHEDULE & PLAN ■ L2.0 LIGHTING PLAN ■ L2.1 LIGHTING LEGEND ■ L3.1 PLANTING PLAN ■ L3.2 PLANTING PLAN DETAILS ■ L5.0 DETAILS ■ L5.1 DETAILS ■ L5.2 DETAILS ■ L5.3 SECTIONS/ ELEVATIONS FRONT GATE & FENCE PERSPECTIVES ■ L5.4
<p>ARCHITECTURAL</p> <ul style="list-style-type: none"> ■ A0.1 EXISTING SITE PLAN AND SITE PHOTOS ■ A0.2 SITE PLAN ■ A0.3 BASEMENT FLOOR PLAN AND FLOOR AREA CALCULATIONS ■ A0.4 FIRST FLOOR PLAN ■ A0.5 SECOND AND POOL PAVILION FLOOR PLANS ■ A0.6 EXTERIOR ELEVATIONS ■ A0.7 EXTERIOR ELEVATIONS ■ A0.8 EXTERIOR ELEVATIONS AND SECTIONS ■ A0.9 POOL PAVILION EXTERIOR ELEVATIONS 	

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	
1.27.21	

COVER SHEET

A0.0

EXHIBIT 19



SCALE: 1"=10'

LEGEND

- BOUNDARY IMPROVEMENTS
- 10' CONTOUR
- 2' CONTOUR
- FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
- SPOT ELEVATION
- UTILITY BOX
- GRADE BREAK
- FLOWLINE
- DRIP LINE

BENCHMARK:

MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR. ELEV. = 485.10'

NOTE:

BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274, LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

AVERAGE SLOPE:

$$S = \frac{(I) \times (L) \times (0.00229)}{AC.}$$

I = CONTOUR INTERVAL
 L = CONTOUR LENGTH
 AC. = ACERAGE
 S = AVERAGE SLOPE

TOTAL LOT AREA = 32,733 square feet

NO.	BY	DATE	REVISION	BY	DATE	DATE: AUGUST, 2018
						SCALE: HOR. 1"=10' VERT.
						DESIGNED:
						DRAWN: JK
						PRD. ENGR:

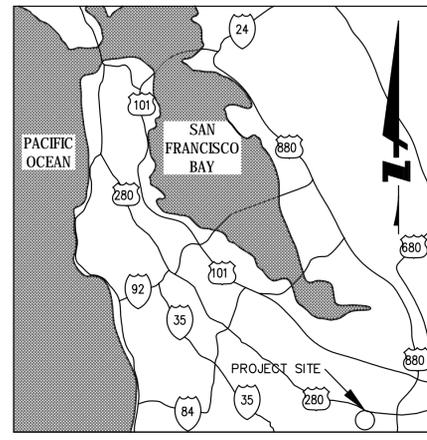
BY: HARRY BABICKA L. S. 4953
DATE:



WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

TOPOGRAPHIC MAP
62 ELLENWOOD AVENUE, LOS GATOS

JOB NO.
2017-003
SHEET 1
DF 1



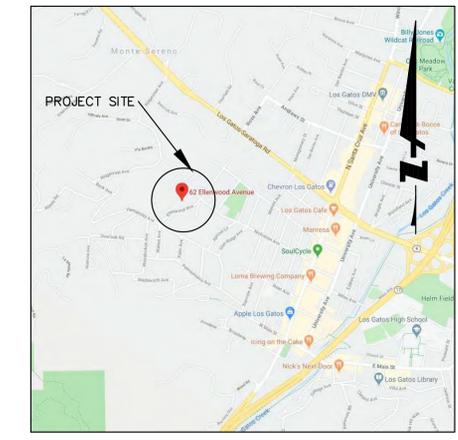
VICINITY MAP
N.T.S.

SWENSON RESIDENCE

62 ELLENWOOD AVENUE

LOS GATOS, CA

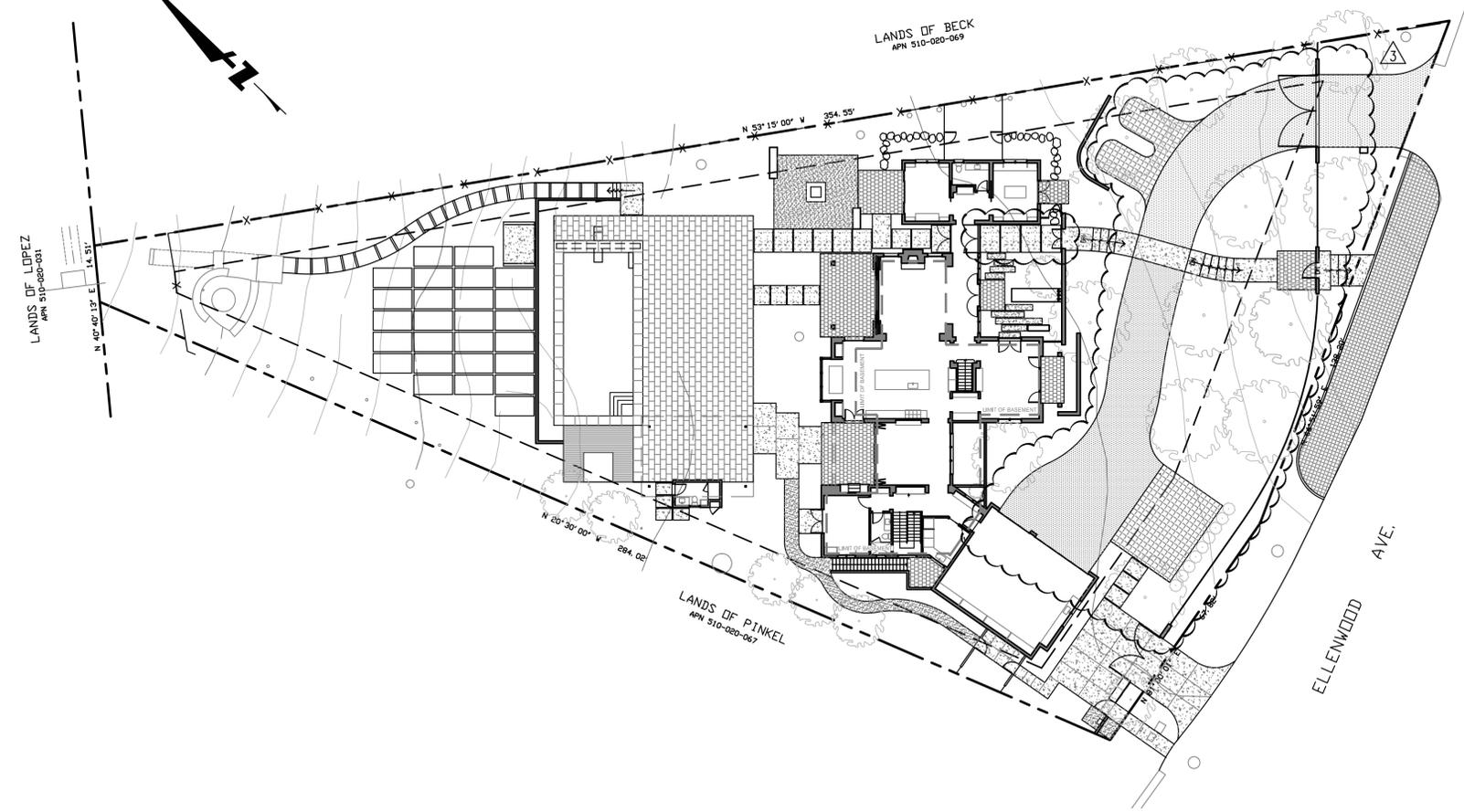
APN: 510-20-068



LOCATION MAP
N.T.S.

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PH	POOL HOUSE
PV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



LEGEND:

EXISTING	PROPOSED	
6" SS	6" SS	BOUNDARY
10" SD	10" SD	LIMIT OF WORK
4" SBD	4" SBD	SANITARY SEWER
FM	2" FM	SOLID STORM DRAIN
10" FW	10" FW	PERFORATED SUB DRAIN
2" W	2" W	FORCE MAIN
IRR	2" IRR	FIRE SERVICE
G	G	DOMESTIC WATER SERVICE
T	T	IRRIGATION SERVICE
TV	TV	NATURAL GAS
E	E	TELEPHONE
JT	JT	TV/CABLE TV
O/H	O/H	ELECTRIC
X	X	JOINT TRENCH
		OVERHEAD WIRES
		FENCE
		CLEAN OUT TO GRADE
		FOUND MONUMENT
		DOUBLE DETECTOR CHECK VALVE
		VALVE
		METER BOX
		STREET LIGHT
		DRAIN
		ATRIUM DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		SPLASH BLOCK
		2 (C5.1) - DETAIL NUMBER
		3 - SHEET LOCATION

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES
C1.1	EXISTING CONDITIONS
C2.1	GRADING PLAN
C2.2	SITE SECTIONS
C3.1	UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES
C5.1	DETAIL SHEET

GROSS FIGURES		QUANTITY BREAKDOWN	
CUT	1,770 CUBIC YARDS	BUILDINGS (BASEMENT/LIGHTWELL)	
FILL	140 CUBIC YARDS	CUT	1,370 CUBIC YARDS
TOTAL	1,910 CUBIC YARDS	BUILDINGS (CS/SLAB ON GRADE)	
BALANCE	1,630 CUBIC YARDS OF EXPORT	CUT	100 CUBIC YARDS
		POOL	
		CUT	190 CUBIC YARDS
		DRIVEWAY	
		CUT	60 CUBIC YARDS
		FILL	10 CUBIC YARDS
		SITE WORK AND LANDSCAPING	
		CUT	50 CUBIC YARDS
		FILL	140 CUBIC YARDS

FOR SITE DEVELOPMENT REVIEW SUBMITTAL, EARTHWORK CUT VOLUME WITHIN FOOTPRINT OF HOUSE AND POOL HAVE BEEN OMITTED.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

ENGINEER'S STATEMENT

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

BRIAN K. SCOTT
PRINCIPAL
P.E. #61034
BKF ENGINEERS

DATE



ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

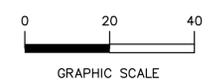
DALE LEDA
PROJECT MANAGER
P.E. #78436
BKF ENGINEERS

DATE



IMPERVIOUS AREAS

TOTAL PROPERTY AREA	32,753 SF
IMPERVIOUS AREAS:	
PRE-CONSTRUCTION	14,336 SF
POST-CONSTRUCTION	15,481 SF



TITLE SHEET
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
 SANTA CLARA COUNTY
 CALIFORNIA



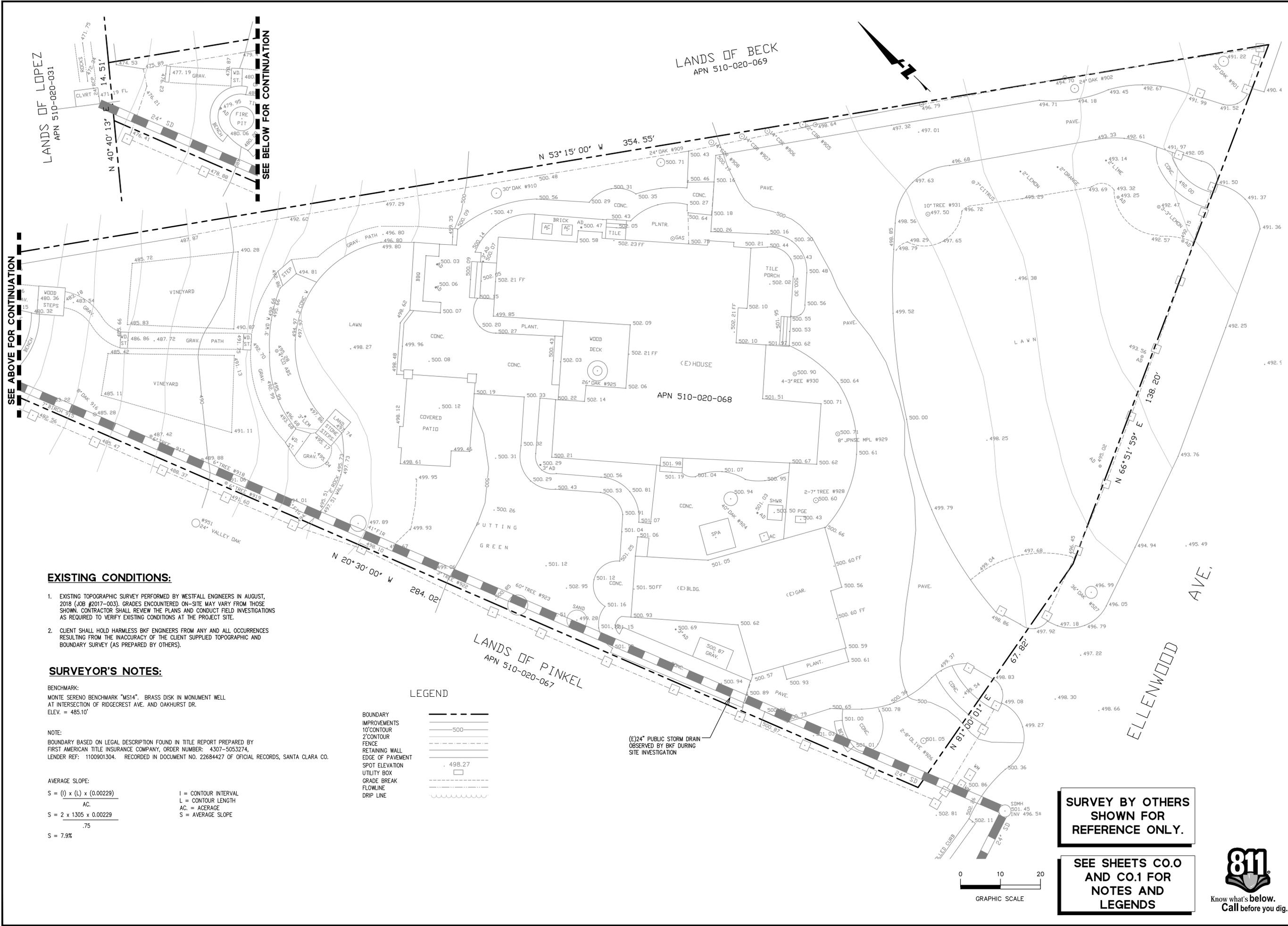
No.	Date	TR COMMENTS	REVISION
1	08/18/2020		
2	11/19/2020		
3	01/27/2021		

Date: 04/23/2020
Scale: AS SHOWN
Design: CHS
Drawn: CW
Approved: DDL
Job No: 20200194-10

Drawing Number: **CO.0**
OF

Date	Revisions	No.	TR COMMENTS
08/18/2020		1	DESIGN
11/19/2020		2	REVISION
01/27/2021		3	REVISION

Drawing Number: **C1.1**
OF



SEE ABOVE FOR CONTINUATION

SEE BELOW FOR CONTINUATION

EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY WESTFALL ENGINEERS IN AUGUST, 2018 (JOB #2017-003). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BENCHMARK:
MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR.
ELEV. = 485.10'

NOTE:
BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274. LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

AVERAGE SLOPE:

$$S = (l) \times (L) \times (0.00229)$$

AC.

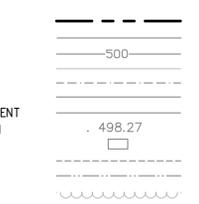
$$S = 2 \times 1305 \times 0.00229$$

.75

$$S = 7.9\%$$

I = CONTOUR INTERVAL
L = CONTOUR LENGTH
AC. = ACERAGE
S = AVERAGE SLOPE

LEGEND

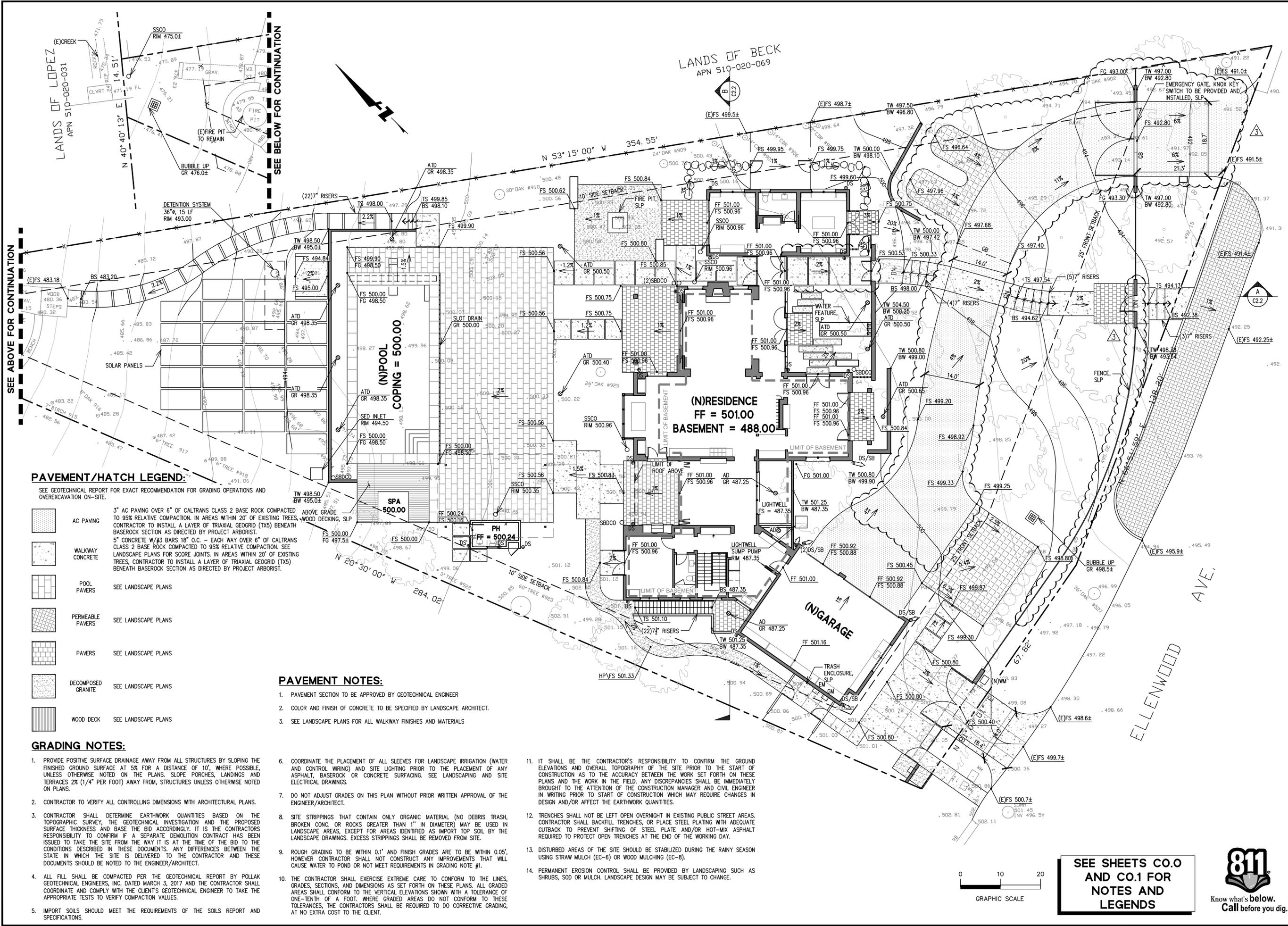


**SURVEY BY OTHERS
SHOWN FOR
REFERENCE ONLY.**

**SEE SHEETS C.O.0
AND C.O.1 FOR
NOTES AND
LEGENDS**



Date	Revisions	No.	TR COMMENTS
08/19/2020			
11/19/2020			
01/27/2021			



PAVEMENT/HATCH LEGEND:

- SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.
- AC PAVING 3" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
 - WALKWAY CONCRETE 5" CONCRETE W/ #3 BARS 18" O.C. - EACH WAY OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. SEE LANDSCAPE PLANS FOR SCORE JOINTS. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
 - POOL PAVERS SEE LANDSCAPE PLANS
 - PERMEABLE PAVERS SEE LANDSCAPE PLANS
 - PAVERS SEE LANDSCAPE PLANS
 - DECOMPOSED GRANITE SEE LANDSCAPE PLANS
 - WOOD DECK SEE LANDSCAPE PLANS

GRADING NOTES:

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017 AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.

PAVEMENT NOTES:

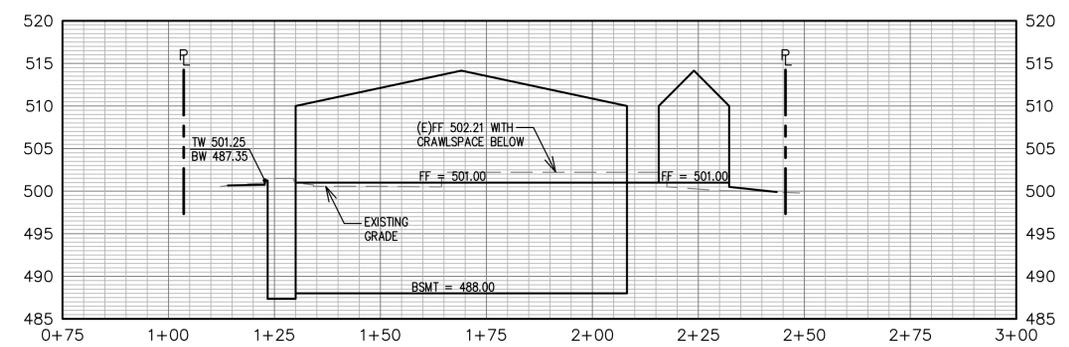
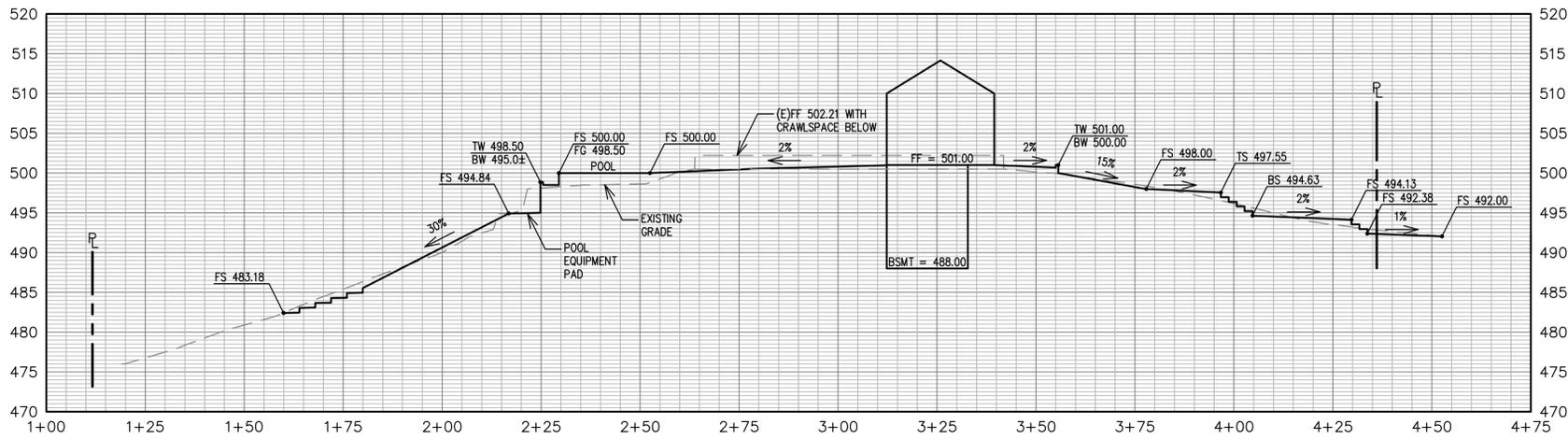
- PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
- COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
- SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASE ROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOO OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS





DRAWING NAME: K:\2020\200194_62_Ellenwood_Ave\ENG\elsheets.dwg
 PLOT DATE: 01-26-21
 PLOTTED BY: wort

SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS



Date	Scale	AS SHOWN	Design	CHS	Drawn	CW	Approved	DDL	Job No
04/23/2020	AS SHOWN	AS SHOWN	CHS	CHS	CW	CW	DDL	DDL	20200194-10
08/18/2020									
11/19/2020									
01/27/2021									

Revisions

TR COMMENTS

REVISION

REVISION

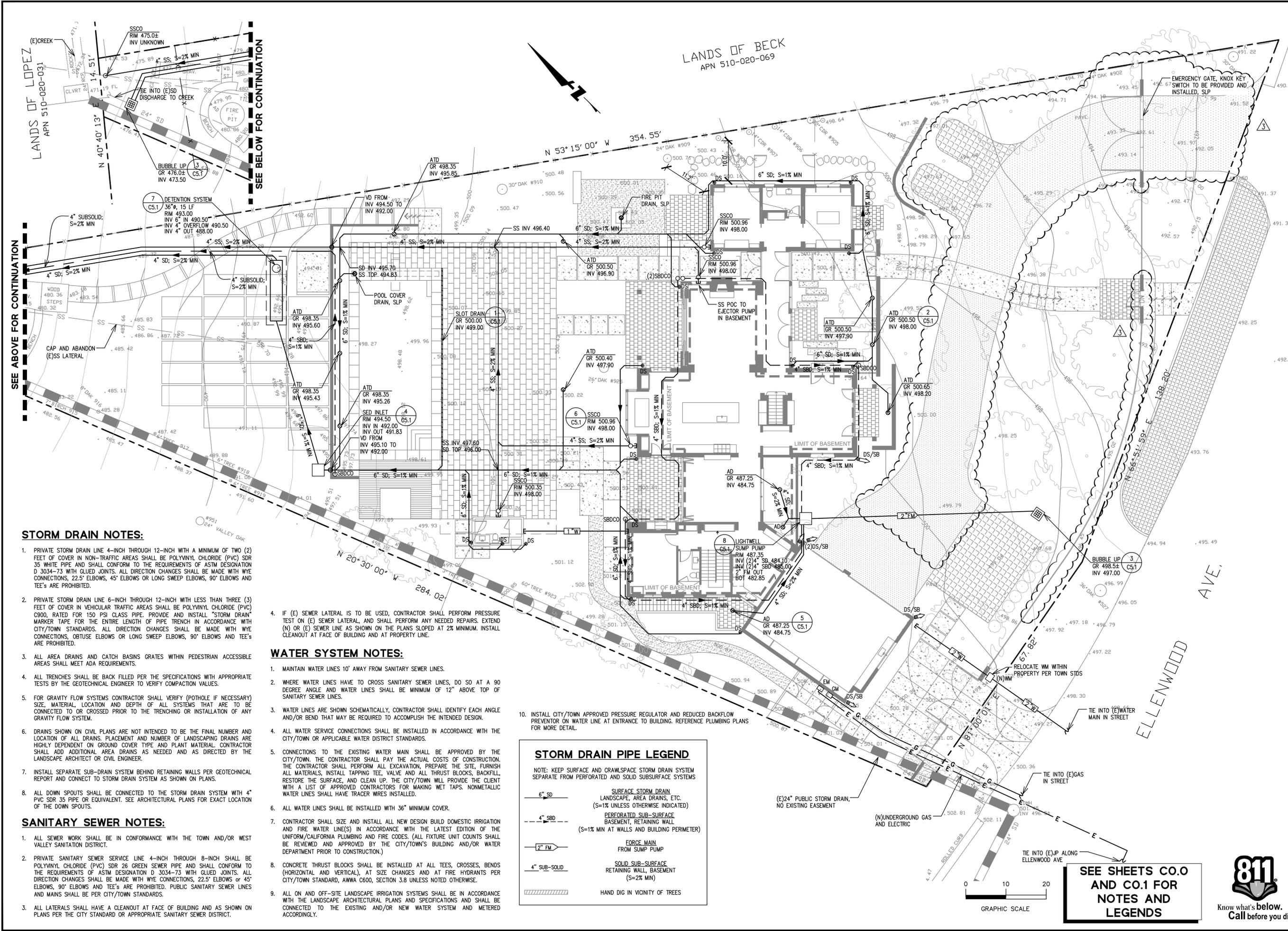
Drawing Number: **C2.2**

OF

Revisions	Date
TR COMMENTS	08/19/2020
REVISION	11/19/2020
REVISION	01/27/2021

No.	Date	Scale	Design	Drawn	Approved	Job No.
04/23/2020	04/23/2020	1" = 10'	CHS	CW	DLL	202000194-10

Drawing Number: **C3.1**
OF



STORM DRAIN NOTES:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

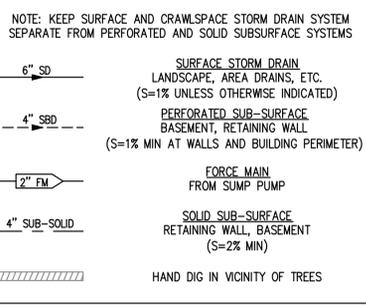
SANITARY SEWER NOTES:

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE TOWN AND/OR WEST VALLEY SANITATION DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.

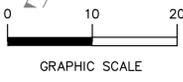
WATER SYSTEM NOTES:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

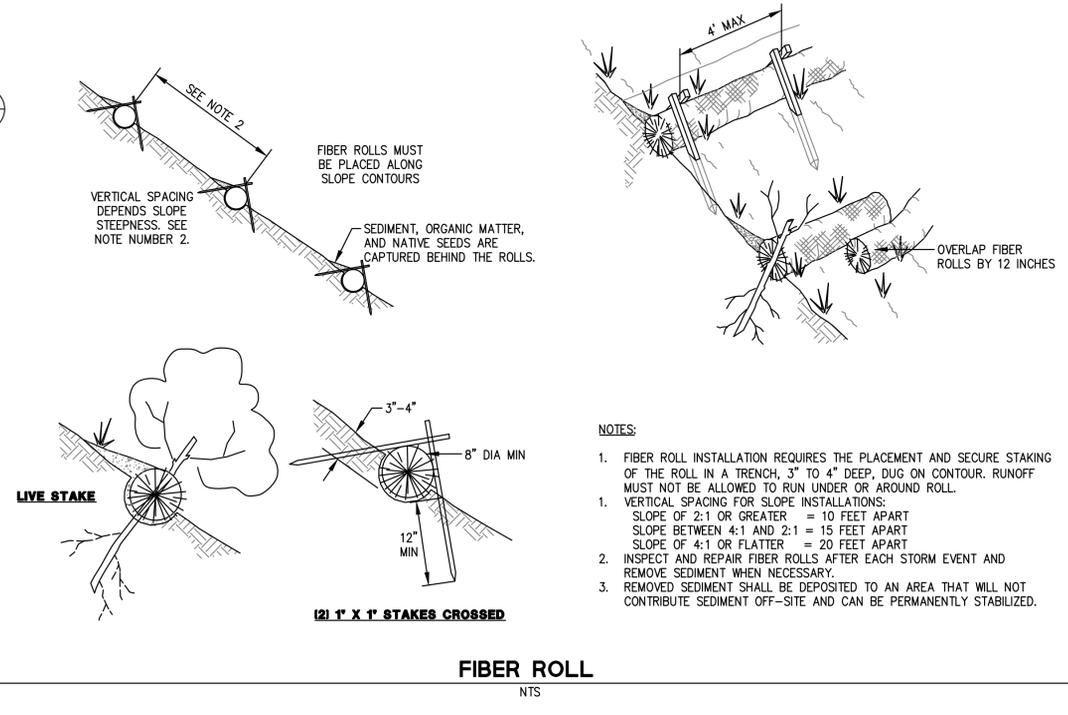
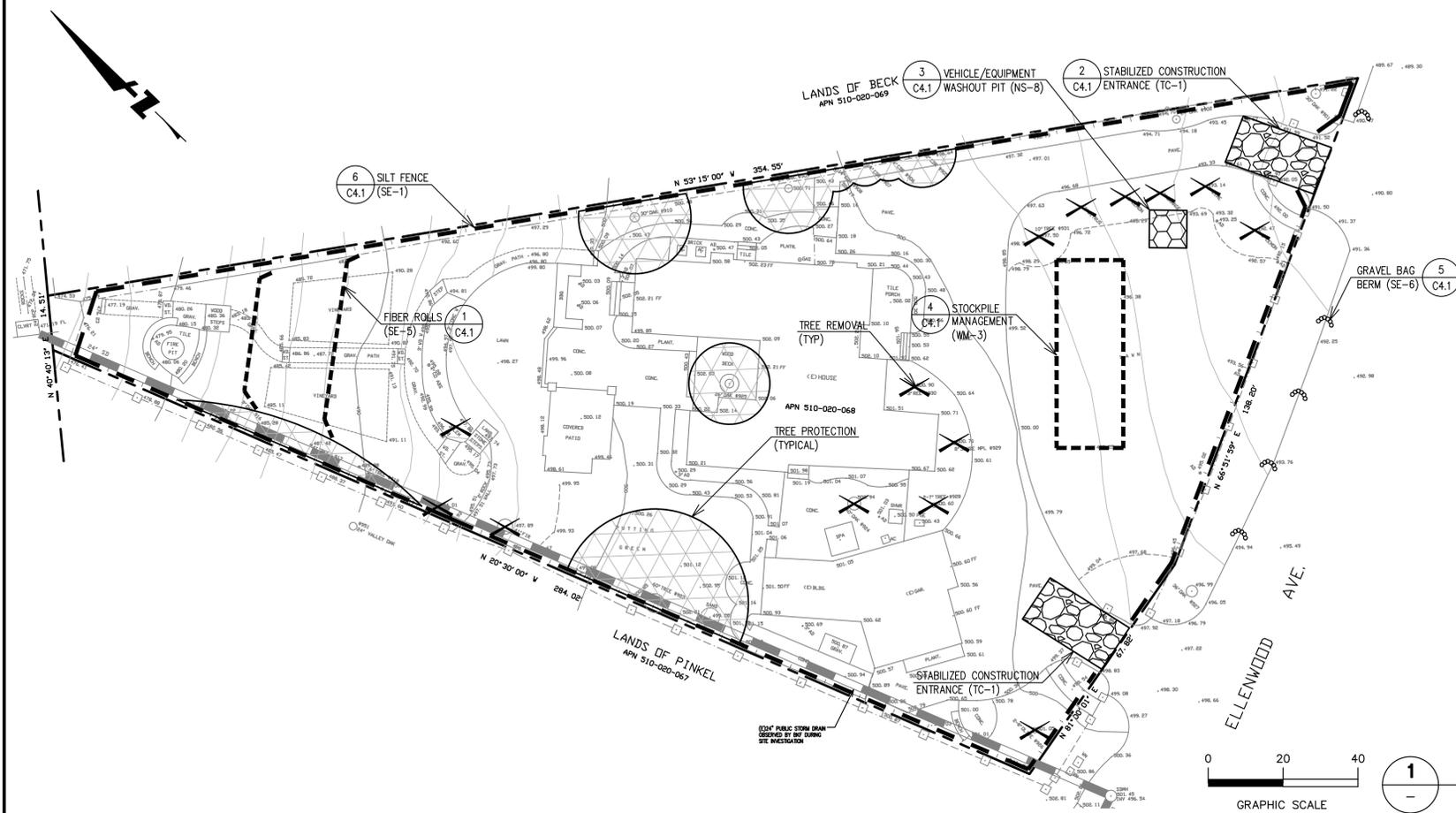
STORM DRAIN PIPE LEGEND



SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS



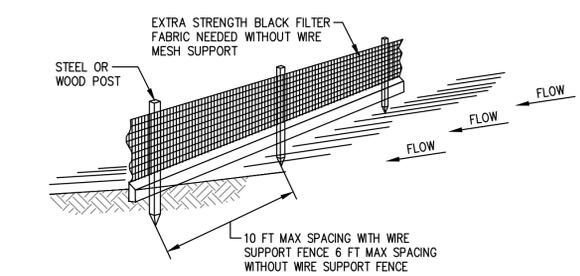
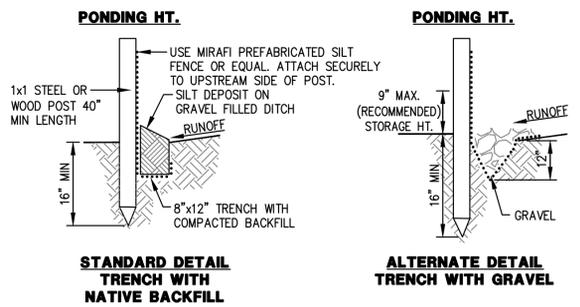
Date	Revisions	No.	TR COMMENTS
08/19/2020			
11/19/2020			
01/27/2021			



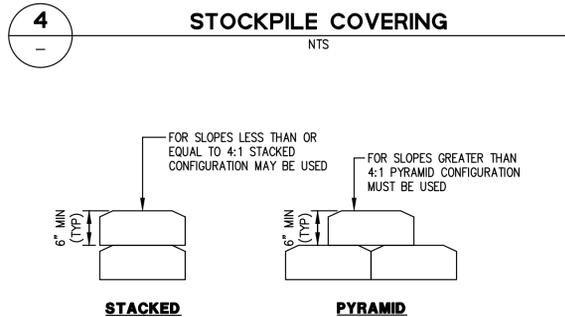
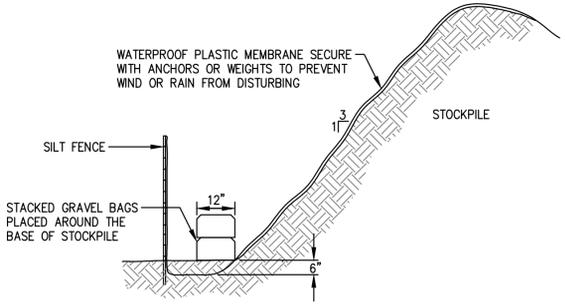
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
 SLOPE OF 2:1 OR GREATER = 10 FEET APART
 SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

PERMANENT EROSION/SEDIMENT CONTROLS:

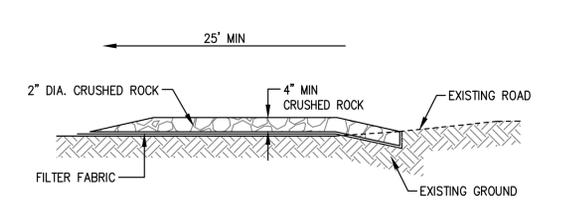
- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



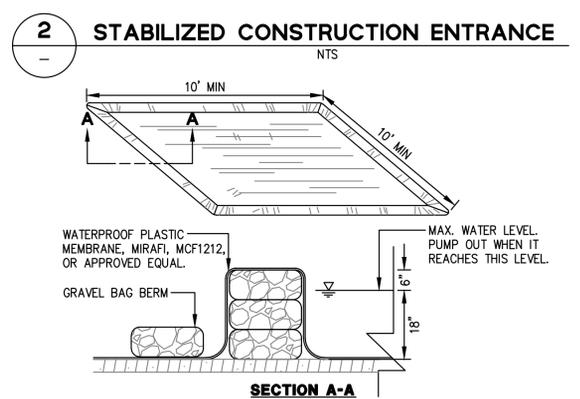
- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



- NOTES:**
- INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.



- NOTES:**
- PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
 - INSTALL ALONG NEW DWY CORRIDOR FOR THE FULL PROPOSED WIDTH.

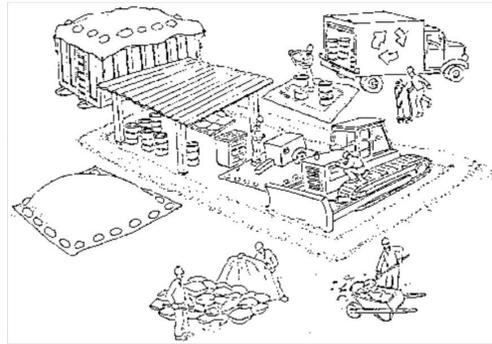


- NOTES:**
- INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.

SEE SHEETS C.O.0
 AND C.O.1 FOR
 NOTES AND
 LEGENDS



Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting



- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

BKF100 YEARS
ENGINEERS • SURVEYORS • PLANNERS
BEST MANAGEMENT PRACTICES
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
 SANTA CLARA COUNTY CALIFORNIA
 LOS GATOS

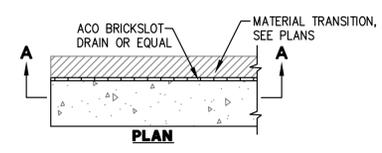
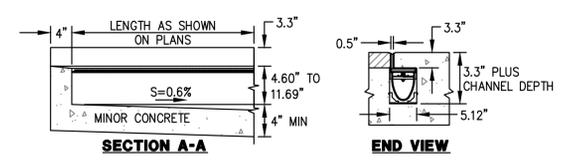


Date	Revisions	No.	TR COMMENTS
08/19/2020		1	AS SHOWN
11/19/2020		2	DESIGN CHS
01/27/2021		3	DRAWN CW
		4	APPROVED DJL

Drawing Number:
C4.2
OF

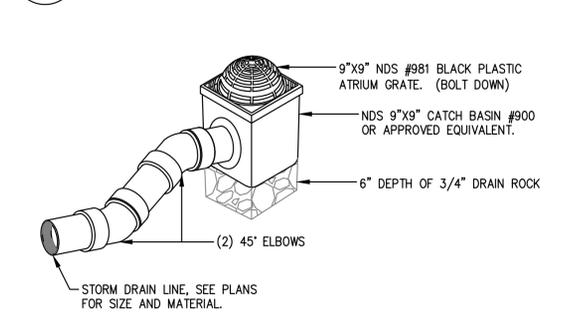
Date	Revisions	No.	TR COMMENTS
08/18/2020			
11/19/2020			
01/27/2021			

Date	Scale	AS SHOWN	TR COMMENTS
04/23/2020	AS SHOWN	CHS	
	Design	CHS	
	Drawn	CW	
	Approved	DDL	
	Job No	20200194-10	

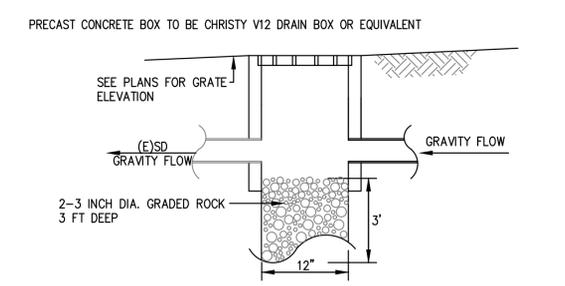


NOTES:
 1. ACO BRICKSLOT 0.6% SLOPED CHANNELS IN METER LENGTHS AND 30 DEPTHS WHICH CONNECT TO CREATE CONTINUOUSLY SLOPING RUN. HALF METER CHANNELS AND NEUTRAL SLOPING CHANNELS ARE ALSO AVAILABLE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

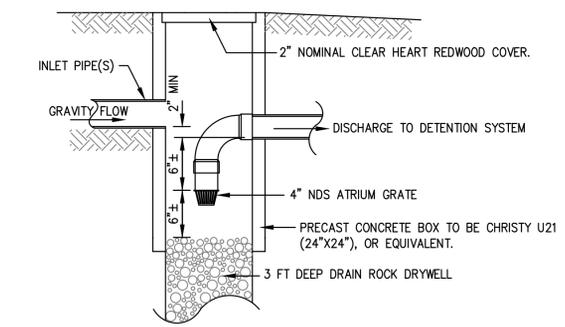
1
ACO BRICKSLOT DRAIN
 NTS



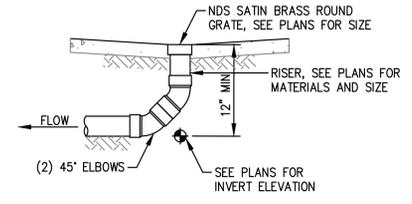
2
9"x9" ATRIUM DRIAN
 NTS



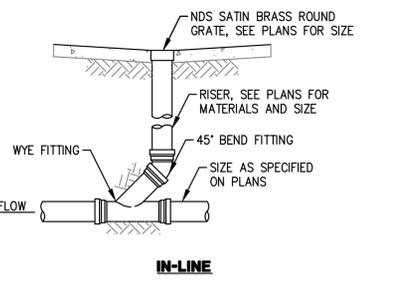
3
BUBBLE UP BOX
 NTS



4
SEDIMENTATION INLET
 NTS

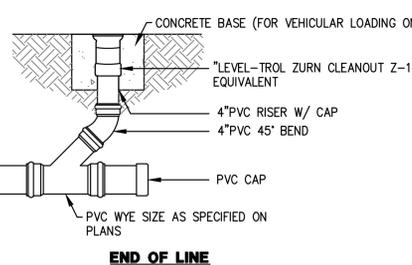


5
SMALL AREA DRAIN
 NTS

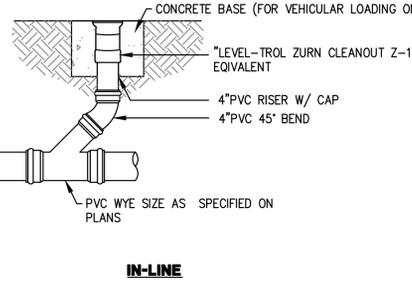


NOTES:
 1. GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

5
SMALL AREA DRAIN
 NTS

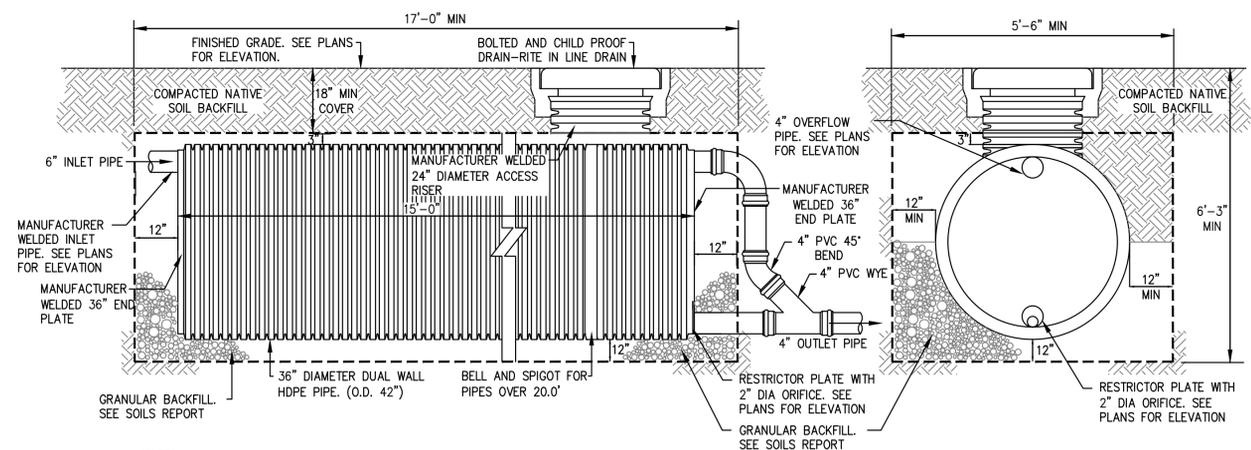


6
SEWER CLEANOUT
 NTS



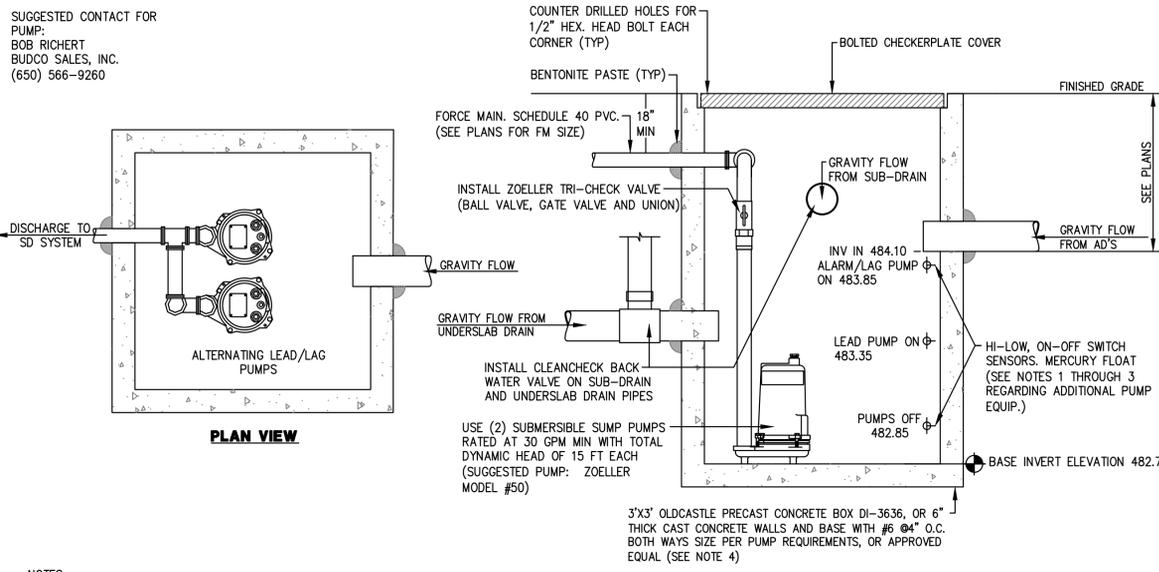
NOTES:
 GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

6
SEWER CLEANOUT
 NTS



NOTES:
 1. BOTTOM OF TRENCH MUST BE A MINIMUM OF 10 FEET ABOVE GROUND WATER TABLE.

7
DETENTION SYSTEM
 NTS



NOTES:
 1. INSTALL PUMP(S) PER MANUFACTURES RECOMMENDATIONS
 2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.
 3. PROVIDE HIGH-WATER ALARM SYSTEM AND CONNECT TO HOUSE SECURITY SYSTEM.
 4. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.
 5. CONTRACTOR SHALL COORDINATE LOCATION OF SUMP PUMP BASIN WITH PROJECT ARCHITECT PRIOR TO CONSTRUCTION AND FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
 6. SUMP PUMP MAINTENANCE REQUIREMENTS: CLEAN PUMP VAULT AND PUMP OF DEBRIS EVERY SIX MONTHS MINIMUM.

8
BASEMENT DUAL SUMP PUMP
 NTS



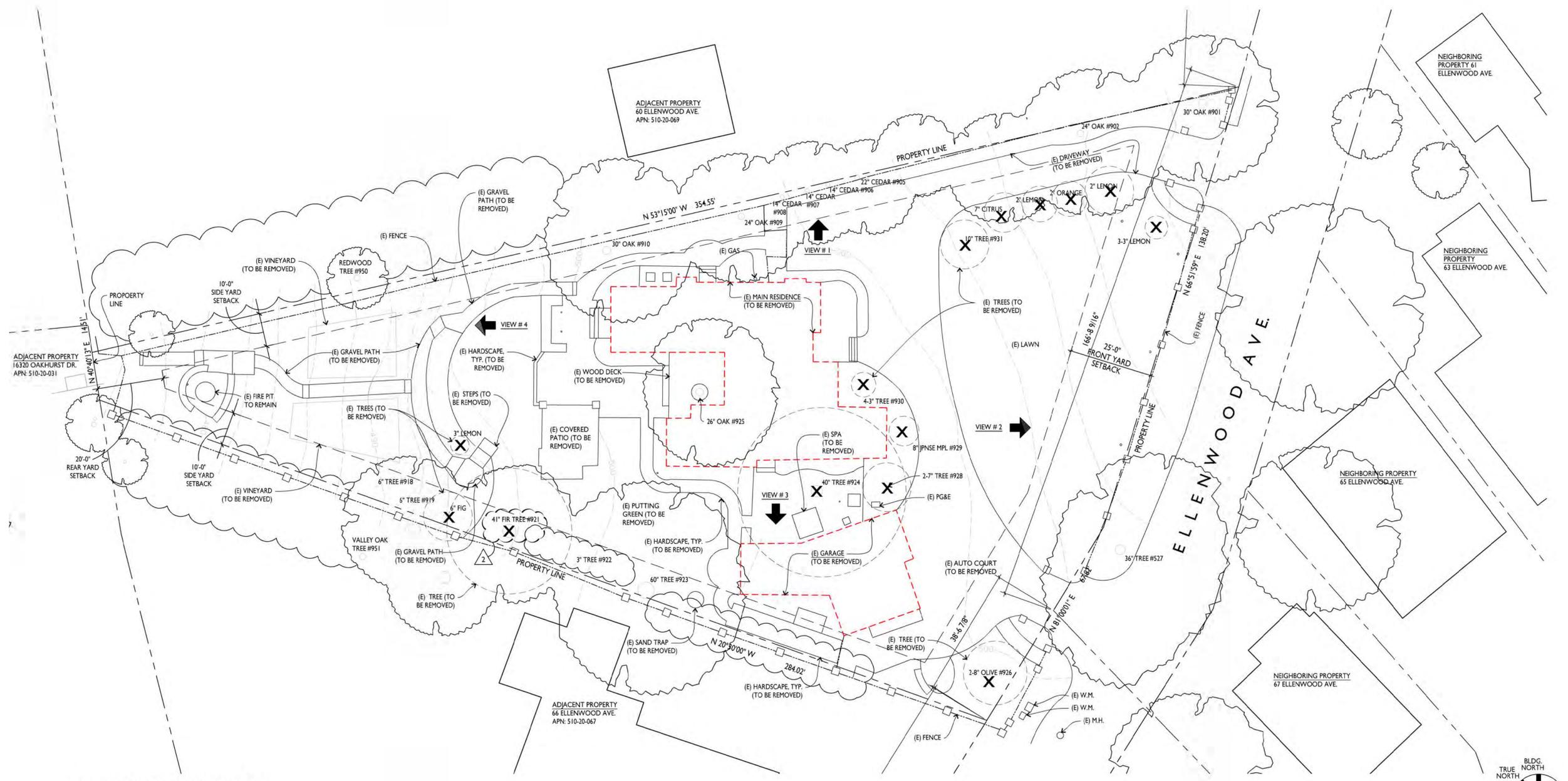
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

EXISTING SITE PLAN AND SITE PHOTOS

SCALE: 1/16" = 1'-0"

A0.1



2 EXISTING SITE PLAN
 A0.1



VIEW #1 FACING NORTH (60 ELLENWOOD AVE)



VIEW #2 FACING EAST (63 & 65 ELLENWOOD)



VIEW #3 FACING SOUTH (66 ELLENWOOD AVE)



VIEW #4 WEST (16320 OAKHURST DRIVE)

1 EXISTING SITE PHOTOS
 A0.1



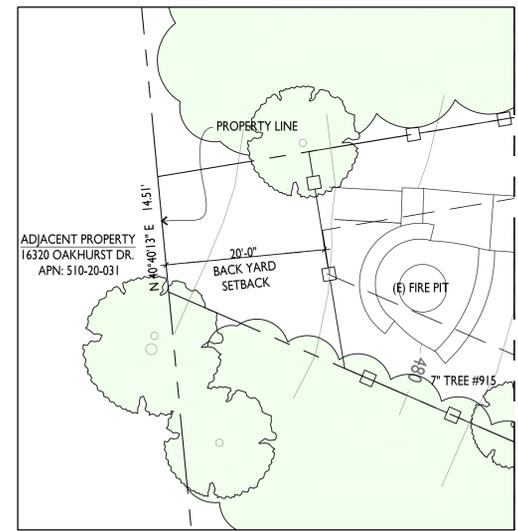
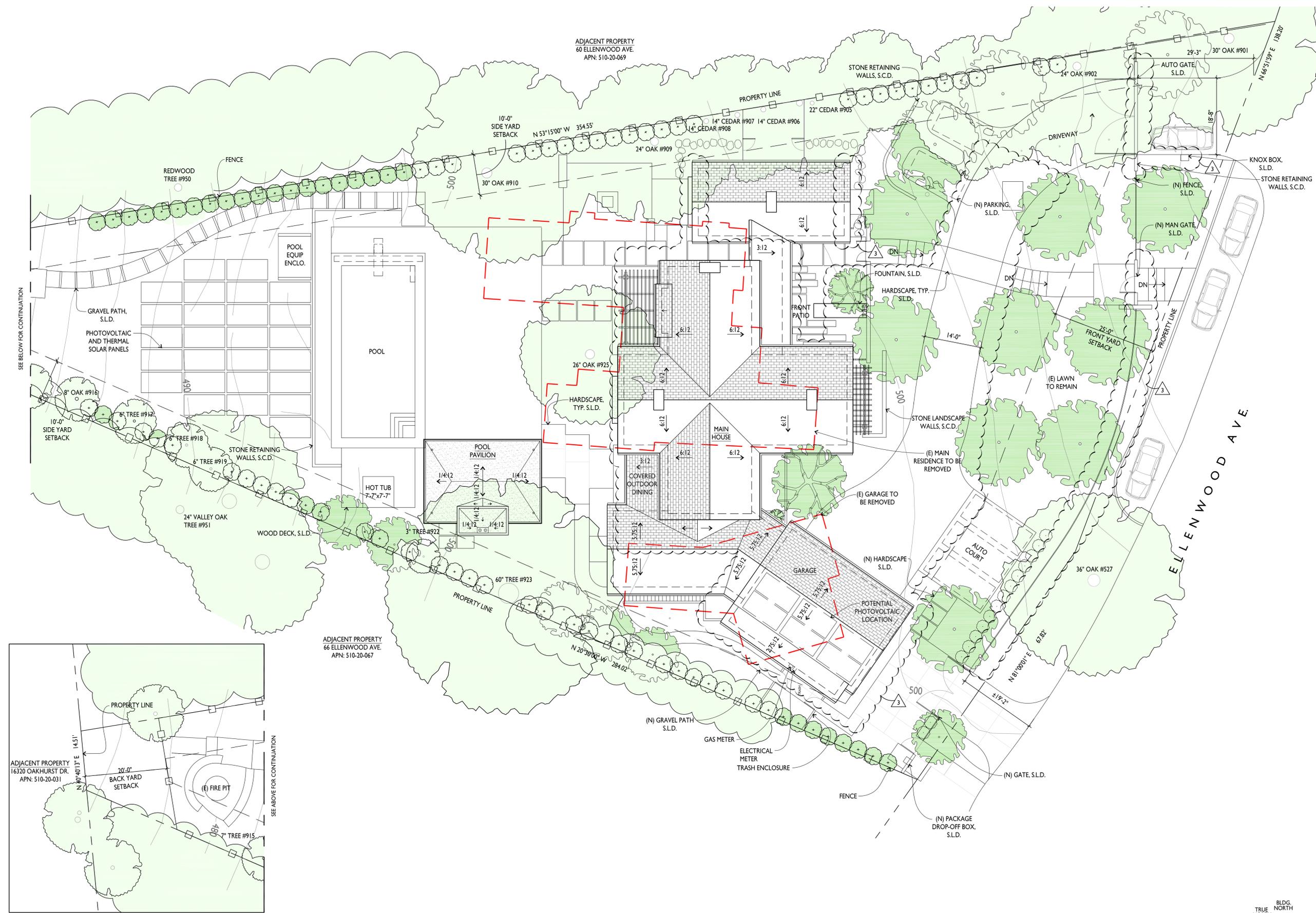
62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.C. COMMENTS
Project No.	18004
Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.C. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

SITE PLAN

SCALE: 3/32" = 1'-0"

A0.2



SITE PLAN
A0.2

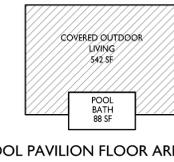
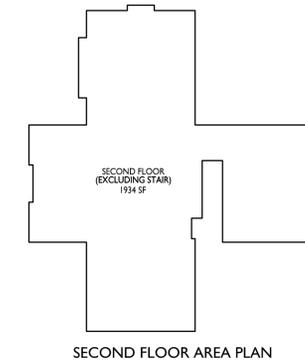
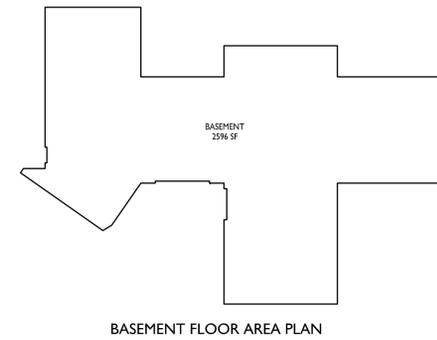
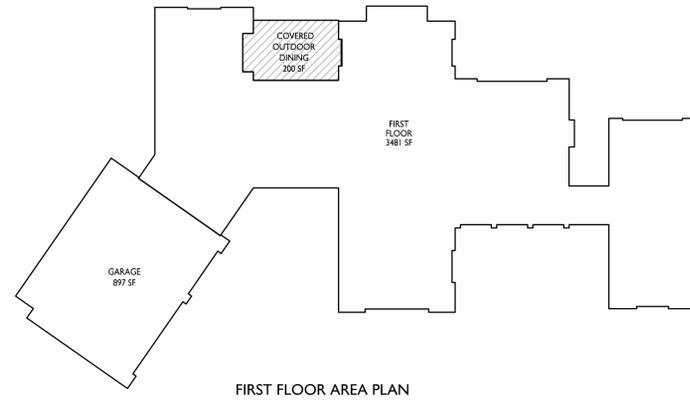


FLOOR AREA CALCULATIONS

PLANNING FLOOR AREA CALCULATIONS:

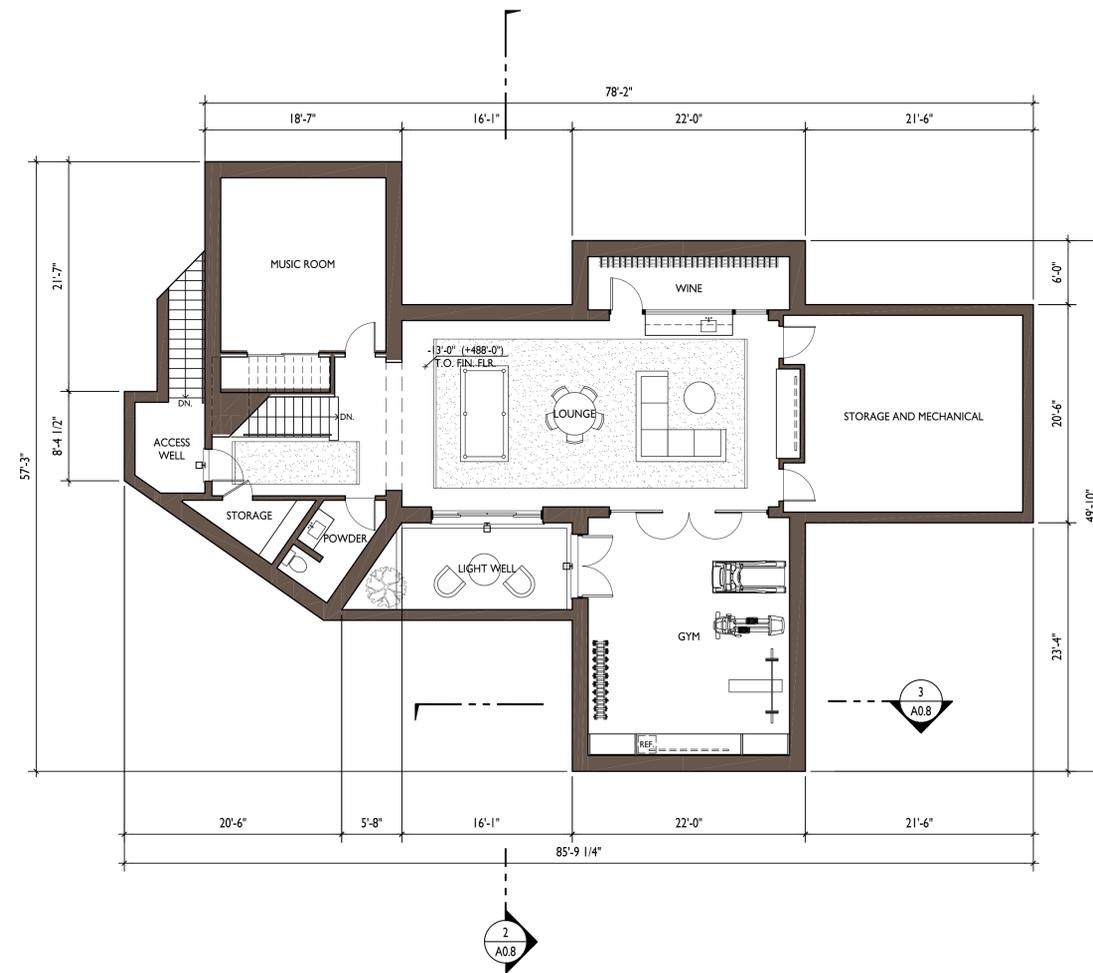
ALLOWABLE FLOOR AREA (AFA):	PROPOSED	ALLOWED
FIRST FLOOR:	3481 SF	
SECOND FLOOR (EXCLUDING STAIR):	1934 SF	
GARAGE: (897 SF - 400 SF ^{**})	497 SF	
POOL BATH:	88 SF	
BASEMENT LEVEL (NOT INCLUDED):	2596 SF	
TOTAL:	6000 SF	6000 SF
LOT COVERAGE:		
FIRST FLOOR (INCLUDING GARAGE):	4378 SF	
POOL BATH:	88 SF	
COVERED OUTDOOR LIVING & DINING:	742 SF	
TOTAL:	5208 SF	13093 SF

** THE FIRST 400 SQUARE FEET OF A GARAGE, ATTACHED OR DETACHED, IS EXCLUDED FROM THE FLOOR AREA ALLOWANCE



LEGEND

COVERED OUTDOOR LIVING & DINING



1 A0.3 BASEMENT FLOOR PLAN



LIGHTING LEGEND

- BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- PENDANT LIGHT
- RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.

ARCANUM
 REGISTERED ARCHITECT
 ARCHITECTURE, INC.
 319 SAN FRANCISCO CA 94107
 415.357.4400
 arcanumarchitecture.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	
1.27.21	

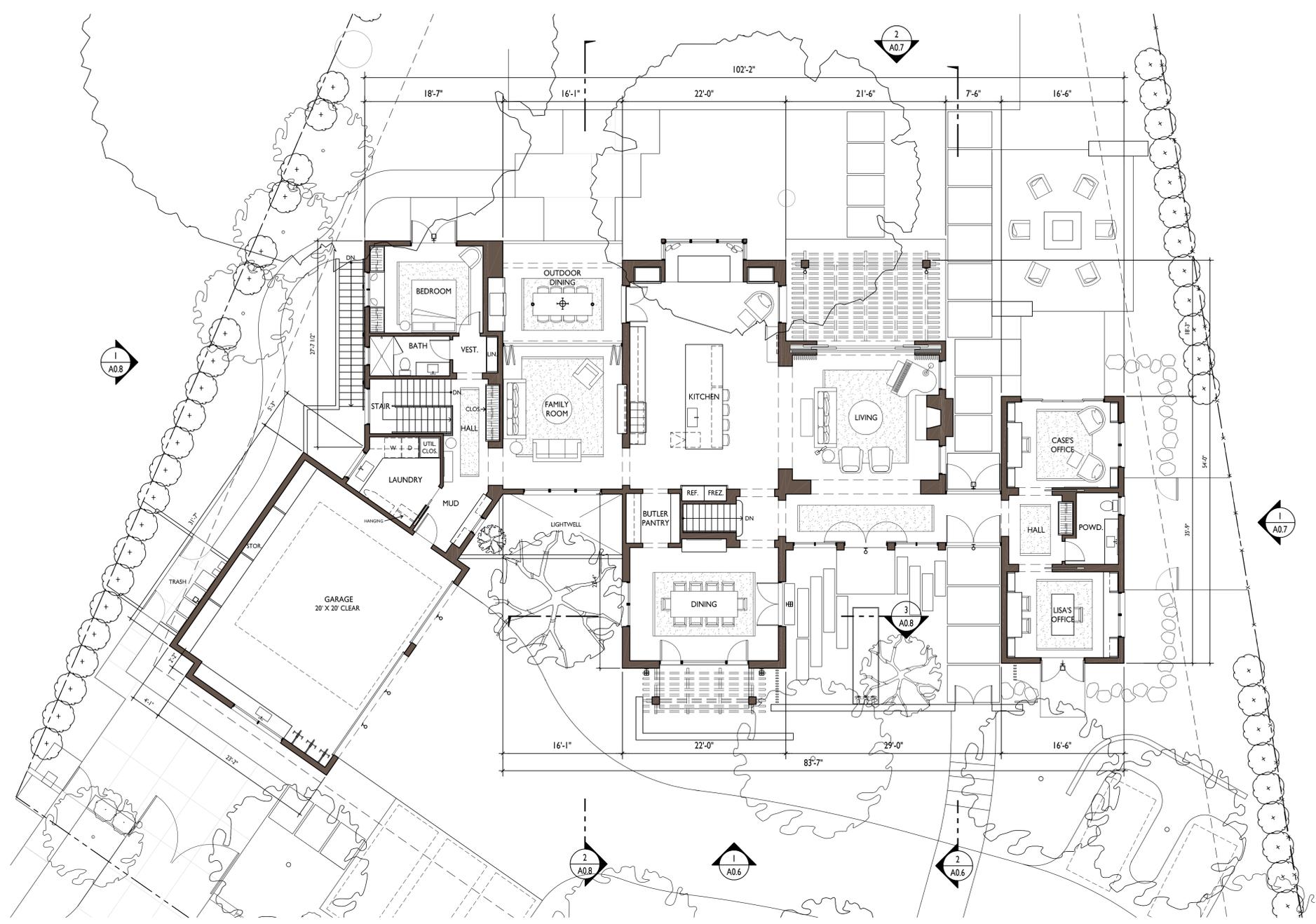
BASEMENT FLOOR PLAN AND FLOOR AREA CALCULATIONS

SCALE: 1/8" = 1'-0"

A0.3



62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068



1 A0.4 FIRST FLOOR PLAN



Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A0.4

LIGHTING LEGEND

- 1 A0.4 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- 2 A0.6 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- 3 A0.8 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- 4 A0.6 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- 5 A0.6 PENDANT LIGHT
- 6 A0.6 RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.



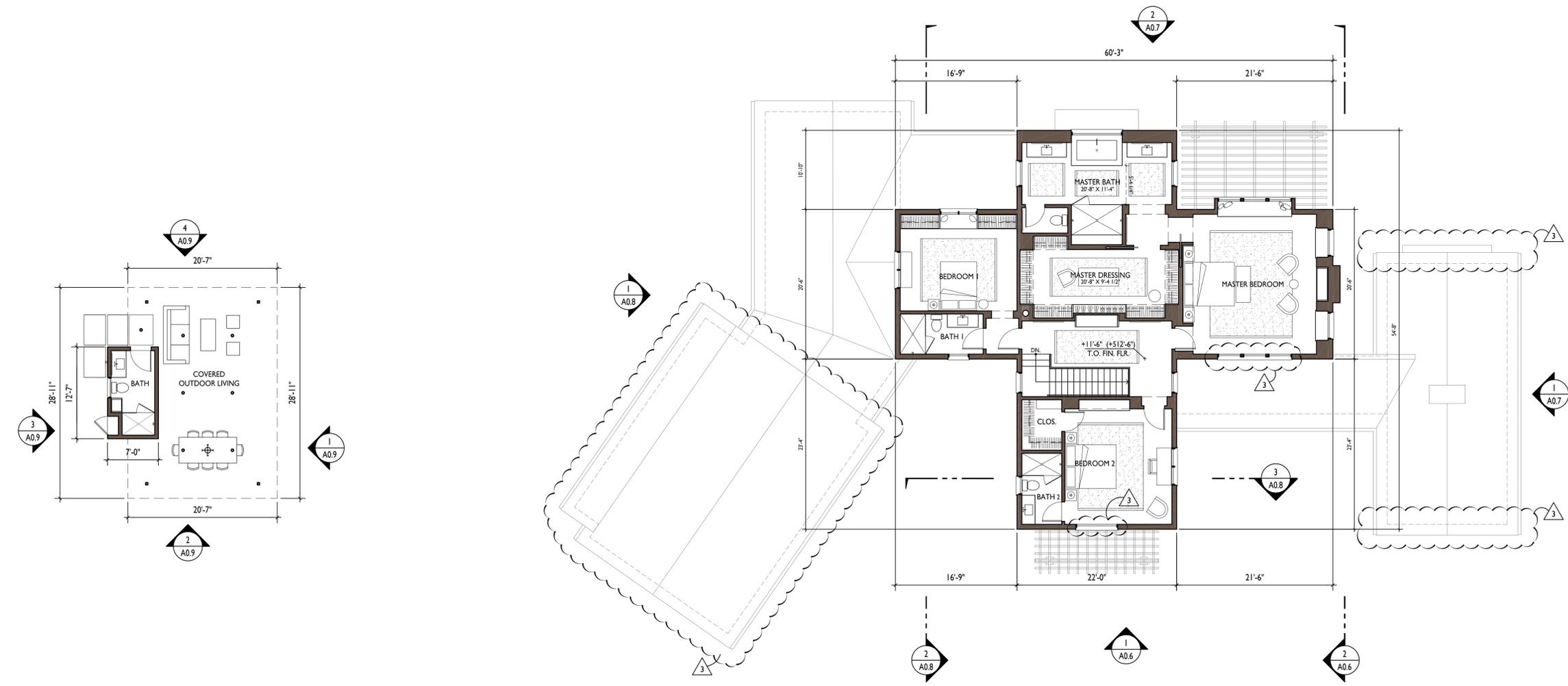
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.C. COMMENTS
Project No.	18004
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8.18.20	T.C. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

SECOND FLOOR PLAN
 AND POOL PAVILION
 FLOOR PLAN

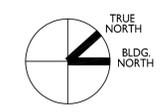
SCALE: 1/8" = 1'-0"

A0.5



2
A0.5 POOL PAVILION FLOOR PLAN

1
A0.5 SECOND FLOOR PLAN



LIGHTING LEGEND

- [L1] BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- [L2] TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- [L3] BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- [L4] WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- [L5] PENDANT LIGHT
- [L6] RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.



62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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Project No.	18004
Date	Issue
4.23.20	REVISION
8.18.20	REVISION
11.17.20	REVISION
1.27.21	REVISION

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A0.6



2 NORTH ELEVATION / SECTION
 A0.6



1 EAST ELEVATION
 A0.6



KEYNOTES / FINISH NOTES

- | | | | | |
|---------------------------------|---|---|--|---------------------------|
| 1 WOOD SHINGLE ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS AND DECKING | 9 STAINED CEDAR GARAGE DOORS | 13 PAINTED METAL DINING NOOK | 17 STEEL WINDOWS & DOORS |
| 2 WOOD TRELLIS AND COLUMNS | 6 PAINTED HORIZONTAL WOOD SIDING AND TRIM | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 EXTERIOR LIGHT FIXTURE | 18 OUTDOOR SHOWER |
| 3 COPPER DOWNSPOUTS AND GUTTERS | 7 SPLIT FACED STONE VENEER | 11 (E) GRADE SHOWN DASHED | 15 RECLAIMED, SOLID WOOD LINTEL | 19 EXISTING HOUSE OUTLINE |
| 4 METAL CLAD WOOD WINDOWS | 8 COPPER FLUE ENCLOSURE | 12 PROPOSED GRADE | 16 PAINTED STEEL POSTS, FASCIA & GUARDRAIL | 20 EXTERIOR LIGHT FIXTURE |



62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	RESUBMITTAL
1.27.21	REVISION

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A0.7



2 WEST ELEVATION
 A0.7

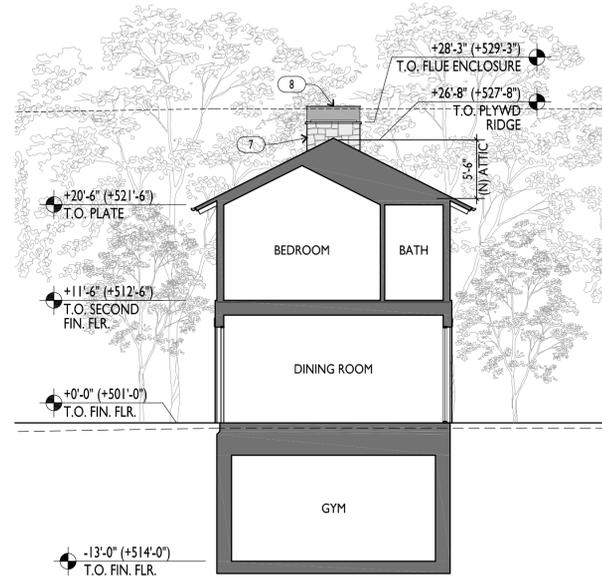


1 NORTH ELEVATION
 A0.7

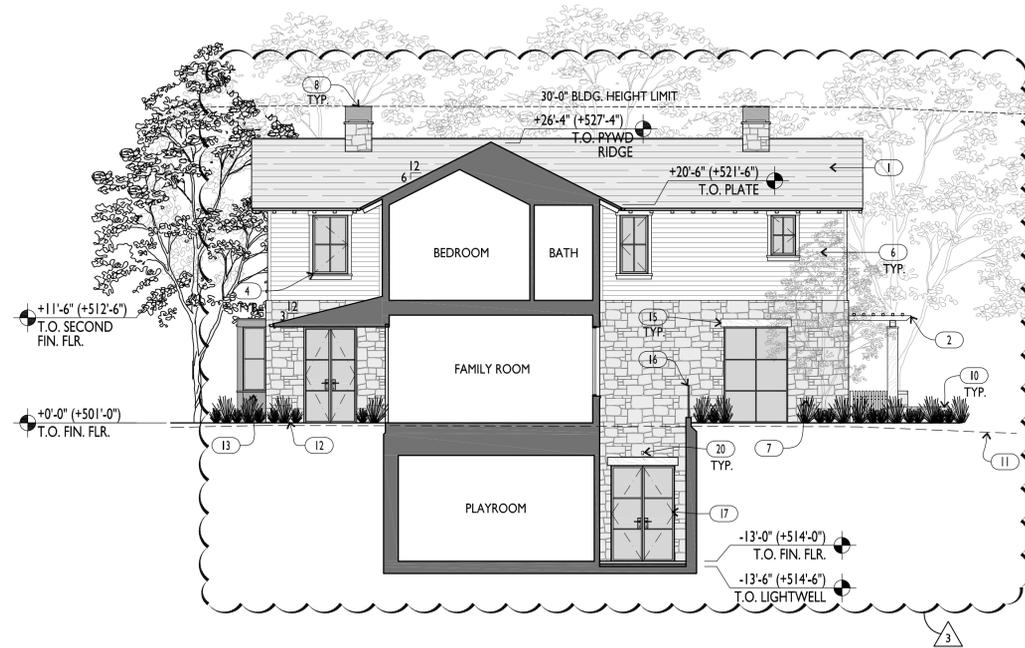


KEYNOTES / FINISH NOTES

- | | | | | |
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3 EAST SECTION
A0.8



2 SOUTH ELEVATION / SECTION
A0.8



1 SOUTH ELEVATION
A0.8



KEYNOTES / FINISH NOTES

- | | | | | |
|---------------------------------|---|---|--|---------------------------|
| 1 WOOD SHINGLE ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS AND DECKING | 9 STAINED CEDAR GARAGE DOORS | 13 PAINTED METAL DINING NOOK | 17 STEEL WINDOWS & DOORS |
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ARCANUM
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62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	8.18.20 T.R. COMMENTS
Project No.	18004
Date	Issue
5.4.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

EXTERIOR ELEVATIONS AND SECTIONS

SCALE: 1/8" = 1'-0"

A0.8



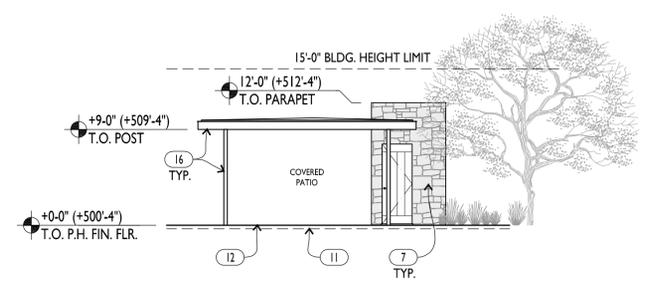
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
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11.17.20	REVISION
1.27.21	REVISION

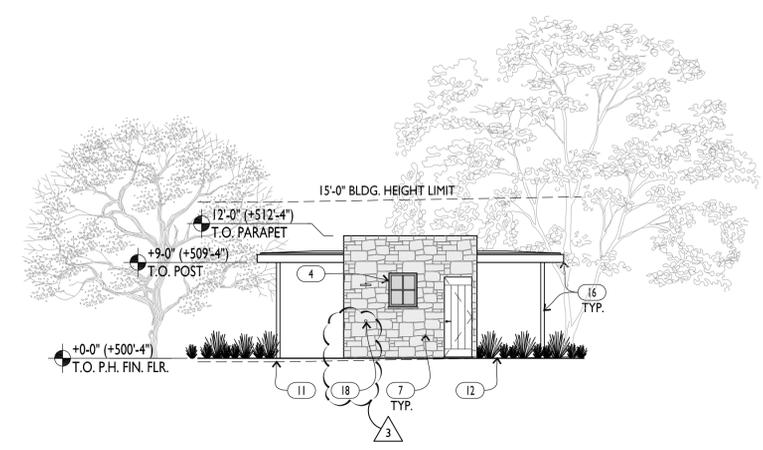
POOL PAVILION
 EXTERIOR
 ELEVATIONS

SCALE: 1/8" = 1'-0"

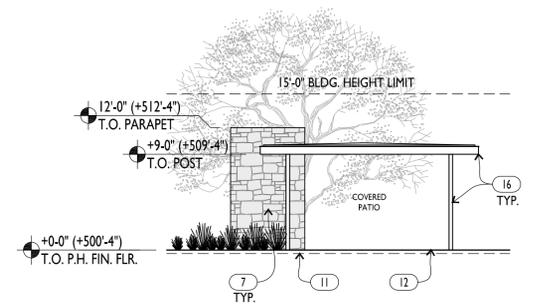
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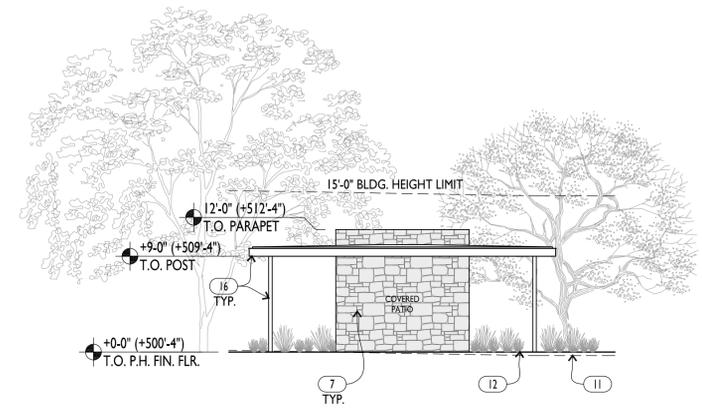
4 WEST ELEVATION
 A0.9



3 SOUTH ELEVATION
 A0.9



2 EAST ELEVATION
 A0.9



1 NORTH ELEVATION
 A0.9

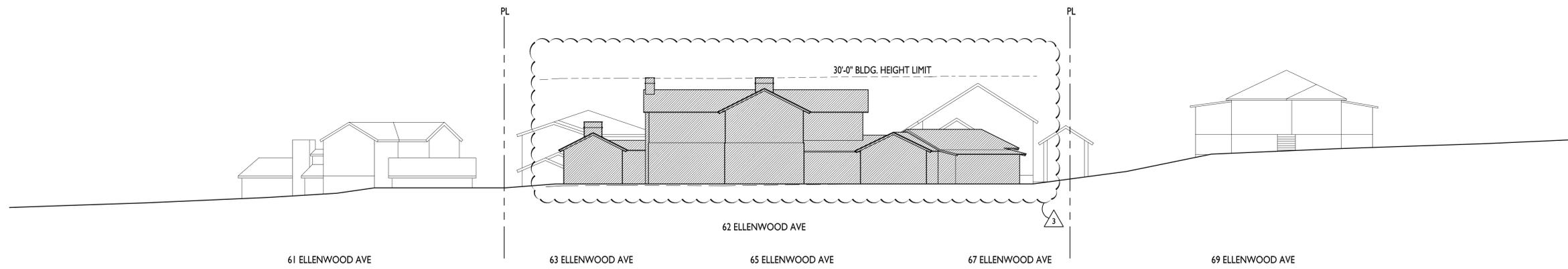


KEYNOTES / FINISH NOTES

- | | | | | |
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LOS GATOS, CALIFORNIA
APN: 510-20-068



2 SITE SECTION - FACING EAST
A1.0



1 STREETScape ELEVATION - FACING EAST
A1.0

Date	
Drawn By	
Checked By	
Project No.	18004
Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

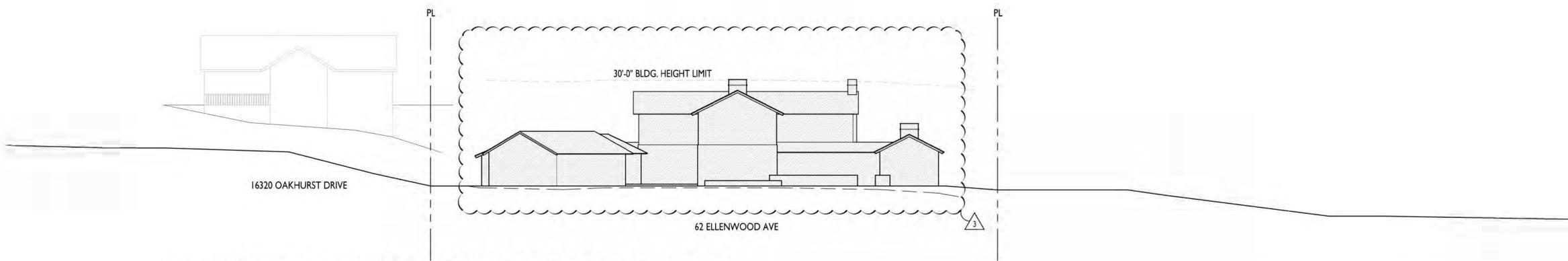
STREETSCAPE ELEVATIONS & SECTIONS

SCALE: 1/16" = 1'-0"

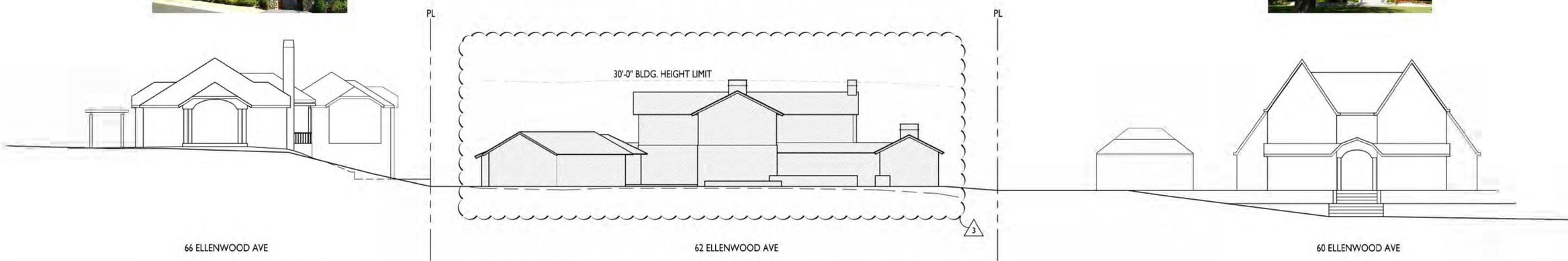
A1.0



3 EAST OVERLAY ELEVATION
SCALE: 1/8" = 1'-0"



2 SITE SECTION - FACING WEST (TOWARDS OAKHURST DRIVE)



1 STREETScape ELEVATION - FACING WEST

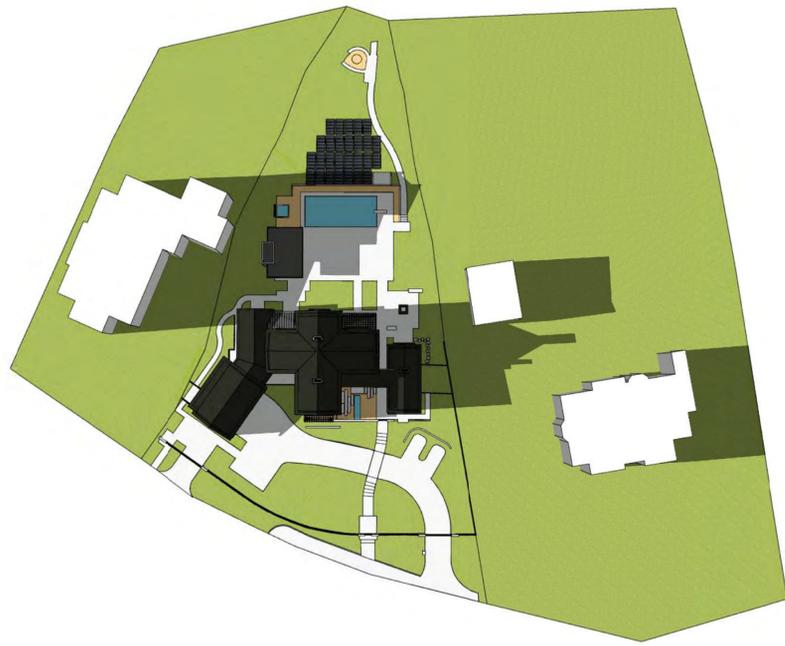
ARCANUM
 REGISTERED ARCHITECT
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62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	REVISION
8.18.20	REVISION
11.17.20	REVISION
1.27.21	REVISION

STREETScape
 ELEVATIONS &
 SECTIONS, OVERLAY
 ELEVATION
 SCALE: 1/16" = 1'-0"

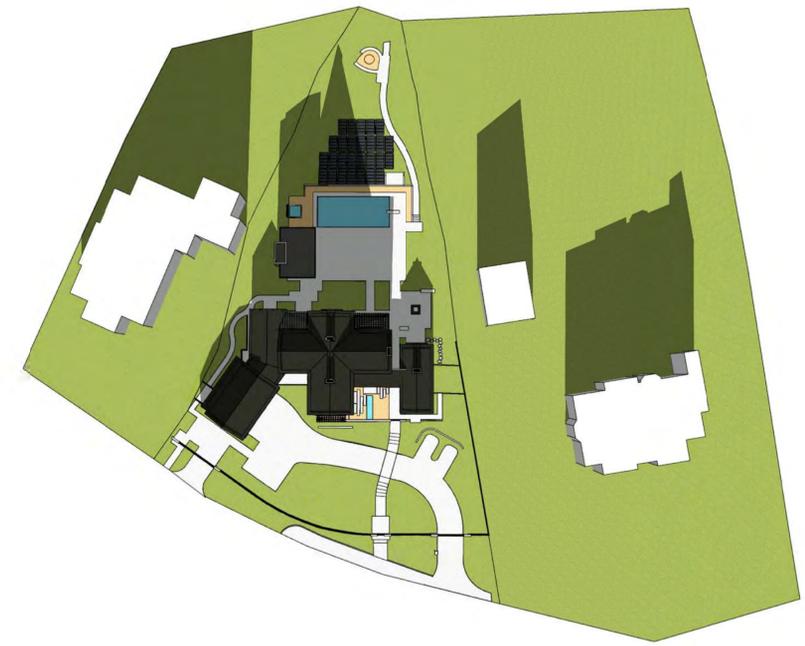
AI.1



DECEMBER 21, 3 PM



DECEMBER 21, 12 PM



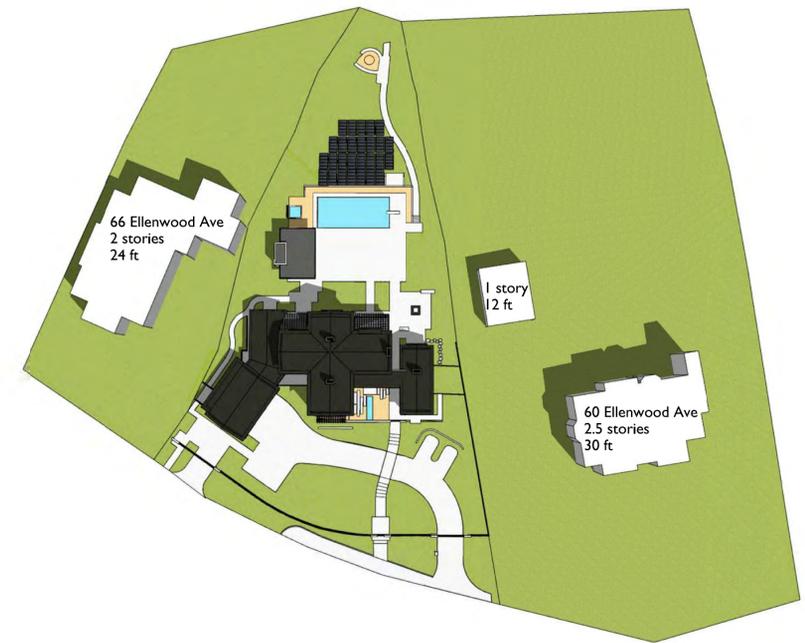
DECEMBER 21, 9 AM



JUNE 21, 3 PM



JUNE 21, 12 PM



JUNE 21, 9 AM

A1.2 SHADOW STUDY - EFFECT ON ADJACENT PROPERTIES



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 arcnumarchitecture.com

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 LOS GATOS, CALIFORNIA
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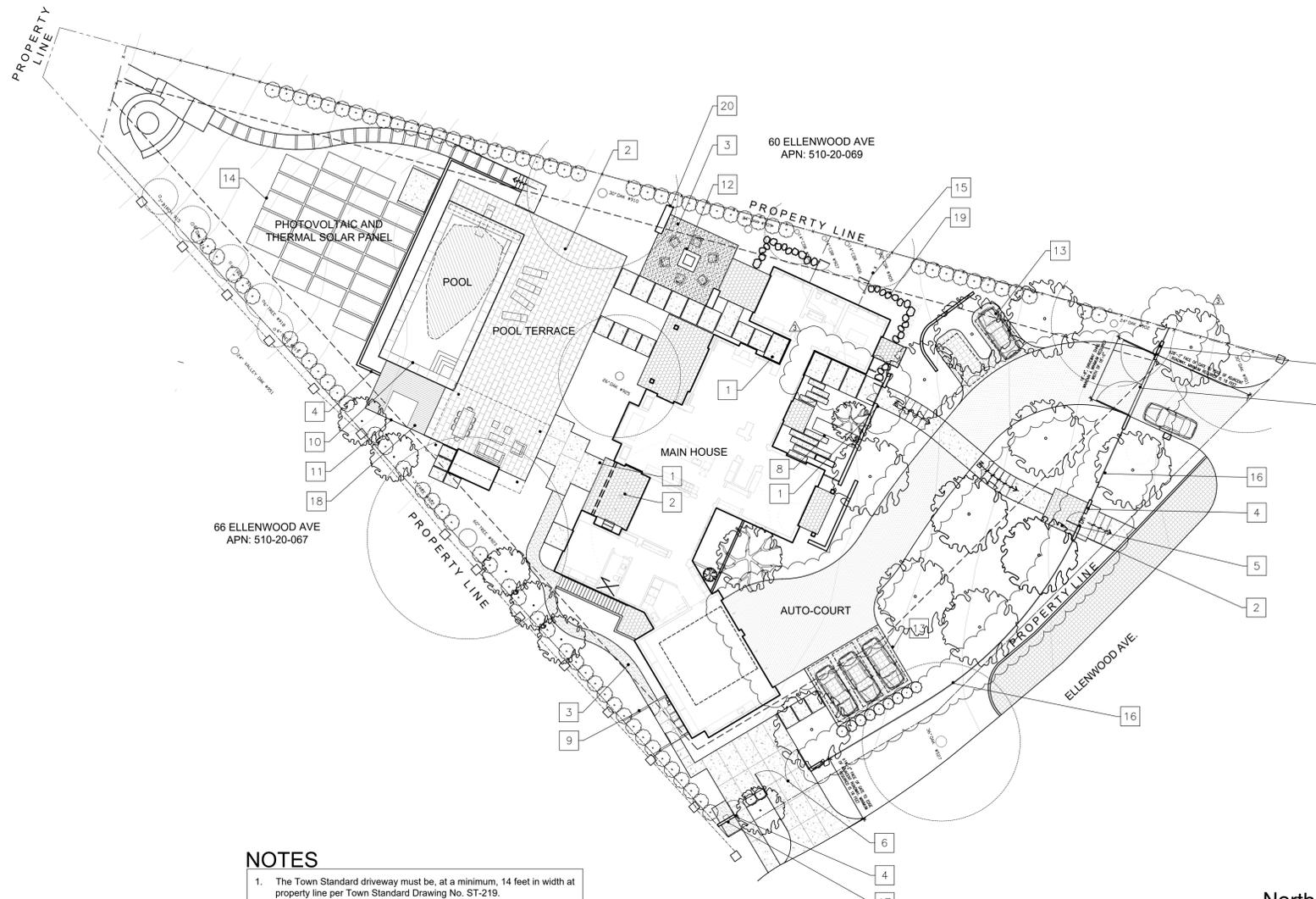
Date	Issue
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Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.C. COMMENTS
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1.27.21	REVISION

SHADOW STUDY

DIAGRAMS NOT TO SCALE

A1.2

16320 OAKHURST DR
APN: 510-20-031



N
PARCEL
NOT TO SCALE

SHEET INDEX

LANDSCAPE DRAWINGS	
L0.0	SITE PLAN & LANDSCAPE COVER SHEET
L0.0R	RENDERED SITE PLAN
L0.1	EXISTING TREE & REMOVAL PLAN
L0.2	EXISTING TREE & REMOVAL PLAN
L1.0	MATERIAL & CALLOUT PLAN
L1.1	MATERIAL & CALLOUT PLAN
L2.0	LIGHTING SCHEDULE & PLAN
L2.2	LIGHTING PLAN
L3.0	PLANTING LEGEND
L3.1	PLANTING PLAN
L3.2	PLANTING PLAN
L5.0	DETAILS
L5.1	DETAILS
L5.2	DETAILS
L5.3	SECTIONS/ELEVATIONS
L5.4	FRONT GATE & FENCE PERSPECTIVES

PROJECT INFORMATION

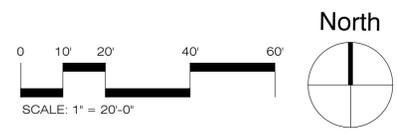
Owners	Lisa & Case Swenson 62 Ellenwood Avenue, Los Gatos, CA 95030
Landscape Architect	Studio Green 232 Sir Francis Drake Boulevard San Anselmo, CA 94960 415.721.0905
Architect	Arcanum Architecture, inc. 329 Bryant Street, Suite 3c San Francisco CA, 94107 arcanumarchitecture.com 415.357.4400
Civil Engineers	BKF Engineering 255 Shoreline Drive, Suite 200, Redwood City, CA 94065 650.482.6315

NOTES

- The Town Standard driveway must be, at a minimum, 14 feet in width at property line per Town Standard Drawing No. ST-219.

SCCFD NOTES

- This project shall comply with the following: The California Fire (CFC) & Building (CBC) 2016 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code
- Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such a project, and comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor or record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 019 CFC Dec. 903.3.5 and Health and Safety Code 13114.7
- Address identification: new and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with the background. address numbers shall be arabic numbers or alphabetical letters. numbers shall be a minimum of 4 inches (101.6mm) high and a minimum stroke width of 0.5 inch (12.7 mm), where access is by means of a private road and building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. cfc sec 505.1.
- Emergency Gate/Access Gate Requirements: Gate installations conform with Fire Department Standard Details and Specifications G-1 and, when open shall not obstruct any portion of the minimum required width of 20' for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 18 feet from the road being exited. [CFC Sec. 503.6 and 506] [LGTC Sec.29.40.030]. Knox Key Switch will be provided and installed.
- Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals as appropriate to project. CFC Chp 33.
- Fire Apparatus (Engine) Access Driveway Required: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 14 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.



ABBREVIATION

AC	ASPHALTIC CONCRETE	DWG	DRAWING	LA	LANDSCAPE ARCHITECT	RET	RETAINING
AGG	AGGREGATE	(E)	EXISTING	MAX	MAXIMUM	SCH	SCHEDULE
ALT	ALTERNATE	EA	EACH	MIN	MINIMUM	SF	SQUARE FEET
BLDG	BUILDING	ELEC	ELECTRICAL	MFR	MANUFACTURER	SIM	SIMILAR
BW	BOTTOM WALL	EQ	EQUAL	(N)	NEW	STRCT	STRUCTURAL
CB	CATCH BASIN	FG	FINISH GRADE	NIC	NOT IN CONTRACT	TP	TOP OF PAVING
CLR	CLEAR	FW	FACE OF WALL	NTS	NOT TO SCALE	TW	TOP OF WALL
CY	CUBIC YARD	GALV	GALVANIZED	OC	ON CENTER	TYP	TYPICAL
CONC	CONCRETE	IRRIG	IRRIGATION	PA	PLANTING AREA	W	WITH
DG	DECOMPOSED GRANITE	LF	LINEAR FEET	RAD	RADIUS	W/O	WITHOUT

SCOPE OF WORK

- Concrete Paving
Earth tone gray color
- Stone Paving
Earth tone gray color
- Gravel Paving
Earth tone gray color
- Stone Walls
Material to match house
- Pedestrian Gate
4'-6" Tall Steel Pedestrian Gate painted dark gray
- Vehicle Gate
4'-6" Tall Steel Gate w/ approved Knox Key switch
- Wood Wire Fence/Gate
Wire Mesh with wood frame
- Water Feature
Bronze Spillway & trough
- Trash Enclosure
Wood Enclosure painted to match garage doors
- Pool
18'x42' Pool with diving board
- Hot Tub
7'-7" x 7'-7" Hot Tub
- Fire Pit
Bronze Pre-Fab Fire Pit
- Permeable Paving
- Photovoltaic and Thermal Solar Panel
On ground mounted panels
- Dog Run
Mulched area with wood wire enclosure
- Vertical Picket Fence
Grape Vine Stake wood pickets with steel support frame
- Package Drop-box
Steel drop-box embedded into stone wall
- Wood Deck
IPE wood deck
- Stepping Stone Pathway
Irregular natural warm earth tones
- Stone Seat Wall
Earth tone gray color

LEGEND

	CENTER LINE		CENTER POINT
	PROPERTY LINE		ALIGN
	LIMIT OF WORK		LANDSCAPE FEATURE
	EXISTING CONTOUR (200)		EXISTING ELEVATION (500)
	PROPOSED CONTOUR 200		PROPOSED ELEVATION 500
	MATCHLINE		EXISTING SPOT ELEVATION (+101.7')
	PLANTING AREA		PROPOSED SPOT ELEVATION (+101.7')
	GAS SUPPLY LINE		% SLOPE AND DIRECTION 5%
	WATER SUPPLY LINE		DIMENSIONS/DISTANCE 2'-10"

STUDIO GREEN
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232 Sir Francis Drake Blvd.
San Anselmo, CA 94960
Phone (415) 721-0905
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Email info@studiogreen.com

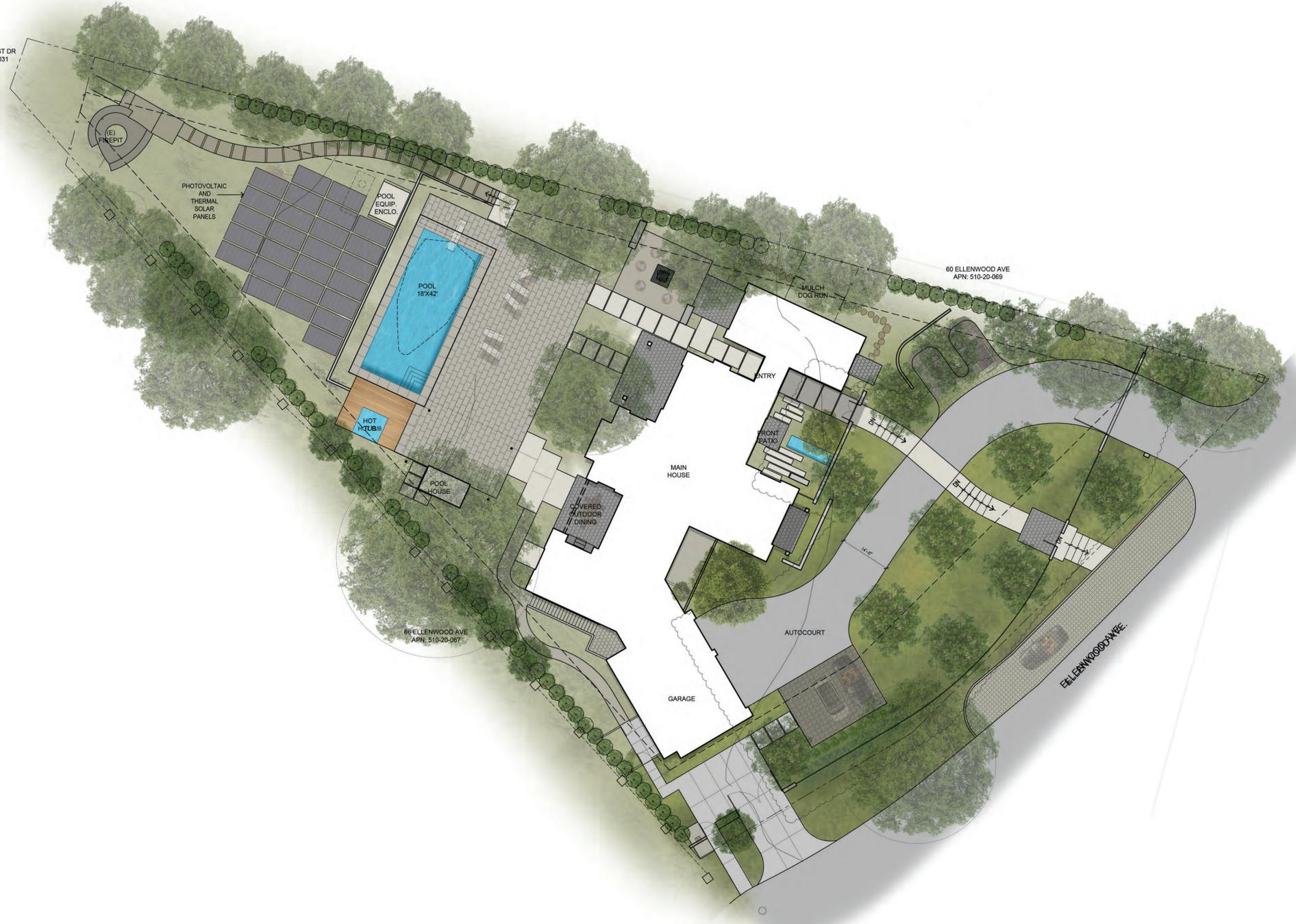


SWENSON RESIDENCE
62 Ellenwood Avenue
Los Gatos, CA
APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision
01.27.21	Revision

SITE PLAN & LANDSCAPE COVER SHEET
Drawn by: RP
Checked by: JM
L0.0

16320 OAKHURST DR
APN: 510-20-031



60 ELLENWOOD AVE
APN: 510-20-069

66 ELLENWOOD AVE
APN: 510-20-067

STUDIO GREEN

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Web: studiogreen.com
Email: info@studiogreen.com



SWENSON RESIDENCE

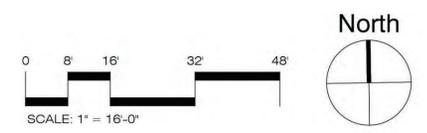
62 Ellenwood Avenue
Los Gatos, CA
APN: 510-20-088

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision
01.27.21	Revision

RENDERED SITE PLAN

Drawn by: RP
Checked by: JM

L0.0R





SWENSON RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R.
	Comments
11.17.20	Revision
01.27.21	Revision

EXISTING TREE & REMOVAL PLAN

Drawn by: RP
 Checked by: JM
L0.1

LEGEND

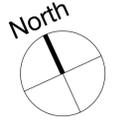
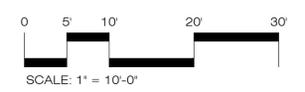
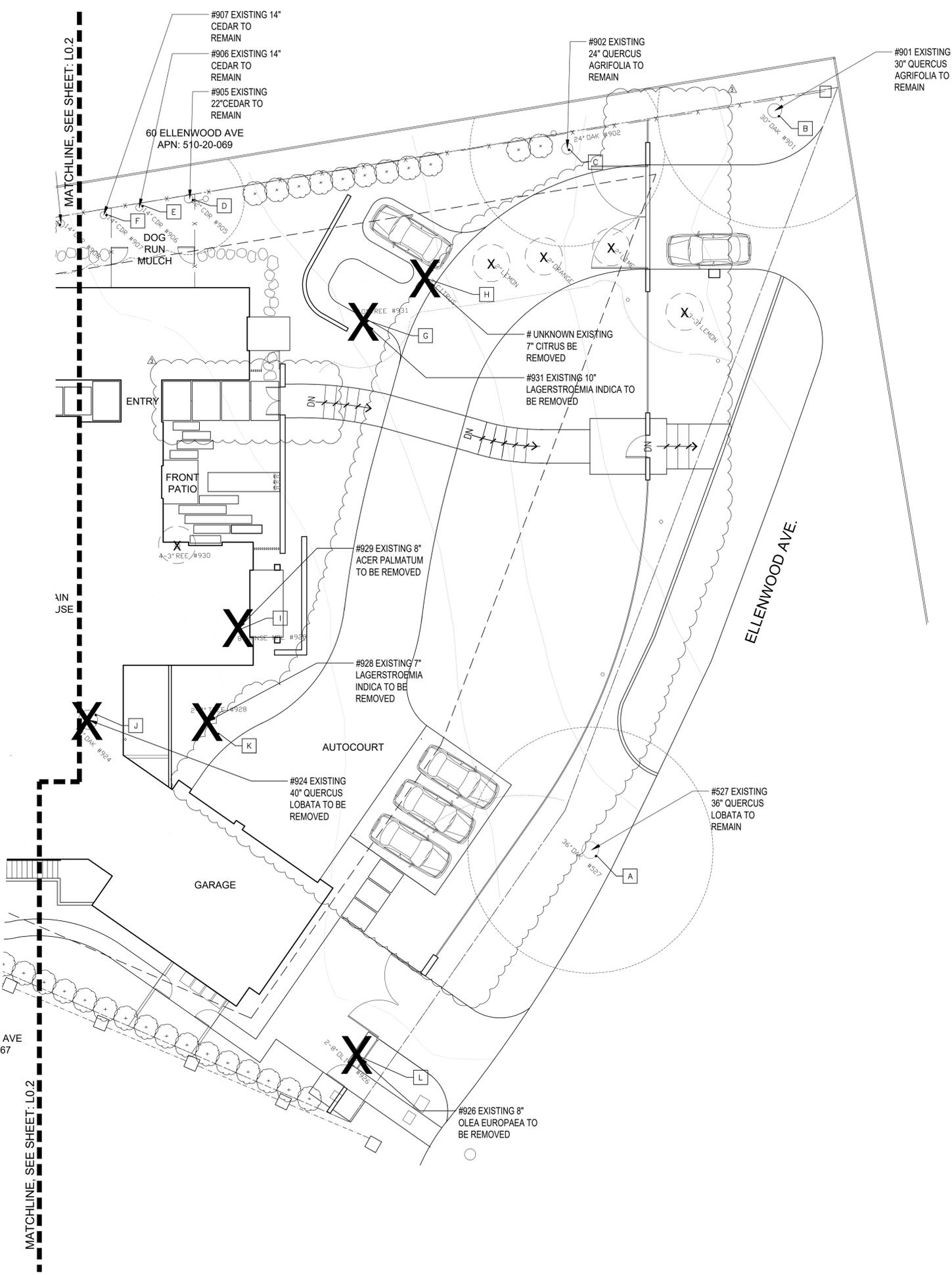
X >4" TREES TO BE REMOVED

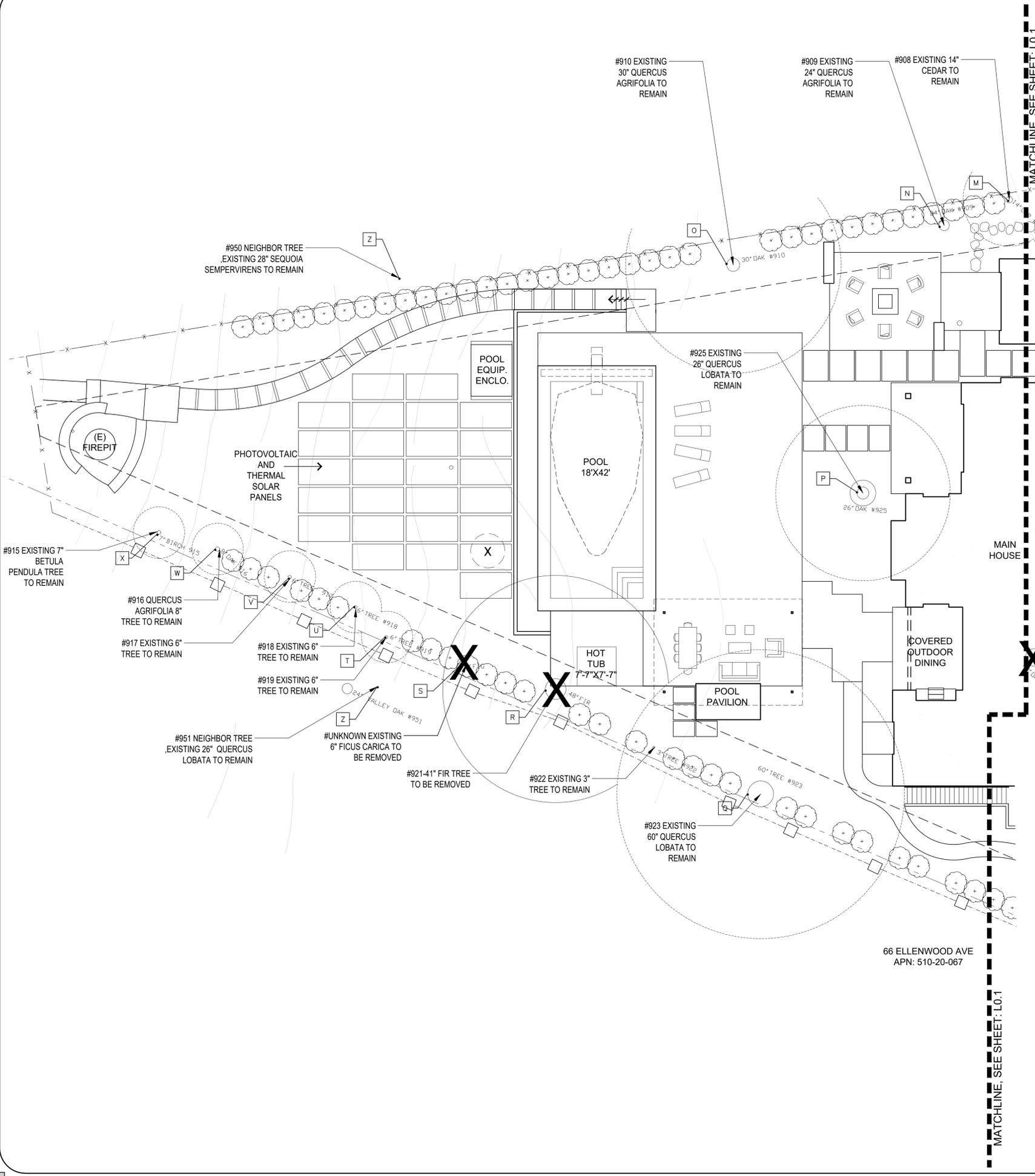
(X) >4" TREES TO BE REMOVED

[A] SYMBOL

>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
A	527	QUERCUS LOBATA	VALLEY OAK	36" Ø	GOOD	NO	
B	901	QUERCUS LOBATA	VALLEY OAK	24.7" Ø	FAIR	NO	
C	902	QUERCUS LOBATA	VALLEY OAK	23.1" Ø	GOOD	NO	
D	905	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
E	906	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
F	907	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	FAIR	NO	
G	931	LAGERSTROEMIA INDICA	CREPE MYTLE	10" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
H	UNKNOWN	CITUS X LIMON	LEMON TREE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
I	929	ACER PALMATUM	JAPANESE MAPLE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
J	924	QUERCUS LOBATA	VALLEY OAK	39.8" Ø	FAIR	YES	IN PROPOSED DEVELOPMENT AREA
K	928	LAGERSTROEMIA INDICA	CREPE MYTLE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
L	926	OLEA EUROPAEA	OLIVE TREE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA





LEGEND

- X >4" TREES TO BE REMOVED
- X >4" TREES TO BE REMOVED
- A SYMBOL

>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
M	908	CEDRUS DEODARA	DEODAR CEDAR	15" Ø	GOOD	NO	
N	909	CEDRUS DEODARA	DEODAR CEDAR	24" Ø	GOOD	NO	
O	910	QUERCUS AGRIFOLIA	COAST LIVE OAK	32" Ø	GOOD	NO	
P	925	QUERCUS LOBATA	VALLEY OAK	25.2" Ø	POOR	NO	
Q	923	QUERCUS LOBATA	VALLEY OAK	59.6" Ø	FAIR	NO	
R	921	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	41.0" Ø	FAIR	YES	CRITICAL ROOTS IN CONSTRUCTION ZONE
S	UNKNOWN	FIGUS CARICA	FIG TREE	6" Ø	GOOD	YES	UNDESIRABLE
T	919	ACER SPECIES	ACER	6" Ø	GOOD	NO	
U	918	ACER SPECIES	ACER	6" Ø	GOOD	NO	
V	917	ACER SPECIES	ACER	6" Ø	GOOD	NO	
W	916	QUERCUS AGRIFOLIA	COAST LIVE OAK	10.1" Ø	FAIR	NO	
X	915	BETULA PENDULA	EUROPEAN BIRCH	9" Ø	GOOD	NO	
Y	950	(NEIGHBOR'S) SEQUOIA SEMPERVIRENS	REDWOOD TREE	28" Ø	FAIR	NO	
Z	951	(NEIGHBOR'S) QUERCUS LOBATA	VALLEY OAK	26" Ø	FAIR	NO	

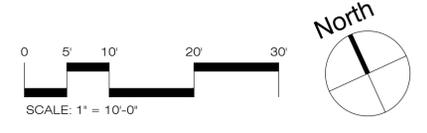
STUDIO GREEN
 Landscape Architecture
 232 Sir Francis Drake Blvd.
 San Anselmo, CA 94960
 Phone: (415) 721-0905
 Fax: (415) 721-0910
 Web: studiodgreen.com
 Email: info@studiodgreen.com



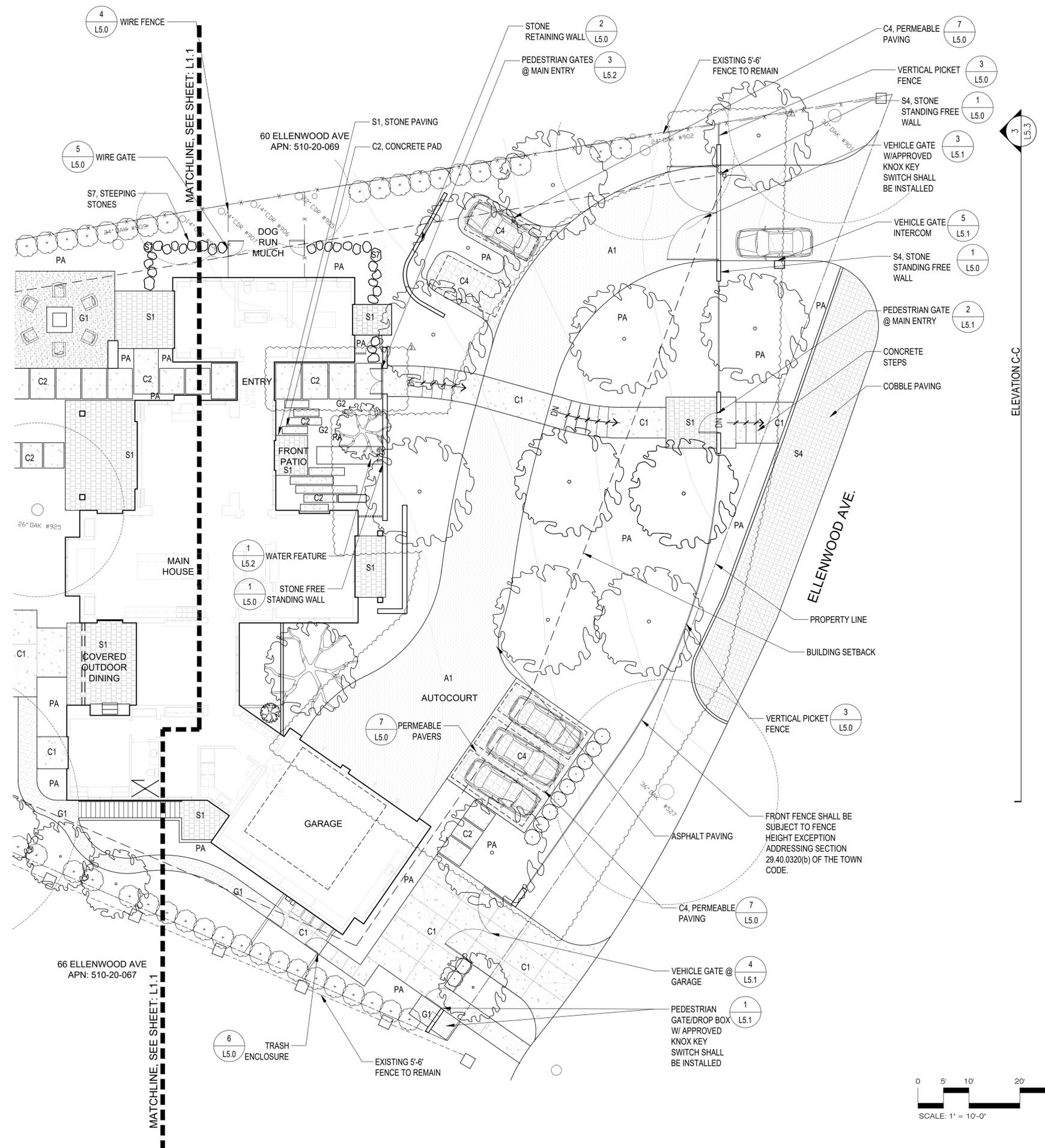
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EXISTING TREE & REMOVAL PLAN
 L0.2
 Drawn by: RP
 Checked by: JM



66 ELLENWOOD AVE
 APN: 510-20-067



MATERIAL SCHEDULE

- A1 ASPHALT PAVING
- C1 CONCRETE PAVING
 - Color: Davis Colors, Miami Buff 5447, Powder Dose 1LB per 94LB Sack of Cement
 - Finish: Grace Top-Cast, Sandblast-05 Powder Blue Violet
 - Joint: 1-1/2" deep tooled
 - Sample: Provide 24"x24" sample on site for approval
- C2 CONCRETE PAD
 - Match C1 specification
- C3 CONCRETE WALLS
 - Color: Match C1
 - Finish: Board form finish, 5 1/2" boards w/ 1/16" gaps.
- C4 PERMEABLE PAVERS
 - Color: Warm Gray tones
- G1 DECOMPOSED GRANITE PAVING
 - COLOR: Tan/gold color, 1/4" minus with stabilizer solutions from Lyngso
 - BRAND: Lyngso, (650.364.1730), or approved equal. apply per mfr's recommendations. submit samples for approval.
- G2 DECORATIVE STONE
 - Size: 2-3" Decorative rounded pebbles.
 - Finish: Ivory Seaside Beach Pebble or Equal
 - Brand: Coverall Stone (800-779-3234).
 - Sample: Submit samples for approval.
- G3 FIRE PIT STONE
 - Size: 1-2" Black Lava Rock
- S1 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S2 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S3 STONE POOL COPING
 - Color: Match S2
 - Finish: Match S2
 - Size: Varies
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S4 COBBLE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S5 STONE VENEER WALL
 - Color: Warm Gray
 - Finish: TBD
 - Size: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S6 STONE CAP
 - Match S5
- S7 STEPPING STONES
 - Color: Warm Gray
- W1 WOOD DECKING
 - WOOD DECKING
 - 1X6 IPE WOOD

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MATERIAL CALLOUT PLAN

Drawn by: RP
 Checked by: JM

L1.0



SWENSON RESIDENCE

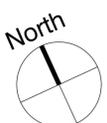
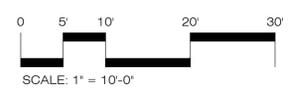
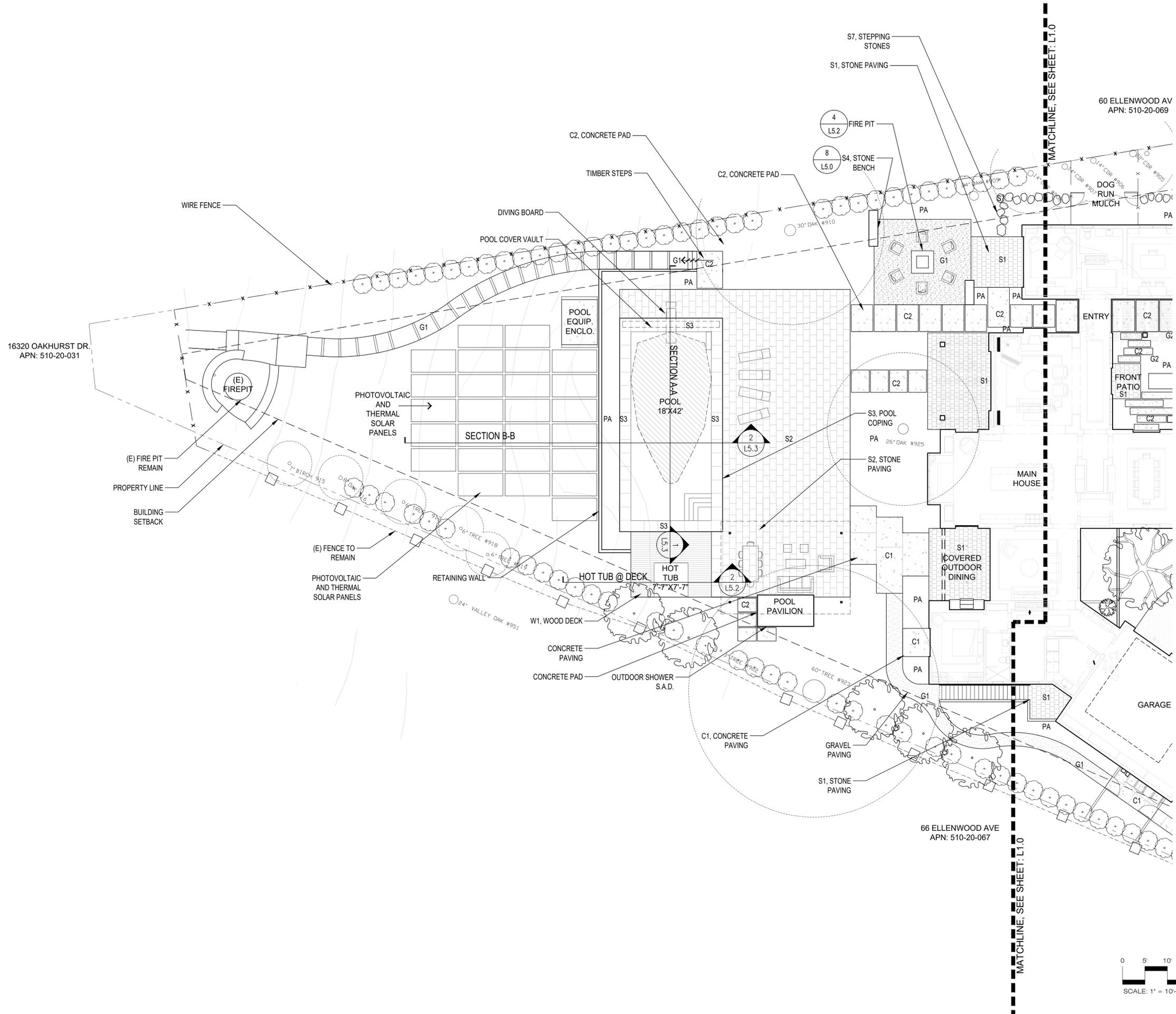
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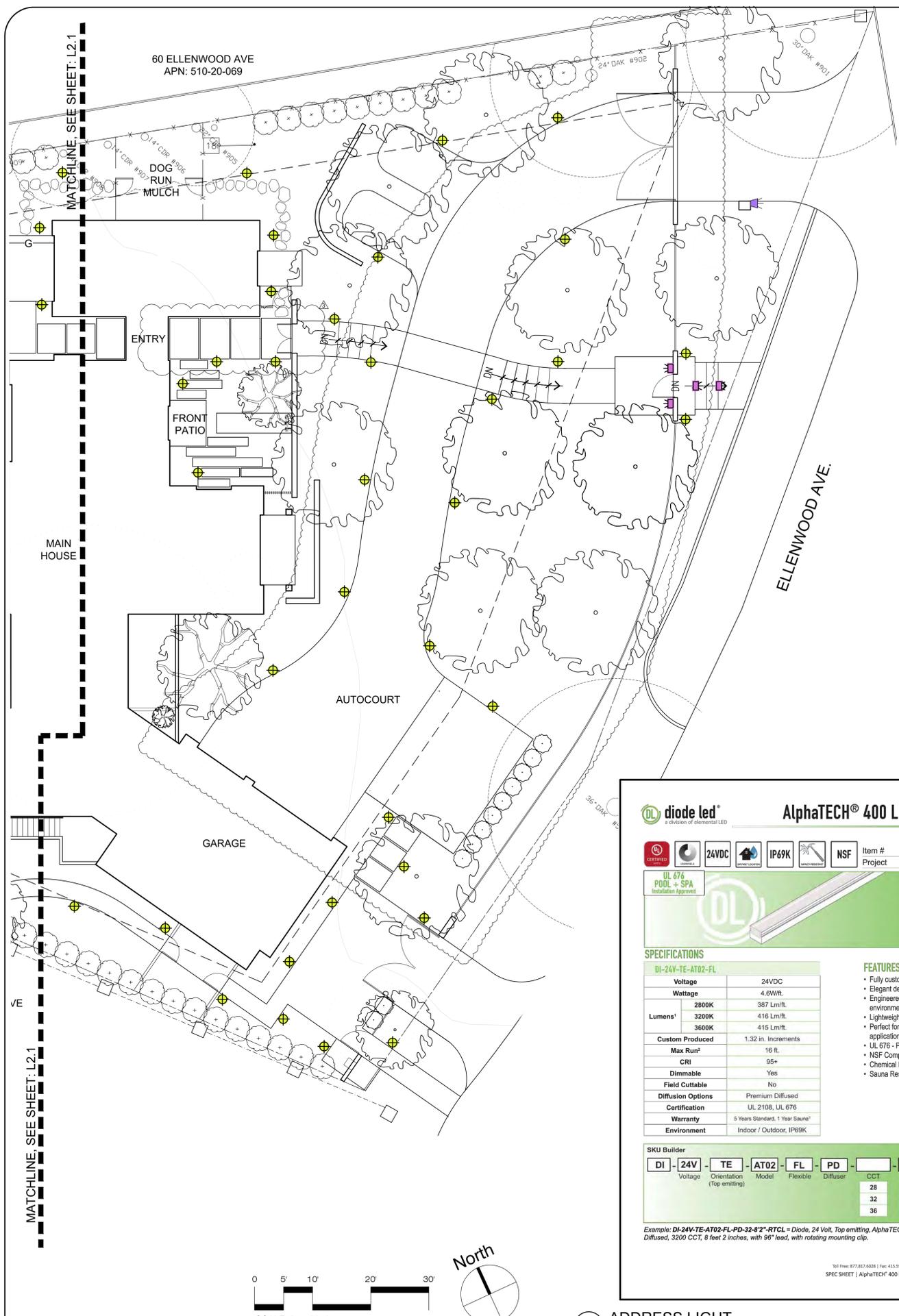
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MATERIAL CALLOUT PLAN

Drawn by: RP
 Checked by: JM

L1.1





LIGHTING NOTES

1/L2.1: PATH LIGHT:
SPJ LIGHTING
Model #: SPJ-BG3-MBR-1.5W-125-2700K-8-15V

2/L2.1: WALL/STEP LIGHT:
W.A.C. Lighting,
Model #: 4011-27-BK

3/L2.1: STRIP LIGHT
DIODE LED ALPPHATECH 400 LED
STRIP LIGHT
MODEL: DI-24V-TE-AT02-FL-PD

POOL LIGHT:
By Pool Contractor

120 VOLT ELECTRICAL LINE IN
CONDUIT

NATURAL GAS LINE FROM
HOUSE

GFCI RECPTACLE - Wall mounted

LIGHTING NOTES

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed

Forever Bright

Model: SPJ-BG3
Finish: Matte Bronze

Adjustable Below Grade Path Lighting

DESCRIPTION
Model#: SPJ-BG3
Material: Solid Brass
Electrical: 8-15V
Engine: FB-01CK
Lumens: 125
Color Temp: 2700K
Mounting: SPJ19-03-RBBG Incl.
LED: Nichia
Beam Spread: 180°

Option: Adjustable Below Grade Elser
Model: SPJ19-03-RBBG
Finish: Matte Bronze
Base: Solid brass top fits on our standard perme post with finish to match initial fixture at grade level and as the landscape grows adjust fixture height as needed.

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-BG3	MBR	1.5W	125	2700K	8-15V

www.spjlighting.com

1 PATH LIGHT
Scale: NTS

RECTANGLE STEP LIGHTS 12V

4011

WAC LANDSCAPE LIGHTING

Fixture Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.
Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES
• Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
• IP66 rated. Protected against high-pressure water jets
• Conveniently adapts into existing 12V system
• Invisible hardware
• Maintains constant lumen output against voltage drop
• UL 1688 Listed

ORDERING NUMBER

Color Temp.	CR	Finish	Lumens
27	2700K	90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 SS Cast Stainless Steel	23
		90 BBR Bronze on Brass	11
		90 BK Black on Aluminum	11
		90 BZ Bronze on Aluminum	11
		90 WT White on Aluminum	22
		90 SS Cast Stainless Steel	14

4011-
Example: 4011-30BK

www.wacighting.com
Phone (800) 526-2588
Fax (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

2 WALL/STEP LIGHT
Scale: NTS

diode led AlphaTECH® 400 LED STRIP LIGHT

DL a division of elemental LED

UL 676 POOL + SPA Installation Approved

SPECIFICATIONS

DI-24V-TE-AT02-FL	
Voltage	24VDC
Wattage	4.6W/ft.
Lumens	2800K 387 Lm/ft. 3200K 416 Lm/ft. 3600K 415 Lm/ft.
Custom Produced	1.32 in. Increments
Max Run	16 ft.
CRI	95+
Dimmable	Yes
Field Cuttable	No
Diffusion Options	Premium Diffused
Certification	UL 2108, UL 676
Warranty	5 Years Standard, 1 Year Sauna*
Environment	Indoor / Outdoor, IP69K

FEATURES

- Fully customizable
- Elegant design
- Engineered for rugged environments
- Lightweight, durable, and flexible
- Perfect for both indoor and outdoor applications
- UL 676 - Pool and Spa certified
- NSF Component Approved
- Chemical Resistant
- Sauna Resistant

SKU Builder

DI - 24V - TE - AT02 - FL - PD - [] - [] - []

Volume: [] RTCL (Rotating Clip)
Volume: [] FLCL (Flat Clip)
Volume: [] MTCH (Chamfer)

Example: DI-24V-TE-AT02-FL-PD-32-8*2*-RTCL = Diode, 24 Volt, Top emitting, AlphaTECH® 400 Type 2, Flexible, Premium Diffused, 3200 CCT, 8 feet 2 inches, with 96° lead, with rotating mounting clip.

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Specifications are subject to change without notice.
SPJ Light (AlphaTECH® 400 LED STRIP LIGHT) | SSS10419-1.0 | 3 OF 7

3 ADDRESS LIGHT
Scale: NTS

STUDIO GREEN

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www.studiogreen.com
Email: info@studiogreen.com

LICENSED LANDSCAPE ARCHITECT
LARRY HENRY WERTER, No. 217
SIGN HERE
5/22
RENEWAL DATE
04/27/21
DATE
STATE OF CALIFORNIA

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LIGHTING SCHEDULE & PLAN

Drawn by: RP
Checked by: JM
L2.0



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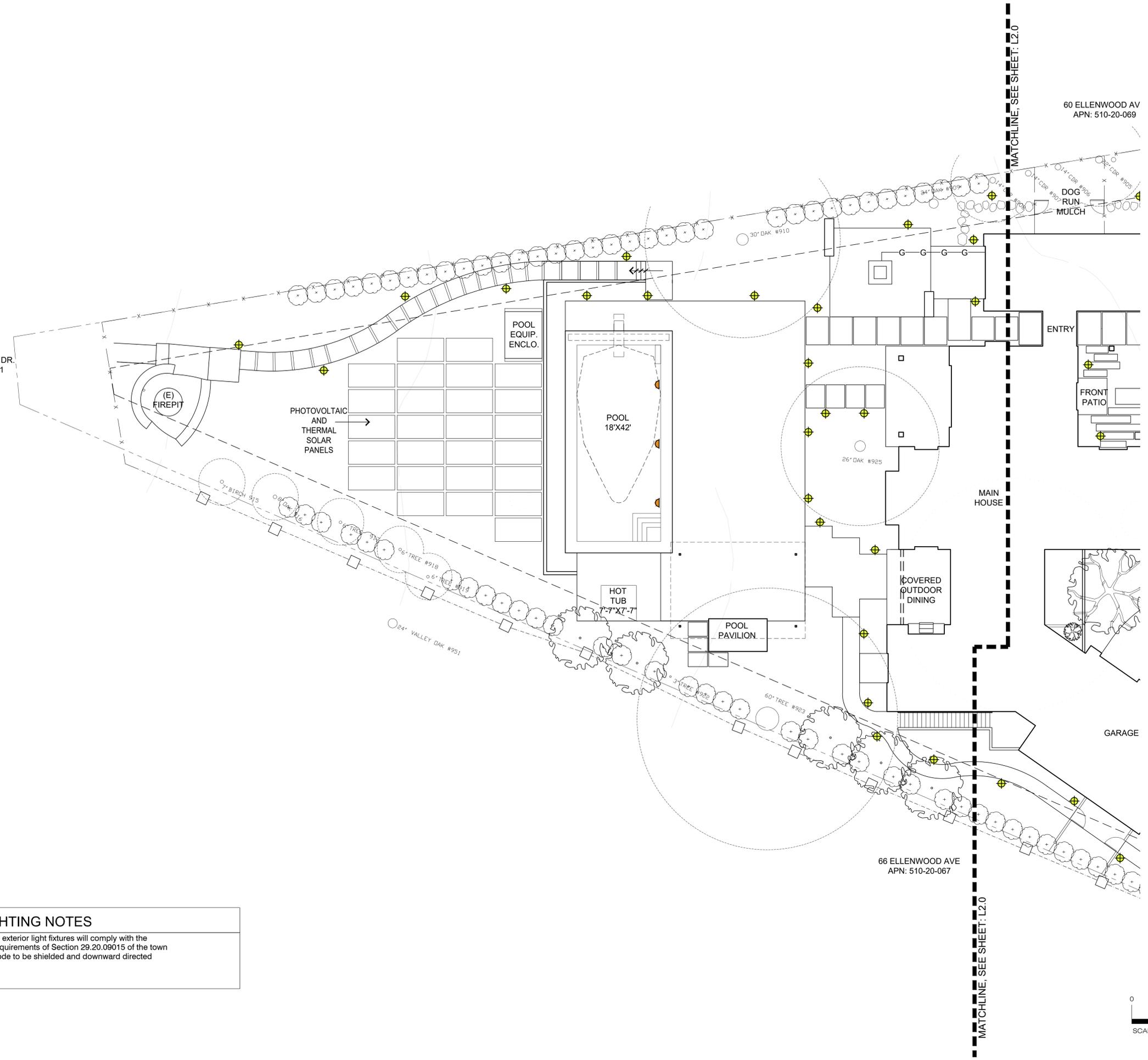
LIGHTING PLAN

Drawn by: RP
 Checked by: JM
L2.1

16320 OAKHURST DR.
 APN: 510-20-031

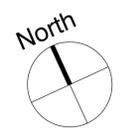
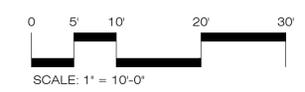
60 ELLENWOOD AV
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LIGHTING NOTES

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed



TREES



ACER PALMATUM
JAPANESE MAPLE



CERCIS CANADENSIS
EASTERN REDBUD



LAURUS 'SARATOGA'
SARATOGA LAUREL (STANDARD)



MAGNOLIA X SOULANGEANA
SAUCER MAGNOLIA



OLEA EUROPAEA 'SWAN HILL'
SWALL HILL OLIVE

ACE PAL CER CAN LAURUS 'SARATOGA' LAU STD MAGNOLIA X SOULANGEANA MAG SOU OLEA EUROPAEA 'SWAN HILL' OLE EUR

LARGE SHRUBS



LAURUS 'SARATOGA'
SARATOGA LAUREL (MULTI)



PRUNUS LAUROCERASUS
ENGLISH LAUREL



RHUS INTEGRIFOLIA
LEMONADE BERRY



THUJA OCCIDENTALIS 'EMERALD GREEN'
EMERALD GREEN ARBORVITAE

LAU SAR PRUNUS LAUROCERASUS RHUS INTEGRIFOLIA THUJA OCCIDENTALIS 'EMERALD GREEN' ARBORVITAE

SHRUBS & PERENNIALS



BACCHARIS PILULARIS 'PIGEON POINT'
COYOTE BUSH



CAREX DIVULSA
BERKELEY SEDGE



CEANOTHUS GRISEUS VAR. HORIZONTALIS
YANKEE POINT CEANOTHUS



COPROSMA KIRKII
CREEPING COPROSMA



LAVANDULA X INTERMEDIA 'GROSSO'
GROSSO LAVENDER



OLEA EUROPAEA 'MONTRA'
DWARF LITTLE OLLIE



LOMANDRA LONGIFOLIA
BREEZE DWARF MAT RUSH

BAC PIL CAREX DIVULSA CAR DIV CEANOTHUS GRISEUS VAR. HORIZONTALIS COPROSMA KIRKII LAV GTO OLEA EUROPAEA 'MONTRA' LIT OLI LOM LON



MUHLENBERGIA RIGENS
DEER GRASS



RHAMNUS CALIFORNICA 'EVE CASE'
COFFEEBERRY



SALVIA CLEVELANDII
CLEVELAND SAGE

MUH RIG RHA CAL SAL CLE

SCREENING LEGEND							
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT PLANTED	MATURE SIZE/PLAN TYPE	TYPE	WUCOLS
TREES							
CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	36" BOX	6'-8" TALL	14' TALL	DECIDUOUS	M
MAG SOU	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	36" BOX	6'-10" TALL	18'-20' TALL	DECIDUOUS	M
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	36" BOX	6'-10" TALL	18'-20' TALL	EVERGREEN	L
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	12' TALL	15'-25' TALL	EVERGREEN	L
LARGE SHRUBS							
LAU SAR	LAURUS 'SARATOGA'	SARATOGA LAUREL	24" BOX	5' TALL	8' TALL	EVERGREEN	L
PRU LAU	PRUNUS LAUROCERASUS	ENGLISH LAUREL	B&B	5' TALL	8' TALL	EVERGREEN	M
RHU INT	RHUS INTEGRIFOLIA	LEMONADE BERRY	24" BOX	3' TALL	4' TALL	EVERGREEN	L
THU EME	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	15 GAL	3' TALL	4' TALL	EVERGREEN	L
SHRUB & PERENNIALS							
BAC PIL	BACCHARIS PILULARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL	>1' TALL	2' TALL	EVERGREEN	L
CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	1' TALL	2' TALL	EVERGREEN	M
CEA GRI	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	1 GAL	1' TALL	1' TALL	EVERGREEN	L
COP KIR	COPROSMA KIRKII	KIRK'S COPROSMA	1 GAL	1' TALL	1' TALL	EVERGREEN	L
LAV GRO	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	1 GAL	2' TALL	3' TALL	EVERGREEN	L
LIT OLE	OLEA EUROPAEA 'MONTRA'	DWARF LITTLE OLLIE	15 GAL	2' TALL	4' TALL	EVERGREEN	L
LOM LON	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	15 GAL	2' TALL	4' TALL	EVERGREEN	L
SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L

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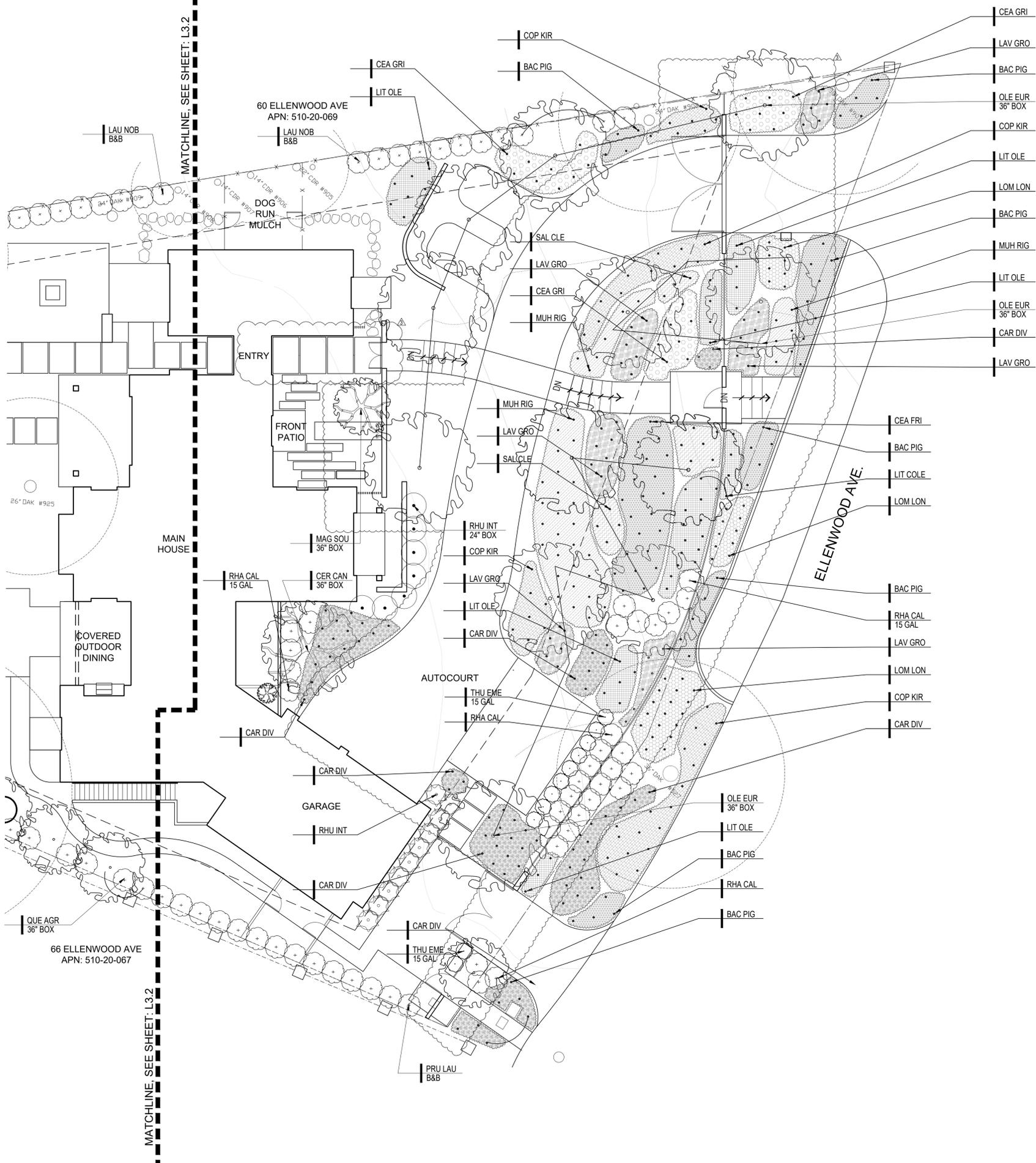


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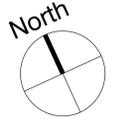
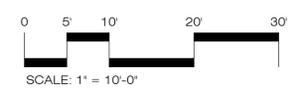


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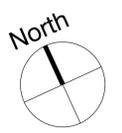
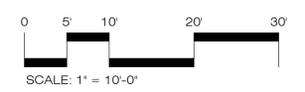
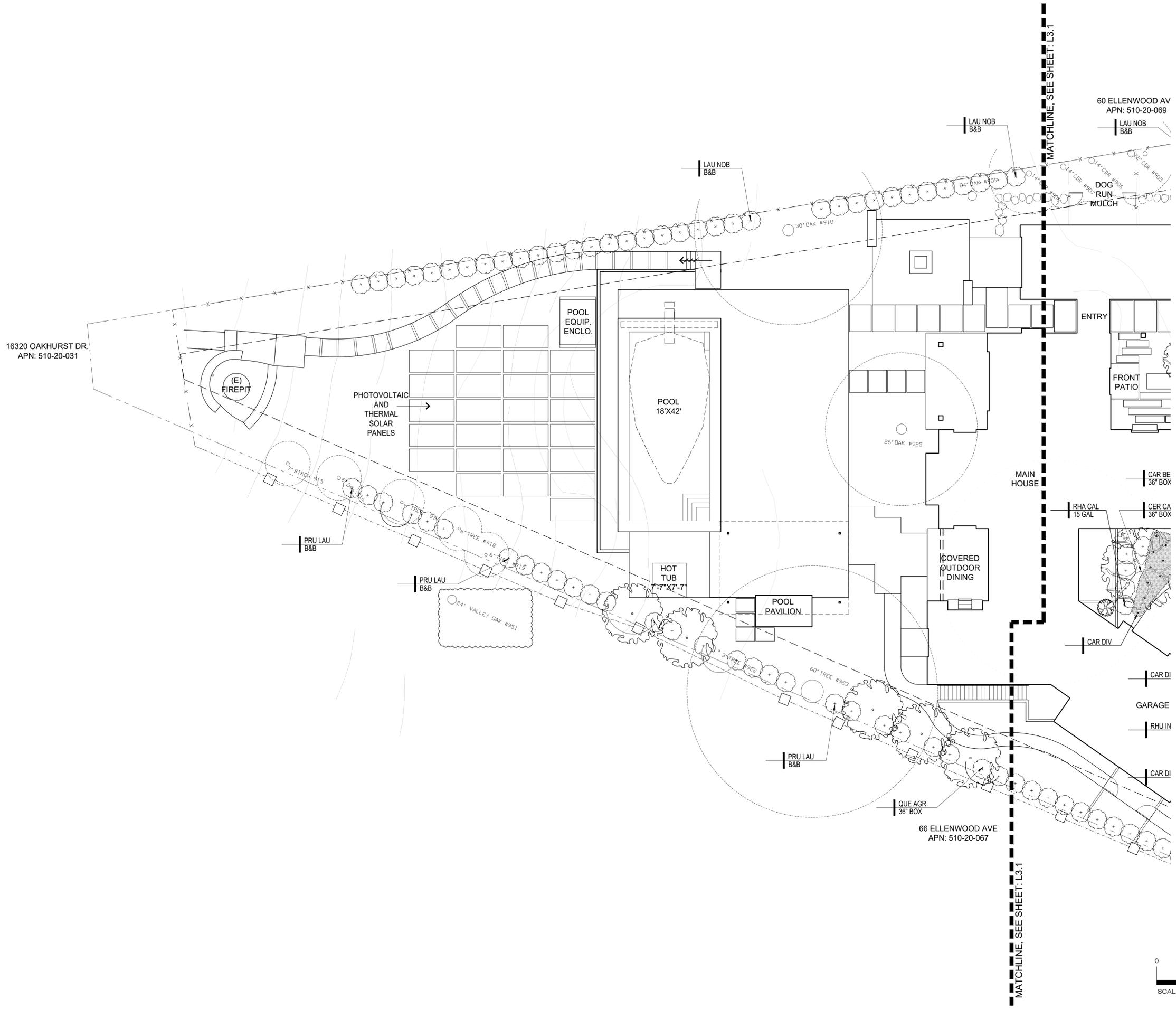


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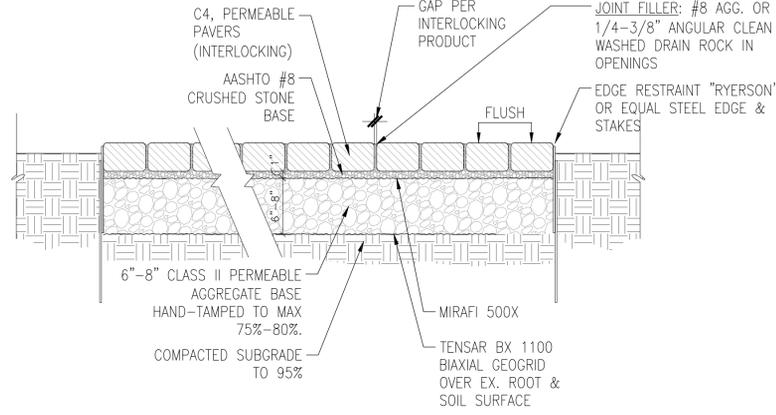
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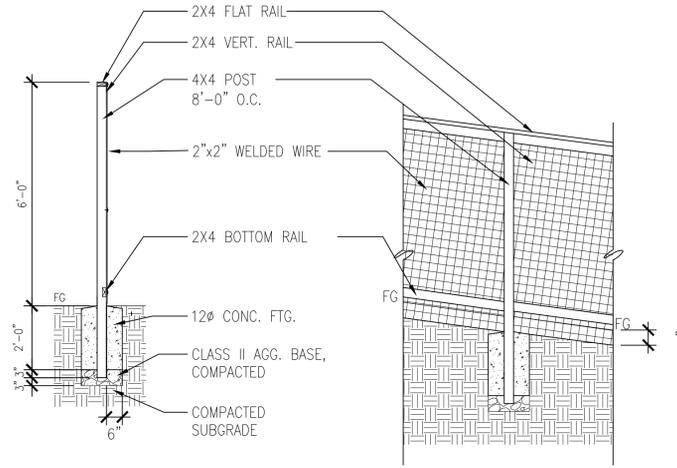
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L3.2



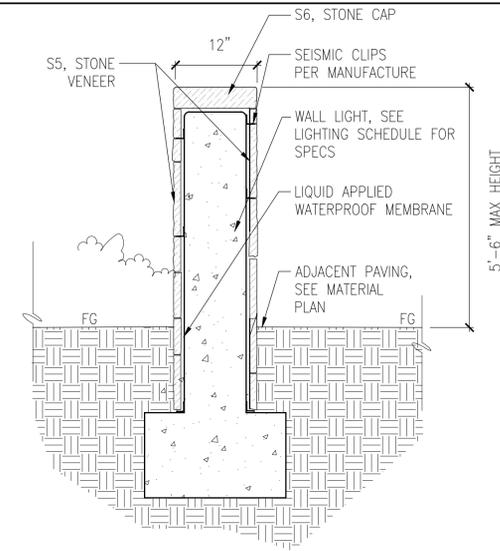
- NOTES:
 1. LAYOUT OF SUBGRADE CONCRETE CURB IN THE FIELD WITH THE LANDSCAPE ARCHITECT IN ORDER TO OBTAIN ALIGNMENT WITH PAVING GRID PATTERN
 2. ALL BASE ROCK TO BE CLEAN WASHED, PERMEABLE AND COMPACTED. PROTECT FROM CONTAMINATION OF FINES.



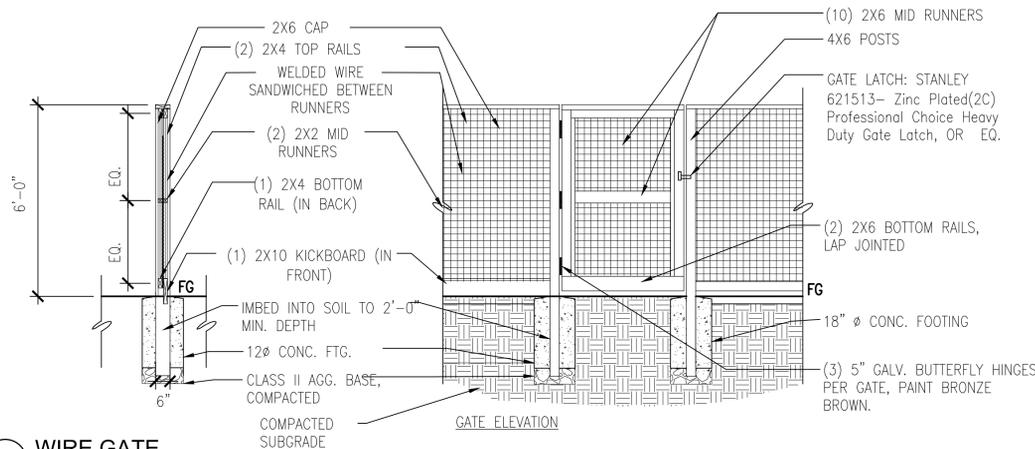
7 PERMEABLE PAVER
 Scale: 1"=1'-0"



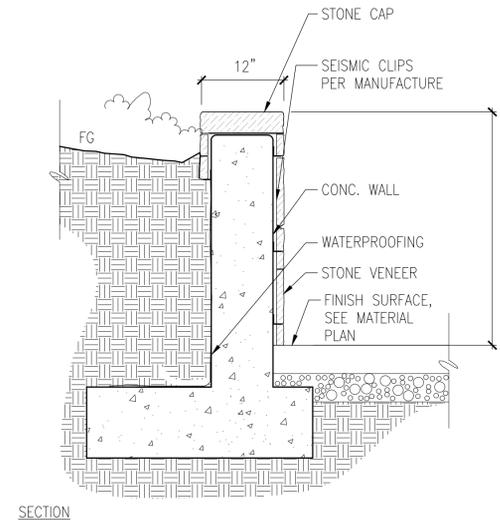
4 WIRE FENCE
 Scale: 3/8"=1'-0"



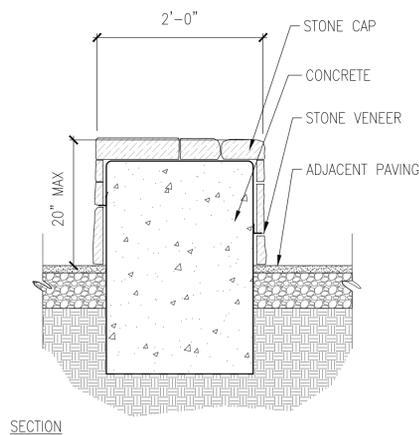
1 STONE FREE STANDING WALL
 Scale: 1"=1'-0"



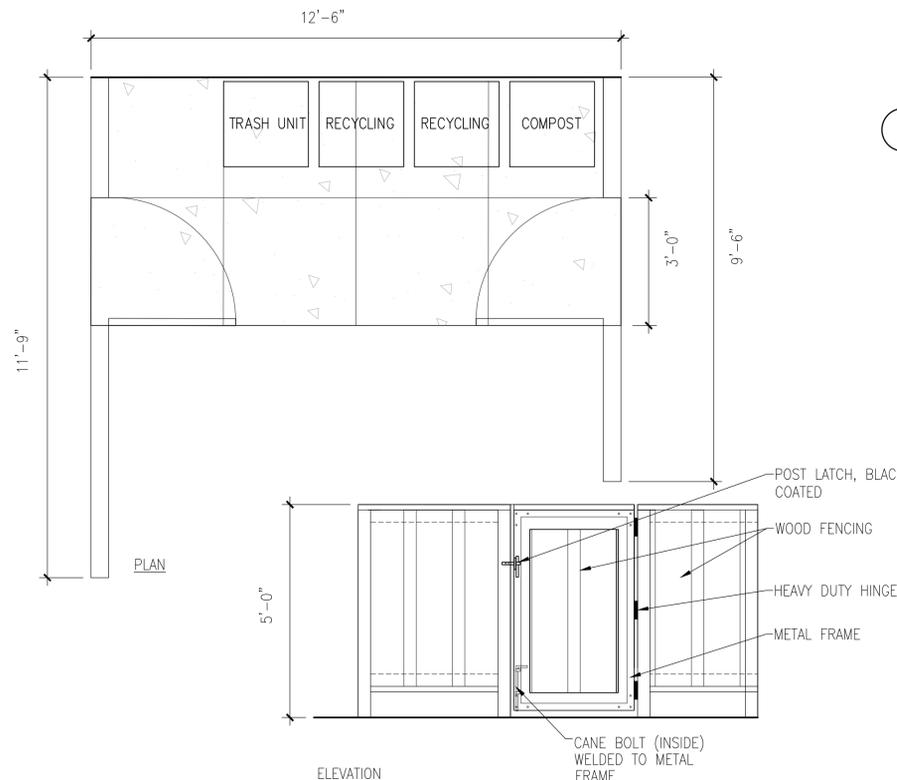
5 WIRE GATE
 Scale: 3/8"=1'-0"



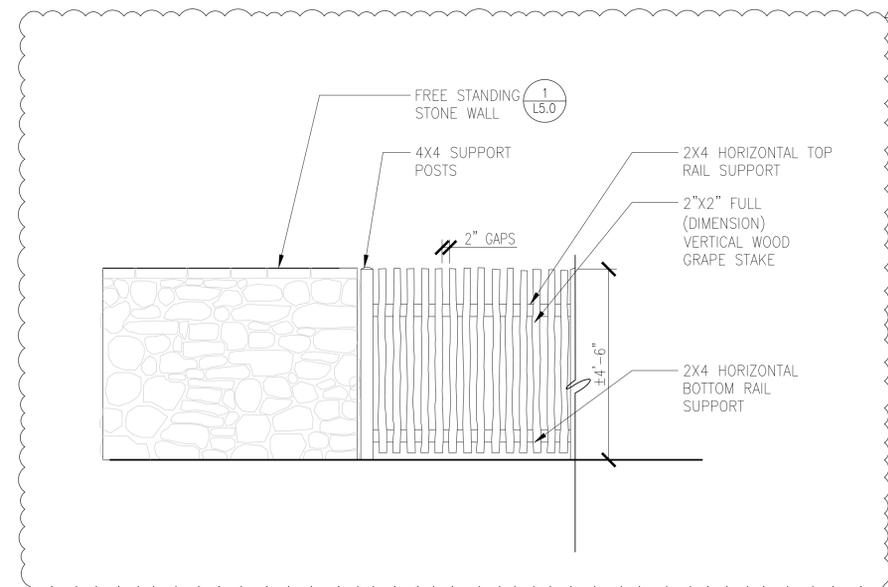
2 STONE RETAINING WALL
 Scale: 1"=1'-0"



8 STONE BENCH
 Scale: 1"=1'-0"



6 TRASH ENCLOSURE
 Scale: 1/2"=1'-0"



2 STONE RETAINING WALL
 Scale: 1"=1'-0"

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SWENSON RESIDENCE
 62 Ellenwood Avenue
 Los Gatos, CA
 APN: 510-20-068

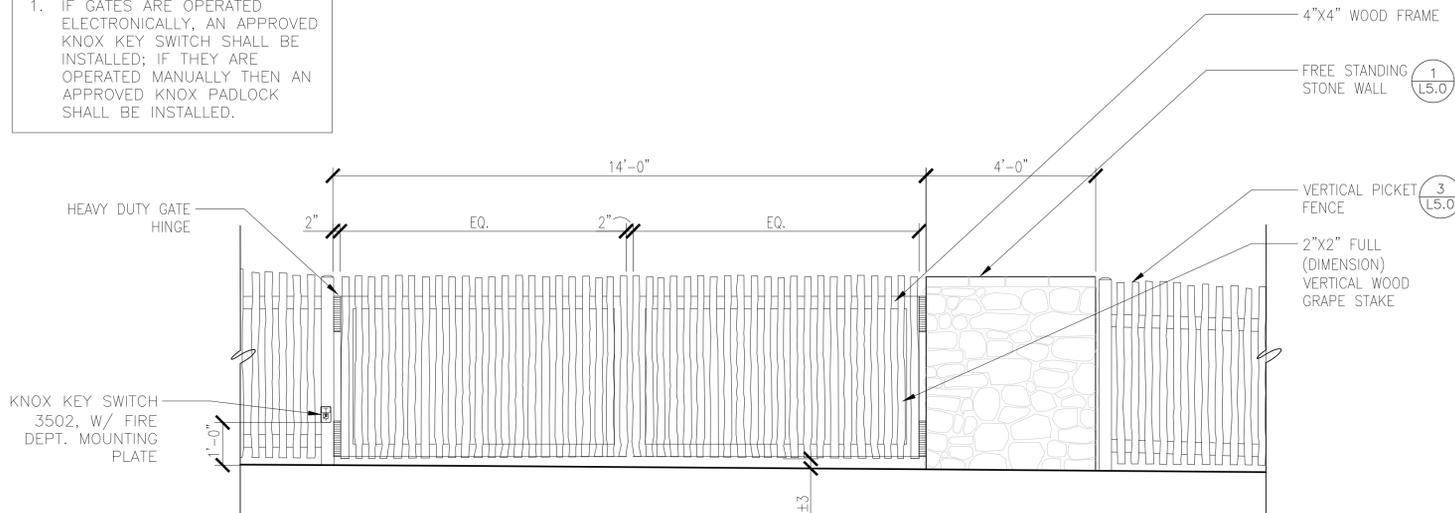
Date:	Issue:
04.23.20	Technical Review
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11.17.20	Revision
01.27.21	Revision

DETAILS

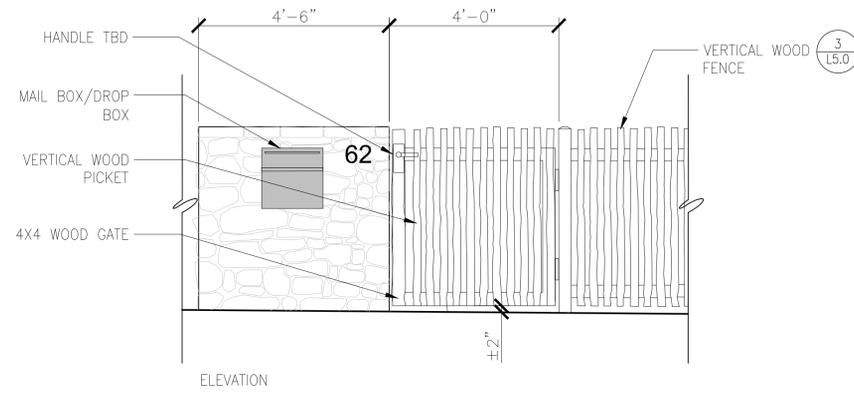
Drawn by: RP
 Checked by: JM

L5.0

NOTE:
 1. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.

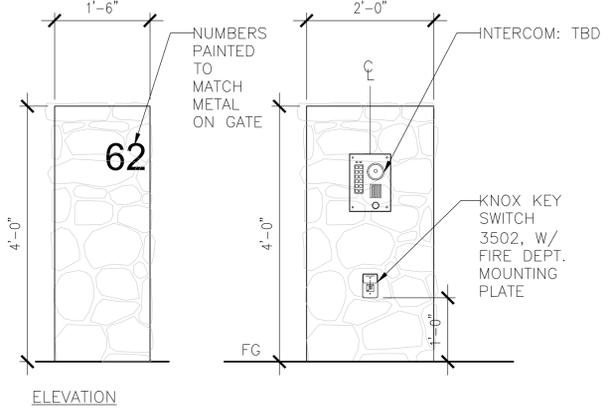


4 VEHICLE GATE @ GARAGE
 Scale: 1/2"=1'-0"



1 PEDESTRIAN GATE/DROP-BOX
 Scale: 1/2"=1'-0"

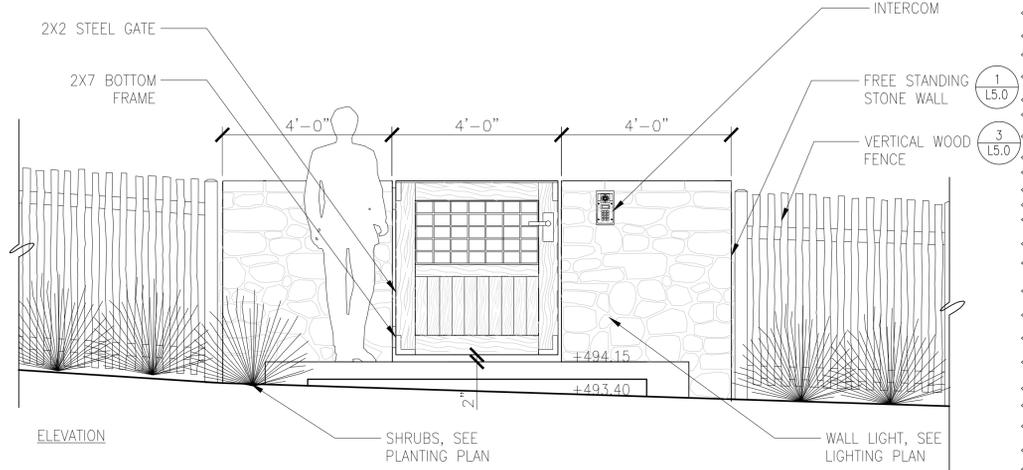
NOTE:
 1. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC 505.1.
 2. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.



5 VEHICLE GATE INTERCOM
 Scale: 3/4"=1'-0"



PERSPECTIVE

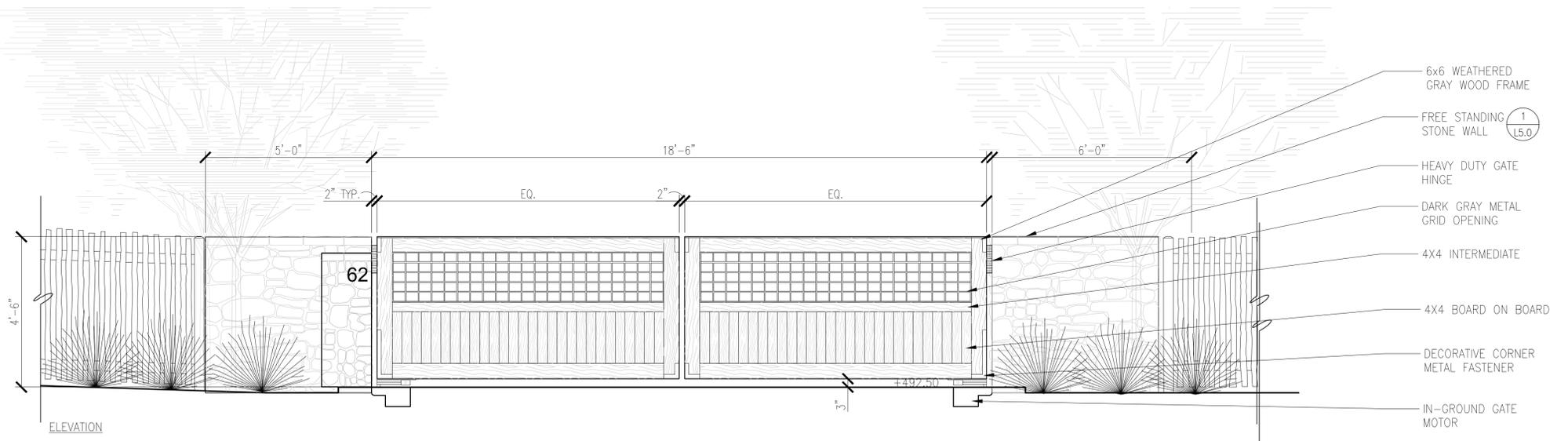


2 PEDESTRIAN GATE @ MAIN ENTRY
 Scale: 1/2"=1'-0"

NOTE:
 1. LGTC SEC 29.40.0315 (C) 3 REQUIRES A MINIMUM SET BACK OF 18' FROM THE EDGE OF THE STREET TO THE GATE.
 2. SEE 5/L5.1 FOR APPROVED KNOX BOX KEY SWITCH LOCATION
 3. ALL WOOD TO BE NATURAL WEATHERED GARY TONE



PERSPECTIVE



3 VEHICLE GATE
 Scale: 1/2"=1'-0"

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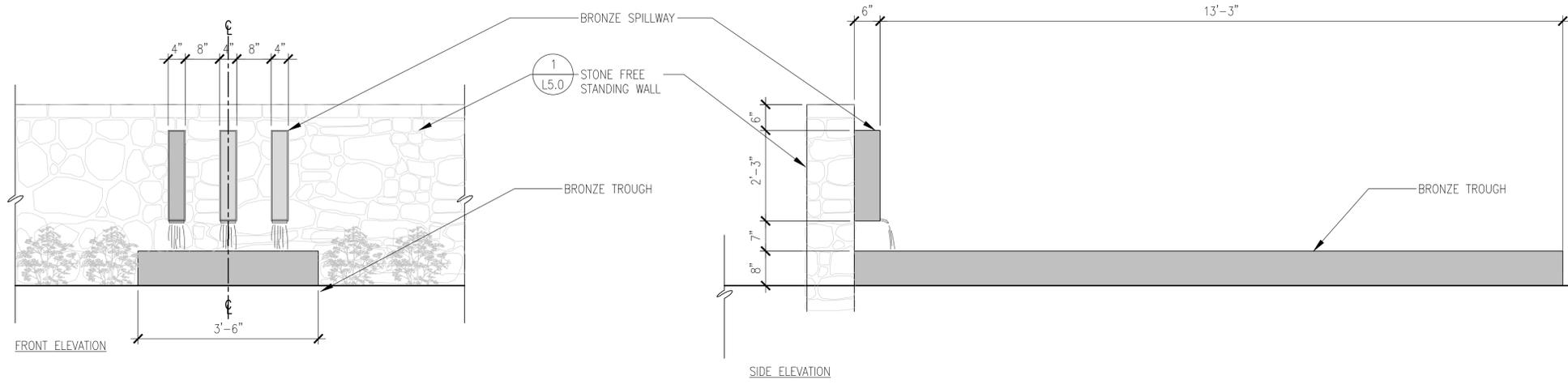
DETAILS

Drawn by: RP
 Checked by: JM

L5.1



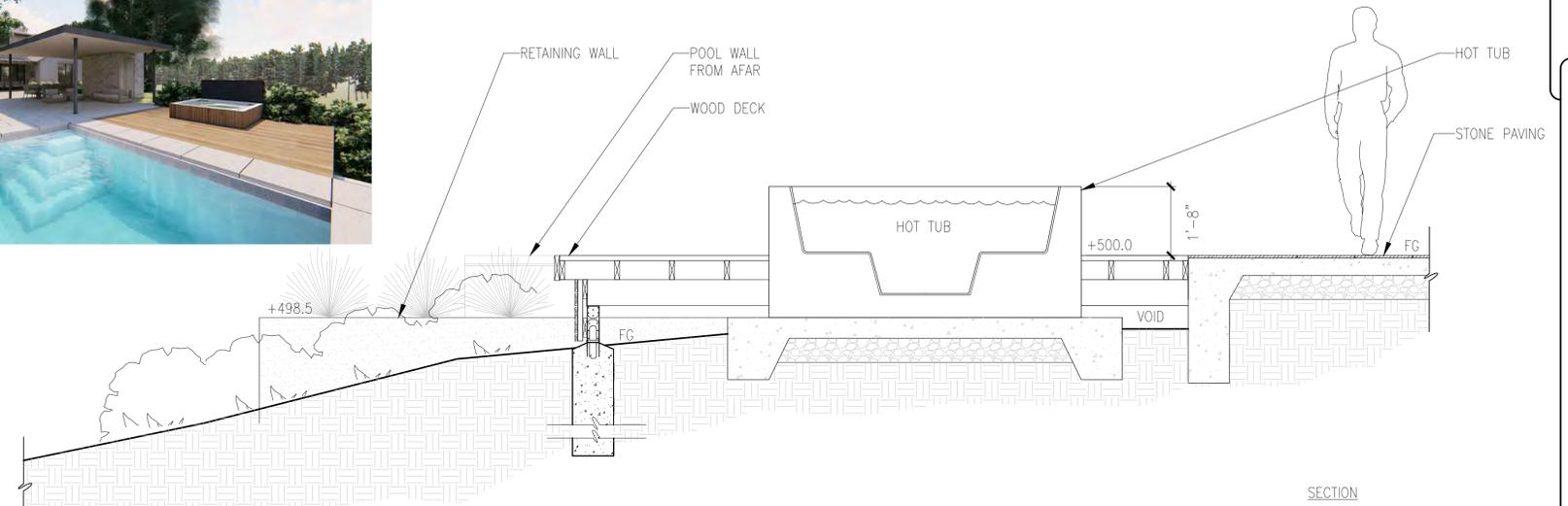
PERSPECTIVE



1 WATER FEATURE
Scale: 3/4"=1'-0"



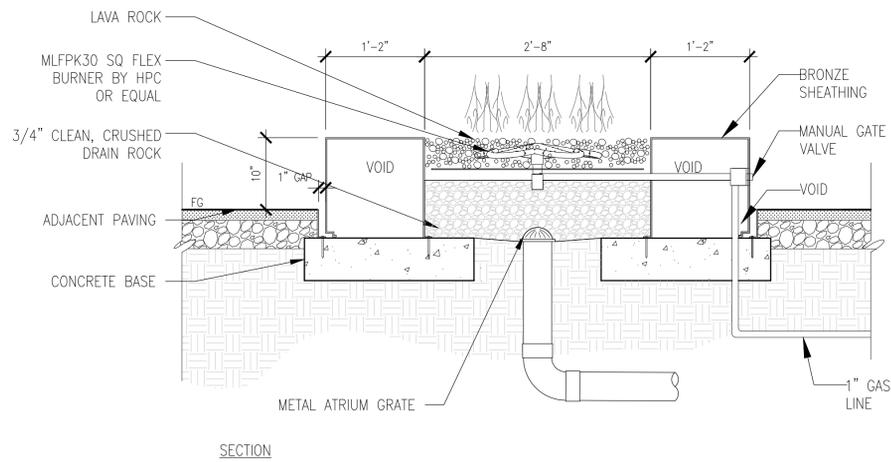
PERSPECTIVE



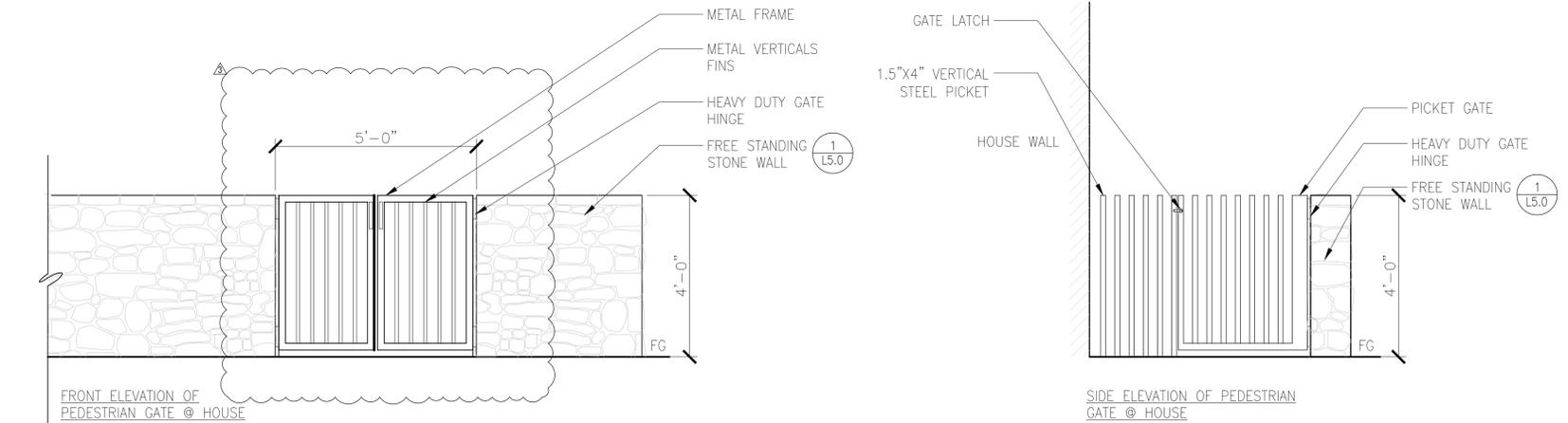
2 HOT TUB @ DECK
Scale: 1/2"=1'-0"



PERSPECTIVE



SECTION



3 PEDESTRIAN GATES @ MAIN HOUSE
Scale: 1/2"=1'-0"

4 FIRE PIT
Scale: NTS

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08.18.20 T.R. Comments
11.17.20 Revision
01.27.21 Revision

DETAILS

Drawn by: RP
Checked by: JM

L5.2

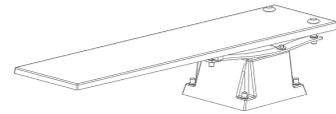
S.R. Smith

ASSEMBLY AND INSTALLATION INSTRUCTIONS

656/658 SUPREME FIBERGLASS JUMP STAND

CAUTION

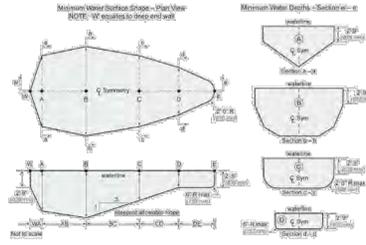
ALL MINIMUM ENVELOPE DIMENSIONS FOR RESIDENTIAL IN-GROUND SWIMMING POOLS MUST MEET THE ANSIS 2010 AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS REFERENCED THROUGHOUT THESE ASSEMBLY AND INSTALLATION INSTRUCTIONS AS INDICATED. ALL DIMENSIONS AND RELATED EQUIPMENT ARE MANUFACTURED FOR SWIMMING POOLS ONLY. THE U.S. SOUTH SOUTHWEST SCIENCE CENTER'S SWIMMING POOL STANDS ARE DESIGNED TO BE SAFELY TRANSPORTED AND INSTALLED. FOLLOW ALL INSTRUCTIONS CAREFULLY AND INSPECT CAREFULLY TO ASSURE PROPER AND SAFE INSTALLATION. PROPER INSTALLATION CANNOT BE OVERSTATED. IMPROPER INSTALLATION VOIDS S.R. SMITH'S WARRANTY AND MAY AFFECT THE SAFETY OF THE USER.



CORPORATE HEADQUARTERS
WESTERN SALES AND MANUFACTURING PLANT
P.O. Box 600 • 1617 SW Berg Parkway
Cody, Oregon 97015
(953) 266-2233 • Fax: (953) 266-4334
www.srsmith.com

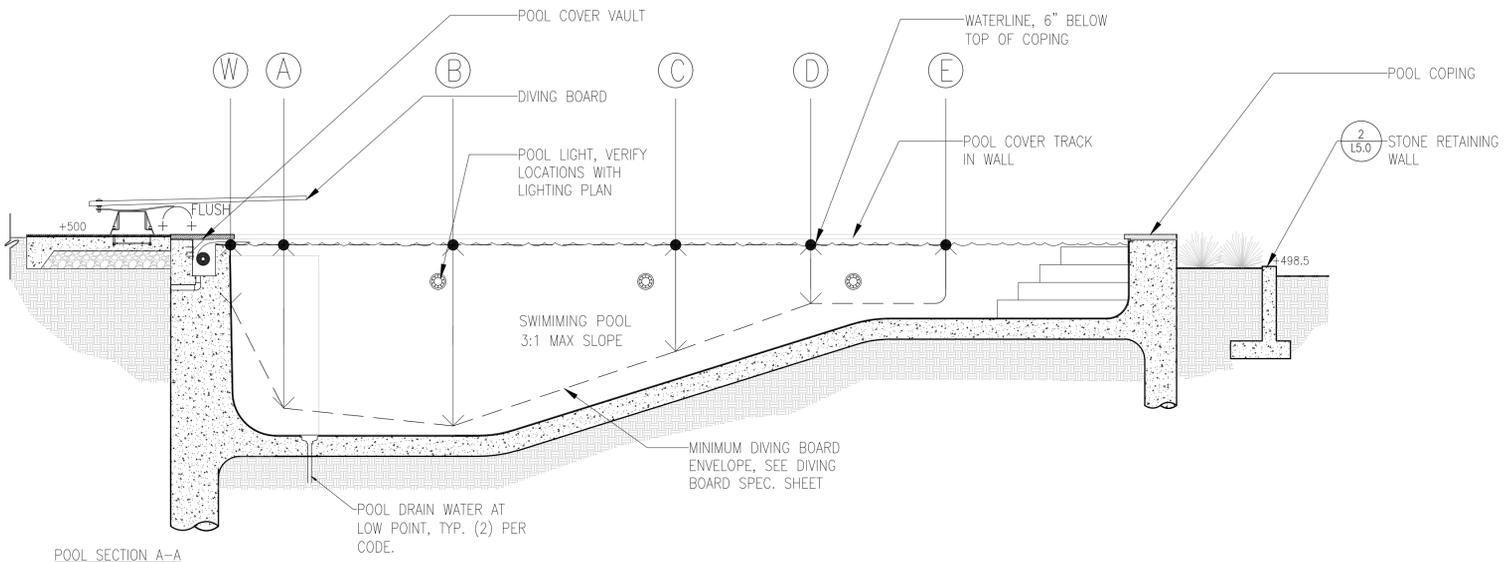
ATTENTION! THESE INSTRUCTIONS MUST REMAIN WITH STAND OWNER
06-336 MAY05

Figure 3 Minimum diving water envelope

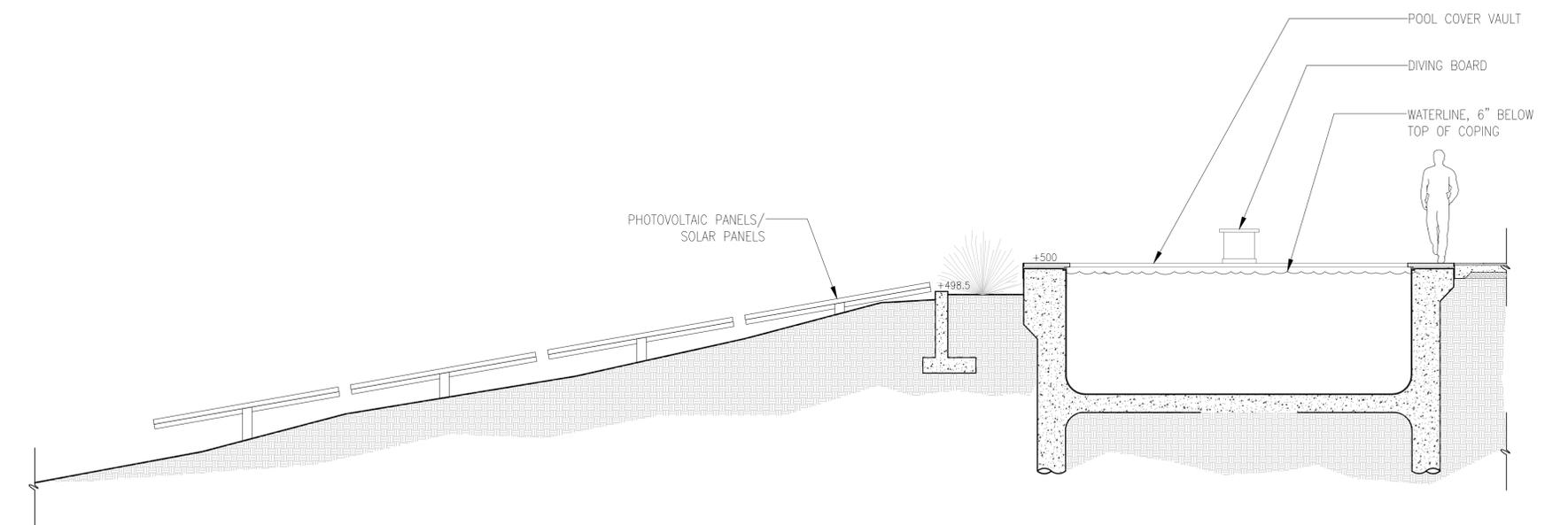


Pool Type	Minimum Depth at Point										Minimum Length between Points									
	A	B	C	D	E	F	G	H	I	J	VA	VB	VC	VD	VE	VF	VG	VH	VI	VJ
1	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
3	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
4	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
5	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

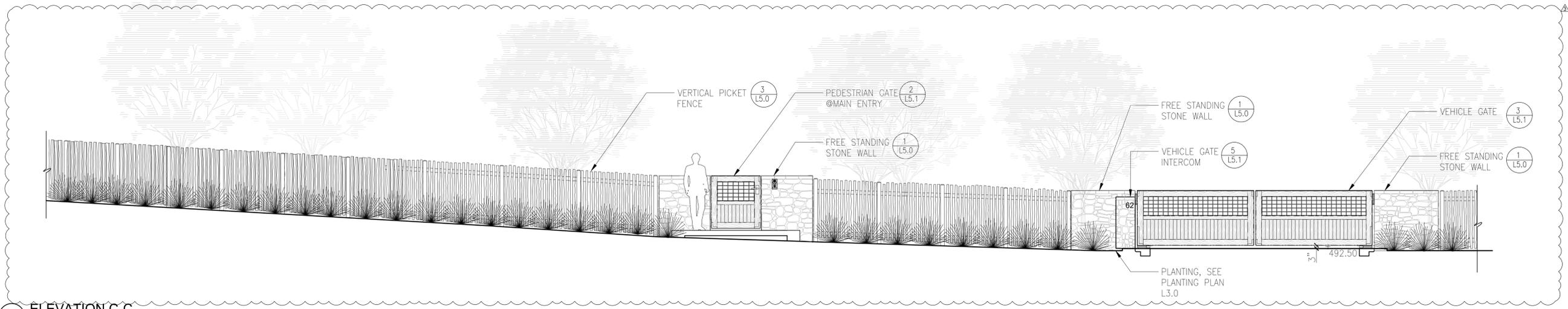
NOTES:
1. Minimum depth between points (D) shall apply to the entire depth of the water between points (D) and (E).
2. Slope shall not be steeper than 1:4.
3. The pool cover track shall be installed on the top edge of the stone retaining wall as the Minimum Water Envelope (MWE) is shown.
4. Pool light locations shall be as specified on the lighting plan and manufacturer's instructions.



1 SECTION A-A
Scale: 1/4"=1'-0"



2 SECTION B-B
Scale: 1/4"=1'-0"



3 ELEVATION C-C
Scale: 1/4"=1'-0"

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**SECTION/
ELEVATIONS**

Drawn by: RP
Checked by: JM

L5.3



EXISTING CONDITION

Scale: NTS



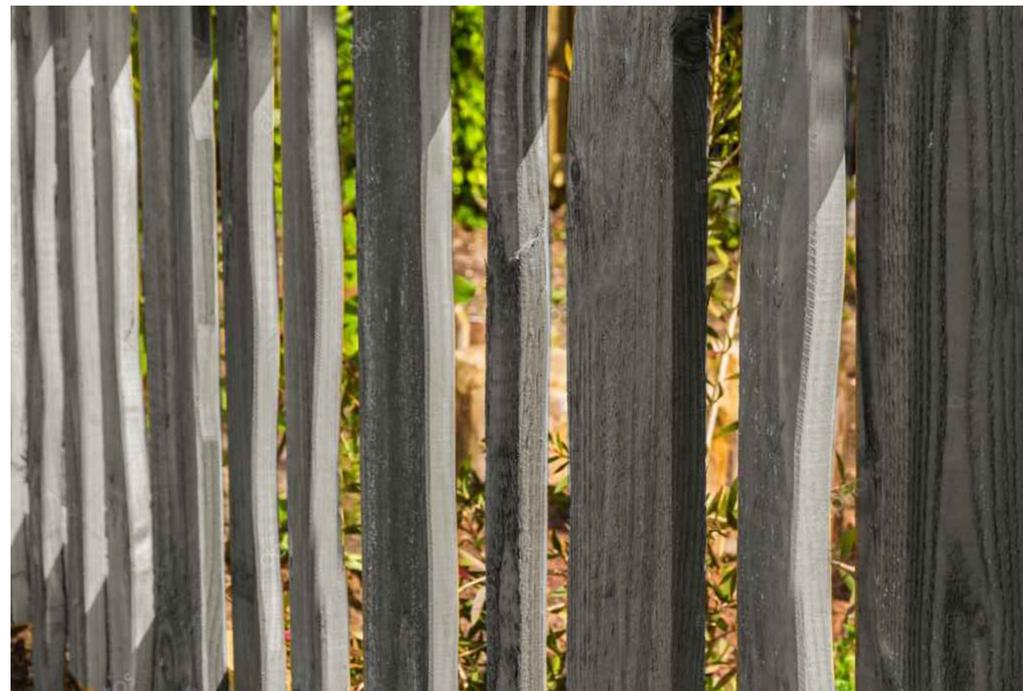
PROPOSED FENCE/GATE-PERSPECTIVES

Scale: NTS



PROPOSED VEHICLE GATE-PERSPECTIVE

Scale: NTS



PROPOSED WOOD MATERIAL EXAMPLE

Scale: NTS

FENCE EXCEPTION

An exception to fence height maybe granted for any one of the many reasons. The home owner in this instance has allowable justifications for the exception for a variety of reasons.

- a) Special Security Concerns: the homeowner must feel secure and safe at home. A 3ft fence does not offer any barrier or a sense of security in a meaningful way. Mr. Swenson has received death threats and feels vulnerable at times. The fencing must act in a way to deter and define an edge to the property along with other measures of security.
- b) Special Animal Issues: the homeowners pet dog can jump over a 3ft fence and would likely escape if given the opportunity. Many homeowners in the neighborhood have an existing and taller fence above 3' to provide for pet safety and deer protection.
- c) A Special Circumstance Exists: Because it is mandatory for the homeowner to feel secure in their own home, the fence shall extend along the street frontage. Due to the "pie" shape of this lot, the property is much wider on the street side compared to the rear of the property. This condition is a unique condition, hardship and by product of the configuration of the lot.

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SWENSON RESIDENCE

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FRONT GATE & FENCE PERSPECTIVES

Drawn by: RP
Checked by: JM

L5.4

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 02/10/2021

ITEM NO: 2

ADDENDUM

DATE: February 9, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Demolition of an Existing Single-family Residence, Construction of a New Single-family Residence, Removal of a Large Protected Tree, and Site Improvements Requiring a Grading Permit on Property Zoned R-1:12 Located at 62 Ellenwood Avenue. APN 510-20-068. Architecture and Site Application S-20-008. Property Owners: Lisa and Case Swenson. Applicant: Lisa Nichols, Arcanum Architecture, Inc. Project Planner: Sean Mullin.

REMARKS:

Exhibit 20 includes additional public comments received between 11:01 a.m., Wednesday, December 9, 2020 and 11:00 a.m., Tuesday, February 9, 2021.

EXHIBITS:

Previously received with the December 9, 2020 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Color and Materials Board
5. Project Description and Letter of Justification
6. Consulting Architect's Report, dated May 19, 2020
7. Applicant's response to the Consulting Architect's Report, dated August 18, 2020
8. Consulting Arborist's Report, dated June 3, 2019
9. Applicant's response to the Consulting Arborist's Report, dated August 18, 2020
10. Fence Height Exception Letter of Justification, dated August 17, 2020
11. Applicant's neighbor outreach efforts, dated August 18, 2020
12. Applicant's neighbor outreach efforts, dated November 18, 2020
13. Public comments received by 11:00 a.m., Friday, December 4, 2020
14. Development Plans, received November 20, 2020

PREPARED BY: SEAN MULLIN, AICP
Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: 62 Ellenwood Avenue/S-20-008

DATE: February 9, 2020

EXHIBITS (continued):

Previously received with the February 9, 2021 Staff Report:

15. Revised Recommended Conditions of Approval
16. Applicant Response Letter
17. Revised Color and Materials Board
18. Exterior light fixture
19. Revised Development Plans, received January 27, 2021

Received with this Addendum Report:

20. Public comments received between 11:01 a.m., Wednesday, December 9, 2020 and 11:00 a.m., Tuesday, February 9, 2021

Sean Mullin, AICP
Associate Planner
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Dear Sean,

Regarding: Approval for Construction at 62 Ellenwood Avenue (Site Application S-20-008)

My name is Art Monk. My wife Sharey and I have lived at 33 Peralta Ave. for 16 years. Before that time, while living in Saratoga, I was active in the Los Gatos community raising over \$1.5 million and leading the reconstruction of the Los Gatos Rowing Club on Lexington Reservoir following the 1994 arson fire that destroyed the Club's facility. Since then, approximately 5,000 high school and middle school athletes have participated in LGRC's programs. We are community people though we have never met the owners of the subject property and only wish them well in their project.

I walk past the subject property at least six times per week and see it as an element of natural beauty with the trees and open space helping to define the look and feel of our neighborhood. Though there are many issues brought forward in the written public comments (scale, mass, materials, style, ...), I wish to focus my comments solely on trees, and those that are slated to be removed (#924 & #925) if the Town accepts the present plan.

What does it mean that certain trees are "protected?"

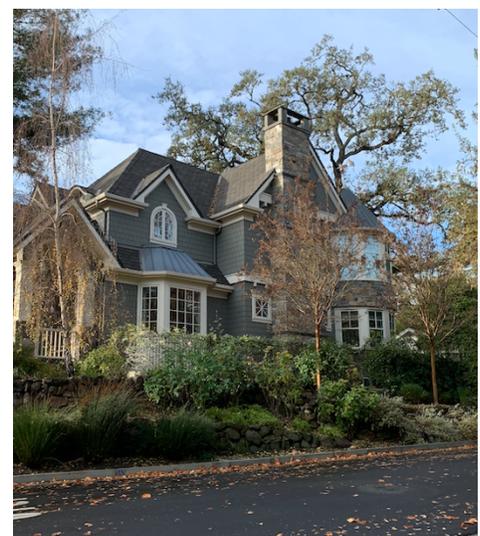
We are told that the Oak trees referred to by number above are protected in the records of the Town Arborist. As a lay person, I would believe that to mean that such trees would be protected from harm or removal by developers, designers, excavators, and the property owners themselves for the benefit of the community. In some sense the visual impact of these beautiful trees is a public good that we all share, and we look to the Town to preserve and safeguard such goods.

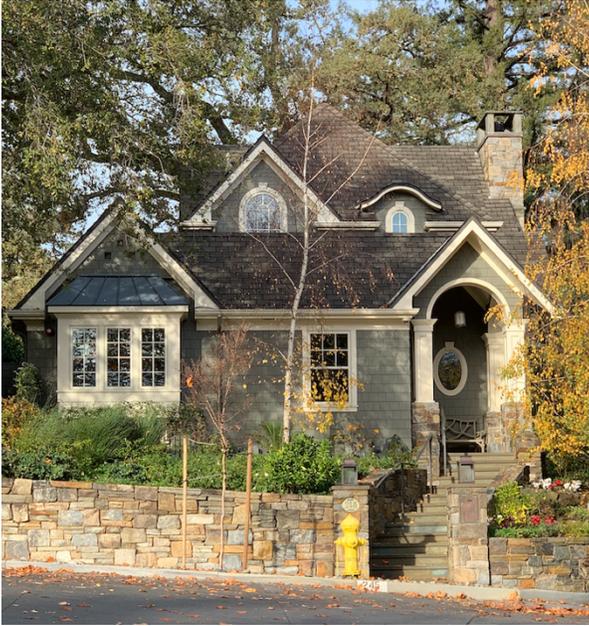
Just because a designer has "difficulties" with a plan, we should not just strike these public goods from the registry to make it easier for them to achieve their client's goals. Great designers take such constraints and treat them as a design challenge to produce award-winning work that meets the needs of all. In software-speak, they "turn bugs into features."

Do we have any examples of such outstanding work nearby?

Yes, we do. Pictured at right is the Sobrato property at the corner of Bachman and Glen Ridge which stands as a welcoming monument to our neighborhood. Construction on this house was completed in 2013 and as you can see there is a large Oak tree in the center of the lot which the designers were able to elegantly incorporate into the plan rather than just cut it down. You might recall that this lot sat vacant for *many* years because the large Oak tree was a serious challenge to anyone wanting to develop the property - not to also mention the B.F. Bachman Redwood tree that stands at the corner of the lane that was planted circa 1884.

So, the Sobrato family, who also own and operate a construction company, were able to work sensitively with their designers to create a design for a 2,500





sq. ft. house on a 9,240 sq. ft. lot without any tree removal – and the result is easily an award-winner and a great match for the neighborhood in terms of scale, style, and materials. This is definitely a case where architects, planners, and designers worked together seeing the constraints as guideposts leading them to an elegant design rather than just appealing to have the constraints eliminated (i.e. the removal of the tree in the very center of the lot).

The same planning commission that oversaw this wonderful result is responsible for approving the plans and designs for 62 Ellenwood. One would think that the constraints and guidelines, particularly regarding protected trees, that were applied in 2013 would still be applicable today for this new application.

The Sobrato property is less than a three-minute walk from 62 Ellenwood and one drives past it to get to the 62 Ellenwood property.

Is there an opportunity to apply greater imagination?

Yes, we believe so. The gorgeous grove of Oak trees pictured below stand on the 62 Ellenwood property. These wonderful public goods (at least the vision of them) are central to this part of the neighborhood and we see no reason why they should be threatened or treated differently than the Oak tree at the center of the Sobrato property. The designers involved in this project should dig in, move things around, make trade-offs, use advanced digital tools and the depth of their experience to come up with a sensitive and outstanding design. If they imagine it ... it can happen.

Just a word of caution

With the trees becoming central to the discussion, we implore the Town to make certain that they are protected and that they do not suffer any harm that would render their preservation moot. If they were worth protecting before, they are certainly worth protecting now.

I am opposed to them being cut down.

Sincerely,

Art Monk

408-888-7376

amonk@ix.netcom.com



From: Diane Siemens <siemedian@comcast.net>
Sent: Friday, February 5, 2021 1:58 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Cc: kvchimenti@yahoo.com; schwinkel66@gmail.com
Subject: 62 Ellenwood Ave Planning Application - 2/10.2021 Agenda

To: Sean Mullin, Los Gatos Planning Department
From: Peter and Diane Siemens

We live at 69 Ellenwood Ave. which is across the street and uphill from the proposed structures.

The new plan does soften the appearance of the structures so that they fit better with the surrounding homes. The size and front coverage is still out of scale in the neighborhood. Additionally, the gate and truck parking area next to the garage seems unnecessary considering that there are five parking slots elsewhere. That driveway would have trucks backing up into the driveway of #67 or the pavers in front of our house. Some trucks are required to make an irritating noise when backing up. Beyond the size and the parking area, we are worried that the fire pit planned down by the creek and far from the house is a fire danger. The canyon/creek area has long been a concern because of dry vegetation along its length.

Also, this promises to be a long construction process. Would it be possible to limit exterior, noise producing work to weekend hours during the whole week due to the pandemic. Many of us are spending a great deal of time at home and will be held captive to this process and the accompanying traffic/worker parking.

Please include this letter with Planning Commission and Town Council packets on this issue. We will attend the 2/10/2021 Zoom meeting.

Peter and Diane Siemens
69 Ellenwood Ave.

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