



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
JULY 10, 2024  
110 EAST MAIN STREET  
TOWN COUNCIL CHAMBERS  
7:00 PM**

*Steven Raspe, Chair  
Emily Thomas, Vice Chair  
Jeffrey Barnett, Commissioner  
Susan Burnett, Commissioner  
Melanie Hanssen, Commissioner  
Kathryn Janoff, Commissioner  
Adam Mayer, Commissioner*

**IMPORTANT NOTICE**

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions listed below. The live stream of the meeting may be viewed on television and/or online at [www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube).

**PARTICIPATION**

The public is welcome to provide oral comments in real-time during the meeting in three ways:

**Zoom webinar (Online):** Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: [https://losgatosca.gov.zoom.us/j/81528471011?pwd=bQ7i8G\\_akd0TXBbHmASA3BxdLPsaig.JSudli41c9nJz1qb](https://losgatosca.gov.zoom.us/j/81528471011?pwd=bQ7i8G_akd0TXBbHmASA3BxdLPsaig.JSudli41c9nJz1qb). Passcode: 588907. You can also type in 815 2847 1011 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join> and use passcode 588907.

When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand.

**Telephone:** Please dial (877) 336-1839 US Toll-free or (636) 651-0008 US Toll. (Conference code: 686100). If you are participating by calling in, press #2 on your telephone keypad to raise your hand.

**In-Person:** Please complete a “speaker’s card” located on the back of the Chamber benches and return it to the Vice Chair before the meeting or when the Chair announces the item for which you wish to speak.

**NOTES:** (1) Comments will be limited to three (3) minutes or less at the Chair’s discretion.

(2) If you are unable to participate in real-time, you may email to [planning@losgatosca.gov](mailto:planning@losgatosca.gov) the subject line “Public Comment Item #\_\_” (insert the item number relevant to your comment) or “Verbal Communications – Non-Agenda Item.” All comments received will become part of the record.

(3) Deadlines to submit written public comments are:

11:00 a.m. the Friday before the Planning Commission meeting for inclusion in the agenda packet.

11:00 a.m. the Tuesday before the Planning Commission meeting for inclusion in an addendum.

11:00 a.m. on the day of the Planning Commission meeting for inclusion in a desk item.

(4) Persons wishing to make an audio/visual presentation must submit the presentation electronically to [planning@losgatosca.gov](mailto:planning@losgatosca.gov) no later than 3:00 p.m. on the day of the Planning Commission meeting.

## MEETING CALL TO ORDER

## ROLL CALL

## PLEDGE OF ALLEGIANCE

**VERBAL COMMUNICATIONS** (Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)** *(Before the Planning Commission acts on the consent agenda, any member of the public Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda.)*

**PUBLIC HEARINGS** *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

1. Requesting Approval for Site Improvements (Retaining Walls) Requiring a Grading Permit on Property Zoned HR-1. **Located at 17020 Los Cerritos Drive.** APN: 532-21-012 and 013. Architecture and Site Application S-24-005. Categorically Exempt Pursuant to CEQA Guidelines Section 15304: Minor Alterations to Land. Property Owner: Sandra Campbell. Applicant: David Fox. Project Planner: Erin Walters.

## OTHER BUSINESS

## REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

## SUBCOMMITTEE REPORTS / COMMISSION MATTERS

**ADJOURNMENT** *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)*

**ADA NOTICE** In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

*Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m.  
Live and Archived Planning Commission meetings can be viewed by going to:  
[www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube)*





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 07/10/2024

ITEM NO: 1

DATE: July 5, 2024  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Site Improvements (Retaining Walls) Requiring a Grading Permit on Property Zoned HR-1. **Located at 17020 Los Cerritos Drive.** APN: 532-21-012 and -013. Architecture and Site Application S-24-005. Categorically Exempt Pursuant to CEQA Guidelines Section 15304: Minor Alterations to Land. Property Owner: Sandra Campbell. Applicant: David Fox. Project Planner: Erin Walters.

RECOMMENDATION:

Consider approval for site improvements (retaining walls) requiring a grading permit on property zoned HR-1, located at 17020 Los Cerritos Drive.

PROJECT DATA:

General Plan Designation: Hillside Residential  
Zoning Designation: HR-1, Hillside Residential  
Applicable Plans & Standards: General Plan; Hillside Development Standards and Guidelines; and Hillside Specific Plan  
Parcel Size: 2.56 acres (111,513 square feet)  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Hillside Residential	HR-1
South	Residential	Hillside Residential	HR-1
East	Residential	Hillside Residential	HR-1
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Erin Walters  
Associate Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

Categorically Exempt Pursuant to CEQA Guidelines Section 15304: Minor Alterations to Land.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15304: Minor Alterations to Land.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).
- The project is in compliance with the applicable sections of the Hillside Development Standards and Guidelines (HDS&G) other than the requested exceptions for: grading outside of the Least Restrictive Development Area (LRDA); exceeding the maximum allowable retaining wall height (five feet); and exceeding the maximum allowable fill depths (three feet) for yards.
- The project is in compliance with the Hillside Specific Plan.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is 2.56 acres and contains an existing 4,692-square foot residence with a 525-square foot attached garage and associated site improvements.

On May 22, 2012, the Development Review Committee (DRC) approved an Architecture and Site application (S-11-090) to remodel and construct an addition to the house.

In September of 2012, building permits were issued and construction began on the house. In 2013, a building permit application was submitted for a new pool and site retaining walls, but was not issued as the proposed retaining walls did not meet the HDS&G.

In February of 2016, the Building Department issued a stop work order for work that was done without permits on the subject property. The stop work order was issued because the work included site improvements requiring a grading permit, grading of 50 cubic yards or more,

BACKGROUND (continued):

without receiving approval of an Architecture and Site Application. In addition, retaining walls were built without approval of a building permit.

In October of 2016, the applicant submitted an Architecture and Site application for the site improvements requiring a grading permit.

On February 13, 2019, the Planning Commission considered the application and continued the matter to April 10, 2019, with direction to the application to provide a feasibility analysis for an alternative to restore the hillside areas (rear yard area and driveway area) to the grades that existed prior the construction of the unpermitted retaining walls. The Commission requested the applicant provide alternatives to mitigate the construction of the unpermitted retaining walls by meeting the following HDS&G to the maximum extent possible:

- Maximum exposed retaining wall heights of five feet;
- Maximum exposed uninterrupted retaining walls lengths of less than 50 feet; and
- Minimal exceptions for exceeding the maximum allowable cut and fill depths.

The meeting minutes are included in Exhibit 4. The staff report can be found online here:

[www.losgatosca.gov/17020LosCerritosDr\\_PCFeb132019](http://www.losgatosca.gov/17020LosCerritosDr_PCFeb132019)

The video of the meeting can be found online here:

[www.losgatosca.gov/17020LosCerritosDr\\_YouTubePCFeb132019](http://www.losgatosca.gov/17020LosCerritosDr_YouTubePCFeb132019)

On April 10, 2019, the Planning Commission considered and approved design Alternative One for the driveway area and the rear yard alternative for Architecture and Site Application S-16-065. The meeting minutes are included in Exhibit 5.

The staff report can be found online here:

[www.losgatosca.gov/17020LosCerritosDr\\_PCApr102019](http://www.losgatosca.gov/17020LosCerritosDr_PCApr102019)

The video of the meeting can be found online here:

[www.losgatosca.gov/17020LosCerritosDr\\_YouTubePCApr102019](http://www.losgatosca.gov/17020LosCerritosDr_YouTubePCApr102019)

Architecture and Site Applications expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested by issuance of building permits and successful completion of first foundation inspection. On April 10, 2021, the Architecture and Site Application's two-year expiration date was extended by an additional two years due to the COVID-19 Urgency Ordinance, resulting in a new expiration date of April 10, 2023. By virtue of the Governor's Executive Order No. N-38-20, the expiration date was extended to May 28, 2023.

BACKGROUND (continued):

On August 8, 2022, Building Permit B19-1154 was issued, however, no work has been performed on site in reliance on the building permit. Architecture and Site application S-16-065 was not vested before the expiration date of May 28, 2023, and expired.

An Architecture and Site application is being considered by the Planning Commission as the applicant requests approval of a new Architecture and Site Application in order to complete the mitigation work that was approved by the Planning Commission on February 13, 2019. The scope of work has not changed.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The property is located at 17020 Los Cerritos Drive, located on the west side of Los Cerritos Drive, approximately 180 feet east of Crescent Drive (Exhibit 1). Surrounding properties contain single-family hillside residential development to the north, east, and south; and low-density single-family residential development to the west.

B. Project Summary

The applicant is requesting approval of an Architecture and Site application for site improvements requiring a grading permit.

Unpermitted Work

The unpermitted work occurred within two areas of the site (Exhibit 9, Sheet G4.0): a portion of the driveway area (northeastern section); and a portion of the rear yard (southwestern section). The following summarizes the scope of the work that was completed in the field without the benefit of permits:

- Grading outside of the LRDA (on slopes over 30 percent) within the rear yard and driveway area;
- Construction of a seven-foot tall retaining wall in the rear yard;
- Cutting a maximum depth of nine feet, one-inch in the rear yard;
- Construction of 100 continuous linear feet of retaining wall in the rear yard;
- Construction of a 12-foot, four-inch retaining wall in the driveway area;
- Cutting a maximum depth of 12 feet, one-inch in the driveway area; and
- Construction of 122 continuous linear feet of retaining wall in the driveway area.

The applicant's proposed remedy is to retain the unpermitted retaining walls and construct additional shorter walls in front of the walls to create tiered walls. This would reduce the

PROJECT DESCRIPTION (continued):

exposed retaining wall heights, break up portions of the continuous retaining wall lengths, and add landscaping between tiers. The remedy also includes the addition of buttresses to the existing retaining walls in order to meet structural requirements.

The applicant has provided a scope of work and a letter of justification (Exhibit 6) describing the unpermitted completed work and proposed remedy with justification. The applicant has provided development plans showing existing conditions with the construction of the unpermitted walls (Exhibit 9, Sheet C6 of 7) and the proposed wall remediation plan (Exhibit 9, Sheet C2 of 7).

C. Zoning Compliance

A single-family residence is permitted in the HR zone.

DISCUSSION:

A. Architecture and Site Application

Pursuant to the Town Code, an Architecture and Site application is required in order to apply for a grading permit. A grading permit is required for total cut and fill volumes greater than 50 cubic yards.

The site was graded and retaining walls were constructed without permits. The applicant has proposed to build tiered walls in front of the unpermitted walls to reduce the exposed retaining wall heights, to break up the continuous retaining walls, and add landscaping at both the rear yard and driveway areas as described in Exhibit 9, Sheet C2 of 7, and discussed further below.

B. Proposed Driveway Area Mitigation

The project proposes to implement mitigation for the driveway area retaining walls. This proposed mitigation would include adding structural buttressing to the unpermitted retaining walls and terrace the retaining walls to bring the current site conditions into substantial conformance with the HDS&G (Exhibit 9, Sheet S1.0). Some of the grades outside of the LRDA would be restored to pre-violation conditions. Maximum exposed retaining wall heights would be reduced from 12 feet to seven feet. The uninterrupted retaining wall lengths would be reduced to approximately 33 feet. Additional engineered fill depths of four feet would be required (Exhibit 9).

The proposed driveway area mitigation would require exceptions to the HDS&G as described on the following page.

DISCUSSION (continued):

1. Grading outside of the LRDA (on slopes over 30 percent);
2. Exceeding the maximum allowable retaining wall height of five feet;
3. Exceeding the maximum allowable fill depths (three feet) for yards.

C. Proposed Rear Yard Area Mitigation

The project proposes to implement mitigation for the rear yard area retaining walls. This proposed remedy would include adding structural buttressing to the unpermitted retaining walls beneath one tiered wall to bring the current site conditions into substantial conformance with the HDS&G (Exhibit 9, Sheet S2.0 and S2.1). Some of the grades outside of the LRDA would be restored to pre-violation conditions. Maximum exposed retaining wall heights would be reduced to five feet and uninterrupted retaining wall lengths would be reduced to approximately 23 feet. Additional engineered fill depths of three feet would be required (Exhibit 9).

The proposed rear yard area mitigation would require the following exception to the HDS&G:

1. Grading outside of the LRDA (on slopes over 30 percent).

D. Exceptions to the HDS&G

In order to implement the proposed tiered mitigation walls the applicant is requesting several exceptions to the HDS&G. The analysis of the requested exceptions is summarized below.

- ***HSD&G Section II.C. Standard 1- Grading outside of the LRDA***

The HDS&G requires that each development application identify and map the LRDA. This is to identify the most appropriate area or areas on the lot for locating buildings in the least constrained areas. One of the elements in determining the LRDA is topography with slope less than 30 percent. Grading and the construction of retaining walls occurred outside of the site's LRDA in areas where slopes exceeded 30 percent in the rear yard area and driveway area (Exhibit 9, Sheet C2 of 7). The proposed remediation of introducing a series of tiered walls in front of the existing unpermitted walls does not mitigate grading work completed outside of the LRDA. The applicant's request an exception from this standard.

DISCUSSION (continued):

- **HDS&G Section III.A. Standard 1- Exceeding the maximum allowable fill depths (three feet) for yards**

The HDS&G requires that the development of yards meet the required a maximum fill depth of three feet (Table 1 of the HDS&G, page 20). Absent adequate justification, cut and fill in excess of maximum levels are considered excessive and contrary to the objectives of the HDS&G. Project should only grade the minimum amount necessary to accommodate building and site structures consistent with slope contours.

The proposed remediation introduces shorter walls to be built in front of the existing walls. The applicant requests an exception to the HDS&G to exceed the maximum allowable graded fill depth of three feet to accommodate the tiered retaining walls. The chart below summarizes the maximum graded cut and fill for the project.

Maximum Graded Cut and Fills – HDS&G						
	Maximum Cut Depths (feet)			Maximum Fill Depths (feet)		
	Allowed	Unpermitted Cut	Proposed Remediation Cut	Allowed	Unpermitted Fill	Proposed Remediated Fill
Site Work	4 feet	Driveway 12 feet and 1 inches Rear Yard 9 feet and 1 inches	Driveway 0 feet Rear Yard 0 feet	3 feet	Driveway 3 feet Rear Yard 3 feet	<b>Driveway 4 feet Rear Yard 3 feet</b>
<b>Bold-</b> requires exception to the HDS&G						

- **HDS&G Section VI.C. Guideline 1- Exceeding the maximum allowable retaining wall height (five feet)**

The HDS&G state that retaining walls should not be taller than five feet. Where additional retained portions are necessary due to unusual or extreme conditions (e.g., lot configuration, steep slope, or road design), the use of multiple-tiered lower retaining structures is preferred.

The remediation at the driveway wall would introduce a tiered planter wall with the maximum height of seven-foot, four-inches in front of the unpermitted 12-foot, four-inch wall. The proposed remediation wall for the driveway wall would exceed the HDS&G five-foot wall height requirements.



DISCUSSION (continued):

The retaining wall maximum height chart below provides a comparison of the allowed, unpermitted and proposed remediated wall height:

Retaining Wall Height Maximum Height			
	Allowed	Unpermitted Walls	Remediated Walls
Driveway	5 feet	12 feet and 4 inches	<b>Proposed 7 feet and 4 inches</b>
Rear Yard	5 feet	7 feet	Proposed 4 feet
<b>Bold</b> - requires exception to the HDS&G			

- **HDS&G Section VI.C. Guideline 4-  
Exceeding retaining wall lengths that run in a continuous direction for more than 50 feet without a break, offset, or planting to break up the long flat horizontal surface**

The applicant has proposed tiered planter walls to break up the continuous retaining walls at both the rear yard and driveway areas. The walls have a natural textured surface to help blend with the natural hillside (Exhibit 8). The applicant has included a conceptual landscape plan that will help screen the walls to mitigate their visual impact (Exhibit 9, Sheets L-2). A Condition of Approval has been included that the final landscape plan shall be in compliance with the HDS&G (Exhibit 3, Condition of Approval 9).

The proposed Architecture and Site Application remediation plan for the unpermitted grading and retaining walls were approved by the Planning Commission on April 10, 2019 (Exhibit 4), and building permits were issued for the project, however the applicant let the Architecture and Site application expire. The proposed project is the same scope of work as approved by the Planning Commission on April 10, 2019.

E. Grading/Geotechnical Review

The property, in its current condition, features unpermitted retaining walls and grading activities, which include an estimated 1,360 cubic yards of cut. The proposed remediation tiered retaining walls will require additional fill (an estimated 86 cubic yards).

The applicant’s structural engineering firm evaluated the unpermitted walls and determined that the walls are inadequate and required a buttress system to be installed. The proposed design includes adding a buttress system. The applicant submitted geologic investigations for review by the Town’s Geotechnical Consultant. The consultant concluded that the investigation and associated documents were satisfactory and complete.

DISCUSSION (continued):

F. Tree Impacts

On April 29, 2024, the Town's Consulting Arborist revisited the site and provided an updated report providing the current condition of the trees on site (Exhibit 7). Tree protection will be provided on site per the report recommendations.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15304: Minor Alterations to Land.

PUBLIC COMMENTS:

Project identification signage was installed on the site and written notice was sent to property owners and tenants located within 500 feet of the subject property. Public comments received by 11:00 a.m., Friday, July 5, 2024, are included as Exhibit 10. Based on the public comment received by a neighboring property owner, Condition of Approval #3 has been included to restrict construction work hours to Monday through Friday from 8:00 a.m. to 5:00 p.m. and construction work is prohibited on Town Holidays to reduce noise for surrounding neighbors.

CONCLUSION:

A. Summary

The project includes the following mitigation to both the driveway and the rear yard areas: adding structural buttressing; and terracing the unpermitted retaining walls to bring the current site conditions into substantial conformance with the HDS&G. The revised project would include maximum exposed retaining wall heights of five feet at the rear yard area, reducing the 12-foot exposed retaining wall height to seven feet at the Driveway Area, reducing the maximum exposed uninterrupted retaining wall lengths to less than 50 feet, and adding landscaping between the terraces.

The proposed project would require exceptions to the HDS&G including grading outside of the Least Restrictive Development Area (LRDA); exceeding the maximum allowable retaining wall height (five feet); and exceeding the maximum allowable fill depths (three feet) for yards. Should the Planning Commission find merit with the proposed project the Commission may grant the exceptions to the HDS&G.

CONCLUSION (continued):

B. Recommendation

Based on the analysis above, staff recommends approval the Architecture and Site Application subject to the recommended conditions of approval (Exhibit 3). If the Planning Commission finds merit with the proposed project, it should:

1. Find that the proposed project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Quality Act, 15304: Minor Alterations to Land (Exhibit 2);
2. Make the finding the project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
3. Make the finding that the project is in compliance with applicable sections of the Hillside Development Standards and Guidelines other than the requested exceptions for: grading outside of the Least Restrictive Development Area (LRDA); exceeding the maximum allowable retaining wall height (five feet); and exceeding the maximum allowable fill depths (three feet) for yards (Exhibit 2);
4. Make the finding that the project is in compliance with the Hillside Specific Plan (Exhibit 2);
5. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
6. Approve Architecture and Site Application S-24-005 with the conditions contained in Exhibit 3 and the development plans in Exhibit 9.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

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**SUBJECT: 17020 Los Cerritos Drive/S-24-005**

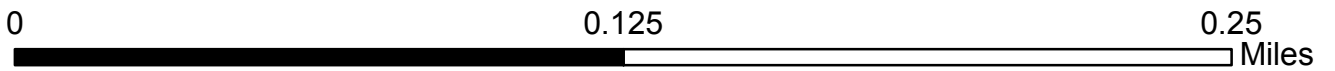
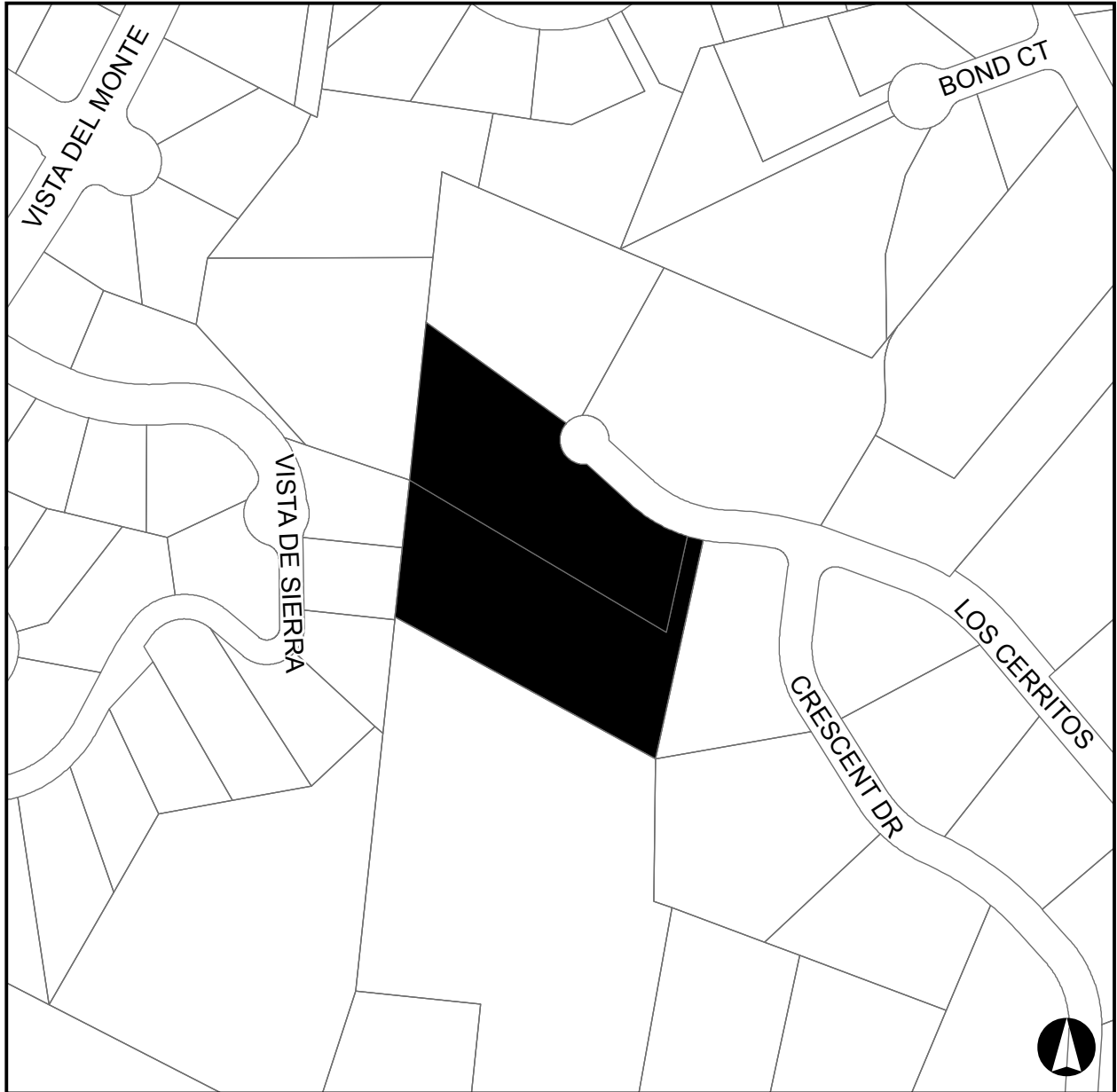
**DATE: July 5, 2024**

**EXHIBITS:**

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. February 13, 2019 Planning Commission Meeting Minutes
5. April 10, 2019 Planning Commission Meeting Minutes
6. Project Description and Letter of Justification
7. Consulting Town Arborist Report Month, Day, Year
8. Color Board
9. Development Plans
10. Public Comments Received Prior to 11:00 a.m., Friday, July 5, 2024

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# 17020 Los Cerritos Drive



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**PLANNING COMMISSION – July 10, 2024 - DRAFT**  
**CONDITIONS OF APPROVAL**

**17020 Los Cerritos Drive**  
**Architecture and Site Application S-24-005**

**Requesting Approval for Site Improvements (Retaining Walls) Requiring a Grading Permit on Property Zoned HR-1. APN 532-21-012 and -013. Categorically Exempt Pursuant to CEQA Guidelines Section 15304: Minor Alterations to Land.**  
**PROPERTY OWNER: Sandra Campbell**  
**APPLICANT: David Fox**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. CONSTRUCTION HOURS: Construction work hours for this project are restricted to Monday through Friday, 8:00 a.m. to 5:00 p.m. and no construction on Town observed holidays.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
8. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report dated as received April 29, 2024 prepared by Monarch Consulting Arborists, for the project on file in the Community Development Department. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable.
9. LANDSCAPE PLAN: Prior to issuance of a building permit a landscape plan shall be provided and be in compliance with the Hillside Development Standards and Guidelines.
10. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

EXHIBIT 2

11. NESTING BIRDS: To avoid impacts to nesting birds, the removal of trees and shrubs shall be minimized to the greatest extent feasible. Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction starts, if work is scheduled to start or if work already occurring during the nesting season stops for at least two weeks and is scheduled to resume during the bird nesting season, then a qualified biologist shall conduct a pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project construction. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 14 days prior to start of construction, with the second survey conducted with 48 hours prior to start of construction. Appropriate minimum survey radius surrounding each work area is typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize “normal” bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.
12. SPECIAL-STATUS BATS: Approximately 14 days prior to tree removal or structure demolition activities, a qualified biologist shall conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and within and surrounding any structures that may be disturbed by the project. These surveys will include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an “Anabat” unit. Potential roosting features found during the survey shall be flagged or marked.

If no roosting sites or bats are found, a letter report confirming absence will be prepared and no further measures are required.

If bats or roosting sites are found, a letter report and supplemental documents will be prepared prior to grading permit issuance and the following monitoring, exclusion, and habitat replacement measures will be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they will be evicted as described under (b) below. If bats are found roosting during the nursery season, they will be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats will be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the CDFW) will be established around the roosting site within which no construction activities including tree removal or structure disturbance will occur until after the nursery season.
- b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures scheduled to be disturbed by project activities, the individuals will be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction.

If needed, other methods conducted under the direction of a qualified bat biologist could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance of any structures will be conducted no earlier than the following day (i.e., at least one night will be provided between initial roost eviction disturbance and tree removal/structure disturbance). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

13. **ARCHAEOLOGICAL RESOURCES AND HUMAN REMAINS:**

- a. In the event that archaeological traces are encountered, all construction within a 50-meter radius of the find will be halted, the Community Development Director will be notified, and an archaeologist will be retained to examine the find and make appropriate recommendations.
- b. If human remains are discovered, the Santa Clara County Coroner will be notified. The Coroner will determine whether or not the remains are Native American. If the Coroner determines the remains are not subject to his authority, he will notify the Native American Heritage Commission, who shall attempt to identify descendants of the deceased Native Americans.
- c. If the Community Development Director finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are

accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in CEQA Guidelines Section 15064.5( e). If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Community Development Director for consideration and approval, in conformance with the protocol set forth in Public Resources Code Section 21083.2.

- d. A final report shall be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report will include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
14. DUSKY-FOOTED WOODRATS: This project will implement the following standard measures to minimize impacts on woodrats and active woodrat nests on the project site.
- PRECONSTRUCTION SURVEY. A qualified biologist will conduct a preconstruction survey for San Francisco dusky-footed woodrat nests within 30 days of the start of work activities. If active woodrat nests are determined to be present in, or within 10 feet of the impact areas, the conditions below (Avoidance and/or Nest Relocation) will be implemented, as appropriate. If no active woodrat nests are present on or within 10 feet of impact areas, no further conditions are warranted.
  - AVOIDANCE. Active woodrat nests that are detected within the work area will be avoided to the extent feasible. Ideally, a minimum 10-foot buffer will be maintained between project activities and woodrat nests to avoid disturbance. In some situations, a small buffer may be allowed if, in the opinion of a qualified biologist, nest relocation (below) would represent a greater disturbance to the woodrats than the adjacent work activities.
  - NEST RELOCATION. If avoidance of active woodrat nests within and immediately adjacent to (within 10 feet of) the work areas is not feasible, then nest materials will be relocated to suitable habitat as close to the project site as possible (ideally, within or immediately adjacent to the project site).

Relocation efforts will avoid the peak nesting season (February-July) to the maximum extent feasible. Prior to the start of construction activities, a qualified biologist will disturb the woodrat nest to the degree that all woodrats leave the nest and seek refuge outside of the construction area. Disturbance of the woodrat nest will be initiated no earlier than one hour before dusk to prevent the exposure of woodrats to diurnal predators. Subsequently, the biologist will dismantle and relocate the nest material by hand. During the deconstruction process, the biologist will attempt to assess if there are juveniles in the nest. If immobile juveniles are observed, the deconstruction process will be discontinued until a time when the biologist believes the juveniles will be capable of independent survival (typically after 2 to 3 weeks). A no-disturbance buffer will be established around the nest until the juveniles are mobile. The nest may be dismantled once the biologist has determined that adverse impacts on the juveniles would not occur.

15. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its

agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant’s sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant’s indemnity obligation.

16. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

#### *Building Division*

17. PERMITS REQUIRED: A Building Permit will be required for all retaining walls that support a surcharge.
18. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2017, are the 2016 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.
19. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
20. SIZE OF PLANS: Minimum size 24” x 36”, maximum size 30” x 42”.
21. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
22. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
23. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection.

This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items: a. Retaining wall(s) locations and elevations.

24. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
25. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
26. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - a. Community Development – Planning Division: (408) 354-6874
  - b. Engineering/Parks & Public Works Department: (408) 399-5771
  - c. Santa Clara County Fire Department: (408) 378-4010
  - d. West Valley Sanitation District: (408) 378-2407
  - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

*Engineering Division*

27. GENERAL: All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Applicant's expense.
28. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
29. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.

30. PUBLIC WORKS INSPECTIONS: The Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
31. RESTORATION OF PUBLIC IMPROVEMENTS: The Applicant shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Applicant's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Applicant shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
32. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
33. STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
34. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Town prior to plan review at the Engineering Division of the Parks and Public Works Department.
35. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any permits.
36. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project studies imposed by Planning Commission or Town Council shall be funded by the Applicant.
37. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, a new grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the



soils report.

38. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after the rainy season, as defined by the State Water Resources Control Board (October 1-April 30), has ended.
39. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines.
40. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading or building permits, whichever comes first, the Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
41. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit.
42. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
  - a. Retaining wall: top of wall elevations and locations.
  - b. Toe and top of cut and fill slopes.
43. PRECONSTRUCTION MEETING: Prior to the commencement of any site work, the general contractor shall:
  - a. Along with the project applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
44. RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
46. SOILS REPORT: The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
47. GEOLOGY AND SOILS MITIGATION MEASURE: The geotechnical study shall provide recommendations for site grading as well as the design of retaining walls, excavation, and drainage. All recommendations of the investigation shall be incorporated into project plans.
48. SOILS REVIEW: The Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Applicant's soils engineer shall then be conveyed to the Town either by letter or by signing the plans.
49. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and

grading shall be inspected by the Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Applicant's soils engineer and submitted to the Town before final release of any certificate of occupancy is granted.

50. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Applicant's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Applicant.
51. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
52. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
53. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of a grading or building permit.
54. HAULING OF SOIL: Hauling of soil on- or off-site shall only occur during Monday through Friday between 8:00 am and 5:00 pm (no holidays). Prior to the issuance of a grading or building permit, the Applicant shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off of the project site. This may include, but is not limited to provisions for the Applicant/Owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
55. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday (no holidays).
56. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday (no holidays), construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
57. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Applicant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan,

Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse location(s). Please refer to the Town's Construction Management Plan Guidelines document for additional information.

58. WVSD (West Valley Sanitation District): A Sanitary Sewer Clean-out is required for each property at the property line, or at a location specified by the Town.
59. BEST MANAGEMENT PRACTICES (BMPs): The Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
60. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
  - a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use permeable pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
61. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
62. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled

or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

63. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
64. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
65. SITE DRAINAGE – EARTH BERM: Prior to the issuance of a grading or building permit, an earth berm to divert the conveyance of drainage away from the property immediately to the west (APN 532-34-043) shall be proposed to the satisfaction of the Town Engineer.
66. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
67. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Applicant's expense.
68. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

69. The fire department has no comments or conditions. The plans are approved as submitted. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations may not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.6]

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**PLANNING COMMISSION – July 10, 2024**  
**REQUIRED FINDINGS & CONSIDERATIONS FOR:**

**17020 Los Cerritos Drive**  
**Architecture and Site Application S-24-005**

**Requesting Approval for Site Improvements (Retaining Walls) Requiring a Grading Permit on Property Zoned HR-1. APN 532-21-012 and -013. Categorically Exempt Pursuant to CEQA Guidelines Section 15304: Minor Alterations to Land.**  
**PROPERTY OWNER: Sandra Campbell**  
**APPLICANT: David Fox**

**FINDINGS**

**Required Finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, 15304: Minor Alterations to Land.

**Required compliance with the Zoning Regulations:**

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

**Required Compliance with Hillside Development Standards and Guidelines (HDS&G):**

- As required by the Hillside Development Standards and Guidelines (HDS&G), the project is in compliance with the applicable sections of the HDS&G other than the requested exceptions for: grading outside of the Least Restrictive Development Area (LRDA); exceeding the maximum allowable retaining wall height (five feet); and exceeding the maximum allowable fill depths (three feet) for yards.

The applicant has provided compelling reasons and evidence to support the granting of exceptions to the HDS&G.

**Compliance with Hillside Specific Plan**

- The project is in compliance with the Hillside Specific Plan in that it is site work for an existing single-family residence. The proposed development is consistent with the development criteria included in the Specific Plan.

**CONSIDERATIONS**

**Considerations in review of Architecture & Site applications:**

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

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**MINUTES OF THE PLANNING COMMISSION MEETING  
FEBRUARY 13, 2019**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, February 13, 2019, at 7:00 p.m.

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Matthew Hudes, Vice Chair Melanie Hanssen, Commissioner Mary Badame, Commissioner Kathryn Janoff, Commissioner Reza Tavana, and Commissioner Tom O'Donnell  
Absent: Commissioner Kendra Burch

**PLEDGE OF ALLEGIANCE**

Chair Hudes led the Pledge of Allegiance. The audience was invited to participate.

**VERBAL COMMUNICATIONS**

Heidi Owens

- She serves on the Bicycle and Pedestrian Advisory Commission and will be its delegate to the Planning Commission.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

- 1. Approval of Minutes – January 23, 2019**

**MOTION:** Motion by **Commissioner O'Donnell** to approve adoption of the Consent Calendar. **Seconded** by **Commissioner Badame**.

**VOTE:** Motion passed unanimously

**PUBLIC HEARINGS**

- 2. 11 Peralta Avenue**

Minor Residential Development Application MR-18-008

APN 510-42-073

Property Owner: Wendy Fan Kandasamy

Applicant: Tony Jeans

Project Planner: Erin Walters

Requesting approval for construction of an addition to an existing second story of a pre-1941 single-family residence on property zoned R-1:8. Continued from December 12, 2018 and January 23, 2019.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

██████████ (Objecting Neighbor)

- He and his wife live at ██████████, immediately adjacent, below, and south of the subject property. Six of the seven immediate neighbors to 11 Peralta oppose the property expansion due to current onsite parking limitations, which would become worse with the additional cars if the project is approved. Every neighbor is concerned about the majestic oak tree bordering between his property and the subject property. They are concerned about the proposed increase in mass, and the loss of privacy that would occur if 11 Peralta increases 25-33 percent in the back and rises up three stories above them. They are one story below the subject property, so that that second story would be three stories above, and it looks directly down into their back yard, kitchen, and breakfast nook area. Three new entrances on the back side of the proposed home would be on their property line, plus the unnecessary second floor patio would further contribute to their loss of privacy. Mr. Jeans' written representations that the project has no impact on the neighborhood and that the parties are close to resolving their differences is not true. The privacy issue is their largest concern and could be easily resolved by planting Italian Cypress trees, which if they were planted, they could withdraw their objection to the proposed expansion of the length of the house and the mass that that expansion would entail, and also to the large outside second floor deck. They request the Commission require the owners to build at least four onsite garages to house the tenants' cars. They also ask for a \$15,000 bond to ensure the oak tree does not become injured during construction.

Tony Jeans

- The property is configured currently as one single-family unit, one Accessory Dwelling Unit, and one legal nonconforming Accessory Dwelling Unit, and it would be configured the same after the project is complete. The immediate priority is to remodel the Victorian and keep the three units. They plan to build better garages at the rear of the property, if affordable, and also consistent with sequencing, because they need to access the property from the rear during construction, so some of what they would do at the rear cannot be done until construction on the Victorian is complete. They performed neighborhood outreach and incorporated the neighbors' input into the plans, specifically agreeing to keep the tree when Mr. Fox objected to their plan to remove it. They moved the house 3 feet farther away from Mr. Fox's property to lessen his privacy concerns. They could not come

to a resolution on all the concerns of the neighbors at 9 Peralta but did most. The square footage of the home would increase 400 square feet, or 20 percent, so the mass of the home would only increase 11 percent, not the 25-33 percent Mr. Fox asserted. The height at the back is lower than the current home. The balcony is 20 feet away from the Fox's property line and the view from it is blocked by the fence. They would plant trees that would grow to 12 feet to provide privacy for 9 Peralta and still give mountain views to 11 Peralta. They propose trees that would allow light to filter through but could not be seen through. They plan to convert the original rear six-car garage into a two-car garage and a three-car garage. They do not object to the garages, but they are not part of this application.

██████████

- He lives at ██████████, directly across the street from the subject site. Parking is an ongoing problem. The tenants at the subject site have to park in the street because the garages are unusable, so Peralta becomes a parking lot, and it would get worse. He asked for a commitment that the garages would be made usable for the tenants.

██████████

- He lives at ██████████, three houses down from the subject site. He agreed with Mr. Winn's comments regarding the garages and wished they were part of the original permit, because parking is a real problem. He objects to the mass of the home, and he can see from the story poles that his view of the mountains would be cut off.

██████████

- He and his wife live at ██████████ on the northern boundary of the merged lot known as 11 and 15 Peralta. The two parcels form a merged lot under Town Code due to common ownership, but both parcels have sold simultaneously on two occasions in the last 15 years to identical new owners, and such events likely void the certificate of compliance on the property that was filed in 2000.

██████████

- She lives at ██████████. She supports the project as it has been modified, because it meets all the Town's obligations for ADUs; does not request any changes to nonconforming legal structures, the garages; it maintains the ADUs; and the applicant has been extremely generous in agreeing to move the house three feet farther from the property line. She agreed with Mr. Jeans that a person on the balcony could not see into 9 Peralta's yard.

██████████

- She lives in the neighborhood and objects to the plan in terms of the mass of the building and the parking problem. The added bedrooms would bring in more tenants and cars on the street. The proposed mass of the building would turn a beautiful, historical street into a parking lot.

Tony Jeans

- The view issue from 37 Peralta is three homes away, and the relative portion of the view they blocked would be infinitesimal based on the view from his street. The focus from 9 Peralta is away from his client's property, not toward it. 9 Peralta is also the largest house on the street. The photo in Mr. Fox's PowerPoint presentation showing his view is dramatically stretched out to make the view he sees appear much larger, when in fact a very small portion of his view would be interrupted. The arborist report states the oak tree may not survive construction; that opinion did not come from him.

- He did not request the proposed house be moved back three feet; Mr. Jeans suggested it. The applicant plans to access the property through a 12-foot strip of land existing between his property and the garages, so the applicant could correct the garages today without any impact to access. The applicant and Mr. Jeans have told him they cannot afford to build the garages and could not guarantee they would build it within a year of occupying the property, or even five years. His contractor and landscaper ran site lines and suggest trees at 18-20 feet to screen the proposed house. They are not locked into Italian Cypress trees for screening, just something that would block the view of the house.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner O'Donnell** to approve a Minor Residential Development Application for 11 Peralta Avenue, with added conditions of approval pursuant to the offer of the applicant that prior to the completion of the project as approved the applicant will file all necessary applications to take the three existing garages on the subject property and make them into garages which otherwise comply with present requirements, and that action on pursuance of the permit be done forthwith a responsible time. **Seconded by Commissioner Badame.**

Commissioners discussed the matter.

**Chair Hudes requested the motion be amended so that if the drawing submitted by the applicant at the hearing were to be made part of the record, the record would show that the privacy trees along the southern property line are to be a minimum of 12 feet in height.**

**The maker of the motion accepted the amendment to the motion.**

**The seconder of the motion accepted the amendment to the motion.**

Commissioners discussed the matter.

**VOTE:**                    **Motion passed unanimously.**

**3. 17020 Los Cerritos Drive**

Architecture and Site Application S-16-065

APNs 532-21-012 and 013

Property Owner: Sandy Campbell

Applicant: Glenn Katz

Project Planner: Erin Walters

Requesting approval for site improvements requiring a grading permit on property zoned HR-1.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Glenn Katz

- The homeowner is an individual owner who plans to stay in the home but wants to remodel. There has been confusion about the retaining walls in the pool area. The applicant extended the walls without permits due to bad advice from her contractor, and this work led to the applicant greatly exceeding the 50 cubic yard limitation. They tested using ground penetrating radar and coring, they reviewed soils reports, and did a structural analysis and found that it would be better to reinforce the walls. They ultimately arrived at a wall buttressing strategy to bring them up to the current structural standards, with terraced walls in front to help meet the Hillside Design Guidelines, and they used the same strategy in the rear yard. Although the amount of cut exceeds the Hillside Design Guidelines, it would be difficult to put it back in place; it would not be practical, safe, or stable.

- She lives at [REDACTED], behind and abutting the subject property; they share a fence and their entire back yard faces the applicant's property. They were aware that the applicant was doing construction, and the applicant did notify the neighbors several years ago. A storm drain pipe runs along their shared fence, and because they are directly downhill from the subject property they are concerned about flooding or mudslides, given that they are directly in the path of the water.

Lee Quintana

- She asked if it is possible to remediate this back to what it was before the unauthorized grading was done, not necessarily by removing all the retaining walls, but by making intermediate retaining walls and filling the slope in, in other words burying the retaining walls, and making a stable hill and bringing back the natural topography. The Commission should ask for a technical review that provides possible solutions closer to the Hillside Standards for grading.

Glenn Katz

- Regarding drainage and the adjacent property, their engineering and civil engineering staff are working to guarantee proper drainage from the site. There was never unwillingness to explore other options for restoring the hillside, but the solution they proposed has always been the apparent best option that would meet most of the Hillside Guidelines, not all, but meets the intent of at least the visual side, and in a practical manner that is less disruptive and less costly.

Michael Goodhue

- It is difficult to talk to about the LRDA, because it is where those steep walls were, and the LRDA from the original site went quite a bit into the flat area than the walls built in the seventies or eighties. It would be difficult to put the dirt back on that steep of a slope and have it remain stable, so they are trying to mimic that slope with the terraced walls in the locations where they made the walls taller.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner O'Donnell** to continue the public hearing for 17020 Los Cerritos Drive to a date certain, subject to Planning Commission direction. **Seconded by Commissioner Hanssen.**

Commissioners discussed the matter.

**The maker of the motion agreed to amend the motion to include direction from planning commissioners.**

**The seconder of the motion agreed to amend the motion to include direction from planning commissioners.**

**It was determined that the date certain for the next public hearing for 17020 Los Cerritos Drive would be held on April 10, 2019.**

**VOTE:**                    **Motion passed unanimously.**

**OTHER BUSINESS**

**4. Report from the Director of Community Development**

Joel Paulson, Director of Community Development

- Town Council met 2/5/19; introduced a Short-Term Rentals Ordinance; recommended implementing a parklet pilot; and directed staff to move forward with annexing county pockets in the flatlands into the Town's jurisdiction.

**SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

None.

**ADJOURNMENT**

The meeting adjourned at 10:28 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 13, 2019 meeting as approved by the Planning Commission.

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/s/ Vicki Blandin

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

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**MINUTES OF THE PLANNING COMMISSION MEETING  
APRIL 10, 2019**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, April 10, 2019, at 7:00 p.m.

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Matthew Hudes, Vice Chair Melanie Hanssen, Commissioner Mary Badame, Commissioner Kathryn Janoff, Commissioner Reza Tavana, and Commissioner Tom O'Donnell  
Absent: Commissioner Kendra Burch

**PLEDGE OF ALLEGIANCE**

Commissioner Tavana led the Pledge of Allegiance. The audience was invited to participate.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. **Approval of Minutes** – March 27, 2019
2. **460 Monterey Avenue**  
Architecture and Site Application S-19-009  
APN 410-16-022  
Property Owner/Applicant: Edward Morimoto  
Project Planner: Sean Mullin

Requesting approval of a modification to an approved Architecture and Site application for removal of a condition requiring utilities to be placed underground on property zoned R1-D. Continued from March 27, 2019.

**MOTION:**                   **Motion by Commissioner O'Donnell** to approve adoption of the Consent Calendar. **Seconded by Commissioner Badame.**

**VOTE:**                     **Motion passed unanimously.**

**PUBLIC HEARINGS**

**3. 17020 Los Cerritos Drive**

Architecture and Site Application S-16-065

APNs 532-21-012 and 013

Property Owner: Sandy Campbell

Applicant: Glenn Katz

Project Planner: Erin Walters

Requesting approval for site improvements requiring a grading permit on property zoned HR-1. Continued from February 13, 2019.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Glenn Katz/Applicant

- In the driveway and rear yard areas they propose a series of stepped retaining walls to mitigate height, so all walls are within the Hillside Guidelines. They have prepared a restoration analysis and two mitigation alternatives for the driveway area, and with one mitigation measure in the rear yard they are able to meet most of the guidelines. In the driveway area the basic scheme would be the existing wall stays, structural buttresses would be provided across the front of the wall, then a terraced retaining wall added in front so as to avoid benching the terrain, which would lead to large loads of dirt coming and going to and from the site. Two mitigation alternatives are: 1) The wall is continued all the way across, and 2) Put two terracing walls in the area with the same buttressing scheme, bringing everything completely within the scheme of the height restrictions as well as the uninterrupted wall length.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner O'Donnell** to approve Alternative One for the driveway area and the rear yard alternative of an Architecture and Site Application for 17020 Los Cerritos Drive. **Seconded by Commissioner Badame.**

**VOTE:**                    **Motion passed 4-2 with Vice Chair Hanssen and Commissioner Janoff opposing.**

**4. Town Code Amendment – Hillside Fences**

Town Code Amendment Application A-19-001

Applicant: Town of Los Gatos

Project Planner: Sean Mullin

Consider amendments to Chapter 29 (Fences, hedges, and walls) of the Town Code regarding fences, hedges, and walls in the hillside area. Commission discussion continued from March 13, 2019.

Sean Mullin, Associate Planner, presented the staff report.

Commissioners discussed the matter.

**MOTION:**                   **Motion by Commissioner O'Donnell** to continue Commission discussion regarding Town Code Amendment – Hillside Fences to the meeting of May 8, 2019. **Seconded by Commissioner Badame.**

**VOTE:**                   **Motion passed unanimously.**

**OTHER BUSINESS**

**5. Report from the Director of Community Development**

Joel Paulson, Director of Community Development

- Town Council met April 2, 2019:
  - Considered the Greenridge Terrace Planned Development and scheduled a second reading of the ordinance at the next meeting; made changes to require scenic easements; and removed some of the findings that will come back later for the houses.
  - Considered and denied the Peralta project appeal and approved the project.
- The Town continues to recruit for adult commission appointments with the deadline extended to June 7, 2019. Information and a list of vacancies can be found on the Town Clerk's web page.

**SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

**General Plan Advisory Committee**

Commissioner Hanssen

- The Town has released a draft of the background report, which is the basis for looking at the trends happening over the next 20 years. GPAC's next meetings will be held April 23, 2019 and April 30, 2019 to work on the plan's vision and review the background document.

**ADJOURNMENT**

The meeting adjourned at 9:47 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the April 10, 2019 meeting as approved by the Planning Commission.

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/s/ Vicki Blandin

May 20, 2024

Planning Commission  
Town of Los Gatos  
110 East Main Street  
Los Gatos, CA 95030

Re: 17020 Los Cerritos Drive  
APN 532-21-013  
Project Description and Letter of Justification

The applicant is requesting re-approval of an Architecture & Site application that was approved by the Planning Commission on April 10, 2019 (S-16-065) for retaining walls and site improvements requiring a grading permit. Following Planning Commission approval, construction plans were prepared and submitted to Building, however, the remediation work was not completed. Because the Architecture & Site Application has expired, a new application has been submitted requesting to have the project re-approved. The scope of the project has not changed. The following narrative was provided to the Planning Commission in 2019.

### **Scope of Work**

- Site grading and construction of new retaining walls for work completed in February 2016:
  - Cut totaling 1360 cubic yards of earth in two areas of the project site (along the rear yard property line at the southwestern edge of the property and in the existing driveway area at the northeast corner of the renovated residence).
  - Construction of 100 lineal feet of new retaining wall at the rear yard area (shown as Alignment 1 on the site plans).
  - Construction of 122 lineal feet of new retaining wall in the driveway area (shown as Alignment 2 on the site plans).
- Proposed remediation measures to bring the exposed height of most, but not all of the existing retaining walls, to the limitations prescribed by the *Hillside Development Standards & Guidelines*.

### **Justification for Proposed Remediation/Mitigation Measures**

#### ***Project History/Prior Work***

Over the summer and fall of 2015, site grading and construction of two new retaining walls occurred on the project site. This work proceeded without the required permits due to a series of misunderstandings and confusion about the permit approval status for the planned work:

- A major renovation to the existing residence on the property was in progress at that time under building permits B12-0649 and B12-0657.

- As part of this renovation project, the retaining walls in the former pool area (to the east of the residence) were replaced using a retaining wall detail provided by the project architect.
- The homeowner misunderstood the extent of the retaining wall work authorized under the building permit for the residential renovation. A prior contractor led the homeowner to believe that additional retaining wall work was authorized under the building permit and proceeded to construct two new sections of retaining wall using the same detail that had been provided for the pool area retaining wall replacement.
- To the best of the homeowner's understanding, the retaining wall changes completed in 2016 had been approved as part of the residential renovation building permit, but in fact, a separate approval for the grading and new retaining wall work was required and had not been completed.

### ***Work Done without Permits***

The following work was completed on the project site in 2016 without permits:

- Site grading and cutting of 1,360 cubic yards of earth in two areas of the project site:
  - Driveway area: in the existing driveway area at the northeast corner of the recently renovated residence.
  - Rear yard area: along the rear yard property line at the southwestern edge of the property.
- Construction of new retaining walls:
  - Driveway Area: 122 lineal feet of new retaining wall at driveway area (shown as Alignment 2 on the site plans).
  - Rear Yard Area: 100 lineal feet of new retaining wall at the rear yard area (shown as Alignment 1 on the site plans).

### ***Hillside Development Standards and Guidelines Conformance***

The work completed in 2016 without permits is not in conformance with the *Hillside Development Standards and Guidelines* as follows:

1. Site grading has been performed outside the LRDA.
2. The cut depth at many points along the new retaining wall alignments exceeds the maximum cut depth of 4 feet allowed per HDS&G Table 1 (page 17):
  - Driveway area: Maximum cut depth (on Alignment 2) is 12.1 feet.
  - Rear yard area: Maximum cut depth (on Alignment 1) is 9.1 feet.
3. The retaining wall heights, as built in 2016, exceed the height limitation recommended in the HDS&G.
  - Per HDS&G/VI. Site Elements/C. Retaining wall (page 45):

- Retaining walls higher than five feet are discouraged.
- Multiple-terraced, lower retaining structures should be used in unusual or extreme conditions.
  
- The maximum retaining wall heights completed in 2016 are:
  - Driveway area: Maximum wall height (on Alignment 2) is 12.3 feet.
  - Rear yard area: Maximum wall height (on Alignment 1) is 7 feet.
  
- The mitigation strategies included in this Architecture & Site Application will bring these retaining walls into full compliance with the height limitations recommended in the HDS&G.

### ***Requested Exceptions from Hillside Development Standards and Guidelines***

This application includes a request for two exceptions from the Hillside Development Standards and Guidelines:

1. Site grading performed outside of the LRDA (on existing slopes greater than 30%).
2. Cut depths exceeding the allowable 4 foot cut depth for landscape areas.

### ***Feasibility Analysis of Restoring the Hillside/Prior Retaining Wall Locations***

The restoration of the site to the locations of the prior retaining walls using engineered fill was analyzed and was not recommended by the project design team for the following reasons:

- Removing the retaining walls completed in 2016 that have been constructed outside of the LRDA could destabilize the soil on the hillside and create a potentially dangerous geotechnical condition.
  
- Adding engineered fill to the site to recreate the original grades will require:
  - Additional cut into the existing hillside to provide a stable foundation for the new engineered fill (“benching”).
    - Driveway area: Additional cut required is 10 feet deep (587 CY).
    - Rear yard area: Additional cut required is 7.8 feet deep (162 CY).
  
  - Additional engineered fill will be required to recreate the grades.
    - Driveway area: Additional fill required is 14 feet deep (1,114 CY).
    - Rear yard area: Additional fill required is 9.9 feet deep (442 CY).
  
- The transportation of this additional cut soil and engineered fill to the site will greatly impact the local roads and create a significant disturbance to the neighbors.
  - Additional cut: 749 CY will require approximately 75 truckloads.
  - Additional engineered fill: 1,556 CY will require approximately 156 truckloads.

Allowing the retaining walls completed in 2016 to remain in place with the proposed mitigation of adding structural buttressing and multiple-terraced walls is recommended as the safest and least disruptive option to bring the current site conditions into substantial conformance with the HDS&G.

***Proposed Remediation***

The project team proposed implementing a mitigation strategy using the multiple-terraced retaining walls (as recommended in the *Hillside Development Standards and Guidelines*) to bring the site conditions into substantial compliance with the limitations recommended in the HDS&G. Two alternatives were provided and on April 10, 2019 the Planning Commission approved Mitigation Alternative 1.

This Mitigation Alternative includes the following:

- Adding a series of 14 concrete buttresses at 5 foot on center to brace the wall completed in 2016 along the portions that exceed 5.5 feet of exposed wall height.
- Adding a terraced retaining/planter wall in front of the wall to reduce the maximum exposed wall height to 4 feet, meeting the HDS&G recommendation.
- Adding two offsets to both the upper and lower retaining walls to reduce the maximum uninterrupted wall length to 22 feet 10 inches, meeting the HDS&G recommendation.
- Adding a terraced retaining/planter wall to separate the upper and lower levels of the rear yard. This retaining and planter wall combination will have a maximum exposed wall height of 3 feet, meeting the HDS&G recommendation.
- Softening the appearance of the wall by planting native landscaping as shown on the renderings and landscape plans.

In summary, the proposed project meets the former approval of the Planning Commission, and the applicant is requesting approval of the same design as the Architecture & Site Application approval that has expired. Thank you for your consideration. You are welcome to contact the project team if you have any questions or further clarification is needed.

Sincerely,

[Redacted]  
Homeowner

David Fox  
Landscape Architect

Scott Crawford  
Contractor

Suzanne Avila  
Consultant Planner



**Tree Inventory, Assessment,  
and  
Protection Report**

**17020 Los Cerritos Drive  
Los Gatos, CA 95032**

**Prepared for:**

**Town of Los Gatos**

**April 29, 2024**

**Prepared By:**



**Monarch Consulting Arborists**

Richard Gessner  
P.O. Box 1010 - Felton, CA 95018  
1 831 331 8982  
[www.monarcharborists.com](http://www.monarcharborists.com)

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## Summary

The retaining walls need to be shored up adjacent to the trees. The inventory contains fifteen (15) trees comprised of three (3) different species. There are five Large Protected and 10 Protected, none are Exempt or Street Trees. Nine trees are in good condition, five fair, and one coast live oak is in very poor shape (#979 has failed and destroyed the fence). No trees are expected to be highly impacted or caused to be removed. The plan is to add to the existing retaining walls for support in front of those walls.

Tree protection shall consist of fence around the trees in the front and above the retaining wall. There is existing orange snow fence around some trees and this should be removed and replaced with chain link as per ordinance requirements. Trees should be fenced as four groups as follows in Appendix A: group 1 #971 and #972, group 2 973, #974, 975, group 3 #982, #983, #984, and group 4 #980 and #981..

There were fifteen (15) protected trees appraised for a rounded depreciated value of \$92,520.00.

## Introduction

### Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

### Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

### Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on April 11, 2024. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.



- The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic				
Proposed Site Plan				
Erosion Control				
Grading and Drainage				
Utility Plan and Hook-up locations				
Exterior Elevations				
Landscape Plan	04/01/21	L1 - L7	Yes	PVLMA Landscape Architecture
Irrigation Plan				
T-1 Tree Protection Plan				

## Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

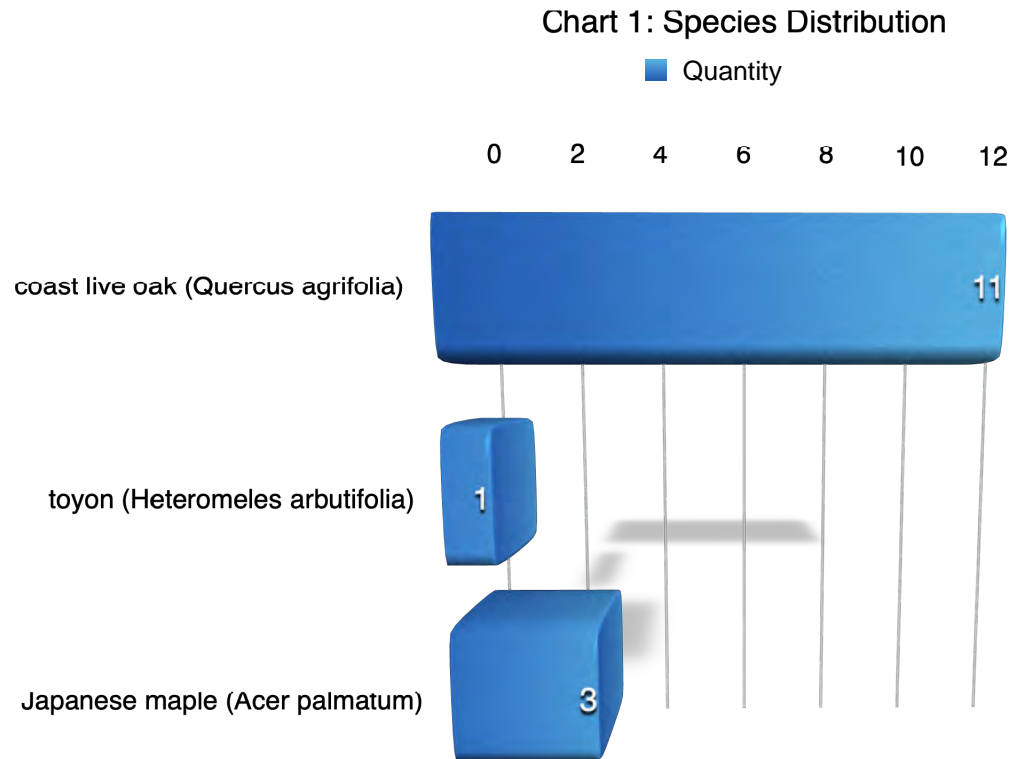
## Observations

### Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: “A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



The inventory contains fifteen (15) trees comprised of three (3) different species (Chart 1). There are five Large Protected<sup>1</sup> and 10 Protected, none are Exempt<sup>2</sup> or Street Trees<sup>3</sup>.



<sup>1</sup> Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

<sup>2</sup> A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference). Species listed in 29.10.0970 subsection (2).

<sup>3</sup> Street tree means a tree in a public place, or along or within a public street or right-of-way.



## Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the “Cost Approach” and more specifically the “Trunk Formula Technique” (Appendix B).

“Trunk Formula Technique” is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the “Basic Tree Cost” based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree’s Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the “Condition Rating” section of this report. Functional limitations are based on factors associated with the tree’s interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were fifteen (15) protected trees appraised for a rounded depreciated value of \$92,520.00.

Appraisal worksheets are available upon request.



# Discussion

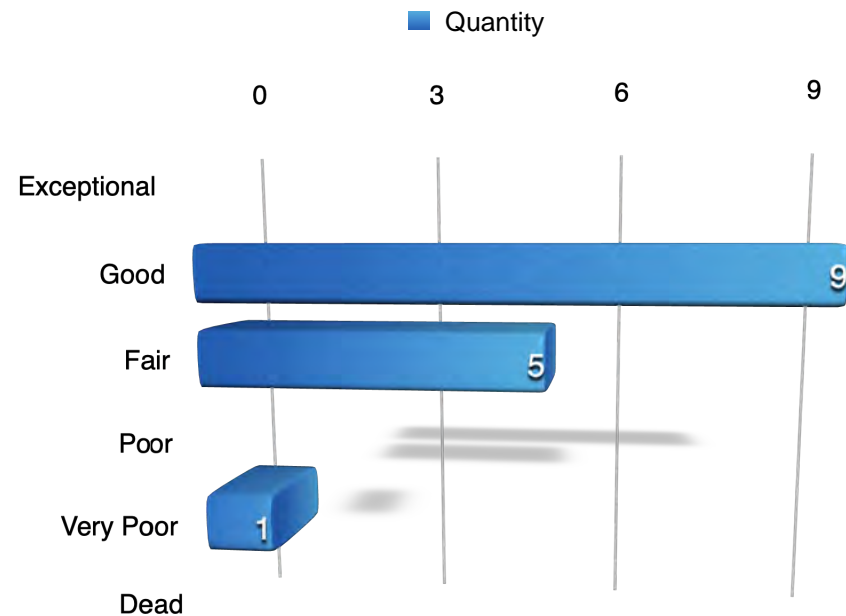
## Condition Rating

A tree’s condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Nine trees are in good condition, five fair, and one coast live oak is in very poor shape (#979 has failed and destroyed the fence) (Chart 2).

Chart 2: Condition Ratings





## Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

No trees are expected to be highly impacted or caused to be removed. The plan is to add to the existing retaining walls for support in front of those walls. Encroachment into the tree root areas has already occurred. The primary three coast live oaks are situated below grade in “tree wells” and there is a general landscape area around these trees with the driveway outside this area.

## Tree Replacement

For this portion of the project there are no required replacements. There may be other required replacements on file from prior approved projects.

## Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree and should encompass the critical root zone. There are two tree protection zones determined which include the “calculated” and “specified” tree protection zones. The “calculated” tree protection zone is determined by a multiplication factor based on species tolerance, tree age/vigor/health, and trunk diameter (Table 3). The “specified” tree protection zone is adjusted in size and shape to accommodate the existing infrastructure, planned construction, and specific site constraints. This “specified” zone includes tree canopy conformation, visible root orientation, size, condition, maturity, and species tolerances (Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. 2023).

Tree protection shall consist of fence around the trees in the front and above the retaining wall. There is existing orange snow fence around some trees and this should be removed and replaced with chain link. Trees should be fenced as four groups as follows: #971 and #972, 973 and #974, and #982, #983, #984, and #980 and #981. These four groups should all be enclosed together.



## Conclusion

The retaining walls need to be shored up adjacent to the trees. The inventory contains fifteen (15) trees comprised of three (3) different species. There are five Large Protected and 10 Protected, none are Exempt or Street Trees. Nine trees are in good condition, five fair, and one coast live oak is in very poor shape (#979 has failed and destroyed the fence).

No trees are expected to be highly impacted or caused to be removed. The plan is to add to the existing retaining walls for support in front of those walls. Encroachment into the tree root areas has already occurred. The primary three coast live oaks are situated below grade in “tree wells” and there is a general landscape area around these trees with the driveway outside this area. For this portion of the project there are no required replacements. There may be other required replacements on file from prior approved projects.

Tree protection shall consist of fence around the trees in the front and above the retaining wall. There is existing orange snow fence around some trees and this should be removed and replaced with chain link as per ordinance requirements. Trees should be fenced as four groups as follows: #971 and #972, 973 and #974, and #982, #983, #984, and #980 and #981.

There were fifteen (15) protected trees appraised for a rounded depreciated value of \$92,520.00.



## Recommendations

1. Place tree numbers on all the plans including the Grading and Drainage plans..
2. Place tree protection fence around the four groups of trees as indicated in Appendix A group 1 #971 and #972, group 2 973, #974, 975, group 3 #982, #983, #984, and group 4 #980 and #981.
3. Protect the trunks of trees #970, #976, and #977 as indicated in Appendix D2.
4. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
5. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
6. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all three protection measures labeled “T-1 Tree Protection Plan.”
7. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.



## Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.

Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. *Managing trees during construction*, Third edition. Champaign, IL: International Society of Arboriculture, 2023.

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ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA

Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Bedminster, PA: International Society of Arboriculture 1998.

Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017. Print



## Glossary of Terms

**calculated tree protection zone:** A TPZ calculated using the trunk diameter and a multiplication factor based on species tolerance to construction and tree age. It is often plotted on a plan as a circle or other arbitrary shape and can be used as a guide for establishing the specified TPZ.

**critical root zone:** a conceptual soil area containing the minimal amount of all the essential parts of the root zone needed to sustain tree health and structural integrity. There are no universally accepted methods to calculate the CRZ.

**basic Tree Cost:** The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

**cost Approach:** An indication of value by adding the land value to the depreciated value of improvements.

**defect:** An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

**diameter at breast height (DBH):** Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

**drip Line:** Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

**form:** Describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

**health:** Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease

**mechanical damage:** Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.



**scaffold branches:** Permanent or structural branches that form the scaffold architecture or structure of a tree.

**specified tree protection zone (specified TPZ):** a TPZ that is adjusted in size or shape to accommodate the existing infrastructure, planned construction, and aspects of the site, as well as the tree canopy conformation, visible root orientation, size, condition, maturity, and species response to construction.

**straw wattle:** also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

**structure:** Evaluation focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

**Tree Protection Zone (TPZ):** Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

**Tree Risk Assessment:** Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

**trunk:** Stem of a tree.

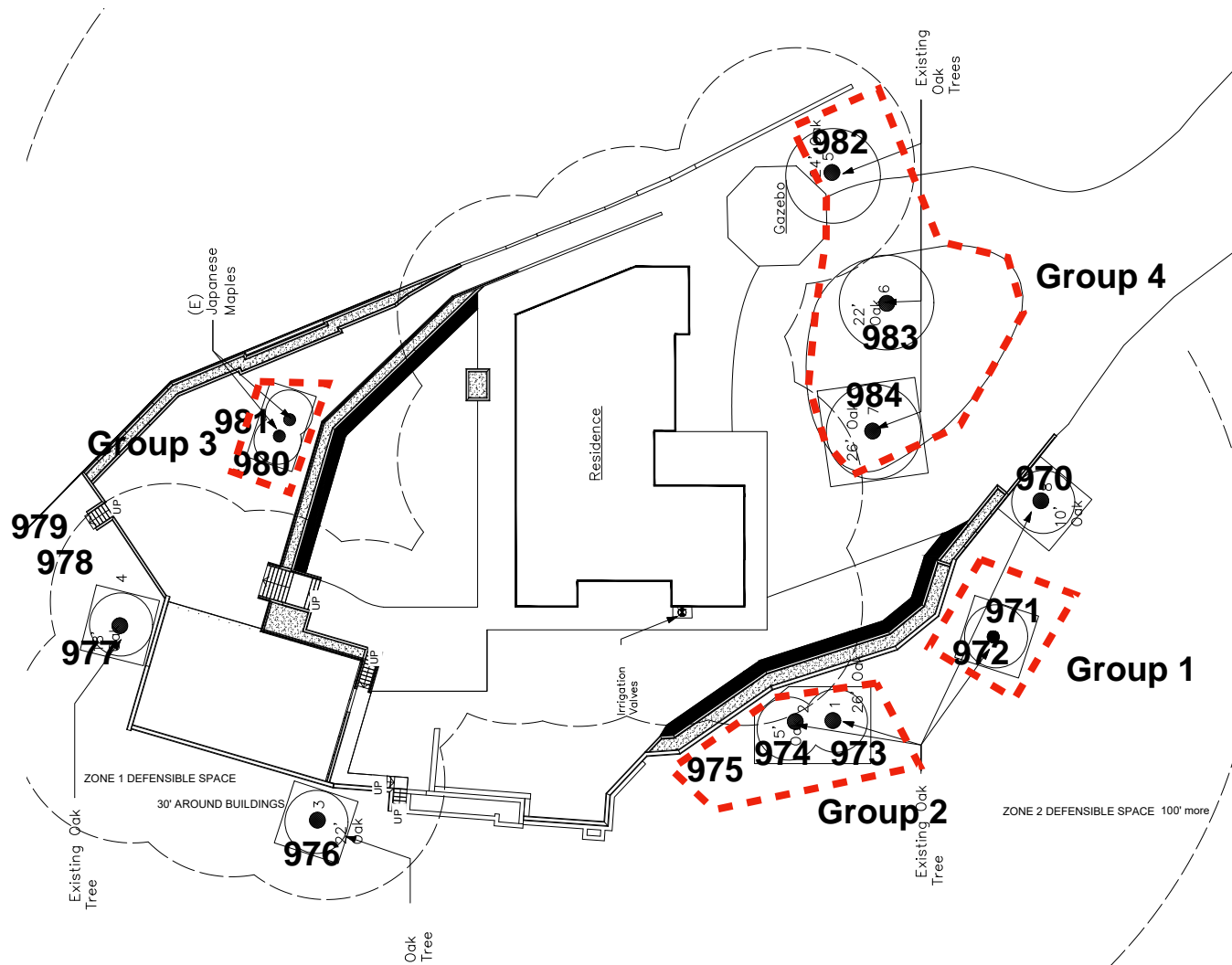
**Trunk Formula Technique:** Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

**volunteer:** A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



# Appendix A: Tree Inventory Map and Site Plan

## A1: Proposed Site Plan and Tree Locations



## Appendix B: Tree Inventory and Assessment Tables

Table 2: Inventory and Assessment Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated Protection Radii (ft.)
coast live oak ( <i>Quercus agrifolia</i> )	970	13, 11	15	Fair	Low	Large Protected	\$2,880.00	11
coast live oak ( <i>Quercus agrifolia</i> )	971	15	20	Good	Low	Protected	\$3,130.00	10
coast live oak ( <i>Quercus agrifolia</i> )	972	7	15	Good	Low	Protected	\$680.00	5
coast live oak ( <i>Quercus agrifolia</i> )	973	32	30	Good	Low	Large Protected	\$14,300.00	21
coast live oak ( <i>Quercus agrifolia</i> )	974	17	30	Good	Low	Protected	\$4,020.00	11
toyon ( <i>Heteromeles arbutifolia</i> )	975	4	15	Fair	Low	Protected	\$290.00	3
coast live oak ( <i>Quercus agrifolia</i> )	976	19	20	Fair	Low	Protected	\$3,590.00	13
coast live oak ( <i>Quercus agrifolia</i> )	977	17	20	Fair	Low	Protected	\$2,870.00	11
Japanese maple ( <i>Acer palmatum</i> )	978	5	10	Good	Low	Protected	\$590.00	3
coast live oak ( <i>Quercus agrifolia</i> )	979	18	15	Very poor	Low	Protected	\$970.00	12
Japanese maple ( <i>Acer palmatum</i> 'Bloodgood')	980	Multi 4	15	Good	Low	Protected	\$1,110.00	6
Japanese maple ( <i>Acer palmatum</i> )	981	Multi 4	15	Good	Low	Protected	\$1,890.00	6





Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated Protection Radii (ft.)
coast live oak ( <i>Quercus agrifolia</i> )	982	40	40	Fair	Low	Large Protected	\$15,900.00	27
coast live oak ( <i>Quercus agrifolia</i> )	983	36	40	Good	Low	Large Protected	\$18,000.00	24
coast live oak ( <i>Quercus agrifolia</i> )	984	40	40	Good	Low	Large Protected	\$22,300.00	27



## Appendix C: Photographs

### C1: Trees #970, #971, #972





**C2: Trees #973, #974, #975**





### C3: Trees #976 and #977





**C4: Trees #978 and #979**





**C5: Trees #980 and #981**



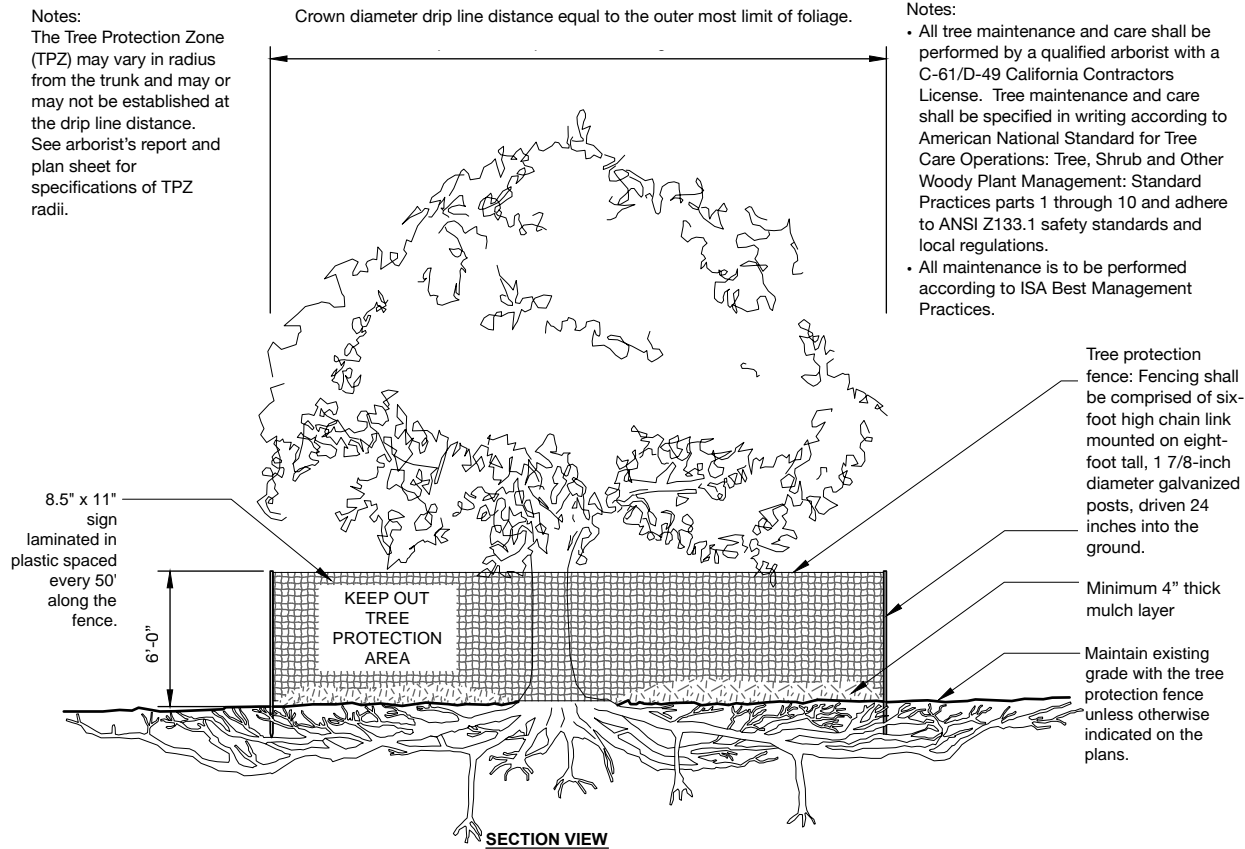


**C6: Trees #982, #983, and #984**



# Appendix D: Tree Protection Guidelines

## D1: Plan Sheet Detail S-X (Type I)

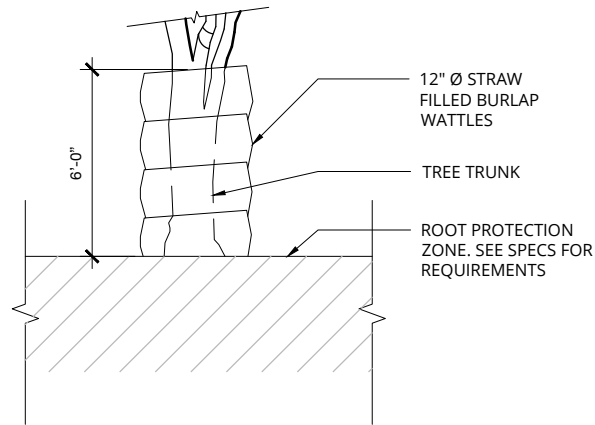


URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE  
Modified by Monarch Consulting  
Arborists LLC, 2019





### D2: Plan Sheet Detail S-Y (Type III)

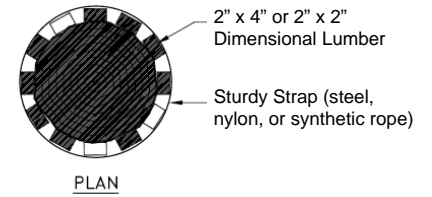


SECTION VIEW

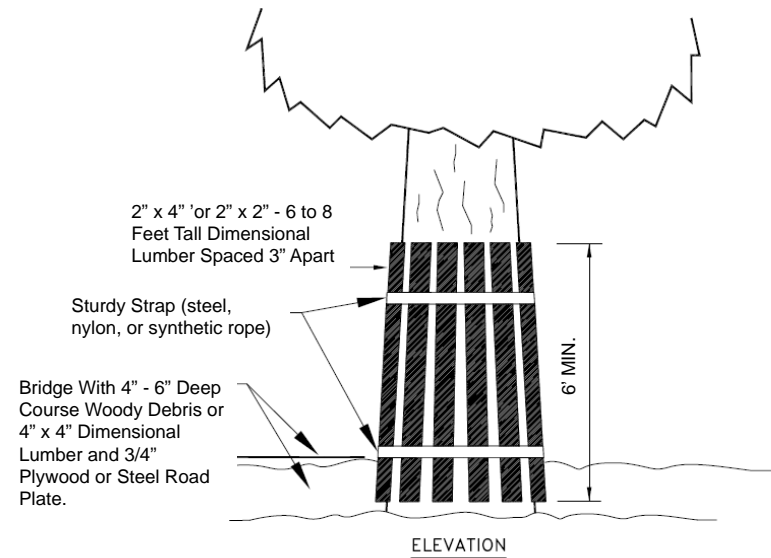
S-Y

TRUNK PROTECTION WITH WATTLE

Note: See Local Ordinance Requirements and Arborist's Report for Additional Protection Specifications and Guidelines.



PLAN



ELEVATION

### Trunk Protection Vertical Timber Detail



## D3: Section 29.10.1005. - Protection of Trees During Construction

### Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).



**All persons, shall comply with the following precautions**

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

**Prohibited Activities**

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.



## Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

## Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

## Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

## Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



**Appendix E: Tree Protection Signs**  
**E1: English**

# **Warning**

# **Tree Protection Zone**

**This Fence Shall Not Be Removed  
And Is Subject To Penalty According To  
Town Code 29.10.1025**



**E2: Spanish**

# **Cuidado Zona De Arbol Pretejido**

Esta valla no podrán ser sacados  
Y está sujeta a sanción en función de  
Código Ciudad del 29.101025



## Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



## Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B



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# Color Materials Exhibit

For

## 17020 Los Cerritos



Retaining Wall Vertical Surfaces  
Stacked Stone  
Kelly Moore #KM5792  
LRV 26



Retaining Wall Cap  
Sausalito Ridge  
Kelly Moore #KM5800  
LRV 13

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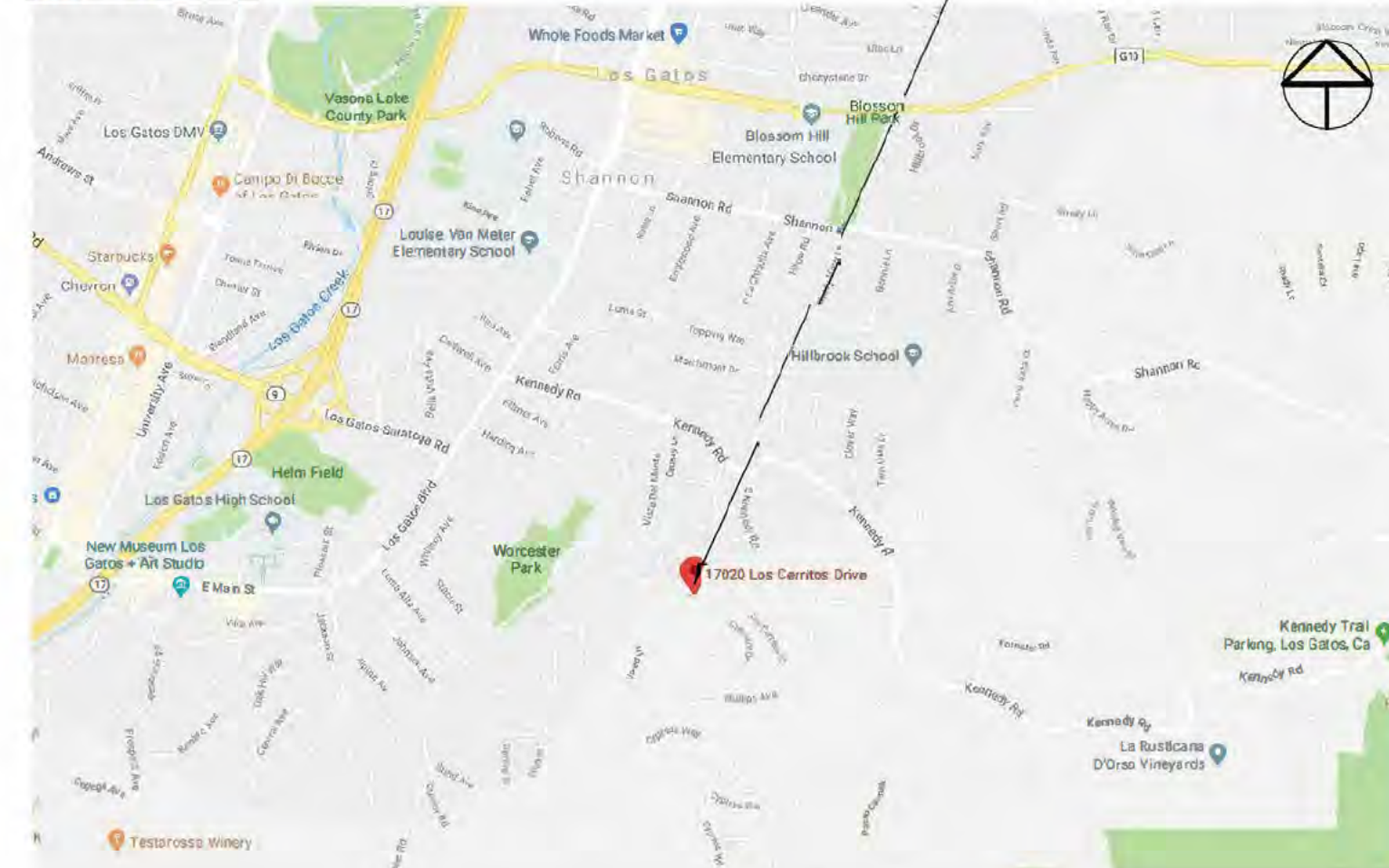


# Site Improvements To CAMPBELL RESIDENCE

17020 Los Cerritos Drive

Los Gatos, CA 95030

### LOCATION MAP



### AERIAL PHOTO



### PROJECT INFO.

Property Owner: [Redacted]  
 Project Address: 17020 Los Cerritos Drive, Los Gatos, CA  
 Scope of Work:
 

- Retrofit 96 ft (E) Concrete Retaining Wall at Driveway Area
- Retrofit 70 ft (E) CMU Retaining Walls at Rear Yard Area
- Build 123 ft (N) CMU Retaining Walls at Middle Yard

 Construction Type: V-B  
 Occupancy: R-3  
 Parcel No: 532 21 013  
 Zone: HR-1  
 Lot Area: 2.56 Acres

### CODE COMPLIANCE

CBC California Building Code 2016  
 CRC California Residential Code 2016  
 CEC California Electrical Code 2016  
 CPC California Plumbing Code 2016  
 CMC California Mechanical Code 2016  
 CFC California Fire Code 2016  
 CEC California Energy Code 2016  
 IBC International Building Code 2015

### DESIGN LOADS

Railing Loads: 200 lbs  
 Passive Soil Pressure: 200 pcf  
 Active Soil Pressure: 50 pcf  
 Soil Bearing Capacity: 1500 psf

### GENERAL

- These notes apply to all drawings.
- All work shall be in accordance with all Federal, State and Local Building Codes and Safety ordinances in effect at the place of building.
  - In the event certain features of the construction are not fully shown, their constructions shall be shown for similar features.
  - Any conflicts or discrepancies between the drawing and site conditions shall be immediately brought to the attention of the engineer and corrected as directed by the Engineer.
  - Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the Owner and the Engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the Owner or the Engineer.
  - Contractor acknowledges that he has thoroughly familiarized himself with the building site conditions, grades, etc., with the drawings and specifications, with the delivery facilities and all other matters and conditions which may affect the operations and completion of the work and assumes all risks therefrom.
  - The drawings schematically indicate existing and new construction. Due to the nature of the work, adjustments will likely be required in the field to meet the design objectives. Such adjustments are part of the contract and shall be included in the lump sum bid.
  - Contractor shall be responsible for all temporary shoring. Shoring shall be provided to support the existing structure until all work on the drawings is completed.
  - The Contractor shall be responsible for the coordination of all work including, but not limited to that shown on these drawings.

### DEMOLITION, SHORING AND UNDERPINNING WORK

- Before proceeding with demolition, survey and evaluate the area to ensure that the structure is not damaged beyond the demolition work. Remove demolition debris promptly from the building.
- Shore and brace floors, roofs, piers and walls during demolition and maintain until the new structural work is completed and tied to the existing building. Do not overload existing floors with construction debris.
- Remove and relocate utilities crossing excavations and new foundations. Adequately support utility lines adjacent to new foundations.
- Protect streets, sidewalks, and adjacent building foundations during excavation by sheet piling, bracing and shoring as required by field conditions.
- Remove existing foundations uncovered during excavation; do not remove them unless approved by the Architect.

### EXCAVATION

- Remove soft or organic materials under and adjacent to footings and slabs on grade.
- Slope sides or sheet, shore, or brace excavations to ensure stability.
- Drain excavations to remove water and place concrete in the dry.
- Elevations shown on the drawings are minimum required depths. Excavate deeper if need to reach soil with specified bearing strength or increase footing size at the direction of the Architect/Engineer.

### FOUNDATION

- The Engineer is not responsible for the adequacy of the founding soils. Maximum soil bearing pressure 1500 psf.
- The Geotechnical Engineer is: PRA Group
- The Contractor shall notify the Engineer at least 48 hours prior to placing concrete.
- Anchor bolts shall be a minimum of 5/8" x 10" at maximum 30" O.C. and within 9" of each end and a minimum of two bolts per piece of sill. Anchor bolts shall be grade A307 or A36 machine bolts or "J" bolts with 3" minimum hooks. Where shear walls are called out on plans they shall be spaced per requirement of shearwall schedule, typical U.N.O.
- The Geotechnical Engineer shall be retained to provide observation and testing services during the grading and retaining wall foundation phase of construction per soil report recommendations and inspection and testing reports shall be submitted to the Building Department.

### REINFORCED CONCRETE

- Concrete shall be mixed and delivered in accordance with ASTM C94 with a maximum slump of 4 inches.
- Concrete shall have a ultimate strength of 2,500 psi at 28 days. Use 6 sack concrete mix. Mix design shall be submitted to the Engineer for approval.
- Reinforcing steel shall be ASTM A615 Grade 60 except #3 bars may be Grade 40. Hold reinforcement in its position with devices sufficiently numerous to prevent displacement during placing concrete.
- The following minimum concrete cover shall be provided for reinforcing bars.
- Minimum cover (inches) 2"
- Cast in place concrete. 2"
- Cast against and permanently exposed to earth 3"
- Exposed to earth or weather 3"

### MASONRY

- Fc = 1,500 psi minimum
- Reinforced masonry block wall requires special inspection.

### WOOD

- Contractor shall notify Engineer at least 48 hours prior to covering up shear wall nailing.
- Horizontal framing lumber shall be Douglas Fir #1 or better, unless otherwise noted on plans.
- LVL, Fb=2800 psi, Fv=285 psi, E=2100x10 psi.
- "Big Beam" by Roshoro Co. Fb=3000 psi, Fv=300 psi, E=2.0E6 psi.
- All structural wood connectors (joist hangers, post caps, framing clips etc.) shall be manufactured by Simpson Strong Tie Company. Other brands may be used provided they have an equal or better ICC ESR approved load value.
- All exposed wood shall be D.F. pressure treated or Redwood.
- All notches, cut and holes on pressure treated wood shall be treated with copper green.
- All holes shall be filled with caulk or fiber tite before inserting bolts.

### METAL

- All bolts shall comply with ASTM A307 U.N.O All bolts bearing directly on wood shall have standard malleable iron or cut plate washers. Threads shall not bear on wood.
- Where bolts or other items are noted to be embedded in existing concrete, use Simpson SET-XP or HIT-RE 100, (or approved equal) where epoxy is specified.
- All structural and miscellaneous steel shall comply with ASTM A36. All work shall be in accordance with the AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings.
- All metals in contact w/ pressure treated wood shall be Hot Dipped Galvanized or protected by anti corrosion compound.
- All fasteners and bolts exposed to weather shall be hot dipped galvanized (HDG).
- All HSS (Hollow Structural Steel) shall be A46 or better. All exposed metal shall be HDG (Hot Dipped Galvanized) or powder coated w/ corrosion resistant paint.

### SPECIAL NOTES

- Wherever the construction documents require that materials and workmanship conform to specifically named codes or standards, in each instance materials and workmanship shall meet or exceed the requirements or the latest edition of the specifically named codes or standards.
- In procuring all items used in the work, it is the Contractor's responsibility to verify the detailed requirements of the specifically named codes and standards and to verify that the items procured for use in this work meet or exceed the specified requirements.
- When required by the technical specifications or by written request from the Engineer, the Contractor shall deliver to the Engineer proof that the materials, workmanship, or both, meet or exceed the requirements of the specifically named code or standard. such proof shall be in a form as requested by the Engineer, and may be in the form of a certificate of compliance signed by an authorized officer of the manufacturing company, or a certified report of tests conducted by a testing agency reviewed by the Engineer.
- The Engineer reserves the right to reject items incorporated in the work that fail to meet specified minimum requirements. The Engineer further reserves the right, and without prejudice to any other recourse the engineer may take, to review non complying items subject to an adjustment in the compensation payable under contract and determined in accordance with the provisions of the contract documents.

• ABR ENGINEERS' LIABILITY IS LIMITED TO THE REPAIR OF DAMAGED AREAS PERTAINING TO STRUCTURAL FRAMING AND NOT RESPONSIBLE FOR "AS-BUILT" CONDITION AND WATERPROOFING.  
 • GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHOD AND TECHNIQUE ON CONSTRUCTION.  
 • THIS PLAN SHALL NOT BE USED AT OTHER LOCATION EXCEPT AT THE ADDRESS STATED ABOVE.

### Drawing List

General	
Cover Sheet	G0.0
Conditions of Approval	G1.0
Conditions of Approval	G1.1
Work Area Plan	G4.0
Proposed Fire Turnaround	G5.0

Civil	
Grading & Drainage Cover Sheet	C1
Grading & Drainage Plan	C2
Wall Cross Sections, Driveway Profile	C3
Water Pollution Control Plan	C4
Construction Management Plan	C5
Topographic Map (Current Condition)	C6
Blueprint for a Clean Bay	C7

Landscape	
Landscape Layout	L-1
Planting Plan	L-2
Irrigation Plan	L-3
Existing Irrigation Main Lines	L 4
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Structural	
Buttress System @ Driveway Area	S1.0
Buttress System @ Rear Yard Area	S2.0
CMU Planter Walls @ Middle Yard	S3.0
Reinforcement Details	S4.0

TOWN OF LOS GATOS  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 Planning Division  
 (408) 354 6874 Fax (408) 354-7593  
 CIVIC CENTER  
 110 E. MAIN STREET  
 LOS GATOS, CA 95030

April 25, 2019  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030  
 RE: 17020 Los Cerritos Drive  
 Architecture and Site Application 5-16-065  
 Requesting approval for site improvements requiring a grading permit on property zoned HR 1. APNs 532 21 012 and 013.  
 PROPERTY OWNER: [Redacted]  
 APPLICANT: Glenn Katz  
 PROJECT PLANNER: Erin Walters

At its meeting of April 24, 2019, the Town of Los Gatos Planning Commission approved the meeting minutes from April 10, 2019.

The draft conditions attached to the letter dated April 11, 2019, are now considered final.

If you have any questions, I can be contacted by phone at (408) 354 6867 or by email at ewalters@osgatosca.gov.

Sincerely,  
  
 Erin Walters  
 Associate Planner  
 EW:dr  
 Cc: Glenn Katz, Bearington Studios, 4340 Almaden Expressway, Suite 220, San Jose, CA 95118  
 Michael F. Goodhue, MFG Engineers, Inc., P.O. Box 1914, Aptos, CA 95001

INCORPORATED AUGUST 10, 1887



Waterproofing/Flashing  
 Designed by Others

Project No. Campbell Residence Site Improvements 28 Mar 2022

Campbell Residence Site Improvements  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030

Cover Sheet

Date: 28 Mar 2022  
 Project No: Project No.  
 Drawn By: Author  
 Design By: Designer  
 Checked By: Checker  
 Scale: As indicated  
 Sheet  
**G0.0**

EXHIBIT 9



PLANNING COMMISSION – April 10, 2019  
CONDITIONS OF APPROVAL

17020 Los Cerritos Drive  
Architecture and Site Application S-16-065

Requesting approval for site improvements requiring a grading permit on property zoned IR-1. APN 532-21-012 and -013  
PROPERTY OWNER: [REDACTED]  
APPLICANT: Glenn Katz

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

- APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
- EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
- TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
- EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
- TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
- TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
- FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
- ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report dated as received November 23, 2016, prepared by Deborah Ellis, for the project on file in the Community Development Department. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable.
- LANDSCAPE PLAN: Prior to issuance of a building permit a landscape plan shall be provided and be in compliance with the Hillside Development Standards and Guidelines.
- WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

- RESTORATION OF PUBLIC IMPROVEMENTS: The Applicant shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Applicant's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Applicant shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Town prior to plan review at the Engineering Division of the Parks and Public Works Department.
- INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any permits.
- PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project studies imposed by Planning Commission or Town Council shall be funded by the Applicant.
- GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report.
- GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after the rainy season, as defined by

- TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
- COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.
- MITIGATION ALTERNATIVES: The developer shall revise the project plans to reflect the Driveway Area Mitigation Alternative 1 (Sheet M-2) and Rear Yard Area Proposed Mitigation (Sheet M-3), dated March 18, 2019 and received on March 21, 2019, and incorporate the revisions in the Building permit plans to the satisfaction of the Community Development Director.

Building Division

- PERMITS REQUIRED: A Building Permit is required for all retaining walls that support a surcharge.
- APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2017, are the 2015 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.
- CONDITIONS OF APPROVAL: The Conditions of Approval must be blue-lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- SIZE OF PLANS: Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
- SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
- FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - Building pad elevation
  - Finish floor elevation
  - Foundation corner locations
  - Retaining wall(s) locations and elevations

- COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.
- DRAINAGE IMPROVEMENT: Prior to the issuance of any grading or building permits, whichever comes first, the Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit.
- SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
  - Retaining wall: top of wall elevations and locations.
  - Toe and top of cut and fill slopes.
- PRECONSTRUCTION MEETING: Prior to the commencement of any site work, the general contractor shall:
  - Along with the project applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
- DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
  - Private Ingress/Egress Easement (PIEE): A private ingress/egress easement across the northern parcel, APN 532-21-12 (Parcel "A", Book 208 of Maps, Page 47) in favor of the southern parcel, APN 532-21-013 (Parcel "B").
- SOILS REPORT: One copy of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
- GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of retaining

- SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
- BLUE PRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blue Print for a fee or online at www.losgatosca.gov/building.
- APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - Community Development – Planning Division: (408) 354-7593
  - Engineering/Parks & Public Works Department: (408) 399-5771
  - Santa Clara County Fire Department: (408) 378-4010
  - West Valley Sanitation District: (408) 378-2407
  - Santa Clara County Environmental Health Department: (408) 918-3479
  - Local School District: The Town will forward the paperwork to the appropriate school

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

- GENERAL: All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Applicant's expense.
- APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
- PUBLIC WORKS INSPECTIONS: The Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
- SOILS REVIEW: Prior to Town approval of a development application, the Owner or Applicant's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner or Applicant, and subsequent approval by the Town. The Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Applicant's soils engineer shall then be conveyed to the Town either by letter or by signing the plans.
- SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Applicant's soils engineer and submitted to the Town before final release of any certificate of occupancy is granted.
- SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Applicant's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Applicant.
- CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
- CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of a grading or building permit.
- HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Applicant shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off of the project site. This may include, but is not limited to provisions for the Applicant/Owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant

No.	Date	Description



4340 Arminah Exwy  
Suite 220  
San Jose, CA 95118  
Tel: 408-266-7627  
Fax: 408-266-7631  
www.theengineers.com

Conditions of Approval

Campbell Residence Site Improvements  
17020 Los Cerritos Drive  
Los Gatos, CA 95030

Date:	28 Mar 2022
Project No:	Project No.
Drawn By:	Author
Design By:	Designer
Checked By:	Checker
Scale:	

Sheet  
G1.0



- projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- 52. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
- 53. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 54. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Applicant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse location(s). Please refer to the Town's Construction Management Plan Guidelines document for additional information.
- 55. WVSD (West Valley Sanitation District): A Sanitary Sewer Clean-out is required for each property at the property line, or at a location specified by the Town.
- 56. BEST MANAGEMENT PRACTICES (BMPs): The Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- 57. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
  - a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use permeable pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
- 58. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control

- measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
- 59. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- 60. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 61. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.1 of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- 62. SITE DRAINAGE - EARTH BERM: Prior to the issuance of a grading or building permit, an earth berm to divert the conveyance of drainage away from the property immediately to the west (APN 532-34-043) shall be proposed to the satisfaction of the Town Engineer.
- 63. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on

- a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
  - 64. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Applicant's expense.
  - 65. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:
- 66. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
  - 67. FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. Maximum grade in any direction shall be a maximum of 5%. Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503 Driving surface shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34050 kg). The turnaround is identified on the sheet G-10 meets SCCDF standard D-1.
  - 68. EMERGENCY GATE/ACCESS GATE REQUIREMENTS: Gate installations shall conform with Fire Department Standard Details and Specification G-1 and, when open shall not obstruct any portion of the required width of 12 feet for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed; if they are operated manually, then an approved Knox padlock shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 30 feet from the road being exited. CFC Sec. 503.6 and 506.
  - 69. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

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W. JEFFREY HEID/LANDSCAPE ARCHITECT  
 6179 Oneida Drive, San Jose, Ca. 95123  
 408 691-5207 wjheid@comcast.net

March 26, 2022

Town of Los Gatos  
 110 E. Main Street  
 Los Gatos, CA. 95031

Attn: Erin Walters  
 Re: 17020 Los Cerritos Drive/Campbell Residence  
 Landscape/WELO Documentation Package Review

Dear Erin,

I have reviewed the modified landscape plans for this project, prepared by PVMLA, Landscape Architecture, with no revision date provided. Based on my original plan check dated 11/17/21 and these revised plans, I find the application to be complete.

- Prior to final occupancy, a Certificate of Completion shall be submitted to the Town of Los Gatos including:
- a. An irrigation audit report, prepared by a third party, provided to the town after the landscape installation is complete.
  - b. A reduced and waterproofed copy of the irrigation plan shall be located within each controller box.
  - c. All Certificate of Completion forms shall be filled out and signed and submitted as part of the audit.

Questions may be addressed to my office at 408 691-5207 or wjheid@comcast.net.

Regards,

W. Jeffrey Heid  
 Landscape Architect  
 Certified Landscape Irrigation Auditor

4340 Arminah Exwy  
 Suite 220  
 San Jose, CA 95118  
 Tel: 408-266-7827  
 Fax: 408-266-7831  
 www.berengineers.com

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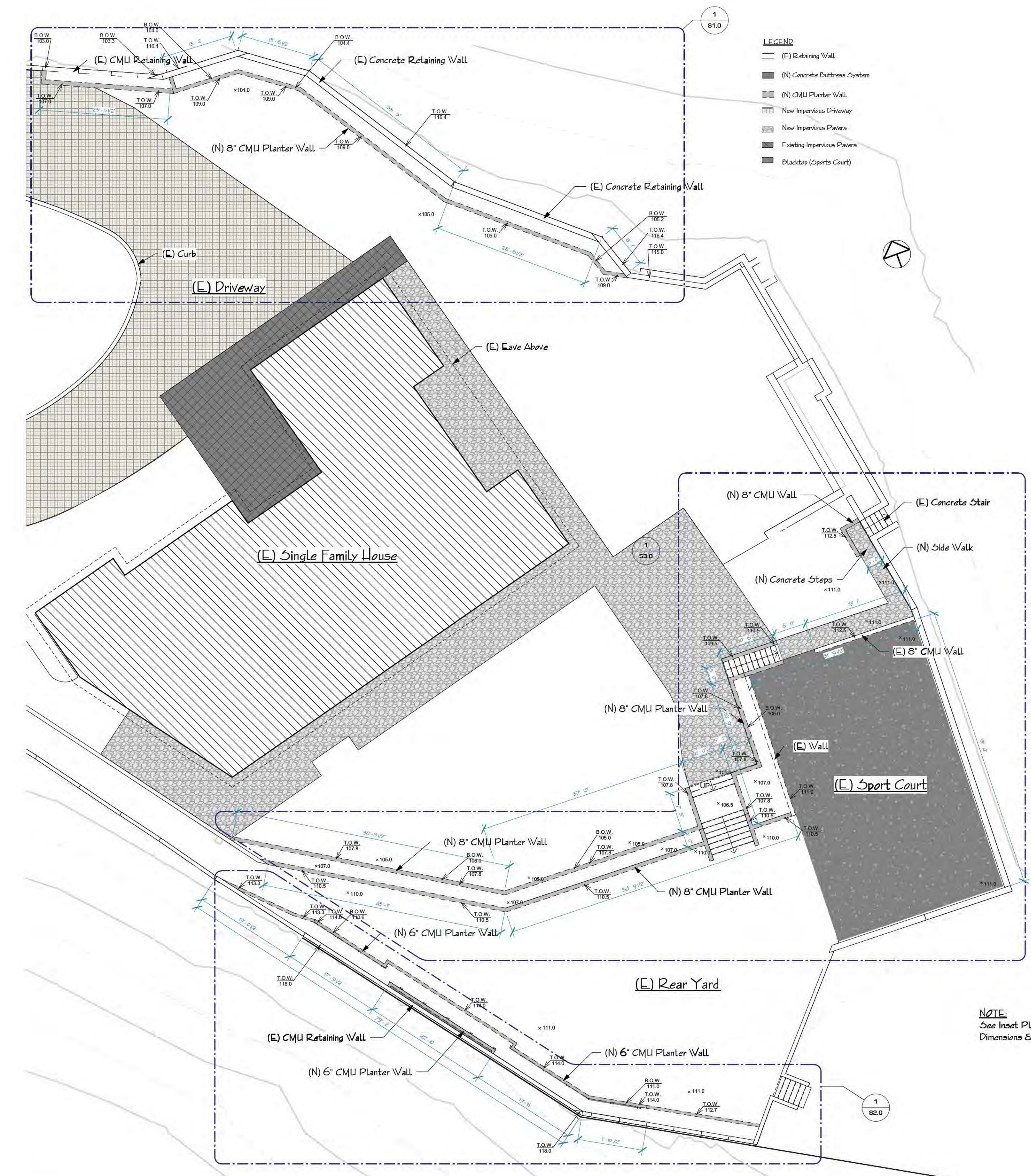
Conditions of Approval

Campbell Residence Site Improvements  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030

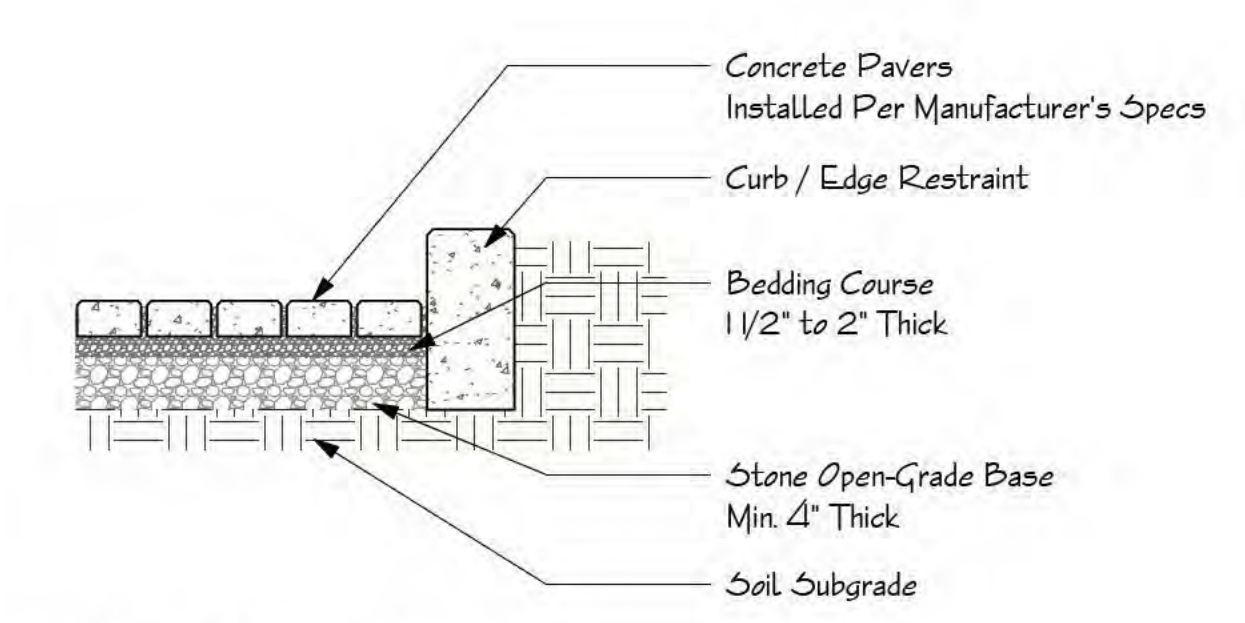
Date: 28 Mar 2022  
 Project No: Project No.  
 Drawn By: Author  
 Design By: Designer  
 Checked By: Checker  
 Scale:

Sheet  
**G1.1**





**Retaining Wall Finish Material Notes**  
 Retaining Walls will be finished with stucco and painted to match the main house.  
 - Wall Vertical Surfaces  
 Kelly-Moore "Stacked Stone" (KM5792)  
 LRV = 26  
 - Wall Caps  
 Kelly-Moore "Sausalito Ridge" (KM5800)  
 LRV = 13



2 Typ. Pavers Section  
 1" = 1'-0"

Pervious and Impervious Area Calculations			
	Type	Impervious Area (square feet)	Pervious Area (square feet)
Existing	Driveway	14,606	
	House	3,724	
	Gazebo	520	
	Sport Court	1,675	
	Paving	591	
	Landscaping to Remain		
Improvements (Created and/or Replaced)	Turf/Ornamental		0
	Low Water Native Plants Drip Irrigation		2,480
	Low Water Native Plants Unirrigated		1,320
	Decomposed Granite		15,083
	Driveway	4,408	0
	Paving	4,533	0
<b>Total</b>		<b>30,057</b>	<b>81,324</b>
<b>Total Lot Area</b>		<b>111,381</b>	

VELD Required:  
 • Total irrigated square footage is 2,480 SF, so VELD is required.  
 • See Sheets L-1 through L-5 for design provisions to meet VELD compliance requirements.

NOTE:  
 See Inset Plans on S10 - S30 for Dimensions & Wall Elevations

1 Wall Mitigation Plan - Work Area Plan  
 1" = 10'-0"

• ABR ENGINEERS' LIABILITY IS LIMITED TO THE REPAIR OF DAMAGED AREAS PERTAINING TO STRUCTURAL FRAMING AND NOT RESPONSIBLE FOR "AS-BUILT" CONDITION AND WATERPROOFING.  
 • GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHOD AND TECHNIQUE ON CONSTRUCTION.  
 • THIS PLAN SHALL NOT BE USED AT OTHER LOCATION EXCEPT AT THE ADDRESS STATED ABOVE.



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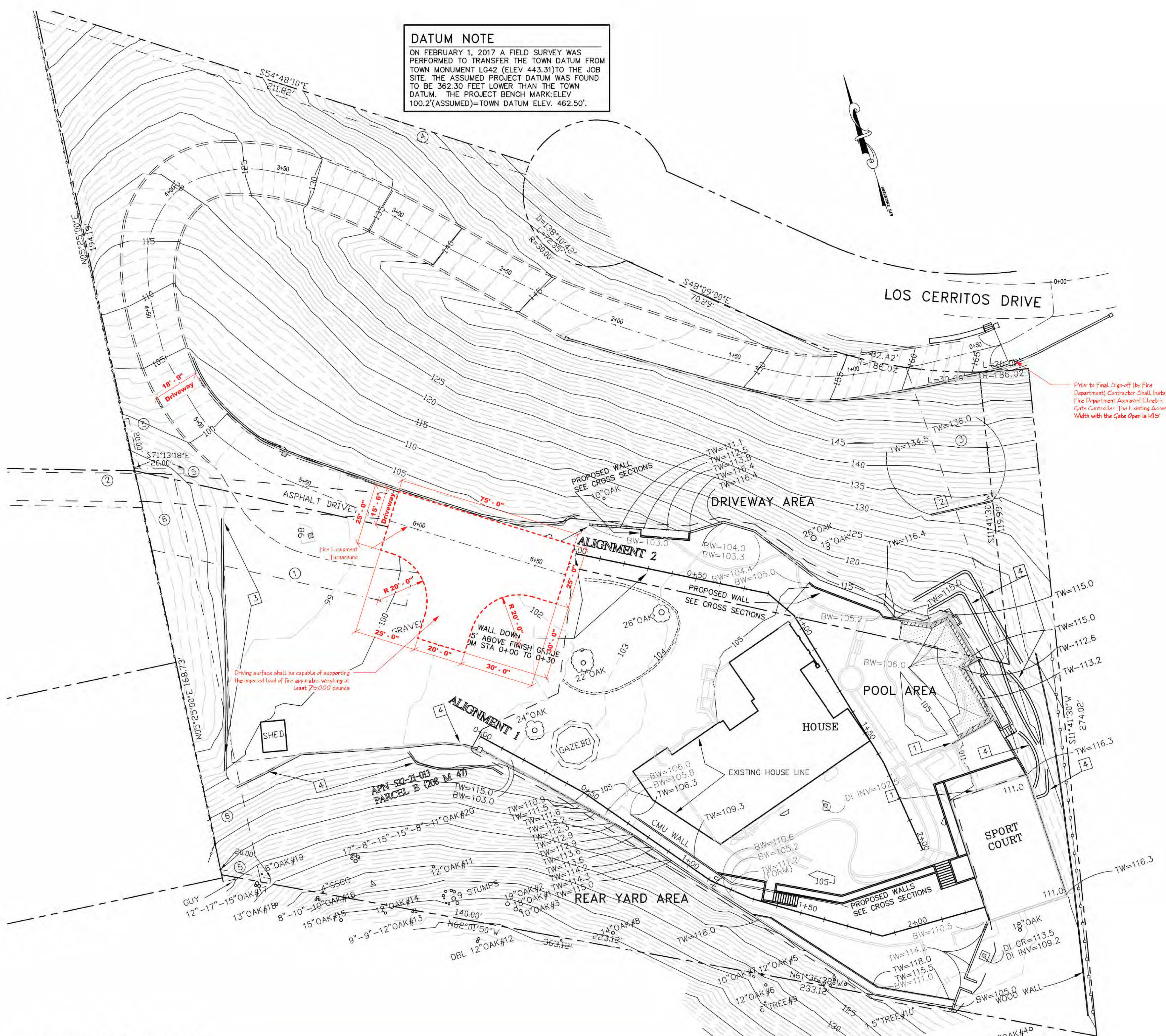
No. 3  
 Date 3/19/21  
 Description PC Revisions 3

Work Area Plan

Campbell Residence Site Improvements  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030

Date: 28 Mar 2022  
 Project No: Project No.  
 Drawn By: Author  
 Design By: Designer  
 Checked By: Checker  
 Scale: As indicated





**DATUM NOTE**  
 ON FEBRUARY 1, 2017 A FIELD SURVEY WAS PERFORMED TO TRANSFER THE TOWN DATUM FROM TOWN MONUMENT LG42 (ELEV 443.31) TO THE JOB SITE. THE ASSUMED PROJECT DATUM WAS FOUND TO BE 362.30 FEET LOWER THAN THE TOWN DATUM. THE PROJECT BENCH MARK: ELEV 100.2'(ASSUMED)=TOWN DATUM ELEV. 462.50'.

Prior to Final Sign-off (by Fire Department) Contractor Shall Install a Fire Department Approved Electric Gate Controller. The Existing Access Width with the Gate Open is 14.5'

Driving surface shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds

**1 Proposed Fire Turnaround**  
 1" = 20'-0"

• ABR ENGINEERS' LIABILITY IS LIMITED TO THE REPAIR OF DAMAGED AREAS PERTAINING TO STRUCTURAL FRAMING AND NOT RESPONSIBLE FOR "AS-BUILT" CONDITION AND WATERPROOFING.  
 • GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHOD AND TECHNIQUE ON CONSTRUCTION.  
 • THIS PLAN SHALL NOT BE USED AT OTHER LOCATION EXCEPT AT THE ADDRESS STATED ABOVE.



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Description: PC Revisions 3  
 Date: 3/17/21  
 No: 3

**Proposed Fire Turnaround**

**Campbell Residence Site Improvements**  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030

Date: 28 Mar 2022  
 Project No: Project No.  
 Drawn By: Author  
 Design By: Designer  
 Checked By: Checker  
 Scale: 1" = 20'-0"  
 Sheet: **G5.0**



# RETAINING WALL PLANS

## CONSISTING OF

### GRADING & DRAINAGE PLAN FOR RETAINING WALLS, TOPOGRAPHIC MAP

#### FOR

#### 17020 LOS CERRITOS DRIVE

#### LOS GATOS, CALIFORNIA

APN: 532-21-013      LOT SIZE: 2.56 ACRES  
 ZONING: HR-1, HILLSIDE RESIDENTIAL      AVERAGE SLOPE: 17.7%

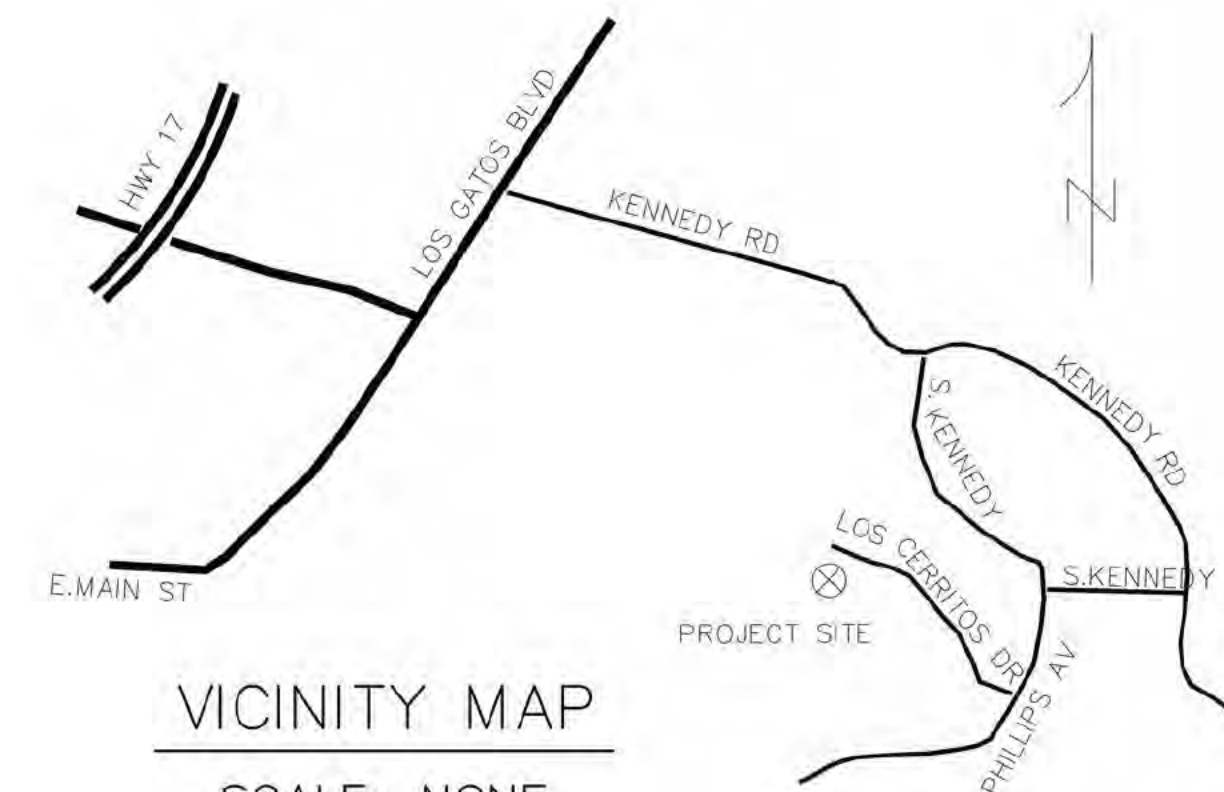
#### TOWN OF LOS GATOS STANDARD GRADING NOTES

1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.  
 NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408)399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHALL INCLUDE:  
 a.) A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;  
 b.) ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY RO EITHER PUBLIC PROPERTY OR PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
6. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULAED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
7. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
8. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIR BORN PARTICULATES.
9. THE CONTRACTOR SHALL WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:  
 a.) RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).  
 b.) TOE AND TOP OF FILL SLOPES.
12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THE DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.  
 SOILS ENGINEERS: PRA GROUP  
 REFERENCE REPORT NO.: GC-121/G384-01  
 DATED MARCH 5, 2018, SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ONSITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO PRIOR TO WORK BEING PERFORMED).
14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.

15. ALL PRIVATE AN PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS, AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
17. OWNER/APPLICANT: [REDACTED]
18. GENERAL CONTRACTOR: SCOTT CRAWFORD      PHONE: (408) 316-4896
19. GRADING CONTRACTOR: SCOTT CRAWFORD      PHONE: (408) 316-4896
20. a.) CUT: 252\* CY      EXPORT: 166 CY \*CUT AT PVER SUB GRADE,\*\*FILL BEHIND NEW WALLS  
 b.) FILL: 86\*\* CY      IMPORT: 0 CY
21. WATER SHALL BE AVAILABLE ON SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO APPROVAL OF ALL PLANS.
23. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENT AGENCIES.
24. NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOE AD APPROVED BY THE TOWN ENGINEER.
25. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OF PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENCE.
27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLAN (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMETN BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AN ADQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

#### SCOPE OF WORK

- \* CUT 252 CY FOR PERMEABLE PAVERS(DRIVEWAY AREAS)& YARD PAVERS
- \* 299 LINEAL FEET OF NEW RETAINING WALL AT REAR YARD AREA (ALIGNMENT 1)
- \* 118 LINEAL FEET OF NEW RETAINING WALL AT DRIVEWAY AREA (ALIGNMENT 2)
- \* THESE ARE MITIGATIONS INTENDED TO BRING EXPOSED HEIGHT OF EXISING RETAININ WALLS WITHIN HILLSIDE DESIGN GUIDELINES



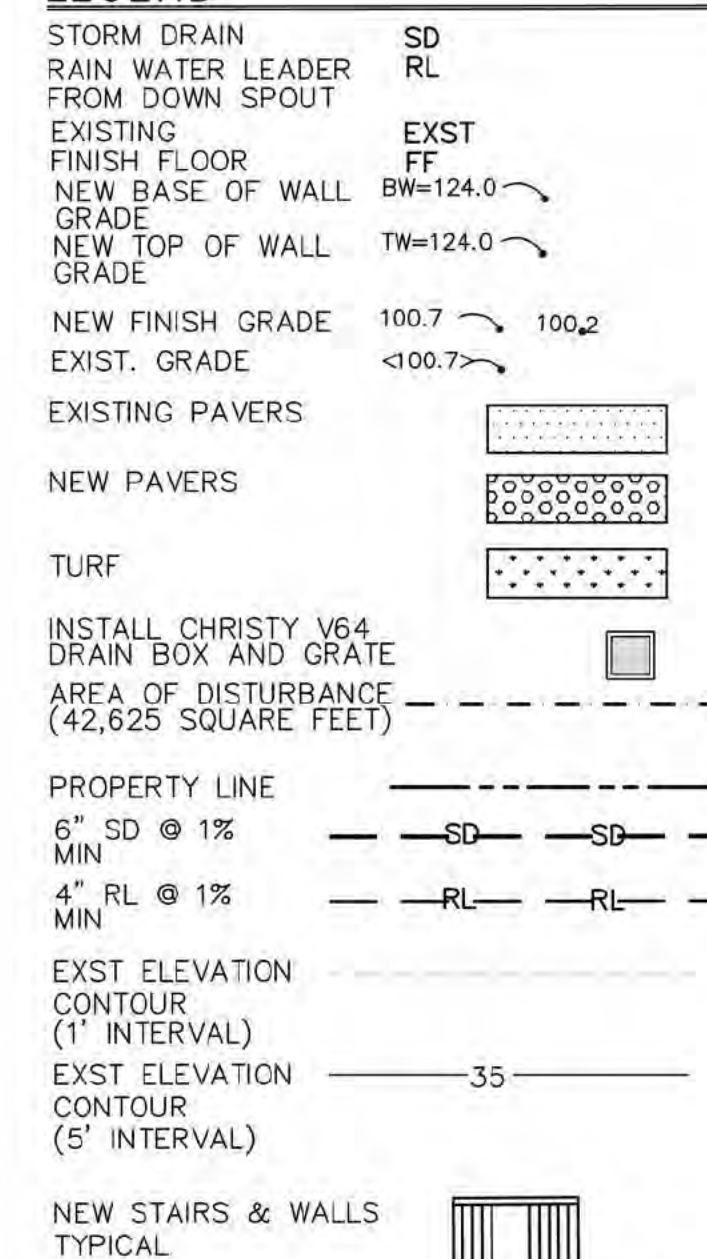
VICINITY MAP

SCALE: NONE

#### SHEET INDEX

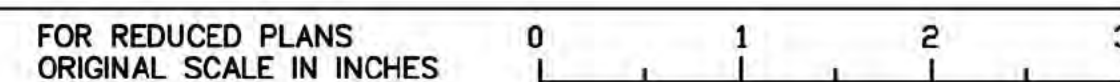
SHEET	DESCRIPTION
C1	COVER SHEET
C2	GRADING & DRAINAGE PLAN
C3	RETAINING WALL CROSS SECTIONS
C4	WATER POLLUTION CONTROL PLAN
C5	CONSTRUCTION MANAGEMENT PLAN
C6	TOPOGRAPHIC MAP
C7	BLUE PRINT FOR A CLEAN BAY

#### LEGEND



#### DATUM NOTE

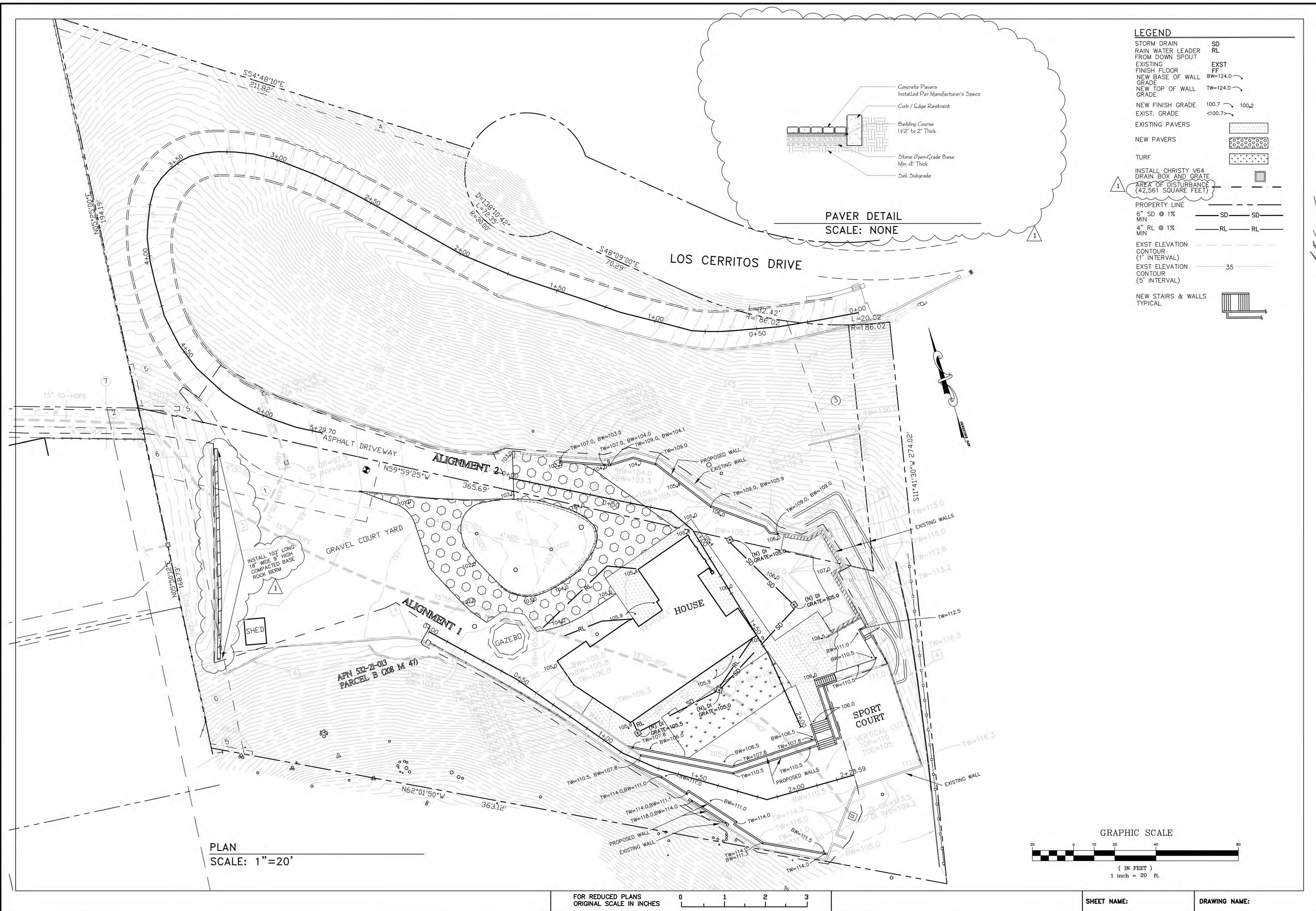
ON FEBRUARY 1, 2017 A FIELD SURVEY WAS PERFORMED TO TRANSFER THE TOWN DATUM FROM TOWN MONUMENT LG42 (ELEV 443.31, LOCATED AT THE INTERSECTION OF VISTA DEL MONTE & VISTA DEL MAR) TO THE JOB SITE. THE ASSUMED PROJECT DATUM WAS FOUND TO BE 382.30 FEET LOWER THAN THE TOWN DATUM. THE PROJECT BENCH MARK; ELEV 100.2'(ASSUMED)=TOWN DATUM ELEV. 462.50'



SHEET NAME:      DRAWING NAME:

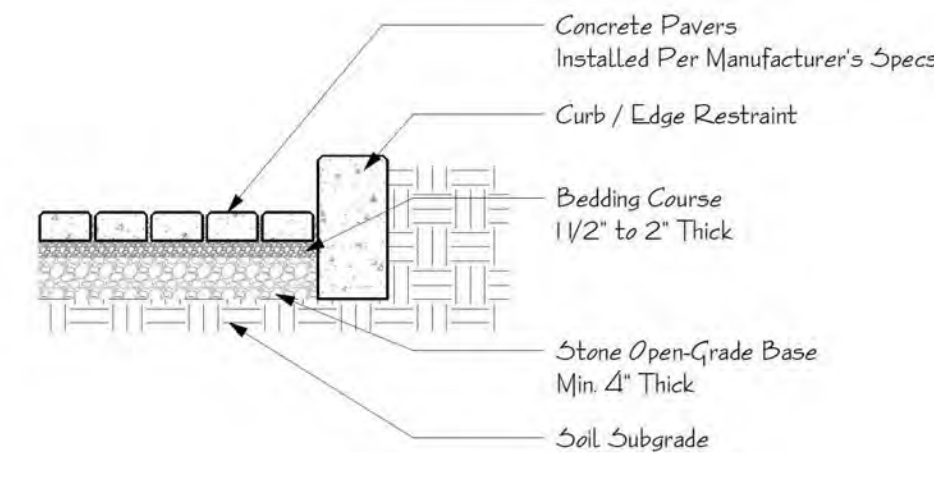
BY	MFG	REVISION	1	RESPOND TO PLAN CHECK COMMENTS FOR A CLEAN BAY SHEET (LAST SHEET)	DATE	6/7/21
PROJECT ENGINEER	MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519					
COVER SHEET	APN 532-21-013 17020 LOS CERRITOS DR, LOS GATOS, CA GRADING PERMIT APPLICATION No. GR 20-001					
DRAWN:	MFG					
CHECKED:	MFG					
DATE:	6/2019					
SCALE:	NONE					
JOB NO.						
SHEET	C1 OF 7					



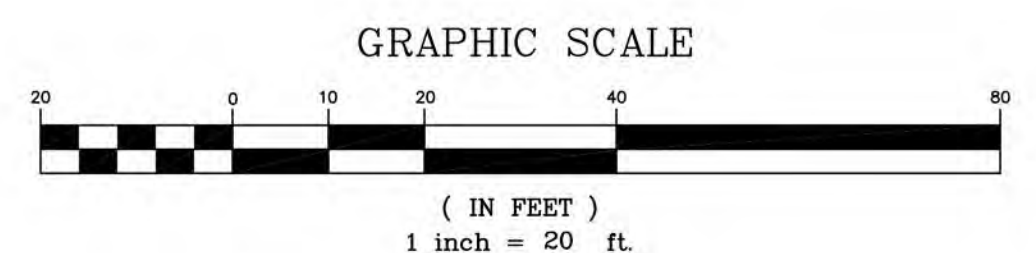


**LEGEND**

STORM DRAIN	SD
RAIN WATER LEADER FROM DOWN SPOUT	RL
EXISTING FINISH FLOOR	EXST
NEW BASE OF WALL GRADE	BW=124.0
NEW TOP OF WALL GRADE	TW=124.0
NEW FINISH GRADE	100.7
EXIST. GRADE	<100.7>
EXISTING PAVERS	[Pattern]
NEW PAVERS	[Pattern]
TURF	[Pattern]
INSTALL CHRISTY V64 DRAIN BOX AND GRATE (42,561 SQUARE FEET)	[Symbol]
PROPERTY LINE	
6" SD @ 1% MIN	SD SD
4" RL @ 1% MIN	RL RL
EXIST ELEVATION CONTOUR (1' INTERVAL)	
EXIST ELEVATION CONTOUR (5' INTERVAL)	35
NEW STAIRS & WALLS TYPICAL	[Symbol]



PLAN  
SCALE: 1"=20'



FOR REDUCED PLANS ORIGINAL SCALE IN INCHES 0 1 2 3

SHEET NAME: DRAWING NAME:

DATE	REVISION	BY
6/7/21	1. REVISION TO PLAN CHECK COMMENTS	MFG
6/7/21	2. ADDRESS DEPT. OF PUBLIC WORKS COMMENTS	MFG
6/7/21	3. PER APN MAP, ADDITIONAL LING	MFG
6/7/21	4. COMPACTED BASE ROCK BERM	MFG
6/7/21	5. REVISED AREA OF DISTURBANCE VALUE	MFG
6/7/21	6. ADDED PAVER STRUCTURAL SECTION	MFG

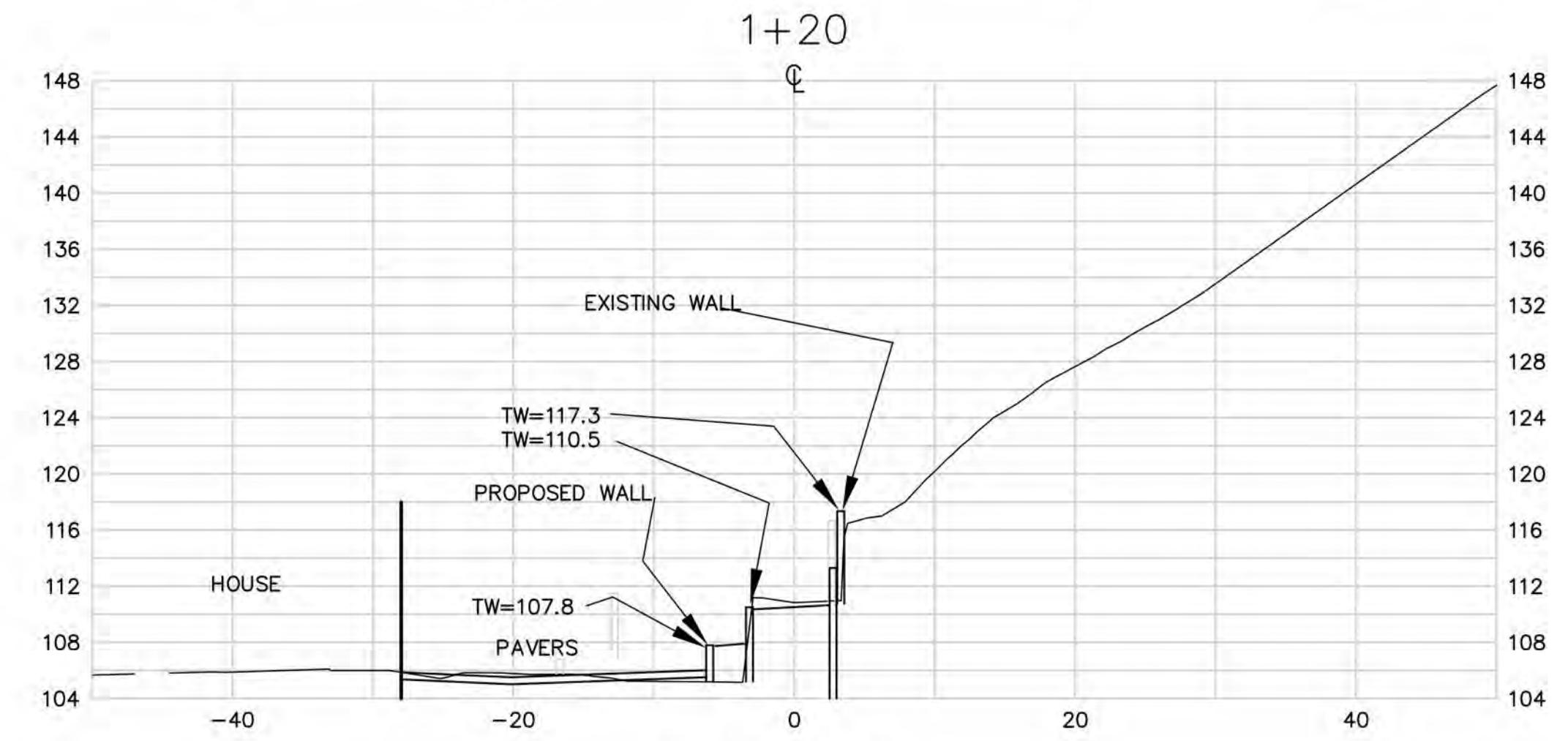
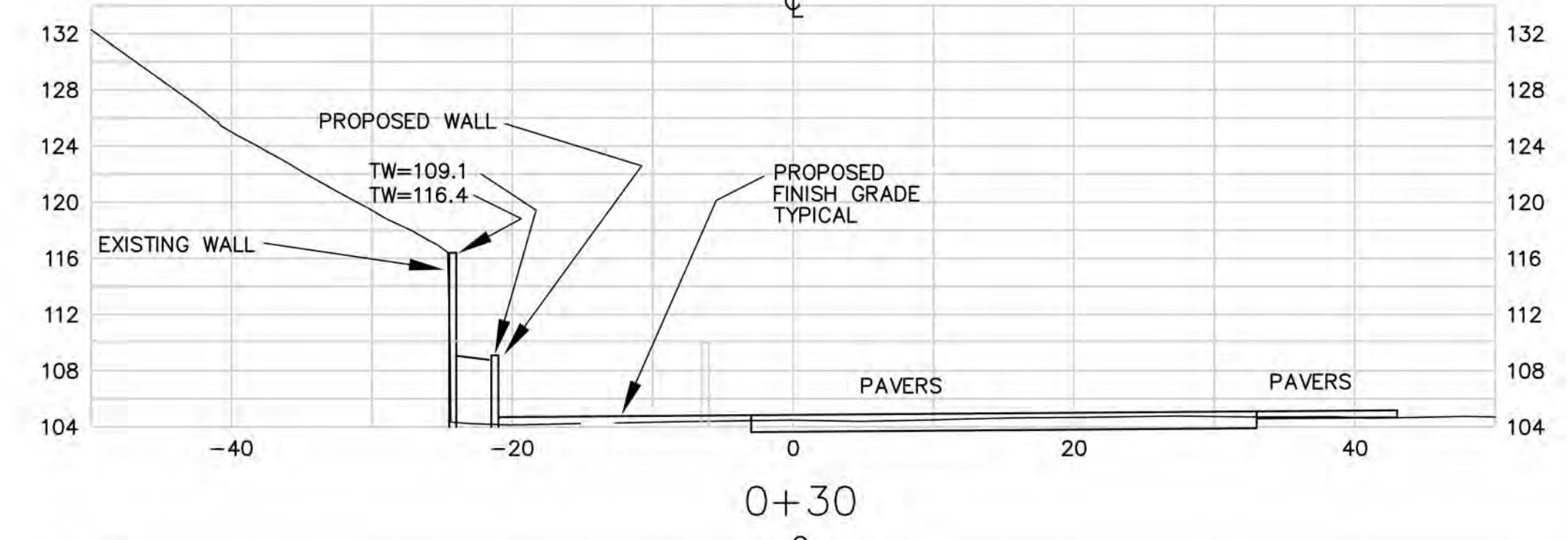
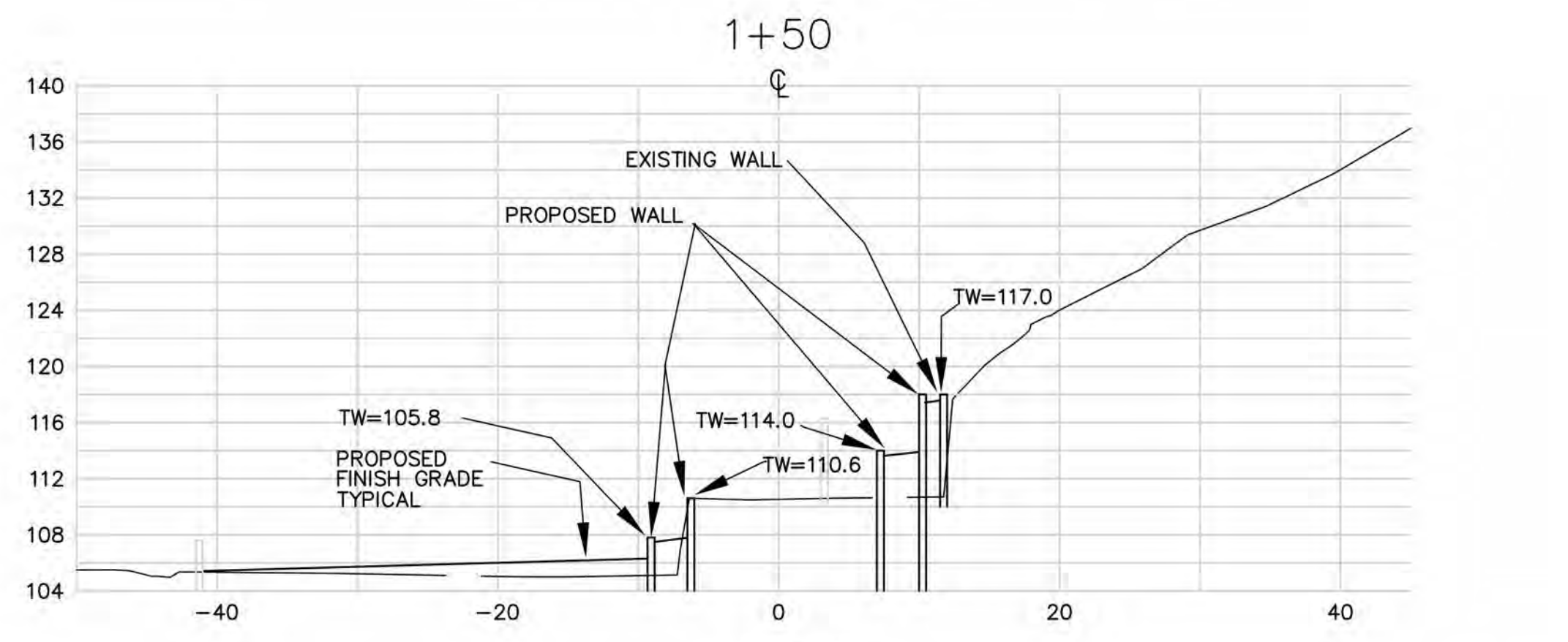
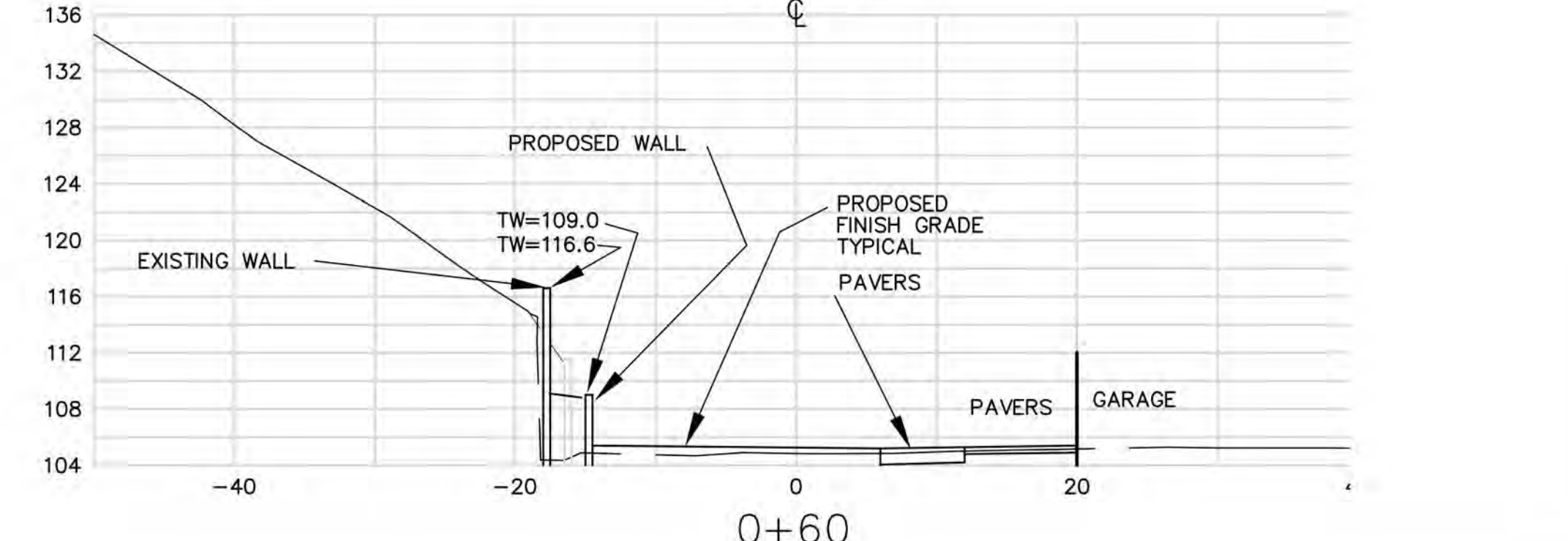
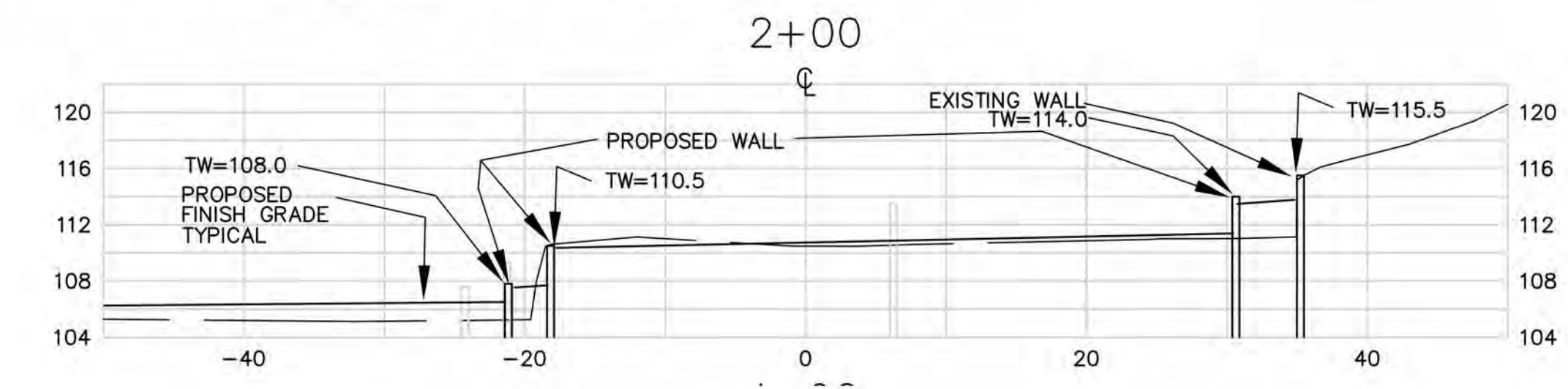
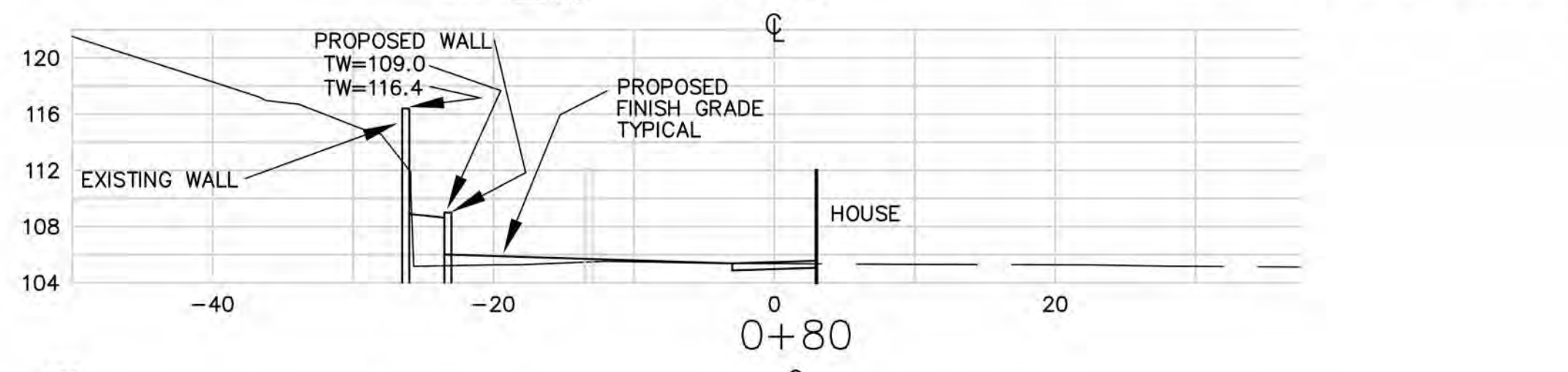
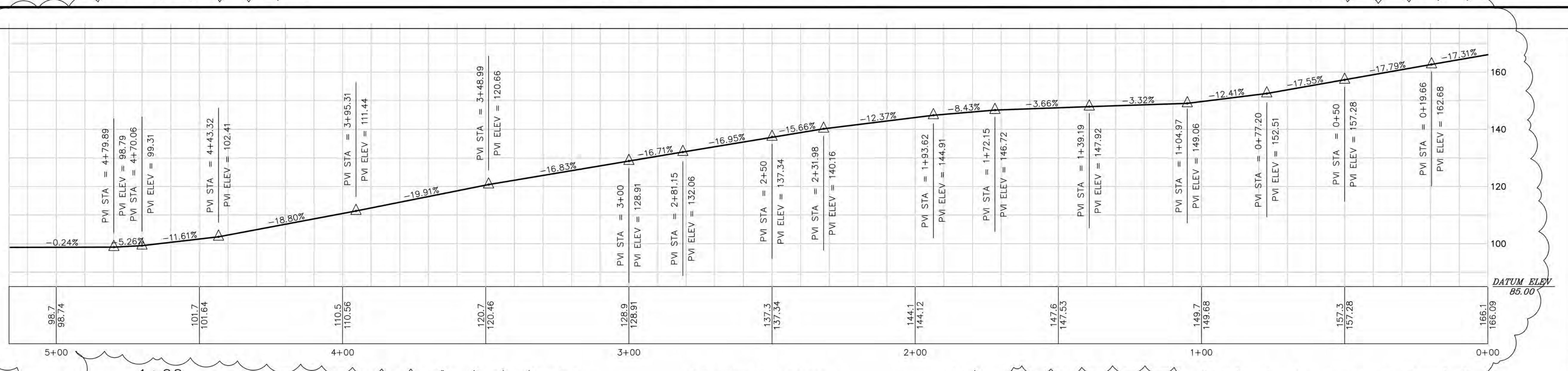
  

<p><b>PROJECT ENGINEER</b> MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 CEL (831) 763-1661 CEL (831) 601-9519</p>	<p>APN 532-21-012 GRADING &amp; DRAINAGE PLAN 17020 LOS CERRITOS DRIVE, LOS GATOS, CA</p>
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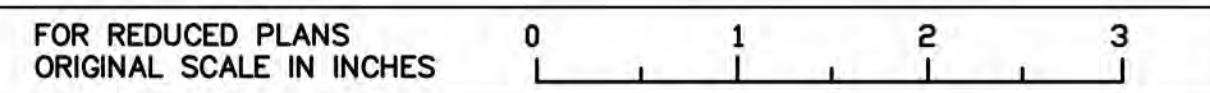
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**ALIGNMENT 2**  
CROSS SECTIONS  
SCALE: 1"=10' H&V

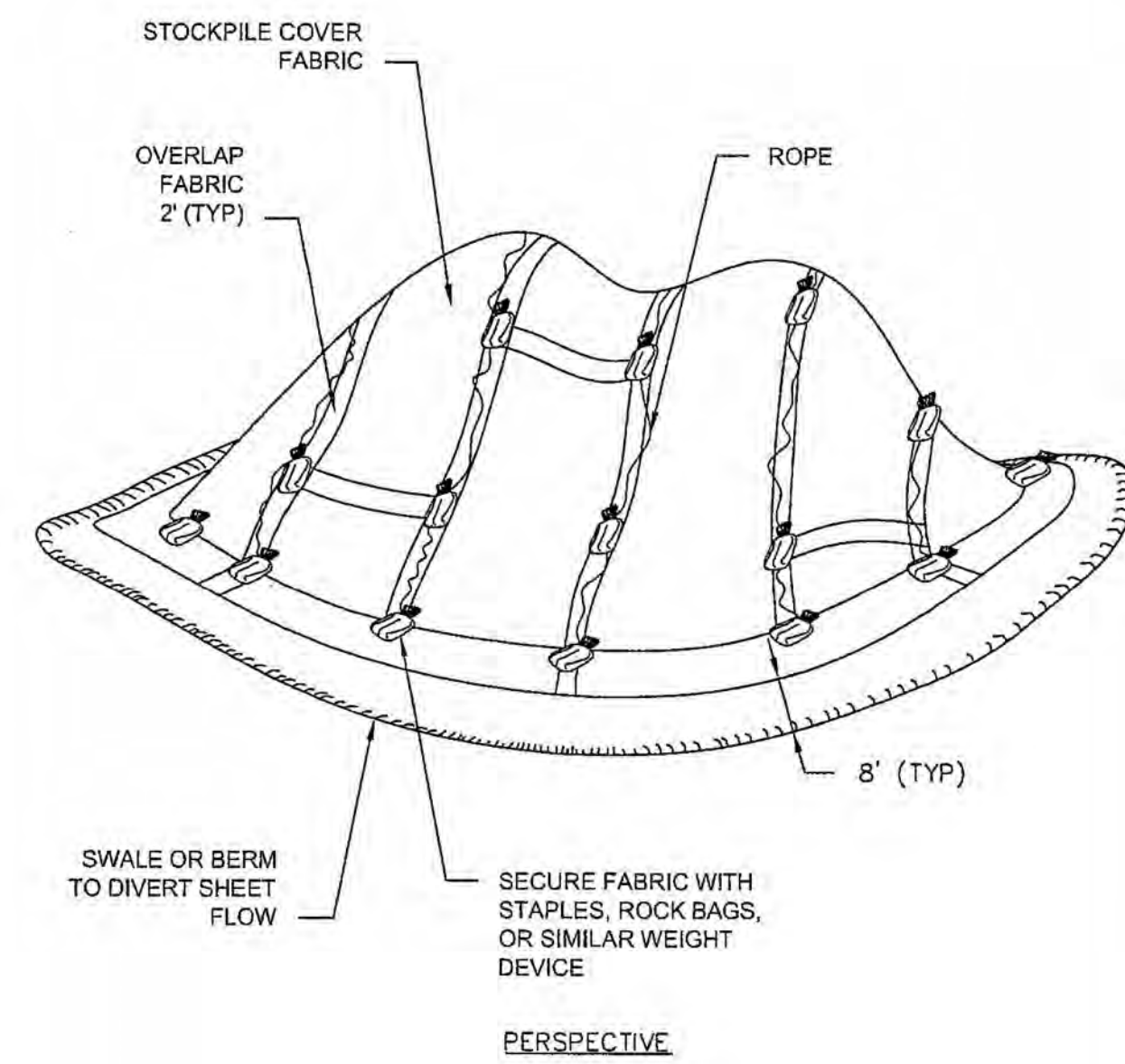
**ALIGNMENT 1**  
CROSS SECTIONS  
SCALE: 1"=10' H&V



SHEET NAME: DRAWING NAME:

BY	MFG
REVISION	1 RESPOND TO PLAN CHECK COMMENTS 1 ADDED DRIVEWAY PROFILE
DATE	6/7/21
LAND SURVEYOR	MICHAEL F. GOODHUE, P.E., L.S. No. 4774 Exp. 12/31/24
ENGINEER	MICHAEL F. GOODHUE, P.E., L.S. No. 4774 Exp. 12/31/24
PROJECT ENGINEER	MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
APN 532-21-012	
WALL CROSS SECTIONS, DRIVEWAY PROFILE 17020 LOS CERRITOS DRIVE, LOS GATOS, CA	
DRAWN:	MFG
CHECKED:	MFG
DATE:	6/2019
SCALE:	NOTED
JOB NO.	
SHEET	C3 OF 5





PERSPECTIVE  
TEMPORARY STORM DRAIN INLET SILT PROTECTION FOR ALL DRAIN BOXES DURING CONSTRUCTION  
NO SCALE

APPROVED BY	DATE	 TEMPORARY STOCKPILE COVER STD. PLAN NO. ST-257
TOWN ENGINEER	NOVEMBER 2010	

T:\GIS\PPW\TLG\_GENERAL\Standard Details\ST-257.dwg

### INTERIM EROSION CONTROL MEASURES

(USE AS APPLICABLE TO YOUR PROJECT.)


- NOTES:
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INSURE THAT NO MUD OR SILTATION LEAVES THE PROJECT SITE.
  - INTERIM EROSION CONTROL MEASURES MUST BE COMPLETED AND IN PLACE BY OCTOBER 1.
  - ALL INTERIM EROSION CONTROL MEASURES MUST BE CONTINUOUSLY MAINTAINED THROUGHOUT THE OCTOBER 1 TO APRIL 15 RAINY SEASON.
  - CALL THE INSPECTION LINE AT (408) 399-5790 BY SEPTEMBER 15 FOR INSPECTION OF EROSION CONTROL DEVICES. CALL 24 HOURS IN ADVANCE. INCLUDE GRADING PERMIT NUMBER.
  - IF EROSION CONTROL MEASURES ARE NOT IN PLACE AS REQUIRED OR NOT MAINTAINED, ALL WORK SHALL CEASE UNTIL EROSION CONTROL MEASURES ARE REMEDIED.

- MEASURES:
- INSTALL SILT FENCE. PROVIDE DETAIL, SHOW LOCATION ON PLANS AND ADD NOTES AS NEEDED.
  - SEED EXPOSED AREAS PER TOWN SPECIFICATIONS. SEE BELOW.
  - INSTALL DRAINAGE MEASURES INCLUDING CATCH BASINS, ENERGY DISSIPATORS, ETC. PROVIDE DETAIL, SHOW LOCATIONS ON PLANS, AND ADD NOTES AS NEEDED.
  - INSTALL CHECK DAMS, SEDIMENT TRAPS AND BASINS, TEMPORARY SWALES.
  - INSTALL JUTE NETTING OVER SEEDED AND MULCHED SLOPES.
  - COVER BARE SLOPES WITH STRAW BLANKETS.

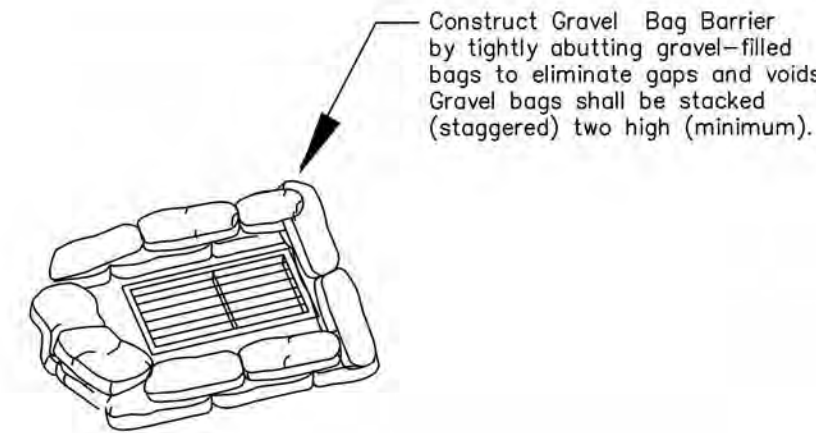
- SEEDING SPECIFICATIONS:
- SEED AND MULCH WILL BE APPLIED BY OCT 1 TO ALL DISTURBED SLOPES AND TO ALL CUTS AND FILL SLOPES WITHIN OR ADJACENT TO PUBLIC RIGHTS-OF-WAY AS DIRECTED BY TOWN ENGINEER.
  - SEED AND FERTILIZER WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW. ON SLOPES, STRAW WILL BE APPLIED BY BLOWER OR BY HAND AND ANCHORED IN PLACE BY PUNCHING OR WITH JUTE NETTING.

ITEM	POUNDS/ACRE
*"Blando" brome	30
Annual rye grass	20
Fertilizer (16-20-0 & 15% sulfur)	500
Straw	4,000

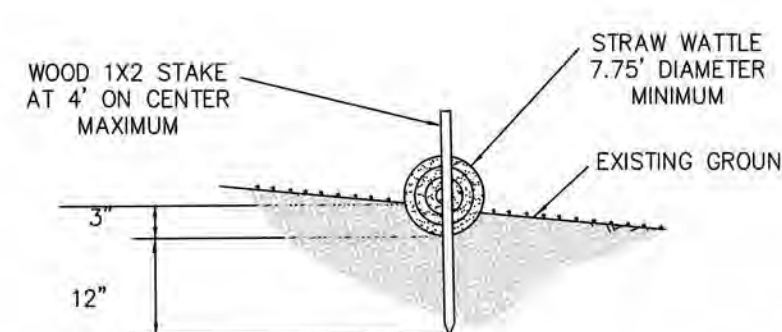
- SEEDED AREAS WILL BE REPAIRED, RESEDED AND MULCHED, IF DAMAGED.

APPROVED BY	DATE	 INTERIM EROSION CONTROL NOTES STD. PLAN NO. ST-255
TOWN ENGINEER	NOVEMBER 2010	

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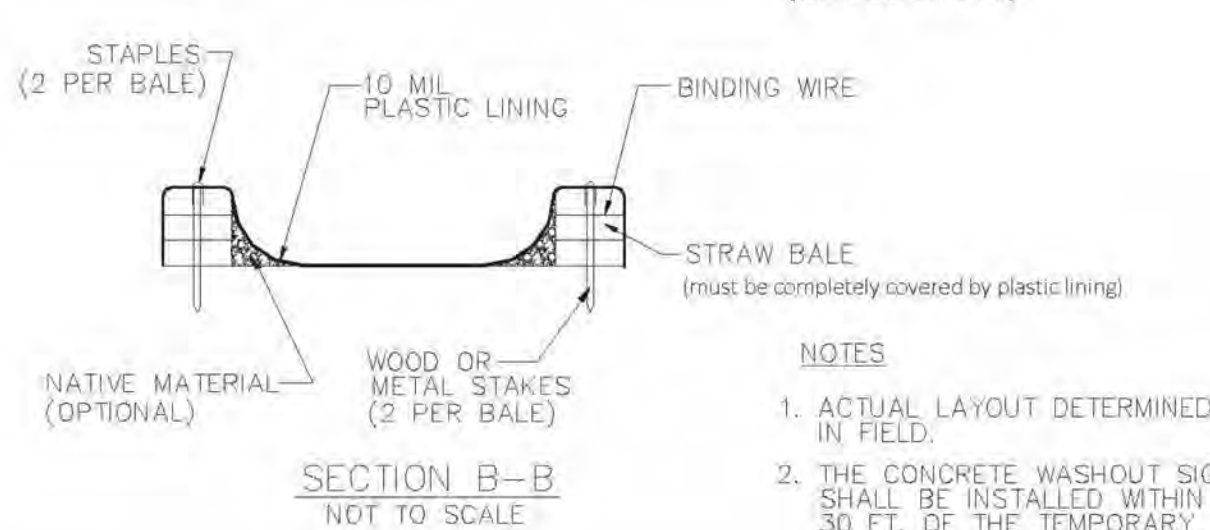
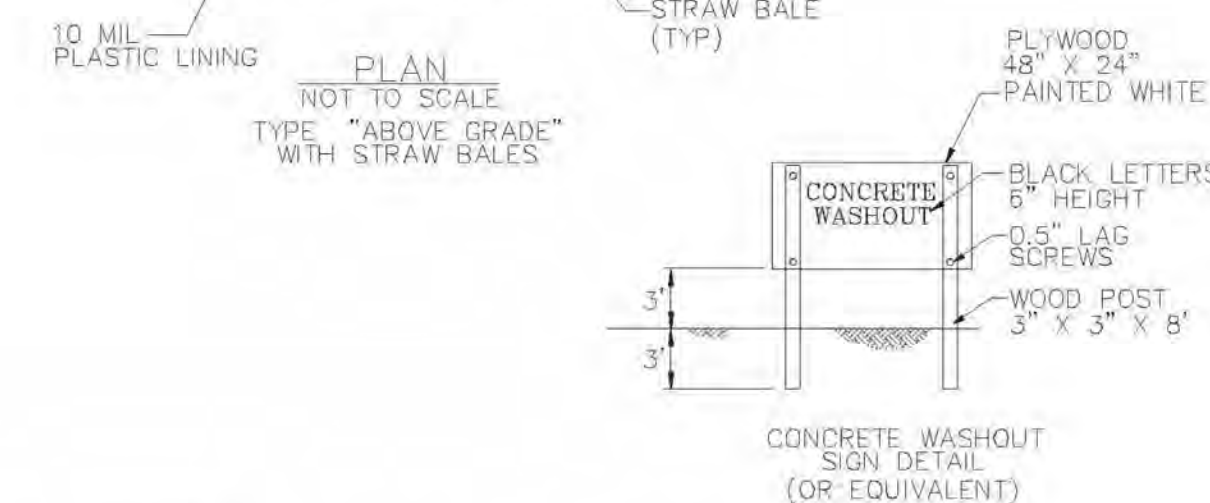
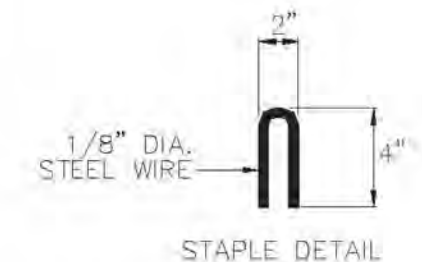
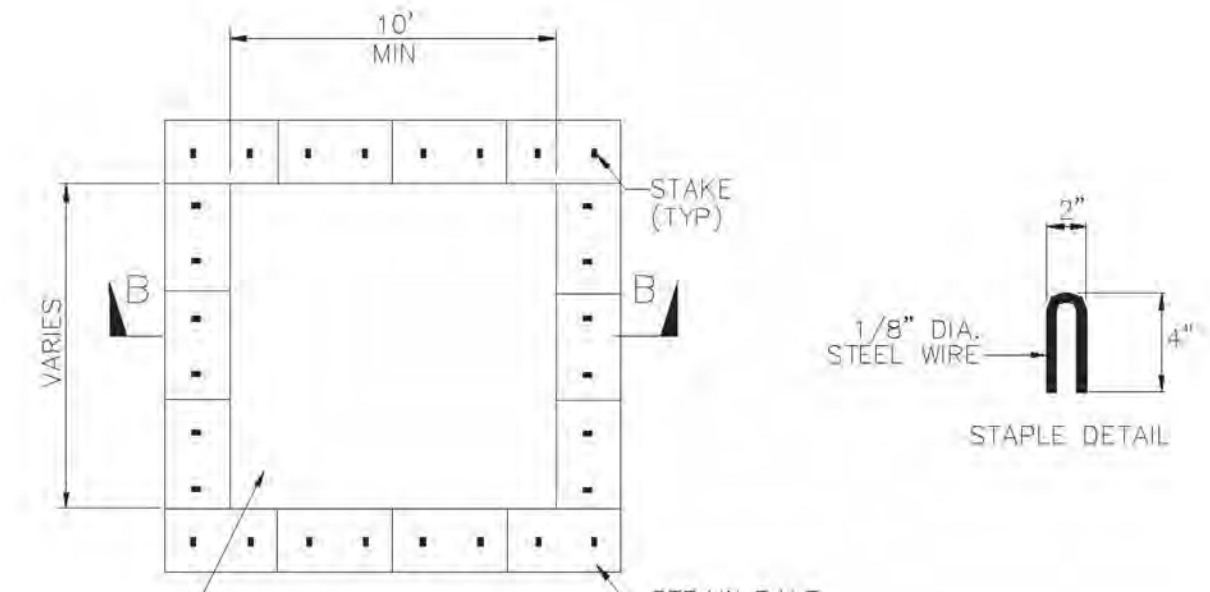


PERSPECTIVE



SECTION  
STRAW WATTLE DETAIL  
NO SCALE

### Concrete Waste Management WM-8



- NOTES:
- ACTUAL LAYOUT DETERMINED IN FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

### EROSION CONTROL REQUIREMENTS

THE FOLLOWING EROSION CONTROL AND HOUSE KEEPING MEASURES ARE INTENDED TO CONTROL THE RELEASE OF SILT, DUST, GARBAGE AND ANY OTHER POLLUTANTS FROM THE SITE OR INTO THE ATMOSPHERE AND SOIL DURING CONSTRUCTION. THESE MEASURES ARE INTENDED TO COMPLY WITH FEDERAL, STATE AND LOCAL REQUIREMENTS THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMP'S) LISTED BELOW.

- COVER OF BARE SOIL:** ONE OF THE FOLLOWING MEASURES SHALL BE USED TO COVER BARE SOIL DURING THE WINTER SEASON (OCTOBER 15TH TO APRIL 15TH):

**SEED AND STRAW MULCH**

SEED AND STRAW MULCH SHALL BE USED IN DISTURBED AREAS AS A MEANS FOR TEMPORARY EROSION CONTROL UNTIL PERMANENT STABILIZATION IS ESTABLISHED. IT MAY BE USED ON SLOPES UP TO 3:1 H:V (33%).

SEED AND STRAW MULCH SHALL CONSIST OF SPREADING SEED (A MINIMUM OF 5 LBS/1000 SQ FT) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALES/1000 SQ FT) AND INCORPORATING IT INTO THE SOIL WITH A STUDDED ROLLER OR ANCHORING IT WITH A TACKIFIER STABILIZING EMULSION.

SEED SHALL BE ANNUAL WINTER BARLEY AND THE STRAW SHALL BE DERIVED FROM RICE BARYL OR WHEAT.

**EROSION CONTROL BLANKETS (GEOTEXTILE OR EROSION MATS)**

EROSION CONTROL BLANKETS ARE REQUIRED ON SLOPES STEEPER THAN 3:1, HOWEVER THEY MAY BE USED ON GROUND SURFACES FLATTER THAN 3:1 IN LIEU OF SEED AND STRAW MULCH. SEEDING MUST BE PLACED ON THE DISTURBED GROUND PRIOR TO PLACEMENT OF THE EROSION CONTROL BLANKET AND DESCRIBED IN THE SEED AND STRAW MULCH SECTION ABOVE.

- SEDIMENT CONTROL:**

**FIBER ROLLS (WATTLES)** SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLLS SHALL BE PLACED AT THE BACK OF SIDEWALK OR CURB TO LIMIT SEDIMENT FROM ENTERING THE STREET.

**STORM DRAIN INLET PROTECTION:** ALL STORM DRAIN INLETS ON THE SITE (NEW AND EXISTING) AND EXISTING DOWNSTREAM OFFSITE INLETS SHALL RECEIVE STORM DRAIN INLET PROTECTION AS SHOWN ON THE STORM DRAIN INLET PROTECT DETAIL ON THIS PLAN.

- STABILIZED CONSTRUCTION EXIT:** SEE SHEET C5 FOR A STABILIZED CONSTRUCTION EXIT DETAIL. CONTRACTOR SHALL EFFECTIVELY LIMIT OFF SITE TRACKING BY SWEEPING THE STREET DAILY IF NECESSARY AND BY OTHER MEANS AS DEvised BY THE CONTRACTOR OR DIRECTED BY THE COUNTY INSPECTOR.

- ROCKED ACCESS AREAS:** CONTRACTOR SHALL PROVIDE A ROCKED ACCESS AREA WERE CONSTRUCTION VEHICLES PARK, TRAVEL AND WORK. ROCKED ACCESS AREAS SHALL CONSIST OF 6" OF COMPACTED BASE ROCK OR DRAIN ROCK. ROCKED ACCESS AREAS ARE INTENDED TO KEEP CONSTRUCTION VEHICLES OFF OF BARE SOIL.

- HOUSE KEEPING REQUIREMENTS:**

**DUST CONTROL / WIND EROSION CONTROL:** CONTRACTOR SHALL EFFECTIVELY LIMIT DUST AND WIND EROSION BY WATERING THE SITE AS NEEDED AND KEEPING ALL MATERIAL STOCK PILES COVERED WHEN NOT IN USE.

**CONSTRUCTION MATERIALS:** ALL LOOSE OF STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL SPOILS, AGGREGATE FLY ASH, STUCCO, HYDRATED LIME, ETC) SHALL BE COVERED AND BERMED. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED, COMPLETELY ENCLOSED. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE THOSE MATERIALS AND EQUIPMENT THAT ARE INTENDED TO BE OUTSIDE. BEST MANAGEMENT PRACTICES TO LIMIT AND PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION MATERIALS SHALL BE IMPLEMENTED.

**WASTE MANAGEMENT:** DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS. PORTABLE TOILETS SHALL BE LOCATED A MINIMUM OF 20' FROM DRAIN INLETS, STREETS, DRIVEWAYS, DRAINAGE FACILITIES, STREAMS OR OTHER RIPARIAN AREAS. SANITATION FACILITIES SHALL BE INSECTED REGULARLY AND CLEANED AND REPLACED AS NECESSARY. COVER WASTE AND DISPOSAL CONTAINERS AT THE END OF EACH WORK DAY AND DURING EACH RAIN EVENT. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE SO THAT SPILLS AND LEAKS CAN AND SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT CONTAIN POSSIBLE POLLUTANTS SHALL BE CONSTRUCTED TO EFFECTIVELY CONTAIN POLLUTANTS SO THAT THERE IS NO DISCHARGE INTO THE SOIL OR SURROUNDING AREA.

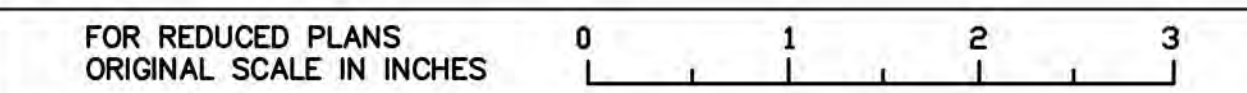
- VEHICLE STORAGE & MAINTENANCE:** MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE OR FUEL FROM LEAKING ONTO THE GROUND OR INTO STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

- LANDSCAPE MATERIALS:** CONTAIN STOCKPILED AND STORED MATERIALS SUCH AS MULCHES, TOPSOIL, FERTILIZERS AND OTHER LANDSCAPE MATERIls WHEN THEY ARE NOT BEING ACTIVELY USED. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIALS WITHIN 2 DAYS BEFORE A FORECAST RAIN EVENT OR DURING PERIODS OF RAIN. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MAUFACTURES' RECOMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED PERSONNEL.

BY	REVISION	DATE	DESCRIPTION
MFG	1	6/7/2011	RESPOND TO PLAN CHECK COMMENTS WASHER DETAIL
		6/7/2011	

PROJECT ENGINEER  
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APN 532-21-012	WATER POLLUTION CONTROL PLAN 17020 LOS CERRITOS DRIVE, LOS GATOS, CA
DRAWN: MFG	
CHECKED: MFG	
DATE: 6/2019	
SCALE: 1"=20'	
JOB NO.	
SHEET C4 of 7	



SHEET NAME: DRAWING NAME:



**EARTH MOVEMENT PLAN**

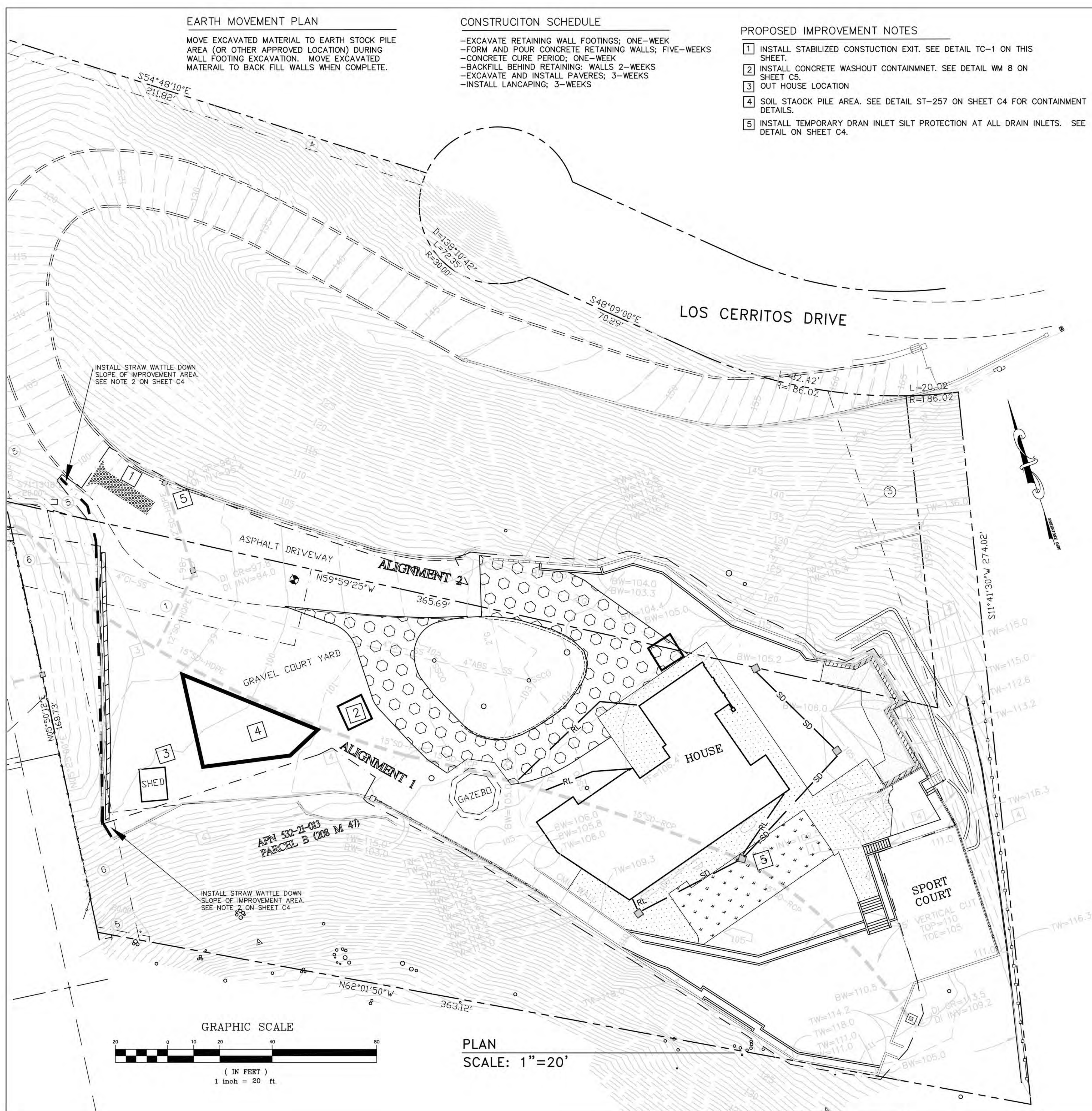
MOVE EXCAVATED MATERIAL TO EARTH STOCK PILE AREA (OR OTHER APPROVED LOCATION) DURING WALL FOOTING EXCAVATION. MOVE EXCAVATED MATERIAL TO BACK FILL WALLS WHEN COMPLETE.

**CONSTRUCTION SCHEDULE**

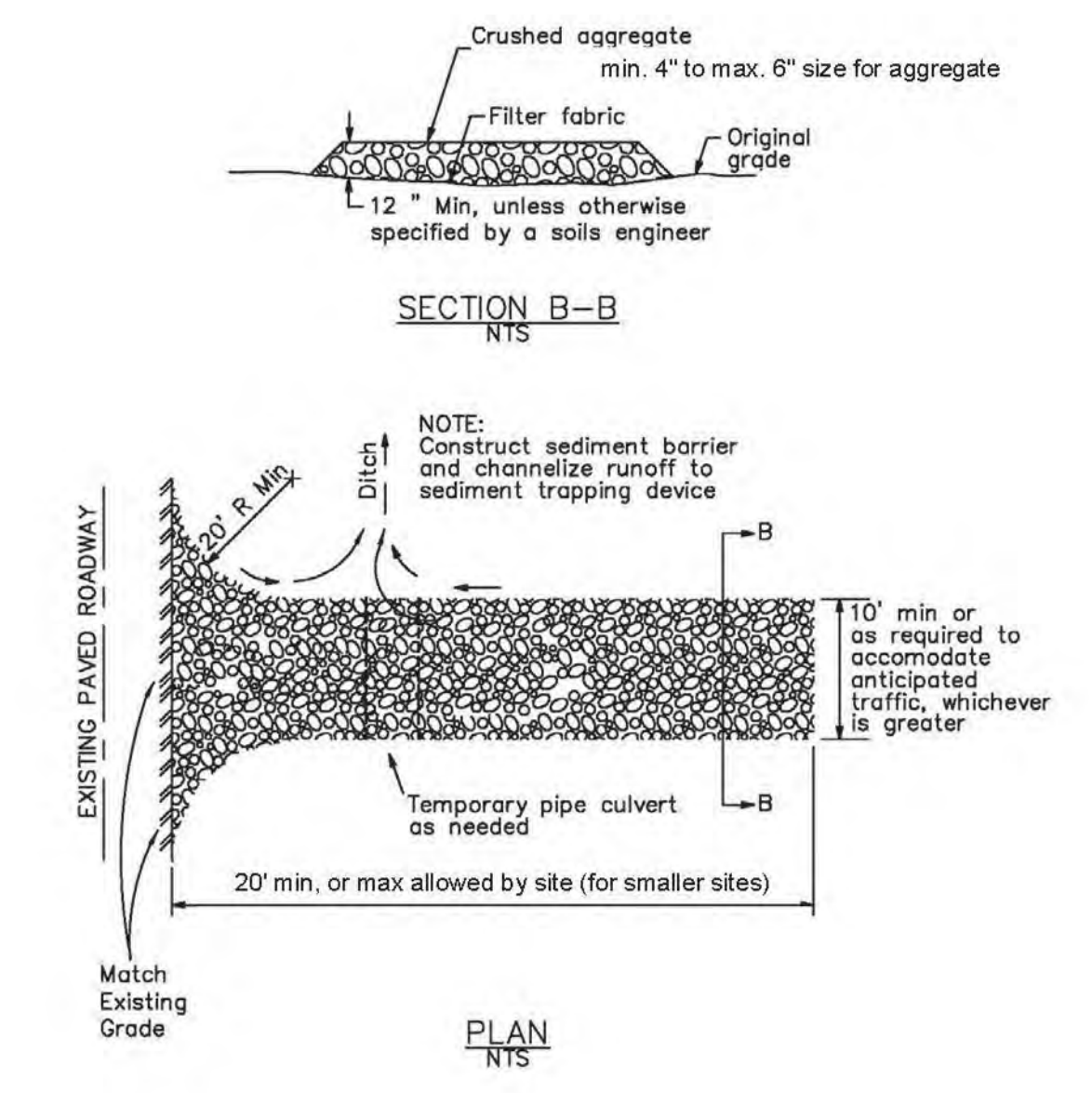
-EXCAVATE RETAINING WALL FOOTINGS; ONE-WEEK  
 -FORM AND POUR CONCRETE RETAINING WALLS; FIVE-WEEKS  
 -CONCRETE CURE PERIOD; ONE-WEEK  
 -BACKFILL BEHIND RETAINING WALLS 2-WEEKS  
 -EXCAVATE AND INSTALL PAVEMENTS; 3-WEEKS  
 -INSTALL LANDSCAPING; 3-WEEKS

**PROPOSED IMPROVEMENT NOTES**

- 1 INSTALL STABILIZED CONSTRUCTION EXIT. SEE DETAIL TC-1 ON THIS SHEET.
- 2 INSTALL CONCRETE WASHOUT CONTAINMENT. SEE DETAIL WM 8 ON SHEET C5.
- 3 OUT HOUSE LOCATION
- 4 SOIL STOCK PILE AREA. SEE DETAIL ST-257 ON SHEET C4 FOR CONTAINMENT DETAILS.
- 5 INSTALL TEMPORARY DRAIN INLET SILT PROTECTION AT ALL DRAIN INLETS. SEE DETAIL ON SHEET C4.



**Stabilized Construction Entrance/Exit TC-1**



July 2012 California Stormwater BMP Handbook Construction www.casqa.org 5 of 6

BY	MFG
REVISION	1 RESPOND TO PLAN CHECK COMMENTS 1 ADDED THIS SHEET
DATE	6/7/21
LAND SURVEYOR	MICHAEL F. GOODHUE No. 4787 Exp. 12/31/24 STATE OF CALIF.
PROFESSIONAL ENGINEER	MICHAEL F. GOODHUE, P.E., L.S. No. 4787 Exp. 12/31/24 STATE OF CALIF.
PROJECT ENGINEER	MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
APN	532-21-012
CONSTRUCTION MANAGEMENT PLAN	
17020 LOS CERRITOS DRIVE, LOS GATOS, CA	
DRAWN:	MFG
CHECKED:	MFG
DATE:	6/2021
SCALE:	1"=20'
JOB NO.	
SHEET	C5 OF 7



**DATUM NOTE**  
 ON FEBRUARY 1, 2017 A FIELD SURVEY WAS PERFORMED TO TRANSFER THE TOWN DATUM FROM TOWN MONUMENT LG42 (ELEV 443.31) TO THE JOB SITE. THE ASSUMED PROJECT DATUM WAS FOUND TO BE 362.30 FEET LOWER THAN THE TOWN DATUM. THE PROJECT BENCH MARK; ELEV 100.2 (ASSUMED)=TOWN DATUM ELEV. 462.50'.

**PLAN (UTILITIES OUT TO VISTA DE SIERRA)**  
 SCALE: 1"=20'

**LEGEND**

- EM STORM DRAIN INLET
  - BW ELECTRIC METER LOCATION
  - TW TOP OF WALL
  - DI BENCH MARK (SET NAIL AND SHINER)
  - INV EL=100.2'
  - CI STORM DRAIN MANHOLE
  - WM SANITARY SEWER MANHOLE
  - DI WATER METER
  - INV DRAIN INLET
  - CI INVERT
  - HDPE CAST IRON
  - PVC HIGH DENSITY POLYETHYLENE
  - RCP POLY VINYL CHLORIDE
  - SSCO REINFORCED CONCRETE PIPE
  - SSCO 4" DIA SANITARY SEWER
  - GR CLEAN OUT RISER
  - GR EXISTING SPOT ELEVATION
  - GATE
  - TR TREE IN TREE WELL
- STORM DRAIN SD
- UNDER GROUND ELECTRIC E
- GAS G
- SANITARY SEWER SS
- UNDERGROUND TV,PHONE,INTERNET TV
- WATER W
- RETAINING WALL
- EXISTING PROPERTY LINE
- ELEVATION CONTOUR (5' INTERVAL)
- ELEVATION CONTOUR (1' INTERVAL)
- STEEL FENCE
- EDGE OF PAVEMENT
- EASEMENT LINE
- WALL FOOTING EXPOSED AT GRADE
- RECENTLY INSTALLED 16" THICK CONCRETE RETAINING WALL
- LRDA LINE

- 8/24/12 ADDED TREES & CONTROL POINTS ALONG SOUTH PROPERTY LINE FROM 10/24/12 FIELD SURVEY
- 3/12/14 UPDATED TOPD SHOWING REMOVED POOL IMPROVEMENTS, ALSO SHOWING NEW WALLS
- 7/10/14 UPDATED TOPD SHOWING TOPOGRAPHY MFG AT FOUR CORNERS OF PARCEL
- 7/30/15 UPDATED TOPD SHOWING TRAILER & SEA TRAIL STORAGE CONTAINERS REMOVED
- 2/17/16 UPDATED TOPD SHOWING RET OF COURTYARD WALL CHANGES, REVIVAL OF HARDSPRUE

**NOTES**

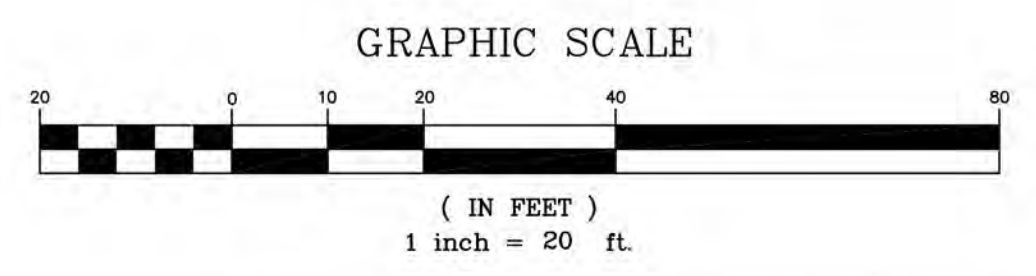
1. TOPOGRAPHIC FIELD DATA COLLECTED ON 1/18/12
2. ELEVATION DATUM IS ASSUMED, BENCH MARK IS A NAIL AND SHINER SET IN THE DRIVEWAY ELEVATION = 100.2'

**EXISTING FEATURE NOTES**

- 1 END RETAINING WALL
- 2 RECENTLY INSTALLED STEPPED CONCRETE RETAINING WALL
- 3 RAIL ROAD TIE RETAINING WALL
- 4 MODULAR BLOCK RETAINING WALL

**EASEMENTS**

- 1 A 30' WIDE 120' LONG EASEMENT FOR INGRESS, EGRESS AND UTILITY PURPOSES; BOOK 113 OR 147
- 2 A 15' WIDE EASEMENT FOR INGRESS AND EGRESS; BOOK 137 OR 36 & 37
- 3 AN EASEMENT FOR INGRESS AND EGRESS AS SHOWN ON THAT RECORD OF SURVEY FILLED IN BOOK 208 OF MAPS PAGE 47
- 4 A 5' WIDE UTILITY EASEMENT FOR GAS AND WATER ONLY; BOOK 4081 OR 259
- 5 A 2' WIDE PG&E AND TELEPHONE EASEMENT; BOOK 5369 OR 163
- 6 A 15' WIDE SANITARY SEWER EASEMENT; BOOK 453 OR 2017
- 7 A 10' WIDE PUBLIC UTILITY EASEMENT; BOOK 208 PAGE 47 OF MAPS



**PLAN**  
 SCALE: 1"=20'

FOR REDUCED PLANS ORIGINAL SCALE IN INCHES 0 1 2 3

SHEET NAME: DRAWING NAME:

DATE	REVISION	BY
6/17/21	ADDED TOP OF GRADES AND STORM DRAIN DATA	
5/19/16	ADDED LRDA LINE	
5/17/17	ADDED UTILITIES, DATUM NOTE, BASE OF WALL GRADES	

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APN 532-21-012  
 TOPOGRAPHIC MAP (CURRENT CONDITION)  
 17020 LOS CERRITOS DRIVE, LOS GATOS, CA

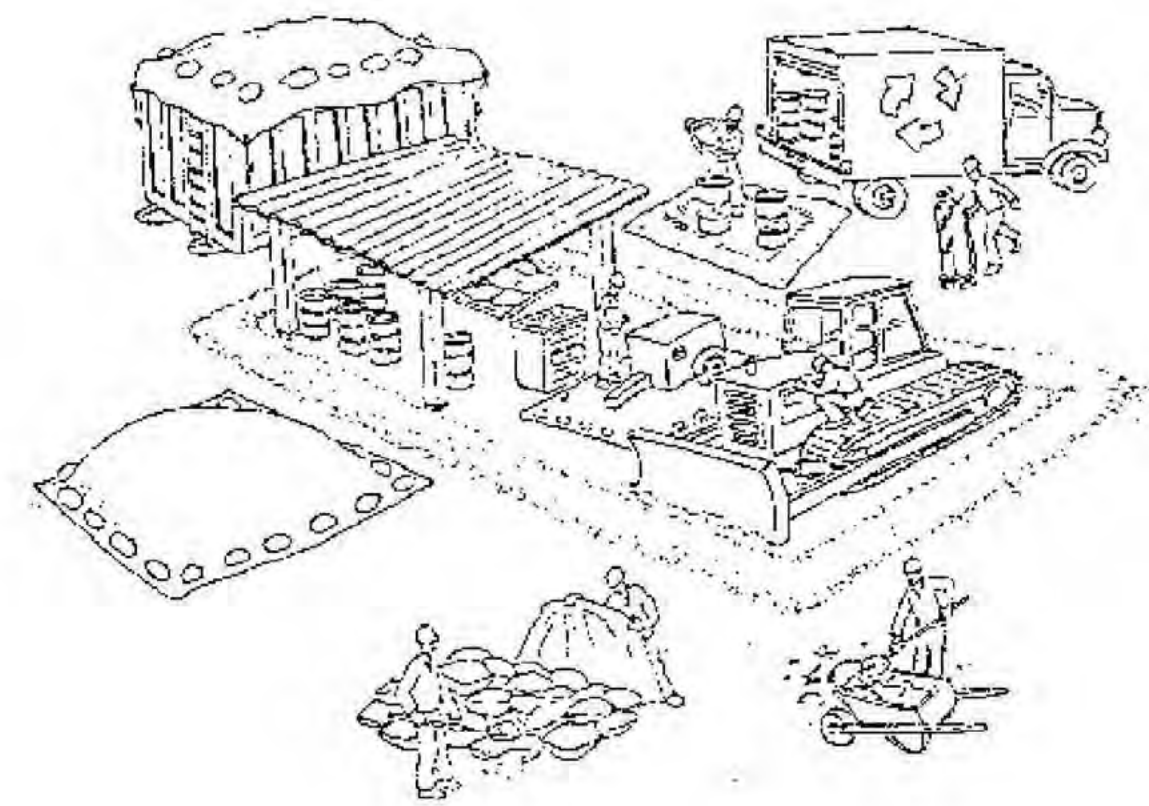
DRAWN: MFG  
 CHECKED: MFG  
 DATE: 7/2014  
 SCALE: 1"=20'  
 JOB NO.  
 SHEET  
 C6 OF 7



# Pollution Prevention — It's Part of the Plan

## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ❑ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ❑ Use (but don't overuse) reclaimed water for dust control as needed.
- ❑ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ❑ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ❑ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ❑ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ❑ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ❑ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

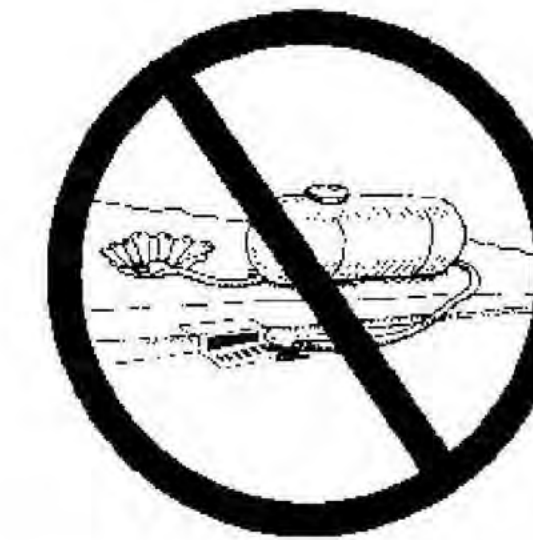
### Vehicle and equipment maintenance & cleaning

- ❑ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ❑ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ❑ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ❑ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Dewatering operations

- ❑ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ❑ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Concrete, grout, and mortar storage & waste disposal

- ❑ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ❑ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ❑ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Saw cutting

- ❑ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- ❑ Do not pave during wet weather or when rain is forecast.
- ❑ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ❑ Place drip pans or absorbent material under paving equipment when not in use.
- ❑ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ❑ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.



### Earthwork & contaminated soils

- ❑ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ❑ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ❑ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ❑ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ❑ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ❑ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ❑ Manage disposal of contaminated soil according to Fire Department instructions.



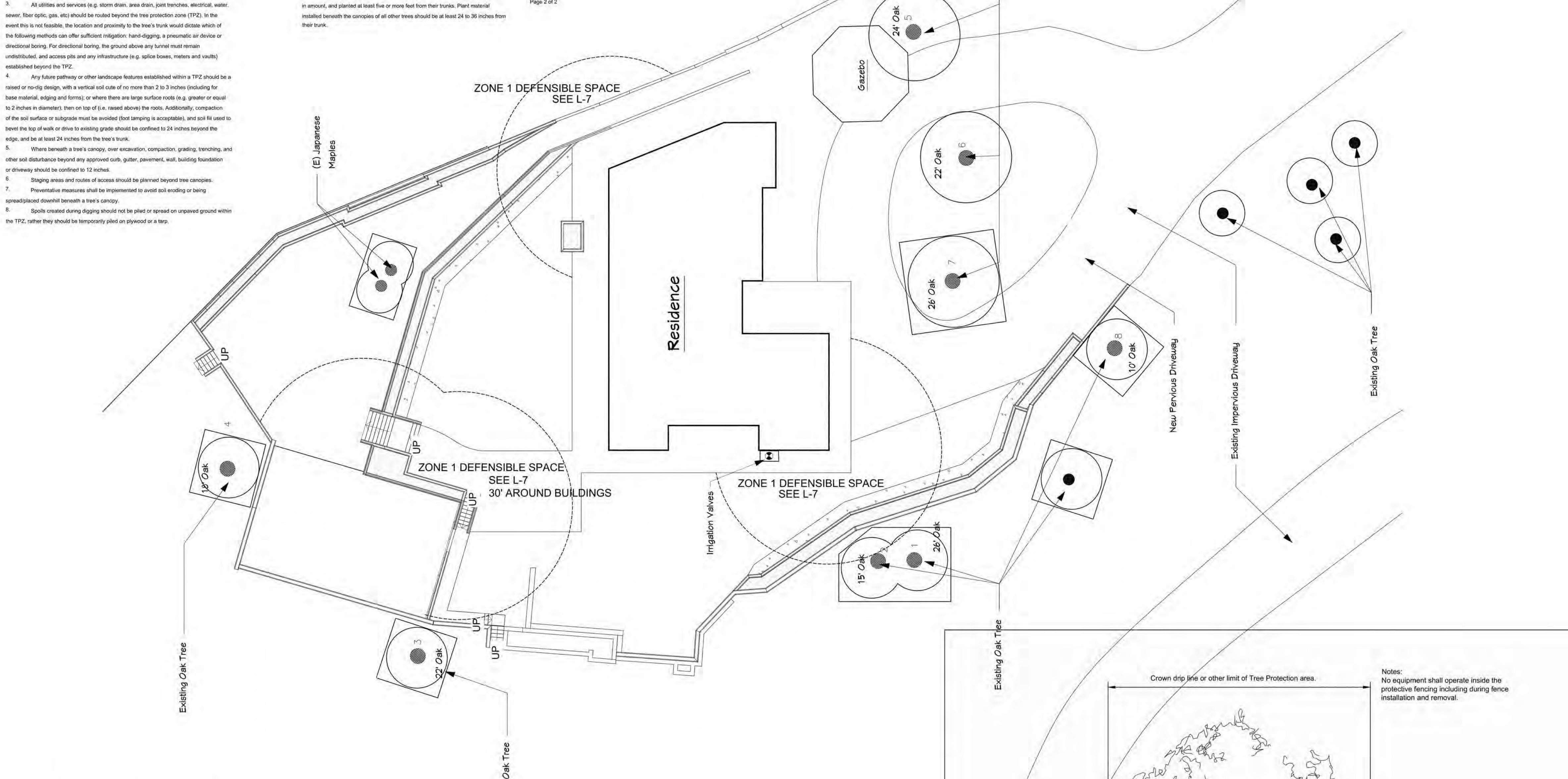
Storm drain polluters may be liable for fines of up to \$10,000 per day!



Tree Protection Conditions

1. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing landscape, and placed no further than 60 inches from the existing structure. The fencing should consist of five-to-six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaced apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.
  - a. Pursuant to Section 29.10.1005(d)(1) of the Town Code, 8.5 to 11 inch warning signs shall be affixed and prominently displayed on each side of the fencing opposite the trees. "WARNING-Tree Protection Zone-The fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." These signs should be erected prior to commencing demolition.
  2. The posts should be planned at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process. In the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated.
  3. All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient irrigation: hand-digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undisturbed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.
  4. Any future pathway or other landscape features established within a TPZ should be a raised or no-dig design, with a vertical soil cut of no more than 2 to 3 inches (including for base material, edging and forms); or where there are large surface runs (e.g. greater or equal to 2 inches in diameter) then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or substrate must be avoided (foot stamping is acceptable), and soil fill used to level the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.
  5. Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.
  6. Staging areas and routes of access should be planned beyond tree canopies.
  7. Preventative measures shall be implemented to avoid soil eroding or being spread/discharged beneath a tree's canopy.
  8. Spills created during digging should not be piled or spread on ungraded ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.
9. The limits of grazing should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).
10. Great care must be taken during demolition of existing hardscape, curbs/gutters, staircases, walkways, walls, sheds, foundations, fences, planter boxes, mowbanks, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.
11. Tree trunks must not be used as which supports for moving or lifting heavy loads.
12. Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.
13. Dust accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).
14. The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. Herbicides should not be used with a TPZ, where used on site, they should be labeled for safe use near trees.
15. The landscape design should conform to the following additional guidelines:
  - a. Plant material installed beneath the canopies of oaks must be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.

Page 2 of 2



EXISTING TREE LEGEND

- Existing oak, natural growth
- Young, planted oak
- Young, existing ornamental trees
- Tree Protection Fence

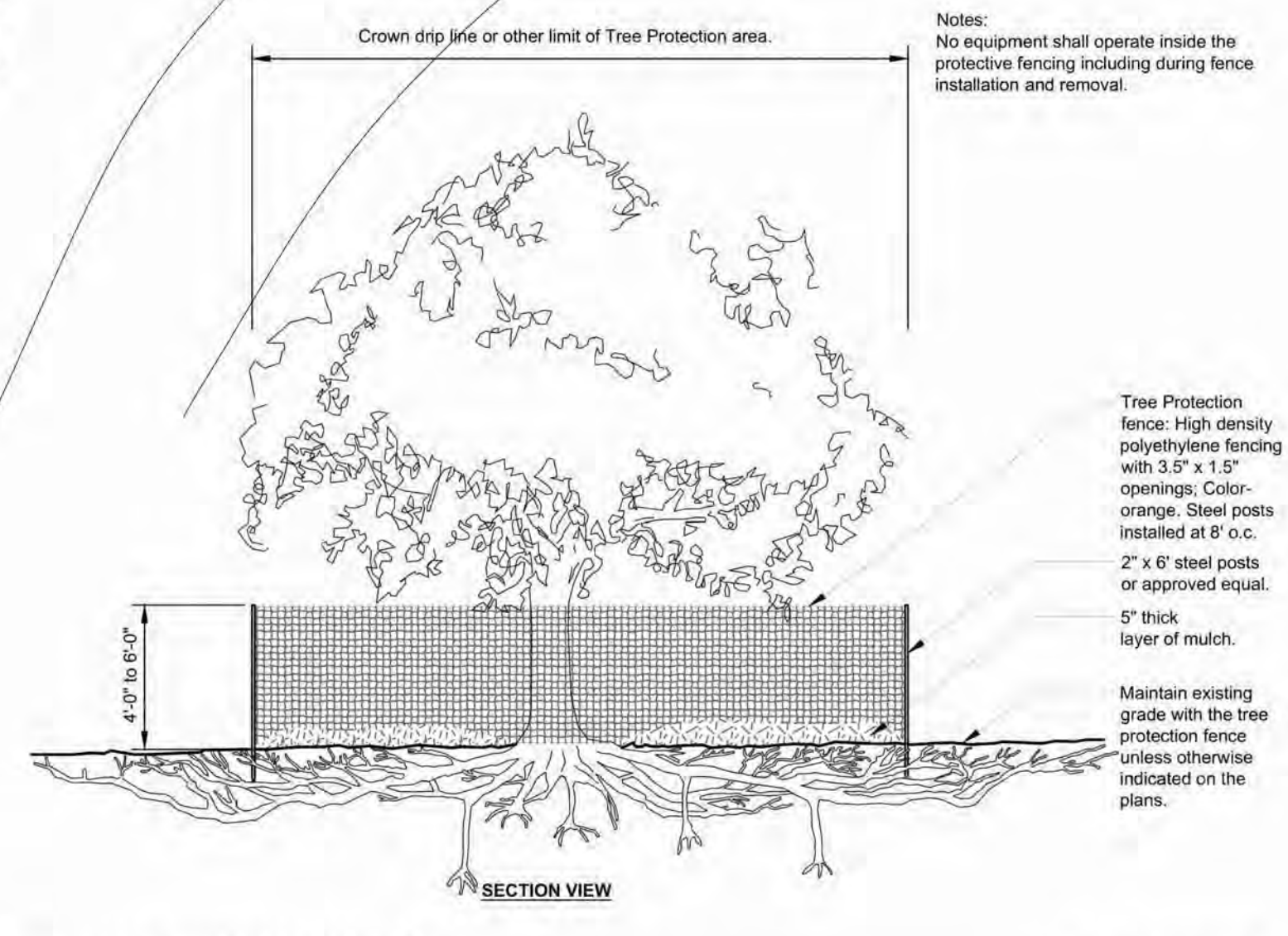


STATEMENT:  
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

*Pablo Mendoza*  
LANDSCAPE ARCHITECT PABLO MENDOZA DATE 4-1-2021

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

OWNER: \_\_\_\_\_ DATE \_\_\_\_\_



S-X TREE PROTECTION

URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE

PROJECT DATA	
APN: PROJECT ADDRESS: 17020 LOS CERRITOS DR. LOS GATOS CA CAMPBELL	SCOPE OF WORK 1. INSTALL NEW FOUNDATION PLANTING 2. FOR RETAINING WALLS
OWNER: OCCUPANCY GROUP: TOTAL LANDSCAPE SF.: 1324 65 SQ. FT. PROJECT TYPE: WATER SUPPLY: POTABLE WATER	PROJECT TEAM BEARINGTON STUDIOS 408-554-5010
STATEMENT: I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE	

NOTES

STANDARDS FOR TREE PROTECTION OF TREES DURING GRADING AND CONSTRUCTION OPERATIONS

THE PURPOSE OF THIS APPENDIX IS TO OUTLINE STANDARDS PERTAINING TO THE PROTECTION OF TREES DESCRIBED IN SECTION 14.18.200 OF CHAPTER 14.18. THE STANDARDS ARE BRAD, A LICENSED LANDSCAPE ARCHITECT OR INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST SHALL BE RETAINED TO CERTIFY THE APPLICABILITY OF THE STANDARDS AND DEVELOP ADDITIONAL STANDARDS AS NECESSARY TO ENSURE THE PROPERTY CARE, MAINTENANCE, AND SURVIVAL OF TREES DESIGNATED FOR PROTECTION.

- STANDARDS
1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE TREE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE (S)
  2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTION A FOUR FEET HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
  3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
  4. IF TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER OF THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED
  5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
  6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICALS SOLVENTS SHALL BE STORED OR DUMPED UNDER THE TREE.
  7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SEE AND KEPT UNDER CONSTANT SURVEILLANCE.
  8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY THE CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OF THE BRANCHES THAT MUST BE REMOVED DURING THE GRADING OR CONSTRUCTION. NO BRANCHES OR ROOTS SHALL BE CUT UNLESS AT FIRST REVIEWED BY THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
  9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
  10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
  11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

GENERAL NOTES

PROJECT SHALL BE EXECUTED BY A CLASS "B" OR CLASS "C-2" CONTRACTOR. HE OR SHE SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AS WELL AS TO CONTACT USA (UNDERGROUND SERVICE ALERT AT 1800-642-2444 PRIOR TO CONSTRUCTION. CHANGES IN LAYOUT DESIGN SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. DRAINAGE SHALL BE KEPT POSITIVE AT ALL TIMES (AWAY FROM STRUCTURES, DRAINED TO A DISCHARGE POINT. SEE DRAINAGE PLANS) CONTRACTOR SHALL BE RESPONSIBLE FOR ITEMS DAMAGED WHILE CONSTRUCTION. ACCESSIBILITY TO SITE PROVIDED BY OWNER. THIS IS NOT A SURVEYORS DOCUMENT. VERIFY GRADING ON SITE. ALL WORK TO BE PERFORMED ACCORDING TO CITY AND STATE BUILDING CODES. CONTACT ARCHITECT FOR ANY CHANGES OR DISCREPANCIES. VERIFY PLANTING MATERIAL QUANTITY AND LOCATION

VICINITY MAP



SHEET INDEX	
L-1 LAYOUT	
L-2 PLANTING PLAN	
L-3 IRRIGATION PLAN	
L-4 PLANTING NOTES / DETAILS	
L-5 IRRIGATION NOTES / DETAILS	



0' 16' SCALE 3/2"

Project Name	Drawn By	Date	Scale
CAMPBELL	PM	04-01-21	AS SHOWN

General	Notes	Revision/Issue	No.

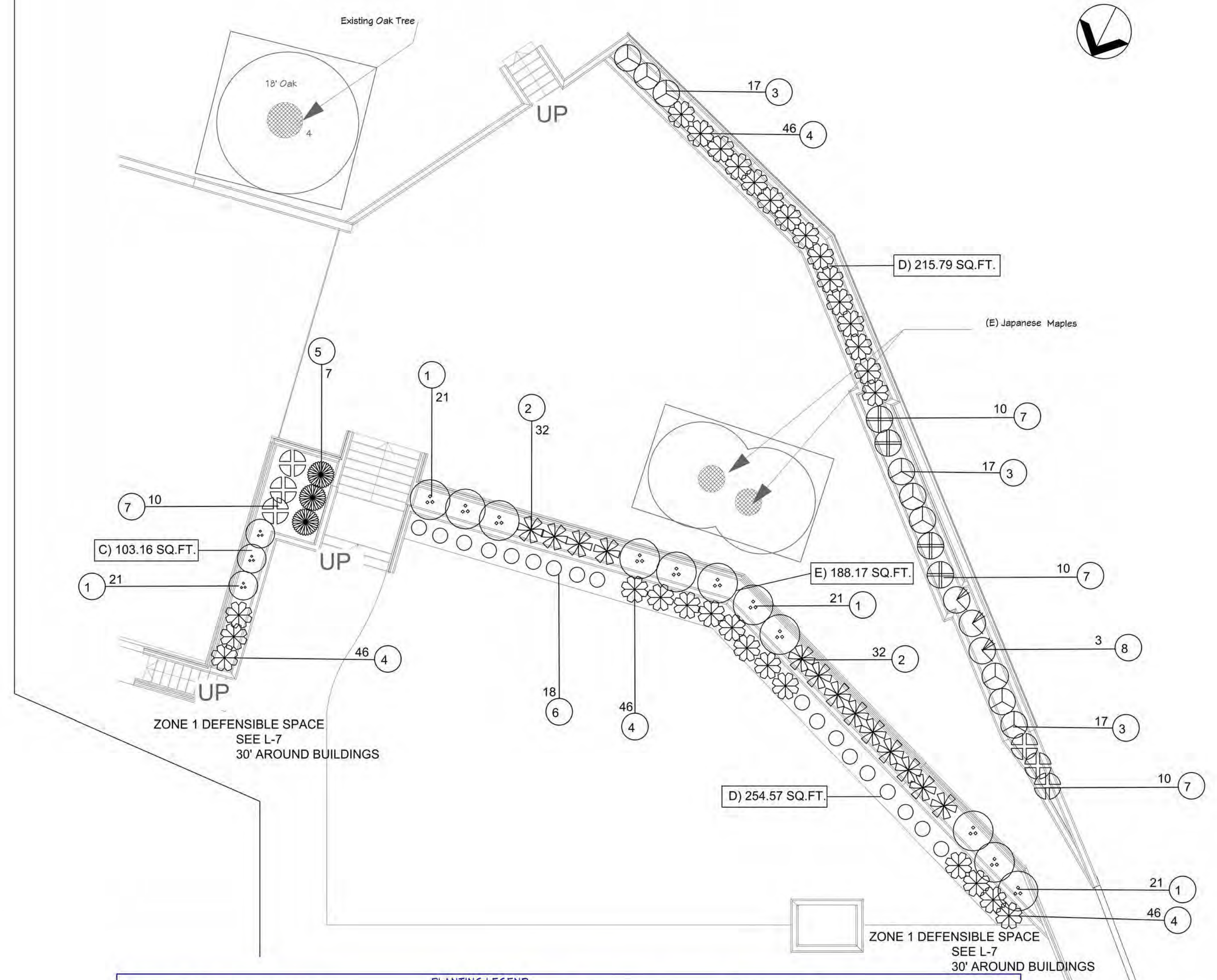
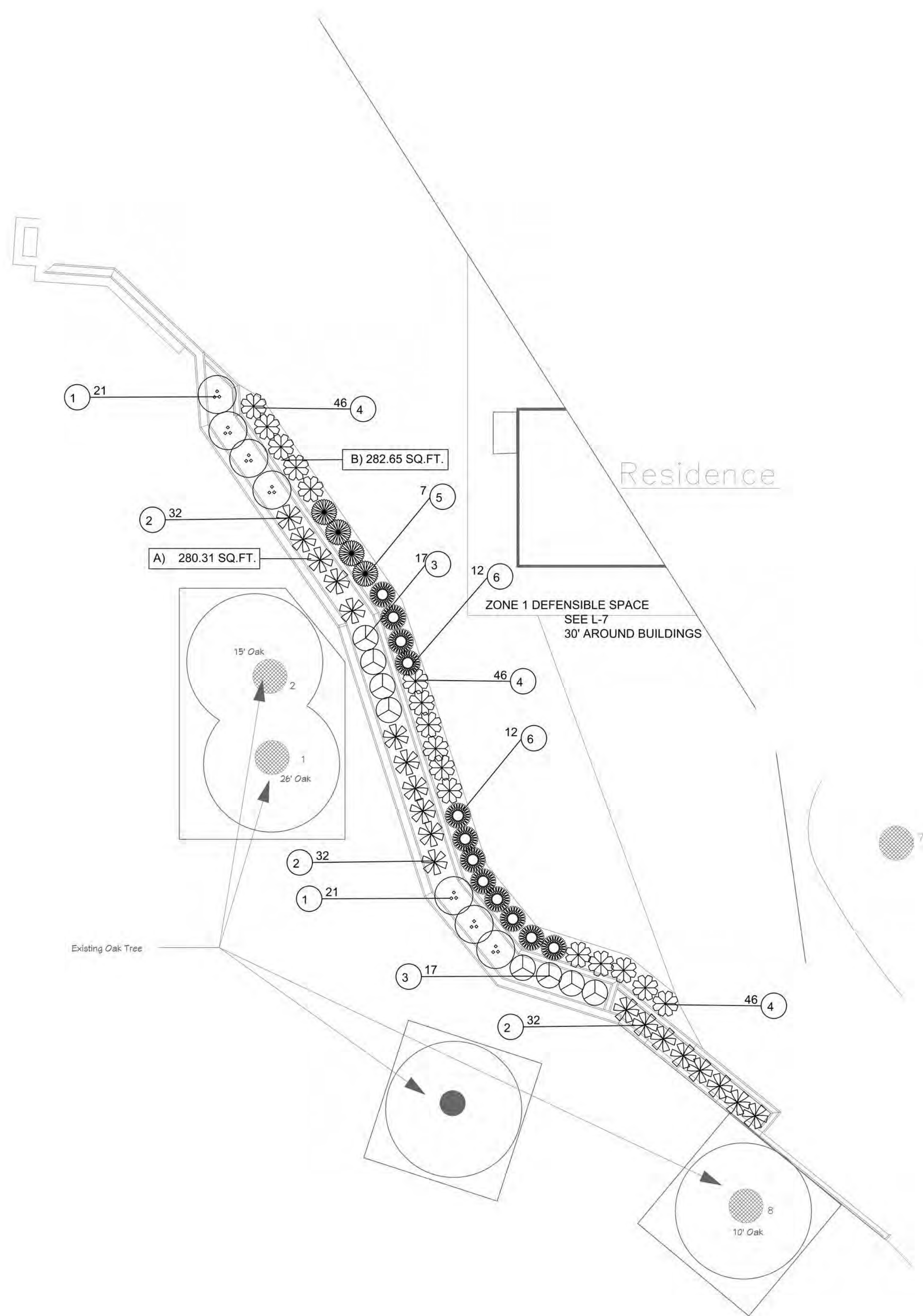
  

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LANDSCAPE LAYOUT

CAMPBELL RESIDENCE  
17020 LOS CERRITOS DR.  
LOS GATOS, CA 95030





PLANTING LEGEND							
SYMBOL	#	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WATER NEED	MUCOLS ZONE
☼	1	7	1	SALVIA APIANA	white sage	Very Low	1
☼	2	14	1	CEANOTHUS GREGGI	desert ceanothus	Very Low	1
☼	3	8	1	ATRIPLEX SPP	saltbush	Very Low	1
☼	4	16	1	BACCHARIS CENTENIAL	Centennial baccharis	Very Low	1
☼	5	4	1	ARTEMISIA FILIFOLIA	sand sagebrush	Very Low	1
○	6	18	1	LANTANA MONTEVIDENSIS PURPLE	LANTANA	Low	1
⊕	7	1	1	VERBENA BONARIENSIS	verbena (bonariensis)	Low	1
⊕	8	1	1	LANTANA CAMARA	LANTANA	Low	1

PLANTING AREAS SQ. FT.		
AREA NAME	AREA SQUARE FOOT	
A	280.31 SQ. FT.	
B	282.65 SQ. FT.	
C	103.16 SQ. FT.	
D	254.57 SQ. FT.	
E	188.17 SQ. FT.	
D	215.74 SQ. FT.	
TOTAL	1324.65 SQ. FT.	

ZONE 1 DEFENSIBLE SPACE 30 FEET AROUND BUILDINGS / DECKS  
 ZONE 2 DEFENSIBLE SPACE 30-100 FEET AROUND BUILDINGS / DECKS  
 SEE L-5 NOTES ON DEFENSIBLE CALFIRE GUIDELINES. VERIFY LOCAL JURISDICTION FOR ADDITIONAL GUIDELINES  
 THIS PROJECT IS IN A HILLSIDE RESIDENTIAL ZONE AND VERY HIGH FIRE SEVERITY ZONE.



Date: \_\_\_\_\_

Project Name: CAMPBELL

Drawn By: PM

Date: 04-01-21

Scale: AS SHOWN

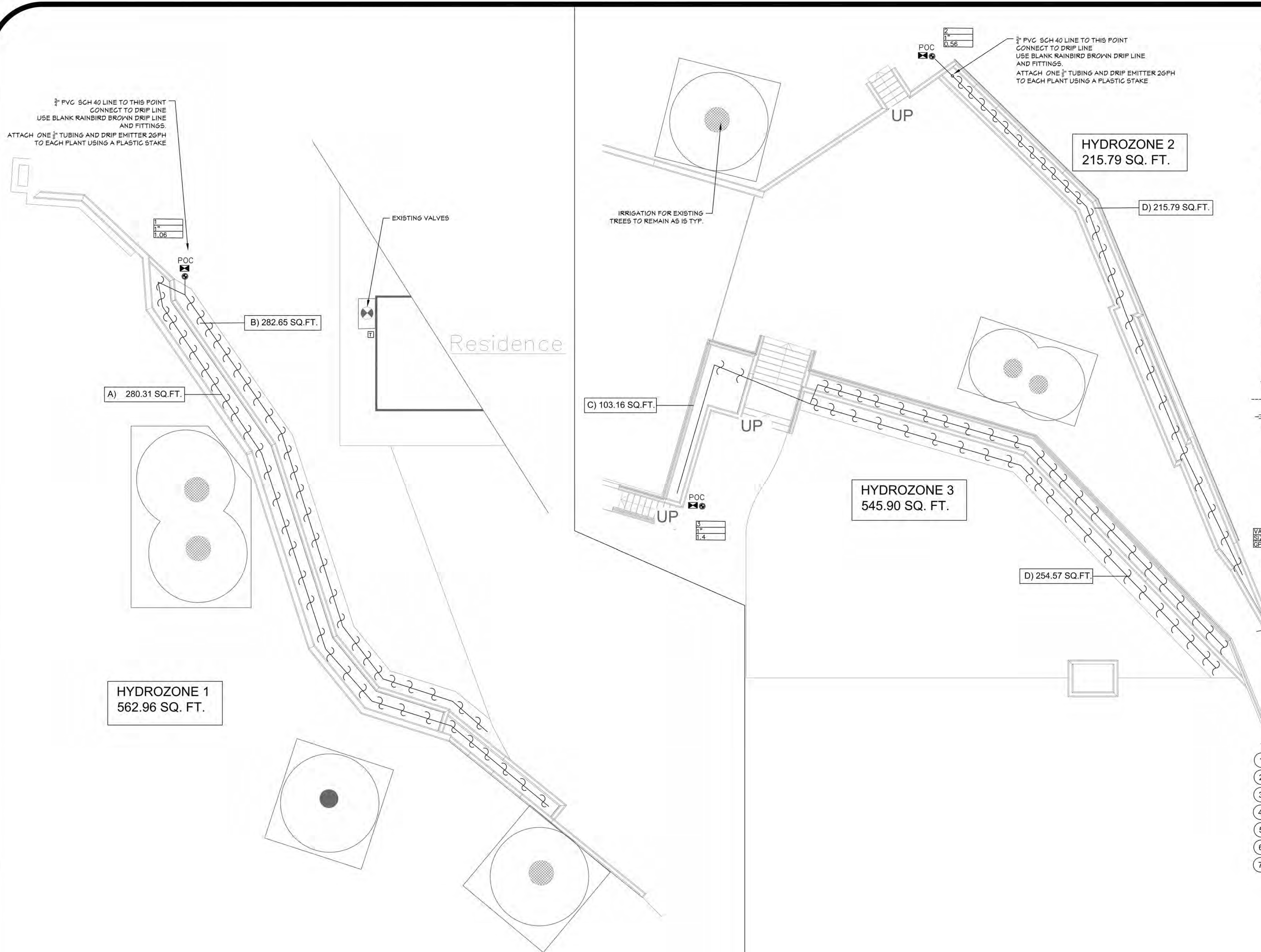
Sheet: L-2

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PLANTING PLAN

CAMPBELL RESIDENCE  
 17020 LOS CERRITOS DR.  
 LOS GATOS, CA 95030





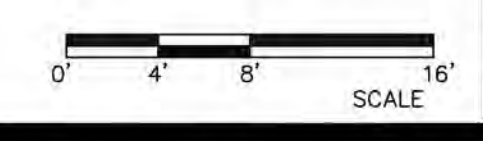
- IRRIGATION LEGEND**
- POC EXIST. POINT OF CONNECTION
  - WM WATER METER LOC. (EXISTING)
  - BP BACKFLOW PREVENTER FEBCO 825 YRP IN LEMEUR GREEN EXPANDED METAL CASE. (EXISTING. PROVIDE COVER)
  - MGV MAIN GATE VALVE SAME SIZE AS MAIN LINE
  - 1" IRRIGATION VALVE HUNTER IGV OR EQUAL. SET IN A PLASTIC BOX HOUSING INCLUDE A PRESSURE REGULATING DEVICE FOR EACH VALVE OR A MAIN REDUCER AND FILTER DEVICE AT THE P.O.C. SYSTEM IS DESIGNED TO OPERATE AT 65 PSI AT THE P.O.C. INCLUDE A BOOSTER PUMP OTHERWISE IF REQUIRED.
  - RCV RAINBIRD 44NP QUICK COUPLER VALVE
  - IFS INLINE WATER FLOW SENSOR USE HUNTER OR RACHIO INLINE SENSOR
  - 1" QUICK COUPLER W/LOCKING COVER AND ACME KEY WITH ANTI-ROTATION WINGS.
  - HUNTER RZWS-18-50-CV ROOT ZONE WATERING SYSTEM NIA 40 0.50 2.55 TWO (2) PER TREE\*

- Δ 1/4" POLY DRIP LINE W/ EMITTER TO EACH PLANT
- PLD HUNTER PLD-BV PLD MANUAL FLUSH VALVE (INSTALL AT-GRADE IN 10" ROUND VALVE BOX IN PLANTER AREA LOCATED AT FARTHEST POINT FROM DRIP ZONE CONTROL KIT, TYP.)
- HB HOSE BIB
- 1/2" SCHEDULE 40 PVC PIPE
- 3/4" SCHEDULE 40 PVC PIPE
- 1" SCHEDULE 40 PVC PIPE
- NETAFIN DIP LINES
- MAINLINE 1" SCH 40 PVC PIPE & SOLVENT UNLESS OTHERWISE NOTED.
- SLEEVE SCH 40 MIN SIZE 4" TYP. PROVIDE AS REQUIRED
- LATERAL LINE - SCHEDULE 40 PVC PIPE & SOLVENT WELD FITTINGS AT 12" DEPTH, SIZE AS NOTED.
- CONTROLLER: WALL MOUNT CABINET TBD. COORDINATE LOCATION AND ELECTRICAL SERVICE WITH ARCHITECTURAL AND ELECTRICAL PLANS. COORDINATE INSTALLATION OF WIRELESS ET SENSOR ON EXTERIOR OF BUILDING USE SOIL SENSOR OR EVAPOTRANSPIRATION SENSOR DATA UTILIZING NON-VOLATILE MEMORY SHALL BE REQUIRED FOR IRRIGATION SCHEDULING.

- USE A HUNTER PRO-C MODULAR CONTROLLER W/ A SOLAR SYNC. OR MICRO WEATHER STATION & FLOW CLICK TO CONTROL WATER FLOW. TYP OR EQUAL
- VALVE # VALVE NUMBER OR ZONE NUMBER
  - SIZE VALVE SIZE
  - GPM GALLONS PER MINUTE
  - IM IRRIGATION WATER METER 1" DIA CONNECT TO EXIST. BUILDING WATER METER FOR PLANTING WATER METERING
  - CM IRRIGATION WATER METER 1" DIA CONNECT TO EXIST. BUILDING WATER METER FOR PLANTING WATER METERING

ALL PIPING TO BE 12" MIN DEEP PROVIDE 4" MIN SLEEVE UNDER ANY CONCRETE CONNECTING OR IN BETWEEN PLANTING AREAS  
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM IN ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN DESIGN PLAN.

- 1 USE 1 DRIP 0.03 GPH EMITTER / SHRUBS & 2-0.1 GPH TREE OR USE 2 DRIP EMITTER PER HIGH WATER REQUIREMENT EACH PLANT
- 2 USE VAN NOZZLES FOR LAWN ADJUST AS NEEDED
- 3 SYSTEM IS DESIGNED TO OPERATE EVERY OTHER DAY FOR THE LAWN WHEN MATURE FOR 10 MIN. MAX
- 4 PLANTING MATERIAL IS DESIGNED TO OPERATE 3 / WEEK / 2 INTERVALS OF 5 MINUTES EACH WHEN MATURE
- 5 MAIN PVC LINES 12" DEEP TO EACH IRRIGATION ZONING. DAYLIGHT PVC PIPE AND ATTACH A POLY TUBE ABOVE GROUND BUT UNDER BARK. SECURE POLY TUBE W/ GALV. STAPLES. TYP
- 6 DRIP VALVE ASSEMBLY W/ PRESSURE REGULATOR SET TO 30 PSI OTHERWISE, NO PRESSURE REDUCER FOR LAWN AREAS
- 7 USE A HUNTER PRO-C MODULAR CONTROLLER W/ A SOLAR SYNC. WITH A MICRO WEATHER STATION & FLOW CLICK TO CONTROL WATER FLOW. TYP OR RACHIO MODELS WITH A FLOW SENSOR CONTROLLER



Date: \_\_\_\_\_

Sheet: \_\_\_\_\_

Project Name: CAMPBELL

Drawn By: PM

Date: 04-01-21

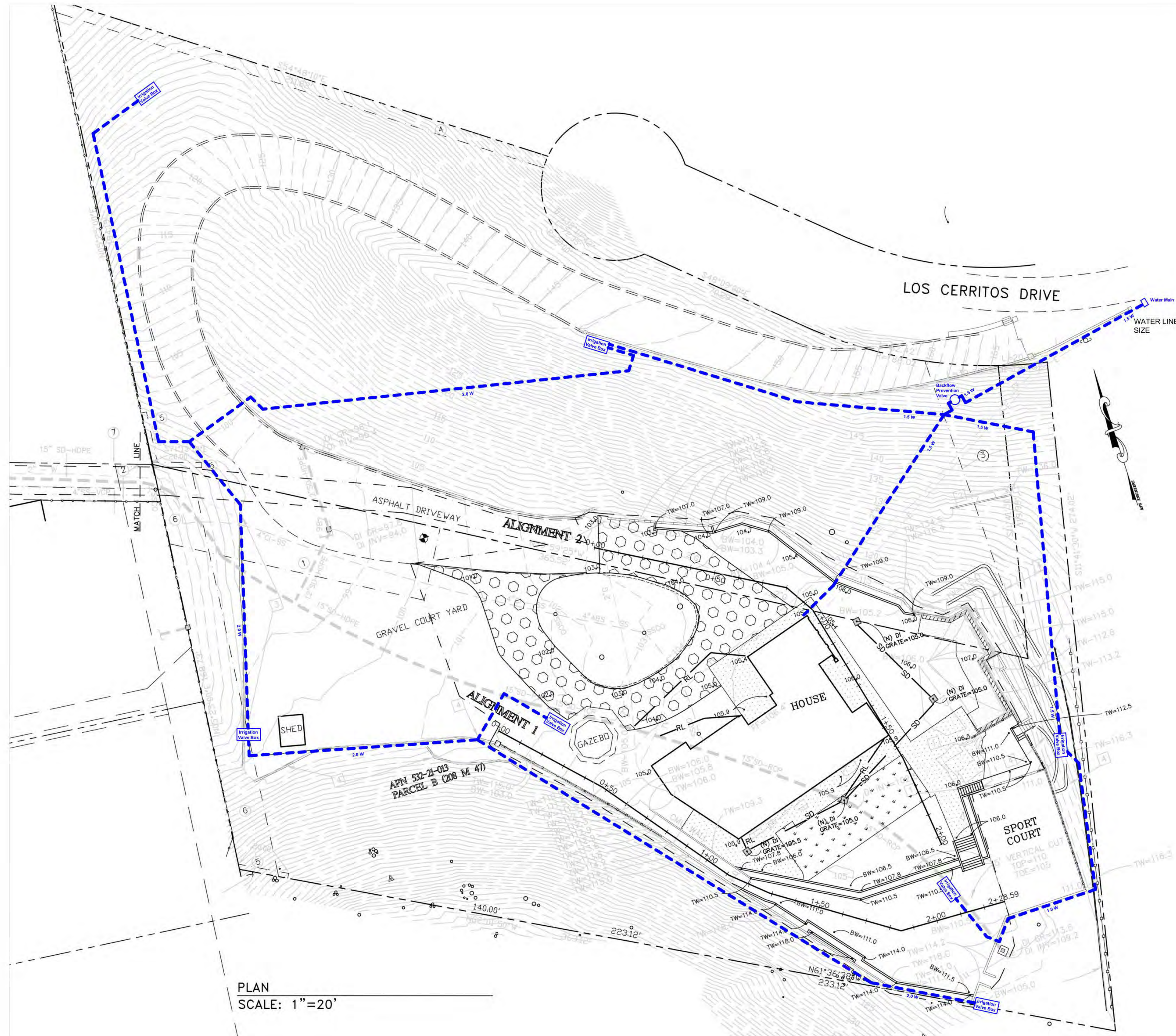
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**IRRIGATION PLAN**

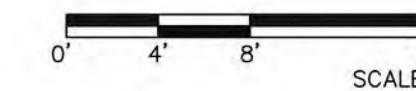
**CAMPBELL RESIDENCE**  
 17020 LOS CERRITOS DR.  
 LOS GATOS, CA 95030





PLAN  
SCALE: 1"=20'

EXISTING MAIN LINES nts approximate



Date

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EXISTING  
IRRIGATION MAIN LINES

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LOS GATOS, CA 95030

Project Name CAMPBELL	Sheet L4
Drawn By PM	Scale AS SHOWN
Date 04-01-21	



**PLANTING NOTES**

- All planting areas shall be cleared from weeds debris & stumps. Contractor shall be aware of all existing vegetation to be removed, relocated, or pruned. Save as many plants as possible. He or she shall familiarize with the scope of the work.
- Soil preparation includes, rototilling, leveling, & spreading of soil amendments at the following rates per 1,000 SQ. feet:  
6 cubic yards of nitrified redwood sawdust  
20 lbs of 16-6-8 fertilizer. Unless otherwise noted incorporate amendments thoroughly around and below trees and shrubs root balls. Rototill to a 6" deep min. By hand if not possible. All plant material shall be supplied by a licensed nursery, true to species and variety. Plants shall be healthy, vigorous and well branched.
- Dig plant pits with level bottoms and square sides. Plant pits for trees and shrubs shall be twice the size of the root ball. Backfill pit with surface amended soil in a compacted mound beneath the root ball as indicated on item #2. Backfill for acid-loving plant shall be 50 % peat moss and 50 % native soil. Soil test analysis per customer.
- Agriform plant tables. (21 gram.) Shall be used in all trees and shrubs at the following rates:  
1 gallon - 1 tablet  
5 gallon - 3 tablets  
15 gallon - 5 tablets  
Box specimen trees, 1 tablet per foot of height.
- Use 2 stakes per tree or as specified in the plant legend. Locate stakes so the tree is supported against prevailing winds. Stakes shall be 2" Dia. x 10' pressure treated log poles. Secure trees to stakes with black rubber ties nailed to stake.
- After planting, build a Berm 2" ht. Around plants using native soil. Apply pre-emergent to all shrub & ground cover areas SEE DETAIL.
- All shrub and ground cover areas shall be mulched with 3" min. layer of medium size redwood bark unless otherwise noted on the plans. Install on top of a layer of WNEED BARRIER landscape fabric.
- Maintenance period APPROVED BY OWNER. Shall be 60 days consisting of:  
Watering, weeding, caring for plants, including ground cover, shrubs, trees and vines, edging and mowing of lawns, fertilizing and control of pest and diseases as needed. Also include periodically revising all irrigation system.

**PLANTING NOTES**

- Top soil placement and rough grade by grading contractor. Finish grade to be within 1/10 of a foot, clean and sloped to attain desired drainage. Do not disturb existing soil condition as much as possible.
- Verify existing drainage system. System shall catch all down spouts by installing all necessary area drains. Carry system from back yard to front yard to city street. OR lowest point in property. Ver. Local building codes for runoff
- Flagstone stepping-stones shall be set over 1" of fill sand when set on dirt.
- Use Deep Root Corp. 24" min. deep root barriers between any tree that is 3' -0" or closer to a sidewalk. Or structure.
- Should plants freeze, or should any plant material be damaged or destroyed by deer or other wildlife, the owner takes full and sole responsibility for the cost of replacement.
- All vines shall be installed using galvanized wires and hooks attached to the wall and or to new arbor. At 12" intervals. Use plastic green tape to tie stems to wire to prevent girdling. Or use Lattice for espalliers.
- Low voltage Lighting fixtures to be supplied by the contractor. Owner Approved.
- All Cabbles shall range between 6" Dia. min. size. See plan for location. If required Owner approved
- Include Geotextile fabric to inhibit plant growth. Underneath all bark.
- All work shall be done in accordance to local, city, and state building codes.
- 
- All scaled dimensions are approximated. Before proceeding with any work, carefully check and verify dimensions on the site. The drawings are diagrammatic.
- Verify tree location on site.
- Do not install the landscape as indicated on the drawings when it is obvious in the field that previously obstructions or grade differences exist that might not been considered in the engineering, Design, or if discrepancies in construction details, legend or specific notes are discovered.

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1116 Curtner Ave  
San Jose, Ca 95125 info@pvmla.com

**Water Efficient Landscape Worksheet**

<b>Property info:</b>			
Project address:	17020 LOS CERRITOS DR	APN:	
City:	LOS GATOS, CA	Phone:	
ZIP:	95030		

Reference Eto 42.9 LOS GATOS

Hydrozone Table	Plant factor	Irrigation Method	ETAF Residential = 0.55		Commercial = 0.45		ETWU estimated total water use	ETAF= (PF 0.1* LA)/IE 0.81
			Irrigation Efficiency = 0.81	O spray = 0.75	SLA=1.0	LA Landscape Area		
Zone 1	0.1 Drip	0.81	0.55	562.96	309.628	8235.485544	69.50	
Zone 2	0.1 Drip	0.81	0.55	215.79	118.6845	3156.770331	26.64	
Zone 3	0.1 Drip	0.81	0.55	545.9	300.245	7985.91651	67.40	
Zone 4	0.1 Drip	0.81	0.55	0	0	0	0.00	
Zone 5	0.1 Drip	0.81	0.55	0	0	0	0.00	
Zone 6	0.1 Drip	0.81	0.55	0	0	0	0.00	
Zone 7	0.1 Drip	0.81	0.55	0	0	0	0.00	
Zone 8	0.1 Drip	0.81	0.55	0	0	0	0.00	
<b>Totals</b>				<b>1324.65</b>	<b>728.5575</b>	<b>19,378.17</b>	<b>163.54</b>	

<b>Special landscape area</b>				
Parks, recycle water areas, edible plans, parks	1	0	0	0
	1	0	0	0
<b>Totals</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

**Water Budget Calculation**

WAWA	WAWA	24,663.13 Gallons
<b>Waterbudget calculation</b>	<b>19,378.17</b>	<b>less than 24,663.13 Gallons</b>

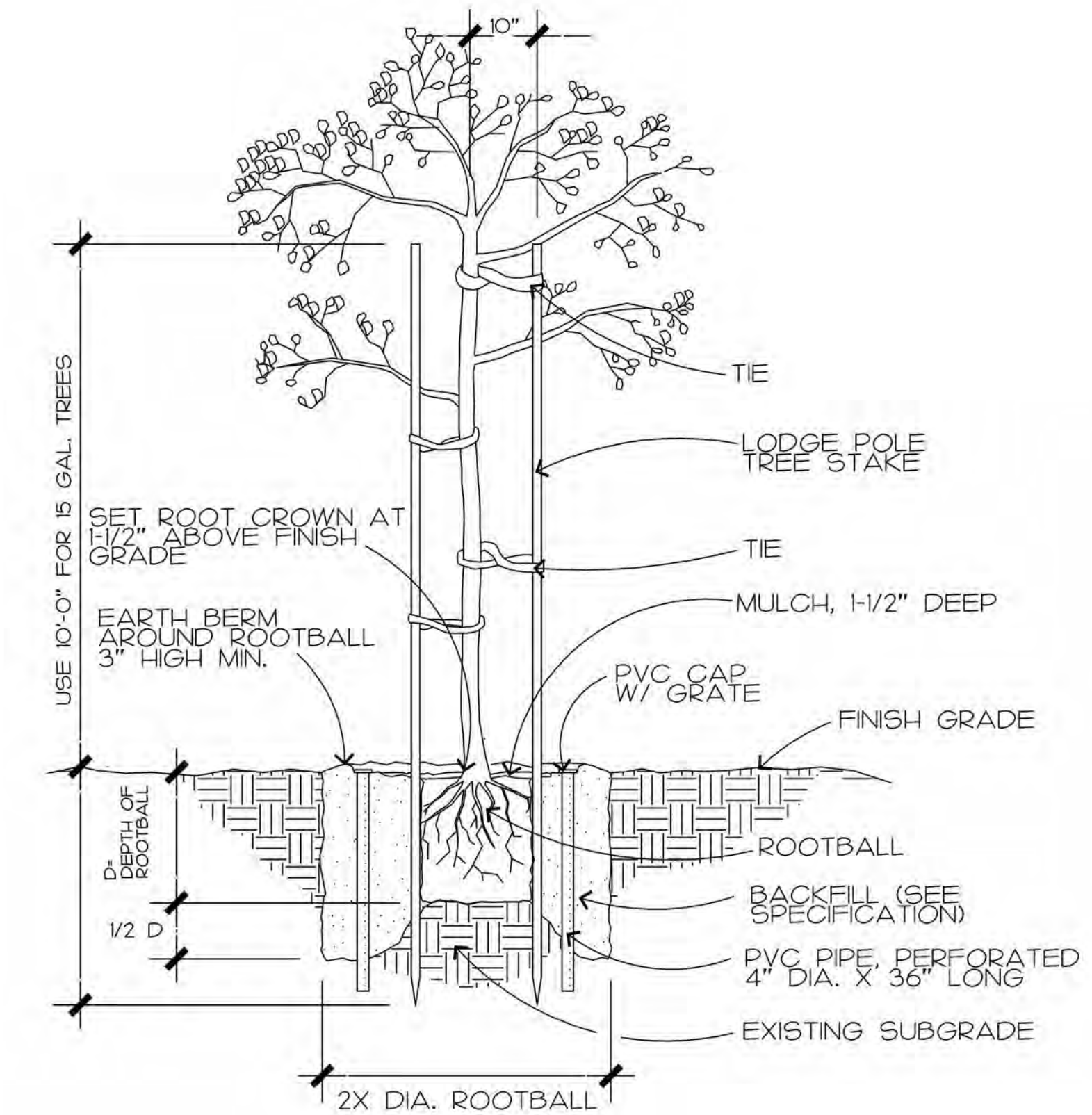
ETWU	Ref ETO City	x (0.62)	x((PF x HA) / IE +SLA)
	42.9	0.62	<b>4,349.76</b>

**ETAF calculations**

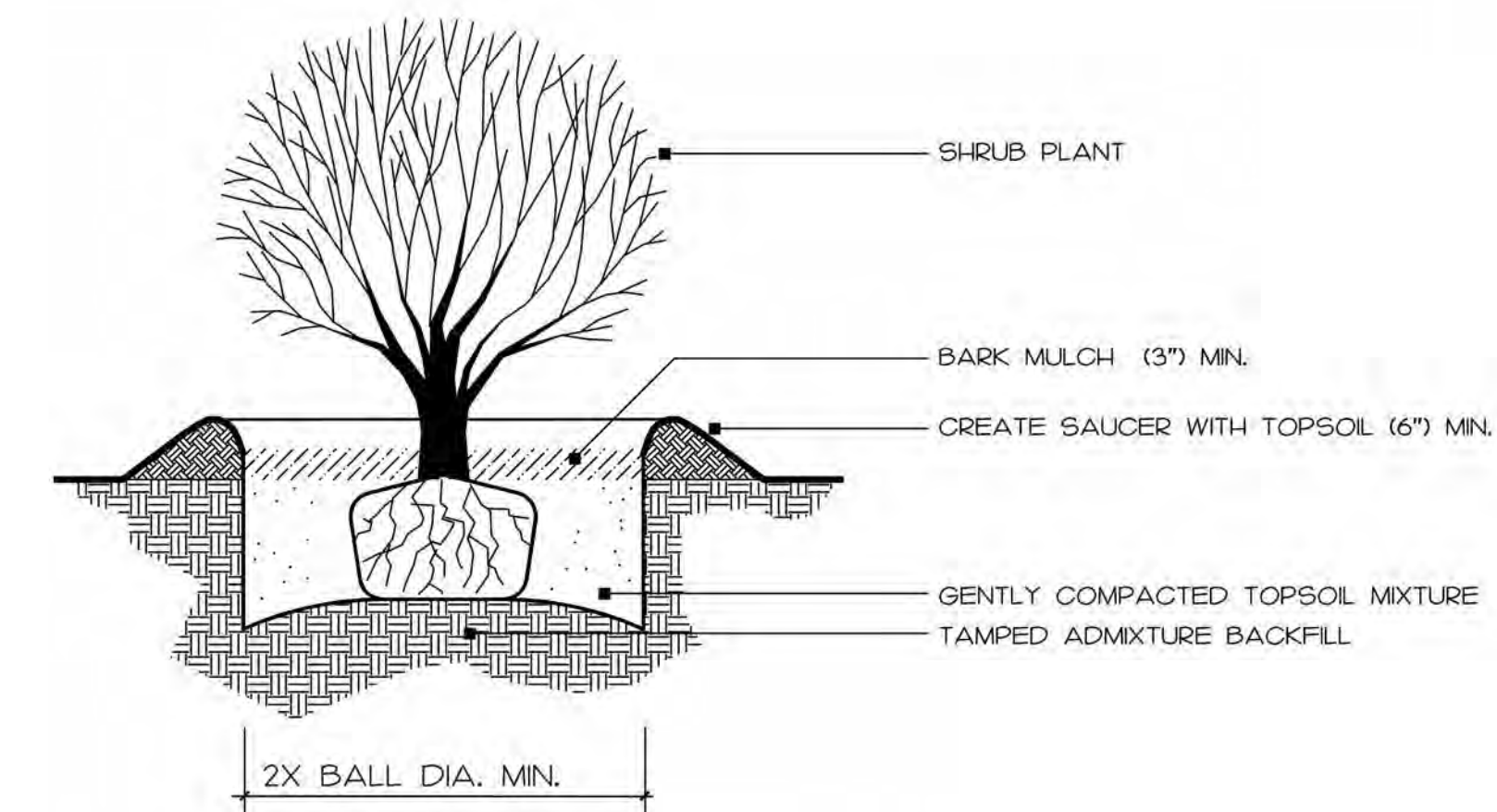
Total ETAF/Total Landscape Residential	0.55 ETAF	Less than	.55 residential required
Total ETAF/Total Landscape Commercial	0.55 ETAF	Less than	.45 Non residential

Site wide ETAF 0.55

ETWU=ETox0.62x(ETAFxlandscape area)	19,378.17 Gallons	Residential use 0.55 value
WAWA=ETox0.62x[(ETAFxlandscape area)+(1-ETAF)xSLA]]	24,663.13 Gallons Plus	24,663.13 Gallons



**TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

Date	
------	--

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LANDSCAPE NOTES

CAMPBELL RESIDENCE  
17020 LOS CERRITOS DR.  
LOS GATOS, CA 95030

Project Name	CAMPBELL
Drawn By	PM
Date	04-01-21
Scale	AS SHOWN





**14.15.110. Irrigation Schedule.**

- A. For the efficient use of water, all irrigation schedules shall be developed, managed, and evaluated to utilize the minimum amount of water required to maintain plant health. Irrigation schedules shall meet the following criteria:
1. Irrigation scheduling shall be regulated by automatic irrigation controllers.
  2. Operation of the irrigation system outside the normal watering window is allowed for auditing and system maintenance.
  3. For implementation of the irrigation schedule, particular attention must be paid to irrigation run times, emission device, flow rate, and current reference evapotranspiration, so that applied water meets the Estimated Total Water Use. Total annual applied water shall be less than or equal to Maximum Applied Water Allowance (MAWA). Actual irrigation schedules shall be regulated by automatic irrigation controllers using current reference evapotranspiration data (e.g., CIMIS) or soil moisture sensor data.
  4. Parameters used to set the automatic controller shall be developed and submitted for each of the following: a. the plant establishment period; b. the established landscape; and c. temporarily irrigated areas.
  5. Each irrigation schedule shall consider for each station all of the following that apply: a. irrigation interval (days between irrigation); b. irrigation run times (hours or minutes per irrigation event to avoid runoff); c. number of cycle starts required for each irrigation event to avoid runoff; d. amount of applied water scheduled to be applied on a monthly basis; e. application rate setting; f. root depth setting; g. plant type setting; h. soil type; Ordinance No. 16-2142 Page 17 of 26 i. slope factor setting; j. shade factor setting; and k. irrigation uniformity or efficiency setting.

**14.15.120. Landscape and Irrigation Maintenance Schedule.**

- Landscapes shall be maintained to ensure successful establishment following installation, and to ensure water use efficiency consistent with this chapter. A maintenance schedule shall be established and submitted to the Director of Community Development or his/her designee, either with the Landscape Documentation Package, with the landscape installation report or any time before the landscape installation report is submitted.
- A. Schedules should take into account water requirements for the plant establishment period and water requirements for established landscapes.
- B. Repair of all irrigation equipment shall be done with the originally installed components or their equivalents or with components with greater efficiency.
- C. Maintenance shall include, but not be limited to the following: routine inspection; pressure testing, adjustment and repair of the irrigation system; aerating and de-thatching turf areas; replenishing mulch; fertilizing; pruning; replanting of failed plants; weeding; pest control; and removing obstructions to emission devices.
- D. Failed plants shall be replaced with the same or functionally equivalent plants that may be size-adjusted as appropriate for the stage of growth of the overall installation. Failing plants shall either be replaced, or be revived through appropriate adjustments in water, nutrients, pest control or other factors as recommended by a landscaping professional.

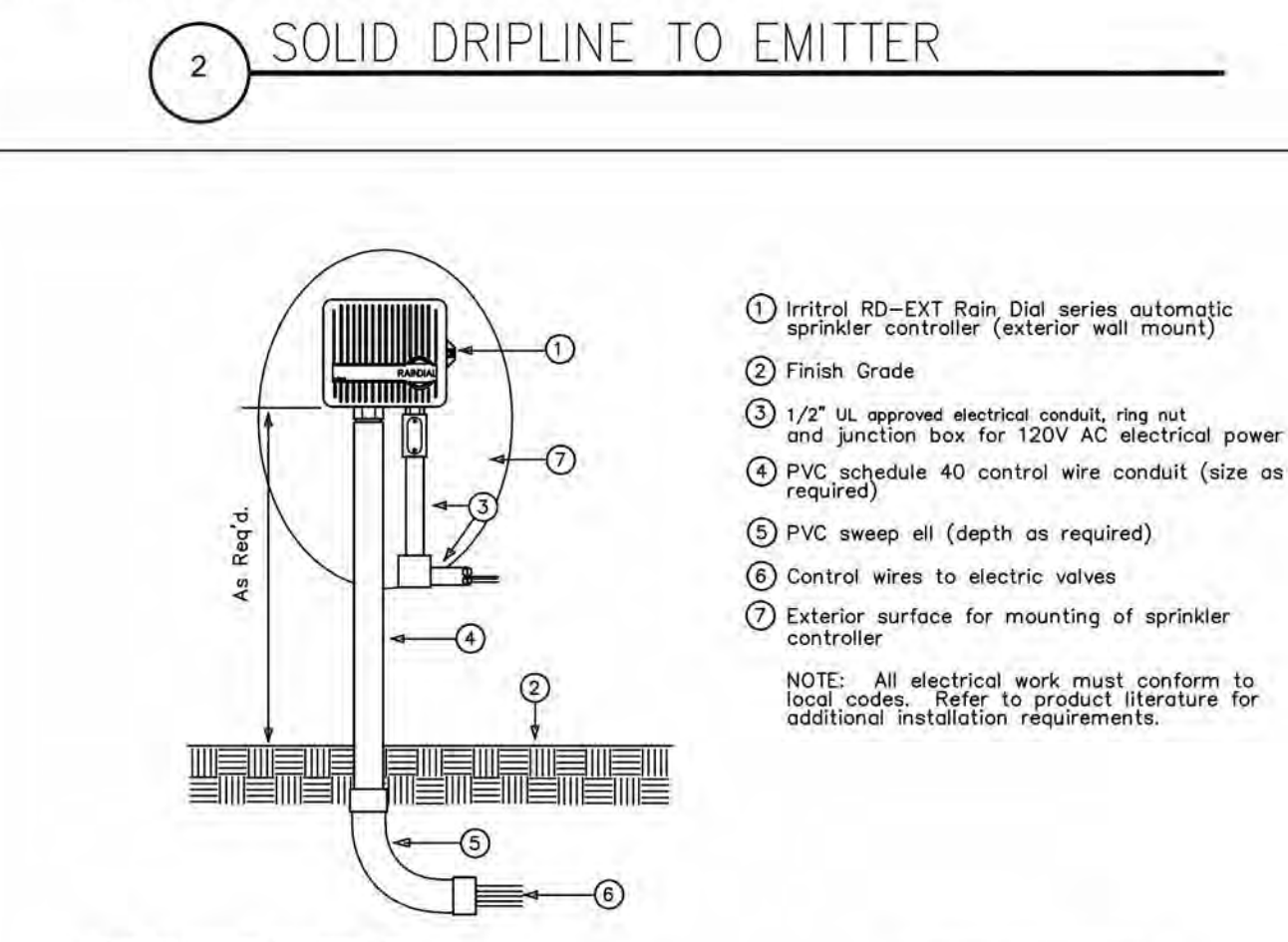
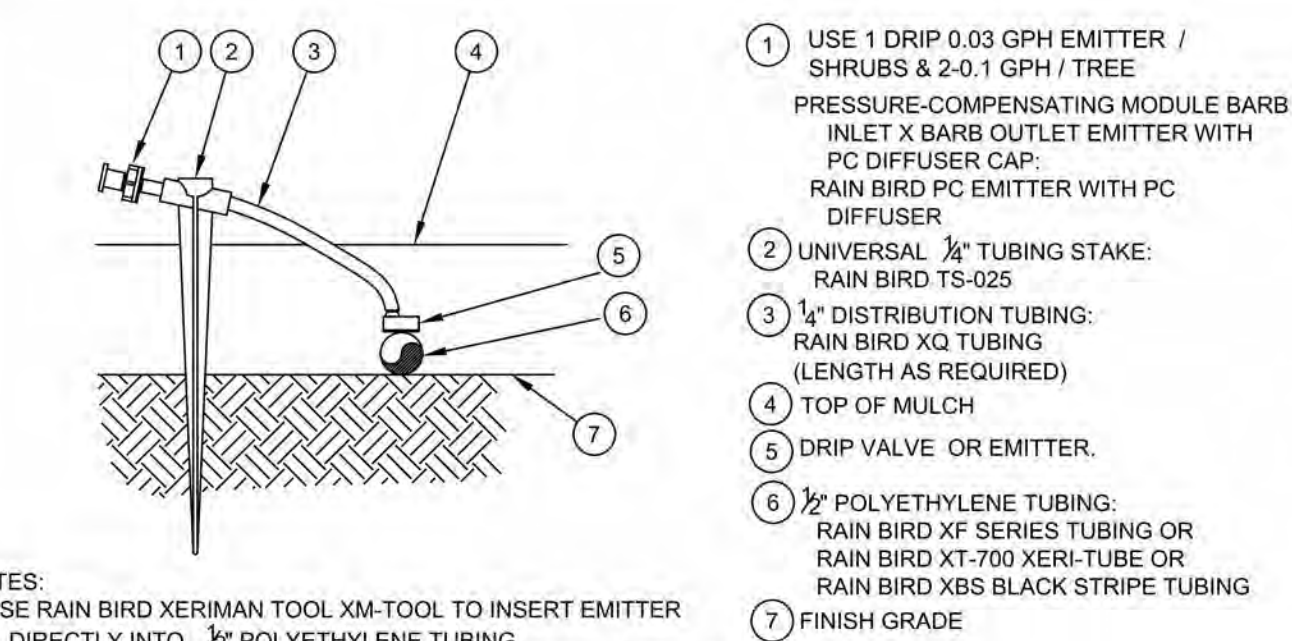
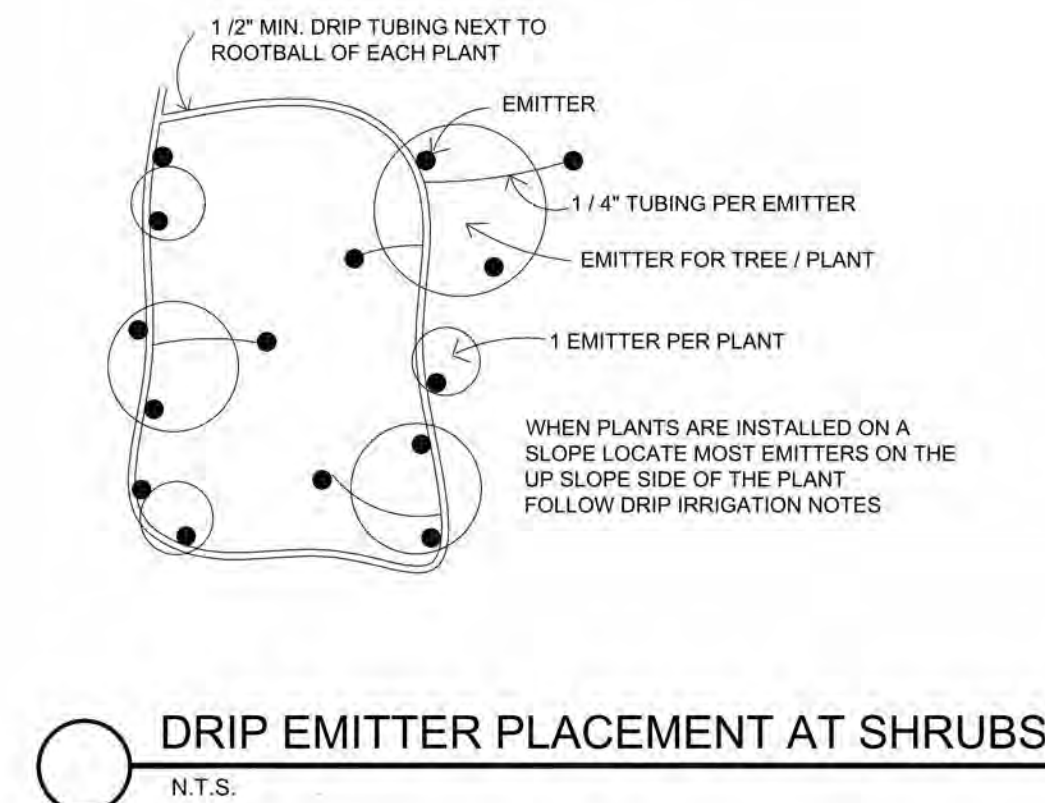
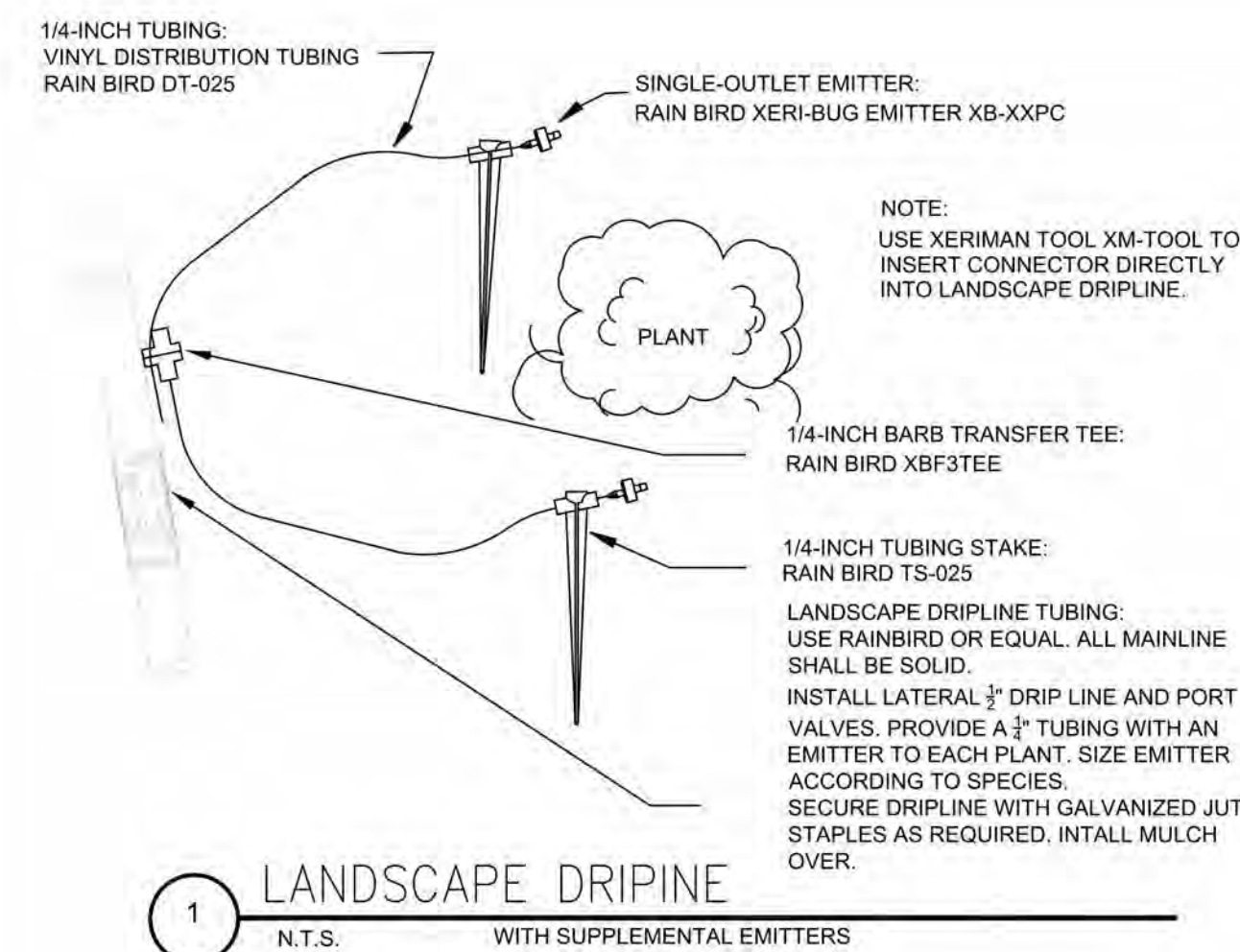
**IRRIGATION NOTES**

- An automatic irrigation system shall be installed as follows:
1. System shall provide 100 % coverage. Contractor shall select proper arc and radius of all nozzles.
  2. Water meter, water stub-outs, and electrical stub-outs for the controller by others.
  3. Main line to be PVC schedule 40, trenched to a depth of 18". Lateral line to be PVC SCH 40 trenched to a depth of 12" deep. Unless otherwise noted on plans.
  4. Risers to be PVC schedule 80 mounted on Marlex swing joints or flex risers.
  5. All electrical wire from controller to valves shall be UF direct burial. All electrical work shall be waterproofed.
  6. All pipe and wire under paving-patios to be sleeved with PVC schedule 40 twice the size of the pipe MIN.
  7. Systems to be pressure tested prior to backfilling. Backfill material shall be free from rocks larger than 1" - 0". All trenches shall be jetted and compacted to 90 %.
  8. Contractor to supply as built drawings.
  9. All lines shall be flushed clean prior to acceptance.
  10. Irrigation controller shall be installed where indicated by home owner. Contractor shall be responsible to provide 110 V. power hook up.
  11. All bubblers shall be installed inside a 4" Dia x 30" long PVC perforated drain pipe inside trees berm. Cover pipe with 4" Sloam grate above gorilla hair finish grade. Fill pipe with 3/4" drain rock.
  12. Pepco poly distribution tubes shall be set 2" min. deep below finish grade and gradually go above finish grade at the plants base.
  13. System is based to operate at 50 GPM.
  14. System is a design built upgrade per area and need basis. Design is diagrammatic. Verify before start. If any discrepancy contact L Architect.
  15. Do not install the sprinkler system as indicated on the drawings when it is obvious in the field that previously obstructions or grade differences exist that might not be considered in the engineering, or if discrepancies in construction details, legend or specific notes are discovered.
  16. Scaled dimensions are approximate. Before proceeding with any work, carefully check and verify dimensions on the site. The drawings are diagrammatic. Swing joints, offsets and fittings are not shown.

**Irrigation (Watering) Schedule**

Please see schedule below for permitted days for outdoor irrigation. Outdoor irrigation may not take place between the hours of 8:00 a.m. and 6:00 p.m.

Even Street Addresses: Tuesday and Friday  
 Odd Street Addresses: Monday and Thursday  
 No Street Addresses: Monday and Thursday



- IRRIGATION NOTES**
1. OPERATING WATER PRESSURE AT THE POINT OF CONNECTION IS APPROXIMATELY 55 PSI. REFER TO CIVIL PLANS FOR MORE INFORMATION. THE SYSTEM IS DESIGNED TO MAINTAIN A MINIMUM OPERATING PRESSURE OF 40 PSI AND MAXIMUM FLOW OF 50 GPM (MAX. CONT. FLOW OF 100 GPM). THE CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO INSTALLATION OF THE SYSTEM. REPORT TO THE OWNER AND THE LANDSCAPE ARCHITECT.
  - ANY DIFFERENCES BETWEEN THE CONDITIONS ASSUMED ON THESE PLANS AND THE CONDITIONS ON SITE, IN THE EVENT PRESSURE AND FLOW DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS REQUIRED.
  - POINT OF CONNECTION IS EXISTING. VERIFY SYSTEM REQUIREMENTS.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, STRUCTURES AND FACILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS AROUND EXISTING AND PROPOSED SITE STRUCTURES AND FACILITIES, UNDER PAVING, ETC...
  - DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
  - THIS DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT, PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS ARE FOR DESIGN PURPOSES ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
  - THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE. INSTALL ALL SPRINKLER HEADS WITH NOZZLE OF THE APPROPRIATE DEGREE AND RADIUS FOR THE AREAS TO BE COVERED. ADJUST ADDITIONAL NOZZLES TO ELIMINATE SPRAYING ONTO WALKS, STREETS, WALLS, ETC...
  - ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  - ALL IRRIGATION LINES AND WIRING SHALL BE INSIDE AN SLEEVE WHEN CROSSING UNDER PAVING. SLEEVE MUST BE AT LEAST TWICE THE DIAMETER.
  - USE ALL PVC SCH 40 MAIN AND LATERAL LINES.

**WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE**  
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

PABLO MENDOZA LA # 5814 DATE:



Date: \_\_\_\_\_

Sheet: \_\_\_\_\_

Project Name: CAMPBELL

Drawn By: PM

Date: 04-01-21

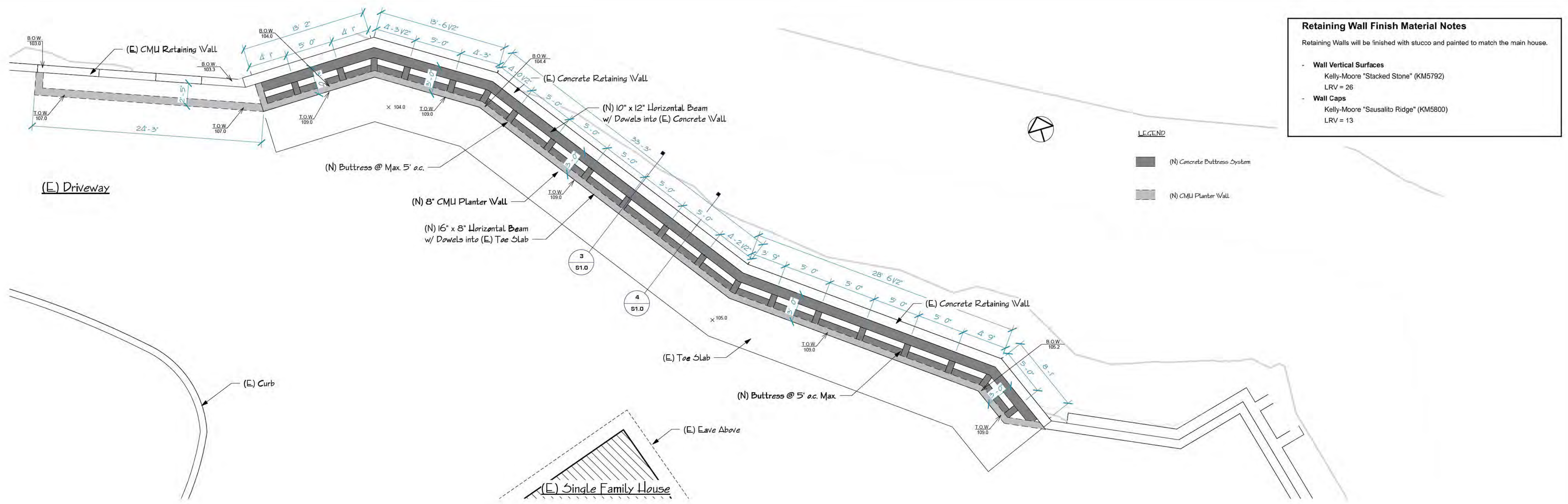
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PVMLA LANDSCAPE ARCHITECTURE  
 650-270-0966  
 WWW.PVMLA.COM

IRRIGATION NOTES

CAMPBELL RESIDENCE  
 17020 LOS CERRITOS DR.  
 LOS GATOS, CA 95030

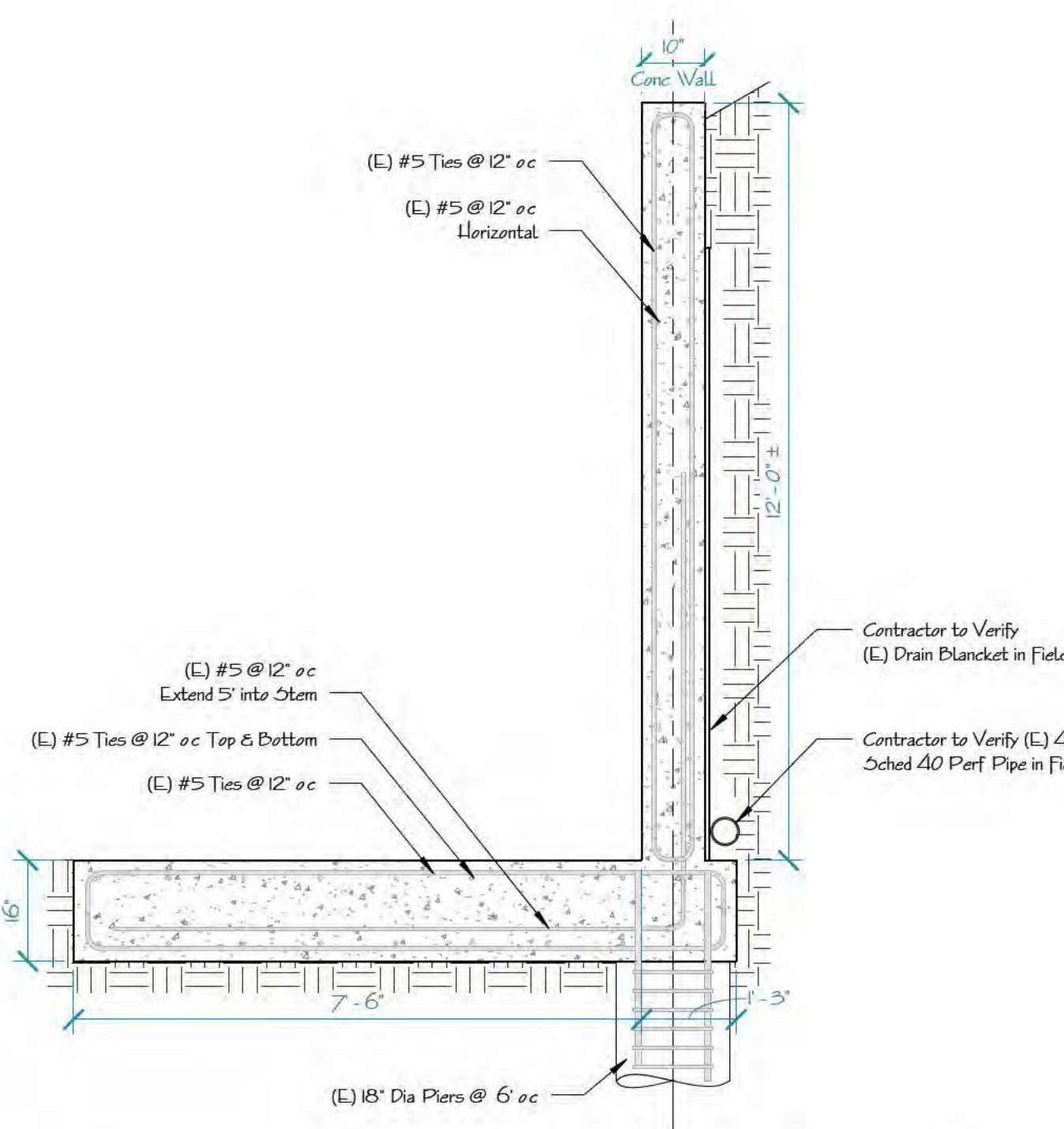




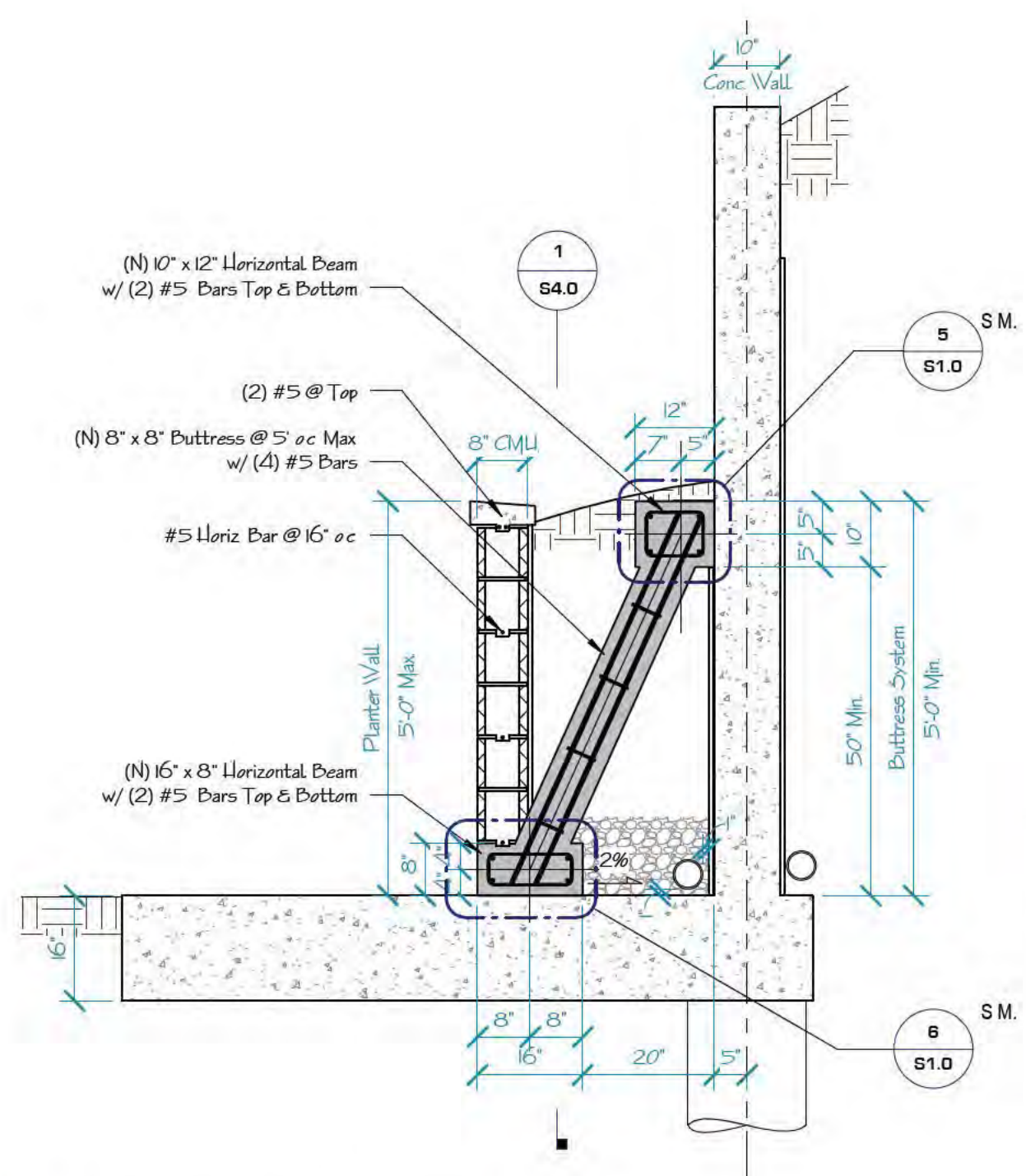
**Retaining Wall Finish Material Notes**  
 Retaining Walls will be finished with stucco and painted to match the main house.

- Wall Vertical Surfaces  
 Kelly-Moore "Stacked Stone" (KM5792)  
 LRV = 26
- Wall Caps  
 Kelly-Moore "Sausalito Ridge" (KM5800)  
 LRV = 13

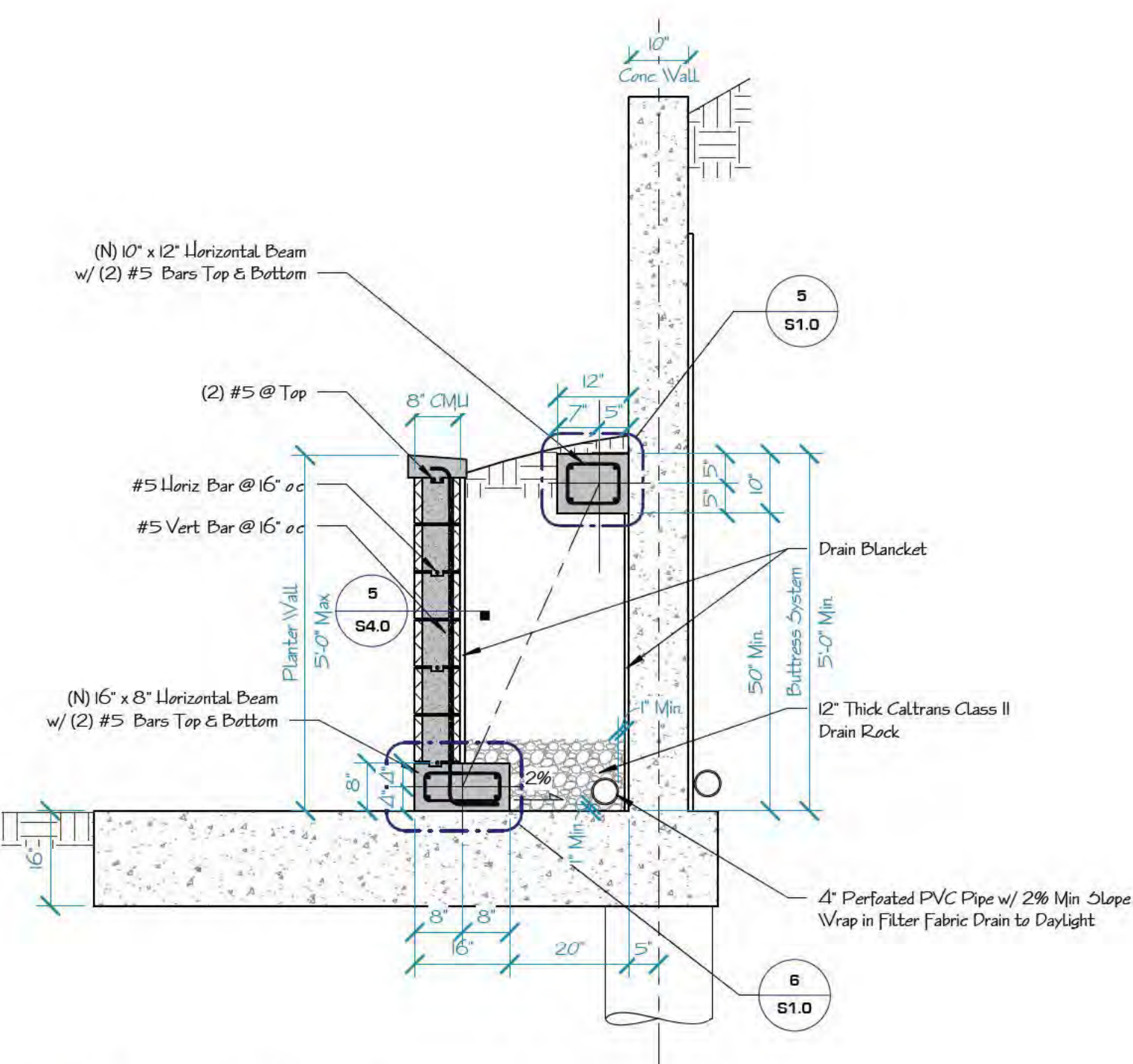
1 Wall Mitigation Plan - Buttress Plan @ Driveway Area  
 3/16" = 1'-0"



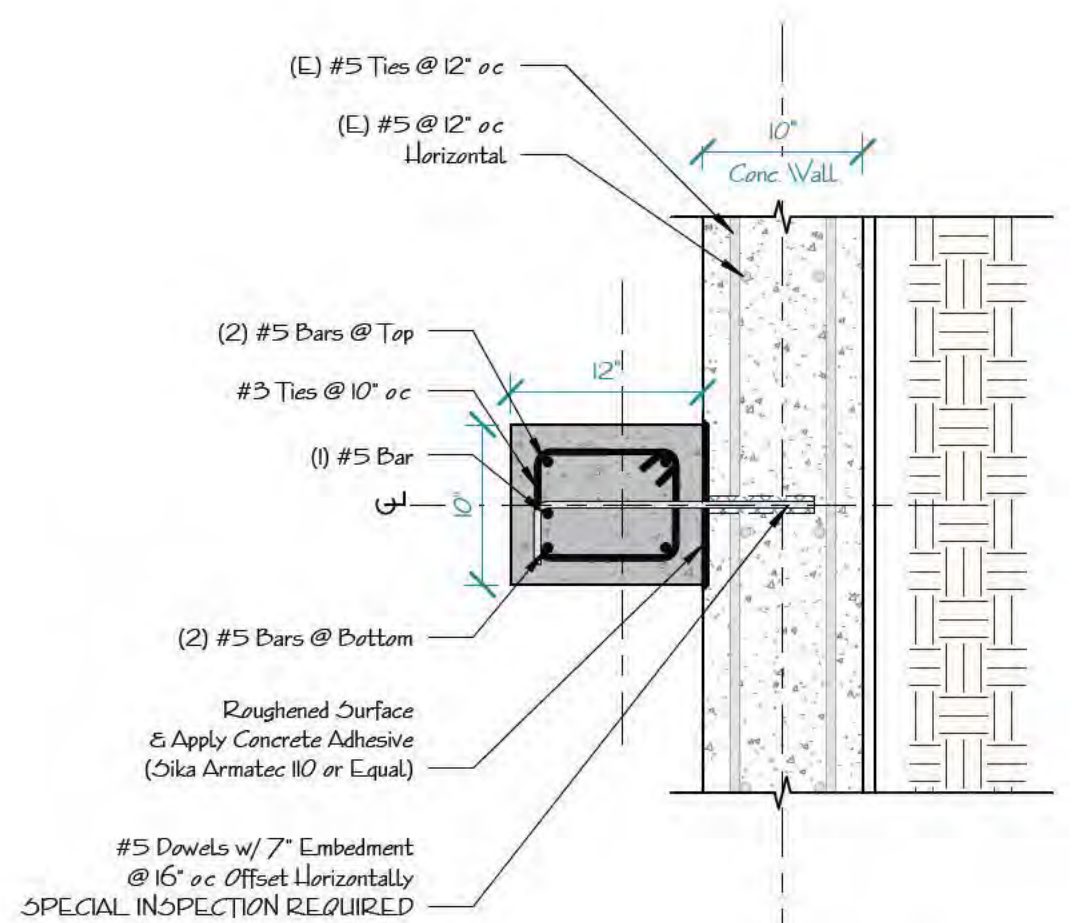
2 Concrete Retaining Wall Section (As-Constructed)  
 1/2" = 1'-0"



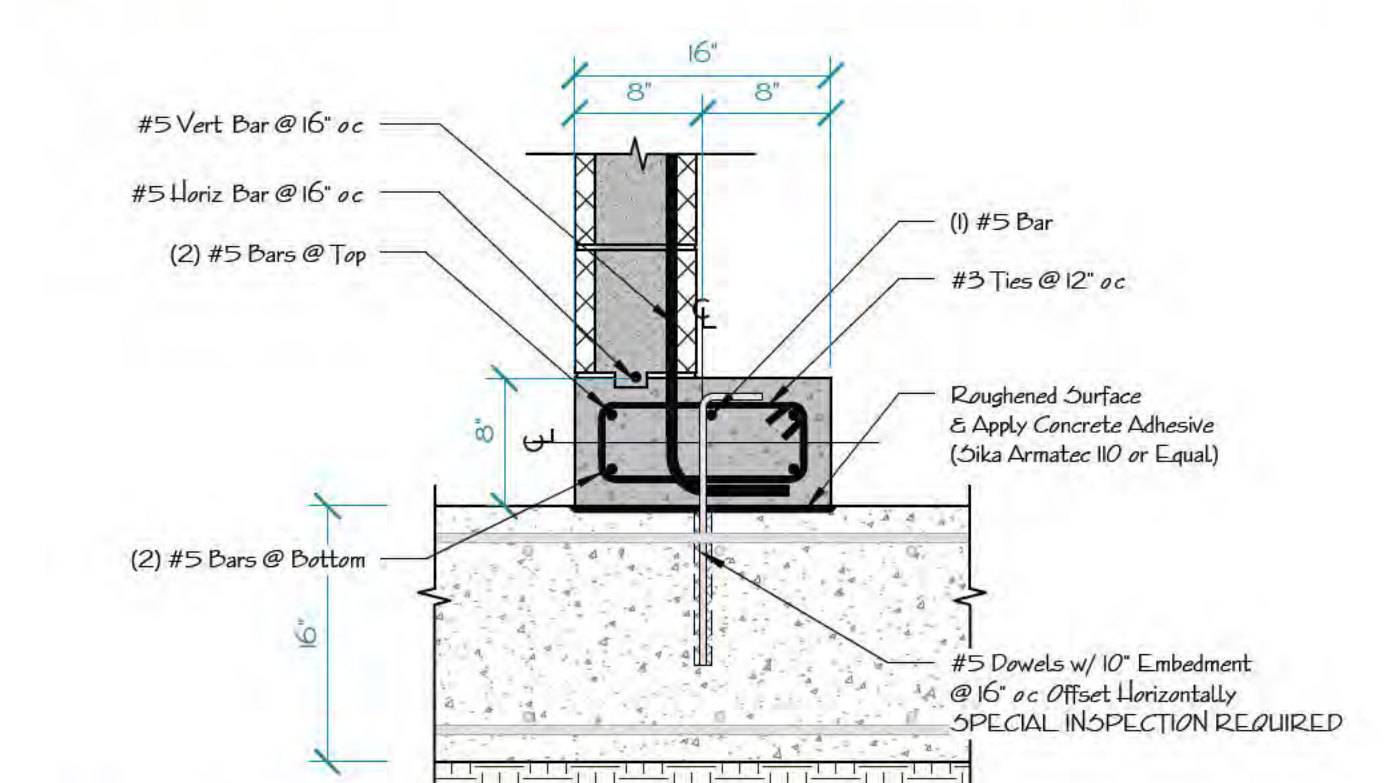
3 Retaining Wall Section @ Buttress  
 1/2" = 1'-0"



4 Retaining Wall Section Between Buttresses  
 1/2" = 1'-0"



5 (N) Concrete Beam to (E) Concrete Wall @ Driveway  
 1" = 1'-0"



6 (N) Concrete Beam to (E) Toe Slab @ Driveway  
 1" = 1'-0"

• ABR ENGINEERS' LIABILITY IS LIMITED TO THE REPAIR OF DAMAGED AREAS PERTAINING TO STRUCTURAL FRAMING AND NOT RESPONSIBLE FOR "AS-BUILT" CONDITION AND WATERPROOFING.  
 • GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHOD AND TECHNIQUE ON CONSTRUCTION.  
 • THIS PLAN SHALL NOT BE USED AT OTHER LOCATION EXCEPT AT THE ADDRESS STATED ABOVE.



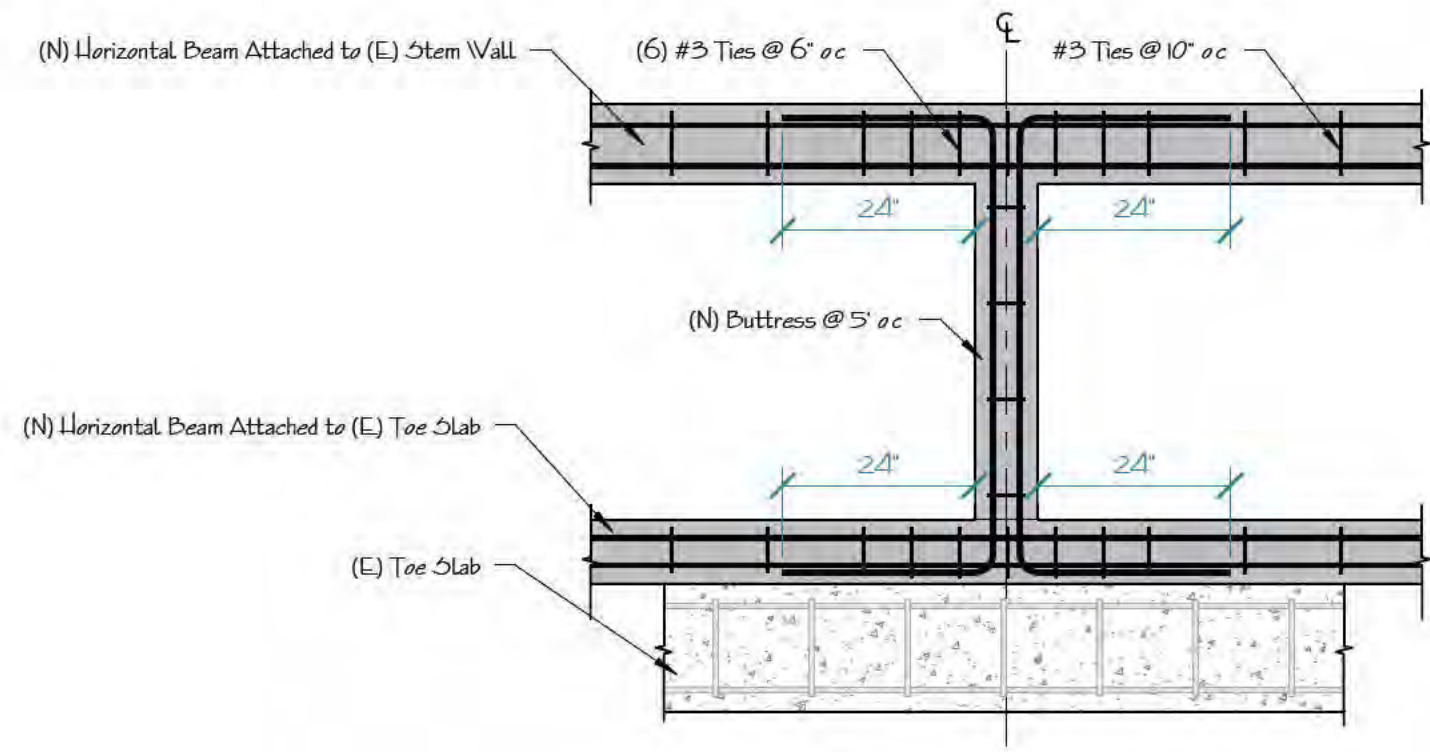




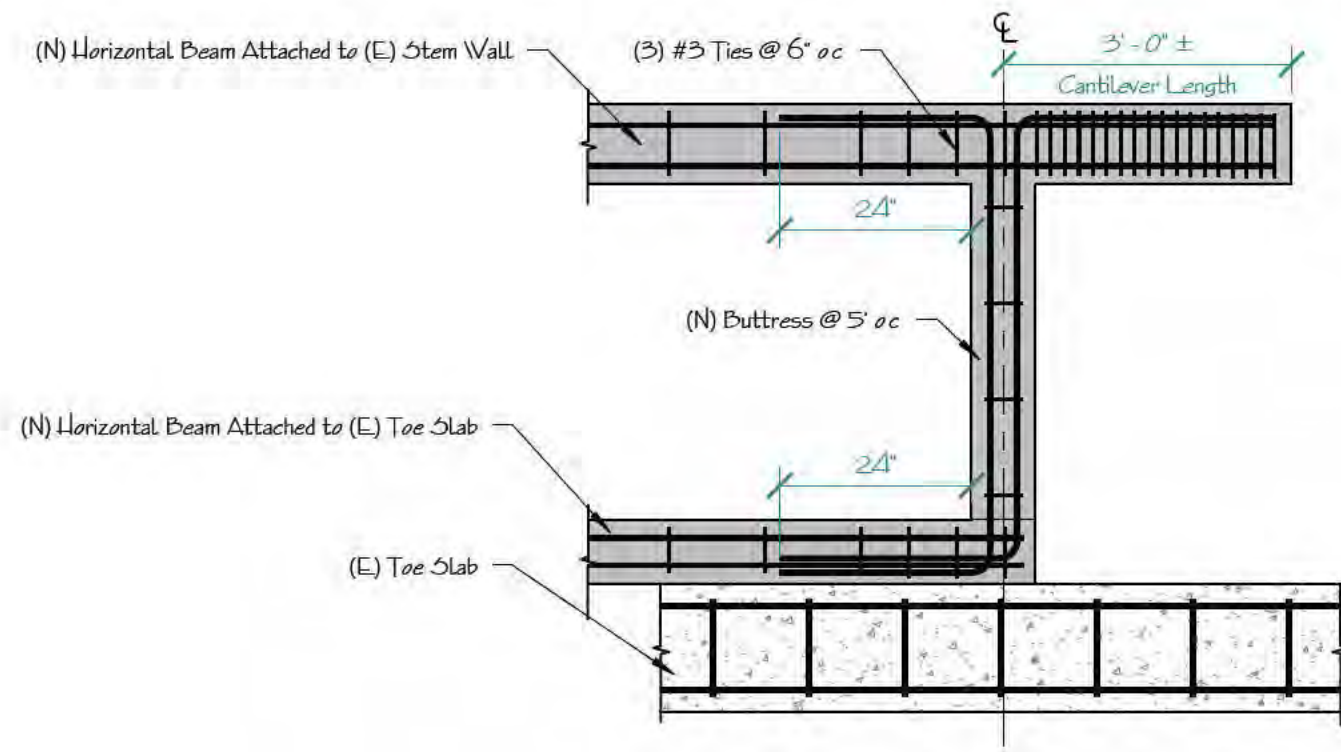




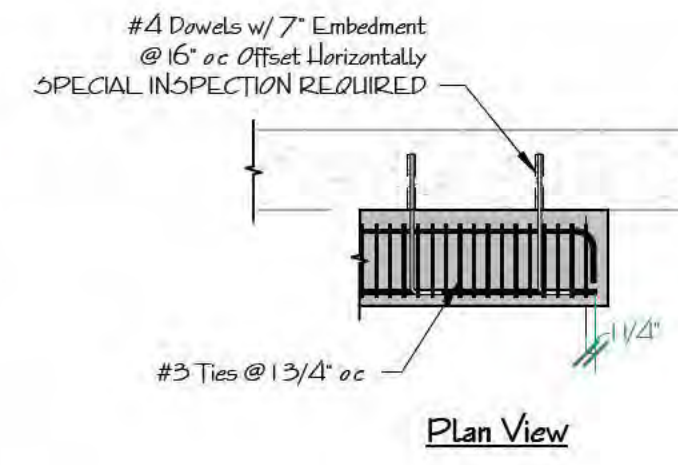




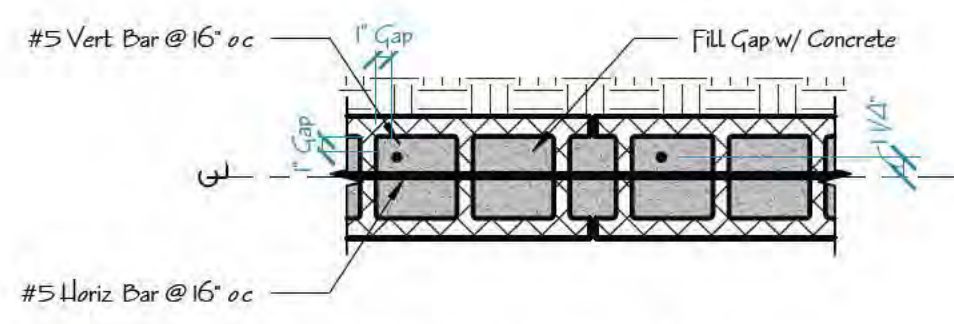
1 Buttress Elevation  
1/2" = 1'-0"



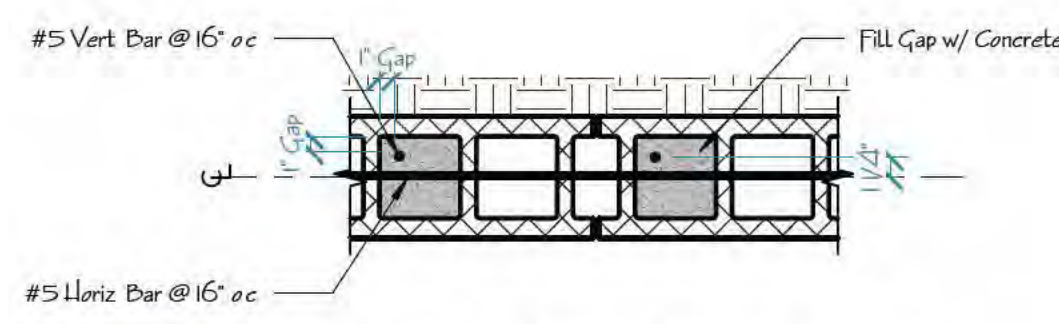
2 Buttress Elevation @ Cantilever  
1/2" = 1'-0"



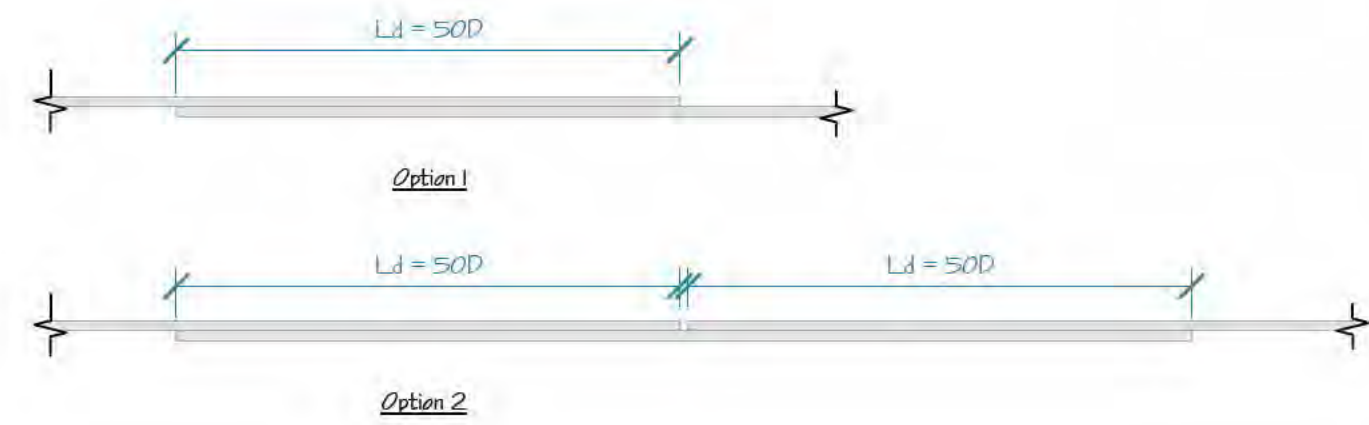
Plan View



4 Plan View - CMU Retaining Wall  
1" = 1'-0"



5 Plan View - CMU Planter Wall  
1" = 1'-0"



6 Rebar Splice - Typical  
1" = 1'-0"



7 Stirrup Hook - Typical  
1" = 1'-0"

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 • THIS PLAN SHALL NOT BE USED AT OTHER LOCATION EXCEPT AT THE ADDRESS STATED ABOVE.



No.	Date	Description

**abr engineers**  
 structural • marine • foundation • forensic

4340 Armand Way  
 Suite 220  
 San Jose, CA 95118  
 Tel: 408-286-7827  
 Fax: 408-286-7831  
 www.abrEngineers.com

Reinforcement Details

Campbell Residence Site Improvements  
 17020 Los Cerritos Drive  
 Los Gatos, CA 95030

Date:	28 Mar 2022
Project No:	Project No.
Drawn By:	Author
Design By:	Designer
Checked By:	Checker
Scale:	As indicated

Sheet  
**S4.0**



-----Original Message-----

From: Ian Smith [REDACTED]  
Sent: Tuesday, June 25, 2024 5:20 PM  
To: Erin Walters <EWalters@losgatosca.gov>  
Subject: 17020 Los Cerritos Drive

[EXTERNAL SENDER]

Hi Erin,

I live opposite this site at [REDACTED] Los Cerritos Drive. The original work in 2015/16 created a lot of noise/trucks/loud beeping even at weekends. If this project is reapproved I'd ask that work and truck access be restricted to reasonable weekday hours 8-5. Thanks,

Ian Smith

[REDACTED]  
[REDACTED]

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