



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
DECEMBER 13, 2023
TOWN COUNCIL CHAMBERS
110 EAST MAIN STREET
LOS GATOS, CA**

*Jeffery Barnett, Chair
Steven Raspe, Vice Chair
Susan Burnett, Commissioner
Kathryn Janoff, Commissioner
Melanie Hanssen, Commissioner
Emily Thomas, Commissioner
Vacant, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

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Live and Archived Planning Commission meetings can be viewed by going to:
www.LosGatosCA.gov/TownYouTube***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

**TOWN OF LOS GATOS
PLANNING COMMISSION MEETING AGENDA
DECEMBER 13, 2023
110 EAST MAIN STREET AND TELECONFERENCE
TOWN COUNCIL CHAMBERS
LOS GATOS, CA
7:00 PM**

IMPORTANT NOTICE

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions listed below. The live stream of the meeting may be viewed on television and/or online at www.LosGatosCA.gov/TownYouTube.

PARTICIPATION

To provide oral comments in real-time during the meeting:

- **Zoom webinar:** Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: <https://losgatosca-gov.zoom.us/j/89443683218?pwd=OEIzY05VWmp2b0xSVHlUS0FVaUJlVUT09>.
- Passcode: 533005. You can also type in 894 4368 3218 in the “Join a Meeting” page on the Zoom website at <https://zoom.us/join>.
 - When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand.
- **Join by telephone:** Join by Telephone: Dial: USA 877 336 1839 US Toll-free or 636 651 0008 US Toll. Conference code: 686100
 - If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- **In-Person:** If you wish to speak during the meeting, please complete a “speaker’s card” located on the back of the chamber benches and return it to the Vice Chair. If you wish to speak to an item on the agenda, please list the item number. If you wish to speak on an item NOT on the agenda, please list the subject and you may speak during the “Verbal Communications” period. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

When called to speak, you may be asked to provide your full name and your town/city of residence. This identifying information is optional and not a requirement for participation. Please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting. If you wish to speak to an item or items on the Consent Calendar, please state which item number(s) you are commenting on at the beginning of your time.

If you are unable to participate in real-time, you may email to Planning@losgatosca.gov the subject line “Public Comment Item #__” (insert the item number relevant to your comment) or “Verbal Communications – Non-Agenda Item.” Comments received by 11:00 a.m. the day of the meeting will be reviewed and distributed before the meeting. All comments received will become part of the record.

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
DECEMBER 13, 2023
7:00 PM**

MEETING CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the October 25, 2023 Planning Commission Meeting
2. Draft Minutes of the November 8, 2023 Planning Commission Meeting

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

3. Open a Public Hearing for a Request for Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with Reduced Setbacks on Non-Conforming Property Zoned R-1D and Continue the Matter to January 10, 2024. **Located at 212 Thurston Street.** APN 410-15-039. Architecture and Site Application S-23-009. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303(a): New Construction or Conversion of Small Structures. PROPERTY OWNER/APPLICANT: Meleah Guillard. PROJECT PLANNER: Maria Chavarin.
4. Draft 2024 Planning Commission Meeting Calendar

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

5. Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for a Constructed Eight-Foot Fence Located in the Rear Yard on Property Zoned R-1:10. **Located at 224 Old Adobe Road.** APN 407-09-029. The Project is Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of

Small Structures and Section 15301: Existing Facilities. PROPERTY OWNER/APPLICANT: Vinodha Bala. PROJECT PLANNER: Savannah Van Akin.

- [6.](#) Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. **Located at 300 Marchmont Drive.** APNs 532-10-01 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.
- [7.](#) Requesting Approval for Reduced Front Yard Setbacks on a Non-Conforming Property Zoned R-1:8. **Located at 517 San Benito Avenue.** APN 410-18-018. Architecture and Site Application S-23-024. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. Property Owner: Candace Zaheri. Applicant: John Gutknecht. Project Planner: Ryan Safty.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
OCTOBER 25, 2023**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, October 25, 2023, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Chair Jeffrey Barnett, Vice Chair Steve Raspe, Commissioner Susan Burnett, Commissioner Melanie Hanssen, and Commissioner Kathryn Janoff

Absent: Commissioner Emily Thomas

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

Joseph Enns

- I'm representing Friends of Los Gatos Creek, working with Marico Sayoc, trying to keep the waterways clean. Jamie is doing great, and I really love the Police Department. I don't know if any of you know Superior Court, Julie, she said the Town needs a lot of help. I know a lot of these homeless people, and I'm a disaster awareness response team person.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – September 13, 2023

MOTION: **Motion by Vice Chair Raspe** to approve adoption of the Consent Calendar. **Seconded by Commissioner Hanssen.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 17200 Los Robles Way

Lot Line Adjustment Application M-23-001

APNs 532-36-075, -076, and -077.

Applicant: Tony Jeans

Appellant: Alison Steer

Property Owners: Daran Goodell, Trustee and Mark Von Kaenel

Project Planner: Ryan Safty

Consider an Appeal of a Development Review Committee Decision to Approve a Lot Line Adjustment Application in Accordance with California Government Code Section 66412(d) for Three Adjoining Lots on Property Zoned R-1:20. Statutorily Exempt from CEQA as a Ministerial Approval in Accordance with Public Resources Code Section 21080(b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. Application is Only for Ministerial Approval of a Lot Line Adjustment Pursuant to Section 66412(d) of the Subdivision Map Act.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Babak Naficy, Appellant's Attorney

- I represent the appellant in this appeal, as well as the ongoing case between the parties. As has been said, the lot line adjustment before you has been the subject of litigation. The only purpose for this lot line adjustment is to turn a currently substandard and unbuildable lot into one that can accommodate a residence. Staff and the applicant insist the project is not subject to CEQA review because it is a ministerial approval, and also because the project doesn't include any plans for a building. As I will explain, your decision tonight will have substantial impact on how these lots will be developed; is subject to CEQA; is not ministerial in the sense that it requires discretionary judgment; and it will potentially impact the environment. Staff previously on this same project concluded that the same lot line adjustment was discretionary but subject to a specific CEQA exemption, but now staff says the opposite is true. One of the findings staff is putting before the Planning Commission is the finding that the intensity of the new development is consistent with the surrounding development and with the Town at large. You have to look at the intensity of this project, look at the surrounding neighborhood, and make a decision, and that decision requires exercise of judgment, which makes it discretionary. The main point is one of the requirements to ensure the project is consistent with all applicable regulations is to change the access point to give Lots 2 and 3 frontage. Staff says this would be through an offer of dedication of an easement for a future cul-de-sac that would provide both access and frontage for Lots 2 and 3. But for the cul-de-sac to be able to serve as frontage for these lots, it has to be a street. For it to be a street, it has to provide primary access to these lots.

Therefore by accepting the line drawn on the map for the cul-de-sac, you are essentially approving a new street that must be built; otherwise you can't make a finding that the lot line adjustment does comply with the frontage requirement. Even if you buy the argument that the lot line adjustment approval is itself exempt, approving this street that is a cul-de-sac and that has potential impacts is not exempt because it is capable of significant environmental impacts.

Tony Jeans, Applicant

- I wonder why we are here. The DRC approved this a year or so ago. You as the Commission denied the appeal. The Council then denied the second appeal. Council's denial was litigated and during the litigation it was determined that an incorrect approval process had been used, so we went back to DRC using Section 66412(d) of the Subdivision Map Act, which is how all lot line adjustments are meant to be addressed. The DRC approved this a second time a month or so ago, and it has now been appealed to you. According to 66412(d) this is a ministerial process. When we designed the three-lot layout we abided by all the rules of Section 66412(d): the lot line adjustment is less than four lots; there is no increase in the number of parcels; and the lots are legal, because they were ratified by a Certificate of Compliance by the Town before the lot line adjustment started. The Appellant did not appeal this process, so they are three legal lots and will remain as three legal lots after the lot line adjustment. Is the proposed use consistent with the General Plan? Yes, it is low-density residential and will remain so with no new construction proposed with this application. Is the proposal consistent with the district zoning? Yes, and staff analysis shows each lot meets the requirements for an R-1:20 zoning lot. We chose to offer the dedication in order to make our lots work, and if approved we will be asked to make that dedication formal so that it ultimately will become a cul-de-sac, the access to Lots 2 and 3. My only conversation with the Appellant revolved around the view from their back yard and what would happen to it if a house were built there on Lot 2. They want to keep the park-like setting they have now, but that is not a reason for appealing this lot line adjustment; it is unfair to the owners, so I ask the Planning Commission to deny the appeal yet again and allow the project to proceed. We have met all the rules for the lot line adjustment.

Shannon Jones, Applicant

- I represent the applicant. The appellant is trying to frame this application or project as a development project, not as a lot line adjustment, and they are vastly different. By trying to call it a development project they are trying to wedge it into CEQA, and that is legally inaccurate. My office has provided a letter providing case law supporting the Town's position. It is interesting that the appellant's attorney's first comment was the only purpose of this project was for the construction of a substandard residence. A residence is not before you today, development is not in front of you today, and in fact he made at least five or six references to a development and a development application. This is not in front of you as a development application, it is in front of you as a lot line adjustment, and as such most if not all of the appellant's comments are inapplicable, because what is not

being applied for is a development as they want to make it; it's a lot line adjustment. It is very simple. There are three existing lots, they are asking to move the lot lines, and move the boundaries of those lots, which is exactly what Government Code Section 66412(d) is designed for. CEQA legally doesn't apply, and nothing else that has been raised is applicable either. The appellant wants to say the staff report changed; that's not true when it comes to the access point. In the first report they noted the access point and wanted to change it, and in the second report they recognized that there was an access point, so it was not a change in position, as the appellant argues, it was a further review and clarification.

Babak Naficy, Appellant's Attorney

- I have not suggested this is a development project or you are being asked to approve homes, but I am suggesting that you are being asked, as a condition of this lot line adjustment in order to ensure that it complies with your own regulation as it applies to frontage, to approve the cul-de-sac, which the applicant was very clear would be the access point to these lots, and were it not to be the access point to these lots it couldn't be used to satisfy the frontage requirement. You know precisely where that access point is going to be, and by approving this lot line adjustment, including the condition of the dedication of that easement, you are essentially fixing the entrance, a new entrance that doesn't exist now, to Lots 2 and 3, and any future development proposed for these two lots will assume and will include the access point as its entry point to the two lots, so that's going to be fixed. Your staff has not told you how many trees will need to be cut, what the slope is going to be, or how that will affect the drainage. All of that is being deferred to when the applicant will come back with plans for these houses, except that you've already decided to allow the easement, to allow the access point, and if you take away nothing else from this presentation, just please consider that by approving the easement, by approving a new cul-de-sac that will be forever the access for these two lots, you have made the discretionary decision that is capable of affecting the environment, and as such will require environmental review under CEQA. As you saw, neither the applicant's attorney nor staff had any explanation as to why the Town has changed its legal analysis and conclusions even though the project hasn't changed; that's a classic abuse of discretion.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Janoff** to deny the appeal and uphold the decision of the DRC and approve a Lot Line Adjustment Application for 17200 Los Robles Way. **Seconded by Commissioner Hanssen.**

VOTE: **Motion passed 4-1 with Commissioner Burnett dissenting.**

OTHER BUSINESS:

3. 110 Wood Road

Planned Development Application PD-20-001

Environmental Impact Report EIR-21-002

APN 510-47-038

Property Owner: Covia Communities

Applicant: Frank Rockwood

Project Planner: Sean Mullin

Study Session to Discuss Revisions to a Previously Considered Project Requesting Approval of a Planned Development for a Senior Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. An Environmental Impact Report (EIR) and Mitigation Monitoring and Reporting Program have been Prepared for this Project.

Jennifer Armer, Planning Manager, presented the staff report.

Opened Public Comment.

Chris Ichien, Applicant

- I represent Front Porch for Los Gatos Meadows. We're here today to get feedback from the Planning Commission and plan to come back with an updated formal submittal. The most overwhelming feedback we have heard from our neighbors and the Planning Commission and Town Council is the visual impact of the new Meadows. Why the update is taking so long is that Covia became affiliated with Front Porch, another nonprofit organization, with that came interim executive management and that delayed the process for us. Also, increased construction and insurance costs have us reevaluating our project as well. Effective April 2023, we have a new CEO, Sean Kelly, who has jump-started this project.

Frank Rockwood, Applicant

- The concept plan we are putting forth tonight is a work in progress. We are now proposing 186 independent living units and 24 care units. The care units would take the exact same footprint of the prior proposal, so we're looking at potentially doubling up some of those spaces, or making those spaces more efficient to accommodate more residents. We have worked hard to identify where we might add scale and concluded that anything that goes off the development pad would be very detrimental in terms of additional impact on tree removals and grading, so we have stuck to the existing development pad. The tree removal and tree replacement in our proposal is not because our development pad is getting bigger; it's almost entirely due to meeting fire standards. There has been a pattern of concern about the visual impact of the front portion of the site. We are generally proposing to move massing from the front of the site to the rear of the site. We are also proposing to remove the penthouse units, reduce the average square footage of the units, and to

modestly decrease the amount of off haul. In addition, we hope to acquire 142 S. Santa Cruz next week, because we see an opportunity to do a lot of community-facing offerings in that building. It's about 4,000 square feet. We think some of our current offerings might make sense to implement in Los Gatos in this new building.

Julie Southern

- I live at 135 Wood Road and represent my neighbor Andy and myself. The Meadows have been fantastic neighbors, and we were very sad to see them close down, we are very supportive of the construction process and look forward to their return. The one item that comes up is appreciation for the understanding of height, what was proposed a year-and-a-half ago, and the majority of complaints were that you could see it from downtown. From Andy's view it is right out his front window, and from my view the story poles were just right out my window. If they go up another two stories, as proposed, it's going to block my front view.

Frank Rockwood, Applicant

- We are working against the feasibility constraint and are trying to accommodate the view impacts. We did not make any changes with the intent that it would worsen Julie and Andy's view. It is a complicated site and the story poles are difficult to read. We plan to respond by looking at how our design would affect their view lines. We're looking forward to your feedback.

Closed Public Comment.

Commissioners discussed the matter.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Jennifer Armer, Planning Manager

- The Town Council considered an appeal of the Winchester assisted living project. The appeal was denied and the decision to approve that project was upheld.
- The Town Council discussed fire safe regulations process, often referred to as PRC 4290, and based on the description of the process and the work with the Santa Clara County Fire Department no changes were made to that process.
- The Town Council approved the Rezoning and General Plan Amendment for the property at 15810 Los Gatos Boulevard as recommended by the Planning Commission.
- There has been additional progress on the Town's Housing Element. The Housing Element Advisory Board met on September 28, 2023. The revised draft of the Housing Element was submitted to the HCD on October 2, 2023, and comments are expected from the State by December 1, 2023.
- The Town Council is currently reviewing the Housing Element Overlay Zone that is associated with the Housing Element and its ongoing consideration will continue at their next meeting on November 7, 2023.

- Also at its November 7, 2023, meeting the Town Council will consider the Accessory Dwelling Unit Ordinance.
- Town Council story pole discussion was started on August 1, 2023, and the discussion is scheduled to continue on December 5, 2023.
- The Town is currently open for Commission recruitments, including several positions on the Planning Commission. The deadline for submittals is 4:00 p.m. on Friday, November 10, 2023. Interviews will be December 6, 2023.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

Housing Element Advisory Board

Commissioner Hanssen

- The HEAB reviewed the latest draft of the Housing Element, which was submitted to the State for review.

General Plan Committee

Commissioner Hanssen

- The Committee met to consider a request to change a Shannon Road property's land use designation in the General Plan from Agriculture to Hillside Residential. The consensus was to not recommend approval to the other deciding bodies, because it was not clear to what extent housing would be feasible.

Historic Preservation Committee

Commissioner Burnett

- The HPC met October 25, 2023 and considered four applications.

ADJOURNMENT

The meeting adjourned at 8:52 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the October 25, 2023 meeting as approved by the Planning Commission.

/s/ Vicki Blandin

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 2

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
NOVEMBER 8, 2023**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, November 8, 2023, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Chair Jeffrey Barnett, Commissioner Melanie Hanssen, Commissioner Kathryn Janoff, and Commissioner Emily Thomas.

Absent: Vice Chair Steve Raspe, Commissioner Susan Burnett.

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

None.

PUBLIC HEARINGS

1. 501 Roxbury Lane

Fence Height Exception Application FHE-23-004.

APN 407-31-026

Property Owner/Applicant/Appellant: Jared Susoev

Project Planner: Maria Chavarin

Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request to Relocate an Existing Six-Foot Tall Fence Within the Required Street Side Yard Setback on Property Zoned R-1:8. Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures, and Section 15301: Existing Facilities.

Maria Chavarin, Assistant Planner, presented the staff report.

Opened Public Comment.

Jared Susoev, Applicant/Appellant

- There is a current six-foot fence at the property, but a remodel forces us to move the fence, and I understand any addition or fence movement is to be three-feet tall. It is my back yard that is exposed to the foot traffic, animals, and cars going up and down More Avenue. Existing neighborhood homes on More Avenue have six-foot tall fences abutted to their property lines, so my fence will maintain a consistent feel with the neighborhood. My neighbors are all in favor of me moving the fence and no one has concerns. We are at the intersection of More Avenue and Roxbury Lane where there is a traffic problem with teenagers driving through there recklessly. This fence adds protection from kids spinning donuts in this intersection, which has been happening since long before I bought the property. Safety for my family and pets is my number one concern.

Jesse Tannenbaum

- I'm the immediate next-door neighbor to the north of the subject site and we share a property line. A short three-foot fence is not in step with the neighborhood where many side and back yards face the roadway and have six-foot fences. There is also a safety factor with respect to the family's two grade school children who play in the fenced-in yard area. I fully support the approval of a six-foot fence on the adjacent property with no objection at all.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Janoff** to grant an appeal of a Community Development Director decision to deny a fence height exception request and approve the fence height exception for 501 Roxbury Lane due to special circumstance. **Seconded by Commissioner Thomas.**

The maker of the motion clarified that the motion would include the requirement that the proposed six-foot fence be located starting from the end of the existing fence facing Roxbury Lane, and then extend along More Avenue toward the rear of the lot and not be located closer than four feet from the property line/sidewalk.

VOTE: **Motion passed 3-1, with Commissioner Hanssen dissenting.**

2. 124 Garden Hill Drive

Fence Height Exception Application FHE-23-005

APN 424-23-084

Property Owner: Rushikesh Kulkarni

Applicant/Appellant: Martin Lettunich

Project Planner: Ryan Safty

Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback, Street Side Yard Setback, and Corner Sight Triangle on Property Zoned R-1:8. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures, and Section 15301: Existing Facilities.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Martin Lettunich, Applicant/Appellant

- In the photograph shown on screen the portion of the fence outlined in red along the side yard was approved and permitted, so I don't know why all of a sudden that is not permitted. It used to go all the way around, and then we removed the section just above the three-foot line. The problem we have is there is absolutely no problem with viewing any traffic or pedestrians at the site; there is plenty of room on the sidewalk. The main issue here is there isn't an intersecting street. Our lot abuts only one street, Garden Hill Drive, and under most codes that is considered an interior lot, not a corner lot, so the rules the Town is applying to the street and our property are not appropriate to begin with. As shown in the video, there is absolutely no vision problems from the vehicle. The concern regarding the coyote is because the owner has small children that play in the yard. The required setback would take almost a third of the owner's yard away. The neighbors are supportive of the fence height, and they have the support of the definition under what the streets are and whether or not there needs to be a traffic triangle there.

Michael

- I live on Garden Hill Drive and drive past this corner every day. I very much support the height of this fence; in fact, when I first saw the shorter fence, I thought that it was a mar in the vision of the neighborhood and it was strange to look into my neighbor's back yard. I have no concerns about visibility as I'm coming around Garden Hill Drive in either direction, and I'm aware of the coyotes and other wild animals and agree there is a safety risk for his family.

Himanshu

- I live on Farm Hill Way, the adjoining street. I also cross this street daily and I have had not one visibility problem on this corner, so I don't think that's a concern. I agree with the concern regarding the coyotes and safety and do feel that a higher fence would be beneficial.

Niket

- We live just across the street on Green Hill Way. I have no concerns with the height of the fence being increased. In fact, our kids play in Rushikesh's back yard and we get worried with the shorter fence for our kids as well.

Nguyen Luu

- I live on Green Hill Way. I also drive through this road every day on my way to Highway 17. When I first saw the fence one side was high and one was low, and it looked strange. The safety concern is my car was broken into on my cul-de-sac, and two of my neighbors have had people come into their yards and break into their cars at night, so the reality is Los Gatos is not a safe town and it is important to feel safe living here.

Martin Lettunich, Applicant/Appellant

- One thing I want to point out is when you look at an intersecting street the corner lots are usually on each side of that street and it forms the area that the triangle applies to; there is no such thing on this street. There is no shoulder or curb on our side for a triangle to fit on, and on the other side it's the two lots that are on either side of Farm Hill Way that would be considered corner lots. Our lot is not a corner lot.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Thomas** to deny an appeal of a Community Development Director to deny a fence height exception request for 124 Garden Hill Road. **Seconded by Commissioner Hanssen.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

REPORT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

Jennifer Armer, Planning Manager

- The Town Council met November 7, 2023:

MINUTES OF PLANNING COMMISSION MEETING OF NOVEMBER 8, 2023

- Continued discussion on and creation of the Housing Element Overlay Zone with a vote to apply it to all but one of the sites in the Sites Inventory.
- The discussion on applying the Housing Element Overlay Zone to the site at 101 South Santa Cruz Avenue, also referenced as the post office site, was postponed to a future meeting when further information is available.
- Adopted the Accessory Dwelling Unit Ordinance updates, choosing to retain the parking requirements rather than the Planning Commission recommendation to remove them, but otherwise upheld the Planning Commission's recommendations as well as some additional staff-recommended design standards.
- Discussion of the Story Pole Policy was initiated on August 1, 2023 and scheduled to continue to the Town Council on December 5, 2023.
- Planning Commission recruitments remain open until November 10, 2023, due at 4:00 p.m. Applications are available online through the Clerk Department. Interviews are scheduled for December 6, 2023.
- A special Planning Commission meeting is scheduled for November 15, 2023, to consider the updated draft of the Housing Element.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

None.

ADJOURNMENT

The meeting adjourned at 8:29 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the November 8, 2023 meeting as approved by the Planning Commission.

/s/ Vicki Blandin

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 3

DATE: December 8, 2023
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Open a Public Hearing for a Request for Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with Reduced Setbacks on Non-Conforming Property Zoned R-1D and Continue the Matter to January 10, 2024. **Located at 212 Thurston Street.** APN 410-15-039. Architecture and Site Application S-23-009. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303(a): New Construction or Conversion of Small Structures. PROPERTY OWNER/APPLICANT: Meleah Guillard. PROJECT PLANNER: Maria Chavarin.

REMARKS:

Staff recommends that the Planning Commission open the public hearing to receive any public comment from interested parties in attendance, close the public hearing, and continue the item to a date certain of January 10, 2024, to allow public notice on the project sign consistent with Town policy.

PREPARED BY: Maria Chavarin
Assistant Planner

Reviewed by: Community Development Director and Planning Manager

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PLANNING COMMISSION 2024 MEETING SCHEDULE

January	10
January	24
February	14
February	28
March	13
March	27
April	10
April	24
May	08
May	22
June	12
June	26
July	10
July	24
August	14
August	28
September	11
September	25
October	09
October	23
November	13
November	27 Cancelled due to Holiday
December	11
December	25 Cancelled due to Holiday

Regular meetings are held on the 2nd and 4th Wednesday of the month and start at 4:00 p.m. unless otherwise noted on agenda. Meetings are held in the Town Council Chambers, 110 E. Main Street and via Zoom.

**Special meetings may be scheduled with Commission consensus.*

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 5

DATE: December 8, 2023

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for a Constructed Eight-Foot Fence Located in the Rear Yard on Property Zoned R-1:10. **Located at 224 Old Adobe Road.** APN 407-09-029. The Project is Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. PROPERTY OWNER/APPLICANT: Vinodha Bala. PROJECT PLANNER: Savannah Van Akin.

RECOMMENDATION:

Deny the appeal and uphold the Community Development Director decision to deny a fence height exception request for a constructed eight-foot fence located in the rear yard on property zoned R-1:10, located at 224 Old Adobe Road.

PROJECT DATA:

General Plan Designation: Low Density Residential

Zoning Designation: R-1:10 – Single-Family Residential

Applicable Plans & Standards: General Plan, Residential Design Guidelines

Parcel Size: 15,362 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:10
South	Residential	Low Density Residential	R-1:10
East	Residential	Low Density Residential	R-1:10
West	Residential	Low Density Residential	R-1:10

PREPARED BY: Savannah Van Akin
Assistant Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities; and
- As required by Section 29.40.320 of the Town Code for granting a Fence Height Exception.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the east side of Olde Adobe Road, across from Plaza La Posada (Exhibit 1). The property backs up to a channelized concrete creek, labeled Mistletoe Creek in Town Records. The immediate neighborhood consists of single-family residential properties.

On November 13, 2022, the Town received an application for a fence height exception requesting approval for a constructed eight-foot fence located along the rear property line of 224 Old Adobe Road. The Letter of Justification (Exhibit 4), site plan (Exhibit 5), and a photo of the built fence (Exhibit 6) were all submitted as a part of the application.

The Letter of Justification (Exhibit 4) stated that the new eight-foot fence, was built to replace an existing 10- to 11-foot tall fence. Staff asked the applicant/appellant to provide additional information, such as a photo and written description of the old fence that was replaced. The Town's Code Enforcement Officer received a complaint about the height of the rear fence in August 2023. Staff coordinated with the applicant further to obtain the additional information previously requested, and over the following two months the applicant provided a written description of the fence (Exhibit 7) and a photo of the old fence (Exhibit 8).

On October 9, 2023, the exception request was denied by the Community Development Director as none of the required findings per Town Code Section 29.40.0320 or 29.40.0325 could be made to support the request (Exhibit 9).

On October 19, 2023, the applicant/owner appealed this decision to the Planning Commission (Exhibit 10).

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the east side of Olde Adobe Road, across from Plaza La Posada (Exhibit 1). The property backs up to a channelized concrete creek, labeled Mistletoe Creek in Town Records. The immediate neighborhood consists of single-family residential properties.

B. Project Summary and Zoning Compliance

The property owner is appealing the Community Development Director decision to deny a fence height exception for a constructed eight-foot fence located along the rear property line.

DISCUSSION:

A. Fence Height Exception

The property owner has requested a fence height exception for approval of a constructed eight-foot fence located along the rear property line.

Per Town Code Section 29.40.0315 fences, walls, gates, or hedges may not exceed six feet in height, with one foot of lattice on top for seven feet in total.

Town Code Section 29.40.0320, provided below, allows an exception to any of the fence regulations if a property owner can demonstrate that one of the following conditions exist.

Sec. 29.40.0320. - Exceptions.

An exception to any of these fence regulations may be granted by the Community Development Director. A fence exception application and fee shall be filed with the Community Development Department and shall provide written justification that demonstrates one (1) of the following conditions exist:

- (a) Adjacent to commercial property, perimeter fences or walls may be eight (8) feet if requested or agreed upon by a majority of the adjacent residential property owners.*
- (b) On interior lots, side yard and rear yard fences, walls, gates, gateways, entry arbors, or hedges, behind the front yard setback, may be a maximum of eight (8) feet high provided the property owner can provide written justification that either:*
 - (1) A special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening; or*
 - (2) A special wildlife/animal problem affects the property that cannot be practically addressed through alternatives. Documented instances of wildlife grazing on gardens or ornamental landscaping may be an example of such a problem.*

DISCUSSION (continued):

- (c) At public utility facilities, critical infrastructure, and emergency access locations, exceptions may be granted where strict enforcement of these regulations will result in a security or safety concern.*
- (d) A special security concern exists that cannot be practically addressed through alternatives.*
- (e) A special circumstance exists, including lot size or configuration, where strict enforcement of these regulations would result in undue hardship.*

Town Code Section 29.40.0325, provided below, allows an exception for any existing nonconforming fence to be maintained or replaced in kind.

Sec. 29.40.0325. – Exemptions.

All fences, hedges, gates, and walls existing on the effective date of this ordinance [from which this section derives] that do not meet the regulations contained herein are nonconforming and are exempt from these regulations. Existing nonconforming fences may be maintained and/or replaced in kind, including historic stone or river rock walls.

The Letter of Justification (Exhibit 4) cited condition (b)(1) related to a special privacy concern, (b)(2) related to a special wildlife problem, (d) related to security, and (e) related to a special circumstance associated with the property configuration for justification of the exception request. The Letter of Justification (Exhibit 4) also outlined that the original eleven-foot tall rear yard fence (Exhibit 8) was replaced by this new eight-foot tall fence (Exhibit 6).

For condition (b)(1) staff could not support the exception. A special privacy concern could not be identified that could not be practically addressed by additional landscaping. The applicant/appellant stated that a line of screening hedges has been maintained on the property along the fence line, but was not sufficient for their privacy needs. The photo of the fence (Exhibit 6) shows landscaping that may be affected by seasonal loss of greenery, impacting the ability to help with privacy, as discussed in the Letter of Justification.

For condition (b)(2) staff could not support the exception. The applicant/appellant's Letter of Justification (Exhibit 4) states that the water that collects at the back of the property attracts wildlife such as coyotes, opossum, and bobcats. Staff could not support the exception based on condition (b)(2) without justification of the additional protection the extra one-foot in height would provide.

For condition (d) staff could not support the exception. The applicant/appellant's Letter of Justification (Exhibit 4) lists instances with neighbor conflict, hoarding, and horticultural practices as justification for a special security concern that cannot be practically addressed through other alternatives. Even with consideration of the concerns stated by the

DISCUSSION (continued):

applicant/appellant, staff was unable to make the findings required to grant the exception based on security.

For condition (e) staff could not support the exception. The applicant/appellant's Letter of Justification (Exhibit 4) lists yard topography as justification for a special circumstance. The applicant/appellant states that there is a rise in slope as you move from the fence line to the house. The Site Plan (Exhibit 5) shows this elevation change. Staff could not support the exception request under condition (e). The items described in Exhibit 4 and shown in Exhibit 5 are not significant enough for staff to grant the exception.

Town Code Section 29.40.0325 allows an exception for any existing nonconforming fence to be maintained or replaced in kind. The applicant/appellant provided the following information in their Letter of Justification (Exhibit 4): "The original fence along this property line that was in place when we purchased the house had a combined height of fence and privacy screen of 10-11 feet; we replaced this old existing fence with a shorter one." Staff requested additional information from the applicant/appellant to determine if the replacement was made in kind. On August 22, 2023, the applicant provided a written description of the fence (Exhibit 7). On October 5, 2023, the applicant was able to provide a photo of the old fence (Exhibit 8).

Per Town Code Section 29.40.0325 – Exemptions, staff could not make the findings necessary to support the exemption. The photo of the previous fence (Exhibit 8) shows a different material than the fence it was replaced with (Exhibit 6). The previous lattice material was not replaced in kind, as the current fence was built with a solid material. The photo (Exhibit 8) and written description (Exhibit 7) did not provide enough information for staff to be able to determine that the existing nonconforming fence was maintained and/or replaced in kind.

The Community Development Department denied the fence height exception on October 9, 2023 (Exhibit 9) for the reasons outlined above.

B. Appeal Analysis

The Decision of the Community Development Director to deny the fence height exception was appealed on October 19, 2023 (Exhibit 10). The appeal form included a written letter providing additional reasoning for the request.

Exhibit 10 provided written justification on the topics discussed above, specifically referencing Town Code Section 29.40.0325 allowing an exemption for any existing nonconforming fence to be maintained or replaced in kind, and Section 29.40.0320 (b)(1)

DISCUSSION (continued):

for special privacy concerns that cannot be practically addressed by additional landscaping or tree screening.

The Planning Commission should review the exception justification points listed above to determine if the exception request can be approved.

C. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The property owner is requesting that the Planning Commission reconsider the Community Development Director's decision to deny the fence height exception to allow the constructed eight-foot fence located in the rear yard.

B. Recommendation

Staff recommends that the Planning Commission deny the appeal and uphold the Community Development Director decision to deny the fence height exception application based on the reasoning provided in this report.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and approve the fence height exception with the findings in Exhibit 2 and the draft conditions provided in Exhibit 3; or
3. Grant the appeal with additional and/or modified conditions.

PAGE 7 OF 7

SUBJECT: 224 Old Adobe Road/FHE-22-006

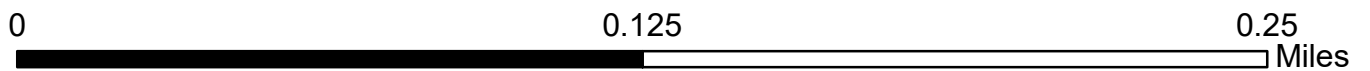
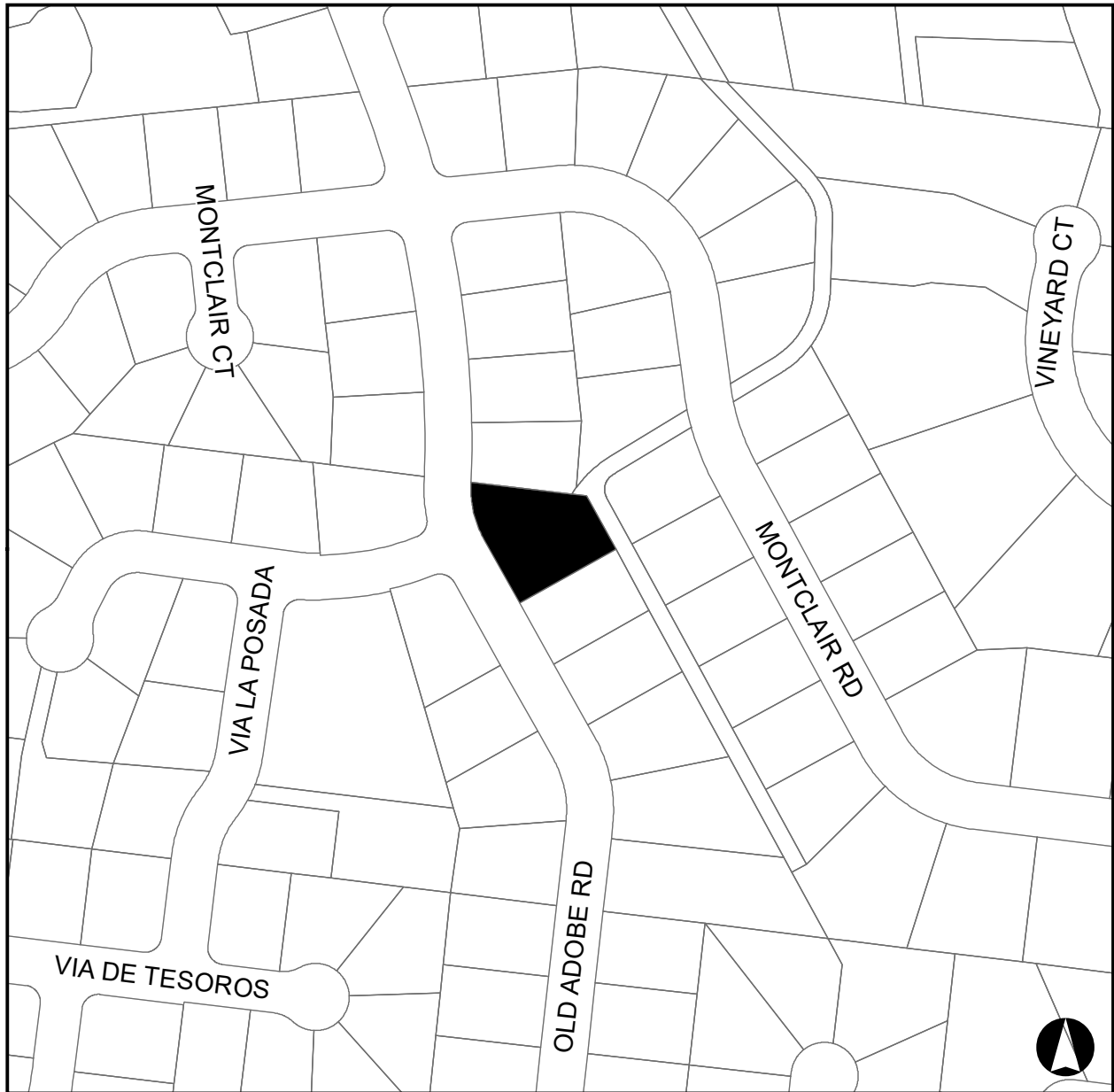
DATE: December 8, 2023

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval if Appeal is Granted
4. Letter of Justification, Received November 13, 2022
5. Site Plan, Received November 13, 2022
6. Photo of New Constructed Fence, Received November 13, 2022
7. Description of Old Fence, Received August 22, 2023
8. Photo of Old Fence, Received October 5, 2023
9. Fence Height Exception Denial Letter, Dated October 9, 2023
10. Appeal of the Community Development Director Decision, Received October 19, 2023

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224 Old Adobe Road



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PLANNING COMMISSION – December 13, 2023
REQUIRED FINDINGS FOR:

224 Old Adobe Road
Fence Height Exception Application FHE-22-006

Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for a Constructed Eight-Foot Fence Located in the Rear Yard on Property Zoned R-1:10. APN 407-09-029. The Project is Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. PROPERTY OWNER/APPLICANT: Vinodha Bala. PROJECT PLANNER: Savannah Van Akin.

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities.

Required findings for granting a Fence Height Exception:

Per Town Code Section 29.40.0320, the applicant has provided written justification that demonstrates one of the following conditions exist:

- A special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening.
- A special wildlife/animal problem affects the property that cannot be practically addressed through alternatives. Documented instances of wildlife grazing on gardens or ornamental landscaping may be an example of such a problem.
- A special security concern exists that cannot be practically addressed through alternatives.
- A special circumstance exists, including lot size or configuration, where strict enforcement of these regulations would result in undue hardship.

EXHIBIT 2

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PLANNING COMMISSION – December 13, 2023
DRAFT CONDITIONS OF APPROVAL

224 Old Adobe Road
Fence Height Exception Application FHE-22-006

Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for a Constructed Eight-Foot Fence Located in the Rear Yard on Property Zoned R-1:10. APN 407-09-029. The Project is Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. PROPERTY OWNER/APPLICANT: Vinodha Bala. PROJECT PLANNER: Savannah Van Akin.

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any intensification beyond this authorized use requires a Conditional Use Permit amendment.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested per Section 29.20.335 of the Town Code. Reasonable extensions of time not exceeding one year may be granted upon application, and can be granted if approved by the deciding body prior to the expiration date. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration date of the approval.
3. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers, or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs, and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon

demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all at the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

DRAFT

Bala Fence Height Exemption Application

To Whom it May Concern,

We are submitting a request for an exemption to Ordinance 2286 on a fence that was recently constructed just within the rear property line of our backyard. Our property is located at 224 Old Adobe Road, Los Gatos.

First, we would like to apologize for erecting a fence that is in violation of code. The original fence along this property line that was in place when we purchased the house had a combined height of fence and privacy screen of 10-11 feet; we replaced this old existing fence with a shorter one. At the time that we were planning to replace the fence, our back property line neighbor, Ms Eva Mendoza, expressed agreement that the new fence should be high enough to provide adequate privacy.

Following are the reasons why we would like to be granted a 8' fence height exception:

1. Privacy: We have several privacy issues which resulted in the building of this fence:
 - a. Height differential: There is a significant downward slope between our property and our backyard neighbor's. Within 3 feet of the fence, the land already rises 12" in our yard. The rise in slope continues as you move away from the fence and towards our house. Our ground floor backyard deck, which spans the entire back of the house facing the back fence), as well as our entire first floor (which has windows along every back wall facing the backyard), are elevated 4'8" - 6' above grade at the fence line due to the natural slope of the land. Due to this significant change in elevation between our properties, a shorter fence would provide minimal privacy as we could easily see over the top of the fence into our neighbor's yard, and she into ours. An 8' fence would improve this issue.
 - b. Conflict with neighbor: Unfortunately our backyard neighbor has objected repeatedly to the town-permitted construction project that is underway on our property, even though all work has been performed in accordance with town construction ordinances. She has verbally abused our contractors and their employees, our family, and members of the Town Offices repeatedly, despite our firm communication that this behavior is inappropriate. In response to this continued verbal abuse, we decided to rebuild the back fence as a way to address Ms. Mendoza's complaints of privacy, noise, and dust. We did so completely at our cost, as Ms. Mendoza would not contribute to the cost of the good neighbor fence, despite our understanding that there is town code stating that this cost should be shared. Given the persistent erratic and volatile behavior that our neighbor has demonstrated, we would prefer to maintain the higher fence height in hopes that it will help to limit these types of unpleasant and inappropriate interactions.
 - c. State of Neighbors Property: In addition to the privacy issues, the back neighbor's property is unsightly due to unchecked hoarding behavior. Additionally, our neighbor has particular horticultural practices that we believe are in violation of county code. Her plants are within clear view from our first floor living space and yard, and we while we

respect her right to grow these plants, we would also argue that we and our children should not have to witness this process. The 8' fence would keep this part of her property out of sight from our side.

- d. Lack of Other Options: In an effort to ameliorate the privacy issues, we have maintained a line of screening hedges on our property along the fence line. However, they do not provide full privacy, especially with seasonal loss of greenery, and Ms. Mendoza has insisted that we keep the branches trimmed back, which limits their function as a privacy screen.
2. Wildlife: Part of our back property line is adjacent to an alleyway with a storm drain. Water collects here, and attracts wildlife. In addition to coyotes and opossum, this past year there were two bobcats in our backyard at midday, shortly after our young children came in from play. We are hopeful that a taller fence along that back alleyway will make it less likely that wildlife will be able to access our yard, particularly because our two small children and dog are frequently unaccompanied in the yard.

Please see the attachments:

1. Yard Survey and Topography. While there are changes that have been made to this plan since installation of the pool, the elevations at the back fence line, ground floor backyard deck, and first floor of the house remain the same. Here you can see an elevation change of 355' at the back fence rising to 361' and 360' at the back part of our house, an elevation gain of 5'-6'.
2. Site map showing the location of the back fence
3. Photo showing our attempts at using greenery to provide privacy – please note that these hedges are at full foliage, but do thin through the season. While the newly erected fence seen in the photo is in excess of 6', it functionally serves as a shorter fence due to the significant change in grade from the first floor of the house/backyard deck to the rear property line, and line of sight privacy issues from these areas.

Again, we are sorry for having a fence that is in violation of code. We built the fence in an attempt to appease our back neighbor, who had been aggressively engaging us about the need for privacy. We hope that you will grant an exception in this case and allow us to keep the fence as built. If we must cut it down to 6 feet and compromise our privacy, we ask that you at least support our attempt to have our neighbor pay her share for the cost of the construction and reconstruction of the fence. If you have any questions or need of any further information, please feel free to contact us at 518.424.4316 or vinodha2@gmail.com. We appreciate your consideration of this matter.

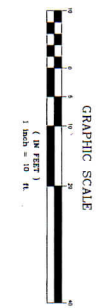
Sincerely,

Vinodha & Rajeev Bala

1. PROJECT DESCRIPTION:
A. PROJECT NAME: METACASTERS
B. PROJECT TYPE: BROADCASTING
C. PROJECT LOCATION: 1001 N. STATE ST. CHICAGO, IL 60610
D. PROJECT SIZE: 100,000 SQ. FT.
E. EST. NO.: 335.77 MT. HAVO 1990
2. ONLY THE 5 AND ABOVE WERE LOCATED ON THE
SOURCE. SMALLER FIRMS AND SHOPS ARE NOT SHOWN.
3. BROADCASTING AREA: 1001 N. STATE ST. CHICAGO, IL 60610

LOT 1 OF TRACT NO. 2933, ADD'G NUMBER, RECORDED IN VOLUME 139 OF MAPS PAGE 10 OF SANTA CLARA COUNTY RECORDS.

LOT 1 OF TRACT NO. 2933, ADD'G NUMBER, RECORDED IN VOLUME 139 OF MAPS PAGE 10 OF SANTA CLARA COUNTY RECORDS.



FENCE

SURVEYOR'S CERTIFICATE

I, KACE A. RICHIE, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA, LICENSE NO. 20131. I FURTHER CERTIFY THAT THIS MAP REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION.

224 OLD ADOBE ROAD, LOS GATOS
COUNTY OF SANTA CLARA
STATE OF CALIFORNIA
APN: 407-009-029

DATE:	11 / 06 / 2018
DRAWING SCALE:	1"= 10'
PREPARED BY:	KACIE PLOUFF
APPROVED BY:	KACIE PLOUFF
FILE NAME:	NCA-18-121-224 OLD ADOBE LOS GATOS

CHRISTENSEN & PLOUFF
LAND SURVEYING
• 361 CHURCH STREET #29 •
• LOS GATOS, CA 95030 •
• 408-253-0584 • www.cplandsurveying.com •

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Vinodha Bala
224 Old Adobe Road
Los Gatos CA 95032

Addendum to FHE-22-006

Description of Previous Fence:

Materials: The previous fence was at varied height of a minimum of 10' just within our side of the back property line. It was constructed with 6x6 pressure treated posts, and lattice panels (a combination of 2 – 4'x8' panels stacked on top of each other, and in places an additional 2'x8' lattice panel).

The condition of the fence at the time of replacement, and in the 6-8 months preceding, was very poor. The posts were loose, rotten, and leaning, and easily pushed from one side to the other. The lattice panels had become brittle and broken, and several had fallen down or were hanging precariously, having been reattached multiple times. There were exposed, rusted nails and broken fence pieces throughout. The lattice design of the fence also contributed to the disrepair because the spaces between the wood allowed vines and branches to push through. Branches and ivy had grown through the lattice panels in several areas, putting further weight on the panels. In the two months prior to replacing the fence, and without discussion with us, our backyard neighbor (complainant) attached old cardboard, blue tarp, and mats using bungee cords to the fence in an attempt to provide more privacy. This put further stress on the already precarious posts and panels – and created a huge eyesore. When replacing the fence, we chose to replace the lattice panels with more sturdy redwood fence boards in a standard, good neighbor board-on-board design to address the privacy and structural integrity issues of the old fence, and avoid these multiple issues from arising again. This was discussed with our back neighbor (complainant) and she was in agreement. The new fence was constructed in the exact location and length of the previous fence, with new 6x6 posts placed along the previous fence line.

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

October 9, 2023

Vinodha & Rajeev Bala
224 Old Adobe Road
Los Gatos, CA 95032
Via email

RE: **224 Old Adobe Road**
Fence Height Exception (FHE-22-006)

Requesting Approval for an Exception to a Constructed Eight (8) Foot Fence Located in the Rear Yard on Property Zoned R-1:10. APN 407 09 029.

PROPERTY OWNER/APPLICANT: Vinodha & Rajeev Bala

The Los Gatos Community Development Department has reviewed the referenced application for a fence height exception pursuant to Section 29.40.0320. On October 9, 2023 the Los Gatos Community Development Department **denied** the request as the required findings could not be made.

PLEASE NOTE: Pursuant to Section 29.20.255 of the Town Code, this decision may be appealed to the Planning Commission within 10 days of the denial date. Any interested person may appeal this decision to the Planning Commission. Appeals, with the completed Appeal Form and appeal fee payment, must be submitted within 10 days from the date of denial, or by 4:00 p.m., October 19, 2023

If you have any questions concerning this decision, please contact Project Planner, Savannah Van Akin at svakin@losgatosca.gov.

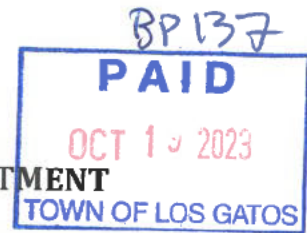
Sincerely,

Savannah Van Akin
Assistant Planner

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**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
110 E. Main Street
Los Gatos, CA 95030**



**APPEAL OF THE DECISION OF
DIRECTOR OF COMMUNITY DEVELOPMENT**

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

DATE OF DECISION: 10/9/23
PROJECT/APPLICATION: FME-22-006 224 Old Adobe Road
LOCATION: 224 Old Adobe Road Los Gatos

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Director.

Interested person means:

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

Please see attached letter

IMPORTANT:

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Director of Community Development. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) days after the date of the filing of the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: Vinodha Bala SIGNATURE: [Signature]
DATE: 10/19/23 ADDRESS: 224 Old Adobe Rd Los Gatos
PHONE: [Redacted] EMAIL: [Redacted] 95032

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____

COMMISSION ACTION:	1. _____	DATE: _____
	2. _____	DATE: _____
	3. _____	DATE: _____

PLAPPEAL \$ 255.00 Residential
PLAPPEAL \$ 1016.00 Commercial
PLAPPEAL \$ 103.00 Tree Appeals

Appeal: FHE-22-006 – 224 Old Adobe Road, Fence Exemption

10.19.23

To Whom It May Concern:

We are submitting an appeal to the denial of our fence height exemption application. The characteristics of our new fence are location, height and material used. We believe our new fence location and height should be approved based on a combination of (1) the exemption for pre-existing fences replaced in kind, and (2) that a special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening.

Fence Height and Location: As shown with photo documentation and survey maps, our new fence was rebuilt in the exact same location as our old fence, and follows the same or lower height. So, **we believe that these characteristics of the new fence are “in kind” to the old fence, and could be approved based on this exemption.**

Fence Material: Our old fence was constructed out of lattice, and the new fence is made of solid boards. **We believe this characteristic of the fence is justified based on a special privacy concern that exists that cannot be practically addressed by additional landscaping/screening.** We do maintain a hedge line at the rear of our property and have planted additional plants. However, despite this screening attempt, privacy issues have persisted. A small section of our fence (approximately 8') abuts an alley with public access. Additionally, with our old lattice fence, we have had significant issues with our privacy being invaded by our back neighbor as she would frequently come to the back fence and look through the lattice into our yard at will. She has been verbally abusive towards us, guests, and workers in our backyard as she has shouted and cursed at us while looking into our yard from the lattice fence. This erratic and unusual behavior, and her ability to see through the lattice and approach us prevents us from having privacy and peace of mind in our own backyard. Our neighbor had also raised issues of privacy, and had begun creating a makeshift solid fence by draping cardboard and tarp over sections of the lattice. Prior to replacing the fence, we discussed the solid board material choice with her, and she expressed agreement. When Allen Meier came out to speak to us about our fence complaint, we expressed our plans to replace the fence with a solid one, and he agreed that this could help ease the privacy, noise, and dust complaints that our neighbor was complaining about at the time (due to town-permitted construction done in accordance with construction guidelines). We acknowledge that the fence material was not replaced in kind. However, we constructed the new fence in good faith and completely at our own cost, discussed and gained approval from our neighbor, to help address the concerns of our neighbor and the privacy issues we had been experiencing over many months that we could not solve in another way.

We thank you for reviewing our appeal and considering this special circumstance.

Sincerely,

Vinodha and Rajeev Bala



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 5

DESK ITEM

DATE: December 13, 2023
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for a Constructed Eight-Foot Fence Located in the Rear Yard on Property Zoned R-1:10. Located at 224 Old Adobe Road. APN 407-09-029. The Project is Categorically Exempt Pursuant to the Adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. PROPERTY OWNER/APPLICANT: Vinodha Bala. PROJECT PLANNER: Savannah Van Akin.

REMARKS:

Exhibit 11 includes photos of the new constructed eight-foot fence in the rear yard, received from the applicant/appellant on December 13, 2023.

EXHIBITS:

Previously received with the November 8, 2023, Staff Report:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval if Appeal is Granted
4. Letter of Justification, Received November 13, 2022
5. Site Plan, Received November 13, 2022
6. Photo of New Constructed Fence, Received November 13, 2022
7. Description of Old Fence, Received August 22, 2023
8. Photo of Old Fence, Received October 5, 2023
9. Fence Height Exception Denial Letter, Dated October 9, 2023
10. Appeal of the Community Development Director Decision, Received October 19, 2023

Received with this Desk Item Report:

11. Photos of New Constructed Fence, Received December 13, 2023.pdf

PREPARED BY: SAVANNAH VAN AKIN
Assistant Planner

Reviewed by: Planning Manager and Community Development Director

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From Vinodha Bala, Applicant/Appellant, on 12/13/2023 providing more photos of the constructed eight-foot fence in the rear yard.



Figure 1: This photo shows the immediate loss of 1-1.25 feet of fence height within 2' of the rear fence as the remainder of the yard is raised at this point and then continues to slope up towards the house.



Figure 2: This photo is taken from our rear deck facing the rear fence. The primary level of the house is another foot above this elevation.



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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 6

DATE: December 8, 2023

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. **Located at 300 Marchmont Drive.** APNs 532-10-01 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.

RECOMMENDATION:

Accept this report for the annual review of the Conditional Use Permit (CUP) for an existing Private School (Hillbrook School) on property zoned HR-1, located at 300 Marchmont Drive.

PROJECT DATA:

General Plan Designation: Hillside Residential and Low Density Residential

Zoning Designation: HR-1, Hillside Residential

Applicable Plans & Standards: General Plan

Parcel Size: 14 acres

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8, R-1:10, and R-1:20
South	Residential	Low Density Residential & Agriculture	R-1:10, R-1:12, and RC
East	Residential	Hillside Residential & Open Space	R-1:10, R-1:12, and RC
West	Residential	Low Density Residential	R-1:8 and R-1:10

PREPARED BY: JOCELYN SHOOPMAN
Associate Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

CEQA:

An Environmental Impact Report (EIR) was certified by the Planning Commission on October 6, 2014, and no further environmental review is required.

FINDINGS:

- An EIR was prepared for the CUP and was certified by the Planning Commission on October 6, 2014, and no further environmental review is required; and
- Compliance with CUP U-12-002.

ACTION:

Accept this report for the annual review of the CUP as required by Condition 25 (Exhibit 3).

BACKGROUND:

On October 6, 2014, the Planning Commission certified the EIR and approved a request to modify a CUP to increase school enrollment and modify the operations of Hillbrook School.

On October 8, 2014, the Town received an appeal of the decision of the Planning Commission from the applicant, Mark Silver. On October 17, 2014, the Town also received an appeal of the decision of the Planning Commission from Elliot et al. The appeal was considered by the Town Council on January 13, 2015, February 17, 2015, and March 17, 2015.

On March 17, 2015, the Town Council adopted Resolution 2015-018 approving the request to modify the CUP to incrementally increase school enrollment and modify the operations of Hillbrook School subject to modified Conditions of Approval (Exhibit 3).

On November 3, 2015, the Town Council held a public hearing for the initial six-month review of the CUP to determine whether there was merit to increase the number of students based on Hillbrook School's compliance with the maximum number of daily trips. The Town Council approved the initial review and request to increase the school enrollment by 33 students for a maximum of 348 students for the 2016-2017 school year. On August 31, 2016, Hillbrook School vested their CUP by increasing the number of students by an additional 23 students for the 2016-2017 school year as allowed by Condition 2 (Exhibit 3).

On October 17, 2016, the Planning Commission held a public hearing for the annual review of the CUP as required by Condition 25 (Exhibit 3) to determine whether there was merit to increase the number of students based on Hillbrook School's compliance with the maximum number of daily trips. The Planning Commission approved the annual review and request to

BACKGROUND (continued):

increase the school enrollment by an additional 33 students for a maximum of 381 students for the 2017-2018 school year.

On September 27, 2017, the Planning Commission held a public hearing for the annual review of the CUP as required by Condition 25 (Exhibit 3) to determine whether there was merit to increase the number of students based on Hillbrook School's compliance with the maximum number of daily trips. The Planning Commission approved the annual review and final request to increase the school enrollment by an additional 33 students for a maximum of 414 students for the 2018-2019 school year. Additionally, the Planning Commission provided the following recommendations for inclusion in future annual reviews:

1. Urge Hillbrook School to be diligent about ascertaining the operation of the monitoring systems and to that end to incorporate suggestions made by W Trans for calibration;
2. Urge Hillbrook School to follow the updated Data Collection Workflow from W Trans; and
3. Select three sporadic, non-consecutive days, including at least one sports event day, and conduct future counts in a 24-hour day period.

On October 24, 2018, and November 13, 2019, the Planning Commission held public hearings for the annual reviews of the CUP as required by Condition 25 (Exhibit 3). The Planning Commission found Hillbrook School to be in compliance with the CUP and approved the annual review in both cases.

On March 16, 2020, Hillbrook School closed for in-person learning due to the Santa Clara County Public Health Office order and began distance learning. Hillbrook School resumed in-person learning on September 23, 2020, until the end of the school year on May 28, 2021. Due to the Santa Clara County Public Health Office order, an annual review of the CUP by the Planning Commission did not take place in the fall of 2020.

On November 10, 2021, and November 9, 2022, the Planning Commission held public hearings for the annual reviews of the CUP as required by Condition 25 (Exhibit 3). The Planning Commission found Hillbrook School to be in compliance with the CUP and approved the annual review in both cases.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The project is located at 300 Marchmont Drive (Exhibit 1), at the east end of Marchmont Drive, south of Shannon Road and east of Los Gatos Boulevard.

PROJECT DESCRIPTION (continued):

B. Zoning Compliance

The zoning designation, Hillside Residential (HR), allows a school pursuant to the approved CUP.

DISCUSSION:

A. Conditional Use Permit Annual Review

The applicant, Hillbrook School, has provided a letter of justification (Exhibit 7) describing the actions taken to comply with the CUP (Exhibit 3) as outlined below:

- Posted a list of the School's exception days and evening events on their publicly accessible website as required by Condition 27; and
- No athletic competitions were held on campus as discussed in Condition 5 (Exhibit 3);
- Maintained a mandatory Traffic Demand Management Plan (TDM) as required by Condition 18;
- Installed and monitored the traffic count monitoring system as required by Condition 19;
- Worked with the Parks and Public Works Department to ensure approval of existing and proposed bus stops (Exhibit 6) as required by Condition 20;
- Enrolled no more than the maximum of 414 students for the 2020-2021 school year as required by Condition 15 (as of December 5, 2023, 353 students were enrolled); and
- Reduced the School's summer programs as required by Condition 11.

B. Traffic – Fall 2022 Semester

On November 16, 2023, the Town's traffic consultant, W Trans, submitted the Traffic Monitoring Report for the fall 2022 semester (Exhibit 4). The consultant completed a video review of the traffic count for December 6, December 8, and December 14, 2022, as required by Condition 19. On December 14, 2022, Hillbrook School held their "Winter Concert" during the evening, an exception day as noted by Hillbrook School's calendar. December 6, 2022, and December 8, 2022, were both typical school days. As detailed in the report, on December 6 and December 8, 2022, the vehicle trips (828 and 704, respectively) did not exceed the maximum of 880 daily vehicle trips as allowed by Condition 17, and on December 14, 2022, the vehicle trips (862) did not exceed the maximum of 960 daily vehicle trips for an exception day as allowed by Condition 17. The average difference between the video count and Sensys data for the three-day period was 3.49 percent.

DISCUSSION (continued):

Pursuant to Condition 26 (Exhibit 3), the Town's traffic consultant, W Trans', review of the monthly monitoring report identified that on October 26, 2022, 900 daily vehicle trips were recorded by the Sensys magnetometers, an existing embedded counter that is located within the roadway of Marchmont Drive, outside of the gates of Hillbrook School. October 26, 2022, was not recorded as an exception day as noted by Hillbrook School's calendar, and therefore exceeded the maximum of 880 daily vehicle trips as allowed by Condition 17. Pursuant to Condition 17, data from the pneumatic tube counters, located in the entrance and exit lanes just outside of the gates of Hillbrook School was requested by W Trans. The pneumatic tube counter data showed that there were 895 trips that were made on October 26, 2023. The pneumatic tube counters are considered more accurate than Sensys counts and were therefore used for determination on the number of vehicle trips over the 880-trip threshold (Exhibit 4). Pursuant to Condition 26, the applicant shall pay a penalty of \$1,000 dollars per day and \$100 dollars per excess trip. As a result, Hillbrook School would owe \$2,500 dollars in penalties.

C. Traffic – Spring 2023 Semester

On November 16, 2023, the Town's traffic consultant, W Trans, submitted the Traffic Monitoring Report for the spring 2023 semester (Exhibit 5). The consultant completed a video review of the traffic count for March 28, March 30, and April 5, 2023, as required by Condition 19. On March 30, 2023, Hillbrook School held their "Middle School SIL Impact Summit" event, an exception day as noted by Hillbrook School's calendar. March 28, 2023, and April 5, 2023, were both typical school days. As detailed in the report, on April 5, 2023, the vehicle trips (645 respectively) did not exceed the maximum of 880 daily vehicle trips as allowed by Condition 17 and on March 30, 2023, the vehicle trips (765) did not exceed the maximum of 960 daily vehicle trips for an exception day as allowed by Condition 17. However, on March 28, 2022, 930 daily vehicle trips were recorded. March 28, 2023, was not recorded as an exception day as noted by Hillbrook School's calendar, and therefore exceeded the maximum of 880 daily vehicle trips as allowed by Condition 17. Pursuant to Condition 17, data from the pneumatic tube counters, embedded within the roadway of Marchmont Drive, adjacent to the gates of Hillbrook School was requested by the W Trans. The pneumatic tube counter data showed that there were 901 trips that were made on March 28, 2023 (Exhibit 5). The average difference between the video count and Sensys data for the three-day period was 3.72 percent.

Pursuant to Condition 26, the Town's traffic consultant, W Trans', review of the monthly monitoring reports identified two additional days that Hillbrook School exceeded the maximum number of daily trips (Exhibit 5). On March 21, 2023, 934 daily vehicle trips were recorded and on April 18, 2023, 884 daily vehicle trips were recorded by the Sensys magnetometers. March 21 and April 18, 2023, were not recorded as exception days as

DISCUSSION (continued):

noted by Hillbrook School's calendar, and therefore exceeded the maximum of 880 daily vehicle trips as allowed by Condition 17. Pursuant to Condition 17, data from the pneumatic tube counters, located in the entrance and exit lanes just outside of the gates of Hillbrook School was requested by W Trans. The pneumatic tube counter data showed that there were 882 trips that were made on March 21, 2023, and 881 trips that were made on April 18, 2023. The pneumatic tube counters are considered more accurate than Sensys counts and were therefore used for determination on the number of vehicle trips over the 880-trip threshold (Exhibit 5). Pursuant to Condition 26, the applicant shall pay a penalty of \$1,000 dollars per day and \$100 dollars per excess trip. As a result, Hillbrook School would owe \$5,400 dollars in penalties.

The Town's traffic consultant, W Trans is recommending that a representative from Sensys visit the school to audit the sensors, as well determine why there is a discrepancy with the embedded sensors counting of vehicles entering and exiting the campus. W Trans will be available at the meeting to answer any questions from the Planning Commission.

Pursuant to Condition 25, if the Planning Commission finds that the school is in violation of the CUP or that new or more effective data collection methods are available to compute traffic counts, then the CUP may be modified and/or revoked as allowed under the Town Code. The Town's Traffic Engineer, and the Town's traffic consultant, W Trans, have confirmed that there is not new or more effective data collection methods available to compute the traffic counts, than the existing Sensys magnetometers and pneumatic tube counters.

D. Hillbrook School Response to Traffic Monitoring Reports

In response to the Traffic Monitoring Reports for the fall 2022 and spring 2023 semesters, Hillbrook School provided a letter describing the background of the CUP, how it has been managed, and traffic challenges during the 2022-2023 school year that may have contributed to exceeding the maximum of 880 daily vehicle trips. As described in Hillbrook School's letter, this is the first time since 2015 that the maximum number of daily vehicle trips have been exceeded. Hillbrook School has stated that the period of inclement weather during the months of March and April 2023 may have contributed to the increased number of vehicle trips in comparison to previous years, and as a result the school is proactively looking at ways to better prepare for such instances, including the creation of a new position at the school to manage activities on campus each day (Exhibit 7).

The letter provided by Hillbrook School also discussed a potential reason for the discrepancy between the Sensys magnetometers and the pneumatic tube counter vehicle trip readings, based on their location and proximity to other vehicles not associated with

DISCUSSION (continued):

the school, such as construction vehicles that are associated with nearby single-family homes. Additionally, Hillbrook School provided background in response to a modification that was made to the posting of the school's events for the academic year pursuant to Condition 27 (Exhibit 7). As result, Hillbrook School is requesting that the Planning Commission modify Condition 27 to allow for more flexibility in managing the 10 exceptions days, as allowed by Condition 17.

Condition 27 as described in the CUP is provided below, with potential modifications included in underlined text:

27. NEIGHBORHOOD COORDINATION: The school shall post a schedule of events on a website accessible to the public at the beginning of each semester of the ~~every~~ academic calendar year.

E. CEQA Determination

An EIR was previously certified by the Planning Commission on October 6, 2014, and no further environmental review is required.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 500 feet of the property.

CONCLUSION:

A. Conclusion

Based on the information in this report, staff has determined that Hillbrook School is in compliance with their CUP with the exception of the maximum number of vehicle trips, which will be addressed through payment of required penalties.

B. Recommendation

Based on the analysis above, staff recommends accepting this report for the annual review of the CUP as required by Condition 25, the required penalties as outlined in Condition 26, and providing recommendations, if applicable, to the applicant, Hillbrook School, for the next annual review, in addition to a modification of Condition 27. If the Planning Commission finds merit with the request, it should:

1. Find that no further environmental analysis is required (Exhibit 2);

CONCLUSION (continued):

2. Find that Hillbrook School is in compliance with their CUP with the exception of the maximum number of vehicle trips (Exhibit 2);
3. Find that payment of penalties is required per Condition 26 (Exhibit 3); and
4. Approve recommended modification to Condition of Approval 27.

C. Alternatives

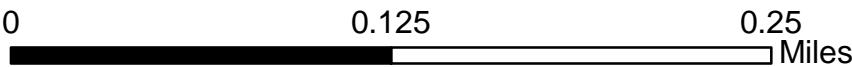
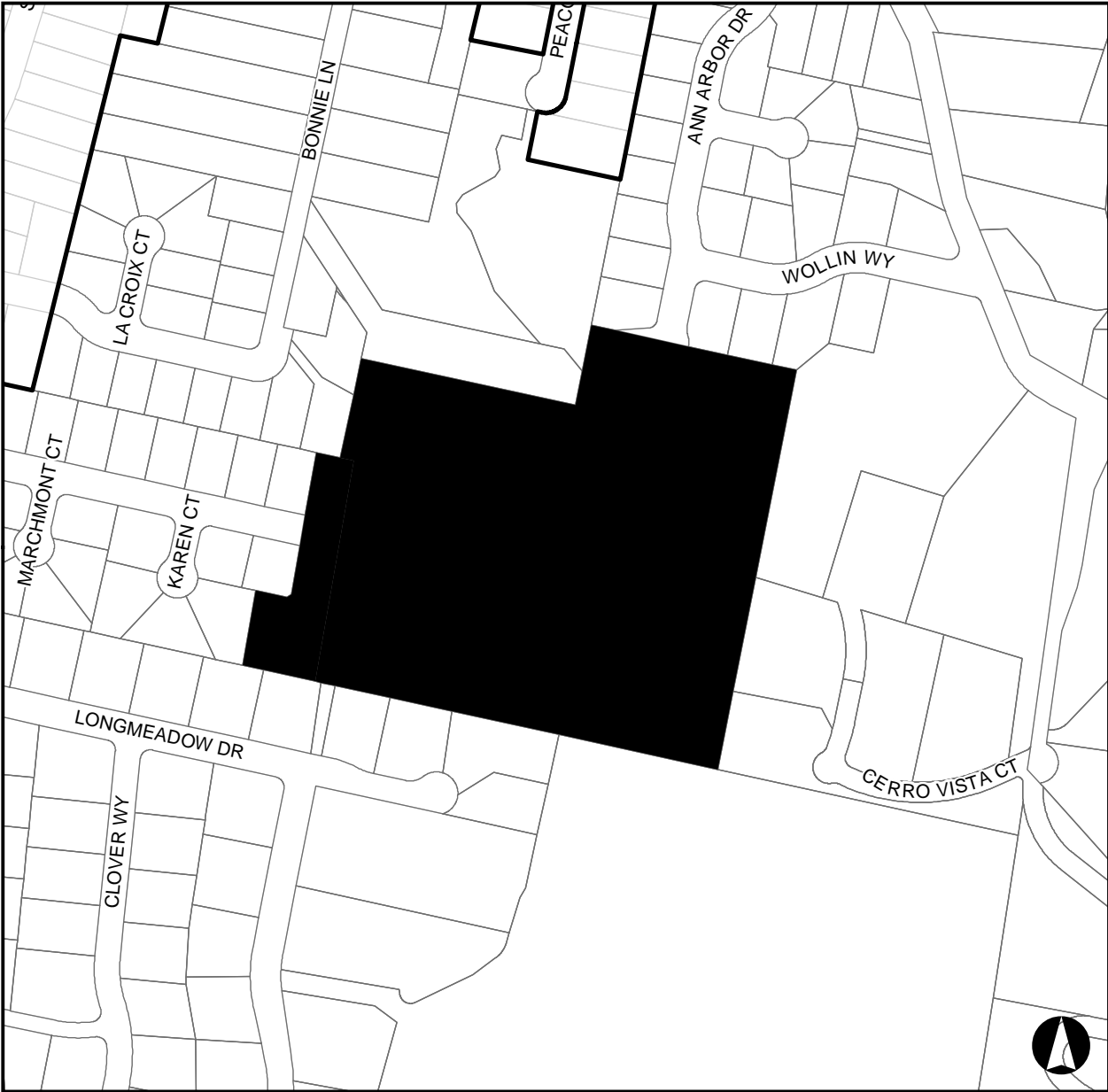
Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings
3. Conditional Use Permit U-12-002
4. Fall 2022 Traffic Monitoring Report
5. Spring 2023 Traffic Monitoring Report
6. Hillbrook School Bus Stops for 2023-2024 School Year
7. Hillbrook School Letter of Justification

300 Marchmont Drive



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PLANNING COMMISSION – December 13, 2023
REQUIRED FINDINGS:

300 Marchmont Drive
Conditional Use Permit Application U-12-002

Annual Review of an Approved Conditional Use Permit for an Existing Private School (Hillbrook School) on Property Zoned HR-1. APNS 532-10-001 and 532-11-011.
APPLICANT/PROPERTY OWNER: Hillbrook School/Mark Silver

FINDINGS

Required finding for CEQA:

- An Environmental Impact Report (EIR) was prepared for the Conditional Use Permit and was certified by the Planning Commission on October 6, 2014, and no further environmental review is required.

Required findings for compliance with Conditional Use Permit (U-12-002):

- Find that Hillbrook School is in compliance with their Conditional Use Permit with the exception of the maximum number of vehicle trips, which will be addressed through payment of required penalties.

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CONDITIONS OF APPROVAL – March 17, 2015

300 Marchmont Drive

Conditional Use Permit U-12-002

Environmental Impact Report EIR-13-001

Requesting approval to modify a Conditional Use Permit to increase school enrollment and modify operations of an existing private school (Hillbrook School) on property zoned HR-1. It has been determined that this matter may have a significant impact on the environment and an Environmental Impact Report (EIR) has been prepared as required by the California Environmental Quality Act (CEQA). APNs 532-10-001 and 532-11-011.

PROPERTY OWNER/APPLICANT: Hillbrook School/Mark Silver

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval listed below.
2. **EXPIRATION:** The Master Plan approved May 7, 2001 (Resolution 2011-048) is vested. The Conditional Use Permit modification will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested. Pursuant to Town Code Section 29.20.335 an approval is vested when the activity approved is commenced in a substantial, as distinguished from tentative or token, manner. For this Conditional Use Permit, substantial shall mean any increase in student enrollment above 315.
3. **USE:** The approved use is a junior kindergarten (JK) through eighth (8th) grade educational institution/private school, with ancillary after school activities, after school care, and after school sports.
 - a. **HOURS: STUDENTS** and their families may be on campus Monday through Friday, 7:30 a.m. to 6:00 p.m., during the academic calendar year (mid-August through mid-June).
 - b. **EXTENDED HOURS:** Up to 10 times per year, hours may be extended past 6:00 p.m. up to 9:30 p.m. The school's management and maintenance staff do not count towards the 10 times per year for extended hours.
4. **AFTER SCHOOL ACTIVITIES:** Enrichment programs including but not limited to arts, mechanics, engineering, and language for the school's students are permitted, up to 6:00 p.m., Monday through Friday, mid-August through mid-June.
5. **AFTER SCHOOL SPORTS AND COMPETITIONS:** Any sports, competitive or not, and other competitions with at least one participating team from this approved school are permitted up to 6:00 p.m., Monday through Friday, mid-August through mid-June. These competitions are permitted to occur a maximum 3 days per week, up to 2 days per week outdoors.
6. **AFTER SCHOOL CARE:** Childcare for the school's students is permitted up to 6:00 p.m., Monday through Friday, mid-August through mid-June.
7. **VOLLEYBALL AND BASKETBALL TOURNAMENTS:** A tournament is a series of contests/matches/games between two or more schools/teams one of which must be the approved school. Tournament hours are 7:30 a.m. to 3:30 p.m. Monday through Friday,

and Saturday. Vehicles must be off campus by 4:00 p.m. on Saturdays. These tournaments may occur up to 2 Saturdays, mid-August through mid-June.

8. **EVENING/NIGHTTIME AND WEEKEND EVENTS:** Evening/nighttime events are events that occur between 6:00 p.m. and 9:00 p.m. Evening/nighttime and weekend events are permitted up to 10 times per academic year, mid-August through mid-June. These events must be listed by August 1st on a publicly accessible online School Calendar.
9. **OPEN HOUSE:** One weekend Open House per calendar year is permitted 7:30 a.m. to 3:30 p.m. (vehicles off campus by 4:00 p.m.), Saturday only (not Sunday), mid-August through mid-June. This event does not count as one of the 10 exception days from the maximum number of daily vehicle trips.
10. **DELIVERY HOURS:** Deliveries shall only occur between 7:00 a.m. and 7:00 p.m., Monday through Friday.
11. **SUMMER SESSION:** A summer program is permitted between mid-June and mid-August for six contiguous weeks. Summer hours are limited to 8:30 a.m. to 1:00 p.m., Monday through Friday.
12. **PROFESSIONAL DEVELOPMENT/CONFERENCES:** Training for the parents of enrolled students and/or the school's faculty only is permitted from 7:30 a.m. to 6:00 p.m., unless designated as a nighttime exception, Monday through Friday, mid-August through mid-June. No other conferences are permitted.
13. **THIRD PARTY USE/RENTAL/LEASE:** Third party use is allowed. A third party use is defined as a school program run by an entity that is under a contractual partnership agreement with the school, payments for participation in the activity are paid directly to the school, and the school has control of the operations of the activity. Any such third party use will be subject to all of the conditions contained in this Conditional Use Permit.
14. **ADDITIONAL ACTIVITIES:** Any activity that is not expressly identified in this Permit is prohibited.
15. **NUMBER OF STUDENTS:** The maximum number of students shall be limited to 414 students over the life of the Conditional Use Permit with an increase over 315 students of up to 33 in year 2016-2017, up to an additional 33 in year 2017-2018, and up to an additional 33 in year 2018-2019. The right to add any additional students is contingent on the school's compliance with the traffic count requirements. The maximum number of students during the summer session is 150.
16. **INITIAL REVIEW:** Six months after the date of this approval, the Town Council shall review the school's compliance with the maximum number of daily vehicle trips. At a publicly noticed hearing, Town Council will consider whether there is merit to increase the number of students from 315 based on compliance with the maximum number of daily vehicle trips. This review shall be completed at the school's expense.
17. **MAXIMUM NUMBER OF DAILY VEHICLE TRIPS:** The maximum number of daily vehicle trips shall not exceed 880 pursuant to the following:
 - a. The school may designate 10 days per year that can be removed from the maximum calculation, which shall be referred to as "exception days."
 - b. Exception days shall not exceed 960 maximum daily vehicle trips.
 - c. Exception days must be identified on a publicly accessible online School Calendar by August 1st.
 - d. The maximum number of daily vehicle trips shall not exceed 300 during the summer session as defined in condition 11.

18. **MANDATORY TRAFFIC DEMAND MANAGEMENT PLAN:** The school shall implement, at its expense, a Mandatory Traffic Demand Management Plan consisting of any of the following means to limit daily vehicle trips: carpools, busing, shuttle buses, traditional school buses, bicycling, walking management plans, or other methods submitted by the school. The school must inform persons and entities, covered by the plan, that pickup and drop-offs are prohibited on public streets in the immediate vicinity of the school. The school is solely responsible for enforcement of and compliance with a Mandatory Traffic Demand Management Plan.
19. **TRAFFIC COUNT MONITORING:** The school shall monitor its compliance using the existing embedded counter and by installing tube counters as a backup. The data from the counters will be used to determine whether the school has complied with the traffic requirements contained in condition 17. The Town shall conduct ongoing traffic data validation by contracting for a random manual traffic count for three days, each semester. The data shall be compared with Sensys data (i.e, the embedded counter data) and results provided to the Town Traffic Engineer. If the Town Traffic Engineer finds the school out of compliance, the Town shall contract for additional data collection, with a one week mechanical (hose) traffic count to verify the counts. The school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips. If the Sensys data continues to demonstrate ongoing non-compliance, the discrepancy shall trigger the compliance proceedings portion of the CUP. The school is required to reimburse the Town for all staff and contract services associated with this condition.
20. **BUS STOPS:** The school may continue to use bus stop locations negotiated with private businesses. Any existing or new bus stop must be approved by the Los Gatos Parks and Public Works Department as a suitable and safe place for a bus stop.
21. **PARKING:** All parking shall be accommodated onsite.
22. **PICK-UP AND DROP-OFF AREA:** A pick-up and drop-off area shall be maintained on school grounds.
23. **EMERGENCY ACCESS ROAD:** The emergency access road to Ann Arbor Drive shall not be opened up at any time to public or school use. The road may be opened for construction access only if it is part of an approved construction plan for an Architecture and Site application.
24. **CURFEW AND NOISE:** The school shall comply with the Town Code governing curfew and noise levels with the exception of one amplified DJ event, mid-August through mid-June (not summer).
25. **ONGOING COMPLIANCE REVIEW:** Upon completion of the six-month initial review set forth in condition 16, the Planning Commission shall conduct an annual review to determine if the school is in compliance with this Conditional Use Permit. If, at any reviews, the Planning Commission finds that the school is in violation of this Conditional Use Permit or that new or more effective data collection methods are available to compute traffic counts, then the Conditional Use Permit may be modified and/or revoked as allowed under the Town Code. Compliance review shall be completed at the school's expense.
26. **PENALTIES FOR EXCEEDANCES OF THE MAXIMUM DAILY TRIP CAP:**
 - a. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap, the applicant shall pay a penalty of \$1,000 per day and \$100 per excess trip.

- b. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap for a second consecutive monitoring period, the applicant shall pay a penalty of \$2,500 per day and \$250 per excess trip.
 - c. If the Town's Traffic Consultant's review of the trip cap monthly monitoring reports reveals that the number of trips exceeds the maximum daily trip cap for a third consecutive monitoring period, the applicant shall pay a penalty of \$5,000 per day and \$500 per excess trip.
 - d. Penalty money shall be paid to the Town and used towards neighborhood traffic/pedestrian improvements as approved by the Town's Parks and Public Works Director.
 - e. The school is not subject to fines in the first six months after the date of this approval.
27. **NEIGHBORHOOD COORDINATION:** The school shall post a schedule of events on a website accessible to the public at the beginning of every academic calendar year.
28. **GYMNASIUM DOORS AND WINDOWS:** The loading doors on the Ann Arbor side shall be closed at all times whenever activities are being held inside the gymnasium. The other doors and windows in the gymnasium shall be allowed to remain open during activities.
29. **SQUARE FOOTAGE:** The maximum structural square footage is 55,715 square feet as approved by the Master Plan on May 7, 2001 (Resolution 2011-048). The existing campus is currently 52,683 square feet and an additional 3,032 square feet is permitted in the library and cafeteria/art classrooms with an approved Architecture and Site application.
30. **BUILDING FOOTPRINTS:** The footprints of the future buildings may be required to be modified during the Architecture and Site approval process to reduce tree impacts.
31. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.

N:\DEV\CONDITIONS\2015\Marchmont300_TC.3.17.15.docx



November 16, 2023

Mr. Michael Vroman, PE
Senior Traffic Engineer
Town of Los Gatos
41 Miles Avenue
Los Gatos, CA 95030

Hillbrook School 2022-2023 Fall Trimester Monitoring

Dear Mr. Vroman;

As requested, W-Trans has prepared a summary of the Fall Trimester traffic monitoring of Hillbrook School in Los Gatos for the 2022-2023 school year. The purpose of this memo is to summarize the 2022 Fall Trimester daily vehicle trips and to note any discrepancies in the data collection. Based on the collected data, Hillbrook School has exceeded the maximum number of daily trips on one occasion during the Fall Trimester.

Existing Conditions

The Hillbrook School is located at 300 Marchmont Drive in the Town of Los Gatos. According to Condition 17 of the School's Conditional Use Permit, "the maximum number of daily vehicle trips shall not exceed 880." The school can identify up to ten exception days where they are permitted to exceed the maximum number of daily trips, however, the total number of trips on these exception days shall not exceed 960. The school maintains two Sensys magnetometer traffic counters embedded in the pavement of the exit lane outside the school's gate, approximately thirty feet apart. These magnetometers are calibrated to detect the presence of vehicles and motorcycles, but not bicycles or other non-motorized means of transportation.

Hillbrook School and Sensys staff continuously monitor the functionality of the system. The magnetometers are self-calibrating, self-tuning, and are upgraded remotely as new software is released. The sensors are continuously calibrating and should be validated each trimester. Sensys staff did not validate the sensors prior to the 2023 Spring Trimester, though they have previously conducted an independent validation of the count system and concluded the daily counts are showing between 97 percent and 99.75 percent accuracy. Hillbrook School has implemented traffic control measures to improve the flow of vehicles over the sensors and maintain data accuracy, including the installation of lane delineators along Marchmont Drive.

Hillbrook School has only one vehicular access point, and because of this it is assumed that all exit trips also made an entrance trip through this location. For reporting purposes, the maximum of either Exit A or Exit B is used to determine the number of daily trips. It is noted that the normal daily vehicle trips from the houses located adjacent to Hillbrook School on Marchmont Drive have the potential to also be detected by the Sensys counters. The trips have the potential to be detected by one or both sensors, and thus could possibly increase in the number of days where the difference between sensors is larger than five percent.

The Conditional Use Permit also outlines the requirements of manual data collection in Condition 19 and "the school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips."

A permanent backup pneumatic tube counter, a MetroCount MC56000 Vehicle Classifier System, is located in both the entrance and exit lanes just outside of the School's gate. Pneumatic tube systems utilize rubber tubes placed across traffic lanes in specific configurations. When a vehicle travels over the tube the air pressure in the tube is compressed and this compression triggers an event recording. The system is programmed to classify vehicles based on the distance between the front and rear axle. The School's MetroCount system counts the total number of trips, both entrance and exit trips. While the Sensys system can be accessed remotely online, the MetroCount system is local to the School's network. The School has agreed to, and continues to, actively provide W-Trans with backup data directly from the MetroCount system when necessary.

24-hour Manual Counts and Observations

For the 2022 Fall Trimester, traffic counts were obtained on Marchmont Drive on December 6, 8, and 14, 2022. These dates were selected to cover a variety of on-campus activities. Wednesday, December 14 was an exception day as a "Winter Concert" event was scheduled on this day. The 24-hour Video and Sensys traffic counts for the selected dates are enclosed.

The traffic counts based on video taken by W-Trans represent the total sum of entrance and exit trips for 24-hours, broken down into 15-minute intervals. The Sensys counts represent the exit trips for the same 24-hour period. In order to convert exit trips to both entrance and exit trips, the maximum count from either Exit A or Exit B was determined and then doubled (assuming one trip in is equivalent to one trip out). The data from the Exit B sensor was higher than the data from the Exit A sensor on all three manual count collection days, so the Sensys counts compared to the video counts on those days were the doubled count from the Exit B sensor. The raw Sensys data and video counts are enclosed. The video counts were then compared to the Sensys data for the same time period in Table 1.

Table 1 – Summary of 24-Hour Counts for Fall Trimester 2022

Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Video	Sensys	Percent Difference	Difference in Trips
12/6/22	Tuesday	828	860	3.79%	32
12/8/22	Thursday	704	734	4.17%	30
12/14/22	Wednesday	862	884	2.52%	22
Average		798	826	3.49%	28

The manually counted video counts were reviewed to ensure accuracy. The Sensys counts were higher than the video counts on all three count collection days, resulting in average percent difference of 3.49 percent. None of the data points exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days or 960 daily trips for an exception day, and the average difference between the Sensys counts and the video counts was less than five percent.

Backup Pneumatic Tube Counts

On October 26, 2022, 900 daily trips were recorded via the Sensys magnetometers. This exceeds the daily threshold of 880 trips for a regular school day specified in the School's Conditional Use Permit. To ensure the accuracy of the data for this day, backup counts were requested from the School's pneumatic tube counter. The pneumatic tube data showed that 895 trips were made on October 26, 2022. This is less than 1 percent different than the counts obtained from the Sensys equipment, confirming the accuracy of the data received. The pneumatic tube counters are generally considered more accurate than the Sensys counts and were therefore used for determination of counts on the one day over the 880-trip threshold.

2022 Fall Trimester Summary

- During the 2022 Fall Trimester, Hillbrook School exceeded the maximum number of 880 daily trips on three separate days, two of which were traffic exception days. Enclosed, in Table 2, is the daily summary of Sensys counts for the 2022 Fall Trimester. There were four traffic exception days during the 2022 Fall Trimester. On two traffic exception days, the number of daily trips exceeded the maximum number of daily trips (880) for a regular school day but did not exceed the maximum number of daily trips for an exception day (960).
- On Thursday October 26, 2022, 895 daily trips were recorded exceeding the maximum number of daily trips for a regular school day. This day was not identified as a traffic exception day and therefore puts the school out of compliance with Condition 17 of its Conditional Use Permit.

- The highest number of daily vehicle trips was 944 trips and occurred on "Family Fun Night" on Friday September 9, 2022.
- The average number of school day vehicle trips for the 2022 Fall Trimester was approximately 789 trips, which is fewer trips than the daily maximum of 880 trips allowed by the Conditional Use Permit.
- Excluding weekends and school holidays, there were 62 instances where the difference between Sensor A and Sensor B was greater than five percent. The average difference between the Sensor A and Sensor B counts was 41 vehicles.
- It is recommended that a Sensys representative conduct a site visit to audit the sensors as well as the local driving behavior to determine if discrepancies exceeding the percent differential threshold are occurring due to issues related to sensors or due to motorists avoiding driving over the sensors to maneuver around parked vehicles, pedestrians, or any other objects near the sensors.
- The cumulative percent difference between Sensor A and Sensor B for the 2022 Fall Trimester was 10.92 percent, which is greater than the threshold of five percent outlined in the Conditional Use Permit.
- The largest daily difference between Sensor A and Sensor B was 89 vehicles on Wednesday November 2, 2022. In September 2022, the average daily difference between Sensor A and Sensor B was 37 vehicles. The difference was approximately 36 vehicles in October 2022, 48 vehicles in November 2022, and 50 vehicles in December 2022.

Conclusions

Hillbrook School was not in compliance with Condition 17 of the School's Conditional Use Permit for the school year 2022-2023 Fall Trimester since there was one instance of a regular school day exceeding the 880-trip maximum. On Thursday October 26, 2022, 895 daily trips were recorded. This day was not identified as a traffic exception day and therefore is out of compliance. Per Condition 26 of the Conditional Use Permit, the School would owe the Town of Los Gatos \$1,000 per day that exceeds the maximum daily trip cap, and \$100 per trip that exceeds the cap. Given that the School was out of compliance on one day and by 15 trips, the School would owe the Town \$2,500.

The average number of school day vehicle trips was approximately 789 trips. The average difference in traffic counts between the two Sensys Sensors was greater than the five percent threshold in the Conditional Use Permit, and the cumulative percent difference for the Fall Trimester was 10.92 percent. To reduce the discrepancy between the Sensors, it is recommended that both Sensors be calibrated or checked by technicians to produce more consistent results.

The next monitoring report is the Spring Trimester Manual Counts, which is anticipated to be completed in June 2023 prior to the conclusion of Hillbrook School's Spring Trimester. We will continue to provide monthly downloads of Sensys data during the first week of each month.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,


Nicholas Brunetto, PE
Associate Engineer

MES/ngb/LGA900-1.L1




Mark Spencer, PE
Senior Principal

Enclosures: Fall Trimester Count Summary, 24-Hour Traffic Counts, Pneumatic Tube Counts



Table 2 – Daily Sensys Count Summary – 2022 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
08/31/22	Wednesday	316	346	9.1%	692	First Day of School
09/01/22	Thursday	349	382	9.0%	764	
09/02/22	Friday	398	415	4.2%	830	
09/03/22	Saturday	12	11	8.7%	24	
09/04/22	Sunday	7	8	13.3%	16	
09/05/22	Monday	18	22	20.0%	44	Labor Day (No School)
09/06/22	Tuesday	381	401	5.1%	802	
09/07/22	Wednesday	359	388	7.8%	776	
09/08/22	Thursday	375	400	6.5%	800	
09/09/22	Friday	437	472	7.7%	944	Family Fun Night
09/10/22	Saturday	17	21	21.1%	42	
09/11/22	Sunday	9	13	36.4%	26	
09/12/22	Monday	336	399	17.1%	798	
09/13/22	Tuesday	330	359	8.4%	718	
09/14/22	Wednesday	349	392	11.6%	784	
09/15/22	Thursday	374	419	11.3%	838	Back to School Night
09/16/22	Friday	317	383	18.9%	766	
09/17/22	Saturday	15	18	18.2%	36	
09/18/22	Sunday	11	13	16.7%	26	
09/19/22	Monday	386	421	8.7%	842	
09/20/22	Tuesday	364	413	12.6%	826	
09/21/22	Wednesday	361	410	12.7%	820	
09/22/22	Thursday	381	408	6.8%	816	
09/23/22	Friday	390	418	6.9%	836	
09/24/22	Saturday	14	18	25.0%	36	
09/25/22	Sunday	12	13	8.0%	26	
09/26/22	Monday	364	392	7.4%	784	
09/27/22	Tuesday	346	377	8.6%	754	
09/28/22	Wednesday	368	406	9.8%	812	
09/29/22	Thursday	356	400	11.6%	800	
09/30/22	Friday	350	389	10.6%	778	
10/01/22	Saturday	11	10	9.5%	22	

Table 2 – Daily Sensys Count Summary – 2022 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
10/02/22	Sunday	13	15	14.3%	30	Fall Break (No School)
10/03/22	Monday	359	388	7.8%	776	
10/04/22	Tuesday	364	386	5.9%	772	
10/05/22	Wednesday	363	399	9.4%	798	
10/06/22	Thursday	385	419	8.5%	713	
10/07/22	Friday	352	381	7.9%	762	
10/08/22	Saturday	19	19	0.0%	38	
10/09/22	Sunday	6	10	50.0%	20	
10/10/22	Monday	3	3	0.0%	6	
10/11/22	Tuesday	389	437	11.6%	874	
10/12/22	Wednesday	376	392	4.2%	784	
10/13/22	Thursday	384	398	3.6%	796	
10/14/22	Friday	379	407	7.1%	814	
10/15/22	Saturday	14	19	30.3%	38	
10/16/22	Sunday	16	14	13.3%	32	
10/17/22	Monday	391	427	8.8%	854	
10/18/22	Tuesday	391	428	9.0%	856	
10/19/22	Wednesday	362	392	8.0%	784	
10/20/22	Thursday	363	403	10.4%	806	
10/21/22	Friday	348	381	9.1%	762	
10/22/22	Saturday	14	20	35.3%	40	
10/23/22	Sunday	15	17	12.5%	34	
10/24/22	Monday	380	405	6.4%	810	
10/25/22	Tuesday	339	381	11.7%	762	
10/26/22	Wednesday	397	450	12.5%	900	
10/27/22	Thursday	377	430	13.1%	860	
10/28/22	Friday	309	364	16.3%	728	
10/29/22	Saturday	9	19	71.4%	38	
10/30/22	Sunday	12	13	8.0%	26	
10/31/22	Monday	268	314	15.8%	628	
11/01/22	Tuesday	233	284	19.7%	568	
11/02/22	Wednesday	296	385	26.1%	770	
11/03/22	Thursday	358	385	7.3%	770	
11/04/22	Friday	362	390	7.4%	780	
11/05/22	Saturday	14	21	40.0%	42	

Table 2 – Daily Sensys Count Summary – 2022 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
11/06/22	Sunday	7	9	25.0%	18	
11/07/22	Monday	352	382	8.2%	764	
11/08/22	Tuesday	367	410	11.1%	820	
11/09/22	Wednesday	350	379	8.0%	758	
11/10/22	Thursday	375	409	8.7%	818	
11/11/22	Friday	340	390	13.7%	780	
11/12/22	Saturday	11	20	58.1%	40	
11/13/22	Sunday	11	15	30.8%	30	
11/14/22	Monday	336	373	10.4%	746	
11/15/22	Tuesday	336	392	15.4%	784	
11/16/22	Wednesday	293	378	25.3%	756	
11/17/22	Thursday	371	409	9.7%	742	
11/18/22	Friday	326	364	11.0%	728	
11/19/22	Saturday	18	19	5.4%	38	
11/20/22	Sunday	10	12	18.2%	24	
11/21/22	Monday	21	22	4.7%	44	Thanksgiving Week (No School)
11/22/22	Tuesday	26	25	3.9%	52	Thanksgiving Week (No School)
11/23/22	Wednesday	10	15	40.0%	30	Thanksgiving Week (No School)
11/24/22	Thursday	5	10	66.7%	20	Thanksgiving Week (No School)
11/25/22	Friday	7	7	0.0%	14	Thanksgiving Week (No School)
11/26/22	Saturday	12	9	28.6%	24	
11/27/22	Sunday	12	13	8.0%	26	
11/28/22	Monday	334	380	12.9%	760	
11/29/22	Tuesday	340	395	15.0%	790	
11/30/22	Wednesday	314	379	18.8%	758	
12/01/22	Thursday	346	409	16.7%	818	
12/02/22	Friday	329	392	17.5%	784	
12/03/22	Saturday	12	16	28.6%	32	
12/04/22	Sunday	10	12	18.2%	24	
12/05/22	Monday	369	419	12.7%	838	
12/06/22	Tuesday	355	430	19.1%	860	
12/07/22	Wednesday	375	388	3.4%	776	
12/08/22	Thursday	355	367	3.3%	734	
12/09/22	Friday	318	375	16.5%	750	
12/10/22	Saturday	8	14	54.5%	28	

Table 2 – Daily Sensys Count Summary – 2022 Fall Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
12/11/22	Sunday	6	7	15.4%	14	Winter Concert
12/12/22	Monday	368	427	14.8%	854	
12/13/22	Tuesday	346	421	19.6%	842	
12/14/22	Wednesday	391	442	12.2%	884	
12/15/22	Thursday	372	407	9.0%	814	
12/16/22	Friday	330	370	11.4%	740	

Note: Allowable percent difference less than five percent; daily trip cap 880 trips during school year. Red = value exceeds conditional use permit threshold

Hillbrook School Driveway In and Out
 Tuesday, December 6th, 2022
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	1	1
5:00	1	0
5:15	0	1
5:30	0	0
5:45	3	0
6:00	1	0
6:15	2	0
6:30	1	0
6:45	2	0
7:00	2	0
7:15	14	0
7:30	40	7
7:45	78	57
8:00	48	45
8:15	16	12
8:30	11	3
8:45	4	2
9:00	3	4
9:15	0	0
9:30	1	1
9:45	6	1
10:00	2	12
10:15	0	2
10:30	0	2
10:45	0	1
11:00	1	2
11:15	0	1

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	1	1
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	0	0
7:30	1	1
7:45	2	0
8:00	1	2
8:15	0	0
8:30	0	1
8:45	1	0
9:00	0	1
9:15	0	0
9:30	0	0
9:45	0	0
10:00	0	0
10:15	0	0
10:30	0	0
10:45	1	0
11:00	0	1
11:15	0	0

11:30	2	1
11:45	1	4
12:00	2	1
12:15	2	2
12:30	1	1
12:45	1	0
13:00	1	3
13:15	2	1
13:30	1	3
13:45	1	0
14:00	3	5
14:15	2	4
14:30	16	5
14:45	32	12
15:00	18	55
15:15	9	10
15:30	11	24
15:45	7	19
16:00	14	14
16:15	11	25
16:30	8	20
16:45	5	7
17:00	3	11
17:15	4	6
17:30	1	3
17:45	0	1
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	1
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	1
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	395	393

11:30	0	0
11:45	0	0
12:00	0	0
12:15	1	0
12:30	0	1
12:45	1	1
13:00	1	1
13:15	0	0
13:30	0	0
13:45	0	0
14:00	0	0
14:15	0	0
14:30	3	0
14:45	0	0
15:00	0	4
15:15	0	0
15:30	0	0
15:45	0	0
16:00	1	0
16:15	1	1
16:30	1	1
16:45	1	1
17:00	0	1
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	1
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	17	19

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 12/06/2022 00:00 PST

End Date: 12/07/2022 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/06/2022 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 04:45:00	0.13	2	n/a	n/a	0.28	0.98	n/a
12/06/2022 05:00:00	0.35	1	n/a	n/a	1,050.12	1,050.63	n/a
12/06/2022 05:15:00	0.14	1	n/a	n/a	521.44	524.55	n/a
12/06/2022 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 07:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 07:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 07:30:00	1.12	9	n/a	n/a	983.25	984.42	n/a
12/06/2022 07:45:00	7.31	60	n/a	n/a	14.29	15.38	n/a
12/06/2022 08:00:00	6.13	45	n/a	n/a	17.56	18.79	n/a
12/06/2022 08:15:00	1.11	12	n/a	n/a	70.81	71.69	n/a
12/06/2022 08:30:00	0.72	4	n/a	n/a	148.95	149.70	n/a
12/06/2022 08:45:00	0.06	2	n/a	n/a	414.86	417.04	n/a
12/06/2022 09:00:00	0.78	6	n/a	n/a	188.31	189.34	n/a
12/06/2022 09:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 09:30:00	0.14	1	n/a	n/a	1,432.24	1,433.41	n/a
12/06/2022 09:45:00	0.07	2	n/a	n/a	523.84	524.52	n/a
12/06/2022 10:00:00	1.13	11	n/a	n/a	109.28	110.17	n/a
12/06/2022 10:15:00	0.21	2	n/a	n/a	331.73	332.82	n/a
12/06/2022 10:30:00	0.11	2	n/a	n/a	230.16	230.69	n/a

12/06/2022 10:45:00	0.13	1	n/a	n/a	969.30	969.94	n/a
12/06/2022 11:00:00	0.47	2	n/a	n/a	670.15	672.32	n/a
12/06/2022 11:15:00	0.07	1	n/a	n/a	969.45	970.50	n/a
12/06/2022 11:30:00	0.16	2	n/a	n/a	129.63	130.10	n/a
12/06/2022 11:45:00	0.44	4	n/a	n/a	388.37	389.38	n/a
12/06/2022 12:00:00	0.07	1	n/a	n/a	1,098.91	1,099.94	n/a
12/06/2022 12:15:00	0.32	2	n/a	n/a	168.26	169.23	n/a
12/06/2022 12:30:00	0.35	2	n/a	n/a	730.86	732.89	n/a
12/06/2022 12:45:00	0.30	2	n/a	n/a	44.44	45.35	n/a
12/06/2022 13:00:00	0.57	4	n/a	n/a	373.81	375.13	n/a
12/06/2022 13:15:00	0.09	1	n/a	n/a	453.08	454.58	n/a
12/06/2022 13:30:00	0.41	3	n/a	n/a	329.84	331.03	n/a
12/06/2022 13:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 14:00:00	0.48	4	n/a	n/a	484.60	485.66	n/a
12/06/2022 14:15:00	0.37	6	n/a	n/a	125.96	126.46	n/a
12/06/2022 14:30:00	1.60	6	n/a	n/a	230.91	233.36	n/a
12/06/2022 14:45:00	1.49	12	n/a	n/a	78.71	79.83	n/a
12/06/2022 15:00:00	7.74	61	n/a	n/a	13.54	14.68	n/a
12/06/2022 15:15:00	1.21	11	n/a	n/a	42.16	43.15	n/a
12/06/2022 15:30:00	3.05	26	n/a	n/a	49.98	51.01	n/a
12/06/2022 15:45:00	2.99	18	n/a	n/a	46.27	47.78	n/a
12/06/2022 16:00:00	1.99	15	n/a	n/a	57.89	59.10	n/a
12/06/2022 16:15:00	3.38	26	n/a	n/a	35.14	36.31	n/a
12/06/2022 16:30:00	2.80	23	n/a	n/a	36.99	38.07	n/a
12/06/2022 16:45:00	1.75	10	n/a	n/a	57.80	59.06	n/a
12/06/2022 17:00:00	1.73	12	n/a	n/a	101.81	103.37	n/a
12/06/2022 17:15:00	0.81	6	n/a	n/a	131.49	132.69	n/a
12/06/2022 17:30:00	0.22	2	n/a	n/a	413.03	414.02	n/a
12/06/2022 17:45:00	2.28	2	n/a	n/a	399	405.36	n/a
12/06/2022 18:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 18:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 18:30:00	0.23	1	n/a	n/a	2,751.17	2,760.02	n/a
12/06/2022 18:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 19:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 19:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 19:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 19:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 20:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 20:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 20:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 20:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 21:00:00	0.48	2	n/a	n/a	4,550.79	4,553.05	n/a
12/06/2022 21:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 21:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 21:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 22:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 22:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 22:30:00	0.38	2	n/a	n/a	2,450.40	2,452.03	n/a
12/06/2022 22:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 23:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 23:15:00	0	0	n/a	n/a	n/a	n/a	n/a

12/06/2022 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/06/2022 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.60	430	---	n/a	147.30	148.51	n/a

Hillbrook School Driveway In and Out
Thursday, December 8th, 2022
IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	3	0
6:00	1	0
6:15	1	0
6:30	1	0
6:45	2	0
7:00	4	0
7:15	11	0
7:30	35	6
7:45	78	59
8:00	42	42
8:15	7	13
8:30	4	4
8:45	10	2
9:00	1	1
9:15	2	3
9:30	2	1
9:45	0	3
10:00	1	2
10:15	0	1
10:30	0	1
10:45	2	1
11:00	0	0
11:15	0	0

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	1	0
7:00	0	1
7:15	0	0
7:30	1	1
7:45	3	0
8:00	0	3
8:15	0	0
8:30	1	1
8:45	0	0
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0
10:00	1	0
10:15	1	0
10:30	0	0
10:45	0	1
11:00	0	1
11:15	1	1

11:30	3	3
11:45	1	1
12:00	0	1
12:15	2	0
12:30	1	0
12:45	0	1
13:00	1	0
13:15	0	2
13:30	2	1
13:45	3	2
14:00	1	1
14:15	3	8
14:30	13	2
14:45	23	2
15:00	20	55
15:15	8	13
15:30	13	22
15:45	11	23
16:00	7	14
16:15	5	16
16:30	4	12
16:45	3	4
17:00	1	2
17:15	1	5
17:30	1	1
17:45	0	0
18:00	0	0
18:15	0	1
18:30	0	0
18:45	0	0
19:00	0	1
19:15	1	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	1
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	2
23:30	0	0
23:45	0	0
Total	335	335

11:30	0	0
11:45	0	0
12:00	0	0
12:15	0	0
12:30	0	0
12:45	0	0
13:00	0	0
13:15	0	0
13:30	0	0
13:45	0	0
14:00	0	0
14:15	1	0
14:30	1	0
14:45	1	0
15:00	0	3
15:15	0	0
15:30	0	0
15:45	0	0
16:00	1	0
16:15	1	1
16:30	1	1
16:45	1	1
17:00	0	1
17:15	0	0
17:30	1	1
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	17	17

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 12/08/2022 00:00 PST

End Date: 12/09/2022 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/08/2022 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 00:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 04:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 05:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 06:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 07:00:00	0.19	2	n/a	n/a	0.39	0.59	n/a
12/08/2022 07:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 07:30:00	1.31	8	n/a	n/a	326.80	328.29	n/a
12/08/2022 07:45:00	7.89	57	n/a	n/a	14.78	16.03	n/a
12/08/2022 08:00:00	6.09	46	n/a	n/a	17.20	18.40	n/a
12/08/2022 08:15:00	1.59	13	n/a	n/a	68.05	69.14	n/a
12/08/2022 08:30:00	0.61	5	n/a	n/a	132.77	133.77	n/a
12/08/2022 08:45:00	0.28	2	n/a	n/a	377.02	378.33	n/a
12/08/2022 09:00:00	0.19	1	n/a	n/a	575.43	576.84	n/a
12/08/2022 09:15:00	0.42	3	n/a	n/a	485.09	486.20	n/a
12/08/2022 09:30:00	0.14	1	n/a	n/a	284.73	286.92	n/a
12/08/2022 09:45:00	0.38	3	n/a	n/a	331.03	332.29	n/a
12/08/2022 10:00:00	0.11	1	n/a	n/a	1,261.36	1,262.26	n/a
12/08/2022 10:15:00	0.28	2	n/a	n/a	243.87	244.93	n/a
12/08/2022 10:30:00	0.09	1	n/a	n/a	1,355.59	1,356.93	n/a

12/08/2022 10:45:00	0.40	2	n/a	n/a	335.56	337.27	n/a
12/08/2022 11:00:00	0.87	1	n/a	n/a	653.06	654.08	n/a
12/08/2022 11:15:00	0.41	1	n/a	n/a	1,192.48	1,200.31	n/a
12/08/2022 11:30:00	0.41	3	n/a	n/a	380.60	382.66	n/a
12/08/2022 11:45:00	0.14	1	n/a	n/a	444.96	446.22	n/a
12/08/2022 12:00:00	0.15	1	n/a	n/a	947.82	949.11	n/a
12/08/2022 12:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 12:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 12:45:00	0.09	1	n/a	n/a	2,760.34	2,761.73	n/a
12/08/2022 13:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 13:15:00	0.24	2	n/a	n/a	1,060.12	1,061	n/a
12/08/2022 13:30:00	0.14	1	n/a	n/a	730.38	731.53	n/a
12/08/2022 13:45:00	0.19	2	n/a	n/a	607.83	608.86	n/a
12/08/2022 14:00:00	0.10	1	n/a	n/a	562.78	563.65	n/a
12/08/2022 14:15:00	1.39	11	n/a	n/a	116.71	117.67	n/a
12/08/2022 14:30:00	0.60	3	n/a	n/a	304.11	306.43	n/a
12/08/2022 14:45:00	0.13	1	n/a	n/a	613.47	614.65	n/a
12/08/2022 15:00:00	10.25	60	n/a	n/a	18.34	19.87	n/a
12/08/2022 15:15:00	1.66	13	n/a	n/a	68.53	69.72	n/a
12/08/2022 15:30:00	2.92	23	n/a	n/a	36.61	37.76	n/a
12/08/2022 15:45:00	2.91	22	n/a	n/a	39.89	41.03	n/a
12/08/2022 16:00:00	1.68	15	n/a	n/a	60.38	61.48	n/a
12/08/2022 16:15:00	2.82	18	n/a	n/a	44.89	46.18	n/a
12/08/2022 16:30:00	2.72	15	n/a	n/a	56.67	58.37	n/a
12/08/2022 16:45:00	0.57	5	n/a	n/a	161.87	162.88	n/a
12/08/2022 17:00:00	1.37	4	n/a	n/a	135.26	137.96	n/a
12/08/2022 17:15:00	0.60	5	n/a	n/a	245.49	246.97	n/a
12/08/2022 17:30:00	2.14	4	n/a	n/a	268.13	270.29	n/a
12/08/2022 17:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 18:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 18:15:00	0.16	1	n/a	n/a	2,361.71	2,373.27	n/a
12/08/2022 18:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 18:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 19:00:00	0.16	1	n/a	n/a	2,370.96	2,372.44	n/a
12/08/2022 19:15:00	3.25	1	n/a	n/a	1,282.04	1,283.47	n/a
12/08/2022 19:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 19:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 20:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 20:15:00	0.16	1	n/a	n/a	2,991.48	3,020.73	n/a
12/08/2022 20:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 20:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 21:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 21:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 21:30:00	0.12	1	n/a	n/a	5,046.59	5,048.06	n/a
12/08/2022 21:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 22:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 22:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 22:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 22:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 23:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 23:15:00	0.54	2	n/a	n/a	3,159.84	3,161.68	n/a

12/08/2022 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/08/2022 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.61	367	---	n/a	159.43	160.87	n/a

Hillbrook School Driveway In and Out
 Wednesday, December 14th, 2022
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	2
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	1	0
5:30	0	1
5:45	3	0
6:00	0	1
6:15	2	0
6:30	0	0
6:45	2	0
7:00	2	2
7:15	7	0
7:30	30	5
7:45	84	58
8:00	47	42
8:15	11	21
8:30	4	4
8:45	7	4
9:00	5	1
9:15	1	1
9:30	1	1
9:45	1	1
10:00	2	1
10:15	0	2
10:30	2	1
10:45	1	7
11:00	0	0
11:15	0	0

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	1	0
4:30	0	1
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	0	0
7:30	1	1
7:45	2	1
8:00	1	3
8:15	0	0
8:30	0	0
8:45	0	0
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0
10:00	0	0
10:15	0	0
10:30	0	0
10:45	0	0
11:00	0	0
11:15	0	0

11:30	0	1
11:45	0	2
12:00	0	0
12:15	2	0
12:30	2	1
12:45	0	0
13:00	1	1
13:15	0	2
13:30	1	1
13:45	7	1
14:00	1	2
14:15	3	5
14:30	15	2
14:45	35	7
15:00	16	54
15:15	9	30
15:30	8	12
15:45	15	14
16:00	10	13
16:15	3	22
16:30	8	9
16:45	1	6
17:00	1	2
17:15	2	2
17:30	2	3
17:45	5	4
18:00	8	1
18:15	9	1
18:30	18	4
18:45	8	2
19:00	1	2
19:15	1	0
19:30	0	1
19:45	0	1
20:00	1	8
20:15	2	28
20:30	0	6
20:45	0	2
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	1
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	1
23:15	0	0
23:30	0	0
23:45	0	0
Total	408	409

11:30	1	0
11:45	0	1
12:00	0	0
12:15	0	0
12:30	0	0
12:45	0	0
13:00	0	0
13:15	0	0
13:30	0	0
13:45	0	0
14:00	0	0
14:15	1	0
14:30	1	0
14:45	1	0
15:00	0	0
15:15	0	3
15:30	0	0
15:45	0	0
16:00	1	0
16:15	1	1
16:30	0	0
16:45	2	1
17:00	0	0
17:15	0	0
17:30	0	0
17:45	0	2
18:00	0	0
18:15	2	1
18:30	2	2
18:45	2	2
19:00	1	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	2	0
20:30	0	2
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	22	21

Results for Sensor Zone 'ExitB' in AP: 'APEG 9545'

Start Date: 12/14/2022 00:00 PST

End Date: 12/15/2022 00:00 PST

Reporting interval: 15 minutes, Speed Average: Averaged by car

Time (Beginning of Interval)	Occup (%)	Volume	Median Speed (mph)	Avg Speed (mph)	Avg Gap (sec)	Avg Headway (sec)	Avg Length (ft)
12/14/2022 00:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 00:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 00:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 00:45:00	0.44	2	n/a	n/a	4.51	6.30	n/a
12/14/2022 01:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 01:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 01:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 01:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 02:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 02:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 02:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 02:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 03:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 03:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 03:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 03:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 04:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 04:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 04:30:00	0.28	1	n/a	n/a	13,443.33	13,445.48	n/a
12/14/2022 04:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 05:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 05:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 05:30:00	0.29	2	n/a	n/a	1,763.94	1,766.06	n/a
12/14/2022 05:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 06:00:00	0.12	1	n/a	n/a	1,935.38	1,936.32	n/a
12/14/2022 06:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 06:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 06:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 07:00:00	0.34	2	n/a	n/a	2,045.85	2,047.09	n/a
12/14/2022 07:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 07:30:00	0.82	5	n/a	n/a	382.24	383.77	n/a
12/14/2022 07:45:00	6.94	60	n/a	n/a	14.43	15.48	n/a
12/14/2022 08:00:00	7.98	47	n/a	n/a	17.30	18.79	n/a
12/14/2022 08:15:00	2.29	22	n/a	n/a	39.26	40.26	n/a
12/14/2022 08:30:00	0.36	4	n/a	n/a	93.60	94.36	n/a
12/14/2022 08:45:00	0.45	4	n/a	n/a	330.02	331.02	n/a
12/14/2022 09:00:00	0.13	1	n/a	n/a	427.34	428.19	n/a
12/14/2022 09:15:00	0.08	1	n/a	n/a	912.52	913.70	n/a
12/14/2022 09:30:00	0.18	1	n/a	n/a	1,228.72	1,229.44	n/a
12/14/2022 09:45:00	0.12	1	n/a	n/a	577.71	579.30	n/a
12/14/2022 10:00:00	0.11	1	n/a	n/a	1,378.87	1,379.91	n/a
12/14/2022 10:15:00	1.70	3	n/a	n/a	282.55	286.42	n/a
12/14/2022 10:30:00	0.15	1	n/a	n/a	870.54	875.16	n/a

12/14/2022 10:45:00	0.84	7	n/a	n/a	142.20	143.33	n/a
12/14/2022 11:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 11:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 11:30:00	0.14	1	n/a	n/a	2,167.91	2,168.88	n/a
12/14/2022 11:45:00	0.15	1	n/a	n/a	807.38	808.64	n/a
12/14/2022 12:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 12:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 12:30:00	0.11	1	n/a	n/a	3,265.83	3,267.20	n/a
12/14/2022 12:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 13:00:00	1.01	3	n/a	n/a	482.82	485.64	n/a
12/14/2022 13:15:00	0.16	1	n/a	n/a	1,348.80	1,350.47	n/a
12/14/2022 13:30:00	0.12	1	n/a	n/a	805.99	807.42	n/a
12/14/2022 13:45:00	0.09	1	n/a	n/a	929.09	930.17	n/a
12/14/2022 14:00:00	0.23	2	n/a	n/a	293.94	294.85	n/a
12/14/2022 14:15:00	0.34	3	n/a	n/a	359.61	360.60	n/a
12/14/2022 14:30:00	0.25	2	n/a	n/a	426.16	427.46	n/a
12/14/2022 14:45:00	1.31	9	n/a	n/a	115.88	117.14	n/a
12/14/2022 15:00:00	7.91	54	n/a	n/a	17.16	18.47	n/a
12/14/2022 15:15:00	5.21	34	n/a	n/a	24.23	25.63	n/a
12/14/2022 15:30:00	1.51	13	n/a	n/a	64.38	65.43	n/a
12/14/2022 15:45:00	2.29	16	n/a	n/a	58.64	59.87	n/a
12/14/2022 16:00:00	1.88	13	n/a	n/a	69.15	70.48	n/a
12/14/2022 16:15:00	2.94	23	n/a	n/a	38.67	39.85	n/a
12/14/2022 16:30:00	1	8	n/a	n/a	104.84	106.04	n/a
12/14/2022 16:45:00	1.66	10	n/a	n/a	79.43	80.89	n/a
12/14/2022 17:00:00	0.10	1	n/a	n/a	305.91	306.60	n/a
12/14/2022 17:15:00	0.32	3	n/a	n/a	381.74	382.76	n/a
12/14/2022 17:30:00	0.32	3	n/a	n/a	459.66	460.53	n/a
12/14/2022 17:45:00	1.14	6	n/a	n/a	72.80	74.34	n/a
12/14/2022 18:00:00	0.08	1	n/a	n/a	984.01	985.95	n/a
12/14/2022 18:15:00	0.78	3	n/a	n/a	291.26	293.43	n/a
12/14/2022 18:30:00	1.42	8	n/a	n/a	143.76	145.41	n/a
12/14/2022 18:45:00	1.02	4	n/a	n/a	228.30	230.06	n/a
12/14/2022 19:00:00	0.59	3	n/a	n/a	257.87	259.88	n/a
12/14/2022 19:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 19:30:00	0.14	1	n/a	n/a	1,679.06	1,681.26	n/a
12/14/2022 19:45:00	0.20	1	n/a	n/a	385.04	386.27	n/a
12/14/2022 20:00:00	0.69	8	n/a	n/a	195.68	196.55	n/a
12/14/2022 20:15:00	3.41	26	n/a	n/a	32.57	33.73	n/a
12/14/2022 20:30:00	2.19	8	n/a	n/a	59.48	61.65	n/a
12/14/2022 20:45:00	0.37	2	n/a	n/a	329.78	332.72	n/a
12/14/2022 21:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 21:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 21:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 21:45:00	0.26	1	n/a	n/a	4,124.84	4,126.42	n/a
12/14/2022 22:00:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 22:15:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 22:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 22:45:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 23:00:00	0.24	1	n/a	n/a	3,901.87	3,904.20	n/a
12/14/2022 23:15:00	0	0	n/a	n/a	n/a	n/a	n/a

12/14/2022 23:30:00	0	0	n/a	n/a	n/a	n/a	n/a
12/14/2022 23:45:00	0	0	n/a	n/a	n/a	n/a	n/a
Grand Total	0.68	442	---	n/a	179.36	180.69	n/a

Wednesday, October 26, 2022

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	2	0	2	0	0	0	0	0	0	0	0	0	0	0	10.4	-
0500	2	0	2	0	0	0	0	0	0	0	0	0	0	0	7	-
0600	7	1	4	1	0	0	1	0	0	0	0	0	0	0	9.7	-
0700	270	4	221	33	3	1	7	1	0	0	0	0	0	0	10.4	12.8
0800	67	0	49	12	0	1	4	1	0	0	0	0	0	0	11.5	14.3
0900	20	0	17	3	0	0	0	0	0	0	0	0	0	0	11	12.5
1000	18	2	11	2	0	2	1	0	0	0	0	0	0	0	11.7	13.2
1100	22	0	18	1	0	0	3	0	0	0	0	0	0	0	12	15
1200	15	0	8	5	0	1	1	0	0	0	0	0	0	0	9.8	12.3
1300	15	0	11	2	0	1	1	0	0	0	0	0	0	0	10.1	11.9
1400	112	1	76	24	0	1	10	0	0	0	0	0	0	0	9.7	11.9
1500	128	2	96	26	1	0	3	0	0	0	0	0	0	0	11	13
1600	142	2	112	16	2	1	9	0	0	0	0	0	0	0	10.4	12.3
1700	73	0	66	5	0	0	2	0	0	0	0	0	0	0	10.6	12.8
1800	1	0	1	0	0	0	0	0	0	0	0	0	0	0	5	-
1900	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2200	1	0	1	0	0	0	0	0	0	0	0	0	0	0	6.4	-
07-19	883	11	686	129	6	8	41	2	0	0	0	0	0	0	10.6	13
06-22	890	12	690	130	6	8	42	2	0	0	0	0	0	0	10.5	12.8
06-00	891	12	691	130	6	8	42	2	0	0	0	0	0	0	10.5	12.8
00-00	895	12	695	130	6	8	42	2	0	0	0	0	0	0	10.5	12.8

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	895	12	695	130	6	8	42	2	0	0	0	0	0	0	10.5	12.8

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November 16, 2023

Mr. Michael Vroman, PE
Senior Traffic Engineer
Town of Los Gatos
41 Miles Avenue
Los Gatos, CA 95030

Hillbrook School 2022-2023 Spring Trimester Monitoring

Dear Mr. Vroman;

As requested, W-Trans has prepared a summary of the Spring Trimester traffic monitoring of Hillbrook School in Los Gatos for the 2022-2023 school year. The purpose of this memo is to summarize the 2023 Spring Trimester daily vehicle trips and to note any discrepancies in the data collection. Based on the collected data, Hillbrook School has exceeded the maximum number of daily trips on five occasions during the Spring Trimester.

Existing Conditions

The Hillbrook School is located at 300 Marchmont Drive in the Town of Los Gatos. According to Condition 17 of the school's Conditional Use Permit, "the maximum number of daily vehicle trips shall not exceed 880." The school can identify up to ten traffic exception days where they are permitted to exceed the maximum number of daily trips, however, the total number of trips on these exception days shall not exceed 960. The school maintains two Sensys magnetometer traffic counters embedded in the pavement of the exit lane outside the school's gate, approximately thirty feet apart. These magnetometers are calibrated to detect the presence of vehicles and motorcycles, but not bicycles or other non-motorized means of transportation.

Hillbrook School and Sensys staff continuously monitor the functionality of the system. The magnetometers are self-calibrating, self-tuning, and are upgraded remotely as new software is released. The sensors are continuously calibrating and should be validated each trimester. Sensys staff did not validate the sensors prior to the 2023 Spring Trimester, though they have previously conducted an independent validation of the count system and concluded the daily counts are showing between 97 percent and 99.75percent accuracy. Hillbrook School has implemented traffic control measures to improve the flow of vehicles over the sensors and maintain data accuracy, including the installation of lane delineators along Marchmont Drive.

Hillbrook School has only one vehicular access point, and because of this it is assumed that all exit trips also made an entrance trip through this location. For reporting purposes, the maximum of either Exit A or Exit B is used to determine the number of daily trips. It is noted that the normal daily vehicle trips from the houses located adjacent to Hillbrook School on Marchmont Drive have the potential to also be detected by the Sensys counters. The trips have the potential to be detected by one or both sensors, and thus could possibly increase in the number of days where the difference between sensors is larger than five percent.

The Conditional Use Permit also outlines the requirements of manual data collection in Condition 19 and "the school shall be considered out of compliance if any mechanical readings exceed the Sensys counts by more than five percent and where the readings are above the maximum number of daily vehicle trips."

A permanent backup pneumatic tube counter, a MetroCount MC56000 Vehicle Classifier System, is located in both the entrance and exit lanes just outside of the school's gate. Pneumatic tube systems utilize rubber tubes placed across traffic lanes in specific configurations. When a vehicle travels over the tube the air pressure in the tube is compressed and this compression triggers an event recording. The system is programed to classify vehicles based on the distance between the front and rear axle. The school's MetroCount system counts the total number of trips, both entrance and exit trips. While the Sensys system can be accessed remotely online, the MetroCount system

is local to the school's network. The school has agreed to, and continues to, actively provide W-Trans with backup data directly from the MetroCount system when necessary.

24-hour Manual Counts and Observations

For the 2023 Spring Trimester, traffic counts were obtained on Marchmont Drive on March 28, March 30, and April 5, 2023. These dates were selected to cover a variety of on-campus activities. Thursday, March 30 was an exception day as a "Middle School SIL Impact Summit" event was scheduled on this day. The 24-hour Video and Sensys traffic counts for the selected dates are enclosed.

The traffic counts based on video taken by W-Trans represent the total sum of entrance and exit trips for 24-hours, broken down into 15-minute intervals. The Sensys counts represent the exit trips for the same 24-hour period. In order to convert exit trips to both entrance and exit trips, the maximum count from either Exit A or Exit B was determined and doubled (assuming one trip in is equivalent to one trip out). The raw Sensys data and video counts are enclosed. The video counts were then compared to the Sensys data for the same time period in Table 1.

Table 1 – Summary of 24-Hour Counts for Spring Trimester 2023

Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Video	Sensys	Percent Difference	Difference in Trips
3/28/23	Tuesday	930	940	1.07%	10
3/30/23	Thursday	765	802	4.72%	37
4/5/23	Wednesday	645	710	9.59%	65
Average		798	826	5.13%	37

The manually counted video counts were reviewed to ensure accuracy. The Sensys counts were higher than the video counts on all three count collection days, resulting in an average percent difference of 5.13 percent. Counts on March 28 indicate that the number of trips exceeded the Conditional Use Permit daily trip cap of 880 daily trips for normal school days. Slight differences in count number can be expected due to data inaccuracies between any two data sets. For count data, less than a five percent difference is typically acceptable, on average. The average difference between the Sensys counts and the video counts was greater than five percent, which indicates that the Sensys counts were slightly overestimating trips. It is recommended that a Sensys representative visit the school to audit the sensors to ensure their accuracy.

2023 Spring Trimester Summary

- During the 2023 Spring Trimester, Hillbrook School exceeded the maximum number of 880 daily trips on six separate days, one of which was a traffic exception day. Enclosed, in Table 3, is the daily summary of Sensys counts for the 2023 Spring Trimester.
- On March 17, March 21, March 28, March 29, and April 17, over 880 daily trips were recorded, exceeding the maximum number of daily trips for a regular school day. These days were not identified as a traffic exception day and therefore put the school out of compliance with Condition 17 of its Conditional Use Permit.
- There were five traffic exception days during the 2023 Spring Trimester. On one traffic exception day, the number of daily trips exceeded the maximum number of daily trips (880) for a regular school day but did not exceed the maximum number of daily trips for an exception day (960). Therefore, the maximum number of daily trips for an exception day was not exceeded during the Spring Trimester.
- The highest number of daily vehicle trips was 950 trips and occurred on "8th Grade Musical" on Thursday May 25, 2023. This day was marked as a traffic exception day.

- The average number of school day vehicle trips for the 2023 Spring Trimester was approximately 786 trips, which is fewer trips than the daily maximum of 880 trips allowed by the Conditional Use Permit.
- Excluding weekends and school holidays, there were 24 instances where the difference between Sensor A and Sensor B was greater than five percent. The average difference between the Sensor A and Sensor B counts was 71 vehicles. However, Sensor A was malfunctioning between January 17 and February 6, 2023. This inactivity contributed to the difference in counts reported by the sensors. For the rest of the Trimester, between February 6 and June 5, the average difference was approximately ten vehicles with nine instances exceeding a percent difference of five percent.
- It is recommended that a Sensys representative conduct a site visit to audit the sensors as well as the local driving behavior to determine if discrepancies exceeding the percent differential threshold are occurring due to issues related to sensors or due to motorists avoiding driving over the sensors to maneuver around parked vehicles, pedestrians, or any other objects near the sensors.
- The cumulative percent difference between Sensor A and Sensor B for the 2023 Spring Trimester was 19.50 percent, which is greater than the threshold of five percent outlined in the Conditional Use Permit. When analyzing only the days where both sensors were working properly (February 7, 2023 through the end of the semester), the cumulative percent difference was 0.92 percent.
- The largest daily difference between Sensor A and Sensor B was 422 vehicles on Wednesday January 25, 2022. In January 2023, the average daily difference between Sensor A and Sensor B was 254 vehicles. This difference can be attributed to Sensor A malfunctioning. When analyzing the rest of the Trimester, the difference was approximately 107 vehicles in February 2023, 4 vehicles in March 2023, five vehicles in April 2023, six vehicles in May 2023, and 11 vehicles in June 2023.

Backup Pneumatic Tube Counts

Based on the Sensys counts, Hillbrook School exceeded the daily threshold of 880 trips for a regular school day specified in the school's Conditional Use Permit on several days. To ensure the accuracy of the data for these days, backup counts were requested from the school's pneumatic tube counter. A summary of these counts is provided in Table 2. On average, there was a less than a four percent difference than the counts obtained from the Sensys equipment, confirming the accuracy of the data received. It is noted that the pneumatic tube counts are generally considered to be more accurate than the Sensys counts. For this reason, the pneumatic tube counts were used for determination of counts on these days. Therefore, the school is only out of compliance for three days: March 21, March 28, and April 18. Copies of the pneumatic tube counts are enclosed.

Table 2 – Comparison of Sensys Counts to Tube Counts

Date	Day of the Week	Counts (# of Vehicles)		Summary of Counts	
		Sensys	Tube	Percent Difference	Difference in Trips
3/17/23	Tuesday	898	875	2.56%	23
3/21/23	Tuesday	934	882	5.57%	52
3/28/23	Tuesday	940	901	4.15%	39
3/29/23	Wednesday	888	835	5.97%	53
4/18/23	Tuesday	884	881	0.34%	3
Average		909	875	3.72%	34

Conclusions

Hillbrook School was not in compliance with Condition 17 of the school's Conditional Use Permit for the 2022-2023 Spring Trimester since there were three instances of a regular school day exceeding the 880-trip maximum. Over 880 trips were recorded on March 21, March 28, and April 18. These days were not identified as traffic

exception days and therefore are out of compliance. Per Condition 26 of the Conditional Use Permit, the school would owe the Town of Los Gatos \$1,000 per day that exceeds the maximum daily trip cap, and \$100 per trip that exceeds the cap. Given that the school was out of compliance on three days and by 24 trips on those days, the school would owe the Town \$5,400.

The average number of school day vehicle trips was approximately 786 trips. The average difference in traffic counts between the two Sensys Sensors was greater than the five percent threshold in the Conditional Use Permit, and the cumulative percent difference for the Spring Trimester was 19.50 percent. To reduce the discrepancy between the Sensors, it is recommended that both Sensors be calibrated, checked or replaced by technicians to produce more consistent results.

Throughout the course of the year, the school continually updated their Traffic Exception Days calendar. The Conditional Use Permit specifies that the Exception Days must be posted and maintained as of August 1 prior to the school year beginning. By continually updating the calendar, the school is not in compliance with Condition 17 part c of the school's Conditional Use Permit. The school should post the days on August 1 and maintain them to the best of their ability.

This concludes the Traffic Monitoring for the Hillbrook School 2022-23 school year. The next monitoring report would be the Fall Trimester Counts, which is anticipated to be completed in December 2023 prior to the conclusion of Hillbrook School's Fall Trimester.

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,


Nicholas Brunetto, PE
Associate Engineer

MES/ngb/LGA900-1.L2




Mark Spencer, PE
Senior Principal

Enclosures: Spring Trimester Count Summary, 24-Hour Traffic Counts, Pneumatic Tube Counts



Table 3 – Daily Sensys Count Summary – 2023 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
01/03/23	Tuesday	330	361	9.0%	722	First Day of Trimester
01/04/23	Wednesday	348	368	5.6%	736	
01/05/23	Thursday	344	372	7.8%	744	
01/06/23	Friday	323	382	16.7%	764	
01/07/23	Saturday	9	13	36.4%	26	
01/08/23	Sunday	8	11	31.6%	22	
01/09/23	Monday	377	439	15.2%	878	
01/10/23	Tuesday	3	4	28.6%	8	
01/11/23	Wednesday	333	390	15.8%	780	
01/12/23	Thursday	313	407	26.1%	814	
01/13/23	Friday	351	424	18.8%	848	
01/14/23	Saturday	13	9	36.4%	26	
01/15/23	Sunday	8	6	28.6%	16	
01/16/23	Monday	15	23	42.1%	46	MLK Jr Day (No School)
01/17/23	Tuesday	25	426	177.8%	852	
01/18/23	Wednesday	0	390	200.0%	780	
01/19/23	Thursday	0	413	200.0%	826	
01/20/23	Friday	0	396	200.0%	792	
01/21/23	Saturday	0	129	200.0%	258	
01/22/23	Sunday	0	15	200.0%	30	
01/23/23	Monday	0	364	200.0%	728	
01/24/23	Tuesday	0	409	200.0%	818	
01/25/23	Wednesday	1	423	199.1%	846	
01/26/23	Thursday	0	408	200.0%	816	
01/27/23	Friday	0	376	200.0%	752	
01/28/23	Saturday	0	9	200.0%	18	
01/29/23	Sunday	0	7	200.0%	14	
01/30/23	Monday	0	400	200.0%	800	
01/31/23	Tuesday	0	422	200.0%	844	
02/01/23	Wednesday	0	384	200.0%	768	
02/02/23	Thursday	0	398	200.0%	796	
02/03/23	Friday	0	403	200.0%	806	

Table 3 – Daily Sensys Count Summary – 2023 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
02/04/23	Saturday	0	11	200.0%	22	
02/05/23	Sunday	0	8	200.0%	16	
02/06/23	Monday	45	401	159.6%	802	
02/07/23	Tuesday	393	405	3.0%	810	
02/08/23	Wednesday	366	377	3.0%	713	
02/09/23	Thursday	418	414	1.0%	836	
02/10/23	Friday	420	432	2.8%	864	
02/11/23	Saturday	16	18	11.8%	36	
02/12/23	Sunday	13	16	20.7%	32	
02/13/23	Monday	411	409	0.5%	822	
02/14/23	Tuesday	415	417	0.5%	834	
02/15/23	Wednesday	370	370	0.0%	740	
02/16/23	Thursday	398	401	0.8%	802	
02/17/23	Friday	360	357	0.8%	720	
02/18/23	Saturday	8	9	11.8%	18	
02/19/23	Sunday	6	6	0.0%	12	
02/20/23	Monday	21	21	0.0%	42	February Break (No School)
02/21/23	Tuesday	49	42	15.4%	98	February Break (No School)
02/22/23	Wednesday	46	48	4.3%	96	February Break (No School)
02/23/23	Thursday	36	36	0.0%	72	February Break (No School)
02/24/23	Friday	11	13	16.7%	26	February Break (No School)
02/25/23	Saturday	11	10	9.5%	22	
02/26/23	Sunday	8	10	22.2%	20	
02/27/23	Monday	409	410	0.2%	820	
02/28/23	Tuesday	415	419	1.0%	838	
03/01/23	Wednesday	382	382	0.0%	764	
03/02/23	Thursday	411	413	0.5%	826	
03/03/23	Friday	413	410	0.7%	826	
03/04/23	Saturday	11	10	9.5%	22	
03/05/23	Sunday	14	13	7.4%	28	
03/06/23	Monday	387	387	0.0%	774	
03/07/23	Tuesday	371	378	1.9%	756	
03/08/23	Wednesday	211	215	1.9%	430	
03/09/23	Thursday	409	410	0.2%	820	
03/10/23	Friday	433	434	0.2%	868	

Table 3 – Daily Sensys Count Summary – 2023 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
03/11/23	Saturday	20	14	35.3%	40	
03/12/23	Sunday	21	22	4.7%	44	
03/13/23	Monday	416	420	1.0%	840	
03/14/23	Tuesday	219	217	0.9%	438	
03/15/23	Wednesday	0	0	N/A	0	
03/16/23	Thursday	68	71	4.3%	142	
03/17/23	Friday	449	448	0.2%	898	
03/18/23	Saturday	10	11	9.5%	22	
03/19/23	Sunday	19	19	0.0%	38	
03/20/23	Monday	411	409	0.5%	822	
03/21/23	Tuesday	467	466	0.2%	934	
03/22/23	Wednesday	405	410	1.2%	810	
03/23/23	Thursday	348	358	2.8%	716	
03/24/23	Friday	287	294	2.4%	588	
03/25/23	Saturday	17	14	19.4%	34	
03/26/23	Sunday	12	13	8.0%	26	
03/27/23	Monday	393	401	2.0%	802	
03/28/23	Tuesday	462	470	1.7%	940	
03/29/23	Wednesday	435	444	2.0%	888	
03/30/23	Thursday	401	397	1.0%	802	Middle School SIL Impact Summit
03/31/23	Friday	360	362	0.6%	724	
04/01/23	Saturday	19	14	30.3%	38	
04/02/23	Sunday	12	13	8.0%	26	
04/03/23	Monday	371	378	1.9%	756	
04/04/23	Tuesday	366	366	0.0%	732	
04/05/23	Wednesday	355	355	0.0%	710	
04/06/23	Thursday	352	354	0.6%	708	
04/07/23	Friday	404	408	1.0%	816	
04/08/23	Saturday	8	6	28.6%	16	
04/09/23	Sunday	11	8	31.6%	22	
04/10/23	Monday	23	22	4.4%	46	Spring Break (No School)
04/11/23	Tuesday	27	27	0.0%	54	Spring Break (No School)
04/12/23	Wednesday	27	26	3.8%	54	Spring Break (No School)
04/13/23	Thursday	35	37	5.6%	74	Spring Break (No School)

Table 3 – Daily Sensys Count Summary – 2023 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
04/14/23	Friday	19	18	5.4%	38	Spring Break (No School)
04/15/23	Saturday	19	25	27.3%	50	
04/16/23	Sunday	18	17	5.7%	36	
04/17/23	Monday	369	372	0.8%	744	
04/18/23	Tuesday	438	442	0.9%	884	
04/19/23	Wednesday	412	418	1.4%	836	
04/20/23	Thursday	404	414	2.4%	828	
04/21/23	Friday	359	363	1.1%	726	
04/22/23	Saturday	10	10	0.0%	20	
04/23/23	Sunday	16	21	27.0%	42	
04/24/23	Monday	405	415	2.4%	830	1st-4th Spring Concert
04/25/23	Tuesday	407	413	1.5%	826	
04/26/23	Wednesday	381	378	0.8%	762	
04/27/23	Thursday	389	388	0.3%	778	
04/28/23	Friday	377	381	1.1%	762	
04/29/23	Saturday	25	27	7.7%	54	
04/30/23	Sunday	17	20	16.2%	40	
05/01/23	Monday	374	381	1.9%	762	
05/02/23	Tuesday	387	389	0.5%	778	
05/03/23	Wednesday	406	412	1.5%	824	Alumni Celebration
05/04/23	Thursday	416	413	0.7%	832	
05/05/23	Friday	388	379	2.3%	776	
05/06/23	Saturday	9	9	0.0%	18	
05/07/23	Sunday	17	18	5.7%	36	
05/08/23	Monday	411	415	1.0%	830	
05/09/23	Tuesday	365	364	0.3%	730	
05/10/23	Wednesday	328	334	1.8%	668	
05/11/23	Thursday	343	346	0.9%	692	
05/12/23	Friday	331	334	0.9%	668	
05/13/23	Saturday	24	24	0.0%	48	
05/14/23	Sunday	19	19	0.0%	38	
05/15/23	Monday	377	381	1.1%	762	
05/16/23	Tuesday	412	419	1.7%	838	
05/17/23	Wednesday	385	381	1.0%	770	
05/18/23	Thursday	419	417	0.5%	838	

Table 3 – Daily Sensys Count Summary – 2023 Spring Trimester

Date	Day of the Week	Sensys Counts (# of Vehicles)		Summary of Sensys Counts		Notes
		Exit A	Exit B	Percent Difference	Daily Trips	
05/19/23	Friday	422	427	1.2%	854	
05/20/23	Saturday	14	15	6.9%	30	
05/21/23	Sunday	11	11	0.0%	22	
05/22/23	Monday	391	397	1.5%	794	
05/23/23	Tuesday	425	429	0.9%	858	
05/24/23	Wednesday	394	401	1.8%	802	8th Grade Musical
05/25/23	Thursday	463	475	2.6%	950	8th Grade Musical
05/26/23	Friday	369	387	4.8%	774	
05/27/23	Saturday	5	6	18.2%	12	
05/28/23	Sunday	7	4	54.5%	14	
05/29/23	Monday	9	9	0.0%	18	Memorial Day (No School)
05/30/23	Tuesday	409	407	0.5%	818	
05/31/23	Wednesday	387	395	2.0%	790	
06/01/23	Thursday	439	440	0.2%	880	
06/02/23	Friday	265	293	10.0%	586	
06/03/23	Saturday	12	11	8.7%	24	
06/04/23	Sunday	13	13	0.0%	26	
06/05/23	Monday	338	340	0.6%	680	8th Grade Graduation

Note: Allowable percent difference less than five percent; daily trip cap 880 trips during school year. **Red** = value exceeds conditional use permit threshold

Hillbrook School Driveway In and Out
 Tuesday, March 28, 2023
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	1	1
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	1	1
5:00	0	0
5:15	0	0
5:30	0	0
5:45	2	0
6:00	2	0
6:15	3	0
6:30	2	0
6:45	1	0
7:00	2	0
7:15	13	0
7:30	38	12
7:45	101	62
8:00	38	33
8:15	18	16
8:30	5	6
8:45	8	3
9:00	2	4
9:15	5	10
9:30	5	8
9:45	1	1

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
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5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	0	0
7:30	1	1
7:45	3	0
8:00	0	3
8:15	0	0
8:30	0	0
8:45	0	0
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0

10:00	3	2
10:15	2	2
10:30	1	1
10:45	3	1
11:00	1	4
11:15	2	1
11:30	2	4
11:45	0	1
12:00	3	2
12:15	0	0
12:30	1	1
12:45	1	2
13:00	3	2
13:15	2	1
13:30	2	4
13:45	4	5
14:00	3	8
14:15	3	7
14:30	28	5
14:45	36	9
15:00	25	58
15:15	13	32
15:30	18	21
15:45	10	17
16:00	8	30
16:15	9	19
16:30	9	12
16:45	4	14
17:00	3	6
17:15	2	6
17:30	2	7
17:45	0	2
18:00	0	1
18:15	0	0
18:30	0	0
18:45	0	2
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0

10:00	1	0
10:15	0	0
10:30	1	1
10:45	0	1
11:00	0	0
11:15	0	0
11:30	1	0
11:45	1	1
12:00	0	0
12:15	0	0
12:30	1	2
12:45	0	0
13:00	0	0
13:15	0	0
13:30	0	0
13:45	0	0
14:00	0	0
14:15	1	0
14:30	2	0
14:45	0	0
15:00	0	3
15:15	0	0
15:30	0	0
15:45	0	0
16:00	1	0
16:15	1	1
16:30	1	1
16:45	0	0
17:00	0	1
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0

21:30	0	0
21:45	0	0
22:00	0	1
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	2
23:30	0	0
23:45	0	0
Total	451	449

21:30	0	0
21:45	0	0
22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	15	15

Hillbrook School Driveway In and Out
 Wednesday, April 5, 2023
 IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	1	0
5:30	0	1
5:45	2	0
6:00	1	0
6:15	2	0
6:30	2	0
6:45	1	0
7:00	0	0
7:15	5	0
7:30	33	6
7:45	66	50
8:00	35	34
8:15	14	18
8:30	8	6
8:45	9	6
9:00	3	1
9:15	1	1
9:30	1	0
9:45	1	1
10:00	1	1

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	0	0
7:30	1	1
7:45	3	0
8:00	0	0
8:15	0	1
8:30	0	1
8:45	0	1
9:00	0	0
9:15	0	1
9:30	0	0
9:45	1	0
10:00	0	0

10:15	1	1
10:30	4	1
10:45	1	1
11:00	0	1
11:15	1	0
11:30	0	3
11:45	0	0
12:00	0	0
12:15	2	0
12:30	1	2
12:45	3	1
13:00	3	2
13:15	2	2
13:30	14	3
13:45	31	4
14:00	11	49
14:15	6	26
14:30	4	10
14:45	4	7
15:00	4	6
15:15	6	12
15:30	5	12
15:45	2	10
16:00	1	3
16:15	5	6
16:30	2	4
16:45	0	2
17:00	1	2
17:15	5	5
17:30	0	7
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0

10:15	0	1
10:30	0	0
10:45	0	0
11:00	0	0
11:15	0	0
11:30	0	0
11:45	0	0
12:00	0	0
12:15	0	0
12:30	1	0
12:45	0	0
13:00	0	0
13:15	1	1
13:30	2	0
13:45	0	0
14:00	0	3
14:15	0	0
14:30	0	0
14:45	0	0
15:00	1	0
15:15	1	1
15:30	0	0
15:45	1	2
16:00	1	0
16:15	1	1
16:30	0	0
16:45	0	0
17:00	0	1
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0

22:00	0	1
22:15	0	0
22:30	0	0
22:45	0	3
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	305	311

22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	14	15

Hillbrook School Driveway In and Out
Thursday, March 30, 2023
IDAX Data Solutions

Lights		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	1	0
6:00	3	0
6:15	3	0
6:30	1	0
6:45	3	0
7:00	2	0
7:15	17	0
7:30	22	4
7:45	74	52
8:00	46	43
8:15	15	12
8:30	3	6
8:45	7	2
9:00	2	0
9:15	3	0
9:30	2	2
9:45	2	1
10:00	2	0

Heavies		
Time	In	Out
0:00	0	0
0:15	0	0
0:30	0	0
0:45	0	0
1:00	0	0
1:15	0	0
1:30	0	0
1:45	0	0
2:00	0	0
2:15	0	0
2:30	0	0
2:45	0	0
3:00	0	0
3:15	0	0
3:30	0	0
3:45	0	0
4:00	0	0
4:15	0	0
4:30	0	0
4:45	0	0
5:00	0	0
5:15	0	0
5:30	0	0
5:45	0	0
6:00	0	0
6:15	0	0
6:30	0	0
6:45	0	0
7:00	0	0
7:15	1	1
7:30	1	1
7:45	2	2
8:00	2	2
8:15	0	0
8:30	1	1
8:45	2	2
9:00	0	0
9:15	0	0
9:30	0	0
9:45	0	0
10:00	0	0

10:15	1	3
10:30	0	0
10:45	0	1
11:00	0	1
11:15	3	2
11:30	2	2
11:45	1	0
12:00	0	1
12:15	1	1
12:30	0	1
12:45	1	2
13:00	4	1
13:15	4	1
13:30	1	2
13:45	7	2
14:00	5	6
14:15	6	10
14:30	19	5
14:45	23	6
15:00	20	61
15:15	11	21
15:30	12	26
15:45	12	16
16:00	3	25
16:15	5	17
16:30	2	8
16:45	3	7
17:00	2	2
17:15	4	4
17:30	0	4
17:45	0	2
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0

10:15	1	1
10:30	0	0
10:45	0	0
11:00	0	0
11:15	0	0
11:30	0	0
11:45	1	1
12:00	0	0
12:15	0	0
12:30	0	0
12:45	0	0
13:00	0	0
13:15	0	0
13:30	0	0
13:45	1	1
14:00	0	0
14:15	0	0
14:30	1	1
14:45	2	2
15:00	1	1
15:15	1	1
15:30	0	0
15:45	0	0
16:00	1	1
16:15	0	0
16:30	2	2
16:45	0	0
17:00	0	0
17:15	0	0
17:30	0	0
17:45	0	0
18:00	0	0
18:15	0	0
18:30	0	0
18:45	0	0
19:00	0	0
19:15	0	0
19:30	0	0
19:45	0	0
20:00	0	0
20:15	0	0
20:30	0	0
20:45	0	0
21:00	0	0
21:15	0	0
21:30	0	0
21:45	0	0

22:00	0	1
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	2
23:30	0	0
23:45	0	0
Total	360	365

22:00	0	0
22:15	0	0
22:30	0	0
22:45	0	0
23:00	0	0
23:15	0	0
23:30	0	0
23:45	0	0
Total	20	20

Friday, March 17, 2023

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0500	5	0	5	0	0	0	0	0	0	0	0	0	0	0	11.8	-
0600	261	3	236	11	2	0	8	0	0	1	0	0	0	0	9.6	12.1
0700	107	0	96	7	0	0	4	0	0	0	0	0	0	0	11.8	13.9
0800	30	0	26	4	0	0	0	0	0	0	0	0	0	0	11.7	13.6
0900	34	0	31	3	0	0	0	0	0	0	0	0	0	0	10.3	12.5
1000	37	3	20	6	0	2	6	0	0	0	0	0	0	0	9.9	12.5
1100	42	0	36	4	0	0	1	1	0	0	0	0	0	0	11.2	13.6
1200	17	0	14	2	0	0	1	0	0	0	0	0	0	0	9.6	10.5
1300	120	1	111	5	0	1	2	0	0	0	0	0	0	0	9.6	11.9
1400	127	2	113	10	0	1	1	0	0	0	0	0	0	0	10.9	13.9
1500	70	4	59	3	0	0	4	0	0	0	0	0	0	0	11.1	12.8
1600	22	0	20	2	0	0	0	0	0	0	0	0	0	0	11.5	13.4
1700	1	0	1	0	0	0	0	0	0	0	0	0	0	0	7.8	-
1800	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
1900	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2000	2	0	2	0	0	0	0	0	0	0	0	0	0	0	9	-
2100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
07-19	607	10	527	46	0	4	19	1	0	0	0	0	0	0	10.8	13.2
06-22	870	13	765	57	2	4	27	1	0	1	0	0	0	0	10.4	12.8
06-00	870	13	765	57	2	4	27	1	0	1	0	0	0	0	10.4	12.8
00-00	875	13	770	57	2	4	27	1	0	1	0	0	0	0	10.4	12.8

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	875	13	770	57	2	4	27	1	0	1	0	0	0	0	10.4	12.8

Tuesday, March 21, 2023

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	1	0	1	0	0	0	0	0	0	0	0	0	0	0	6.9	-
0500	5	0	5	0	0	0	0	0	0	0	0	0	0	0	8.9	-
0600	281	0	230	42	3	2	3	1	0	0	0	0	0	0	10.4	12.5
0700	93	3	74	11	0	0	5	0	0	0	0	0	0	0	11.8	13.9
0800	27	0	21	5	0	1	0	0	0	0	0	0	0	0	10.2	11.6
0900	12	0	9	3	0	0	0	0	0	0	0	0	0	0	9.2	10.7
1000	16	0	13	2	0	1	0	0	0	0	0	0	0	0	9.9	13.6
1100	7	0	5	2	0	0	0	0	0	0	0	0	0	0	10.6	-
1200	21	0	16	4	0	0	1	0	0	0	0	0	0	0	10.1	11.9
1300	128	0	100	22	0	0	6	0	0	0	0	0	0	0	9.5	11.6
1400	153	2	113	34	0	2	2	0	0	0	0	0	0	0	11.1	13.4
1500	113	2	99	8	1	0	3	0	0	0	0	0	0	0	11.4	13.2
1600	22	0	21	1	0	0	0	0	0	0	0	0	0	0	12.5	16.3
1700	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
1800	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
1900	1	0	1	0	0	0	0	0	0	0	0	0	0	0	6.9	-
2000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2200	2	0	2	0	0	0	0	0	0	0	0	0	0	0	6.3	-
07-19	592	7	471	92	1	4	17	0	0	0	0	0	0	0	10.8	13.2
06-22	874	7	702	134	4	6	20	1	0	0	0	0	0	0	10.7	13
06-00	876	7	704	134	4	6	20	1	0	0	0	0	0	0	10.7	13
00-00	882	7	710	134	4	6	20	1	0	0	0	0	0	0	10.7	13

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	882	7	710	134	4	6	20	1	0	0	0	0	0	0	10.7	13

Tuesday, March 28, 2023

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	1	0	1	0	0	0	0	0	0	0	0	0	0	0	8.6	-
0400	3	0	3	0	0	0	0	0	0	0	0	0	0	0	9.6	-
0500	5	0	5	0	0	0	0	0	0	0	0	0	0	0	9.3	-
0600	270	1	236	18	2	0	11	2	0	0	0	0	0	0	10.2	12.1
0700	95	2	68	17	0	1	7	0	0	0	0	0	0	0	10.9	13
0800	34	0	31	2	0	0	1	0	0	0	0	0	0	0	10.7	13
0900	19	1	13	4	0	1	0	0	0	0	0	0	0	0	9.9	11.9
1000	15	1	10	3	0	1	0	0	0	0	0	0	0	0	10	12.3
1100	14	0	10	3	0	1	0	0	0	0	0	0	0	0	10.5	11.4
1200	25	0	25	0	0	0	0	0	0	0	0	0	0	0	11	13.4
1300	132	0	111	17	1	0	2	1	0	0	0	0	0	0	8.9	10.7
1400	166	3	150	10	0	0	3	0	0	0	0	0	0	0	9.6	11.9
1500	99	4	86	3	0	0	6	0	0	0	0	0	0	0	11	13.2
1600	18	0	17	0	0	0	1	0	0	0	0	0	0	0	10.8	11.9
1700	2	0	2	0	0	0	0	0	0	0	0	0	0	0	8.1	-
1800	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
1900	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2100	1	0	1	0	0	0	0	0	0	0	0	0	0	0	9.6	-
2200	2	0	2	0	0	0	0	0	0	0	0	0	0	0	7.8	-
07-19	619	11	523	59	1	4	20	1	0	0	0	0	0	0	10	12.5
06-22	890	12	760	77	3	4	31	3	0	0	0	0	0	0	10.1	12.5
06-00	892	12	762	77	3	4	31	3	0	0	0	0	0	0	10.1	12.5
00-00	901	12	771	77	3	4	31	3	0	0	0	0	0	0	10.1	12.5

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	901	12	771	77	3	4	31	3	0	0	0	0	0	0	10.1	12.5

Wednesday, March 29, 2023

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	3	0	3	0	0	0	0	0	0	0	0	0	0	0	7.5	-
0500	8	0	6	2	0	0	0	0	0	0	0	0	0	0	9.3	-
0600	246	3	217	17	2	1	5	1	0	0	0	0	0	0	9.6	12.3
0700	55	0	51	3	0	0	1	0	0	0	0	0	0	0	11.2	13.9
0800	17	0	14	1	0	2	0	0	0	0	0	0	0	0	10.3	11.4
0900	7	0	7	0	0	0	0	0	0	0	0	0	0	0	10.7	-
1000	20	0	16	2	0	2	0	0	0	0	0	0	0	0	9.8	11.6
1100	7	0	6	0	0	0	1	0	0	0	0	0	0	0	10.4	-
1200	12	0	12	0	0	0	0	0	0	0	0	0	0	0	9.3	11
1300	114	0	104	6	1	0	3	0	0	0	0	0	0	0	8.7	10.5
1400	106	3	93	7	1	1	1	0	0	0	0	0	0	0	10	12.5
1500	137	7	106	20	1	1	1	1	0	0	0	0	0	0	10.4	12.8
1600	23	0	17	5	0	1	0	0	0	0	0	0	0	0	11.1	13
1700	53	1	50	2	0	0	0	0	0	0	0	0	0	0	9.7	11
1800	24	2	20	2	0	0	0	0	0	0	0	0	0	0	9.4	11.2
1900	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2000	1	0	1	0	0	0	0	0	0	0	0	0	0	0	7.1	-
2100	2	0	2	0	0	0	0	0	0	0	0	0	0	0	7.9	-
2200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
07-19	575	13	496	48	3	7	7	1	0	0	0	0	0	0	9.9	12.3
06-22	824	16	716	65	5	8	12	2	0	0	0	0	0	0	9.8	12.3
06-00	824	16	716	65	5	8	12	2	0	0	0	0	0	0	9.8	12.3
00-00	835	16	725	67	5	8	12	2	0	0	0	0	0	0	9.8	12.3

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	835	16	725	67	5	8	12	2	0	0	0	0	0	0	9.8	12.3

Tuesday, April 18, 2023

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
0100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0200	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0300	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
0400	2	0	2	0	0	0	0	0	0	0	0	0	0	0	8.2	-
0500	5	0	4	1	0	0	0	0	0	0	0	0	0	0	10.9	-
0600	291	3	234	37	1	0	15	1	0	0	0	0	0	0	10.4	13
0700	116	1	90	15	1	0	8	1	0	0	0	0	0	0	11.5	13.9
0800	14	1	10	3	0	0	0	0	0	0	0	0	0	0	11.3	12.5
0900	40	0	33	4	0	0	3	0	0	0	0	0	0	0	11.4	13.2
1000	18	0	15	2	0	0	1	0	0	0	0	0	0	0	11.2	13.2
1100	14	0	11	2	0	0	1	0	0	0	0	0	0	0	12.4	15.2
1200	20	0	15	1	0	1	3	0	0	0	0	0	0	0	11.8	15
1300	104	1	85	11	0	0	7	0	0	0	0	0	0	0	8.8	11
1400	162	2	130	23	0	0	7	0	0	0	0	0	0	0	11	13.6
1500	77	1	59	5	2	0	9	1	0	0	0	0	0	0	12.1	14.5
1600	13	0	12	1	0	0	0	0	0	0	0	0	0	0	11.4	13.2
1700	1	0	1	0	0	0	0	0	0	0	0	0	0	0	8.2	-
1800	1	0	1	0	0	0	0	0	0	0	0	0	0	0	9.4	-
1900	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	-	-
2100	1	0	1	0	0	0	0	0	0	0	0	0	0	0	9.4	-
2200	2	0	2	0	0	0	0	0	0	0	0	0	0	0	7.3	-
07-19	580	6	462	67	3	1	39	2	0	0	0	0	0	0	11	13.6
06-22	872	9	697	104	4	1	54	3	0	0	0	0	0	0	10.8	13.4
06-00	874	9	699	104	4	1	54	3	0	0	0	0	0	0	10.8	13.4
00-00	881	9	705	105	4	1	54	3	0	0	0	0	0	0	10.8	13.4

Grand Total

Time	Total	Cls 1	Cls 2	Cls 3	Cls 4	Cls 5	Cls 6	Cls 7	Cls 8	Cls 9	Cls 10	Cls 11	Cls 12	Cls 13	Mean	Vpp 85
--	881	9	705	105	4	1	54	3	0	0	0	0	0	0	10.8	13.4

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HILLBROOK SCHOOL

Red Line

Serving the Rose Garden and Cambrian areas

AM Bus Stops

Arrives at: 7:05 AM

680 Dana Ave, San Jose, 95126

Hester Park & Rose Garden Library

Arrives at: 7:15 AM

1690 S Bascom Ave, San Jose, 95008

Hamilton Shopping Center (near Whole Foods Market/Starbucks)

Arrives at: 7:25 AM

3053 Meridian Ave, San Jose, 95124

Front of Wells Fargo parking lot

Arrives at: 7:35 AM

14458 Union Ave, San Jose, CA 95124

Cambrian Park Plaza (near Blackbird Ceramics Studio)

Arrives at: 7:40 AM

15885 Los Gatos Almaden Rd., Los Gatos, 95032

Holy Cross Lutheran Church

Arrives at: 7:45 AM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

Arrives to Hillbrook at 7:50 AM

Red Line PM Route

Arrives at: 3:15 PM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

Arrives at: 3:23 PM

Camino Del Cerro & Los Gatos Almaden Rd

Arrives at: 3:30 PM

14458 Union Ave, San Jose, CA 95124

Cambrian Park Plaza (near Blackbird Ceramics Studio)

Arrives at: 3:40

3053 Meridian Ave, San Jose, 95124

Front of Wells Fargo parking lot

Arrives at: 3:50 PM

1690 S Bascom Ave, Campbell, 95008

Hamilton Shopping Center (near Whole Foods Market/Starbucks)

Arrives at: 4:00 PM

680 Dana Ave, San Jose, 95126

Hester Park & Rose Garden Library

Yellow Line

AM Stops

Arrives at 7:08 AM

3550 Homestead Rd, Santa Clara, CA 95051

Lawrence Station Shopping Center (near Homestead Auto Wash)

Arrives at 7:18 AM

5365 Prospect Road, San Jose, 95129

Prospect & Lawrence Shopping Center

Arrives at 7:25

18764 Cox Ave, Saratoga, 95070

Quito Village

Arrives at: 7:35 AM

Winchester & Newell, Los Gatos, 95032

Bay Club Courtside (overflow parking lot)

Arrives at: 7:40 AM

15861 Winchester Blvd. at Via Sereno

Arrives at: 7:45 AM

Gem Ave. & Kennedy Road

Arrives at Hillbrook at 7:50 AM.

PM Stops

PM bus departs Hillbrook at 3:10 PM.

Arrives at 3:13 PM

16929 Kennedy Road/Ferris Ave

Arrives at 3:20 PM

140 Saratoga Los Gatos Rd., Los Gatos, 95032

(near Chase Bank & Coldwell Banker) Public Parking Lot

Arrives at: 3:25 PM

14675 Winchester Blvd, Los Gatos, CA 95032

Bay Club Courtside

Arrives at 3:38 PM

5365 Prospect Road

Prospect & Lawrence Shopping Center

Arrives at 3:48 PM

3550 Homestead Rd, Santa Clara, CA 95051

Lawrence Station Shopping Center (near Homestead Auto Wash)

Arrives at: 4:05 PM

1975 Grant Rd., Los Altos, 94024

Woodland Branch Library

Green Line

Serving the Willow Glen and Almaden areas

AM Bus Stops

Arrives at: 7:08 AM

1309 Willow Street, San Jose, 95125

Willow & Camino Ramon VTA bus stop

Arrives at: 7:15 AM

Curtner Ave & Radio Ave, San Jose, CA 95125

Lincoln Glen Park

Arrives at: 7:28 AM

1110 Blossom Hill Rd #10, San Jose, CA 95118

AT&T Store/Office Max

Arrives at: 7:38 AM

14184 Blossom Hill Rd, Los Gatos, 95032

Blossom Hill Square Shopping Center (behind US Bank)

Arrives at 7:45 AM

16445 Shannon Rd, Los Gatos, 95032

Blossom Hill Park

Arrives at Hillbrook at 7:50 AM.

PM Bus Stops

PM bus on this route departs Hillbrook at 3:10 PM

Arrives at 3:15 PM

16445 Shannon Road, Los Gatos, 95032

Blossom Hill Park

Arrives at 3:25 PM

14184 Blossom Hill Rd., Los Gatos, 95032

Blossom Hill Square Shopping Center (behind US Bank)

Arrives at 3:35 PM

1110 Blossom Hill Rd #10, San Jose, CA 95118

AT&T Store/Office Max

Arrives at: 3:45 PM

Curtner Ave & Radio Ave, San Jose, CA 95125

Lincoln Glen Park

Arrives at: 3:50 PM

1309 Willow Street, San Jose, 95125

Willow & Camino Ramon VTA stop

Blue Line (AM only)

Serving the Los Altos and Los Gatos areas

AM Stops - Route 1

Arrives at: 7:00 AM

1975 Grant Rd., Los Altos, 94024

Woodland Branch Library

Arrives at: 7:20 AM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash parking lot

Arrives to Hillbrook at 7:25 AM

AM Stops - Route 2

Arrives at: 7:38 AM

276 N Santa Cruz Ave

Parking lot behind OY! Gluten Free Baking

Arrives at: 7:45 AM

151 E Main Street, Los Gatos, 95030

High School Court/Main Street, Los Gatos, CA 95030

Arrives at Hillbrook at 7:52 AM.

**Save time and gain convenience with
our around town shuttles.**

Shir Hadash - 20 Cherry Blossom Lane

Departs at 7:20 AM Arrival to Hillbrook 7:25 AM

Departs at 7:45 AM Arrival to Hillbrook 7:50 AM

Late Bus

Late buses are provided for students participating in after school athletics, activities and enrichment classes.

Shir Hadash - 20 Cherry Blossom Lane

Departs Hillbrook	Arrives to Shir Hadash
4:00 PM	4:05PM
4:15 PM	4:20 PM
4:30 PM	4:35 PM
4:45 PM	4:50 PM
5:00 PM	5:05 PM

At 5:15 PM, the Late Bus does a final route to Downtown San Jose, stopping along the way.

Arrives at: 5:05 PM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash,

Arrives at: 5:40 PM

1560 Hamilton Ave, San Jose, 95125

Meridian & Hamilton

Arrives at: 5:50 PM

65 Cahill St. San Jose, 95110

Diridon Station

Arrives at: 6:00 PM

151 S. Almaden Blvd, San Jose, 95110

Hillbrook School - San Jose

Upper School Bus Routes

San Jose AM Route Bus Stops

Departs Hillbrook Marchmont Campus at 7:50 AM

Arrives at: 8:00 AM

Camino Del Cerro & Los Gatos Almaden Rd

Arrives at: 8:20 AM

2348 Canoas Garden Ave, San Jose, 95118

Curtner Light Rail Station

Arrives at: 8:30 AM

151 S. Almaden Blvd, San Jose, 95110

Adobe Headquarters

Saratoga AM Bus Route Bus Stops

Departs Hillbrook Marchmont Campus at 7:50 AM

Arrives at: 8:05 AM

18764 Cox Ave., Saratoga 95070

Quito Village Shopping Center

Arrives at: 8:25 AM

65 Cahill St, San Jose, CA 95110

San Jose Diridon Station

Arrives at: 8:30 AM

151 S. Almaden Blvd, San Jose, 95110

Adobe Headquarters

Late Buses

Departs Hillbrook Upper School at 3:20 PM

Arrives at: 3:45 PM

Hillbrook School Lower and Middle School

Arrives at: 5:35 PM

20 Cherry Blossom Ln. Los Gatos, 95032

Shir Hadash

Arrives at: 5:55 PM

1560 Hamilton Ave, San Jose, 95125

Meridian & Hamilton

Arrives at: 6:05 PM

65 Cahill St. San Jose, 95110

Diridon Station

Arrives at: 6:10 PM

151 S. Almaden Blvd, San Jose, 95110

Hillbrook School - San Jose



HILLBROOK SCHOOL

Dear Commissioners,

The following is our annual update to the Planning Commission. This update details our continuing efforts to remain in full compliance with the conditional use permit.

Background

The Town Council approved our current CUP in March 2015. The CUP allowed the school to increase enrollment by granting us a new enrollment cap (414 students), and also created a series of conditions to ensure that we maintained traffic levels consistent with our previous enrollment cap of 315 students. The key provisions included expectations that the school would implement a robust Traffic Demand Management program, limits on evening and nighttime events, limits on the number of sports events on campus, and a daily traffic count that is monitored by a third-party.

Since that approval eight years ago, the school has provided yearly reports to the Planning Commission outlining our compliance. Over the last few years, the Planning Commission has treated the yearly review as a consent agenda item.

This year, for the first time since we received the new CUP, we had several days where we violated the traffic count, a situation we will detail below.



How do we manage our CUP?

We have a robust set of systems in place to meet the conditions of our CUP. In particular, we have designed and implemented a robust and mandatory Traffic Demand Management plan (TDM plan).

Highlights of the plan include:

- A clear expectation for all families that they bike, walk, shuttle, or carpool to school each day.
- A Transportation Coordinator and an Assistant Transportation Coordinator who oversee our TDM and ensure that families understand the expectations and are given support in meeting the requirements.

- Four shuttles that bring students to and from school each day. Overall, more than 40 percent of students are consistently using the shuttles.
- An active carpooling program that includes online maps that help families identify carpool buddies. The Transportation Coordinator supports families looking for carpool matches.
- Extensive signage that reminds people to drive slowly through the neighborhood (25 mph on Lower Marchmont and 15 mph on Upper Marchmont).
- Active participation in Safe Routes to School. Hillbrook is the only private school in Los Gatos that is an active member of this important organization.
- Various measures to encourage employee carpooling and alternative transportation options, including financial incentives for using alternative forms of transportation. We also have daily shuttles for employees from off-site parking locations.

Information about the plan are available on our public website for families and for community members - [link here](#).

In addition to managing traffic, we also have taken steps to comply with other key parts of the CUP. In particular, the school has:

- Posted the exception days and a list of the evening events for the 2022-23 school year on our publicly accessible neighborhood section of our website as of August 1, 2022 - [link here](#). As is noted in the Spring monitoring report, we did shift one of the days after the August 1 deadline. We share additional thoughts below about the challenges of this process and our ongoing efforts to best manage it.
- Structured our athletic program so that we only have athletic contests on campus at most three days a week and only two days outside
- Installed and continued to monitor the traffic count monitoring system as approved by the Town of Los Gatos.
- Worked with the Los Gatos Parks & Public Works department to ensure approval of any new bus stops as explained in the CUP.
- Enrolled no more than the 414 maximum number of students for the 2018-19 school year. As of the first day of school, September 1, 2023 we had 350 students enrolled.
- Reduced our summer programs to be in compliance with the requirements described in the CUP.

As a school, we have shared with our families the history of the CUP and the reasons why it is important that they actively participate in our TDM. The following [document](#) provides a short background and reminds parents of the importance of being good neighbors.

The following are the exception days for the 2023-24 school year (days in which the school can have up to 480 cars exiting campus):

Family Fun Night - September 8, 2023
 Back To School Night - September 14, 2023
 Winter Concert - December 20, 2023
 8th Grade SIL Impact Summit - February 1, 2024

New JK/K Family Event - May 9, 2024
8th Grade Musical - May 16th, 2024
8th Grade Musical - May 17th, 2024
Alumni Celebration - May 31, 2024

The following are the evening & weekend events for the 2023-24 school year:

Family Fun Night - September 8, 2023
Back To School Night - September 14, 2023
Board/Employee Dinner - October 18th, 2023
Winter Concert - December 20, 2023
Open House - January 20th, 2024
8th Grade SIL Impact Summit - February 1, 2024
8th Grade Musical - May 16th, 2024
8th Grade Musical - May 17th, 2024
Alumni Celebration - May 31, 2024
8th Grade Recognition Ceremony - June 3rd, 2024

Traffic Challenges during the 2022-23 school Year

The Planning Commission will see when it reviews our traffic from the 2022-23 school year that we had six days when we exceeded the daily cap of 880 cars (one in the Fall and five in the Spring). The following are the results as reported in the W-Trans reports for the Fall and Spring.

October 26, 2022 - 900 daily trips captured on Sensy, 895 on tube counter
March 17, 2023 - 898 daily trips capture on Sensys, 875 on tube counter
March 21, 2023 - 934 daily trips captured on Sensy, 882 on tube counter
March 28, 2023 - 940 daily trips counted on Sensys, 901 on tube counter
March 29, 2023 - 888 daily trips counted on Sensys, 835 on tube counter
April 18, 2023 - 884 daily trips counted on Sensys, 881 on tube counter

As a school, we have looked hard at the violations last year, the first time since the Town approved our CUP in 2015 that we exceeded the daily cap. First, we want to acknowledge that on four of the six days we recognize we exceeded the car count. As a school, we have worked hard to understand what happened on those days and to make adjustments to ensure as best as possible that we do not exceed the car count on future days. Looking at the days in March and April, we struggled to manage what was an incredibly rainy stretch of days. We are looking at ways to better prepare for the rainy season this year, including creating a new position at the school that is paying close attention to managing activities on campus each day.

We also want to offer insight into the dynamics of the Sensys counter. As W-Trans shared in its report, "It is noted that the normal daily vehicle trips from the houses located adjacent to Hillbrook School on Marchmont Drive have the potential to also be detected by the Sensys counters." To be clear, the

counters are outside of our gates meaning that they pick-up some cars every day that do not come onto campus (see Appendix A, diagram of traffic counters). The number of cars has increased over the last few years. A review of the data from the W-trans for both the Fall and the Spring shows that on all 6 days in which they recorded video, the Sensys Count was higher, with an average of 28 trips in the Fall and an average of 37 trips in the Spring. You will see a similar trend on the days where you compare Sensys to our tube counter, with every day showing a higher Sensys count.

In general it is not an issue, as we are under the 880 count on the vast majority of days. On days that we are close, however, the additional cars come into play. With that in mind, we would ask you to rely on the tube counter to more accurately capture the car count on those days. As noted above, we recognize that the tube counter shows we violated on four of the days (October 26, March 21, March 28, April 18). We would respectfully ask the Planning Commission to use the tube counter on the other two days (March 17 and March 29) to verify we did not exceed the car count. In addition, as we explain in the next paragraph, March 29 traffic was higher because we had to move an evening event from March 30 to March 29. Thus, we had an exception day on March 30 that was supposed to account for the increased traffic that took place on March 29.

As noted above, we also want to offer an explanation for the switch in our calendar following its publication on August 1. In particular, we moved our 8th grade SIL Impact Summit from Thursday, March 30 to Wednesday, March 29, in order to support an adjustment in our Reach Beyond Week travel plans that had not been clear prior to the Fall. In addition, we moved our Alumni Celebration from Friday, May 12 to Friday, June 2, as our 8th graders, who participate in the event, were on a class trip on Friday, May 12. While we do our best to have all plans in place by August 1, we want to stress how complicated that can be given the many moving parts of a school, and, in the end, we sometimes have to make shifts.

The Planning Commission will also note that we only listed eight exception days for the 2023-24 school year. The reality is that over these past seven years, we have found only a limited number of days that we can predictably expect to exceed the car count. We respectfully request that the Planning Commission consider allowing us more flexibility in managing our 10 exception days.

We continue to work hard to effectively manage the CUP, and, most importantly, we continue to make a concerted effort to be a positive member of the greater Marchmont neighborhood and the Los Gatos community.

Sincerely,

Mark Silver
Head of School

Shannon Hunt-Scott
Chair, Board of Trustees



289 Marchmont Dr.

293 Marchmont Dr.

Sensys Car Counters

Hillbrook Front Gate

Tube Counter

Construction Vehicles

Marchmont Dr.



HILLBROOK'S CONDITIONAL USE PERMIT

A History & Overview

Many families have likely heard, at some point during their time at Hillbrook, about the CUP. Indeed, one of the most common questions we are asked is, "What exactly is the CUP and why does the Town of Los Gatos create limits on traffic coming on and off campus?" We wanted to take this opportunity to provide some background for families and to help people understand the history behind the CUP and the ways we can continue to come together as a community to both actively utilize our campus as a community hub AND comply with the traffic conditions in our CUP.

A LITTLE BACKGROUND

Every business (restaurants, stores, private schools) has a conditional use permit (CUP). Our current CUP was approved in 2015, after a lengthy process with the Town of Los Gatos. Under the school's previous CUP, we had an enrollment cap of 315 students, which significantly limited our ability to provide the educational program that we envisioned for our students.

Thus, in 2012, we approached the Town and applied to modify our CUP, with a request to increase our enrollment cap from 315 to 414. Over the next few years, we worked closely with neighbors and the Town to reach an agreement. Many long meetings at both the Planning Commission and the Town Council ensued, with members of our community passionately supporting our efforts and neighbors just as passionately raising concerns about traffic. The final result granted the school our request for the new enrollment cap in exchange for revised conditions limiting traffic, campus hours, nighttime events, and summer programming.

The dynamic program we have developed over the last 8 years, including our reach beyond programming inspired and led by the Scott Center for Social Entrepreneurship and our robust co-curricular program particularly in the Middle School, would not have been possible without the financial and programmatic development we were able to provide through growth. Expansion has significantly strengthened our program, our school, and our community.

At the same time, the CUP approved by the Town of Los Gatos in 2015 creates certain challenges for our operations that we have worked hard to manage. Under the CUP, the Town of Los Gatos requires Hillbrook to comply with the following key conditions:

- **We can have a maximum of 440 trips off campus each day.** A counter installed in the street outside our gates counts each vehicle as it leaves campus. This counter is operational throughout the year (24/7/365).
- **We are allowed 10 exception days** which are shared with the Town of Los Gatos in August. On those exception days we can have up to 480 trips off campus each day (960 trips total).
- **We are allowed 10 nighttime or weekend events each year** which are also shared with the Town of Los Gatos in August.
- **Summer programs are limited to 6 contiguous weeks** and summer hours for students on campus are limited to 9 am - 1 pm.
- **Hillbrook families are asked NOT to drop-off or pick-up in the neighborhood immediately surrounding the school**

Each year in late October or early November we have a public meeting with the Planning Commission of the Town of Los Gatos where we review our compliance with the CUP. As part of that process, the Town reviews a study produced by a transportation consultant that reviews our traffic from throughout the year. Over the past eight years, those yearly meetings have gone exceedingly well and the last few years they have been approved as part of the consent agenda, a strong sign of the positive relationship we have developed with our neighbors and our school's success in meeting the conditions.

HOW FAMILIES CAN SUPPORT

As a school, we have developed a robust **Transportation Demand Management** plan with two goals - continue to actively use our campus as a community hub for families AND comply with the CUP conditions required by the Town of Los Gatos.

The most important thing that all families can do is try to arrive and leave campus in the morning and afternoon in one of four ways:



Carpool



Bus



Bike/Skate



Walk

By minimizing traffic during those time periods, we have more flexibility to have families coming on campus for events and activities at other times of day. Put another way, the more we can collectively support these efforts, the more we can fully utilize the campus as a community hub.

In addition, as families know, we sometimes have Green Participation Days when we draw particular attention to transportation. These days are tied to events and activities where we

expect to have higher than usual traffic on campus, and thus on those days it is critically helpful for families to be mindful of their transportation choices.

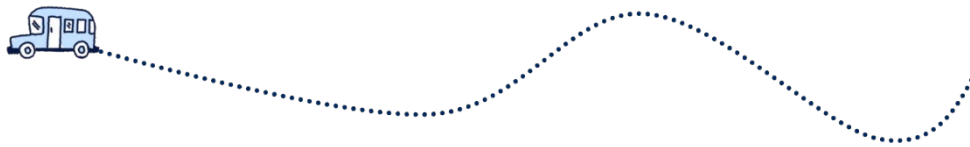
We have a detailed [resource board](#) for families to help you better utilize one of the four preferred ways - carpool, bus, bike, walk - to come on and off campus. In the resource board you will find:

- **Tips for finding a carpool.** Please note that you can use Family Maps in the directory to find people who live near you. We have seen many beautiful, multi-grade, family friendships develop through the years through carpools! Need help approaching a family? Front Office Assistant Deborah McCollum or Director of Afterschool, Summer & Transportation Programs Nicholle Cabarloc will be happy to support.
- **Shuttle routes and times.** We have four routes serving Los Altos, Los Gatos, San Jose (Rose Garden, Cambrian, Willow Glen and Almaden), and Santa Clara and our Transportation Team works each year to design routes that best support families. Each route includes stops near campus which can be an ideal way for a family to not drive onto campus in the morning and afternoon.
- **Information about afternoon Shuttles** to Shir Hadash and our new Athletic Game Shuttles, which enable families to park at Shir Hadash and take a shuttle up and back from campus.

So what are the best ways families can support?

- **Actively participate** in our Traffic Demand Management (TDM) plan for arrival and departure each day. All children are encouraged to arrive and leave campus by shuttle, in a carpool, on a bike, or by walking.
- **Use the shuttle to the Shir Hadash** stop in the late afternoons, particularly if you are a Middle School student participating in afterschool activities. Lower School students in Extended Care or participating in afterschool activities are also encouraged to participate in the TDM plan when leaving campus in the afternoon.

In the end, our primary goal remains very clear - enable our community to utilize our extraordinary campus as a community hub for activities and events. With everyone's support and flexibility, we can make that happen.





**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 12/13/2023

ITEM NO: 7

DATE: December 8, 2023
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Reduced Front Yard Setbacks on a Non-Conforming Property Zoned R-1:8. **Located at 517 San Benito Avenue.** APN 410-18-018. Architecture and Site Application S-23-024. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. Property Owner: Candace Zaheri. Applicant: John Gutknecht. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider approval of a request for reduced front yard setbacks on a non-conforming property zoned R-1:8, located at 517 San Benito Avenue.

PROJECT DATA:

General Plan Designation: Medium Density Residential
Zoning Designation: R-1:8 – Single-Family Residential
Applicable Plans & Standards: General Plan, Residential Design Guidelines
Parcel Size: 5,750 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1:8
South	Residential	Medium Density Residential	R-1:8
East	Residential	Medium Density Residential	R-1D
West	Residential	Medium Density Residential	R-1:8

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PREPARED BY: Ryan Safty
Associate Planner

Reviewed by: Planning Manager and Community Development Director

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures;
- As required by Section 29.10.265 of the Town Code for granting a setback exception on a non-conforming lot;
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations); and
- The project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the west side of San Benito Avenue, just north of the intersection of San Benito Avenue and Andrews Street (Exhibit 1). The immediate neighborhood consists of single-family residential properties, with an R-1:8 zone on the west side of San Benito Avenue and R-1D zone on the east side.

The property is 5,750 square feet and zoned R-1:8. The minimum lot size for R-1:8 zoned properties is 8,000 square feet, and therefore the property is existing legal non-conforming to minimum lot size. The four properties south of the subject property on the west side of San Benito are all approximately the same size as the subject property and are also zoned R-1:8, and therefore they are also non-conforming as to the minimum lot size of the zone.

On September 30, 2021, the owner applied for a building permit for a 494-square foot addition to the rear and side of the existing home, as well as an interior remodel. Building Permit B21-0944 was originally issued on January 21, 2022, and then issued again on June 22, 2022, following plan revisions (Exhibit 4).

On June 22, 2023, Planning staff visited the site to conduct a final inspection for the work conducted pursuant to B21-0944 and found that a new covered entry was constructed at the front of the residence that was not shown on the building permit plans. Staff informed the applicant that we could not approve the work or issue occupancy as the new front entry was not shown or approved in the building permit plans and that a revision to the building permit would be required to show and permit this new work.

BACKGROUND (continued):

The applicant updated the project plans which showed the posts of the covered entry encroaching into the required front yard setback. On August 16, 2023, the applicant applied for an Architecture and Site Application to request a reduced front yard setback on a non-conforming lot to allow the front porch.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the west side of San Benito Avenue, just north of the intersection of San Benito Avenue and Andrews Street (Exhibit 1). The immediate neighborhood consists of single-family residential properties, with an R-1:8 zone on the west side of San Benito Avenue and R-1D zone on the east side.

B. Project Summary and Zoning Compliance

The applicant is requesting approval for a reduced front yard setback on a non-conforming lot. The applicant constructed a new gabled, covered entry at the front of the house with posts that are 16 feet, six inches from the front property line when 25 feet is required by the zone. The parcel is 5,750 square feet when the minimum of the R-1:8 zone is 8,000 square feet, and therefore is considered legal non-conforming. The applicant is requesting an exception pursuant to Town Code Section 29.10.265 – Nonconforming Lots:

The following provisions apply to nonconforming lots: [...] (3) Any rule of the zone including front, side, and rear yard requirements may be modified by the terms of the architecture and site approval so that the building and its use will be compatible with the neighborhood.

DISCUSSION:

A. Architecture and Site Analysis

The applicant has submitted an Architecture and Site Application (S-23-024) to legalize unpermitted work to the front of the house that projects into the required front setback. As noted in the project plans (Exhibit 5) and Letter of Justification (Exhibit 6), the front post of the covered entry has a 16-foot, six-inch front setback when 25 feet is required.

According to the application materials provided, the house previously had a covered entry with a shed roof with posts that project further into the required front setback, with a 13-foot, five-inch front setback. However, the Town could not locate permits for the previous covered entry that, according to Google Maps Streetview imagery, was constructed

DISCUSSION (continued):

sometime following 2015. Additionally, the previous covered entry was approved for removal with Building Permit B21-0944 and was not shown to be replaced or reconstructed. Therefore, any allowance to keep or continue an existing non-conformity was lost when the previous covered entry was demolished as there were no approved plans to replace it. Any proposal to construct a new covered entry in the same or similar location requires approval of an Architecture and Site application for reduced setbacks on a non-conforming lot.

The new covered front porch creates a gabled entry for the residence. The roof materials are asphalt shingles to match the rest of the home, with vertical wood siding on the exposed gable to compliment the horizontal siding on the rest of the residence. The base of the supporting posts is wrapped with stone, and the furthest edge of the column base has a front setback of approximately 16 feet, six inches.

Pursuant to Town Code Section 29.10.265(3) – Nonconforming Lots – the required front setback may be modified by the deciding body if it's found that the building and its use will be compatible with the neighborhood. The applicant provided information on neighborhood compatibility within Exhibits 5 and 6, which is based on a site visit with staff to measure the setbacks of each neighboring property on the west side of San Benito Avenue.

The survey focused on the west side of San Benito Avenue, from the Andrews Street and Thurston Street intersections. This portion of San Benito Avenue includes seven properties, including the subject property, all of which are zoned R-1:8. The survey found that of the six neighboring properties on the west side of San Benito Avenue, four do not comply with the required 25-foot front yard setback: 515 San Benito has a front setback of approximately 19 feet, nine inches; 513 San Benito has a front setback of approximately 13 feet, six inches; 505 San Benito has a front setback of approximately 24 feet, four inches; and 501 San Benito has a front setback of approximately 21 feet, three inches. These four properties are all south of the subject property, with the two properties to the north complying with the required setback. The average front setback of the six neighboring properties on the west side of San Benito Avenue is approximately 21 feet, eight inches. The average setback of the four non-conforming properties south of the subject property on the west side of San Benito is approximately 19 feet, eight inches. The subject application proposes to legalize a covered entry with a 16-foot, six-inch front setback. The covered entry on the subject property would have the second smallest front setback on this side of the street and would be approximately five feet closer to the front property line than the neighborhood average for this side of the street.

DISCUSSION (continued):

The east side of the street is zoned R-1D as opposed to R-1:8. The front setback requirement in the R-1D zone is 15 feet compared to 25 feet for R-1:8 zoned properties. All five properties in the R-1D zone on the east side of San Benito comply with the required 15-foot front setback requirement. The average front setback of these five properties is approximately 16 feet, four inches. Although the zone is different across the street, the built conditions frame the neighborhood context and are important to review with this exception request. When averaging the front setback of all neighbors within the block (both sides of the street with two different zones), the average setback is approximately 19 feet. The covered entry on the subject property would be approximately two feet, six inches closer to the front property line than the neighborhood average.

B. Neighbor Outreach

Within the Letter of Justification (Exhibit 6), the applicant mentioned that they have consulted with several of the neighbors who have verbally expressed support of the project. No support letters have been provided.

C. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The applicant is requesting approval for a reduced front yard setback on a non-conforming lot. The applicant constructed a new gabled covered entry at the front of the house with posts that are 16 feet, six inches from the front property line when 25 feet is required by Town Code. The parcel is 5,750 square feet where the minimum parcel size of the R-1:8 zone is 8,000 square feet, and therefore is considered a non-conforming lot. Town Code Section 29.10.265(3) allows the deciding body to modify the front setback requirement of a non-conforming lot if it's found that the building and its use will be compatible with the neighborhood.

CONCLUSION (continued):

B. Recommendation

Staff recommends that the Planning Commission review the application materials and staff report and consider the setback exception request. If the Planning Commission can find that the location of the projecting covered entry is compatible with the neighborhood, and finds merit with the proposed project, it should:

1. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the finding as required by Section 29.10.265 of the Town Code for allowing an exception to setbacks on a non-conforming property (Exhibit 2);
3. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code except the requested front yard setback reduction (Exhibit 2);
4. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2);
5. Make the finding that the project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas (Exhibit 2); and
6. Approve Architecture and Site Application S-23-024 with the draft conditions contained in Exhibit 3 and the development plans in Exhibit 5.

C. Alternatives

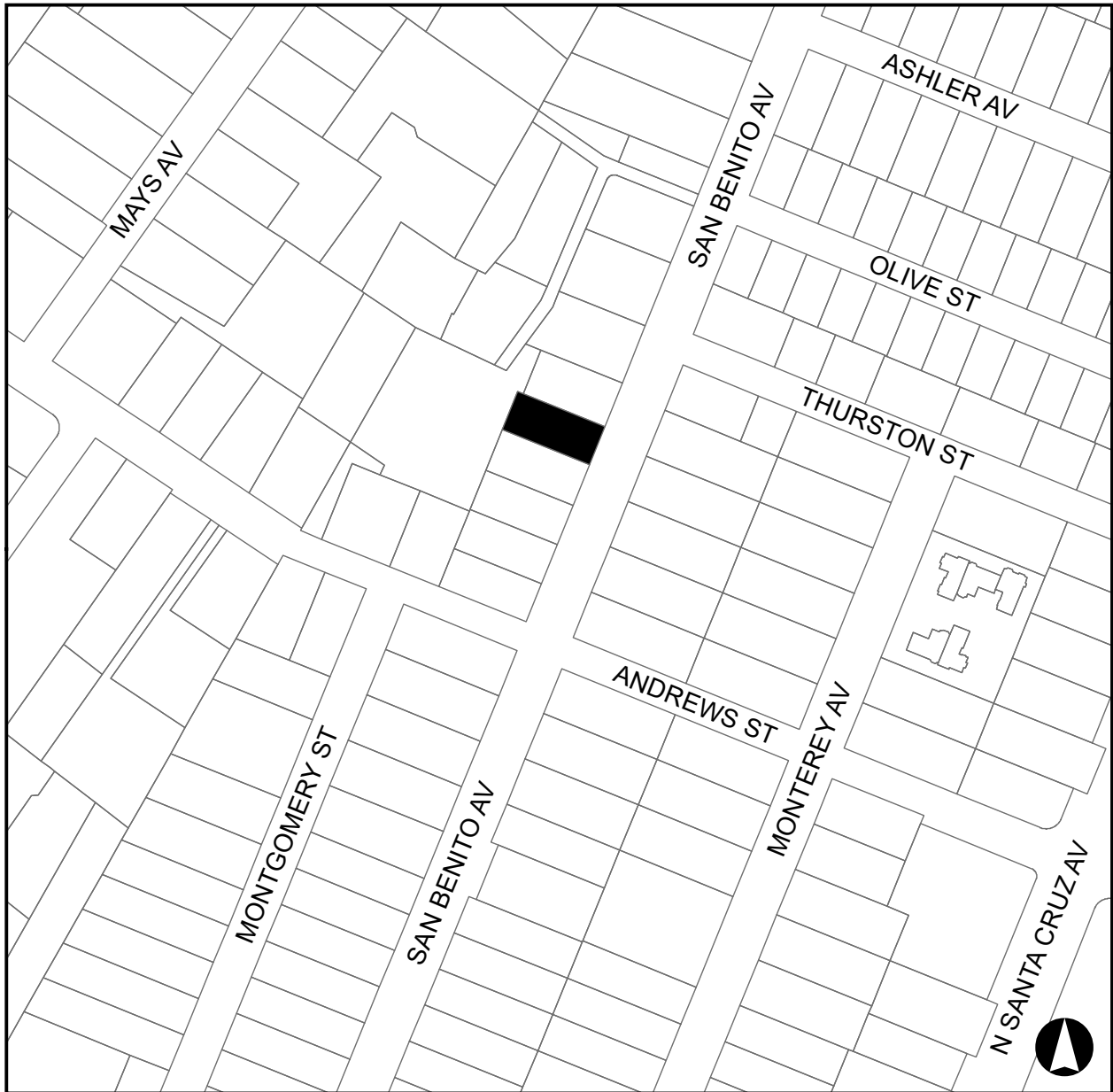
Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Building Permit B21-0944 Approved Plans
5. Development Plans, Received November 2, 2023
6. Letter of Justification, Received November 2, 2023

517 San Benito Avenue



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EXHIBIT 1

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PLANNING COMMISSION – December 13, 2023
REQUIRED FINDINGS & CONSIDERATIONS FOR:

517 San Benito Avenue
Architecture and Site Application S-23-024

Requesting Approval for Reduced Front Yard Setbacks on a Non-Conforming Property Zoned R-1:8. APN 410-18-018. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. PROPERTY OWNER: Candace Zaheri. APPLICANT: John Gutknecht.

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required finding for a setback exception on a non-conforming property:

- As required by Town Code Section 29.10.265, the front setback exception is compatible with the surrounding neighborhood per the neighborhood analysis in the staff report.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code except the requested front yard setback reduction.

Required compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single family residences not in hillside areas. The project proposes to include a new gabled, covered front entry to an existing residence that is compatible with the existing architectural style and exterior materials of the residence.

CONSIDERATIONS

Required considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

EXHIBIT 2

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PLANNING COMMISSION – December 13, 2023
DRAFT CONDITIONS OF APPROVAL

517 San Benito Avenue
Architecture and Site Application S-23-024

Requesting Approval for Reduced Front Yard Setbacks on a Non-Conforming Property Zoned R-1:8. APN 410-18-018. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures. PROPERTY OWNER: Candace Zaheri. APPLICANT: John Gutknecht.

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. **FRONT YARD LANDSCAPE:** Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
5. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
6. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers, or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such

Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs, and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all at the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

7. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

8. PERMITS REQUIRED: A revision to the existing building permit (B21-0944) is required to show the new approved covered front entry.
9. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
10. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
11. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
12. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
13. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

14. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
15. PAYMENT OPTIONS:
 - a. All payments regarding fees and deposits can be mailed to:
Town of Los Gatos PPW – Attn: Engineering Dept
41 Miles Avenue
Los Gatos, CA 95030
Or hand deliver/drop off payment in engineering lock box
Checks made out to **"Town of Los Gatos"** and should mention **address and application number** on memo/note line.
16. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
17. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are [available for download from the Town's website](#).
18. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
19. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
20. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
21. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their

representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

22. **PLAN CHECK FEES:** Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
23. **SITE SUPERVISION:** The General Contractor shall provide qualified supervision on the job site at all times during construction.
24. **INSPECTION FEES:** Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.
25. **DESIGN CHANGES:** Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
26. **PLANS AND STUDIES:** All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
27. **GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS:** All grading work taking place with this application and related applications/projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
28. **ILLEGAL GRADING:** Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
29. **DUST CONTROL:** Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be

watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. For sites greater than four (4) acres in area:

- a. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - b. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
 - c. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - d. Replant vegetation in disturbed areas as quickly as possible.
 - e. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
30. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
31. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
32. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
33. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
34. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
35. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment,

supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.

36. **CONSTRUCTION NOISE:** Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
37. **CONSTRUCTION VEHICLE PARKING:** Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
38. **PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT):** The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
39. **STREET/SIDEWALK CLOSURE:** Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
40. **GRADING PERMIT** A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). All grading work taking place with this application and related applications /projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the A&S review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

41. **CERTIFICATE OF OCCUPANCY:** The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
42. **FRONTAGE IMPROVEMENTS:** The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
43. **UTILITIES:** The Owner, Applicant and/or Developer shall install all new utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
44. **SIDEWALK REPAIR:** The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
45. **CURB AND GUTTER REPAIR:** The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
46. **VALLEY GUTTER REPAIR:** The Owner/Applicant shall repair and replace to existing Town standards any valley gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New valley gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names,

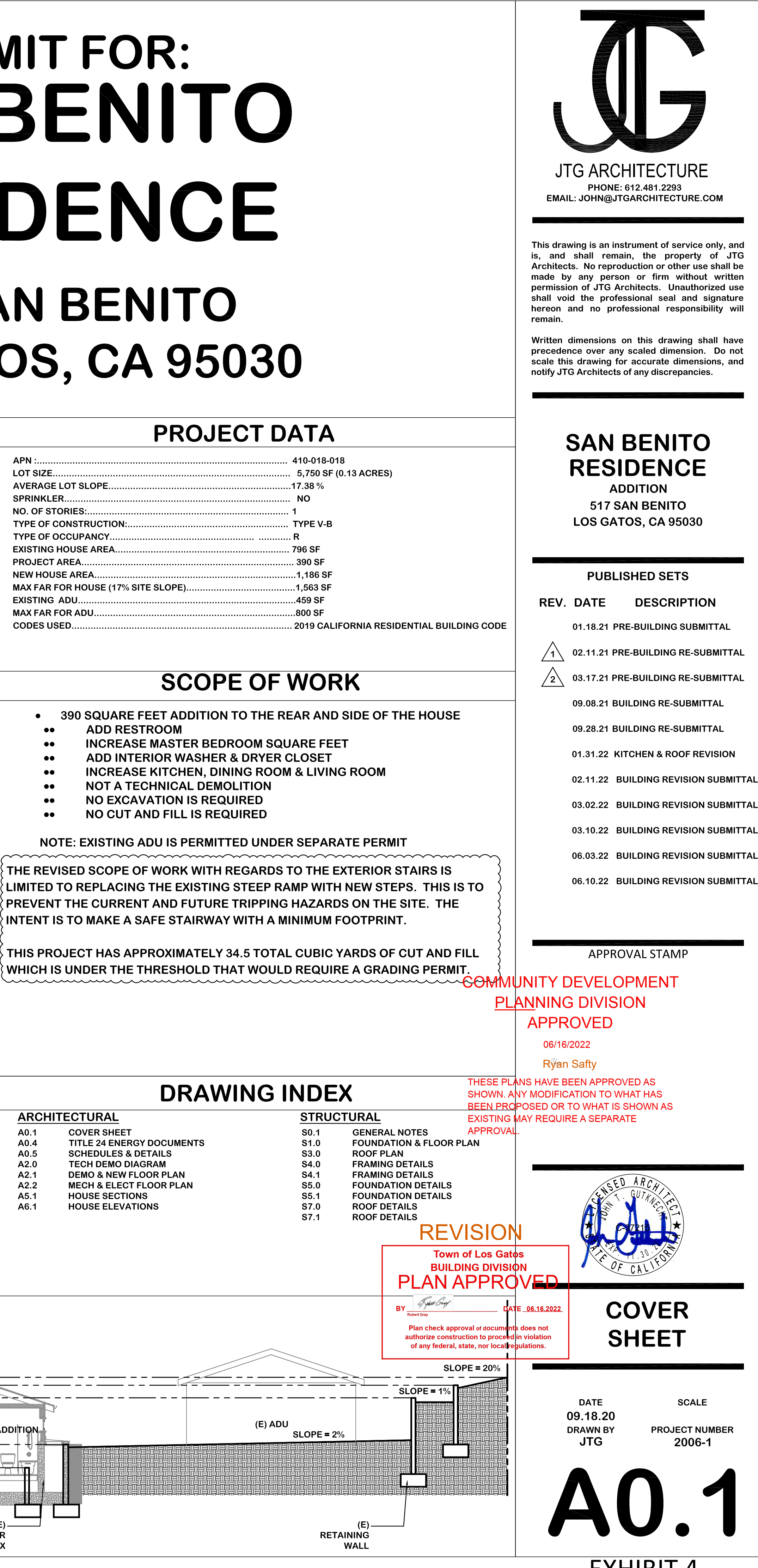
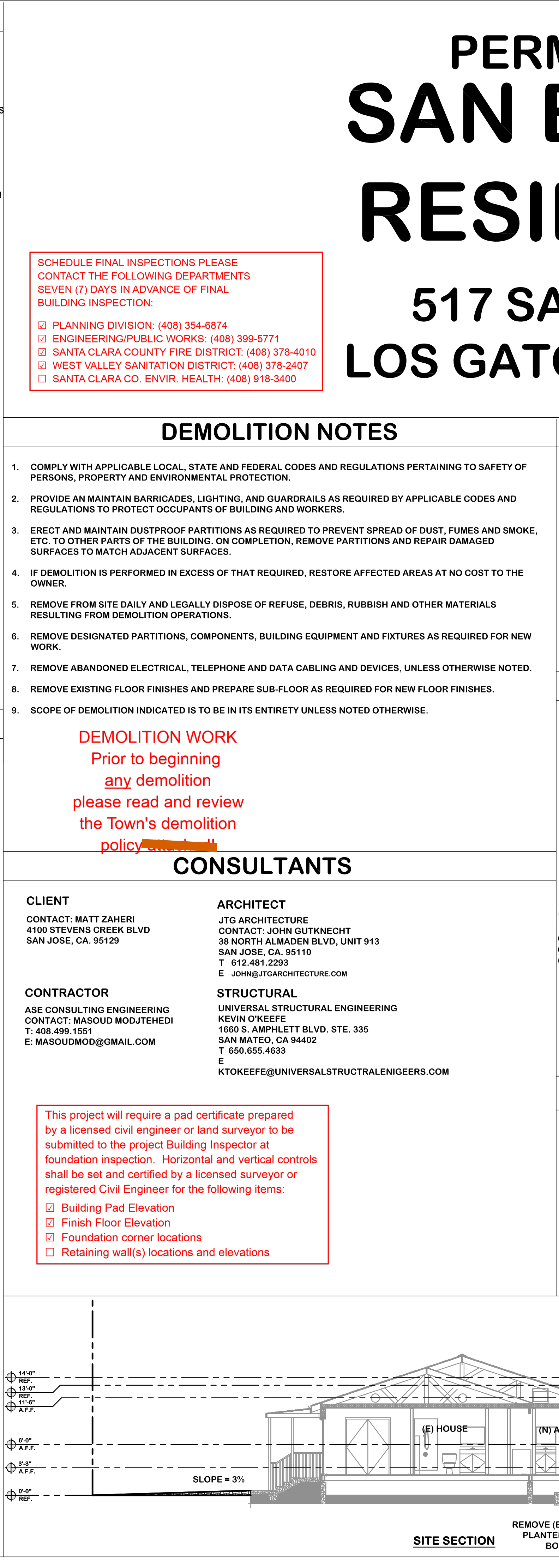
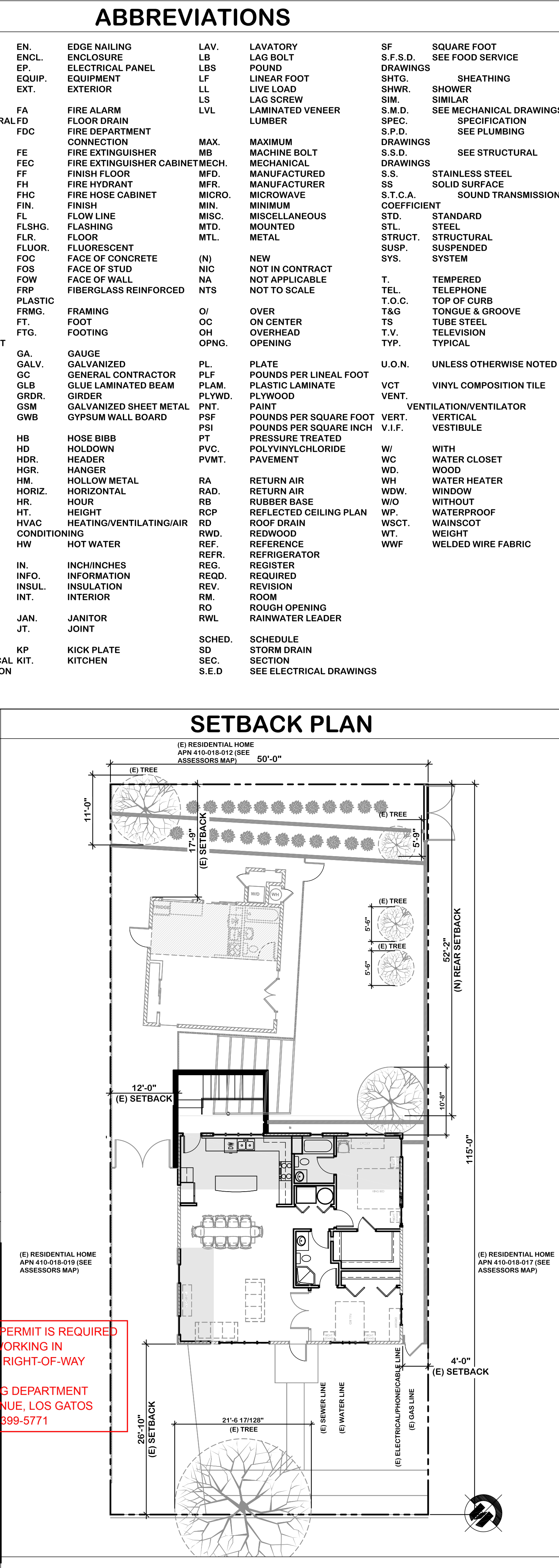
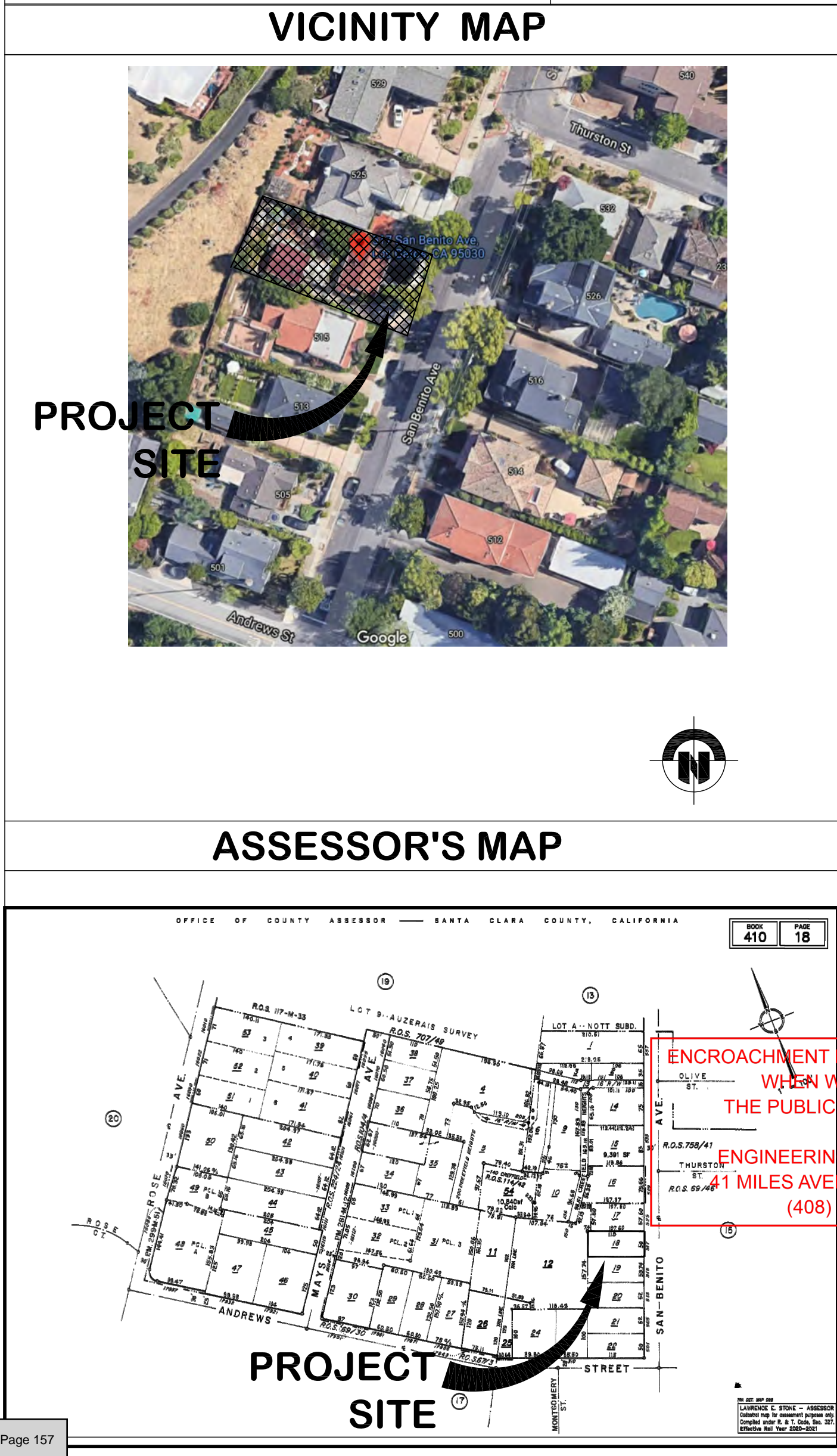
graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of valley gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

47. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

48. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
49. EMERGENCY GATE/ACCESS GATE REQUIREMENTS: Gate installations shall conform with Fire Department Standard Details and Specification G-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed; if they are operated manually, then an approved Knox padlock shall be installed. Indicate on sheet A0.1 that if the driveway gate is automatic or manual and that the appropriate Knox product will be provided and installed.

MATERIAL SYMBOLS				ABBREVIATIONS			
	BASE ROCK	AB	ANCHOR BOLT	EN.	EDGE NAILING	LAV.	LAVATORY
	CONCRETE	AC	ASPHALT CONCRETE	ENCL.	ENCLOSURE	LB	LAG BOLT
	EARTH (SECTION)	AD.	AREA DRAIN	EP	ELECTRICAL PANEL	LBS	POUND
	EXISTING WALL SECTION	ADJ.	ADJACENT	EQUIP.	EQUIPMENT	LF	LINEAR FOOT
	WOOD MEMBER (BLOCKING)	AFF	ABOVE FINISH FLOOR	EXT.	EXTERIOR	LL	LIVE LOAD
	WOOD MEMBER (CONTINUOUS, NOMINAL SIZE INDICATED)	ALUM.	ALUMINUM	FA	FIRE ALARM	LS	LAG SCREW
	PLYWOOD	ALT.	ALTERNATE	FD	FLOOR DRAIN	LVL	LAMINATED VENEER LUMBER
	GYPSUM WALL BOARD SECTION	ARCH.	ARCHITECT/ARCHITECTURAL	FDC	FIRE DEPARTMENT CONNECTION	MAX.	MAXIMUM
	METAL (STEEL OR IRON)	AVG.	AVERAGE	FE	FIRE EXTINGUISHER	MB	MACHINE BOLT
	RIGID INSULATION BOARD OR TILE	CW	COLD WATER	FEC	FIRE EXTINGUISHER CABINET	MFD.	MANUFACTURED
SYMBOLS				FF	FINISH FLOOR	MFR.	MANUFACTURER
				FHC	FIRE HOSE CABINET	MICRO.	MICROWAVE
				FIN.	FINISH	MIN.	MINIMUM
				FL	FLOW LINE	MISC.	MISCELLANEOUS
				FLSHG.	FLASHING	MTD.	MOUNTED
				FLOOR.	FLOOR	MTL.	METAL
				FLUOR.	FLUORESCENT	(N)	NEW
				FOS	FACE OF CONCRETE	NIC	NOT IN CONTRACT
				FRP	FACE OF WALL	NA	NOT APPLICABLE
				FRM.	FIBERGLASS REINFORCED	NTS	NOT TO SCALE
				FT.	FOOT	O/	OVER
				FTG.	FOOTING	OC	ON CENTER
				GA.	GAUGE	OH	OVERHEAD
				GALV.	GALVANIZED	OPNG.	OPENING
				GC	GENERAL CONTRACTOR	PL.	PLATE
				GLB	GLUE LAMINATED BEAM	PLF	POUNDS PER LINEAL FOOT
				GRDR.	GIRDER	PLAM.	PLASTIC LAMINATE
				GSM	GALVANIZED SHEET METAL	PLYWD.	PLYWOOD
				GW	GYPSUM WALL BOARD	PNT.	PAINT
				HB	HOSE BIBB	PSF	POUNDS PER SQUARE FOOT
				HD	HOLDOWN	PT	POUNDS PER SQUARE INCH
				HDR.	HEADER	PV.	PRESSURE TREATED
				HGR.	HANGER	PVMT.	POLYVINYLCHLORIDE PAVEMENT
				HM.	HOLLOW METAL	RA	RETURN AIR
				HORIZ.	HORIZONTAL	RAD.	RADIANT
				HR.	HOUR	RB	RUBBER BASE
				HT.	HEIGHT	RCP	REFLECTED CEILING PLAN
				HVAC	HEATING/VENTILATING/AIR	RD	ROOF DRAIN
				COND.	CONDITIONING	RWD.	REDWOOD
				HW	HOT WATER	REF.	REFERENCE
				IN.	INCH/INCHES	REFR.	REFRIGERATOR
				INFO.	INFORMATION	REG.	REGISTER
				INSUL.	INSULATION	REQD.	REQUIRED
				INT.	INTERIOR	REV.	REVISION
				EXIST.	EXISTING	RM.	ROOM
				EA.	EACH	RO	ROUGH OPENING
				EB.	EXPANSION BOLT	RWL	RAINWATER LEADER
				EIFS.	EXTERIOR INSULATION	SCHED.	SCHEDULE
				FINISH SYSTEM	EXPANSION JOINT	SD	STORM DRAIN
				EJ.	ELECTRIC/ELECTRICAL KIT.	SEC.	SECTION
				ELEV.	ELEVATOR/ELEVATION	S.E.D	SEE ELECTRICAL DRAWINGS
				DBL.	DOUBLE		
				DEPT.	DEPARTMENT		
				DF.	DOUGLAS FIR		
				DIA.	DIAMETER		
				DIAG.	DIAGONAL		
				DIM.	DIMENSION		
				DISP.	DISPENSER		
				DL	DEAD LOAD		
				DN.	DOWN		
				DR.	DOOR		
				DWG.	DRAWING		
				DW	DISHWASHER		
				&	AND		
				≥	GREATER THAN OR EQUAL TO		
				∠	ANGLE		
				≤	LESS THAN OR EQUAL TO		
				@	AT		
				±	PLUS OR MINUS		
				⊥	CENTER LINE		
				⊥	PROPERTY LINE OR PLATE		
				°	DEGREES		
				#	POUND		
				Δ	DELTA		
				Ø	DIAMETER		
				ℓ	FLOWLINE		



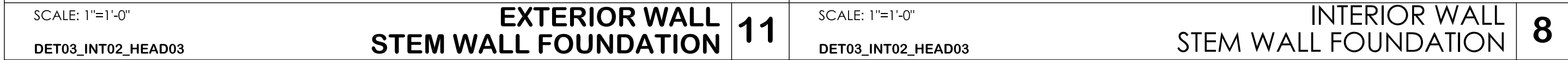
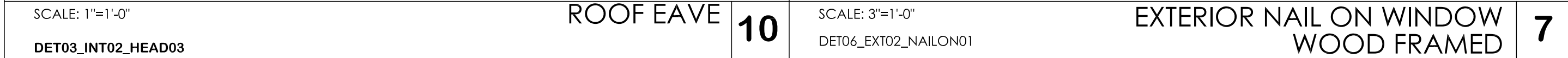


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06.16.2022

AV.4

[illegible]



DOOR NUMBER	ROOM	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL
1	KITCHEN	2'-8" X 6'-8"	D1	GALVANIZED STEEL	FACTORY PRIMED	GALV. STEEL
2	BATH	2'-8" X 6'-8"	D2	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
3	BATH	2'-8" X 6'-8"	D2	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
4	CLOSET	8'-0" X 6'-8"	D3	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
5	WALK-IN CLOSET	2'-8" X 6'-8"	D2	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
6	MASTER BEDROOM	2'-8" X 6'-8"	D2	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
7	MASTER BATH	9'-0" X 9'-0"	D3	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
8	LAUNDRY & WH	6'-0" X 6'-8"	D2	COMPOSITE WOOD SOLID CORE	FACTORY PRIMED	COMP. WOOD
WINDOW NUMBER	ROOM	WINDOW SIZE	WINDOW TYPE	NET OPENING DIMENSION	NET OPENING SF	GLAZING SF
1	LIVING ROOM	8'-0" X 4'-0"	W2	1'-9" X 1'-9" X 4	12.2	24.4
2	BEDROOM	8'-0" X 4'-0"	W2	1'-9" X 1'-9" X 4	12.2	24.4
3	BEDROOM	5'-0" X 4'-0"	W2	2'-4" X 1'-9" X 2	8.1	16.2
4	MASTER BEDROOM	3'-0" X 4'-0"	W1	2'-8" X 1'-9" X 1	4.6	9.2
5	MASTER BEDROOM	3'-0" X 4'-0"	W1	2'-8" X 1'-9" X 1	4.6	9.2
6	MASTER BEDROOM	6'-0" X 2'-6"	W3	2'-9" X 1'-0" X 2	5.5	11
7	MASTER BATH	2'-0" X 1'-6"	W4	1'-4" X 0'-5" X 1	.5	1.0
8	KITCHEN	8'-0" X 2'-6"	W4	1'-9" X 1'-0" X 4	7	14
9	LIVING ROOM	3'-0" X 4'-0"	W1	2'-4" X 1'-9" X 1	4	8
10	LIVING ROOM	3'-0" X 4'-0"	W1	2'-4" X 1'-9" X 1	4	8
11						

<div style="text-align: center;"> </div>	<div style="text-align: center;"> <p><u>EXTERIOR WALL</u></p> <p>EXTERIOR</p> <ul style="list-style-type: none"> • 2x6 WOOD STUDS AT 16" O.C., S.S.D. • CEMENT PLASTER W/ ACRYLIC FINISH • 2 LAYERS GRADE 'D' PAPER • CDX SHEATHING, S.S.D. • R-19 BATT INSULATION, SEE BUILDING SHELL ENERGY CALCULATIONS <p>INTERIOR</p> <ul style="list-style-type: none"> • 1 LAYER 5/8" TYPE 'X' GWB <p>1A HEAD DETAIL 10/A0.5 SILL DETAIL 11/A0.5</p> <p>1B HEAD DETAIL 10/A0.5 SILL DETAIL 12/A0.5</p> </div>
<div style="text-align: center;"> </div>	<div style="text-align: center;"> <p><u>EXTERIOR CONCRETE RETAINING WALL</u></p> <p>EXTERIOR</p> <ul style="list-style-type: none"> • 6" POURED IN PLACE CONCRETE • #5 REINFORCEMENT AT 16" O.C. E.W. • RETAINED EARTH • FILTER FABRIC • DRAINAGE GRAVEL <p>2 HEAD DETAIL 9/A0.5 SILL DETAIL 9/A0.5</p> </div>
<div style="text-align: center;"> </div>	<div style="text-align: center;"> <p><u>INTERIOR PARTITION WALL</u></p> <p>• 2x4 STUDS AT 16" O.C.</p> <p>• 1 LAYER 1/2" GWB EACH SIDE</p> <p>• GWB FINISH SHALL MATCH (E) CONDITION</p> <p>3 HEAD DETAIL 8/A0.5 SILL DETAIL 8/A0.5</p> </div>

DOORS

D1 EXTERIOR DOOR
JELD-WEN EXTERIOR 4 PANEL
STEEL DOOR OR APPROVED
EQUAL

D2 INTERIOR DOOR
JELD-WEN COLONIAL
SMOOTH ALL PANEL OR
APPROVED EQUAL

D3 INTERIOR BI-FOLD DOOR
JELD-WEN COLONIAL
SMOOTH BI-FOLD OR
APPROVED EQUAL

WINDOWS

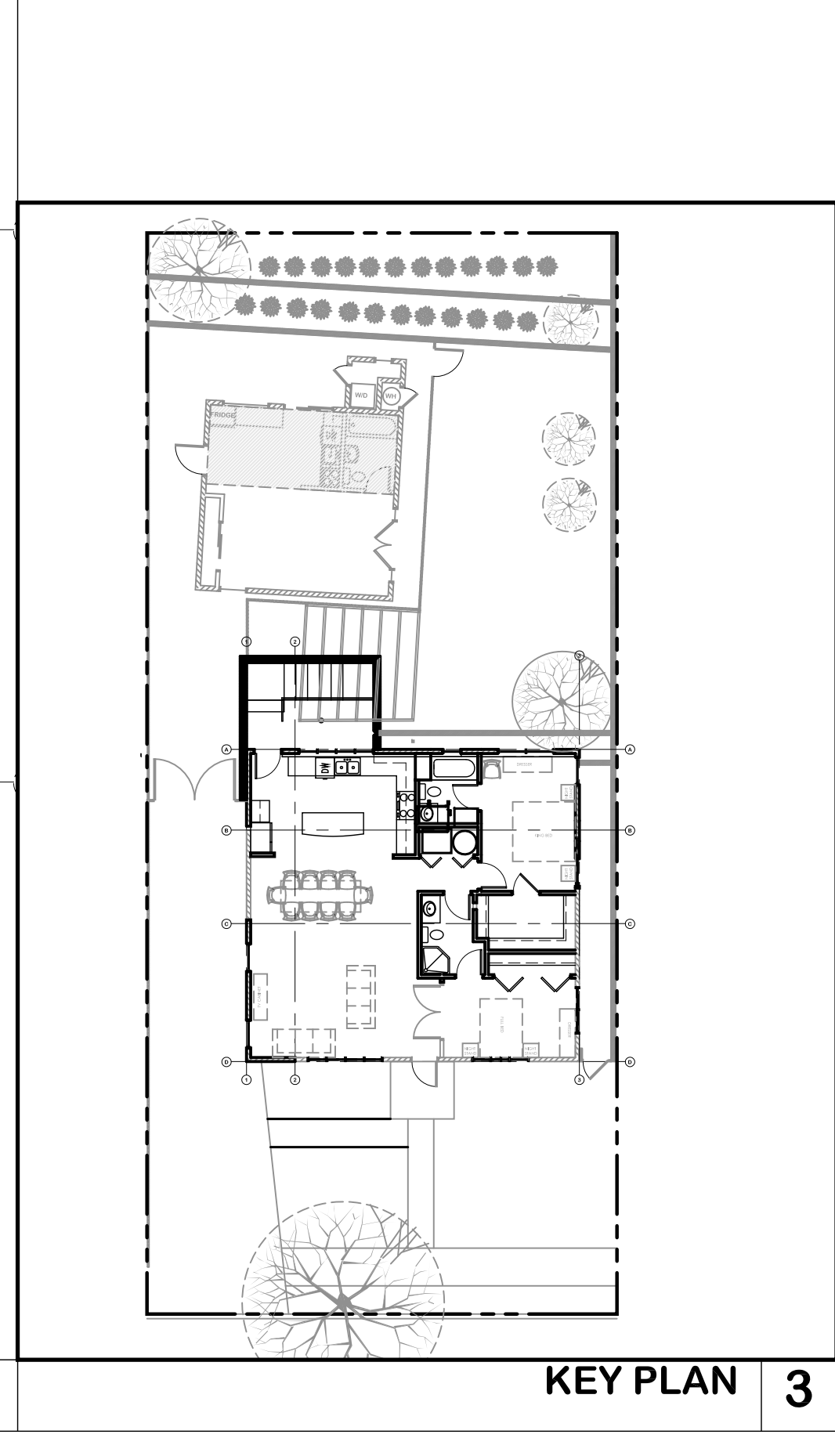
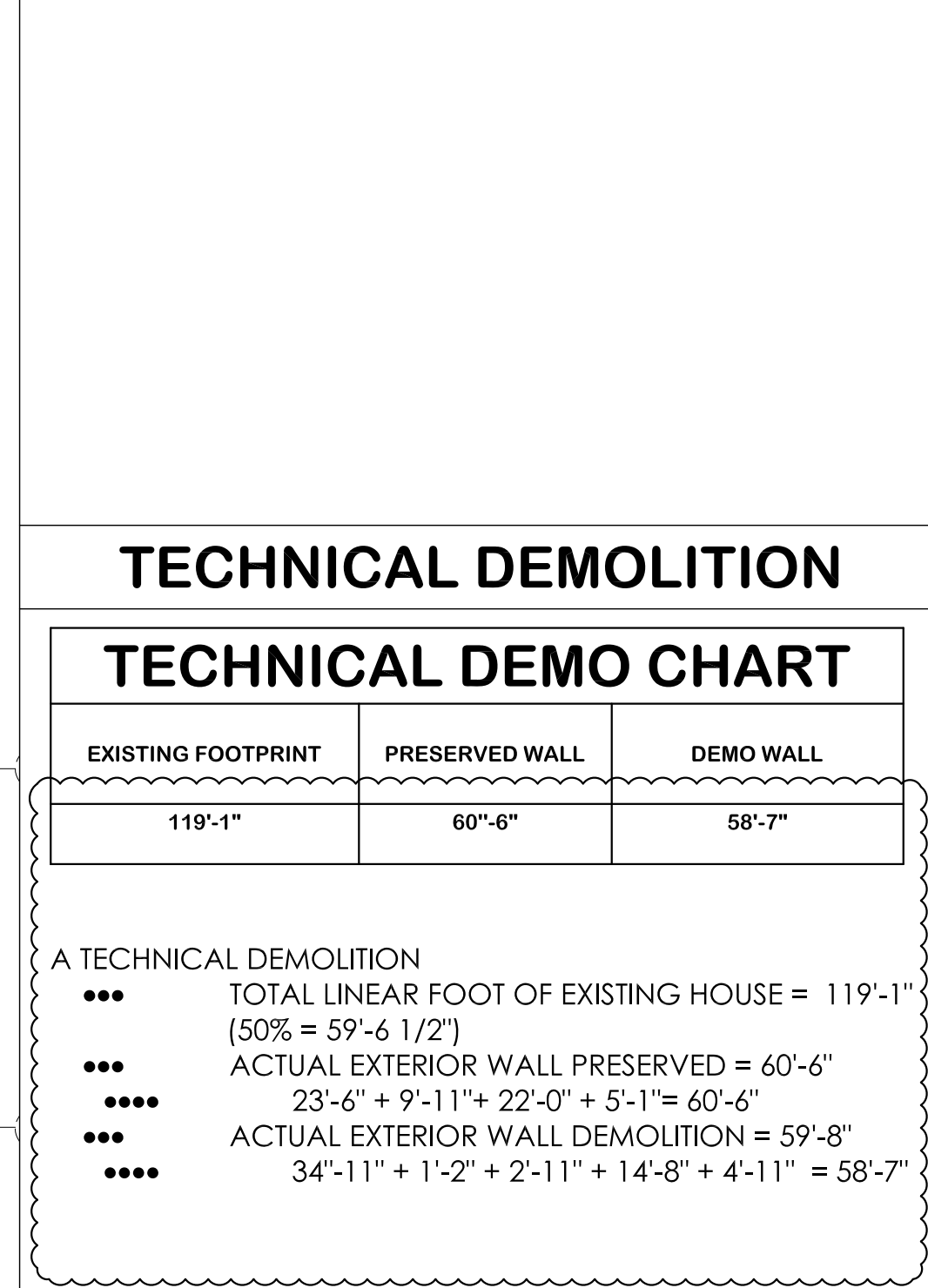
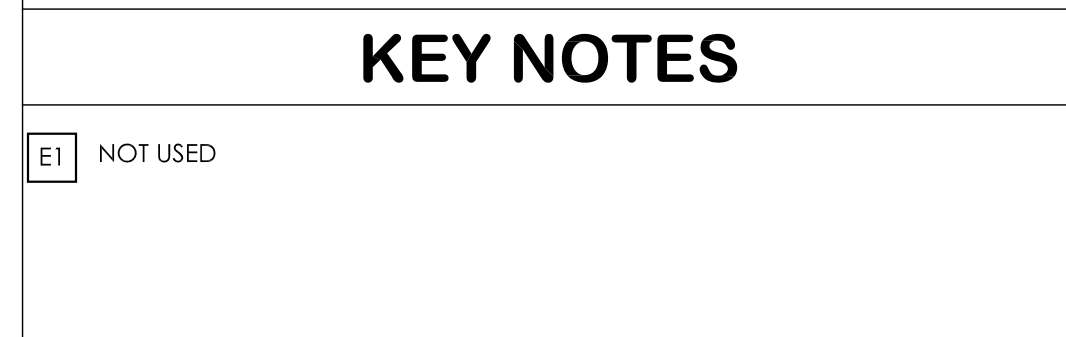
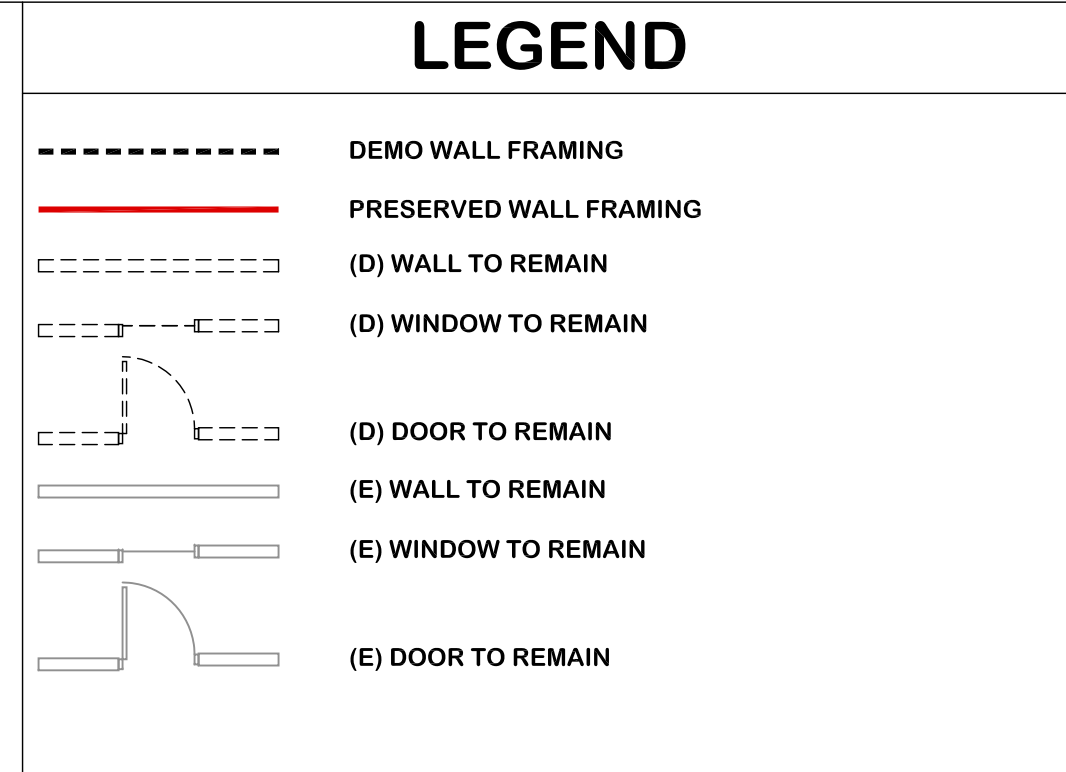
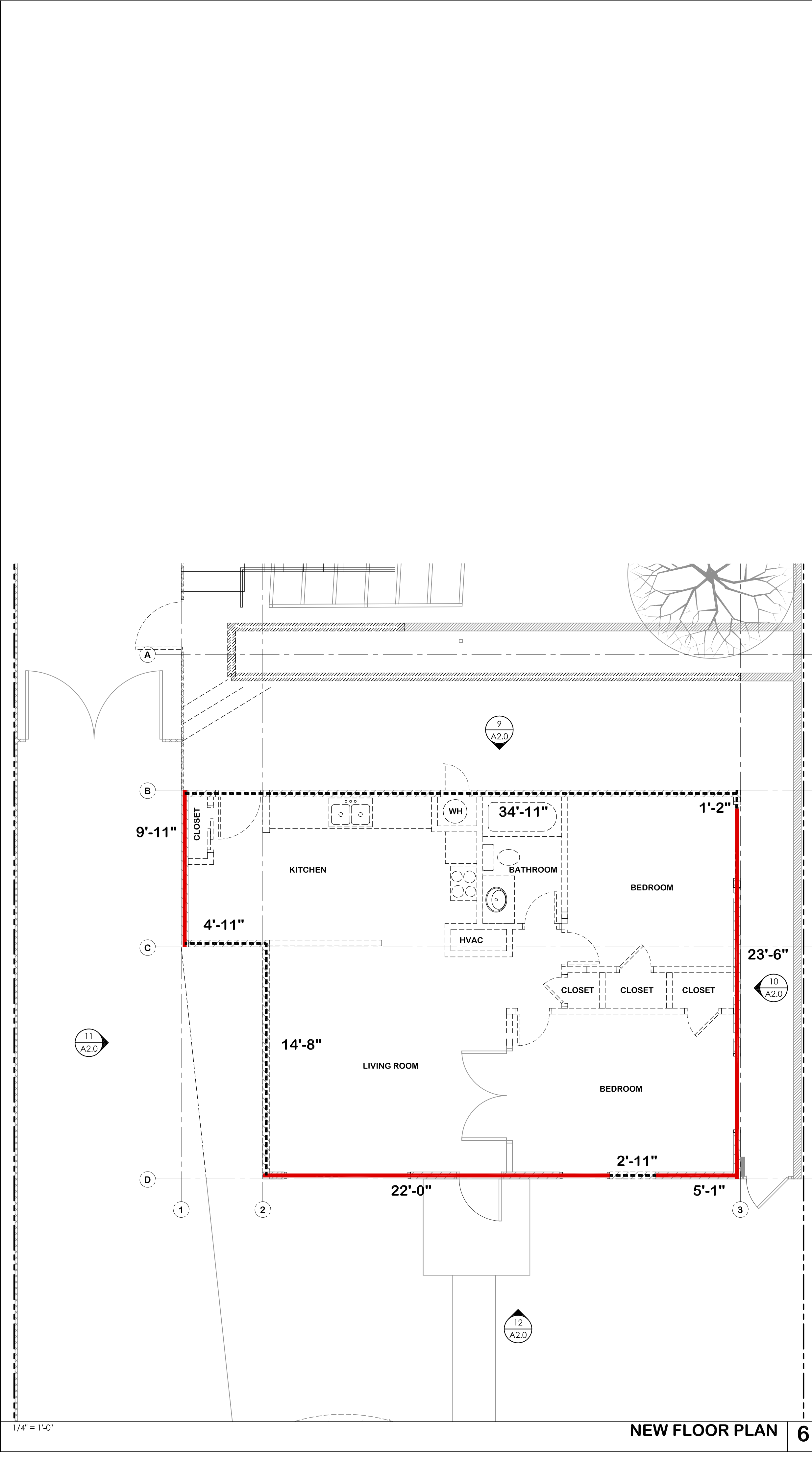
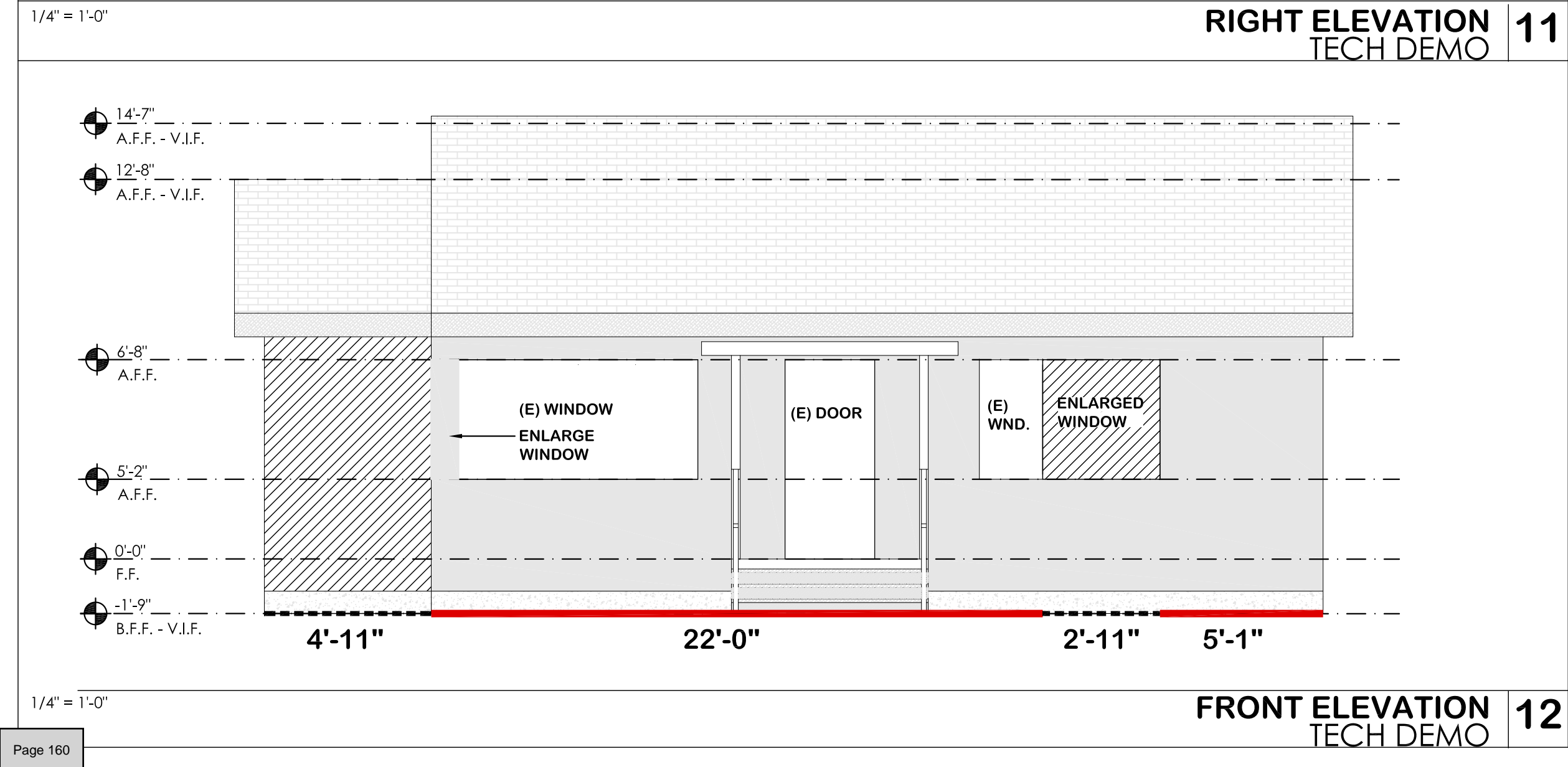
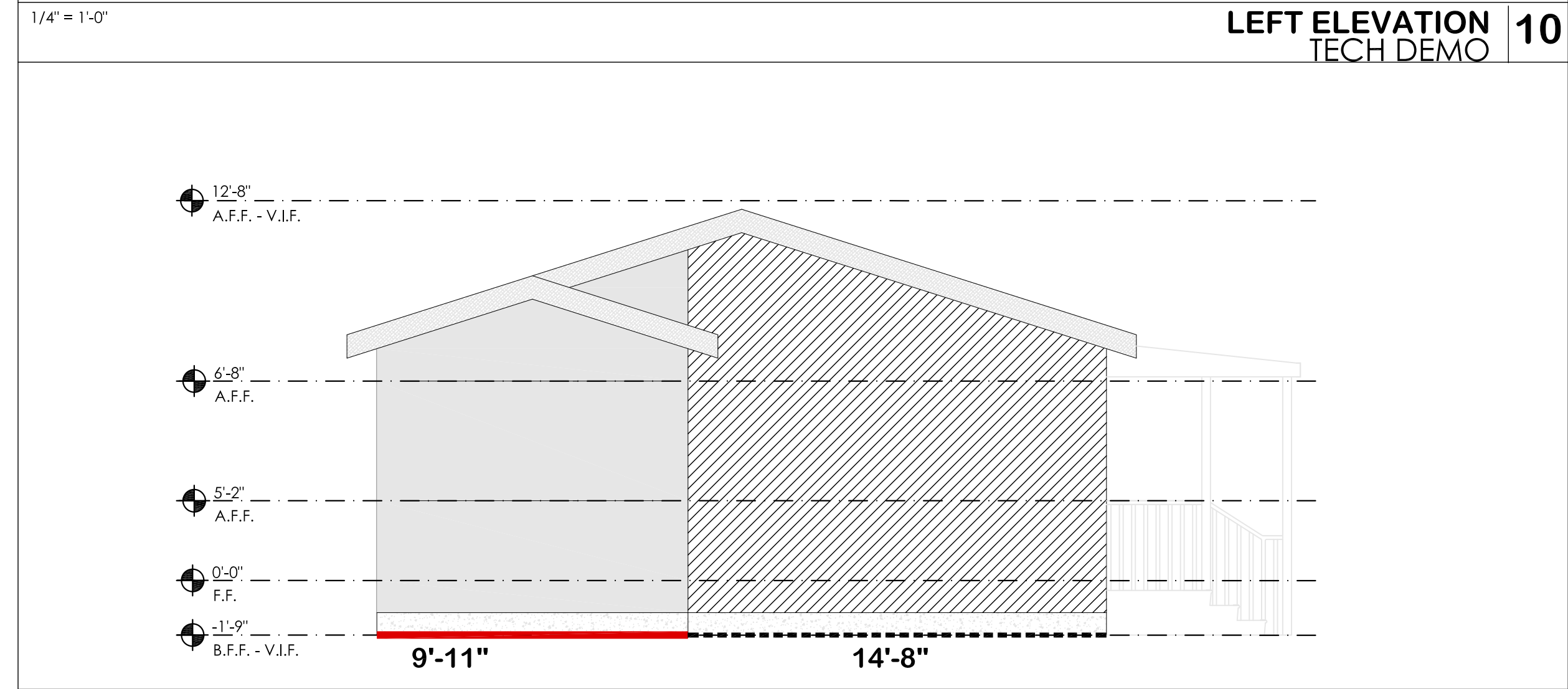
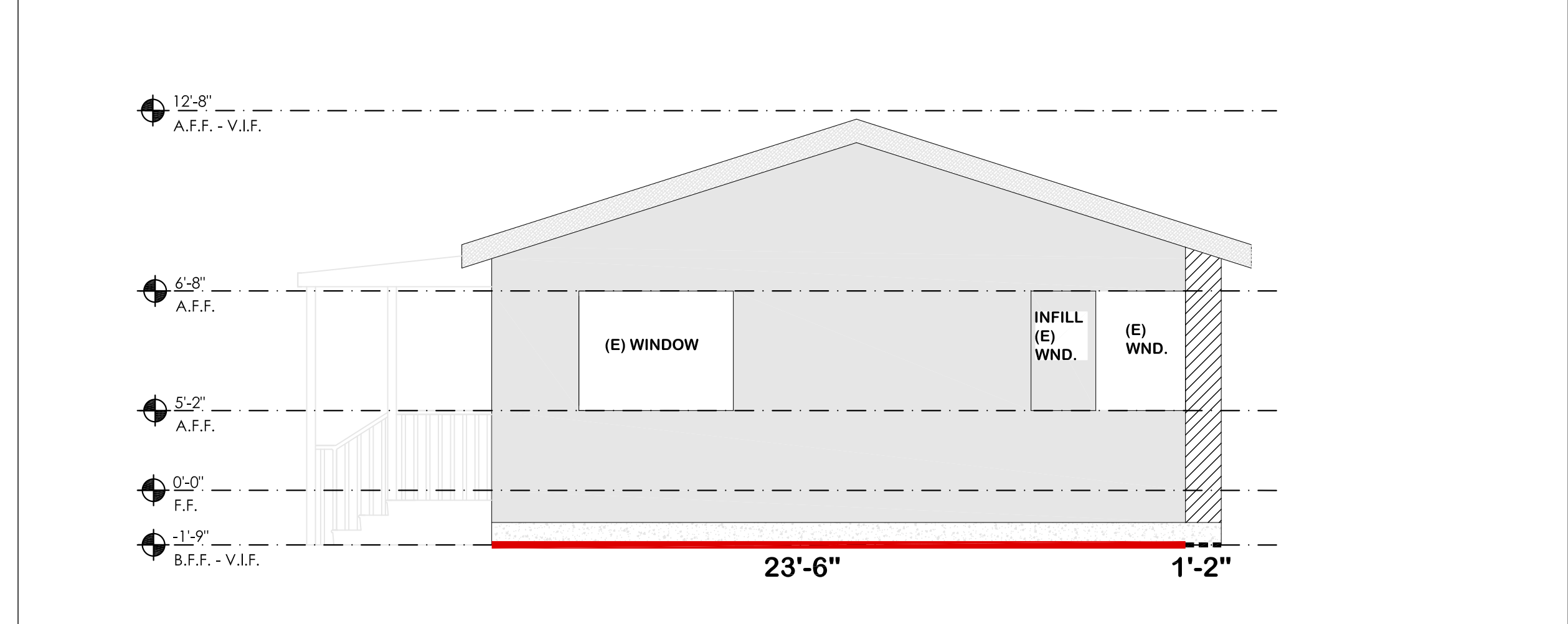
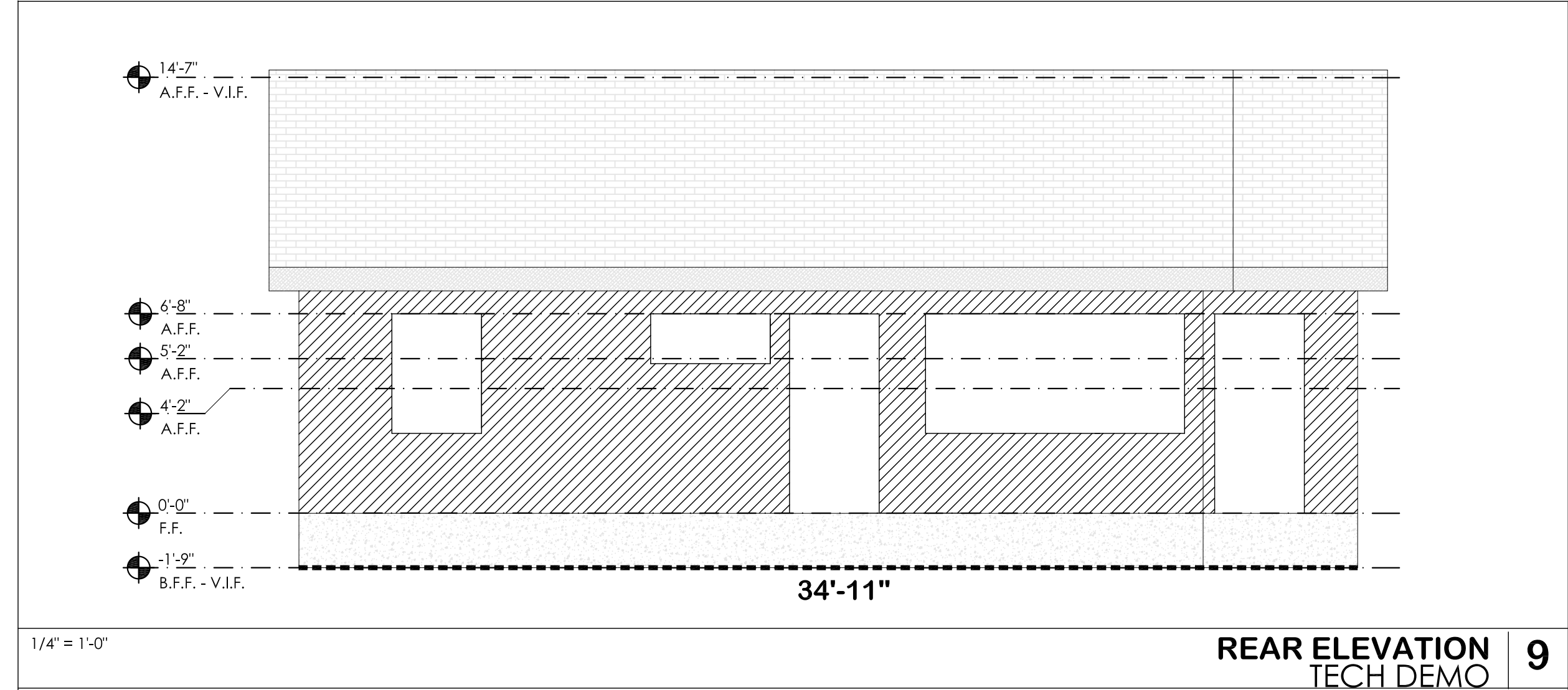
W1 SINGLE DOUBLE HUNG
WINDOW
JELD-WEN STEEL OR
APPROVED EQUAL

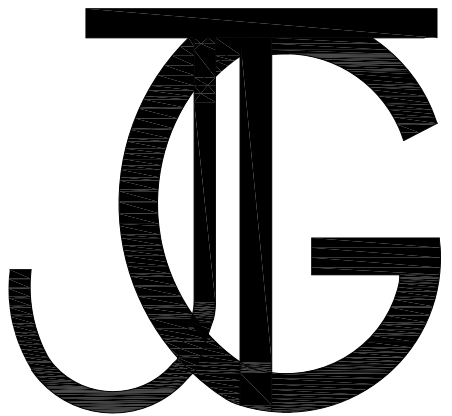
W2 MULTIPLE DOUBLE HUNG
WINDOW
JELD-WEN STEEL OR
APPROVED EQUAL

W3 MULTIPLE DOUBLE HUNG
WINDOW
JELD-WEN STEEL OR
APPROVED EQUAL

W4 AWNING WINDOW
JELD-WEN OR
APPROVED EQUAL







JTG ARCHITECTURE
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EMAIL: JOHN@JTGARCHITECTURE.COM

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SAN BENITO RESIDENCE
ADDITION
517 SAN BENITO
LOS GATOS, CA 95030

PUBLISHED SETS

REV.	DATE	DESCRIPTION
	01.18.21	PRE-BUILDING SUBMITTAL
1	02.11.21	PRE-BUILDING RE-SUBMITTAL
2	03.17.21	PRE-BUILDING RE-SUBMITTAL
	09.08.21	BUILDING RE-SUBMITTAL
	09.28.21	BUILDING RE-SUBMITTAL
	01.31.22	KITCHEN & ROOF REVISION
	02.11.22	BUILDING REVISION SUBMITTAL
	03.02.22	BUILDING REVISION SUBMITTAL
	03.10.22	BUILDING REVISION SUBMITTAL
	06.03.22	BUILDING REVISION SUBMITTAL
	06.10.22	BUILDING REVISION SUBMITTAL

APPROVAL STAMP

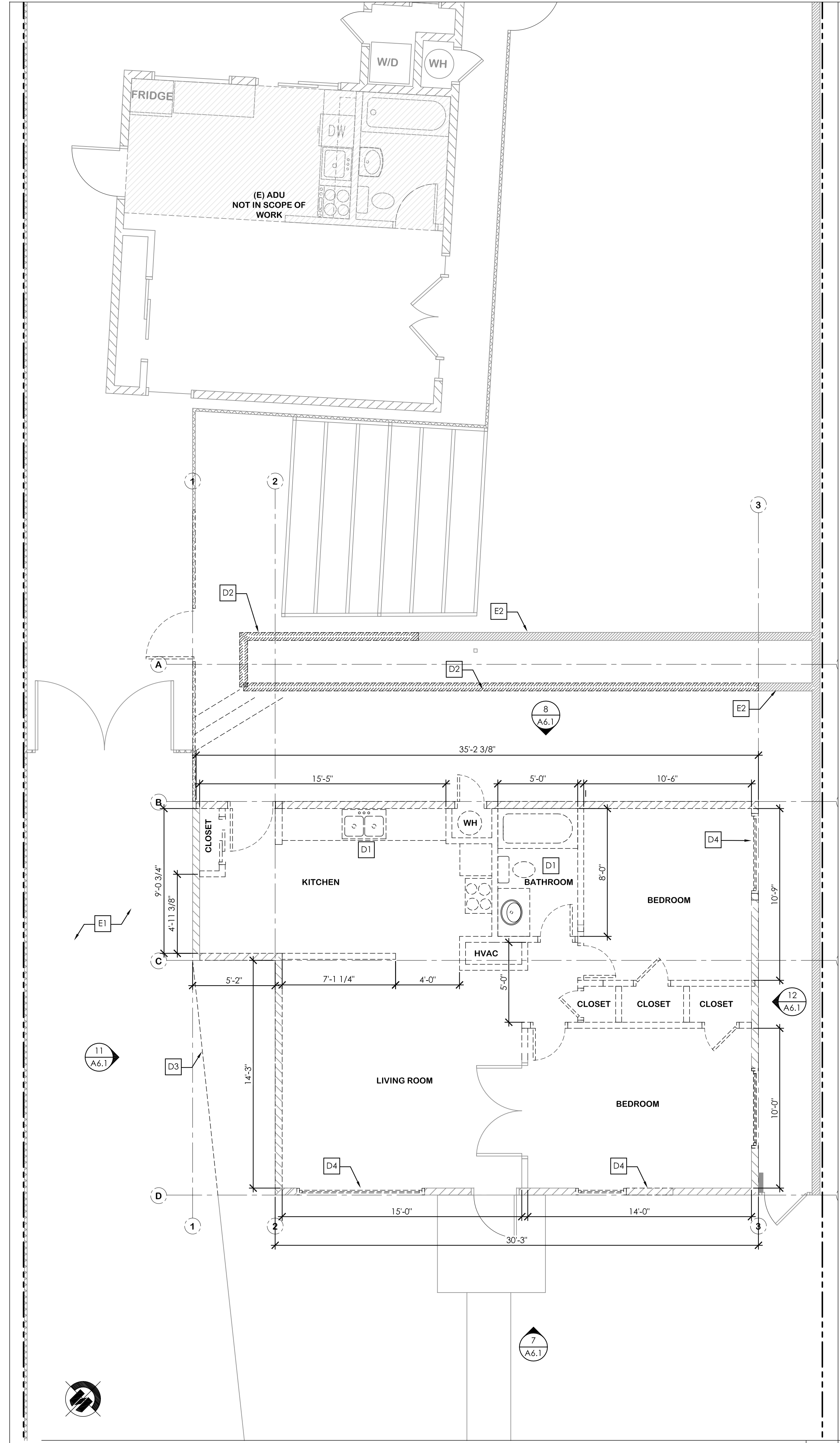


TECHNICAL DEMO DIAGRAM

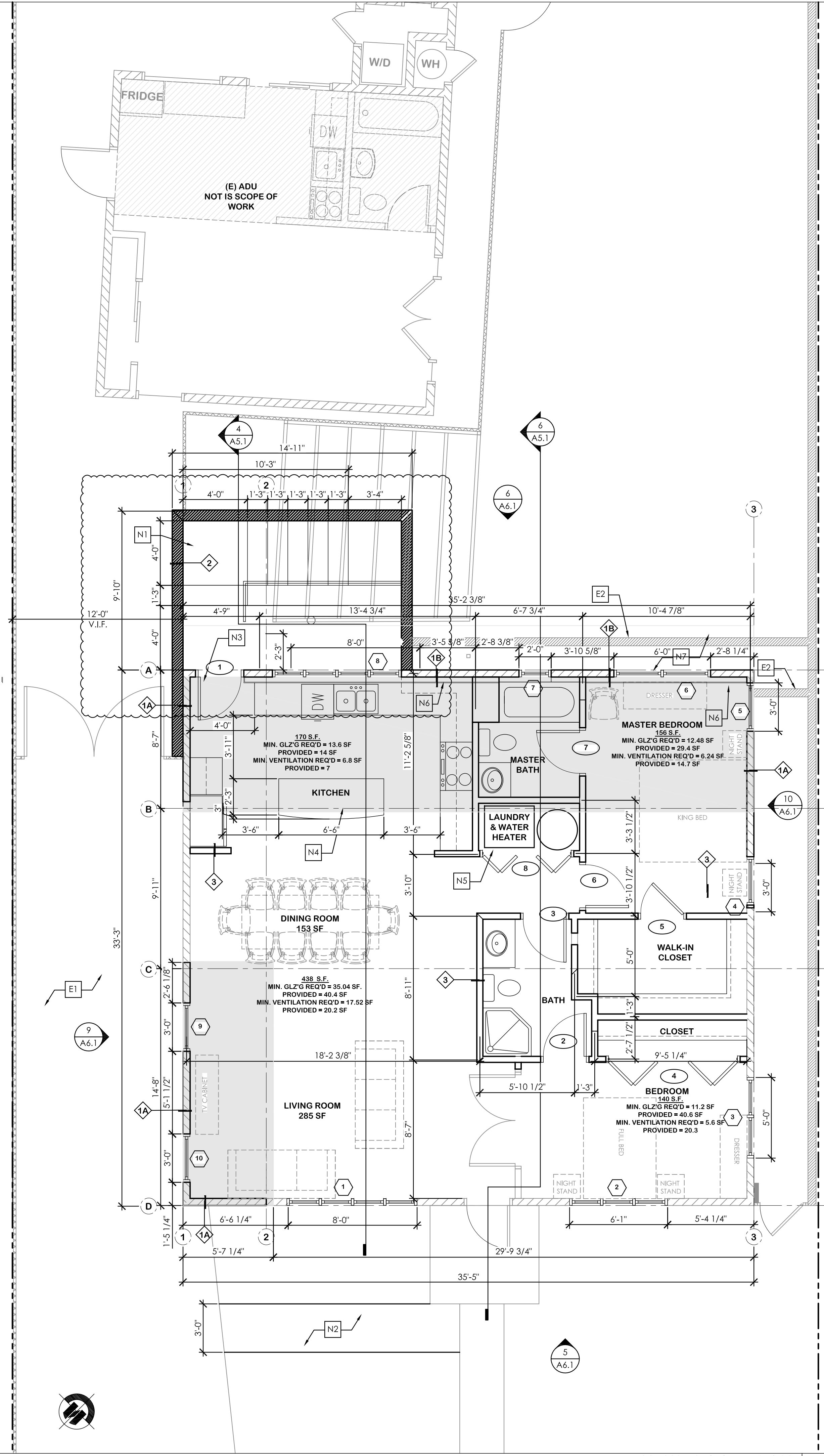
DATE: 06.16.2022
SCALE: 1/8" = 1'-0"
DRAWN BY: JTG
PROJECT NUMBER: 2006-1

TOWN OF LOS GATOS BUILDING DIVISION

A2.0



1/4" = 1'-0" DEMO FLOOR PLAN 12



1/4" = 1'-0" NEW FLOOR PLAN 6

LEGEND

HOUSE ADDITION AREA: 494 SF

(D) WALL TO REMAIN

(D) WINDOW TO REMAIN

(D) DOOR TO REMAIN

(E) WALL TO REMAIN

(E) WINDOW TO REMAIN

(E) DOOR TO REMAIN

WALL TAG - SEE WALL LEGEND FOR ADDITIONAL INFORMATION.

(N) WINDOW, SEE WINDOW SCHEDULE.

(N) DOOR, SEE DOOR SCHEDULE.

KEY NOTES

E1

(E) DRIVEWAY

E2

(E) RETAINING WALL TO REMAIN

D1

(D) PLUMBING FIXTURE

D2

(D) EXISTING RETAINING WALL AS REQUIRED

D3

(D) PORTION OF (E) DRIVEWAY FOR HOUSE ADDITION

D4

(D) WALL AS REQUIRED FOR NEW WINDOW, ENTIRE WALL IS NOT TO BE REMOVED

N1

(N) STAIR WITH (N) RETAINING WALLS, PROVIDE ADD ALT FOR PRE-FAB STEEL STAIRS

N2

(N) CONCRETE WALKWAY

N3

NOT USED

N4

(N) KITCHEN ISLAND

N5

(N) STACKABLE FULL SIZE WASHER & DRYER

N6

(N) RETAINING WALL BELOW, FINISH WITH GWB APPLY FURRING STRIPS AS REQUIRED

N7

(N) GSM FLASHING TO SLOPE WATER AWAY FROM STRUCTURE, SEE SECTION ON A5.1 FOR ADDITIONAL INFORMATION

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.

2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.

4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC..

5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.

6. GENERAL: AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.

7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

KEY PLAN 3

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APPROVAL STAMP

DEMO & NEW FLOOR PLANS

DATE: 06.16.2022

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: 2006-1

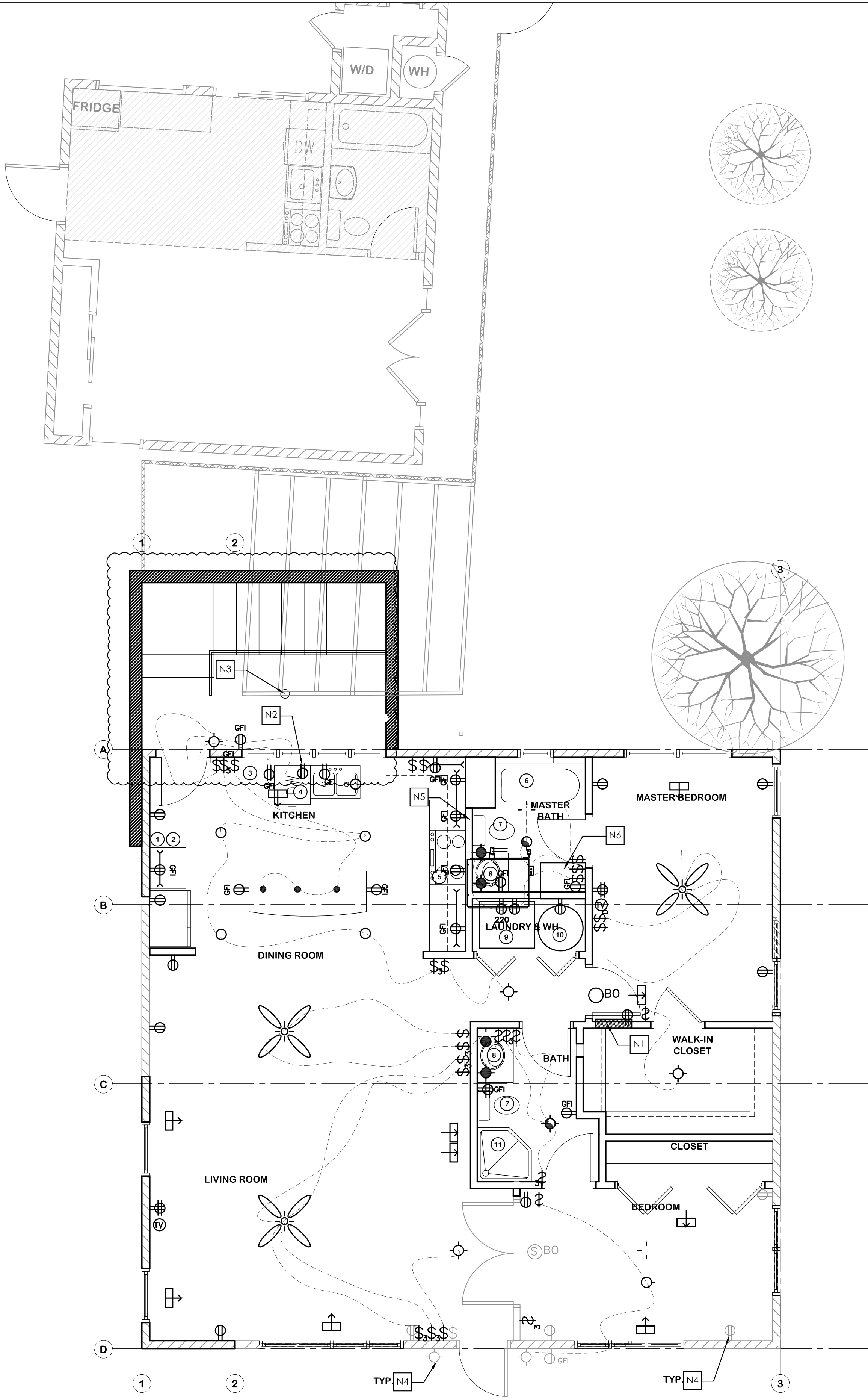
DRAWN BY: JTG

TOWN OF LOS GATOS
BUILDING DIVISION

A2.1

ELECTRICAL, PLUMBING, MECHANICAL NOTES:

- REVIEW THE LOCATIONS OF SWITCHES, OUTLETS, LIGHTS, ETC. WITH THE OWNER AT THE TIME OF BOX ROUGH IN PRIOR TO FINAL WIRING.
- CONTRACTOR TO PROVIDE HEATING DUCT LAYOUT TO OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
- ALL RECEPTACLES IN BATHROOM, KITCHEN, LAUNDRY, GARAGE, UTILITY, OUTDOORS AND CRAWL SPACE TO BE GFI PROTECTED. SEE CEC 210-8(A).
- PROVIDE RECEPTACLES AT KITCHEN COUNTER SO THAT NO POINT IS MORE THAN 24" FROM A RECEPTACLE (INCLUDING ISLANDS AND BAR TYPE COUNTERS). KITCHEN PENINSULA COUNTER TOP SHALL HAVE RECEPTACLES INSTALLED SO THAT NO POINT ALONG THE CENTERLINE OF THE LONG DIMENSION IS MORE THAN 24 INCHES (48" ON CENTERS) MEASURED HORIZONTALLY FROM A RECEPTACLE IN THAT SPACE. THESE RECEPTACLES SHALL BE INSTALLED ABOVE, OR WITHIN 12" BELOW THE COUNTER TOP ON THE KITCHEN SIDE. A PENINSULA COUNTER TOP IS MEASURED FROM THE CONNECTING EDGE.
- ALL RECEPTACLES IN KITCHEN TO BE GFI PROTECTED.
- PROVIDE SEPARATE CIRCUITS FOR DISHWASHER, GARBAGE DISPOSAL, MICROWAVE, REFRIGERATOR AND TRASH COMPACTOR.
- MINIMUM TWO SMALL 20 AMP. APPLIANCE CIRCUITS FOR KITCHEN.
- PROVIDE RECEPTACLES ON ALL WALLS 2' AND GREATER, WITHIN 6' OF DOORS, 12' ON CENTER (INCLUDING FIXED PORTIONS OF SLIDING GLASS DOORS, ETC.) AND ONE PER 10' OF HALLWAY. ALL RECEPTACLES IN GARAGES TO BE GFI PROTECTED.
- 24" MINIMUM OFFSET BETWEEN OUTLETS ON OPPOSITE SIDE OF GARAGE-TO-HOUSE OCCUPANCY SEPARATION WALLS.
- PROVIDE SINGLE STATION SMOKE ALARM MOUNTED ON CEILING OR WALL AT A POINT CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO ROOMS FOR SLEEPING PURPOSES, AND IN EACH SLEEPING ROOM. FOR SLEEPING ROOMS ON AN UPPER LEVEL, THE SMOKE ALARM SHALL BE PLACED AT THE CENTER OF THE CEILING DIRECTLY ABOVE THE STAIRWAY. ALARMS OR ALL DETECTORS SHALL BE AUDIBLE AT THE LIVING AREAS. A MINIMUM OF ONE SMOKE ALARM IS REQUIRED ON EACH FLOOR. SEE CRC R314.3 THROUGH CRC R314.5 FOR POWER SOURCE REQUIREMENTS.
- LIGHTS IN CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES TO COMBUSTIBLES/SHELVES:
 - SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE AN ENCLOSED BULB AND SHALL BE A MINIMUM OF 12" FROM THE NOSING OF SHEVLVING.
 - FLUORESCENT FIXTURES AND RECESSED FIXTURES TO HAVE MINIMUM 6" CLEARANCE.
- ALL RECESSED CAN LIGHTS IN INSULATED CEILINGS TO BE ICAT RATED AND COVERED WITH A FULL BLANKET OF INSULATION. CANS SHALL BE CAULKED SEALED TO SHEETROCK OR PROVIDED WITH AN AIR-TIGHT GASKETED RIM.
- PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS.
- PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVE FOR WATER HEATER(S) TO TERMINATE OUTSIDE OF THE BUILDING WITHOUT BEING TRAPPED.
- PROVIDE EXPANSION TANK FOR THE WATER HEATER.
- PROVIDE SEISMIC STRAPPING AT THE WATER HEATER. SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION, THE LOWER ANCHOR OR STRAP BEING LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS. SEE CPC.
- DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND A MINIMUM 3' AWAY FROM ANY OPENINGS.
- DRYER TO VENT OUTSIDE OF BUILDING AND BE A MAXIMUM 25' IN LENGTH WITH 2.5 FEET REDUCTIN FOR EACH 45 DEGREE ELBOW AND 5 FEET REDUCTION FOR EACH 90 DEGREE ELBOW.
- DEDICATE A 30 AMP. BRANCH CIRCUIT FOR LAUNDRY ROOM (TO SERVE NO OTHER AREAS). CEC 220.54.
- PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL VALVES AT EACH SHOWER OR TUB/SHOWER.
- PROVIDE DEDICATED CIRCUIT FOR FORCE AIR UNIT.
- FUEL GAS PIPING FOR THE WATER HEATER AND FURNACES SHALL COMPLY WITH CMC.
- HIGH EFFICACY LUMINAIRES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS. TO DETERMINE THE MINIMUM LAMP EFFICACY CATEGORY, ONLY THE WATTS OF THE LAMP (NOT THE BALLAST) CAN BE CONSIDERED. [SECTION 150(k)1 OF 2008 BUILDING ENERGY EFFICIENCY STANDARD]. 2010 CALIFORNIA ENERGY CODE.
- EXTERIOR LIGHTS SHALL BE MARKED SUITABLE FOR WET USE. CEC 410.10(A).
- SEPARATE 20-AMP BRANCH CIRCUIT(S) SERVING BATHROOM OUTLETS PER CEC 210.11(C)(3).
- APPROVED AIRGAP FITTING AT DISHWASHER TO WASTE CONNECTION PER CPC.
- COMBUSTION AIR OPENING SIZES AND LOCATIONS AT MECHANICAL ROOM SHALL COMPLY WITH CMC 701 THROUGH CMC 707 AND CPC 507.1.1 FOR FURNACE AND WATER HEATER.
- LIGHT FIXTURES IN TUBS OR SHOWERS SHALL BE LABELLED 'SUITABLE FOR DAMP LOCATIONS' PER CEC 410.10(D).
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTER AT ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS. (2010 CEC SECTION 210.12).
- PERMANENT LUMINAIRES IN KITCHEN SHALL BE HIGH EFFICACY LUMINAIRES EXCEPT IF 50% OR LESS OF THE TOTAL RATED WATTAGE OF PERMANENT LUMINAIRES ARE NOT HIGH EFFICACY AND ARE CONTROLLED BY SEPARATE SWITCHES. [EXCEPTION TO SECTION 150(k)8 OF 2008 BUILDING ENERGY EFFICIENCY STANDARD]. 2010 CALIFORNIA ENERGY CODE. LIGHTING IN AREAS ADJACENT TO KITCHEN CONSIDERED KITCHEN LIGHTING IF NOT ON SEPARATE SWITCH FROM KITCHEN LIGHTING.
- PERMANENT LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS LUMINAIRES ARE CONTROLLED A MANUAL-ON OCCUPANCY SENSOR [EXCEPTION TO SECTION 150(k)10 OF 2008 BUILDING ENERGY EFFICIENCY STANDARD]. 2010 CALIFORNIA ENERGY CODE.
- PERMANENT LUMINAIRES IN ROOMS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS LUMINAIRES CONTROLLED BY DIMMER SWITCHES, MANUAL- ON OCCUPANCY SENSOR, OR LOCATED IN CLOSETS LESS THAN 70 S.F. [EXCEPTIONS 1.2 TO SECTION 150(k)11 OF 2008 BUILDING ENERGY EFFICIENCY STANDARD]. 2010 CALIFORNIA ENERGY CODE.
- PERMANENT OUTDOOR LUMINAIRES MOUNTED TO THE BUILDINGS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS THEY ARE CONTROLLED BY MANUAL- ON OCCUPANCY SENSOR OR LOCATED IN OR AROUND SWIMMING POOLS AND OR WATER FEATURES. [EXCEPTIONS 1.2 TO SECTION 150(k)13 OF 2008 BUILDING ENERGY EFFICIENCY STANDARD]. 2010 CALIFORNIA ENERGY CODE.
- THE MAXIMUM HOT WATER TEMP. DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREE F. (CPC 415.5).
- AN ILLUMINATED ADDRESS NUMBER TO BE PROVIDED VISIBLE FROM THE STREET AT THE FRONT PROPERTY PER CRC.
- MAINTAIN WORKING CLEARANCE PER CEC 110.16 AT ALL SUB PANELS.
- COOKTOP HOOD EXHAUST TERMINATION MUST BE 4 FEET FROM ANY WINDOWS OR DOORS.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED. SEE CEC 210.12(B).
- ALL 125-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACE, UNFINISHED BASEMENT, KITCHENS AND COUNTERTOP, SURFACES WITHIN 6 FEET (1.83M) OF WET BAR SINKS OR KITCHEN SINKS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL. SEE CEC SECTION 210.8(A).
- ALL 125-VOLT, 15- AND 20- AMPERE RECETACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.
- HYDROMASSAGE BATHTUB AT MASTER BATHROOM SHALL CONFORM TO CEC 680.70, GFCI PROTECTED WITH MOTOR ACCESS.
- WHEN A WATER HEATER IS LOCATED IN AN ATTIC OR FURRED SPACE WHERE DAMAGE MAY RESULT FROM A LEAKING WATER HEATER, A WATERTIGHT PAN OF CORROSION RESISTANT MATERIAL SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM THREE QUARTER (3/4) INCH (19. MM) DIAMETER DRAIN TO AN APPROVED LOCATION PER CPC SECTION 510.
- HEATING AND COOLING EQUIPMENT GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE, PROVIDED THE PILOTS, BURNERS OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FLOOR LEVEL PER CMC SECTION 308.



KEY NOTES

- | | |
|----|--|
| N1 | (N) ELECTRICAL PANEL |
| N2 | OUTLET SHALL BE UNDER COUNTER |
| N3 | EXTERIOR DRAIN WITH VERTICAL PERFORATED DRAIN PIPE |
| N4 | (E) ELECTRICAL FIXTURE, V.I.F. |
| N5 | (N) FURNACE LOCATION IN ATTIC |
| N6 | (N) ATTIC ACCESS HATCH |

LEGEND

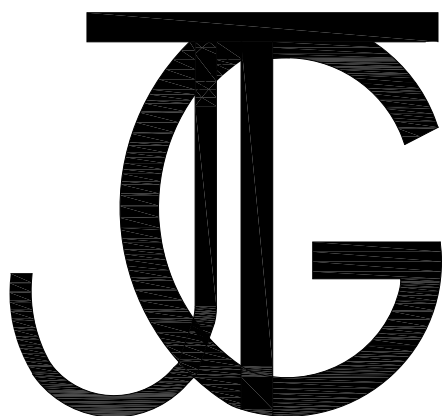
- | | |
|--|---|
| | CLG. MNT'D LIGHT FIXTURE |
| | CLG. MNT'D FAN LIGHT COMBO FIXTURE |
| | WALL MOUNTED VANITY LIGHTING |
| | CLG. MNT'D FAN |
| | 4" RECESSED CAN |
| | LOW VOLT. PENDANT |
| | DUPLEX OUTLET. GROUND FAULT INTERRUPTED |
| | DUPLEX OUTLET |
| | QUAD OUTLET |
| | DUPLEX OUTLET. 1/2 W/ SWITCH OVERRIDE |
| | DEDICATED CIRCUIT |
| | TELEVISION CABLE HOOK UP |
| | LIGHT SWITCH |
| | DIMMER SWITCH |
| | 3 WAY SWITCH |
| | SUPPLY REGISTER |
| | RETURN REGISTER |
| | FLUORESCENT LIGHT FIXTURE |
| | BATTERY OPERATED SMOKE DETECTOR W/ LOW BATTERY SIGNAL |
| | CEILING BLADE FAN/LIGHT COMBO |

GENERAL NOTES

- MECHANICAL EQUIPMENT SHALL BE LOCATED IN ROOF TRUSSES
- ALL REGISTER SHALL BE CEILING MOUNTED W/ REGISTER TO MATCH CEILING COLOR
- PROVIDE LIGHT NEAR HVAC EQUIPMENT AND SWITCH AT ATTIC ACCESS
- INSTALL AC UNITS IN ATTIC & PROVIDE DRIP PAN
- VERIFY ALL PHONE/DATA/TV LOCATIONS W/ OWNER
- ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM NEIGHBORS VIEW

FIXTURE SCHEDULE

- UPPER CABINET MICROWAVE
GE PROFILE
STYLE: 2.2 CU FT OR APPROVED EQAUL
COLOR: STAINLESS STEEL
PART NUMBER: PES272SLSS
- RANGE
GE PROFILE
STYLE: 5.3 CU SMOOTH SURFACE ELECTRIC RANGE OR APPROVED EQAUL
COLOR: STAINLESS STEEL
PART NUMBER: JS645SLSS
- DISHWASHER
GE (ENERGY STAR)
STYLE: DRY BOOST 48 DECIBEL
COLOR: STAINLESS STEEL
PART NUMBER: GDT645SYNFS
- KITCHEN SINK
KOHLER
STYLE: KOHLER TOCCATA 33" DOUBLE BASIN TOP MOUNT
PART NUMBER: K-3847-4-NA
COLOR: 18 GAUGE STAINLESS STEEL
FAUCET: KOHLER BELLERA PULL DOWN KITCHEN
FLOW RATE: 1.5 GPM
PART NUMBER: K-560-VS
GARBAGE DISPOSAL: INSINKERATOR - 3/4 HP OR APPROVED EQUAL
- REFIGERATOR
GE 24.8 CU FT FRENCH DOOR (ENERGY STAR)
COLOR: STAINLESS STEEL
PART NUMBER: GNE25JSKSS
- TUB SHOWER
KOHLER
STYLE: KOHLER ARCHER THREE WALL ALCOVE SOAKING TUB OR APPROVED EQUAL
PART NUMBER: K-1946-LA-0
COLOR: WHITE
FAUCET: KOHLER ALTEO TUB & SHOWER
FLOW RATE: 1.75 GPM
PART NUMBER: K-TS45104-4G-CP
- FLOOR MOUNTED TOILET
KOHLER
STYLE: MISENO BELLA OR APPROVED EQUAL
FLOW RATE: 1.28 GPF
COLOR: WHITE
PART NUMBER: MNO1500C
- BATHROOM SINK
KOHLER
STYLE: ARCHER 22-5/8" DROP IN SINK OR APPROVED EQUAL
PART NUMBER: K-3256-8-0
COLOR: WHITE
FAUCET: KOHLER CORALAI WIDESPREAD FAUCET OR APPROVED EQUAL
FLOW RATE: 1.2 GPM
PART NUMBER: K-15261-4RA-CP
- STACKABLE FULL SIZE WASHER DRYER
LG (ENERGY STAR)
STYLE: 4.5 CU FT WASHER & 7.4 CU FT DRYER OR APPROVED EQUAL
PART NUMBER: K-3256-8-0
COLOR: WHITE
PART NUMBER: WKEX200HWA
- WATER HEATER
RHEEM
STYLE: 50 GAL. PRESTIGE SMART ELECTRIC OR APPROVED EQUAL
PART NUMBER: PROPE50-M2-RH92-CS
- SHOWER
PAPAYA
STYLE: 36X36X72 CORNER SHOWER KIT OR APPROVED EQUAL
PART NUMBER: 105545-000-129-103
COLOR: WHITE
FAUCET: KOHLER ALTEO SHOWER
FLOW RATE: 1.75 GPM
PART NUMBER: K-TLS45106-4-SHOWER-CA-CP



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SAN BENITO RESIDENCE

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517 SAN BENITO
LOS GATOS, CA 95030

PUBLISHED SETS

REV.	DATE	DESCRIPTION
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1	02.11.21	PRE-BUILDING RE-SUBMITTAL
2	03.17.21	PRE-BUILDING RE-SUBMITTAL
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	02.11.22	BUILDING REVISION SUBMITTAL
	03.02.22	BUILDING REVISION SUBMITTAL
	03.10.22	BUILDING REVISION SUBMITTAL
	06.03.22	BUILDING REVISION SUBMITTAL
	06.10.22	BUILDING REVISION SUBMITTAL

APPROVAL STAMP

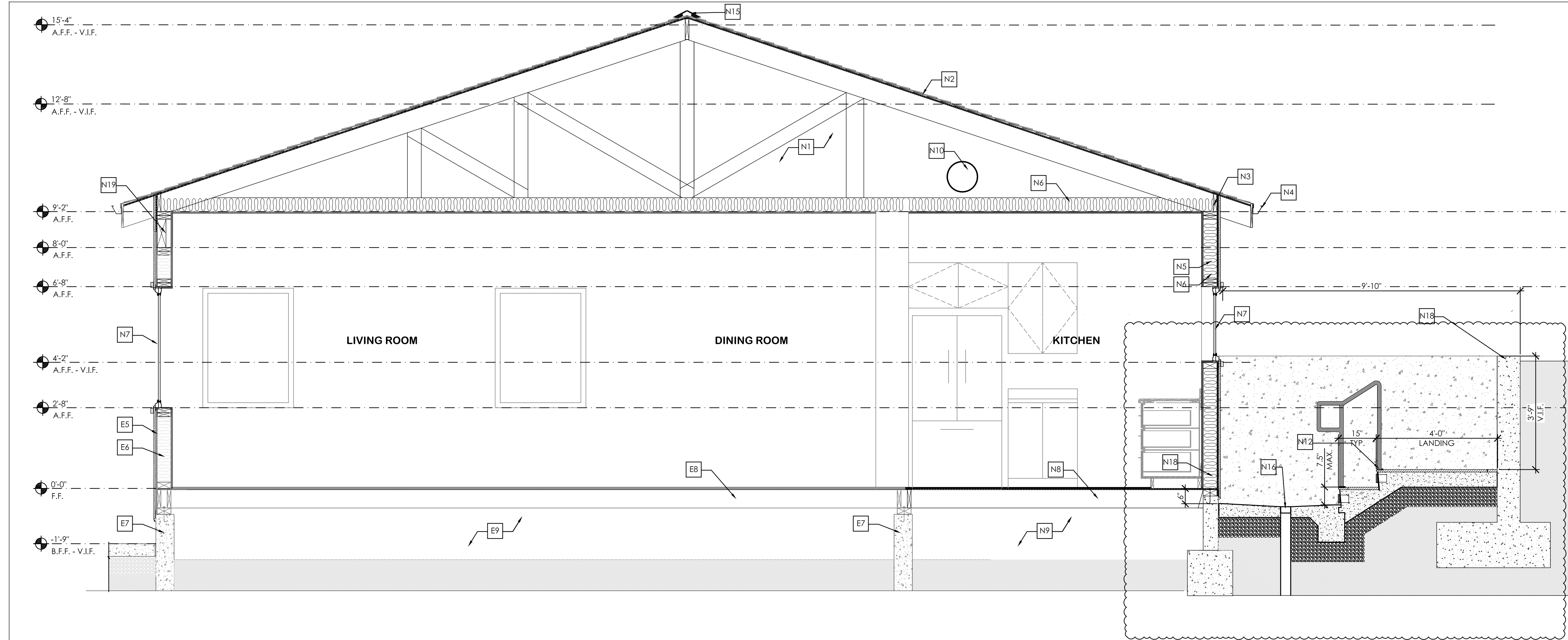


MECH & ELECT FLOOR PLANS

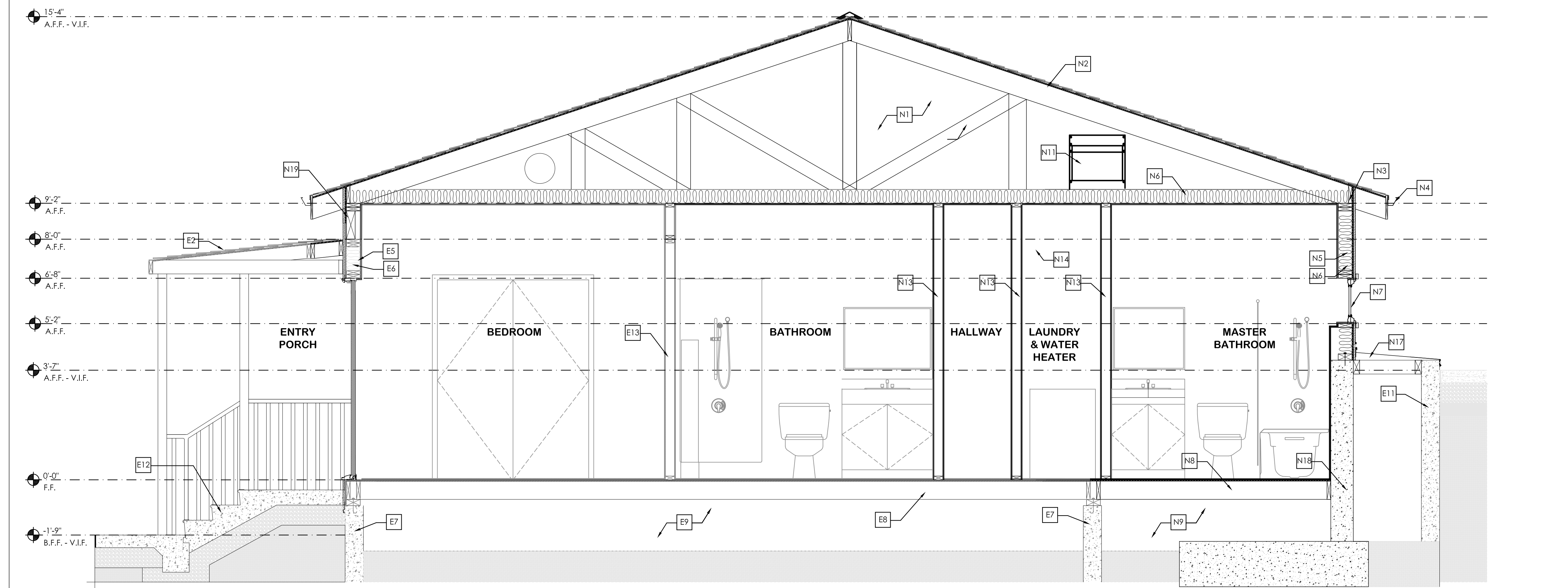
DATE: 06.16.2022
DRAWN BY: JTG
PROJECT NUMBER: 2006-1

TOWN OF LOS GATOS
BUILDING DIVISION

A2.2



1/2" = 1'-0" CROSS SECTION 4



1/2" = 1'-0" CROSS SECTION 6

KEY NOTES

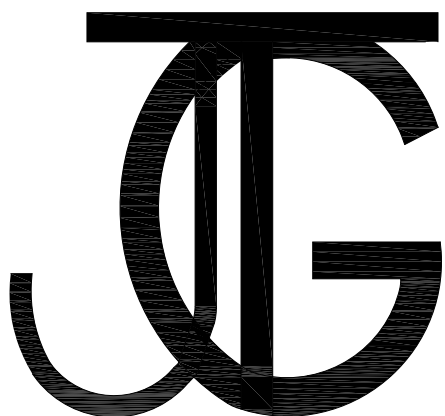
- E1 (E) ROOF TRUSS
- E2 (E) ASPHALT SHINGLES
- E3 (E) EAVE VENTILATION
- E4 (E) GUTTER
- E5 (E) EXTERIOR WALL
- E6 (E) BATT INSULATION
- E7 (E) CONCRETE FOUNDATION
- E8 (E) FLOOR JOIST
- E9 (E) 18" MIN CRAWL SPACE
- E10 (E) HVAC DUCT, V.I.F.
- E11 (E) RETAINING WALL
- E12 (E) CONCRETE STAIRS
- E13 (E) INTERIOR WALL
- N1 (N) TRUSS
- N2 (N) ASPHALT SHINGLES TO MATCH (E)
- N3 (N) EAVE VENTILATION, SEE CALC BELOW FOR QUANTITY
- N4 (N) GUTTER
- N5 (N) 2X6 EXTERIOR WALL
- N6 (N) BATT INSULATION
- N7 (N) EXTERIOR WINDOW
- N8 (N) FLOOR JOIST TO MATCH (E)
- N9 (E) 18" MIN CRAWL SPACE TO MATCH (E)
- N10 (N) HVAC DUCT TO MATCH (E)
- N11 (N) HVAC AIR HANDLING UNIT
- N12 (N) CONCRETE STAIRS WITH OPTIONAL EMBEDDED LIGHTS, PROVIDE ADD ALT FOR PRE-FAB STEEL STAIRS
- N13 (N) INTERIOR WALL
- N14 (N) HEADER WITH WOOD POST AS REQUIRED
- N15 (N) RIDGE VENT, SEE CALC BELOW FOR REQUIRED LINEAR FEET
- N16 (N) DRAIN WITH VERTICAL PERFORATED DRAIN PIPE
- N17 (N) PREFINISHED GSM COPING WITH SEALANTS AND COUNTER FLASHING
- N18 (N) RETAINING WALL, S.S.D
- N19 (N) 4X12 WITH 2X4 TOP PLATE

ATTIC VENTILATION CALC.

HOUSE SQUARE FOOT = 1,290
VENTILATION REQUIRED 1,290/300 = 4.3 SF OR 619 SI OF VENTILATION REQUIRED
309.5 SI AT UPPER 1/3 AND 309.5 SI LOWER 1/3 OF ROOF.
EAVE VENT = 4" ROUND MINI LOUVER BY GIBALTAR INDUSTRIES = 2.9 NET FREE AREA
309.5/2.9 = 107 VENTS REQUIRED
RIDGE VENT = CONTINUOUS VENT BY CORAVENT V-300 SEIRES = 13.5 SI
309.5/13.5 = 23 LINEAR FEET REQUIRED

GENERAL NOTES

- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC..
- FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
- GENERAL: AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
- WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



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	06.03.22	BUILDING REVISION SUBMITTAL
	06.10.22	BUILDING REVISION SUBMITTAL

APPROVAL STAMP

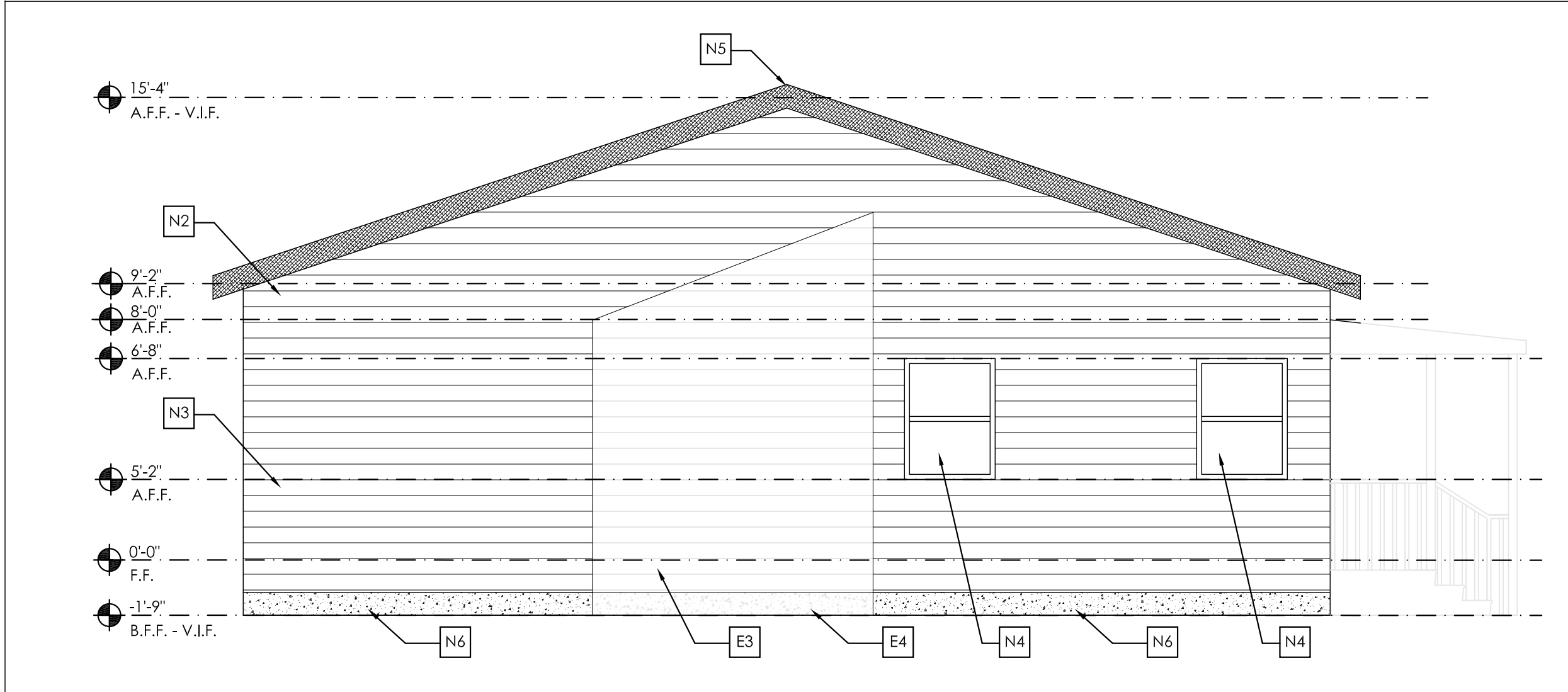


HOUSE SECTIONS

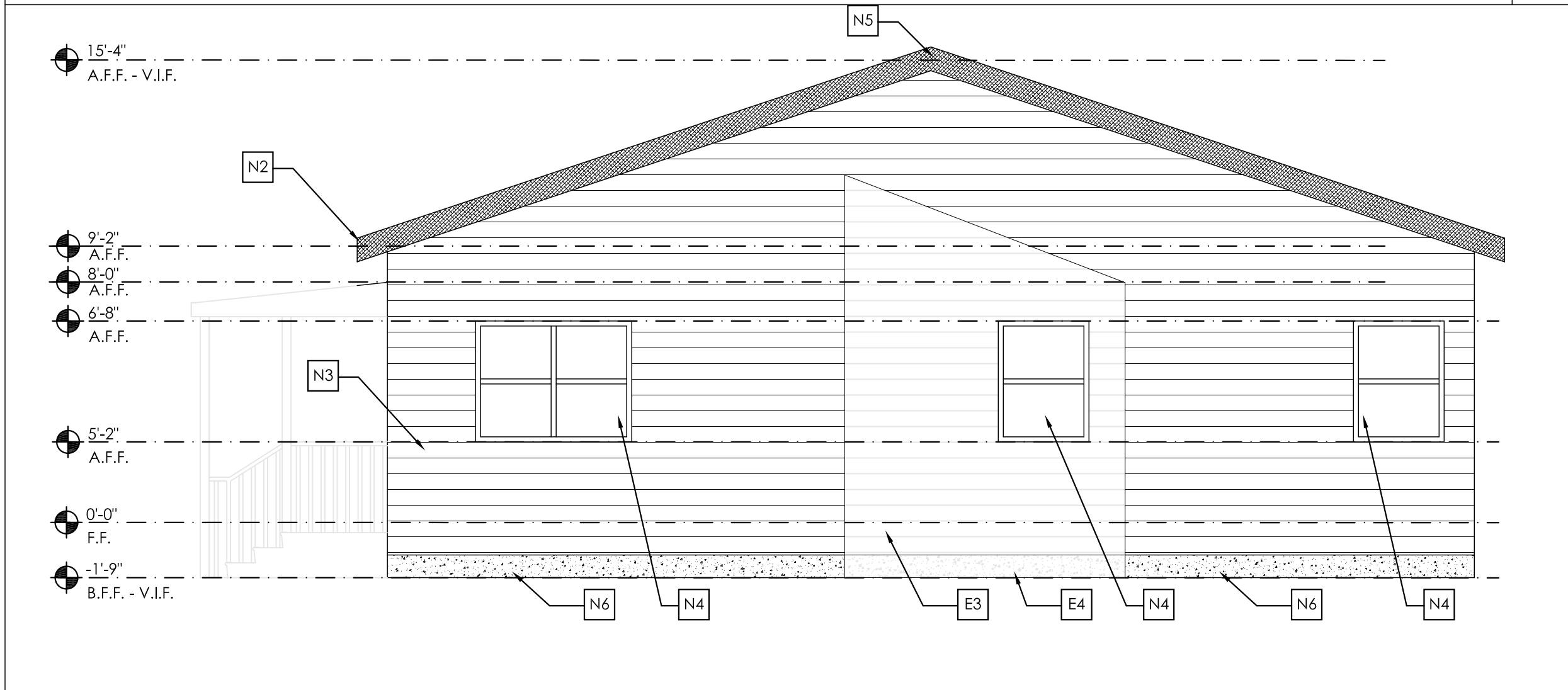
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DRAWN BY: JTG PROJECT NUMBER: 2006-1

TOWN OF LOS GATOS
BUILDING DIVISION

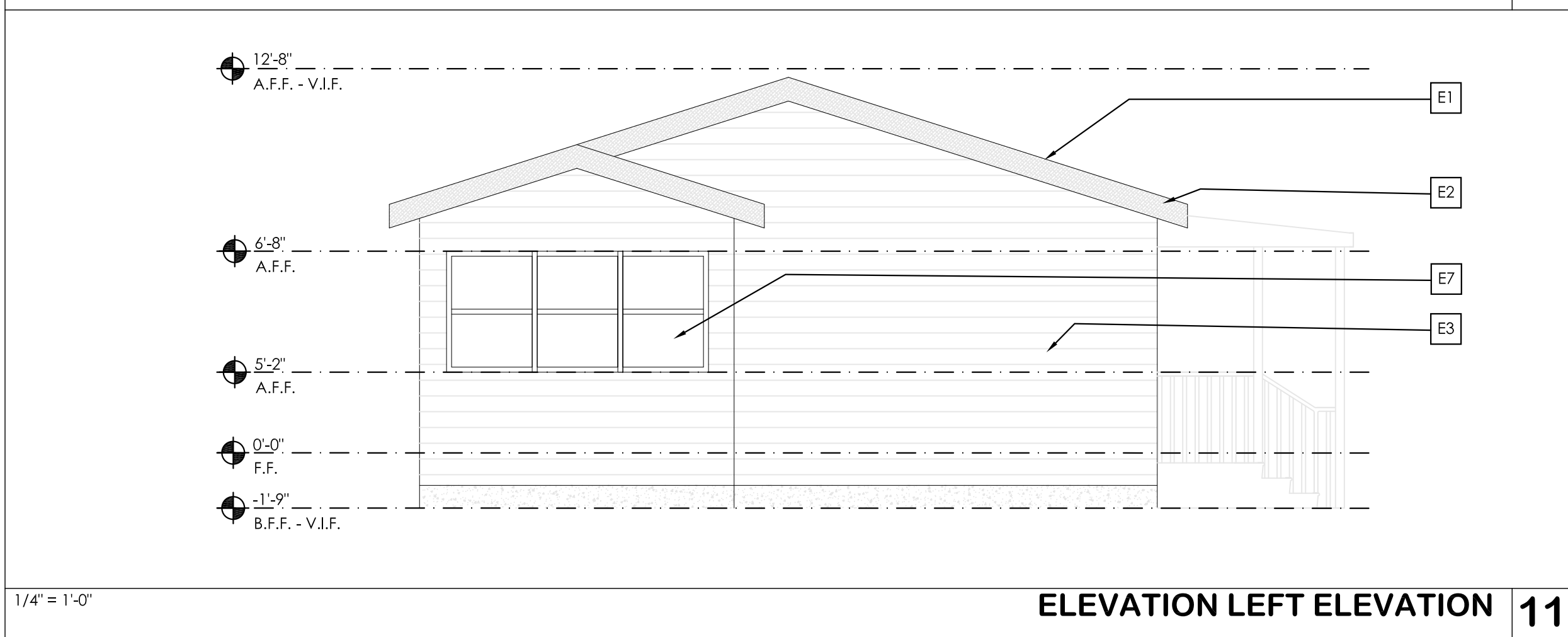
A5.1



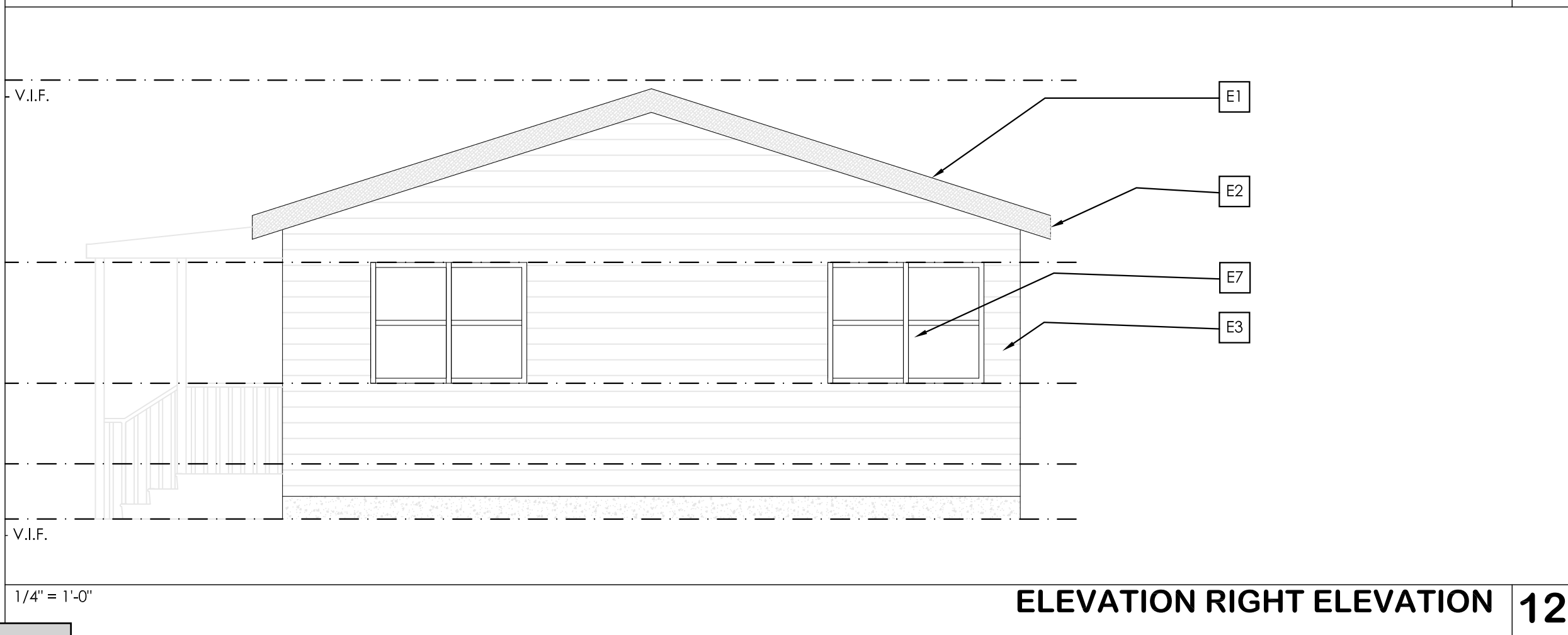
PROPOSED LEFT ELEVATION 9



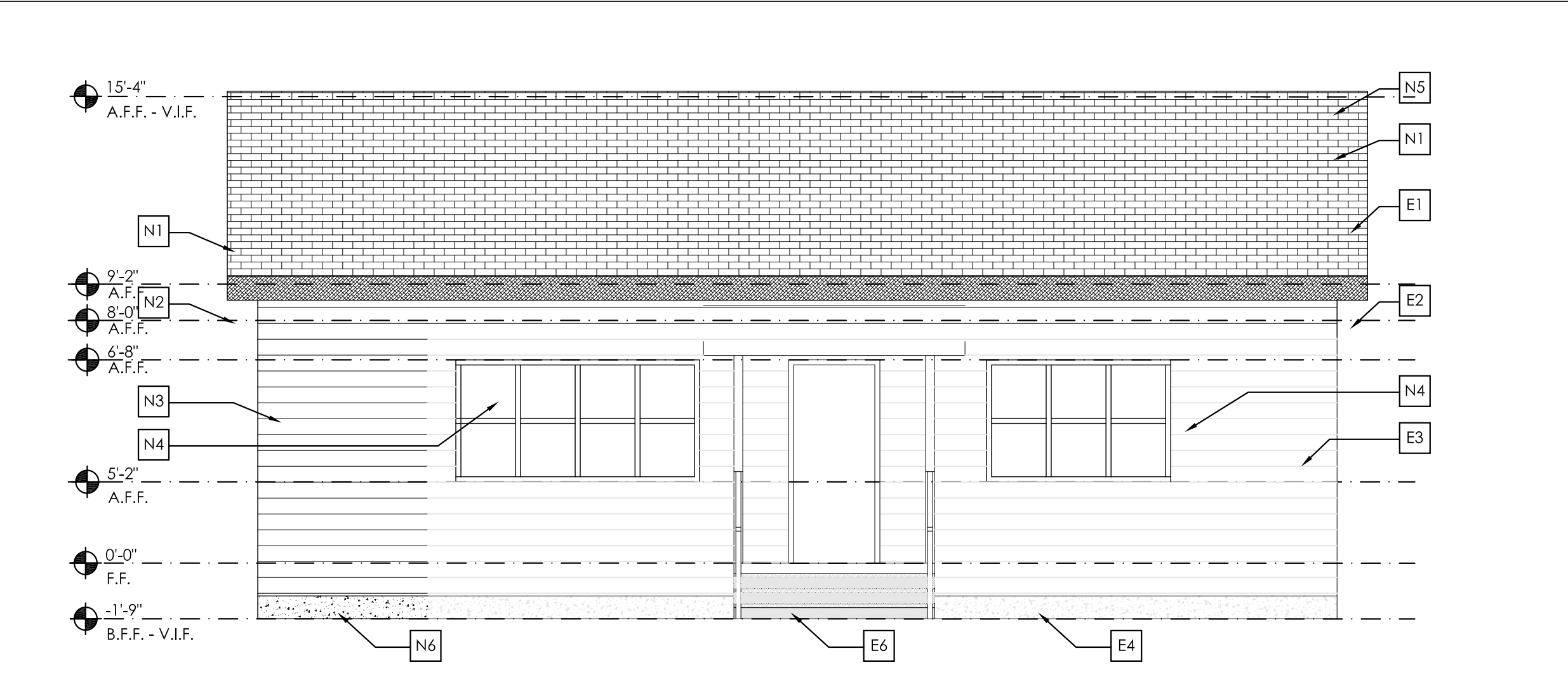
PROPOSED RIGHT ELEVATION 10



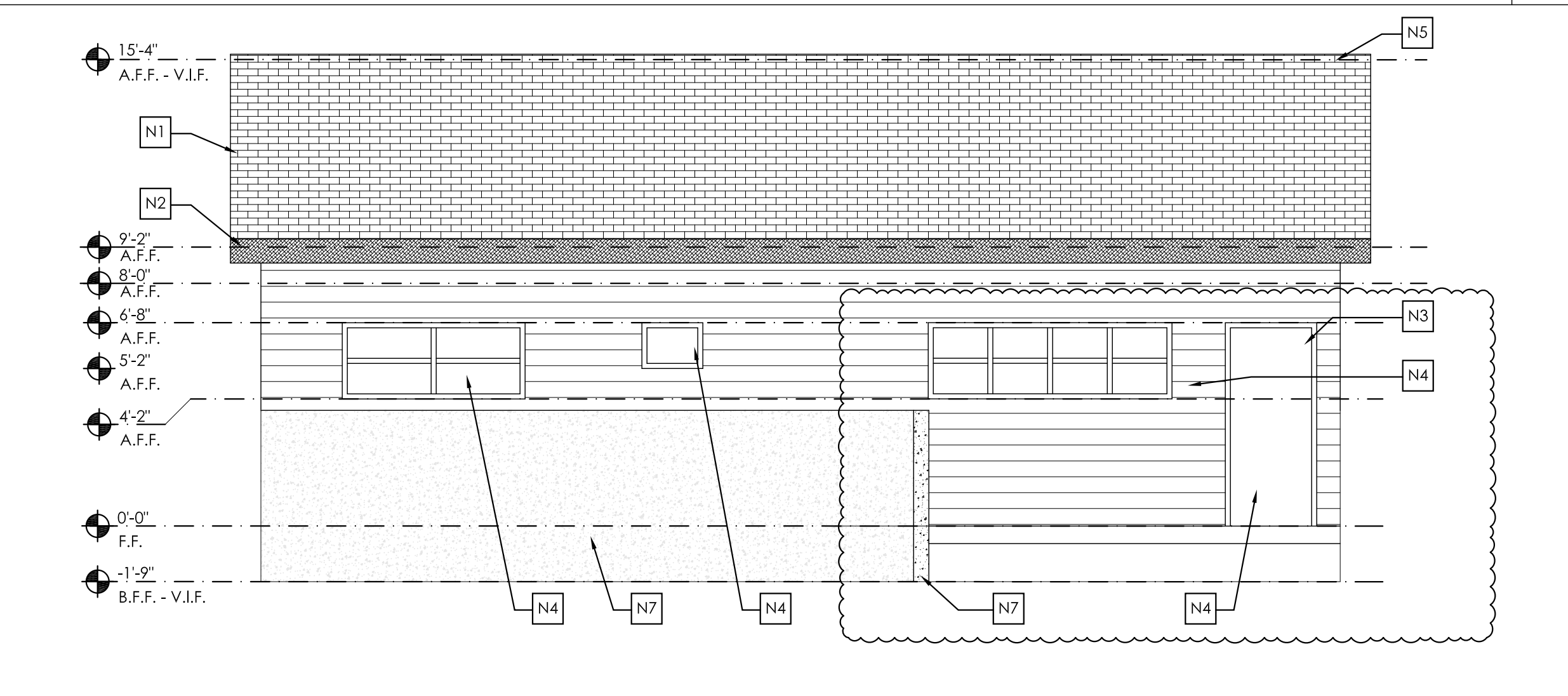
ELEVATION LEFT ELEVATION 11



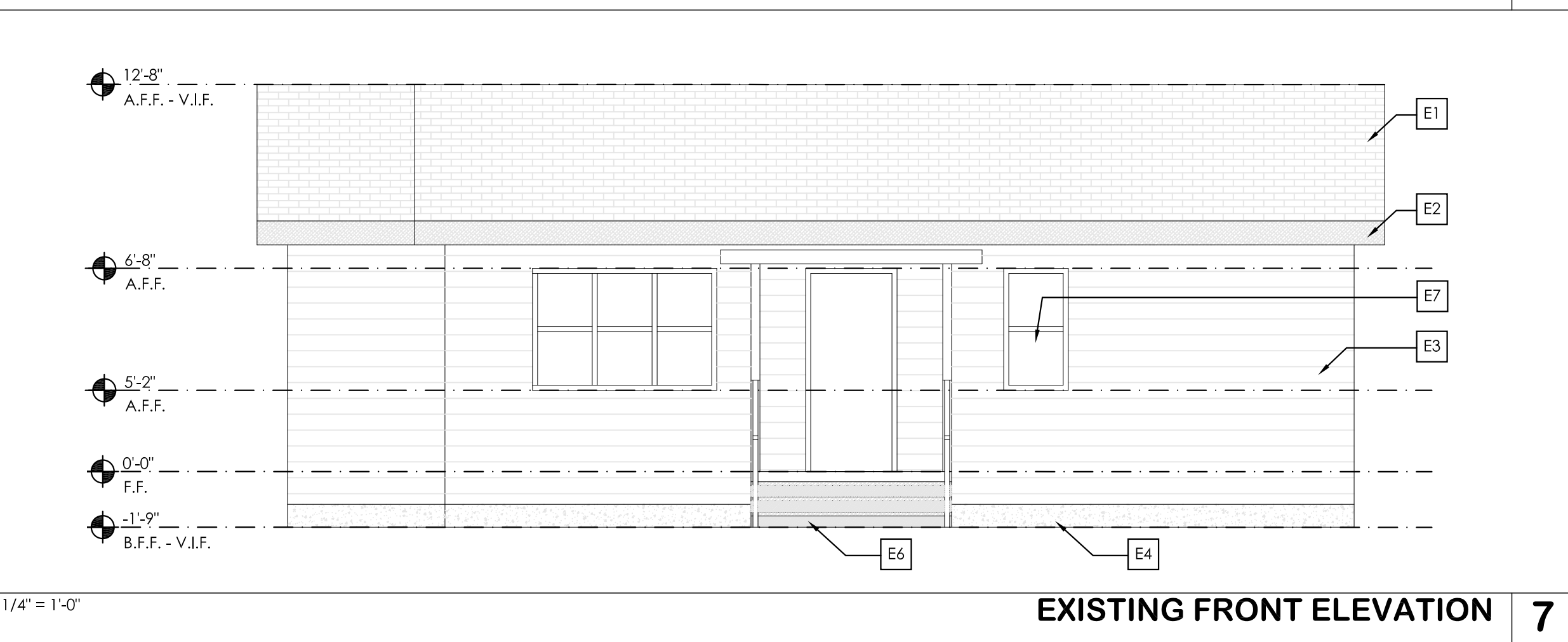
ELEVATION RIGHT ELEVATION 12



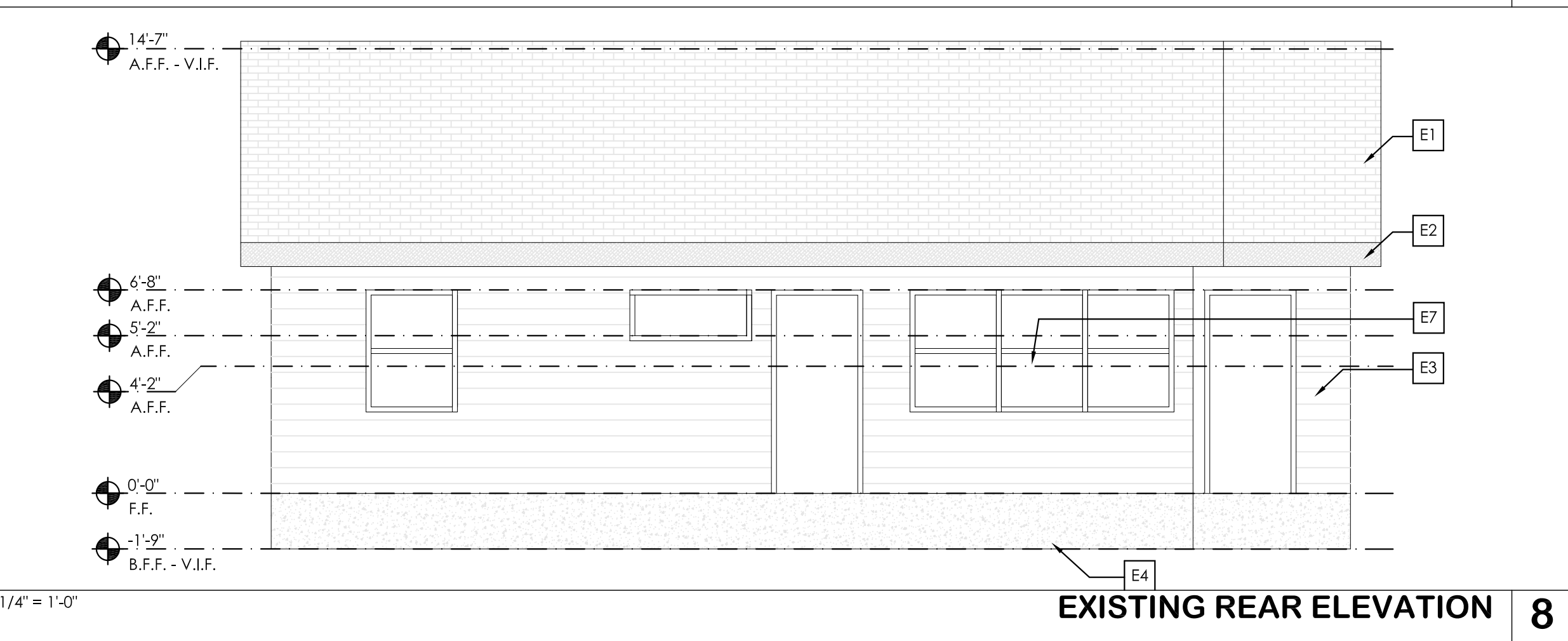
PROPOSED FRONT ELEVATION 5



PROPOSED REAR ELEVATION 6



EXISTING FRONT ELEVATION 7



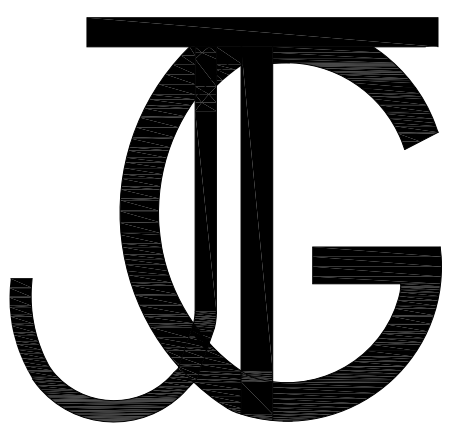
EXISTING REAR ELEVATION 8

KEY NOTES

- E1 (E) ROOF TRUSS WITH (E) ASPHALT SHINGLES TO BE REMOVED
- E2 (E) FACIA BOARD
- E3 (E) EXTERIOR WALL
- E4 (E) CONCRETE FOUNDATION
- E5 (E) RETAINING WALL
- E6 (E) CONCRETE STAIRS
- E7 (E) WINDOW
- N1 (N) FRAMED TRUSS WITH (N) ASPHALT SHINGLES TO MATCH (E)
- N2 (N) FACIA BOARD
- N3 (N) 2X6 EXTERIOR WALL
- N4 (N) EXTERIOR WINDOW OR DOOR
- N5 (N) RIDGE VENT
- N6 (N) CONCRETE FOUNDATION TO MATCH (E)
- N7 (N) CONCRETE RETAINING WALL TO MATCH (E)

GENERAL NOTES

- ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM NEIGHBORS VIEW
- ALL NEW SIDING WILL MATCH EXISTING



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	06.03.22	BUILDING REVISION SUBMITTAL
	06.10.22	BUILDING REVISION SUBMITTAL

APPROVAL STAMP



HOUSE
ELEVATIONS

DATE: 06.16.2022 SCALE: 1/4" = 1'-0"
DRAWN BY: JTG PROJECT NUMBER: 2006-1
PLANNED BY: JTG

TOWN OF LOS GATOS
BUILDING DIVISION

A6.1


[illegible]An aerial photograph from Google Maps showing a residential neighborhood. A specific lot is highlighted with a black cross-hatch pattern. An arrow points from the text "PROJECT SITE" to this highlighted area. The address "607 S. Benton Ave." and phone number "(951) 865-9380" are visible near the highlighted lot. Street names "Huron St" and "Andrew St" are also labeled. A north arrow icon is present in the bottom right corner.

PROJECT SITE

607 S. Benton Ave.
(951) 865-9380

Huron St
Andrew St

Google

	<div><div>PERMIT SAN BENITO RESIDENTIAL 517 SAN BENITO AVE LOS GATOS, CA 95030</div><div>REVISION TO PERMIT NO. 21-0344</div></div>
	<div>DEMOLITION NOTES</div> <div><div><div>1.</div><div>COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.</div></div><div><div>2.</div><div>PROVIDE AN MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.</div></div><div><div>3.</div><div>ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC., TO OTHER PARTS OF THE BUILDING, ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.</div></div><div><div>4.</div><div>IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.</div></div><div><div>5.</div><div>REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.</div></div><div><div>6.</div><div>REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.</div></div><div><div>7.</div><div>REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.</div></div><div><div>8.</div><div>REMOVE EXISTING FLOOR FINISHES AND PREPARE SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.</div></div><div><div>9.</div><div>SCOPE OF DEMOLITION INDICATED IS TO BE IN ITS ENTIRETY UNLESS NOTED OTHERWISE.</div></div></div>
	<div>JUSTIFICATION LETTER</div> <div><div><div><div></div><div>JEAN GREEN ARCHITECTURE</div></div><div><div>Date:</div><div>October 22, 2023</div></div><div><div>To:</div><div>Ryan Saffy Associate Planner Community Development Department 110 E. Main Street East Gatos, CA 95031</div></div><div><div>Re:</div><div>San Benito Residential Addition 517 San Benito Ave Los Gatos, CA 95030 JGA Architecture Job No.: 2006A-1 Permit Number: 821-0944</div></div><div><div>Subject:</div><div>Revision Submittal</div></div></div><div><div>Dear Mr. Ryan Saffy</div><div><p>In evaluating the project, we have removed the existing covered entry and provided a new covered entry which enhance the appearance of the house and fits with the fabric of the neighborhood. Similar to the previously existing covered entry our new covered entry is limited to covering the entry and front stoop while rendering architecturally proportional to the overall design of the home. We have even taken additional steps to reduce our encroachment into the front set back as we work with the Planning Department's rules and regulations.</p><p>Many homes on the block have a non-conforming setback especially the two other homes (#13 and #15) that are built in the same style and time period. These two homes have similar setbacks as the subject property. The property directly adjacent to the subject property (#13) has a setback of 19'-0". Property #13 has a setback of 20' for the main house and the front porch has a setback of 13'-6". In this series, our new covered entry maintains a similar appearance and setback as other comparable homes on the block.</p><p>With that being said as you move further down the block there are an additional two homes that have built into the required setback. Property #55 has a large bay window projection that has a setback of 24'-4" and property #30 has a portion of the home that has a setback of 21'-3".</p><p>We are sincerely working with the neighborhood to provide an enhancement to the overall appearance of this home and use the precedents that have been set by the neighborhood. While code requirements have listed the setback as 25' you can clearly see that 5 of the 7 homes including our project site #17) have non-conforming setbacks.</p><p>In closing I would like to mention that we have consulted with several of the neighbors who have verbally expressed being in favor of our improvements and we look to seek your support as well.</p></div></div></div>
	<div>Sincerely,</div> <div><div>John Gutenecht Architect JGA Architecture 1 612-681 2293 E John@JGAArchitecture.com</div><div>JGA Architecture 1 612-681 2293 E John@JGAArchitecture.com www.JGAArchitecture.com</div></div>

T FOR: ENITO ENCE BENITO S, CA 95030 ERMIT B21-0944	
PROJECT DATA	
APN	410-018-018
LOT SIZE.....	5,750 SF (0.13 ACRES)
AVERAGE LOT SLOPE.....	17.38 %
SPRINKLER.....	NO
NO. OF STORIES.....	1
TYPE OF CONSTRUCTION.....	TYPE V-B
TYPE OF OCCUPANCY.....	R
EXISTING HOUSE AREA.....	1,186 SF
EXISTING HOUSE & COVERED PORCH LOT COVERAGE	1,245 SF
EXISTING HOUSE & NEW COVERED PORT LOT COVERAGE	1,323 SF
1,323EPROJECT AREA.....	137 SF
MAX FAR FOR HOUSE (17% SITE SLOPE).....	1,563 SF
EXISTING ADU.....	459 SF
MAX FAR FOR ADU.....	800 SF
CODES USED	2019 CALIFORNIA RESIDENTIAL BUILDING CODE
SCOPE OF WORK	
• APPROVAL OF PREVIOUSLY BUILT FRONT COVERED ENTRY	
CONSULTANTS	
CLIENT	ARCHITECT
CONTACT: MATT ZAHERI 4100 STEVENS CREEK BLVD SAN JOSE, CA. 95129	JTG ARCHITECTURE CONTACT: JOHN GUTKNECHT 101 LOMBARD STREET UNIT 802W SAN FRANCISCO, CA 94111 T 612.481.2293 E JOHN@JTGARCHITECTURE.COM
CONTRACTOR	STRUCTURAL
ASE CONSULTING ENGINEERING CONTACT: MASOUD MODJTEHEDI T: 408.499.1551 E: MASOUDMOD@GMAIL.COM	UNIVERSAL STRUCTURAL ENGINEERING KEVIN O'KEEFE 1660 S. AMPHLETT BLVD. STE. 335 SAN MATEO, CA 94402 T 650.655.4633 E KTOKEEFE@UNIVERSALSTRUCTRALENGINEERS.COM
DRAWING INDEX	
ARCHITECTURAL	STRUCTURAL
A0.1 COVER SHEET	S0.1 GENERAL NOTES
A1.1 NEIGHBORHOOD PLAN	S1.0 FOUNDATION & FLOOR PLAN
A2.1 DEMO & NEW FLOOR PLAN	S3.0 ROOF PLAN
A5.1 HOUSE SECTIONS	S4.1 FRAMING DETAILS
	S5.0 FOUNDATION DETAILS
	S7.0 ROOF DETAILS

JTG ARCHITECTURE

PHONE: 612.481.2293
EMAIL: JOHN@JTGARCHITECTURE.COM

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SAN BENITO RESIDENCE

ADDITION

517 SAN BENITO
LOS GATOS, CA 95030

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	01.18.21	PRE-BUILDING SUBMITTAL
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	10.19.23	PLANNING REVISION SUBMITTAL
	11.02.23	PLANNING REVISION SUBMITTAL

APPROVAL STAMP

S-23-024 | B21-0944

LICENSED ARCHITECT
JOHN T. GUTKNECHT
C-37215
EXP. 11.30.23
STATE OF CALIFORNIA

COVER SHEET

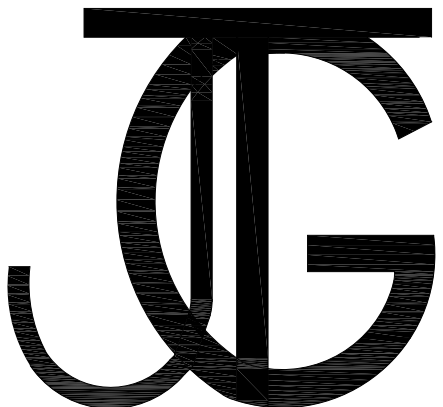
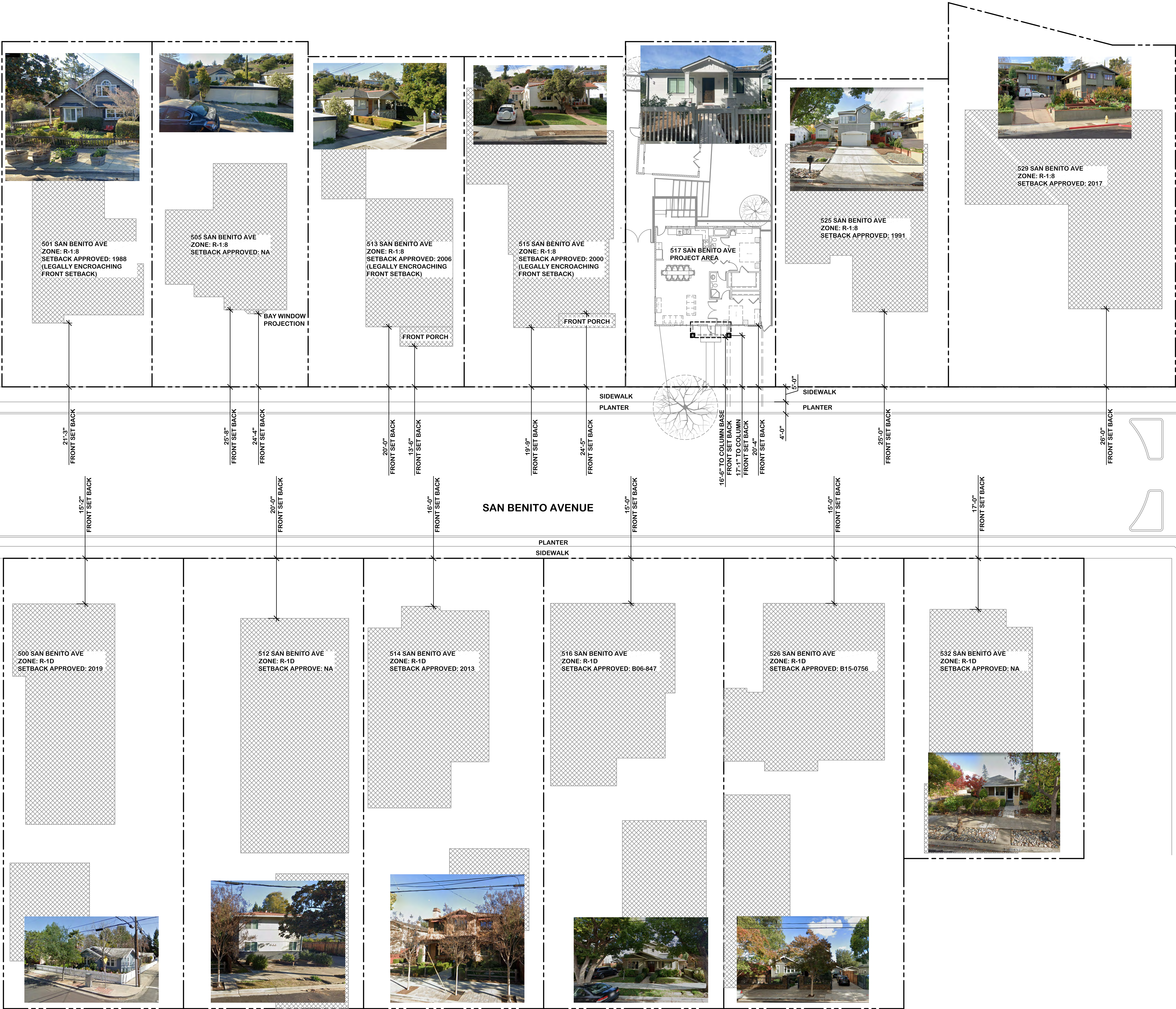
DRAWN BY JTG

DATE 09.18.20

PROJECT NUMBER 2006-1

SCALE

A0.1



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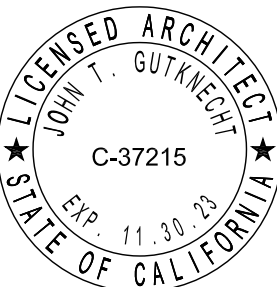
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VICINITY MAP

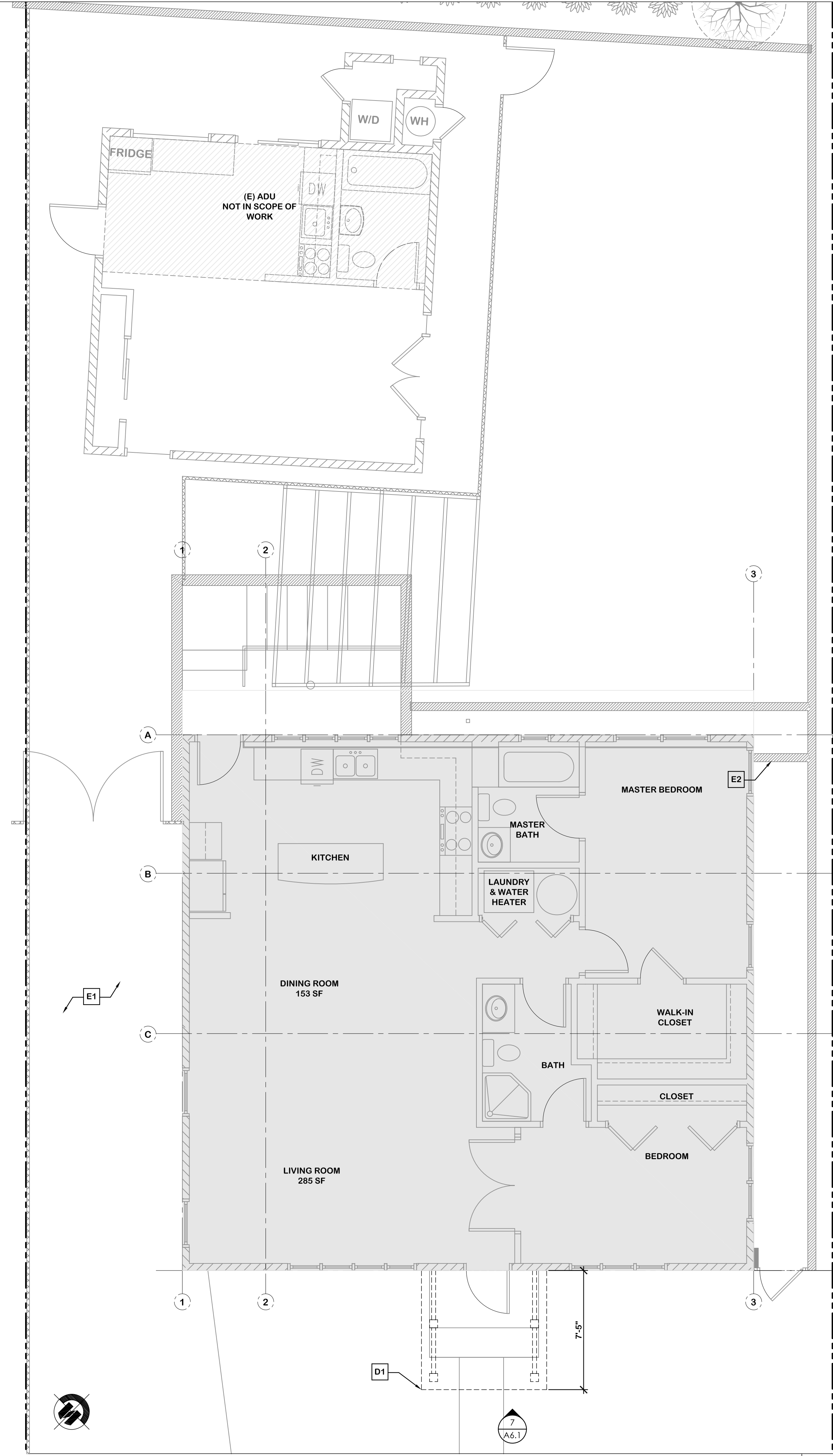


NEIGHBORHOOD PLAN

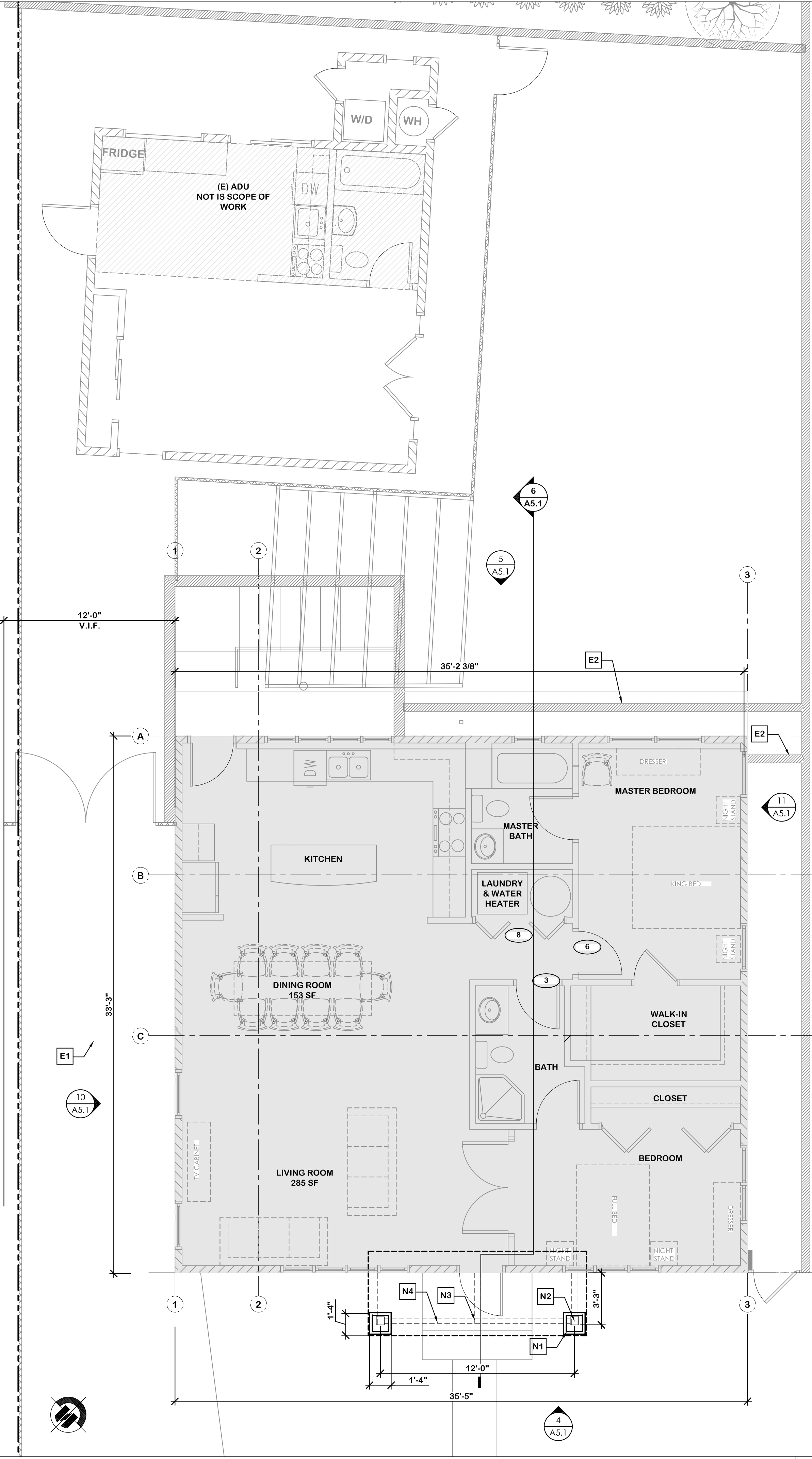
DATE
09.18.20
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JTG

SCALE
1/8" = 1'-0"
PROJECT NUMBER
2006-1

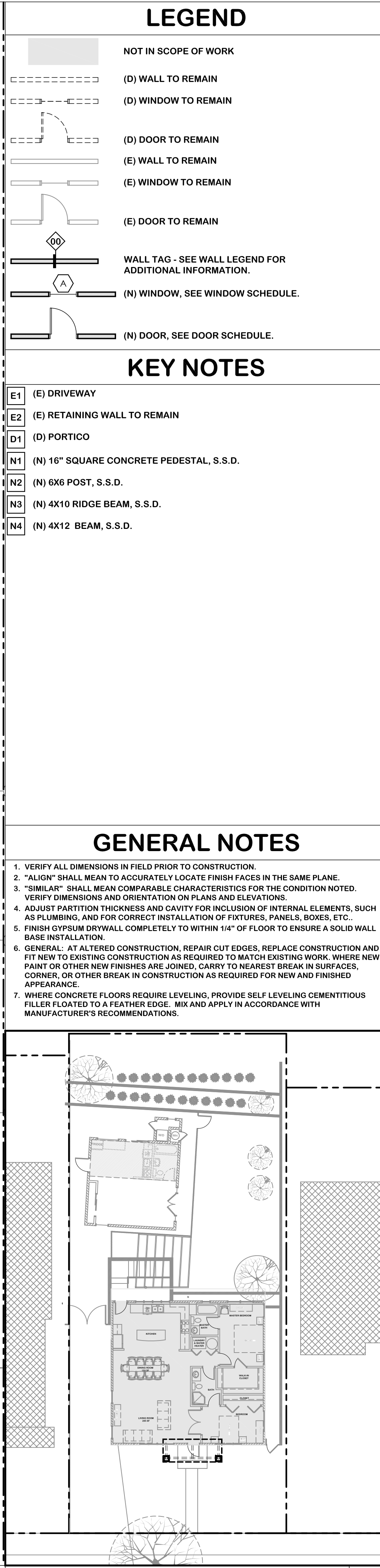
A1.1



DEMO FLOOR PLAN 12



NEW FLOOR PLAN 6



LEGEND

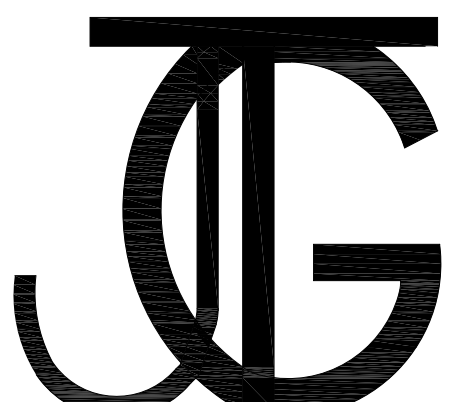
- NOT IN SCOPE OF WORK
- (D) WALL TO REMAIN
- (D) WINDOW TO REMAIN
- (D) DOOR TO REMAIN
- (E) WALL TO REMAIN
- (E) WINDOW TO REMAIN
- (E) DOOR TO REMAIN
- WALL TAG - SEE WALL LEGEND FOR ADDITIONAL INFORMATION.
- (N) WINDOW, SEE WINDOW SCHEDULE.
- (N) DOOR, SEE DOOR SCHEDULE.

KEY NOTES

- E1 (E) DRIVEWAY
- E2 (E) RETAINING WALL TO REMAIN
- D1 (D) PORTICO
- N1 (N) 16" SQUARE CONCRETE PEDESTAL, S.S.D.
- N2 (N) 6X6 POST, S.S.D.
- N3 (N) 4X10 RIDGE BEAM, S.S.D.
- N4 (N) 4X12 BEAM, S.S.D.

GENERAL NOTES

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2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC.
5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
6. GENERAL: AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



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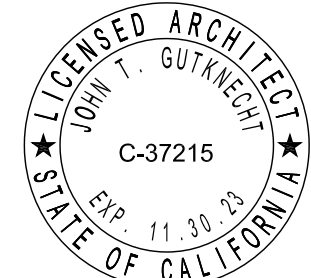
SAN BENITO RESIDENCE

ADDITION
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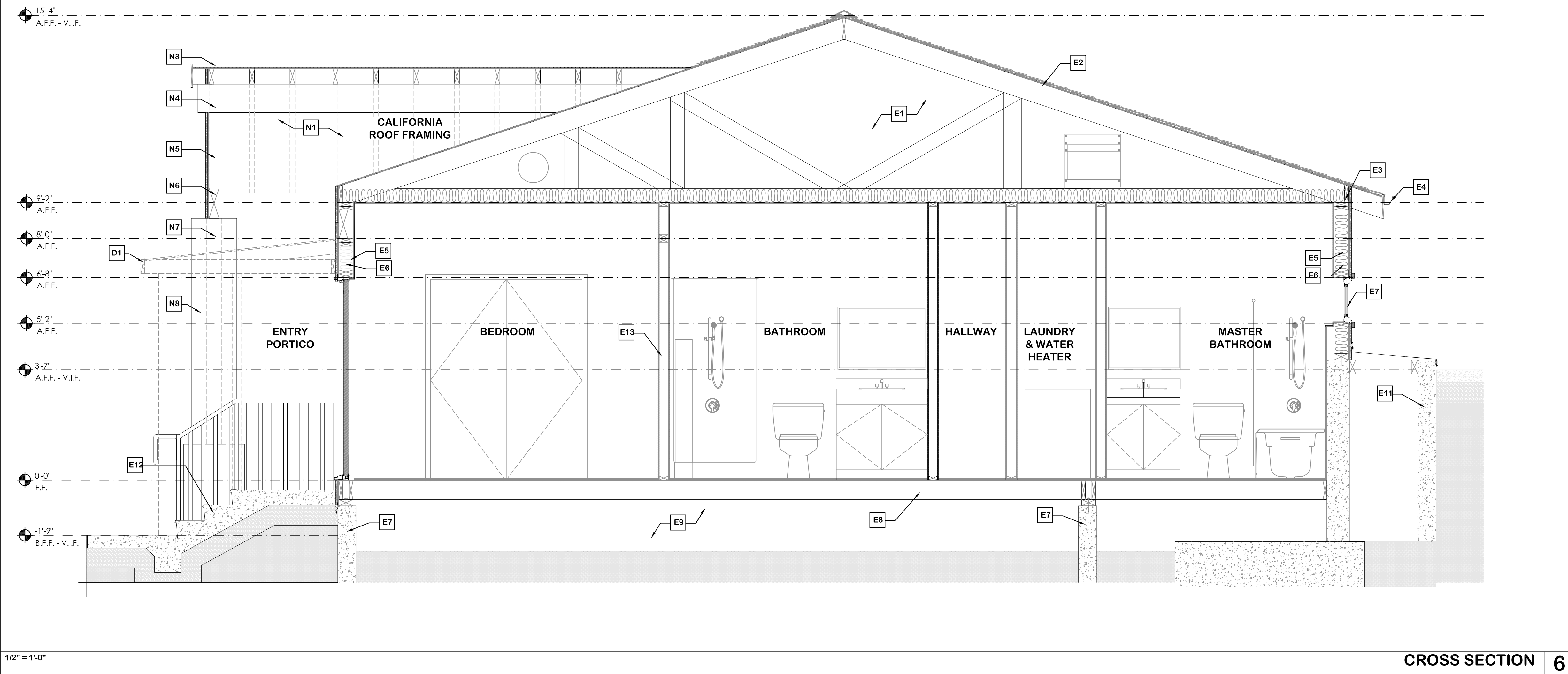
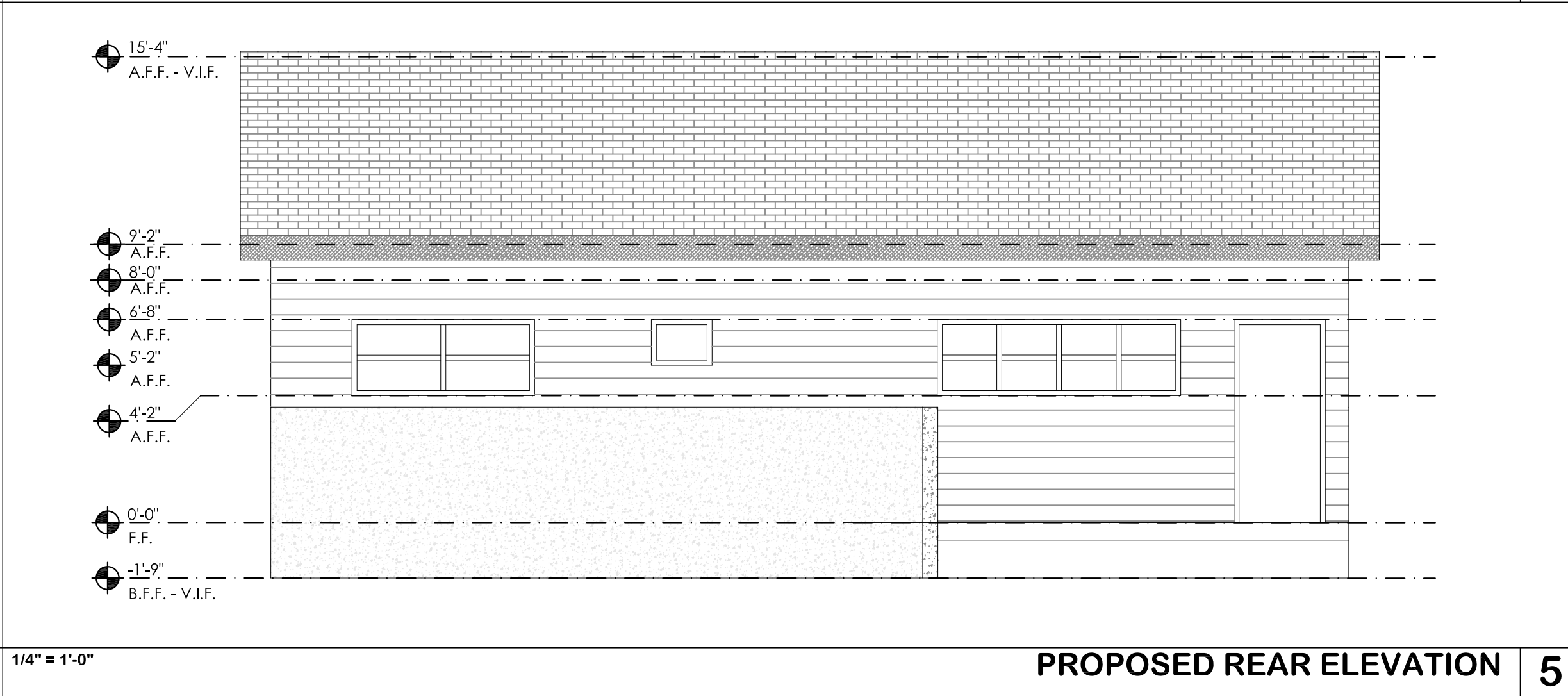
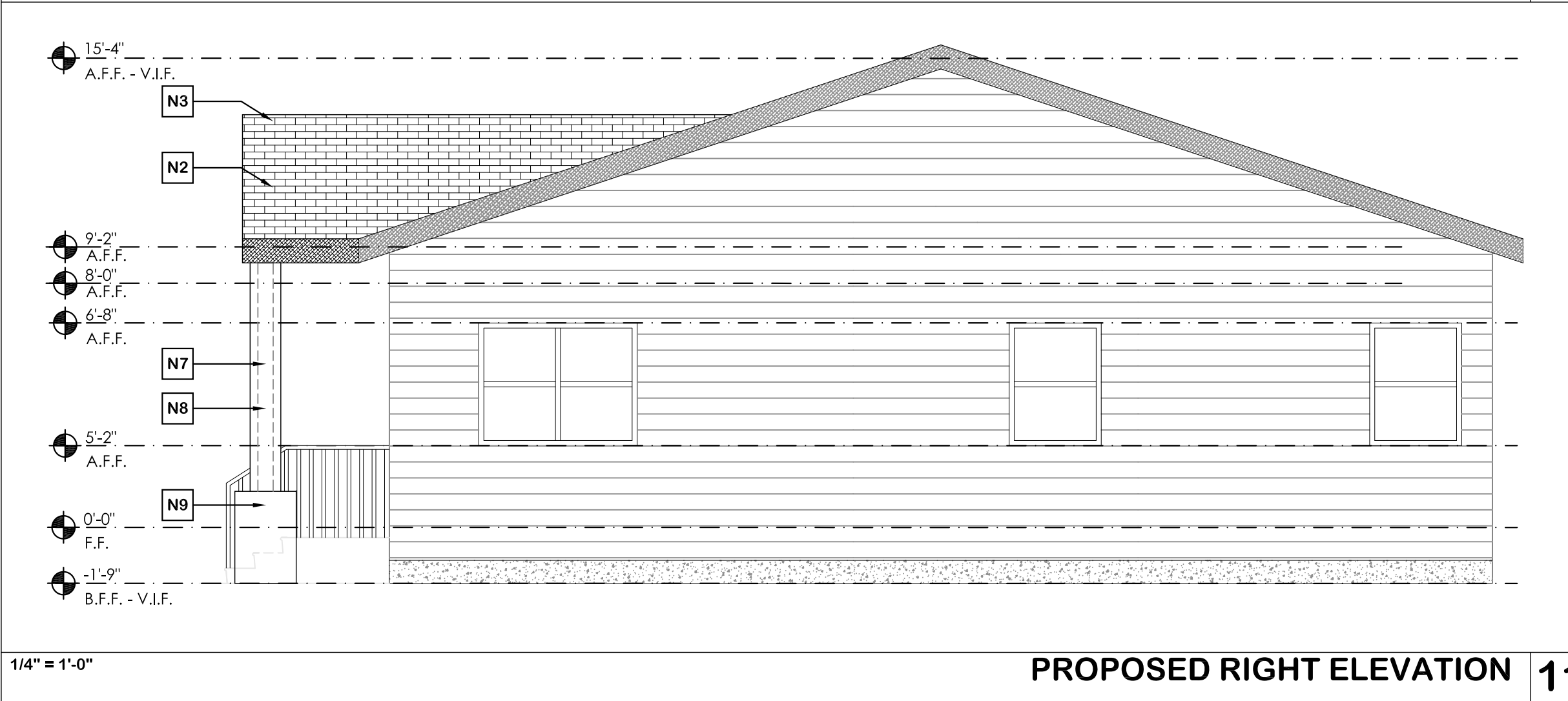
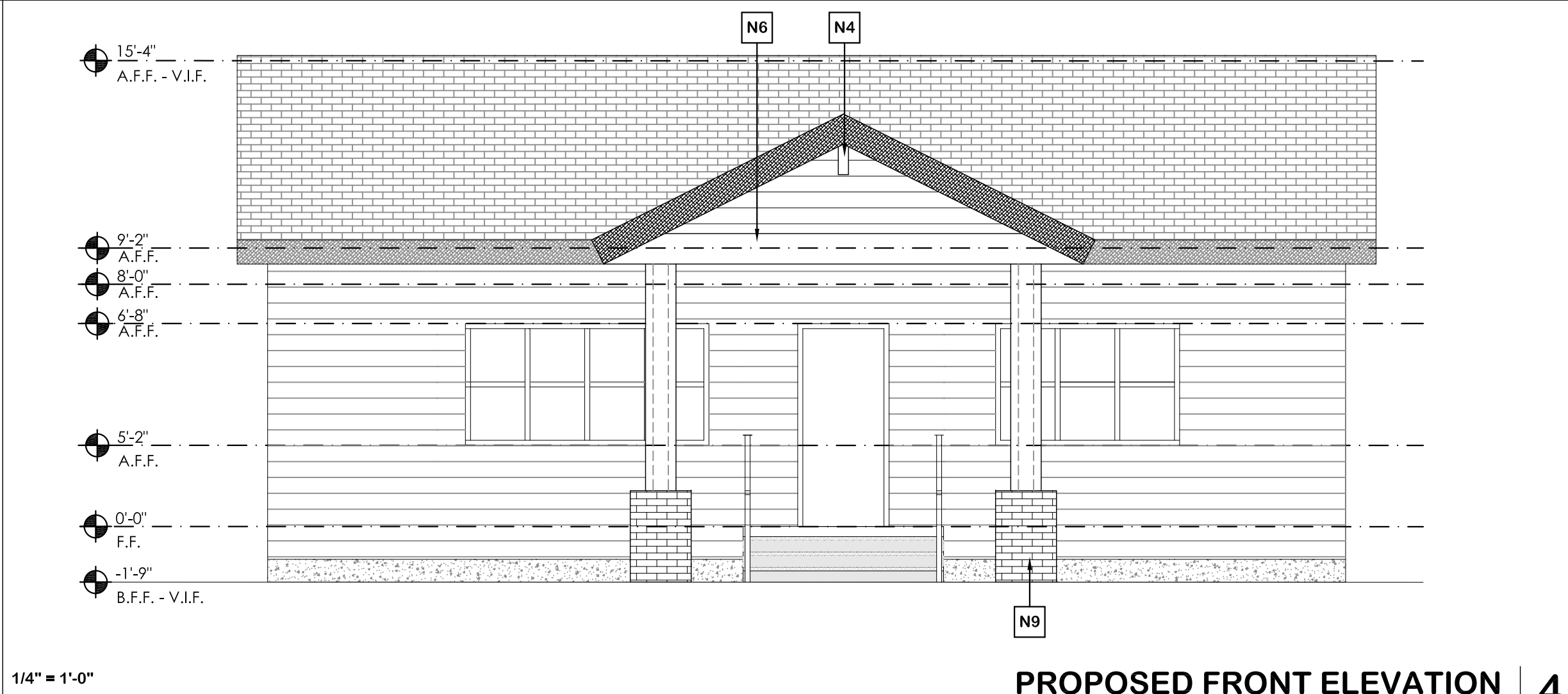
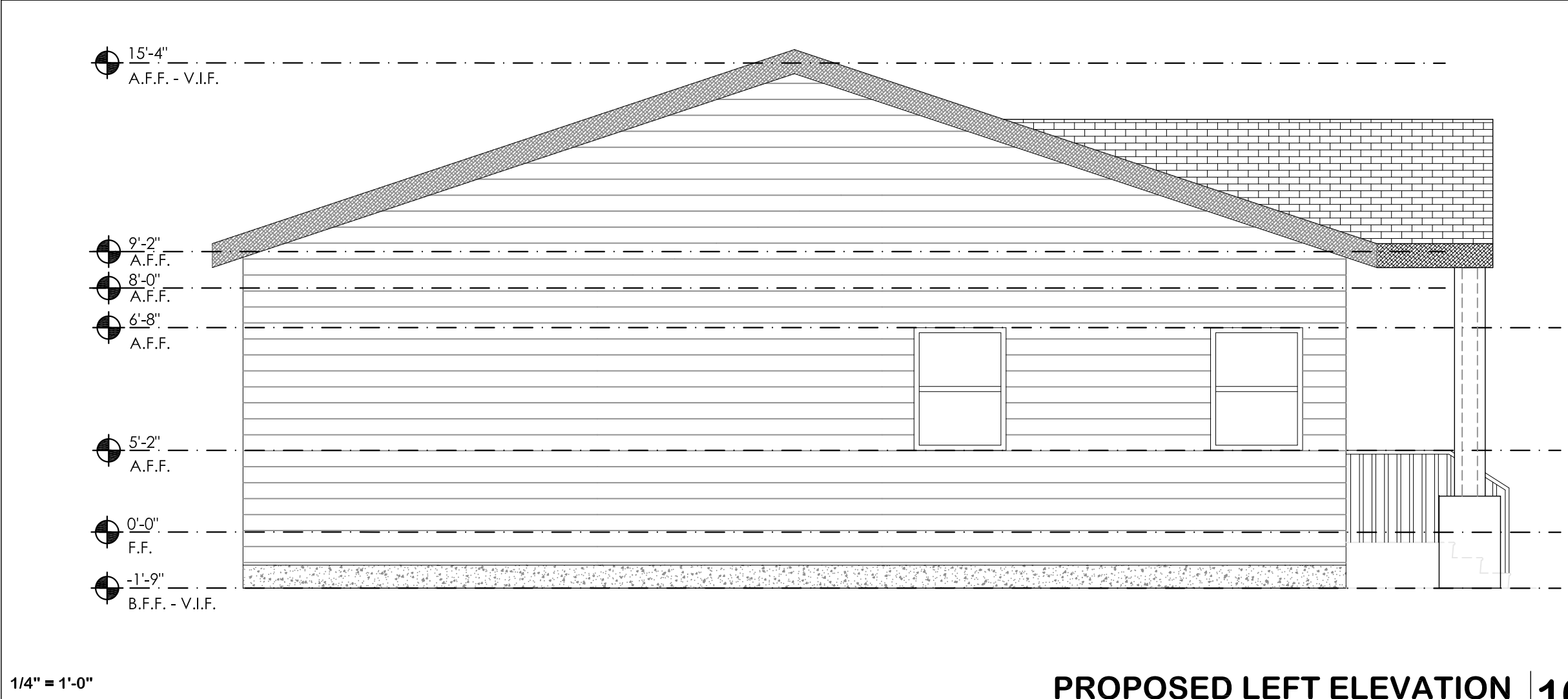
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DEMO & NEW FLOOR PLANS

DATE 09.18.20 SCALE
DRAWN BY JTG PROJECT NUMBER 2006-1

A2.1



KEY NOTES

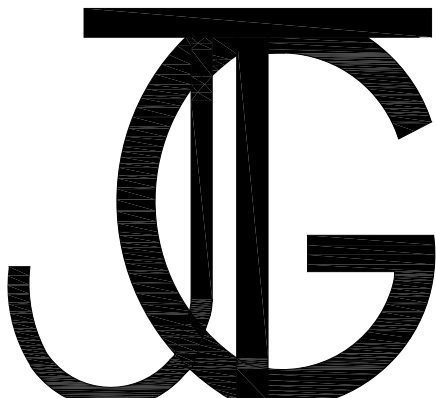
- [D1] (E) POST AND ENTRY PORTICO TO BE RECONFIGURED
- [E1] (E) ROOF TRUSS
- [E2] (E) ASPHALT SHINGLES
- [E3] (E) EAVE VENTILATION
- [E4] (E) GUTTER
- [E5] (E) EXTERIOR WALL
- [E6] (E) BATT INSULATION
- [E7] (E) CONCRETE FOUNDATION
- [E8] (E) FLOOR JOIST
- [E9] (E) 18" MIN CRAWL SPACE
- [E10] (E) HVAC DUCT, V.I.F.
- [E11] (E) RETAINING WALL
- [E12] (E) CONCRETE STAIRS
- [E13] (E) INTERIOR WALL
- [N1] (N) ROOF TRUSS
- [N2] (N) ASPHALT SHINGLES TO MATCH (E)
- [N3] (N) RIDGE CAP
- [N4] (N)4X10 RIDGE BEAM, S.S.D.
- [N5] (N) 4X4 POST, S.S.D.
- [N6] (N) 4X12 HEADER,S.S.D.
- [N7] (N) 6X6 POST, S.S.D.
- [N8] (N) FAUX COLUMN WRAP
- [N9] (N) STONE COLUMN BASE

FRONT PHOTO



GENERAL NOTES

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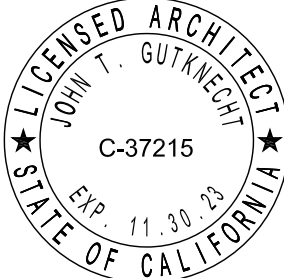
SAN BENITO RESIDENCE

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517 SAN BENITO
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HOUSE SECTIONS

DATE 09.18.20 SCALE 1/4" = 1'-0"
DRAWN BY JTG PROJECT NUMBER 2006-1

A5.1

GENERAL NOTES

1. GENERAL

1.1. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.

1.2. ALL CODE OR STANDARDS REFERENCES SHALL BE CONSIDERED TO BE THE MOST RECENT EDITION OF THE CODE OR STANDARD.

1.3. THE DESIGN WAS PERFORMED IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE AND LOCAL JURISDICTION BUILDING CODES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL LOCAL JURISDICTION AND STATE BUILDING CODES IN EFFECT AT THE SITE OF THE BUILDING.

1.4. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, TECHNIQUES, PROCEDURES, METHODS, SEQUENCES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK. NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE TO COMPLETE THE WORK AS SPECIFIED BY THE CONTRACT DOCUMENTS.

1.5. BELOW ARE THE DESIGN LOADS AND PARAMETERS THAT WERE USED IN THE DESIGN OF THE STRUCTURE:

SEISMIC DESIGN PARAMETERS

DESIGN CATEGORY	I	R	Cd	Ω ₀	SOIL CLASS	SD _s
D	1.0	6.5	4	2.5	DEFAULT	2.039

GRAVITY LOADING

LL (PSF)

ROOF	20
FLOOR	40

1.6. ALL MEMBERS AND CONNECTIONS FOR THE PROJECT, WHICH MAY NOT BE SHOWN OR SHOWN FULLY, SHALL BE CONSTRUCTED IN A MANNER SIMILAR TO THAT USED FOR SIMILAR MEMBERS AND CONNECTIONS.

1.7. THE EXISTING MEMBERS, CONNECTIONS AND CONDITIONS SHOWN ON THESE DRAWINGS HAS BEEN DETERMINED BY SOME MINOR FIELD VERIFICATION AND ANY AVAILABLE "RECORD" DRAWINGS MADE AVAILABLE TO THE ENGINEER. THE ENGINEER HAS MADE A GOOD FAITH EFFORT TO DETERMINE THE EXISTING CONSTRUCTION INFORMATION AND TECHNIQUES BUT SHALL NOT BE HELD ACCOUNTABLE FOR THE COMPLETE ACCURACY OF THE EXISTING CONDITIONS SHOWN ON THE PLANS AND DETAILS. THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE ALLOWANCES AND PROVISIONS IN PRICING AND TIME FRAME FOR ANY FIELD ADJUSTMENTS THAT MAY BE REQUIRED, PRIOR TO THE START OF WORK, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND DETERMINE THE EXISTING CONSTRUCTION AND TECHINCS FOR THEMSELVES AND BRING TO THE ATTENTION OF THE ENGINEERS ANY DISCREPANCIES.

1.8. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND SUBCONTRACTOR PRIOR TO THE START OF WORK. ALL DIMENSIONS SHALL BE COORDINATED WITH THE STRUCTURAL AND ARCHITECTURAL DRAWINGS AS WELL AS ALL OTHER DRAWINGS AND SPECIFICATIONS. REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE ENGINEER'S FABRICATION OF MEMBERS AND CONNECTIONS SHALL NOT START UNTIL ALL DISCREPANCIES ARE RESOLVED.

1.9. CONDUCT ALL WORK IN A MANNER WHICH MINIMIZES THE DAMAGE TO THE EXISTING STRUCTURE AND FINISHES.

1.10. (E) INDICATES EXISTING CONSTRUCTION.

1.11. THE STRUCTURAL SYSTEMS HAVE BEEN DESIGNED TO RESIST THE SUPERIMPOSED LIVE LOADS REQUIRED BY THE BUILDING CODE AND FOR ADDITIONAL LOADING DETERMINED BY STANDARD ENGINEERING PRACTICES. NO SPECIAL LOADING CONDITIONS HAVE BEEN CONSIDERED FOR RESISTING CONCENTRATED LOADS FROM STORAGE AND HANDLING OF CONSTRUCTION MATERIALS OR FROM OPERATION OF CONSTRUCTION EQUIPMENT. ALL SCAFFOLDING, BRACING AND SHORING SYSTEMS REQUIRED FOR INSTALLATION, STABILITY, AND SAFETY OF NEW WORK AND PROTECTION REQUIRED FOR THE SAFETY OF PEDESTRIANS AND JOBSITE PERSONNEL SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR IS, AT ALL TIMES, SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE REPRESENTING THE SAFETY OF PERSONS AND PROPERTY. ALL NEW AND EXISTING CONSTRUCTION AND MATERIALS SHALL BE PROTECTED BY THE CONTRACTOR FROM ADVERSE CONDITIONS AND DAMAGE.

1.12. IN ANY CONDITION WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, WHERE THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITION, OR THERE APPEARS TO BE TYPOGRAPHICAL ERRORS IN THE SPECIFICATIONS, NOTIFY THE ENGINEER FOR INSTRUCTIONS ON HOW TO PROCEED. IN THE CASE WHERE THE CONTRACTOR PROCEEDS WITH THE WORK IN QUESTION WITHOUT DIRECTION FROM THE ENGINEER, THE CONTRACTOR OR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY INCORRECT CONSTRUCTION.

1.13. IF TWO OR MORE DETAILS APPLYING TO THE SAME PART OF THE WORK ARE IN CONFLICT, THE MOST RESTRICTIVE CONDITION SHALL APPLY UNLESS CLARIFIED OR OTHERWISE APPROVED BY THE ENGINEER.

1.14. THE CONDITIONS AFFECTING THE WORK SHALL BE CAREFULLY EXAMINED BY THE CONTRACTOR AND EACH SUBCONTRACTOR BEFORE PROCEEDING AND SHALL REPORT TO THE ENGINEER ANY CONDITION WHICH PREVENTS THE PROPER COMPLETION OF THE WORK. FAILURE TO REPORT ANY SUCH UNSUITABLE CONDITION WILL CONSTITUTE ACCEPTANCE OF ALL CONDITIONS BY THE CONTRACTOR OR SUBCONTRACTORS.

1.15. SPECIAL INSPECTION SHALL BE PROVIDED BY THE OWNER OF THE STRUCTURE AS REQUIRED BY SECTION 1701 OF THE 2019 CALIFORNIA BUILDING CODE FOR EACH OF THE ITEMS LISTED BELOW:

1.15.1. PLACEMENT OF REINFORCING STEEL IN CONCRETE.

1.15.2. TAKING OF TEST SPECIMENS AND PLACING OF CONCRETE.

1.15.3. PLACEMENT AND SIZE OF BOLTS IN CONCRETE.

1.15.4. EPOXY OR EXPANSION BOLTS/REBAR/THEADED RODS IN CONCRETE.

1.16. SPECIAL INSPECTION AGENCY AND ALL SPECIAL INSPECTORS SHALL BE RECOGNIZED AND APPROVED BY THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT.

1.17. SPECIAL INSPECTION FORMS SHALL BE OBTAINED FROM THE BUILDING OFFICIAL HAVING JURISDICTION, COMPLETED, AND SIGNED BY THE GENERAL CONTRACTOR, ENGINEER, OWNER AND SPECIAL INSPECTION AGENCY AND SUBMITTED PRIOR TO PERMIT ISSUE.

2. FOUNDATIONS

2.1. EXCAVATIONS CAST WITHOUT FORMING IN EARTH TRENCHES SHALL BE COMPLETED AS STRAIGHT, CLEAN AND DEEP AS POSSIBLE TO THE REQUIRED SIZE AND SHAPE OF THE FOOTINGS. ALL EXCAVATIONS SHALL BE BACKFILLED WITH CONCRETE OR COMPACTED SOIL/GRAVEL. IF FOUNDATION CONCRETE IS NOT POURED DIRECTLY AGAINST UNDISTURBED SOIL DUE TO FORM WORK, THE VOIDS CREATED FROM THE FORM WORK SHALL BE BACKFILLED WITH CONCRETE OR SOIL/GRAVEL MATERIAL COMPACTED TO AT LEAST 90% OF ITS RELATIVE COMPACTION.

2.2. NO GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT. USE ALLOWABLE SOIL BEARING VALUES PER TABLE 1806.2 OF THE 2019 CALIFORNIA BUILDING CODE.

2.3. ALLOWABLE SOIL PRESSURES:

1500 LBS/SQ. FT. FOR DEAD LOADS.

1500 LBS/SQ. FT. FOR COMBINED DEAD AND LIVE LOADS

2000 LBS/SQ. FT. FOR COMBINED DEAD, LIVE AND SEISMIC LOADS

3. CONCRETE

3.1. CONCRETE MATERIALS:

3.1.1. CEMENT: ASTM C 150 TYPE II, THROUGHOUT THE PROJECT CEMENT OF THE SAME BRAND, TYPE AND SOURCE SHALL BE USED. USE LOW ALKALI CEMENT IN ANY CASE WHERE THE AGGREGATES ARE POTENTIALLY REACTIVE.

3.1.2. AGGREGATES: ASTM C 33 AND C 88. THE AGGREGATES USED SHALL BE CONSTANT AND FROM A SOURCE WITH A PROVEN HISTORY OF SUCCESSFUL USE. IF THE SOURCE IS NOT CONSTANT, 10 DAYS PRIOR NOTICE IS REQUIRED FOR APPROVAL OF NEW SOURCE AFTER RECHECK OF MIX DESIGN.

3.1.2.1. FINE AGGREGATE SHALL BE SAND FROM SOURCES APPROVED BY THE STRUCTURAL ENGINEER.

3.1.2.2. COARSE AGGREGATE SHALL BE COARSE LIMESTONE OR GRANITE AGGREGATE, FROM SOURCES APPROVED BY STRUCTURAL ENGINEER.

3.1.3. CONCRETE MIXES SHALL CONFORM TO ALL APPLICABLE CALIFORNIA BUILDING CODE AND ACI 318 REQUIREMENTS REGARDLESS OF OTHER MINIMUM REQUIREMENTS SPECIFIED HEREIN OR ON THE DRAWINGS. THE CONCRETE DESIGN MIX MUST BE COMPLETED BY A TESTING LABORATORY THAT IS APPROVED BY THE ENGINEER AND THE GOVERNING AGENCY BEFORE USE. ALL MIX DESIGNS MUST SUBMITTED TO AND APPROVED BY THE ENGINEER. THE PROPORTION OF CEMENT, AGGREGATES (FINE AND COARSE), WATER, AND GRADATION OF COMBINED AGGREGATES SHALL BE SHOWN IN THE DESIGN.

3.1.4. THE CONCRETE MIX DESIGN SHALL AT MINIMUM MEET THE REQUIREMENTS AS INDICATED BELOW. THE CEMENT CONTENT MAY BE INCREASED BEYOND THE SPECIFIED AMOUNT IF REQUIRED TO ACHIEVE THE NECESSARY COMPRESSIVE STRENGTH IN A GIVEN TIME FRAME.

4. CONCRETE MIXES

MIX NO.

LOCATION

28 DAY COMPRESSIVE STRENGTH

MIN. CEMENT CONTENT (SACKS)

SLUMP RANGE

MAX. AGGREGATE SIZE

1	FOUNDATIONS	3000 psi*	5	3"-4"	1"
2	CAST-IN-PLACE & MISC.	3000 psi*	5¾	3"-4½"	1"

* EVEN THOUGH A STRENGTH OF 3000 PSI IS SPECIFIED, THE CONCRETE HAS BEEN DESIGNED FOR A 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR THE CONCRETE, BOLTS IN CONCRETE, OR THE REINFORCEMENT PLACEMENT.

5. REINFORCING BARS SHALL BE INTERMEDIATE GRADE ASTM A615, GRADE 60, TYPICAL, UNLESS OTHERWISE NOTED. REINFORCING BARS THAT ARE TO BE WELDED SHALL BE ASTM A706, GRADE 60. ALL WELDING OF REINFORCING BARS TO BE INSPECTED PER SECTION 1705.3.1 OF THE 2016 CALIFORNIA BUILDING CODE.

6. WELDED WIRE FABRIC REINFORCING TO BE ASTM A185 GRADE 65 WITH A MINIMUM LAP OF AT LEAST TWO CROSS WIRES.

7. PROVIDE CONCRETE COVER PROTECTION FOR REINFORCEMENT PER THE FOLLOWING:

SURFACE

CONCRETE COVER

3.4.1. SURFACES POURED AGAINST EARTH

3.4.2. FORMED SURFACES EXPOSED TO EARTH OR WEATHER:

3.4.2.1. NO. 6 TO NO. 18 BARS

3.4.2.2. NO. 5 BARS, W31 OR D31 WIRE AND SMALLER

3.4.3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND:

3.4.3.1. SURFACES OF SLABS, WALLS, AND JOISTS

3.4.3.1.1. NO. 14 AND NO. 18 BARS

3.4.3.1.2. NO. 11 BAR AND SMALLER

3.4.3.2. BEAMS, COLUMNS:

3.4.3.2.1. PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS

8. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A ¾" CHAMFER, UNLESS OTHERWISE SHOWN.

9. PRIOR TO POURING CONCRETE, RIGIDLY SECURE ALL REINFORCING, ANCHOR BOLTS, INSERTS, ETC.

10. HORIZONTAL REINFORCING SHALL BE SUPPORTED ON GALVANIZED CHAIRS (EXCEPT AT FOOTINGS OR SLABS-ON-GRADE MORTAR BLOCKS OR OTHER APPROVED METHOD OF SUPPORT MAY BE USED), TILT-UP PANEL BRACING INSERTS, LIFT INSERTS, AND CHAIRS SHALL BE GALVANIZED WITH PLASTIC TIPS.

11. HOOKS SHALL BE STANDARD HOOKS PER ACI 318 UNLESS OTHERWISE NOTED.

12. LAP CONTACT SPICES, HOOK EMBEDMENT, AND DEVELOPMENT LENGTHS SHALL BE PER ACI 318 UNLESS OTHERWISE NOTED. LAP SPLICES SHALL BE STAGGERED WHERE POSSIBLE.

13. ALL REINFORCEMENT IS TO BE COLD BENT. HEATING OF REINFORCEMENT IS NOT ALLOWED.

14. FORM AND SHORING REMOVAL SHALL NOT INJURE OR OVERSTRESS COMPLETE OR PARTIALLY COMPLETE STRUCTURAL ELEMENTS. TIME OF FORM OR SHORE REMOVAL SHALL BE IN ACCORDANCE WITH ACI 347.

6. STRUCTURAL STEEL

6.1. ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO AISC SPECIFICATIONS AND CODE OF STANDARD PRACTICES. AWS SPECIFICATIONS APPLY TO ALL WELDING.

6.2. STRUCTURAL STEEL SHALL BE PER THE SCHEDULE BELOW:

STEEL SPECIFICATION SCHEDULE

STEEL	SPECIFICATION
MISCELLANEOUS PLATES	ASTM A36
THEADED RODS	ASTM A36
NUTS	A563 GRADE A
HARDENED WASHERS	ASTM F436 TYPE 1
ANCHOR BOLTS TYP. (U.O.N.)	ASTM F1554 GRADE 36
HEX HEAD FOR HEADED BOLTS	ASTM F1554 GRADE 36

6.2.1. INSTALL BOLTS TO BE "SNUG TIGHT" AND EXCLUDE THREADS FROM THE SHEAR PLANE, U.O.N.

6.3. STEEL SURFACES REQUIRE SHOP PAINTING. ALL STEEL SURFACES REQUIRING PAINTING SHALL BE THOROUGHLY CLEANED. ONE COAT OF RUST INHIBITIVE PAINT CONFORMING TO FEDERAL SPECIFICATION TT-P-86, TYPE III SHALL BE EVENLY AND COMPLETELY APPLIED. ANY CHIPS OR ABRASIONS SHALL BE TOUCHED UP IN THE SHOP. AFTER ERECTION APPLY ANOTHER COAT USING THE SAME PAINT.

7. LUMBER AND TIMBER FRAMING

7.1. UNLESS NOTED OTHERWISE, USE DOUGLAS FIR-LARCH NO. 1 GRADE. IT IS ACCEPTABLE FOR PLATES, BLOCKING, AND NAILERS TO BE #2 GRADE. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL DOUGLAS FIR-LARCH FRAMING LUMBER IS TO BE CLASSIFIED UNDER STRUCTURAL LIGHT FRAMING, MANUFACTURED AND GRADED IN ACCORDANCE WITH WCLIB OR WMPA GRADING RULES.

7.2. ALL NEW FRAMING LUMBER SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION.

7.3. FRAMING LUMBER PERMANENTLY EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE PRESERVATIVELY TREATED.

7.4. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WITHOUT JOISTS THAT ARE CLOSER THAN 18 INCHES OR WOOD GIRDERS THAT ARE CLOSER THAN 12 INCHES TO THE EXPOSED GROUND SHALL BE PRESURE PRESERVATIVELY TREATED.

7.5. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE PRESURE PRESERVATIVELY TREATED.

7.6. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS SHALL BE PROVIDED WITH A ½-INCH AIR SPACE.

7.7. ALL METAL CONNECTORS, NAILS, SCREWS, BOLTS, WASHERS, METAL STRAPS, ETC. EXPOSED TO WEATHER SHALL BE GALVANIZED PER THE MANUFACTURER'S REQUIREMENTS. METAL CONNECTORS IN CONTACT WITH PRESURE PRESERVATIVELY TREATED LUMBER SHALL BE GALVANIZED PER THE MANUFACTURERS REQUIREMENTS.

7.8. ALL PLYWOOD SHEATHING AND APPROVED ORIENTED STRAND BOARD IS TO BE BONDED WITH EXTERIOR GLUE. THE "x" IN CDX REPRESENTS THE USE OF EXTERIOR GLUE.

7.9. PROVIDE PLYWOOD AS SCHEDULED BELOW:

7.9.1. ROOF ½" CDX 5 PLY OR ½" OSB STRUCT I APA RATED 32/16.

7.9.2. FLOOR ¾" T&G APA STURD-I-FLOOR

7.9.3. WALLS ½" CDX APA 24/16 (5 PLY) OR ½" OSB STRUCT I APA RATED 24/16.

7.10. SHEATHING SUBSTITUTIONS OF ORIENTED STRAND BOARD (OSB) FOR PLYWOOD SHALL BE APPROVED BY THE ENGINEER AND SHALL BE OF EQUAL RATING AS THE PLYWOOD IN ACCORDANCE WITH REPORT PRP 108.

7.11. IF ANY WALL CONTAINS PLYWOOD SHEATHING FOR A SHEAR WALL, THE REMAINDER OF THE WALL IS TO BE SHEATHED WITH ½" CDX PLYWOOD WITH 10d NAILING AT 6" o.c. EDGE AND 12" o.c. FIELD.

7.12. SHEATH ALL EXTERIOR WALLS WITH ½" CDX PLYWOOD WITH 10d NAILING AT 6" o.c. EDGE AND 12" o.c. FIELD EXCEPT FOR THOSE PORTIONS OF THE WALL DESIGNATED AS SHEAR WALLS. WHERE WALLS ARE DESIGNATED SHEAR WALLS THE SHEAR WALL REQUIREMENTS/CRITERIA GOVERN.

7.13. GLUE ALL FLOOR PLYWOOD TO FLOOR JOISTS.

7.14. GLUE LAMINATED LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH AITC 117 CURRENT EDITION. STANDARD CAMBER SHALL BE PROVIDED AS REQUIRED BY THE FRAMING NOTES. THE FABRICATOR IS REQUIRED TO PROVIDE AITC CERTIFICATE OF CONFORMANCE WITH ATTACHMENTS 1 AND 2 TO ARCHITECT/ENGINEER AND CITY BUILDING DEPARTMENT FOR REVIEW.

7.15.1. BEAMS: FB = 2400 PSI FV = 265 PSI E=1,800,000 PSI.

8. FASTENING SCHEDULE

CONNECTION

FASTENING

LOCATION

1. JOIST TO SILL OR GIRDER	3-8d COMMON(2½"x0.131") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOISTS	2-8d COMMON(2½"x0.131") 2-3"x0.131" NAILS 2-3" 14 GAGE STAPLES	TOENAIL EACH END
3. SOLE PLATE TO JOIST OR BLOCKING	16d(¾"x0.135") AT 16" o.c. 3"x0.131" NAILS AT 8" o.c. 3" 14 GAGE STAPLES AT 12"o.c.	TYP. FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3-16d(¾"x0.135") AT 16" o.c. 4-3"x0.131" NAILS AT 16" o.c. 4-3" 14 GAGE STAPLES AT 16"o.c.	BRACED WALL PANELS
4. TOP PLATE TO STUD	2-16d COMMON(¾"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
5. STUD TO SOLE PLATE	4-8d COMMON(2½"x0.131") 4-3"x0.131" NAILS 3-3"x14 GAGE STAPLES	TOENAIL
	2-16d(¾"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
6. DOUBLE STUDS	16d(¾"x0.135") AT 24" o.c. 3"x0.131" NAILS AT 8" o.c. 3" 14 GAGE STAPLES AT 8" o.c.	TYP. FACE NAIL
7. DOUBLE TOP PLATES	16d(¾"x0.135") AT 16"o.c. 3"x0.131" NAIL AT 12" o.c. 3"x14 GAGE STAPLES AT 12" o.c.	TYP. FACE NAIL
	8-16d COMMON(¾"x0.162") 12-3"x0.131" NAILS 12-3" 14 GAGE STAPLES	LAP SPLICE
8. BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE	3-8d COMMON(2½"x0.131") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
9. RIM JOIST TO TOP PLATE	8d(2½"x0.131") AT 6" o.c. 3"x0.131" NAILS AT 6" o.c. 3" 14 GAGE STAPLES AT 6" o.c.	TOENAIL
10. TOP PLATES, LAPS AND INTERSECTIONS	2-16d COMMON(¾"x0.162") 3-3"x0.131" 3-3" 14 GAGE STAPLES.	FACE NAIL
11. CONTINUOUS HEADER, TWO PIECES	2-16d COMMON(¾"x0.162")	16" o.c. ALONG EDGE
12. CEILING JOISTS TO PLATE	3-8d COMMON(2½"x0.131") 3-3"x0.131" 3-3" 14 GAGE STAPLES.	EA. JOIST, TOENAIL
13. CONTINUOUS HEADER TO STUD	4-8d COMMON(2½"x0.131")	TOENAIL

9. PREBORE LEAD HOLES FOR LAG SCREWS PER THE CHART BELOW. THE LENGTH OF THE UNTHREADED PORTION OF THE SCREW IN THE MAIN MEMBER SHALL EQUAL THE DEPTH OF THE LEAD HOLE FOR THE SHANK.

NOMINAL SCREW DIAMETER

DIAMETER OF LEAD HOLES FOR DOUGLAS FIR

UNTHREADED SHANK PORTION

THREADED SHANK PORTION

1/2"	1/2"	5/16"
5/8"	5/8"	13/32"
3/4"	3/4"	1/2"

10. [H02A] OR SIMILAR INDICATES A "SIMPSON STRONG TIE" CONNECTOR, OR APPROVED EQUAL.

11. INTERMEDIATE SLID BLOCKING SHALL BE PROVIDED AT 8' MAXIMUM SPACING FOR ALL 2x10, 2x12, AND 2x14 JOISTS.

12. EXPANSION ANCHORS

12.1. EXPANSION ANCHORS IN CONCRETE SHALL BE HILTI KWIK BOLT T22 PER ESR-4266 BY HILTI, INC. OR APPROVED EQUAL.

12.2. ALL SUBSTITUTIONS AS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO USE TO BE CONSIDERED FOR APPROVAL AS AN EQUAL PRODUCT.

12.3. NOTIFY ENGINEER PRIOR TO STARTING WORK TO ARRANGE FOR SPECIAL INSPECTION. DURING THE INSTALLATION, THE SPECIAL INSPECTOR SHALL BE AT THE JOBSITE PERIODICALLY VERIFYING THE INSTALLATION IS IN COMPLIANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE ESR REPORT WHICH INCLUDES BUT IS NOT LIMITED TO HOLE CLEANING PROCEDURE, HOLE DIMENSIONS, ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR SPACING, ANCHOR EMBEDMENT, CONCRETE TYPE, CONCRETE COMPRESSIVE STRENGTH, CONCRETE THICKNESS, EDGE DISTANCES, AND TIGHTENING TORQUE.

12.4. DIMENSIONS FOR EXPANSION ANCHOR ARE AS FOLLOWS:

l_{anch}

l_{thread}

d_h

t

l_{unthr}

l_{ef}

l_{nom}

l_o

13. ADHESIVE ANCHORS

13.1. USE HIT-RE 500 V3 EPOXY PER ESR-3814 BY HILTI, INC. OR APPROVED EQUAL.

13.2. ALL SUBSTITUTIONS AS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO USE TO BE CONSIDERED FOR APPROVAL AS AN EQUAL PRODUCT.

13.3. NOTIFY ENGINEER PRIOR TO STARTING WORK TO ARRANGE FOR SPECIAL INSPECTION. FOR STRUCTURAL APPLICATIONS, DURING THE INSTALLATION, THE SPECIAL INSPECTOR SHALL BE AT THE JOBSITE CONTINUOUSLY VERIFYING THE INSTALLATION IS IN COMPLIANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND THE ESR REPORT WHICH INCLUDES BUT IS NOT LIMITED TO DRILL BIT COMPLIANCE WITH ANSI B212.15-1994, HOLE DIAMETER, HOLE DEPTH, HOLE CLEANLINESS, HOLE LOCATION IN CONCRETE MASONRY CONSTRUCTION, HOLE EDGE DISTANCE AND SPACING, INSTALLATION TEMPERATURE, ADHESIVE PRODUCT DESCRIPTION INCLUDING PRODUCT NAME, ADHESIVE EXPIRATION DATE, ADHESIVE MIXING PROCEDURE, USE OF PROPER NOZZLES, VERIFICATION OF PROPERLY MIXED ADHESIVE PRIOR TO INJECTION OF ADHESIVE IN ANCHOR HOLE, ANCHORS UNDISTURBED DURING GEL TIME, ROD TYPE, ROD GRADE, ROD DIAMETER, ROD LENGTH AND ROD CLEANLINESS.

14. INSTALLATION OF ADHESIVE ANCHORS, EXPANSION ANCHORS AND POWER DRIVEN PINS

14.1. EXERCISE CARE AND CAUTION TO AVOID DAMAGING OR CUTTING EXISTING REINFORCING BARS WHEN INSTALLING DRILLED IN ANCHORS OR POWER DRIVEN PINS INTO EXISTING NON-PRESTRESSED REINFORCED CONCRETE. WHEN INSTALLING SUCH ANCHORS OR PINS INTO EXISTING PRESTRESSED CONCRETE OR PRE/POST TENSIONED CONCRETE LOCATE THE PRESTRESSED TENDONS WITH A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXTREME CARE AND CAUTION SHALL BE TAKEN TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. A MINIMUM CLEARANCE OF ONE INCH SHALL BE MAINTAINED BETWEEN THE EXISTING REINFORCING TENDONS AND THE NEW DRILLED IN ANCHOR AND/OR PIN.

15. REINFORCEMENT BAR LAP SPLICE (Ls) FOR NORMAL WEIGHT CONCRETE (CLASS "B" SPLICE)

LOCATION

CONC. F'c (psi)

STEEL Fy (ksi)

BAR SIZE

3

4

5

6

7

8

9

10

11

TOP	3000	60	28	37	47	56	81	93	105	118	131
OTHER	3000	60	22	29	36	43	63	72	81	91	101
TOP	4000	60	24	32	40	48	70	80	91	102	113
OTHER	4000	60	19	25	31	37	54	62	70	79	87
TOP	5000	60	22	29	36	43	63	72	81	91	101
OTHER	5000	60	17	22	28	33	49	55	63	70	78
TOP	6000	60	20	26	33	40	58	66	74	83	93
OTHER	6000	60	16	20	25	31	44	51	57	64	71
TOP	7000	60	18	25	31	37	53	61	69	77	86
OTHER	7000	60	16	19	24	28	41	47	53	60	66

16. NOTES:

1. LAP LENGTHS SHOWN IN THE SCHEDULE ARE CLASS B LAP SPLICES PER THE ACI 318-14, TABLE 25.5.2.1 FOR ASTM 615, GRADE 60 REBAR.

2. LAP LENGTH, Ls, IS BASED ON CASE 1 REINFORCEMENT BAR DEVELOPMENT LENGTH (ld) PER ACI 318-14, TABLE 25.4.2.2 FOR OTHER CASES, REFER TO NOTES ON THE DEVELOPMENT LENGTH TABLE.

3. Ls SHALL BE INCREASED BY 33% FOR LIGHT WEIGHT CONCRETE.

2"

8" MIN.

17. W.W.F. - LAP SPLICE LENGTHS FOR 6x6 W1.4xW1.4 W.W.F. ONLY. FOR OTHERS, CONSULT THE ENGR.

18. REINFORCEMENT BAR DEVELOPMENT LENGTH (ld) FOR NORMAL WEIGHT CONCRETE

LOCATION

CONC. F'c (psi)

STEEL Fy (ksi)

BAR SIZE

3

4

5

6

7

8

9

10

11

14

18

TOP	3000	60	22	29	36	43	63	72	81	91	101	121	161
OTHER	3000	60	17	22	28	33	48	55	62	70	78	93	124
TOP	4000	60	19	25	31	37	54	62	70	79	87	105	139
OTHER	4000	60	15	19	24	29	42	48	54	61	67	81	107
TOP	5000	60	17	22	28	33	49	55	63	70	78	94	125
OTHER	5000	60	13	17	22	26	37	43	48	54	60	72	96
TOP	6000	60	15	20	25	31	44	51	57	64	71	86	114
OTHER	6000	60	12	16	20	24	34	39	44	49	54	66	88
TOP	7000	60	14	19	24	28	41	47	53	60	66	79	106
OTHER	7000	60	12	15	18	22	32	36	41	46	51	61	81

19. NOTES:

1. DEVELOPMENT LENGTHS SHOWN IN THE SCHEDULE ARE CASE 1 LENGTHS PER ACI 318-14 CODE, TABLE 25.4.2.2 FOR ASTM 615, GRADE 60 REBAR. THE MINIMUM CLEAR CONCRETE COVER MUST BE GREATER THAN db AND THE CLEAR SPACING OF BARS MUST BE GREATER THAN 2db, WHERE "db" IS THE NOMINAL BAR DIAMETER.

2. BARS NOT MEETING CASE 1 REQUIREMENTS SHALL BE PER ACI 318-14 TABLE 25.4.2.2 OTHER CASES

3. TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE BELOW THE BAR.

4. DEVELOPMENT LENGTH SHALL BE INCREASED BY 33% FOR LIGHT WEIGHT CONCRETE.

20. REINFORCEMENT BAR DEVELOPMENT (Ldh) FOR STANDARD HOOKS IN NORMAL WEIGHT CONCRETE GENERAL USE (NOT FOR FRAME JOINTS)

CONC. F'c (psi)

STEEL Fy (ksi)

BAR SIZE

3

4

5

6

7

8

9

10

11

14

18

3000	60	6	9	10	12	14	16	18	20	22	37	50
4000	60	6	7	9	10	12	14	15	17	19	32	43
5000	60	6	6	8	9	11	12	14	15	17	29	39
6000	60	6	6	7	8	10	11	13	14	16	27	35
7000	60	6	6	7	8	9	10	12	13	15	25	33

21. NOTES:

1. SIDE COVER MUST BE GREATER THAN OR EQUAL TO 2½"

2. END COVER MUST BE GREATER THAN OR EQUAL TO 2"

3. HOOK DEVELOPMENT LENGTH SHALL BE INCREASED BY 33% FOR LIGHT WEIGHT CONCRETE.

4. TABLE APPLIES TO ASTM 615, GRADE 60 REBAR.

l_{dh}

l_{2db}

#3-#8: D = 6db

#9-#11: D = 8db

#14 & #18: D = 10db

22. STANDARD 90° END HOOK

NOTE: 180° AND 135° HOOKS SIMILAR

23. REVISIONS

REVISION SUBMITTAL

02-16-22

REVISION SUBMITTAL

06-07-22

REVISION SUBMITTAL

07-06-23

REVISIONS

DELTA

1	△
2	△
3	△

24. SAN BENITO RESIDENCE

517 SAN BENITO

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FAX: (650) 312-9229

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DRAWN

M.M.

CHECKED

KTO

DATE

06/24/2021

SCALE

N.T.S.

JOB NO.

2021112

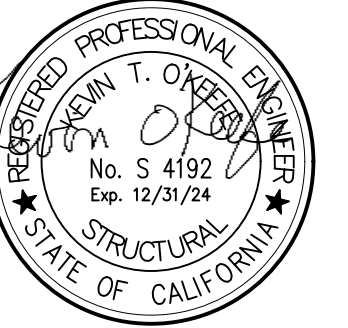
GENERAL NOTES

SHEET

SO.1

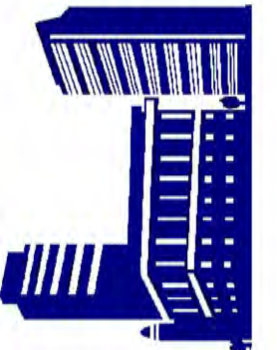
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REVISIONS		DELTA
REVISION SUBMITTAL 2-16-22		1
REVISION SUBMITTAL 2 6-07-22		2
REVISION SUBMITTAL 3 7-06-23		3

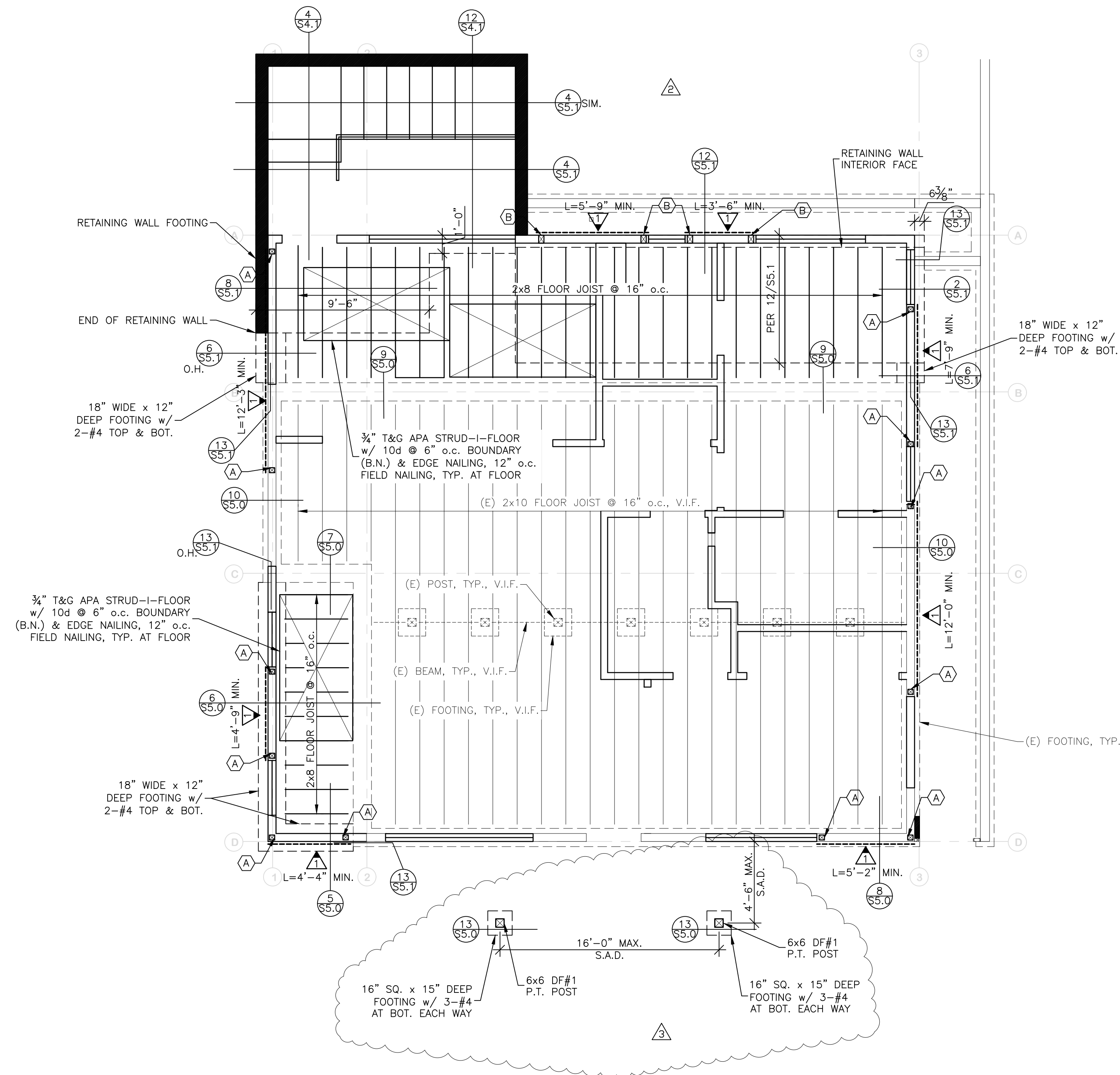


SAN BENITO RESIDENCE
517 SAN BENITO
LOS GATOS, CA 95030

**STRUCTURAL
ENGINEERS**
1660 S. AMPHLETT BLVD.
SUITE 335
SAN MATEO, CA 94402
PHONE: (650) 312-9233
FAX: (650) 312-9229
www.UniversalStructuralEngineers.com






DRAWN M.M.
CHECKED KTO
DATE 06/24/2021
SCALE AS NOTED
JOB NO. 2021112
FOUNDATION AND FLOOR PLAN
SHEET S1.0



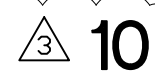
FOUNDATION AND FLOOR PLAN

SCALE: $\frac{1}{4}" = 1'-0"$

1. SEE S.O.1 FOR GENERAL NOTES.
2.  INDICATES PLYWOOD SHEATHING PER 1/S4.0.
3.  INDICATES SHEAR WALL TYPE PER SCHEDULE ON 1/S4.0.
4.  INDICATES HOLDOWN PER SCHEDULE ON 2/S4.0.
5. WALL INFILL STUDS TO MATCH EXISTING WALL STUDS.
6. NEW EXTERIOR WALL STUDS ARE 2"x4 DF#1 @ 16" o.c. OR MATCH EXISTING STUD, U.O.N.
7. EXTERIOR WALL STUD ALONG GRIDLINE A IS 2"x4 DF#1 @ 16" o.c.
8. NEW INTERIOR WALL STUDS ARE 2"x4 DF#1 @ 16" o.c., U.O.N.
9. SEE 4/S5.0 FOR FOUNDATION NOTES.



NOTE: NOT TO SCALE



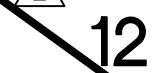
NOTE: SEE 9/S4.1 FOR ADDITIONAL INFORMATION NOT SHOWN



EXTERIOR WINDOW INFILL



INTERIOR WALL INFILL



NOTE:
1 SEE 4/S4.1, 4/S5.1 AND 12/S5.1 FOR MORE INFORMATION.



NOTES:

1. SEE 12/S5.1 FOR MORE INFORMATION OF WOOD FLOOR FRAMING.
2. SEE 4/S5.1 FOR MORE RETAINING WALL INFORMATION.

DETAILS

SHEET

S4.1

Date: October 20, 2023

To: **Ryan Saffy**
Associate Planner
Community Development Department
110 E. Main Street Los
Gatos, CA 95031

Re: San Benito Residential Addition
517 San Benito Ave
Los Gatos, CA 95030
JTG Architecture Job No.: 20006-1 Permit
Number: B21-0944

Subject: Revision Submittal

Dear Mr. Ryan Saffy

In evaluating the project, we have removed the existing covered entry and provided a new covered entry which enhances the appearance of the house and fits in with the fabric of the neighborhood. Similar to the previously existing covered entry our new covered entry is limited to covering the entry and front stairs while remaining architecturally proportional to the overall design of the home. We have even taken additional steps to reduce our encroachment into the front set back as we work with the Planning Department's rules and regulations.

Many homes on the block have a non-conforming setback especially the two other homes (513 and 515) that are built in the same style and time period. These two homes have similar setbacks as the subject property. The property directly adjacent to the subject property (515) has a setback of 19'-9". Property 513 has a setback of 20' for the main house and the front porch has a setback of 13'-6". In this sense, our new covered entry maintains a similar appearance and setback as other comparable homes on the block.

With that being said as you move further down the block there are an additional two homes that have built into the required setback. Property 505 has a large bay window projection that has a setback of 24'-4" and property 501 has a portion of the home that has a setback of 21'-3".

We are sincerely working with the neighborhood to provide an enhancement to the overall appearance of this home and use the precedents that have been set by this neighborhood. While code requirements have listed the setback as 25' you can clearly see that 5 of the 7 homes (including our project site 517) have non-conforming setbacks.

In closing I would like to mention that we have consulted with several of the neighbors who have verbally expressed being in favor of our improvements and we look to seek your support as well.

Sincerely,

John Gutknecht Architect
JTG Architecture
T 612.481.2293
E John@JTGArchitecture.com

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