



**TOWN OF LOS GATOS  
CONCEPTUAL DEVELOPMENT ADVISORY COMMITTEE  
MARCH 12, 2025  
110 EAST MAIN STREET  
TOWN COUNCIL CHAMBERS  
4:00 PM**

*Jeffrey Barnett, Chair  
Kendra Burch, Vice Chair  
Mary Badame, Council Member  
Maria Ristow, Council Member  
Steven Raspe, Planning Commissioner*

**HOW TO PARTICIPATE**

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to [planning@losgatosca.gov](mailto:planning@losgatosca.gov).

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email [planning@losgatosca.gov](mailto:planning@losgatosca.gov) with the subject line "Public Comment Item #\_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Committee must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day Committee meeting.

## CALL MEETING TO ORDER

## ROLL CALL

**VERBAL COMMUNICATIONS** *(Members of the public are welcome to address the Conceptual Development Advisory Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)*

**CONSENT ITEMS** *(Items appearing on the Consent are considered routine Town business and may be approved by one motion. Members of the public may provide input on any Consent Item(s) when the Chair asks for public comment on the Consent Items.)*

1. Draft Minutes of the February 12, 2025 CDAC Meeting

**PUBLIC HEARINGS** *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

2. Consider a Request for Preliminary Review of a Planned Development Amendment and a Proposal for Construction of a Multi-Family Residential Development (12 Units) on Property Zoned O:PD. **Located at 235 Oak Meadow Drive.** APN 529-10-132. Conceptual Development Advisory Committee Application CD-25-001. Property Owner: Michael Shields, Dog Friendly Rentals, LLC. Applicant: Kurt Anderson, Anderson Architects. Project Planner: Jocelyn Shoopman.

## ADJOURNMENT

**ADA NOTICE** In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].



**TOWN OF LOS GATOS  
CONCEPTUAL  
DEVELOPMENT ADVISORY  
COMMITTEE REPORT**

MEETING DATE: 03/12/2025

ITEM NO: 1

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**DRAFT  
MINUTES OF THE CONCEPTUAL DEVELOPMENT ADVISORY COMMITTEE MEETING  
FEBRUARY 12, 2025**

The Conceptual Development Advisory Committee of the Town of Los Gatos conducted a regular meeting on February 12, 2025, at 4:00 p.m.

**MEETING CALLED TO ORDER AT 4:00 PM**

**ROLL CALL**

Present: Chair Jeffrey Barnett, Vice Chair Mary Badame, Councilmember Maria Ristow, Planning Commissioner Kendra Burch, Commissioner Steve Raspe.

Absent: None.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. **Approval of Minutes** – August 8, 2023

**MOTION:**                   **Motion by Councilmember Maria Ristow to approve the consent calendar. Seconded by Councilmember Badame.**

**VOTE:**                   **Motion passed (3-0) with Commissioners Burch and Raspe Abstaining.**

**PUBLIC HEARINGS**

2. **401 Surmont Drive**  
Conceptual Development Advisory Committee Application CD-24-001

Consider a Request for Preliminary Review of a Proposal for Subdivision of One Lot into Three Lots on Property Zoned HR-2½. APN 527-20-002.

PROPERTY OWNER: Srikanth Kasa

APPLICANT: Jason Chan

PROJECT PLANNER: Ryan Safty

Project Planner presented the staff report.

Open Public Comment.

Jason Chan, Applicant

The goal is to see what the CDAC thinks of the proposal of a three lot subdivision at 401 Surmont. We are curious to see what can be done with each of the properties and how these proposals tie into the hillside guidelines and zoning.

Bob Hughes, Neighbor

There is access now to public water at the site as the watermain for this property was brought from Blossom Hill Road to the terminus of Surmont Drive a few years back.

Jason Chan, Applicant

- The lot split will allow for the future buildings to all be within LRDA.
- We expect the water meters would be at the street level. The owners would be responsible for anything on the private property.
- The plans show potential road and driveway locations that would go to the homes and are shown at different slopes. The access to Surmont could be driveways onto the private road that then leads to Surmont Drive.

Dr. Edward Laucroni, Neighbor

There are a lot of problems associated with this lot. The water drainage being one of them. If anything is built there, there is going to need to be a lot of drainage work.

Madhura Joshi, Neighbor

I share the same concerns about the drainage from this lot. The former owner did put in French drainage before they sold, but there are still issues. The plans also didn't really show the roads, so it is hard to determine what the traffic might be like since that corner is a dead-end.

Jason Chan, Applicant

I hear the concerns about the drainage issues, and we will have our engineer review this.

Closed Public Comment.

Committee members discussed the matter and provided the following questions and comments:

- Confirmed with staff that drainage is reviewed during the development review process and that Engineering has standards that need to be complied with.
- It's a very large acreage and plenty of room, so the concept of a three-lot subdivision seems feasible. Given the recent fires in LA, it might be a tough time to build in hillside as there might be changes in Town Code that won't allow building there by the time you submit your application.
- It's not an ideal location, but we know people want to live in our wonderful Town, so let's develop it properly. Try to be in conformance with having the entire structure in

the LRDA, work closely with Fire given the risks including water access and roadways to allow a turnaround, and look at the drainage issue and work closely with soils and geo-tech engineers.

- Work with staff now to help guide you in what steps need to be taken to move in the right direction. Keeping the home in the LRDA and making sure Fire has access to all the homes is important. Be sure to reach out to the neighbors early as it helps in ensuring a successful project.
- Consider fire-hardening the homes with construction materials and ensure that defensible space around the homes is provided. It will be hard to support exceptions to our Hillside Development Standards and Guidelines at this time and that includes the LRDA. The three-lot subdivision is okay, but there is a risk factor with fires on sloped properties.
- Architecture styles do not need to be identical for the future homes, but they should be compatible with each other.
- Consider where to dedicate open space per the General Plan policy.

## OTHER BUSINESS

### 3. Election of Chair and Vice Chair

**MOTION:**                   **Motion by Commissioner Bruch** to approve that Chair Barnett remain as Chair. **Seconded by Councilmember Badame.**

**VOTE:**                   **Motion passed unanimously.**

**MOTION:**                   **Motion by Councilmember Badame** to nominate Kendra Burch as Vice Chair. **Seconded by Councilmember Ristow.**

**VOTE:**                   **Motion passed unanimously.**

### 4. 2025 Conceptual Development Advisory Committee Meeting Calendar

## ADJOURNMENT

The meeting adjourned at 4:42 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 12, 2025, meeting as approved by the Conceptual Development Advisory Committee.

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Joel Paulson, Community Development Director

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**TOWN OF LOS GATOS**  
**CONCEPTUAL DEVELOPMENT**  
**ADVISORY COMMITTEE REPORT**

MEETING DATE: 03/12/2025

ITEM NO: 2

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DATE: March 7, 2025  
TO: Conceptual Development Advisory Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request for Preliminary Review of a Planned Development Amendment and a Proposal for Construction of a Multi-Family Residential Development (12 Units) on Property Zoned O:PD. **Located at 235 Oak Meadow Drive.** APN 529-10-132. Conceptual Development Advisory Committee Application CD-25-001. Property Owner: Michael Shields, Dog Friendly Rentals, LLC. Applicant: Kurt Anderson, Anderson Architects. Project Planner: Jocelyn Shoopman.

ROLE OF THE CONCEPTUAL DEVELOPMENT ADVISORY COMMITTEE:

The Conceptual Development Advisory Committee (Committee) advises a prospective applicant on the overall consistency of a project with Town policies prior to submitting a formal application and investing in the development review process. The Committee also endeavors to identify the potential issues that will need to be addressed during the development review process should the applicant wish to submit an application. The issues identified by the Committee are not intended to be all-inclusive and other additional issues may be identified during the formal development review process.

None of the Committee's comments are binding on the Town and in no way are they intended to indicate whether the project will be received favorably by the various review bodies that are charged with evaluating and deciding the application. As noted in this report, if an application is filed, technical analysis would need to be done during the evaluation of the proposal. In addition, public input is a required and essential component in the development review process. Notice has been sent to residents and property owners within 500 feet of the project site. In addition to the public comments received at this meeting, all applicants are strongly encouraged to hold neighborhood meetings to receive input as the design of the project evolves should they decide to proceed with the development review process.

PROJECT DESCRIPTION:

The applicant submitted an application (Attachment 2), project description (Attachment 3), and conceptual development plans (Attachment 4) for 235 Oak Meadow Drive. The subject property is approximately 19,705 square feet, located on Oak Meadow Drive between Roberts Road and Blossom Hill Road within a planned development comprised of two-story townhomes,

PREPARED BY: Jocelyn Shoopman  
Senior Planner

a single-family residence, and a commercial building located on the subject property (Attachment 1).

The applicant is proposing to amend Planned Development (PD) Ordinance 2371 to allow for a six-story multi-family residential development to be authorized as a permitted use and construction of a six-story residential condominium building with 12 dwelling units (Attachment 3). The property contains an existing two-story commercial building.

PD Ordinance 1412 was adopted on December 4, 1978, and took effect on January 3, 1979. The PD Ordinance allowed for the following:

1. Demolition of an existing one-story residential structure;
2. Conversion of an existing two-story medical office structure into a residential townhouse unit;
3. Construction of 10 two-story residential townhouse units; and
4. Landscaping, parking, and limited tree removal as granted under precise plan approval.

On January 21, 2025, the Town Council adopted Ordinance 2371, repealing and replacing PD Ordinance 1412 for a subdivision of one lot into two lots, construction of a single-family residence, and site work requiring a Grading Permit on the adjacent property located at 120 Oak Meadow Drive (Attachment 5).

Since the subject property is not located within the townhouse complex and there are no performance standards contained in the PD Ordinance specific to the subject property, the permitted uses, conditional uses, setback requirements, and other development standards applicable to the subject property default to the underlying Office (O) zone.

Key elements of the proposed project are as follows:

- Amend PD Ordinance 2371 to allow for a six-story residential condominium development to be authorized as a permitted use;
- Demolition of the existing two-story commercial building;
- Construction of a six-story residential condominium building;
- Two to three residential units on five levels for a total of 12 units; and
- 27 parking spaces located in a basement garage and 9 parking spaces located in a surface parking lot for a total of 36 spaces.

EXISTING GENERAL PLAN, ZONING, AND PLANNING AREA:

1. General Plan designation: Office Professional designation provides for professional and general business offices. This designation applies to various locations throughout the Town, often in close proximity to neighborhood- or community-oriented commercial facilities, or



as a buffer between commercial and residential uses. The intent of this designation is to satisfy the community's need for general business and professional services and local employment.

2. Surrounding General Plan designations: Office Professional to the north, east, and south; and Medium Density Residential to the west.
3. Zoning designation: O:PD (Office: Planned Development).
4. Surrounding zoning designations: O:PD to the north, east, and south; and R-M:5-12 to the west.

EXISTING CONDITIONS:

1. The project site is approximately 19,705 square feet (0.45 acres).
2. The project site is located on Oak Meadow Drive between Roberts Road and Blossom Hill Road (Attachment 1).
3. Surrounding land uses: Residential uses are located to the south and west; and office uses are located to the east and north of the subject property.

POTENTIAL CONSIDERATIONS AND ISSUES:

The following is a brief list of issues and topics for consideration by the Committee. Staff has not reached conclusions on these topics. Staff is identifying them here to help frame the discussion and to solicit input. The main question for the Committee is whether or not the applicant's concept for the project creates a high-quality plan appropriate for Los Gatos in this location. If an application is filed, staff would evaluate the technical issues.

1. General Plan
  - a. General Plan Policy LU-1.4 states, "Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures, and should blend rather than compete with the established character of the area."
  - b. General Plan Policy LU-6.5 states, "The type, density, and intensity of new land use shall be consistent with that of the immediate neighborhood."
  - c. General Plan Policy LU-6.7 states, "Continue to encourage a variety of housing types and sizes that is balanced throughout the Town and within neighborhoods, and that is also compatible with the character of the surrounding neighborhood."
  - d. General Plan Policy LU-6.8 states, "New construction, remodels, and additions shall be compatible and blend with the existing neighborhood."
  - e. General Plan Policy LU-7.4 states, "Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures, and should blend rather than compete with the established character of the area."

2. Zoning
  - a. Project site is zoned O:PD and is surrounded by residential and office uses as described above.
  - b. Height: The maximum allowable height of a principal building as designed by the zoning of O:PD is 35 feet. The proposed height is identified in the conceptual development plans as 79 feet, six inches.
  - c. Setbacks: The required front setback for the zone is as follows: front setback of 25 feet; side setback of 10 feet; and rear setback of 20 feet. It appears that the proposal would not comply with the side setbacks.
3. Below Market Price (BMP) Program
  - a. The Town's Below Market Price (BMP) program requires that projects with five to 19 market rate units must provide BMP units equal to ten percent of the number of market rate units. The proposal includes 10 market rate units and two BMP units.
4. Open Space and Community Recreation Space
  - a. For a residential condominium, the private open space requirements require each ground floor dwelling unit to have a minimum of 120 square feet of outdoor usable open space in the form of a single enclosed patio or deck located essentially at the level of the main living area. Each dwelling unit above the ground floor shall have 60 square feet of outdoor usable open space in the form of a balcony.
  - b. For a residential condominium, the community recreation space requirements require a minimum of 100 square feet per residential unit.
5. Parking and Circulation
  - a. Parking requirements for the residential condominium use is two parking spaces for each living unit. The total parking requirement is 24 parking spaces.
  - b. The proposed onsite parking is 27 spaces located in a basement garage and 9 spaces located in a surface parking lot for a total of 36 spaces for the project. Six of the spaces in the basement garage are considered to be tandem spaces, which are not permitted to count towards fulfilling the required number of spaces pursuant to Town Code. The total number of proposed spaces would be 30 spaces after removing the six tandem spaces.
6. Design Standards
  - a. Depending on the type of application submitted for this project, the new building design would be reviewed for compliance with the Objective Design Standards for Qualifying Multi-Family and Mixed-Use Residential Development.
7. Traffic
  - a. A traffic analysis will determine whether a traffic study or mitigation fees will be required.
8. Trees
  - a. The conceptual development plans would result in impacts to protected trees. Any development application will be reviewed by the Town's Consulting Arborist to ensure that the Town's Tree Protection Ordinance is complied with.

PAGE 5 OF 5

SUBJECT: 235 Oak Meadow Drive/CD-25-001

DATE: March 7, 2025

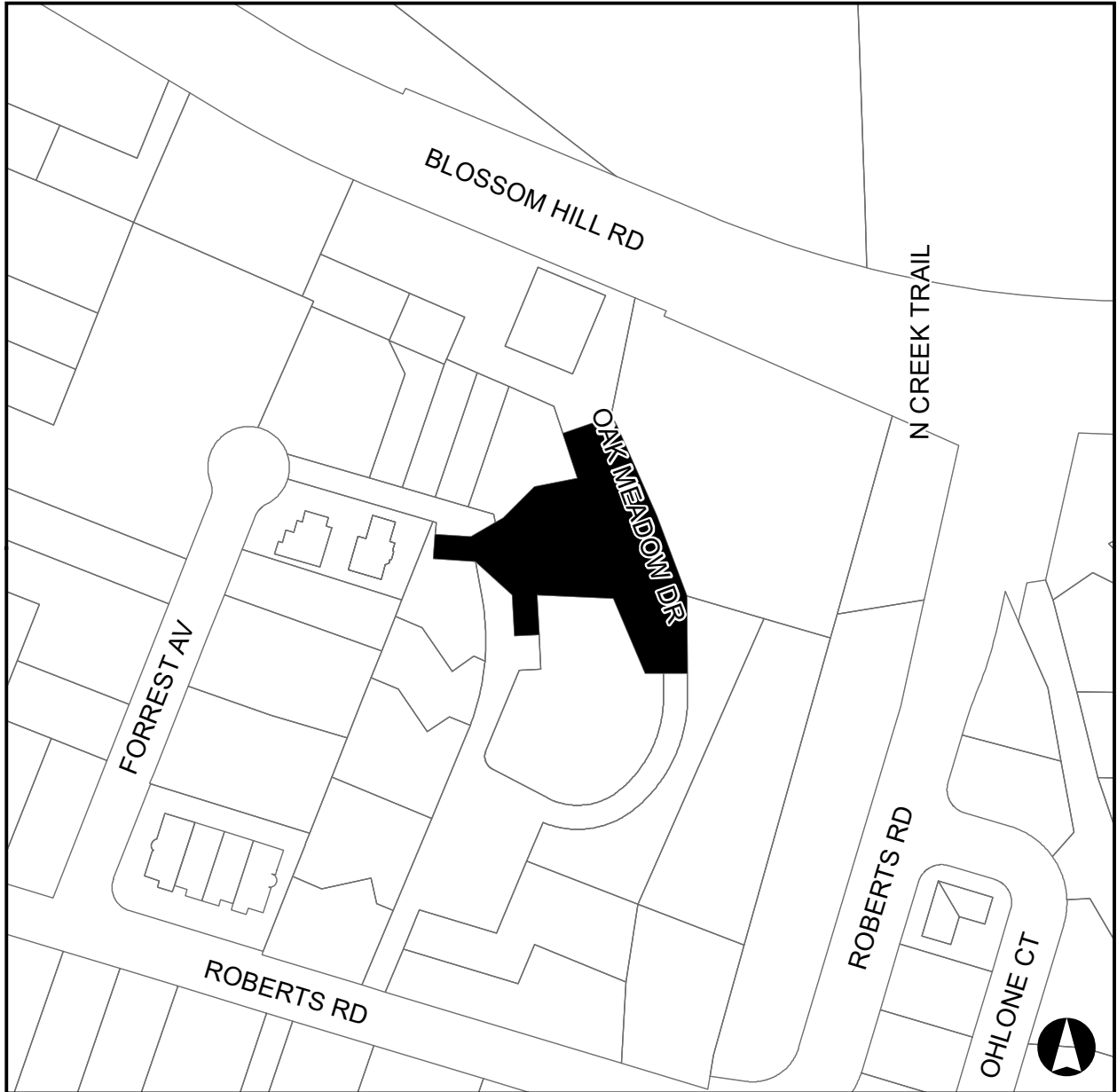
9. Environmental Review
  - a. The project would need to be reviewed for compliance with the California Environmental Quality Act as grading, tree removals, and new construction would all be proposed.
10. Density
  - a. The maximum allowable density for the property is 20 dwelling units per acre, resulting in a total of 9 dwelling units.
  - b. The proposed density is 23 dwelling units per acre, resulting in a total of 10 dwelling units.
  - c. The proposed two BMP units are not counted towards the maximum allowable density.

ATTACHMENTS:

1. Location Map
2. Conceptual Development Advisory Committee Application
3. Project Description Letter
4. Conceptual Development Plans
5. PD Ordinance 2371

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# 235 Oak Meadow Drive



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**APPLICATION FOR PROJECT REVIEW  
CONCEPTUAL DEVELOPMENT ADVISORY COMMITTEE**

**TOWN OF LOS GATOS - COMMUNITY DEVELOPMENT DEPARTMENT**  
**110 E MAIN STREET, LOS GATOS, CA 95030**  
[PLANNING@LOSGATOSCA.GOV](mailto:PLANNING@LOSGATOSCA.GOV)  
408-354-6872

**PLEASE SUBMIT APPLICATION WITH ALL REQUIRED DOCUMENTS VIA THE CITIZEN'S PORTAL:**  
<https://permits.losgatosca.gov/Login-and-Manage-My-Records>

PLEASE TYPE OR PRINT CLEARLY

**1. PROPERTY LOCATION:** 233/235 Oak Meadow Drive  
Address of subject property \_\_\_\_\_

**2. PROPERTY DETAIL:**  
Lot Area: 13,068 SF Zoning: PD APN: 529-10-132  
Existing Use: Office building

**3. APPLICANT:**  
Name Kurt Anderson/Anderson Architects Phone: (408) 202-5462  
Address 120 W. Campbell Ave.  
City Campbell State CA Zip 95008  
Email kanderson@andarchinc.com

**4. NAME OF PROPERTY OWNER: (if same as above, check here )**  
Name Michael Shields/Dog Friendly Rentals, LLC Phone: 408-605-6141  
Address 235 Oak Meadow Drive  
City Los Gatos State CA Zip 95032  
Email Michael@svmultifamily.com

I hereby certify that I am the owner of record of the property described in Box #2 above, and that I approve of the action requested herein.

**SIGNATURE OF OWNER**  **DATE** 1/31/2025

**ACKNOWLEDGMENT FORM**

I, the undersigned, fully acknowledge and understand the Conceptual Development Advisory Committee is only an advisory body and is not empowered by the Town Council or the Planning Commission to render recommendations or decisions regarding land use issues.

I further understand and acknowledge that any statement by the Committee that a potential land use appears consistent with Town Policy is not an express or implied approval of a development project. A project may be rejected by the Planning Commission and/or Town Council for inconsistency with Town policy or for other reasons in the course of the development review process, including public input.

I further understand and acknowledge that the members of the Conceptual Development Advisory Committee are in no way bound in their future review of my project, by their comments at this very preliminary state of project development.

**SIGNATURE OF OWNER**  **DATE** 1/31/2025

<p><b>DO NOT WRITE IN THIS SPACE.</b></p> <p>Application #: _____</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: left; padding: 2px;"><b>FEES PAID:</b></td> </tr> <tr> <td style="padding: 2px;">PLPERMIT</td> <td style="text-align: right; padding: 2px;">\$ 2,966.00</td> </tr> <tr> <td style="padding: 2px;">PLTRACK</td> <td style="text-align: right; padding: 2px;">\$ 118.64</td> </tr> <tr> <td style="padding: 2px;">PLANAP</td> <td style="text-align: right; padding: 2px;">\$ 296.60</td> </tr> <tr> <td style="padding: 2px;">PLPERMIT (noticing deposit)</td> <td style="text-align: right; padding: 2px;">\$ 500.00</td> </tr> <tr> <td style="padding: 2px;"><b>TOTAL</b></td> <td style="text-align: right; padding: 2px;"><b>\$ 3,381.24</b></td> </tr> </table>	<b>FEES PAID:</b>		PLPERMIT	\$ 2,966.00	PLTRACK	\$ 118.64	PLANAP	\$ 296.60	PLPERMIT (noticing deposit)	\$ 500.00	<b>TOTAL</b>	<b>\$ 3,381.24</b>
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<b>TOTAL</b>	<b>\$ 3,381.24</b>												

**ADMINISTRATIVE POLICY FOR PROCESSING  
"REQUESTS FOR REVIEW" BEFORE THE CONCEPTUAL  
DEVELOPMENT ADVISORY COMMITTEE (CDAC)**

1. The Committee will meet once a month on a regular schedule (time and date to be determined by Committee members) if an application is pending.
2. The Committee shall consist of three Planning Commissioners and two Town Council persons.
3. Only one item will be permitted on each agenda.
4. The following materials constitute an application package and must be submitted through the Town’s online portal:
  - a. A signed application form available from the Community Development Department. The property owner must sign the application, or it will not be accepted.
  - b. A brief, general description of the project and its location (no more than one typed page-double spaced).
  - c. One set of plans. Schematic elevations are encouraged but are not required. The more information provided to the Committee, the more detailed the responses will be.
  - d. Required filing fee pursuant to the adopted fee schedule.
  - e. All materials (plans, letters, etc.) intended to be viewed by the Committee members prior to the meeting must be submitted at the same time the application is filed. Materials filed after the submittal will not be accepted. Materials may be brought to the meeting.
5. The prospective developer will be allotted five minutes to present the request to make a presentation to the Committee. Following the presentation, the Committee may ask questions of the prospective developer or staff. Members of the public will then be allowed up to three minutes to provide public comments. After public comments have concluded, the prospective development will have an additional three minutes to respond to any comments.



6. The Committee may only review a project once unless there are material changes to the plans and recommended by the Director of Community Development.
7. The Committee will not review a project for which any permit application has been submitted to the Planning or Building Department.
8. A Committee agenda will be mailed and posted 72 hours before the meeting and notice of the hearing will be mailed or delivered at least 10 days prior to the hearing to all owners of real property as shown on the latest equalized assessment roll within three hundred feet of the real property that is the subject of the hearing.
9. To make prospective project information accessible to the public, minutes of the meeting shall be kept.
10. There will be an action letter mailed out advising the prospective developer of the Committee's list of concerns and comments. This letter will be come part of the Development Review Committee staff report to the Planning Commission at such time as a formal application is filed.
11. The Committee review is based on policy issues only from Town documents included, but not limited to the General Plan and Zoning Code. There is no technical or ordinance compliance review by either the Committee or staff.
12. Committee members shall give their individual perspective about the project. The applicant shall not argue about such opinions or try to dissuade the Committee members.

# Community Development Application Process Agreement

*This document explains the decision-making process used by the Town of Los Gatos for all land-use related applications and permits being considered by the Community Development Director, Development Review Committee, Historic Preservation Committee, Planning Commission, and/or the Town Council. All applicants and their representatives/professionals are required to read, understand, acknowledge, and sign this disclosure prior to their application being deemed complete and ready for consideration.*

**All applications and permits presented to the Community Development Director, Development Review Committee, Historic Preservation Committee, Planning Commission, and/or the Town Council are solely at their discretion, including but not limited to General Plan Amendments, Zoning Amendments, Planned Developments, Architecture and Site Applications, Conditional Use Permits, Subdivisions, Minor Residential Developments, and Removals from the Historic Resources Inventory. Staff and consultant recommendations, including those of the consulting architect, are in no way limiting on or indicative of any subsequent decision or direction from the Community Development Director, Development Review Committee, Historic Preservation Committee, Planning Commission, and/or Town Council.**

Staff and consultant recommendations are based solely on the application of the Town’s General Plan, Zoning and other ordinances, Specific Plans, Guidelines, and adopted policies. Staff’s role is not to advocate for or support the interests of the applicant, but to ensure compliance with the aforementioned policy direction and to consider the proposed development’s impacts on both the immediate neighborhood and the broader community.

Town Council policy prohibits the Planning Commission from discussing pending applications or permits with either the proponents or opponents of the application. **Applicants and their representatives are prohibited from directly or indirectly contacting or communicating with Planning Commissioners regarding the application except through publicly disclosed written communications.**

For Planning Commission matters appealed to the Town Council, in the appeal, and based on the record, the appellant bears the burden to prove that there was an error or abuse of discretion by the Planning Commission as required by Section 29.20.275. If neither is proved, the appeal shall be denied. If the appellant meets the burden, the Council shall grant the appeal and may modify, in whole or in part, the determination from which the appeal was taken or, in its discretion, return the matter to the Planning Commission. If the basis for granting the appeal is, in whole or in part, information not presented to or considered by the Planning Commission, the matter shall be returned to the Planning Commission for review.

Those signing below grant the Town of Los Gatos release to copy and reproduce electronically, in whole or in part, drawings and all other materials submitted with this development application for the Town’s regulatory, administrative, and legal functions, including sharing of information with other governmental entities and for compliance with the California Public Records Act

***The undersigned have reviewed this document and acknowledge and agree to the statements above.***

DocuSigned by:  
**Property Owner:** Michael Shields

**DATE:** 1/31/2025

DocuSigned by:  
**Architect/Designer:** Erin Anderson

**DATE:** 2/3/2025

**Civil Engineer:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**Business Owner:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**Other:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

February 3, 2025

**RE: 235 Oak Meadow Drive, Los Gatos, CA  
Project Description**

Dear CDAC:

**Existing Property Description:**

The Property is located on the west side of Oak Meadow Drive between Roberts Road and Blossom Hill Road. It is flanked by residential buildings to the north and south, medical buildings to the east, single family to the west. The Property is currently occupied by a two-story office building that was constructed in 1962. There are no historical aspects to the property.

**Proposed Development Description:**

The proposal includes the demolition of the existing structure and the construction of a five-level luxury condominium project that is constructed over a street level parking garage. The units will all be for sale. 2 units out of the 12 (the allowable density is 9 units) will be set aside for lower income households consistent with requirements in the State Density Bonus Law that requires 15% of the project units be offered at prices affordable to lower-income households and they will be dispersed throughout the project. We will be utilizing the State Density Law to increase the height of the project by 35' for total of 70', the current zoning only allows 35'. The project will also provide a large roof deck that will be accessible to Regency HOA on a monthly basis. In addition, the project will provide a community dog park on the upper street level as part of the project. The project will provide the necessary parking as required by the Zoning Ordinance, 3 stalls per unit. We will also provide the required short-term and long-term bicycle parking.



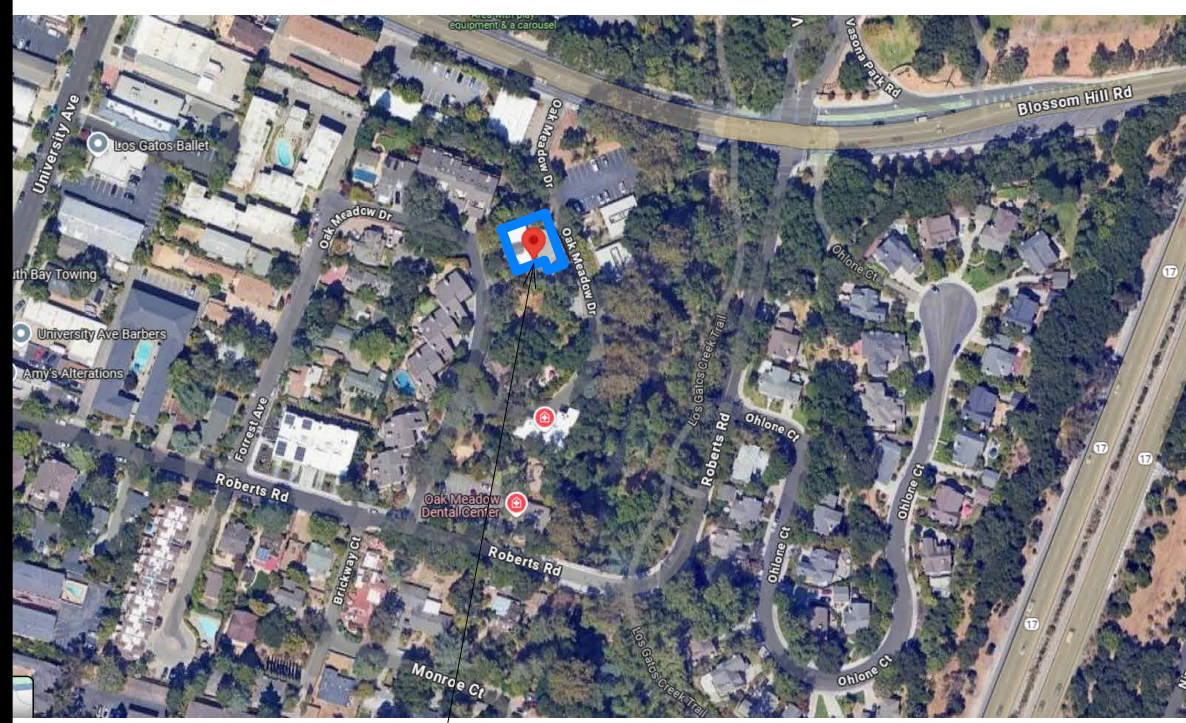
120 W. Campbell Ave.  
Suite D  
Campbell, CA 95008  
T: 408 . 371 . 1269  
F: 408 . 370 . 1276

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# VICINITY MAP

# PROJECT SUMMARY

Anderson Architects INC  
 kanderon@andarchinc.com Cell: 408.371.1269  
 120 W. Campbell Ave., Suite D Campbell, CA 95008  
 Kurt B. Anderson, AIA Principal  
 Tel: 408.371.1269 Fax: 408.371.1276



PROJECT SITE

THE PROPOSED MIXED USE PROJECT CONSISTS OF 12 CONDOMINIUM UNITS IN A 6-STORY BUILDING, WITH APPROXIMATELY 37,658 SQUARE FEET OF RESIDENTIAL BUILDING AREA ON APPROXIMATELY 19,705 SQUARE FOOT PROPERTY WITH ONE EXISTING LEGAL PARCEL (ASSESSOR PARCEL NUMBER APN 529-10-132) AT 235 OAK MEADOW DRIVE IN LOS GATOS ("PROJECT SITE"). THE PROJECT WOULD REPLACE THE EXISTING BUILDING.

THERE ARE NO MECHANICAL UNITS ON THE ROOF. MECHANICAL SYSTEMS WILL BE EMBEDDED IN THE WALLS OF THE STAIRWELLS AND WILL NOT BE VISIBLE.

OF THE 12 CONDOMINIUMS, 2 WILL BE BELOW MARKET RATE UNITS FOR SALE. THIS IS NOT PUBLIC HOUSING.

THIS MULTI-FAMILY RESIDENTIAL PROJECT WILL COMPLY WITH THE TOWN'S ALL ELECTRIC CONSTRUCTION REQUIREMENTS OF TOWN CODE SECTION 6.120.070.



# APPLICABLE CODES

2022 CBC, CMC, CPC, CEC, CFC, CRC  
 2022 TITLE 24 ENERGY COMPLIANCE  
 CALIFORNIA GREEN BUILDING  
 ACCESSIBLE CODE CHAPTER 11A (RESIDENTIAL CONDO)  
 ACCESSIBLE CODE CHAPTER 11B (COMMERCIAL, RETAIL, COMMON AREA)

# DEFERRED SUBMITTALS

SPRINKLER SYSTEM  
 FIRE ALARM SYSTEM  
 TWO-WAY COMMUNICATION SYSTEM  
 EMERGENCY RESPONDER RADIO COVERAGE  
 STANDPIPES

# PROJECT TEAM

**ARCHITECTURAL:**  
 KURT B. ANDERSON, AIA, CGBP  
 PRINCIPAL  
 ANDERSON ARCHITECTS, INC.  
 120 W. CAMPBELL AVE., SUITE D  
 CAMPBELL, CA 95008  
 408.371.1269 OFFICE X1261  
 408.202.5462 CELL  
 408.202.5462 FAX  
[kanderon@andarchinc.com](mailto:kanderon@andarchinc.com)

**CIVIL:**  
 DAVE VOORHIES  
 PRINCIPAL  
 V&H ENGINEERING  
 408.472.5222 OFFICE  
 dave@vandheng.com

**LANDSCAPE:**  
 DENNIS TANIGUCHI  
 PRINCIPAL  
 TANIGUCHI LANDSCAPE ARCHITECTURE  
 1013 SOUTH CLAREMONT ST., SUITE 1  
 SAN MATEO, CA 94401  
 650.638.9985 OFFICE  
 650.638.9986 FAX  
[dennis@tdlandarch.com](mailto:dennis@tdlandarch.com)

# PROJECT DATA

## GENERAL

APN	529-10-132
PROJECT ADDRESS	235 OAK MEADOW DRIVE, LOS GATOS, CA
ZONING	O-PD
PROPOSED USE	LUXURY CONDOMINIUMS W/ 2 BMR UNITS
PROPOSED TYPE OF CONSTRUCTION	TYPE III-B
FIRE SPRINKLER	YES
PROPOSED TYPE OF OCCUPANCY	S-2 (PARKING GARAGE) / R-2 (RESIDENTIAL UNITS) / A-2 (COMMUNITY)
LOT SIZE (SF)	19,705 SF
NUMBER OF PROPOSED RESIDENTIAL UNITS	12
DIU / ACRE	18
HEIGHT	(79'-6") 6 STORIES AND PARKING GARAGE
GROSS FLOOR AREA TOTAL (SF)	37,658 SF
FLOOR AREA RATIO (FAR)	0.38
LOT COVERAGE (BUILDING FOOTPRINTS)	7,390 SF

## PARKING

VEHICLE PROVIDED	37 PARKING STALLS (INCLUDE 2 HC)
BICYCLE PROVIDED	LONG TERM: 12 (ROOM W/ KEY ACCESS AT LEVEL 1) SHORT TERM: 6

## LANDSCAPE, PRIVATE, & COMMUNITY

LANDSCAPE AREA (SF)	
LEVEL 1 PLANTING	920 SF
LEVEL 2 PLANTING	1097 SF
LEVEL 3 PLANTING	675 SF
LEVEL 4 & 5 PLANTING	0 SF
LEVEL 6 - ROOF DECK PLANTING	1324 SF
TOTAL (PROPOSED)	4016 SF
TOTAL (REQUIRED)	3941 SF
PRIVATE AREA (SF)	SEE UNIT COUNT & PRIVATE BALCONY
COMMUNITY AREA (SF)	3517 SF
TOTAL (PROPOSED)	3517 SF
TOTAL (REQUIRED)	12 UNITS x 100 SF = 1200 SF

## UNIT COUNT & PRIVATE BALCONY

UNIT NAME	DESCRIPTION	AREA (SF)	# UNITS / FLOOR	FLOORS	TOTAL # UNITS	PRIVATE BALCONY (SF)
UNIT 1	1BED / 1BATH	877 SF	1 / 2	2	2	200 SF
UNIT 2*	2BED / 2BATH	1297 SF	1 / 2	2	2	328 SF
UNIT 3*	3BED / 3.5BATH	2033 SF	1 / 1	1	1	667 SF
UNIT 4*	3BED / 3BATH	2287 SF	3 / 3	3	3	528 SF
UNIT 5*	3BED / 3.5BATH	2140 SF	1 / 1	1	1	787 SF
UNIT 6*	3BED / 3.5BATH	2144 SF	3 / 3	3	3	787 SF
TOTAL					12	

\* BALCONIES OPEN ON 2 SIDES OR MORE

## UNIT MIX

	PER FLOOR		
3BED UNIT	8	8	66%
2BED UNIT	2	2	17%
1BED UNIT	2	2	17%
TOTAL	12	12	100%

## AREA CALCULATIONS

GROSS BUILDING AREA (SF)	
LEVEL 1 - PARKING	6631 SF
LEVEL 2	5405 SF
LEVEL 3	5264 SF
LEVEL 4	5264 SF
LEVEL 5	5264 SF
LEVEL 6	5264 SF
LEVEL 6 - ROOF DECK	4566 SF
TOTAL	37,658 SF
MAX FLOOR AREA (W/ 20% INCREASE)	45,190 SF
OPEN SPACE (SF)	
LEVEL 1 - BIKE PARKING	215 SF
LEVEL 2 - PRIVATE BALCONY	1195 SF
LEVEL 3 - PRIVATE BALCONY	1315 SF
LEVEL 4 - PRIVATE BALCONY	1315 SF
LEVEL 5 - PRIVATE BALCONY	1315 SF
LEVEL 6 - ROOF DECK	3508 SF
TOTAL	8,863 SF

# SHEET INDEX

## ARCHITECTURAL

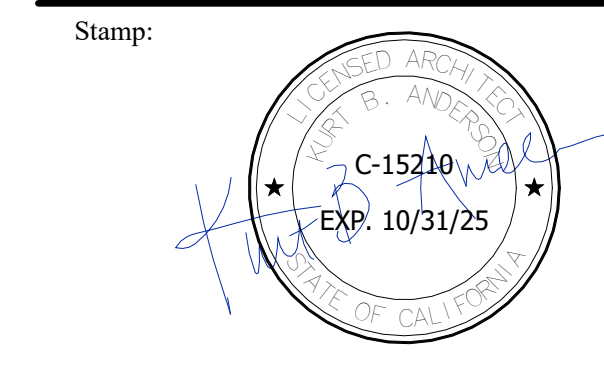
- A0.0 COVER SHEET & PROJECT DATA
- A0.2 ALLOWABLE EXTERIOR WALL OPENINGS
- A1.0 EXISTING SITE PLAN
- A1.1 EXISTING SITE PHOTOS & STREETSAPES
- A1.2 SITE PLAN / LOWER STREET PLAN
- A1.3 FIRE APPARATUS ACCESS
- A2.0 LEVEL 1 PLAN - BASEMENT PARKING
- A2.1 LEVEL 2 PLAN
- A2.2 LEVEL 3 PLAN
- A2.3 LEVEL 4 TO 6 PLAN
- A2.4 ROOF DECK PLAN
- A2.5 ROOF PLAN
- A3.2 LEVEL 2 - ENLARGED UNITS 1, 2, & 3 PLAN
- A3.3 LEVEL 3 - ENLARGED UNITS 1, 2, & 5 PLAN
- A3.4 LEVEL 4 - ENLARGED UNITS 4 & 6 PLAN
- A5.0 EXTERIOR ELEVATIONS, COLOR & MATERIALS BOARD
- A5.1 EXTERIOR ELEVATIONS, COLOR & MATERIALS BOARD
- A6.0 BUILDING SECTIONS
- A6.1 AERIAL VIEWS
- A6.2 RENDERINGS
- A7.0 SHADOW STUDIES

## CIVIL

- C1.0 TENT MAP
- C2.0 SITE PLAN
- C3.0 GRADING
- C3.1 UTILITY
- C4.0 STORM
- C5.0 SD NOTES

## LANDSCAPE

- L-1 LANDSCAPE PLAN STREET LEVEL
- L-2 LANDSCAPE PLAN SECOND LEVEL
- L-3 LANDSCAPE PLAN THIRD LEVEL
- L-4 LANDSCAPE PLAN ROOF LEVEL
- L-5 IRRIGATION HYDROZONE PLAN STREET LEVEL
- L-6 IRRIGATION HYDROZONE PLAN SECOND LEVEL
- L-7 IRRIGATION HYDROZONE PLAN THIRD LEVEL
- L-8 IRRIGATION HYDROZONE PLAN ROOF LEVEL



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## COVER SHEET & PROJECT DATA

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A0.0

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Client:  
**DOG FRIENDLY RENTALS, LLC**

235 OAK MEADOW DR., LOS GATOS, CA 95032

Project:  
**OAK MEADOW CONDOS**

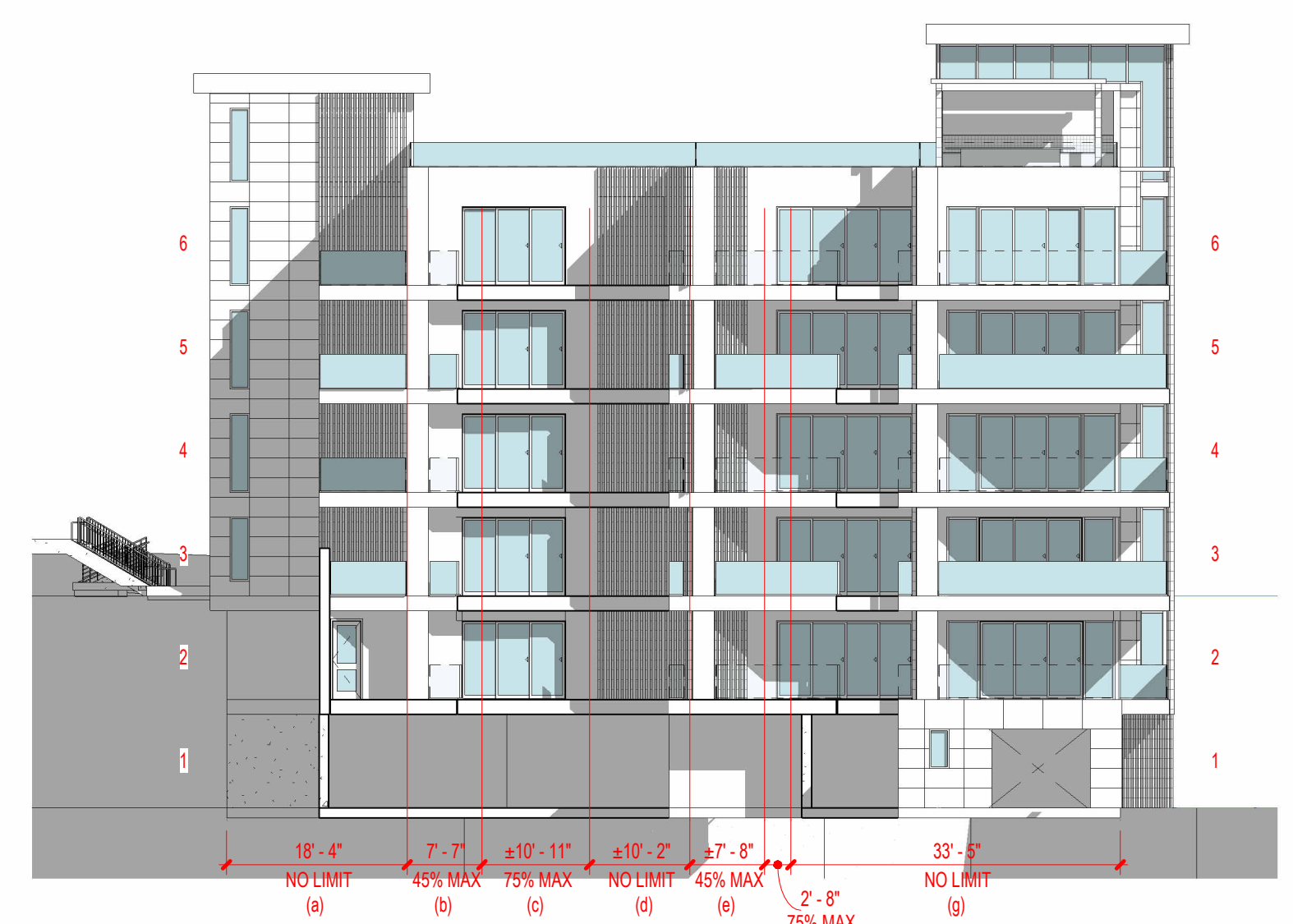
235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

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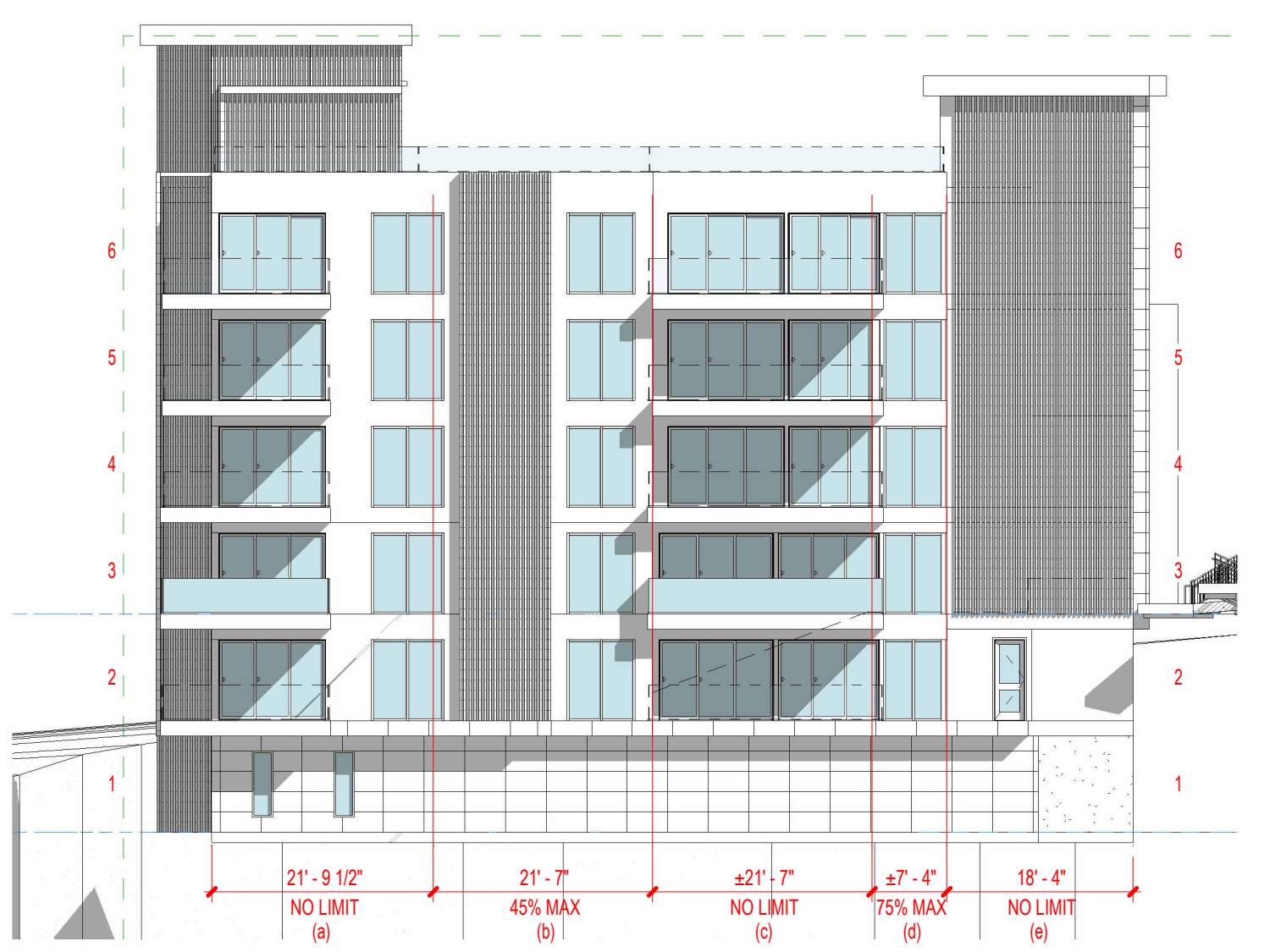
ALLOWABLE EXTERIOR WALL OPENINGS -  
 SOUTHWEST  
 6 1/16" = 1'-0"



ALLOWABLE EXTERIOR WALL OPENINGS -  
 NORTHEAST  
 5 1/16" = 1'-0"



ALLOWABLE EXTERIOR WALL OPENINGS -  
 NORTHWEST  
 4 1/16" = 1'-0"



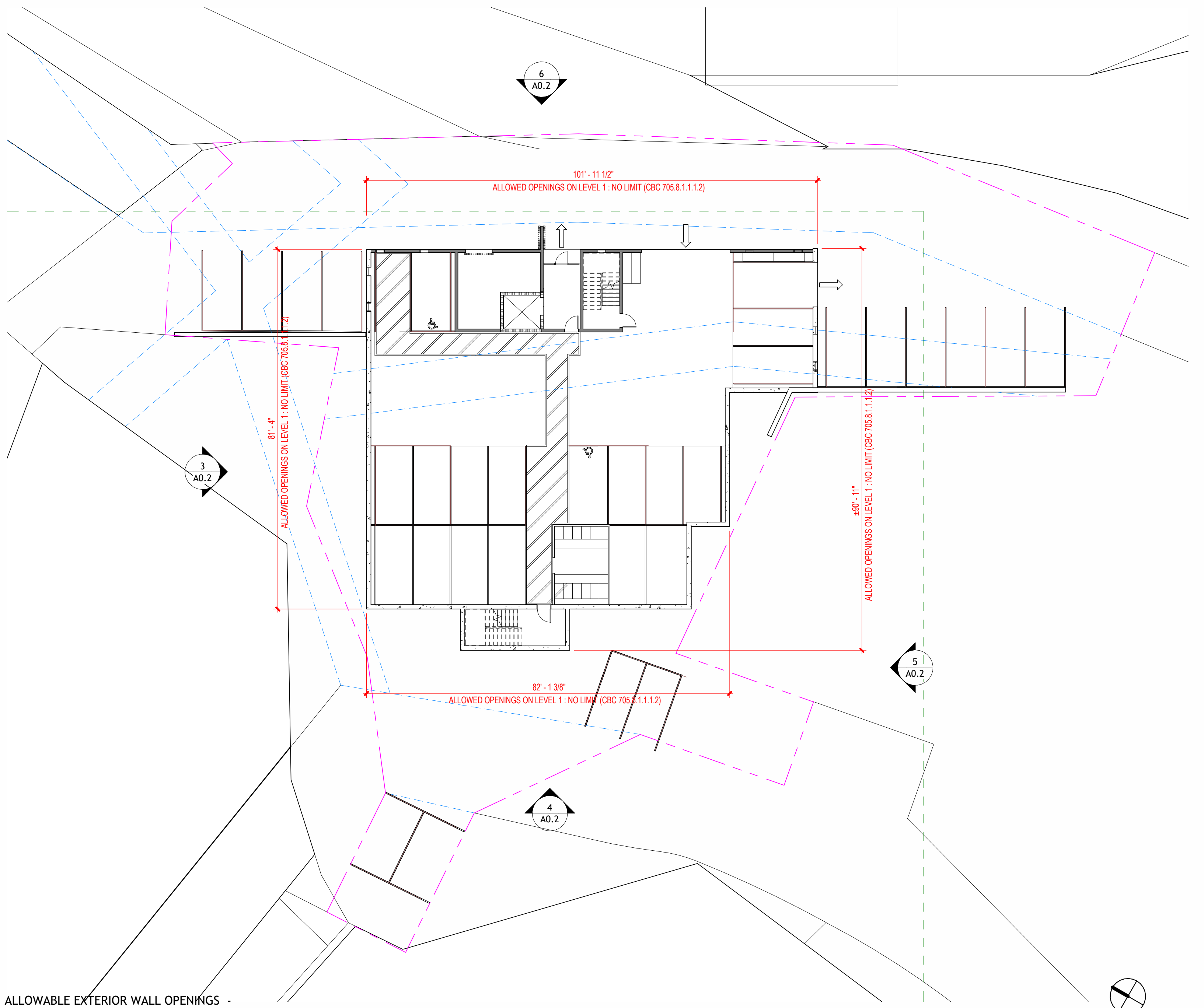
ALLOWABLE EXTERIOR WALL OPENINGS -  
 SOUTHEAST  
 3 1/16" = 1'-0"

ALLOWABLE OPENINGS CALC. - NORTHEAST  
 OPENING AREA / WALL AREA  
 1: 80 SF / SF = NO LIMIT  
 2: 21 SF / 80 SF = 27% < 45% (2) 68 SF / 115 SF = 60% < 75% (2) 12 SF / 28 SF = 43% < 75%  
 3: 21 SF / 80 SF = 27% < 45% (3) 68 SF / 115 SF = 60% < 75% (3) 13 SF / 28 SF = 46% < 75%  
 4: 21 SF / 80 SF = 27% < 45% (4) 68 SF / 115 SF = 60% < 75% (4) 12 SF / 28 SF = 43% < 75%  
 5: 21 SF / 80 SF = 27% < 45% (5) 68 SF / 115 SF = 60% < 75% (5) 13 SF / 28 SF = 46% < 75%  
 6: 21 SF / 80 SF = 27% < 45% (6) 68 SF / 115 SF = 60% < 75% (6) 12 SF / 28 SF = 43% < 75%  
 7: 21 SF / 80 SF = 27% < 45% (7) 68 SF / 115 SF = 60% < 75% (7) 13 SF / 28 SF = 46% < 75%

ALLOWABLE OPENINGS CALC. - SOUTHEAST  
 OPENING AREA / WALL AREA  
 1: 0 SF / SF = NO LIMIT  
 2: 71 SF / 227 SF = 32% < 45% (2) 53 SF / 78 SF = 68% < 75%  
 3: 71 SF / 227 SF = 32% < 45% (3) 53 SF / 78 SF = 68% < 75%  
 4: 71 SF / 227 SF = 32% < 45% (4) 53 SF / 78 SF = 68% < 75%  
 5: 71 SF / 227 SF = 32% < 45% (5) 53 SF / 78 SF = 68% < 75%  
 6: 71 SF / 227 SF = 32% < 45% (6) 53 SF / 78 SF = 68% < 75%



ALLOWABLE EXTERIOR WALL OPENINGS -  
 LEVEL 3 TO 6 TYPICAL (LEVEL 2 SIMILAR)  
 2 1/16" = 1'-0"



ALLOWABLE EXTERIOR WALL OPENINGS -  
 LEVEL 1 PLAN  
 7 1/16" = 1'-0"

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**ALLOWABLE EXTERIOR WALL OPENINGS**

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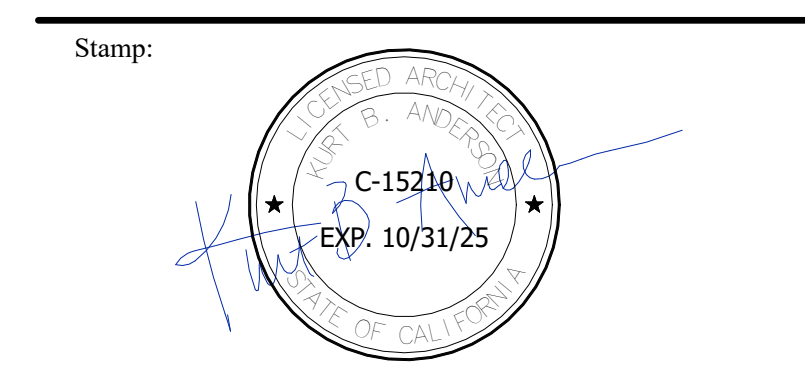
Client:  
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235 OAK MEADOW DR., LOS GATOS, CA 95032

Project:  
OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

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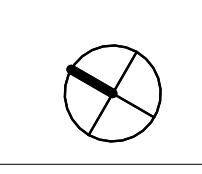
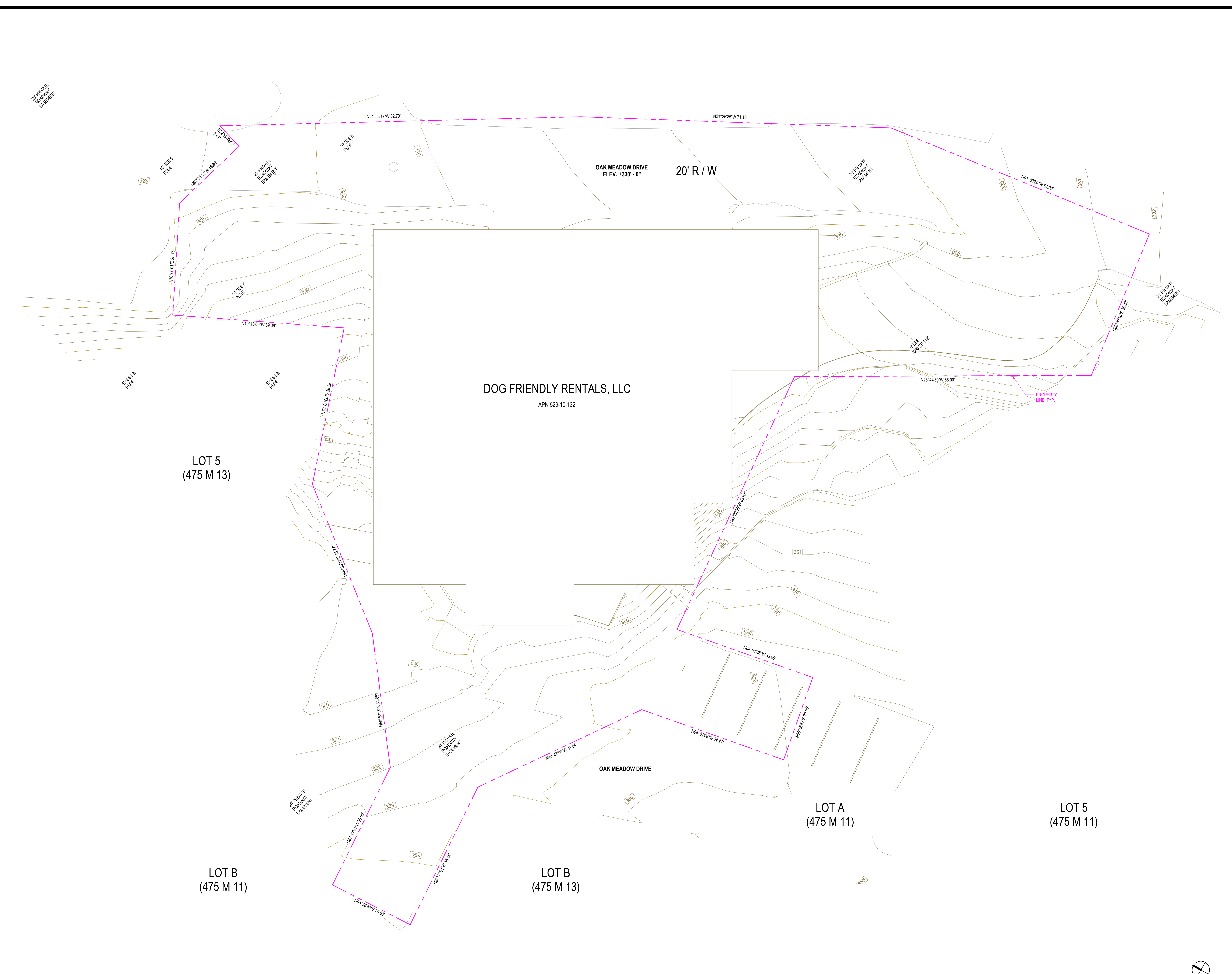


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EXISTING SITE PLAN  
Sheet No.: \_\_\_\_\_

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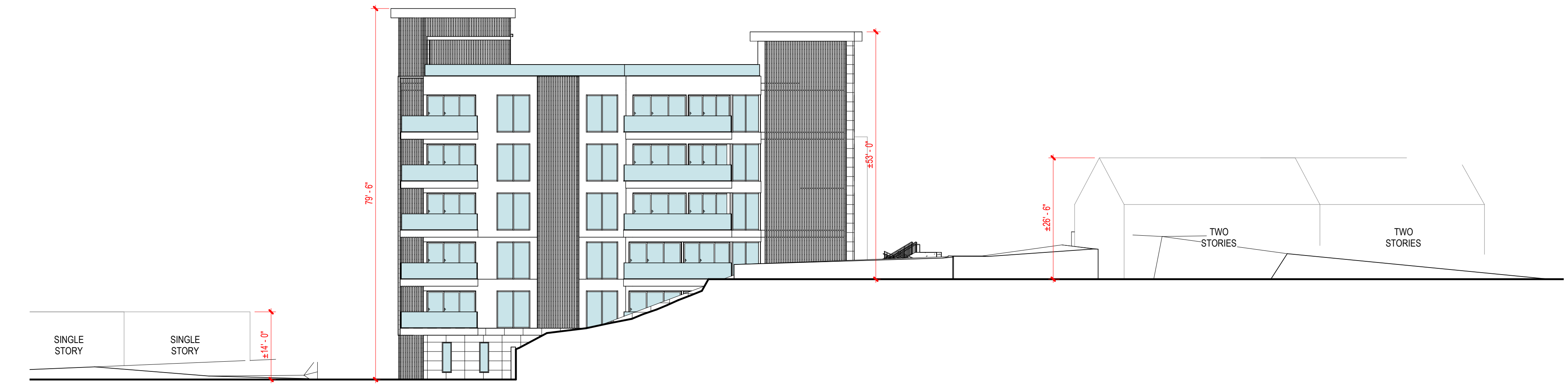
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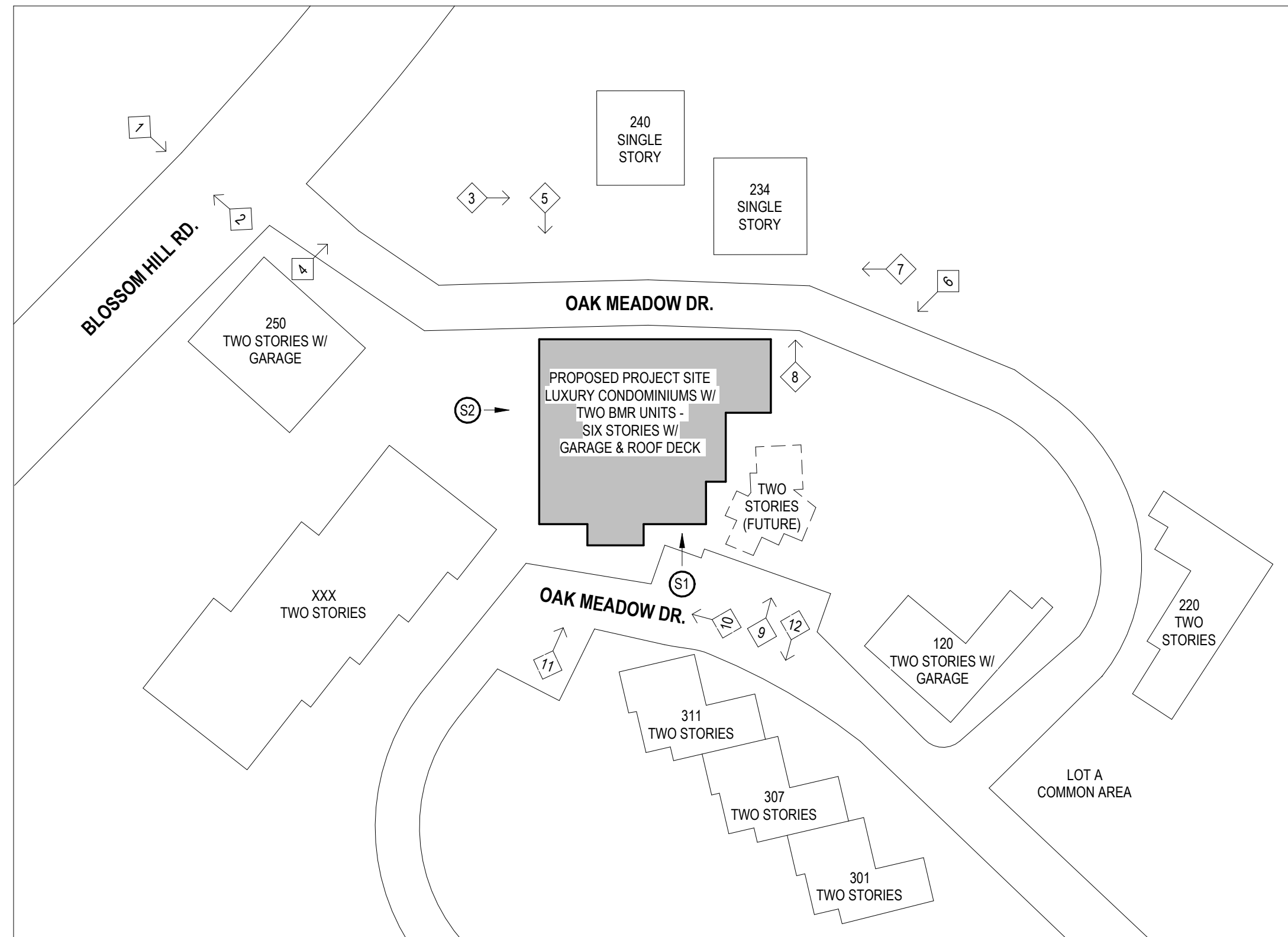
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S2 STREETSCAPE 2  
1/16" = 1'-0"



S1 STREETSCAPE 1  
1/16" = 1'-0"



NOTE: SEE EXISTING PHOTOS OF PROJECT SITE BELOW ('X' INDICATES PHOTO NUMBER AND '1' INDICATES DIRECTION. SEE STREETSAPES W/ PROPOSED PROJECT. FOUND ON SHEET.

A OVERALL SITE PLAN  
1" = 50'-0"



12



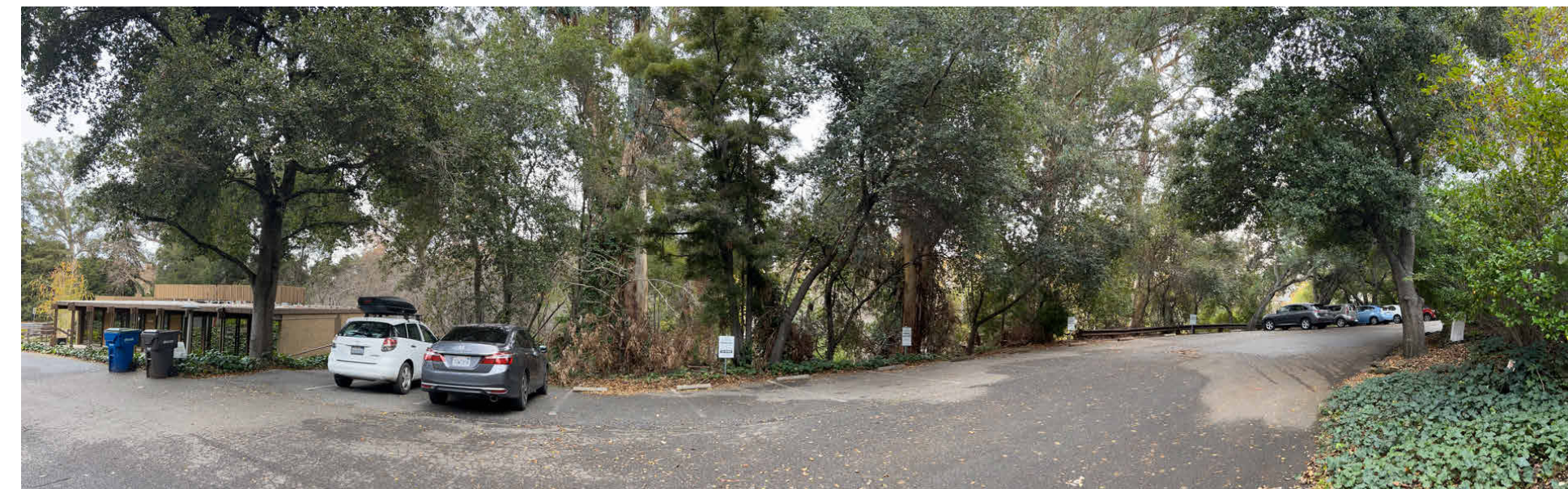
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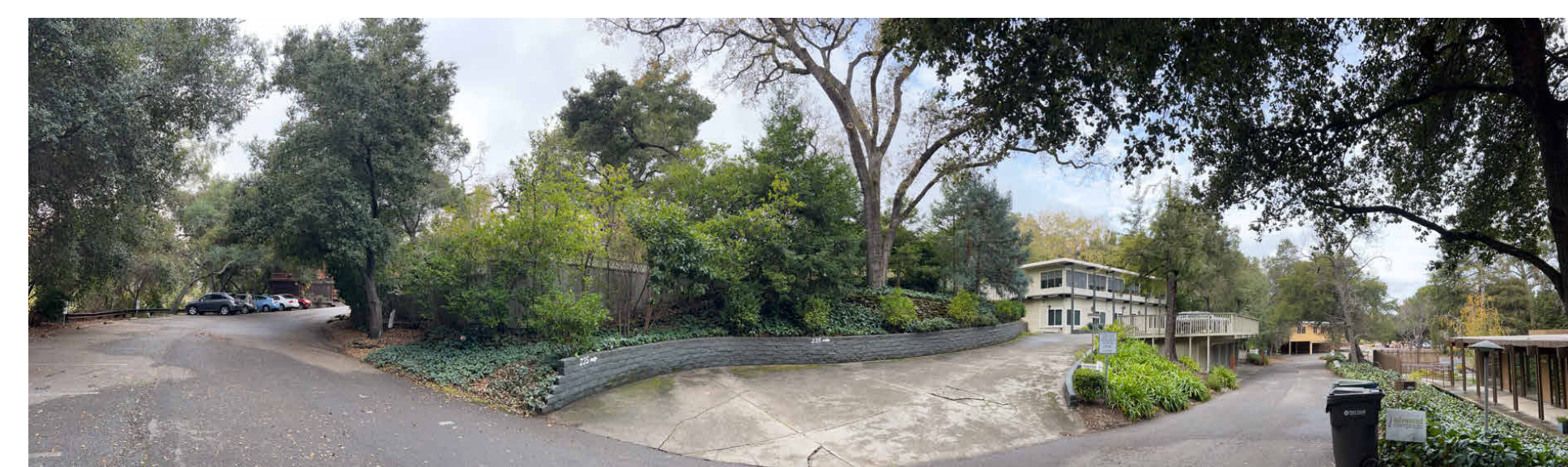
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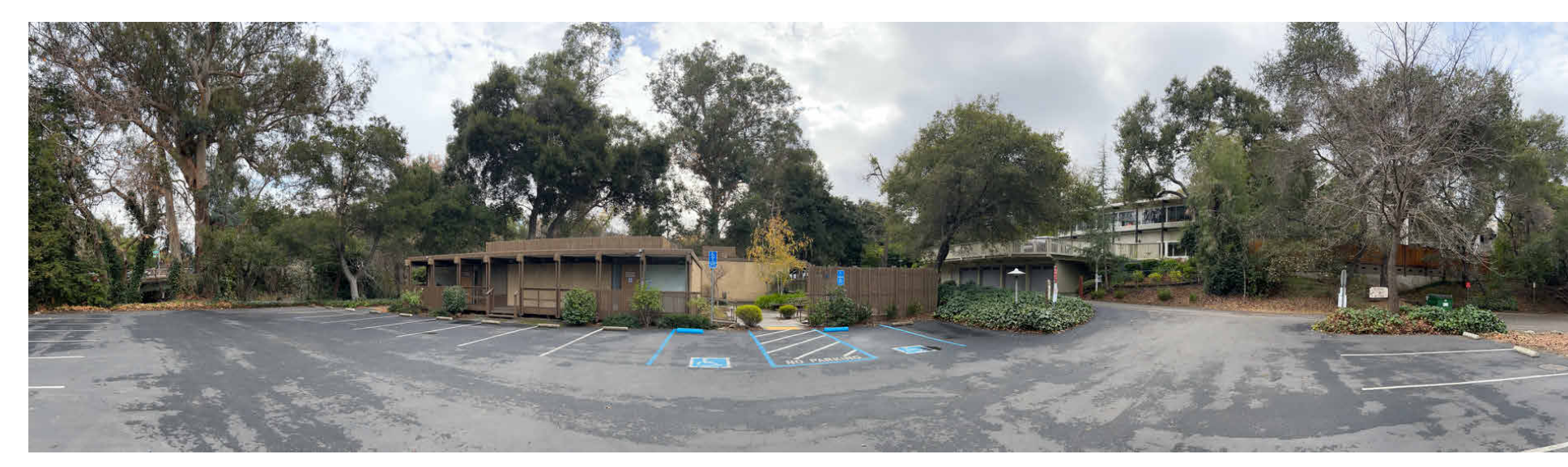
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5



4



3



2



1

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EXISTING SITE PHOTOS & STREETSAPES

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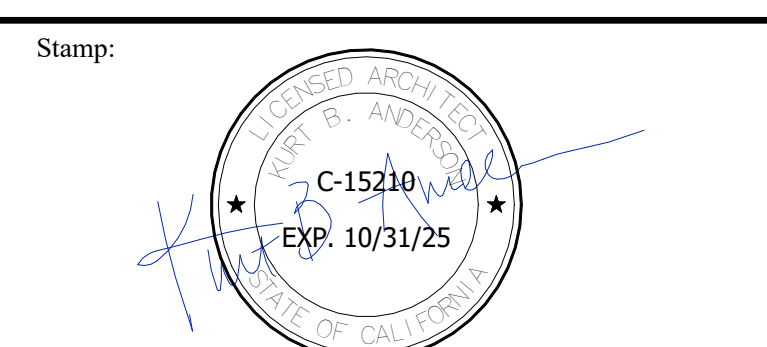
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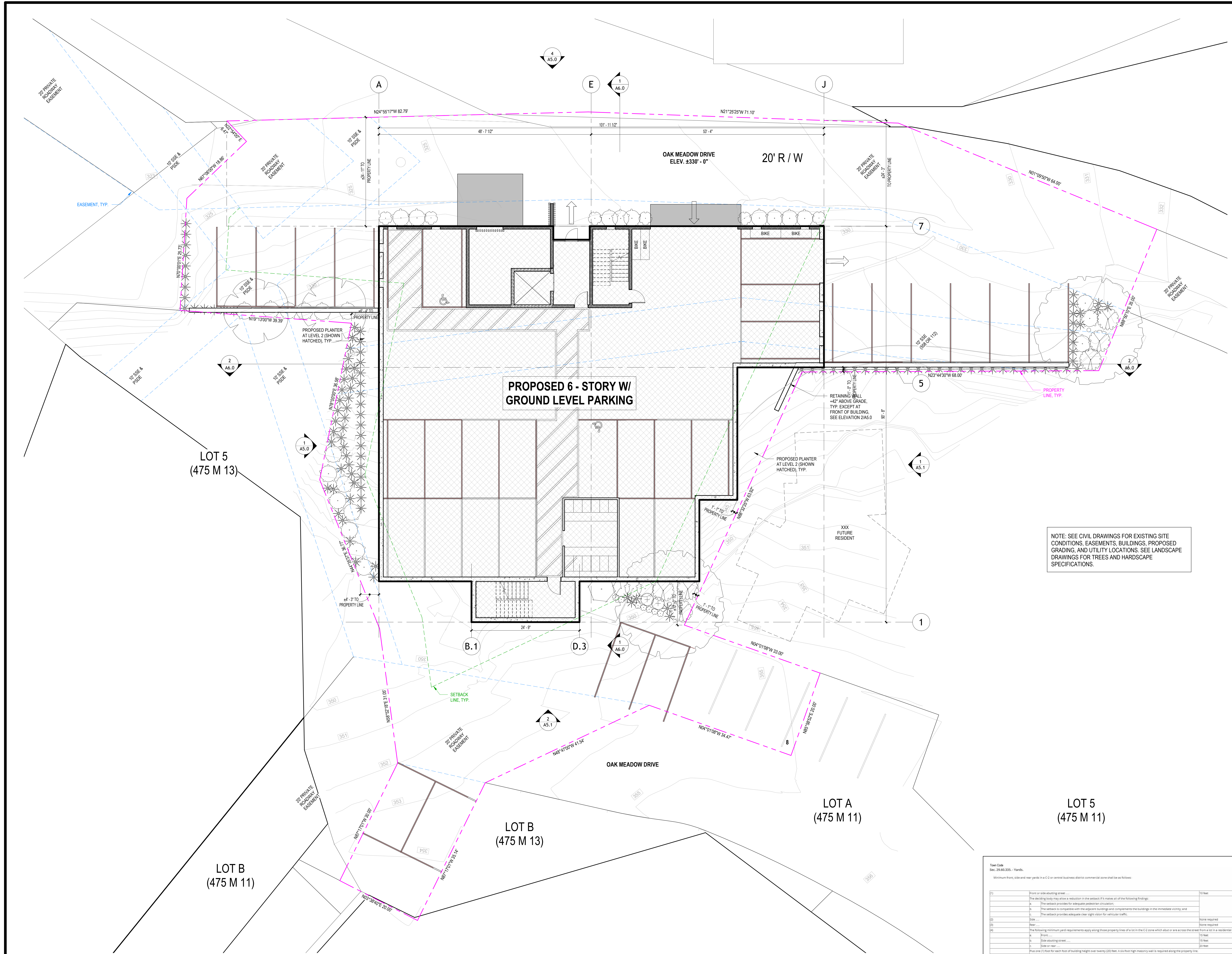
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① SITE PLAN / LOWER STREET PLAN  
 1/8" = 1'-0"

Team Code:  
 Scale: 20' = 335' - 1' Variations

Minimum front, side and rear yards in a C-2 or central business district commercial zone shall be as follows:

	Front or side abutting street	50 Feet
1)	The existing body may allow a reduction in the setback if it makes all of the following findings:	
a.	The setback provides for adequate pedestrian circulation;	
b.	The setback is commensurate with the adjacent building heights and setbacks in the immediate vicinity; and	
c.	The setback provides adequate clear sight vision for vehicular traffic.	
2)	Setback	None required
3)	Rear	None required
4)	The following minimum yard requirements apply along those property lines of a lot in the C-2 zone which abut or are across the street from a lot in a residential zone	
a.	Front	30 Feet
b.	Side abutting street	30 Feet
c.	Side or rear	30 Feet

Four one (1) foot for each foot of building height (minimum 225 feet). A six foot high masonry wall is required along the property line.

(Ord. No. 1316, 4-6-90; Ord. 6-7-76; Ord. No. 1332, 11-17-76; Ord. No. 1363, 8-17-77; Ord. No. 1197, 6-11-21-88)

NOTE: SEE CIVIL DRAWINGS FOR EXISTING SITE CONDITION, EASEMENTS, BUILDINGS, AND PROPOSED GRADING AND UTILITY LOCATION. SEE LANDSCAPE DRAWINGS FOR TREES AND HARDSCAPE SPECIFICATIONS.

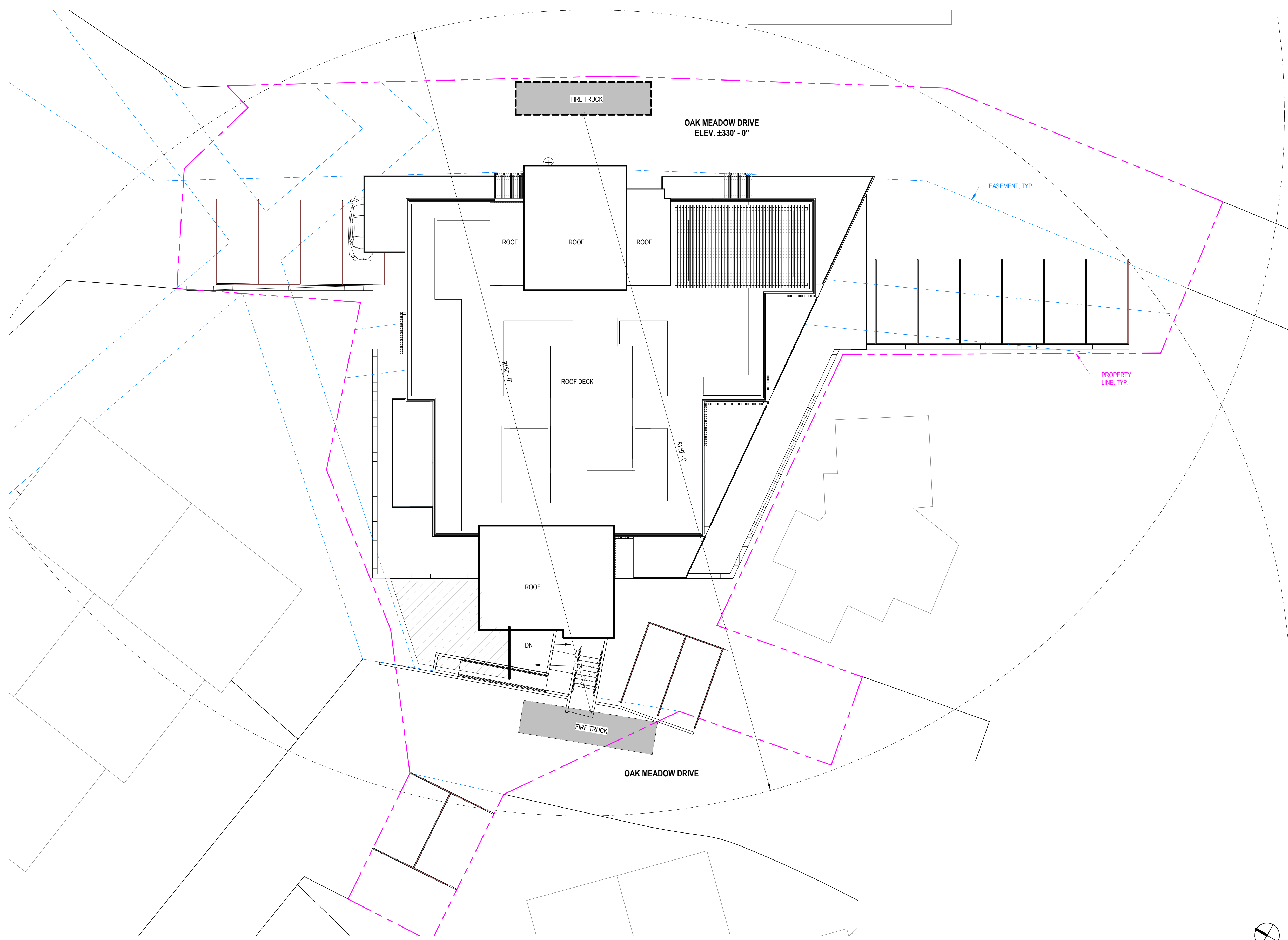
SITE PLAN / LOWER STREET PLAN

Sheet No.: \_\_\_\_\_

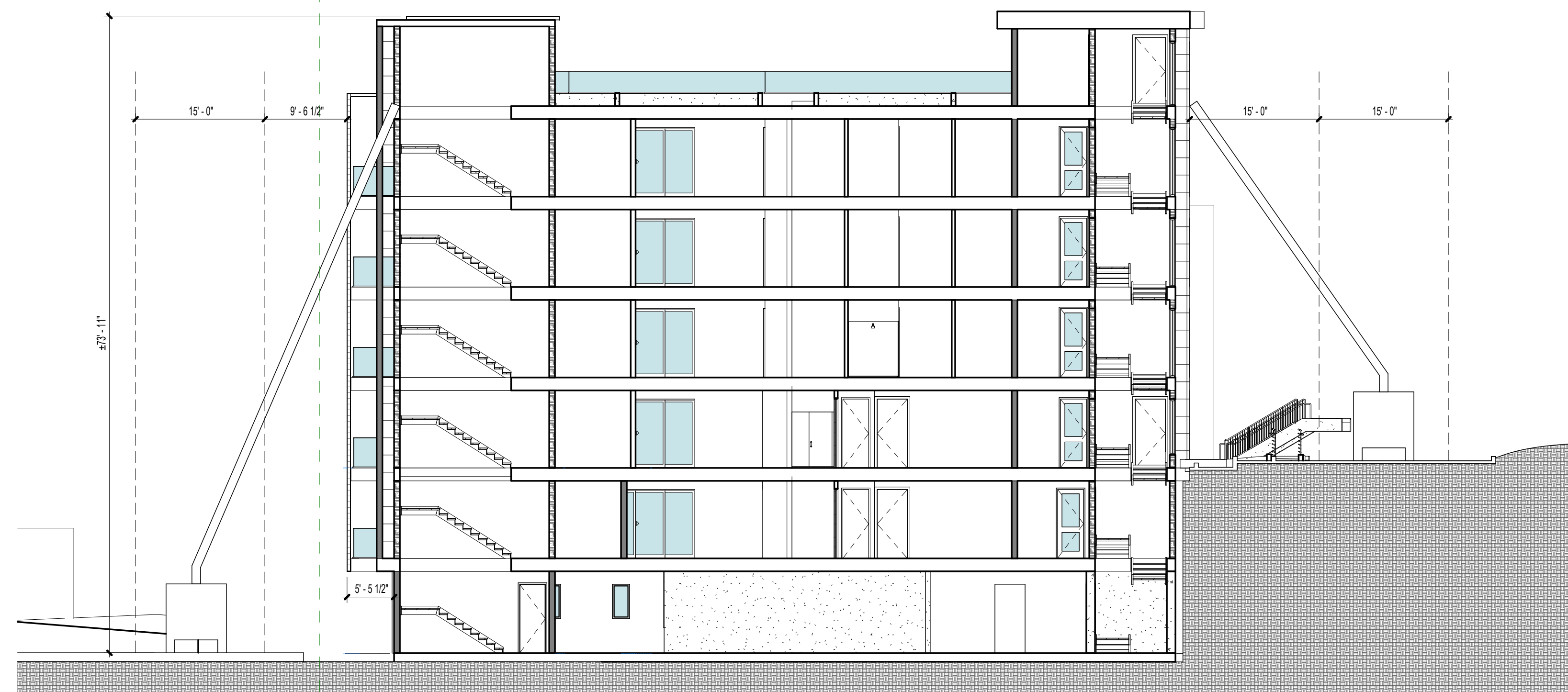
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② SITE PLAN - FIRE APPARATUS ACCESS  
3/32" = 1'-0"



① SECTIONAL VIEW - AERIAL LADDER ACCESS  
3/32" = 1'-0"

**Anderson Architects INC**  
 kanderson@andarchinc.com Cell: 408.371.5462 Principal  
 120 W. Campbell Ave. Suite D Campbell, CA 95008 Tel: 408.371.1269 Fax: 408.371.1276

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Project:  
OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

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**FIRE APPARATUS ACCESS**

Sheet No.:

**A1.3**

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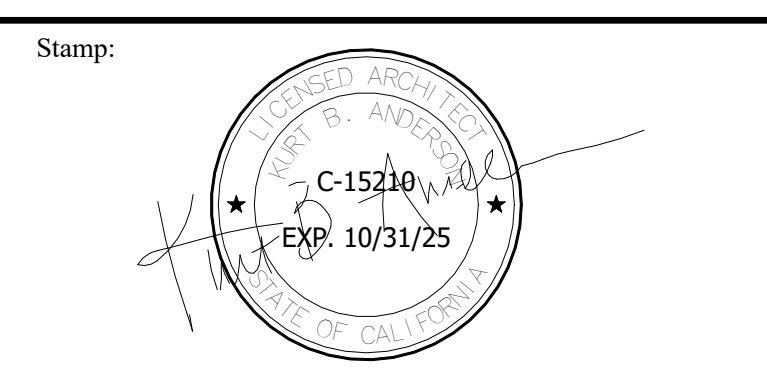
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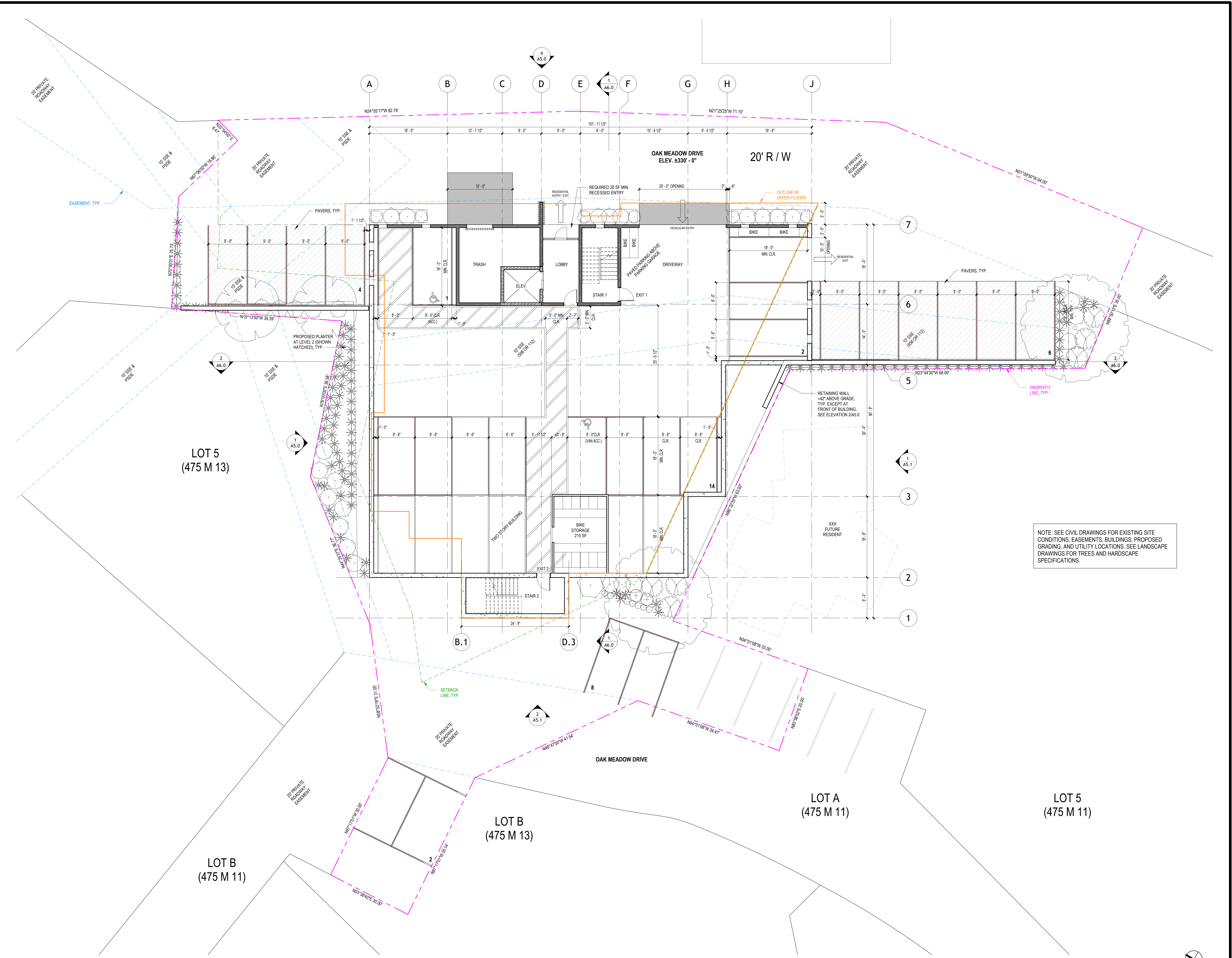
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**LEVEL 1 PLAN - BASEMENT PARKING**

Sheet No.:

**A2.0**



1 LEVEL 1 PLAN - BASEMENT PARKING  
1/8" = 1'-0"



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Project:  
OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

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NOTE: SEE CIVIL DRAWINGS FOR EXISTING SITE CONDITIONS, EASEMENTS, BUILDINGS, PROPOSED GRADING, AND UTILITY LOCATIONS. SEE LANDSCAPE DRAWINGS FOR TREES AND HARDSCAPE SPECIFICATIONS.

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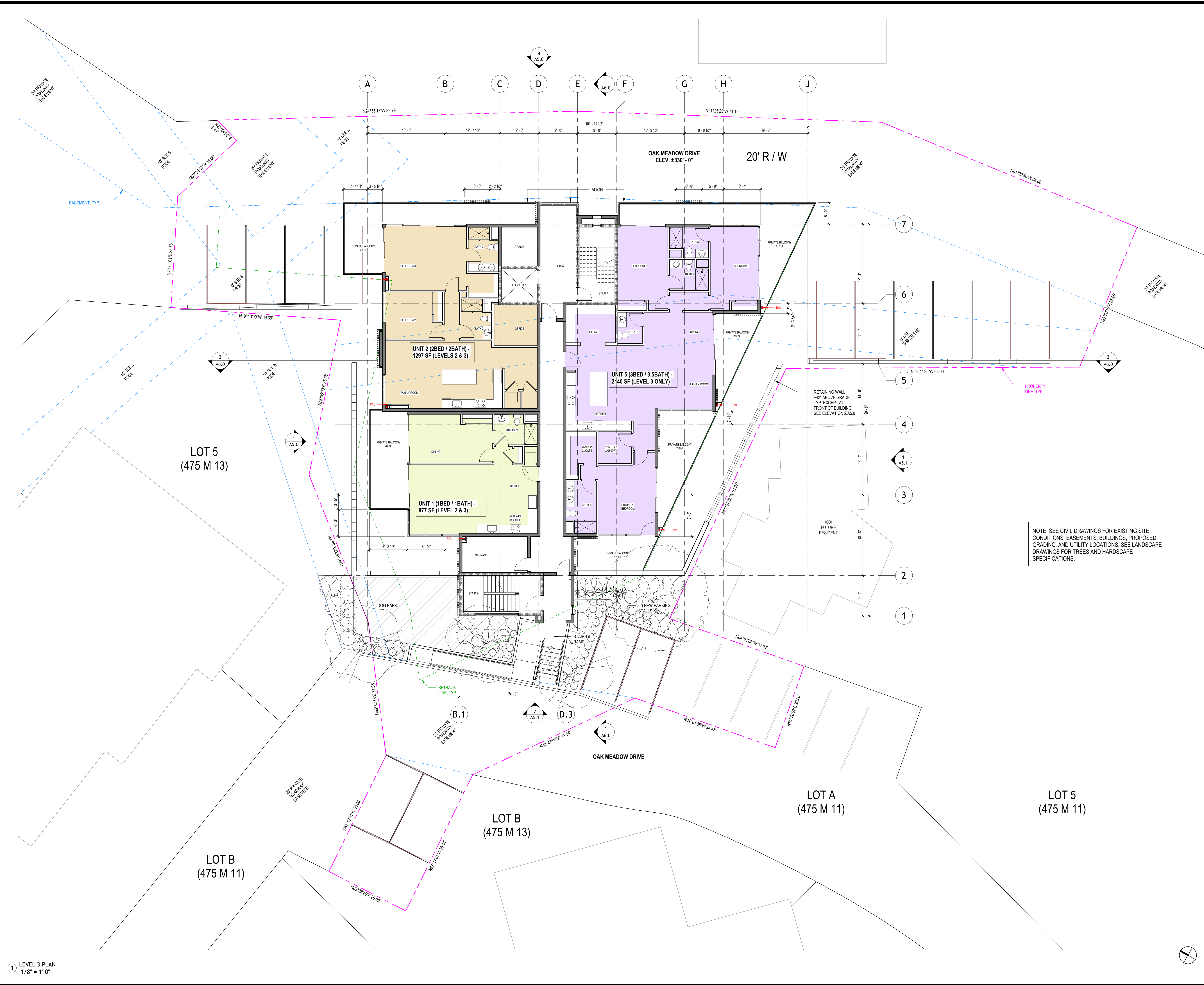
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LEVEL 3 PLAN

Sheet No.:

A2.2

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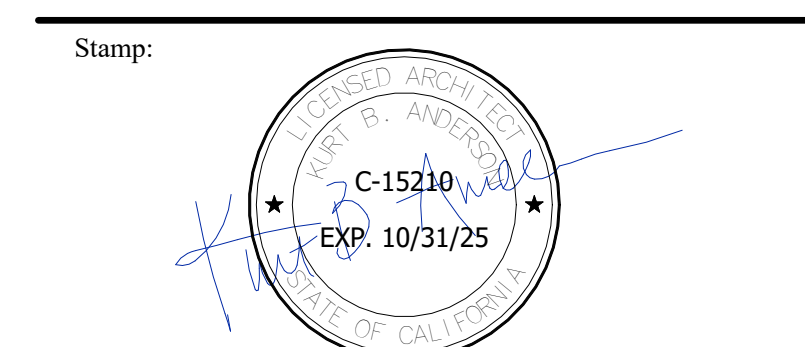
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Project:  
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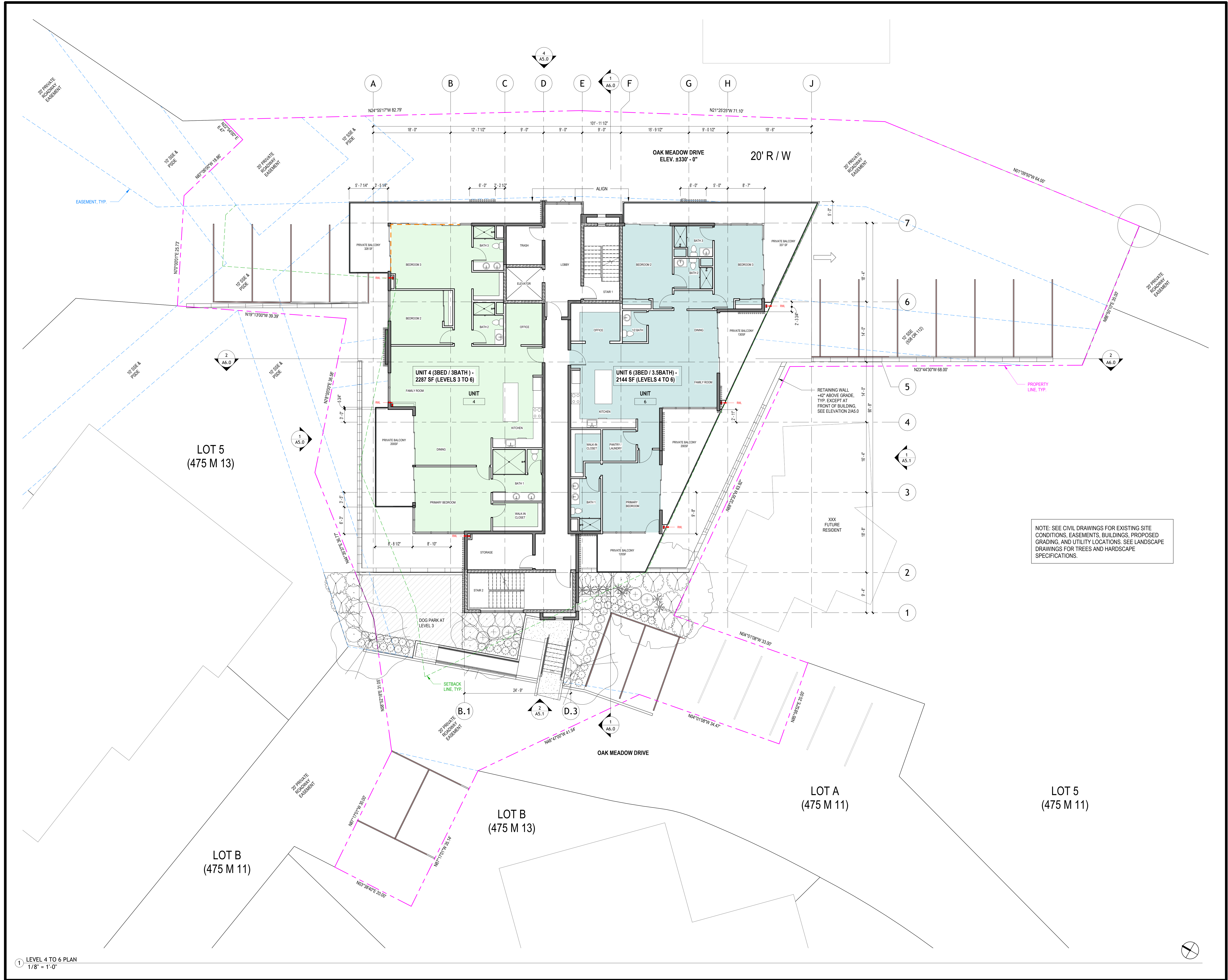
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LEVEL 4 TO 6 PLAN

Sheet No.:



NOTE: SEE CIVIL DRAWINGS FOR EXISTING SITE CONDITIONS, EASEMENTS, BUILDINGS, PROPOSED GRADING, AND UTILITY LOCATIONS. SEE LANDSCAPE DRAWINGS FOR TREES AND HARDSCAPE SPECIFICATIONS.



**Anderson Architects INC.**  
kanderson@andarchinc.com | Cell: 408.372.5462 | Kurt B. Anderson, AIA Principal  
120 W. Campbell Ave., Suite D | Campbell, CA 95008 | Tel. 408.371.1269 | Fax. 408.371.1276

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Client:  
**DOG FRIENDLY RENTALS, LLC**

Project:  
**OAK MEADOW CONDOS**

Submitted for:  
**SITE & ARCHITECTURAL APPROVAL**

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

### SITE & ARCHITECTURAL APPROVAL

235 OAK MEADOW DR., LOS GATOS, CA 95032

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### SITE & ARCHITECTURAL APPROVAL

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Submitted for:

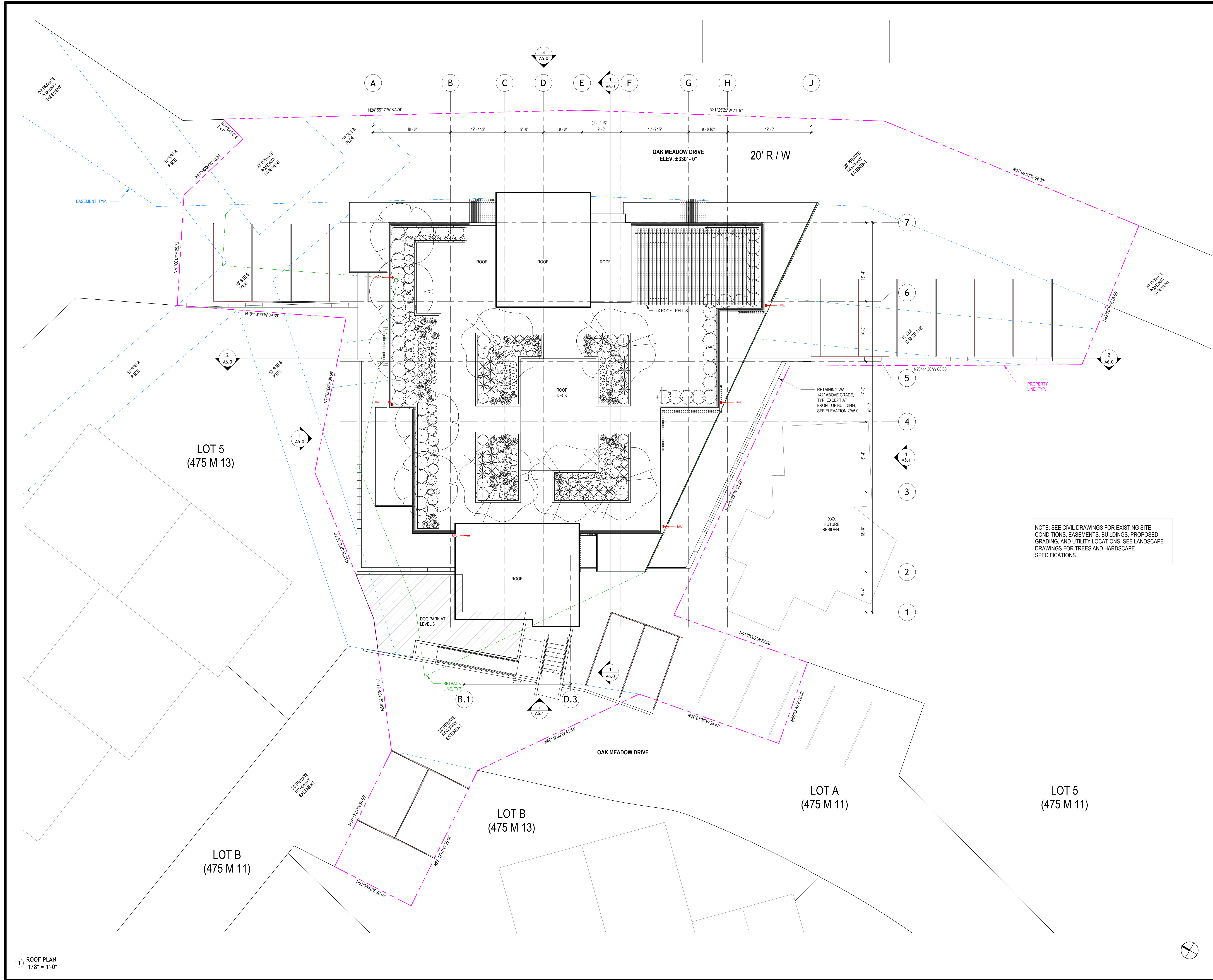
### SITE & ARCHITECTURAL APPROVAL

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Submitted for:

### SITE & ARCHITECTURAL APPROVAL

235 OAK MEADOW DR., LOS GATOS, CA 95032



Scale: 1/8" = 1'-0"  
Drawn By: Author  
Checked By: Checker  
Sheet Title: ROOF PLAN  
Sheet No.: **A2.5**  
File: X:\PROJECTS\Los Gatos Condos | Job: OAK MEADOW CONDOS



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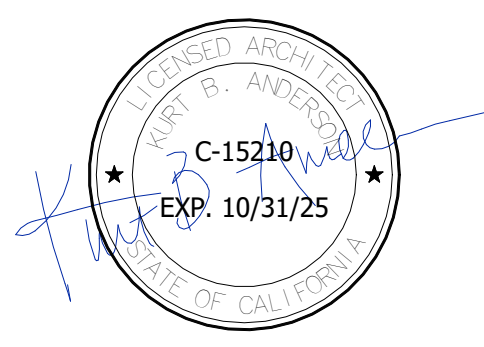
Project:  
OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

### SITE & ARCHITECTURAL APPROVAL

Stamp:



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	INITIAL SUBMITTAL	01.10.2025

Scale: 1/4" = 1'-0"  
 Drawn By: \_\_\_\_\_ Author  
 Checked By: \_\_\_\_\_ Checker  
 Sheet Title: \_\_\_\_\_

#### LEVEL 2 - ENLARGED UNITS 1, 2, & 3 PLAN

Sheet No: \_\_\_\_\_

## A3.2

File: X:\PROJECTS\Los Gatos Condos Job: OAK MEADOW CONDOS



① LEVEL 2 - ENLARGED UNITS 1, 2, & 3 PLAN  
 1/4" = 1'-0"

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235 OAK MEADOW DR., LOS GATOS, CA 95032

Project: OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

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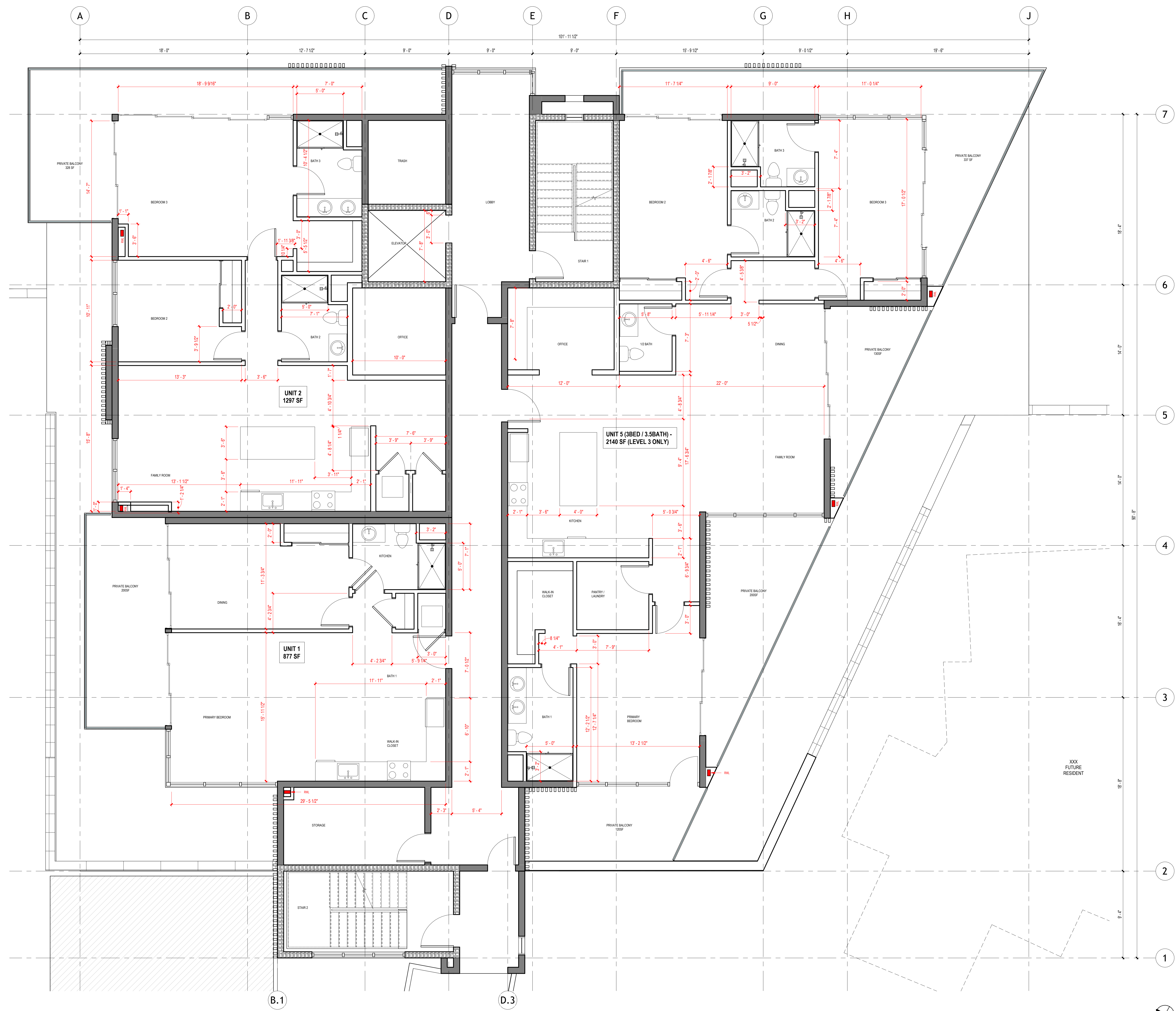
NO	DESCRIPTION	DATE
	INITIAL SUBMITTAL	01.10.2025

Scale: 1/4" = 1'-0"  
Drawn By: \_\_\_\_\_ Author  
Checked By: \_\_\_\_\_ Checker  
Sheet Title: \_\_\_\_\_

**LEVEL 3 - ENLARGED UNITS 1, 2, & 5 PLAN**

Sheet No.: \_\_\_\_\_

**A3.3**



1 LEVEL 3 - ENLARGED UNITS 1, 2, & 5 PLAN  
1/4" = 1'-0"

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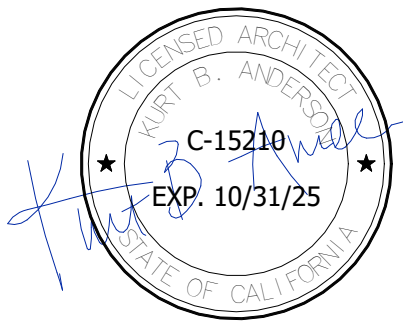
Project:  
OAK MEADOW CONDOS

235 OAK MEADOW DR., LOS GATOS, CA 95032

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Scale: 1/4" = 1'-0"

Drawn By: Author

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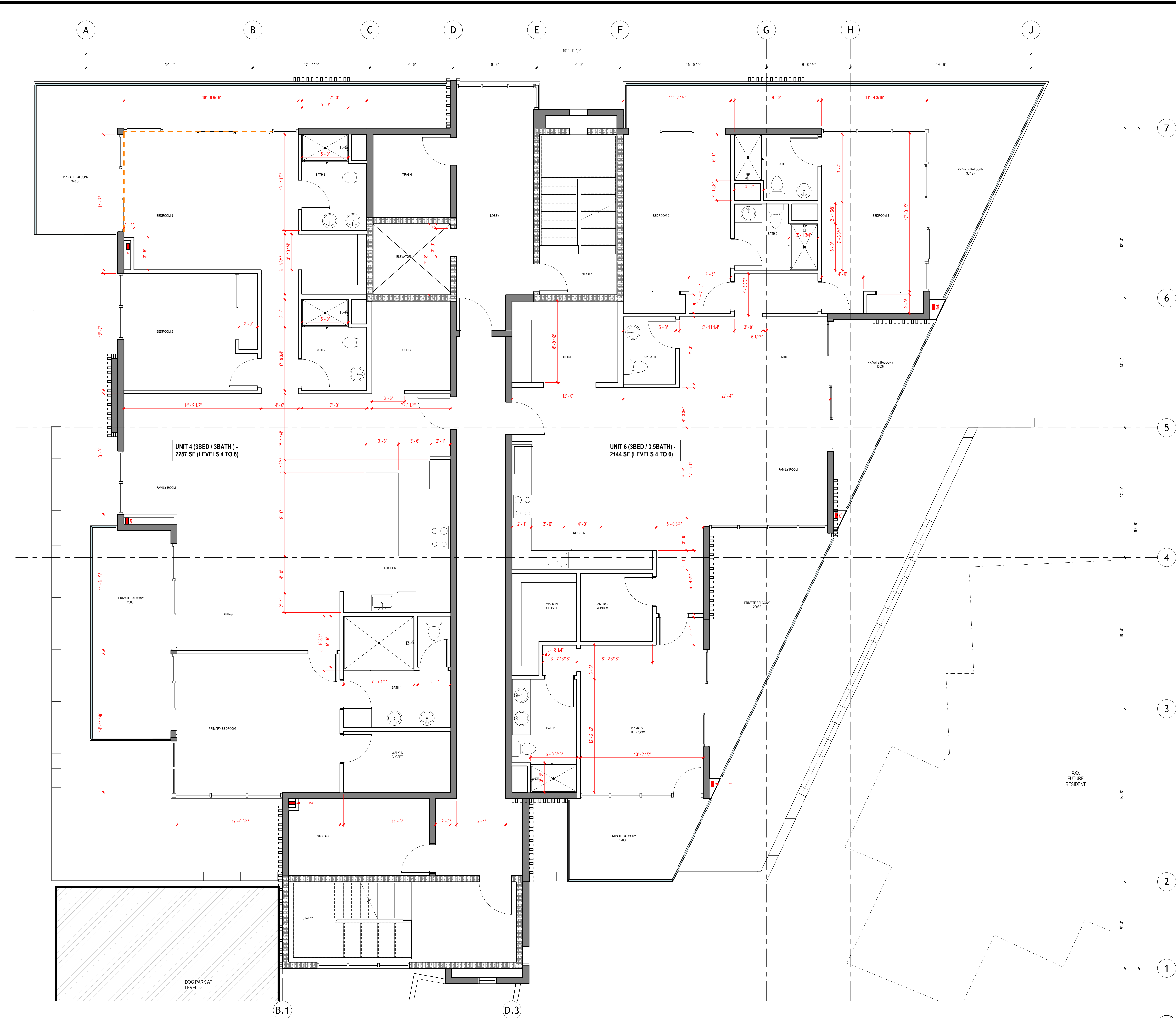
Sheet Title:

**LEVEL 4 - ENLARGED UNITS 4 & 6 PLAN**

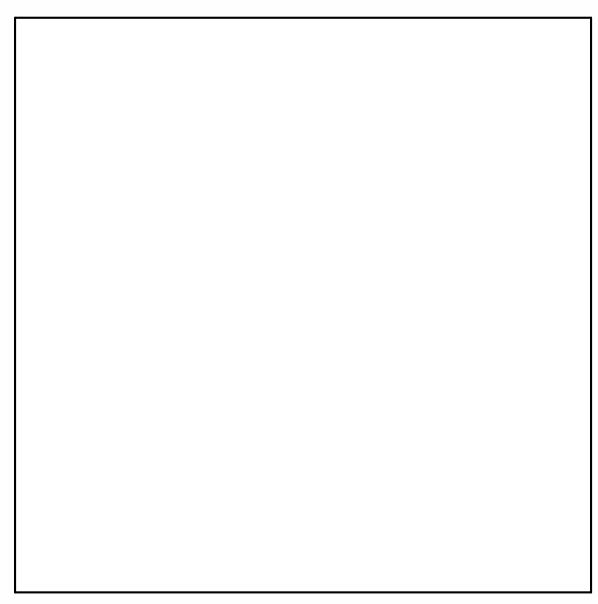
Sheet No.:

**A3.4**

**1 LEVEL 4 - ENLARGED UNITS 4 & 6 PLAN**  
1/4" = 1'-0"



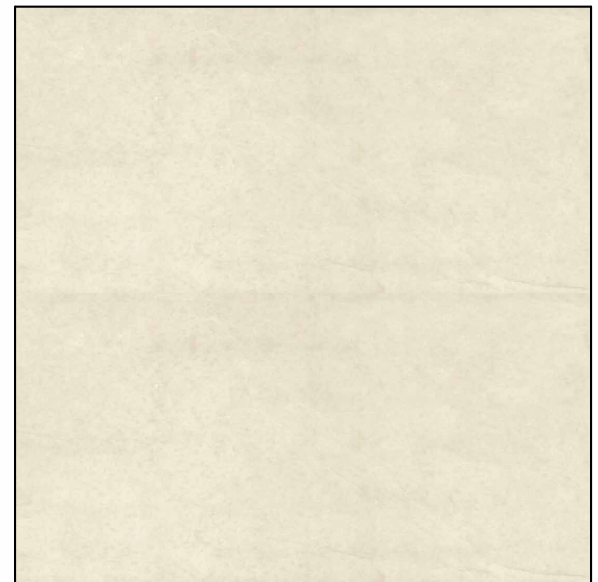
**KEYNOTES / COLOR & MATERIALS BOARD**



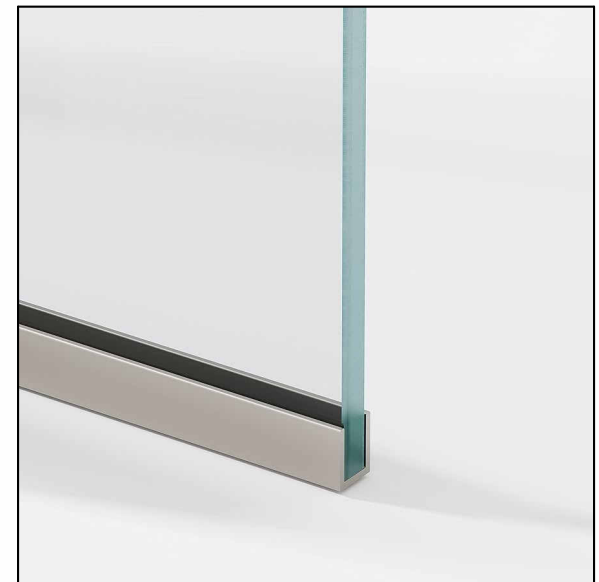
1 STUCCO WALL FINISH  
SHERWIN-WILLIAMS  
EXTRA WHITE SW 7006  
SAND FINISH



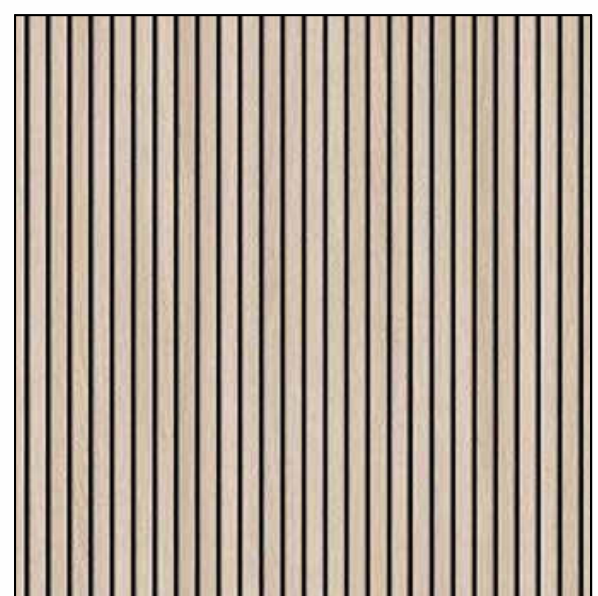
2 WINDOW / DOOR /  
NANA WALL FRAMES  
SHERWIN-WILLIAMS  
BLACK MAGIC SW 6991



3 STONE VENEER AT LEVEL 1  
DEKTON  
NATURAL COLLECTION  
SASEA



4 GLASS RAILING W/ PAINTED  
U-CHANNEL AT BALCONY  
SHERWIN-WILLIAMS  
MAGIC BLACK SW 6991



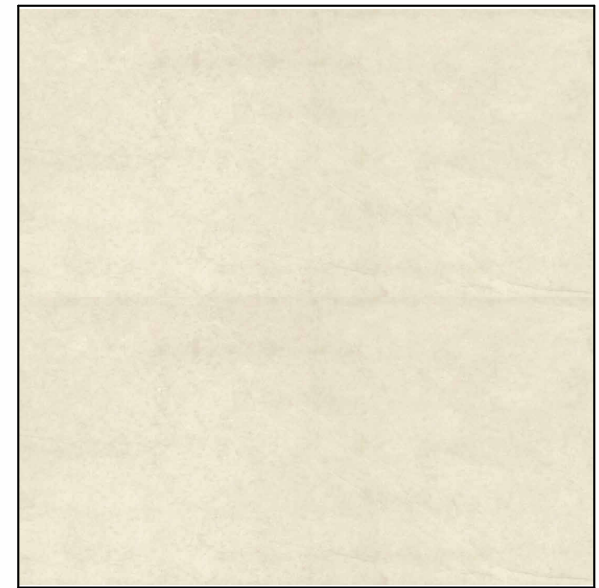
5 DECORATIVE PRESSURE TREATED  
2X WOOD SLATS AT EXTERIOR OF  
BUILDING



6 WOOD ACCENT PANELS AT  
UNDERSIDE OF CANOPY



7 STONE TILE FOR INDOOR /  
OUTDOOR FLOORING  
DEKTON  
DK NATURAL COLLECTION  
DANAЕ KAIROS



8 STONE VENEER AT LEVEL 1  
DEKTON  
NATURAL COLLECTION  
SASEA  
FOR RETAINING WALL



4 SOUTHWEST EXTERIOR ELEVATION  
1/8" = 1'-0"



1 SOUTHEAST EXTERIOR ELEVATION  
1/8" = 1'-0"

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Project:  
**OAK MEADOW CONDOS**

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

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Scale: As indicated

Drawn By: Author

Checked By: Checker

Sheet Title:

EXTERIOR ELEVATIONS, COLOR & MATERIALS BOARD

Sheet No.:

**A5.0**



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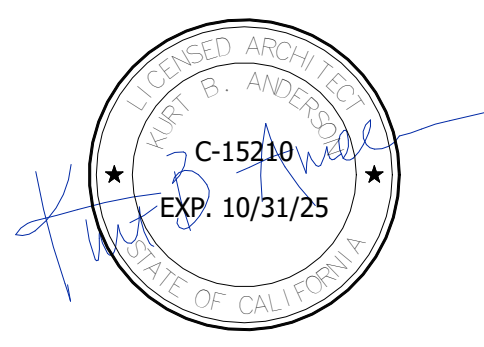
Project:  
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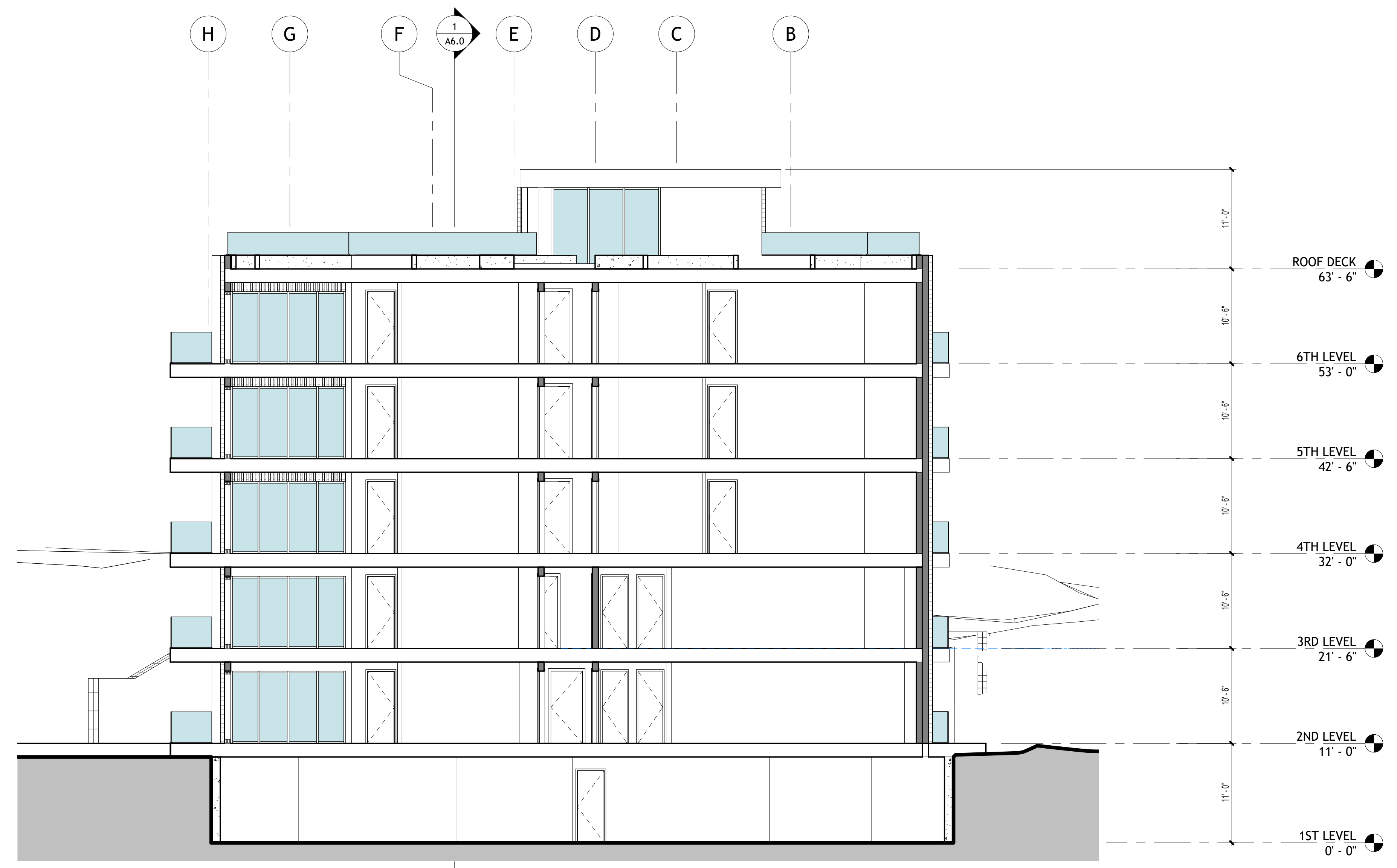
NO	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	01.10.2025

Scale: 1/8" = 1'-0"  
 Drawn By: Author  
 Checked By: Checker  
 Sheet Title:

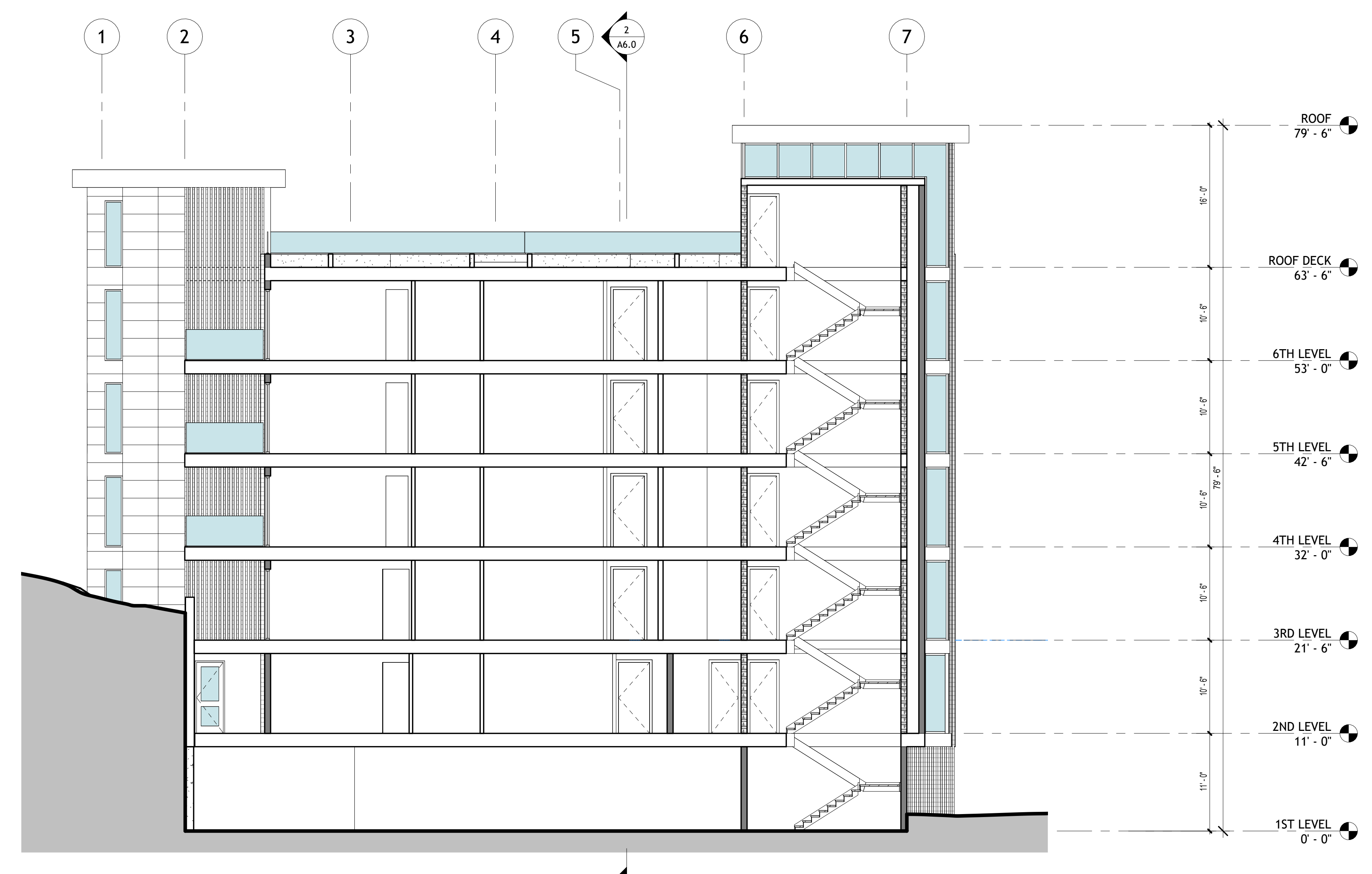
**BUILDING SECTIONS**

Sheet No.:

**A6.0**



② CROSS SECTION 2  
1/8" = 1'-0"



① CROSS SECTION 1  
1/8" = 1'-0"

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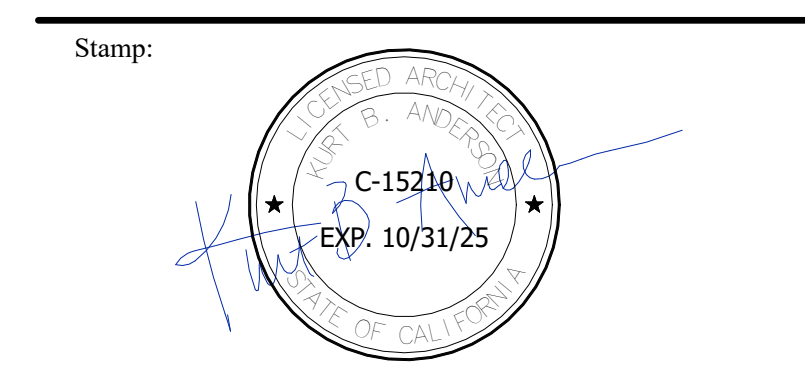
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Project:  
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 Checked By: Checker  
 Sheet Title:

AERIAL VIEWS

Sheet No.:

**A6.1**



AERIAL VIEW 3



AERIAL VIEW 1



AERIAL VIEW 2

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Project:  
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FRONT OF BUILDING

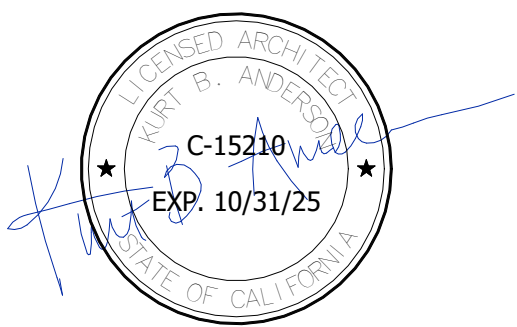


SIDE OF BUILDING



SIDE & BACK OF BUILDING

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	INITIAL SUBMITTAL	01.10.2025

Scale: 1/2" = 1'-0"

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Checked By: Checker

Sheet Title:

RENDERINGS

Sheet No.:

**A6.2**

File: X:\PROJECTS\Los Gatos Condos Job: OAK MEADOW CONDOS



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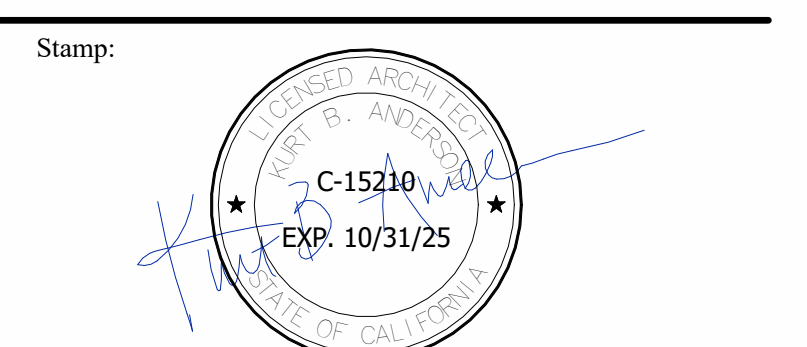
Client:  
**DOG FRIENDLY RENTALS, LLC**

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Project:  
**OAK MEADOW CONDOS**

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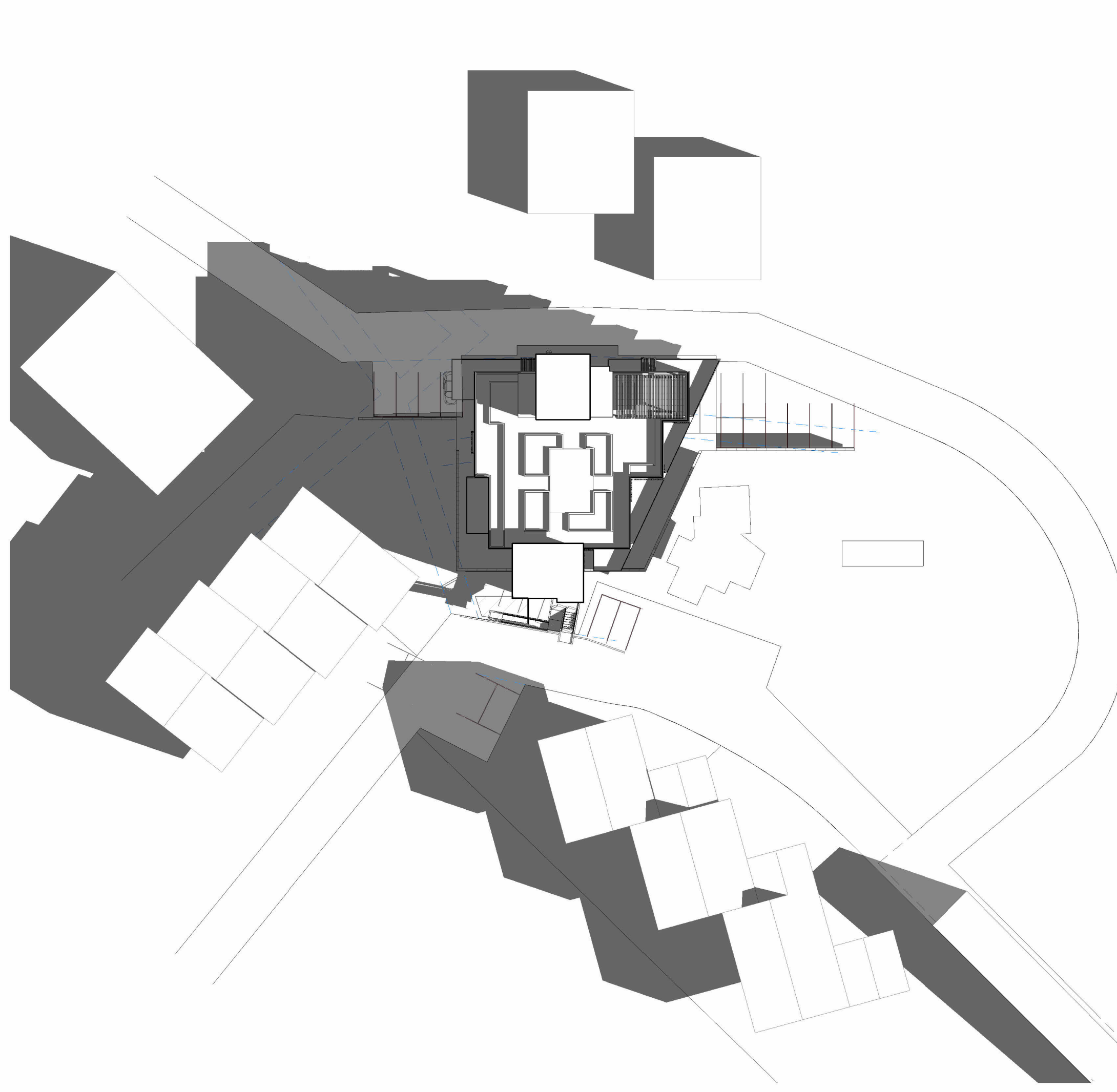
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 Drawn By: Author  
 Checked By: Checker  
 Sheet Title:

SHADOW STUDIES  
 Sheet No.:

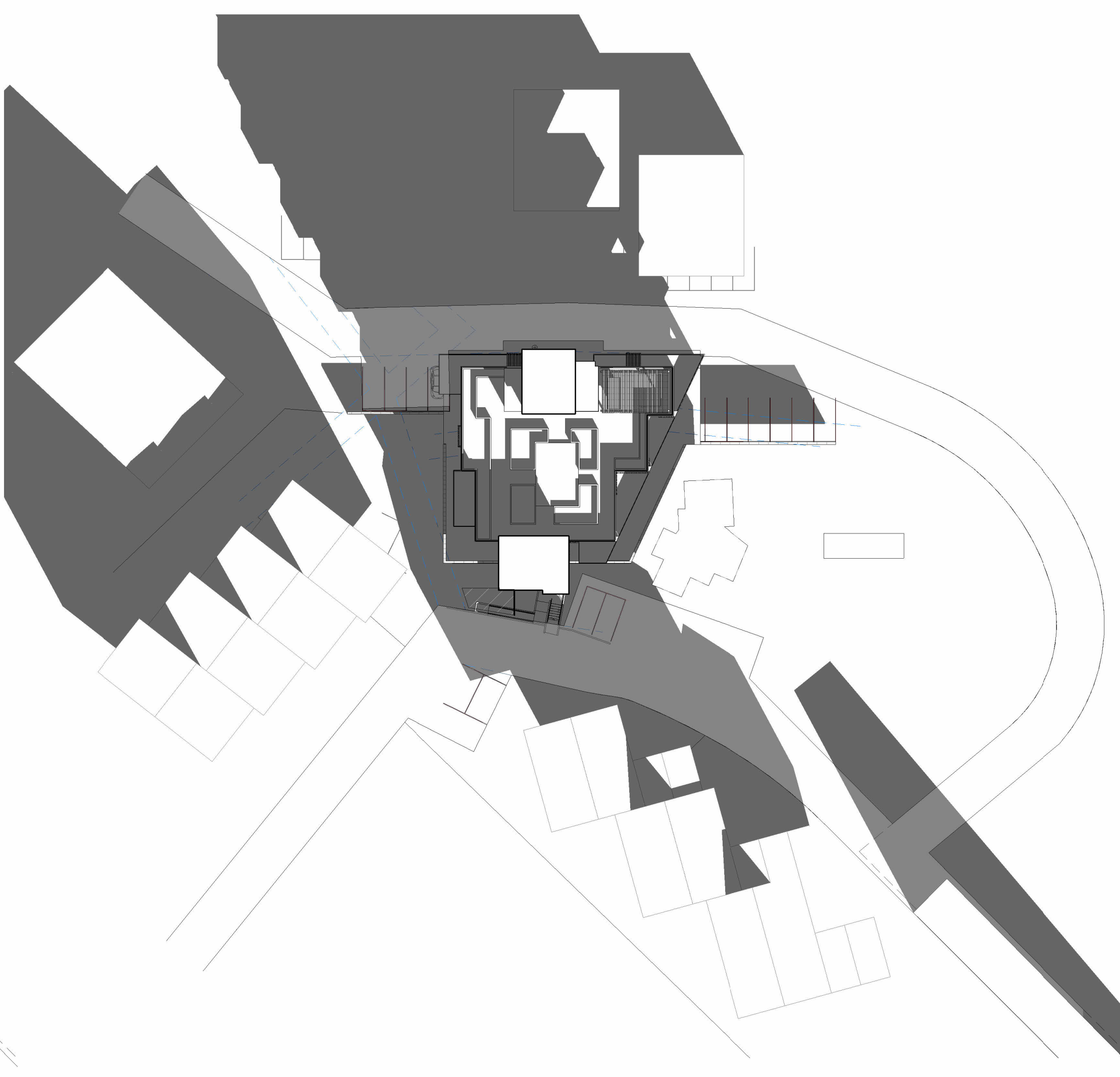
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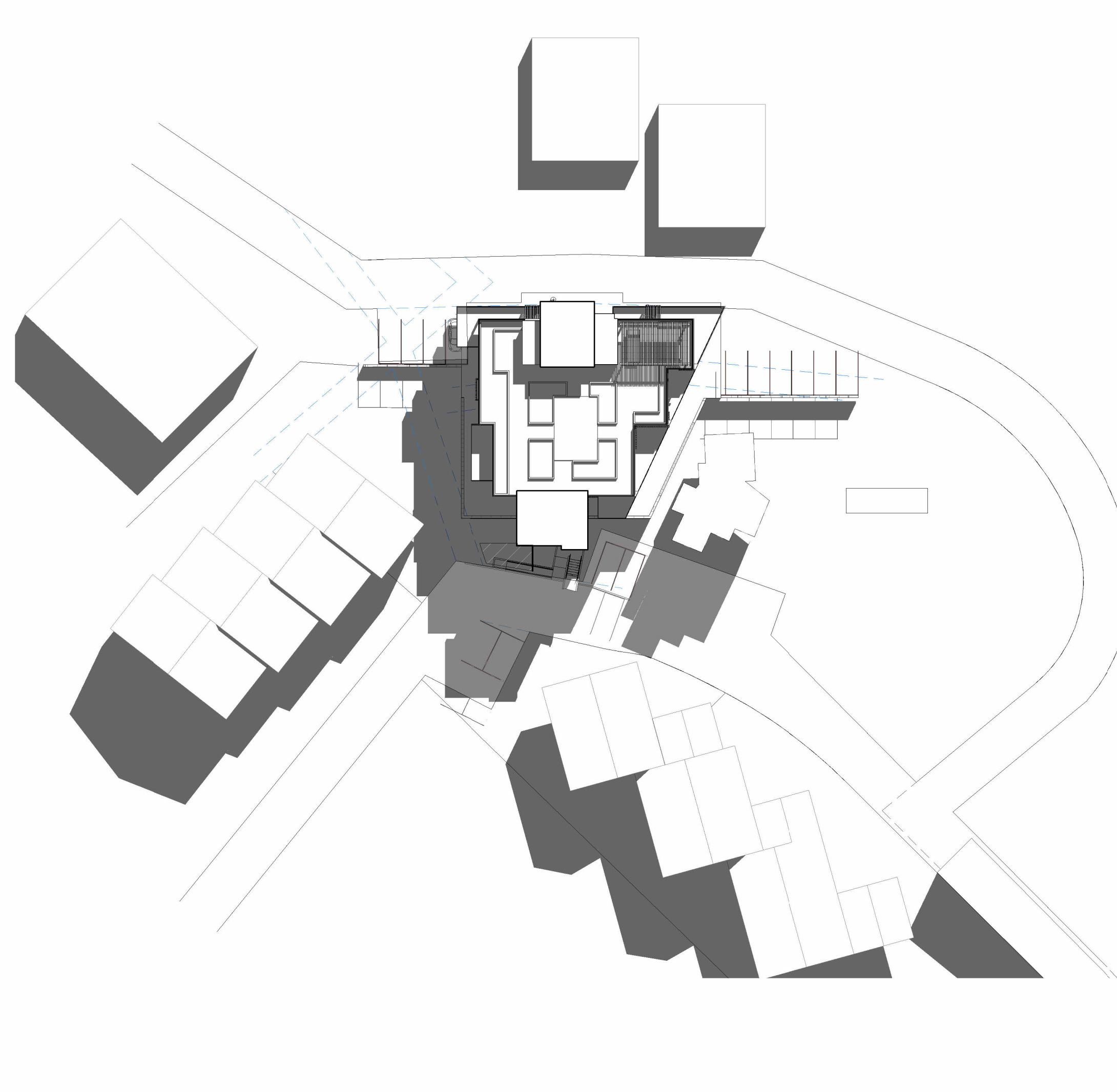
⑥ SHADOW STUDY - DECEMBER 21 AT 9AM  
 1" = 40'-0"



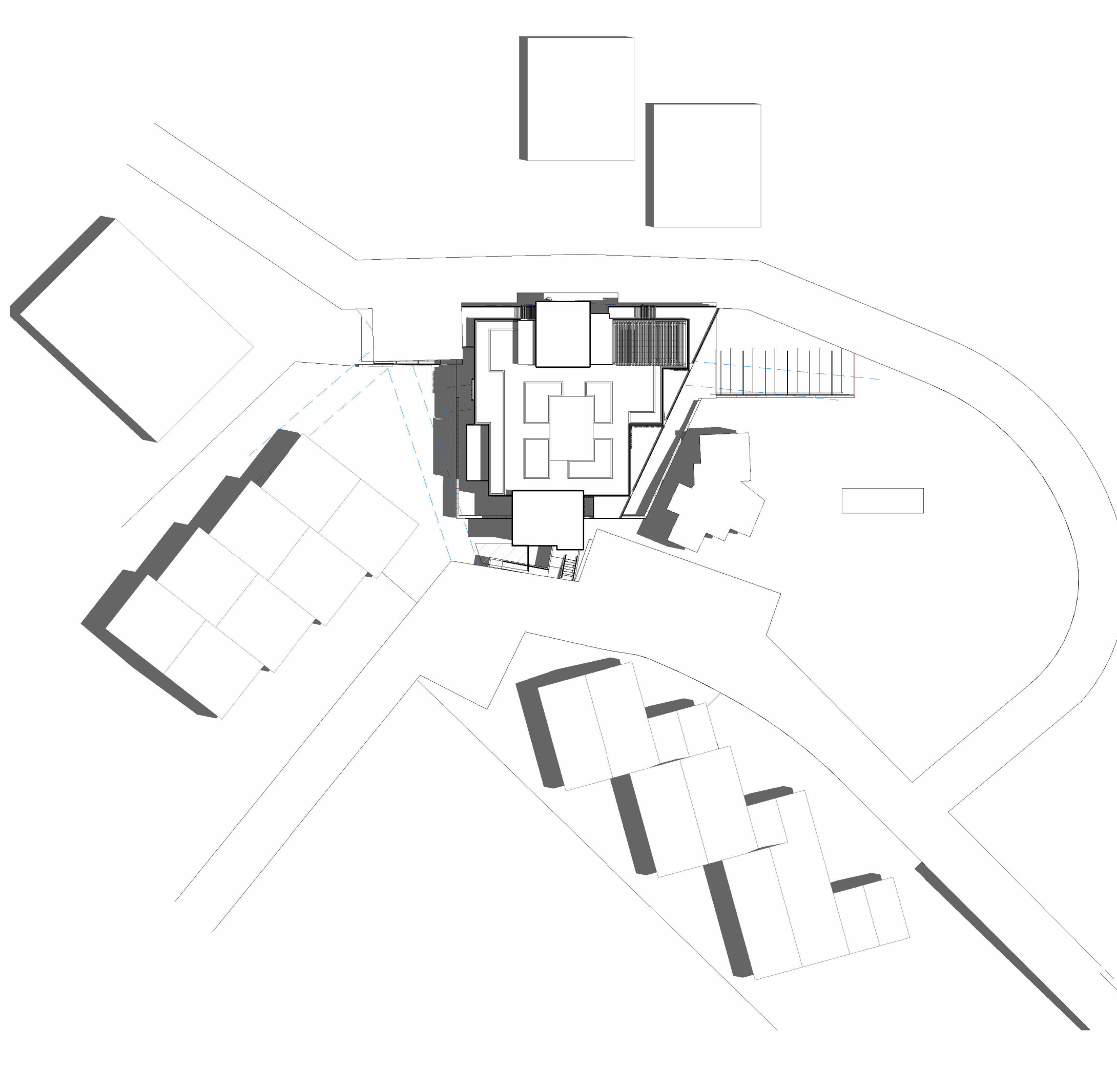
⑤ SHADOW STUDY - DECEMBER 21 AT NOON  
 1" = 40'-0"



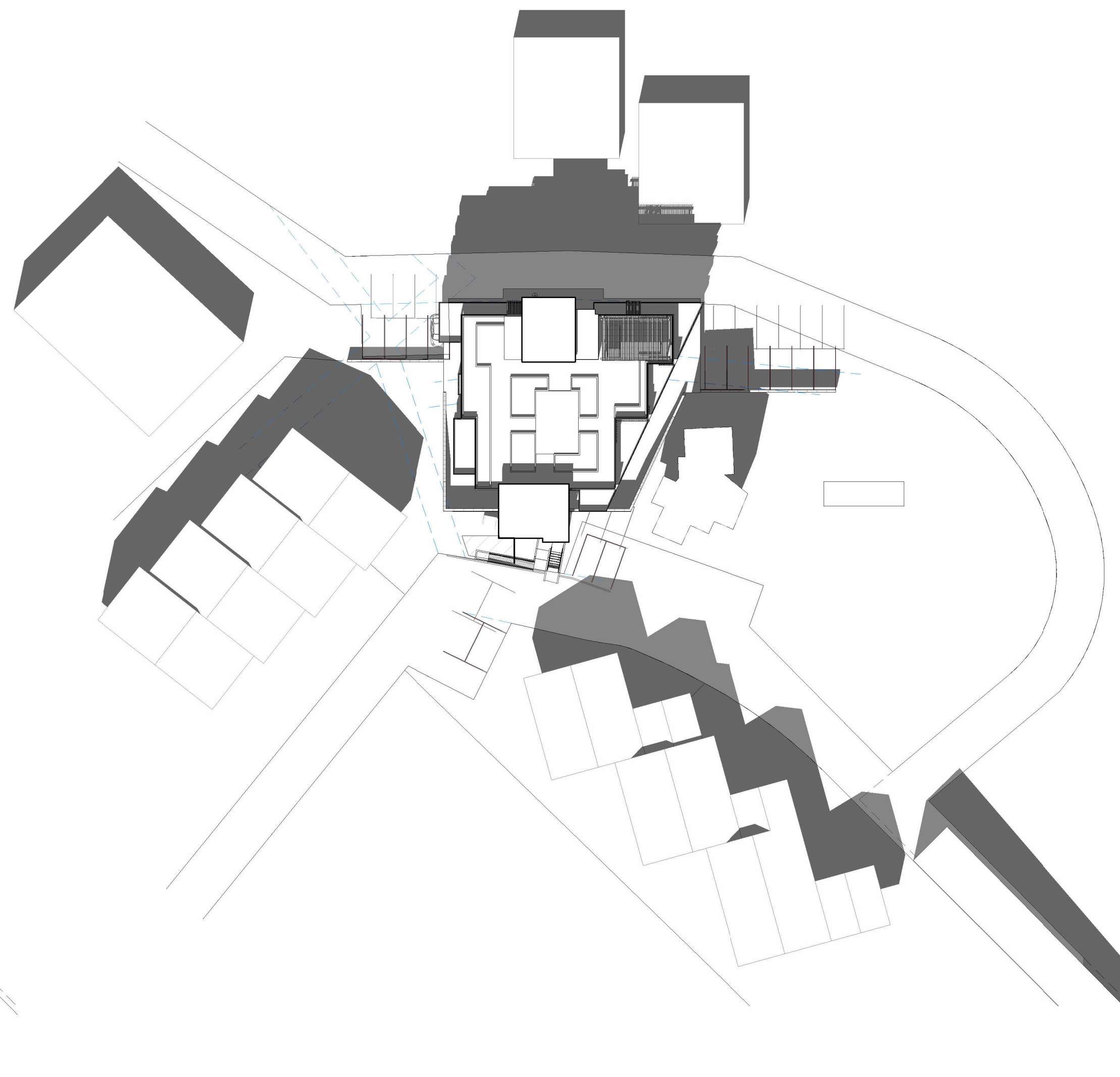
④ SHADOW STUDY - DECEMBER 21 AT 3PM  
 1" = 40'-0"



③ SHADOW STUDY - JUNE 21 AT 9AM  
 1" = 40'-0"



② SHADOW STUDY - JUNE 21 AT NOON  
 1" = 40'-0"



① SHADOW STUDY - JUNE 21 AT 3PM  
 1" = 40'-0"

# VESTING TENTATIVE PARCEL MAP - 235 OAK MEADOW DRIVE

CONSISTING OF 3 SHEETS

## ONR LOT SUBDIVISION FOR RESIDENTIAL CONDOMINIUM PURPOSES 235 OAK MEADOWS DRIVE LOS GATOS, CA

THE LANDS REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS GATOS, IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

### PARCEL 1:

LOT 12 AS SHOWN UPON THAT CERTAIN TRACT MAP ENTITLED, REGANCY COURT, WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON NOVEMBER 13, 1980, IN BOOK 475, AT PAGES 13, 14 AND 15.

### PARCEL 2:

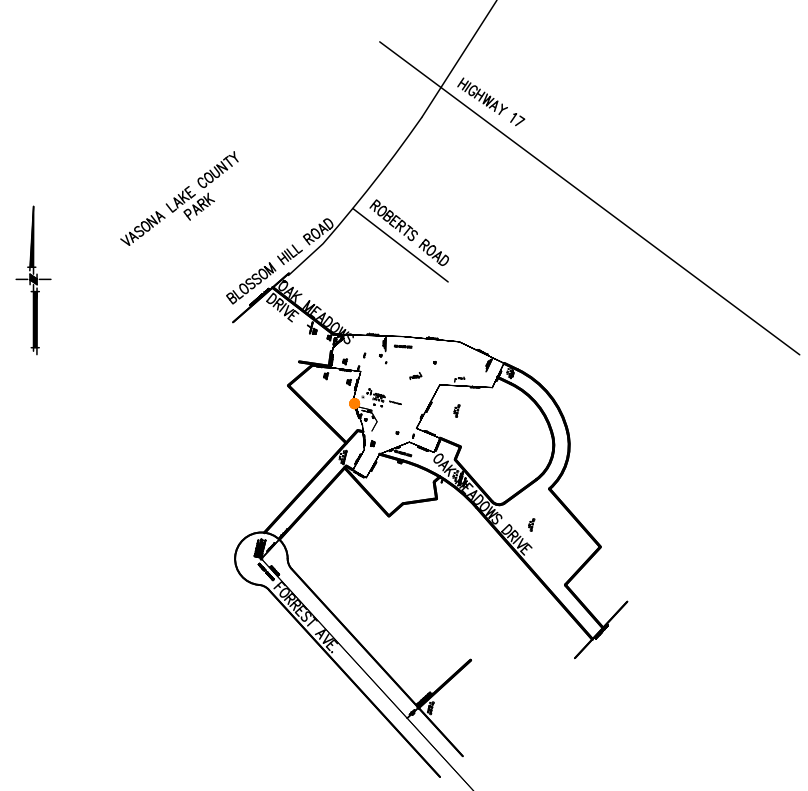
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS CREATED IN THE DEED FROM LOS GATOS MEDICAL CENTER, A CORPORATION, TO PETER FLORSHEIM, ET AL. RECORDED FEBRUARY 15, 1963, BOOK 5907 OFFICIAL RECORDS, PAGE 418, OVER A STRIP OF LAND 20 FEET WIDE, THE EASTERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO LOS GATOS MEDICAL CENTER, RECORDED AUGUST 10, 1961, BOOK 5260 OFFICIAL RECORDS, PAGE 223 AND DISTANT THEREON NORTH 68 DEGREES 05 MINUTES 25 SECONDS WEST 27.94 FEET FROM THE MOST EASTERLY CORNER THEREOF; THENCE FROM SAID POINT OF BEGINNING, SOUTH 10 DEGREES 43 MINUTES 10 SECONDS WEST 99.39 FEET; THENCE SOUTH 24 DEGREES 55 MINUTES 17 SECONDS EAST 82.19 FEET; THENCE SOUTH 21 DEGREES 21 MINUTES 10 SECONDS EAST 74.32 FEET TO THE INTERSECTION THEREOF WITH THE NORTHEASTERLY LINE OF THE 5.00 ACRE PARCEL OF LAND DESCRIBED IN THE DEED TO JAMES FORREST, RECORDED NOVEMBER 19, 1889 IN BOOK 121 OF DEEDS, PAGE 262 AND THE TERMINUS OF SAID EASTERLY LINE.

EXEMPTING THEREFROM THAT PORTION OF SAID EASEMENT THAT LIES WITHIN THE BOUNDS OF THE ABOVE MENTIONED LOT 12.

### PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES AS RESERVED IN THAT CERTAIN DEED TO E. MORGAN DEVELOPMENT CO., INC., RECORDED DECEMBER 12, 1980 IN BOOK F787, PAGE 516, OFFICIAL RECORDS AND AS CONTAINED AND DEFINED IN THAT CERTAIN DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED NOVEMBER 12, 1980 IN BOOK F724, PAGE 638, OFFICIAL RECORDS OVER LOTS A AND B AS SAID LOTS ARE SHOWN UPON THAT CERTAIN TRACT MAP ENTITLED TRACT 6737, REGANCY COURT WHICH FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON NOVEMBER 13, 1980 IN BOOK 475 OF MAPS, AT PAGES 13, 14 AND 15.



## VICINITY MAP N.T.S.

### BASIS OF BEARINGS:

BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ON BASED ON CENTER LINE OF FORREST AVE. BEING NORTH 00°45'00" EAST, AS SHOWN ON THAT CERTAIN TRACT MAP FILED FOR RECORD ON NOVEMBER 4, 2021, IN BOOK 943 OF MAPS AT PAGE 12 OFFICIAL RECORDS, COUNTY OF SANTA CLARA.

### LEGEND

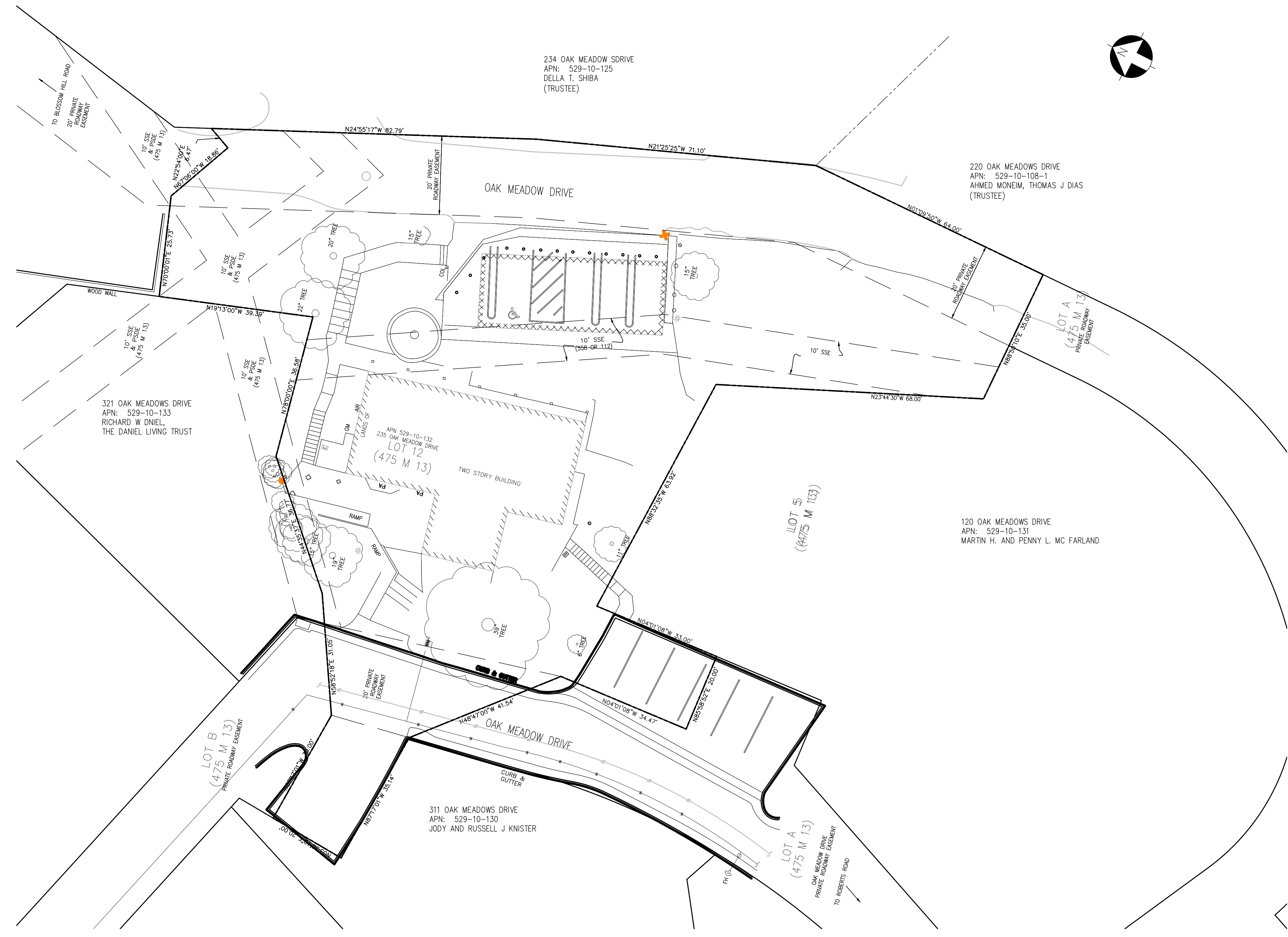
PROPOSED PROPERTY LINE	
EXISTING PROPERTY LINE	
CENTERLINE	
SET 3/4" IRON PIPE TAGGED "RCE 26429"	
STANDARD MONUMENT	
REFERENCE DOCUMENT	
	(D-1)

### FLOOD ZONE:

0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, ZONE X, FEMA MAP NO. 06085C0376H, DATED MAY 18, 2009.

### GENERAL NOTES

NAME:	OAK MEADOWS CONDOS LOS GATOS, CA 95032
OWNER:	DOG FRIENDLY RENTALS, LLC 235 OAK MEADOWS DRIVE LOS GATOS, CA 95032
SUBDIVIDER:	DOG FRIENDLY RENTALS, LLC 235 OAK MEADOWS DRIVE LOS GATOS, CA 95032
CIVIL ENGINEER:	V&H ENGINEERING, PC DAVID VOORHIES, P.E. 25705 TIERRA GRANDE DRIVE CARMEL, CA 93923 RCE 26429 EXPIRES 3-31-26
ASSESSORS PARCEL NUMBER:	APN 529-10-132
BOOK AND PAGE:	475 OF MAPS AT PAGE 13, 14 & 15 PARCEL 12
EXISTING USE:	OFFICE-PROFESSIONAL
PROPOSED USE:	RESIDENTIAL, MULTI-FAMILY
EXISTING ZONING:	O-PD
PROPOSED ZONING:	O-PD
GENERAL PLAN/LAND USE:	OFFICE-PROFESSIONAL
PROPOSED NUMBER OF RESIDENTIAL CONDOMINIUMS:	11
WATER:	SAN JOSE WATER COMPANY
SANITARY SEWER:	WEST VALLEY SANITATION DISTRICT
STORM DRAIN:	CITY OF LOS GATOS
GAS:	PG&E
ELECTRICAL:	PG&E
TELEPHONE:	AT&T
CABLE:	FRONTIER CABLE
EXISTING NUMBER OF LOT:	1
PROPOSED NUMBER OF LOTS:	1
TOTAL SITE ACREAGE (GROSS):	0.46± ACRES/19,859.8± SF
TOTAL SITE ACREAGE (NET):	0.32± ACRES/13,733.6± SF
EXISTING WELLS:	NONE
FAULT ZONE:	YES, BERROCAL FAULT ZONE



**Anderson**  
Architects Inc

kanderson@andarchinc.com  
Call: 408.202.5462

120 W. Campbell Ave. Suite D  
Campbell, CA 95008

Kurt B. Anderson, AIA  
Principal  
Tel. 408.371.1269  
Fax. 408.371.1276

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Project:  
**OAK MEADOW CONDOS**

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:  
**SITE & ARCHITECTURAL  
APPROVAL**

**V&H ENGINEERING**  
25705 TIERRA GRANDE DRIVE  
CARMEL, CA 93923  
408-472-5222

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Checked By: DBV      Checker

Sheet Title:

## TENTATIVE MAP

Sheet No.:  
**C1.0**

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Submitted for:

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408-472-5222

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Professional Engineer  
Civil  
State of California  
10-4-24

Issued For

NO	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	01/09/25

Scale: 1"=10'

Drawn By: **DBV** Author  
Checked By: **DBV** Checker  
Sheet Title:

**SITE PLAN**

Sheet No.:

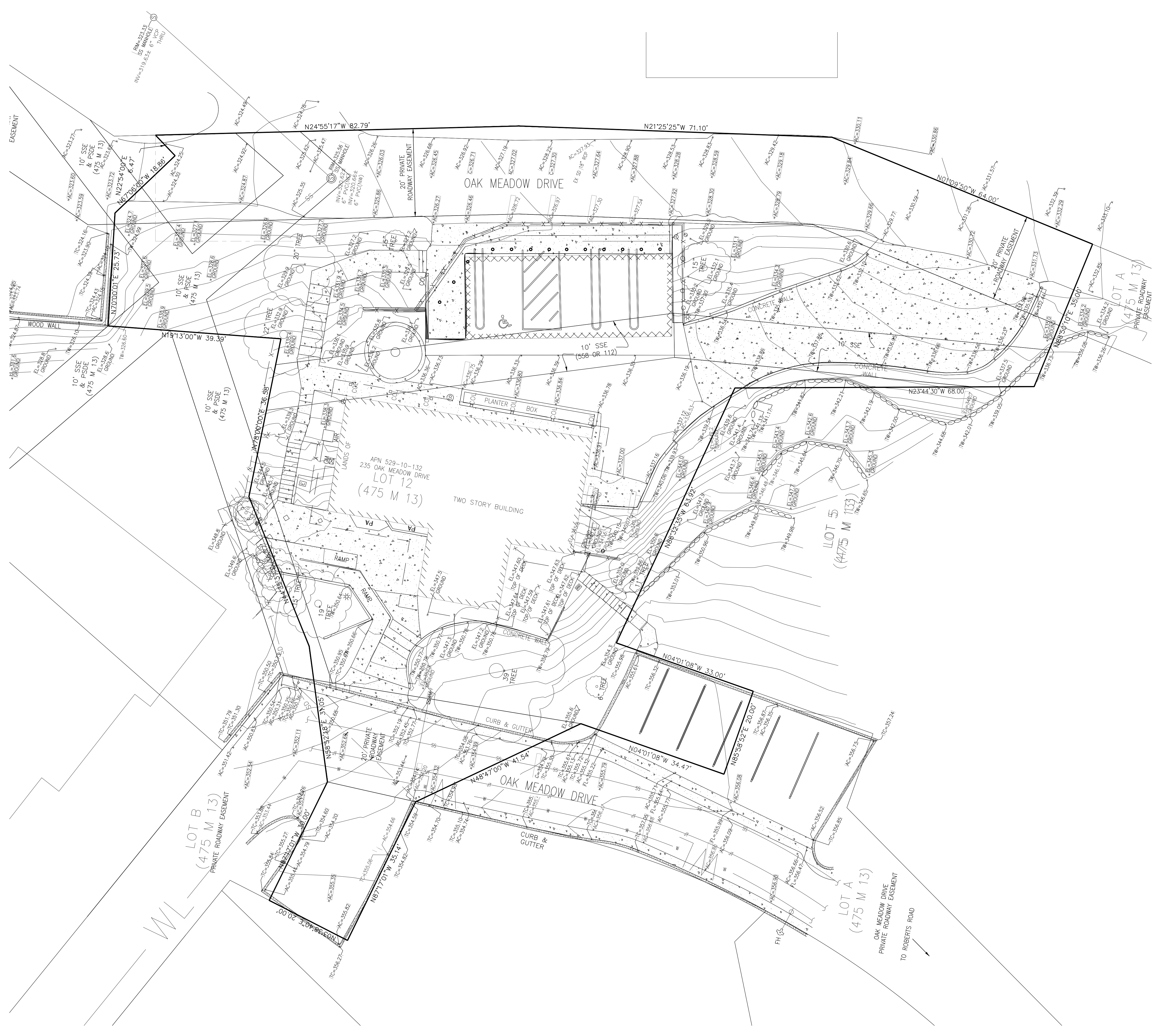
**C2.0**

**NOTES:**

- BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FORREST AVENUE BEING NORTH 20°45'00" EAST, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON NOVEMBER 4, 2021, IN BOOK 943 OF MAPS AT PAGE 12.
- DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- ELEVATIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF, AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE 10-FOOT WIDE SANITARY SEWER EASEMENTS AND PRIVATE STORM DRAIN EASEMENTS DESCRIBED IN THE DOCUMENTS RECORDED IN BOOK 558 OF OFFICIAL RECORDS, AT PAGES 110 AND 112 AND SHOWN HEREON ARE AS SHOWN ON (475 M 12). THESE EASEMENT LOCATIONS COULD NOT BE VERIFIED BASED ON THE DESCRIPTIONS PROVIDED IN THE DEEDS.
- SYMBOLS IN THE LEGEND AND MAP BODY ARE ICONS ONLY AND DO NOT NECESSARILY SHOW THE ACTUAL SIZE OR SHAPE OF THE FEATURES THEY REPRESENT.
- ALL RECORD DOCUMENT REFERENCES ARE TO DOCUMENTS FILED IN THE OFFICIAL RECORDS OF SANTA CLARA COUNTY.

**LEGEND:**

- CONCRETE SURFACE
- WOOD DECK
- BUILDING
- BUILDING OVERHANG/COVERED WALKWAY
- CONCRETE CURB & GUTTER
- FENCE
- CONCRETE EDGE
- CONCRETE WALL UNLESS NOTED OTHERWISE
- STONE WALL
- AREA DRAIN
- AREA DRAIN
- CATCH BASIN
- ELECTRIC PULLBOX
- FIBER OPTIC PULLBOX
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION VALVE
- IRRIGATION BOX
- LIGHT POLE
- METER AS NOTED
- SEWER CLEANOUT
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- ASPHALT PAVEMENT ELEVATION
- AIR CONDITIONER
- CE
- CE
- COLUMN
- DRINKING FOUNTAIN
- FIRE HYDRANT
- FLOWLINE ELEVATION
- GAS METER
- PLANTER AREA
- RIM ELEVATION
- SANITARY SEWER
- STORM DRAIN
- TOP OF CURB ELEVATION
- TRENCH DRAIN
- TOP OF GRATE ELEVATION
- WATER METER



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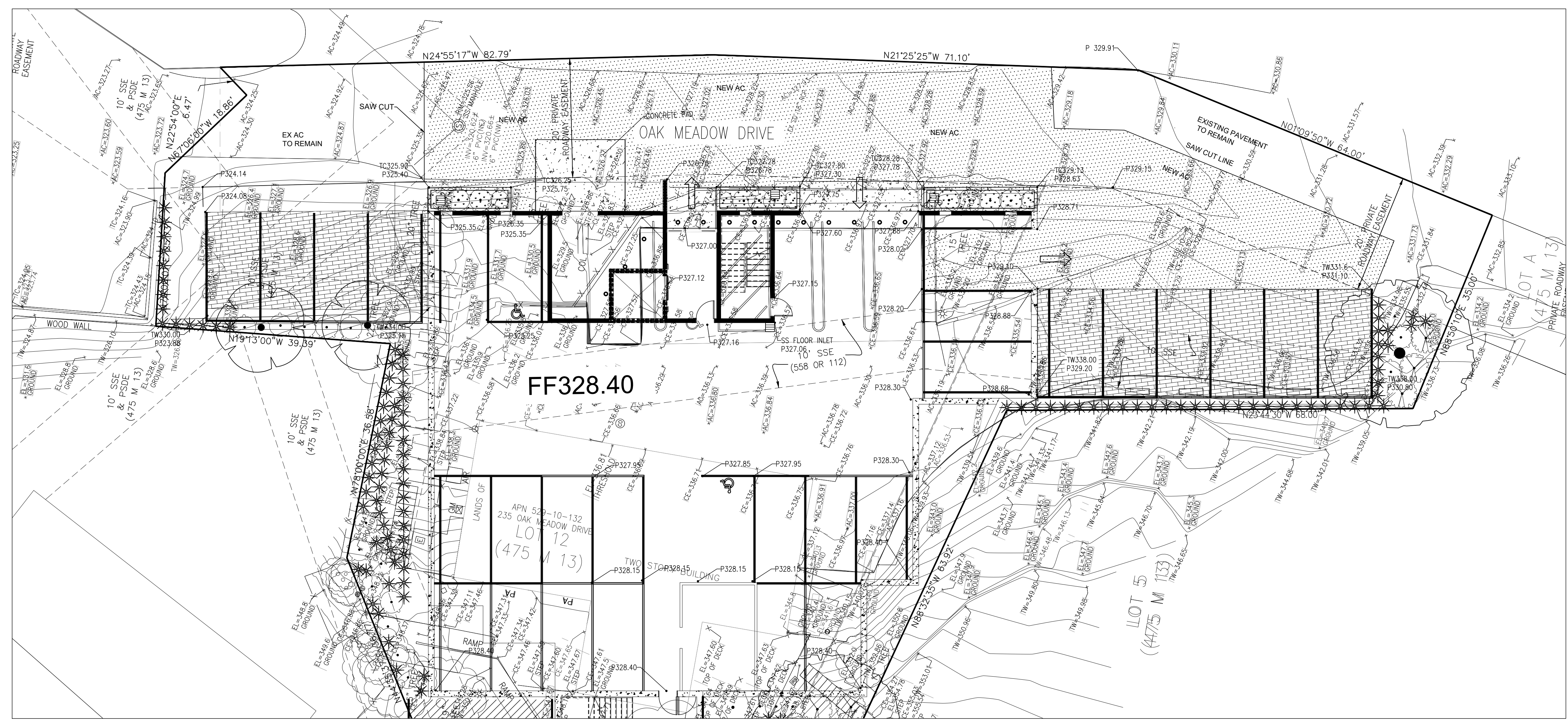
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Checked By: DBV                 Checker  
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**GRADING PLAN**  
Sheet No:  
**C3.0**

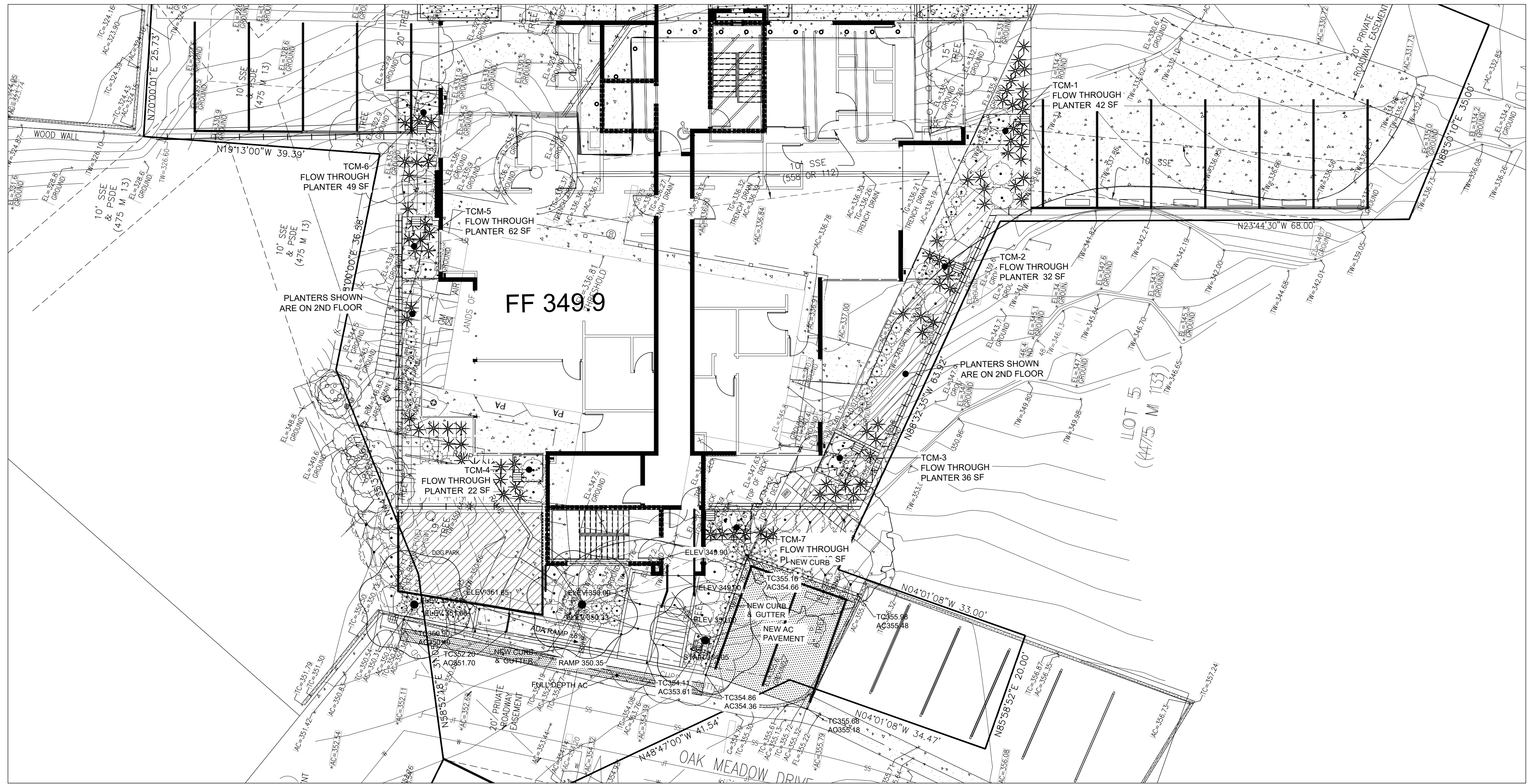
File: X:\PROJECTS\Los Gatos Condos     Job: OAK MEADOW CONDOS

**GENERAL PROJECT NOTES**

- THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.
- ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN. PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY THE ENGINEER, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.
- WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- MAXIMUM CROSS SLOPE ON ANY WALK IS 2%.
- MAXIMUM SLOPE OF THE CURB RAMPS IS 8.33%.
- REPLACE FRONT DOOR THRESHOLD SO HEIGHT DOES NOT EXCEED 3/4" HIGH WITH 1/4" BEVEL.



**PARKING LEVEL AND LOWER SITE**



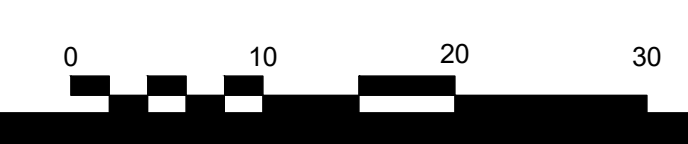
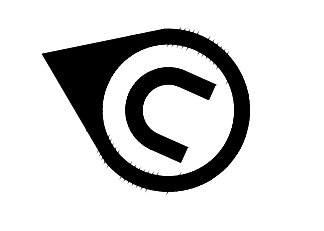
**2ND FLOOR PLANTER AND 3RD FLOOR SITE**

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	G	GROUND
AD	AREA DRAIN	GB	GRADE BREAK
BC	BEGIN CURVE	HDBD	HEADERBOARD
BLDG COR	BUILDING CORNER	INV	INVERT ELEVATION
C/CONC	CONCRETE	IEI	INVERT ELEVATION IN
CB	CATCH BASIN	IEO	INVERT ELEVATION OUT
CLF	CHAIN LINK FENCE	IEI	INVERT ELEVATION THRU
CMU	CONCRETE MASONRY WALL	LG	LIP OF GUTTER
EC	EDGE OF CONCRETE	LS	LANDSCAPING
EL	ELECTRIC	MH	MAINTENANCE HOLE
EP	EDGE OF PAVEMENT	POC	POINT ON CURVE
FC	FACE OF CURB	RTWL	RETAINING WALL
FF	FINISH FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TEL	TELEPHONE
FNC	FENCE	TOP	TOP OF SLOPE
FOD	FULL OF DEBRIS	TYP	TYPICAL
		WD	WOOD

**GENERAL LEGEND**

	PERMISSIBLE PAVERS BELGRADE AQUILINE COLOR VICTORIAN
	CONCRETE





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Client:  
**DOG FRIENDLY RENTALS, LLC**

235 OAK MEADOW DR., LOS GATOS, CA 95032

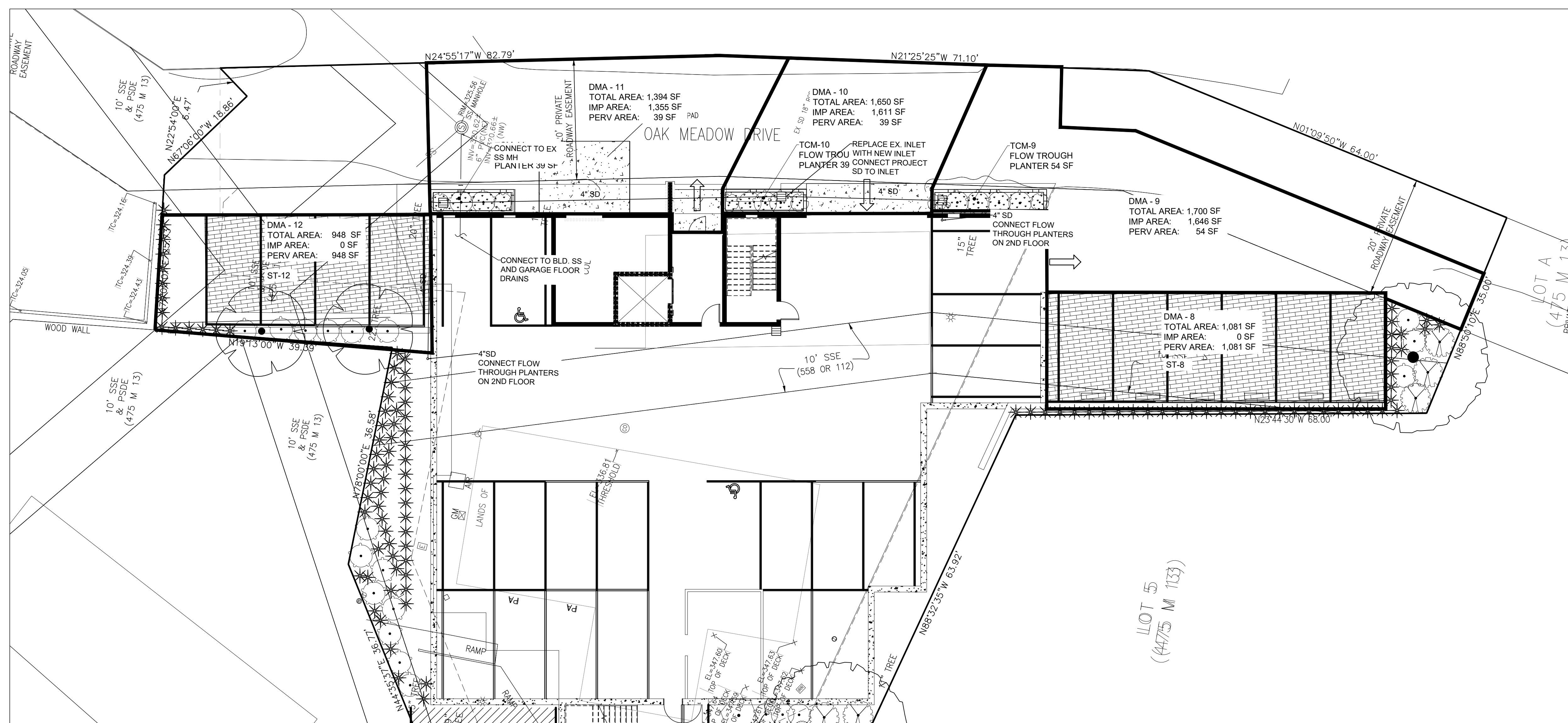
Project:  
**OAK MEADOW CONDOS**

235 OAK MEADOW DR., LOS GATOS, CA 95032

Submitted for:

**SITE & ARCHITECTURAL APPROVAL**

**V&H ENGINEERING**  
25705 TIERRA GRANDE DRIVE  
CARMEL, CA 93923  
408-472-5222



- BIORETENTION & FLOW-THROUGH PLANTER NOTES:**
- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
  - PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS AND SIDE SLOPES.
  - SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
  - CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
  - A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
  - DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

**PLAN LEGEND**

TREATMENT CONTROL MEASURE (FLOW THROUGH PLANTERS)

DRAINAGE MANAGEMENT AREA LIMITS

PERMEABLE PAVERS

**L.I.D. ACRONYMS**

<b>DMA-01</b>	DRAINAGE MANAGEMENT AREA (BIORETENTION AREA)
<b>ST-01</b>	SELF-TREATMENT AREA
<b>TCM-01</b>	TREATMENT CONTROL MEASURE

**TREATMENT NOTES**

**STANDARD STORMWATER CONTROL NOTES:**

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

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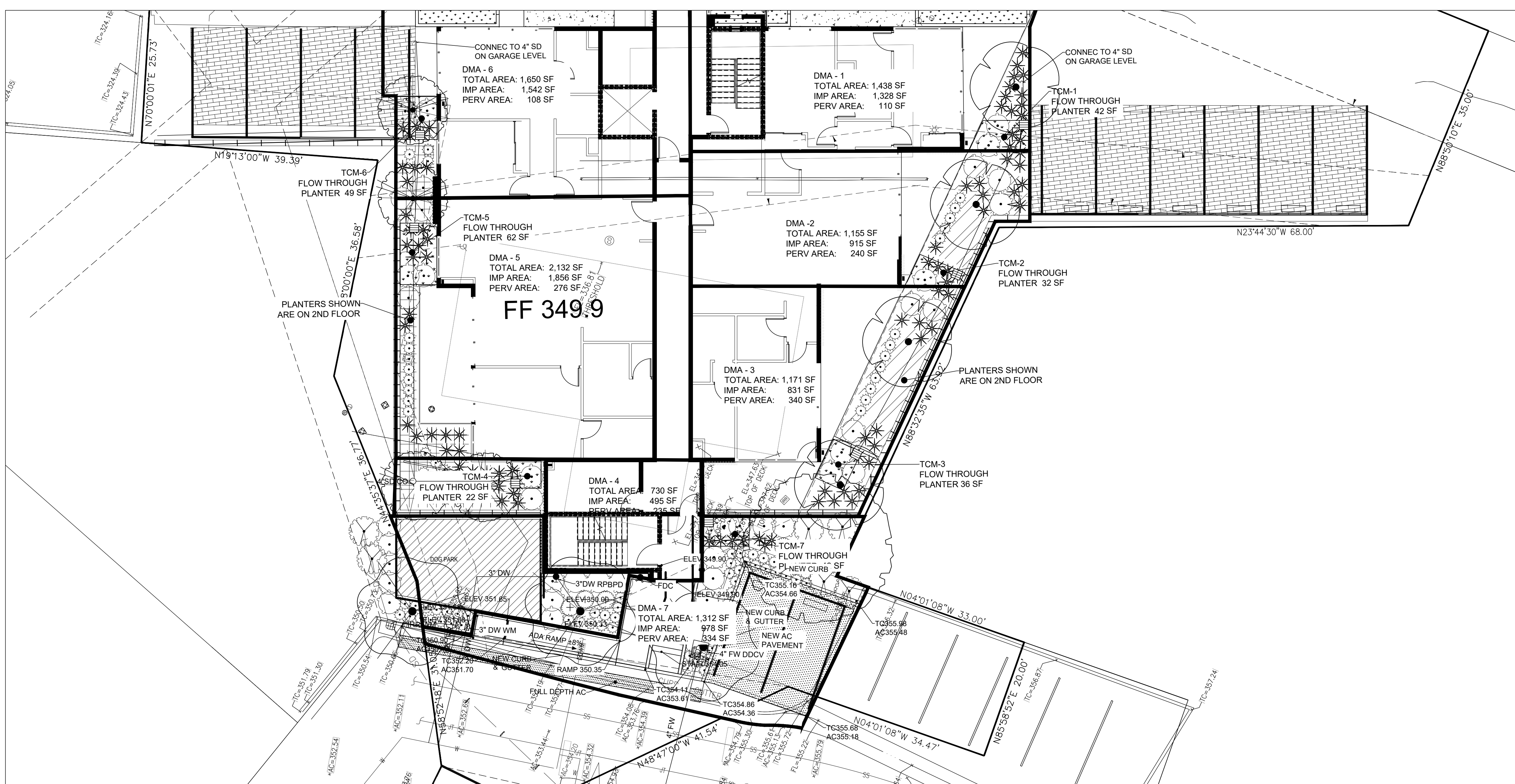
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Sheet No.:

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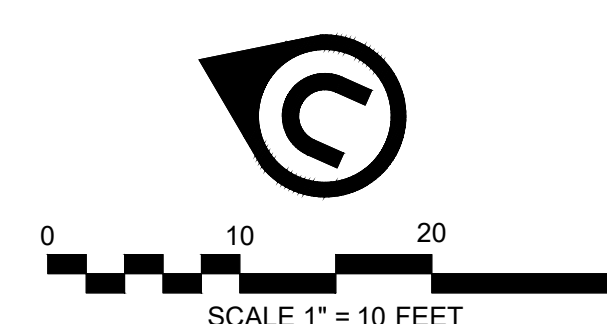
**PARKING LEVEL AND LOWER SITE**



**STORM DRAINAGE NOTE**  
 STORM DRAINAGE PIPING IN THE BELOW GRADE GARAGE IS SPECIFIED ON THE PLUMBING DRAWINGS AND IS REVIEWED AS PART OF THE BUILDING PERMIT AND IS TO BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT..

**STORM NOTES:**

- ALL ONSITE PVC STORM PIPE WITHIN LANDSCAPE AREAS TO BE SDR 35 UNLESS OTHERWISE NOTED.
- ALL ONISTE PVC STORM PIPE WITHIN VEHICULAR TRAVEL WAY TO BE SDR 26 UNLESS OTHERWISE NOTED.
- ALL PVC STORM PIPE TO CONCRETE CONNECTION TO BE DONE BY WATER STOP PER CITY STANDARD DETAIL D-19.



**2ND FLOOR PLANTER AND 3RD FLOOR SITE**



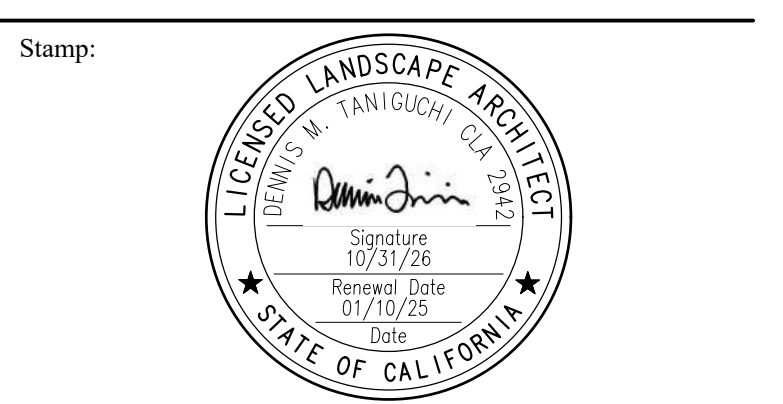
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Client:  
 Client Name

Project:  
 OAK MEADOW CONDORS

Submitted for:  
**ENTITLEMENT**

**Taniguchi Landscape Architecture**  
 1013 South Claremont St., Ste 1  
 San Mateo, CA 94402  
 v. 650.638.9985 | f. 650.638.9986  
 CLA #2942



Issued For

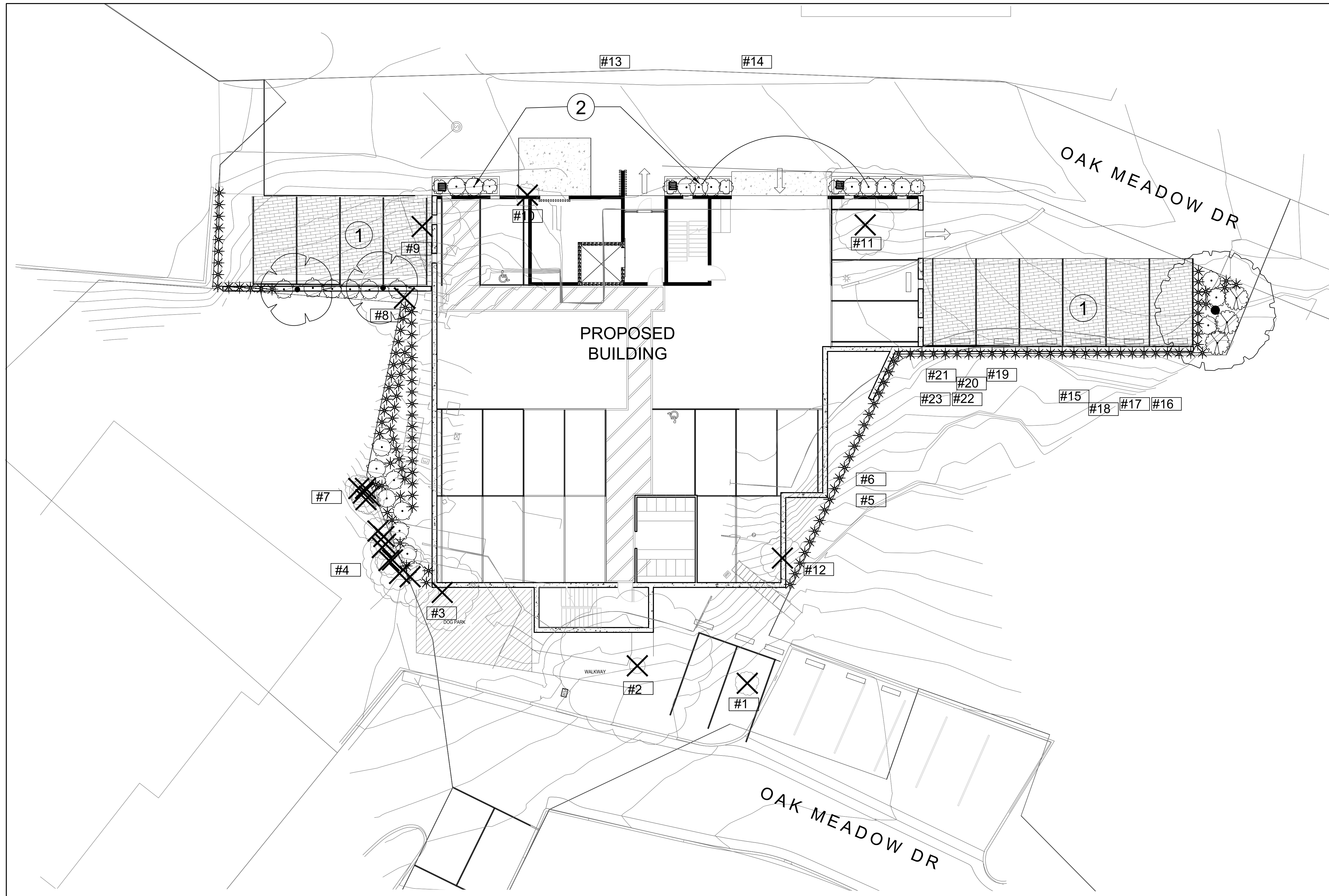
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 Sheet Title:

**LANDSCAPE PLAN  
 STREET LEVEL**

Sheet No.:

**L-1**

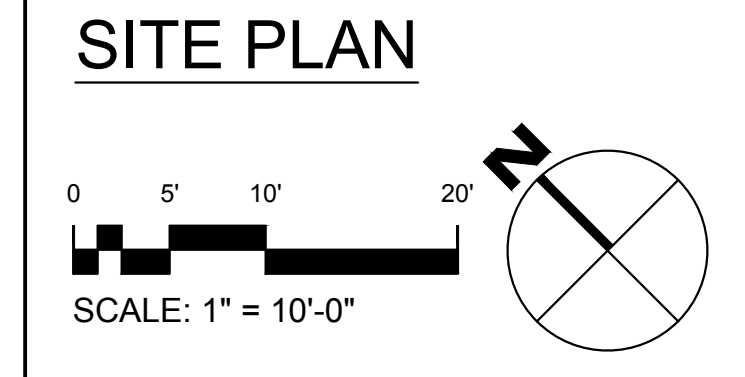


**LEGEND**

X EXISTING TREE TO BE REMOVED

#99 EXISTING TREE NUMBER-SEE ARBORIST REPORT

- KEY NOTES: PROPOSED IMPROVEMENTS**
- ① PERMEABLE PRECAST CONCRETE PAVERS-SEE CIVIL ENG PLANS
  - ② STORMWATER TREATMENT AREA ( FLOW-THROUGH RAISED PLANTER)-SEE CIVIL ENG PLANS



**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS
<b>TREES</b>							
	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24"	Box	L	2	Stormwater species-SCVWD list
	QUE AGR	Quercus agrifolia / Coast Live Oak	24"	Box	VL	1	CA Native   replacement tree
<b>SHRUBS</b>							
	ACE CLG	Acer circinatum 'Little Gem' / Little Gem Vine Maple	5 gal.	Can	L	6	CA Native/Stormwater species-SCVWD list
	ARC THH	Arctostaphylos x 'Howard McMinn' / Howard McMinn Manzanita	5 gal.	Can	L	3	
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	129	CA Native/Stormwater species-SCVWD list
	RHA MOU	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal.	Can	L	26	CA Native/Stormwater species-SCVWD list



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**LANDSCAPE PLAN**  
**SECOND LEVEL**

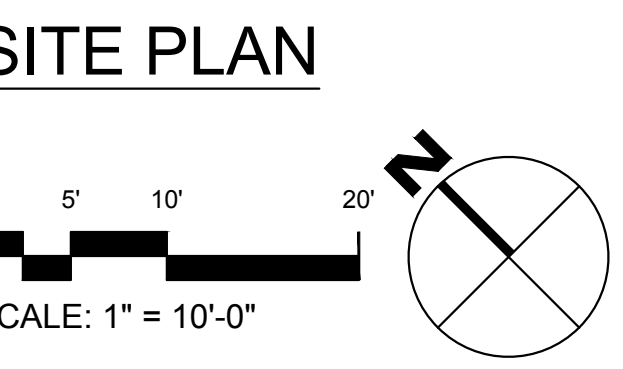
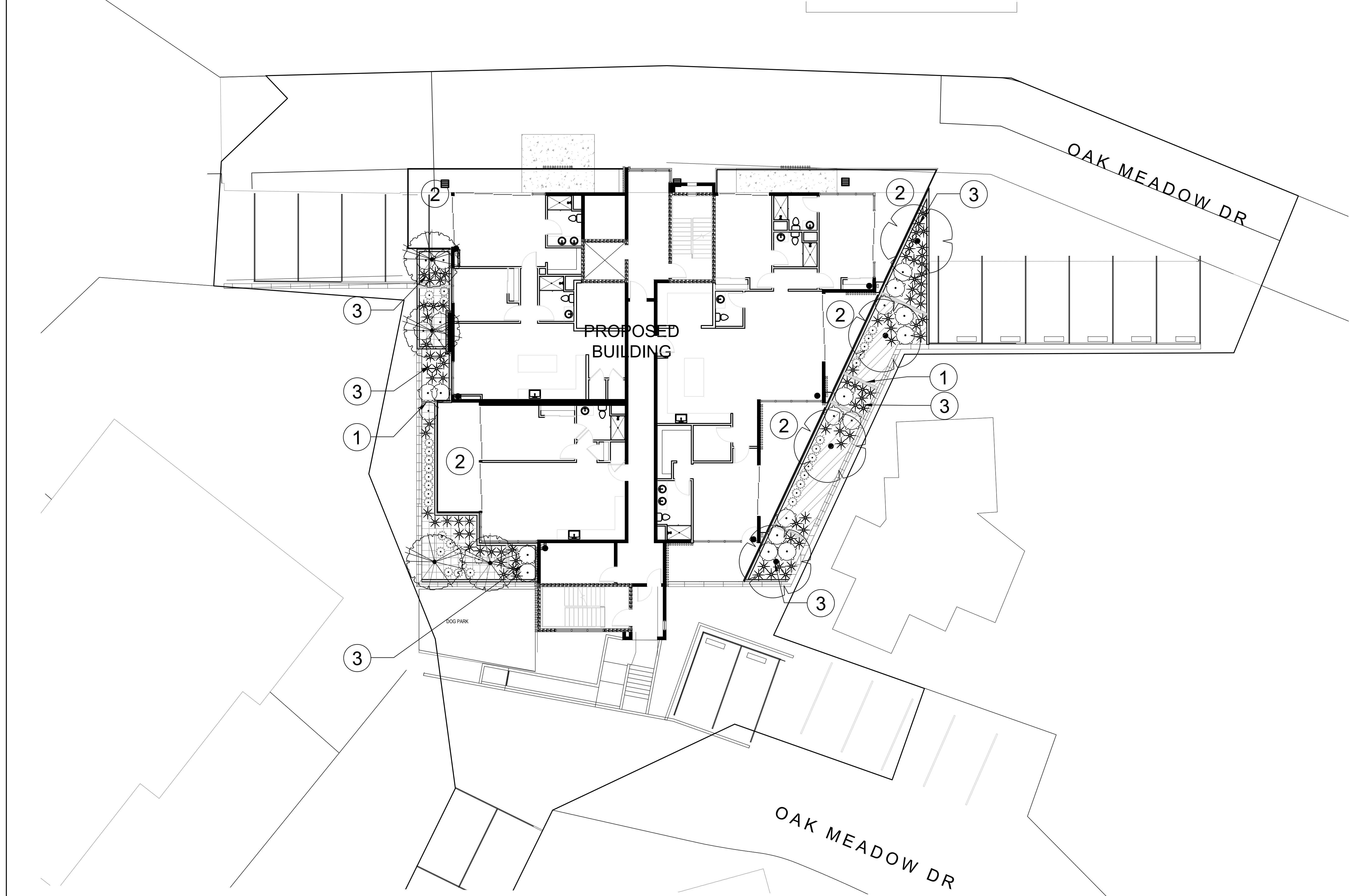
Sheet No.:

**L-2**

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**KEY NOTES: PROPOSED IMPROVEMENTS**

- ① RAISED PLANTER WALLS
- ② COVERED PATIO
- ③ STORMWATER TREATMENT AREA (FLOW-THROUGH PLANTER) SEE CIVIL ENG PLANS



**PLANT SCHEDULE**

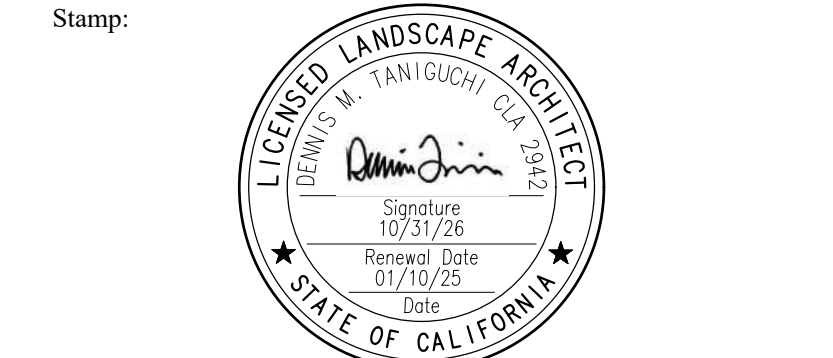
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS	
<b>TREES</b>								
	CER OCC	Cercis occidentalis / Western Redbud	24"	Box	VL	4	CA Native   stormwater species-SCVWD list	
	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24"	Box	L	4	Stormwater species-SCVWD list	
<b>SHRUBS</b>								
	DIE BIC	Dietes bicolor / Fortnight Lily	1 gal.	Field Grown	L	33		
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	84	CA Native/Stormwater species-SCVWD list	
	RHA MOU	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal.	Can	L	22	CA Native/Stormwater species-SCVWD list	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	SPACING	QTY	REMARKS
<b>GROUND COVERS</b>								
	COP KIR	Coprosma kirkii / Creeping Mirror Plant	1 gal.	Can	L	2.5' o.c.	5,489	
	COT BEA	Cotoneaster dammeri 'Coral Beauty' / Coral Beauty Cotoneaster	1 gal.	Can	L	2.5' o.c.	5,968	

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Client:  
 Client Name \_\_\_\_\_  
 Project:  
 OAK MEADOW CONDORS

## ENTITLEMENT

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 San Mateo, CA 94402  
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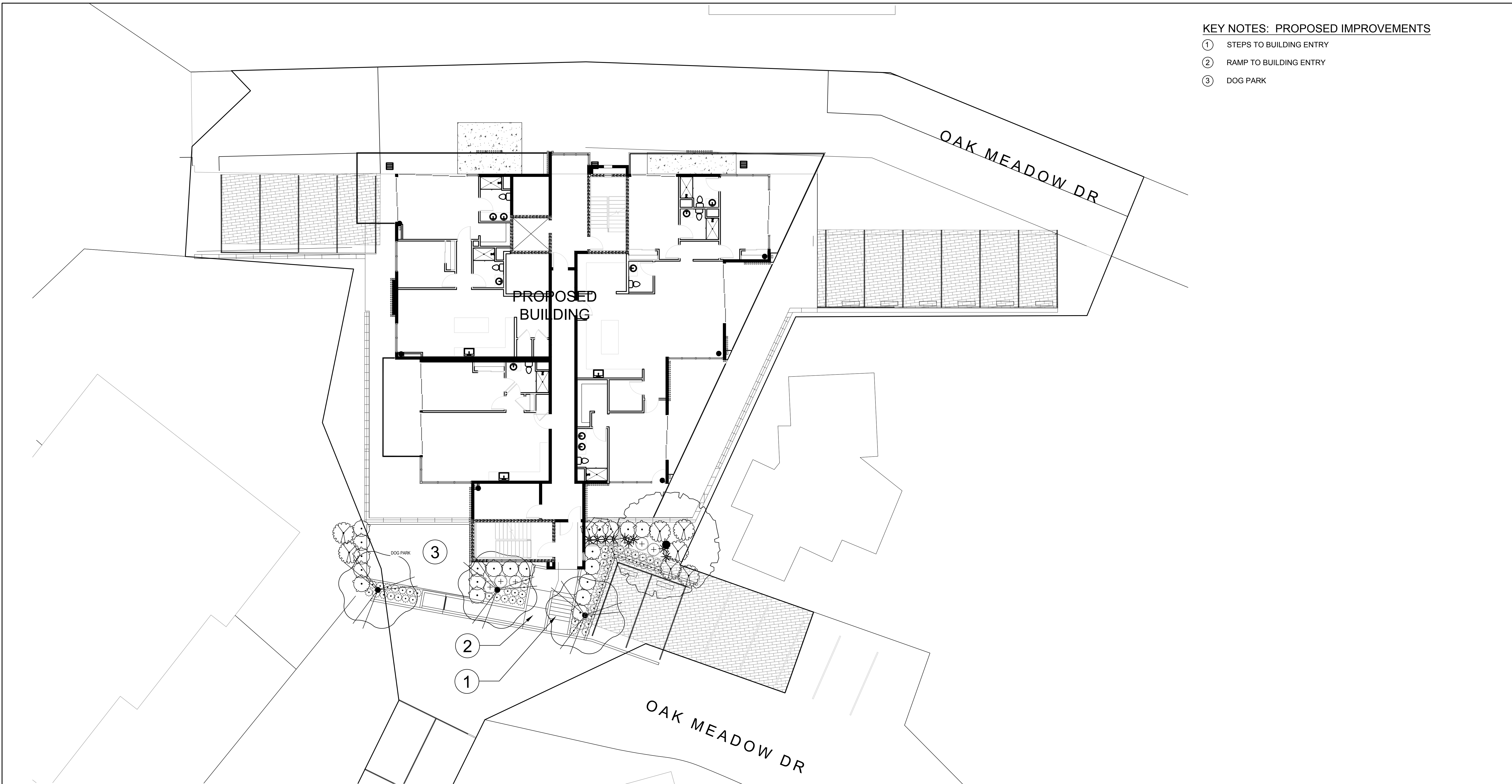
## LANDSCAPE PLAN THIRD LEVEL

Sheet No.: \_\_\_\_\_

**L-3**

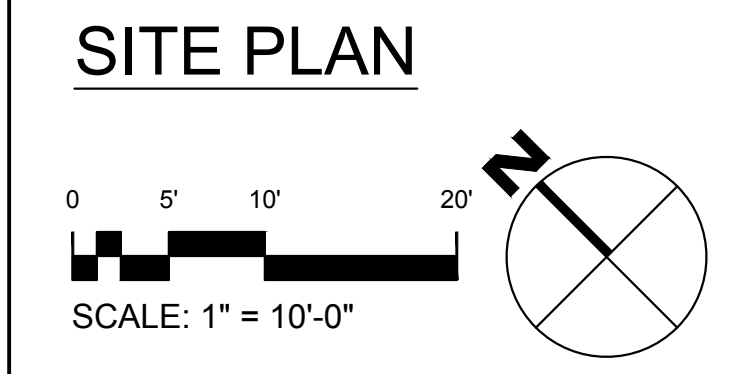
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- KEY NOTES: PROPOSED IMPROVEMENTS**
- ① STEPS TO BUILDING ENTRY
  - ② RAMP TO BUILDING ENTRY
  - ③ DOG PARK



### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS	
<b>TREES</b>								
[Symbol]	CER OCC	Cercis occidentalis / Western Redbud	24"	Box	VL	4	CA Native   stormwater species-SCVWD list	
[Symbol]	LAG N40	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24"	Box	L	3		
[Symbol]	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24"	Box	L	4	Stormwater species-SCVWD list	
[Symbol]	QUE AGR	Quercus agrifolia / Coast Live Oak	24"	Box	VL	1	CA Native   replacement tree	
<b>SHRUBS</b>								
[Symbol]	ARC THH	Arctostaphylos x 'Howard McMinn' / Howard McMinn Manzanita	5 gal.	Can	L	7		
[Symbol]	CEA XSK	Ceanothus x 'Skylark' / Skylark Wild Lilac	5 gal.	Can	L	1	CA Native	
[Symbol]	DIE BIC	Dietes bicolor / Fortnight Lily	1 gal.	Field Grown	L	87		
[Symbol]	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	93	CA Native/Stormwater species-SCVWD list	
[Symbol]	RHA MOU	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal.	Can	L	43	CA Native/Stormwater species-SCVWD list	
[Symbol]	SAL WIN	Salvia clevelandii 'Winnifred Gilman' / Winnifred Gilman Cleveland Sage	1 gal.	Can	L	5		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	SPACING	QTY	REMARKS
<b>GROUND COVERS</b>								
[Symbol]	COP KIR	Coprosma kirkii / Creeping Mirror Plant	1 gal.	Can	L	2.5" o.c.	5,489	
[Symbol]	COT BEA	Cotoneaster dammeri 'Coral Beauty' / Coral Beauty Cotoneaster	1 gal.	Can	L	2.5" o.c.	5,968	



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 Client Name

Project:  
 OAK MEADOW CONDORS

Submitted for:

**ENTITLEMENT**

**Taniguchi Landscape Architecture**  
 1013 South Claremont St., Ste 1  
 San Mateo, CA 94402  
 v.650.638.9985 | f.650.638.9986  
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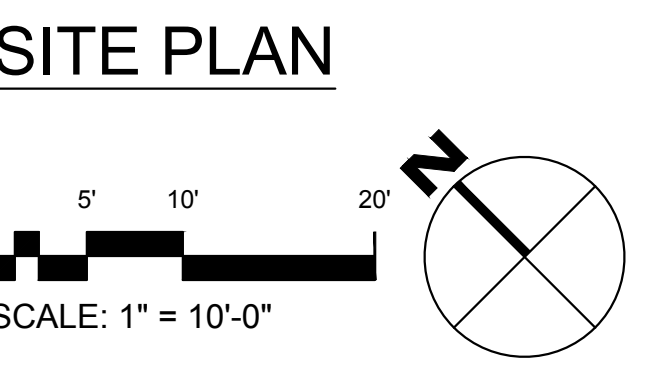
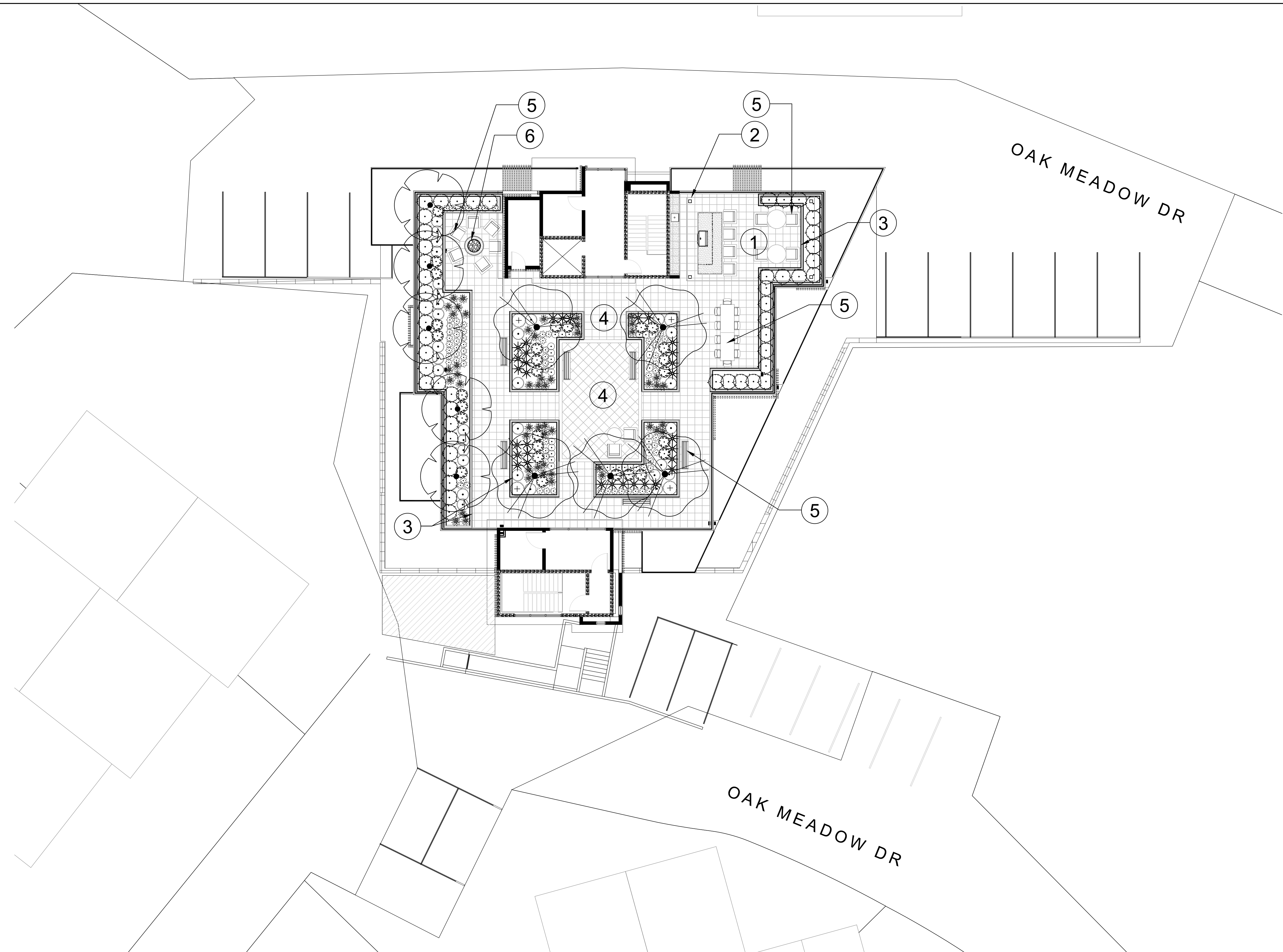
**LANDSCAPE PLAN  
 ROOF LEVEL**

Sheet No.:

**L-4**

**KEY NOTES: PROPOSED IMPROVEMENTS**

- ① BBQ AREA UNDER TRELIS
- ② TRELIS (OVER)-SEE ARCHITECTURE DRAWINGS
- ③ RAISED PLANTER WALLS
- ④ PEDESTAL PAVERS
- ⑤ SITE FURNITURE
- ⑥ FIRE PIT



**SITE PLAN**

0 5' 10' 20'  
 SCALE: 1" = 10'-0"

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS
<b>TREES</b>							
[Symbol]	LAG N40	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24"	Box	L	5	
[Symbol]	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24"	Box	L	5	Stormwater species-SCVWD list
<b>SHRUBS</b>							
[Symbol]	CHO ELE	Chondropetalum elephantinum / Large Cape Rush	5 gal.	Can	L	50	Stormwater species-SCVWD list
[Symbol]	ERI MOE	Erigeron karvinskianus 'Moerheimii' / Pink Santa Barbara Daisy	1 gal.	Can	L	68	CA Native/Stormwater Species
[Symbol]	IRI CA2	Iris douglasiana PCH 'Canyon Snow' / Canyon Snow Iris	1 gal.	Can	L	51	
[Symbol]	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	32	CA Native/Stormwater species-SCVWD list
[Symbol]	LIM PER	Limonium perezii / Statice	1 gal.	Can	L	28	
[Symbol]	SAL WIN	Salvia clevelandii 'Winnifred Gilman' / Winnifred Gilman Cleveland Sage	1 gal.	Can	L	4	
[Symbol]	SIS ROC	Sisyrinchium bellum 'Rocky Point' / Rocky Point Blue-eyed Grass	1 gal.	Can	VL	30	CA Native/Stormwater species-SCVWD list
[Symbol]	VER LIL	Verbena lilacina 'De la Mina' / De la Mina Lilac Verbena	5 gal.	Can	L	31	

**Anderson Architects INC**  
Kurt B. Anderson, AIA Principal  
120 W. Campbell Ave. Suite D Campbell, CA 95008  
Tel: 408.371.1269 Fax: 408.371.1276

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Client:   
Client Name:   
Project:   
OAK MEADOW CONDOS

Submitted for:   
  
ENTITLEMENT

Taniguchi Landscape Architecture  
1013 South Claremont St. Ste 1 San Mateo, CA 94402  
v 650.638.9985 | f 650.638.9986  
CLA #2942

Stamp:   


Issued For

NO	DESCRIPTION	DATE
0	INITIAL SUBMITTAL	01.10.2025

Scale:   
1" = 10'-0"

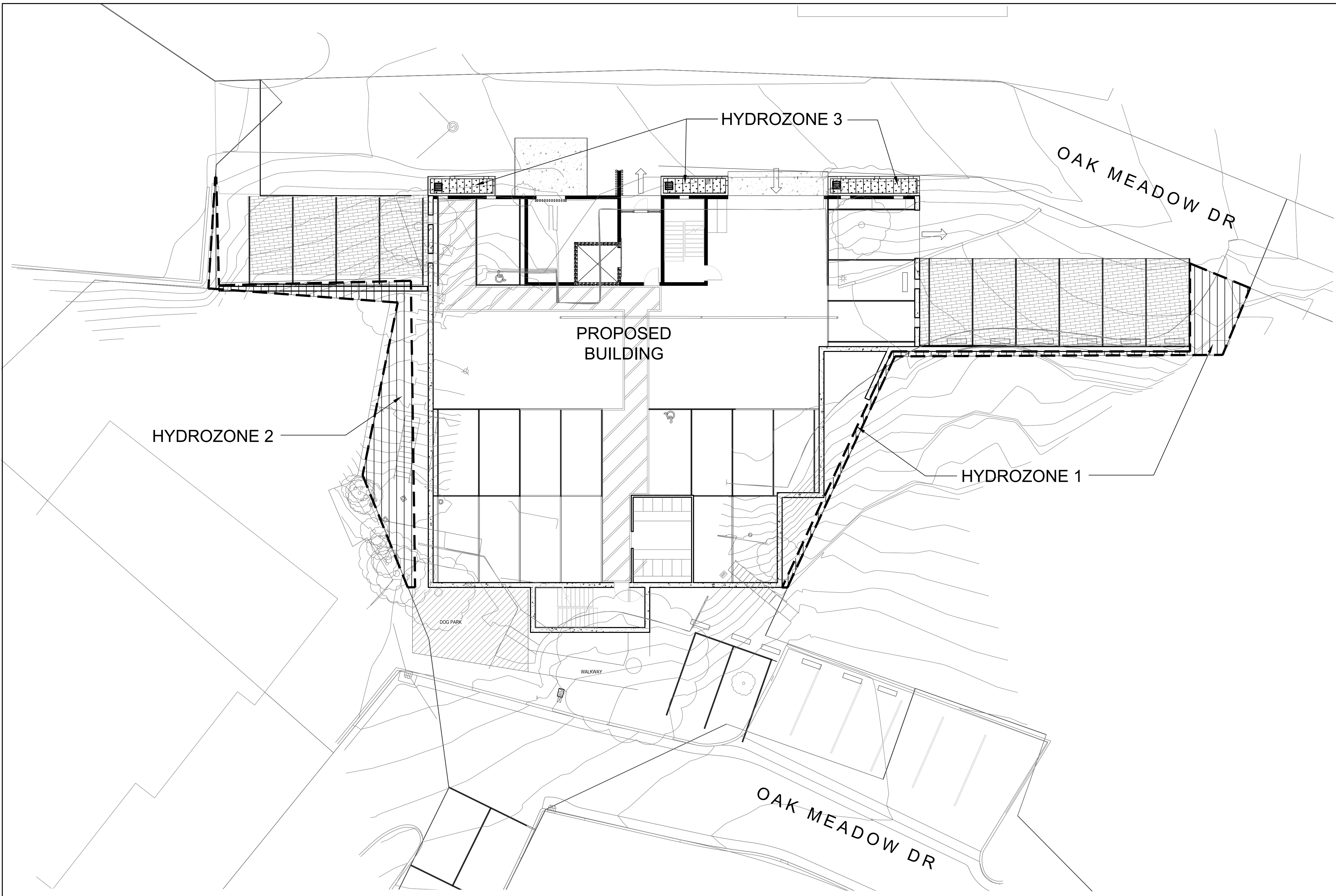
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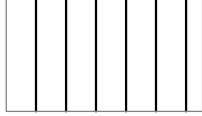
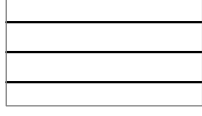

Sheet Title:   
IRRIGATION HYDROZONE PLAN  
STREET LEVEL

Sheet No.:   
**L-5**

File: X:\PROJECTS\Los Gatos Condos Job# OAK MEADOW CONDOS



**HYDROZONE LEGEND**

	<b>LOW WATER USE</b> (SUBSURFACE DRIP AND/OR DRIP EMITTERS) 4012 SF OR 100% OF IRRIGATED AREA
	<b>MEDIUM WATER USE</b> (SUBSURFACE DRIP AND/OR DRIP EMITTERS AND/OR TURF ROTORS) 0 SF OR 0% OF IRRIGATED AREA
	<b>HIGH WATER USE</b> (TURF ROTORS AND/OR POP-UP SPRAY HEADS) 0 SF OR 0% OF IRRIGATED AREA

- CONCEPTUAL IRRIGATION STATEMENT**
- Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials; 2) groundcovers, and 3) native and water conserving plant materials.
  - Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
  - Part shade areas include moderate water use areas having morning and/or afternoon shade.
  - Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
  - Layout shall be designed for minimum runoff and overspray onto non-landscaped areas.
  - Low volume sprinklers shall be used wherever possible with head to head coverage.
  - Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
  - Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
  - The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
  - Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

- STANDARDS FOR IRRIGATION EQUIPMENT**
- Mainlines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
  - Lateral lines shall be 1120 pvc-class 200.
  - Depth of mainline: 24" of cover  
Depth of lateral line: 18" of cover  
Depth of pipe under paving: 24" of cover encased in a sleeve
  - Backflow preventer shall be a type approved by and installed per local codes.
  - Sprinklers shall have matched precipitation rates within each control valve circuit.
  - Precipitation rates for sprinklers shall match soil absorption rate.
  - Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
  - Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
  - Rain sensing override devices shall be installed with controller.

**MWELC IRRIGATION WATER USE CALCULATIONS**

Water Efficient Landscape Worksheet: Oak Meadow (01/07/2025)

Reference Evapotranspiration (ETo)	43.3 Los Gatos				MAWA requirement	ETWU requirement	Estimated Total Water Use (ETWU)
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement			
Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area		
<b>Regular Landscape Areas</b>							
1-Street Level South	0.2 Drip	0.81	0.247	273	67.41	1,810	
2-Street Level North	0.2 Drip	0.81	0.247	516	127.44	3,420	
3-Street Level East	0.5 Drip	0.81	0.617	131	80.86	2,171	
4-2nd Level South	0.2 Drip	0.81	0.247	615	151.85	4,077	
5-Second Level North	0.2 Drip	0.81	0.247	482	119.01	3,195	
6-Third Level	0.2 Drip	0.81	0.247	671	165.68	4,448	
7-Roof Level	0.2 Drip	0.81	0.247	1,324	325.91	8,776	
	0.2 Drip	0.81	0.247	0	0.00	0	
	0.2 Drip	0.81	0.247	0	0.00	0	
	0.2 Drip	0.81	0.247	0	0.00	0	
				Totals	4,012	1,039.14	
<b>Special Landscape Areas (SLA)</b>							
1) Pool/Spa				0	0	0	
2) Water Features				0	0	0	
				Totals	0	0	
<b>Estimated Total Water Use (ETWU)</b>						<b>27,897</b>	
<b>Maximum Allowed Water Allowance (MAWA)</b>						<b>48,468</b>	

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed) = (EtO) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

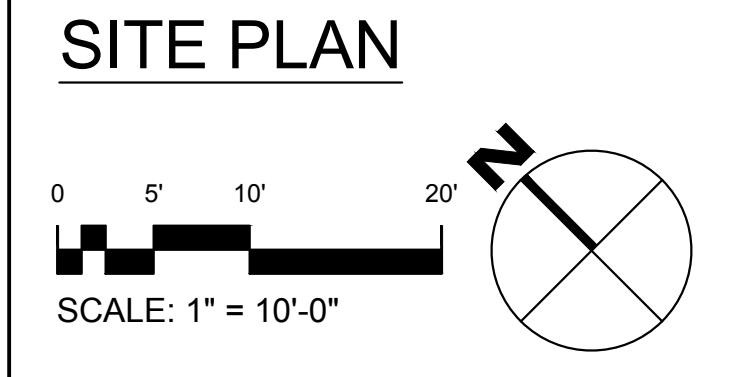
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non-residential areas.

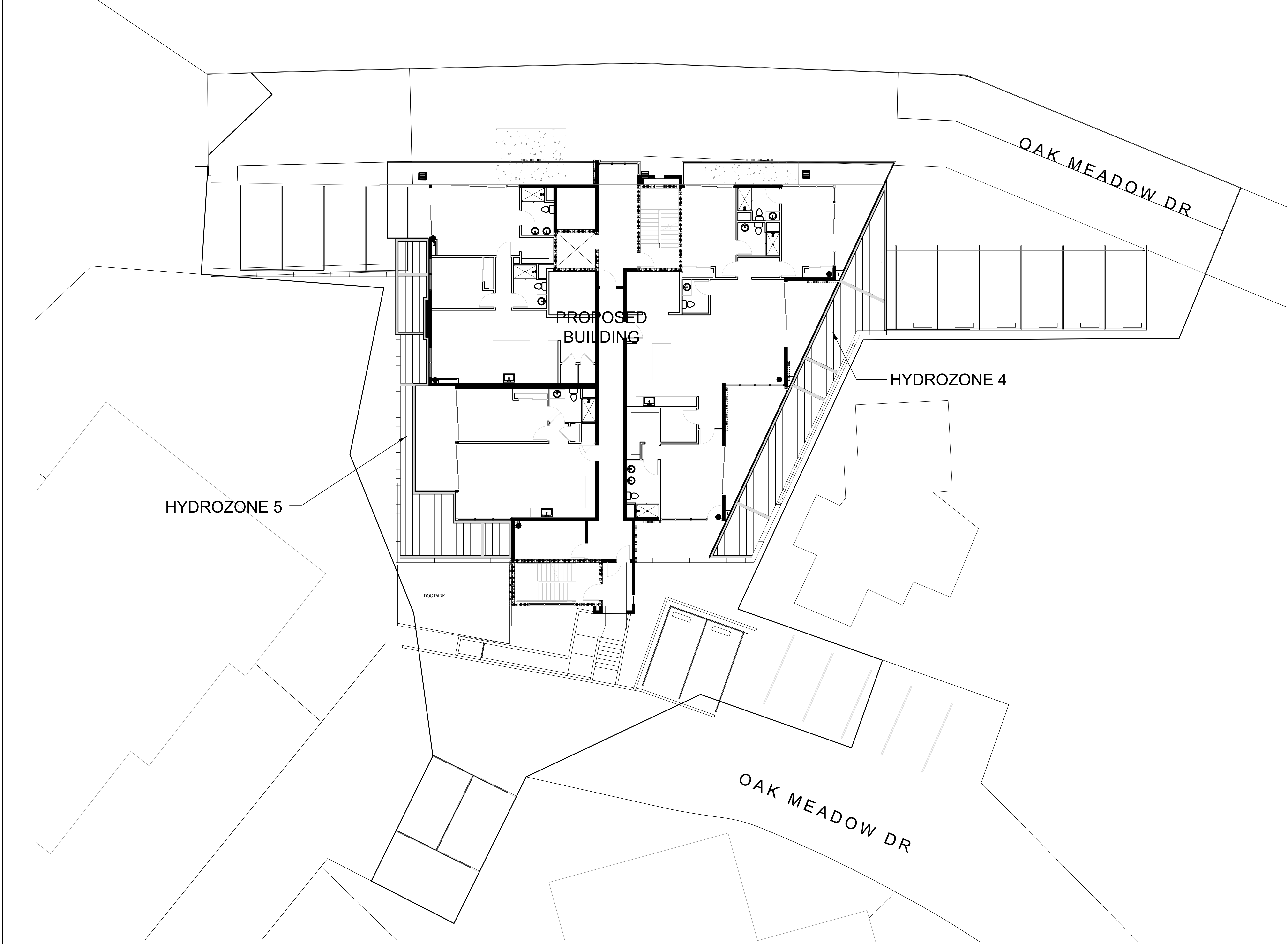
**ETAF Calculations**

Regular Landscape Areas	
Total ETAF x Area	1,039
Total Area	4,012
<b>Average ETAF</b>	<b>0.26</b> residential areas, and 0.45 for non-residential areas.

All Landscape Areas

Total ETAF x Area	1,039
Total Area	4,012
<b>Stwerwide ETAF</b>	<b>0.26</b>





**HYDROZONE LEGEND**

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 (TURF ROTORS AND/OR POP-UP SPRAY HEADS)  
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**NOTES:**

1. SEE SHEET L-5 FOR IRRIGATION CONCEPT AND STANDARDS.
2. SEE SHEET L-5 FOR MWELQ IRRIGATION WATER USE CALCULATIONS.

**Anderson Architects INC**  
 kanderson@andarchnc.com | Kurt B. Anderson, AIA  
 Cell: 408.202.5462 | Principal  
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 Campbell, CA 95008 | Fax: 408.371.1276

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Project:  
 OAK MEADOW CONDORS

Submitted for:

**ENTITLEMENT**

**Taniguchi Landscape Architecture**  
 1013 South Claremont St., Ste 1  
 San Mateo, CA 94402  
 v. 650.638.9985 | f. 650.638.9986  
 CLA #2942

Stamp:  

 LICENSED LANDSCAPE ARCHITECT  
 TANIUCHI  
 Signature: [Signature]  
 Date: 10/31/26  
 Renewed: 08/14/25  
 State of California

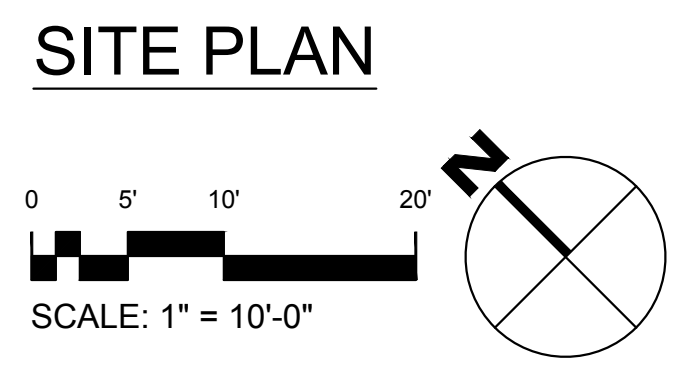
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NO.	DESCRIPTION	DATE
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 Checked By: Checker  
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**IRRIGATION HYDROZONE PLAN  
 SECOND LEVEL**

Sheet No.:  
**L-6**



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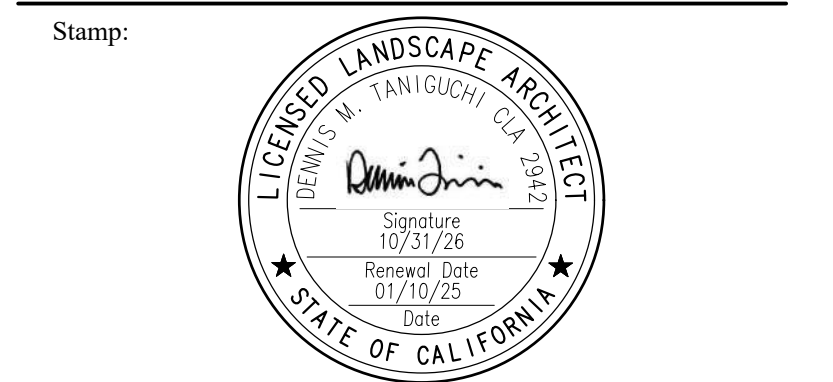
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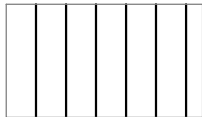
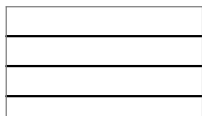

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### IRRIGATION HYDROZONE PLAN THIRD LEVEL

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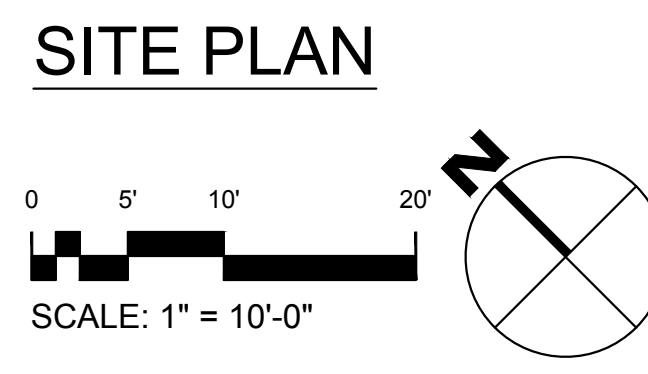
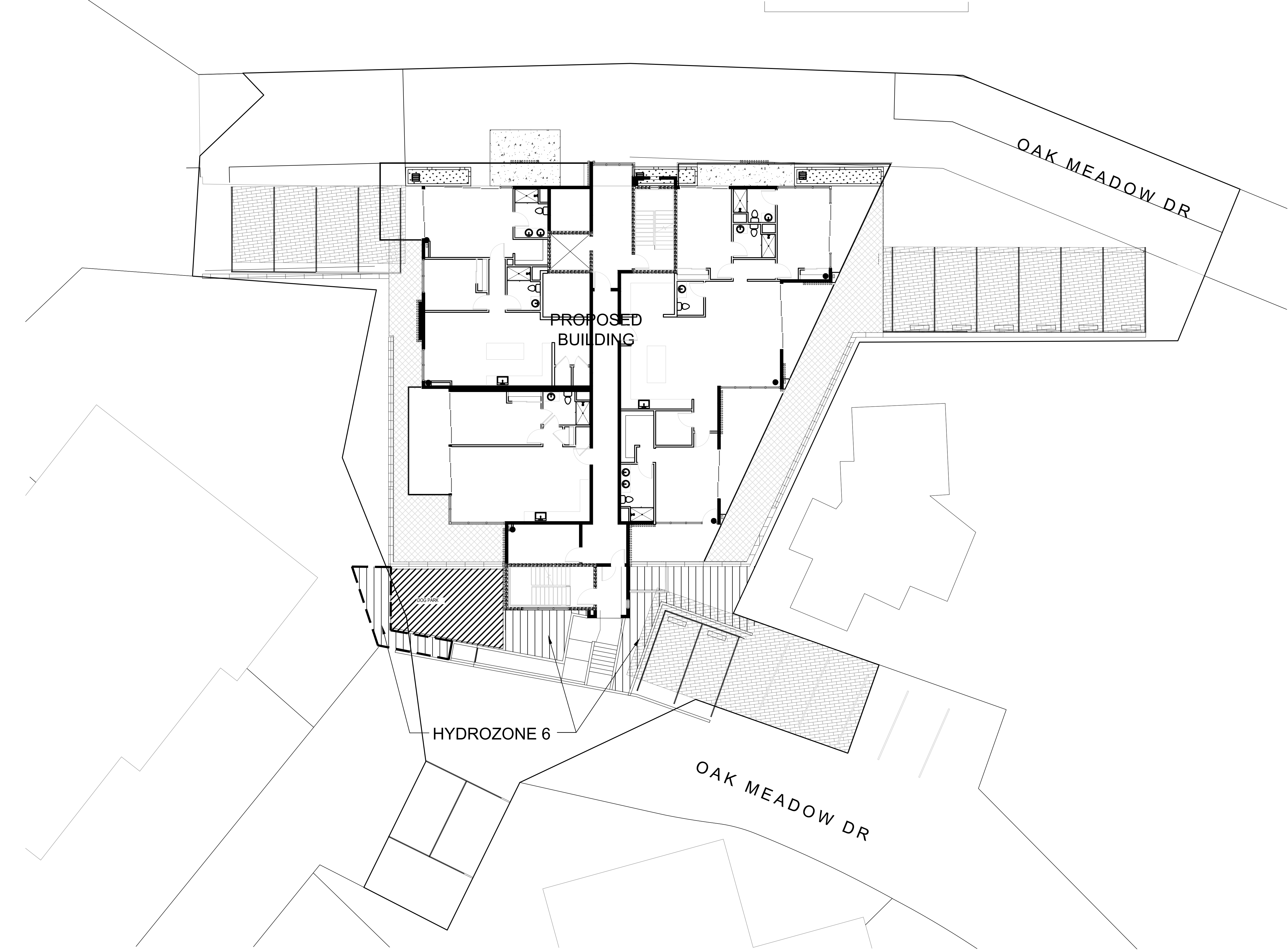
**L-7**

### HYDROZONE LEGEND

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### NOTES:

- SEE SHEET L-5 FOR IRRIGATION CONCEPT AND STANDARDS.
- SEE SHEET L-5 FOR MWEL0 IRRIGATION WATER USE CALCULATIONS.



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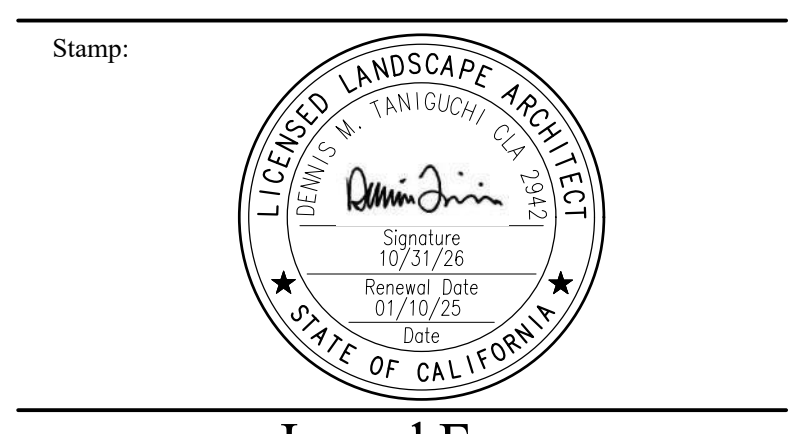
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OAK MEADOW CONDORS

Submitted for: \_\_\_\_\_

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Checked By: \_\_\_\_\_ Checker

Sheet Title: \_\_\_\_\_

**IRRIGATION HYDROZONE  
PLAN  
ROOF LEVEL**

Sheet No.: \_\_\_\_\_

**L-8**

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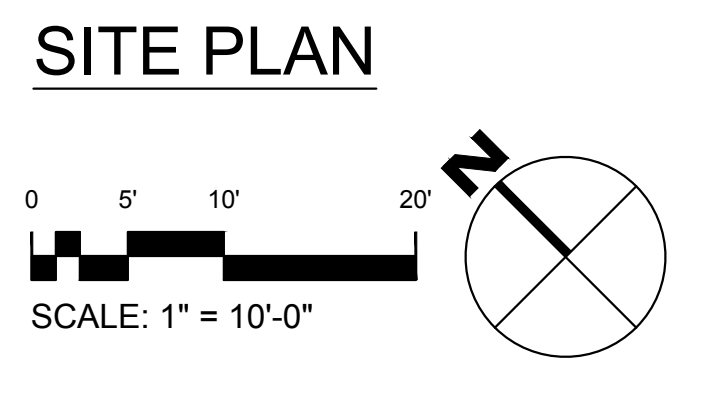
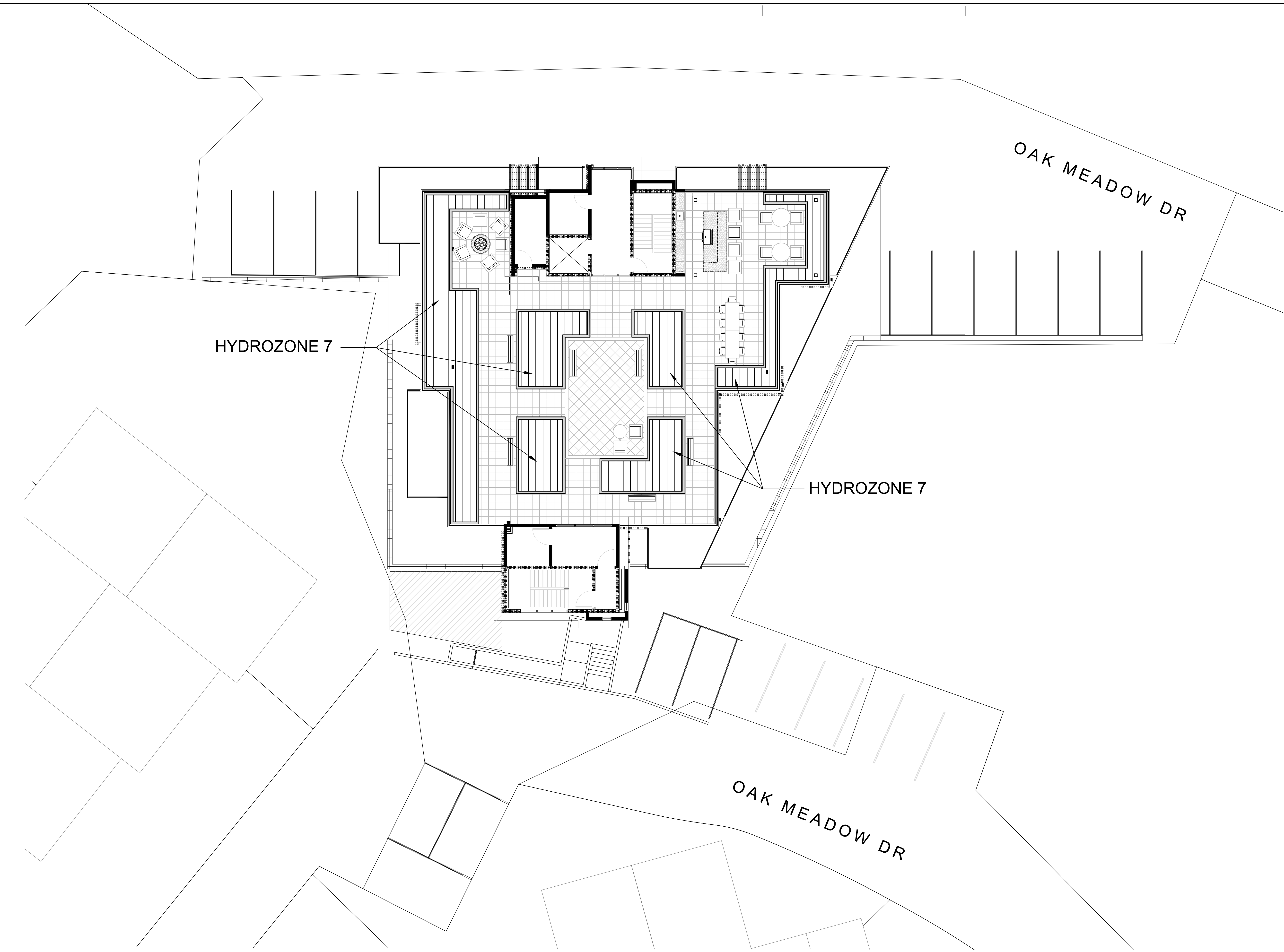
### HYDROZONE LEGEND

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- NOTES:**
- 1. SEE SHEET L-5 FOR IRRIGATION CONCEPT AND STANDARDS.
  - 2. SEE SHEET L-5 FOR MWEL0 IRRIGATION WATER USE CALCULATIONS.



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**ORDINANCE 2371**

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS  
REPEALING AND REPLACING PLANNED DEVELOPMENT ORDINANCE 1412  
ESTABLISHING DEVELOPMENT STANDARDS AND ALLOWABLE USES FOR  
LOTS WITHIN THE PLANNED DEVELOPMENT OVERLAY ZONE**

**THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS  
FOLLOWS:**

**SECTION I. Planned Development Overlay Zone**

Ordinance No. 1412 is repealed and replaced with this Ordinance to retain the existing properties that are in the Planned Development Overlay Zone (shown in Exhibit A) and change the zoning of the property shown on the map (shown in Exhibit B), from O:PD (Office, Planned Development) to O:PD (Office, Planned Development).

**SECTION II. Uses and Improvements Authorized.**

- A. The following construction and use of improvements are authorized within the Planned Development Overlay Zone:
1. Demolition of an existing one-story residential structure.
  2. Conversion of an existing two-story medical office structure into a residential townhouse unit.
  3. Construction of 10 two-story residential townhouse units.
  4. Landscaping, parking, and limited tree removal as may be granted under precise plan approval.
  5. For that area within the boundary of the townhouse complex as shown on the Official Development Plan, the uses are those specified in the R-M (Multiple Family Residential) zone by Sections 29.040.610 (Permitted Uses) and 29.40.615 (Conditional Uses) of the Zoning Ordinance (as those sections exist at the time of the adoption of this ordinance or as they may be amended in the future). However, no use listed in Section 29.40.615 is allowed unless specifically authorized by this ordinance or by conditional use permit.
- B. In addition to the foregoing construction and use of improvements, this ordinance authorizes a Planning application for the following construction and use of improvements for property located at 120 Oak Meadow Drive (APN 529-10-131) as shown on the Official Development Plan:
1. Subdivision of one 17,699-square foot lot addressed as 120 Oak Meadow Drive (APN 529-10-131) into two lots consisting of Parcel A (11,906 square feet) and Parcel B (5,793 square feet);

2. Lot coverage of 40.3 percent on Parcel A;
3. Construction of a single-family residence and site improvements requiring a Grading Permit on Parcel B.
4. Lot coverage of 42.6 percent on Parcel B;
5. Reduced setbacks for the single-family residence on Parcel B of no less than:
  - Front: 6 feet
  - Rear: 7 feet
  - Side (north): 3 feet
6. Portions of the single-family residence on Parcel B as shown on the Official Development Plan located in the Least Restrictive Development Area as defined by the Hillside Development Standards and Guidelines;
7. A driveway serving Parcel B with a maximum slope of 17.5 percent.

**SECTION III. Compliance with Other Development Standards.**

For all areas within the Planned Development Overlay Zone, the development standards of the Town Code Sections 29.40.640 and 29.40.645 shall apply. All general provisions in Article 3 of the Zoning Ordinance apply, and the provision of Chapters Article IV, Residential Zones and Article V, Nonresidential Zones of the Zoning Ordinance apply to the residential and nonresidential portion of the Planned Development respectively except when the Official Development Plan specifically shows otherwise.

**SECTION IV. Permits.**

With regard to the property at 120 Oak Meadow Drive, Architecture and Site approval, Subdivision approval, recordation of the Parcel Map, and issuance of all required permits is required before construction work for the single-family residence on Parcel B as shown in the Official Development Plan.

**SECTION V. Official Development Plan.**

With regard to the property at 120 Oak Meadow Drive, the attached Exhibit A (Map), Exhibit B (Site Plan), Exhibit C (Unit A Plan), Exhibit D (Unit B Plan), Exhibit E (Tentative Map), Exhibit F (Civil Plans for Parcel B), and Exhibit G (Architectural Plans for Parcel B), are part of the Official Development Plan.

**SECTION VI. Performance Standards.**

The Planned Development Overlay zone requires the following performance standards:

1. The applicant shall dedicate sanitary and storm sewer easements, to the satisfaction of the Town Engineer.
2. The applicant shall guarantee, by contract and bond, the following improvements, to the satisfaction of the Town Engineer:
3. A 20 foot curb-to-curb roadway (with narrower sections where necessary to avoid

significant tree growth) including curb and gutters and paving, from Roberts Road to Forrest Avenue.

4. Sanitary and storm sewers as required.
5. The applicant shall provide a final grading, drainage and traffic circulation plan, to the satisfaction of the Town Engineer.
6. If any indication of archeological remains are encountered during construction activities, all such activities should cease immediately until a qualified archeologist can ascertain the nature of the discovery and recommend mitigation if necessary.

**SECTION VII. Severability.**

In the event that a court of competent jurisdiction holds any Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance unconstitutional, preempted, or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The Town hereby declares that it would have adopted each Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more Sections, subsections, paragraphs, sentences, clauses or phrases in this Ordinance might be declared unconstitutional, preempted, or otherwise invalid.

**SECTION VIII. California Environmental Quality Act (CEQA).**

With regard to the previous Planned Development Overlay Zone, an Environmental Impact Report was prepared for the Planned Development and was certified by the Town Council on November 20, 1978.

With regard to 120 Oak Meadow Drive, the Town Council finds that the Project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Sections 15315: Minor Land Divisions; 15303: New Construction; and 15304: Minor Alterations to Land.

**SECTION IX. Publication.**

In accordance with Section 63937 of the Government Code of the State of California, this Ordinance takes effect 30 days from the date of its passage. The Town Council hereby directs the Town Clerk to cause this Ordinance or a summary thereof to be published or posted in accordance with Section 36933 of the Government Code of the State of California.

**SECTION X. Effective Date.**

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the 21<sup>st</sup> day of January 2025, and adopted by the Town Council of the Town of Los Gatos at its regular meeting on the 4<sup>th</sup> day of February 2025, by the following vote:

**COUNCIL MEMBERS:**

**AYES:** Maria Ristow, Rob Rennie, Rob Moore, Mary Badame, Mayor Matthew Hudes

**NAYS:** None

**ABSENT:** None

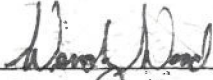
**ABSTAIN:** None

**SIGNED:**

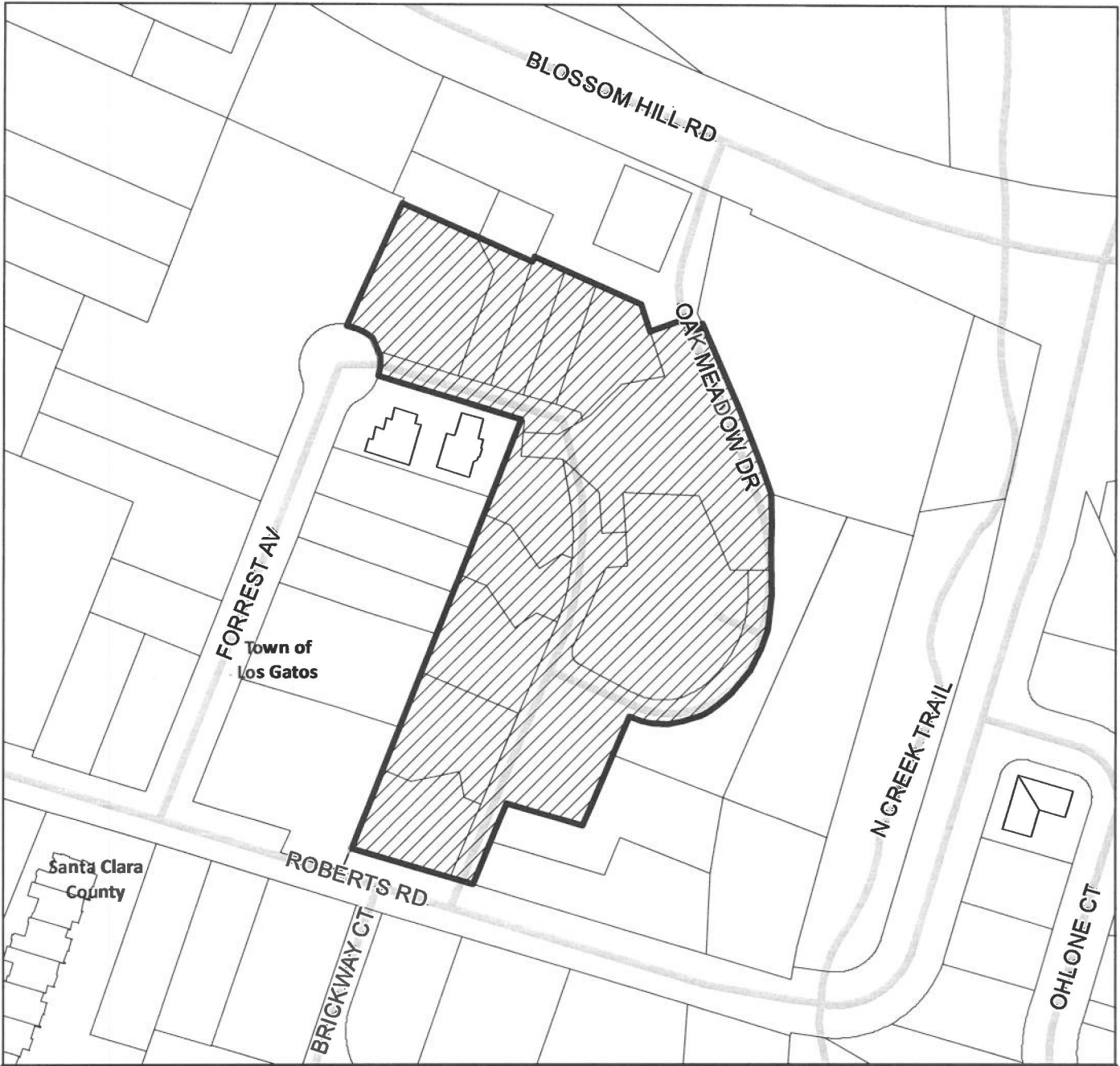


**MAYOR OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA**

**ATTEST:**



**TOWN CLERK OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA**



# TOWN OF LOS GATOS

Application No. PD-20-002    A.P.N. # 529-10-126, -127, -128, -129, -130, -131, -132, -133, -134, -135, -136, -137, and -999

Change of zoning map amending the Town Zoning Ordinance.

Zone Change

From: O:PD To: O:PD

Prezoning



Forwarded by Planning Commission

Date: December 11, 2024

Approved by Town Council

Date:

Ord:

Clerk Administrator:

Mayor:



0 20 50 100 ft.

# SITE PLAN

UNIT A	6
UNIT B	6
EXISTING HOUSE	1
TOTAL	11

GARAGE PARKING	22
APRON	30
OPEN	45
TOTAL	47
RATIO*	3.92 SPACES/UNIT

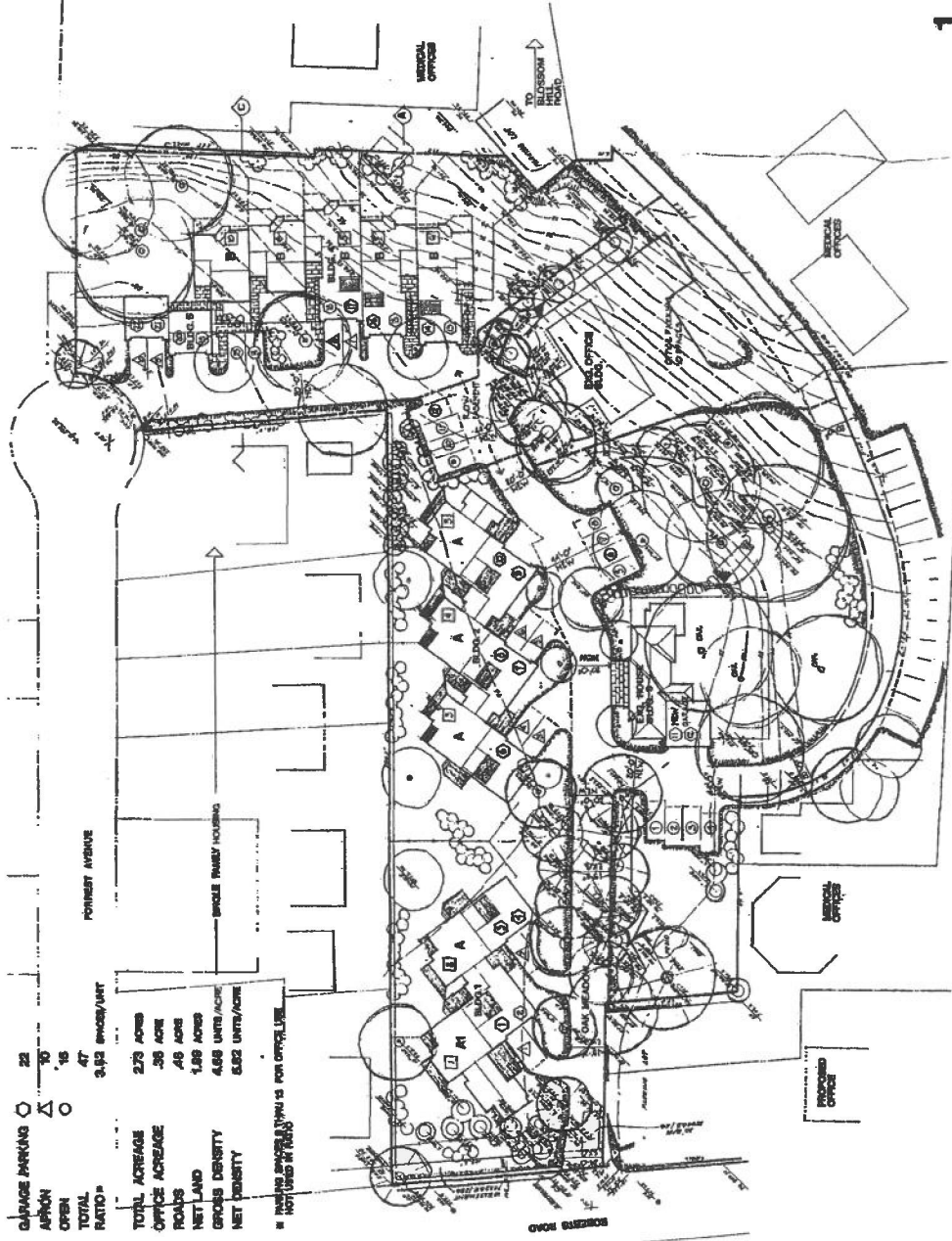
TOTAL ACRES	2.73 ACRES
OFFICE ACRES	.58 ACRES
ROADS	.49 ACRES
NET LAND	1.89 ACRES
GROSS DENSITY	4.69 UNITS/ACRE
NET DENSITY	5.82 UNITS/ACRE

\* INCLUDES SPACES FOR OFF-STREET PARKING IN PUBLIC AREAS

MULTI-FAMILY HOUSING

POINSETT AVENUE

SINGLE FAMILY HOUSING



1

## OAK MEADOW

TOWN OF LOS GATOS  
SANTA CLARA COUNTY  
CALIFORNIA

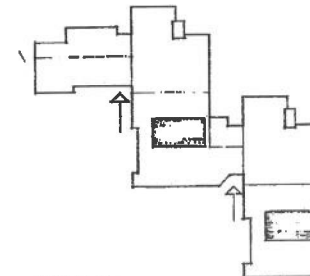
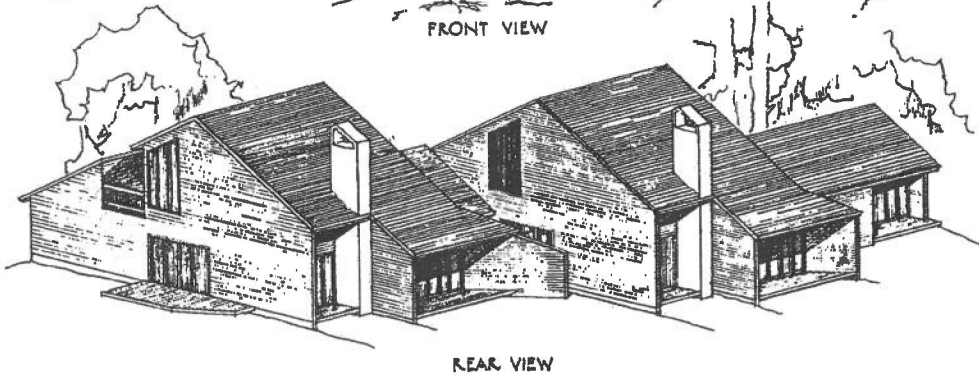
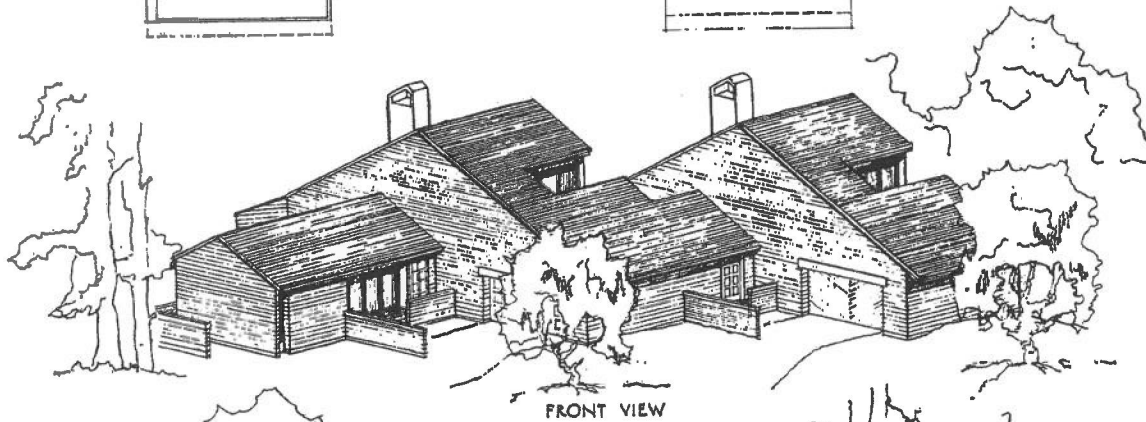
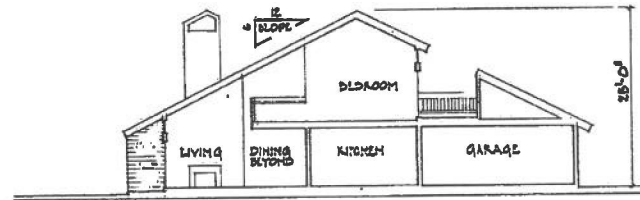
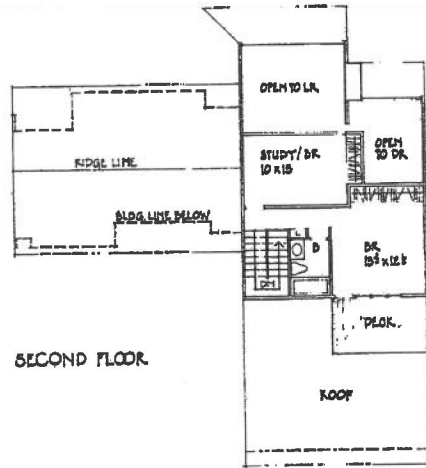
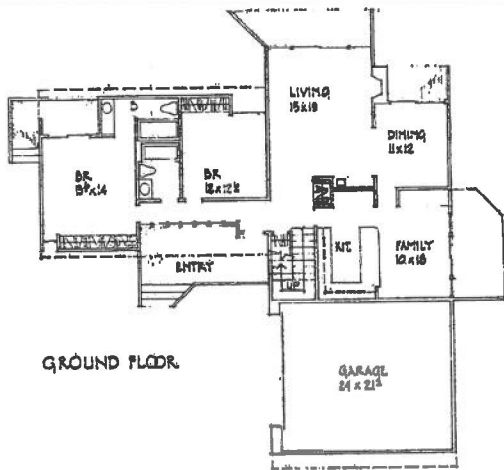
GOLF NEED ASSOCIATES  
409 ALBERTO WAY  
LOS GATOS, CA

WILLIS AND ASSOCIATES INC AIA ARCHITECTS AND LAND PLANNERS SAN FRANCISCO CALIFORNIA

Scale: 1/4" = 20' L  
Date: JUNE 1978  
Job No. 4908

EXHIBIT B

EXHIBIT B

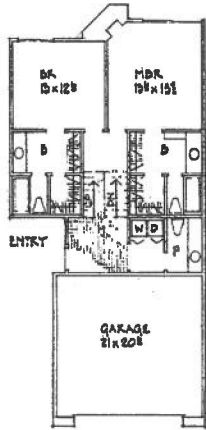


**WILKS AND ASSOCIATES P.C.**  
Environmental Planners  
Corporation 14333 Newbury Rd., Suite 100  
Van Nuys, CA 91411  
Tel: 818/708-1111

OAK MEADOW, LOS GATOS  
COLE REEF

Version  
Job No. 0702  
Date 22/2/98  
Scale: 1/8" = 1'-0"  
UNIT A  
**5**

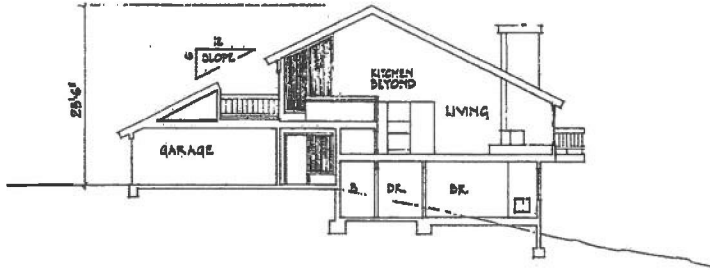
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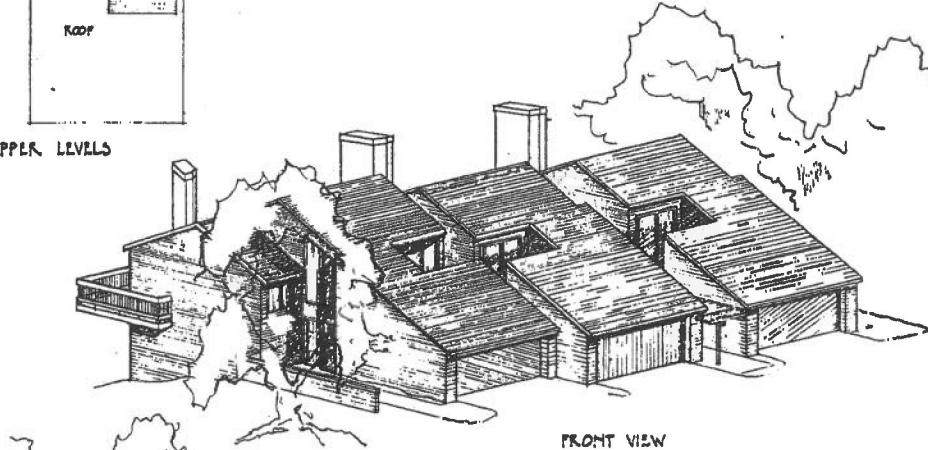
LOWER LEVELS



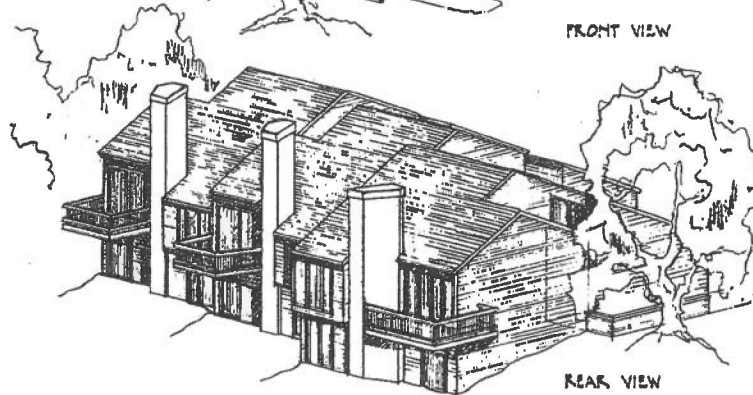
UPPER LEVELS



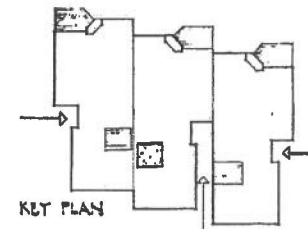
SECTION



FRONT VIEW



REAR VIEW



KEY PLAN

**WIS AND ASSOCIATES INC.**  
 Environmental Planners  
 1900 13th Street, Suite 100, San Jose, CA 95128  
 Phone: (415) 251-1111

OAK MEADOW / LOS GATOS  
 COLLETT

UNIT 2  
 Scale: 1/8" = 1'-0"  
 Date: 02-14-95

Version  
 Job No. 0703

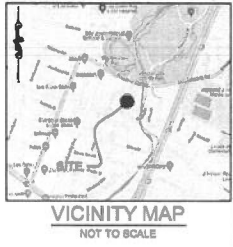
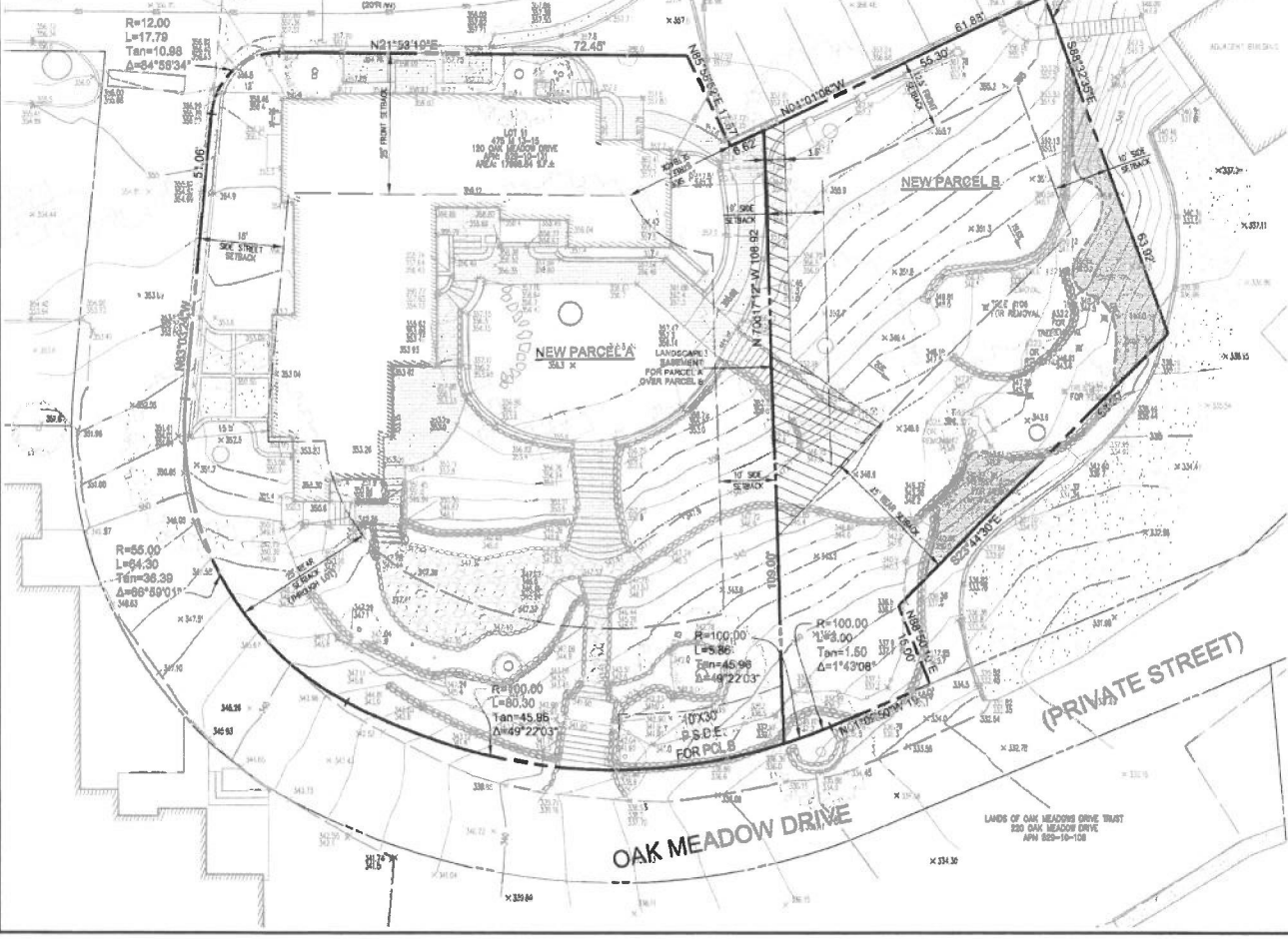
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EXHIBIT D



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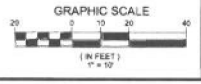
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ADJACENT PROPERTY LINE	[Symbol]	[Symbol]
STREET CENTER LINE	[Symbol]	[Symbol]
BUILDING SETBACK LINES	[Symbol]	[Symbol]
CARPORT	[Symbol]	[Symbol]
ROAD/PAVED/DIRT CURB	[Symbol]	[Symbol]
CURB AND OUTER CONCRETE	[Symbol]	[Symbol]
CONTOUR MAJOR	[Symbol]	[Symbol]
CONTOUR MINOR	[Symbol]	[Symbol]
BLOCK RETAINING WALL	[Symbol]	[Symbol]
ROCK RETAINING WALL	[Symbol]	[Symbol]
DRIVEWAY	[Symbol]	[Symbol]
SEWER	[Symbol]	[Symbol]
AC SEWER	[Symbol]	[Symbol]
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ELECTRIC LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
JOINT TRENCH	[Symbol]	[Symbol]
STORM DRAIN LINE	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
OVERHEAD WIRE	[Symbol]	[Symbol]
EARTHEN SWALE	[Symbol]	[Symbol]



**PROJECT DATA**

TRACT NAME: MCFARLAND FAMILY LOT BPT  
 GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL  
 ZONING DESIGNATION: O-PD OFFICE W/ PLANNED DEVELOPMENT OVERLAY  
 O-PD ZONING ORDINANCE NO. 1419  
 RESIDENTIAL DESIGN GUIDELINES LOT OVER 10 % HILLSIDE STANDARDS FOR LOTS, GRADING DRAINAGE, DRIVEWAYS & PARKING, GEOTECH SAFETY & RETAINING WALLS  
 APPLICABLE PLANS AND STANDARDS:  
 PARCEL SIZE: 17,699 SF (0.41 ACRES)  
 LEGAL DESCRIPTION: TRACT 8757, REGENCY COURT, LOT 11 BOOK 478 MAPS 13-18  
 APN: 688-10-191  
 AVERAGE SLOPE: PARCEL A: 8% 11 %  
 PARCEL B: 8% 18 %  
 EXISTING RESIDENCE: 3,821 SF  
 EXISTING GARAGE: 820 SF  
 NEW PARCEL A: 11,808 SF (0.273 AC)  
 NEW PARCEL B: 6,792 SF (0.153 AC)  
 NEW RESIDENCE: APPROX. 1,846 SF  
 CIVIL ENGINEER: TERENCE J. SZEWICZYK  
 TERENCE J. SZEWICZYK, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95115  
 (408) 486-9000 EXT. 220  
 PROPERTY OWNERS: MARTY AND PENNY MCFARLAND  
 120 OAK MEADOW DRIVE  
 LOS GATOS, CA 95032  
 PROPOSED LOTS: 3  
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL  
 WATER SUPPLY: SAN JOSE WATER CO.  
 SEWAGE DISPOSAL: WEST VALLEY SANITARY DISTRICT  
 TELEPHONE: AT&T  
 GAS & ELECTRIC: PG&E  
 CABLE TV: FRONTIER CABLE  
 FEMA Flood Zone: X (100%)

	EXISTING PARCEL	PROPOSED PARCEL A	PROPOSED PARCEL B
ZONING	O-PD	O-PD	O-PD
REQUIRED LOT AREA	8,000 SF	8,000 SF	8,000 SF
EXISTING LOT AREA	17,099 SF	11,808 SF	7,793 SF
AVERAGE SLOPE	13.1%	11.0%	18.0%
NET LOT AREA	14,180 SF	10,677 SF	4,287 SF
MAX. LOT COVERAGE (40%)	7,080 SF	4,762 SF	2,317 SF
[F] LOT COVERAGE	4,800 SF	4,800 SF	7,670 SF
MAX. PARKING AREA	3,973 SF	0 SF	0 SF
[F] PARKING AREA	0 SF	3,748 SF RES/71%FC 893 SF GARAGE	1,945 SF RES/19%FC 400 SF GARAGE
[F] PARKING AREA	0 SF	0 SF	0 SF
MAX. LOT COVERAGE (40%)	7,080 SF	4,762 SF	2,317 SF
[F] LOT COVERAGE	4,800 SF	4,800 SF	7,670 SF
MAX. PARKING AREA	3,973 SF	0 SF	0 SF
[F] PARKING AREA	0 SF	3,748 SF RES/71%FC 893 SF GARAGE	1,945 SF RES/19%FC 400 SF GARAGE



CIVIL ENGINEERING, INC.  
 1776 TECHNOLOGY DRIVE  
 SAN JOSE, CA 95110  
 PH: 408.486.9000  
 FAX: 408.837.7650

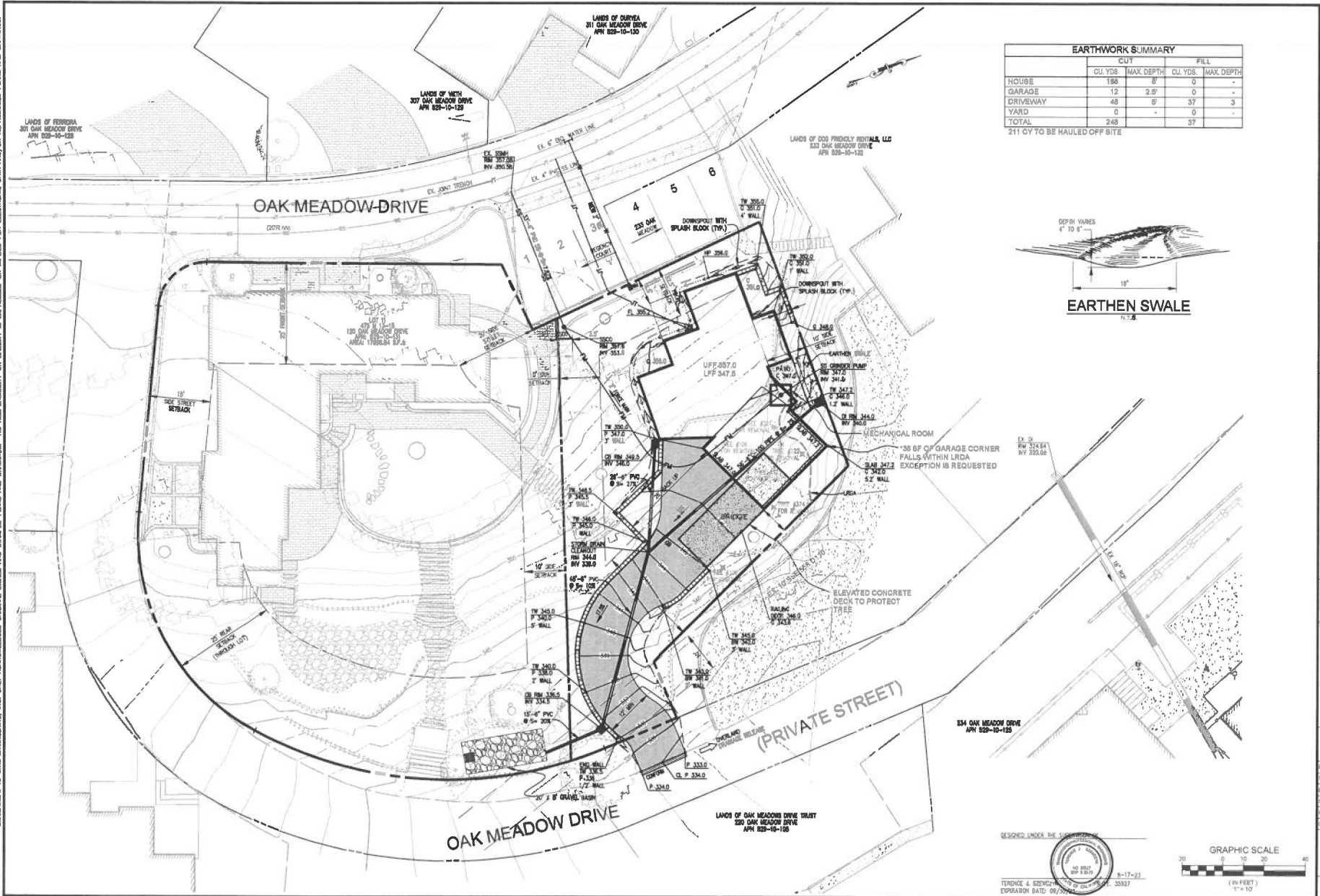
TS


LANDS OF MCFARLAND  
 120 OAK MEADOW DRIVE  
 MINOR SUBDIVISION AND  
 PD ZONING AMENDMENT

TENTATIVE MAP  
 120 OAK MEADOW DRIVE  
 LOS GATOS, CA 95032  
 APN 529-10-131

DATE: 6-8-24  
 SCALE: 1"=10'  
 DRAWN BY: DHO  
 SURVEYED BY:  
 PROJ ENGR: TJS  
 CHECK BY: TJS  
 SHEET NO. C-1  
 OF 4 SHEETS  
 JOB NO. 20-207  
 04/12/2024 12:41pm - Ms. Y. Z. 2024 04/12/2024 12:41pm - Ms. Y. Z. 2024 04/12/2024 12:41pm - Ms. Y. Z. 2024

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TS&CIVIL ENGINEERING, INC.  
1778 TECHNOLOGY DRIVE  
SAN JOSE, CA 95119


CIVIL ENGINEERING

PH: 408.452.9320  
FAX: 408.837.7550


LANDS OF MCFARLAND  
120 OAK MEADOW DRIVE  
MINOR SUBDIVISION AND  
PD ZONING AMENDMENT



SITE PLAN  
120 OAK MEADOW DRIVE  
LOS GATOS, CA 95032  
APN 528-10-131



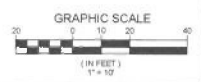
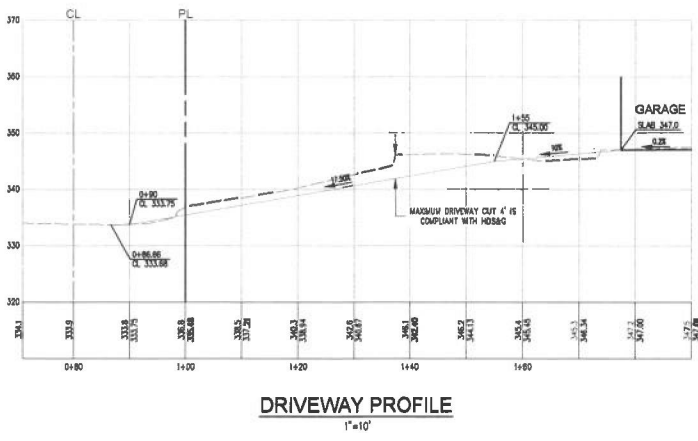
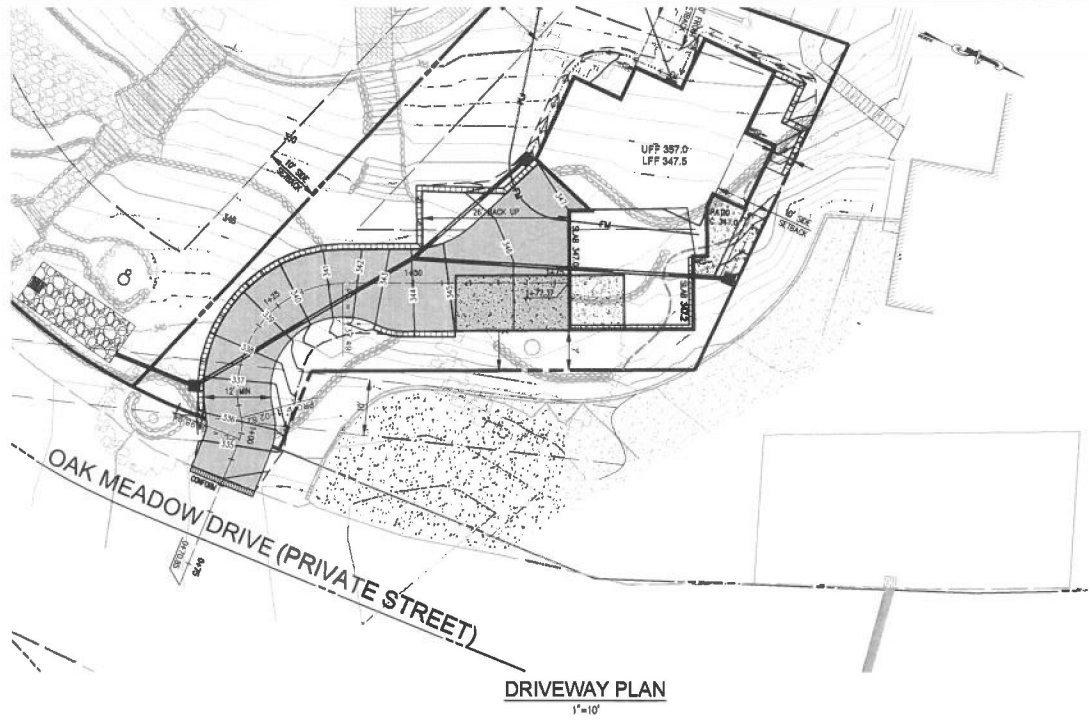
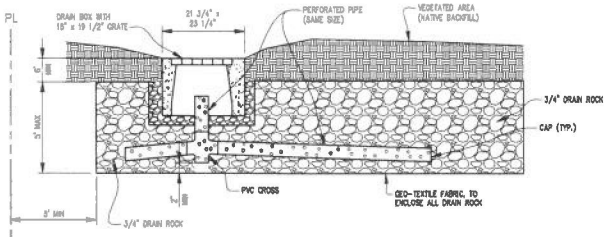
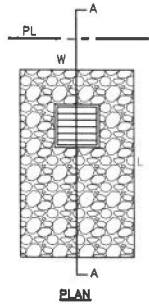
DESIGNED UNDER THE SUPERVISION OF



DATE: 8-17-23  
SCALE: 1"=10'  
DRAWN BY: DIOH  
SURVEYED BY:  
PROJECTED BY: TJS  
CHECK BY: TJS  
SHEET NO. C-2  
OF 4 SHEETS  
JOB NO. 20-207

01/27/2024 4:51pm - C:\A:\TS Civil Engineering, Inc.\1.0 Projects\58.0 120 Oak Meadow\DWG\20-207 C2 SITE PLAN.dwg - C2

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1778 TECHNOLOGY DRIVE  
SAN JOSE, CA 95110  
PH: 408.452.9300  
FAX: 408.837.7550

**LANDS OF MCFARLAND  
120 OAK MEADOW DRIVE  
MINOR SUBDIVISION AND  
PD ZONING AMENDMENT**

**DRIVEWAY PROFILE  
120 OAK MEADOW DRIVE  
LOS GATOS, CA 95032  
APN 528-10-131**

NO.	DATE	REVISIONS
1	6-17-23	DATE
2		BY
3		BY
4		BY
5		BY
6		BY

DATE: 6-17-23

SCALE: 1"=10'

DRAWN BY: DGH

SURVEYED BY:

PROJ ENGR: TJB

CHECK BY: TJB

SHEET NO.

DESIGNED UNDER THE SUPERVISION OF

REGISTERED PROFESSIONAL ENGINEER

TRENCH & SEWER DIVISION

EXPIRATION DATE: 09/17/2023

3-17-23  
35527

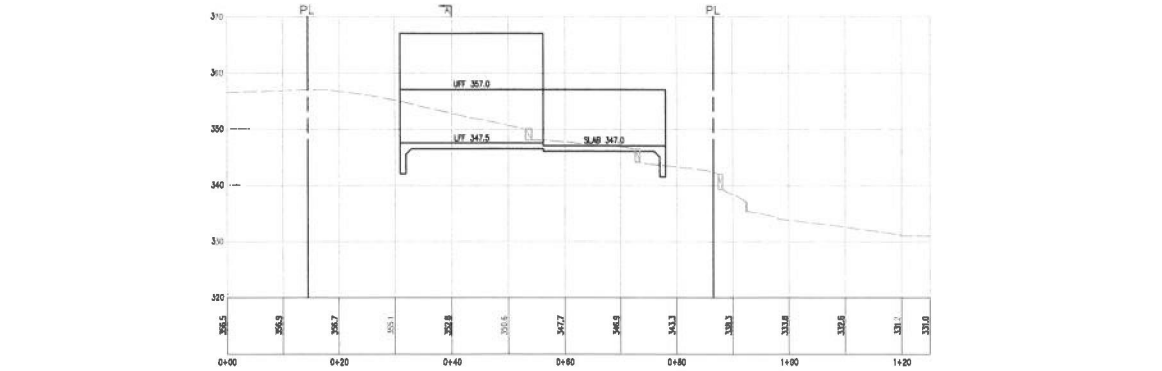
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OF 4 SHEETS

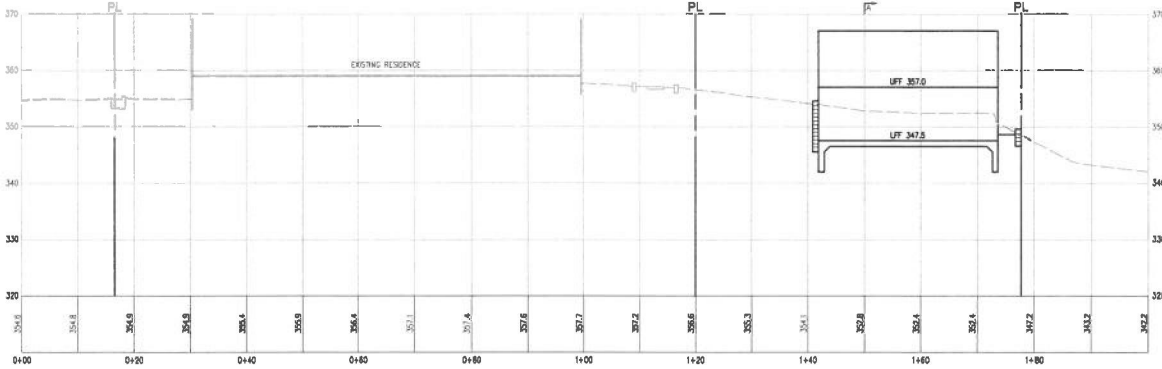
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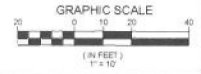



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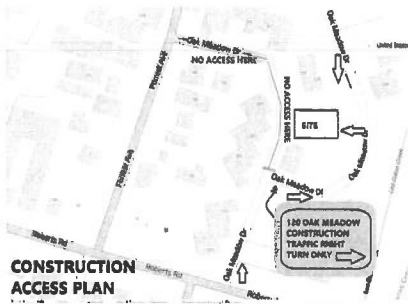


**SECTION B-B**  
1"=10'

DESIGNED UNDER THE SUPERVISION OF  
  
 BRENDEN J. SZENCZY  
 EXPIRATION DATE: 12/31/25



 <b>TSCM ENGINEERING, INC.</b> 1778 TECHNOLOGY DRIVE SAN JOSE, CA 95110 PH: 408.452.9300 FAX: 408.837.7590	
LANDS OF MCFARLAND 120 OAK MEADOW DRIVE MINOR SUBDIVISION AND PD ZONING AMENDMENT	
SITE CROSS SECTIONS 120 OAK MEADOW DRIVE LOS GATOS, CA 95032 APN 529-10-131	
DATE: 8-17-23 SCALE: 1"=10' DRAWN BY: DWH SURVEYED BY: PROJ. ENGR.: TJS CHECK BY: TJS SHEET NO.	REVISIONS NO. BY DATE 1 2 3 4 5 6
<b>C-4</b> OF 4 SHEETS JOB NO. 20-207	



CONSTRUCTION ACCESS PLAN

CONSTRUCTION SITE ACCESS



ELEVATION RENDERING

**FIRE NOTES**

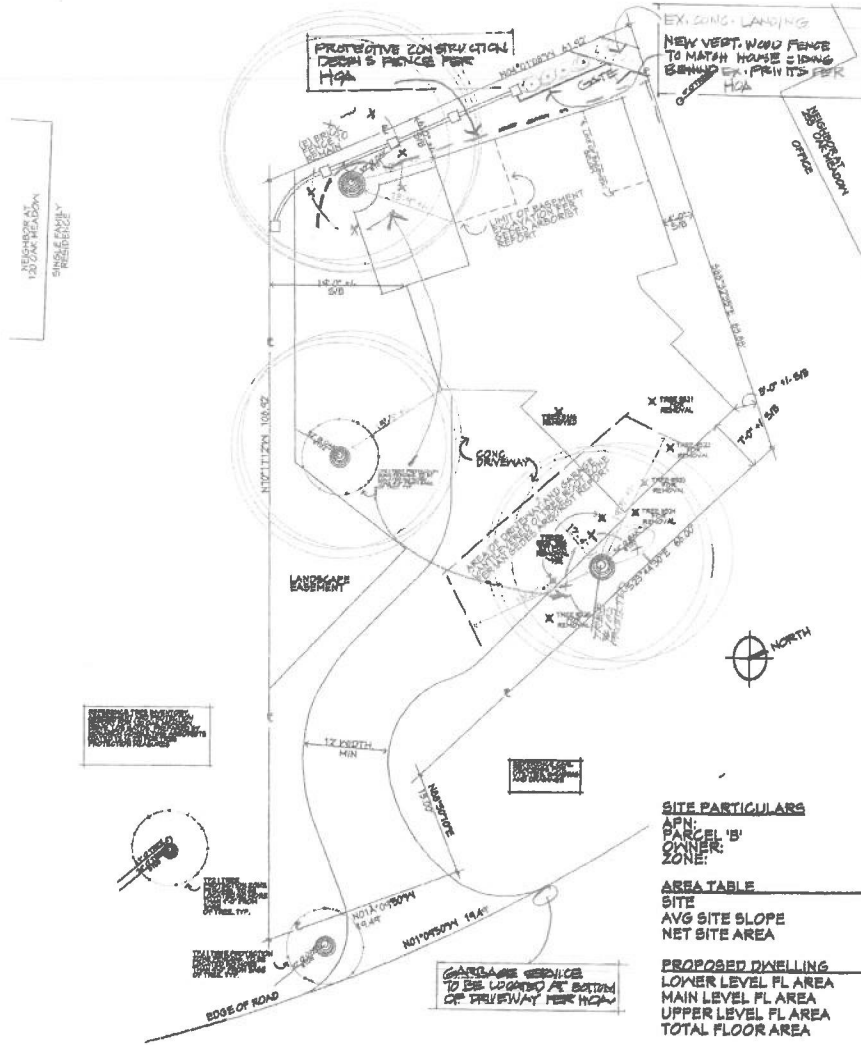
- 1) FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS: 1) IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,000 SQ FT EITHER BY INCREASING THE AREA OF THE PRIMARY RESIDENCE OR BY CREATION OF AN ATTACHED ACCESSORY DWELLING UNIT. 2) IN ALL NEW BASEMENTS AND IN EXISTING BASEMENTS THAT ARE EXPANDED BY MORE THAN 500 SF. 3) IN ALL ATTACHED ADUS, ADDITIONS OR ALTERATIONS TO AN EXISTING ONE- AND TWO-FAMILY DWELLING THAT HAVE AN EXISTING FIRE SPRINKLER SYSTEM. EXCEPTIONS: 1) ONE OR MORE ADDITIONS MADE TO A BUILDING AFTER JANUARY 1, 2011 THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA AND MEETS ALL ACCESS AND WATER SUPPLY REQUIREMENTS OF CHAPTER 9 AND APPENDIX B AND C OF THE 2019 CALIFORNIA FIRE CODE. 2) WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLY SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CPC SEC. 943.03 AND HEALTH AND SAFETY CODE 18141.1.
- 2) ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (9.5 CM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.3 INCH (0.7 CM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A SIGNMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CPC SEC. 943.01.
- 3) CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CPC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 6-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CPC GUP. 33.

**BUILDING NOTES**

- 1) PV SYSTEM - A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALIZED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- 2) ALL ELECTRIC REQUIREMENT - THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6-10-010 AND 6-10-010.

**CONTENTS**

- A-1 SITE PLAN
- A-1.1 NEIGHBORHOOD PLAN
- A-2 LOWER/BASEMENT PLAN
- A-3 MAIN & UPPER LEVELS
- A-4 SECTIONS & ROOF PLAN
- A-5 BUILDING ELEVATIONS



**SITE PARTICULARS**

APN: 929-10-151,  
 PARCEL 1B  
 OWNER: McFARLAND  
 ZONE: O1P

**AREA TABLE**

SITE	5,793 SF
AVG SITE SLOPE	18%
NET SITE AREA	4,287 SF

**PROPOSED DWELLING**

LOWER LEVEL FL AREA	309 SF
MAIN LEVEL FL AREA	862 SF
UPPER LEVEL FL AREA	119 SF
TOTAL FLOOR AREA	1,946 SF

**BELOW GRADE AREA**

GARAGE	502 SF
GARAGE	467 SF

LOT COVERAGE = 2,470 SF / 42%

# SITE PLAN

1/8" = 1'-0"

Print date: 10.03.24  
 10.1.24  
 02.29.24  
 12.27.22

JAY PLETT

408.354.4551  
 jay@plett-arc.com  
 www.ple-tt-arc.com  
 213 Main Avenue  
 Los Gatos, CA 95030

**McFARLAND**  
 OAK MEADOW DR.  
 LOS GATOS

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Revisions:

PRELIM PERMIT SET	X
PERMITS SET	
CONST. SET	

Scale:  
 Date:

Sheet  
**A-1**

EXHIBIT G



(A) 301/307/311 OAK MEADOW DR



(B) 220 OAK MEADOW DR



(B) 220 OAK MEADOW DR



(C) 120 OAK MEADOW DR



(D) 233 OAK MEADOW DR



(D) 233 OAK MEADOW DR



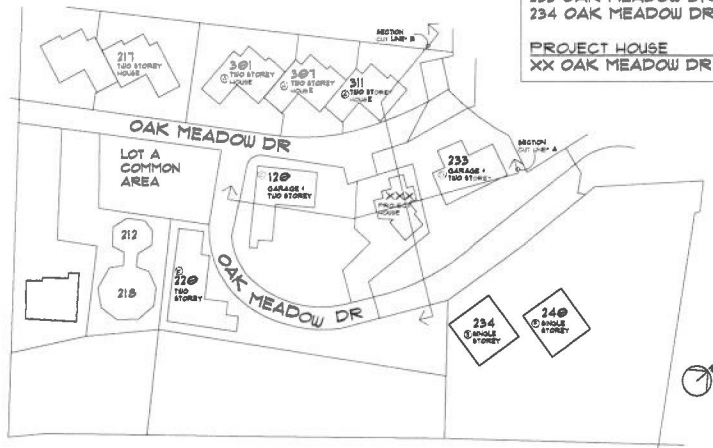
(E) 234 OAK MEADOW DR



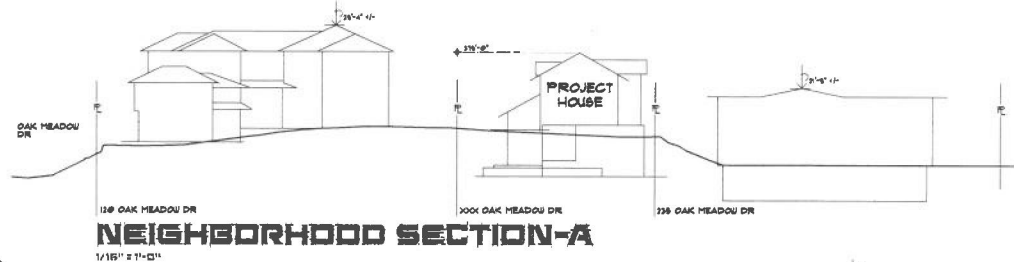
(F) 240/242 OAK MEADOW DR

### FLOOR AREA/FAR COMPARISONS

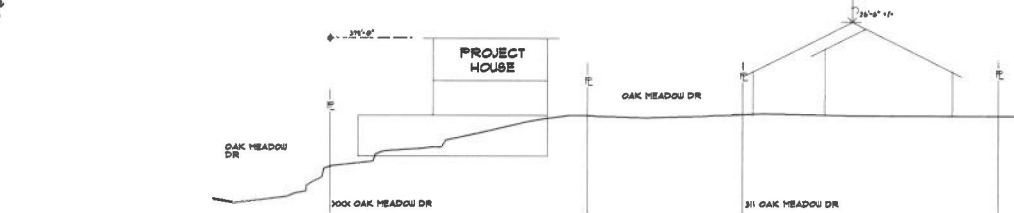
ADDRESS	LOT SIZE	FLR AREA	FAR HOUSE	GARAGE (SF)	ANALYSIS
301 OAK MEADOW DR	1352	*2620	0.356	484	*6 NEIGHBOR HOMES HAVE GREATER FLOOR AREA *3 NEIGHBOR HOMES HAVE GREATER FAR  AS THE STREETSCAPE ILLUSTRATES, THE PROJECT HOUSE BLENDS AMICABLY WITH THE SCALE OF THE NEIGHBORHOOD
307 OAK MEADOW DR	4194	*2620	**0.546	484	
311 OAK MEADOW DR	4952	*2620	**0.529	484	
220 OAK MEADOW DR	11703	*4507	**0.385	0	
120 OAK MEADOW DR	11779	*3621	0.203	530	
233 OAK MEADOW DR	19705	*3283	0.166	0	
234 OAK MEADOW DR	41200	1756	0.042	0	
<b>PROJECT HOUSE</b> XX OAK MEADOW DR	5249	1946	0.336	466.5	



NEIGHBORHOOD PLAN  
1" = 50'



NEIGHBORHOOD SECTION-A  
1/16" = 1'-0"



NEIGHBORHOOD SECTION-B  
1/16" = 1'-0"

Print date :  
10.03.24  
10.01.24  
02.25.24  
12.14.21

**JAY PLETT**  
ARC F I T C

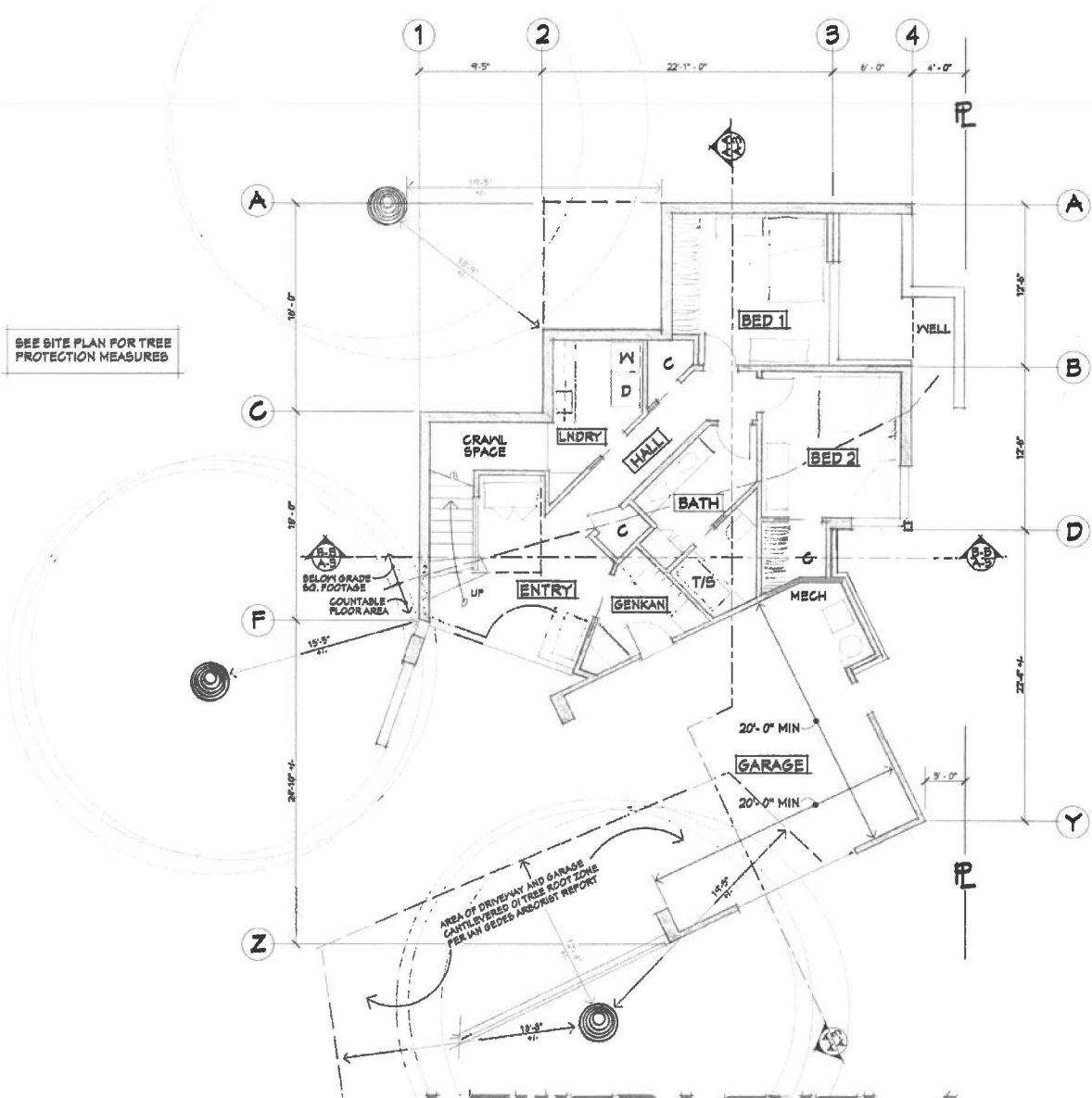
408.354.4551  
jay@plett-arc.com  
www.plett-arc.com  
213 South Avenue  
Los Gatos, CA 95030

**McFARLAND**

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Revisions :  
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PRELIM PLAN CK  
PRICING SET  
CONST. SET  
Scale :  
Date : Sheet

**A-1.1**



SEE SITE PLAN FOR TREE PROTECTION MEASURES

# LOWER LEVEL / BASEMENT / GARAGE

1/4" = 1'-0"

Print date: 10.03.24  
 10.01.24  
 02.29.24  
 09.14.23  
 12.27.22

JAY PLETT

408.354.4551  
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 213 Bean Avenue  
 Los Gatos, CA 95030

**McFARLAND  
 OAK MEADOW DR.  
 LOS GATOS**

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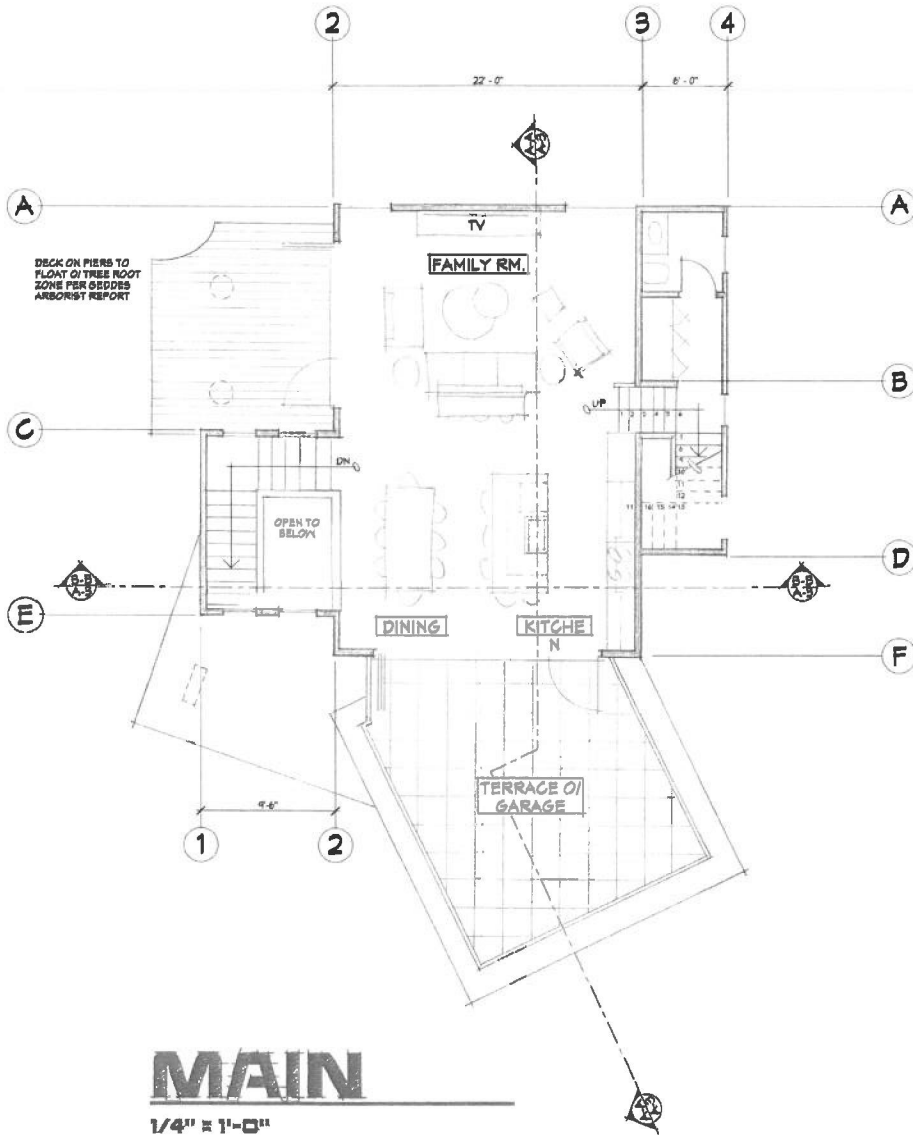
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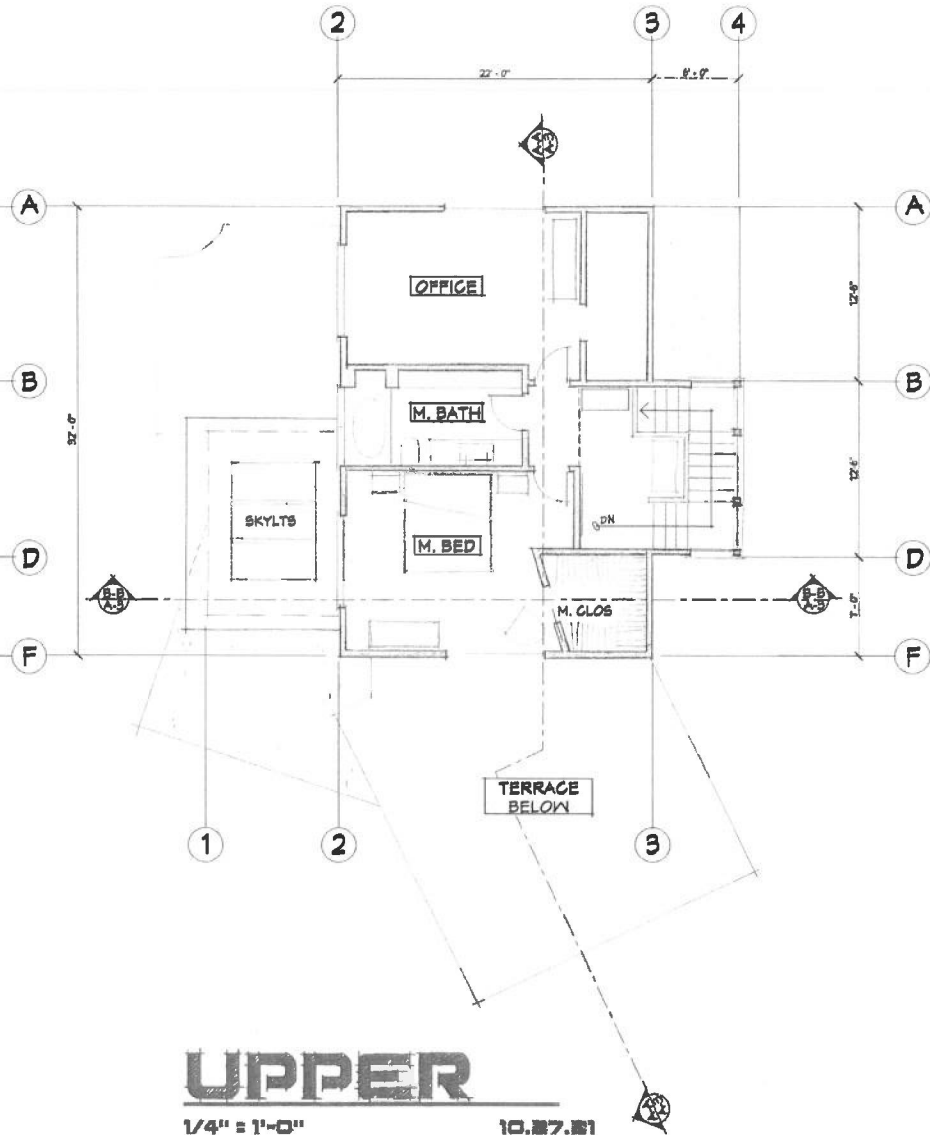
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A-2



# MAIN

1/4" = 1'-0"  
10.27.21



# UPPER

1/4" = 1'-0" 10.27.21

Print date:  
10.03.24  
10.01.24  
02.29.24  
01.14.25  
12.27.22

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**McFARLAND**  
**DAK MEADOW DR.**  
**LOS GATOS**

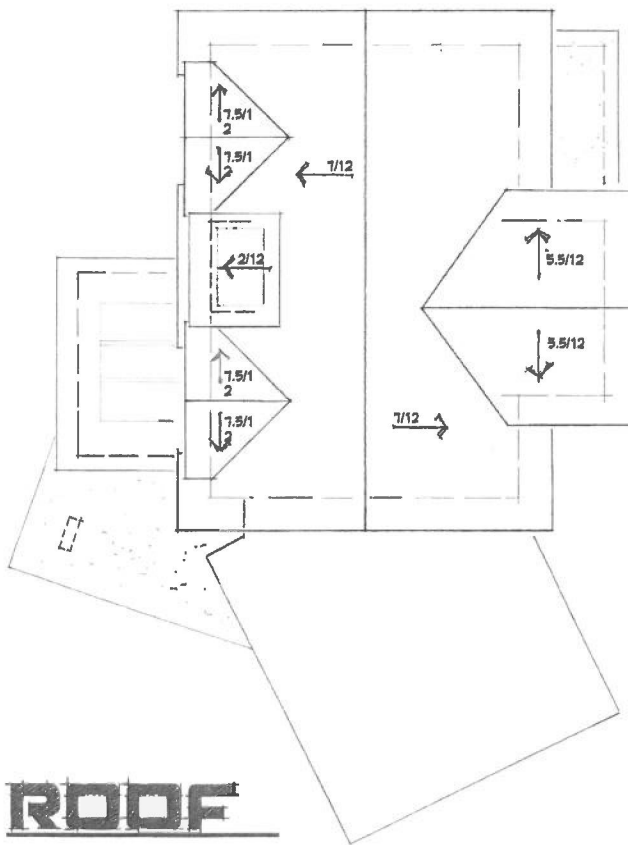
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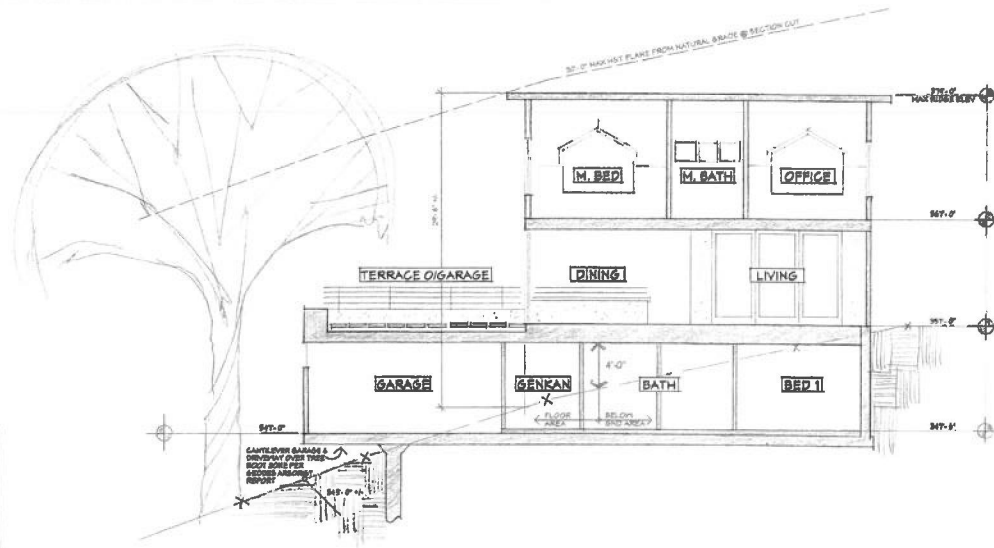
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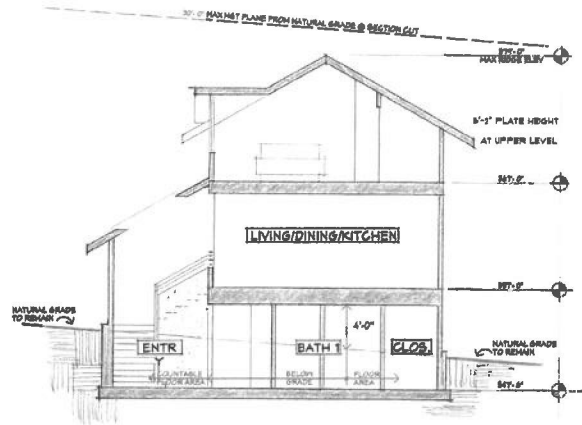




**ROOF**  
1/4" = 1'-0"



**SECTION A-A**  
3/16" = 1'-0"



**SECTION B-B**  
3/16" = 1'-0"

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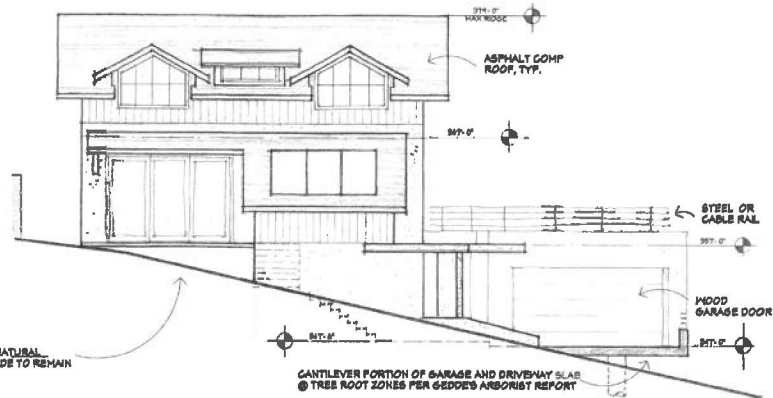
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**A-4**



**EAST**



**SOUTH**



**WEST**



**NORTH**

**ELEVATIONS**

3/16" = 1'-0"

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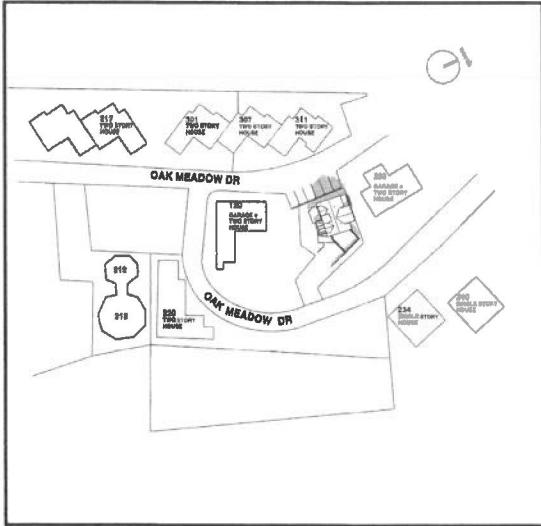
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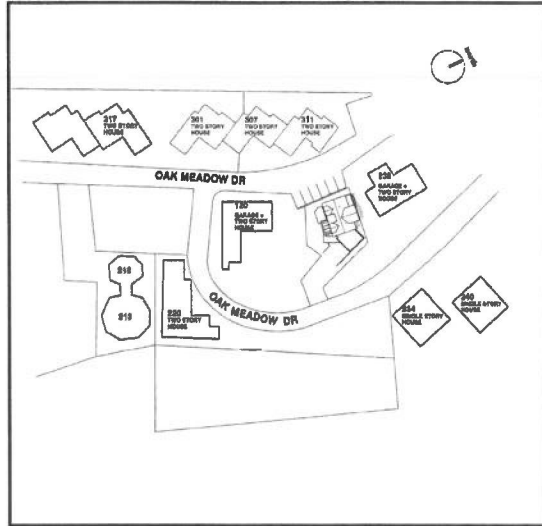
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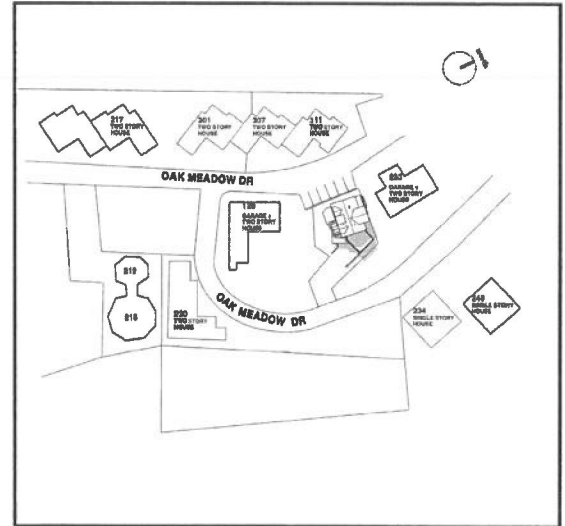
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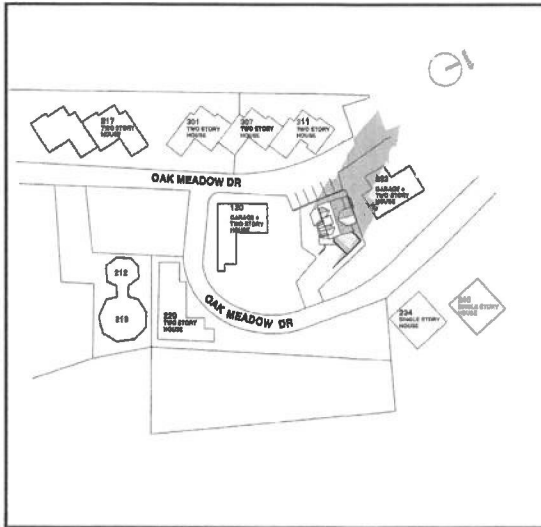
JUNE 21 @ 9AM



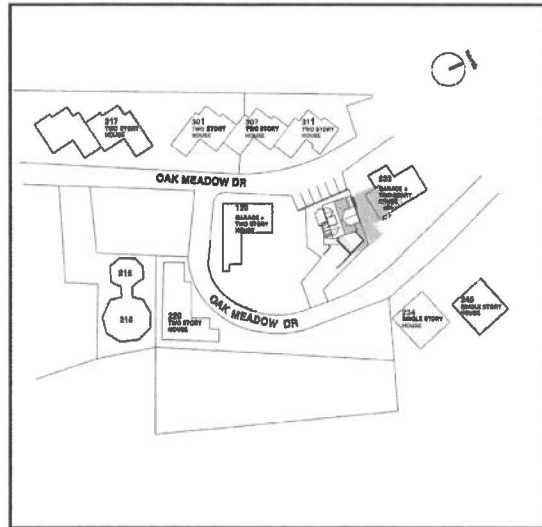
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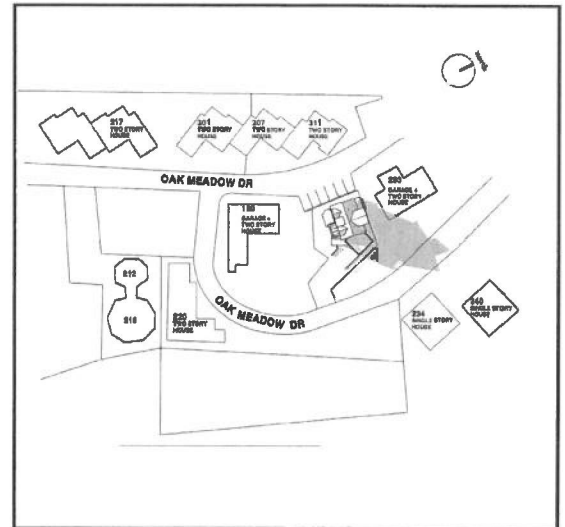
JUNE 21 @ 3PM



DEC 21 @ 9AM



DEC 21 @ 12PM



DEC 21 @ 3PM

# SHADOW STUDY

NOT TO SCALE

Print date :

10.03.24

10.09.22

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**A-5**

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