

**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
JANUARY 22, 2025
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
4:00 PM**

*Susan Burnett, Chair
Lee Quintana, Vice Chair
Emily Thomas, Planning Commissioner
Alan Feinberg, Committee Member
Martha Queiroz, Committee Member*

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@logatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email planning@logatosca.gov with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email to planning@logatosca.gov by 11:00 a.m. the day of the meeting.

CALL MEETING TO ORDER

ROLL CALL

CONSENT ITEMS *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the November 20, 2024 Historic Preservation Committee Meeting
2. Draft Minutes of the December 18, 2024 Historic Preservation Committee Meeting

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)*

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

3. Consider a Request for Approval to Construct Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 155 Hernandez Avenue.** APN 510-40-152. Request for Review Application PHST-24-024. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Catherine Nadeau. Applicant: Marcie Macdonough. Project Planner: Ryan Safty.
4. Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Located at 328 Bachman Avenue.** APN 510-14-037. Minor Residential Development Application MR-24-016. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Snighdha Uday Dharmavaram. Applicant: Bess Wiersema. Project Planner: Maria Chavarin.

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

5. Select a Chair and Vice Chair

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting. [28 CFR §35.102-35.104]

***This Page
Intentionally
Left Blank***



DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING
NOVEMBER 20, 2024

The Historic Preservation Committee of the Town of Los Gatos conducted a Special Meeting on November 20, 2024 at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Susan Burnett, Vice Chair Lee Quintana, Planning Commissioner Jeffrey Barnett, and Committee Member Martha Queiroz.

Absent: Committee Member Barry Cheskin

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

None.

PUBLIC HEARINGS

1. 200 Hernandez Avenue
Request for Review Application PHST-24-018

Requesting Approval for Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:12. APN 510-21-003. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: Vaishali Singh-Sood

Project Planner: Sean Mullin

Continued from October 23, 2024

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Vaishali Singh-Sood, Owner

- Read letter written by his wife. At the last hearing, the Committee requested documentation from a structural engineer on the weight capacity that can be supported by the current roof structure. If the roof is barrel style roof edging or entire roof can be supported.
- Structural engineers are not willing to give feedback or take on partial jobs. They only take on full or new home projects.
- Roofers said that the low pitch is not conducive to a barrel style roof.
- Asking for a standing seam roof with a barrel style edging on the eaves of the roof
- Asking for no more delays. They suffered water damage during the last rainy season.
- Asking for no more requests for documents that they cannot attain.

Committee members asked questions of the applicant.

Vaishali Singh-Sood, Owner

- They have provided photos showing examples of various barrel eaves.
- They looked into other materials. Their architect was specific about drainage.
- The pitch of the home on Bachman with American Standard clay tiles is higher than their home.
- Their architect says that their roof cannot support a tile roof. Having to go further by ripping into the walls is an undue burden.
- They would consider a barrel style edge.
- They would consider a rust color instead of black.

Open and close public hearing

Committee members asked questions of staff.

Committee members discussed the matter.

- The letter from architect was helpful.
- Item should not be continued again.
- Would have liked to see better samples.
- Samples would have helped determine the color choices.
- Not opposed to a metal roof due to environmental considerations.
- In support, but note that the low pitch of the roof makes it an exception.
- In support of a barrel style metal roof with barrel edge.
- Prefer red or rust colored roof.
- Why didn't they replace with similar existing roof?
- Prefer a barrel style metal roof with a barrel edge.
- The guidelines are not definitive about metal roofs.
- Make a decision tonight.

MOTION: **Motion by Vice Chair Quintana** to forward a recommendation to the Community Development Director to approve a replacement roof with a barrel style edging in a color compatible with the window trim. If available, approve a standing seam metal barrel roof. Or if not available and doesn't meet code, approve a standing seam metal roof that is complimentary to the window trim and barrel edging. **Seconded by Committee Member Queiroz.**

Friendly amendment

- Consider the MasterCraft lightweight barrel style roof.

Friendly amendment accepted by Vice Chair Quintana and Committee Member Queiroz.

Friendly amendment

- Allow flexibility by not limiting it to a specific material or contractor.

Friendly amendment accepted by Vice Chair Quintana and Committee Member Queiroz.

Friendly amendment

- Include the considerations in the Staff Report.

Friendly amendment accepted by Vice Chair Quintana and Committee Member Queiroz.

MOTION: **Motion by Vice Chair Quintana** to forward a recommendation to the Community Development Director to approve, if available and meets code, a lightweight barrel style roof in a compatible color. Or if not available, a standing seam metal roof in a compatible color with a barrel edging in a matching color. Include considerations as reflected in the Staff Report. **Seconded by Committee Member Queiroz.**

VOTE: **Motion passed unanimously.**

2. 352 W. Main Street

Minor Development in a Historic District Application HS-24-054

Requesting Approval for Construction of Exterior Alteration (Window Replacement) to a Non-Contributing Multi-Family Residential Development in the Broadway Historic District on Property Zoned R-1D:LHP. APN 510-45-033. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: West Main Partners LLC.

Applicant: Byron Brown
Project Planner: Suray Nathan

Suray Nathan, Assistant Planner, presented the staff report.

Opened Public Comment.

Byron Brown, Applicant

- They brought a window sample in the most popular color of bronze/brown. The next popular colors are tan, almond, and adobe. Black is difficult to work with and more prone to damages. The paint is baked on with a hardener and is difficult to come off. They are flexible on the color choice.

Committee members asked questions of the applicant.

Byron Brown, Applicant

- The vinyl window is white. It will be painted by the manufacturer. The life expectancy of the vinyl window is 30 years. The paint has its own life expectancy of at least 20 years. The paint could fade. They can always repaint.
- The interior side will be white.
- The manufacturers do not paint the screen channel to reduce friction.

Denny Mayer, Tenant/Resident

- They have lived there for the last 12 years. Every year the water pools around the windows and black mold blooms. Please approve.

Closed Public Comment.

Committee members discussed the matter.

- The building is not pre-1941.
- Most of the complex is not visible from the street.
- The Design Guidelines don't exclude vinyl windows. They are not preferred.
- The painted windows look very good. It will be an improvement and environmentally beneficial.
- Prefer the color bronze.
- Prefer white if keeping it white makes it more durable.
- The bottom should be painted as well.

Open Public Comment

Committee members asked questions of the applicant.

Byron Brown, Applicant

- The white vinyl should be cleaned to avoid fading and sunburn.
- Painting makes it more durable.
- They can paint the lower part.

Closed Public Comment

Committee members discussed the matter.

Friendly amendment

- Physical location of the buildings are the exceptional circumstances.

Friendly amendment accepted by **Commissioner Barnett and Vice Chair Quintana**.

MOTION: **Motion by Commissioner Barnett** to forward a recommendation to the Community Development Director to approve the application with considerations in the staff report, the brown paint choice presented to the Committee, and to also paint the window channel brown. **Seconded by Vice Chair Quintana.**

VOTE: Motion passed unanimously.

3. 17121 Wild Way
Request for Review PHST-24-022

Requesting Approval for Construction of Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN424-30-080. Exempt Pursuant to CEQA Section 15301: Existing Facilities.
Property Owner: ALG Homes, LLC
Applicant: Erik Zang
Project Planner: Maria Chavarin

Maria Chavarin, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Erik Zang, Designer and Rori, Owner

- They will change all the windows to double-paned. They will be the same size and style. The material is the only change. Fiberglass is easier to maintain and provides better insulation. It will look the same as what is there now.

- The current windows are single-paned. Some of them do not close properly and leave a gap.

Committee members asked questions of the applicant.

Erik Zang, Designer and Rori, Owner

- The grids in the current windows are true divided.
- The new windows will have a grid.
- The glass will be new and double-paned.
- Window expert, Milgard, provided the best match, but in fiberglass. It is a historical series.
- Replacement windows will closely resemble the original.
- Discussed with the window provided that the exterior does not have insulation It was not required at that time.
- During the summer it is very hot.
- The window supplier says it is too much work to repair the current windows, and they cannot guarantee that the results will look good.
- They can spend a lot of money to fix the single-pane glass windows, but the double-paned energy efficiency is far better.
- The frame around the window is wood.
- The windows would have the same lites and depth as the current windows.
- They plan to match what is there, including the depth.

Committee members asked questions of Staff.

Committee members asked questions of the applicant.

Closed Public Comment.

Committee members discussed the matter.

- There are professionals that deal with metal windows.
- The home is very special. See if they can preserve what is there.
- Torn between unique, historical window, and the need for non-leaking and insulated windows.
- Don't see single-paned being better than double-paned window features.
- If the rest of the house is faded and older, will the new windows stick out?
- This is an outstanding historic home, and the metal windows should be rehabilitated.
- It is worth a try to research if there is someone who can restore and yet weatherize.
- The old glass is wavy.
- It is reasonable to come back one time after researching possible options.
- Example of an option: use sound glass over original windows. The original windows can still be seen.

- Another example of an option: the window is installed in the interior. The original exterior is preserved. But that doesn't address the deterioration of the windows.

MOTION: **Motion by Chair Burnett** to forward a recommendation of denial of the above request to the Community Development Director.

MOTION DIES: **Second by Vice Chair Quintana** is withdrawn.

NEW MOTION: **Motion by Chair Burnett** to continue to a date uncertain with the recommendation that the applicant confer with a historic architect with experience with window replacement on historic homes with the intent to preserve and rehabilitate the existing windows. Report from a historic architect on their findings. **Seconded by Vice Chair Quintana.**

VOTE: **Motion passed unanimously.**

4. 222 University Avenue
Minor Development in an Historic District Application HS-24-055

Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.
Property Owner/Applicant: Tuyet Pham
Project Planner: Sean Mullin

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Tuyet Pham, Applicant

- The siding will be engineered wood pretreated with primer. The current owner bought the house 10 years ago. The siding has water damage and needs to be redone. The front needs to be remodeled. They plan to increase the square footage to fit a kitchen.

Committee members asked questions of the applicant.

Tuyet Pham, Applicant

- There is a picture of the front elevation in the packet.
- There is currently a mix of siding styles.
- They propose to replace the front window with folding doors for access to a patio.
- There is a kitchen in the back. The kitchen will be expanded by use of an island and open kitchen/dining room concept.

- The siding grooves goes either horizontal or vertical. They tried to match neighbor's homes.
- The front roof has a steep slope and tapers into the front porch.
- The porch is existing with an addition made
- The roof will remain a hipped roof.
- They propose two new windows. One on the addition and one next to the existing bathroom.
- The windows are sliding.
- Propose two new doors to bring in natural light.

MOTION: **Motion by Commissioner Barnett** to extend the meeting to 6:30 PM.
Seconded by Committee Member Queiroz.

VOTE: Motion passed unanimously.

Committee members asked questions of the applicant.

Tuyet Pham, Applicant

- The awning is intended to define the entrance.
- The original 1920 siding is wood, but is unrecognizable.
- Finished siding will be engineered wood that will be painted.
- They will blend with the neighboring houses that have light colored siding.

Closed Public Comment.

Committee members discussed the matter.

- Prefer that the street facing doors be French doors instead of a folding door.
- Prefer that the street facing windows be double hung.
- Two doors on one side and one on the other.
- Siding needs to be replaced.
- Changing the two front floor-to-ceiling windows to French doors is not consistent with the neighborhood.
- The added windows are not consistent with the existing windows.
- The siding doesn't look authentic for the time period. The easiest siding to duplicate is the batten. It is not tongue and groove.
- The trellis looks stuck on to the house.
- Remove the divided lites.
- Sliding doors with the provision that the taller windows mimic the double-hung windows.

MOTION: **Motion by Commissioner Barnett** to continue to a date uncertain. With modifications based on the Committee's comments on the plans. Not

supportive of folding doors, sliding door on the side should be historic, style of visible windows and siding changed to something more authentic and fitting to the neighborhood, and front trellis needs to be integrated.

Seconded by Committee Member Quieroz.

VOTE: Motion passed unanimously.

5. 126 University Avenue

Minor Development in an Historic District Application HS-24-061

Requesting Approval for Modification of a Previously Approved Project for Construction of Exterior Alterations to an Existing Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-02-016.

Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner/Applicant: Jean-Philippe Persico

Project Planner: Sean Mullin

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jennifer Haller and Jean-Philippe Persico, Owner/Applicant

- They are asking to make changes to the rear of the house. The rear elevation is not original and was modified in 1990's.
- They want to remove the requested lite dividers to the windows and doors. None of the original windows had muntins.
- Damage was revealed in the front windows. They would replace with the aluminum clad windows approved elsewhere. They would match the look of the original windows.
- They want to remove the requested dividers in the new glass roof. Fabricators say that adding dividers would impede the function of opening the panels.
- The requested nine-foot wide French doors are too big to be functional and require steel reinforcement. The doors would be heavy and not safe for small children. They will keep the existing French doors, but add side lights to keep light and eliminate safety issues.

Committee members asked questions of the applicant.

Jean-Philippe Persico, Applicant/Owner

- Open to consider adding a horizontal divider to new stairway windows to match the existing double hung window.
- The doors are positioned to align with interior staircase.

- The rear addition is not symmetrical with the original house.
- The house is Queen Anne style. Based on neighbors' photos, this particular home never had divided windows in the front windows.

Closed Public Comment.

Committee members discussed the matter.

- Agree with removing the dividers from the glass roof panels and other windows and doors.
- Modify two tall windows with dividers to mimic being double hung.
- Could add a vertical line to the top windows.

MOTION: **Motion by Vice Chair Quintana** to forward a recommendation to the Community Development Director to approve removing the divided lites from the glass roof and other windows and doors, modifying the big swinging doors, and adding dividers to the two tall windows to appear being double hung. **Seconded by Chair Burnett.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

None.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

- The CDD Director's decision all aligned with the Committee's recommendations.
- An appeal by 55 Ellenwood is scheduled for Planning Commission on January 8, 2025.

COMMITTEE MATTERS

- Ask the Director to request a study session on what the HPC stands for and what they base their decisions on. The Vice Mayor suggested this.
- Is it possible to have a special study session when the Council meets without incurring a staff report?

ADJOURNMENT

The meeting adjourned at 6:40 p.m.

This is to certify that the foregoing is a true

and correct copy of the minutes of the
November 20, 2024 meeting as approved by the
Historic Preservation Committee.

Sean Mullin, AICP, Planning Manager

***This Page
Intentionally
Left Blank***



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 01/22/2025

ITEM: 2

**DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING
DECEMBER 18, 2024**

The Historic Preservation Committee of the Town of Los Gatos conducted a special meeting on December 18, 2024 at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Susan Burnett, Vice Chair Lee Quintana, Planning Commissioner Jeffrey Barnett, Committee Member Barry Cheskin, and Committee Member Martha Queiroz.

Absent: None

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Draft Minutes of the September 11, 2024 Historic Preservation Committee Meeting
2. Draft Minutes of the October 23, 2024 Historic Preservation Committee Meeting

MOTION: **Motion by Committee Member Barnett** to approve the Consent Calendar. **Seconded by Committee Cheskin.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

6. 34 Pleasant Street
Request for Review Application PHST-24-023

Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: Michael Hyman

Applicant: Maia Gendreau

Project Planner: Ryan Safty.

Ryan Safty, Associate Planner, presented the staff report.

Opened public comment.

Maia Gendreau, Applicant

- The proposed windows are fiberglass ones from Marvin. If you looked at the windows side by side, you wouldn't be able to tell the difference. They perform very high in energy performance and have a traditional look to them.
- This house has been in this owner's family since it was built in the 1920s. This is a modest house, and the grandson, who now owns it, would like more space. We are proposing to keep the front the same, expand a little on the side of the house, keep the two bedrooms and living room, enlarge the kitchen so there is a dining room included, and add a staircase to the proposed second floor which would be the master suite. The majority of the addition would be at the back of the lot, attached to the back of the existing residence.
- The building is currently sitting very low to the ground, so we are going to include a proper foundation and add a basement. In its new proposed position, the property would be a foot higher off the ground than it currently is.
- We would want to keep the front stairs and brick to keep it looking the same. Around the side, there is a little access to the yard and the second floor would be pushed to the back so its further from the street.
- We would add a deck outside the kitchen area and a deck on the second-floor master suite.

Committee Members asked questions of the applicant.

Maia Gendreau, Applicant

- We have not thought of enlarging one side over the other because we are trying to keep the upstairs subsidiary to the downstairs. We can consider the material changes.
- This house is pretty much going to stay in the same place. I would like to keep the interior finishes we can and are trying not to be invasive of the parts of the house that we are not taking down. We anticipate keeping the front and interior the same, but the back of the house will get modified and changed.

Closed Public Comment.

The Committee's final recommendations for this project are:

- Recommend fiber glass clad wood windows over pure fiber glass.

- Although pushing the new addition to the rear is consistent with the Residential Design Guidelines, some of the members requested that the addition be pushed closer to the front façade to better integrate into the existing home.
- Look for strategies to differentiate the second story from the existing first story, including different exterior materials and ensuring whatever is done is consistent with the architectural style.
- Consider replicating the existing front gables on the second floor or working the second-story addition into the existing roof form to decrease massing.
- Appreciate them replicating the existing window lugs in the new replacement windows.
- Carefully consider whether insulation is required on the existing house to remain and whether the existing stucco would need to be removed in the future.
- Balancing windows at the rear and using windows to break up the blank mass.
- If a front gable isn't pursued, additional windows should be added to balance the second story front-facing façade.
- Consider replacing the thin metal handrail at the front of the house with something more substantial.
- Consider using a different material for the below-grade portion of the house if the house is raised more than a few feet.

7. 310 Tait Avenue

Request for Review Application PHST-24-026

Preliminary Review for Construction of a New Second-Story Addition and Exterior Alterations to an Existing Single-Family Residence on Property Zoned R-1D:LHP. APN 510-14-058. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: Santiago Allende

Applicant: Donna Chivers

Project Planner: Erin Walters

Committee Queiroz recused themselves due to living within 1,000 feet of the property.

Erin Walters, Associate Planner, presented the staff report.

Opened public comment.

Donna Chivers, Applicant

- The existing size of the house presents big challenges. We hope to expand the house, so it is more livable while still maintaining the character of the house. The house is very close to the front of the property line and sits on the edge of the street. We are proposing to keep three walls intact completely.
- We will be demolishing and moving the shed as it is on the neighbor's property line and another shed on the property will be removed.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF
DECEMBER 18, 2024

- The project includes a lower level and second story addition. We will be removing the interior walls and replacing the existing windows of the walls that will stay intact.
- The front elevation will remain the same except for the roof, which will be replaced. We are proposing to match current materials, in-kind.

Committee Members asked questions of the applicant.

Donna Chivers, Applicant

- When you look at the floorplans, we have modest sized bedrooms and two bathrooms. Without eliminating a full bedroom, it will be tight. Maybe we can add a couple of feet on one side. We can also look at how far back we can push the mass of the roof.

Closed Public Comment.

Committee Members discussed the project.

The Committee's final recommendations for this project are:

- Take into account the roofing materials and low-pitched roof sections;
- Consider adding architectural details to the side elevations;
- Pay particular attention to the long pitch on the side elevation as it is not harmonious with the rest of the design;
- Study the neighborhood carefully, especially the two-story houses in the immediate neighborhood, update this design to be more consistent with the neighborhood; and
- Move the mass of the second floor to the back.

PUBLIC HEARINGS

3. 202 University Avenue

Minor Development in a Historic District Application HS-24-062

Approval for Modification (Siding Replacement) of a Previously Approved Project on a Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-001.

Property Owner: Tyler and Kristine Shewey

Applicant: Jay Plett, Architect

Project Planner: Sean Mullin

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Jay Plett, Architect and Tyler Shewey, Owner

- We are using the same reasoning as a previous property, 15 Chestnut, that was approved by the Committee, and it turned out beautifully. The siding is not rotten anymore, and the molding was put back like it was. We want to do the same thing with this property. The siding is nearly 120 years old now and really needs to be replaced. When we got the siding touched up after purchase, the painters stated that the fixes would be good for a few more years. Due to the energy code, which is separate from the building code, we will have to insulate the entire house. We want to match the current home. We want to look at this like a restoration.

Committee Members asked questions of the applicant.

Closed Public Comment.

MOTION: **Motion by Susan Burnett** to forward a recommendation of approval of the above request to the Community Development Director. **Seconded by Barry Cheskin.**

VOTE: **Motion passed unanimously.**

4. 50 Hernandez Avenue
Request for Review PHST-24-024

Requesting Approval for Modification (Roof Material) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 510-20-003. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Richard Archuleta and Chrissy Klander

Applicant: Jay Plett, Architect

Project Planner: Sean Mullin

Susan Burnett and Maira Queiroz recused themselves due to living within 1,000 feet of the property.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Richard Archuleta, Owner

- We are requesting to change the material of a small section of our roof, which is at the back of the house. We want to change it to a standing seam metal roof. It was originally planned to be a composition roof at the advice of the Committee during a review of our concept design. Once we got into construction, and went out for bids, we couldn't find a roofer who was willing to put a composition roof on the low pitch of this roof. After

evaluating different roofing methods, we were unable to find something aside from the metal originally proposed during the concept discussion.

Committee Members asked questions of the applicant.

Richard Archuleta, Owner

- When we walked down to Hernandez and asked a neighbor behind us to see how they felt about the roof view, they stated there are no issues with the roof view. We asked another neighbor the same question to the right of us, and they also didn't have an issue with the roof view.
- Our priority is to maintain the exterior of the home as much as possible. Looking at the front elevations and where you see from the side, we tried not to touch any of that. Especially the windows and the size and location of them because it gave a nice perspective of the home. For some homes, there were bushes and a retaining wall that blocked the view of the back of the house. The wall failed, so we tore it down and removed the bushes. We will be replacing these, which will block the view of the roof again for those neighbors who do have concerns.

Closed Public Comment.

Committee Members discussed the matter.

MOTION: **Motion by Jeffrey Barnett** to forward a recommendation of approval of the above request to the Community Development Director. **Seconded by Lee Quintana.**

VOTE: **Motion passed (2-1). Barry Cheskin voting no and Susan Burnett and Maira Queiroz recused.**

5. 311 Johnson Avenue
Minor Residential Development Application MR-24-015

Approval for Construction of Exterior Modifications and a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-28-017. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: Nishita Biddala

Project Planner: Suray Nathan

Suray Nathan, Assistant Planner, presented the staff report.

Committee Members asked questions of the Staff.

Opened Public Comment.

Abhay Karthik, Applicant and Owner

- We purchased the house in June of this year and have been working to move in, but the rear of the house is not livable. We are trying to extend it by six feet and add a second story. The last time we were here, we received feedback that the windows were blank on the side and did not match. We have made sure the windows match now and added additional windows. We also complied with the consulting architect report we received.

Anne and Joe Walker

- We have lived where we are at for 30 years. We were originally told by the applicant that the construction that was going to take place was only going to be a kitchen remodel. Then, a couple of days ago, we saw story poles go up, and there are no setbacks on the second floor, and it is four feet from the property line, which is a real invasion looking in our windows from the second floor.
- On Johnson Avenue, we are all worried about drainage issues. There should be something on this property to address the drainage issue. There is also a code violation on this property for the drainage issue.

Abhay Karthik, Applicant and Owner

- The story poles are part of the process that we had to go through and were required. We also posted the Minor Residential application sign for the public to see. We spoke to all the neighbors around the area who all seemed very supportive.
- For the drainage system, it has a history with the previous owner, and we were made aware of it. We have agreed to fix the issue by having the water flow on the side to go to the storm drain, which is being reviewed by engineering. We can't make changes until it is approved.
- With the windows and privacy issue, the windows were added at the recommendation of the architect, but it is not a window that will be opened or used frequently.

Closed Public Comment.

Committee Members discussed the project.

MOTION: **Motion by Jeffrey Barnett** t to forward a recommendation of approval of the above request to the Community Development Director. **Seconded** by **Barry Cheskin**.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

8. 2025 Historic Preservation Committee Meeting Calendar

No action needed.

REPORT FROM THE DIRECTOR

Sean Mullin, Planning Manager

- All decisions of the Director represent the recommendations of the previous meeting.
- Staff would like to recognize Committee Member Cheskin as this is his last meeting and thank him for his years of service with the Committee. Thank you for all the time and commitment you have put into your work with the Committee. The Council appointed Alan Feinberg to the Committee and he will join us for our first meeting in January 2025.

ADJOURNMENT

The meeting adjourned at 6:33 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
December 18, 2024, meeting as approved by the
Historic Preservation Committee.

Sean Mullin, AICP, Planning Manager



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 01/22/2025

ITEM NO: 3

DATE: January 17, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 155 Hernandez Avenue.** APN 510-40-152. Request for Review Application PHST-24-024. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Catherine Nadeau. Applicant: Marcie Macdonough. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider a request for approval to construct exterior alterations to a pre-1941 single-family residence on property zoned R-1:8 located at 155 Hernandez Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1917 (effective year built 1950) per County Assessor's Database; 1910s per Anne Bloomfield Survey
2. Town of Los Gatos Historic Status Code: +, historic and intact or worthy of special note
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? N/A
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The County Assessor indicates that the residence located at 155 Hernandez Avenue was constructed in 1917, with an effective year built of 1950, which usually reflects significant alterations or additions occurred after the original construction date. The 1991 Bloomfield Survey describes the residence as being built in the Colonial Revival style with an estimated construction date of the 1910s (Attachment 1). The Bloomfield Survey rates the residence as historic and intact or worthy of special note. The Sanborn Fire Insurance Maps show that the footprint of the residence remained consistent between 1928 and 1956 (Attachment 2).

PREPARED BY: Ryan Safty
Associate Planner

Town records in Attachment 3 show that the property was annexed into the Town in around the 1970's, and then was subdivided from one larger lot into the two lots seen today (155 and 151 Hernandez Avenue). Building Permit records include a fireplace replacement permit in 1990, a re-roof permit from 1992, basement reconstruction permit from 1997, and a carport permit from 1998.

In addition to the proposed interior remodel, the applicant proposes exterior alterations for a roof remodel and window changes throughout the residence.

DISCUSSION:

The applicant provided a Project Overview (Attachment 4) discussing the request to modify the existing roof and replace the existing windows. Photos of the existing residence are provided in Attachment 5.

The existing roof framing would be removed and replaced on wall plates that would be one-foot higher than existing. The existing 5.5:12 pitch would be changed to 6:12, the roof ridge would end up roughly two feet higher, and the front eave above the porch would be roughly 10 inches higher than existing. The dormer roof plate would also be raised one foot and would maintain the existing 2:12 pitch. The roof materials would remain the same, which appear to be composition shingle, but the plans in Attachment 8 don't specify.

The applicant is also proposing to replace the existing original wood windows and non-original aluminum windows throughout the house with new dual pane fiberglass windows that match the style and pane patterns of the original windows (Attachment 6). The front elevation windows would be replaced within their existing locations, while there would be modified window locations on the other elevations. Any replacement siding needed would match the existing siding.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- ___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 4.8.4 of the Town's Residential Design Guidelines offers recommendations for window replacements on historic resources. Section 4.8.8 of the Town's Residential Design Guidelines offers recommendations for roof modifications on historic resources (Attachment 7).

CONCLUSION:

The applicant is requesting approval to construct exterior alterations (roof and window modifications) to a pre-1941 single-family residence on property zoned R-1:8 located at 155 Hernandez Avenue. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The proposed work would be completed with a Building Permit and would not return to the Committee for further review. At the building permit stage, the applicant would need to confirm that the proposed work would not trigger a technical demolition of the existing historic residence, and that the height and floor area modifications would be compliant with Town Code.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Town Records
4. Project Overview
5. Property Pictures
6. Window Details
7. Sections 4.8.4 and 4.8.8, Residential Design Guidelines
8. Project Plans

***This Page
Intentionally
Left Blank***

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
 LOS GATOS RESEARCH

File address 155 Hernandez

2950

PARCEL MAP INFORMATION

Parcel # 510-40-152 Lot size: 0.95 front ft. x 796 ft. deep
 Lot shape: Rectangle APN L APN Rectangle with small rear jog APN Other APN
 Location: N APN S APN E APN W APN side of H St APN Ave APN Other APN
 distance to cross st: APN ft. N APN S APN E APN W APN from APN
 at NE APN NW APN SE APN SW APN corner of Chestnut

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # 4 Old lot # 2.6 + 7?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1910s Style Colonial Reviv. # stories APN
 Alterations chimney damaged
 Other APN

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8975 Effective date 12-87

APN 510-40-152	ADDRESS 155 HERNANDEZ	AV LG 95030	73 SQ. FEET	1,773	TOT ROOMS	6	DINING ROOM	1	POOL
SINGLE FAMILY	TRA 3-038	WIDTH 105	ADDN S/F	2	BEDROOMS	2	FAMILY ROOM	1	GARAGE S/F
	USE CODE 01	DEPTH 17	NO. FLOORS .17	2	BATHS	1.0	UTILITY RM	1	FIN BSMT
	YR BUILT	ACRES							256

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
<u>Survey</u>	1944	<u>13</u>	<u>Hernandez / Chestnut</u>	<u>36' x 61'</u>	

155 Hernandez
 EVALUATION Date 1905-24
 Contributor 65
 District Non-contrib
 Earliest known Owner Resident: Constance Nancy Simpson
 Context: Beaver or Moulton House
 possible residents 1925
 Alterations: E Moved APN
APN Raised APN Porch encl APN
APN Addition APN Siding APN
APN Windows APN Condition APN
 Designer: a b d

PHOTOS: Roll/frame # 030/24 Date 8 Feb 90



Previous Survey APN
 Gebhard: page # APN illustration page # APN
 Butler/Junior League APN

ARCHITECTURAL SURVEY
BUILDING RESEARCH

File address 15 Hernandez

PUBLISHED ANNOUNCEMENTS

Source: A&E Bulletin CA&BN Call Chron DPB Ed AB EK News PCA Other
 Volume Date Page
 Nature of announcement: Contract notice Notice of completion BP issued Photo Elev/sketch/rend'g Floor plan Arch't/cont'r pub Real est.
 Copy exactly: Owner Builder/Contractor Architect/Engineer Location Nature of work Cost

Initials Date

BUILDING PERMITS

Address requested

Source: Permit Register, Press-Dem., or . . .

Application Number	Date	Location	Cost	Use/ No. of Units	Owner & address	Builder/ contr. & address	Arch't/ engin'r & address	Description of work	Bldg's width/ depth/ height	Exterior Materials

Initials date

OTHER SOURCE (specify thoroughly)

Initials Date

SANBORN MAPS

Date	Vol/ page	Vac. or dif. bldg	Address	Color: yel, pnk, orange blu, gry green	Use	Patches Yes/ No	No. of stories	Height (ft.)	No. of bay windows	PorCH	Differences from today in: Use	Stories	Footprint	Date of constr.	Describe or sketch plan
1944	13		155 ^{ex 1/2} Harrison		D+A	Y	1		0	✓			1 1/2		
1928	13		1 Chestnut		D	N	1 1/2		0	0			D		gar
1944	13														
1909	6		no exposure												

Initials Date

CK 10-90

Anne Bloomfield
ARCHITECTURAL/CULTURAL SURVEY
NAME RESEARCH

ARCHITECTURAL HISTORY
 (415) 922-1063
 2229 WEBSTER STREET
 SAN FRANCISCO, CA 94115

Name (person, building, organization, etc) _____

Addresses associated with Name 155 Hernandez Cor poss. 20 Chestnut or...

Relevant dates: construction _____ birth _____ death _____ other _____

I. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
1935	2SD	Swanson, G S	rt. 1 box 30a Chestnut av
1930	2SD	Gustaf F (Nancy Y)	patr h " " rt 1 box 33
"	"	Robert Y Aeller	Bl of Italy " " " " " "
"	"	WF	" " " "
1930	SSD	Cote, Oliver R (Emma M)	h Hernandez av rt 1 box 29 (stet?)
1925	6SD	Beaver, Mrs EL	Chestnut av
1930	2SD	"	φ
1912	"	"	φ

/initials _____ date _____

BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.

Mark 'X' (info or 'φ' (nothing found) at each source you try. List findings below.

Los Gatos Library:

- City directories (name & street index)
- Historic Collection Index (green boxes)
- Thompson & West, 1876 (bio index)
- Pen Pictures, 1888 (bio index)
- Sunshine Fruit & Flowers, 1895 (bio index)
- Guinn, 1904 (bio index)
- Sawyer, 1922 (bio index)
- Extended index to Bruntz
- Bio index of Munroe Frazer, 1881 (Survey box)
- Photo collection (2 boxes)

Los Gatos Museum (Forbes Mill):

- Death records by year
- Funeral records (index cards to big books)
- Photo collection

California History Center, De Anza College:

- Biographical file
- Photo collection
- San Jose Historical Museum:
- Great Registers (of voters)
- Indexes
- Photo collection

Other sources:

- Indexes, California Historical Quarterly
- State Library Information Index (fiche)
- State Library-S.F. Newspaper Index ("")

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

***This Page
Intentionally
Left Blank***

13

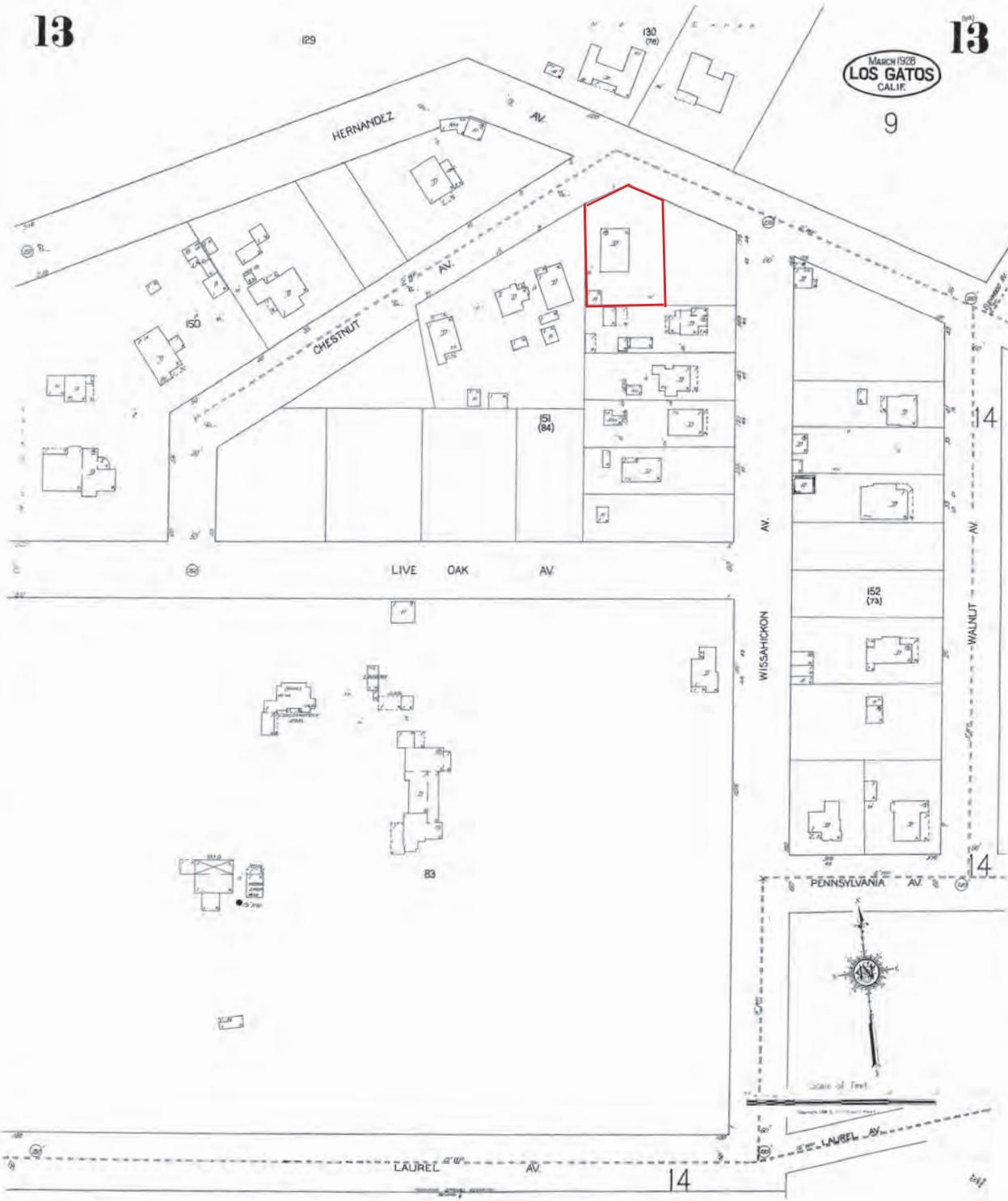
129

130
(76)

13

MARCH 1928
LOS GATOS
CALIF.

9



13

129

CAL. 520

13

MARCH 1928
LOS GATOS
CALIF.

56

9



TERRITORY SHOWN ON THIS SHEET
OUTSIDE OF CORPORATE LIMITS

LIVE OAK AV

WISSAHICKON AV

PENNSYLVANIA AV

LAUREL AV

4

4

14

***This Page
Intentionally
Left Blank***

Town of Los Gatos

PO Box 949
Los Gatos, California 95030
-06+66+1-

354-6872

January 2, 1972

Mr. Bradley Honholt
131 West Main Street
Los Gatos, California

Re: Subdivision Application M-72-26


Dear Mr. Honholt:

Please be advised that on December 20, 1972, the Los Gatos Planning Commission approved your Subdivision Application M-72-26 subject to the following conditions:

1. That no approval shall be effectuated until approval of a Variance for reduced lot depth on Parcel "B".
2. That the applicant dedicate right-of-way for a 20 foot property line radius at the intersections of Chestnut with Hernandez and Wissahickon and Hernandez.
3. That the applicant install an underground storm drain along the Wissahickon Avenue frontage of the property to the satisfaction of the Town Engineer, including catch basins and paving.
4. That the applicant pay all fees due the Town of Los Gatos, including storm drainage fees at \$1,000 per acre, and street tree fees at 40¢ per foot.
5. This approval shall expire in one (1) year if the conditions of approval have not been completed.

If we may be of any further assistance to you in this matter, please do not hesitate to call.

Very truly yours,


ROBERT L. DAVIS, JR.
Planning Director

RLD:ss

cc: Town Clerk
Department of Public Works
Mr. Joseph H. White

December 20, 1972

REPORT TO: The Planning Commission
FROM: Donald R. Ross, Assistant Planner
SUBJECT: Subdivision Application H-72-26
APPLICANT: Bradley J. Honholt
LOCATION: 155 Hernandez Avenue
ZONING: R-1:8,000 (Single Family Residential, 8,000 square foot minimum lot size)
REQUEST: Approval of a 2-lot subdivision.
EXISTING USE: Single Family Residential.
SURROUNDING LAND USE & ZONING: All surrounding properties are zoned for, developed with, or intended for development with single family residential dwellings.

PROPERTY SIZE & SHAPE: Subject property is irregular in shape, and contains 16,699 square feet.

DETAILS OF THE PROPOSAL:

The applicant is requesting approval of a two lot subdivision on this property in order to create an additional building site. While the subject property does contain two legal parcels with an existing property line running east-west across the property, the location of the existing structure over this line prohibits the development of the remainder without a readjustment of property lines.

Parcel "A" will contain the existing residence, have 8,400 square feet, and frontage onto both Chestnut Avenue and Hernandez Avenue. Parcel "B" will contain 8,299 square feet and have frontage onto both Hernandez Avenue and Wissahickon. A Variance Application to allow a reduction in minimum lot depth from 100 feet to 96 feet on Parcel "B" due to its somewhat irregular shape has also been submitted.

Both parcels contain extensive tree cover. The applicant has submitted plans that demonstrate that development of Parcel "B" will not require removal of any significant tree cover.

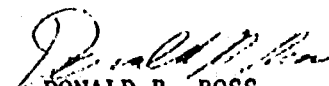
Planning Commission
December 20, 1972
Page 2

Because of the irregular shape of the property, Parcel "B" will have an average lot depth of 96 feet when the minimum required is 100 feet. A Variance Application to allow this reduction based on the irregular shape of the subject property was approved by the Committee on December 13, 1972.

RECOMMENDATION:

The Site and Architecture Committee considered this matter at their meeting of December 13, 1972, and voted to forward the subdivision application to the Planning Commission with a recommendation of approval, subject to the following conditions.

1. That the applicant dedicate right-of-way for a 20-foot property line radius at the intersections of Chestnut with Hernandez and Wissahickon and Hernandez.
2. That the applicant install an underground storm drain along the Wissahickon Avenue frontage of the property to the satisfaction of the Town Engineer, including curb inlet and necessary paving.
3. That the applicant pay all fees due the Town of Los Gatos, including storm drainage fees at \$1,000 per acre and street tree fees at 40¢ per foot.
4. This approval shall expire on one (1) year if the conditions of approval have not been completed.
5. That a Parcel Map be filed satisfactory to the Town Engineer.


DONALD R. ROSS
Assistant Planner

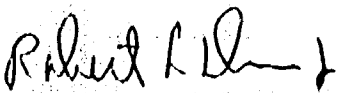
DRR:ss

July 5, 1972

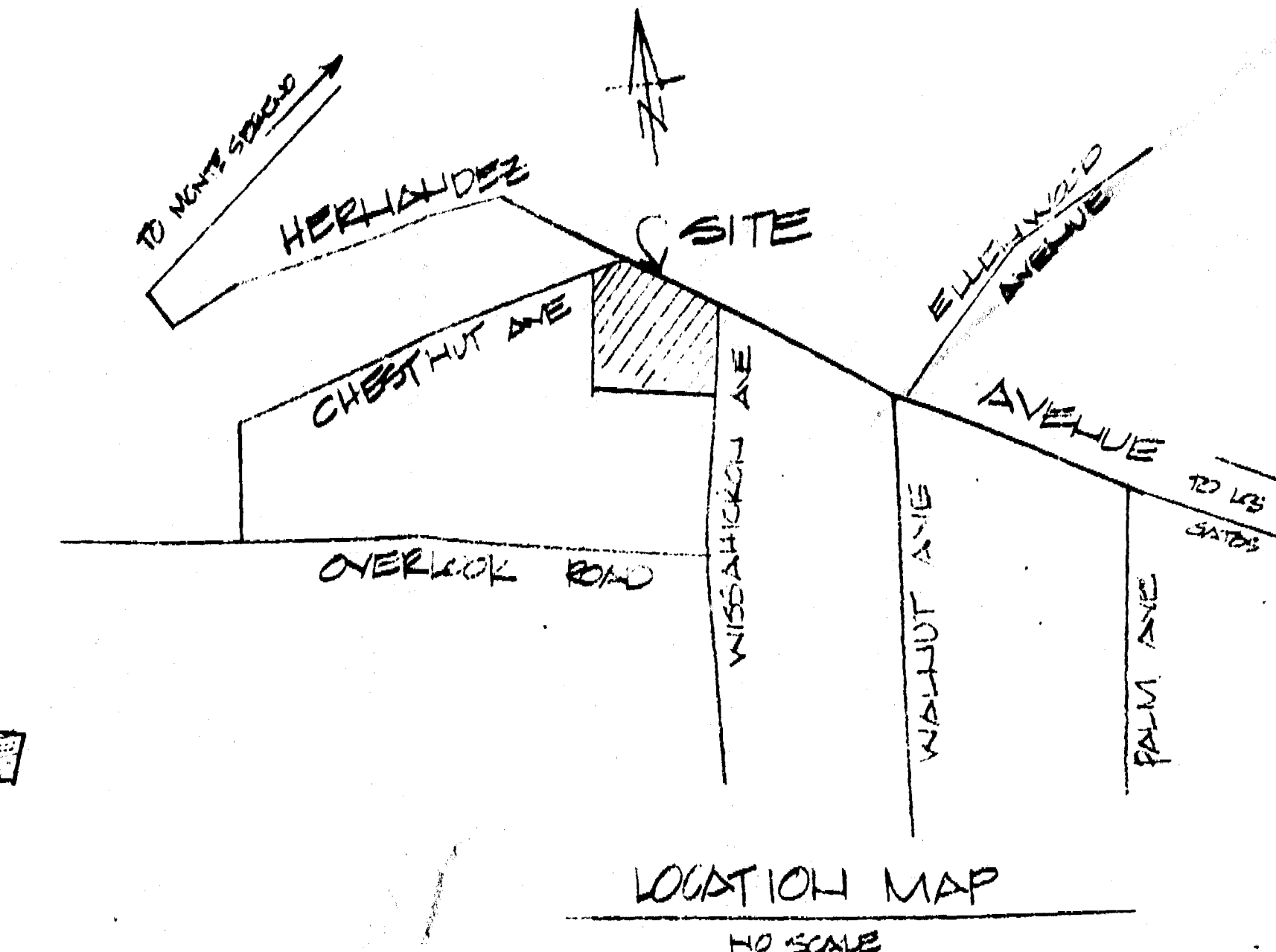
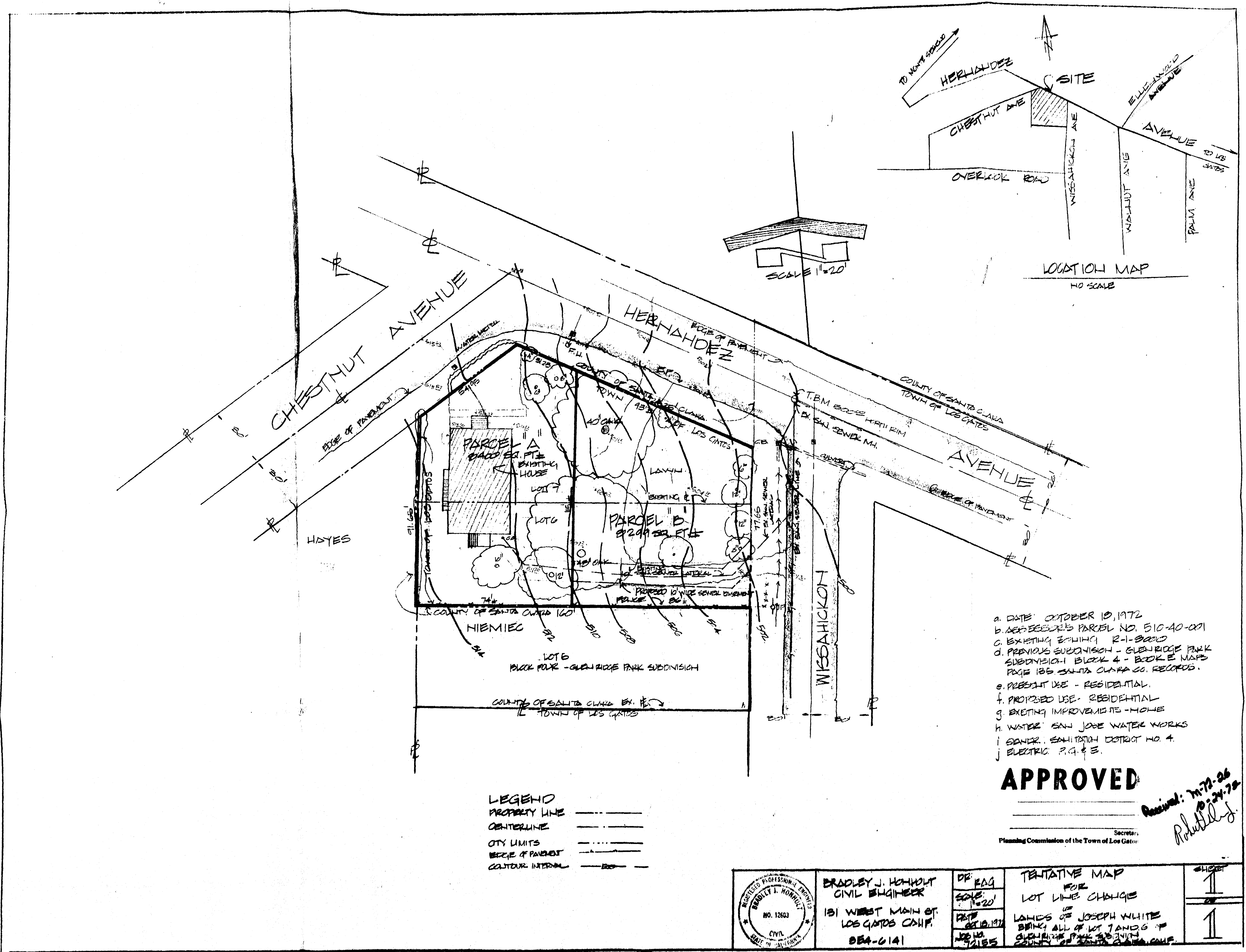
REPORT TO: The Planning Commission
FROM: Robert L. Davis, Jr., Planning Director
SUBJECT: Zone Change Z-72-7
APPLICANT: Town of Los Gatos
LOCATION: 155 Hernandez Avenue
REQUEST: Approval of R-1:8,000 (Single Family Residential, 8,000 square foot minimum lot size) zoning for recently annexed property.

REMARKS: This subject property contains .4 acres, is situated on Hernandez Avenue between Chestnut Avenue and Wissahickon Avenue, and was annexed to the Town effective April 27, 1972. Pursuant to Section 2.4 of the Ordinance, an area annexed immediately is classified as R-1 until a zoning plan for said area has been adopted. This application is then to retain the R-1:8,000 zone classification which existed on the property prior to annexation, and which is consistent with zoning on adjacent properties both within and outside the Town.

RECOMMENDATION: The staff would recommend Zone Change Application Z-72-6 be forwarded to the Town Council with a recommendation for approval


ROBERT L. DAVIS, JR.
Planning Director

RLD:jk



- a. DATE OCTOBER 10, 1972
- b. NECESSARY PARCEL NO. 510-40-001
- c. EXISTING BUILDING R-1-3000
- d. PREVIOUS SUBDIVISION - GLEN RIDGE PARK SUBDIVISION BLOCK 4 - BOOK E MAPS PAGE 135 SANTA CLARA CO. RECORDS.
- e. PRESENT USE - RESIDENTIAL.
- f. PROPOSED USE - RESIDENTIAL
- g. EXISTING IMPROVEMENTS - MOHE
- h. WATER - SAN JOSE WATER WORKS
- i. SEWER - SANITATION DISTRICT NO. 4.
- j. ELECTRIC P.G. & E.

LEGEND
 PROPERTY LINE ————
 CENTERLINE ————
 CITY LIMITS ————
 EDGE OF PAVEMENT ————
 CONTOUR INTERNAL ————

APPROVED
 Planning Commission of the Town of Los Gatos
 Received: 7-72-26
 10-24-72
Robert J. ...

	BRADLEY J. HOHOLT CIVIL ENGINEER	DR. EAG	TENTATIVE MAP	
	151 WEST MAIN ST. LOS GATOS CALIF. 054-0141	SCALE 1"=20'	FOR LOT LINE CHANGE	
		DATE 10/10/72	LANDS OF JOSEPH WHITE	
		JOB NO. 72155	BRING ALL OF LOT 7 AND 8 TO GLEN RIDGE PARK SUBDIVISION COUNTY OF SANTA CLARA CALIF.	

TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B97-000942

Work Description: REMOVE (E) BASEMENT AND RECONSTRUCT (N) BASEMENT

Building Address: 155 HERNANDEZ AV	Status: ISSUED
Owner: [REDACTED]	Applied: 10/06/1997
Address: 155 HERNANDEZ AV	Approved: 03/18/1998
City: LOS GATOS CA	Issued: 03/18/1998
Contractor: SUMMIT REMODELING CO. INC.	Expires: 09/18/1998
License: 361551	
Address: 381 MCOLINCEY LANE	
City: CAMPBELL, CA	
Business Lic.: 97020048	
Arch\Eng\Design:	
License:	
Address:	
City:	

Valuation: 81,292.82
 Total Sq.Ft.: 1,568 Livable Sq.Ft.: 806
 Class Code: 434 Bldg Count: 001 Unit Count: 000

***** PERMIT FEES *****			
Permit Issuance	25.00	Park Tax	32.24
Building Permit	780.00	Planning Plan/Ck.	156.00
Title-24	390.00	Micro Planning	.00
Seismic Tax	8.13	Storm Drain Eng.	.00
Plan Check	507.00	Road Impact Fee	163.20
Micro Building	24.00	Computer Services	31.20
Construction Tax	145.08	Electrical Fee	
Utility Tax	145.08	Plumbing Fee	
Gen Pln Updt	383.36	Mechanical Fee	

Total Calculated Fees:		2,790.29	
Total Additional Fees:		.00	
Total Fees Due:		2,790.29	
Total Payments:		334.10	
BALANCE DUE:		2,456.19	

CONTRACTORS DECLARATION
 I certify that I am properly licensed under the State of California's Contractors License Law.
 Signature: *[Signature]*

EMPLOYER'S COMPENSATION DECLARATION
 A. I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
 Signature: *[Signature]*

CERTIFICATE OF EXEMPTION FROM EMPLOYER'S COMPENSATION INSURANCE
 B. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
 Signature: _____

CERTIFICATION OF PERMIT ISSUANCE
 I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for the purposes.
 Signature: *[Signature]*

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95030

BUILDING INSPECTION DEPARTMENT • PHONE 384-8875

INSPECTION REQUESTS PHONE 384-8877

B 19820

1

BUILDING ADDRESS 155 HERNANDEZ
STREET, AVE. & V.O. ETC.
SUITE OR APT. NO.

USE OF EXISTING BUILDING RES. **DATE** 9-21-90

OWNER ROBT. HERALD
ADDRESS [REDACTED] **STATE OR APT. NO.**

CITY LOS GATOS **ZIP** 95031

ARCHITECT () ENGINEER () DESIGNER () **PH**

ADDRESS **STATE OR APT. NO.**

CITY **ZIP**

CONTRACTOR COMPANY R. ELLIOTT
ADDRESS P.O. Box 33301
CITY LOS GATOS **ZIP** 95031

STATE LICENSE 109390 **TOWN LICENSE** 893394

TYPE OF WORK	RES.	COMV.	ADDING SQUARE FOOTAGE
NEW BUILDING	<input type="checkbox"/>	<input type="checkbox"/>	BASEMENT 50 SF
ROOM ADDITION	<input type="checkbox"/>	<input type="checkbox"/>	FIRST FLOOR 50 SF
2-3 STORY ROOM ADDITION	<input type="checkbox"/>	<input type="checkbox"/>	2-3 FLOOR 50 SF
ALTER REPAIR RENOVEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	CASING 50 SF
POOL () GARAGE ()	<input type="checkbox"/>	<input type="checkbox"/>	50 SF
DEMOLITION	<input type="checkbox"/>	<input type="checkbox"/>	50 SF
OTHER			TOTAL 50 SF

NO. OF STORED **SIZE OF LOT** **NO. OF UNITS**

EXISTING SQUARE FOOTAGE

PERMIT APPROVALS

REQ. FINAL INSP.	DEPT.	DATE
<input type="checkbox"/>	PLANNING	/ /
<input type="checkbox"/>	DEPT.	/ /
<input type="checkbox"/>	ENGINEERING	/ /
<input type="checkbox"/>	DEPT.	/ /
<input type="checkbox"/>	FIRE	/ /
<input checked="" type="checkbox"/>	DEPT.	/ /
<input type="checkbox"/>	BUILDING	9/24/90
<input type="checkbox"/>	DEPT.	

FRONT S.B.	FEES AND TAXES		
REAR S.B.	SEWER ISSUANCE	10-4230	\$ 15.00
LEFT S.B.	BUILDING PERMIT	10-4230	
RIGHT S.B.	TITLE TAX	10-4231	
USE ZONE	SEISING TAX	56-4810	
	PLANNING		
SEWER	SEWER BUILDING	10-4592	
TYPE GROUP			
TYPE CONST.	CONSTRUCTION TAX	33-4110	
FEE SPRINKLER	SPRINKLER TAX	34-4110	
PCA	PAVEMENT TAX	35-4110	
PJE			
PCHC			
PC NEW RES BLDG	WOOD PLANTING	10-4591	
PC NEW COMM. RES.	WOOD ENG.	10-4593	
PC RES ADD.	STREET LIGHTING		
CCFO			
TYPICALLY			
		TOTAL \$	350

INSPECTION RECORD

12/19/90 I.P. FOUND. (P)

2-27-91 I.P. CHIMNEY FIA STRIPS (P)

@ floor level of attic 401ST LANE (P)

4/24/91 - water PENETRATED SHED ROOF (P)

REPAIR OK FOR TIME SPAN 401ST LANE (P)

HAZARDOUS MATERIALS DECLARATION If this application is for commercial use indicate if hazardous materials are present. () Yes () No

CONTRACTORS DECLARATION

I CERTIFY THAT I AM A FULLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW

SIGNATURE X *[Signature]*

COMPLETE A OR B

WORKERS COMPENSATION DECLARATION

IF THE EMPLOYER HAS AN AGENCY OF WORKERS COMPENSATION INSURANCE A CERTIFIED COPY OF CERTIFICATE OF THAT INSURANCE MUST BE FURNISHED AND ON FILE WITH THE TOWN ENGINEER'S OFFICE THROUGHOUT THE JOB

SIGNATURE X *[Signature]*

CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE

I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED I SHALL EMPLOY ANY PERSON WHO IS MAINTAINED AS TO BE COME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA

SIGNATURE X *[Signature]*

I CERTIFY THAT I HAVE READ THE DECLARATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATED TO BUILDING CONSTRUCTION AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES

X *[Signature]*

VALIDATION

6630111 09/29/90 13159

APPROVALS	DATE	REMARKS
INSPECTION	10-3-90	(P)
INSPECTION	4/24/91	(P)

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95030
 BUILDING INSPECTION DEPARTMENT • PHONE 384-6878

INSPECTION REQUESTS PHONE 384-6877

B 23995

1

BUILDING ADDRESS: 115 HERNDON WAY
STREET, AVE, BLVD, ETC: 115 HERNDON WAY
SUITE OR APT. NO.: 115
DATE: 10-2-92
OWNER: HEROLD
PH:
CITY: LOS GATOS
ZIP:
ARCHITECT / ENGINEER / DESIGNER:
PH:
ADDRESS:
SUITE OR APT. NO.:
CITY:
ZIP:
CONTRACTOR: WAGNER
ADDRESS: 465 N. SANTA CAROLINE AVE
CITY: LOS GATOS
STATE LICENSE: 481299
TOWN LICENSE: 901759
CONTRACT FOOTAGE:
ESTATE SPILLAGE: 2700
DESCRIPTION OF WORK: REMOVE EXISTING ROOFS WEST STRINGS
 INSTALL NEW 140 YR ROOFS
 94 NOBS. 20"
 58005² CALCULATED VALUE 27005²
LEVELS / STORY: NONE
HAZARDOUS MATERIALS DECLARATION:
CONTRACTOR'S DECLARATION:
COMPLETE AND WORKMANSHIP GUARANTEE:
STATEMENT A:
STATEMENT B:

PERMIT APPROVALS:
 REC'D FINAL PLAN DEPT. / DATE: / /
 REC'D FINAL ENFORCEMENT DEPT. / DATE: / /
 REC'D FINAL FIRE DEPT. / DATE: / /
 REC'D FINAL BUILDING DEPT. / DATE: / /
FEES AND TAXES:

FRONT SB	PERMIT ISSUANCE	10-4230	\$ 20.00
REAR SB	BUILDING PERMIT	10-4230	57.00
LEFT SB	TITLE - 04	10-4231	
RIGHT SB	SEWER TAX	58-4810	102
USE ZONE	PLAN CHECK		47
SEWER NO.	ACQUISITION	10-4592	110
TYPE GROUP	QUINTESSENTIAL	33-4110	
TYPE GROUP	UTILITY TAX	34-4110	
TYPE GROUP	PARKING	35-4110	
TYPE GROUP	WATER PLANS	10-4591	
TYPE GROUP	ADDEND	10-4593	
TYPE GROUP	STANDARD		
TOTAL \$			18.00

PERSONAL RECORD:
 10-2-92 Smoke Detector Required
 10-12-92 TRIM WORK COMPLETED
 10-12-92 ROOFING COMPLETED
 FINAL PERMITS CHECK REQUIRED
TOWN OF LOS GATOS:
 VALIDATION PAID 10/02/1992 \$1781
 \$27860

**TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT**

Permit Number: B95-000119

Work Description: FOUNDATION FOR FUTURE CARPORT & NEW DRIVEWAY SLAB

Building Address: 155 HERNANDEZ AV
 Owner: [REDACTED]
 Address: 155 HERNANDEZ AV
 City: LOS GATOS CA
 Contractor: [REDACTED]
 License: [REDACTED]
 Address: 155 HERNANDEZ AV
 City: LOS GATOS CA
 Business Lic.: [REDACTED]
 Arch\Eng\Design: [REDACTED]
 License: [REDACTED]
 Address: [REDACTED]
 City: [REDACTED]

Status...: ISSUED
 Applied.: 03/14/1995
 Approved: 04/10/1995
 Issued...: 04/10/1995
 Expires..: 10/07/1995

Valuation: 5,000.00

Total Sq.Ft.: [REDACTED] Livable Sq.Ft.: [REDACTED]
 Class Code: 434 Bldg Count: 000 Unit Count: 000

***** PERMIT FEES *****			
Permit Issuance:	22.00	Park Tax:	.00
Building Permit:	100.50	Planning Plan Ck:	20.10
Title-24:	.00	Micro Planning:	.00
Seismic Tax:	.50	Storm Drain Eng.:	.00
Plan Check:	65.33	Hauling Fee:	.00
Micro Building:	13.20	Computer Services:	4.02
Construction Tax:	.00	Electrical Fee:	[REDACTED]
Utility Tax:	.00	Plumbing Fee:	[REDACTED]
Gen Pln Updt:	.00	Mechanical Fee:	[REDACTED]

 Total Calculated Fees: 225.65
 Total Additional Fees: .00
 Total Fees Due: 225.65
 Total Payments: 65.33
 BALANCE DUE: 160.32

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X _____

CERTIFICATE OF PROTECTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to be in breach of the Worker's Compensation Laws of the State of California.

Signature X *Alberto Recalde*

CERTIFICATE OF PERMIT ISSUANCE

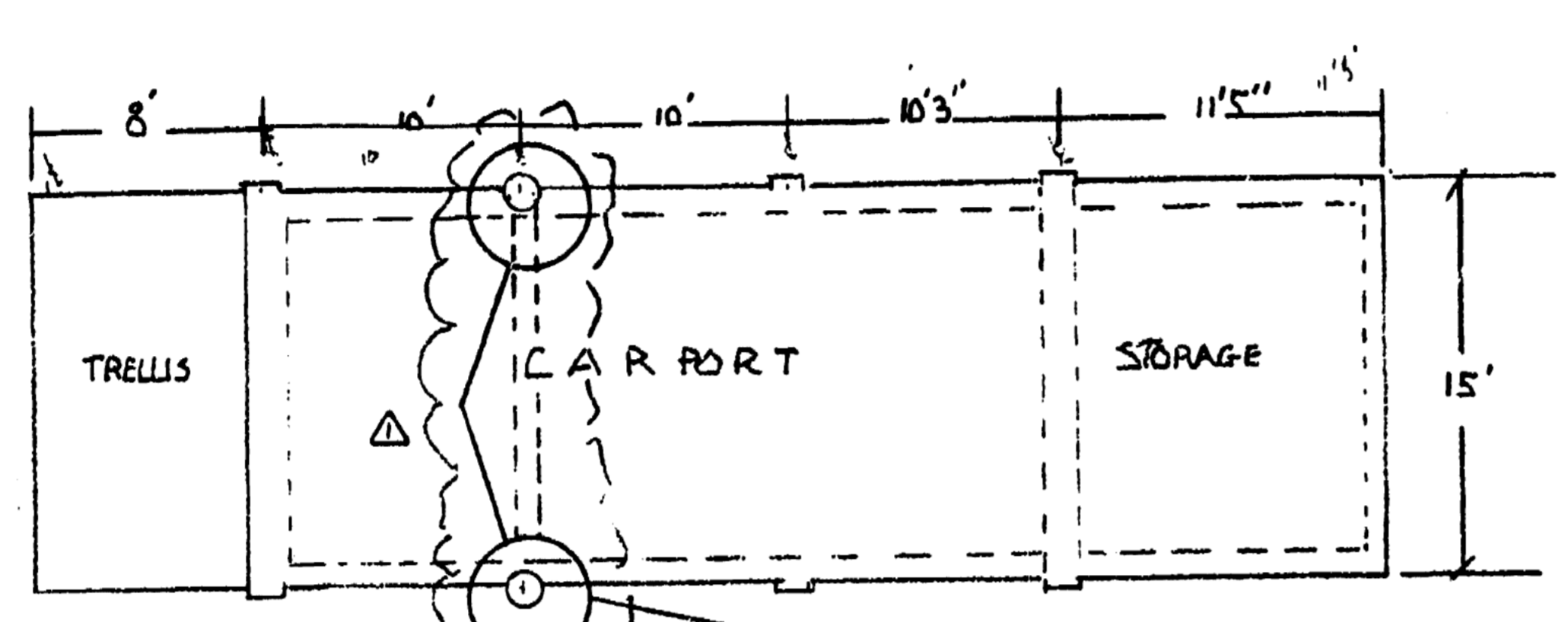
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X *Alberto Recalde*

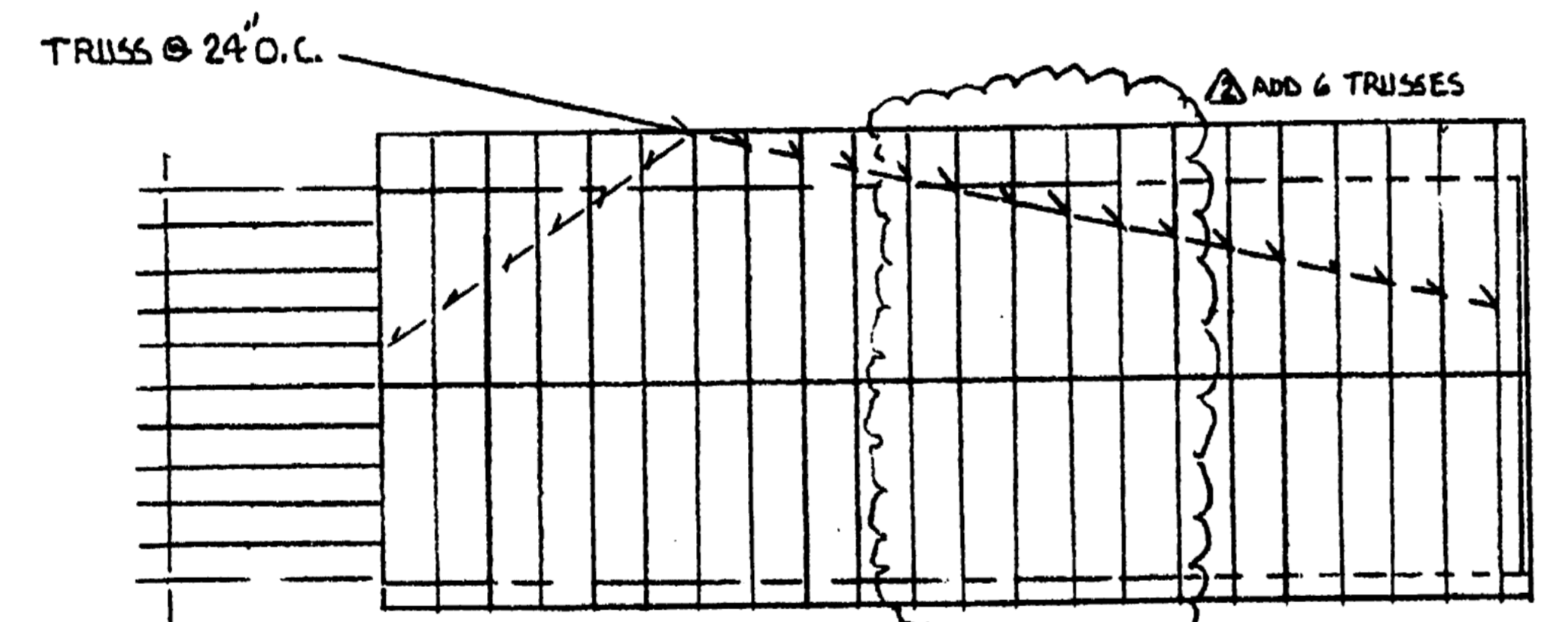
B98-001287

PLANNING DEPARTMENT

Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
BY Bill B DATE 12-10-98
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR
TO BE AN AFFIDAVIT OF VALIDATION OF ANY TOWN OR
STATE LAW.

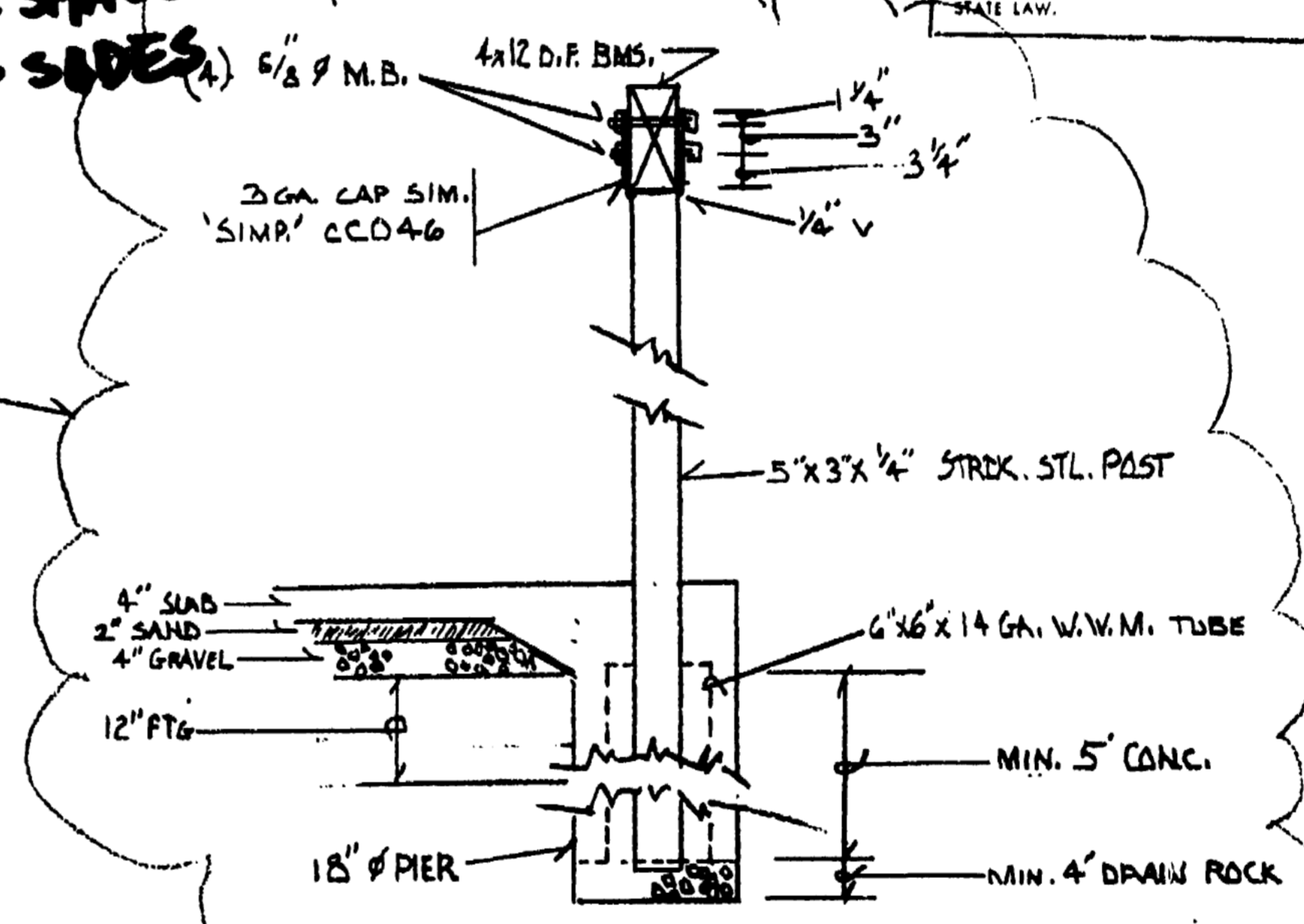


FOUNDATION PLAN



REV. ROOF FRAMING PLAN

ma 12/16/98
***SHALL REMAIN OPEN ON 3 SIDES**



DET. @ STEEL COLS. 2 PLACES

RECEIVED
DEC 1 1998

TOWN OF LOS GATOS
BUILDING/ENGINEERING SERVICES
11-17-98

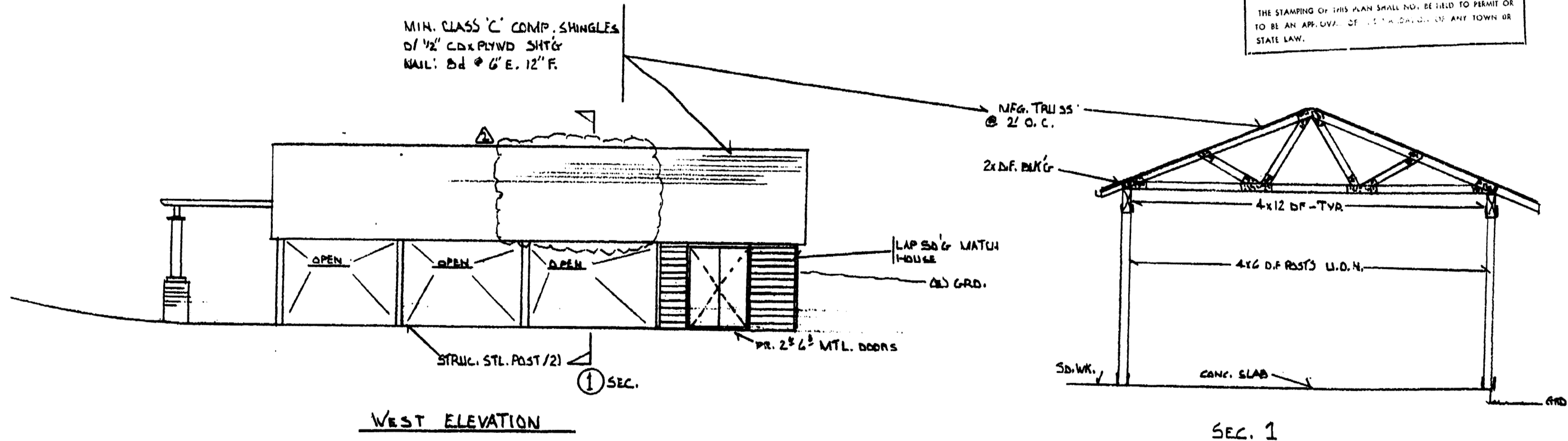
EXISTING WALL	SWINGING DOOR	WATER HEATER	HOSE BIB	FAN	LIGHT	AD. ROOM OPENING	CARBARI 185 HERNANDEZ AVE. LOS GATOS, CA. SUMMIT CONSTRUCTION CO., INC. 381 McClintock Lane Campbell, CA 95008 (408) 377-8282 Lic. # 361891	SHEET 1 of 2 OF
NEW WALL	FRENCH DOOR	FA FURNACE	TUB VALVE	FAN LIGHT	WALL LIGHT	FIN. FINISH		
REMOVED WALL	BYPASS DOOR	HEAT REGISTER	GAS VALVE	FAN LIGHT HEAT	THERMOSTAT	SM. BRICK		
CLOSED OPENING	INFOLD DOOR	RETURN AIR	RECEPTACLE	DOWN LIGHT	SMOKE DETECTOR	CONCRETE		
WINDOW	POCKET DOOR	WALL FURNACE	GROUND FAULT	SWITCH		CEILING		
			120 VOLT OUTLET	3-WAY SWITCH		ROOFING		

SAN JOSE BLUEPRINT CO.
PRINTED ON 1000H-8

© Summit Construction, 1997

B98-001287

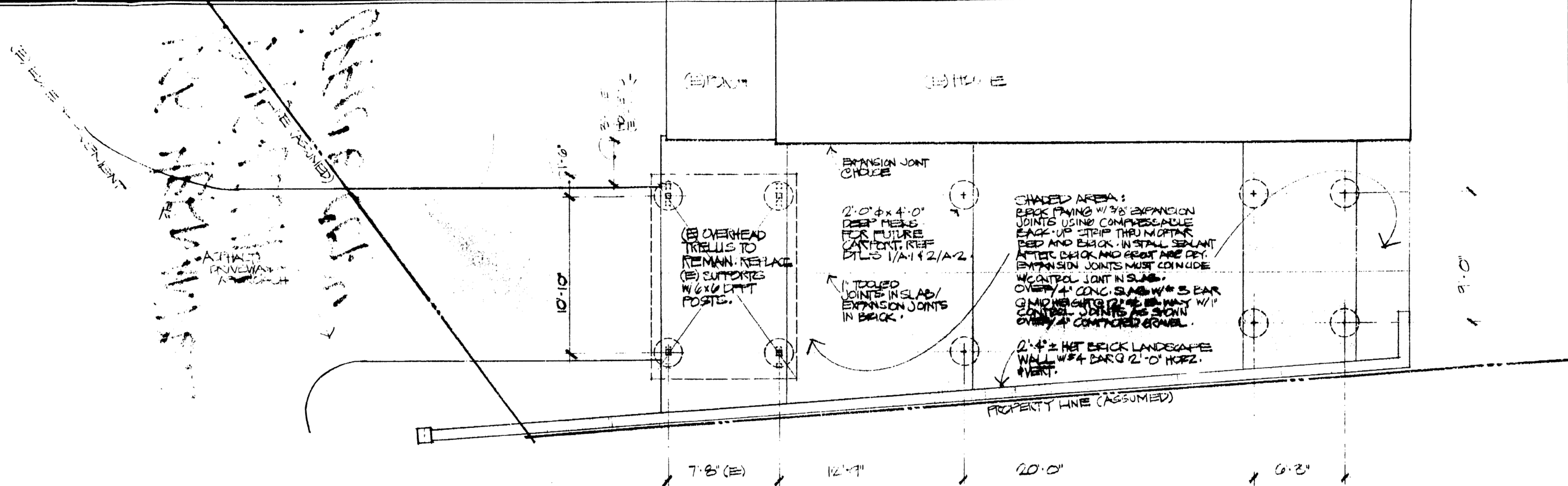
Town of Los Gatos
 BUILDING DEPARTMENT
PLAN APPROVED
 BY *Bill B.* DATE 12-10-98
 THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR
 TO BE AN APPROVAL OF THE QUALITY OF ANY TOWN OR
 STATE LAW.



EXISTING WALL	SHINGING DOOR	WATER HEATER	HOSE RIBB	FAN	LIGHT	10. EXISTING OPENING 11. REMOVED OPENING 12. FINISH OPENING 13. FINISH OPENING 14. FINISH OPENING 15. FINISH OPENING 16. FINISH OPENING 17. FINISH OPENING 18. FINISH OPENING 19. FINISH OPENING 20. FINISH OPENING 21. FINISH OPENING 22. FINISH OPENING 23. FINISH OPENING 24. FINISH OPENING 25. FINISH OPENING 26. FINISH OPENING 27. FINISH OPENING 28. FINISH OPENING 29. FINISH OPENING 30. FINISH OPENING 31. FINISH OPENING 32. FINISH OPENING 33. FINISH OPENING 34. FINISH OPENING 35. FINISH OPENING 36. FINISH OPENING 37. FINISH OPENING 38. FINISH OPENING 39. FINISH OPENING 40. FINISH OPENING 41. FINISH OPENING 42. FINISH OPENING 43. FINISH OPENING 44. FINISH OPENING 45. FINISH OPENING 46. FINISH OPENING 47. FINISH OPENING 48. FINISH OPENING 49. FINISH OPENING 50. FINISH OPENING 51. FINISH OPENING 52. FINISH OPENING 53. FINISH OPENING 54. FINISH OPENING 55. FINISH OPENING 56. FINISH OPENING 57. FINISH OPENING 58. FINISH OPENING 59. FINISH OPENING 60. FINISH OPENING 61. FINISH OPENING 62. FINISH OPENING 63. FINISH OPENING 64. FINISH OPENING 65. FINISH OPENING 66. FINISH OPENING 67. FINISH OPENING 68. FINISH OPENING 69. FINISH OPENING 70. FINISH OPENING 71. FINISH OPENING 72. FINISH OPENING 73. FINISH OPENING 74. FINISH OPENING 75. FINISH OPENING 76. FINISH OPENING 77. FINISH OPENING 78. FINISH OPENING 79. FINISH OPENING 80. FINISH OPENING 81. FINISH OPENING 82. FINISH OPENING 83. FINISH OPENING 84. FINISH OPENING 85. FINISH OPENING 86. FINISH OPENING 87. FINISH OPENING 88. FINISH OPENING 89. FINISH OPENING 90. FINISH OPENING 91. FINISH OPENING 92. FINISH OPENING 93. FINISH OPENING 94. FINISH OPENING 95. FINISH OPENING 96. FINISH OPENING 97. FINISH OPENING 98. FINISH OPENING 99. FINISH OPENING 100. FINISH OPENING	CARPORT 1528 MANANDET AVE LOS GATOS, CA 11-18-98 SUMMIT CONSTRUCTION CO., INC. 381 McElroy Lane Campbell, CA 95008 (408) 377-8252 Lic. # 201851	SHEET 2 of 2 OF
---------------	---------------	--------------	-----------	-----	-------	--	--	-----------------------

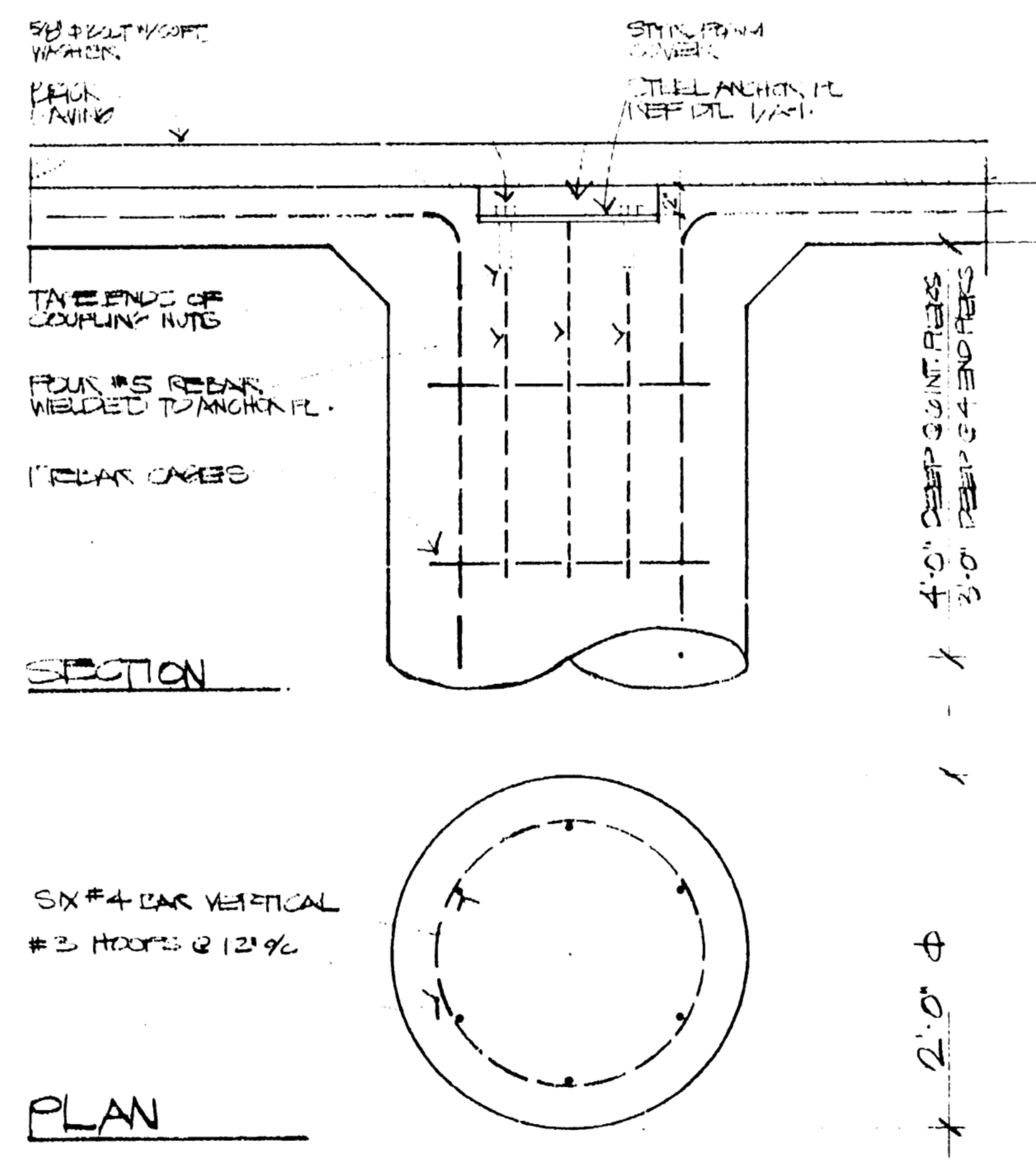
SAN JOSE BLUEPRINT CO
 PRINTED ON 100% R

© Summit Construction, 1987

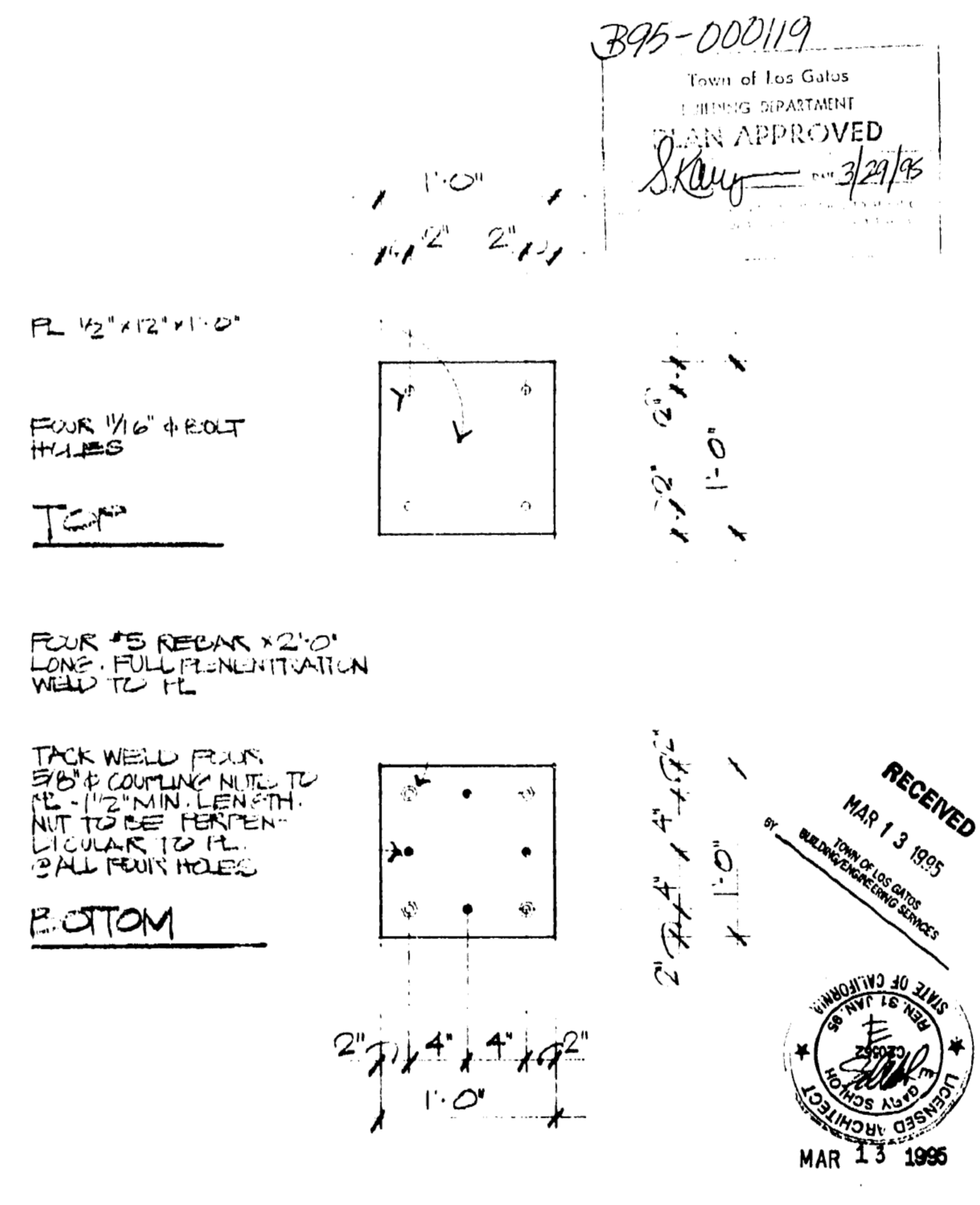


PAVING PLAN

1/4" = 1'-0"



② FOOTING DETAIL
1/2" = 1'-0"



① STEEL ANCHOR PLATE DETAILS
1/2" = 1'-0"

DATE		NO.		DATE		REVISION	



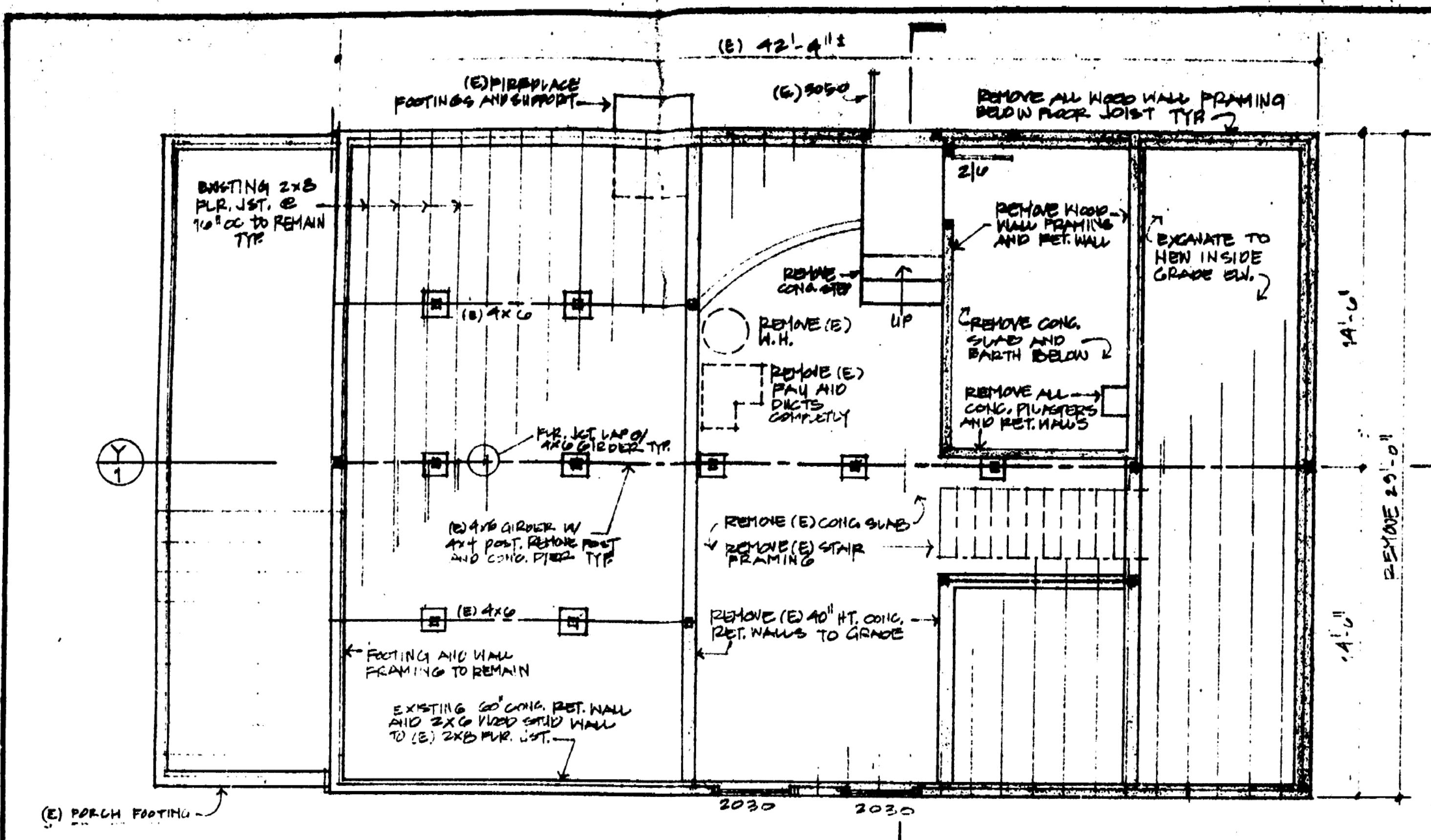
RESIDENCE
BRICK DRIVEWAY
188 HERNANDEZ AV. LOS GATOS.

DATE	
DRAWN	
CHECK	
JOB NO.	
SHEET	A.1

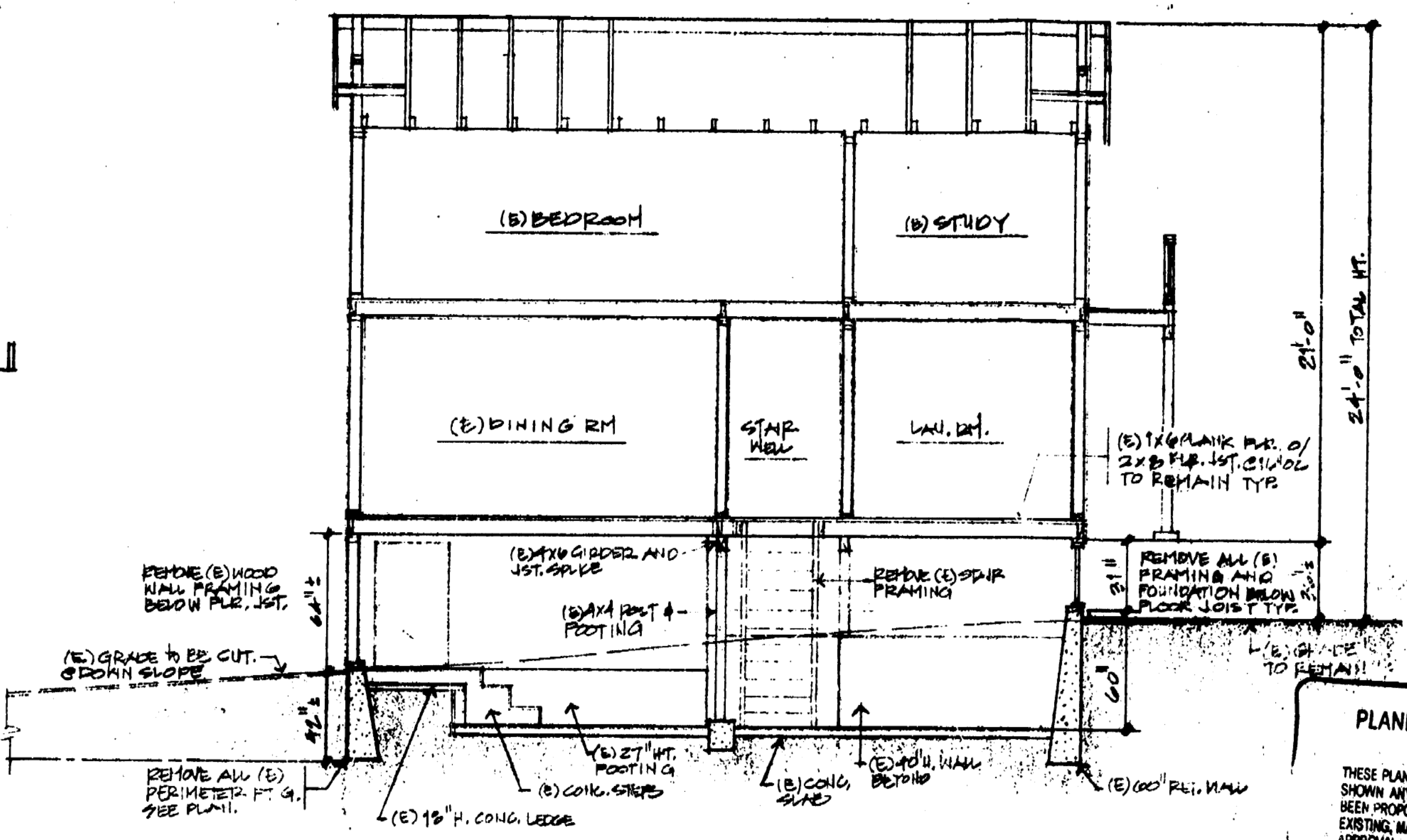
218 BEAN AVE. LOS GATOS, CA 95030 408-354-4551



24X



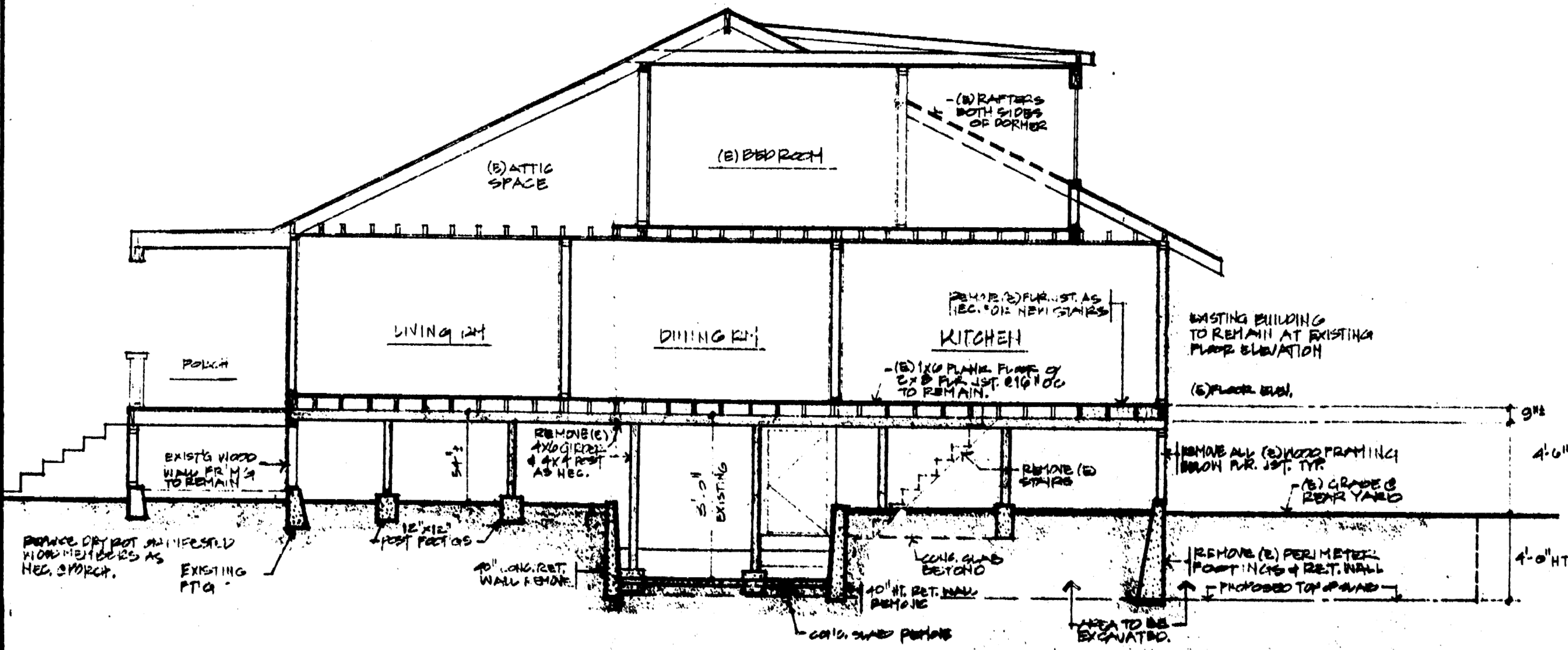
EXISTING FLOOR PLAN AND FOUNDATION PLAN 1/4" = 1'-0"
 (E) = EXISTING, (R) = REMOVE, (N) = NEW



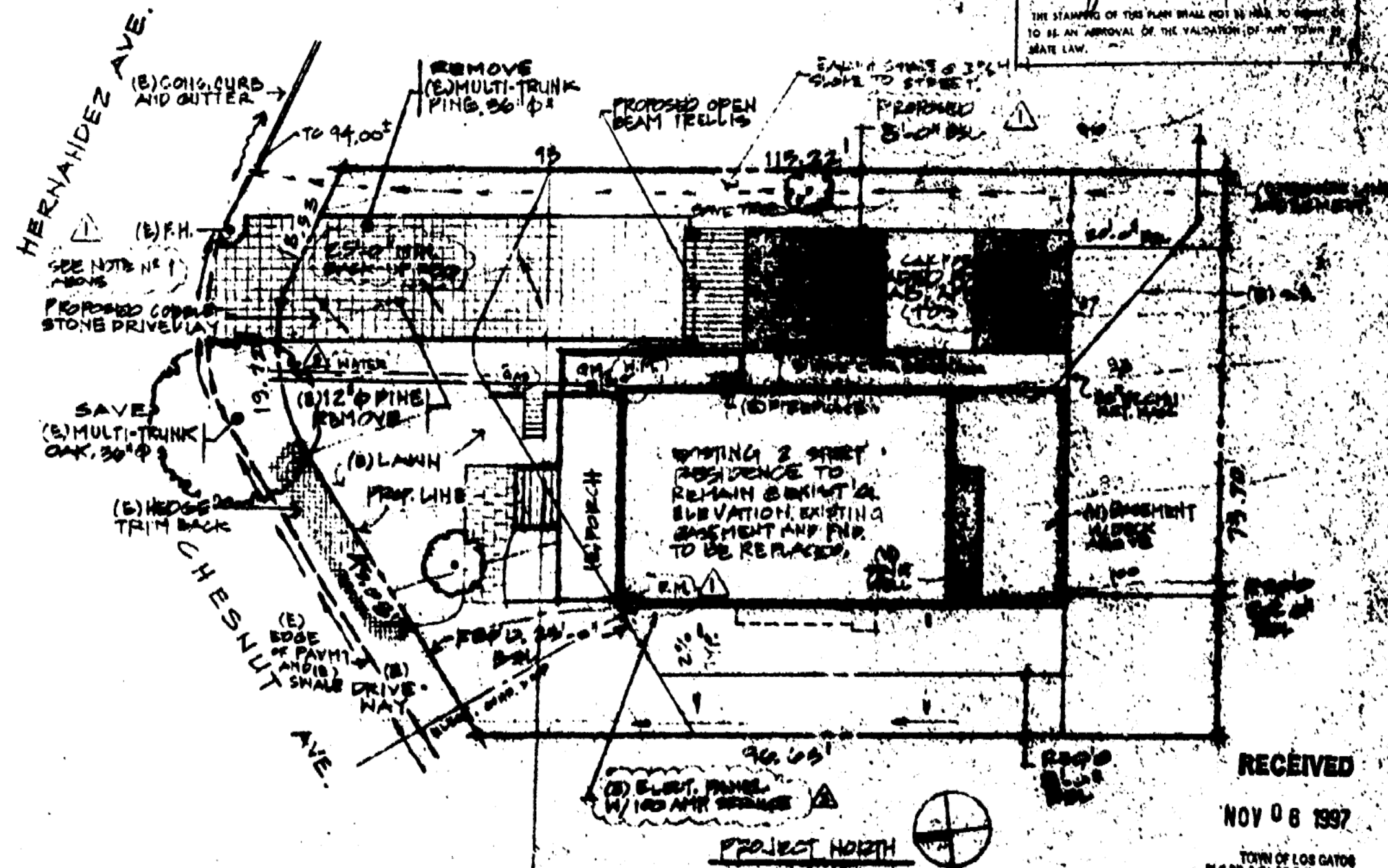
X-X CROSS SECTION 1/4" = 1'-0"
 EXISTING

PLANNING DEPARTMENT APPROVED
 THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.

- NOTES:
1. ALL WORK IN THE PUBLIC RIGHT OF WAY, INCLUDING ANY NECESSARY ENCROACHMENT PERMITS.
 2. PROPOSED GARAGE PERMITTED SEPARATE PERMIT.

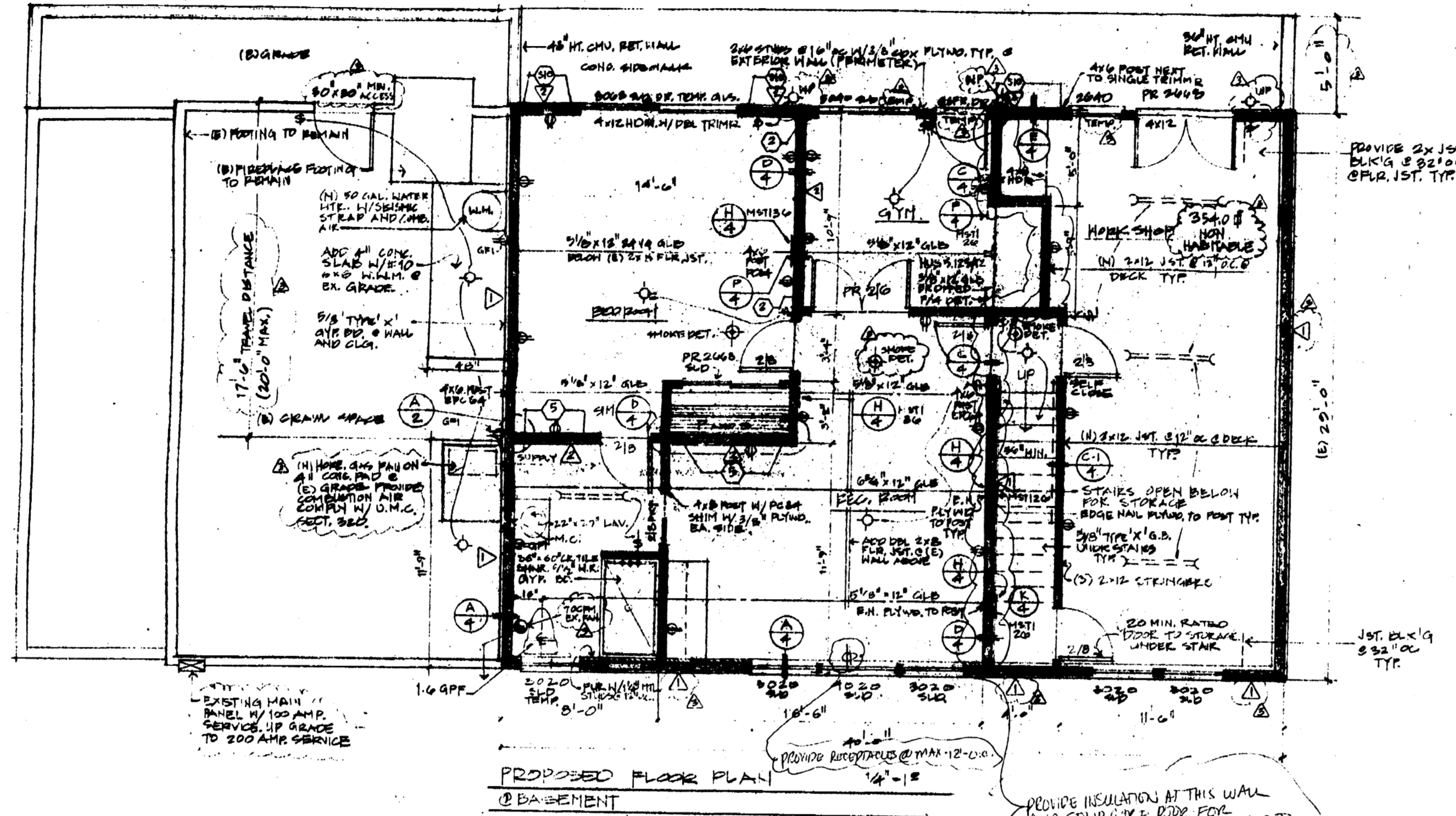


Y-Y CROSS SECTION 1/4" = 1'-0"
 EXISTING BASEMENT



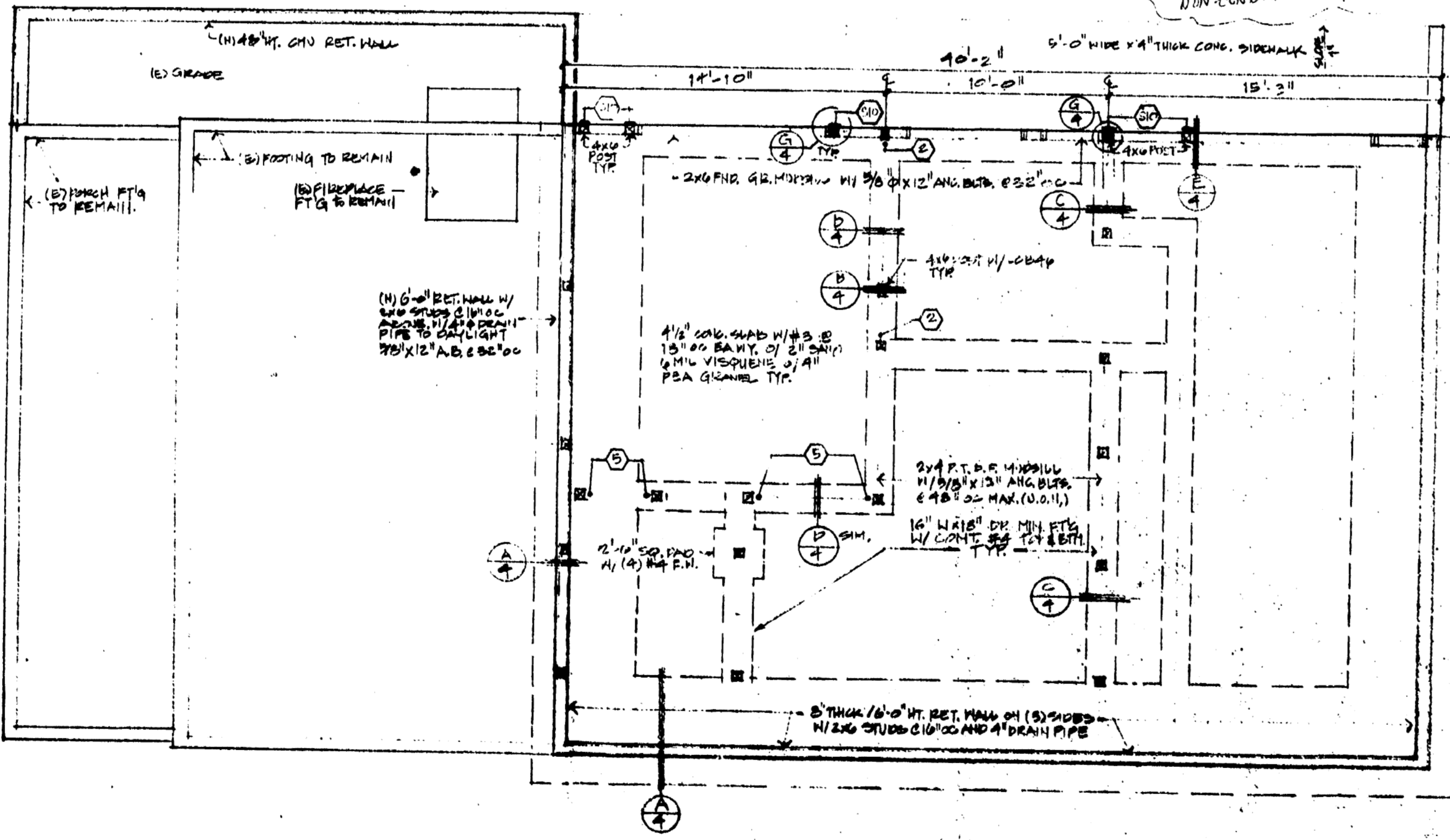
SITE PLAN 1/4" = 1'-0"
 RECEIVED NOV 06 1997
 Resolution No. 897-000992
 ALL WORK SHALL CONFORM TO:
 1994 U.B.C.
 1994 U.P.C.
 1994 U.M.C.
 1995 N.B.C.
 TITLE 24 SUB CHAPTER 5
 PROPOSED NEW FOUNDATION/BASEMENT: 11'00" x 20'00" (TYPICAL) PERMITTED TO BE PERMITTED PER. AREA (N) PERMITTED (E) PERM. & EXISTING MET. WALLS & PLUNGERS PER. AREA = 27'00" x 11'00" (TYPICAL) (E) EXISTING MET. WALLS & PLUNGERS PER. AREA = 27'00" x 11'00" (TYPICAL) PROPOSED GARAGE PERMITTED SEPARATE PERMIT.

PLANNING DEPARTMENT APPROVED
 THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.



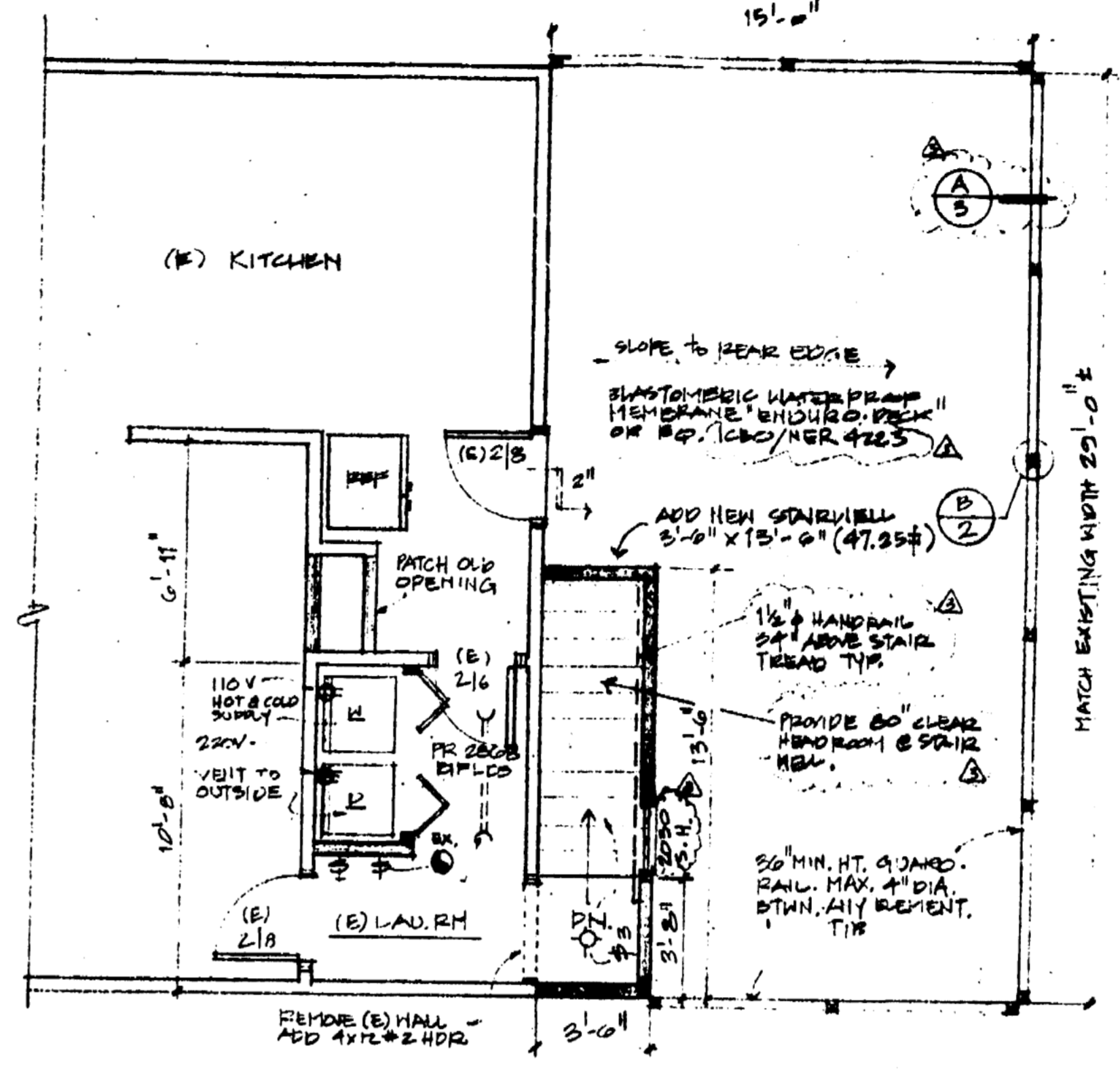
PROPOSED FLOOR PLAN
② BASEMENT

PROVIDE INSULATION AT THIS WALL AND SOLID CORE ROOF FOR SEPARATION FROM CONDITIONED TO NON-CONDITIONED SPACE



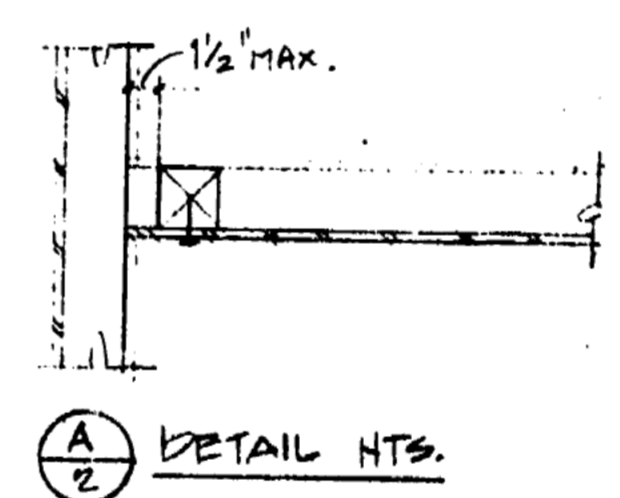
PROPOSED FOUNDATION PLAN 1/4\"/>

- HOARDING SCHEDULE**
- ① SIMPSON: STHD10
 - ② SIMPSON: HD2A
 - ③ SIMPSON: HD5A

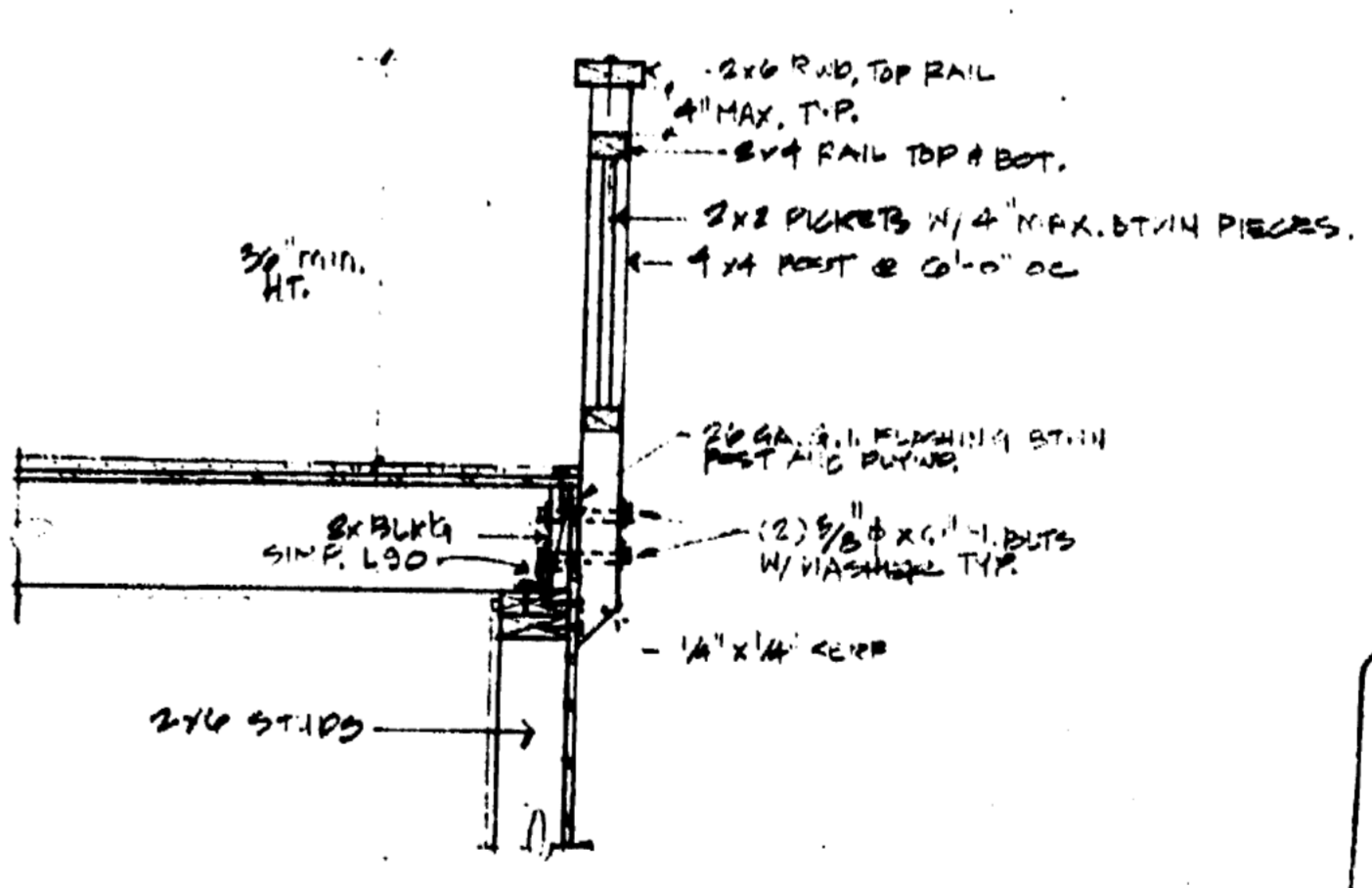


PROPOSED FLOOR PLAN - MAIN LVL. 1/4\"/>

PROVIDE SMOKE DETECTOR IN EACH BEDROOM AND HALLWAYS SLENDANT TO BEDROOMS AS REQUIRED PER UBC 310.9.1



① DETAIL HTS.



② RAIL/POST 3/4\"/>

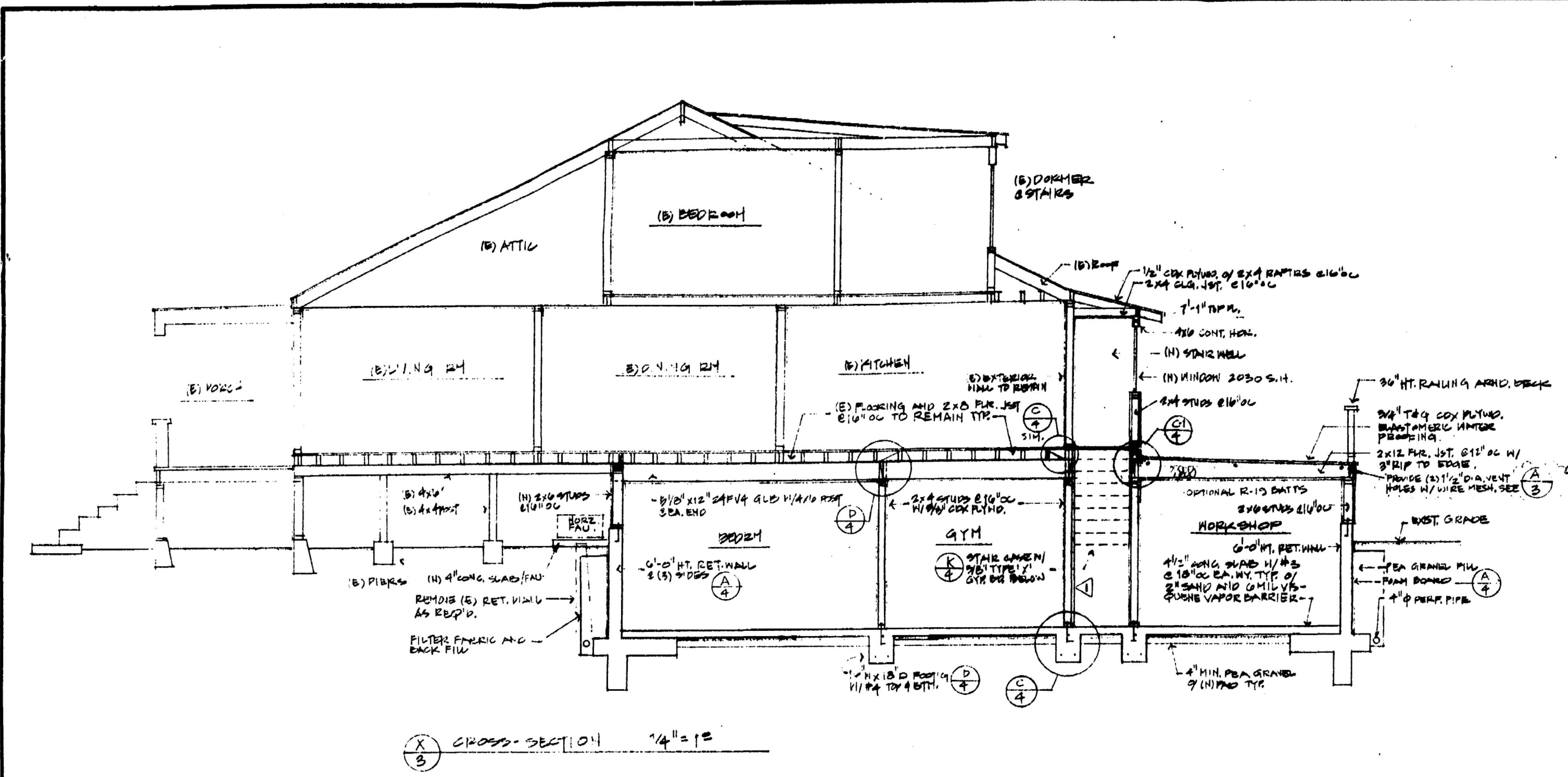
Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
12/15/97

PLANNING DEPARTMENT APPROVED
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.
12/2/97

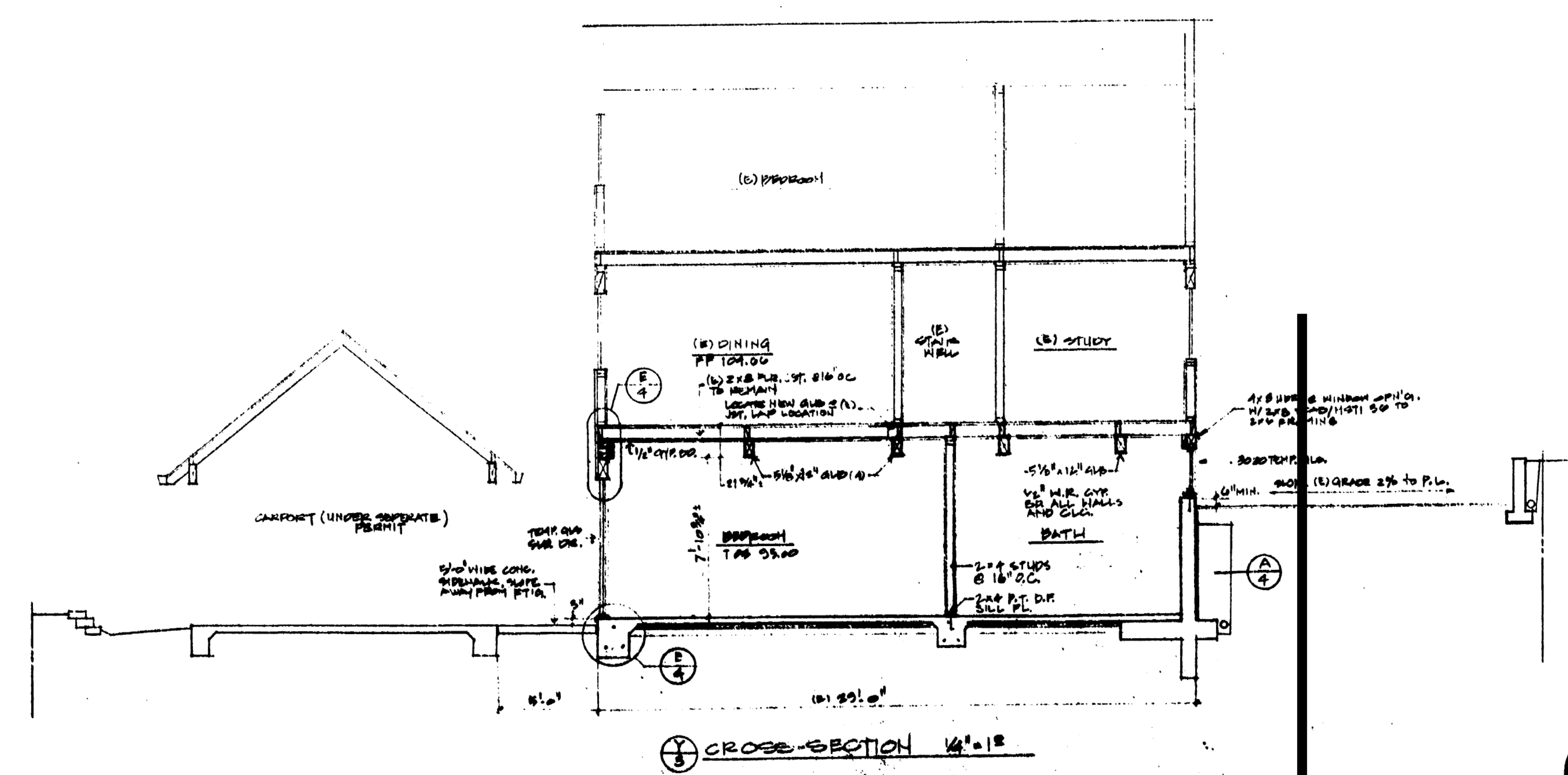


RESIDENCE
155 HERNADEZ AVE.
LOS GATOS, CALIF.

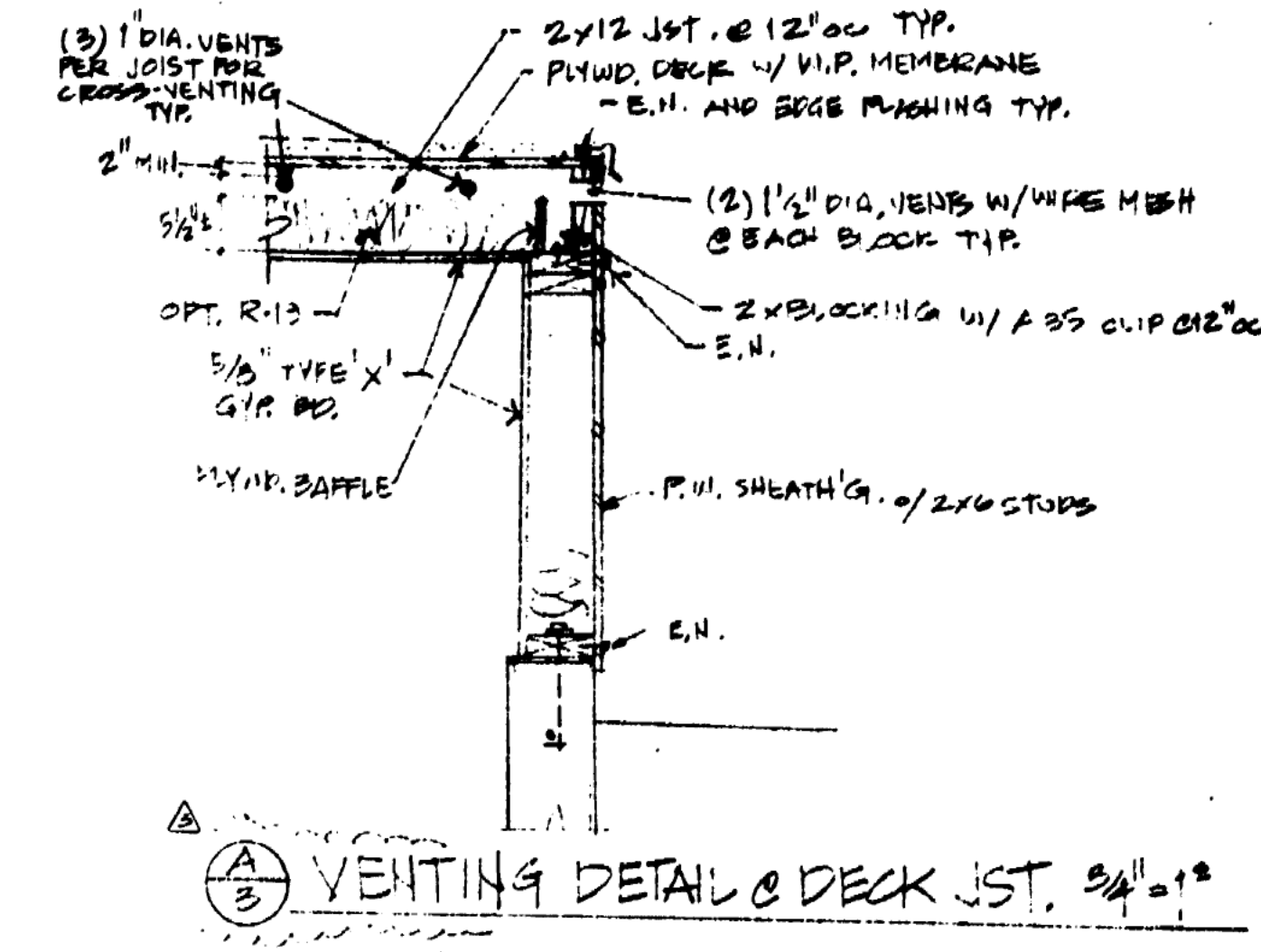
DATE: 12/15/97
SCALE: AS SHOWN
DRAWN BY: [Signature]
CHECKED BY: [Signature]



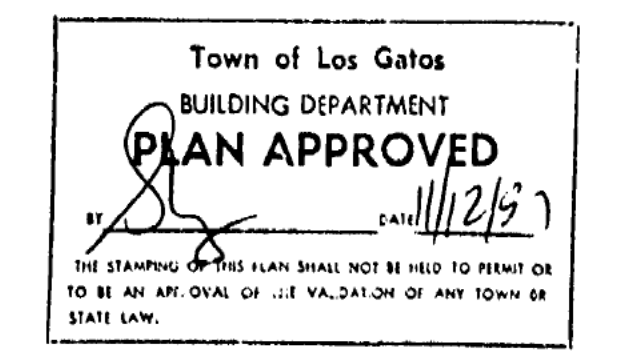
(X) CROSS-SECTION 1/4" = 1"



(Y) CROSS-SECTION 1/4" = 1"



(Z) VENTING DETAIL @ DECK JOINT 3/4" = 1"



Natural Light and Ventilation
[1994 UBC Sections 310.3 and 1209]

1. Natural light by means of exterior glazed openings of not less than one tenth of the floor area (minimum 10 square feet, ft.²).
2. Natural ventilation by means of exterior glazed openings of not less than one twentieth of the floor area (minimum 4 square feet, ft.²).

Smoke Detectors
[1994 UBC Section 310.8.1]

1. Hard wired power source and battery back up for new construction.
2. Detector shall be installed in each sleeping room and in the corridor access to sleeping area.

Fire Sprinklers and Ventilation
[1994 UBC Section 1209]

1. Allow with a maximum vertical height of 30 inches or more ceiling spaces.
2. Minimum access opening is 22 inches by 20 inches.
3. Minimum headroom for the access is 64 inches.
4. Opened attic and crawl space shall have area ventilation area of not less than 1/60 of the covered volume.
5. Ventilation openings shall be covered with metal mesh with minimum 1/4 inch opening.

Fireplaces

1. A fireplace shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
2. Fireplaces shall be installed in masonry or metal chimney.
3. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
4. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
5. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.

The following code details shall be shown on plan:
*Note: See 1994 Edition of Uniform Building Code for exact code language.

Fire Resistance of Exterior Walls
[1994 UBC Sections 602.2, 705, and 1204]

1. One-hour fire-resistance construction required for walls less than 3 feet from the property line, see Table 6-4.
2. Detectors shall be installed in each sleeping room and in the corridor access to sleeping area.

Fireplaces and Stoves
[1994 UBC Sections 1209 and 602]

1. Chimneys: 30-inch minimum width, 6-inch minimum clearances to combustibles on all sides.
2. Chimneys: 30-inch minimum width, 6-inch minimum clearances to combustibles on all sides.
3. Chimneys: 30-inch minimum width, 6-inch minimum clearances to combustibles on all sides.
4. Chimneys: 30-inch minimum width, 6-inch minimum clearances to combustibles on all sides.
5. Chimneys: 30-inch minimum width, 6-inch minimum clearances to combustibles on all sides.

Fireplaces and Stoves

1. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
2. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
3. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
4. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.
5. Fireplaces shall be installed with a minimum clearances of 18 inches to combustibles on all sides.

REVISIONS	BY
1. ALL CHG.	RA
10-22-12	

ROBERT AVILES DESIGN
79-D GILMAN AVE.
CAMPBELL, CALIF. 95008
(408) 374-8108

RESIDENCE
195 HERNANDEZ AVE.
LOS GATOS, CALIF.

Date: 10-1-12
Drawn: RA
Checked: JJA
In Charge: RA

*This Page
Intentionally
Left Blank*

MacDonough Architecture

MARGIE MAGDONOUGH
CALIFORNIA ARCHITECT C33477

160 S. OAK STREET
100PMB 192
SISTERS, OR 97759
(408) 455-5103
MARCIEMACD@GMAIL.COM

November 27, 24

██████████ Remodel

155 Hernandez Avenue, Los Gatos CA

Project Overview

The project includes the interior remodel and roof re-build of this 1917 Colonial Revival home. No additional square footage will be added. Every effort will be made to maintain the look and feel of this Colonial Revival home.

Windows:

All windows will be replaced with new dual pane windows that match the style and pane patterns of the original 1917 windows.

On the Front (North) elevation the windows will be replaced within their existing locations. On the other elevations, several original windows will be moved for interior functionality, but will still match the original window style and patterning. Additionally, there are several existing, non-original aluminum windows that will be removed. Replacement siding at removed window sites will match the existing siding.

Roof:

The existing roof framing will be removed. The new framing will be placed on wall plates that are 1' higher than the existing and the existing pitch (5.5:12) will be changed to 6:12. The ridge will end up about 2' higher. The front eave above the porch will end up about 10" higher than its current position. The dormer roof plate will also be raised 1' and the pitch will remain 2:12.

***This Page
Intentionally
Left Blank***



ATTACHMENT 5

















*This Page
Intentionally
Left Blank*

REMODELS - ADDITIONS - NEW HOMES

Marcie MacDonough, Architect

CALIFORNIA ARCHITECT C33477
OREGON ARCHITECT ARI-14073

160 S. OAK
100 PMB 192
SISTERS, OR 97759

(408) 455-5103
MARGIEMACD@GMAIL.COM

Remodel Project - Proposed Window Sample

This photo is of an example of **Marvin Elevate** windows found in a home in the Historic Shasta Hanchett neighborhood in San Jose. We are proposing similar windows for the Nadeau Festa Home at **155 Hernandez Avenue, Los Gatos**



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

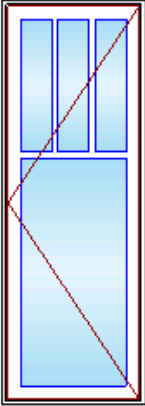
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 3		TOTAL UNIT QTY: 3		EXT NET PRICE: USD 1,975.11		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1		Elevate	Casement CN 2155 RO 21" X 55 5/8" Entered as CN 2155	654.50	1	654.50
2		Elevate	Casement Picture CN 4155 RO 41" X 55 5/8" Entered as CN 4155	666.11	1	666.11
3		Elevate	Casement CN 2155 RO 21" X 55 5/8" Entered as CN 2155	654.50	1	654.50

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:	Net Price:		654.50
Qty: 1		Ext. Net Price:	USD	654.50



As Viewed From The Exterior

Entered As: CN
 CN 2155
 FS 20" X 55 1/8"
 RO 21" X 55 5/8"
Egress Information
 Width: 11 15/64" Height: 50 23/32"
 Net Clear Opening: 3.96 SqFt
Performance Information
 U-Factor: 0.27
 Solar Heat Gain Coefficient: 0.18
 Visible Light Transmittance: 0.42
 Condensation Resistance: 59
 CPD Number: MAR-N-250-01074-00001
 ENERGY STAR: SC, S
Performance Grade
 Licensee #898
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 610X1807 mm (25X71.5 in)
 LC-PG50 DP +50/-50
 FL9684

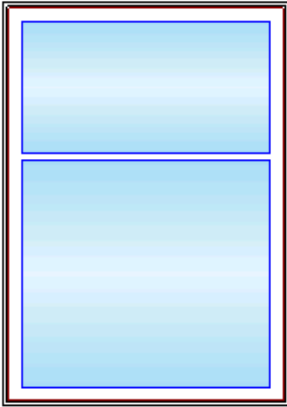
Stone White Exterior
 White Interior 73.18
 Elevate Casement - Left Hand 448.64
 CN 2155
 Rough Opening 21" X 55 5/8"
 Stone White Exterior
 White Interior
 IG 15.73
 Low E3 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 95.75
 Cottage 3W1H
 4 Rect Lites
 18" DLO Height
 Stone White Ext - White Int
 White Folding Handle
 Interior Aluminum Screen 21.20
 Bright View Mesh
 White Surround
 4 9/16" Jambs
 Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
*****Note: Unit Availability and Price is Subject to Change**

Line #2	Mark Unit:	Net Price:		666.11
Qty: 1		Ext. Net Price:	USD	666.11



Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture 588.15
 CN 4155
 Rough Opening 41" X 55 5/8"
 Stone White Exterior
 Bare Pine Interior
 IG 30.09
 Low E3 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 47.87
 Cottage 1W1H
 2 Rect Lites



As Viewed From The Exterior

18" DLO Height
 Stone White Ext - Bare Int
 4 9/16" Jambs
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Entered As: CN

CN 4155

FS 40" X 55 1/8"

RO 41" X 55 5/8"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.26

Solar Heat Gain Coefficient: 0.2

Visible Light Transmittance: 0.47

Condensation Resistance: 58

CPD Number: MAR-N-252-01640-00001

ENERGY STAR: SC, S

Performance Grade

Licensee #900

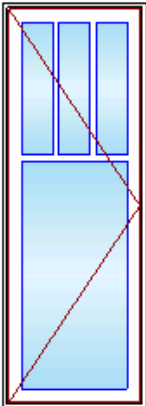
AAMA/WDMA/CSA 101/I.S.2/A440-17

LC-PG50 1422X1807 mm (56X71.13 in)

LC-PG50 DP +50/-50

FL9690

Line #3	Mark Unit:	Net Price:		654.50
Qty: 1		Ext. Net Price:	USD	654.50



As Viewed From The Exterior

Stone White Exterior
 White Interior 73.18
 Elevate Casement - Right Hand 448.64
 CN 2155
 Rough Opening 21" X 55 5/8"
 Stone White Exterior
 White Interior
 IG 15.73
 Low E3 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless 95.75
 Cottage 3W1H
 4 Rect Lites
 18" DLO Height
 Stone White Ext - White Int
 White Folding Handle
 Interior Aluminum Screen 21.20
 Bright View Mesh
 White Surround

4 9/16" Jambs
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Entered As: CN

CN 2155

FS 20" X 55 1/8"

RO 21" X 55 5/8"

Egress Information

Width: 11 15/64" Height: 50 23/32"

Net Clear Opening: 3.96 SqFt

Performance Information

U-Factor: 0.27
Solar Heat Gain Coefficient: 0.18
Visible Light Transmittance: 0.42
Condensation Resistance: 59
CPD Number: MAR-N-250-01074-00001
ENERGY STAR: SC, S
Performance Grade
Licensee #898
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG50 610X1807 mm (25X71.5 in)
LC-PG50 DP +50/-50
FL9684

Project Subtotal Net Price: USD	1,975.11
9.125% Sales Tax: USD	180.23
Project Total Net Price: USD	2,155.34

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

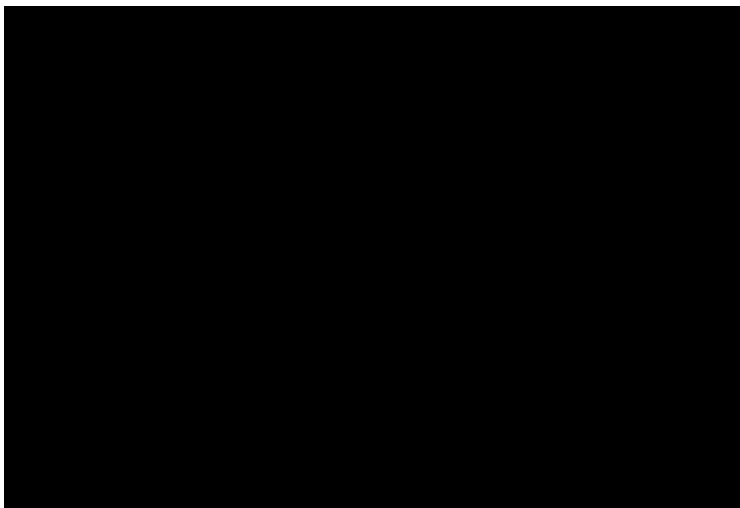
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

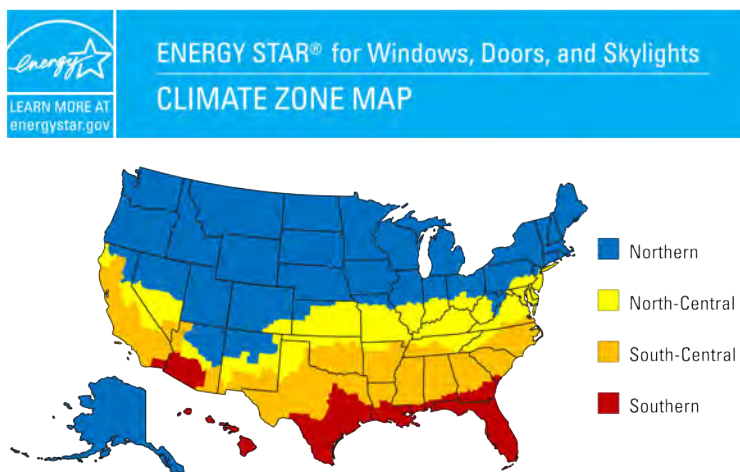
Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

2021 IECC Climate Zone Map:



ENERGY STAR Version 7 Climate Zone Map:






CALIFORNIA USERS

About California Proposition 65

California's Proposition 65 entitles California consumers to special warnings for products that contain chemicals known to the state of California to cause cancer and birth defects or other reproductive harm.

We are providing the following warnings in connection with this quote:

-  **WARNING:** This product can expose you to chemicals including titanium dioxide, which is known to the State of California to cause cancer. For more information, go to www.P65Warnings.ca.gov.
-  **WARNING:** This product can expose you to chemicals including methanol, which is known to the State of California to cause birth defects or other reproductive harm. For more information, go to www.P65Warnings.ca.gov.
-  **WARNING:** Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to www.P65Warnings.ca.gov/wood.

California Warranties

Pursuant to California Civil Code Section 1973.01, for product sold and originally delivered in California, the Limited Warranty is made and the warranty notice period begins to run on the original date of product delivery.

***This Page
Intentionally
Left Blank***

HISTORIC RESOURCES

4



Original doors and windows should be retained and repaired



True divided lite windows are encouraged when appropriate to the original structure



Simulated divided lite windows may be considered on a case-by-case basis

- New materials should identically match original materials in shape, size, dimension, texture and pattern. Metal used as flashing, screening, gutters, and utility services and other traditional elements are acceptable.
- Composite, synthetic, metal, vinyl, plastic or fabricated/imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.
- The decision making body may approve an acceptable alternative to the original building material if use of the original material is not feasible due to unreasonable cost and commercial availability, or health and safety considerations.

4.8.3 Doors

- Original doors should be retained and restored.
- New replacement doors for Victorians should not be flush, but of raised or flat panel design.
- Front doors generally should be painted, not stained.
Not applicable to Mission Revival/Mediterranean style structures.
- Screened doors should be real wood framed of simple design unless patterns can be shown to fit the existing style.

4.8.4 Windows and Glass in doors

- Original windows, glass and window decorations should be retained and restored.
- Replacement of only the deteriorated portions of the windows is recommended rather than the replacement of the entire window.
- New or replacement windows should be wood-sashed and muntined if applicable.
- Sills, lintels, frames, sashes, muntins, and all decorations should be identically replaced.
- All elements of new windows should be identical in size, shape, proportion, and dimensions as the original windows of the building, or consistent with traditional sizes, proportions and dimensions of buildings of the same architectural style, design and era.
- Windows should be constructed of real glass, and window

frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

- All lites (panes of glass) should be true divided lite, not artificial or snap-in grids. Simulated Divided Lite windows are permitted when the details of the window provide projecting muntin elements on the exterior and interior of the window along with a spacer muntin between the panes of glass (See example to the left).
- New arched, angled, and/or octagonal windows are discouraged.
- Large expanses of blank exterior walls without windows are discouraged.

4.8.5 Bay Windows

- Size, shape, proportion, dimension, type of foundation, and, roof material and style of bay windows, whether restored or of new construction, should be identical to the original or existing bay windows of the structure.
- New bay windows may be added to the building in locations where no bay windows previously existed. These new bay windows should be identical to and replicate the style, design, size, shape and proportion, type of foundation and roof of other bay windows existing on structure. If there are no existing bay windows on the structure, new bay windows should be built in the same size, shape, dimension, proportions, material and type of foundation and roof typical of the architectural style. Metal frame kitchen garden windows are prohibited.
- Generally, traditional architectural styles will require either a foundation to the ground or substantial supporting brackets below a bay window. Floating windows without support, as shown for the bow bay window example to the right, are rarely appropriate.
- New bay windows are permitted only when the applicant proves to the Deciding Body that they are consistent with existing style, design and character of the structure.

4.8.6 Chimneys

- Wood-framed chimneys are prohibited unless their exteriors are covered with brick or river rock veneers. Masonry veneers may be used. However, they should be detailed exactly as the solid construction that they are emulating.
- Stucco Mission Revival or Mediterranean style houses may have stucco covered chimneys.



Match bay windows to the architectural style of the house



Some window styles, such as this bow bay window, would have very limited applicability for use on a historic resource structure



Wood clad chimneys are prohibited



Masonry and stucco chimneys are preferred

4.8.8 Roofs, Gables, Eaves and Overhangs

- Roofs should maintain their original size, shape and pitch.
- Any changes in roof area, roof line, roof coverings, eave depth or materials should be consistent with the existing structure.
- In general, original gables should be retained. Restore brackets and decorative details that were original to the structure, but avoid adding elements that were not integral to the original design.
- New gables may be added only where consistent with the existing style and design and approved by the Deciding Body. In general, gable ends should be symmetrical.
- Eaves and fascias should be constructed of wood.
- For original roofs with wood shingles or shakes, coverings of fireproof composition materials and dark colors in a heavy profile are acceptable where they are made to resemble wood, if they are compatible with the architectural style of the building.
- Mission Revival or Mediterranean style structures should have tile roofs of a color, texture, thickness and shape to look like the original clay roof tile.
- Clay and concrete tiles should be avoided on structures with wood or shingle siding.
- Plastic and modern style tiles are prohibited.



Heavy profile fireproof composition shingles may be used as a replacement for wood single and wood shake roofs



Restore gable and eave details, but don't add features that were not original to the house

4.8.9 Siding (General)

- Siding materials and placement on the structure should be appropriate to the existing style and design.
- All existing siding should be restored and retained wherever possible.

4.8.10 Wood siding (Victorian/Craftsman)

- Siding should be real wood and not a composite, synthetic or fabricated wood product. Finger jointed wood siding is acceptable.
- Metal and vinyl siding products are prohibited.
- New siding should identically match the existing siding in size, depth, width, pattern, and should match the existing cut or bevel in siding in angle, slope, type width and depth of cut, if any.
- Old deteriorated shingles may be replaced. However, new shingles should match existing shingles in size, shape, dimension and pattern.



Avoid asymmetrical gable ends like this



Maintain the siding scale and patterns of the original structure

***This Page
Intentionally
Left Blank***

Pre-Planning Set

Remodel

**155 Hernandez Avenue
Los Gatos, CA**

Scope of Work

The project includes the interior remodel and roof re-build of this 1917 Colonial Revival home. No additional square footage will be added. Every effort will be made to maintain the look and feel of this Colonial Revival home.

Windows:

All windows will be replaced with new dual pane windows that match the style and pane patterns of the original 1917 windows.

On the Front (North) elevation the windows will be replaced within their existing locations. On the other elevations, several original windows will be moved for interior functionality, but will still match the original window style and patterning. Additionally, there are several existing, non-original aluminum windows that will be removed. Replacement siding at removed window sites will match the existing siding.

Roof:

The existing roof framing will be removed. The new framing pitch will be 6.25:12, slightly steeper than the existing pitch (5.5:12). The ridge will end up about 2' higher. The front eave above the porch will end up about 6" higher than it's current position. The dormer roof plate will also be raised 1' and the pitch will remain 2:12.

Sheet Index

- A0.0 Cover Sheet, Site Plan and Project Data
- A1.0 Existing/Demolition Floor Plans
- A1.1 Existing Elevations
- A2.0 Proposed Floor Plans
- A3.0 Proposed Elevations
- A3.1 Proposed Elevations
- A4.0 Proposed Section

Project Data

Address: 155 Hernandez Ave.
Los Gatos, CA 95030

Owners: [REDACTED]

APN: 510-40-152
Zoning: R-1-8
Type of Construction: V-B
Number of Stories: 3
Occupancy Type: R/U
Wildland Interface Zone
Year Built: 1917

Front Setback: 25'
Side Setback: 8'
Rear Setback: 20'
Main Building Max. Height: 30'
Accessory Building Max. Height: 15'

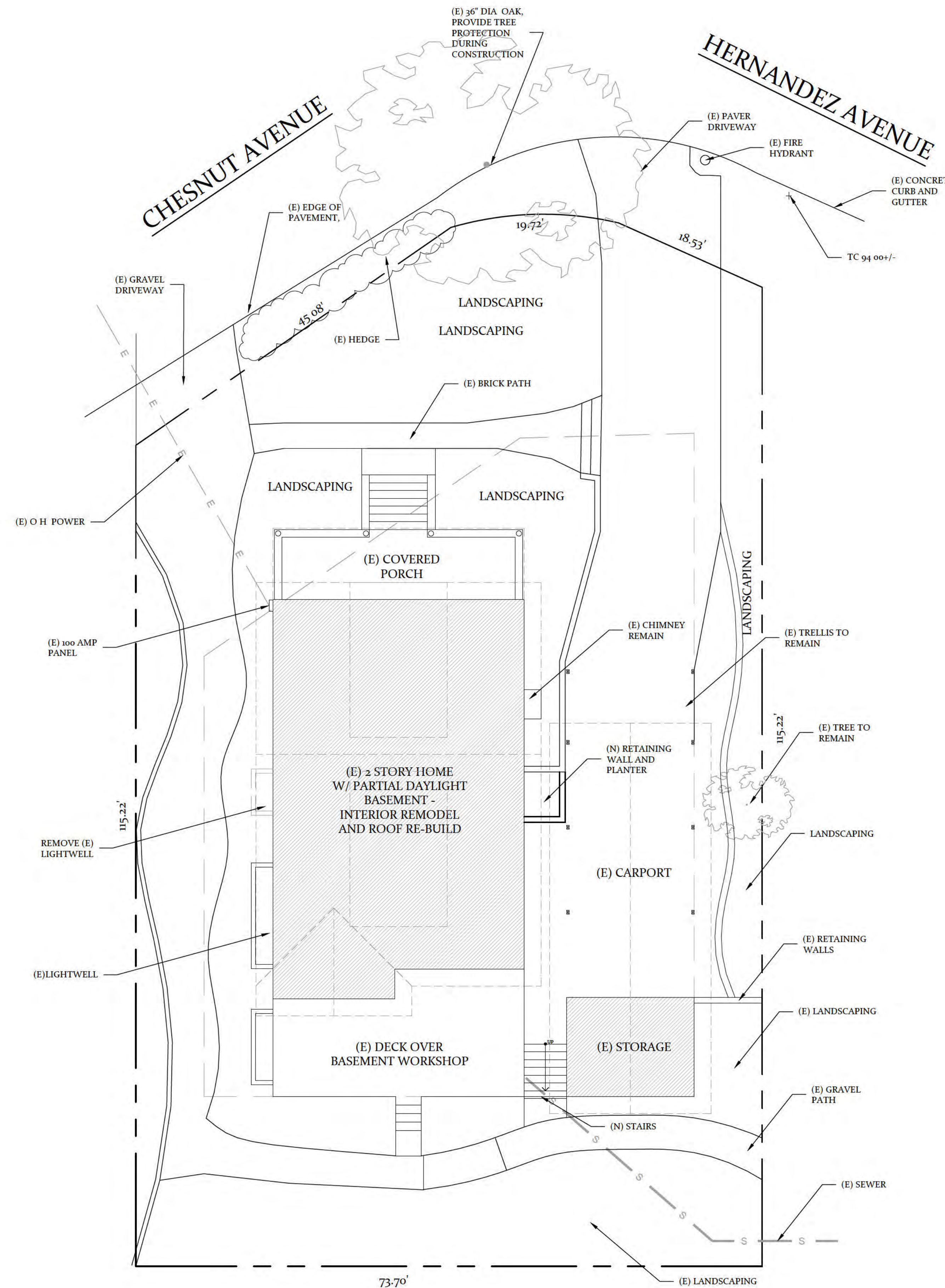
Area Calculations

Lot Area: 8,486 sf

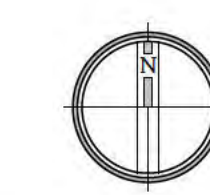
FAR calculation: $.35 - ((8.5 - 5) / 25 * .2) = .32$
FAR allowable area: $.32(8,486) = 2,732$ sf
Lot Coverage: $40\% (8,486) = 3,394$ sf

Main House FAR Areas

Building Area:	Existing	New
Main Floor:	1,336 sf	1,336 sf
2nd Floor:	853 sf	891 sf
Basement Livable:	763 sf	737 sf
Basement workshop:	374 sf	361 sf
	3,326 sf	3,325 sf



1 Existing/Proposed Site Plan



1/8" = 1'-0"

Marie MacDonagh, Architect
New Homes, Additions and Remodels
(408) 455-5103
MARIEMACD@GMAIL.COM

Interior Home Remodel
The [REDACTED] Family
155 Hernandez Avenue, Los Gatos


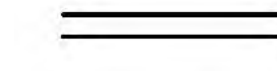
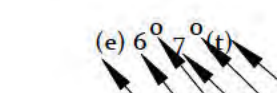






Submittal:

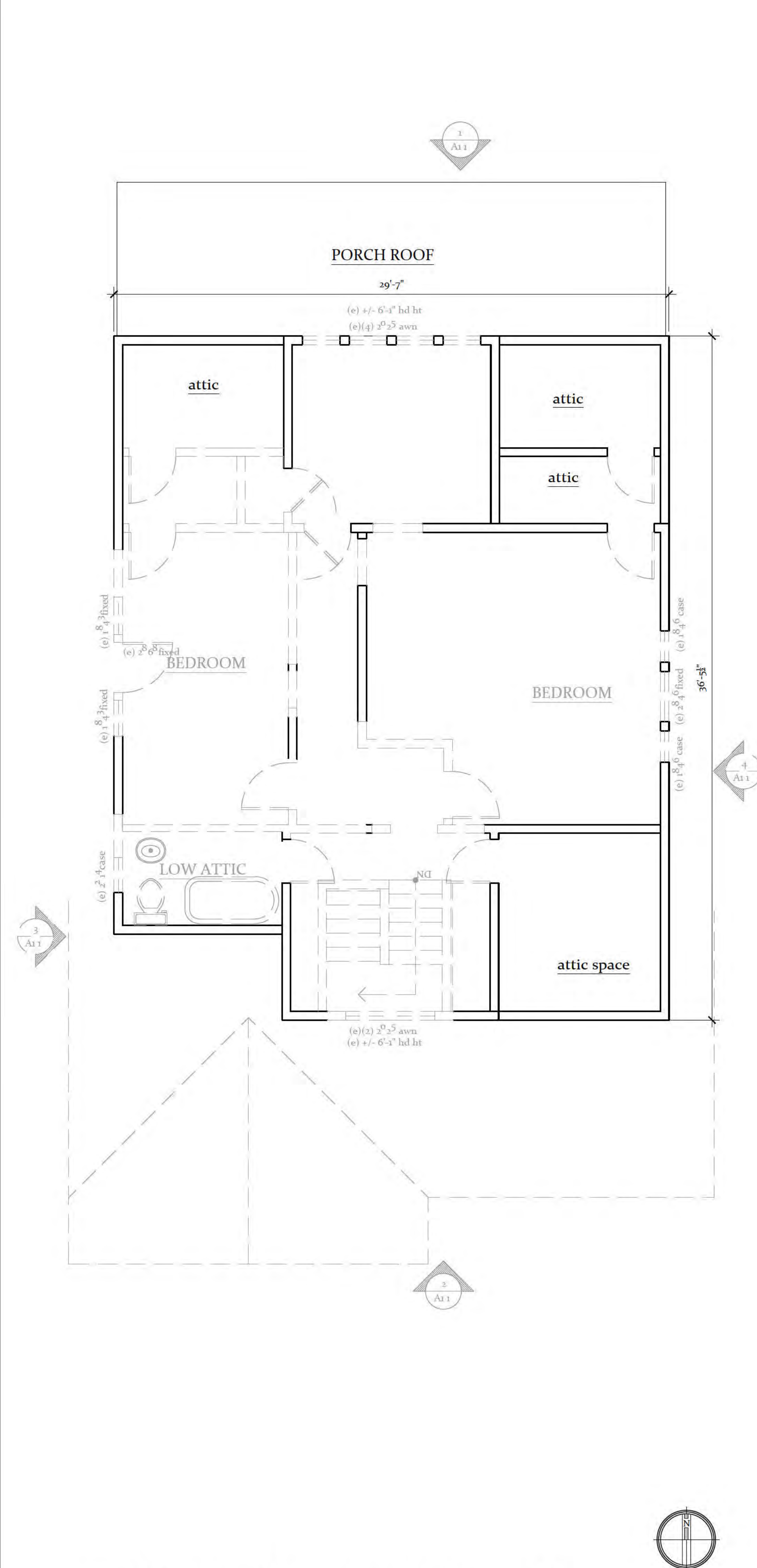
Site Plan and
Project Data

SCALE See Drawings
DATE Dec 9, 2024

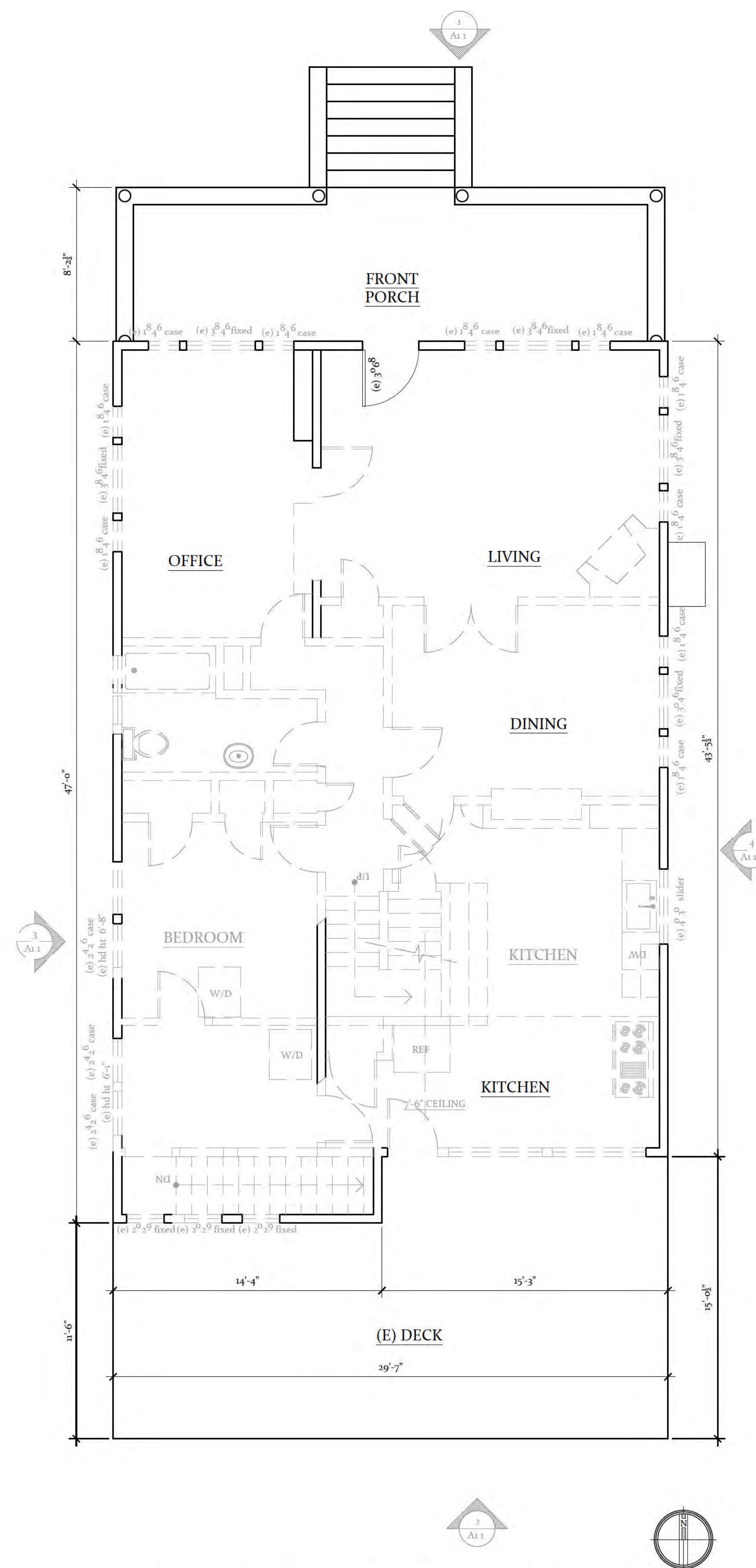
Ao.o

Legend:

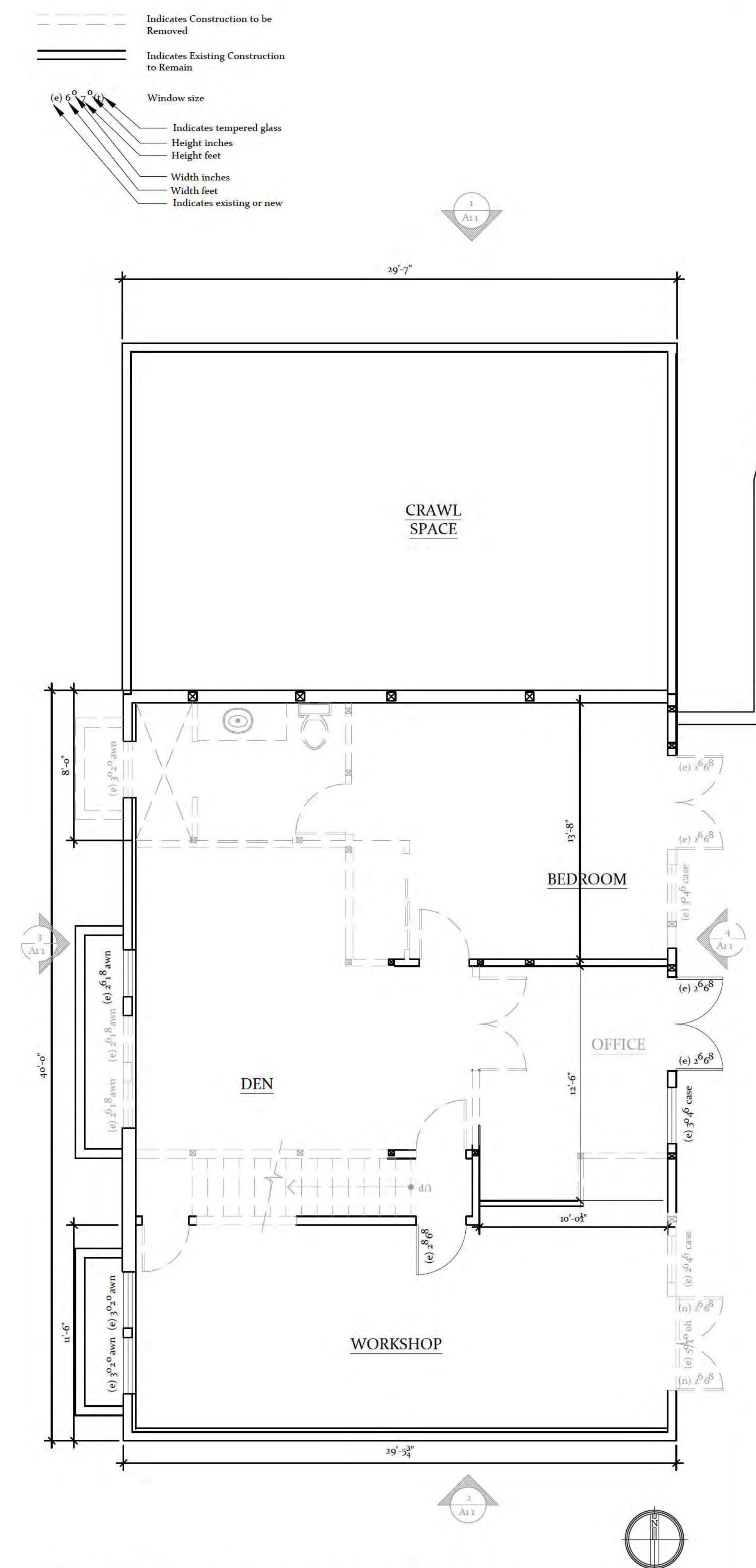
-  Indicates Construction to be Removed
-  Indicates Existing Construction to Remain
-  Window size
 -  Indicates tempered glass
 -  Height inches
 -  Height feet
 -  Width inches
 -  Width feet
 -  Indicates existing or new



3 Existing / Demo 2nd Floor Plan
1/4" = 1'-0"



2 Existing / Demo Main Floor Plan
1/4" = 1'-0"



1 Existing / Demo Daylight Basement Plan
1/4" = 1'-0"

Marie MacDonagh, Architect
New Homes, Additions and Remodels
(408) 455-5103
MARIEMACD@GMAIL.COM

Interior Home Remodel
The [Redacted] Family
155 Hernandez Avenue, Los Gatos

Submittal:

Existing / Demo Plans

SCALE See Drawings
DATE Dec 9, 2024

A1.0



3 Existing Side (West) Elevation
1/8" = 1'-0"



1 Existing Front (North) Elevation
1/8" = 1'-0"



4 Existing Side (East) Elevation
1/8" = 1'-0"



2 Existing Rear (South) Elevation
1/8" = 1'-0"

Marcie MacDonough, Architect
New Homes, Additions and Remodels
(408) 455-5103
MARCIEMACD@GMAIL.COM

Interior Home Remodel
The [REDACTED] Family
155 Hernandez Avenue, Los Gatos

Submittal:



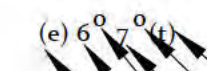

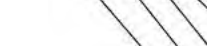




Existing Elevations

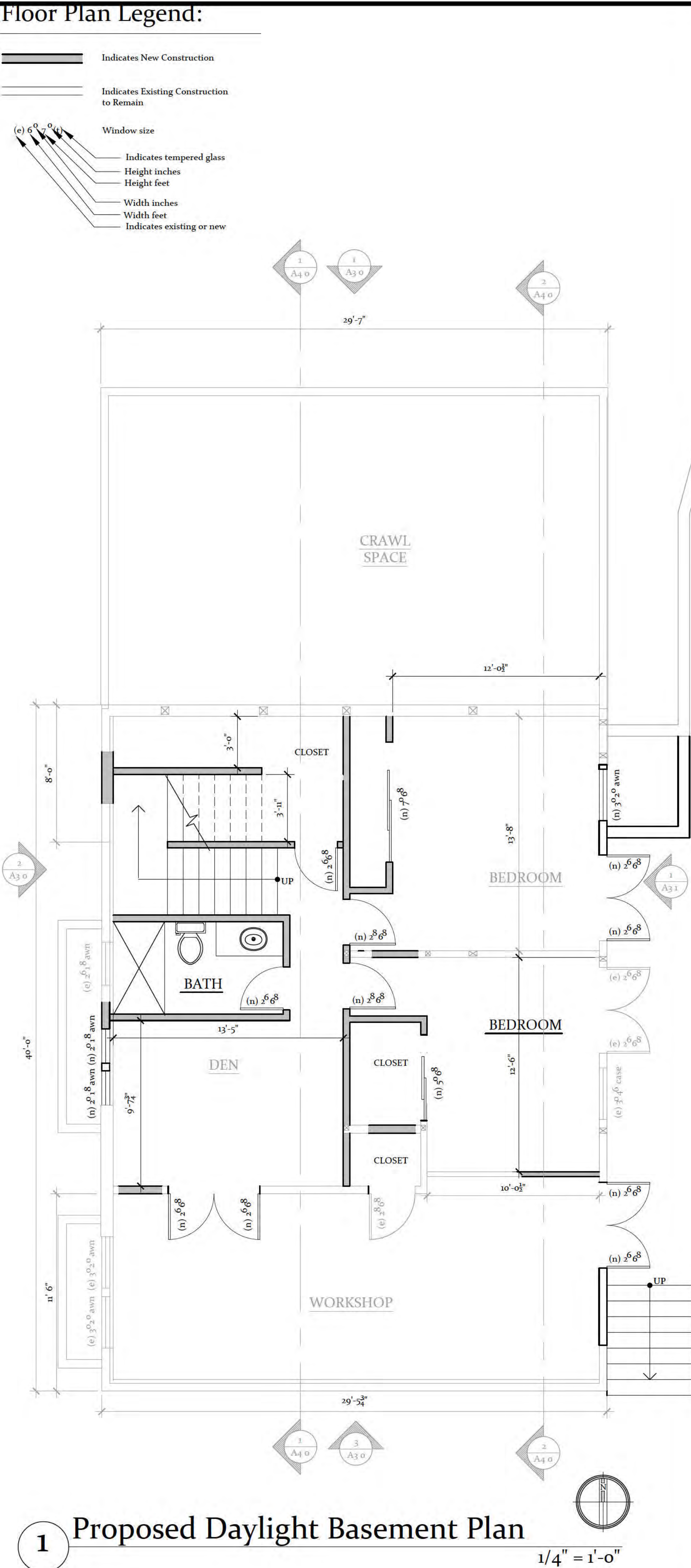
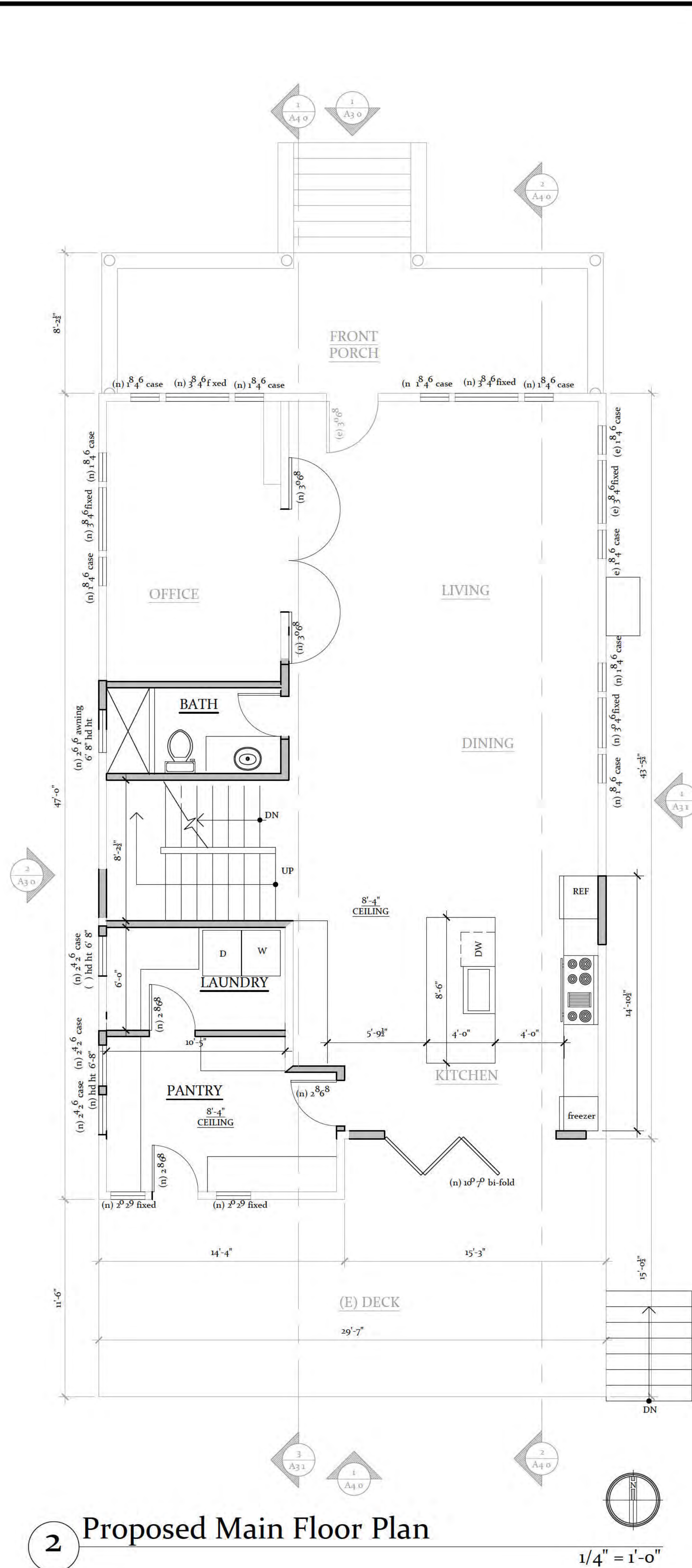
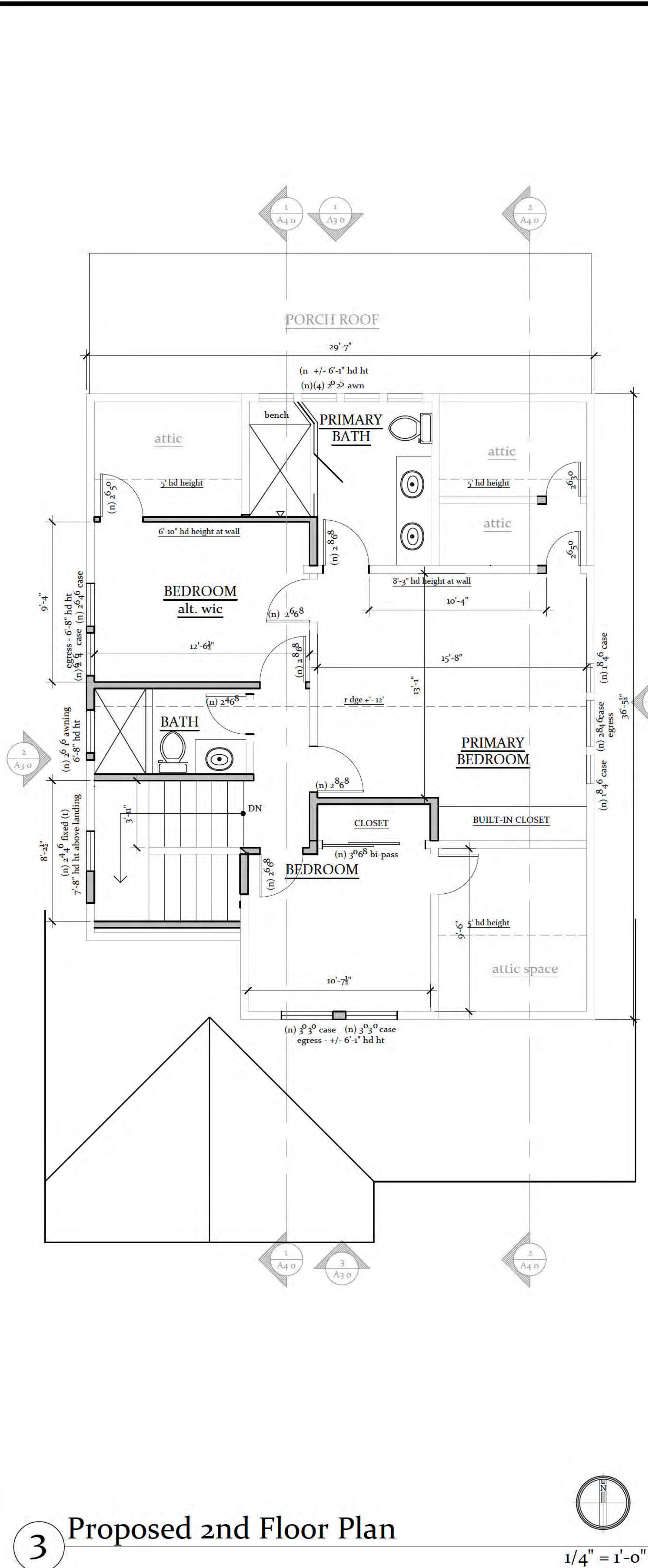
SCALE See Drawings

DATE Dec 9, 2024

A1.1

Floor Plan Legend:

-  Indicates New Construction
-  Indicates Existing Construction to Remain
-  Window size
-  Indicates tempered glass
-  Height inches
-  Height feet
-  Width inches
-  Width feet
-  Indicates existing or new



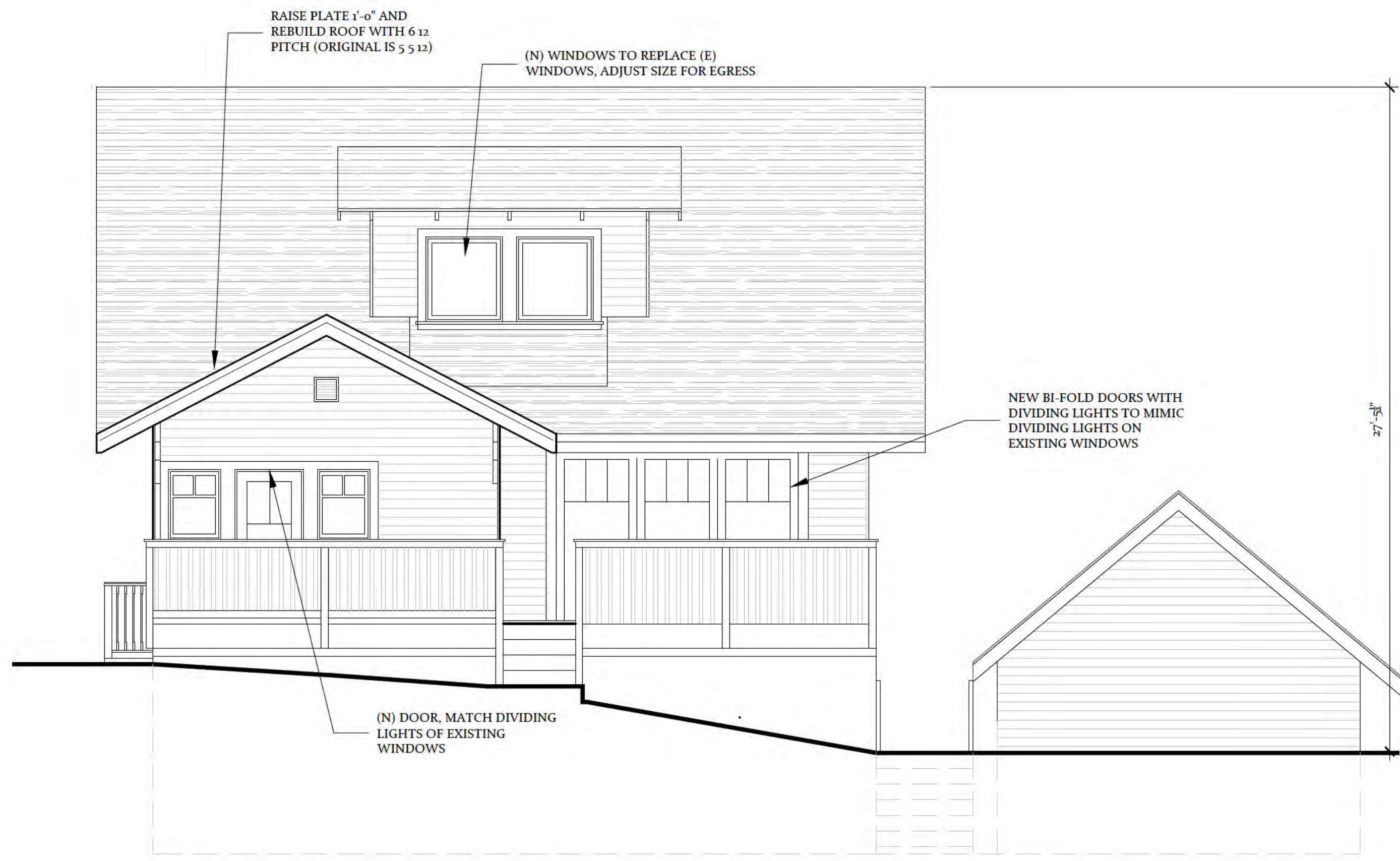
Marie MacDonagh, Architect
 New Homes, Additions and Remodels
 (408) 455-5103
 MARCIEMACD@GMAIL.COM

Interior Home Remodel
The Family
155 Hernandez Avenue, Los Gatos

Submittal:

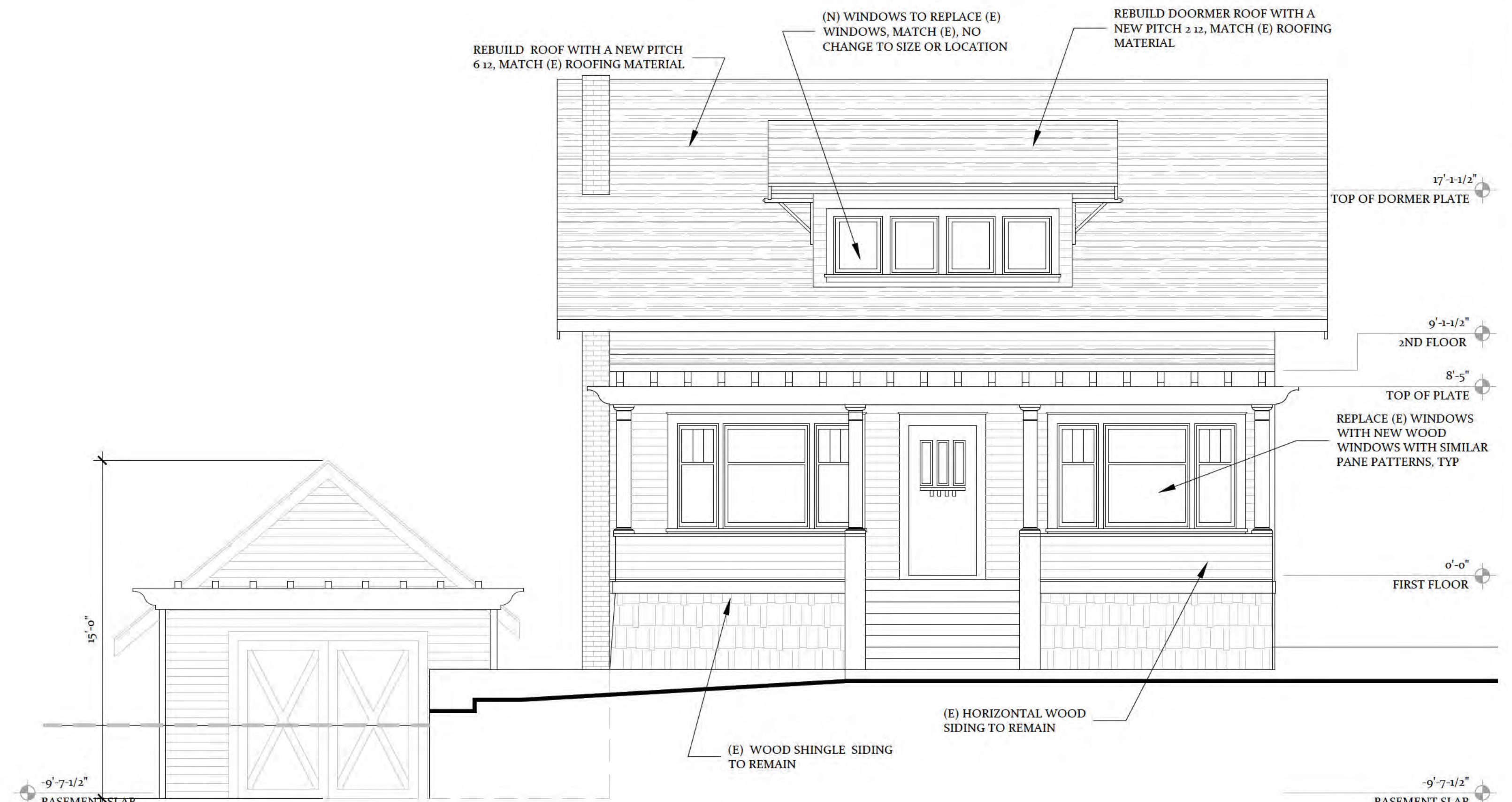
Proposed Floor Plans
 SCALE See Drawings
 DATE Dec 9, 2024

A2.0



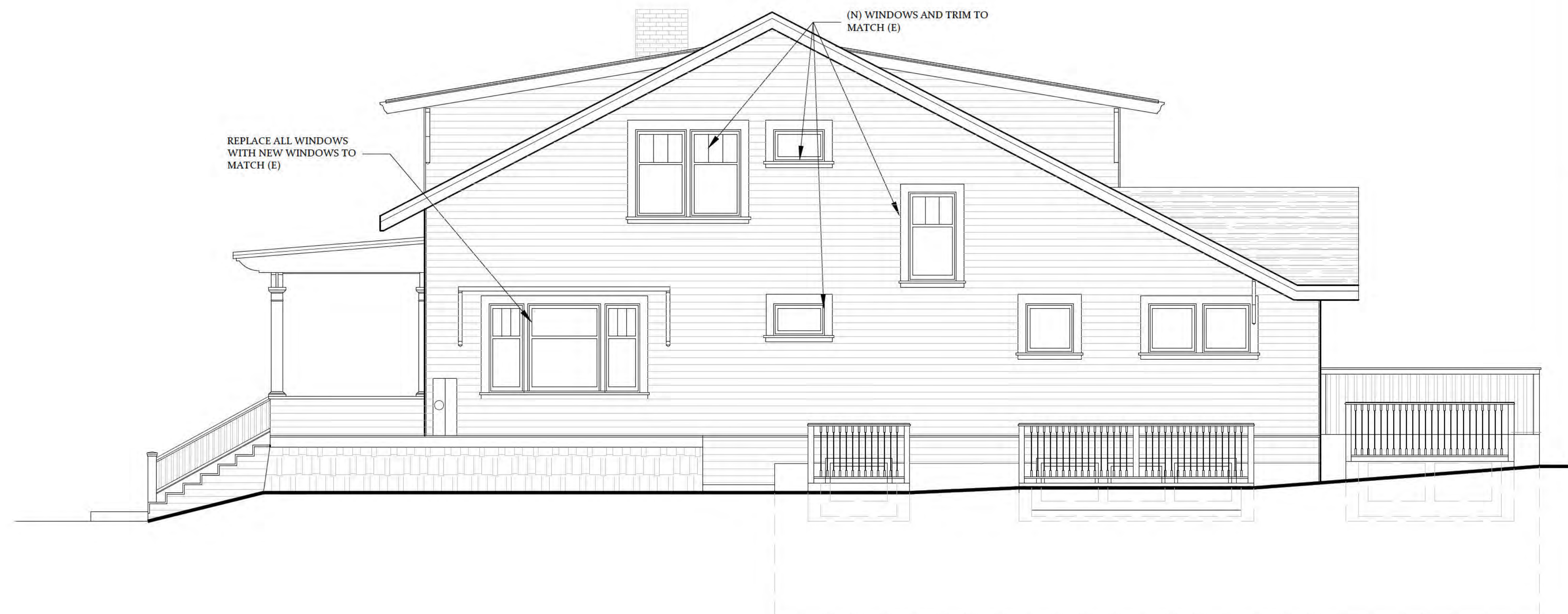
3 Proposed Rear (South) Elevation

1/4" = 1'-0"



1 Proposed Front (North) Elevation

1/4" = 1'-0"



2 Proposed Side (West) Elevation

1/4" = 1'-0"

Marie MacDonagh, Architect
New Homes, Additions and Remodels
(408) 455-5103
MARCIEMACD@GMAIL.COM

Interior Home Remodel
The Family
155 Hernandez Avenue, Los Gatos

Submittal:

Proposed Elevations

SCALE See Drawings

DATE Dec 9, 2024

A3.0



1 Proposed Side (East) Elevation

1/4" = 1'-0"

Marie MacDonough, Architect
New Homes, Additions and Remodels
 (408) 455-5103
 MARIEMACD@GMAIL.COM

Interior Home Remodel
The [Redacted] Family
155 Hernandez Avenue, Los Gatos

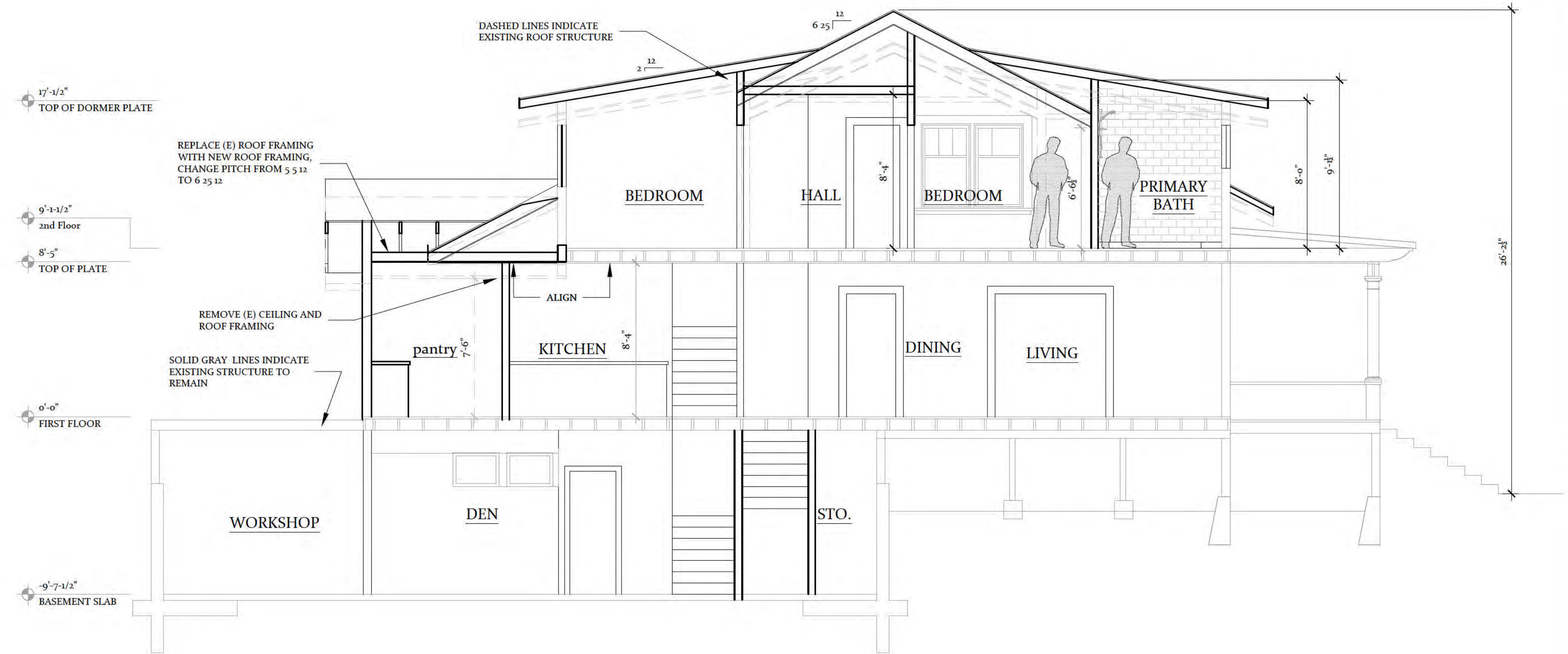
Submittal:

Proposed Elevation

SCALE See Drawings

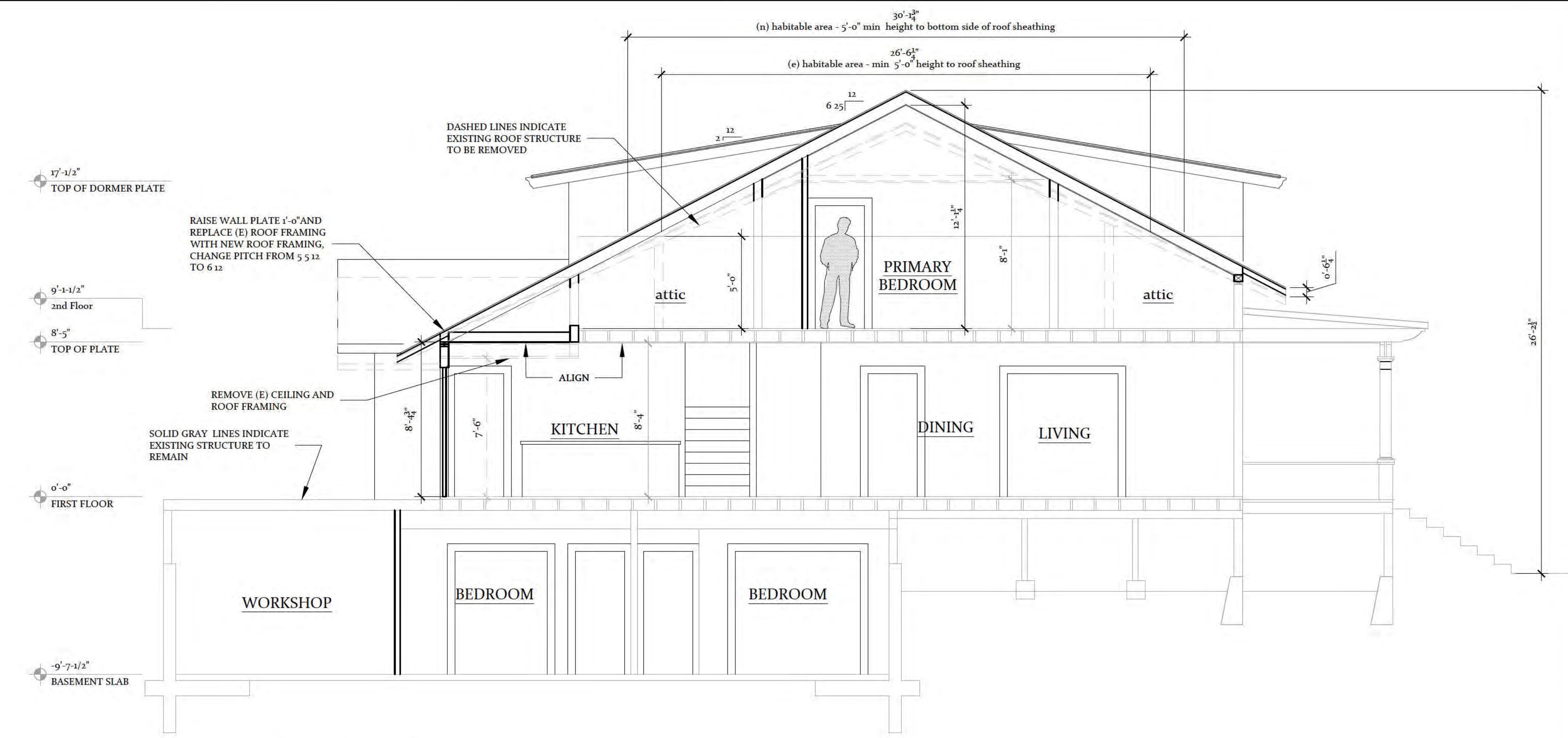
DATE Dec 9, 2024

A3.1



1 Proposed Section Through Dormer

1/4" = 1'-0"



2 Proposed Section

1/4" = 1'-0"

Marie MacDonagh, Architect
New Homes, Additions and Remodels
(408) 455-5103
MARDIEMADD@GMAIL.COM

Interior Home Remodel
The Family
155 Hernandez Avenue, Los Gatos

Submittal:

Proposed Sections

SCALE See Drawings

DATE Dec 9, 2024

A4.0

*This Page
Intentionally
Left Blank*



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT**

MEETING DATE: 1/22/2024

ITEM NO: 4

DATE: January 17, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Located at 328 Bachman Avenue.** APN 510-14-037. Minor Residential Development Application MR-24-016. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Snighdha Uday Dharmavaram. Applicant: Bess Wiersema. Project Planner: Maria Chavarin.

RECOMMENDATION:

Consider a request for approval to construct a second-story addition exceeding 100 square feet and exterior alterations to an existing contributing single-family residence in the Almond Grove Historic District on property zoned R-1D:LHP located at 328 Bachman Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1900 per County Assessor's Database; 1885 per researched records
2. Town of Los Gatos Historic Status Code: N, probably built since 1950
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, Almond Grove Historic District
5. If yes, is it a contributor? No
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The Santa Clara County Assessor's Database indicates that the residence located at 328 Bachman Avenue was constructed in 1900, a date often used by the Assessor when the exact

PREPARED BY: Maria Chavarin
Assistant Planner

construction date is not known. The 1990 Anne Bloomfield Survey provides an estimated construction date of the 1980's and provides a rating of new, probably built since 1950 (Attachment 1). The researched records estimate the construction date as the 1885's (Attachment 2). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the residence as having consistent footprint through 1956 (Attachment 3). The list of permits found in the Town records reflect permits issued since the late 1940's clearly indicating that the residence existed prior to the 1980's (Attachment 4).

The following alterations are reflected in the Town's permit records included as Attachment 4:

- 1949 – Electrical Permit;
- 1960 – Plumbing Permit;
- 1972 – Plumbing Permit;
- 1978 – Building Permit for repairs, scope not legible;
- 1998 – Plumbing Permit for water heater;
- 2012 – Building Permits for re-roof;
- 2014 – Plumbing Permit to replace water heater in the same location; and
- 2015 – Plumbing Permit for re-piping.

The applicant provided a summary of the property research (Attachment 2) as well as photographs of the property (Attachment 6).

DISCUSSION:

A Minor Residential Development Application was submitted to the Town on November 5, 2024, proposing construction of a second-story addition exceeding 100 square feet and exterior alterations to the existing contributing single-family residence. As provided in Attachment 6, the project includes a second-story addition of 132 square feet on the rear elevation and demolition of a portion of the first floor at the rear elevation, which the applicant indicates is not historic given the contemporary materials of the siding (T1-11 panels) and windows (aluminum). The project also includes an addition on the first floor within the footprint of the area to be demolished and a new wood deck on the rear elevation. .

The proposed exterior materials include a composition roof, wood scalloped siding, horizontal wood ship-lap siding, wood trim, a wood deck and railing, and a wrought iron railing at the new lightwell (Attachment 6). Five new wood windows are proposed on the first floor along with two sets of French doors opening up to the deck on the rear elevation. Two new vinyl windows are proposed on the second floor on the rear elevation to match two existing vinyl windows on the front elevation. All new exterior materials would match existing materials.

The Residential Design Guidelines provides the following recommendations related to materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

- Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

4.8.4 Windows and Glass in doors

- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- X In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

B. Residential Design Guidelines

Section 3.9 and 4.8.4 of the Residential Design Guidelines offers recommendations for construction of additions to an existing residences and window materials (Attachment 5).

CONCLUSION:

The applicant is requesting approval to construct a second-story addition exceeding 100 square feet and exterior alterations to an existing contributing single-family residence in the Almond Grove Historic District on property zoned R-1D:LHP. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process. The proposed work would be completed with a Building Permit and would not return to the Committee.

PAGE 4 OF 4

SUBJECT: 328 Bachman Avenue/MR-24-016

DATE: January 17, 2025

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Applicant's Research Results
3. Sanborn Fire Insurance Maps
4. Town Building Permit Records
5. Residential Design Guidelines, Sections 3.9 and 4.8.4
6. Development Plans

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 328 Bachman

235
0

PARCEL MAP INFORMATION

Parcel # 510-14-057 Lot size: 74 front ft. x 150 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other

Location: N S E W side of B St Ave Other

distance to cross st: _____ ft. N S E W from _____

at NE NW SE SW corner of Massol

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Massol Sub Old Block # 2 Old lot # 5

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating N? Estimated age 1980s? Style Fake Stick # stories _____

Alterations chimney wrong - wood new w. fakes - no horns on windows

Other _____

COUNTY ASSESSOR—PROPERTY CHARACTERISTICS (paste on copy) _____ Effective date _____

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date _____

County Inventory 1979 _____

Town of Los Gatos: Designation _____ Recognition _____

District Name _____

Previous Survey _____

Gebhard: page # _____ illustration page # _____

Butler/Junior League _____

PHOTOS: Roll/frame # 011/13 Date 15-11-89



(see similar 1715
d. P. listings)

Los Gatos



MC SER HOUSE at 75 Alpine Avenue has the date "1889" recorded under the fireplace mantle. (Courtesy of Los Gatos Museum)

Kathryn Morgan, Mardi Gualtieri & William A. Wolf of the Los Gatos Heritage Preservation Society and County Commissioner Ann Hines.

FAIRVIEW PLAZA HISTORIC DISTRICT

"Fairview Plaza" was the original name given this cul-de-sac termination of Pennsylvania Avenue on F.H. McCullagh's 1885 survey map. The neighborhood of predominately pre-1900 homes retains its original features with a landscaped focal island and "Turnstile Walk" pedestrian path at the east end of Fairview Avenue.

1. 75 ALPINE AVENUE--The date "1889" is recorded under the marble fireplace mantle of this house. The entry hall is two stories with a 180° staircase of hand-turned walnut.
2. Stone wall, ALPINE AVENUE--The rock used to build this rustic, early 20th century wall is believed to have come from the gravel pit that has since been converted to Lake Vasona.
3. Massol-Watkins house, 328 BACHMAN--In 1885 Frank F. Watkins, co-owner of Watkins-Skinkle

Drug Store, purchased Massol's 20-acre almond orchard and built this house. Its steeply pitched roof is reminiscent of the snow shedding roofs of some eastern houses.

4. Mountain Springs Pump House, west of BEAN & Massol--This was built about 1893, possibly by Harry Perrin whose name is inscribed on two of the "well" tops. It was composed of four brick cylinder "wells" with three-foot circular openings at the top. A development is planned around the present pumping station.
5. Waterman house, 45 BROADWAY--This Italianate style house was built by John B. Waterman in the late 1880s. During renovation though, window latches were discovered with a patent date "1866".
6. 33 COLLEGE AVENUE--Construction date for this house may have been 1871, according to early tax records, making it one of the oldest remaining private homes in town. It was a laundry and boarding house during the 1940s.
7. Los Gatos Presbyterian Church, 101 CHURCH STREET--Originally built in 1885, this structure was remodelled for private office use when the church moved its services to a new building on Shannon Road in 1958.

Street:

Dachman

Informant:

M. G. H. H. H.

House number:

328

Phone: 351-1943

Present owners: M & M Spencer Anderson Phone: 4-5845

Estimated construction date: by 1900 P.A.P., 1885 - A.E.G.: 1970 C.G.R.
Builder: >

Ownership:

Origine ^{Early} l:	<u>Frank F Watkins</u>	Occupation:	<u>pharmacist</u>
19__:	_____	" "	_____
(year of purchase) 19__:	_____	" "	_____
19__:	_____	" "	_____
19__:	<u>Mr Frank Dwyer</u>	" "	_____
(Present owner) 19 <u>71</u> :	<u>M & M Spencer & Eleanor Anderson</u>	" "	_____

Occupants:

(15 City Dir. & 7th Dir.)	19__:	Occupation:	_____
19 <u>14</u> :	<u>F.F. Watkins</u>	" "	_____
19 <u>21</u> :	<u>" Mrs Lilian Gould</u>	" "	_____
19 <u>35</u> :	<u>L.A. McClure</u>	" "	_____

History:

(Please identify information source.)

1.5. Data on Frank F Watkins co-owner with a Kirk L. L.
of drug store located at intersection of Santa Cruz & Main (N.W. corner)
His two daughters were Louise (later wife of Dr. Dwyer), Helen (Mrs
Lyle Holden) & Cecile
1.5. In Dec 1904 F.F. Watkins listed as Pres of L.G. Cemetery Assn, also
Ordin for Burd of Los Gatos

Return to:
58 Alpine Ave.
Los Gatos, Ca.

Remodeling: (Please identify information source and year of change.)

M & M Spencer Anderson have undertaken extensive remodeling

***This Page
Intentionally
Left Blank***

[REDACTED]
328 Bachman Ave,

Los Gatos, CA, 95030

11/13/2024

To the Historical Preservation Committee of Los Gatos,

Subject: Historical Documentation and Planned Renovations for 328 Bachman Ave

Dear Members,

We are writing to document the history of 328 Bachman Ave, Los Gatos, CA, 95030 and to outline our plans for renovations that respect its historical significance while adapting it for modern living.

Historical Timeline

1884-1885: Built by Fen Massol

Constructed by Fen Massol, the house reflects a simple Victorian style. At the time, it was surrounded by almond orchards, which Fen's father, Florian Massol, cultivated after retiring from the wholesale hardware business.

1893-1909: Owned by Frank Watkins

Frank Watkins, a pharmacist and local leader, converted the attic into bedrooms in 1902 and installed a small telephone exchange in a back office of the pharmacy he ran, playing a pivotal role in early communication for the town of Los Gatos.

1945 Onward: Owned by the McClure Family

The McClures made significant updates, including adding living room windows, enlarging doorways, and constructing a side porch, which softened and brightened the home's atmosphere.

1971 Onward: Owned by the Anderson Family

The Andersons focused on restoration, polishing original hardwood floors, refinishing intricate brass hinges, and remodeling rooms to add features like a bay window. They also installed modern heating and added a white picket fence and arbor gateway to the property.

Planned Renovations

As the current stewards of this historic home, we deeply appreciate its unique character and the stories embedded in its walls. However, as much as we love its Victorian charm, some features are less enchanting—drafts masquerading as ventilation and plumbing that seems to have a personality all its own.

Our plans aim to strike a balance between honoring the past and making the house practical for the future:

- **Functionality Updates:** Insulation, plumbing, and heating systems will be updated with a light touch, ensuring the home stays cozy in winter without losing its old-world charm.
- **Living Space Improvements:** Some interior spaces including kitchen and a bedroom in the back will be thoughtfully adapted to accommodate family life in the 21st century. Rest assured, these

96 M. V. B. Daves House
228 Massol
C. F. Scammon, 1889

Martin Van Buren Daves, a florist and member of the prominent family for which Daves Avenue is named, commissioned this house from builder C. F. Scammon. In 1894, he sold to Dr. Eleonora "Alice" Yelland, possibly the first female physician in town. Fanciful Berkeley architect W. R. Yelland (1890-1966) was born in Los Gatos—could Dr. Yelland be the architect's mother?



228 Massol

97 Watkins House
328 Bachman Avenue
1885

Fenilen "Fen" Massol apparently owned and possibly built this vernacular Victorian house shortly before joining with four other property owners to subdivide the Almond Grove. Fen's father, Florian A. Massol (1810-1890) had been in the wholesale hardware business with Collis P. Huntington in Sacramento in 1853. He retired in 1869 and came to Los Gatos in 1883. Fen was Florian and Orpha's only son.

Perhaps equally well-known was the home's second owner, pharmacist Frank F. Watkins. In 1893, Watkins combined his pharmacy with that of Almeron Skinkle to form the Watkins-Sinkle Corner Drug Store at North Santa Cruz and Main Street, under the town's signature cupola. The two partners were also agents for the Sunset Telephone Company. Watkins was a founding director of the Los Gatos Telephone Company in 1910 and he managed its growth 1917-1931.

The unpretentious home may have come from a midwestern farm house pattern book—the steep roof seems designed to handle snow.



328 Bachman



BORN IN THE HOUSE GRAND-FATHER BUILT at 124 Wilder, Elayne Shuman of 145 Wilder is something of a neighborhood matriarch—she has lived on this street all her life. The 1989 earthquake destroyed her home, but her son-in-law Dave Flick rebuilt it.



ONE OF THREE officially registered home names in town, this one, at 119 Tait, is joined by *Frog Hollow* (89 Fairview, see 83) and *Paradise Found* (399 Nicholson). The owner, speaking with a thick

Times



Observer

Volume XXXIX

15 Cents LOS GATOS, CALIFORNIA Phone 354-3900 TUESDAY, SEPTEMBER 23, 1976 NUMBER 04

Teachers object

Trustees vote funds for repair

By DONNA PEREIRA

In a checkmate move against objecting teachers, the Los Gatos Joint Union High School District governing board voted unanimously to earmark \$40,000 of \$104,000 coming from Senate Bill 220 as emergency funds for repairs at both Los Gatos and Saratoga high schools.

The action, recommended by Superintendent Dr. James Regan, was taken at the board's meeting Monday evening.

Board members were advised by Regan that under the new "Sunshine Law" (AB 4114) it is not necessary to negotiate if a condition of emergency is determined by the school board.

Otherwise, the law states briefly that all certified employee proposals be presented at a public meeting. Then, seven days must pass and the governing board must adopt its position on the issues in public session.

The teachers' initial request of a one per cent salary increase was sty-

mied by board members when they voted unanimously for no further salary raises, saying that public opinion leaned towards providing funds for student needs.

Representatives from (CON'T ON PAGE 8)

Los Gatos landmark

Regal simplicity marks this house

By DONNA PEREIRA

Queen Victoria's architects might have raised an eyebrow or two if they

could have seen what was going up on the corner of Massol and Bachman Avenues in Los Gatos around 1884.

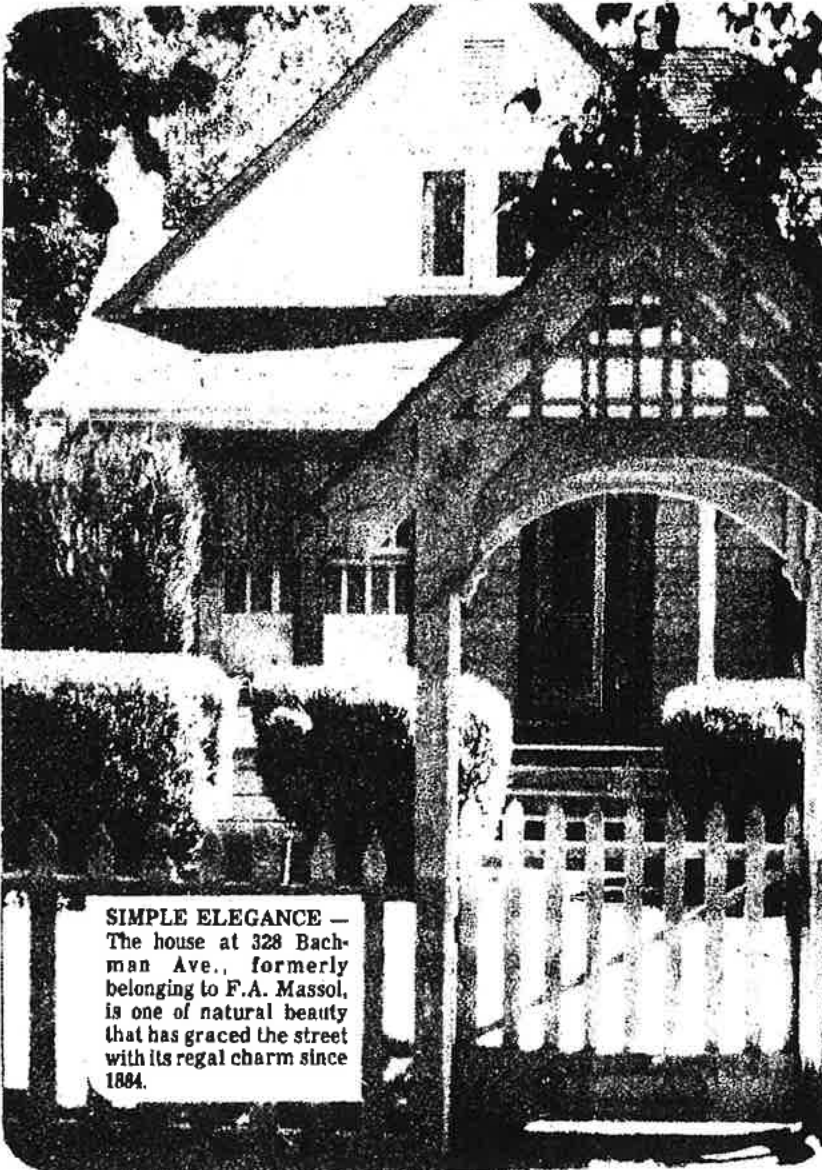
The house had none of their beloved ornateness — no fancy frills, no flirtatious lacework peck-booing provocatively from its facade.

But no doubt its regal simplicity would have pleased the Queen herself, for then, as now, the majestic structure seems to disdain any embellishment to its royal look.

One extravagance is permitted, however. It's the unbroken line of towering elm trees, stately in their own right, which have stood on two sides of the house like faithful subjects throughout the years. Other than their leaves on the lawn, no adornment seems necessary.

This charming house, presently owned and inhabited by the Spencer Anderson family, was first

(CON'T ON PAGE 8)



SIMPLE ELEGANCE — The house at 328 Bachman Ave., formerly belonging to F.A. Massol, is one of natural beauty that has graced the street with its regal charm since 1884.

Saratoga to host p

Faculty and staff will play host to the parents of Saratoga High School students at the annual Back-to-School Night on Tuesday, Sept. 30, at 7:30 p.m. in the gymnasium.

Prior to the general meeting and class visitations, the Parent Teacher Student Association will sponsor a spaghetti dinner, beginning at 5:45 p.m. in the cafeteria.

The evening will begin with a general meeting in the gymnasium at 7:30. Parents will be dismissed

TEMPERATURES

Friday	74-55
Saturday	80-49
Sunday	79-52
Monday	78-55

original deeds found during a title search in the town archives.

OWNERSHIP CHAIN

Mrs. Anderson, who is very interested in the history of the house, obtained copies of the old records and linked together its chain of ownership.

F. A. Massol claimed property which was bordered by Saratoga, Bachman, Massol and Santa Cruz Avenues. His 22-acre almond orchard was the oldest orchard in Los Gatos, most of the trees having reached the ripe old age of 15 in the year 1888.

Massol's only child was a son, Fen, who served Los Gatos as a councilman and was mayor of the town from 1894 to 1897. He was also considered one of the leading jewelers in Los Gatos and was active in the real estate business as well.

The Massols lived in their solid redwood home until 1892, when it was sold upon the death of the owner by his wife for "\$10 in gold coins" to Frank F. Watkins, a pharmacist with a drug store on Santa Cruz Avenue.

"He was a funny little guy," Dr. Horace Jones of Los Gatos recently mused. "Watkins had a very dry sense of humor — his head was slightly balding and he wore gold-rimmed specs."

PHONE EXCHANGE

When the building occupied by the Sunset Telephone and Telegraph Company (where the Rex Hotel now stands) was burned in 1891, Watkins set up a telephone exchange in the small office behind his drug store. There he installed a public telephone and operated it on a commission basis.

According to Dr. George Bruntz, author of "The History of Los Gatos," the exchange remained there until 1909, when it was moved to the building now owned by Crall's Book-

ATTIC

The father of three daughters, he is believed by Mrs. Anderson to have converted the house's huge attic into bedroom for his offspring. There was only one bedroom downstairs and one other room which could conceivably have been one — it's now the Anderson's library.

Providing a more substantial clue in the opening of the attic, is the fact that the Andersons discovered all the locks upstairs engraved with the date, 1902 — a year the house was occupied by Watkins.

Having three daughters themselves, the Andersons now find the pharmacist's plan quite suitable to their own needs.

When Watkins moved, he sold the house to Mr. and Mrs. L.A. McClure. Mary McClure is credited by Mrs. Anderson and other townspeople who know her, with having lightened up the formerly dark and rather sober dwelling.

She added another window in the living room, along with a fireplace, and enlarged two downstairs doorways. She also included a side porch with a door leading from the dining room.

came to relax and talk of music with Mrs. McClure, a piano teacher.

In 1945, Mrs. McClure, then a widow, sold her home. The dignified old house was to change hands five times after her ownership, until it was finally bought by the Andersons in 1971.

But despite its many owners, the house remains basically the same. Mr. and Mrs. Anderson have spent many hours stripping, waxing and buffing its original hardwood floors downstairs and scraping layers of paint from Mr. Massol's intricately designed door hinges.

Antiqued patterns are sunken into the solid brass hinges, now polished to a shine, to give the unaffected house a tiny touch of ornateness within its walls.

There's still a furnace pulley in the dining room that was used to open the old converted coal burner vent in the basement, which sent streams of heat shooting through a grill in the dining room floor. The Andersons have since put a furnace upstairs and downstairs.

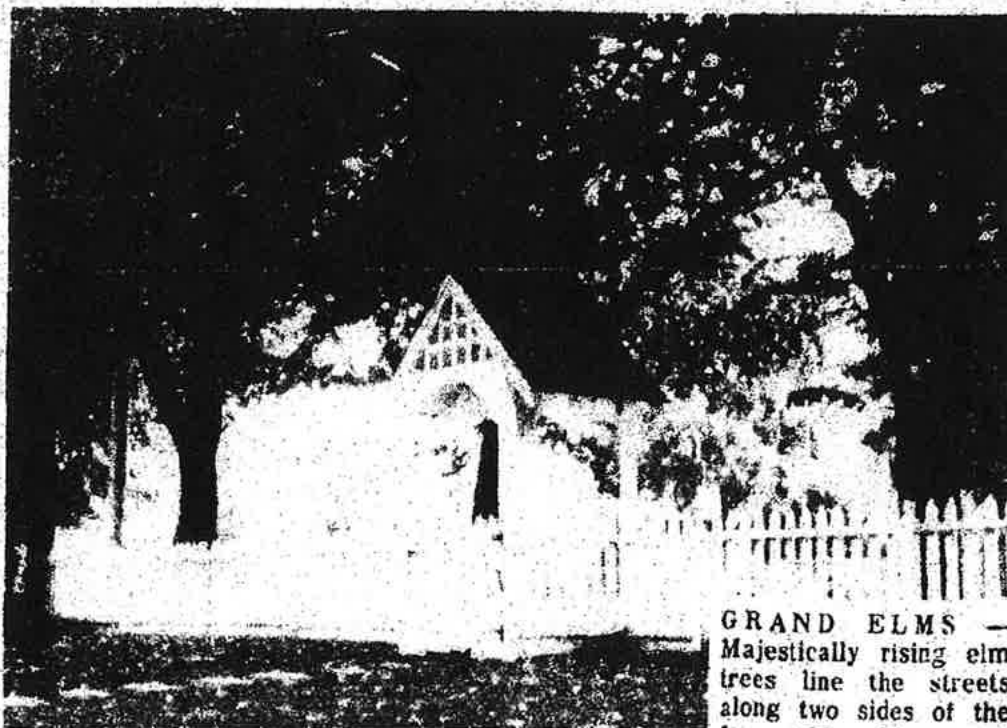
A brick chimney stands in the basement and

INTERIOR

The Andersons have spruced up the interior of the house in many small ways, including applying gold leaf paint to the original dust catchers on the "attic" stairs and adding their hand-painted shutters to the living room windows.

A major project they're working on now, is the remodeling of a room downstairs, which will open onto the back patio. The building is being done by Mr. Anderson, and the room features a beautiful bay window overlooking the patio in the backyard.

On the exterior, the Andersons added the white picket fence that now surrounds the house, and the charming arbor gateway leading into the grounds. The wide front porch, which had once been screened, offers a restful place where the scenic beauty of the elms and surrounding area may be enjoyed. It is the same natural view of simplistic beauty that the queenly house has offered all of its occupants.



GRAND ELMS — Majestically rising elm trees line the streets along two sides of the

- METROSCAN PROPERTY PROFILE -

328 Bachman

Mary McClure - 1934 to approx 1945

1. Added fireplace in living room.
2. Enlarged narrow parlor & living room doorways
3. Added small porch off dining room.
4. Front porch was screened in with climbing roses & honey suckle.
5. Garage had been in lower back yard.
6. Downstairs bath enlarged sometime after 1945.

328 Bachman Ave. - Anderson

ERROR: ioerror
OFFENDING COMMAND: image

STACK:

/CreationDate

LOS GATOS MUSEUM ASSOCIATION
A Non-Profit Corporation
Main and Taft
Los Gatos, California 95030
Phone 354-9782

CULTURAL HISTORY



NATURAL HISTORY

Dear Los Gatos Home Owner*:

The Los Gatos Museum Association has been requested by the Town Council to compile a list of the older buildings within the city limits of Los Gatos for historical purposes.

If you have any information on the past history of your home or any other in the area, or any historical knowledge of Los Gatos commercial property, we would be very grateful if you would note those facts on the following form and return it to me within five days.

We will be concerned with only those buildings constructed (and still standing) between 1850 and 1900. The cut-off date is January 1, 1900.

Please telephone me at [redacted] if you have a question regarding the survey.

Your help will be truly appreciated.

Sincerely,

Mardi Gualtieri

Mardi Gualtieri (Mrs. Antony)

*If you are renting your home and feel that it is worth investigation would you please inform me so that I may contact the owner for further details? Thank you.

HISTORICAL HOME SURVEY

(Answer as many questions as you can)

(Return in 5 days to:
Mrs. Antony Gualtieri
38 Alpine Ave.-Los Gatos)

(Please Print) ^{New owner in June:}

Name: ^{Barbara G.} FRANK J. BURGE ^{Spencer Anderson}

Phone: [redacted]

Address: 328 BACHMAN Street

LOS GATOS City Zip

Home-owner: Renting:
If renting, owner's name: _____

Address: _____ Phone: _____

Date of construction: (known) _____ (estimated) 1894 - 1900

Builder's name: _____

Name of ORIGINAL owner: _____
Occupation: _____

Names of subsequent owners:

1. Mrs. & Mrs. Watkins (i.s. Mrs. F. Burge)
Date Address
2. Mrs. & Donald Packard " "

Other facts of historical interest please include on reverse side.

Anderson purchased July 1971

[PLEASE PRINT]

PROSCAN PROPERTY PROFILE -

Los Gatos Museum Association
Historic Home Survey

Street:

Dorchman

Informant:

M. Gattien

House number:

328

Phone: 354-1940

Present owners: M & M Spencer Anderson

Phone: 4-5825

Estimated construction date: ca. 1900 - C.A.R., 1885 - A.E.G.; 1896 - G.R.

Ownership: ¹⁸⁹¹ Early
Original: Mass. 18
FRANK F. WATKINS

Occupation: pharmacist

(year of purchase)

19__ : _____
19__ : _____
19__ : Mr. Frank Furge
1971 : M & M Spencer & Eleanor Anderson

" "
" "
" "
" "

(Present owner)

Occupants: (is City Dir. & Tel. Dir.)
19__ : _____

Occupation:

1918 : F. E. Watkins
1924 : _____
1935 : L. A. McClure

" "
" "
" "

History: (Please identify information source.)

1. S. Dea Rankin Frank F. Watkins, co-owner with D. Skunkel Jr of drug store located at intersection of Santa Cruz & Main (N.W. corner). His three daughters were Laura (later wife of Dr. Baird), Helen (Marjorie Holden) & Cecile.
2. S. Tel Dec 1904 F. F. Watkins listed as Pres. of L.G. Cemetery Assn., also Cashier for Bank of Los Gatos

Return to:
Alpine Ave.
Los Gatos, Ca.

Remodeling: (Please identify information source and year of change.)

M & M Spencer Anderson have undertaken extensive remodeling

(45 Broadway), were nurses or caregivers. One had been a patient, well have been patients. One reads about individuals not expected to live long who in fact lived for decades longer. Whether this was because of Los Gatos' extraordinary climate, we cannot say. But we are fortunate to enjoy its weather and its scenic beauty to this day!

• ABOUT THE BELLRINGER PROJECT •



The Town of Los Gatos established the Bellringer Project in 1976, in concert with the nation's centennial celebrations. A total of 100 awards were to be presented to homeowners whose house was built before 1901 and who had demonstrated efforts to maintain and preserve their historic home. Initial criteria required work on the home to be complete prior to award; however,

that proved too difficult, and some awards were made based on work in progress. In 1976, 62 awards were made, and 6 additional awards were presented in 1977. To reach the goal of 100, the Bellringer II project was established in 1987, in conjunction with the Town's centennial celebrations. An additional 32 awards were presented that year, satisfying the goal of 100 Bellringer awards.

Recipients received a certificate listing all the recipients and a doorbell plaque shaped like a cat's head. The award was designed by Mr. Ron Cassel, the metal shop instructor at Los Gatos High School, and the plaques were made by Los Gatos High School Shop students.

Bellringer Project plaques are attached to the front entry of homes receiving the award, notably the tour homes at 33 Glen Ridge and 45 Broadway.

THE MUSEUMS OF LOS GATOS HISTORIC HOMES TOUR

***This Page
Intentionally
Left Blank***

6
49

6

5.20

3

MONTGOMERY

SAN BENITO AV.

MONTGOMERY AV. (WILDER)

AUTO CAMP
75
90

7

5

SARATOGA AV.



MASSOL AV.

88

90

AV.

SANTA CRUZ

1928-1944
328 Bachman Ave.

5

ALMENDRA AV.

TAIT AV.



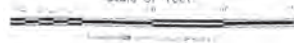
89

108
(65)

12

BACKMAN AV.

Scale of Feet



WILDER AV.

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

APPLICATION FOR BUILDING PERMIT

B 5054

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 328 Bachman

OWNER [REDACTED]

VAL ADDRESS 328 Bachman

CITY Los Gatos CA

CONTRACTOR Heagy Bros Rdg Co

ADDRESS [REDACTED]

ADDRESS 336 E Gish Rd

STATE CA

LIC NO. 326031

CITY SJ

328 Bachman

FILE NO.	CONST TYPE	GROUP	PROJECT NO.
USE ZONE	SPECIAL CONDITIONS	VARIANCES	DISTRICT
BUILDING SETBACKS	FRONT	REAR	SIDE

BUILDING PERMIT APPROVAL DATE

PLANNING DEPT

FIRE MARSHAL

PUBLIC WORKS

ISSUED BY [Signature] 5/17/28

INSPECTION RECORD

DESCRIPTION OF WORK

NEW	ADD	ALTER	REPAIR	DEMOLISH	
52 FT	3200	NO OF STORES	1	NO OF PANELS	1

DESCRIPTION OF WORK Residence, 50 lb fall over wood, plus 300 lb asphalt shingles

BLDG 28.00

CCF 1.50

VALUATION 3200.00

TOTAL 28.50

I HEREBY CERTIFY THAT I AM PROPERLY LICENSED OR THAT I AM EMPLOYED BY ONE WHO IS PROPERLY LICENSED BY THE STATE OF CALIFORNIA.

SIGNATURE OF PERMITTEE Ken Heagy

VALIDATION

PAY TO ORDER NO. 8723 • • 0028901

FOUNDATION LOCATION	DATE	INSPECTOR'S S.S.
FOCUS MATERIALS		
LEAVE FIRE STOPS		
BRACING BOLTS		
FLUENCE LOCATION		
GAS VENT DUCTS		
LATHING		
LATH EXT		
LANDSCAPING		
PARKING AND GRADING		
IMPROVEMENTS COMPLETED		
FINAL		

[Signature]

No. 618

Jan 13 1947

CERTIFICATE OF PERMISSION

Permission is hereby granted in accordance with the Ordinances of the

TOWN OF LOS GATOS

ELECTRICAL PERMIT

To Owner *M. S. Sullivan* Address *328 Buchanan Ave*

ELECTRICAL WORK—Motors, Hp. Signs Outlets Circuits Switches

Fixtures Ranges *K* New Service *K* Permit Misc.

Contractor *Self* Address *Los Gatos*

Fee *1.00* Rec'd Payment *J. M. Sullivan*
Electrical Inspector

Date: Inspection *Jan 13 1947*

TOWN OF LOS GATOS
Building Inspection Department
Phone Elgeto 4-4520

No 3027 P

PLUMBING PERMIT

Location 328 Bridman St

Date 9-26, 1960

Is hereby granted Cost Water Softener
to install plumbing at above location in accordance with
application for P. Paschall owner

RECEIPT for ONE + 50/100 Dollars
as inspection fee is hereby acknowledged.

TOWN OF LOS GATOS BUILDING INSPECTION DEPT.

V. D. Bowen

For Permit	1.00
Water System 1.00	
House Sewer 1.00	
Sewer Connection 10.00	
Fixtures 1.00	
Water Heater 1.00	
Water Softener .50	
Gas Line 1.00	
Gas Appliances .50	
Central Heat 1.00	
<u>9-26-60</u>	
TOTAL FEE	<u>\$1.50</u>

TOWN OF LOS GATOS
Building Inspection Department
Phone 354-6811

PLUMBING PERMIT

OFFICE COPY

1022030

No 11364

P

328 Bachman

Location.....

Date 5-3-1972

Is hereby granted Valley Heating & Cooling
to install plumbing at above location in accordance with
application for \$350.00 owner

RECEIPT for K Anderson Dollars
as inspection fee is hereby acknowledged.

TOWN OF LOS GATOS BUILDING INSPECTION DEPT.

By.....

For Permit	2.00
Water System 1.50	
House Sewer 5.00	
Sewer Connection 10.00	
Fixtures 1.50	
Water Heater 1.50	
Gas Line 1.50	
Gas Appliances	
1 Watering Unit	1.50
TOTAL FEE	\$ 35.00

Permit Number: P98-000476

Work Description: PLUM WATER HEATER

Building Address: 328 BACHMAN AV
Owner.....: [REDACTED]
Address.....: 328 BACHMAN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: ABSOLUTELY WATER HEATERS
License.....: 721169
Address.....: P.O. BOX 1109
City.....: MARINA
Zip.....: 93933
Business Lic.: Also is Applicant

Status.: ISSUED
Applied.: 10/30/1998
Approved: 10/30/1998
Issued.: 10/30/1998
Expires.: 04/28/1999

--Square Footage--

New Residence: Remodel: Commercial:

***** PERMIT FEES *****	
Permit Issuance.....:	25.00
Plan Check Fee.....:	.00
New Residential.....:	.00
Remodel.....:	.00
Commercial.....:	.00
Detail Plumbing Fee..:	15.00

Total Calculated Fees:	40.00
Total Additional Fees:	.00
Total Fees Due.....:	40.00
Total Payments.....:	.00
BALANCE DUE.....:	40.00

CONTRACTOR'S DECLARATION
I certify that I am properly licensed by the State of California Contractors License Law.
Signature X [Signature]

COMPLETE A OR B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X [Signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X _____

CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X [Signature]

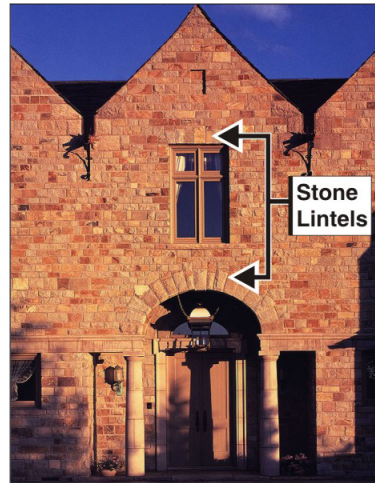
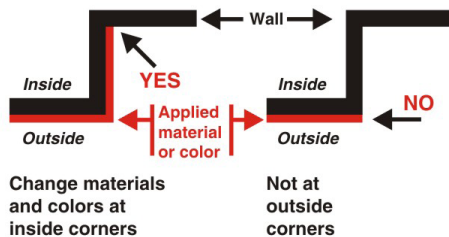
Permit #	AppType	Addr#	Street	Suffix	APN	Project Description	Current Status
P98-00047	Residential - Misc	328	BACHMAN	AVE	51014037	PLUM WATER HEATER	Finald
P15-069	Residential - Copper Re-pipe	328	BACHMAN	AVE	51014037	COPPER REPIPE	Expired
P14-198	Residential - Water Heater	328	BACHMAN	AVE	51014037	REPLACE WATER HEATER, SAME SIZE & LOCATION. T/O (E) ONE LAYER OF COMP AND ONE LAYER OF WOOD R/R	Finald
B12-0196	Residential - Reroof	328	BACHMAN	AVE	51014037	W/COMP 700 SF T/O (E) ONE LAYER OF COMP AND ONE LAYER OF WOOD R/R	Finald
B12-0195	Residential - Reroof	328	BACHMAN	AVE	51014037	W/COMP 2000 SF	Finald

3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g, avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

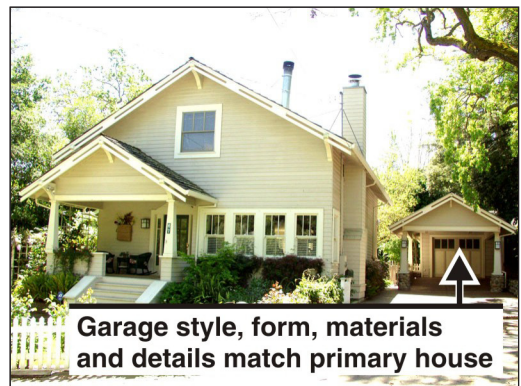
- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

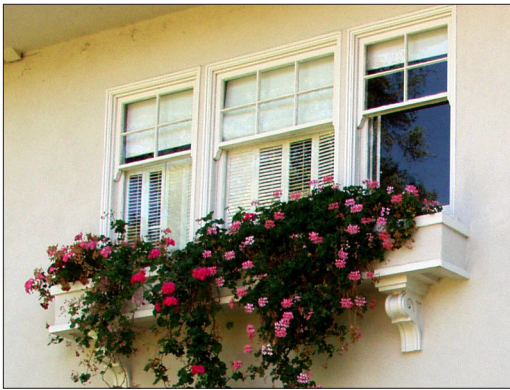
- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

HISTORIC RESOURCES

4



Original doors and windows should be retained and repaired



True divided lite windows are encouraged when appropriate to the original structure



Simulated divided lite windows may be considered on a case-by-case basis

- New materials should identically match original materials in shape, size, dimension, texture and pattern. Metal used as flashing, screening, gutters, and utility services and other traditional elements are acceptable.
- Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.
- The decision making body may approve an acceptable alternative to the original building material if use of the original material is not feasible due to unreasonable cost and commercial availability, or health and safety considerations.

4.8.3 Doors

- Original doors should be retained and restored.
- New replacement doors for Victorians should not be flush, but of raised or flat panel design.
- Front doors generally should be painted, not stained.
Not applicable to Mission Revival/ Mediterranean style structures.
- Screened doors should be real wood framed of simple design unless patterns can be shown to fit the existing style.

4.8.4 Windows and Glass in doors

- Original windows, glass and window decorations should be retained and restored.
- Replacement of only the deteriorated portions of the windows is recommended rather than the replacement of the entire window.
- New or replacement windows should be wood-sashed and muntined if applicable.
- Sills, lintels, frames, sashes, muntins, and all decorations should be identically replaced.
- All elements of new windows should be identical in size, shape, proportion, and dimensions as the original windows of the building, or consistent with traditional sizes, proportions and dimensions of buildings of the same architectural style, design and era.
- Windows should be constructed of real glass, and window

frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

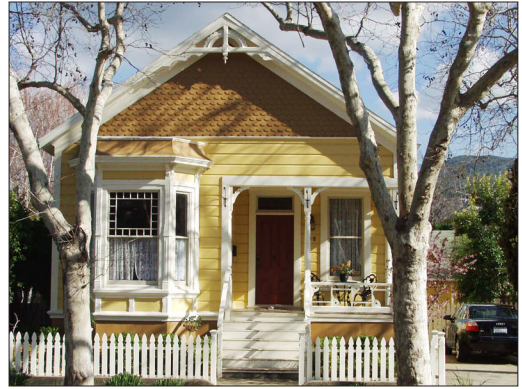
- All lites (panes of glass) should be true divided lite, not artificial or snap-in grids. Simulated Divided Lite windows are permitted when the details of the window provide projecting muntin elements on the exterior and interior of the window along with a spacer muntin between the panes of glass (See example to the left).
- New arched, angled, and/or octagonal windows are discouraged.
- Large expanses of blank exterior walls without windows are discouraged.

4.8.5 Bay Windows

- Size, shape, proportion, dimension, type of foundation, and, roof material and style of bay windows, whether restored or of new construction, should be identical to the original or existing bay windows of the structure.
- New bay windows may be added to the building in locations where no bay windows previously existed. These new bay windows should be identical to and replicate the style, design, size, shape and proportion, type of foundation and roof of other bay windows existing on structure. If there are no existing bay windows on the structure, new bay windows should be built in the same size, shape, dimension, proportions, material and type of foundation and roof typical of the architectural style. Metal frame kitchen garden windows are prohibited.
- Generally, traditional architectural styles will require either a foundation to the ground or substantial supporting brackets below a bay window. Floating windows without support, as shown for the bow bay window example to the right, are rarely appropriate.
- New bay windows are permitted only when the applicant proves to the Deciding Body that they are consistent with existing style, design and character of the structure.

4.8.6 Chimneys

- Wood-framed chimneys are prohibited unless their exteriors are covered with brick or river rock veneers. Masonry veneers may be used. However, they should be detailed exactly as the solid construction that they are emulating.
- Stucco Mission Revival or Mediterranean style houses may have stucco covered chimneys.



Match bay windows to the architectural style of the house



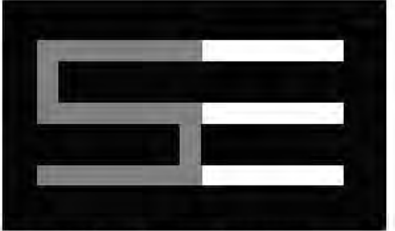
Some window styles, such as this bow bay window, would have very limited applicability for use on a historic resource structure



Wood clad chimneys are prohibited



Masonry and stucco chimneys are preferred



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

1 408.292.3252
f 253.399.1125

PROJECT DATA:

PROJECT ADDRESS: 328 BACHMAN AVENUE
LOS GATOS, CA 95030

APN: 510-14-037

CONSTRUCTED: 1900

LOT AREA: 11,100 SF (0.25 ACRES)

ZONING: R-1D:LHP

TRACT: 35 (MASSOL SUBDIVISION)

OCCUPANCY: R301 (SINGLE FAMILY RESIDENCE)

CONSTRUCTION TYPE: V-B (NON-SPRINKLERED)

WUI ZONE: NO

JURISDICTION: TOWN OF LOS GATOS

FIRE SPRINKLERS: NO

SETBACKS: PROPOSED ALLOWED

FRONT: (E) 35'-1" 15'-0"

LEFT SIDE: (E) 12'-6" 10'-0"

RIGHT SIDE: (E) 11'-11" 5'-0"

REAR: (E) 54'-1" 20'-0"

BUILDING HT: PROPOSED ALLOWED

RESIDENCE: (E) 28'-5" 30'-0"

HABITABLE AREAS: EXISTING PROPOSED ALLOWED

LIVING AREA @ 1ST: 1,847 SF 1,847 SF

LIVING AREA @ 2ND: 997 SF 1,129 SF

CELLAR (NIC IN FAR): (1,383 SF) (1,383 SF)

HABITABLE TOTAL: 2,776 SF 3,300 SF (FAR = .30)

GARAGE AREA: (E) GARAGE AREA: 360 SF 360 SF

GARAGE TOTAL: 360 SF 360 SF 921 SF (FAR = .083)

PROJECT INFO:

OWNER: [REDACTED]
328 BACHMAN AVENUE
LOS GATOS, CA 95030

DESIGNER: STUDIO 3 DESIGN
CONTACT BESS WIERSEMA
bess@studio-three.com
638 UNIVERSITY AVENUE
LOS GATOS, CA 95032
408.292.3252 (OFFICE)

STRUCTURAL ENGINEER: TBD

T24 ANALYST: FRI CONSULTING INC.
CONTACT NICK BIGNARDI
nick@friconsulting.com
21 N HARRISON STREET
SUITE 210
CAMPBELL, CA 95008
408.866.1620

SHEET INDEX:

A1.1	TITLE SHEET/SITE PLAN
A2.1	(E & N) CELLAR FLOOR PLANS - DEMOLITION
A2.2	(E & N) 1ST LEVEL FLOOR PLANS - DEMOLITION
A2.3	(E & N) 2ND LEVEL FLOOR PLANS - DEMOLITION
A2.4	(E & N) ROOF PLAN
A2.5	(E) EXTERIOR WALL DEMO & COLORIZED ELEVATIONS
A3.1	(E & N) FRONT ELEVATIONS
A3.2	(E & N) LEFT SIDE ELEVATIONS
A3.3	(E & N) REAR ELEVATIONS
A3.4	(E & N) RIGHT SIDE ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS

GOVERNING CODES:

1. GOVERNING CODES: ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:

A) 2022 CALIFORNIA BUILDING CODE (CBC); TITLE 24, PART 2 (BASED ON 2021 IBC)

B) 2022 CALIFORNIA RESIDENTIAL CODE (CRC); TITLE 24, PART 2.5 (BASED ON 2021 IRC)

C) 2022 CALIFORNIA ELECTRIC CODE (CEC); TITLE 24, PART 3 (BASED ON 2020 NEC)

D) 2022 CALIFORNIA MECHANICAL CODE (CMC); TITLE 24, PART 4 (BASED ON 2021 UMC)

E) 2022 CALIFORNIA PLUMBING CODE (CPC); TITLE 24, PART 5 (BASED ON 2021 UPC)

F) 2022 CALIFORNIA ENERGY CODE (CENC); TITLE 24, PART 6 (CA BUILDING STANDARDS COMMISSION)

G) 2022 CALIFORNIA FIRE CODE (CFC); TITLE 24, PART 9 (BASED ON 2021 IFC)

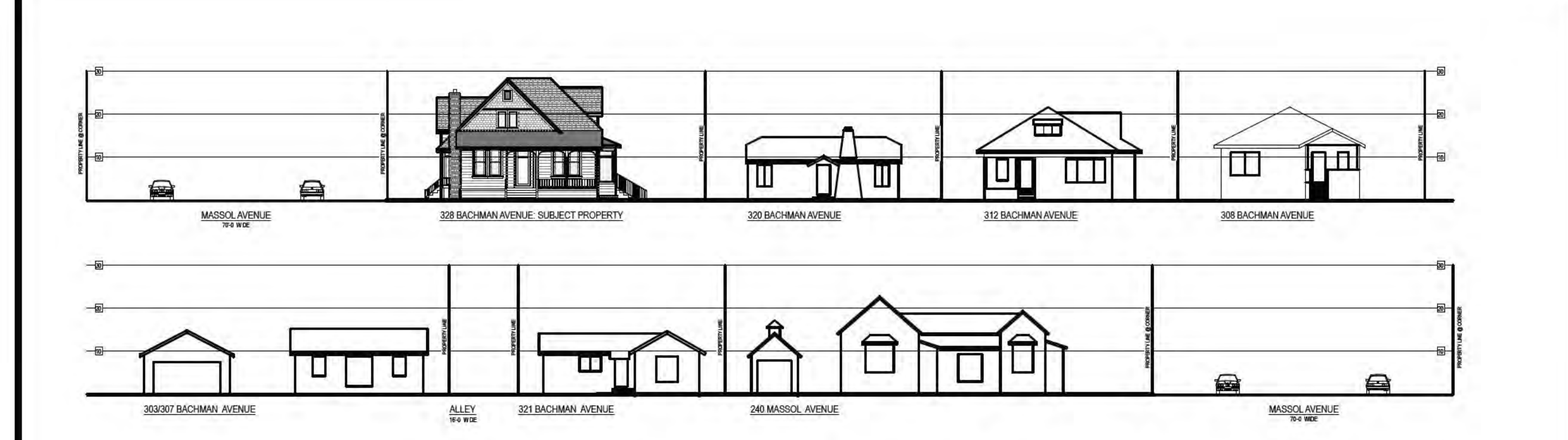
H) 2022 CALIFORNIA GREEN BUILDING CODE; TITLE 24, PART 11 (CA BUILDING STANDARDS COMMISSION)

IN ADDITION TO THE CODES REFERENCED ABOVE, ALL WORK SHALL CONFORM TO ALL LOCAL ORDINANCES & CODES AS APPLICABLE. CROSS REFERENCE ALL CODE NUMBERS AND VERIFY CONSISTENCY AS REQUIRED.

PROJECT SCOPE OF WORK:

SCOPE OF WORK: INTERIOR REMODEL TO AN EXISTING TWO-STORY, SINGLE FAMILY RESIDENCE WITH A CELLAR CONSTRUCTED IN 1900 (HISTORICAL). INCLUDES RECONFIGURATION OF (E) CELLAR (NOT INCLUDED IN FAR CALCULATIONS), INTERIOR BATH REMODEL, KITCHEN REMODEL & STAIR RECONSTRUCTION @ MAIN LEVEL, A 44 SF ADDITION (UNDER THE ROOF LINE), & 88 SF ADDITION @ PRIMARY BATH @ 2ND LEVEL. REMODEL & ADDITION CREATES 4 BEDROOMS & 4.5 BATHS. ALL NEW DETAILS SHALL MATCH (E) HISTORICAL CONSTRUCTION IN MATERIALS, STYLE & ARCHITECTURAL PROPORTIONS.

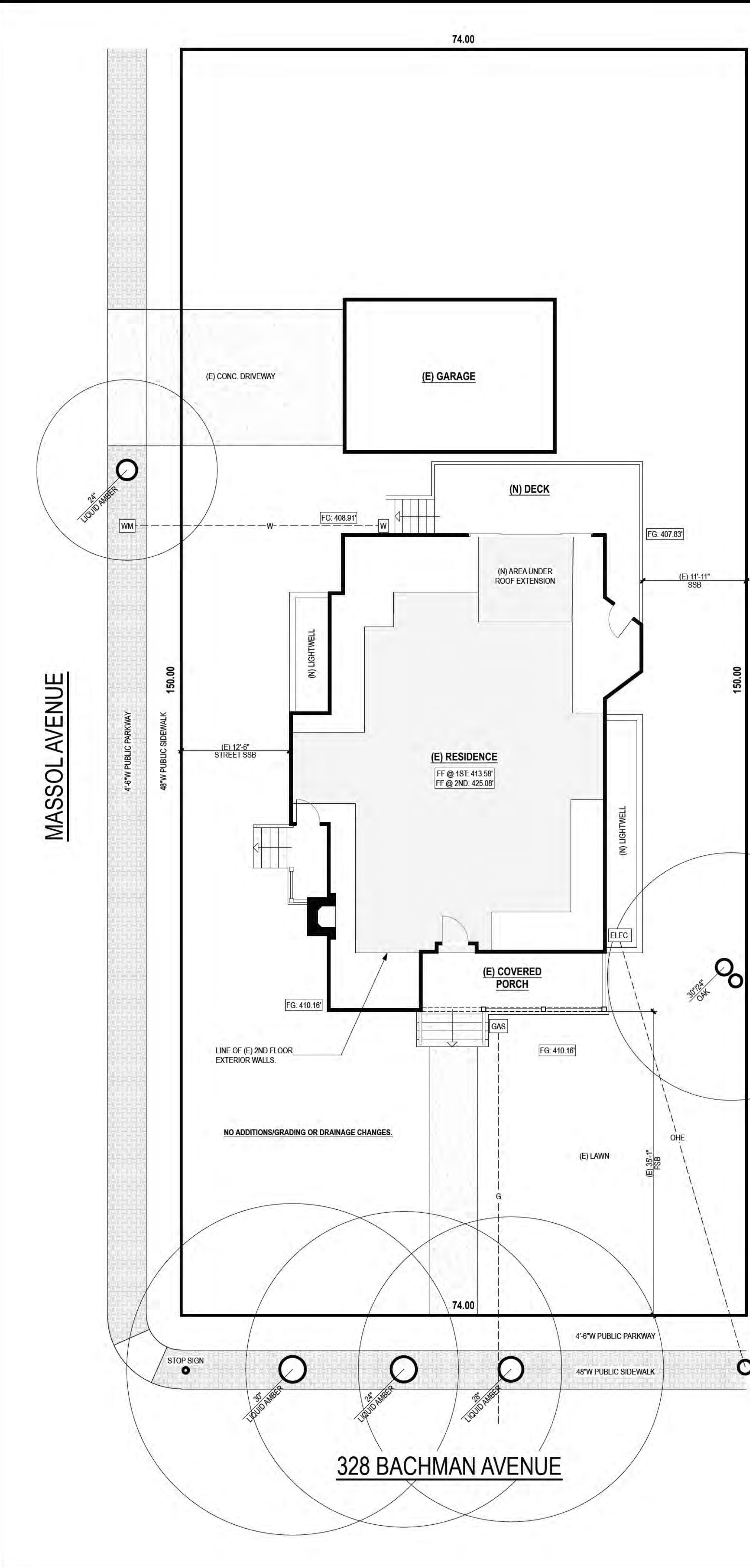
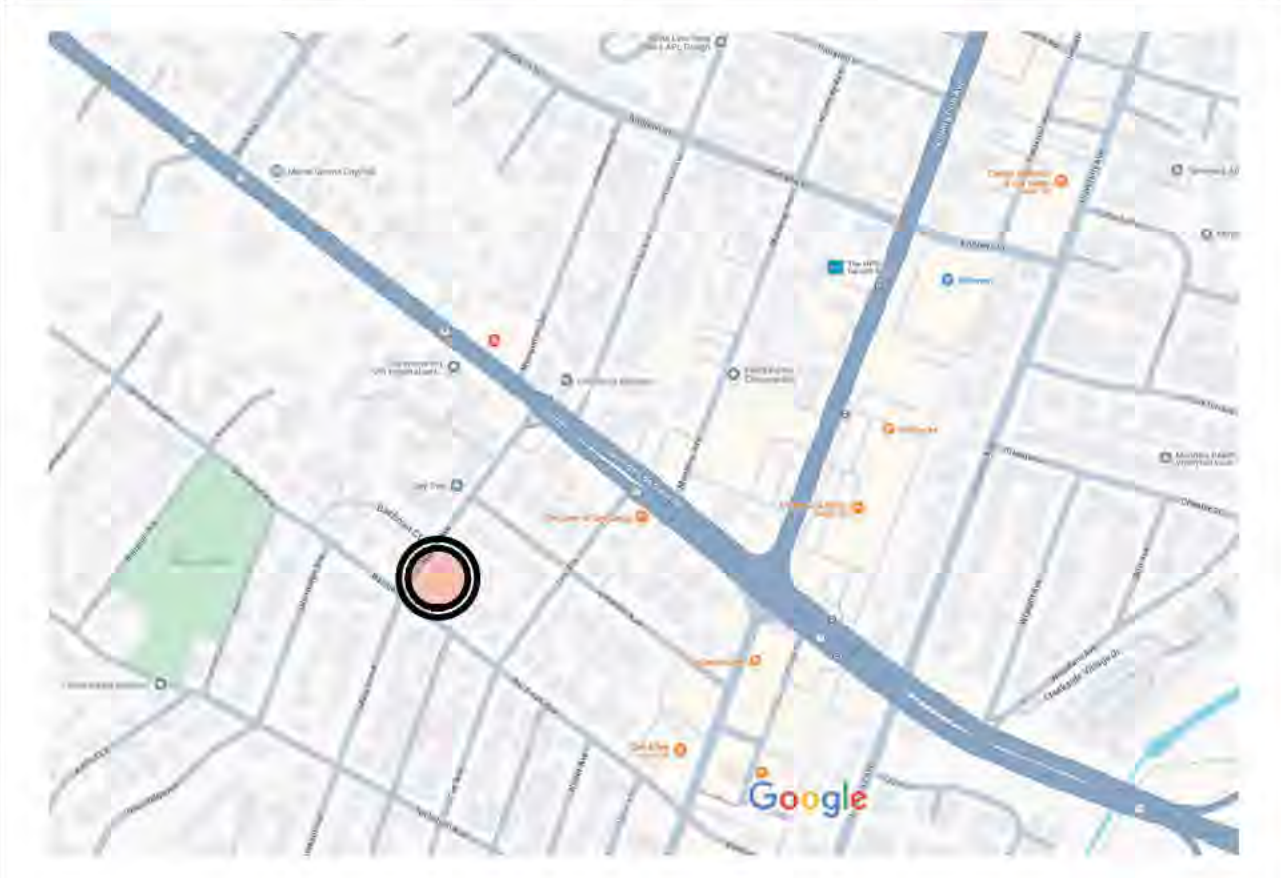
STREETSCAPE: BACHMAN AVENUE



PARCEL MAP (APM):



VICINITY MAP:



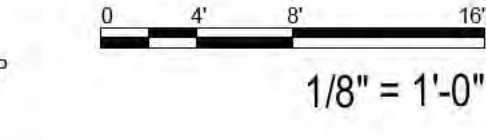
SITE PLAN NOTES:

- WHEN REQUIRED BASED ON THE SCOPE OF WORK, SEE THE CIVIL ENGINEER'S 'GRADING & DRAINAGE PLANS' AS APPLICABLE AND/OR REQUIRED FOR TOPOGRAPHY, SITE WORK & UNDERGROUND CONSTRUCTION (TYP) ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES & REQUIREMENTS. CIVIL ENGINEER'S PLANS SHALL TAKE PRECEDENCE OVER ANY ARCHITECTURAL, SITE PLANS AND/OR LANDSCAPE PLANS.
- WHEN REQUIRED AND AS APPLICABLE, A LICENSED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL PROVIDE WRITTEN CERTIFICATION OF SETBACK COMPLIANCE FROM PROPERTY LINES AND ALL RELATIVE PAD ELEVATIONS FOR ALL NEW CONSTRUCTION ON THE SITE.
- UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLANS (GRADING AND DRAINAGE), THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 2% FOR A MINIMUM DISTANCE OF 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10'-0" OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. DRAINAGE SWALES USED FOR THIS PURPOSE SHALL BE SLOPED 2% WHERE LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. CBC1804.4. SEE EXCEPTION FOR ALLOWABLE FINISH GRADE SLOPE REDUCTION TO 2% AWAY FROM STRUCTURE.
- WHEN EXISTING SEWER LATERALS ARE APPROVED FOR REUSE, EXISTING LINES SHALL BE TELEVIEWED & APPROVED BY THE LOCAL SANITATION DISTRICT PRIOR TO FINAL INSPECTION. PROVIDE A NEW CLEAN OUT LOCATED @ THE PROPERTY LINE WITH AN APPROVED BACK FLOW PREVENTION DEVICE APPROVED BY THE SANITATION DEPARTMENT (AS APPLICABLE).
- IN NEW CONSTRUCTION, ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (UNO). SEE THE UTILITY PROVIDER'S PLANS & SPECIFICATIONS FOR EXACT DETAIL & SERVICES TO BE PROVIDED. VERIFY JURISDICTION FOR SPECIAL MUNICIPAL REQUIREMENTS.
- ALL TREES MARKED ON THE 'SITE PLAN' NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED BY THE APPROPRIATE TREE PROTECTION MEASURES IDENTIFIED BY THE CONSULTING ARBORIST OF RECORD AND/OR LOCAL PLANNING JURISDICTION AS APPLICABLE & REQUIRED AS A CONDITION OF APPROVAL. NO EQUIPMENT, MATERIALS OR WORK SHALL COMMENCE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS READY FOR FINAL INSPECTION. ANY WORK REQUIRED WITHIN THE FENCED PROTECTED AREA SHALL BE PERFORMED WITH HAND TOOLS.
- AS APPLICABLE, SEE CONSULTING LANDSCAPE ARCHITECT'S DRAWINGS FOR FLATWORK, PAVING, RECREATIONAL FIXTURES, PROPOSED PLANTING & IRRIGATION INSTALLATIONS.
- R318.4 ADDRESS IDENTIFICATION. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 5 INCH (127 MM), WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

SITE PLAN

37° 13' 44" N
121° 59' 03" W

ADDRESS: 328 BACHMAN AVENUE
APN: 510-14-037
LOT SIZE: 11,100 SF (.25 ACRES)
ZONING: R-1D:LHP
TRACT: #35 (MASSOL SUBDIVISION)
BUILT: 1900
WUI: NO



APN: 510-14-037

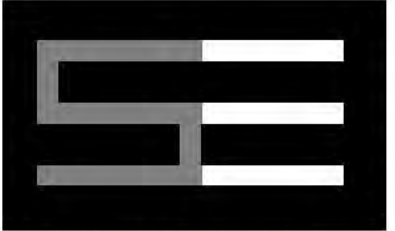
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/8" = 1'-0"

SITE PLAN

A1.1
ATTACHMENT 6



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125

DHARMAVARAM
RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

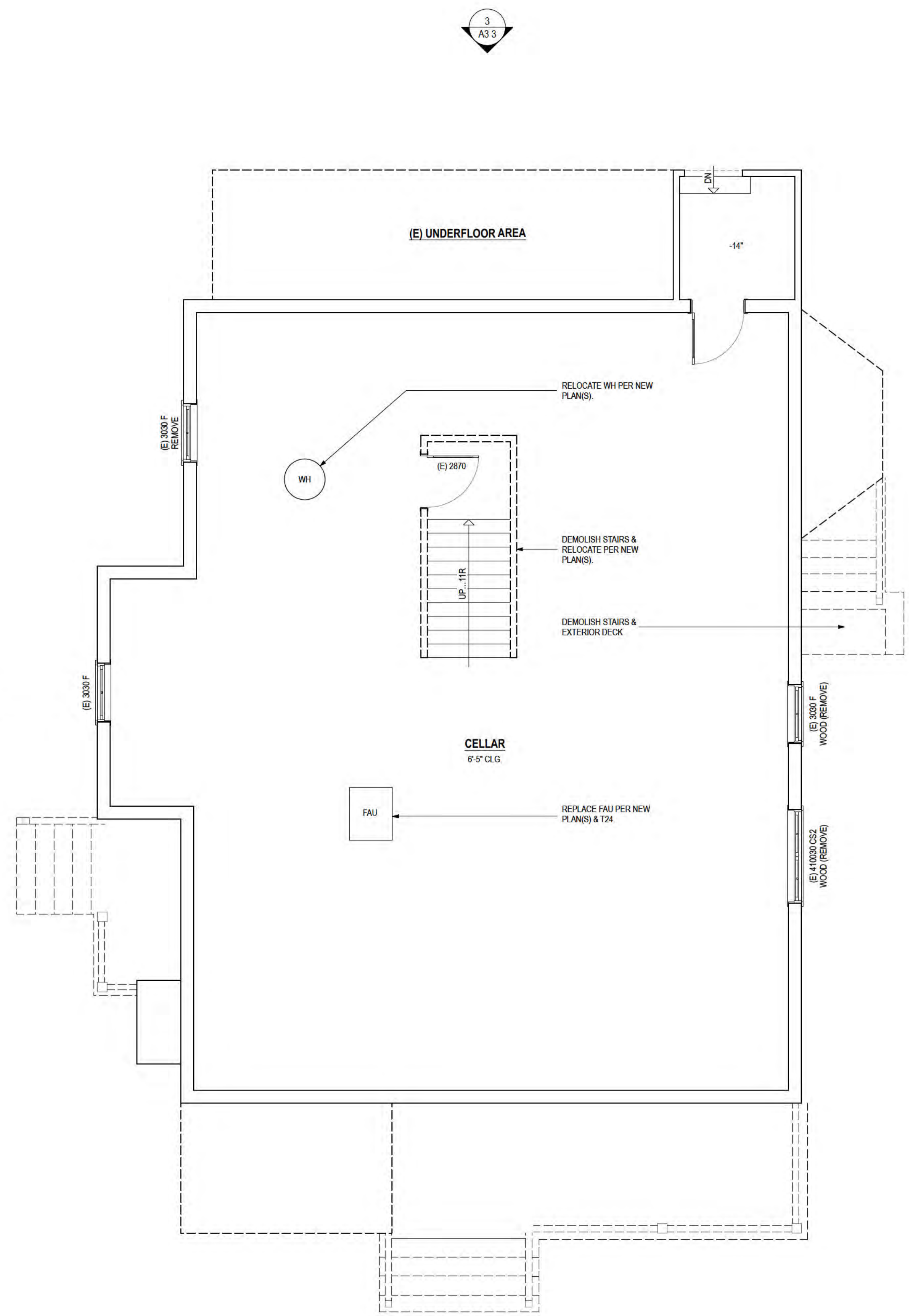
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

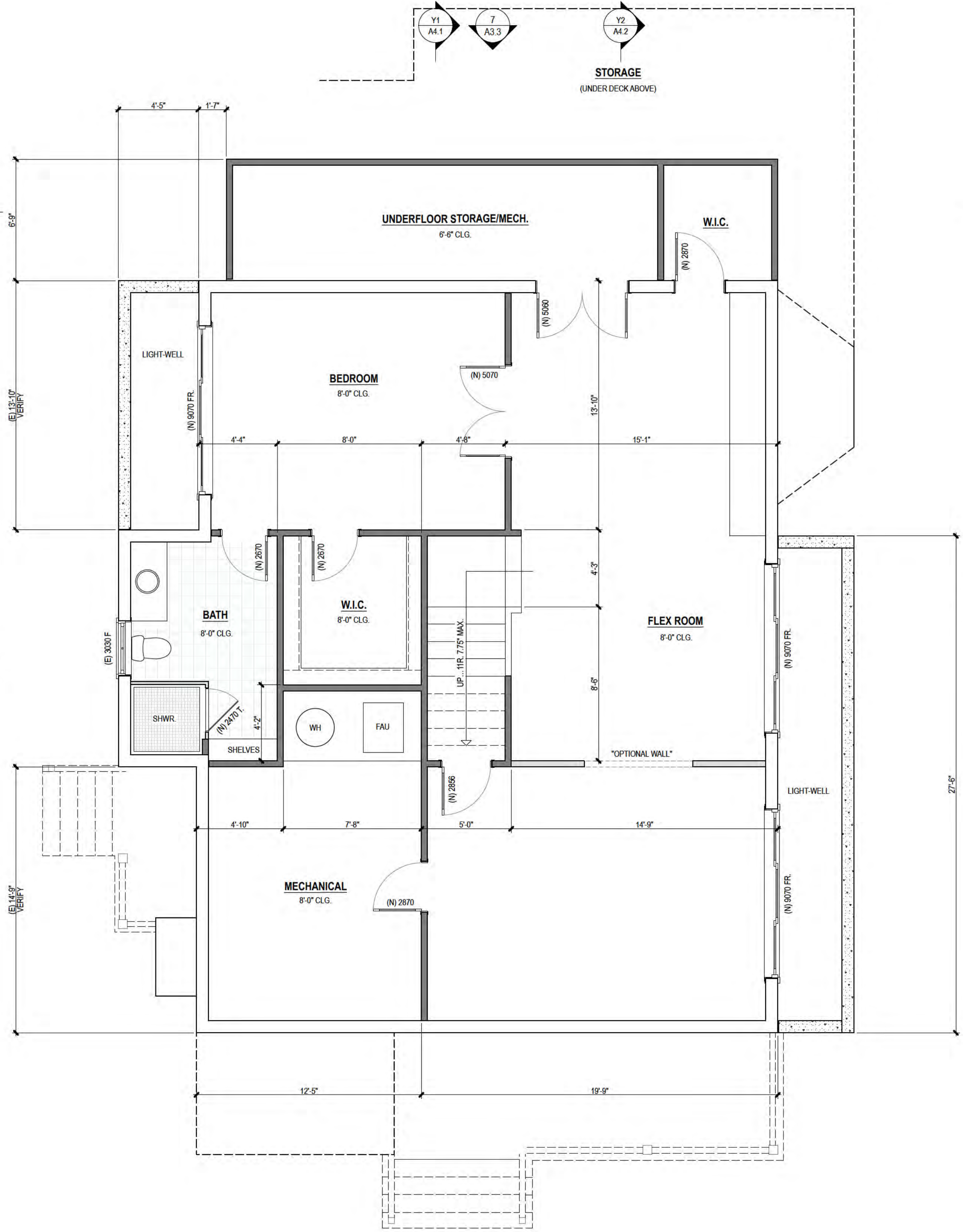
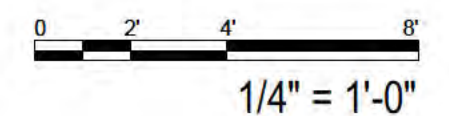
CELLAR PLANS

A2.1



EXISTING CELLAR PLAN

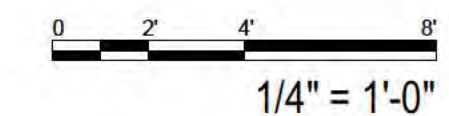
- (E) 2X DF STUD WALL TO REMAIN
- (E) CELLAR AREA: 1,393 SF

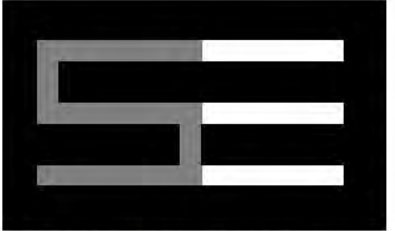


PROPOSED CELLAR PLAN

- (E) 2X DF STUD WALL TO REMAIN
- (N) 2X DF STUD WALL TO CONSTRUCT
USE 2X4 DF STUDS @ 16\"/>

(E) CELLAR AREA: 1,393 SF (**NOT INCLUDED IN FLOOR AREA**)
EXCAVATE AS NEEDED TO CREATE LEGAL HEADROOM @ (E) CELLAR.





STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

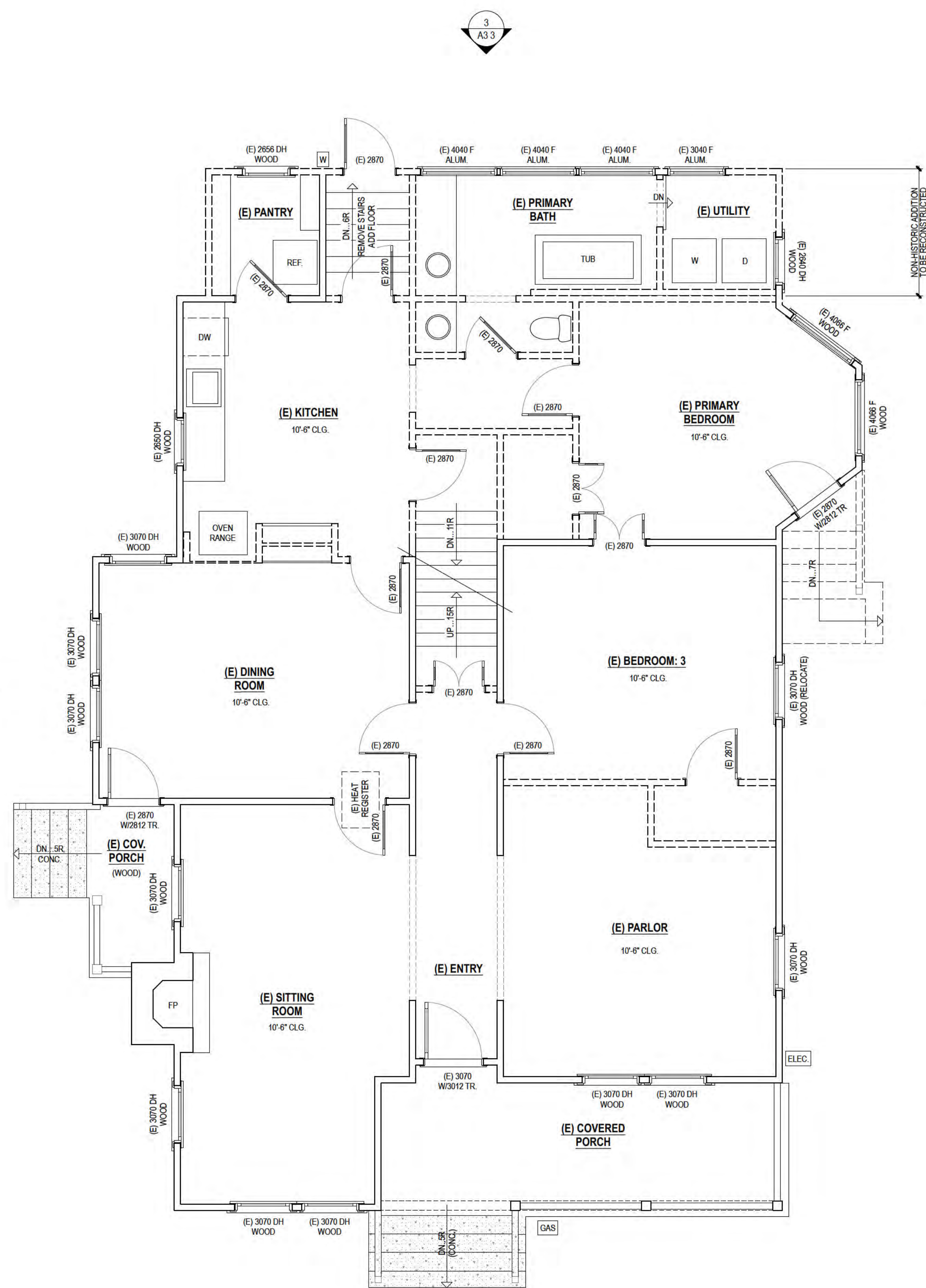
A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

SCALE: 1/4" = 1'-0"

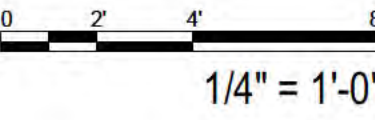
1ST FLOOR PLANS

A2.2

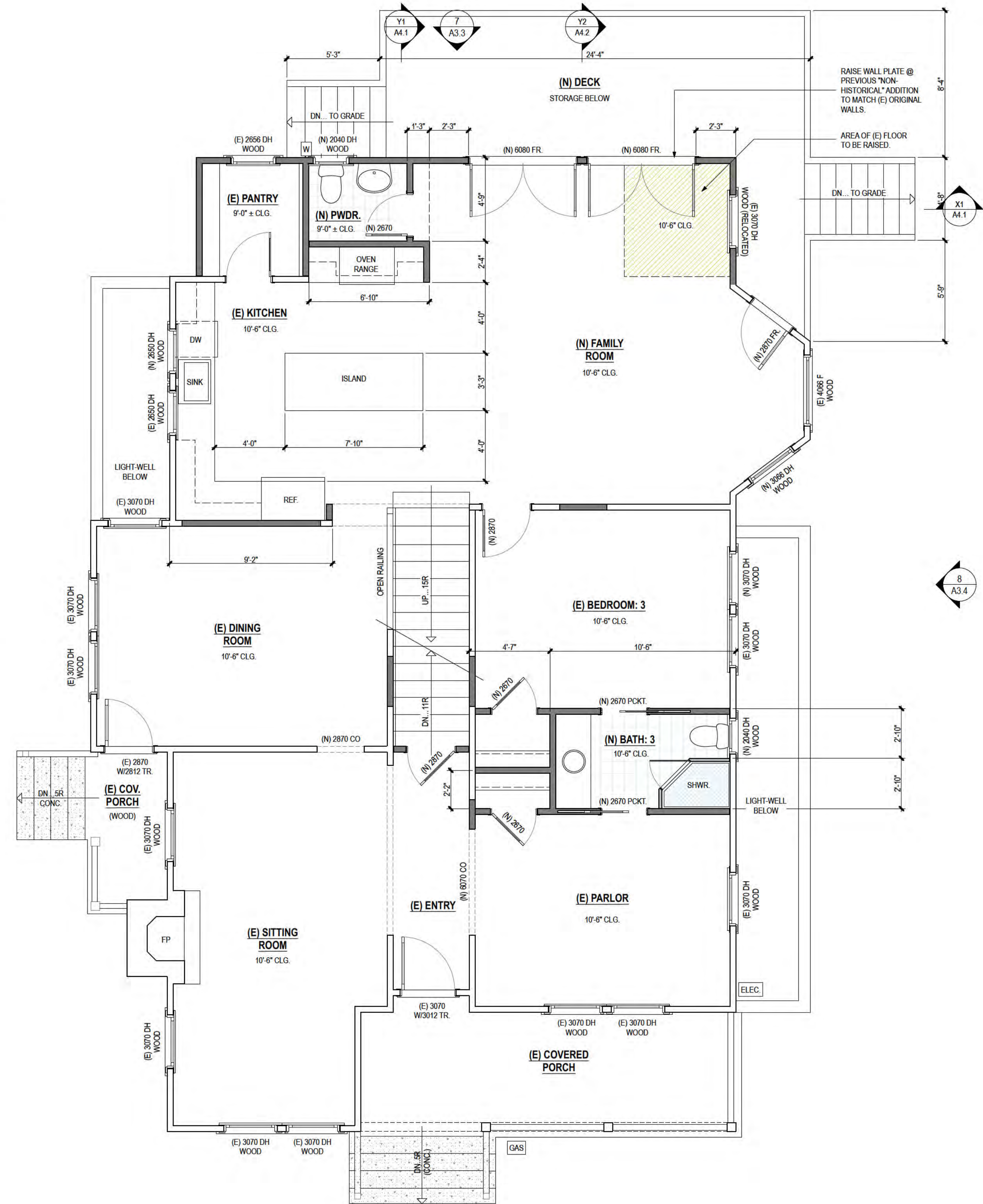


NORTH
37° 13' 44" N
121° 59' 03" W

**EXISTING 1ST LEVEL
FLOOR PLAN/DEMO**

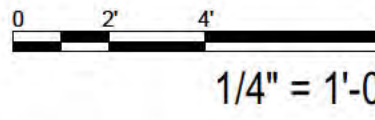


- (E) 2X DF STUD WALL TO REMAIN
- - - - (E) 2X DF STUD WALL TO REMOVE
- (E) LIVING AREA: 1,647 SF (STAIRWAY/SHAFT EXCLUDED)
- (E) COVERED PORCH: 143 SF (ENTRY @ BACHMAN AVE.)
- (E) COVERED PORCH: 37 SF (ENTRY @ MASSOL AVE.)

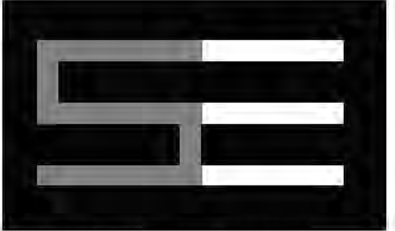


NORTH
37° 13' 44" N
121° 59' 03" W

**NO NEW FLOOR AREA
PROPOSED 1ST LEVEL
FLOOR PLAN**



- (E) 2X DF STUD WALL TO REMAIN
- (N) 2X DF STUD WALL TO CONSTRUCT USE 2X4 DF STUDS @ 16"OC TYP. (UNO)
- (E) LIVING AREA: 1,647 SF (STAIRWAY/SHAFT EXCLUDED)
- (E) COVERED PORCH: 143 SF (ENTRY @ BACHMAN AVE.)
- (E) COVERED PORCH: 37 SF (ENTRY @ MASSOL AVE.)
- (N) WOOD DECK: 291 SF (@ REAR)



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

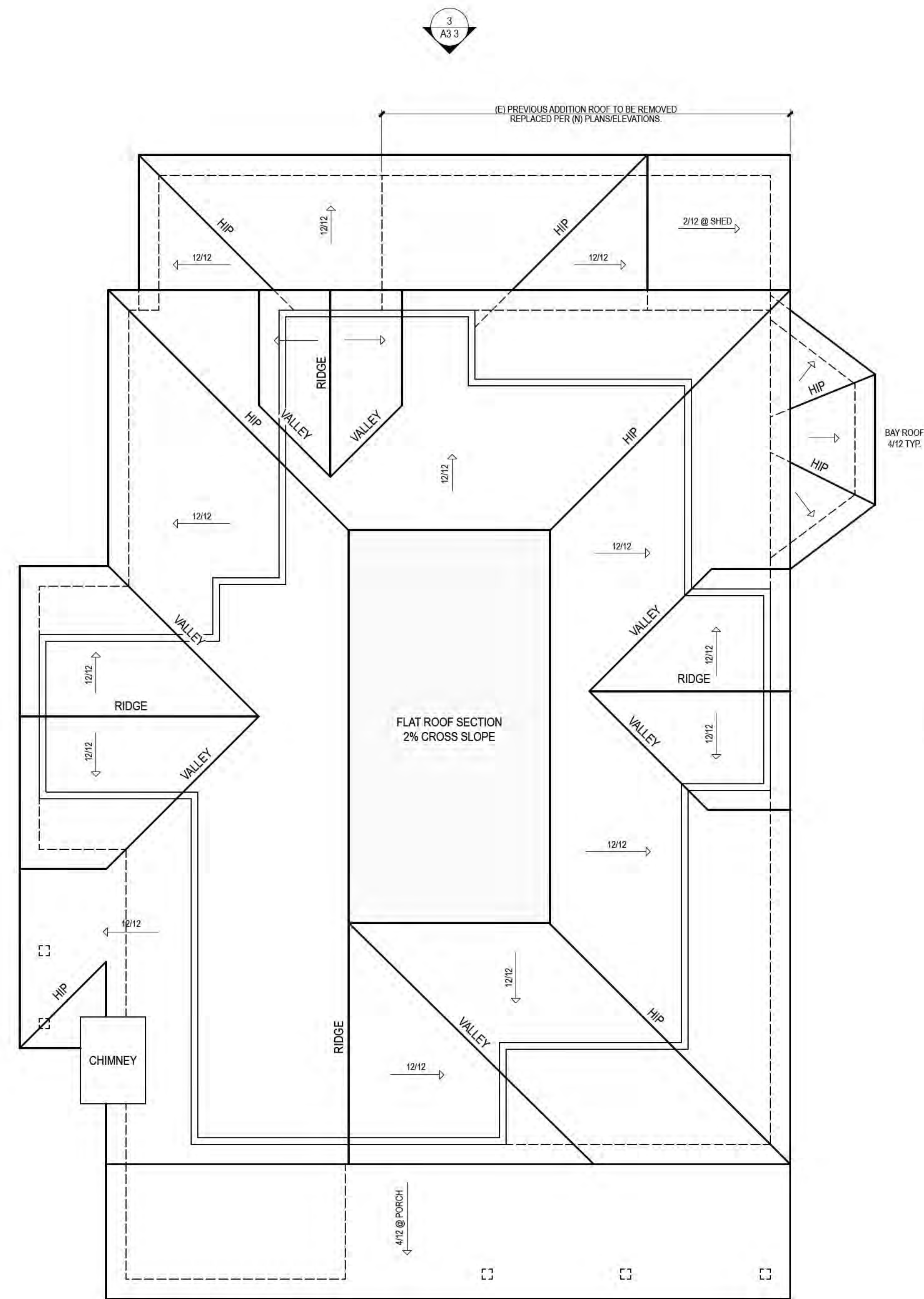
A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

SCALE: 1/4" = 1'-0"

(E) & (N) ROOF PLAN

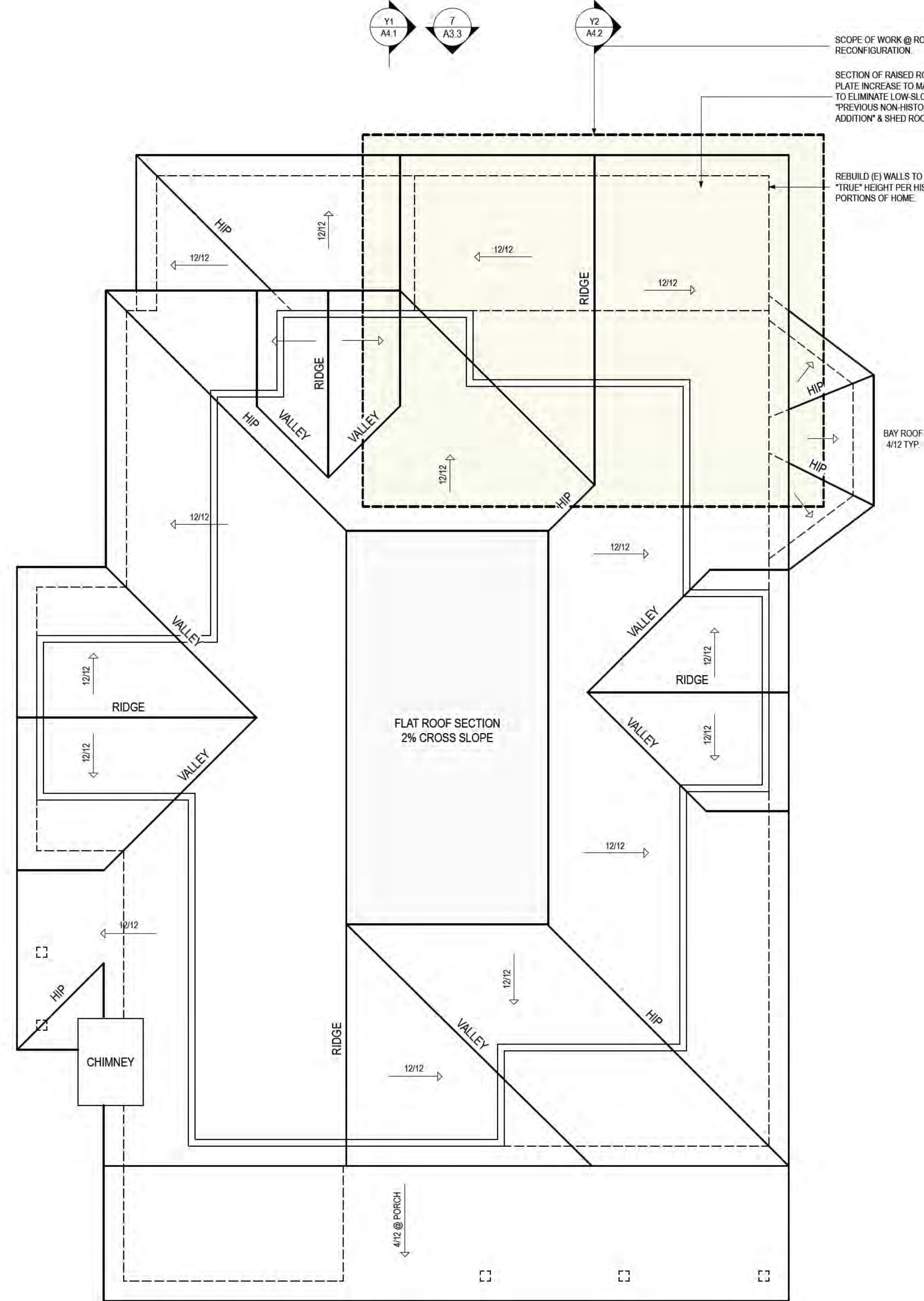
A2.4



EXISTING ROOF PLAN

(E) ROOF SLOPE: 12/12 (UNO)
(E) ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES.
(E) OVERHANG: 12" TYP. W/CLOSED EAVE

NORTH
37° 18' 23" N
121° 54' 38" W



PROPOSED ROOF PLAN

(E) ROOF SLOPE: 12/12 (UNO)
(E) ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES.
(E) OVERHANG: 12" TYP. W/CLOSED EAVE

NORTH
37° 18' 23" N
121° 54' 38" W

2
A3.2

3
A3.3

X1
A4.1

4
A3.4

5
A3.2

1
A3.1

Y1
A4.1

7
A3.3

Y2
A4.2

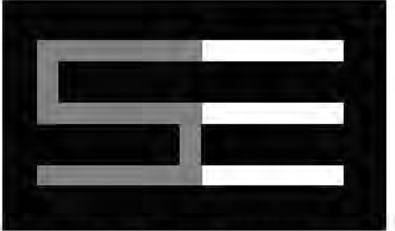
X1
A4.1

8
A3.4

Y1
A4.1

5
A3.1

Y2
A4.2



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

1 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(E) 2ND FLOOR PLANDEMO

A2.5



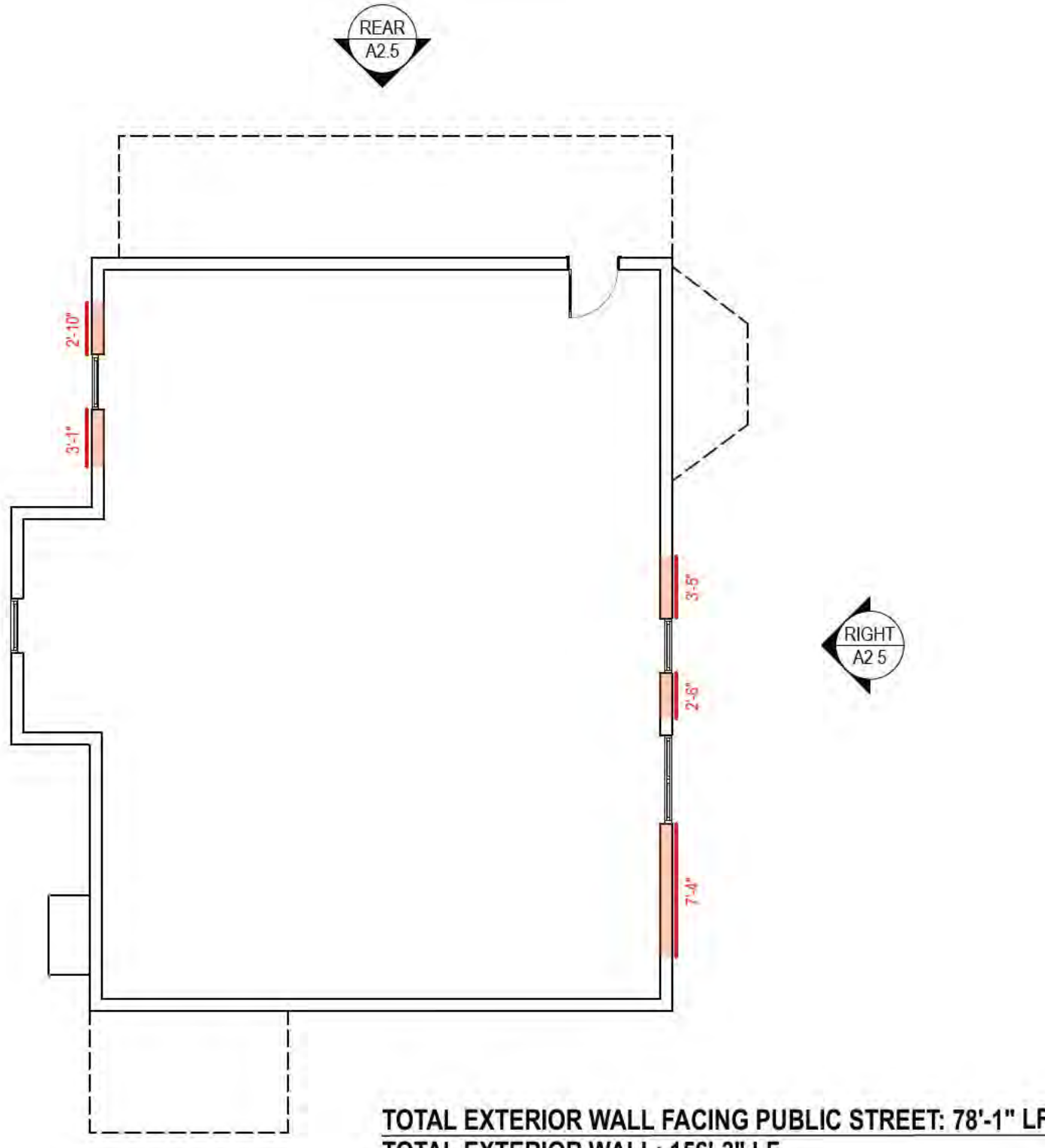
593 SF OF EXTERIOR WALL SIDING.
0 SF OF EXTERIOR WALL SIDING REMOVED. (0%) FACING PUBLIC STREET.
EXISTING FRONT ELEVATION (SOUTHWEST)
1/8" = 1'-0"



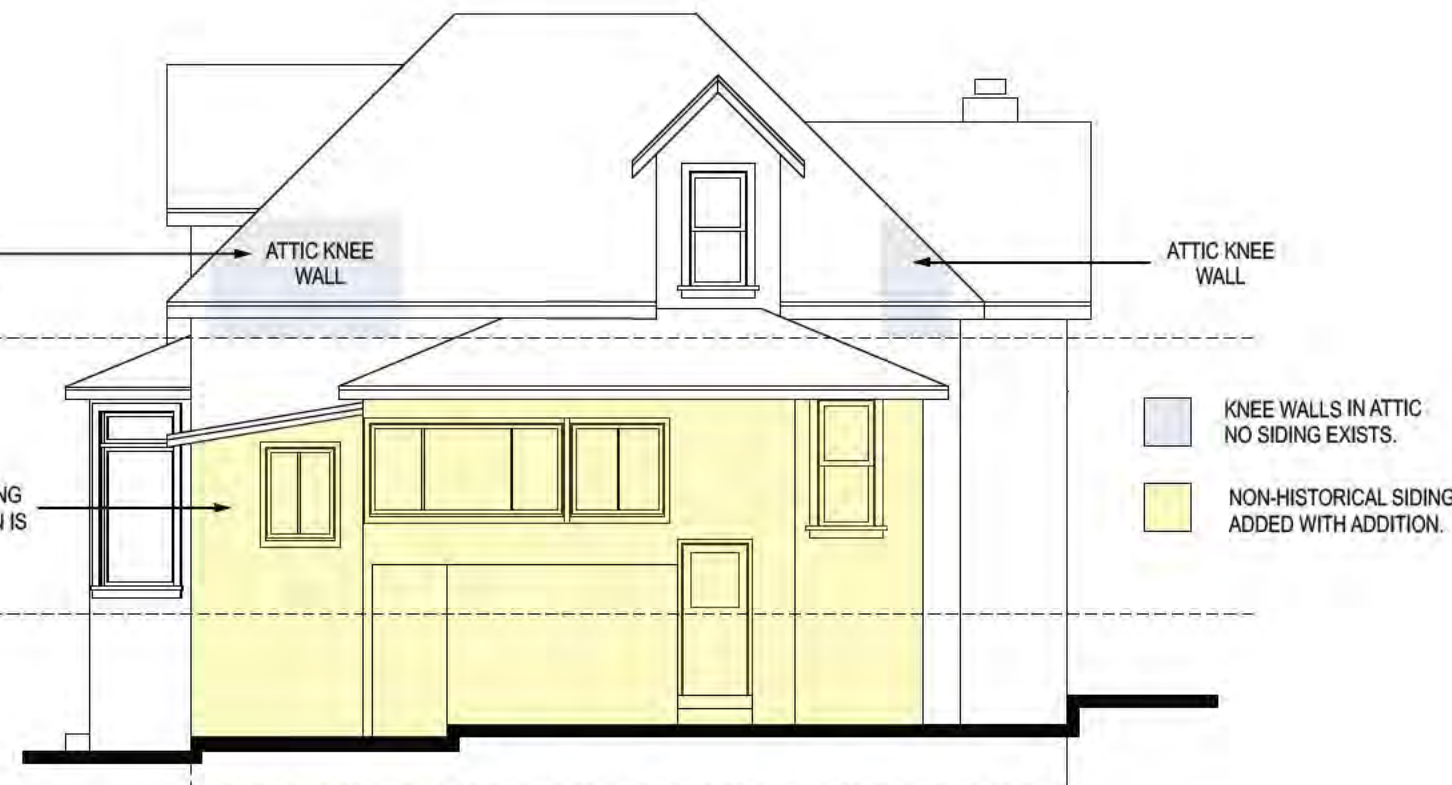
896 SF OF EXTERIOR WALL SIDING.
113 SF OF EXTERIOR WALL SIDING REMOVED. (13%) FACING A PUBLIC STREET.
EXISTING LEFT SIDE ELEVATION (NORTHWEST)
1/8" = 1'-0"



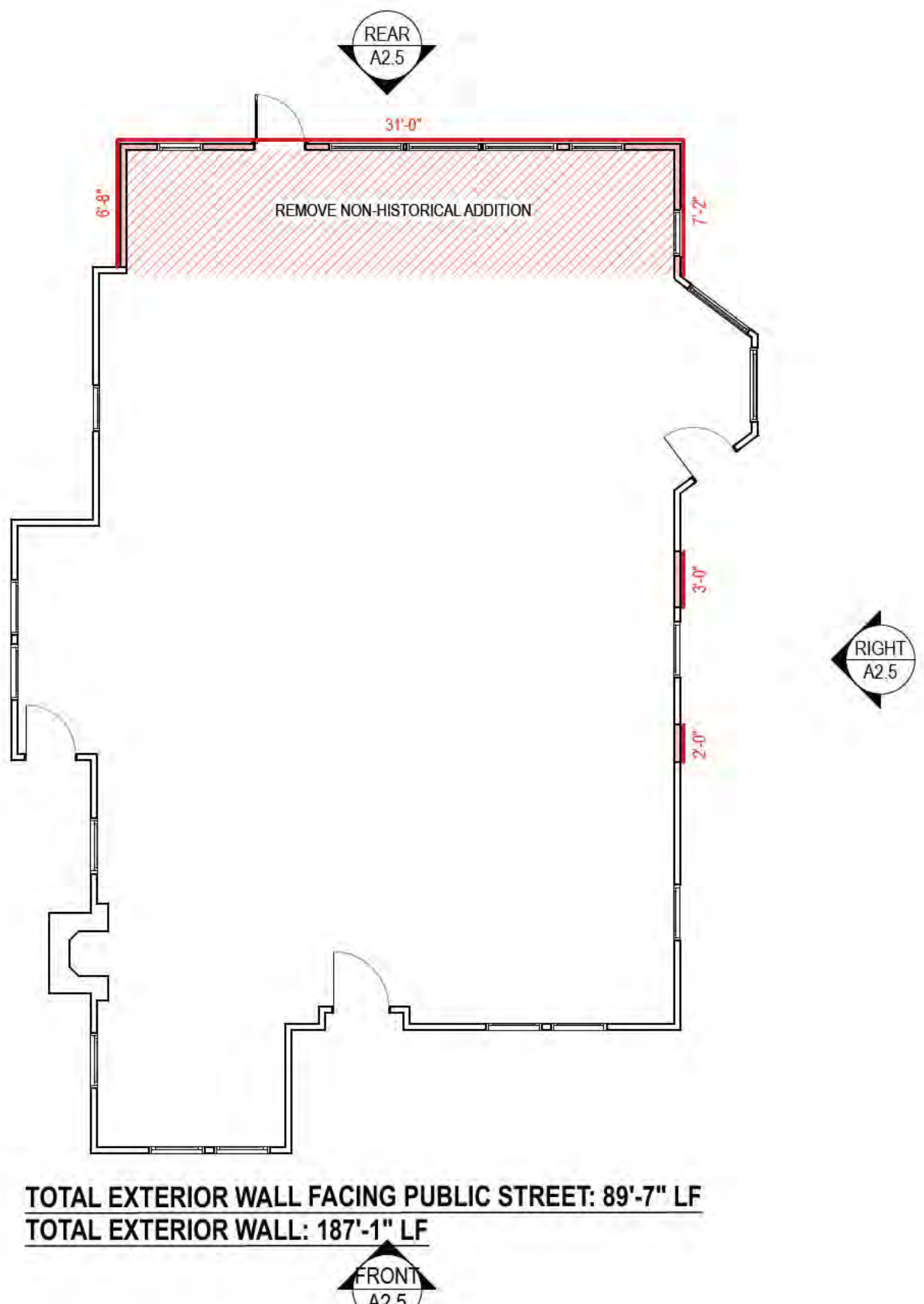
905 SF OF EXTERIOR WALL.
176 SF OF EXTERIOR WALL SIDING REMOVED. (19%) NOT FACING A PUBLIC STREET.
EXISTING RIGHT SIDE ELEVATION (NORTHEAST)
1/8" = 1'-0"



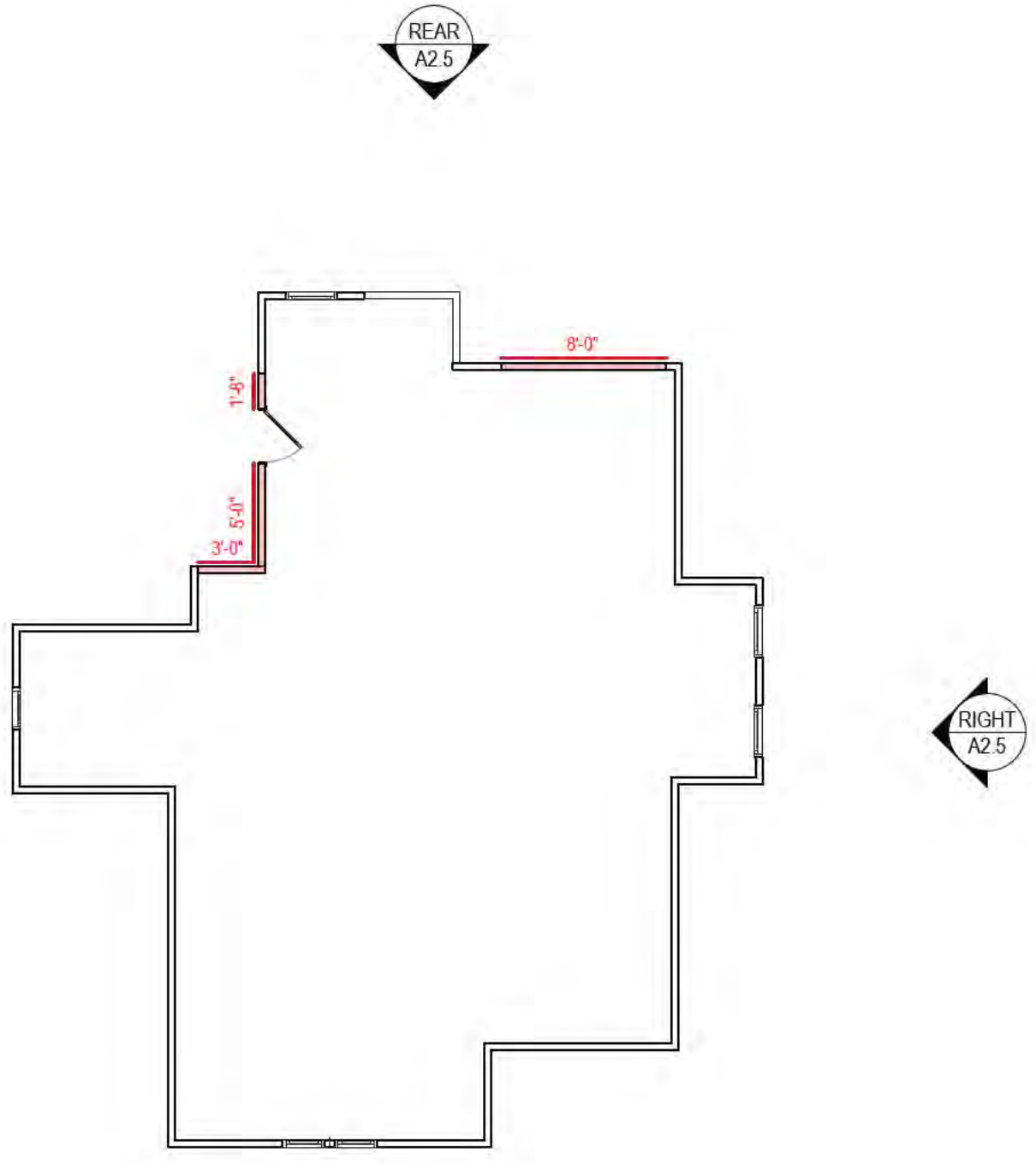
TOTAL EXTERIOR WALL FACING PUBLIC STREET: 78'-1" LF
TOTAL EXTERIOR WALL: 156'-3" LF
EXISTING CELLAR LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE



632 SF OF EXTERIOR WALL SIDING.
411 SF OF EXTERIOR WALL SIDING REMOVED. (65%) NOT FACING A PUBLIC STREET.
EXISTING REAR ELEVATION (NORTHWEST)
1/8" = 1'-0"



TOTAL EXTERIOR WALL FACING PUBLIC STREET: 89'-7" LF
TOTAL EXTERIOR WALL: 187'-1" LF
EXISTING 1ST LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE

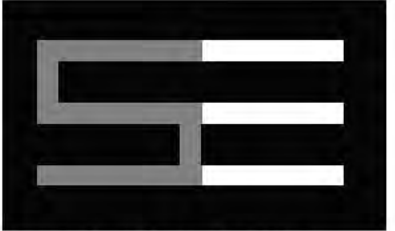


TOTAL EXTERIOR WALL FACING PUBLIC STREET: 73'-10" LF
TOTAL EXTERIOR WALL: 141'-10" LF
EXISTING 2ND LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE

TOWN OF LOS GATOS DEMOLITION CALCS (TOTAL EXTERIOR WALLS)			
	TOTAL EXT. WALL LENGTH (LF)	WALL LENGTH TO BE REMOVED (LF)	WALL LENGTH TO REMAIN (LF)
CELLAR	156.25	19.25	137
1ST FLOOR	187.1	49.85	137.25
2ND FLOOR	141.75	17.65	124.1
TOTAL EXT. WALL	485.1	86.75	398.35
TOTAL PROPOSED (%)		17.88%	82.12%
		17.88% < 50% THEREFORE NO TECHNICAL DEMO	

TOWN OF LOS GATOS DEMOLITION CALCS (TOTAL EXTERIOR WALLS FACING PUBLIC)			
	TOTAL EXT. WALL LENGTH (LF)	WALL LENGTH TO BE REMOVED (LF)	WALL LENGTH TO REMAIN (LF)
CELLAR	78.1	6	72.1
1ST FLOOR	89.6	6.6	83
2ND FLOOR	73.9	6.7	67.2
TOTAL EXT. WALL	241.6	19.3	222.3
TOTAL PROPOSED (%)		7.99%	92.01%
		7.99% < 25% THEREFORE NO TECHNICAL DEMO	

- REMOVAL IS LESS THAN 25% OF ALL EXTERIOR WALLS FACING A PUBLIC STREET. **NO TECHNICAL DEMOLITION.**
- REMOVAL IS LESS THAN FIFTY 50% OF ALL EXTERIOR WALLS. **NO TECHNICAL DEMOLITION.**
- AN EXTERIOR WALL ENCOMPASSES THE TOTAL HEIGHT AND WIDTH OF THE STUDS/STRUCTURAL ELEMENTS USED IN FRAMING THE SIDE OF THE BUILDING.
- MEASUREMENT OF EXISTING EXTERIOR WALLS, FOR THE PURPOSE OF DEMOLITION CALCULATION, IS A LINEAR MEASUREMENT OF THE PERIMETER OF EACH FLOOR OF THE BUILDING (THE PERIMETER OF THE FIRST FLOOR PLUS THE PERIMETER OF THE SECOND FLOOR).
- THERE IS AN EXEMPTION FOR REPAIR. PLEASE SEE SECTION 29.10.020 FOR THE EXEMPTION.
- ADDITIONAL INFORMATION:
- DRY ROT OR ANY OTHER DAMAGE DOES NOT EXEMPT THE PROJECT FROM ANY PROVISION SET FORTH BY SECTION 29.10.08030. IF YOU FIND DRY ROT AND NEED TO REPAIR IT, STOP WORK AND CONTACT THE PLANNING DIVISION AT (408) 354-8872 TO DISCUSS THE CHANGES BEFORE YOU PROCEED.
- IF YOU ENCOUNTER AN UNANTICIPATED SITUATION THAT CHANGES THE SCOPE OF WORK, STOP WORK AND CONTACT THE PLANNING DIVISION AT (408) 354-8872 TO DISCUSS THE CHANGES BEFORE YOU PROCEED.
- THE INSTALLATION OF NEW DOORS OR WINDOWS WITHIN EXISTING DOOR AND WINDOW OPENINGS DOES NOT COUNT AS DEMOLITION.



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

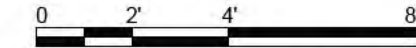
SCALE: 1/4" = 1'-0"

(E & N) FRONT ELEVATIONS

A3.1



BACHMAN AVE. STREET VIEW



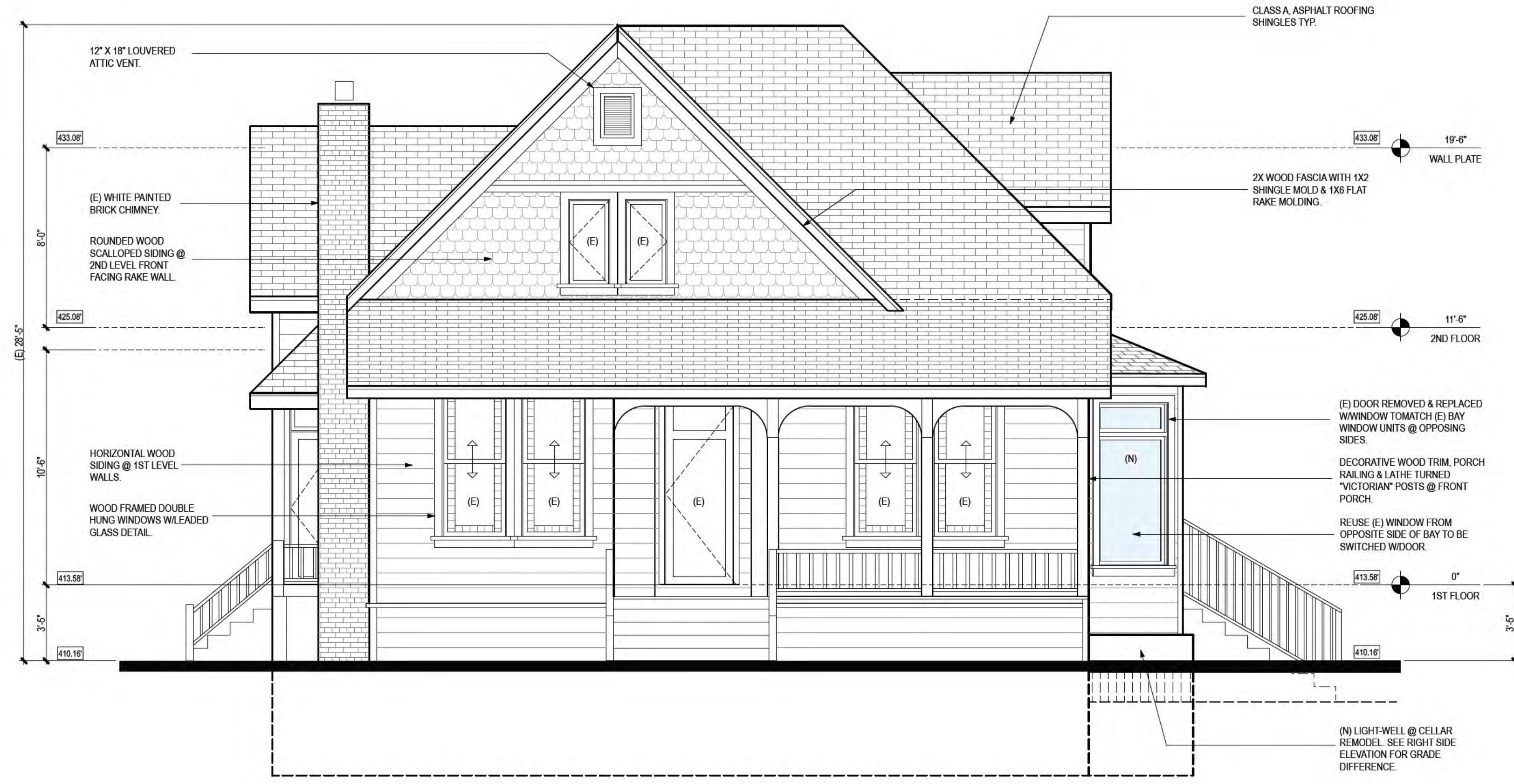
1. EXISTING FRONT ELEVATION (SOUTHWEST)

BACHMAN AVENUE SIDE

1/4" = 1'-0"



FRONT PORCH RAILING DETAIL



5. PROPOSED FRONT ELEVATION (SOUTHWEST)

BACHMAN AVENUE SIDE

1/4" = 1'-0"



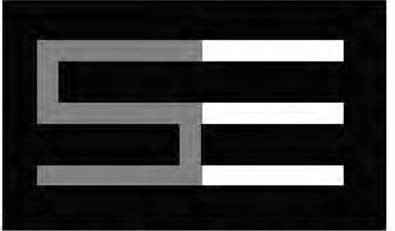
MASSOL AVE. STREET VIEW



2. EXISTING LEFT SIDE ELEVATION (NORTHWEST)
 MASSOL AVENUE SIDE
 1/4" = 1'-0"



6. PROPOSED LEFT SIDE ELEVATION (NORTHWEST)
 MASSOL AVENUE SIDE
 1/4" = 1'-0"



STUDIO THREE DESIGN

INTERIORS
 REMODELS +
 ADDITIONS
 NEW CONSTRUCTION

638 UNIVERSITY AVE
 LOS GATOS
 CALIFORNIA
 95032

t 408.292.3252
 f 253.399.1125

RESIDENCE
 328 BACHMAN AVENUE
 LOS GATOS,
 CA 95030

A.P.N. 510-14-037

12/9/24
 PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) LEFT ELEVATIONS

A3.2



NON-HISTORICAL ADDITION TO REMOVE



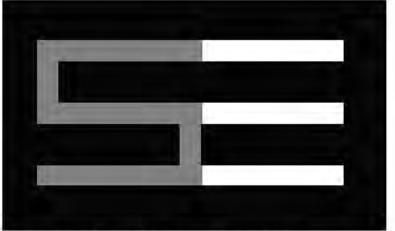
3. EXISTING REAR ELEVATION (NORTHWEST)

1/4" = 1'-0"



3. PROPOSED REAR ELEVATION (NORTHWEST)

1/4" = 1'-0"



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

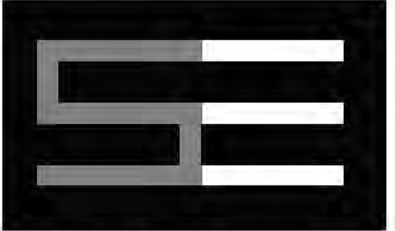
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) REAR ELEVATIONS

A3.3



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) RIGHT ELEVATIONS

A3.4



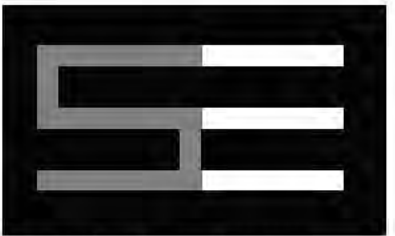
4. EXISTING RIGHT SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"



8. PROPOSED RIGHT SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE
LOS GATOS,
CA 95030

A.P.N. 510-14-037

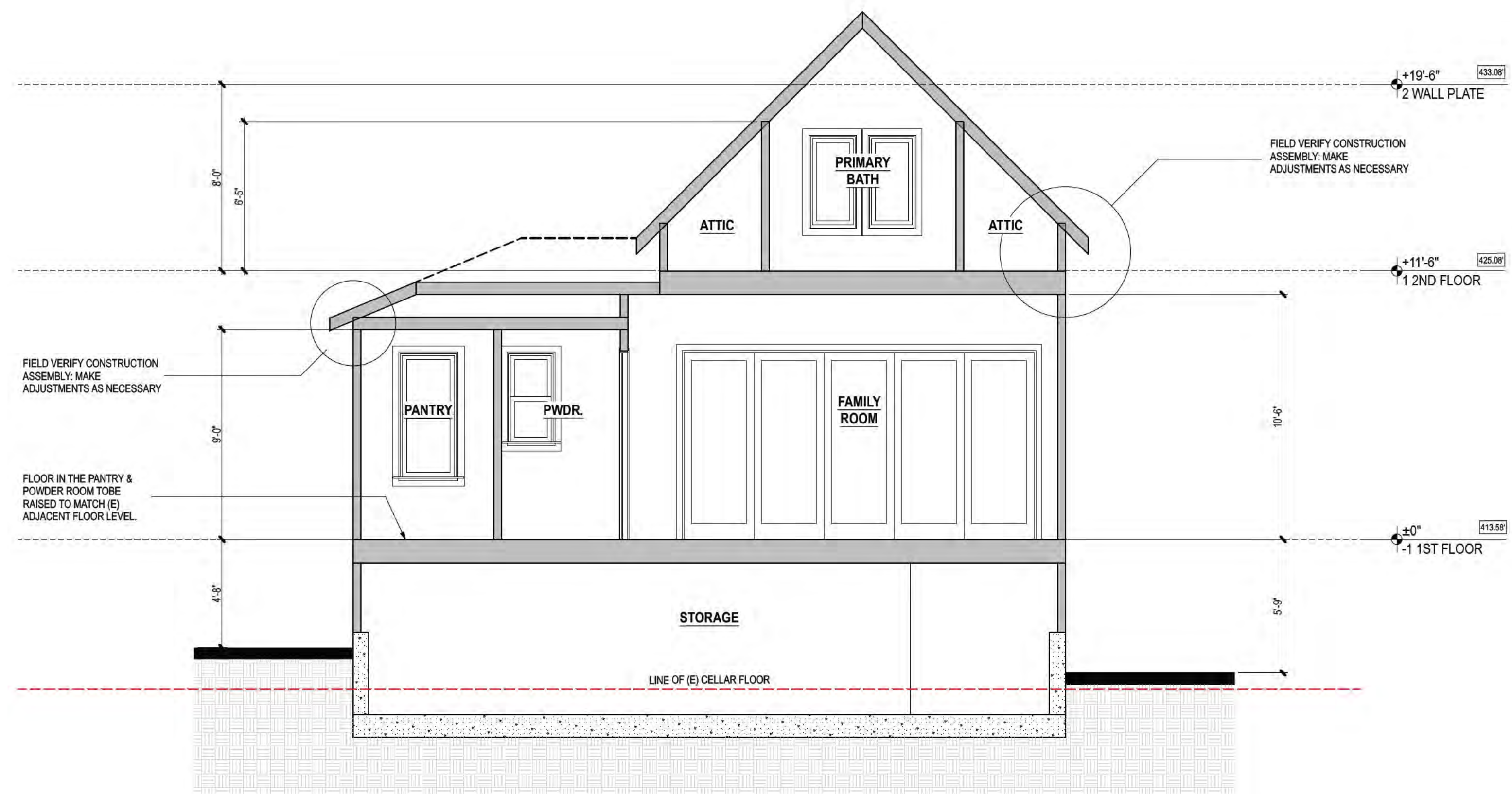
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

SECTIONS

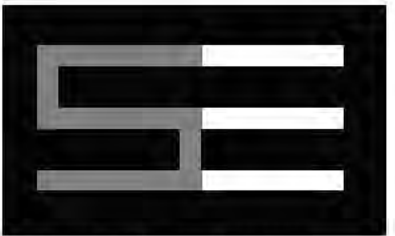
A4.1



X1. BUILDING SECTION



Y1. BUILDING SECTION

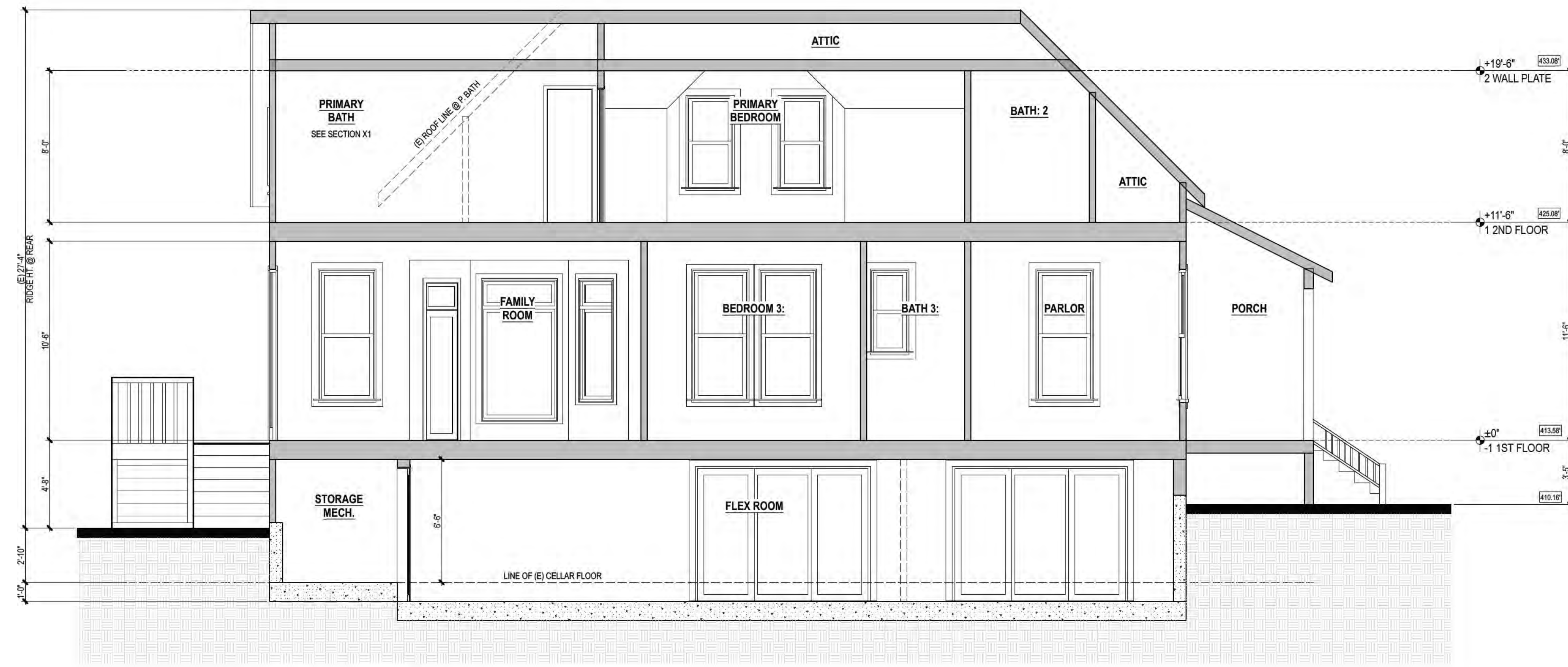


STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125



Y2. BUILDING SECTION

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

SECTIONS

A4.2



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE
REPORT**

MEETING DATE: 01/22/2025

ITEM NO: 5

DATE: January 2, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Select a Chair and Vice Chair

RECOMMENDATION:

Select a Chair and Vice Chair

REMARKS:

Annually, a Town Committee appoints its Chair and Vice Chair for the upcoming year.

PREPARED BY: Alexa Nolder
Administrative Technician

Reviewed by: Planning Manager and Community Development Director

***This Page
Intentionally
Left Blank***