

TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE APRIL 24, 2024 110 EAST MAIN STREET TOWN COUNCIL CHAMBERS 4:00 PM

Susan Burnett, Chair Lee Quintana, Vice Chair Barry Cheskin, Committee Member Adam Mayer, Planning Commissioner Martha Queiroz, Committee Member

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend inperson, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@losgatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email <u>planning@losgatosca.gov</u> with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

CALL MEETING TO ORDER

ROLL CALL

CONSENT ITEMS (Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)

- 1. Draft Minutes of the February 28, 2024 Historic Preservation Committee Meeting
- 2. Draft Minutes of the March 27, 2024 Historic Preservation Committee Meeting

VERBAL COMMUNICATIONS (Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)

OTHER BUSINESS (Up to three minutes may be allotted to each speaker on any of the following items.)

PUBLIC HEARINGS (Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)

- 3. Requesting Approval to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:12. Located at 48 Chestnut Avenue. APN 510-40-014. Exempt Pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15061 (b)(3). Request for Review PHST-24-005. Property Owner: Mohit and Aya Singh. Applicant: Jay Plett. Project Planner: Maria Chavarin.
- 4. Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 16488 Bonnie Lane. APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

- 5. Requesting Approval for Construction of Exterior Alterations (Window Replacement) on a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:8. Located at 15385 National Avenue. APN 510-20-067. Request for Review PHST-24-008. Exempt Pursuant to CEQA Section 15061 (b)(3) Existing Facilities. Property Owners: Hossein Shenasa and Mojgan Moghaddam. Applicant: Hossein Shenasa. Project Planner: Sean Mullin.
- 6. Requesting Approval for Construction of Exterior Alterations (Window and Door Replacement) on a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:12.
 Located at 66 Ellenwood Avenue. APN 510-20-067. Request for Review PHST-24-007. Exempt Pursuant to CEQA Section 15061 (b)(3) Existing Facilities. Property Owners: John and Susan Pinkel. Applicant: Steven W. Plyler, DeMattei Construction. Project Planner: Sean Mullin.

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

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HISTORIC PRESERVATION COMMITTEE REPORT

ITEM: 1

DRAFT MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING FEBRUARY 28, 2024

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on February 28, 2024 at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Barry Cheskin, Vice Chair Susan Burnett, Planning Commissioner Adam Mayer, Committee Member Martha Queiroz, and Committee Member Lee Quintana.

Absent: None.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

- 1. Approval of Minutes November 15, 2023
- 2. Approval of Minutes December 20, 2023
- MOTION: Motion by Committee Member Queiroz to approve the Consent Calendar. Seconded by Committee Member Quintana
- VOTE: Motion passed, 4-0. Commissioner Mayer abstained due to not being present at that meeting.

PUBLIC HEARINGS

3. <u>18 Oak Hill Way</u> Request for Review PHST-23-020.

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1D. APN 529-34-052. Exempt Pursuant to CEQA Section 15061(b)(3). Property Owner/Applicant: Vanessa Young Project Planner: Ryan Safty

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MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Vanessa Young, Owner

- The unit is not visible from Villa Avenue or Oak Hill Way. The reason we are here with new information is the property and documents were misfiled in the Santa Clara County archive. The house is more likely built in 1950 per the County. According to the records, the windows on the Villa Avenue side were replaced in 1960. There have been two renovations. It is not in a historic district.
- The elevation facing Villa Avenue was originally considered the front but is currently being used as the back.
- The porch was enclosed to create a mudroom and a large deck was added. The space is 780 square feet.

Closed Public Comment.

Committee members discussed the matter.

- With the new information, now feel inclined to taking it off the Historic Inventory since there isn't clear records saying it is historic.
- It is not clear that the structure was built pre-1941. The best estimate is that it was built in 1950.
- The structure has features that are distinctive of a cottage style.
- Still of the opinion to keep it on the Historic Inventory. They can add and remodel while keeping the character.

MOTION:	Motion by Chair Cheskin to recommend removal from the Historic Inventory. Seconded by Commissioner Mayer.
VOTE:	Motion passed 3-2, Committee Member Quintana and Vice Chair Burnett voted no.

4. <u>215 Massol Avenue</u> Minor Residential Development Application MR-23-011

Requesting Approval for Construction of Exterior Modifications and a New Second-Story Addition to an Existing Noncontributing Single-Family Residence on Property in the Almond Grove Historic District Zoned R-1D: LHP. APN 510-16-022. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. PAGE **3** OF **8** MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

Property Owner: Jim and Sara McManis Applicant: Jay Plett Project Planner: Suray Nathan

Chair Cheskin recused themselves from Item 4.

Suray Nathan, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jay Plett, Applicant

- They followed the list of items from the last meeting. They wanted to clarify that it has a chimney with a tie. A mason says they can extend it with a tie or a thin brick.

Closed Public Comment.

Committee members discussed the matter.

MOTION: Motion by Committee Member Quintana to recommend approval to the Director for the above request. The applicant has followed the suggestions made by the Historical Preservation Committee. Seconded by Commissioner Mayer.

VOTE: Motion passed, 3-0. Committee Member Queiroz abstained and Chair Cheskin was recused.

5. <u>202 University Avenue</u> Minor Development in a Historic District Application HS-24-003

Requesting Approval for a Revision to the Approved Exterior Materials on an Existing Residence on Property Located in the University-Edelen Historic District Zoned R-1D:LHP. APN 529-04-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Tyler and Kristine Shewey Applicant: Jay Plett Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

PAGE **4** OF **8** MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

Applicant presented the project.

Jay Plett, Applicant

- The original foundation may not have existed. It may have been wood walls directly on dirt. Propose using a sand mold brick with mixed finishes for the foundation. A thin brick will cover the concrete foundation and will match the brick on the chimney.
- Not all houses have an exposed brick foundation.
- Proposed fiberglass windows will be used in the basement and will be painted to match.
- They chose Marvin windows for the windows above because they are nice on the inside and outside. Chose Anderson windows for the windows below because it is a better choice for smaller casement windows.

Closed Public Comment.

Committee members discussed the matter.

- The windows are not a problem. But the brick is not used anywhere else.
- Brick ties in with the commercial downtown area versus the residential area.
- The house is near downtown.
- It is common for a house of this age to have brick.
- MOTION:Motion by Committee Member Quintana to forward a recommendation
of approval of the above request to the Community Development
Director. Included are the choice of basement windows and use of
exterior brick. Seconded by Vice Chair Burnett.

VOTE: Motion passed, 3-2. Committee Member Queiroz and Chair Cheskin voted no.

6. <u>179 Loma Alta Avenue</u> Request for Review PHST-23-024

Consider a Request for Construction of Exterior Alterations (Window Replacement) to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-29-037. Property Owner: Linda Van Mouwerik Applicant: Hilda Ramirez, Renewal by Andersen Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

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Applicant presented the project.

Linda Van Mouwerik, Owner

- They moved in 38 years ago. It is the Market Street school. It had to be rebuilt after the 1989 earthquake.
- They are committed to preserving the historical integrity. They added moulding from the period and have hosted tours from the Historical Society.
- They chose windows by Anderson to maintain the Queen Anne style. They are asking for a change of material. They installed wood windows after the 1989 earthquake. It was defectively installed. They replaced the panes many times. They had it redone. The full sun exposure causes damage. The sills are difficult and costly to keep maintained.

Hilda Ramirez, Renault by Anderson Window Company

- The proposed windows are of a Fibrex material which is durable and maintenance free. Fibrex is a wood composite.

Linda Van Mouwerik, Owner

- The original window was a larger pane with smaller fixed panes.
- The current style was approved for the post-earthquake remodel.
- Owner asked the contractor about divided lites but was told it was not available.
- Their intention is to replicate what was previously approved.
- The casing or moulding around the outside of the window stays the same.
- The fiberglass casing is less noticeable in a fixed window.

Closed Public Comment.

Committee members discussed the matter.

- Committee needs to see the actual window material for reference.
- This is an opportunity to retrofit the window to look more like the original.
- To meet the guidelines they must preserve or enhance what is there. In this case the material performs and looks from a short distance looks like wood.
- After the earthquake, the Town approved the style and look.
- MOTION:Motion by Chair Cheskin to forward a recommendation of approval of
the request to the Community Development Director. Including asking
the applicant to consider adding divided lites. Seconded by Committee
Member Queiroz.VOTE:Motion passed unanimously.

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MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

7. <u>14335 La Rinconada Drive, Parcel 1</u> Request for Review PHST-23-023

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 409-14-026. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Nicholas Gera Applicant: Greg Zierman Project Planner: Erin Walters

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Greg Zierman, Architectural Designer; and Nick Gera, one of the owners

- Did not find any historic significance or architectural merit.
- The 1920 structure has been modified and does not have any defined architectural style.
- A laundry room with a shed roof was added. The front porch was added. All the windows have been replaced and are now vinyl. The windows are not in the original place and do not have the original style.
- No person of significance has owned the property.
- It is not in a historic district nor on the Sanbourn Map.
- The property meets all five criteria for removal.

Closed Public Comment.

Committee members discussed the matter.

- This is a clear case for removal.
- It is pre-1941, but looking at the property, there is no historical merit and is in bad shape.
- The structure doesn't look salvageable.
- There is a mix of houses surrounding the project.
- This little cottage does not have any architectural significance that is redeemable.
- Sad to see little cottages being removed. But this one is not redeemable.

MOTION:Motion by Chair Cheskin to Approve a Request to Remove a Pre-1941Property from the Historic Resources Inventory for Property Zoned R-1:8.Seconded by Committee Member Queiroz.

PAGE **7** OF **8** MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

VOTE: Motion passed, 3-2. Committee Member Quintana and Vice Chair Burnett voted no.

OTHER BUSINESS (Up to three minutes may be allotted to each speaker on any of the following items.)

8. <u>80 Cleland Avenue</u> Request for Review PHST-23-021

> Preliminary Review for Construction of Exterior Alterations and a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence and Determination of Significance on Property Zoned R-1D. APN 529-33-026. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Dinesh Mishra Applicant: Davide Giannella, Acadia Architecture Project Planner: Erin Walters

Erin Walters, Associate Planner, presented the staff report.

Opened public comment.

Applicant presented the project.

Davide Giannella, Applicant

- They made modifications based on comments from the prior meeting.
- Removed the standing seam metal roof and replace with composition roof.
- Removed the low shed roof addition.
- Extended the addition to mimic the two-story form of the existing house with a lower scale and stepped down the addition from the existing house.
- Repeated the gables at the end of the addition.
- Matching color and materials of the existing house.
- Reduced the size of the windows and doors to mimic the existing spacing.
- The existing second story was a past addition.
- Most of the new addition is to the right to add a kitchen and another new addition to the rear.

Closed Public Comment.

Committee members provided the following questions and comments:

• Thank you for modifying the design per the last meeting comments. Appreciate that the additions match the details of the existing structure.

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MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 28, 2024

- The current front elevation has a nice proportion and harmony.
- The massing of the addition from the front elevation seems off balance. The proposed addition is tacked onto one side. Consider adding additions to both sides of the building to provide symmetry on each side.
- Is there a glass deck guardrail in the back of the house?
- There are many variations in the roof forms.
- Spacing of the windows on the bottom floor addition is a different proportion to the rest of the house.
- The use of the clerestory windows seems inconsistent.
- The unusually shaped skylights are not elements that belong on a historic house.
 - 9. Election of Chair and Vice Chair

MOTION:Motion by Chair Cheskin to elect Vice Chair Burnett as Chair. Seconded
by Committee Member Mayer.VOTE:Motion passed unanimously.MOTION:Motion by Chair Burnett to elect Committee Member Quintana as Vice
Chair. Seconded by Committee Member Queiroz.VOTE:Motion passed 4-0, with Committee Member Quintana abstaining.

ADJOURNMENT

The meeting adjourned at 5:31 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 28, 2024 meeting as approved by the Historic Preservation Committee.

Jennifer Armer, AICP, Planning Manager





HISTORIC PRESERVATION COMMITTEE REPORT

ITEM: 2

DRAFT MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING MARCH 27, 2024

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on March 27, 2024 at 4:03 p.m.

MEETING CALLED TO ORDER AT 4:03 PM

ROLL CALL

Present: Chair Susan Burnett, Vice Chair Lee Quintana, and Committee Member Barry Cheskin.

Absent: Planning Commissioner Adam Mayer and Committee Member Martha Queiroz.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

- 1. Approval of Minutes March 13, 2024
- MOTION:Motion by Vice Chair Lee Quintana to approve the Consent Calendar.Seconded by Committee Member Barry Cheskin.
- VOTE: Motion passed unanimously.

PUBLIC HEARINGS

2. <u>32 Euclid Avenue</u> Request for Review Application PHST-23-019.

Requesting Approval to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:8. APN 529-30-064. Exempt Pursuant to CEQA Section 15061 (b)(3). Property Owner/Applicant: David Wilson Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

PAGE **2** OF **3** MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MARCH 27, 2024

Opened Public Comment.

Applicant presented the project.

Kurt Anderson, Architect; Andy Buran, ECORP Consulting, Inc.

 Andy presented a synopsis of the report. Information was gathered from aerials, permits, etc. The evaluation was made based on National, State, and Los Gatos registered criteria. The report concludes that it doesn't meet the criteria.

Committee members asked questions.

Sandra Mahl, Power of Attorney for former owner, Jerra Rowland.

- She spoke with former husband and the former owner. They were never told that their house was of historic significance, and never asked for historical designation. It didn't seem appropriate. They made a lot of alterations to the front and back.

Kurt Anderson, Architect

- The integrity of the structure is lost, as Sandra said, it had a lot of alterations. It looks like a house and not a barn. The new design has a farmhouse style.
- Alex met with neighbors, and they were in favor of the project.

Closed Public Comment.

Committee members discussed the matter.

- I still see a barn. There are many parts that are barn-like.
- It would cost a lot of money, but it could be restored.
- It should remain on the inventory.
- Not enough historical background of the site and who owned it.
- Appreciate all the research.
- The structure has been substantially modified.
- It doesn't reflect a clear architectural style anymore.
- Not convinced if a council member owning it qualifies as an important person.
- Advocate removing it from the Historic Inventory.
- MOTION: Motion by Chair Burnett to recommend denial of the request to remove a presumptive historic property (pre-1941) from the Historic Resources Inventory for property zoned R-1:8. Findings are based on the structure's architectural integrity, architectural design of a barn, and association with a notable Los Gatos person. Seconded by Vice Chair Quintana.

VOTE: Motion passed, 2-1. Committee Member Cheskin voted no.

PAGE **3** OF **3** MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MARCH 27, 2024

OTHER BUSINESS (Up to three minutes may be allotted to each speaker on any of the following *items.*) None.

ADJOURNMENT

The meeting adjourned at 4:33 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the March 27, 2024 meeting as approved by the Historic Preservation Committee.

Jennifer Armer, AICP, Planning Manager

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DATE: April 19, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:12. Located at 48 Chestnut Avenue. APN 510-40-014. Exempt Pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15061 (b)(3). Request for Review PHST-24-005. Property Owner: Mohit and Aya Singh. Applicant: Jay Plett. Project Planner: Maria Chavarin.

RECOMMENDATION:

Requesting approval to remove a presumptive historic property (pre-1941) from the Historic Resources Inventory for property zoned R-1:12 located at 48 Chestnut Avenue.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1938 per County Assessor's Database
- 2. Town of Los Gatos Historic Status Code: ✓, historic & some altered but still contributor to the district if there is one
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? No
- 5. If yes, is it a contributor? N/A
- 6. Findings required? Yes
- 7. Considerations required? No

DISCUSSION:

The applicant is requesting removal of the presumptive historic property (pre-1941) from the Historic Resources Inventory (HRI). The Santa Clara County Assessor's Database lists a construction date of 1938 for the residence. The property is not within a historic district or LHP overlay and is included in the 1990 Anne Bloomfield Survey (Attachment 1). The Sanborn Fire Insurance Maps show a consistent building footprint from 1928 to 1956 (Attachment 2).

PREPARED BY: Maria Chavarin Assistant Planner

PAGE **2** OF **3** SUBJECT: 48 Chestnut Avenue/PHST-24-005 DATE: April 19, 2024

DISCUSSION (continued):

The applicant has provided the results of historic research (Attachment 3).

A review of Town records yielded the Building Permit records for 2000 (reroof permit), 2005 (kitchen remodel), and 2005 (foundation and wood framing repair) (Attachment 4).

The existing residence is a single-story gable-ended structure with a composition shingle roof and horizontal wood siding. The residence includes a mix of wood French doors with grids; double hung windows with grids or partial grids; and wood trim. In May 2005, a Building Permit was issued for foundation repair and framing repairs to cripple walls and partition walls. No building plans are available, so the extent of the repairs is unknown. It is unclear if the existing siding was repaired through the Building Permit issued in 2005.

The applicant's research letter concludes that exterior alterations to the residence has compromised the residence original state. In addition, a report (dated November 10, 2023, prepared by Jane Wang, Civil Engineer) was provided by the applicant regarding the conditions of the site that affect the stability of the residence along with other safety hazard concerns.

CONCLUSION:

If the Committee can make the findings for removal from the Historic Resources Inventory based on the information provided by the applicant, a recommendation of approval should be forwarded to the Community Development Director. Once removed from the Historic Resources Inventory, any proposed alterations would not return to the Committee.

FINDINGS:

A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

- 1. The structure is not associated with events that have made a significant contribution to the Town;
- 2. No Significant persons are associated with the site;
- 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
- 4. The structure does not yield information to Town history; and
- 5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

PAGE **3** OF **3** SUBJECT: 48 Chestnut Avenue/PHST-24-005 DATE: April 19, 2024

ATTACHMENTS:

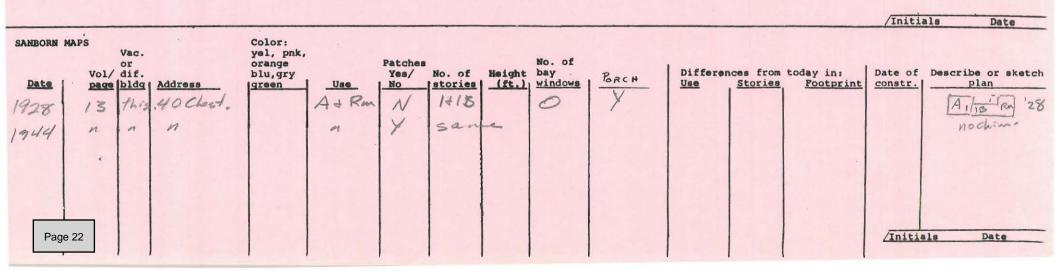
- 1. Anne Bloomfield Survey
- 2. Sanborn Fire Insurance Map Exhibit
- 3. Applicant's Research Results
- 4. Town Records

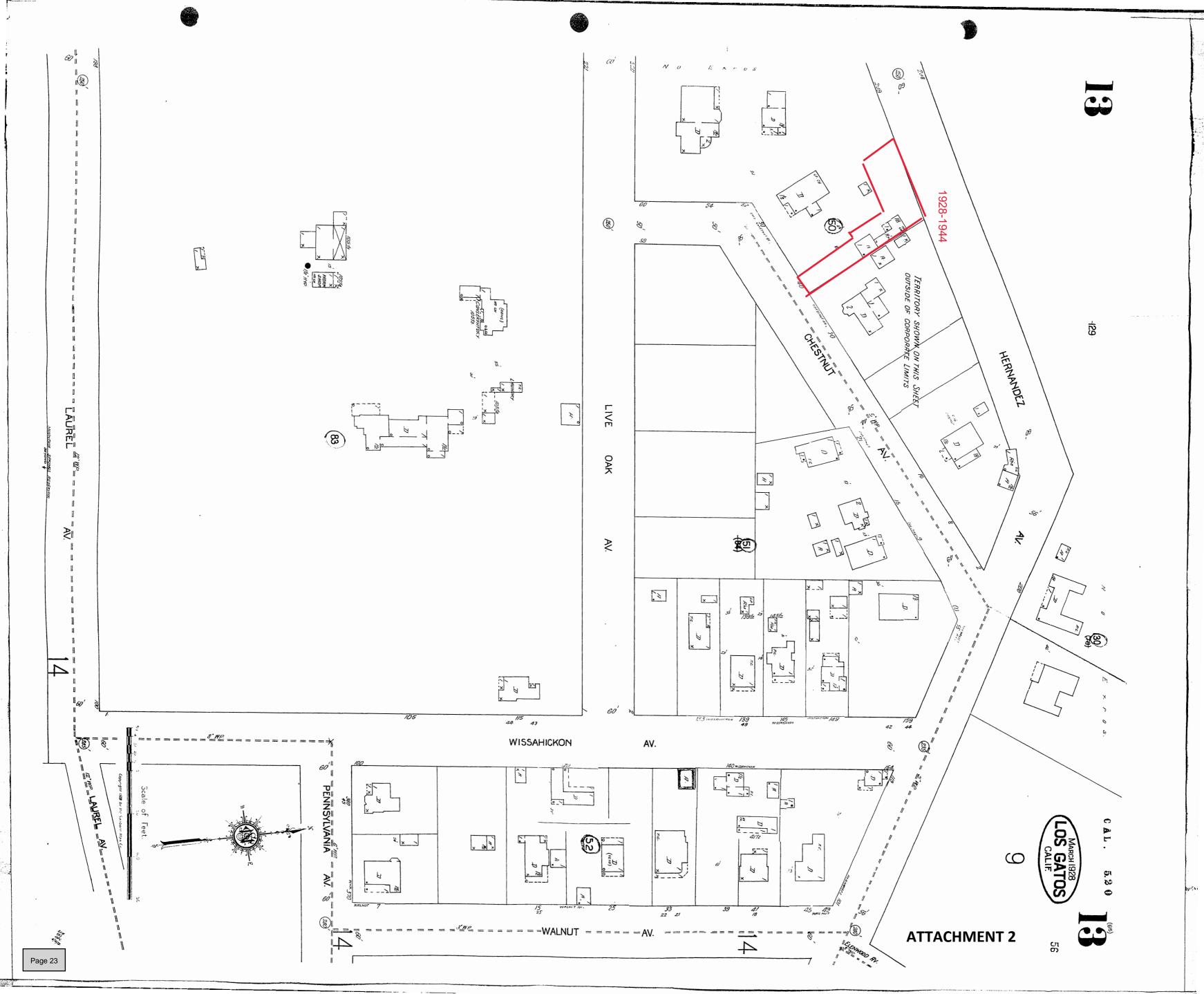
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OTHER SOURCE (specify thoroughly)







TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE HISTORIC RESEARCH WORKSHEET



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of <u>the historical and architectural</u> <u>characteristics</u>, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

- 1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
 - Sanborn Maps
 - □ 1941 Tax Assessment
 - 1989 Anne Bloomfield Historic Resource Survey forms
 - Polk's Directories
 - Telephone Directories
 - □ Other
- 2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):

- 1-

- □ Santa Clara County Planning Department records
- □ San Jose Public Library (California Room)
- 3. Community Development Department Resources:
 - Sanborn Maps
 - 1989 Anne Bloomfield Historic Resource Survey forms
 - Community Development Department property files (permit history)

Research was conducted on (please enter date):	02/2024
	Anna Plaamfield records

Records and Documents found (please attach copies): Anne Bloomfield records.

HOW TO RESEARCH THE HISTORY OF A HOUSE IN LOS GATOS At the Los Gatos Public Library 100 Villa Avenue, Los Gatos CA 95030

Locked Cases Area

1. The Los Gatos *Sanborn Fire Insurance Maps* located on the microfilm file cabinet. These maps indicate the outline of buildings in 1884, 1888, 1891, 1895, 1904, 1928 and 1944 (please note the 1944 maps have been relabeled and appear out-of-order, before the 1928 maps). These can be used to identify a construction date range.

Bookcase #11

- 1. The 1941 *Tax Assessment Survey*. The listings are alphabetical by street name. An entry will note how old the owner thought the house was in 1941 (please note that this information is not always accurate).
- 2. The 1991 Anne Bloomfield Historic Resources Survey. These listings are alphabetical by street name.
- 3. A list of the *Museums of Los Gatos Historic Homes Tours* and programs.
- 4. A list of the 100 *Bellringers* and information.
- 5. <u>As it Was</u> by Dora Rankin.

Bookcase #12

- 1. The 1924-1974 *Polk's Directories* (please note that some years are missing), with reverse listings by address and then resident name.
- 2. Business and Telephone Directories, as early as 1881-82.

History Room (Docent Hours: 1:00-5:00 Mondays and Thursdays; 10:00-12:00 Wednesdays)

- 1. <u>History of Los Gatos</u> by George Bruntz and <u>Los Gatos Observed</u> by Alistair Dallas (979.473).
- 2. Information in the Residences drawers of the Vertical File, filed by street.
- 3. The Patrons' Inquiries, binder #3 Residences, listed by street, located on the shelf above the computers. These may provide information found under previous searches.

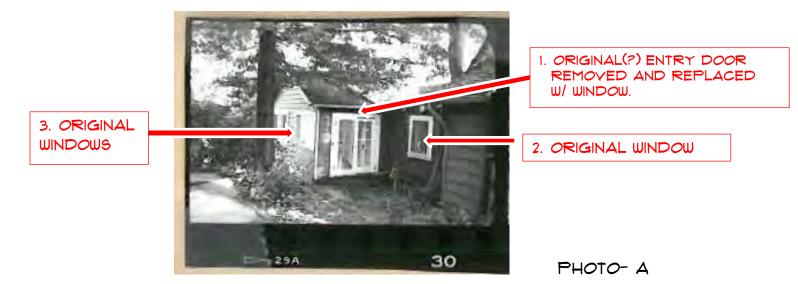
General

- 1. <u>ancestry.com</u> is available free while inside the library.
- 2. <u>A Field Guide to American Houses</u> by Virginia Savage McAlester (728 M11 in non-fiction)

REQUEST FOR REMOVAL FROM HISTORIC INVENTORY

PER THE SANBORN MAPS, THE HOME WAS NOT ORIGINALLY LOCATED WITHIN THE TOWN'S LIMITS.

ANNE BLOOMFIELD'S REPORT CONTAINS THE FOLLOWING PHOTO OF THE HOMES PAST APPEARANCE - PHOTO- A.



BLOOMFIELD NOTES THAT THE GARAGE WAS CONSTRUCTED IN THE 1950'S, WHICH WOULD HAVE CONSTITUTED A TECHNICAL DEMO OF THE ORIGINAL HOUSE OCCURRING AT THAT TIME. BLOOMFIELD ALSO NOTES THE HOUSE IS UNSEEN (FROM STREET).

PHOTOS B, C AND D SHOW THE HOMES CURRENT DESIGN.







PHOTO-B

PHOTO- C



PHOTO- D

THE ENTRY DOOR HAS BEEN MOVED AND IS NOT ORIGINAL.

THE FRENCH DOORS ON THE SOUTH FACING WALL HAVE BEEN REMOVED AND REPLACED WITH A WINDOW - THIS WAS DONE TO ADD A STAIR IN THAT LOCATION DOWN TO A NON-PERMITTED 'BOOTLEGGED' LOWER LEVEL ADDITION.

THE WINDOW ON THE WEST FACING WALL HAS BEEN REMOVED AND REPLACED WITH FRENCH DOORS AND SIDELIGHTS OF QUESTIONABLE QUALITY - I.E. SNAP-IN GRIDS, NON-SAFETY GLAZING.



PHOTO- E

THE SOUTH FACING WALL - CLOSEST TO THE STREET - AT ONE TIME HAD A GARAGE (PHOTO- E) WHICH HAS BEEN CONVERTED TO A NON-PERMITTED LIVING SPACE OF DUBIOUS CONSTRUCTION:

 PART OF BEDROOM SLAB IS BELOW GRADE WITH EXTERIOR CONCRETE CURB FAILING TO PREVENT MOISTURE INTRUSION -SEE PHOTO J



CONCRETE CURB SLAB BELOW CURB.

METAL FLASHING ON GROUND THAT IS FAILING TO PREVENT WATER INTRUSION.

PHOTO - J

- WATER INTRUSION FROM UNKNOWN SOURCES
- CONSTRUCTED ON A CONCRETE SLAB WITH NO MOISTURE BARRIER
- A DIFFERENT FLOOR LEVEL THAN THE ORIGINAL HOUSE, ETC.

OTHER ASPECTS

THE WINDOWS ARE OF NON-COHERENT FENESTRATION - SOME CASEMENTS, SOME DOUGLE HUNG, AND SOME SINGLE GLAZED. IN ALL CASES, THE WINDOWS ARE AT THE END OF THEIR SERVICEABLE LIFE, DRYROTTED AND NON-REPAIRABLE.

THE WINDOWS ALONG THE NORTH SIDE OF THE HOUSE ARE A FIRE HAZARD AND ARE NOT PERMISSIBLE UNDER CURRENT CODE DUE TO

THIER ONE FOOT PROXIMITY TO THE PROPERTY LINE. PHOTOS OF WINDOW ROT BELOW.





SIDING AND BUILDING ENVELOPE







CONCRETE CURB SLAB BELOW CURB.

FLASHING ON GROUND THAT IS FAILING TO PREVENT WATER INTRUSION.

METAL

PHOTO- F

PHOTO- G

PHOTO-H



PHOTO-I



THE STRUCTURE'S SIDING IS IN POOR REPAIR. FACE NAILED WITH NO PUTTY, NON EXISTENT CORNER TRIM THAT HAS ALLOWED WATER TO INFILTRATE THE BUILIDING ENVELOPE, SIDING IRRESPONSIBLY REPAIRED IN SOME LOCATIONS WITHOUT WEAVING THE SIDING TOGETHER AND NO UNDERLAYMENT. MANY HOLES HAVE BEEN

Page 30

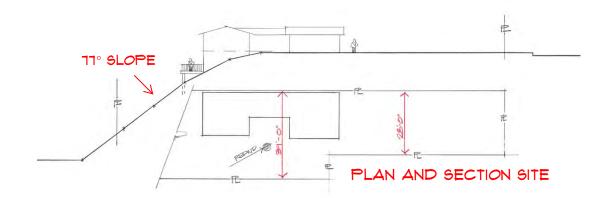
COVERED WITH SCREENING MATERIAL TO ALLEVIATE RODENT INFESTATION, BUT AT THE SAME TIME ALLOWING WATER TO PASS THROUGH INTO THE STURUCTURE'S FRAMING.

BOTH THE LOWER LEVEL ADDITION AND GARAGE CONVERSION EXHIBIT MOLD AND MUSTY ODORS, ESPECIALLY DURING THE RAINY SEASON. THIS IS DUE TO WHOLLY INADEQUATE CONSTRUCTION THAT WOULD NEED TO BE DEMOLISHED TO BE REPAIRED.

STRUCTURAL DEFICIENCIES

THE HOME SITS PERCHED ATOP THE EDGE OF AN EXTREMELY STEEP SLOPE. THE FOUNDATION IS WHOLLY INADEQUATE TO ANCHOR THE HOME PROPERLY IN THIS LOCATION.

THE HOME IS DEFLECTING DOWNWARD DUE TO THIS DEFICIENCY.



THE FOUNDATION IS NOT EMBEDDED INTO THE GROUND. EVERY RAINY SEASON THAT PASSES, THE GROUND BELOW THE NON-EMBEDDED FOUNDATION SETTLES, LEAVING AN AIR GAP THAT RODENTS USE TO ACCESS THE HOUSE.



AT FIRST, THE OWNER HAD CONCRETE ADDED TO SEAL AND STABILIZE THE HOUSE. THIS HAS ULTIMATELY FAILED AND NOW THEY APPLY EXPANDABLE SPRAY FOAM TO HELP KEEP OUT RODENTS PERIODICALLY AS THE GROUND BLOW THE FOUNDATION CONTINUES TO SETTLE OVER TIME.

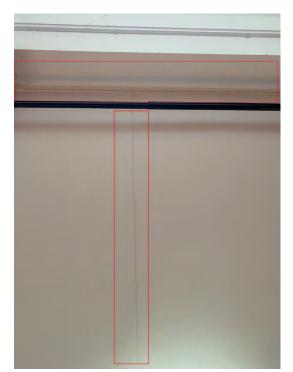
THIS IS A NON-ACCEPTABLE PRACTICE OF FOUNDATION CONSTRUCTION - EVEN BY CODE, A MINIMAL FOUNDATION EMBEDMENT OF 18" BELOW GRADE IS REQUIRED - THIS FOUNDATION STRUCTURE HAS ZERO EMBEDMENT SITTING ATOP AN EXTREME SLOPE. THIS POSES A DIRE LIFE SAFETY RISK FAILURE IN THE EVENT OF AN EARTHQUAKE OR FAILURE OF THE SLOPE BELOW THE STRUCTURE.

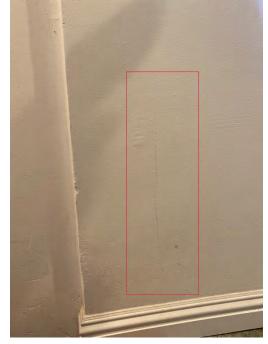
PHOTOS SHOW THE CRACKS AND SEPARATION FAILURES TO THE SHEETROCK IN BOTH THE WALLS AND CEILINGS DUE TO THE SETTLING FOUNDATION. THIS IS AN ONGOING DEFECT THAT IS WORSENING OVER TIME AS THE FOUNDATION IS NOT STABLE AND IN MOTION.

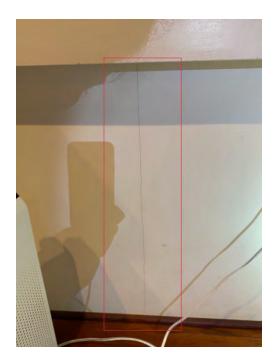












SEE ATTACHED LETTER FROM JANE WANG, P.E. MS. WANG CLEARLY DELINEATES THAT THE STRUCTURAL DEFICIENCIES CONSTITUTE A LIFE SAFETY HAZARD AND THE STRUCTURE SHOULD BE DEMOLISHED.

SUMMARY

THE STRUCTURE'S ORIGINAL STYLE WAS NON-DESCRIPT AND THE NON-COHERENT MODIFICATIONS OVER THE YEARS DO NOT MATCH THE ORIGINAL STYLE.

IT IS PLANNED FOR THE NEW HOME TO BE IN A TRADITIONAL FARMHOUSE STYLE THAT WILL SITUATE PROPERLY ON THE SITE AND BE A COMPLIMENT TO THE DESIRABLE LOS GATOS HOUSING TRADITIONS.

Letter of Recommendation for Demolition

Singh Residence

48 Chestnut Ave.

Los Gatos, CA

Вy

Jane Wang, P.E.

DATE BY: 12/11/23 JANE WANG TEL NO: 408-4068892



To: From:	Town of Los Gatos Jane Wang, P.E. (408) 406-8892
Subject:	Letter of Recommendation for Singh Residence 48 Chestnut Ave., Los Gatos, CA

Date: Nov. 10, 2023

Safety hazard issues:

The structure is situated atop an extremely steep slope -reference photo 5. The damaged foundation caused the house to tilt. The foundation is failing and cracked due to lack of proper footings, piers/underpinning, poor workmanship and water Intrusion. On the downhill side, large trees have grown against the foundation, uplifting and cracking the footings. In several Places, the concrete footings extend up beyond the level of the floor, allowing water intrusion.

The girder support system is substandard - many posts in contact with the ground. The structure and foundation is Settling and creeping down the hillside. The house is not level due to major supporting failure. Rest continuous foundation was not built to the code, more than fifty percent of which needs to be replaced. Reference photos 1 - 5.

Photo 1

Photo 2







Photo 3

Photo 4



The front portion of house is a converted garage. The floor slab has no steel or waterproofing. Here too, The footings extend up beyond the level of the floor allowing water intrusion.

Photo 5

WALLS AND ROOF

The shear walls is not up to code, not enough to have proper lateral load transfer, siding have been cut and attached back on the side of the house, not up to code, which causing major leakage and failing. Back side toward about mid wall area, which has no signs, that these patched siding are in accordance with codes as shown in photo 7. Roof and wall is not properly framed. Majority of the roof eaves are not up to code, which also contribute to water damage to the house, east, west and south side as shown on in the photos below, Roofs support frame is not to code, lack beams in between, which cause roof deform. The walls have been taken lots infiltration, causing major rotten and mold to the structure. More than fifty percent of roof framing and walls need to be reinforced or replaced. The load distribution on those timbers or foundation could cause incorrect load transfer due to uneven quality of the material, which could be a safety hazard.

The house is lack of thermal and moisture protection, is also unsafe to have a standard living. The floors, walls and attic have no insulation. The siding has many open penetrations. There is no corner trim or flashing allowing water intrusion into the building resulting in mildew, rot and unhealthy air quality. The holes also contribute to rodent infestation and those apparently have been screened over. See photos 6, 7, 8 and 9.

<image>

Photo 7





Photo 8

Photo 9

Roof and wall is not properly framed. More than fifty percent of roof framing and the walls need to be replaced. The load distribution on those beams or foundation could cause incorrect load transfer due to uneven quality of the material, which could be a safety hazard.

The house's exterior is in such poor repair (photo 10), poorly insulated windows



Photo 10

Photo 11

and doors, and no interest to the public.,

`In conclusion, the house would have severe safety issues without replacing most part of the foundation, roof, walls, etc., and lack the architectural or aesthetic interests or value. The house is recommended to be demolished.

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TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT BUILDING PERMIT

Permit Number: B00-000961

Work Description: T/O CAPSHEET R/R 30YR COMP SHINGLES 1500SF

Building Address: Owner Address City Contractor License Address Business Lic Business Lic Arch\Eng\Design License Address City Valuation Total Sq.Ft	QUINN DAVID C LOS GATOS CA G T BUILDERS 528347 LOS GATOS, CA 0012746 2,250.00 1,500 Liva	A I E ble Sq.Ft.:	tatus: ISSUED pplied.: 09/25/2000 pproved: 09/25/2000 ssued: 09/25/2000 xpires.: 03/24/2001	
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Building Permit.:	75.50	Micro Planning:	.00	
Title-24	.50	Storm Drain Eng:	.00	
Seismic Tax: Plan Check:	.00	Road Impact Fee	22.50	
Micro Building:	2.00	Computer Services:	3.02	
Construction Tax:	.00	Gen Pln Updt:	.00	
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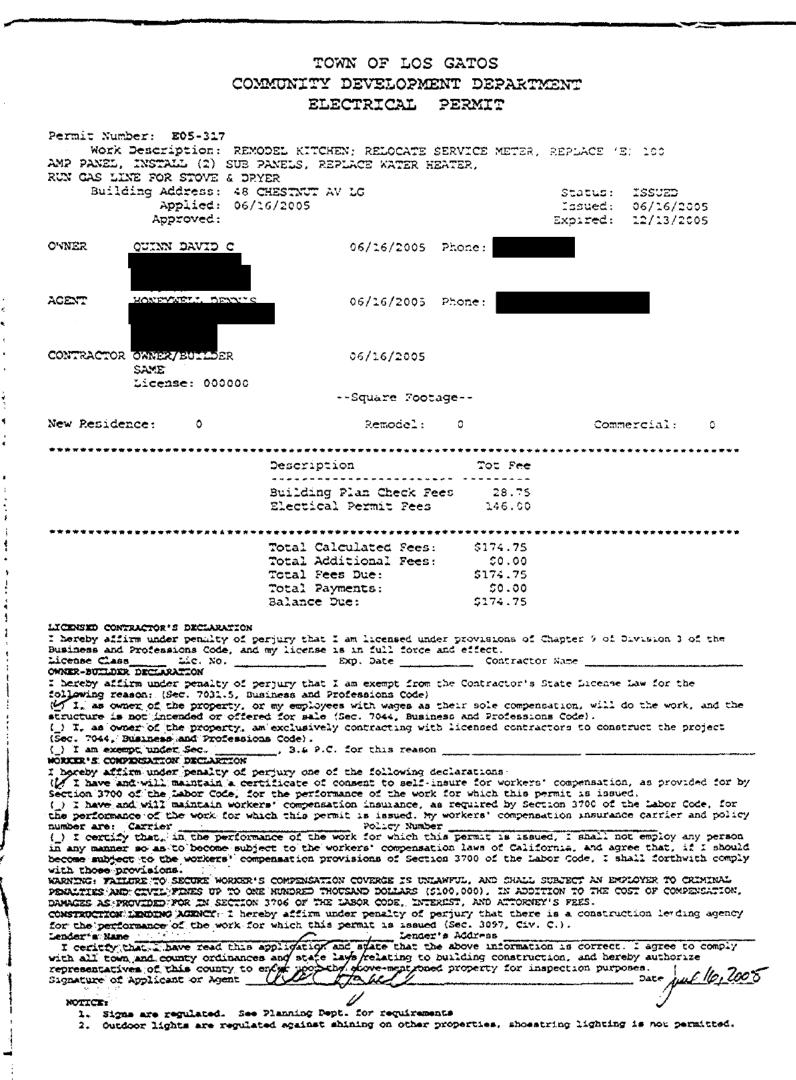
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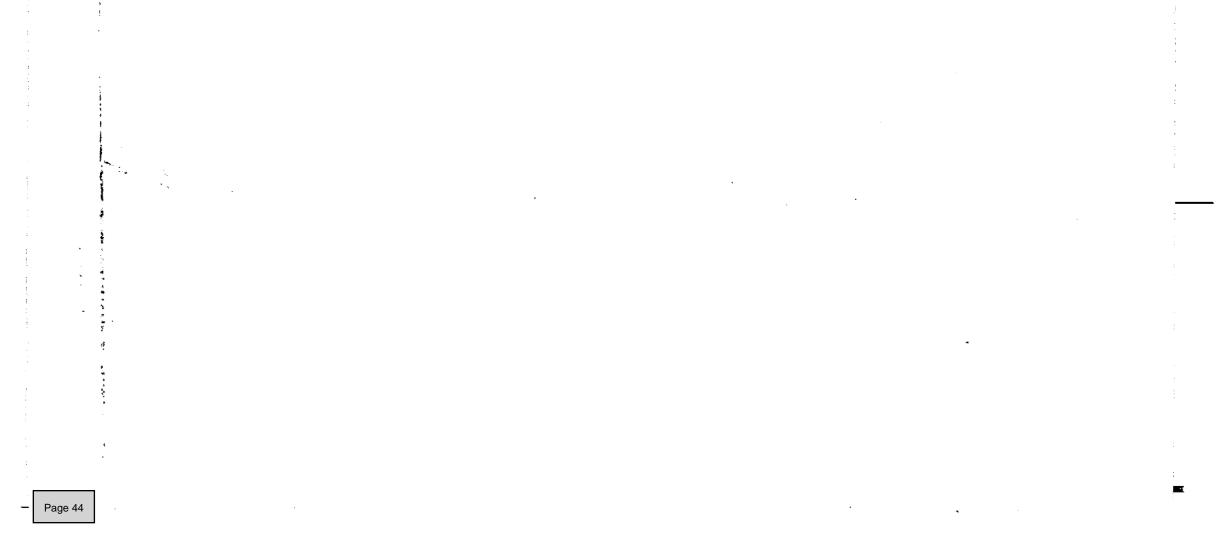
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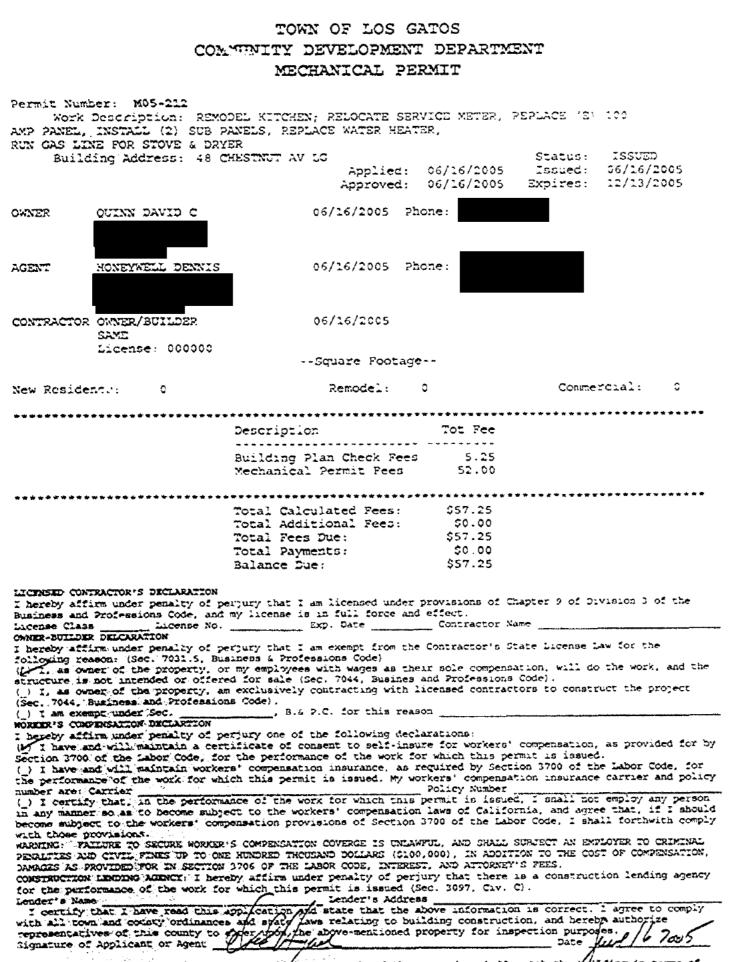
TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING PERMIF Permit Number. B05+0460 Work Description: REMODEL KITCHEN; RELOCATE SERVICE METER, REPLACE (E) 100 AMP PANEL, INSTALL (2) SUB PANELS, REPLACE WATER HEATER, **KUN GAS LINE FOR STOVE & DRYER** ISSUED Building Address: 48 CHESINUT AV LG Status: Applied: 06/16/2005 Approved: 06/16/2005 Issued: 06/16/2005 12/13/2005 Expires: 06/16/2005 Phone: OWNER QUINN DAVID C 06/16/2005 Phone: C GENT HONEYWELL DENNIS CUIPACIOF OWNER/BUILDER 06/16/2005 SAME License: J00000 \$12,872.00 Valuation: Liveable Sq.Ft.: 74 Iotal Sq. Ft.: House Count: Class Codu: 434 Bldg Count: 0 1 ********** Description Tot Fee - - - - - - - - - - - - -. Building Permit Fees 254.25 Building Plan Check Fees Computer Services Fee 145.11 8.93 6.60 Microfilm Fees - Bldg. Road Impact Basin #2 2.96 Seismic Tax 5% .06 Seismic Tax 951 1.23 ******** ****************** Total Calculated Fees: \$419.14 Total Additional Fees: \$0.00 Total Fees Due: \$419.14 \$0.00 Total Payments: \$419.14 Balance Due: FIGENSED CONTRACTOR'S DECLARATION I berefy affirm under genalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business art Erofessions Code, and my license is in full force and effect. License Class License No. Fxp. Date Contractor Name Li. C. .. Class Exp. Date CENER-FUILDER DELCAPATION CENER-FUILDER DELCARATION
I herely affirm under penalty of perjury that I am except from the Contractor's State License Law for the
following reason: (Sec. 7031.5, Business and Professions Code)
Laf'I, as except of the property, or my exployees with wages as their sole compensation, will do the work, and the
cituature is not intended or offered for sale (Sec. 7044, Business and Professions Code).
L i I, as except of the property, am exclusively contracting with licensed contractors to construct the project
Lact 2014, Business and Professions Code).
L is monotopy for Sec. 7049.
B & B C for this reason. *) I ar except under Sec. , B.6 P.C. for this reason worker's COMPENSATION DECLARTION WORKER'S COMPENSATION DECLARTION I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for Section 3700 of the sould for which this permit is issued. My workers' compensation insurance carrier and Folicy No. Folicy LAWARD AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ALTORNEY'S FEES.



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NOTICE: All new mechanical equipment shall be acreened and the acreening shall match the suilding in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town of Los Gatos Code.

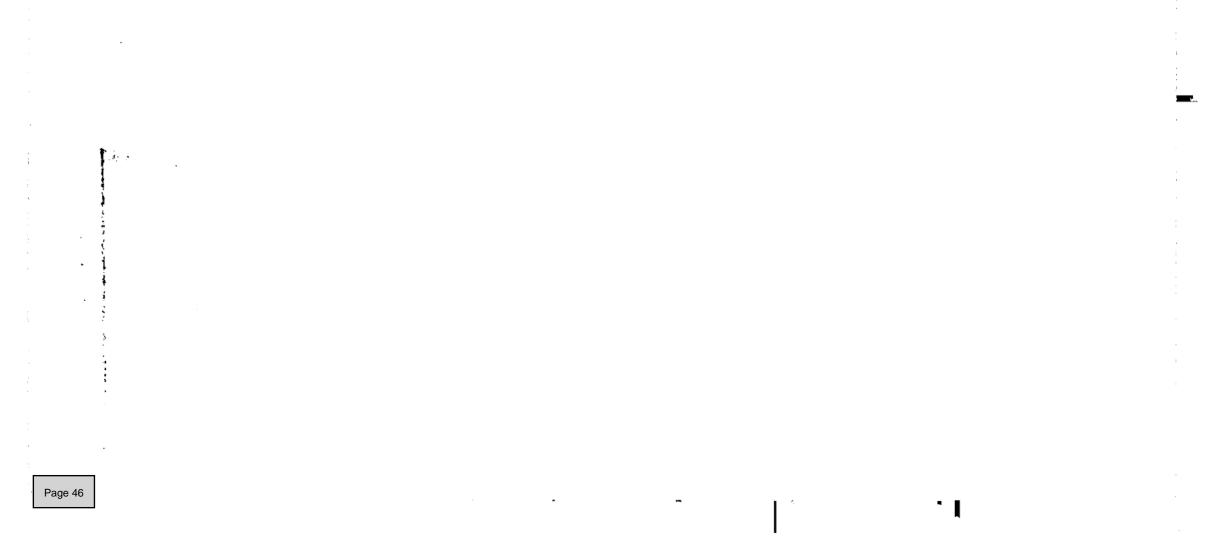
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Page 45

TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT PLUMBING PERMIT Permit Number: P05-300 Work Description: REMODEL KITCHEN; RELOCATE SERVICE METER, REPLACE .E) 100 AMP PANEL, INSTALL (2) SUB PANELS, REPLACE WATER HEATER, RUN GAS LINE FOR STOVE & DRYER Building Address: 48 CHESTNUT AV LG Status: 12SUED Issued: 06/16/2005 Expires: 12/13/2005 Applied: 06/16/2005 Approved: 06/16/2005 OWNER OUTEN DAVID C 06/16/2005 Phone: AGENT HONEYWELL DENNIS 06/16/2005 Phone: CONTRACTOR OWNER/BUILDER 06/16/2005 SAME License: 000000 --Square Footage--New Residence: С Remodel: 0 Commercial: 0 Description Tot Fee -----Building Plan Check Fees 7.75 Plumbing Permit Fees 62.00 ************************************ Total Calculated Fees: \$69.75 Total Additional Fees: \$0.00 Total Fees Due: \$69.75 Total Payments: \$0.00 Salance Due: \$69.75 LICENSED CONTRACTOR'S DECLARATION I hereby affirm under penalty of perjury that I am incensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class ______ Lic. No. _____ Exp. Date ______ Contractor Name License Class Li OWNER-BUILDER LECLARATION I hereby affirm under penalty of perpury that I am exempt from the Contractor's State License Law for the following reason: (Sec. 7031.5, Business and Professions Code) i. as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code).
 () I. as owner of the property, an exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). (_) I am exempt under Sec. 8, 6 2 NORMER'S COMPENSATION DECLARITION . B. & P.C. for this reason MORETR'S COMPENSATION DECLARITION I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code. for the performance of the work for which this permit is issued. () I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for () I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and () I certify that, in the performance of the work for which this permit is issued. I shall not employ any person in any manner solar to become subject to the workers' compensation laws of California, and agree that, if I forthwith comply with those provisions.

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT (408) 354-6881 FAX (408) 354-7593

CIVIC CENTER 110 B. MAIN STREET P.O. BOX 949 LOS GATOS, CA 95031

OWNER - AGENT APPROVAL FORM

For persons other than the owner who wish to obtain a Building/Electrical/Mechanical/Plumbing Permit(s), the approval of the legal owner is required.

This is the Town's authorization to issue a permit to the agent listed below:

DENNIS-KANEGUEL Agent: Name: Address: City: Telephone: UNUID COUNIN Owner: Name: Address: City: Telephone: 5/5 105 Date Signature of Legal Property Owner 610 48 Chestnut 40 014 Assessor's Parcel Number **Project Location** RECEIVED (NOTE: One owner-agent form will be require for each permit required.) JUN. 1 6 2005 NN OF LOS GATE! (Rev. 10/26/99) B05 0460 IN ICENFORMS OWNAGENT WITD Ed-INCORPORATED AUGUST 10, 1887

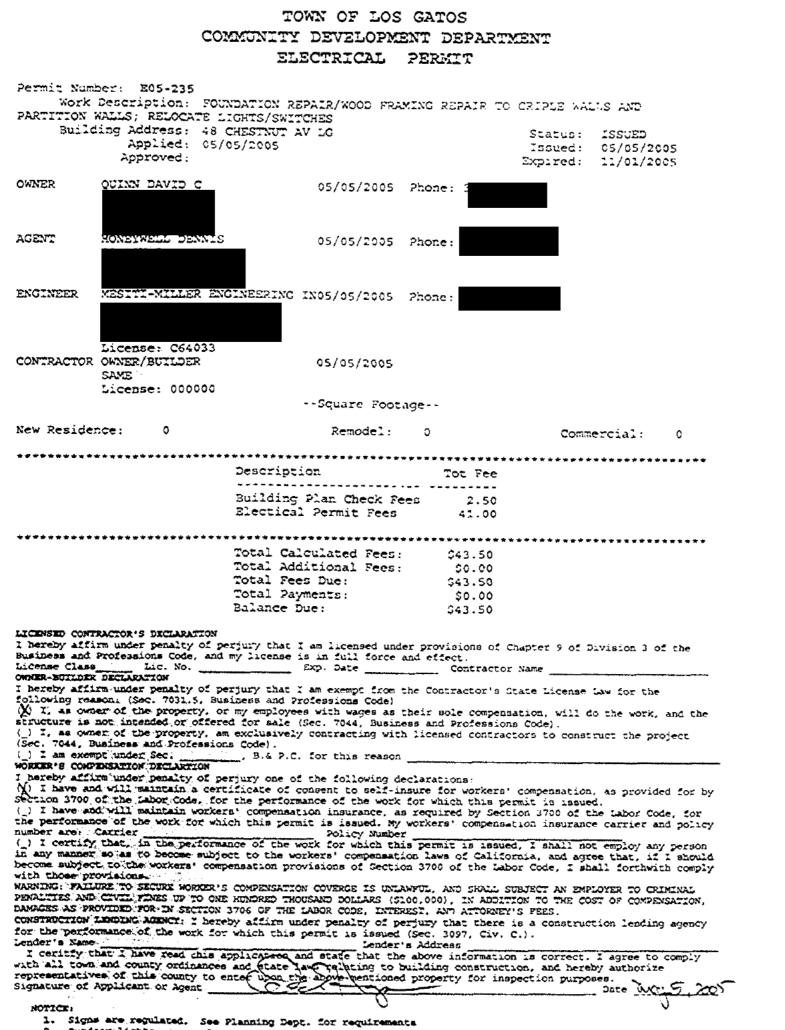
TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT BUILDING PERMIT

Permit Number: B05-0321 ISSUED Applied: 05/05/2005 Issued: 05/05/2005 Approved: 05/05/2005 Expires: 11/01/2005 QUINN DAVID C 05/05/2005 Phone: OWNER 05/05/2005 Phone: AGENT HONEYWELL DENNIS MESITI-MILLER ENGINEERING IN05/05/2005 Phone: ENGINEER License: C64033 05/05/2005 CONTRACTOR OWNER/BUILDER SAME License: 000630 Valuation: \$10,500.00 Liveable Jq.Ft.: Total Sq. Ft.: 0 0 Bldg Count: 1 House Count: 0 434 Class Code: ****** Tot Fee Description _____ Building Permit Fees 421.50 Building Plan Check Fees 126.91 Computer Services Fee 7.81 Microfilm Fees - Bldg. 22.00 Seismic Tax 5% .05 Seismic Tax 95% 1.00 ********************************* ********** ********************** \$384.02 Total Calculated Fees: Total Additional Fees: \$195.25 \$579.27 Total Fees Due: Total Payments: \$0.00 \$579.27 Balance Due: LICENSED CONTRACTOR'S DECLARATION "I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect. ___ Contractor Hame Exp. Date ____ License Class License No. _ CHNER-BUILDER DELCARATION . I hereby affirm under penalty of perjury that I am exempt from the Contractor's State License Law for the following reason: (Sec. 7031.5, Business and Professions Code) (*) I. as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). () I, as owner of the property, an exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). WORKER'S CONDENSATION DECLARTION WORMER'S COMPENSATION DECLARITION I hereby affirm under penalty of perjury one of the following declarations: I I have and will maintain a certificate of consent to self-insure for workers' compensation, is provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. ()I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy No. policy number are: Carrier [] Policy No. [] I certify that, in the performance of the work for which this permit is issued. I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall SHOULD DECOME SUBJECT TO THE WORKER'S COMPENSATION COVERGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL WARNING: PAILURE TO SECURE WORKER'S COMPENSATION COVERGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PRNALTIES AND/CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FRES. Signature of Applicant or Agent.

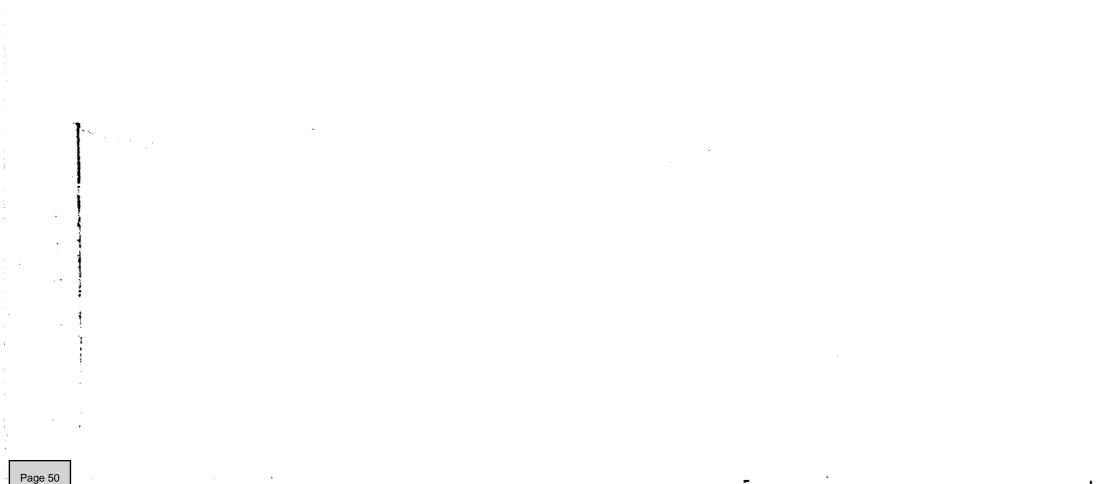
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2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.



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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT (408) 354-6881 FAX (408) 354-7593 CIVIC CENTER 110 E. MAIN STREET P.O. Box 949 Los Gatos, CA 95031

OWNER - AGENT APPROVAL FORM

For persons other than the owner who wish to obtain a Building/Electrical/Mechanical/Plumbing Permit(s), the approval of the legal owner is required.

This is the Town's authorization to issue a permit to the agent listed below:

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	Date	Signature of Legal Property Owner
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Assessor's	Parcel Number	Project Location
	•	RECEIVED
(NOTE: One o	wner-agent form will be require for	each permit required.) MAY - 5 2005
(Rev. 10/20	5/99)	TOWN OF LOS GATOS BUILDING DIVISION BOS-0301 E05-035
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VS OATUS	COMMUNITY DEVELOPMENT DEPARTM BUILDING DIVISION PHONE (408) 354-6881 OR (408) 399-57 www.losgatosca.gos	HOE MAN SH
	Permit Extension	JAN - 3 2005
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DATE: April 19, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 16488 Bonnie Lane. APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

RECOMMENDATION:

Requesting approval for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence on property zone R-1:8 located at 16488 Bonnie Lane.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1938 per County Assessor's Database
- 2. Town of Los Gatos Historic Status Code: +, historic and intact or worthy of special note.
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? No
- 5. If yes, is it a contributor? N/A
- 6. Findings required? Yes
- 7. Considerations required? No

BACKGROUND:

The County Assessor indicates that the residence located at 16488 Bonnie Lane was constructed in 1938, and the 1991 Bloomfield Survey estimates the construction date as the 1930s and providing a rating of "historic and intact or worthy of special note" (Attachment 1). The property is not included in the Sanborn Fire Insurance Maps.

PREPARED BY: Maria Chavarin Assistant Planner

PAGE **2** OF **3** SUBJECT: 16488 Bonnie Lane/MR-24-007 DATE: April 19, 2024

BACKGROUND (continued):

Town records indicate that a request for a 644 square-foot second-story addition, a 356 squarefoot first-floor addition, and new patios was approved by the Town's Planning Department in August 1989 (Attachment 2). The applicant provided a summary of the records researched (Attachment 3), as well as property pictures (Attachment 4).

On October 25, 2023, the Committee considered a request to remove the pre-1941 singlefamily residence from the Historic Resources Inventory. After considering the application and materials, the Committee discussed the matter and voted unanimously to deny the removal of the pre-1941 single-family residence from the Historic Resources Inventory.

DISCUSSION:

Minor Residential Development Application MR-24-007 was submitted on April 8, 2024, proposing construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence. The project includes a second-story addition of 346 square feet; infill of an existing door on the west elevation; removal of an existing chimney on the south elevation to be replaced with an interior and exterior fireplace unit; construction of a new balcony on the south and east elevations; and interior remodel (Attachment 5).

The proposed materials consist of: stucco siding, new exterior paint, vinyl windows, new wood square columns on the front porch to match craftsman style, and new wood railings. The proposed height of the new second story addition will match the existing roof ridge (approximately 21 feet).

CONCLUSION:

The applicant is requesting approval for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1:8. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process. The project would not return to the Committee.

PAGE **3** OF **3** SUBJECT: 16488 Bonnie Lane/MR-24-007 DATE: April 19, 2024

FINDINGS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- _____ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.
- B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 6).

ATTACHMENTS:

- 1. Anne Bloomfield Survey
- 2. Town Records
- 3. Applicant's Submittal Packet
- 4. Property Pictures
- 5. Development Plans
- 6. Section 3.9, Residential Design Guidelines

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	ARCHITECTURAL HISTOR (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO. CA 94115
ARC	CHITECTURAL/CULTURAL SURVEY
Fin In Indea R.	LOS GATOS RESEARCH
File address 16488 Bonn PARCEL MAP INFORMATION	
	Lot size: <u>184</u> front ft. x ft. deep
	ngle with small rear jog Other
	of <u>13</u> St Ave Other <u>Le</u>
distance to cross st:	40 ft. N_S/E_W_from Shannon
at N	ENWSESWcorner of
HISTORIC INFORMATION ON PARCEL MAP	
Old tract or subdivision name_MSGa	schur Estate Old Block # State Old lot #
FIELD SURVEY INFORMATION (handwritte	
Preliminary rating <u>+</u> Estimated	d age 1930s Style Craftsman # stories
Alterations porch enclosed?	
Other	
COUNTY ASSESSOR PROPERTY CHARACTER	ISTICS (paste on copy) Page EFFective date
OWNERSHIP SHOWN ON MAPS Source Source Location	of property, or Lot Owner
	t/block/lot Size Name
1891	
Blk Book 1908	
Survey 1941	

District Name____ Previous Survey

National Register listed date

MISCELLANEOUS

Gebhard: page #_____ illustration page #____ Butler/Junior League_____

County Inventory 1979_____ Town of Los Gatos: Designation____ Recognition___

Date 19-4-90

PHOTOS: Roll/frame #039/19

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PLANNING DEPARTMENT (408) 354-6872 August 18, 1989

NOTICE OF INTENTION TO APPROVE

NEW RESIDENTIAL CONSTRUCTION

The Los Gatos Planning Department has received an application from Steve and Mollie Baunach to construct a second story room addition at 16488 Sonnie Lane (X-89-23).

The proposal will be approved on August 31, 1989, unless there is ovidence that the project is too largo or bulky, incompatible with the neighborhood, interfores with views or privacy, creates an adverse effect on the environment, or is not in compliance with the approved development standards for residential zones.

The plans are available for review in the Planning Department from 8:00 A.M. to 5:00 P.M. Any comments in opposition to this proposal must be received by this office in writing prior to the anticipated approval date.

Very truly yours,

Lee E. Bowman Planning Director

LEB: DRR:cher

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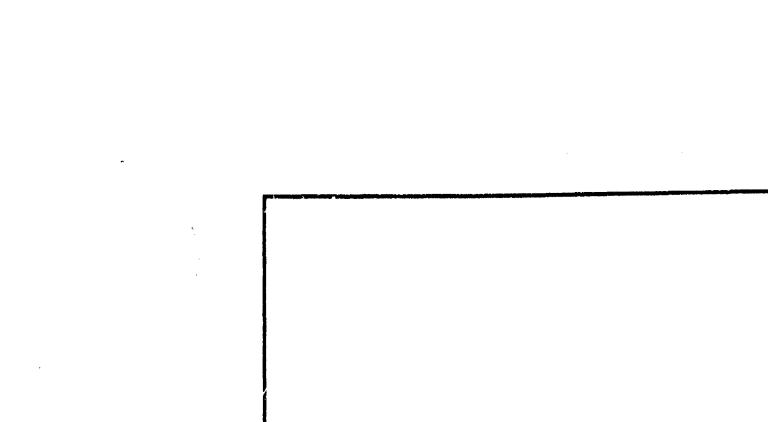
APPL TCATTON DATE RECEIVED: 8/10/89 TOWN OF LOS GATOS PLANNING DEPARTMENT RECEIVED BY: CHRISTING A. CIVIC CENTER MAILING ADDRESS: 110 E. MAIN STREET P.O. BOX 949 LOS CATOS, CA 95032 LOS GATOS, CA 95031 X-89-23 PLEASE TYPE OR PRINT CLEARLY (PRESS FIRMLY) 1. APPLICANT REQUEST: (Check appropriate bozes) 2. PROPERTY DETAIL: New Second Story Addition Site area 12085 Zoning 12.1.20 Addition greater than 100 square fect to APN 532.02.0/4 existing second story 3. PROPERTY LOCATION: ADDRESS OF SUBJECT PROPERTY: 16988 BOANIE LANE LOS GATOS 4. APPLICANT: Phone 3 1 0 6 Cat Name Address City Los GA DS STENATURE OF APPLICANT Mila Chinter Dato 8-10-84 5. PROPERTY OWNER: (If same as aboye, check here NAME Phone Address 16986 Gonnit Line City 13 Control State CA Zip 95075 I hereby certify that I am the owner of record of the property described in box #3 above and that I approve of the action requested herein. SIGNATURE OF OWNER Date ionmental INFORMATION Existing land use <u>Residencia</u> Surrounding land uses: North <u>Res</u> South <u>Res</u>. 6. ENVIRONMENTAL INFORMATION East **Ret** Natural features & vegetation

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 Average site slope
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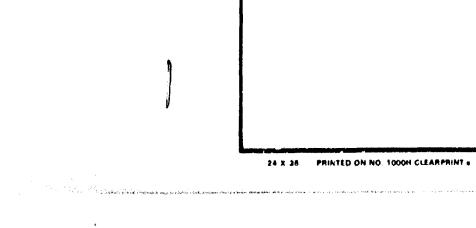
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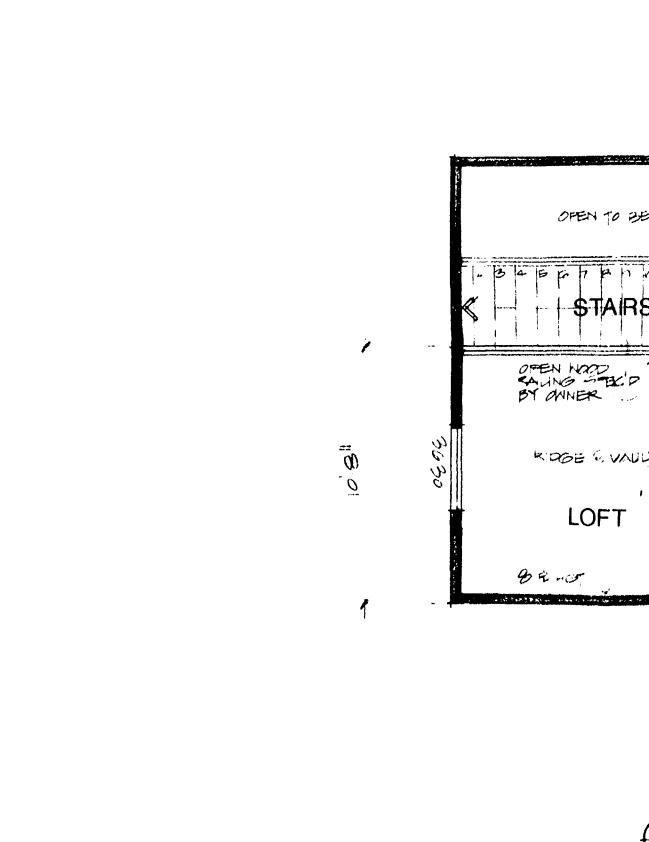
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 HITECTURAL DETAILS - Proposed Setbacks: Front: <u>CX</u> Rear: <u>CX</u> L. Side: <u>Front</u> R. Side: <u>CX</u> 7. ARCHITECTURAL DETAILS Height: 26' Impervious coverage: Size of structure: Existing Proposed First floor (incl. Garage): 1576 sq. ft. Second Ploor: sq. ft. 356 sq. ft.(19 644 sq. ft. 644 TOTAL: <u>1976</u> sq. ft. <u>1000</u> sq. ft. **2576** Material & colors Proposed: <u>CK/67</u> <u>Arts</u> <u>Gree</u> <u>Gree</u> <u>whife</u> <u>Trink</u> Window treatment (location and size of sill windows that may affect the privacy of a neighbor 5040 /BAY bedroom Proposed new landscaping Alw Patie on Side & Clan EVIEWPROC/6) Page 62



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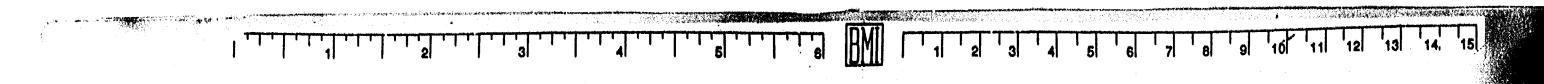


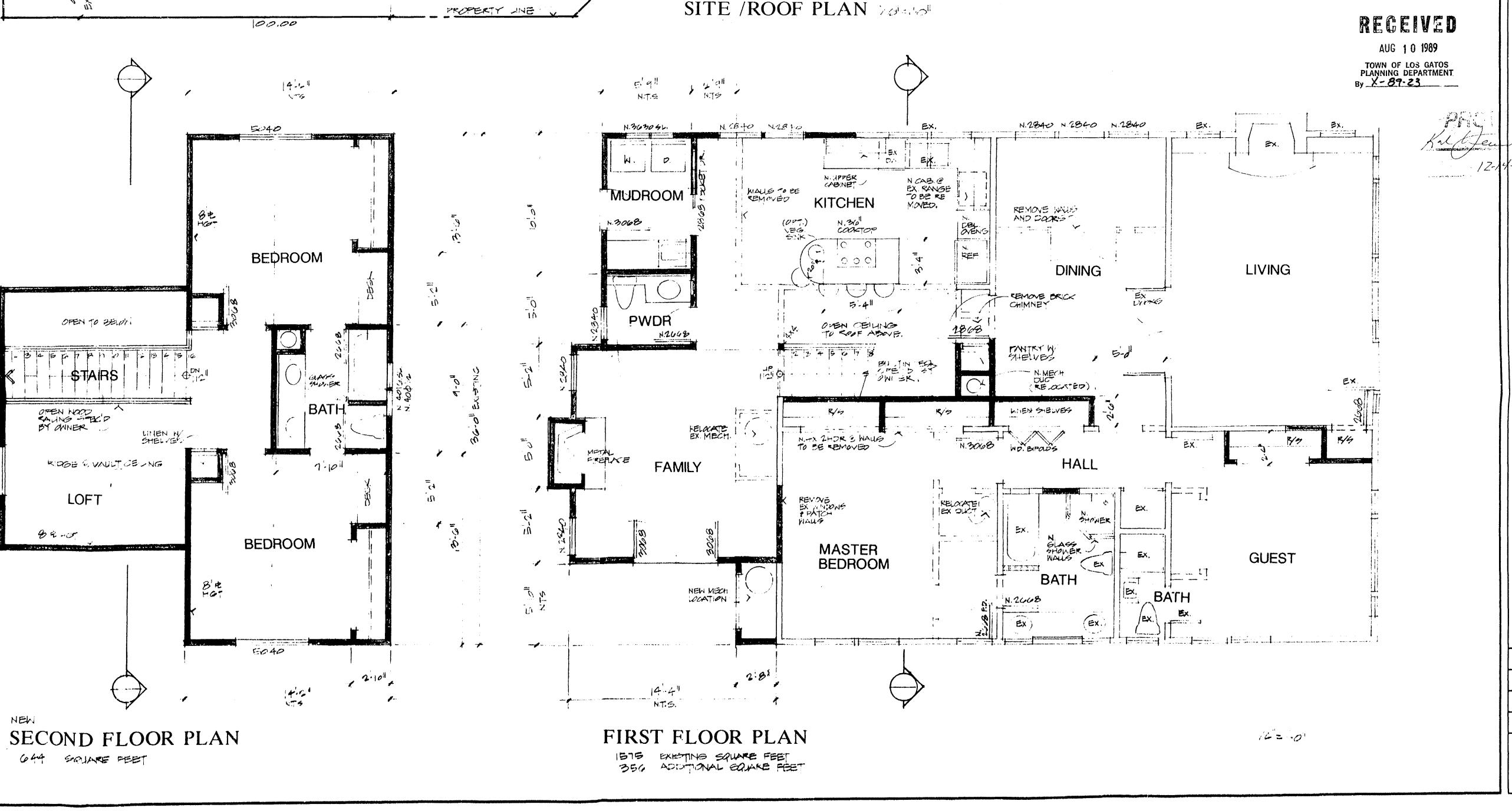


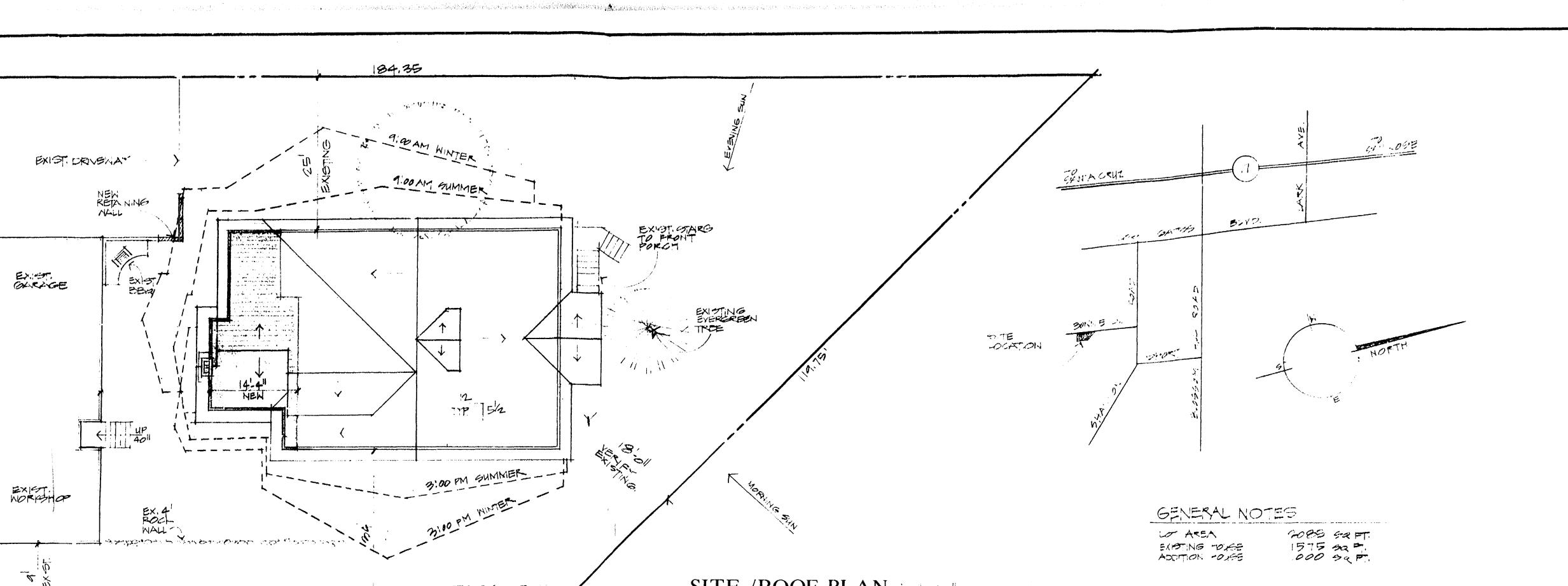
NEW 644 SALARE FEET

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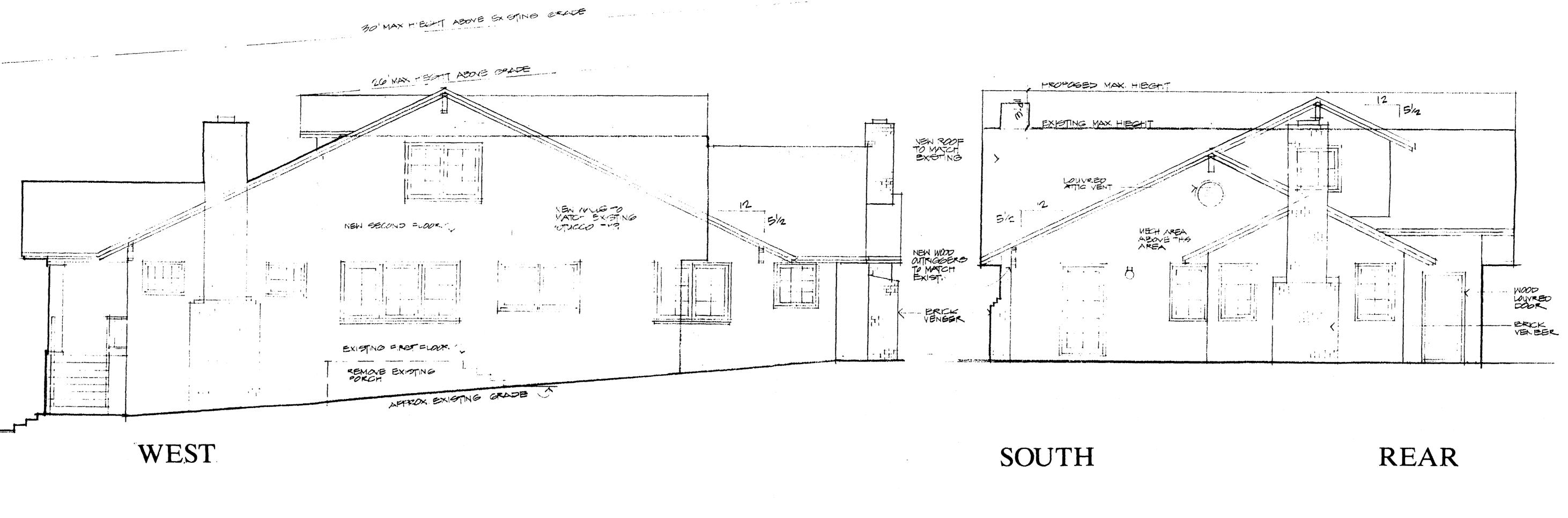
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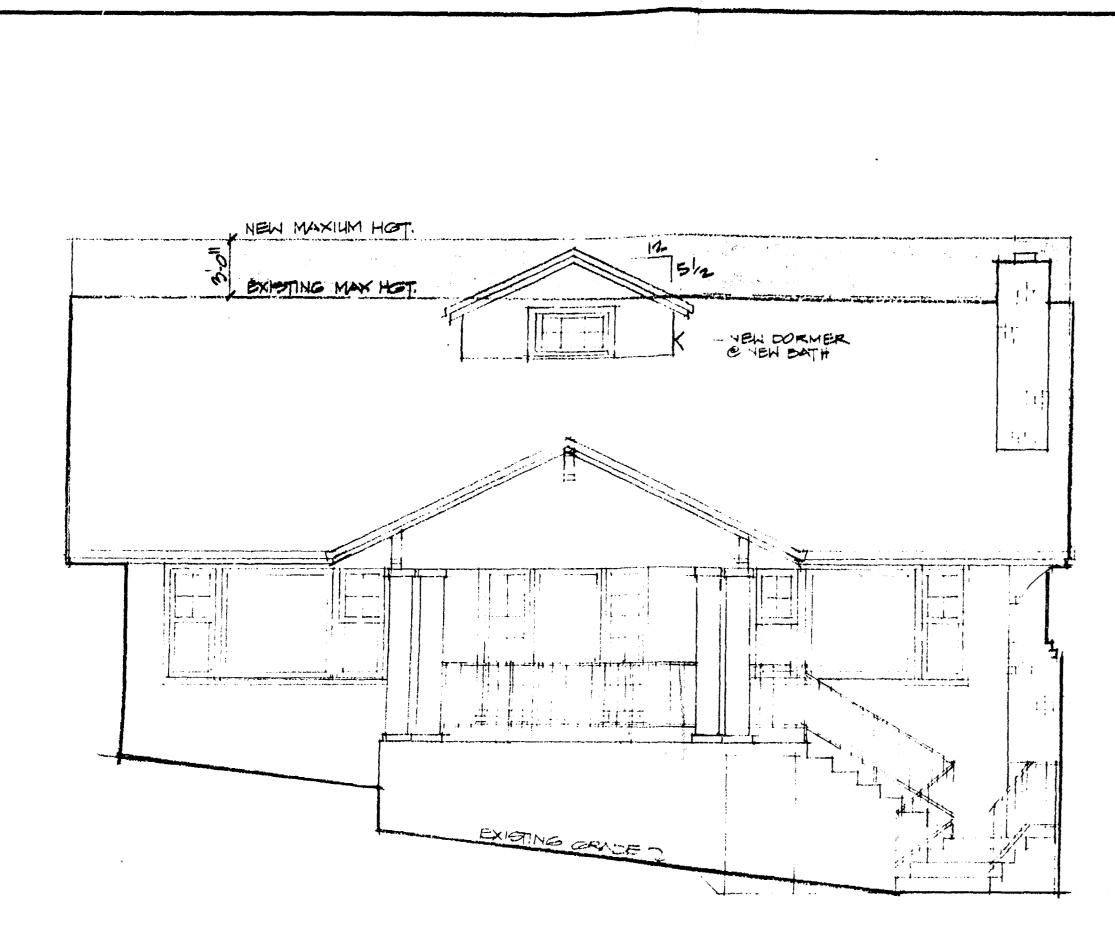
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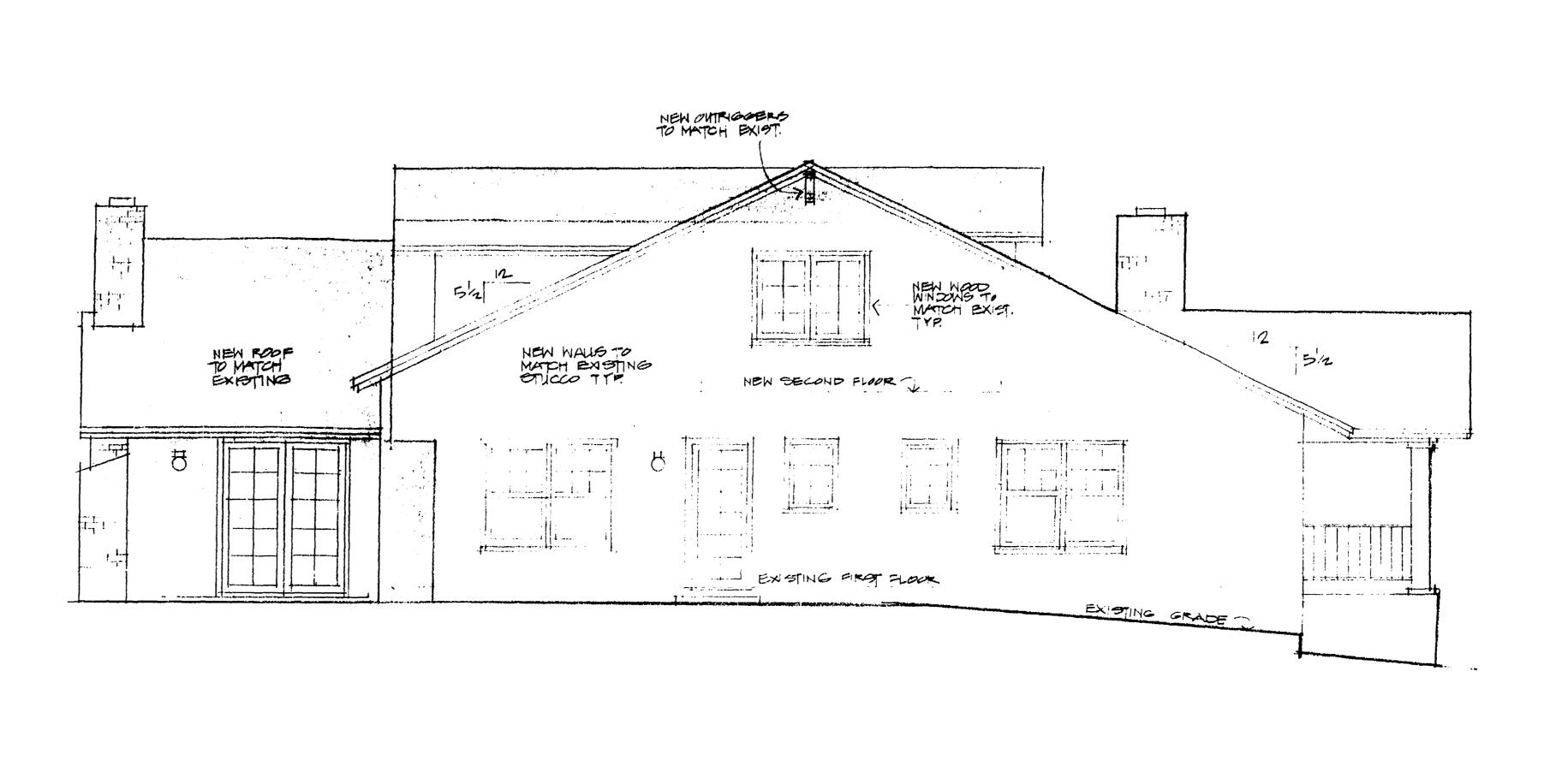
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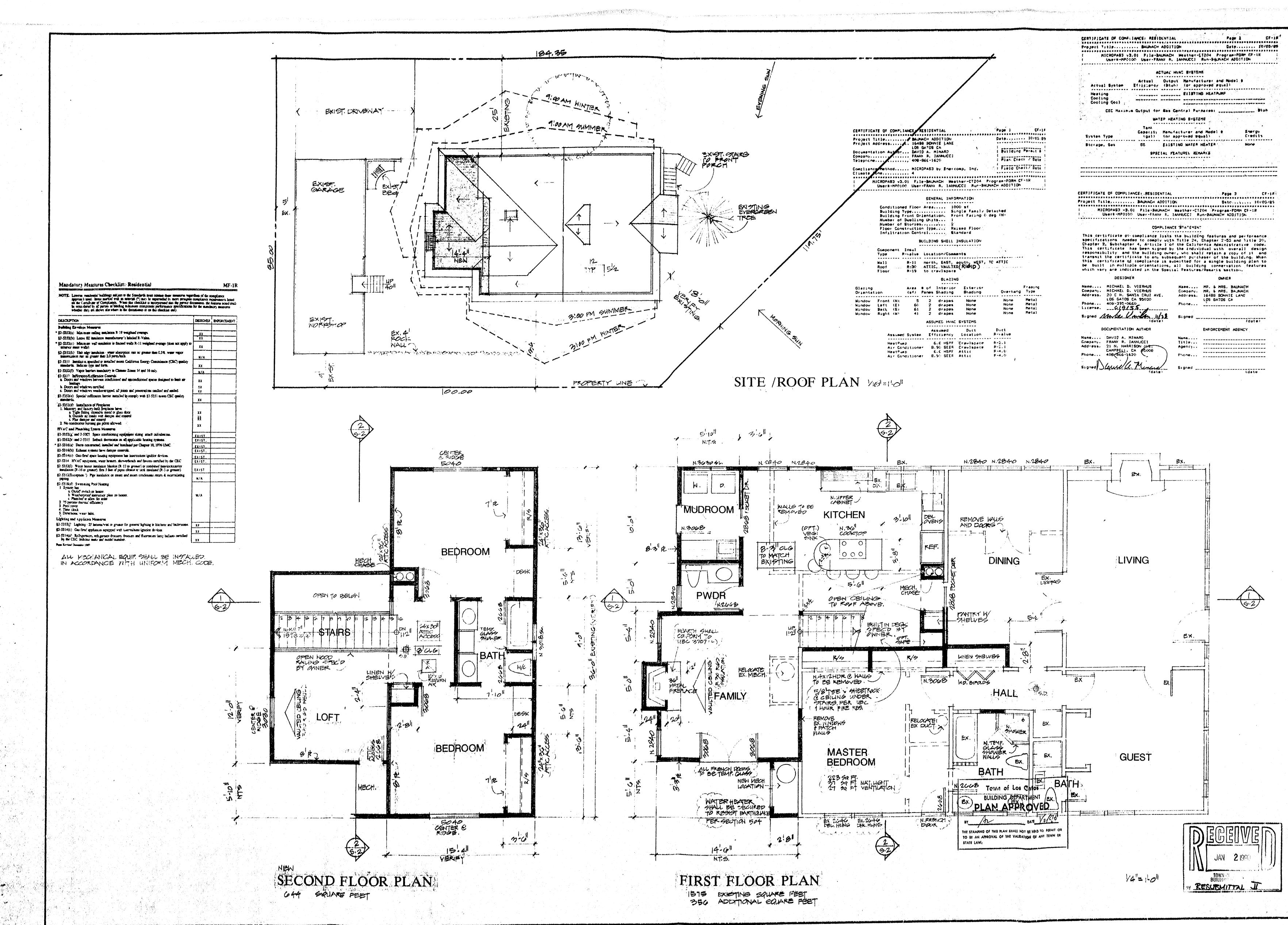
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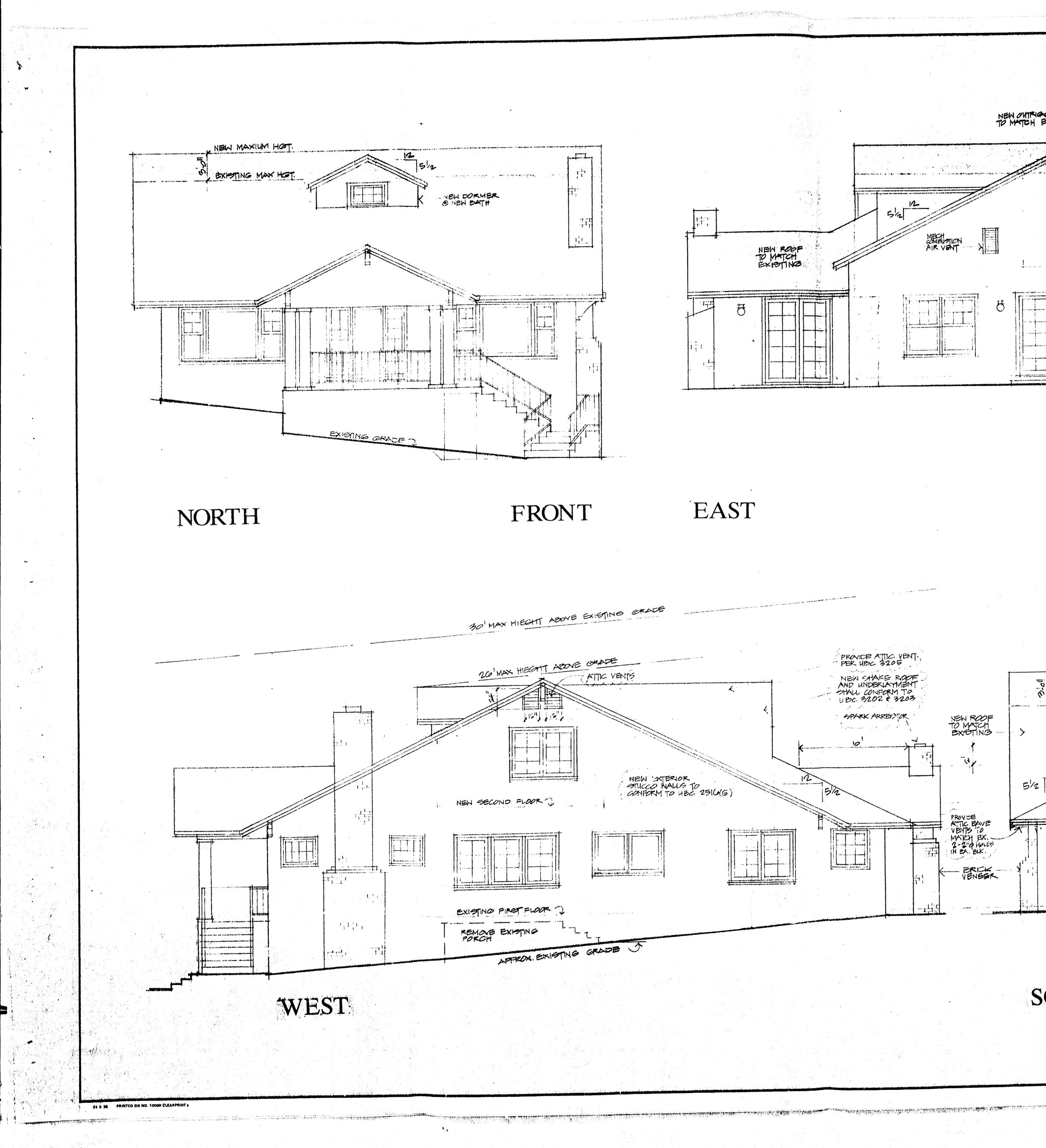
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APTROX. EXISTING GRADE J

26 MAX HIEGHT ABONE CRADE ATTIC VENTS ----H42-11211 121 manhammer al 1 farman anham. NEW STERIOR STUCCO NALLS TO CONFORM TO HEC 251(4(G) ------

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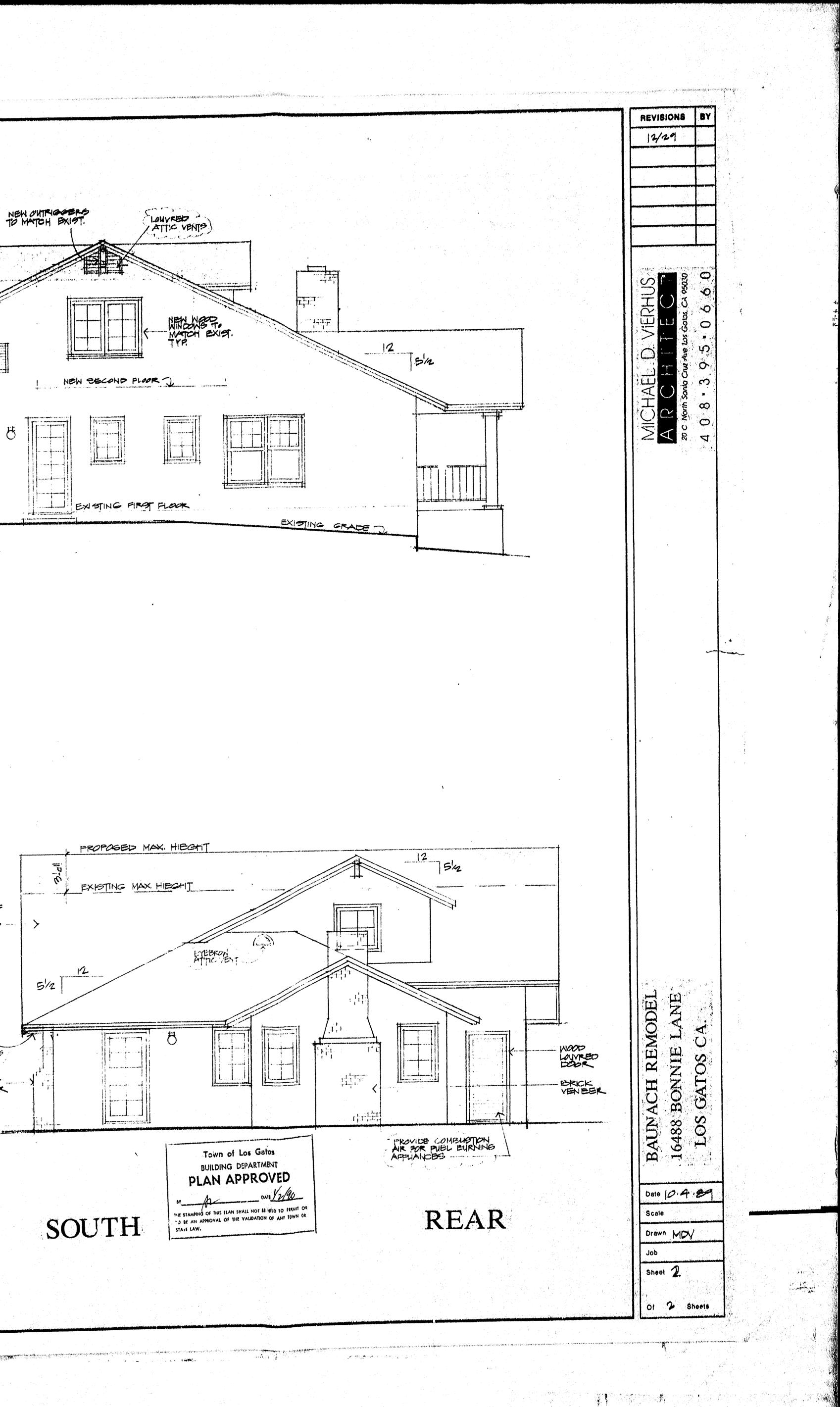
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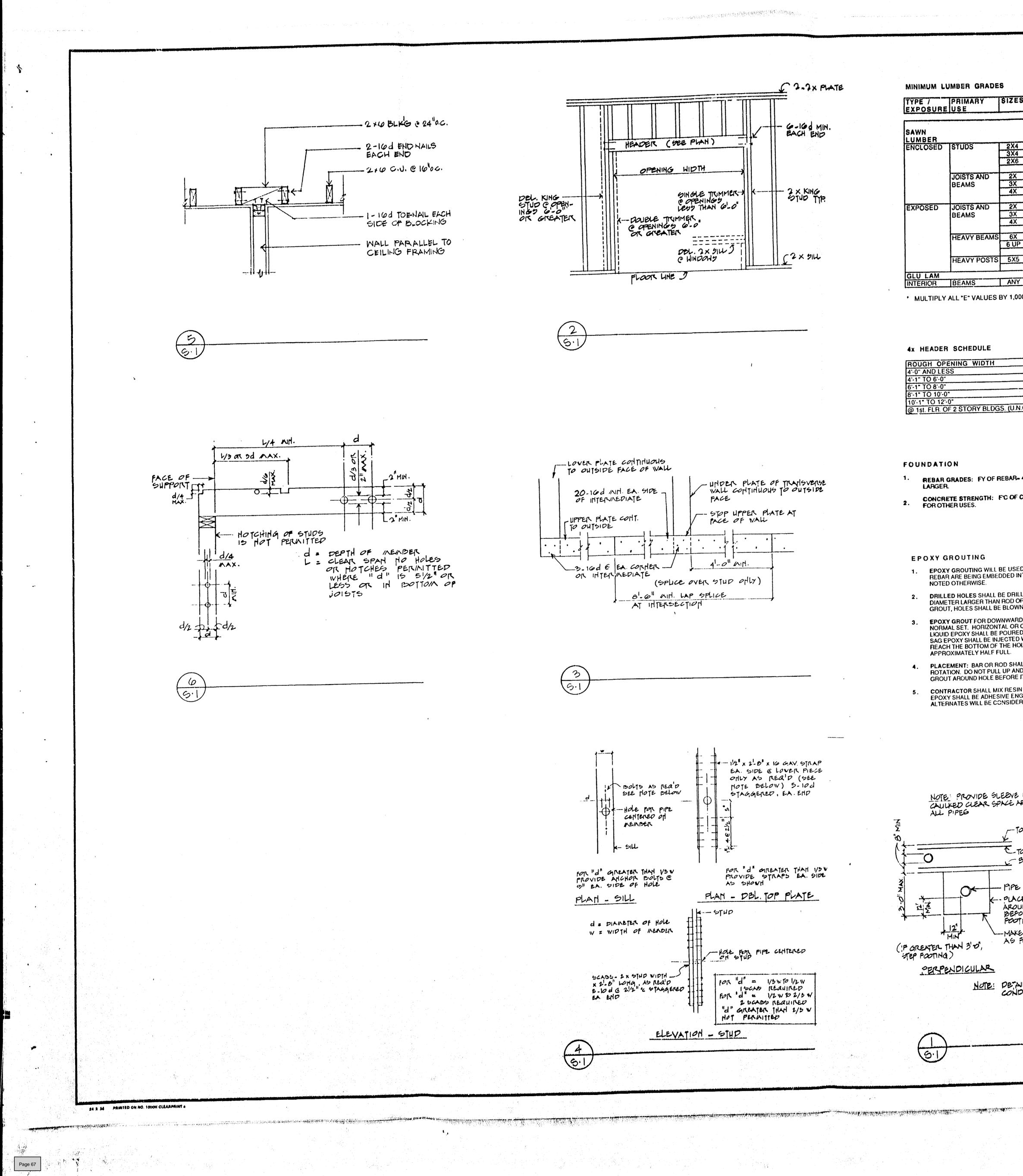
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MINIMUM LUMBER GRADES

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TYPE / Exposure	PRIMARY USE	\$IZES	GRADE		ACITIES			
			T		Fb	Fv	E.	Fc
SAWN LUMBER				SINGLE PSI	REPET PSI	PSI	PSI	PSI
ENCLOSED			CONSTRC	1050	1200	95	1.5	1150
		2X4 3X4	DF#2	1450	1650	95	1.7	1000
		2X6	DF #2	1250	1450	95	1.7	1050
	JOISTS AND	2X						
	BEAMS	3X	NO.2	1250	1450	95	1.7	105
		4X						
EXPOSED	JOISTS AND	2X						
	BEAMS	3X	NO.1	1500	1750	95	1.8	1250
		4X						
	HEAVY BEAMS	6X	NO.1	1300		85	1.6.	925
		6 UP	1		•			
	HEAVY POSTS	5X5	NO.1	1200		85	1.6	1000
			1					L
GLU LAM	BEAMS	ANY	24F.V4	2400		165	1.8	165

MULTIPLY ALL "E" VALUES BY 1,000,000 TO OBTAIN UNITS OF PSI.

4x HEADER SCHEDULE

PAULO PENING WIDTH	SIZE
ROUGH OPENING WIDTH	4X6
4'-0" AND LESS	
4'-1" TO 6'-0"	4X8
6'-1" TO 8'-0"	4X10
8'-1" TO 10'-0"	4X12
10'-1" TO 12'-0"	4X14
@ 1st. FLR. OF 2 STORY BLDGS. (U.N.O.)	4X12 OR BE (TER

FOUNDATION

- LARGER.
- CONCRETE STRENGTH: FC OF CONCRETE- 2000 PSI FOR FOOTINGS AND 2,000 PSI FOR OTHER USES.

EPOXY GROUTING

- REBAR ARE BEING EMBEDDED INTO EXISTING CONCRETE OR BRICK MASONRY UNLESS NOTED OTHERWISE.
- 2. GROUT, HOLES SHALL BE BLOWN OUT WITH OIL-FREE COMPRESSED AIR.
- REACH THE BOTTOM OF THE HOLE. IN BOTH TYPES, THE HOLE SHOULD BE FILLED APPROXIMATELY HALF FULL.
- ROTATION. DO NOT PULL UP AND DOWN ON DOWEL WHEN INSTALLING. REMOVE ANY EPOXY
- GROUT AROUND HOLE BEFORE IT HAS SET.
- ALTERNATES WILL BE CONSIDERED UPON REQUEST AND SUBMISSION OF SPECIFICATIONS.
- NOTE PROVIDE SLEEVE W/2' CAULKED CLEAR SPACE AROUND ALL PIPEG - TOP BARS \overline{O} - BOT. BARS --PIPE - PLACE CONC. FILL AROUND SLEEVE BEFORE POURING FOOTING. + 12 | MIN -MAKE SAME WIDTH AS FOOTING (P GREATER THAN 3'D', STEP FOOTING) PERPENDICULAR

6.1

1. REBAR GRADES: FY OF REBAR- 40,000 PSI FOR #4 AND SMALLER, 60,000 PSI FOR #5 AND

EPOXY GROUTING WILL BE USED IN ALL LOCATIONS WHERE EITHER ALL-THREAD ROD OR

DRILLED HOLES SHALL BE DRILLED WITH ROTARY HAMMER. SIZE SHALL BE 1/2 INCHES IN DIAMETER LARGER THAN ROD OR BAR SIZE. IMMEDIATELY BEFORE APPLYING EPOXY

EPOXY GROUT FOR DOWNWARD HOLES MAY BE EITHER NON-SAG TYPE, OR LIQUID TYPE, NORMAL SET. HORIZONTAL OR OVERHEAD HOLES SHALL BE NON-SAG TYPE, NORMAL SET. LIQUID EPOXY SHALL BE POURED SLOWLY INTO THE HOLE TO AVOID TRAPPED AIR. NON-SAG EPOXY SHALL BE INJECTED WITH A CAULK GUN WITH AN EXTENSION NOZZLE FITTED TO

PLACEMENT: BAR OR ROD SHALL BE SLOWLY INSERTED AND TURNED A MINIMUM OF ONE

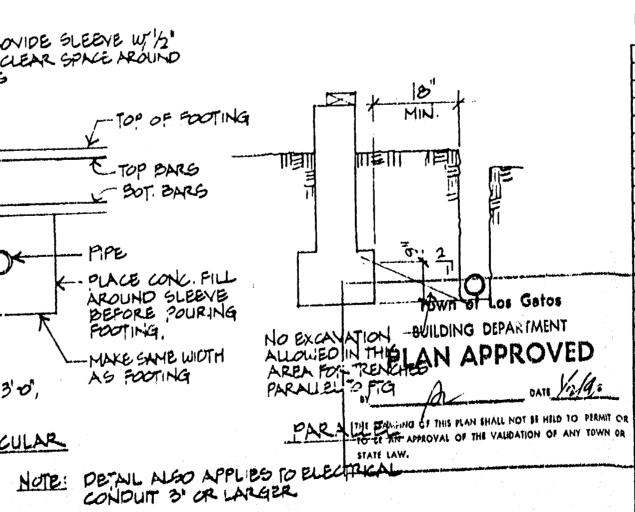
CONTRACTOR SHALL MIX RESIN AND HARDENER PER MANUFACTURER'S SPECIFICATION. EPOXY SHALL BE ADHESIVE ENGINEERING, CONCRESIVE 1411 OR 1440 SERIES.

GENERAL

- 1. TYPICAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
- 2. DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS AT THE JOB SITE AND BRING TO THE ENGINEER'S ATTENTION ANY DISCREPANCIES.
- 3. EXCAVATION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
- 4. OTHER TRADES: SEE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE STRUCTURAL DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED WITH THE ARCHITECTURAL DRAWINGS.
- 5. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED
- 5. MATERIALS AND WORKMANSHIP: THE CONTRACTOR SHALL SUPPLY ALL LABOR. MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER. NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIALS SHALL BE NEW AND MATERIALS AND WORKMANSHIP SHALL BE IN GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE
- 7. INSPECTIONS: ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR THESE PLANS SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION, UNLESS SPECIFICALLY CONTRACTED FOR.
- 8. MASONRY AND STONE VENEERS: MASONRY AND STONE VENEER SHALL NOT EXCEED 5 INCHES IN THICKNESS. WHEN APPLIED OVER STUD CONSTRUCTION, THE STUDS SHALL BE SPACED A MAXIMUM OF 16 INCHES ON CENTER AND APPROVED PAPER SHALL FIRST BE APPLIED OVER THE SHEATHING OR WIRES BETWEEN STUDS. ANCHOR TIES SHALL BE PROVIDED TO HORIZONTAL JOINT REINFORCEMENT WIRE OF NO. 9 GAUGE OR EQUIVALENT. THE JOINT REINFORCEMENT SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED. AN AIR SPACE OF AT LEAST 1 INCH SHALL BE MAINTAINED BETWEEN THE BACKING AND THE VENEER IN WHICH CASE, TEMPORARY SPOT BEDDING MAY BE USED AWAY FROM THE TIES TO ALIGN THE VENEER. SPOT BEDDING AT THE TIES SHALL BE OF CEMENT MORTAR ENTIRELY SURROUNDING THE TIES. THE HEIGHT OF ALL ANCHORED VENEERS SHALL NOT BE MORE THAN 30 FEET IN HEIGHT ABOVE THE FOUNDATION

TIMBER

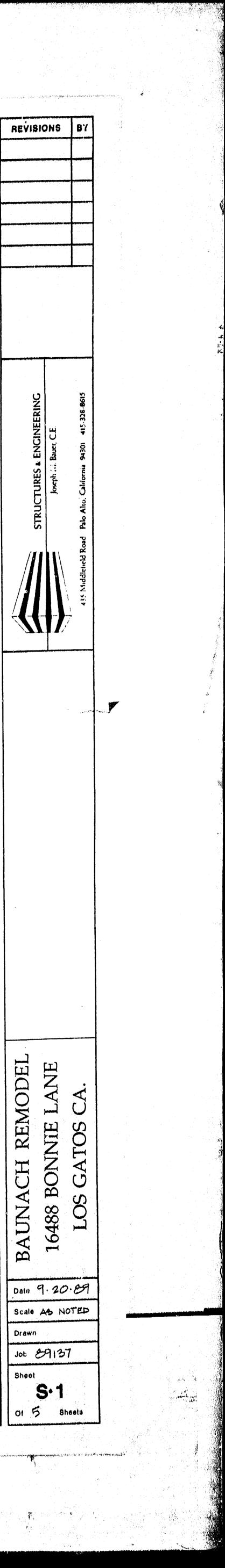
- WORKMANSHIP: ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE AND TIGHT AND WELL NAILED WITH MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT BUILDING CODES. THE SHIMMING OF SILLS, JOISTS, SHORT STUDS, TRIMMER HEADERS, OR OTHER FRAMING MEMBERS SHALL NOT BE PERMITTED. ALL WALLS AND PARTITIONS SHALL BE STRAIGHT, PLUMB, AND ACCURATELY LOCATED. CAREFULLY SELECT ALL STRUCTURAL MEMBERS. INDIVIDUAL PIECES SHALL BE SELECTED SO THAT KNOTS AND OBVIOUS MINOR DEFECTS WILL NOT INTERFERE WITH THE PLACING OF BOLTS, OR PROPER NAILING, OR THE MAKING OF SOUND CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER FOR WARP, TWIST, BOW OR CROOK, MILDEW, FUNGUS, OR MOLD AS WELL AS FOR IMPROPER GRADE MARKING. DEFECTS WHICH RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION SHALL BE DISCARDED.
- GRADE MARKINGS: EACH PIECE IF STRUCTURAL LUMBER, PLYWOOD, AND TIMBER SHALL BE MARKED WITH THE GRADE BY SUCH COMPETENT AND RELIABLE ORGANIZATION WHOSE REGULAR BUSINESS IS TO ESTABLISH LUMBER GRADES.
- SIZING AND SURFACING: ALL LUMBER, EXCEPT WHERE NOTED OTHERWISE, SHALL BE SIZED AND SURFACED ON (4) SIDES. ALL SHALL BE STRAIGHT STOCK, FREE FROM WARP OR CUP, AND SINGLE LENGTH PIECES. SPLICING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY SO DETAILED OR AS DIRECTED BY THE ENGINEER.
- 4. BUILDING PAPER SHALL BE THE STANDARD PRODUCT OF A MAJOR MANUFACTURER. SUITABLE FOR THE USES INTENDED, AND WEIGHING AT LEAST (14) POUNDS PER 100
- SQUARE FEET. ROUGH HARDWARE: JOIST HANGERS, STRAPS, HOLDOWNS, ETC., SHALL HAVE I.C.B.O. APPROVAL.
- BLOCKING AND FIRESTOPPING: INSTALL ALL BLOCKING AS REQUIRED TO SUPPORT ALL ITEM OF FINISH SUCH AS BULKHEADS AND DOORBUCKS. PROVIDE FIREBLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS.
- DOUBLE FLOOR JOISTS: PROVIDE UNDER ALL WALLS PARALLEL TO DIRECTION OF
- HD HOLDOWNS: USE 4X4 POSTS WHERE HD HOLDOWNS ARE SPECIFIED
- BOLTING: BOLTS SHALL BE INSTALLED IN HOLES BORED WITH A BIT 1/16 INCH LARGER THAN THE DIAMETER OF THE BOLT. BOLTS AND NUTS SEATING SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDERHEADS AND NUTS. NUTS SHALL BE PULLED TIGHT AND AGAIN CHECKED AND TIGHTENED JUST PRIOR TO ENCLOSING BOLTED MEMBERS. COUNTER BORE FOR BOLTED HEADS OR NUTS ONLY WHERE SO INDICATED ON THE DRAWINGS, AND THEN ONLY TO SUFFICIENT DEPTH TO HOUSE THE BOLT HEAD OR NUT AND WASHER. CUT OFF EXCESSIVE BOLT PROJECTION WHERE NECESSARY. NICK THREADS TO PREVENT LOOSENING
- SPIKING: WHERE SPIKING IS CALLED FOR ON THE DRAWINGS, SUCH AS IN MULTIPLE JOISTS, SPIKE EACH PIECE WITH (2) ROWS OF 16D NAILS AT 6 INCHES ON CENTER 10. STAGGERED 3 INCHES. THE (2) ROWS SHALL BE SPACED AT 6 INCHES MINIMUM

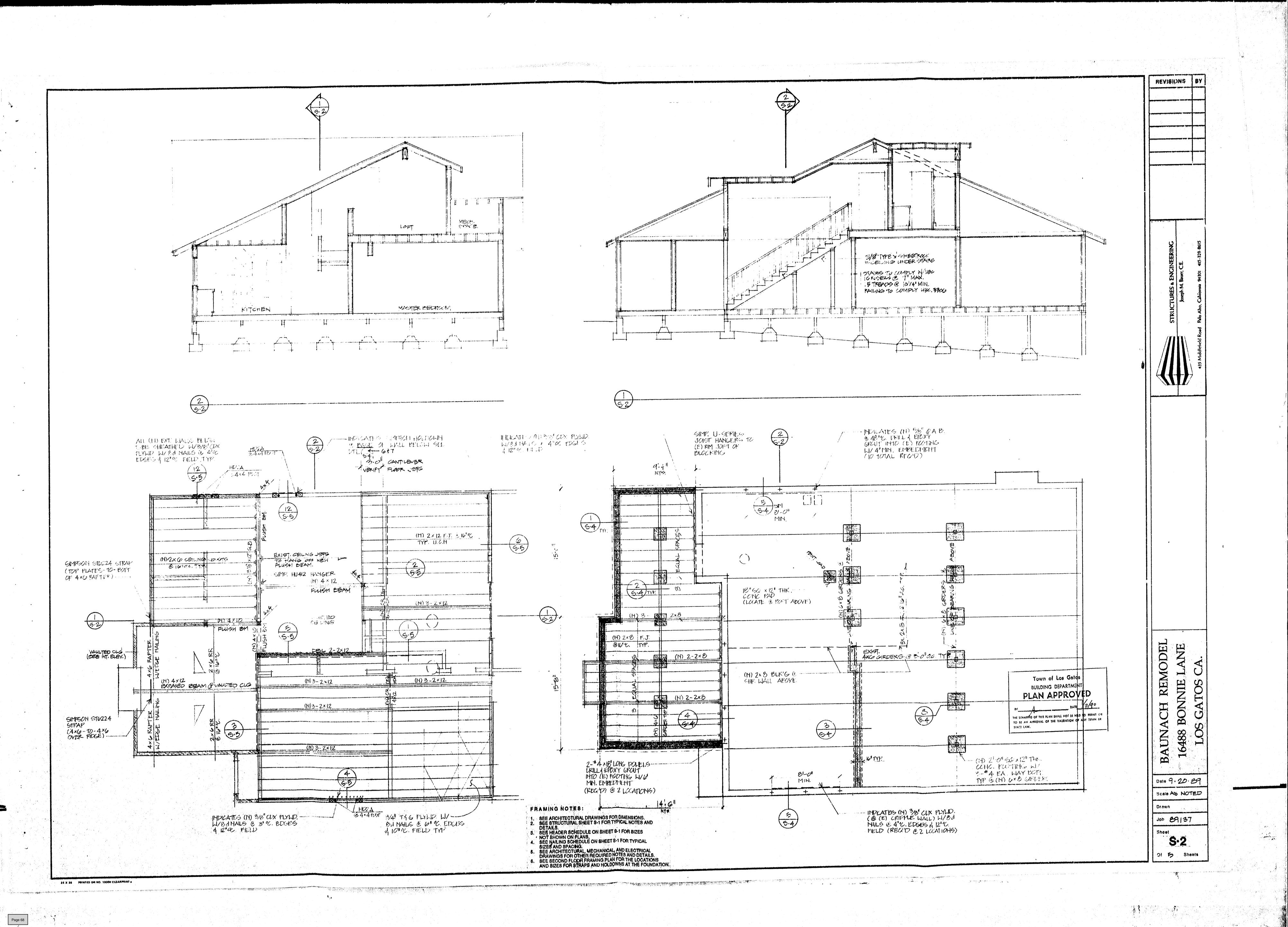


AILING	SCHEDULE

NAILING
3-16d - COMMON
3-8d-COMMON
2 - 8d
16d@8"O.C COMMON
2-160
4 - 8d
16d@24"O.C.
16d @16*0.C.
24-16d - COMMON
16d@24" O.C.
3-8d
4-8d
3-16d - COMMON
3-16d - COMMON
3-8d
3-160
160@8" O.CCOMMON
2-8d
2-8d
8d@6"O.C - COMMON
8d@12"O.C COMMON
8d@4" O.C COMMON
8d@12"O C COMMON
5d COOLERS @ 7"O.C.
6d COOLERS @ 7'O.C.
100@6"0.C COMMON
101 @ 10"0 C COMMON

SEE PLAN FOR SPECIAL HEADER & NAILING REQUIREMENTS. NAILS ARE SINKERS U.N.O.





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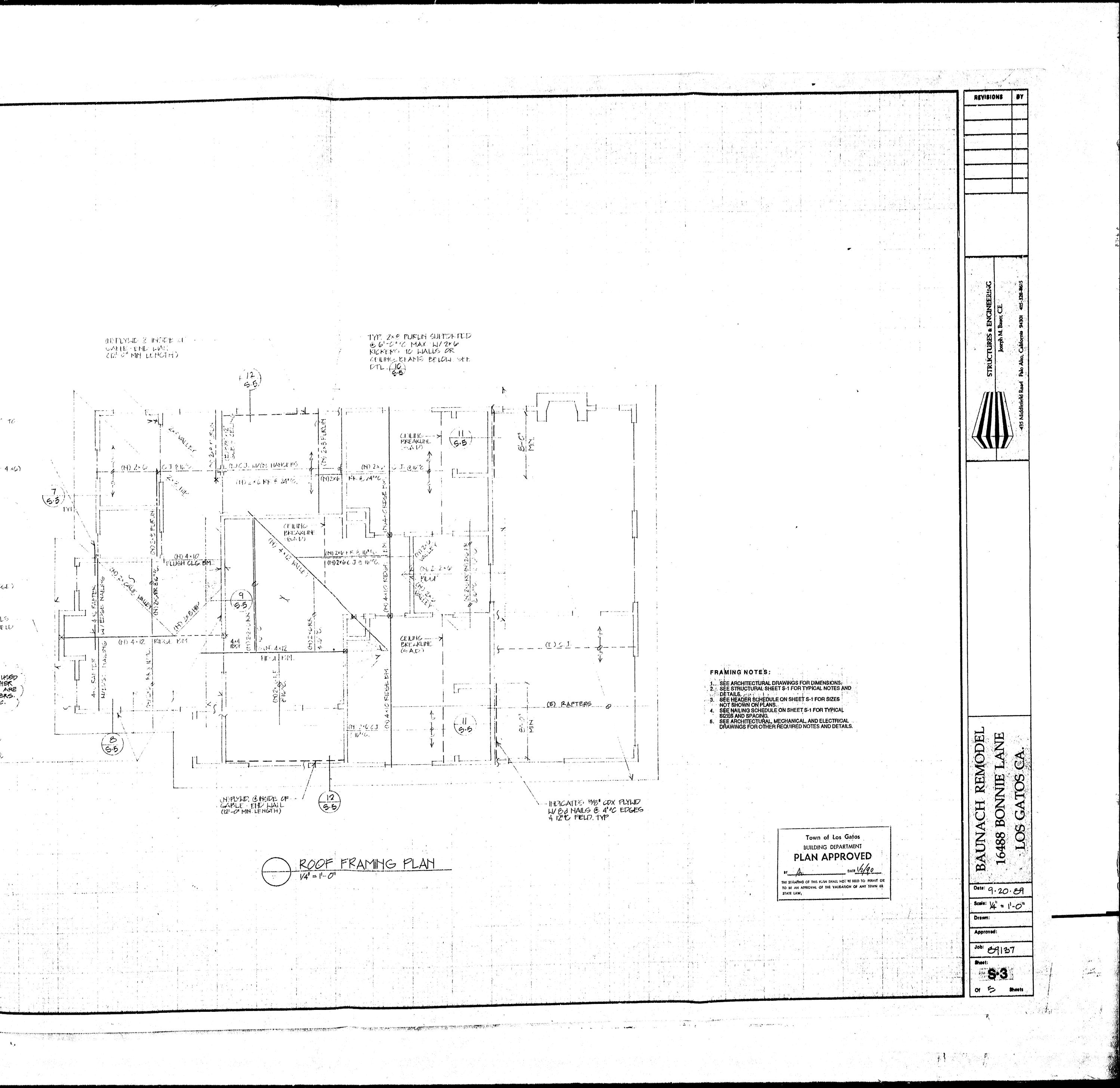
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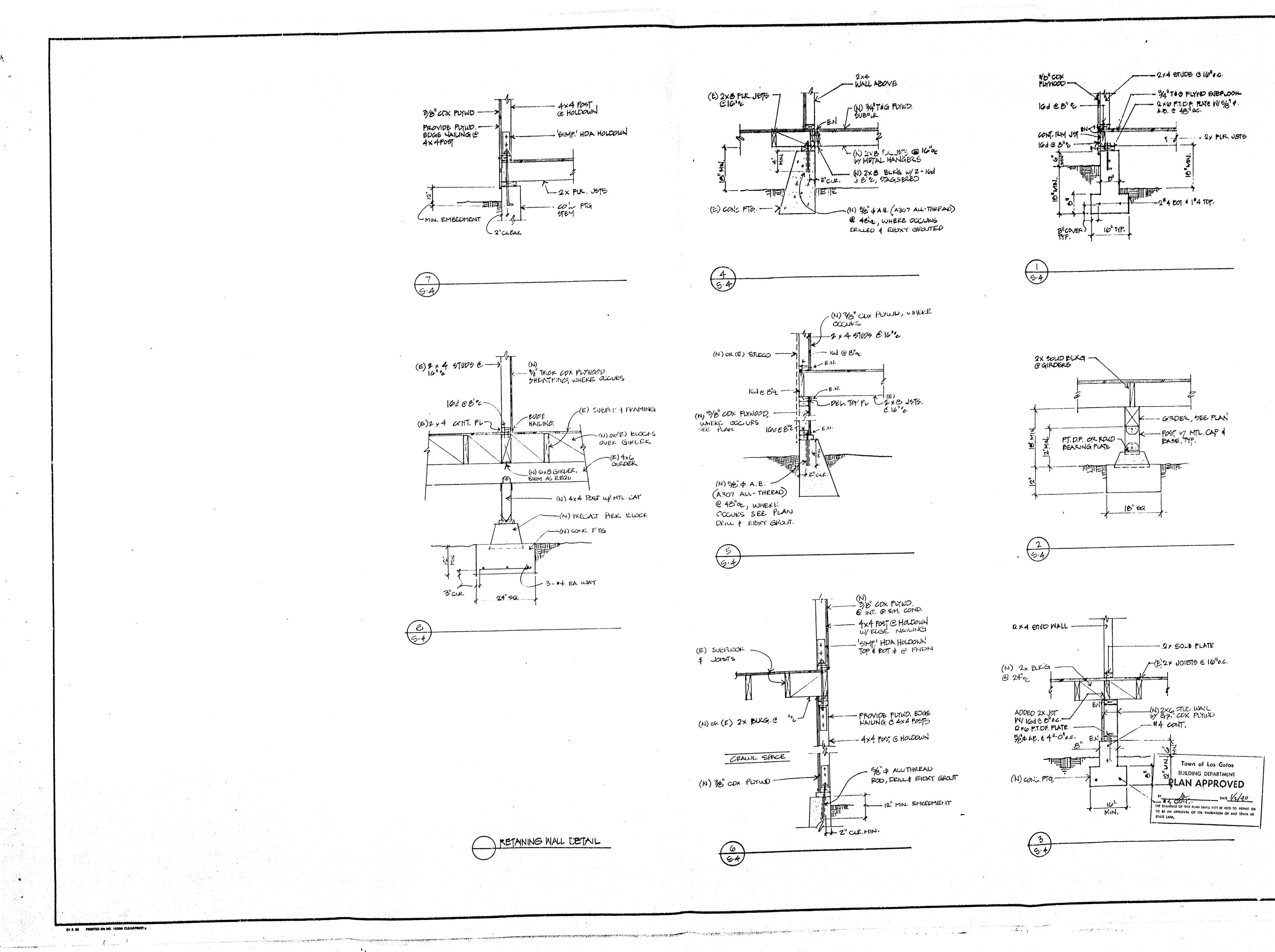
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CALIFORNIA PRAMINE

CIMPUCH STUZZA SIFAP (TCH PLATES-TC-PCTL OF 4×G)

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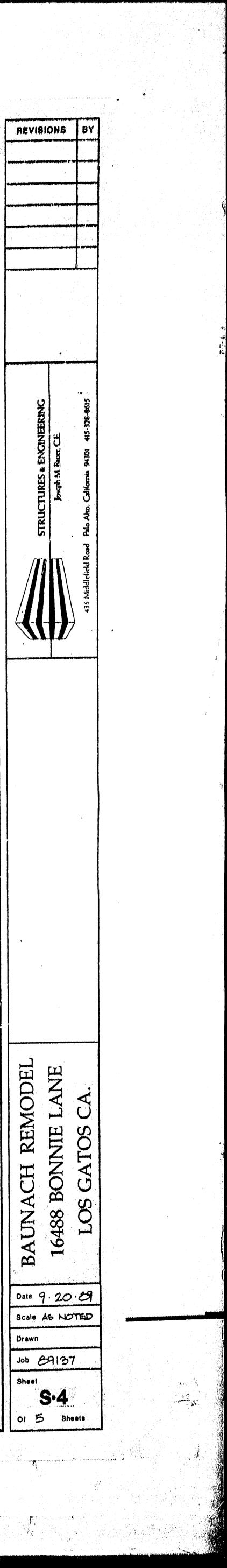


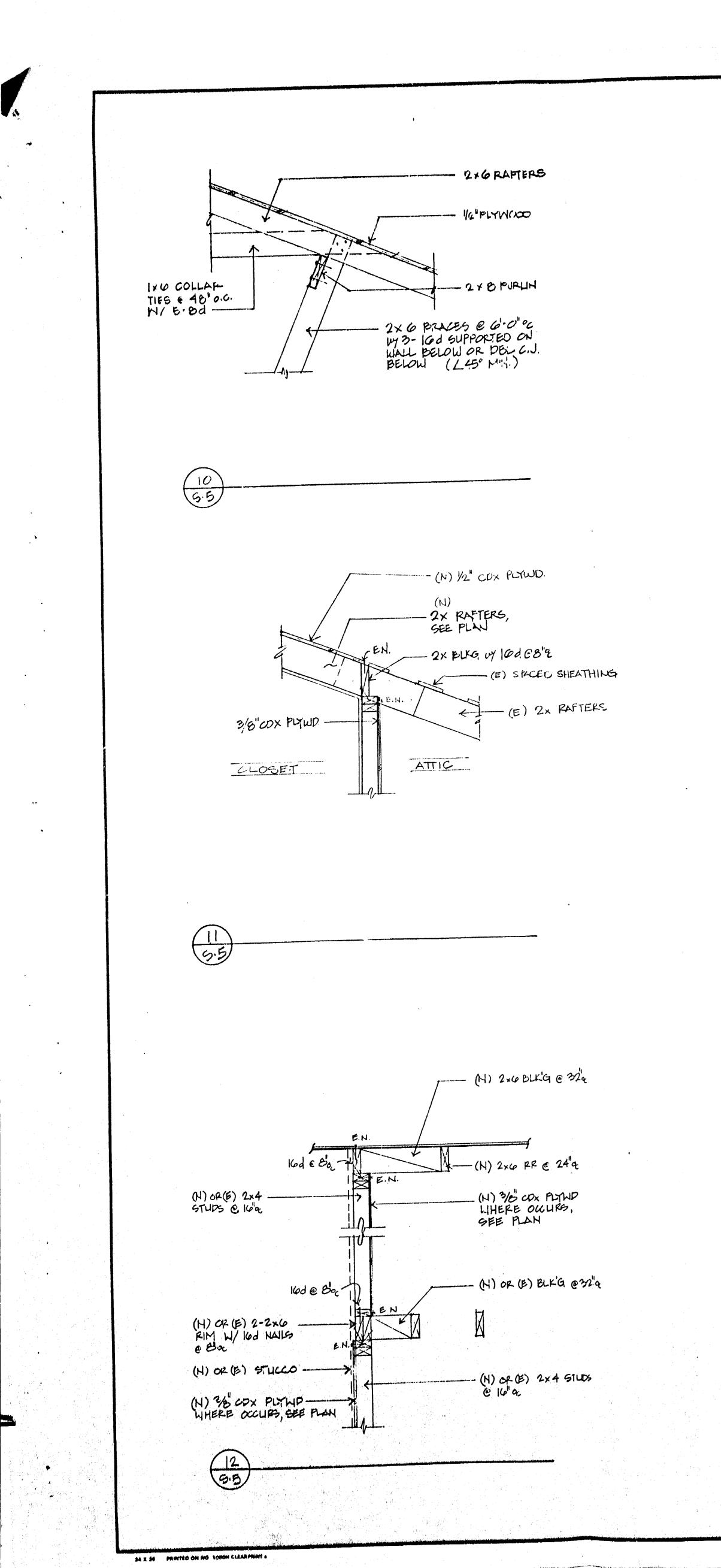


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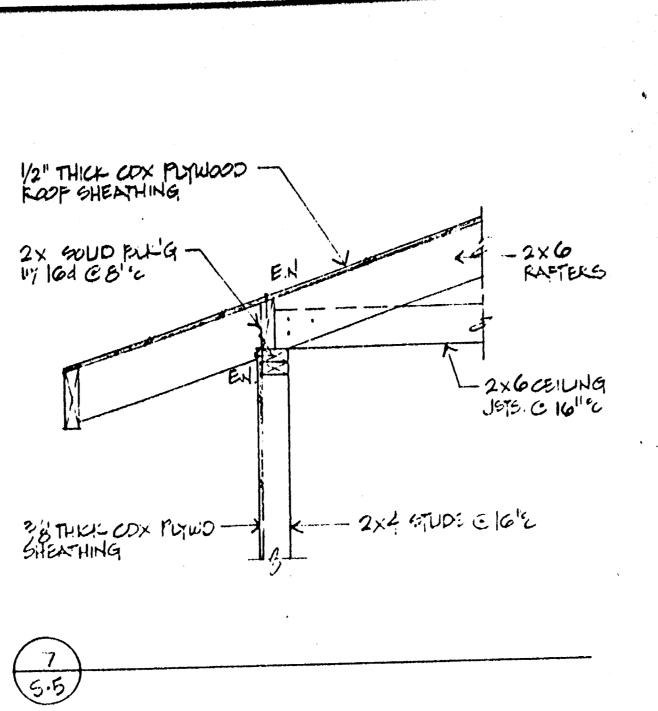
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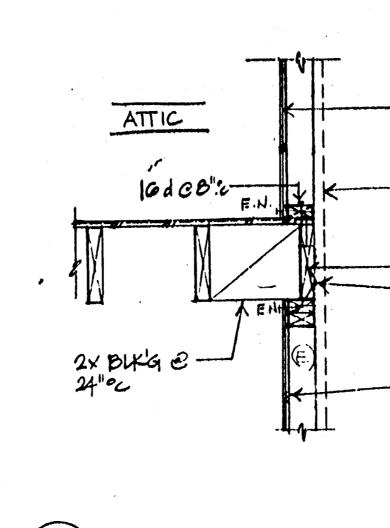
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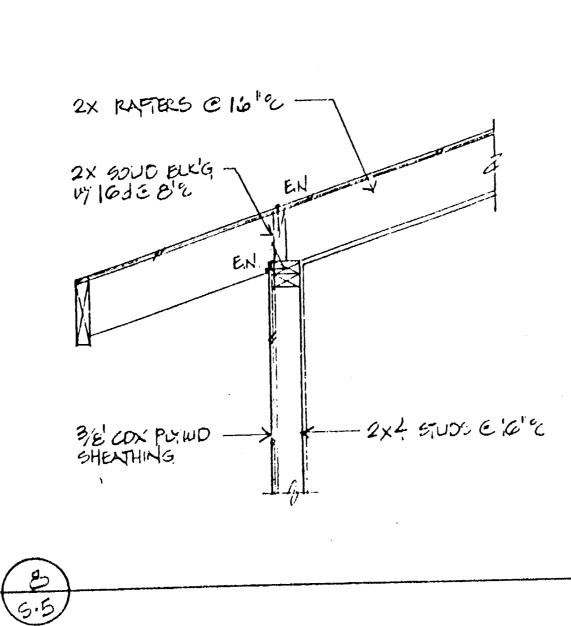


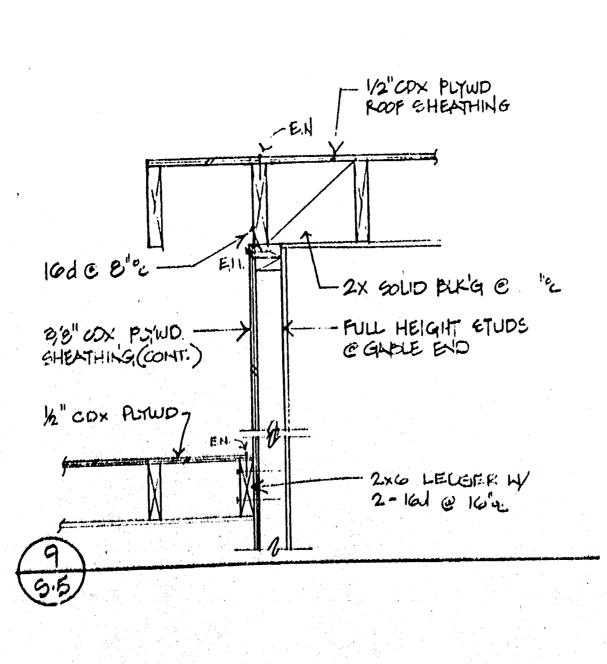
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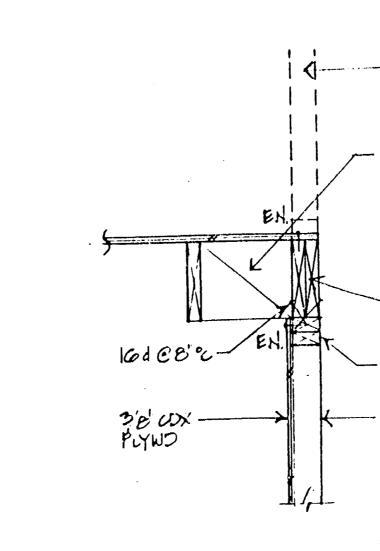
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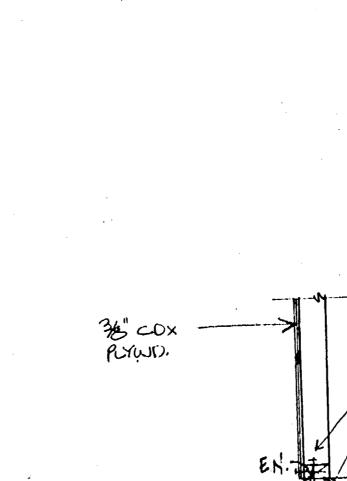
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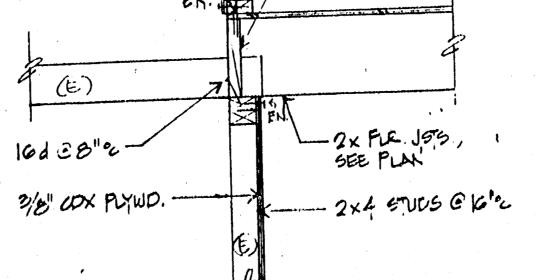
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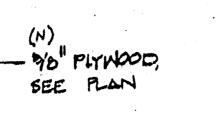












---- (N) OR (E) STUCCO

- 21 PIM JOIGT -16d C 8"02

(N) 3/8" COX PLYWU

1 A---- RAILING WALL @ STAIR

- 2X SOLID BUKG Q 24"°C C SHEAR WALL

STAIRWAY

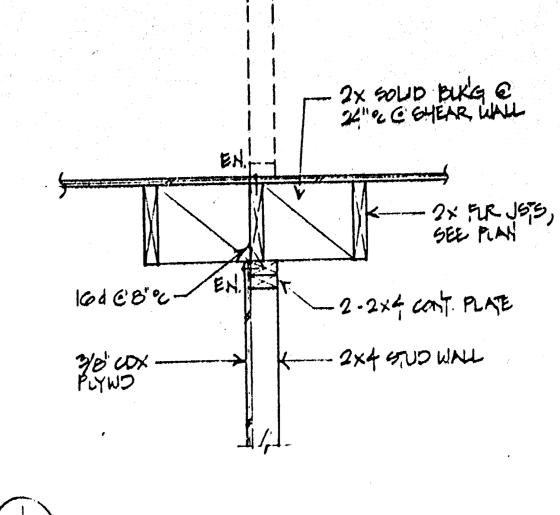
- 2-2×12

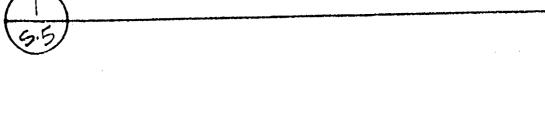
-2-2×4 cont. PLATE

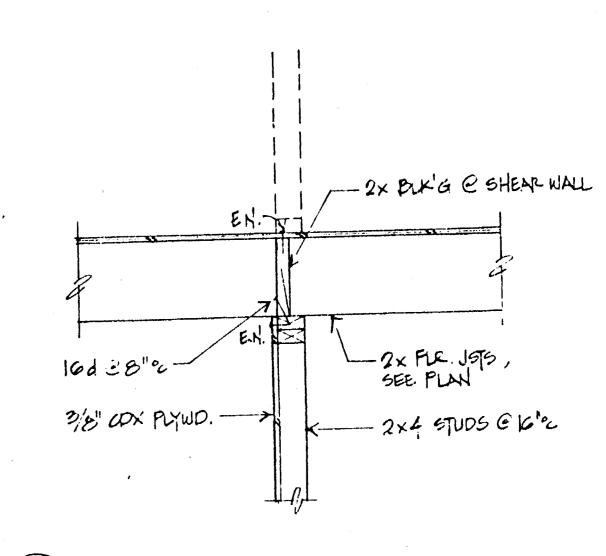
- 2×4 5,UD WALL

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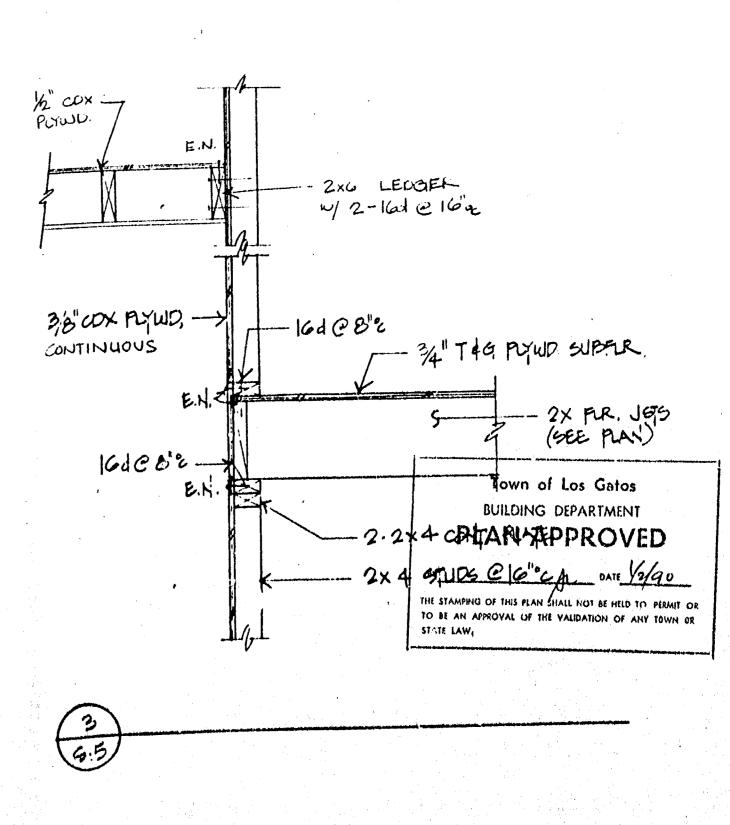
-2x Bik'G & SHEAR WALL







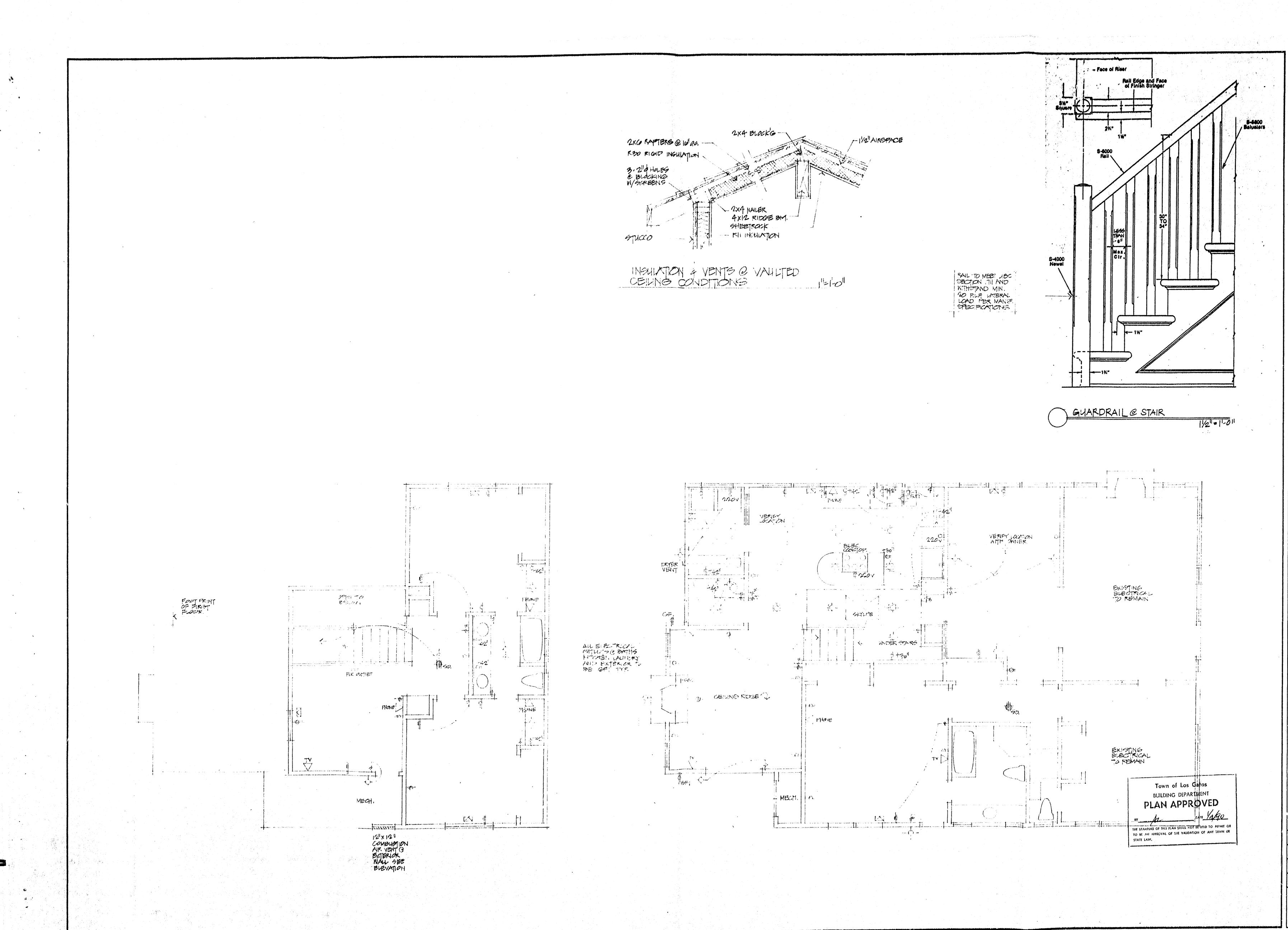
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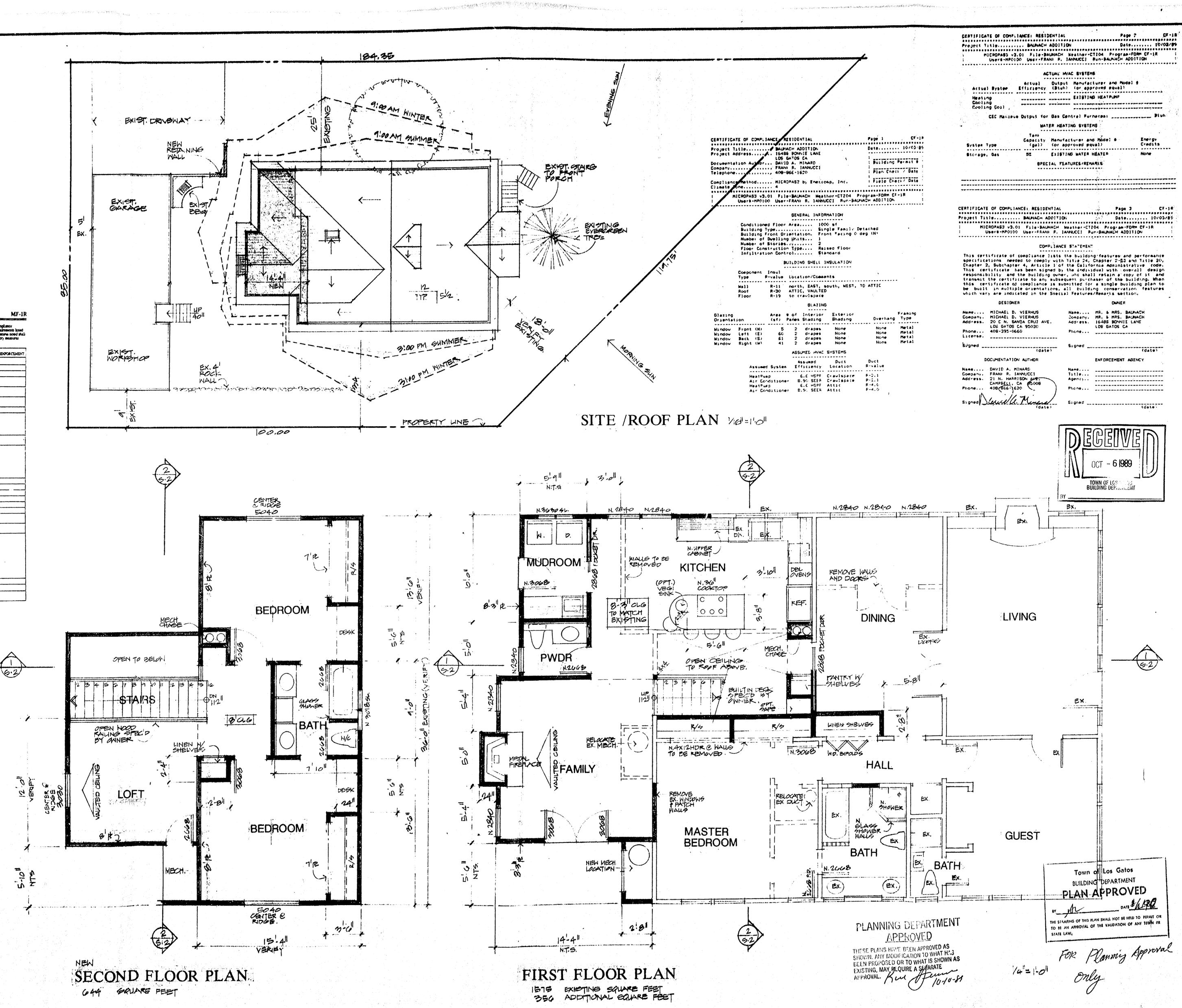
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EXIST. DRVBWAY MALL EXIST. GARAGE EX. Mandatory Measures Checklist: Residential MF-1R NOTE: Lowrise residents' buildings subject to the Standards must commiss these measures repartiess of the compliance approach used. Home sawled with an exercise (*) way be supervaded by more strangest compliance requirements listed the the Caraforner of Charplance. When this checkling is incorporated one the parties documents, the features noted shall be compliance by all parties as which a third and complexity performance specifications for the mandatory measures whether they are shown disrubure to the documents to on this checklin only NORFSHOP DESCRIPTION DESIGNER ENPORCEMENT Building Envelope Measures * \$2-5352(a) Minimum colling incolation R-19 weighted average. \$2.5352(b) Loose III meslacce mentacover's labeled R-Value. · \$2-5352(c): Missan or: wall manifester in framed walls R-11 weighted average (door not appl) to l xx estation makes walls) §2-5352(k) Shib edge meulasion - water absorption rate ac greater than 0.3%, water reportation rate at greater than 2.0 perturbach. \$2-5311 Insulation specified or insulant more California Energy Commission (CEC) quality mundarts. Indicase type and form. #2-5352(I): Vapor berriers meedatory in Close [2-3317 haftermon/Exclusion Controls a. Doors and wandows harware convincent and accordinated spaces designed to limit air lankage. b Doors and windows certified. c: Doors and windows wantherstripped, all joints and postermions caulted and staled. \$2-5352(e) Special infilmence herver metalled is comply with \$2-5251 meets CEC quality XX \$2:5352(d) Installation of Prophens
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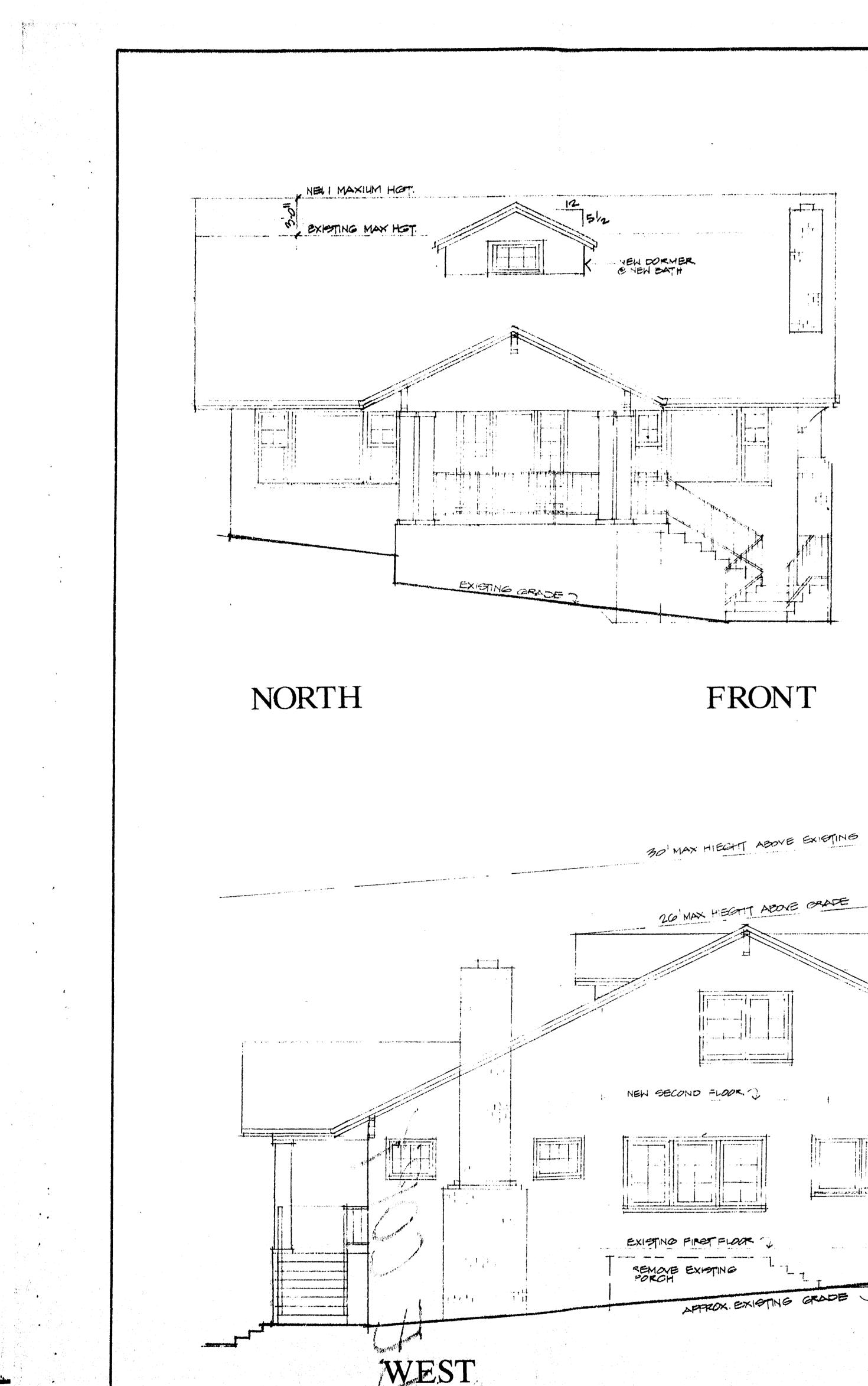
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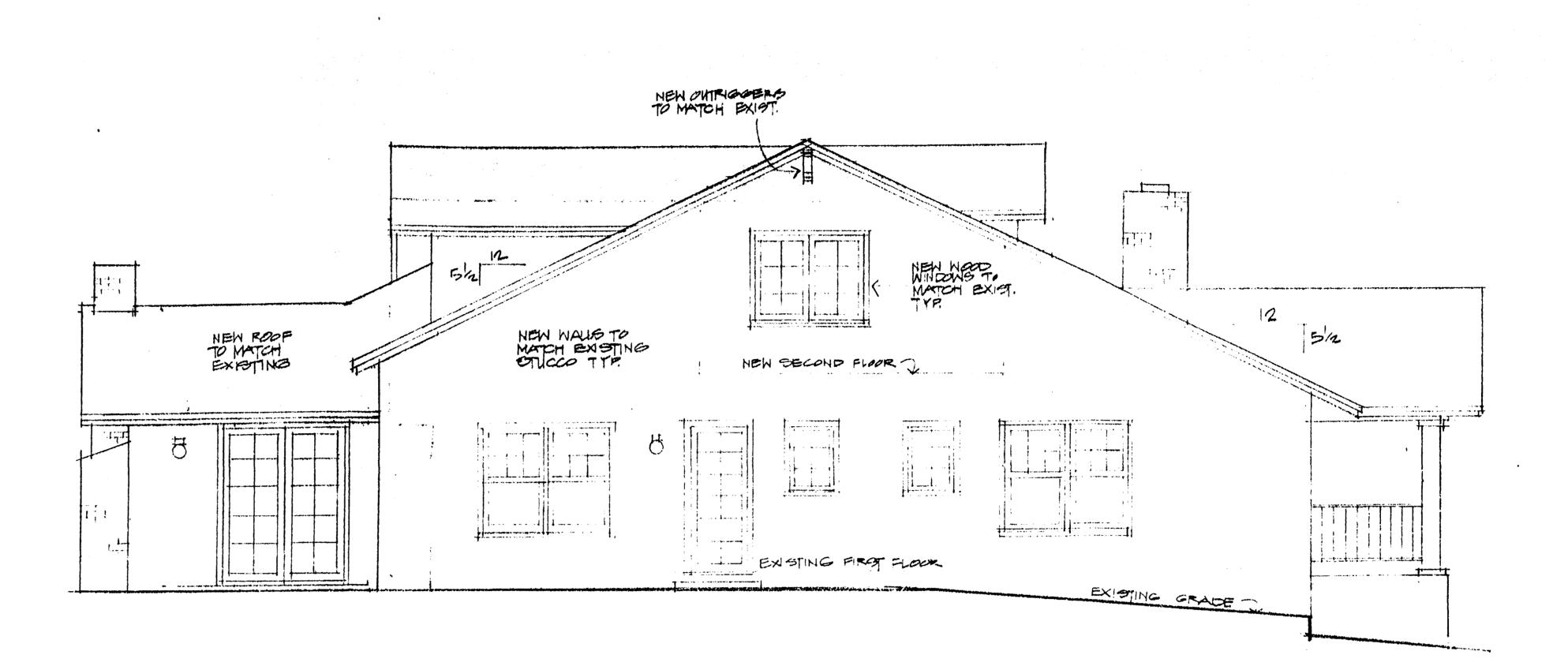


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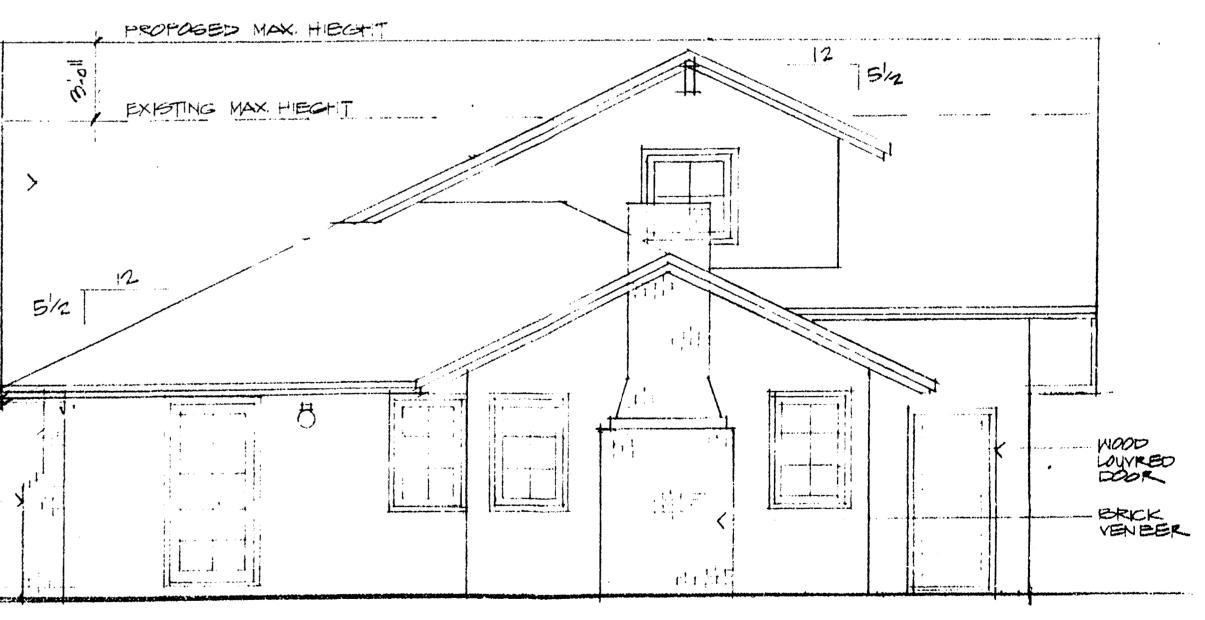
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OWN OF LOS GATOS APPLICATION FOR BUILDING PERMIT STA LOS GATOS, CA. HAS 17371 SCTION DEPARTMENT . PHONE 354-5676 カレト ADDRESS BUILDING BERAIT AP DATE OA1 6488 BONNIE LANE 10/6/89 LOI NO 10/18 8 PACT AND OF 1115 419 1451 RESIDENCIAL FIRE S (4) OWNER OV BURDING ADDRESS SAME CH LOS GATOS SEMP CONTROL ARCHITECT OR ENGINEER MIKE VIERINS ** 1 25 V-N ADONIS 20C N. SANDA CAUZ NE. LOS COMTOJ CONST FEAR ∞ K - 3 CONTRACTOR 58 GROUP un 115 ACCRESS Bonnie In ich. 16488 90 in two Galos STATE EKENA 1.44 1:81 50% 1044 50 -OTICEPTION OF WORK \$ 90,000 VALUATION ₩₩ FEES & TAXES ADG 🖌 DOD AVER \$1 FA-2 **CENTRE**H 594.50 GAR BUILDING FERMIL lo fi 2nd ILA 8591 (stail) p, lb SESSIC TAX 515 1.19 CONSTRUCTION TAX 100 INA OF STRUCTURE DESCRIPTION OF WORK ADD 354 SP PT TO FINST FIDIA URITY TAX 120 PARK IAX ð.V 644 SAFT TO SELOND FLOOR ADD MAN CHECK HE 112 314.43 90,000 TOTAL 5 CONSTRUCTION LENDING ADDRICT NAME INSPECTION RECORD ₽ŧ 326:43 Ill Gran Evension ... ADDRESS A CHARLEY TICK O/B ID COURSE 1.1 NOT APPLICABLE \$12.190 CONTRACTORS DECLARATION I CERTIFY THAT I AM PROFERLY INCENSED BY THE STATE OF CALIFORNIA CONTRACTOR & LICENSE LAW. SRIE PERDER ... PENDER, CONSTRUCTION C4.47 X 4.2. COMPLETE À OR à 211 YOURS SI WOELER'S CONFRESATION DICLARATION 10. CM05, COUL 258.3 e THEREBY AFEIRM THAT I HAVE A FUNCY OF WORLERS CLAR PENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATION THAT INSURANCE IS HEREWITH FURNISHED, AND CHI FAT WIN 6 49 BALK U.I. WALNIGH THE TOWN I FURTHER ATFIRM THAT I SHALL FILP THE PUTTIENT I IN EFFECT THROUGHOUT THE JOB 15 391.91C. 6 18 RUD 6 U 26 - VA. PUSHS, reme, and we Winde Sichar OPE X 12 m Ruf cheath BEPB CATESTOTOTAL CERTIFICATE OF EXTREME FROM WORKER'S CONSERVATION AND SAVE 1.12.90 IIII 19 State I CERTIFY THAT IN THE PERFORMATICE OF THE WORK 11:0 WHICH THIS PERAUL IS ISSUED, I SHALL NOT EMPLOY ANY ITY SON IN ANY MARKER SO AS TO RECOVE SUBJECT TO THE WORKER'S COAPENSATION LAWS OF CALLOFTER VALIDATION OUCK. APPROVALS ¢#1 ******* razisten, pilaten. Fland na jalat W.B 6-18:70 12642 222 51 45 1864 266 8 925 19,90 SCHATLET X And a fire at the 9-2.90 I CERTIFY THAT I HAVE READ THIS APPLICATION ANCESTATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COVIAT WITH AN TOWN ORDINANCES AND STATE LAWS PELATING TO LUMITIKE COVI STRUCTION, AND HEREBY AUTHORITE APPESTICATION OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTIES OF THE STRUCTURE PURPOSES. ور و او د او 0.1.90 ويو بداء 141-1-194 national and a second ailer. ing the state of t A : ADA · 11.9 Page 75 t, and the factor of the state of the The states and a ference ballet

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DATE: April 11, 2024

TO: TOWN OF LOS GATOS Community Development Department 110 E. Main Street Los Gatos, CA 95030

LETTER OF JUSTIFICATION

To Whom It May Concern;

I am writing this letter of justification to obtain approval for second story addition and exterior alterations of the property at 16488 Bonnie Ln.

The purpose of this request is to expanse the main residence. We have elderly parents who are in their 80s. They recently have medical conditions and are unable to take care of themselves independently. We would like to add another bedroom for our parents to live with us.

Since the house was built in 1938 and remodeled in 1980, certain parts of the house have deteriorated throughout time. We propose the following work.

- The original exterior siding finished was covered with stucco since the 80s remodel. Since then, for signs of deterioration and cracks, we propose to have a skim coat to repair the cracks and imperfections.
- Due to the discoloration of the current painting, we would like to repaint the entire house with mute color to fit the neighbors.
- The windows are old, from the 1930s and 1980s. Some are broken and not able to open. Windows needs to be replaced with a double pane for energy efficiency. The style of the new windows will match the existing windows. Window materials will be replaced with vinyl to match the neighborhood.
- The front porch columns were added during the 1980 remodel and reconstruction. The column style did not match with the craftsman house style. Since then, it has been weatherized and termite-infected. We would like to replace the round columns that match with the square columns to match the craftsman house style and the neighbors.
- We would like to close the side entry door that opens to Bonnie Ln. There are too many doors with direct access to the street. We prefer to have one main entry door in front of the house and a second through the back door behind the gate.
- Metal railings are too old, rusted and not up to code. Railings will be replaced to meet new codes.

Sincerely,

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Vu-Ngan Tran Property Owner



Santa Clara County Department of Planning and Development Online Property Profile

COUNTY OF SANTA CLARA PLANNING OFFICE 70 W. HEDDING ST., SAN JOSE, CA 95110 (408) 299-5770

October 18, 2023 11:46:16 AM. The GIS data used in this analysis was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.

Property Profile

Property Location Information

APN: 532-02-014

Site Address: 16488 BONNIE LN LOS GATOS CA 95032-4715 Recorded Size (Assessor Database): 14,375 sq. ft. / 0.3 acres Computed Size (GIS): 11,718 sq. ft. / 0.3 acres TRA: 03000

Planning and Development Information

APN:53202014 is incorporated (LOS GATOS).

General Plan: USA USA: Los Gatos (100%) SOI: Los Gatos Zoning: INCORPORATED Supervisor District: 5 Approved Building Site: Research needed to evaluate parcel as a Building Site

Special Area Policies and Information

- Los Gatos Hillside Specific Plan Area: IN
- Fire Responsibility Area: LRA (100%)
- Fire Protection District: Santa Clara County Central Fire
 Protection District
- Historic Parcel: NO
- FEMA Flood Zone: X (95.1%), D (4.9%)
- Sanitary District: West Valley Sanitation District
- Watershed: San Francisco Bay
- Rain isohyet: 23 inches
- Nearest named creek: EAST ROSS CREEK (287 feet) Nearest named lake: Vasona Reservoir (5749 feet)



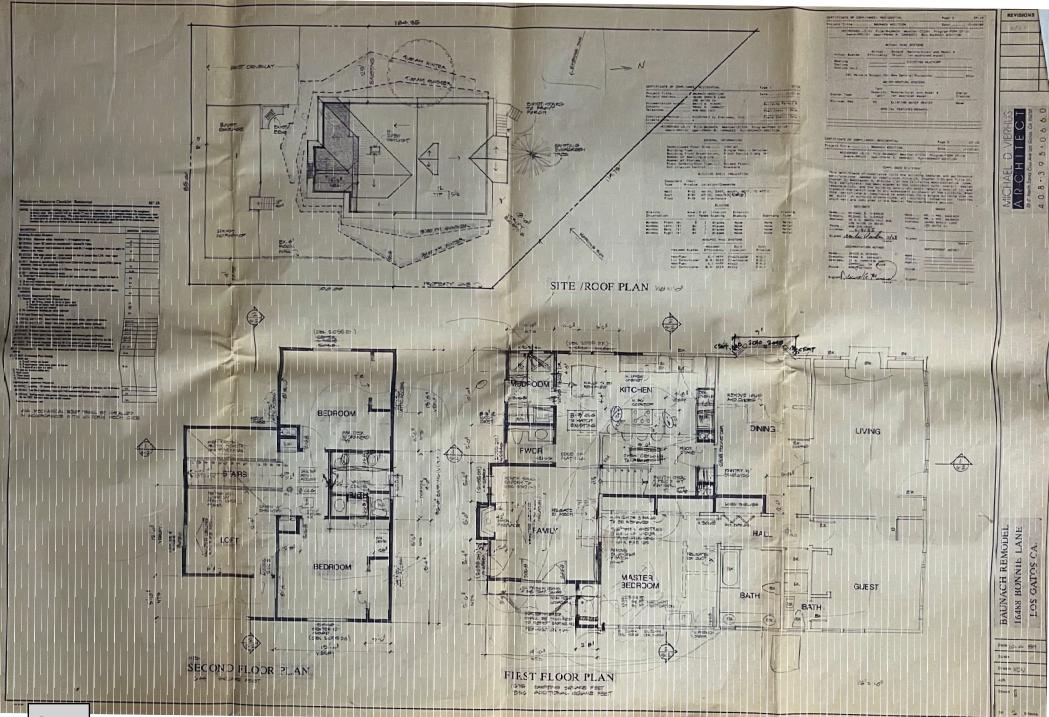
Date	Item	Provider	Permitted
1984	* repaired main bath, removed gravity furnace, replaced hallway floor, replaced kitchen floor	K.K. & Son	no
1985	* built out studio in the rear of the detached garage.	K.K. & Son (construction), C.E. Hilpipre (plumbing)	no
1988	* install fireplace insert in living room	Sun, Wind & Fire	?
1989	* added 2nd floor, family room, and enlarged the kitchen area.	Steve Rehder	yes
2000	* install retaining wall and french drain around back of garage	Reid Clark	?
2005	* replaced main house roof	Los Gatos Roofing	yes
2013	* replaced and added 2-zone HVAC system	ASAP heating & cooling	yes
2013	* replaced sewer lateral with impervious 4" STR17 pipe	Drainworks	no
2014	* replaced cooktop with induction cooktop	PJs Building & Installation	no
2016	* replaced garage roof	Reed Roofers	yes
2016	* installed solar system	Solar City (Tesla)	yes
2019	* remodeled main bathroom and replaced main sewer junction under house	LAR Construction	yes
2019	* copper repipe and new hot water heater	Repipe Specialists	yes

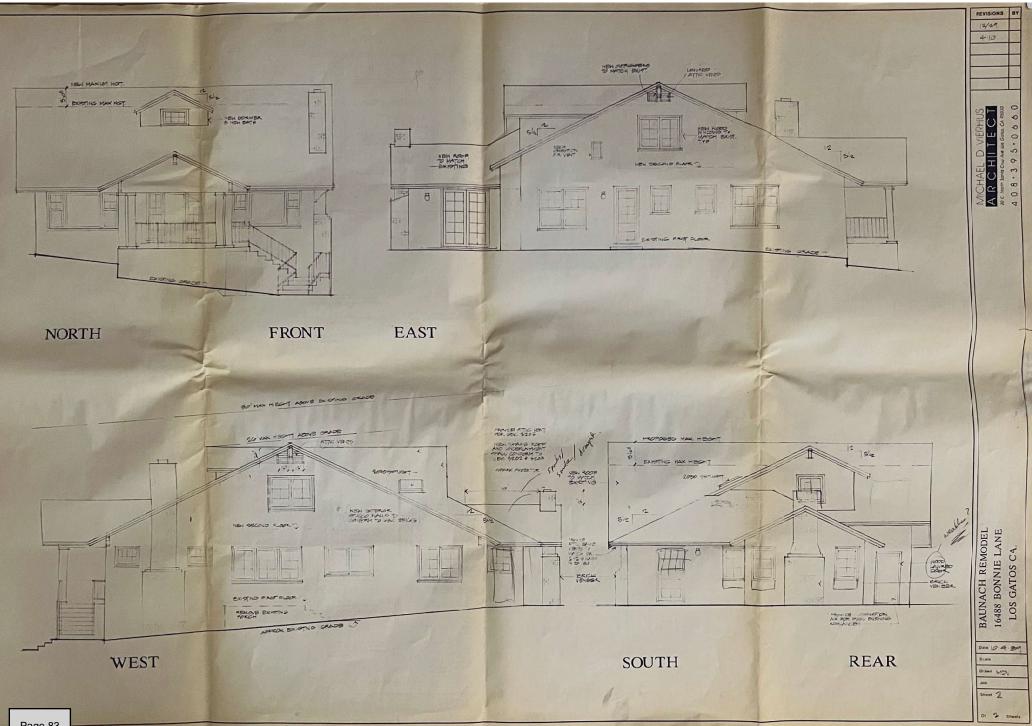
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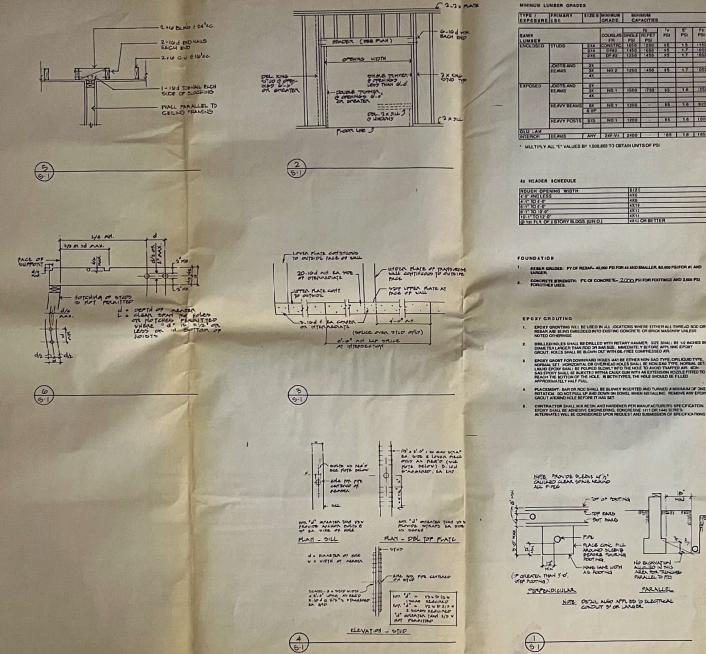
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6-1" 10 8-0"	4X10
8-1" TO 10-0"	4X12
10-1"TO 12-0"	4X14
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DR 34" T&G PLYWOOD SJB FLOOR - FIELD

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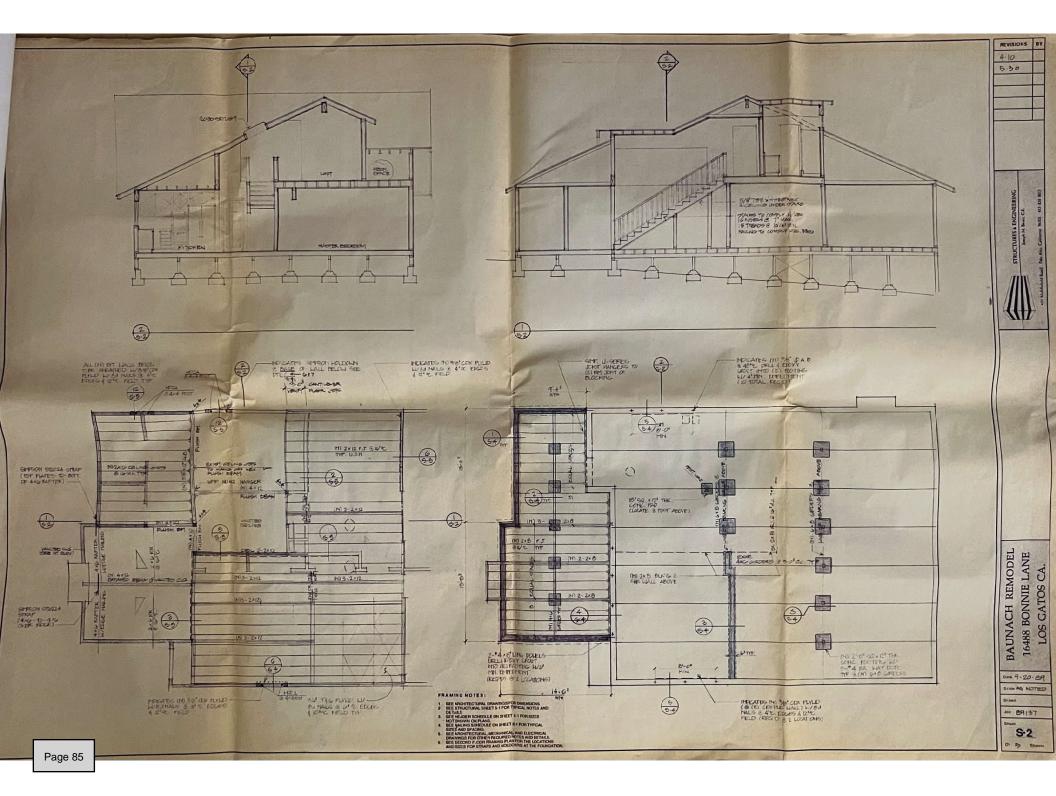
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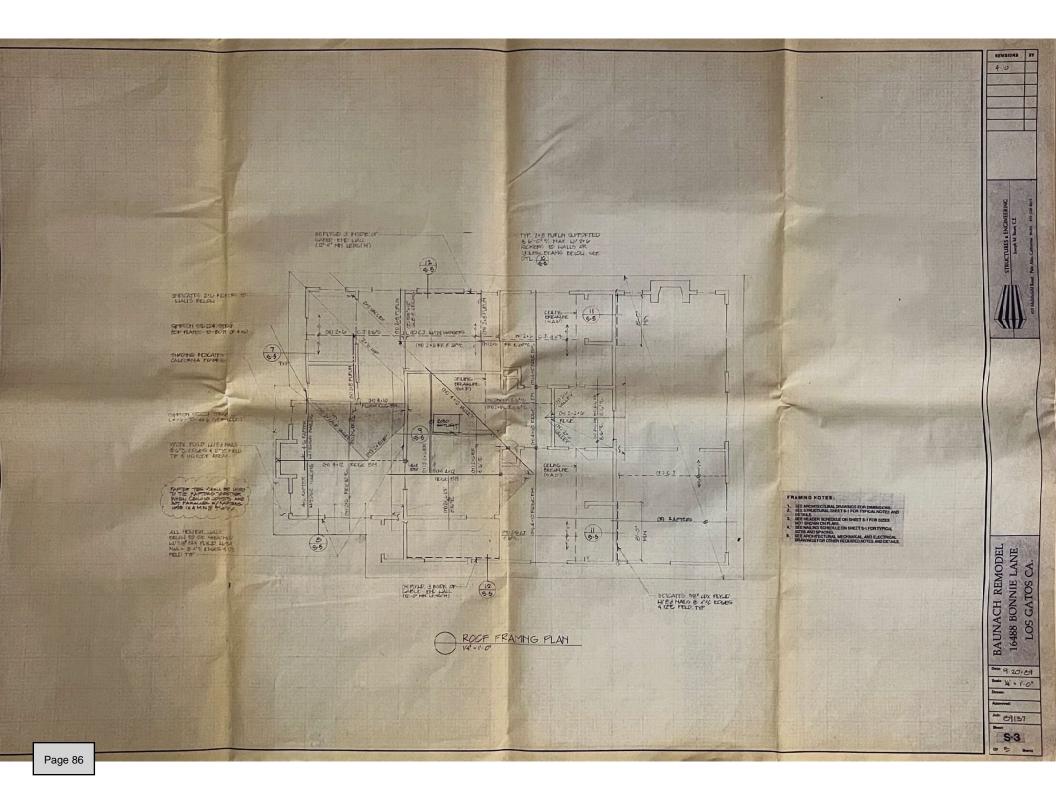
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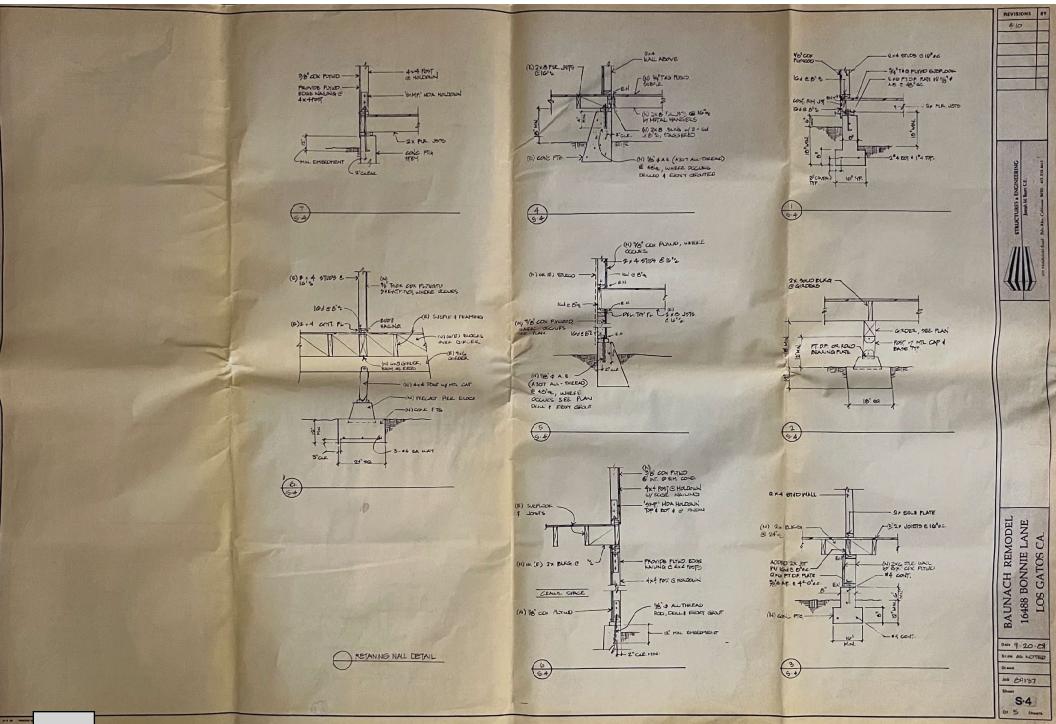
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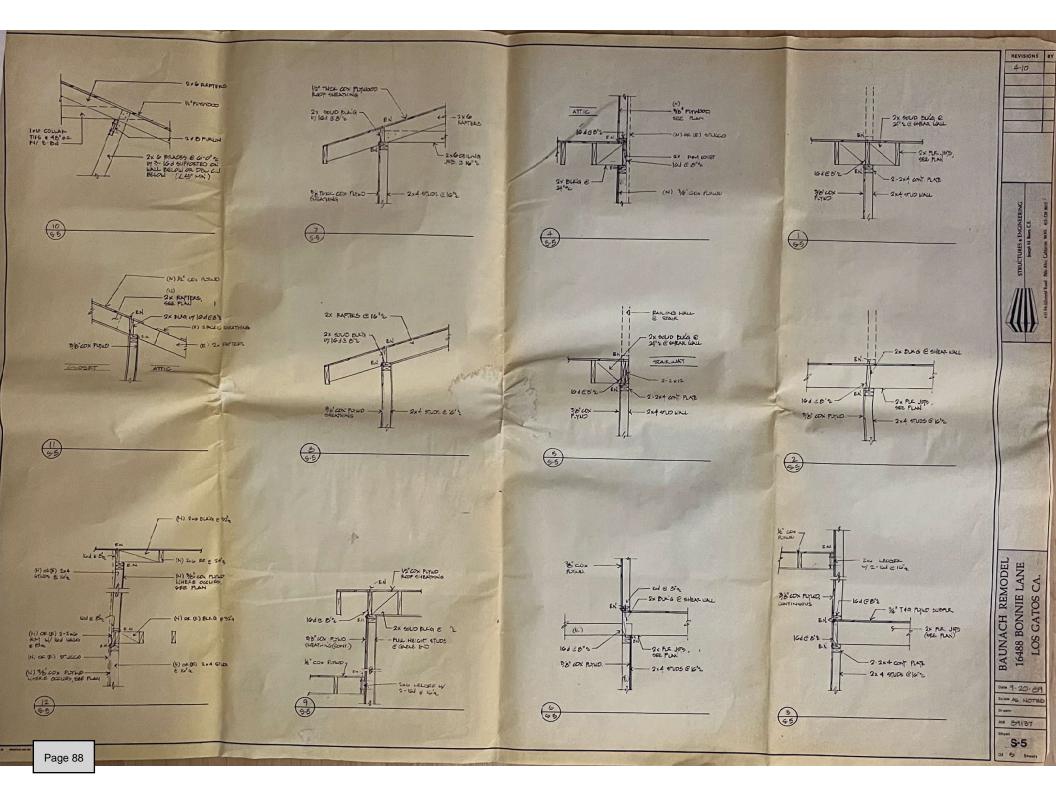
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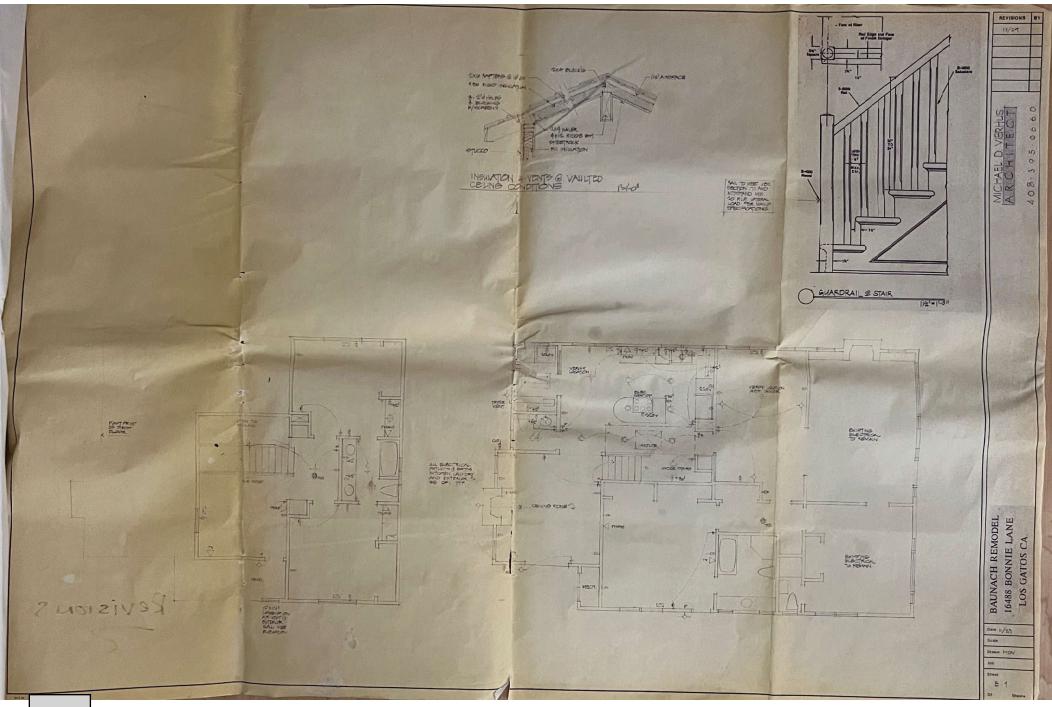
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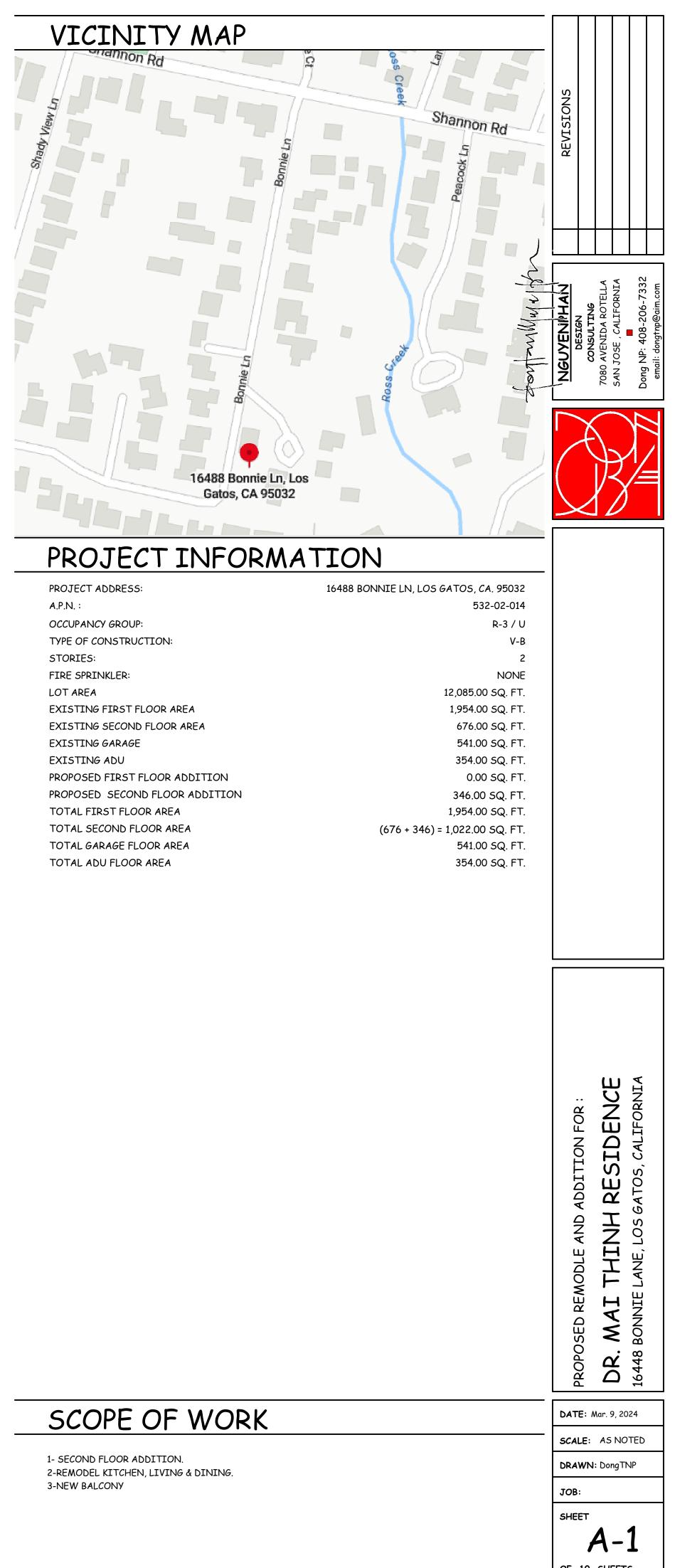


GENERAL NOTES

- 1. ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ENERGY CODE (CEC), 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN), 2022 CALIFORNIA FIRE CODE (CFC), AND ALL LOCAL CODES AND ORDINANCES.
- 2. CONTRACTORS SHALL VERYFY AND CHECK ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE IN COORDINATION WITH THE PLANS AND SHALL NOTIFYTHE DESIGNER/ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND INFORMATON SHOWN ON DRAWINGS BEFORE PROCEEDING WITH ANY WORK.
- 3. MECHANICAL, ELECTRICAL, AND FIRE PROTECTION CONTRACT DOCUMENTS AND ALL OTHER DESIGN-BUILD CONTRACT DOCUMENTS, NOT INCLUDED HEREIN, SHALL
- BE SUBMITTED TO THE TOWN OF LOS GATOS FOR SEPARATE PERMITS. 4. ALL GLAZING SHALL CONFORM TO THE FEDERAL GLAZING REGULATIONS AND
- CHAPTER 24 OF THE C.R.C.
- 5. DO NOT SCALE, DIMENSION GOVERN.
- 6. INTERIOR DIMENSIONS ARE TO <u>FACE OF GYP.BD</u>. (U.N.O.).7. EXTERIOR DIMENSIONS ARE TO <u>FACE OF PLYWOOD</u>. (U.N.O.).

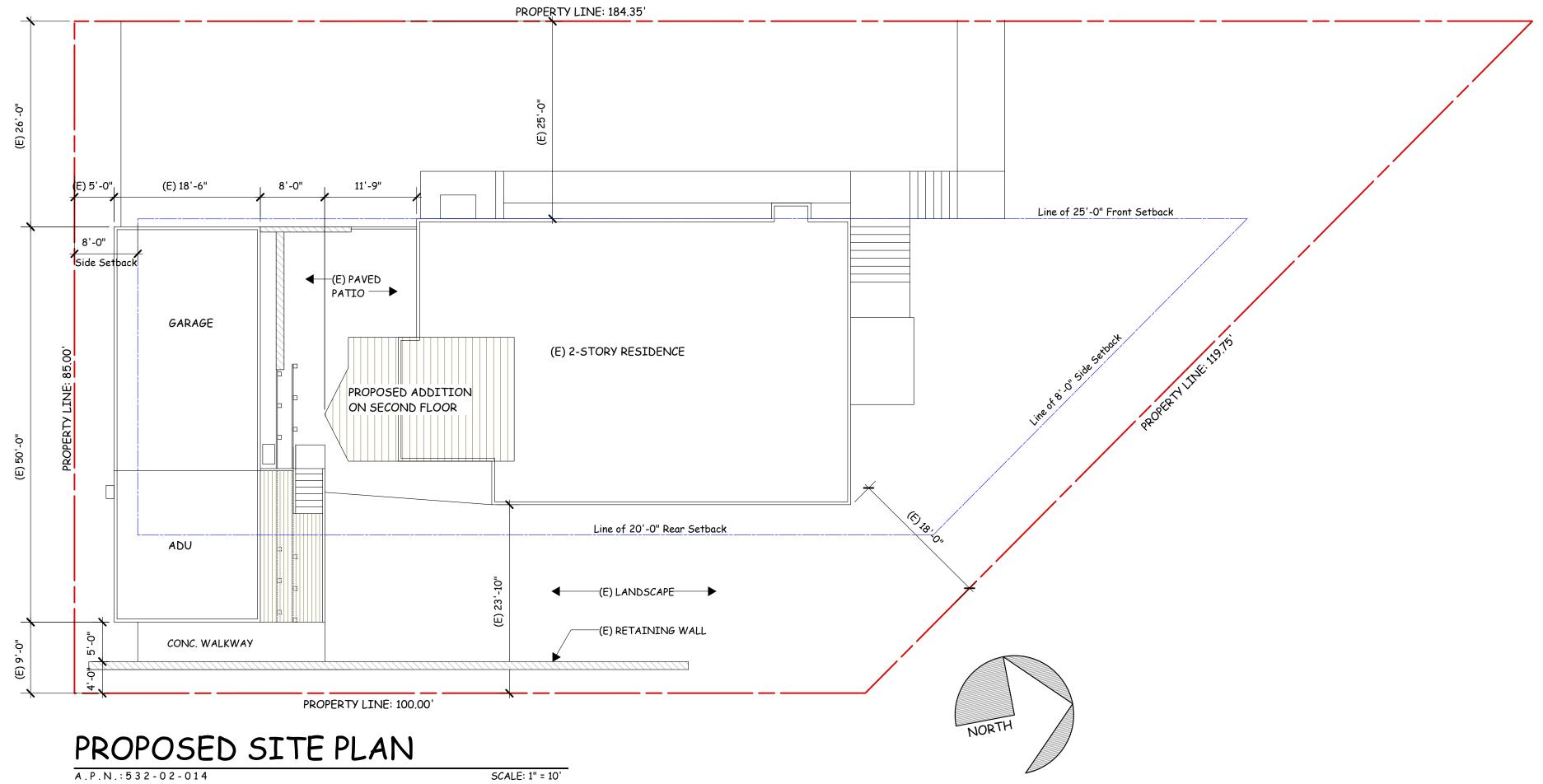
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A-2 EXISING FIRST FLOOR PLAN.
A-2.1 PROPOSED FIRST FLOOR PLAN.
A-3 EXISING SECOND FLOOR PLAN.
A-3.1 PROPOSED SECOND FLOOR PLAN.
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A-5 EXISTING EXTERIOR EXTERIOR ELEVATIONS
A-5.1 PROPOSED EXTERIOR EXTERIOR ELEVATIONS

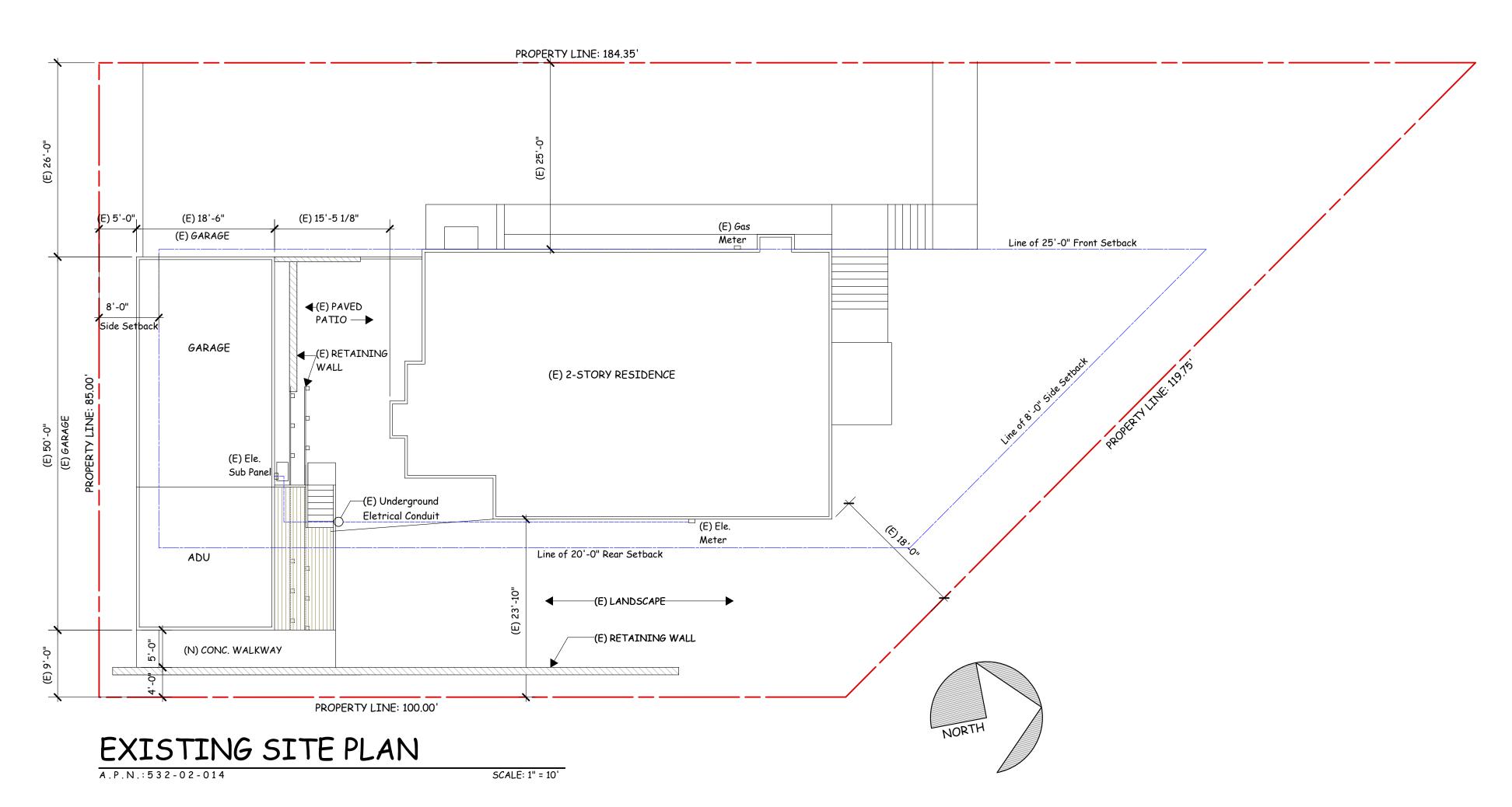


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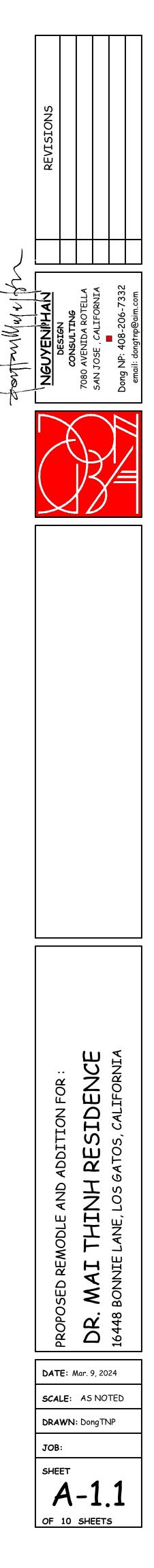


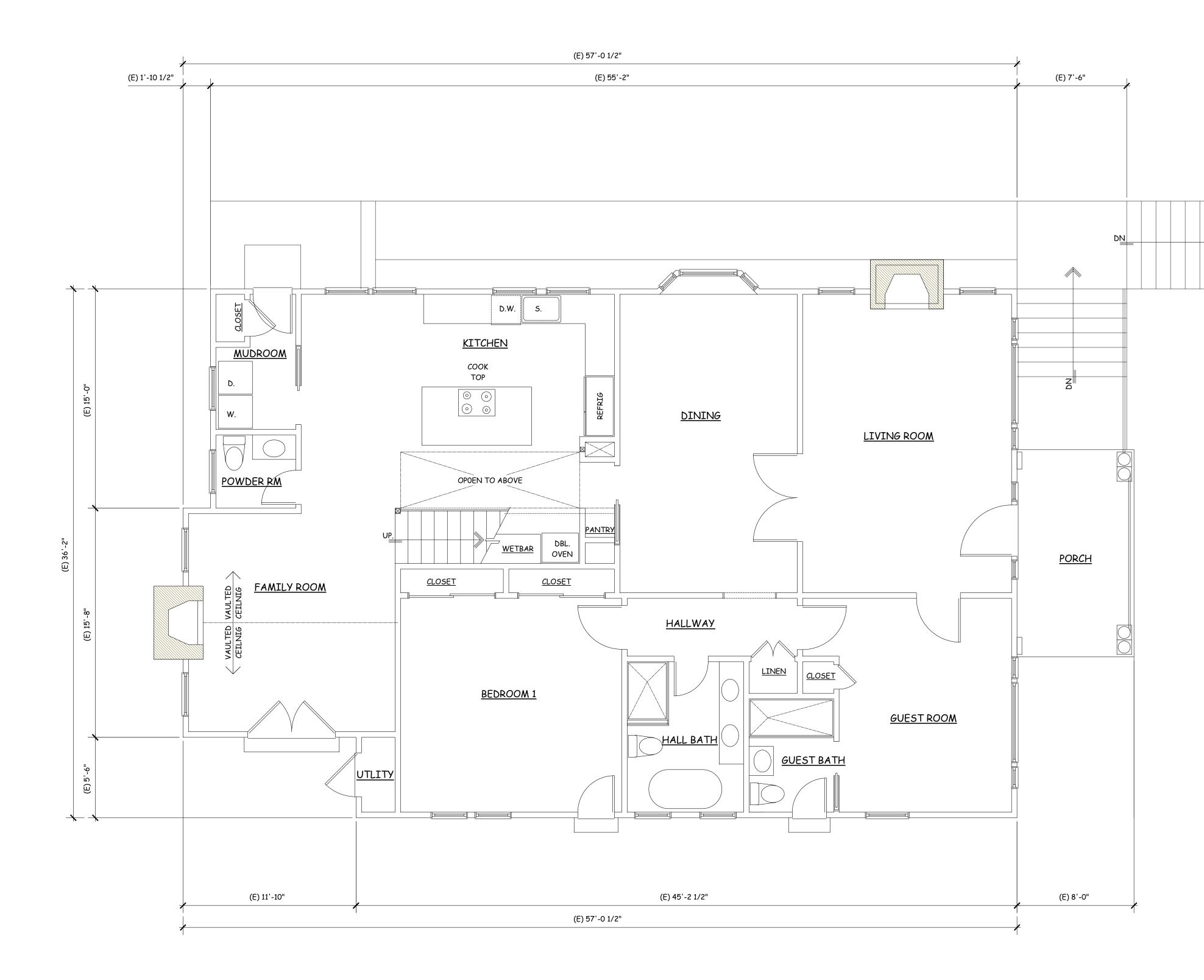
-BONNIE LANE-





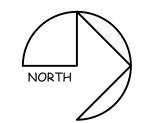






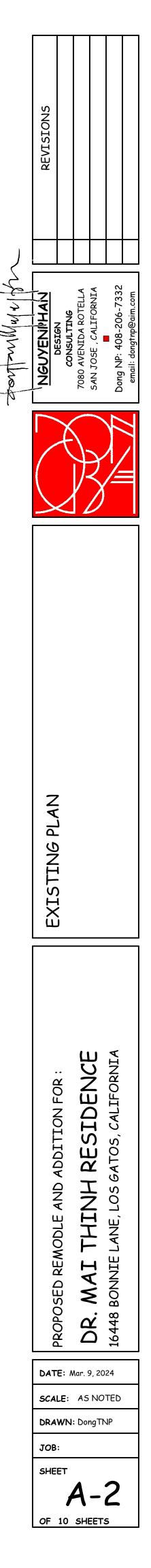
EXISTING FIRST FLOOR PLAN

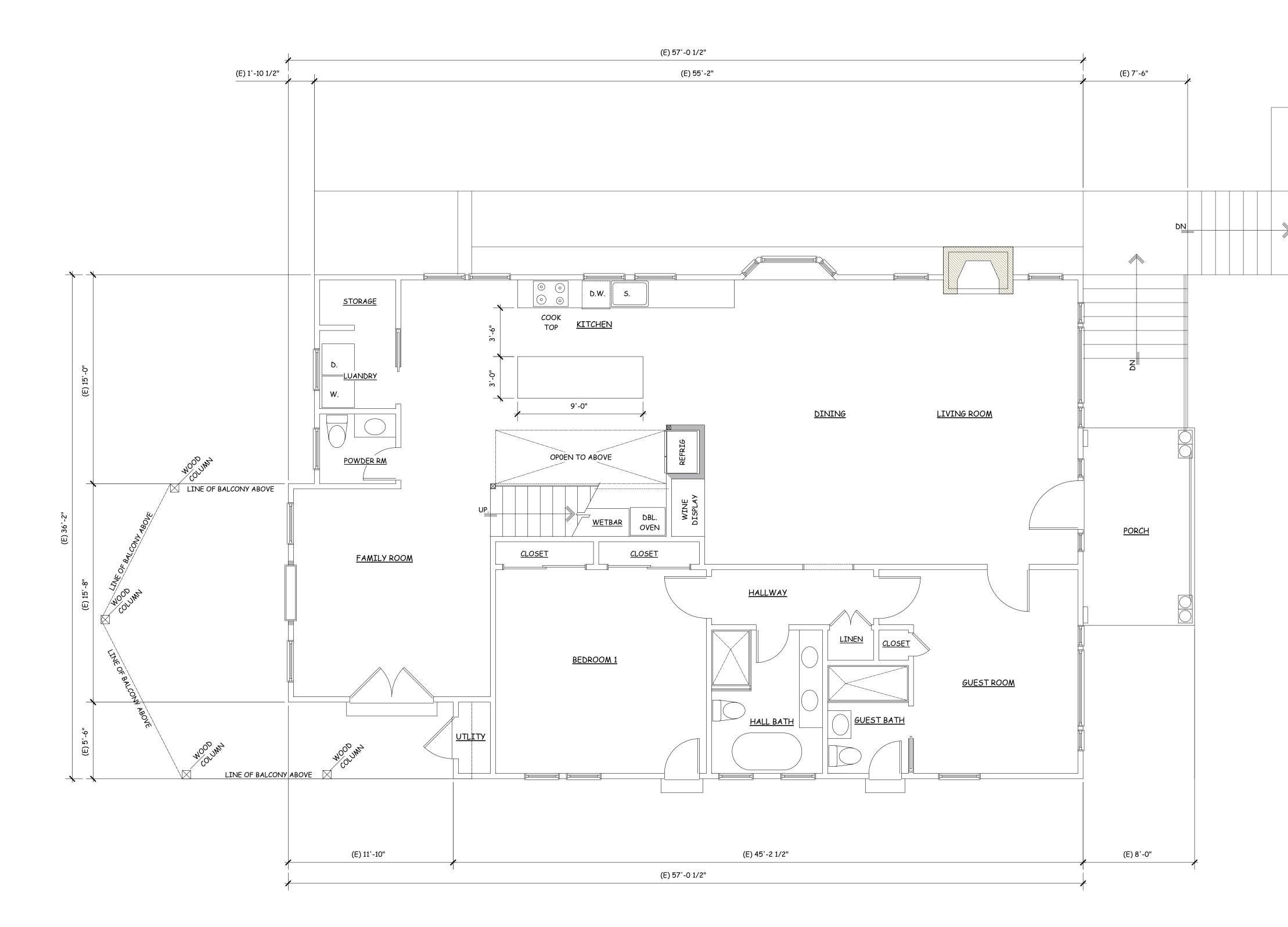




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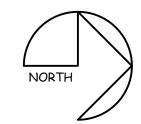
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PROPOSED FIRST FLOOR PLAN

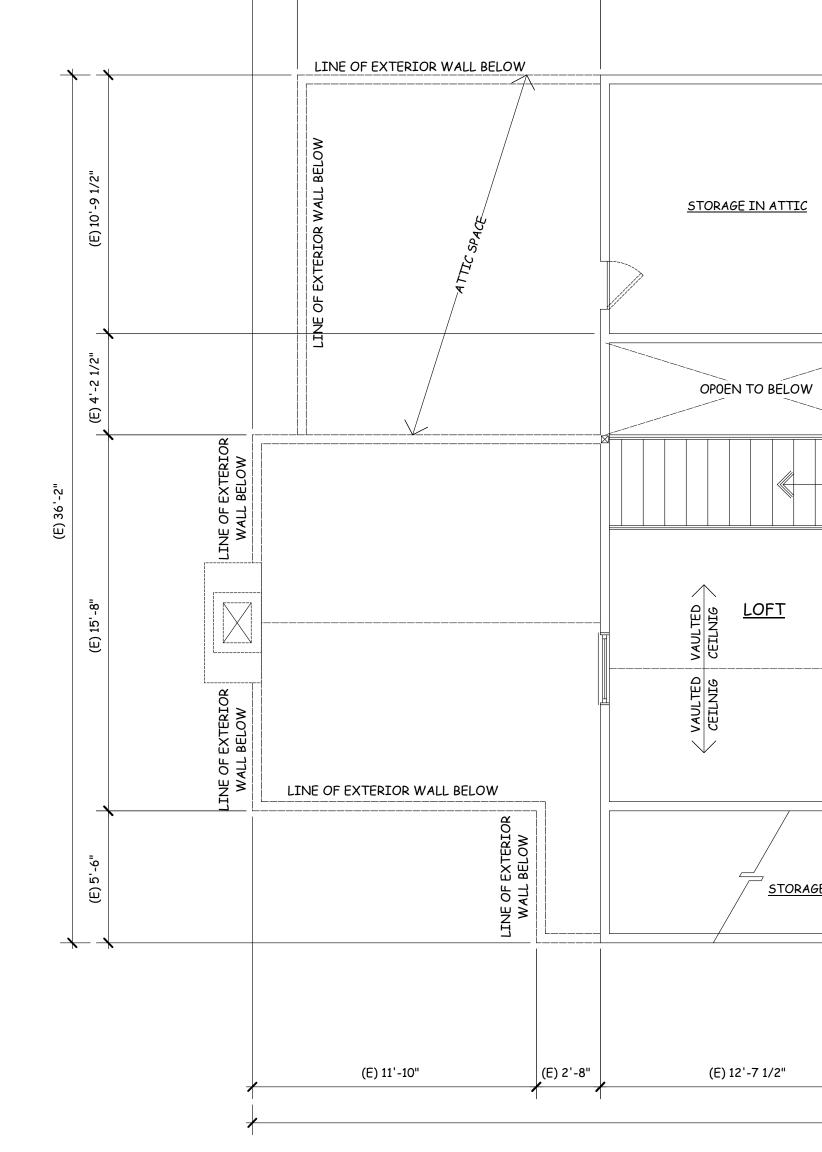
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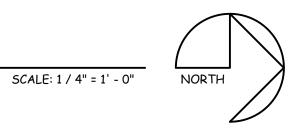
PLAN PROPOSED I DR. MAI THINH RESIDENCE 16448 BONNIE LANE, LOS GATOS, CALIFORNIA PROPOSED REMODLE AND ADDITION FOR : DATE: Mar. 9, 2024 SCALE: AS NOTED DRAWN: DongTNP JOB: SHEET A-2.1 OF 10 SHEETS

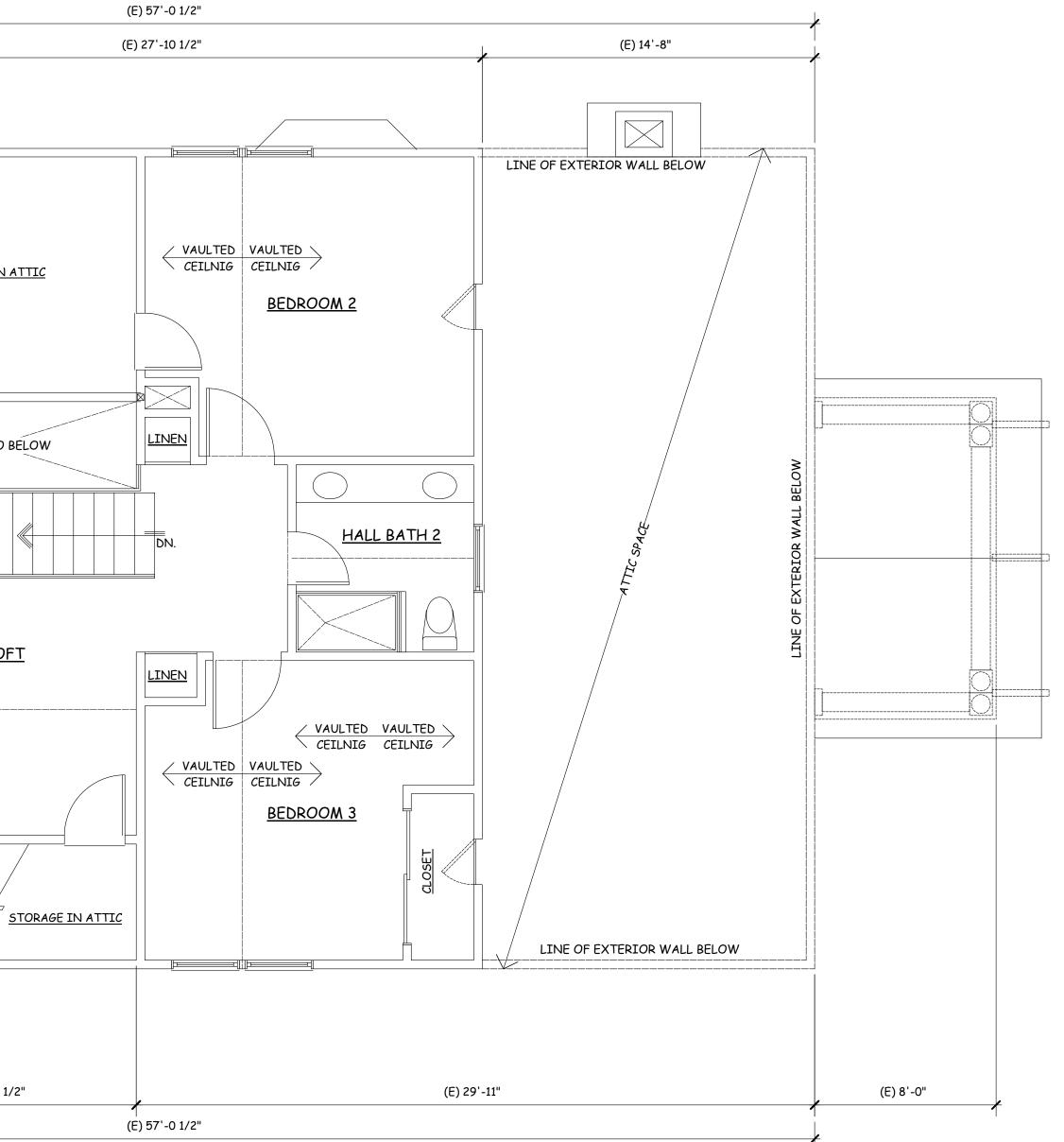


(E) 12'-7 1/2"

(E) 1'-10 1/2"

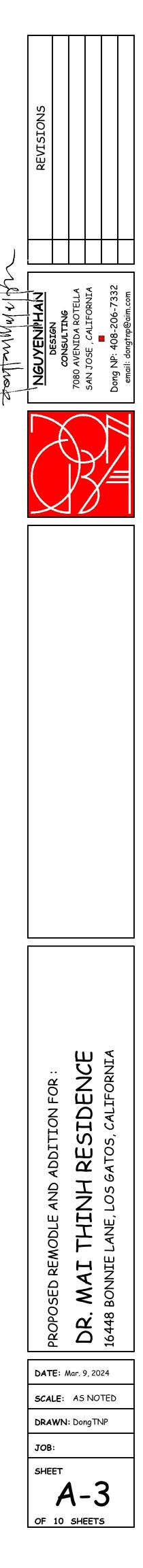


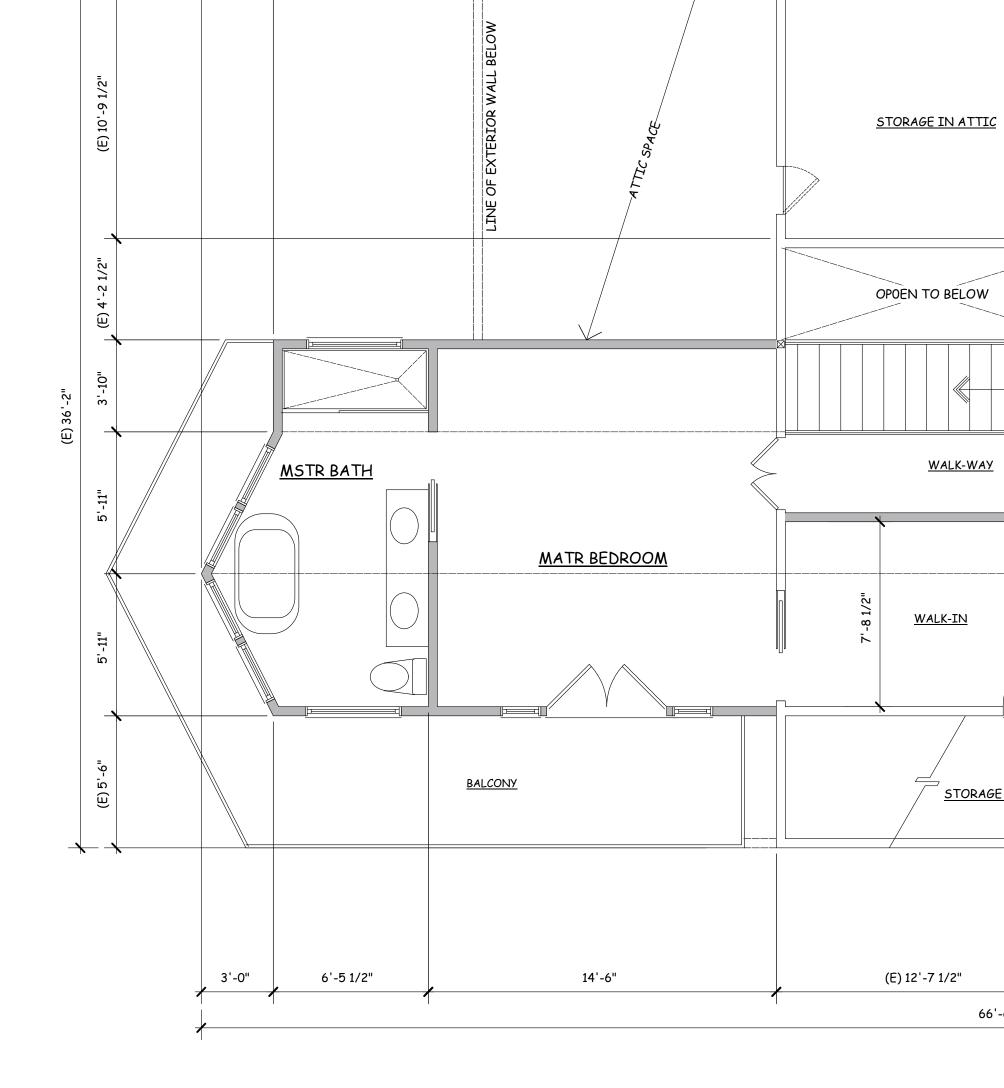




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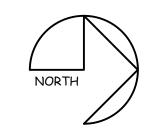
8'-4"

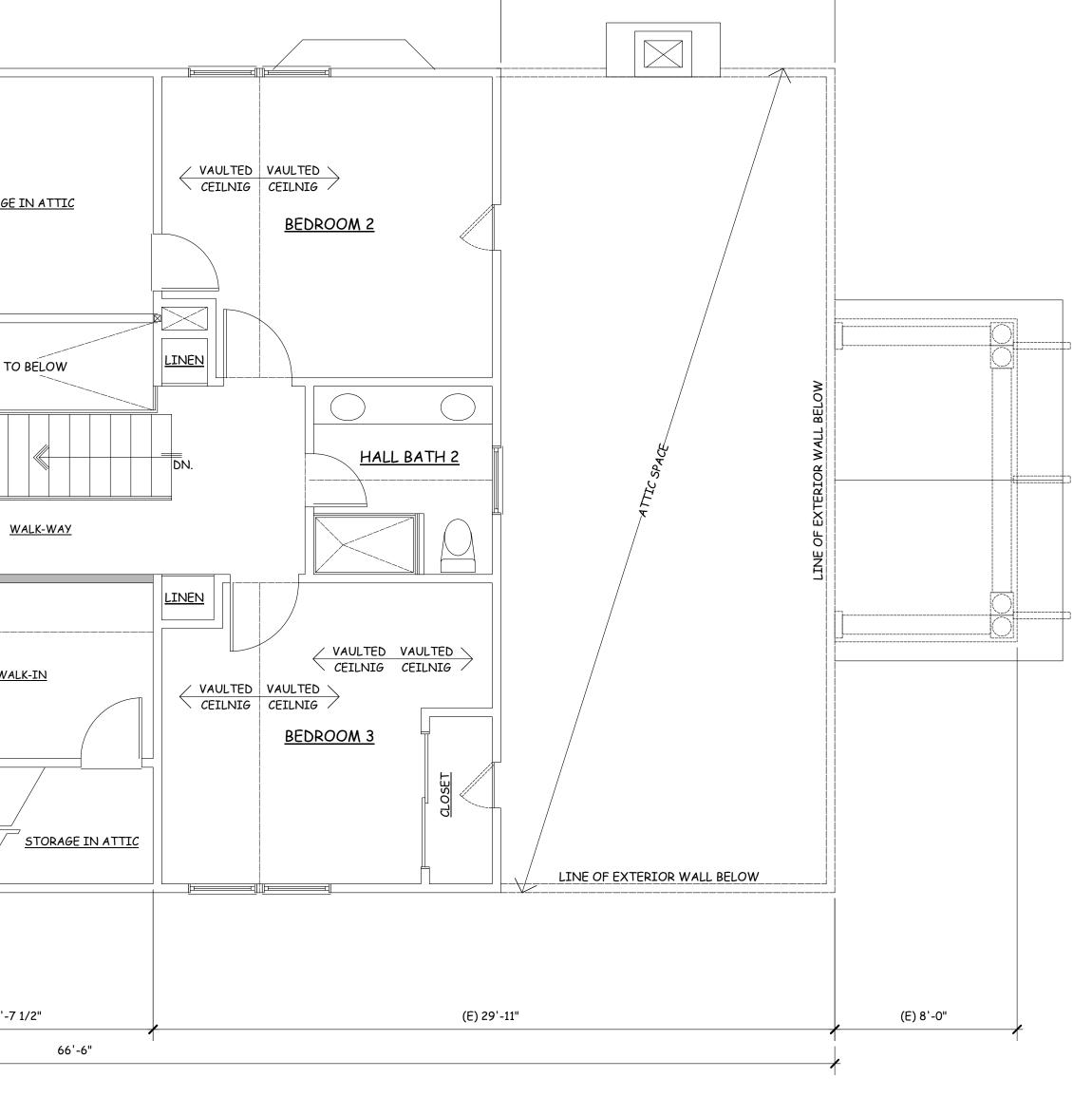
(E) 12'-7 1/2"

LINE OF EXTERIOR WALL BELOW

66'-6"

(E) 27'-10 1/2"

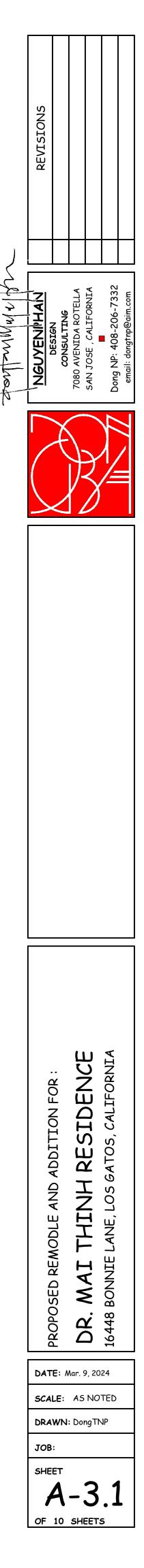


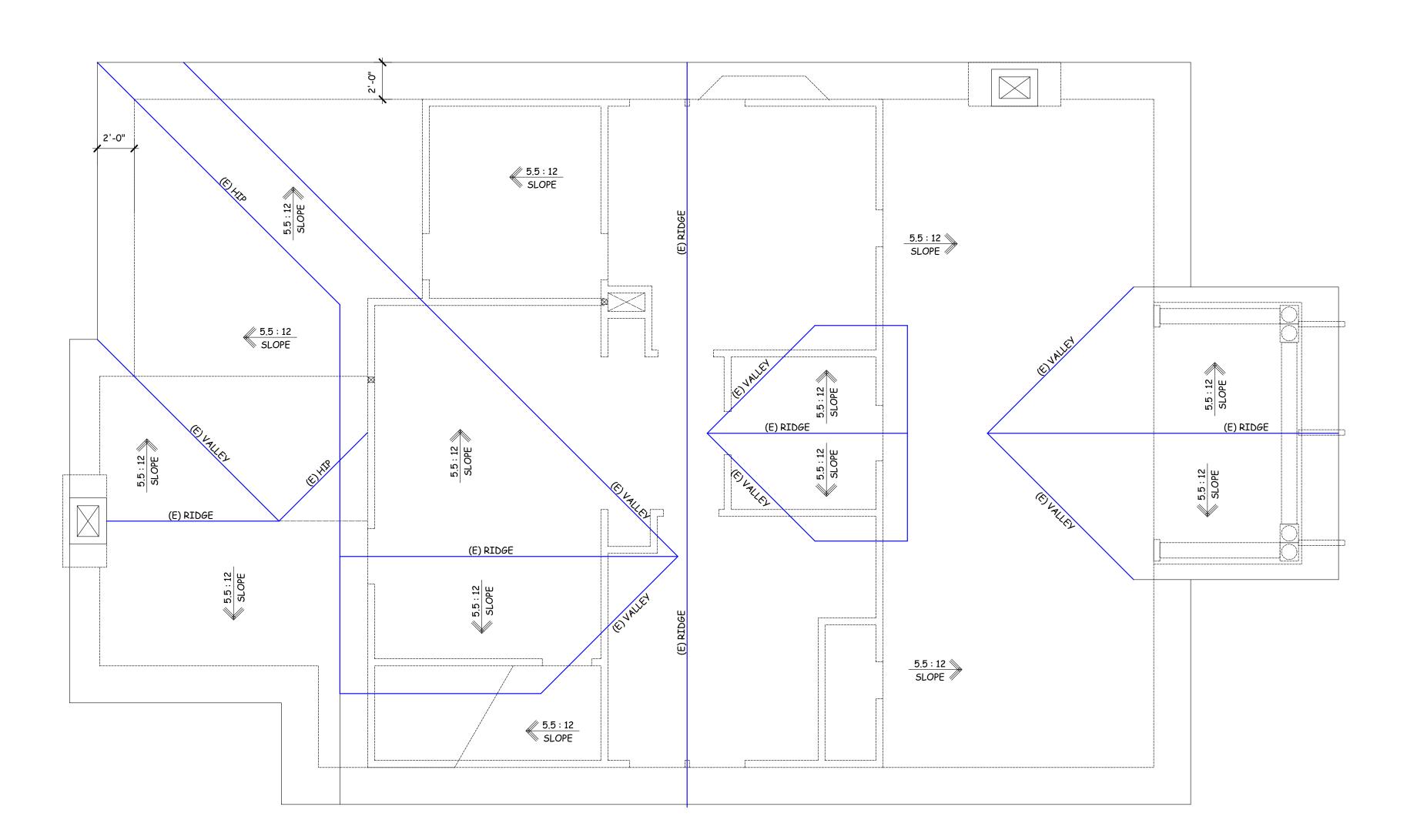


(E) 14'-8"

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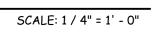
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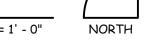


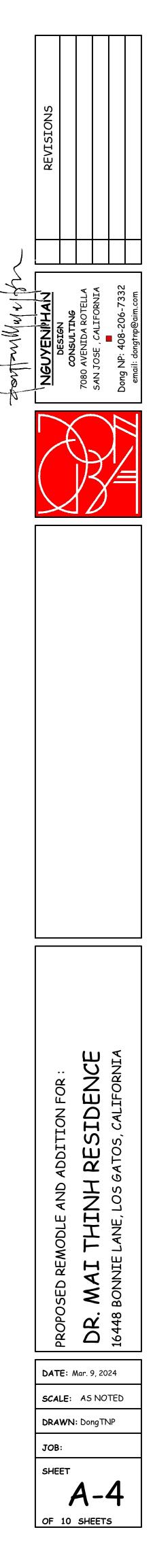


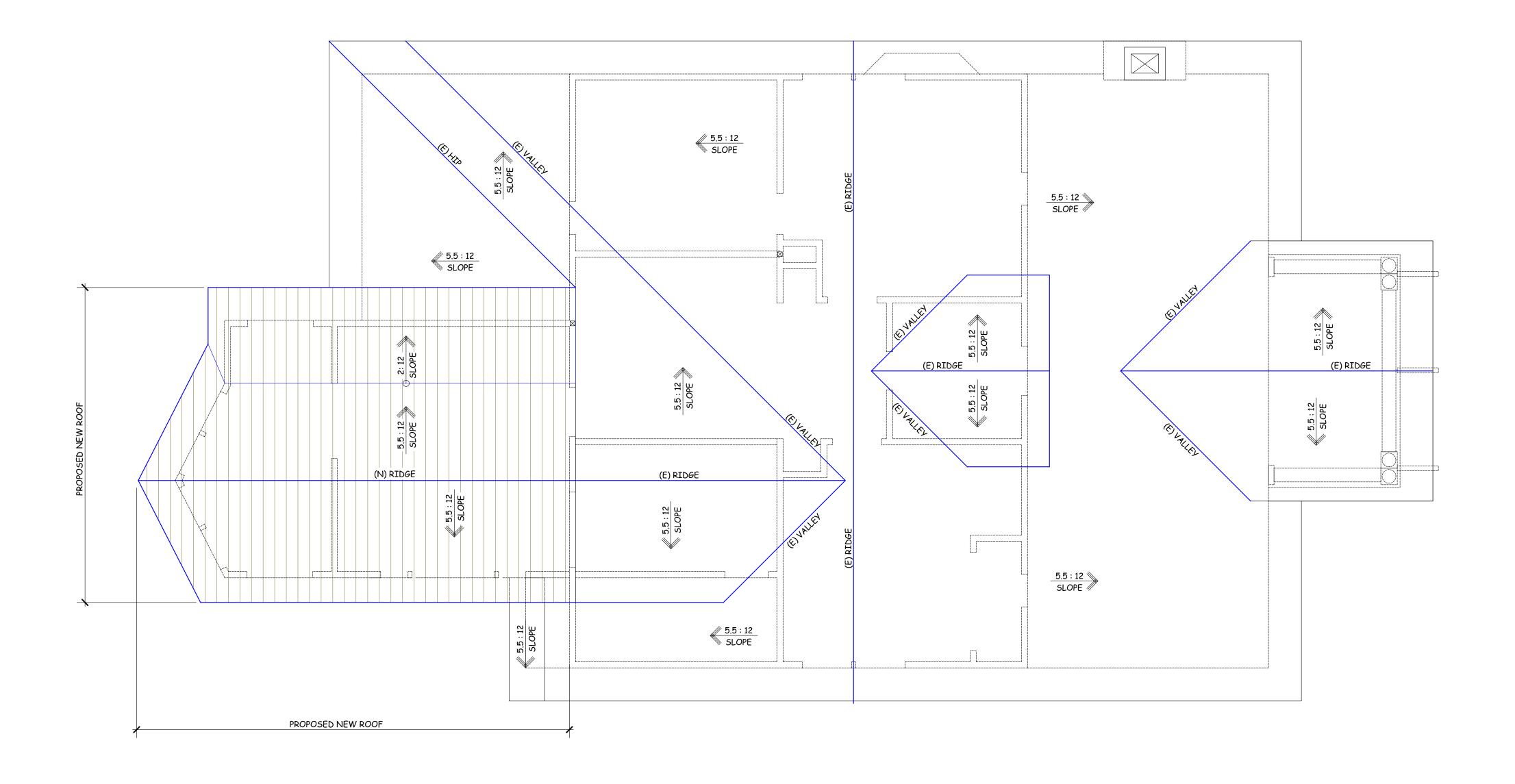
EXISTING ROOF PLAN



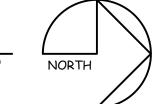




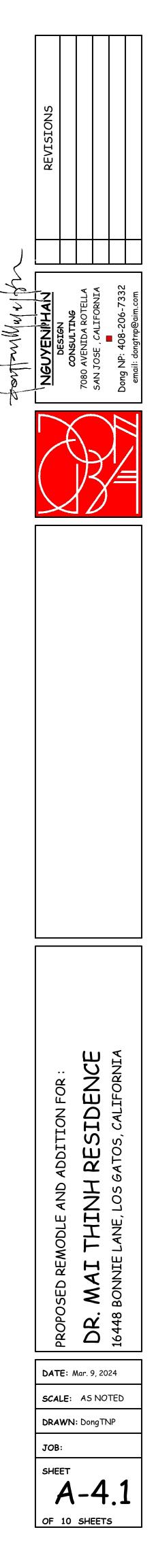


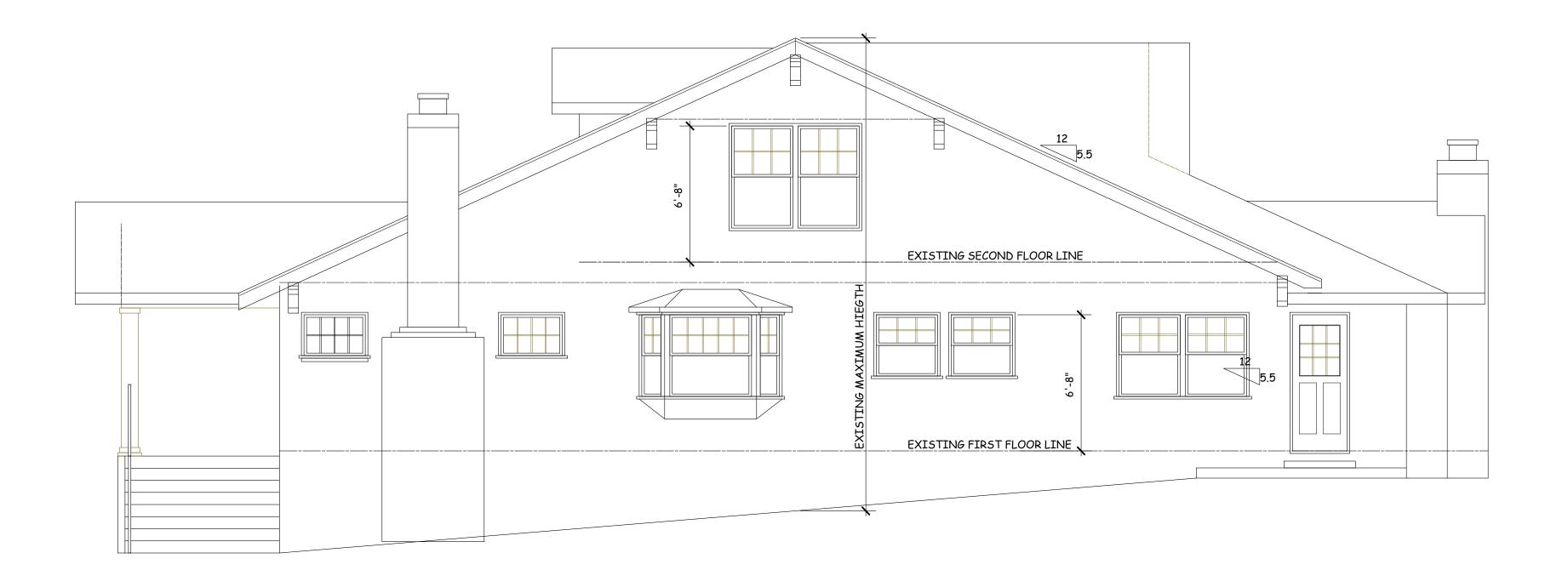


PROPOSED ROOF PLAN



SCALE: 1 / 4" = 1' - 0"





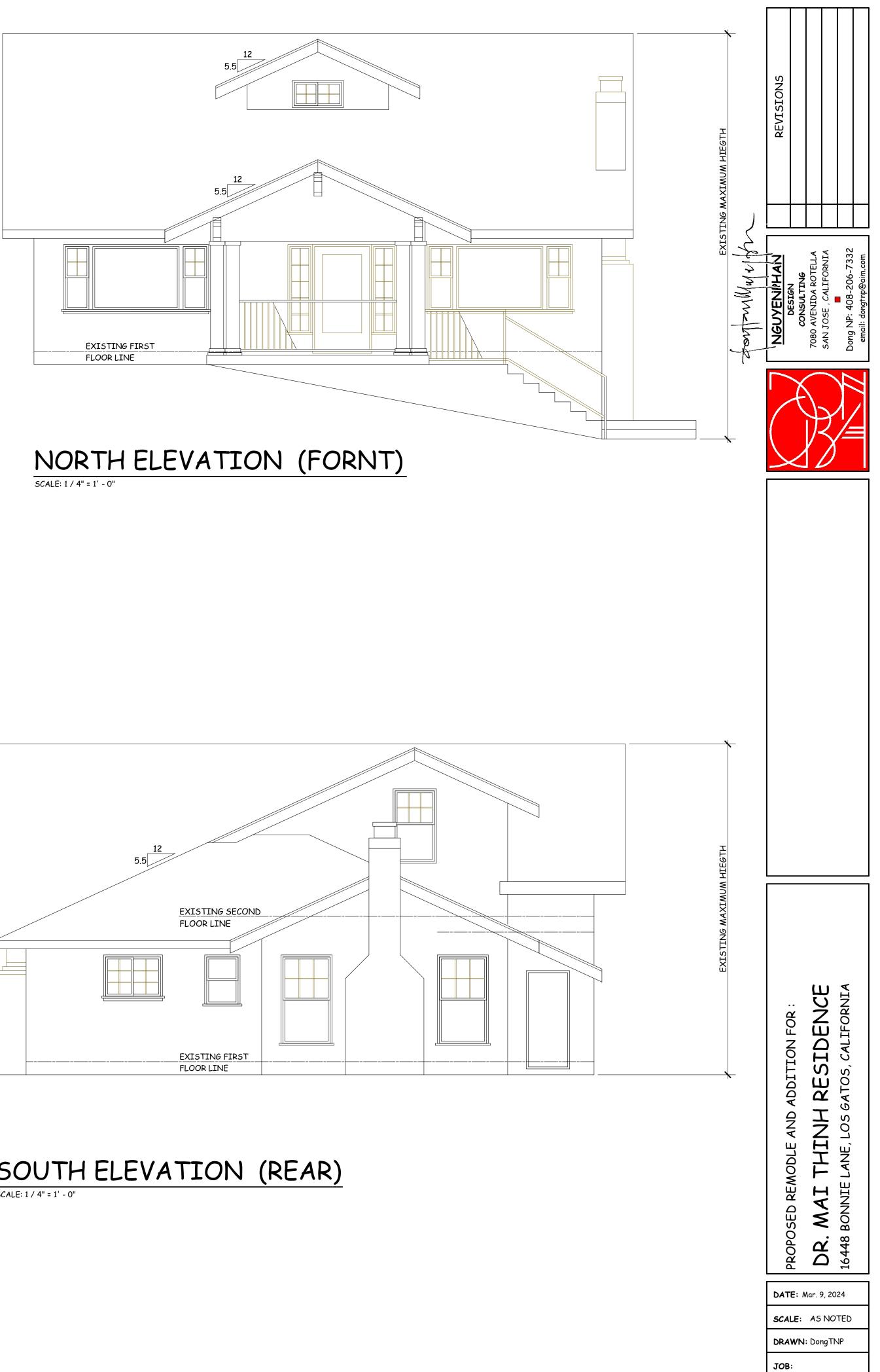
WEST ELEVATION (BONNIE LANE)

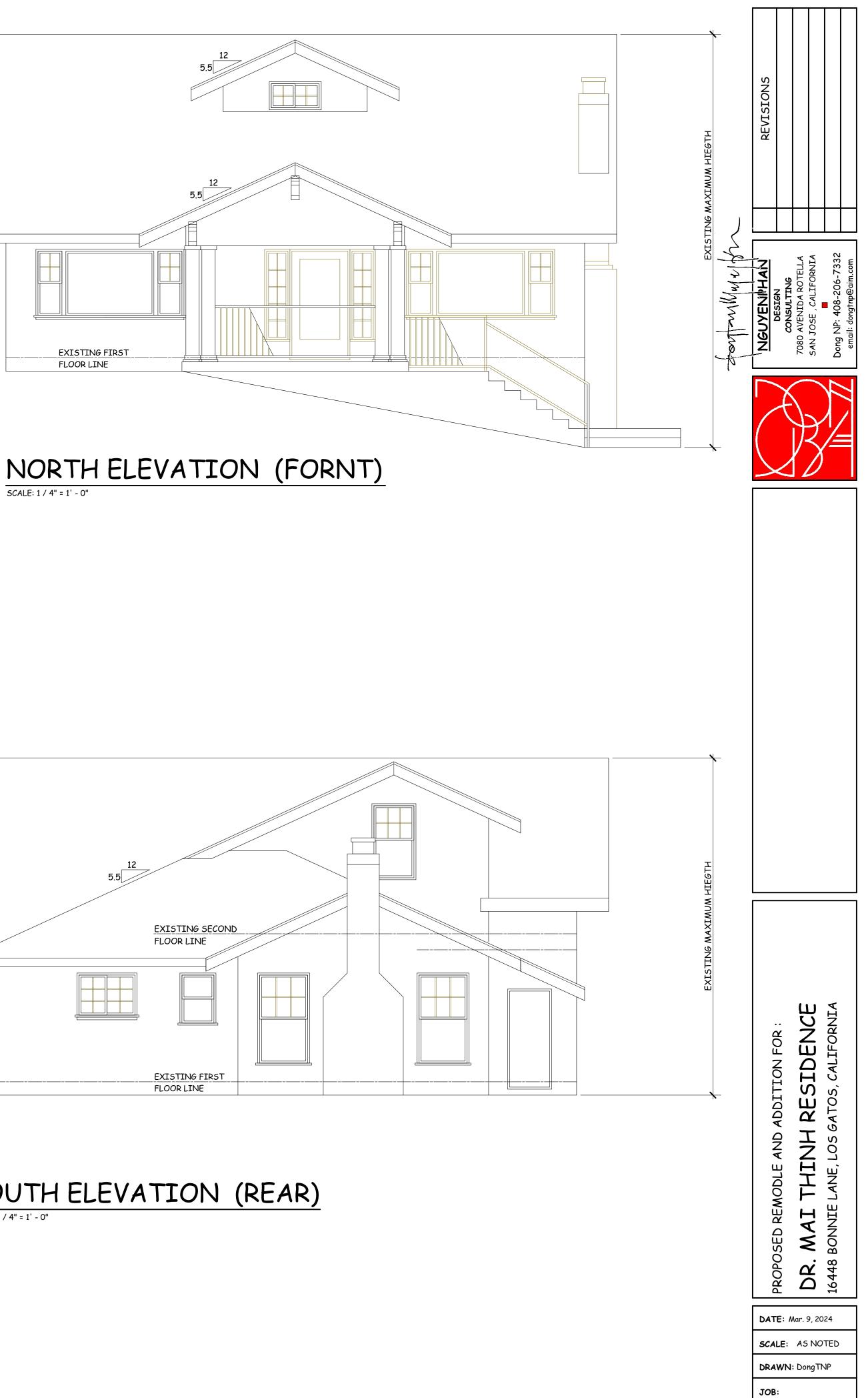
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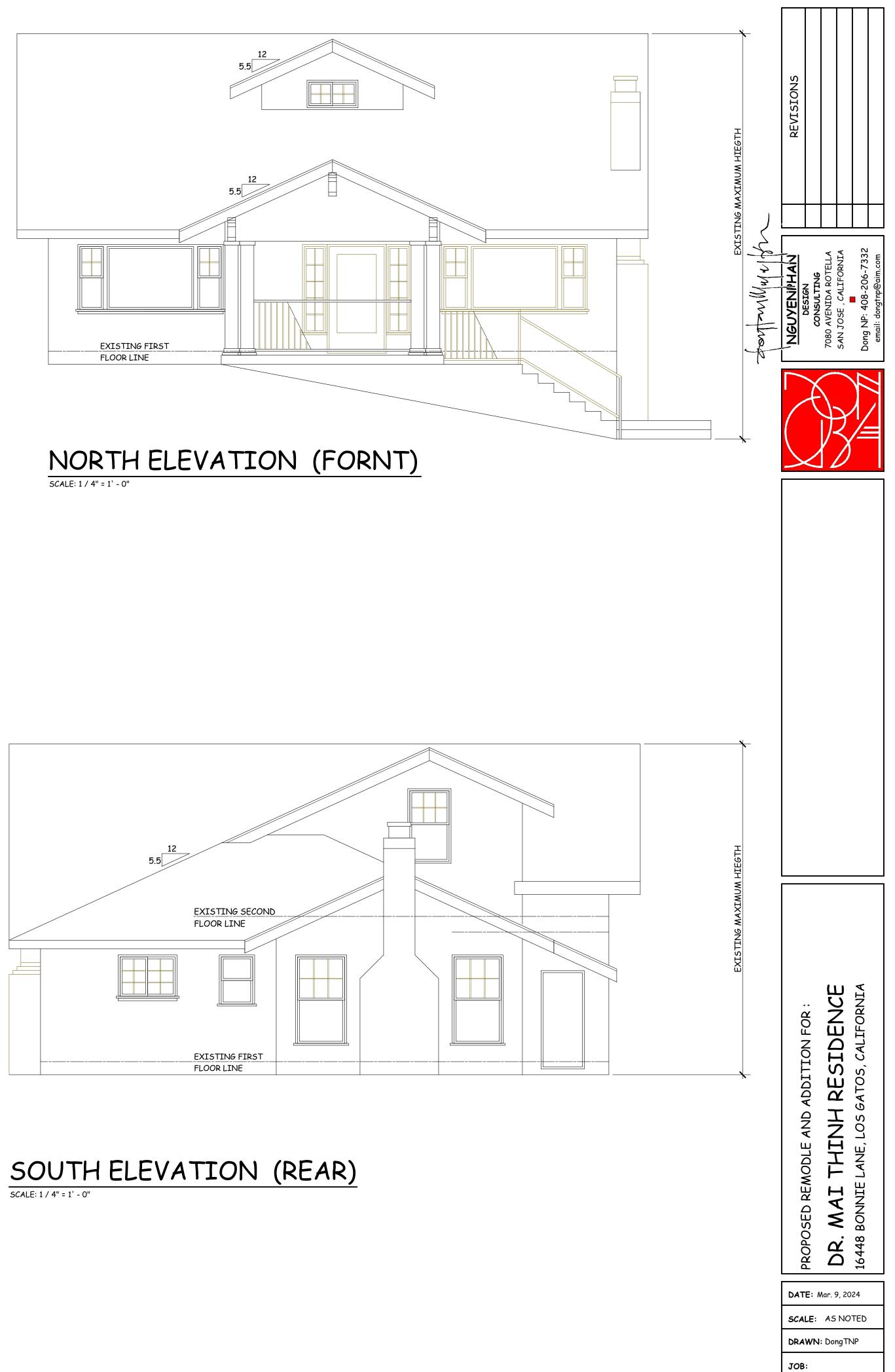


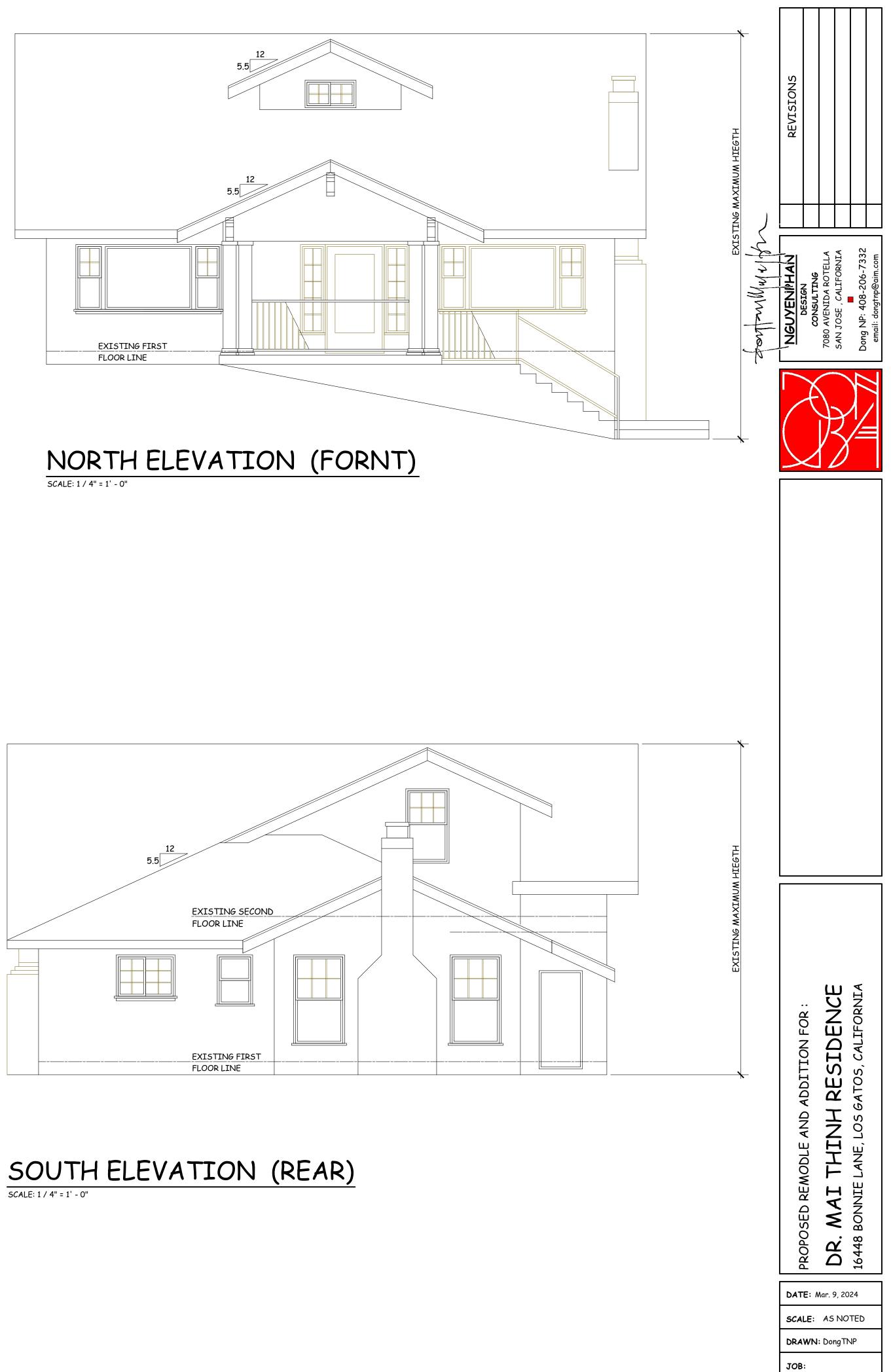
EAST ELEVATION

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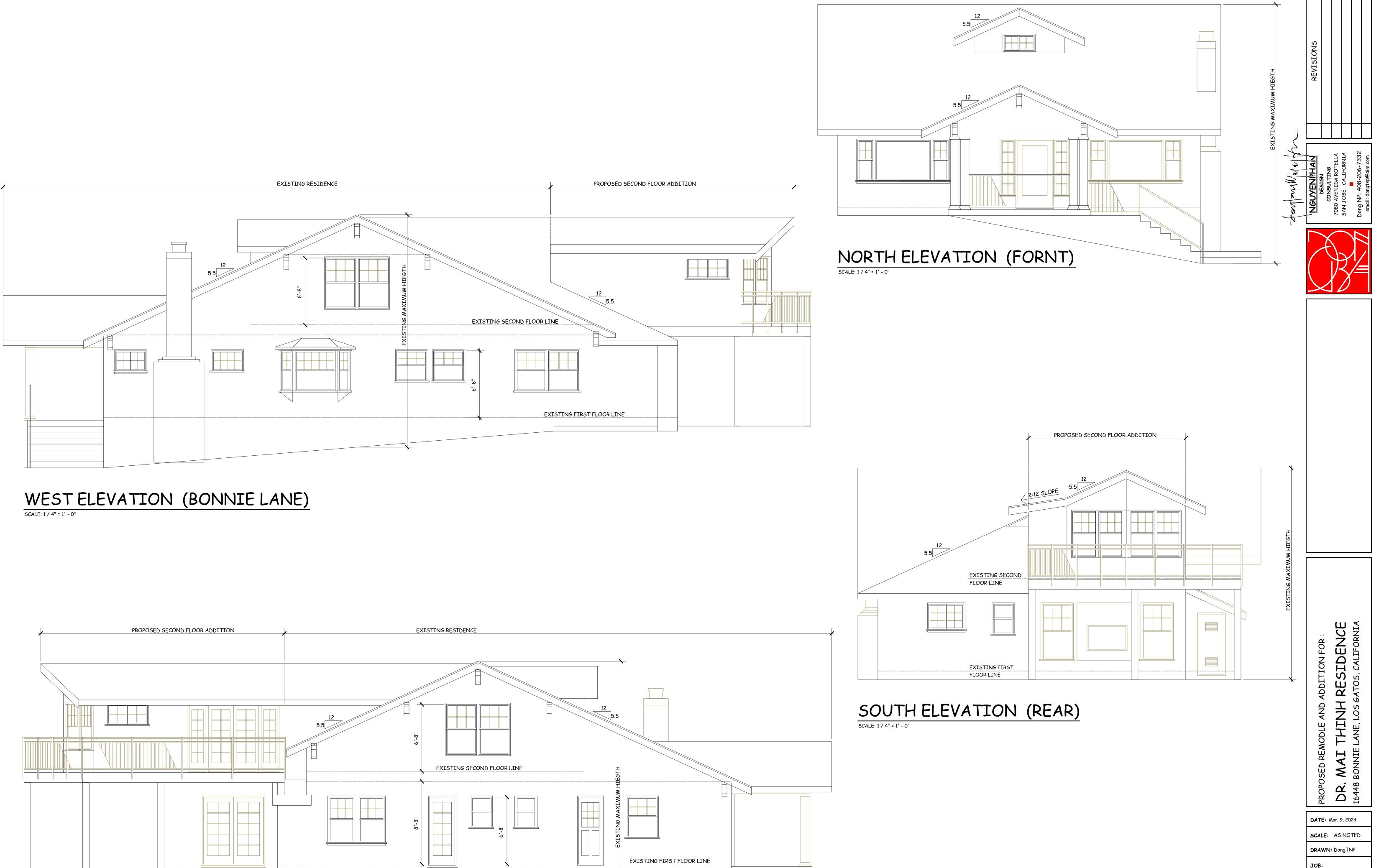


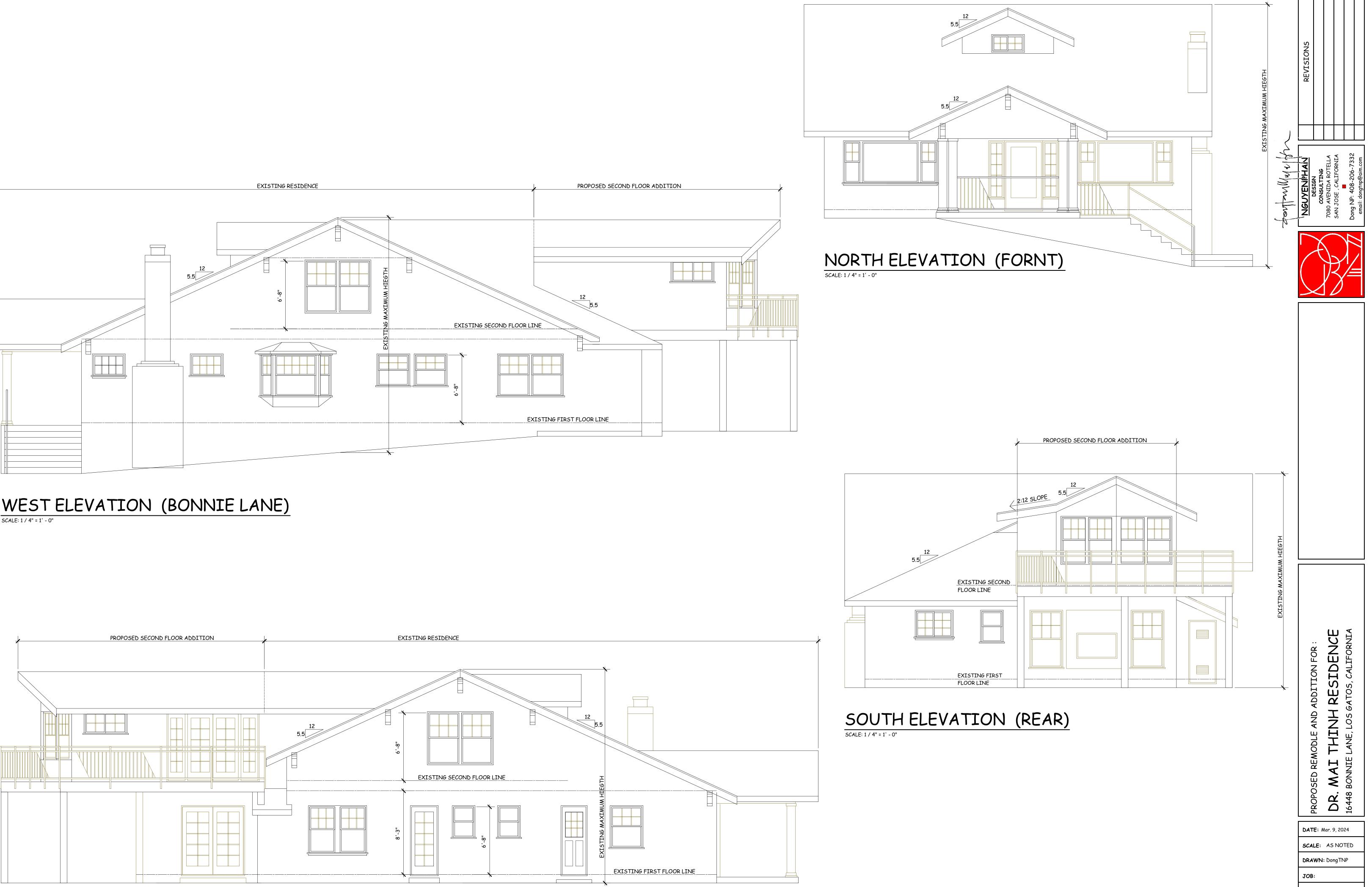




A-5 OF 10 SHEETS

SHEET







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OF	10	SHEETS	

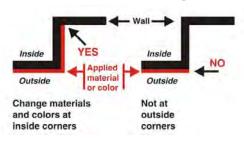
BUILDING DESIGN

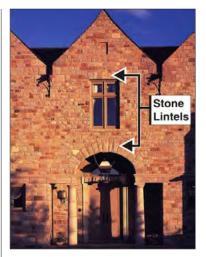
3.8.3 Use traditional detailing

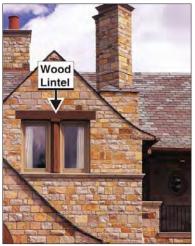
- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

• Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.







Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



DATE:	April 19, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Requesting Approval for Construction of Exterior Alterations (Window Replacement) on a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:8. Located at 15385 National Avenue. APN 510-20-067. Request for Review PHST-24-008. Exempt Pursuant to CEQA Section 15061 (b)(3) Existing Facilities. Property Owners: Hossein Shenasa and Mojgan Moghaddam. Applicant: Hossein Shenasa. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for approval for construction of exterior alterations (window and door replacement) to a presumptive historic residence (pre-1941) on property zoned R-1:8 located at 15385 National Avenue.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1923 per County Assessor's Database
- 2. Town of Los Gatos Preliminary Historic Status Code: N/A
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? N/A
- 5. If yes, is it a contributor? N/A
- 6. Findings required? No
- 7. Considerations required? Yes

BACKGROUND:

The existing property is the result of a 1989 subdivision of a larger parcel into five parcels. The County Assessor indicates that the residence at 15385 National Avenue was constructed in 1923. The subject property was not included in the 1990 Anne Bloomfield Survey and is outside the coverage area of the Sanborn Fire Insurance Maps. Town records include Building Permits for chimney repair in 1990 and reroof in 1994.

PREPARED BY:

Sean Mullin, AICP Senior Planner

PAGE **2** OF **3** SUBJECT: 15385 National Avenue/PHST-24-008 DATE: April 19, 2024

DISCUSSION:

The applicant is requesting approval to replace the existing windows and sliding doors on the residence as part of an interior remodel under Building Permit review. The existing windows and doors include a mix of metal and vinyl materials. The existing windows include a mix of sliding and single-hung with grids located within the two panes of glass (Attachment 1). The existing windows do not reflect the construction date of the house and are likely not original. The applicant's Letter of Justification indicates that the original windows were replaced with the existing metal and vinyl windows (Attachment 2). The existing windows and sliding doors would be replaced with a mix of sliding and single-hung vinyl windows without grids (Attachment 3). The new windows would be installed within existing openings, without increasing the size or modifying the shape of the existing windows (Attachment 4).

The Residential Design Guidelines provides the following recommendations related to window materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

• Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

4.8.2 Building Materials

• Composite, synthetic, metal, vinyl, plastic or fabricated/imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

4.8.4 Windows and Glass in doors

 Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building. PAGE **3** OF **3** SUBJECT: 15385 National Avenue/PHST-24-008 DATE: April 19, 2024

CONCLUSION:

The applicant is requesting approval for construction of exterior alterations (window and sliding door replacement) to a presumptive historic residence (pre-1941). Should the Committee find merit in the request, a recommendation would be forwarded to the Community Development Director and the project would be completed with a Building Permit. The project would not return to the Committee.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

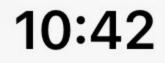
- For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.
- B. Residential Design Guidelines

Sections 3.7.3, 4.8.2, and 4.8.4 of the Town's Residential Design Guidelines offer recommendations for windows on historic resources.

ATTACHMENTS:

- 1. Photos of Existing Windows
- 2. Letter of Justification
- 3. Window Specifications
- 4. Floor Plan

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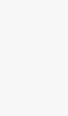
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Los Gatos - Blossom Hill Manor December 6, 2023 8:41 AM













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Los Gatos - Blossom Hill Manor December 7, 2023 11:00 AM



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• 1 5G 74

Los Gatos - Blossom Hill Manor December 7, 2023 11:00 AM Edit



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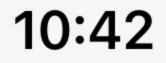








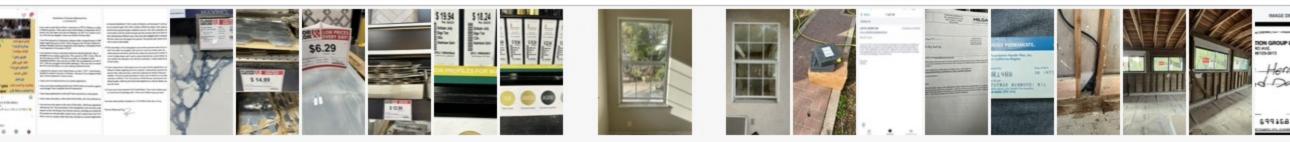






Los Gatos - Blossom Hill Manor December 14, 2023 9:44 AM





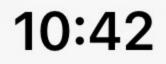








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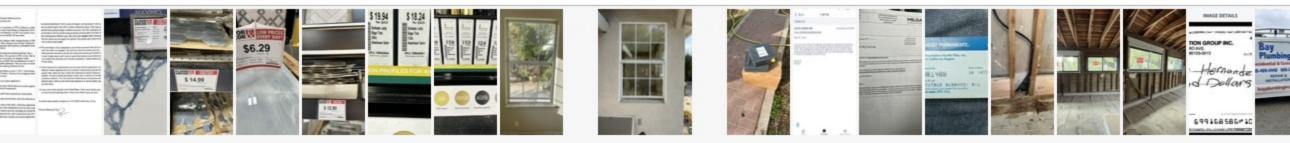


• 5G 74

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Los Gatos - Blossom Hill Manor December 14, 2023 9:45 AM



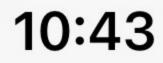














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Los Gatos - Blossom Hill Manor December 1, 2023 1:39 PM





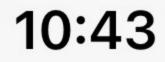














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Los Gatos - Blossom Hill Manor December 1, 2023 1:39 PM



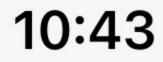














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Los Gatos - Blossom Hill Manor November 30, 2023 8:29 AM





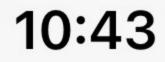








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• 1 5G 73

Los Gatos - Blossom Hill Manor November 28, 2023 9:17 AM















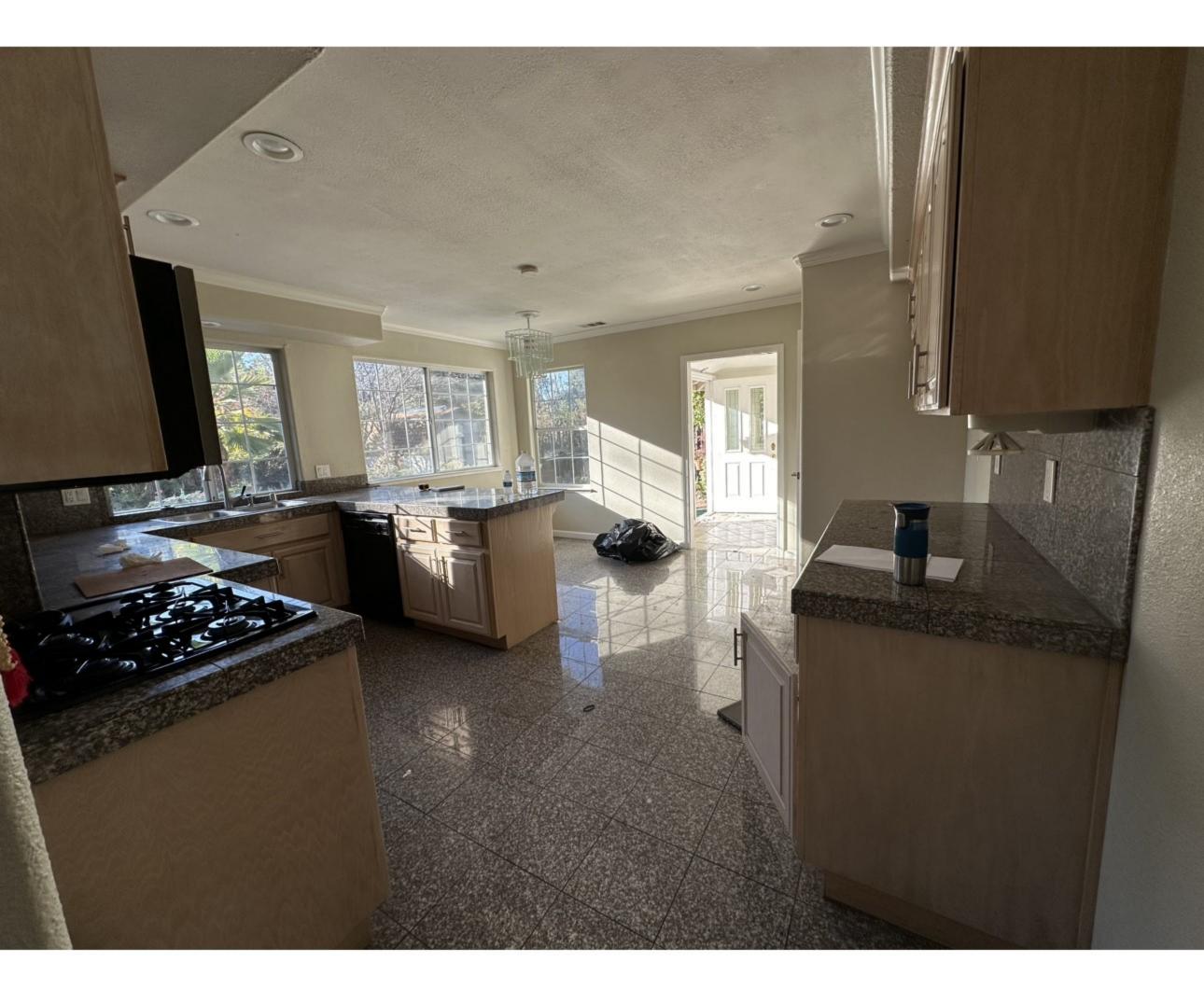






11 5G 73

Los Gatos - Blossom Hill Manor November 28, 2023 9:16 AM Edit







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11 5G 73

Los Gatos - Blossom Hill Manor November 21, 2023 4:42 PM Edit











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Dear Preservation committee

We replaced the windows (leaking, low efficiency and etc.) The old windows were aluminum except in the addition where one of them was vinyl and we replaced them with the top of the line vinyl windows from Milgard, and we think they're appropriate for the house

- The house is outside of what's called the historic district

- There's most of the windows are not visible from the street because the house is set back

- There are very three windows on the front side that two of them have been form old addition (I think the addition built between 1950 and 1970)

- The original windows were aluminum

The old window in addition was vinyl and this is clear in the pictures.

We didn't know and still do not think the house was historic

- Someone came in and replaced all the windows with aluminum windows. It was really popular at that point and there was no preservation committee.

Thank you.

Hossein Shenasa and Mojgan Moghaddam

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A WHOLESALE WINDOW CO. 891 LAURELWOOD RD # 107 SANTA CLARA, CA 95054 408-654-9410

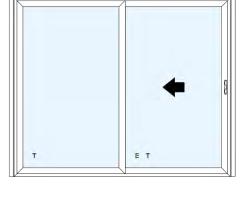


Quote Name:	Payman - Eureka Build - 15385 National Ave	Quote Number:	SQPAOE021323_1
Customer:	A Wholesale Customer	Created Date:	12/13/2023
Payment Terms:		Modified Date:	12/13/2023
Sales Representative:	Freddy Juarez Mobile:	PO Number:	
	freddy@wholesalewindowco.com	Total Windows:	17
Weighted Average:	U-Factor: .32, SHGC: .25, VT: 0.5	Total Doors:	1
		Total Sq Ft:	254.00
Comments:		Total Perim Ft:	271
		Est. Delivery:	

For warranty information please visit www.milgard.com/warranty/

Billing Information		Shipping Information
Name:	A Wholesale Customer	Name:
Address:		Address:
	, CA	,
Phone:		Phone:
Fax:		Fax:
Email:		Email:

Line:	1	Location: side patio door	
Quantity:	1	Tuscany V400, 8621T, SD2, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .21, VT: .50	\$1,393.30
		5/32" SunCoatMAX (Low-E) Tempered over 5/32" Clear Tempered	\$81.41
		Wide Z-Bar	\$120.11
		Custom Size	\$360.34
		Upgraded Screen with Fiberglass Mesh	\$47.60
		Argon Gas Filled	\$44.49
		Tariff	\$7.68
		Model = Sliding Door Two Panel Item Total:	\$2,054.93
		Size = Net Frame: 95" x 78 1/2"	\$2,054.93



Viewed From Exterior

		\$44.49 \$7.68
Model = Sliding Door Two Panel	Item Total:	\$2,054.93
Size = Net Frame: 95" x 78 1/2"	Line Total:	\$2,054.93
Handing = OX		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Energy Star Zone(s) = South Central; Southern; Meets Title 24	2019	
Glass = 5/32" SunCoatMAX (Low-E) Tempered over 5/32" Clea	r Tempered with Gray	
EdgeGardMAX Spacer		
Glazing = Dual Glaze with Argon		
Frame Accessories = Application: 3 Sided		
Hardware = SmartTouch Handle		
Other Options = Glass Breakage Warranty, Glazing Policy: Ven	t: Glazed and Panel Οι	ıt, Fixed:
Glazed and Panel In		
Screen = Upgraded with Fiberglass Mesh, Screen Ship Loose		
Ratings = STC: 33, OITC: 24, PG: LC-PG30		
Clear Opening = W 42" x H 75 1/2" Sq. Ft. 22.02, Egress: Yes		
Calculations = Unit Area (Sq. Ft.): 52, Unit Perimeter (nominal	in lineal ft): 30'	
Other Ratings = CPD: MIL-A-137-06619-00001		
Cus	stomer Approval:	

Line: 2 Location: sink		
Quantity: 1 Tuscany V400, 8920M	I KI, GW, 1 1/2" Setback, Ext White / Int White, PG: No Rating	\$1,258.00
1/8" SunCoatMAX (Lo	ow-E) over 1/8" Clear	\$42.37
Argon Gas Filled		\$14.92
Tariff		\$1.62
	Model = Garden Window Item Total:	\$1,316.91
	Size = RO: 48 1/4" x 47 1/2" Line Total:	\$1,316.91
	Net Frame: 52 1/4" x 48 5/8" Energy Star Zone(s) = None	
	Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	
	Glazing = Dual Glaze with Argon	
	Screen = Standard with Fiberglass Mesh	
	Ratings = STC: No Rating, OITC: No Rating, PG: No Rating	
	Calculations = Unit Area (Sq. Ft.): 16, Unit Perimeter (nominal in lineal ft): 18'	
Viewed From Exterior	Customer Approval:	
Line:3Location: kitchenQuantity:1Tuscany V400, 8140T,	HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$405.71
	ow-E) over 1/8" Clear	\$23.58
Wide Z-Bar		\$33.36
Argon Gas Filled		\$17.35
Tariff		\$1.62
	Model = Half Vent Item Total:	\$481.62
<u> </u>	Size = Net Frame: 67" x 43" Line Total:	\$481.62
	Handing = XO	
	Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019	
	Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon	
	Hardware = SmartTouch Lock	
	Haluwale – Sillali louch Lock	
	Other Options = Glass Breakage Warranty	
	Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh	
E	Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 29, OITC: 22, PG: LC-PG40	
E	Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 29, OITC: 22, PG: LC-PG40 Clear Opening = W 30 9/16" x H 39 9/16" Sq. Ft. 8.4, Egress: Yes	
	Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 29, OITC: 22, PG: LC-PG40	

Line:	4	Location: kitchen		
Quantity:	1	Tuscany V400, 8240T	, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$330.98
		1/8" SunCoatMAX (L	ow-E) over 1/8" Clear	\$16.46
		Wide Z-Bar		\$27.14
		Argon Gas Filled		, \$12.01
		Tariff		\$1.62
			Model = Single Hung Item Total:	\$388.20
			Size = Net Frame: 33" x 60" Line Total:	\$388.20
			Dimensions = Sash Height: One Half	
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019	
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	
			Glazing = Dual Glaze with Argon	
			Hardware = SmartTouch Lock	
			Other Options = Glass Breakage Warranty	
			Screen = Standard with Fiberglass Mesh	
			Ratings = STC: 29, OITC: 22, PG: LC-PG40 Clear Opening = W 29 9/16" x H 25 1/4" Sq. Ft. 5.18	
			Calculations = Unit Area (Sq. Ft.): 14, Unit Perimeter (nominal in lineal ft): 16'	
			Other Ratings = CPD: MIL-A-268-11492-00001	
	V	N	Other Natings - Cr D. Wile A 200 11452 00001	
	Viewed	From Exterior	Customer Approval:	
Line:	5	Location: laundry		
Quantity:	1	Tuscany V400, 8140T	, HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$266.47
		1/8" SunCoatMAX (L	ow-E) over 1/8" Clear	\$8.45
		Wide Z-Bar		\$20.02
		Argon Gas Filled		\$6.23
		Tariff		\$1.62
			Model = Half Vent Item Total:	\$302.79
			Size = Net Frame: 33" x 31" Line Total:	\$302.79
			Handing = XO	
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019	
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	
			Glazing = Dual Glaze with Argon	
			Hardware = SmartTouch Lock	
			Other Options = Glass Breakage Warranty	
			Screen = Standard with Fiberglass Mesh	
			Ratings = STC: 29, OITC: 22, PG: LC-PG40 Clear Opening = W 13 9/16" x H 27 9/16" Sq. Ft. 2.6	
			Clear Opening = W 13 9/16 X H 27 9/16 Sq. Ft. 2.6 Calculations = Unit Area (Sq. Ft.): 7, Unit Perimeter (nominal in lineal ft): 11'	
			Other Ratings = CPD: MIL-A-267-11596-00001	
	Viewood	From Exterior	Customer Approval:	
			Customer Approval	

Line: 6	Location: m bath		
Quantity: 1	-	, HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48	\$194.40
	1/8" SunCoatMAX (L	ow-E) Tempered over 1/8" P516 (Standard Obscure) Tempered	\$54.27
	Wide Z-Bar		\$13.79
	Argon Gas Filled		\$2.67
	Tariff		\$1.62
		Model = Half Vent Item Total:	\$266.76
		Size = Net Frame: 20" x 21" Line Total:	\$266.76
		Handing = XO	
		Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019	
		Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" P516 (Standard Obscure) Tel	mpered with
		Gray Foam Spacer Glazing = Dual Glaze with Argon	
		Hardware = SmartTouch Lock	
		Other Options = Glass Breakage Warranty	
то	то	Screen = Standard with Fiberglass Mesh	
		Ratings = STC: 29, OITC: 22, PG: LC-PG40	
		Clear Opening = W 7 1/16" x H 17 9/16" Sq. Ft. 0.86	
		Calculations = Unit Area (Sq. Ft.): 3, Unit Perimeter (nominal in lineal ft): 7'	
		Other Ratings = CPD: MIL-A-267-11528-00001	
Viewed Fro	om Exterior	Customer Approval:	
Line: 7	Location: m bed		
Quantity: 1	Tuscany V400, 8140T	, HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$373.24
	1/8" SunCoatMAX (L	ow-E) over 1/8" Clear	\$20.91
	Wide Z-Bar		\$29.81
	Argon Gas Filled		\$15.13
	Tariff		\$1.62
		Model = Half Vent Item Total:	\$440.70
		Size = Net Frame: 56" x 45" Line Total:	\$440.70
		Handing = XO	
		Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019	
		Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	
		Glazing = Dual Glaze with Argon	
-		Hardware = SmartTouch Lock	
		Other Options = Glass Breakage Warranty	
		Screen = Standard with Fiberglass Mesh Ratings = STC: 29, OITC: 22, PG: LC-PG40	
		Clear Opening = W 25 1/16" x H 41 9/16" Sq. Ft. 7.23, Egress: Yes	
E		Calculations = Unit Area (Sq. Ft.): 18, Unit Perimeter (nominal in lineal ft): 18'	
		Other Ratings = CPD: MIL-A-267-11596-00001	
	om Exterior	Customer Approval:	

Line:	8	Location: m bed				
Quantity:	1	Tuscany V400, 82401	r, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$330.98		
		1/8" SunCoatMAX (I	Low-E) over 1/8" Clear	\$16.46		
		Wide Z-Bar		\$27.14		
		Argon Gas Filled		\$12.01		
		Tariff		\$1.62		
			Model = Single Hung Item Total:	\$388.20		
			Size = Net Frame: 33" x 60" Line Total:	\$388.20		
			Dimensions = Sash Height: One Half			
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019			
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer			
			Glazing = Dual Glaze with Argon			
			Hardware = SmartTouch Lock			
			Other Options = Glass Breakage Warranty			
			Screen = Standard with Fiberglass Mesh			
			Ratings = STC: 29, OITC: 22, PG: LC-PG40			
			Clear Opening = W 29 9/16" x H 25 1/4" Sq. Ft. 5.18			
			Calculations = Unit Area (Sq. Ft.): 14, Unit Perimeter (nominal in lineal ft): 16'			
	Other Ratings = CPD: MIL-A-268-11492-00001					
	Viewed	From Exterior	Customer Approval:			
Line:	9	Location: m bed				
Quantity:	1	Tuscany V400, 82401	۲, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$330.98		
		1/8" SunCoatMAX (I	Low-E) over 1/8" Clear	\$16.46		
		Wide Z-Bar		\$27.14		
		Argon Gas Filled		\$12.01		
		Tariff		\$1.62		
			Model = Single Hung Item Total:	\$388.20		
			Size = Net Frame: 33" x 60" Line Total:	\$388.20		
			Dimensions = Sash Height: One Half			
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019			
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer			
			Glazing = Dual Glaze with Argon			
			Hardware = SmartTouch Lock			
			Other Options = Glass Breakage Warranty			
			Screen = Standard with Fiberglass Mesh			
			Ratings = STC: 29, OITC: 22, PG: LC-PG40			
			Clear Opening = W 29 9/16" x H 25 1/4" Sq. Ft. 5.18			
			Calculations = Unit Area (Sq. Ft.): 14, Unit Perimeter (nominal in lineal ft): 16' Other Ratings = CPD: MIL-A-268-11492-00001			

Line:	10	Location: hall bath			
Quantity:	1	Tuscany V400, 8140T,	Tuscany V400, 8140T, HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48		
		1/8" SunCoatMAX (Lo	w-E) Tempered over 1/8" P516 (Standard Obscure) Tempered	\$98.31	
		Wide Z-Bar		\$16.90	
		Argon Gas Filled		\$4.89	
		Tariff		\$1.62	
			Model = Half Vent Item Total:	\$349.50	
			Size = Net Frame: 22" x 35" Line Total:	\$349.50	
			Handing = XO		
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" P516 (Standard Obscure) T	ompored with	
			Gray Foam Spacer	empered with	
			Glazing = Dual Glaze with Argon		
			Hardware = SmartTouch Lock		
			Other Options = Glass Breakage Warranty		
			Screen = Standard with Fiberglass Mesh		
	то	то	Ratings = STC: 29, OITC: 22, PG: LC-PG40		
			Clear Opening = W 8 1/16" x H 31 9/16" Sq. Ft. 1.77		
			Calculations = Unit Area (Sq. Ft.): 6, Unit Perimeter (nominal in lineal ft): 10'		
	Viewed From Exterior		Other Ratings = CPD: MIL-A-267-11528-00001 Customer Approval: _		
Line:	11	Location: side bed			
Quantity:	1	Tuscany V400, 8140T,	HV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$352.33	
		1/8" SunCoatMAX (Lo	w-E) over 1/8" Clear	\$19.13	
		Wide Z-Bar		\$29.81	
		Argon Gas Filled		\$14.24	
		Tariff		\$1.62	
			Model = Half Vent Item Total:	\$417.12	
			Size = Net Frame: 69" x 34" Line Total:	\$417.12	
			Handing = XO		
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019		
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer		
			Glazing = Dual Glaze with Argon		
			Hardware = SmartTouch Lock Other Options = Glass Breakage Warranty		
			Screen = Standard with Fiberglass Mesh		
E			Ratings = STC: 29, OITC: 22, PG: LC-PG40		
			Clear Opening = W 31 9/16" x H 30 9/16" Sq. Ft. 6.7, Egress: Yes		
2			Calculations = Unit Area (Sq. Ft.): 17, Unit Perimeter (nominal in lineal ft): 18'		
			Other Ratings = CPD: MIL-A-267-11596-00001		
	Viewod	From Exterior	Customer Annroush		
	viewed I		Customer Approval:		

Quantity:	12	Location: front bed		\$294.50	
Quantity:	1	Tuscany V400, 8130	Tuscany V400, 8130T, HV, 1" Setback, Ext White / Int White, U-Factor: .28, SHGC: .21, VT: .46		
		1/8" SunCoatMAX (Low-E) over 1/8" Clear	\$13.79	
		Argon Gas Filled		\$10.23	
		Tariff		\$1.62	
			Model = Half Vent Item Total:	\$320.14	
		1	Size = Net Frame: 47 1/2" x 35 1/2"	\$320.14	
			Handing = OX		
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019		
		+	Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer		
			Glazing = Dual Glaze with Argon		
			Frame Accessories = Stucco Key		
			Hardware = SmartTouch Lock		
			Other Options = Glass Breakage Warranty		
			Screen = Standard with Fiberglass Mesh		
			Ratings = STC: 29, OITC: 22, PG: LC-PG40		
			Clear Opening = W 21 1/16" x H 32 1/2" Sq. Ft. 4.75		
			Calculations = Unit Area (Sq. Ft.): 12, Unit Perimeter (nominal in lineal ft): 15'		
	Other Ratings = CPD: MIL-A-224-07498-00001 Viewed From Exterior Customer Approval:				
Line: Quantity:	13 1	Location: BAY Tuscany V400, 8240T, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45			
		1/8" SunCoatMAX (Low-E) over 1/8" Clear			
		1/8" SunCoatMAX (Low-E) over 1/8" Clear	\$4.00	
		1/8" SunCoatMAX (Wide Z-Bar	Low-E) over 1/8" Clear		
		Wide Z-Bar	Low-E) over 1/8" Clear	\$14.68	
		Wide Z-Bar Argon Gas Filled	Low-E) over 1/8" Clear	\$14.68 \$3.11	
		Wide Z-Bar		\$14.68 \$3.11 \$1.62	
		Wide Z-Bar Argon Gas Filled	Model = Single Hung Item Total:	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One Half	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam SpacerGlazing = Dual Glaze with Argon	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam SpacerGlazing = Dual Glaze with ArgonHardware = SmartTouch LockOther Options = Glass Breakage WarrantyScreen = Standard with Fiberglass Mesh	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam SpacerGlazing = Dual Glaze with ArgonHardware = SmartTouch LockOther Options = Glass Breakage WarrantyScreen = Standard with Fiberglass MeshRatings = STC: 29, OITC: 22, PG: LC-PG40	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam SpacerGlazing = Dual Glaze with ArgonHardware = SmartTouch LockOther Options = Glass Breakage WarrantyScreen = Standard with Fiberglass MeshRatings = STC: 29, OITC: 22, PG: LC-PG40Clear Opening = W 10 9/16" x H 11 1/4" Sq. Ft. 0.83	\$14.68 \$3.11 \$1.62 \$236.95	
		Wide Z-Bar Argon Gas Filled	Model = Single HungItem Total:Size = Net Frame: 14" x 32"Line Total:Dimensions = Sash Height: One HalfEnergy Star Zone(s) = South Central; Southern; Meets Title 24 2019Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam SpacerGlazing = Dual Glaze with ArgonHardware = SmartTouch LockOther Options = Glass Breakage WarrantyScreen = Standard with Fiberglass MeshRatings = STC: 29, OITC: 22, PG: LC-PG40	\$4.00 \$14.68 \$3.11 \$1.62 \$236.95 \$236.95	

Line:	14	Location: BAY		
Quantity:	1 Tuscany V400, 8375T, PWR, Wide		, PWR, Wide Z-Bar, Ext White / Int White, U-Factor: .26, SHGC: .20, VT: .47	\$162.82
		1/8" SunCoatMAX (L	.ow-E) over 1/8" Clear	\$8.01
		Wide Z-Bar		\$18.68
		Argon Gas Filled		\$5.78
		Tariff		\$1.62
			Model = Slider Picture Item Total:	\$196.91
			Size = Net Frame: 29" x 32" Line Total: Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon Other Options = Glass Breakage Warranty Ratings = STC: 28, OITC: 22, PG: CW-PG50 Calculations = Unit Area (Sq. Ft.): 7, Unit Perimeter (nominal in lineal ft): 11' Other Ratings = CPD: MIL-A-235-12800-00001	\$196.91
	Viewed From Exterior		Customer Approval:	
Line:	15	Location: BAY		
Quantity:	1 Tuscany V400, 8240T, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45			\$213.53
		1/8" SunCoatMAX (Low-E) over 1/8" Clear		
		Wide Z-Bar		\$14.68
		Argon Gas Filled		\$3.11
		Tariff		\$1.62
			Model = Single Hung Item Total:	\$236.95
			Size = Net Frame: 14" x 32" Line Total:	\$236.95
			Dimensions = Sash Height: One Half	
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer	
			Glazing = Dual Glaze with Argon	
			Hardware = SmartTouch Lock	
			Other Options = Glass Breakage Warranty	
			Screen = Standard with Fiberglass Mesh	
			Ratings = STC: 29, OITC: 22, PG: LC-PG40	
			Clear Opening = W 10 9/16" x H 11 1/4" Sq. Ft. 0.83 Calculations = Unit Area (Sq. Ft.): 3, Unit Perimeter (nominal in lineal ft): 8' Other Ratings = CPD: MIL-A-268-11492-00001	
	Viewed	From Exterior	Customer Approval:	

Line:	16	Location: family						
Quantity:	1		SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$277.15				
	1/8" SunCoatMAX (Low-E) over 1/8" Clear							
		Wide Z-Bar		\$10.23 \$22.24				
		Argon Gas Filled		, \$7.56				
		Tariff		\$1.62				
			Model = Single Hung Item Total:	\$318.81				
			Size = Net Frame: 26" x 46" Line Total:	\$318.81				
			Dimensions = Sash Height: One Half					
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019					
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer					
			Glazing = Dual Glaze with Argon					
			Hardware = SmartTouch Lock					
			Other Options = Glass Breakage Warranty					
			Screen = Standard with Fiberglass Mesh Ratings = STC: 29, OITC: 22, PG: LC-PG40					
			Clear Opening = W 22 9/16" x H 18 1/4" Sq. Ft. 2.86					
			Calculations = Unit Area (Sq. Ft.): 9, Unit Perimeter (nominal in lineal ft): 13'					
			Other Ratings = CPD: MIL-A-268-11492-00001					
			C C C C C C C C C C C C C C C C C C C					
	Viewed	From Exterior	Customer Approval:					
Line:	17	Location: family						
Quantity:	1	Tuscany V400, 8140T,	DV, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45	\$612.13				
		1/8" SunCoatMAX (Lo	w-E) over 1/8" Clear	\$34.70				
		Wide Z-Bar		\$40.48				
		Argon Gas Filled		\$25.36				
		Tariff		\$1.62				
			Model = Double Vent Item Total:	\$714.29				
			Size = Net Frame: 92" x 46" Line Total:	\$714.29				
			Dimensions = Sash Width: One Quarter					
	\		Handing = XOX					
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019					
			Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon					
▶		● ●	Hardware = SmartTouch Lock					
			Other Options = Glass Breakage Warranty					
E			Screen = Standard with Fiberglass Mesh					
	V		Ratings = STC: 29, OITC: 22, PG: LC-PG25					
			Clear Opening = W 20 3/16" x H 42 9/16" Sq. Ft. 5.97, Egress: Yes					
			Calculations = Unit Area (Sq. Ft.): 30, Unit Perimeter (nominal in lineal ft): 24'					
			Other Ratings = CPD: MIL-A-267-11596-00001					
	Viewed	From Exterior	Customer Approval:					

Line:	18	Location: family						
Quantity:	r: 1 Tuscany V400, 8240T, SH, Wide Z-Bar, Ext White / Int White, U-Factor: .28, SHGC: .19, VT: .45							
		1/8" SunCoatMAX (L	ow-E) over 1/8" Clear	\$10.23				
		Wide Z-Bar		\$22.24				
		Argon Gas Filled		\$7.56				
		Tariff		\$1.62				
			Model = Single Hung Item Total:	\$318.81				
			Size = Net Frame: 26" x 46" Line Total:	\$318.81				
			Dimensions = Sash Height: One Half					
			Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer					
			Glazing = Dual Glaze with Argon					
			Hardware = SmartTouch Lock					
			Other Options = Glass Breakage Warranty					
			Screen = Standard with Fiberglass Mesh					
			Ratings = STC: 29, OITC: 22, PG: LC-PG40					
			Clear Opening = W 22 9/16" x H 18 1/4" Sq. Ft. 2.86					
			Calculations = Unit Area (Sq. Ft.): 9, Unit Perimeter (nominal in lineal ft): 13'					
			Other Ratings = CPD: MIL-A-268-11492-00001					
	Viewed	From Exterior	Customer Approval:					
Line:	19	Location: vinyl trim						
Quantity:	1	Part No: VA9900WH,	Part Desc: 2.25"TRIM QUICK W/ADHESIV-25WH	\$324.17				
			Item Total:	\$324.17				
			Line Total:	\$324.17				
	No Ima	ge Available						
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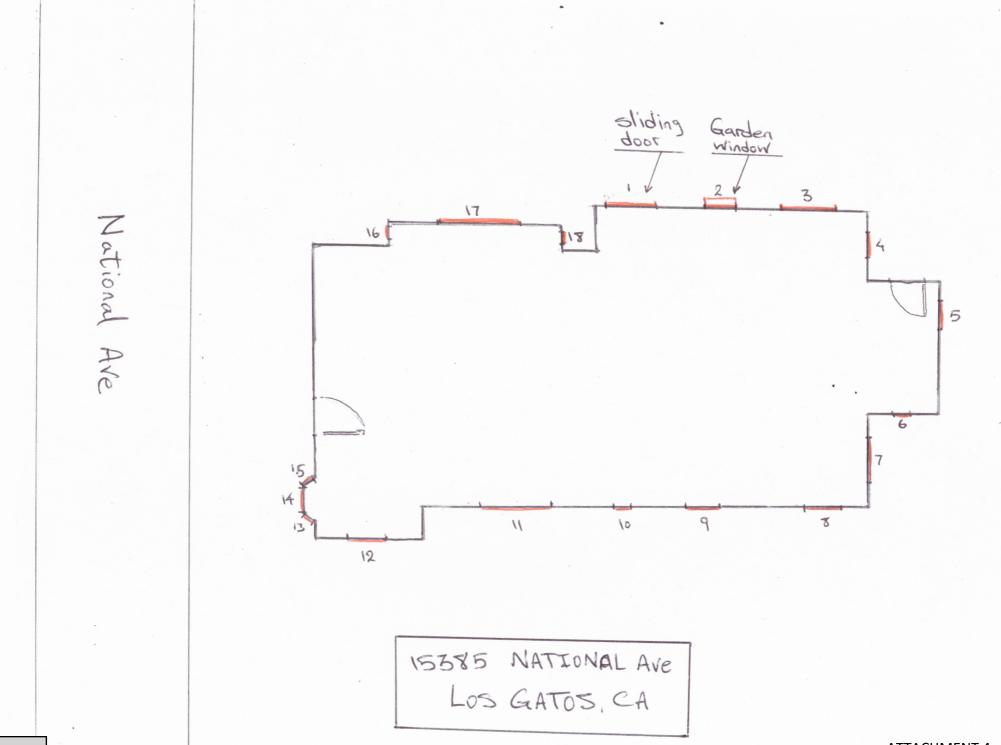




Submitted By: Accepted By:		Material Subtotal: Material Tax 9.125%: Shipping & Handling: Grand Total (USD):	\$9,461.96 \$863.40 \$300.00 \$10,625.36						
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For warranty infor	mation please visit <u>www.milgar</u>	d.com/warranty/							
manufacturing pro	Please note that actual NFRC energy values may vary from those reported in CTB Quote Plus due to variations that may occur during the manufacturing process. In most cases variations will be minimal. Please contact your Milgard location with questions or concerns regarding this potential variation.								
		e follow the Milgard Stucco Tape Guidelines 57666/stucco taping guidelines 0920.pdf.							
Handing is viewed	from outside looking in.								
ADDITIONAL INFO	RMATION:								

WE CANNOT GUARANTEE SHIP DATES. Please verify DIMENSIONS, CODES, PRODUCTS & DISCREPANCY, etc. before ordering. All Sales are Final. All Products are Custom Built and are non-refundable. Assistance must be provided for all Jobsite Deliveries. **All Items need to be picked up within 10 Business days from Ship Date or a \$150.00/week storage fee will be added. THERE WILL BE A CREDIT CARD SURCHAGE FEE OF 3%. I have Read and Agree to the Above Terms & Conditions.

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Page 149

ATTACHMENT 4

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DATE:	April 19, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Requesting Approval for Construction of Exterior Alterations (Window and Door Replacement) on a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:12. Located at 66 Ellenwood Avenue. APN 510-20-067. Request for Review PHST-24-007. Exempt Pursuant to CEQA Section 15061 (b)(3) Existing Facilities. Property Owners: John and Susan Pinkel. Applicant: Steven W. Plyler, DeMattei Construction. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for approval for construction of exterior alterations (window and door replacement) on a presumptive historic residence (pre-1941) on property zoned R-1:12 located at 66 Ellenwood Avenue.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1928 per County Assessor's Database; 1930s per Anne Bloomfield Survey
- 2. Town of Los Gatos Preliminary Historic Status Code: "+" or historic and intact or worthy of special note
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? N/A
- 5. If yes, is it a contributor? N/A
- 6. Findings required? No
- 7. Considerations required? Yes

BACKGROUND:

The subject property is located on the north side of Ellenwood Avenue approximately 335 feet from the intersection with Hernandez Avenue. The property is developed with a two-story single-family residence. The County Assessor lists that the residence was constructed in 1928

PREPARED BY: Sean Mullin, AICP Senior Planner

PAGE **2** OF **4** SUBJECT: 66 Ellenwood Avenue/PHST-24-007 DATE: April 19, 2024

BACKGROUND (continued):

and the 1990 Anne Bloomfield survey indicates a construction date of the 1930s with a preliminary rating of "+" or historic and intact or worthy of special note (Attachment 1). The building footprint shown on the Sanborn Fire Insurance Maps is consistent between 1928 and 1956 (Attachment 2).

Town records indicate that a ground-floor and second-story addition was approved through the Minor Residential Development process in 2001 (Attachment 3). The approval included a condition that all windows and doors be wood (vinyl or aluminum clad windows are not permitted); no snap in grids or grids inside the glass are permitted; and simulated wood grids are acceptable. The approved plans show that the addition was located to the rear of the residence, preserving the front façade. Additionally, the plans show that most of the windows in the portion of the residence to remain were not replaced. New wood windows and doors were installed in the addition, matching those to remain in materials and design (Attachment 4).

DISCUSSION:

The applicant is requesting approval to replace the wood windows and doors with aluminum clad wood windows and doors (Attachment 5). The applicant indicates in their Letter of Justification that the existing wood windows and doors are rotting and failing. The proposed windows and doors would match the divided lite pattern of the existing windows, utilizing simulated divided lites with a stone white exterior paint finish (Attachments 6 and 7). The new windows and doors would be installed within existing openings, without increasing the size or modifying the shape of the existing windows or doors.

The Residential Design Guidelines provides the following recommendations related to window materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

• Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

PAGE **3** OF **4** SUBJECT: 66 Ellenwood Avenue/PHST-24-007 DATE: April 19, 2024

DISCUSSION (continued):

4.8.2 Building Materials

 Composite, synthetic, metal, vinyl, plastic or fabricated/imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

4.8.4 Windows and Glass in doors

 Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

CONCLUSION:

The applicant is requesting approval for construction of exterior alterations (window and door replacement) to a presumptive historic residence (pre-1941). Should the Committee find merit in the request, a recommendation would be forwarded to the Community Development Director and the project would be completed with a Building Permit. The project would not return to the Committee.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

PAGE **4** OF **4** SUBJECT: 66 Ellenwood Avenue/PHST-24-007 DATE: April 19, 2024

CONSIDERATIONS (continued):

B. Residential Design Guidelines

Sections 3.7.3, 4.8.2, and 4.8.4 of the Town's Residential Design Guidelines offer recommendations for windows on historic resources.

ATTACHMENTS:

- 1. 1990 Anne Bloomfield Survey
- 2. Sanborn Exhibit
- 3. 2000 Plans
- 4. Exterior Photos
- 5. Letter of Justification
- 6. Proposed Window Photo
- 7. Window Specifications

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Anne Bloomfield ARCHITECTURAL/CULTURAL SURVEY NAME RESEARCH

Name (person, building, organization, etc)

Addresses associated with Name_

Relevant dates: construction____

. birth____. death____. other

Ϊ.	DIRECT	ORY SEARCH (City Direct	pries, County Directories, Telephone Books, society directories, etc.)
Year	BOOK	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
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			Index (green boxes) Photo collection
	T	hompson & West, 187	6 (bio index)
	P	en Pictures, 1888 (bio index)

Sunshine Fruit & Flowers, 1895 (bio index) Guinn, 1904 (bio index) San Jose Historical Museum: Great Registers (of voters) Sawyer, 1922 (bio index) Bruntz, Hist'y of LG, 1971 (bio index) Indexes Photo collection Extended index to Bruntz Bio index of Munroe Frazer, 1881 (Survey box) Other sources: Photo collection (2 boxes) Indexes, California Historical Quarterly State Library Information Index (fiche) Los Gatos Museum (Forbes Mill): V Death records by year State Library-S.F. Newspaper Index (") Funeral records (index cards to big books) Photo collection

1934 RURAL BIRECTORY LISTS 11 11 P.O BOX

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person). 1925 AURAL DIRECTORY LISTS JB. Robust of 68 ELLENWOOD

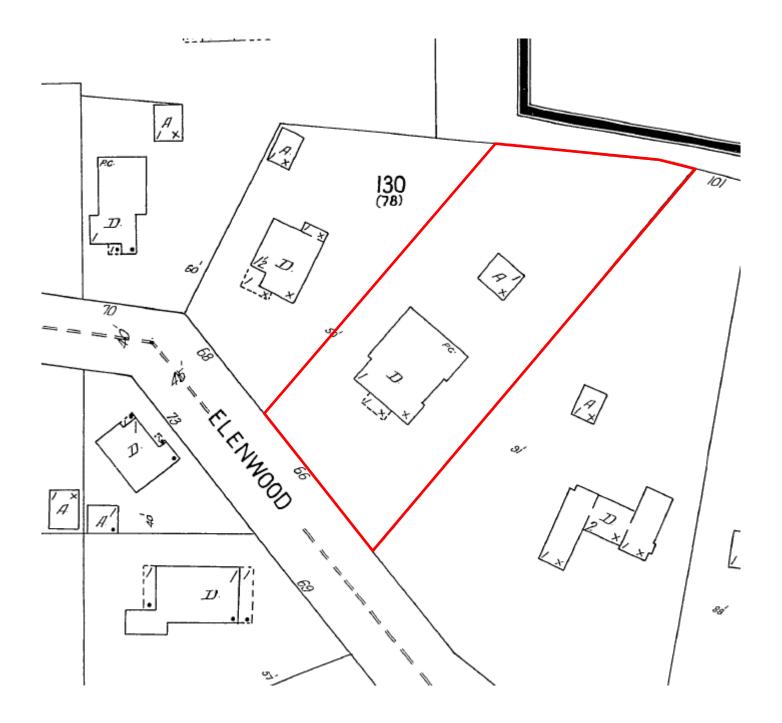
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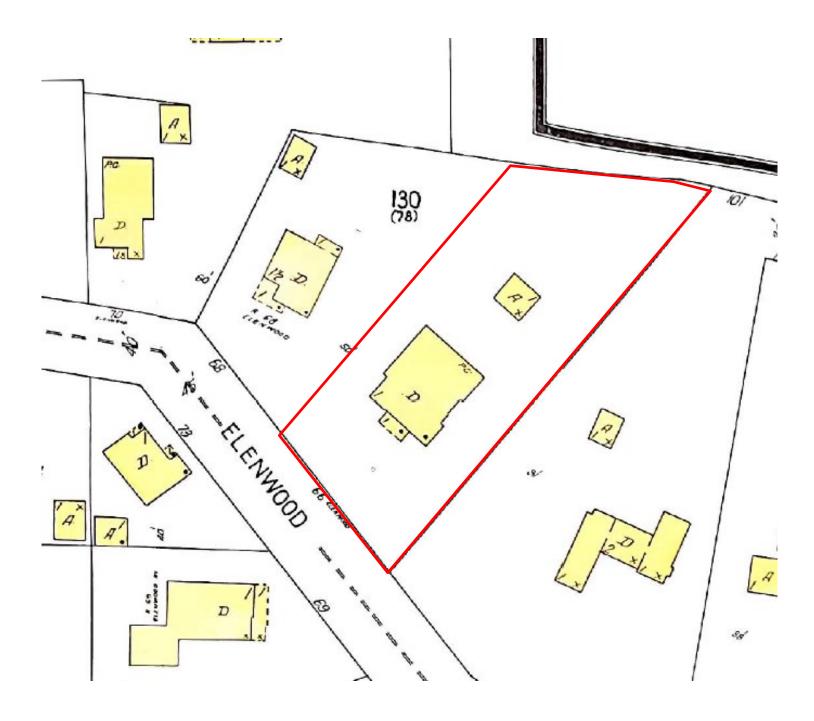
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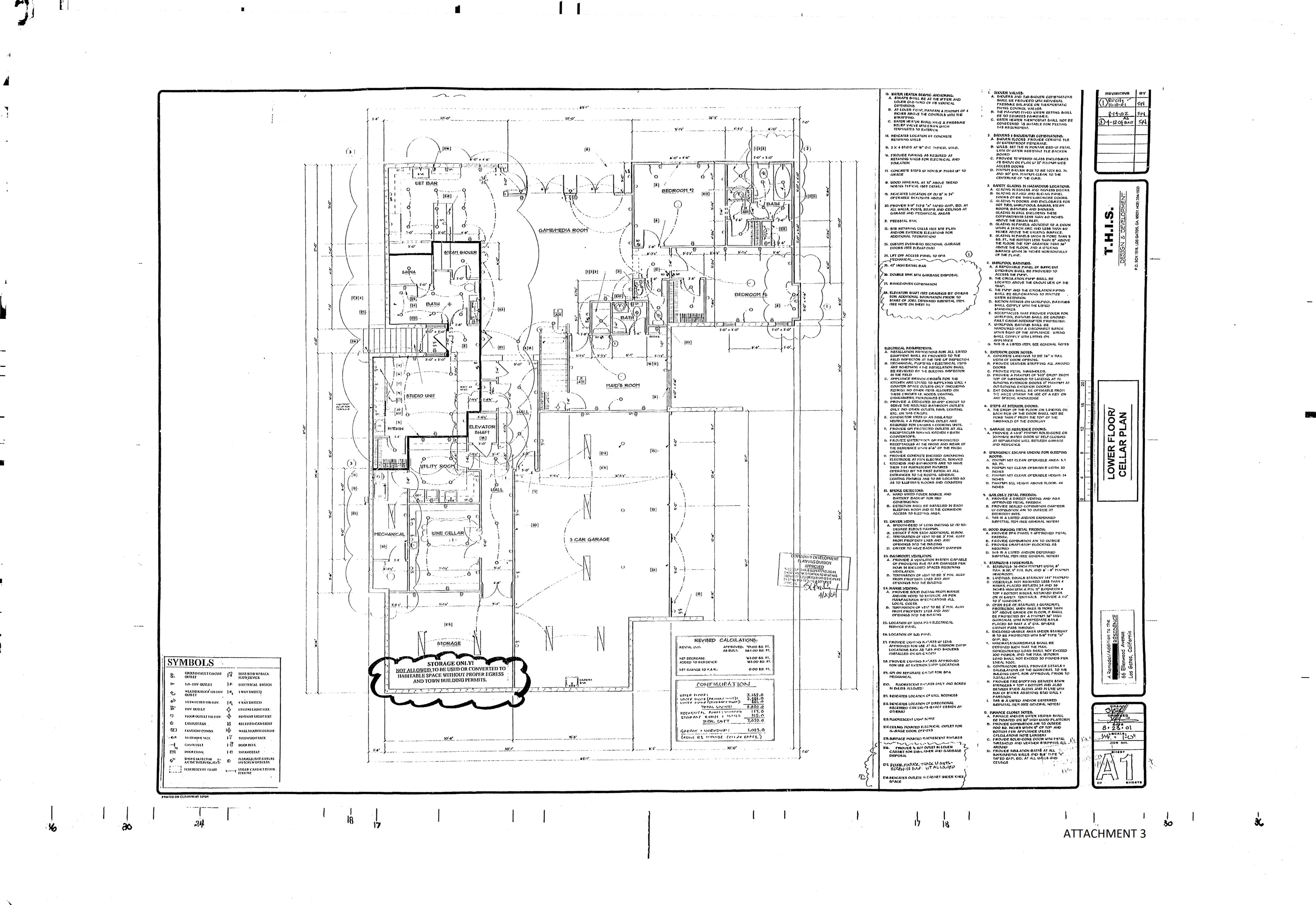
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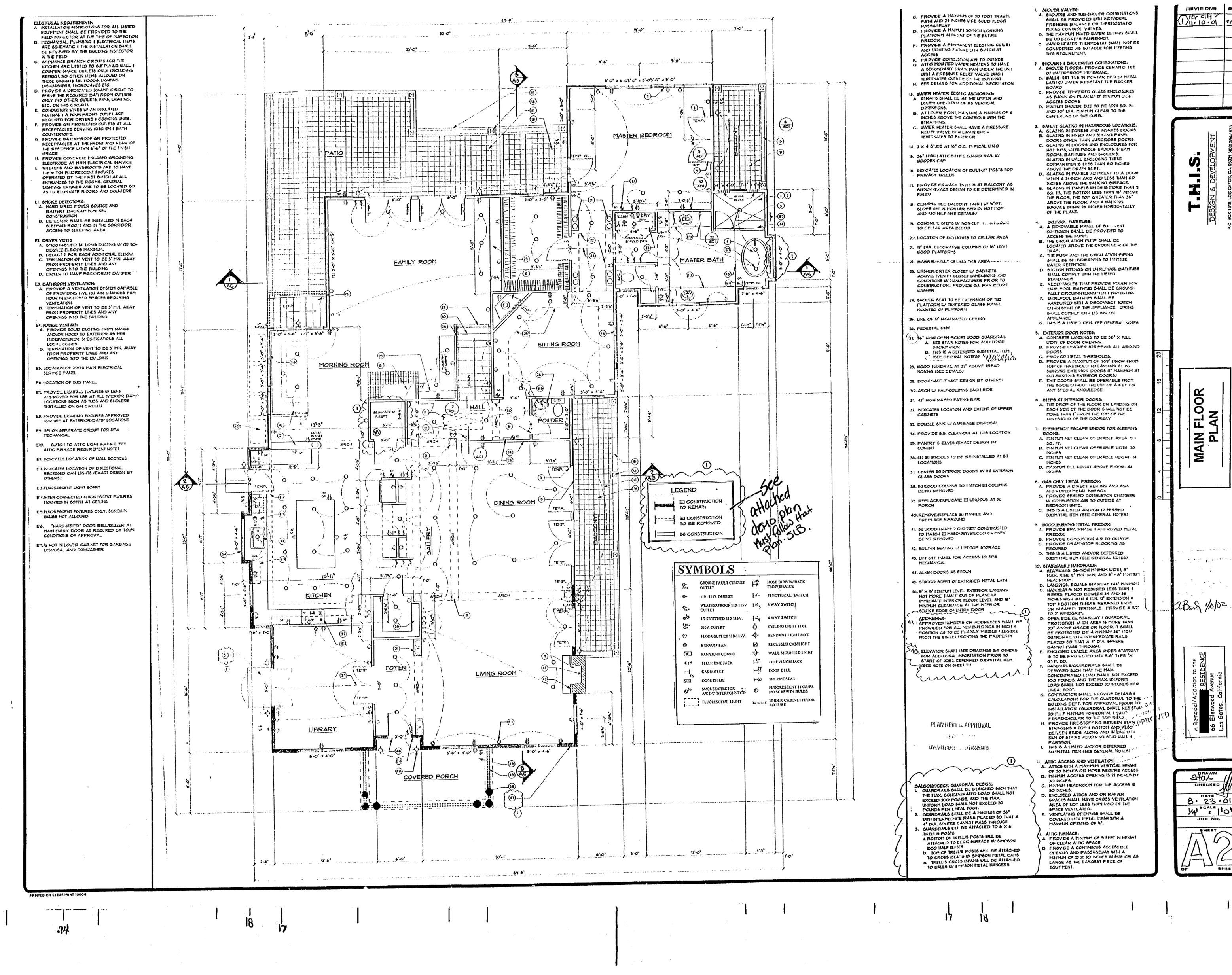
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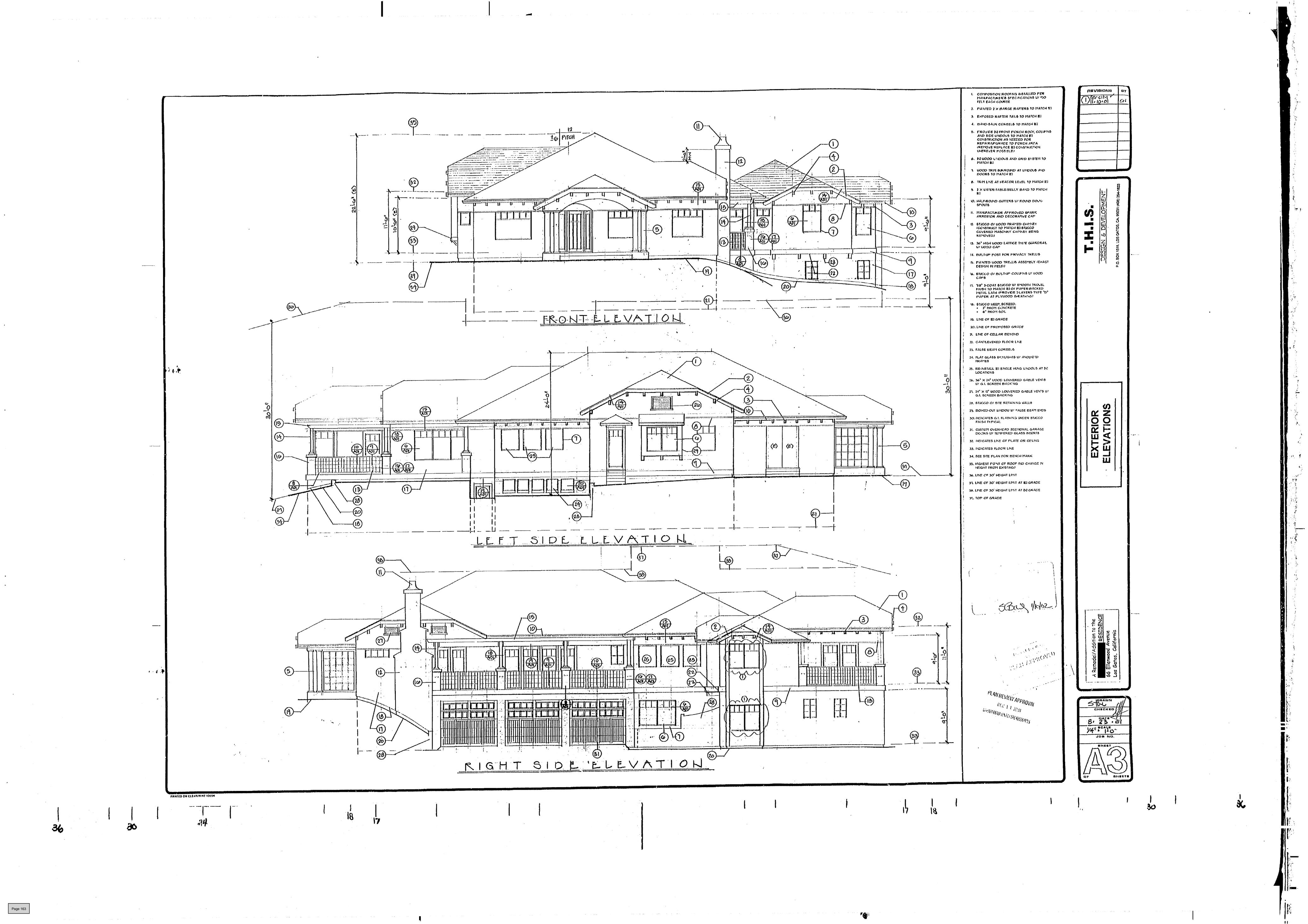


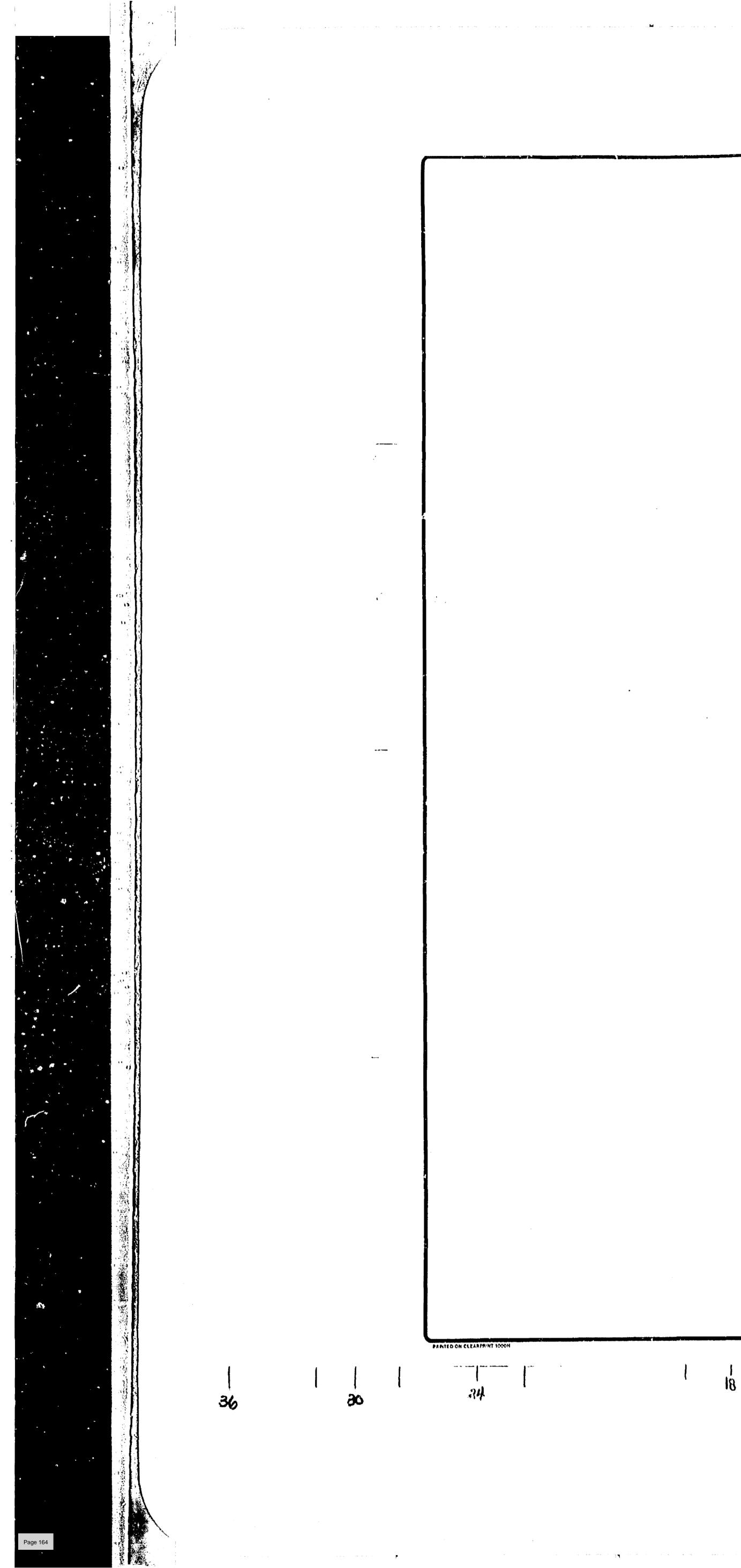
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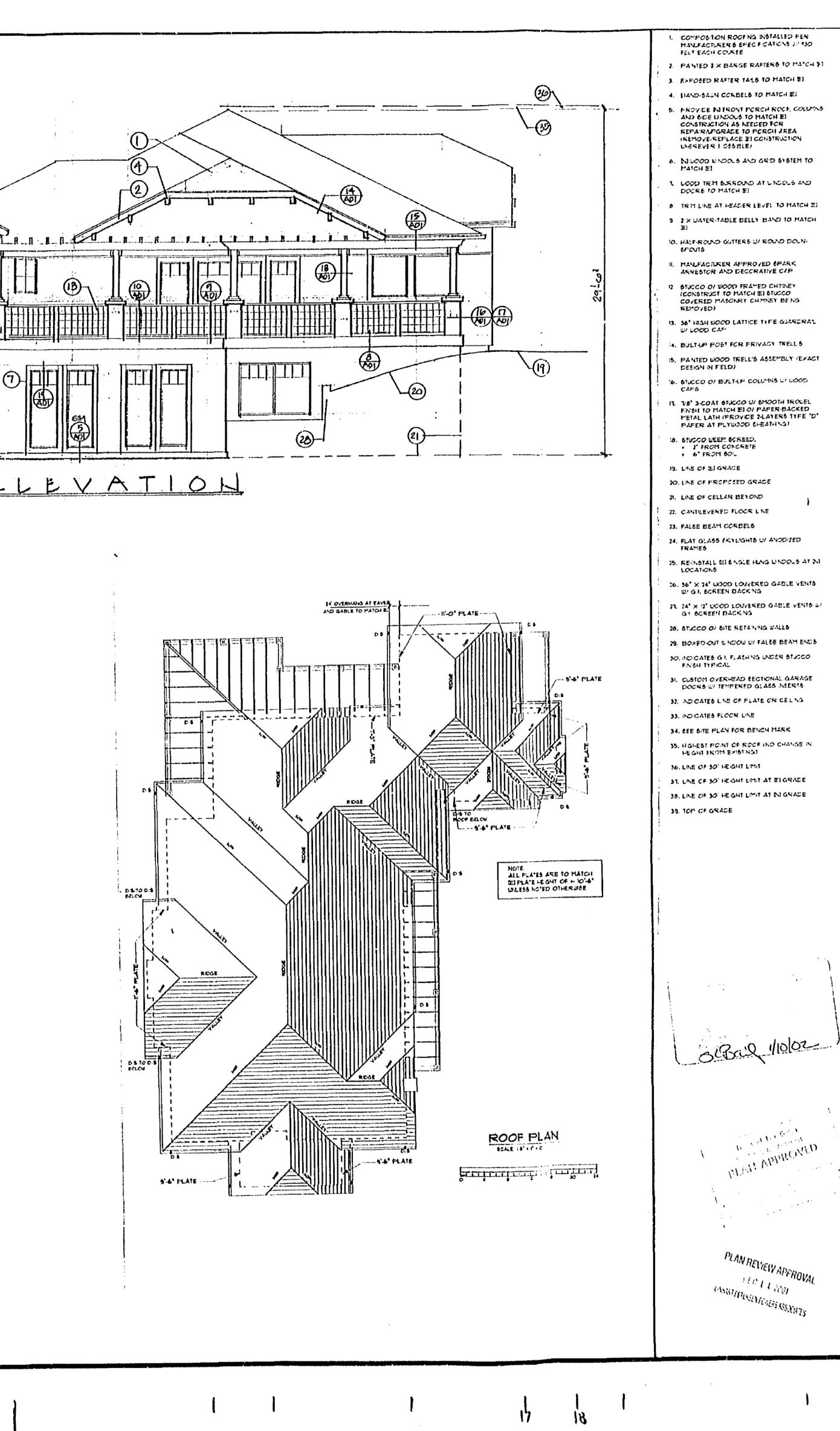
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Sean Mullin, Senior Planner Town of Los Gatos 110 E Main St. Los Gatos, CA 95031



Application Number: PRE24-00304 Project Name: Pinkel Residence Window Replacement Project Address: 66 Ellenwood Ave. Date: 04/17/2024 Window Replacement Letter of Justification.

Sean,

The purpose of this letter is to justify the homeowners' request to replace all the homes wood windows with clad, period accurate windows. The current wood windows are rotting & failing.

The intent is to replace the windows with a clad product that will last longer and is more energy efficient. The windows will be custom made to accurately match the existing style, color, and grid pattern. Any trim, molding, or other materials removed during installation will be retained and re-installed or replaced with like materials.

Please feel free to contact me with any questions.

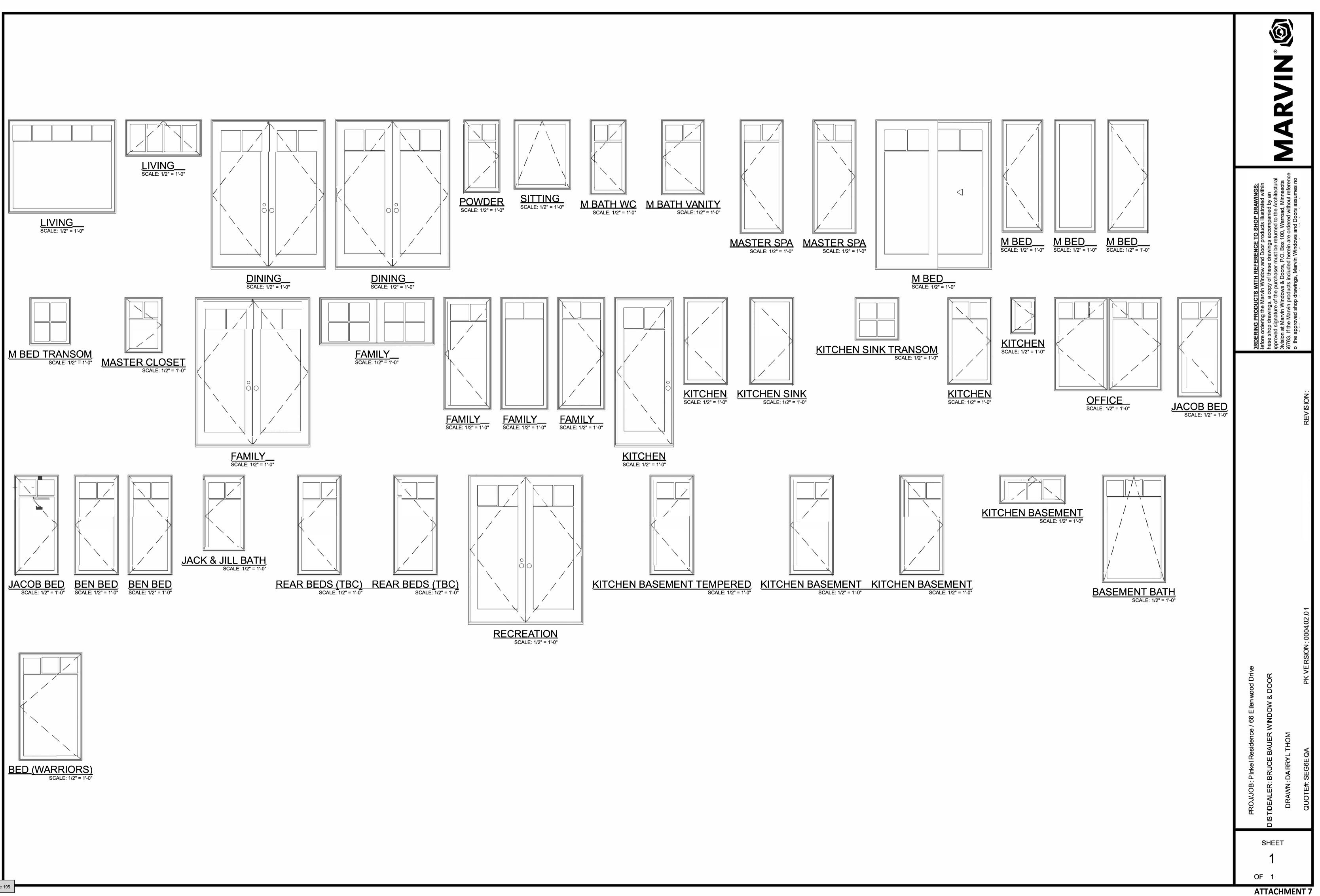
Thank You, Jim Whitney De Mattei Construction 408-350-4200 This Page Intentionally Left Blank



new window image

Page 193

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Residence 66 Ellenwood Drive

Quote #: SEG6EQA

A Proposal for Window and Door Products prepared for: Job Site: 94040

Shipping Address: BRUCE BAUER WINDOW & DOOR 134 SAN ANTONIO CIR MOUNTAIN VIEW, CA 94040-1207



DARRYL THOM BRUCE BAUER WINDOW & DOOR 134 SAN ANTONIO CIR MOUNTAIN VIEW, CA 94040-1207 Phone: (650) 948-1089 Fax: (650) 948-1483 Email: darryl@brucebauer.com

This report was generated on 3/21/2024 6:29:15 AM using the Marvin Order Management System, version 0004.02.01 (Old). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Project Description:

residence 66 Ellenwood Drive Los Gatos.

Featuring products from:

MARVIN[®]

UNIT SUMMARY

NUMBER OF LINES: 42

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

TOTAL UNIT QTY: 62

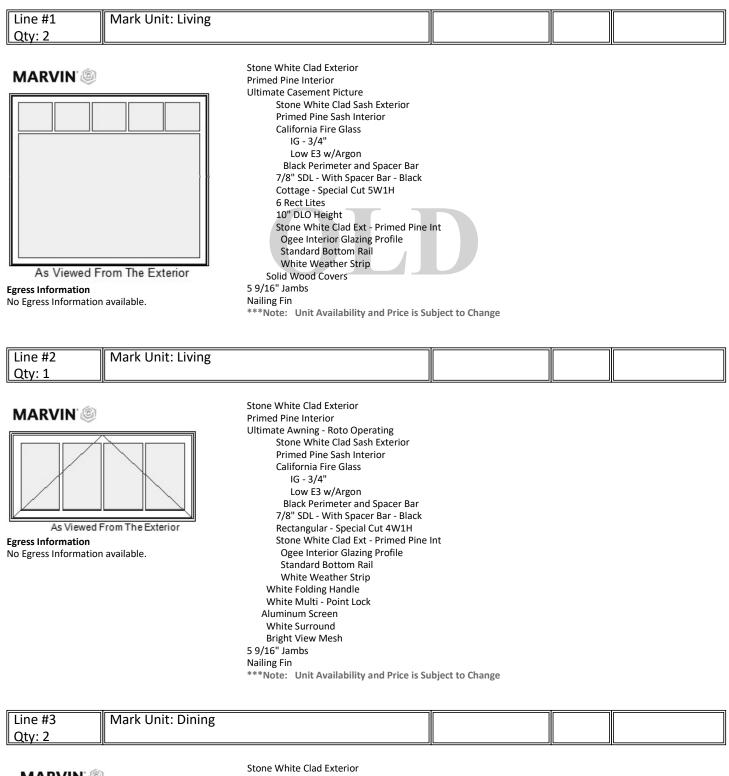
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	3	Dining	Ultimate	Outswing French Door G2	2	
	4	Dining	Ultimate	Outswing French Door G2	1	
	5	Powder	Ultimate	Casement	1	
	6	Sitting	Ultimate	Awning	4	
	7	M bath WC	Ultimate	Casement	1	
	8	M bath vanity	Ultimate	Casement	1	
	9	Master spa	Ultimate	Casement	2	
3	10	Master spa	Ultimate	Casement	1	
2	11	M bed	Ultimate	Sliding French Door Pre 2/26/2024	2	
	12	M bed	Ultimate	Casement	1	
	13	M bed	Ultimate	Casement	1	
×	14	M bed	Ultimate	Casement	1	
G	15	M bed transom	Ultimate	Casement	3	
	16	Master closet	Ultimate	Casement	1	
	17	Family	Ultimate	Outswing French Door G2	2	
3	18	Family	Ultimate	Outswing French Door Transom G2	2	
4	19	Family	Ultimate	Casement	1	
	20	Family	Ultimate	Casement	1	
	21	Family	Ultimate	Casement	1	
	22	Kitchen	Ultimate	Inswing French Door G2	1	
	23	Kitchen	Ultimate	Casement	1	
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	26	Kitchen	Ultimate	Casement	1	
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Page 197 0004.02.01 (Old)

27	Kitchen	Ultimate	Casement	1
28	Office	Ultimate	Marvin Assembly	1
29	Jacob bed	Ultimate	Casement	1
30	Jacob bed	Ultimate	Casement	1
31	Ben bed	Ultimate	Casement	2
32	Ben bed	Ultimate	Casement	2
33	Jack & Jill bath	Ultimate	Casement	1
34	Rear beds (TBC)	Ultimate	Casement	3
35	Rear beds (TBC)	Ultimate	Casement	3
36	Recreation	Ultimate	Outswing French Door G2	2
37	Kitchen basement	Ultimate	Casement	1
38	Tempered Kitchen basement	Ultimate	Casement	1
39	Kitchen basement	Ultimate	Casement	1
40	Kitchen basement	Ultimate	Awning	2
41	Basement bath	Ultimate	Awning	1
42	Bed (Warriors)	Ultimate	Casement	1

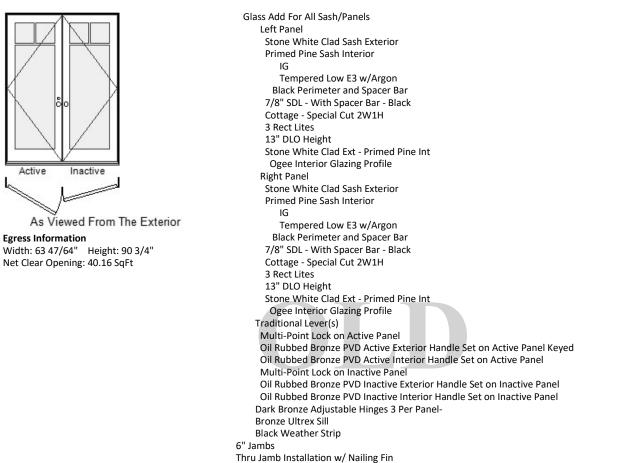
LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.



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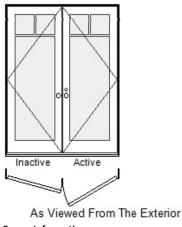
Primed Pine Interior Ultimate Outswing French Door G2 4 9/16" - XX Right Hand



***Note: Unit Availability and Price is Subject to Change

Line #4 Mark Unit: Dining Qty: 1			
-------------------------------------	--	--	--

MARVIN 🗐



Egress Information Width: 63 47/64" Height: 90 3/4"

Net Clear Opening: 40.16 SqFt

```
Stone White Clad Exterior
Primed Pine Interior
Ultimate Outswing French Door G2 4 9/16" - XX Left Hand
  Glass Add For All Sash/Panels
     Left Panel
      Stone White Clad Sash Exterior
      Primed Pine Sash Interior
          IG
         Tempered Low E3 w/Argon
        Black Perimeter and Spacer Bar
      7/8" SDL - With Spacer Bar - Black
      Cottage - Special Cut 2W1H
      3 Rect Lites
      13" DLO Height
      Stone White Clad Ext - Primed Pine Int
       Ogee Interior Glazing Profile
     Right Panel
      Stone White Clad Sash Exterior
      Primed Pine Sash Interior
          IG
          Tempered Low E3 w/Argon
        Black Perimeter and Spacer Bar
      7/8" SDL - With Spacer Bar - Black
      Cottage - Special Cut 2W1H
      3 Rect Lites
      13" DLO Height
      Stone White Clad Ext - Primed Pine Int
       Ogee Interior Glazing Profile
```

Traditional Lever(s)

Multi-Point Lock on Active Panel

- Oil Rubbed Bronze PVD Active Exterior Handle Set on Active Panel Keyed
- Oil Rubbed Bronze PVD Active Interior Handle Set on Active Panel
- Multi-Point Lock on Inactive Panel
- Oil Rubbed Bronze PVD Inactive Exterior Handle Set on Inactive Panel
- Oil Rubbed Bronze PVD Inactive Interior Handle Set on Inactive Panel
- Dark Bronze Adjustable Hinges 3 Per Panel-
- Bronze Ultrex Sill
- Black Weather Strip

6" Jambs

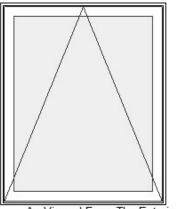
Thru Jamb Installation w/ Nailing Fin

***Note: Unit Availability and Price is Subject to Change

Line #5	Mark Unit: Powder			
Qty: 1	From The Exterior Height: 40 57/64"	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen White Surround Bright View Mesh 5 9/16" Jambs Nailing Fin ***Note: Unit Availability and Price is St		

Line #6	Mark Unit: Sitting		
Qty: 4			

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Stone White Clad Exterior **Primed Pine Interior** Ultimate Awning - Roto Operating Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" - 1 Lite Low E3 w/Argon Black Perimeter Bar Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to Change

As Viewed From The Exterior

Page 201 0004.02.01 (Old)

Egress Information

No Egress Information available.

Mark Unit: M bath WC Line #7 Qty: 1 Stone White Clad Exterior MARVIN[®] **Primed Pine Interior** Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock **Aluminum Screen** As Viewed From The Exterior White Surround **Egress Information Bright View Mesh** Width: 15 57/64" Height: 42 25/64" 6 11/16" Jambs Net Clear Opening: 4.68 SqFt **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change Line #8 Mark Unit: M bath vanity Qty: 1 Stone White Clad Exterior MARVIN[®] **Primed Pine Interior** Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock As Viewed From The Exterior **Aluminum Screen** White Surround **Egress Information Bright View Mesh** Width: 20 25/64" Height: 42 25/64" 6 11/16" Jambs Net Clear Opening: 6.00 SqFt Nailing Fin ***Note: Unit Availability and Price is Subject to Change

Line #9	Mark Unit: Master spa		
Qty: 2			





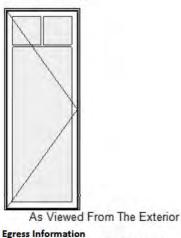
As Viewed From The Exterior

Egress Information Width: 20 25/64" Height: 66 57/64" Net Clear Opening: 9.47 SqFt Stone White Clad Exterior **Primed Pine Interior** Ultimate Casement - Left Hand Stone White Clad Sash Exterior **Primed Pine Sash Interior** IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H **3 Rect Lites** 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround **Bright View Mesh** 6 11/16" Jambs **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change

Line #10	Mark Unit: Master spa		
Qty: 1			

Stone White Clad Exterior

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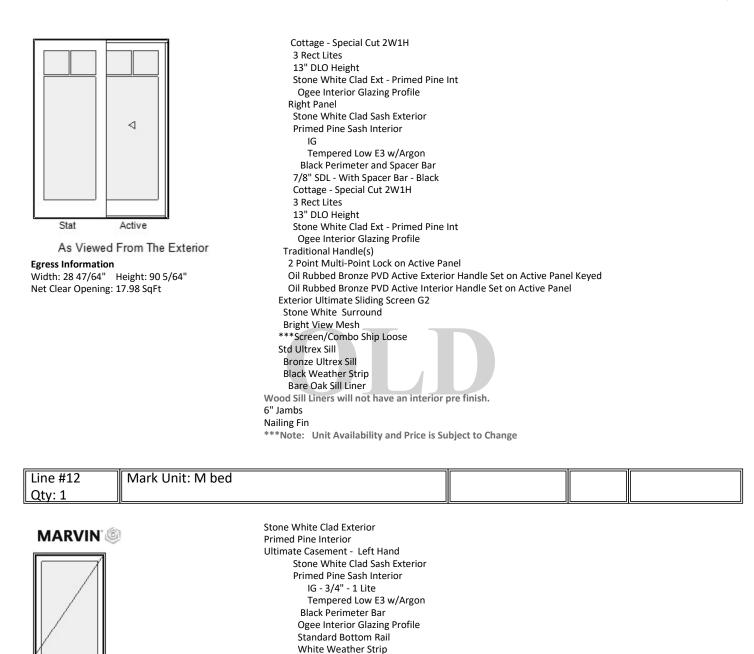


Width: 20 25/64" Height: 66 57/64"

Net Clear Opening: 9.47 SqFt

Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior **Primed Pine Sash Interior** IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround **Bright View Mesh** 6 11/16" Jambs **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change

Line #11 Qty: 2	Mark Unit: M bed			
MARVIN	6	Stone White Clad Exterior Primed Pine Interior Ultimate Sliding French Door Pre 2/ Glass Add For All Sash/Panels Left Panel Stone White Clad Sash Exter Primed Pine Sash Interior IG Tempered Low E3 w/Arg Black Perimeter and Space 7/8" SDL - With Spacer Bar -	ior on r Bar	
		NAME OF A DESCRIPTION OF A	DIACK	



As Viewed From The Exterior Egress Information

Width: 18 57/64" Height: 66 1/64" Net Clear Opening: 8.66 SqFt

Line #13 Mark Unit: M bed
Qty: 1

***Note: Unit Availability and Price is Subject to Change

MARVIN 🗐

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Stationary

White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh

6 11/16" Jambs Nailing Fin

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Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" - 1 Lite Tempered Low E3 w/Argon Black Perimeter Bar **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip Solid Wood Covers 6 11/16" Jambs **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change

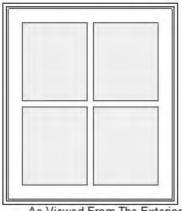
As Viewed From The Exterior

Egress Information No Egress Information available.

Line #14 Mark Ur Qty: 1	it: M bed	
MARVIN (6) As Viewed From The E	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" - 1 Lite Tempered Low E3 w/Argon Black Perimeter Bar Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to	o Change

Width: 18 57/64" Height: 66 1/64" Net Clear Opening: 8.66 SqFt

Line #15 Qty: 3	Mark Unit: M bed transom	
MARVIN	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Stationary Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Rectangular - Special Cut 2W2H Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip Solid Wood Covers	
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6 11/16" Jambs **Nailing Fin**

***Note: Unit Availability and Price is Subject to Change

As Viewed From The Exterior

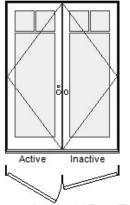
Egress Information

No Egress Information available.

Line #16 Qty: 1	Mark Unit: Master o	loset		
Egress Informatio	ed From The Exterior	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subjects		
Line #17 Qty: 2	Mark Unit: Family		· · · · · · · · · · · · · · · · · · ·	

MARVIN

Primed Pine Interior Ultimate Outswing French Door G2 4 9/16" - XX Right Hand Glass Add For All Sash/Panels Left Panel Stone White Clad Sash Exterior **Primed Pine Sash Interior** IG Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H **3** Rect Lites 13" DLO Height



As Viewed From The Exterior

Egress Information Width: 63 47/64" Height: 90 3/4" Net Clear Opening: 40.16 SqFt

Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Right Panel Stone White Clad Sash Exterior Primed Pine Sash Interior IG Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 13" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Traditional Lever(s) Multi-Point Lock on Active Panel Oil Rubbed Bronze PVD Active Exterior Handle Set on Active Panel Keyed Oil Rubbed Bronze PVD Active Interior Handle Set on Active Panel Multi-Point Lock on Inactive Panel Oil Rubbed Bronze PVD Inactive Exterior Handle Set on Inactive Panel Oil Rubbed Bronze PVD Inactive Interior Handle Set on Inactive Panel Dark Bronze Adjustable Hinges 3 Per Panel-Bronze Ultrex Sill Black Weather Strip 6" Jambs Thru Jamb Installation w/ Nailing Fin ***Note: Unit Availability and Price is Subject to Change

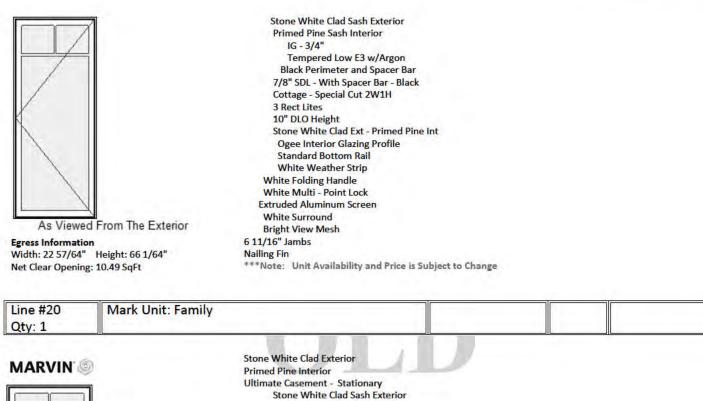
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Line #19	Mark Unit: Family		
Qty: 1			

MARVIN[®]

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand

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Ultimate Casement - Stationary
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Tempered Low E3 w/Argon
Black Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Black
Cottage - Special Cut 2W1H
3 Rect Lites
10" DLO Height
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
White Weather Strip
Solid Wood Covers
6 11/16" Jambs
Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Egress Information

No Egress Information available.

Line #21 Qty: 1	Mark Unit: Family			
MARVIN		Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip		
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As Viewed From The Exterior

Egress Information Width: 22 57/64" Height: 66 1/64" Net Clear Opening: 10.49 SqFt

Line #22 Qty: 1	Mark Unit: Kitchen			
Egress Informati	ed From The Exterior ion Height: 90 27/32"	Stone White Clad Exterior Primed Pine Interior Ultimate Inswing French Door G2 4 9/16" - X Left Han Glass Add For All Sash/Panels Stone White Clad Sash Exterior Primed Pine Sash Interior IG Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 13" DLO Height Stone White Clad Ext - Primed Pine Int Oge Interior Glazing Profile Traditional Lever(s) Multi-Point Lock on Active Panel Oil Rubbed Bronze PVD Active Exterior Handle S Oil Rubbed Bronze PVD Active Interior Handle S Dark Bronze Adjustable Hinges 3 Per Panel- Bronze Ultrex Sill Black Weather Strip 6" Jambs Thru Jamb Installation w/ Nailing Fin ****Note: Because of the jamb extension, this door m degrees.	Set on Active Panel Keyed et on Active Panel ay not open beyond 90	
Line #23 Qty: 1	Mark Unit: Kitchen			

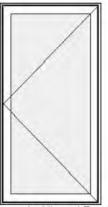
White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh

***Note: Unit Availability and Price is Subject to Change

6 11/16" Jambs Nailing Fin

MARVIN @

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" - 1 Lite Low E3 w/Argon Black Perimeter Bar Ogee Interior Glazing Profile Standard Bottom Rail



As Viewed From The Exterior

Egress Information Width: 20 57/64" Height: 50 1/64" Net Clear Opening: 7.25 SqFt

Line #24 Qty: 1	Mark Unit: Kitchen sink		
MARVIN () As Viewed F Egress Information Width: 20 57/64" H	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" - 1 Lite Low E3 w/Argon Black Perimeter Bar Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ****Note: Unit Availability and Price is Subject to Cha	inge	

White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh

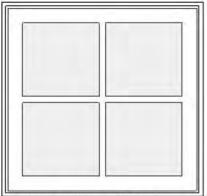
***Note: Unit Availability and Price is Subject to Change

6 11/16" Jambs Nailing Fin

	Line #25 Qty: 2	Mark Unit: Kitchen sink transom			
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MARVIN 🥘

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Stationary Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Rectangular - Special Cut 2W2H Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip



Solid Wood Covers 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to Change

As Viewed From The Exterior

Egress Information

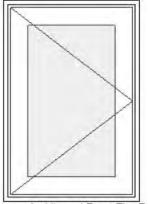
No Egress Information available.

Line #26 Qty: 1	Mark Unit: Kitchen			
Egress Informati	ed From The Exterior	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Back Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ****Note: Unit Availability and Price is Subject to Chard	nge	
Line #27 Qty: 1	Mark Unit: Kitchen			

MARVIN @

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" - 1 Lite Low E3 w/Argon Black Perimeter Bar Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen

Pinkel Residence 66 Ellenwood Drive Quote Number: SEG6EQA



As Viewed From The Exterior

Egress Information Width: 6 13/32" Height: 18 1/64" Net Clear Opening: 0.80 SqFt

Line #28 Qty: 1	Mark Unit: Office	
		The second secon

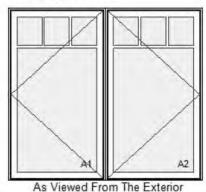
***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and

White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin

UCANF PO units with frame width less than 20".

***Note: Unit Availability and Price is Subject to Change

MARVIN @



Egress Information A1, A2 Width: 26 57/64" Height: 54 1/64" Net Clear Opening: 10.09 SqFt Stone White Clad Exterior **Primed Pine Interior** 2W1H - Rectangle Assembly Ultimate Casement - Left Hand Stone White Clad Sash Exterior **Primed Pine Sash Interior** California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 3W1H **4** Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround **Bright View Mesh** Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior **California Fire Glass** IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 3W1H **4 Rect Lites** 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock **Extruded Aluminum Screen** White Surround

5 1/4" Jambs

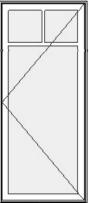
Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Unit Availability and Price is Subject to Change

Line #29	Mark Unit: Jacob bed		
Qty: 1			

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As Viewed From The Exterior

Egress Information Width: 20 57/64" Height: 58 1/64" Net Clear Opening: 8.42 SqFt Stone White Clad Exterior **Primed Pine Interior** Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to Change

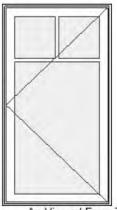
Line #30	Mark Unit: Jacob bed			
Qty: 1				
	L		J[]	<u> </u>
		Stone White Clad Exterior		
MARVIN [®]]	Primed Pine Interior		
		Ultimate Casement - Right Hand		
		Stone White Clad Sash Exterior		
		Primed Pine Sash Interior		
		California Fire Glass		
		IG - 3/4"		
		Low E3 w/Argon		
		Black Perimeter and Spacer Bar		
		7/8" SDL - With Spacer Bar - Black		
D		Cottage - Special Cut 2W1H		
		3 Rect Lites		
		10" DLO Height Stone White Clad Ext - Primed Pine	Int	
		Ogee Interior Glazing Profile	int	
		Standard Bottom Rail		
		White Weather Strip		
		White Folding Handle		
		White Multi - Point Lock		
As Viewed	From The Exterior	Extruded Aluminum Screen		
Egress Information		White Surround		
Width: 20 57/64"	leight: 58 1/64"	Bright View Mesh		
Net Clear Opening: 8		6 11/16" Jambs		
the clear opening. e		Nailing Fin		
		***Note: Unit Availability and Price is So	ubject to Change	

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Line #31	Mark Unit: Ben bed			
Qty: 2				
MARVIN () () () () () () () () () ()	From The Exterior Height: 58 1/64"	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Sur	D	
Line #32	Mark Init: Dan had		·	
	Mark Unit: Ben bed			
Qty: 2				
MARVIN (*) A Viewed R As Viewed R Egress Information Width: 20 57/64" + Net Clear Opening: 8	From The Exterior Height: 58 1/64"	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Sur		
Line #33	Mark Unit: Jack & Jill I	bath		
Qty: 1				

MARVIN[®]

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand



As Viewed From The Exterior Egress Information Width: 19 25/64" Height: 42 57/64" Net Clear Opening: 5.77 SqFt

Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H **3 Rect Lites** 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen White Surround **Bright View Mesh** 6 11/16" Jambs **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change

Line #34 Qty: 3	Mark Unit: Rear beds (TBC)			
MARVIN MARVIN MARVIN Marking Markin	Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pir Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock From The Exterior Height: 58 1/64" 6 111/16" lambs	k ne Int		

Line #35 Qty: 3	Mark Unit: Rea	r beds (TBC)	
MARVIN	9	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites	
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-aye 210	a second s	duct warranty information please visit, www.marvin.com/support/warran	ity.



As Viewed From The Exterior

Egress Information Width: 20 57/64" Height: 58 1/64" Net Clear Opening: 8.42 SqFt

Line #36 Mark Unit: Recreation Qty: 2 Stone White Clad Exterior MARVIN (**Primed Pine Interior** Ultimate Outswing French Door G2 4 9/16" - XX Right Hand Glass Add For All Sash/Panels Left Panel Stone White Clad Sash Exterior Primed Pine Sash Interior IG Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H **3 Rect Lites** 13" DLO Height Stone White Clad Ext - Primed Pine Int Active **Ogee Interior Glazing Profile** Inactive **Right Panel** Stone White Clad Sash Exterior Primed Pine Sash Interior As Viewed From The Exterior IG Tempered Low E3 w/Argon Egress Information Black Perimeter and Spacer Bar Width: 63 47/64" Height: 90 3/4" 7/8" SDL - With Spacer Bar - Black Net Clear Opening: 40.16 SqFt Cottage - Special Cut 2W1H **3 Rect Lites** 13" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Traditional Lever(s) Multi-Point Lock on Active Panel Oil Rubbed Bronze PVD Active Exterior Handle Set on Active Panel Keyed Oil Rubbed Bronze PVD Active Interior Handle Set on Active Panel Multi-Point Lock on Inactive Panel Oil Rubbed Bronze PVD Inactive Exterior Handle Set on Inactive Panel Oil Rubbed Bronze PVD Inactive Interior Handle Set on Inactive Panel Dark Bronze Adjustable Hinges 3 Per Panel-**Bronze Ultrex Sill Black Weather Strip** 6" Jambs Thru Jamb Installation w/ Nailing Fin ***Note: Unit Availability and Price is Subject to Change

Line #37	ne #37 Mark Unit: Kitchen basement Tempered				
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10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to Change

Qty: 1			
Qty: 1 MARVIN Image: Constraint of the state of	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ****Note: Unit Availability and Price is S		
		1	 l
Line #38 Mark Unit: Kitchen l Qty: 1	basement		
<image/> <text><text><text><text></text></text></text></text>	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H 3 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Ogee Interior Glazing Profile Standard Bottom Rail White Folding Handle White Folding Handle White Folding Handle White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ****Note: Unit Availability and Price is S		
Line #39 Mark Unit: Kitchen Qty: 1	pasement		
MARVIN®	Stone White Clad Exterior Primed Pine Interior		

Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Right Hand Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4"



As Viewed From The Exterior

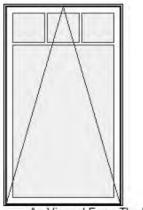
Egress Information Width: 20 57/64" Height: 58 1/64" Net Clear Opening: 8.42 SqFt

Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 2W1H **3 Rect Lites** 10" DLO Height Stone White Clad Ext - Primed Pine Int **Ogee Interior Glazing Profile** Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround **Bright View Mesh** 6 11/16" Jambs **Nailing Fin** ***Note: Unit Availability and Price is Subject to Change

Line #40 Qty: 2	Mark Unit: Kitch	en basement		
MARVIN As Viewe gress Information to Egress Information	d From The Exterior	Stone White Clad Exterior Primed Pine Interior Ultimate Awning - Roto Operating Stone White Clad Sash Exterior Primed Pine Sash Interior California Fire Glass IG - 3/4" Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Rectangular - Special Cut 3W1H Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin	<i>je</i>	

Line #41 Qty: 1	Mark Unit: Bas	ement bath	
MARVIN		Stone White Clad Exterior Primed Pine Interior Ultimate Awning - Roto Operating Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 3W1H 4 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail	
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For product warranty information please visit, www.marvin.com/support/warranty.



White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin ***Note: Unit Availability and Price is Subject to Change

As Viewed From The Exterior Egress Information

No Egress Information available.

Line #42 Mark Unit: Be Qty: 1	d (Warriors)	
MARVIN (*) As Viewed From The Exterior Fgress Information Width: 32 57/64" Height: 62 57/64" Net Clear Opening: 14.36 SqFt	Stone White Clad Exterior Primed Pine Interior Ultimate Casement - Left Hand Stone White Clad Sash Exterior Primed Pine Sash Interior IG - 3/4" Tempered Low E3 w/Argon Black Perimeter and Spacer Bar 7/8" SDL - With Spacer Bar - Black Cottage - Special Cut 3W1H 4 Rect Lites 10" DLO Height Stone White Clad Ext - Primed Pine Int Ogee Interior Glazing Profile Standard Bottom Rail White Weather Strip White Folding Handle White Multi - Point Lock Extruded Aluminum Screen White Surround Bright View Mesh 6 11/16" Jambs Nailing Fin	

CALIFORNIA USERS

About California Proposition 65

California's Proposition 65 entitles California consumers to special warnings for products that contain chemicals known to the state of California to cause cancer and birth defects or other reproductive harm.

We are providing the following warnings in connection with this quote:

- **WARNING:** This product can expose you to chemicals including titanium dioxide, which is known to the State of California to cause cancer. For more information, go to www.P65Warnings.ca.gov.
- WARNING: This product can expose you to chemicals including methanol, which is known to the State of California to cause birth defects or other reproductive harm. For more information, go to www.P65Warnings.ca.gov.
- MARNING: Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to www.P65Warnings.ca.gov/wood.

California Warranties

Pursuant to California Civil Code Section 1973.01, for product sold and originally delivered in California, the Limited Warranty is made and the warranty notice period begins to run on the original date of product delivery.