

Lee Quintana, Chair Martha Queiroz, Vice Chair Susan Burnett, Planning Commissioner Emily Thomas, Planning Commissioner Alan Feinberg, Committee Member

# TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE JUNE 25, 2025 110 EAST MAIN STREET TOWN COUNCIL CHAMBERS 4:00 PM

#### **HOW TO PARTICIPATE**

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend inperson, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to <a href="mailto:planning@losgatosca.gov">planning@losgatosca.gov</a>.

#### **Public Comment During the Meeting:**

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

#### **Deadlines to Submit Written Comments:**

If you are unable to participate in person, you may email planning@losgatosca.gov with the subject line "Public Comment Item #\_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

#### **CALL MEETING TO ORDER**

#### **ROLL CALL**

**CONSENT ITEMS** (Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)

1. Draft Minutes of the May 28, 2025, Historic Preservation Committee Meeting

**VERBAL COMMUNICATIONS** (Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)

**PUBLIC HEARINGS** (Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)

- Consider a Request for Approval to Construct Exterior Alterations (Window Repair/Replacement) to a Contributing Multi-Family Residence in the Fairview Plaza Historic District on Property Zoned R-1:8:LHP. Located at 95 Fairview Plaza. APN 510-43-018. Minor Development in an Historic District Application HS-25-027. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Matthew Reynolds. Project Planner: Maria Chavarin.
- 3. Consider a Request for Approval to Construct Exterior Alterations (Window Replacement) to an Existing Single-Family Residence on Property Zoned R-1:8. Located at 121 Loma Alta Avenue. APN 532-29-083. Request for Review Application PHST-25-012. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Jim Wilson. Applicant: Renewal by Andersen/Hilda Ramirez. Project Planner: Sean Mullin.
- 4. Consider a Request for Approval to Construct a Second-Story Addition of 100 Square Feet and Exterior Alterations to an Existing Noncontributing Single-Family Residence in the University-Edelen Historic District on Property Zoned R-1D:LHP. Located at 117 Edelen Avenue. APN 529-02-020. Minor Development in an Historic District Application HS-25-

- 030. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15310: Existing Facilities. Property Owner: Jeff and Julie Prince. Applicant: David Kuoppamaki. Project Planner: Maria Chavarin.
- Consider a Request for Approval to Construct Exterior Alterations to an Existing Contributing Single-Family Residence in the Broadway Historic District on Property Zoned R-1D:LHP. Located at 68 Broadway. APN 510-45-085. Request for Review HS-25-031. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Marc Dubresson. Project Planner: Samina Merchant.

**OTHER BUSINESS** (Up to three minutes may be allotted to each speaker on any of the following items.)

- 6. Consider a Request for Preliminary Review to Construct a New Second-Story Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. Located at 245 Los Gatos Boulevard. APN 529-24-024. Request for Review Application PHST-25-011. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Michael Phung. Applicant: Andres Johnson. Project Planner: Samina Merchant.
- 7. Potential Communications from the Historic Preservation Committee to the Town Council Regarding a Work Plan

#### REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

#### **COMMITTEE MATTERS**

#### **ADJOURNMENT**

**ADA NOTICE** In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

**NOTE** The ADA access ramp to the Town Council Chambers is under construction and will be inaccessible through June 2025. Persons who require the use of that ramp to attend meetings are requested to contact the Clerk's Office at least two (2) business days prior to the meeting date.

MEETING DATE: 06/25/2025

ITEM: 1

## DRAFT MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING MAY 28, 2025

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on May 28, 2025 at 4:00 p.m.

#### **MEETING CALLED TO ORDER AT 4:00 PM**

#### **ROLL CALL**

Present: Chair Lee Quintana, Vice Chair Martha Queiroz. Planning Commissioner Susan Burnett, Committee Member Alan Feinberg, and (Planning Commissioner Emily Thomas late due to traffic).

Absent: None.

#### **VERBAL COMMUNICATIONS**

Wayne Heimsoth, Vietnam Veteran, California State Guard Staff Sargeant, Los Gatos Veteran Memorial Support Foundation Board Member, and American Legion Post 99 Adjutant.

Their mission is to save the old fire station at 4 Tait Avenue as a historical landmark and use it as a meeting place and office for their two organizations. They are asking Planning what needs to be done to rent the building and the approximate cost. The American Legion has a 501c Charity organization which can help with the cost. They are asking that it be called a Veterans Center. Other towns have spaces for veteran organizations. They are not moving in but by calling it a Veterans Center, other veteran organizations can use, help fix and fund the building. Please save the building and advise the Planning Commission to turn it into a Town resource.

#### CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

- 1. Approval of Minutes March 26, 2025
- 2. Approval of Minutes April 23, 2025

Correction on April 23 Minutes - Discussion on the criteria for the State and Federal significance and the Town's significance. There are 5 different categories usually spoken of. For the State and Federal the first four criteria are "or" the last one is "and." The Town's all five criteria are followed by "or". There is no "and".

#### PAGE **2** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

**MOTION:** Motion by Commissioner Burnett to approve the Consent Calendar.

Seconded by Vice Chair Queiroz.

VOTE: Motion passed unanimously.

#### **PUBLIC HEARINGS**

#### 3. 446 San Benito Avenue

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1D. APN 410-16-051. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-005. Property Owner/Applicant: Devendra Deshwal. Project Planner: Erin Walters.

Erin Walters, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Devendra Deshwal, Owner/Applicant

At the last meeting there were four conditions required to remove from the property from inventory. Of the five conditions to remove from the inventory, four have been satisfied. The fifth condition is if the structure has lost its integrity.

They spoke with neighbors regarding the history of the property. The neighbor at 441 has lived there for fifty years and said that the front and rear of the house have been totally changed. A garage and an auxiliary structure used to be in the middle of the lot, but they burned in a fire three or four years ago. The neighbors at 447 and 437 confirmed that there was a fire, and that the auxiliary structure was damaged. They contacted the prior owners, who provided old photos of the front and rear of the house. Current photos are provided for comparison.

Committee members asked questions of the applicant.

Devendra Deshwal, Owner/Applicant

The applicant did a lot of work. They took photos of the subject structures widows and their neighbors windows for comparison. The windows have been altered. They don't know when the windows were changed.

Committee members asked questions of Staff.

#### PAGE **3** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

#### Erin Walters, Project Planner

If the structure stays in the Historic Inventory, it will need to meet the requirement of no more than twenty-five percent demolition of the siding/wall covering for the front facing elevation and no more than fifty percent removal of the covering/siding for all elevations. The application will return to the Committee for formal review after submittal of an Architecture and Site Application.

#### Sean Mullin, Planning Manager

The lattice is not a wall covering and not included in that twenty-five percent demolition calculation.

#### Erin Walters, Project Planner

The garage is an accessory structure and not included.

#### Sean Mullin, Planning Manager

Historic houses typically have structural issues and that is not typically a basis for removal from the inventory. Restoration and rehabilitation include structural issues.

Closed Public Comment.

Planning Commissioner Thomas arrived at 4:20.

Committee members discussed the matter.

#### Vice Chair Queiroz

Appreciate all the work done by the homeowner. The house represents a simple California bungalow style. It is shown through the front covered porch, wood shingled exterior, and low-pitched gabled roof. The structure could be expanded and kept in the inventory and restored to its former glory.

#### Member Feinberg

Satisfied that the technical criteria have been met and is willing to grant the request for removal.

#### **Commissioner Burnett**

It is a perfect example of a California bungalow. The houses on San Benito are unique to Los Gatos. The exterior tells a story about a time in Los Gatos. The owner can still build a larger home but keep the same feeling. I want to keep it in the inventory.

#### **Commissioner Thomas**

I agree that it is a nice representation but there have been modifications. Does it meet the criteria?

#### PAGE **4** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

#### Chair Quintana

If taken off the inventory it could come back as a two-story house. That block has a cohesiveness. Other homes there have additions, but they are towards the back. The major change on this home is the lattice work but that can be removed. The porch floor changed from wood to cement which is not significant. The foundation is fixable but costly. What cost does the Committee put on maintaining its inventory?

#### Vice Chair Queiroz

The photos reinforce that the house looks unchanged even with the window change. The windows can be replaced with the look of the former windows. What is the cost difference between fixing what is there and tearing down to build new.

#### Member Feinberg

Cost is not within our purview. It is not one of the criteria.

**MOTION:** Motion by Commissioner Burnett to forward a recommendation of

denial of the above request to the Community Development Director.

Seconded by Vice Chair Queiroz.

VOTE: Motion passed unanimously, (5-0).

#### 4. <u>37 Ellenwood Avenue</u>

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 510-19-015. Request for Review PHST-25-008. Exempt Pursuant to CEQA Guidelines, Section 15061 (b)(3). Property Owner/Applicant: Arthur Chatoff. Project Planner: Samina Merchant.

Samina Merchant, Associate Planner, presented the staff report.

Opened Public Comment.

Committee members asked questions of Staff.

Applicant presented the project.

#### Arthur Chatoff, Owner

He is the owner, showed photos of 41 and 37 Ellenwood. Cannot see the house from the street. 41 is the only house that looks at 37. Daughter, son, and grandkids live in 37. There's a permit for a shed attached to the garage. Nothing historic about it. Bought it from people who lived there for four generations. The photos show a hodge podge of styles. Went through the five points and none were met. Available for questions.

Closed Public Comment.

Committee members discussed the matter.

#### **Commissioner Thomas**

Appreciate the photos and Staff recommendation. In this case we don't see any original or significant architecture.

#### **Commissioner Burnett**

It has nice architectural features. But because it was built in 1956 it doesn't qualify.

#### Vice Chair Queiroz

If it wasn't on the map pre-1941, it should be removed.

**MOTION:** Motion by Commissioner Thomas to recommend removal from the

Historic Inventory. Does not meet the five criteria. **Seconded** by

**Commissioner Burnett.** 

**VOTE:** Motion passed unanimously, (5-0)

#### 5. 109 Tait Avenue

Consider a Request for Approval to Construct Exterior Alterations to a Non-Contributing Single-Family Residence in the Almond Grove District on Property Zoned R-1D:LHP. Located at. APN 510-18-037. Minor Development in a Historic District Application HS-25-009. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owners: Howard Labe and Jill Nakamura. Applicant: Terry J. Martin, AIA. Project Planner: Erin Walters.

### Vice Chair Queiroz recused themselves due to owning property within 500 feet of the property.

Erin Walters, Senior Planner, presented the staff report.

Committee members asked questions of Staff.

Opened Public Comment.

Applicant presented the project.

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

Rebecca Pollard, Architect; Howard Labe and Jill Nakamura Owners

The project has two goals which include making a covered back porch for the owners to enjoy the backyard and replacing the current patchwork roof that is not weather sound. The project is not visible from the street.

Committee members asked questions of the applicant.

Howard Labe, Owner

The neighbor to the left did the same thing to their home.

Closed Public Comment.

Committee members discussed the matter.

**Commissioner Burnett** 

It is an improvement. The design fits very well with the home.

**Commissioner Thomas** 

It is a nice improvement and fits in with the district.

Member Feinberg

Main concern was that the left side is visible from the neighbor. But that was addressed.

**MOTION:** Motion by Commissioner Burnett to forward a recommendation of

approval of the above request to the Community Development Director.

**Seconded** by **Commissioner Thomas**.

VOTE: Motion passed unanimously, (4-0, Vice Chair Queiroz recused).

#### 6. <u>16805 Loma Street</u>

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 532-07-101. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-007. Property Owner: William Wundram. Applicant: David Britt, Britt-Rowe. Project Planner: Sean Mullin.

Sean Mullin, Planning Manager, presented the staff report.

Committee members asked questions of Staff.

Opened Public Comment.

Applicant presented the project.

#### Brenna Wundram, Co-owner

Brenna and Bill have lived in Los Gatos since 2008. Brenna is teacher at West Valley College. Bill works for Varian Medical Systems. They love Los Gatos. They bought this property and hired an architect. They have many neighbors here.

#### Bill Wundram, Co-owner

He will present the research and the proposal. No significant persons. It was a rental property for forty years. Wasn't in the Sanborn map or any other historic overlay. Listed as a bungalow. It wasn't annexed until 1999. The address was originally 16801 Loma Street. Split in 1971. Three of the six pre-1941 neighboring homes were approved for demolition. They had built dates from 1999 to 2010.

The property had three primary permits. Main permit in 1967 was for adding a bedroom and a laundry room. The structural engineer described an over span of floor framing, rafter framing without bracing, no sheer walls, and shims under the mudsills between the post and beam connections to level the house.

#### David Britt, Architect

They have been in the business for over 30 years. They had worked with HPC in the past on neighborhood projects. They did not find value. Work within an identifiable style. This property is the last parcel on Loma that has not been remodeled or rebuilt. They looked very carefully There was nothing left of the bungalow structure to identify it as California or a Spanish bungalow. They propose removal and building something more consistent with the neighborhood while following the Design Guidelines.

#### Carrie Winhall, Neighbor

They bought the adjoining house in 1998 and built in 2000. They've been there for twenty-seven years. They are in support of the project. The owners have been proactive in reaching out to the neighbors. All the houses are now two-story homes built in the last 30 years. It'll be a huge improvement to the neighborhood. It had been a rental property and not very well maintained.

#### Cheryl Green, Neighbor

They are in support of the project. The owners have been very proactive in working with all the neighbors. The new design looks consistent with the neighborhood. They have lived there for 20 years and don't know of any significance at that house.

#### Dave Renner, Neighbor

Shady lane 2 blocks away. Know Bill for 15 years. Maintaining the aesthetics of the neighborhood and have done a lot of research and thorough research of the five criteria.

#### PAGE **8** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

#### David Britt, Architect

At the start of any project they try to find some architectural value in the structure. This structure has been reduced to a bungalow shape. All the decorative surface treatments have been removed. To add value it would be purely speculative.

Closed Public Comment.

Committee members asked questions of Staff.

#### Sean Mullin, Planning Manager

The proposed design is not part of the decision process.

Committee members discussed the matter.

#### **Commissioner Thomas**

Encourage the communicating and connecting with the neighbors.

Grew up in that neighborhood. It is a generic bungalow. Doesn't have anything architecturally significant or historically significant.

#### Vice Chair Queiroz

We appreciate the applicant's work. The house is representative of an era. Even though other homes have been taken off, we prefer to keep it. The house looks the same as the original.

#### **Commissioner Burnett**

It is a typical California bungalow built in the 1920's, especially in that area. In the 1998 Bloomfield photos, it looks the same. It should stay on the inventory.

#### Chair Quintana

Of the three examples that were allowed demolition, two were not homes but barns, which are not included as historic structures. The third one indicated an incomplete application. While there are a lot of second-story additions in the area, they are mostly in the back. It is not an exact style but is a typical bungalow seen throughout Los Gatos.

#### **Commissioner Thomas**

The neighborhood is not to be considered. This house does not have enough significance. Not in support of a denial.

#### Chair Quintana

In the List of five criteria the "or" integrity has not been kept. Some of the committee says it retains enough of a bungalow style. Keeping it on the inventory does not mean they cannot make improvements.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

**MOTION:** Motion by Commissioner Burnett to forward a recommendation of

denial of the above request to the Community Development Director.

Finding that it still has integrity and typical California bungalow.

**Seconded** by **Vice Chair Queiroz**.

VOTE: Motion passed passes (3-2), Commissioner Thomas and Member

Feinberg opposed.

#### 7. 119 Harding Avenue

Consider a Request for Approval to Construct an Addition and Exterior Modifications to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-35-022. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Request for Review Application PHST-25-010. Property Owner: Brian Conlisk. Applicant: Jay Plett Architect, LLC. Project Planner: Sean Mullin.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jay Plett, Architect; Brian Conlisk, Owner

Proposing a very small addition. According to the Bloomfield Survey, the windows were already changed. This will be the fourth change. The view from the front and roofline won't change. They are punching out in the back. Moving the door and removing only one window. The addition is no more than 500 square feet. All the new windows will be in keeping with the Spanish revival style.

Committee members asked questions of the applicant and staff.

Jay Plett, Architect; Brian Conlisk, Owner

The front door will be replaced with a similar nice door. They will match the stucco molding around the windows. There are no bay windows. The house will basically stay the same.

#### Chair Quintana

The house may have had more embellishment as a Spanish style home. Can the Committee make the recommendation to add lighting fixtures, to be more consistent with the Spanish Colonial style?

Sean Mullin, Planning Manager

You can make the recommendation, but those items are not part of the project.

#### PAGE **10** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

#### Chair Quintana

Concerned that the project will come back many times due to structural damage.

#### Jay Plett, Applicant

They are not adding a second story. They are not taking the structure apart. Here's a close-up image of the windowsill that is rotten and filled with Bondo. There is termite damage to the windows.

#### Sean Mullin, Planning Manager

It is typical to find structural damage in older homes. It is usually handled at staff level and does not return to the Committee. You don't know the structure's condition until you open a wall.

#### Vice Chair Queiroz

Can the Committee recommend that if they find damage that they replace in kind?

#### Sean Mullin, Planning Manager

To replace in kind is covered in the Design Guidelines and Town Code.

#### Jay Plett

The crawl space looks good, and they have not found any termite damage. The windows were 1980's wood windows.

#### Jay Plett, Applicant

The fireplace structure remains but will not be used. The awnings will also remain as protection from the heat.

#### Vice Chair Queiroz

Materials for windows. Normally we don't approve the aluminum clad. How about fiberglass clad?

#### Jay Plett, Applicant

They would look for the style. The aluminum clad windows can still have the stucco trim. It will be indistinguishable. The interior would be wood. It would be wood with fiberglass clad or painted metal clad windows. The window would have the same trim and sill.

#### Sean Mullin, Planning Manager

Before the availability of fiberglass clad windows, the Committee typically approved wood or metal clad windows.

#### PAGE **11** OF **13**

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

**Commissioner Thomas** 

Will you be re-stuccoing the similar color shade. What window style was original to the home?

Jay Plett, Applicant

We will re-stuccoing and have not yet decided on a paint color. The window styles are casement and provide circulation.

Closed Public Comment.

**MOTION:** Motion by Vice Chair Queiroz to forward a recommendation of approval

of the above request to the Community Development Director. Seconded

by Member Feinberg.

VOTE: Motion passed unanimously, (5-0).

**OTHER BUSINESS** (Up to three minutes may be allotted to each speaker on any of the following items.)

#### 8. 310 Tait Avenue

Consider a Request for Preliminary Review to Construct a New Second-Story Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-14-058. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Request for Review Application PHST-24-026. Property Owner: Santiago Allende. Applicant: Donna Chivers. Project Planner: Erin Walters.

Erin Walters, Senior Planner, presented the staff report

Opened public comment.

Applicant presented the project.

Donna Chivers, Architect,

Architectural revisions were made based on the Committee's comments from the previous meeting. Based on their preliminary calculations and discussions with the project planner, they believe that it does not qualify as a technical demolition. They are saving the entire front, left side, and back of the house. Just taking off a portion. The front door, both windows and chimney all stay intact. They are adding a second story. They pushed back the upper story addition fifteen feet from the front property line. It now sits behind the ridge of the original roof. The ridge helps hide the massing from the front view. Windows are proposed to

#### PAGE **12** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

be single hung windows with wood trim. New windows will have the same trim. They will add a scalloped trim to match the existing. The existing siding was inspected by Planning, Building and Police. It was deemed sound. The foundation will not be demolished but will need to be reinforced.

Committee members asked questions of the applicant and staff and provided comments.

#### Vice Chair Queiroz

Is this the ADU bathroom? It seems like a wide building in a small lot.

#### Sean Mullin, Project Planner

The setbacks can be 4 feet.

#### **Commissioner Thomas**

The requested changes were addressed. Pushing back the addition lessens the massing.

#### Member Feinberg

In two dimensional drawings it is hard to see the setbacks. The landscaping helps a lot.

#### Donna Chivers, Applicant

The garage/shed is being removed. It is on the neighbor's property line. The ADU is attached to the house. There is no garage or off-street parking.

#### Chair Quintana

It is a much better design than previous one; however, it dominates the existing structure. Tait is its own neighborhood. There are no other two-story homes. Afraid that it'll open the door for other case-by-case, two-story structures.

#### Erin Walters, Project Planner

The parking and FAR would be reviewed when an Architecture and Site (A&S) application is submitted.

#### Sean Mullin, Planning Manager

When they receive the A&S application with details, staff will present it to the Planning Commission who can grant exceptions.

#### Vice Chair Queiroz

Recommend moving more of the mass to the back. The bathroom could be moved to the back to reduce the mass.

#### Erin Walters, Project Planner

The State allows a minimum 800 square foot ADU even if the main house is over the maximum allowed floor area.

#### PAGE **13** OF **13**

#### MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF MAY 28, 2025

#### Sean Mullin, Planning Manager

This attached ADU meets the Town Code. ADUs cannot be subject to discretionary review. The applicant is welcome to consider the recommendation, but it is not binding.

#### Member Feinberg

The back addition looks massive behind a tiny house.

#### Vice Chair Queiroz

Recommend that it should not go over FAR since it is in a historic district.

#### Sean Mullin, Planning Manager

In summary, the Committee agrees that it is a better design, but the lack of parking, the massing and the scale are concerns. It is a large home on a small lot. They ask that the architect consider working within the FAR.

#### Chair Quintana

Major concern is keeping the effect of that immediate neighborhood

#### Donna Chivers, Architect

There is a second-story house on Almendra right across the street and another two-story homes visible on that street.

#### Chair Quintana

That is typical of a corner house. This is a street of four cottage homes.

#### **Commissioner Burnett**

Ask that the architect to go back over the design guidelines.

#### **ADJOURNMENT**

The meeting adjourned at 6:19 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the May 28, 2025 meeting as approved by the Historic Preservation Committee.

Sean Mullin, AICP, Planning Manager

This Page Intentionally Left Blank



MEETING DATE: 06/25/25

ITEM NO: 2

DATE: June 20, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Construct Exterior Alterations (Window

Repair/Replacement) to a Contributing Multi-Family Residence in the Fairview Plaza Historic District on Property Zoned R-1:8:LHP. **Located at 95 Fairview Plaza**. APN 510-43-018. Minor Development in an Historic District Application HS-25-027. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Matthew Reynolds. Project Planner:

Maria Chavarin.

#### **RECOMMENDATION:**

Consider a request for approval to construct exterior alterations (window repair/replacement) to a contributing multi-family residence in the Fairview Historic District on property zoned R-1:8:LHP, located at 95 Fairview Plaza.

#### PROPERTY DETAILS:

- 1. Date primary structure was built: 1899 per County Assessor's Database; 1890s per Bloomfield Survey
- 2. Bloomfield Preliminary Rating: +, historic and intact, worthy of special note
- 3. Does property have an LHP Overlay? Yes
- 4. Is structure in a historic district? Yes, Fairview Plaza
- 5. If yes, is it a contributor? Yes
- 6. Findings required? No
- 7. Considerations required? Yes

#### **BACKGROUND:**

The Santa Clara County Assessor's Database indicates that the residence located at 95 Fairview Plaza was constructed in 1899. The 1990 Anne Bloomfield Survey provides an estimated

PREPARED BY: MARIA CHAVARIN

**Assistant Planner** 

PAGE 2 OF 4

SUBJECT: 95 Fairview Plaza / HS-25-027

DATE: June 21, 2025

construction date of 1890's and provides a rating of historic and intact or worthy special note (Attachment 1). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the residence as having consistent footprint through 1956 (Attachment 2). The list of permits found in the Town records reflect permits issued since the 1950's.

The following alterations are reflected in the Town's permit records included as Attachment 3:

- 1950 Building Permit;
- 1954 Building Permit for remodel;
- 1954 Electrical Permit;
- 1962 Plumbing Permit;
- 1986 Electrical Permit;
- 1986 Building Permit for Foundation repair;
- 1986 Plumbing Permit;
- 1991 Building Permit for repairs of earthquake damage;
- 1991 Plumbing Permit;
- 1991 Electrical Permit;
- 1991 Mechanical Permit; and
- 2019 Building Permit for demolition of a carport.

The applicant provided a summary of the property research (Attachment 4), photographs of the property (Attachment 6), and development plans (Attachment 7). The residence is noted for its Queen Anne Victorian style. In 1987, the records show that the single-family residence was divided to create a four-plex (Attachment 4).

#### **DISCUSSION:**

On May 28, 2025, planning staff received an application for Minor Development in a Historic District. The applicant proposes to repair and/or replace existing windows in the residence with the intent to maintain the historic character of the property (Attachment 5). The applicant provided a floor plan showing the location of the windows in need of repair and/or replacement. The residence includes a variety of window types, including single and doublehung wood windows, casement wood windows, and true divided lite windows. The proposed material for the sashes and trim is wood to match the existing material. The applicant provided a project description letter explaining that the deteriorated wood material will be replaced with a custom handmade material of African mahogany by Kinney Woodworks, a specialist in window restoration. The hand-crafted wood material is proposed to match the characteristic of the architectural style while improving the functionality and durability of the windows. The window types are not proposed to change (Attachments 4, and 6).

The Residential Design Guidelines provides the following recommendations related to window types and materials:

PAGE 3 OF 4

SUBJECT: 95 Fairview Plaza / HS-25-027

DATE: June 21, 2025

#### 3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

 Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

#### 4.8.1 General Guidelines

 All exterior elements including, but not limited to, roof lines, porches, doorways, windows, trim and siding should be consistent with and continue the architectural style and design of the original structure.

#### 4.8.2 Building Materials

• Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

#### 4.8.4 Windows and Glass in doors

- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.
- All lites (panes of glass) should be true divided lite, not artificial or snap-in grids. Simulated
  Divided Lite windows are permitted when the details of the window provide projecting
  muntin elements on the exterior and interior of the window along with a spacer muntin
  between the panes of glass.

#### **CONCLUSION:**

The applicant is requesting approval to construct exterior alterations (window repair /replacement) to a contributing multi-family residence in the Fairview Historic District on property zoned R-1:8:LHP. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The application would continue through the Building Permit process and would not return to the Committee.

#### PAGE 4 OF 4

SUBJECT: 95 Fairview Plaza / HS-25-027

DATE: June 21, 2025

#### **CONSIDERATIONS:**

#### A. Considerations

#### Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

X In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or

#### **ATTACHMENTS**:

1. 1990 Anne Bloomfield Survey

value of the district.

- 2. Sanborn Fire Insurance Maps
- 3. Town Building Permit Records
- 4. Applicant's Research
- 5. Project Description
- 6. Photos
- 7. Development Plans

### Anne Bloomfield

#### ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

File address 95 Fairview Plaza	76						
PARCEL MAP INFORMATION	80						
Parcel # 5/0-43-0/8 Lot size: 53 f	ront ft. x 676 ft. deep						
Lot shape: Rectangle L Rectangle with small rear jo	g Other to hat/cone						
Location: N / S E W side of F	St_Ave_Other_Plaza						
distance to cross st: <u>632</u> ft. N S E	W from Fairvo Av / Oak Knoll						
at NE NW SE SW	corner of						
HISTORIC INFORMATION ON PARCEL MAP							
Old tract or subdivision name Fairview Adn Old Block	# Old lot #						
FIELD SURVEY INFORMATION (handwritten in red)							
Preliminary rating + Estimated age 1890s Style 4	veen Anne # stories						
Alterations							
Other							
COUNTY ASSESSORPROPERTY CHARACTERISTICS (paste on copy)	8987 EFFective date 12-87						
APM 510-43-018 ADDRESS 05 FAIRVIEW P2 LE 95030 P000 MARTI FAMILY TAR 3-001 WIDTH 40 NO. UNITS P000 USE CODE 02 DEPTH 140 SAURA FIREPLA FREE NO. PLO	Page 101 Maria						
VE CODE OF DEPTH 140 SAUGE FINE NO. PLO	MS TENNET						
OWNERSHIP SHOWN ON MAPS Source Source Location of property, or Lot	Owner						
Name Date Page Old tract/block/lot Size	Name						
1891							
B1k Book 1908							
<u>Survey</u> 1944							
	*						
	Roll/frame #024/85 Date 181/90						
National Register listed dateCounty Inventory 1979							
Town of Los Gatos: Designation Recognition District Name							
Previous Survey CAR 1895 AFG 1885							
LUATION: Date 895-quictar San) Alterations: Moved_							
Contributor Raised Porch encl District Non-contrib Addition Siding							
Page 22 IntX: Wesley Feck-204 Windows Condition	ATTACHMENT 1						

Designer: a\_ b\_ d\_

## Anne Bloomfield ARCHITECTURAL/CULTURAL SURVEY NAME RESEARCH

ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO, CA 94115

	ant d		4. birth death other				
. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)							
ar	Book 1		Listing (copy entire, exactly as shown: use * for boldface)				
	460	Fairview 95	Ormstock Sing S Agres 1 51927 on Almendial				
1	50	Peck, Wesley	(BH Noble + Co) & notary , r Farryiew				
	1	n Miss Lill					
	0	Noble BH+6	(Ben, HN-+ W Peck) realest + ins, E Main no 1258				
2	460	Peck W*	real est, ins. Lyndon blk, - 14 Fairve er				
		Thackery FW	derk n n				
1							
I		4					
J							
I							
T							
T							
İ							
1							
1	_						
1			<u> </u>				
			/initials date				
	BIOGR Mark	APHICAL SEARCH, indexes 'X' (infd or '\$' (nothir	& other alphabetical listings.  and found) at each source you try. List findings below.				
	Mark	'X' (infd.or '\$' (nothing	& other alphabetical listings. ng found) at each source you try. List findings below.				
	Mark	'x' (infd or '#' (nothing Gatos Library:	& other alphabetical listings.				
	Los C H	'X' (infd or '#' (nothing Gatos Library: ity directories (naistoric Collection	California History Center, De Anza College: Biographical filePhoto collection				
	Los C H T	'X' (infd or '#' (nothing Gatos Library: ity directories (national istoric Collection hompson & West, 187	California History Center, De Anza College: Biographical filePhoto collection  76 (bio index)				
	Los C H T P	'X' (infd or '#' (nothing Gatos Library: ity directories (national control of the	California History Center, De Anza College:  mme & street index) Index (green boxes) 76 (bio index)  List findings below.  California History Center, De Anza College: Biographical file Photo collection				
	Los C H T P	'X' (infd or 'f' (nothing Gatos Library: ity directories (national control of the	California History Center, De Anza College:				
	Los C H T P S	'X' (infd or 'f' (nothing Gatos Library: ity directories (national istoric Collection bompson & West, 187 en Pictures, 1988 (unshine Fruit & Flowinn, 1904 (bio incomposed)	California History Center, De Anza College: Biographical filePhoto collection  76 (bio index) (bio index) owers, 1895 (bio index) dex)  San Jose Historical Museum:				
	Los C H T P S	'X' (infd or 'f' (nothing Gatos Library: ity directories (national control of the	California History Center, De Anza College: Biographical filePhoto collection  76 (bio index) (bio index) owers, 1895 (bio index) dex)  San Jose Historical Museum:				
	Mark Los C H T P S G S	'X' (infd or 'f' (nothing Gatos Library: ity directories (national istoric Collection bompson & West, 187 en Pictures, 1988 (unshine Fruit & Flowinn, 1904 (bio incomposed)	California History Center, De Anza College:  me & street index) Index (green boxes) 76 (bio index) (bio index) Owers, 1895 (bio index) Mex) Index  San Jose Historical Museum:  Great Registers (of voters) Indexes				
	Mark Los C H T P S G S E B	Gatos Library: ity directories (national directories) istoric Collection hompson & West, 187 en Pictures, 1988 ( unshine Fruit & Flouinn, 1904 (bio indiawyer, 1922 (bio indicated index to British index of Munroe	California History Center, De Anza College:  mme & street index) Index (green boxes)  76 (bio index) (bio index) (bex) Mex (see San Jose Historical Museum: Index) Index (green boxes)  San Jose Historical Museum: Index) Indexes Indexes Indexes Indexes Photo collection  Frazer, 1881 (Survey box)				
	Mark Los C H T P S G S E B	Gatos Library: ity directories (national distoric Collection hompson & West, 187 en Pictures, 1988 (unshine Fruit & Flowinn, 1904 (bio indiawyer, 1922 (bio indixtended index to Britania distortional d	California History Center, De Anza College:  mme & street index) Index (green boxes)  76 (bio index) (bio index) (bex) Mex (see San Jose Historical Museum: Index) Index (green boxes)  San Jose Historical Museum: Index) Indexes Indexes Indexes Frazer, 1881 (Survey box) Doxes) Other sources:				
	Mark Los C H T P S G S E B P	Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio included awyer, 1922 (bio index of Munroe hoto collection (2	California History Center, De Anza College:  me & street index) Index (green boxes)  76 (bio index) (bio index) (bio index)  wers, 1895 (bio index) dex) Index  San Jose Historical Museum: Great Registers (of voters) Indexes  runtz Frazer, 1881 (Survey box) boxes)  Other sources: Indexes, California Historical Quarterly				
	Mark Los C H T P S G S E B P	Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1988 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio indawyer, 1922 (bio index of Munroe hoto collection (2)	California History Center, De Anza College:  Biographical file  Index (green boxes)  76 (bio index)  (bio index)  Description  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  Other sources:  Indexes, California Historical Quarterly  State Library Information Index (fiche)				
	Mark Los C H T P S G S E B P	Gatos Library: ity directories (national distoric Collection Collection Compson & West, 187 (en Pictures, 1988 (unshine Fruit & Flouinn, 1904 (bio indiawyer, 1922 (bio indicated index to Brain Collection (2) Gatos Museum (Forbeleath records by year	California History Center, De Anza College:  me & street index) Index (green boxes) The collection  To (bio index)  Sowers, 1895 (bio index)  Makex)  Makex				
	Los C C H T P S G S S E B P Los D F	Gatos Library: ity directories (national distoric Collection hompson & West, 187 en Pictures, 1988 (unshine Fruit & Flouinn, 1904 (bio included awyer, 1922 (bio index of Munroe hoto collection (2) Gatos Museum (Forbe eath records by year uneral records (included index (included index))	California History Center, De Anza College:  Biographical file  Index (green boxes)  76 (bio index)  (bio index)  Description  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  Other sources:  Indexes, California Historical Quarterly  State Library Information Index (fiche)				
	Los C C H T P S G S S E B P Los D F	Gatos Library: ity directories (national distoric Collection Collection Compson & West, 187 (en Pictures, 1988 (unshine Fruit & Flouinn, 1904 (bio indiawyer, 1922 (bio indicated index to Brain Collection (2) Gatos Museum (Forbeleath records by year	California History Center, De Anza College:  me & street index) Index (green boxes) The collection  To (bio index)  Sowers, 1895 (bio index)  Makex)  Makex				

### Anne Bloomfield

## ARCHITECTURAL SURVEY ASSESSMENT ROLL RESEARCH

File Address 95 Fairview	Tract/Block/Lot	11+12	SE	ptns)
--------------------------	-----------------	-------	----	-------

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or mroe. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

Date	Page	<u>Name</u>	Tract or N Bdy	Block or Lot # or E Bdy S Bdy W Bdy	Assess	Improve-	Other Info.
1891	20	McCollagh, F. H.	Fair Vu Ada	89 10(11,12) 13 14	\$1380	\$	
1893	37	Peck, Wesley	n	3 (1,12)	510		also lot 2
1897	17	n	n	11,12	340	1,500	n n2,3
1900	-1	и	7	3,11,12	540	1430	50PF +6+3
						•	
	•0						
-							
W					_		

Page 24

File address 95 Fairview

### Anne Tomfield

#### ARCHITECTURAL SURVEY BUILDING RESEARCH

ARCHITECTURAL HISTORY
(415) 922-1063
222 BSTER STREET
SAN FRANCISCO, CA 94115

/Tnitiala

PUBLISHED ANNOUNCEMENTS A&E Bulletin CA&BN Call Chron DPB Ed AB EX News PCA Other Source: Date Page Nature of announcement: Contract notice Notice of completion BP issued Photo Elev/sketch/rend'g Floor plan Arch't/cont'r pub Real est Copy exactly: Architect/Engineer Location Nature of work Builder/Contractor Owner Cost Initials Date BUILDING PERMITS Address requested Bldg's Source: Permit Use/ Owner Builder/ Arch't/ width/ Register, Press-No. of contr. & engin'r depth/ Exterior Application Date Dem., or . . . Location Cost Units address & address Description of work height Materials Number address nitials OTHER SOURCE (specify thoroughly) Initials Date SANBORN MAPS Color: Vac. yel, pnk, No. of Patches or orange Date of Describe or sketch No. of Height bay Vol/ dif. Yes/ blu, gry PORCH windows. constr. plan stories (ft.) page |bldq Address Page 25

## LG Victorian provides low cost housing



This Victorian at 95 Fairview Plaza orovides housing for seven people who otherwise might not be able to live in Los Gatos. Photo by Dan Honda

By Greg Garry

It's a New Year and a 76-year-old Victorian on Fairview Plaza will have a new face to go along with it.

The Victorian, purchased with a \$111,000 low interest loan from the town, is split into a four-plex and provides low to moderate income housing for the seven persons who live there, according to Karen Saunders, director of Community Housing Developers, a San Jose based non profit housing corporation.

In addition to the purchase loan, which was drawn from Community Development Block Grant money, the Victorian, built in 1910, is badly in need of repair and required an additional loan of \$30,000 for rehabilitation, according to Town Manager Deborah Swartfager.

Repairs on the home, which was purchased in May of 1986, have been extensive, according to Saunders. "We had to jack up the foundation eight inches because it had sunk," she said.

Moving the foundation caused other problems, however. "When we moved the foundation, it cracked almost all of the sheetrock," she said.

In addition to replacing the damaged sheetrock, work was done on the plumbing, the foyer was remodeled, landscaping was undertaken and a new paint job was planned, she said.

"It hadn't been painted in probably 15 to 20 years," Saunders said.

The painting and landscaping chores brought help directly from the community. Several nurseries in town donated plants to help with the landscaping and the Lions Club has chipped in to help with the exterior painting job.

"That's in the process of getting organized right now," she said.

Some of the tenants have gotten into the spirit as well and have decided to help with the landscaping chores, she said. She added that members of the surrounding neighborhood have also been enthusiastic in their support of the refurbishing project.

Swartfager termed the refurbishing project an excellent example of how older homes can be spruced up and remain useful affordable housing.

Community Housing Developers uses a set of income criteria to determine whether a family qualifies to live in the four-plex, according to Saunders.

Candidates are required to provide tax forms to verify their income level. The income limit for a family of two is approximately \$22,000 or below, a family of one is approximately \$19,000 and a family of three, approximately \$24,000 or below, she said.

Two of the families living in the Victorian pay one-third of their income for rent, said Saunders. The remainder of the rent is subsidized through the Housing Authority of Santa Clara County.

One of the families there falls into the moderate income category and pays approximately \$620 a month rent, according to Saunders. The other family living at Fairview pays approximately \$500 a month in rent.

"We don't take any profit," she said.
"We give them the lowest rent we can give them."

This Page Intentionally Left Blank





	Her Legalion Ton Will and I want I	8
	Date Cong. 12. 1950	or's file No. building & Impacts specifications Spe
	The undersigned derewith makes application for the	Se cife of the second s
	Condition of Story	de si
	Type Mrd. Construction, 1200 basement, to be used and	inspector's Dearman of builts programs and specific to the state of th
	occupied as Com Offini	
	With a footing of Alegan (cyrin, top and in, high Outside walls to be Office.)	S S S S S S S S S S S S S S S S S S S
	Outside walls to be Office.	AT OF THE STATE OF
	Interior to be	So: So:
	The roof will be Comp. Too. V grances supported 2. 46 reference	Source of the so
		TOWN TOWN This office. Seccipt for as fee, is here
	Will be heated by with the flue Estimated value, \$ 1000	Secondary of the strain of the
	hereby agree to save, in trouify and keep barroless the Town of Los Gato- against all liabilities, judgements, costs and expenses which may in any wise accor- against said city in consequence of the granting of this permit or from the use or re- edjancy of any silewalk, street, or subsidewalk place by virtue thereof, and will in all things strictly comply with the colditions of this permit.	CT is herew  C now on Ele  C NUST 22 P
	Owner J. Buchan & Address 95 Januis Plan	SERVIT
Page 30	Architect "	Sontrad Sontrad Prints Pi

## TOWN OF LOS GATOS 110 F. MAIN ST., LOS GATOS, CA. 19639 BUILDING INSPECTION DEPARTMENT - PHONE \$54-4876 APPLICATION FOR BUILDING PERMIT

B 13373'-

AND THE PROPERTY OF THE WASTE OF THE WASTE OF THE PROPERTY OF THE PROPERTY OF THE WASTE OF THE WASTE OF THE PROPERTY OF THE WASTE OF THE PROPERTY OF THE WASTE OF T	POPALATICANI TO FILL IN	
TEACHER DISTRICTION OF A CONTRACTOR OF A CONTR	Marie 75 Farmer Clas	BUILDING PERMIT APPROVAL ' DATE
TOTAL SOME HAVE ARE DESCRIPTION OF THE STATE OF MATTER SOME HAVE ARE ARE AREA TO MATTER THE RESOURCE OF THE STATE OF MATTER ARE SOME HAVE AREA TO MATTER ARE	IOI IOI	tear
CONSTRUCTION FROM THE RESPONSANCE OF THE WASK FOR THE PROPERTY OF THE PROPERTY	Franker Com	W.Csris
MANUAL CONTRACTOR OF A CHARLES CONTRACT OF A CHARLES CONTRACTOR OF A CHARLES C		F.F.
CONTROL OF THE PROPERTY OF CONTROL OF THE PROPERTY OF THE PROP		OF COURT OF THE PROPERTY OF TH
CONTROL OF THE PROPERTY OF THE	ART We Healthy Start 114 starfow Car	9.45R
ACTION FROME TO STATE THE RESIDENCE OF THE WORLD STATE OF CONTINUES OF THE RESIDENCE OF THE	ENGLER	The second secon
ACTION OF THE CONTRACTOR OF THE PROPERTY OF THE CONTRACTOR OF THE STATE OF CAUTOCINA CONTRACTOR OF THE PROPERTY OF THE CONTRACTOR OF THE C	ACCESS	the contract of the contract o
DATE OF THE PROPERTY HAS BEEN WASHES CONTRACTORY FOR WASHES CONTRACTORY HAS A SECURED BY A SECUR	Contestino march Contestino 1st 22758	G ( S S S S S S S S S S S S S S S S S S
THE REST OF THE PRODUCT OF ACTION OF A CONTRACT OF	MASSESS 16200 GVIGWOLD by MINION H	100
MANUAL AND ALTER STATES OF CONTRACTORY OF A STATE OF CAMBOONIA CONTRACTORY OF A CONTRACTORY	1 100 B 166 3 C) 7 100 10 30 21	
HAVE ADD AND AND AND AND AND AND AND AND AND	DISCRIPTION OF WORK	VALUATION \$ 10.000
DIT OF STRUCTURE  DIT OF STRUCTURE  ORIGINATION OF WORK  CONSTRUCTION OF WORK  CONSTRUCTION OF WORK  TOTAL  DISTORTED  CONSTRUCTION OF STRUCTURE  INSPECTION TOTAL  INSPECTION TOTAL  STRUCTURE  CONSTRUCTION OF STRUCTURE  CONSTRUCTION OF STRUCTURE  INSPECTION INSPECTION OF STRUCTURE  INSPECTION INSPECTI	HEN ADD ALTER C. FEPA R DEVIC	
USE OF STRUCTURE  OFFICE POINT OF WORK  OFFICE POINT OF STRUCTURE  TOTAL  FRANT   AREAS ASMI OTHER	BUILDING FERMIT \$ SO ISO	
TOTAL STANDOMERON TO PRINCIPLE OF ACTOR AND STATE OF CAUTOMA COMPANIES AND THE HEAD THE PRINCIPLE AND THE HEAD THE PRINCIPLE AND THE PRINC	And the second s	STESTIC TAX
PARCIAN  TOTAL	Use of staucture Congression of work	CONSTRUCTION TAX
PARKTAX  PRAN CHECK THE  TOTAL  ADDRESS  TOTAL  TOT	Man Place KrTRIN SOUNDARIO	W UTBITY TAX
CONTRACTOR DRUBANCE CONTRACTOR DRUBANCE OF CAUGODIA  CONTRACTOR SYNTHE TAY  CONTRACTOR TO MACHINE  C		PARKTAX
CONTRACTOR DRUBANCE CONTRACTOR DRUBANCE OF CAUGODIA  CONTRACTOR SYNTHE TAY  CONTRACTOR TO MACHINE  C	1800. (15 0750)	PLAN CHECK FEE
TOTAL PROPERTY THAT THAVE READ HUS APPLICATION AND STATE THAT THE ABOVE NATURAL STATE OF CALIFORNIA ALLOWED AND ARREST COVER SALE OF CALIFORNIA TO STRUCTURE AND ARREST ARRE	cosine crowning signace	TOTAL \$ 8/20
CONTRACTOR DEVISION BY THE STATE OF CALIFORNIA CONTRACTOR SENTING TWO CONTRACTOR DEVISION BY THE STATE OF CALIFORNIA CONTRACTOR SENTING TWO CONTRACTOR DEVISION BY THE STATE OF CALIFORNIA CONTRACTOR DEVISION BY THE THANK A FOLICY OF MORER'S COM MISSARION AND HART HANK A FOLICY OF MORER'S COM MISSARION AND HART HANK A FOLICY OF MORER'S COM MISSARION AND HART HANK A FORM CONTRACTOR THE LOWN HAVE HART HART HART SHALL SHEEP THE INSURANCE I CERTIFY THAT HAN THE PREFORMANCE OF THE WORK FOR WHICH THIS FERVILL IS ISSUED, I SHALL BUT EMPLOY ANY FIRE SON IN ANY MANKES OAS TO RECOVE SO BECT TO THE WORKER'S COVERNABED HAWS OF CALFORNIA  LOWN CREMINALS AND STATE LAWS RELIGION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMERY WHIN ALL TOWN CREMINANCES AND STATE LAWS RELATING TO BENDING CON- STRUCTOR, AND HEREBY AUTHORIZE REFERENTIATINGS OF THIS CITY TO RHIER WORM HE ABOY MY HOND PROFIELY TOR INSTRUCTOR  MICHIGAN OF THE WORK OF THE CONTRACTOR  APPROVALS   HAVE	INSPECTION RECORD	
CONTRACTOR BY ARTHOUGH OF CAUTION ACCORDING CONTRACTOR SPECIAL FOR A GENERAL CONTRACTOR OF THE SPECIAL FOR A GENERAL CONT	ADD-35SS	The second secon
CONTRACTOR DESCRIPTION OF THE STATE OF CAUTIONIA  CONTRACTOR SPETISS TAY  CONTRACTOR SPETISS SPETIS TAY  CONTRACTOR SPETISS SPETIS TAY  CONTRACTOR SPETIS SPETIS TAY  CONTRACTOR SPETIS SPETIS SPETIS SPETIS SPETIS SPETIS SPETIS  CONTRACTOR SPETIS SPETI	TO THE PROPERTY OF THE PARTY OF	2.75 ye Burney Street
CONTRACTOR SPENSE NOW.  ACCOMPANION OF THE A GOLD  WESTLY SCOWERS HAVE A COUNTY OF WORKER'S COME FINSALION AND STATE THAT HE WAS SEEN AND ON THE WITH HE TOWN CHARGE THAT HE HAS SEEN AND ON THE WITH HE TOWN CHARGE THAT HE HAS SEEN AND ON THE WITH HE TOWN CHARGE THAT HE HAS SEEN AND ON THE WITH HE WAS SEEN AND ON THE WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK FOR WORK FOR SON IN MAY MANAR SO AS TO EXCOVE SUBJECT TO THE WORK FOR WORK	CONTRACTORS DECLARATION	
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION AND STATE THAT THAT THAT THAVE READ THIS APPLICATION AND STATE THAT THE PROPERTY OF EACH OF STATE OF S	CONTRACTOR'S LICENSE LAW.	
THEREBY MICH THAT I HAVE A FOLICY OF WORKER'S COME FINANDAMINESS. A CERTIFICATE OF DIAM SUPPRISE A CERTIFICATE OF DIAM SUPPRISE AFFRAITHAT I SHALL REP THE INSURANCE WITH THE TOTAL THAT I SHALL REP THE INSURANCE TO THE WORK FOR THE CERTIFY THAT I'M THE TERFORMANCE OF THE WORK FOR SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SON IN ANY MANNER SON IN		en e
THEREBY MICH THAT I HAVE A FOLICY OF WORKER'S COME FINANDAMINESS. A CERTIFICATE OF DIAM SUPPRISE A CERTIFICATE OF DIAM SUPPRISE AFFRAITHAT I SHALL REP THE INSURANCE WITH THE TOTAL THAT I SHALL REP THE INSURANCE TO THE WORK FOR THE CERTIFY THAT I'M THE TERFORMANCE OF THE WORK FOR SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SO AS TO ELECATE SUB-ECT TO THE SON IN ANY MANNER SON IN ANY MANNER SON IN		
PERSON INSURANCE A CERTIFIED COPY OF A CERTIFICATE OF THE TOWN I FORTHER AFFROM THAT ISHALL REP THE INSURANCE OF THE JOB THE FORTHER AFFROM THAT ISHALL REP THE INSURANCE OF THE WITH THE TRACK MANDAY FOR THE TOWN MORITES COVERNAL OF THE WORK FOR THE WORLD AFFROM ANY PRESENTING ISSUED, I SHALL ROLL FURNION ANY PROPERTY OF THE WORK FOR THE WORK FOR THE HOSE SON IN ANY MANNER SO AS TO EFFORM SON THE SON IN ANY MANNER SO AS TO EFFORM SON THE SON THAT THE SON IN ANY MANNER SO AS TO EFFORM SON THE SON THAT THE SON IN ANY MANNER SO AS TO EFFORM SON THE SON THAT THE SON THAT THAT THAT THAT THAT THAT THAT THA	WEFT S COVERSATION CON	
DIAT INFORMACE IS HESEWITH FURN SHED AND ON FILE WITH HEDOM FURTHER AREAM INAT ISHALL REPORT ON DISTRICT THROUGHOUT THE JOB.  SOULH X  CHIEFCATE OF DEVELOVE FROM WORKER'S CONTRIBUTION AND FOR WHICH THIS FERMIN IS ISSUED, I SHALL NOT EMPLOY ANY FER SON IN MAY MANNER SO AS TO ERCOVE SUBJECT TO THE WORK FOR WORKER'S COMPENSATION IAWS OF CALFORN'S TO THE STRUCTURE OF CONTRIBUTION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WHITH ALL TOWN CROINANCES AND STATE LAWS PICKATING TO BENDRING CONSTRUCTION, AND HERBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MUTHORIZE REFRESENTATIVES OF THIS CITY OF THE WORK FOR MUTHORIZE REFRESENTATIVES OF THE WORK FOR MUTHORIZE REFR		
T CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH A BOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH A BOVE INFORMATION, AND HEREBY AUTHORIZE RIFERSENTATIVES OF THIS CITY TO RIVER ABOVE MERCHANDER AUTHORIZE RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY TO RIVER USON THE ABOVE MERCHANDER RIFERSENTATIVES OF THIS CITY MARKETS.	ALL WALLEN GRANCE IS HEREWITH FURNISHED AND ON FILE WITH	
CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WAIDATION OF CONTROL OF THE WORK FOR WAIDATION OF CONTROL OF C		
CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THAT IS ISSUED, I SHALL ROT EMPLOY ANY PER SON IN ANY MANNER SO AS TO ECC. SUBJECT TO THE WORKER'S COVERNSATION LAWS OF CALFORNIA 10 THE DESCRIPTION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COVERY WITH ALL TOWN CRDINANCES AND STATE LAWS PETATING TO BUILDING CONSTRUCTION, ALD STATE LAWS PETATING TO BUILDING CONSTRUCTION, ALD HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROFERLY FOR INSPECTION PURPOSES.	<b>3</b>	
L CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS FERRIT IS ISSUED, I SHALL NOT EMPLOY ANY PER SON IN ANY MANNER SO AS TO EECCUE SUBJECT TO THE WORKER'S COVERNSALION LAWS OF CALFORNIA  LCERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WHILL ALL TOWN CROINANCES AND STATE LAWS PCIATING TO BUILDING CONSTRUCTION, AND HERBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MUNICIPAL ENTERSENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MUNICIPAL PROPERTY FOR INSPECTION  ONCORRES COVERNS	The state of the s	
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN CRDINANCES AND STATE LAWS PECATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZED TO ENTER UPON THE ABOVE AUTHOR UPON THE ABOVE AUTHORIZED TO ABOVE AUTHORIZED TO ABOVE AUTHORIZE	TOTAL THE TAXABLE PARTY OF THE	VALUATION
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN CRDINANCES AND STATE LAWS PECATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE AUTHORIZED TO ENTER UPON THE ABOVE AUTHOR UPON THE ABOVE AUTHORIZED TO ABOVE AUTHORIZED TO ABOVE AUTHORIZE	SON IN WAX WWWEE 20 V2 TO EECOME 279 FCT TO THE	\$ \$55.603.22 \$7.718.635.0366 \$4.500
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN CRDINANCES AND STATE LAWS PELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSTECTION PURPOSES  WAS A STATE OF THE ABOVE MENTIONED PROPERTY FOR INSTECTION  WAS A STATE OF THE ABOVE MENTIONED PROPERTY FOR INSTECTION  WAS A STATE OF THE ABOVE MENTIONED PROPERTY FOR INSTECTION  WAS A STATE OF THE ABOVE THE ABOVE MENTIONED PROPERTY FOR INSTECTION  WAS A STATE OF THE ABOVE THE ABO	WOSFER'S COMPENSATION LAWS OF CALFORNIA	3.4105
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMEY WITH ALL TOWN CERDINANCES AND STATE LAWS PELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROFERTY FOR INSPECTION  PURPOSES  WAS ARREST MAN TO ARREST SERVICES THAT THE LAWS PELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROFERTY FOR INSPECTION  WAS ARREST MAN TO ARREST SERVICES  LEGIS MAN TO A		killa .
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS PCLATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROFERTY FOR INSPECTION  PUEFOSE  WASHINGTON  WA		M. Porto at the College of the Colle
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COVACY WITH ALL TOWN CRDINANCES AND STATE LAWS PCATING TO BUILDING CON- STRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES  WASHINGTON  W	500,40 st X	FRANE FRE SICES
ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN CROINANCES AND STATE LAWS PCCATING TO BUILDING CON- STRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOYE MENTIONED PROFERTY FOR INSPECTION PURPOSES  WHICH ADDITIONS  WHICH ALL  WASHINGTON  WHICH ALL  WHI	to the second se	FURTHER VOK ANTHAL
STRUCTION, AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY TO ENTER UPON-THE ABOVE MENTIONED PROFERTY FOR INSPECTION  MICHAEL CONTROL  REPORTED  CONTROL	ABOVE INFORMATION IS CORRECT. LAGREE TO COMPLY WHEN ALL	The state of the s
PUEFOSES OF THE ABOYE MENTIONED PROPERTY FOR INSPECTION AND ADMINISTRATION OF THE PUBLISHERS OF THE PU	STRUCTION: AND HEREBY AUTHORIZE REFRESENTATIVES OF THIS CITY	
Mesant . Constitute	TO ENTER DECENTION ABOVE ABOVE ABOVED PROFERTY FOR INSPECTION	meri merana di kacamatan di kac
(OVA (I))	1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1	#### 10 #50 6741 50 F 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	and fiffe walk	COLP. CAD
Page 31  Delimination 1 society of the state	Page 31	(0, 80)

### TOWN OF LOS THE

I I II E. MANY ST., LOS GATOS, CA. 30000 REDING INSPECTION DEPARTMENT - PROME 364-4874

APPLICATION FOR PLUMBING PERMIT

P 13919

<u></u>			
	FOR APPRICANT TO FILE IN		61.1986
NÓ.	ITEM & \$4 OF EA. NO. ITEM & \$4 00	EA.	15 Fairbire Place
	MAJER CLOSES TAYOUR SES		DISE OF BUILDING
	BATH 143 CLOTHES WASHER		0/038
7	SHOWER 1/ 12 PROSES		formund Housing Deve
	LAVATORY JOOR DOWN		ACCESS 3292 Pomer Line of
	SAVE SLOOR SILK		City (2.5)
	DISTRIASHER OR NEWS FIN		COMPACION A TOSE SA
	in the first of the control of the c	HE	will 5 Cont
		2.7	MOCHESS 3292 Pometry Ct.
	ASCAE TOTAL X \$4.00 =	75.	Control of the contro
ΝO.	MISCELLANEOUS ITEMS		xxx 503600 270-2224
	HOUSE SEATE (4 10 CO)		Dense 4226 35 UKINSE 31571
	WATERMANER /2 closale 100	5,	S COCCE TO S TO
	WAILE SYSTEM 5 00		CE TOLE
	WATEP 5/47FVER 5 00		
	tAWHISE LINES 600		Water thou trees
	FRIVATE SENACE ESTOSAL 30.00		3 36-8 Shouse
	PARTEMATER STSHEW (OAR)		
1.	Bargany Vost Sor Mouse	70 T	The same of the sa
1			
1			
1.	CASSISTEN 11/0 (2) 1 1000	101	
	ADDITIONAL OUTLETS LOVER S) SOVEN		
]	FREY'I	10 00	
	TOTAL FEE S	31:11	AMA
<b>.</b>	CONTRACTORS DECLARATION		* * * * * * * * * * * * * * * * * * * *
	CERTIEY THAT I AM PROFÉRLY LICENSED BY THE STATE OF CA MINACTOR STICENSE LAW.	UECENIA	
•	Vila 7 Oillax		
1000	and the Company		
	COMPLETE A OF 8		
<b>]</b>	MORRER'S COVER-SATION DECEMBATION		
E	E HEPFLY AFFIRM THAT I HAVE A POLICY OF MORK FENSALON INSURANCE A CERTIFIED COPY OF A CERT	ER'S COM JECATE OF	Programme and the second of th
H,	FENSATION INSURANCE A CERTIFIED COPY OF A CERT THAT INSURANCE IS HEREWITH FURNISHED, AND CAL THE TOWN LEURTHER AFFIRM THAT I SHALL KEPT DIE I	FILE WITH	
A	THE TOWN TRURINGS AFFIRM THAT I SHALL KEEP THE !	ROUPANCE	
	y of Bar of Carlot Van		the second of th
s de la			A service of the serv
. (	ter reality of prevalous flow words s construction of the		
i ii	L CEPTIFY THAT IN THE FERFORMANCE OF THE V WHICH THIS FERMIT IS ISSUED, I SHALL NOT EMPLOY AN	VORK FOR	VALIDATION
i i	TO THE	WOFARS	
12	COVFENSATION LAWS OF CAUTURNIA	ĺ	151(M11 6)/(5/05)010(6 54,65
		1	APPROVALS
	x Frank Poilas		UNDER MODE WEFE
	ண்டு நடித்த ந	1 1 W/h emitehin	ROUGH RIBVANG
	CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE	THAT THE	GAS FRING
OR	OVE INFORMATION IS CORPECT. FAGREE TO COUNTY WITH A DINANCES AND STATE LAWS PELATING TO FLUMBING CO	NUTOWN INSTRUC.	GAS VEHIS HOT WATER HEATER
: TiC	N). AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY	TO ENTER	HOUSE SEWER
UP	ON THE ABOVE MENTIONED PROPERTY FOR THIS FECTION FU	RPOSES.	RUMBING FIXIUSES
			Utally CO NOTIFED 4 -1 4
S 77.	NA X		MARTINE OF INCHINES INCHINES AND ADMINISTRATION OF THE PROPERTY OF THE PROPERT

JOWN OF LOS GATOS N<sub>0</sub> 1079 uilding Inspection Department Location 95 Patroliene Maga Fhora Elgato 4.4520 BUILDING PERMIT Steat Salbackeft. FOOTINGS Build BOND BEAM (CONTINUES). /RemodeD " Move Other Type Structure Occupancy ONGST DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED Contractor ROUGH WIRING .. Valuation. RECEIPT for STUCCO WIRE & LATH as inspection fee is hereby acknowledged. Town of Les Gatos Bullding Inspection Department Page 33 No Utilities Will Ba Cleared Until THE ADDITION TO THIS EXEMIT (Building Complete) Has Been Approved D& BQO \$1.55

TOWN OF LOS GATOS No. 2506 E  Building Inspection Department Phone Eligate 4-4520  Electric Wiring Pormit	Dawner Plagar
Date Court 1 1951 is hereby granted Herece VP Processing to install electrical wiring at above location in accordance with application for Hereby Court Received owner RECFIPT for Character da Carl Dollars as inspection fee is hereby acknowledged.	Wiring only \$1.00 \$ Temporary Polo 1.00 Outlots @ .10 Fixtures @ .10 Motors @  1.03 The Level College Victor for ideacless
TOWN OF LOS GATOS BUILDING INSPECTION DEPT.	
Page 34 By (1997)	TOTAL PEES \$ 1.00

organisation and the companies of the co

TOWN OF LOS GATOS  Building Inspection Department Fhone Rights 4 1520		991 P	Patt vin	u 12 la sa
PLUMBING PERMIT	location			The state of the s
	••••			
Date / 1 2 6		for	Permit	1.00
		1 1/45	er System 1.00	
hereby granted Contact	Plant	Hou	te Sewer 1.00	100
install plumbing at above location	n in accordance w	ith Sew	er Connection 10.00	
			Fixtures 1.00	
Alkation for Michigan	: ½	ner Wa!	er Hester 1.00	
RECEIPT for	Oot	Gar	1.00 enil	
is inspection for is hereby arknowledge			e mamiliana di sebia di kecamatan di sebia di s	and the second second
is imposited to a network examples	<b>.</b>	Ceo	draf Host 1.00	12
TOWN OF LOS GATOS BUILDING I	NEPECTION DEPT.	1		, e
. 1	11 1 A	: .	Appliances .50 tral flest 1.00	
ge 35 By			τοτ	AL FEE \$5
ge 35	1 \$ حر	1		

والمراز والمرا

## YOWN OF LOS GATOS 110 E. MAIN ST., LOS GATOS, CA. 35030 BUILDING INSPECTION DEPARTMENT - PHONE 354-4876

APPLICATION FOR ELECTRIC PLANT

E-14847 %

FOR APPLICANT TO FILL IN					
ITEM	ļ.,,	EA.	S FE		THE GSTANDENCEN PLAZA "
FOR ISTERNICE OF FLERY T	$\sim$	<i>?</i> *'s	10	00	
SHURES SOCIUS CROSTER	1	1		20.	Just Clink
TAMPHOLDING CENCES	1.1	30 EA			TOMES
CUSES, ELCESTACIES SA TORES AT WHICH	8	(		40.	MAN
Castal is constant	18	30.54			- Accaese
क्रकेत्रीक - द्वाराचन दश्यान १ (के. १४२)क १ कर्		2.00	2	00	car 105 6 MT 05 m
WAVES HEATER		2.00			CONTROL 4
BECIRCALSON		17. 6			ALLEN ENSURPRISE
KORPENING BUYO		<b>.</b>			The state of the s
. APPLIAU (CES & ETA) PIVETAT. E CEMBRATCA, APICER,		1			3357 HOLLY DR.
TRANSICE VER MOTORS FER TER IN VI. K. V.A. RAT NO		1		7. 7	on SAN JOSE m
PROFESS 2		240	1		The second of th
CVERT BUT NOT CLERTS	· ·	5.0			1886 415074 C10 888 3398
Oth land percies.	-	1791		i .	
OV # 55		2000			Cost (cost)
UNIVERSE THEIR					With the state of
\$5.15.174.60 Day 8573		12.00	10	00	INSECTION RECORD
Office Sugar	•	4.90	10	W	
MENTS SPREETERS		5.40		,	
MEGGERNATURIENS		2.00		· • ····	
	í · ·	1 '			The second secon
SA MIPOR CHOISE 163 BOD SMERT AND CADENDA				ĺ	1
····	į	<i>\$</i> 0.00		ļ .	
			1		
				† • ·	The state of the s
·				1 	
ree				ŧ •	
n en de de la company de la co					Harrison and the second of the second
	1 -		. e.y	1.	
on the state of th	1,	L.,	107	60	
CONTRACTORS DE			*		
LCERTERY THAT HAM EPOTERLY LICENSE CONTRACTOR'S LICENSE LAW	D BA	THE STAT	EO <sub>E</sub> CALFO	5*:!A	
.1					
sment Pet aller					
COMPLETE A	00.				
Works Connessio		· -			
and the first time of the second seco				د میں این د شام ہوئی جو	
THEFERY AFTIRM THAT I HAV FENSATION "NOURANCE A CERT	<i>ሃ</i> ፋ አ 3	JECY OF MARKET	r Wickler 5 ' A ceptien	ATE OF	
THAT INSUPANCE IS HEREWITH	FURN	\$160,7	NO ON FRE	: With	
THAT INSUPANCE IS HEREWITH THE TOWN THURTHER AFFRANTA	(Atri \$	PARKE	CETHE (1959)	PANCE	
IN EFFECT THROUGHOUT THE JO	ů.				
Scherus X					
ે દારામાં દેવા છે. કેમાં પ્રેક્ટિક કેમાં માટે કરો છે. પ્રાથમિક કરો કરો છે. પ્રાથમિક કરો કરો છે. પ્રાથમિક કરો ક	- S CC	::::::::::::::::::::::::::::::::::::::	1 (4) 2,51 20		N
CERNEY THAT IN THE FERE	7.7.			- 77 K (12	
WHICH THIS PROVIDED IS ESONO, 15	DARE	KOLEV:	NOYANYR	E SON	ROHAGIAV III
IN ANY MANARES SO AS TO FEC	OVES	D3:608	क्षि भर ५०	SVERS	
COVERNATION HAWS OF CHEF	CRIM	r			
			•		APPPOVAIS
				•	Det Newson
and the second					CORRUT
x Bab aller					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
The state of the second se			المستمالية من ما مواه الأراض أقد موارة أحدي		
I CERTIFY THAT I HAVE READ THIS APP	CICAL	<b>KON AN</b>	DSTATE THA	1 7/15	11-24-56
ABOVE INFORMATION IS CORRECT. 1					ENTERS!
Town ord nancés and State Lays Ing. And Hereby Authorize Refresen	የሊተታል አንቲልቲኔ	1505 10 1506 ti	ፈርቴር የአርሳቴ ሲያ ርሳትሃ የሰባ	WAR-	G400,040.93
UPON THE ABOVE MENTIONED PROFES					whetreo 10115 11-24-8
	-				The state of the s
wax Bol Allen			-		we have the second of the seco
Surveyer, FE A					and the second second contract of the second
ge 36					AINAL 12:2-56 C
ge 36	CHS TYME	UTKON 1 .	ه کاک بوده محره ۱۰ در احداد در	S F AVE	en selver a steature a at the Class

### MEPECTION REQUESTS PHONE 364-6877

**B** 20322

BUNDING STREET AVE, BLVD. ETC	SUTE (RAPT NO	The state of the s	DEPT	PERMIT AN	PHOVALS	DATE
95 Fairview Plaza		reo finil MSP D	DEPT A	with.	sur!	1/29/91
S O E STORAGE	DATE	NSO FAIL	EYSTEERY DEPT	TOTAL	v = ≗க.சிர க. என்க ஓகர்	/ /
Rental Apartments	123-90	FED FALL	155	Erry Carlon	· · · · · · · · · · · · · · · · · · ·	-4
Consumity Bousing Developers		<u> </u>	ECHTONS	10 200	نرج.	
111 N. Market Street, Suite 4		-	CCF1	Misson	1	139/91
CITY	2 <sup>1</sup> 95113	FIRMT SB		FEES	AND TAXE	s
San Jose, CA	Pri	FE 1.3 5.8	26501	11884416	10 4230 \$	1 1
Civil & Construction Consultant	\$ 408/437-1858	E LEFT				
1376 N. First Street	State Car Mail All	\$.9 RGH1		MEETIN .	10-4230	J
San Jose, CA	95112	S.B.	DINE.	24	10-4231	
G.E. Chen Construction	415/377-0102	10.s.	<u> </u>	G MA	56-4810	
340 W. 23rd Avenue	(A.131.10) 3(1) 3		PLAY	oece.		
	78°	85.954 See 193	vero	Bitchies	10-4592	
San Mateo, CA	94403	THE GROUP		,	. 47. 17.	
STATE 54322 CONT. LOOK	900022	TYFE				
existi	SOUARE FOOTAGE	Tet		ѩ҈ӄҡҹѣ	33-4110	····/
AAA.444.4	•	Second Section	Q Aut	eret .	31-4110	
Particle System (S. C.) Systems (S. C.)	1226	PCA	.Ω 24%:	ene	35-4110	
ATTERFERENCE NEW () OUTLOS	n ce a	PCE		" ]		
FOOL CL GLASSE CL		PC NEW		. # 1 (0 4 # 1	10-4591	
ones Earthquake repair 1000	2716 <sub>≤9 हा</sub>	PC NEW		(89.4%) 193 ·	7	<b>/</b>
100 CF   576 CF   100	24TS 4	PC	Ü (909)		10-4593	
AFY ELO CO COLO	and the area of the second	FES ACO	. Distort	ibhatto 🐃	Lander Ser	
510-43-018 SAME FOODS	The experience of the property of the control of		ol,	かかい しょくぶつ しゅうかいふくだけが	OTAL S	$\mathcal{L}$
or wood Propair of carthquake da	mage to	Arrana I	v v	PASSECTION FE	coso	
Victorian fourplex. Nork wil	l include	7.1.	-777			
seisale retrofit, plubing &	elec, upyrade &	3.28	1626	natara natu Kraji ya	Alma Call	
some exercitic island \$24	3,000	4			ER-OFF.	SK GA
Books attachent.	ം പ്രത്യക്ഷേത്രത്തെ വി.	4.11.21	_	USUK O BRIÐSKUR O	1830 Elm	2 (E)
HAZANDOUS WATERIALS DECLARATION IS IN S ADDITION OF	sa Driesman and Alleman sectors					18015 To 18
there water grey stutters was noted Directly	₩ <b>3</b>			oller)		(2)
CONTRACTORS DECLARA  I CERTER THAT LAW EXCERT LICENSED BY THE STATE	e da gramma na maranta da anterior de la composición de 🐉	1		per kontrol et a et		
LEENEUS CRUS 4: CR	)					
The second secon	en/		2007			
COMPLETE A OR B WORKER'S COMPENSATION OF CLA	RATION	VAL/DATIO	4		(1731/9) III	BC. a.£u
A COOR TO YOU CORRESPONDENT MATERIAL BASES	A SOCREPENSATION MOURANCE	8		10125		
A CORT LOCGY TO FACER FEATER FOR THAT INSPAND ONLY WITH THE TONNIFUR THE RATE OF THAT IS AND THEOGRAPH THE SOL	reed the markance merieci	<b>1</b>		4: ····································		-011 (0.000) W.
SIGNATURE X Chun-yi C	ren	***************************************		APPROVAL	<u> </u>	
CERTIFICATE OF EXEMPTION FROM WORKER'S COM	PENSATION INSURANCE	TOWERTON T	557%X """	3-1-4/2	HSPECT	08350 083 4#77#4#
I CERTIFY THAT IN THE PERFORMANCE OF THE WI	ONK FOR WHICH THIS PERMIT IS	UNCENTOOR	aals Dageas Kasts Daga			
TO THE WORKER'S COMPENSATION LAWS OF CALFORN		EXTENSA SEAN BALL		4-4.91	(A)	terane en e
SKONUTURE X	ndek nyn i mad distriktion in kommen salatatunnen en alvast met sansaturkkelek Salatatungan in kommen salatatun kommen salatatun salatatun salatatun salatatun salatatun salatatun salatatun s	AD GHERRING		3-8-91	(3.1	
I CERTIFY THAT THAVE READ THIS APPLICATION AND STATE TO COMPECT IT ASPECT TO COMPLY WITH ALL TOWN OPENANCES	and state land felaters to	TUTBOSTI	L.,	-	<del> </del>	Mil Des spreedfields named the best designed as:
BURLING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENT UPON THE ABOAYE MENTIONING PROPERTY FOR INSPECTION PAR		MSIAATON MARIPOCK		9/30/91	(30)	
(x) Chun- gi Chi	en	has one coo	ENA		2	***************************************
e 37		BURDING PER	FI FFWL	6.4-91	Se	
COMP.	DE L'AMPRETION RECORD 2, RESERVA			_		

and the state of t					P 16562
	1 96	1 to 12 to 1	بنستين	·	
(Figure 1)	INC. OF CTRAMA	AMOUNT	) PE	,	91 FAIRVIZIN PLAZA
WATER CLOSET	4	600EA	24	V	RESIDENCE UST
BATH TUB	11	600 EA	34	1	SACHE
SHOWER		6WFA			Colorania Henring or No fels
LAVATORY	4	600 EA	:24	1	III N MARKET LT SOUTE 440
SAX	1	60) EA	24		on shil Jose, (1) 11/113
Dishmasher		60)EA			CONTRACTOR BIOSE
disposer		600EA			WILKORSS COLLY ZOU - 377-0106
CLOTHES WASHER		600FA		,,	RAS WORLD AVE
FLOOR DRAIN		600 EA		i	Shu MATER CO 94403
DOWNSON'S FIN		6 00 EA		1	The state of the s
rannaten system		eooper daln			1882 534.222   1882 9040221/
HOUSE SCINER		15 (O) FA			core need need need need need need need ne
WATERHEATER	4	10 00 FA	140	2.50	PEREGNOVESCONO
GREASE TRUP		1200 FA		1	That counties counties and the counties are considered as a second
gas system		1000 S151EW			The state of the s
LANN SETCYALER		900 SYSTEM			
WATERSYSTEM	1	1000 SYSTEM	160	,	
VACULYETZHER		150EA		1	The second of th
NORMON GENCE		7 50 EA	,	j j	
X 13 CO TOYON SORWOO	\$035	b	1		
RUVE ARUN DIECKREE		and the second s		1	The second of th
N.S. Andrews State St. 11					(S)
er erm veggjægleg spræge i strægengler og ønde men og mege jom fra 9 ser i 1 e				Ì	
CARTIQUAKT I	REM	1172			
no metalento to o care o de la metalección de la media de la composición de la composición de la composición d					
and the second of the second o					
Control of the American State of the Control of the	,		ti nanaman	<u>i</u> _ i	**************************************
rsquarce of Fermat			15	22,	
YOYAL FEES \$	سديو ويور و و		66	<b>}</b>	
COMIRACTO					
DEFENSIVE TO DEFENSE THE FACE OF THE PARTY O	10 61 D.S.1	SINTE CO ENTACOS	/A CONTRACT	(e) \$	
SOUTHER CHUMING	$\gamma$	Kier			
	FIEAC		er er di ilia. Ferrese erie		VALUE TARESTAL CATALOGUE
YXXXERS COVIE		LANGE OF FREE PROPERTY.	name of the second		10/25
THE OF BUILDING STREET, AND ADDRESS OF STREET, AND ADDRESS OF STREET,	CONTRACTOR	яликевнекан	けんくばい ひぞく	AND	
A CERT FRO CUPY OF A CERT WICK TERMS OF A CERT WICK TERMS OF A CERT WICK TERMS OF A CERT WILLIAM TO A		120,007 ( 6550, 116 ±1.			
A ACENT JED CLAY OF A CERTIFICATE CAFE WITH THE TOWN TOWN THE PROPERTY OF A CERTIFICATE OF		1 0.0	7. /		
A ACENT JEDOUPY OF ACERTY CATE CAPTLE MITH THE TOWN TRUSHER AT SIGNATURE X - WILLIAM SIG	Li	Cfre	1./_		APPROVALS
A CENTIAL DOLLAY OF A CERTIFICATE CAFE WITH THE TOWN TRUSHER AND THE COUNTY OF EACH AND THE COUNTY OF THE COUNTY O	WORKER	C. FI. C	1 1 N INSURANC		MTE MSPECTOMS SIG
A ACENTIAL DOUBLE OF ACERTIFICATE CAFFLE WITH THE TOWN TRUSHMENT THE REP.  SIGNATURE X	WORKER FMANCE OF ERSON IN A	S COMPENSATION THE WORK FOR WHITE WANNER SO AS 1:	N INSURANC	MIT IS	
A ACENT JE DOUPLO OF A CERTIFICATE CAFE WITH THE TOWN TRUSHER AT THE DUCK HOLD THE LEG SEARCHER AT THE DUCK HOLD THE LEG SEARCHER AT THAT IN THE PERFORM TO THE WORKER'S COMPENSATION IN	WORKER FMANCE OF ERSON IN A	S COMPENSATION THE WORK FOR WHITE WANNER SO AS 1:	N INSURANC	MIT IS	DATE MSPECTOR'S SIG. UNDERFLOOR WORK PIQUIGH PLIANSING 2-/3-9( GAS PPING
A ACENT JE DOUP OF A CERT CATE: CAFEL WITH THE TOWN TRUST REAL SIGNATURE X  CERTIFICATE OF EXEMPTION FROM  B ICERTIFY THAT IN THE PERFOR TO THE WORKER'S COMPENSATION L  SIGNATURE X  ICERTIFY THAT I HAVE READ TH'S APPLICA	MORKER MANCE OF ERSON IN AN LAWS OF CA	IS COMPENSATION THE WORK FOR WHITE WANNER SO AS 13 LIFO OR MAINER SO AS 13 LIF	N INSURANC NCH THIS PER D BECOME SUR	MIT IS SUFFICT	UNDERFLOOR WORK  ROUGH PLIANNING 2-/3-9/  GAS PPIN:  GAS VENTS  HOT WATER HEATER
A CENT J ALD CLAP OF A CERT IN CATE CAFILE WITH THE TOWN TRUST HER ALL INSCLICTION THE LES  SIGNATURE X  CERTIFICATE OF EXEMPTION FROM I CERTIFY THAT IN THE PERFOR ISSUED, I SHALL NOT EMPLOY ANY PE TO THE WORKER'S COMPENSATION D  SIGNATURE X  I CERTIFY THAT I HAVE READ THIS APPUCA COMPECT: LAGREE TO COMPLY WITH ALL TO PULMBRIG CONSTRUCTION AND HERESY AU	AMORKER FMANCE OF ERRON IN AM LAWS OF CA ATION AND S OWN ORION ITHORIZE RE	S COMPENSATION THE WORK FOR WHI WANNER SO AS TO LIFORNEA  TATE THAT THE ABO WHICH S AND STATE I PERSONTATIVES OF	N INSURANC NCH THS PERI D BECOME SUB WE DE ORMAT LAWS RELATE	MET IS SUFFICE SON IS NO TO	DATE MSPECTOR'S SIG.  UNDERFLOOR WORK  POUGH PLIAMENG Z-/3-9/  GAS VENTS  HOT WATER HEATER  HOURE SEVERY  PLIAMENO I DITURES
A CENT JALD CLAY OF A CERTIFICATE CAFE CAFE WITH THE TOWN TRUST FROM THE CONTROL TO THE LESS SIGNATURE X - LESS TOWN FROM THAT IN THE PERFORM ISSUED,	AMORKER FMANCE OF ERRON IN AM LAWS OF CA ATION AND S OWN ORION ITHORIZE RE	S COMPENSATION THE WORK FOR WHI WANNER SO AS TO LIFORNEA  TATE THAT THE ABO WHICH S AND STATE I PERSONTATIVES OF	N INSURANC NCH THS PERI D BECOME SUB WE DE ORMAT LAWS RELATE	MET IS SUFFICE SON IS NO TO	DATE MSPECTOR'S SIG.  UNDERFLOOR WORK  ROUGH PLIANING 2-/3-9/  GAS PPIN;  CAS VENTS  HOT WATER HEATER  HOUSE SEVER

15

E 18464 FOR APPLICANT TO. 95 TAIRISTN PLATA THUCHEN OUTDOOR LIGHTS USE OF ISM DING .75 EA MODOR LIGHTS RESIDER CINE 75 EA Žī SWICHES 75 EA SVER DESERT YEAROUNAS RECEPTACLES, CUTLETS 10 75 EA W. T. NESIDENTIAL: Space heater disposer dispasser waterfeater was pointed, coolings criters, other sume uplances, i knob SHILL HELD CONTRACTOR CHEST CASALT WALKERS 300 EA COMMERCIAL MEGICAL BENTAL DEVICES, FOCO &
BENTEAGE CAGALETS, KLUMMATED SHOW
CASES, OTHER FOUNTANS, VENCALAS
MICH, LAWORY MICH, OTHER SHALL 316 Hazzy AVE SAU MATER AFPLUNCES I KHICHLESS 30) EA LANCE APPLIANCES POWER LYTHING HEATTH LARCOID FOUR COOK VA LEADING FOUR OF BRUSHE BY CANCES NOTICE: & ATTACATUS OF RELAW 7 50 EA 1. SIGNS ARE REGULATED, SEE PLANNING DEPT. 2 OUTDOOR LIGHTS ARE REQULATED AGAINST SHOWING GARRIDEN 15 00 EA ON OTHER PROPERTIES, AND PUBLIC HIGHT OF WAYS OVER 50 KW 30 (O) EA SHOESTRING LIGHTING HOT PERMITTED CHRIDIN 45 00 EA ENTENAY (FER LODFLET) 4 50 EA GYAP 9655 15 00 EA SERVICE FOUP, NOT ON A ZO MISS 15 50 EA E-Syechon record SERVICE EONS OVERSONASS 37 50 EA 3-13-91 K.O EUC. 10 WALL OF SERVICE FOUR OVERSIONALIS 75 O) EA KENCEPLEOR WE BASEMENT REALD SUBSTANCE 11 (O) EA SI SCI AFFARATUS CONDUITS & DONOUCTORS 11 (O EA TENYOWAY POMER POLE 55 00 EA TENTOSKAT DOMIRAD STSTEM 7 50 EA SAMMA POOL SYSTEM 30 (0) EA NEW RESCENTIAL CONST. 50 FLX \$ 939 = ELEC SICAL FLAN CHECK FEE CACTHAONKE LEMM squave of Fefalt 15 (3) E. O. CONTRACTORS DECLARATION gentices aberthas interrepartion and tensurestau COMILETE A ORB MORKER'S COMPENSATION DECLARATION 13351111 THEREBY ATTENTIVATIVATE A POLICY OF MYDYERS CONTROL VALIDATION \$173179£1Hf6 1. ( ACCRESSOOF OF ACTRISHMENT OF THURSON OF CONTROL OF THE TOWN OF ACTRISHMENT OF THURSON OF THE TOWN OF T 19:25 APPROVALS CERTIFICATE OF EXEMPTION FÁON WORKER'S COMPENSATION INSURANCE I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERFOT IS ISSUEL I BHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO SECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA CONCLUT -13:91 -4:91 -4:71 PIOUGH WIRING SERVICE EQUIP. SIGNATURE X FOUTURES ICERTY Y THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT FASREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HONGER AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTONED PROPERTY FOR INSPECTION PUMPOSES. GACUNDING UNITED TO NOTE Hem " Page 39 IPPOTIQUE RIBOGRIO & ENTERNA PRICORDI & PERMITTEE 4. TOWN CLEMA

HEP-ECTION REQUIRETS PHONE 364-4677	T. ST. 1	64-967¢			6.74.22	M	10739	1
s i mandagas de sin	. 4.5		7	:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			
	25				BUILDING ADDRESS \$11	EET. AVE, BLVD	APT NO	
FON	-	AMOUNT	\$ PEE		25 FAIRVIEL	1 1/1/21	105 611/05	
FURNACE	2.	1500 EA	1.00	<b>(%)</b>	USE OF BURDONS RESIDENTING	2		
DUCT OUTLET OR REGISTER		100 EA	.\		06468	Er was	The same of	
AR CONDITIONER		15 00 EA	1 1		COMMUNITY H	CHS11116 . 62.	7.10	
FIREPLACE		1200 EA			111 1JORTH 1	1588191	ST Solly 44	
INSTALLATION, REPAR OR ALTERATION					SAN JOSE	('1-)	Je113	
OF HEATING UNIT, A.C. BOLLER COMPTESSOR OR AIT HAVOLER					the second section of the second section of the second sec	CONTRACTOR AND A SECTION ASSESSMENT		9
		1500 EA	1 1 1		E. E. CULIJ CO	411	( · 377-e167	
VENTRATEN FAN		A3698			34°C (7 5359	nve		
HOOD, FESCENTUL		1200 EA			larr		20403	
HOCO, COMMERCIAL		22 00 EA			SALL MATEO	and the second of the second passage, a	المعاجب والمتعيدية والمتعادية	
AUE, VENT	- ~	600 EA			10 1 2 2 2 2 3 4 2 5 2 2	TOAN UCENSE	4020	
LYAPORATA'S COOLER		12(0) EA		••	RCPH)(6	11/112	(1.112). (22.2)	, j
SOLACOLECICA	1-1	2500 STSTEM	] · · · [-]		TO SER TO LET BOUND	4x 1, 10 c	2 11.5.(A) 76.K	7. B
OTHER VECHANION AS PLUNKE	11	1200 ŁA		٠				3
acus		1000 SYSTEM	[	***				<b>A</b>
	.l 1	MARCHON		•				
A STATE OF S	) <u> </u>					والمراجع المراجع		
นทหนองม					CUOFA	USEZONE (	COCESSED BILLONE	. 1
**************************************	<b></b> , .					SSECTION LEGS	Den 13/119	/ ·
			}					*****
					***** ** ** * * * * * * * * * * * * *		A COMPANY OF THE STATE OF THE STATE	
					2 · · · · · · · · · · · · · · · · · · ·			·
The second of th		······································						
						-	**** (	
								- 1
			<b>i</b>	\				
				l.	S	<b>.</b>		
						,		. ]
BRURECHERN			15	ŀ.				-
TOTAL FEES \$	***	a rigin i gran gjagagan i i g	$\mathcal{L}_{\mathcal{G}}$	)				. [
TOTAL FEES \$ COMMISCIONS ICESTRY THAT I PHENOCOLY INCOSED 6 INCOSELIA  COMMISCE X (1/1/1) (1/1)	DEC		···			· .		
LICESTEY THAT I PHENOGENEY ENGASED B	1 1685	STATE OF GULFOR:	en contracto	98			4.4.	
Convex Chilan : To	. (	Allen	<i>*</i>			•		
COMPLET	EAO	A B		. [	ANTONION			}
WEYNERS COMPENSA		man a min and the form			1/10/1/201			
ACER YEOCOFY OF ACEANY ACEAN	HATEIS	GRANT GICTOVA	HILLENSON S.	t NO				
THEOLOGICAL THE TOWN TO THE ARTER	a irati	SMITHERNENS	ARUW(EMER	ECT		83011E 03	/01/91101//	6.0
BIOMATURE X CHECKIN	<u> </u>	CM.		[	62	APPROVALS	and the first of the comments	
CERTIFICATE OF EXEMPTION FROM VIC				-		T OATE	- MENECTOR'S SIG	
I CEPTIFY THAT IN THE PERFORMAN ISSUED, I SHALL NOT EMPLOY ANY PERSO	ini die also	Y MAAMER SO AS TO	ich this perm Become Subu	it is ect	UNDERFLOOR WORK DUCT WORK	2-8-91	(DW)	
TO THE WORKER'S COMPENSATION LAWS	OF CAL	FORMA			FLUES VENTS	5-8-91	(50)	
SIGNATURE X	444.5		eric e contra de que proper espera		COMBUSTION AR OASTEST	6.4.91		
I CENTIFY THAT I HAVE READ THIS APPLICATION CORRECT. I AGREE TO COMPLY WITH ALL TOWN MICHANICAL CONSTRUCTION, AND HEREBY AUT	URLINA	MILLES AND STATE E	AMERICATION	1.3.2	Code (Code (			
BITTER UPON THE ABOVE MENTIONED PROPURTY	PORIN	PECTION PURPOSE	S OF THIS CITY S	10	materials at made a symp. As you assume assume, apply 1994,		ere alle medie ser men eren men men e gemen et en en en elementale en elementale en elementale en elementale e	
- X CHILL		Mila			and the second of the second s			1
e 40					PPA	6-4.81	Tow	



## TOWN OF LOS GATOS COMMUNITY DEVELOPMENT BUILDING PERMIT

Work Description:		Applied:	01/29/2019
Description.	DEMO CARPORT FOR APARTMENTS 493 SF	Approved:	01/29/2019
Status:	ISSUED	Issued:	
Address:	95 FAIRVIEW PLZ, LOS GATOS, CA 95030	Expires:	7/28/2019
Owner: Contractor:	COMMUNITY HOUSING DEVELOPERS 255 N MARKET ST #290 SAN JOSE, CA CA 95110 DE ROSA CONSTRUCTION INC 1336 OLD BAY SHORE HWY	Phone:	408-289-8600
Liannes Na :	SAN JOSE, CA 95112		
License No.:	1031183		
Job Value:	\$0.00	Buildings:	1
Total Sq. Ft.:	<\$SQUARE_FEET\$>	Houses:	0
Building Use:	<\$BUILDING_USE\$>	Census #:	649
Occupancy Type:	<\$OCCUPANCY_TYPE\$>	Construction Type:	<\$CONSTRUCTION_TYPE\$>
	Total Fees	\$422.90	
	total Payments	\$0.00	
=	Total Payments	\$0.00	
=	Balance Due	\$422.90	
I hereby affirm un Division 3 of the B License Class Expiration Date WORKERS' COMP UNLAWFUL, AND DOLLARS (\$100,00	ACTOR'S DECLARATION  der penalty of perjury that I am licensed under provisions usiness and Professions Code, and my license is in full force.  California Contractor License No.	\$422.90  of Chapter 9 (commencing we and effect. 3 // 8 3  E WORKERS' COMPENSATION AND CIVIL FINES UP TO ONE	I COVERAGE IS HUNDRED THOUSAND



## B19-0071

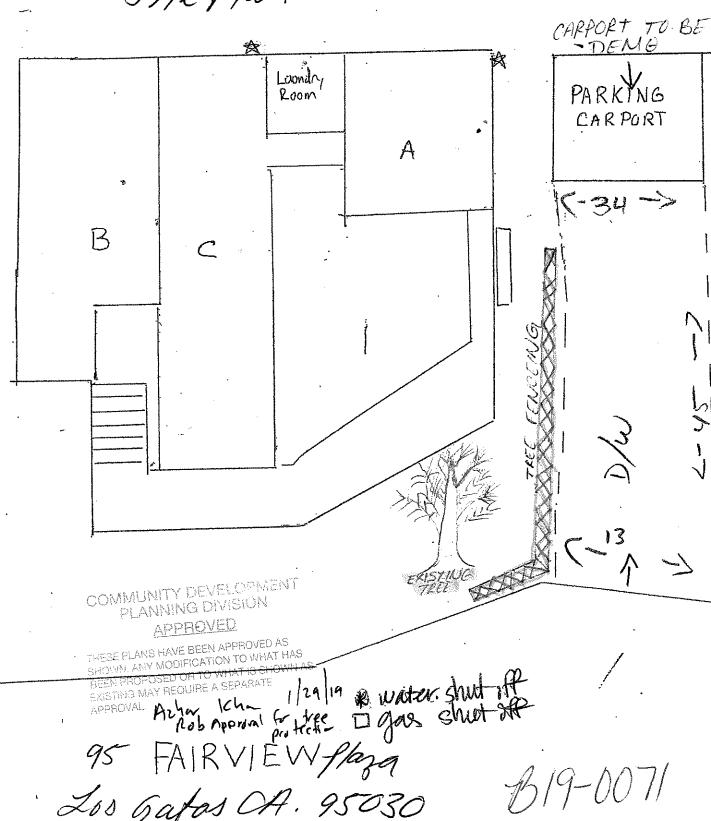
### TOWN OF LOS GATOS DEMOLITION APPLICATION

You must obtain approval from the project planner. **Provide three copies of the site** plan with ALL structures, tree protective fencing and utilities shown and the structure(s) to be demolished clearly indicated for the project planner's approval.

15 1-10111010 Plana

Property Address: Los Gatas CA. 95030 Owner's Address Community Housing Developers	Owner Name:
Contractor Name: Ne ROSA Carel Fre. State License No: 105 11 83 License Class: X	Contractor Phone: 108 836 - 696
Description of Structure to be Demolished: 4×4/10 Use of Structure: Vehicle ganking. Total Habitable Sq. Ft.: 4937 Total Unimabitab	os / - Oloply - (CAR por T) APN: Attached? □ Yes > No
Architecture & Site Approval? No 🗆 Yes Approval	oplication No:
Agency Approvals Required:	
☐ Bay Area Air Quality Management District 939 Ellis Street, San Francisco (415) 771-6000	J Certificate must be attached.
□ Pacific Gas & Electric Co. 10900 N. Blarney Avenue, Cupertino (408) 725-3325	WRITTEN verification from PG&E indicating utilities have been disconnected is required:
□ West Valley Sanitation District 100 E. Sunnyoaks Avenue, Campbell (408) 378-2407	Agency Signature
□ Santa Clara County Fire District 16795 Lark Avenue, #200, Los Gatos (408) 378-4010	Agency Signature
I certify that I have read this application and state th to comply with all town and county ordinances and and hereby authorize representatives of this Town	state laws relating to building construction,
Signature: 1000000 N:DEV/Forms/Sulfaing/DemolitionApplication	Date: // Z 8/19 Rev 11/07/16

Site Plan



### Anne Bloomfield

### ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

File address 95 Fairview Plaza
PARCEL MAP INFORMATION
Parcel # <u>5/0-43-0/8</u> Lot size: <u>53</u> front ft. x <u>675</u> ft. deep
Lot shape: Rectangle L Rectangle with small rear jog Other hat/cone
Location: N / S E W side of F St Ave Other Plaza  distance to cross st: 4532 ft. N S E / W from Fairve Av / Oak Known
distance to cross st: 4 532 ft. N S E W from Fairvo Av / Oak Know
at NE NW SE SW corner of
HISTORIC INFORMATION ON PARCEL MAP
Old tract or subdivision name Fairview Adn Old Block # Old lot # plns 1/4/2
FIELD SURVEY INFORMATION (handwritten in red)
Preliminary rating + Estimated age 1890s Style Overn Anne # stories
Alterations
Other
COUNTY ASSESSORPROPERTY CHARACTERISTICS (paste on copy) 8787 EFFective date
TO STATE OF
OWNERSHIP SHOWN ON MAPS
Source Source Location of property, or Lot Owner  Name Date Page Old tract/block/lot Size Name
1891
B1k Book 1908
<u>Survey</u> 1944
MISCELLANEOUS PHOTOS: Roll/frame # O24/5 Date /8 // 90 National Register listed date
County Inventory 1979
Town of Los Gatos: Designation Recognition District Name
Previous Survey CAR 1895 AEG 1885
LUATION: Date 893-94 Cto San Alterations: Moved
District Non-contrib Addition Siding Windows Condition ATTACHMENT 4

Designer: a\_ b\_ d\_

## Anne Bloomfield ARCHITECTURAL/CULTURAL SURVEY NAME RESEARCH

ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO, CA 94115

DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)					
BY	Book I	ORY SEARCH (City Direct	n Listing (copy entire, exactly as shown; use * for boldface)		
261	160	Fairview 95	Ormsbee Silver S (Agres) 5 222 Alvertial		
15	SID	Peck, Wesley	(BH Nable + Co) & notary + Farryiew		
1	1	n Miss Lill			
	n	Noble BH&G	(Ben, HN-+ W Feck) realest + ins. E Main no 1258		
100	460	Peck W*	real est, ins. Lyndon blk, - ly Fairve as		
	A	Thackerys FW	derk		
		1 paces 175			
-		-			
-					
_					
	BIOGR	APHICAL SEARCH, indexes	/initials date		
-	BIOGR Mark	APHICAL SEARCH, indexes	& other alphabetical listings.  ag found) at each source you try. List findings below.		
-	Mark	APHICAL SEARCH, indexes 'X' (infd or '#' (nothin	& other alphabetical listings.		
	Los C	'X' (infd or '#' (nothin Gatos Library: ity directories (na	California History Center, De Anza College:  Biographical file		
	Los C H	'x' (infd or '#' (nothin Gatos Library: ity directories (na istoric Collection	California History Center, De Anza College:  mme & street index) Index (green boxes)  List findings below.  California History Center, De Anza College:  Biographical file  Photo collection		
	Los C H T	'x' (infd or 'f' (nothin Gatos Library: ity directories (na istoric Collection hompson & West, 187	California History Center, De Anza College:  Biographical file  Index (green boxes)  To (bio index)		
	Los C H T	'x' (infd or 'f' (nothing Gatos Library: ity directories (nation is considered on the constant of the constant	California History Center, De Anza College:  Biographical file  Index (green boxes)  (bio index)		
	LosC HT PS	'x' (infd or 'f' (nothing Gatos Library: ity directories (naistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flo	California History Center, De Anza College: Biographical filePhoto collection  76 (bio index) (bio index) (bio index) (bio index) (bio index)		
	Los C H T P S G	'x' (infd or 'f' (nothing Gatos Library: ity directories (national istoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio index)	California History Center, De Anza College:		
	Los C H T P S G	'x' (infd or 'f' (nothing Gatos Library: ity directories (naistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flo	California History Center, De Anza College:  me & street index) Index (green boxes) To (bio index) (bio index) Therefore, De Anza College:  ——Biographical file ——Photo collection To (bio index) (bio index) Therefore, De Anza College: ——Biographical file ——Photo collection To (bio index) To (bio index) To (bio index) Therefore, De Anza College: ——Biographical file ——Photo collection To (bio index)		
	Los C H T P S G S	'x' (infd or 'f' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 1870 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio index) awyer, 1922 (bio index)	California History Center, De Anza College: Biographical fileBiographical filePhoto collection  76 (bio index) (bio index) (bio index) (bex)  San Jose Historical Museum: Great Registers (of voters)Indexes		
	Mark Los C H T P S G S E	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio in extended index to Br	California History Center, De Anza College:  Biographical file  Index (green boxes)  (bio index)  biowers, 1895 (bio index)  Mex)  California History Center, De Anza College:  Biographical file  Photo collection  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Photo collection		
	Hark Los C H T P S G S B	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio in extended index to Brio index of Munroe	California History Center, De Anza College:  Biographical file  Index (green boxes)  (bio index)  Weers, 1895 (bio index)  Mex)  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)		
	Hark Los C H T P S G S B	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio in extended index to Br	California History Center, De Anza College:  mme & street index) Index (green boxes)  (bio index)  mers, 1895 (bio index)  makex)  San Jose Historical Museum:  makex)  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  boxes)  Other sources:		
	Mark Los C H T P S G S E B P	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1988 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio in extended index to Britania io index of Munroe hoto collection (2	California History Center, De Anza College:  me & street index) Index (green boxes)  (bio index) (bio index) (wers, 1895 (bio index)  makex)  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  Other sources:  Indexes, California Historical Quarterly		
	Los C C H T P S G S E B P Los	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio indawyer, 1922 (bio in extended index to Brio index of Munroe hoto collection (2)	California History Center, De Anza College:  me & street index) Index (green boxes)  (bio index) (bio index)  (wers, 1895 (bio index)  makex)  Makex)  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  boxes)  Other sources:  Indexes, California Historical Quarterly  State Library Information Index (fiche)		
	Los C C H T P S G S E B P Los D	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio index awyer, 1922 (bio in extended index to Brio index of Munroe hoto collection (2) Gatos Museum (Forbe eath records by year	California History Center, De Anza College:  mme & street index) Index (green boxes)  (bio index) (bio index) (bex)  Mex)  Mex)  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  boxes)  Other sources:  Indexes, California Historical Quarterly  State Library-S.F. Newspaper Index (")		
	Mark   Los	'x' (infd or 'p' (nothing Gatos Library: ity directories (natistoric Collection hompson & West, 187 en Pictures, 1888 (unshine Fruit & Flouinn, 1904 (bio index awyer, 1922 (bio in extended index to Brio index of Munroe hoto collection (2) Gatos Museum (Forbe eath records by year	California History Center, De Anza College:  me & street index) Index (green boxes)  (bio index) (bio index)  (wers, 1895 (bio index)  makex)  Makex)  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Frazer, 1881 (Survey box)  boxes)  Other sources:  Indexes, California Historical Quarterly  State Library Information Index (fiche)		

### Anne Bloomfield

### ARCHITECTURAL SURVEY ASSESSMENT ROLL RESEARCH

File Address 95 Fair view	Tract/Block/Lot	11+12	SEptas)	)
---------------------------	-----------------	-------	---------	---

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or mroe. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

Date Page	<u>Name</u>	Lot Identific Tract or Acres N Bdy	Block or Lot # or E Bdy S Bdy W Bdy	Assess	ment for Improve- ments	Other Info.
1891 20	McCollagh, F.H.	Fair Vu Ada	89,10(11,12) 13,14	\$/380	<u>\$</u>	
1893 37	Peck Wesley	n	3 (1,12)	510		also lot 2
1897 17	n	п	11,12	340	1,500	n n2,3
1900 -	и	7	3,11,12	540	1430	50 PP +6+3
			· <u></u>			
· ·						
					_	
Page 46						

Page 46

File address 95 Fairview

### Anne Tomfield

### ARCHITECTURAL SURVEY

ARCHITECTURAL HISTORY

(415) 922-1063
222 BSTER STREET
SAN FRANCISCO, CA 94115

Tnitiale

BUILDING RESEARCH PUBLISHED ANNOUNCEMENTS \_\_CA&BN \_\_Call \_\_Chron \_\_DPB \_\_Ed\_AB \_\_EX \_\_News \_\_PCA \_\_\_\_ Other A&R Bulletin Source: Date Page Notice of completion \_\_BP issued \_\_Photo \_\_Elev/sketch/rend'g \_\_Floor plan \_\_Arch't/cont'r pub Real est Nature of announcement: Contract notice Copy exactly: Architect/Engineer Location Nature of work Builder/Contractor Owner Cost Initials Date BUILDING PERMITS Address requested Bldg's Source: Permit Use/ Owner Builder/ Arch't/ width/ Register, Press-Application No. of contr. & engin'r depth/ Exterior Date Dem., or . . . Location Units address Description of work Materials Cost & address height Number address nitials date OTHER SOURCE (specify thoroughly) Initials Date SANBORN MAPS Color: Vac. yel, pnk, No. of Patches orange or Date of Describe or sketch No. of Height bay Vol/ dif. Yes/ blu, gry PORCH windows plan constr. Address stories page bldg Page 47

			4.666	
עוד	1 6 1	17F	ועטי	LTN
		12 5	1.10.1	26.6 4

turn oine l atos. (

Page 48

#### Los Gatas Museum Association Historia Home Survey

e number:	A	Phone:	
95			
Present o	wners: Mr. Francis	Bricmont	Phone: 354-8577
Estimated	construction date:	L.G. AEG 1885; C	
Ownership:	E	uilder:	
0	riginal:		_ Occupation:
1923	19_: Peck (D.	Rankin)	retired methodist minister
(year3435	,369 42 John Har	rison Green (wife, Ma	argaret) "
Dat Chase)	19_!		11 11
(Propert	19_:		n n
(Present)	19_: Mr, Bri	cmont	n n
Occupants:	5.5. Drm	shee	
1924,35,	3619_: 5.5. Drm: Benj. Ayı		Occupation:
	1954: 3 apts.	isted	11 11
	1955: 4 apts 1	sted	п
	19 :	ented	11 11
emodeling; (I	Please identify	information source	and year of change.)
ens renovate	d the barn in 20	's which is now 90	o the Norton House, Origina
eens renovate Green made i via de Havila	d the barn in 20 it for his Mothe and had lived he	's which is now 90 r and Mother-in-la	

## The Marvel of Electricity

is no more wonderful than the marvel of how small deposits regularly made in a savings account at 4 per cent interest will grow into a large sum in a few short years: USavinge Deposits in IIIIS, a National Bank are under the supervision of the United States Government.





#### OFFICERS:

Hamshor, President . Knowles, Vice Pres. H. L. Roberts, Cashier O. E. Lapum, Asst. Cashier

HELP THE ORPHANS

and because someone had packed

through the sailing of the Esther places until 1884, when on ac-Dollar ship, June 6th from San count of failing health he retired May 28, at Wagner & Wright's Francisco harbor, on its special from the ministry and came to

HELP THE ORPHANS

| knocked at the Near East orphan-flower, Oakland, by June 2. Communications, are being made in through local chairman, R. D. Society every Monday evening at through local chairman, R. D. Society every Monday evening at through local chairman, R. D. Society every Monday evening at through local chairman, R. D. Society every Monday evening at through local chairman, R. D. Some time her health has been the Subjects are on practical gradually failing and so quietly christianity. All are invited.

ed little body, because someone 333 Mills Building, San Franhad taken time to ransack her cisco. wardrobe at the time of the last itornia. "Everybody's doing it" in Cal Near East call for worn clothes,

MRS HARRIET C. PECK "Aunty Peck is dead." This

in the hold of the vessel his gift of condensed milk, donr and was the news that was quickly For two years frieght charges circulated through our city on have been prohibitive, but now Tuesday of this week when it be-California has the opportunity of came known that Mrs. Harriet C. her as a frue Christian woman. sharing in this kind of giving. Feck had passed to the eternal. The funeral services, were iome at 5:30 that morning, thirty-seven years she had been

call to the Christian ministry and dedicated his life to that work at the funeral. For nearly sixty-three years they walked life's way together. In 1864 they came to California and Rev. Mr. Peck served in various

errand of mercy to Western Asia, Los Gatos to recuperate, So Robert Dollar, himself, has promquickly did he recover that he the food is sold, soon telf able to resume his minised \$5,000 worth of beans, soon telf able to resume his minin Santa Clara and Monterey charge of the local Methodist spend the next two months. counties, and everywhere the Episcopal church that same year, state "Bundle Day", May 25th, He continued in this pastorate. The Christian Assembly Sowill yield carloads of worn clothes for three years and then permanciety of San Jose gave its weekly account to the continued in the permancient of the christian assembly sowill be the continued in the continued in the christian assembly sowill be the continued in the continued in the continued in the christian assembly sowill be the christ for the orphaned "kiddies", and nently retired from the ministry extension lecture Monday evenand made this his home. Seven ing at the History Club Building years ago Mr. Peck died, since Mr. Wm. Farwell spoke on Suc-

did slie finally slip away that it was really a surprise to those who had actually been anticipating it for some time. She was a woman of noble character and becoming dignity and though her mind had been failing for years she still exhibited up to the last those fine qualities that marked planned for today to be held at

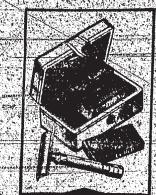
a citizen of this place and for the home in charge of her pastor. over ninety years she had been a Rev. A. C. Shepherd. The remains will be taken to Santa Cruz for burial to rest beside her anezovia, N. Y., March 24, 1831. husband and four children who the was married on the 17th of have all preceded her in death Feb. 1851 to Wesley Peck, then a A number of neighbors and the oung farmer who later felt the grandson, Elbert Wesley Peck,

W. C. T. U. FOOD SALE

The W. C. T. U. will give e home cooked food sale Saturday, real estate office 13-1-2 Santa Cruz avenue, from 10 a, m. until

For the Man Who-Shaves WE HAVE A NICE ABSORT MENT OF GENUINE

BAPEW BAZORS



ALSO EXTRA BLADES FOR ALL POPULAR MAKES OF BAFETY RAZORS

idleyis

**Ehermasy** The Recall Store ice Delivery Phone 90 LOS GATOS

## SSTHEREOPIENEY KIOW? The Northern Markets gostimus to show a stronger tone in all lines.

LUMBER TALKS LOUD AND STRONG AND SAYS

Don't fail to get our bid on your bill of materials, as our prices are low and we have some real bargains. Lumber, Mill Work and Finish in either Redwood or Pine. Trade at your own home vard.

## los Catos Limber Co

Branck Offices in Tacome, Wash., and El Paso, Texas.

The HOME Yard

School will be dismissed at is for the "Wild Cat."

Mr. Daily's sister-in-law, Miss Evelyn Bently, of Los Angeles, school this week.

Came here to join the sophomores. The senior class is beginning shall be act like "chickens with their heads off", as the close of school great success. We are anxious to find out the total success.

assembly a committee was here to sell tickets to the students.

The "Wild Cat", it has been reported, will be on the press by the closed and our team is very near the front rank. Friday, we were interest show the operation of the care and the orchestral will be done by exhibitors. defeated by only one run at Santa clara, the score being three to two. Santat Clara takes the L.A. U. pennant this year. This to us by Miss Meeks a week ago

The operate and the orchestra are very glad that they do not have to practice any more for it to us by Miss Meeks a week ago

The inter-class track meet place in the league but this place. The freshman English literations no award. Next year we feel confident of taking first place in baseball.

Dooks in record time now.

The freshman English literation owing to the Chautauqua. The history III class has taken up the study of civics.

Nominations for the Princess and her attendants are coming in the fresh own reading.

Keep on the lookout for the date of the date of the big track meet of the L. G. H. S. It is coming in the near future, the exact date is not yet decided. Gome and boost for the boys. Practise makes perfect, and some day we will have such the students are now begin.

Dy Mikels.

Mr. Snow has arranged the proposed. In Lidley's Pharma Every one is elegible to yote to register as soon as possible; so all misunderstandings can be settled before school closes.

The students are now begin.

This year once more the people

The sophomores had charge of the gandy sale at the operatia last Tuesday. The amount made at the sale was over thirteen dollars. The Interclass track meet is due to come off this week, no special date has been set.

A picture was to be taken of the lavor-was 14 to 2. operetta cast last Friday, but as Thursday afternoon the cast of the weather was bad it was post- the Senior Play had several group

week we play Campbell whom we have worked wonders. Every one which was to have been held the have defeated once. If we are seems to want to finish the new 27th of May has been postponed books in record time now. owing to the Chautaunus

and some day we will have such atheletes that no other school The students are now begin-will be able to excell us.

Last Tuesday the Los Gatos tion. The statesmen of foreign lands second ream played the Campbell speak in praise of the fighting men we second team on the home dia- sent abroad; their armies and navies

attend the Chautauqua may do the students for our pageant second year drawing classes to Stanford University to see the Helen King was a visitor at paintings in the museum and the

The manager of the Chantauqua draws near. Wonder why?

to find out the total sum made, but must patiently wait until all the magnets that is the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and tickets have been drawing hundreds to the tents of the money and ticket talk upon the origin of the Chan tacle. The girls wearng organdy turned in. The student-body ex. the 100 Percent Club Exposition tauqua and told us something frocks in the pastel shades and the tends its thanks to all who con-

very fast. Their names will be posted in Lidley's Pharmacy,

. This year once more the peoples of the countries with which the United school days left. We are very pleased to know we only have understanding of Decoration day, and three more weeks of school this in every thoughtful and considerate way are contributing to its celebra-

with flowers the graves of the stranponed until Monday. The picture pictures taken. These are for use in distant lands our dead sleep will gers, Mow much of comfort the words and acts of those at whose thresholds two-thirty siter Tuesday of this A saflor box has been placed Thursday afternoon. Miss children in all parts of this country, attand the Chamberlin took her first and nobody can say, for their message in treasured in bosoms whose grief and nelde does not find or seek expression in words.

## AUTO DISPLAY AT 100

about this year's program. After unique setting will add charm to tributed to the success of the display of motor cars. Practically a semmittee was here to the caremonics.

Operate. at Sai Jose this week is tthe fine all of the better cars are on display in the automobile tent and from the great interest shown by visitors, considerable business

Among the first sales made at the Exposition was that of a Sheridan Four equipped with Disteel wheels and finished in deep purple and gray with gray leather upholstery

The Sheridan Exhibit has atattracted rather more than its share of attention and praise and the Bradford Motor Company is very proud of it. A new Sheridan Sedan, the first on the coast, represents the finest work of the famous Fisher Body Corporation, subsiditary company of the

General Motors Corporation. The Fisher Body Corporation build the closed bodies for the Cadillac and many other high class cars and in the Sheridan seen the same quality of workmanship and materials that are used in the much higher priced obs will be found. Among the inovations in the Sheridan body mond. The score—in Campbell's pay the tribute of brave men to brave the rear seat, a heating ventilator are the ventilator in the roof over

in the tonneau floor, arm rests fitments as the buyer may desire,

for those in the rear compart- Across from the Sheridan is a ment, silver finished door pulls, snappy Feerless Sport Model finished in red with red and nickle Also in the Sheridan exhibit Disteel wheels. The Bradford are a five passenger roadster. A Motor Co. also handle the Peerare a five passenger roadster. A Motor Co. also nancie the reci-note on one of the cars indicates less Eight, which enjoys the that the Sheridan factory will reputation of being one of the supply their cars in any color, any most reliable and economical upholstery and with such special eight cylinder cars on the market.

TONICHT

JAMES OLIVER CURWOOD'S "ISOBEL" or "THE TRAIL'S END"

This rugged romance of the Far North has been the recipient of as much praise by critics as any other production of the season. The hero, a Northwest mounted policeman, cherishes the blue flower as the symbol of pure and faithful womanhood. The woman he loves married to the man he has sworn to capture dead or alive, prays that he will find "his blue flower of happiness." She, of course, becomes the living "blue flower" of the man's hopes and ideals.

How he finds his happiness at the end of the trail composes one of the most absorbing romances of the north ever screened. The cast is headed by those sterling players, House Peters and Jane

Added Attraction Al St. John in "Fired Again". Two shows nightly 7:30 and 9:00

15 and 35c Friday May 27th

"LOVE HONOR AND OBEY" with AN ALL STAR CAST Added Affraction Thirteenth Chapter of "FIGHTING FATE" 15 and 25c

Saturday May 28th, WANDA HAWLEY in "THE HOUSE THAT JAZZ BUILT" Adapted from the Saturday Evening Post story, "Sweetie Peach". A domestic comedy that's a "knock out". Pathe News

Pathe Comedy

### ANOTHER GONE.

4

### The Last of Their Children Buried

Obsequies of Miss Lillie, Daughter of Rev. Wesley Peck.

The death of Miss Lily Peck daughter of our esteemed townsman Rev. Wesle Peck, occurred last Tuesday night at eleven o'clock. Her demise was not unexpected as she had been ill for a long time of comsumption and the question of her departure from this life was only a question of time. In the death of Miss Lily Mr. and Mrs. Peck lose the last or their children. Two daughters and one son had blessed their union, but one by one they were stricken down by consumption and today they all sleep side by side in the cometery at, Santa Crus-the beautiful City by the sea. Miss Lily, Peck was born at Ione, Cala. Apri 1st. 1869, and at the time of her deathl was over 26 years of age. She was of a modest retiring disposition and her. whole life was centered in her home and in her church in both of which she was equally esteemed and beloved. She was a member of the M. E, church and Sunday school, in the latter of which she had a class of 15 young girls, to all of whom she had greatly endeared her self.

The funeral took place on Thursday. Services were held at the family residence, Rev. Dr. Dennett, delivered a short address full of tenderness and hope and a select choir consisting of Mrs. Perkins, Misses Grace Hood, Jo Thomp son, Grace Hall, Emma Baker, Matie Bookhout, and Mssrs. Baker and Spencer rendered appropriate selections.

As the friends passed the bier to take a last farewell of the departed each of the girls in the Sunday school class recentir taught by Miss Peck deposited a boquet of white lilies on her casket, tokens of the immortal remembrance in whice she will be held by all.

After the services the remains were conveyed to the depot where they were put on board the 10:40 train and follow ed by sorrwing friends conveyed to Santa Cruz where they were laid to rest by the side of her brother and sister. Mr. and Mrs. Peck have the profound sympathy of every one in their affliction.

#### Quite a Fire.

At about half past eight o'clock on aglow to the southward and it soon developed that the dwelling house of "Dad" Wheaton, located on a little flat on the east side of the creek and near the bridge was on fire and evidently doomed. Hose Co. No. 2 turned out with their cart but was found that there was not sufficent hose to reach the building from the nearest fore plug and so the firemen with others were compelled to stand by and see the dwelling together with its contents consumed, Mr, Wheaton was away at the time the fire broke out, having been away for several hours, and did not know of the fire until his home was in ashes. has no theory whatever as to the origen of the fire and it will perhaps always remain a mystery, The house was worth \$600, and the loss was partly covered by insurance.

#### Resolutions of Sympothy.

At the Methodist Preachers Association held in Los Gatos Monday afternoon | Book and News Dealer and the following resolution of sympathy Agent for the sale of But and condolence with Mr. Mrs. Peck was tarick Patterns. passed: "We your brethen in the ministry and members of the Santa Clara Country Preachers Meeting desire to express to you our deep personal sympathy in the sore bereavement which your Heavenly Father has caused you to pass through in calling to her Celestial Home your beloved daughter Lily. Through your tears the bow of hope shines in the sky above you. All the dear ones of your household are safely housed in the many Mansions nowwaiting your coming. We most earnestly pray that you may be abundantly sustained in your afflicition and realize that God doeth all things well. Looking npward we can say. "The Lord gave and the Lord hath taken away and blessed be the name of the Lord." Remembering you in our prayer we beg to be allowed the expression of our Christian sympathy.

SHILOH'S CURE, the great Cough and Cropp Cure, is in at demand. gre Pocket size contains twenty-five doses only 25c. Children love it. Sold by Watkins & Skinkle Dginggists.

worked and burdened with care, debilitated and run down because of poor, thin and impoverished blood. Help is needed by the nervous sufferer, the men and women tortured with rheumatism, neuralgia, dyspepsia, scrofula, catarrh. Help

Comes Ouickly

When Hood's Sarsaparilla begins to enrich, purify and vitalize the blood, and Dolly-If you kiss me the second time sends it in a healing, nourishing, invigorating stream to the nerves, muscles and organs of the body. Hood's Sarsaparilla builds up the weak and broken down system, and cures all blood diseases, because

Is the One True Blood Purifier. All druggists, \$1. Prepared only by C. I. Hood & Co., Lowell, Mass. Hood's Pills with Hood's Sarsaparilla.

Fish and Oysters at People Market East Main Street.

TRY

Try The Peoples Market for you

The latest and most fashionable outside of San Francisco.

Brought to Los Gatos. Saturday evening our citizens were Opening Days-Thursday, Friday and startled by the cry of fire. \* Rushing Saturday of this week and following

> La Mode makes a specialty TRIMMED HATS.

Mrs. T. H. Williams, Prop.



First Class Meat,

OF ALL KINDS.

Pepper & Gelatt.

All Fish direct from the boats. Peoples Market.

He-There's a superstition about this conservatory. They say no man ever took a girl in here that he did'nt kiss ber before he left. She (demurely)- I've never had any reason to doubt it.

"What a cold girl Ethel Iceberg is! How did Smithett ever succeed in wirning her ?"

Skated into her affections last winter .- Detroit Free Press,

Dick-I haven't kissed you the first

Dolly-I know it,-Town Topics.

cago Record.

No wonder these eggs are too soft. The clock is 15 minutes fast."-Chi-

How many pieces of caudy have you had, Wallie?"

.. I dont know mammy. I tan't tount over sebben,"-Harper's Round Table

WANTED: Several trustworthy gentlemen of ladies to travel in [here insert name of your State for established reliable house Salary \$780 and expenses. Steady position Enclose reference and self addressed stamped envelope. The Dominion Company Third Floor Omaha Bldg: Chicago, Ill.

On Wednesday afternoon Feb. 12th Prof. M. Heyman will open his Juvenile and ladies class at Masonic Hall Los Gatos. Ladies only from 3 till 4:15; children in fancy dancing from 4:15 till 5:30. Terms in each class \$1.00 per month in advance. Fancy exhibition and stage dancing taught every Wed-G. A. Butler. nesday afternoon. Do not miss the first

Come to the Mail Office for job work

For sale -Plymouth Rock chickens and eggs. Enquire at Edwards & Suy-

WANTED-A wide awake man to represent the Massachusetts Life Insurance Hats and Bonnets to be found Co. in this vicinity, Might be done in connection with other business. Can ake very advantageous te ms.

O. M. T. PARKER, Man'g'r. 214 Pine St., San Francisco.

The Finest Assortment Ever WANTED- A lady or a married couple to rent a room with the use of parlor and kitchen, and privilege of doing light housekeeping. Inquire at this office for

LOST.

On Main St., Los Gatos, on Thanksgiving day, a small purse (gentleman's) containing considerable money. Finder will please leave at the MAIL office and receive reward:

NOTICE.

A moving themselves indebted to the firm of Storm and Hutchinson will please call and settle all accounts, the business having changed hands within the past month. STORM & HUTCHINSON. 1f

PASTURAGE

Parties desiring pasturage for horses or cattle will find the very best pasture in the county at Costello's ranch, on the Guadaloupe Road, two miles above the Guadaloupe Mine. Call on premises or inquire of Fen Massol, Los Gatos.

H U. BALL

E. E. DOW

Everything in the General Line of ⇒BLACKSMITH WORK ₩

Neatly and Promptly done. HORSE-SHOEING A SPECIALTY

Oppo Town Hall

Wanted :- Several trustworthy gentle men or ladies to travel in (here insert name of your State) for established, reliable house. Salary \$780 and expenses Steady position. Enclose reference

and self addressed stamped envelope The Dominion Company. Third Floor Omaha Bldg: Chicago, Ill.

## The Great Stock Taking Sale IS NOW IS GOING ON AT

SEE A FEW OF OUR PRICES.

Extra fine Oregon Bacon, per lb 8 ets. Rolled Oats, 9 lbs for 3 lbs. Fairbank's Gold dust, 1 Large Bar Castile Soap 4 oz Genuine Ball Durham Tobac. 15 Galv. Boilers, reg price \$1.25, now 83 1 h good Tobacco with a 25c Pipe 25 27 Bars White Star Soap \$1.00 Finest Wine Vinegar, per Gal. 17 cts. 12 Cans Cove Dysters 2 Puckages Corn Staren. 75 Clothes Pins, Maccaroni per box, Sardines in Mustard or Oil, 3 lds. Box Soda Crackers, Extra Sodas 4 lbs. for, F. F. C. Corn per, can, 3 lb. Pail Lard, 10,, Old Glory Soap per bar Huntere's Flour Sifteres, All the latest Novels, Tin Tea kettles, Quort Measures. And Etc. and Etc. Remember everything is marked way down

The Place of a Thousand Bargains

Santa Cruz Ave., ...

Los Gatos.

Ladies Shoes Misses Spring shoes

All Our Plain Toe Shoes

Look in Our Window.

If you want a Good House shoe or a Nice Light Shoe for your Daughter to wear, get a pair of these shoes for \$1.00

## We Do Repairing

Men's Shoes Half Soled Ladies Shoes Half Soled

Riddle CORNER MAIN AND SCHOOL STS.

Until Jan. 1st, 1896, I will sell my entire stock of cutlery, including: POCKET and PEN KNIVES, SHEARS, RAZ-

> ORS, CARVING SETS ETC., ETC. At a reduction of 25 to 40per cent.

I also have a line of Oil Heaters that will be sold at cost. Come in and investigate. TIN-NING, PLUMBING and CAS FITTING.

O. LEWIS

Lath, Shingles, Windows, Doors, Sash, Blinds, Window frames, Door frames and Everything else usually kept at a First class Lumber Yard, at the yard of

Lyndon & Syverson We keep an immense Stock and sell as Low as the Lowest.

Railroad Ave. - Los Catos.

## LG Victorian provides low cost housing



This Victorian at 95 Fairview Plaza orovides housing for seven people who otherwise might not be able to live in Los Gatos. Photo by Dan Honda

By Greg Garry

It's a New Year and a 76-year-old Victorian on Fairview Plaza will have a new face to go along with it.

The Victorian, purchased with a \$111,000 low interest loan from the town, is split into a four-plex and provides low to moderate income housing for the seven persons who live there, according to Karen Saunders, director of Community Housing Developers, a San Jose based non profit housing corporation.

In addition to the purchase loan, which was drawn from Community Development Block Grant money, the Victorian, built in 1910, is badly in need of repair and required an additional loan of \$30,000 for rehabilitation, according to Town Manager Deborah Swartfager.

Repairs on the home, which was purchased in May of 1986, have been extensive, according to Saunders. "We had to jack up the foundation eight inches because it had sunk," she said.

Moving the foundation caused other problems, however. "When we moved the foundation, it cracked almost all of the sheetrock," she said.

In addition to replacing the damaged sheetrock, work was done on the plumbing, the foyer was remodeled, landscaping was undertaken and a new paint job was planned, she said.

"It hadn't been painted in probably 15 to 20 years;" Saunders said.

The painting and landscaping chores brought help directly from the community. Several nurseries in town donated plants to help with the landscaping and the Lions Club has

chipped in to help with the exterior painting job.

"That's in the process of getting organized right now," she said.

Some of the tenants have gotten into the spirit as well and have decided to help with the landscaping chores, she said. She added that members of the surrounding neighborhood have also been enthusiastic in their support of the refurbishing project.

Swartfager termed the refurbishing project an excellent example of how older homes can be spruced up and remain useful affordable housing.

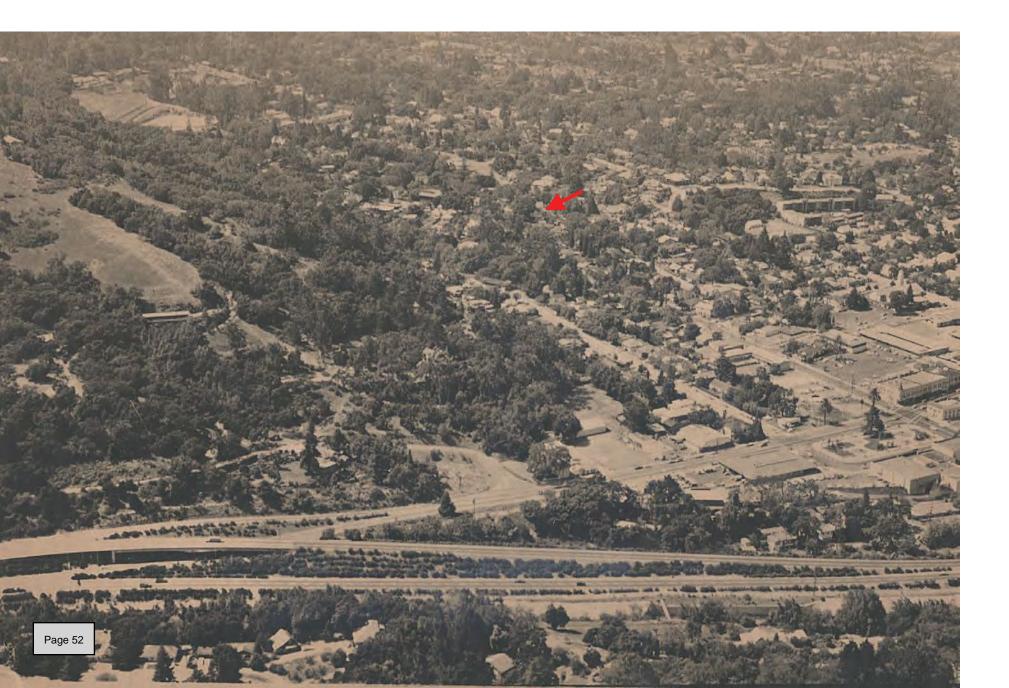
Community Housing Developers uses a set of income criteria to determine whether a family qualifies to live in the four-plex, according to Saunders.

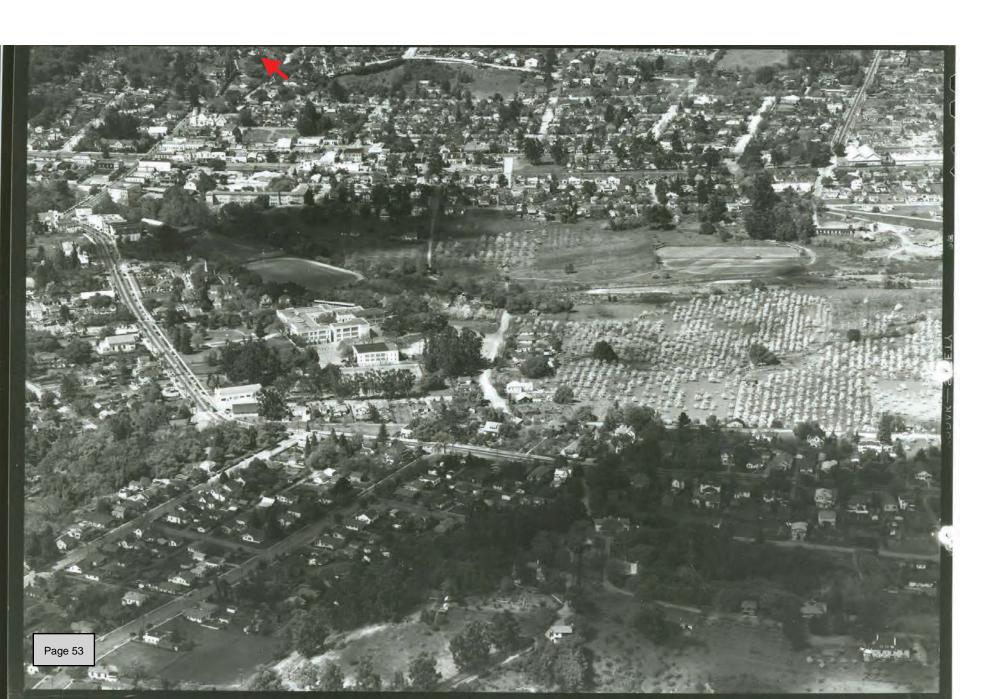
Candidates are required to provide tax forms to verify their income level. The income limit for a family of two is approximately \$22,000 or below, a family of one is approximately \$19,000 and a family of three, approximately \$24,000 or below, she said.

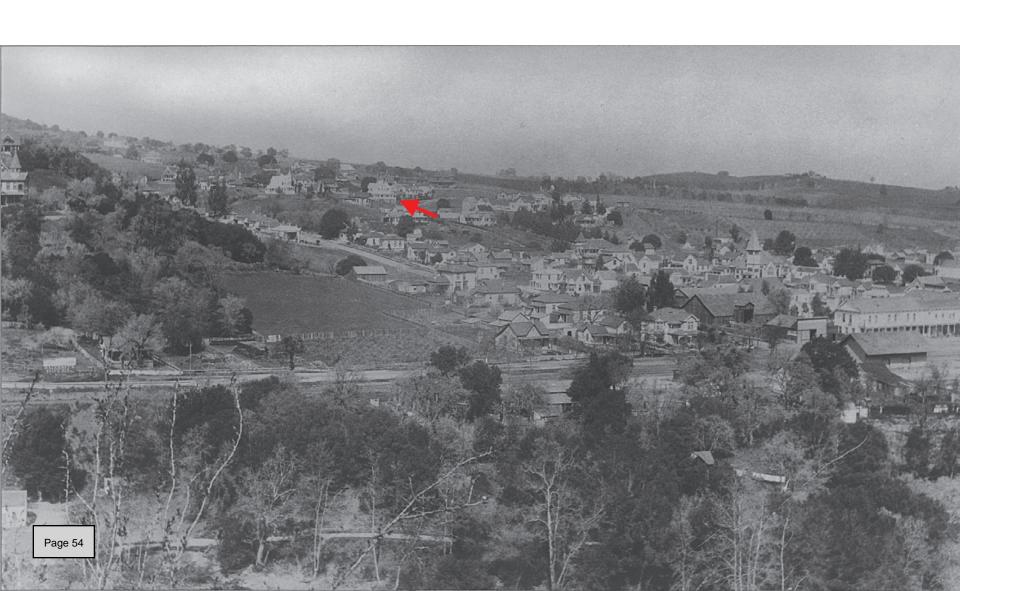
Two of the families living in the Victorian pay one-third of their income for rent, said Saunders. The remainder of the rent is subsidized through the Housing Authority of Santa Clara County.

One of the families there falls into the moderate income category and pays approximately \$620 a month rent, according to Saunders. The other family living at Fairview pays approximately \$500 a month in rent.

"We don't take any profit," she said.
"We give them the lowest rent we can give them."









#### Overview:

My name is Matthew Reynolds and I am the owner of the subject property (95 Fairview Plaza). I purchased the property in June of 2024 with my family to be our new home here in Los Gatos. The property has windows that are in need of repair or replacement. The goal of this project will be to repair where possible and replace where necessary many of the windows around the house while maintaining the historical character of the property.

#### **Description of Work:**

Frames and Jambs:

- No window frames will be altered or changed. This means no changes will be made to the size, placement, orientation, or operation of any window on the property.
- Where needed, window jambs will be repaired or replaced with wood of the same size and shape as what is currently in the window.

Sashes, Casement Windows, and Glass

- Single and double hung windows
  - Sashes in poor condition (showing signs of wood rot) will be replaced in kind.
     New sashes will be hand constructed entirely of African Mahogany by Kinney
     Woodworks, a specialist in window restoration. New sashes will be single-pane
     and hand glazed to match the original windows.
  - Sashes in good condition will be tuned up, reglazed, repainted, re-weighted, and provided with new hardware, ropes, and weatherstripping. Original weights and pulleys will be utilized. Original glass will be utilized (unless broken)
  - All double hung windows that are currently nailed shut in such a way as to make them operate as single hung windows will be restored to their full functionality.
- Casement and divided light windows
  - Casement windows with wood in good condition will be reglazed using the original glass.
  - Casement windows showing signs of wood rot will be replaced with new windows hand constructed entirely of African Mahogany by Kinney Woodworks. New casement windows will be single-pane and hand glazed to match the original windows.
    - New windows replacing windows with true divided lights will also be constructed with true divided lights. Again, these will be hand constructed entirely of African Mahogany by Kinney Woodworks. These divided lights will be single-pane and hand glazed to match the original windows.
- General Notes
  - For all windows located in bathrooms, sashes will be reglazed with tempered glass for safety.

#### Diagram of example work provided by Kinney Woodworks

(<u>https://www.kinneywoodworks.com/</u>):

(Please note, only new sashes will be installed. This diagram shows frames, jambs, rails, and other items that will remain original and will be out of the scope of this project.)



### Pictures of a similar sash replacement for a double hung window from Kinney Woodworks:







#### **Summary of Historical Research:**

The subject property, 95 Fairview Plaza, is a fourplex located on the northwest corner of Fairview Plaza Park. It was constructed around 1890 and exhibits elements of the Queen Anne Victorian building style. The property has two main stories, a full basement and an attic that has been partially converted into a bedroom. In the course of our research on this property we visited several libraries, looked through thousands of old photographs published to the Los Gatos Library online photo archive, and read through many century old newspaper articles to get a peek into the history of our home.

According to our research, the house was originally built and lived in by Wesley Peck, the methodist minister for the town, and his wife. They had three children (maybe 4?) - two daughters and one son according to one newspaper and one grandson. The two of them passed away in 1914 and 1921 respectively. Information about their residence at 95 Fairview Plaza is a bit unclear, as one newspaper article places the Pecks' primary residence on Broadway.

The house was then owned by John Harrison Green and his wife Margaret possibly in the 1920s. At the time, the property line extended all the way back to Pennsylvania Avenue and included a barn. In the 1920s, the barn was converted into a second residence for their mother and mother-in-law.

At some point after 1920, the Bricmont family purchased the house and sometime between the 1920s and 1954, the house was converted into three apartments. Between 1954 and 1964, a fourth studio apartment was created by converting the northeast portion of the wrap-around porch into another unit. Around this time, a porch on the second floor was converted into a sunroom. During this time period, the "barn" residence was subdivided into a separate property (now 93 Fairview Plaza) and at some point sold off separately. After his son PFC Francis Bricmont Jr. died in Vietnam - a member of "Bunny" platoon, Private Bricmont passed away in combat - owning the property became very painful for Bricmont Sr. so, according to our neighbors, he sold it. A plaque from 1991 commemorating Bricmont Sr. is still located on the property to this day.

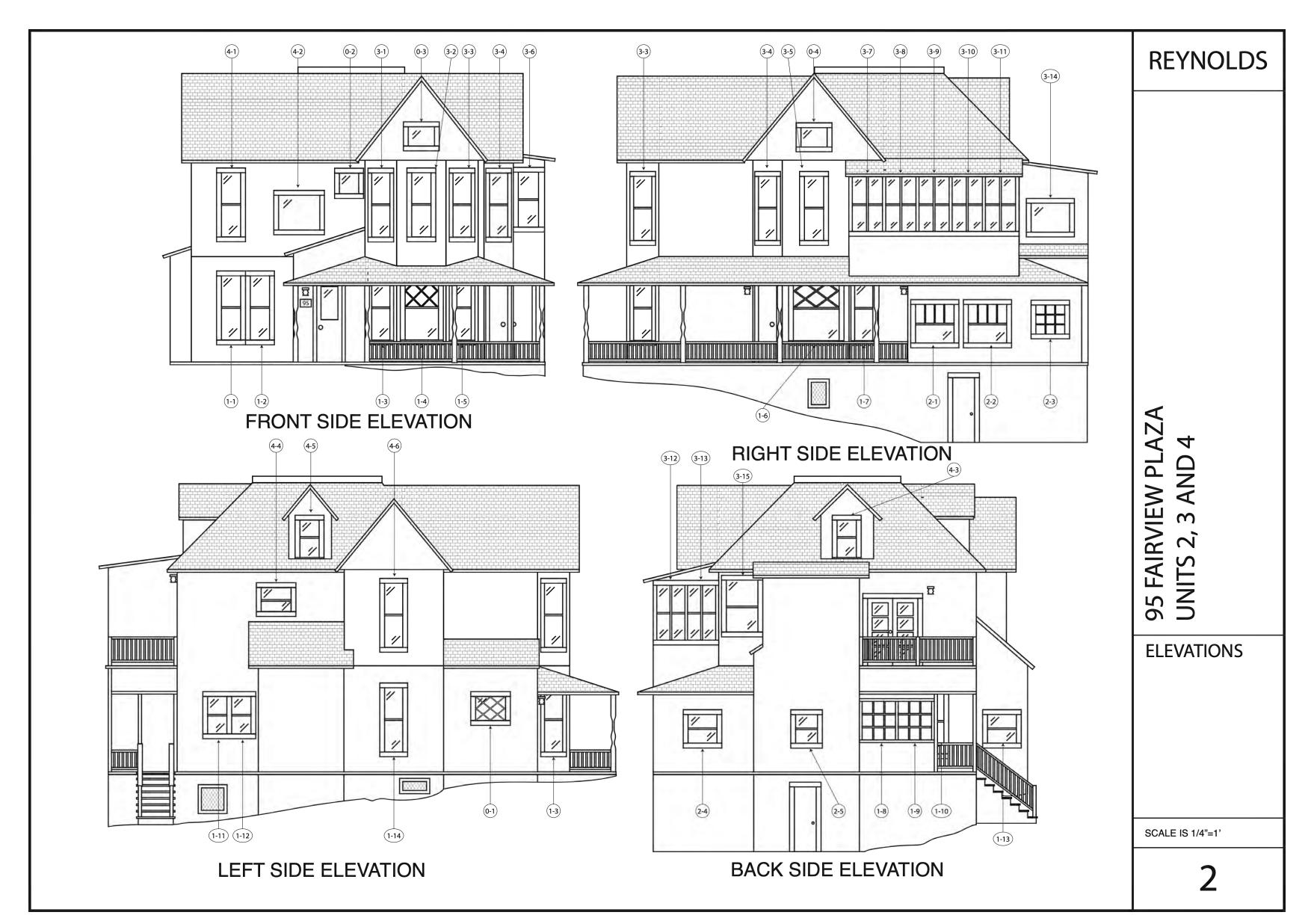
Although this has not been verified, according to several of our neighbors, at some point Jim Henson lived at the house in the 70s. Through my own research, I could find nothing to corroborate this, but I did find evidence that the performer Dave Goelz (best known as The Great Gonzo from The Muppets) lived in a "Victorian apartment" in Los Gatos at the time and invited Jim Henson to visit in 1972 (<a href="https://www.henson.com/jimsredbook/2013/02/221973/">https://www.henson.com/jimsredbook/2013/02/221973/</a>). According to our neighbors, Jim Henson would put on Muppet shows at the house for children living in the neighborhood.

In 1991, the property was purchased by Community Housing Developers (CHD), using a low interest loan provided by the town, to be utilized to house below median income residents. CHD took the help of the local chapter of the Lions club and the community as a whole to renovate and repair the house. The house would then be purchased most recently by our family, the Reynolds, in June of 2024.

# 95 Fairview Plaza Window Sash Repair & Replacement

Matthew Reynolds | June 2025

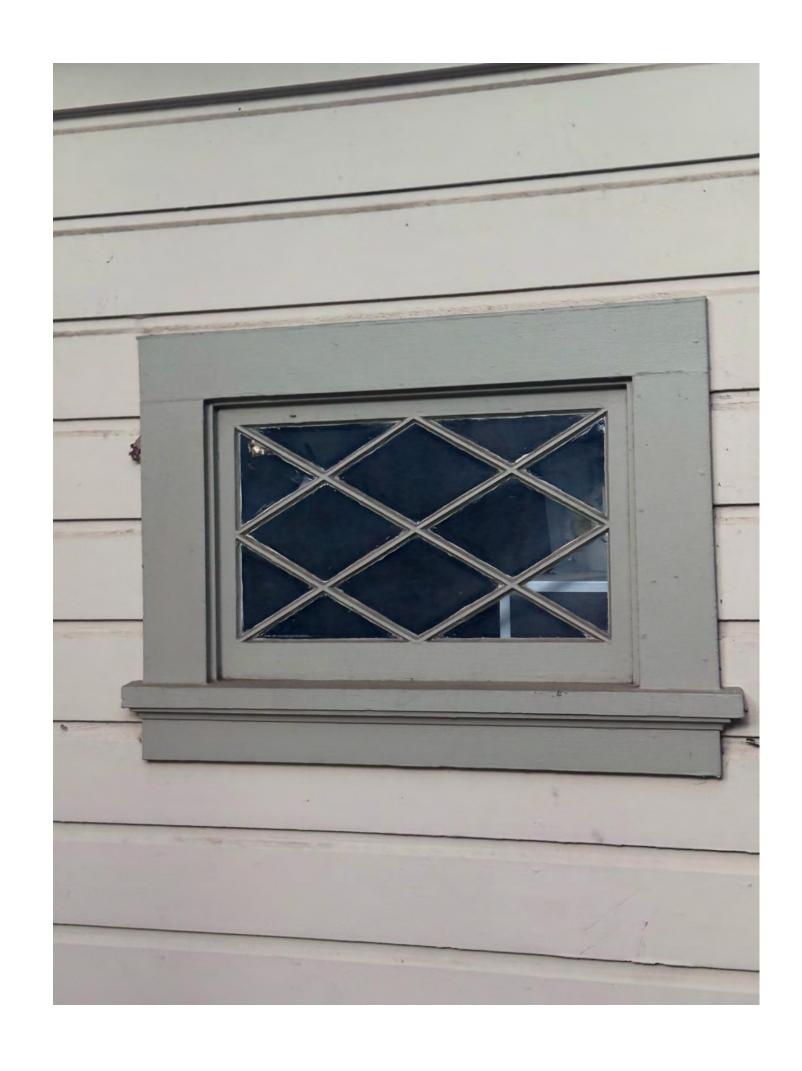
## Window Placement & Label Reference

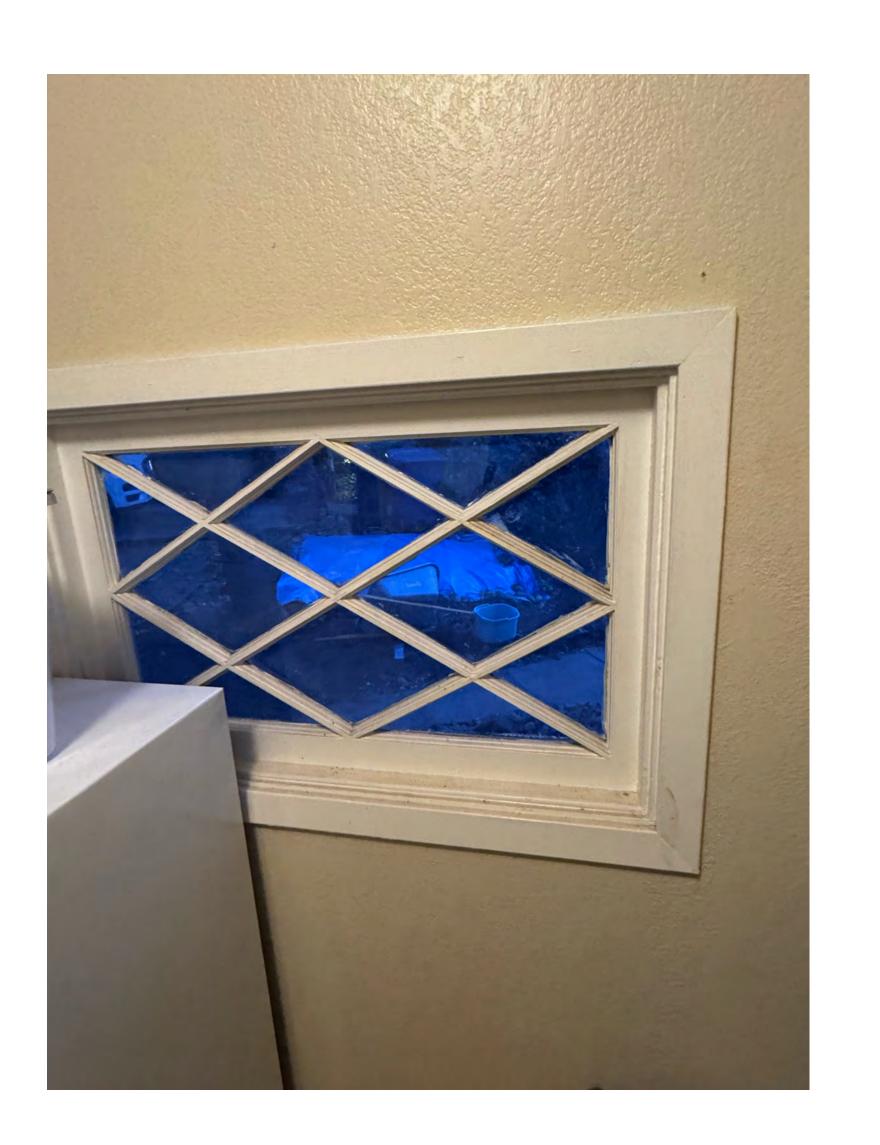


## Common Area Windows (0)

## Common Area Windows (0)

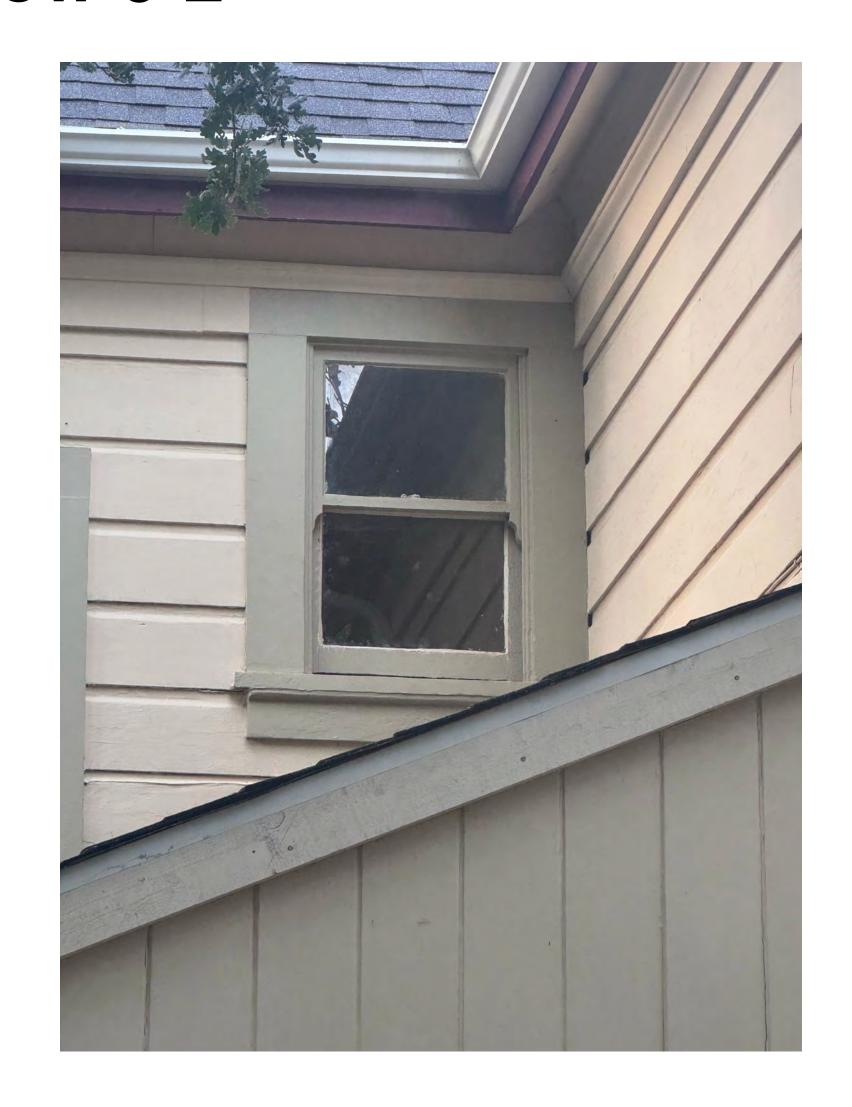
## Window 0-1





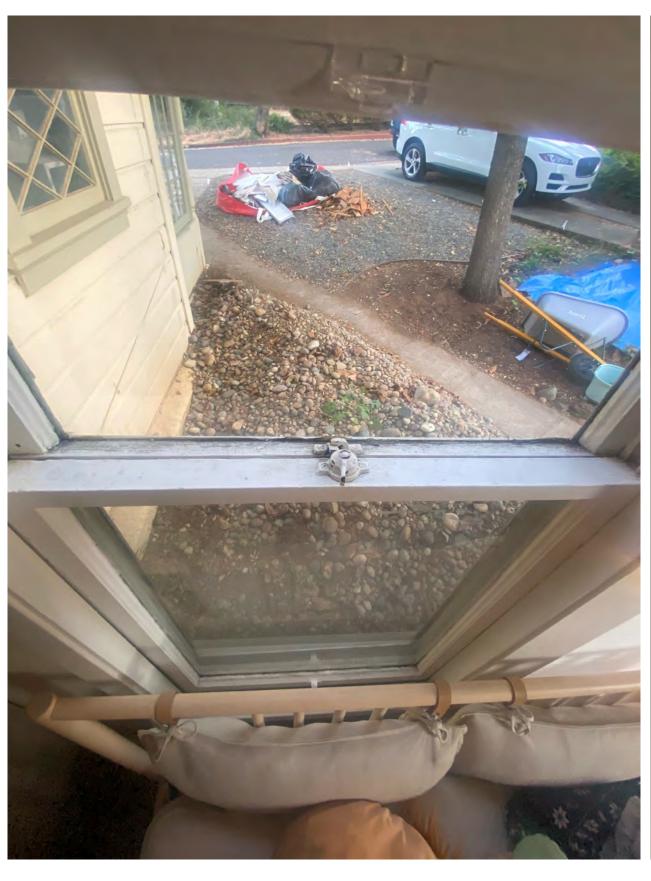
## Common Area Windows (0)

## Window 0-2

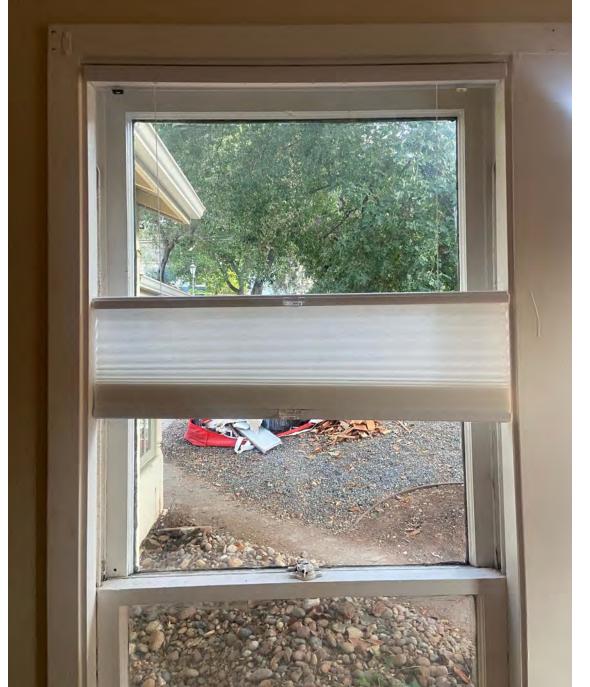




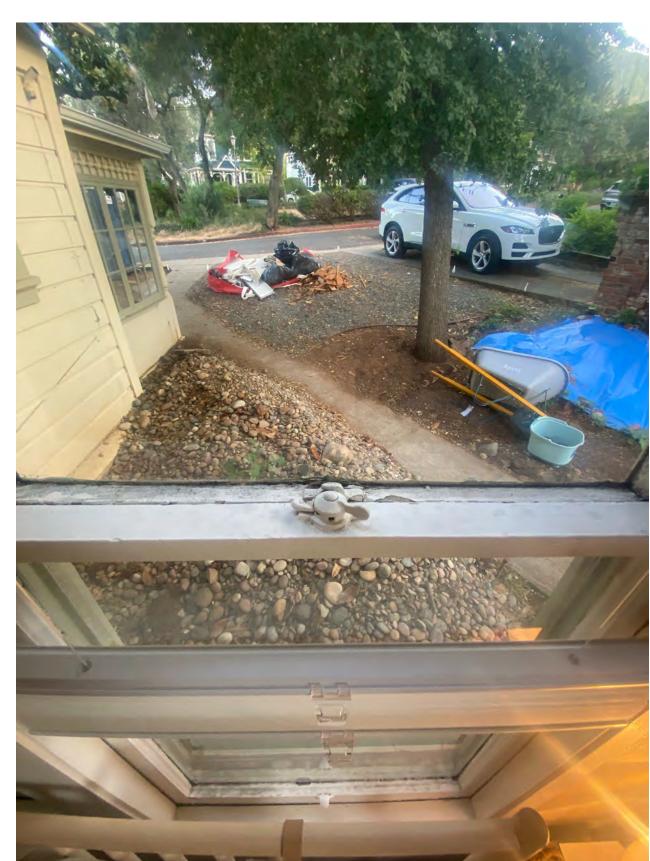
Window 1-1 and 1-2



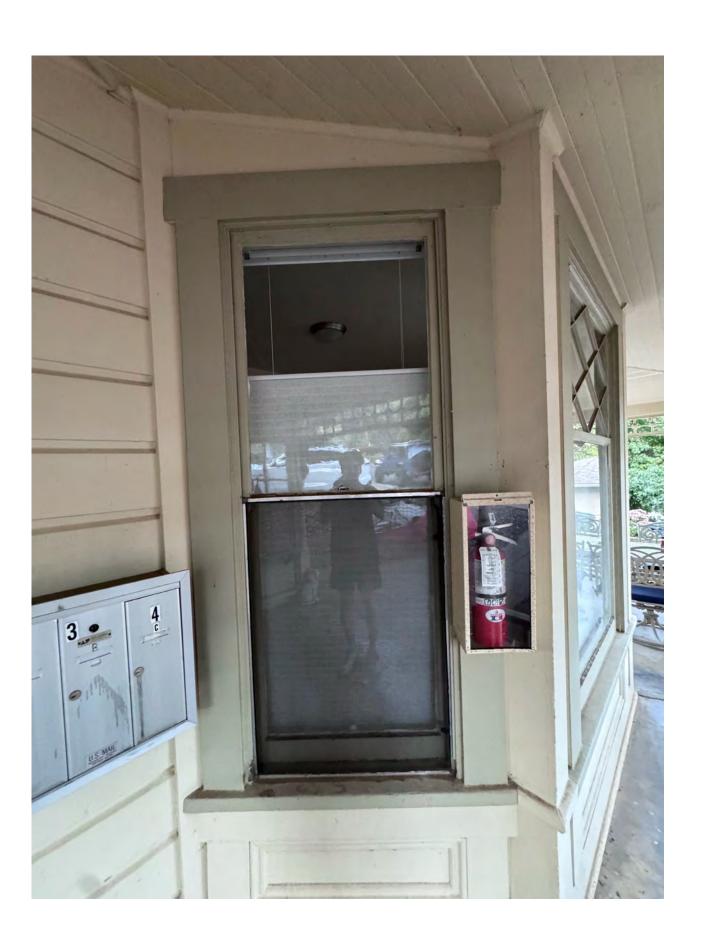






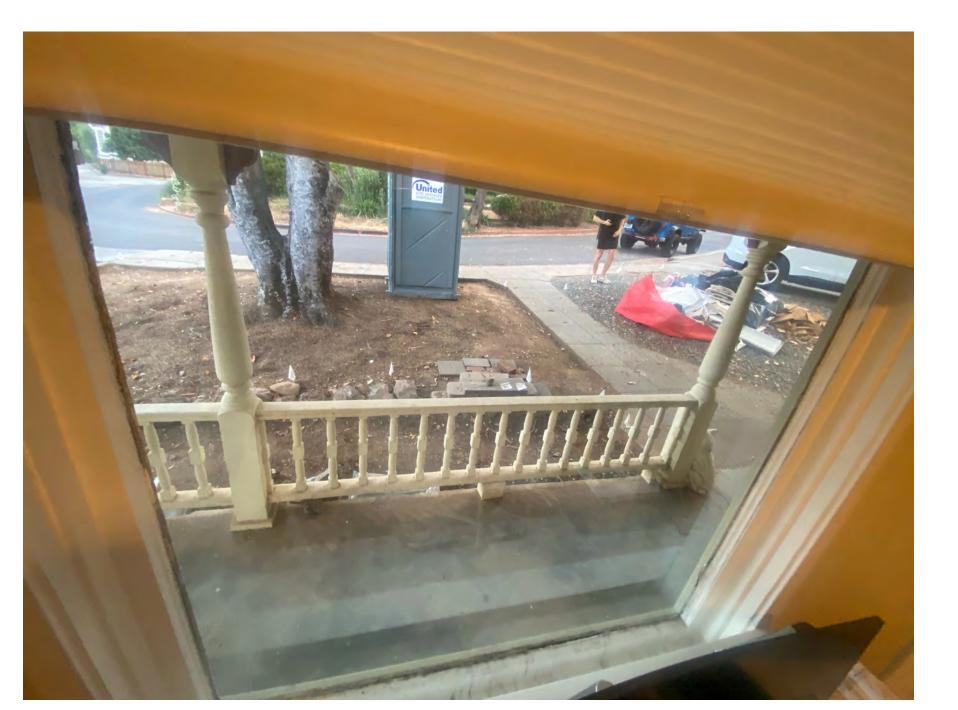






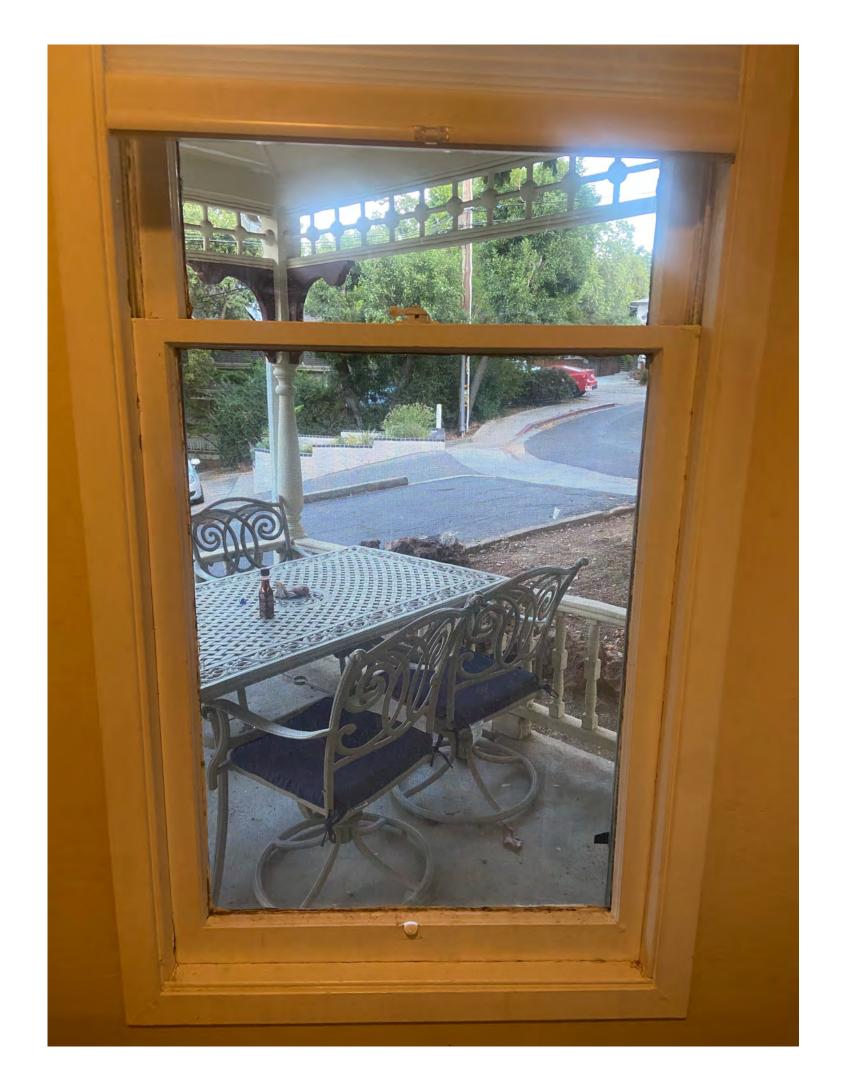


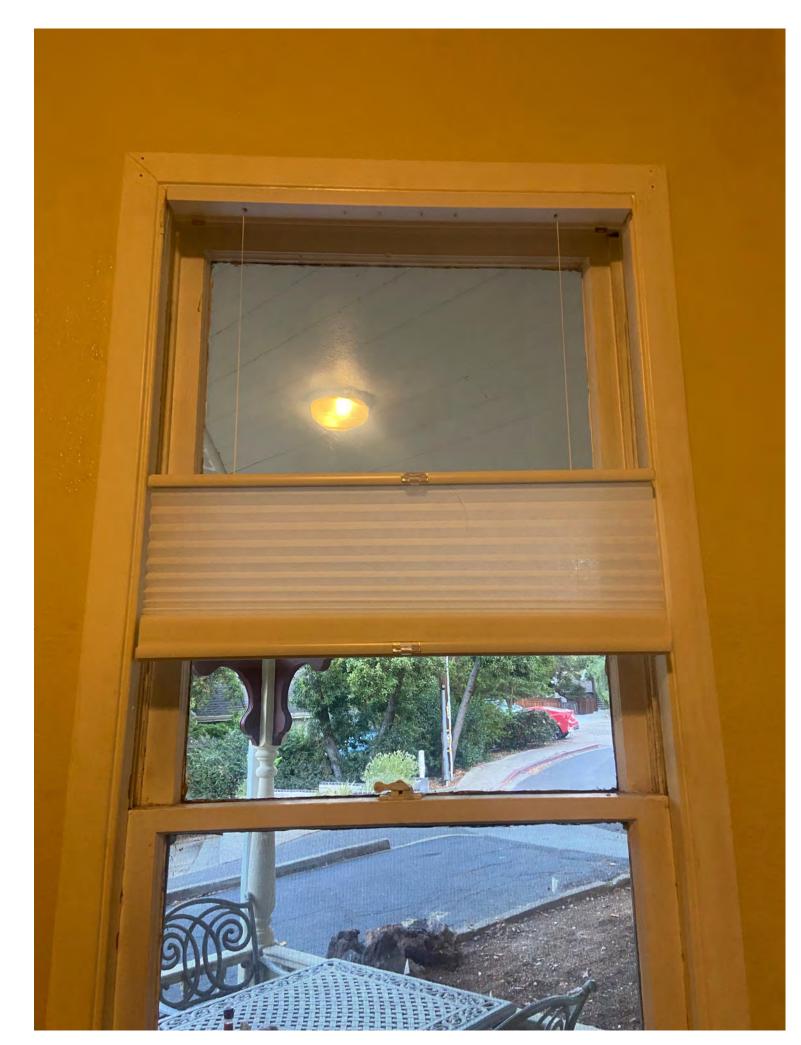




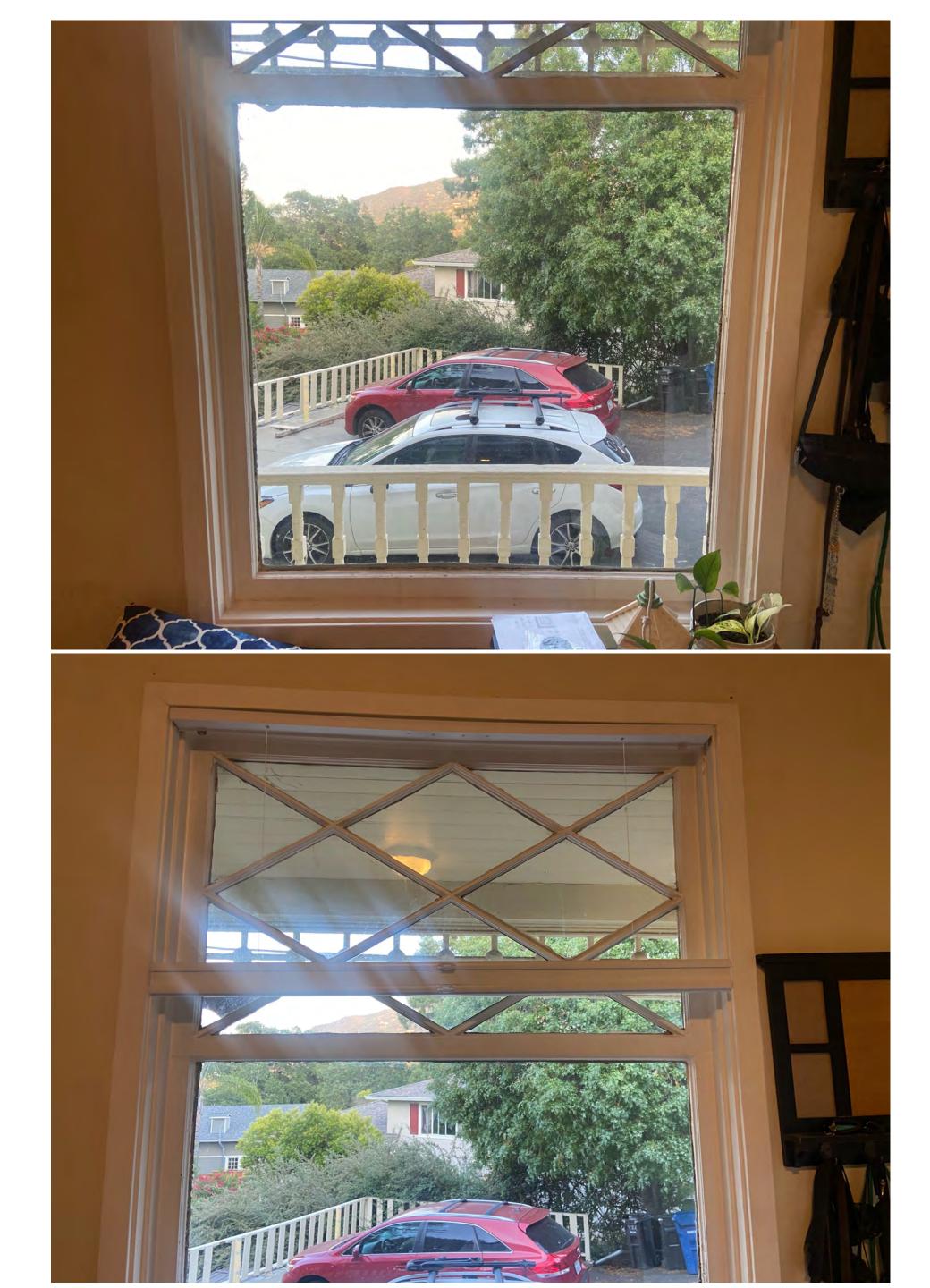


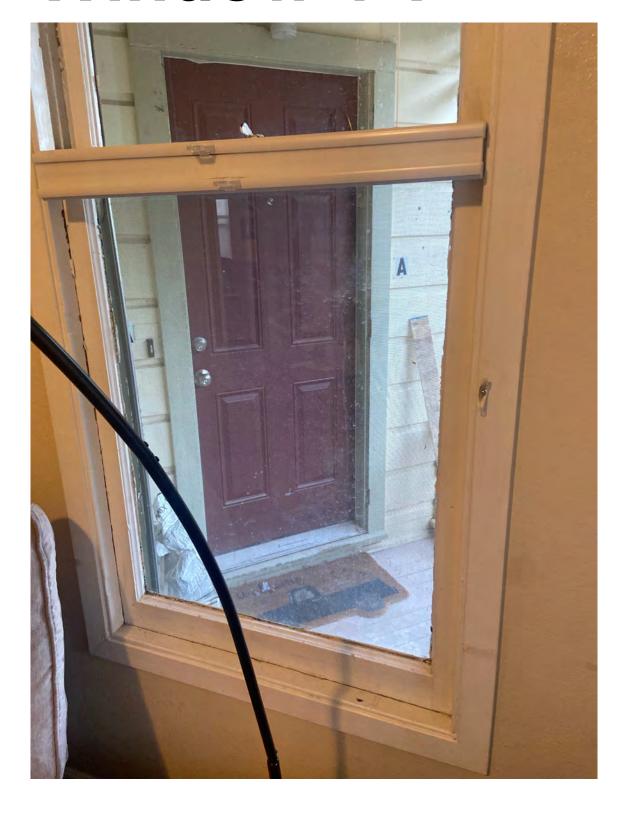








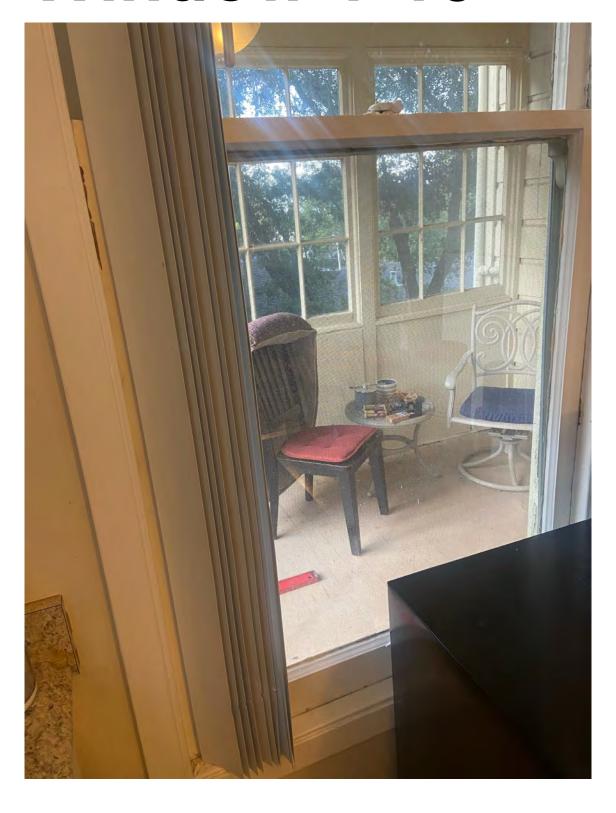




Window 1-8 & 1-9



Window 1-10



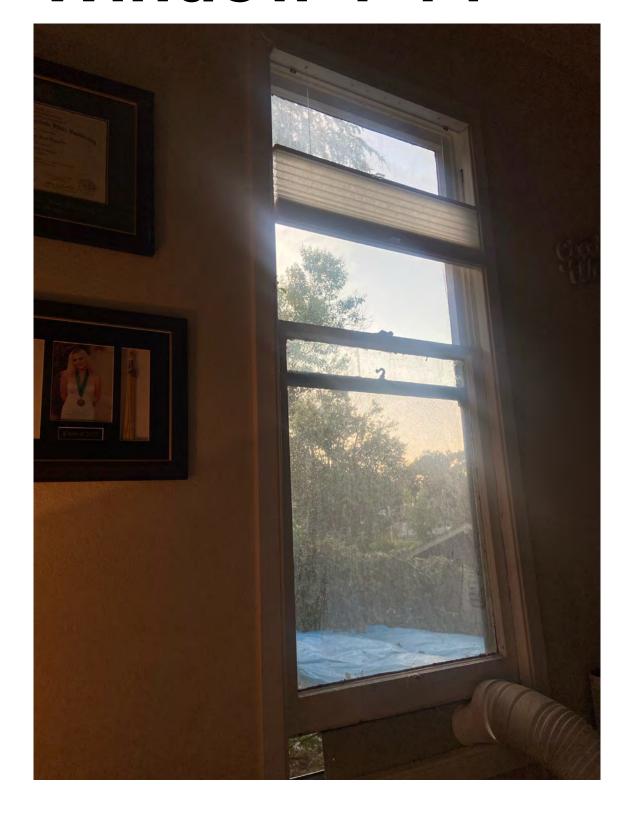
Window 1-11 & 1-12

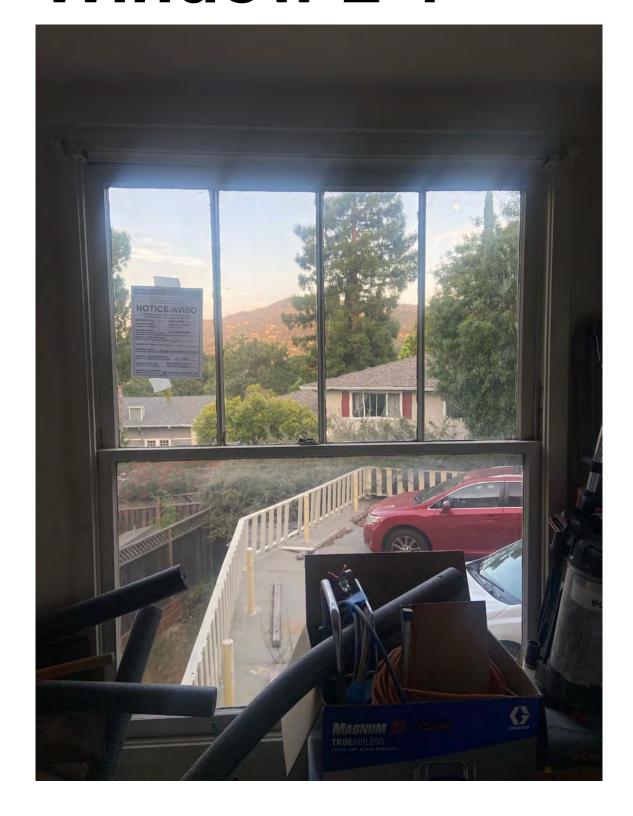


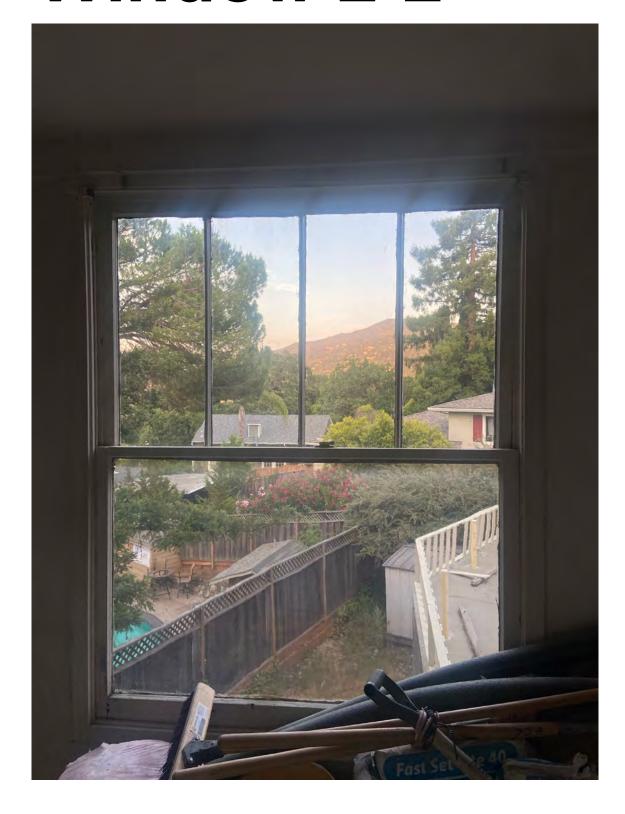
## Window 1-13

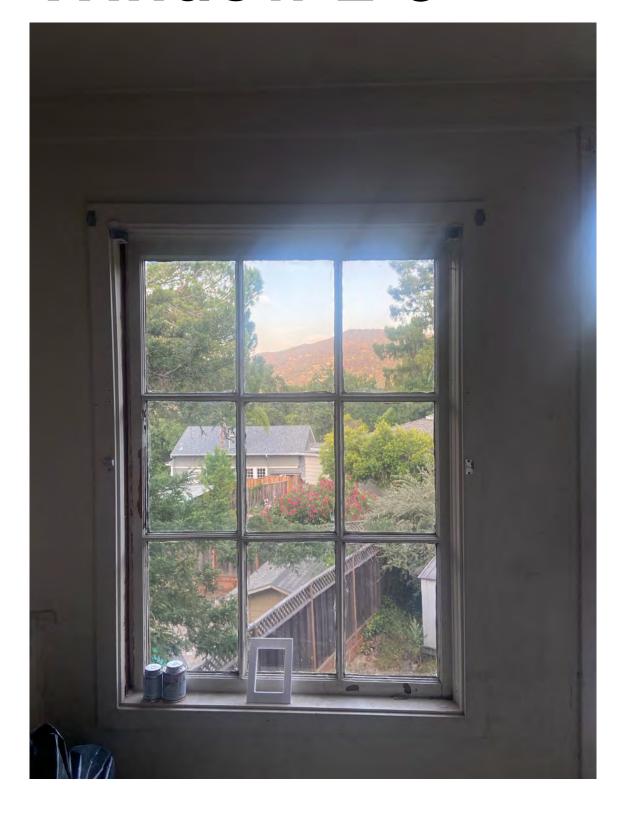


## Window 1-14

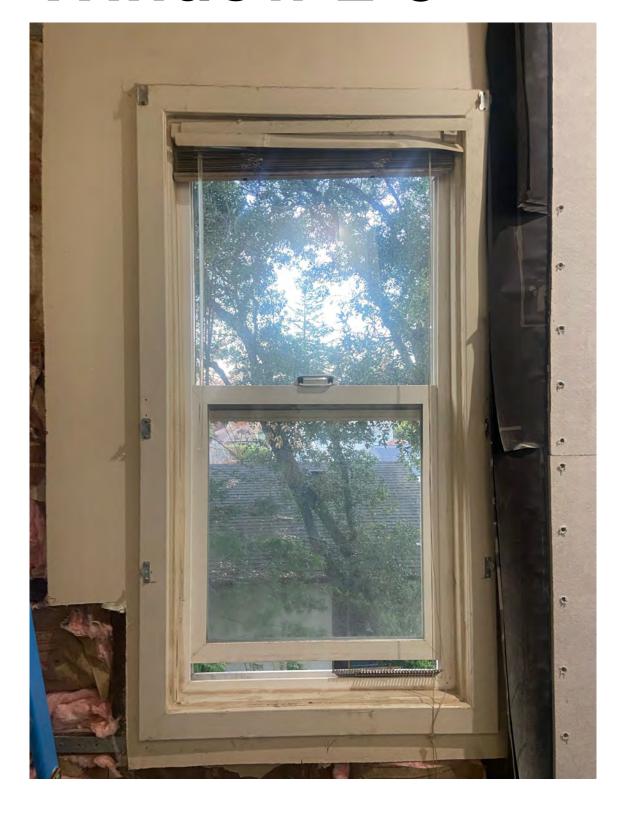




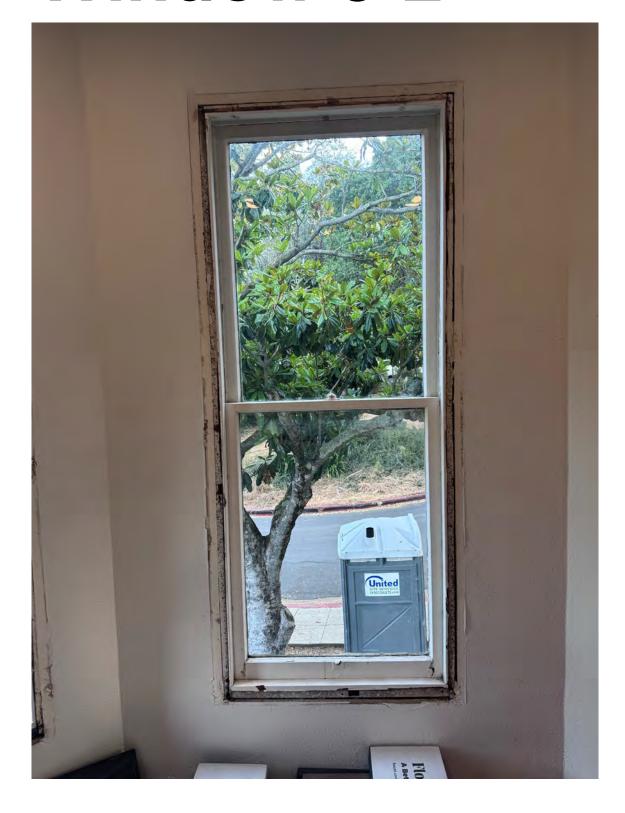


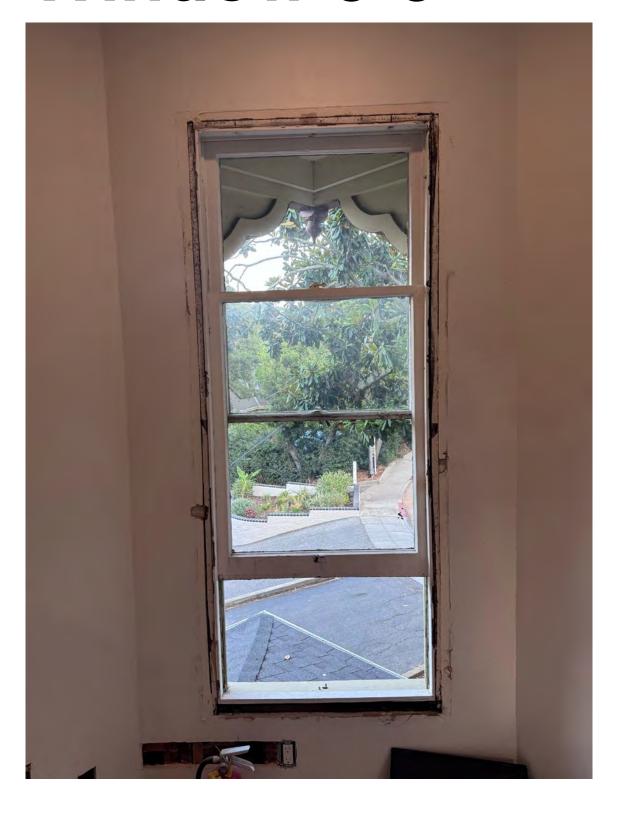


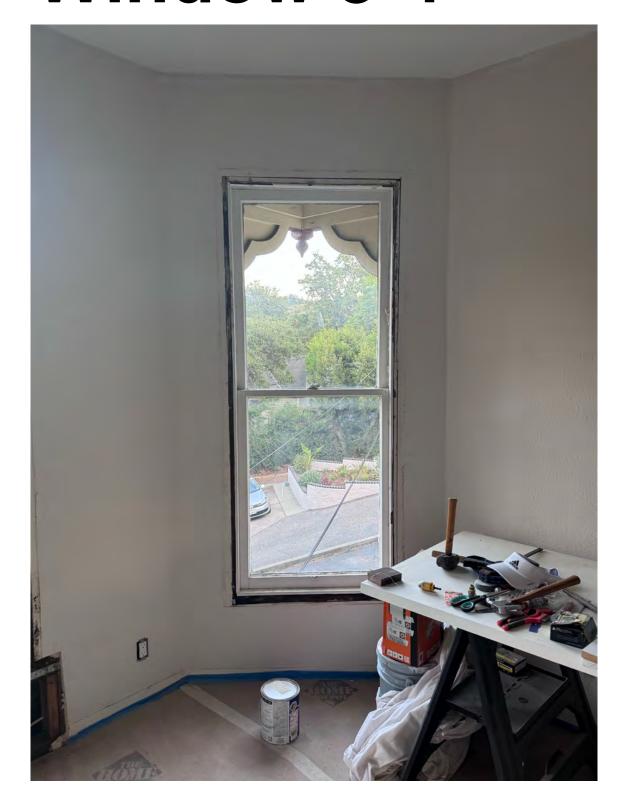


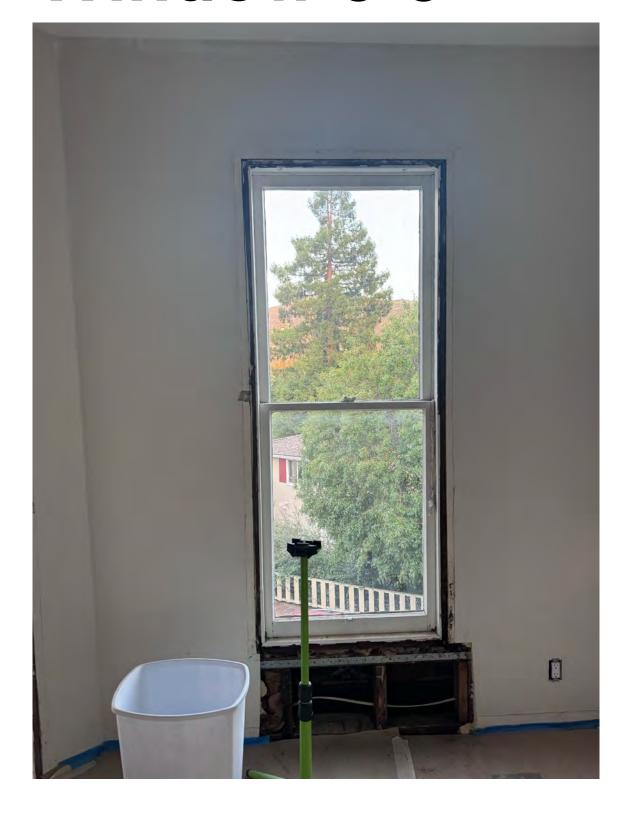




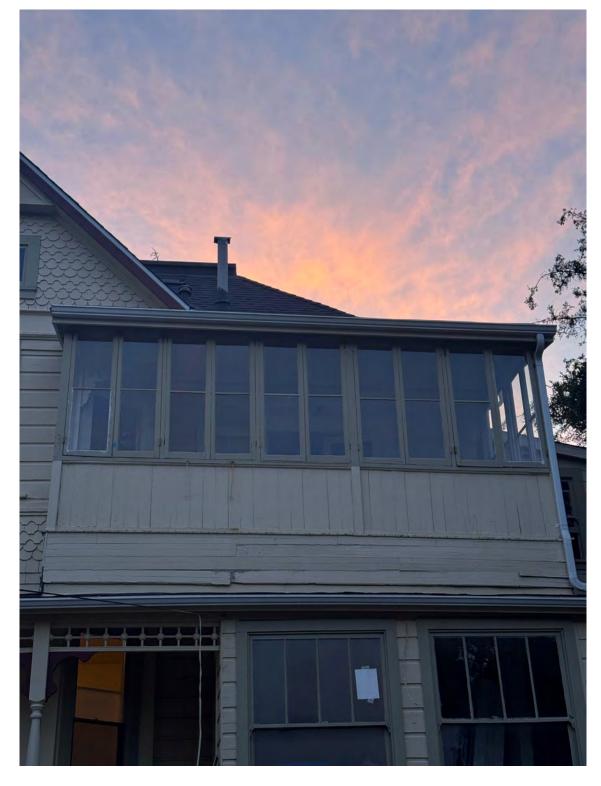


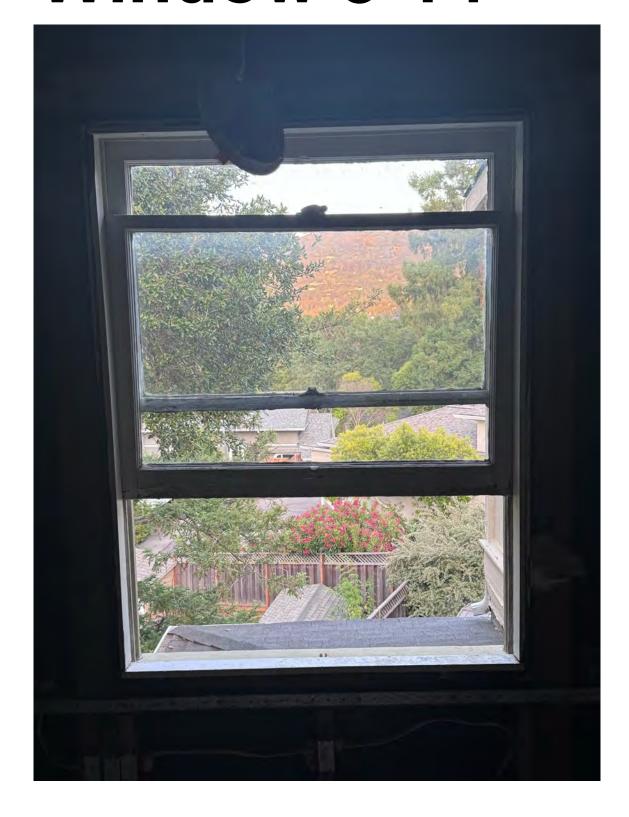


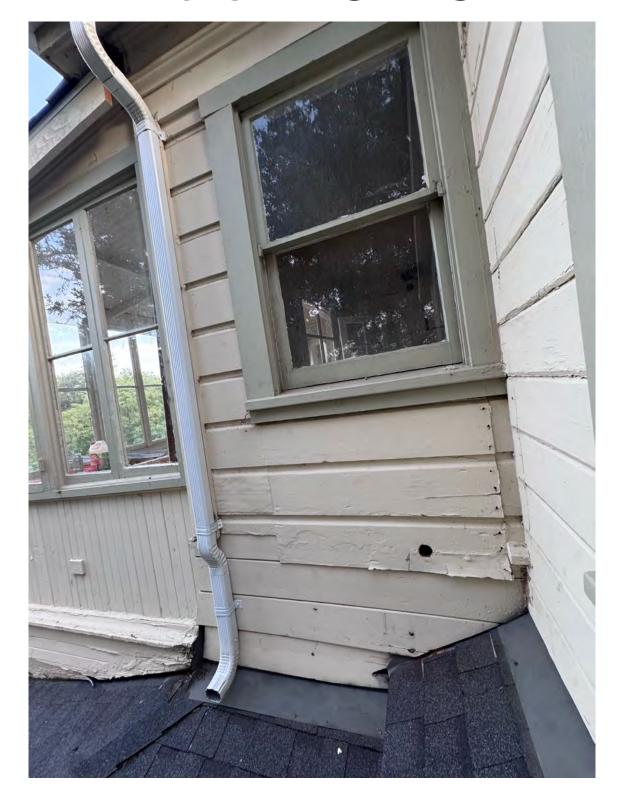


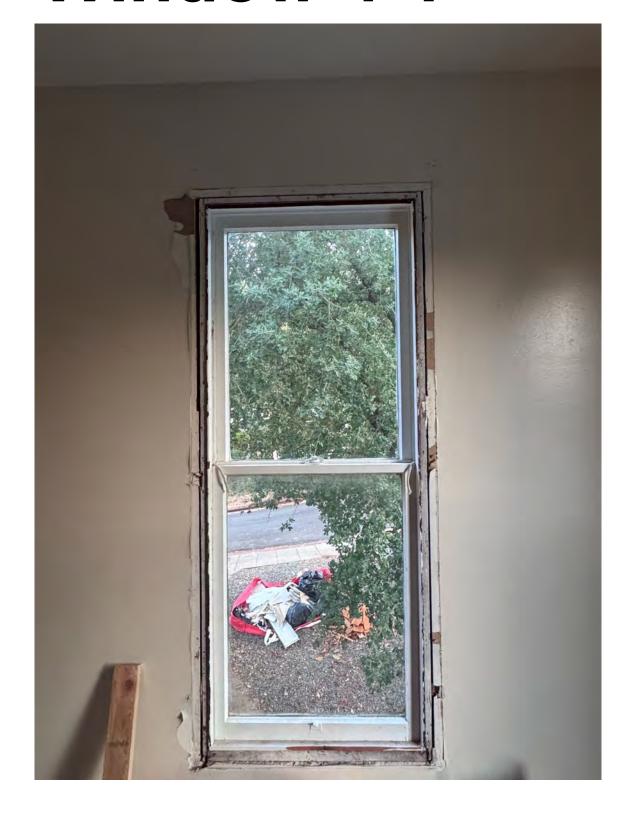


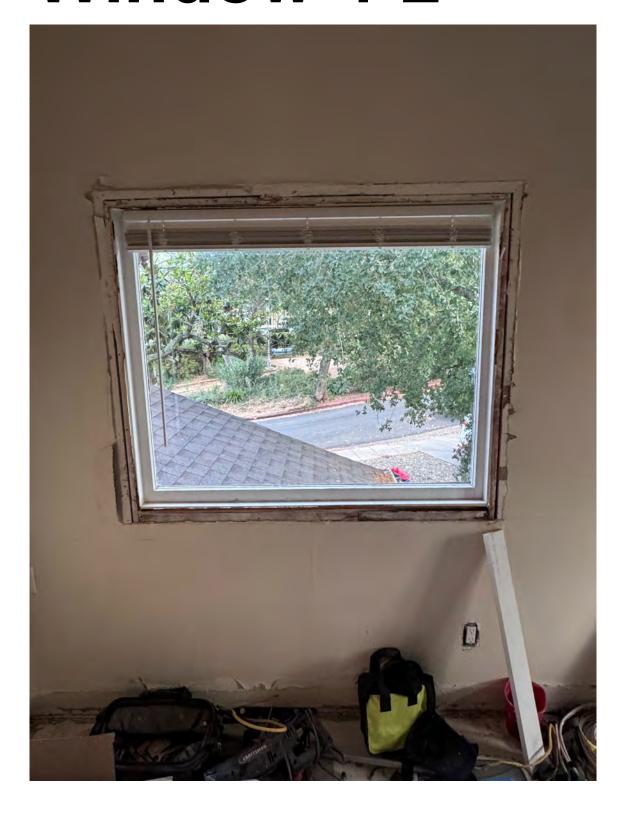
Window 3-7 through 3-13

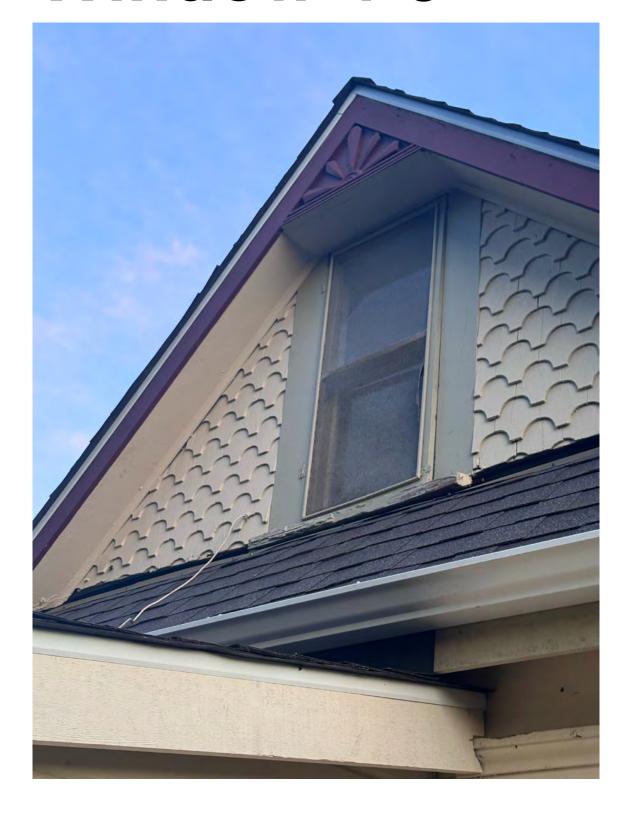


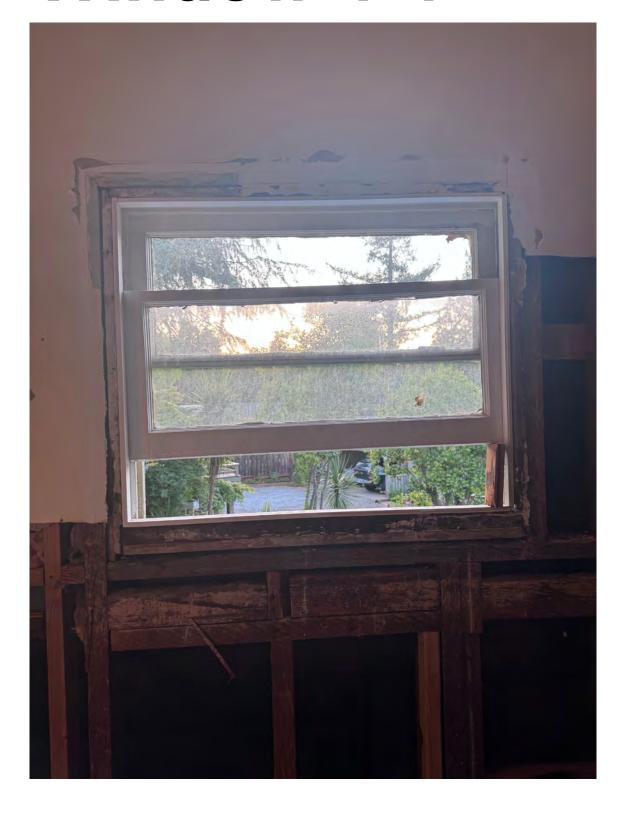


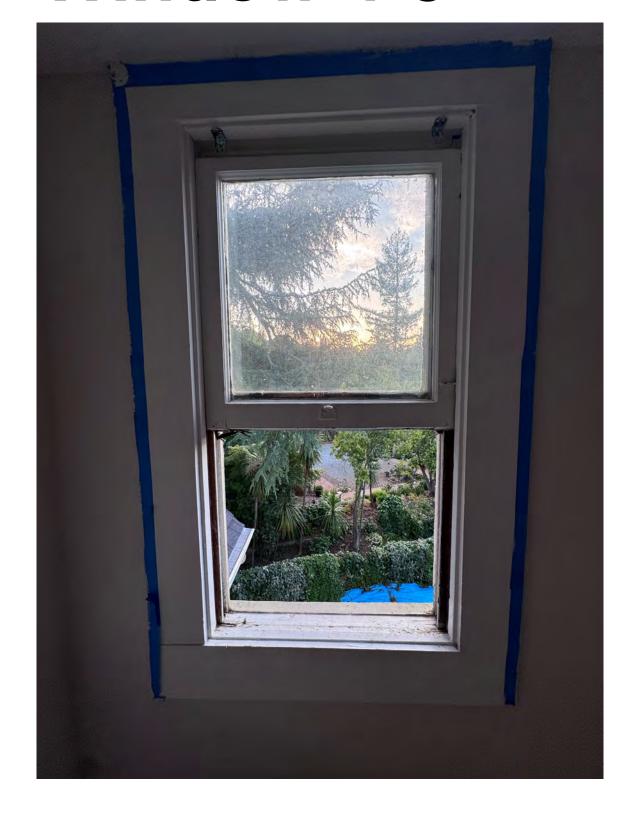


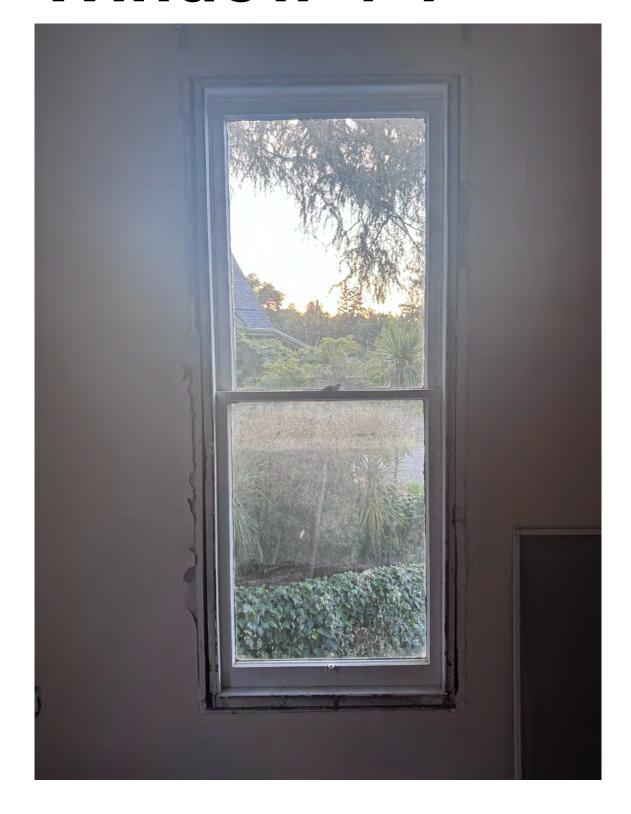




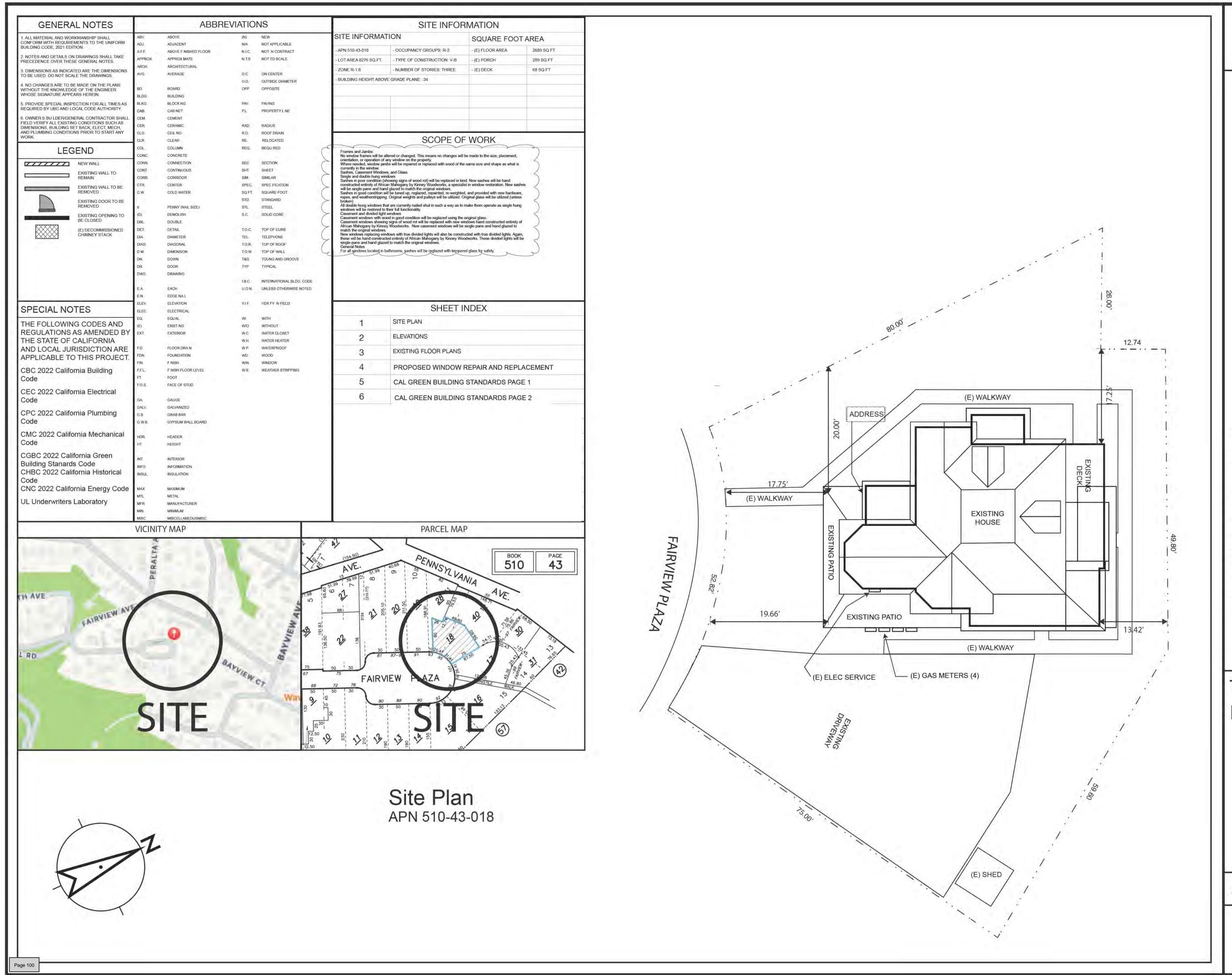








This Page Intentionally Left Blank



95 FAIRVIEW PLAZA UNITS 2, 3 AND 4

TITLE SHEET & PROJECT INFO

3\_(Z\_

SCALE IS 1/8" = 1'

ATTACHME

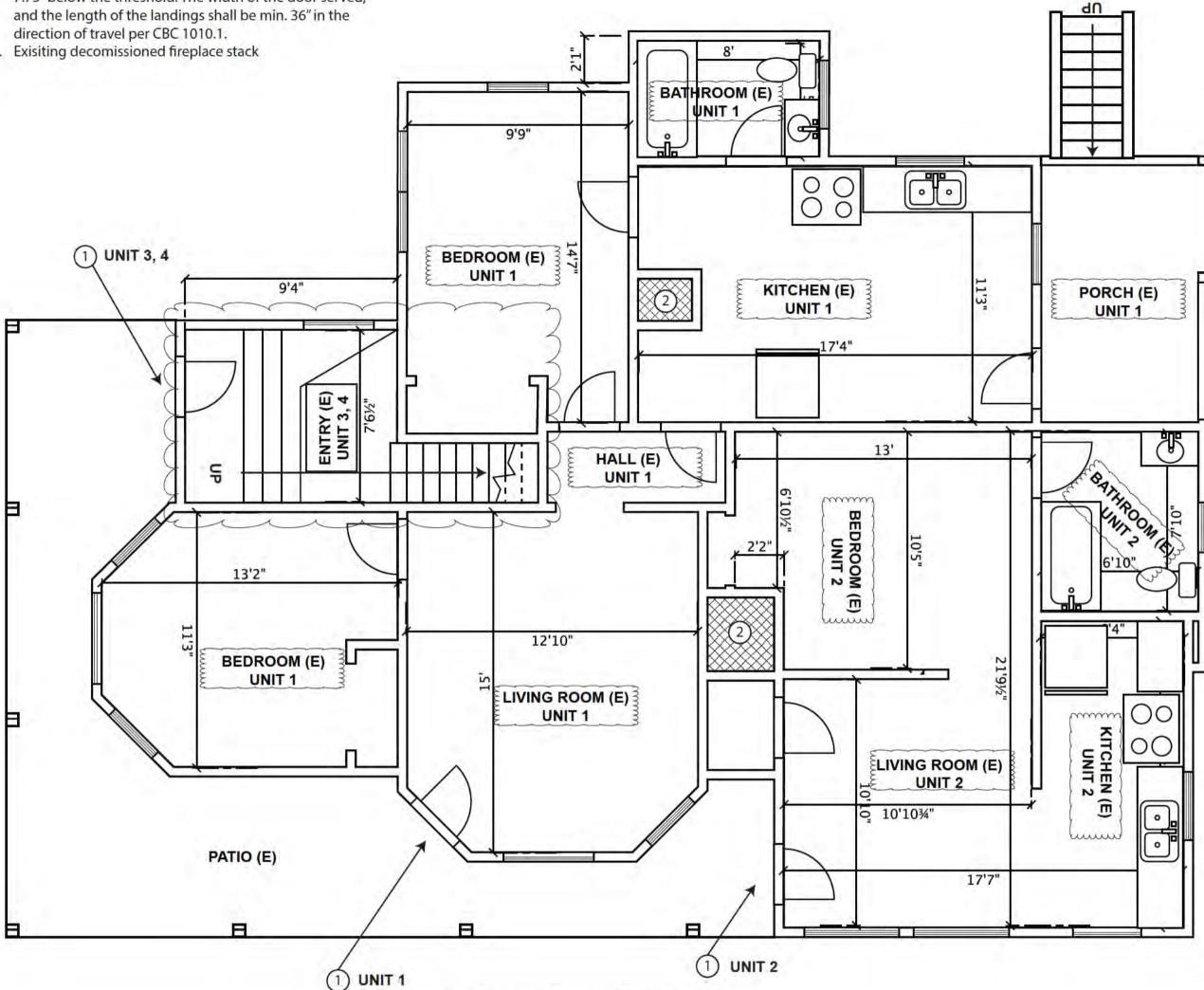
ATTACHMENT 7



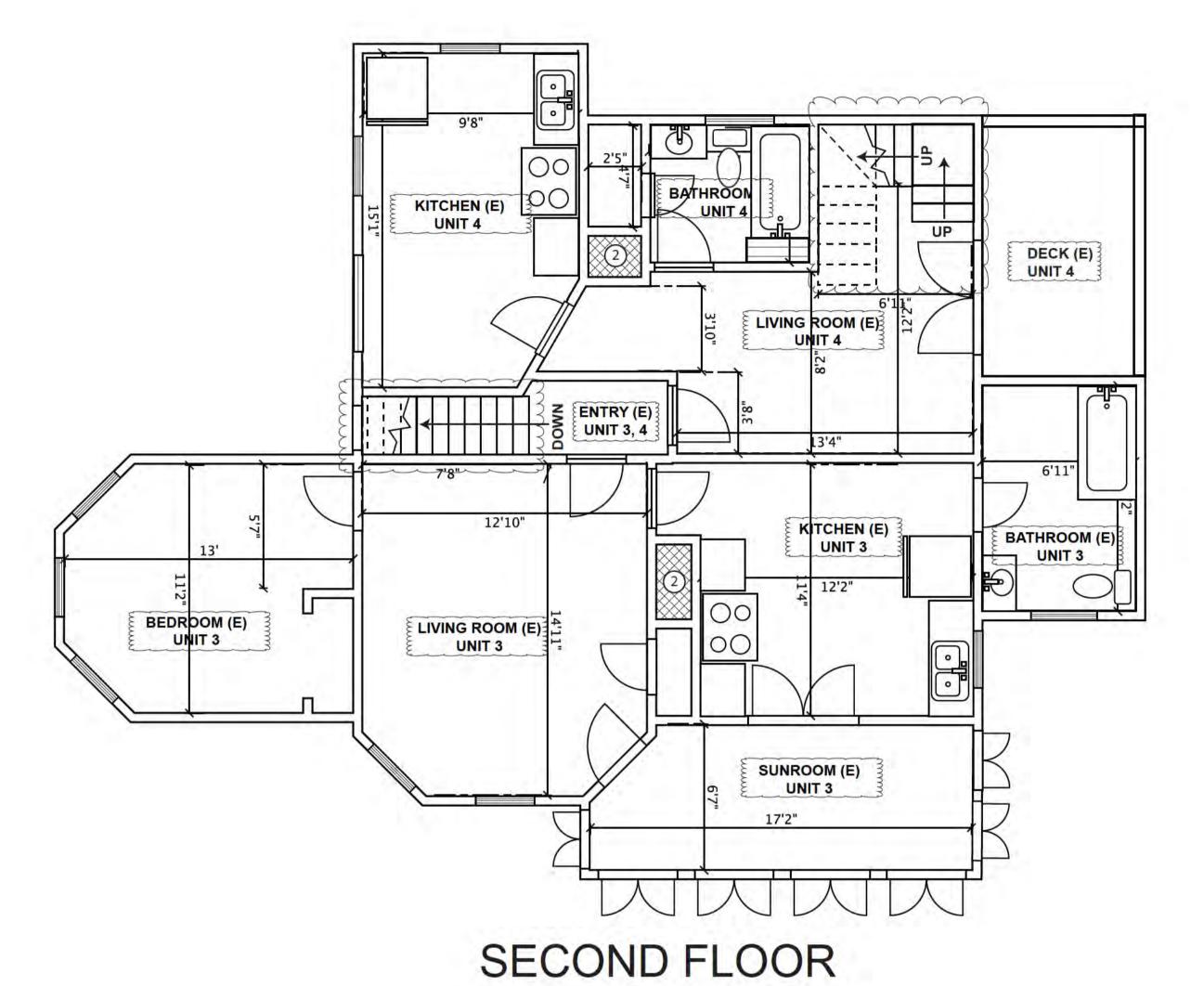


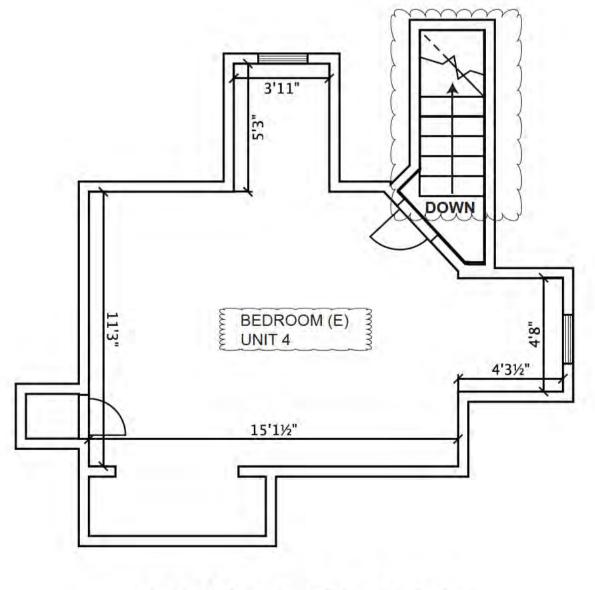
£13 Landing at exterior door which shall not be more than 7.75" below the threshold. The width of the door served,

2. Exisiting decomissioned fireplace stack



FIRST FLOOR



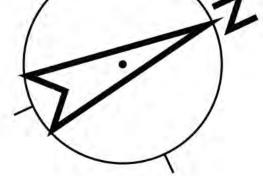


THIRD FLOOR

# 95 FAIRVIEV UNITS 2, 3 A

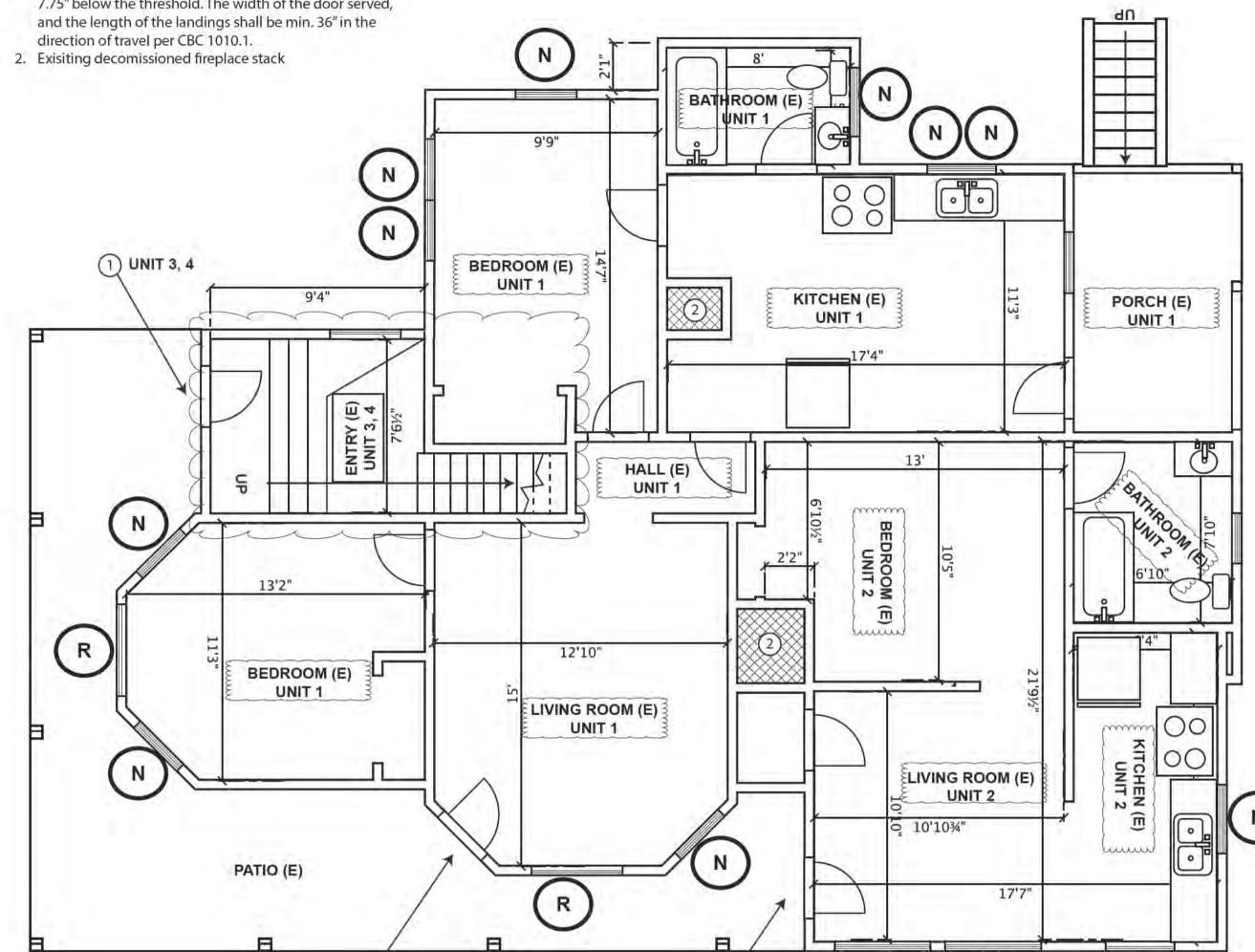
**EXISTING FLOOR** PLAN

SCALE IS 1/4"=1'





£1,3 Landing at exterior door which shall not be more than 7.75" below the threshold. The width of the door served, and the length of the landings shall be min, 36" in the



KITCHEN (E) Jamb UNIT 4 UP DECK (E) UNIT 4 R E LIVING ROOM (E) Jamb ENTRY (E) UNIT 3, 4 12'10" KITCHEN (E) BATHROOM (E UNIT 3 R 12'2" BEDROOM (E) LIVING ROOM (E) UNIT 3 SUNROOM (E) UNIT 3 N SECOND FLOOR

KEY

FIRST FLOOR

R

Repair of window planned. Window will be reglazed, repainted, and restored to full functionality (if SH or DH) new hardware, ropes, and weatherstripping. Original glass and pulleys to be used.

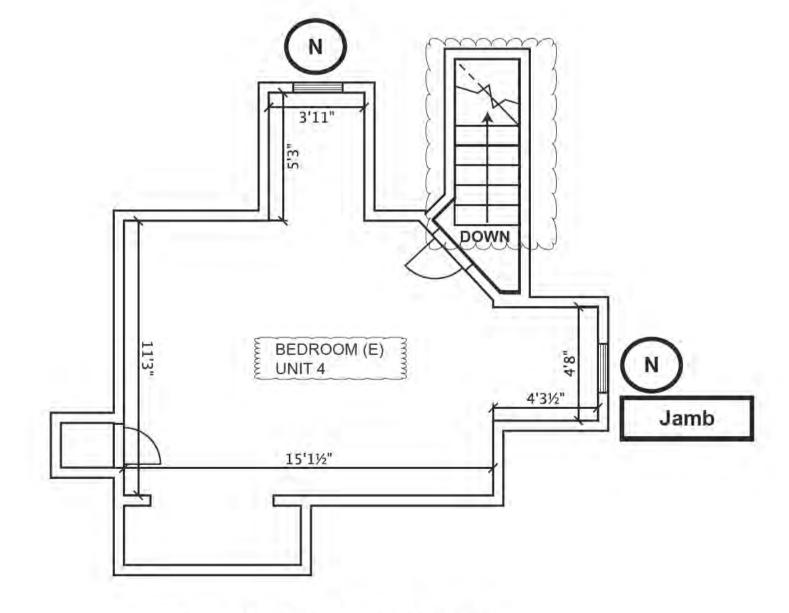
(N)

New window sashes if SH or DH, or new casement windows planned. No change to frame.

1 UNIT 2

Jamb

Jamb repair planned

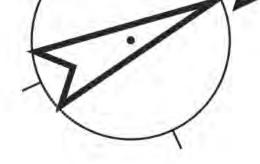


THIRD FLOOR

# 95 FAIRVIE

Proposed Window Repair and Replacement

SCALE IS 1/4"=1"



## 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)

Υ	/ N/A RESPON. PARTY	CHAPTER 3 GREEN BUILDING	Y N/A RESPON. PARTY	4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.	Y N/A R	DIVISION 4.2 ENERGY EFFICIENCY	
		SECTION 301 GENERAL		When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Section 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as an EV charging space shall count as at		4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency star	idards in this code, the
		<b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code,		least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.		Commission will continue to adopt mandatory standards.  DIVISION 4.3 WATER EFFICIENCY AN	
		but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		4.106.4.2.1 Reserved.  4.106.4.2.2 Multifamily dwellings, hotels and motels		4.303 INDOOR WATER USE	D CONSER
		<b>301.1.1 Additions and alterations. [HCD]</b> The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		1. EV ready parking spaces with receptacles.		4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTING urinals) and fittings (faucets and showerheads) shall comply with and 4.303.4.4.	
		The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section		a. Hotels and motels. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles.  b. Multifermity parking facilities. Forty (40) percent of the total number of parking spaces shall be		Note: All noncompliant plumbing fixtures in any residential real pr plumbing fixtures. Plumbing fixture replacement is required completion, certificate of occupancy, or final permit approve	prior to issuance of a
		4.106.4.3 for application. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		b. Multifamily parking facilities. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. EV charging receptacles required by this section shall be located in at least one assigned parking space per dwelling unit where assigned parking is provided but need not exceed forty (40) percent of the total number of assigned parking spaces provided on the site.		Code Section 1101.1, et seq., for the definition of a noncon buildings affected and other important enactment dates.  4.303.1.1 Water Closets. The effective flush volume of all water	npliant plumbing fixtur
		<b>Note:</b> On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate		Exception: Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the California Building Code; or parking facilities otherwise incapable of supporting electric vehicle charging.		flush. Tank-type water closets shall be certified to the performant Specification for Tank-type Toilets.  Note: The effective flush volume of dual flush toilets is def	
		of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		c. Receptacle power source. EV charging receptacles in multifamily parking facilities shall be provided with a dedicated branch circuit connected to the dwelling unit's electrical panel, unless determined as infeasible by the project builder or designer and subject to concurrence of the local		of two reduced flushes and one full flush.  4.303.1.2 Urinals. The effective flush volume of wall mounted u The effective flush volume of all other urinals shall not exceed 0.5	
		<b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</b> The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies		enforcing agency.  Exception: Areas of parking facilities served by parking lifts, including but not limited to		4.303.1.3 Showerheads.  4.303.1.3.1 Single Showerhead. Showerheads shall have	e a maximum flow rat
		specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging.  d. Receptacle configurations. 208/240V EV charging receptacles shall comply with one of		gallons per minute at 80 psi. Showerheads shall be certified WaterSense Specification for Showerheads.	d to the performance
		SECTION 302 MIXED OCCUPANCY BUILDINGS  302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building		the following configurations:  1. For 20-ampere receptacles, NEMA 6-20R 2. For 30-ampere receptacles, NEMA 14-30R		4.303.1.3.2 Multiple showerheads serving one shower. showerhead, the combined flow rate of all the showerhead a single valve shall not exceed 1.8 gallons per minute at 80 allow one shower outlet to be in operation at a time.	s and/or other shower
		shall comply with the specific green building measures applicable to each specific occupancy.  Exceptions:		3. For 50-ampere receptacles, NEMA 14-50R		Note: A hand-held shower shall be considered a sh	owerhead.
		<ol> <li>[HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.</li> <li>[HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California</li> </ol>		2. EV ready parking spaces with EV chargers.		4.303.1.4 Faucets.	
		Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.  DIVISION 4.1 PLANNING AND DESIGN		a. Hotels and motels. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped with J1772 connectors.		4.303.1.4.1 Residential Lavatory Faucets. The maximum not exceed 1.2 gallons per minute at 60 psi. The minimum not be less than 0.8 gallons per minute at 20 psi.	
		ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission		b. Multifamily parking facilities. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped with J1772 connectors. Where common use parking or unassigned parking is provided, EV chargers shall be located in common use or unassigned parking areas and shall be available		4.303.1.4.2 Lavatory Faucets in Common and Public U faucets installed in common and public use areas (outside buildings shall not exceed 0.5 gallons per minute at 60 psi.	of dwellings or sleepir
		DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise		for use by all residents or guests.  Where low power Level 2 EV charging receptacles or Level 2 EV chargers are installed beyond		<b>4.303.1.4.3 Metering Faucets.</b> Metering faucets when insmore than 0.2 gallons per cycle.	stalled in residential b
		HR High Rise AA Additions and Alterations N New		the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not		4.303.1.4.4 Kitchen Faucets. The maximum flow rate of per minute at 60 psi. Kitchen faucets may temporarily incre to exceed 2.2 gallons per minute at 60 psi, and must defau minute at 60 psi.	ease the flow above th
		CHAPTER 4 RESIDENTIAL MANDATORY MEASURES		less than 30 amperes. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS).		Note: Where complying faucets are unavailable, aerators reduction.	or other means may b
		SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS		Electric vehicle charging stations required by Section 4.106.4.2.2, Item 2, with EV chargers installed shall comply with Section 4.106.4.2.2.1.1.  Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels		<b>4.303.1.4.5 Pre-rinse spray valves.</b> When installed, shall meet the requirements in the <i>Californ</i> Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, 1605.1 (h)(4	Section 1605.3 (h)(4)(
		The following terms are defined in Chapter 2 (and are included here for reference)  FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar		shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.		(d)(7) and shall be equipped with an integral automatic shu  FOR REFERENCE ONLY: The following table and code se  Code of Regulations, Title 20 (Appliance Efficiency Regula	ection have been repri
		pervious material used to collect or channel drainage or runoff water.  WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials		4.106.4.2.2.1.1 Electric vehicle charging stations (EVCS) spaces with EV chargers installed; dimensions and location.		1605.3 (h)(4)(A).	10113),50011011 1000.1
		such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.		EVCS spaces shall be designed to comply with the following:  1. The minimum length of each EVCS space shall be 18 feet (5486 mm).		TABLE H-2	
		<ul> <li>4.106 SITE DEVELOPMENT</li> <li>4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.</li> </ul>		<ol> <li>The minimum width of each EVCS space shall be 9 feet (2743 mm).</li> <li>One in every 25 EVCS spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EVCS space is 12 feet (3658 mm). Surface slope for this EVCS space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. These EVCS spaces shall also</li> </ol>		STANDARDS FOR COMMERCIAL PRE-R VALUES MANUFACTURED ON OR AFTE	
		4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage		comply with at least one of the following:  a. The EVCS space shall be located adjacent to an accessible parking space meeting the requirements		[spray force in ounce force (ozf)]	MUM FLOW RATE (
		during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.		of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.  b. The EVCS space shall be located on an accessible route, as defined in the California Building Code.		Product Class 1 (≤ 5.0 ozf)  Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.00
		<ol> <li>Retention basins of sufficient size shall be utilized to retain storm water on the site.</li> <li>Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved</li> </ol>		Chapter 2, to the building. <b>Exception:</b> Electric vehicle charging stations designed and constructed in compliance with the <i>California Building Code</i> , Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1.		Product Class 3 (> 8.0 ozf)	1.28
		by the enforcing agency.  3. Compliance with a lawfully enacted storm water management ordinance.		4.106.4.2.2.1.2 Accessible electric vehicle charging station spaces. In addition to the requirements in Section 4.106.4.2.2.1.1, all EV chargers, where installed, shall comply with the		Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spra 1, 2006, shall have a minimum spray force of not less than	4.0 ounces-force (ozf
		<b>Note:</b> Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.		accessibility provisions for EV chargers in the <i>California Building Code</i> , Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with <i>California Building Code</i> , Chapter 11A, Section 1109A.		4.303.2 Submeters for multifamily buildings and dwelling units in n buildings.  Submeters shall be installed to measure water usage of individual	
-		(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)  4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will		4.106.4.2.3 Reserved. 4.106.4.2.4 Reserved.		4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings.	
		manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:  1. Swales		<b>4.106.4.2.5 Electric vehicle ready space signage.</b> Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its		accordance with the California Plumbing Code, and shall meet the appli 1701.1 of the California Plumbing Code.  NOTE:	
		<ul><li>2. Water collection and disposal systems</li><li>3. French drains</li><li>4. Water retention gardens</li></ul>		successor(s).  4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing		THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND CONVENIENCE FOR THE USER.	IS INCLUDED AS A
		<ol> <li>Water retention gardens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater recharge.</li> </ol>		multi-family buildings.  Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or		TABLE - MAXIMUM FIXTURE WATER USE	FLOW RATE
		Exception: Additions and alterations not altering the drainage path.		altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be EV capable spaces to support future Level 2 electric vehicle supply equipment. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for		SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 I
		<b>4.106.4 Electric vehicle (EV) charging for new construction.</b> New construction shall comply with Section 4.106.4.1 or 4.106.4.2. Electric vehicle supply equipment (EVSE) shall comply with the <i>California Electrical Code</i> .		future EV charging purposes as "EV CAPABLE."  Notes:		LAVATORY FAUCETS (RESIDENTIAL)  MAX. 1.2	GPM @ 60 PSI MIN
		<ul> <li>Exceptions:</li> <li>1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:</li> </ul>		<ol> <li>Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</li> </ol>		LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60
		<ul><li>1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.</li><li>1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional</li></ul>		2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.		KITCHEN FAUCETS  METERING FAUCETS	1.8 GPM @ 60 I
		local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.  2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional				WATER CLOSET	1.28 GAL/FLUS
		<ol> <li>Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.</li> </ol>				URINALS	0.125 GAL/FLU
		<b>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.</b> For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway					
		shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or					
		concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.					
		Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i> .					
		4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent					

mandatory energy efficiency standards in this code, the California Energy

R EFFICIENCY AND CONSERVATION

MBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

fixtures in any residential real property shall be replaced with water-conserving g fixture replacement is required prior to issuance of a certificate of final ccupancy, or final permit approval by the local building department. See Civil eq., for the definition of a noncompliant plumbing fixture, types of residential r important enactment dates.

effective flush volume of all water closets shall not exceed 1.28 gallons per hall be certified to the performance criteria of the U.S. EPA WaterSense

volume of dual flush toilets is defined as the composite, average flush volume

e flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush.

erhead. Showerheads shall have a maximum flow rate of not more than 1.8 osi. Showerheads shall be certified to the performance criteria of the U.S. EPA

verheads serving one shower. When a shower is served by more than one d flow rate of all the showerheads and/or other shower outlets controlled by ceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only be in operation at a time.

.avatory Faucets. The maximum flow rate of residential lavatory faucets shall minute at 60 psi. The minimum flow rate of residential lavatory faucets shall

ucets in Common and Public Use Areas. The maximum flow rate of lavatory on and public use areas (outside of dwellings or sleeping units) in residential l 0.5 gallons per minute at 60 psi.

**icets.** Metering faucets when installed in residential buildings shall not deliver

cets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons nen faucets may temporarily increase the flow above the maximum rate, but not minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

aucets are unavailable, aerators or other means may be used to achieve

t the requirements in the California Code of Regulations, Title 20 (Appliance ections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 ed with an integral automatic shutoff.

: The following table and code section have been reprinted from the California 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section

R COMMERCIAL PRE-RINSE SPRAY ACTURED ON OR AFTER JANUARY 28, 2019 MAXIMUM FLOW RATE (gpm) orce (ozf)]

zf and ≤ **8.0 ozf)** 

)(4)(A): Commercial prerinse spray values manufactured on or after January num spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

ildings and dwelling units in mixed-used residential/commercial

neasure water usage of individual rental dwelling units in accordance with the

ures and fittings. Plumbing fixtures and fittings shall be installed in ng Code, and shall meet the applicable standards referenced in Table

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations. Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

#### DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65

percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

 Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated iobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan. in conformance with Items 1 through 5. The construction waste management plan shall be updated as

reuse on the project or salvage for future use or sale.

necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling,

2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition waste

5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

**Note:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

**4.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.

2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

#### 4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following:

a. Equipment and appliances, including water-saving devices and systems, HVAC systems. photovoltaic systems, electric vehicle chargers, water-heating systems and other major

appliances and equipment. b. Roof and yard drainage, including gutters and downspouts.

c. Space conditioning systems, including condensers and air filters.

 Landscape irrigation systems. e Water reuse systems

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations

Public transportation and/or carpool options available in the area.

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve

7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.

8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.

11. Information from the Department of Forestry and Fire Protection on maintenance of defensible

space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements.

**4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a

building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section

42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

#### **DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL** 4.501.1 Scope

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

**SECTION 4.502 DEFINITIONS** 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

**AGRIFIBER PRODUCTS.** Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density f berboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

**DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJE

CAL GREEN BUILDING **STANDARDS** 

location shall be permanently and visibly marked as "EV CAPABLE"

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

### 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

<b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).  Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 9470 and 94701.	00
MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wo	od.
<b>PRODUCT-WEIGHTED MIR (PWMIR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).  Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).	

**VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves,

4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

**4.504.2.2 Paints and Coatings**. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories. listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations. Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

Manufacturer's product specification. 2. Field verification of on-site product containers.

Less Water and Less Exempt Compounds in Grams ր	per Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
NDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
OP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
BERGLASS	80

- 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
- 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168

TABLE 4.504.2 - SEALANT VOC LIN	MIT	
(Less Water and Less Exempt Compounds in Grams per Liter)		
SEALANTS	VOC LIMIT	
ARCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NON-POROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

COMPOUNDS  COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	400
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS <sub>1</sub>	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

AVAILABLE FROM THE AIR RESOURCES BOARD

	TABLE 4.504.	TABLE 4.504.5 - FORMALDEHYDE LIN		
	MAXIMUM FORMA	MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		
	PRODUCT		CURRENT LIMIT	
	HARDWOOD PLYV	WOOD VENEER CORE	0.05	
	HARDWOOD PLY	WOOD COMPOSITE CORE	0.05	
	PARTICLE BOARD	)	0.09	
	MEDIUM DENSITY	′ FIBERBOARD	0.11	
	THIN MEDIUM DE	NSITY FIBERBOARD2	0.13	
	BY THE CALIF. AII MEASURE FOR C	S TABLE ARE DERIVED FROM R RESOURCES BOARD, AIR T OMPOSITE WOOD AS TESTED 3. FOR ADDITIONAL INFORM	OXICS CONTROL O IN ACCORDANCE	

CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

**DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)** 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health. "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,"

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

Version 1.2, January 2017 (Emission testing method for California Specification 01350)

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

**4.504.5.1 Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.

Chain of custody certifications.

Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.

Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding. shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,

Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.

2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end 3. At least three random moisture readings shall be performed on wall and floor framing with documentation

acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of

b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems).

ASHRAE handbooks or other equivalent design software or methods 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

#### **CHAPTER 7**

#### **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**

#### 702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- . Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

**702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- . Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

#### 703 VERIFICATIONS

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

CAL GREEN BUILDING **STANDARDS** 



## TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

MEETING DATE: 06/25/2025

ITEM NO: 3

DATE: June 20, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Construct Exterior Alterations (Window

Replacement) to an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 121 Loma Alta Avenue**. APN 532-29-083. Request for Review Application PHST-25-012. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Jim Wilson. Applicant:

Renewal by Andersen/Hilda Ramirez. Project Planner: Sean Mullin.

#### **RECOMMENDATION:**

Consider a request for approval to construct exterior alterations (window replacement) to a, existing single-family residence on property zoned R-1:8, located at 121 Loma Alta Avenue.

#### **PROPERTY DETAILS:**

- 1. Date primary structure was built: 1928 per County Assessor; 1920's per Bloomfield Survey
- 2. Bloomfield Preliminary Rating: "+" Historic and intact or worthy of special note
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? N/A
- 5. If yes, is it a contributor? N/A
- 6. Findings required? No
- 7. Considerations required? Yes

#### **BACKGROUND:**

The subject property is located on the northeast side of Loma Alta Avenue, just south of Whitney Avenue. The County Assessor indicates a construction date of 1928. The Bloomfield Survey estimates the construction date as the 1920s, providing a preliminary rating of Historic and intact or worthy of special note (Attachment 1).

#### **DISCUSSION**:

The applicant is requesting approval to replace six existing wood windows (three double hung and three awnings) on the left-side elevation with wood composite windows in the same style

PREPARED BY: Sean Mullin, AICP

Planning Manager

PAGE **2** OF **3** 

SUBJECT: 121 Loma Alta Ave/PHST-25-012

DATE: June 20, 2025

(Attachments 2 and 3). The documentation provided by the applicant indicates that the new windows would be like-for-like replacements of the existing windows.

The Residential Design Guidelines provides the following recommendations related to window materials:

### 3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

• Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

#### 4.8.2 Building Materials

Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

#### 4.8.4 Windows and Glass in doors

Windows should be constructed of real glass, and window frames should be constructed
of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the
window frame and dressing is designed consistent with the historic context of the
building.

The proposed wood composite material was not available when the Guidelines were written, and it is silent on its use. The Guidelines emphasize the use of wood windows but allows exceptions for alternative materials when they are not noticeably different from wood at a short distance, found to be consistent with the historic context, and consistent with the appearance of the original material where it would be unlikely to discern the difference.

PAGE **3** OF **3** 

SUBJECT: 121 Loma Alta Ave/PHST-25-012

DATE: June 20, 2025

#### **CONSIDERATIONS:**

#### A. Considerations

#### Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

X For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

#### **CONCLUSION:**

The applicant requests approval to replace six existing wood windows (three double hung and three awning) with wood composite windows in the same style (Attachments 3 and 4). The proposed windows are proposed as like-for-like replacements of the existing windows, using a wood composite material rather than wood. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director, and the project would be completed with a Building Permit. The project would not return to the Committee.

#### **ATTACHMENTS**:

- 1. 1990 Anne Bloomfield Survey
- 2. Proposed Window Specifications
- 3. Floor Plan

This Page Intentionally Left Blank

Page 110

Context(s):

Anne Bloomfield

ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO. CA 94115

### ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

File	address 121	Loma Alta		N
	INFORMATION			670
				front ft. x 60 ft. deep
		Rectangle wi		
				St Ave_ Other
	distance to cro	ss st: <u>200</u> f	t. N S E	W from Whother
		at NE NW_	SE SW	corner of
	NFORMATION ON P			
Old tract	or subdivision	name Johnson Ad	Old Block	#_4 Old lot #_/O
		(handwritten in re		1
Preliminar	ry rating +	Estimated age /	920 <sub>5</sub> Style	# stories
Alteration	ıs			
Other ne	ergela			
- (				Page Store Effective date
AFN SING	SI2-29-083 ADDRESS 1 LE FAMILT TRA USE CODE VS BUILT	21 LOMA ALTA 3-001 WIDTH 150 A 01 DEPTH 150 A	2. FEET ',536 TOT ROO DDN:S/F BEDROO 0. FLOORS 1 BATHS	OMS 7 DINING ROOM 1 POOL GARAGE S/F SOO 1.0 UTILITY RM 1 FIN BENT
400	SHOWN ON MAPS	28 ALRES		
Source Name	Source Source Date Page	Location of pro Old tract/block		Owner Name_
	1891			
B1k Book	1908		*	
Survey	1941			
Survey				
MISCELLANE	COUS		PHOTOS	: Roll/frame # 034/22 Date 22-
	Register listed Ventory 1979	date		
Town of Lo	os Gatos: Design	ation Recogni	tion	
Distric				
Previou Gebhard:	Survey	ustration noon #		
oma AHa	Deague - A	Alterations: M	/2/ 21A	22
ALUATION.	Contributo District Non-contri	Raised Porch	encl	
	DISTRICT HOH-CORETA	Addition_ Sid Windows_ Condi	tion_	ATTACHMENT 1

Designer: a\_ b\_ d\_

## Anne Bloomfield

### ARCHITECTURAL SURVEY BUILDING RESEARCH

ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO. CA 94115

					BUIL	DING	RESEAR	CH					
PUBLISHED ANNOUN	CEMENTS Bulletin	_CA&BNCall	Chron	DPB Bd	AB EX	New	PCA			Othe	or		
Volume	Dat	0	Page									h't/cont'r	oubReal est.
Copy exactly:												in cycone r i	
Owner	Bu	ilder/Contracto		Archite	ct/Engin	eer	Location		1	lature of work			Cost
						MIN.							
					-							/Initials	Date
BUILDING PERMITS	Add	ress requested_										B16	ig's
ource: Permit legister, Press-						Use/	Owner	Build	001010/00	Arch't/		wio	ith/
em., or	Application Number 1	Date		ocation	Cost	No. of	address	contr		engin'r	Description		oth/ Exterior ight   Materials
									X.				
						68 6							
										14	Mary Land		
												nitials	date
other source (sp Bruntz, 159- 1919 panora	ecify thoroug	hly) Rblizit	4									*	
Bruntz 159-	la . Hides	in FHA	amaais	n 1955									
1919	- 4	lade.	. 1 /										
in panora	ena—pe	umarrees											
												/Initials	Date
CANDODN MADE		Color										/ *************************************	Date
SANBORN MAPS	Vac.	Color: yel, p											
Vol/	or dif.	orange blu,gr		Patches Yes/	No. of	Height	No. of	P. 20 "	1 M			Date of De	scribe or sketch
Date   page	bldq Addres	green		No	stories	(ft.)	windows	BACH	1			constr.	plan
1895 3	vac .												
1904 14	1"												
1908 15										1		Г	
1928 26	12	4	D	×	1		0	/	au	rear	to the	4	
1945 1	this 121	4	0	1									7
Page 111													n ( )
					1								

### Anne Bloomfield

## ARCHITECTURAL SURVEY ASSESSMENT ROLL RESEARCH

File Address 121 Loma Alta

Tract/Block/Lot Johnson/4/10

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or mroe. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

<u>Date</u>	Page 26	Name Davisa Moglia	Tract or Acres N	Bdy E	lock or Bdy	Lot # or	W Bdy		ment for Improve- ments \$ ——	Other Info.
1920	30	", Jos			А	и		490.	700	to Mrs & A Goldman
						· <del>************************************</del>				
			· · · · · · · · · · · · · · · · · · ·	<del></del>	<del></del>		<del></del>		) <del></del>	
-							·			
-			<u> </u>			· <del></del>				
	- <del></del>						- <del></del>		11 <del>1 - 22 - 11 - 21 - 11</del> -	
			-		·*·				,	
*****					70	· • • • • • • • • • • • • • • • • • • •	<del></del>			
								-		
Dava 440									-	

Page 112

This Page Intentionally Left Blank



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com
Measure Tech: Mykola laroshenko,



## Installation Package

121 Loma Alta Ave Los Gatos, CA 95030

PRODUCTS: 7 WINDOWS: 6 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1
Updated 5/6/25

BUYER

121 Loma Alta Ave Los Gatos, CA 95030

H:

Year Built:

Est. Duration: 1 day

REPRESENTATIVE

**Paul Howell** 

phowell@renewalbayarea.com

TECH MEASURE

Mykola Iaroshenko

miaroshenko@renewalbayarea.com

### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

Measure Tech: Mykola laroshenko,



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. I Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

Measure Tech: Mykola Iaroshenko,



ID#	ROOM	SIZE		DETAILS
JOB				
101	Basement	35" <b>35-1/2"</b>	17" <b>18-1/2"</b>	Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas  Performance Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All  Sash: High Performance SmartSun with HeatLock Glass, No Pattern,  Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille  Style: No Grille Misc: None Construction: None Material: Flashing Tape 4"  (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft)  (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)
102	Basement	35" <b>35-1/2"</b>	17" <b>18-1/2"</b>	Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas  Performance Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All  Sash: High Performance SmartSun with HeatLock Glass, No Pattern,  Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille  Style: No Grille Misc: None Construction: None Material: Flashing Tape 4"  (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft)  (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)
103	Basement	35" <b>35-1/2"</b>	17" <b>18-1/2"</b>	Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas  Performance Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All  Sash: High Performance SmartSun with HeatLock Glass, No Pattern,  Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille  Style: No Grille Misc: None Construction: None Material: Flashing Tape 4"  (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft)  (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)
104	Bedroom	35" <b>35-1/4"</b>	35" <b>35"</b>	Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame, Traditional Checkrail, Exterior Canvas, Interior Canvas Performance Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen: Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction: None Material: Flashing

05/06/25 Page 2 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. I Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 |

sfaccounting@renewalbayarea.com Measure Tech: Mykola Iaroshenko,



D0014			
ROOM	SIZE		DETAILS
			Tape 4" (0.25), Foam Can (0.15), Canvas Caulk (Retro) (4), Canvas Flat
			Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas Retro-L Coil - 10ft (2)
Bedroom	35"	35"	<b>Window:</b> Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame,
	35-1/4"	35"	Traditional Checkrail, Exterior Canvas, Interior Canvas Performance
			Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All Sash: High
			Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass
			Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen:
			Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction:
			None <b>Material:</b> Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk
			(Retro) (4), Canvas Flat Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas
			Retro-L Coil - 10ft (2)
Bedroom	35"	35"	<b>Window:</b> Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame,
	35-1/4"		Traditional Checkrail, Exterior Canvas, Interior Canvas Performance
			Calculator: PG Rating: 40   DP Rating: + 40 / - 40 Glass: All Sash: High
			Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass
			Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen:
			Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction:
			None <b>Material:</b> Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk
			(Retro) (4), Canvas Flat Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas
			Retro-L Coil - 10ft (2)
	0"	0"	Misc: Misc, All Job Charges Miscellaneous charges, Production OHLJ
			Adjustment Fee, Quantity 1, Haul Away, Dispose, City, County, State, Home
			Owner Association Regulatory and Compliance Fees (as applicable).
			Construction: None Material: None
		Bedroom 35" 35-1/4"  Bedroom 35" 35-1/4"	Bedroom 35" 35"  35-1/4" 35"  Bedroom 35" 35"  35-1/4" 35"

PRODUCTS: 7 WINDOWS: 6 PATIO DOORS: 0 ENTRY DOORS: 0 SPECIALTY: 0 MISC: 1

*Updated 5/6/25* 

### **JOB NOTES**

\*\*\*\*Green Diamond Certified Commitment\*\*\*

Here are important steps for the customer:

Interior/exterior finish of L-trim/Flat Trim

05/06/25 Page 3 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420, 4100 | Fay: (510) 751, 5247 |

Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

Measure Tech: Mykola laroshenko,



### **JOB NOTES**

**Estimated Duration: 1 days** 

Scheduling: 6 Insert/Retro Windows, 2nd Floor.
Stucco/Scaffolding: N/A
Permitting: yes
HOA: no
Ordering: 6w
Recast: 100%
****Installer Notes****:
- L-trim exterior and flat trim interior on all windows.
- please note customer has severe unlevel at 3 windows. We need to install in level
Please call me with any questions.

05/06/25 Page 4 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

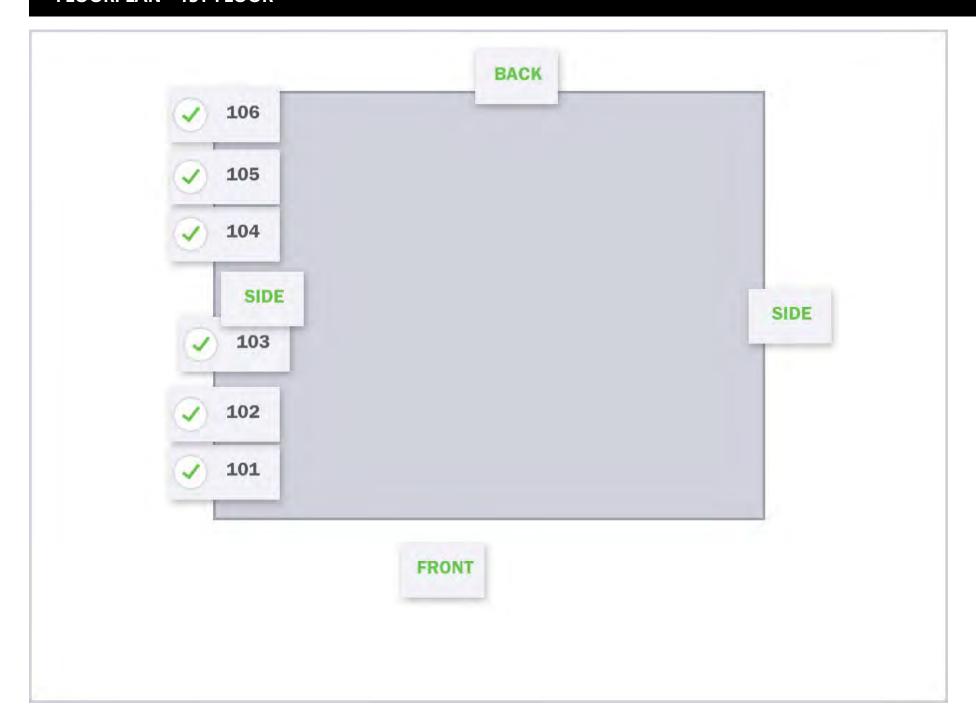
Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544

Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

Measure Tech: Mykola laroshenko,

121 Loma Alta Ave Los Gatos, CA 95030

### FLOORPLAN - 1ST FLOOR



### **UNIT NOTES**

Haul Away, Dispose, City, County, State, Home Owner Association Regulatory and Compliance Fees (as applicable).

### **JOB PHOTOS**





Image 1 Image 2

05/06/25 Page 5 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

sfaccounting@renewalbayarea.com Measure Tech: Mykola laroshenko,



101

Basement 35-1/2" W 18-1/2" H Window, Awning



Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft) (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)

TION	
5	
Flashing Tape 4"	0.25 units
Foam Can	0.15 cans
Canvas Caulk (Retro)	3 x 3ft
Canvas Flat Trim (12ft)	1 x 12ft
Canvas L-trim (12ft)	1 x 12ft
Canvas Retro-L Coil - 10ft	1 x 10ft
	Canvas Flat Trim (12ft)  Canvas L-trim (12ft)



**UNIT NOTES** 

## 102

### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

sfaccounting@renewalbayarea.com Measure Tech: Mykola laroshenko,



102 Bar 35-Wi

Basement 35-1/2" W 18-1/2" H Window, Awning



Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft) (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)

UNIT CONSTRUC	TION	
UNIT MATERIAL		
COMMON MATERIALS (AUTO)	Flashing Tape 4"	0.25 units
COMMON MATERIALS (AUTO)	Foam Can	0.15 cans
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Caulk (Retro)	3 x 3ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Flat Trim (12ft)	1 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas L-trim (12ft)	1 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Retro-L Coil - 10ft	1 x 10ft

### **UNIT PHOTOS**



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

Measure Tech: Mykola laroshenko,

121 Loma Alta Ave Los Gatos, CA 95030 H:

103 Basement 35-1/2" W 18-1/2" H Window, Awning



Window: Acclaim™ Awning, Base Frame, Exterior Canvas, Interior Canvas Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock Glass, No Pattern, Tempered Glass Hardware: Canvas Screen: Fiberglass, Full Screen Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk (Retro) (3), Canvas Flat Trim (12ft) (1), Canvas L-trim (12ft) (1), Canvas Retro-L Coil - 10ft (1)

TION	
S	
Flashing Tape 4"	0.25 units
Foam Can	0.15 cans
Canvas Caulk (Retro)	3 x 3ft
Canvas Flat Trim (12ft)	1 x 12ft
Canvas L-trim (12ft)	1 x 12ft
Canvas Retro-L Coil - 10ft	1 x 10ft
	Foam Can  Canvas Caulk (Retro)  Canvas Flat Trim (12ft)  Canvas L-trim (12ft)

**UNIT PHOTOS** 



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

sfaccounting@renewalbayarea.com Measure Tech: Mykola laroshenko,



104

Bedroom 35-1/4" W 35" H Window, Double-Hung (DG)



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame, Traditional Checkrail, Exterior Canvas, Interior Canvas

Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock

Glass, No Pattern, Tempered Glass Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen: Fiberglass, Full Screen

Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk

(Retro) (4), Canvas Flat Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas Retro-L Coil - 10ft (2)

UNIT NOTES		
UNIT CONSTRU	TION	
UNIT MATERIAL	S	
COMMON MATERIALS (AUTO)	Flashing Tape 4"	0.25 units
COMMON MATERIALS (AUTO)	Foam Can	0.15 cans
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Caulk (Retro)	4 x 3ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Flat Trim (12ft)	2 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas L-trim (12ft)	2 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Retro-L Coil - 10ft	2 x 10ft



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

staccounting@renewalbayarea.com Measure Tech: Mykola Iaroshenko, 121 Loma Alta Ave Los Gatos, CA 95030 H:

**UNIT PHOTOS** 

05/06/25 Page 10 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com 121 Loma Alta Ave Los Gatos, CA 95030 H:

105 Bedroom
35-1/4" W 35" H
Window, Double-Hung (DG)

Measure Tech: Mykola laroshenko,



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame, Traditional Checkrail, Exterior Canvas, Interior Canvas

Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock

Glass, No Pattern, Tempered Glass Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen: Fiberglass, Full Screen

Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk

(Retro) (4), Canvas Flat Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas Retro-L Coil - 10ft (2)

UNIT NOTES  UNIT CONSTRUCTION						
COMMON MATERIALS (AUTO)	Flashing Tape 4"	0.25 units				
COMMON MATERIALS (AUTO)	Foam Can	0.15 cans				
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Caulk (Retro)	4 x 3ft				
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Flat Trim (12ft)	2 x 12ft				
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas L-trim (12ft)	2 x 12ft				
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Retro-L Coil - 10ft	2 x 10ft				



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

staccounting@renewalbayarea.com Measure Tech: Mykola Iaroshenko, 121 Loma Alta Ave Los Gatos, CA 95030 H:

**UNIT PHOTOS** 

05/06/25 Page 12 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com



106 Bedroom
35-1/4" W 35" H
Window, Double-Hung (DG)

Measure Tech: Mykola laroshenko,



Window: Acclaim™ Double-Hung (DG), 1:1, Flat Sill, Insert Frame, Traditional Checkrail, Exterior Canvas, Interior Canvas

Performance Calculator: PG Rating: 40 | DP Rating: + 40 / - 40 Glass: All Sash: High Performance SmartSun with HeatLock

Glass, No Pattern, Tempered Glass Hardware: Antique Brass, Estate Finish Recessed Hand Lift Screen: Fiberglass, Full Screen

Grille Style: No Grille Misc: None Construction: None Material: Flashing Tape 4" (0.25), Foam Can (0.15), Canvas Caulk

(Retro) (4), Canvas Flat Trim (12ft) (2), Canvas L-trim (12ft) (2), Canvas Retro-L Coil - 10ft (2)

UNIT NOTES		
UNIT CONSTRUC	TION	
UNIT MATERIAL	S	
COMMON MATERIALS (AUTO)	Flashing Tape 4"	0.25 units
COMMON MATERIALS (AUTO)	Foam Can	0.15 cans
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Caulk (Retro)	4 x 3ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Flat Trim (12ft)	2 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas L-trim (12ft)	2 x 12ft
RETRO/L/ FLAT/CEO/ CAULK (AUTO)	Canvas Retro-L Coil - 10ft	2 x 10ft



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 | sfaccounting@renewalbayarea.com

sfaccounting@renewalbayarea.com Measure Tech: Mykola Iaroshenko, 121 Loma Alta Ave Los Gatos, CA 95030 H:

**UNIT PHOTOS** 

05/06/25 Page 14 / 16



### dba: RENEWAL BY ANDERSEN OF SAN FRANCISCO

Legal Name: Jemico, LLC | License # CA CSLB#: 972702 30806 Santana St. | Hayward, CA 94544 Phone: (866) 420-4109 | Fax: (510) 751-5347 |

sfaccounting@renewalbayarea.com Measure Tech: Mykola Iaroshenko,





## Misc

Misc: Misc, All Job Charges Miscellaneous charges, Production OHLJ Adjustment Fee, Quantity 1, Haul Away, Dispose, City, County, State, Home Owner Association Regulatory and Compliance Fees (as applicable). Construction: None Material: None

### **UNIT NOTES**

Haul Away, Dispose, City, County, State, Home Owner Association Regulatory and Compliance Fees (as applicable).

**UNIT CONSTRUCTION** 

**UNIT MATERIALS** 

**UNIT PHOTOS** 

05/06/25

# Installation Invoice



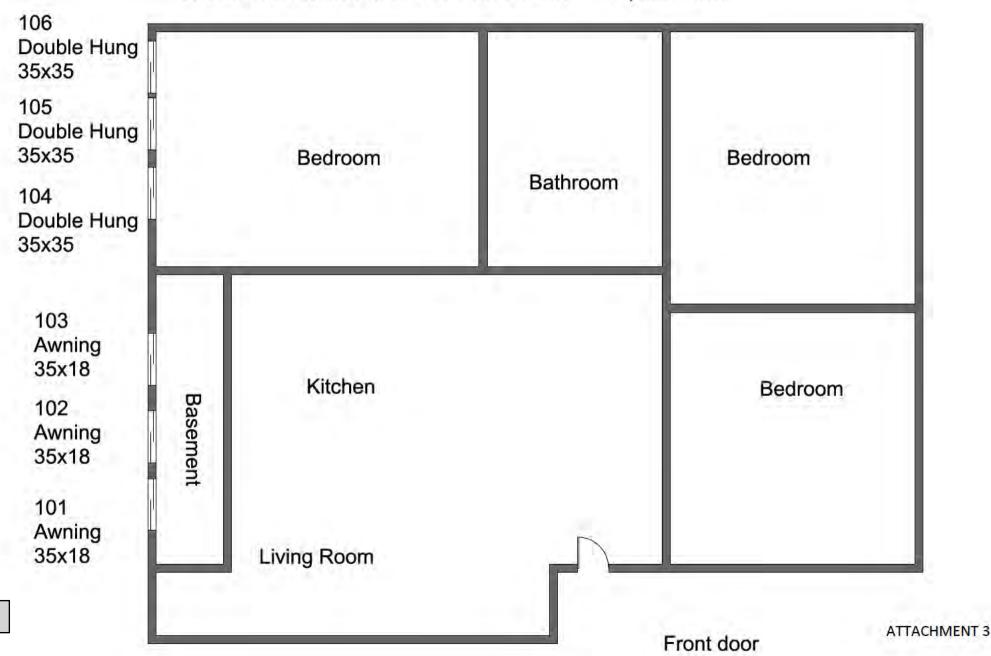
DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL
Base Unit Installation Charges, Full Frame & EJ Frame			
Base Unit Installation Charges, Insert Frame & Base Frame			
Install Awning Window (Base Frame), 50-59.99 UI	3	\$215.00	\$645.00
Install Double-Hung Window-DG (Base Frame), 70-79.99 UI	3	\$215.00	\$645.00
Base Unit Installation Charges, Patio Doors			
Base Unit Installation Charges, Entry Doors			
Construction Charges			
	SUBTOTAL	\$	1,290.00
Additional Items			
	<b>ADDITIONAL</b>	\$	

TOTAL \$

## 121 Loma Alta Ave, Los Gatos, CA 95030

Scope of work: Replace 6 retrofit windows (like for like)

Existing - Wood
Proposed - Fibrex



Page 130

## Double-Hung

This classic window style is an excellent choice no matter where you live. Choose gently curved Contemporary or squared Traditional Check Rails.

### CONVENIENT

**WINDOWS** 

Easy cleaning from the inside.

### ELEGANT

Traditional look of mortise-andtenon styling.

### ACCURATE

Appropriate for restoration and renovation projects.



Double-Hung Equal Window



Double-Hung Cottage Style Window



Style Window

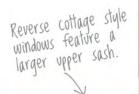




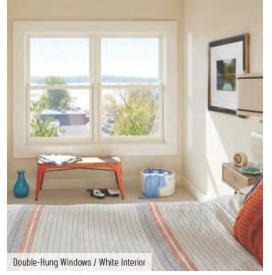
Contemporary



Traditional





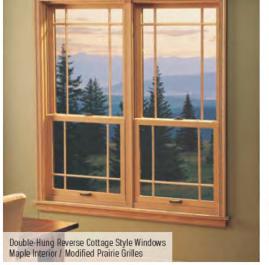












12 RENEWALBYANDERSEN.COM RENEWALBYANDERSEN.COM 13

## Casement and Awning **WINDOWS**

Casement windows catch a breeze and direct fresh air indoors, allowing the most ventilation of any window style. Awning windows let in fresh air, even on rainy days!

### EASY

Casement windows open wide to allow easy cleaning of outside glass from the inside⁴and can be hinged from the right or left.

### EFFICIENT

Casement and awning windows are our most energy-efficient ventilating window styles.

### SECURE

One lever positioned in an easy-to-reach location securely locks the casement window at multiple points for a weathertight seal.

### CONVENIENT

Awning windows are recommended for use over cabinets, counters, or areas where opening and closing require a reach.



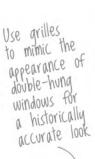
Casement Window



Casement Double Window



a historically













This Page Intentionally Left Blank



MEETING DATE: 06/25/2025

ITEM NO: 4

DATE: June 20, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Construct a Second-Story Addition of 100

Square Feet and Exterior Alterations to an Existing Noncontributing Single-Family Residence in the University-Edelen Historic District on Property Zoned

R-1D:LHP. **Located at 117 Edelen Avenue**. APN 529-02-020. Minor Development in an Historic District Application HS-25-030. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA)

Guidelines, Section 15310: Existing Facilities. Property Owner: Jeff and Julie Prince. Applicant: David Kuoppamaki. Project Planner: Maria Chavarin.

### **RECOMMENDATION:**

Consider a request for approval to construct a second-story addition of 100 square feet and exterior alterations to an existing noncontributing single-family residence in the University Edelen Historic District on property zoned R-1D:LHP, located at 117 Edelen Avenue.

### **PROPERTY DETAILS:**

- 1. Date primary structure was built: 2000 per County Assessor's Database; 2000 per Town records
- 2. Town of Los Gatos Historic Status Code: N/A
- 3. Does property have an LHP Overlay? Yes
- 4. Is structure in a historic district? Yes, University-Edelen Historic District
- 5. If yes, is it a contributor? No
- 6. Findings required? No
- 7. Considerations required? Yes

### **BACKGROUND:**

The Santa Clara County Assessor's Database and Town records indicate that the original residence located at 117 Edelen Avenue was demolished in 2000, and the existing residence was constructed in 2000. The 1990 Anne Bloomfield Survey does not provide a specific construction date for the original residence, providing only an estimated construction date of the 19<sup>th</sup> century (Attachment 1). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the original residence as having consistent footprint through 1956 (Attachment 2). The list of permits found in the Town records reflect permits issued since the

PAGE 2 OF 4

SUBJECT: 117 Edelen Avenue/HS-25-030

DATE: June 20, 2025

2000's clearly indicating that the original residence was approved for demolition (Attachment 3). The following is a summary of the Town's permit records included in Attachment 3:

- 2000 Demolition Permit for single-family residence and garage;
- 2000 Building Permit for new single-family residence and garage; and
- 2001 Electrical and Plumbing Permits to convert cellar to habitable area.

Current photos of the property are found in Attachment 4.

On April 23, 2025, the Committee considered a request for preliminary review for exterior alterations and construction of a 100-square foot second-story addition to an existing single-family residence. The Committee considered the request, discussed the item, and provided the following feedback to the applicant (Attachment 5):

- Consider adding two windows rather than one on the front elevation as the proposed design removes a gable window;
- Consider adding a belly band to break the first and second stories on the left elevation;
- Concerns with the number of proposed windows being removed on the left elevation as this modifies the building's unique character;
- The proposed design is departing from the Victorian style in the neighborhood;
- The proposed flat roof line is not compatible with the Victorian architectural style;
- The proposed design is a major change in appearance and is not consistent with other homes in the neighborhood in terms of style; and
- The second-story addition changes the overall character of the house.

### DISCUSSION:

On June 3, 2025, the applicant submitted a request for a formal review and a recommendation. In their response, the applicant provided revised development plans (Attachment 8) and justification addressing the recommended changes from the previous HPC meeting (Attachment 3). Below is the applicant's response to the recommended changes:

- We agree that adding another gable to the front elevation will add character. We've proposed a new gable over the 2nd story front closet window;
- I disagree with this. Look in the neighborhood and belly bands are missing quite often. We have belly bands on most of this house, but this area has an odd condition of how to stop the belly band at the front. With that being said, I've added a belly band to support your concerns;
- These windows are not visible from the road, or much of anywhere except our drawings.
   With the new design layout we would prefer to keep these windows removed; The neighborhood is not just Victorian style. On just this road you can see: Sea Ranch/Modernist style, Colonial Style, Ranch/Craftsman style, Bungalow Style, Italianate Style and a Contemporary Victorian Style. The neighboring house, 121 Edelen, I'm calling Italianate

:\Users\MeetingsOfficeUser13\AppData\Local\Temp\tmp393F.tmp

PAGE 3 OF 4

SUBJECT: 117 Edelen Avenue/HS-25-030

DATE: June 20, 2025

Style due to its low-pitched roof, decorative brackets and emphasis on vertical lines. I feel this house was originally designed by Gary Schloh as a Craftsman style house (not Victorian in architectural style). We're proposing a more Italianate Style house similar to 121 Edelen;

- Again, we're not proposing a Victorian style house and feel you do not need a Victorian style house to adhere to the history of this neighborhood; and
- Yes we are changing the characteristic of the house from Craftsman style. This is to give our Client, the new home owner, a normal ceiling height home with their remodel. In our eyes it is very consistent with many other homes in the neighborhood in terms of style. When walking around the corner of Miles and University, you see a house under construction with very similar style and a much simpler roof design (yes, they have a higher pitched roof).

The applicant provided revised plans (Attachment 8) and opted to keep a single window and introduced a low-pitched gable roof over the single window on the front elevation. A belly band was added to the left elevation in efforts to show a break between the first and second stories. The applicant prefers to remove and fill in most windows on the left elevation. Their justification is based on visibility, the left elevation is not visible from the road. Based on the applicant's neighborhood analysis, they determined that the neighborhood is comprised of a combination of older architectural styles and not only Victorian style. The applicant has firmly expressed that their intent is not to propose a Victorian style house. However, the design has been revised to incorporate low-pitched roofs above the new windows. The applicant indicates that the intent of the remodel is to achieve traditional ceiling heights in keeping with other homes in the neighborhood in terms of style. The applicant's response to the Committee's feedback is found in Attachment 6 of this report.

### **CONSIDERATIONS:**

#### A. Considerations

### Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

X In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

### B. Residential Design Guidelines

PAGE 4 OF 4

SUBJECT: 117 Edelen Avenue/HS-25-030

DATE: June 20, 2025

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 7).

### **CONCLUSION:**

The applicant is requesting approval to construct a second-story addition of 100 square feet and exterior alterations to an existing noncontributing single-family residence in the University-Edelen Historic District on property Zoned R-1D:LHP. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director and the application would continue through the Building Permit process and would not return to the Committee for further consideration.

### **ATTACHMENTS**:

- 1. 1990 Anne Bloomfield Survey
- 2. Sanborn Fire Insurance Maps
- 3. Town Building Permit Records
- 4. Exterior Photos
- 5. HPC Action Letter, April 23, 2025
- 6. Response Letter to the Direction of the Historic Preservation Committee
- 7. Section 3.9, Residential Design Guidelines
- 8. Development Plans

## Anne Bloomfield

## ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

File address 117 Edelen				
PARCEL MAP INFORMATION				
Parcel # 529 - 02 - 02				
Lot shape: Rectangle / L Rectangle with small rear jog Other				
Location: N_ S_ E_ W/ side of St Ave_/ Other				
distance to cross st: 144 ft. NOS E W from Miles				
at NE NV SE SW corner of				
HISTORIC INFORMATION ON PARCEL MAP				
Old tract or subdivision name Vingar Lots Old Block # 2 Old lot # //				
FIELD SURVEY INFORMATION (handwritten in red)				
Preliminary rating Estimated age 19 the Style 1-plan Generic # stories				
Alterations parch enclosed - new door				
Other 7/2 + 4/4 windows on side				
COUNTY ASSESSORPROPERTY CHARACTERISTICS (paste on copy) EFFective date				
and is				
OWNERSHIP SHOWN ON MAPS Source Source Location of property, or Lot Owner				
Name Date Page Old tract/block/lot Size Name				
<u>1891</u>				
B1k Book 1908				
<u>Survey</u> 1944				
MISCELLANEOUS  National Register listed date  PHOTOS: Roll/frame #009/16 Date 9 No. 89				
County Inventory 1979				
Town of Los Gatos: Designation Recognition				
District Name				
Previous Survey				
Gebhard: page # illustration page # isa i6 Butler/Junior League				

### Assessment Report 117 Edelen Avenue

Los Gatos, California



March 2, 1999

Prepared for Ludwig Spolyar, Ph.D., Owner

Prepared by
Carey & Co. Inc.
Old Engine Co. No. 2
460 Bush Street
San Francisco, CA 94108



CAREY & CO. INC. ARCHITECTURE

Assessment Report 117 Edelen Avenue

Los Gatos, California

March 2, 1999

Prepared for Ludwig Spolyar, Ph.D., Owner

Prepared by
Carey & Co. Inc.
Old Engine Co. No. 2
460 Bush Street
San Francisco, CA 94108



CAREY & CO. INC. ARCHITECTURE

117 Edelen Avenue Los Gatos, California

ASSESSMENT REPORT March 2, 1999

### INTRODUCTION

At the request of Ludwig Spolyar, Ph.D., owner of 117 Edelen Avenue, Carey & Co. Inc. has prepared the following assessment report. This report is intended to supply the Town of Los Gatos Planning Department, Historic Preservation Committee, with background information establishing the historic significance and value of the existing house at 117 Edelen Avenue.

### HISTORIC STATUS

Our research indicates that the Town of Los Gatos has not specifically recognized and designated the subject property as historic, based on its own merit. The Town Code, however, (section 29.10.020) recognizes structures constructed before 1941 as potentially historic. In addition, the property is a contributory property within a designated historic district, University/Edelen Historic District, HD-86-1B. The parcel # 529-02-020, is located in the old Miles/Edelen Subdivision, the Vineyard Lots, old block #2, old lot #11 and is a 48 foot by 110 foot lot.

### Period of Significance

Period of Significance is the time span in which a building achieves the character and status for which it will be historically noted. Determining a building's Period of Significance is necessary to establish the importance of early alterations that are compatible with the original design. Also, it is often difficult to distinguish between original fabric and early compatible alterations. The Period of Significance enables both original features and early compatible modifications to be interpreted as important historical materials or configurations. The construction date of 117 Edelen did not surface during our research, but a reasonable working date is late 19<sup>th</sup> century because of the style of the structure and the materials used in its construction. The Town of Los Gatos designates 1941 (by ordinance) as the cut-off date for historic buildings. The Period of Significance; therefore, is late 19<sup>th</sup> century - 1941.

### HISTORY

Research on 117 Edelen Avenue did not reveal any pertinent information on the history of the house or its previous occupants. The construction date, architect, or builder of the house remains unknown,

Carey & Co. Inc.

although the structure is similar in size and materials to many Los Gatos residences.

Historical Sources were tapped and include: Los Gatos Historic Resources Inventory, County of Santa Clara Official Records of the Assessors Office, County of Santa Clara Building and Planning Department Records, County of Santa Clara Deed Records, Sanborn Maps, and review of The History of Los Gatos, and Santa Clara County, Illustrated, written by George G. Bruntz.

Research was conducted to obtain records pertaining to the house. The Santa Clara County Recorders Office provided records on the ownership of the property from 1928 to the present, and of residents from 1926 to the present.

### Santa Clara County Recorders Office:

Ownership of property

pre-1928-1928	M.A. Cobb (Vol. 375, Page 48, Jan. 12, 1928)
1928-1938	Grace Farey (Deed 859, Page 435, Feb. 14, 1938)
1938-1984	Ludwig and Leona Spolyar (1982 Leona sole owner)
1984-1987	Darwin A. Spolyar, Kirsten E. Spolyar, Charles A. Spolyar
1990-present	Ludwig J. Spolyar (80%), Charles A. Spolyar (20%)

### Residents:

Pre 1926	No house numbers listed, so residents unknown
1926-1929	Lelia Lord
1930-1934	Earl Gearhart
1935-present	Spolyars

None of the above names are listed in *The History of Los Gatos*, so it is unknown if the owners or occupants were important or influential to the history of the Town of Los Gatos.

### Style

117 Edelen is a simple vernacular massed-plan, side-gabled family house. This one story, light wood-framed building with half porch side entrance is a typical National Folk house style. The style was established between the 1850-1890s as a result of railroad development across the country. The railroads allowed materials to be transported rapidly and cheaply over long distances, therefore establishing construction standards using light-weight lumber with simple methods of light roof framing.

### ASSESSMENT

Through site visitation, historic research, and examination of structural and termite reports, Carey & Co. Inc. evaluated the existing conditions, identifying features, finishes and materials of the structure. The house was photographed to provide a visual record of the conditions.

### **Existing Conditions**

On February 19, 1999, Carey & Co. Inc. evaluated the house at 117 Edelen Avenue, examining all exterior materials at close range from the ground and the interior of all rooms. The detached garage was not accessible and was not reviewed, but is a compatible building to the main house because of its size, siting, and building materials used. The neighborhood around the site was also briefly visited.

Carey & Co. Inc.

### Historic Features

From investigation of the structure, the original house consisted of the front porch, living room and two middle bedrooms (see attached sketch plan). The original house form was altered probably prior to the 1930s with additions of: front bedroom, back kitchen and rear pantry, bathroom, and rear porch. The early alterations utilize compatible building materials and are within the period of significance of the building, although they are not well constructed or detailed. For instance: foundations are settling at varied rates; seams are visible in the siding material; visual separation and gaps occur at roof lines; and interior finishes indicate locations of add ons.

The exterior historic features of the house include:

- Gable roof with ornamental ridge vent
- Horizontal wood, shiplap siding
- Flat wood window and door surrounds, and trim boards
- Wood double-hung windows (South windows replaced)
- Wood, fixed picture window at porch
- Wood, casement windows

All interior finishes are simple, without significance. The interior historic features include:

- Stile and rail panel doors
- Period hardware
- Tongue and groove bead board at the pantry
- Mottled linoleum at the kitchen
- 3-1/2" wood tongue and groove flooring

### Condition

Overall the building is in poor condition (using a rating system of good, fair, and poor). The structure has settled and has differential settlement between the main house and additions. Interior plaster and drywall show cracking due to this condition and all flooring has crowned and buckled. The main house sits on wood piers on concrete footings, but these were not reviewed and the foundation condition is unknown. The roofing material is in fair condition and the roof systems were not closely examined, but there appears to be flashing problems at the location where the main house roof meets addition roofs.

The settling of the house has set up deficiencies in the finish materials. All siding material at additions have gaps and seams which allow water to infiltrate. Also, all additions are in poor condition by not being solidly constructed. For example the rear porch and the pantry addition siding is variously sized and oriented. Also, reconstructed salvaged windows at the enclosed porches create unstable and non-weathertight areas.

All exterior building material appears to be in fair condition, although termite damage and dry rot were noted, specifically in the south middle bedroom. All wood siding is in direct contact with the ground, setting up ideal conditions for pests and rot. The wood siding has checks and splits but is only in need of standard maintenance. The wood windows that are original have missing wood elements, broken cables, and missing hardware, but otherwise are in fair condition. The doors are in good condition and have retained ornamental period hardware that is in need of rehabilitation.

### Neighborhood and Surrounding Historic District

117 Edelen is listed as a contributor to the University/Edelen Historic District, an area developed and

Carey & Co. Inc.

117 Edelen Avenue = 3

subdivided in 1880 into five parcels that ultimately have come to define the University/Edelen Area: Miles/Edelen Subdivision (the Vineyard Lots); the Hagerty Subdivision; the Quick Subdivision; the Bentley/Pierce Subdivision; and the Engrish Subdivision. Ordinance 1920 of the Town of Los Gatos, was adopted in 1986 and defines the University/Edelen Historic District architectural qualities as follows: "Victorian is predominant architecture, including informal wood frame cottages and impressive homes, intermixed with Craftsman/Bungalow style cottages built somewhat later. Also present in smaller numbers are Colonial Revival. Contributing structures are both residential and commercial. Individual architectural distinction is not as important in a historic district as the neighborhood entity created. The University/Edelen district has easily identifiable boundaries which adds to its perception as a distinct neighborhood."

The 100 block of Edelen hosts two significant structures (129 and 130 Edelen), both located across from each other on the corner at Miles Avenue, and seven contributing structures (relying on Los Gatos Planning map provided by Town of Los Gatos Planning Department, which may be outdated). The block has a variety of one and two-story building types that are irregularly sited. All buildings have driveways and are setback from the street. There are detached garages located in the rear of the lots, and some detached garages at the front lot line. The street is heavily landscaped with shrubs, planting strips, and trees. Low fences at sidewalks face the street and allow visibility of the houses, while creating a visual connection to yards and the building facades.

117 Edelen is consistent with the qualities of the historic district by the following:

- Setback from the street
- Side driveway and garage in rear
- Low front fencing

Front porch with steps

### OPINION AND RECOMMENDATIONS

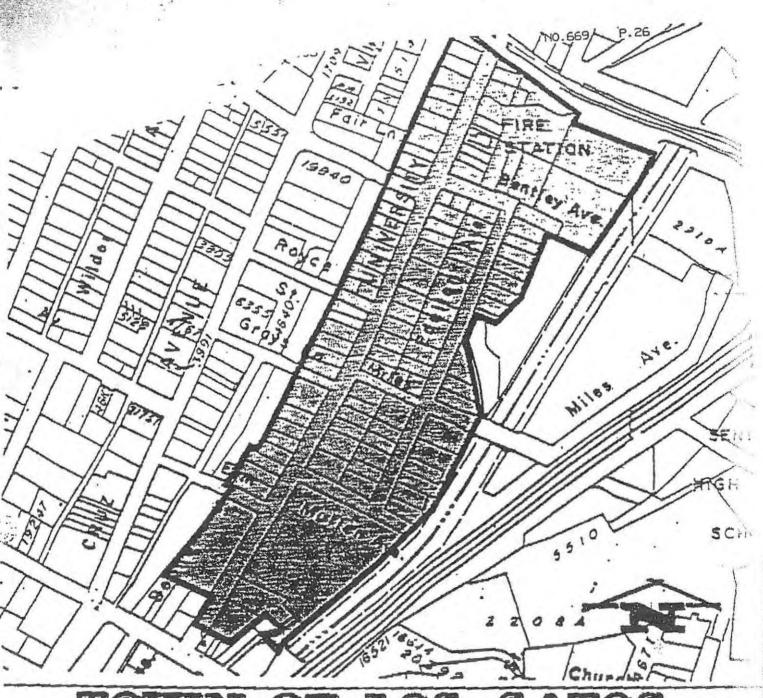
- The house represents simple vernacular National Folk construction of which there are better surviving examples. There is no evidence that the property was significant to the area, nor is there evidence that the house was designed by an architect of note. There are no people or events of historic importance associated with the property. As such it has little to recommend it for inclusion on an historic inventory as an individual listing.
- The house is in extremely poor condition and has been altered from its original construction (although additions are within the period of significance). The additions alter the appearance of the original house design and lack the craftsmanship and durability of materials expected of this period of construction. Costs to restore the existing features and spaces of the house will be extremely high, while the "restored house" will still not be of solid construction or of significant design.
- While the exterior of the house is relatively intact, the original historic interior has been altered and badly damaged, compromising its historic value. The structure, overall, is in poor condition with buckled floors, cracks in walls, and damaged wood. The interior features are missing or are of contemporary material.

Carey & Co. Inc.

- Design characteristics of 117 Edelen Avenue are in accordance with the University/Edelen Historic District design guidelines. The qualities of the house and those that create the University/Edelen Historic District should be maintained. Specific qualities that should be reviewed for new construction in historic districts include: scale, building materials, setbacks, driveway and garage location, fence design, porches.
- The neighborhood block has two significant buildings and seven contributing buildings. If 117 Edelen is de-designated as contributing to the historic neighborhood, the resulting structure can still enhance the neighborhood by following the University/Edelen Historic District Guidelines. Options for the house include 1) restoring the existing house, 2) a partial remodel that retains the porch or front facade, having a new addition located behind, and 3) new construction that strictly adheres to the University/Edelen Historic District Guidelines using designated materials and design qualities. Option One will be costly and results will not be significant. Option Two is possible, but would be costly because of required structural repairs. If options two and three are chosen, the neighborhood block will still retain two significant homes and six contributing structures.
- If demolition of the structure at 117 Edelen Avenue occurs, designated historic features, such as doors, windows, and hardware, should be salvaged for reuse in other properties in the area.

#### Conclusion

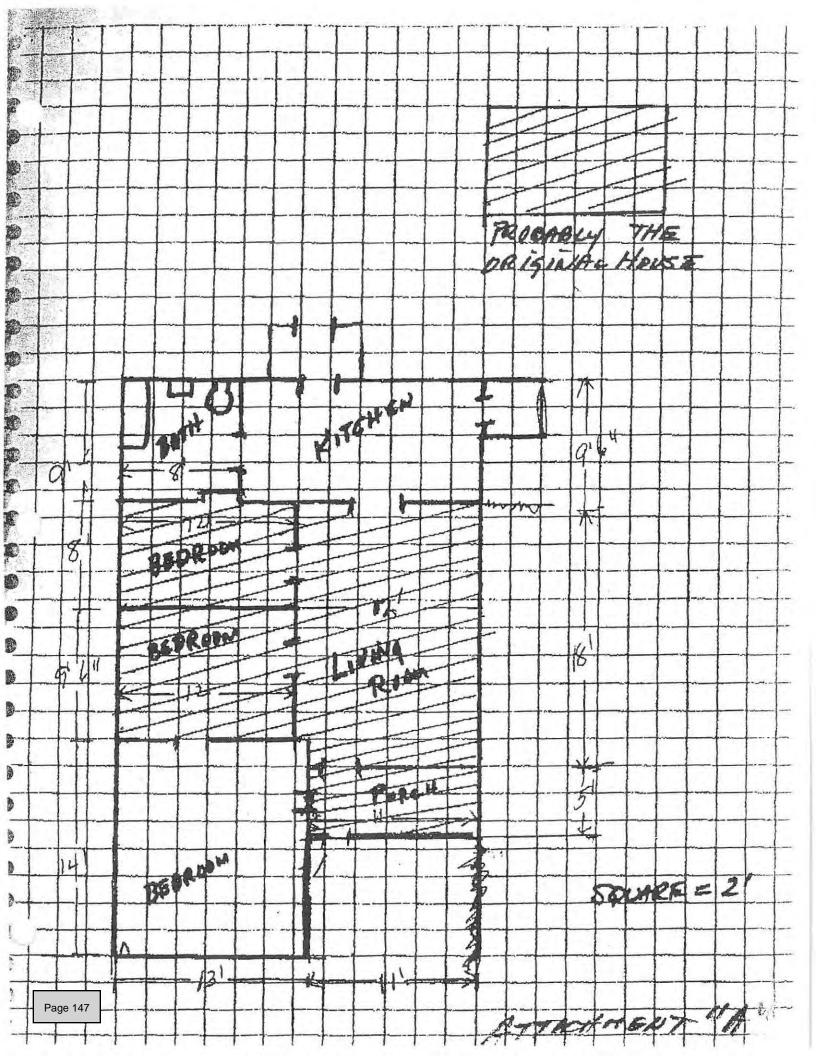
The house at 117 Edelen Avenue does not have merit to be listed on any historic inventory as an individual listing. It does, however, have features, materials, and design qualities that contribute to the historic district. Because the structure is in poor structural and architectural condition, and the design, building spaces, and finishes lack integrity, Carey & Co. feels that the de-designation as contributory and the demolition of the house would not constitute an extreme loss to the University/Edelen Historic District, nor to the Town of Los Gatos. However, we recommend that the Town of Los Gatos, University/Edelen Historic District design guidelines be used for partial remodel or construction of a new residence. (Ordinance 1920, Section III, Item C.) If these guidelines are not followed, the new construction could have negative impacts upon the historic character of the block and the district.



# UNIVERSITY-EDELEN HISTORIC DISTRICT BOUNDARIES

As Established by Ordinance 1844 On April 15, 1991

6



#### CREDITS

0000

The following individuals participated in the assessment effort:

Carey & Co.

Alice Carey, Principal Laura J. Culberson, Project Manager

Carey & Co. Inc.

117 Edelen Avenue = 6

### IBC Engineerin ... id Construction Con. p.ny

PO SOX 7464 FREMONT, CA 94537-7464 VOICE-510.494-8828; FAX-510-494-8719 Pager: 510-442-5938

March 30, 1998

SUN RESTORATION C/O Mr. Ludwig J. Spolyar 117 Edelen Ave. Los Gatos, CA 95030

Attention:

Mr. Tom Schwoob

9=9 9 8 100Q

DECEIVED

Subject:

Structural Evaluation of Property Listed Above

TOWN OF LOS GATOS

Dear Mr. Schwoob

We have prepared the Structural Evaluation of the above listed property. The evaluation is based on visual inspection from the outside and does not include any evaluation of the unseen items within the house.

The existing foundation is not appropriate. The exterior foundations are supported on the mud sill, and the structural framing system for this building does not employ the use of steel bolts as means of securing the framing to the foundation. The cripple walls from the mudsill to the floor joists does not appear to have any bracing. The support joists carrying the floor load does not have concrete embodiment underneath and are resting on the mudsill, which is sitting on the natural soil. There is not enough ventilation provided for the foundation area either.

The exterior siding of the house has deteriorated over the time and roof, wall sidings, windows, gutters etc. are all in disrepair. The front section of the house, which is an addition to the existing house, has settled and pulled away from the house. There are numerous violations and the structural deficiencies in addition to the one listed above does not meet the current Building Code Standards or the Earthquake Standards.

The fireplace chimney has been damaged during the previous earthquakes and does not appear to be structurally sound. It should be demolished to protect from any further damage.

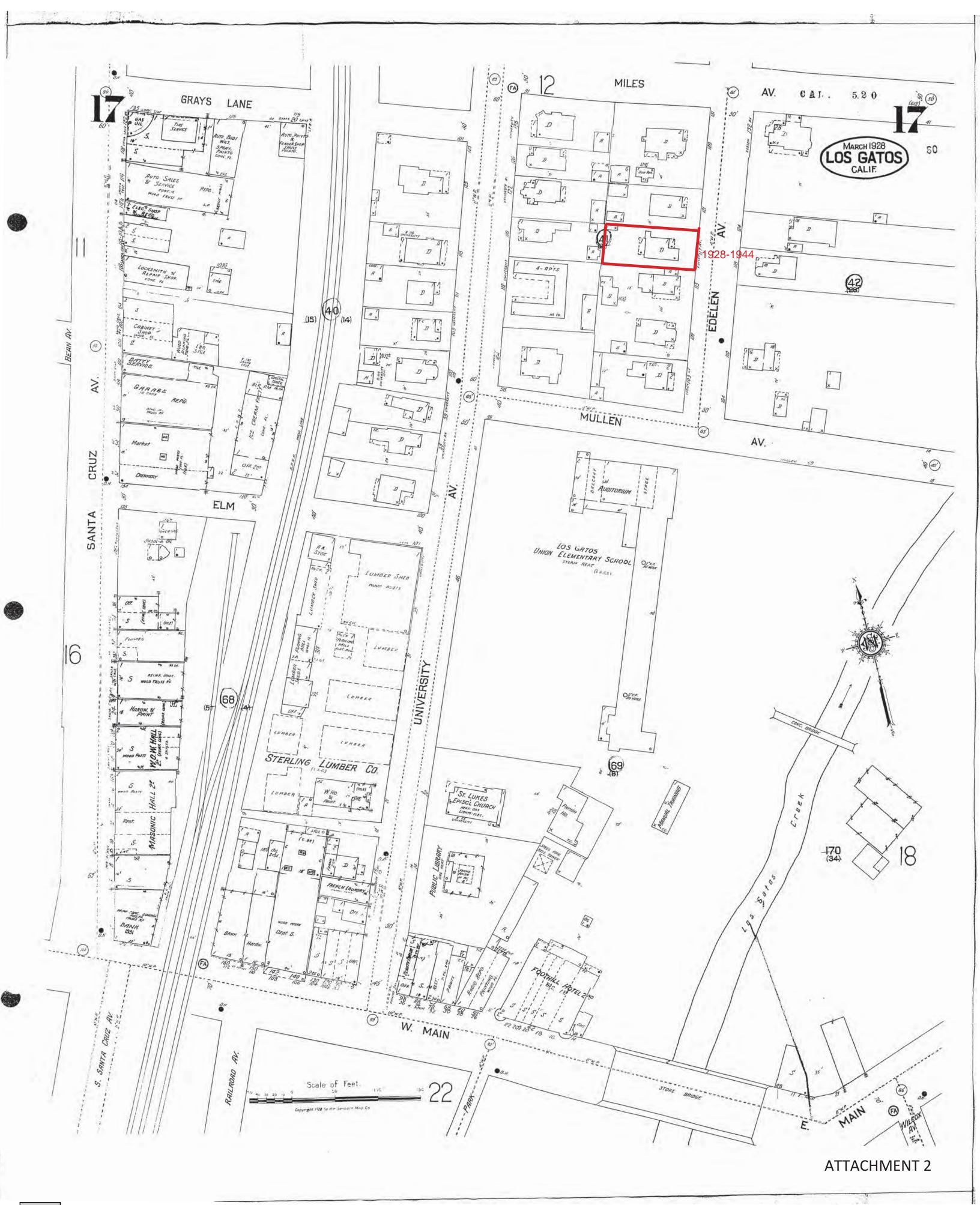
After reviewing all of the discrepancies, we recommend that this structure shall be demolished and be designed and reconstructed to meet the current Building and Seismic Codes of Practices. A lot stringent code has been developed for the Seismic Protection due to presence of earthquake faults within the area since the original construction of the house.

Sincerely

Inderjit Chadha

Registered Civil Engineer

PROFESSIONAL PROPERTY OF CIVIL OF CALIFORNIA





Permit #	АррТуре	Addr#	Street	Suffix	APN	Project Name	Project Description
PHST-25-003	Historic	117	EDELEN	AVE	52902020	PRINCE JEFFREY AND JULIE	Consider a Request for Preliminary Review for Exterior Alterations and Construction of a Second-Story Addition of 100 square feet to an Existing Single-Family Residence Within a Historic District on Property Zoned R-1D:LHP. APN 529-02-020. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.
PRE25-00276	Planning On-line Pre-application	117	EDELEN	AVE	52902020		REMODEL OF EXISTING HOME WITH RELOCATION OF EXTERIOR WINDOWS AND CONVERSION OF REAR WINDOW/DOOR SYSTEM TO NEW SLIDING GLASS DOOR RE-FRAME RE-ROOF 2ND FLOOR WITH NEW 10FT 2ND FLOOR WALLS AND TRUSS ROOF WITH 3:12 ROOF SLOPE
VL-21-008	CodeCompliance/Enforcement/Admini strative/Citation	117	EDELEN	AVE		117 Edelen Ave	trash cans left out in public view
VL-17-227	CodeCompliance/Enforcement/Admini strative/Citation	117	EDELEN	AVE		117 Edelen Ave	front fence too high and electric gate without permit
VL-17-185	CodeCompliance/Enforcement/Admini strative/Citation	117	EDELEN	AVE		117 Edelen Ave	gas blower Friday 3:15 pm
M01-000194	Residential - M - Other	117	EDELEN	AVE	52902020		CONVERT NON-HABIT CELLAR TO HABITABLE 355SF
P01-000338	Residential - Misc	117	EDELEN	AVE	52902020		CONVERT NON-HABITABLE CELLAR TO HABITABLE
B01-000503	Residential - Addition	117	EDELEN	AVE	52902020		CONVERT HON-HAB CELLAR TO HABITABLE 355SF
E01-000346	Residential - E - Other	117	EDELEN	AVE	52902020		ELEC CONVERT CELLAR TO HABITABLE
EN01-024	PPW/Engineering/Commercial/Encroac hment	117	EDELEN	AVE	52902020		INSTALL NEW SEWER LATERAL & PROPERTY LINE CLEANOUT
EN00-268	PPW/Engineering/Commercial/Encroac hment	117	EDELEN	AVE	52902020		INSTALL UNDERGROUND GAS, ELECTRIC, AND PHONE
T-00-0108	Tree Removal Permit	117	EDELEN	AVE	52902020		TANBARK OAK
EN00-091	PPW/Engineering/Commercial/Encroac hment	117	EDELEN	AVE	52902020		REMOVE & REPLACE (E) CURB & SIDEWALK
E00-000171	Residential - E - Other	117	EDELEN	AVE	52902020		TEMP POWER POLE
EN00-074	PPW/Engineering/Commercial/Encroac hment	117	EDELEN	AVE	52902020		EMERGENCY-ABANDON GAS SERVICE
B00-000169	Residential - New	117	EDELEN	AVE	52902020		NEW 441 SF DETACHED GARAGE
B00-000170	Residential - Demolition	117	EDELEN	AVE	52902020		DEMO 1042 SF HOUSE
B00-000171	Residential - Demolition	117	EDELEN	AVE	52902020		DEMO 494 SF DETACHED GARAGE
B00-000168	Residential - New	117	EDELEN	AVE	52902020		NEW SFR 1174SF 1ST FLR, 950SF 2ND FLR, 484SF L/L 690SF NON- HAB UNFIN BASEMENT, 75 SF ROOFED PORCH, 192 SF WOOD DECK
E00-000131	Residential - E - Other	117	EDELEN	AVE	52902020		ELEC FOR NEW SFR 2800 SF
E00-000132	Residential - E - Other	117			52902020		ELEC FOR NEW 441 SF DETACHED GARAGE
M00-000078	Residential - M - Other	117	EDELEN	AVE	52902020		MECH FOR NEW SFR 2800 SF
P00-000136	Residential - Misc	117	EDELEN	AVE	52902020		PLUM FOR NEW SFR 2800 SF
S-99-0019	Architecture Site/Addition-Remodel Single Family	117	EDELEN	AVE	52902020		DEMO AND CONSTRUCT NEW HOUSE
328	Historic	117	EDELEN	AVE	52902020		New door;2/2+4/4 windows on side

Page 152 ATTACHMENT 3

# TOWN OF LOS GATOS 110 E. MAIN ST., LOS GATOS, CA. 9000 BUILDING INSPECTION DEPARTMENT - PHONE 364-4876

APPEIL ATION FOR ELECTRIC FERN

E 15256

FOR APPLICANT TO FILL IN	-										
ITEM		EA.	\$ FE		BURGAN ALC TESS		19)	10.	. /,>_	, ,	
ECR ISSUANCE OF FERMILE		1		00	USLEY	1746 PO	g e	marga	u	<b>4</b>	
EXPLIES SOCIETS OF CHIER LANGUAGES OF CHIER		N. EA		クズ	11-4	fold to	ex	-			
OUTHER REGULATION		[ ~ 12	/ .	$\mathcal{A}O$	( S	10	lin	11/1			
SA REPES AT ARREST CURRENT S CHARPAGES		j) £A	- 3	17	A C 155	$\mathcal{C}$	11.	1			7 F G - AB1 F - F - G - G - G - G - G - G - G - G -
SAMMA COSS LINEAR THE CONTROL	10	27	- · · · •	. ۱۰۰ نوکه مره	}	1	1000	1-0			
WAIL -EVIS	1	360			1976	WS	Lal	KU	1.75		
Editor CA. Sign		10.				ررزع	119	- 11.11	112		
BOR HEATING & MISC AFRI ANCES & EQUIPMINE	1	1			REMISS		Co C		9/1	1	
CEPERATOR MEIGER TRANSFORMER MUSICES FOR				· •••	//	1-56	20031	1. S.R.	ilke (	Ell	
HP KN KNA FATOVO				, , ·	611	SH.	The	01.	કમ		
PACTOR SERVICES		3 76		! } ~~.	STA T L CENSE	126	(7. 7)		OAN KINSE	4247	
CARA RESTANCE ARROS		5.4			C1.0.12	//_/0		<u>&gt;</u>		4011	
Continue to the continue to th		2	-	, • • ~ :	58% F			J4 7 (9 E	PE	CCESTO IN Y.	
Service of the service			-		<b>#</b>	<b>-</b>				£2.1	)/
MICHARDON BARAL		12.11						INSTECTION	ON RECOI	· · · · · · · · · · · · · · · · · · ·	
1914 24 AV2	1	25			<u> </u>						
TANKSTANDE							م د مالله				
MERCHER LARIE HAMP		2.4			<b>I</b>						
SAM FIRE TAXOLITYS EVILONES AND CARD NO		}									
A COMPANY OF STATE OF	1							• •	-		
			-	• • • •		-	- • •	•	· · ·	• •	
with the second	1	į		•				*			
- · · · · · · · · · · · · · · · · · · ·			- •				•				<u>.</u>
<del></del>	}	}		•			• •	•			
The second of th	1	]	,	<b>,</b> !							
	1		14	20		• •	· ~				
CONTRACTORS DE	CLAR	MOITA									
I CERT FY THAT I AM FROFER Y DICENSE	Q BY	THE STAT	E CE CAL SU	∓•, ≛							
CONTRACTORS BEFORE LAW											
Sound Allered 459	315-	TAG		_							
COMPLETE A	ORE		. ,	• •	Œ						
worker's covernsals.			•	• .							
E REFEBY AFFRA HAT FRAV											1
PENSATION DISURANCE, A CERT											
THE TOAN THURTHER AFFORM	1115	HALL OF	Pitting Association	ANCE		•					
MARICA THEORY OF THE YO	9.	ر د د د	_			-					
X David To	12	NO.	المحاد								
CENTE CATE OF EVENTAGE FROM WORK	45E,	1.50.5		· •		• .			<b>.</b> .		
I CERTAY THAT HE FERE						DATION					
WHICH THIS FER VIT IS ISSUED, IT					4771	DATION					
COMPENSATION LAWS OF CAU				75 Y 3				335/111	07/0	6/8/101/L	14.20
							· - : 10	4145	OVALS		1116
	ر					_		AFFR	L	1	
	(, ,	ノ			0.50						
Dant Dant 80.	15	x-26_	20		\$4.00	en de kriede.				* .	
STEDTEN TOLET STATE THAT	و همي است م د د د د د د د د ه اشره در		NETATE THE	* *	148.	TE E 2000		•		1	
FCERTIFY THÁT FHANE READ THIS AFF ABOVE INFORMATION IS CORRECT, I	AGRE	iya ani E 10 CC	AH BAICK BB YBPC	i itib 1 All	3 47	• i 5		1		-	
TOAN CRUNANCES AND STATE LAWS	RELAT	ING TO	ELECTRICAL	W.R.							1
ING, AND HEREBY AUTHORIZE REFRESET UPON THE ACOVE MENTIONED FROGER	HALL	rsofi Rysees	- <b>5 CHY TO E</b> TLONE FURE	THER DISES		uliulia. Kupatest		-	•	· †	
	1/2	) "``		• . • •		14 12 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1					
Dent US-1	I	و مبر بسرچ	20			•				-	
Same of the first	U.B				Jihal				artes.		
age 153	DISTRIB	UTION 1. 2.	188 . TA. Po \$50 a 8	1			4 1 2 50 4 6 18	::L::)/	¥187	49	
							• • • •	111	r * - *	7	.*/*

#### Town of Los Gatos

Building Inspection Department Phone Elgato 4-4520 Nº 1939 **E** 

#### **BUILDING PERMIT**

Seibacks ft. INSPECTION RECORD is hereby granted in accordance with application to Build' ........ Story ...... Family Residence and . Remodel Add to DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED ROUGH WIRING .. COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED as inspection fee is hereby acknowledged. PLUMBING FIXTURES Town of tos Oates Building Inspection Department BUILDING COMPLETE No Utilities Will Be Cleared Until Page 154 (Building Complete) Has Been Approved

Location 117 Foliation .

SANTA CLARA COUNTY	Nº B 3115110	١	Elock	Tract
Building Inspection Department  CYpres 42277 CYpres 51652		Edelen	Hvan	
BUILDING PERMIT $_{TG}$	Street NVN OF 200 () cacleft.	 14.603 - INS	SPECTION RECO	
Front.	3ac\s 11.		CAR	(1.2.1.2.1.4.4)
Zana . 3 Sida ( .		TEMPOPERE POUR	<u> </u>	
Res	i.	FOUNDATION   GENT		
Oate June	4.17- 19.43	Pour No Cond	rete Until Above H	as Reen Signed
Is hereby granted in accordance with appli	ication to	EDNOSFAN (COND. BUR	ci.	
Remark North Family Residence Remarks No.	Les os	F. 5 34 P. 53. } COM	IAL	4
Addition from	. 1	GAS PSESSITE	į	
Move ! Duelling.	instana.	FOULH FRANELL TINTEGER FAUES, FOR	F 9 9 10 NG1	·
ONCE L. SAVELYON	<b>.</b>	Do Not Wi	ro Until Above Has	Been Signed
Contractor At / /		F1004 A P NO		/
Volustion 25000	1 7 00	Cover No Vi	Valls Until Abovo H.	as Been Signed
RECEIPT for THEU + 110)		HIALESS W COOLES		
as inspection too is hereby astronledged.		FILED NO COMPLETE		
Santo Clara County &olic	ding Impaction Department	FELMINA FIETURES		
A 141. A	lling	CREPIPLIANCES		* *
DAL FLUMSTRO AND GAS TENDER	TS.	No	Unities Wit Bo Cleared	
Page 155 UKSE AN CERT OF THIS FERM	NºB 31151		3 Complete) Has Been A	

#### ENGINEERING DEPARTMENT

Permit Number: EN00-091

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:

REMOVE & REPLACE (E) CURB & SIDEWALK

Location of Work:

Job Address (Or nearest Address): 117 EDELEN AV

Applicant..... BILL BROWN CONSTRUCTION

Applied.: 04/13/2000

Address.....: 14755 OAK STREET

Approved:

City..... SARATOGA, CA

Issued..: 04/13/2000 Expires.: 10/13/2000

Contractor....: BILL BROWN CONSTRUCTION

Address.....: 14755 OAK STREET

Status..: ISSUED

City..... SARATOGA, CA

Est. Date of Completion:

Maximum Depth of Trench: \*

\*If the maximum depth of trench is five (5') feet or greater, the construction saftey orders of the State of California Division of Industrial Saftey shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Boards, itse Commissions, and its employees, acting in their capacity se such, heraless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described hazein.

Permit Issuance..: Micro Engineering:

Computer Services:

Total Calculated Fees: 212.00
Total Additional Fees: .00
Total Fees Due.....: 212.00
Total Payments....: .00
BALANCE DUE.....: 212.00

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all fown ordinances and State Lave yellating to work in the public right-of-way.

SPECIAL COMDITIONS:

# TOWN OF LOS GATOS PARKS & PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT CONDITIONS TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PERMIT NUMBER: EN00-091

APPLICANT NAME: BILL BROWN CONSTRUCTION

- 1. All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Gatos, available and on file in the Office of the Town Engineer.
- A pre-job meeting will be required with the Town Engineering Inspector prior to the start of any construction work.
   Inspector can be contacted at: 339-5760.
- 3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the recair of such facilities.
- 4. In paved atreets, all cuts shall be saw cut to a smooth and vertical surface with the excavation area being generally rectangular. Slurry shall be used as backfill material on all excavations.
- 5. All concrete used for curb, gutter and sidewalk must be Class "A" (six sacks per cubic yard) as per State of Calif. Specifications and must attain a strength of 3,000 p.s.i. minimum in 28 days. Exposed concrete shall include one pound lamp black per cubic yard of concrete. New concrete shall be download to existing concrete where condition occurs.
- 6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 399-5760.
- 7. Four-inch sanitary sever laterals shall be installed at a minimum of 1% grade (.2% incb. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sever laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every was branch. Cast iron pipe shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per W.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
- It is the responsibility of the developer/contractor to protect and preserve all survey monuments set or found during the construction of this project. Any monument destroyed shall be reset by permittee at their sole expense.
- 9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Work done without prior approval shall be subject to rejection and possible removal.
- 10. Approved pedestrian and vehicular traffic control shall be used and maintained at ell times.
- 11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" es published by the Santa Clara Valley Mospoint Source Pollution Control Program. Published recommended practices are available at the Community Development Department Public Service counter at Town Hall, lower level.

#### DECLARATION OF UNDERSTANDING

I certify that I have reed and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorised agents.

Signature / To

Date: 4-13-00

Kong W. Garcia 344.5766

INSPECTION REQUESTS + PHONE 354-6877 (VOICE MAIL)

41 MILES AVENUE LOS GATOS, CA 95032

APPLICATION FOR ENCROACHMENT PERMIT

PARKS & PUBLIC WORKS DEPARTMENT \* PHONE 399-5770 FAX 354 7593

BUILDING ACCRESS	For Official Use Only
117 Edelen Av.	
LOCATION DETAIL \$ NEEDED	EN00- 91
JOB M-MBER	 EN00-
MARK & BAPBARA BECK	SANNENTS
60 Ellenwood Av.	
Log Gaton, CA 95030	NOTICE: Contract/Owner must notify the Town Inspector twenty-four (24) hours in
Bill Brown	advance of commencing the work by leaving a message on the inspection line,
14755 CIAK ST	(408) 354-6877; Including the Encroachment Permit No., address, description of work to
SAMATOKA 95570) STATERCENSE CONTRACTORS EXPRANCIONE	be started, contact name, and phone number.
684764B 331-02	To speak to an inspector call between 8:00 am & 8:30 am - 399-5760 & 399-5761
EST-MATED COMPLETION CATE	
VALUE OF WIRM & 2000 00	
PEMBUR (replace) existing	corb + sidewalt

Issue permit for books, and instruct Contractor to contract may office it additional time is needed by the state of the st

### TOWN OF LOS GATOS BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000170 Work Pescription: DEMO 1042 SF HOUSE Building Address: 117 EDELEN AV Status... ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied:: 03/10/2000 Address..... 117 EDELEN AVE Approved: 03/22/2000 City..... LOS GATOS CA Issued..: 03/22/2000 Contractor..... BILL BROWN CONSTRUCTION Expires.: 09/18/2000 Licenso....: 684764 Address.....: 14755 OAK STREET City..... SARATOGA, CA Business Lic. .: 97100012 Arch\Eng\Design.: License....: Address.....: City.,,,.... Valuation..... .00 Total Sq.Ft....; Livable Sq.Ft.: Class Code ..... 645 Bldg Count: 001 Unit Count: 001 \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\* PERMIT FEES \* Permit Issuance.: 25.00 Park Tax....: .00 Building Permit.: .00 Planning Plan Ck.: .00 Title-24....: .00 .00 Micro Planning...: Seismic Tax....: Storm Drain Eng..: .00 .00 Plan Check....: .00 Road Impact Fee..: 31.26 Micro Building..: 6.00 Computer Services: 1.00 Construction Tax: .00 Electrical Fee ...: Utility Tax....: .00 Plumbing Fee.... Gen Pln Updt....: .00 Mechanical Fee ...: \*\*\*\*\*\*\*\*\* Total Calculated Fees: 98.26 Total Additional Fees: .00 Total Fees Due..... 98.26 Total Payments..... .00 BALANCE DUE..... 98.26 CONTRACTORS DECLARATION I certify that I harderly french by the State of California Contractors ticense two WORPER'S COMPENSATION EECIAGATION A I hereby affirm that I have a policy of Warker's Confernation insurance. A certified copy of a certificate of that insurance is herewith arnished, aprin file with the Icun. I further affirm that I shall keep the insurance in effect throughous the job. Signature X CERTIFICATE OF EXEMPTION FROM HORRER'S CONSENSATION INSURANCE. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner ab as to become subject to the Worker's Compensation taxs of the State of California. Signature X CERTIFICATION OF PERMIT ISSUANCE I certify than I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and state lava relating to building construction, and herety authorize representatives of this Town to enter upon the above mentioned property for inspection purposes mentioned property for inspection purposes.

### TOWN OF LOS GATOS BUILDING THSPECTION DEPARTMENT

Permit Number: B00-000171 Work rescription: DEMO 494 SF DETACHED GARAGE Status..: ISSUED 🐇 Building Address: 117 EDELEN AV Owner..... BECK MARK J/BARBARA B TRUSTEE Applied: 03/10/2000 Approved: 03/22/2000 Address..... 117 EDELEN AVE City..... LOS GATOS CA Issued..: 03/22/2000 Contractor..... BILL BROWN CONSTRUCTION Expires.: 09/18/2000 License.....: 684764 Address.....: 14755 OAK STREET City..... SARATOGA, CA Business Lic..: 97160012 Arch\Eng\Design.: License....: Address....: City....: .00 Valuation...: Livable Sq.Ft.: Total Sq.Ft....: Bldg Count: 001 Unit Count: 000 Class Code....: 649 PERMIT FEES \* \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\* Park Tax....: .00 25.00 Permit Issuance.: .00 .00 Planning Plan Ck.: Building Permit.: ,00 .00 Title-24....: Micro Planning...: .00 .00 Storm Drain Eng..: Seismic Tax....: 14.82 Plan Check....: .00 Road Impact Fee..: 3.00 Computer Services: 1.00 Micro Building ..: .00 Electrical Fee ...: Construction Tax: Utility Tax....: Gen Pln Updt...: .00 Plumbing Fee ....: .00 Mechanical Fee ...: Total Calculated Fees: 78.82 Total Additional Fees: .00 Total Fees Due....: 78.82 Total Payments....: .00 BALANCE DUE....: 78.82 COMPACIONS LECTIONATES y the State of California Contractors license Inc. I certify that I say prog WORKER'S COMPENSATION DECEMPATION I herely affirm that I have a policy of Wirker's Concensation insurance. A certified copy of a certificate of that insurance is herevich fornished and on file with the Town. I further office that I shall keep the insurance in effect throughout the job. Signature X\_) CERTIFICATE OF EXEMPTION FROM WIRVER'S COMPENSATION INSUFANCE a 1 certify that in the performance of the work for which this permit is issued, 1 shall not employ any person in any manner so as to become subject to the Morker's Corporation Laws of the State of California. Signature X CERTIFICATION OF PERMIT ISSUANCE I corrify that I have year this application and state that the above information is correct. I agree to comply with all Town ordinances and State Lave Plating to building construction, and hereby authorize representatives of this Town to enter upon the prove mentioned property for inspection surposes.

INSPECTION REQUESTS \* PHONE 364-6877 (VOICE MAIL

110 E WAIN ST, LOS GATOS CA 95032

APPLICATION FOR BUILDING PERMIT.

UN ONG ADDRESS		For Of	ficial L	Jse On	ly
USE OF EUSTING BUILDING BUILDING NICHESANESS		В00-		<i>  \tag{x}</i>	
USE OF EXISTING BUILDING BUILDING BUILDING IN HOME CAMERS ASSOCIATION (created)	CATE	B00-	C11	(0.	rage
		E00-			
OWNER	PHONE	M00-	***************************************		
MARK TBARBARA BECK		P00-			
MANK FBARBANA BERK- ACCRESS 117 EDELELD CITY			Plans		Energy Calcs
LOS EINTOS	12				•
ASCHLECTLENG/FEEL CERNIES	In-the		\$ɔɨʀ	<del></del>	Struc Cales
			Req.	Hold	Approved
PECRESS		Planning:	·		
OIA	Z P	(5746) (6875)			<u> </u>
		Chris [5720]		· · · · · · · · · · · · · · · · · · ·	
Contraction	Prices	Gary [6879]			
DICH DROWN CONST.	L	Ryan [6807]			
BILL BROWN CONST.	MUST SHOW CURRENT WORKER'S COMP	Sandy [6873] Trish [6860]			
	IP	111511 [0000]	<b> </b>	· · · · · · · · · · · · · · · · · · ·	
SALATOLOA CONTROCAS ELORATOREM	94570	PPW:			
STATE LOCALISE  CONTRACTORS EXPRANCION OF THE CONTRACTORS EXPRANCI	É	Fire:			
684764 B 3-31-70	くりとう	WVSD:			
SQUARE FOOTAGE		Health Dept: Schools:	-		<u> </u>
REMOCEL FEXISTING NEW FACCHTION  "IN Proci		Hazārdous	<b></b>		
2nd Fext	-	Material Glearance:			
BASE 390 FLOOR	-		LL.		L
		Commede			
	TUTA.	Comments:			
SARASE					
D*+ER\$					
tio of 52505 510955 .01	redical Lineage exists	]		i	
APN ESTMATE VALCATON		Historic or Pre - 1	941		
ر من سين له يو المستقب المنظم		Plan Check Fee.			
LESCRIPTON TOWNS OF HOUSE	· and	r lary Gricons CB:			
pewies DOUG 1009 St. 1100.		Town's Valuation			
pewies DOUG 1009 St. 1100.		Town's Valuation	State Short/Short-base charms	*	
Denies Device Tong of Provide Consultation			State Short/Short-base charms	*	
DEMO AND DEPORTED COLO		Town's Valuation	j	***************************************	
Demo 4JA 26 Defaction Coro		Town's Valuation Building Approved	in a second contract of the second contract o		
CHICKNED  CHICKNED  DENICY  DE	Ac	Town's Valuation Building Approved Hold for: Ready To Issue:	j .		
chornes  Dello AJA 26 Defuched Color  Dello JOUG 1049 27 Plotte	Ac	Town's Valuation  Building Approved  Hold for:	j .		
CHICKNED  CHICKNED  DENIC AJA RE DEFUCIES COLO  DENICE DENICE TOUR TOURS	Ac	Town's Valuation Building Approved Hold for: Ready To Issue:	J/Contrac	ctor on:	

<u>n VdevVorms b</u>idgapp xis

Revised 12/29/99

Permit Number: E00-000171 Work Description: TEMP POWER POLE Building Address: 117 EDELEN AV Status..: ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied.: 03/28/2000 Address.....: 117 EDELEN AVE Approved: City..... LOS GATOS CA Issued.: 03/28/2000 Zip..... 95030 Expires.: 09/24/2000 Contractor....: BILL BROWN CONSTRUCTION License....: 684764 Address.....: 14755 OAK SIREET City..... SARATOGA, CA Zip..... 95070 Business Lic ..: 97100012 --Square Footage--New Residence: Remodel: Commercial: .......................... PERMIT FEES Permit Issuance....: 25.00 Plan Check Fee ....: .00 New Resident ....: .00 Remodel . . . . . . . . . . . . : .00 Commercial....: .00 Detail Electrical Fee: 30.00 Total Calculated Fees: 55,00 .00 Total Additional Fees: Total Fees Due....: 55.00 Total Payments....: .00 BALANCE DUE..... 55.00 CONTRACTORS LECTARAT hey the State of California Contractors incense law I certify that Lar Signatur X\_ COMPLETE & of B WOFFER'S COMPENSATION DECLARATION A I hereby affirm that I have a policy of Worker's Conjensation insurance. A certified copy of a certificate of that insurance is herewith innished, only file with the Town I further office that I shall keep the insurance in effect througho felle ich. Signatur X CENTIFICATE OF EXEMPTION FROM NUPPER'S COMPENSATION INSUFANCE I certify that in the performance of the wirk for which this point is issued, I shall not coplay any person in any manner so as to become subject to the Winker's Conjensation laws of the State of California. Signature I \_\_\_ CERTIFICATION OF FERMIT ISSUANCE I certify that I have real this application and state that the above information is correct. I agree to comply with all form ordinances and State tary relating to tutiding construction, and neverly authorize representatives of this Town to trentities bestierty for inspection surposes. enter upon th Signatur**i** XZ

MOTICE:

- 1. Signs are requiated, See Planning Dept. for requirements
- 2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.

BUILDING INSPECTION DEPARTMENT \*PHONE 354 6876 FAX (408) 354-7593

SPECTION REQUESTS PHONE 354-6	877		ANTACATES	CONTRACTOR OF PROPERTY EOO- 171
प्रता हरा	no or	AMOUNT	3 101	ISULDING ADDRESS
OUTOOOR LIGHTS		1 25 EA		117 EDELEN PUE
NOOOR LIGHTS		1864		JSE OF BUILDING Historic - Pre-1941
SANTCHES .		125 EA		HOME
receptacles, dutlets		125 EA		OWNER SHONE
REBIDENTIAL: OVEN, COOK TOP, MALL, AR-COND, SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER WASHING MACH, CLIOTHE'S DAYERS, OTHER SMALL APPLIANCES, TKW OR LESS.		SOCA		MANY & BARBARA BEZK WARRESS EDEZEN
COMMERCIAL MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CARMETS, LLUMINATED SHOW CASES, DREW FOUNTAINS, VENDING MACH, LAUNDRY MACH, OTHER BIMAL APPLIANCES INY OR LESS LARGE APPLIANCES, POWER APPARATUS HEATING & ARROCKO COUP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES B APPARATUS OVER 11NY		4∞EA		BILL BREW (D) -
CVER 10 KW		15 00 EA		14755 OAK -95070
OVER SOKW		30 00 EA		air le
UVER 100 KW		45 00 FA		SALLATURA 95570
BUSWAY (PER 100 FEET)		\$ 00 EA		ICENSE MUST SHOW CURREN
5045	<u>L</u> .	30 00 FA		EARE WORKER'S COMP
SFRVICE EQUIP , NOT OVER 200 AMF S		30 (0 [4		NOTICE:
SERVICE FOURP , OVER 200 AMPS	L	MOLA		1. SIGNS ARE REGULATED, SEE PLANNING DEPT.
BERVICE EQUIP, OVER 100 VOLTS		75 00 EA		2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON
Surpanel Misc apparatus, corcuts e Compuctors		11 00 FA		OTHER PROPERTIES, SHOESTRING LIGHTING NOT PERMITTED.  3 WRITTEN LETTER OF APPROVAL IS NECESSARY FOR
TEMPORARY FOWER POLE	T	30 00 (4		FOURMENT AND LIGHTS OUTSIDE OF LIVING AREA WITHIN
TEMPORARY LICHTING SYSTEM	<del>                                     </del>	15 00 FA	1	HOMEOWNER'S ASSOCIATIONS
SWIMMING FOOL SYSTEM	†	XX DC FA		TO TO THE
NEW RES CONST	SC 11	A \$2.06 +		1
	·	SUBTUTAL		DESCRIPTION OF WORK
ELECTRICAL PLANCHECK FEE 25%				
			<del> </del>	4
			<b> </b>	
		<del></del>	-	
			<b></b>	4
			<b> </b>  -	1
SSUANCE OF PERMIT	· · · · · · · · · · · · · · · · · · ·	\$25.00	<b> </b>	4
				4
TOTAL FEES				4
L				

ZNGINEZRING DEPARTMENT

Permit Number: EN00-074

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:

EMERGENCY-ABANDON GAS SERVICE

Location of Work:117 EDELEN AVENUE

Job Address (Or nearest Address): 117 EDELEN AV

Applicant....: PACIFIC GAS & ELECTRIC

Address.....: 10900 NORTH BLANEY AVE

City..... CUPERTINO CACA

Applied.: 03/24/2000

Approved:

Issued..: 03/27/2000 Expires.: 07/01/2000

Contractor....: PACIFIC GAS & ELECTRIC

Address.....: 10900 NORTH BLANEY AVE

Status .: ISSUED

City..... CUPERTINO CACA

Est. Date of Completion:

Maximum Depth of Trench: \*

\*If the maximum depth of trench is five (5') feet or greater, the construction saftey orders of the State of California Division of Industrial Saftey shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 33 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Boards, itwe Commissions, and its employees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

Permit Issuance...

Micro Engineering:

Computer Services:

Total Calculated Fees: 212.00
Total Additional Fees: .00
Total Fees Duc...... 212.00
Total Payments...... .00
BALANCE DUE....... 212.00

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laus-relating to work in the public right-of-way.

SPECIAL CONDITIONS:

Surri Boya

Page 164

THE NAMES OF THE CONTROL OF THE PARTY.

# TOWN OF LOS GATOS BUILDING AND ENGINEERING DEPARTMENT ENCROACHMENT PERMIT CONDITIONS TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PEDMIT NIMBER: EN00-074 APPLICANT NAME: PACIFIC GAS & ELECTRIC

- All work shell be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Getos, available and on file in the Office of the Town Engineer.
- A pre-job meeting will be required with the fown Engineering Inspector prior to the start of any construction work.
   Inspector can be contected at: 354-6665 or 354-6816.
- 1. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the repair of such facilities.
- f. In paved streets, all cuts shall be smooth and vertical with the area being generally rectangular. Netive material may be used as backfill if approved by the inspector and must be compacted to 30% compaction below two feet of surface and 31% compaction within two feet of surface (Test Nethod No. California 216.F).
- 5. All concrete used for curb, gutter and sidewalk must be class "A" (six sacks per cubic yard) as per State of Calif, Specifications and must attain a strength of 1,000 p.s.i. minimum in 18 days. Exposed concrete shall include one pound lamp black per cubic yard of concrete. New concrete shall be doweled to existing concrete where condition occurs.
- f. Town Engineering Inspector shall be potified 24 hours in advance of any construction work at 354-6665 or 354-6616.
- 7. Four-inch sanitary sever laterals shall be installed at a minimum of 16 grade (.15 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sever laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every wys branch. Cast from pipe shall be used where cover is less than three-feet to finished grade. All clean-outs will be installed per N.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection iss paid before work commences.)
- It is the responsibility of the develo, er/contractor to protect and preserve all survey monuments set or found during the construction of this project.
- 5. Changes or deviations from approved plans shall be submitted to and approved by the form Regimeer prior to actual work being performed in the field. Should work be performed beyond approved plans without approved, a stop work notice will be issued. Work done without prior approval will be subject to rejection and possible removal.
- 10. Approved pedestrian and vehicular traffic control shall be used and mainteined at all times,
- 11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" as published by the Santa Clara Velley Monpoint Source Pollution Control Program. Published recommended practices are available at the Building & Engineering Department Public Service at Town Mail, lower level.

DECLARATION OF CHIDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Suilding and Engineering Services or his authorised agents.

Signatures SEOUL Date: 3/31/01

் அன்று டிரியாட்டு நிறு நிற்கு நிறியுள்ள நிறியில் நிறியில் நிறியில் இருந்தின் பிறியில் இருந்தின் நிறியில் நிறிய இது ஆண்ணியில் நிறியில் குறியில் அன்று குறியில் இரு இருந்து இருந்து அன்று நிறியில் அன்று இருந்தின் நிறியில் அரு

Page 165

Parcel No. ATC-20 Detailed Evaluation Safety Assessment Form OVERALL RATING: (Check One) BUILDING DESCRIPTION: Name: \_\_\_ INSPECTED (Green) M LIMITED ENTRY (Yellow) 102 Address: V 117 EDELEN UNSAFE (Red) No. of Stories: INSPECTOR: Basement: Yes No Unknown 🛛 Inspector ID AKe Doxe Approximate Age: 60 + Years Affiliation .... Approximate Area: 1200 t Square feet Structural System: **INSPECTION DATE:** Wood Frame ☑ Unreinforced Masonry □ Reinforced Masonry [ Tilt-up [ Time \_\_\_\_\_11:26 Concrete Frame [] Concrete Shear Wall [] Steel Frame Other Primary Occupancy: Dwelling ☑ Other Residential ☐ Commercial ☐ Office Industrial Public Assembly School Government F Emer, Serv. Historic Other Instructions: Complete building evaluation and checklist on next page and then summarize results below. Posting: Existing Recommended Posted at this Assessment: None Inspected (Green) ☐ Yes Ø No 风 Ø Limited Entry (Yellow) Existing posting by: 10/19  $\Box$ Unsafe (Red) en lia ( ) MARTUH/MAH Recommendations: 122 No further action required Engineering Evaluation required (circle one) Structural Geotechnical Other\_\_\_\_\_ ☐ Barricades needed in the following areas: /赵 Other (falling hazard removal, shoring/bracing required, etc.):\_ was somere sile and re brush Comments (Why posted Unsafe, etc.): ATC-20
Appendix C

#### ATC-20 Detailed Type action Safety Assessmen Type (Continued)

Instructions: Examine the building to determine if any hazardous conditions exist. A "yes" answer in categories 1, 2, or 4 is grounds for posting building UNSAFE. If condition is suspected to be unsafe and more review is needed, check appropriate Unknown box(es) and post LIMITED ENTRY. A "yes" answer in category 3 requires posting and/or barricading to indicate AREA UNSAFE. Explain "Yes", "Unknown" findings and extent of damage under "Comments."

										****					H	zar	do	us (	Cor	ıdit	on	Ex	sts			_												
Co	nd	itio	n						-		Ye	5		No	<u>U</u>	nkn	owi	1_	<u>C</u>	om	<u>men</u>	ts_																
	Structure Hazardous Overall Collapse/partial collapse Building or story leaning Other		Collapse/partial collapse Building or story leaning Other							follapse/partial collapse uilding or story leaning other									)   																			
	Hazardous Structural Elements Foundations Roof/floors (vertical loads) Columns/pilasters/corbels Diaphragms/horizontal braci Walls/vertical bracing Moment frames Precast connections Other		Foundations Roof/floors (vertical loads) Columns/pilasters/corbels Diaphragms/horizontal brac Walls/vertical bracing Moment frames Precast connections					ertical loads) sters/corbels sorizontal braci bracing s ctions			ors (vertical loads) /pilasters/corbels gms/horizontal bracin rtical bracing frames onnections			s (vertical loads) ilasters/corbels s/horizontal bracin cal bracing imes inections			ndations /floors (vertical loads) /floors (vertical loads) mns/pilasters/corbels hragms/horizontal bracing s/vertical bracing nent frames ast connections				g																	
3. 1	Pa Cl Ce In El St El	rap add eilin teri eva airs	ets, ing gs/ or v tors /ex	/ori /gl /ligh vall cits gas	nam azin ht fi s/p	ient g xtu artii	atio res tion																															
4. (	Slo	ope	fail nd r	ure	Haz /de em	bris ent,	s fiss	sure	:s 			) } }			ANOTHER ON SCHOOL		) } ) )		ميندي مجين ومنو ي ومنو ي																			
SK	ΕT	'CH	:	•	•	٠	•			•	•			•		•		٠	•	٠	•	•	•		٠	•	•											
•	•	٠	•	•	•	•	•	٠	•	•	•	•	•	•	•	٠	•	•	•	•	•	•	•	•	•	•	•											
•	•													•							•		•		•	•												
•	•													•								•	-	•		•												
																											•											
•	•			•	•	•	•	٠	•	•	•	•			٠	•		. •	•	. •	•	•	٠	•	•	•	•											
														٠																								
•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	. •			keet															

Appendix C

ATC-20

Page 167

132

	Block Parcel No.
ATC-20 Detailed Evaluation Sat	lety Assessment Form
BUILDING DESCRIPTION: Name: Address: 117 EVELEN	OVERALL RATING: (Check One) INSPECTED (Green) LIMITED ENTRY (Yellow) UNSAFE (Red)
No. of Stories:	INSPECTOR: Inspector ID MORTON MARK Affiliation ARCHITECTS
Structural System:  Wood Frame  Unreinforced Masonry  Reinforced Masonry  'Tilt-up  Concrete Frame  Concrete Shear Wall  Steel Frame  Other	INSPECTION DATE: Mo/day/year W 19.89 Time 10.00 am pr
Primary Occupancy:  Dwelling Other Residential Commercial  Office Industrial Public Assembly  School Government Emer. Serv.  Historic Other	
Instructions: Complete building evaluation and checkle results below.	list on next page and then summarize
Posting: Existing Recommended None  Inspected (Green)  Limited Entry (Yellow)  Unsafe (Red)	Posted at this Assessment:  Yes No Existing posting by:
Recommendations:  No further action required  Engineering Evaluation required (circle one)	ructural Geotechnical Other
Barricades needed in the following areas:	
Other (falling hazard removal, shoring/bracing re	
Severe Cracking @ Chiming stre	
appears from outside - safe for a	acroaned.

ATC-20

Appendix C

131

of\_

Sheet \_\_\_

#### ATC-20 Detailed Evaluation Safety Assessment Form (Continued)

Instructions: Examine the building to determine if any hazardous conditions exist. A "yes" answer in categories 1, 2, or 4 is grounds for posting building UNSAFE. If condition is suspected to be unsafe and more review is needed, check appropriate Unknown box(es) and post LIMITED ENTRY. A "yes" answer in category 3 requires posting and/or barricading to indicate AREA UNSAFE. Explain "Yes", "Unknown" findings and extent of damage under "Comments."

										_					118	1281	rdo	us	Cor	dit	ion	<u> </u>	ists	<u> </u>			
<u>Cc</u>	nd	itio	n		<del></del>				_	-	Y	es_		No	_ <u>U</u>	nkn	ow	1	<u>C</u>	<u>om</u>							
1. Structure Hazardous Overall Collapse/partial collapse Building or story leaning Other													) ) )		Hasonny. Fireplace Chimney								<u>*</u>				
2.	For Rocci Di William Mr. Pr	undof/of/of/of/of/of/of/of/of/of/of/of/of/o	dati floc nns rag /ve ent ist c	ons rs /pil ms rtic frai	(ver laste /ho al b nest	ura tica ers/ orizo raci	l location to the location to	ads bel l br	) s acii	ıg		<u>.</u>															
3.	Pa Cl Co In El St El	rapaddilinterieva	ling ling or v tors tors	original light states of the light states of t	nam azin ht fi s/p	izara nent ng ixtui artit	atio res ion					֝֝֜֝֝֜֝֜֝֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓֓	•							phy of	exi	366 300,	255	- 4	<b>b</b>	\$1.	4:
4.	Slo	ope ou	fail nd i	ure	:/de :em	ard ebris ent,	s fiss	SUTO	es 			] ]					]		general genera						·····		
SH	ET	CI	[;			•	•	•		•	•	•	•	•		•		•		•		•	•	•		•	•
•	•		•	•	•		•	•	•	•	•	•	•	•	•	•	٠	•	•	•	•	•	•	•	٠	٠	٠
•	•	•	•	•	٠	•	•	•	•	•	•	٠	•	•	•	•	•	•	٠	•	•	•	•	•	•	٠	•
•	•	•	•	•	•	•	•	•	•	•	•	•	•	٠	•	٠	•	•	•	•	٠	٠	•	٠	•	•	•
•	•	•	•	٠	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
•	•	•	•		•	•	•	•	•	•	•		•	•		•	•	•	•	•	•	•	•	•	•	•	•
•					•	•	•	•	•	•		•	•		•	•		•	·	•	•	•	•			•	•
	•						•	٠			•		•			•								•			
																						S	hee	t		of.	
	122	,											Anı	nen	díx	C										AT	C-20

Appendix C

132

## TOWN OF LOS GATOS BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000168

Permit Number: Boo	)-000168			
Work Description:	NEW SFR 1174SF 1ST F	TLR, 950SF 2ND FLR,	484SF L/L	
Address: City: Contractor: License: Address: City:	BECK MARK J/BARBARA 117 EDELEN AVE LOS GATOS CA JOHN BOUCH CONSTRUCT 499281 PO EOX 26499 SAN JOSE, CA		Approved:	ISSUED 03/10/2000 05/22/2000 05/22/2000 11/18/2000
Business Idc.:: Arch\Eng\Design:: License: Address: City: Valuation:	244,527.64	•		
Total Sq.Ft: Class Code:		ole Sq.Ft.: 2608	n.4. a	
************		Count: 001	Unit Count	C: 001
Permit Issuance.:	25.00	Park Tax		104.32
Building Permit.:	1,620.00	Planning Plan Ck.		324.00
Title-24	810.00	Micro Planning		235.40
Seismic Tax:	24.45	Storm Drain Eng.,		387.42
Plan Check:	1,053.00	Road Impact Fee		336 87
Micro Building	157.00	Computer Services		64.80
Construction Tax:	169.44	Electrical Fee		
Utility Tax:	469.44	Flumbing Fee		
Gen Pln Updt:	1,213.04	Mechanical Fee		
**********	********	*********	* * * * * * * * * * * *	
	Total Calculated Fe	es: 7,294.18		
	Total Additional Fe	.00		
	Total Fees Due	7,294 18		
	Total Payments	1,059,50		
	BALANCE DUE	6,234.68		
contractions rectangion  1 certify that I am properly  5ignature X	perferry responder content	a Contractors License Law.		
CONTRIEX OF B	, 1			
MINNER'S COMMENSATION ESCENTA				
•	e a policy of Morker's Confedentia	•••		
	es, and on file with the Town 1	further affirm that I shall be	rp the insurance i	in effect
signature x	HOPPER'S COMMENSATION INSURANCE			
	organic of the work for which this	equality to see at 1 mail and	anotos eru areco	. In arm
	t to the Wirker's Compensation Eaw	_	er bros and between	t the wing
CLEVIPICATION OF FLEMIT ISSUA		· · · · · · · · · · · · · · · · · · ·		
	is application and state that the	above information is correct.	I alter to comely	with all
	e relating to building configuration			
	Droshie tor instruction durposes			<del></del>
Signatur (X)	JACK!	mana na mana di Marana dan mana ang ang ang		

### TOWN OF LOS GATOS BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000169 Work Description: NEW 441 SF DETACHED GARAGE Bullding Address: 117 EDELEN AV Status... ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied: 03/10/2000 Address.....: 117 EDELEN AVE Approved: 05/22/2000 City..... LOS GATOS CA losued..: 05/22/2000 Contractor....: JOHN BOUCH CONSTRUCTION Expires.: 11/18/2000 License....: 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Business Lic. : 97070073 Arch\Eng\Design.: License . . . . . . : Address..... City........ Valuation....: 9,768.15 441 Total Sq.Pt....: Livable Sq.Ft.: Bldg Count: 001 Class Code....: 328 Unit Count: 000 PERMIT FEES \* Permit Issuance.: 25.00 Park Tax..... .00 Building Permit.: 163.00 Planning Plan Ck.: 32.60 Title-24.....: Micro Planning...: .00 .00 145.53 Seismic Tax...: .98 Storm Drain Eng..: Plan Check ....: 105.95 Road Impact Fee..: 39.69 .00 Micro Building ... Computer Services: 6.52 .00 Electrical Fee ...: Construction Tax: .00 Plumbing Fee....: Utility Tax....: 48.84 Mechanical Fee...: Gen Pln Updt...: ................... Total Calculated Fees: 568.11 .00 Total Additional Fees: Total Fees Due....: 568.11 Total Payments....: 105.95 BALANCE DUE...... 462.16 t centify that I go gress by Helf ) t Signatule(X\_) \_\_\_\_ CONSTRUCT OF B NOTER'S CONTENSATION DECLAPATION A I hereby affirm that I have a policy of Worker's Corporation insurance. A certified copy of a certificate of that insurance is herewith furnished, ard on file with the lown. I further affirm that I shall keep the insurance in effect CERTIFICATE OF EXCHIPTION FACH NOFF RIS COMPENSATION INSUMANCE B. I certify that in the performance of the work for which this permit is issued, I shall not employ any petdom in any manner so as to tecome subject to the Worker's Compensation laws of the State of California. Signature X\_\_\_\_\_\_ CERTIFICATION OF SEPRIT ISSUANCE I carrify that I have read this application and state that the above information is correct. I agree to comply with all

Town ordinances and State lave relating to building construction, and hereby authorize representatives of this fown to

enter with the arove Anticoga prosper for ineptolish purposes.

Permit Number: E00-000131 Work Description: ELEC FOR NEW SFR 2800 SF Building Address: 117 EDELEN AV Status..: ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied.: 03/10/2000 Address..... 117 EDELEN AVE Approved: City..... LOS GATOS CA Issued..: 05/23/2000 Zip..... 95030 Expires.: 11/18/2000 Contractor..... JOHN BOUCH CONSTRUCTION License....: 499281 Address ..... PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic..: 97070073 --Square Footage--New Residence: 2800 Commercial: Remodel: PERMIT FEES Permit Issuance....: 25.00 Plan Check Fee ....: 42.00 New Resident ....: 168.00 Remodel ....: .00 Commercial....: .00 Detail Electrical Fee: .00 Total Calculated Fees: 235.00 .00 Total Additional Fees: 235.00 Total Fees Due....: Total Payments....: .00 BALANCE DUE....: 235.00 CONTRACTORS DECLARATION I certify that I am for granty Air Pas by the State of California Contractors License tax. OW. I bereby affire that I have a policy of Worker's Congensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affilm that I shall keep the insurance in effect EXPERIENT FROM WAVER'S CONFERSATION INSURANCE I certify that in the restorance of the work for which this peinlt is issued, I shall not employ any person in any manner so as to become subject to the Morker's Compensation Laws of the State of California. Signature X\_\_\_\_\_ CERTIFICATION OF FEFMIT ISSUANCE. I certify that I have read this application and state that the above information is correct. I agree to comply with all fown ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter somether Above relationship of the Town to enter somether and the Above relationship of the Town to enter somether and the town tow Signatu**le** X\_ BOTICES

2. Outdoor lights are regulated against shining on other properties, shosetring lighting is not permitted.

1. Signs are regulated, See Planning Dept. for requirements

Page 172

Permit Number: E00-000132 Work Description: ELEC FOR NEW 441 SF DETACHED GARAGE Building Address: 117 EDELEN AV Status..: ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied.: 03/10/2000 Address.....: 117 EDELEN AVE Approved: City..... LOS GATOS CA Isaued..: 05/22/2000 Zip.,.... 95030 Expires.: 11/18/2000 Contractor..... JOHN BOUCH CONSTRUCTION License..... 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic ..: 97070073 --Square Footage--New Residence: Remodel: Commercial: PERMIT FEES Permit Issuance....: 25.00 Plan Check Fee .....: 2.50 .00 New Resident....: Remodel....: .00 Commercial...: .00 Detail Electrical Fee: 10.00 Total Calculated Fees: 37.50 Total Additional Fees: .00 Total Fees Due....: 37.50 .00 Total Payments....: BALANCE DUE....: 37.50 CONTRACTORS DECLARABLES I certify that I am forcerfy) lifered by tiff state of California Contractors ticense taw. Bun COMBINETE / OF B WOFFER'S COMPENSATION DECLARATION A I hereby affirm that I have a policy of Worker's Concernation insurance. A certified copy of a certificate of that indurance is herewith furnished, and gonfile with the Town. I further affirm that I shall keep the insurance in effect CENTIFICATE OF EXEMPTION FROM HOURS IS COMPENSATION INSURANCE I certify that to the performance of the work for which this permit is issued. I shall not employ any person in any manner so as to tecome subject to the Worker's Compensation laws of the State of California. Signature X\_\_\_\_\_ CERTIFICATION OF PERMIT ISSUANCE I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the about rentroly's for July for folgenticy surfaces. Signature X MOTICE

1. Signs are regulated, See Planning Dept. for requirements

2. Outdoor lights are regulated sgainst shining on other properties, shoestring lighting is not permitted.

Permit Number: M00-000078 Work Description: MECH FOR NEW SFR 2800 SF Building Address: 117 EDELEN AV Status..: ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied,: 03/10/2000 Address..... 117 EDULEN AVE Approved: 05/22/2000 Issued..: 05/22/2000 City..... IOS GATOS CA Zip..... 95030 Expires.: 11/18/2000 Contractor..... JOHN BOUCH CONSTRUCTION License....: 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic..: 97070073 --Square Footage--Commercial: New Residence: 2800 Remodel: ...................... PERMIT FEES Permit Issuance....: 25.00 Plan Check Fee....: 28.00 112.00 New Residential....: Remodel....: .00 Commercial....: .00 Detail Mechanical Fee: .00 Total Calculated Fees: 165.00 .00 Total Additional Fees: 165.00 Total Fees Due....: .00 Total Payments....: BALANCE DUE....: 165.00 CONTRACTORS EECLARATION the fate of California Contractors Dicense Law. COMPLETE A OF B WORKER'S COMPENSATION LECTARATION I hereby affirm that I have a policy of Worker's Congenisation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on Me with the fown. I further affirm that I shall keep the insurance in effect throughout the jeb. CERTIFICATE OF EXEMITION FROM CREER'S CHEENSATION INSUPANCE I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Morker's Conjensation laws of the State of California. CERTIFICATION OF TERMIT ISSUANCE I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above foresoneffere ferly for sefection susposes. MOTICAL ALL AND schanical equipment shall be screened and the screening shall match the building in terms

of material and color. Moise levels from the equipment shall not exceed what is permitted by Section 16.20.025

Page 174

of the fown of Los Gatos Code.

Work Description: PLUM FOR NEW SFR 2800 SF Building Address: 117 EDELEN AV Status..: ISSUED Owner..... BECK MARK J/BARBARA B TRUSTEE Applied.: 03/10/2000 Approved: 05/22/2000 Address.....: 117 EDELEN AVE City..... LOS GATOS CA Issued..: 05/22/2000 Expires:: 10/30/2000 Contractor....: JOHN BOUCH CONSTRUCTION License....: 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic..: 97070073 --Square Footage--New Residence: 2800 Remodel: Commercial: \*\*\*\*\*\*\*\* PERMIT FEES Permit Issuance....: 25.00 Plan Check Fee .....: 42.00 New Residential ....: 168.00 Remodel ....: .00 .00 Commercial....: Detail Plumbing Fee ..: .00 ......................... Total Calculated Fees: 235.00 Total Additional Fees: .00 235.00 Total Fees Due....: .00 Total Payments...: BALANCE DUE....: 235.00 CONTRACTORS LECTARATION MCRKER'S COMPENSATION DECLARATION A I hereby affirm that I have a policy of Worker's Corpensation insurance. A certified copy of a certificate of that insurance to herewith fugnished, and on file with the Jown. I further affirm that I shall keep the insurance in effect throughout the jet. 0011 CERTIFICATE OF EXHAPT ON FACH HURSTER'S CONFENSATION INSURANCE B. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any ranner so as to become subject to the W.: Wer's Compensation laws of the State of California. CERTIFICATION OF FERMIT ISSUANCE I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the shave of tioned to Perty for inspection passes.

Permit Number: P00-000136

110 E MAIN ST, LOS GATOS, CA 95032	3	APPLICATION	FOR BU	LOING PE	RMIT		in and oil
BUILDING DEFARTMENT * FFICAGE 354 6531 FAX 354 7523 BUILDING ADDRESS							magan) ic
				For Off	icial	Use On	ly
117 Edelan Av.				В00-	(68	1.30	is true
ASSOCIATION ASSOCIATION ASSOCIATION (FIRES)	2006		<b>,</b>	B00-	Mc ?	(4)	2002
ઉપલ્કાર સિવાયમાં	10	Merch		E00-	131	1	2 . 133 . Carole.
mer Mick & Burham Rick	भुक्त		(	M00-	.13	, 	
and the state of t				P00-	<u> [3]</u>	6	Product as participated the state of the sta
60 Ellenward Av.		galan tahan kan kan tah antan meneneri se		4	Pans	<u></u>	Energy Calos
(18) 101109 (1)		1000		<u>(.,</u>	Sol R		Struc Calcs
F. Crivy Elloh.	30	94551			Req.	Hold	Approved
610 1800 14 160			Píannir	19:			
los latos. CA		1420	Chris	[5875] [5720]	L	***************************************	
- 0.19121CR	3000		Gary	[6879]	}	<u></u>	
John Bouch Construction		17-691000	Steve	[6807]		- <b>\</b> y	
POR BOX 26499	WORK	T SHOW CURRENT ER'S COMP		[6873] <u>)</u> [6860] <u>)</u>			31) 7/22/00
		7 F	PPW:	· 2 ·	}		
SCO SEC OD PSISO	· E - L			>、			3 11 00
વનન જા			i ire: WVSD:				1-5/20
\$0.AMEROOTAGE  PEMOCELIERISTING (NEW]ROOTIGN			Health School	-			018 00
NEMOCELIERISTING (NEMIFROSTICAL THEFORE		OTHERSTEE ROOF	Hazardou		·		10 Hoto
21100 (6/5)				Cleararice:			
MASEUSADILOGA (152-170)	<u> </u>	<b>4</b> .					
SUBTOTAL 2800			Comme	ents: 11xX	SE D	ZONE C	
CARLSE AT 1 TXM	acte	t	L				
WPER 1935 50 FT 1585 20%							
10 0 2 92E CF 5280	vo Ce	s OIK' ·	]				
ADN 529-7-70 ESTVATE PROJECT			Historic	or Pre - 1	941		
DESCRIPTION HELD WOODE.				heck Fee:	•		· ·
A second				Valuation:			
and the state of t		a. a. d. de errere e a me membro de delle edit delle elle	Building	g Approved	Ri	5-14	8-00
CALCULATED YALLE			Hold fo	r <u>:</u>		The second second second	
LENOVA 1381C4	1745AE	<u> </u>	Ready	To Issue:			
ACCAESS		, , , , , , , , , , , , , , , , , , ,	Contac	ted Owner	/ Cont	ractor on:	
CIV		Î P	Applica	tion Proce	ssed B	<u> (163.y</u>	
	لــــــا		<u> </u>		·		Revised 12/20/20



#### ENGINEERING DEPARTMENT

Permit Number: EN01-024

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Les Gatos Code, applies for permission to:
INSTALL NEW SEWER LATERAL & PROPERTY LINE CLEANOUT

Location of Work:

Job Address (Or nearest Address): 117 EDELEN AV

Applicant..... JOHN BOUCH CONSTRUCTION

Address..... PO BGX 26499

City..... SAN JOSE, CA

Applied.: 02/02/2001

Approved:

Issued..: 02/02/2001 Expires.. 04/10/2001

Contractor....: JOHN BOUCH COMSTRUCTION

Address.... PO BOX 26499

City..... SAN JOSE, CA

Fat. Date of Completion:

Status..: ISSUED

Maximum Depth of Trench: \*

\*If the maximum depth of trench is five (5) feet or greater, the construction saftey orders of the State of California Division of Industrial Saftey shall be followed.

The unfersigned applicant berely agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 3) of the Town Code, and the applicant agrees to protect and hold the fown of los Gatos, its Council members, its Posnds, itse Commissions, and its employees, acting in their capacity as such, between against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described becain.

Permit Issuance..: Micro Engineering:

Computer Services:

Total Calculated Fees: 342.00
Total Additional Fees: .00
Total Fees Due....: 342.00
Total Payments....: .00

BALANCE DUE..... 342.60

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have rest this application and state that the above information is correct. I agree to comply with all loss, ordinagoes and State laws relating to work in the public right-of-way.

Signature X.

6282182 CCS2777

Page 177





# TOWN OF LOS GATOS PARKS & PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT CONDITIONS TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

#### PERMIT NUMBER: EN01-024

APPLICANT NAME: JOHN BOUCH CONSTRUCTION

- All work shall be in accordance with the Standard plans and Specifications approved by the Town Engineer of the Town of the Satos, available and on file in the Office of the Town Engineer.
- A pre-job sesting will be registed with the form registering respector prior to the start of any construction work.
   together can be contacted at: 359-5769.
- 3. All contractors will be responsible for verification of location of all existing utilities in the field. Docations above on plane are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to lear any and all expense for the sepair of such facilities.
- to paid streets, all cuts shall be asw cut to a proofb and vertical surface with the excavation area being generally rectangular. Slurgy shall be used as backfill meterial on all excavations.
- 5. Bit contrate used for outb, guiter and addreshly must be Class "A" (six saits per cubic yard) by per State of Celif. Specifications and must attain a strangth of 3,000 puscious sinimum in 18 days. Reposed concrate shall include one point last black per cubic yard of concrate. New contrate shall be divaled to existing concrate where condition contrate.
- 6. Tom Englicearing Inspector shall be rotified 24 hours in advance of any construction work at 189-5760.
- 7. Four-inch sanitary sever interals shell be installed at a minimum of 1% grade (.25 inch. per foot) and shell have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line, Sanitary seven laterals sust be the eare material as wain from the main to the clean-out. Contractor shell help an accurate record of the distance from the previously set manhole to each and every was branch. Cast iron pips shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per N.V.B.D. apenifications. (Nest Valley Sanitation District shall be contented and connection fee paid before work commences.)
- It is the responsibility of the developse/contractor to protect and preserve all survey sonutents set or found during the construction of this project. Any sonutent destroyed shall be reset by permittee at their sole expense.
- 5. Changes or deviations from approved plane shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plane without approval, a stop work notice will be issued. Work done without prior approval shall be subject to rejection and possible removal.
- 10. Approval refestrian and vehicular traffic control shall be used and reinteined at all times.
- 11. All work related to this permit shall be done according to "Fest Hanagereat Practices for the Construction Indistry" as published by the Santa Clara Vellay Mospoint Studies Pollution Control Program. Bublished recommended practices are available at the Community Development Department Fublic Service counter at Town Hall, lower level.

#### RECENTATION OF INCHISTRATION

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services of his authorised agents.

51gasey (01) 8 - ( Doll ) ( cara: 2-2-01

## TOWN OF LOS GATOS NERCONNECNASIS THE CONTRACTOR MATERIAL PROPERTY ADDRESS OF THE PROPERTY ADDRESS OF T

41 MEES ALEMAE LOS GATOS CA 2'012

PPLICATION FOR ENGROACHMENT PERMIT

PASAS A SECULION CAS CEPARINENT ISSUED TO SOLD FAX 356 (53)

1911 N. N. C. P. SS	For Official Use Only
117 EDELEN AVE	EN0∳- <u>24</u>
1611 V. (4	EN00-
PHOSE (REQUIRED)	· PM·M·M·S
MARIC BECK.	The second secon
60 ELLENWOOD AVE L.G. 95030	NOTICE: Contract/Owner must notify the
JOHN BOUCH CONST 408 2976966	Town Inspector twenty-four (24) hours in advance of commencing the work by leaving
POBOX 26499 SAN JOSE	a message on the inspection line,
SAN JOSE CA 75159	(408) 354-6877; including the Encroachment Permit No., address, description of work to
B-4992.01 10-31-2002	be started, contact name, and phone number.
CONTRACTOR SEASON CARE	To speak to an inspector call between 7:30 am & 8:30 am • 399-5760 & 399-5761
2-10-01	7,30 and a 0.30 and 533 0700 a 000 070.
ALLE   F. M. T. P. C. P. C. P. C. P. S. P.	
INSTALL NEW SEVER	LATERAL AND
PROPERTY LINE CLEANOUT.	
and the second s	an agains ag reason agus y y A a an ea abhainn dhir in daighteachd bhrian ag di in Angaranna agus ar an ann an

100 PHONE (REPURE)  100 PH	e i ingrame comperative Meech use postsfiche af4		a. 314 1631 PAU (		NEOR PLUMBING PERMIT POS SE PCO - 130
TOTAL SECENTIAL MARKET BECK.  MARK BOUCH CONST 297-6  PO BOX 26/199  SAN JOSE CA 95/159  SAN JOSE CA 95/159  MORKER  MORKER  MORKER  MORKER  MARK BEWERE  LATERAL AND  PROPERTY LINE  CLEANOUT.	La UIII	1	AMECHT		Historic - Pre-1341
MARK. 136CK.  MA			75¢ F 4		117 EDELEN AVE
MARY BECK.  MARY BOUCH CONST 297-6  PO BOX 26499  SAN JOSE CA 96159  MUSTSHOW WORKER  MARY BAPTER LAND MARKER  MARY BAPTER LAND PROPERTY LINE CLEANOUT.	After Forest A		750E4		Constitution of the second sec
MMRRY BECK.  MMRRY	LILANES FACINA	[	7 (M. F.)		1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1
GO ELLENWOOD AV. L  JOHN BOUCH CONST 297-6  TONN BOUCH CONST 297-6  PO BOX 26499  SAN JOST CA 96 159  SAN JOST CA 96 159  WORKER  WORKER  TINSTALL NEW SEINER  LATERAL AMD  PROPERTY LINE  CLEANOUT.	REATTING GATE E-12 THE THE	]	13861		
GO ELLENWOOD AV. L.  JOHN BOUCH CONST 297-6  PO BOX 26499  SAN JOSE CA 96159  SAN JOSE CA 96159  SAN JOSE CA 96159  WORKER  WORKER  LATERAL AND  PROPERTY LINE  SHARE  SHA			7374		MULK 13ECK
LOS GIATOS CA 95030  JOHN BOUCH CONST 297-6  PO BOX 26499  SAN JOSE CA 96159  FOR BOX 26499  FOR SAN JOSE CA 96159  FOR SAN JOSE C			250.84		
LOS GATOS CA 95030  JOHN BOUCH CONST 297-6  PO BOX 26/199  SAN JOSE CA 96/159  FORMAL BAPPERS  WORKER  TINSTALL NEW SERVER  LATERAL AMD  PROPERTY LINE  CLEANOUT:  COLUMN BOUCH CONST 297-6  PO BOX 26/199  SAN JOSE CA 96/159  WORKER  TOSE SAN JOSE CA 96/159  WORKER  CAN JOSE CA 96/159  FOR SAN JOSE	sa jaka		7.864		60 ELLENWOOD AVI 1
TONN BOUCH CONST 297-6  PO BOX 26499  SAN JOSE CA 96 159  MUST BA99281 MUST SHOWE  WORKER  TONSTALL NEW SERVER  LATERAL AND  PROPERTY LINE  SALLE SALLES FOR SERVER  CLEANOUT:	· · · · · · · · · · · · · · · · · · ·		27614		1.0 (.4000 04 600000
JOHN BOUCH CONST 297-6  NOTE OF BOX 26499  SAN JOSE CA 96159  MUST SHOW WORKER  TOTAL NEW SEINER  LATERAL AMD  PROPERTY LINE  SAN JOSE CA 96159  MUST SHOW WORKER  CLEANOUT.	25 A 254 220 M 254 M 25 M 25 M 25 M 25 M 25 M 25 M 2		13784		1
PO BOX 26499  SAN JOSE CA 96159  MUST SHOW WORKER  TO 31-2002.  TO	e speaker		* 10/F A		
PO BOX 26499  SAN JOSE CA 96159  SAN JOSE CA 96159  SAN JOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  WORKER  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  WORKER  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  WORKER  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  TO SAN DOSE CA 96159  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DONE  TO SAN DOSE CA 96159  MUST SHOW CONTROL OF SAN DOSE CA 96159  TO SAN	A STATE OF THE STA	<u> </u>	1 % EA		JOHN BOUCH CONST 27/29116
SAN JOSE CA 96 159  MUST SINGWO WORKER  SAN JOSE CA 96 159  MUST SINGWO WORKER  SAN JOSE CA 96 159  MUST SINGWO WORKER  TO STAN WORKER  TO STAN WORKER  TO STAN WORKER  TO STAN WORKER  SAN JOSE CA 96 159  MUST SINGWO WORKER  TO STAN WORKER  TO STAN WORKER  TO STAN WORKER  SAN JOSE CA 96 159  MUST SINGWO WORKER  TO STAN WORKER  TO STAN WORKER  LATERAL AMD  PROPERTY LINE  CLEANOUT.  SAN JOSE CA 96 159  MUST SINGWO WORKER  TO STAN WORKER  CLEANOUT.		X	<u> 15 % 5 ±</u>		DA 22 4 4 4 4 GO
SAN JOSE CA 96159  SAN JOSE CA 96159  SAN JOSE CA 96159  SAN JOSE CA 96159  MUST SHOW WORKER  10-31-2002.  MUST SHOW WORKER  TO STALL NEW SEWER  LATERAL AMD  PROPERTY LINE  SAN JOSE CA 96159  MUST SHOW WORKER  COMMISSION OF SHOW WORKER	ngangun matalah gigarawan kentukan Manusahan		<u>64 / E.</u>		
SOURCE STREET STATE STAT	r se tri tua. Languaga an arang manggang an arang managan an arang managan an arang managan an arang managan arang managan m	ļ	1 52		CAN THET CA 96 159
TOTAL TOTAL WORKER  TOTAL TOTAL TOTAL TOTAL TOTAL TOTAL NEW SENER  TOTAL	43 91 576 NA		11.035557		. Do and you have been upon the property of the control of the con
ENGLANCE STATE STA	2337 - 4 - 1828 4	ļ .—.	9103050		1
TINSTALL NEW SENERE  TOTAL CONTROL OF THE CONTROL O	1,4°- 8 25 - 18 25 	ļ	12 % 64		10-31-2002
TINSTALL NEW SEWER  TOTAL NEW SEWER  LATERAL AMD  PROPERTY LINE  STATEMENT STATES  CLEANOUT:  SAME STATES  SAME SAME STATES  SAME STATE	in the service of the	ļ	2.5/5		Transparation of Miles
LATERAL AND  PROPERTY LINE  CLEANOUT.  Source services and services ar	Siri Sirani	ļ	1 2864		
LATERAL AND  PROPERTY LINE  STREETS  STREETS  CLEANOUT:  STREETS  STREETS  STREETS  STREETS  STREETS  STREETS  STREETS  STREETS  CLEANOUT:	3,34,357555		. <u>120054</u>		INSTALL NEW DENCE
PROPERTY LINE  STREETS STREETS  CLEANOUT.  SOLUTION OF THE STREETS  SOLUTION OF THE STREET STREETS STREETS STREETS  SOLUTION OF THE STREET STREETS STR	FATS TRACE	X.	t		LINCE LA LIND
STREET CLEANOUT.	onare mya si se sa sastata		1		
STREET CLEANOUT.		·	75 70 EA		DRAPPETY LINE
POLYMORPH PROPERTY STORY	un tin kenjit kuji ji ya tinjis isigis Diega. Disambana disambana di Salabana mendera	1	45 M E4		5
POLYMORPH PROPERTY STORY	Control and a residence to the second of the			CLEANOUT	
200 And 6 Control 200 And 200	\$.5°,IV				
	A OLIMA PREPARE AREA FOR PUMPOR SIX FEE 150				<b>-</b> [
					- <b>i</b>
					<b>1</b>
	, and the second	· -			
TOTAL FEES	PROGRAMME OF RESIDENCE		31500		•
TOTAL FEES	TOTAL SEES				1
	TOTAL FEES		AND THE PROPERTY OF THE PARTY O		·



#### , ENGINEERING DEPARTMENT

Permit Number: EN00-268

Utility Job No.: 30130152

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to: INSTALL UNDERGROUND GAS, ELECTRIC, AND PHONE

Location of Work:

Job Address (Or nearest Address): 117 EDELEN AV

Applicant....: PACIFIC GAS & ELECTRIC

Applied.: 11/06/2000

Address.....: 10900 NORTH BLANEY AVE City..... CUPERTINO CACA

Approved: Issued. : 11/06/2000 Expires.: 03/01/2001

Contractor....: PACIFIC GAS & ELECTRIC Address.....: 10900 NORTH BLANEY AVE

City..... CUPERTINO CACA

Status. : ISSUFD

.00

Est. Date of Completion:

Maximum Depth of Trench: \*

\*If the maximum depth of trench is five (5') feet or greater, the construction saftey orders of the State of California Division of Industrial Saftey shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Poards, itwe Commissions, and its exployees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

аландының байын алыпының кекен кен — PERMIT FEES - алыпын алыпын алыпын байын алыпын алыпын алыпын алыпын алып Permit Issuance ...

Micro Engineering: 

Computer Services.

Total Calculated Fees: 216.68 Total Additional Fees: Total Fees Due....: 216.68

Total Payments....: .00 PALANCE DUE......: 216.68

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this implication and state that the above information is correct. I agree to comply with all Town ordinances and Spite tays relating to work in the public right-of-way.

SPECIAL CONDITIONS:

elc Sherri Boyol



# TOWN OF LOS GATOS PARKS & PUBLIC WORKS DEPARTMENT PACHOACHMENT PERMIT CONDITIONS TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PERMIT NUMBER: EN00-268 APPLICANT NAME: PACIFIC GAS & ELECTRIC

- All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Ios Gates, available and on file in the Office of the Town Engineer.
- A provide meeting will be required with the Town Engineering Inspector prior to the etert of any construction work.
   Inspector can be contacted at: 359-5760.
- 3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground finitizing and to been any and all expense for the repair of such facilities.
- In pavel streams, all cuts shall be saw cut to a smooth and vertical surface with the excavation area being generally sectangular. Slurry shall be used as backfill asterial on all excavations.
- 3. All concrete used for curb, gutter and sidewalk must be Class "A" (six sachs per cubic yard) as per frate of Calif. Specifications not must attain a strength of 5,000 p.s.t. minimum in 18 days. Paposed concrete shall include one pound lamp black per cubic yard of concrete. New contrate shall be divised to existing concrete where condition occurs.
- 6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 189-5760.
- 7. Four-inch sanitary sever leterals shall be installed at a minimum of 2% gra's (.25 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sever laterals must be the saxs material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously sat manhole to each and every wys branch. Cast ison pips shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per M.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
- 8. It is the responsibility of the developer/contractor to protect and preserve all survey converts set or found during the construction of this project. Any morament destroyed shall be reset by permittee at their sole expense.
- 9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Nork done without prior approval shall be subject to rejection and possible removal.
- 10. Approved pedestrize and vehicular traffic control shall be used and maintained at all times.
- 11. All work related to this permit shall be done according to "Bast Management Practice, for the Construction Industry" as published by the Santa Clara Valley Suppoint Source Pollution Control Program. Published recommended practices are available at the Community Development Department Public Service counter at Yorm Eall, lower lavel.

DECLARATION OF UNDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorized agents.

Signatures

118/8





#### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION (408) 354-6815 FAX (408) 354-7593

COM CENTE 110 E MAN STEEL P.O. BOX 949 LOS GATOS, CA 95031

April 11, 2001

E. Gary Schloh 213 Bean Avenue Los Gatos, CA 95030

Re: 117 Edelen Avenue

Dear Mr. Schloh:

I have reviewed your letter requesting permission to replace an existing handrail with one in kind to a height of 30".

The 1998 California Historical Building Code Section 8-801 recognizes historical methods and materials of construction that are at variance with regular code requirements. These regulations require agencies to accept any reasonably equivalent alternatives to the regular code when dealing with qualified historical buildings or properties.

If you have any questions, please do not hesitate to contact me at (408) 354-6815.

Very Truly Yours,

Bud N. Loitz

Director of Community Development

By:

Darlene Monroe

Senior Building Inspector

BNL:DM.sn

NiDevice le s'Écalen 117 mpd







### Town of Los Gatos

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION (408) 354-6815 FAX (408) 354-7503 Cos Cours HOL Mas Shot PO B 5944 Issan + CA 7011

August 29 2600

E: Gary Schloh 213 Bean Avenuc Los Gatos, CA 95030

PERMIT NUMBER

B00-000168

LOCATION

117 Edelen Avenue

Dear Mr. Schloh

This letter is in response to our conversations regarding a pad certification for the above referenced project

The California Department of Water Resources has been retained by the Federal Emergency Management Agency to administer an audit of the Town of Los Gatos Flood Ordinance. A representative from the Water Resources Department conducted a tour of the flood plain areas in order to determine the types of development occurring within the Town limits. During that tour it was brought to our attention that the construction project on Edelen Avenue is located within the Flood Hazard Zone B. Therefore, an Elevation Certificate is to be provided to ensure compliance with the icommunity flood plain management ordinance.

Please complete the enclosed Elevation Certificate (FEMA 81-31 (F-053) (8'99) provided by FEMA, and return to our office as soon as possible

If you have any questions, please feel free to contact me at (408)354-6815

Very truly yours

DARLENE MONROE
Senior Building Inspector

co. John Munoz, Building Inspector

Jaka . Mexoc

Enclosures

DM mvg

N'DEVIDARLENE LETTERS EDELEN 117

# TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT BUILDING PERMIT

Permit Number: B01-000503 Work Description: CONVERT NON-HAB CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Applied.: 06/27/2001 Approved: 07/03/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Address .....: 117 EDELEN AVE Issued..: 07/03/2001 City..... LOS GATOS CA Expires.: 12/30/2001 Contractor....: JOHN BOUCH CONSTRUCTION License ..... 499281 Address.....: PO BOX 26499 City..... SAN JOSE, CA Business Lic..: 0113193 Arch\Eng\Design.: SCHLOH E GARY License ....: C20562 Address.....: 213 BEAN AV City..... LOS GATOS CA 12,602.50 Valuation...: Livable Sq.Ft.: 355 Total Sq.Ft....: 434 Class Code....: \*\*\*\*\*\*\*\*\*\*\* 14.20 Park Tax.... 25.00 Permit Issuance.: Planning Plan Ck.: 40.10 200.50 Building Permit.: .00 Micro Planning...: 100.25 Title-24....: .00 Storm Drain Eng..: 1.26 Seismic Tax....: 31.95 Road Impact Fee ..: 130.33 Plan Check....: 8.02 Computer Services: .00 Micro Building ..: 63.01 Gen Pln Updt....: 63.90 Construction Tax: 63.90 Utility Tax....: 742.42 Total Calculated Fees: .00 Total Additional Fees: 742.42 Total Fees Due....: .00 Total Payments....: 742.42 BALANCE DUE....: LICENSED CONTRACTOR'S LEGERATION I herety Affirm ander penalty of perjoy that I am licensed under provisions of Chapter 9 of division 3 of the Business and professions Code, and my licenseds in full force and effect.

Complete A or B

WIFFER'S COMPENSATION IN LARABICS At I tyred affirm under consilty of perjusy I have and will maintain workers' compensation insurance, as required by Section 3700 of the intercede, the perference of the west for which this permit is 188,01. OF EN PHIC ENON WORKER'S COMEMSATION INSUPACE 5: I certify that in the performance of the work for which this permit is issued, I shall not coploy any person in any manner so as to become subject to the workers' congensation laws of California, and agree that, if I should become subject to the worker's congensation provisions of Section 3700 of the Later Code, I shall forthwith comply with those provisions. MAENING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMITAL FENALTIES AND CIVIL FINES UP TO \$100,000. IN ADDITION TO THE COST OF COMPENSATION, CAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR COLE. CERTIFICATION OF CONEP/BUILDER DECLAPATION I hereby affirm under genalty of perjusy that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorise representatives of this Town to enter upon the above mentioned property for inspections

### TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT ELECTRICAL PERMIT

Permit Number: E01-000346 Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Applied.: 06/27/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Approved: Address.....: 117 EDELEN AVE Issued..: 07/03/2001 City..... LOS GATOS CA Expires.: 12/30/2001 Zip..... 95030 Contractor....: JOHN BOUCH CONSTRUCTION License....: 499281 Address.....: PO POX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic..: 0113193 --Square Footage--Commercial: Remodel: New Residence: \*\*\*\*\*\*\*\* PERMIT FEES 25.00 Permit Issuance....: 9,69 Plan Check Fee .....: .00 New Resident.... .00 Remodel....: .00 Commercial....: 38.75 Detail Electrical Fee: \*\*\*\*\*\*\*\*\*\*\*\*\* 73.44 Total Calculated Fees: .00 Total Additional Fees: 73.44 Total Fees Due....: .00 Total Payments....: 73.44 BALANCE DUE..... LICENSED CONTRACTOR'S DECLARATION I hereb (affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Risiness and Processions Code, and of license is in full force and effect.

Signature X COMPLETE X or B WORVER'S COMPENSATION DECLAPATION so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the withers' confinsation provisions of Section 3700 of the Labor Code, i shall forthwith comply with those provisions. MASNING: FAILURE TO SECURE WORKERS' CONSENSTION COVERAGE IS UNLAWFUL, AND SHALL SCRUECT AN EMPLOYER TO CRIMINAL SENSITIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS EXCUSTED FOR IN SECTION 3706 OF THE LABOR CODE. CERTIFICATION OF OWN-RABUILLER DECLAPATION I hereby affirm under genalty of perjusy that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this fown to enter upon that above mentioned property for inspections.

#### POTICE

- 1. Signs are regulated, see Planning Dept. for requirements
- 2. Cutdoor lights are regulated against abining on other properties, shoestring lighting is not permitted.

# TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT MECHANICAL PERMIT

Permit Number: M01-000191 Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Applied.: 06/27/2001 Approved: 07/03/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Address.....: 117 EDELEN AVE Issued..: 07/03/2001 City..... IOS GATOS CA Expires.: 12/30/2001 Zip..... 95030 Contractor....: JOHN BOUCH CONSTRUCTION License....: 499281 Address.....: PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic.: 0113193 --Square Footage--Commercial: Remodel: New Residence: \*\*\*\*\*\* PERMIT FEES 25.00 Permit Issuance....: 3.00 Plan Check Fee ..... .00 New Residential....: .00 Remodel....: .00 Commercial..... 12.00 Detail Mechanical Fee: \*\*\*\*\* 40.00 Total Calculated Fees: Total Additional Fees: .00 40.00 Total Fees Due.....: .00 Total Payments....: 40.00 BALANCE DUE....: I hereby affirm under penalty of perjury I am licensed under provisions of Chapter 9 of division 3 of the Business and Froteshins Code, and my dicense (2 in toll force and effect.

Signature X

COMPISIS A. of B LICENSED CONTRACTOR'S FECHARATION COMPLETE A. OF B OF LECTARATION DECLARATION A I hereby affirm under consity of perjury I have and will maintain workers' concensation insurance, as required by Section Signature X CERTIFICALE OF EVENTION FOR WORKER'S CONTENSATION INSUSANCE B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 1700 of the labor Code, I shall forthwith comply with those provisions. MARNING: FAILURE TO SECURE WORKERS' COMMENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN AMOITION TO THE COST OF COMMENSATION, DAMAGES AS PROVIDED FOR IN SECTION 1706 OF THE LABOR COLE. CHRISTICATION OF OWNER/BUILDER DECLARATION I hereby affirm under penalty of perjury that I; as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

MOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Moise levels from the equipment shall not exceed what is permitted by Section 16.20.035 of the Town of Los Gatos Code.

# TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT PLUMBING PERMIT

Permit Number: P01-000338 Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SP Status..: ISSUED Building Address: 117 EDELEN AV Applied.: 06/27/2001 Approved: 07/03/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Address.....: 117 EDELEN AVE City..... LOS GATOS CA Issued..: 07/03/2001 Expires.: 12/30/2001 Zip..... 95030 Contractor....: JOHN BOUCH CONSTRUCTION License....: 499281 Address....: PO BOX 26499 City..... SAN JOSE, CA Zip,..... 95159-0000 Business Lic..: 0113193 --Square Footagecommercial: Remodel: New Residence: \*\*\*\*\*\*\* PERMIT FEES 25.00 Permit Issuance....: 9,00 Plan Check Pee....: ,00 New Residential ....: .00 Remodel....: .00 Commercial....: 36.00 Detail Plumbing Fee ..: \*\*\*\*\*\* 70.00 Total Calculated Fees: .00 Total Additional Pees: 70.00 Total Fees Due....: .00 Total Payments....: 70.00 BALANCE DUE..... I hereby effin under genalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Frof sichs Code, and 1 license is 2 full force and effect. LICENSED POLISTRACTOR'S DECLAPATION A I hereby affirm under genalty of perjusy I have and will maintain workers' compensation insurance, as required by Section WIFKER'S COMPENSATION DECLARATION 3760 of the lator code, for the performing of the work for which this permit is issued.

Signature I CERTIFICATE OF EXELUTION FROM MORNER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation providens of Section 3700 of the tabor Code, t shall forthwith comply with those provisions. WARNING: FAILURE TO SECURE WORKERS! COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL FEMALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 1706 OF THE LABOR CODE. CERTIFICATION OF OWNER/BUILDER DECLARATION I hereby affirm under cenalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

INSPECTION REQUESTS \* PHONE 354-6877 (VOICE MAIL)

110 E. MAIN ST., LOS GATOS, CA 95032

### APPLICATION FOR BUILDING PERMIT

COMMUNITY DEVELOPMENT SERVICES - BUILDING DIVISION - * PHONE 35	4-6881 FAX 354-7593				111
STEEN AND A TORESS		For Off	icial U	56 UN	iy .
117 Edelen Av., L.G.	19 June 01	B01-	503		
USE OF EXISTING BUILDING (Passe nails) Commercial Building Pasting Structure	's building on Sever or Septic?	B01-	2.11		
Single family Residence Condo / partments/ Arrached Garage or fromhouse Delacred Garage			346		
Robert Grenum	PHONE (Required)	M01-			
KOWELL CHOWN		P01-	838		
CORES AL AFOND Com B. Sept. ASSESSED			_Pians		Energy Calcs
CITY			_Soll R		Struc Cates
E. Cary Schloh	3544551		Req.	Hold	Approved
TOORESS OF B. Charles All.		Planning: SK [6807]			
TOORESS 219 Pocan AV.	36.000	[5720]			
Los Gaton CA	95020	SAND (6873) SDAV-(6975)	-		
CONTRACTOR	Alove C	JOEL [6879]		*	1/6/2/101
NORESS	MUST SHOW CURRENT	TRIS (6860)			<u> </u>
	WORKER'S COMP	SL [5702]			
CTY		<u>.</u>			
STATEL CENSE CONTRACTOR'S EXPIRATION D	ATE	Schools: Fire:	<b> </b>		
		WVSD:			
SOUARE FOOTAGE  PENDOFL NEW / ADDITION	OTHERS I RE ROOF	Health/Septic:			
100.000		Hazardous	1 1		
'street	\$2 (FoorForch/Deck, etc.)	- Waterial Clearance:	lL		
335 ASF DRIVER 355	boots account of a	4			
S_BTO*AL	TOTAL	Comments:			
SARAGE			·		
COCRETE PATIOFORCHES	THE RESERVE AND PARTY OF THE PROPERTY OF THE P				
100 0 SIECE 5227	was one	•			
STORES OF THE PERSONNE		Historic or Pre -	1941		
DESCRIPTION MORE Unfinished	Living inte	Plan Check Fee			
oescaption Improve 'unfinished finished living (in cellar	<u>)                                    </u>	Building Approv			
		Fire Sprinkler S			
		Contacted Arch		dendes	)
	PHONE				
ENDIVO A GENCY		Contacted Own			-, ,
NOORESS		Application Pro	cessed B	シップ	
li fur	ZP				Revised: 02/21/2

dev.forms/bldgapp.xls

TOWN OF LOS GATOS AND SHOULD BE STORED WITH BUILDING DEPARTMENT PHONE 354-8881 FAX (408) 354-7593 E01-INSPECTION REQUESTS PHONE 354-6877 Historic - Pre-1941 EDELEN AV. Commerced Building/ Parting Structure 125 EA Attached Garage or Detached Garage STHEODING LIGHTS 10 1 25 EA Single-family Residence PHONE (REQUIRED) NOODR LIGHTS 6 PROPERTY OWNER 125 EA SMITCHES GRANUM 125 EA 10 ECEPTACLES OUTLETS WIL ACCRESS residential: Oven cook top, MUL, ARCONO, SPACE HEATER DISPOSER DISMASSER WATER HEATER WASHING MACH, CLOTHES DRYERS, OTHER SMUL APPLIANCES, 117 EDELEN AVE LOS 61 ATOS 95030 500 EA OWNEXCULT NEOCYT & DENIAL JOHN BOUCH CONST 408 2976966 DEVICES, FOOD & BEVERIGE CABINETS, OUNTAINS, VEHONG MACH, LAUNCRY MCH, OTHER SHALL APPLIANCES IKW 6 00 EA DALESS LARGE AFPLUNCES, FOLVER AFFARATUS EATING & AIR COND. EQUIP , COOKING & BAKING EQUIP PO BOX 26499 OTHER LARGE APPLIANCES A LYPARATUS UP TO 13 KN A OO EA SANJOSE CA 95126 15 00 EA OVER 15 KM 30 00 EA MUST SHOW CURRENT OVER SO KW 45 00 EA WORKER'S COMP WA OCE RAVE UCENSE 31/2002 5 00 EA EXPRE BUSWAY (PER 100 FEET) DATE 30 00 EA NOTICE: 1. SIGNS ARE REGULATED, SEE PLANNING DEPT. 30 00 EA SERVICE EOUP., NOT OVER 200 AMPS 2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, SHOESTRING LIGHTING NOT PERMITTED. 50 00 EA SERVICE EOUP, 20110 979 AMPS 75 00 EA cennce equal over 1000 anes 3. WRITTEN LETTER OF APPROVAL IS NECESSARY FOR 11 00 EA EQUIPMENT AND LIGHTS OUTSIDE OF LIVING AREA WITHIN Subpanel 1750 Affaratus Concotts Stockt 15 00 EA CHOUCTORS HOMEOWNER'S ASSOCIATIONS 30 00 EA TENPORARY POWER FOLE 15 00 EA EUPOPARY LIGHTENS SYSTEM 30 00 EA SWWW.NB POOL SYSTEM 92 FT. X \$3 06 s DESCRIPTION OF WORK ATO15:28 F PLANS ARE REVENED, ADD FLAN CHECK FEE 25" \$25 00 STANCE OF PERMIT TOTAL FEES

SPECTION REQUESTS PHONE 354	0877	كالقالية بتوريدون	PAPPLICATI	ON	FOR MECHANICAL PERMIT MO1	
UNT FEE	PE OF	AMOUNT	\$ fel		DULDING ADDAESS 117 EDELEN AV	Historic - Pre-1941
NSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, AIC, BOILER OMPRESSOR, OR AIR HANDLER		20 00 EA.			OSE OF EUSTING BUILDING (PIEZZI IN III) SFRES	Commercal Building/ Parking Structure
NCT OUTLET OR REGISTER	2	300 EA.			Single-family Condo/Aparlments/ Townhome Residence X PROPERTY OWNER	Attached Garage or Detached Garage PHONE (REQUIRED)
REPLACE	ļ	12 00 EA			GRANUM	PHONE (REGOINED)
ENTRATING FAN		600 EA		<u> </u>	WAIL ADDRESS	
OOD, RESIDENTIAL	ļ	15 00 EA.			117 EXELEIL AV	
1000, CONTRERCUL		25 00 EA			117 EDELEN AV	ZΦ
LUE, YENT		600 EA			COTY  LOS GIATOS  CONTRACTOR  JOHN BOUCH CO	95030
VAPORATNE COOLER		12 00 EA			CONTRACTOR	PHONE
SOLAT COLLECTOR		22 00 SYSTEM			JAHN BOUCH CO	NST
OTHER MECHANICAL APPLIANCE		1500 EA			MAN APOCESS	
<u> </u>	1	10 CO SYSTEM			PO BOY 2649	9
EW CONST.	50 FT.	X \$0 C4 =	<u> </u>		CUA	ZØ
	<u> </u>	SUBTOTAL			PO BON 2649 SAN JOSE	95126
F PLANS ARE REVIEWED, ADD PLAN CO	25%	}		STATE LICENSE 499281	MUST SHOW CURRE	
					EUPREDATE 10/31/2002	WURKER'S COMP
					त्राम् प्रदेशका नाम करणा प्राप्त विकास विकास क्रिकेट कि प्रदेशका क्रिकेट कि प्रदेशका क्रिकेट कि प्रदेशका क्रिक विकास क्रिकेट कि प्रदेशका क्रि	
					NOTICE: All mechanical equipmen	t shall be screened
				ilding in terms of		
					material and color. Noise levels fron	r the equipment shall
SSUANCE OF PERMIT		\$25 60			not ex.eed what is permitted by Sec	tion 16.20.025 of
					the Town Code.	
TOTAL FEES					NOTICE: When installing a new A/C	
					electrical, an electrical permit may al	so be required.
DESCRIPTION OF WOR	K:					
÷						

		المستراك المسترات والمعيود			SUPLUNG ADURESS		P01		Indada Dec.
UNTFEE	met m	AVOUNT		£ €	117 81	hel E	1/41/	l_	Historic - Pre-1
ATER CLOSET (TOLET)	_1_	700 EA		_					
ATH TUR HOT TUB	1	7 00 EA		_			Condo/Aparime	nted .	nmencal Building/ Parlung Str.
HOMER SAUNA		7 00 EA			Single family Residence PROPERTY OWNER	×.	Townhome	Ana	iched Garage or Defasted Ga IONE (REQUIRED)
AVATORY (BATHROOM SINK)		100 EA		_				• • •	10112 (112201100)
٨X		100 EA		_	C7/C/	NUM			
SHWASHER		700 EA				0 5 1	1 L	1./	
SPOSER	1/4	7 00 EA			// /	EDELE GAY		<u>'                                    </u>	7.9
LOTHES WASHER		700 EA.			UIT	6,00	ra C	a	COZA
LOOR DRAIN		7 00 EA				C/7/ Y		7	0.5
OUNTAIN		700 EA		<u> </u>	CONTRACTOR		_	/n	ψ.ν <u>ε</u>
AIN/VATER SYSTEM		7 00 EA			Tolli	U BOU	ich C	-01	<u> </u>
OUSE SEWER OTHER PLUMA DEVICE	1	15 00 EA.			WAL AUUKESS				
ATER HEATER / WATER SOFTNER		15 00 EA			10	130x	2649	14	
FREASE TRAP		1200 EA			ON			0	
SAS SYSTEM		10 00 SYSTEM			SAX	Box 1 Tos	SE	7.	126
AAN SPRINGER	<b> </b>	900 SYSTEM			STATE LICENSE	4997	-81		MUST SHOW CUR
VATER SYSTEM	1	10 00 EA		7	EXPIRE CATE	10/31	12002		WORKER'S C
ACUUM EREAKERTHOSE E-83		200 EA				Day of the same	ALL PROPERTY AND A SECOND PROPERTY AND A SEC		
ACAFLON DEVICE	<b> </b>	8 00 EA			DESCRIPTION OF WO	RK.			
RAATE SAIAMING POOL	1	43 00 EA							
SEMER CLEANOUT		BODEA							
RIVATE SEMAGE DISPOSAL SYSTEM	1	45 00 EA		_					
	1	25 00 EA		7					
CONTRACTOR WATER REPORTS	1	45 00 EA	T						
ESICENTIAL WATER PEPIPAG	L	x \$0 06 *		7					
EN CONST	J-2 F1	SUBTOTAL		_					
- A A C A C C C C A C A C C A C C A C C A C C C A C C C A C				- -	1				
F PLANS ARE REVIEWED, ADD PLAN CH	HUN FEE	. ( ) 1	1	- -					,
de qui germanne de la marque de la marque, qu'el des que marque qu'el de la grande de la grande de la grande d	<del>,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</del>				1				
			<b> </b>						
			<del> </del>	- -					
		***		-†-	1				
SSUANCE OF PERMT		\$25.00	<b> </b>	+					
			<u> </u>		1				
TOTAL FEES			<u> </u>	L_	ł				

### TOWN OF LOS GATOS COMMUNITY DEVBLOPMENT DEPARTMENT BUILDING PERMIT

Permit Number: B01-000503 Work Description: CONVERT NON-HAB CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Applied.: 06/27/2001 Approved: 07/03/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Address....: 117 EDELEN AVE Issued..: 07/03/2001 City..... LOS GATOS CA Expires.: 12/30/2001 Contractor....: JOHN BOUCH CONSTRUCTION License....: 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Business Lic.: 0113193 Arch\Eng\Design.: SCHLOH E GARY License..... C20562 Address..... 213 BEAN AV City..... LOS GATOS CA 12,602.50 Valuation....: Livable Sq.Ft.: 355 Total Sq.Ft....: Unit Count: 000 Bldg Count: 001 PERMIT FEES \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\* Class Code .....: 434 \*\*\*\*\*\*\*\*\*\*\*\* 14.20 Park Tax.... 25,00 Permit Issuance.: Planning Plan Ck.: 40.10 200,50 Building Permit.: .00 Micro Planning...: 100.25 Title-24....: .00 Storm Drain Eng. .: 1.26 Seismic Tax....: 31.95 Road Impact Fee ..: 130.33 Plan Check....: 8.02 Computer Services: .00 Micro Building ..: 63.01 63,90 Gen Pln Updt....: Construction Tax: 63.90 Utility Tax....: 63.90 742.42 Total Calculated Fees: .00 Total Additional Fees: 742.42 Total Fees Due....: .00 Total Payments....: 742.42 BALANCE DUE..... I hereby Affirm under genalty of perjusy that I am licensed Loder provisions of Chapter 9 of division 3 of the Business and From Stocks Code, and my licensed and effect.

Signatu X

WIEFER'S COMPENSATURE LAPATION LICENSED CONFRACTOR'S LECTAPATION A: I tyled affirm under ponalty of perjusy I have and will maintain withers' contensation insurance, as required by Section 3700 of the intercole, the perfence of the work for which this feinit is issued.
Signiture x CENTIFICATE OF EXPLICE FECH WOFFER'S COMPENSATION INSUPANCE B) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any marger so as to become subject to the workers' congenisation laws of California, and agree that, if I should become subject to the worker's confersation provisions of Section 3700 of the Lator Code. I shall forthwith comply with those provisions. WASHING FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL FENALTIES AND CIVIL FINES UP TO \$100,000, IN ACCITION TO THE COST OF COMPENSATION, FAMAGES AS EPOVICED FOR IN SECTION 1706 OF THE LASOR COCE. CERTIFICATION OF OWNER/BUILLER DECLAPATION I hereby affirm under pensity of perjury that i, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all fown ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.



### TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT ELECTRICAL PERMIT

Permit Number: E01-000346 Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Owner..... BECK MARK J/BARBARA B TRUSTEE Applied.: 06/27/2001 Approved: Address.....: 117 EDELEN AVE Issued..: 07/03/2001 City..... INS GATOS CA Expires.: 12/30/2001 Zip..... 95030 Contractor....: JOHN BOUCH CONSTRUCTION License..... 499281 Address.....: PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic..: 0113193 --Square Footage--Commercial: Remodel: New Residence: \*\*\*\*\*\* \*\*\*\*\*\*\* PERMIT FEES 25.00 Permit Issuance....: 9,69 Plan Check Fee....: .00 New Resident....: .00 Remodel.,.... .00 Commercial....: 38.75 Detail Electrical Fee: \*\*\*\*\*\*\*\*\*\*\*\*\*\* 73.44 Total Calculated Fees: Total Additional Fees: .00 73.44 Total Fees Due....: .00 Total Payments....: 73.44 BALANCE DUE....: LICENSED CONTRACTOR'S DECLARATION 1 hereb (affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Free easters Code, and of license is no tune force and effect.

Signature X CONSTITUTE X OF B A I hereby affirm under penalty of perjury I have and will maintain Workers' Congensation insurance, as required by Section 3700 of the later Cede, for the sectionary of the work for which this permit is issued.

Signature X

CERTIFICATE OF EXEMPTION FROM MERRER'S COMPENSATION INSUPANCE

B. I certify that to the conference of the work for this artists. WESTER'S COMPENSATION ERCLAPATION B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' congensation provisions of Section 3700 of the Dator Code, I shall forthwith comply with those provisions. MASNING: FAILURE TO SECURE HUPPERS! COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL FENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS SPOVIDED FOR IN SECTION 3706 OF THE LABOR COLE. CERTIFICATION OF CWNER/BUILDER DECLARATION I hereby affilm under penalty of perjuty that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon that above mentioned property for inspections.

#### POTICE:

- 1. Signs are regulated, See Planning Dept. for requirements
- 2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.



### TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT MECHANICAL PERMIT

Permit Number: M01-000194 Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF Status..: ISSUED Building Address: 117 EDELEN AV Applied: 06/27/2001 Owner..... BECK MARK J/BARBARA B TRUSTEE Approved: 07/03/2001 Address.....: 117 EDELEN AVE Issued..: 07/03/2001 City..... LOS GATOS CA Zip..... 95030 Expires.: 12/30/2001 Contractor....: JOHN BOUCH CONSTRUCTION License..... 499281 Address..... PO BOX 26499 City..... SAN JOSE, CA Zip..... 95159-0000 Business Lic.: 0113193 --Square Footage--Commercial: Remodel: New Residence: \*\*\*\*\*\* PERMIT FEES \*\*\*\*\*\*\*\* 25.00 Permit Issuance....: 3.00 Plan Check Fee ....: .00 New Residential....: .00 Remodel....: .00 Commercial....: 12.00 Detail Mechanical Fee: \*\*\*\*\*\* Total Calculated Fees: 40.00 .00 Total Additional Fees: 40.00 Total Fees Duc....: .00 Total Payments....: 40.00 BALANCE DUE..... LICENSED CONTRACTOR'S LECTARATION I hereby affirm under penalty of perjusy I am licensed under provisions of Chapter 9 of division 3 of the Business and From Signature X.

Signature X.

COMPLETE A. or B. W. FRER'S COMPENSATION DECLAPATION I hereby affirm under penalty of perjury I have and will maintain workers' corpensation insurance, as required by Section Significate of EMEMITION FOR WOMPER'S COMMENSATION INSURANCE a I certify that, in the performance of the work for which this permit is issued, ? shall not employ any person in any manner so as to become subject to the workers' concensation laws of California, and agree that, if I should become subject to the worker's congeneation provissing of Section 1703 of the lator Code, I shall forthwith comply with those provisions. MAINING: BATTURE TO SECURE WORKERS! CONTENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL FENALTIES AND CIVIL FINES UP TO \$100,000. IN ADDITION TO THE COST OF COMPENSATION, CAMADES AS PROVIDED FOR IN SECTION 3706 OF THE CASOR COLE. CERTIFICATION OF CWNER/BUILLER DECIAPATION I hereby affilm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State faws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections. MOTICE: All new mechanical equipment shall be acreened and the acreening abell match the building in terms of material and color. Moise levels from the equipment shall not exceed what is permitted by Section 16.20.025

of the Town of Los Gatos Code.

# TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT PLUMBING PERMIT

Permit Number: P01-000338	
Work Description: CONVERT NON-HABITABLE CELLAR TO HABITA	
Building Address: 117 EDBLEN AV Owner	Status.: ISSUBD Applied.: 06/27/2001 Approved: 07/03/2001 Issued: 07/03/2001 Expires.: 12/30/2001
Pomodel Commercia	1:
New Residence: Remodely	******
Permit Issuance: 25.0 Plan Check Fee	0 0 0 0
Total Calculated Fees: 70.0 Total Additional Fees: .0 Total Fees Due	0 0 0
LICENSED ANSIFACTOR'S DECLARATION  I hereby affilm under genalty of perjury that I am licensed under provisions of Chapter 9 of and professions code, and of license is a full force and effect.  Signature R  CMILETE A or B  W.F.F.C. COMPENSATION DECLARATION  A I hereby affirm under penalty of perjury I have and will maintain workers' compensation also of the Dator Code, for the performing of the work for which this permit is issued.  Signature X  CEPTIFIC TE C EXECUTION FROM MORRER'S COMPENSATION INSUPANCE  B I certify that, in the performance of the work for which this permit is issued, I shall so as to become subject to the vorkers' compensation laws of California, and agree that, if worker's coopensation provations of Section 3700 of the Labor Code, I shall forthwith comply	insurance, as required by Section  not employ any person in any manner  I should become subject to the
Signature X  MARNINI: FAYURE TO SECURE WORKERS' COMMENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT A  CIVIL FINES UP TO \$100,000, IN ALDITION TO THE COST OF COMMENSATION, CAMAGES AS IPOVICED BY  CERTIFICATION OF OWNER/BUILDER DECLAPATION  1 hereby affirm under penalty of perjury that 1, as owner of the property, have read this information form attached is correct. I agree to comply with all Town ordinances and state  construction, and hereby authorize representatives of this Town to enter upon the above ments  Signature X	ON EMPLOYER TO CRIMINAL FEMALTIES AND OR IN SECTION 3706 OF THE LABOR COCE.  Application and the owner/builder of taws relating to building

DISPECTION REQUESTS \* PHONE 35 (-8877 (VOICE MAL)

LIGE MAIN ST., LOS GATOS, CA 95032

APPLICATION FOR BUILDING PERMIT

THE PROPERTY OF THE PROPERTY O	54 6881 FAX 354-1593		
COMMUNITY DEVELOPMENT SERVICES - BUILDING DIVISION - * PHONE S BUILDING ADDRESS	***	For Official Use	Only
117 Edelen Av., L.G.	19 June 01	B01- <u>රට3</u>	And the second s
SE OF EXISTED BUILDING (Passers4) Conviers 8 ASING Paking	a building on Sever or Septic?	B01	
Studios  Stu		E01- <u>34φ</u>	
Townse to the state of the stat	PHONE (Required)	M01- 338 19	<u> </u>
Robert Grenum		P01- <u>\$38</u>	
:DORES		Plans	Energy Calcs
GTY		Sol R.	Struc Calics
E. Eary Schloh	3544551	Req. H	old Approved
100 ESS 219 Beau AV.		SK [6807]	
	950%	(5720) SAND (6873)	
	PHONE PROPERTY	SDAV-(6076)	
SONTRACTOR		JOEL [6875]	1/6/2/01
:COFESS	MUST SHOW CURRENT WORKER'S COMP	TRIS [6860] SL (5702)	
>IA	ζė		
AL PRINCIPAL COLUMN TO THE PRI	DATE	Schools:	
STATELICENSE CONTRACTORS EN SAFOT	<b>₽</b> ~~• <b>u</b>	Fire:	
SQUAPE FOOTAGE	AND ASSESSMENT OF PERSONS ASSESSMENT ASSESSMENT ASSESSMENT OF PERSONS ASSESSMENT ASSESSM	WVSD:	
REVOOEL NEWITOOTON	OTHERS I RE-ROOF	Health/Septic:	
'stFoor		Hazardous Material Clearance:	
reftor	(Pool Pord/Oeck, e'c)	SAME IN COLUMN TO SERVICE STATE OF THE PERSON SERVICE STATE SERVICE STAT	
TASE 330 FLOCA 355	inano no notifi Maria de Maria	Comments:	_
Wioters.	TOTAL	Confinents.	
SARCE	············	t die senten verseen die Versee also dat Americaniste tij die gewate is deze promi die jaar gebreek vers	
CONCRETE PATIOFORCES	NO OF ALAD	a della company distribution and a second last existing property of the company o	
10 or 2 500 5227	MAD LANGE ONE	many and an interface of the second control	annual di diri din di statione di mandale di serie di serie di
50902020 ESTANTE VALUATION		- 1044	
STROCK IMPHORE Unfinished	d living into	Historio or Pre • 1941 Plan Check Fee:	
finished living (in cellar	<u>^)</u>	Building Approved:	
		· L	and the second s
The second secon		Fire Sprinkler System	AND THE STREET STREET STREET STREET
		Contacted Architect (Deficie	
( enconserver	PIONE .	Contacted Owner / Contract	oron: referedo
LOOPESS		Application Processed By	
	ΣΨ	Wholington Lionsages of	
fu.			Revised: 02/21/2

Page 197

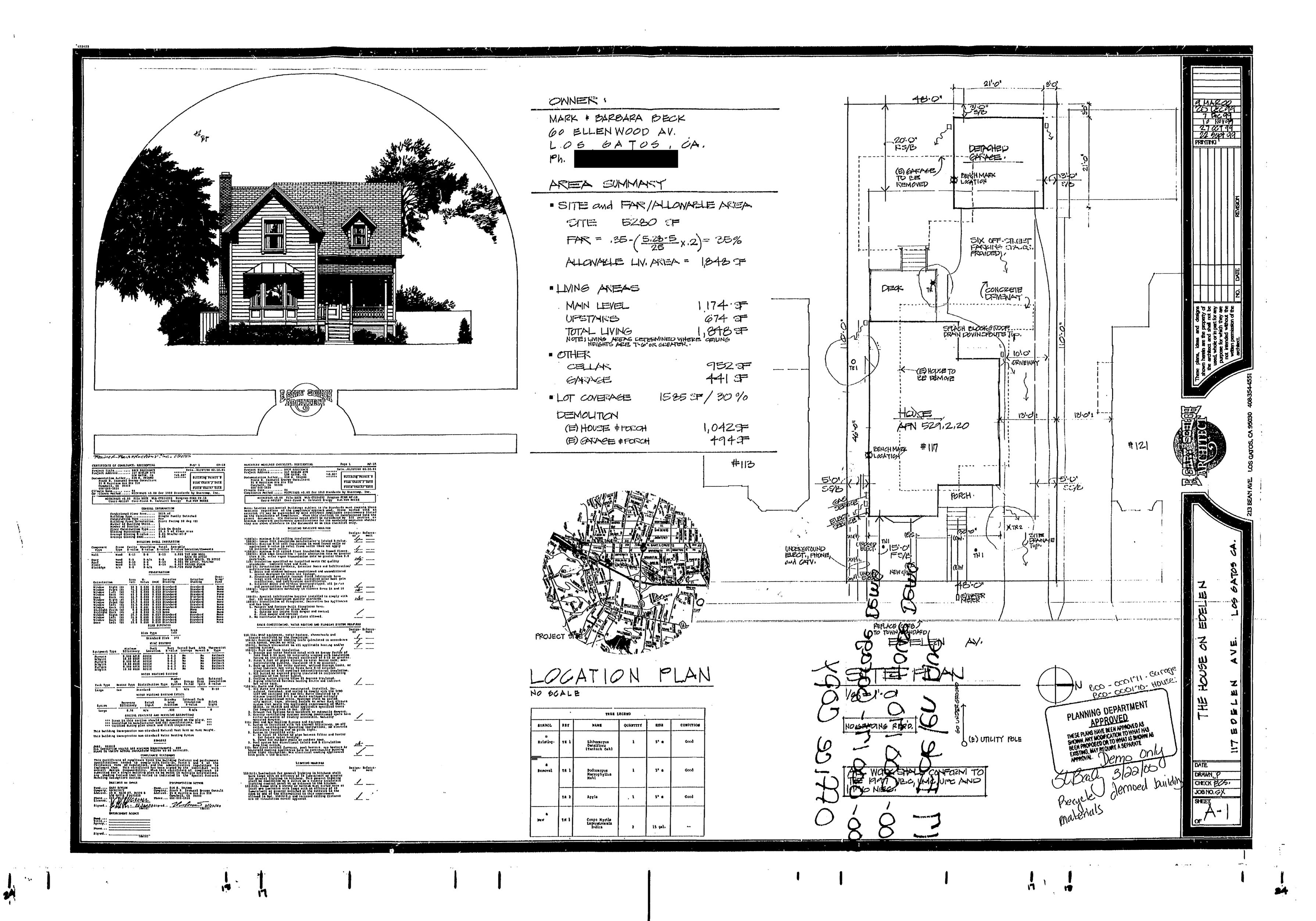
de:Aforma\bidgepp.xda

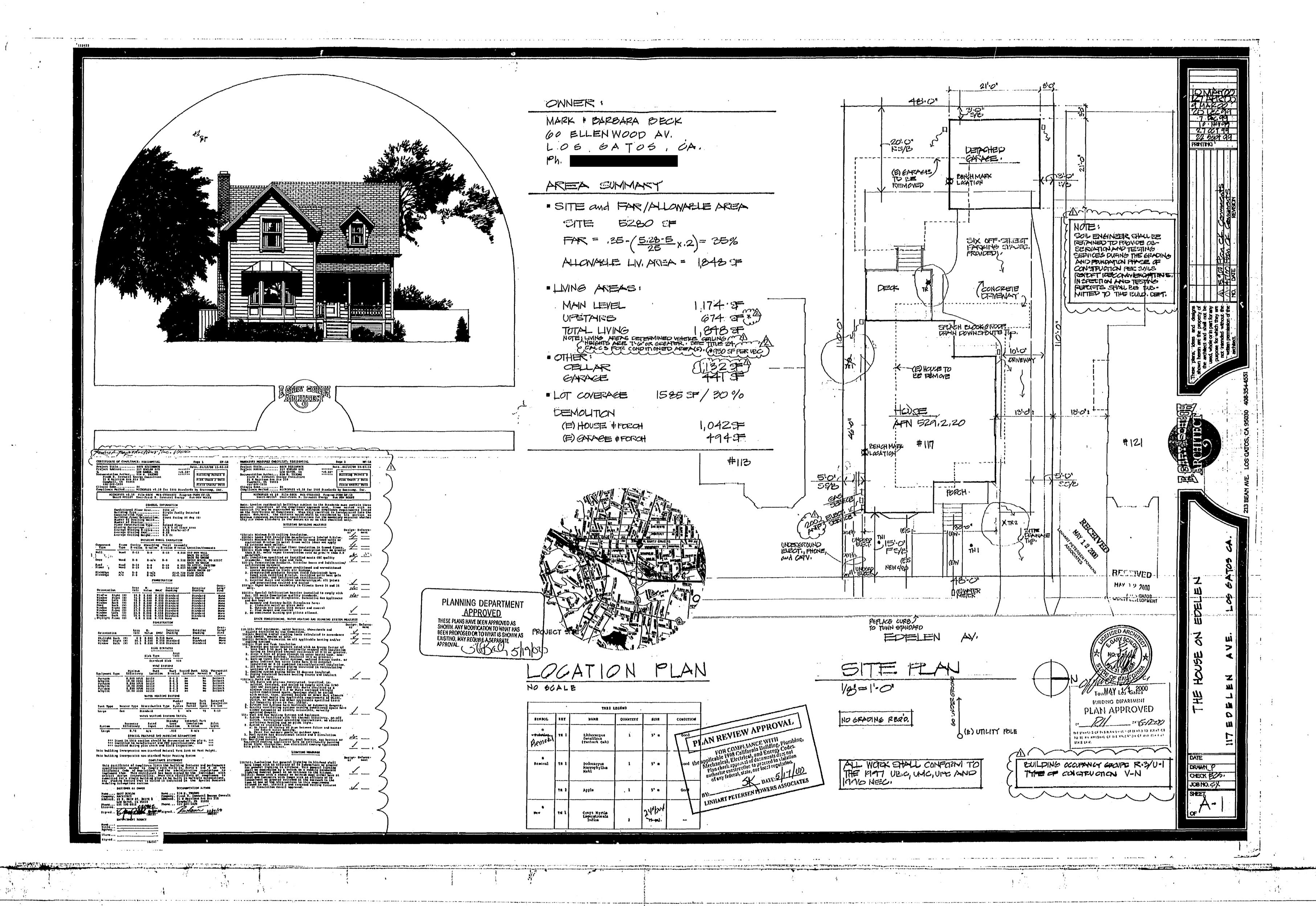
19 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	y. ( ) )		\		16			•	i de la companya de l	
OWN OF LOWG DEPARTMENT PHONE ISPECTION REQUESTS PHONE	334 500	, ,,,,,,				T.		E01-		Historic - Pre-194
ISPECTION RECRESTS FITOUR	ma o	_	AMOUNT .	\$	me	BUILDIN	JADURESS CACIO	EN AV		
UNI FIE		╁	125 EA					4/1) .	Commen	cal Buildings Parting Struct
/TOCOR UGHTS	10	;†-	12564			L		CondolApertmental	Landred	Garage or Detached Garag
DOOR LIGHTS	1/2		125 EA			Single-f	ATY OWNER	Townhome	PHON	E (REQUIRED)
WTOKES	-17		125EA			FROFE	GRANUI	M		
ECEPTACLES, OUTLETS		<b>-</b>  -					DURESS			
resountal: Over cooktop, Aul ar cond, space heater, asposer definier rater reater washerd wach, crothe dryers, other skul appliance		/	\$ 00 EA			- Crit	117 8081		VE	75030
ICHOR LESS COMMERCUL: MEDICAL & DENTAL CEVICES, FOOD & BCYER-GE CAE LLUMATED SHOW CAESS, GARN FOUNTAINS, VENOND MACH, LAM MACH, OTHER EMILL AFPLIANCE	HETA.		600 EX	ļ		CON	LOS GO. TOHN BOU	och Co		E
OR LESS LARGE APPLIANCES, POWER AFF. HEATING & ARCONO COUP, COOKING & BULING EOIL OTHER LARGE APPLIANCES & APPARATUS UP TO 10 KM	ARATUS		801 EA	<u> </u> 			PO BOX	26499	?	7.0
XER 10 KW			15 00 EA	┪┈╴		१८न	SAN JO.	SE C	1	95126
DIER SO KW			45 00 EA	-			34030			WCH2 TRUM
CHER 100 KM							ENSE 499	281	<del>, -</del>	WORKER'S
BUSYLAY (FER 100 FEET)			30 EA				DE 10/3/	12002	OF WALLEY	CONTRACTOR OF THE PERSON OF TH
3613			30 00 EA			N	OTICE:			NINA DEPT.
SERVICE EGOP , NOT OVER 20	O AMF3	├	500EA	_			1, SIGNS ARE			
SERVE : EQUIP . 201 (0 999 A	WF S	}	75 00 EA				2. OUTDOOR I	LIGHTS ARE RE APERTIES, SHOP	ESTRING	D AGAINST SHINING LIGHTING NOT PE
CERTICE EQUIP OVER 1000 A	MP \$	<del> </del> -	11 00 EA				Olkenano		20141 19	NECESSARY FOR
SUBSTANCE CONCUTS	SPIKKT	╂	15 00 EA				3. WRITTEN L	ETTER OF APP	WOAVE #	NECESSARY FOR
COLOUCTOA'S			30 00 EA		and the same of th		EQUIPMEN	IT AND LIGHTS	ADONE OD 1910E	OF LIVING AREAV
TEMPCALAT POWER POLE		-}	15 00 EA		THE PERSON NAMED AND ADDRESS OF		HONEOW	HER'S ASSOCU	11/0/113	
ENSOLVE FIGHTING SAST	<u>EVI</u>		30 00 84		***************************************					
SWAND BOOK EASTER				~ <del>-</del> †						
ENCONST			SUBJOT	A	al months him at almost	_	DESCRIPTION OF WO	RK:		
F PLANS AFE PEVENED, A	COFUNC	ECKF	EE 25%							
							4			
	***************************************				ļ		1			
							-1			
				··· ·· · · · · · · · · · · · · · · · ·	<b></b>		-{			
The state of the s					-		-			
and the state of t	, <u></u>		\$25	60	<b></b>					
SSUANCE OF PERIMIT					İ		_1			

NSPECTION REQUESTS PHONE 354 6	<b>477</b>		PAPPLICA	TION	FOR MECHANICAL PERMIT	M01-	
VAT/FE	HO OF	AMQUAT	1_1	<u></u>	BUTONG ADDRESS	ارار	Historic - Pre-1941
INSTALLATION, REPAIR OR ALTERATION			1		117 EDELEN	FIV.	
of Heating Unit, AC, Boler Compressor or AR Hundler		20 00 EA.			31	RES	Commercal Building/ Parking Structure
OUCT OUTLET OR REGISTER	2	300 EA.	ļ	_ļ	Single family Condo'Apartments' Townhome Residence X PROPERTY OWNER		Utached Garage or Delastied Garage
FREPLACE		1200 EA.		_ _		i	PHONE (REQUIRED)
ENTRATING FAN	1_	600 EA	<u> </u>	- -	CIRANUM		
1000, residentive		15 00 EA		_		Λ.,	
1000, COMVERCIAL		25 00 EA		_	11/ EDECED /	70	1.0
FLUE, VENT		800 EA		_ _	OIY		0000
EVAPORATIVE COOLER		12 00 EA.		_	CONTRACTOR		73030
SOLAR COLLECTOR		22 00 SYSTEM			117 EDELEN 1 city  LOS GATOS CONTRACTOR  JOHN BOUCH	<i>(</i> 1)	TIONE
OTHER WECHANICAL APPLIANCE		1500 EA					
AS		10 00 SYSTEM		_	PO BOY 2	1110	0
EN CONST.	50 FT.	X \$3 04 a		_ _	1-0 BOY X	644	7
-		SUSTOTAL			SAN JOSE STATE LICENSE 490281	,	2012/
F PLANS ARE PEWENED, ADD PLAN CHE	CKFEE	25%			JAN JOSE		15/16
							moor chorr connec
					EXP.RE DATE 10/3/1200	2	WORKER'S COMP
					,		
					NOTICE: All mechanical equ	uipment	shall bo screened
					and the screening shall match	n the bui	lding in terms of
			<u> </u>		material and color. Noise leve	els from	the equipment shall
SSUANCE OF PERMIT		\$25.00			not exceed what is permitted	by Secti	on 16.20.025 of
					the Town Code.		
TOTAL FEES					NOTICE: When installing a ne	ew A/C u	nit or repairing
anglesperier spillelegier. <sub>M</sub> an gegenspersperspersperspersperspersperspersper					electrical, an electrical permit	may als	o be required.
DESCRIPTION OF WORK	:						
					·		
					1		
						÷	
•							

WHILE COST AND THE	Historic - Pre-194
ARTERIOSETTICLE)  7 700 EA  AITHTUR HOTTUR  7 700 EA  AITHTUR HOTTUR  7 700 EA  ANATORY (RATIROCOUS AND)  7 100 EA  ANATORY (RATIROCOUS AN	
AND TO SE STATE OF THE STATE OF	
PROPERTY OWNER PHONE ANATORY (BATHROOM SING)  ANATORY (BATHROOM SING)	
AVATORY (BATHROOM SANO)  ANY  ANY  ANY  ANY  ANY  ANY  ANY  AN	(OEOHREON
ASPENDENCE   100 EA   170 EA	(NEQUINEO)
100EA	
CONTRACTOR PHONE OUNTAIN TO EA  WARLADGRESS  TO HAN BOUCH CONST  WARLADGRESS  TO BOX 26499  ANTER HEATER (MATER SOFTINER 15 WEA  AND STRATER 10 WAS SYSTEM 10 WAS SYSTEM 10 WAS SYSTEM AND STRATER 10 WEA  WALLADGRESS  TO BOX 26499  CITY  STATE UNITS  STATE UNITS  WALLADGRESS  P() BOX 26499  CITY  STATE UNITS  WALLADGRESS  TO BOX 26499  MU  STATE UNITS  WALLADGRESS  TO BOX 2649  MU  STATE UNITS  WALLADGRESS  TO BOX 26	
CONTRACTOR PHONE OUNTAIN TO EA  WARLADGRESS  TO HAN BOUCH CONST  WARLADGRESS  TO BOX 26499  ANTER HEATER (MATER SOFTINER 15 WEA  AND STRATER 10 WAS SYSTEM 10 WAS SYSTEM 10 WAS SYSTEM AND STRATER 10 WEA  WALLADGRESS  TO BOX 26499  CITY  STATE UNITS  STATE UNITS  WALLADGRESS  P() BOX 26499  CITY  STATE UNITS  WALLADGRESS  TO BOX 26499  MU  STATE UNITS  WALLADGRESS  TO BOX 2649  MU  STATE UNITS  WALLADGRESS  TO BOX 26	3.0
CONTRACTOR PHONE OUNTAIN TO EA  WARLADGRESS  TO HAN BOUCH CONST  WARLADGRESS  TO BOX 26499  ANTER HEATER (MATER SOFTINER 15 WEA  AND STRATER 10 WAS SYSTEM 10 WAS SYSTEM 10 WAS SYSTEM AND STRATER 10 WEA  WALLADGRESS  TO BOX 26499  CITY  STATE UNITS  STATE UNITS  WALLADGRESS  P() BOX 26499  CITY  STATE UNITS  WALLADGRESS  TO BOX 26499  MU  STATE UNITS  WALLADGRESS  TO BOX 2649  MU  STATE UNITS  WALLADGRESS  TO BOX 26	۲ <u>۸</u>
OUNTAIN  JOHN BOUCH CONST  WAR ADDRESS  WAR ADDRESS  PO BOX 26499  SERVES TRAP  JEWEA	.50
MANNATER SYSTEM  TOO EA  JOHN JOUCH CONST  WALADORESS  PO BOX 26499  CITY  SALESE TRAP  1200 EA  JOHN JOS # 9512  ANTER HEATER I WATER SOFTINER  1200 EA  JOHN JOS # 9512  SALESE TRAP  1200 EA  JOHN JOS # 9512  ANTER STATE  LICENSE  LICEN	
NOUSE SEMEROTHER PLUMS DEVICE 1 15 CO EA PO BOX 26499  NATER HEATER WATER SOFTINER 15 CO EA PO BOX 26499  SEEASE TRAP 12 CO EA STATE 4 10 00 SYSTEM STATE 4 10 00 SYSTEM CITY STATE 4 10 00 SYSTEM CITY STATE 4 10 00 SYSTEM CITY STATE 4 10 00 SYSTEM CITY STATE 4 10 00 SYSTEM CITY STATE 4 10 00 EA CO EA	
AMTERHEATER/MATER SOFTNER  SERASE TRAP  1200 EA  STATE  LICENSE  1000 SYSTEM  AMN SFRINGER  AMN SFRINGER  1000 EA  AMN SFRINGER  1000 EA  ACCUMULABREADER/HOSE BB3  PRIVATE SAMMAND FOOL  SERVER CLEANOUT  PRIVATE SEA ACCE DISPOSAL SYSTEM  LICENSE  1000 EA  LICENSE  10/31/2002/  DESCRIPTION OF WORK  DESCRIPTION OF WORK  ACCUMULABREADER/HOSE BB3  PRIVATE SEA ACCE DISPOSAL SYSTEM  LISPING ABATEMENT  25 00 EA  LICEN COUST  SUBTOTAL  SUBTOTAL	
12 00 EA   12 00 EA   10 00 SYSTEM   STATE   10 00 SYSTEM   STATE   10 00 SYSTEM   STATE   10 00 SYSTEM   STATE   10 00 EA   10 00	
AAN SERVICES  AAN SERVICES  VATER SYSTEM  10 00 6A  VATER SYSTEM  10 00 6A  VATER SYSTEM  10 00 6A  CATE  10 / 31 / 20 00 2  CATE  10 / 31 / 20 00	Į₽ 
AAN SERNALER  AAN SERNALER  VATER STSTEM  1000 EA  CALLULUS BREADERTHOSE B BB  200 EA  PACHELON DEVICE  800 EA  PRIVATE SAMMAND POOL  SERNE CLEANOUT  800 EA  PRIVATE SERACE DISPOSAL SYSTEM  4500 EA  PERCENTUL MATER FEPPHO  4500 EA  PERCENTUL MATER FEPPHO  50 FT X 500 EA  SUBTOTAL	26
NATER SYSTEM  1000EA  200EA  2	IST SHOW CURRI
ZACIUM BREAFERHOSE B BB 200 EA DESCRIPTION OF WORK  PACIFICAM DEVICE B 000 EA DESCRIPTION OF WORK  PACIFICAM DEVICE B 000 EA DESCRIPTION OF WORK  PRIVATE SAMMAND POOL 4000 EA DESCRIPTION OF WORK  SEA ER CLEANOUT 800 EA DESCRIPTION OF WORK  PRIVATE SEA AGE DISPOSAL SYSTEM 4500 EA DESCRIPTION OF WORK AND AGE DISPOSAL SYSTEM AT DESCRIPTION OF WORK AND AGE DISPOSAL SYSTEM AT DESCRIPTION OF WORK AND A	WORKER'S CO
DESCRIPTION OF WORK  PACHELOW DEVICE  400 EA  PRIVATE SWAMMING POOL  56 MER CLEANOUT  600 EA  PRIVATE SEMAGE DISPOSAL SYSTEM  45 00 EA  CEPTIC ABATEMENT  25 00 EA  LEW CONST.  50 FT X 50 65 *  SUBTOTAL	
SEAER CLEANOUT 800 EA  SEAER CLEANOUT 800 EA  PRIVATE SEAASE DISPOSAL SYSTEM 4500 EA  CEPTIC ABATEMENT 2500 EA  LES CENTUL MATER FEPPING 4500 EA  LEW CONST. 50 FT X 50 65 *  SUBTOTAL	
SEMER CLEANOUT 800 EA  PRIVATE SEMAGE DISPOSAL SYSTEM 4500 EA  CEPTIC ABATEMENT 2500 EA  PES CENTUL MATERFEPPRO 4500 EA  LEW COUST 50 FT X 500 6 **  SUBTOTAL	
PRIVATE SERVACE DISPOSAL SYSTEM 45 00 EA  SEPTIC ABATEMENT 25 00 EA  PES CENTUL MATER FERRING 45 00 EA  MEN CONST 50 FT X \$0 06 *  SUBTOTAL	
CEPTIC ABATEMENT 25 00 EA  LES CENTUL MATER FERRING 45 00 EA  LEW CONST 50 FT X 50 05 ±  SUBTOTAL	
LEW CONST SO FT X 50 05 0 SUBTOTAL	
SUBTOTAL	
SUBTOTAL	
F MANS APE PENE NEO ADO PLAN CHECK FEE 25%	
	•
The state of the s	
SSUANCE CF FEEMIT \$25.00	
TOTAL FEES	

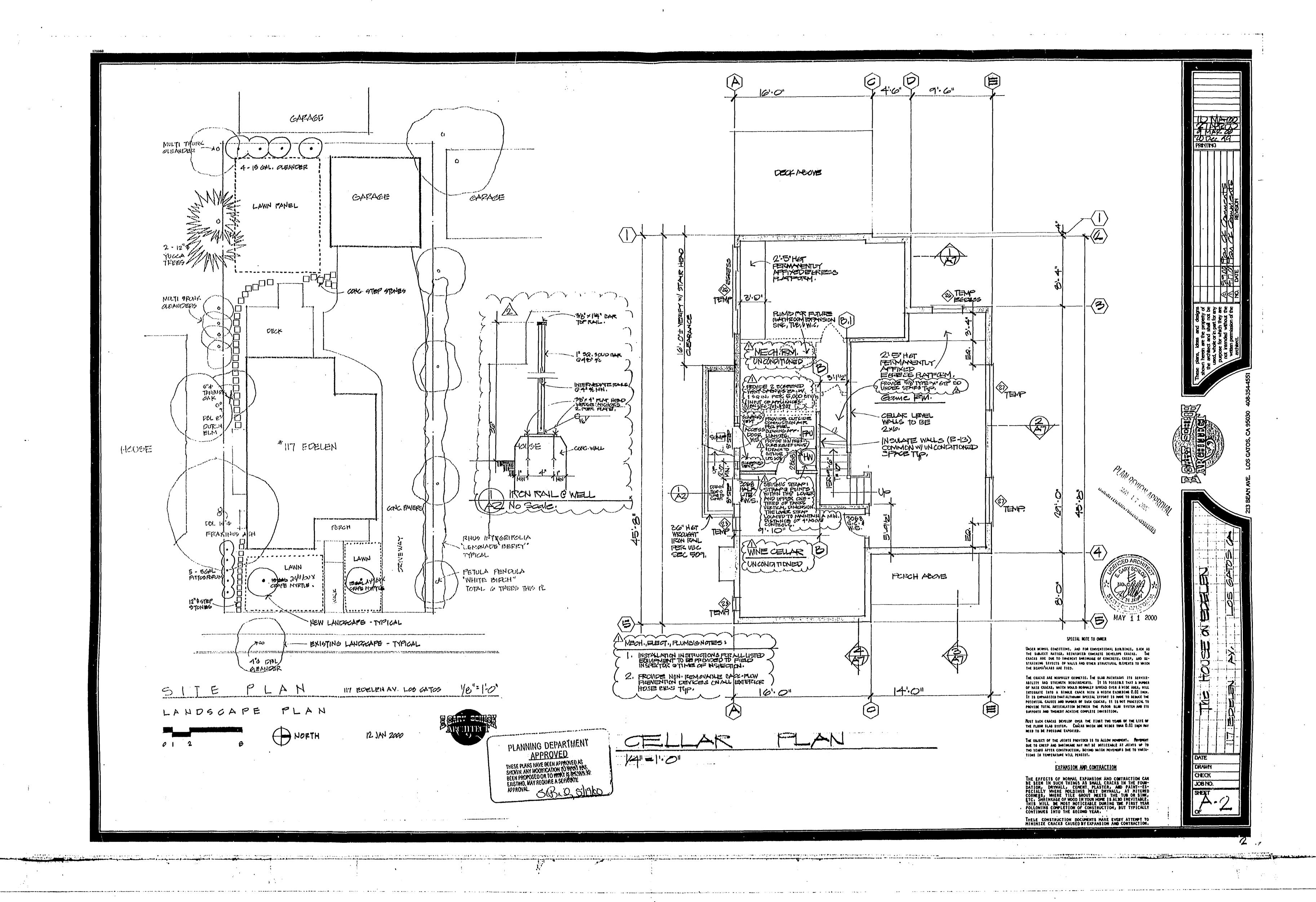
Particular description of the behavior of the WARE & PARKATON PERMAN A.A. 17 A.M. MER 17 位 3000 when we will the Arms and I 1000 100 13 A 1 White September 1 MARTINE MARCHANT AND BARRES . N. CHINEL - W. M. M. 18-16 P. TANK SAME 4711 and William Indian FROM THE RESIDENCE OF THE PARTY 141175 # 1. 1. N. V. 1. 18 18 18 18 STRUCKO > Comment of the CONTRACTOR OF THE E NAME OF THE 14条件。2002年1 MIN BEREZIEC 1,042.15 Control of the Control of the Control "美国人的人"的"大型"。 11 Tit de Suddingsusse Man des 200 NO SOALE



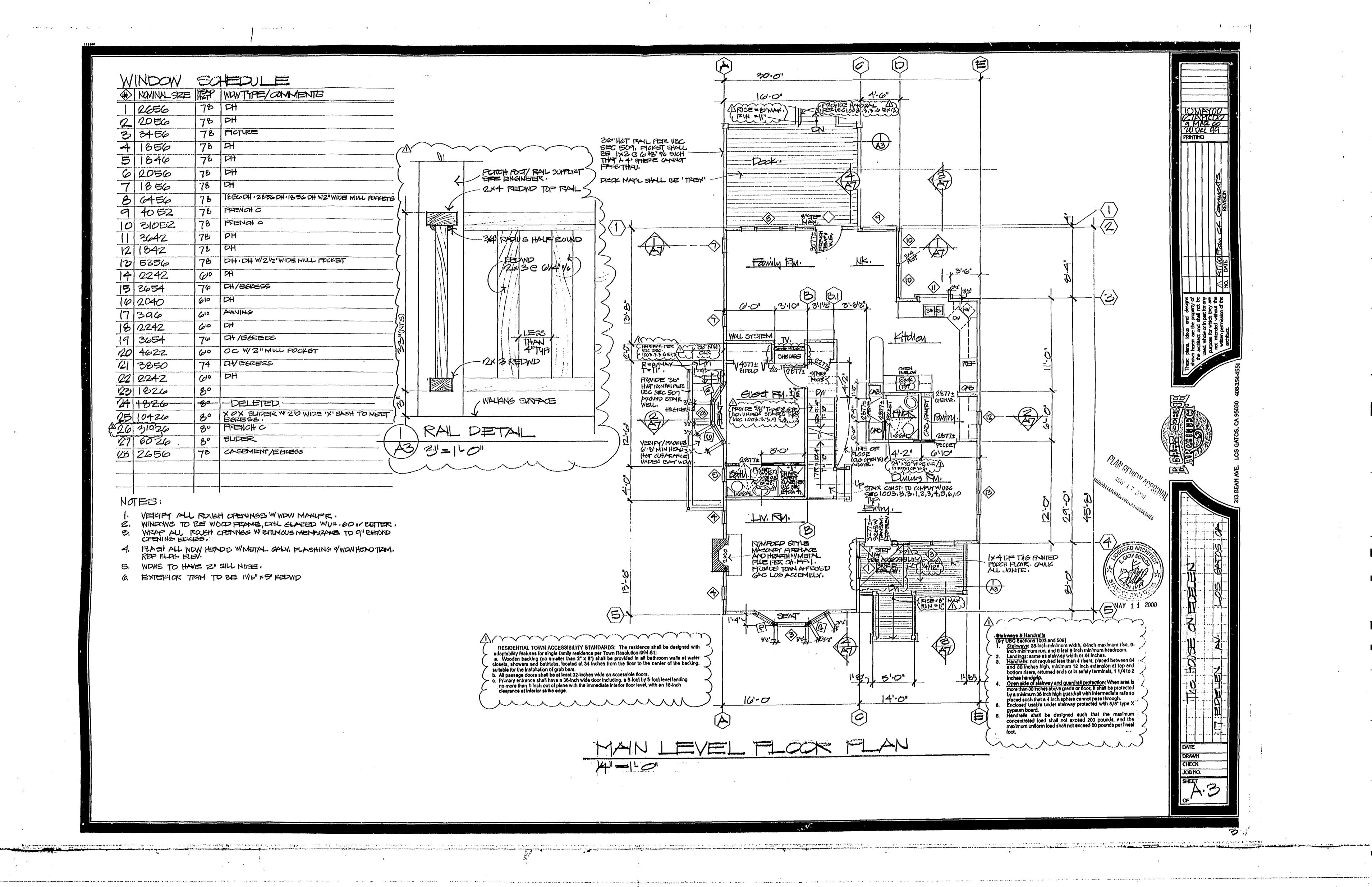


The state of the s

از کے



The contract of the contract o



PLANNING COMMISSION MEETING OF JANUARY 12, 2000

#### CONDITIONS OF APPROVAL FOR:

APPLICANT: E. Gary Schioh

#### 117 Edelen Avenue Architecture and Site Application 8-99-19

Requesting approval to demolish a contributor to the historic district and to construct a new two story single family residence and a detached garage within the required setbacks on property located In the R-1D:LHP zone. PROPERTY OWNER: Mark and Barbara Beck

### TO THE SATISFACTION OF THE PLANNING DIRECTOR:

#### (Planning Section)

- EXPIRATION OF APPROVAL. The Architecture and Site approval for the building will expire two years from the date of approval unless the approval is used before expiration (January 12, 2002). Section 29.20.335 defines what constitutes the use of an approval granted under the Zoning
- 2. COVER SHEET NOTES. The conditions of approval shall be printed on the cover sheet of the final plans submitted for building permit approval.

### TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

### (Public Works Section)

- 3. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
- ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Fermit. All work over \$5,000 will require construction security.
- PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting an work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection ow work that went on without inspection.
- UTILITIES. The developer shall install ail utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). Cable television capability shall be provided to all new nomes.
- RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing Improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing Improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- DRIVEWAY APPROACH. The developer shall install one (1) Town standard residential driveway approach(es). The new driveway approach shall be constructed per Town Standard Detail. SANITARY SEWER LATERAL. Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary

sewer lateral clean-out at the property line.

- PERMITS REQUIRED: A building permit application shall be required for the proposed structure. Separate electrical/mechanical/plumbing permits shall be required as necessary.

  CONSTRUCTION PLANS: The Conditions of Approval shall be stated in full on the cover sheet
- of construction plan submitted for building permit. SIZE OF PLANS: The maximum size of construction plans submitted for building permits shall
- SOILS REPORT: Two copies of a soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the Building Permit application. This report shall be prepared by a licensed civil engineer specializing in soils mechanics.
- FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items: a. pad elevation b. finish floor elevation
- c. foundation corner locations RESIDENTIAL TOWN ACCESSIBILITY STANDARDS: The residence shall be designed with adaptability features for single-family residence per Town Resolution 1994-61: a. Wooden backing (no smaller than 2" x 8") shall be provided in all bathroom walls at water closets, showers and bathlubs, located at 34 inches from the floor to the center of the backing, suitable for the installation of grab bars.
- b. All passage doors shall be at least 32-inches wide on accessible floors. c. Primary entrance shall have a 36-inch wide door including, a 5-foot by 5-foot level landing no more than 1-inch out of plane with the immediate interior floor level, with an 18-inch clearance at interior strike edge.
- d. Door buzzer, bell or chime shall be "hard" wired. TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms CF-1R and MF-
- 1R shall be blue-lined on the construction plans. PLANS: The construction plans for this project shall be prepared under direct supervision of a
- licensed architect or engineer. (Business and Professionals Code Section 5538)

  TOWN FIREPLACE STANDARDS: New fireplaces shall be EPA Phase II approved appliances per the Town Ordinance 1905. Tree limbs shall be cut within 10 feet of chimneys.
- DEMOLITION PERMIT REQUIREMENTS: Contact Bay Area Quality Management District (495-771-6000) and complete their process as necessary before obtaining a demolition permit from the Town Building Department. No demolition work shall be done without first obtaining a demolition permit for the town.
- SPECIAL INSPECTIONS: When a special inspection is required by UBC Section 1707, the architect or engineer of record shall prepare an Inspection program that shall be submitted to the Building Department for approval prior to issuance of the building permit, in accordance with UBC Section 106.3.5. Please obtain a Town Special Inspection form from the Building Department Service counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.

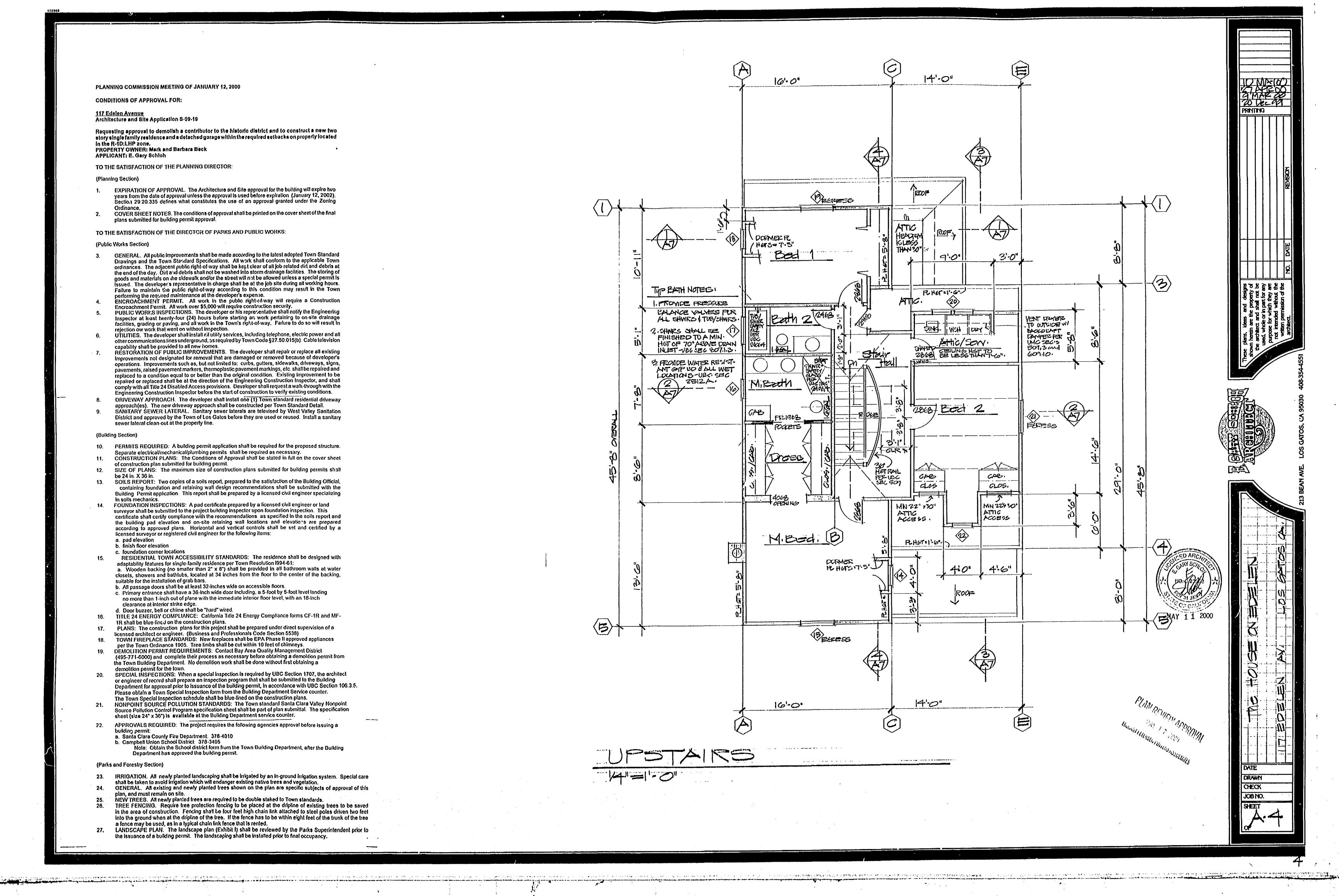
NONPOINT SOURCE POLLUTION STANDARDS: The Town standard Santa Clara Valley Nonpoint

- Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" x 36") is available at the Building Department service counter.
- APPROVALS REQUIRED: The project requires the following agencies approval before issuing a
- a. Santa Clara County Fire Department: 378-4010

#### b. Campbell Union School District: 378-3405 Note: Obtain the School district form from the Town Building Department, after the Building Department has approved the building permit.

- IRRIGATION. All newly planted landscaping shall be irrigated by an in-ground irrigation system. Special care shall be taken to avoid irrigation which will endanger existing native trees and vegetation.
- GENERAL. All existing and newly planted trees shown on the plan are specific subjects of approval of this plan, and must remain on site.
- NEW 'TREES. All newly planted trees are required to be double staked to Town standards.
- TREE FENCING. Require tree protection fencing to be placed at the dripline of existing trees to be saved in the area of construction. Fencing shall be four feet high chain link attached to steel poles driven two feet Into the ground when at the dripline of the tree. If the fence has to be within eight feet of the trunk of the tree
- LANDSCAPE PLAN. The landscape plan (Exhibit I) shall be reviewed by the Parks Superintendent prior to the Issuance of a building permit. The landscaping shall be installed prior to final occupancy.

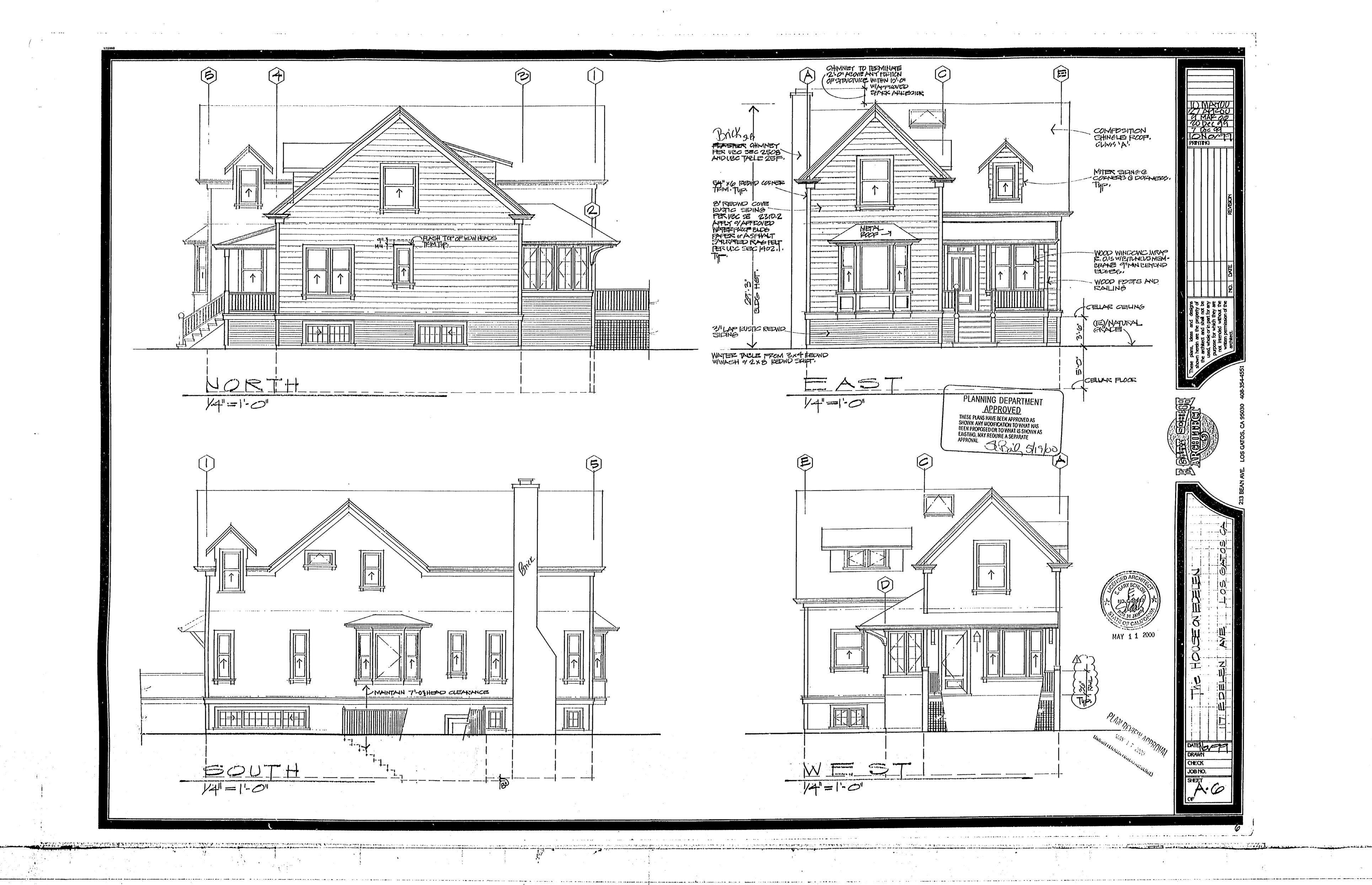
A CONTRACTOR OF THE STATE OF TH



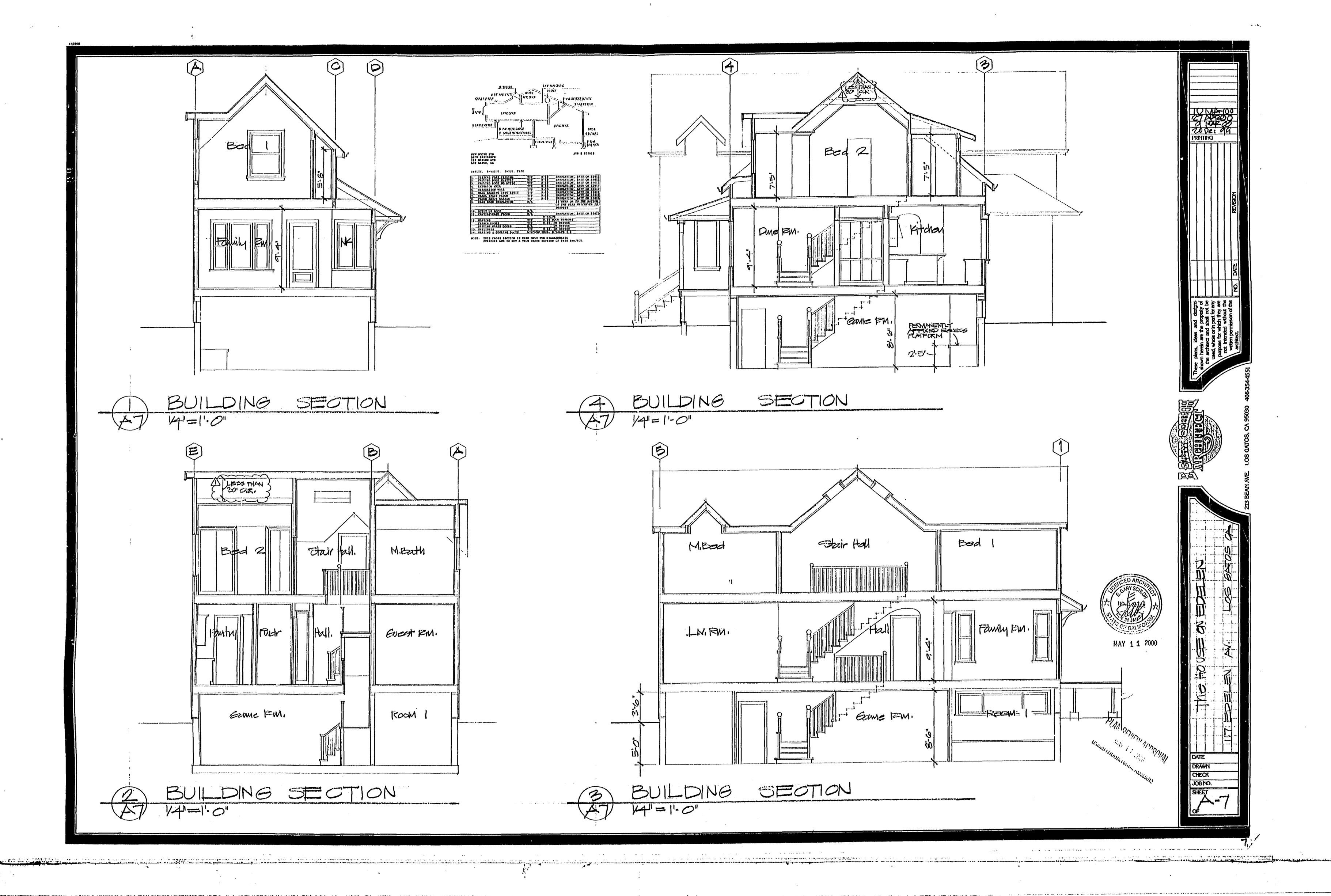
The state of the s

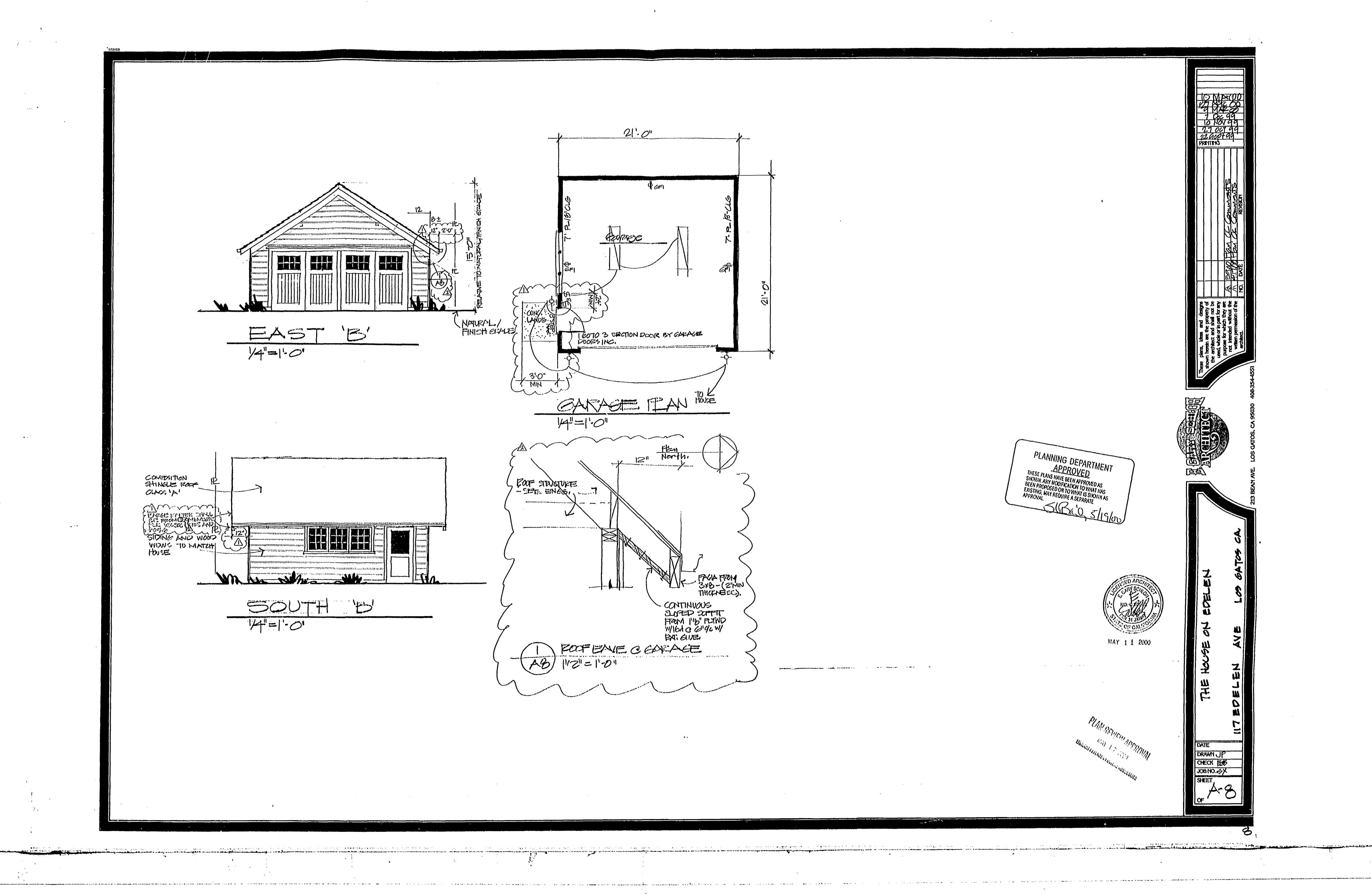
CHARANCE WCASEMENT WINDOWS SHEET AS, VENT CONTINUOUS IXB FACIATIPI----- .. -. ... DORMERAL HU-7:5" HAT DETLINED WHENE OCCURE PLH61-6" YALLEY SYEWED PLHGT: 7:6" PICGE VENTING PLAN CONTINUOUS QUARTER FROM PROMICES CONTINUOUS CIROWN FROM 2x6 119/2 SYEWED RIDE ROOF EAVE DIL SLOPE BREAKIN CSLOPED OLGS: SKEWED RIDGES SKYUTE 2040 STEWED VALLEYS SKEWED LX SOLID SOFFIT COVARD CONTINUE QUAPTER ROAD FILLER TRIM FROM EASE (FTL VA-4) UP GASLE The state of the s < 12/12 2 x GABLE BOARD. CONTINUATION OF CROWN FROM EAVE (DTL 1/A-4). RIDGE DOPMER PL HGT=7:5" 4 P. HG: 1:6" 5446 MITERED CONNER TRM. BUTT/TELMINATE CIDING TO TRM. ELEV./ **(5)** HAILERS RIPTED FROM 2×8/5. MAY 1 1 2000 CONTINUATION OF C FLAN ROOF 14.1-11-011 CHECK API EPODITY FILES

the second secon



A SHAROWS CONTROL OF THE STATE





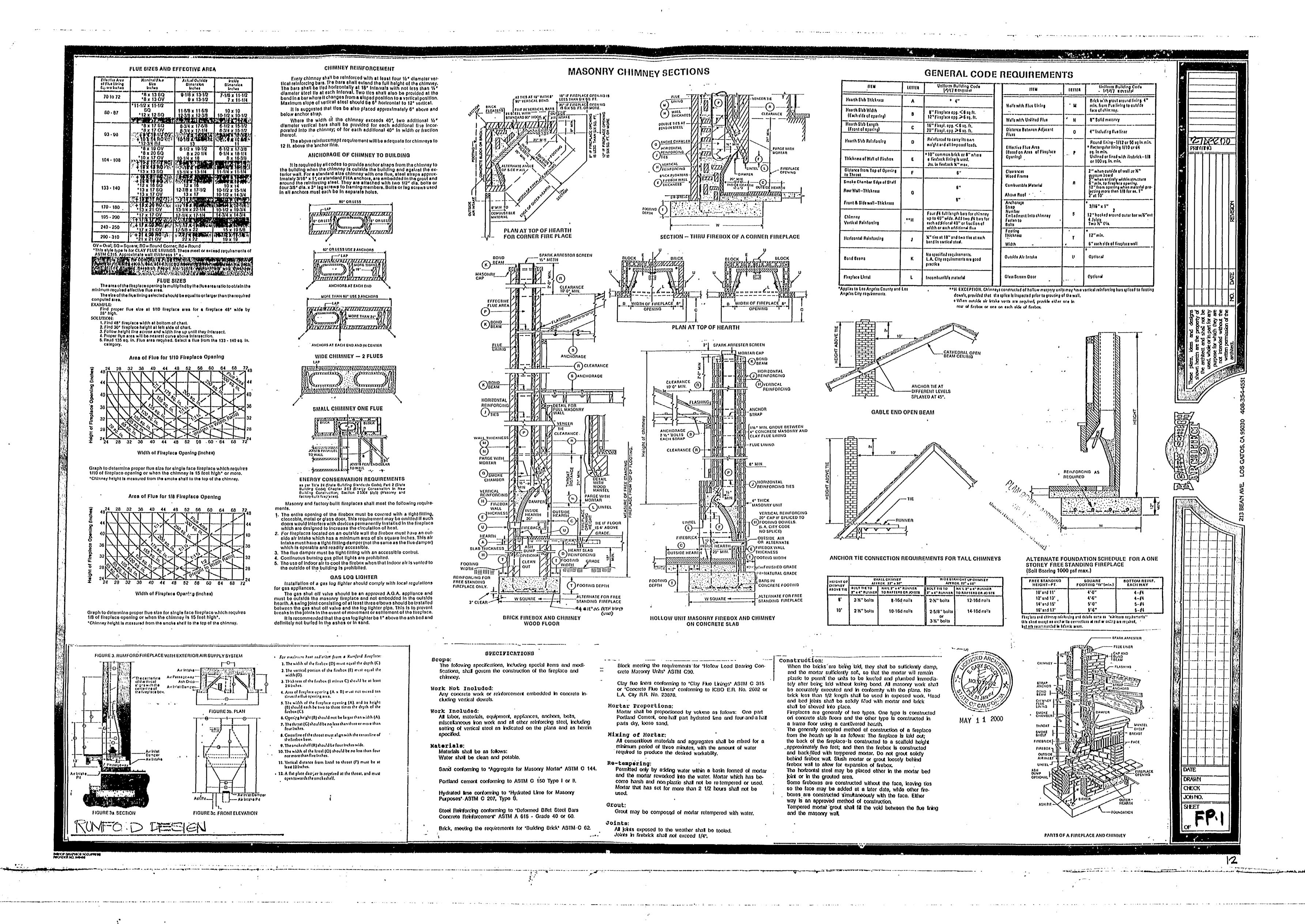
CECKIPENYE 2'-5"HET
FERMINENTY
AFFIXEDEERESS
H-AFFORM. 26"HOT. MEDIAN M 41.10" PORCH ABOVE 14:00 16'.0" AK ELECTION 

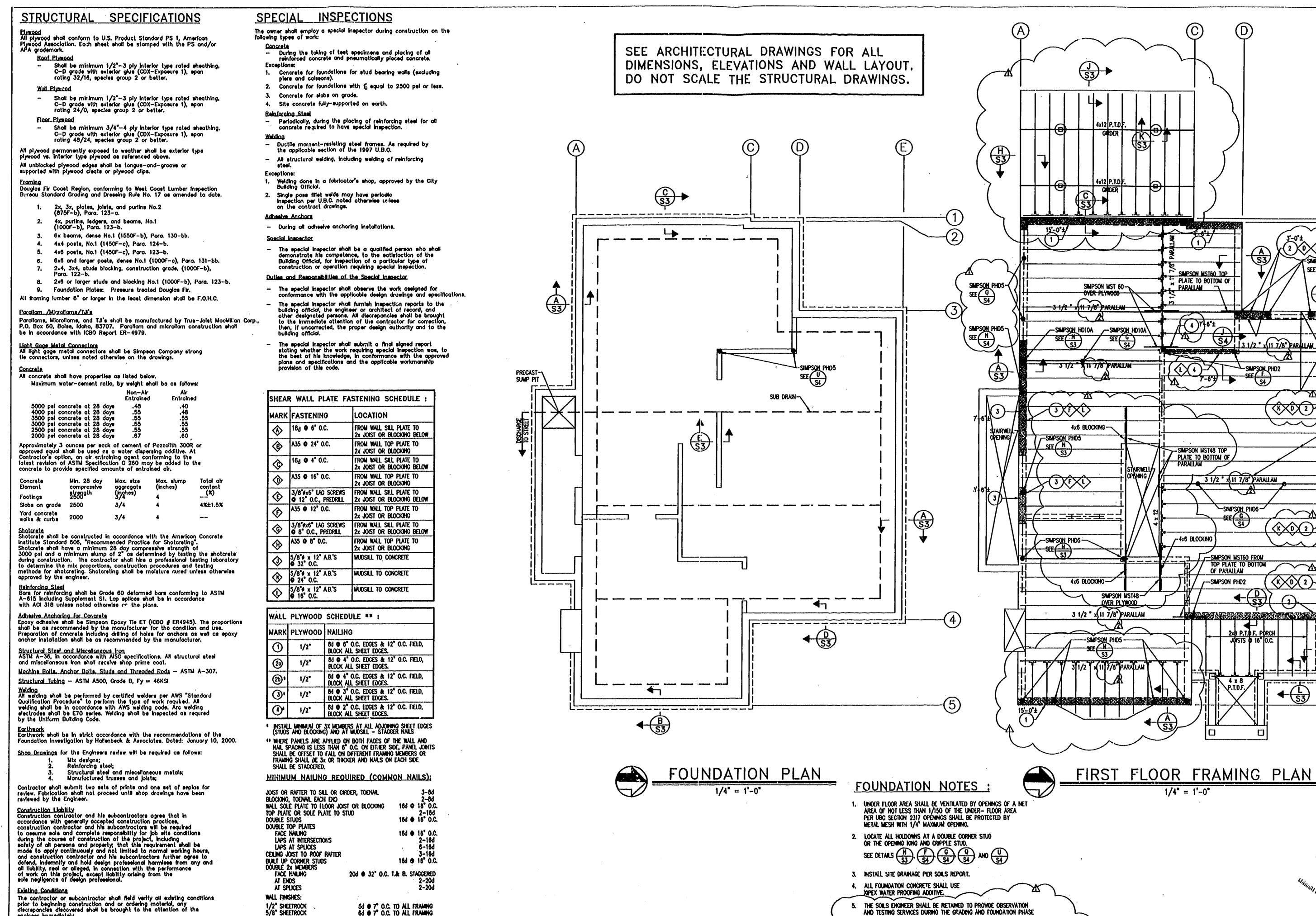
1. 4-6" (\_\_ 1201560 Dark. TOEARNER! TERMOUTH IN DEALTH WAS MINE THAT HAVE TO THE TERMONER 3642 1+ 2242 15 20174 16/2040 17/200 1-WHILLE 18 1242 "/'a 174 /GENERAL 1-11 36004 OC WETHING FOOTET CH/EASE. 14 2000 1 DH Chard FM. EC 10 18:10 \_\_\_\_\_\_\_ XOX CLIALLY LEI WILE IX CANH TO MEET 11年11年12年1 10 3626 FIGURER CO MATCH YOUTH AND TIMESHAME OF LW M. Door buzzer, bell or chime shall be "hand" wired. MANNEY PELLON PLESTANCE TOWN AFFICIED

FICHMAN TOWN AFFICIED **LANDTATE** SNOTES: DEDICATED CIRCUITS REC'D
FOR WALL, COUNTERTOP MAD
REPRISERATOR CUTLETS.
DINING FMI, OUTSIDE OUTLETS,
RANGE HOURS, DISPOSALE,
ON SHWASHER OR MICHOUNAVE
OVENS CANNOT BE SETENDINEY
THESE CIRCUITS. 5'0" A DECKATED 20 AMP CIRCUT AND CANNOT ANYOTHER LIGHTS, FANG, RECEITAGUES ETC..... 1000 MAIN LEW TEN COMENICAL CHECK JOB NO. 

Corner 15. D 4:0" 4:6" 16.0. 

A STATE OF THE STA





1/2" PLYW000

ROOF/FLOOR PLYWOOD 1/2\* COX PLYWOOD

10d • 6° 0.C. EDGES & 12° 0.C. FIELD.

PLATE TO BOTTOM OF PARALLAM

-SIMPSON LISTAR TOP

PLATE TO BOTTOM OF

-4x6 BLOCKING

1/4" = 1'-0"

of construction per soils report recommendations. Inspection and testing reports shall be submitted to the building department.

The state of the s

6. SHOTCRETE FOR THE BASEMENT WALLS SHALL BE IN CONFORMANCE WITH THE FOLLOWING

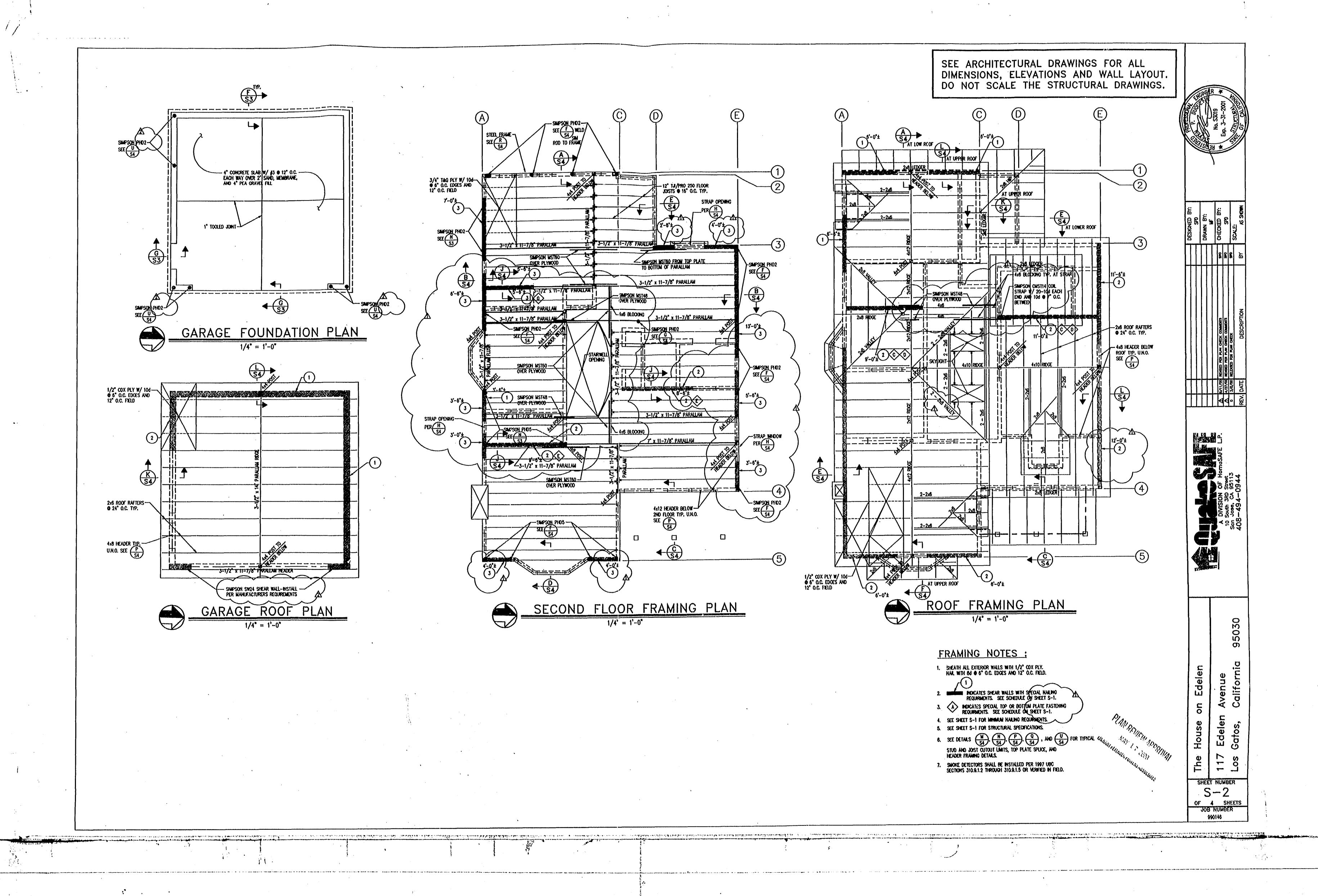
• 6" O.C. EDGES AND

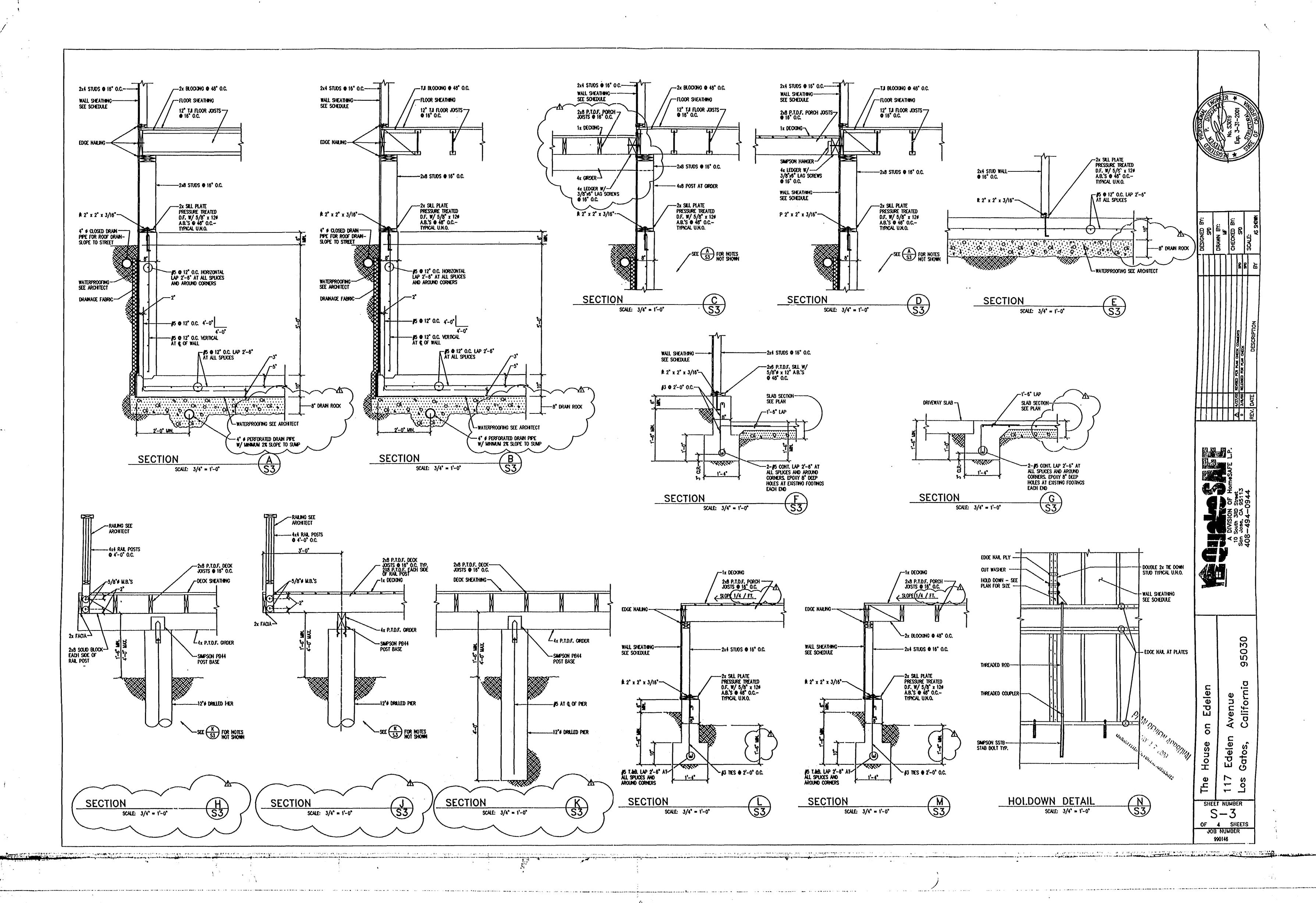
12° TJ/PRO 250 FLOOR JOIST • 16° O.C. TYP.

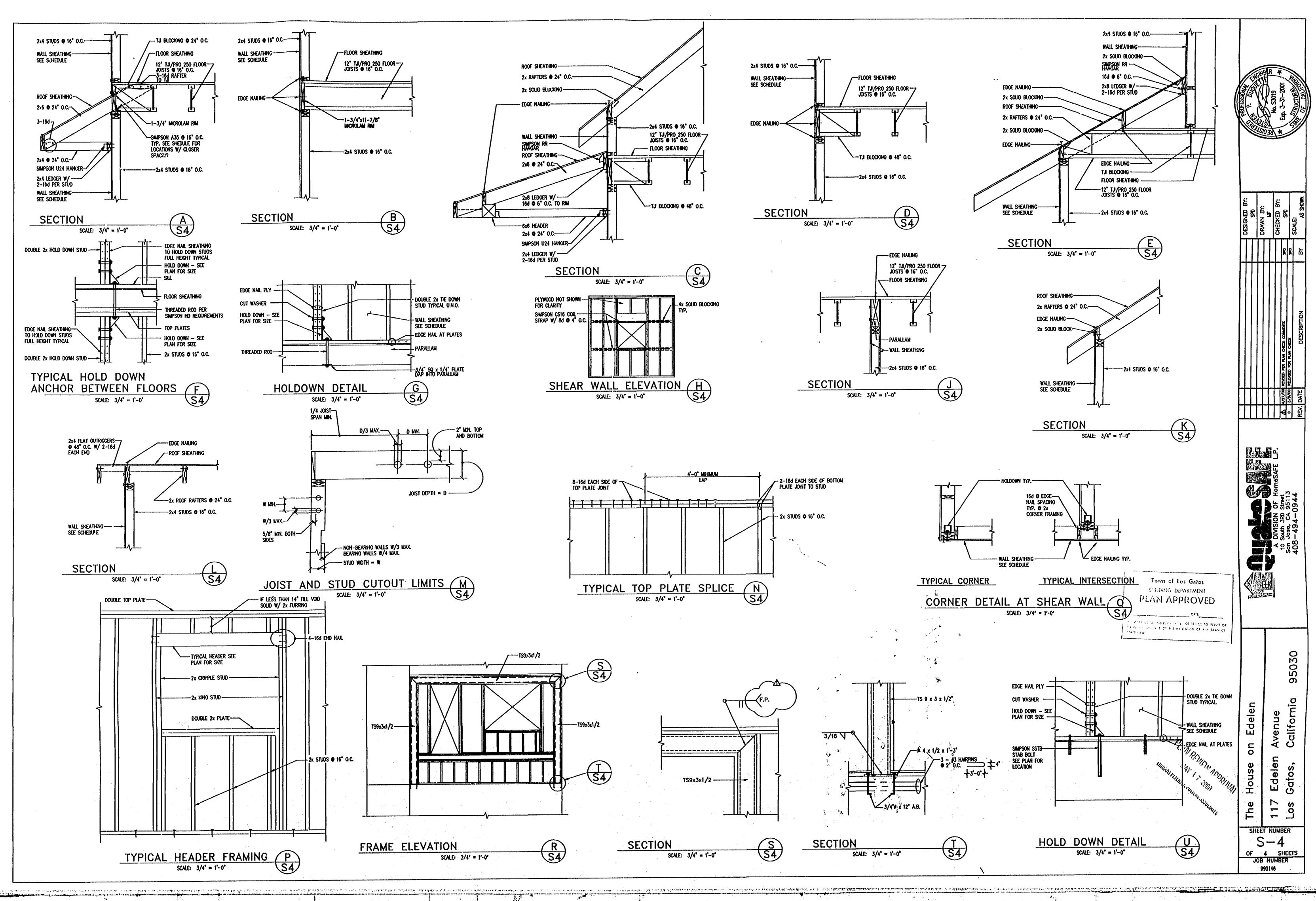
ৰ্ব∘ ঐ

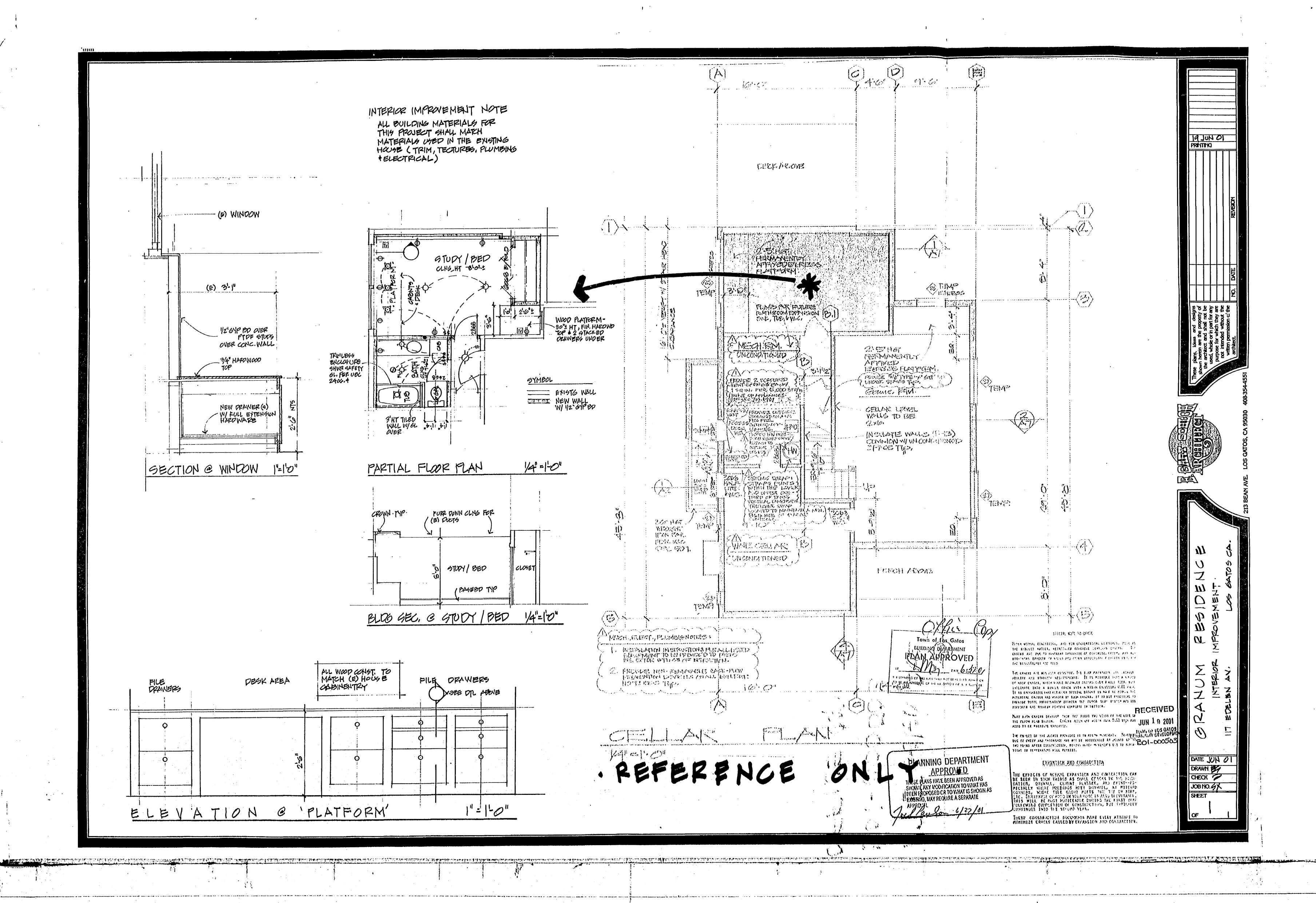
Avenu Califor

SHEET NUMBER









The state of the s



#### Town of Los Gatos COMMUNITY DEVELOPMENT DEPARTMENT Planning Division (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET P.O. Box 949 Los Garos, CA 95031

June 22, 2000

Joe and Colleen Kolling 1611 Cherry Avenue San Jose, ČA 95125

RE: 230 Forrester Road Architecture and Site Application S-00-7

> Requesting approval to construct a new single family residence on property zoned HR-2 %. PROPERTY OWNER/APPLICANT: Joe and Colleen Kolling

At its meeting of June 14, the Town of Los Gatos Planning Commission approved the above application, subject to the attached conditions.

PLEASE NOTE: Pursuant to Section 29 20.275 of the Town Code, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

This approval will expire two years from the date of the approval. Reasonable extensions of the time not exceeding one year may be granted upon application to and approval by the Planning Commission. Extensions can be granted only if approved by the Commission prior to the expiration of the approval. Therefore, it is recommended that applications for time extension be filed with the Planning Department at least sixty days prior to the expiration of the approval.

Enclosed you will find important information to assist you in completing your project. If you have any questions, please contact Gary Chao of this department at (408) 354-6879.

**Director of Community Development** 

PLC:mdc Enclosures

> TS Civil, 90 N. First Street, Suite 101, San Jose, CA 95113 Building Department

N.\DEV\ADMINSEC\PCACTION\6-14-00 #5

INCORPORATED AUGUST 10, 1887

- RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions. STREET RESURFACING. The half-street across the frontage of this site shall be repayed.
- SANITARY SEWER LATERAL. Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary sewer lateral clean-out at the property line.
- TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:
- REQUIRED FIRE FLOW. Provide the required fire flow from fire hydrants spaced at a maximum of 500 feet OR, provide an approved fire sprinkler system designed per National Fire Protection Associated (NFPA) Standard #13D and local ordinances, throughout all portions of the building. The fire sprinklers system supply valving shall be installed per Fire Department Standard Detail & Specifications W-1/SP-4.
- FINAL REQUIRED FIRE FLOW. Required fire flow may be reduced up to 50% in buildings equipped with automatic fire sprinkler systems but, can be no less than 1000 GPM. Therefore, the final required fire flow is 1,000 GPM at 20 psi, residential pressure. This flow shall be available from any two fire hydrants on or near the site, so long as they are spaced at a maximum spacing of 250 feet. REQUIRED ACCESS TO WATER SUPPLY. Portions of the structure(s) are greater than 150 feet of travel distance from the centerline of the roadway containing public fire hydrants. Provide an on-
- site fire hydrant OR provide an approved fire sprinkler system throughout all portions of the building. BRIDGES (driveways). The bridge shall be designed for a live load of 40,000 pounds as stated in Fire Department Standard Details and Specifications D-1 and in accordance with Article 90 of the Fire
- PREMISE IDENTIFICATION. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.

- shall be blue-lined on the construction plans.
- TOWN FIREPLACE STANDARDS. New fireplaces shall be EPA Phase II approved appliances as per the Town Ordinance No. 1905. Tree limbs shall be cut within 10 feet of chimneys. SPECIAL INSPECTIONS. When a special inspection is required by UBC Section 1701, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to Issuance of the Building Permits. In accordance with UBC Section 106.3.5. Please obtain Town Special Inspection form from the Building Department Service Counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.
- NONPOINT SOURCE POLLUTION STANDARDS. The Town standard Santa Clara Valley Nonpoint Source pollution Control Program specification sheet shall be part of plan submittal. The specification
- sheet (size 24" x 36") is available at the Building Department service counter. APPROVALS REQUIRED: The project requires the following agencies approval before Issuing a a. West Valley Sanitation District: 378-2407
- b. Santa Clara County Fire Department: 378-4010 c. SCHOOL DISTRICT: The School District's approval required for this project is:
- i) Los Gatos School District: 395-5570 Note: Obtain the School District form(s) from the Town Building Department after the Building Department has approved the building permit.

#### TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

(Parks and Forestry Section)
18. TREE PLANTING. Four (4) - 24" box Oaks shall be planted. If the 9" Oak proposed to be

concurrently with the building permit.

- transplanted does not survive, a 24" box Live Oak is required to be planted. If the 18" Oak proposed to be transplanted does not survive, a field grown Live Oak or a 96" box is required to be planted. GENERAL. All newly planted trees and shrubs shown on the plan are specific subjects of approval of this plan, and must remain on site.
- IRRIGATION SYSTEM. All newly planted landscaping shall be irrigated by an in-ground irrigation system. Special care shall be taken to avoid irrigation which will endanger existing native trees and
- DOUBLE STAKING. All newly planted trees are required to be double staked to Town standards.

  TREE PROTECTION FENCING. Require tree protection fencing to be placed at the dripline of existing trees to be saved in the area of construction. Fencing shall be four high chain link attached to steel poles driven two feet into the ground when at the dripline of the tree. If the fence has to be within eight feet of the trunk of the tree a fence base may be used, as in a typical chain link fence that
- GRADING PERMIT. A grading permit is required for grading, drainage, bridge design & erosion control. A <u>separate</u> application for a grading permit (with grading plans) shall be made to the Engineering Division of the Parks & Public Works Department. The grading plans shall include final grading, drainage retaining wall location, driveway, utilities and interim erosion control. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued
- SOILS REPORT. One copy of the soils and geologic report shall be submitted with the grading permit application. The soils report shall include specific criteria and standards governing site grading, drainage, retaining wall design and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

N.\DEV\CONDITNS\S-00-7 AP

is rented.

Page 2 of 4

A MARINE

#### PLANNING DEPARTMENT

The following general information concerning your Planning Department/Planning Commission approval is provided to assist you in completing the work proposal.

- Read and Understand ALL the conditions of approval and know what is required to satisfy each condition. ALL conditions of approval must be met prior to any building permits being issued and all required improvements shall be completed prior to final occupancy.
- All new parking spaces must be double striped. Each double stripe shall consist of two (2) four-inch lines separated by an eighteen-inch space. A parking striping permit shall be obtained from the Building Department.
- The maximum grade for handicap access ramps is 8.33% (1:12). Cross slope within handicapped stalls and landings shall not exceed 2%.
- Any modification to your approved plans will require approval of the Town. The level of approval, including the need for a new public hearing, will depend on the significance of the modification.
- After receiving your Planning Department or Planning Commission approval, you must apply for any applicable building or grading permits prior to the commencement of any work. Prior to filing for permits, you should contact each development division as appropriate (Building, Planning, Engineering Development, Fire or Environmental Services) to determine their specific plan requirements.
- A certificate of use and occupancy is required from the Planning Department before issuance of a business license and/or occupancy of any new building or commencement of any activity when architecture and site approval or a conditional use permit is required. Occupancy clearance from the Building Department is not a certificate of use and occupancy.
- 7. If you find you cannot begin the work for which your approval was granted within the year approval time limit, you may apply for a time extension. The application for time extension must be filed in sufficient time for it to be considered by the Planning Commission before the approval expires. Tentative subdivision or parcel map approval time extensions must be filed at least 60 days before the approval expires.

SM1124SC/AFPROVAL

PLANNING COMMISSION MEETING

RECOMMENDED CONDITIONS OF APPROVAL

230 Forrester Road
Architecture and Site Application S-00-7

b. finish floor elevation

Requesting approval to construct a new single family residence on property zoned HR-2 1/2. PROPERTY OWNER/APPLICANT: Joe and Colleen Kolling

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

- EXPIRATION OF APPROVAL. The Architecture and Site application will expire two years from the date of approval unless the approval is used before expiration. Section 29 20.335 defines what constitutes the use of an approval granted under the Zoning Ordinance.

  PRE-CONSTRUCTION SURVEY. Any construction work that occurs during the raptor nesting
- season (February to end of August) shall be preceded by a pre-construction survey for nesting EXTERIOR COLOR. A deed restriction shall be obtained to limit the exterior color of the house to
- under the light reflectivity value of 30.
- PERMITS REQUIRED. A building permit application shall be required for the proposed structure. Separate Electrical/Mechanical/Plumbing permit shall be required as necessary. CONSTRUCTION PLANS. The Conditions of Approval shall be stated in full on the cover sheet of
- construction plan submitted for building permit. SIZE OF PLANS. The maximum size of construction plans submitted for building permits shall be
- PLANS. The construction plans for this project shall be prepared under direct supervision of a licensed architect or engineer. (Business and Professionals Code Section 6538).
- SOILS REPORT. Two copies of a soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the Building Permit application. This report shall be prepared by a licensed civil engineer specializing in soils
- HOUSE ADDRESS. To request a house address contact Town of Los Gatos, Office of the Town Clerk at (408) 354-6834.
- HAZARDOUS FIRE ZONE. This project requires a Class A roofing assembly. FOUNDATION INSPECTIONS. A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items: a pad elevation
- c. foundation corner locations RESIDENTIAL TOWN ACCESSIBILITY STANDARDS. The residence shall be designed with adaptability features for sing-family residence per Town Resolution No. 1994-61;

  a. Wooden backing (no smaller than 2 in. X 8 in.) \$1.27 be provided in all bathroom walls at water closet, shower and bathlub locations, located at 34 in. From the floor to the center of the backing.
- suitable for the installation of grab bars.

  b. All passage doors shall be at least 32 in. Wide on the accessible floor. c. Primary entrance shall have a 36 in. Wide door including, a 5 foot x 5 foot level landing no more than 1 in. Our of plane with the immediate interior floor level, with an 18 inch clearance on the

d. Door buzzer, bell or chime shall be 'hard' wired. 13. TITLE 24 ENERGY COMPLIANCE. California Title 24 Energy Compliance forms CF-1R and MF-1R

- TRAFFIC IMPACT MITIGATION FEE (RESIDENTIAL). The developer shall pay a proportional the project's share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the request of Certificate of Occupancy is made. the fee shall be paid before issuance of the Certificate of Occupancy. The traffic impact mitigation fee for this project using the current fee schedule is \$5,730. the final fee shall be calculated form the final plans using the rate schedule in
- effect at the time of the request for a Certificate of Occupancy. 26. FISH AND GAME REQUIREMENTS. A 1603 permit shall be obtained for the California Department of Fish and Game for proposed improvements in or near riparian areas within their jurisdiction. A copy of the permit shall be provided to the Parks & Public Works Department before any permits are
- GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
- ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
- PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting an work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in
- rejection ow work that went on without inspection. GRADING MORATORIUM. No grading or earth-disturbing activities shall be initiated in hillside areas between October 1 and April 15 of each year. For grading operations commenced before October 1, all grading or earth-disturbing activities shall cease October 15 and will not be allowed to restart until April 15. Grading permits will not be issued between September 15 and April 15. These limitations include, but are not limited to these items: driveways, building pads, foundation trenches and drilled piers, retaining walls, swimming pools, tennis courts, outbuildings and utility trenches install interim erosion control measures, shown on the approved interim erosion control plan, by October 1, if final landscaping is not in place. Maintain the Interim erosion control measures throughout the October 1 to April 15 period.
- GRADING INSPECTIONS. The soils engineer or her/his qualified representative shall continuously inspect all grading operations. The soils engineer shall submit a final grading report before occupancy/Certificate of Completion.
- 32. SURVEYING CONTROLS. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items: 1. Retaining wall--top of wall elevations and locations
- 2. Toe and top of cut and fill slopes EROSION CONTROL (COMMERCIAL). Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks & Public Works Department. Grading activities shall be limited to the period of least rainfall (April 15 to October 1). A maximum of two weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed to go on during the rainy season. In addition, straw bales and plastic sheeting shall be stored on-site for
- emergency control, if needed. Install filter berms, check dams, retention basins, silt fences and straw bale dikes as needed on the project site, to protect down stream water quality during winter months.

  UTILITIES. The developer shall install all utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). Cable television capability shall be provided to all new homes

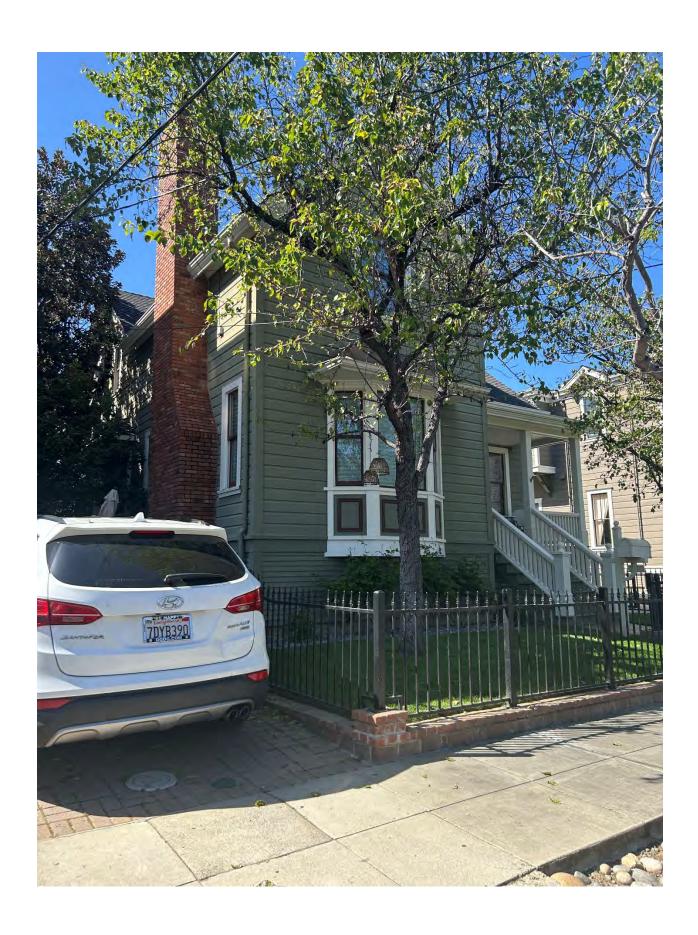
N DEVICONDITUS/S-00-7 AP

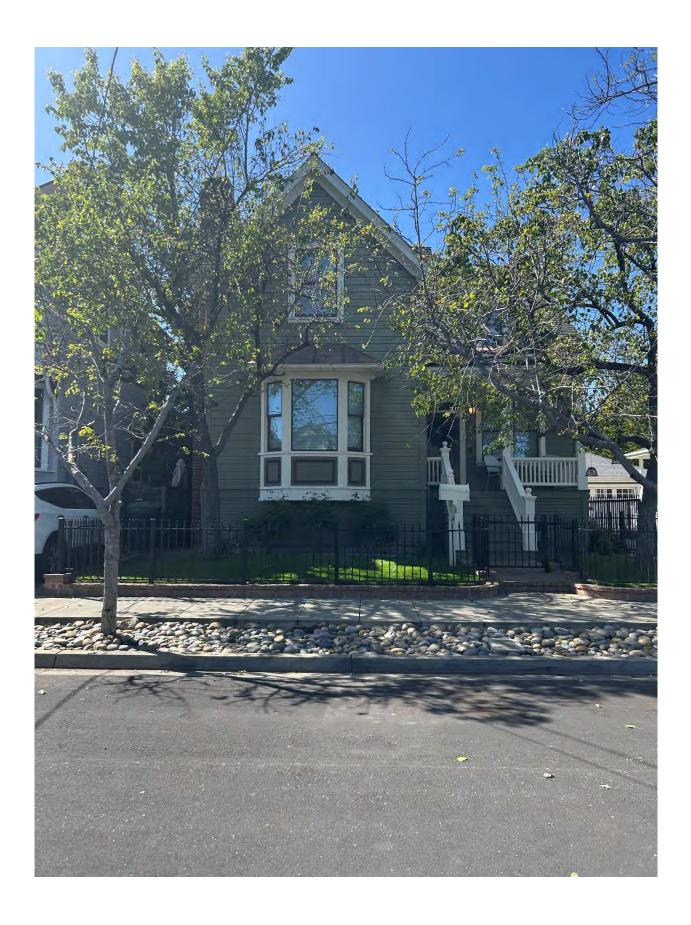
and the same of the same of the same of the same of the same of the same of the same of the same of the same of

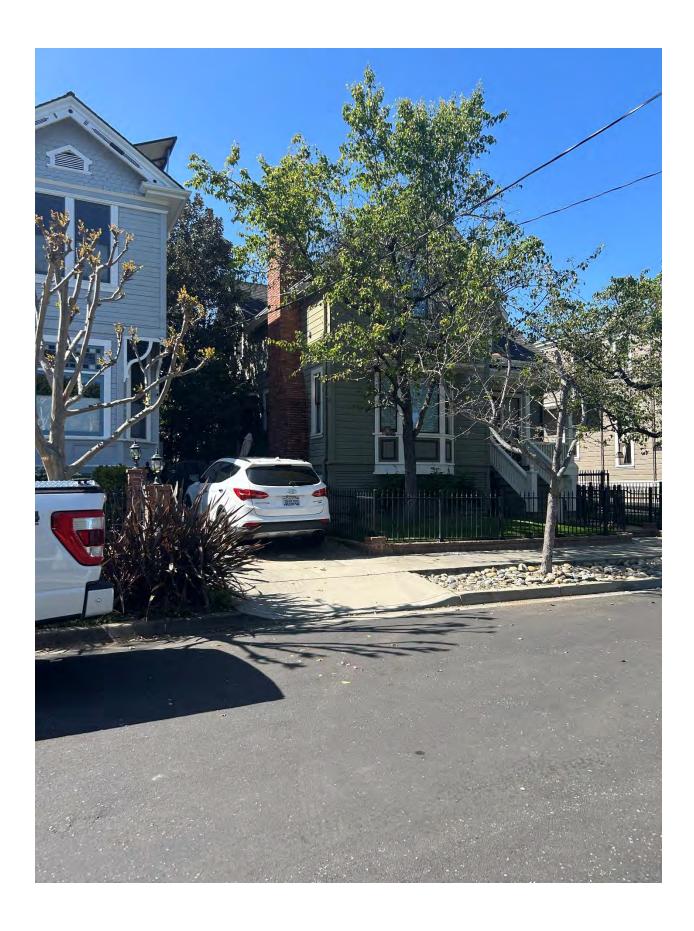
Page 3 of 4

THE RESERVE OF THE PROPERTY OF

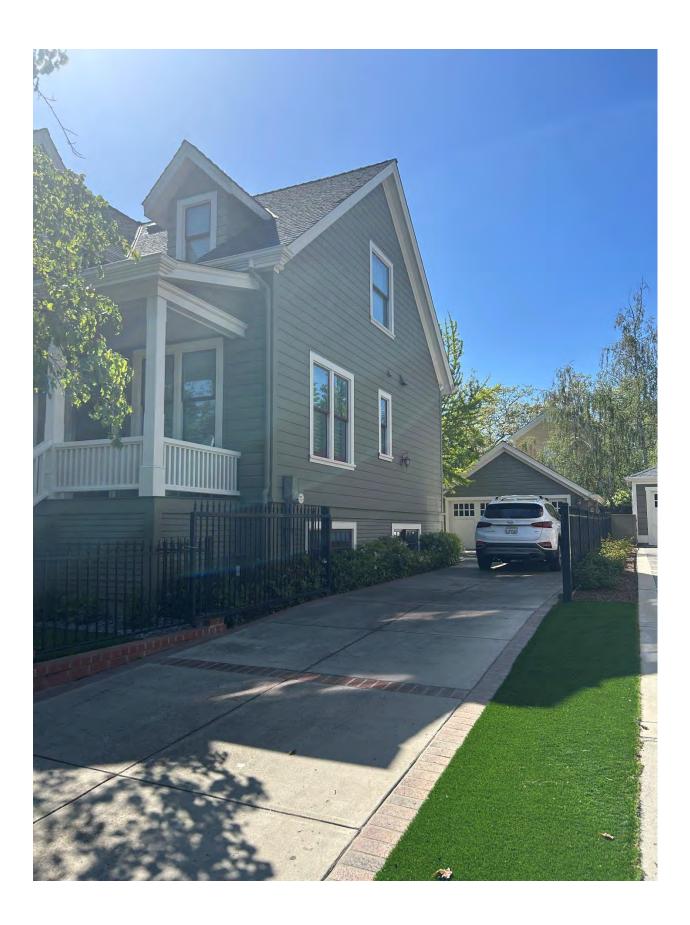
and the second of the second o

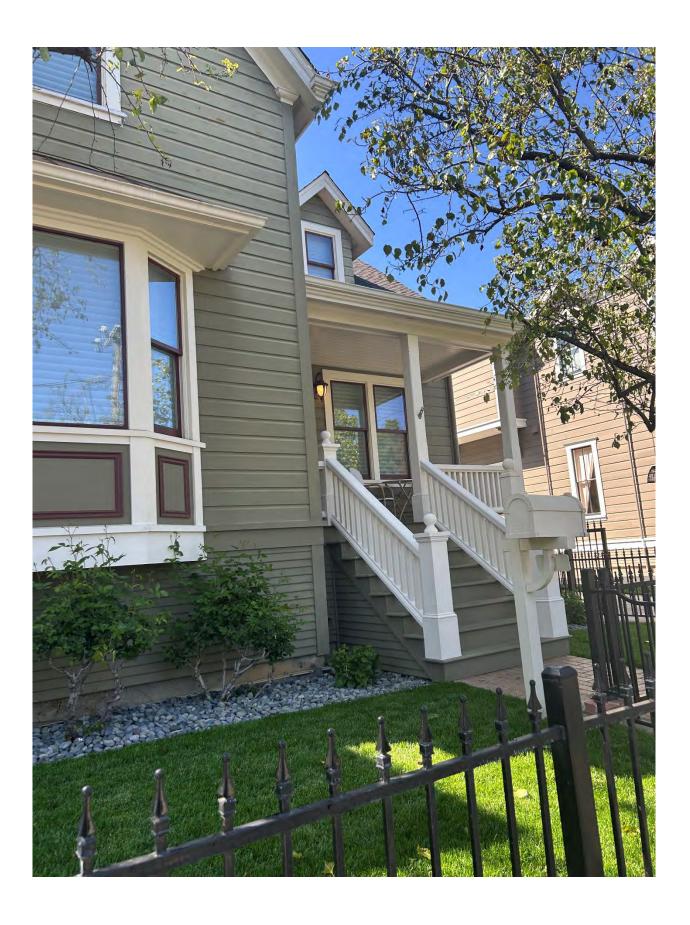


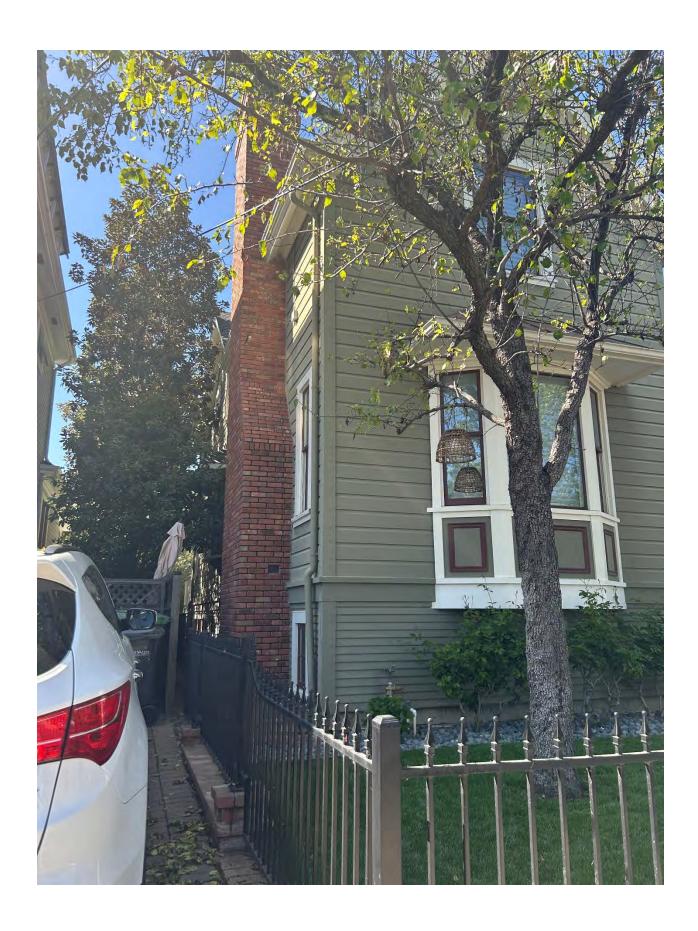














# TOWN OF COS GATOS

#### **TOWN OF LOS GATOS**

PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

April 28, 2025

Jeff and Julie Price 117 Edelen Avenue Los Gatos, CA 95030 Via email

#### RE: <u>117 Edelen Avenue</u>

Request for Preliminary Review Application PHST-25-003

Consider a Request for Preliminary Review for Exterior Alterations and Construction of a Second-Story Addition of 100 Square Feet to an Existing Single-Family Residence on Property Zoned R-1D:LHP. Located at 117 Edelen Avenue. APN 529-02-020. Request for Review Application PSHT-25-003. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

**Property Owner: Jeff and Julie Prince** 

Applicant: David Kuoppamaki Project Planner: Maria Chavarin

On April 23, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item and provided the following feedback:

- Consider adding two windows rather than one on the front elevation as the the proposed design removes a gable window,
- Consider adding a belly band to break the first and second stories on the left elevation;
- Concerns with the number of proposed windows being removed on the left elevation as this modifies the building's unique character;
- The proposed design is departing from the Victorian style in the neighborhood;
- The proposed flat roof lines is not compatible with the Victorian architectural style;
- The proposed design is a major change in appearance and is not consistent with other homes in the neighborhood in terms of style; and
- The second story addition changes the overall character of the house.

If you have questions, I can be contacted by phone at (408) 354-6807 or by email at mchavarin@losgatosca.gov.

Sincerely,

Maria Chavarin Maria Chavarin Assistant Planner

cc: David Kuoppamaki, via email

N:\DEV\PLANNING PROJECT FILES\Edelen Avenue\117\PHST-25-003 - COMPLETED\Action Letter\PHST-25-003 - HPC Action Letter - 04-23-25.docx

#### 3141 Stevens Creek Blvd #104 San Jose, CA 95117 408.357.0818 Office 530.919.2921 Cell

#### **HPC RESPONSE LETTER**

DATE: MAY 30, 2025

TO: HISTORIC PRESERVATION COMMISSION

PROJECT ADDRESS: 117 Edelen Ave Los Gatos, CA 95030

#### **HPC Comments** our response in red

 Consider adding two windows rather than one on the front elevation as the proposed design removes a gable window,

We agree that adding another gable to the front elevation will add character. We've proposed a new gable over the 2<sup>nd</sup> story front closet window

• Consider adding a belly band to break the first and second stories on the left elevation;

I disagree with this. Look in the neighborhood and belly bands are missing quite often. We have belly bands on most of this house, but this area has an odd condition of how to stop the belly band at the front. With that being said, I've added a belly band to support your concerns

• Concerns with the number of proposed windows being removed on the left elevation as this modifies the building's unique character;

These widnows are not visible from the road, or much of anywhere except our drawings. With the new design layout we would prefer to keep this windows removed.

The proposed design is departing from the Victorian style in the neighborhood;

The neighborhood is not just Victorian style. On just this road you can see: Sea Ranch/Modernist style, Colonial Style, Ranch/Craftsman style, Bungalow Style, Italianate Style and a Contemporary Victorian Style. The neighboring house,121 Edelen, I'm calling Italianate Style due to its low pitched roof, decorative brackets and emphasis on vertical lines. I feel this house was originally designed by Gary Schloh as a Craftsman style house(not Victorian in architectural style) We're proposing a more Italianate Style house similar to 121 Edelen

• The proposed flat roof lines is not compatible with the Victorian architectural style;

Again, we're not proposing a Victorian style house and feel you do not need a Victorian style house to adhere to the history of this neighborhood.

• The proposed design is a major change in appearance and is not consistent with other homes in the neighborhood in terms of style; and The second story addition changes the overall character of the house.

Yes we are changing the characteristic of the house from Craftsman style. This is to give our Client, the new home owner, a normal ceiling heigh home with their remodel. In our eyes it is very consistent with many other homes in the neighborhood in terms of style. When walking around the corner of Miles and University, you see a house under construction with very similar style and a much simpler roof design(yes they have a higher pitched roof).

This Page Intentionally Left Blank

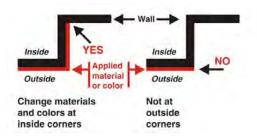
## BUILDING DESIGN 3

#### 3.8.3 Use traditional detailing

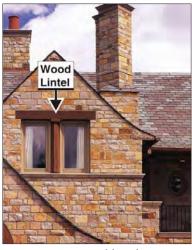
- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic.
   For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

#### 3.8.4 Materials changes

 Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



# Stone Lintels



Use stone or wood lintels over openings in stone walls

#### 3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

#### **BUILDING DESIGN**



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

- should utilize the same materials as the existing protected exterior elements.
- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

#### REVISIONS DATE PROJECT SCOPE INDEX TO DRAWINGS RESIDENTIAL REMODEL PRINCE RESIDENCE TO NEW SLIDING GLASS DOOR CONSTRUCTION FIRE SAFETY CVR2 RE-FRAME RE-ROOF 2ND FLOOR WITH NEW 10FT 2ND FLOOR WALLS AND TRUSS ROOF WITH 3:12 ROOF SLOPE BLUE PRINT FOR A CLEAN BAY NEIGHBORHOOD CONTEXT MAP SHADOW STUDY EXISTING SHADOW STUDY NEW PLN3 DEMOLITION PROJECT DATA ARCHITECTURAL NOTES BASEMENT & 1ST FLOOR PLAN EXISTING 2ND FLOOR PLAN EXISTING BASEMENT & 1ST FLOOR PLAN NEW A2.3 2ND FLOOR PLAN NEW ZONING SFR R-1D: LHP **ELEVATIONS** HISTORIC DISTRICT UNIVERSITY/EDELEN HISTORIC DISTRICT A3.1 **ELEVATIONS** OCCUPANCY: ROOF PLAN CONSTRUCTION TYPE: **OWNER** CONSULTANTS EXISTING SECTIONS SPRINKLER: PROJECT SUMMARY TABLE 117 EDELEN LOS GATOS, CA 95030 1ST LEVEL | 2ND LEVEL | BASEMENT | LIVING 1,203 1,020 1,160 MAX FAR HOUSE 1,846 SF MAX FAR GARAGE MAX LOT COVERAGE 40% ALL BUILDINGS 2,110 SF PROPOSED LOT COVERAGE PROPOSED BUILDING HEIGHT 30'-0 3/8" 4'-9 1/2" 20'-0" 49'-3 1/4" HERS FEATURE SUMMARY APPLICABLE CODES **SYMBOLS** CONDITIONS OF APPROVAL **ABBREVIATIONS** POUNDS PER SQUARE INCH A.B. AGGREGATE BASE 2022 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2022: DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE A.C. ASPHALT CONCRETE F.O.S. FACE OF STUD P.T. PRESSURE TREATED MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.5 ROOM NAME — ROOM NAME AIR CONDITIONING FTG FOOTING CALGREEN ENVIRONMENTAL QUALITY REQUIREMENTS A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS **QUARRY TILE** - ROOM NUMBER ACCESSIBLE AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING TITLE 24 CCR, PART 1 - 2022 BUILDING STANDARDS ADMINISTRATIVE CODE INSPECTOR. CGBSC SECTION 4.504.2.4 B. "PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) GALV GALVANIZED ADJUSTABLE - INTERIOR ELEVATIONS CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN ABOVE FINISH FLOOR GLB GLUE LAMINATED BEAM R.D. ROOF DRAIN TITLE 24 CCR, PART 2 5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC) REINF REINFORCE ALTERNATE G.S.M. GALVANIZED SHEET METAL TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC) OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, ALUM ALUMINUM GWB GYPSUM WALLBOARD REQ'D REQUIRED TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC) AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS(INCLUDING CARPETING, CUSHION AND ADHESIVE), DETAIL NUMBER APPROX APPROXIMATE ROOM TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC) RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE SHEET NUMBER ROUGH OPENING A.T. ACOUSTIC TILE TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504." HOLLOW CORE REDWOOD TITLE 24 CCR, PART 7 - 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 BLDG HDWR HARDWARE RAIN WATER LEADER BUILDING TITLE 24 CCR, PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN BLKG BLOCKING R.H.W.S. ROUND HEAD WOOD SCREW TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC) SHEET NUMBER THE LUMINARIES. B.O. BOTTOM OF H.M. HOLLOW METAL TITLE 24 CCR, PART 10 - 2022 EXISTING BUILDING CODE PRIOR TO FINAL OCCUPANCY ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN HORIZ HORIZONTAL SELF-ADHERED FLASHING TITLE 24 CCR, PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCROACH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL B.U.R. BUILT UP ROOFING SOLID CORE TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS SECTION NUMBER UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SIDE DRAINAGE EASEMENT SHEET NUMBER SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM I.D. SHEET LOCAL MUNICIPAL CODE NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED CALIFORNIA BUILDING CODE INSUL INSULATION SIM SIMILAR CBC FOR SAFETY OR SECURITY CONSTRUCTION JOINT SHEET METAL SCREW ----- ELEVATION NUMBER SPEC SPECIFICATION POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER CLG ------ SHEET NUMBER CLR SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO STAINLESS STEEL CMU CONCRETE MASONRY UNIT JOINT CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE C.O. **CLEAN OUT** STANDARD REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY LENGTH S.T.S. SELF-TAPPING SCREW COL COLUMN WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE LAMINATED COMP COMPOSITION STL STEEL CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONT CONTINUOUS LAV LAVATORY STOR STORAGE CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE CONC CONCRETE POUND STRUCT STRUCTURAL SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE PROJECT LOCATION COUNTERSUNK LAG SCREW SUSP SUSPENDED REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN SYM LIGHT SYMMETRICAL MET BY THE APPLICANT(S). 2022 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7. — WINDOW NUMBER MFR MANUFACTURER **TONGUE & GROOVE** DETAIL DRINKING FOUNTAIN MAXIMUM TELEPHONE — WALL TYPE / STUD SIZE MECH DIAMETER MECHANICAL THICK DIM DIMENSION T.O. TOP OF MISCELLANEOUS T.O.C. TOP OF CONCRETE INDICATES NOMINAL CEILING MULTI-PURPOSE EASEMENT TYP TYPICAL HEIGHT ABOVE F.F.E. ON DOWNSPOUT MASONRY OPENING REFLECTED CEILING PLAN MOISTURE RESISTANT U.O.N. UNLESS OTHERWISE NOTED DISHWASHER DRAWING UNREINF UNREINFORCED SPECIAL INSPECTIONS UR URINAL N.I.C. NOT IN CONTRACT NUMBER VINYL COMPOSITION TILE FACH — 4:12 → ROOF PITCH **EXPANSION JOINT** NOM NOMINAL VERT VERTICAL VEST. VESTIBULE ELEC ELECTRICAL SEE ENGINEERING PLANS ELEV **ELEVATION** OBSC OBSCURE VINYL WALL COVERING - 2435.12 — NEW GRADE ELEVATION **EQUAL** ON CENTER **EQUIP** O.D. OUTSIDE DIAMETER **EOUIPMENT** WIDTH 2024.11.06 OPPOSITE WATER CLOSET OUNCE WOOD O.F.C.I. OWNER FURNISHED, WATER HEATER (E) GRADE ELEVATION PER SHEET WSCT WAINSCOT CONTRACTOR NSTALLED FLOOR DRAIN FIRE EXTINGUISHER O.F.O.I. OWNER FURNISHED, WT WEIGHT DAVID FIRE EXTINGUISHER CABINET OWNER INSTALLED F.F.E. FINISH FLOOR ELEVATION CHARACTER SYMBOLS PERF PERFORATED FINISH GRADE AND 2428 F.H. FIRE HYDRANT PLATE ANGLE F.H.W.S. FLAT HEAD WOOD SCREW PLAS PLASTIC AT PLUMB. PLUMBING CENTER LINE FLR FLOOR PLYWD PLYWOOD DIAMETER SIGN NUMBER PMF PRESSED METAL FRAME NUMBER FLUOR FLUORESCENT SIGN TYPE F.O.F. FACE OF FINISH PR PAIR **OVER** FILENAME:E:\EGNYTE\SHARED\\_KUOP DESIGNS\\_PROJECTS\24-028 117 EDELEN\\_117 EDELEN\SHEETS\CVR1 COVER SHEET.DWG



TANDARD DETAILS & SPECIFICATIONS

Rev. Date 04/30/09 Eff. Date 12/17/02 Approved By of\_9\_

Hessiloodly Apresis

#### SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a

#### REQUIREMENTS

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department. B. Procedures for emergency notification, evacuation and/or relocation of all
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable
- E. Site plans identifying the designated exterior assembly areas for each evacuation
- F. Site plans identifying required fire apparatus access roadways and on-site fire

Organized as the Santa Clara County Central Fire Protection District Serving Sania Clara County and the communities of Campbell, Cupertino, Los Alios, Los Alios Fills, Los Gatos, Monta Sarano, Morgan Fill, and Saratoga

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to

- B. Standpipes: Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 21/2-inch valve outlet for fire department use. Where construction height requires installation of a Class III standpipe, fire pumps and water main connections
- mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.
- D. Fire Alarm Systems: Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system

Organized as the Santa Clara County Central Fire Protection District Serving Santa Clara County and the communities of Campbell, Cupertino. Los Alios, Los Alios Hills, Los Gatos, Monte Serano, Morgan Hill, and Saratoga

4) Fuel for equipment shall be stored in an approved area outside of the

A. Liquefied Petroleum Gas (LP-Gas) - Storage and use shall comply with

located at least 6 feet from any LP-Gas container.

(b) Integral heater-container units specifically designed for the

1. Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for

curing concrete, drying plaster and similar applications in accordance

(a) Heating elements (other than integral heater-container units) shall be

attachment of the heater to the container, or to a supporting standard

and installed so as to prevent direct or radiant heat application to the

attached to the container, may be used provided they are designed

(c) Blower and radiant type units shall not be directed toward any LP-

(d) Heat producing equipment shall be installed with clearance to the

combustibles in accordance with the manufacturer's installation

(e) Cylinders shall comply with DOT cylinder specifications and shall be

(f) Regulators shall be approved for use with LP-Gas. Fittings shall be

(g) Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.

device to shut off the flow of gas to the main burner and to the pilot in

the event of flame extinguishment or combustion failure. Portable

heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be

(h) Portable heaters shall be equipped with an approved automatic

turned on or an approved electronic ignition system.

Organized as the Santa Clara County Central Fire Protection District

Serving Sarria Clara County and the communities of Campbell, Cuperting, Los Alios,

Los Alios Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

3) Equipment shall not be refueled while in operation.

(Ref: CFC Articles 87 & 13 - also 49, 79 and 11)

with the following:

LP-Gas container.

Gas container within 20 feet.

secured in an upright position.

designed for at least 250 psig service pressure.

VII. Hazardous Materials

G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

#### II. General Safety Requirements

A. Fire Department Access Roadways: All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft, of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

<u>Key boxes</u>: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

- B. Fire hydrants: Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on
- C. Telephone service: Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.
- Premises identification: The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.
- E. <u>Combustible debris</u>: Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos. Los Alfos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

#### roved containers equipped with tight-fitting covers.

G. <u>Temporary heating equipment:</u> Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

F. Oily rags: Oily rags and similar material shall be stored in metal or other

- H. Smoking: Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of 'No Smoking' signs shall be posted to ensure that smoking is controlled.
- I. Vehicle parking: All vehicles shall be parked a minimum of 20 feet from new

Exceptions: 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.

- 2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.
- J. Combustible material storage: Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or

Exceptions: 1. Materials that are staged for installation on a floor level.

2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

#### III. Fire Protection Systems

A. Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

> Organized as the Santa Clara County Central Fire Protection District Serving Santa Clara Courny and the communities of Campbell, Cupertino, Los Alfos, Los Alfos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Seretoga

(a) the hot work site is clear of combustibles or that combustibles are

(b) exposed construction is of noncombustible materials or that combustible materials are protected; (c) openings are protected;

(d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.; (e) fire extinguishers are available, fully charged and operable; and (f) fire watch personnel are assigned, equipped and trained.

- 2. Fire Watch: The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are
- 3. Post-inspection: The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.
- B. Asphalt and tar kettles: Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendance and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B:C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B:C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.
- C. Motor Equipment: Motorized equipment including internal-combustionpowered construction equipment shall be used in accordance with the
- 1) Equipment shall be located so that exhausts do not discharge against 2) When possible, exhausts should be piped to the outside of the

Organized as the Santa Clara County Central Fire Protection District Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga

(a) Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.

9. Ropes, chains or slings shall not be used to suspend gas cylinders, unless

#### Storage, Use and Dispensing of Flammable and Combustible Liquids

shall not be left unattended.

- 1. Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas. 2. Tanks and containers shall be marked with the name of the product and
- FLAMMABLE-KEEP FIRE AND FLAME AWAY. Tanks (containers in excess of 60 gallons) shall also be labeled KEEP 50 FEET FROM BUILDINGS. 3. Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall
- not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use. 4. Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks
- as approved by the fire department. 5. Plans for the installation/use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

#### C. Compressed Gases

- Gas cylinders shall be marked with the name of the contents. Gas cylinders shall be stored upright and secured to prevent falling.
- When not in use, valve protective caps shall be in place. Gas cylinders shall be protected against physical damage. When stored, gas cylinders shall be separated from each other based on
- their hazard classes. 6. Combustible materials shall be kept a minimum of 10 feet from gas
- 7. Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

Organized as the Santa Clara County Central Fire Protection District Serving Santa Clare County and the communities of Campbell, Cuperitino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Seratoga

SD&S SI-7/DM:dh/12.10.09

Organized as the Santa Clara County Central Fire Protection District Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gafos, Monte Sereno, Morgan Hill, and Saratoga

REVISIONS DATE

Ow des inst inst is t LLC or wit

2024.11.06 PER SHEET

DAVID

2428

FILENAME:E:\EGNYTE\SHARED\\_KUOP DESIGNS\\_PROJECTS\24-028 117 EDELEN\\_117 EDELEN\SHEETS\CVR2 CONSTRUCTION FIRE SAFETY.DWG

Organized as the Santa Clara County Central Fire Protection District

#### IV. Means of Egress Requirements

- A. Minimum number of Exits: All new buildings under construction shall have a least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.
- B. Multi-Story Buildings: Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/windows are in stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.
- Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).
- C. Assembly Points: Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

#### V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weatherprotected at the location of the wall(s).

#### VI. Special Operation Requirements

- A. Hot Work: Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied rooting, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and
- 1. Pre-site Inspection: An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:
- Organized as the Santa Clara County Central Fire Protection District
- Serving Santa Clara County and the communities of Campbell, Cupertino, Los Alios, Los Alios Hills, Los Galos, Monte Sereno, Morgan Hill, and Sereloga.

In addition to the above, for LPG storage/use in buildings undergoing alteration and that are fully or partially occupied, the following shall also

(b) The maximum water capacity of individual containers shall be 5-

(c) Containers having a water capacity greater than 2 1/2 lb. [1 quart]

gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas. 8. Gas cylinders shall not be placed in areas where they may be damaged by

the cylinder was manufactured with appropriate lifting attachments.

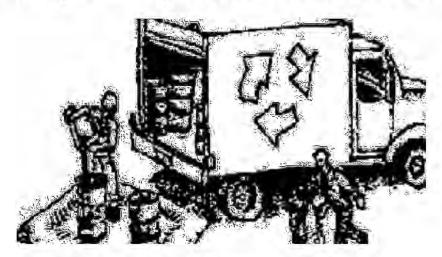


# Construction Best Management Practices (BMPs)



Construction projects are required to implement year-round stormwater BMPs.

#### Materials, Waste, and Sediment Management



#### **Construction Entrances and Perimeter**

- ☐ Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- ☐ Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

#### Non-Hazardous Materials and Dust Control

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- ☐ Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- ☐ Use captured water from other activities (e.g., testing fire lines) for dust control.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

#### **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ☐ Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

#### Waste Management

- ☐ Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- □ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site clean with dry methods, clean offsite or replace dumpster.
- ☐ Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- ☐ Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- ☐ Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- ☐ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

# Equipment Management & Spill Control



#### Vehicle and Equipment Maintenance

- ☐ Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters streets, storm drains, or creeks.
- ☐ Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

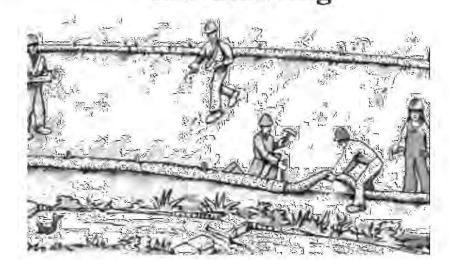
#### Spill Prevention and Control

- ☐ Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- ☐ Maintain all vehicles and heavy equipment.

  Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- ☐ Sweep up spilled dry materials immediately.

  Never attempt to "wash them away" with water or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

#### **Earthmoving**



#### Grading and Earthwork

- ☐ Schedule grading and excavation work during dry weather.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- ☐ Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when necessary.

  Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- ☐ Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.
- Ensure all subcontractors working onsite are implementing appropriate BMPs.

#### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency
  1) Unusual soil conditions, discoloration, or odor.
  2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- ☐ If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

#### Landscaping

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- ☐ Store materials onsite, not in the street.

# Concrete Management & Dewatering



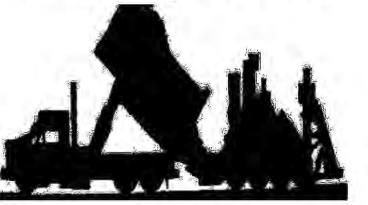
#### Concrete Management

- ☐ Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- Wash out concrete equipment/mixers/trucks offsite, or onsite <u>only</u> in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

#### Dewatering

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- Divert water originating from offsite away from al onsite disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- ☐ For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

#### Paving/Asphalt Work



#### Paving

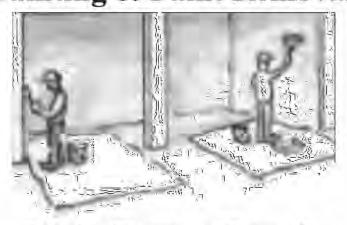
- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- □ When construction is complete, remove all covers from storm drain inlets and manholes.
   □ Collect and recycle or properly dispose.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

#### Sawcutting & Asphalt/Concrete Removal

- ☐ Protect storm drain inlets during saw cutting.
- ☐ When making saw cuts, use as little water as possible.
- ☐ Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- ☐ Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible.

  Sawcutting residue should not be left on pavement surface.
- ☐ If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

#### Painting & Paint Removal



#### Painting Cleanup and Removal

- □ Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- ☐ For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- ☐ For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead- based paint removal requires a state-certified contractor.

#### Copper Architectural Features

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains: **During Installation** 

- ☐ If possible, purchase copper materials that have been pre-patinated at the factory. ☐ If patination done on site, implement one or more of the following BMPs:
  - 1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
  - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
     Collect the rinse water in a tank and haul off-site for proper disposal.
- ☐ Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

During Maintenance such as, power washing roof, re-patination, or re-application of impervious coating:

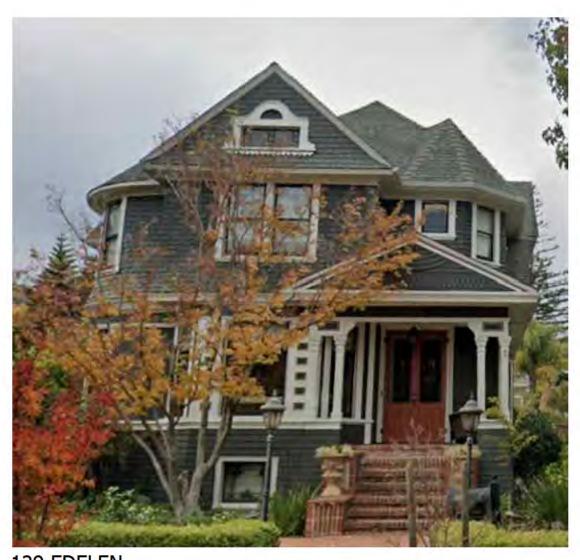
Block storm drain inlets as needed to prevent runoff from entering storm drains.
 Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

February 2024, WVCWA 4/24

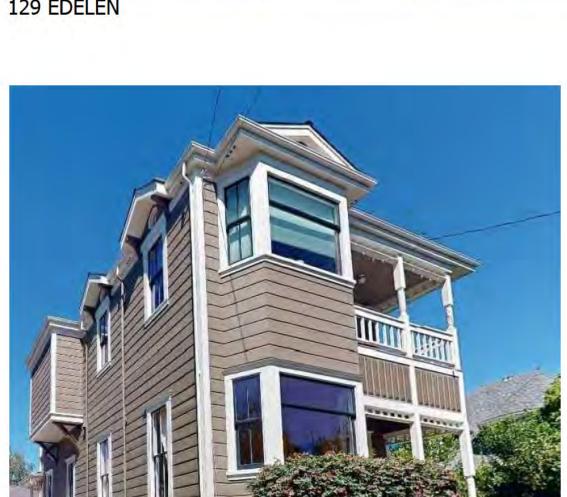
# PER SHEET DAVID 2428 **BMP**

REVISIONS DATE

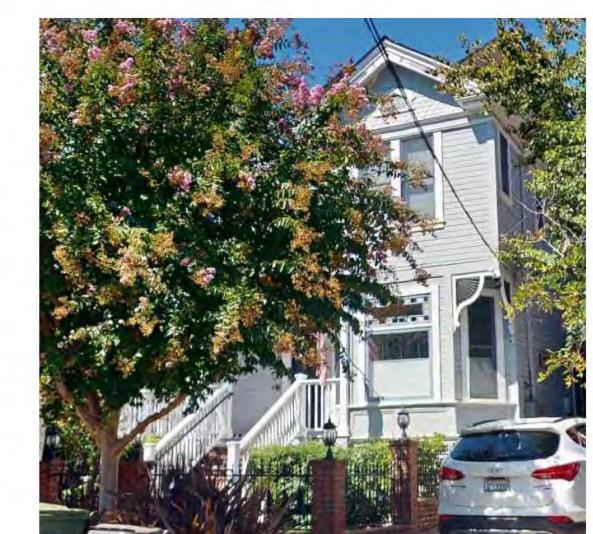
Storm drain polluters may be liable for fines of up to \$10,000 per day!



129 EDELEN



121 EDELEN



111 EDELEN



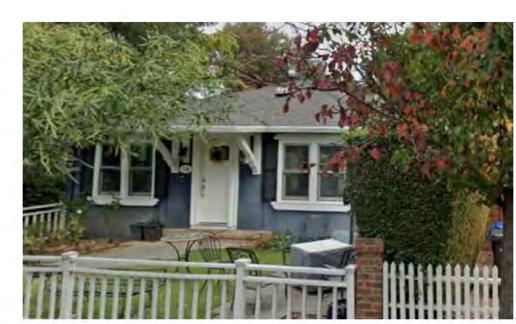
130 EDELEN



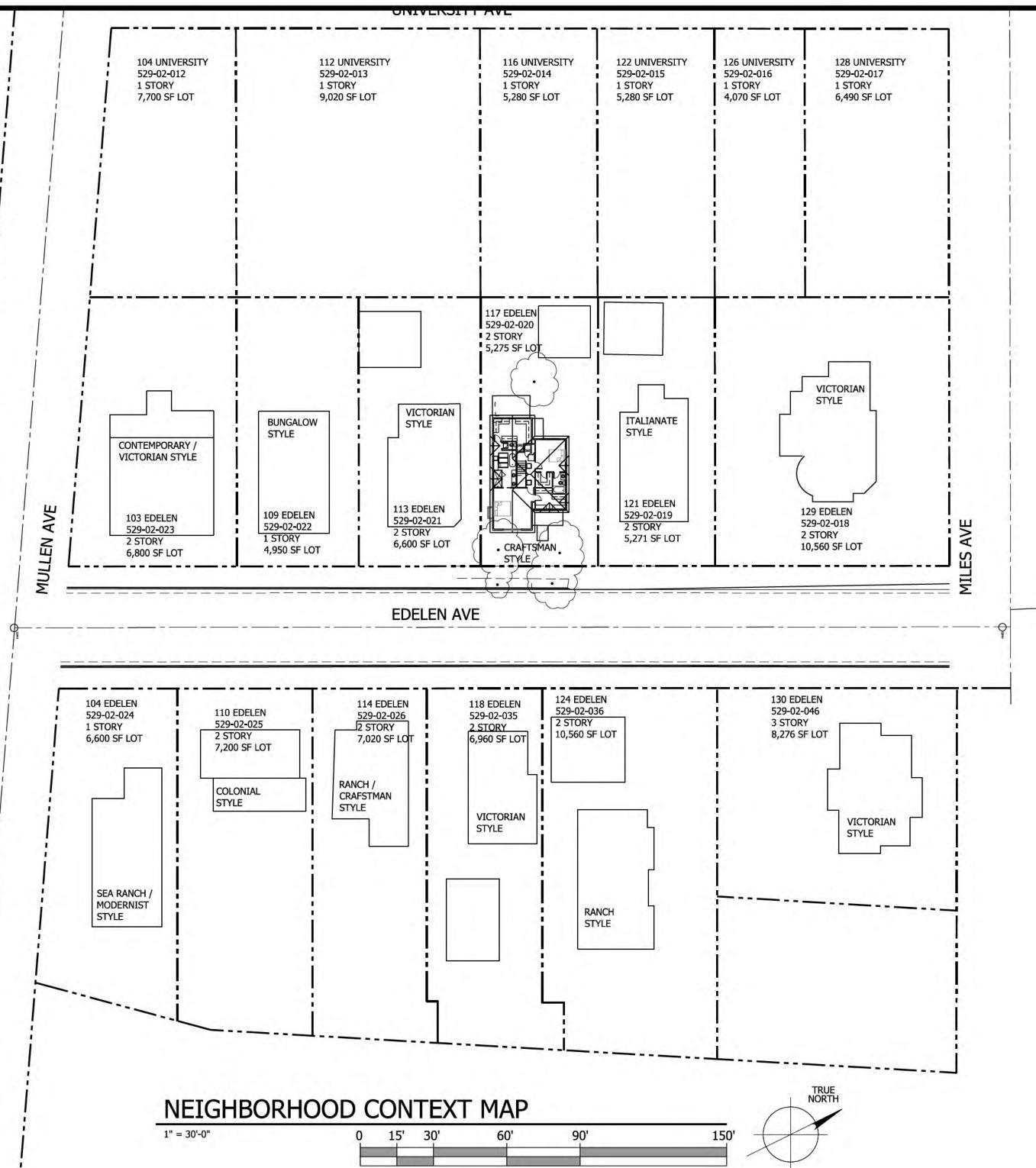
124 EDELEN



118 EDELEN



114 EDELEN



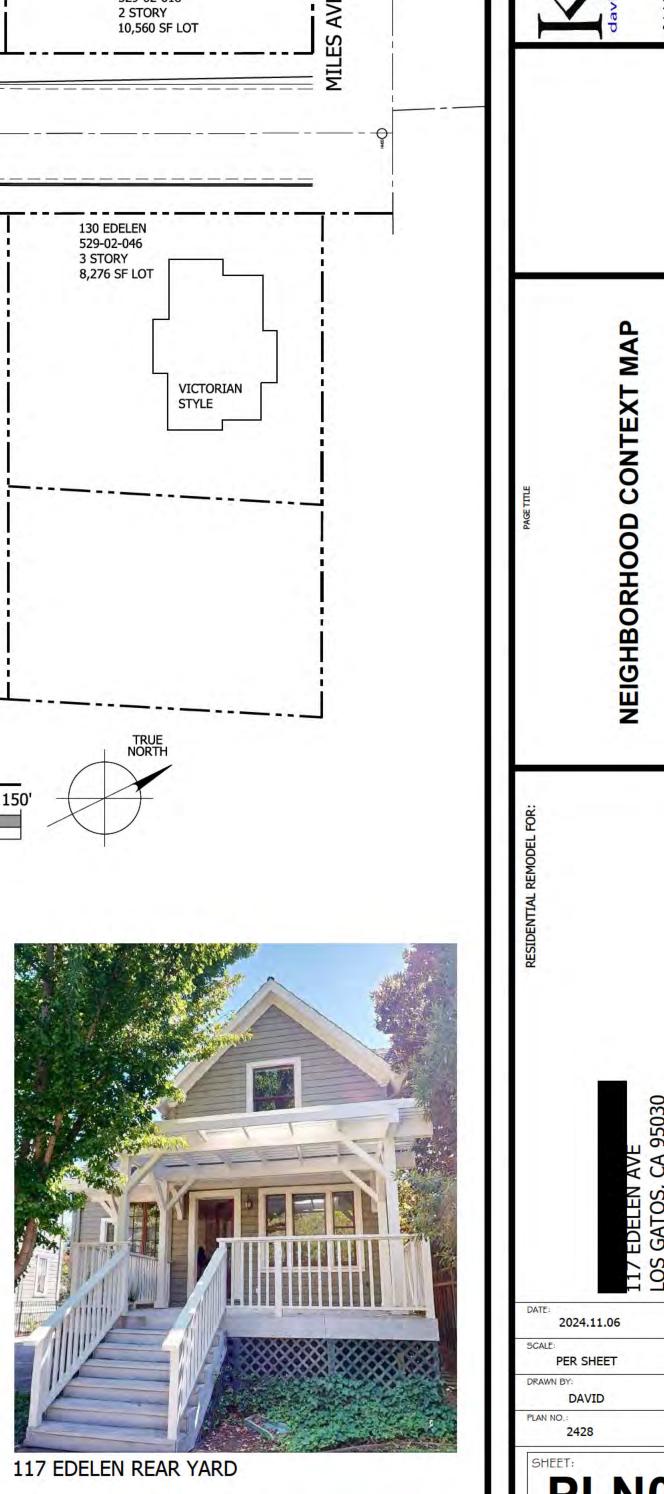


117 EDELEN FRONT

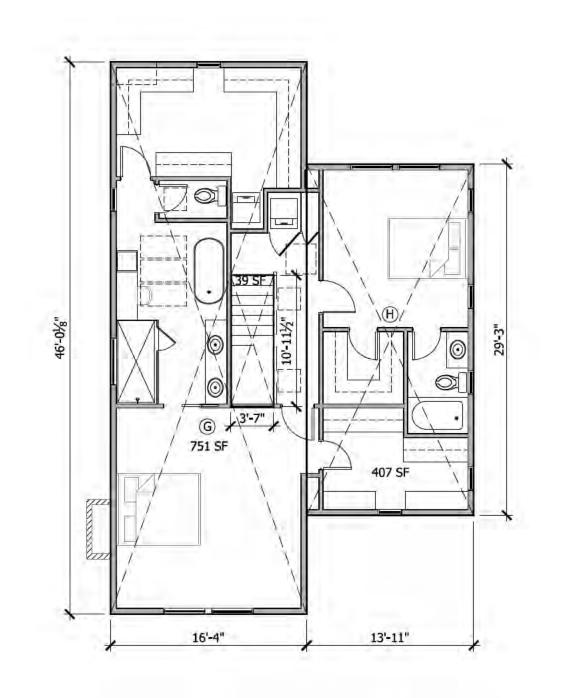


117 EDELEN SIDE YARD

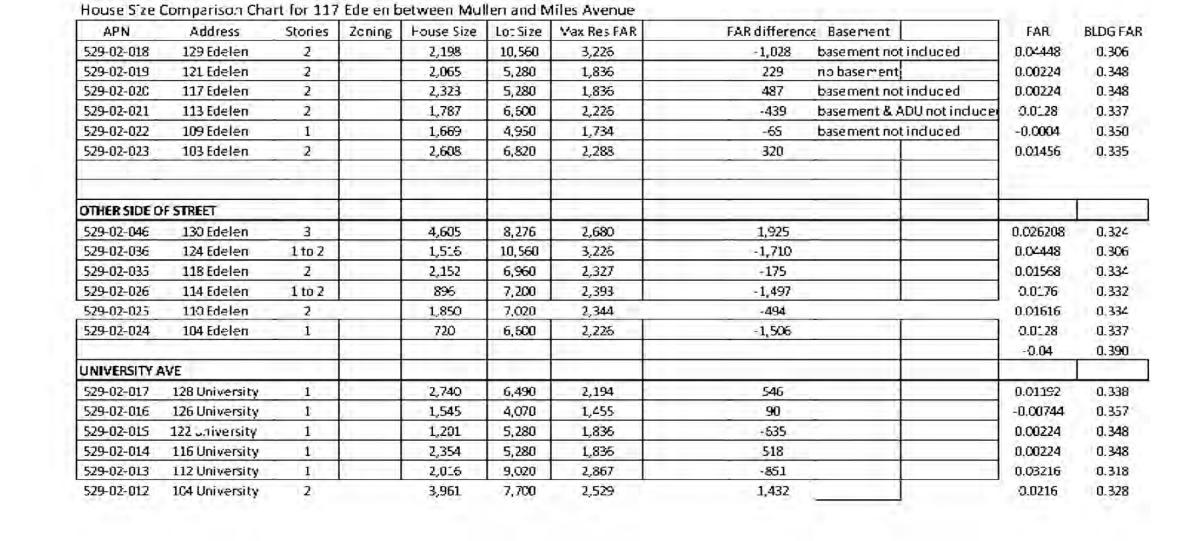


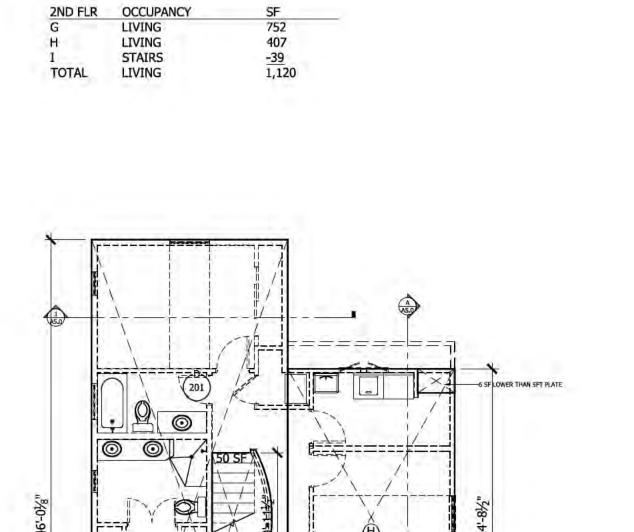


REVISIONS DATE



2ND FLOOR FAR NEW 0 2' 4' 6' 8' 10'





13'-11"

0 2' 4' 6' 8' 10' EXISTING

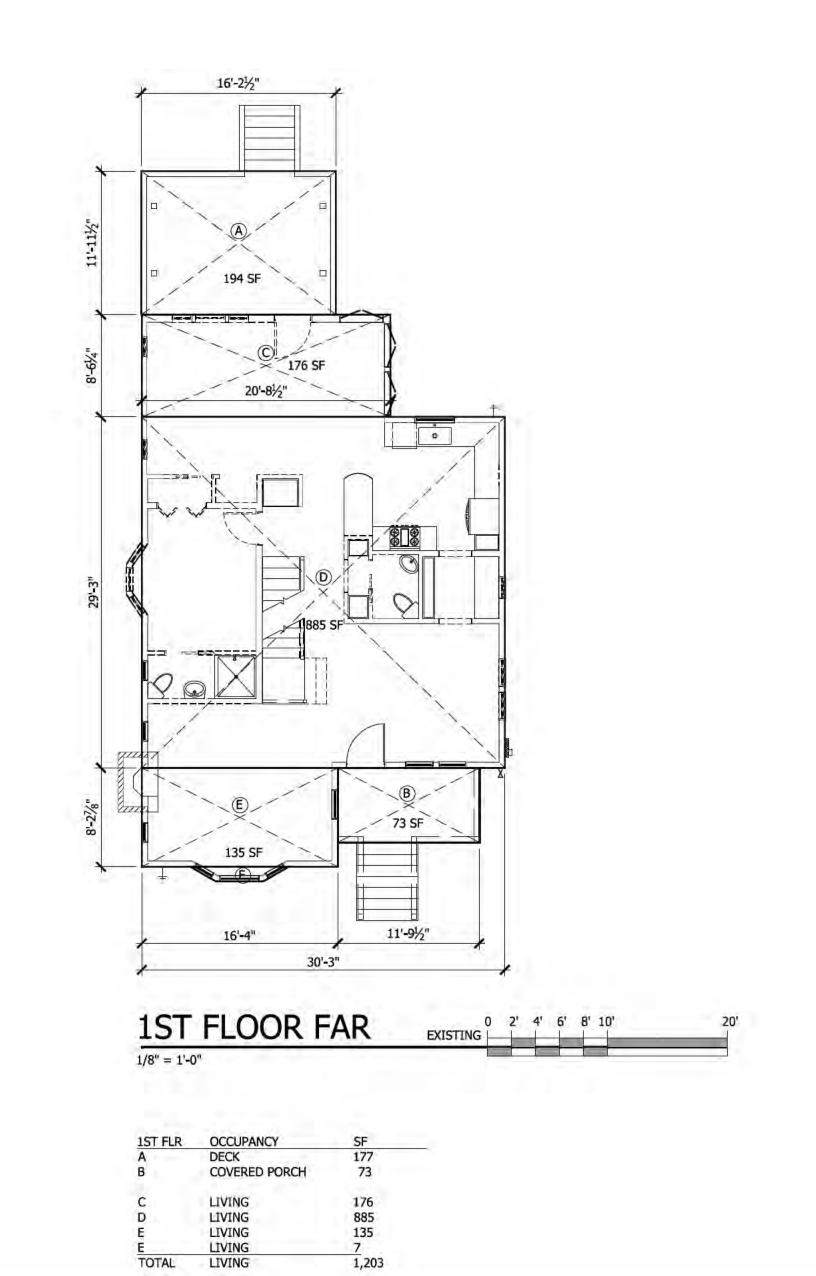
2ND FLOOR FAR

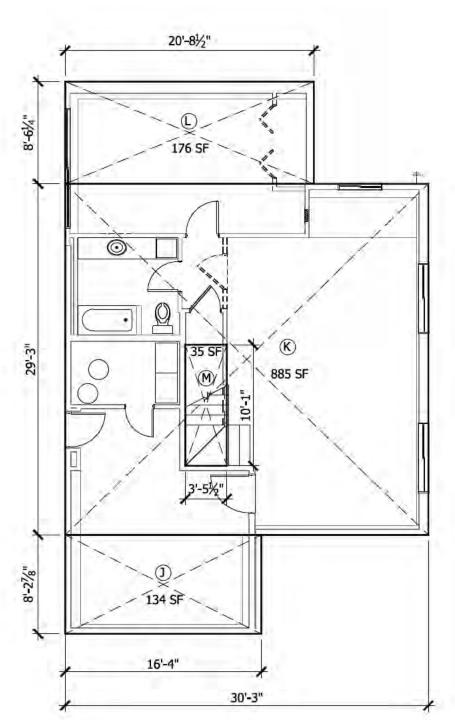
LIVING

STAIRS LIVING

UNDER 5FT WALLS







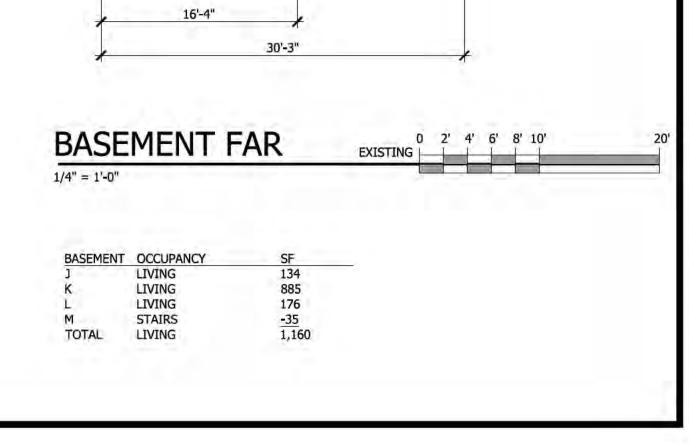
REVISIONS DATE

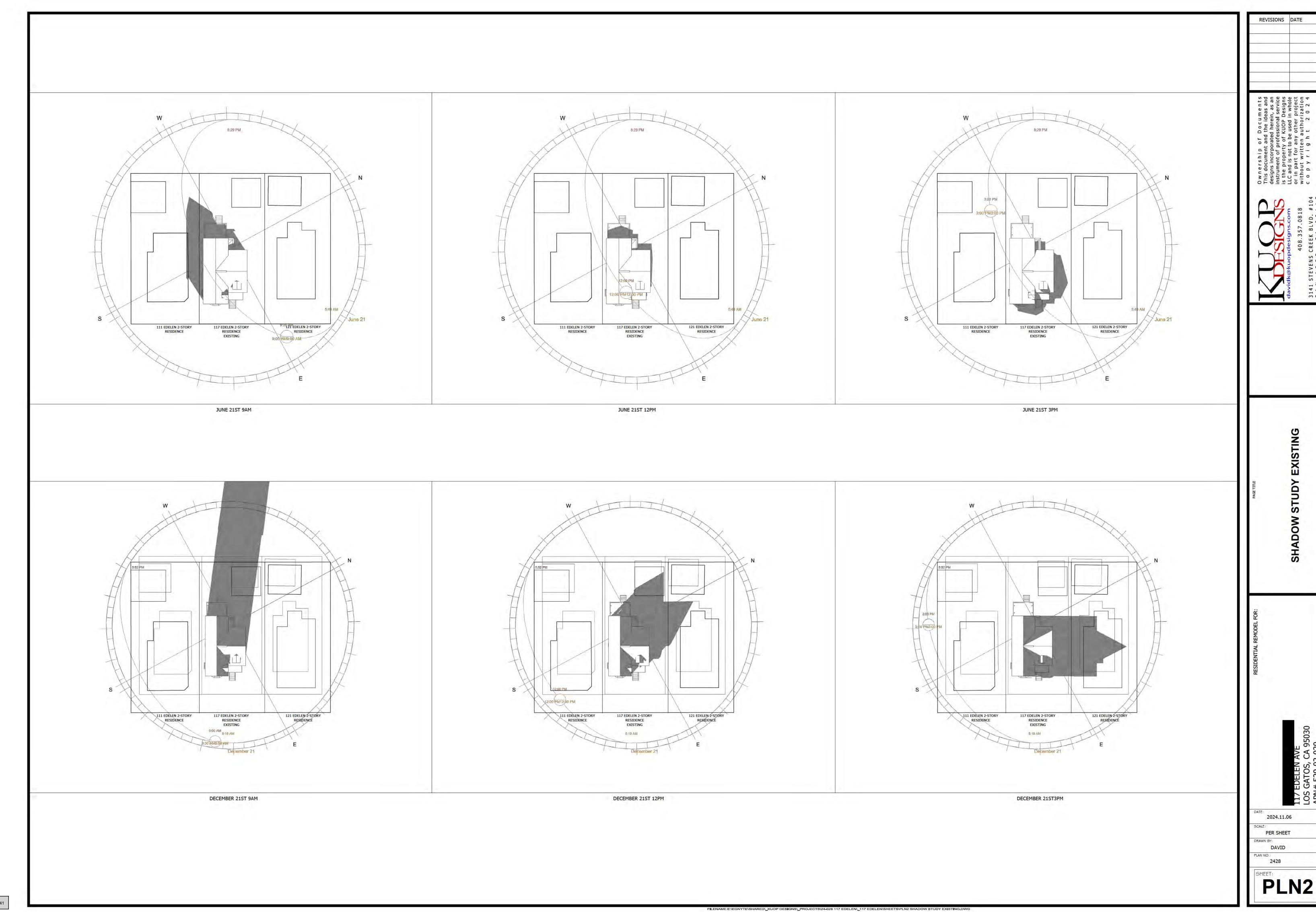
2024.11.06

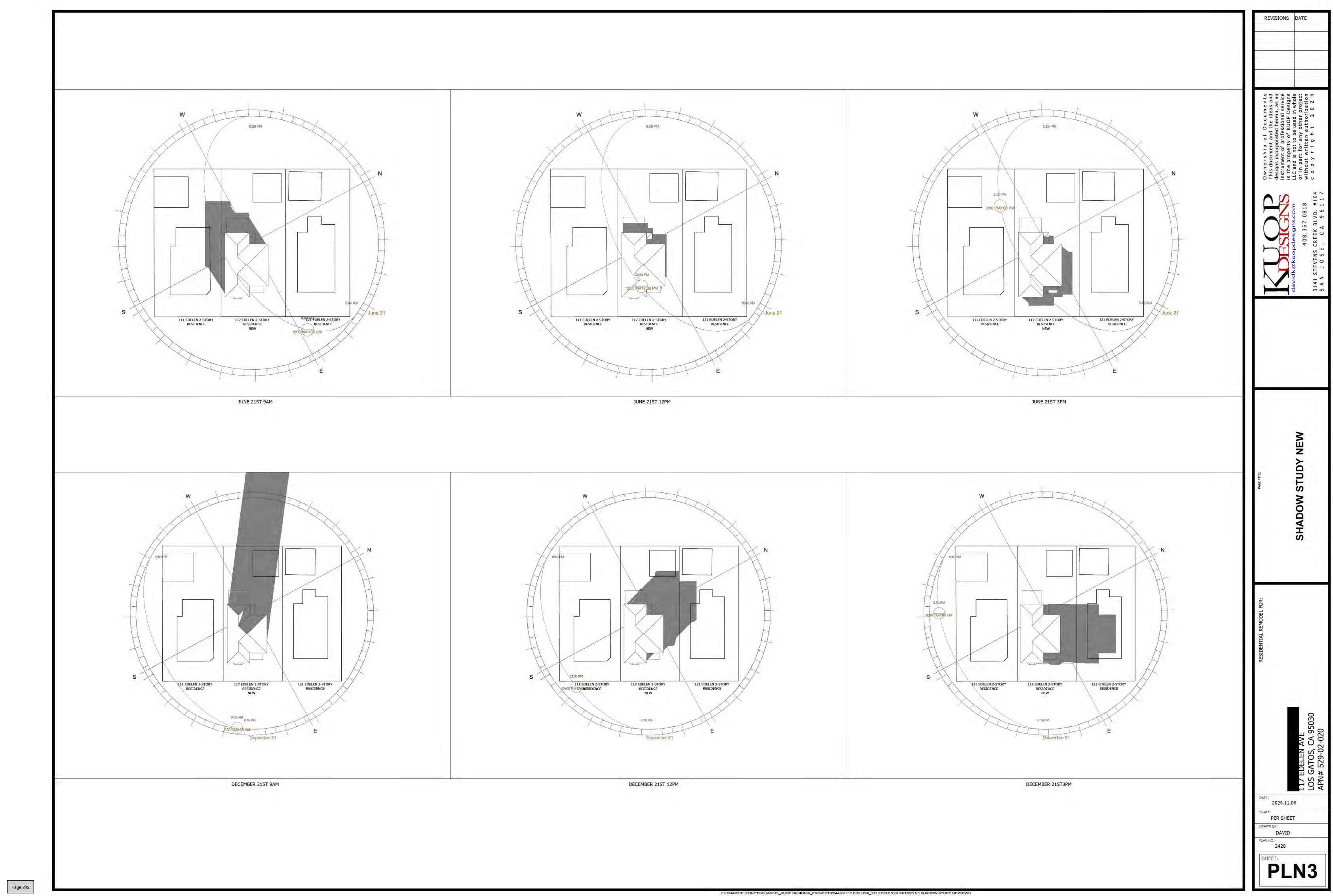
PER SHEET

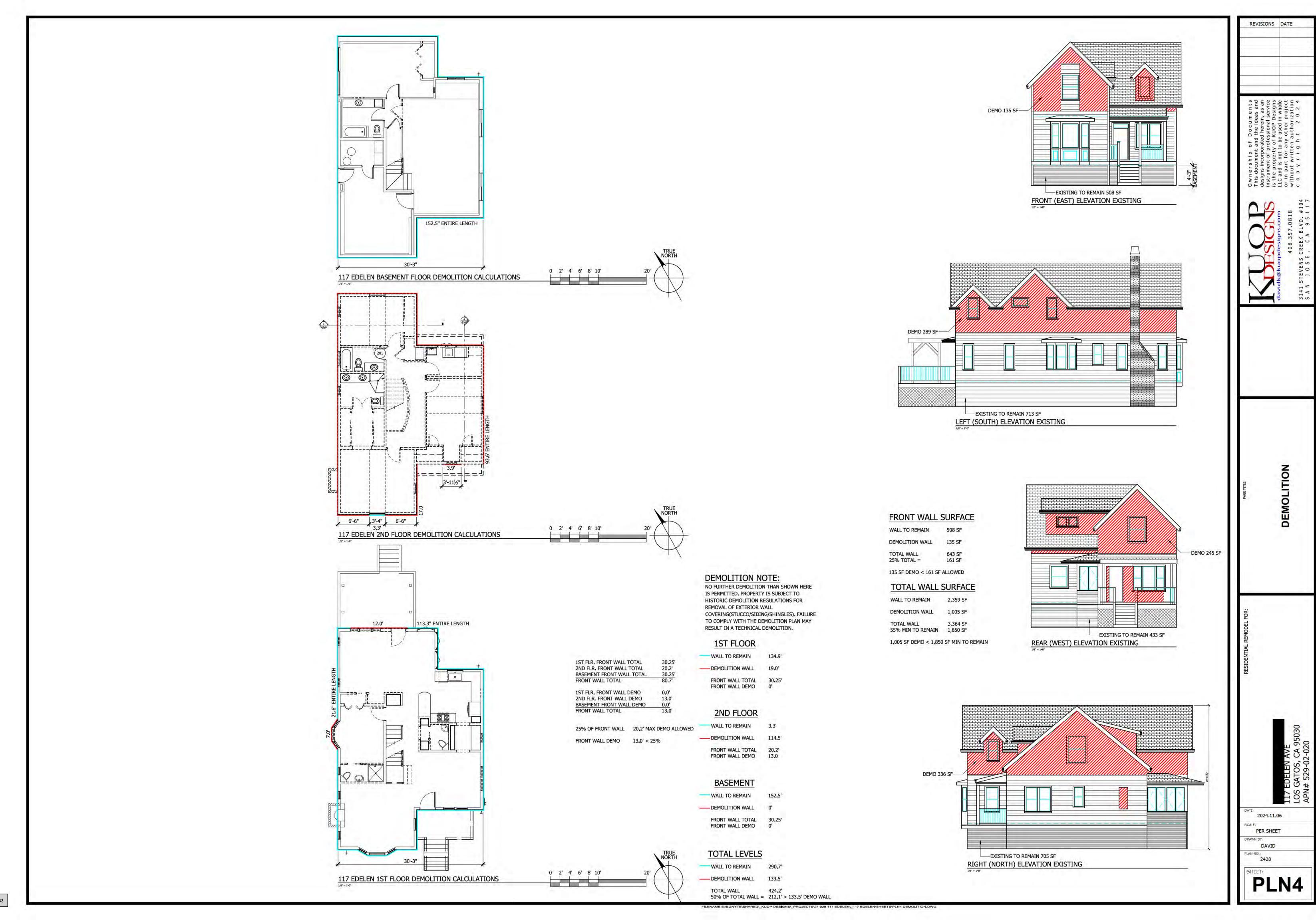
DAVID

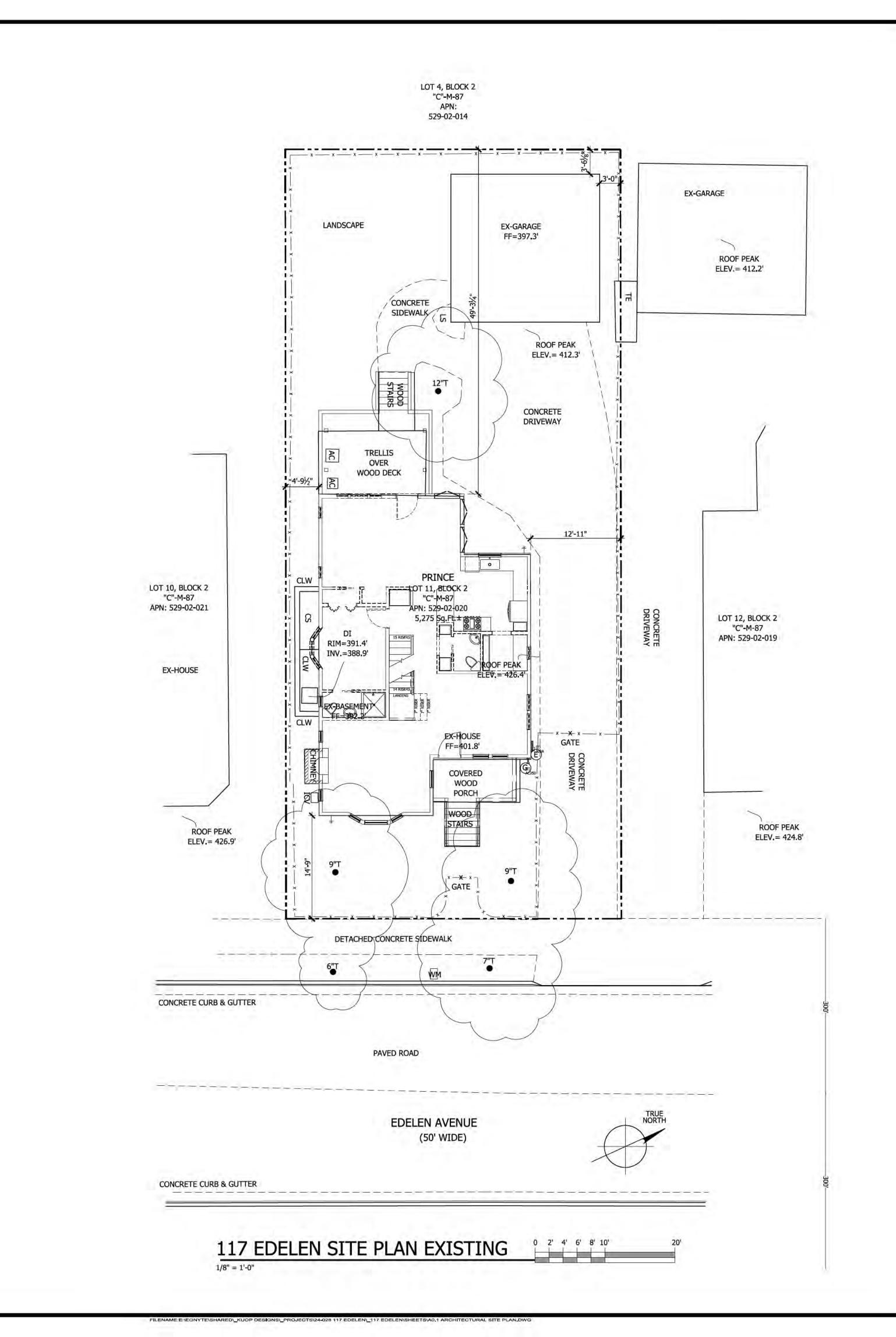
2428

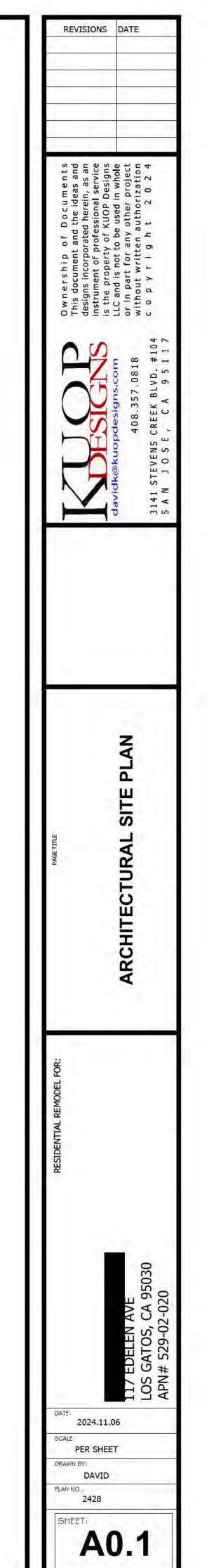


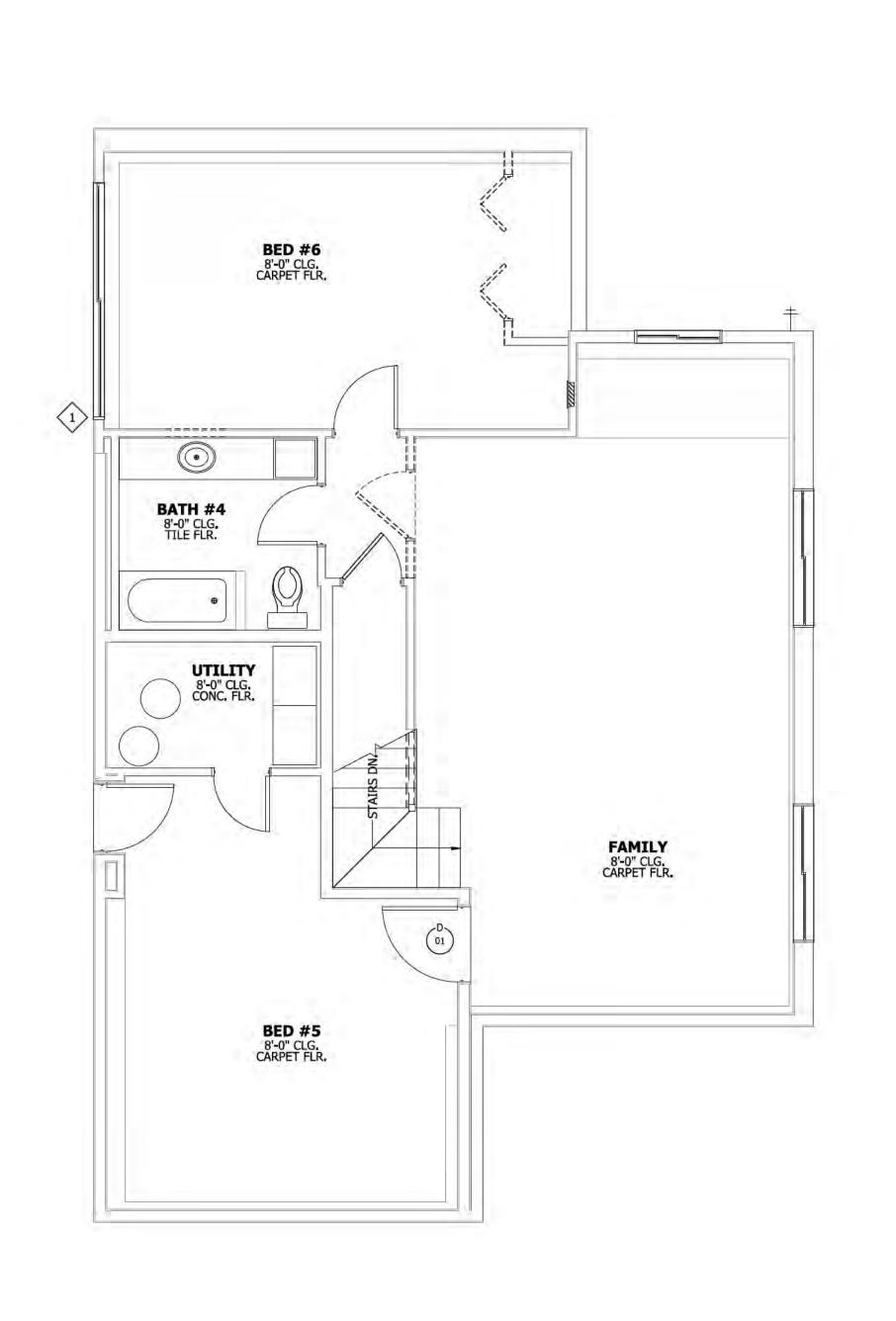




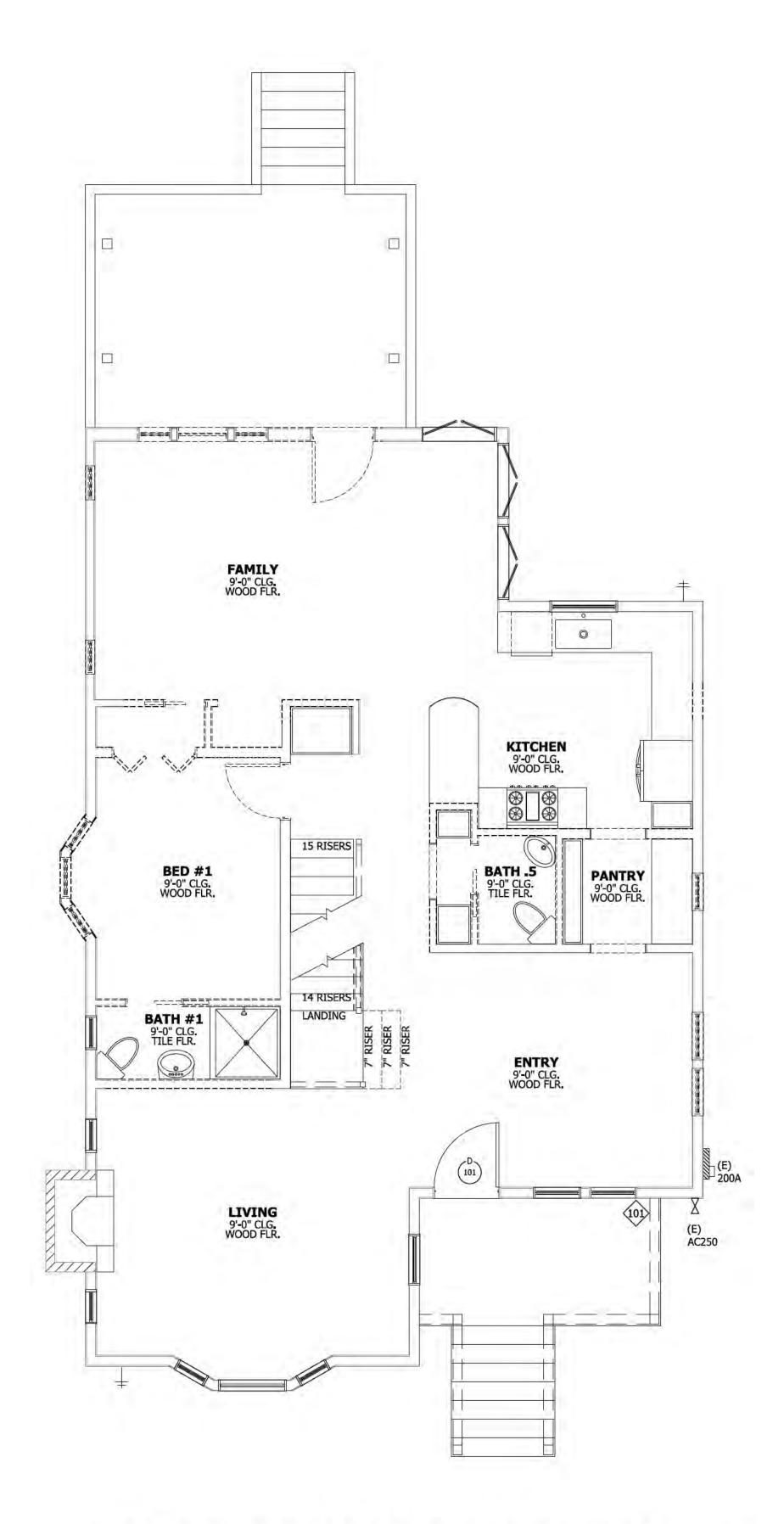








117 EDELEN AVE BASEMENT PLAN EXISTING



117 EDELEN AVE 1ST FLOOR PLAN EXISTING

1/4" = 1'-0"

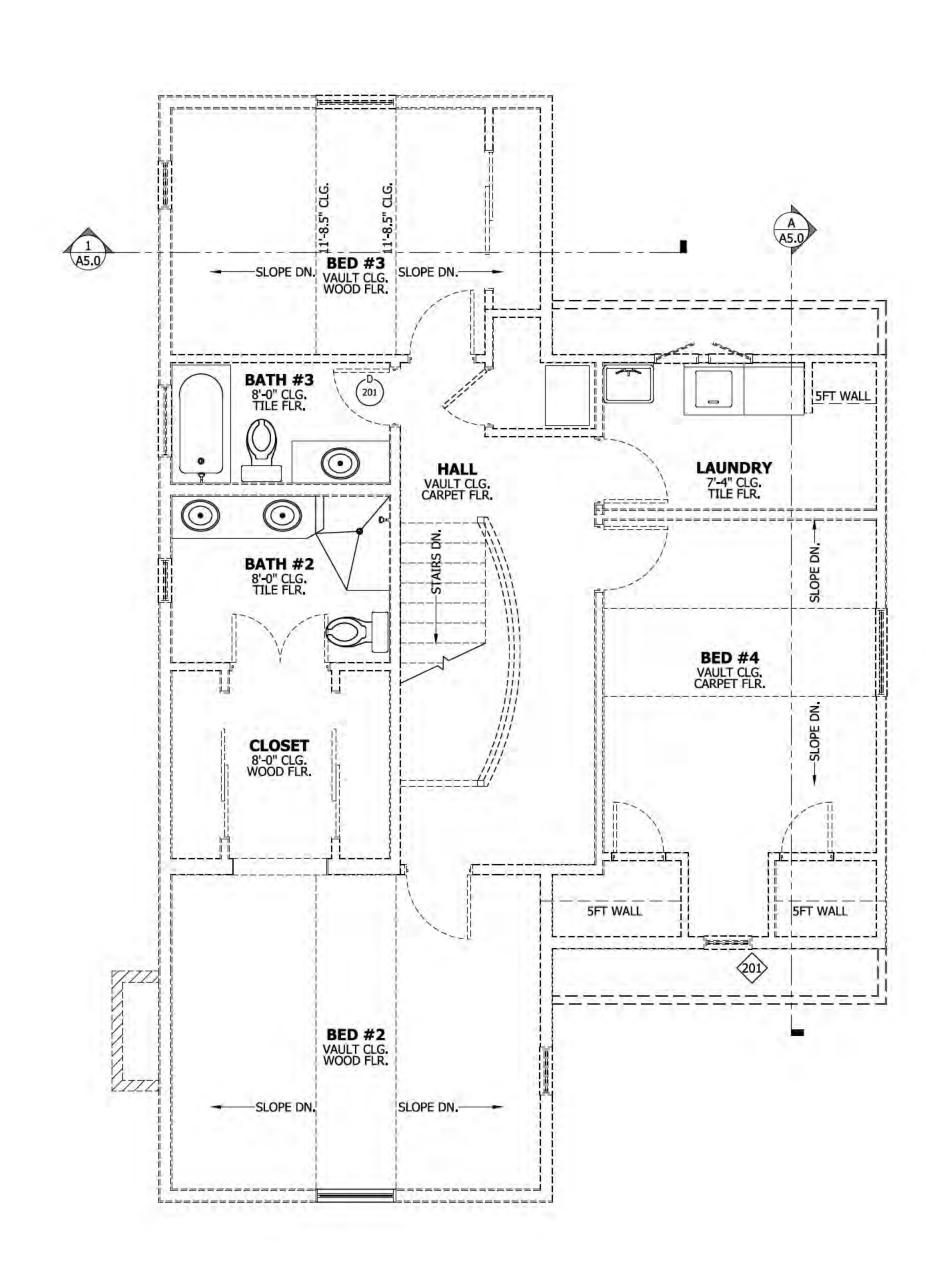
Page 245

2024.11.06 PER SHEET DAVID

REVISIONS DATE

A2.0

2428



10' TRUE NORTH

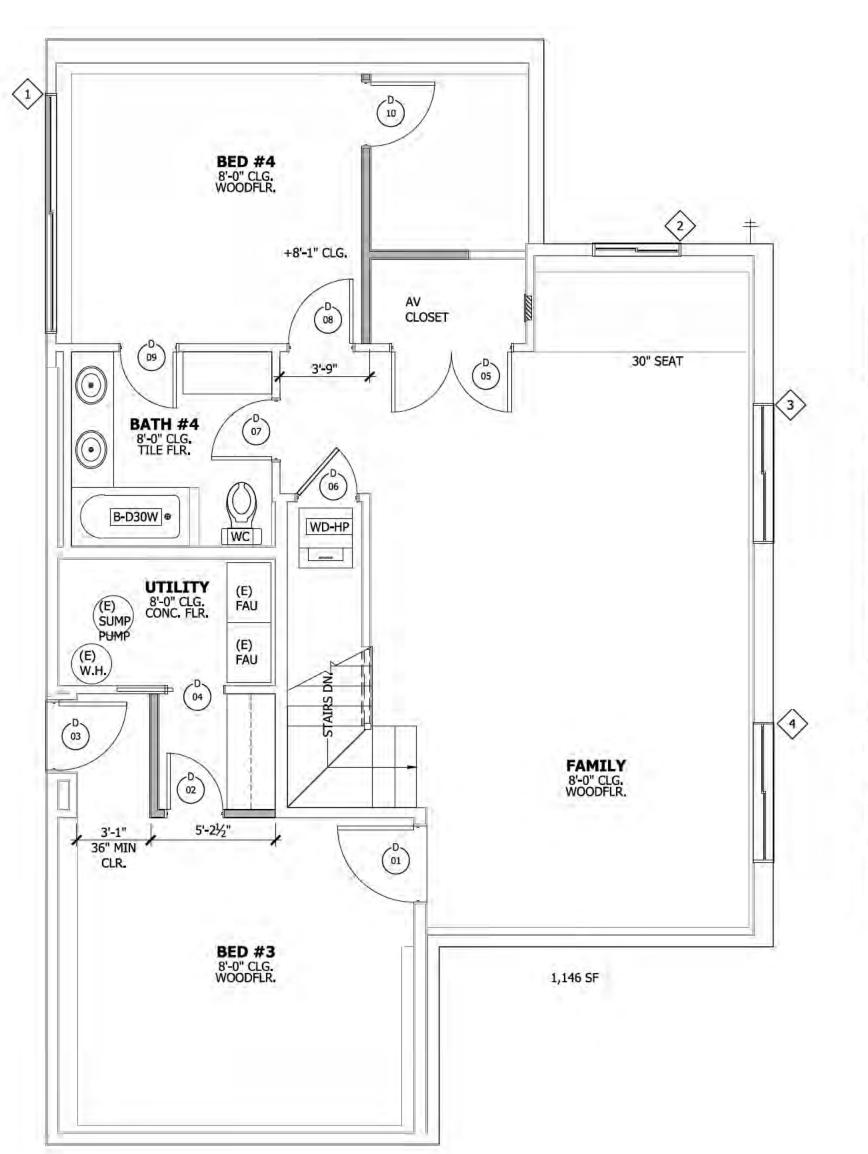
117 EDELEN AVE 2ND FLOOR PLAN EXISTING

0 1' 2' 3'
1/4" = 1'-0"

2024.11.06 PER SHEET DAVID 2428

REVISIONS DATE

. . . .

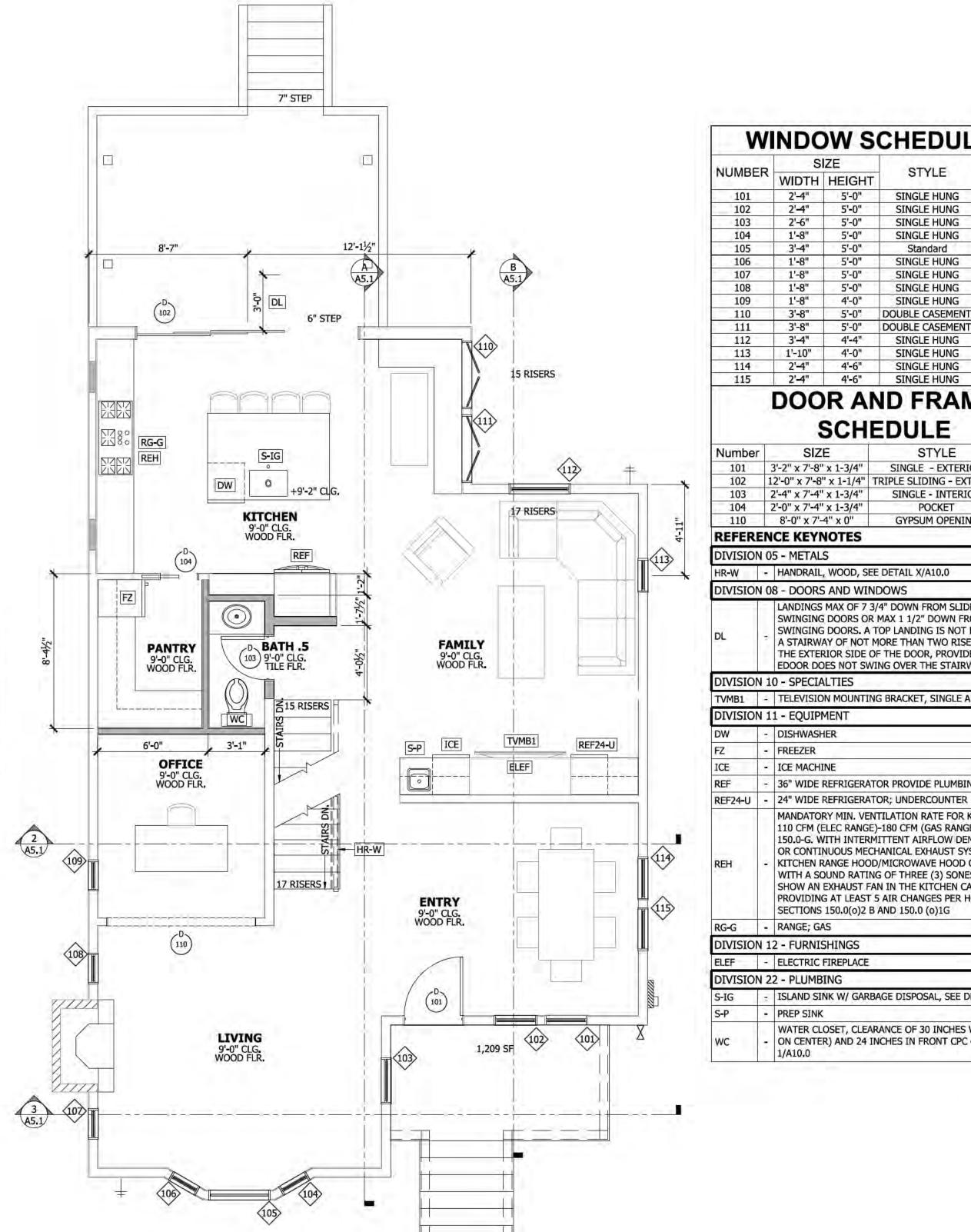




4 5'-10" 2'-4" SLIDER —

DOC	OR AND FI	RAME SC	HEDULE
Number	SIZE	STYLE	NOTES
1	3'-2" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	
2	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	*
3	2'-10" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	
4	2'-4" x 6'-8" x 1-3/4"	POCKET	
5	PR 2'-6" x 6'-8" x 1-3/4"	DOUBLE - INTERIOR	#
6	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	100 SQ IN MAKEUP AIR
7	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	-
8	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	
9	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	- od⊕o
10	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	71 <u>4</u> 2 V

REFER	EN	ICE KEYNOTES
DIVISIO	N 1	1 - EQUIPMENT
WD-HP		HEAT PUMP STACKED WASHER AND DRYER. PROVIDE DRAINAGE FOR WASHER AND DRYER. NO VENTILATION REQUIRED
DIVISIO	N 2	2 - PLUMBING
B-D30W	5.	BATHTUB, DROP IN, 30" WIDE X 60" LONG
wc	â	WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0



NUMBER	SIZE		CTVI F	NOTEC
NUMBER	WIDTH	HEIGHT	STYLE	NOTES
101	2'-4"	5'-0"	SINGLE HUNG	144
102	2'-4"	5'-0"	SINGLE HUNG	
103	2'-6"	5'-0"	SINGLE HUNG	L De-
104	1'-8"	5'-0"	SINGLE HUNG	1.542
105	3'-4"	5'-0"	Standard	
106	1'-8"	5'-0"	SINGLE HUNG	-
107	1'-8"	5'-0"	SINGLE HUNG	
108	1'-8"	5'-0"	SINGLE HUNG	-
109	1'-8"	4'-0"	SINGLE HUNG	
110	3'-8"	5'-0"	DOUBLE CASEMENT	1-
111	3'-8"	5'-0"	DOUBLE CASEMENT	
112	3'-4"	4'-4"	SINGLE HUNG	
113	1'-10"	4'-0"	SINGLE HUNG	
114	2'-4"	4'-6"	SINGLE HUNG	-
115	2'-4"	4'-6"	SINGLE HUNG	

#### DOOR AND FRAME SCHEDULE

	3011	LDULL	
Number	SIZE	STYLE	NOTE
101	3'-2" x 7'-8" x 1-3/4"	SINGLE - EXTERIOR	1 - 5-8
102	12'-0" x 7'-8" x 1-1/4"	TRIPLE SLIDING - EXTERIOR	-
103	2'-4" x 7'-4" x 1-3/4"	SINGLE - INTERIOR	1944
104	2'-0" x 7'-4" x 1-3/4"	POCKET	22 344
110	8'-0" x 7'-4" x 0"	GYPSUM OPENING	- Car

#### REFERENCE KEYNOTES

DIVISION 05 - METALS HR-W - HANDRAIL, WOOD, SEE DETAIL X/A10.0

#### DIVISION 08 - DOORS AND WINDOWS

EDOOR DOES NOT SWING OVER THE STAIRWAY.

TVMB1 - TELEVISION MOUNTING BRACKET, SINGLE ARM FOR 66" TV DIVISION 11 - EQUIPMENT

#### - FREEZER ICE MACHINE 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER

110 CFM (ELEC RANGE)-180 CFM (GAS RANGE). CEnC TABLE SHOW AN EXHAUST FAN IN THE KITCHEN CAPABLE OF PROVIDING AT LEAST 5 AIR CHANGES PER HOUR. CEnC SECTIONS 150.0(o)2 B AND 150.0 (o)1G

#### - RANGE; GAS DIVISION 12 - FURNISHINGS

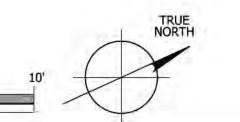
ELEF - ELECTRIC FIREPLACE

### DIVISION 22 - PLUMBING

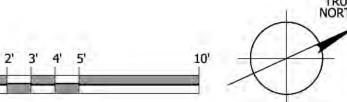
ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 17/A10.0

WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0

117 EDELEN AVE BASEMENT PLAN NEW

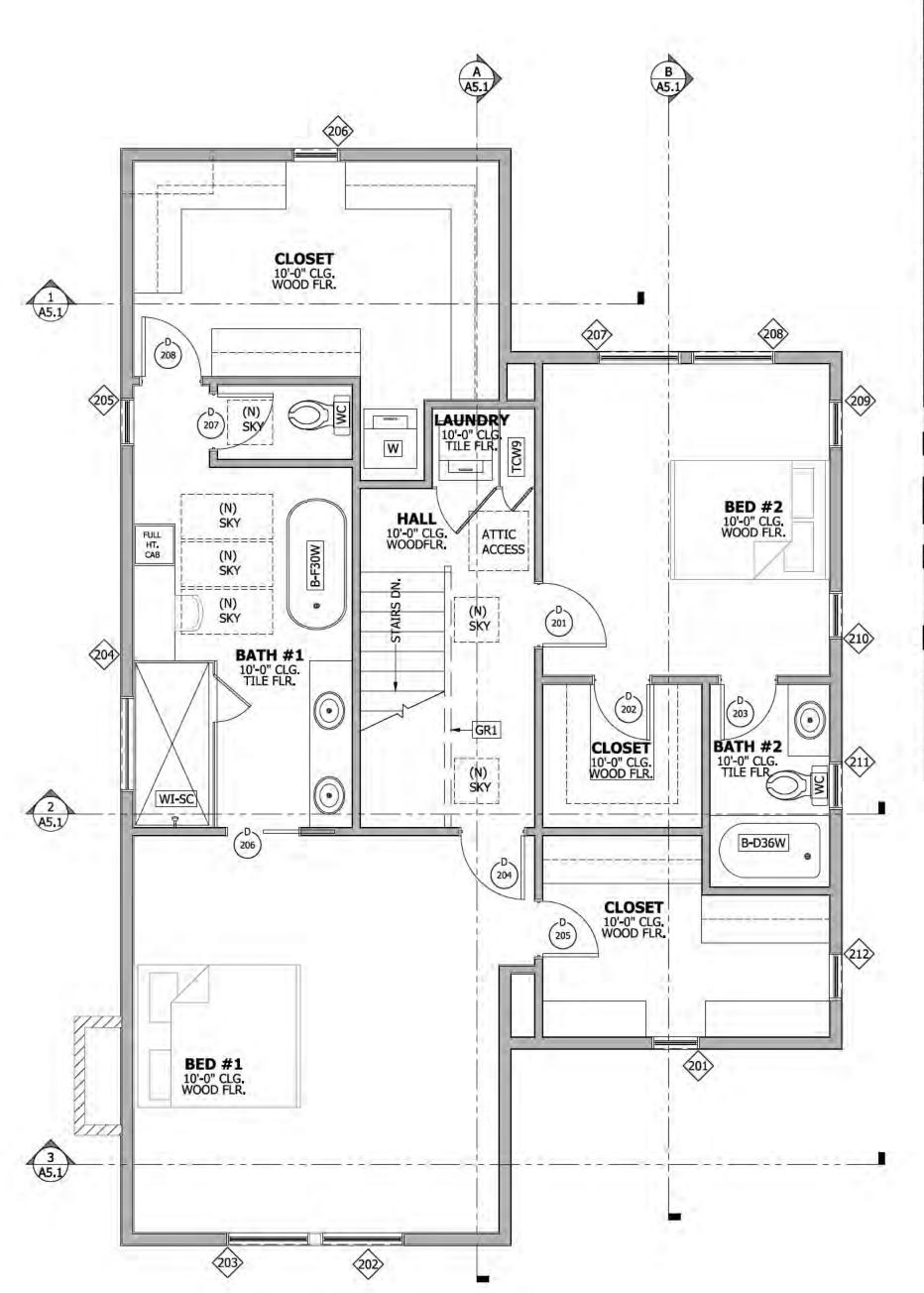


117 EDELEN AVE 1ST FLOOR PLAN NEW



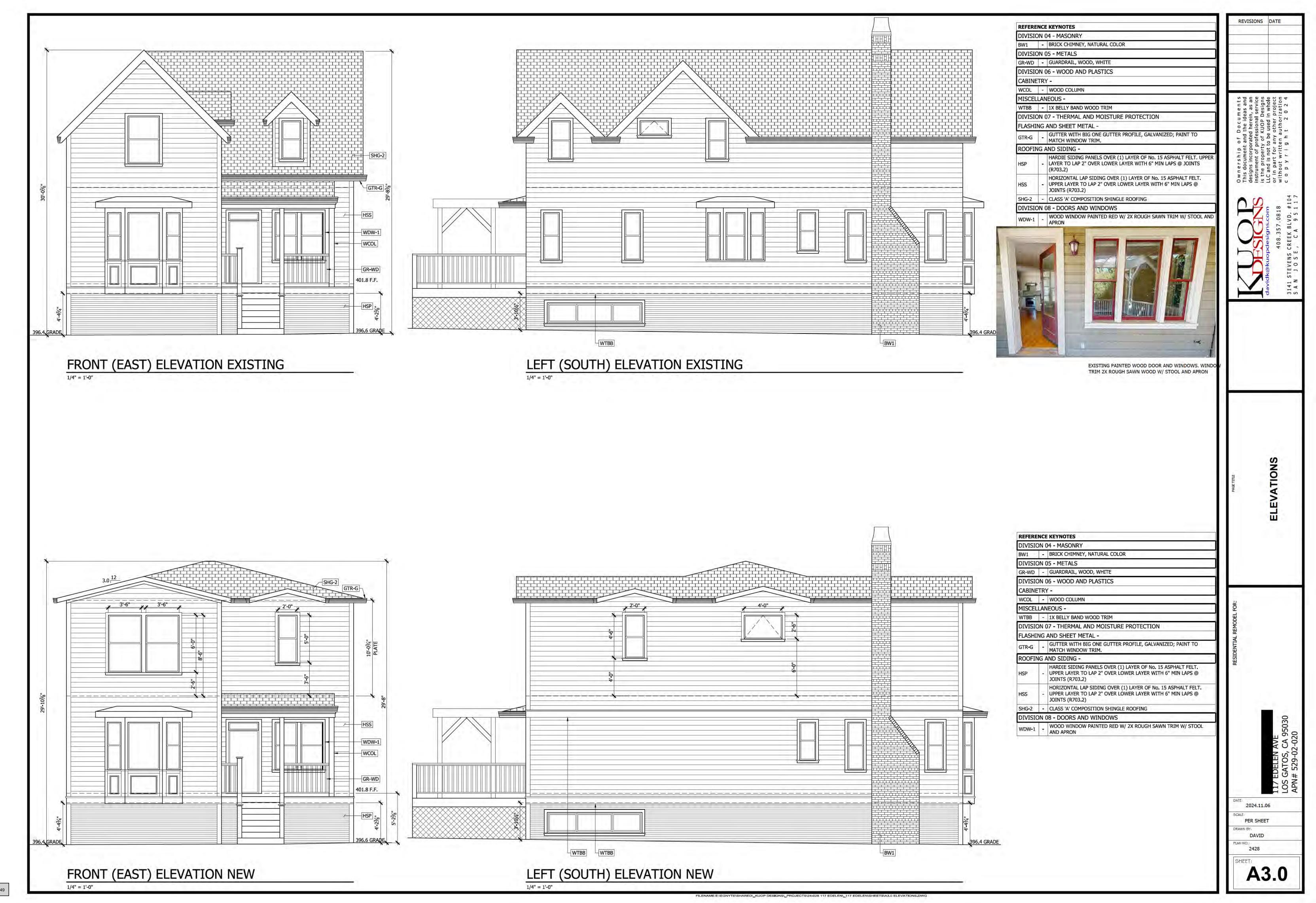
REVISIONS DATE

2024.11.06 PER SHEET DAVID 2428



AH IN APPL		SIZE		OTM E	NOTEO
NUMB	EK	WIDTH	HEIGHT	STYLE	NOTES
201		2'-0"	4'-0"	SINGLE HUNG	
202		3'-6"	5'-0"	SINGLE HUNG	
203		3'-6"	5'-0"	SINGLE HUNG	L.Sec.
204	-	4'-0"	2'-0"	AWNING	The same of
205		2'-0"	4'-0"	SINGLE HUNG	-
206		2'-0"	4'-0"	SINGLE HUNG	- u <del>- u</del> ac 1
207		3'-6"	5'-0"	SINGLE HUNG	
208		3'-6"	5'-0"	SINGLE HUNG	-
209		2'-0"	4'-6"	SINGLE HUNG	i i
210		2'-0"	4'-6"	SINGLE HUNG	
211		2'-0"	4'-6"	SINGLE HUNG	1
212		2'-0"	4'-6"	SINGLE HUNG	
Numbe		SIZE		STYLE	NOTE
201	_			INGLE - INTERIO	R
202	_	'-4" x 6'-8"	the second second second second	INGLE - INTERIO	R
203		'-4" x 6'-8"	the state of the s	INGLE - INTERIO	
204		'-8" x 6'-8"		INGLE - INTERIO	
205	_	'-4" x 6'-8"		INGLE - INTERIO	R
206		'-0" x 6'-8"		POCKET	(+-)
207		'-4" x 6'-8"		INGLE - INTERIO	
208	100	'-6" x 6'-8"	KIN WINE	INGLE - INTERIO	R
		CE KEYN			
	-	5 - METAL		17. 4.114.0.0	
GR1	_			AIL 14/A10.0	
	N O	5 - WOOD	AND PLAS	STICS	
A					
DIVISIO CABINE	TRY	ë			
A	TRY -		NET, WOOD	, 9" DEEP W/ ADJI	JSTABLE SH
CABINE TCW9	-6"			, 9" DEEP W/ ADJI	JSTABLE SH
CABINE TCW9	-6"	TALL CABII 1 - EQUIPI	MENT	, 9" DEEP W/ ADJI	
CABINE TCW9 DIVISIO	-6"	TALL CABII 1 - EQUIPI CLOTHES D 9/A10.0	MENT DRYERJ W/ I		BOX. SEE D
CABINE TCW9 DIVISIO D W	N 1	TALL CABII 1 - EQUIPI CLOTHES D 9/A10.0	MENT DRYERJ W/ I WASHER W/	RECESSED DRYER	BOX. SEE D
CABINE TCW9 DIVISIO D W	N 1	TALL CABII  1 - EQUIP! CLOTHES D 9/A10.0 CLOTHES V 2 - PLUMB	MENT DRYERJ W/ I VASHER W/ ING	RECESSED DRYER	BOX. SEE DI
CABINE TCW9 DIVISIO D W DIVISIO	N 1	TALL CABII 1 - EQUIPI CLOTHES D 9/A10.0 CLOTHES V 2 - PLUMB BATHTUB,	MENT PRYERJ W/ I WASHER W/ ING DROP IN, 3	RECESSED DRYER RECESSED WASH	BOX. SEE D ING MACHIN
CABINE TCW9 DIVISIO D W DIVISIO B-D30W	N 1:	TALL CABIN 1 - EQUIPM CLOTHES OF 9/A10.0 CLOTHES OF 2 - PLUMB BATHTUB, BATHRUB, WATER CLO INCHES ON	MENT  PRYERJ W/ I  VASHER W/  ING  DROP IN, 30  FREESTAND  DSET, CLEA	RECESSED DRYER RECESSED WASH 0" WIDE X 60" LOF DING, 30" WIDE X RANCE OF 30 INCH	BOX. SEE DI ING MACHIN NG 66" LONG HES WIDE (1

117 EDELEN AVE 2ND FLOOR PLAN NEW







RIGHT (NORTH) ELEVATION EXISTING

REFERENCE KEYNOTES DIVISION 04 - MASONRY

DIVISION 05 - METALS

WCOL - WOOD COLUMN

CABINETRY -

MISCELLANEOUS -

BW1 - BRICK CHIMNEY, NATURAL COLOR

GR-WD - GUARDRAIL, WOOD, WHITE DIVISION 06 - WOOD AND PLASTICS

WTBB - 1X BELLY BAND WOOD TRIM

JOINTS (R703.2)

JOINTS (R703.2)

DIVISION 08 - DOORS AND WINDOWS

SHG-2 - CLASS 'A' COMPOSITION SHINGLE ROOFING

FLASHING AND SHEET METAL -

ROOFING AND SIDING -

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

GUTTER WITH BIG ONE GUTTER PROFILE, GALVANIZED; PAINT TO MATCH WINDOW TRIM.

HARDIE SIDING PANELS OVER (1) LAYER OF No. 15 ASPHALT FELT.
UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @

HORIZONTAL LAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT. UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @

WOOD WINDOW PAINTED RED W/ 2X ROUGH SAWN TRIM W/ STOOL

REFERENCE KEYNOTES **DIVISION 04 - MASONRY** 

DIVISION 05 - METALS

WCOL - WOOD COLUMN

MISCELLANEOUS -

BW1 - BRICK CHIMNEY, NATURAL COLOR

GR-WD - GUARDRAIL, WOOD, WHITE DIVISION 06 - WOOD AND PLASTICS

WTBB - 1X BELLY BAND WOOD TRIM

JOINTS (R703.2)

DIVISION 08 - DOORS AND WINDOWS

SHG-2 - CLASS 'A' COMPOSITION SHINGLE ROOFING

FLASHING AND SHEET METAL -

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

GUTTER WITH BIG ONE GUTTER PROFILE, GALVANIZED; PAINT TO

HARDIE SIDING PANELS OVER (1) LAYER OF No. 15 ASPHALT FELT, UPPER UNPER LOYERPIX) OMER LOWER LOWER WAYERSWIPIN 6/APENOLAGENOS

HORIZONTAL LAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT.
UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @

WOOD WINDOW PAINTED RED W/ 2X ROUGH SAWN TRIM W/ STOOL AND

EXISTING PAINTED WOOD DOOR AND WINDOWS. WINDOW TRIM 2X ROUGH SAWN WOOD W/ STOOL AND APRON



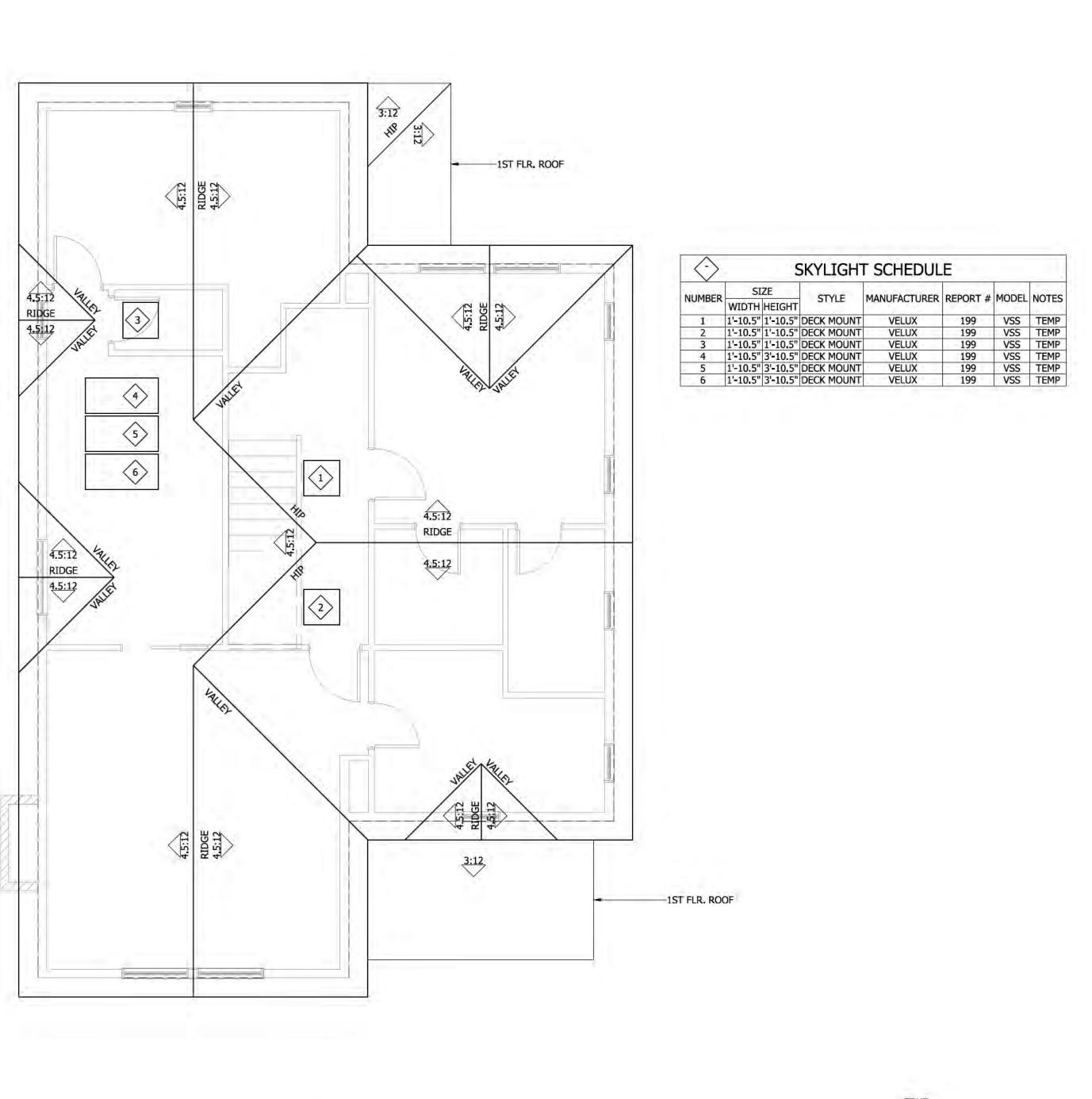
REAR (WEST) ELEVATION NEW

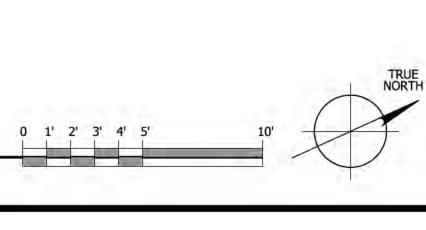


RIGHT (NORTH) ELEVATION NEW

2024.11.06 PER SHEET DAVID 2428

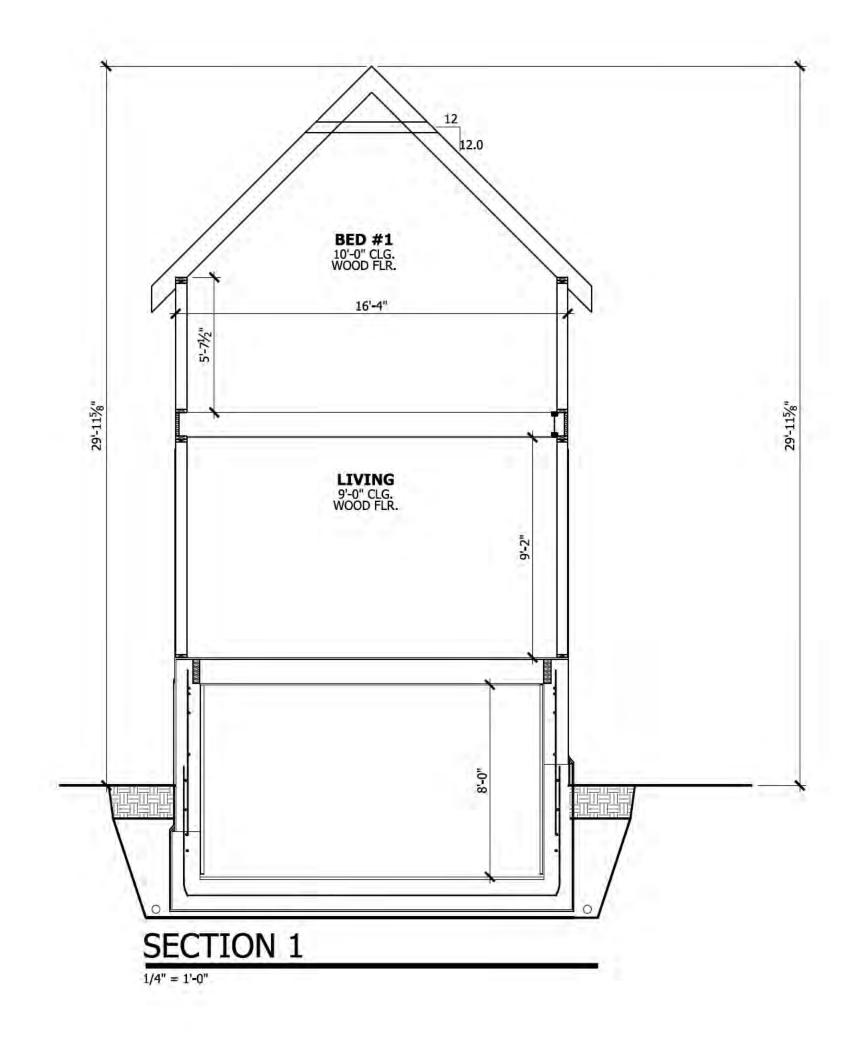
REVISIONS DATE

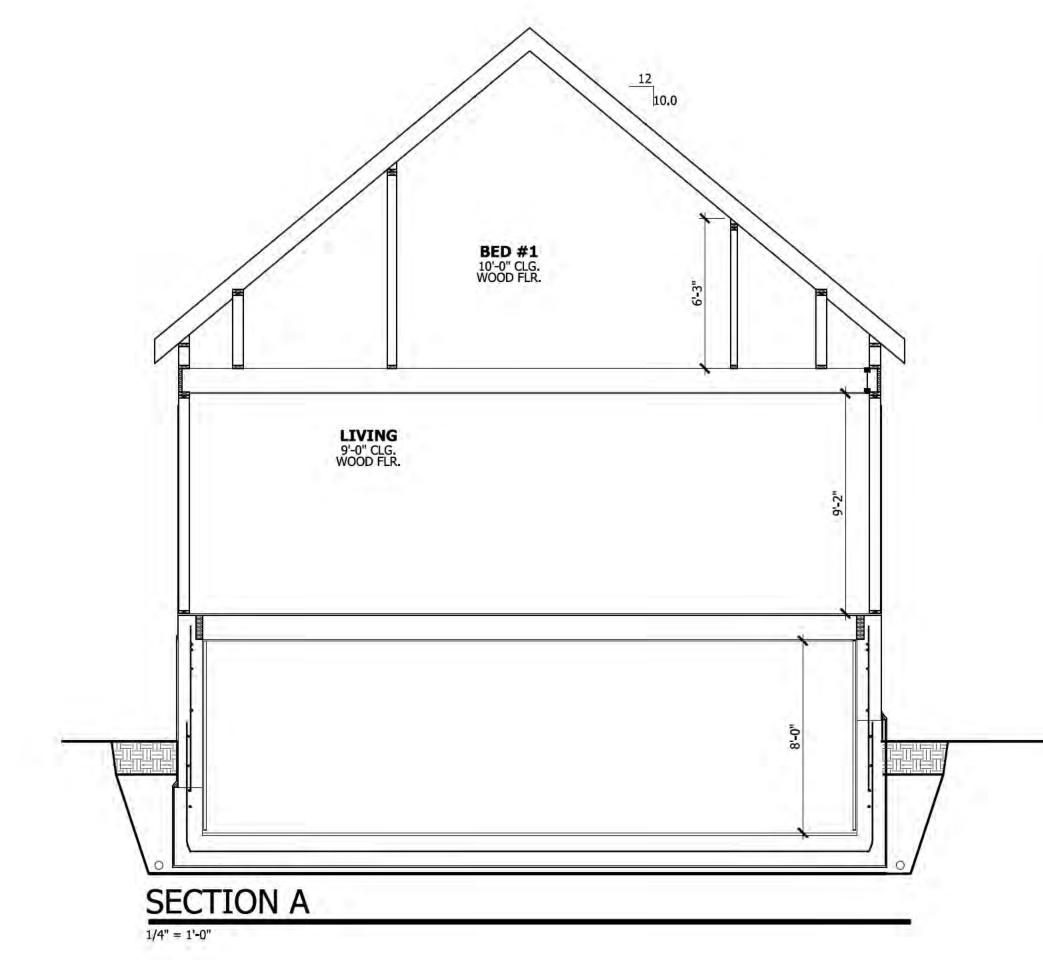


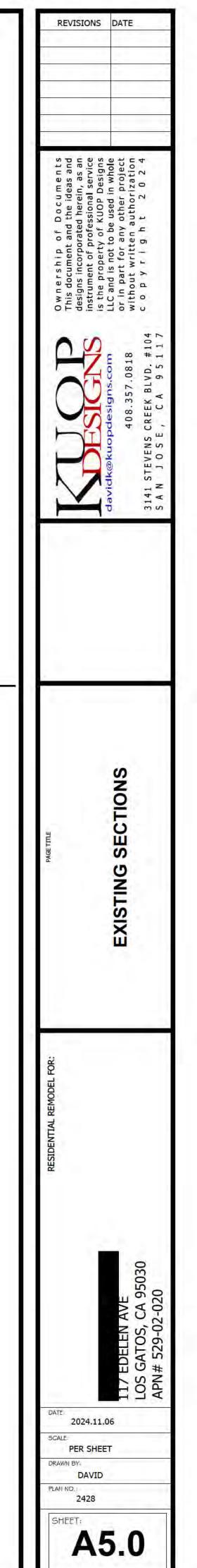


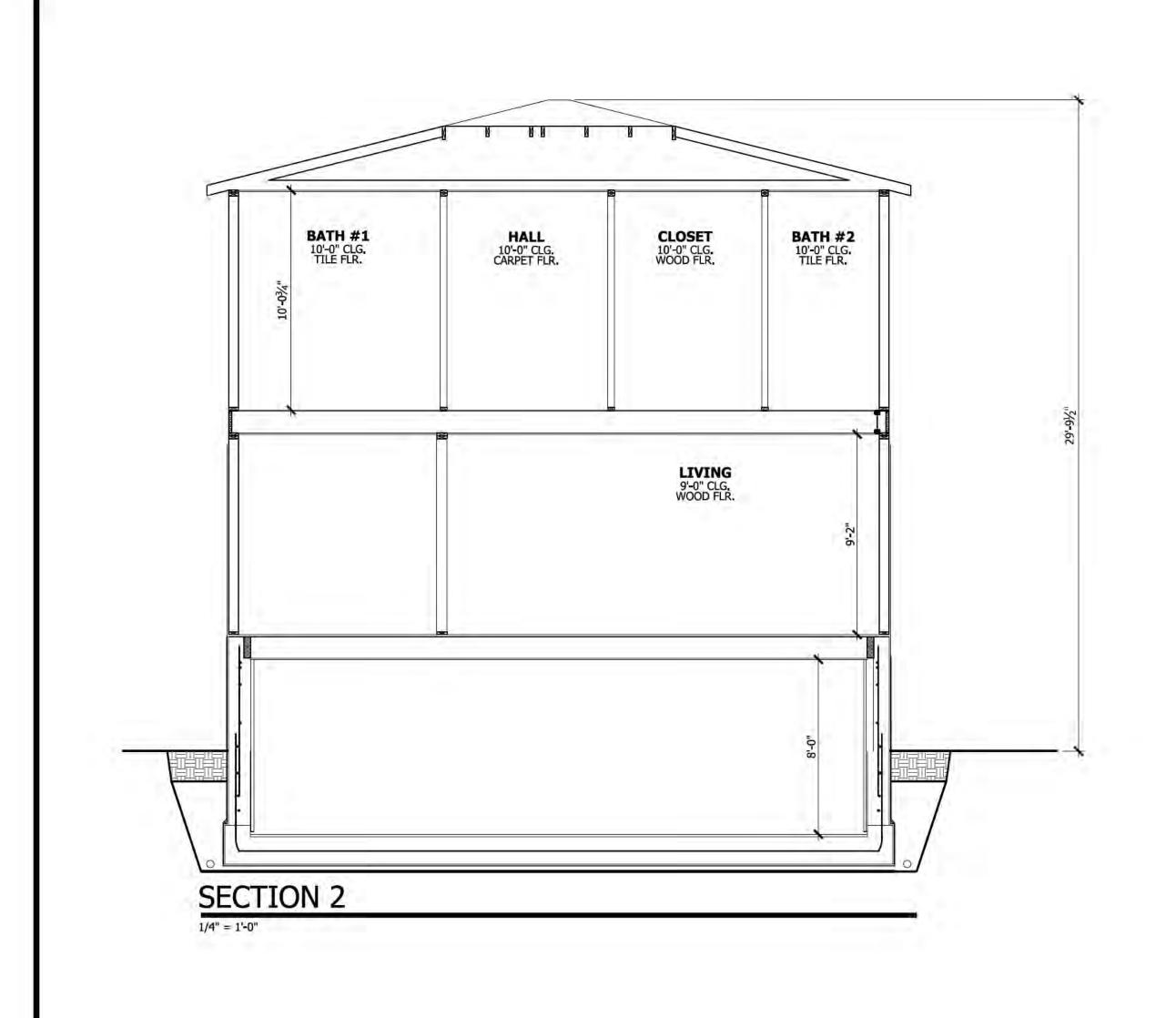


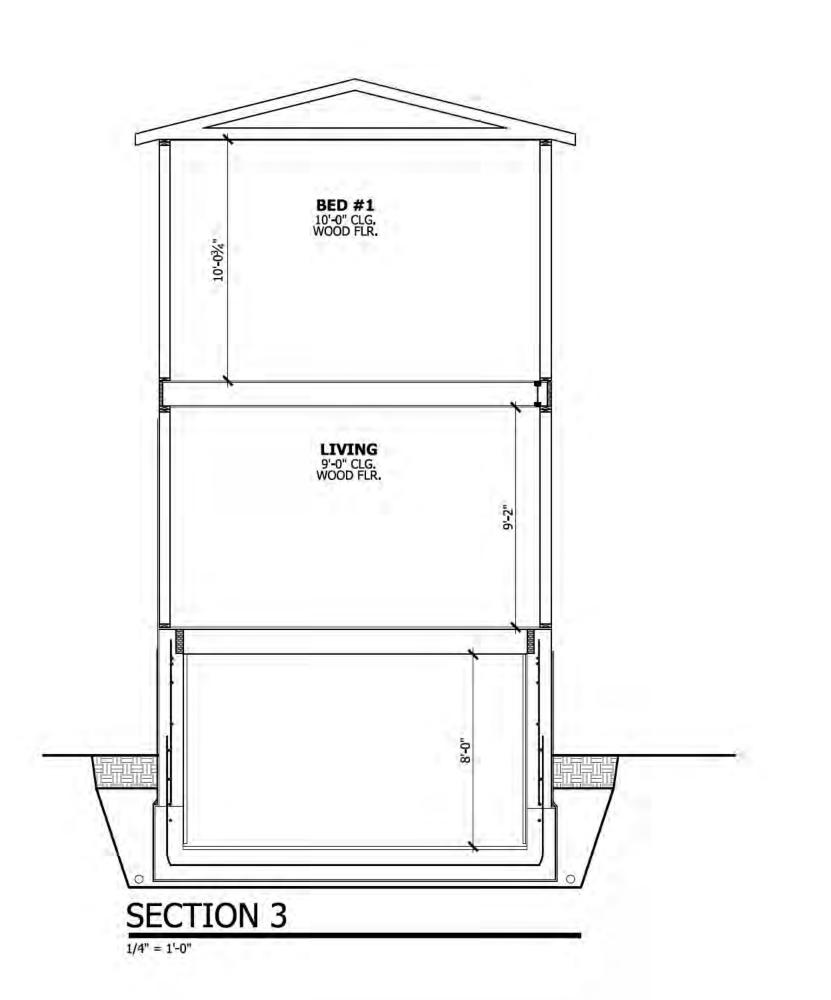
117 EDELEN AVE ROOF PLAN

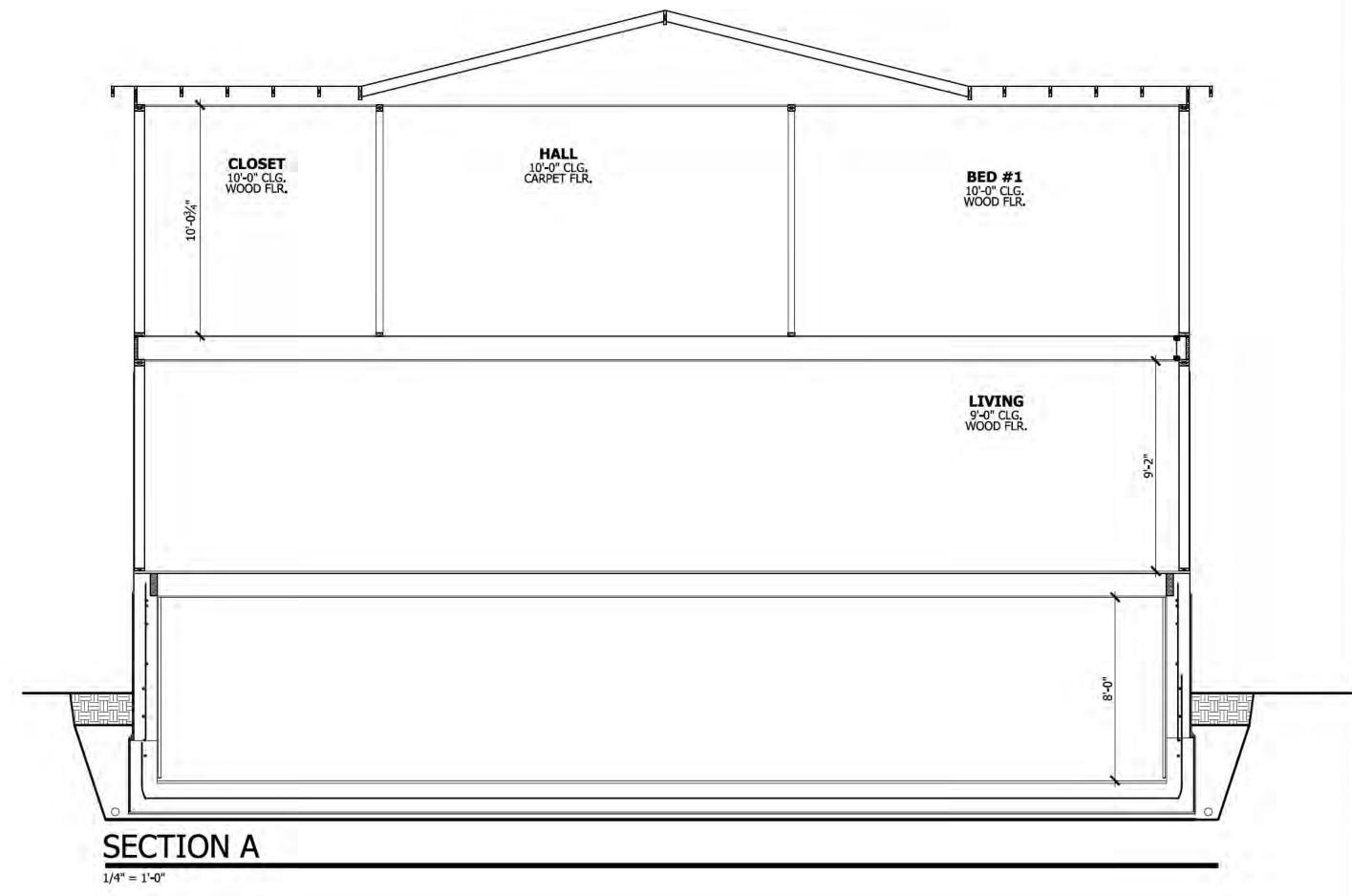


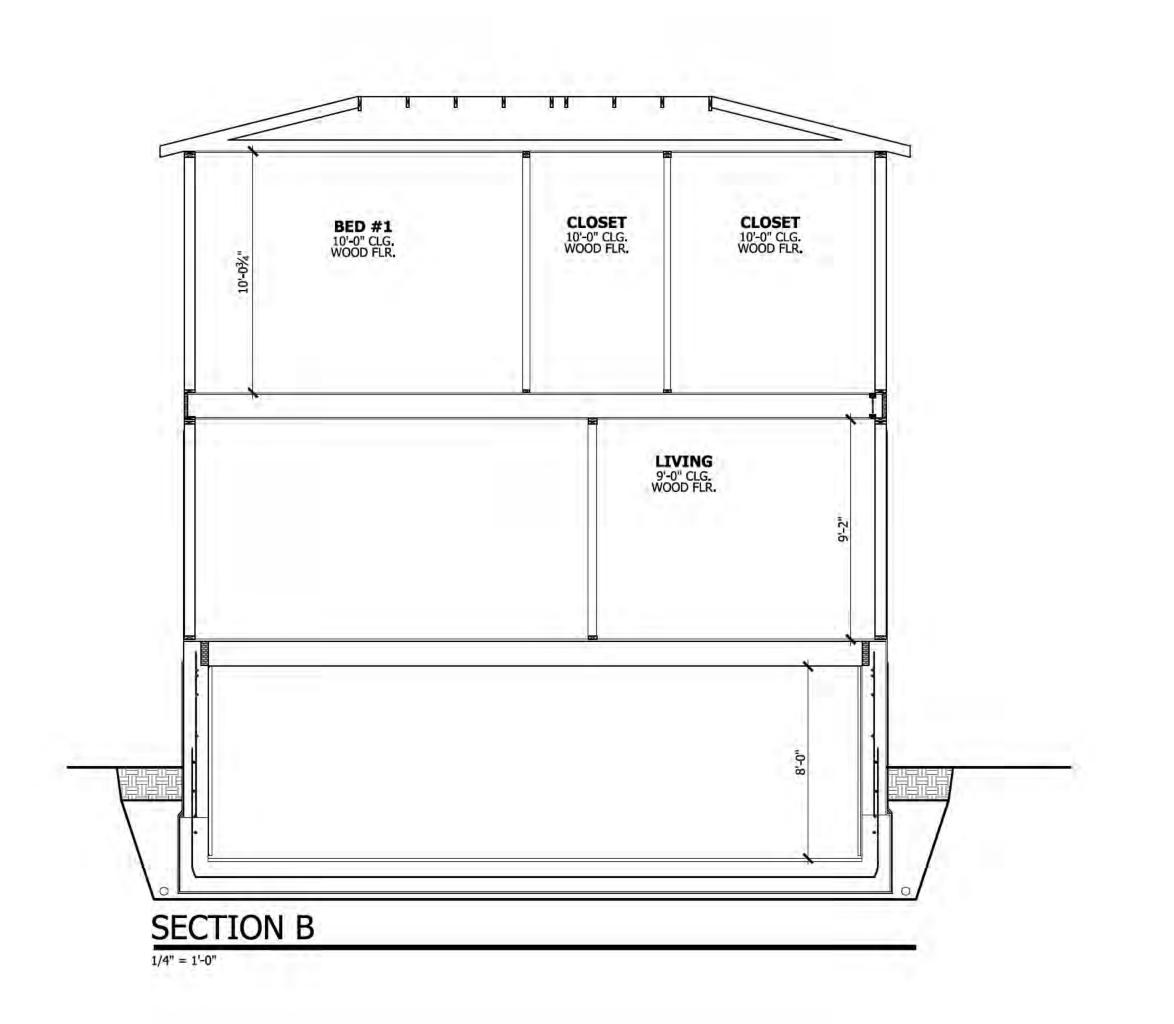


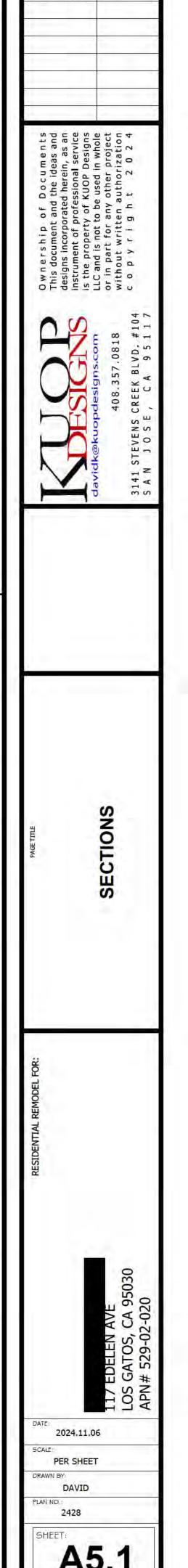












REVISIONS DATE



# TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

MEETING DATE: 06/25/2025

ITEM NO: 5

DATE: June 20, 2025

TO: Historic Preservation Committee (HPC)

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Construct Exterior Alterations to an

Existing Contributing Single-Family Residence in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 68 Broadway.** APN 510-45-085. Request for Review HS-25-031. Exempt Pursuant to CEQA Guidelines,

Section 15301: Existing Facilities. Property Owner/Applicant: Marc

Dubresson. Project Planner: Samina Merchant.

#### **RECOMMENDATION:**

Consider a request for approval to construct exterior alterations to an existing contributing single-family residence in the Broadway Historic District on property zoned R-1D:LHP located at 68 Broadway.

#### **PROPERTY DETAILS:**

- 1. Date primary structure was built: 1935 per County Assessor; 1920s per Anne Bloomfield Survey
- 2. Bloomfield Preliminary Rating: + Historic and intact or worthy of special note
- 3. Does property have an LHP Overlay? Yes
- 4. Is structure in a historic district? Yes, Broadway Historic District
- 5. If yes, is it a contributor? Yes
- 6. Findings required? No
- 7. Considerations required? Yes

#### **BACKGROUND:**

The Santa Clara County Assessor's Database lists a construction date of 1935 for the existing residence. The 1990 Anne Bloomfield Survey describes the residence as being built in the 'Hansel & Gretel' style with an estimated construction date of the 1920s (Attachment 1). The Bloomfield Survey rates the residence as historic and intact or worthy of special note. The Sanborn Fire Insurance Maps show that the footprint of the residence remained consistent

PREPARED BY: Samina Merchant

Associate Planner

PAGE 2 OF 4

SUBJECT: 68 Broadway/ HS-25-031

DATE: June 20, 2025

between 1928 and 1956 (Attachment 2). The applicant submitted documents based on their findings from the research worksheet, which are included in Attachment 3.

The following is a summary of the Town Records in Attachment 4:

- 1. 1984: M-84-22 Subdivision and Lot Line Adjustment resulting in four separate lots seen today as 72 & 68 Broadway and 305 & 307 W Main Street;
- 2. 1988: S-88-22 Living area expansion on right side;
- 3. 1989 Earthquake damage repairs included remodeling the home with a larger kitchen, master suite, traditional staircase, reuse of fallen brick for patio and walkways, a new pool, and cellar;
- 4. 1992 HPC approval to construct a carport; and
- 5. 2011: HS-11-035 HPC approved renovations to the front elevation to remove an existing door and replace it with a window to match the existing.

#### **DISCUSSION**:

The applicant submitted project plans and photos of the existing residence showing a proposal to remodel a portion of the first-floor area within the existing building footprint (Attachment 7). The exterior alterations include replacing the existing aluminum sliding door on the rear elevation with a new 16-foot-wide folding door system (see Sheet D.2), featuring an interior wood finish and exterior aluminum cladding. The exterior finish would be powder-coated in a brown color to match the existing trellis at the rear patio (photo reference on Sheet D.1). On the northwest (left side) elevation, two existing windows would be removed and replaced with one new wood window to match the existing windows in style and color (Sheet D.1). All trim would match the original style and the existing stucco siding and horizontal brick veneer would remain in place.

#### **CONCLUSION**:

The applicant is requesting approval to construct exterior alterations to an existing contributing single-family residence in the Broadway Historic District on property zoned R-1D:LHP. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The application would continue through the Building Permit process and would not return to the Committee.

PAGE **3** OF **4** 

SUBJECT: 68 Broadway/ HS-25-031

DATE: June 20, 2025

#### **CONSIDERATIONS:**

#### A. Considerations.

#### Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

X In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

B. Residential Design Guidelines.

Sections 4.8.3 & 4.8.4 of the Town's Residential Design Guidelines offer recommendations relative to windows and doors located in Historic Districts and/or on historic properties (Attachment 6).

#### **ATTACHMENTS**:

- 1. 1990 Anne Bloomfield Survey
- 2. Sanborn Fire Maps
- 3. Applicant's Research
- 4. Town Planning & Building Records
- 5. Existing Exterior Elevation Photo
- 6. Section 4.8.3 & 4.8.4, Residential Design Guidelines
- 7. Proposed Plans

This Page Intentionally Left Blank

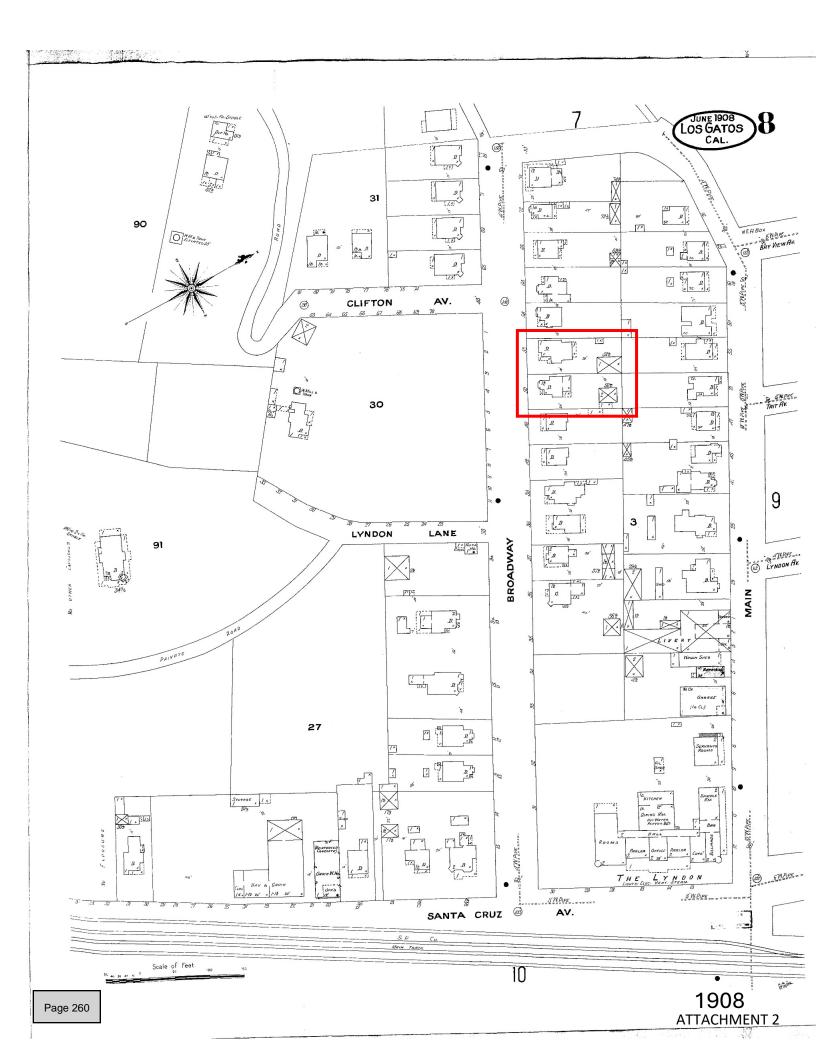
# Anne Bloomfield Anne Bloomfield SAN FRANCISCO

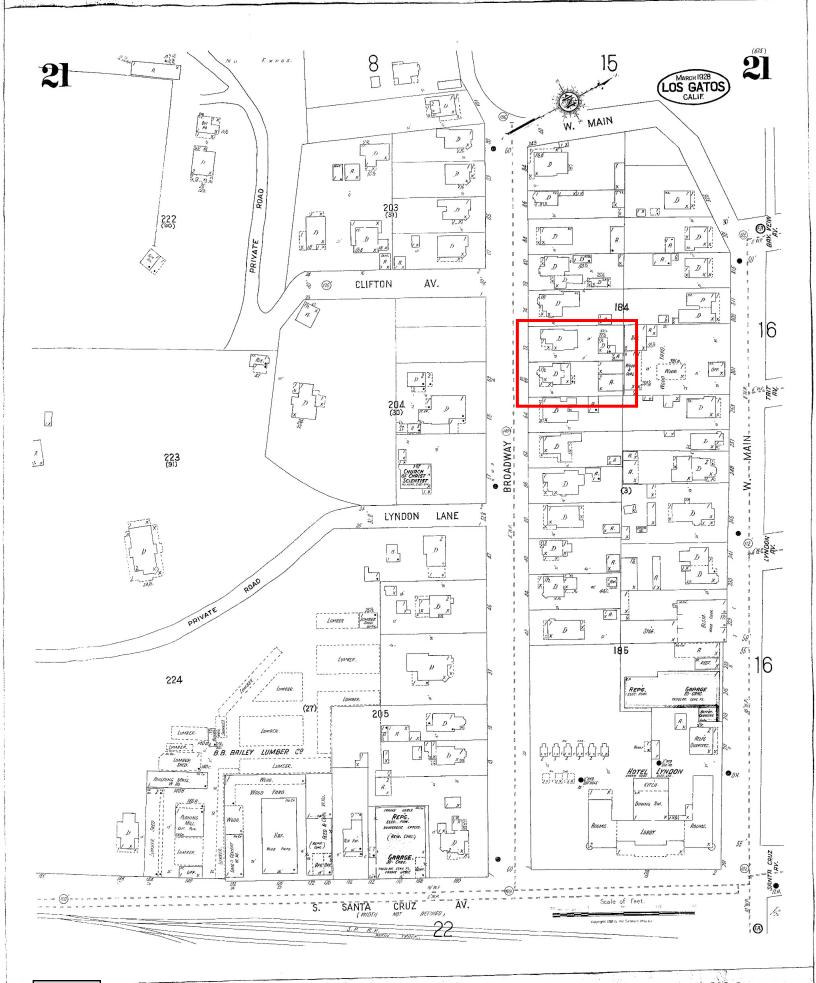
ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO, CA 94115

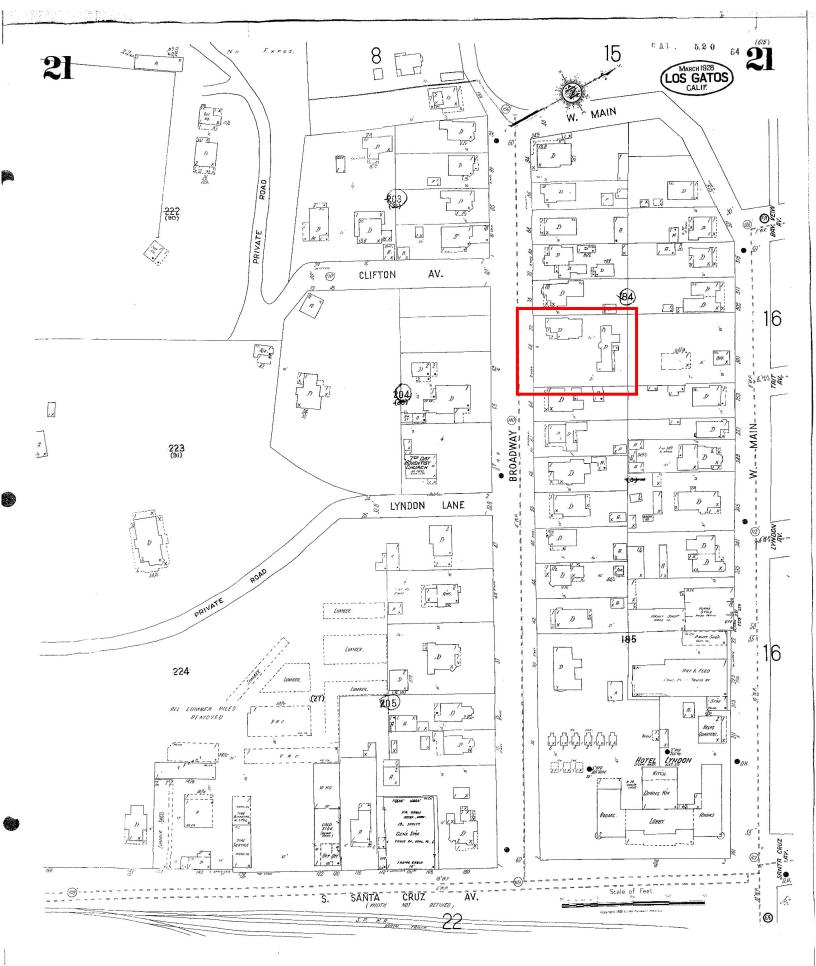
# ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

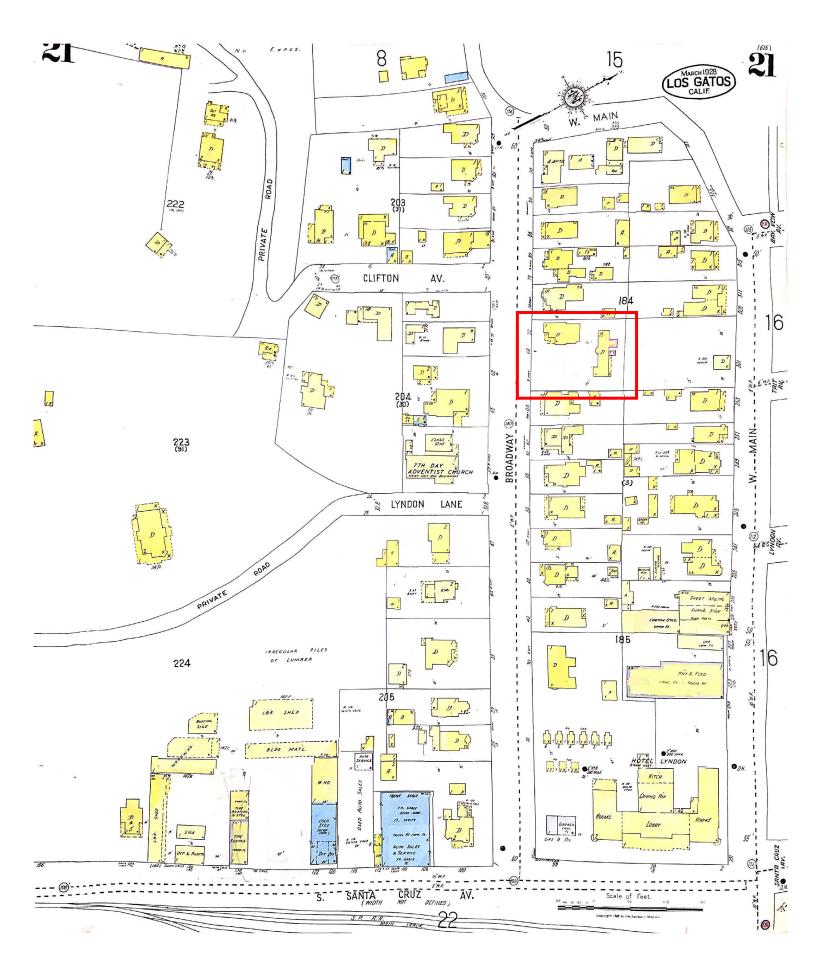
	e address	66	Broadway	1		
PARCEL MAP	INFORMA	TION	,		10011	
Parcel #_	510 - 4	5-065	5 I	ot size:	31 from	nt ft. x <u>/77</u> ft. deep
Lot shape:	Rectang	le L_	Rectangle v	with small	rear jog_	Other
Location:	N_ S_	E W	side of	B		St Ave Other
	distance	to cros	s st:	ft. N	S E V	<u></u>
			at NEN	W SE	_ SW cor	ener of
HISTORIC I	NFORMATI	ON ON PA	RCEL MAP			
Old tract	or subdi	vision n	ame Julyndon	15 Sub 01	d Block #_	3 Old lot # 2/4 ptn 22
FIELD SURV	EY INFOR	MATION (	handwritten in	red)	7	
Preliminar	y rating	+	Estimated age_	19205	Style Hans	elt Gretel # stories
Alteration	ıs					
Other 1/2	26 Mo	ineaux	"			
COUNTY ASS	ESSORP	ROPERTY	CHARACTERISTICS	G (paste o	n copy) Pa	ge EFFective date
OWNERSHIP						
Source	Source	Source	Location of pr			Owner Name
Source	Source Date	Source	Location of problem 01d:tract/bloc		r Lot Size	Owner Name
Source Name	Source Date	Source				
Source Name	Source <u>Date</u>   1891   1908	Source				
Source Name	Source Date	Source				
Source Name	Source <u>Date</u>   1891   1908	Source				
Source Name	Source <u>Date</u>   1891   1908	Source				
Source Name  Blk Book Survey	Source <u>Date</u> 1891 1908 1941	Source			Size	Name
Source Name  Blk Book Survey  MISCELLANE National R	Source Date  1891  1908  1941  OUS Legister	Source Page		ck/lot	Size	
Source Name  Blk Book  Survey  MISCELLANE National R County Inv	Source Date  1891  1908  1941  COUS Cegister centory 1	Source Page	Old:tract/bloc	ck/lot	Size	Name
Source Name  Blk Book  Survey  MISCELLANE National R County Inv Town of Lo	Source Date  1891  1908  1941  OUS egister entory 1 s Gatos:	listed d	Old:tract/bloc	nition	Size	Name
Blk Book  Survey  MISCELLANE National R County Inv Town of Lo Distric Previou	Source Date 1891 1908 1941  OUS legister entory 1 is Gatos: it Name as Survey	listed d	ateRecogn	nition	Size	Name

This Page Intentionally Left Blank









1956

## TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE HISTORIC RESEARCH WORKSHEET



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The applicant shall research the following (please check the box once you complete your

V (1.	)LOS Ga	tos Public Library (see How to Research the History of a House in Los Gatos): Sanborn Maps — MICROFILM FILE CABIALET
		1941 Tax Assessment - CABINET #//
		1989 Anne Bloomfield Historic Resource Survey forms
		Polk's Directories
	□ <b>X</b>	Telephone Directories Other HISTORIC PROP. RESEARCH COLLECTION 1- CABINE
2.		Clara County Resources (especially helpful for properties previously located in the
	county	y's jurisdiction):
		Santa Clara County Planning Department records
		San Jose Public Library (California Room)
3.	Comm	unity Development Department Resources:
		Sanborn Maps
		1989 Anne Bloomfield Historic Resource Survey forms
		Community Development Department property files (permit history)
Resear	rch was	conducted on (please enter date): 6/3/25

6 BAY AREA NEWS GROUP

183

# Los Gatos Market is Still Going Strong!



68 Broadway | PENDING

Les Moineaux

The house sits on four city lots, part of which was the old McAbee Wood Yard from which some of

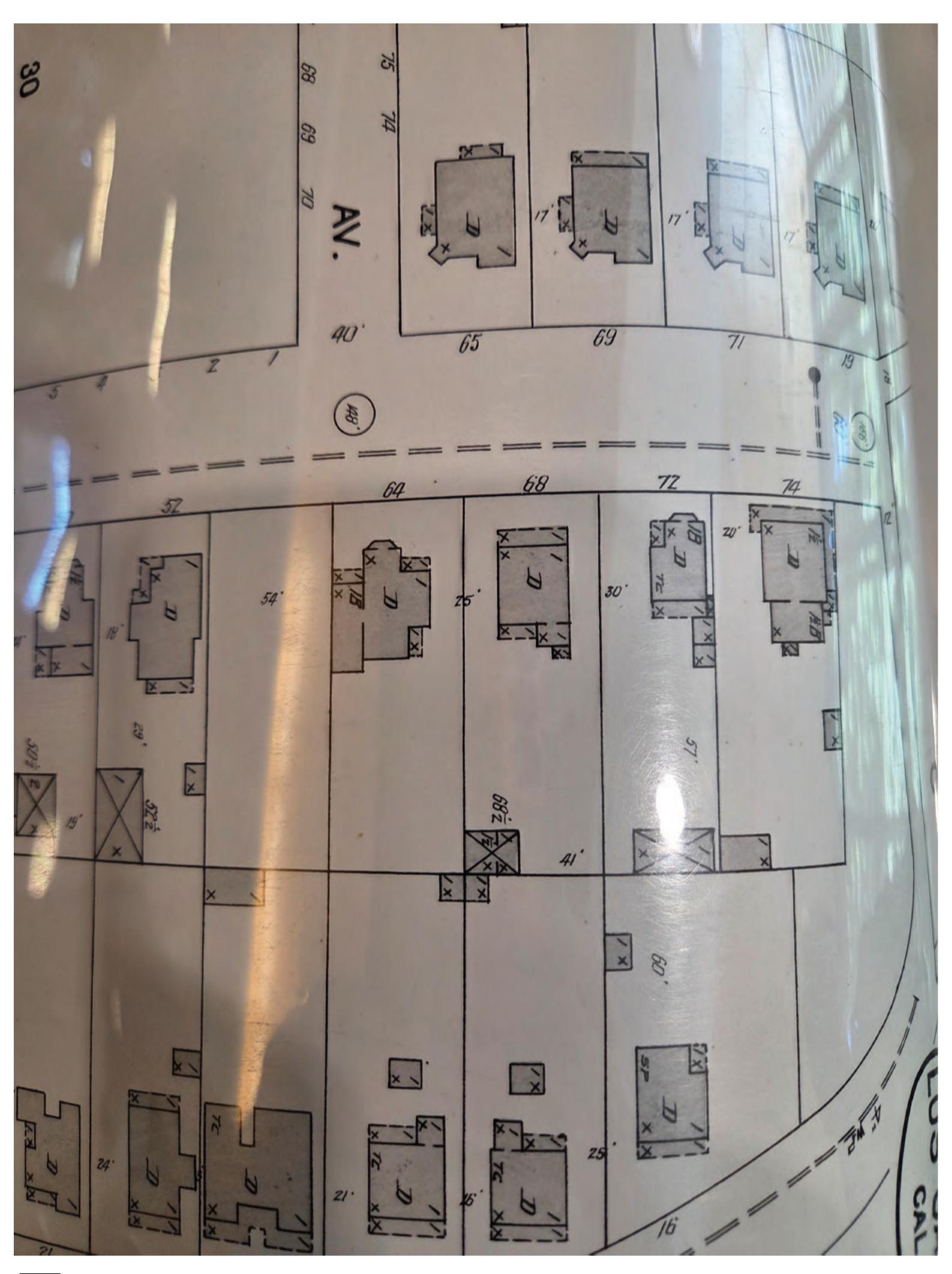
the U

wife.

in no

		三島   重	Black C	2201114								
-												1 200
	F	REAL ESTATE	APPRA	ISAL COM	PUTATIO	N.			VAL	IATION R	ECORD	-34
OCK N	0.	LOT	NO. 21	Block	今BLOCK	BOOK PAG	E 2.3	YEAR	1940	19	19	19
escri	ption, Dimen	sions and Owner	ship of Re	al Property	Described	herein, con	forms with	Land Value	\$ 9 to.	\$	\$	\$
o acc	ountability nd Buildings	asions and Owners , and Assessment Assumed for Matter in Accordance with	ters Lega ith Contra	l in Charac ct Provision	ter. Com	putation of tax System	Values of Valuation.	Building Value	3400	\$	\$	\$
					The same of the sa			Number of Bldgs				A RISH
BOL	FRONT	DEPTI	H PCT.	COEF.	UNIT	COMPUT	ED VALUE		OW	NERSHIP	RECORD	200
	50	x 132.76	111	55,50	171/2	- \$	971.	1940			and the same	7
		X						1941 7	Venny	. C. C	rall	Principle
		199	3 7 2 3					1942	0		SANIE SERVICE	13
		X	-					1943				
		X	- 4	-				1944			a are	
	Added For Co	rner					1	1945		72.	WINE .	
	Added For Al		1					1946	A CHILL			10
.=Fro	ont Triangle.	R.T.=Rear Trian e. d=Reverse Co	gle. B.L.=	Back Lot Co	mp. TOTA	L	1	1947				
	Business	Residence		TOTAL STREET				-		SKETCH	ES OR REMA BOUNDS DE	AKS, OR
	siness	Industrial		REMARKS			-		-	wellin		
									Opto dais	odice the tra	liou est	La la la la la la la la la la la la la la
			100				or a market fr		0	when	The 2	me
		D. W. F. 31							- he		to has	NO A A
									The state of the s		The second secon	NO. A. A.
BLOCK NUMBE SUBDI OR TE	TON 72 B TON 72 B IVISION RACT,	BUILDING CLA  roadway  NUMBER 22/K  Lyndon	Blocks	CITY OF OWNERSHI	LOS	my C	rall		BUI	eara	The second secon	NO. A. A.
BLOCK NUMBE SUBDI OR TE DESCI	TON 72 B TON	Lyndon	Slocks U Su	CITY OF OWNERSHI	LOS (	cost			BUI	eara	ted o	NO A SHARE AND ADDRESS OF THE PARTY OF THE P
BLOCK NUMBE SUBDI OR TE DESCI	TON 72 B TON	Lynkon  Ons Area or	Cubage 29 Sq: Fi	Unit Cost	t Repro-	cost +41.	rall		BUI	eara	ted o	NO A A
BLOCK NUMBE SUBDI DR TE	TON 72 B TON	Lynkon  Ons Area or	Slocks Cubage	Unit Cost  9\$ 2 · 8  9\$ 1 · 0	t Repro-	Cost / 4/1.	rall	Pres.Va.	BUI	eara	ted o	NO A A

1944	
1945	
1946	
1947	
ndicate e Loss, REVISED VALUE	SKETCHES OR REMARKS, OR METES AND BOUNDS DESCRIPTION  This dwelling is so unique it can just about be classified as a freak. It is useful almost solely to it's owner-occupants. While Reproduction cost has believed a latinated on this besses of what a Revitaglor would hid to Reblood it bid able has not observed as a freak with many functional defacts it has a large function defacts it has a large function defacts it has a large function defacts



(68 Broadway) Les Moineaux or the Chateau Crall: now owned by Mike and Kim Wasserman

This multi-level, Normandy-style home was built by Henry C. Crall, a native of Los Gatos, after returning from France at the end of World War I. In 1919 he built the area to the left of the tower, as bachelor quarters, behind his parents' home at 72 Broadway. He drew his own plans based on his own memories of the houses he had seen in Normandy, scavenged most of the materials used (the bricks came from the Guadalupe Mine), and built the beginning of the home with his own hands. At that time the home included a kitchen, dining room (now the family room), a fireplace, a bedroom and bath. The ceiling in the dining room has hand-adzed beams.

In 1934, after his marriage to Josephine Tavani, a native of Italy, he purchased the lot to the east, and two lots to the north facing Main Street. The following year he built the second phase: the living room, with a guestroom above (and cellar below), bath, and fireplace. The home was now designed to face Main Street. An octagonal-shaped tower with a narrow spiral staircase was built to integrate the two sections. In addition to hand-adzed beams, he installed window and door hardware from France, oak and walnut inlaid floors of various designs. Inlaid in what was then the front door is "Soyez le Bien Venue" (Welcome), while "Bon Repos" (sleep well) is in one of the bedrooms. He called his home *Les Moineaux* for the many sparrows around at the time of construction.

There were at least two more phases of construction, the first in 1940, the second after 1944. These phases expanded the house along the eastern elevation and added two more bedrooms, a bathroom, fireplaces with carved mantels, an attic, a storeroom, a workshop and a garage (which is now another bedroom).

In 1916 Henry C. took over the business his father had established in 1891 as a candy store, but later expanded to include toys, stationary, and books. When Henry returned from France he expanded the business by delivering out-of-town newspapers and adding greeting cards and gift items. Henry C. was active in the community: he was involved in the Pageants, was on the Los Gatos Planning Commission, and was elected to the Town Council in 1962 where he served as vice-mayor. He and Josephine Crall had two sons, Henry L. and George. Henry L., born in 1935, became a partner in the store in 1964. Henry L. and his sons continued the business after Henry C.'s death in 1978. Henry L and his wife Jole lived here after his father's death.

The current owners, Mike and Kim Wasserman, bought the two homes (68 and 72) on the four lots in 1984 from the Cralls. They subdivided the property and sold off the back two lots facing Main Street so that they could keep the two Broadway houses. They reoriented the main house (68) to face Main Street. In 1987, they added a few hundred square feet to the right side of the house to provide an internal passage to the laundry and expand the rooms above. Thankfully, this also reinforced the right side of the home before the 1989 earthquake. There was however extensive damage to the left side of the home (built in 1919). During the repairs, they also expanded the kitchen and created a new master bedroom suite. They replaced the spiral staircase with a staircase on the left side of the house and created a "cat walk" in the middle. The fences on either side of the property came tumbling down, but the Wassermans were able to reuse the bricks to build a new front patio, flower boxes and walkways around the entire home. A pool and cellar have also been added to this intriguing home.

The Wassermans lived on Tait Avenue prior to moving to *Les Moineaux* in 1984. Mike and Kim had owned Collector's Corner II on North Santa Cruz Ave. for 10 years until selling it in 2000. They still own their property management company, which they started in 1982. Mike coached Little League baseball and various basketball teams for the last 7 years. He has served on various non-profit Boards and is currently coaching basketball for RJ Fisher Middle School. He and his wife enjoy collecting memorabilia and often display several fascinating pieces from the likes of Babe Ruth and Michael Jordan. Their true passions lie in watching and helping their children, Nicole and Sean, live life to the fullest through school, sports and travel. Mike and Kim have been married 21+ years at this time.

72 Broadway looks fine as you've written it except Sian's name is spelled with an "i" and you want to use 1887 and 1885 in the first two lines of your second paragraph instead of 1987 and 1995.

Crall, May (widow HJ) h 72 Broadway

1940 = 1936

1943 Crall, Henry C. (Josephine) = 1936 Crall, H. May = 1936 Crall, HJ Co. = 1936

Crall, George M, clerk HJ Crall Co. r 68 Broadway

1945 Crall, H May (wid. HJ) h 68 Broadway [sic]

Crall, Henry C. (Josephine), stationary 21 N. SCz, h 72 [sic] Broadway

1949/50 Crall, George M (Muriel) r 68 Broadway

Crall, Henry C. (Josephine) stationary 21 N. SCz, h 68 Broadway

1956 Crall, Henry C. (Josephine, Crall's Book Store) h 68 Broadway Crall's Book Store 21 N. SCz

1962 Crall, Henry L. salesman Crall's Book Store r. 68 Broadway Crall, HC & book store = 1956

1967 Crall, Henry C. (Josephine) (Crall's Book Store) h 68 Broadway Crall, Henry L. (Jolee) (HJ Crall & Co.) h 15745 Peach Hill Rd. Crall, Henry L. (Joan) h 15735 Peach Hill Rd.

1971 (=1974)

Crall, Henry C. (Josephine) (Crall's Book Store) h 68 Broadway Crall, Henry L. (Jolee) (Crall's Book Store) h 15745 Peach Hill Rd. Crall's Book Store (Henry C. & Henry L. Crall) 21 N. SCz

## 1941 Tax Assessment Record

1144 ft2 + 6' x 9' = 54' @ 8.80 = \$10,63030 x 4 @ 2 = 2,400 [sic] porches 12 x 24 + 6 x 10 @ 5.70 = 2,400total 15,430 @ 35% good = \$5,400land 132.76 x 50 assesses \$971

Owner: Henry C. Crall, owner occupied. Special quality. Age 1 to 30 years. Remodeled 12 years. Good condition. Awkward floor plan. Assessor's note: As a freak with many functional defects it has a low market value.

2 stories, medium construction, wood frame, double wall, shallow concrete foundation, gable, hip, gambrel & monsard roofs. Dormer. Wood shingle and slate roof. Front and rear porches roofed. 1 car garage. Special inside trim – hand hewn, etc., 8 plastered rooms. Beam ceiling. 5 papered, 3 tinted. Pine, hardwood, cement, tile, terrazo and composite floors. Good and medium fixtures. 3 good baths. Electric unique lighting. Heating: 4 fireplaces. Built-in cabinets in the kitchen, water heater.

## **Obituaries**

Henry Jewell Crall (HC Book 39A 18 June 1927 [sic]

HJC was born in Wooster, Ohio 9/18/1845. On 4/18/1861, at age 15 years plus 7 months, he enlisted in Co. C, 14th Ohio Vol. Infantry for 3 months service. On 8/13/1861 he reenlisted in 38th Ohio Infantry, where he served to the end of the war; he mustered out in Louisville on 7/12/1865. He was twice wounded. He left Ohio in 1869. He was in Chicago in 1871 during the great fire. In the years following he became active in church work and in 1884 he joined the Southern California Conference. Later, because of ill health, he gave up the ministry and moved

## **Planning Files**

Lyndon Subdivision Block 3, lot 21 part lot 22; built 1920s.

## **Block Book Downstairs**

Lyndon Lot 21 B. Barbieri to HC Crall 132.36' x 50' Also lot 8 WD McAbee to Adele Lereck to Henry C. Crall

## **Tax Assessment Records**

- 1926 Crall, Hannah M. Lyndon 3/22 500/1050/ -1000 soldier's exemption
- p. 23 Crall, Henry C Lyndon S 1/2 5: 2700/1400/2000 autos \$230, store \$1770 1927
- p. 23 Crall Hannah M. L 3/22 500/1000 -1000 p.19 Crall, Henry C. L S 1/2 5: 2740/1100/1750 auto 150; store 1600; 21 N. SCrz 1929 p. 19 Crall, Hannah L 3/22 500/1000/ -1000 72 Broadway
- p. 22 = 1929 except HC Crall ppty = \$1400 stock, \$350 autos 1931
- p. 25 Crall, Hannah L 3/22 500/1000/ -1000 1934 p. 25 Crall, Henry Lyndon 3/21 500// + L 1 S ½ 5 2700/1100/1100 auto 200 stock 900
- p. 25 Crall, HC Lyndon 3 lots 8 & 9 400//, 400// p. 24 Crall, Hannah L 3/22 500/1000/ -1000 1936 p. 24 Crall, HC L 3/22 500/1300/150 (furniture) [no improvements 1935]
  - p. 24 Crall, HC L 1 S ½ 5 2740/1100/900 \$800 stock + \$100 cash
- p. 23 Crall, Hannah L 3/22 500/1000/ -1000 1940 p. 23 Crall, HC L 3/21 500/1300/250; L 3/8+9: 800// + L 1 S 1/2 5 2740/1100/800
- p. 32 Crall, HC L 3/22 582/582/; L 3/8 519/504/; L 3/9 519// 1941 p. 32 Crall, HC L 3/21 582/3240/250; L 1 S 1/2 5 3990/1800/1550
- p. 33 Crall, HC L 3/22 580/580/; L 3/8 520/520/; L 3/9 520// 1943 p. 33 Crall, HC L 3/21 580/3240/250; L 1 S 1/2 5 3990/1800/1700
- 1951 p. 30 Crall, HC L 1/S 1/2 5 5000/2300/5250 p. 30 Crall, HC L 3 lots 8, 9, 21, & 22: 2700/5400/500 [sum 1943: 2200/4340/250]
- p. 30 Crall, HC L 1 S 1/2 5 5000/2300/5000 1958 p. 30 Crall, HC L 3 lots 8, 9, 21, & 22: 4550/5930/500

## **Directories**

1902 no Crall

1905/6 Crall, HJ stationary, Main near Broadway

- 1912 Crall, HC clerk HJ Crall, h 52 Broadway Crall, HJ stationary, Ford Block, r 52 Broadway Crall, Herbert D. emp. Gem City Garage b. 52 Broadway
- Crall, HC (HJ Crall Co.) r 72 Broadway 1924 Crall, HJ (Hannah M.) h 72 Broadway [=1925] HJ Crall Co. (HC Crall) stationers, 21 N. SCrz
- Crall, HJ Co. (HC Crall mgr.) 21 N SCrz 1930 Crall, Hannah M. (wid. HJ) h 72 Broadway Crall, Henry C. mgr. HJ Crall Co. r 72 Broadway [married in 1934, but lived at 72 Bway]
- Crall, HJ Co. (HC, HM Crall) stationary 21 N SCrz 1936 Crall, Hannah M. (w) r 72 Broadway Crall, Henry C. (Josephine) HJ Crall Co. h 68 Broadway



68 Broadway
Les Moineaux

This one-and-a-half story, Normandy-style home was built by Henry C. Crall, a native of Los Gatos, after returning from France at the end of World War I. In 1919 he built the area to the left of the tower, as bachelor quarters, behind his parents' home at 72 Broadway. He drew his own plans based on his memories of the houses he had seen in Normandy, scavenged most of the materials used (the bricks came from the Guadalupe Mine), and built this beginning of the home with his own hands. At that time the home included a kitchen, dining room (now the family room), bedroom and bath.

In 1934, after his marriage to Josephine Tavani, a native of Italy, he purchased the lot to the east, on which most of the house sits, and two lots to the north, facing Main Street. The following year he built the second phase: the living room, with a guest room above and cellar below, and bath. The home was designed to face Main Street. An octagonal-shaped tower with a narrow spiral staircase was built to integrate the two sections. In addition to hand-adzed beams, he installed window and door hardware from France, and oak and walnut inlaid floors of various designs. Inlaid in what was then the front door is Soyez le Bien Venue (Welcome) while Bon Repos (sleep well) is in one of the

He called his home Les Moineaux for the many sparrows around at the time of construction. There were at least two more phases of construction, before and after 1941. These phases expanded the home along the eastern elevation and added two more bedrooms with fireplaces and carved mantels, a bath, storage rooms, workshop and a garage (now another bedroom).

In 1916 Henry C. took over the business his father had established in 1891 as a candy store, but was later expanded to include toys, stationary, and books. When he returned from France he expanded the business by delivering out-of-town newspapers and added greeting cards and gift items. Henry C. was active in the community: he was involved in the Pageants, was on the Los Gatos Planning Commission, and was elected to the Town Council in 1962, where he served as vice-mayor. He and Josephine Crall had two sons, Henry L. and George. Henry L., born in 1935, became a partner in the store in 1964. He and his sons continued the business after Henry C.'s death in 1978, and he and his wife Jole lived here.

The current owners, Mike and Kim Wasserman, bought the two homes (68 and 72) on the four lots in 1984. They subdivided the property and sold off part of the back two lots facing Main Street so that they could keep the two Broadway houses. They reoriented the main house (68) to face Broadway. In 1987 they added to the right side of the house to provide an internal passage to the laundry and expand the rooms above. This reinforced the right side of the home before the 1989 earthquake. There was, however, extensive damage to the left side of the home (built in 1919). During the repairs, they also expanded the kitchen and created a new master bedroom suite. They replaced the spiral staircase with a staircase on the left side of the house and created a "cat walk" in the middle. The fences on both sides of the property came tumbling down, but the Wassermans reused the bricks to build a new front patio, flower boxes and walkways around the entire home. A pool and cellar have also been added to this home.

Mike and Kim owned Collector's Corner II on North Santa Cruz Ave. for 10 years. They enjoy collecting memorabilia and often display several fascinating pieces from the likes of Babe Ruth and Michael Jordan. They have two children, Nicole and Sean.

This Page Intentionally Left Blank

Page 274

#### TOWN of LOS GATOS





### CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

PLANNING DEPARTMENT - 408/354-6872

January 11, 1985

Michael and Kimberley Wasserman 123 Tait Avenue Los Gatos, CA 95030

RE: 68 & 72 Broadway//305 & 307 W. Main Street

MIKE WASSERWAP lication M-84-22

Dear Mr. and Mrs. Wasserman:

The Town of Los Gatos Planning Commission, at its meeting of January 9, 1985, found the subdivision consistent with the General Plan, that reasons for denial as specified in the Map Act do not exist, and approved the application subject to the following conditions:

- 1. A parcel map shall be filed to the satisfaction of the Town Engineer.
- The following improvements shall be guaranteed by contract and bond, to the satisfaction of the Town Engineer:
  - a West Main Street: Portland cement concrete sidewalk and driveway replacement.
  - b. Broadway Ayenue: Portland cement concrete curb, gutter, and sidewalk repair to replace cracked and broken areas.
  - c. Sanitary sewer laterals with property line clean-outs, as required, to each parcel.
  - 3. An ingress-egress joint access easement and maintenance agreement shall be entered into, if required, to the satisfaction of the Town Engineer.
  - 4. Minimum asphaltic concrete driveways and parking areas or approved equal to each parcel, shall be completed to the satisfaction of the Planning Director. This work shall be completed prior to March 15, 1985.
  - 5. Grading, drainage, utility, sanitary sewer, curb, gutter, sidewalk, and driveway plans shall be submitted to the satisfaction of the Town Engineer.
  - 6. Utility services shall be placed underground for each lot.

Approval will expire 24 months from the date of this approval pursuant to the Map Act unless all conditions of approval are satisfied and a parcel map is recorded.

<u>PLEASE NOIE:</u> Pursuant to Section 27a-14 of the Town Code, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period, has passed.

Very truly yours,

LEE E. BOWMAN
Planning Director

cc: Roger E. Dodge Development Review Committee



June 1, 1988

Mr. Mike Wasserman 68 Broadway Los Gatos, CA 95030

Re: 68 Broadway

Architecture and Site Application S-88-22

Dear Mr. Wasserman:

At its meeting of May 25, 1988, the Los Gatos Planning Commission approved your plans for the exterior modification of an existing single family residence on property in the R-1D-LHP zone, subject to the following conditions:

TO THE SATISFACTION OF THE DIRECTOR OF PARKS, FORESTRY AND MAINTENANCE SERVICES:

1. Prior to any construction or building permits being issued, the applicant shall meet with the Director of Parks, Forestry and Maintenance Services concerning the need for protective fencing around the existing trees. A plan for such protective fencing demonstrating type and location shall be submitted to the Planning Director after being approved by the Director of Parks, Forestry and Maintenance Services. Such fencing is to be installed prior to, and be maintained during, construction.

This approval will expire one year from the date of this approval pursuant to Section 5.30.160 of the Zoning Ordinance unless the approval is used before expiration. Section 5.30.170 defines what constitutes the use of an approval granted under the Zoning Ordinance.

PLEASE NOTE: Pursuant to Section 5.20.050 of the Zoning Ordinance, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

-2-

June 1, 1988

Mr. Mike Wasserman S-88-22

Reasonable extensions of time not exceeding one year may be granted upon application to and approval by the Planning Commission. Extensions can be granted only if approved by the Commission prior to the expiration of the approval. Therefore, it is recommended that applications for time extension be filed with the Planning Department at least sixty days prior to the expiration of the approval.

If you have any questions, please contact Sandy Baily.

Very truly yours,

LEE E. BOWMAN

Planning Director

LEB:DRR:dr

PCMIN:d/PC ACT14

# DEVELOPMENT AR LICATION

## TOWN OF LOS GATOS PLANNING DEPARTMENT

CIVIC CENTER

MAILING ADDRESS:

110 E. MAIN STREET

P.O. BOX 949

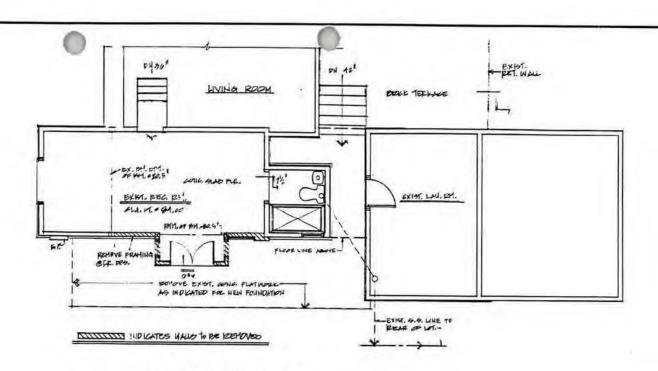
LOS GATOS, CA 95032

LOS GATOS, CA 95031

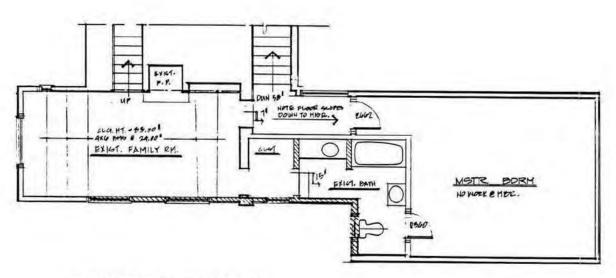
DATE DECET	VED.	
DATE RECEI		
4-12		
1		

EASE TYPE OR PRINT CLEARLY (PRESS FIRMLY)	
. APPLICANT REQUEST: (Check appropriate boxes)	2. PROPERTY DETAIL:
PENVIRONMENTAL IMPACT ASSESSMENT VARIANCE	SITE AREA 12,760 50.FT.
ARCHITECTURE AND SITE SUBDIVISIO	
I CONDITIONAL USE PERMIT	EXISTING/LAST
IZONE CHANGE (Rezone from to)	PREVIOUS USE
PROPERTY LOCATION:  ADDRESS OF SUBJECT PROPERTY 68 BROADWAY COS  ZONING R-10 - CHP ASSESSOR'S PARCE	64705 EL NUMBER 510-45-85
REQUESTED ACTION: (Attach separate sheet if necess DESCRIPTION OF REQUESTED ACTION: PLEASE SEE ATT	TACHED DIE PAGE LETTER FROM
MIKE WASSERMAN (PROPERTY NUMER) TO THE	
APPLICANT: (Only applicant will be notified of mee NAME MIKE WASSERMAN	PHONE PHONE
ADDRESS 68 BROADWAY	
CITY LOS GATAS	STATE CA ZIP 95030
SIGNATURE OF APPLICANT Thise.  PROPERTY OWNER: (If same as above, check here X NAME	
ADDRESS	
CITY	STATE ZIP
I hereby certify that I am the owner of recombox #3 above and that I approve of the action SIGNATURE OF OWNER	e Wasserum DATE 4-8-88
OTHERS INVOLVED: List persons or firms involved (architect, engineer, planner, landscape architect CAPACITY NAME (Please Print) FIRM & ADIA ARCHITECT ROBERT AVILES AVILES DESIGN; 610 UN	oress (Zip Code) Telephone
DO NOT WRITE BELOW THIS LINE  8. RECEIVED BY US DEC AGENDA APPLICATION NUMBERS ASSIGNED:  S-88-72 U- EIR-  V- OTHER	ASSIGNED 4-26-88 M
O. ITEMS RECEIVED:  SETS OF PLANS PRELIMINARY  FILING FEES OF \$ 10 fee  LETTER OF JUSTIFICATION	TITLE REPORT hotos of residence

510 - 45, 17, 57



14 = 1-0



MILLIAMES WALLS TO WE PEMOVED

. ....

EXIST'S GROUND LEVEL

EXISTIG 240 LEVEL 14 . 1-0

TERRACE 0 5'x 64'-120 0 612-EXIST DESIDENCE SOUARE POOTAGE SUMMARY 1. EXIT ING 40. PT. @ 17 PLOOK . 1945.00 +4PT. 2. DXISTING SOPT. @ 2ND PLOCE : 1029.00. SOPT. 9. PROPOSED 2 STORY ADDITUS 270.00 SOFT. 4 TOTAL SOFT 3817.00 SOPT 36.90 BLOG. GOVERAGE 1, EXISTING 1948.00 SORPT. 02 15.2% 1, PROPOSED NEW 120.00 20,PT. 5 TOTAL 2068.00 SQ.PT. OR 16.2% HOTE: ALL NEW CONSTRUCTION SHALL HATCH EXISTING ARCHITECTURAL DESIGN. HOTE: PROVIDE TREE PROTECTION PENCING TO 45" HT. @ EXISTING TREES

> SITE PLAN 1'= 20-0" 68 BROADWAY, LOSGA: 05, COLIF. APN: 510-45-85 PARCEL SZE: 12,760.00 50 FT. ZONING: 2-1-D HIMMEN PHIZECT.

BROADWAY 67 0

RECEIVED MAY 06 1988 TOWN OF LUS GATOS PLANNING DEPARTMENT EV 5-88-22

EXHIBIT B

Page 279

100 00

HOBERT AVILES DESIGN 610 UNIVERSITY AVE LOS GATOS, CA. 95030 (408) 395-1933

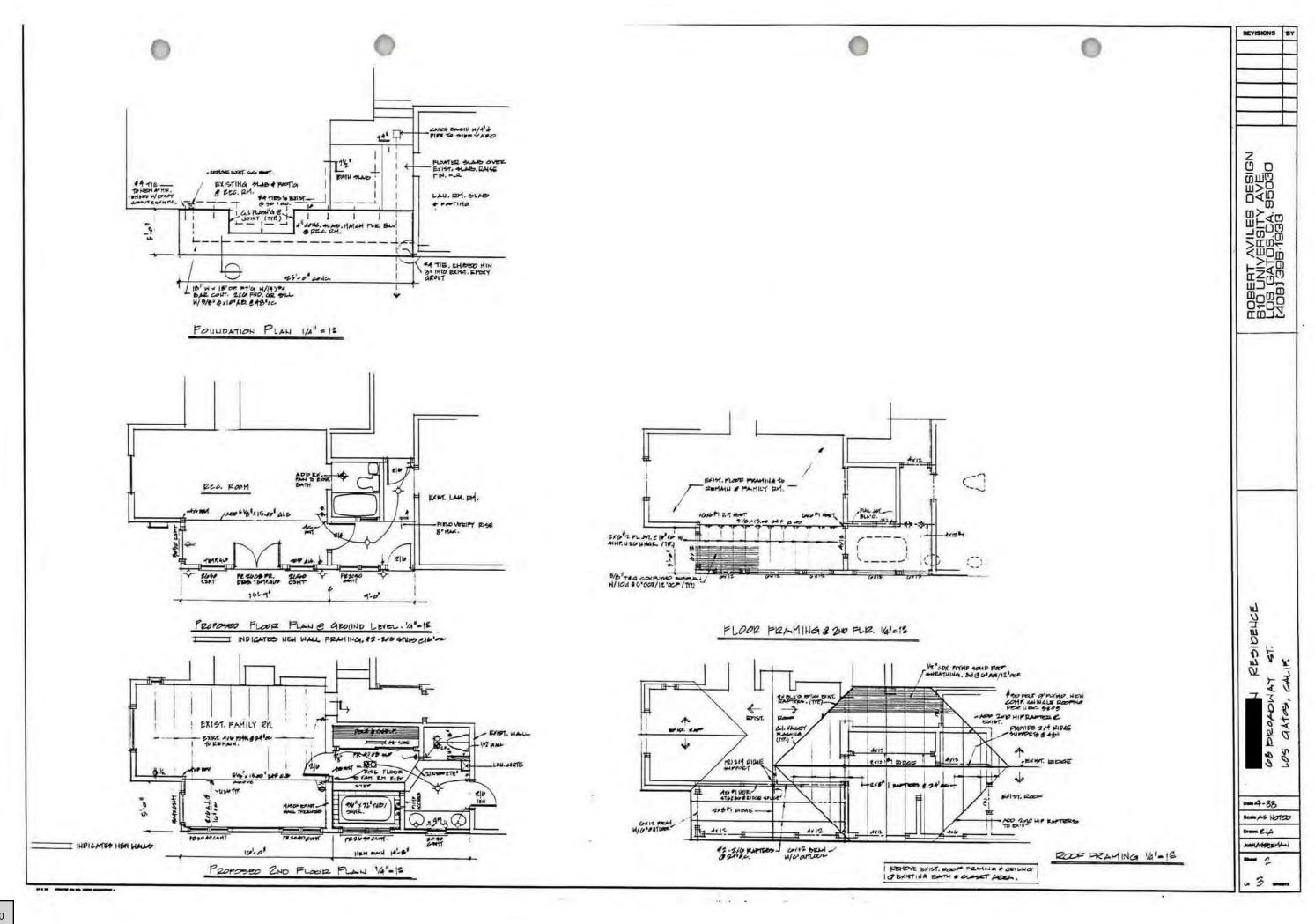
RESIDENCE CALIF

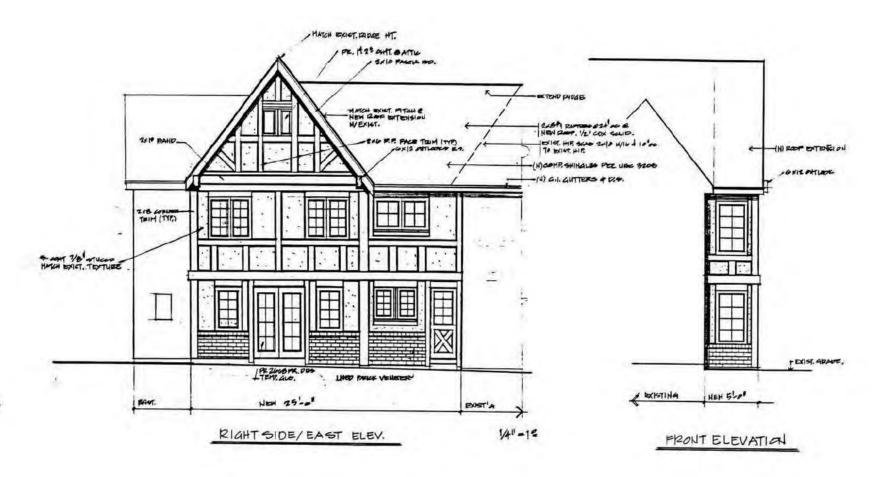
BROADWAY 9 GATOS, 100

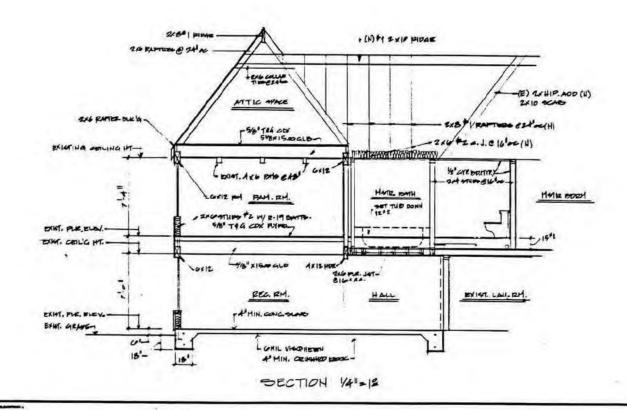
Des 4:88

Scot AL NOTEP ALS .....

MAGSEDMA







OB BROADHAY ST.
LOS GATOS, CALIF.

4-88

3

OF 3 Shoots

Boss AS HORED Drawn EJA

termine.

REVISIONS BY

ROBERT AVILES DESIGN 610 UNIVERSITY AVE LOS GATOS, CA. 95030 (408) 395-1933

Page 281



## TOWN OF LOS GATOS PLANNING DEPARTMENT

CIVIC CENTER

MAILING ADDRESS:

110 E. MAIN STREET

P.O. BOX 949

LOS GATOS, CA 95032

LOS GATOS, CA 95031

DATE RECEIVED: 9/1/89

RECEIVED BY: CHRISTINE &

X-89-Z8

PLEASE TYPE OR PRINT CLEARLY (PRESS FIRMLY)	X 01-60
1. APPLICANT REQUEST: (Check appropriate boxes)	2. PROPERTY DETAIL:
New Second Story Addition	Site area
	2007
	Zoning R-10
Addition greater than 100 square feet to	ADN 510 45 085
existing second story	APN 510-45-085
3. PROPERTY LOCATION:	
ADDRESS OF SUBJECT PROPERTY: 68 BROAD	JAY
4. APPLICANT:	
Name MICHAEL J & KIMBERLEY J WASSERMAN	Phone
Address 68 BROADWAY	7:- 2:
City Los GATOS State	
SIGNATURE OF APPLICANT MAN	1/aulu Date 9/1/89
5. PROPERTY OWNER: (If same as above, check here	
NAME	Phone
Address	74-
CityState	Zip
I hereby certify that I am the owner of r	
box #3 above and that I approve of the ac	
SIGNATURE OF OWNER	Date
6. ENVIRONMENTAL INFORMATION	
Existing land use RESIDENTAL	
Surrounding land uses: North RES	South RES
East RES West	RES
Natural features & vegetation	
Slope at building site:	verage site slope
	. Yds. Cut Depth:
	. Yds. Fill Depth:
FIII cu	. Ius. IIII bepun.
7. ARCHITECTURAL DETAILS	9 /27
Proposed Setbacks: Front: 20 Rear: 32	L. Side: 15° R. Side: 27
Height: 20 Impervious coverage	: 1757 \$ (INC. ADDITION)
Size of structure:	
Existing	Proposed
First floor (incl. Garage): /629 sq. ft.	1757 sq. ft.
Second Floor: 1749 sq. ft.	
TOTAL: 3378 sq. ft.	
Material & colors Proposed: MATCH EXISTING	- BRICK PLASTER, ETC)
Window treatment (location and size of all wind	dows that may affect the privacy of
a neighbor NONE	
Proposed new landscaping NONE	

(GP01/REVIEWPROC/6)

# 64 SPEAU SOULS (A) in the family possible 5 attended (T.) the control of the cont or i the car, believes which is the car, believes a responsible to the car. The car of the present call confers to the car of the car. to all the remaining of the second of the which the salters to bear, fair, to a min 2 min 8. Attach, plater to the to be 1400 to the Mon-traffic falls excite Ass. a. to the common gar bline to be 19.1 a Sc. 1. 5. Francisco serior till e at mode of all relations and at all processit at members and at all processit at members at 35°-60° (85°) models. . All theming furter to be grade tunged. Estarp to territe after notalistics :often at under the training and but mosts under parallel partition prayrie ratter thus skere points not parallel to ratter. ic. Sailing to confine it table your 11. All holes they and shall be drived it southers inder heads a make. 11. Share note or buy plate is out for shuthing lasten as per fulls. ELECTRICAL t. Riccitical outlets to be 12' 0.4. iras, I including down, place t salls currently 2'-0' wide. 42'0.F.C. A. All electrical shall be installed per national electric Cate (Nic) and city ordinances. 1. All electrical cotters willing securities walls shall be in rated hour to taker proof all penetrations thro 1. Nin. 17" : 17" wress to all to: . All plumbing installations small postern to the C.P.C. to be an uniterestable contains to TA. S. U.P. ... Defection to grade shall be in-hialled within the first to the first happen's line, stere harral pairry the property and shall be bound in a sur-grice not with remaining cover. 7. Provide a N° said bed and rower it lister on N° is shed for sever line.

La talk and a section of the section with the commence of the section of the section of the section of

G. Pressure Treatments: Lyrnish
In magnificace with AMPI 19-72.
It Gluer Cordons to ASTE D 2100-76 and
APP Performance Specification Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Specification Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Specification Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Alicidus.

1. In Pressure Alicidus.

1. In Pressure Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Alicidus.

1. Stud Walls: Berring walls 794 at
In Pressure Alicidus.

1. Stud Walls: Berring walls 600-600

1. Stud Walls: Berring w Ceneral Daining Rotes 2. Reference Stablands: Apply in conof the vertice dere percelabetred
respection to vices.

A Accretic fortest for lesting
and Saferable. Carbon steel extensity threater Safesta.
Interest Act Also June 200. Concrete Scient 1. Construction shall be to conform-once with ACL 201-72 latest revients. 2. Inspection shall to performed per the Section 305. Indirects And Autority
I. Tolera I See I Histolia
I. Injanish absold; noti,
drive area theritors, absoluted
meaning Income of E-I P-Kainche
I. Verification of E-I P-Kainche
I. Verification of Indirection
from the Indirection of the Indirection
from the Indirection of the Indirection
Section of International Indirection
I I Section I Through Association
I Section I Proceed Associations All concrete shall be of regular field: of the ref and conform to ANIX C-94. C. Dertland compare shall region to ANIX C-100 Type I of [6]. n American Plysont Association tapide to Place of Grades (APA). h. Brinfarcing efect shall conform to ASIN AGIS. to leated States Fig. on C. Standard Constitution of the Institute I Plyson F. (Col. 41). to asia Auto.

sh b mealier hirs Grade in

sh birger Grade in

7. Phicerent of reinforcement shall
content to the Section 2007. 1. Stanfind VI for Under product 7. Manhaid CP for Indier. 3. Manhaid CP for police. 4. Manhaid CP for police. (Under CP for otherwise) here an thousplane for advanced that is and let-in-fration.

Let-in history shall be lift in the most let-in property and the control of the let in the control of the let in the control of the let in the control of the let in the l a. Selices in continuous relateres E. through building to be, but's P. Greifon III.

P. Greifon Individue of Timeliroa (pa three Mile).

J. L.S. Lepatroni of Lorentzia.

Majoral Region of Classical Systematics, on the Colonia.

Majoral Region of Majoral Systematics, propsort (pa bord New Lorentzia). Armor
sort (pa bord New Lorentzia). Armor
sort (pa bord New Lorentzia). concrete MIRELS.

10. Sociantes name as Sike Christof
10 contain situations in const.

11. Sociantes result name as Saucres
No. I. 100: Saster Builders, Wasterfor
11 Greet, S.M., Waster, Marticide Greet

11 Greet, S.M., Waster, Marticide Greet By the first distriction of the control of the cont Mart the eteror and Martin at the sector of the third sector of the sect nites start be suppose or esset unites offerstay Jetarled.

All a dadlits, over 850° 16 boots or all be dassed 251. to the content of the state of the content of the c replaced to the supplementation of the control of t ASSESS VENTAGES: APPACAN ME POSSIFIE MA MEMBER AND DE LOT to the second se ENTEG CONSDUCATION REQUIREMENTS: NIER CONTENTION RECEIPMENTS
1. 18-20 Insulation in the certified,
1. 18-21 Insulation in the certified,
1. 18-21 Insulation in the certified,
1. 18-21 Insulation in the certified to the certified to the certified to depth of the first certified to a depth of the first certified to a depth of the first certified to a depth of the first certified to a depth of the first certified to the certified t. In this sentile trapers of Section in the set of exercises a term when the contract of the HOLE HOLE OF THE COLUMN CATCH OF THE COLUMN CA 7.2 A Layers stre houses on he man Player the templates entirer e. American are not possible, pro-to State of the contered aver ently Midding [12] and leading street all be well smaller in Accordance (4) in a serious approach [4] in a sand sold as allemated, arms suffer to framer shall be table 200 a 200, purple Definite lie 43181.45 1300 110010407 1100ATES 150100111 7.10 FOURT TATE THE POINT TATE THE ETH TATE THE ETH TATE THE ETH TAKEN TO THE Standards
ASSI/AAVA 1992.9 - 975
ASSI/AAVA 1992.9 - 977
ASSI/AAVA 1992.9 - 977
ASSI/AAVA 1992.9 - 977
ASSI/AAVA 1992.7 - 977
ASSI/AAVA 1992.7 - 977
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 1992.7 - 978
ASSI/AAVA 19 POSCED OF THE and the appropriate the property of the proper GLOS GLOS BAN GARAGE BAN GARAGE BAN BAN GARAGE BAN GARA TANK CONTRACTORY Town of Los Galos VITAL VARIATION OF STREET CURBING DEPARTMENT PLAN APPROVED em 9.25-81 11. Sie. 2011. Sie. 2011. Sie. 2011. Sie. 2015. Sie. 2016. Sie. 20 SHEET & Por SHILT A PAY SHILT A PAY SHILT A PAY SHILT AND SEP 2.5 1989

The state of the s

o. RES. 95030 STR. REMODEL ВВОАДМАУ CA. GATOS, 89 DRAWN
DAGUEA
PROPERTY DAYE
SI-13-89 JOB NO. SEP

5070

S

CA.

SARATOGA,

3206

BOX

867

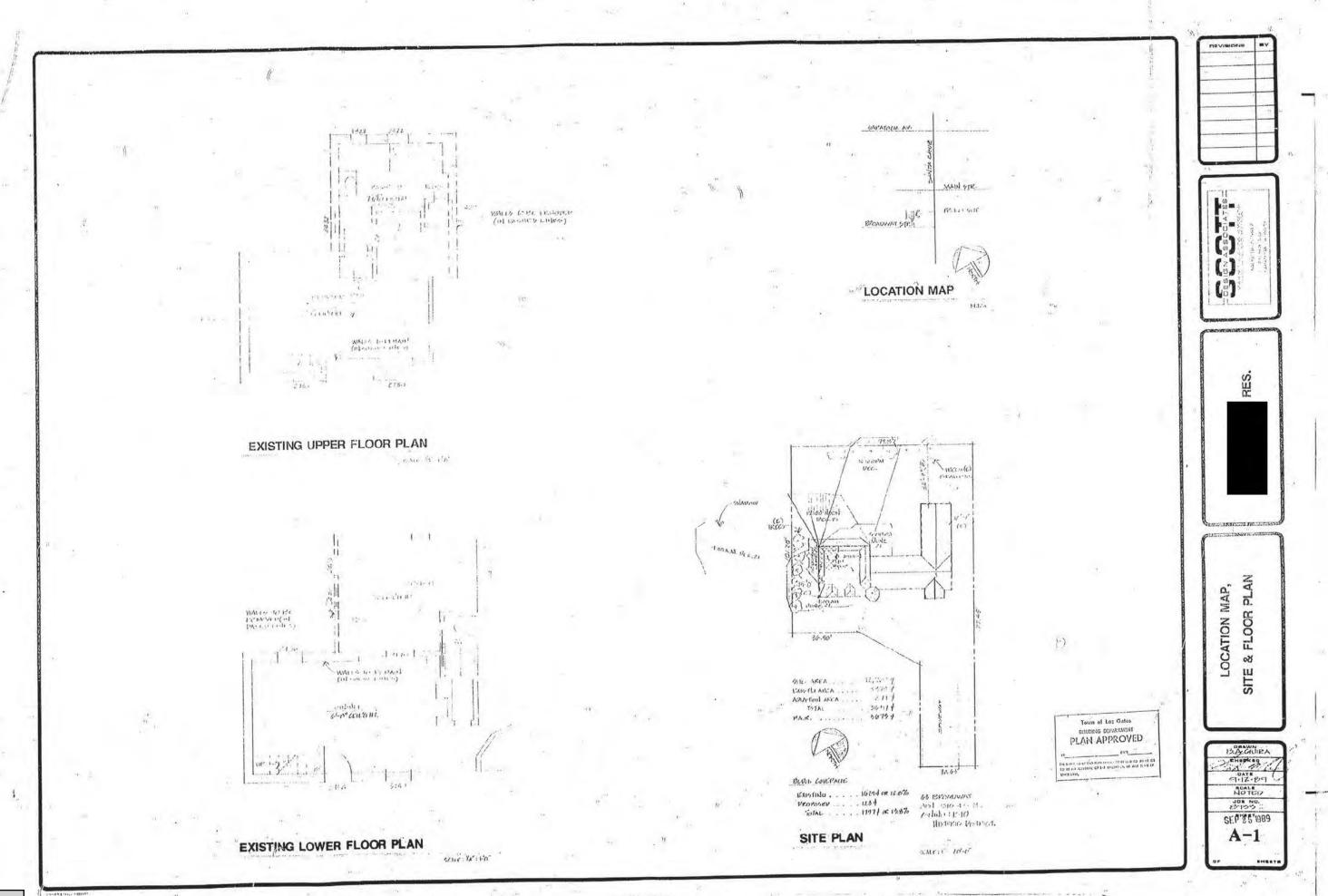
(408)

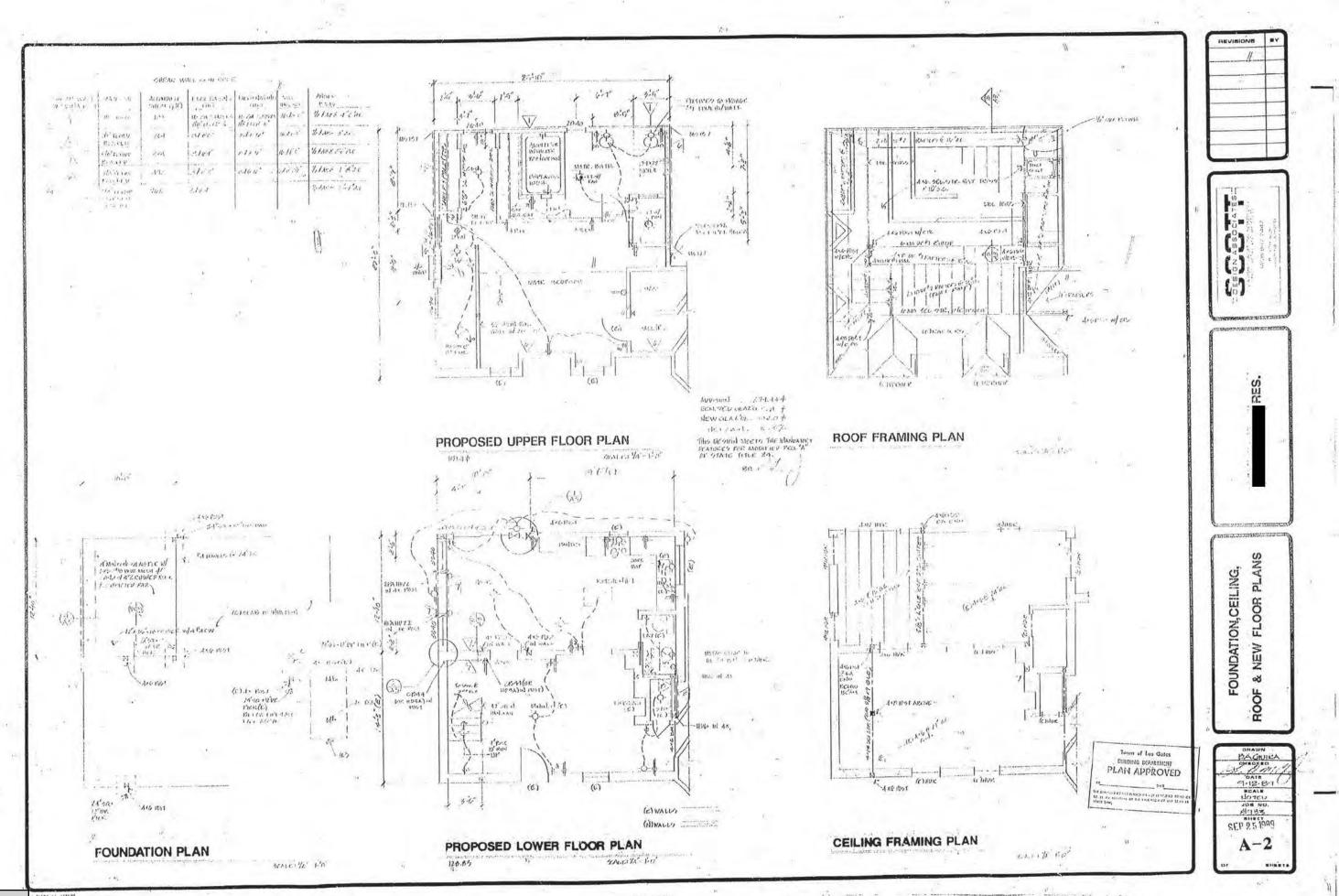
ASSOCIAT

DESIGN

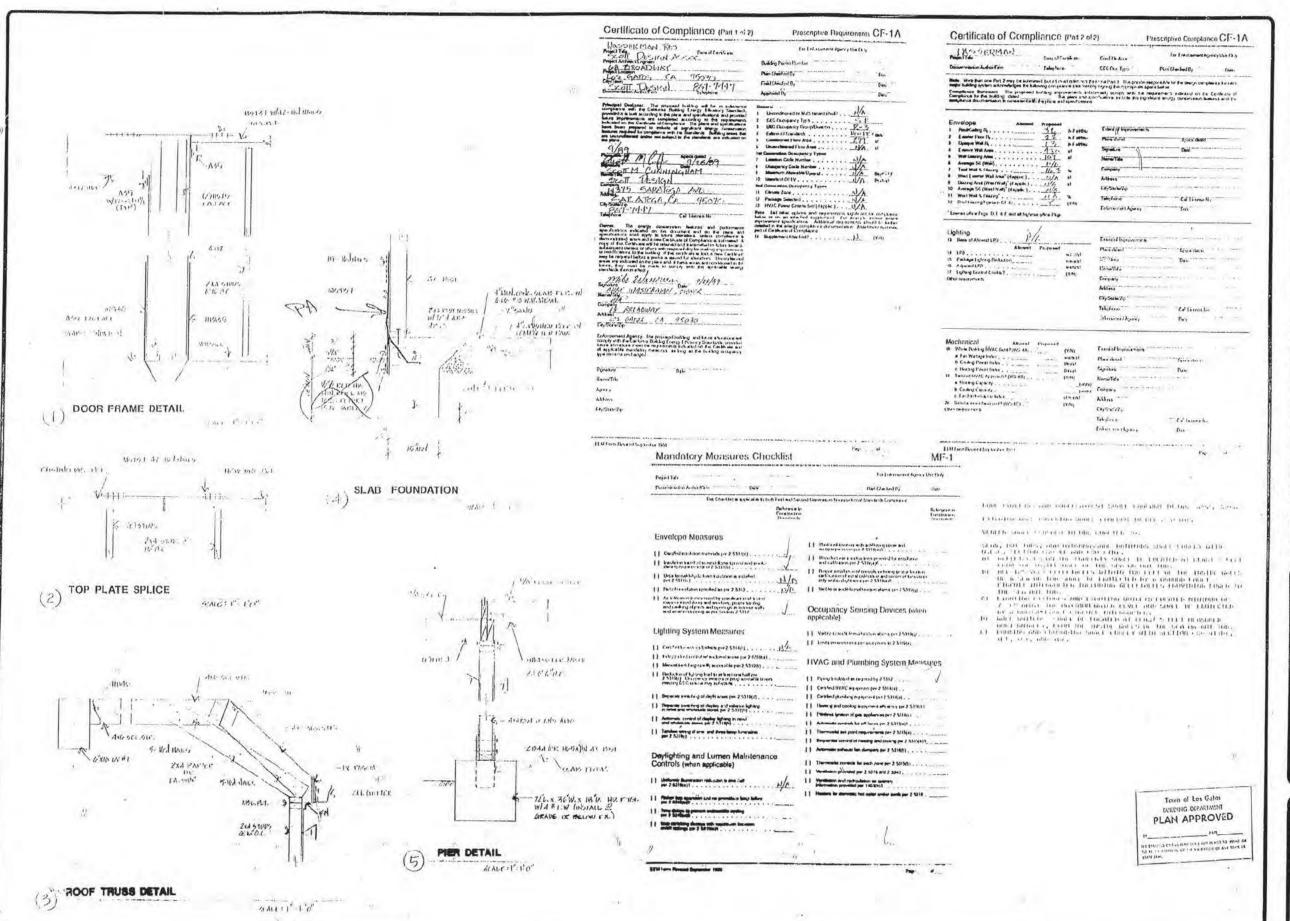
SCOTT

Page 283





Page 285



DEVISIONS BY



RES.

FIEL MARKETON AS . W

DETAILS

PAGUIFA

DATE

1-1/2-04

BOALS

NOTED

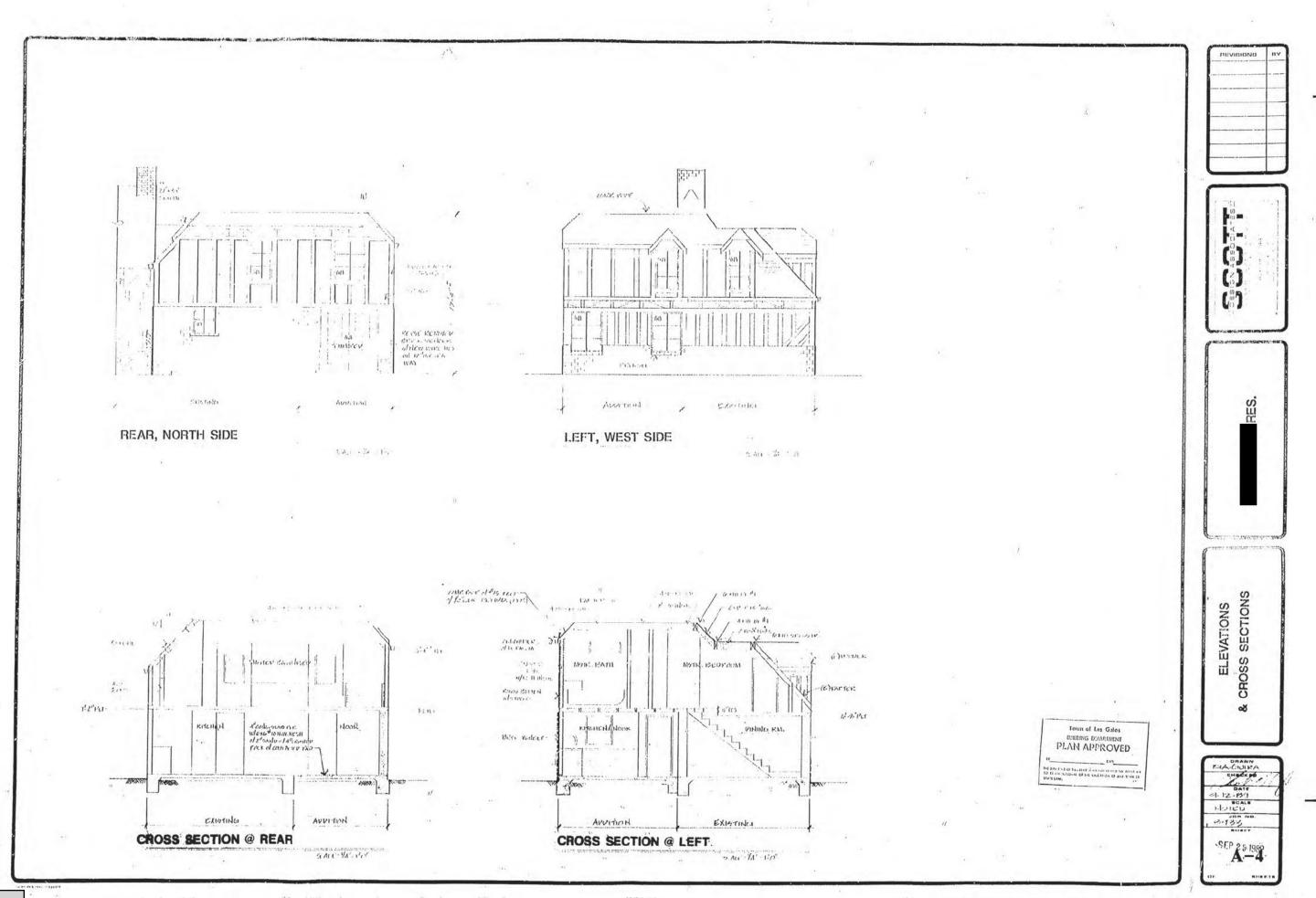
JOS NO

BOAS

BASS

SEP 25 1889'

A 3



Page 287



TOWN of LOS GATOS PLANNING DEPARTMENT (408) 354-6872

November 19, 1992

Michael Wasserman 68 Broadway Los Gatos, CA 95030

RE: (68 Broadway .

Dear Mr. Wasserman:

On November 3, 1992, the Los Gatos Historic Preservation Committee considered your request for approval to construct a carport. Since the project is considered minor, the Committee found the application to be complete, and approved the application subject to the following conditions:

The end of the carport closest to the street shall be parallel to the street. Materials shall match the existing residence. 2.

This approval will expire two years from the date of this approval. The appeal period for this approval has passed and you therefore may file for the required permits with the Building Department.

If you have any questions in this matter, please contact Sandy Baily at 354 6873.

Very truly yours,

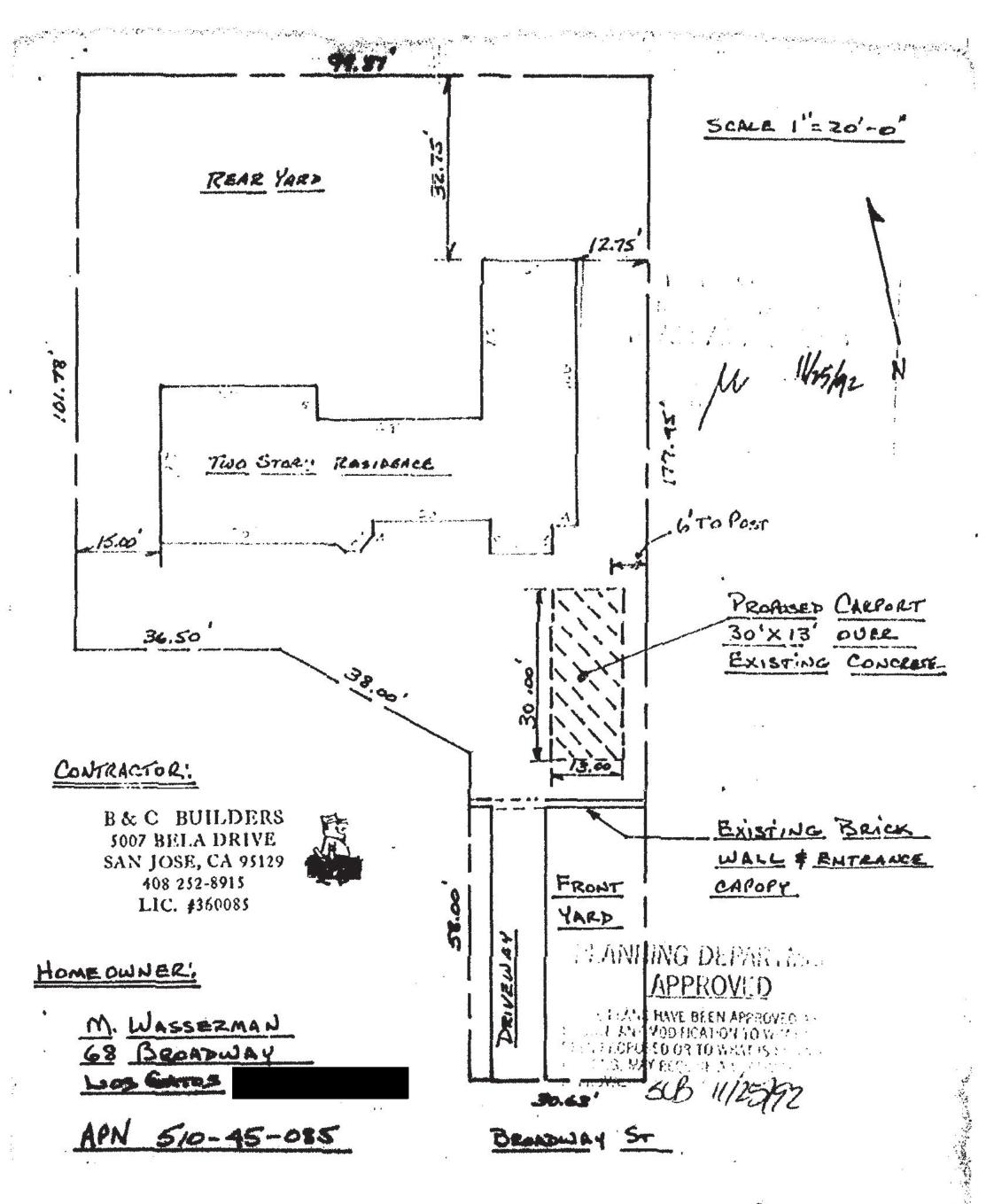
Lee E. Bowman Planning Director

LEB:SLB:cher.

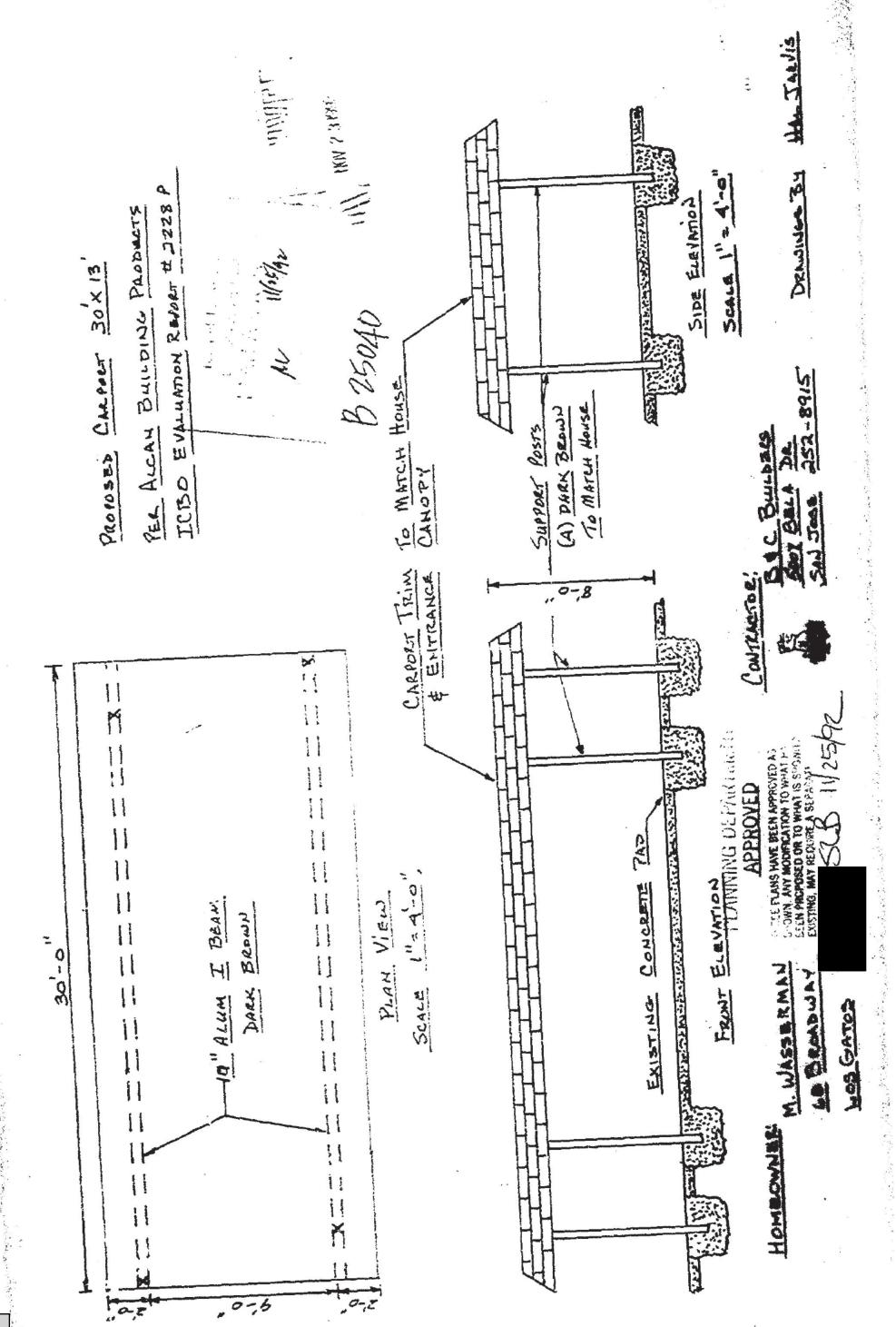
Hal Jarvis, 5007 Cela Drivo, San Jose, CA 95129 . CC: CROREBJERTTEDS/EDBRCAD

L'ANNING DEPARTMENT

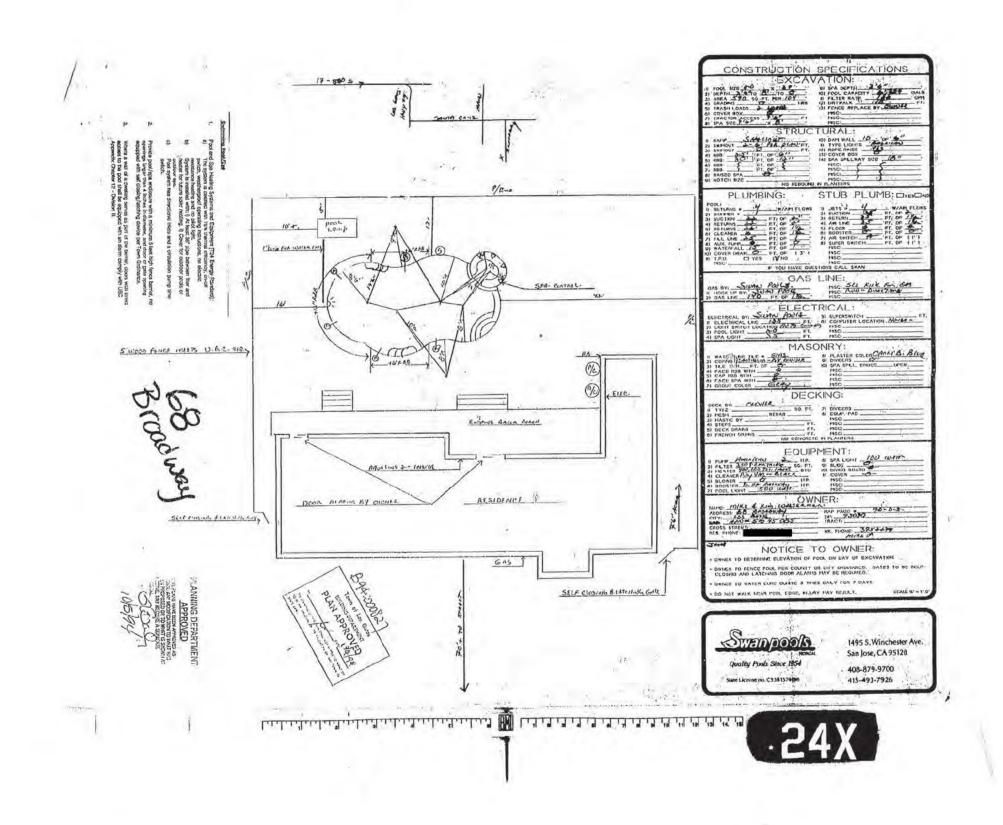
ANS HAVE BEEN API



PAGEL OF 3



(C) 製造者(C) (C) (C)



Page 291



SHEET: PLOOR PLANESS
SCALE: 1/47=17-07
DATE: JUNE B, 2011
DRAWN:



## Town of Los Gatos

# COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 FAX (408) 354-7593

CIVIC CENTER 110 E. Main Street Los Gatos, CA 95030

July 18, 2011

David Zicovich Zicovich Builders 17510 Farley Road West Los Gatos, CA 95030

RE:

68 Broadway

Architecture and Site Application HS-11-035

Requesting approval of exterior modifications to a pre-1941 residence in the Broadway Historic District on property zoned R-1D:LHP. APN 510-45-085.

PROPERTY OWNER: Mike & Kim Wasserman

APPLICANT: David Zicovich

On June 22, 2011, the Los Gatos Historic Preservation Committee determined that the proposed work is compatible with the architectural style of the house and appropriate for the Broadway Historic District and approved the plans as proposed.

Please be aware that Section 29.20.258 of the Town Code states that this action may be appealed to the Planning Commission within 10 days of the date the action is taken. Therefore, this action should not be considered final until the appeal period has passed.

Your next step is to submit an application and plans for a building permit.

If you have any questions in this matter, please contact me at 408-354-6875 or by email: sdavis@losgatosca.gov.

Sincerely,

Suzanne Davis, AICP

Maandl a

Senior Planner

cc: Mike & Kim Wasserman, 68 Broadway, Los Gatos, CA 95030

N:\DEV\HISTORIC PRESERVATION\Action Letters\2011\Broadway68.doc



## APPLICATION FOR MINOR DEVELOPMENT IN AN HISTORIC DISTRICT

	TOWN OF LOS GATOS - COMMUNITY DEVELOP	MENT DEPARTMENT
Mailin	Center: 110 E. Main Street, Los Gatos CA 95030 g Address: P. O. Box 949, Los Gatos, CA 95031 e: (408) 354-6874 FAX: (408) 354-7593	Date Received: 61311  Received by: 50  Application #: HS · 11 · 035
1.	PROPERTY LOCATION: Address of subject property: 68 Broad Water	1
2.	APPLICANT REQUEST: Residential first floor addition Residential addition less than 100 sq. ft. to the existing second story Residential accessory structure 450 sq. ft. or less, visible from the street or Victory Lane	Commercial exterior modification Residential exterior modification
3.	PROPERTY DETAIL: Lot Area 13;068 Zoning R-1D: LHP AP	N 50.45.005
4.	PROPERTY OWNER: Name Kim & Hike Wasserum Address 68 Secondway State CA	Phone  Zip
I hereb	y certify that I am the owner of record of the property described in Box #1 ted herein.	
	SIGNATURE OF PROPERTY OWNER	Date: 6 · 13 · 11
5.	APPLICANT: (If same as above, check here) Name: DAUID EICEVICH Address 17510 FARLEY Pd. West	Phone: 399-0606
	City L State	Zip <b>#5030</b> Date: <b>6.13.11</b>
6.	ARCHITECTURAL DETAILS:	
	Floor Area Ratio:  Existing Addition Proposed  Proposed	Total%
	First Floor:sq. ft	sq. ftsq. ft.
	Second Floor:sq. ft	sq. ftsq. ft.
	Living Total:sq. ft	sq. ftsq. ft.
	Garage/Accessory Structure:sq. ftsq. ft.	_sq. ftsq. ft.
	Exterior material proposed: Watch existing	icle & Stucco

The information contained in this application is considered part of the public record. Therefore, it will appear in both the public record file for the site address, which is available upon request, and on the permitting system on the official Town of Los Gatos website at <a href="https://www.losgatosca.gov">www.losgatosca.gov</a>.

APN#: 3/0-45-085	TRACT:
ADDRESS: 68 Broadway	OWNER: Michael Wasserman
OCCUPANT/BUSINESS NAME:	ZONE: R-ID-LHP  Illegal - tree removal 6/10/85
VIOLATIONS:	- tree romoval 6/10/85
APPLICATIONS: M-84-22- 4-10+	subdivision approved 1/9/85.
	cation to single-family-approveds
X-89-28- room addition	++2 (evel - approved 9/19/89)
11/3/92 HPC appr. constru	action of a carport
BLDG PERMITS:	
OTHER PERMITS:	
CERTIFICATE OF OCCUPANCY:	
HOME OCCUPATION PERMIT:	
TREE REMOVAL PERMIT:	
COMMENTS: Anne Bloomfield	Survey
_33\xls\track	

Historic Preservation Committee June 22, 2011 Page 2 of 6

He commented that the house has lost its historic context from the original style and is becoming Craftsmen.

Mark DeMattei explained that he was trying to provide a design that was compatible with the neighborhood.

Len Pacheco commented that this house and the house next door were built and remodeled at the same time. He commented that if this is moving towards a Craftsmen it is not quite there yet. He commented that it should have wider overhangs, lower roof pitch, only one style of window, brackets, deeper porch, belly band, gable ends, and siding that matches the existing eight inch wide siding.

Bob Cowan commented that the front porch depth is inadequate.

Len Pacheco commented that the front porch should be at least five or six feet deep.

Bob Cowan commented that the back door should have some kind of cover above it.

Len Pacheco made a motion to recommend approval of the request with the following recommendations:

- 1. Extend the roof overhangs.
- 2. Lower the roof pitch by at least six inches.
- 3. Incorporate a wider rock chimney.
- 4. The windows should all be double hung in single or paired configurations.
- 5. The brackets should be stronger, but in proportion.
- 6. The siding should match the existing eight inch wide siding.
- 7. The rear door on the rear elevation should have a bracketed overhang.
- 8. The front porch depth should be extended as allowed by Town Code and could be covered or uncovered.

The motion was seconded by *Bob Cowan* and passed unanimously.

### ITEM 3 68 BROADWAY

Mike Wasserman, owner, and David Zicovich, contractor, were present for this item.

Mike Wasserman provided an overview of the proposed modification and provided justification for the request.

Historic Preservation Committee June 22, 2011 Page 3 of 6

Len Pacheco asked if the window would be the same width as the existing door opening and if the brick wainscoting would be continued under the new window?

Mike Wasserman commented that the window would be the same size and the wainscoting would be continued to match the existing look.

Bob Cowan made a motion to approval the exterior modifications as requested because they will be compatible and consistent with the existing structure and commented that this could have been done at staff level.

The motion was seconded by Kathy Janoff and passed unanimously.

### ITEM 4 135 TAIT AVENUE

Gary Schloh, architect, was present for this item, representing the property owner.

Gary Schloh provided an overview of the proposed project and justification for approval of the proposed garage.

Len Pacheco asked about the details of the proposed garage door.

Bob Cowan asked if the proposed roofing material was wood shake and showed pictures of the garage door on the adjacent property.

Gary Schloh commented that the roof would be wood shake and that he could use a garage door similar to the one next door.

Bob Cowan made a motion to recommend approval of the detached garage to the Director of Community Development, with guidance to the applicant to use a wood door similar to the property next door. The motion was seconded by Kathy Janoff and passed unanimously.

### ITEM 5 OTHER BUSINESS

### a. 41 N. Santa Cruz Avenue

Jackie Greenmyer explained that they were looking for feedback from the Committee regarding the preliminary design proposal and provided background for the existing theater. She explained that they want to add more art deco touches and increase the height to add verticality to the existing structure.

# TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT

110 E. Main Street, Los Gatos, CA 95032 Phone: (408) 354-6874 Fax: (408) 354-7593

## HISTORIC PRESERVATION COMMITTEE PROJECT DATA SHEET

### 1. PROJECT DETAIL

Project address: 68 Broadway

Project description: Request of exterior modifications (change door to window on front facade).

### 2. PROPERTY DETAIL

Date structure was built 1980s

Town of Los Gatos Historic Status Code

Does property have an LHP Overlay zone? Yes

Is structure in a historic district? Yes

If yes, what district? Broadway

If yes, is it a contributor? Yes

Findings required? No

If yes, see back page of this document.

Considerations required? Yes

If yes, see back page of this document.

Comments: Proposed plans are attached.

### **Required Findings**

As required by Section 29.10.09030(e)(2) of the Town Code for the demolition of a single family residence (Preservation of historically or architecturally significant buildings) and the Secretary of Interior Standards of any historic structure.

- 1. The building is not associated with any events that have made a significant contribution to the Town.
- 2. No significant persons are associated with the site.
- 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
- 4. The structure does not yield information to Town history.
- 5. Structural integrity of the building.

### **Required Considerations**

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- On landmark sites, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the landmark (and, where specified in the designating ordinance for a publicly owned landmark, its major interior architectural features) nor adversely affect the character of historical, architectural or aesthetic interest or value of the landmark and its site.

  In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property
- In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.
- For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

### **Town Policy**

That the work proposed is compatible with the neighborhood.

N:\DEV\SUZANNE\HistoricPreservation\Historic Forms\Broadway68.doc

This Page Intentionally Left Blank



This Page Intentionally Left Blank

# HISTORIC RESOURCES 4



Original doors and windows should be retained and repaired



True divided lite windows are encouraged when appropriate to the original structure



Simulated divided lite windows may be considered on a case-by-case basis

- New materials should identically match original materials in shape, size, dimension, texture and pattern. Metal used as flashing, screening, gutters, and utility services and other traditional elements are acceptable.
- Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.
- The decision making body may approve an acceptable alternative to the original building material if use of the original material is not feasible due to unreasonable cost and commercial availability, or health and safety considerations.

#### **4.8.3** Doors

- Original doors should be retained and restored.
- New replacement doors for Victorians should not be flush, but of raised or flat panel design.
- Front doors generally should be painted, not stained.
   Not applicable to Mission Revival/Mediterranean style structures.
- Screened doors should be real wood framed of simple design unless patterns can be shown to fit the existing style.

#### 4.8.4 Windows and Glass in doors

- Original windows, glass and window decorations should be retained and restored.
- Replacement of only the deteriorated portions of the windows is recommended rather than the replacement of the entire window.
- New or replacement windows should be wood-sashed and muntined if applicable.
- Sills, lintels, frames, sashes, muntins, and all decorations should be identically replaced.
- All elements of new windows should be identical in size, shape, proportion, and dimensions as the original windows of the building, or consistent with traditional sizes, proportions and dimensions of buildings of the same architectural style, design and era.
- Windows should be constructed of real glass, and window

# HISTORIC RESOURCES 4

frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

- All lites (panes of glass) should be true divided lite, not artificial or snap-in grids. Simulated Divided Lite windows are permitted when the details of the window provide projecting muntin elements on the exterior and interior of the window along with a spacer muntin between the panes of glass (See example to the left).
- New arched, angled, and/or octagonal windows are discouraged.
- Large expanses of blank exterior walls without windows are discouraged.

### 4.8.5 Bay Windows

- Size, shape, proportion, dimension, type of foundation, and, roof material and style of bay windows, whether restored or of new construction, should be identical to the original or existing bay windows of the structure.
- New bay windows may be added to the building in locations where no bay windows previously existed. These new bay windows should be identical to and replicate the style, design, size, shape and proportion, type of foundation and roof of other bay windows existing on structure. If there are no existing bay windows on the structure, new bay windows should be built in the same size, shape, dimension, proportions, material and type of foundation and roof typical of the architectural style. Metal frame kitchen garden windows are prohibited.
- Generally, traditional architectural styles will require either a
  foundation to the ground or substantial supporting brackets
  below a bay window. Floating windows without support, as
  shown for the bow bay window example to the right, are
  rarely appropriate.
- New bay windows are permitted only when the applicant proves to the Deciding Body that they are consistent with existing style, design and character of the structure.

### 4.8.6 Chimneys

- Wood-framed chimneys are prohibited unless their exteriors are covered with brick or river rock veneers. Masonry veneers may be used. However, they should be detailed exactly as the solid construction that they are emulating.
- Stucco Mission Revival or Mediterranean style houses may have stucco covered chimneys.



Match bay windows to the architectural style of the house



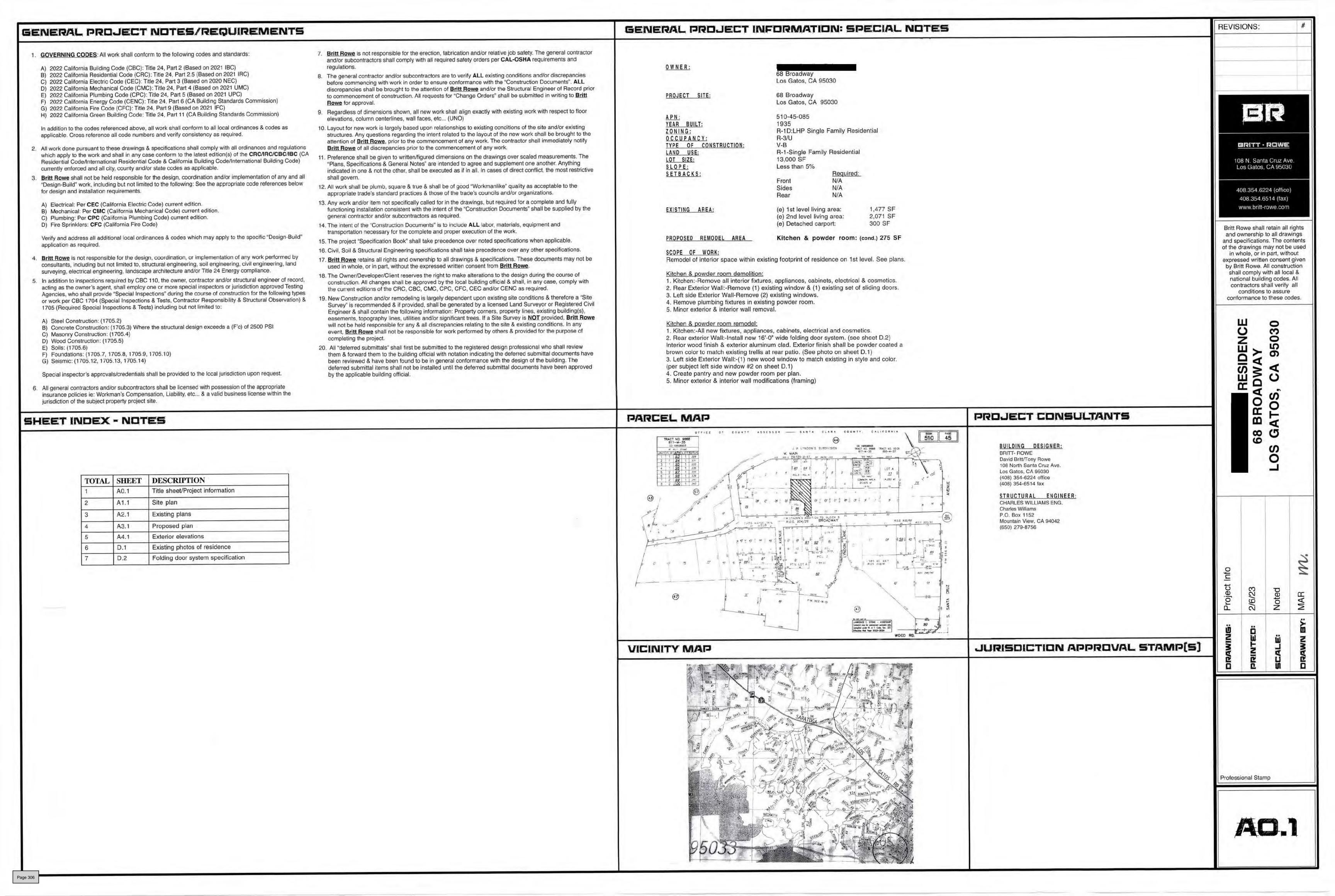
Some window styles, such as this bow bay window, would have very limited applicability for use on a historic resource structure

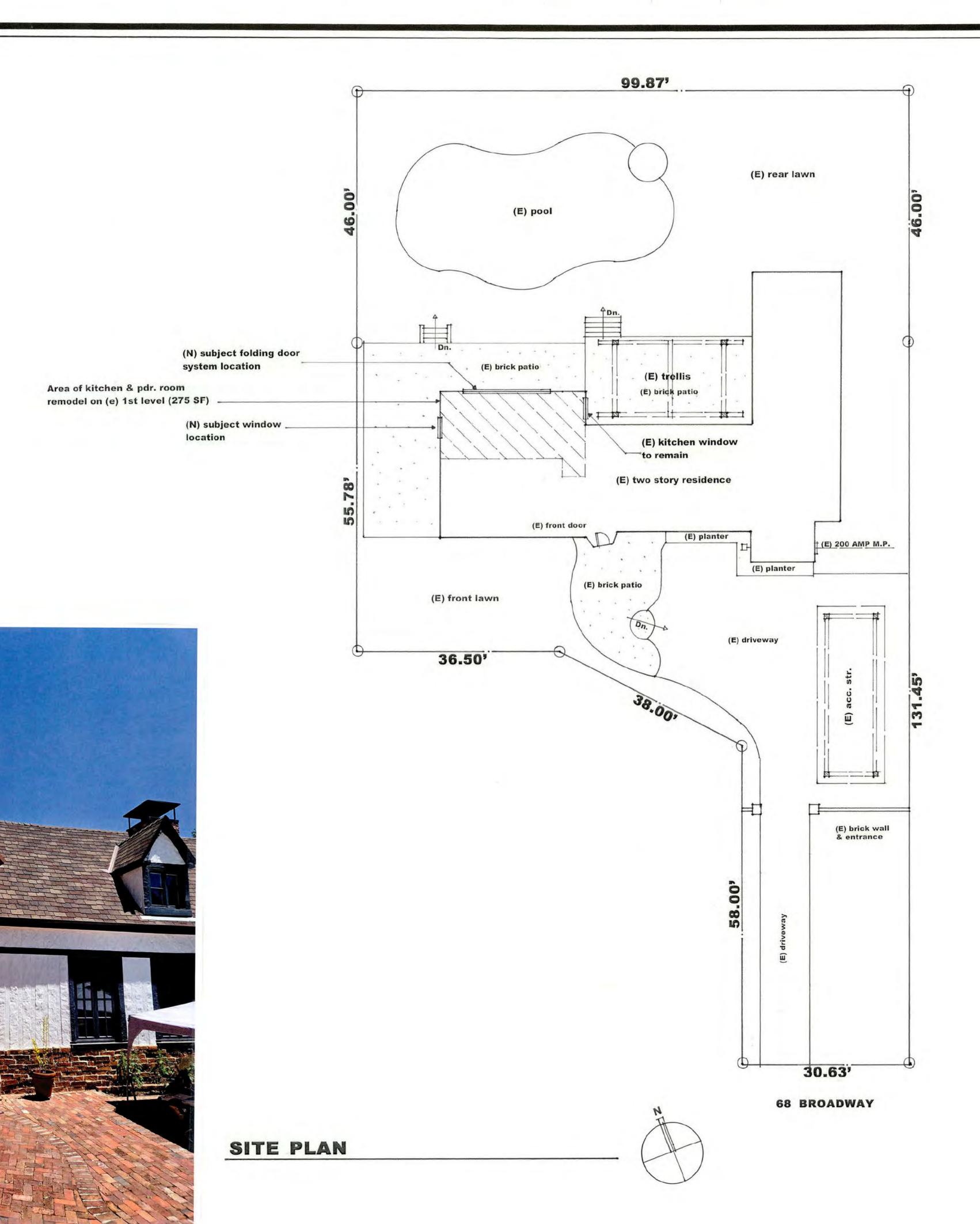


Wood clad chimneys are prohibited



Masonry and stucco chimneys are preferred



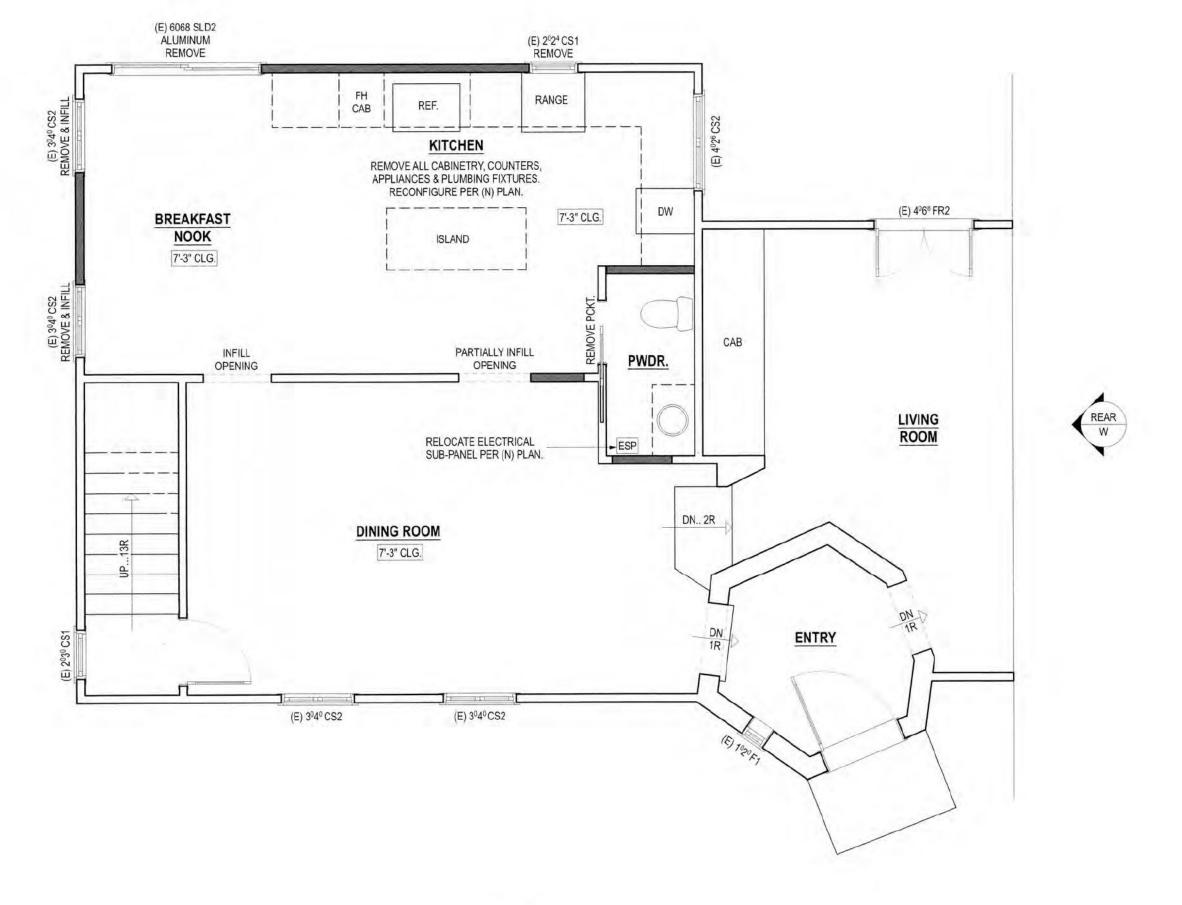


EXISTING FRONT ENTRY (SOUTHWEST)

Britt • Rowe 108 N. Santa Cruz Ave. Los Gatos, CA 95030 408.354.6224 (office) 408.354.6514 (fax) NCE 95030

**REVISIONS** 





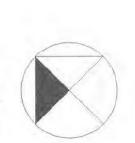
RIGHT

(E) 2X DF STUD WALL TO REMAIN:

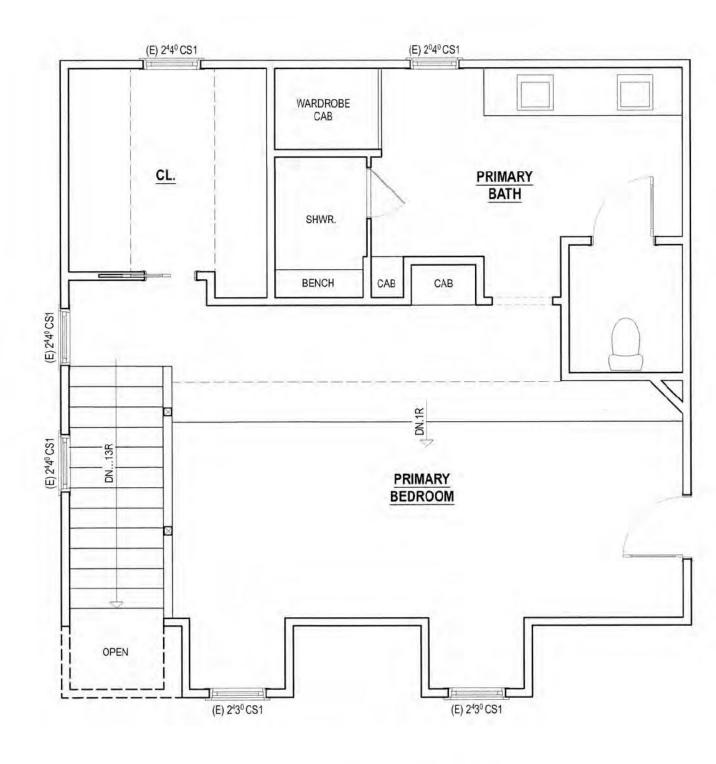
(E) 2X DF STUD WALL TO REMOVE:

# (E) PARTIAL 1ST FLOOR PLAN

37° 13' 22" N 121° 59' 10" W







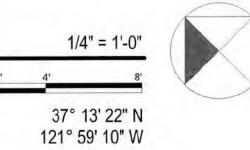


# NOT IN SCOPE OF WORK



(E) 2X DF STUD WALL TO REMAIN:

# (E) PARTIAL 2ND FLOOR PLAN



PROFESSIONAL STAMP

DRAWING:

**A2.1** 

AS NOTED

国民

**BRITT-ROWE** 

108 N. SANTA CRUZ AVE. LOS GATOS, CA 95030

408.354.6224 (OFFICE) 408.656.4732 (CELL)

www.britt-rowe.com

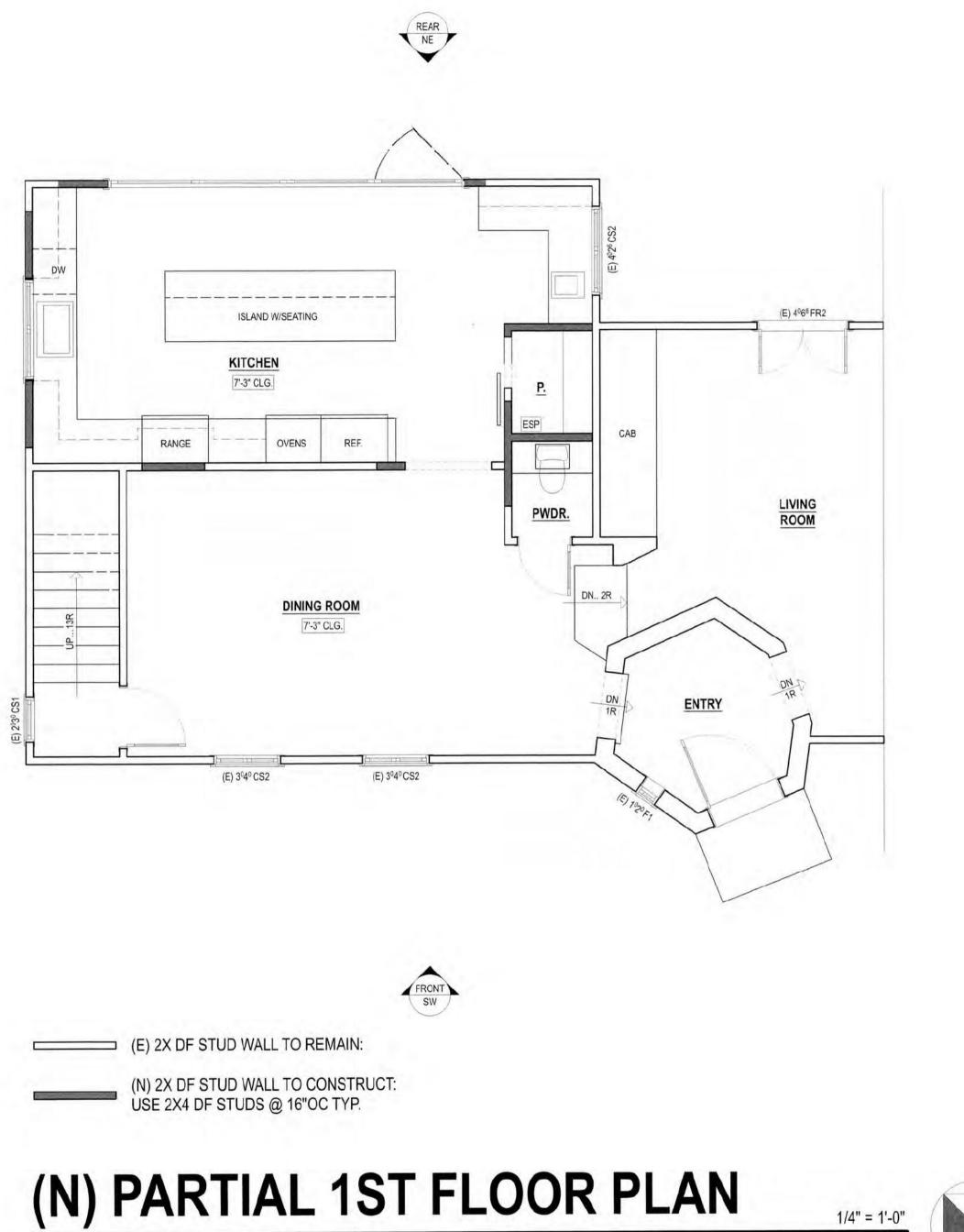
BRITT ROWE SHALL RETAIN ALL RIGHTS & OWNERSHIP TO ALL DRAWINGS & SPECIFICATIONS. THE CONTENTS OF THE

DRAWINGS MAY NOT BE USED IN WHOLE, OR IN PART, WITHOUT EXPRESSED WRITTEN CONSENT GIVEN BY BRITT ROWE. ALL CONSTRUCTION SHALL COMPLY WITH ALL

LOCAL & NATIONAL BUILDING CODES. ALL
CONTRACTORS SHALL VERIFY ALL
CONDITIONS TO ASSURE CONFORMANCE

TO THESE CODES.

RESIDENCE



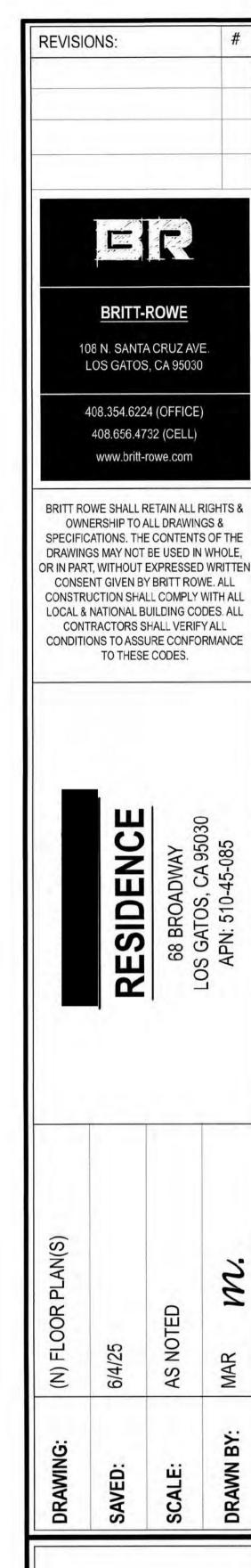
## NOT IN SCOPE OF WORK



(E) 2X DF STUD WALL TO REMAIN:

# (E) PARTIAL 2ND FLOOR PLAN

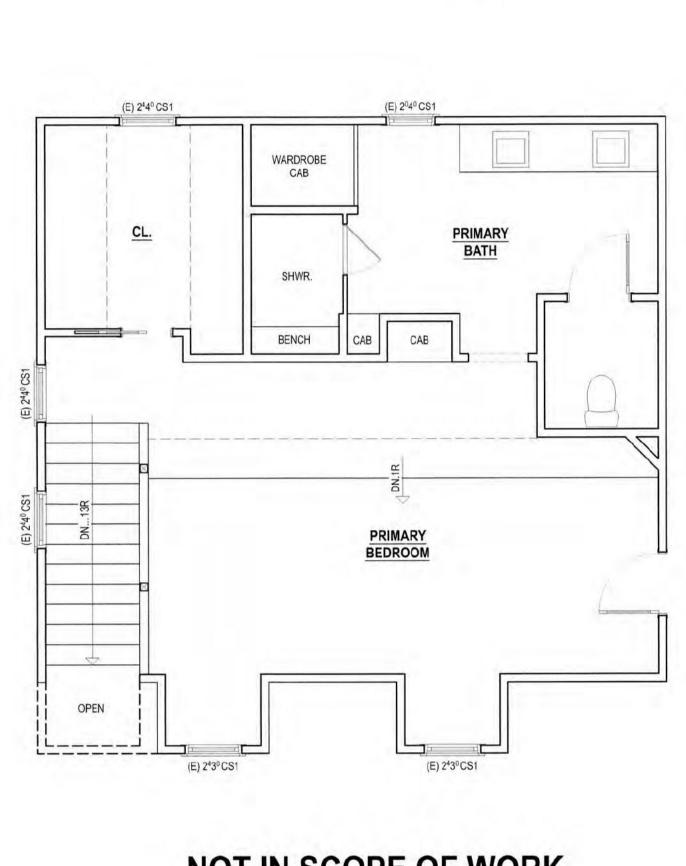
37° 13' 22" N 121° 59' 10" W



AS NOTED SAVED:

PROFESSIONAL STAMP

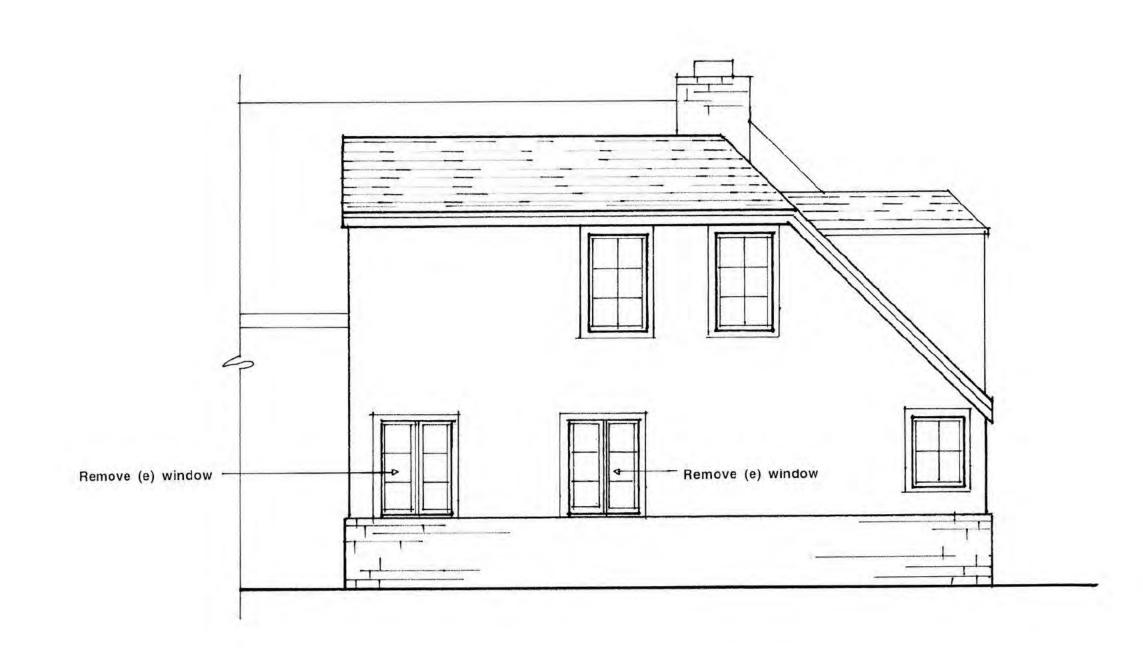
A3.1



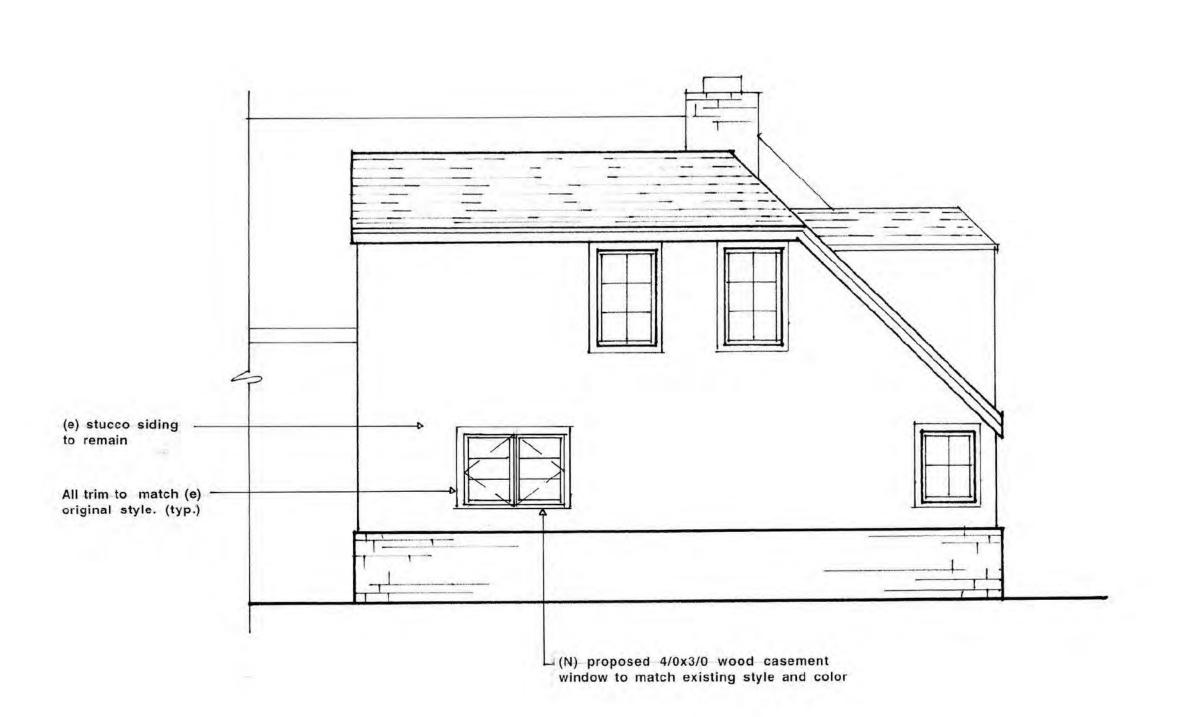




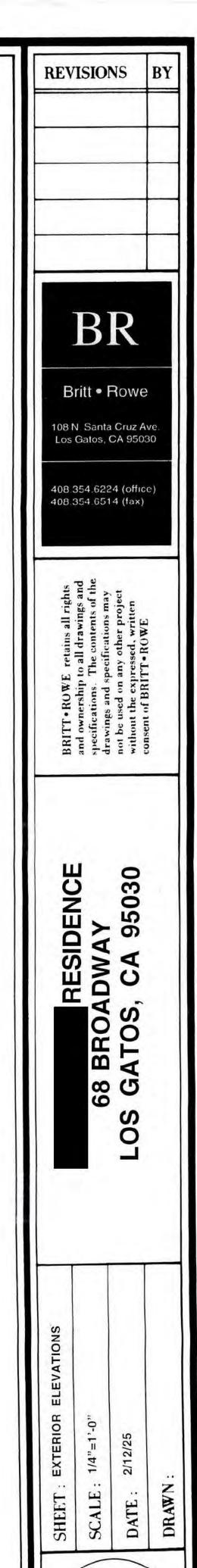




EXISTING NORTHWEST ELEVATION (LEFT SIDE)

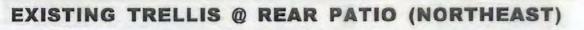


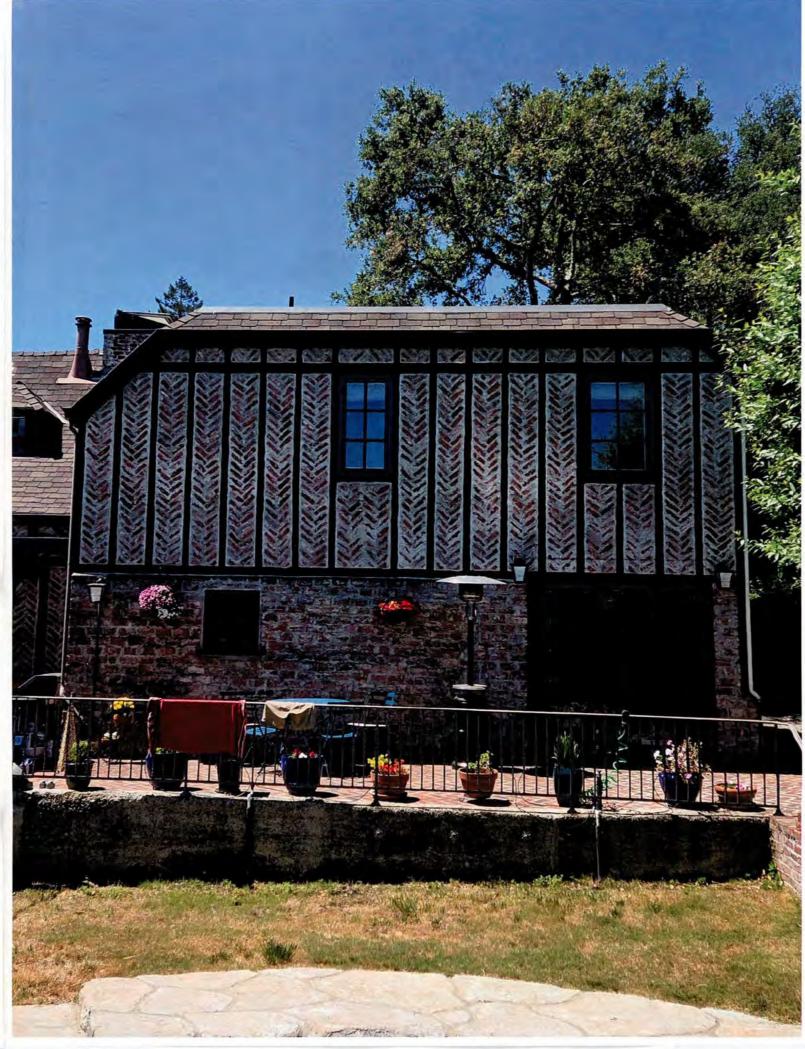
PROPOSED NORTHWEST ELEVATION (LEFT SIDE)



**A4.1**)









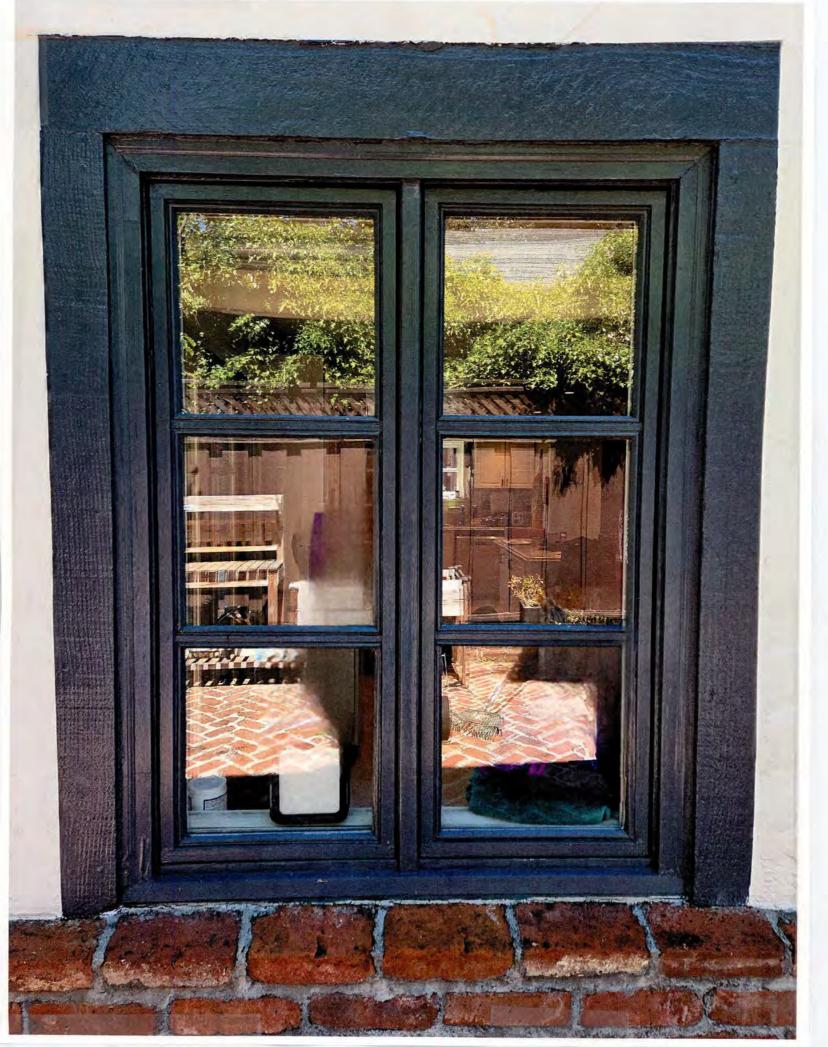
KITCHEN WINDOW TO REMAIN (SOUTHEAST)



SUBJECT REAR WALL #2 (NORTHEAST)



SUBJECT LEFT SIDE #1 (NORTHWEST)



SUBJECT LEFT SIDE WINDOW #2 (NORTHWEST)

REVISIONS:

BRITT-ROWE 108 N. SANTA CRUZ AVE. LOS GATOS, CA 95030

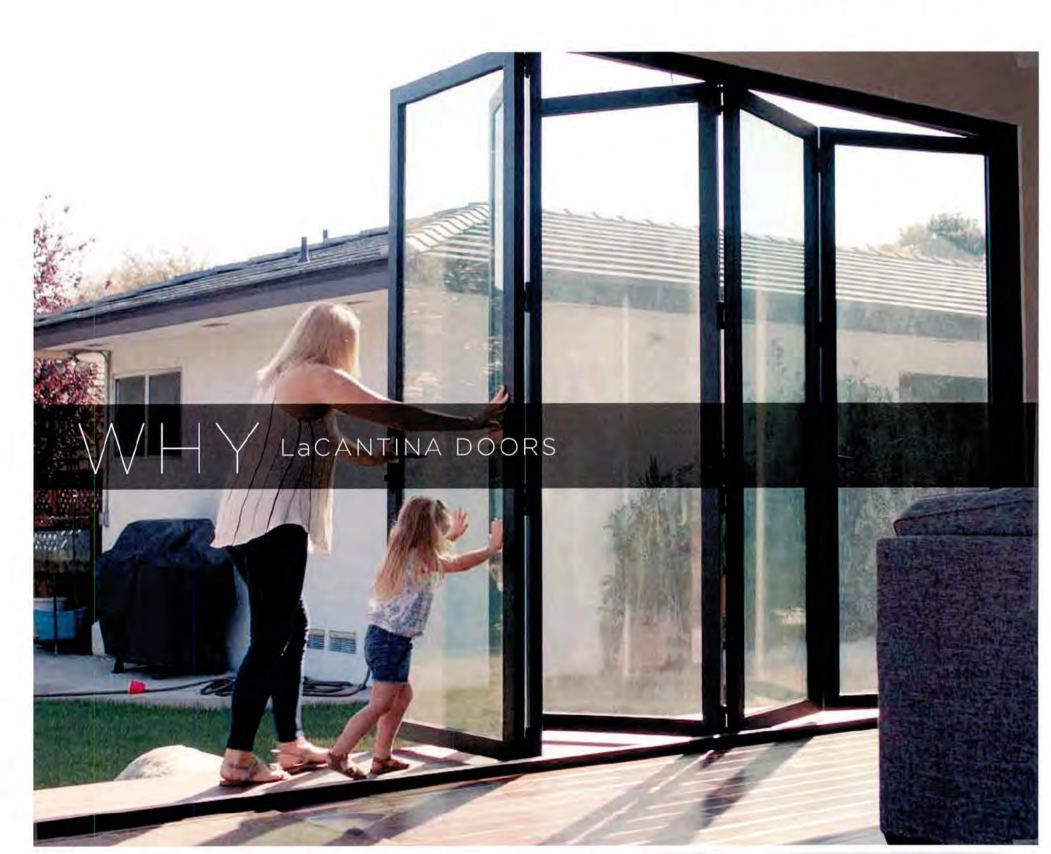
408.354.6224 (OFFICE) 408.354.6514 (FAX) www.britt-rowe.com

Britt-Rowe shall retain all rights and ownership to all drawings and specifications. The contents of the drawings may not be used in whole, or in part, without expressed written consent given by Britt-Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these

PROFESSIONAL STAMP







LaCANTINA OFFERS PRODUCTS IN A WIDE RANGE OF MATERIAL AND FINISH OPTIONS TO COMPLIMENT ANY

THE V2 SYSTEM FEATURES 2 1/8" ULTRA-THIN STILES & RAILS, HIDDEN HARDWARE AND LARGER PANEL SIZES DELIVERING MORE GLASS AND A SLEEK AESTHETIC, WHILE THE AUTOMATIC LOCKING SYSTEM ALLOWS FOR EFFORTLESS OPERATION. V2 IS A THERMALLY CONTROLLED SYSTEM AVAILABLE WITH ALL ALUMINUM

THE ALUMINUM THERMALLY CONTROLLED SYSTEM IS THE RESULT OF AN EXTENSIVE DESIGN PROCESS FOCUSED ON ENERGY EFFICIENCY, STRUCTURAL INTEGRITY AND VERSATILITY. THE ALUMINUM THERMALLY CONTROLLED ALUMINUM THERMALLY SYSTEM FEATURES A NARROW 2 15/16" STILE AND RAIL PROFILE WITH THERMAL BREAKS THROUGHOUT FOR CONTROLLED IMPROVED PERFORMANCE. OUR PROPRIETARY CORE AND FASCIA DESIGN ALLOWS SPLIT FINISH COLOR OPTIONS FOR THE INTERIOR AND EXTERIOR PROVIDING MAXIMUM DESIGN FLEXIBILITY.

THE ALUMINUM SYSTEM'S CLEAN DESIGN FEATURES A 2 3/4" NARROW STILE AND RAIL PROFILE, ALLOWING FOR ALUMINUM MORE GLASS AND LIGHT. THE ALUMINUM SYSTEM IS PERFECT FOR RESIDENTIAL AND COMMERCIAL PROJECTS IN MODERATE CLIMATES OR AS AN INTERIOR SPACE DIVIDER.

> THE CONTEMPORARY CLAD BOASTS STYLE WITHOUT COMPROMISING PERFORMANCE. FEATURING A LOW MAINTENANCE ALUMINUM EXTERIOR WITH MULTIPLE PROFILE DESIGNS AND THE NATURAL WARMTH OF A WOOD INTERIOR, THE CONTEMPORARY CLAD COMPLEMENTS ANY ARCHITECTURAL STYLE AND WINDOW PACKAGE. PERFECTLY PROPORTIONED, THE CONTEMPORARY CLAD PROVIDES A BEAUTIFUL AESTHETIC AND INCREASED THERMAL PERFORMANCE RESULTING IN OUR MOST ENERGY EFFICIENT SYSTEM.

THE ALUMINUM WOOD SYSTEM IS OUR UNIQUE DESIGN INNOVATION BASED ON THE SAME STYLING AS A ALUMINUM WOOD TRADITIONAL WOOD CLAD DOOR. BUILT WITH THE HIGHEST QUALITY COMPONENTS AND LATEST ENGINEERING. THE ALUMINUM WOOD SYSTEM IS ENGINEERED FOR LARGE OPENINGS REQUIRING OVERSIZED DOOR PANELS.

> THE VINYL FOLDING SYSTEM BRINGS HIGH QUALITY CONTEMPORARY STYLING TO THE VINYL DOOR MARKET. DESIGNED TO APPEAL TO THE NEEDS OF A BROADER MARKET, THE VINYL SYSTEM PERFORMS WELL IN ALL ENVIRONMENTS, MATCHES POPULAR VINYL WINDOW PACKAGES AND IS THE IDEAL SOLUTION FOR HOME RENOVATIONS AND NEW CONSTRUCTION.

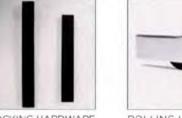
LaCANTINA'S ORIGINAL SYSTEM IS A TIMELESS CLASSIC FEATURING THE NATURAL BEAUTY AND ORGANIC WOOD AESTHETIC OF WOOD. AVAILABLE IN A WIDE RANGE OF STANDARD AND CUSTOM WOOD SPECIES. READY TO SEAL, STAIN OR PAINT.

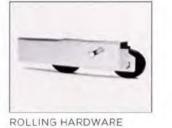
LaCANTINADOORS com | 09

LaCANTINA SLIDING SYSTEMS UTILIZE ARCHITECTURAL GRADE MATERIALS AND AAMA CERTIFIED LOW PROFILE WHEELS FOR INCREASED DURABILITY AND SMOOTHER PERFORMANCE. LaCANTINA'S MINIMAL ONE PIECE HANDLE HARDWARE IS OFFERED IN A STAINLESS, BRONZE AND BLACK FINISH.

HARDWARE

CONTEMPORARY CLAD







SILL OPTIONS THAT SUIT WEATHER EXPOSURE OR FLUSH FLOOR TRANSITIONS FROM INSIDE TO OUTSIDE.

CONFIGURATIONS

STACKING OPTIONS







OUR MULTI SLIDE SYSTEMS ARE CUSTOM MADE AND ARE AVAILABLE FOR SMALLER OPENINGS SUCH AS WINDOWS OR EXPANSIVE OPENINGS. INDIVIDUAL PANELS CAN BE UP TO 8' WIDE AND 12' TALL, BASED ON A MAXIMUM OF 60 SQ. FT. OF GLASS PER PANEL. LaCANTINA MULTI SLIDE SYSTEMS ARE ALSO AVAILABLE IN POPULAR STANDARD SIZES AND OPENINGS RANGING FROM 8' TALL AND 6',8',9',12' AND 16' WIDE.

LaCANTINA'S MULTI SLIDE SYSTEMS OFFER A RANGE OF STACKING AND POCKETING CONFIGURATIONS AND ARE AVAILABLE UP TO 12 PANELS, 6 IN EACH DIRECTION. BELOW ARE A SAMPLE OF POPULAR CONFIGURATION OPTIONS.

OXXXX OR XXXXO

	1 PANEL	2 PANELS	3 PANELS	4 PA	NELS
	PX OR XP PXX OR XX		PXXX OR XXXP	PXXXX OR XXXXP	PXX XXP
POCKET OPTIONS	5 PANELS		6 PANELS		
	PXXXXX OR XXXXXP	PXXXXXX OR XXX	XXXP	PXXX XXXP	
	3 PANELS	4 PANELS	5 PAN	ELS	6 PANELS

16 | LaCANTINADOORS.com

LaCANTINA FOLDING SYSTEMS PRODUCT COMPARISON



STYLE	CONTEMPORARY	CONTEMPORARY	CONTEMPORARY	CONTEMPORARY TO TRADITIONAL	TRADITIONAL	CONTEMPORARY TO TRADITIONAL	TRADITIONAL TO CONTEMPORARY
PRICING	\$\$\$	\$\$	\$	\$\$	\$\$	\$	\$
STILE & RAIL PROFILE	2 1/8"	2 15/16"	2 3/4"	2 15/16"	3 5/8"	2 15/16"	3 5/8"
LOCK TYPE	AUTOMATIC LOCKING SYSTEM	TWIN BOLT LOCKING SYSTEM	TWIN BOLT LOCKING SYSTEM	TWIN BOLT LOCKING SYSTEM	TWIN BOLT LOCKING SYSTEM	TWIN BOLT LOCKING SYSTEM	FLUSH BOLT LOCKING SYSTEM
HINGE TYPE	HIDDEN HINGES & CONCEALED HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES	SURFACE MOUNTED INTERIOR HINGES & PULL HANDLES
PANEL CONSTRUCTION	ALUMINUM W/ THERMALLY EFFICIENT CORE. WOOD INTERIOR OPTION AVAILABLE	ALUMINUM W/ THERMALLY EFFICIENT CORE	ALUMINUM	ENGINEERED WOOD CORE W/ EXTERIOR ALUMINUM	ALUMINUM WITH SOLID WOOD INTERIOR	VINYL	ENGINEERED WOOD CORE
SIMULATED DIVIDING LITES (SDLs)	7/8" CONTEMPORARY	1" CONTEMPORARY	1" CONTEMPORARY	1" CONTEMPORARY OR TRADITIONAL	1" CONTEMPORARY OR TRADITIONAL		1" TRADITIONAL
ENERGY EFFICIENCY	BEST	BETTER	GOOD	BEST	BETTER	BETTER	BEST
U-VALUE LOW-E-366 ARGON*	.35	.37	.48	.30	.38	.34	.30
WOOD SPECIES	VG FIR OR SAPELE MAHOGANY	*	0	VG FIR OR SAPELE MAHOGANY	VG FIR OR SAPELE MAHOGANY	•	VG FIR OR SAPELE MAHOGANY
STOCK FINISHES	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT SHADOW BLACK PAINT	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT (SPLIT FINISHES AVAILABLE)	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT (SPLIT FINISHES AVAILABLE)	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT BRONZE PAINT SHADOW BLACK PAINT	WHITE PAINT BRONZE PAINT SHADOW BLACK PAINT	WHITE VINYL TAN VINYL	•

\*THE ABOVE TABLE SHOULD SERVE AS A GENERAL REFERENCE FOR THERMAL PERFORMANCE VALUES. PLEASE NOTE THERMAL PERFORMANCE VALUES MAY VARY BASED ON THE ATTRIBUTES OF A GIVEN DOOR SYSTEM. \*PERFORMANCE RESULTS BASED ON OUTSWING WEATHER RESISTANT SILL.

LaCANTINADOORS com | 13

WOOD

ALL LaCANTINA DOORS FEATURE CARDINAL GLASS, THE LEADING GLASS COMPANY IN THE U.S. SELECT FROM A WIDE GLASS RANGE OF GLASS TYPES TO MATCH WINDOW PACKAGES OR MEET ENERGY CODE REQUIREMENTS, DUAL GLAZED LOÊ GLASS COMES STANDARD ACROSS OUR ENTIRE PRODUCT LINE. SIMULATED DIVIDED LITES ARE ALSO AVAILABLE.

AVAILABLE FOR V2, ALUMINUM, ALUMINUM THERMALLY CONTROLLED AND CONTEMPORARY CLAD SYSTEMS.

AVAILABLE FOR V2, ALUMINUM WOOD AND CONTEMPORARY CLAD SYSTEMS. IN-STOCK COLORS\* SHADOW BLACK WHITE AVAILABLE FOR VINYL SYSTEMS.

CLEAR ANODIZED BRONZE ANODIZED WHITE

						1
	FAST TRACK WHITE	ABALONE	BONE WHITE	SANDTONE	CASHMERE	PUTTY
	PEBBLE GRAY	PATINA	HARTFORD GREEN**	ROSEWOOD	BRICK RED	MESA RED**
OPTIONAL COLORS*	BOYSENBERRY	TERRATONE	DARK CHOCOLATE	BROWN	TUSCANY BROWN	TRUFFLE
	STATUARY BRONZE	CHESTNUT BRONZE	MEDIUM BRONZE	MIDNIGHT BRONZE	FASHION GRAY	COLONIAL GRAY

IN-STOCK WOOD VERTICAL GRAIN SAPELE MAHOGANY DOUGLAS FIR

CUSTOM COLORS ARE AVAILABLE TO MATCH VIRTUALLY ANY FINISH. A 2-COAT 70% KYNAR PAINT IS STANDARD. CUSTOM OPTIONS\* POWDERCOAT AND WOOD GRAIN FINISHES ARE ALSO AVAILABLE. CUSTOM WOOD IS ALSO AVAILABLE. POPULAR SPECIES INCLUDE OAK, MAPLE, CHERRY, ALDER & WALNUT.

\*ACTUAL COLORS MAY VARY, SAMPLES AVAILABLE UPON REQUEST. \*\*HIGHER SETUP COSTS FOR PREMIUM OPTIONAL COLORS MAY APPLY. 24 | LaCANTINADOORS com

BRITT-ROWE 108 N. SANTA CRUZ AVE. LOS GATOS, CA 95030

> 408.354.6224 (OFFICE) 408.354.6514 (FAX) www.britt-rowe.com

Britt-Rowe shall retain all rights and ownership to all drawings and specifications. The contents of the drawings may not be used in whole, or in part, without expressed written consent given by Britt-Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these

95030

DRAWING: SAVED:	LACANTINA DOOR DETAILS 2/12/25	DOOR	DET!
SCALE:	AS NOTED		

PROFESSIONAL STAMP

This Page Intentionally Left Blank



# TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

MEETING DATE: 06/25/2025

ITEM NO: 6

DATE: June 20, 2025

TO: Historic Preservation Committee (HPC)

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Preliminary Review to Construct a New Second-Story

Addition and Exterior Alterations to an Existing Pre-1941 Single-Family

Residence on Property Zoned R-1D. **Located at 245 Los Gatos Boulevard**. APN 529-24-024. Request for Review Application PHST-25-011. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Michael Phung. Applicant: Andres Johnson. Project Planner: Samina

Merchant.

### **RECOMMENDATION:**

Consider a request for preliminary review to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D, located at 245 Los Gatos Boulevard.

### **PROPERTY DETAILS:**

- 1. Date primary structure was built: 1924 per County Assessor's Database; 1920s per Anne Bloomfield Survey
- 2. Bloomfield Preliminary Rating: "+" Historic and intact or worthy of special note
- 3. Does the property have an LHP Overlay? No
- 4. Is the structure in a historic district? No
- 5. If yes, is it a contributor? N/A
- 6. Findings required? No
- 7. Considerations required? Yes

#### **BACKGROUND**:

The subject property is located on the west side of Los Gatos Boulevard north of the intersection at Simons Way. The County Assessor reports that the residence was constructed in 1924. The 1990 Anne Bloomfield Survey describes the residence as being built in a Bungalow style with an estimated construction date of the 1920s (Attachment 1). The Bloomfield Survey rates the residence as historic and intact or worthy of special note.

PREPARED BY: Samina Merchant

Associate Planner

PAGE 2 OF 4

SUBJECT: 245 Los Gatos Boulevard/PHST-25-011

DATE: June 20, 2025

The Sanborn Fire Insurance Maps do not provide coverage for the property until 1928. The footprint of the residence remains consistent between the 1928 and the 1956 maps (Attachment 2). Town records include a 2022 Building Permit for the demolition of unpermitted and permitted areas, construction of a new addition, and exterior remodel (Attachment 3).

### **DISCUSSION**:

The applicant provided a Letter of Justification for the proposed project and photos of the existing residence (Attachments 4 and 5). The applicant is requesting a preliminary review by the Committee to provide feedback on the proposed second-story addition and exterior alterations to the existing home (Attachment 6).

The project proposes a 560-square-foot second-story addition located at the rear (western elevation) of the existing one-story home. First-floor improvements include an interior remodel and exterior modifications. The new second floor would accommodate two bedrooms and two bathrooms.

The existing one-story home is 14 feet two inches tall and features a low-pitched composite shingle roof. It includes overhanging eaves with the front eave line finished in barrel tiles. The proposed second story would incorporate a similar roof style, increasing the maximum building height to 24 feet one inch. Existing materials include textured stucco, double-hung windows, and composite shingles. The proposed design would match these materials and introduce clay roof tiles. Information regarding window and door materials was not provided for this preliminary review.

#### **CONSIDERATIONS:**

#### A. Considerations.

#### Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- X For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.
- B. Residential Design Guidelines.

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 7).

PAGE **3** OF **4** 

SUBJECT: 245 Los Gatos Boulevard/ PHST-25-011

DATE: June 20, 2025

#### **CONCLUSION:**

Consider a request for preliminary review to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D, located at 245 Los Gatos Boulevard. A new second-story addition, if not triggering a technical demolition, is processed under a Minor Residential Development application. This application would return to the Committee for a formal recommendation to be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process.

### **ATTACHMENTS**:

- 1. 1990 Anne Bloomfield Survey
- 2. Sanborn Fire Maps
- 3. Town Building Permit Record
- 4. Letter of Justification
- 5. Photographs
- 6. Development Plans
- 7. Section 3.9, Residential Design Guidelines

This Page Intentionally Left Blank

## ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO. CA 94115

**ATTACHMENT 1** 

### Anne Bloomfield

## ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

File address 245 Los Gatos 81 PARCEL MAP INFORMATION Parcel #529-24-024 Lot size: 50 front ft. x 140 ft. deep Lot shape: Rectangle / L Rectangle with small rear jog Other Location: N S E W side of St Ave Other Blod distance to cross st: 435 ft. N S/E W from Charles at NE NW SE SW corner of HISTORIC INFORMATION ON PARCEL MAP Old tract or subdivision name Battlettes & Amold Block # Old lot # FIELD SURVEY INFORMATION (handwritten in red) Preliminary rating + Estimated age 1920s Style Bungalow # stories Alterations Other unpainted pebbley stucco COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 7556 EFFective date/2-87 OWNERSHIP SHOWN ON MAPS Source Source Location of property, or Lot Source Owner Old tract/block/lot Name Date Page Size Name 1891 Blk Book 1908 1944 Survey MISCELLANEOUS PHOTOS: Roll/frame #021/22 Date \* An 90 National Register listed date County Inventory 1979 Town of Los Gatos: Designation Recognition District Name Previous Survey /illustration page # Gehhard nace # 245 LGB Date 1920-27 (Tax, San) Alterations: Hoved EVALUATION

Raised Porch encl Addition Siding

Windows Condition

Designer: a\_ b\_ d\_

Contributor

District Non-contrib

mer\_ Kesident : Joseph + Eliz Worsley

1936

Page 318

Context:

Page 319

### Anne P' omfield

### ARCHITECTURAL SURVEY BUILDING RESEARCH

ARCHITECTURAL HISTORY
415) 922-1063
2229 STER STREET
SAN FRANCISCO, CA 94115

/Initials

Date

BUILDING RESEARCH PUBLISHED ANNOUNCEMENTS \_A&E \_\_Bulletin \_\_CA&BN \_\_Call \_\_Chron \_\_DPB \_\_Ed\_AB \_\_EX \_\_News \_\_PCA \_\_\_\_ Other Volume Date Page Nature of announcement: \_\_Contract notice \_\_Notice of completion \_\_BP issued \_\_Photo \_\_Elev/sketch/rend'g \_\_Floor plan \_\_Arch't/cont'r pub \_\_Real est. Copy exactly: Nature of work Builder/Contractor Architect/Engineer Location Owner Initials Date Address requested BUILDING PERMITS Bldg's ource: Permit Use/ Builder/ Arch't/ Owner width/ legister, Press-No. of Application contr. & engin'r depth/ Exterior Date Dem., or . . . Location Cost Units address & address Description of work Materials Number address height Initials date OTHER SOURCE (specify thoroughly) Initials Date SANBORN MAPS Color: Vac. yel, pnk, No. of Patches or orange Vol/ dif. Yes/ No. of Height bay Differences from today in: Date of Describe or sketch blu, gry BRCH Date (ft.) windows Stories Pootprint constr. page |bldq | Address green -Use stories 15 san

# Anne Bloomfield ARCHITECTURAL/CULTURAL SURVEY NAME RESEARCH

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO. CA 94115

elevant dates: construction birth death other	
. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)	
par Book Name/Classified Heading Listing (copy entire, exactly as shown; use of for boldface)	
	7
6 SUD n n n Worsley, Jos H(Eliz) Eno oci) h 245 San	<u> </u>
	أسسية
/initials date	
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings. Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.	
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings. Hark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.	ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  California History Center, De Anza Coll	.ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings. Hark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.	ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Biographical file	.ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Hark 'X' (info or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1988 (bio index)	ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Hark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)	.ege;
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Hark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  San Jose Historical Museum:	.ege;
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  California History Center, De Anza Coll  Biographical file  Photo collection  Thompson & West, 1876 (bio index)  Pen Pictures, 1988 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Sawyer, 1922 (bio index)  Great Registers (of voters)	ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  California History Center, De Anza Coll  Biographical file  Biographical file  Photo collection  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Sawyer, 1922 (bio index)  Indexes	ege;
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  California History Center, De Anza Coll  Biographical file  Photo collection  Singraphical file  Photo collection  California History Center, De Anza Coll  Biographical file  Singraphical file  Photo collection	.ege;
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) et each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Biographical file  Photo collection  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey box)	ege:
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or '\$' (nothing found) et each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Biographical file  Biographical file  Photo collection  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey box)	
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Mark 'X' (infd or 'B' (nothing found) et each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey Photo collection (2 boxes)  Photo Gatos Museum (Forbes Mill):  Los Gatos Museum (Forbes Mill):  California History Center, De Anza Coll Biographical file  Biographical file  Photo collection  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Photo collection  box)  Other sources:  Indexes, California Historical Quarters (file)  State Library Information Index (file)	rterly
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Hark 'X' (infd. or 'B' (nothing found) et each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey Photo collection  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey Photo collection (2 boxes)  Los Gatos Museum (Forbes Mill):  Death records by year  California History Center, De Anza Coll  Biographical file  Photo collection  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Photo collection  box)  Other sources:  Indexes, California Historical Quarters (1 biographical file)  State Library Information Index (file)  State Library-S.F. Newspaper Index	rterly
Biographical search, indexes & other alphabetical listings.  Hark 'X' (infd or '\$' (nothing found) et each source you try. List findings below.  Colf directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1888 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey box)  Photo collection (2 boxes)  Los Gatos Museum (Forbes Mill):  Death records by year  Funeral records (index cards to big books)  California History Center, De Anza Coll  Biographical file  Photo collection  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Photo collection  Other sources:  Indexes, California Historical Quart  State Library Information Index (fi	rterly
BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.  Hark 'X' (infd or 'B' (nothing found) at each source you try. List findings below.  Los Gatos Library:  City directories (name & street index)  Historic Collection Index (green boxes)  Thompson & West, 1876 (bio index)  Pen Pictures, 1988 (bio index)  Sunshine Fruit & Flowers, 1895 (bio index)  Guinn, 1904 (bio index)  Sawyer, 1922 (bio index)  Extended index to Bruntz  Bio index of Munroe Frazer, 1881 (Survey Photo collection  Los Gatos Museum (Forbes Mill):  Death records by year  California History Center, De Anza Coll Biographical file  Biographical file  Photo collection  San Jose Historical Museum:  Great Registers (of voters)  Indexes  Photo collection  box)  Other sources:  Indexes, California Historical Quarters (files)  State Library Information Index (files)  State Library-S.F. Newspaper Index	rterly

## Anne Bloomfield

### ARCHITECTURAL SURVEY ASSESSMENT ROLL RESEARCH

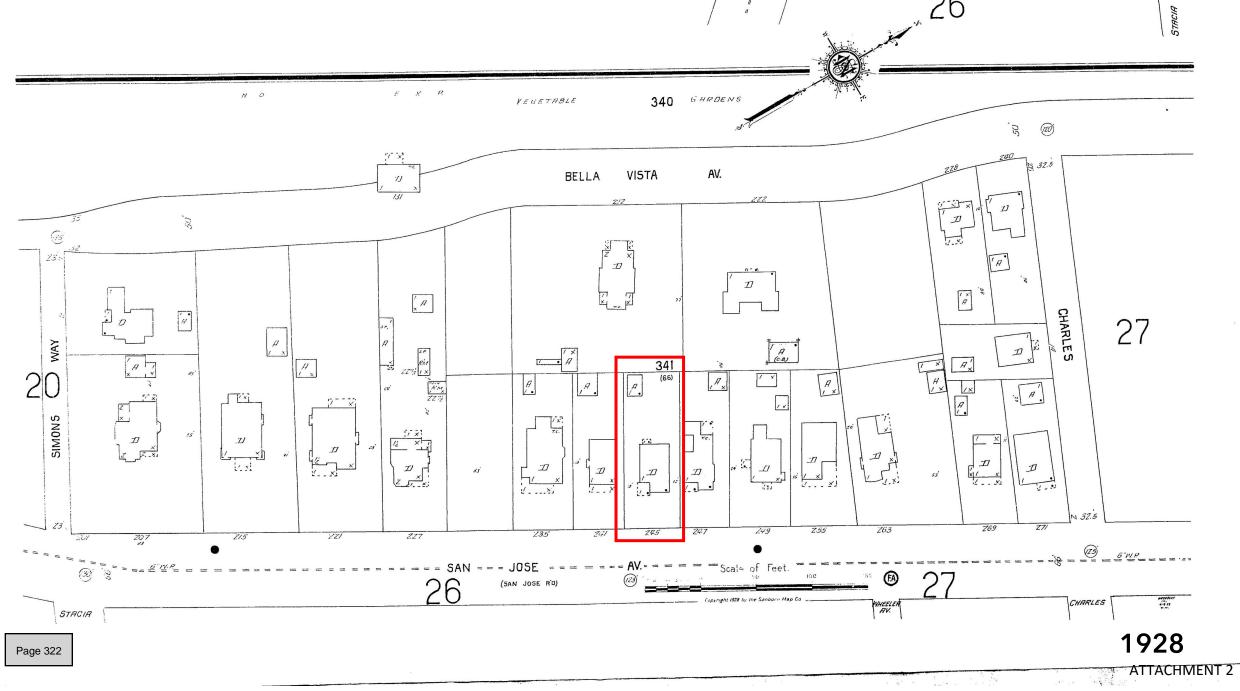
File Address	245	16	8
--------------	-----	----	---

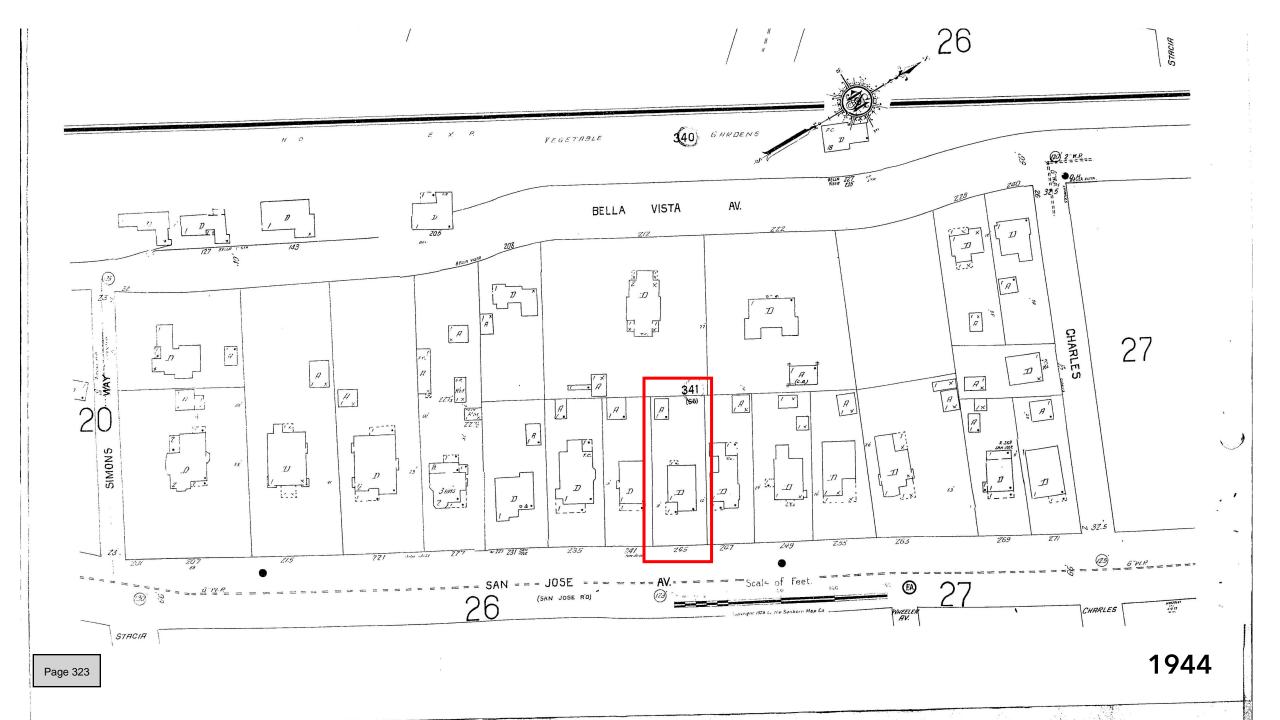
Tract/Block/Lot Bartlett/=/4

pre-1928

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or mroe. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

Date	Page	Name	Lot Identific Tract or Acres N Bdy	ation or B Block or E Bdy	oundaries Lot # or <u>S Bdy</u>	W Bdy	Assess	ment for Improve- ments	Other Info.
1910	104	JE Teet	Bartlett		4		\$225	<u>\$</u>	
1920	119	n	n		4		675		
		~							
	<b>*</b>			7					
				*		**			
				1					
						·			
	*			* <del>***</del>		**			
					***	· <del>· · · · · · · · · · · · · · · · · · </del>			
					_	· ·			
1944						10			
					•	4.4	-		1
Page 321							-		







## TOWN OF LOS GATOS BUILDING PERMIT APPLICATION



#### Email Completed Application to: Building@LosGatosCA.gov

Town Project Planner's Name: \_

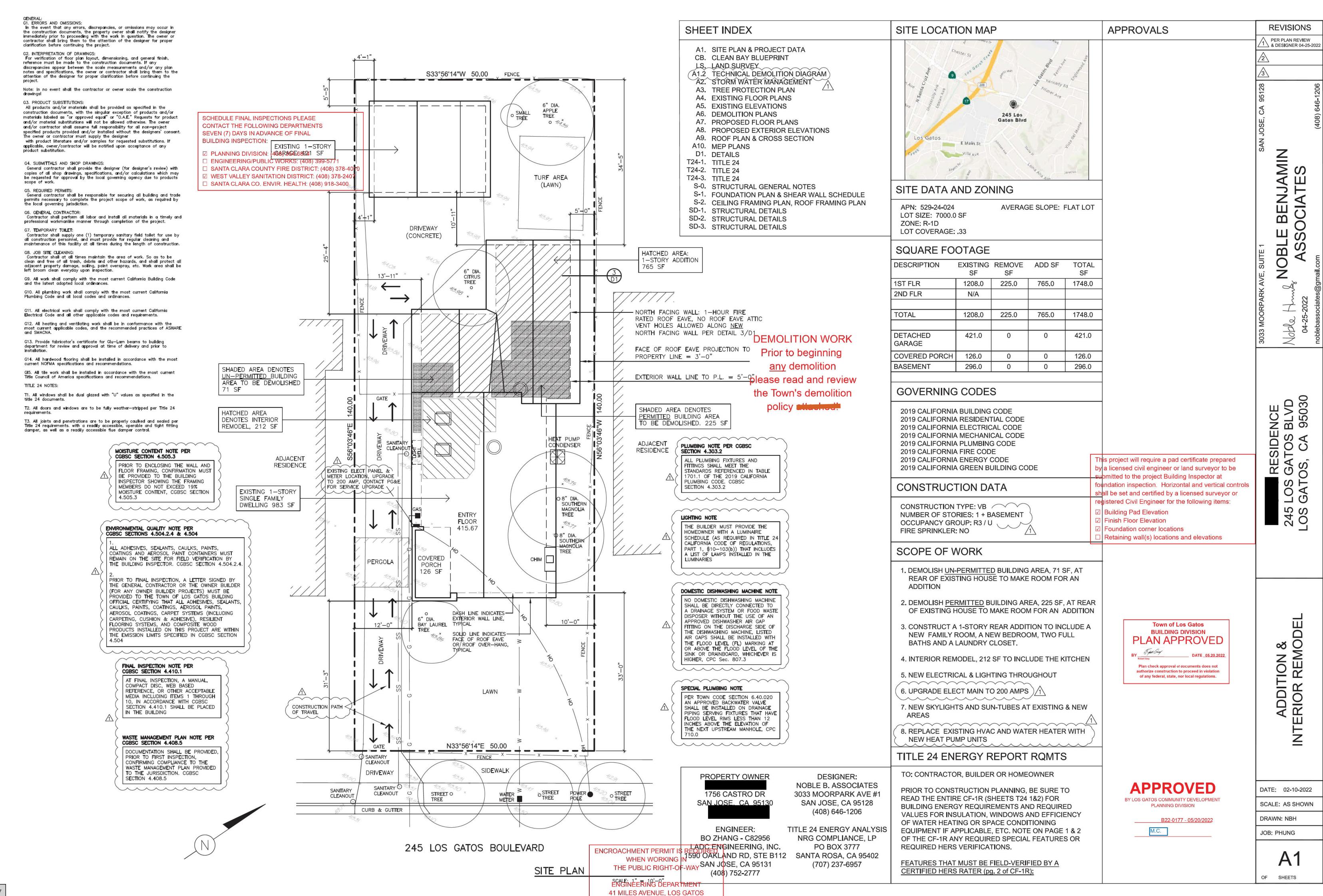
*PROJECT ADDRESS 245 LOS GATOS BLVD, LOS GATOS, CA 95030					*APN# 529-24-024					
*PROPERTY OWNER NAME MICHAEL PHUNG	*PHONE - PEOUIRED				F-MAII					
*STREET ADDRESS 1756 CASTRO DR	*CITY, STATE, Z SAN JOSE, CA, 95	*CITY, STATE, ZIP SAN JOSE, CA, 95130			FAX N/A					
APPLICANT NAME MICHAEL PHUNG			F-MAII			AII				
TREET ADDRESS CITY, STATE, ZIF 1756 CASTRO DR SAN JOSE, CA, 95			130 FA							
TENANT CONTACT NAME N/A				E			MAIL			
**BUSINESS NAME			CONTA			TACT FAX	CT FAX			
BUSINESS ADDRESS, CITY, STATE, ZIP										
*CONTACT: ✓OWNER ☐H.O.A. ☐TE	ENANT CONTRACTO	OR [	PERMIT SER	/ICE	ARCHITI	CT DE	SIGNER	ENGINE	ER	
*CONTRACTOR NAME			PHONE			LICENSE TYPE				
*STATE LICENSE #	STATE LICENSE EXPI	TATE LICENSE EXPIRES T			WN BUSINESS LICENSE #					
*DESCRIPTION OF WORK										
1. DEMO BLDG AREAS OF EX. HOUS SF 3. INTERIOR REMODEL 212 SF 4										
*CONSTRUCTION VALUATION (Per St	ructure): 140,000									
*AREA OF REMODEL SPACE: 212 S.F.			*NEW OR RELOCATED PLUMBING FIXTURES: ✓Y N							
**EXISTING USE(S) SINGLE FAMILY *			**PROPOSED USE(S) SINGLE FAMILY							
*OCCUPANCY(S): R3 / U **CONSTRUCTION			TYPE: VB HIS			STORIC DISTRICT OR PRE-1941? ✓Y N				
FIRE SPRINKLERS: YN FIRE HAZARD AREA: YN **HAZARDOUS MATERIALS? YN TENENT OF SEVEN									NER	
	*REQUIRED INFORMA  **REQUIRED FOR CO									
			EXISTING	T	PROPOSE		ED			
First Floor			983		S.F.	1748		S.F.		
Second Floor			N/A		S.F.			S.F.		
Third Floor/Attic – Habitable? Y ✓ N					S.F			S.F		
Basement/Cellar – Habitable? Y ✓ N			296		S.F.		296			
Garage - Attached ✓ Detached			418		S.F.	418		S.F.		
Pool House/Cabana Pool/Spa			N/A		S.F.		S.F.			
Porch Deck Retaining Wall			126		S.F./L.F.	126		S.F.		
	REROOF - RESIDEN	TIAL	AND COMMI	RCIA	ıL					
TEAR-OFF: SHAKE COMP WOOD SHINGLES TILE B.			U.R.		# of SQU	ARES PER	COOL	ROOF Y	N	
NEW: SHAKE COMP WOOD SHINGLES TILE B.U.R.						RE	ICC ES	S/ESR#		
CONSTRUCTION VALUATION (PER STRUCTURE): /					/ CLASS 🗆			ПА ПС		

Please complete Electrical, Mechanical, and Plumbing details on reverse side

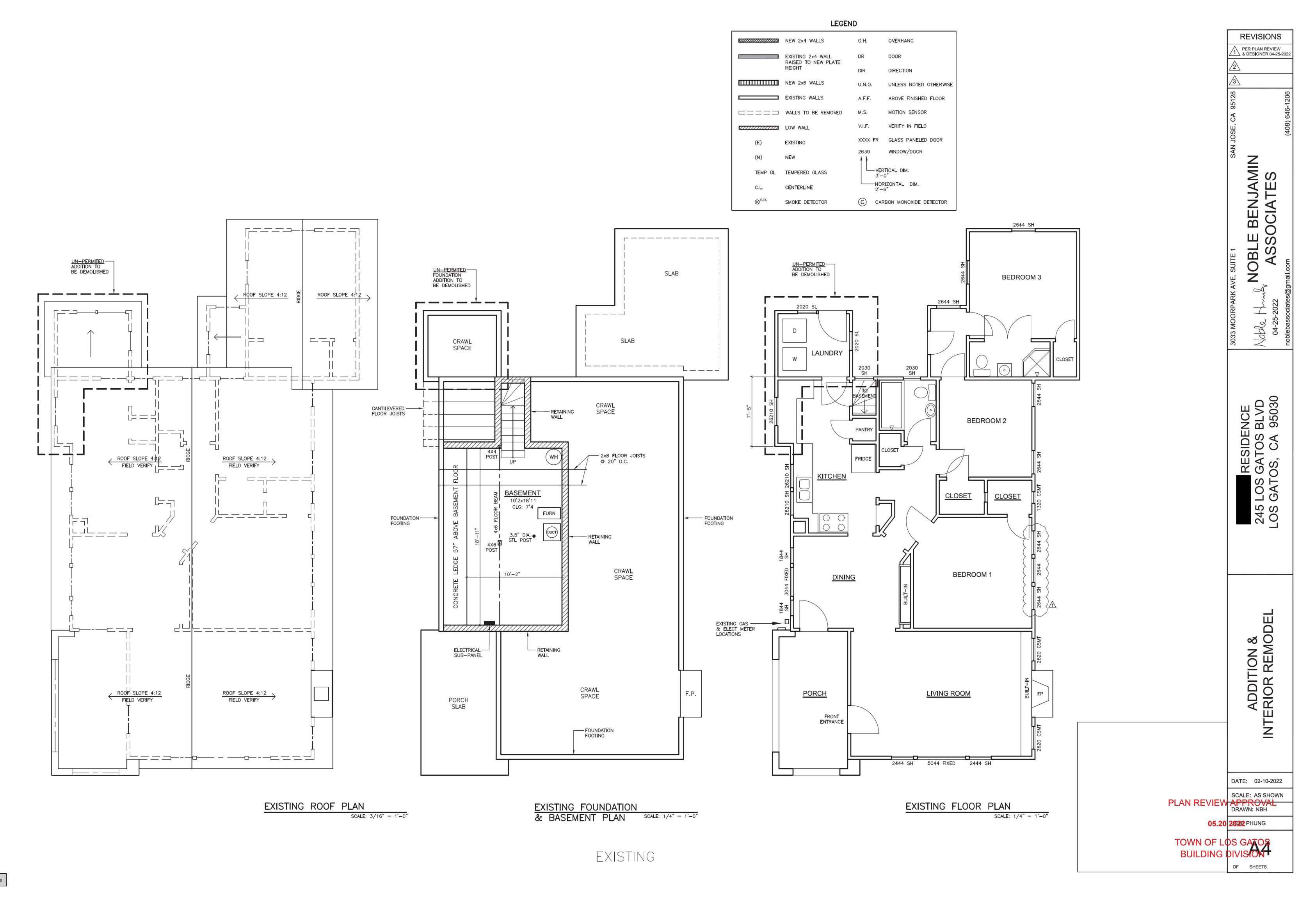
N:\DEV\FORMS\BUILDING\BLDGAPPLICATION

Rev 01/08/2021

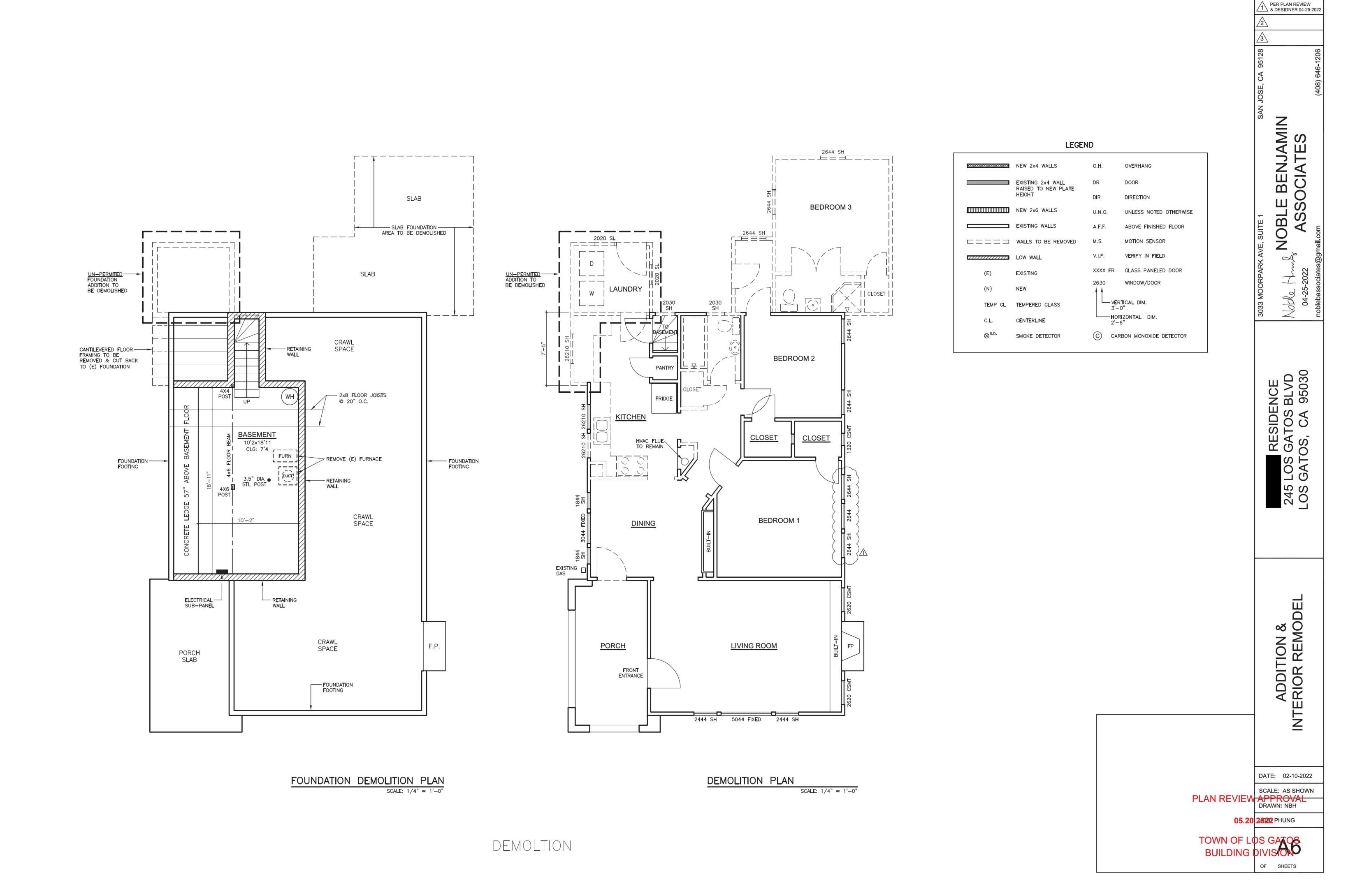
Town of Los Gatos • Community Development • Building Division • 110 E. Main St., Los Gatos, CA 95031 408.354.6876 • <a href="www.losgatosca.gov">www.losgatosca.gov</a> • <a href="www.losgatosca.gov">www.facebook.com/losgatosca</a>



(408) 399-5771

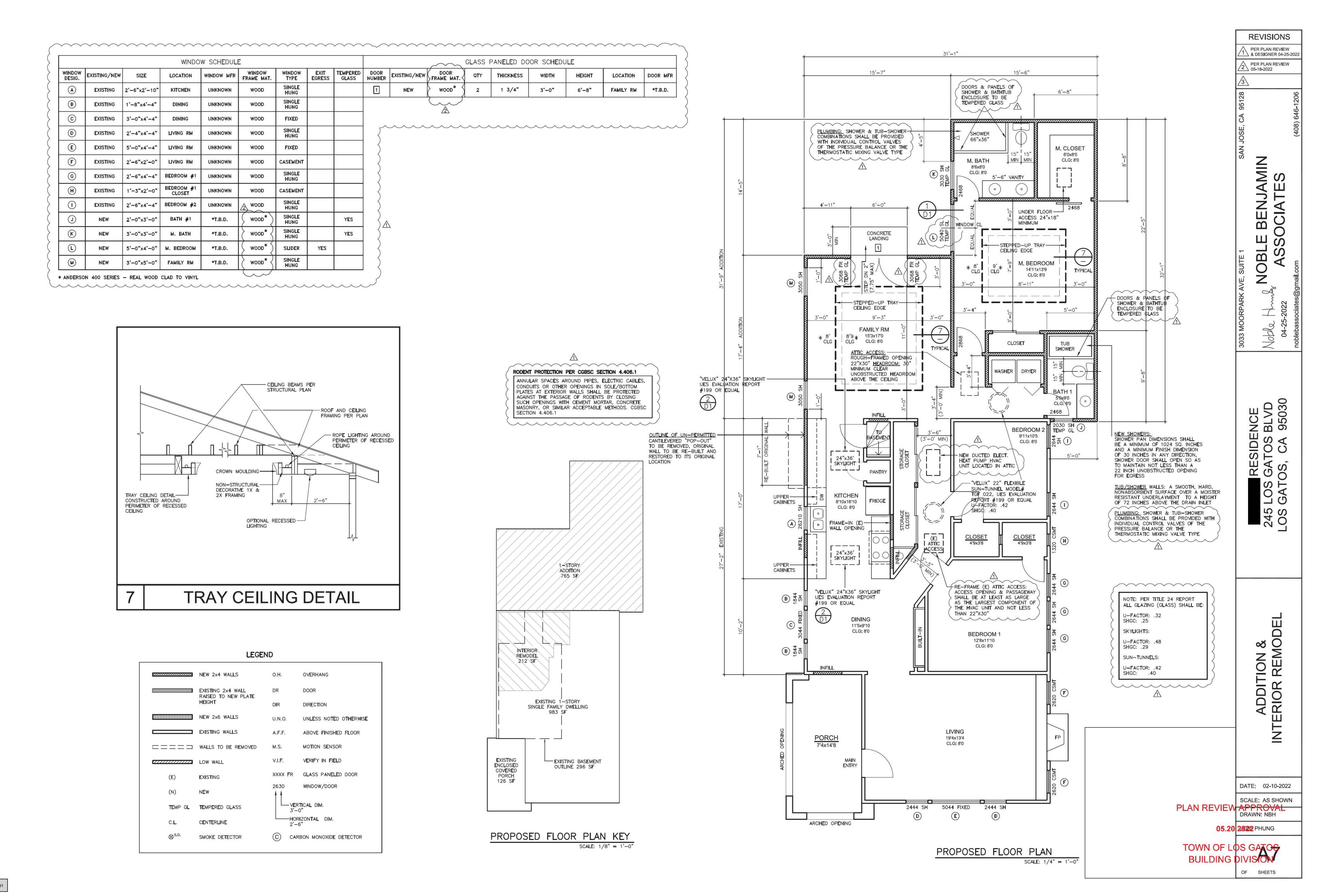


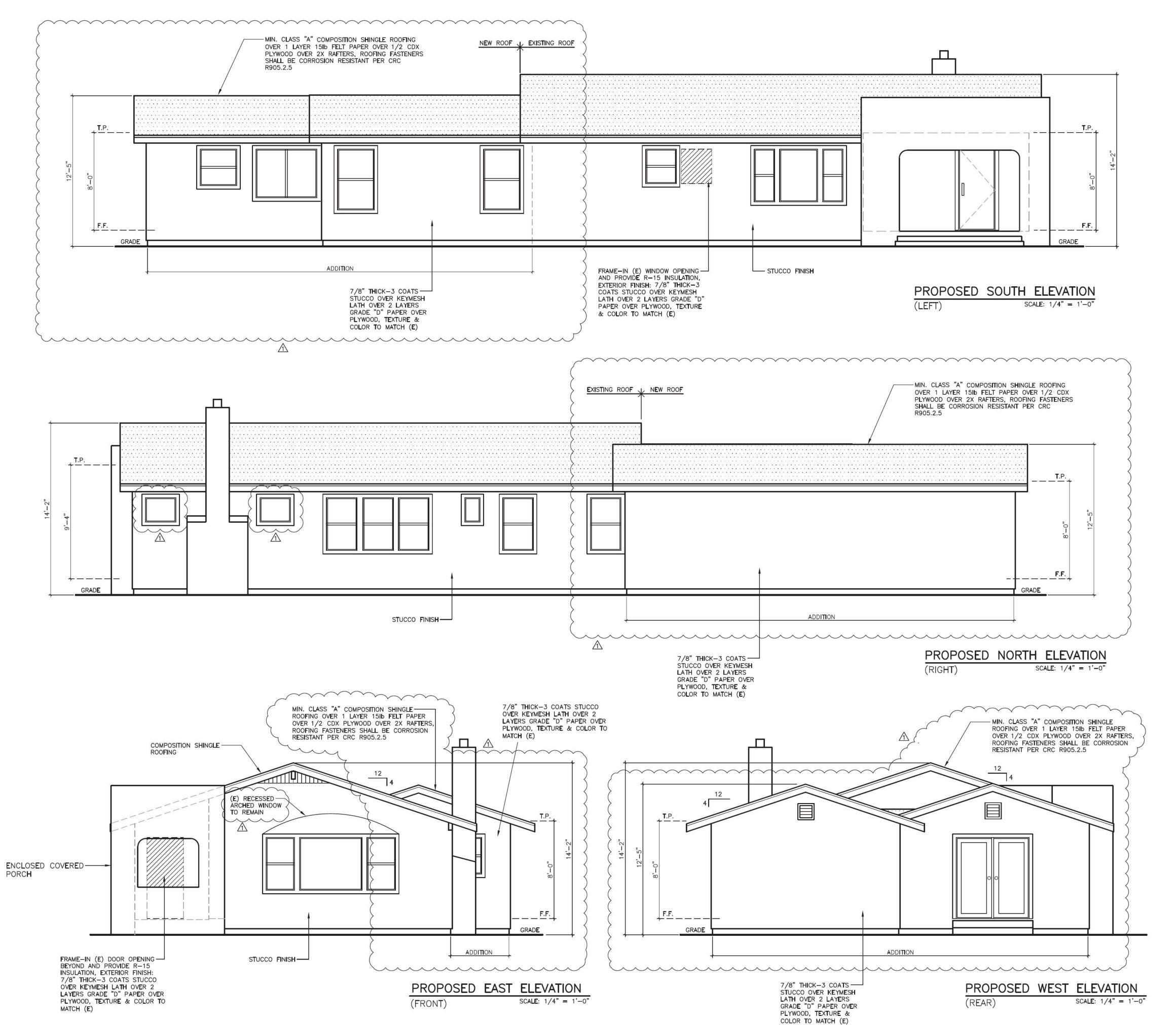


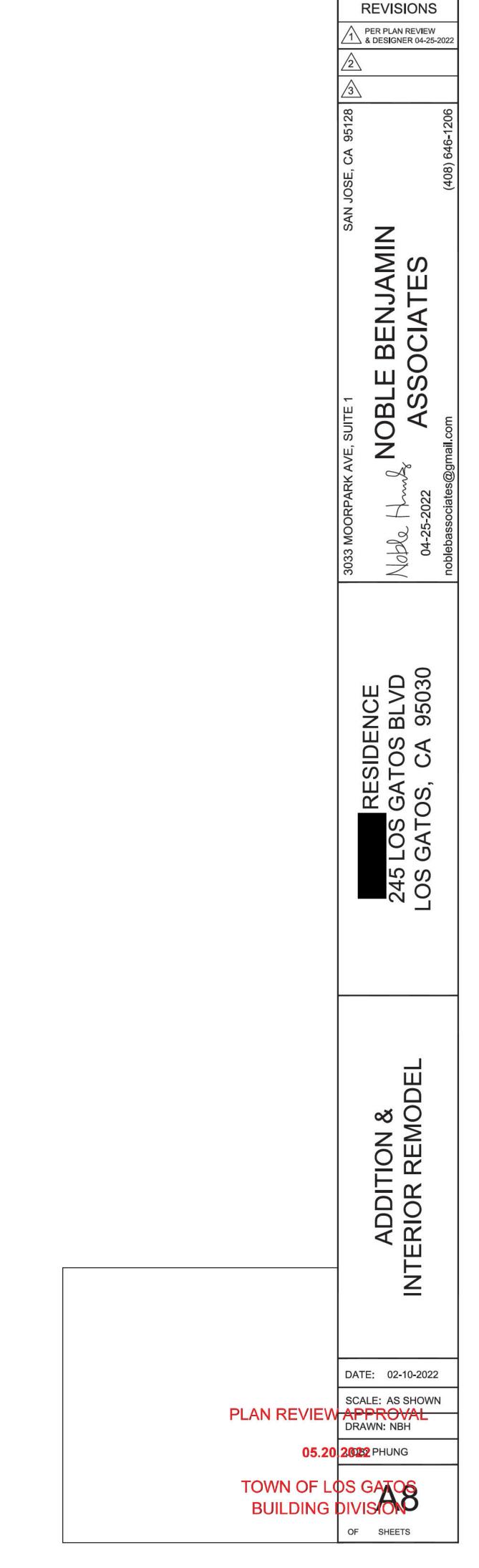


**REVISIONS** 

Page 330







#### June 5,2025

**Historic Preservation Committee** Town of Los Gatos 110 E. Main Street Los Gatos, CA 95030

Subject: Request for Review and Approval – Second Story Addition at 245 Los Gatos Boulevard

Dear Members of the Historic Preservation Committee,

I am writing to formally request review and approval for a proposed second-story addition to the residence located at 245 Los Gatos Boulevard. This property is listed as a contributing structure in the Los Gatos Historic Resources Inventory; however, according to the historical assessment prepared by Anne Bloomfield, the portion of the home where the addition is planned is not deemed historically significant.

The proposed addition is situated at the rear of the home, away from the primary historical facade, and has been carefully designed to be consistent with and complementary to the presumed original architectural style of the home—a Spanish-style bungalow. Our intent is to preserve and enhance the home's historic character while making thoughtful improvements that support the long-term livability of the property.

We understand and respect the importance of maintaining the architectural integrity of the neighborhood and are committed to ensuring that all additions are in harmony with the historic context of the area. The design incorporates stylistic features in keeping with the home's original period and scale, while maintaining a clear visual distinction between the original structure and the new work, in accordance with historic preservation best practices.

Please find attached the historical research documentation by Anne Bloomfield and preliminary drawings of the proposed addition for your consideration. We welcome any guidance or recommendations the Committee may have to ensure the project aligns with preservation goals.

Sincerely,

Founder & Principal Architect

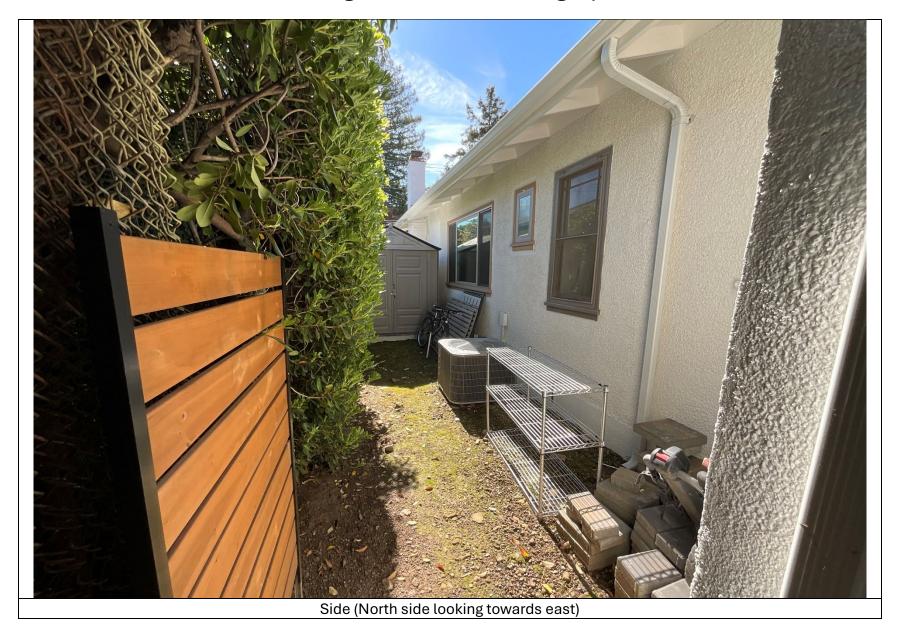
M.A., B.Arch, NCARB, Registered Architect











A101

**ABBREVIATIONS** 

ACOUST

A.C.T.

A.F.F.

ALUM.

ARCH.

BLKG.

B.O. CAB. CATV C.C. C.I.P.

C.J. C.L. CLG.

CLR.

C.O.

CONC.

DEMO.

DEPT.

DIA.

DIM. D.W.

E.B.

ELEC.

ELEV.

E.O.S.

EQ.

F.A.U.

F.C.U.

F.D.

FTG.

G.C.

G.W.B.

GYP.

H.D.

HTG.

HVAC H.W.

L.V.T.

DWG(S

CEILING

DIAMETER

**EXISTING** 

FACH

EQUAL

FLOOR

DIMENSION

DISHWASHER

DRAWING(S)

ELECTRICAL

**EDGE OF SLAB** 

FORCED AIR UNIT

FINISH OR FINISHED

**GENERAL CONTRATOR** 

**GYPSUM WALL BOARD** 

**GROUND FAULT CIRCUIT INTERRUPTER** 

HEATING, VENTILATION & AIR CONDITIONING WT.

**FAN COIL UNIT** 

**FLOOR DRAIN** 

FINISH FLOOR

FOOT / FEET

FOOTING

**GRIDLINE** 

GYPSUM

**HOSE BIB** 

HEIGHT

HEATING

HOT WATER

INCH(ES) LAVATORY

POUNDS

LINEAR FOOT

LUXURY VINYL TILE

HOLD DOWN

GAUGE

**ELEVATION** 

**EXPANSION BOLT** 

CLEAR

**ANCHOR BOLT** AIR CONDITIONING **ACOUSTICAL** ACOUSTICAL CEILING TILE AREA DRAIN ABOVE FINISHED FLOOR **ALUMINUM** ARCHITECT OR ARCHITECTURAL BLOCKING **BUILDING PAPER BOTTOM OF** 

CABINET CABLE TELEVISION **CENTER TO CENTER** 

MIR. MIRROR MISC. **MISCELLANEOUS** METAL **MICROWAVE** O.C. CAST-IN-PLACE CONTROL JOINT PLUMB **CENTER LINE** P.S.F. P.S.I. **CLEAN OUT** P.V.C. R.C.P. CONCRETE **DEMOLITION OR DEMOLISH** REQ'D DEPARTMENT RET. REV.

**NOT APPLICABLE** OVER ON CENTER PLYWOOD **PLUMBING** POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED POLY VINYL CHLORIDE PIPE REFLECTED CEILING PLAN REQUIRED RETAIN / RETAINING REVISION S.C. SOLID CORE SIM. SIMILAR SPEC SPECIFICATION (S) SQ. S.T.C.

MACHINE

MAXIMUM

MEMBRANE

MINIMUM

**MANUFACTURER** 

MEDIUM DENSITY FIBERBOARD

MECHANICAL/ELECTRICAL/PLUMBING

**MACHINE BOLT** 

MACH.

MAX.

M.B.

MDF

M.E.P.

MEMB

MIN.

STD.

T.B.D.

T & G

T.O.

T.O.B.

T.O.P.

T.O.S.

T.V.

V.B.

**VERT** 

V.I.F.

WD.

T.O.STL

MANUF

SOUND TRANSMISSION COEFFICIENT STANDARD(S) TOWEL BAR TO BE DETERMINED

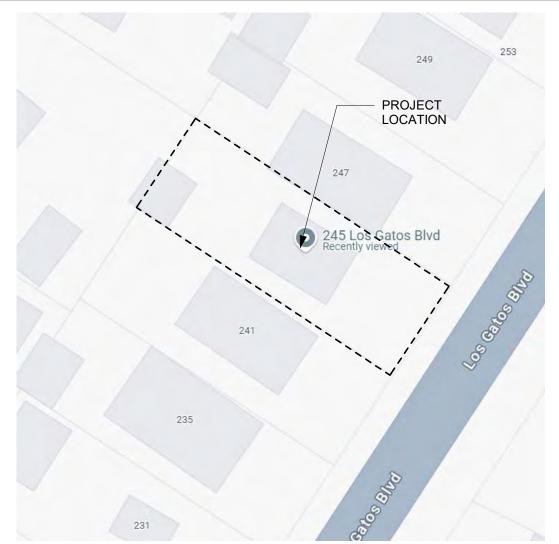
**TONGUE AND GROOVE** THRESHOLD TOP OF TOP OF BEAM TOP OF PAVING TOP OF SLAB TOP OF STEEL TELEVISION TYPICAL VAPOR BARRIER VERTICAL

**VERIFY IN FIELD** WATER CLOSET WOOD WASHER/DRYEF WATER HEATER WITHOUT

WEIGHT

WATERPROOF / WEATHERPROOF

**PROJECT DATA VICINITY MAP** 



## PROJECT DIRECTORY

**ARCHITECT**: **DWELLING LAB NEIL GINTY** 

21 EL CAMINITO WALNUT CREEK, CA 94598

CONTACT PHONE: (312) 952-9680 EMAIL: design@dwelling-lab.com WEBSITE dwelling-lab.com

OWNERS: **MONIQUE PHAM** 

**SITE INFORMATION** 

ADDRESS: 245 LOS GATOS BLVD, LOS GATOS, CA 95030

529 24 024 CLIMATE ZONE: SEISMIC DESIGN CATEGORY: (D0, D1, D2)

**SCOPE OF WORK:** 

REMODEL OF EXISTING SINGLE FAMILY DWELLING INCLUDING BATHROOM, KITCHEN, AND ASSOCIATE PLUMBING AND ELECTRICAL WORKS.

ADDITION TO EXISTING SINGLE FAMILY DWELLING INCLUDING TWO NEW BATHS AND TWO BEDROOMS WITH A LAUNDRY CLOSET

R1-D

**ZONING DATA** 

ASSESSOR'S PARCEL NUMBER (BLOCK/LOT): 24 PLANNING DISTRICT: NEIGHBORHOOD (PLANNING):

**BUILDING DATA** 

**HEIGHT & BULK:** 

R-3 (SINGLE FAMILY DWELLING) OCCUPANCY: **CONSTRUCTION TYPE** 

FIRE SPRINKLERS (E) SQ. FT.: 1,748 SF PROPOSED SQ. FT.: 2,308 SF

PARCEL AREA CALCULATIONS

PARCEL AREA: 7,000 SQ.FT (0.16 ACRES)

GROSS FLOOR AREA: FIRST FLOOR 1,748 SF 560 SF SECOND FLOOR 2,308 SF **TOTAL FLOOR AREA** 

ALLOWABLE F.A.R.  $.35 - (7,000-5/25 \times .20) = .33$ PROPOSED F.A.R.  $.33 \times 7,000 = 2,310$ 

30'-0" 24'-1" MAX ROOF HEIGHT PROPOSED HEIGHT

#### **APPLICABLE CODES:**

2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101) CALIFORNIA ENERGY COMMISSION TITLE 24 2022 CALIFORNIA GREEN BUILDINGS STANDARDS CODE

ALL OTHER APPLICABLE CITY AND COUNTY LAWS AND ORDINANCES

**DRAWING INDEX** 

**GENERAL** 

A3.00

A0.01 PROJECT DATA RESIDENTIAL

**ARCHITECTURAL** 

A1.02 PROPOSED SITE PLAN A2.01 **DEMOLITION & PROPOSED PLANS** 

**EXISTING / DEMOLITION EXTERIOR ELEVATIONS** 

NSED ARC.

Agency Approvals

Revision No.

Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Dwelling Lab, Inc. and may not be reused or reproduced in any manner without our express written consent.

Job Title

245 LOS GATOS BLVD

**Job Address** 

245 LOS GATOS BLVD, LOS GATOS, CA 95030

5/7/2025 Date:

**Issued For** Project Status

Checked By: Checker

As indicated 0 2' 4' 8'

**Sheet Title PROJECT** DATA RESIDENTIAL

TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE. CONTRACTOR TO REPAIR AND PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES. CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER

ASSEMBLY TYPE REFERENCE

CONSTRUCTION STANDARDS

DETAIL CALLOUT

- SUITABLE TO RECEIVE FINISHES. GYPSUM BOARD CONSTRUCTION SHALL ALIGN WITH EXISTING, ADJACENT, OR ADJOINING SURFACES, JOINTS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO INSURE DELIVERY AND INSTALLATION OF CASEWORK AND FINISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION
- ALL CODE-REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED. COORDINATE WITH OWNER FOR DELIVERY AND PLACEMENT OF ALL
- FURNITURE AND WALL-HUNG EQUIPMENT. REFER TO FINISH SCHEDULE FOR SPECIFIED FINISHES. REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT REQUIREMENTS.
- FOR BUILT-IN WORK SURROUNDED BY PARTITIONS, INCLUDING BUT NOT LIMITED TO APPLIANCES AND MILLWORK, CONTRACTOR SHALL CONFIRM THAT FINISHED FLOOR, WALL AND/OR SOFFIT SURFACES DO NOT VARY BY MORE THAN 1/4" IN 20'-0" (NON-CUMULATIVE). NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.
- CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN, AND/OR CONDITION
- MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, CONNECTED, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE
- CONTRACTOR'S PROPOSAL. COORDINATE LOCATION AND PROVIDE BLOCKING, BACKING, AND/OR REINFORCEMENTS IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS AND ANY WALL-MOUNTED ITEMS. REFER TO ELEVATIONS AND DETAILS FOR LOCATIONS OF WALL STANDARDS AND OTHER SUPPORTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALL, BULKHEAD, AND OTHER DRYWALL CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THE DRAWINGS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE PLANS OR DETAILS. PROVIDE BLOCKING / BACKING AND REINFORCEMENT ABOVE AS REQUIRED FOR SUPPORT OF LIGHT FIXTURES,
- EQUIPMENT, OR ANY OTHER CEILING-MOUNTED ITEMS. REPAIR AND PATCH ANY/ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO MAINTAIN REQUIRED RATING. UNLESS OTHERWISE NOTED IN DRAWINGS, FOLLOW ALL MANUFACTURER'S

RECOMMENDATIONS TO THE ATTENTION OF THE ARCHITECT

RECOMMENDATIONS, INSTALLATION INSTRUCTIONS, AND BEST PRACTICES FOR INSTALLING EQUIPMENT, FURNISHINGS, FITTINGS, ETC. BRING CONFLICTS BETWEEN DRAWINGS AND MANUFACTURER'S

## STANDARDS AND CODES

- CONTRACTOR TO ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN. | 1. REFER TO TITLE SHEET FOR APPLICABLE CODES GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE PROJECT MANAGER AND/OR ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.
  - IF CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE ALL CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM. CONFLICTS: IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES
  - HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE SPECIFICATIONS.
  - IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING CODES AND BUILDING OWNER'S REQUIREMENT'S.
  - FOR MAXIMUM FLOW RATES FOR PLUMBING FIXTURES, REFER TO STANDARDS FOR PLUMBING FIXTURES AND FITTINGS OF 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SEE SHEET CG-1.

## **GENERAL NOTES**

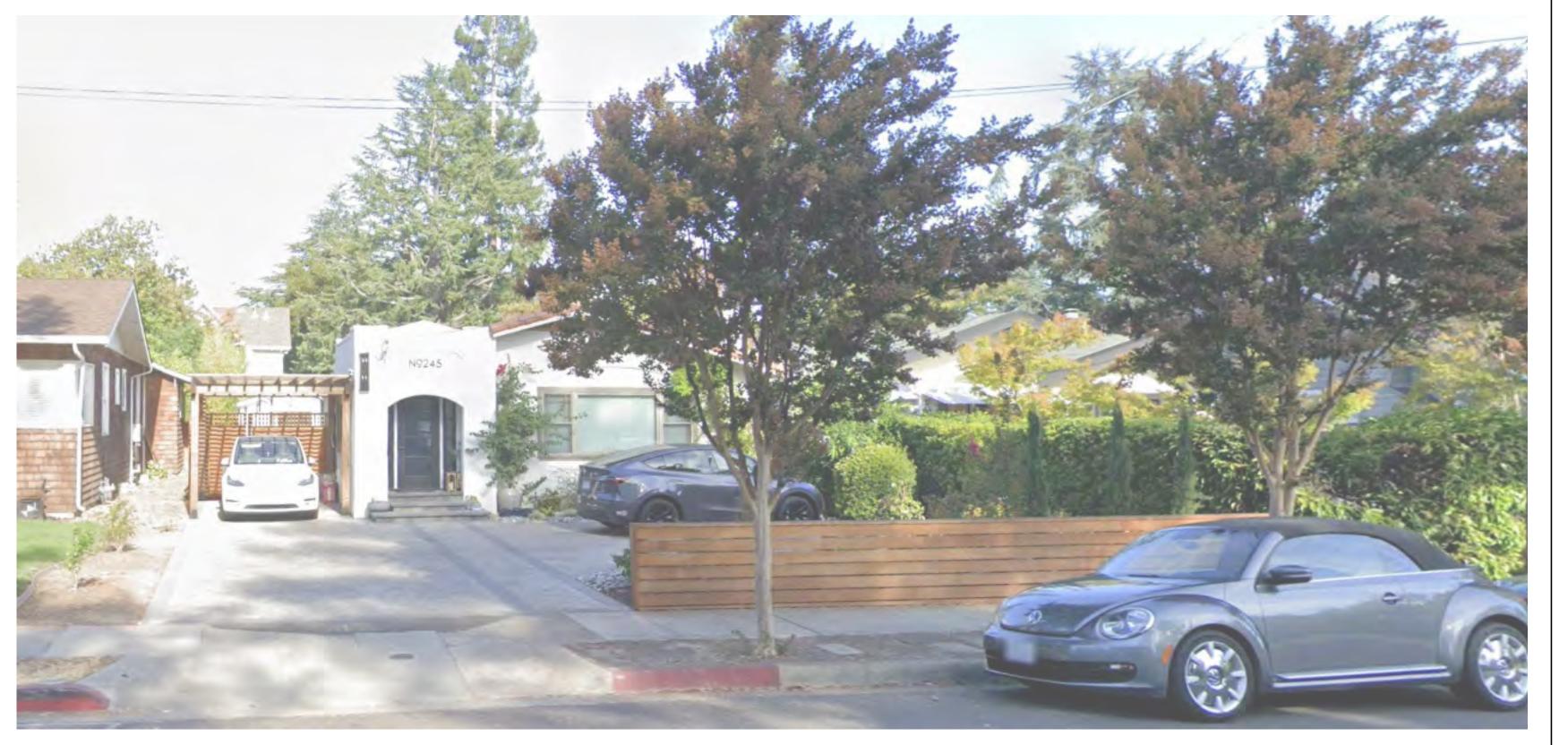
CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED AS A CONDITION OF THE CONTRACT TO ACQUAINT HIMSELF/HERSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO, ITS

COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE

DO THE CUTTING, FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK

- DRAWINGS OF BASE BUILDING CONDITIONS ARE GENERATED FROM AS-BUILT DRAWINGS AND LIMITED FIELD OBSERVATION BY THE ARCHITECT. ACTUAL CONDITIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS. CONTROLLED INSPECTIONS, AND FINAL SIGN-OFFS FOR PROJECT
- OWNER PRIOR TO COMMENCING WORK. CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUANCE PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS INCLUDING, BUT NOT LIMITED TO, TELEPHONE, DATA AND "OWNER'S FORCES". CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL
- OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS. ALL IDENTIFIED SCOPE OF WORK SHALL BE PROVIDED NEW, UNLESS OTHERWISE NOTED.
- WORK NOT SPECIFICALLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF SUCH INTERPRETATIONS MADE BY OTHERS. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL
- LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS. VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS OR DIMENSIONS ARE USUALLY KEYED, AND NOTED "TYP" ONLY WHEN
- "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS, ORIENTATION, AND CONDITIONS ON PLANS AND ELEVATIONS
- ARCHITECT SHALL HAVE THE AUTHORITY TO REJECT ANY WORK THAT IS NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS

## **EXISTING PHOTOGRAPH**





Revision No.

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Dwelling Lab, Inc. and may not be reused or reproduced in any manner without our express written consent.

Job Title

245 LOS GATOS BLVD

**Job Address** 245 LOS GATOS BLVD, LOS GATOS, CA 95030

**Date:** 5/7/2025

**Issued For**Project Status

Job Number:

Project Number

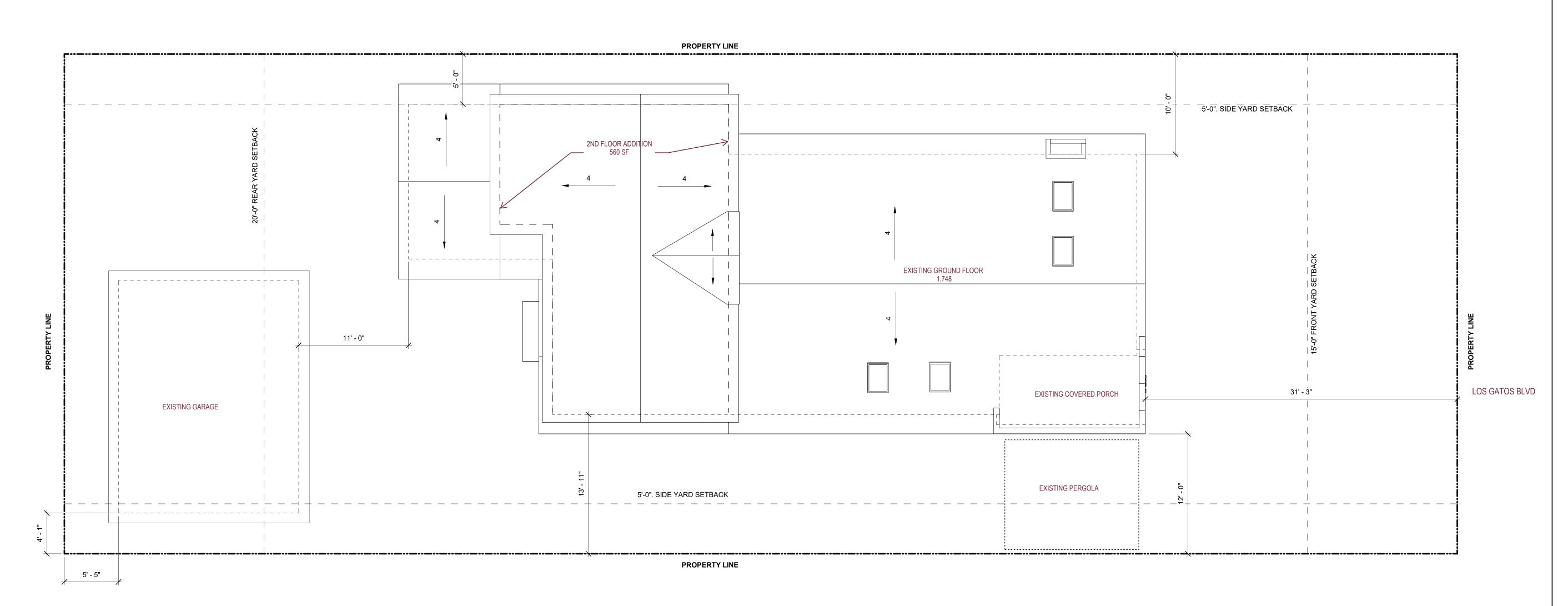
Author Checked By: Checker

ale s indicated

As indicated

0 2' 4' 8'

Sheet Title
PROPOSED SITE PLAN



SITE PLAN\_ 1



**Agency Approvals** 

**Revision No.** 

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Dwelling Lab, Inc. and may not be reused or reproduced in any

manner without our express written consent.

Job Title

3/16" = 1'-0"

(N) WINDOW

[N.I.C.] NOT IN CONTRACT

(N) BEARING WALL

**HEADER OR BEAM** 

(N) FOOTING

(N) BRACE WALL PANEL

245 LOS GATOS BLVD

**Job Address** 

245 LOS GATOS BLVD, LOS GATOS, CA 95030

5/7/2025 Date:

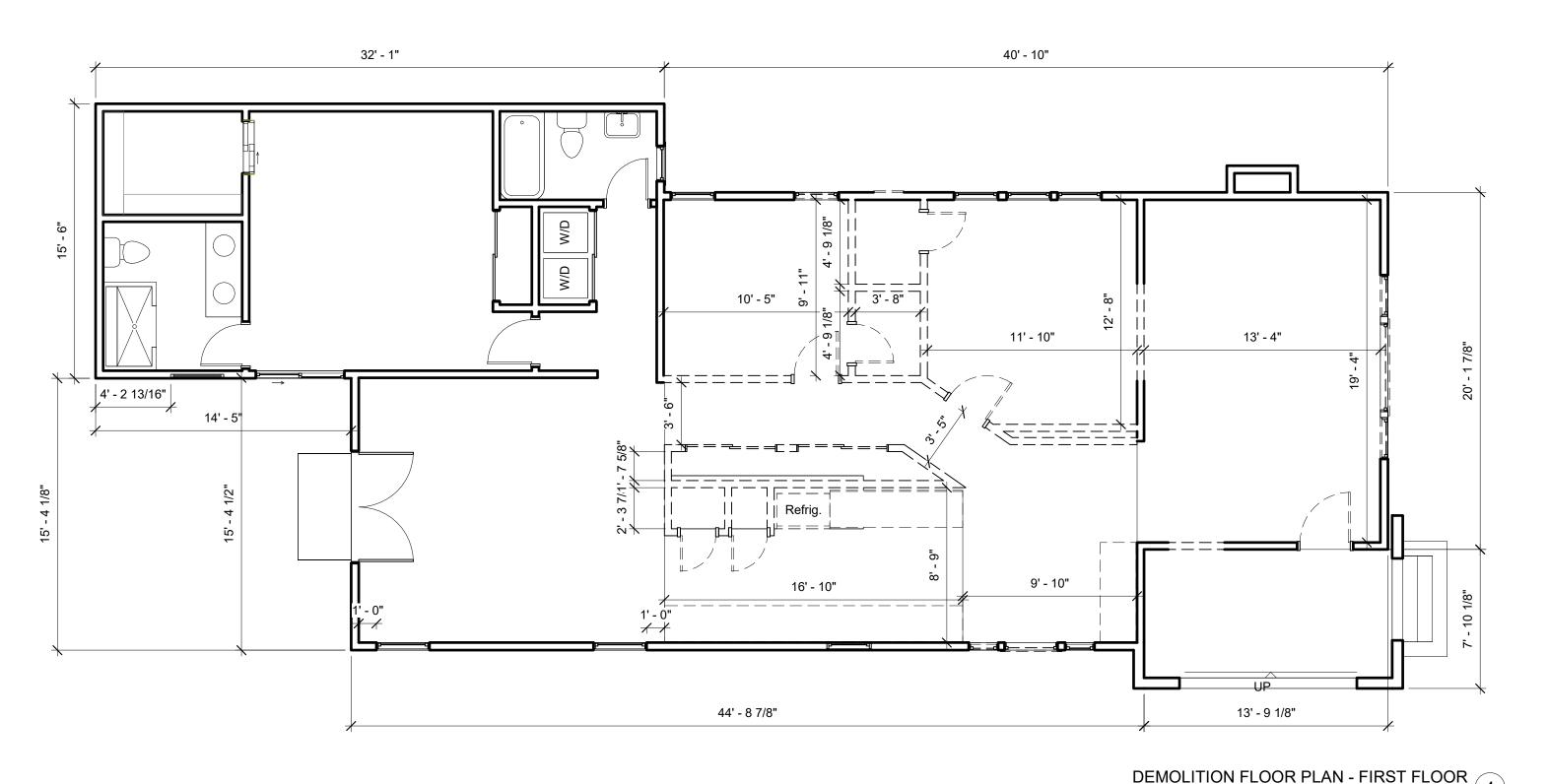
**Issued For** Project Status

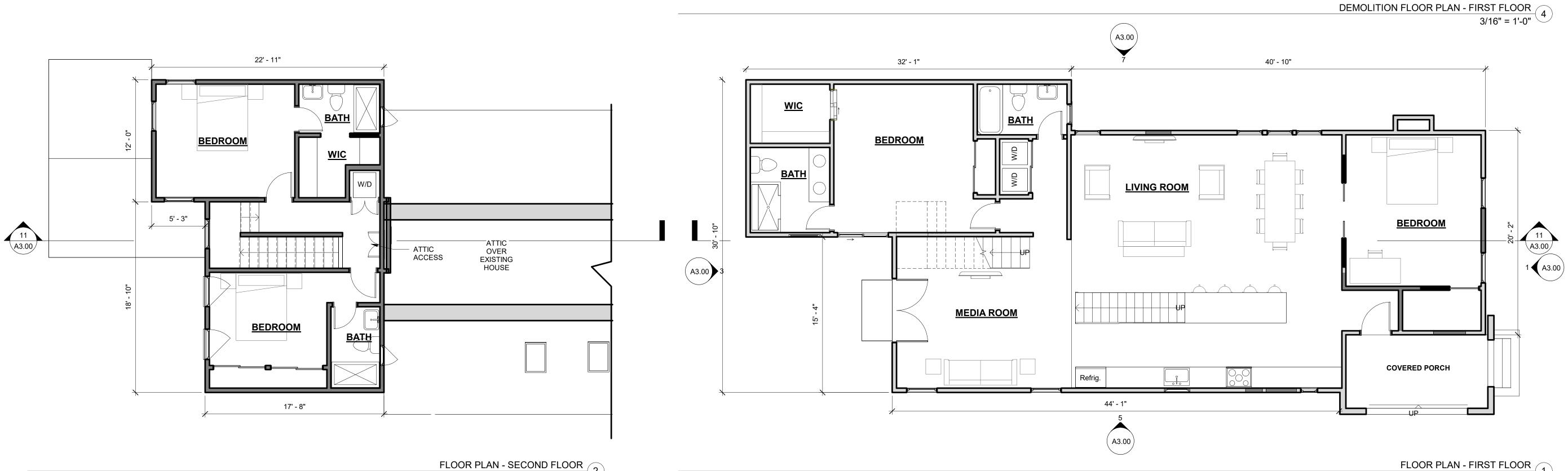
**Project Number** 

Checked By: Checker

As indicated 0 2' 4' 8'

**Sheet Title DEMOLITION &** PROPOSED PLANS





FLOOR PLAN - SECOND FLOOR 2 3/16" = 1'-0"

**LEGEND - DEMOLITION** 

(E) AREA TO BE REMOVED

(E) WALL TO BE REMOVED

(E) WALL TO REMAIN

---- (E) ITEM TO BE REMOVED

(E) WINDOW TO BE REMOVED (E) WINDOW TO REMAIN (E) DOOR TO BE REMOVED

(E) DOOR TO REMAIN

**DIMENSION NOTES** 1. DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED :

A) TO FACE OF FINISH B) TO CENTER OF DOORS AND OTHER OPENINGS

C) TO TOP OF FINISHED FLOORS D) TO BOTTOM OF FINISH AT CEILINGS E) TO OUTSIDE FACE OF FINISHED MILLWORK F) TO FINISHED WINDOW FRAME. SEE WINDOW DETAILS.

DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE

WORK IN THAT AREA. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, VCT, ETC. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" OF GIVEN DIMENSION ALONG FULL HEIGHT/WIDTH/LENGTH OF SURFACES.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.

ANY GRAPHICAL ERRORS, APPARENT OR ASSUMED, SHOULD BE

CLARIFIED WITH AN RFI PRIOR TO CONSTRUCTION

REPLACEMENT OF GYPBOARD MUST BE 5/8" TYPE X WITH 5D COOLER NAILS AT 4 INCHES ON CENTER OR EQUIVALENT SCREWS FOR ALL INTERIOR NON-STRUCTURAL ALTERATIONS. REFER TO BUILDING CODE ANALYSIS FOR LOCATIONS OF FIRE

RESISTANCE RATED WALLS. THERMAL INSULATION TO BE PROVIDED BETWEEN CONDITIONED

PROPOSED PLAN GENERAL NOTES

AND NONCONDITIONED SPACES TYP. REFER TO ASSEMBLY TYPES. ACOUSTIC INSULATION TO BE PROVIDED IN ALL WALLS SURROUNDING BATHROOM AND LAUNDRY AREAS (INCLUDES

MUDROOM AND BASEMENT STORAGE). REFER TO ASSEMBLY PROVIDE (N) LEVELING SUBSTRATE o/ EXISTING/NEW SUBFLOOR

ASSEMBLY THROUGHOUT AS REQUIRED TO ACHIEVE SMOOTH CONTIGUOUS, LEVEL (N) FINISH FLOORING; TYP. ALL GUARDRAIL & HANDRAIL CONSTRUCTION SHALL WITHSTAND A 200 LB. CONCENTRATED LOAD AND 50 LB./ FT. UNIFORM LOAD APPLIED LATERALLY AND VERTICALLY AT THE HIGHEST POINT OF

1 HR. FIRE RESISTANCE RATED WALL (N) DOOR

**LEGEND - NEW CONSTRUCTION** 

ABOVE OR BELOW

(E) WALL TO REMAIN

(E) WINDOW TO REMAIN

(N) WALL

THE RAIL--WHICHEVER IS GREATER. (TYP. ALL GUARDRAILS) AS SPECIFIED IN CBC SECTION 1607.8., S.S.D.

**DEMOLITION NOTES** 

GENERAL CONTRACTOR TO NOTIFY ARCHITECT

IN THE PROCESS OF DEMOLITION

NOT APPEAR IN PLANS.

THE OWNER, OWNER'S

OF ANY DISCOVERY OF UNFORSEEN CONDITIONS

(E) STRUCTURAL BEARING ELEMENTS TO REMAIN

FOUND IN PARTITIONS TO BE REMOVED THAT DO

DAMAGES WHICH OCCUR DURING DEMOLITION

TO RESTORE/REPAIR TO ORIGINAL CONDITION.

AND/OR CONSTRUCTION SHALL BE THE GENERAL

CONTRACTOR'S RESPONSIBILITY AND EXPENSE

IF ANY MATERIALS SUSPECTED OF CONTAINING

DISTURB THE MATERIALS. IMMEDIATELY NOTIFY

REP/LANDLORD/TENANT/CLIENT AND ARCHITECT.

ASBESTOS OR ANY OTHER HAZARDOUS

MATERIALS ARE ENCOUNTERED, DO NOT

U.O.N. GENERAL CONTRACTOR TO NOTIFY

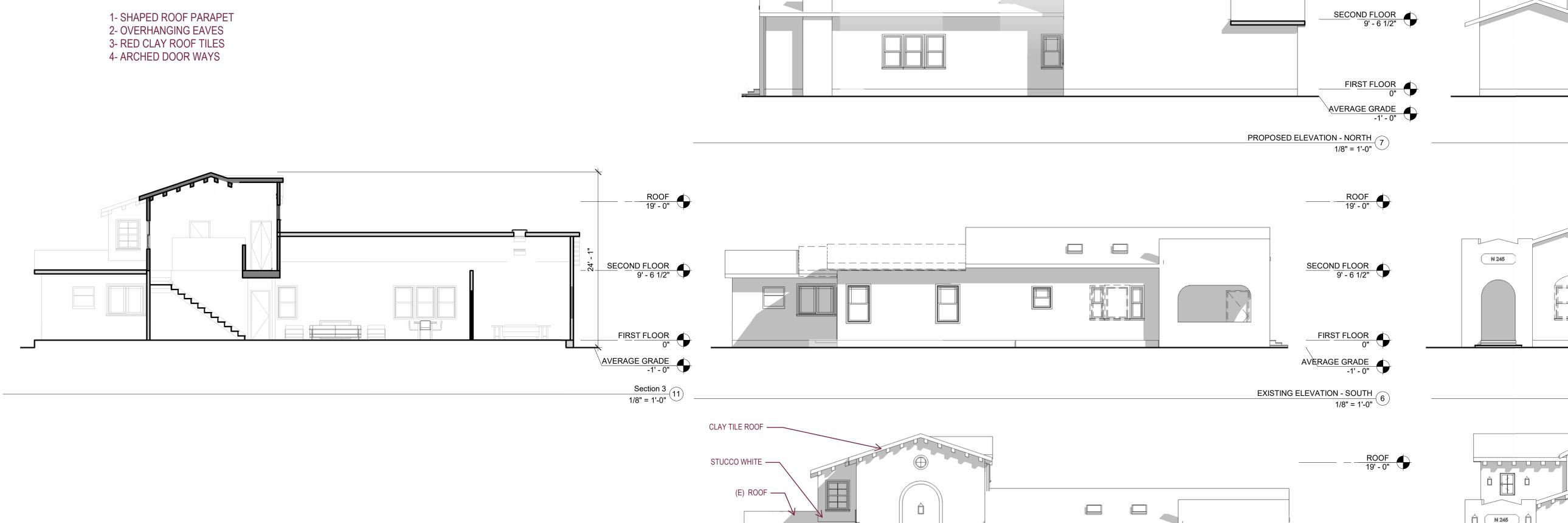
ARCHITECT IF ANY BEARING COLUMNS ARE

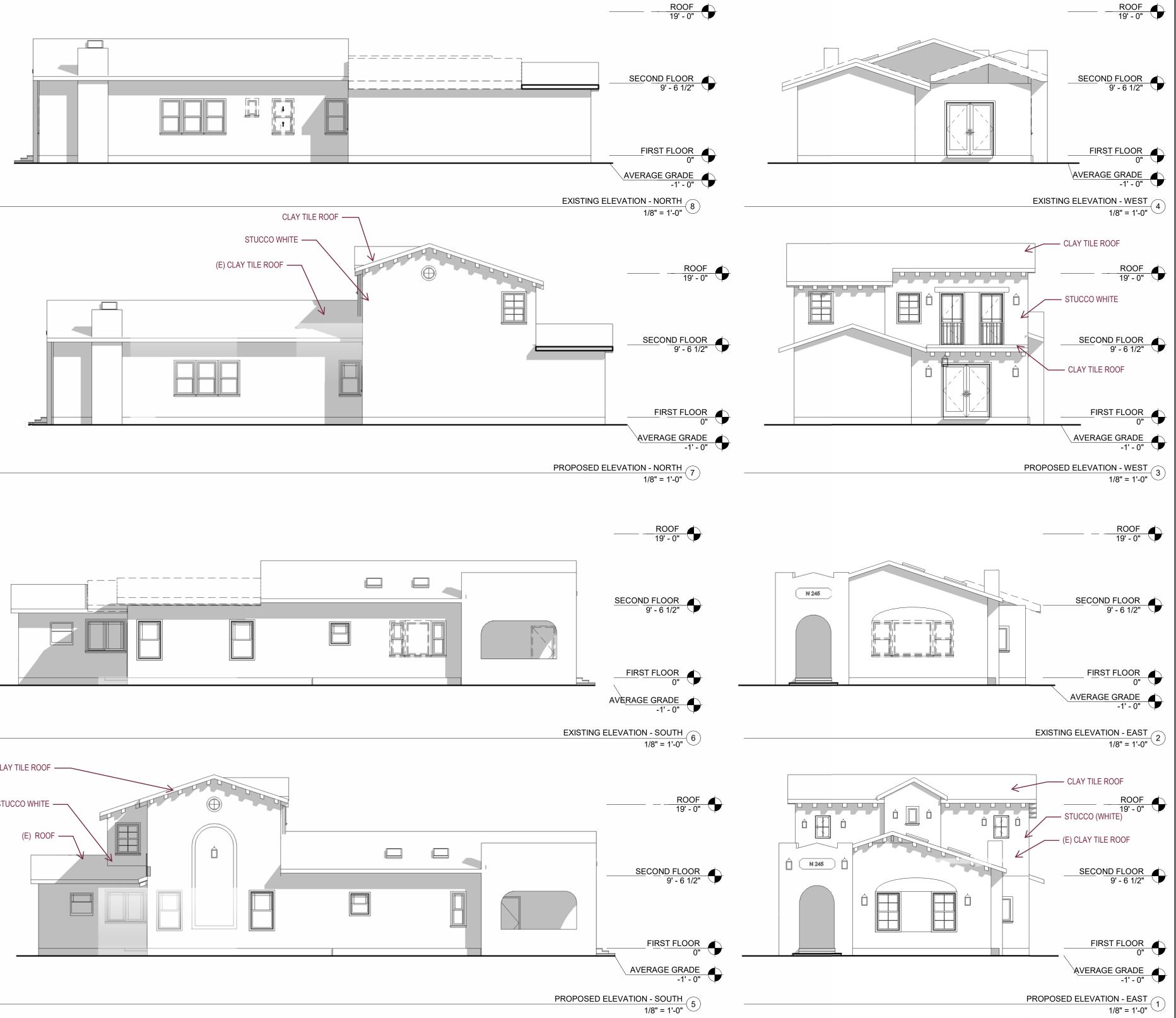
Page 343

## **Spanish / Mission Revival**



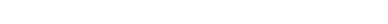
ARCHITECTURAL STYLE BASED ON THE LOS GATOS RESIDENTIAL DESIGN GUIDELINES





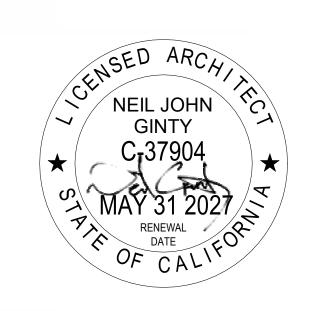
**LEGEND - DEMOLITION LEGEND - NEW CONSTRUCTION DIMENSION NOTES** DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED: ABOVE OR BELOW (E) AREA TO BE REMOVED PROPOSED ELEVATIONS GENERAL NOTES A) TO FACE OF FINISH B) TO CENTER OF DOORS AND OTHER OPENINGS C) TO TOP OF FINISHED FLOORS (E) WALL TO REMAIN (E) WALL TO REMAIN D) TO BOTTOM OF FINISH AT CEILINGS E) TO OUTSIDE FACE OF FINISHED MILLWORK 1. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION F) TO FINISHED WINDOW FRAME. SEE WINDOW DETAILS. (E) WALL TO REMAIN (N) WALL DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY 1 HR. FIRE RESISTANCE DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE (E) ITEM TO BE REMOVED RATED WALL WORK IN THAT AREA. **BUILDING SECTIONS GENERAL NOTES** 

- DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, VCT, ETC. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" OF GIVEN DIMENSION ALONG FULL HEIGHT/WIDTH/LENGTH OF SURFACES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- ANY GRAPHICAL ERRORS, APPARENT OR ASSUMED, SHOULD BE CLARIFIED WITH AN RFI PRIOR TO CONSTRUCTION



- 1. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
- 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION
- ACOUSTIC INSULATION TO BE PROVIDED IN ALL WALL, FLOOR, AND CEILING ASSEMBLIES SURROUNDING BATHROOM AND LAUNDRY AREAS.

[N.I.C.] NOT IN CONTRACT



**Agency Approvals** 

**Revision No.** 

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Dwelling Lab, Inc. and may not be reused or reproduced in any manner without our express written consent.

Date

245 LOS GATOS BLVD

**Job Address** 245 LOS GATOS BLVD, LOS GATOS, CA 95030

5/7/2025 Date:

**Issued For** Project Status

**Project Number** 

Checked By: Checker

Scale As indicated

0 2' 4' 8'

Sheet Title **EXISTING / DEMOLITION EXTERIOR ELEVATIONS** 

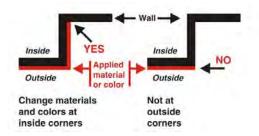
# BUILDING DESIGN 3

#### 3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic.
   For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

#### 3.8.4 Materials changes

• Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



# Stone Lintels



Use stone or wood lintels over openings in stone walls

#### 3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

## **BUILDING DESIGN**



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

- should utilize the same materials as the existing protected exterior elements.
- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



# TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

MEETING DATE: 6/25/2025

ITEM NO: 7

DATE: June 20, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Potential Communications from the Historic Preservation Committee to the

Town Council Regarding a Work Plan

#### **BACKGROUND**:

The Committee requested that staff agendize a discussion regarding potential communications from the Committee to the Council regarding a work plan for the Committee. As the Committee serves at the pleasure of the Council, any work plan items that have the potential to involve staff time must be done at the direction of the Council.

Staff recommends that committeemembers communicate with the Councilmembers individually and/or during the Verbal Communications portion of the Council Agenda. Alternatively, if the Committee desires to communicate with the Council as a full group, staff recommends that the Chair or other committeemembers compose a letter independently and have the Committee discuss, revise, and vote on the letter in a noticed public hearing. The letter would then be provided to the Council.

PREPARED BY: Sean Mullin, AICP

Planning Manager