



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
APRIL 13, 2022
110 EAST MAIN STREET
LOS GATOS, CA**

*Melanie Hanssen, Chair
Jeffrey Barnett, Vice Chair
Kylie Clark, Commissioner
Kathryn Janoff, Commissioner
Steven Raspe, Commissioner
Reza Tavana, Commissioner
Emily Thomas, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
www.LosGatosCA.gov/TownYouTube***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044 this meeting will not be physically open to the public and the Council and/or Commissioners will be teleconferencing from remote locations. Members of the public can only participate in the meeting by joining the Zoom webinar (log in information provided below). The live stream of the meeting may be viewed on television and/or online at:

<https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=ed97530d-9c22-4c95-961a-4d6a2c43b619&p=1>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chambers.**

PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at:

<https://losgatosca.gov.zoom.us/j/84983512988?pwd=bWVCSEtQamViVjEvdXNIV2NvWTBPT09>.
Passcode: 960999.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to PlanningComment@losgatosca.gov with the subject line “Public Comment Item # ” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

REMOTE LOCATION PARTICIPANTS

The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR MELANIE HANSSEN, VICE CHAIR JEFFERY BARNETT, COMMISSIONER KYLIE CLARK, COMMISSIONER KATHRYN JANOFF, COMMISSIONER STEVEN RASPE, COMMISSIONER REZA TAVANA, AND COMMISSIONER EMILY THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
APRIL 13, 2022
7:00 PM**

MEETING CALL TO ORDER

ROLL CALL

RULES OF DECORUM AND CIVILITY

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to:

- Addressing the Planning Commission without first being recognized;
- Interrupting speakers, Planning Commissioners, or Town staff;
- Continuing to speak after the allotted time has expired;
- Failing to relinquish the microphone when directed to do so; and
- Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the March 23, 2022 Planning Commission Meeting

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources

Inventory on Property Zoned R-1:8. **Located at 33 Walnut Avenue.** APN 510-41-007.
Property Owner/Applicant/Appellant: Jeffrey Siegel. Project Planner: Erin Walters.

3. Review and Make Recommendations on the Draft 2040 General Plan and Final Environmental Impact Report to the Town Council.

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)*

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 04/13/2022

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
MARCH 23, 2022**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, March 23, 2022, at 7:00 p.m.

This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044, all planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Chair Melanie Hanssen, Vice Chair Jeffrey Barnett, Commissioner Kylie Clark, Commissioner Kathryn Janoff, Commissioner Steve Raspe, Commissioner Reza Tavana, and Commissioner Emily Thomas

Absent: None.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – March 9, 2022

MOTION: Motion by Commissioner Tavana to approve adoption of the Consent Calendar. **Seconded** by Commissioner Raspe.

VOTE: Motion passed 6-0-1 with Vice Chair Barnett abstaining.

PUBLIC HEARINGS

2. 9 and 11 Montebello Way

Architecture and Site Application S-22-010

APN 529-01-006

Applicant: Montebello Market, LLC

Property Owner: Los Gatos Investments, LLC

Project Planner: Ryan Safty

Requesting Approval for Construction of a Roof Sign on Property Zoned C-2:LHP.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Jim Foley (Applicant)

- The sign is appropriate for reasons stated in the letter and outlined by Ryan, and we request Planning Commission approval. The sign is unique, compatible, tasteful, and will identify the great amenity we are bringing to Los Gatos. We plan to open Montebello Market in three or four weeks, just enough time to install the sign.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Vice Chair Barnett** to approve an Architecture and Site application for construction of a roof sign for 9 and 11 Montebello Way.
Seconded by Commissioner Tavana.

Vice Chair Barnett requested the motion be amended to include the required finding that a wall sign or suspended sign is not feasible for the reasons set forth in Exhibit 2.

The seconder of the motion accepted the amendment to the motion.

VOTE: **Motion passed unanimously.**

3. Public Hearing to Consider Amendments to Chapter 29 (Zoning Regulations – Tree Protection) of the Town Code.

Robert Schultz, Town Attorney, presented the staff report.

Opened Public Comment.

Dr. Weissman

- Staff's revisions have long been needed and I commend Town Attorney Schultz for a job well done. One area still of concern regards removed versus damaged. I suggest the Planning Commission approve this draft as is with Mr. Schultz's add-ons and send it to the Town Council, with the Planning Commission's requested changes and some of the inconsistencies being fixed between now and when this issue comes before the Town Council. This way, Mr. Schultz, who knows this ordinance well, but will be leaving his position as Town Attorney in May, would still be with the Town when Council takes up the draft in April.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Janoff** to adopt the amendments to Chapter 29 (Zoning Regulations – Tree Protection) of the Town Code, including changes recommended at this hearing with respect to penalties and other clarifications as noted in the record. **Seconded by Commissioner Thomas.**

Commissioners discussed the matter.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT AND PLANNING MANAGER

Jennifer Armer, Planning Manager

- With respect to the Draft 2040 General Plan update, the Final EIR will be published online on March 24, 2022. The Draft 2040 General Plan and EIR will go to the Planning Commission on April 13, 2022, for consideration. Staff will provide a list of documents for the Commissioners to review prior to the meeting.

Joel Paulson, Director of Community Development

- A Community Meeting will be held on March 31, 2022, showcasing the online Balancing Act tool, which the public can use to help the Town select sites for the sites inventory process that is part of the Housing Element. The information gathered from the public will be brought before the Housing Element Advisory Board at its April 21, 2022, meeting.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

Historic Preservation Committee

Commissioner Raspe

- HPC met on March 23, 2022, to consider seven matters: two requests to be removed from the inventory, one ground-up construction, and four requests for additions and changes.
- A member of the public encouraged Town staff to evaluate the impact of historic preservation districts and ordinances on SB 9 to see if it may impact Los Gatos' implementation of SB 9.

Historic Preservation Committee

Commissioner Clark

- At the March 23, 2022 meeting, a proposal to change window trim materials came forward because a new material called fiberglass-clad wood has become available. HPC will further discuss what it wants permitted in terms of materials, with more information on the specs of those materials, and with a possible in-person meeting to look at them.

Commission Matters

Chair Hanssen

- She and Commissioner Clark attended the Planning Commission's Academy in San Ramon last week and networked with planning commissioners from San Jose, Campbell, and other state jurisdictions.
- The important takeaway is to be very afraid of what is going on in Sacramento because there are hundreds of housing laws coming, all driven by the desperation of the State government to see additional housing built. It is critically important that Los Gatos do everything possible to ensure it make its RHINA numbers so the Town does not lose local control over how it builds housing.
- The Academy also had a session on SB 9 and said historic properties need not be subject to SB 9, but did say jurisdictions could always make it easier than the law states.

Commissioner Clark

- She attended the Planning Commission Academy with Chair Hanssen and did valuable in-person networking with other commissioners and staff from California.
- She attended sessions on: Planning Commission 101; Intro to CEQA; SB 9; Advanced CEQA; Streamlined Housing Laws; How to Prepare Findings and Conditions of Approval; City Finance and Upcoming Legislation; and two keynote sessions.
- Her main takeaway is the problems Los Gatos is facing are universal, with all other jurisdictions having the same struggles and asking the same questions, which demonstrates the value of talking to other communities.

ADJOURNMENT

The meeting adjourned at 8:33 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
March 23, 2022, meeting as approved by the
Planning Commission.

/s/ Vicki Blandin

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 04/13/2022

ITEM NO: 2

DATE: April 8, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned R-1:8. **Located at 33 Walnut Avenue.** APN 510-41-007. Property Owner/Applicant/Appellant: Jeffrey Siegel. Project Planner: Erin Walters.

RECOMMENDATION:

Deny the appeal of the Historic Preservation Committee decision to deny the removal of a presumptive historic property (pre-1941) from the Historic Resources Inventory on property zoned R-1:8, located at 33 Walnut Avenue.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8
Applicable Plans & Standards: General Plan, Residential Design Guidelines
Parcel Size: 8,000 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: ERIN WALTERS
Associate Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

The request to remove the property from the Historic Resources Inventory is not considered a project under the California Environmental Quality Act.

FINDINGS:

- As required to remove a pre-1941 property from the Historic Resources Inventory.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located 185 feet from the northwest corner of Walnut Avenue and Hernandez Avenue (Exhibit 1). The subject property has frontage on both Walnut Avenue and Wissahickon Avenue. The property contains a presumptive historic (pre-1941) single-family residence and a detached garage with a second story accessory dwelling unit (ADU) above. The house, detached garage, and ADU are currently under construction/renovation.

On January 26, 2022, the property owner/applicant submitted materials requesting that the Historic Preservation Committee (Committee) formally remove the subject residence from the Historic Resources Inventory (HRI) due to its lack of historic significance and loss of integrity resulting from modifications and additions to the residence (Exhibit 5, Attachment 7).

On February 23, 2022, the Committee considered the applicant's request, including the applicant's letter of justification, research materials and site photographs of the subject property (Exhibit 5). The Committee denied the request to remove the subject presumptive historic property (pre-1941) from the HRI (Exhibits 3, 4, and 5).

On February 27, 2022, the property owner/applicant appealed the decision of the Committee to the Planning Commission (Exhibit 6). The property owner/applicant/appellant indicated that the Committee failed to consider and apply the decision criteria set forth in the Los Gatos Town Code and defined by the United States Department of the Interior.

Pursuant to Section 29.20.258 of the Town Code, the decision of the Committee may be appealed to the Planning Commission by any interested party as defined by Section 29.10.020 within 10 days of the decision.

For residential projects an interested person is defined as, "a person or entity who owns property or resides within 1,000 feet of a property for which a decision has been rendered and

BACKGROUND (continued):

can demonstrate that their property will be injured by the decision.” The appellant meets the requirements.

Pursuant to Town Code Section 29.20.265, the appeal shall be set for the first regular meeting of the Planning Commission in which the business of Planning Commission will permit, more than five (5) days after the date of filing the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located 185 feet from the northwest corner of Walnut Avenue and Hernandez Avenue (Exhibit 1). The surrounding properties are low density residential.

B. Project Summary

The property owner is appealing the Committee’s decision to deny a request to remove the subject presumptive historic property (pre-1941) from the HRI.

DISCUSSION:

A. Removal from the Historic Resources Inventory

Town Code Section 29.10.020 defines “Historic Structure” and includes, “Any primary structure constructed prior to 1941, unless the deciding body has determined that the structure has no historic significance and should not be included in the Town Historic Resources Inventory.”

Pursuant to the Residential Design Guidelines, Chapter 4, Historic Resources, the Town recognizes any primary structure that was constructed prior to 1941, unless the Town has determined that the structure has no historic significance or architectural merit as a local historic resource.

The property owner is requesting approval to remove the subject presumptive historic property (pre-1941) from the HRI. The applicant provided a Letter of Justification, research materials, and site photographs of the subject property (Exhibit 5, Attachment 3, 4 and 7).

The findings required for the removal of a pre-1941 primary structure from the HRI recognize that the qualities of a building do not align with the listed criteria for preservation

DISCUSSION (continued):

included in the purpose of historic preservation in the Town, specifically subsection 1 below.

Pursuant to Town Code Section 29.80.215, the purpose of the Town's Historic Preservation Ordinance states:

It is hereby found that structures, sites, and areas of special character or special historical, architectural, or aesthetic interest or value have been and continue to be unnecessarily destroyed or impaired, despite the feasibility of preserving them. It is further found that the public health, safety, and welfare require prevention of needless destruction and impairment, and promotion of the economic utilization and discouragement of the decay and desuetude of such structures, sites, and areas. The purpose of historic preservation is to promote the health, safety, and general welfare of the public through:

- 1) The protection, enhancement, perpetuation, and use of structures, sites, and areas that are reminders of past eras, events, and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.

When considering a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit the Committee considers the following findings:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period, or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

A. Historic Preservation Committee

On February 23, 2022, the Committee received the staff report (Exhibit 5), opened the meeting, and considered testimony from the applicant and public (Exhibit 3). After asking questions of the applicant, the Committee closed the public hearing and discussed the

DISCUSSION (continued):

project. The Committee voted unanimously to deny the request to remove the subject presumptive historic property (pre-1941) from the HRI.

B. Appeal to Planning Commission

The decision of the Committee was appealed on February 27, 2022, prior to the 5:00 p.m. deadline, by the property owner, Jeffrey Siegel (Exhibit 6).

The appeal states that the appeal should be granted because the Committee failed to consider and apply the decision criteria set forth in the Los Gatos Town Code and defined by the United States Department of the Interior (Exhibit 6). The two primary points made in the appeal are listed below with staff analysis in *italic font*.

1. Appellant: The Committee failed to consider and apply the decision criteria set forth in the Los Gatos Town Code.

At the February 27, 2022 Committee meeting, the Committee considered the following findings related to the request for a determination that the pre-1941 primary structure had no historic significance or architectural merit. In evaluating a request for a determination of historic significance or architectural merit, the Committee considered the following:

1. *The structure is not associated with events that have made a significant contribution to the Town;*
 - *The Committee was silent on this finding.*
2. *No Significant persons are associated with the site;*
 - *The Committee was silent on this finding.*
3. *There are no distinctive characteristics of type, period or method of construction or representation of work of a master;*
 - *The Committee was silent on this finding.*
4. *The structure does not yield information to Town history; or*
 - *The Committee was silent on this finding.*
5. *The integrity has been compromised such that the structure no longer has the potential to convey significance.*
 - *The Committee found that there have been changes made to the structure by both previous property owners and the current property owner. In 2018, both the current property owner/applicant/appellant and the Committee treated*

DISCUSSION (continued):

the subject property as a historic (pre-1941) property (Exhibit 5, Attachments 3 and 4). The Committee found that nothing substantive had changed since the 2018 Committee review and approval of exterior modifications to the historic (pre-1941) structure. The Committee found that the property owner/applicant's request to remove the property from the HRI was the result of property owner removing more than 25 percent of the siding on the front elevation in September of 2021. Based on the testimony provided by the property owner/applicant and the evidence provided in Exhibit 5, the Committee found that historic integrity of the subject structure has not been compromised. (Exhibit 3)

The Committee considered and applied the decision criteria set forth in the Town Code.

2. Appellant: The Committee failed to consider and apply the decision criteria set forth by the U.S. Department of Interior.

To be listed in the National Register of Historic Places by the U.S. Department of Interior, a property must be shown to be significant under the National Register criteria and have integrity. The National Register provides seven different aspects of integrity to consider when evaluating the historic integrity of a property which include: location, design, setting, materials, workmanship, feeling, and association.

The U.S. Department of Interior outlines the following steps for assessing integrity:

- *Define the essential physical features that must be present for a property to represent its significance.*
- *Determine whether the essential physical features are visible enough to convey their significance.*
- *Determine, based on the significance and essential physical features, which aspects of integrity are particularly vital to property being nominated if they are present.*

The U.S. Department of Interior recognizes properties change over time. It is not necessary for a property to retain all its historic physical features or characteristics. The property must retain the essential physical features that enable it to convey its historic identity.

Pursuant to Town Code, the Town utilizes local criteria to evaluate requests in determining whether or not pre-1941 primary structures have historic significance or architectural merit, as described above. The local ordinance considers aspects of the U.S. Department of Interior standards when evaluating the historic integrity of a

DISCUSSION (continued):

property and also considers the local Committee's findings in determining if the building has enough historic significance or architectural merit to remain on the HRI.

Additional information provided by the property owner/applicant/appellant is included as Exhibit 7.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of this report's preparation, the Town has not received any public comment.

ENVIRONMENTAL REVIEW:

The request to remove the property from the Historic Resources Inventory is not considered a project under the California Environmental Quality Act.

CONCLUSION:

A. Summary

The property owner is requesting that the Planning Commission reconsider the Committee's decision to deny the removal of the presumptive historic property (pre-1941) from the Historic Resource Inventory.

B. Recommendation

For reasons stated in this report, it is recommended that the Planning Commission deny the appeal and uphold the decision of the Historic Preservation Committee to deny the removal of the presumptive historic property (pre-1941) from the HRI.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and remove the subject property from the Historic Resource Inventory, making one or more of the findings provided in Exhibit 2; or
3. Remand the appeal to the Historic Preservation Committee with specific direction.

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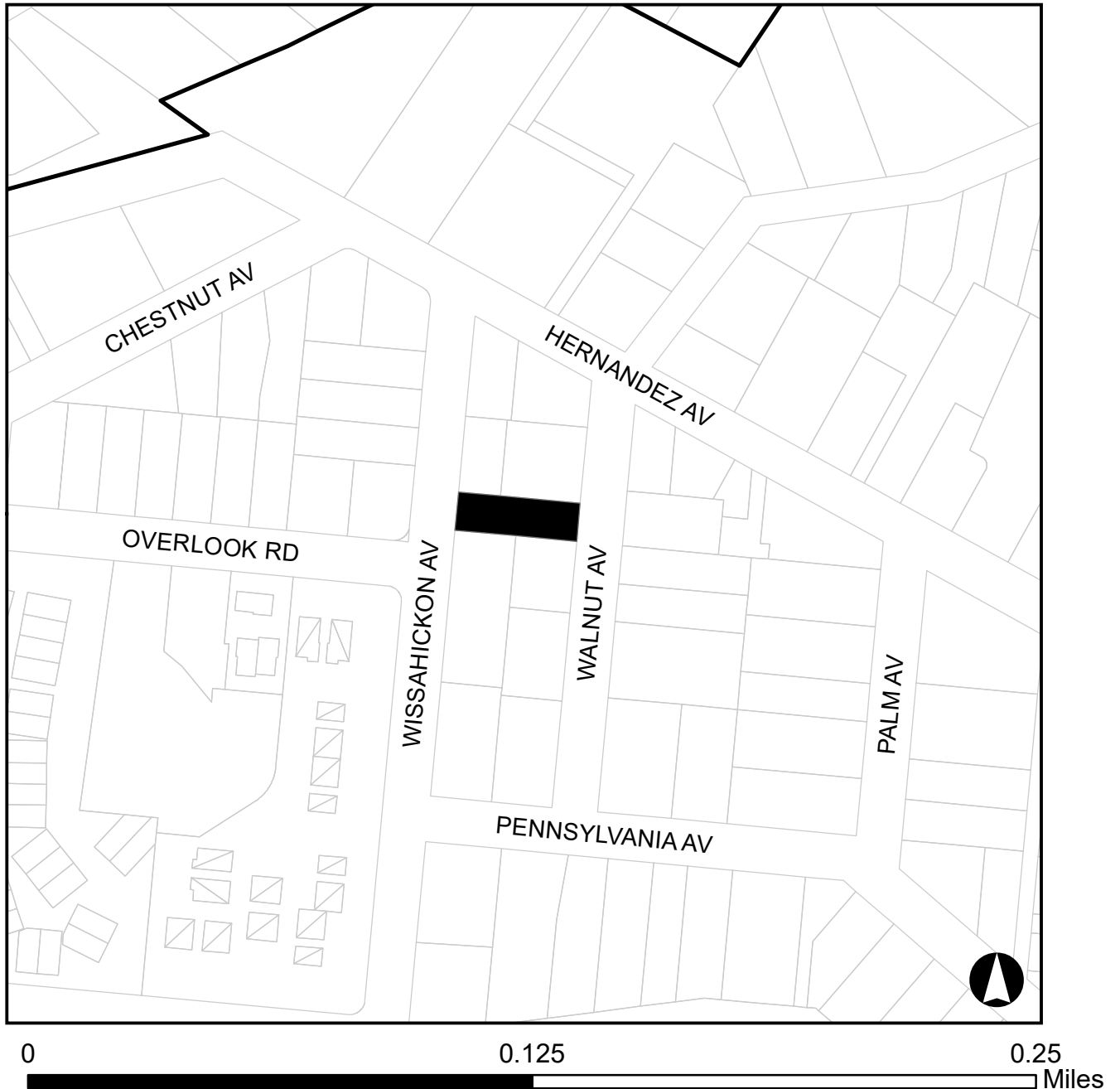
SUBJECT: 33 Walnut Avenue/Appeal of a HPC Decision

DATE: April 8, 2022

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Historic Preservation Committee Meeting Minutes for February 23, 2022
4. Historic Preservation Committee Action Letter, February 23, 2022
5. Historic Preservation Committee Staff Report and Attachments, February 23, 2022
6. Appeal of the Historic Preservation Committee, received February 27, 2022
7. Additional Information Provided by the Appellant, received April 6, 2022

33 Walnut Avenue



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PLANNING COMMISSION – April 13, 2022
REQUIRED FINDINGS FOR:

33 Walnut Avenue

Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned R-1:8. APN 510-41-007.

PROPERTY OWNER/APPLICANT/APPELLANT: Jeffrey Siegel

FINDINGS

Required findings to determine that a pre-1941 structure has no significant or architectural merit:

- As required for a determination that a pre-1941 primary structure has no historic significance or architectural merit:
 1. The structure is not associated with events that have made a significant contribution to the Town;
 2. No Significant persons are associated with the site;
 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
 4. The structure does not yield information to Town history; or
 5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
FEBRUARY 23, 2022**

The Historic Preservation Committee of the Town of Los Gatos conducted a Regular Meeting on February 23, 2022 at 4:00 p.m.

This meeting This meeting is being conducted utilizing teleconferencing and electronic means consistent with Town Council Policy 2-01 entitled Town Agenda Format and Rules and Town Resolution. In accordance with Town Policy and Resolution, the public may only view the meeting online and not in the Council Chamber.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Timothy Lundell, Vice Chair Barry Cheskin, Planning Commissioner Kylie Clark, Planning Commissioner Steve Raspe

Absent: None

VERBAL COMMUNICATIONS

Susan Burnett, General Plan and Housing Element Advisory Committee member and former Historical Preservation Committee Member.

- Concerned about HPC and PC. Seeing a lot of requests for demolition and changing of historic homes that would not have been approved by past Historic Preservation Committees. Started with 1300 historic homes. But now only 270 left. Guidelines have gotten easier. Purpose was to save the past for future generations. Can we tighten things up? In my Glenridge district a Garage was added next to the home. Instead of as a separate unit. Guidelines are subjective. Because of SB 9, the Committees needs to be much more mindful and protective.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – January 26, 2022

MOTION: **Motion by Vice Chair Cheskin to approve the Consent Calendar.
Seconded by Chair Lundell.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 40 Hernandez Avenue

Forward a Recommendation to the Director on a Request for Construction of Exterior Alterations and an Addition to an Existing Presumptive Historic Single-Family Residence (Pre-1941) on Property Zoned R-1:8. APN 510-19-027.

PROPERTY OWNER: Stan and Pamela Atwood

APPLICANT: Eric Beckstrom, Beckstrom Architecture

PROJECT PLANNER: Sean Mullin

Vice Chair Cheskin recused himself from Item 2, as his residence is located within 1,000 feet of the subject property.

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Eric Beckstrom, Architect

- In 2006, the structure basically became a brand new house behind the façade. They will be building an addition to make the house more symmetrical.
- They are supportive of preserving the front façade and porch area.

Susan Burnett

- Agrees that the front façade of the house is what makes it so spectacular and a contributing house. Stick to the 2006 remodel percentage. Looking at the plans, it is more than a little box.

Eric Beckstrom, Architect

- Will be matching the wall and windows. The build will be complementary. The end results will look like the home as originally built in 1912 not 1920.

Closed Public Comment.

Committee members discussed the matter.

- Aesthetically pleasing. Like and support the project.
- Design adds symmetry.
- Addition is largely imperceptible.
- Recommend that the percentage of demo mimic that of the 2006 condition of approval.
- Maintain the elements that currently exist.

MOTION: **Motion by Planning Commissioner Raspe** to Forward a Recommendation to the Director on a Request for Construction of Exterior Alterations and an Addition to an Existing Presumptive Historic Single-Family Residence (Pre-1941) on Property Zoned R-1:8. Subject to a condition of demolition that would result in similar percentages as existed in 2006. **Seconded by Planning Commissioner Clark.**

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

Vice Chair Cheskin rejoined.

3. 45 Montgomery Street

Consider a Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1D. APN 410-17-004.

PROPERTY OWNER/APPLICANT: Mark and Cathleen Petersen.

PROJECT PLANNERS: Savannah Van Akin/Sean Mullin

Savannah Van Akin, Assistant Planner, presented the staff report.

Opened and Closed Public Comment.

Committee members discussed the matter.

- Town's recommendation seems straightforward as a clean-up item from 1991.

MOTION: **Motion by Planning Commissioner Clark** to Recommend Approval to the Director for Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1D. **Seconded by Vice Chair Cheskin.**

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

4. 33 Walnut Avenue

Consider a Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:8. APN 510-41-007.

Property Owner/Applicant: Jeffrey Siegel

PROJECT PLANNER: Erin Walters

Vice Chair Cheskin recused himself from Item 4, as his residence is located within 1,000 feet of the subject property.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jeffrey Siegel, Owner/Applicant

- He is president of the Los Gatos Historic Society. He undertook extensive analysis to prepare the report. This property doesn't meet any criteria set by the State. The only reason for inclusion is because it is Pre-1941. He bought it five years ago. The building has been changed by every owner except the original owner. It went from an 890 square foot cottage with an outhouse, to a 2600 square foot, 4 bathroom, 5 bedroom, two-story house. It bears no resemblance to the original house. The one remaining element is the front fascia. The front porch was demolished and rebuilt to match. However, updated seismic and safety building codes dictated the use of concrete, steel, and a higher railing. The home has no connection to a historic person or event. It is not in a historic district.

Committee members asked questions of the applicant.

Jeffrey Siegel, Owner/Applicant

- I did not make a request for removal in 2018 or 2019 when the front porch was evaluated. The HPC allowed demolition of the deteriorated porch. The railing was too low and not safe.

Susan Burnett

- When was it declared a Bellringer house?

Staff

- 1984.

Jeffrey Siegel, Owner/Applicant

- Nothing historic remains. A remaining roof membrane shows where the original slope of the roof.
- Expanded on the first floor in 1948 and 1950. In 1985 it became a two-story building. In 2006, 2007 and 2008, the upstairs and roof were changed.

Closed Public Comment.

Committee members discussed the matter.

- There have been changes made to the structure. However, in 2018, both the applicant and HPC treated it as a historic property. Nothing substantive has changed besides the approved work.
- This project is coming before the committee after a problem was flagged by staff.
- Most of the history has been removed. The owner attempted to preserve the front but removed over 25%. It now comes to HPC because of that removal. Leaning towards denial.
- Every structure has a story. Some big or small, intended, unintended, permitted and before HPC was established. It would be a shame to have those changes justify removal.
- It is up to the HPC to determine, based on the provided information, if anything left is historic.

MOTION: **Motion by Planning Commissioner Raspe to Deny a Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:8. Seconded by Planning Commissioner Clark.**

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

Vice Chair Cheskin rejoined.

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

5. 223 Tait Avenue

Preliminary Review for Technical Demolition of a Presumptive Historic Single-Family Residence (Pre-1941) and Construction of a New Two-Story Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-17-004.

PROPERTY OWNER: Mark and Tammy De Mattei

APPLICANT: Jay Plett, Architect

PROJECT PLANNER: Ryan Safty

Ryan Safty, Associate Planner, presented the staff report

Opened public comment.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF FEBRUARY 23, 2022

Jay Plett, Applicant

- Proposing a Craftsman style home. They will maintain the stucco siding and the lower sloped roofs. The structure has no architectural significance due to several post 1941 additions. The porch was enclosed, several walls were demolished, and the siding was removed along the rear with the previous addition. It already has been technically demolished. They would like preliminary feedback on the conceptual proposal. They have floor plans and a rendering and would like feedback on the design.

Committee member asked questions of the applicant:

Jay Plett, Applicant

- In terms of scale and massing, the height will be 27 feet. This is below the maximum allowed. The existing structure is already elevated four feet.
- There are examples of other homes in the neighborhood with Arts and Crafts or Craftsman style. The apartment complex next door has no style at all.

Susan Burnett

- Glen Ridge and Almond Grove neighborhoods have a mix of styles. The street doesn't have a certain style.

Jay Plett

- There are no Craftsman style homes immediately adjacent to the subject property but they do exist in the area.

Closed Public Comment.

Committee members provided the following comments:

- The site was not part of Bloomfield survey and nothing architecturally significant. Good candidate for rehabilitation. The Craftsman is fine. Any style that fits in.
- Concerned more about size, massing, shadowing, and privacy.
- Need more info about the surrounding neighborhood. It doesn't seem to fit in with the neighborhood.
- Important for the style to fit in with the neighborhood. Need to justify the style choice with photos of nearby homes. Justification should be provided for any demolition.

ADJOURNMENT

The meeting adjourned at 5:10 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 23, 2022, meeting as approved by the Historic Preservation Committee.

/s/ Jennifer Armer, AICP, Planning Manager



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

February 23, 2022

Jeffrey Siegel
33 Walnut Avenue
Los Gatos, CA 95030
Via email

RE: 33 Walnut Avenue

Consider a request to remove a presumptive historic property (pre-1941) from the Historic Resources Inventory (HRI) for property zoned R-1:8. APN 510-41-007.

**PROPERTY OWNER/APPLICANT: Jeffrey Siegel
PROJECT PLANNER: Erin Walters**

On February 23, 2022, the Los Gatos Historic Preservation Committee could not make the required findings for removing the pre-1941 property from the Historic Resources Inventory and denied the request.

Pursuant to Section 29.20.258 of the Town Code, the decision of the Historic Preservation Committee may be appealed to the Planning Commission within 10 days of the decision. Appeal forms are available on the Town's website.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

Erin Walters
Associate Planner

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 02/23/2022

ITEM NO: 4

DATE: February 18, 2022
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 33 Walnut Avenue.** APN 510-41-007. PROPERTY OWNER/APPLICANT: Jeffrey Siegel. PROJECT PLANNER: Erin Walters.

RECOMMENDATION:

Consider a request to remove a presumptive historic property (pre-1941) from the Historic Resources Inventory (HRI) for property zoned R-1:8 located at 33 Walnut Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1890
2. Town of Los Gatos Historic Status Code: I- Historic and Intact
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

BACKGROUND:

The Santa Clara County Assessor's Database lists a construction date of 1890, typically indicating substantial construction occurred around that time. The 1990 Anne Bloomfield Survey indicates that the residence was constructed in the 1890's and assigned a preliminary rating of "historic and intact" (Attachment 1). The Sanborn Fire Insurance maps show the residence on the subject property in 1895, having a consistent footprint through 1956 (Attachment 2).

PREPARED BY: ERIN WALTERS
Associate Planner

The property has frontage on both Walnut Avenue and Wissahickon Avenue. The property contains a pre-1941 single-family residence and a new second story accessory dwelling unit (ADU) located above a detached garage and carport, all currently under construction/renovation.

An investigation of Town records includes an ADU was approved in 1985 and in 1994 a Building Permit was issued for foundation work. On February 27, 2007, the Historic Preservation Committee (Committee) considered whether or not the work proposed to the pre-1941 single-family residence would be classified as a demolition. The Committee found that the rear of the home was an addition which was unsympathetic to the architectural style of the original house, and therefore the removal of the addition would not be classified as a demolition pursuant to Town Code (Sheet A0 of Attachment 3). In 2007, a Building Permit was issued for a 300-square foot first story addition and a 99-square foot second story addition and remodel (Attachment 3). In 2007, a Building Permit was issued for repair of terminate damage and dry rot at the front porch. In 2008, a Building Permit was issued to rebuild the detached garage and retaining wall.

Recent Modifications to the Main Residence by Current Owner

On August 22, 2018, and May 15, 2019, the Committee reviewed and approved plans for modifications to the subject pre-1941 residence for the construction of a new roofed porch, interior remodel, and exterior door and window modifications for the structure (Attachments 4 and 5). The proposed development plans included a second story addition to the front of the existing two-story house. The proposed second story addition was associated with a proposed expansion of an attached second story ADU. State regulations and the Town's ADU Ordinance allow second story ADU's to be constructed on an existing two-story residence through a ministerial review with an ADU Permit. On May 14, 2019, ADU Permit (D-19-004) was approved for the reconstruction and expansion of an existing second story attached ADU in the main residence.

Modifications to the Detached Garage, Carport, and ADU by Current Owner

On March 13, 2020, the Development Review Committee approved Architecture and Site Application (S-19-041) for the construction of an addition to the existing detached garage which exceeds 450 square feet and occupies more than 10 percent of the lot exclusive of building setbacks on a non-conforming property. On December 7, 2020, ADU Permit (D-20-017) was approved for a new detached ADU to be located above the expanded garage and new carport and the removal of the existing attached ADU in the main residence. ADU permit (D-19-004) for the reconstruction and expansion of an existing second story attached ADU in the

BACKGROUND (continued):

main residence was withdrawn. In July of 2021, Building Permit (B20-0951) was issued for a new detached ADU to be constructed above the expanded garage and new carport. Accessory structures and ADU's on historic properties are not reviewed by the Committee.

Technical Demolition of Main Residence by Current Owner

On April 21, 2021, Building Permit (B19-0482) was issued for the construction of a new roofed porch, interior remodel, and exterior door and window modifications for the pre-1941 structure, per the approval by the Committee (Attachment 6). A demolition plan and signed Demolition Affidavit was provided by the property owner/applicant/appellant's team acknowledging the Town Code's demolition policy and process for historic structures. The approved project did not result in a demolition.

On September 16, 2021, staff was informed by the property owner that more than 25 percent of the exterior siding had been removed from the front elevation of the main residence on Walnut Avenue.

This resulted in a technical demolition of the pre-1941 historic residence. On October 7, 2021, the Community Development Director issued a Notice of Unlawful Demolition to the property owner. On October 11, 2021, the property owner filed an appeal of the Director of Community Development's determination of demolition violation. On November 16, 2021, Town Council held a public hearing, denied the appeal, upheld the Community Development Director's determination of a demolition violation and reduced penalty fees. The applicant is in the process of applying for an Architecture and Site Application for a Technical Demolition which will require review by the Committee.

DISCUSSION:

The applicant is requesting approval to remove the residence from the HRI and has provided a written request, research on the property and photographs of the site (Attachments 7). Should the Committee find that the structure does not have sufficient historic significance or architectural merit, the structure would be removed from the HRI and any proposed work would not return to the Committee. An Architecture and Site application is required for the unlawful technical demolition, and it would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

FINDINGS (continued):

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Historic Preservation Committee Agenda, Minutes, and Staff Report of August 22, 2018
4. Historic Preservation Committee Agenda, Minutes, and Staff Report of May 15, 2019
5. Excerpts from 2007 Building Permit Plans
6. Excerpts from 2021 Building Permit Plans
7. Letter of Justification, Research, and Photographs

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 33 Walnut

PARCEL MAP INFORMATION

Parcel # 510-41-007 Lot size: 50 front ft. x 160 ft. deep

Lot shape: Rectangle ☒ L ☐ Rectangle with small rear jog ☐ Other ☐

Location: N ☐ S ☐ E ☐ W ☒ side of W St ☐ Ave ☒ Other ☐

distance to cross st: 162 ft. N ☐ S ☒ E ☐ W ☐ from Hernandez

at NE ☐ NW ☐ SE ☐ SW ☐ corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # 3 Old lot # 8

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1890s Style Queen Anne # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey 1900 CAR 1890 AEG

Gebhard: page # illustration page #

33 Walnut EVALUATION Date c. 1894 (San)

N2 Contributor

Glen Ridge District Non-contrib

st known Resident (Peed, 1930)

t(s):

PHOTOS: Roll/frame # 032/11 Date 15-2-90



ATTACHMENT 1

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Addresses associated with Name 33 Walnut

Relevant dates: construction_____. birth_____. death_____. other_____

Year Book Name/Classified Heading Listing (copy entire, exactly as shown; use * for boldface)

[illegible]

initials	date
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Mark 'X' (info) or 'Ø' (nothing found) at each source you try. List findings below.

Los Gatos Library:

California History Center, De Anza College:

City directories (name & street index)

Biographical file

Historic Collection Index (green boxes)

Photo collection

Thompson & West, 1876 (bio index)

Pen Pictures, 1988 (bio index)

Sunshine Fruit & Flowers, 1895 (bio index)

Guinn, 1904 (bio index)

San Jose Historical Museum:

Sawyer, 1922 (bio index)

Great Registers (of voters)

Bruntz, Hist'y of LG, 1971 (bio index)

— Indexes

Extended index to Bruntz

Photo collection

Bio index of Munroe Frazer, 1881 (Survey box)

Photo collection (2 boxes)

Other sources:

Los Gatos Museum (Forbes Mill):

Indexes, California Historical Quarterly

Death records by year

State Library Information Index (fiche)

Funeral records (index cards to big books)

State Library-S.F. Newspaper Index ("")

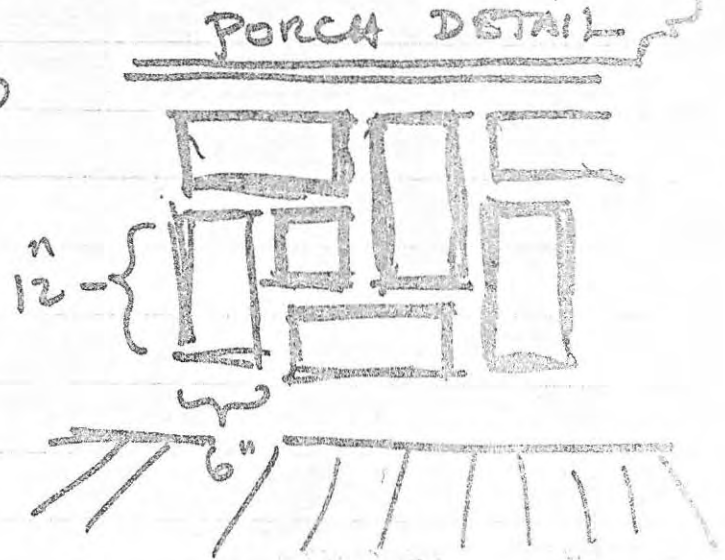
Photo collection

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

BELL RINGERS - SEPT 15, 1984

1891 - Post-Victorian

- (1) 33 WALNUT AVE. - EUNICE MONTGOMERY RUTHERFORD (WRITER)
PURCHASED HOUSE IN 1948 FROM "GLAD" DON/JODN
WORK ON FRONT PORCH LAST YEAR
PLYWOOD PANELS ADDED ON WALLS IN INTERIOR
GLOSSED IN BACK PORCH + FLOOR 1961
KIT CEIL LOWERED
ROOM NEXT TO KIT ADDED
LOT 30 X 130



Street: Walnut - 1056 W 25 House Number: 53

Construction Date: _____ Estimated 1891 Source with records

Style: _____

Present Owners: ^{Mr. & Mrs.} Rutherford Montgomery (Eunice)

Phone: _____ Willing to work with survey committee? _____

Rental? No ☒ Yes _____ Tenants name: _____ Phone: _____

Absentee-owners mailing address: _____

Best time to contact owner: _____ Tenant: _____

History (include dates, events, and persons associated with site when known)

Late 1890s for 1891
Contracted, Walter Duke

Montgomery moved here in 1898

Architectural History (identify information source and year of change)

Original:

Donald & Joan had owned home before Montgomery

Added:

Hallway from front door eliminated to make big room
early 1900s when for the back porch and
Back porch and upper rooms to back of house

Remodeled:

Paneling in 3 different rooms
front porch 50s
floor in back porch - glassed it walls in
lower part of kitchen
tile ceiling in some of rooms

THE AUTHOR

RUTHERFORD MONTGOMERY would rather write than do anything else in the world. Most of his fifty-three books are about animals and the wilderness he knows so well. As a boy, Mr. Montgomery would listen to the tales told by hunters, and his favorite sport then and now is going into the woodland and sitting quietly on a log, observing the children of the wild. He is a watcher, not a hunter.

Mr. Montgomery was born in North Dakota, and taught school for ten years in Wyoming and Colorado after graduating from Colorado Agricultural College. He saw service in the United States Flying Corps in World War I. Later, he was a county judge in Colorado and held state offices there. He now lives in Los Gatos, California.



Other Books by Rutherford Montgomery

Troopers Three	Call of the West
Broken Fang	Carcajou*
Gray Wolf*	Husky*
White Mountaineer	Kildee House
McGonigle's Lake	Wapiti
Midnight*	Big Brownie
Iceblink	Ghost Town Adventure*

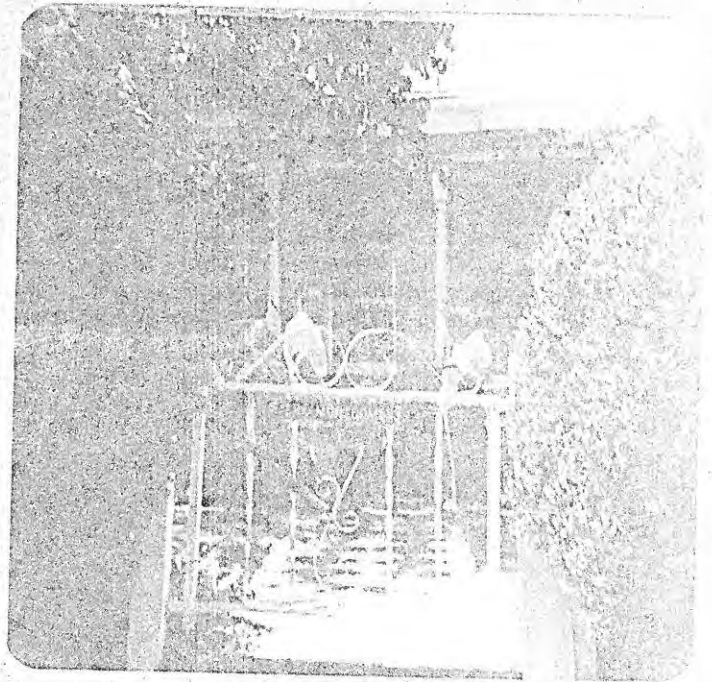
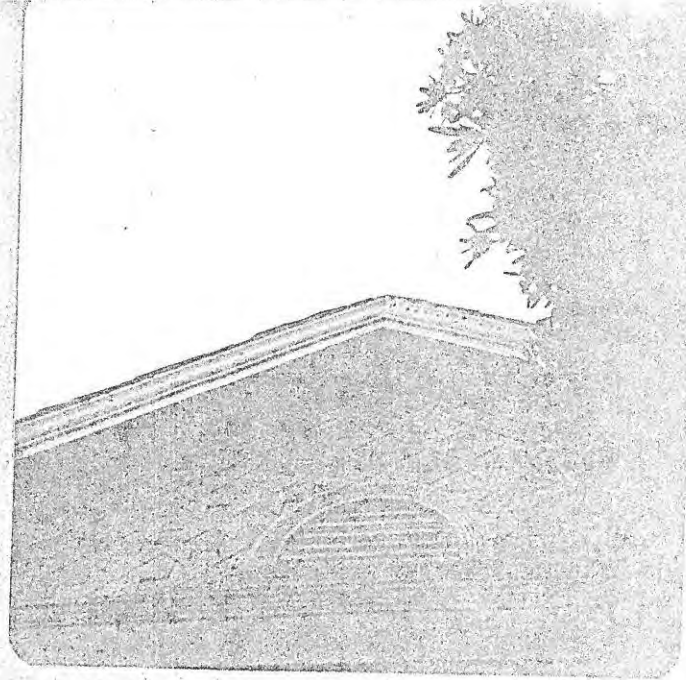
*Available from Scholastic Book Services

YELLOW EYES

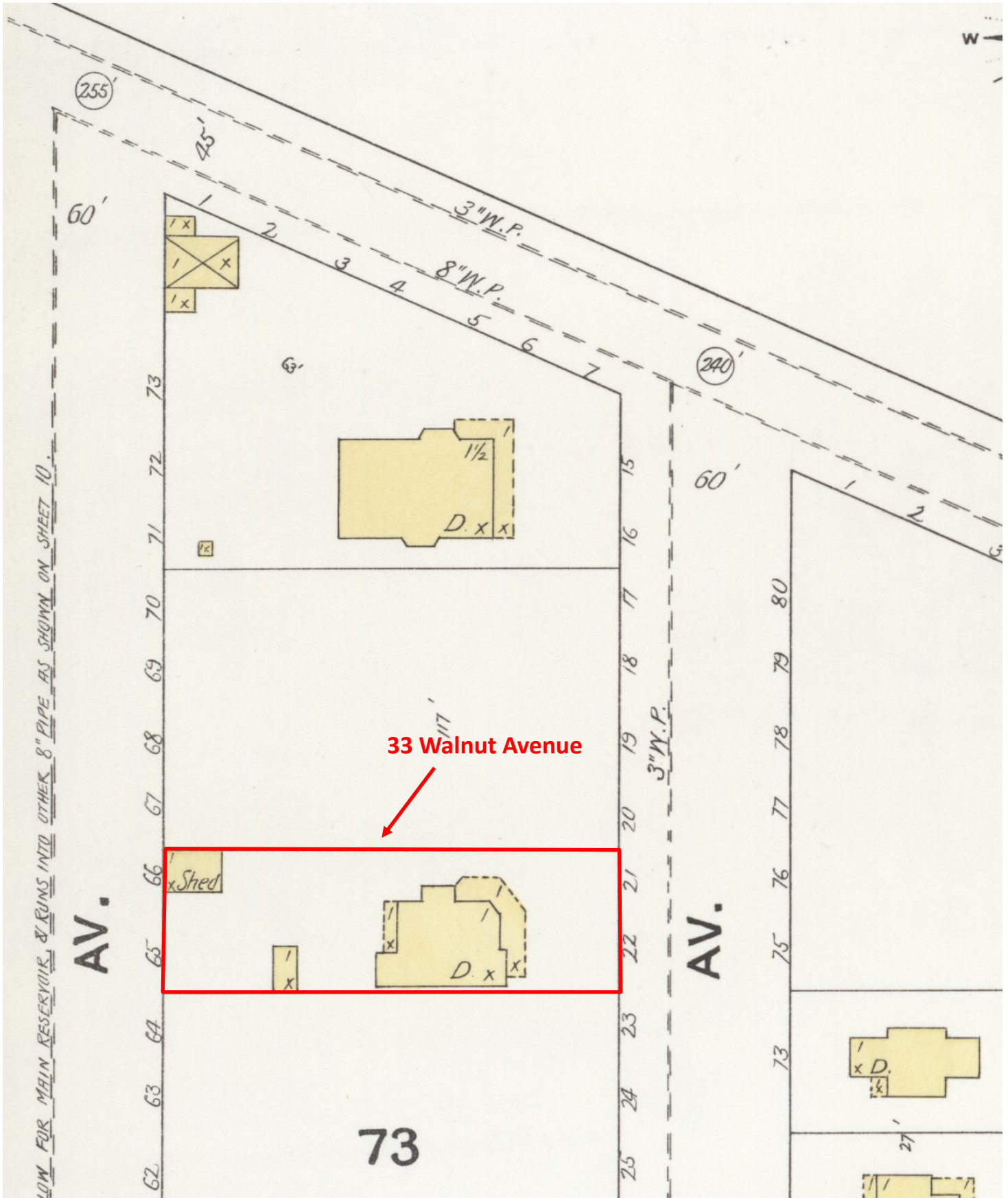
By RUTHERFORD MONTGOMERY

Illustrated by Farrell Collett

SCHOLASTIC BOOK SERVICES
NEW YORK • TORONTO • LONDON • AUCKLAND • SYDNEY • TOKYO



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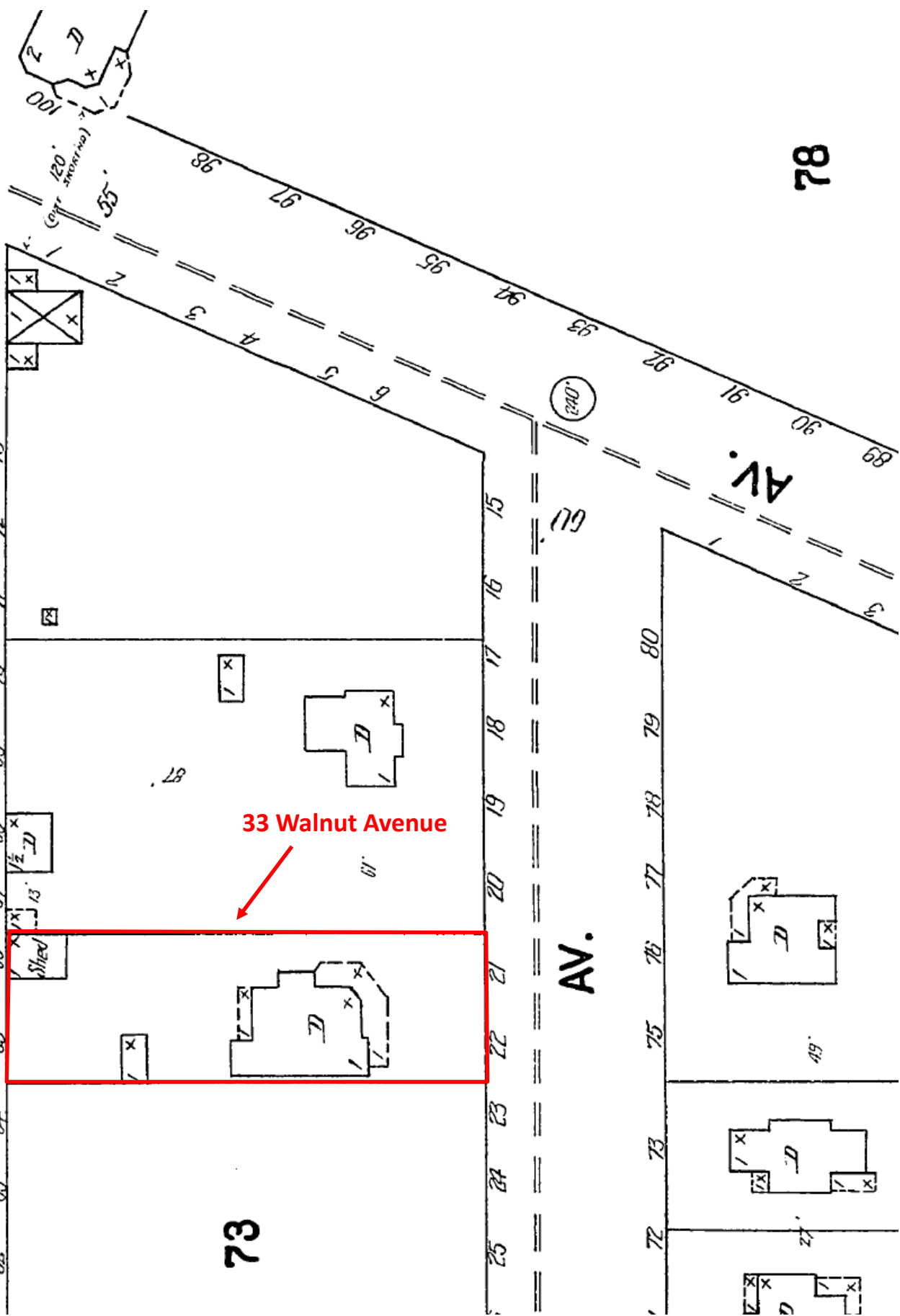
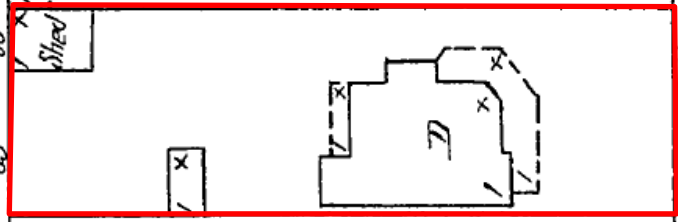
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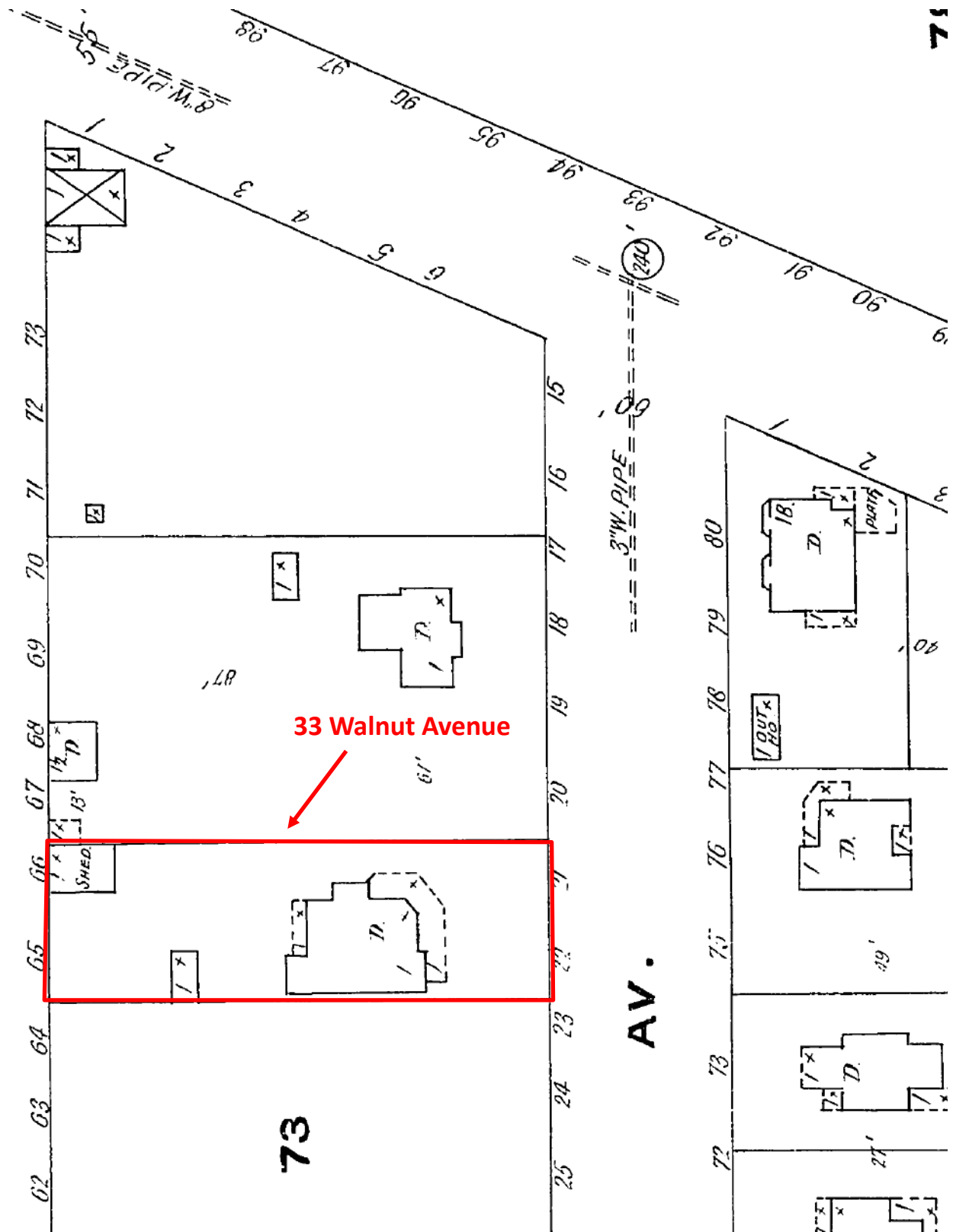
33 Walnut Avenue

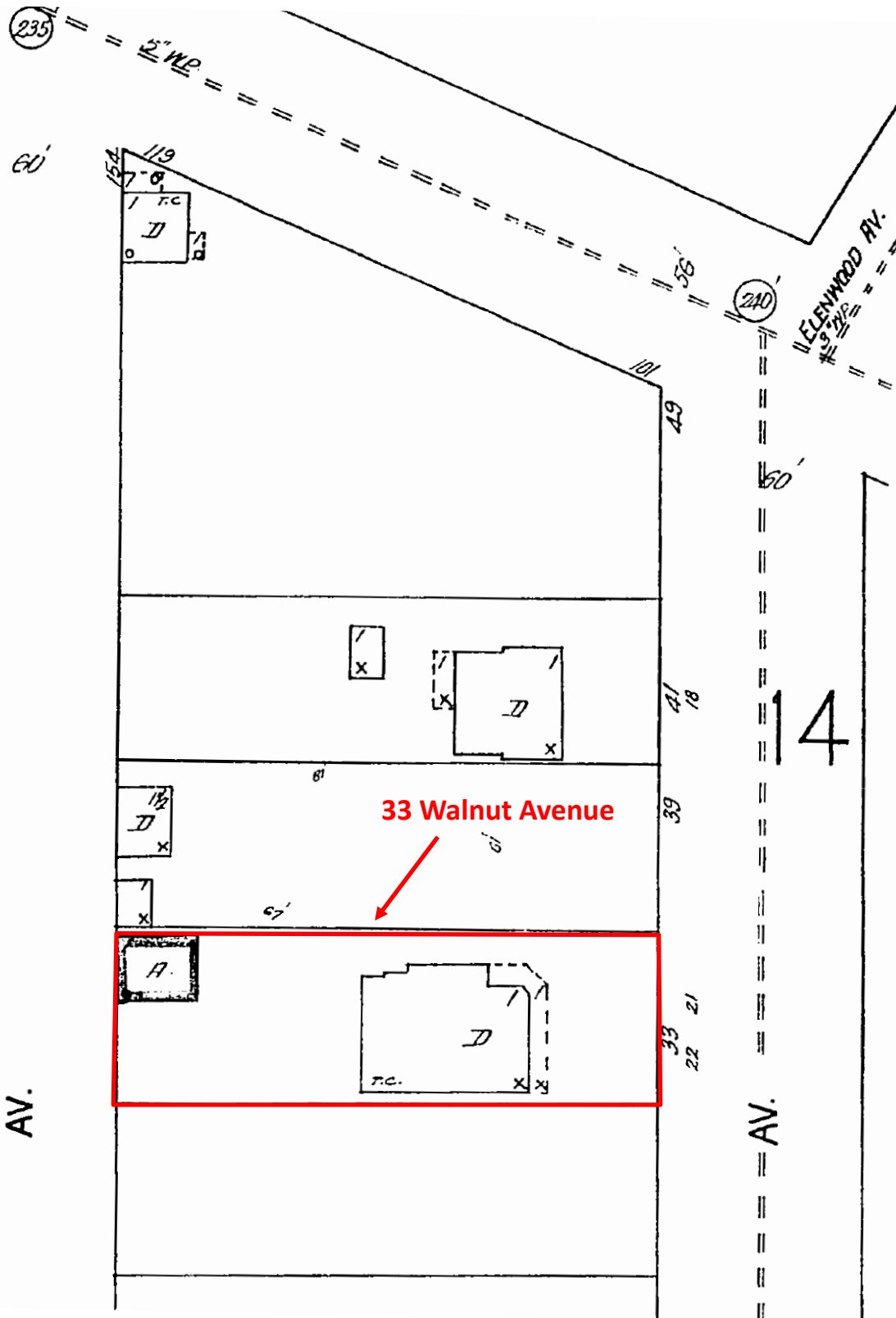


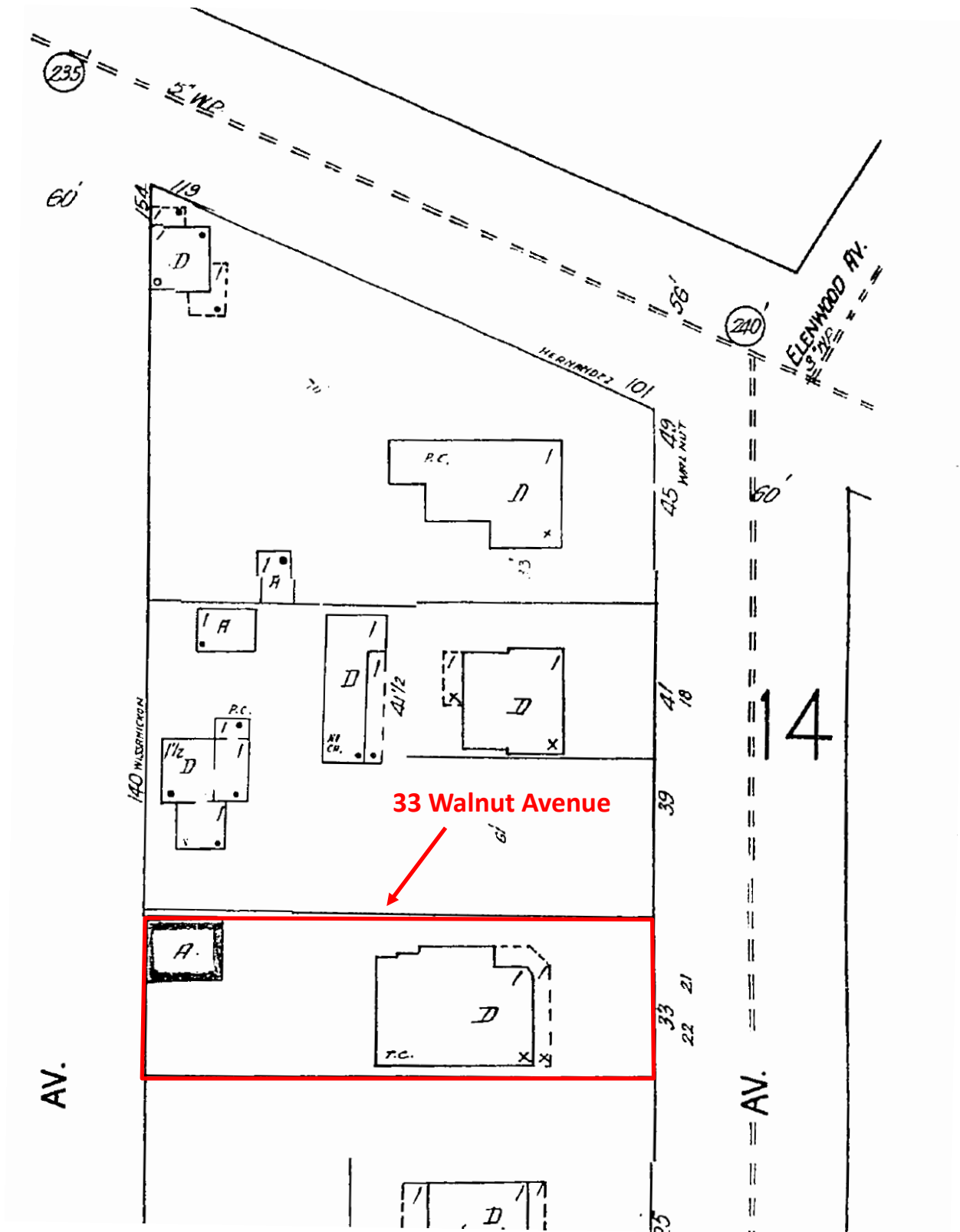
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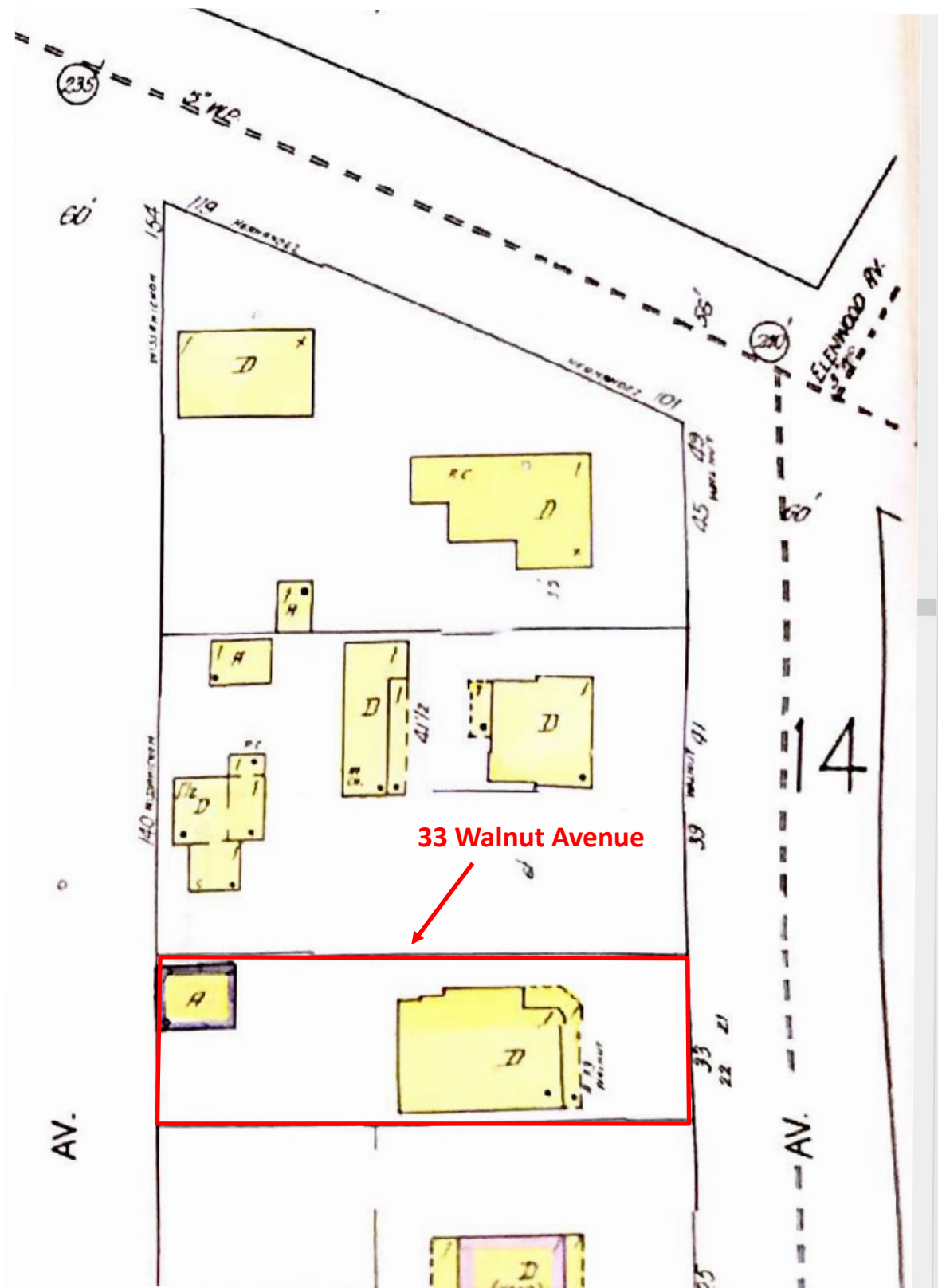
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**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING
AUGUST 22, 2018
110 EAST MAIN STREET
LOS GATOS, CA
3:30 P.M**

Nancy Derham, Chair
Matthew Hudes, Vice Chair
Robert Cowan, Committee Member
Len Pacheco, Committee Member
Tom O'Donnell, Planning Commissioner

MEETING CALLED TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS (Members of the public are welcome to address the Committee on any matter that is not listed on the agenda. To ensure all agenda items are heard and unless additional time is authorized by the Chair, this portion of the agenda is limited to 30 minutes and no more than three (3) minutes per speaker. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment.)

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Items appearing on the Consent Calendar are considered routine and may be approved by one motion. Unless there are separate discussion and/or actions requested by the Committee, staff, or a member of the public, it is requested that items under the Consent Calendar be acted on simultaneously. Any member of the Committee or public may request to have an item removed from the Consent Calendar for comment and action.)*

1. Approval of Minutes – July 25, 2018

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

2. 33 Walnut Avenue

Requesting comments on proposed modifications to the front porch of a pre-1941 property zoned R-1:8. APN 510-41-007.

PROPERTY OWNER: Jeffrey Siegel

APPLICANT: David V. Hernandez, Heritage Architecture

PROJECT PLANNER: Erin Walters

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

3. 25 W. Main Street

Requesting preliminary review of a proposal for exterior modifications and an addition to a contributing commercial building in the Downtown Historic Commercial District on property zoned C-2:LHP. APN 529-01-017.

PROPERTY OWNER/APPLICANT: Steve Leonardis

PROJECT PLANNER: Jocelyn Shoopman

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of ten minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of five minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

4. 16940 Roberts Road

Requesting approval to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-M:5-12. APN 529-18-053.

PROPERTY OWNER: Chang 2003 Family Trust

APPLICANT: Josephine Chang

PROJECT PLANNER: Jocelyn Shoopman

ADJOURNMENT

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING
AUGUST 22, 2018**

The Historic Preservation Committee of the Town of Los Gatos conducted a Special Meeting on August 22, 2018, at 3:30 p.m.

ROLL CALL

Present: Chair Nancy Derham, Vice Chair Matthew Hudes (arrived at 3:57 p.m.), Committee Member Robert Cowan, Committee Member Thomas O'Donnell, Committee Member Leonard Pacheco

Absent: None

MEETING CALLED TO ORDER AT 3:30 P.M.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – July 25, 2018

MOTION: Motion by Committee Member Leonard Pacheco to approve the consent item. **Seconded** by Committee Member Thomas O'Donnell.

VOTE: Motion passed 4-0-1, Vice Chair Matthew Hudes absent.

OTHER BUSINESS

2. 33 Walnut Avenue

Requesting comments on proposed modifications to the front porch of a pre-1941 property zoned R-1:8. APN 510-41-007.

PROPERTY OWNER: Jeffrey Siegel

APPLICANT: David V. Hernandez, Heritage Architecture

PROJECT PLANNER: Erin Walters

Committee Member Leonard Pacheco recused himself from this item.

Erin Walters, Associate Planner, presented the staff report.

Opened and closed Public Comment.

Committee members discussed the matter.

3. 25 W. Main Street

Requesting preliminary review of a proposal for exterior modifications and an addition to a contributing commercial building in the Downtown Historic Commercial District on property zoned C-2:LHP. APN 529-01-017.

PROPERTY OWNER/APPLICANT: Steve Leonardis

PROJECT PLANNER: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Karen Delaney

- Expressed disapproval of the current mural on the side of building.

Closed Public Comment.

Committee members discussed the matter.

PUBLIC HEARINGS

4. 16940 Roberts Road

Requesting approval to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-M:5-12. APN 529-18-053.

PROPERTY OWNER: Chang 2003 Family Trust

APPLICANT: Josephine Chang

PROJECT PLANNER: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Open and closed the Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Committee Member Thomas O'Donnell** to continue this matter to the September 26, 2018 Historic Preservation Committee meeting. **Seconded by Chair Nancy Derham.**

VOTE: **Motion passed 5-0.**

ADJOURNMENT

The meeting adjourned at 5:08 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
August 22, 2018 meeting as approved by the
Historic Preservation Committee.

/s/ Sylvie Roussel, Administrative Technician



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 08/22/2018

ITEM NO: 2

DATE: AUGUST 16, 2018

TO: HISTORIC PRESERVATION COMMITTEE

FROM: JOEL PAULSON, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: PROJECT LOCATION: 33 WALNUT AVENUE. PROPERTY OWNER: JEFFREY SIEGEL. APPLICANT: DAVID V. HERNANDEZ, HERITAGE ARCHITECTURE.
REQUESTING COMMENTS ON PROPOSED MODIFICATIONS TO THE FRONT PORCH OF A PRE-1941 PROPERTY ZONED R-1:8. APN 510-41-007.

RECOMMENDATION:

Review the proposal and provide comments on the proposed modifications to the front porch.

BACKGROUND:

A. Property Details

1. Date primary structure was built: 1890
2. Town of Los Gatos Preliminary Historic Status Code: I – Historic and Intact
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? No

B. Comments

The applicant proposes three modifications to the front porch:

1. Expansion of the existing front porch from six feet, eight inches to 11 feet, eight inches in depth to create a more useable space. The existing decking and floor structure would be replaced in-kind due to water damage.

PREPARED BY: ERIN WALTERS
Associate Planner

BACKGROUND (Continued):

2. Raising the roof of the covered porch from six feet 10-inches to nine feet tall to accommodate the existing eight-foot, four-inch front windows and provide visibility from the house and light into the house.
3. Modify the existing six-inch by six-inch decorative wood columns and guard rail with a square wood column design and a code compliant guard rail with a modified decorative pattern.

Building permits are required for the proposed modifications to the front porch. Committee comments are requested to ensure the compatibility of the proposed modifications with the original structure and the surrounding area.

The proposed development plans show a second story addition to the existing two-story house. The proposed second story addition is associated with a proposed Accessory Dwelling Unit (ADU). New State regulations and the recent adoption of amendments to the Town's ADU Ordinance allow second story ADUs to be constructed on an existing two-story residence with a ministerial review through an ADU permit.

The applicant's request, the Bloomfield Survey, existing photos, and the proposed development plans are attached.

DISCUSSION:

A. Considerations

For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

Attachments:

1. Letter of Justification (six pages)
2. Bloomfield Survey (seven pages)
3. Photos of Existing Porch (five pages)
4. Development Plans (8 pages)

Distribution:

Cc: Jeffrey Siegel, 33 Walnut Avenue, Los Gatos, CA 95030
David V. Hernandez, Architect, Heritage Architecture, P.O. Box 8033, San Jose, CA 95155

HERITAGE ARCHITECTURE
DAVID V. HERNANDEZ, ARCHITECT

P.O. Box 8033, San Jose, CA 95155
VM: (408) 298-0998 C: (408) 772-3502

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AUG 09 2018

TOWN OF LOS GATOS
PLANNING DIVISION

To: Erin M. Walters, Associate Planner
Town of Los Gatos
Community Development Department
Cc: Sally Zarnowitz, Planning Manager

August 09, 2018

Job No. 2018.07


Re: HPC Hearing
The Siegel Residence Front Porch Expansion/Repair
33 Walnut Avenue, Los Gatos, CA

This HPC review packet is being submitted for discretionary review by Committee for approval of a front porch expansion and repair attached to a pre-1941 residence, not within a historic district, but whose façade is considered of historical value.

Scope of Work/Justification:

1. Remove and replace water damaged decking and repair existing floor structure as necessary.
2. Extend existing deck footprint an additional 5'-0", within Front Setback Building Envelope, primarily on the frontage side of the residence. This will allow for a best use of outdoor living and greater clear areas for furniture grouping on the porch.
3. Rebuild the roof to its existing slope in order to raise the bottom of the roof bearing beam height from 6'-10" above the residence subfloor to 9'-0". By doing so, the 8'-4" tall windows overlooking the porch will obtain a greatly improved sightline to the vista beyond and increase natural light gain into the residence. Rebuilding the roof will allow the owner to address the necessary roof coverage of the deck by way of deeper overhands as deemed necessary. Refer to interior view of porch photo attached.
4. Replace the existing partially turned 6x6 columns and 2'-3" high guardrail with new 6x6 square wood columns and pedestal, along with a new code compliant guardrail with a decorative pattern favored by the owner. Refer to photos of existing guardrail and column components.
5. Any graphics related to the future work of an ADU at the front of the residence is not to be considered for the purposes of this review. The ADU review is following a different tract for approval by staff.

Submitted by,


David V. Hernandez, Architect
Heritage Architecture
Architect of Record

Page 2 contains the owner's justification for this scope of work.
Please see attached document.

Sally Zarnowitz
Los Gatos Planning Dept

Sally,

Thanks again for all your guidance in helping to develop our proposed architectural plans for adding the ADU to the upper floor facing the front street.

Our goal is to create an inviting livable space that will offer plenty of light and views that are possible from living on the second floor with sweeping views of the mountains and surrounding area. Having French doors and a walkout deck on the upper part of the front porch will create an attractive aesthetic from the street, and will bring additional light into the house and pleasant exterior views. This is also in keeping with the neighborhood where quite a few homes have this same feature including 151 Hernandez (deck faces onto Wissahickon), 7 Walnut Avenue, 381 Pennsylvania (deck is on top of the garage facing the street), 45 Glenridge (similar architectural style), 125 Tait (being built right now), and 220 Wilder are some illustrative examples. I have checked with several of my neighbors on Walnut Avenue and all are completely fine with the proposed addition as described.

At the same time, we are planning on resolving several design defects of the existing front porch which include 1) flooring is sloped away from the house making it awkward for people balancing, 2) flooring is in poor condition as a result of full exposure to rains from a lack of adequate roof protection, 3) porch roof slopes excessively down blocking views and light that would otherwise come into the tall front windows, and 4) depth is shallow limiting the usability of the porch. Unlike my prior house on Pine Avenue where the front porch was a wonderful, livable, space to enjoy the front yard as it was 11 feet deep.

Thanks again for your earlier guidance and support in helping us to complete the design approval process. We are excited about undertaking the work that will improve the aesthetics and functional use of the house.

Sincerely,

Jeffrey Siegel

Proposed Porch Design Improvements in Context of Historic Preservation for Queen Anne Style Residence at 33 Walnut Avenue

RECEIVED

AUG 16 2018

References:

- 1) **A field guide to American Houses, Published 2014 by Virginia Savage McAlester**
- 2) **The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, 2017 Revised by Anne Grimmer**
- 3) **Los Gatos Guidelines for Historic Preservation**
- 4) **Consultation with Anne Grimmer, Architectural Historian for the Technical Preservation Services Department of the United States Park Service**

TOWN OF LOS GATOS
PLANNING DIVISION

33 Walnut Avenue, built in 1890, is an example of a Queen Anne style residence with minor spindlework detailing. With a hipped roof and lower cross gables, together with a wrap around porch, the house displays multiple elements of an 1890 era Queen Anne. The house is not located in a historic district though is considered by the town of Los Gatos to be historical on account of the year that it was built.

History of the House:

While built in 1890, multiple alterations have been made to the house over the intervening years including:

- 1) Roofing material – wood shingles replaced with composite material
- 2) Addition of second story ADU toward the rear of the house in 1986
- 3) Construction of a new two car garage in 2008 replacing a historic structure that could not be adapted for today's modern lifestyle
- 4) First floor alterations including addition of 250 square feet by pushing out the rear exterior walls of the house altering both size and shape
- 5) Full interior redesign and reconstruction in 2008 including removing interior walls, changing bedroom locations and sizes, adding windows and doors, creating a great room, adding a bathroom, and changing the interior flow of the house, along with all new plumbing, electrical, and HVAC
- 6) Multiple landscape changes over time including adding a stone retaining wall and patio in the rear, with steps and gate out to the newly constructed garage

Curing the Porch Design Defects:

While many improvements have already been made over time, the one remaining and much needed alteration is the improvement of the front porch to address specific design defects that has caused safety, lighting, and sustainability issues. To be clear, this does NOT mean changing the character defining features of the porch, which include wrapping around the front and front-side of the house and the use of stylized vertical supports and detailed railing design.

The *design defects*, which include shallow depth, overly pitched flooring, low profile roofline that obscures light and interior visibility, missing roof protective overhang, and absence of a south facing weather barrier, altogether negatively impacts the sustainability, safety, and functional use of the front section of the house. Weather exposure to the front of the house, and a dark front interior are problems that are worth solving while respecting the historical integrity of the Queen Anne style. In addition, the front steps have proven to be a safety hazard as multiple guests have now slipped and fallen when walking down the steps. This stems from the exposure of the steps to the elements, combined with their shallow foot depth and steep pitch. It is desired to extend the porch roofline to cover and protect the steps from the elements to create a safe environment. This is in keeping with the Queen Anne style of architecture as evidenced in photos in the book *A Field Guide to American Houses* page 361, image 11.

The desired porch improvements to address these existing problems include:

- 1) Deepening the porch from its current six feet to 11 feet, which is in keeping with the legal setbacks. Given the gaps in the weave style and low height of the existing railing, this will significantly improve the safety of using the porch, while allowing far more light to enter the tall front windows, and provide much needed protection from the strong west blowing winds and rains that assault the front (and side) of the house given its east (and south) facing exposure.
- 2) Slight change to the front porch railing to a tighter weave design for improved safety and stronger vertical supports with sturdier base.
- 3) Adding a transparent protective shield to the left side of the porch protecting the south exposure from wind-blasted rains during the winter months (as many other historic homes in Los Gatos currently have)
- 4) Raising the gutter eave height of the porch roofing, together with adding a porch roof overhang, as required for both lighting improvement and for protecting the front porch flooring and front siding of the house from the seasonal rains which continues to cause damage.
- 5) Reducing the existing pitch of the porch flooring to create a shallower pitched surface. Its current pitch creates a floor surface that is somewhat precarious to stand and walk on, particularly for the elderly or anyone that's tall.
- 6) Extending the porch roof over the front stairs as a safety feature. The front stairs are continually rained upon by environmental elements including water, bird droppings, and tree leaves. Altogether this has created a dangerous and slippery surface. Two guests have now slipped and at times fallen from these stairs and it's highly desired to create an environment for safe ingress/egress of the house while reducing legal liability.

A key question to answer:

The key question that arises when considering these proposed changes – is whether they constitute a *character-defining feature* change, or whether the character-defining features of the house can be preserved while making the required adaptation. To answer that question, we have turned to multiple sources, including those published, as well as consulted directly with the author of the *Department of the Interiors Standards for the Treatment of Historic Properties* – Anne Grimmer. Anne's guidance in considering and answering this question has directly informed the proposal being submitted to the Los Gatos Historic Committee.

Rehabilitation defined:

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions, while preserving those portions or features which convey its historical, cultural, or architectural values. Maintaining the Queen Anne style of the porch while incorporating the adaptation needed to address the design defects is the intention of this proposed project.

Guidance from Anne Grimmer:

It has been determined, after consulting in conference with the architectural historian and author of the *Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* that the proposed changes to 33 Walnut will not create a 'character-defining change'. In fact, these guidelines state under Alterations – *some exterior and interior alterations to a historic building are generally needed as part of a Rehabilitation project to ensure it's continued use. But it is most important that such alterations do not RADICALLY change, obscure, or destroy character-defining spaces, materials, features, or finishes.*

Anne noted that the porch related issues stem directly from what she calls a 'design defect', which can be *intelligently addressed* while preserving the character-defining features of the Queen Anne style. She gives the example of the firehouse that is down the street from her office in Washington DC, and is also cited as an example in the guidelines. The opening of the building, based on its original design, could not accommodate today's modern fire trucks, and so the opening was enlarged as an adaptation to today's needs, while preserving the building's style.

According to Anne, "the tall front windows of your house (at 33 Walnut) are indeed a character defining feature, as is the style of the wrap around porch. But it's not unprecedented to see porch rooflines that hang so low as to block light and visibility. These should be considered a design defect, not a character-defining feature of the house. Raising the roofline to cure this defect would be considered a reasonable adaptation in the same way that enlarging the opening of the fire station down the street, to accommodate today's larger fire trucks, improved the functionality while still retaining the historic nature of the building itself." For this example, Anne referenced page 150 in *Standards for Preservation & Guidelines for Preserving Historic Buildings*.

Anne views the front porch of 33 Walnut as similar to the firehouse example. She notes that making the improvements by addressing the design defects benefits the house and its livability, while preserving its true character-defining features (wrap around porch, tall front windows, detailed railing) of the Queen Anne architectural style. In other words, she sees the proposed improvements (roof height, porch depth, roof overhang, wind barrier) as an *intelligent adaptation* that would be barely discernible from the street, and not a radical change.

We look forward to hearing the historic committee's assessment of these proposed changes, as a means of intelligently addressing the design defects that have caused problems in safety, livability, and maintenance.

Respectfully...Jeffrey Siegel, homeowner of 33 Walnut Avenue

Jeffrey Siegel

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 33 Walnut

PARCEL MAP INFORMATION

Parcel # 510-41-007 Lot size: 50 front ft. x 160 ft. deep

Lot shape: Rectangle ☒ L ☐ Rectangle with small rear jog ☐ Other ☐

Location: N ☐ S ☐ E ☐ W ☒ side of W St ☐ Ave ☒ Other ☐

distance to cross st: 162 ft. N ☐ S ☒ E ☐ W from Hernandez

at NE ☐ NW ☐ SE ☐ SW ☐ corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # 3 Old lot # 8

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1890s Style Queen Anne # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey 1900 CAR, 1890 AEG

Gebhard: page # illustration page #

33 Walnut EVALUATION Date c. 1894 (San)

Glen Ridge Contributor
District Non-contrib

Earliest known Resident (Peed, 1930)
E(S):

PHOTOS: Roll/frame # 032/11 Date 15-2-90



Anne P. imfield

ARCHITECTURAL HISTORY

151 922-1063

2229 STER STREET

SAN FRANCISCO, CA 94115

file address 33 Walnut

ARCHITECTURAL SURVEY BUILDING RESEARCH

PUBLISHED ANNOUNCEMENTS

Source: A&E Bulletin CA&BN Call Chron DPB Ed AB EK News PCA Other

Nature of announcement: Volume Date Page Contract notice Notice of completion BP issued Photo Elev/sketch/rend'g Floor plan Arch't/cont'r pub Real est.

Copy exactly:	Owner	Builder/Contractor	Architect/Engineer	Location	Nature of work	Cost	Initials	Date

BUILDING PERMITS

Address requested _____

Source: Permit Register, Press-Perm., or . . .	Application Number	Date	Location	Cost	Use/No. of Units	Owner & address	Builder/contr. & address	Arch't/engin'r & address	Description of work	Bldg's width/depth/height	Exterior Materials	Initials	date

OTHER SOURCE (specify thoroughly)

Initials Date

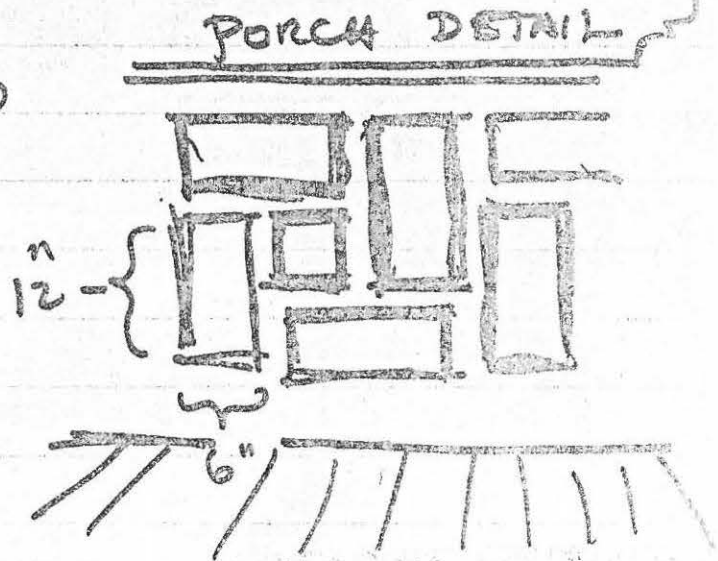
SANBORN MAPS

Date	Vol/ dif. page	Vac. or bldg	Address	Color: yel, pnk, orange blu, gry green	Use	Patches Yes/ No	No. of stories	Height (ft.)	No. of bay windows	Porch	Differences from today in: Use Stories Footprint	Date of constr.	Describe or sketch plan
1895	12	this	22-21 W-	?	D	N	1	-	side, ? front	wraparound & rear			
1904	5	"	"	?	"								
1926	13	"	33 W (exn)										

BELL RINGERS - SEPT 15, 1984

1891 - Post-Victorian

- ① 33 WALNUT AVE. - EUNICE MONTGOMERY RUTHERFORD (WRITER)
PURCHASED HOUSE IN 1948 FROM "GLAD" DON/JOAN
WORK ON FRONT PORCH LAST YEAR
PILLOW BOXES ADDED ON WALLS IN INTERIOR
GLOSSED IN BACK PORCH + FLOOR 1961
KIT CEIL LOWERED
ROOM NEXT TO KIT ADDED
LOT 30 X 130



Street: Walnut - Los Gatos House Number: 33

Construction Date: _____ Estimated 1891 Source Mr. Montgomery

Style: _____

Present Owners: Mr. & Mrs. Rutherford Montgomery (Eunice)

Phone: _____ Willing to work with survey committee? _____

Rental? No ☒ Yes _____ Tenants name: _____ Phone: _____

Absentee-owners mailing address: _____

Best time to contact owner: _____ Tenant: _____

History (include dates, events, and persons associated with site when known)

Late 1880's (probably 1891)
Carpenter Gothic style

Montgomerys moved here in 1798

Architectural History (identify information source and year of change)

Original:

Donald H. [unclear] had owned home before Montgomery

Added:

Hallway from front door eliminated to extend to [unclear] [unclear]
family room where fireplace has been added
Back porch and upper rooms to back of house

Remodeled:

Panneling in 3 different rooms
front porch steps
Floor of back porch - glassed it walls with
lowered ceiling in kitchen
tiled ceiling in several rooms

THE AUTHOR

RUTHERFORD MONTGOMERY would rather write than do anything else in the world. Most of his fifty-three books are about animals and the wilderness he knows so well. As a boy, Mr. Montgomery would listen to the tales told by hunters, and his favorite sport then and now is going into the woodland and sitting quietly on a log, observing the children of the wild. He is a watcher, not a hunter.

Mr. Montgomery was born in North Dakota, and taught school for ten years in Wyoming and Colorado after graduating from Colorado Agricultural College. He saw service in the United States Flying Corps in World War I. Later, he was a county judge in Colorado and held state offices there. He now lives in Los Gatos, California.



Other Books by Rutherford Montgomery

Troopers Three	Call of the West
Broken Fang	Carcajou*
Gray Wolf*	Husky*
White Mountaineer	Kildee House
McGonigle's Lake	Wapiti
Midnight*	Big Brownie
Iceblink	Ghost Town Adventure*

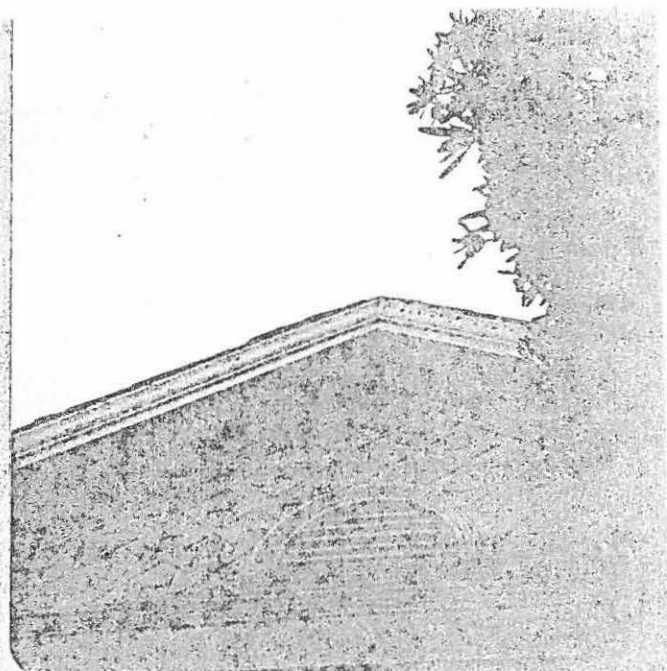
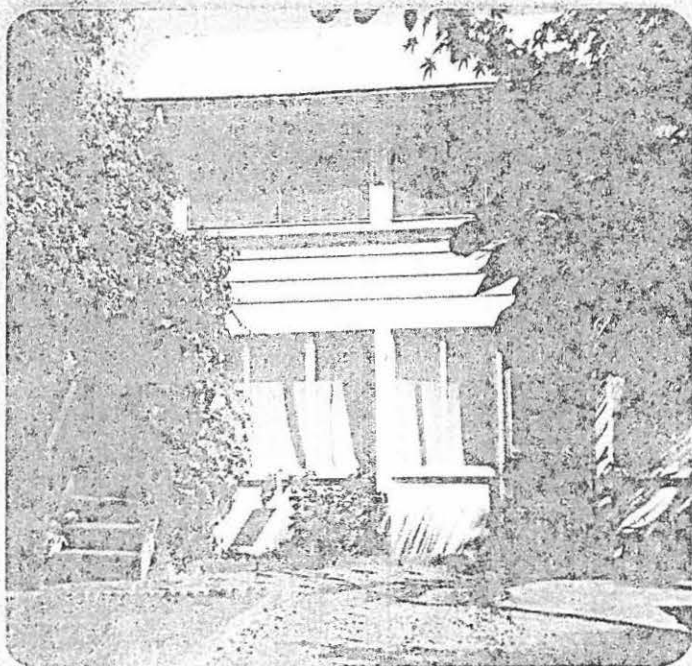
*Available from Scholastic Book Services

YELLOW EYES

By RUTHERFORD MONTGOMERY

Illustrated by Farrell Collett

SCHOLASTIC BOOK SERVICES
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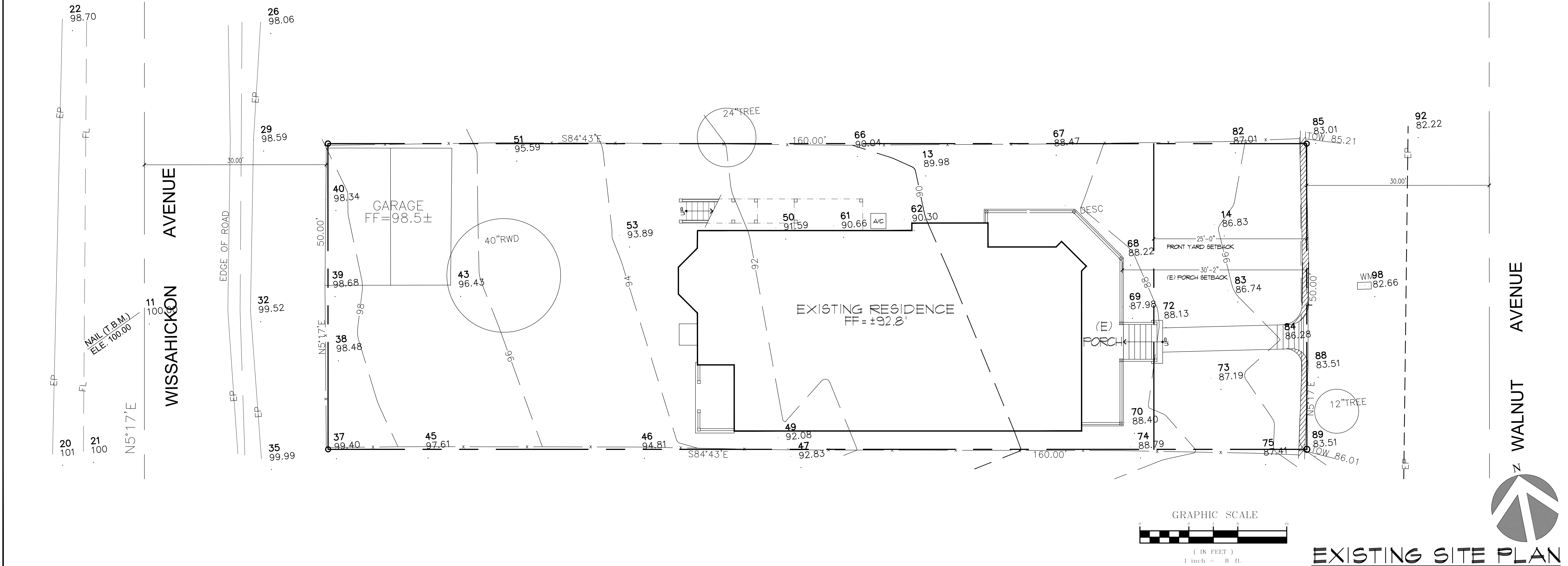
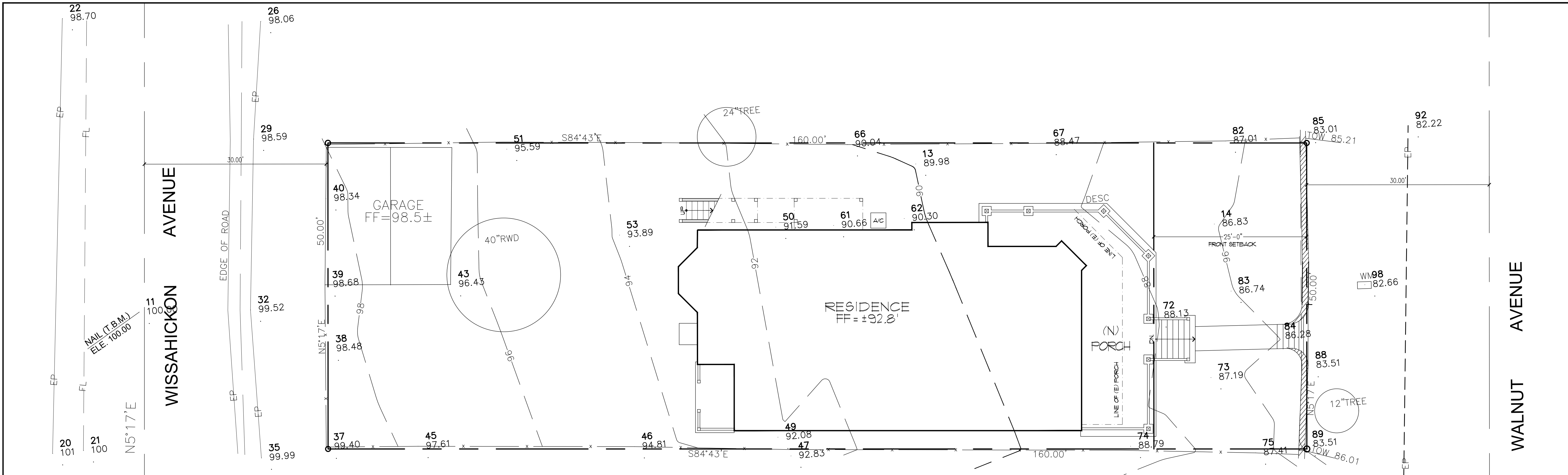












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HERITAGE ARCHITECTURE

HERITAGE ARCHITECTURE
DAVID V. HERNANDEZ, ARCHITECT
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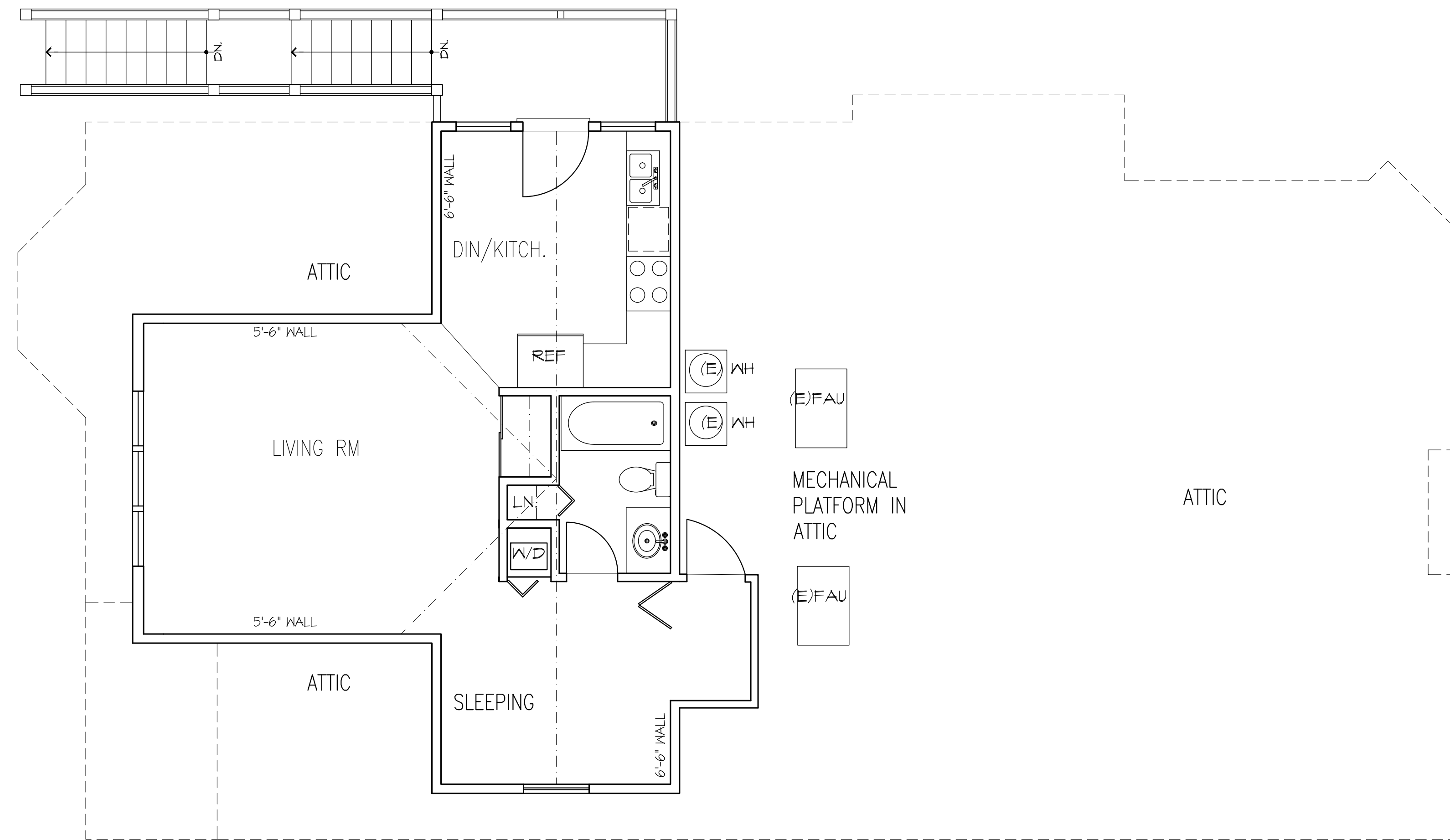
WALNUT AVENUE

GRAPHIC SCALE
(IN FEET)
1 inch = 8 ft.

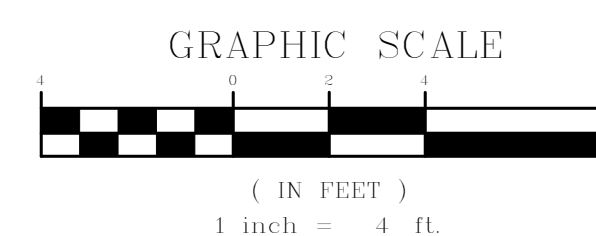
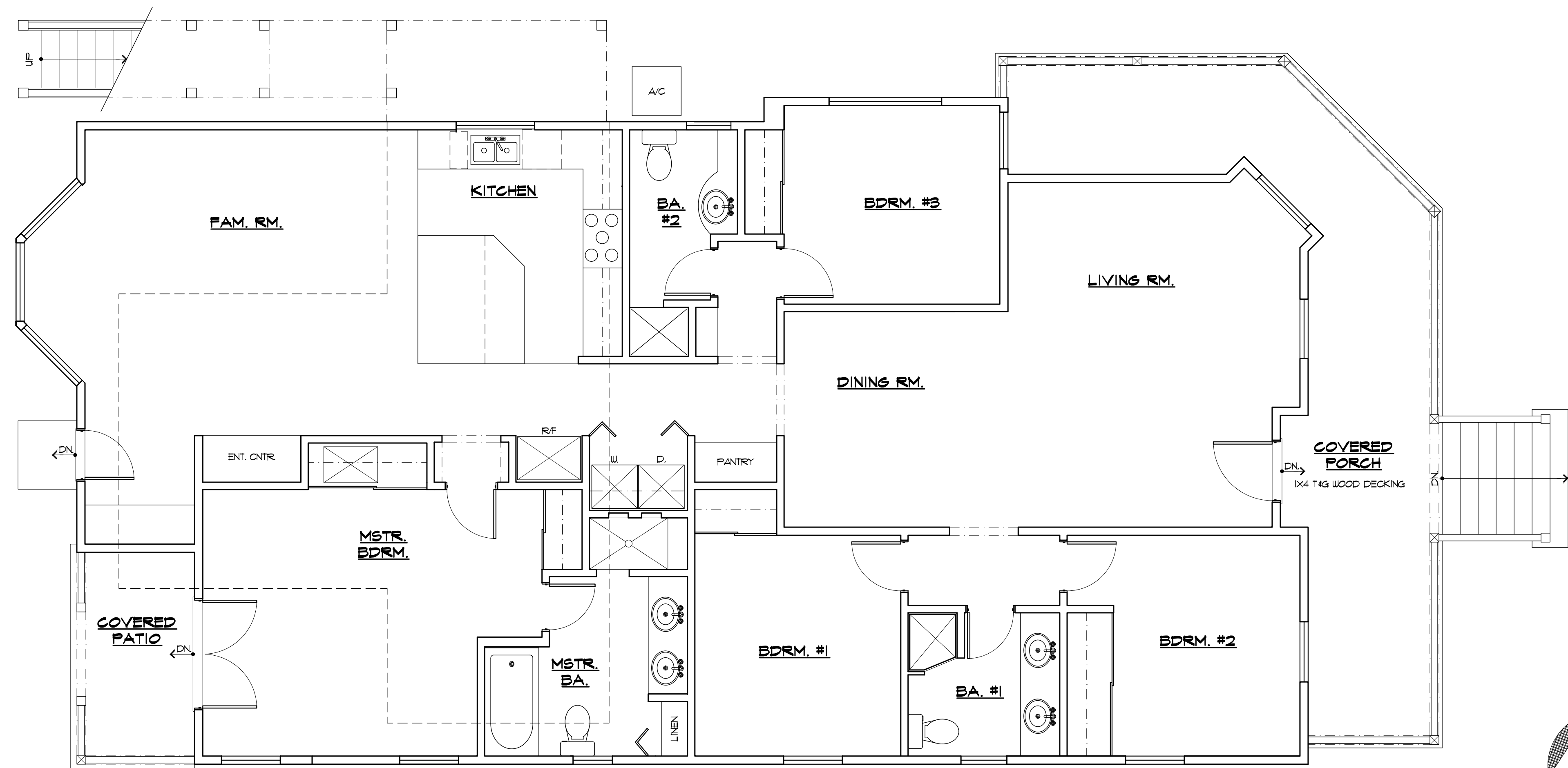
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DATE: 08/08/2010

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

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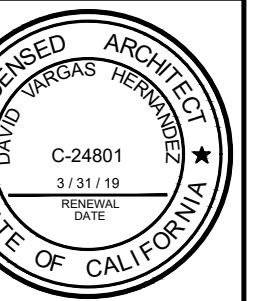


EXISTING UPPER FLOOR (ADU) PLAN / DEMOLITION PLAN



EXISTING GROUND FLOOR PLAN / DEMOLITION PLAN

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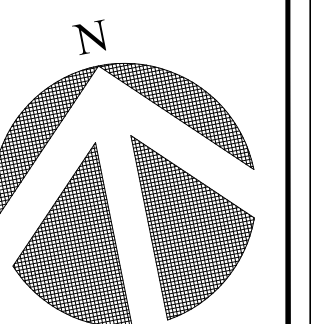


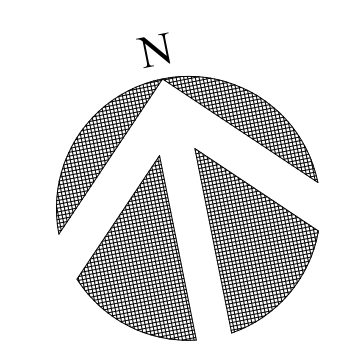
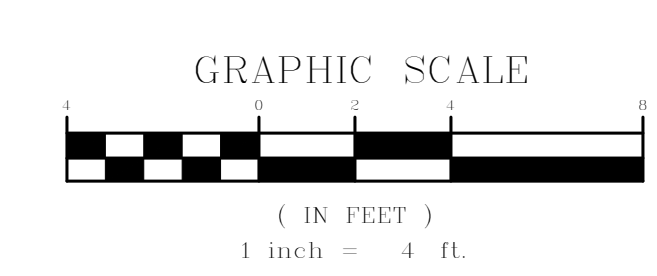
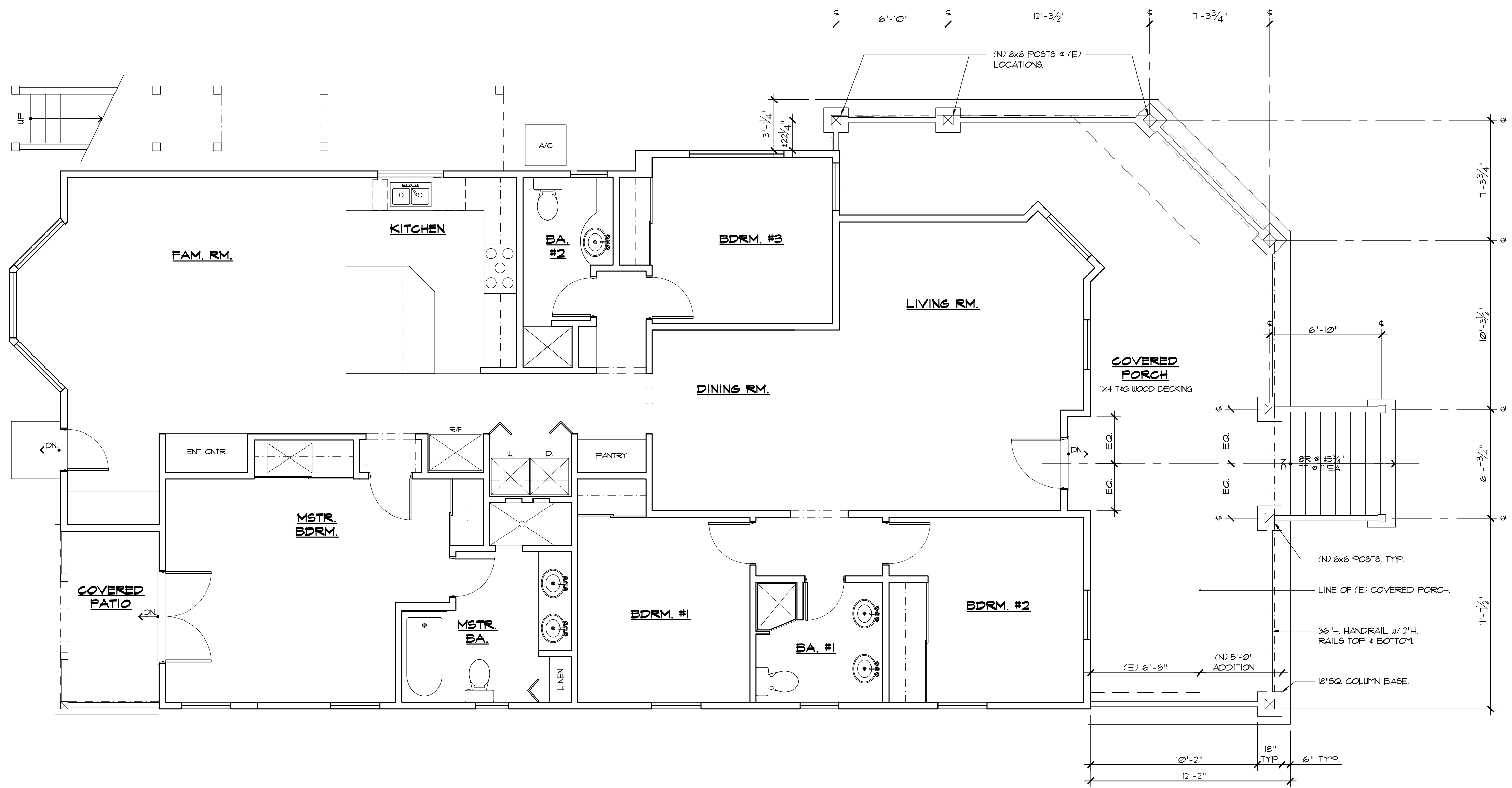
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SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

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DATE: 08/08/2018

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NEW GROUND FLOOR PLAN

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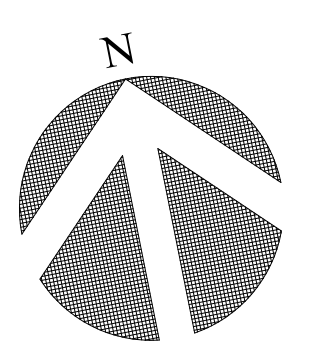
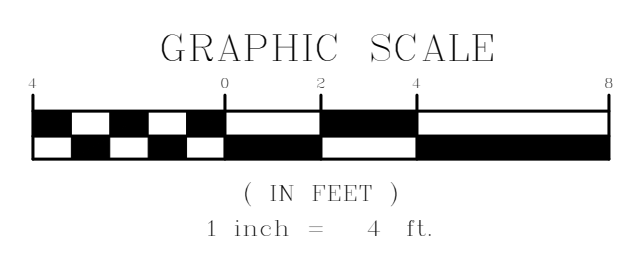
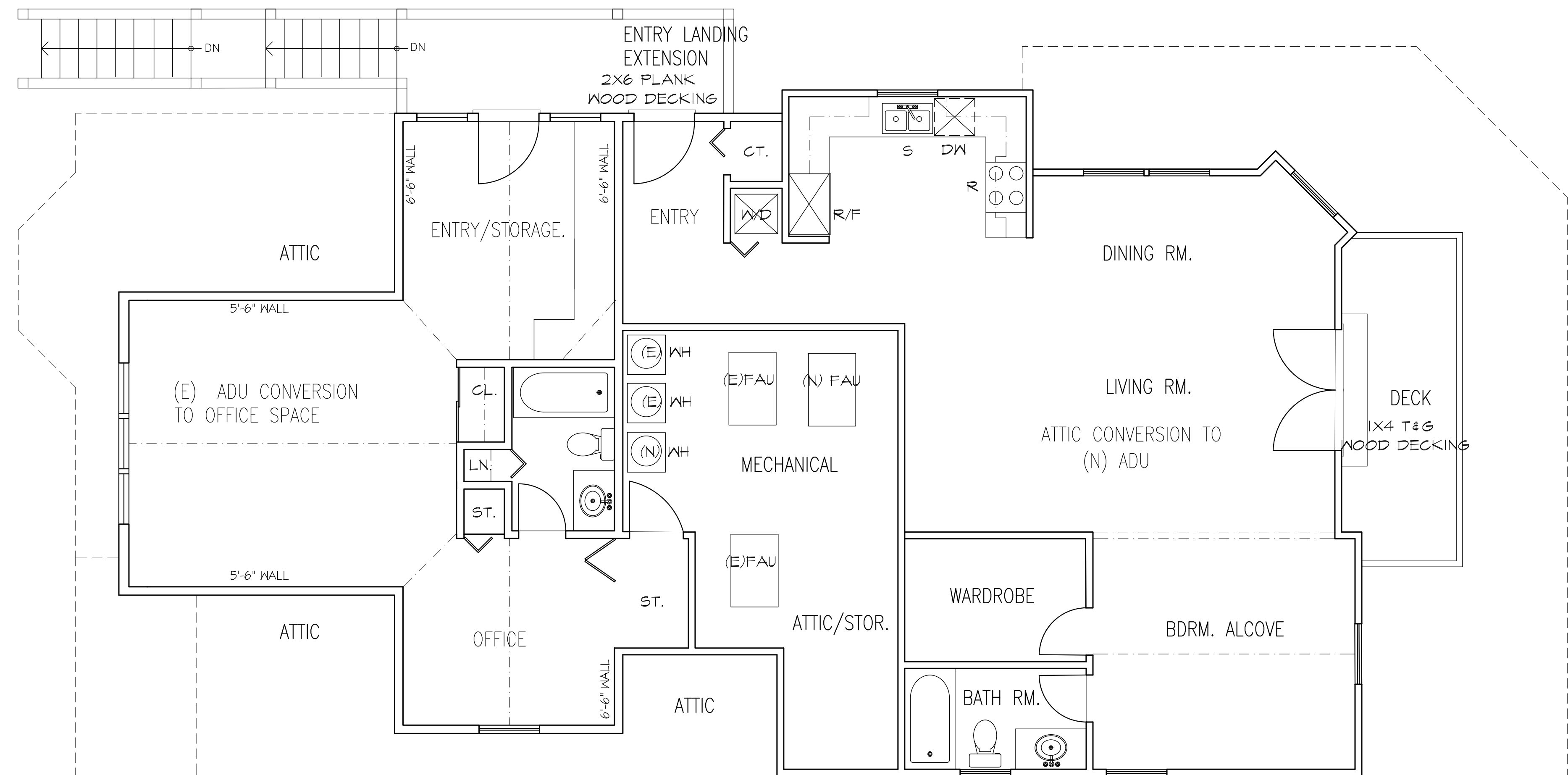


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SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

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JOB NO. 2010.07
DATE: 08/08/2010

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REMODELED UPPER FLOOR AND NEW (ADU) PLAN

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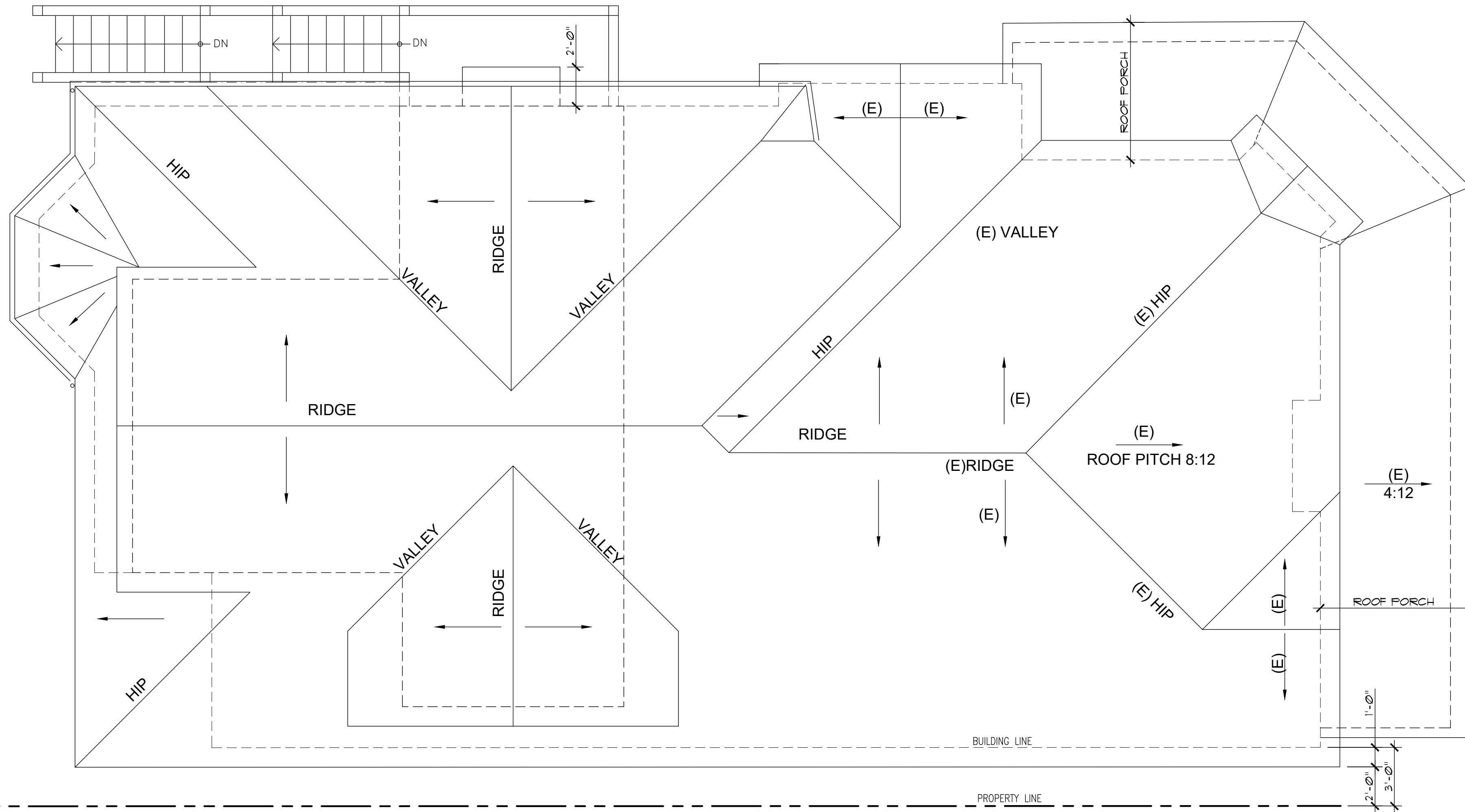


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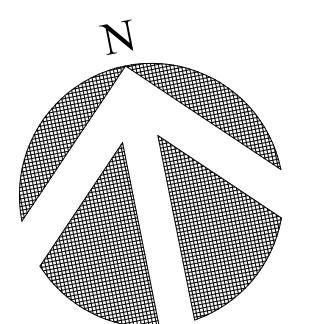
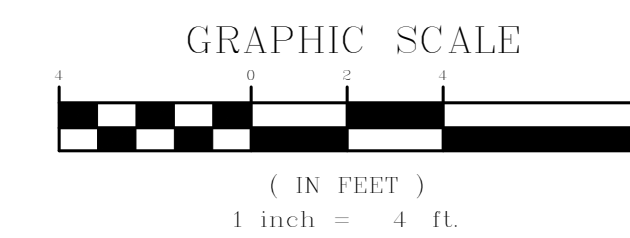
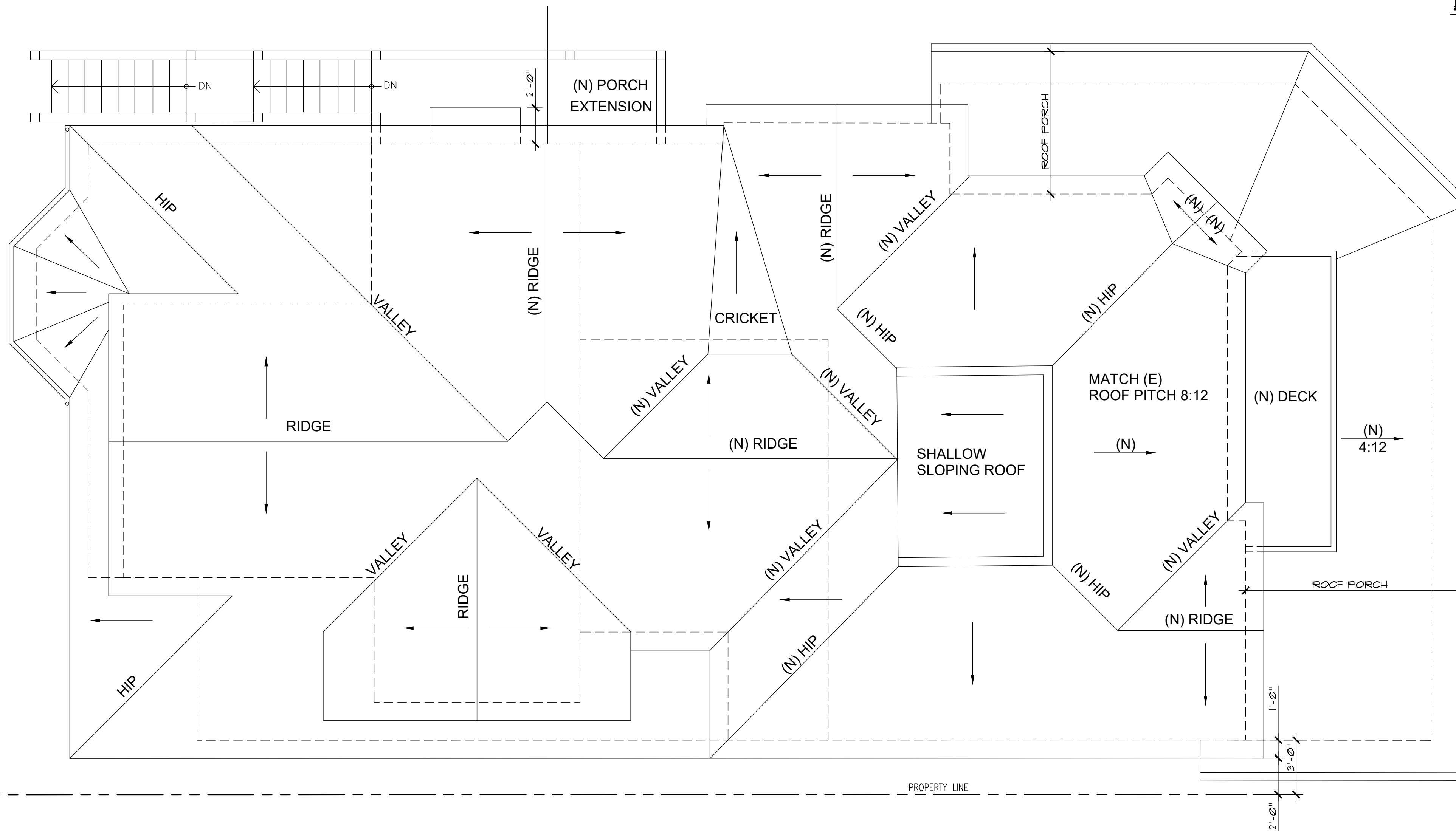
SIEGEL RESIDENCE REMODEL/ADDITION
 33 WALNUT AVE. LOS GATOS, CA

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 DATE: 08/08/2018

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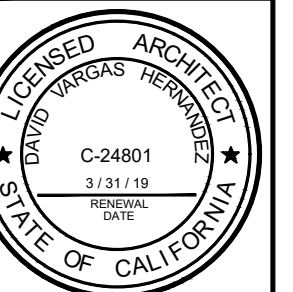


EXISTING ROOF PLAN



NEW ROOF PLAN

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HERITAGE ARCHITECTURE
DAVID V. HERNANDEZ, ARCHITECT
P.O. BOX 8033, San Jose, California 95155
C: (408) 772-3502 YN: (408) 298-0998
E-mail: dvhernandez@pacbell.net

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2018.07
DATE: 08/08/2018

A3.1

REVISIONS	BY
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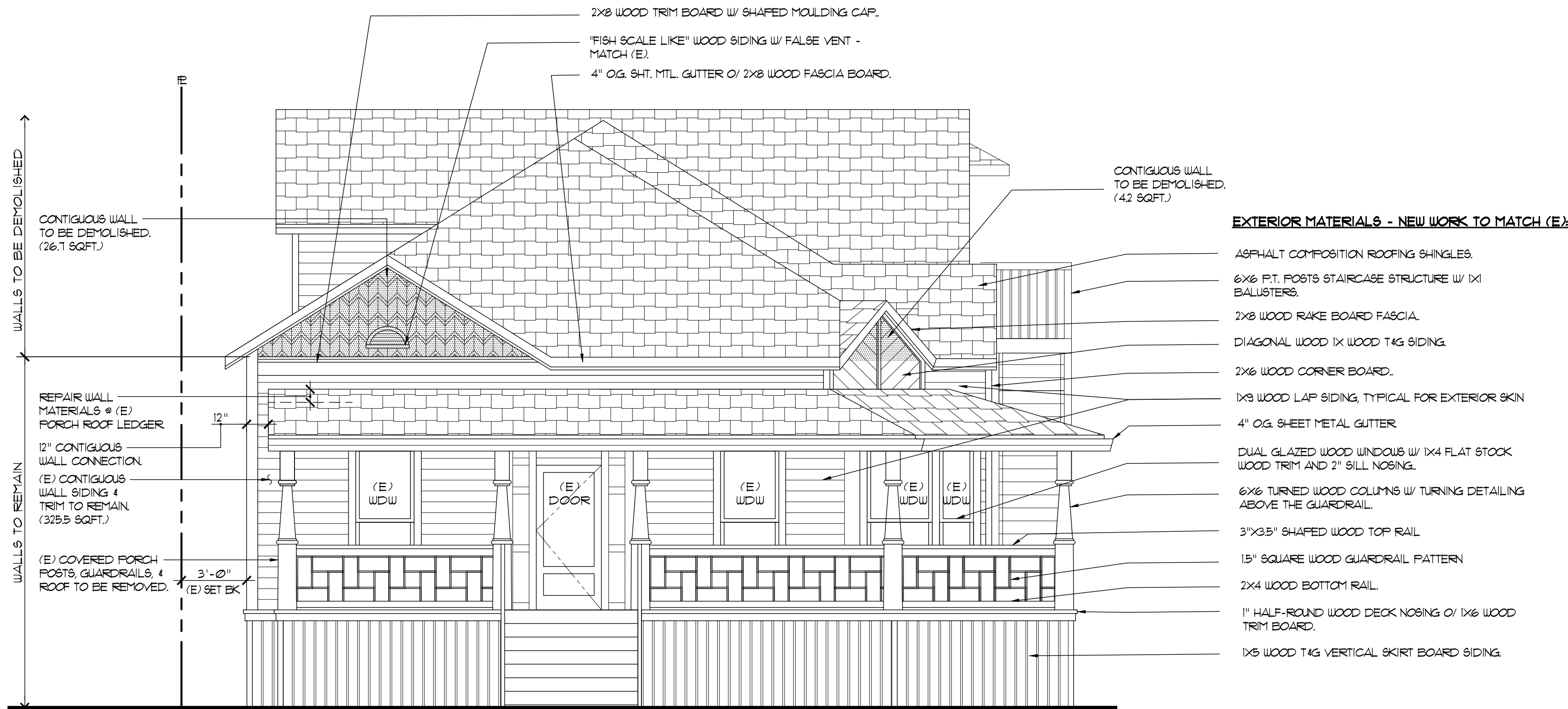
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DRAWN: DB/DVH
 SCALE: 1/4" = 1'-0"
 JOB NO. 2018.07
 DATE: 08/08/2018

A4.1

EXISTING WALL SURFACE AREA • FRONT ELEVATION

	CONTIGUOUS & TOTAL WALL SURFACES	WALL TO BE REMOVED	CONTIGUOUS & TOTAL WALL SURFACES TO REMAIN
FRONT	325.5 SQFT. (100%)	30.9 SQFT. (9.5%)	294.6 SQFT. (90.5%)



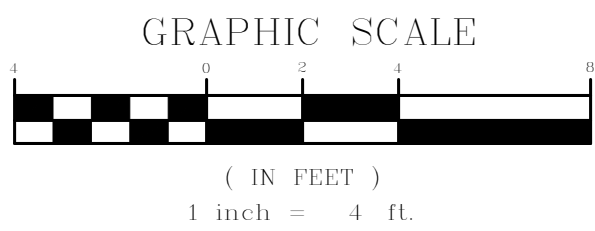
EXISTING EAST ELEVATION

1/4" = 1' -0"



EXISTING NORTH ELEVATION

1/4" = 1' -0"





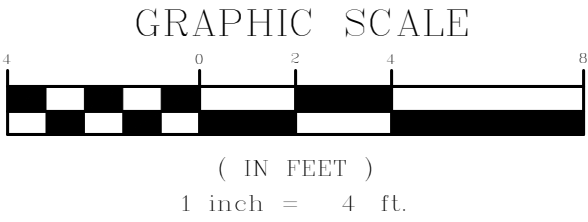
EXISTING WEST ELEVATION

1/4" = 1' - 0"



EXISTING SOUTH ELEVATION

1/4" = 1' - 0"



REVISIONS	BY
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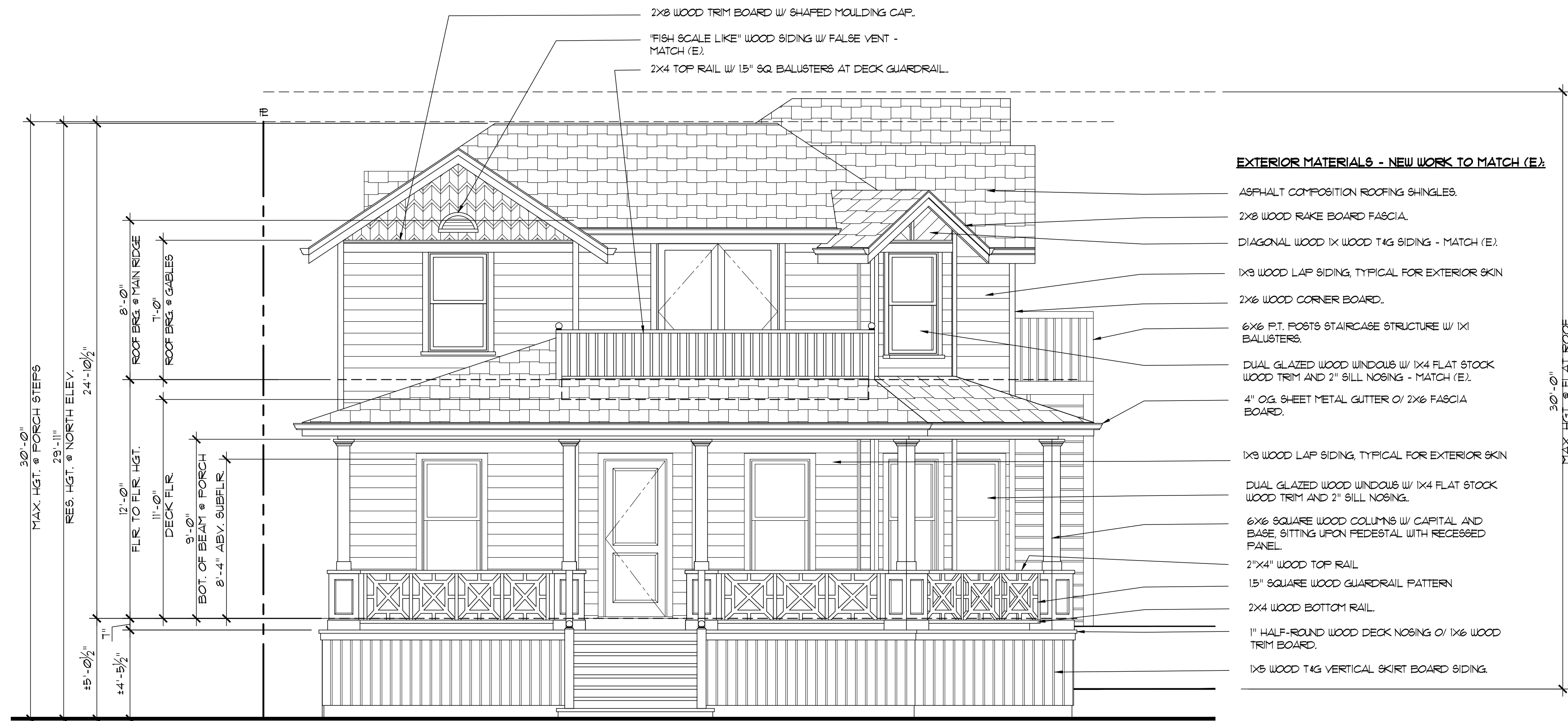


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SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1' - 0"
JOB NO. 2010.01
DATE: 08/08/2018

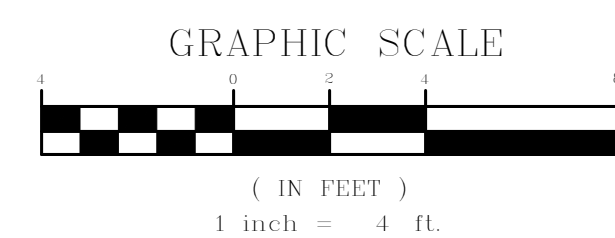
A4.2



NEW EAST ELEVATION
1/4" = 1' -0"



NEW NORTH ELEVATION
1/4" = 1' -0"



REVISIONS	BY
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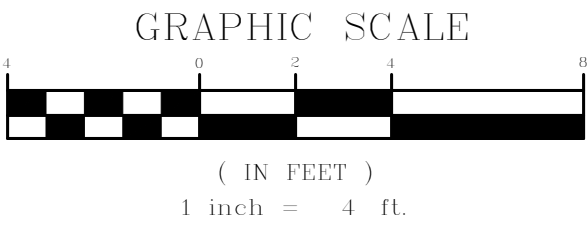
A4.1



NEW WEST ELEVATION
1/4" = 1' - 0"



NEW SOUTH ELEVATION
1/4" = 1' - 0"



REVISIONS	BY
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A4.2



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING
MAY 15, 2019
110 EAST MAIN STREET
LOS GATOS, CA
4:00 PM**

Matthew Hudes, Chair
Robert Cowan, Vice Chair
Tom O'Donnell, Planning Commissioner
Nancy Derham, Committee Member
Len Pacheco, Committee Member

MEETING CALLED TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS (Members of the public are welcome to address the *Committee* on any matter that is not listed on the agenda. To ensure all agenda items are heard and unless additional time is authorized by the Chair, this portion of the agenda is limited to 30 minutes and no more than three (3) minutes per speaker. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment.)

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Items appearing on the Consent Calendar are considered routine and may be approved by one motion. Unless there are separate discussion and/or actions requested by the Committee, staff, or a member of the public, it is requested that items under the Consent Calendar be acted on simultaneously. Any member of the Committee or public may request to have an item removed from the Consent Calendar for comment and action.)*

1. Approval of Minutes – April 24, 2019
2. 62 Ellenwood Avenue
Historic Resources Inventory Removal

Requesting continuance to June 26, 2019 for approval to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:12. APN 510-20-068.

PROPERTY OWNER: Lisa and Case Swenson

APPLICANT: Kurt Simrock

PROJECT PLANNER: Azhar Khan

Continued from April 24, 2019

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of ten minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of five minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting)*

3. 407 University Avenue
Historic Resources Inventory Removal

Requesting approval to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1P. APN 529-07-041.
PROPERTY OWNER/APPLICANT: Ravi Todi and Sudha Hisaria
PROJECT PLANNER: Sally Zarnowitz

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

4. 33 Walnut Avenue
Preliminary Review

Requesting preliminary review of a proposal for exterior alterations to a pre-1941 single-family residence on property zoned R-1:8. APN 510-41-007.
PROPERTY OWNER: Jeffrey Siegel
APPLICANT: David V. Hernandez
PROJECT PLANNER: Erin Walters

5. 268 Los Gatos Boulevard
Preliminary Review

Requesting preliminary review of a proposal for exterior alterations to a pre-1941 single-family residence on property zoned R-1:D. APN 532-36-022.
PROPERTY OWNER: Werner J Wiechmann
APPLICANT: Firoz Pradhan
PROJECT PLANNER: Azhar Khan

ADJOURNMENT

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]



TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING MAY 15, 2019

The Historic Preservation Committee of the Town of Los Gatos conducted a Special Meeting on May 15, 2019, at 4:00 p.m.

ROLL CALL

Present: Vice Chair Robert Cowan, Committee Member Nancy Derham, Committee Member Thomas O'Donnell

Absent: Leonard Pacheco, Matthew Hudes

MEETING CALLED TO ORDER AT 4:00 PM

VERBAL COMMUNICATIONS

Jefferey Siegel – Presented a copy of his letter to Town Council promoting adoption of the Mills Act.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – April 24, 2019
2. 62 Ellenwood Avenue -- Historic Resource Inventory Removal

MOTION: **Motion by Committee Member Thomas O'Donnell to approve the consent calendar. Seconded by Committee Member Nancy Derham.**

VOTE: **Motion passed unanimously. 3-0-2, Committee Member Leonard Pacheco and Chair Matthew Hudes absent.**

PUBLIC HEARINGS

3. 407 University Avenue
Historic Resources Inventory Removal

Requesting approval to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1P. APN 529-07-041.

PROPERTY OWNER/APPLICANT: Ravi Todi and Sudha Hisaria

PROJECT PLANNER: Sally Zarnowitz

Sally Zarnowitz, Planning Manager, presented the staff report.

Owner presented the reasons for his request.

Opened and closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Committee Member Thomas O'Donnell** to approve the request to remove from the Historic Resources Inventory. **Seconded by Committee Member Nancy Derham.**

VOTE: **Motion passed unanimously. 3-0-2, Committee Member Leonard Pacheco and Chair Matthew Hudes** absent.

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

4. 33 Walnut Avenue
Preliminary Review

Requesting preliminary review of a proposal for exterior alterations to a pre-1941 single-family residence on property zoned R-1:8. APN 510-41-007.

PROPERTY OWNER: Jeffrey Siegel

APPLICANT: David V. Hernandez

PROJECT PLANNER: Erin Walters

Erin Walters, Associate Planner, presented the staff report.

Applicant presented the proposed project.

Opened and closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Committee Member Nancy Derham** to recommend approval of the proposal. **Seconded by Vice Chair Robert Cowan.**

VOTE: **Motion passed unanimously. 3-0-2, Committee Member Leonard Pacheco and Chair Matthew Hudes** absent.

PAGE 3 OF 3
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF
MAY 15, 2019

5. 268 Los Gatos Boulevard
Preliminary Review

Requesting preliminary review of a proposal for exterior alterations to a pre-1941 single-family residence on property zoned R-1:D. APN 532-36-022.

PROPERTY OWNER: Werner J Wiechmann

APPLICANT: Firoz Pradhan

PROJECT PLANNER: Azhar Khan

Azhar Khan, Assistant Planner, presented the staff report.

Applicant presented the proposed project.

Opened and closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Committee Member Nancy Derham** to recommend for approval of the proposal. **Seconded by Committee Member Thomas O'Donnell.**

VOTE: **Motion passed unanimously. 3-0-2, Committee Member Leonard Pacheco and Chair Matthew Hudes** absent.

ADJOURNMENT

The meeting adjourned at 4:56 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the May 15, 2019 meeting as approved by the Historic Preservation Committee.

/s/ Jocelyn Fong, Administrative Assistant

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 05/15/2019

ITEM NO: 4

DATE: MAY 9, 2019

TO: HISTORIC PRESERVATION COMMITTEE

FROM: JOEL PAULSON, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: PROJECT LOCATION: 33 WALNUT AVENUE. PROPERTY OWNER: JEFFREY SIEGEL. APPLICANT: DAVID V. HERNANDEZ, HERITAGE ARCHITECTURE.
REQUESTING PRELIMINARY REVIEW ON PROPOSED EXTERIOR
ALTERATIONS TO A PRE-1941 PROPERTY ZONED R-1:8. APN 510-41-007.

RECOMMENDATION:

Review the proposal and provide comments on the proposed exterior alterations.

BACKGROUND:

A. Property Details

1. Date primary structure was built: 1890
2. Town of Los Gatos Preliminary Historic Status Code: I – Historic and Intact
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? No

B. Comments

Previous Review

On August 22, 2018 the Historic Preservation Committee reviewed and approved modifications to the front porch as described below:

PREPARED BY: ERIN WALTERS
Associate Planner

BACKGROUND (continued):

1. Raising the roof of the covered porch from six feet 10-inches to nine feet tall to accommodate the existing eight-foot, four-inch front windows and provide visibility from the house and light into the house.
2. Modify the existing six-inch by six-inch decorative wood columns and guard rail with a square wood column design and a code compliant guard rail with a modified decorative pattern.

Second Story- Accessory Dwelling Unit (ADU)

The development plans show a second story addition to the existing two-story house. The proposed second story addition is associated with an approved Accessory Dwelling Unit (ADU). New State regulations and the recent adoption of amendments to the Town's ADU Ordinance allow second story ADUs to be constructed on an existing two-story residence with a ministerial review through an ADU permit.

Current Proposal

The applicant proposes the following first story and second story exterior modifications to the structure:

1. First Floor
 - a. Replace the existing front door with a new beveled glass front door (east elevation);
 - b. Add a transom window above front door (east elevation);
 - c. Replace one double hung window with three taller double hung bedroom windows (south elevation);
 - d. Add a single double hung window to the master bathroom (south elevation);
 - e. Replace two double hung master bedroom windows with two taller double hung windows (south elevation);
 - f. Replace master bathroom and bedroom double hung windows with taller double hung windows (south elevation);
 - g. Add a transom window above the existing master bedroom french doors (west elevation); and
 - h. Add new French living room doors (north elevation).
2. Second Story Rear (non- ADU living area)
 - a. Add a second story covered patio (north elevation);
 - b. Add french doors to proposed covered patio (north elevation);
 - c. Add one double hung bathroom window (south elevation); and
 - d. Enlarge a portion of the south elevation to accommodate an expanded closet (south elevation).

BACKGROUND (continued):

The applicant has provided a scope of work and a letter of justification in Attachment 1.

The applicant's proposed scope of work includes a proposed new carport along Wissahickon Avenue (Attachment 1). The Historic Preservation Committee does not review accessory structures and staff has not yet reviewed the proposed carport to determine if the proposed location, height, or size meet the Town's Zoning Code.

Building permits are required for the proposed modifications. Per the applicant the proposed project does not result in a technical demolition. Committee comments are requested to ensure the compatibility of the proposed modifications with the original structure and the surrounding area.

The applicant's request, the Bloomfield Survey, existing photos, and the proposed development plans are attached.

DISCUSSION:

A. Considerations

For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

CONCLUSION:

The proposal is being referred to the Committee for its input and recommendation on whether the proposed alterations are compatible with the original structure and the surrounding neighborhood.

Should the HPC find merit in the request, the proposal could be approved by the Community Development Director and processed with a Building Permit, and the project would not return to the HPC.

Attachments:

1. Scope of Work/Letter of Justification
2. Bloomfield Survey
3. Photos of Existing Porch
4. Development Plans

PAGE 4 OF 4
SUBJECT: 33 WALNUT AVENUE
MAY 9, 2019

Distribution:

Cc: Jeffrey Siegel, 33 Walnut Avenue, Los Gatos, CA 95030
David V. Hernandez, Architect, Heritage Architecture, P.O. Box 8033, San Jose, CA 95155

RECEIVED

MAY 08 2014

TOWN OF LOS GATOS
PLANNING DIVISION

Addendum to the Renovation of 33 Walnut Avenue

(starting on page 6)

(Original) Proposed Porch Design Improvements in Context of Historic Preservation for Queen Anne Style Residence at 33 Walnut Avenue

References:

- 1) A field guide to American Houses, Published 2014 by Virginia Savage McAlester**
- 2) The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, 2017 Revised by Anne Grimmer**
- 3) Los Gatos Guidelines for Historic Preservation**
- 4) Consultation with Anne Grimmer, Architectural Historian for the Technical Preservation Services Department of the United States Park Service**

33 Walnut Avenue, built in 1890, is an example of a Queen Anne style residence with minor spindlework detailing. With a hipped roof and lower cross gables, together with a wrap around porch, the house displays multiple elements of an 1890 era Queen Anne. The house is not located in a historic district though is considered by the town of Los Gatos to be historical on account of the year that it was built.

History of the House:

While built in 1890, multiple alterations have been made to the house over the intervening years including:

- 1) Roofing material – wood shingles replaced with composite material
- 2) Addition of second story ADU toward the rear of the house in 1986
- 3) Construction of a new two car garage in 2008 replacing a historic structure that could not be adapted for today's modern lifestyle
- 4) First floor alterations including addition of 250 square feet by pushing out the rear exterior walls of the house altering both size and shape
- 5) Full interior redesign and reconstruction in 2008 including removing interior walls, changing bedroom locations and sizes, adding windows and doors, creating a great room, adding a bathroom, and changing the interior flow of the house, along with all new plumbing, electrical, and HVAC
- 6) Multiple landscape changes over time including adding a stone retaining wall and patio in the rear, with steps and gate out to the newly constructed garage

Curing the Porch Design Defects:

While many improvements have already been made over time, the one remaining and much needed alteration is the improvement of the front porch to address specific design defects that has caused safety, lighting, and sustainability issues. To be clear, this does NOT mean changing the character defining features of the porch, which include wrapping around the front and front-side of the house and the use of stylized vertical supports and detailed railing design.

The *design defects*, which include shallow depth, pitched flooring, low profile roofline that obscures light and interior visibility, missing roof overhang, and absence of a south facing weather barrier, altogether negatively impact the sustainability, safety, and functional use of the front section of the house. Weather exposure to the front of the house, and a dark front interior are problems that are worth solving while respecting the historical integrity of the Queen Anne style. In addition, the front steps have proven to be a safety hazard as multiple guests have now slipped and fallen when walking down the steps. This stems from the exposure of the steps to the elements, combined with their shallow foot depth and steep pitch. It is desired to extend the porch roofline to cover and protect the steps from the elements to create a safe environment. This is in keeping with the Queen Anne style of architecture as evidenced in photos in the book *A Field Guide to American Houses* page 361, image 11.

The desired porch improvements to address these existing problems include:

- 1) Deepening the porch from its current six feet to 11 feet, which is in keeping with the legal setbacks. Given the gaps in the weave style and low height of the existing railing, this will significantly improve the safety of using the porch, while allowing far more light to enter the tall front windows, and provide much needed protection from the strong west blowing winds and rains that assault the front (and side) of the house given its east (and south) facing exposure.
- 2) Slight change to the front porch railing to a tighter weave design that is in step with current safety standards and stronger vertical supports.
- 3) Adding a transparent protective shield to the left side of the porch protecting the south exposure from wind-blasted rains during the winter months (as many other historic homes in Los Gatos currently have)
- 4) Raising the lip height of the porch roofing, together with adding a porch roof overhang, as required for both lighting improvement and for protecting the front porch flooring and front siding of the house from the seasonal rains which continues to cause damage.
- 5) Changing the pitch of the porch flooring to create a level surface. Its current pitch creates a unbalanced floor surface which is somewhat precarious to stand and walk on, particularly for the elderly or anyone that's tall.
- 6) Extending the porch roof over the front stairs as a key safety feature. The front stairs are continually rained upon by environmental elements including water, bird droppings, and tree leaves. Altogether this has created a dangerous and slippery surface. Numerous guests have now slipped and at times fallen from these stairs and it's highly desired to create an environment for safe use of the house while reducing legal liability.

A key question to answer:

The key question that arises when considering these proposed changes – is whether they constitute a *character-defining feature* change, or whether the character-defining features of the house can be preserved while making the required adaptation. To answer that question, we have turned to multiple sources, including those published, as well as consulted directly with the author of the *Department of the Interiors Standards for the Treatment of Historic Properties* – Anne Grimmer. Anne's guidance in considering and answering this question has directly informed the proposal being submitted to the Los Gatos Historic Committee.

Rehabilitation defined:

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions, while preserving those portions or features which convey its historical, cultural, or architectural values. Maintaining the Queen Anne style of the porch while incorporating the adaptation needed to address the design defects is the intention of this proposed project.

Guidance from Anne Grimmer:

It has been determined, after consulting in person with the architectural historian and author of the *Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* that the proposed changes to 33 Walnut will not create a 'character-defining change'. In fact, these guidelines state under Alterations – *some exterior and interior alterations to a historic building are generally needed as part of a Rehabilitation project to ensure it's continued use. But it is most important that such alterations do not RADICALLY change, obscure, or destroy character-defining spaces, materials, features, or finishes.*

Anne noted that the porch related issues stem directly from what she calls a 'design defect', which can be *intelligently addressed* while preserving the character-defining features of the Queen Anne style. She gives the example of the firehouse that is down the street from her office in Washington DC, and is also cited as an example in the guidelines. The opening of the building, based on its original design, could not accommodate today's modern fire trucks, and so the opening was enlarged as an adaptation to today's needs, while preserving the building's style.

According to Anne, "the tall front windows of your house (at 33 Walnut) are indeed a character defining feature, as is the style of the wrap around porch. But it's not unprecedented to see porch rooflines that hang so low as to block light and visibility. These should be considered a design defect, not a character-defining feature of the house. Raising the roofline to cure this defect would be considered a reasonable adaptation in the same way that enlarging the opening of the fire station down the street (from her office in Washington DC), to accommodate today's larger fire trucks, improved the functionality while still retaining the historic nature of the building itself." For this example, Anne referenced page 150 in *Standards for Preservation & Guidelines for Preserving Historic Buildings*.

Anne views the front porch of 33 Walnut as similar to the firehouse example. She notes that making the improvements by addressing the design defects benefits the house and its livability, while preserving its true character-defining features (wrap around porch, tall front windows, detailed railing) of the Queen Anne architectural style. In other words, she sees the proposed improvements (roof height, porch depth, roof overhang, wind barrier) as an *intelligent adaptation* that would be barely discernible from the street, and not a radical change.

We look forward to hearing the historic committee's assessment of these proposed changes, as a means of intelligently addressing the design defects that have caused problems in safety, livability, and maintenance of 33 Walnut Avenue. With these proposed changes, we believe that the house value is improved while preserving its historical integrity and character.

Respectfully...Jeffrey Siegel, homeowner of 33 Walnut Avenue

Addendum to Historic Preservation project for 33 Walnut Avenue: – Rehabilitation of historic home to accommodate dark interior spaces (exacerbated by high fencing) and today's modern world (EV) requirements

In this second phase of renovation design, we are looking to make improvements to the livability aspects of the house, while maintaining its historical character with the following renovation work proposed:

1. **Front Door** – we are looking to replace the existing front door with a similar door but replacing the plain glass with a beveled glass look or other minor style change to maintain the natural lighting and increase privacy, plus adding a small transom window above the door for bringing in added natural light.
2. **First floor Natural Light** - To address the dark interior spaces and embrace the views of the surrounding mountains - particularly in the south facing bedrooms and bathrooms - we are looking to:
 - a) replace one 'atypical' single short window with three taller windows to the (Southeast Corner) front bedroom's south side of the house view (facing a high fence) that also makes this particular room's windows height consistent with other windows in the house
 - b) add a second window to the master bathroom (rear south corner of the house facing a high fence)
 - c) increasing the tallness of the master bathroom and bedroom windows all for the purpose of better natural lighting that is largely blocked by a high fence.
 - d) adding a transom window above the existing rear-facing master bedroom French doors.
 - e) Adding French doors to the north side of the house as walk out to the side of the wrap around porch.

While **these enhancements will NOT be visible from the front street** (Walnut Avenue) they will greatly enhance the livability of the home.

3. **Second floor Bedroom Natural Light** - To address the dark interior of the upstairs rear bedroom, we are looking to add glass French doors with a covered walk-out deck by the rear corner of the house that faces to the North. The covered deck would be supported by four wooden slats that provide structural stability and spread out the roof load.

This rear corner upstairs bedroom change is also not visible from the front of the house. The newly built upper siding (above the French doors) will use matching materials/design to the home's existing decorative upper siding design to maintain historical character throughout. The neighbor whose backyard this deck faces (25 Walnut Avenue) would not be affected as the existing exterior stairs and landing currently overlooks their two buildings rental property from this vantage point. Plus, there is no loss of privacy as it's in the farthest rear corner of their lot with trees in-between. One small window would also be added to the upstairs bedroom facing to the South (which has the mountain views) that joins an existing window nearby. This window would be facing the north brick wall of the neighbor's house which has a single, small window and an unused side yard containing an abandoned, empty swimming pool.

4. **Second floor bedroom closet** – To address the minimal amount of closet space in the existing rear upper bedroom, we are looking to push out a small wall area that is currently inset from the adjoining exterior walls. This slight push out would leave the wall still inset but to a lesser degree.
5. **EV Vehicles** - To address the emerging adoption of EV vehicles, which is going mainstream over the next several years, we are looking to add a tastefully designed carport (with three open sides) as an extension of the existing garage. This would allow for chargeable covered parking off-street for a third car.

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Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 33 Walnut

PARCEL MAP INFORMATION

Parcel # 510-41-007 Lot size: 50 front ft. x 160 ft. deep

Lot shape: Rectangle ☒ L ☐ Rectangle with small rear jog ☐ Other ☐

Location: N ☐ S ☐ E ☐ W ☒ side of W St ☐ Ave ☒ Other ☐

distance to cross st: 162 ft. N ☐ S ☒ E ☐ W ☐ from Hernandez

at NE ☐ NW ☐ SE ☐ SW ☐ corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # 3 Old lot # 8

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1890s Style Queen Anne # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

PHOTOS: Roll/frame # 032/11 Date 15-2-90

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey 1900 CAR 1890 AEG

Gebhard: page # illustration page #

33 Walnut EVALUATION Date c. 1894 (San)

Glen Ridge District Non-contrib

Known Resident (Peed, 1930)



ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Addresses associated with Name 33 Walnut

Relevant dates: construction_____. birth_____. death_____. other_____

Year:Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
62-117	44-117	

BIOGRAPHICAL SEARCH, indexes & other alphabetical listings.
Mark 'X' (ind) on 1st listing.

Mark 'X' (info or 'F' (nothing found) at each source you try. List findings below.

- City directories (name & street index)
- Historic Collection Index (green boxes)
- Thompson & West, 1876 (bio index)
- Pen Pictures, 1888 (bio index)
- Sunshine Fruit & Flowers, 1895 (bio index)
- Guinn, 1904 (bio index)
- Sawyer, 1922 (bio index)
- Bruntz, Hist'y of LG, 1971 (bio index)
- Extended index to Bruntz
- Bio index of Munroe Frazer, 1881 (Survey)
- Photo collection (2 boxes)

Biographical file
Photo collection

- Death records by year
- Funeral records (index cards to big books)
- Photo collection

- Great Registers (of voters)
- Indexes
- Photo collection

_____ Indexes, California Historical Quarterly
 _____ State Library Information Index (fiche)
 _____ State Library-S.F. Newspaper Index ("")

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

32 Walnut
EVALUATION
Date C. 1894 (Sten)
Contributor X
Earliest known District Non-contrib
Owner Resident Hansen 1930
Context:

Anne P. Imfield
ARCHITECTURAL SURVEY
BUILDING RESEARCH

Cost

Initials	Date
----------	------

Extol Materials

<u>initials</u>	<u>date</u>
-----------------	-------------

Initials Date

Describe or sketch
plan

1893	12	Thurs	22-21 W
1904	5	"	"
1928	13	"	33 W (exn)

and the

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2

1

~~CONFIDENTIAL~~

side, ?
front

Wrap
d sea

10

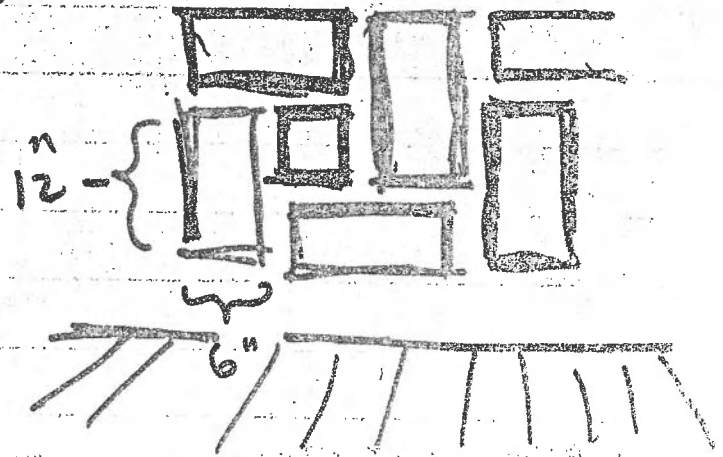
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BELL RINGER - SEPT 15, 1984

1891 - Post-Victorian

- ① 33 WALNUT AVE. - EUNICE MONTGOMERY RUTHERFORD (WRITER)
PURCHASED HOUSE IN 1948 FROM "GLAD" DON/JOAN
WORK ON FRONT PORCH LAST YEAR
PULWOOD PANELS ADDED ON WALLS IN INTERIOR
GLOSSED IN BACK PORCH + FLOOR 1961
KIT CEIL LOWERED
ROOM NEXT TO KIT ADDED
LOT 50 X 130

PORCH DETAIL



Street: Walnut - Los Gatos House Number: 53
 Construction Date: _____ Estimated 1891 Source W.C. Montgomery
 Style: _____
 Present Owners: ^{M. & M.} Rutherford Montgomery (Eunice)
 Phone: _____ Willing to work with survey committee? _____
 Rental? No ☒ Yes _____ Tenants name: _____ Phone: _____
 Absentee-owners mailing address: _____
 Best time to contact owner: _____ Tenant: _____

History (include dates, events, and persons associated with site when known)

Late 1880s (maybe 1891)
Carpenter Gothic style

Montgomerys moved here in 1946

Architectural History (identify information source and year of change)

Original:

Donald M. Jones had owned home before Montgomerys

Added:

Hallway from front door eliminated to extend into family room where fireplace has been added
Back porch and upper rooms to back of house

Remodeled:

Paneling in 3 different rooms
front porch steps
Floor of back porch - glassed it walls with
lowered ceiling in kitchen
tilled ceilings in several rooms

THE AUTHOR

RUTHERFORD MONTGOMERY would rather write than do anything else in the world. Most of his fifty-three books are about animals and the wilderness he knows so well. As a boy, Mr. Montgomery would listen to the tales told by hunters, and his favorite sport then and now is going into the woodland and sitting quietly on a log, observing the children of the wild. He is a watcher, not a hunter.

Mr. Montgomery was born in North Dakota, and taught school for ten years in Wyoming and Colorado after graduating from Colorado Agricultural College. He saw service in the United States Flying Corps in World War I. Later, he was a county judge in Colorado and held state offices there. He now lives in Los Gatos, California.

★ ★ ★

Other Books by Rutherford Montgomery

Troopers Three	Call of the West
Broken Fang	Carcajou*
Gray Wolf*	Husky*
White Mountaineer	Kildes House
McGonigle's Lake	Wapiti
Midnight*	Big Brawnie
Iceblink	Ghost Town Adventure*

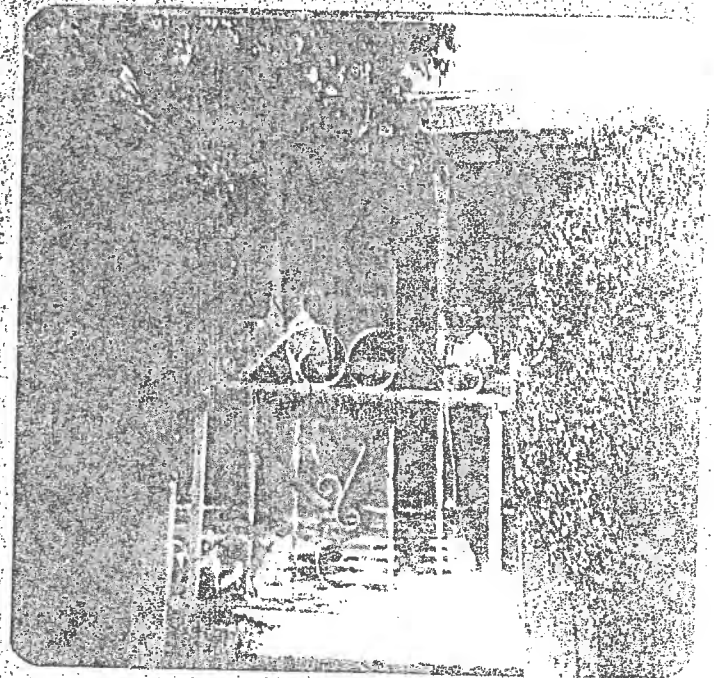
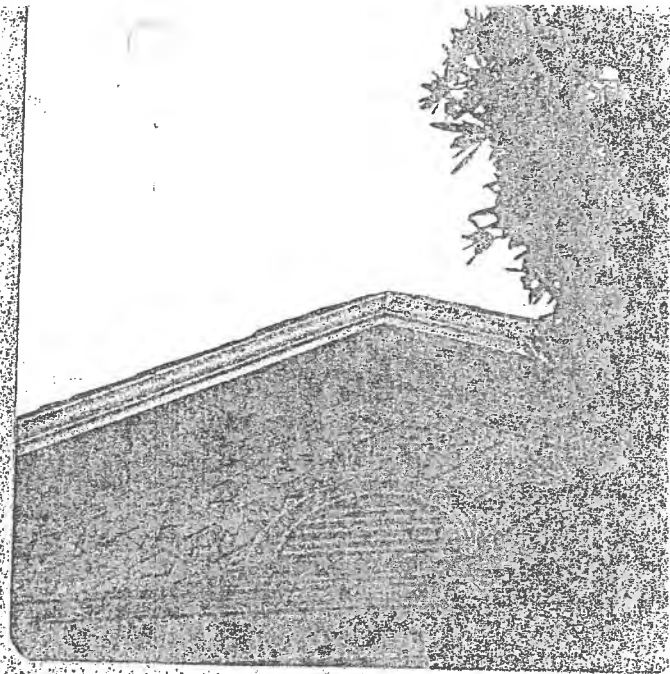
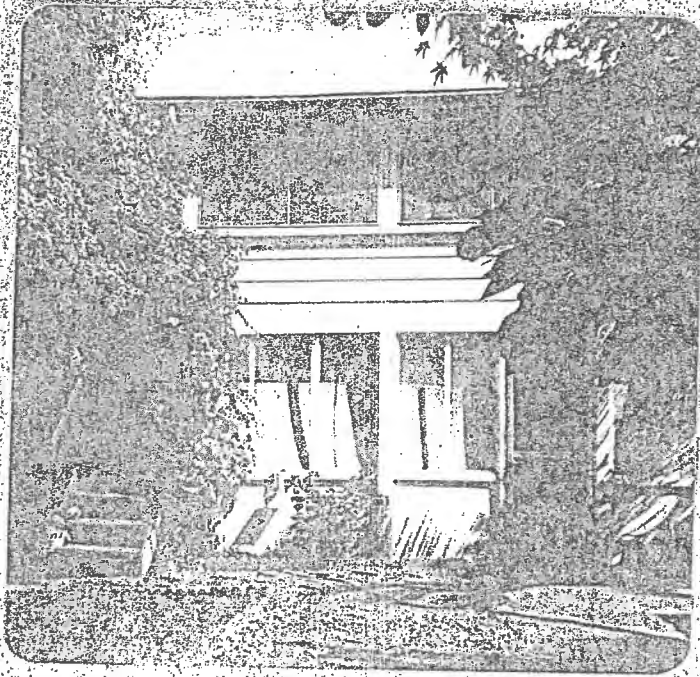
*Available from Scholastic Book Services

YELLOW EYES

By RUTHERFORD MONTGOMERY

Illustrated by Farrell Collett

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**TOWN OF LOS GATOS
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Map of Walnut Avenue in San Jose, California. The map shows the intersection of Walnut Avenue with Highway 101. Key streets labeled include Scott Dr, Highway 101, Rodeo City Ave, Via Bonita, Ruggieri Ave, Oakley Ave, San Jose Ave, Hernandez Ave, Overlook Rd, Point Ave, Pearl Ave, Fairview Ave, Main St, and Highway 101. A red pin marks the location of 33 Walnut Ave, Los Gatos, CA 95030. The map also shows the San Jose skyline in the background and a scale bar at the bottom right.

<u>PROJECT ADDRESS:</u>		63 WALNUT AVE. LOS GATOS, CA 95030 510-41-0071
<u>APN:</u>		R-18 LOW DENSITY RESIDENTIAL
<u>ZONING DISTRICT:</u>		STATE MANDATED LRA (VHF4)
<u>NU ZONE:</u>		8,000 SQFT. (0.18 ACRES)
<u>LOT AREA:</u>		40% (8,000) = 3,200 SQFT.
<u>MAXIMUM BUILDING COVERAGE:</u>		35 - (8.0-5.175)(1) = 0.376
<u>MAXIMUM FLOOR AREA RATIO (FAR):</u>		0.376 x 8,000 = 3,009 SQFT.
<u>MAXIMUM FLOOR AREA RATIO W/ ADU (FAR):</u>		45 - (8.0-5.175)(2) = 0.426
		0.426 x 8,000 = 3,408 SQFT.
<u>MAXIMUM DETACHED GARAGE FAR:</u>		0.0916 x 8,000 = 733 SQFT.
<u>REQ. PARKING SPACES:</u>		2
<u>(U) PARKING SPACES:</u>		2 (COVERED) 4 (UNCOVERED)
<u>(N) PARKING SPACES:</u>		2 (COVERED) 4 (UNCOVERED)
<u>MAX. HGT. LIMIT:</u>		30'-0"
<u>(U) BUILDING HGT.:</u>		25'-3"
<u>(N) BUILDING HGT.:</u>		25'-6 1/2"
<u>SETBACKS (FIRST STORY):</u>		
- FRONT (WALNUT AVE.)		25'-0"
- FRONT (WISSAHICKON AVE.)		25'-0"
- SIDES:		8'-0"
<u>(U) RESIDENCE FLOOR AREA:</u>		
- GROUND FLOOR		1,957.18 SQ. FT.
- UPPER FLOOR REAR YARD (ADU)		975.81 SQ. FT.
<u>- TOTAL (U) RESIDENCE AREA:</u>		2,933.05 SQ. FT. (31.66%)
<u>(N) RESIDENCE BUILDING COVERAGE:</u>		
- RESIDENCE FOOTPRINT:		1,957.18 SQ. FT.
- COVERED ENTRY PORCH:		306.08 SQ. FT.
- COVERED REAR PORCH:		52.36 SQ. FT.
- SIDE-YARD ADU STAIRS:		132.29 SQ. FT.
- FRONT ENTRY PORCH STAIRS:		43.71 SQ. FT.
- (U) DETACHED GARAGE (18'-8" x 21'-9")		421.75 SQ. FT.
<u>- TOTAL (U) BUILDING COVERAGE:</u>		2,933.05 SQ. FT. (36.43%)
<u>(N) RESIDENCE FLOOR AREA:</u>		
- GROUND FLOOR:		1,957.18 SQ. FT.
- UPPER FLOOR (ADU CONVERSION TO OFFICE)		975.81 SQ. FT.
- UPPER FLOOR (GROW STORAGE CLOSET)		470.66 SQ. FT.
- UPPER FLOOR ADDITION (NEW ADU)		786.51 SQ. FT.
<u>- TOTAL (N) RESIDENCE AREA:</u>		3,971.61 SQ. FT. (42.15%)
<u>- NEW ADU FLOOR AREA:</u>		786.51 SQ. FT.
<u>(N) RESIDENCE BUILDING COVERAGE:</u>		
- RESIDENCE FOOTPRINT:		1,957.18 SQ. FT.
- (N) COVERED ENTRY PORCH:		487.01 SQ. FT.
- COVERED REAR PORCH:		52.36 SQ. FT.
- SIDE-YARD ADU STAIRS:		156.40 SQ. FT.
- (N) FRONT ENTRY PORCH STAIRS:		59.10 SQ. FT.
- (U) DETACHED GARAGE 18'-8" x 21'-9"		421.75 SQ. FT.
<u>- TOTAL (N) BUILDING COVERAGE:</u>		3,393.80 SQ. FT. (39.2%)

OCCUPANCY:	R-3; SINGLE FAMILY RESIDENCE U; DETACHED GARAGE.
CONSTRUCTION TYPE:	V-B
BUILDING CODES:	ALL APPLICABLE ADOPTED ORDINANCES FOR THE TOWN OF LOS GATOS, COUNTY OF SANTA CLARA, AND THE STATE OF CALIFORNIA BUILDING STANDARDS CODE (TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS); 2016 CALIFORNIA BUILDING CODE (T-24 PART 2) 2016 CALIFORNIA RESIDENTIAL BUILDING CODE (T-24 PART 2B) 2016 CALIFORNIA ELECTRICAL CODE (T-24 PART 3) 2016 CALIFORNIA MECHANICAL CODE (T-24 PART 4) 2016 CALIFORNIA PLUMBING CODE (T-24 PART 5) 2016 CALIFORNIA FIRE ALARMS CODE (T-24 PART 6) 2016 CALIFORNIA FIRE CODE (T-24 PART 9) 2016 CALIFORNIA GREEN BUILDING CODE (T-24 PART 11)

EXAMINATION OF SITE

THE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS AND THE STRUCTURES TO DETERMINE THE EXISTING CONDITIONS.

NO EXTRA COMPENSATION WILL BE ALLOWED FOR THE CONTRACTOR'S FAILURE TO DISCOVER CONDITIONS THAT EFFECT THE WORK.

LIMITATION OF THE WORK

THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITHIN THESE LIMITS.

DEMOLITION WORK

DEMOLISH AND REMOVE ALL ITEMS SHOWN ON THE SITE PLAN SURVEY & DEMOLITION PLAN. THE OWNER SHALL NOTIFY THE CONTRACTOR OF ALL ITEMS TO BE SALVAGED PRIOR TO COMMENCING THE DEMOLITION.

MEASUREMENTS

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS IN THE FIELD PRIOR TO COMMENCING THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES AT (408) 712-3500. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUDS UNLESS OTHERWISE NOTED. DO NOT SCALE THE DRAWINGS -- ALL DIMENSIONS SHALL TAKE PRECEDENCE. CALL THE ARCHITECT WITH QUESTIONS.

RULES AND REGULATIONS

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND SHALL BE PER INDUSTRY STANDARDS. SEE BUILDING CODE DATA ON THIS SHEET FOR FURTHER INFORMATION.

OWNERSHIP OF DRAWINGS

THESE DRAWINGS ARE THE PROPERTY OF HERITAGE ARCHITECTURE
--DAVID V HERNANDEZ, ARCHITECT, THE DRAWINGS SHALL NOT BE USED
FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT
ADDITIONAL INFORMATION

SEE SITE PLAN FLOOR PLAN

LANDSCAPE, ENERGY COMPLIANCE, ETC., FOR ADDITIONAL INFORMATION AND NOTES. SEE GENERAL NOTES AND INSTRUCTIONS ON SHEETS FOR FURTHER INFORMATION.

DEFERRAL OF SUBMITTAL ITEMS

THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. (CBC 106.3.4.2).

FRONT YARD LANDSCAPING

PRIOR TO THE FINAL INSPECTION, ALL LANDSCAPING IN THE FRONT YARD SHALL BE MAINTAINED OR NEW LANDSCAPING INSTALLED, SHALL BE INSTALLED AS REQUIRED BY THE PLANNING DIVISION.

1. REBUILD AND ENLARGE (E) ENTRY PORCH. SALVAGE COLUMNS AND MODIFY GUARDRAIL PATTERN.
2. REMODEL AND CONVERT (E) ADD AT REAR OF 2ND FLOOR TO NEW OFFICE SPACE AS PART OF THE MAIN RESIDENCE FLOOR AREA AND GROW THE STORAGE CLOSET PER PLAN.
3. ADD A COVERED PORCH (E) REAR ADD TO OFFICE CONVERSION.
4. CONVERT A PORTION OF THE (E) ATTIC AT THE FRONT OF THE RESIDENCE TO A NEW UPPER FLOOR ACCESSORY DWELLING UNIT (ADU).
5. ADD A ROOF COVER TO THE ENTRY DECK OF THE (E) ADD CONVERSION TO OFFICE AND THE NEW ADU.
6. CONSIDER PERMANENT ATTIC SPACE TO A MECHANICAL STORAGE AREA SUCH THAT THE FLOOR AREA WILL NOT COUNT TOWARD THE F.A.R.

φ	DIAMETER	(G4)	OVERHEAD
A.F.F.	ABOVE FINISH FLOOR	O.H.	OVERHANG
BRG. FL.	BEARING PLATE	P 1 &	POLE AND SHELF
	CENTERLINE	R	RADIUS
C.O.	CLEAN-OUT	R/F	REFRIGERATOR/FREEZER
CKTP.	COOKTOP	S	SINK
°	DEGREE	S.B.	SETBACK
D	DRYER	SD	STORM DRAIN
D.H.	DOUBLE HEADER	S.D.	SEE STRUCTURAL DUGS,
D.O.	DOUBLE OVEN	ST	STOVE
DN	DOWN	□	SQUARE FEET
D6	DOWNSPOUT	T.B.D.	TO BE DETERMINED
DW	DISHWASHER	T.O. FL.	TOP OF FLATE
(E)	EXISTING	T.O. SLAB	TOP OF SLAB
F	FURNACE	T.O. SUBLIN	TOP OF SUBLOR
F.F.S.	FACE OF STUD	T.O. WALL	TOP OF WALL
G51	GALVANIZED SHEET MTL.	TPH	TRIP PAPER HOLDER
J.T.	JOINT TRENCH	V.I.F.	VEREY IN FIELD
M.C.	MACHINE CABINET	W	WASHER
(N)	NEW	WH	WINDOW HEAD
N.T.S.	NOT TO SCALE	WH	WATER HEATER

OWNER: JEFFREY SIEGEL
33 WALNUT AVENUE
LOS GATOS, CA, 95030

ARCHITECT: HERITAGE ARCHITECTURE
DAVID V. HERNANDEZ ARCHITECT
P.O. BOX 80333
SAN JOSE, CA 95155
C: (408) 712-3502
V: (408) 738-0238
EMAIL: DVHERNANDEZ@PACBELL.NET

STRUCTURAL ENGINEER: ROCK 3 ENGINEERING
1200 AVES AVENUE, SUITE 105
MILPITAS, CA 95033
E: (408) 871-1335
T: 408AS@TMAIL.COM

TITLE 24 FRI ENERGY CONSULTING, LLC
21 HARRISON AVE, STE. 210
CAMPSBELL, CA, 95008
T: (408) 866-1620

GENERAL CONTRACTOR: T.B.D.

<u>ARCHITECTURAL</u>	
A1	TITLE SHEET / GENERAL NOTES / PLANNING/BUILDING DATA /
A2	EXISTING SITE PLAN
A2.1	PROPOSED SITE PLAN
A2.1	EXISTING GROUND FLOOR 4 UPPER FLOOR ADU FLOOR PLANS
A2.2	PROPOSED GROUND FLOOR PLAN
A2.3	PROPOSED UPPER FLOOR ADU PLAN
A2.4	EXISTING 4 PROPOSED FLOOR AREA DIAGRAMS.
A3.1	EXISTING 4 PROPOSED ROOF PLANS
A4.1	EXISTING EXTERIOR ELEVATIONS
A4.2	EXISTING EXTERIOR ELEVATIONS
A4.3	EXISTING EXTERIOR ELEVATION WALL DEMOLITION TABULATIONS
A4.4	PROPOSED EXTERIOR ELEVATIONS
A4.5	PROPOSED EXTERIOR ELEVATIONS
A5.1	EXISTING BUILDING SECTIONS
A5.2	PROPOSED BUILDING SECTIONS



FRONT ELEVATION

THE SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVENUE
LOS GATOS, CALIFORNIA

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E-mail: dvhernandez@uacbell.net

STIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

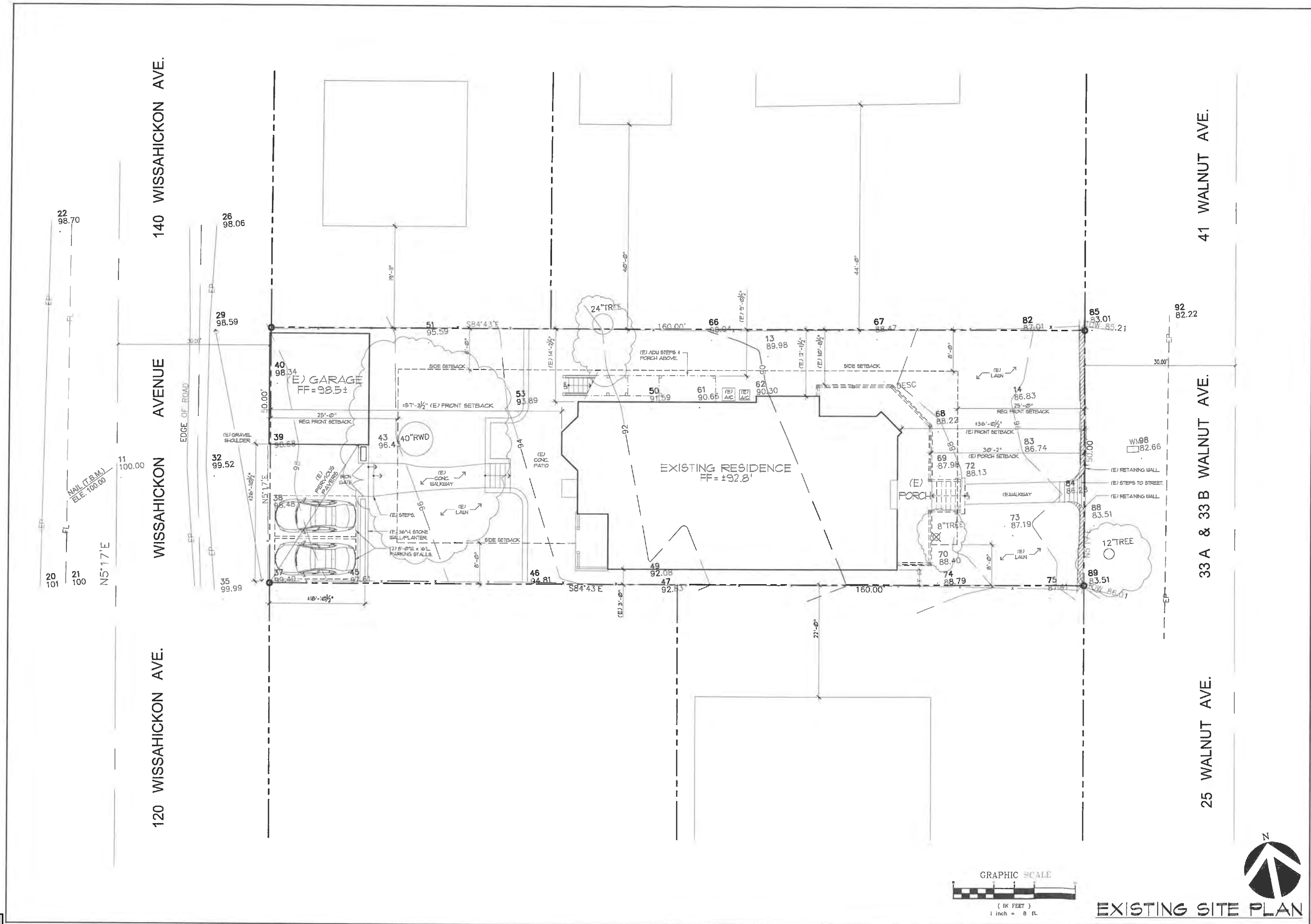
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JOB NO. 2018.07

DATE: 05/28/2019


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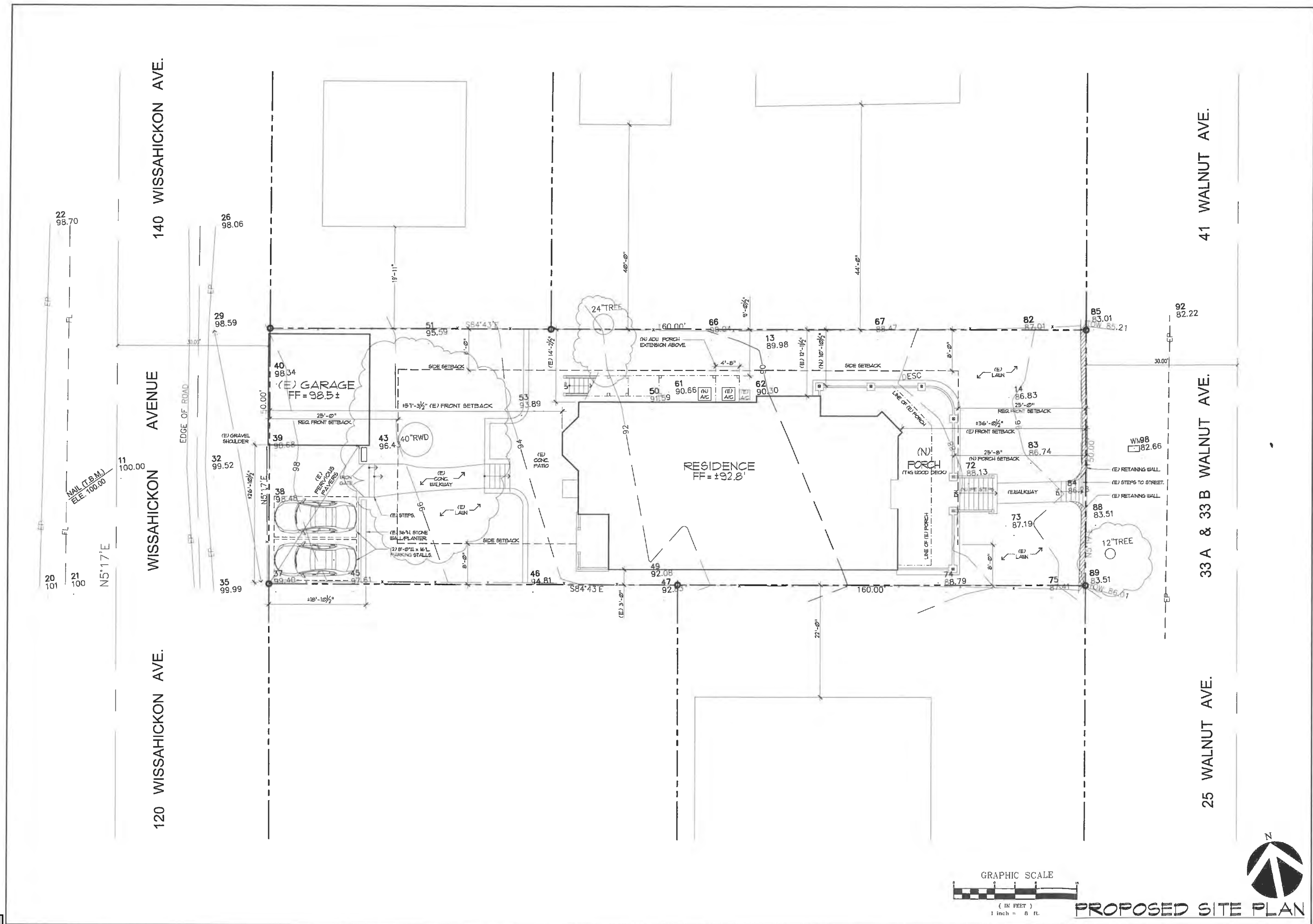


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SIEGEL RESIDENCE REMODEL/ADDITION
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DATE: 05/08/2010

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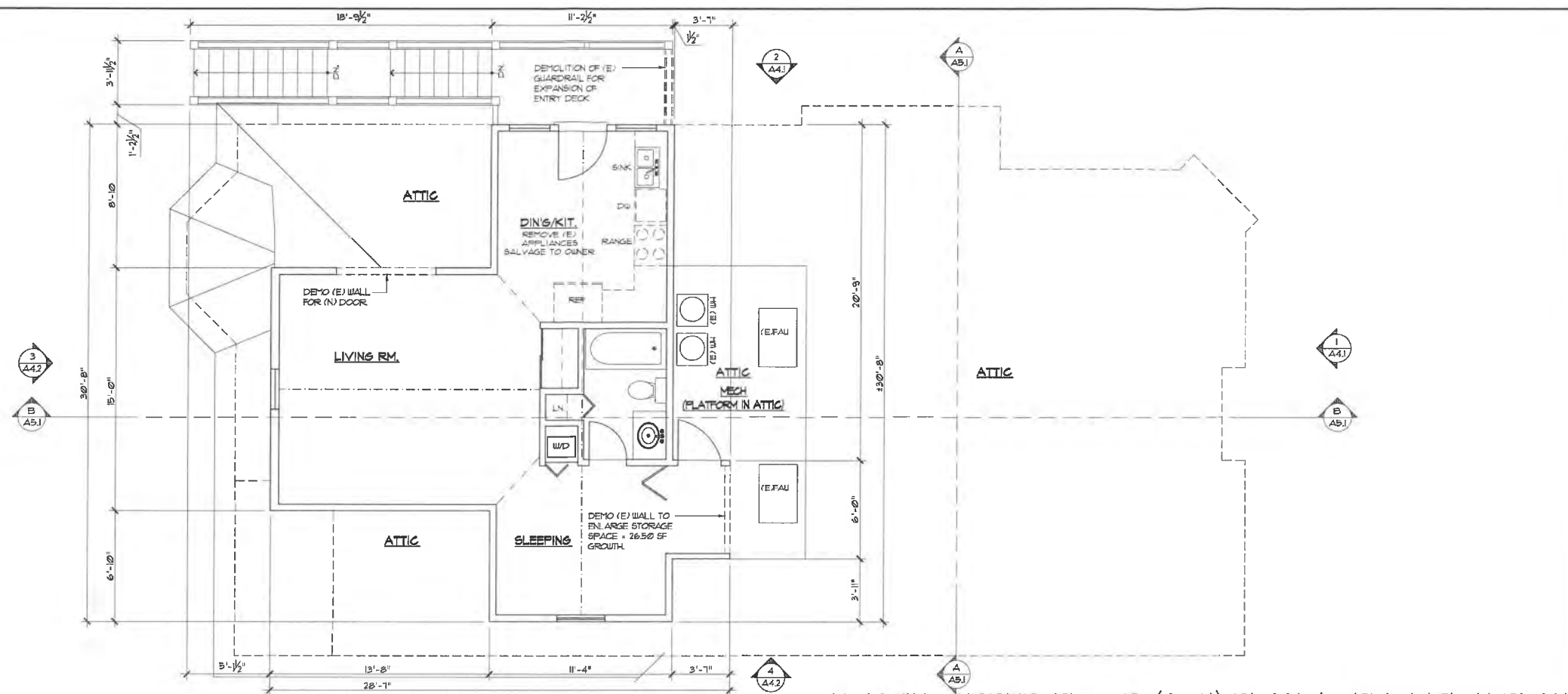


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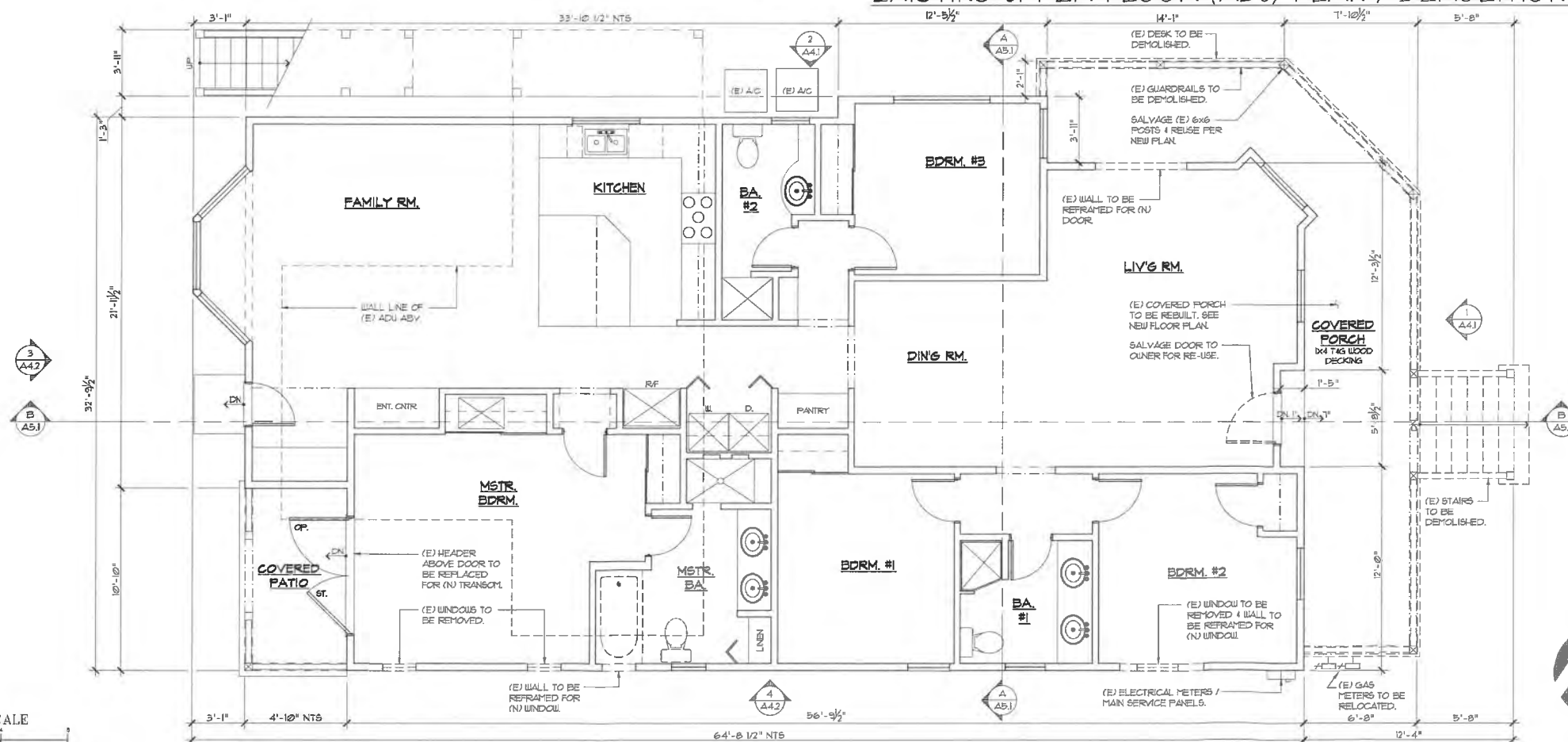
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EXISTING UPPER FLOOR (ADU) PLAN / DEMOLITION PLAN



EXISTING GROUND FLOOR PLAN / DEMOLITION PLAN

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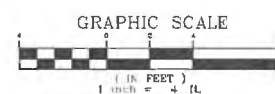


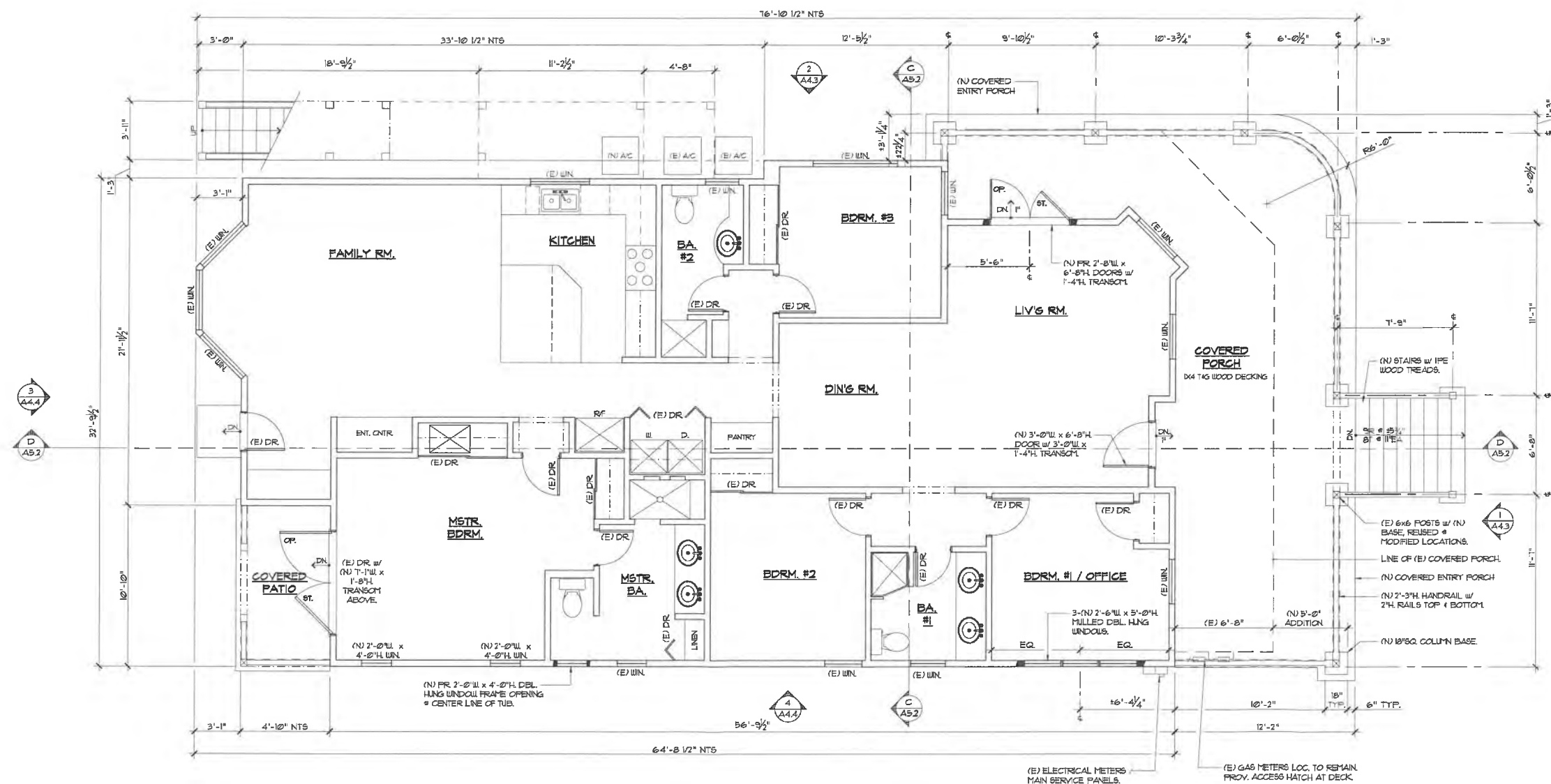
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33 WALNUT AVE. LOS GATOS, CA

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DATE: 05/09/19

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NEW GROUND FLOOR PLAN

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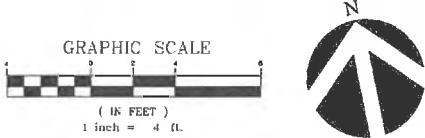
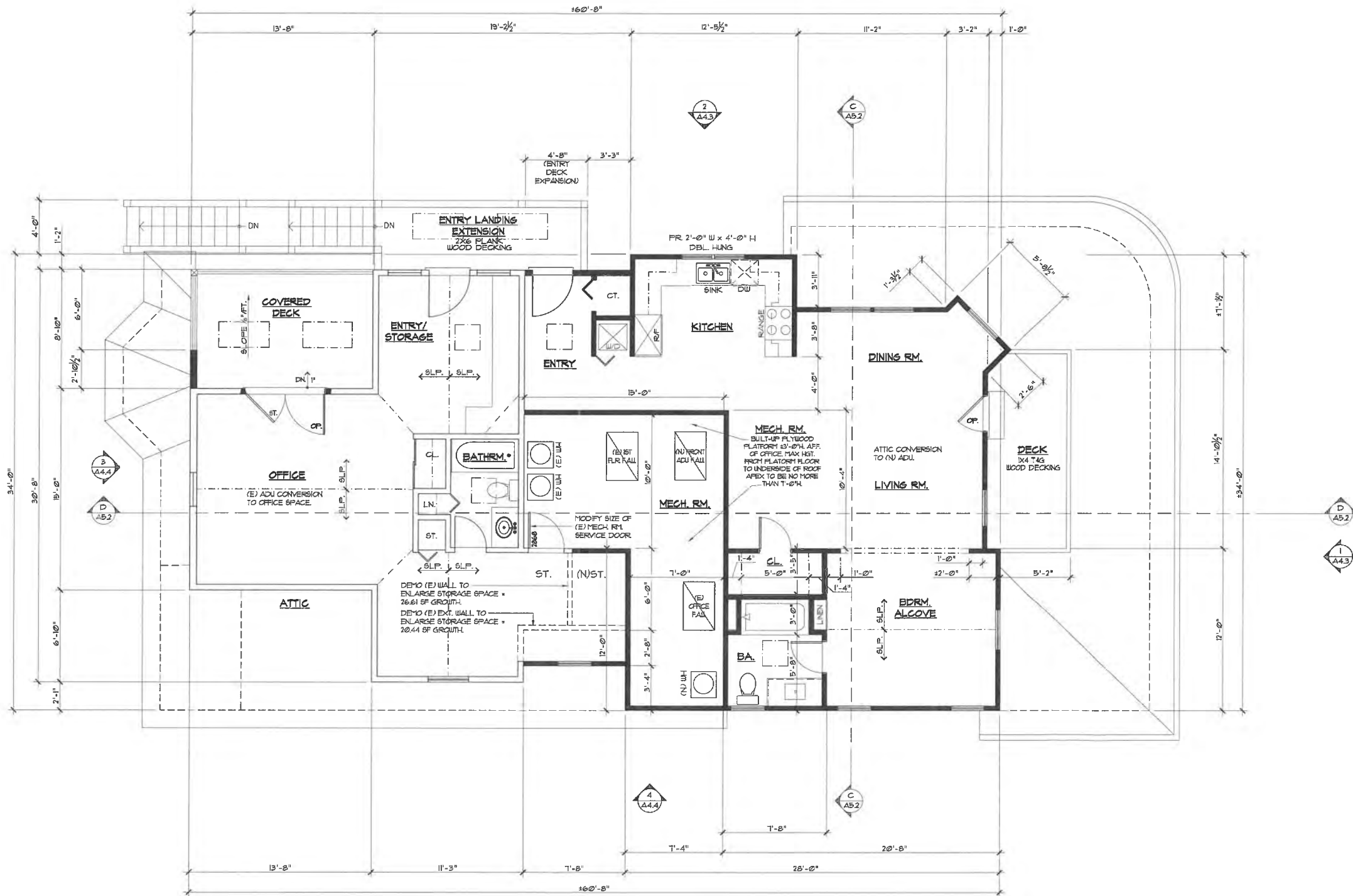


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JOB NO. 2010.01
DATE: 05/08/2019

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REMODELED UPPER FLOOR AND NEW (ADU) PLAN

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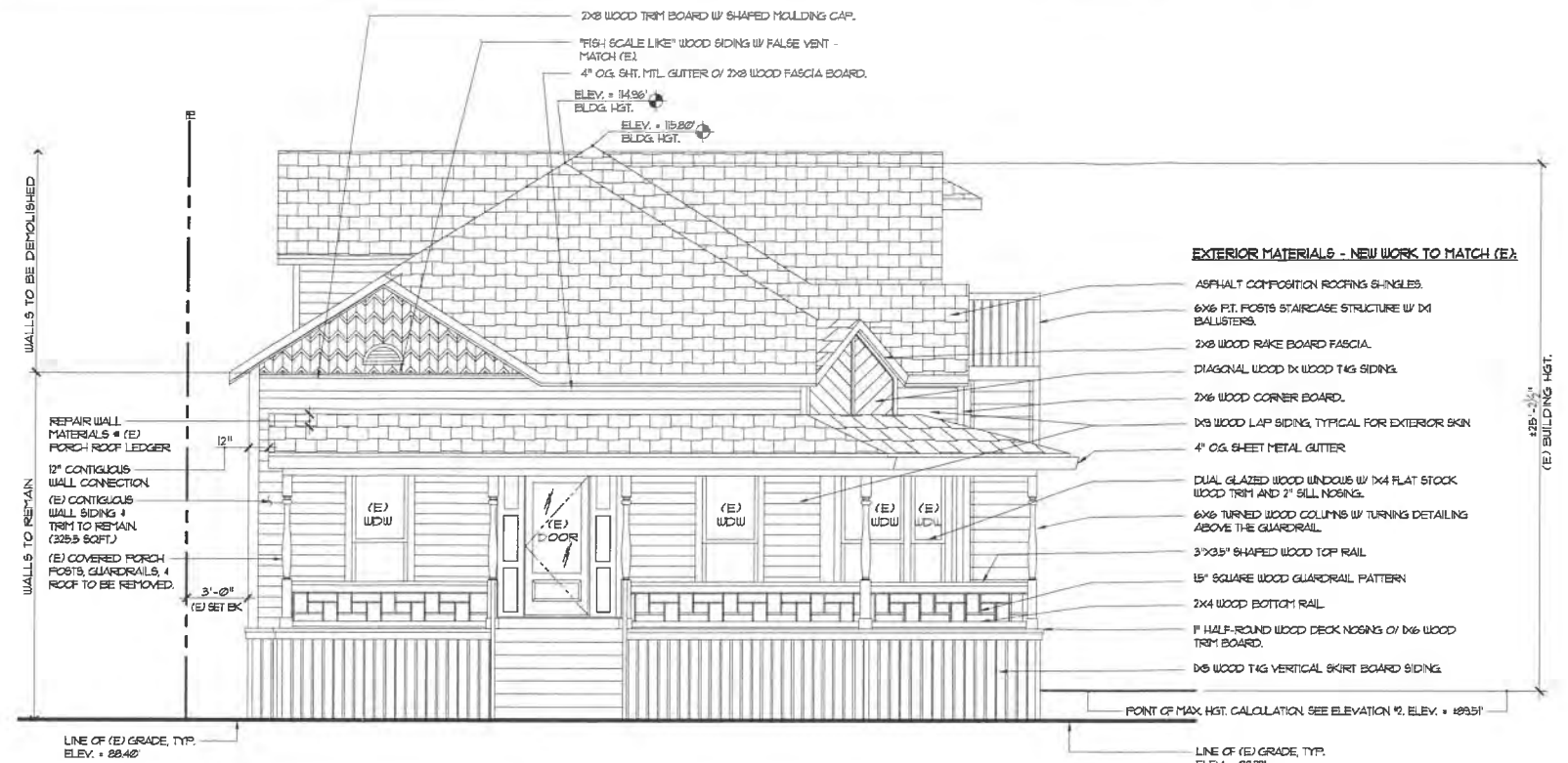
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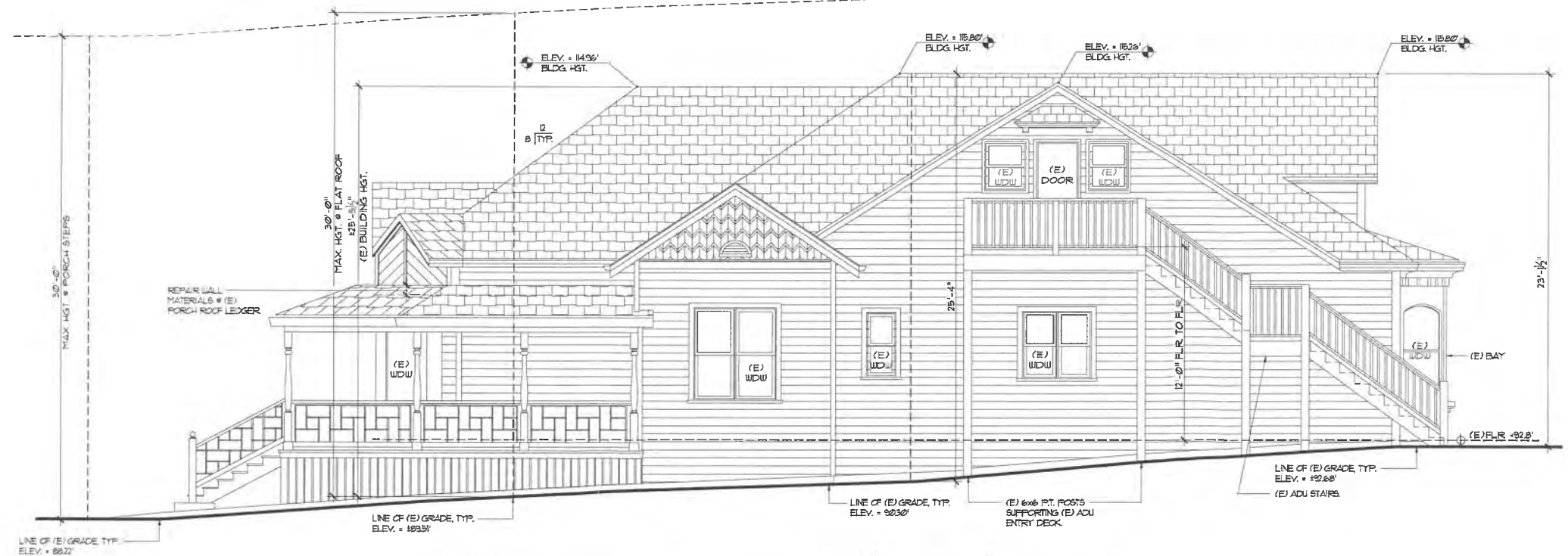
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JOB NO. 2010.07
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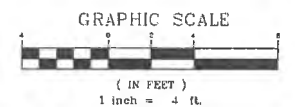
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1 EXISTING FRONT (EAST) ELEVATION
(WALNUT AVE.)



2 EXISTING RIGHT-SIDE (NORTH) ELEVATION
(REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



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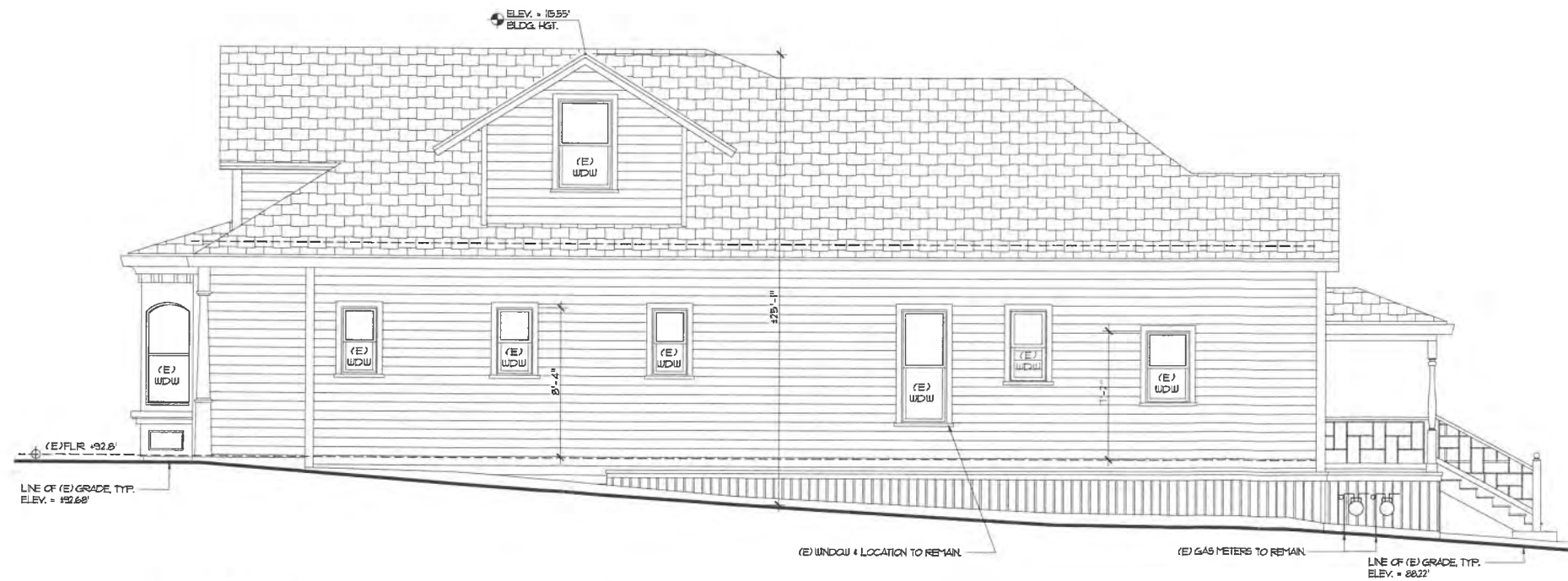
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DATE: 05/08/19

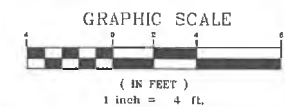
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3 EXISTING REAR (WEST) ELEVATION
(WISSAHICKON AVE.) (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



4 EXISTING LEFT-SIDE (SOUTH) ELEVATION
(REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



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JOB NO. 2018.01
DATE: 05/08/2019

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HERITAGE ARCHITECTURE
 DAVID V. HERNANDEZ, ARCHITECT
 P.O. BOX 8033, San Jose, California 95155
 C: (408) 772-3302 FAX: (408) 298-0998
 E-mail: dhernandez@pacbell.net

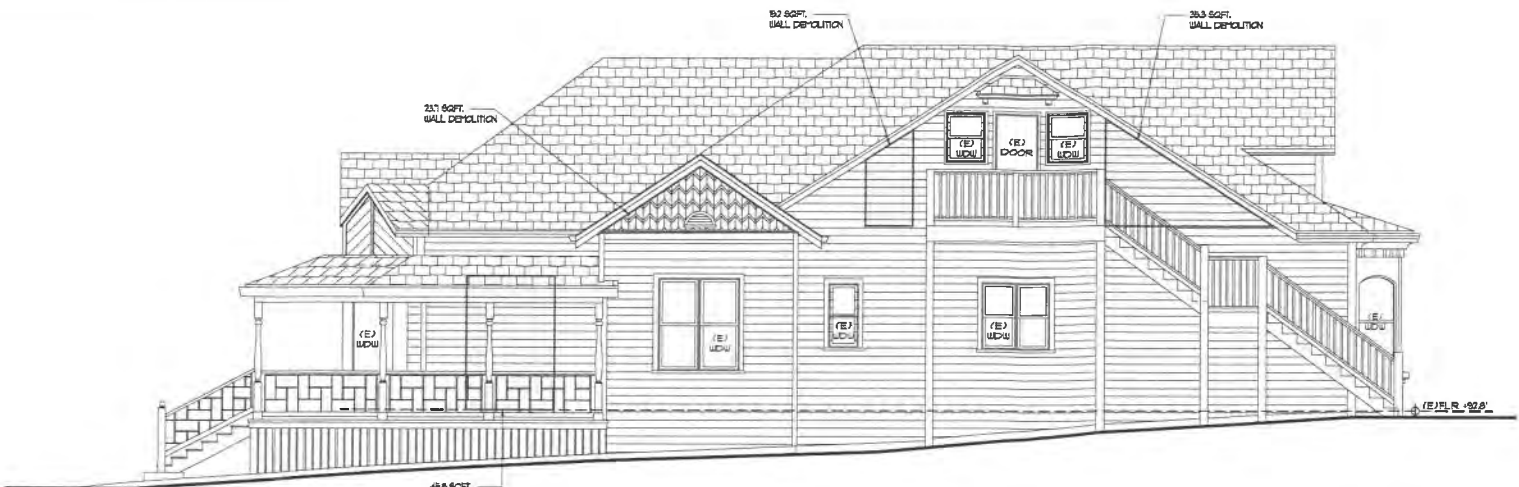
SIEGEL RESIDENCE REMODEL/ADDITION
 33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
 SCALE: 3/16" = 1'-0"
 JOB NO. 2018.01
 DATE: 05/08/2019

A4.3



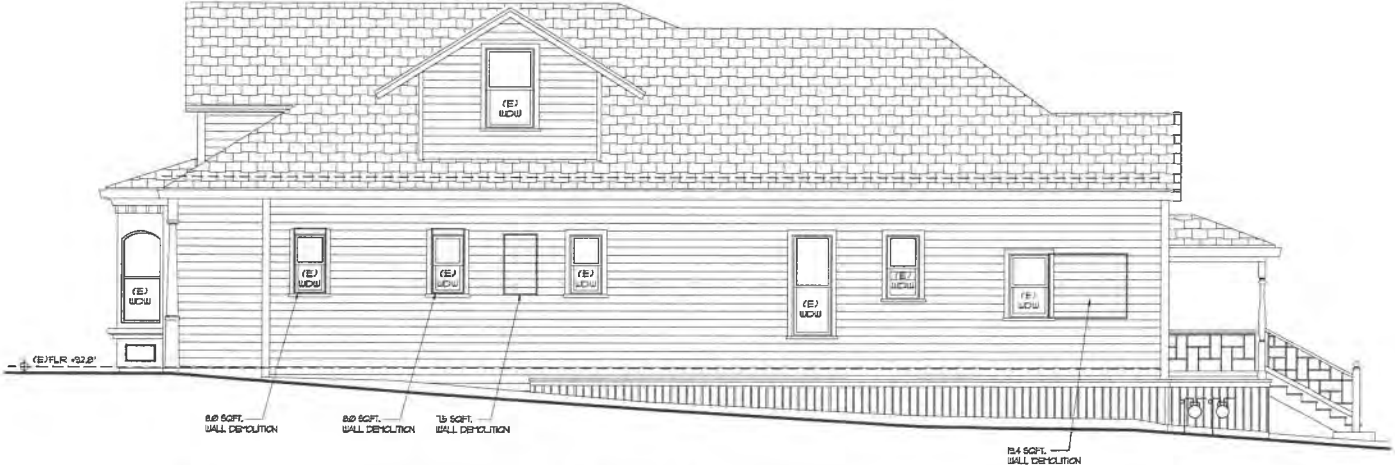
1 EXISTING FRONT (EAST) ELEVATION
 (WALNUT AVE.)



2 EXISTING RIGHT-SIDE (NORTH) ELEVATION
 (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



3 EXISTING REAR (WEST) ELEVATION
 (WISSAHICKON AVE.) (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)

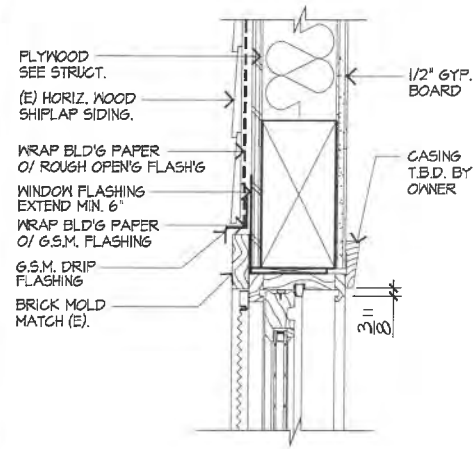


4 EXISTING LEFT-SIDE (SOUTH) ELEVATION
 (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)

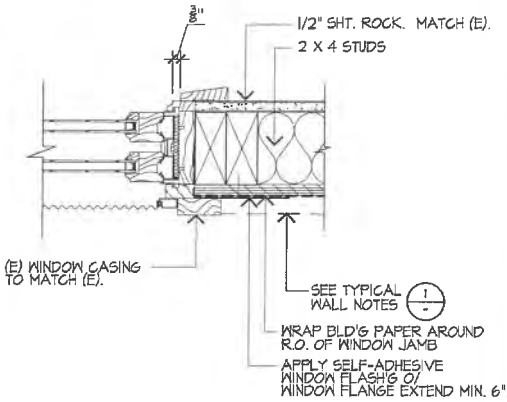
EXISTING WALL SURFACE AREA

	TOTAL WALL SURFACES*	WALL TO BE REMOVED	WALL SURFACES TO REMAIN
FRONT	325.5 SQFT. (100%)	37.7 SQFT. (11.6%)	287.8 SQFT. (88.4%)
RIGHT-SIDE	954.6 SQFT. (100%)	120.0 SQFT. (12.5%)	834.6 SQFT. (87.5%)
REAR	438.2 SQFT. (100%)	14.2 SQFT. (3.2%)	424.0 SQFT. (96.8%)
LEFT-SIDE	875.3 SQFT. (100%)	42.9 SQFT. (4.9%)	832.4 SQFT. (95.1%)

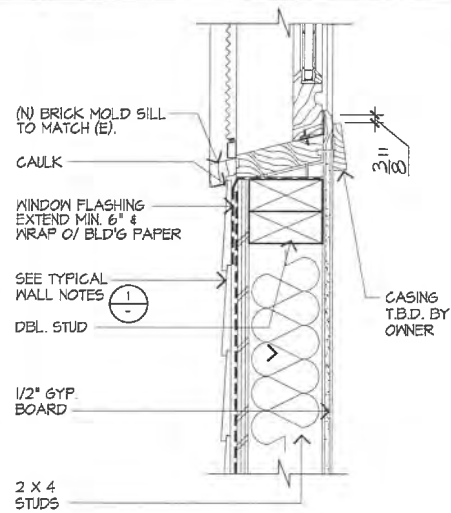
*WALL SURFACES MINUS WINDOWS, DOORS, & VENTS.



1 EXT. WINDOW HEAD - DBL. HUNG
SCALE : 3" = 1'-0" (KOLBE WOOD)



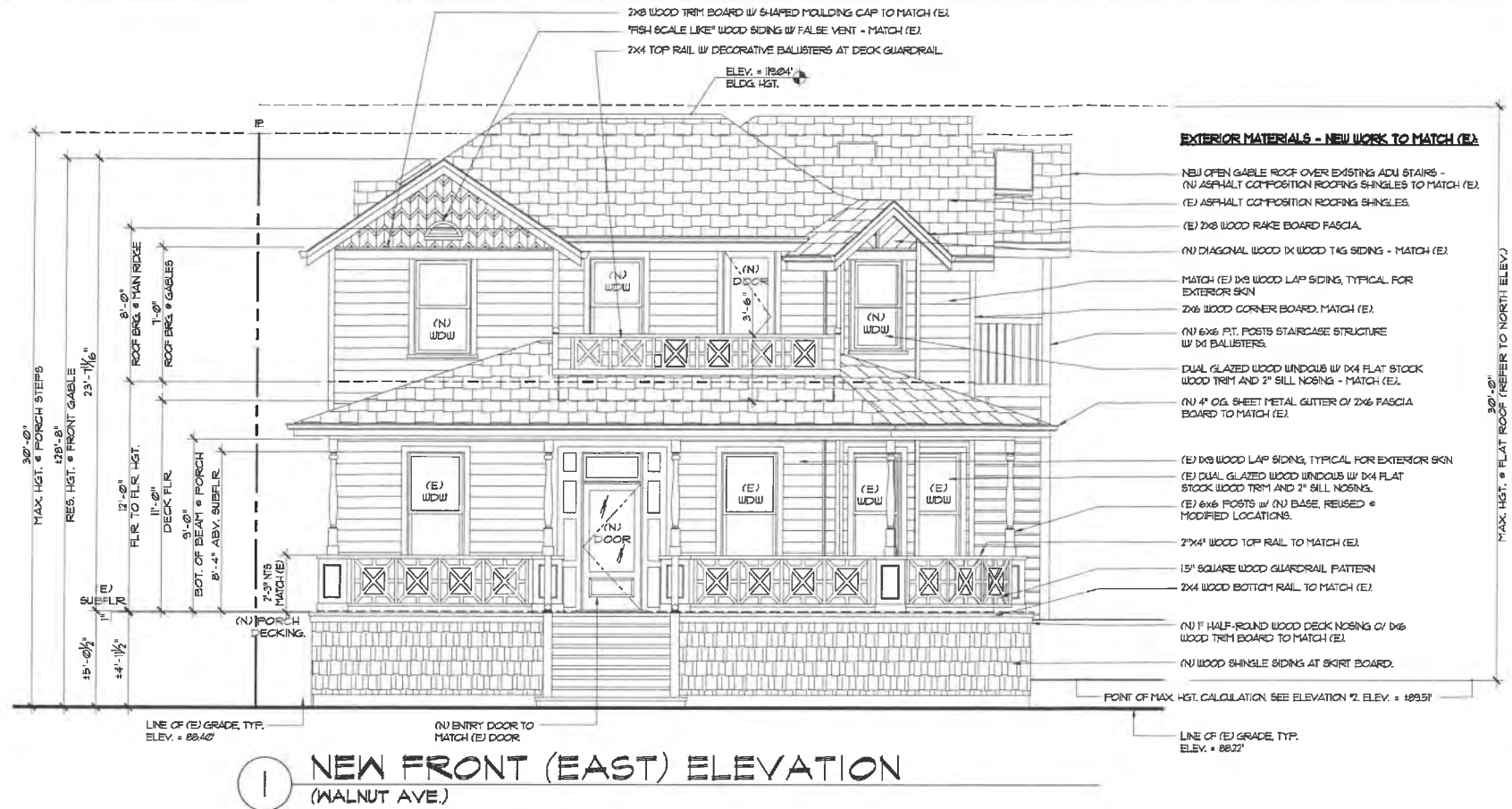
2 EXT. WINDOW JAMB - DBL. HUNG
SCALE : 3" = 1'-0" (KOLBE WOOD)



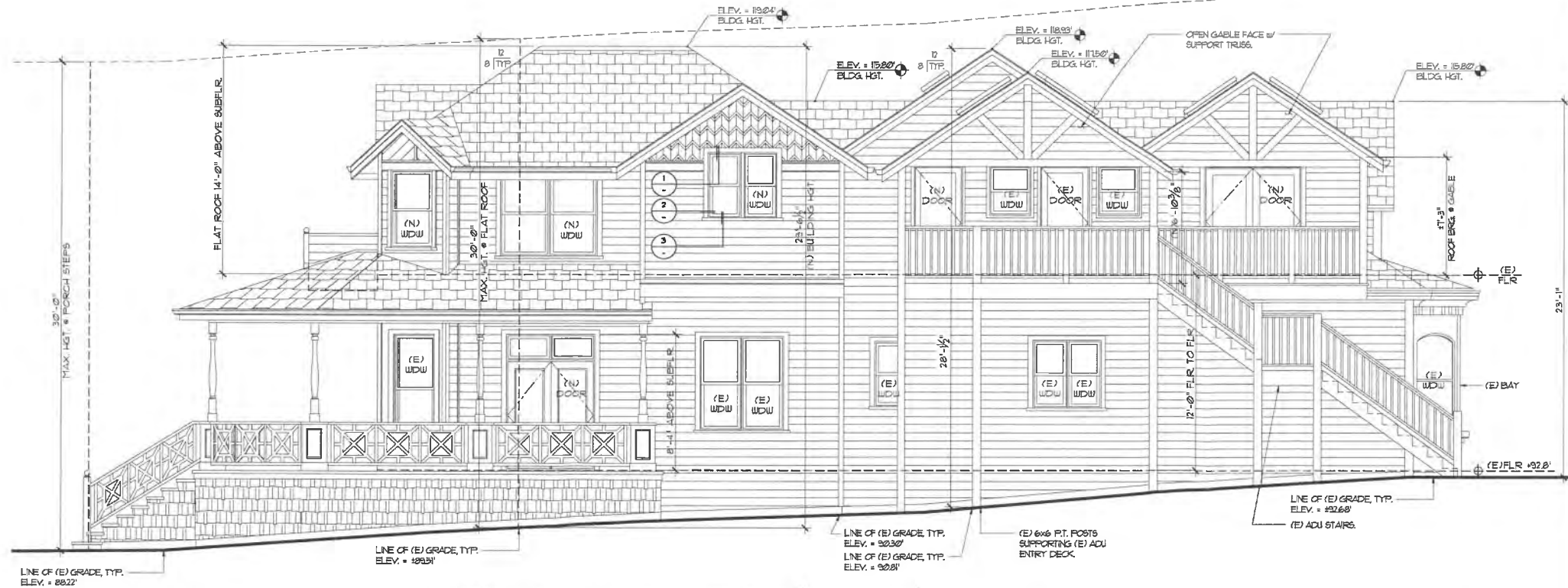
3 EXT. WINDOW SILL - DBL. HUNG
SCALE : 3" = 1'-0" (KOLBE WOOD)



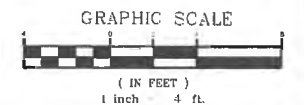
EXISTING WINDOW PHOTO



1 NEW FRONT (EAST) ELEVATION
(WALNUT AVE.)



2 NEW RIGHT-SIDE (NORTH) ELEVATION
(REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



REVISIONS	BY
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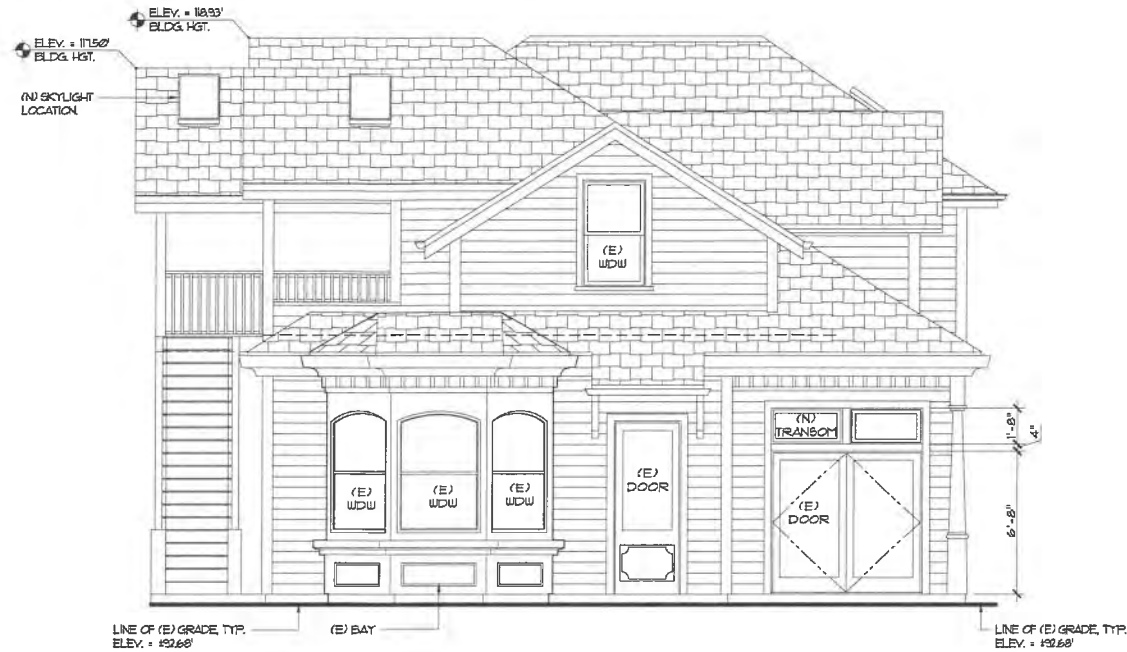


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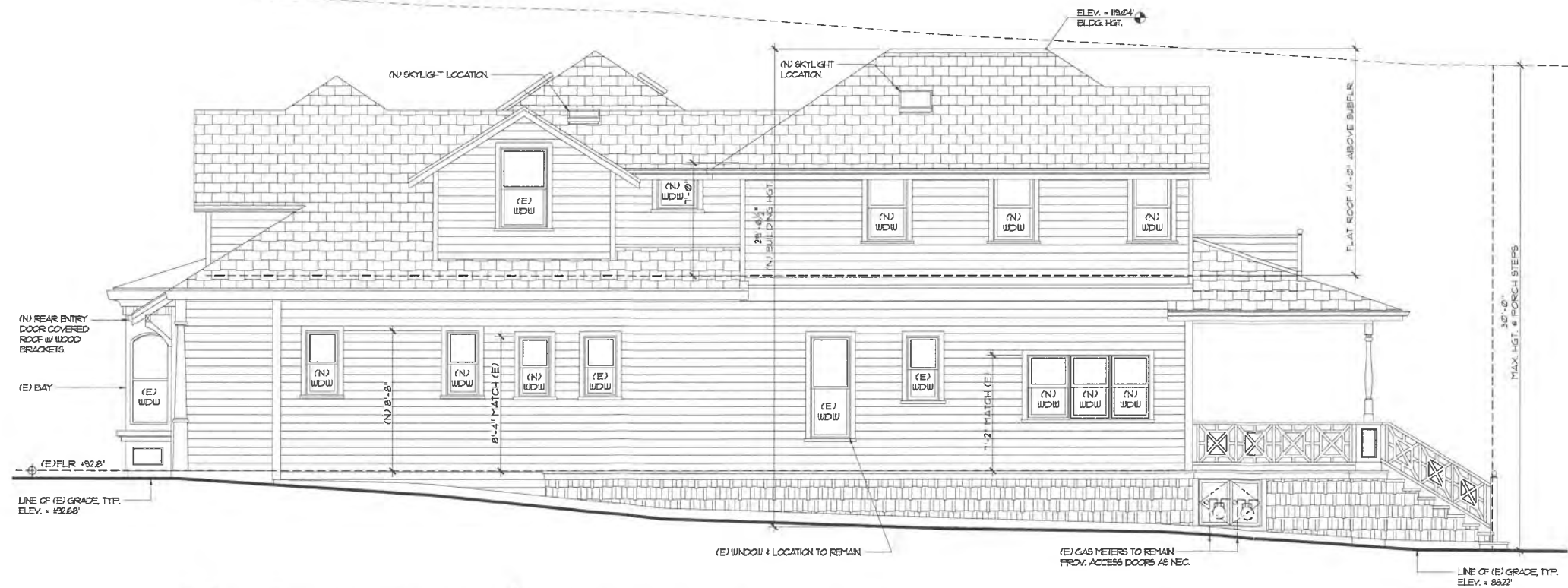
SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2018071
DATE: 05/08/2013

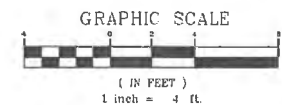
A4.4



3 NEW REAR (WEST) ELEVATION
(WISSAHICKON AVE.) (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



4 NEW LEFT-SIDE (SOUTH) ELEVATION
(REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)



REVISIONS	BY
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△	



HERITAGE ARCHITECTURE
DAVID V. HERNANDEZ, ARCHITECT
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E-mail: dvhernandez@pacbell.net

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

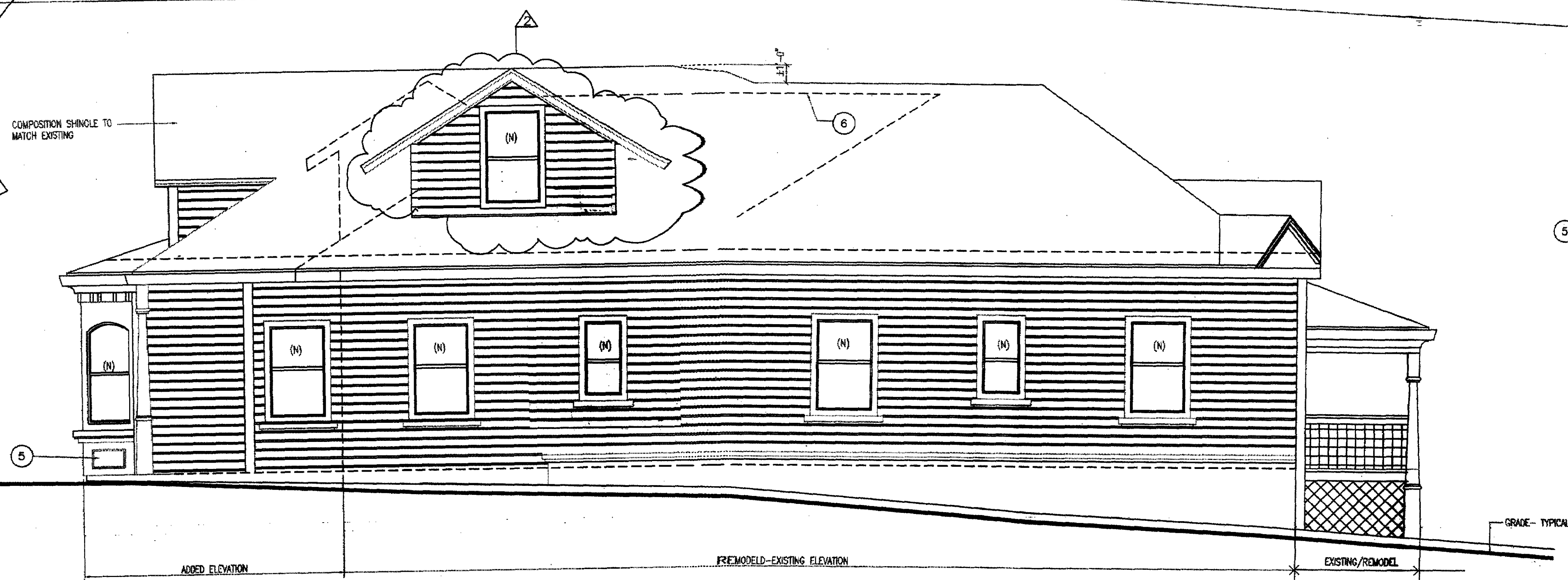
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SCALE: 1/4" = 1'-0"
JOB NO. 2010.01
DATE: 05/08/2013

A4.5

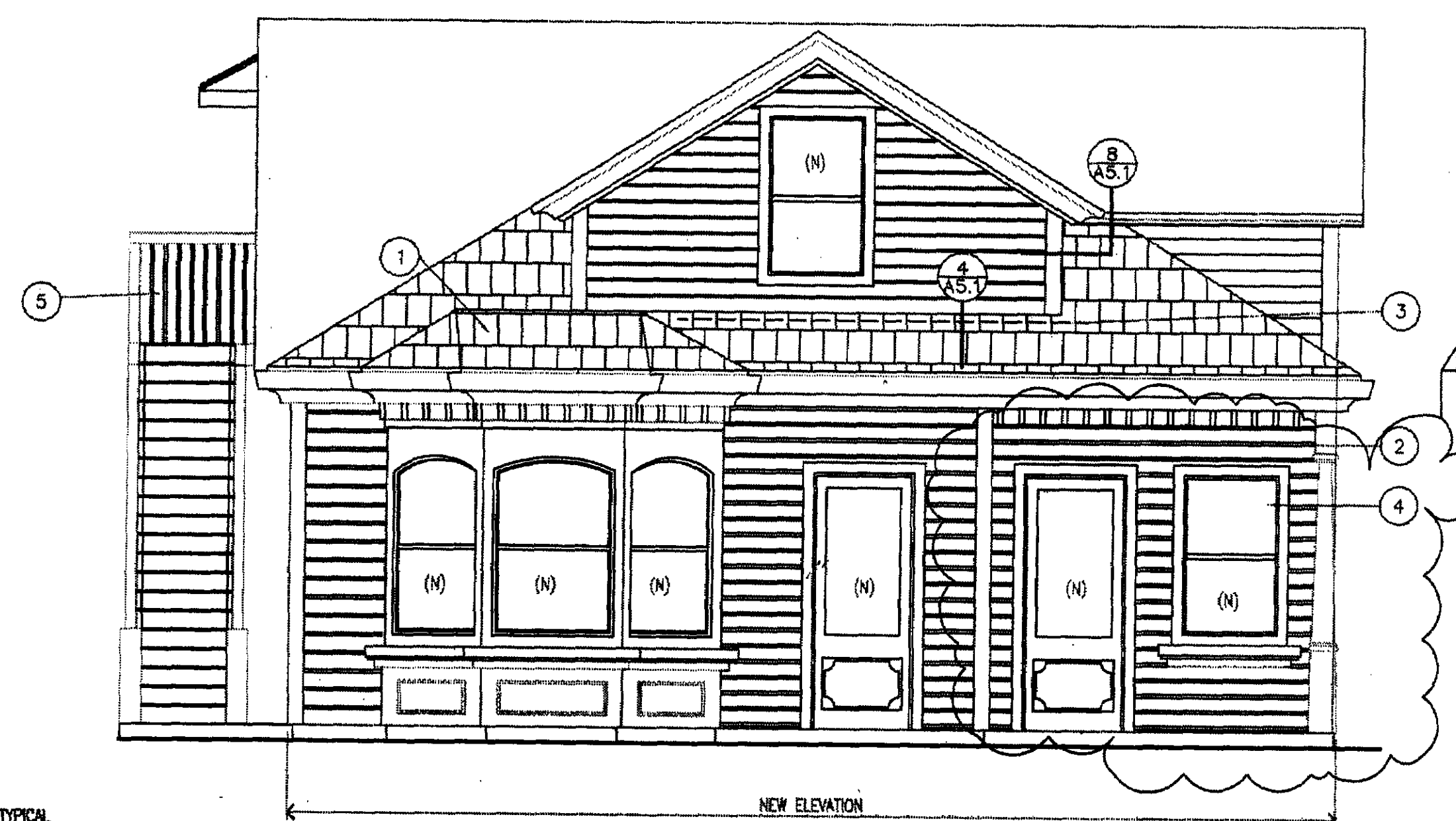
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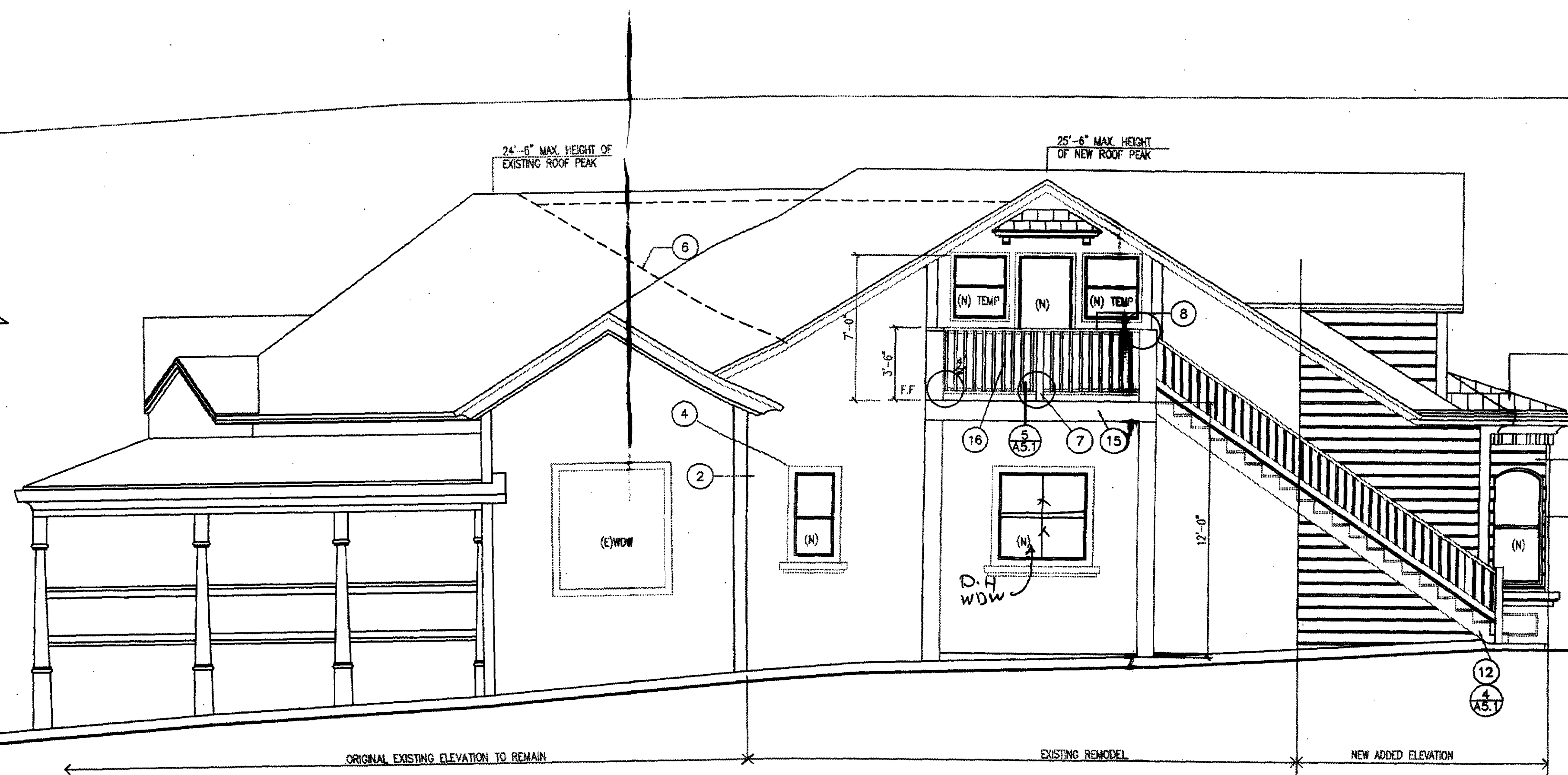
33 WARREN AV. LOS ANGELES, CA 90012



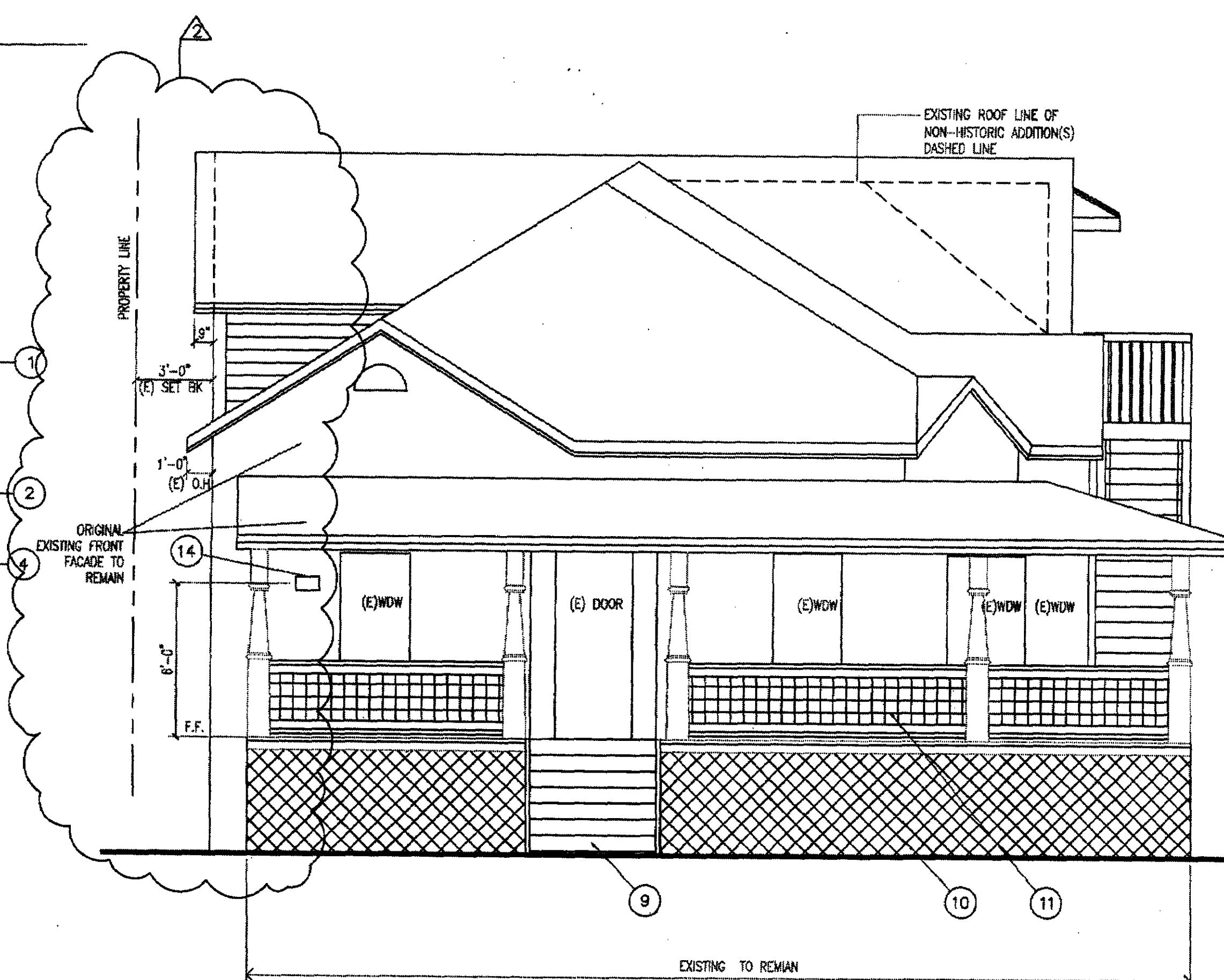
SOUTH ELEVATION
1/4" = 1' - 0"



WEST ELEVATION
1/4" = 1' - 0"



NORTH ELEVATION
1/4" = 1' - 0"



EAST ELEVATION
1/4" = 1' - 0"

GENERAL NOTES

ROOF CONSTRUCTION:
ASPHALT SHINGLE OVER 30# FELT OVER
ROOF SHEATHING AND FRAMING MEMBERS AS
NOTED ON STRUCTURAL DRAWINGS.
INSULATION: PER ENERGY DOCUMENTATION.

EXTERIOR WALL CONSTRUCTION:
REDWOOD LAP SIDING TO MATCH EXISTING OVER
WALL FRAMING AS NOTED ON STRUCTURAL
DRAWINGS.

FLOOR CONSTRUCTION:
FRAME FLOOR CONSTRUCTION - 3/4" FLOOR
SHEATHING OVER FLOOR JOISTS AS NOTED
ON STRUCTURAL DRAWINGS.
INSULATION: PER ENERGY DOCUMENTATION.

CAD EXCHANGE INC

CAD Services for the MEO Community
3101 BORDA TA WAY
E L DERADO HILLS, CA 95762
(916) 205-4775

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF CAD EXCHANGE INC. AND
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MANNER WITHOUT THE PERMISSION OF CAD EXCHANGE INC.

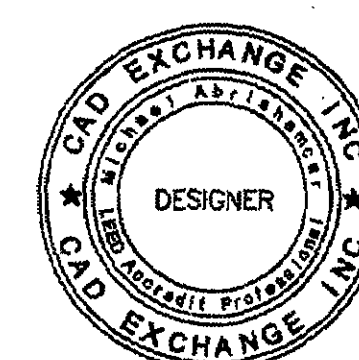
Ovisco, Incorporated

1404 Redwood Avenue
San Jose, CA 95120
License # 499062 B/C38/HIC
408-288-2223

CHRIS TSE & ASSOCIATES

544 Dudley Avenue, #7
San Jose, CA 95128
408-247-4746

DATE
PLAN CHECK 05/21/07
BACK CHECK 07/25/07
CONSTRUCTION 08/20/07



ELEVATION KEY NOTES

- 1 COMPOSITION SHINGLES
- 2 REDWOOD LAP SIDING TO MATCH EXISTING
- 3 CORROSION RESISTANT ROOF TO WALL FLASHING
- 4 2X TRIM TO MATCH EXISTING
- 5 NEW STAIRS, TO MATCH EXISTING
- 6 LINE OF EXISTING STRUCTURE DASHED LINE
- 7 4X4 POST
- 8 2X6 TOP RAIL
- 9 EXISTING STEPS REPAIR/ PAINT AS REQUIRED
- 10 EXISTING LATHES, REPAIR, PAINT AS REQUIRED
- 11 EXISTING RAILING, REPAIR, PAINT AS REQUIRED
- 12 WOOD STAIRS TO MATCH EXISTING
- 13 WOOD WINDOW TO MATCH EXISTING
- 14 ADDRESS NUMBER
- 15 3X FASCIA
- 16 2X PICKET 5 1/2" O.C.

LEGEND

DENOTES EXISTING NONE
HISTORIC AREA AND NEW
ADDITION AREA

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS
SHOWN. ANY MODIFICATION TO WHAT HAS
BEEN PROPOSED OR TO WHAT IS SHOWN AS
EXISTING, MAY REQUIRE A SEPARATE
APPROVAL.

REMODELING AND ADDITION FOR MR. OVEYSSI

33 WALNUT AV. LOS GATOS, CA

REVISIONS

NO.	DATE	ITEM

SCALE AS NOTED

4/21/2007

CHECKED BY:

ISSUE:

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A3.1

OF SHEETS

807-0403

807-0403

807-0403

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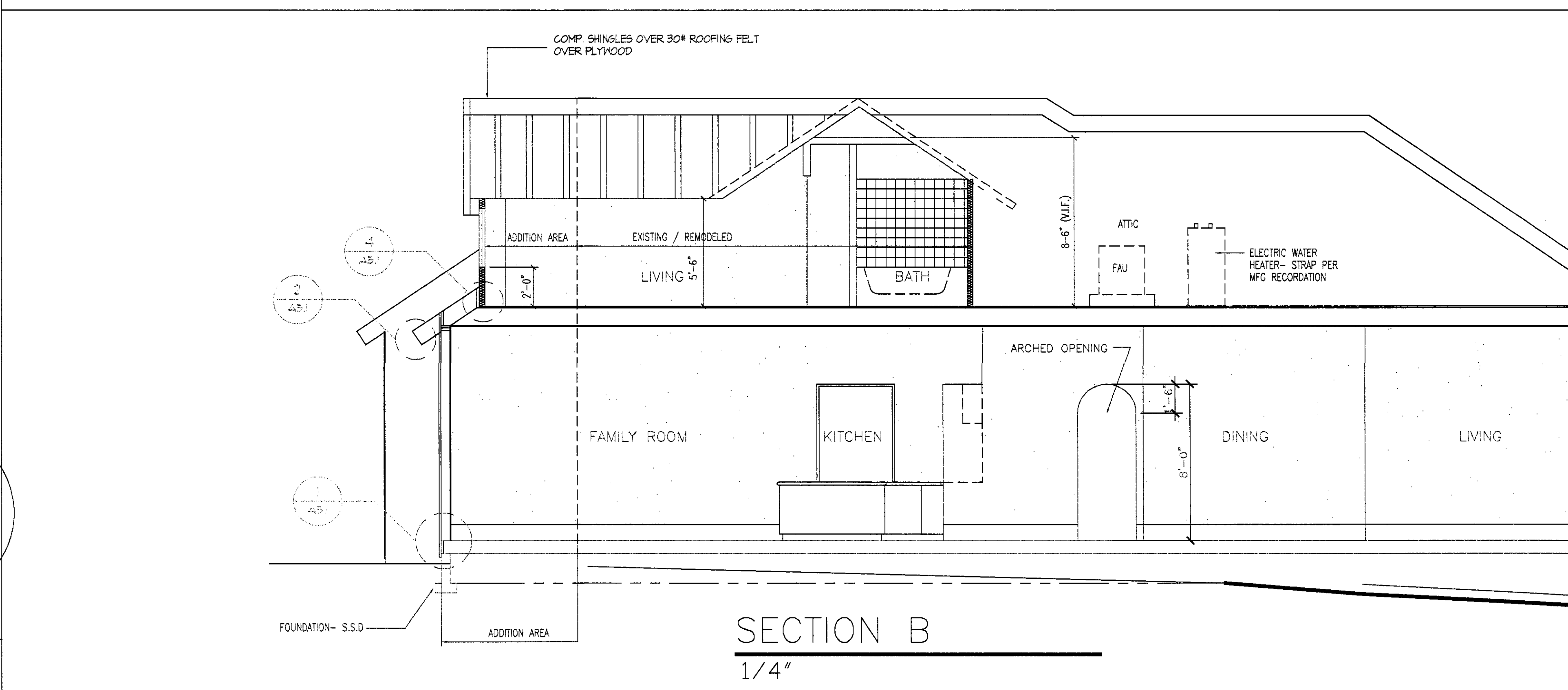
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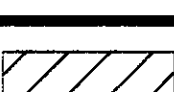

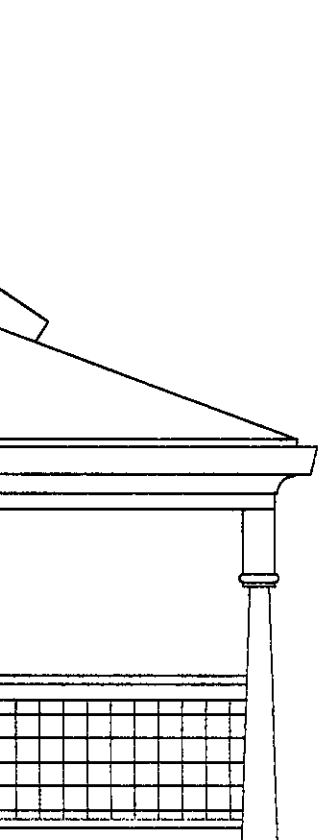
807-0403

807-0403

807-0403

807-0403



ROOF KEY NOTES		CAD EXCHANGE INC	
1	DOWNSPOUT OVER SPLASH BLOCK	CAD Services for the A/E/C Community 3101 BORGATA WAY EL DERRADO HILLS, CA 95762 (916) 205-4775	
2	GUTTER TO MATCH EXISTING	THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS MY OWN WORK AND SHALL REMAIN THE PROPERTY OF THE CAD EXCHANGE INC. AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE CAD EXCHANGE INC.	
3	COMP SHINGLES OVER 30# ROOFING FELT OVER FLYWOOD	Ovisco, Incorporated 1404 Redmond Avenue San Jose, CA 95120 License # 499052 B/C39/H/C 408-258-2223	
4	ROOF SLOPE 8/12- MATCH EXISTING	CHRIS TSE & ASSOCIATES 544 Dudley Avenue, #7 San Jose, CA 95128 408-247-4745	
LEGEND		DRAWING STATUS DATE	
ADDITION AREA 		● PLAN CHECK 05/21/07	
		● BACK CHECK 07/25/07	
		● CONSTRUCTION 08/20/07	
			
		REMODELING AND ADDITION FOR MR. OVEYSSI 33 WALNUT AV. LOS GATOS, CA.	
Demolition Work!!! Prior to the removal of any interior OR exterior wall coverings please read and review the Town's demolition permit attached!		REVISIONS	
		NO. DATE ITEM	
		SCALE AS NOTED	
		DATE: 4/21/2007	
		DRAWN BY:	
		CHECKED:	
		ISSUE:	
		DRAWING TITLE	
		SECTIONS AND ROOF PLAN PLAN REVIEW APPROVAL	
		AUG 22 2007	
		TOWN OF LOS GATOS BUILDING DIVISION	
		SHEET NO.	
		A4.1	
		OF SHEETS	



REMODELING AND ADDITION
FOR MR. OVEYSSI

33 WALNUT AV. LOS GATOS, CA

REVISIONS

NO.	DATE	ITEM

SCALE AS NOTED

DATE: 4/21/2007

DRAWN BY:

CHECKED:

ISSUE:

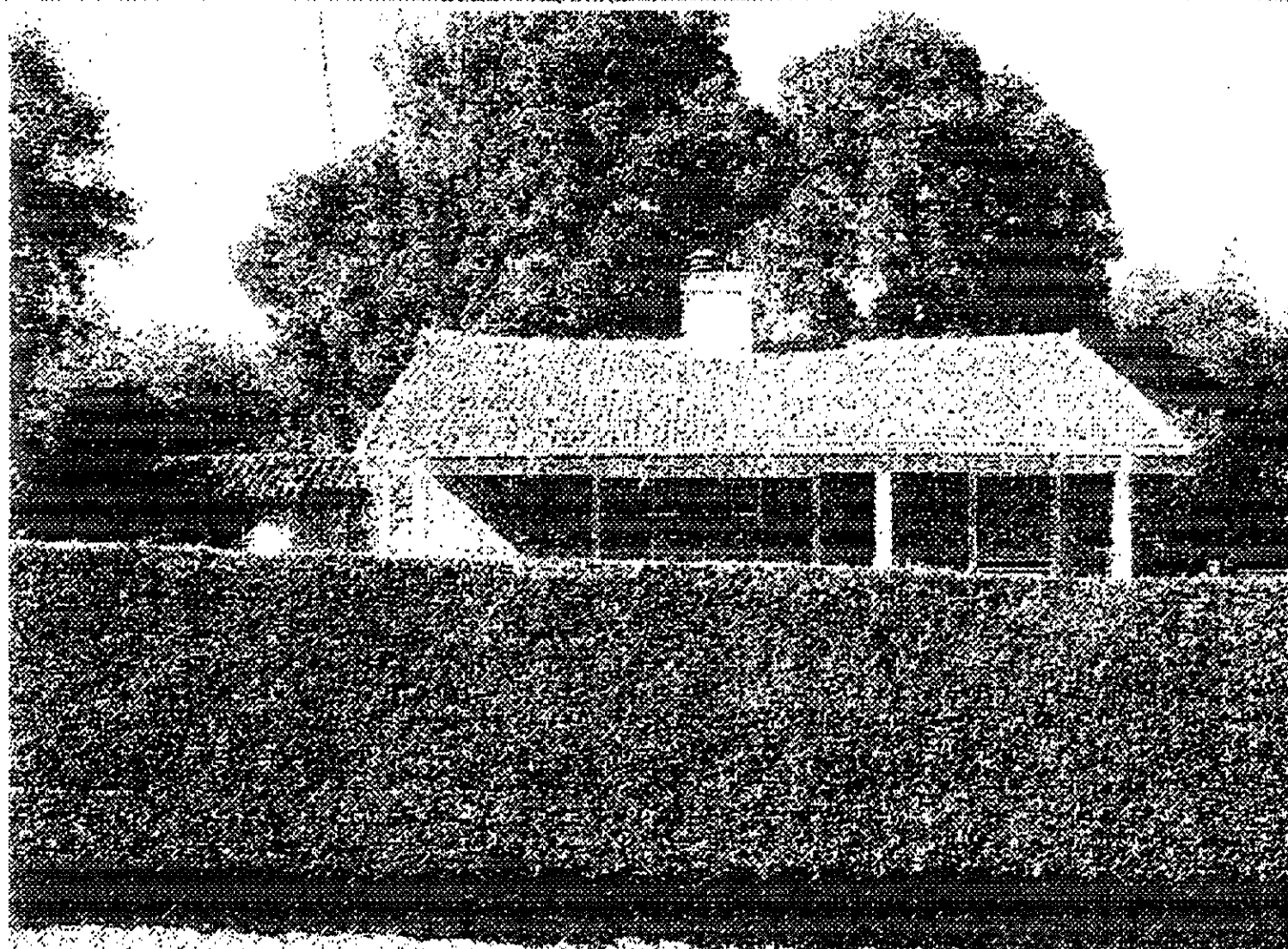
DRAWING TITLE

PHOTO OF EXISTING ELEVATIONS

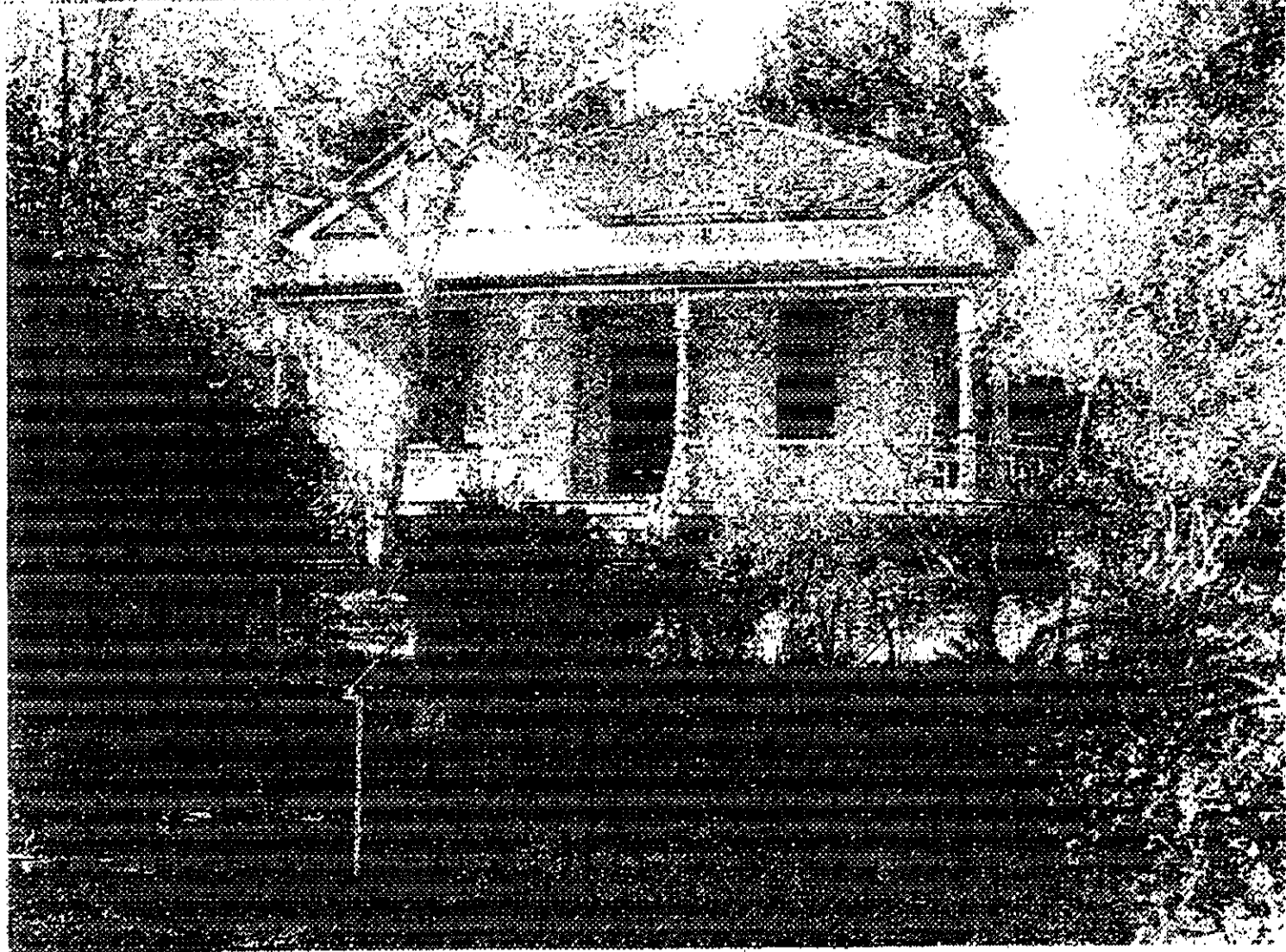
SHEET NO.

A6.2

OF SHEETS



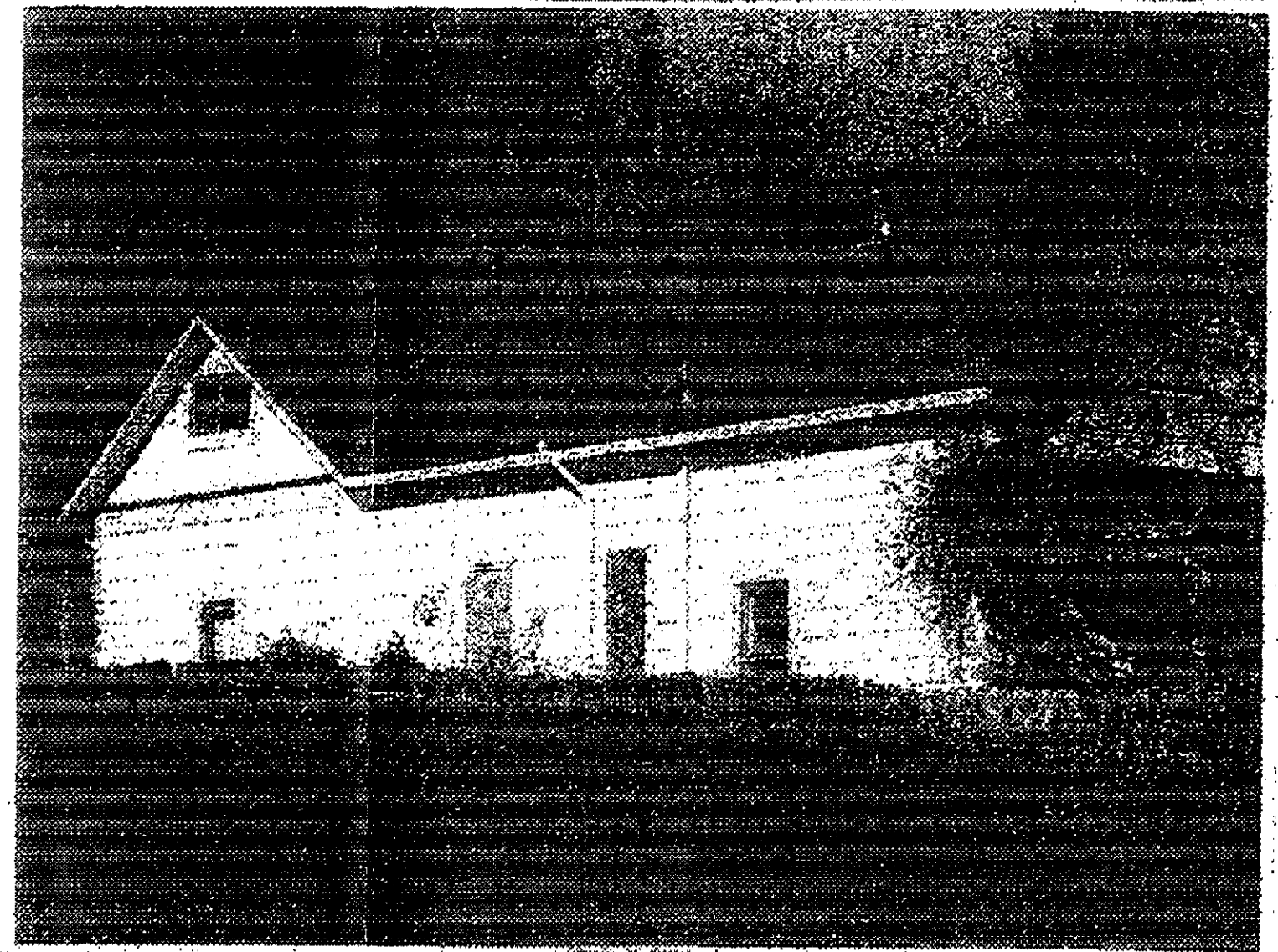
1 SOUTH NEIGHBOR



2 SUBJECT HOUSE



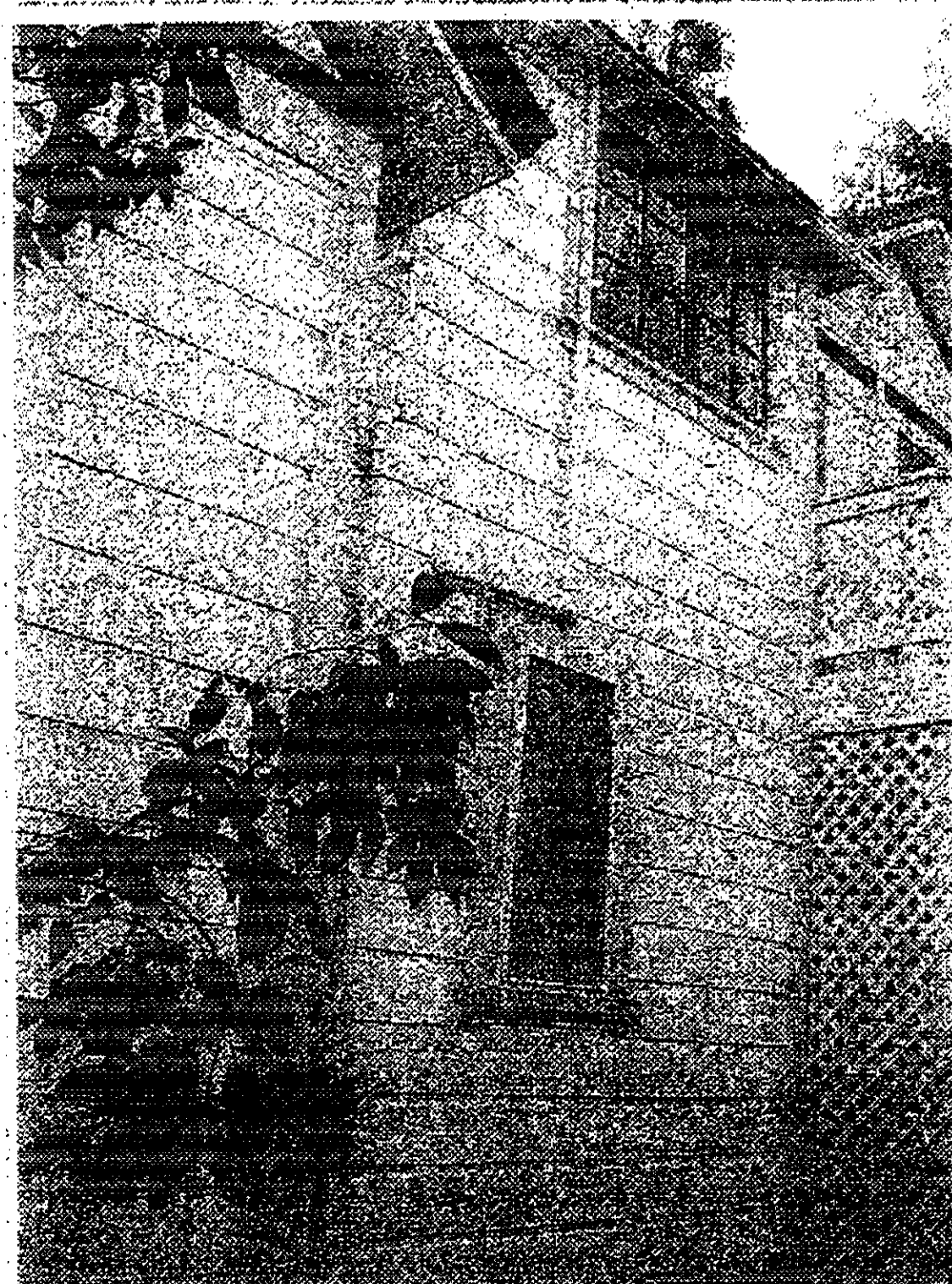
3 NORTH NEIGHBOR



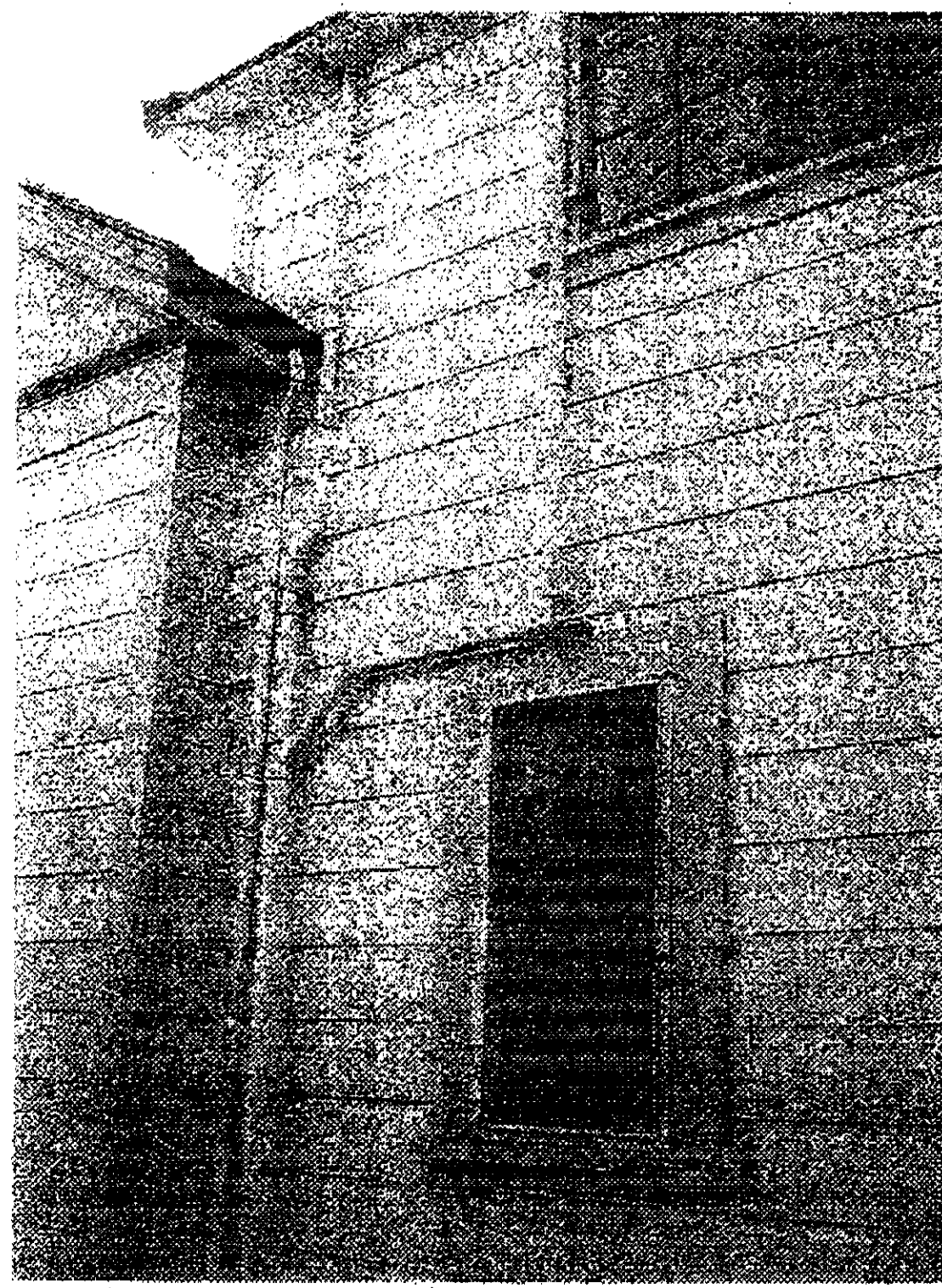
4 SOUTH ELEVATION



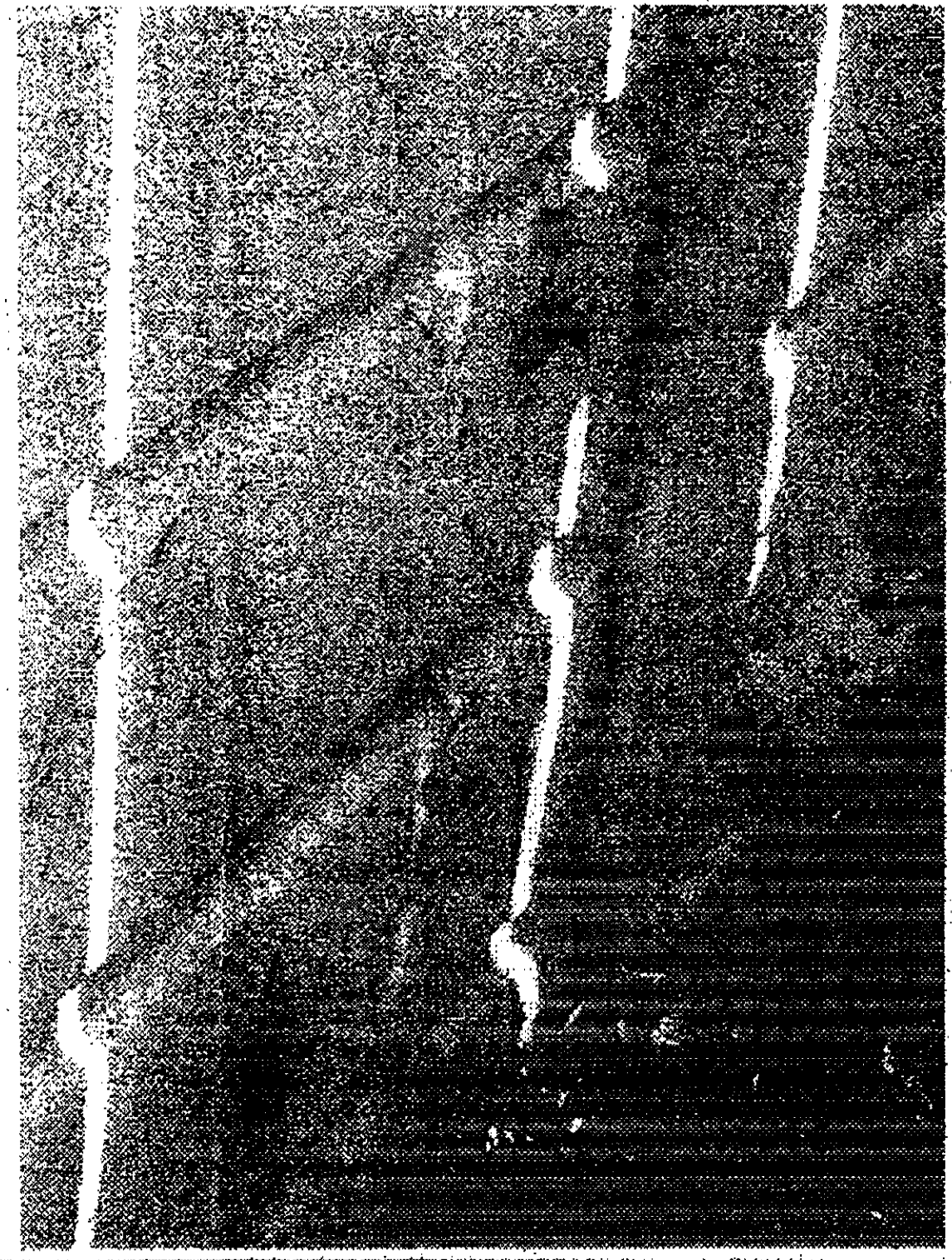
5 WEST ELEVATION



6 PARTIAL ELEV@ NORTH

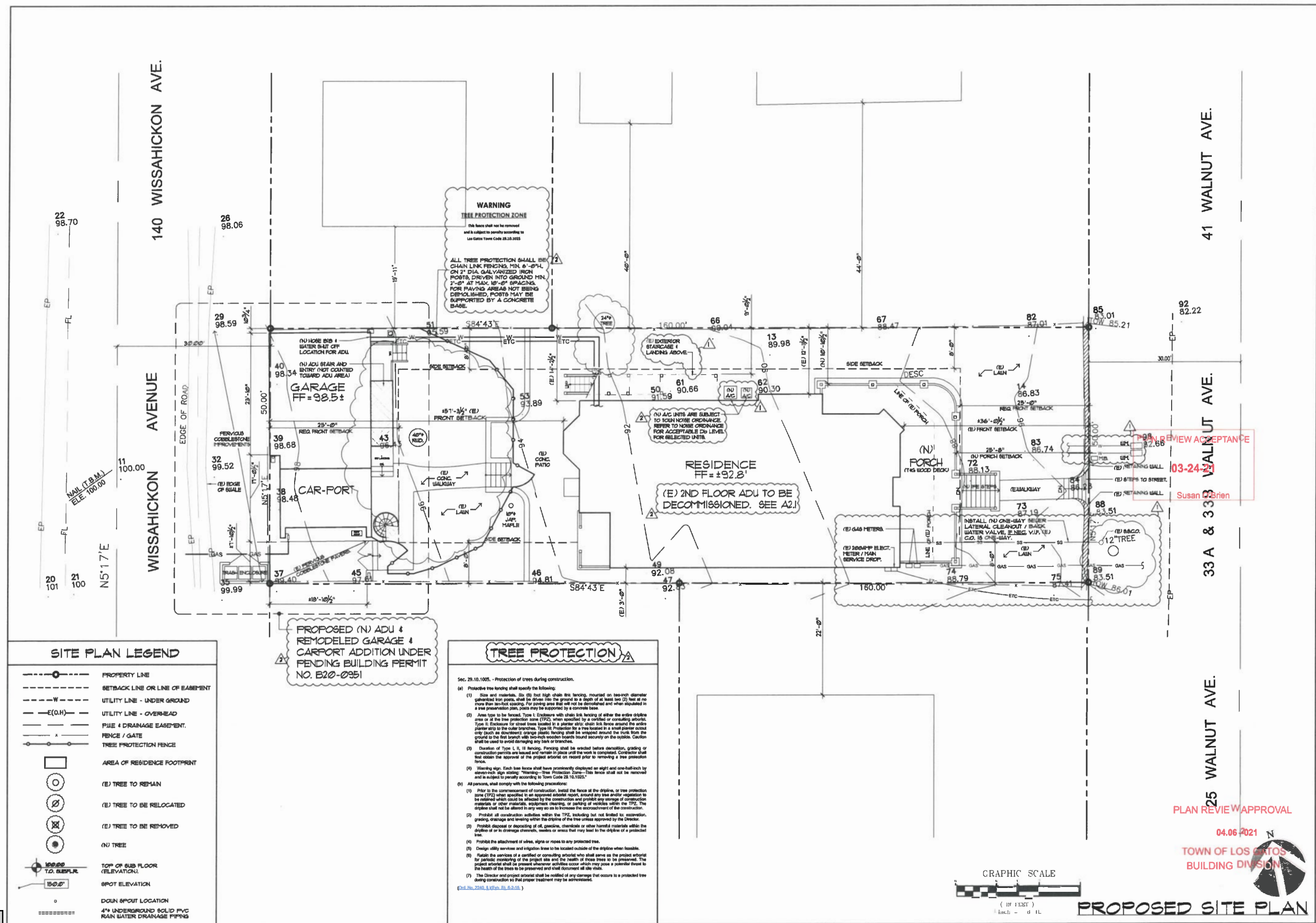


7 PARTIAL ELEV@ NORTH



8 WATER TABLE DETAIL

Handwritten notes: 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.



REVISIONS	BY
PLAN CHECK	DB
PLAN CHECK	DB

HERITAGE ARCHITECTURE

HERITAGE ARCHITECTURE
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P.O. BOX 8033, San Jose, California 95155
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E-mail: dvhernandez@pacbell.net

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/8" = 1'-0"
JOB NO. 201801
DATE: 02/16/2021

A1.2

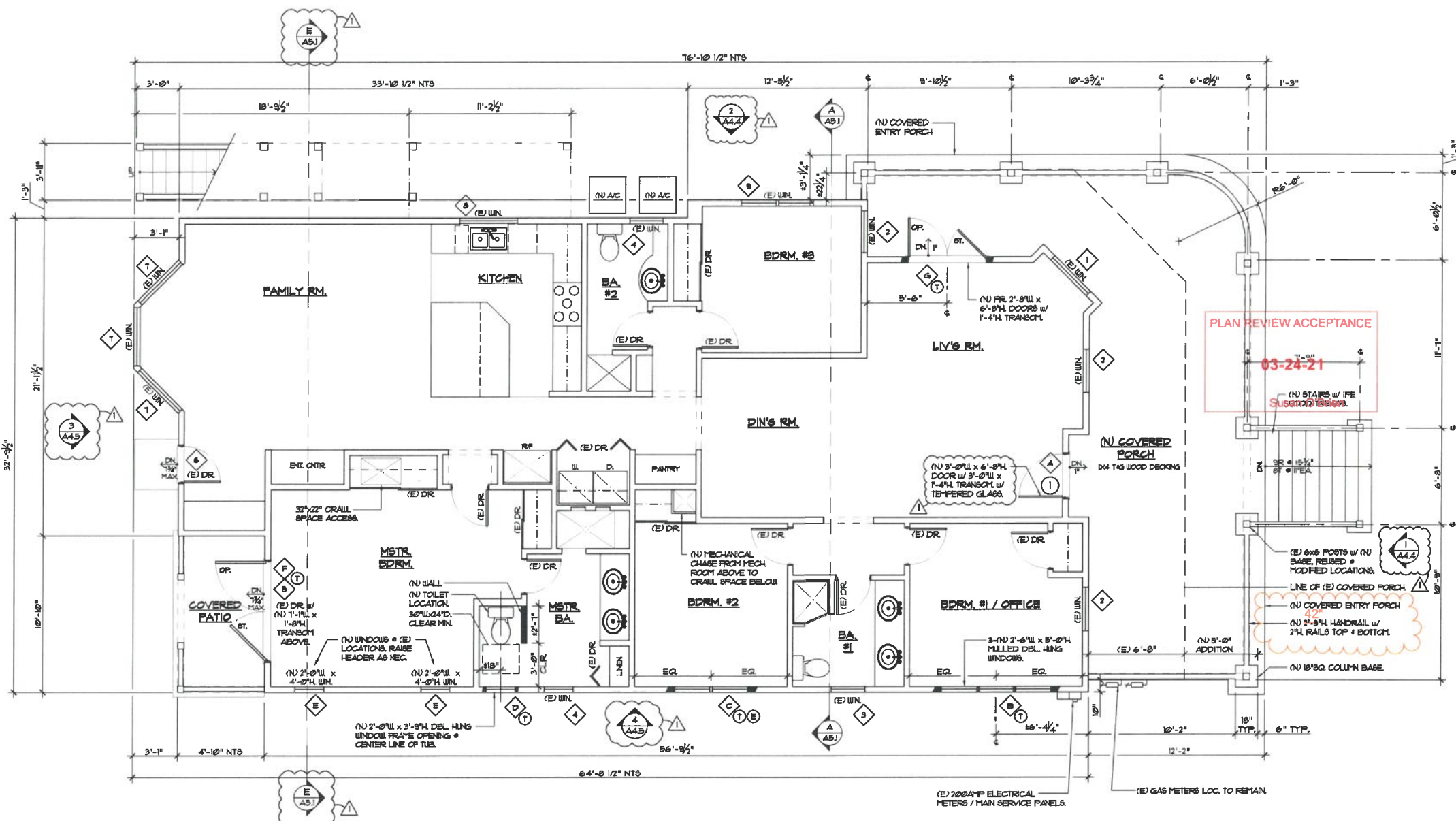
WALL / SYMBOL LEGEND

- NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" GYP. BD. & INTERIOR FINISH. SEE FINISH SCHEDULE, STRUCTURAL PLANS AND SECTIONS FOR WATERPROOF 1/2" TYPE "X" GYP. BD. AND SHEAR WALL LOCATIONS.
- NEW 2" FURRED WALL.
- EXISTING WALL / CONSTRUCTION (I.E. DOORS, WINDOWS, BUILT-INS, ETC.) TO BE REMOVED.
- EXISTING WALL / CONSTRUCTION (I.E. DOORS, WINDOWS, BUILT-INS, ETC.) TO REMAIN.
- NEW OPENING IN EXISTING WALL.
- 2x WALL w/ SOUND ISOLATION BATTs.
- LINE OF WALL, BEAM, SOFFIT OR CABINET ABOVE.
- POLE w/ SHELF ABOVE.

- (N) WINDOW TYPE - LETTER.
- (N) DOOR TYPE - NUMBER.
- TEMPERED SAFETY GLASS LOCATION.
- EGRESS WINDOW.
- SELF-CLOSING DOOR.
- REVISION MARK - NUMBER.
- INTERIOR ELEVATION TAG - LETTER.
- EXTERIOR ELEVATION TAG.
- DETAIL MARK - NUMBER / SHEET.
- BUILDING SECTION - LETTER / SHEET.
- TOP OF SUB FLOOR (ELEVATION).
- DOWNSPOUT TO SPLASH BLOCK & GRADE.
- DOWNSPOUT CONNECTED TO UNDERGROUND DRAINAGE PIPING.

FLOOR PLAN NOTES

1. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE. VERIFY AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING THE WORK. TEL: (408) 712-3502.
2. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD, POST, OR CHU WALL, UNLESS OTHERWISE NOTED.
3. VERIFY IN THE FIELD, ALL DIMENSIONS WITH THE SETBACK LINE.
4. ALL INTERIOR ELEVATION DIMENSIONS ARE TO FINISH SURFACE, SHEET ROCK OR CABINET, UNLESS OTHERWISE NOTED.
5. CENTER ALL WINDOWS/DOORS OR OPENINGS ON INSIDE WALLS UNLESS OTHERWISE DIMENSIONED.
6. SEE SITE PLAN, SHEET AU FOR FURTHER INFORMATION REGARDING TERRACES, STEPS, PORCHES, PATIOS, DECKS AND OTHER SITE DEVELOPMENT.
7. SEE STRUCTURAL DRAWINGS FOR LOCATION OF 2x6 STUDS, WALLS, SHEAR WALLS, POSTS, FRAMES AND ALL OTHER STRUCTURAL "MEMBERS".
8. LOCATE ALL WATER CLOSETS AT 5" MIN. FROM CENTER TO ADJACENT WALL AND 30" MIN. CLEAR. PROVIDE 24" MIN. CLEAR IN FRONT OF FIXTURE.
9. PROVIDE MINIMUM 22"x30" ATTIC ACCESS TO EACH ATTIC AREA. A 30" MIN. CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE ACCESS. CRC SEC. 807.1.
10. ONE WINDOW/DOOR FROM EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT (3.0 SQFT WHEN WINDOW IS AT FLOOR / GRADE LEVEL) WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OF THE FLOOR.
11. AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST w/ THEIR BACKGROUND, SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMERALS SHALL BE A MIN. OF 4" HIGH, WITH A MIN. STROKE WIDTH OF 1/2 INCH. REFER TO CBC 5012.
12. PROVIDE A MINIMUM INSULATION OF R-15 AT ALL EXTERIOR WALLS, R-30 INSULATION AT SLOPED CEILING RAFTERS AT VAULTED CEILINGS AND R-38 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT CEILINGS.
13. PROVIDE MINIMUM 18"x24" UNDER-FLOOR CRAWL SPACE ACCESS PIPES, DUCTS AND OTHER NONSTRUCTURAL CONSTRUCTION SHALL NOT INTERFERE WITH THE ACCESSIBILITY TO OR WITHIN UNDER-FLOOR AREAS. CRC SEC. 408.4.
14. PROVIDE A MINIMUM OF 5% GRADE SLOPE AWAY FROM THE FOUNDATION AROUND BUILDING.
15. WALL COVERING SHALL BE TILE, MIN. 12" ABOVE DRAIN AT ALL SHOWERS OR TUB / SHOWER UNITS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. (CRC 3012).
16. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
17. SEE INTERIOR ELEVATIONS FOR EXTENT OF CABINETRY, PANEL, CASINGS & TRIM.
18. REQUIRED FIRE BLOCKING TO BE INSTALLED PER CRC SECTION R502.1.



PLAN REVIEW APPROVAL
04.06.2021
N
GRAPHIC SCALE
TOWN OF LOS GATOS
BUILDING DIVISION
(IN FEET)
1 inch = 4 ft.

NEW GROUND FLOOR PLAN

REVISIONS	BY
PLAN CHECK 03/23/2021	DB
PLAN CHECK 03/23/2021	DB



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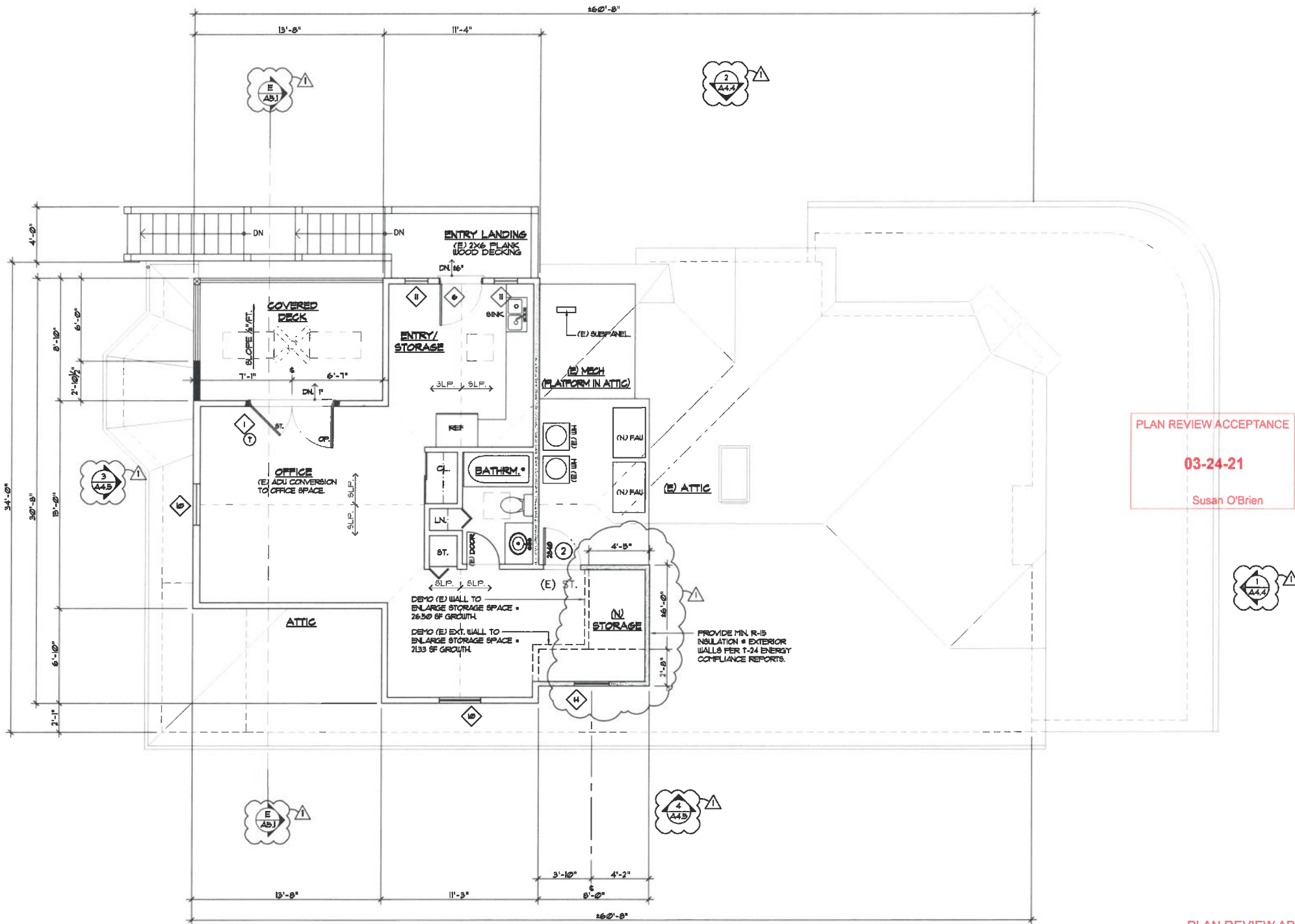
SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2018-071
DATE: 02/16/2021

A2.2

WALL / SYMBOL LEGEND

	NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" GYP. BD. & INTERIOR FINISH. SEE FINISH SCHEDULE. STRUCTURAL PLANS AND SECTIONS FOR WATERPROOF 1/2" TYPE 'X' GYP. BD. AND SHEAR WALL LOCATIONS.
	NEW 2" FURRED WALL.
	EXISTING WALL / CONSTRUCTION (I.E. DOORS, WINDOWS, BUILT-INS, ETC.) TO BE REMOVED.
	EXISTING WALL / CONSTRUCTION (I.E. DOORS, WINDOWS, BUILT-INS, ETC.) TO REMAIN.
	NEW OPENING IN EXISTING WALL.
	2x WALL w/ SOUND ISOLATION BATTs.
	LINE OF WALL, BEAM, SOFFIT OR CABINET ABOVE.
	POLE w/ SHELF ABOVE.
	(N) WINDOW TYPE - LETTER.
	(N) DOOR TYPE - NUMBER.
	TEMPERED SAFETY GLASS LOCATION.
	EGRESS WINDOW.
	SELF-CLOSING DOOR.
	REVISION MARK - NUMBER.
	INTERIOR ELEVATION TAG - LETTER.
	EXTERIOR ELEVATION TAG.
	DETAIL MARK - NUMBER / SHEET.
	BUILDING SECTION - LETTER / SHEET.
	TOP OF SUB FLOOR (ELEVATION).
	DOWNSPOUT TO SPLASH BLOCK @ GRADE.
	DOWNSPOUT CONNECTED TO UNDERGROUND DRAINAGE PIPING.



PLAN REVIEW APPROVAL
04.06.2021
TOWN OF LOS GATOS
BUILDING DIVISION
GRAPHIC SCALE
(IN FEET)
1 inch = 4 ft.

REMODELED UPPER FLOOR PLAN

REVISIONS	BY
	PLAN CHECK 07/27/2018 DB
	PLAN CHECK 03/23/2021 DB



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E-mail: dvhernandez@pacbell.net

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2019.01
DATE: 02/26/2021

A2.3

ROOF PLAN NOTES

1. ROOFING MATERIALS TO HAVE A FIRE RATING OF CLASS A OR BETTER.
2. ALL GUTTERS & DOWNSPOUTS TO BE GSH-PAINTED AND MATCH EXISTING.
3. ALL EXHAUST VENTS, FLUES AND STACKS ARE TO BE GROUPED AND LOCATED ON THE REAR YARD OF ROOF - VERIFY LOCATION W/ ARCHITECT.
4. OPERATING SKYLIGHTS, IF APPLICABLE, ARE TO BE 10" FROM OR 3' BELOW A PLUMBING VENT, 4' FROM OR 1' BELOW A GAS FLUE, AND 3' FROM AND 1' BELOW AN AIR EXHAUST DUCT. OTHERWISE IT MUST BE FIXED.
5. ALL VALLEY FLASHINGS TO BE MIN. 26 GA. GALVANIZED SHEET METAL - PAINTED TO MATCH ROOF MATERIAL COLOR.
6. ALL MISC. SHEET METAL FLASHING, VALLEYS, FLUES, ETC., TO BE PAINTED TO BLEND WITH FINISHED ROOF COLOR.
7. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/4" AND SHALL NOT EXCEED 1/4". REFER TO CBC 1203.2.1.
8. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
9. PROVIDE R-30 INSULATION AT SLOPED CEILING RAFTERS AT VAULTED CEILING, AND R-38 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT CEILING. REFER TO T-24 ENERGY COMPLIANCE FORM.

ATTIC VENTILATION CALCULATIONS

ATTIC VENTILATION CALCULATION:

NOTES:

1. AT EAVE BLOCKING, VENT THROUGH (3) 2 1/2" SCREENED VENTS • EVERY VENTED BAY. REFER TO DETAIL 1A4.1 & BELOW FOR WHICH BAYS TO VENT.
2. AREA OF (3) 2 1/2" EAVE VENTS • 0.003 SQ.FT. OF VENTILATION PER BAY.
3. 6"x10" EYEBROW VENT PROVIDES 0.15 SQ.FT. PER VENT.

CALCULATIONS:

ATTIC AREA • OFFICE • 624.0 SQ. FT.

624.0 SQ.FT. / 3000 SQ.FT. • 0.0208 SQ.FT. OF VENTILATION REQ'D.

(THE OPENING AREA SHALL BE 1/3000 OF THE AREA OF THE SPACE VENTILATED PER CBC 1203.2 EXEMPTION 1)

VENTING • EAVES:

1. 0.02 / 2 • 0.01 OF MIN. VENTING IS REQ. • LOWER PORTION OF ROOF.

2. THERE ARE 18 EAVES • OPEN ATTIC SPACE.

VENT ALL 18 OF THOSE BAYS.

18 x 0.003 • 0.054 SQ. FT. OF VENTILATION • EAVES.

VENTING • RIDGES:

1. 50% OF VENTILATION MUST COME FROM UPPER ROOF, THEREFORE 0.01 IS REQ.

2. 0.01 / 0.154 PER EYEBROW VENT • 181 OR 2 EYEBROW VENTS REQUIRED.

2 x 0.154 VENT • 0.308 SQ.FT. OF VENTILATION • RIDGES

TOTAL ROOF VENTILATION PROVIDED • KIT/DING:

0.054 SQ. FT. • 0.308 SQ. FT. • 0.362 SQ. FT. TOTAL VENTILATION PROVIDED • ATTIC OVER OFFICE

ATTIC AREA ABOVE GROUND FLOOR • 175.8 SQ. FT.

175.8 SQ.FT. / 3000 SQ.FT. • 0.0586 SQ.FT. OF VENTILATION REQ'D.

(THE OPENING AREA SHALL BE 1/3000 OF THE AREA OF THE SPACE VENTILATED PER CBC 1203.2 EXEMPTION 1)

VENTING • EAVES:

1. 0.0586 / 2 • 0.0293 OF MIN. VENTING IS REQ. • LOWER PORTION OF ROOF.

2. THERE ARE 24 EAVES • OPEN ATTIC SPACE.

VENT ALL 24 OF THOSE BAYS.

24 x 0.003 • 0.072 SQ. FT. OF VENTILATION • EAVES.

VENTING • RIDGES:

1. 50% OF VENTILATION MUST COME FROM UPPER ROOF, THEREFORE 0.0147 IS REQ.

2. 0.0147 / 0.154 PER EYEBROW VENT • 171 OR 2 EYEBROW VENTS REQUIRED.

2 x 0.154 VENT • 0.308 SQ.FT. OF VENTILATION • RIDGES

TOTAL ROOF VENTILATION PROVIDED • KIT/DING:

0.072 SQ. FT. • 0.308 SQ. FT. • 0.380 SQ. FT. TOTAL VENTILATION PROVIDED • 1ST FLR. ATTIC

ATTIC AREA • COVERED PORCH • 399.0 SQ. FT.

399.0 SQ.FT. / 3000 SQ.FT. • 0.133 SQ.FT. OF VENTILATION REQ'D.

(THE OPENING AREA SHALL BE 1/3000 OF THE AREA OF THE SPACE VENTILATED PER CBC 1203.2 EXEMPTION 1)

VENTING • EAVES:

1. 0.133 / 2 • 0.0665 OF MIN. VENTING IS REQ. • LOWER PORTION OF ROOF.

2. THERE ARE 35 EAVES • OPEN ATTIC SPACE.

VENT EVERY 3RD EAVE. 35/3 • 11 VENTED EAVE BAYS.

11 x 0.003 • 0.033 SQ. FT. OF VENTILATION • EAVES.

VENTING • RIDGES:

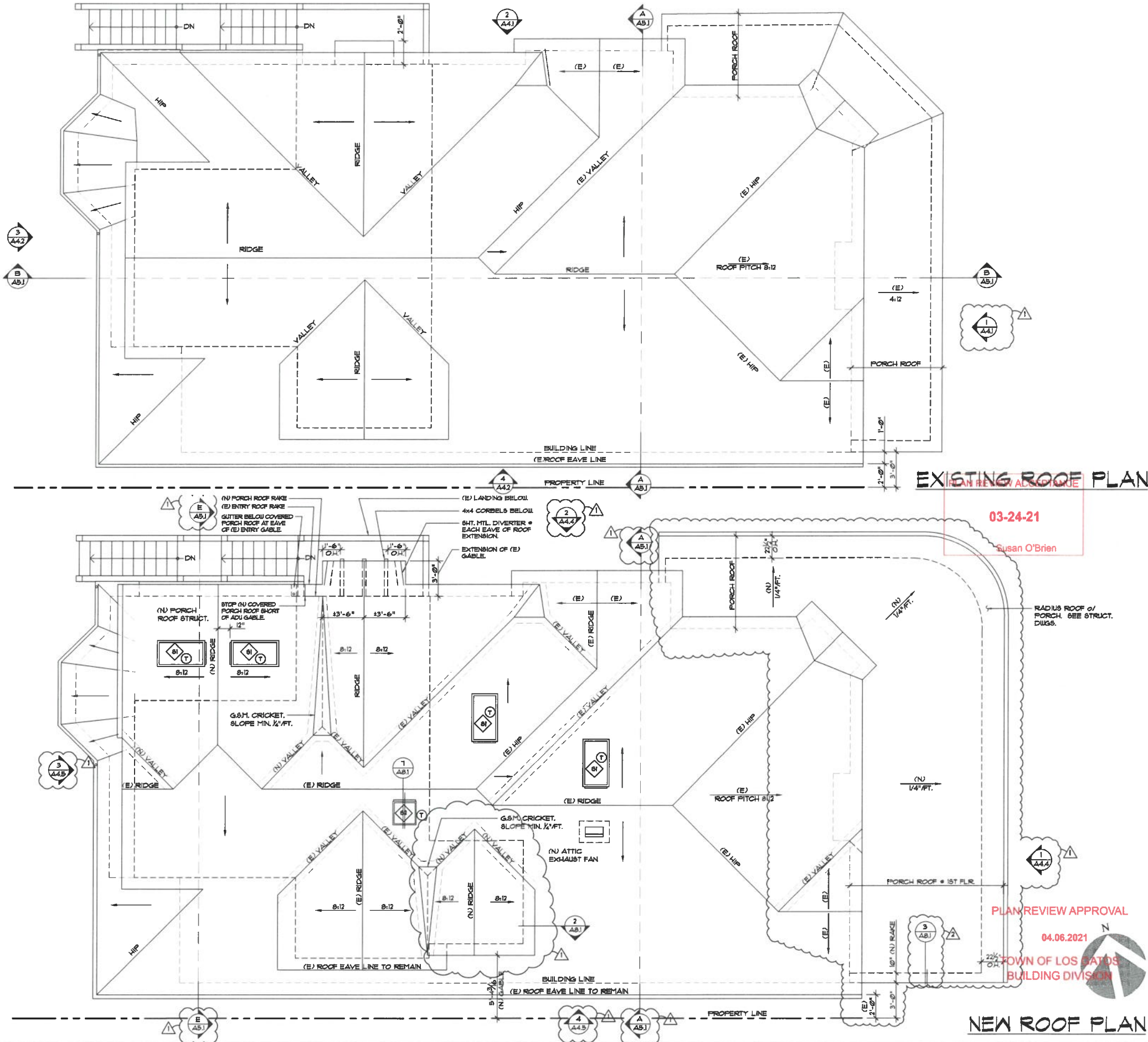
1. 50% OF VENTILATION MUST COME FROM UPPER ROOF, THEREFORE 0.0333 IS REQ.

2. 0.0333 / 0.154 PER EYEBROW VENT • 88 OR 1 EYEBROW VENT REQUIRED.

1 x 0.154 VENT • 0.154 SQ.FT. OF VENTILATION • RIDGES

TOTAL ROOF VENTILATION PROVIDED • KIT/DING:

0.033 SQ. FT. • 0.154 SQ. FT. • 0.187 SQ. FT. TOTAL VENTILATION PROVIDED • COVERED PORCH



REVISION	BY
1. PLAN CHECK 07/27/2018	DB
2. PLAN CHECK 09/20/2018	DB

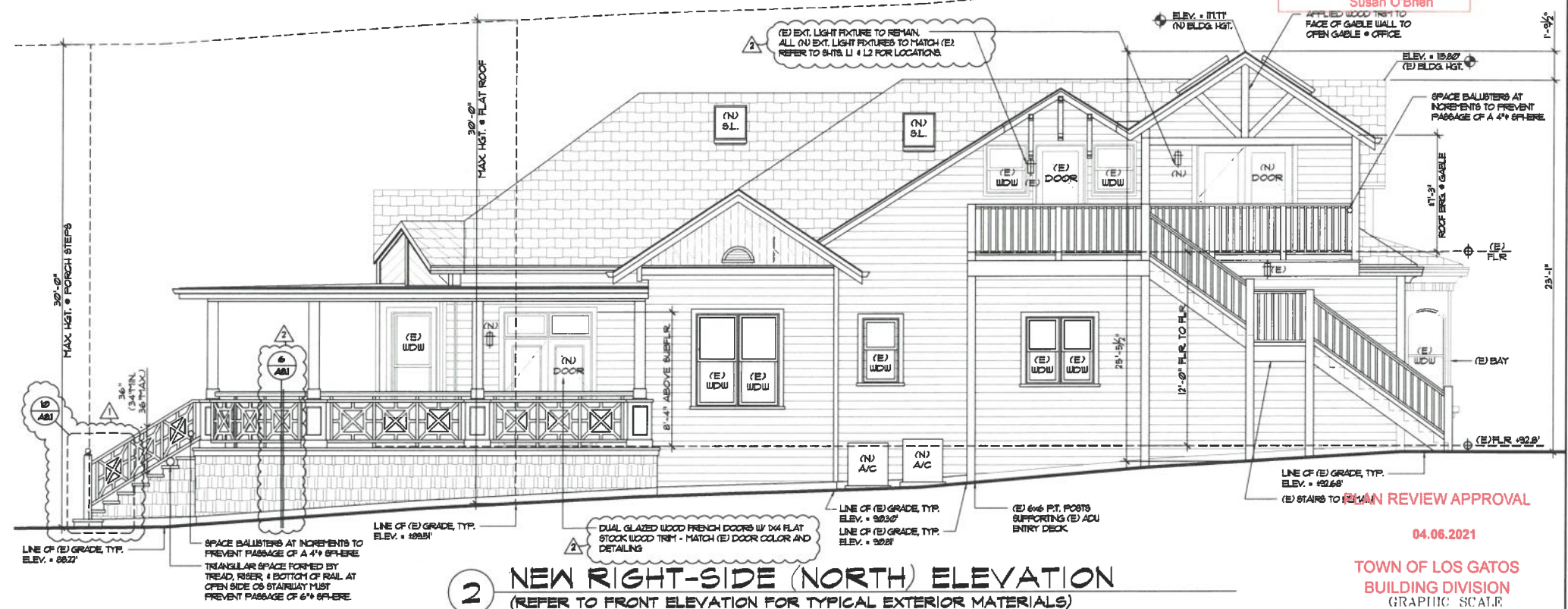
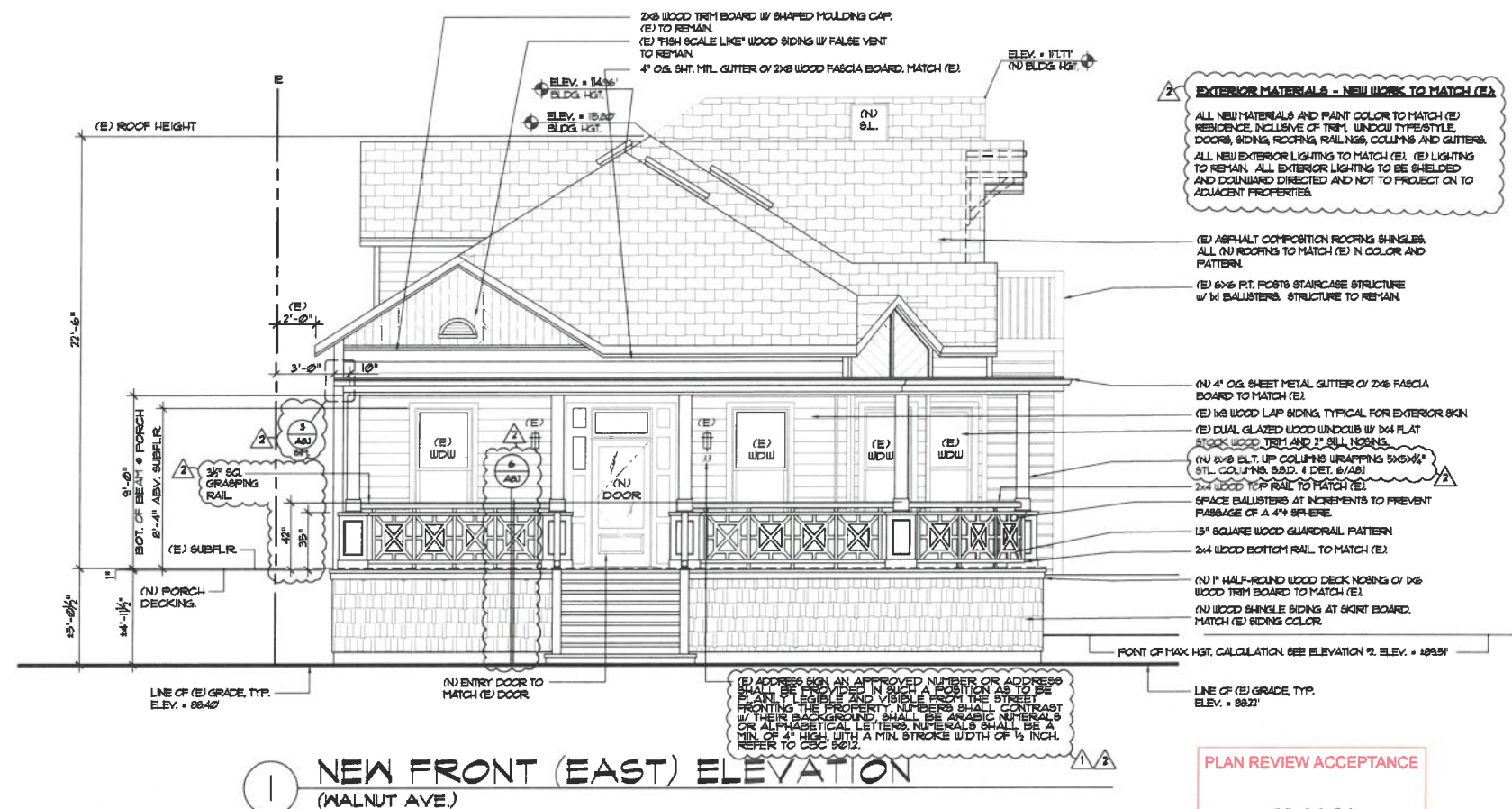
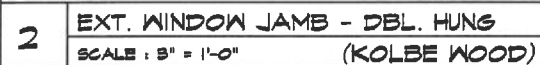


HERITAGE ARCHITECTURE
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P: (408) 772-3502 VM: (408) 298-0998
E-mail: dvhernandez@pacbell.net

SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2018071
DATE: 02/16/2019

A3.1



HERITAGE ARCHITECTURE
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SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

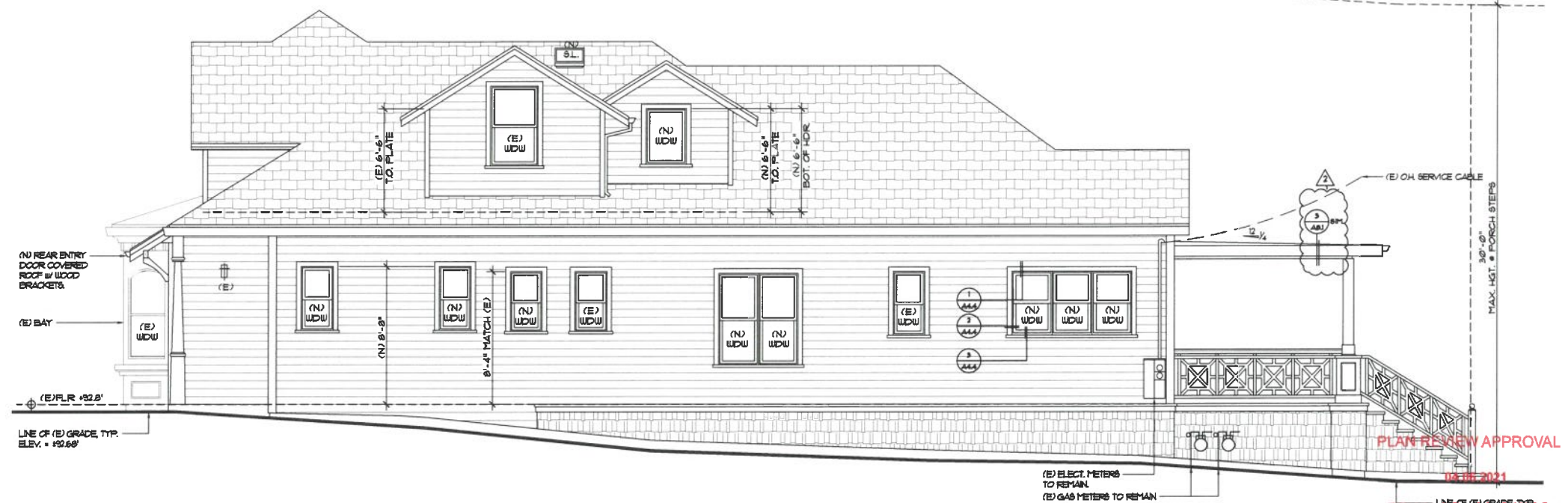
RAIN: DB/DVH
SCALE: 1/4" = 1'-0"
DB NO. 201001
DATE: 02/26/2021

A4.4



3 NEW REAR (WEST) ELEVATION
(WISSAHICKON AVE.) (REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)

PLAN REVIEW ACCEPTANCE
03-24-21
Susan O'Brien



4 NEW LEFT-SIDE (SOUTH) ELEVATION
(REFER TO FRONT ELEVATION FOR TYPICAL EXTERIOR MATERIALS)

PLAN REVIEW APPROVAL
03-24-21
TOWN OF LOS GATOS
BUILDING DIVISION
GRAPHIC SCALE
(IN FEET)
1 inch = 4 feet

REVISIONS	BY
PLAN CHECK 03/24/21	DB
PLAN CHECK 03/24/21	DB



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SIEGEL RESIDENCE REMODEL/ADDITION
33 WALNUT AVE. LOS GATOS, CA

DRAWN: DB/DVH
SCALE: 1/4" = 1'-0"
JOB NO. 2018.07
DATE: 02/16/2021

A4.5

Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Property: 33 Walnut Avenue

Subject: Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Inventory

Enclosed:

- 1) Historical accounting of changes made to the property since built
- 2) Diagrams showing what has already been permitted
- 3) Photos of what has already been built under the HPC approved permitting
- 4) Justification for removal of a pre-1941 property from the historic inventory

Resources consulted:

- Anne Bloomfield Survey
- Oral history account from long-established neighbor
- Prior permitted plans filed by Oveyssi detailing changes
- Prior HPC review documents
- Built environment - Historical artifacts remaining of the original roofing frame in attic

History of Property Since Built:

Unlike other lots in the neighborhood, 33 Walnut fronts onto two streets - Walnut and Wissahickon. This means that changes made to the rear of the Walnut-facing home are clearly visible from Wissahickon, and vice versa. There is no way to 'hide' exterior structural changes from viewing by either of these two streets.

Early Era:

33 Walnut started off as a small, one-bedroom cottage, not unlike the small one-bedroom homes to its neighboring immediate left and right, but since then has undergone successive waves of alterations and expansions by multiple owners over time, leaving to today resembling little of its original design. It was constructed around 1890 (exact date not definitively documented) in the Queen Anne style that was popular at that time, serving as a summer home for its first residents, Don and Joan Glod. There is some reference to a William and Maybelle Peed who appear to have purchased the cottage in the 1920's, and changing it before selling to the Montgomery family. This is likely when the fireplace was removed with the advent of electricity brought to Los Gatos.

The property was later sold to Rutherford and Eunice Montgomery in 1948 where it became their primary residence. Rutherford was an author of children's books and raised his family here before passing away in 1985. During the time that the Montgomery family lived here, extensive modifications were made to both the interior and exterior of the house to make it suitable to raise a growing family. On the exterior, the rear of the house was enlarged by adding a glassed-in rear porch along with further expanding the footprint by adding a room adjacent to the kitchen. Later, following his death in 1985, a second-story addition was built on top of the enclosed rear porch with exterior staircase extending into the rear of the yard, not visible from Walnut Avenue. This second story was significant in changing the roofline while adding mass, becoming the second significant modification to a family residence that began as a small, single-story, Queen Anne styled cottage.

Oveyssi Era:

Following the death of Eunice Montgomery in July 2006, the house was sold to Michael Oveyssi who devoted nearly two years on its third major modification further expanding the footprint and changing both the interior and exterior of the house. His intent was to expand and modernize the house before flipping it, but due to the 2008 housing market downturn, kept it as a rental property until selling it its current owner in

2016. It was during that extensive rebuild by Oveyssi that the entire interior of the house was gutted, the footprint further enlarged, and interior space reconfigured and restyled. This expansion included demolition of the rear porch before newly constructing roughly 500sf onto the back of the house, plus expanding the second-story living space. This second story expansion completely altered the roofline transforming it from the small shed dormer into a three-gabled profile that added high interior ceilings and enlarged living space. This expansion also entailed first demolishing the rear facing exterior staircase built by the Montgomery family and then building a new exterior staircase and landing onto the north-facing side of the house that offers views into neighboring properties to the North. This dramatically transformed skyline is prominent when viewed from Wissahickon and also from Walnut when approaching the house from either the South or North. During this time period, all windows were replaced with modern, dual-pane windows including the addition of arched windows that starkly deviated from the original Queen Anne cottage.

What originally began as a small one bedroom, one bath, approximately 889sf summer cottage has been transformed into a two-story 2620sf sprawling five-bedroom, four-bath family residence. The once-small summer cottage no longer remains. In addition, in 2008 Mr. Oveyssi demolished the historic tin-clad structure facing Wissahickon, replacing it with a modern-day, ranch-style two-car garage transforming the appearance of the property from that frontage street. The one area left untouched by all prior owners throughout its life was the wraparound front porch. Unfortunately, after decades of neglect exacerbated by damage inflicted by storms approaching from the east and southern exposures, the front porch was structurally compromised. Rotted decking, failing structural beams and weakened foundation created an unsafe condition. The stairs were replaced by 2x8 slats of rough lumber before the property was placed on the market by Oveyssi in 2016. The residence was then sold to the current owner in October 2016 in this compromised condition.

Present Era:

A once-upon-a-time, small, single-story Queen Anne cottage with small tin-clad horse shelter bears no resemblance to the existing lot now housing dual, two-story residential structures. The brew of demolitions, alterations, and additions over the past century was recently perpetuated with the complete demolition of the badly deteriorated front porch. The newly constructed porch differs in size, depth, roofline height and distinctive radius corner contributing to the improved structural integrity of the house. Concrete and steel have replaced old wood support structure. The porch changes, as approved by the HPC in 2019, retains a Queen Anne architectural style. But burdened with conforming to modern-day seismic and safety codes, it nonetheless is an abandonment of the historic materials, original construction methods, and low-slung railing design; that are among the tests for being designated historic. While the house already differed in every respect (shape and size and height) from the south, west, and north elevation views, it now differs from the east elevation view as well.

As part of that permitted renovation, engineering specified a structural reinforcement of the front (East facing) house wall. This required removal of the siding to attach tie-downs to foundation four feet below and to add vertical framing members to the thinly-built front wall frame. The town code disallows removing more than 25% of the front wall of a historic house, and while the wall itself was structurally reinforced, not removed (only the siding removed in order to reinforce the wall), the town staff interprets the language of the code to mean excluding even the removing of the siding. This runs contrary to the interpretation by the property owner, builder, and architect and resulted in the property owner being assessed a fine and the property assessed as a technical demolition of the entire house.

Carriage House – living space above detached garage:

Most recently, beginning in 2021, and continuing into early 2022, the two-car, single-story ranch-style garage, facing Wissahickon, has been transformed into a two-story structure that contains an 800SF residence over a three-car garage. While growing the housing stock (ADU) for Los Gatos, and providing EV

charging for three electric vehicles, the tall structure dominates the skyline from both Wissahickon and from the rear windows of the main residence. The newly-built structure is visible as well from Walnut Avenue given its mass and towering height, amplified by its high topological position on the lot. The roofline sits about thirty-seven feet above Walnut Avenue making it impossible to miss from any viewpoint. In summary, little about the property at 33 Walnut, when viewed from either Walnut or Wissahickon looks anything like the small summer cottage and accompanying tin-clad horse shelter that once stood.

Today's Request of the HPC:

Today, the request is before the HPC to remove the extensively altered residence from the historic inventory. It simply fails to meet the tests of being historically significant by state or local standards, and should therefore be removed from the historic inventory. With decades of successive changes to both the residence and the entire lot, nothing about the house actually meets the state or local tests for historical preservation.

The information provided below to the HPC clearly shows that the property does not meet the criteria of the state or local policies and regulations for designating a historic property. The information describes in detail that the property has not contributed to the cultural heritage of California, is not associated with an important person of history, has lost if any existed, significantly distinctive architectural characteristics through many alterations, demolitions and expansions, and does not yield important information for history.

Enclosed are diagrams, previously approved by HPC and permitted in 2021, that showed the pre-existing and permitted changes to the main residence. The front porch work has been largely completed, with a new concrete and steel foundation, flattened roof, and steel posts that provide structural integrity to both the porch and front wall of the house. Remaining for completion is adding the new porch decking, railing, and skirting.

Changing Character of Walnut Avenue:

Unlike streets in the Los Gatos Historic Districts, Walnut Avenue is an eclectic and rural street (no sidewalk improvements) sporting a mixture of architectural styles and ages, with the most recently built, in 2010, home located two lots to the north in a faux-craftsman style ranch home. To the immediate south is a small, single-story, single-bedroom Spanish-style house. Directly across the street at 32 Walnut Avenue is a 1900-built house previously removed from the historic inventory and now scheduled for demolition, to be replaced by a two-story residence of far greater mass and livable space. Walnut Avenue is not in a historic district. The residence at 33 Walnut Avenue, in its original form, would have more closely resembled these neighboring, small homes in size and scale.

Lot Layout Differs:

In addition, the layout of structures on the lot, which has an elongated shape of 50 feet wide and 160 feet deep, has undergone significant change. Where once stood a tin-fabricated horse shelter facing onto Wissahickon, now sits a two-story Carriage House with new residence sitting over a three-car garage. As a result, the site bears little resemblance or feel to when the main residence was built on the lot.

In summary, the changed layout of structures on the lot, the building mass-to-lot ratio, and the changed size, shape and mass of the original residence, together with the newly built, seismically sound front porch has collectively transformed the lot and dual residences into property that bears little resemblance to what was built around 1890. That cottage has disappeared under the successive waves of substantial changes made over the decades leaving nothing that the state of California would consider historic.

California Register of Historical Resources (CRHR)²

The California Register of Historical Resources is “an authoritative listing and guide to be used by state and local agencies, private groups and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change” (Public Resources Code Section 5024.1[a]). The criteria for eligibility to the California Register are based on National Register criteria (Public Resources Code Section 5024.1[b]). Certain resources are determined by the statute to be automatically included in the California Register, including California properties formally determined eligible for or listed in the National Register. To be eligible for the California Register as a historical resource, a prehistoric or historic-period resource must be significant at the local or state level under one or more of the following criteria:

- 1) It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

The property at 33 Walnut Avenue, once a small, Queen Anne styled single-story cottage, is not associated with events that contributed to the broad patterns of local or regional history, nor the cultural heritage of California. Neither is it located in a historic district of town.

- 2) It is associated with the lives of persons important to local, California, or national history;

The subject property has no known historic relevance related to people or events. Prior owners were not prominent in the community nor in local, California, or national history.

- 3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values

The original, small summer cottage was designed in the Queen Anne style, accentuated most prominently by its shallow depth porch with low-slung roof and dangerously low railing height as the porch sits six feet above the surrounding grade. The cottage has evolved over the decades into a two-story residence that is nearly twice the size of the original with different proportions, massing, roofline, and a character-defining wraparound front porch that while built in the Queen Anne style appearance-wise, bears no historic relevance to the original porch due to state-mandated utilization of modern materials and construction methods. Demolitions in front and back, additions in front, back, and second-story plus major remodeling using modern materials makes the residence not distinctive of a historic type, period, region or method of construction. It does not represent the work of a master or possess high artistic value.

- 4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

The site is not near or part of a historic site and has been graded for construction and landscaping. It is unlikely to yield information important to the history or prehistory of the area. The building that stands today is mostly recent construction and cannot yield important information from history.

Finding: The property at 33 Walnut Avenue does not meet the criteria to be listed in the California Register of Historical Resources.

For a resource to be eligible for the California Register, it must also retain enough integrity to be recognizable as a historical resource and to convey its significance.

Although the property at 33 Walnut Avenue is not found to be historically significant, a comparison to the original design and fabrication reveals the building to have been substantially altered and does not meet the criteria for retaining integrity.

Integrity:

Integrity is the ability of a property to convey its significance. To be listed in the National Register of Historic Places, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. The evaluation of integrity is something of a subjective judgment, but it must always be grounded in an understanding of a property's physical features and how they relate to its significance. Historic properties either retain integrity (convey their significance) or they do not. Within the concept of integrity, the National Register criteria recognizes seven aspects or qualities that, in various combinations, define integrity. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Determining which of the aspects are most important to a particular property requires knowing why, where, and when the property is significant.

The following defines the seven aspects and how they combine to produce integrity. A rule of thumb is to consider whether the original owner would recognize the building and how it once functioned. There is no question that the original owner would fail to recognize the small cottage that he built over a century ago.

SEVEN ASPECTS OF INTEGRITY:

Location:

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved or partly demolished.

The property is not located in a historic district.

Design:

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

The present design in form, space, structure and style differs from what was originally built in 1890. When viewed from all four elevations, the modifications don't resemble a small, single-story cottage nor its original style.

Setting:

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the character of the place in which the property played its historical role. It involves how, not just where, the property is situated and its relationship to surrounding features and open space. Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is

positioned in its environment can reflect the designer's concept of nature and aesthetic preferences. The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its surroundings. This is particularly important for districts.

Where once there was a small Queen Anne styled cottage and a tin-clad horse shelter on a wide-open lot spanning two streets, today there are two residential structures co-existing on that lot eliminating any sense of openness. Both structures are quite visible from Walnut Avenue and Wissahickon. These two, large massed buildings are a complete departure from the small cottage first built on the lot. Due to vastly higher topology of Wissahickon, the Carriage House looms large overshadowing the primary residence. When viewed from Walnut, the Carriage House is quite visible with its rooftop towering some 37 feet above the street grade of Walnut Avenue.

Materials:

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place. A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historical resource, not a re-creation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible.

While it would have been nice to have preserved the historic, original railing and lathed wooden posts on the front porch, modern building codes imposed by the state and local authorities pre-empted that option. Seismic and human safety factors trumped preservation of historical materials.

Workmanship:

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

The workmanship methods used to build the original front porch were dramatically different from modern building methods that must take into account seismic and other factors. These factors that shape modern building codes prevailed over reconstructing the porch based on original construction and design methods. Likewise, most of the construction methods and materials used throughout the many structural changes to the house differ from how homes were constructed in the late 1800's.

Feeling:

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century.

Due to changes in building mass, altered roofline, removal of historic elements including fireplace/chimney (before electricity was added), original windows and doors, complete reconfiguration and remodel of interior spaces, changed proportion of multiple physical structures to land, and the inability to reuse front porch historic materials due to safety and structural factors, there is little feeling elicited of a historic period in time. A five-bedroom, four-bath, two-story residence feels entirely different than a small cottage with open land behind it.

Association:

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.

There is no known association of the property with any historic event or person. The aspect of association cannot be applied because no event or person of importance is associated with the property.

CRHR SUMMARY:

The 1890-91 dated architecture, embodied in a small Queen Anne cottage, was remodeled and enlarged first in the 1920's by the Peed's, then again in the 1940/50's by the Montgomery's, again in 2007/8 by Michael Oveyssi, and finally again in 2021 by the present owner. Over this succession of changes, every aspect of the house has changed. Given the sweeping breadth of these successive waves of changes over the decades, little remains of any historic aspects of the original, small one-bedroom, one-bath cottage. The small neighboring one-bedroom house to the right, at 41 Walnut is a good reference point to grasp what the original house would have looked like, other than the front porch distinction.

The feeling of the lot as shaped by the views of the lot and beyond, from inside the residence, the proximity to another large, two-story structure that looms large above the original residence, creates a feeling far removed from a once-small cottage on a wide-open lot with unobstructed views of the surrounding mountains when first built.

Transforming a single-story small cottage into a larger footprint, two-story house caused a loss of integrity. After the 2007/8 remodeling and the additions to the original house, there was further loss of integrity. Of the seven aspects of integrity, not even the aspect of location is present given how dramatically altered the layout of structures on the lot is today. The design has changed, historic materials have been replaced with steel and other contemporary, structurally rigid materials and using construction methods needed to meet today's stringent building codes, the original workmanship is lost. The setting has changed from a once open setting to both Walnut and Wissahickon, to a setting of multiple buildings in close proximity where the once-cottage mountain views now look out onto a two-story second building that sits ten feet higher on the lot due in part to topology. The feeling of a small cottage has changed to one of a large massed, two-story house with altered front façade, albeit seismically sound.

Findings: The property does not meet the criteria for significance or integrity, is not a significant historical resource, and is not eligible for listing in the California Register of Historical Resources.

Town of Los Gatos:

The following Town of Los Gatos 2020 General Plan goals and policies relating to archaeological and historical resources are applicable to consider.

Goal OSP-9 To protect Los Gatos's archaeological and cultural resources to maintain and enhance a unique sense of place. Policy OSP-9.1 Evaluate archaeological and/or cultural resources early in the development review process through consultation with interested parties and the use of contemporary professional techniques in archaeology, ethnography, and architectural history.

The property was researched and then evaluated for cultural and architectural importance. Nothing of substance was discovered.

Goal CD-12 To preserve significant historic and architectural features within the Town.

The research and evaluation show that the buildings on the property are not significant features in Los Gatos. In the immediate area, several of the earlier houses have been reconstructed to larger buildings in different architectural styles. These include homes on upper Pennsylvania Avenue, on Walnut Avenue, on Wissahickon, and on Ellenwood. The property location is not within a historic district.

Division 3. Historic Preservation and LHP or Landmark and Historic Preservation Overlay Zone
Sec. 29.80.215. Purposes.

It is hereby found that structures, sites, and areas of special character or special historical, architectural or aesthetic interest or value have been and continue to be unnecessarily destroyed or impaired, despite the feasibility of preserving them. It is further found that the public health, safety, and welfare require prevention of needless destruction and impairment, and promotion of the economic utilization and discouragement of the decay and desuetude of such structures, sites and areas. The purpose of historic preservation is to promote the health, safety, and general welfare of the public through:

- (1) The protection, enhancement, perpetuation, and use of structures, sites, and areas that are reminders of past eras, events, and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.
- (2) The development and maintenance of appropriate settings and environment for such structures.
- (3) The enhancement of property values, the stabilization of neighborhood and areas of the Town, the increase of economic and financial benefits to the Town and its inhabitants, and the promotion of tourist trade and interest.
- (4) The enrichment of human life in its educational and cultural dimensions by serving aesthetic as well as material needs and fostering knowledge of the living heritage of the past.

The Town recognizes a historical resource as follows: any structure/site that is located within a historic district, any structure/site that is historically designated, or any primary structure constructed prior to 1941 *unless the Town has determined that the structure has no historic significance or architectural merit.*

Finding: The Town has designated the historic districts of Almond Grove, Broadway, Los Gatos Commercial, Fairview Plaza and University/Edelen. All the historic districts are located in the

historic core area of Los Gatos. The subject property is not in a designated historic district. The main house has been extensively altered and enlarged, and does not exhibit special character; or special historical, architectural, or aesthetic interest; or value to the built environment of Los Gatos. The Carriage House building, landscaping, and second story expansion has been constructed since 2006 and are not contributing to nor preserving any historic value.

California Environmental Quality Act (CEQA)

In the historical resource section of CEQA, the concern is directed toward any project that may create an adverse change to any historical resource. CEQA Guidelines Appendix G indicates that a project may have a significant effect on the environment if it would:

1. Cause a substantial adverse change in the significance of a historical resource as defined in section 15064.5;
2. Cause a substantial adverse change in the significance of an archaeological resource pursuant to section 15064.5;
3. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature;
4. Disturb any human remains, including those interred outside of formal cemeteries; or
5. Conflict with a plan or policy adopted for the purpose of avoiding or mitigating an environmental effect.

A “substantial adverse change” to a historical resource is defined in Guidelines Section 15064.5(b) as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.” The significance of a historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in the California Register of Historical Resources;” or “demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources...” or “demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.”

CEQA (Guidelines Section 15064.5), define the term “historical resources” to include the following:

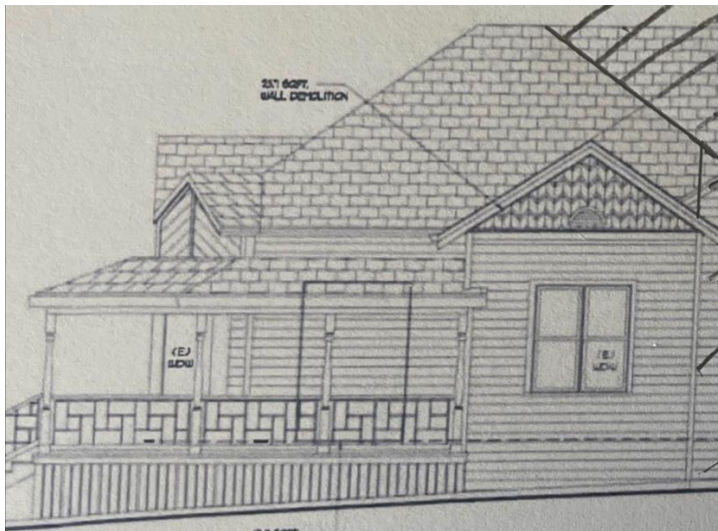
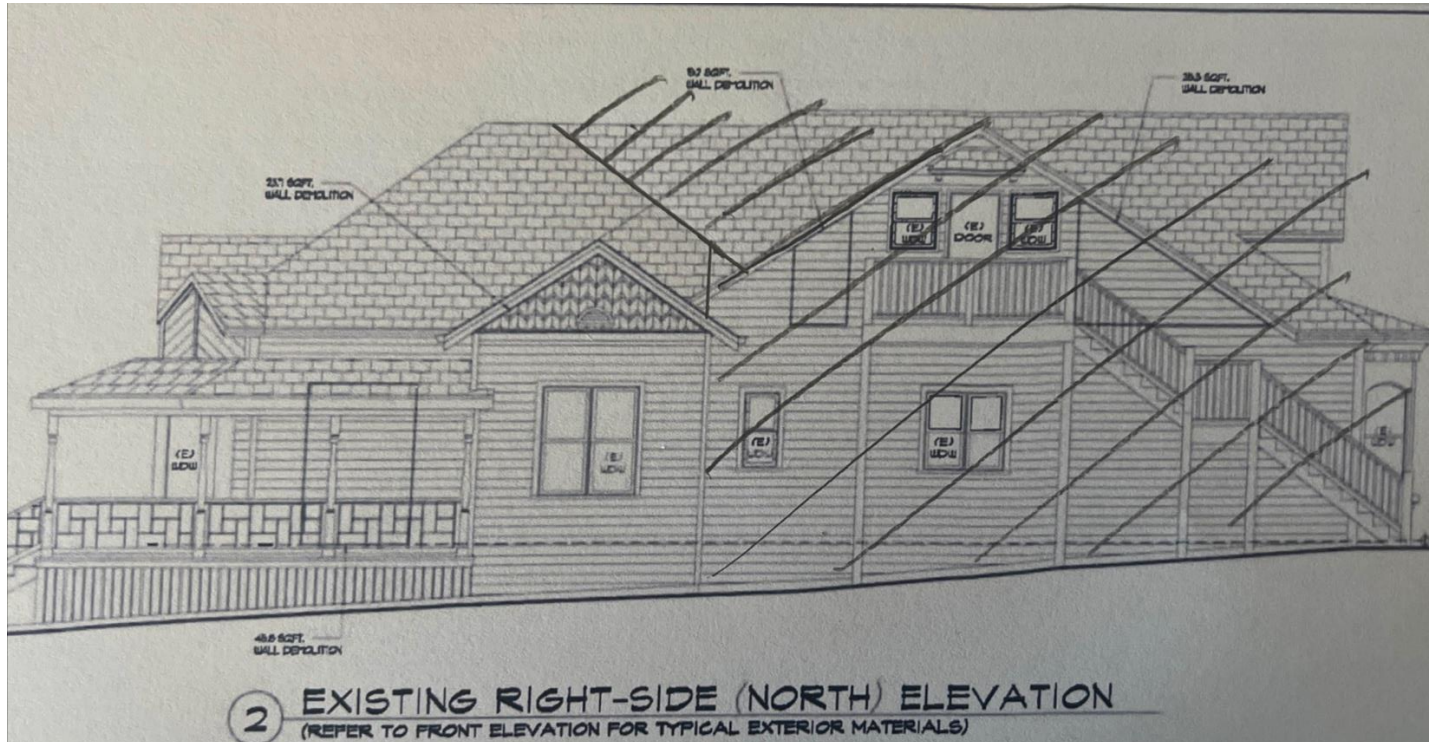
1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register (Public Resources Code §5024.1, Title 14 California Code of Regulations, Section 4850 et seq.).
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the Public Resources Code or identified as significant in a historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, may be considered to be a historical resource, provided the lead agency’s determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be “historically significant” if the

resource meets the criteria for listing in the California Register (Public Resources Code Section 5024.1, Title 14 California Code of Regulations, Section 4852)

CEQA Finding: The research and evaluation of the primary residence and Carriage House at 33 Walnut Avenue conclude that the property and buildings do not meet the criteria of the California Register of Historical Resources or the criteria of the Town of Los Gatos for designating a historical resource. For purposes of CEQA, the subject property is not a “Historical Resource” under the CEQA Guidelines.

Reference Materials:

1. **Drawings:** The following drawings shows precisely where the 1891-built cottage footprint was, based on the original roof-frame artifact that remains beneath the actual functioning rooftop. It clearly shows that the original footprint of the house was 889 sf of living space before the Peed and Montgomery families made their alterations which included removing the fireplace and building an additional room (behind the kitchen) onto the rear of the house. That added room extended the rear of the house back about fourteen feet before being further extended in 2007 by Oveyssi.



2. This photo shows the roof frame artifact remaining in the attic indicating precisely where the rear of the original house ended. This is hard evidence of the original structure not otherwise found in town records.



The following photos show some of the exterior changes that have been made over the course of several decades. Earlier changes such as the addition of a glassed-in rear porch and first version of the second story addition are not shown, but are available to see in older photos provided by town staff.

3. View of newly constructed front porch from Walnut Avenue:

While true to the Queen Anne style front porch architecture, the improvements in depth, height, and shape, together with the yet to be built new railing leaves no trace of the historic materials or construction methods..



4. View from Walnut Avenue of Carriage House:

This photo shows both the 2007 built exterior staircase and the newly built carriage house structures, both visible from Walnut Avenue.



5. East-facing View of 2021/22-built Carriage House from Rear of Main Residence:
No longer is there any view looking out onto Wissahickon from the original house.



6. Northwest view of gabled 2nd-story of 33 Walnut plus 2021/22-built Carriage House:

Visibility from Wissahickon the Walnut facing house clearly reveals an entirely different residence than the single-story house originally built with a wide-open view lot.



7. Northern Elevation View of 2007 massively altered second-story of 33 Walnut:
Clearly no longer a small 889 sf cottage.



8. Southwestern Elevation (from Wissahickon) view of three-gabled second-story addition:



9. Southern View of the First/Second-story 2007 Additions with High Extended Roofline:
The second-story roofline dominates the view from the neighboring lot on the southern elevation.



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TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
 110 E. Main Street
 Los Gatos, CA 95030

APPEAL OF THE DECISION OF
HISTORIC PRESERVATION COMMITTEE

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the HISTORIC PRESERVATION COMMITTEE as follows:

DATE OF DECISION: 2/24/22

RECEIVED

PROJECT/APPLICATION: 33 WALNUT

FEB 27 2022

LOCATION: 33 WALNUT

**TOWN OF LOS GATOS
PLANNING DIVISION**

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Historic Preservation Committee.

Interested person means:

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

Because the HPC failed to consider +
decision criteria set forth in the Los Gatos
Town Code & defined by the U.S. Dept of the Interior

IMPORTANT:

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Historic Preservation Committee. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day, usually a Monday. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) after the date of the filing of the appeal. The Planning Commission may hear the matter a new and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: Jeffrey Siegel SIGNATURE: Jeffrey Siegel

DATE: 2/24/22 ADDRESS: 33 WALNUT AVE

PHONE: 408 480 6005 EMAIL: JeffreySiegel@gmail

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____

COMMISSION ACTION:

1. _____
2. _____
3. _____

DATE: _____
 DATE: _____
 DATE: _____

No Appeal Fee for the decision by the Historic Preservation Committee.

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Letter to Los Gatos Planning Commission on Evaluating Historic Significance
(Please read in its entirety before the five-minute presentation by the property owner)

The property at 33 Walnut Avenue came before the Historic Preservation Committee on 2/18/2022 with the requested action that the property be removed from the historic inventory based on extensive research that conclusively demonstrates a complete loss of historic integrity resulting from multiple waves of major alterations over fifty years and several property owners. That research contained an in-depth presentation of the facts and analysis, as required by historic preservationists at the California state and U.S. national levels. In reaching their conclusion, these historic preservationist professionals thoughtfully applied the decision criteria, as defined by the U.S. Department of the Interior, and adopted by the California Office of Historic Preservation. These same criteria are noted in the materials provided to the HPC by Los Gatos Director of Planning Joel Paulson.

In fact, the town officially refers to 33 Walnut as a 'presumably' historic property simply because of its age. Until the historic preservation criteria are carefully applied, no real conclusions of historic significance can be drawn.

In other words, as historic preservationists know, age by itself is not a determinant of historic significance. It's a low water mark. That's why formal criteria are used to make a fact-based determination of historic significance. Being on the Los Gatos historic inventory, simply means the house was built before 1941, nothing more. It doesn't reflect the historic merits of the property, hence the process we're now undertaking, to decide whether or not there is sufficient merit, for the property to be considered a key contributor to the town's history. How do we do that? By applying the following criteria:

Those FIVE criteria, as adopted in the Los Gatos town code, includes:

1. The structure is not associated with events that have made a significant contribution to the Town; ITS NOT.
2. No Significant persons are associated with the site; NONE ARE.
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master; NONE REMAINS.
4. The structure does not yield information to Town history; IT DOES NOT. Or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance. NO HISTORIC INTEGRITY REMAINS AFTER MULTIPLE, MASSIVE ALTERATIONS MADE OVER A SIXTY YEARS PERIOD.

This is the criteria that the Planning Commission is being directed today to consider in rendering its ruling on whether 33 Walnut is, in its present condition, a property of real historic

significance to the town of Los Gatos. Or whether, like other residences recently removed, such as 253 W. Main Street (Wasserman property) and 62 Ellenwood (Swenson property), that “the structure is not historically or architecturally significant, with the required findings, including that the integrity has been compromised through alterations over time.”

In fact, the in-depth analysis IN THE REPORT provided by the homeowner to the Planning Commission reveals that 33 Walnut has been far more altered than either of these two recently removed properties. This truth explains why historic preservationists at the state and national levels have concluded that 33 Walnut today lacks historic integrity nor qualifies for inclusion on their historic registries. Had the HPC carefully applied the five criteria to the facts contained in the homeowner provided report, a similar conclusion would certainly have been reached. Traditionally, the HPC has expended thirty-sixty minutes of in-depth review and discussion together with the homeowner before reaching a fact-based conclusion. This in-depth discussion with the homeowner never occurred nor was there explicitly any discussion of the criteria and material facts.

So, from a process standpoint, how did we get to this point, in front of you today?

At the 2/18/2022 HPC meeting there was a kick-off presentation by a neighbor, Susan Burnett, residing within 400 feet of 33 Walnut, who presented an emotional appeal, lamenting about the unfortunate removal of homes from the historic inventory, arguing against removal of this property for sentimental reasons. To her, removal from the inventory equates to bulldozing the property, which in our case couldn't be further from the truth. So strong is her convictions about preserving ALL old homes in the neighborhood, regardless of their historical relevance, that she has presented proposals to prior town councils for incorporating the entire Glenridge neighborhood as a sixth historic district, which it is not today.

At that HPC meeting, town staff also presented that the owner had removed the front siding of the house which they stated ran counter to the town's historic rules. According to staff, the rules limit removal of front-facing siding to 25%. What staff failed to mention, was the siding removal was necessary in order to undertake the town-approved structural front wall reinforcements, dictated by structural engineering, in order to support the permitted renovation work. Nor was it mentioned that under appeal of that town staff decision, that two of the four non-recused town council members voted in agreement with the homeowner that the rule language was ambiguous and contradictory. Had the fifth council member, council member Hudes, not recused himself, the council would have overwhelmingly voted in favor of the homeowner given such ambiguity.

The pandemic-induced five-minute presentation rule short changes the very conversation needed to arrive at a thoughtful, well considered decision following a careful review of all the facts. Consequently, the HPC's rejection decision was in part, based on presumptions not facts, such as what one HPC member noted as “if the property was eligible for removal from the historic inventory, why didn't the HPC a year earlier make that decision?” The inference is that surely the prior HPC review would have ruled in favor of removal if it was deemed worthy.

Alternately, they could (but didn't) have asked "Why did the prior HPC approve demolition of the most notable character-defining feature, the wraparound front porch, and replacement with a different porch design, if they thought the property of truly historic significance?"

Again, the facts:

First fact – there was never a removal request made of the prior HPC meeting.

Second fact - that observation is itself irrelevant, ignoring the direction of Planning Director Joel Paulson calling for applying the historic preservation criteria as noted in the town code.

Had that time-limited discussion been replaced with what had been a long-held tradition and practice of HPC in-depth reviews, the following facts would have surfaced for discussion:

- 1) **Wildfire Safety was the Impetus for the removal request:** The reason for the homeowner requesting the removal of the property from the historic inventory originated over concern about wildfires given the fact that the historic preservation code disallows the replacement of old siding, even in high fire-risk situations in the wildland urban interface. The historic preservation code has not been updated to reflect the changing climate conditions nor acknowledges the existence of the WUI and the threat of wildfires to historic homes. The neighboring property at 25 Walnut has landscape plantings considered to be of the highest fire danger (Cyprus trees, known to firefighters as Roman Candles) that sit all along the southern boundary of the property, a mere 23 inches away from the main house. These trees are being outlawed in Marin under the strong recommendation of Marin County Fire Authorities where wildfire safety is taken most seriously. The dangerously close proximity to the neighboring highly flammable trees creates an extreme danger situation to human life and property, and sadly there is no Los Gatos town code to prevent that from happening. By removing the property from the historic inventory, it would allow for replacing of old, highly flammable siding with fire-hardened materials mandated for new construction use in the WUI. This never came up during the HPC meeting because no questions were asked by the HPC members of this condition though it was documented in the homeowners report.
- 2) **Historic Preservationists at the top state and national historic agencies have concluded 33 Walnut has undeniably lost its historic integrity:** The California state Office of Historic Preservation in Sacramento, and the U.S. Department of the Interior in Washington DC, in their assessment, reviewed the facts presented here (in far more detail) and concluded that 33 Walnut would not meet their qualifications for adding the property to the state or national historic registers. The reasons given were 1) no historic persons or events are associated with the property, 2) not located in a historic district, but most importantly, 3) "there is little historic integrity remaining following the magnitude of the numerous alterations made to the property over time. The integrity-killing alterations of front porch demolition, plus the changes in scale, mass, materials, and modified style makes this a clear-cut conclusion", they stated.

The in-depth reasoning for arriving at this conclusion was documented in a homeowner prepared report to the HPC but no consideration or discussion of these facts occurred during the abbreviated HPC review. That is wholly inconsistent with the HPC review meetings of the past decades, a major departure from long established precedent.

3) **Consistency with Prior HPC Rulings point to removal from the historic inventory:**

Removal of the property from the historic inventory would be consistent with prior rulings by the HPC. For example, the property at 253 W. Main Street (Mike Wasserman's property) was removed from the historic inventory on February, 2020 (before pandemic meeting rules) because as noted by that HPC group, "the structure is not historically or architecturally significant, with the required findings, including that the integrity has been compromised through alterations over time." To be clear, that property was far less altered than 33 Walnut, and it resides in a historic district which sets the bar for removal much higher than the non-historic neighborhood of Glenridge.

Another example is 62 Ellenwood, also removed in 2020 (pre-pandemic), where the historic structure was fully intact with only minor modification. In sharp contrast to these now removed properties - little remains of the original, one story, one-bedroom, small summer cottage at 33 Walnut plus the most character-defining feature of all, the wraparound front porch that was deteriorated beyond repair has since been replaced with a different design, size, height, and shape, different materials, and different building methods as required by structural engineering due to seismic and safety factors built into modern building code. The once-small, charming summer cottage was long-ago transformed into a sprawling multi-story, five-bedroom, four-bathroom residence that is 300% larger with entirely different proportions. According to state and national historic preservationists, "loss of historic integrity is 100%". No wonder they rejected the request of adding this property to their historic registries.

4) **The Low Bar of being on the Historic Inventory:** It's important to understand, that many properties were included on the historic inventory, when first created in the 1960's, not because they necessarily deserved to be on it, but because of their 'origin birth date' being pre-1941. That is indeed a very low bar by historic preservation standards.

Applying the criteria set forth by the State of California, and later adopted in the Los Gatos town code, sets a far higher bar that seeks to get to the **real question – is the property of historic significance to the history of the town or state or country**, by virtue of associated events or people, or exceptional examples of a specific architecture? When properties come before the HPC, and the facts are given serious consideration in light of these questions, only then can a justifiable conclusion be rendered after proper analysis. *In other words, removing properties from the historic inventory is NOT a loss to the town if the property doesn't have historic significance.*

5) **A Historic Preservation litmus test:** Is whether a person who was familiar with the property before it was modified would recognize it in its present state. While we cannot

ask that question of the original owners, now deceased, the question was posed to Phyllis Seaborn, who lived on Walnut Avenue back in 1961, and whose house next door still stands in its near-original condition. She recalls clearly the inhabitants (the Rutherford family) and the residence, before it underwent its biggest changes with the Rutherford's adding a second story in 1985 with the following homeowner, the Oveyssi family adding square footage to the first floor and expanding the second story. That expansion changed everything - adding mass and altering the roofline visible from all four sides. And finally, the demolition of the disintegrated front porch by the current homeowner. In Phyllis's words, "33 Walnut looks nothing like it did when I first saw it back in 1961. I certainly don't see a small summer cottage anymore." These observations validate the professional verdict from historic preservationists, and aren't surprising given the scale of alterations made over a long period of time.

The Question before the Planning Commission today:

In summary, the question before the Planning Commission today is '**what facts, analysis and justification would lead you to conclude that there IS significant historic integrity remaining**' when historic preservationists working for the California State Office of Historic Preservation (Jay Correia) and the U.S. Department of the Interior (Anne Grimmer) both concluded otherwise?

When nothing of the character-defining historic features remain, what justification would the Planning Commission present to override historic preservationist expertise by the very authorities responsible at the state and national levels for historic preservation?

This is the question before you today. If you do see, after reviewing all the facts, that 33 Walnut possesses significant historic importance to the town of Los Gatos, for the official town record, please state your justification for deeming it of such significance that you would override the determination by historic preservationist trained professionals.

Criteria-based Assessment for 33 Walnut

Assessment by Historic Preservationists, long-time neighbors, and Architects conclude no historic integrity

What Historic Preservationists Say..

- Anne Grimmer, Historic Preservationist, author of US Dept of the Interior Guidelines for Historic Preservation, Washington DC:
 - *“A careful review of 33 Walnut in Los Gatos yields no historic integrity upon which to consider adding it to the national registry.”*
- Jay Correia, Historic Preservationist, California Office of Historic Preservation, Sacramento:
 - *“There is little historic integrity remaining following the magnitude of the alterations made to 33 Walnut. The integrity-killing front porch demolition, plus the changes in scale, mass, materials, and modified style makes this a clear-cut decision.”*

What long-time neighbor's recollection says..

- Phyllis Seaborn, next-door Neighbor since 1961:
 - *“33 Walnut looks nothing like it did when I first saw it back in 1961. I don’t recognize this residence as ever being that small summer cottage.”*

PRESUMPTIVE means Pre-1941

- A very low bar, not a historic determination, on the inventory list only by default
- Age by itself is not a determinant of historic significance
- Establishing historic significance requires
 - **Identifying historic elements and associating it with historic people and events determines its historic value!**
- So what are the historic elements for 33 Walnut? Where is there any historic integrity remaining of a small summer cottage?

Massive Alterations to 33 Walnut

- Undertaken by four homeowners over six decades
- Major alterations made by the Rutherford's and Oveyssi's changing materials, size, shape, massing, proportions, materials, style
- Last alteration replaced disintegrated front porch, approved by HPC, with newly-built porch with differing height, depth, shape, size
 - If 33 Walnut deemed historically significant, this would not have been approved
- No summer cottage – 100% loss of historic integrity
 - Not roofing, flooring, sub-flooring, foundation, windows, doors, size, shape, siding, rear or front porches, or style
 - No character-defining features remain

33 Walnut Today

- 2 story, 5 bedroom, mixed styles



5 Criteria for Establishing Historic Value

1. The structure is not associated with events that have made a significant contribution to the Town; ITS NOT.
2. No Significant persons are associated with the site; NONE ARE.
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master; NONE REMAINS.
4. The structure does not yield information to Town history; IT DOES NOT. Or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.
 - NO HISTORIC INTEGRITY REMAINS AFTER MASSIVE ALTERATIONS MADE OVER A 60 YEAR PERIOD. VERIFIED BY PRESERVATIONISTS.

Consistency with prior HPC decisions

- Removed in 2020 from Historic Inventory

253 W. Main St. (Wasserman Residence)



62 Ellenwood (Swenson Residence)



“the structure is not historically or architecturally significant, with the required findings, including that the integrity has been compromised through alterations over time.”

Key Questions for Planning Commission

- What criteria-based data is there that would justify your deeming 33 Walnut a property of ‘great historic significance’ to our town?
- Why would you override the professional assessment of historic preservationists at the California Office of Historic Preservation and the U.S. Dept of the Interior?
- Or ignore the recollection of neighbors familiar with the property long ago who see no resemblance to the long-gone summer cottage?

“the structure is not historically or architecturally significant, with the required findings, including that the integrity has been compromised through alterations over time.”



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 04/13/2022

ITEM NO: 2

ADDENDUM

DATE: April 12, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned R-1:8. **Located at 33 Walnut Avenue.** APN 510-41-007. Property Owner/Applicant/Appellant: Jeffrey Siegel. Project Planner: Erin Walters.

REMARKS:

Exhibit 8 includes additional information provided by the appellant received on April 11, 2022.

EXHIBITS:

Previously Received with the April 13, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Historic Preservation Committee Meeting Minutes for February 23, 2022
4. Historic Preservation Committee Action Letter, February 23, 2022
5. Historic Preservation Committee Staff Report and Attachments, February 23, 2022
6. Appeal of the Historic Preservation Committee, received February 27, 2022
7. Additional Information Provided by the Appellant, received April 6, 2022

Received with this Addendum Report:

8. Additional Information Provided by the Appellant, received April 11, 2022

PREPARED BY: ERIN WALTERS
Associate Planner

Reviewed by: Planning Manager and Community Development Director

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From: Jeffrey Siegel <jeffreysiegel@gmail.com>

Date: April 11, 2022 at 11:33:53 AM

To: "Erin M. Walters" <EWalters@losgatosca.gov>, Jennifer Armer <JArmer@losgatosca.gov>

Cc: David Hernandez <dvhernandez@pacbell.net>

Subject: Fwd: California Office of Historic Preservation Assessment of 33 Walnut

Erin/Jennifer,

Please include the following professional assessment and decision from the California Office of Historic Preservation in the materials sent to the Planning Commission for this coming Wednesday's review of the request to remove 33 Walnut Ave from the town's historic inventory. The state's OHP has carefully reviewed, in detail, the information that has been likewise submitted to the Planning Commission.

Unfortunately, given the upcoming meeting format, we will have only five minutes to present, which does not allow us to review in-depth all the researched facts. As such, we are relying on the Planning Commission to spend an hour or two reading through those materials ahead of our presentation. Alternately, the Planning Commission can instead rely on the professional historic preservationist's review and determination which represents their expertise-informed conclusion.

To be clear, the selection of materials used in the porch rebuild was dictated by structural engineering and present-day building codes mandated by the state and the town. The major expansion referred to below was done by the past two owners (Montgomery's and Oveyssi's), dating back from the period of 1960's through 2007. The Oveyssi expansion was indeed a flip, but held for nine years due to the 2008 housing bubble burst. We purchased the house in 2016 long after all of those major expansions were done. Only the front porch rebuild was done by us, with prior HPC approvals.

Below is the communication from the California Office of Historic Preservation informing us of their assessment and decision regarding whether any historic integrity remains and whether the property would be eligible for state recognition as being a historic property. Town and state historic criteria, standards, and guidelines are the same.

Thanks...Jeff

Jeff Siegel
President
Los Gatos Historical Society

From: "Correia, Jay@Parks" <Jay.Correia@parks.ca.gov>

Date: April 8, 2022 at 11:18:59 AM PDT

To: Jeffrey Siegel <jeffrey@losgatoshistorical.org>

Subject: California Office of Historic Preservation Assessment of 33 Walnut

Jeff,

I have to say, this house (33 Walnut Avenue, Los Gatos) would not be eligible for the California Register. There is simply too much modern intervention. The porch, a primary character-defining feature, is a new construction with new materials instead of an "in-kind" restoration that would meet the "Secretary of

the Interior's Standards for the Treatment of Historic Properties." The footprint has been dramatically expanded. It really is a new house. The roofline has been altered. It is a "flip." In my experience flips always destroy historic properties to maximize profit. This is antithetical to Historic Preservation.

Jay

Jay Correia
Supervisor, Cultural Resources Programs
Registration and Project Review Units
California Office of Historic Preservation

-----Original Message-----

From: Jeffrey Siegel <jeffrey@losgatoshistorical.org>
Date: April 8, 2022 10:59 AM
To: Correia, Jay@Parks <Jay.Correia@parks.ca.gov>
Subject: For your thoughts and guidance...

Hi Jay,

See attached documentation for your reference and review in assessing whether the state office of historic preservation would consider 33 Walnut to have any historic integrity remaining.

Jeff Siegel
President
Los Gatos Historical Society

To: Jay Correia
Office of Historic Preservation
State of California

Property: 33 Walnut Avenue

Subject: Request for review of candidacy for addition to the California state historic registry

History of Property Since Built:

Unlike other lots in the neighborhood, 33 Walnut fronts onto two streets - Walnut and Wissahickon. This means that changes made to the rear of the Walnut-facing home are clearly visible from Wissahickon, and vice versa. There is no way to 'hide' exterior structural changes from viewing by either of these two streets.

Early Era:

33 Walnut started off as a small, one-bedroom cottage, not unlike the small one-bedroom homes to its neighboring immediate left and right, but since then has undergone successive waves of alterations and expansions by multiple owners over time, leaving to today resembling little of its original design. It was constructed around 1890 (exact date not definitively documented) in the Queen Anne style that was popular at that time, serving as a summer home for its first residents, Don and Joan Glod. There is some reference to a William and Maybelle Peed who appear to have purchased the cottage in the 1920's, and changing it before selling to the Montgomery family. This is likely when the fireplace was removed with the advent of electricity brought to Los Gatos.

The property was later sold to Rutherford and Eunice Montgomery in 1948 where it became their primary residence. Rutherford was an author of children's books and raised his family here before passing away in 1985. During the time that the Montgomery family lived here, extensive modifications were made to both the interior and exterior of the house to make it suitable to raise a growing family. On the exterior, the rear of the house was enlarged by adding a glassed-in rear porch along with further expanding the footprint by adding a room adjacent to the kitchen. Later, following his death in 1985, a second-story addition was built on top of the enclosed rear porch with exterior staircase extending into the rear of the yard, not visible from Walnut Avenue. This second story was significant in changing the roofline while adding mass, becoming the second significant modification to a family residence that began as a small, single-story, Queen Anne styled cottage.

Oveyssi Era:

Following the death of Eunice Montgomery in July 2006, the house was sold to Michael Oveyssi who devoted nearly two years on its third major modification further expanding the footprint and changing both the interior and exterior of the house. His intent was to expand and modernize the house before flipping it, but due to the 2008 housing market downturn, kept it as a rental property until selling it its current owner in 2016. It was during that extensive rebuild by Oveyssi that the entire interior of the house was gutted, the footprint further enlarged, and interior space reconfigured and restyled. This expansion included demolition of the rear porch before newly constructing roughly 500sf onto the back of the house, plus expanding the second-story living space. This second story expansion completely altered the roofline transforming it from the small shed dormer into a three-gabled profile that added high interior ceilings and enlarged living space. This expansion also entailed first demolishing the rear facing exterior staircase built by the Montgomery family and then building a new exterior staircase and landing onto the north-facing side of the house that offers views into neighboring properties to the North. This dramatically transformed skyline is prominent when viewed from Wissahickon and also from Walnut when approaching the house from either the South or North. During this time period, all windows were replaced with modern, dual-pane windows including the addition of arched windows that starkly deviated from the original Queen Anne cottage.

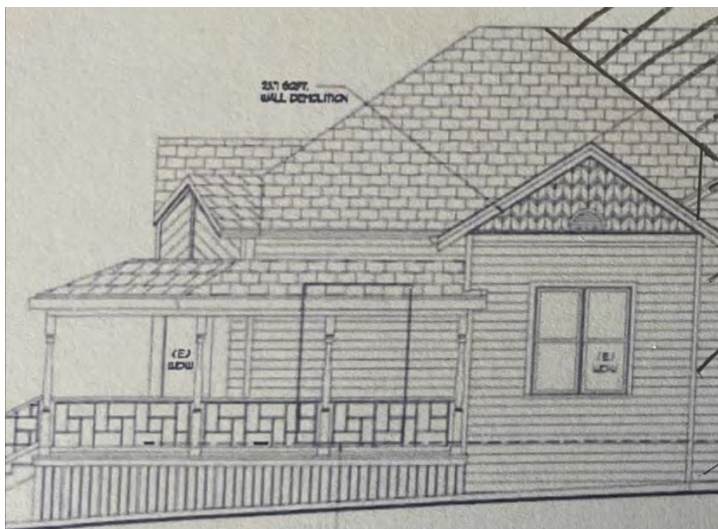
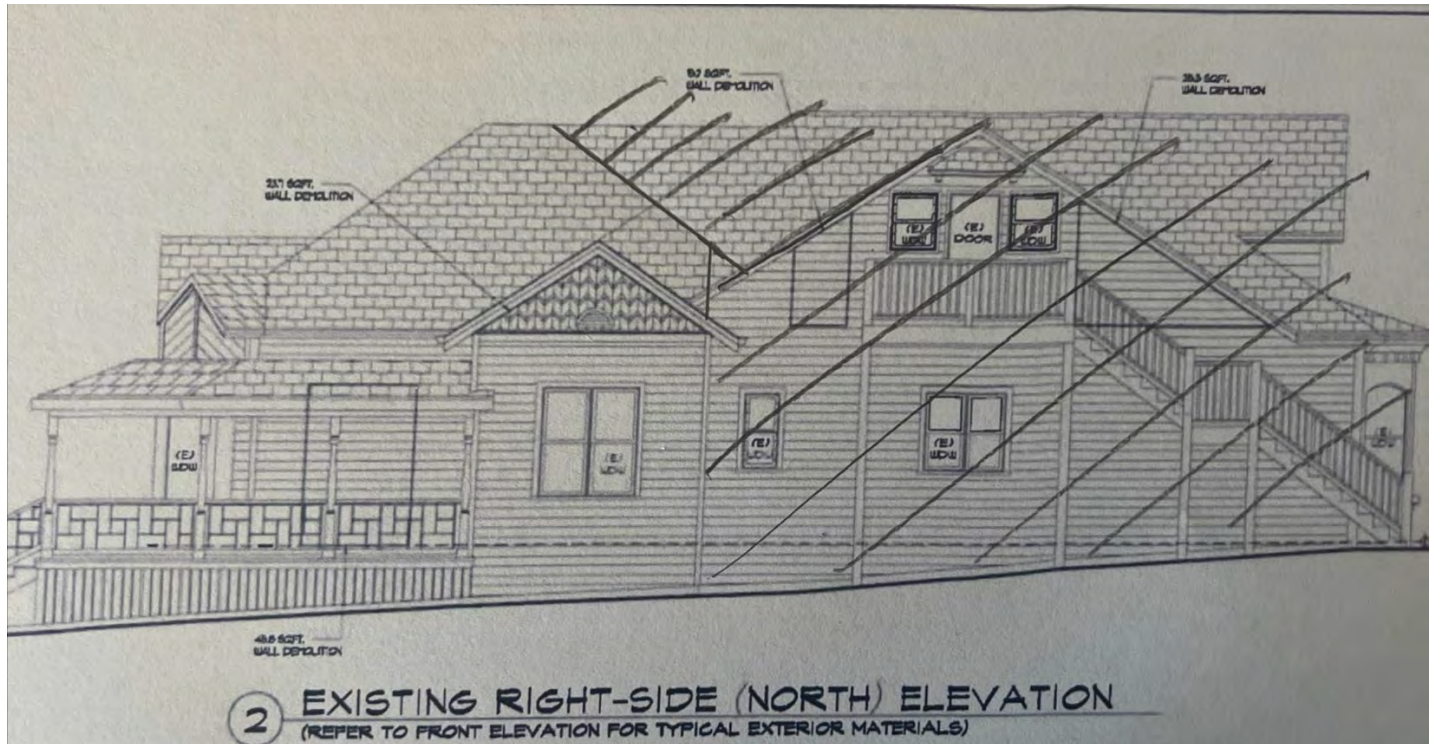
What originally began as a small one bedroom, one bath, approximately 889sf summer cottage has been transformed into a two-story 2620sf sprawling five-bedroom, four-bath family residence. The once-small summer cottage no longer remains. In addition, in 2008 Mr. Oveyssi demolished the historic tin-clad structure facing Wissahickon, replacing it with a modern-day, ranch-style two-car garage transforming the appearance of the property from that frontage street. The one area left untouched by all prior owners throughout its life was the wraparound front porch. Unfortunately, after decades of neglect exacerbated by damage inflicted by storms approaching from the east and southern exposures, the front porch was structurally compromised. Rotted decking, failing structural beams and weakened foundation created an unsafe condition. The stairs were replaced by 2x8 slats of rough lumber before the property was placed on the market by Oveyssi in 2016. The residence was then sold to the current owner in October 2016 in this compromised condition.

Present Era:

A once-upon-a-time, small, single-story Queen Anne cottage with small tin-clad horse shelter bears no resemblance to the existing lot now housing dual, two-story residential structures. The brew of demolitions, alterations, and additions over the past century was recently perpetuated with the complete demolition of the badly deteriorated front porch. The newly constructed porch differs in size, depth, roofline height and distinctive radius corner contributing to the improved structural integrity of the house. Concrete and steel have replaced old wood support structure. The porch changes, as approved by the HPC in 2019, retains a modified Queen Anne architectural style. But burdened with conforming to modern-day seismic and safety codes, it nonetheless is an abandonment of the historic materials, original construction methods, and low-slung railing design; that are among the tests for being designated historic. While the house already differed in every respect (shape and size and height) from the south, west, and north elevation views, it now differs from the east elevation view as well.

Reference Materials:

1. **Drawings:** The following drawings shows precisely where the 1891-built cottage footprint was, based on the original roof-frame artifact that remains beneath the actual functioning rooftop. It clearly shows that the original footprint of the house was 889 sf of living space before the Peed and Montgomery families made their alterations which included removing the fireplace and building an additional room (behind the kitchen) onto the rear of the house. That added room extended the rear of the house back about fourteen feet before being further extended in 2007 by Oveyssi.



2. This photo shows the roof frame artifact remaining in the attic indicating precisely where the rear of the original house ended. This is hard evidence of the original structure not otherwise found in town records.



The following photos show some of the exterior changes that have been made over the course of several decades. Earlier changes such as the addition of a glassed-in rear porch and first version of the second story addition are not shown, but are available to see in older photos provided by town staff.

3. View of newly constructed front porch from Walnut Avenue:

While true to the Queen Anne style front porch architecture, the improvements in depth, height, and shape, together with the yet to be built new railing leaves no trace of the historic materials or construction methods..



4. Northern Elevation View of 2007 massively altered second-story of 33 Walnut:
Clearly no longer a small 889 sf cottage.



5. Southwestern Elevation (from Wissahickon) view of three-gabled second-story addition:



6. Southern View of the First/Second-story 2007 Additions with High Extended Roofline:
The second-story roofline dominates the view from the neighboring lot on the southern elevation.



Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Property: 33 Walnut Avenue

Subject: Request to Remove a Presumptive Historic Property (Pre-1941) from the Historic Inventory

Enclosed:

- 1) Historical accounting of changes made to the property since built
- 2) Diagrams showing what has already been permitted
- 3) Photos of what has already been built under the HPC approved permitting
- 4) Justification for removal of a pre-1941 property from the historic inventory

Resources consulted:

- Anne Bloomfield Survey
- Oral history account from long-established neighbor
- Prior permitted plans filed by Oveyssi detailing changes
- Prior HPC review documents
- Built environment - Historical artifacts remaining of the original roofing frame in attic

History of Property Since Built:

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2016. It was during that extensive rebuild by Oveyssi that the entire interior of the house was gutted, the footprint further enlarged, and interior space reconfigured and restyled. This expansion included demolition of the rear porch before newly constructing roughly 500sf onto the back of the house, plus expanding the second-story living space. This second story expansion completely altered the roofline transforming it from the small shed dormer into a three-gabled profile that added high interior ceilings and enlarged living space. This expansion also entailed first demolishing the rear facing exterior staircase built by the Montgomery family and then building a new exterior staircase and landing onto the north-facing side of the house that offers views into neighboring properties to the North. This dramatically transformed skyline is prominent when viewed from Wissahickon and also from Walnut when approaching the house from either the South or North. During this time period, all windows were replaced with modern, dual-pane windows including the addition of arched windows that starkly deviated from the original Queen Anne cottage.

What originally began as a small one bedroom, one bath, approximately 889sf summer cottage has been transformed into a two-story 2620sf sprawling five-bedroom, four-bath family residence. The once-small summer cottage no longer remains. In addition, in 2008 Mr. Oveyssi demolished the historic tin-clad structure facing Wissahickon, replacing it with a modern-day, ranch-style two-car garage transforming the appearance of the property from that frontage street. The one area left untouched by all prior owners throughout its life was the wraparound front porch. Unfortunately, after decades of neglect exacerbated by damage inflicted by storms approaching from the east and southern exposures, the front porch was structurally compromised. Rotted decking, failing structural beams and weakened foundation created an unsafe condition. The stairs were replaced by 2x8 slats of rough lumber before the property was placed on the market by Oveyssi in 2016. The residence was then sold to the current owner in October 2016 in this compromised condition.

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As part of that permitted renovation, engineering specified a structural reinforcement of the front (East facing) house wall. This required removal of the siding to attach tie-downs to foundation four feet below and to add vertical framing members to the thinly-built front wall frame. The town code disallows removing more than 25% of the front wall of a historic house, and while the wall itself was structurally reinforced, not removed (only the siding removed in order to reinforce the wall), the town staff interprets the language of the code to mean excluding even the removing of the siding. This runs contrary to the interpretation by the property owner, builder, and architect and resulted in the property owner being assessed a fine and the property assessed as a technical demolition of the entire house.

Carriage House – living space above detached garage:

Most recently, beginning in 2021, and continuing into early 2022, the two-car, single-story ranch-style garage, facing Wissahickon, has been transformed into a two-story structure that contains an 800SF residence over a three-car garage. While growing the housing stock (ADU) for Los Gatos, and providing EV

charging for three electric vehicles, the tall structure dominates the skyline from both Wissahickon and from the rear windows of the main residence. The newly-built structure is visible as well from Walnut Avenue given its mass and towering height, amplified by its high topological position on the lot. The roofline sits about thirty-seven feet above Walnut Avenue making it impossible to miss from any viewpoint. In summary, little about the property at 33 Walnut, when viewed from either Walnut or Wissahickon looks anything like the small summer cottage and accompanying tin-clad horse shelter that once stood.

Today's Request of the HPC:

Today, the request is before the HPC to remove the extensively altered residence from the historic inventory. It simply fails to meet the tests of being historically significant by state or local standards, and should therefore be removed from the historic inventory. With decades of successive changes to both the residence and the entire lot, nothing about the house actually meets the state or local tests for historical preservation.

The information provided below to the HPC clearly shows that the property does not meet the criteria of the state or local policies and regulations for designating a historic property. The information describes in detail that the property has not contributed to the cultural heritage of California, is not associated with an important person of history, has lost if any existed, significantly distinctive architectural characteristics through many alterations, demolitions and expansions, and does not yield important information for history.

Enclosed are diagrams, previously approved by HPC and permitted in 2021, that showed the pre-existing and permitted changes to the main residence. The front porch work has been largely completed, with a new concrete and steel foundation, flattened roof, and steel posts that provide structural integrity to both the porch and front wall of the house. Remaining for completion is adding the new porch decking, railing, and skirting.

Changing Character of Walnut Avenue:

Unlike streets in the Los Gatos Historic Districts, Walnut Avenue is an eclectic and rural street (no sidewalk improvements) sporting a mixture of architectural styles and ages, with the most recently built, in 2010, home located two lots to the north in a faux-craftsman style ranch home. To the immediate south is a small, single-story, single-bedroom Spanish-style house. Directly across the street at 32 Walnut Avenue is a 1900-built house previously removed from the historic inventory and now scheduled for demolition, to be replaced by a two-story residence of far greater mass and livable space. Walnut Avenue is not in a historic district. The residence at 33 Walnut Avenue, in its original form, would have more closely resembled these neighboring, small homes in size and scale.

Lot Layout Differs:

In addition, the layout of structures on the lot, which has an elongated shape of 50 feet wide and 160 feet deep, has undergone significant change. Where once stood a tin-fabricated horse shelter facing onto Wissahickon, now sits a two-story Carriage House with new residence sitting over a three-car garage. As a result, the site bears little resemblance or feel to when the main residence was built on the lot.

In summary, the changed layout of structures on the lot, the building mass-to-lot ratio, and the changed size, shape and mass of the original residence, together with the newly built, seismically sound front porch has collectively transformed the lot and dual residences into property that bears little resemblance to what was built around 1890. That cottage has disappeared under the successive waves of substantial changes made over the decades leaving nothing that the state of California would consider historic.

California Register of Historical Resources (CRHR)²

The California Register of Historical Resources is “an authoritative listing and guide to be used by state and local agencies, private groups and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change” (Public Resources Code Section 5024.1[a]). The criteria for eligibility to the California Register are based on National Register criteria (Public Resources Code Section 5024.1[b]). Certain resources are determined by the statute to be automatically included in the California Register, including California properties formally determined eligible for or listed in the National Register. To be eligible for the California Register as a historical resource, a prehistoric or historic-period resource must be significant at the local or state level under one or more of the following criteria:

- 1) It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

The property at 33 Walnut Avenue, once a small, Queen Anne styled single-story cottage, is not associated with events that contributed to the broad patterns of local or regional history, nor the cultural heritage of California. Neither is it located in a historic district of town.

- 2) It is associated with the lives of persons important to local, California, or national history;

The subject property has no known historic relevance related to people or events. Prior owners were not prominent in the community nor in local, California, or national history.

- 3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values

The original, small summer cottage was designed in the Queen Anne style, accentuated most prominently by its shallow depth porch with low-slung roof and dangerously low railing height as the porch sits six feet above the surrounding grade. The cottage has evolved over the decades into a two-story residence that is nearly twice the size of the original with different proportions, massing, roofline, and a character-defining wraparound front porch that while built in the Queen Anne style appearance-wise, bears no historic relevance to the original porch due to state-mandated utilization of modern materials and construction methods. Demolitions in front and back, additions in front, back, and second-story plus major remodeling using modern materials makes the residence not distinctive of a historic type, period, region or method of construction. It does not represent the work of a master or possess high artistic value.

- 4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

The site is not near or part of a historic site and has been graded for construction and landscaping. It is unlikely to yield information important to the history or prehistory of the area. The building that stands today is mostly recent construction and cannot yield important information from history.

Finding: The property at 33 Walnut Avenue does not meet the criteria to be listed in the California Register of Historical Resources.

For a resource to be eligible for the California Register, it must also retain enough integrity to be recognizable as a historical resource and to convey its significance.

Although the property at 33 Walnut Avenue is not found to be historically significant, a comparison to the original design and fabrication reveals the building to have been substantially altered and does not meet the criteria for retaining integrity.

Integrity:

Integrity is the ability of a property to convey its significance. To be listed in the National Register of Historic Places, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. The evaluation of integrity is something of a subjective judgment, but it must always be grounded in an understanding of a property's physical features and how they relate to its significance. Historic properties either retain integrity (convey their significance) or they do not. Within the concept of integrity, the National Register criteria recognizes seven aspects or qualities that, in various combinations, define integrity. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Determining which of the aspects are most important to a particular property requires knowing why, where, and when the property is significant.

The following defines the seven aspects and how they combine to produce integrity. A rule of thumb is to consider whether the original owner would recognize the building and how it once functioned. There is no question that the original owner would fail to recognize the small cottage that he built over a century ago.

SEVEN ASPECTS OF INTEGRITY:

Location:

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved or partly demolished.

The property is not located in a historic district.

Design:

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

The present design in form, space, structure and style differs from what was originally built in 1890. When viewed from all four elevations, the modifications don't resemble a small, single-story cottage nor its original style.

Setting:

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the character of the place in which the property played its historical role. It involves how, not just where, the property is situated and its relationship to surrounding features and open space. Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is

positioned in its environment can reflect the designer's concept of nature and aesthetic preferences. The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its surroundings. This is particularly important for districts.

Where once there was a small Queen Anne styled cottage and a tin-clad horse shelter on a wide-open lot spanning two streets, today there are two residential structures co-existing on that lot eliminating any sense of openness. Both structures are quite visible from Walnut Avenue and Wissahickon. These two, large massed buildings are a complete departure from the small cottage first built on the lot. Due to vastly higher topology of Wissahickon, the Carriage House looms large overshadowing the primary residence. When viewed from Walnut, the Carriage House is quite visible with its rooftop towering some 37 feet above the street grade of Walnut Avenue.

Materials:

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place. A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historical resource, not a re-creation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible.

While it would have been nice to have preserved the historic, original railing and lathed wooden posts on the front porch, modern building codes imposed by the state and local authorities pre-empted that option. Seismic and human safety factors trumped preservation of historical materials.

Workmanship:

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

The workmanship methods used to build the original front porch were dramatically different from modern building methods that must take into account seismic and other factors. These factors that shape modern building codes prevailed over reconstructing the porch based on original construction and design methods. Likewise, most of the construction methods and materials used throughout the many structural changes to the house differ from how homes were constructed in the late 1800's.

Feeling:

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century.

Due to changes in building mass, altered roofline, removal of historic elements including fireplace/chimney (before electricity was added), original windows and doors, complete reconfiguration and remodel of interior spaces, changed proportion of multiple physical structures to land, and the inability to reuse front porch historic materials due to safety and structural factors, there is little feeling elicited of a historic period in time. A five-bedroom, four-bath, two-story residence feels entirely different than a small cottage with open land behind it.

Association:

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.

There is no known association of the property with any historic event or person. The aspect of association cannot be applied because no event or person of importance is associated with the property.

CRHR SUMMARY:

The 1890-91 dated architecture, embodied in a small Queen Anne cottage, was remodeled and enlarged first in the 1920's by the Peed's, then again in the 1940/50's by the Montgomery's, again in 2007/8 by Michael Oveyssi, and finally again in 2021 by the present owner. Over this succession of changes, every aspect of the house has changed. Given the sweeping breadth of these successive waves of changes over the decades, little remains of any historic aspects of the original, small one-bedroom, one-bath cottage. The small neighboring one-bedroom house to the right, at 41 Walnut is a good reference point to grasp what the original house would have looked like, other than the front porch distinction.

The feeling of the lot as shaped by the views of the lot and beyond, from inside the residence, the proximity to another large, two-story structure that looms large above the original residence, creates a feeling far removed from a once-small cottage on a wide-open lot with unobstructed views of the surrounding mountains when first built.

Transforming a single-story small cottage into a larger footprint, two-story house caused a loss of integrity. After the 2007/8 remodeling and the additions to the original house, there was further loss of integrity. Of the seven aspects of integrity, not even the aspect of location is present given how dramatically altered the layout of structures on the lot is today. The design has changed, historic materials have been replaced with steel and other contemporary, structurally rigid materials and using construction methods needed to meet today's stringent building codes, the original workmanship is lost. The setting has changed from a once open setting to both Walnut and Wissahickon, to a setting of multiple buildings in close proximity where the once-cottage mountain views now look out onto a two-story second building that sits ten feet higher on the lot due in part to topology. The feeling of a small cottage has changed to one of a large massed, two-story house with altered front façade, albeit seismically sound.

Findings: The property does not meet the criteria for significance or integrity, is not a significant historical resource, and is not eligible for listing in the California Register of Historical Resources.

Town of Los Gatos:

The following Town of Los Gatos 2020 General Plan goals and policies relating to archaeological and historical resources are applicable to consider.

Goal OSP-9 To protect Los Gatos's archaeological and cultural resources to maintain and enhance a unique sense of place. Policy OSP-9.1 Evaluate archaeological and/or cultural resources early in the development review process through consultation with interested parties and the use of contemporary professional techniques in archaeology, ethnography, and architectural history.

The property was researched and then evaluated for cultural and architectural importance. Nothing of substance was discovered.

Goal CD-12 To preserve significant historic and architectural features within the Town.

The research and evaluation show that the buildings on the property are not significant features in Los Gatos. In the immediate area, several of the earlier houses have been reconstructed to larger buildings in different architectural styles. These include homes on upper Pennsylvania Avenue, on Walnut Avenue, on Wissahickon, and on Ellenwood. The property location is not within a historic district.

Division 3. Historic Preservation and LHP or Landmark and Historic Preservation Overlay Zone
Sec. 29.80.215. Purposes.

It is hereby found that structures, sites, and areas of special character or special historical, architectural or aesthetic interest or value have been and continue to be unnecessarily destroyed or impaired, despite the feasibility of preserving them. It is further found that the public health, safety, and welfare require prevention of needless destruction and impairment, and promotion of the economic utilization and discouragement of the decay and desuetude of such structures, sites and areas. The purpose of historic preservation is to promote the health, safety, and general welfare of the public through:

(1) The protection, enhancement, perpetuation, and use of structures, sites, and areas that are reminders of past eras, events, and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.

(2) The development and maintenance of appropriate settings and environment for such structures.

(3) The enhancement of property values, the stabilization of neighborhood and areas of the Town, the increase of economic and financial benefits to the Town and its inhabitants, and the promotion of tourist trade and interest.

(4) The enrichment of human life in its educational and cultural dimensions by serving aesthetic as well as material needs and fostering knowledge of the living heritage of the past.

The Town recognizes a historical resource as follows: any structure/site that is located within a historic district, any structure/site that is historically designated, or any primary structure constructed prior to 1941 *unless the Town has determined that the structure has no historic significance or architectural merit.*

Finding: The Town has designated the historic districts of Almond Grove, Broadway, Los Gatos Commercial, Fairview Plaza and University/Edelen. All the historic districts are located in the

historic core area of Los Gatos. The subject property is not in a designated historic district. The main house has been extensively altered and enlarged, and does not exhibit special character; or special historical, architectural, or aesthetic interest; or value to the built environment of Los Gatos. The Carriage House building, landscaping, and second story expansion has been constructed since 2006 and are not contributing to nor preserving any historic value.

California Environmental Quality Act (CEQA)

In the historical resource section of CEQA, the concern is directed toward any project that may create an adverse change to any historical resource. CEQA Guidelines Appendix G indicates that a project may have a significant effect on the environment if it would:

1. Cause a substantial adverse change in the significance of a historical resource as defined in section 15064.5;
2. Cause a substantial adverse change in the significance of an archaeological resource pursuant to section 15064.5;
3. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature;
4. Disturb any human remains, including those interred outside of formal cemeteries; or
5. Conflict with a plan or policy adopted for the purpose of avoiding or mitigating an environmental effect.

A “substantial adverse change” to a historical resource is defined in Guidelines Section 15064.5(b) as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.” The significance of a historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in the California Register of Historical Resources;” or “demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources...” or “demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.”

CEQA (Guidelines Section 15064.5), define the term “historical resources” to include the following:

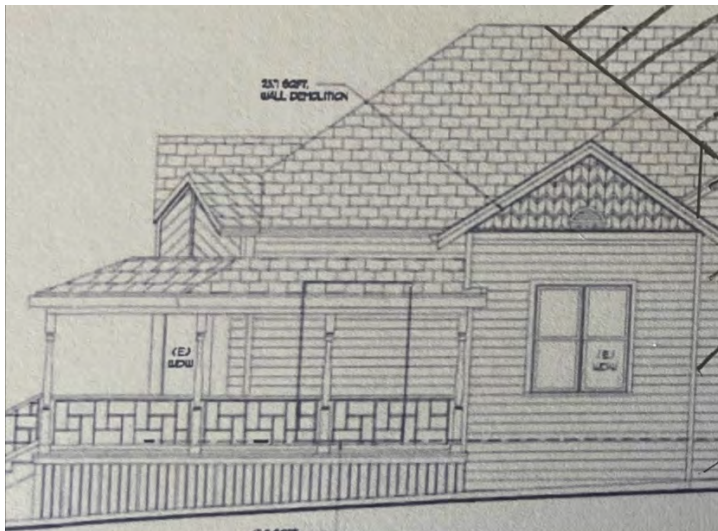
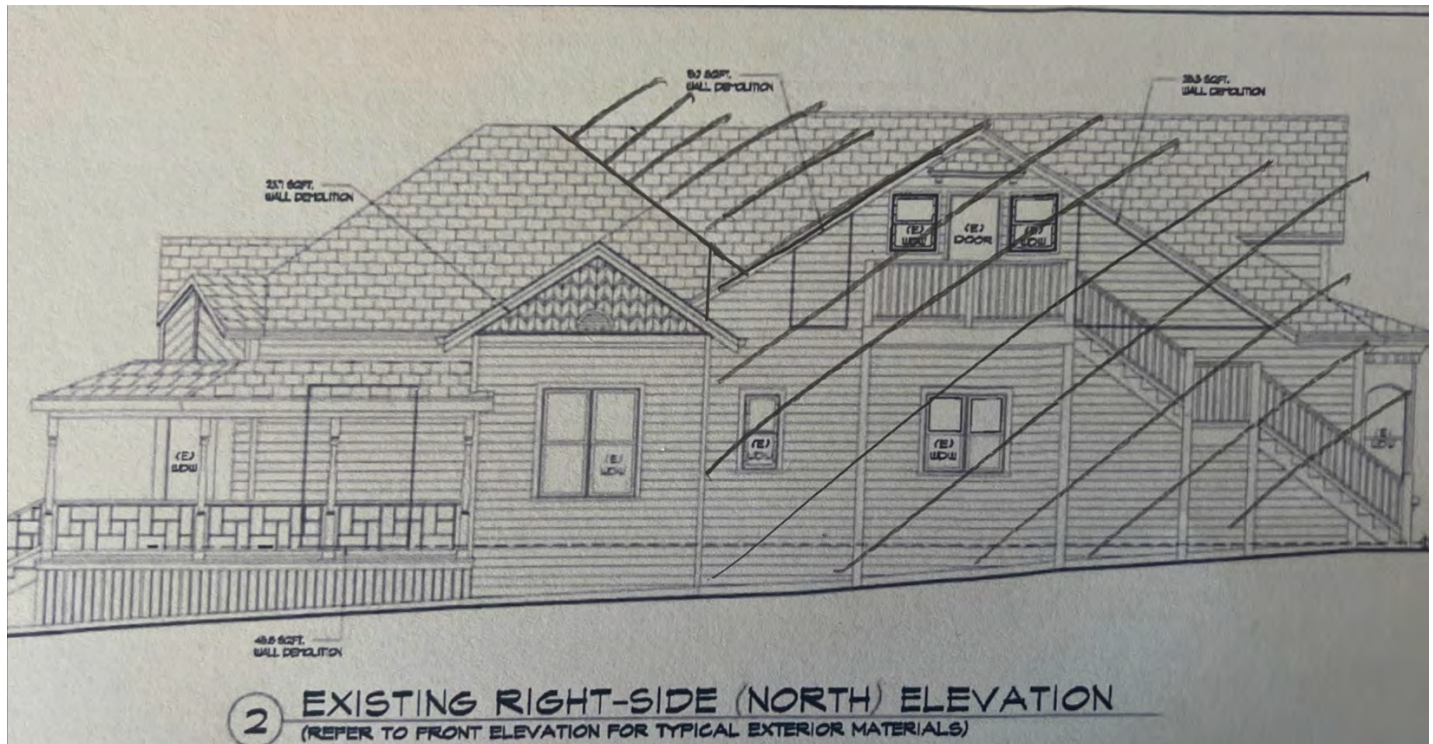
1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register (Public Resources Code §5024.1, Title 14 California Code of Regulations, Section 4850 et seq.).
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the Public Resources Code or identified as significant in a historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, may be considered to be a historical resource, provided the lead agency’s determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be “historically significant” if the

resource meets the criteria for listing in the California Register (Public Resources Code Section 5024.1, Title 14 California Code of Regulations, Section 4852)

CEQA Finding: The research and evaluation of the primary residence and Carriage House at 33 Walnut Avenue conclude that the property and buildings do not meet the criteria of the California Register of Historical Resources or the criteria of the Town of Los Gatos for designating a historical resource. For purposes of CEQA, the subject property is not a “Historical Resource” under the CEQA Guidelines.

Reference Materials:

1. **Drawings:** The following drawings shows precisely where the 1891-built cottage footprint was, based on the original roof-frame artifact that remains beneath the actual functioning rooftop. It clearly shows that the original footprint of the house was 889 sf of living space before the Peed and Montgomery families made their alterations which included removing the fireplace and building an additional room (behind the kitchen) onto the rear of the house. That added room extended the rear of the house back about fourteen feet before being further extended in 2007 by Oveyssi.



2. This photo shows the roof frame artifact remaining in the attic indicating precisely where the rear of the original house ended. This is hard evidence of the original structure not otherwise found in town records.



The following photos show some of the exterior changes that have been made over the course of several decades. Earlier changes such as the addition of a glassed-in rear porch and first version of the second story addition are not shown, but are available to see in older photos provided by town staff.

3. View of newly constructed front porch from Walnut Avenue:

While true to the Queen Anne style front porch architecture, the improvements in depth, height, and shape, together with the yet to be built new railing leaves no trace of the historic materials or construction methods..



4. View from Walnut Avenue of Carriage House:

This photo shows both the 2007 built exterior staircase and the newly built carriage house structures, both visible from Walnut Avenue.



- 5. East-facing View of 2021/22-built Carriage House from Rear of Main Residence:**
No longer is there any view looking out onto Wissahickon from the original house.



6. Northwest view of gabled 2nd-story of 33 Walnut plus 2021/22-built Carriage House:

Visibility from Wissahickon the Walnut facing house clearly reveals an entirely different residence than the single-story house originally built with a wide-open view lot.



7. Northern Elevation View of 2007 massively altered second-story of 33 Walnut:
Clearly no longer a small 889 sf cottage.



8. Southwestern Elevation (from Wissahickon) view of three-gabled second-story addition:



9. Southern View of the First/Second-story 2007 Additions with High Extended Roofline:
The second-story roofline dominates the view from the neighboring lot on the southern elevation.



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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 04/13/2022

ITEM NO: 2

DESK ITEM

DATE: April 13, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of the Historic Preservation Committee Decision to Deny the Removal of a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory on Property Zoned R-1:8. **Located at 33 Walnut Avenue.** APN 510-41-007. Property Owner/Applicant/Appellant: Jeffrey Siegel. Project Planner: Erin Walters.

REMARKS:

Exhibit 9 includes public comment received between 11:01 a.m., Tuesday, April 12, 2022, and 11:00 a.m., Wednesday, April 13, 2022.

EXHIBITS:

Previously Received with the April 13, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Historic Preservation Committee Meeting Minutes for February 23, 2022
4. Historic Preservation Committee Action Letter, February 23, 2022
5. Historic Preservation Committee Staff Report and Attachments, February 23, 2022
6. Appeal of the Historic Preservation Committee, received February 27, 2022
7. Additional Information Provided by the Appellant, received April 6, 2022

Received with the April 12, 2022 Addendum Report:

8. Additional Information Provided by the Appellant, received April 11, 2022

PREPARED BY: ERIN WALTERS
Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: 33 Walnut Avenue/Appeal of a HPC Decision

DATE: April 13, 2022

Exhibits (continued):

Received with this Desk Item Report:

9. Public comments received between 11:01 a.m., Tuesday, April 12, 2022, and 11:00 a.m., Wednesday, April 13, 2022.

-----Original Message-----

From: Susan Burnett <[REDACTED]>

Sent: Tuesday, April 12, 2022 3:08 PM

To: Planning <Planning@losgatosca.gov>

Cc: Susan Burnett <[REDACTED]>

Subject: Public Comment Item #2

EXTERNAL SENDER

Good Evening Planning Commissioners!

I want to voice my opinion on the Appeal of the Historic Preservation Committee's Decision to Deny the Removal of a Historic Resource Inventory Property, located at 33 Walnut Avenue. I hope you uphold the HPC decision! The HPC is very familiar with the history of this property, the reasons of how and why they unanimously arrived at this denial is very clear. Please respect their decision, as a knowledgeable and unbiased committee.

I also want to comment on the direction the Planning Commission seems to be going in, which I think is in the wrong direction. The recent dramatic neighborhood changes, in East Los Gatos and now on Olive St is very disturbing; by allowing over building, in my opinion, the character of a whole neighborhood is forever lost. The General Guidelines for neighborhoods in Los Gatos is not being respected.

Thank-you.

Susan Burnett

EXHIBIT 9



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 4/13/2022

ITEM NO: 3

DATE: April 7, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Review and Make Recommendations on the Draft 2040 General Plan and Final Environmental Impact Report to the Town Council.

RECOMMENDATION:

Review and make recommendations on the Draft 2040 General Plan and Final Environmental Impact Report (EIR) to the Town Council.

BACKGROUND:

On February 6, 2018, Town Council began the process of updating the 2020 General Plan with a discussion of the scope and process for the General Plan update. At that meeting, the Town Council indicated that the General Plan is serving the community well, and an update provides the opportunity to refine the General Plan, address emerging trends and recent State laws, and consider new issues.

Over the following four years, the General Plan update process has included multiple community engagement opportunities, meetings with the Planning Commission and Town Council, and the following key milestones:

- On April 17, 2018, the Town Council established the General Plan Update Advisory Committee (GPAC) and identified initial guiding principles to support their work.
- On July 9, 2018, after approval by the Town Council, the Town Manager executed an agreement with Mintier Harnish Planning Consultants for preparation of the General Plan update and Draft EIR.
- On October 30, 2018, the GPAC held its first meeting.
- On March 15, 2019, the Background Report (available online here: <http://losgatos2040.com/documents.html>) was released.

PREPARED BY: Jennifer Armer, AICP
Planning Manager

Reviewed by: Planning Manager and Community Development Director

BACKGROUND (continued):

- On June 20, 2019, the GPAC reviewed the Issues, Opportunities, and Constraints Report (available online here: <http://losgatos2040.com/documents.html>).
- On August 20, 2019, the Town Council adopted the General Plan Vision and Guiding Principles (available online here: <http://losgatos2040.com/documents.html>).
- In December 2019, the Land Use Alternatives Report (available online here: <http://losgatos2040.com/documents.html>) was released.
- On March 3, 2020, the GPAC started review and discussion of the initial drafts of individual elements of the General Plan.
- On April 7, 2020, the Town Council approved the Preferred Land Use Alternatives Framework (available online here: <http://losgatos2040.com/documents.html>).
- On November 17, 2020, the Town Council discussed and provided direction on the Draft Land Use and Community Design Elements.
- On May 6, 2021, the GPAC recommended approval of the Draft 2040 General Plan (available online here: <http://losgatos2040.com/documents.html>).
- On June 18, 2021, the Draft 2040 General Plan was released for public review.
- On July 31, 2021, the Draft EIR (available online here: <http://losgatos2040.com/documents.html>) was released for public review. The public comment period ended on September 13, 2021.
- On September 20, 2021, the Town Council and Planning Commission held a Joint Study Session for discussion of the Draft 2040 General Plan.
- On November 19, 2021, the revised Notice of Completion and Availability was reissued along with a revised Chapter 4.15, Transportation, and Executive Summary of the Draft EIR (available online here: <http://losgatos2040.com/documents.html>) for a reopened public review period which ended on January 8, 2022.
- On December 7, 2021, the Town Council held a Study Session for discussion of housing growth options and related analyses for Planning Commission and Town Council consideration of the Draft 2040 General Plan.
- On March 24, 2022, the Final EIR was published online (available here: <http://losgatos2040.com/documents.html>).

Over the course of two and a half years and 35 meetings, the GPAC worked with staff and the consultant to create an updated General Plan. The GPAC reviewed each General Plan Element to ensure a forward-looking document that is consistent and accessible. Each Element was considered over multiple meetings (between two and five GPAC meetings per Element) with the GPAC providing comments to staff and the consultant, and then further review and direction on the implementation of those comments in a revised draft of each Element. The Draft 2040 General Plan (previously provided and referenced here as Exhibit 1) is the result of this extensive work and outreach.

BACKGROUND (continued):

Additional outreach activities conducted throughout the process have included: the Town's website and weekly newsletter; social media posts; online engagement activities; newsletters; two in-person community workshops; numerous in-person and online community meetings; handouts and posters at the Library; information on the Town's webpage; information in the email signature of Planning Division staff; a Town-wide mailer; and informational booths at the farmers market, the Library, Spring into Green, and Music in the Park.

DISCUSSION:

Through the General Plan update process, the GPAC has refined the goals of the update based on direction from Town Council at the start and at key points throughout the process. The initial direction from Town Council was that the 2020 General Plan was serving the Town well, and this update provides the opportunity for the Town to refine the General Plan, address emerging trends and recent State laws, and consider new issues. These emerging trends, recent State laws, and new issues included:

- Inclusion: The need for inclusion came to the forefront in 2020 and led to updates within every Element of the General Plan.
- Regional Housing Needs Allocation (RHNA): The expected State requirement that the General Plan provide opportunities for the approximately 2,000 residential units for the next Housing Element update led to discussions of where and how those units should be accommodated. The housing allocation for our region has now been approved by the Association of Bay Area Governments (ABAG), with an allocation for the Town of Los Gatos of 1,993 housing units.
- Objective Standards: The need for objective standards, particularly for those areas of Town that are most likely to redevelop with new housing, became clear with new State laws limiting certain development project reviews to objective standards.
- Safety Element and Fire Safety/Preparedness: A required review by the California Department of Forestry and Fire Protection (CalFire) for areas in the Very High Fire Hazard Severity Zones was required as part of this update.
- Vehicle Miles Traveled (VMT): A requirement for environmental review to consider VMT instead of Level of Service also led to a shift in the plan to emphasize a reduction of VMT and increase in mobility of all mode types.
- Sustainability: An ongoing interest in increasing sustainability efforts through Town actions, regulations, and coordination led to new and revised policies.

The most substantial changes in the Draft 2040 General Plan are:

- A new Racial, Social, and Environmental Justice Element;
- Increased housing opportunities for mixed-use developments in commercial areas and missing middle housing in existing neighborhoods with design requirements;

DISCUSSION (continued):

- New Community Commercial land use designation;
- New Community Place Districts to provide more objective design standards and focus on community form (urban design) for all development;
- Shift in focus of transportation policies to street design, connectivity, and mobility for all users (bicycles, pedestrians, vehicles, etc.) to reduce VMT;
- New goals in the Environment and Sustainability Element; and
- Expanded policies to prepare for wildfire, climate change, and community health threats.

The increased housing opportunities are provided through changes in the maximum allowed densities and heights. The increases to the maximum allowed residential density are seen in most areas, excluding the hillsides, with a focus on the commercial, mixed-use, and medium/high density residential designations. This coincides with the location of the Community Place Districts, where the Draft 2040 General Plan also includes new design policies. The following table depicts the changes in density and height for all land use designations:

Land Use Designations	Density Range (du/ac)		Maximum Height	
	Existing General Plan	Draft General Plan	Existing General Plan	Draft General Plan
Hillside Residential	0 to 1	0 to 1	30	25
Low Density Residential	0 to 5	1 to 12	30	30
Medium Density Residential	5 to 12	14 to 24	30	35
High Density Residential	12 to 20	30 to 40	30	45
Mixed-Use	20	30 to 40	35	45
Neighborhood Commercial	20	10 to 20	35	35
Community Commercial	NA	20 to 30	35	45
Central Business District	20	20 to 30	45	45
Office Professional	20	30 to 40	35	35
Service Commercial	NA	20 to 30	35	35
Light Industrial	NA	None	35	35
Public	NA	None	NA	35
Open Space	NA	None	NA	30
Agriculture	NA	0 to 1	NA	30
Albright Specific Plan	See Specific Plan	No Change	See Specific Plan	No Change
North Forty Specific Plan	See Specific Plan	No Change	See Specific Plan	No Change

The following sections step through additional suggested modifications, as well as topics where additional information has been requested.

DISCUSSION (continued):

A. GPAC Recommendation

After the thorough work described above, on May 6, 2021, the GPAC recommended approval of the Draft 2040 General Plan. The discussion at this meeting also included a recommendation for some modifications to the Vision and Guiding Principles to better reflect the direction developed over the previous years' work. These changes are shown in Exhibit 6 and summarized in Exhibit 7.

B. Housing Units

See information provided in the September 20, 2021 Joint Town Council and Planning Commission Study Session Staff Report, available online here:

<https://www.losgatosca.gov/13/Agendas-Minutes>.

When discussing the number of housing units that may be developed under this General Plan, it is important to understand the context for the different numbers under discussion. In the Draft 2040 General Plan, on page 3-4, the General Plan Residential Buildout Table (3-1) contains a calculation of how many units are projected to be developed over the 20-year timeframe of the Draft 2040 General Plan, if adopted without changes. The numbers in this table include:

New Housing on Vacant and Redeveloped Land	2,763 units
New Accessory Dwelling Units (ADUs) (25 per year)	500 units
Existing Projects	475 units
Total	3,738 units

These numbers are frequently referenced in the public comments received and compared to the RHNA allocation, now confirmed by ABAG to be 1,993 housing units for the Town of Los Gatos. This is the allocation that the Town will need to include in the update of the Housing Element for the next eight-year period (2023-2031).

Unfortunately, this direct comparison can lead to confusion because of the following factors:

- The General Plan Residential Buildout Table is an estimate based on a 20-year timeline;
- The General Plan Residential Buildout Table includes 475 residential units from existing projects, where most will have building permits issued prior to the start of the next

Housing Element cycle, and therefore won't be counted toward the 1,993 unit requirement;

DISCUSSION (continued):

- The General Plan Residential Buildout Table includes 25 ADUs per year, which resulted in 500 units for the 20-year timeline, but only 200 over the eight-year RHNA cycle; and
- The Housing Element will likely need to include capacity for at least a 15 percent buffer, above the 1,993 housing units, for a total of 2,292 housing units, in order to be certified by the California Department of Housing and Community Development (HCD).

When the Draft 2040 General Plan numbers above are modified to better account for the points listed above, the following is the result:

New Housing on Vacant & Redeveloped Land	2,763 units
New Accessory Dwelling Units (ADUs) (25 per year)	200 units
Existing Projects	75 units
Total	3,038 units

This adjustment shows that the projected development of 3,038 dwelling units can be compared to the required 1,993 housing units plus 15 percent buffer (2,292 units). The projected housing development under the 20-year General Plan is therefore 746 housing units greater than the expected need for the eight-year Housing Element need. As a result, the following information is provided for discussion and consideration for potential modifications that would reduce the development potential of the Draft 2040 General Plan, if desired.

Potential reductions in housing development capacity:

- Revert Low Density Housing designation housing density back to the existing 2020 General Plan level: 279 units;
- Revert Medium Density Housing designation housing density back to the existing 2020 General Plan level: 327 units;
- Remove housing from Office and Service Commercial designations: 313 units;
- Revert properties in the new Community Commercial designation back to Neighborhood Commercial: 58 units;
- Reduce the allowed density in the Mixed-Use designation from 40 dwelling units per acre to 30 dwelling units per acre: 255 units;
- Reduce the allowed density in the High Density Residential designation from 40 dwelling units per acre to 30 dwelling units per acre: 111 units.

C. Community Engagement

Much of the public meetings and engagement activities of this process are listed in the Background section of this report. In response to a request from a Council Member, staff DISCUSSION (continued):

has compiled some data to illustrate the efforts that the Town has employed to reach out to the community for input:

- 110 newspaper ads published about the General Plan update;
- 433 social media posts across five platforms;
- 17,320 notice cards sent to all residents in Town for 2021 Community Meeting;
- 26 pop-up tables at farmers market, library, or public events;
- 7 presentations at community group meetings;
- 369 sign-ups to receive email notifications about the General Plan update;
- 538 unique searches for "Los Gatos General Plan Update" or closely related in Google; and
- 29,343 unique visitors to the Los Gatos General Update website since June 2021. Of the unique visitors, 92 percent originated in the United States.

D. Missing Middle Housing

In the Draft 2040 General Plan the term Missing Middle Housing is defined as, “a term used to describe multiple units on a single parcel (whether attached or detached) that are compatible in scale and form with detached single-family homes. Common housing types include: duplexes; triplexes; fourplexes; courtyard apartments; cottage courts; townhomes; triplex stacked (vertical); and live-work spaces.”

In response to direction from Town Council, the following alternative definitions of Missing Middle Housing are provided for consideration:

- Missing Middle Housing is a range of house-scale buildings with multiple units - compatible in scale and form with detached single-family homes - located in a walkable neighborhood. (missingmiddlehousing.com)
- “Missing middle housing” refers to small-scale multi-family housing that can range from duplexes to townhouses to smaller apartment buildings that are compatible with walkable neighborhoods. Dan Parolek of Opticos Design coined the term “missing middle” in 2010 and created this website (missingmiddlehousing.com) to explain the term, provide basics about the market, describe its characteristics, and provide guidance for creating middle housing. (abag.ca.gov)
- Missing middle housing describes a range of multi-family or clustered housing types that are compatible in scale with single-family or transitional neighborhoods. Missing middle housing is intended to meet the demand for walkable neighborhoods, respond to changing demographics, and provide housing at different price points. The term

"missing middle" is meant to describe housing types that were common in the pre-WWII United States such as duplexes, rowhomes, and courtyard apartments, but are now less common and, therefore, "missing." Rather than focusing on the number of units in a DISCUSSION (continued):

structure, missing middle housing emphasizes scale and heights that are appropriate for single-family neighborhoods or transitional neighborhoods. After the introduction of the term in 2010, the concept has been applied in the United States, Canada, and Australia. ([wikipedia.org](https://www.wikipedia.org))

In addition to consideration of potential modifications to the definition of Missing Middle Housing, any discussion of reducing the housing density allowed in the Low Density Residential designations should include a discussion of the removal of this concept from the Draft 2040 General Plan, given that the density changes in these areas are the factor that would allow for potential Missing Middle Housing.

E. Senate Bill 9

California Senate Bill 9 (SB 9) requires ministerial (staff-level) approval of certain housing development projects and lot splits on a single-family zoned parcel. SB 9 was passed by the California Legislature on September 1, 2021, signed into law by Governor Newsom on September 16, 2021, and took effect January 1, 2022.

On December 21, 2021, Town Council adopted an Urgency Ordinance to implement SB 9 with local objective standards, and on February 1, 2022, Town Council adopted an extension of that Urgency Ordinance. A permanent ordinance will be adopted before the end of the year.

While there is potential that the new residential units that will be created as a result of SB 9 can be counted toward meeting the required housing units, at the time of the preparation of this report, only one application has been received under the SB 9 regulations, and so there are no data at this time to support specific housing production under this program.

F. Plan Timeframe

The development of the Draft 2040 General Plan was based on a 20-year timeframe as stated in the consultant contract, approved by Town Council in June, 2018. However, the Draft 2040 General Plan also includes Land Use Implementation Program J:

Ten-year General Plan Review

The Town shall conduct a thorough review of the General Plan every ten years from the date of final approval, and revise and update as necessary. This review can include the following:

- Modify, add, or delete goals, policies, or programs to reflect notable changes in the Town over the previous period;

DISCUSSION (continued):

- Remove or modify programs that have been completed or require additional time;
- Modify or add new goals, policies, or programs to reflect changing needs within the Town; and
- Modify to reflect applicable changes in State law.

Staff suggests an additional Implementation Program to review the Land Use Element every five years and include a fiscal analysis, as noted in Exhibit 7.

G. Declining California Population

In response to a request from a Council Member, staff has looked into recent news articles that state that California's population has estimated to have fallen over the last two years. Population estimates from the U.S. Census are in the following table:

California			Santa Clara County		
Year	Population estimate	Percent Change	Year	Population estimate	Percent Change
July 1, 2019	39,512,223		July 1, 2019	1,927,852	
July 1, 2020	39,499,738	-0.316	July 1, 2020	1,930,598	+0.142
July 1, 2021	39,237,836	-0.665	July 1, 2021	1,885,508	-2.33
2022	Not available		2022	Not available	

When looking at changes over these three years, especially with ongoing changes in the status of the COVID-19 Pandemic, it is difficult to determine if these are indications of new trends or if the changes are temporary.

H. Suggestions From Public Comments

Many of the verbal and written comments received on this Draft 2040 General Plan have been supportive of the proposed changes especially on the following topics:

- Environmental protection and sustainability, including plant-based eating;
- Diverse housing types, including increased density, affordable housing, and Missing Middle Housing, so that people who work here can live here;
- Racial equity and inclusivity;

- Non-auto related mobility and decreases in VMT; and
- Emergency preparedness, especially for wildfires.

However, the Planning Commission may consider including changes as part of their recommendation on the Draft 2040 General Plan to Town Council. The Planning

DISCUSSION (continued):

Commission may consider changes recommended in this report, from public comments, and/or from its own review and deliberation.

To assist in this discussion, the written public comments on the Draft 2040 General Plan received between 11:01 a.m. on Thursday, May 6, 2021 (final GPAC meeting) and 11:00 a.m. on Monday, September 20, 2021, were provided with the September 20, 2021 Joint Town Council and Planning Commission Study Session Staff Report materials, and are provided again here as Exhibit 9. Written comments received on the Draft EIR are included, with responses to comments, in the Final EIR, as noted above. All written public comments on the Draft 2040 General Plan received between 11:01 a.m. on Monday, September 20, 2021, and 11:00 a.m. on Thursday, April 7, 2022, are included as Exhibit 10 to this staff report.

The comments generally fall into numerous categories, including:

- Policy on plant-based diets is not enough to ensure education on health and environmental benefits;
- Objections to the number of new housing units, and why it is over the RHNA requirement;
- Traffic, parking, and infrastructure impacts of additional housing;
- Adequacy of utilities (water and electricity) for additional housing;
- Impacts on schools from additional housing;
- People won't actually use alternative modes of transportation;
- Safety in the case of wildfires, including impacts on evacuations;
- Impacts on public safety from additional housing;
- Lack of citizen input in this plan and in future development;
- Air quality impacts from additional residents;
- Impacts on local businesses from traffic congestion;
- Impacts on quality of life of current residents;
- Increased density in Low Density Residential areas to allow duplexes, triplexes, and fourplexes;
- More housing will be built than is estimated in the buildout table;
- Not enough housing will actually get built;
- Plan is too vague and should be more detailed;
- Lack of mass transit in Town;

- Choice to not appeal RHNA number;
- Protection of views of the hills;
- Should Council make the decision, or should it be made by the voters; and
- Allow more density and height and less parking to encourage affordable housing and mixed-use developments.

DISCUSSION (continued):

The specific suggestions received were so numerous that they have been compiled in Exhibit 7 and numbered with staff comments and recommendations for each shown in *italics* for ease of discussion and reference.

I. Safety Element Review by Board of Forestry

State Law requires that any General Plan or Housing Element update conducted after January 1, 2014, include review and update of the Safety Element to address the risk of fire for land classified as very high fire hazard severity zones (VHFHSZ's) [Gov. Code, § 65302, subd. (g)(3)]. This review by CalFire must be conducted prior to adoption of those updated Elements. As a result, once the Draft 2040 General Plan was published for review in June 2021, CalFire staff reviewed the three Elements that contain applicable policies: the Community Design Element; the Public Facilities, Services, and Infrastructure Element; and the Hazards and Safety Element. As a result of this review, modifications were required by CalFire. The changes are summarized in Exhibit 7 and the affected pages of these three Elements are included as Exhibit 8, with changes shown in ~~strike through~~ and underlined.

California Board of Forestry reviewed the Draft 2040 General Plan with modifications recommended by CalFire staff and recommended approval on November 2, 2021.

J. Additional Staff Recommended Changes

In addition to the potential changes identified earlier in this report by the GPAC and staff, suggested by the public, and requested by CalFire, Town staff from the Parks and Public Works Department has several additional recommended changes for consideration before adoption of the 2040 General Plan. These are listed in Exhibit 7.

ENVIRONMENTAL REVIEW:

A Notice of Completion and Availability of the Draft EIR (previously provided and referenced here as Exhibit 2) for the project was circulated for 45 days commencing on July 30, 2021, and concluding on September 13, 2021 at 5:00 p.m. Written comments were received by the Community Development Department. A Planning Commission public hearing to receive oral comments was held during the review period on September 8, 2021.

During the review of commentary and the preparation of the Final EIR, the Town became aware of a procedural error in the original Notice of Completion and Availability and also noted that Appendix C erroneously included a draft rather than a final Transportation Analysis.

Additionally, Chapter 4.15, Transportation, of the EIR was revised to elaborate on transit impacts and cumulative VMT impacts. Even though the content changes were minor, the Town ENVIRONMENTAL REVIEW (continued):

believed to provide maximum clarity, it was important to recirculate the Transportation Analysis of the Draft EIR and its Appendix, as well as the Executive Summary which includes a summary of transportation impacts (previously provided and referenced here as Exhibit 3). Accordingly, the Town of Los Gatos reissued the Notice of Completion and Availability of the Draft EIR, and formally recirculated Chapter 4.15, Transportation and Appendix C, Transportation Analysis for the Draft EIR, as well as the Executive Summary.

The reopened public review period ran from Friday, November 19, 2021, to at 5:00 p.m. on Friday, January 7, 2022. A public hearing to receive comments on the revised Draft EIR was held on December 8, 2021. During this additional 45-day public review period, written comments were received and are included, along with response to all comments from the initial comment period, in the Final EIR (previously provided and referenced here as Exhibit 3).

The analysis of the Draft EIR identified significant and potentially significant impacts in the following environmental issue areas:

- Air Quality;
- Cultural Resources;
- Geology and Soils;
- Greenhouse Gas Emissions;
- Noise; and
- Transportation.

Mitigation measures are proposed in all of these subject areas. Not all of the potential impacts could be mitigated to a less than significant level and therefore, the following topic areas were found to have significant unavoidable impacts: Greenhouse Gas Emissions; and Transportation.

When the Lead Agency finds that there are impacts that are significant and unavoidable, CEQA requires preparation of Findings of Fact and a Statement of Overriding Considerations (Exhibit 5). The Planning Commission should make a recommendation on the Final EIR to the Town Council who is the deciding body on both the Final EIR and the Draft 2040 General Plan.

PUBLIC COMMENTS:

Written comments received between 11:01 a.m., Thursday, May 6, 2021, and 11:00 a.m., Monday, September 20, 2021, were provided with the written staff report materials for the September 20, 2021 Town Council and Planning Commission Joint Study Session, and are provided again here as Exhibit 9. Written comments received on the Draft EIR are included, with responses to comments, in the Final EIR, as noted above. Written comments received between 11:01 a.m., Monday, September 20, 2021, and 11:00 a.m., Thursday, April 7, 2022, are included as Exhibit 10.

CONCLUSION:

The 2040 Draft General Plan is a result of the Town Council's direction to update the existing 2020 General Plan to address emerging trends and recent State laws, and consider new issues relevant to the Town.

Over the course of two and a half years and 35 meetings, the GPAC worked with staff and the consultant to create an updated General Plan. The GPAC reviewed each General Plan Element to ensure a forward-looking document that is consistent and accessible. Each Element was considered over multiple meetings (between two and five GPAC meetings per Element) with the GPAC providing comments to staff and the consultant, and then further review and direction on the implementation of those comments in a revised draft of each Element. The Draft 2040 General Plan is the result of this extensive work and outreach.

All additional comments received on the Draft 2040 General Plan are included as Exhibits 8 and 9. The Final EIR, which includes all comments received on the Draft EIR as well as the responses to the comments and any changes to the EIR is referenced as Exhibit 4.

In conclusion, based on the GPAC's recommendation, staff recommends that the Planning Commission:

- Received and consider public comments;
- Complete the review of the Draft 2040 General Plan;
- Consider the Final EIR;
- Provide input on any additional recommended modifications to the Draft 2040 General Plan; and
- Forward the Draft 2040 General Plan and Final EIR to the Town Council with a recommendation to approve the Draft 2040 General Plan and certify the Final EIR.

NEXT STEPS:

The final step in the General Plan update process is consideration by Town Council of the Draft 2040 General Plan and Final EIR, including consideration of recommendations from the GPAC and Planning Commission, and additional comments from the public.

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SUBJECT: Draft 2040 General Plan and Final EIR

DATE: April 7, 2022

EXHIBITS:

Exhibits previously provided (available online here: <http://losgatos2040.com/documents.html>):

1. Draft 2040 General Plan
2. Draft EIR
3. Revised NOA and Transportation section
4. Final EIR

EXHIBITS (continued):

Exhibits received with this report:

5. Draft Findings of Fact and Statement of Overriding Considerations
6. GPAC Recommended Changes to the Vision and Guiding Principles
7. Modifications Proposed in Public Comment
8. Board of Forestry Recommended Changes
9. Public Comments received between 11:01 a.m., Thursday, May 6, 2021, and 11:00 a.m. Monday, September 20, 2021
10. Public Comments received between 11:01 a.m., Monday, September 20, 2021, and 11:00 a.m. on Thursday, April 7, 2022



2040 General Plan

Draft Findings of Fact and Statement of Overriding Considerations

prepared by

Town of Los Gatos

Planning Division, Department of Community Development

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March 2022

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1 Introduction

A Draft Environmental Impact Report (Draft EIR) was prepared for the 2040 General Plan (project), was made available for public review on July 30, 2021, and was distributed to local and State agencies. Copies of the Notice of Availability of the Draft EIR were mailed to a list of interested parties, groups, and public agencies. The Draft EIR and an announcement of its availability were posted electronically on the Town's website, and a paper copy was available for public review at the Los Gatos Public Library. The Notice of Availability of the Draft EIR was also posted at the office of the Santa Clara County Clerk.

After the close of the first comment period on the Draft EIR, the Town became aware of a procedural error in the original Notice of Completion and Availability and noted that Appendix C erroneously included a draft rather than a final Transportation Analysis. The Town reopened the public comment period on the Draft EIR for an additional 45-day period and provided an updated Notice of Availability with the statutory language required under California Environmental Quality Act (CEQA) Guidelines section 15087. As part of this reopened comment period, Chapter 4.15, *Transportation*, of the Draft EIR was revised to elaborate on transit impacts and cumulative Vehicle Miles Traveled (VMT) impacts. The Town recirculated the revised Transportation section and its Appendix, as well as the Executive Summary which includes a summary of transportation impacts. No other sections of the Draft EIR were revised. This second comment period extended from November 15, 2021, to January 7, 2022.

After close of the Recirculated Draft EIR public review and comment period, a Final EIR consisting of responses to comments and changes to the Draft EIR was completed, which was released to the public on March [REDACTED], 2022. The Planning Commission held a public hearing on [REDACTED], 2022, and prepared a recommendation to the Town Council regarding certification of the Final EIR and action on the project, and the Town Council held a public hearing on [REDACTED] and determined to certify the Final EIR and to approve the project.

The Findings of Fact (Findings) and Statement of Overriding Considerations (SOC) presented herein address the environmental effects associated with the project that are described and analyzed within the Final EIR, reflecting the Council's determinations about feasible mitigation measures, the adequacy of the Final EIR, and about the project. These Findings have been made pursuant to CEQA (California Public Resources Code Section 21000 et seq.), specifically Public Resources code Section 21081 and 21081.6, as well as the CEQA Guidelines (14 CCR 15000 et seq.) Sections 15091 and 15093.

Public Resources Code Section 21081 and CEQA Guidelines Section 15091 require that the Town of Los Gatos (Town) as the Lead Agency for this project, prepare written findings for any identified significant environmental effects along with a brief explanation of the rationale for each finding. Specific findings under CEQA Guidelines Section 15091(a) are:

- (1) Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.
- (2) Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the finding. Such changes have been adopted by such other agency or can and should be adopted by such other agency.
- (3) Specific economic, legal, social, technological, or other considerations, including provision of employment opportunities for highly trained workers, make infeasible the mitigation measures or project alternatives identified in the Final EIR.

Further, in accordance with Public Resources Code Section 21081 and CEQA Guidelines Section 15093, whenever significant effects cannot be mitigated to below a level of significance, the Town as the decision-making agency is required to balance, as applicable, the benefits of the project against its unavoidable environmental risks when determining whether to approve the project. If the benefits of a project outweigh the unavoidable adverse environmental effects, the adverse effects may be considered “acceptable,” in which case the Lead Agency must adopt a formal SOC.

The Final EIR identified potentially significant environmental effects that could result from the project, but could be reduced to a less-than-significant level through implementation of mitigation measures. Those effects were related to air quality (impacts related to construction air pollutants and odors), cultural and tribal cultural resources (potential for impacts on previously unidentified historical and archaeological resources), geology and soils (potential for a paleontological impacts), and noise (impacts related to project construction noise and vibration). A significant and unavoidable (unmitigable) cumulative impact associated with greenhouse gas emissions and transportation (impacts related to transit and VMT) were identified due to lack of feasible mitigation measures, and thus a SOC is required.

2 Project Description

The 2040 General Plan is a comprehensive update of the Town’s 2020 General Plan and establishes the community’s vision for future development of the Town over the next 20 years. As part of the General Plan update process, the 2040 General Plan has been reorganized and reformatted, with updated goals and policies that reflect the community’s vision of Los Gatos. The Town’s General Plan Land Use Map has also been updated to reflect the community’s vision and three themes that thread through the 2040 General Plan: growth management; sustainability and resiliency; and community health and well-being.

State law (Government Code Sections 65300 through 65303.4) sets forth the requirement for each municipality to adopt and periodically update its General Plan and sets the requirement that a General Plan include the following eight mandatory subject areas, or “elements”: Land Use; Circulation; Housing; Open Space; Conservation; Noise; Safety; and Environmental Justice. State law also allows for optional elements that can be organized or combined at the Town’s discretion. As described below, the 2040 General Plan has been organized into the following eight updated elements: Community Design; Environment and Sustainability; Hazards and Safety; Land Use; Mobility; Open Space, Parks, and Recreation; Public Facilities, Services, and Infrastructure; and Racial, Social, and Environmental Justice. Together, these elements, along with the 2015-2023 Housing Element, cover all topics required to be included in a General Plan under State law, as described above. Each element describes the existing conditions and context for its related topic areas, followed by goals, policies, and implementation programs to guide the Town’s management and development through 2040.

The 2040 General Plan would emphasize infill and reuse development within the Town limits with a focus on increasing opportunities for housing development in key areas of the Town through increased density and mixed-use projects where appropriate. New development would occur primarily where existing roads, water, and sewer are in place and in a manner that would minimize the impact of development on existing infrastructure and services.

The 2040 General Plan also provides the policy framework to guide future development toward land uses that support walking and biking. The 2040 General Plan places a greater emphasis on reestablishing more complete neighborhood areas that meet the daily needs of residents to be located within a one-mile distance. Focus areas for growth in Los Gatos, called Community Place Districts, include Pollard Road,

Winchester Boulevard, Lark Avenue, Los Gatos Boulevard, Union Avenue, Harwood Road, North Santa Cruz Avenue, and Downtown.

3 Project Objectives

The 2040 General Plan presents a vision for the future of Los Gatos and a set of guiding principles for how the Town will achieve that vision. This vision and guiding principles capture the Town's key values and aspirations for the future. They reflect the collective ideas from community members and Town leaders that provided input to help shape the 2040 General Plan.

Among the central objectives of the 2040 General Plan are to achieve the Regional Housing Needs Allocation (RHNA) goal of approximately 2,000 dwelling units developed by the Association of Bay Area Governments additional. Accordingly, Los Gatos used the RHNA numbers as a predictor of the housing needed to meet future demands. This focused the Town to reevaluate and plan for a more diverse housing mix for a changing population. Proactively planning for the anticipated land use changes and ensuring growth is sustainable over the next 20 years is a priority of this General Plan and the community.

The 2040 General Plan vision for the future is as follows:

The Town of Los Gatos is a welcoming, family-oriented, and safe community nestled in the beautiful foothills of the Santa Cruz Mountains. The Town is a sustainable community that takes pride in its small-town character and provides a range of housing opportunities, historic neighborhoods, local culture and arts, excellent schools, and a lively and accessible downtown. Los Gatos offers a choice of mobility options, superior public facilities and services, and an open and responsive local government that is fiscally sound. Los Gatos has a dynamic and thriving economy that includes a mix of businesses throughout Town that serves all residents, workers, and visitors.

The 2040 General Plan guiding principles are contained in the 2040 General Plan Introduction and listed below:

- **Community Vitality.** Invigorate downtown Los Gatos as a special place for community gathering, commerce, and other activities for residents and visitors. Foster the economic vitality of all Los Gatos business locations. Preserve and enhance the Town's historic resources and character while guiding the community into the future.
- **Diverse Neighborhoods.** Foster appropriate investments to maintain and enhance diverse neighborhoods, housing opportunities, and infrastructure to meet the needs of all current and future residents.
- **Fiscal Stability / Responsibility.** Provide high quality municipal services to the Los Gatos community while sustaining the Town's long-term fiscal health.
- **Government Transparency.** Conduct governmental processes in an open manner and encourage public involvement in Town governance.
- **Inclusivity.** Recognize the importance of and promote ethnic, cultural, and socio-economic diversity and equity to enhance the quality of life in Los Gatos.
- **Mobility.** Provide a well-connected transportation system that enables safe access for all transportation modes, including pedestrians, bicyclists, motorists, and transit riders of all ages and abilities.

- **Promote Public Safety.** Maintain and enhance Los Gatos as a safe community through preparation and planning, education, and community design that is responsive to the full range of potential natural and man-made hazards and safety issues.
- **Protect Natural Resources.** Protect the natural resources and scenic assets that define Los Gatos, including open space preserves, recreational trails, surrounding hillsides, and natural waterways.
- **Sustainability.** Manage, conserve, and preserve Los Gatos' natural environment for present and future generations. Identify and provide opportunities to enhance the Town's sustainability policies and practices.

These objectives have been considered in preparing the findings and statement of overriding considerations contained herein.

4 Findings of Fact

Having received, reviewed, and considered the information in the Final EIR for this project, as well as the supporting administrative record, the Town of Los Gatos makes findings pursuant to, and in accordance with, Sections 21081, 21081.5, and 21081.6 of the Public Resources Code.

4.1 Environmental Effects Found Not to be Significant

Through project scoping and the environmental analysis contained within the Final EIR, it was determined that the project would not result in potentially significant effects on the environment with respect to aesthetics, agricultural and forestry resources, energy, hazards and hazardous materials, hydrology and water quality, land use and planning, mineral resources, population and housing, public services, recreation, utilities and service systems, and wildfire. No further findings are required for these subject areas.

4.2 Findings for Significant but Mitigated Effects

The following findings are hereby made by the Town of Los Gatos Town Council for the significant environmental effects identified in the EIR related to air quality (impacts related to construction air pollutants and odors), cultural resources (potential for impacts on previously unidentified historical and archaeological resources), geology and soils (potential for a paleontological impacts), and noise (impacts related to project construction noise and vibration).

Air Quality

Impact AQ-2: Development facilitated by the 2040 General Plan would result in the temporary generation of air pollutants during construction, which may contribute to existing air quality violations in the Basin. Therefore, impacts would be less than significant with mitigation.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a mitigation monitoring and reporting program (MMRP) that is to be adopted concurrently with these findings.

AQ-1 Construction Emissions Reductions. New discretionary projects in the General Plan Area that exceed the construction screening criteria of the Bay Area Air Quality Management District (BAAQMD) shall be conditioned to reduce construction emissions of reactive organic gases, nitrogen oxides, and particulate matter (PM₁₀ and PM_{2.5}) by implementing the BAAQMD's Basic Construction Mitigation Measures (described below) or equivalent, expanded, or modified measures based on project and site-specific conditions.

Basic Construction Mitigation Measures:

1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, with priority given to the use of recycled water for this activity when feasible.
2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping shall be prohibited.
4. All vehicle speeds on unpaved roads shall be limited to 15 mph.
5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.

A publicly visible sign shall be posted with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). Impacts would be less than significant with implementation of Mitigation Measure AQ-1 to require the BAAQMD Basic Construction Measures for all projects.

Impact AQ-4: The light industrial development allowed in the 2040 General Plan may create objectionable odors that could affect a substantial number of people. Impacts related to odors would be less than significant with mitigation.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a MMRP that is to be adopted concurrently with these findings.

AQ-2 **AQ-2 Odor Reduction.** Land Use Element Policy LU-11.5 Industrial Compatibility shall be updated in the 2040 General Plan to read:

Require that industrial projects be designed to limit the impact of truck traffic, air, odor, and noise pollution on adjacent sensitive land uses.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). Impacts would be less than significant with implementation of Mitigation Measure AQ-2 to update General Plan Policy LU-11.5 to include limitation of odors.

Cultural and Tribal Cultural Resources

Impact CUL-1: Development facilitated by the 2040 General Plan would have the potential to impact historical resources and unique archaeological resources. Impacts would be potentially significant but mitigable.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a MMRP that is to be adopted concurrently with these findings.

CR-1 **Cultural Resources Study Implementation.** If a project requires activities that have the potential to impact cultural resources, the Town shall require the project applicant or proponent to retain a qualified archaeologist meeting the Secretary of the Interior's (SOI) Professional Qualification Standards (PQS) in archaeology and/or an architectural historian meeting the SOI PQS standards in architectural history to complete a Phase 1 cultural resources inventory of the project site (NPS 1983). A Phase 1 cultural resources inventory shall include a pedestrian survey of the project site and sufficient background archival research and field sampling to determine whether subsurface prehistoric or historic remains may be present. Archival research shall include a records search conducted at the Northwest Information Center (NWIC) and a Sacred Lands File (SLF) search conducted with the Native American Heritage Commission (NAHC). The technical report documenting the Phase 1 cultural resources inventory shall include recommendations to avoid or reduce impacts to cultural resources. These recommendations shall be implemented and incorporated in the project.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). The implementation of Mitigation Measure CR-1 would reduce impacts to historical and unique archeological resources to a less than significant level by requiring cultural resource studies for projects within the Town and SOI and implementation of further requirements to avoid or reduce impacts to such resources on a project-by-project basis.

Geology and Soils

Impact GEO-5: Development facilitated by the 2040 General Plan has the potential to result in impacts to paleontological resources. Impacts would be less than significant with mitigation incorporated.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a MMRP that is to be adopted concurrently with these findings.

GEO-1 Paleontological Resource Studies. The Town shall require paleontological resource studies for projects that involve ground disturbance in project areas mapped as high paleontological sensitivity at the surface or subsurface determined through environmental review. Additionally, in the event that a paleontological resource is disclosed, construction activities in the area shall be suspended, a qualified paleontologist shall be retained to examine the site, and protective measures shall be implemented to protect the paleontological resource.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). Compliance with Mitigation Measure GEO-1 and the 2040 General Plan goals and policies would ensure that construction impacts related to paleontological resources and unique geologic features would be less than significant.

Noise

Impact N-1: Construction of individual projects facilitated by the 2040 General Plan would temporarily generate increased noise levels, potentially affecting nearby noise-sensitive land uses. Provisions in the Los Gatos Town Code and 2040 General Plan policies would limit noise disturbance to the extent feasible. Construction noise may still exceed noise standards temporarily, but exceedances would not be substantial and impacts would be less than significant with mitigation.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a MMRP that is to be adopted concurrently with these findings.

N-1 Construction Noise Reduction. For projects involving construction equipment that are located within 25 feet of noise-sensitive receptors the following mitigation would be required:

- **Equipment Staging Areas.** Equipment staging shall be located in areas that will create the greatest distance feasible between construction-related noise sources and noise-sensitive receptors.
- **Electrically-Powered Tools and Facilities.** Electrical power shall be used to run air compressors and similar power tools and to power any temporary structures, such as construction trailers or caretaker facilities.
- **Smart Back-up Alarms.** Mobile construction equipment shall have smart back-up alarms that automatically adjust the sound level of the alarm in response to ambient noise levels. Alternatively, back-up alarms shall be disabled and replaced with human spotters to ensure safety when mobile construction equipment is moving in the reverse direction.
- **Additional Noise Attenuation Techniques.** During the clearing, earth moving, grading, and foundation/conditioning phases of construction, temporary sound barriers shall be installed and maintained between the construction site and the sensitive receptors. Temporary sound barriers shall consist of sound blankets affixed

to construction fencing or temporary solid walls along all sides of the construction site boundary facing potentially sensitive receptors.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). N-1 would reduce construction noise. Combined with Los Gatos Town Code requirements, which requires most construction noise to be below 85 dBA and occur during daytime, when most people are awake or away from residences at work, impacts would be reduced to less than significant.

Impact N-3: Construction of individual projects facilitated by the 2040 General Plan could temporarily generate groundborne vibration, potentially affecting nearby land uses. Compliance with the Los Gatos Town Code would limit vibration disturbance on residential receptors and hotels where sleeping receptors could be present. Impacts would be potentially significant but mitigable.

Mitigation Measure:

Pursuant to CEQA Guidelines Section 15091, the following mitigation measure has been included in a MMRP that is to be adopted concurrently with these findings.

N-2 Construction Vibration Reduction. The Town shall include the following measures as standard conditions of approval for applicable projects involving construction to minimize exposure to construction vibration:

1. Avoid the use of vibratory rollers (i.e., compactors) within 50 feet of buildings that are susceptible to damage from vibration.
2. Schedule construction activities with the highest potential to produce vibration to hours with the least potential to affect nearby institutional, educational, and office uses that the Federal Transit Administration identifies as sensitive to daytime vibration (FTA 2006).
3. Notify neighbors of scheduled construction activities that would generate vibration.

Finding:

Changes or alterations have been required in, or incorporated into, the project which avoid or substantially lessen the significant environmental effects as identified in the Final EIR. (*Section 15091(a)(1)*). Implementation of Mitigation Measure N-2 would reduce potential impacts to a less than significant level.

4.3 Findings for Significant and Unavoidable Effects

Public Resources Code 21081 and 21081.5, and CEQA Guidelines Section 15093, require that the Town of Los Gatos balance the economic, legal, social, technological, or other benefits of a proposed project against its unavoidable environmental effects when determining to approve a project. And if specific economic, legal, social, technological, or other benefits outweigh the unavoidable adverse environmental effects, the adverse effects may be considered “acceptable.”

A project’s environmental impacts are “cumulatively considerable” if the “incremental effects of an individual project are significant when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects” (CEQA Guidelines Section 15065[a][3]). Significant and unavoidable impacts associated with greenhouse gas emissions and

transportation (impacts related to transit and VMT) were identified for the project. The following findings and statement of overriding considerations outlines the specific reasons to support the Town of Los Gatos recommendation for approval of the project.

Greenhouse Gas Emissions

Significant and Unavoidable Cumulative Impact GHG-1: Implementation of 2040 General Plan would generate annual GHG emissions of approximately 323,446 MT of CO₂e per year, or 5.29 MT of CO₂e per service person per year, in 2040. This would exceed the 2040 efficiency threshold of 1.02 MT of CO₂e per service person per year. Even with implementation of mitigation, GHG emissions would not be reduced to below the efficiency threshold. Therefore, impacts would be significant and unavoidable.

Mitigation Measure:

GHG-1 Implement Community GHG Emissions Reduction Measures. Los Gatos shall implement the following GHG emissions reduction measures by sector:

ENERGY (EN)

- **Measure EN1: Adopt an ordinance requiring new commercial construction to be all-electric or otherwise operationally carbon neutral by 2025:** Adopt a new building ordinance which bans the installation of natural gas in new commercial construction by 2025 and requires new commercial buildings to install all-electric equipment or otherwise be operationally carbon neutral. Support this action by conducting outreach and education to local developers about the benefits and resources associated with building carbon neutral buildings.
- **Measure EN2: Identify and partner with stakeholders to conduct electrification outreach, promotion, and education:** Leverage partnerships with stakeholders to conduct outreach, promotion, and education around new and existing building electrification.
- **Measure EN3: Develop a Community-wide Existing Residential Building Electrification Plan (EBEP):** Support community-wide existing building electrification through the development of an EBEP that addresses the feasibility, timeline, equity concerns, local stakeholder involvement, costs, funding pathways, and implementation for electrifying existing residential buildings in Los Gatos.
- **Measure EN4: Electrify existing residential buildings beginning in 2023:** Adopt an electrification ordinance for existing residential buildings to transition natural gas to electric in two phases, to be implemented through the building permit process:
 - Phase I: Limit expansion of natural gas lines in existing buildings by 2023.
 - Phase II: Require HVAC system replacements and hot water heaters replacements to be all-electric by 2023.
- **Measure EN5: Identify and partner with stakeholders to develop resident-level funding pathways for implementing an electrification ordinance:** Leverage partnerships with stakeholders and establish funding pathways to ease community members' costs when complying with the electrification ordinance, including:
 - Pass a transfer tax ordinance and provide a rebate for electric panels and/or other upgrades; and
 - Partner with PG&E, SVCE, and/or other stakeholders to create or expand electrification/retrofit programs and incentives, especially for low-income residents. These could include the PACE program, PG&E's low-income weatherization. program, tariffed on-bill financing, metered energy efficiency, or others.

- **Measure EN6: Decarbonize municipal buildings by 2040:** Adopt a municipal building energy decarbonization plan to decarbonize municipal building energy operations by 2040. This plan would include a new building electrification policy as well as an existing building natural gas phase-out policy.
- **Measure EN7: Coordinate with stakeholders to provide local energy generation support and incentives for the community:** Partner with PG&E, SVCE, and/or other stakeholders to support and incentivize local on-site energy generation and storage resources within the community.
- **Measure EN8: Develop an EV Readiness Plan to Support Installation of 794 Chargers by 2030:** Develop an EV Readiness Plan that supports the installation of 794 chargers (at least 160 of which would be public chargers) and a 30 percent EV share of registered passenger vehicles in Los Gatos by 2030. This plan should establish a path forward to increase EV infrastructure within the Town, promote equitable mode shift to EVs, and identify funding for implementation of public charging infrastructure in key locations. In conjunction with an EV Readiness Plan, conduct a community EV Feasibility Study to assess infrastructure needs and challenges, particularly in frontline communities.
- **Measure EN9: Increase privately owned EV charging infrastructure:** Amend the Town's Building Code and Local Reach Code to require the following:
 - EV capable attached private garages for new single-family and duplex residential development;
 - 20 percent EV capable charging spaces and panel capacity for new multi-family residential development;
 - 20 percent EV capable charging spaces for new commercial development; and
 - At least 1 percent working chargers for all new development and major retrofits.
- **Measure EN10: Increase Town-owned and publicly accessible EV charging infrastructure:** Work with public and private partners to ensure there are sufficient publicly accessible DCFC and Level 2 EV chargers around the Town by 2030, with a focus on providing access to low-income households and affordable housing. Install new publicly accessible EV chargers at Town-owned facilities. Develop and implement a fee for use of Town-owned chargers to encourage efficient use and turnover, especially for those without home charging capability.
- **Measure EN11: Identify and partner with stakeholders to develop EV-related rebates:** Investigate partnerships with public and private partners for rebates on at-home electric circuits, panel upgrades, and Level 2 chargers, with a focus on supporting EV purchases for low-income households in frontline communities.
- **Measure EN12: Encourage EV adoption and infrastructure improvements:** Conduct outreach, promotion, and education to encourage EV adoption and infrastructure improvements. This would include the following:
 - Providing education and outreach to the community on the benefits of ZEVs, availability of public charging, and relevant rebates and incentives available for businesses and residents; and
 - Working with major employers to provide EV charging for employees and encourage EV adoption among employees.

TRANSPORTATION (TR)

- **Measure TR1: Implement Full Recommended Buildout of the Bicycle and Pedestrian Master Plan (BPMP):** Fully implement the BPMP and add 23.2 new miles of bike network by 2035 to achieve 6 percent bicycle mode share by 2035.

- **Measure TR2: Identify and partner with stakeholders to conduct outreach, promotion, and education:** Leverage partnerships with stakeholders to conduct ongoing outreach, promotion, and education around active transportation in Los Gatos. This could include:
 - Establishing Town-wide events or programs that promote active transportation in the community;
 - Regularly updating the Town's Bicycle and Pedestrian Network Map and sharing through Town and stakeholder partnership platforms;
 - Supporting local bike groups in hosting workshops and classes on bike riding, safety, and maintenance by certified instructors;
 - Instituting car-free days downtown, potentially coupled with other large and regular events; or
 - Consolidating a list of local employer-provided bicycle parking, lockers, showers, and incentives as a demonstration tool for other interested employers.
- **Measure TR3: Facilitate a bike share program:** Conduct a bike share pilot program and facilitate full implementation of a bike share program within the Town.
- **Measure TR4: Establish parking meter rates and invest in transportation improvements:** Establish parking meter rates, considering dynamic parking pricing in the downtown area. Allocate a designated portion of paid parking revenue to investing in TDM strategies that will ensure cost-effective downtown access by improving transit, bicycle facilities, and create incentives for people to avoid driving.
- **Measure TR5: Improve curbside management:** Improve curbside management, including updating the municipal code to require active loading only, prohibit double parking, define locations for additional loading zones, and design loading zone signage.
- **Measure TR6: Require transportation system management for new construction:** Draft and implement a Transportation System Management Plan (TSMP) ordinance for new construction to allow the Town to shift travel behavior away from single-occupancy vehicles. Ensure telecommuting is an optional trip reduction strategy.
- **Measure TR7: Eliminate parking minimums for developments:** Remove parking minimums and establish parking maximums.

WASTE (WS)

- **Measure WS1: Require residential and commercial organic waste collection consistent with SB 1383 requirements:** Work with local waste haulers and other community partners to expand organic waste collection capacity. Pass an ordinance by 2022 requiring residential and commercial organics generators to subscribe to organics collection programs or alternatively report organics self-hauling and/or backhauling. Allow limited waivers and exemptions to generators for de minimis volumes and physical space constraints and maintain records for waivers/exemptions.
- **Measure WS2: Require edible food recovery consistent with SB 1383 requirements:** Adopt an edible food recovery ordinance or similarly enforceable mechanism to ensure edible food generators, food recovery services, and food recovery organizations comply with requirements to increase recovery rates.

Finding:

Specific economic, legal, social, technological, mobility, or other considerations, make infeasible the mitigation measures or project alternatives identified in the final EIR.

Facts in Support of Finding:

The goals, policies, and implementation measures in the 2040 General Plan are designed to reduce GHG in Los Gatos through infill development, higher-density and mixed-use development, and trip reduction measures. However, even with implementation of these GHG reduction measures would exceed the 2040 efficiency threshold of 1.02 MT of CO₂e per service person per year. There are no other feasible mitigation measures available and impacts would be significant and unavoidable.

Significant and Unavoidable Cumulative Impact GHG-2: The proposed 2040 General Plan emissions during construction and operation would exceed the State and Town-derived GHG emission targets. Therefore, the proposed 2040 General Plan would conflict with the goals of the CARB 2017 Scoping Plan, SB 32, and EO B-55-18. Therefore, impacts would be significant and unavoidable with mitigation.

Mitigation Measure:

See Mitigation Measure MM GHG-1 under Impact GHG-1.

Finding:

Specific economic, legal, social, technological, mobility, or other considerations, make infeasible the mitigation measures or project alternatives identified in the final EIR.

Facts in Support of Finding:

The goals, policies, and implementation measures in the 2040 General Plan are designed to reduce GHG in Los Gatos through infill development, higher-density and mixed-use development, and trip reduction measures. However, the proposed 2040 General Plan would conflict with the goals of the CARB 2017 Scoping Plan, SB 32, and EO B-55-18. There are no other feasible mitigation measures available and. Impacts would be significant and unavoidable.

As mitigation would result in GHG emissions that exceed the 2030 and 2040 Los Gatos efficiency thresholds and, thus, State targets, the proposed 2040 General Plan would impede “substantial progress” toward meeting the CARB 2017 Scoping Plan, SB 32, and EO B-55-18 targets. Therefore, with implementation of the identified mitigation, impacts related to the proposed 2040 General Plan consistency with applicable GHG reduction plans would be significant and unavoidable with mitigation incorporated.

Transportation

Significant and Unavoidable Cumulative Impact T-1: Development and growth envisioned in the 2040 General Plan would increase use and demand of existing transit facilities in Los Gatos. The 2040 General Plan includes goals and policies that would encourage transit use and bicycling and walking while also encouraging development or expansion of existing facilities to accommodate increased use. However, transit ridership and operations would be affected from congestion and sharing lanes with other vehicles. Therefore, impacts of the 2040 General Plan would be significant and unavoidable.

Mitigation Measures:

There are no feasible mitigation measures to reduce potentially significant effects related to transit operations and ridership.

Finding:

Specific economic, legal, social, technological, mobility, or other considerations, make infeasible the mitigation measures or project alternatives identified in the final EIR.

Facts in Support of Finding:

The goals, policies, and implementation measures in the 2040 General Plan are designed to reduce VMT in Los Gatos through infill development, higher-density and mixed-use development, and trip reduction measures. However, transit ridership and operations would be affected from congestion and sharing lanes with other vehicles. There are no other feasible mitigation measures available and impacts would be significant and unavoidable.

Significant and Unavoidable Cumulative Impact T-4: Development and population growth facilitated by the 2040 General Plan would increase VMT in Los Gatos. VMT per service population and population growth in 2040 would exceed applicable thresholds specific to the Town. Therefore, the 2040 General Plan would result in VMT-related impacts. Impacts would be significant and unavoidable.

Mitigation Measure:

T-1 VMT Reduction Strategies. For projects that would generate VMT, one or more VMT reduction strategies included in the *SB 743 Implementation Decisions for the Town of Los Gatos* (July 2020) document shall be required to reduce VMT of the project. Examples of VMT reduction strategies that shall be implemented are provided below. The VMT reduction strategies are organized by their relative scale for implementation (i.e., individual site level, Town-wide level, and regional level).

Individual Site Level

- **Encourage Telecommuting and Alternative Work Schedules:** This strategy relies on effective internet access and speeds to individual project sites/buildings to provide the opportunity for telecommuting. This strategy would reduce commute VMT but also result in a change in VMT for other travel purposes; thus, this strategy should consider the net change in the Town's project-generated VMT.
- **Provide Ride-Sharing Programs:** This strategy focuses on encouraging carpooling and vanpooling by project site/building tenants.
- **Provide Local Shuttles:** This strategy focuses on providing local shuttle service. The local shuttles would provide service to transit hubs, schools, commercial centers, and residential areas to improve transit connectivity and address the "first/last mile" problems. Alternatively, a demand responsive service could be provided as subsidized trips by contracting to private transportation network companies (TNCs) or taxi companies. Note that implementation of this strategy would require regional or local agency implementation.
- **Provide Employer-Sponsored Vanpool/Shuttle:** This strategy relies on employers purchasing or leasing vans or shuttles, and often subsidizing the cost of at least program administration, if not more. Vanpools typically service employee's commute to work, while shuttles service nearby transit stations and surrounding commercial centers. Scheduling and rider charges, if any, are within the employer's purview.

Town-Wide Level

- **Provide Bicycle and Pedestrian Network Improvements:** This strategy focuses on creating a comprehensive bicycle and pedestrian network within the project and connecting to nearby destinations. Projects in Los Gatos tend to be smaller so the emphasis of this strategy would likely

be the construction of network improvements that connect the project site directly to nearby destinations. Alternatively, implementation could occur through an impact fee program or benefit/assessment district based on regional or local plans such as the *Bicycle and Pedestrian Master Plan* and *Connect Los Gatos*.

- **Provide Traffic Calming Measures:** This strategy combines the California Air Pollution Control Officers Association (CAPCOA) research focused on traffic calming with new research on providing a low-stress bicycle network. Traffic calming creates networks with low vehicle speeds and volumes that are more conducive to walking and bicycling. Building a low-stress bicycle network produces a similar outcome. One potential change in this strategy over time is that ebikes (and e-scooters) could extend the effective range of travel on the bicycle network, which could enhance the effectiveness of this strategy.
- **Implement Car-Sharing Program:** This strategy reduces the need to own a vehicle or reduces the number of vehicles owned by a household by making it convenient to access a shared vehicle for those trips where vehicle use is essential. Examples include programs like ZipCar, Car2Go, and Gig.
- **Limit Parking Supply:** When combined with companion TDM measures, reduced parking supply discourages driving by limiting easy and convenient parking options. Implementation of this strategy may require reducing (or removing) minimum parking requirements and allowing developers to use shared parking strategies.
- **Unbundle Parking Costs from Property Cost:** Unbundling separates parking costs from property cost, for instance by not including a parking space in a residential unit's rent, or by requiring employers to lease each parking space separately from the building owner. This strategy ensures that the user understands that the cost of driving includes parking and can encourage people to use an alternative mode to save money.
- **Implement Market Price Public Parking (On-Street):** This strategy focuses on implementing a pricing strategy for parking by pricing all on-street parking in central business districts, employment centers, and retail centers. Priced parking would encourage "park once" behavior and may also result in area-wide mode shifts.

Regional Level

- **Increase Density:** This strategy focuses on increasing density of land uses, where allowed by the General Plan and/or Zoning Ordinance, to reduce distances people travel and provide more travel mode options. This strategy also provides a foundation for many other strategies. For example, densification increases transit ridership, which justifies enhanced transit service.
- **Increase Diversity of Urban and Suburban Developments:** This strategy focuses on inclusion of mixed uses within projects or in consideration of the surrounding area to minimize vehicle travel in terms of both the number of trips and the length of those trips.
- **Increase Transit Accessibility:** This strategy focuses on encouraging the use of transit by locating a project with high density near transit. A project with a residential/commercial center designed around a bus station is referred to as a transit-oriented development (TOD).
- **Integrate Affordable and Below Market Rate Housing:** This strategy provides greater opportunities for lower income families to live closer to job centers since income effects probability that a commute will take transit or walk to work.
- **Increase Transit Service Frequency/Speed:** This strategy focuses on improving transit service convenience and travel time competitiveness with driving. Given existing land use density in Los Gatos, this strategy may be limited to traditional commuter transit where trips can be pooled at the start and end locations, or it may require new forms of demand-responsive transit service. Note that implementation of this strategy would require regional or local agency implementation,

substantial changes to current transit practices, and would not likely be applicable for individual development projects.

- **Implement Area or Cordon Pricing:** This strategy focuses on implementing a cordon (i.e., boundary) pricing scheme, where a cordon is set around a specific area to charge a toll to enter the area by vehicle. The cordon location is usually the boundary of an area with limited points of access. The cordon toll may be constant, applied during peak periods, or be variable, with higher prices during congestion peak periods. The toll can also be based on a fixed schedule or be dynamic, responding to real-time congestion levels. Note that implementation of this strategy requires alternative modes of travel that are available and reliable, such as high-quality transit infrastructure.

Finding:

The population and employment growth facilitated from development envisioned in the 2040 General Plan would generate new vehicle trips. Each of these trips would result in VMT. As described above on page 4.15-21, buildout of the 2040 General Plan would generate approximately 1,280 employment opportunities. The approximately 1,280 employment opportunities that would result from buildout of the 2040 General Plan would not exceed the 1,760 employment opportunities forecast for Los Gatos in Plan Bay Area 2040. However, as described in Section 2, *Project Description*, the projected household population would increase by 8,970 people compared to what is considered existing with buildout of the 2040 General Plan. Some of the population growth expected from buildout of the 2040 General Plan would occur regardless of its implementation, such as growth expected from dwelling units already planned or approved for construction in Los Gatos. Nonetheless, household population growth would exceed Plan Bay Area 2040 forecasts for household population. Therefore, in context with the Town's adopted VMT threshold of significance, this VMT impact, which is cumulative, would be potentially significant.

As described within Section 4.15, *Transportation*, implementation of the 2040 General Plan would result in VMT per service population that is approximately 19 percent greater than the applicable VMT threshold of 32.3. To reduce VMT per service population by 19 percent, VMT reduction strategies at the regional level would be required. However, implementation of regional strategies would require action on multiple agencies and municipalities in South San Francisco Bay and environs, such as cities of Campbell and San José or counties of Santa Clara and Santa Cruz. The Town is unable to ensure that other municipalities would participate in the regional VMT reduction strategies outlined in Mitigation Measure T-1. Therefore, it is not certain that a 19 percent reduction in VMT would be achievable. Accordingly, VMT impacts of the 2040 General Plan would be significant and unavoidable, even after implementation of mitigation.

4.4 Mitigation Monitoring and Reporting Program

As referenced above in the Findings, a MMRP has been prepared for the project and is to be adopted concurrently with these findings and statement of overriding considerations pursuant to Public Resources Code Section 21081(a)(1). The MMRP is provided as Appendix D to the Final EIR that will be used by the Town of Los Gatos to track compliance with the project mitigation measures. The MMRP will remain available for public review during the compliance period, which includes pre-construction coordination, construction, and post-construction documentation.

5 Project Alternatives

Finding

Specific economic, legal, social, technological, mobility, or other considerations, make infeasible the mitigation measures or project alternatives identified in the Final EIR.

Where the Town of Los Gatos has determined that, even after the adoption of all feasible mitigation measures the project would still cause one or more significant environmental impacts that cannot be avoided or lessened to below a level of significance, the Town of Los Gatos must determine if there is a project alternative that is both environmentally superior and feasible. An alternative may be “infeasible” if it fails to achieve the most basic project objectives identified within the EIR. Further, “feasibility” under CEQA encompasses the desirability of the project “based on a reasonable balancing of the relevant economic, environmental, social, and technological factors” of a project (*City of Del Mar, supra*, 133 Cal.App.3d at page 417; see also *Sequoayah Hills, supra*, 23 Cal.Ap.4th at page 715).

Alternative 1: Low Growth

Alternative 1 is a low growth alternative. Under Alternative 1, the proposed 2040 General Plan would not include an increase in density ranges outside of Opportunity Areas, but would include a modest increase inside designated Opportunity Areas. Outside of Opportunity Areas, densities would remain within a range of four to 18 dwelling units per acre. Inside Opportunity Areas, density ranges would increase to 10 to 18 dwelling units per acre. Overall development and growth would be reduced compared to the 2040 General Plan. Alternative 1 would result in approximately 1,245,000 total daily VMT and a total VMT per service population of 22.65.

Alternative 1, Low Growth, would result in fewer impacts in comparison to the 2040 General Plan. Under this alternative there would be no increase in density ranges outside Opportunity Areas and modest increases inside Opportunity Areas. Overall, Alternative 1 performs similar to the 2040 General Plan in a majority of the resource areas. However, this alternative performs better than the 2040 General Plan in the following key areas:

- Air Quality
- Greenhouse Gases

Alternative 2: Medium Growth

Alternative 2 is a medium growth alternative. Under Alternative 2, the proposed 2040 General Plan would result in a modest increase in density ranges outside of Opportunity Areas but would include additional increases inside designated Opportunity Areas. Outside of Opportunity Areas, densities would increase to be within a range of 10 to 26 dwelling units per acre. Inside Opportunity Areas, density ranges would increase to 14 to 26 dwelling units per acre. Overall development and growth would be reduced compared to the 2040 General Plan. Alternative 2 would result in approximately 1,259,000 total daily VMT and a total VMT per service population of 22.205.

Alternative 2, Medium Growth would result in fewer impacts compared to the 2040 General Plan for many of the environmental resource impact areas. Under this alternative there would be modest increases in density ranges outside Opportunity Areas and additional increases inside Opportunity Areas. Overall, Alternative 2 performs better than the 2040 General Plan, in the following key areas:

- Air Quality
- Energy
- Greenhouse Gases
- Hydrology and Water Quality
- Population and Housing
- Public Services

Alternative 3: High Growth

Alternative 3 is a high-growth alternative that includes increased density ranges in all areas and additional increases that allow for higher-density development in Neighborhood Commercial and Mixed-Use Commercial designations outside Opportunity Areas. Typical densities are assumed to vary from 10 to 36 du/ac outside Opportunity Areas and 16 to 36 du/ac inside Opportunity Areas. Intensity varies from 0.75 FAR in LDR to 1.5 FAR in HDR and MU. When compared to Alternative 1, Alternative 3 would result in a three percent (600 to 750) increase in peak hour vehicle trips. Alternative 3 would generate the most traffic, primarily due to the addition of 3,170 new housing units. However, from a VMT efficiency perspective, Alternative 3 performs the best with an estimated 21.48 VMT per service population as compared with an estimated 22.65 VMT per service population in Alternative 1. While all four land use alternatives are actually very similar to one another, Alternative 3 would have the highest potential for internal trip making to occur and would see the highest shifts to non-vehicle transportation modes, like walking, biking, or taking transit.

Alternative 3, High Growth, would generally result in similar impacts to the proposed 2040 General Plan for several issue areas impacts. This alternative would involve substantially denser growth and development overall, and therefore less impacts to resources such as GHG and traffic. This alternative performs similarly to the 2040 General Plan in most of the resource areas. However, Alternative 3 performs better than the 2040 General Plan, in the following key areas:

- Greenhouse Gases
- Energy
- Population and Housing

Alternative 4: No Project

Section 15126.6(e) of the *CEQA Guidelines* requires a specific alternative of “no project” be evaluated in an EIR in order to allow decision makers to compare the impacts of approving a proposed project with the impacts of not approving that project. *CEQA Guidelines* Section 15126.6(e)(3) describes the two general types of no project alternative: (1) when the project is the revision of an existing land use or regulatory plan, policy or ongoing operation, the no project alternative would be the continuation of that plan; and (2) when the project is not a land use/regulatory plan, such as a specific development on an identifiable property, the no project alternative is the circumstance under which that project is not processed (i.e., no development occurs). Alternative 4 represents the former alternative type of no project and assumes the continued implementation of the current 2020 General Plan.

Alternative 4 is comprised of a land use pattern that reflects the land use identified in the existing 2020 General Plan. Under this alternative, the proposed 2040 General Plan would not be adopted and the existing General Plan, including the land use map and all of the General Plan goals and policies, would remain in place through the horizon year of 2040. Thus, any new development in Los Gatos would occur consistent with the existing land use designations and the allowed uses within each designation. Similarly, any new infrastructure in Los Gatos would occur as envisioned in the 2020 General Plan. Development under this alternative is anticipated to be less intensive and result in greater low-density residential development within the Town limits than under the 2040 General Plan. However, because this alternative would not include the higher density, higher height limits, and higher Floor Area Ratios (FAR) overall development and anticipated growth would be reduced compared to the 2040 General Plan. Overall, growth would be similar to that anticipated under the 2020 General Plan with approximately 13,730 dwelling units and a population of approximately 32,600 in the year 2040 (Town of Los Gatos, General Plan EIR 2020). This would be a reduction in overall development and growth compared to the 2040

General Plan which anticipates the addition of approximately 3,738 dwelling units, for a total population of approximately 39,221 and a total of 17,468 dwelling units in 2040.

Alternative 4, No Project Alternative, would not be considered environmentally superior overall because while it would involve less development and growth, it would result in a more dispersed ground disturbance than the 2040 General Plan. Further, this alternative does not place an emphasis on mixed-use and smart growth planning principles and the majority of growth and development under this alternative would occur outside of Opportunity Areas, resulting in less compact development. Although Alternative 4 would entail continued growth as dictated by the existing General Plan, new policies included in the 2040 General Plan, such as those in the Community Development Element, would not be adopted. Additionally, under Alternative 4, transportation improvements and GHG reduction strategies as part of the 2040 General Plan would not be implemented. Thus, daily VMT is anticipated to be greater under this alternative. Consequently, air contaminant and GHG emissions impacts and traffic impacts would be greater than for the proposed 2040 General Plan. Overall, Alternative 4 performs very similar to the 2040 General Plan and improves only in the following area:

- Aesthetics

Facts in Support of Finding

Alternative 1 and 3 perform slightly better than the 2040 General Plan in several impact areas. However, Alternative 2 was found to be superior to the 2040 General Plan in a reduction of impacts including air quality, energy, greenhouse gas emissions, hydrology and water quality, population and housing, and public services. Nevertheless, Alternative 2 would not fully meet the objectives/guiding principles of the 2040 General Plan. This alternative would not be as effective in achieving some of the land use goals and objectives of the 2040 General Plan because it would not contribute substantially to a pattern of compact future development or allow for the 2,000 new dwelling unit target of Town Council. The slower growth model is less consistent with the goals and vision of the 2040 General Plan that promote the development of a smart growth model that favors a mix of land uses and encourages active living through the development of mixed-use and connected neighborhoods.

For these reasons, none of the alternatives are more desirable than the 2040 General Plan in terms of meeting the Town's guiding principles and objectives for the project, as outlined above under the Chapter 2, *Project Description*, of the Draft EIR. For this reason and because none of the proposed alternatives would completely avoid the project's significant impacts, none of the proposed alternatives are considered feasible.

6 Statement of Overriding Considerations

Where there are significant and unavoidable impacts from a project, pursuant to Section 15093 of the California Code of Regulations, the Town of Los Gatos must "balance, as applicable, the economic, legal, social, technological, or other benefits, including region-wide or statewide environmental benefits, of a proposed project against its unavoidable environmental risks, when determining whether to approve the project." The record of those considerations shall include a written statement of overriding considerations that is supported by substantial evidence within the administrative record. A finding consistent with Section 15091(a)(3), that specific economic, legal, social, technological, or other

consideration, make infeasible any other mitigation measures or project alternatives that would avoid or lessen this impact to below a level of significance.

The Town finds and determines that, as proposed, the majority of the significant impacts of the project will be reduced to acceptable levels by implementation of mitigation measures recommended in these findings. However, the Town further finds that a cumulative impact to greenhouse gas emissions as well as impacts to transit and VMT, from the project that is significant and unavoidable even with the implementation of mitigation (Section 4.8, *Greenhouse Gas Emissions*, and Section 4.15, *Transportation*, of the Draft EIR). Collectively, reasonably foreseeable future development and growth in the Town of Los Gatos would generate greenhouse gas emissions and VMT, and affect transit ridership and operations beyond the capacity of the Town of Los Gatos. The proposed project would contribute to total greenhouse gas emissions, transit use and operation, and total VMT within the service area. The Town further finds that there are no other feasible mitigation measures or feasible project alternatives that will further mitigate, avoid, or reduce to a less-than-significant level these environmental effects.

After due consideration, and in light of the environmental, social, economic, and other considerations identified in the findings, General Plan 2040, and the record as a whole related to this project, the Town chooses to approve the project because, in its independent judgement, the benefits to the project as outlined below substantially outweigh the project's significant and unavoidable adverse environmental impacts.

Benefits of the Project: The Town finds that the project, as approved, will have the following economic, social, technological, and environmental benefits:

- The 2040 General Plan updates outdated policies in a manner that meets current legal requirements for General Plans.
- The 2040 General Plan provides a more user-friendly document that will make use of the General Plan easier for decision makers, staff, and the public.
- The 2040 General Plan reflects current community goals and preferences as identified during the public outreach process.
- The project would emphasize infill and reuse development within the Town limits with a focus on increasing opportunities for housing development in key areas of the Town through increased density and mixed-use projects where appropriate.
- The project would provide a well-connected transportation system that enables safe access for all transportation modes, including pedestrians, bicyclists, motorists, and transit riders of all ages and abilities.
- The project would protect the natural resources and scenic assets that define Los Gatos, including open space preserves, recreational trails, surrounding hillsides, and natural waterways.
- The project would manage, conserve, and preserve Los Gatos' natural environment for present and future generations and promotes sustainable uses of its resources.
- The project would recognize the importance of and promote ethnic, cultural, and socio-economic diversity and equity to enhance the quality of life in Los Gatos.
- The project would invigorate downtown Los Gatos as a special place for community gathering, commerce, and other activities for residents and visitors.
- The project would provide high quality municipal services to the Los Gatos community while sustaining the Town's long term fiscal health.

- The project would place a greater emphasis on reestablishing more complete neighborhood areas that meet the daily needs of residents to be located within a one-mile distance.
- The project meets the objectives of the State of California in promoting affordable housing.
- The project sets forth the values and objectives of the Town in providing a sense of community and inclusiveness of all residents while protecting the existing community assets and uniqueness that sets Los Gatos apart from other municipalities.

In order to achieve these objectives, the 2040 General Plan focuses on improving how residents get around, meeting community needs with available services, providing a greater sense of identity, adding housing options by promoting higher-density development and infill, and preserving established residential neighborhoods. For most of the Town, the 2040 General Plan preserves the existing pattern of uses and establishes policies for protection and long-term maintenance of established neighborhoods. Generally, new development in accordance with the 2040 General Plan would result in re-use of properties, conversion of properties to different uses in response to market demand, and more intense use of land in defined areas.

With limited opportunities for new development in Los Gatos, the 2040 General Plan emphasizes infill and reuse development within the Town limits, encourages higher-density and mixed-use projects where appropriate, and supports development that compliments the existing natural and built environment. New development would occur primarily where existing roads, water, and sewer are in place and in a manner that minimizes the impact of development on existing infrastructure and services.

Findings:

For each and all of these reasons, the Town of Los Gatos finds that the benefits of the project outweigh the significant and unavoidable environmental effect related to greenhouse gas emissions, transit, and VMT. Therefore, the adverse significant and unavoidable effect is considered to be acceptable by the Town of Los Gatos Town Council, which is the decision-making body for the project, given the importance of this project to the Town of Los Gatos.

7 Statement of Location and Custodian of Documents

Public Resources Code Section 21081.6(a)(2) and Section 15091(e) of the California Code of Regulation requires that the Town of Los Gatos, as the Lead Agency, specify the location and custodian of the documents of other materials that constitute the record of proceedings upon which the decision has been based. The following location is where review of the record may be performed:

Town of Los Gatos Community Development Department
110 E. Main Street
Los Gatos, California 95030

The Town of Los Gatos has relied on all of the documents contained within the record of proceedings in reaching its decision on the project.

Vision

The Town of Los Gatos is a welcoming, family-oriented, and safe community nestled in the beautiful foothills of the Santa Cruz Mountains. The Town takes pride in its small-town character, historic neighborhoods, local culture and arts, excellent schools, and a lively and accessible downtown. The Town is pedestrian friendly and offers a choice of mobility options, housing opportunities, and superior public facilities and services, governed by an open and responsive local government that is fiscally sound. A dynamic and thriving community, Los Gatos is committed to racial, social, and environmental justice and underscores its commitment to long-term well-being by embracing sustainability.

Guiding Principles

- **Community Vitality**
Invigorate Los Gatos as a special place for community gathering, commerce, and other activities for residents and visitors. Foster the economic vitality of all Los Gatos business locations. Preserve and enhance the Town's historic resources and character while guiding the community into the future.
- **Connectivity**
Emphasize the importance of connecting all facets of the Town to build a strong sense of community through building design, walkability, and safe streets.
- **Diverse Neighborhoods**
Foster appropriate investments to maintain and enhance diverse neighborhoods, housing opportunities, and infrastructure to meet the needs of all current and future residents.
- **Fiscal Stability / Responsibility**
Provide high quality municipal services to the Los Gatos community while sustaining long term fiscal well-being.
- **Government Transparency**
Conduct governmental processes in an open manner and encourage public involvement in Town governance.
- **Inclusivity**
Value the importance of and promote ethnic, cultural, and socio-economic diversity and equity to enhance the quality of life in Los Gatos.

GPAC Revised Vision and Guiding Principles

May 2021

- **Mobility**
Provide a well-connected transportation system that enables safe access for all transportation modes, including pedestrians, bicyclists, motorists, and transit riders of all ages and abilities.
- **Promote Public Safety**
Maintain and enhance Los Gatos as a safe community through preparation and planning, education, and community design that is responsive to the full range of potential natural and man-made hazards and safety issues.
- **Protect Natural Environment**
Protect and enhance the natural environment and biotic communities that define Los Gatos, including but not limited to open space preserves, recreational trails, surrounding hillsides, and natural waterways.
- **Sustainability**
Manage, conserve, and preserve Los Gatos' natural environment for present and future generations. Identify and provide opportunities to enhance the Town' s sustainability policies and practices.

MODIFICATIONS INCLUDED IN STAFF REPORT AND OTHER EXHIBITS

1. GPAC recommended changes to the Vision and Guiding Principles, included in Exhibit 6 and summarized here:
 - Revise the Vision for added clarity and add a sentence about racial, social, and environmental justice;
 - Delete “downtown” from the Community Vitality Guiding Principle so that it applies throughout Town;
 - Add a new Guiding Principle titled “Connectivity” to state the importance of connecting all facets of the Town to build a strong sense of community through building design, walkability, and safe streets;
 - Delete “the Town’s” from the Fiscal Stability/Responsibility Guiding Principles; and
 - Replace the word “Recognize” with the word “Value” in the Inclusivity Guiding Principle.
2. Revisions as a result of review by the State Department of Forestry, included in Exhibit 8 and listed here:
 - Add reference to VHFHSZ’s in Policies CD-5.2 and CD-6.1.
 - New Policy PFS-1.7: “Water Supply for Fire Safety. Coordinate with local water providers to ensure and maintain the long-term sustainability of water supplies to meet current and anticipated future firefighting needs.”
 - Modified wording for Policies PFS-19.3 and PFS-20.1.
 - Modified wording for Policy HAZ-1.3.
 - Additional wording on page 9-4 to reference location of critical infrastructure listed in OAHMP.
New Policy HAZ-2.6: “Vegetative Hazards. Reduce the wildfire risks to existing and newly developed transportation networks through regular clearance and maintenance of vegetation adjacent to public roadways to current State and/or locally adopted fire safety standards for vegetation clearance in SRA’s or VHFHSZ’s.”
 - New Policy HAZ-2.7: “Wildfire Response. Following a large and/or destructive fire in Los Gatos or the region, the Town shall reassess standards and other requirements for new development and redevelopment and revise these requirements to ensure a high level of community resilience to fire events.”
 - New Policy HAZ-2.8: “Community Fire Breaks. Establish and maintain community fire breaks and fuel modification/reduction zones, including public and private road clearance.”
 - New Policy HAZ-2.9: “Fire Safety Development Precautions. Establish that minimum requisite firefighting services and infrastructure are ubiquitous throughout its Town, including but not limited to: high-visibility street signage and house numbers, appropriate street widths and building clearances for firefighting equipment and vehicles, high water pressure at all fire hydrants, and driving signage indicating rights-of-way with no outlets.”
 - Modified wording for Policy HAZ-3.5.

EXHIBIT 7

- New Policy HAZ-3.7: “Community Evacuation Trainings. Continue to conduct regular evacuation trainings with single-access community HOAs, residents, and the Wildfire Ad Hoc Committee; encourage residents in single-access communities to maintain emergency supplies for at least three days.”
 - Modified wording for Hazards and Safety Element Implementation Programs C, G, and H.
3. Staff recommends a new Implementation Program in the Land Use Element as discussed in Section F of the Staff Report:
- Five-year Land Use Element Review**
- The Town shall conduct a review of the Land Use Element every five years from the date of final approval, and revise and update as necessary. This review can include the following:
- Modify, add, or delete goals, policies, or programs to reflect notable changes in the Town over the previous period;
 - Remove or modify programs that have been completed or require additional time;
 - Modify or add new goals, policies, or programs to reflect changing needs within the Town;
 - Conduct a fiscal analysis; and
 - Modify to reflect applicable changes in State law.
4. Staff from Parks and Public Works Department recommended Figure 5-1 Bike Facilities should be revised in the following ways:
- Shannon Road from Los Gatos Blvd to Cherry Blossom Lane should be revised from “Proposed Class I” to “Proposed Class II;”
 - Installation of Class IV bike lanes on Winchester from Blossom Hill Road to Wimbledon Drive should be updated to reflect recent improvements as “Existing Class IV;” and
 - Blossom Hill Road between Los Gatos Boulevard and Highway 17 should be revised from “Proposed Class I/IV” to “Existing Class IV.”
5. Staff from Parks and Public Works Department recommended 5-3 Roadway Classifications should be revised in the following ways:
- Where the functional classification lines overlap Town Limits lines, make functional classification lines more visible;
 - Bachman should be extended to University as a Neighborhood Collector;
 - Bayview between Main and Pennsylvania should a Neighborhood Collector;
 - Netflix campus circulation (northeast of 85/Winchester) is shown as Arterial. It should be Local;
 - Hicks should extend south to Town Limits as a Hillside Collector;
 - Gateway should be a Neighborhood Collector;
 - Longmeadow and Twin Oaks should be a Hillside Collector;
 - South Kennedy should be extended to Kennedy as a Hillside Collector; and
 - Union should be an Arterial.
6. Staff from Parks and Public Works Department recommended a street classifications list, similar to that included as Appendix F of the 2020 General Plan EIR, should also be included in the 2040 General Plan in association with their representation in Figure 5-3.

7. For compliance with the Town's Green Stormwater Infrastructure Plan staff at the West Valley Clean Water Program and the Town's Parks and Public Works Department recommend the following changes:
- Policy PFS-3.2 Non-Point Source Control Programs
Promote and implement ~~Provide non-point source~~ pollution source control programs to reduce and control the discharge of pollutants into the storm drain system, as required by the Town's stormwater NPDES permit. Incorporate green stormwater infrastructure (GSI) elements, such as biotreatment or infiltration into private and public development to provide opportunities for stormwater collection and treatment, per the Town's GSI Plan.
 - Add the following Implementation Programs to the Public Facilities, Services, and Infrastructure Element:
 - Incorporate Green Stormwater Infrastructure (GSI) elements, such as infiltration and biotreatment, into Town projects to provide opportunities for stormwater collection and treatment, per the Town's GSI Plan.
 - Modify the Town's Complete Streets Policy to include Green Stormwater Infrastructure.
 - Add the following underlined text to the introduction paragraph for Section 8.10 Hydrology and Water Quality:
Maintaining water quality and availability is a high priority and a complex challenge that becomes more critical as supplies become more uncertain due to climate change and a growing population. Goals and policies in this section address the quality and reliability of the Town's long-term water supply, including during periods of drought. To maintain water quality, surface water and groundwater must be protected from the impacts of past and future development using methods such as low-impact development requirements and the careful regulation of sub-surface dewatering. The Town supports the efforts of regulatory bodies, such as the San Francisco Regional Water Quality Control Board, the agency that controls discharge to San Francisco Bay from stormwater and other sources. The San Francisco Bay Region Municipal Regional Stormwater NPDES Permit (MRP) requires the Town of Los Gatos to implement programs that reduce urban runoff pollution. The MRP regulates stormwater discharges into local creeks and the San Francisco Bay to protect water quality. The Town participates in the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP), along with twelve other cities and towns, the County of Santa Clara, and the Santa Clara Valley Water District to implement the requirements of the MRP. As required by the MRP, the Town has developed a Green Stormwater Infrastructure (GSI) Plan that describes how the Town will gradually transform its urban landscape and storm drainage systems from "gray" to "green"; that is, supplement traditional storm drain infrastructure, where stormwater runoff flows directly from impervious surfaces into storm drains and receiving waters, with a more resilient, sustainable system that reduces and slows runoff by dispersing it to vegetated areas, promotes infiltration and evapotranspiration, collects runoff for non-potable uses, and treats runoff using biotreatment and other GSI practices. The

control of wastewater and stormwater is discussed in more detail in the Public Facilities, Services, and Infrastructure Element.

- Revise Policy ENV-17.5 to state:
Retain and use rainwater on municipal facility sites, to the extent possible. Encourage rainwater harvesting and irrigation use in commercial and residential uses. Ensure that all development projects in Los Gatos maximize opportunities to filter, infiltrate, store, and reuse or evaporate stormwater runoff onsite.

MODIFICATIONS SUGGESTED IN PUBLIC COMMENTS

(Staff comments/recommendations in italics)

Introduction:

8. Revise the Protect Natural Resources Guiding Principle to say, “Protect and enhance the natural environment, scenic assets, and biotic communities that define Los Gatos, including but not limited to, open space preserves, recreational trails, surrounding hillsides, and waterways.” *(neutral)*

Racial, Social, and Environmental Justice Element:

9. Prioritize other topics by moving the Racial, Social, and Environmental Justice Element so that it is not first, or delete entire section. *(neutral on order of Elements)*
10. Inequities need to be discovered through looking at services through a more equitable lens in order to properly address them. Change Policy RSEJ-1.1 title from “Service Delivery” to “Identify Inequities.” *(neutral)*
11. Revise Policy RSEJ-1.4 to state, “Encourage development and improved access to affordable housing opportunities for all community members.” *(neutral)*
12. Revise Policy RSEJ-1.6 to include some data collection/analysis to measure the perceptions of residents, workers, and visitors by modifying to state, “~~Promote~~ improve the perception score of Los Gatos as a welcoming, safe, and inclusive community regardless of age, ability status, and socio-economic status.” *(not recommended)*
13. In Policy RSEJ-1.7 use “increase” or “improve,” instead of “promote” in “Promote access to a quality living wage for all community members.” *(neutral)*
14. In Policy RSEJ-2.5 add recruiting/hiring from San Jose State University. *(neutral)*
15. Revise Policy RSEJ-2.7 to state, “~~Develop and~~ implement and require cultural proficiency and anti-bias training for all Town employees and support similar training efforts undertaken by the business community.” *(neutral)*
16. Revise Policy RSEJ-2.8 to state, “Promote and encourage cultural proficiency and anti-bias training for all members of the community including residents, business owners, and local organizations.” *(neutral)*
17. In Policy RSEJ-6.2 clarify what it means and who is the target. *(neutral)*
18. Revise Policy RSEJ-6.3 to state, “Develop, provide, p~~Promote,~~ and implement new and innovative approaches to facilitate communication between members of the community and Town elected officials and staff members.” *(neutral)*

19. Revise Racial, Social, and Environmental Justice Element Implementation Program N Tree Canopy Study to state, “Develop a study to measure tree canopy distribution throughout the Town and encourage the use of native plants ~~when increasing green space~~. Consider habitat value in tree selection for the Town’s forest, and disallow the planting of invasive species.” *(neutral)*

Land Use Element:

20. Modify the number of new housing units:
 - a. No increase in housing levels. *(not recommended)*
 - b. Reduce the number of new housing units to a lower less ambitious target. *(neutral)*
 - c. Reduce the number of new housing units to 1,993. *(not recommended)*
 - d. Reduce the number of new housing units to 1,993 plus a 15-20 percent buffer. *(neutral)*
21. Modify land use designation of the property at 15810 Los Gatos Boulevard, APN 523-01-001, from Low Density Residential to Mixed-Use Commercial to be more in line with existing use. *(recommended)*
22. Build a high-rise condo on the corner of Los Gatos Boulevard and Los Gatos-Almaden Road. *(construction is not within the purview of the General Plan, but increased height limits in the Mixed Use Commercial land use designation could be considered)*
23. Include Opportunity Areas in the General Plan as outlined in the Land Use Alternatives Report. *(not recommended due to previous GPAC direction)*
24. Maintain existing 2020 General Plan densities for Low Density Residential. *(neutral)*
25. Re-designate Hillside Residential “Fringe Areas” adjacent to San Jose for denser housing. *(neutral)*
26. Establish a new Low-Medium Density Residential land use category that allows for the development of duplexes and triplexes at a density range of between 6 and 13 dwelling units per acre. *(neutral)*
27. Utilize maximum FAR only for the non-residential components of mixed-use projects, because housing will be limited by maximum density. *(neutral)*
28. Change development rules to increase construction of diverse housing types, including greater density, higher height limits, lower parking requirements, more transit, and connection to light rail. *(neutral)*
29. Allow mixed-use developments in the High Density Residential designations. *(neutral)*
30. Increase maximum height limit on Los Gatos Boulevard from 45 to 55 or 65 feet to allow for the 4 over 1 product type (four stories of residential over one floor of retail or parking structure) or 5 over 1. *(neutral)*
31. Reduce the maximum allowed FAR in the Central Business District from 2.0 to 1.25. *(neutral)*
32. Table 3-1 should reflect an opportunity for additional new residential development on the North 40, if so desired by the Town. *(not recommended as the Draft 2040 General Plan land use regulations do not include any change to the North 40 Specific Plan)*
33. Modify Policy LU-3.2 to state, “Projects shall be evaluated and the Town shall apply appropriate mitigation measures and/or conditions of approval to reduce impacts on the

environment, urban services, and wildfire risk, including utilities, police, and fire.”
(*neutral*)

34. Modify Goal LU-6 to state, “Ensure housing in the hillsides will not adversely affect the natural environment, migration and biological corridors, or endanger public health and safety.” (*neutral*)
35. Modify Section 3.6 Special Planning Areas to note that the North 40 Specific Plan was amended on September 4, 2018 after nearly 2 years of deliberation (starting on September 27, 2016 with a special meeting of Town Council). The Amendment was to Section 6.4.1 of the Specific Plan and it now allows that proposed developments within the Specific Plan “may request to enter into a Development Agreement reviewed pursuant to the established Architecture and Site Review approval process or the Planned Development Overlay process.” (*neutral*)
36. Either remove the North 40 from the Los Gatos Boulevard Community Place District or provide clarity as to the hierarchy of competing rules between the General Plan and the Specific Plan. (*not recommended, the changes in the Draft 2040 General Plan do not change the relationship between the General Plan and the North 40 Specific Plan*)
37. Modify Policy LU-20.1 to state, “The Town shall facilitate opportunities for all residents, other local governments, and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout development review and the public review process.” (*neutral*)
38. Include a statement in Section 3.10, Goal LU-21, and/or Policy LU-21.1 on how the Town will engage and coordinate with public agency stakeholders, such as Midpen, in Town planning and policy projects that may impact the lands or responsibilities of those local agencies. (*neutral*)
39. In Policy LU-20.4, to increase public participation, include the use of traditional forms of communication, such as flyers mailed to homes, local newspaper ads, posters around town and places of worship, and other gathering points, and inclusion in school-published bulletins sent to parents, etc. (*neutral*)
40. Add a policy or implementation program to support a modification of the North 40 Specific Plan to allow up to 40 dwelling units per acre to be consistent with the Mixed-Use land use designation on Los Gatos Boulevard. (*neutral*)

Community Design Element:

41. Change the use of “Community Place District” to “Community Growth District” throughout document. (*neutral*)
42. To provide more flexibility in building style, consider deleting Policy CD-2.2: “Require multi-story buildings to incorporate step backs on upper floors to create a more humanscale and comfortable pedestrian environment.” (*neutral*)
43. Revise Policy CD-2.12 to state, “If feasible, require native, non-invasive, or non-fire-prone street trees to be installed for all new developments, to enhance neighborhood character and identity and to maximize shade coverage when mature.” (*neutral*)
44. Revise Policy CD-2.21 to state, “In high-density planning zones, the minimal amount of pedestrian-oriented lighting necessary should ~~shall~~ be provided in active pedestrian areas

and common areas for safety and security purposes." *(not recommended as the effect of these changes is a reversal of the policy's intent)*

45. Revise Policy CD-2.24 to state, "Encourage improvements to the public realm, including tree canopies, street furniture, paving, and landscaping, ~~and lighting.~~" *(neutral)*
46. Include the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference section ENC-7.11 in Policy CD-2.30. *(neutral)*
47. Revise Policy CD-2.31 to state, "Provide clear limits for ~~Encourage~~ lighting in mixed-use and commercial developments, including the prohibition of uplighting, limiting the Correlated Color Temperature of lighting, and turning off lights after activity hours, in order to find the balance between friendly illumination and preventing unnecessary light at night. such as string lighting, pole mounted lighting, and tree hanging lighting, to further illuminate the site during nighttime hours for safety and community." *(not recommended as the effect of these changes is a reversal of the policy's intent)*
48. Revise Policy CD-2.40 to state, "Ensure that public improvements and private development provide landscaped Town gateways that create visual connections between the natural hillsides and open space areas and the community of Los Gatos with native, non-invasive, or non-fire-prone plant species." *(neutral)*
49. Add a new Policy CD-5.6 Preserve Sensitive Natural Communities. "Sensitive natural communities are communities that are of limited distribution statewide or within a county or region and are often vulnerable to environmental effects of projects. These communities may or may not contain special status plants or their habitat." *(neutral)*
50. Include the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference section ENC-7.11 in Policy CD-6.5. *(neutral)*
51. Revise Policy CD-6.5 to state, "Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity and of the lowest Correlated Color Temperature (CCT) available, no more than 3000K." *(neutral)*
52. Remove Policy CD-9.2, and instead widen, reduce traffic signals, and prohibit parking on Los Gatos Boulevard to increase travel capacity. *(not recommended)*
53. Revise Policy CD-9.9 to state, "To soften the appearance of hardscape, incorporate landscaped medians using drought tolerant, native, non-invasive, or non-fire-prone plants, landscape buffers, and street trees."
54. Modify Policy CD-11.6 to note that new trail connections located on or open to Valley Water property must be open to the general public and permitted by Valley Water. *(neutral)*
55. Add Policy or Implementation Program to adopt the Mills Act. *(neutral)*

Mobility Element:

56. Remove Policy MOB-9.5 and increase capacity of SR 17 and SR 85. *(not recommended)*
57. Rebuild railway between Los Gatos and Santa Cruz as a mixed freight and public transit project. *(outside the purview of the Los Gatos General Plan)*
58. Make downtown streets bike and pedestrian only. *(not recommended)*
59. Require that new homes, duplexes, and ADUs provide off-street parking. *(not recommended)*

60. Add on/off ramps from SR 85 to Winchester. *(outside the purview of the Los Gatos General Plan)*
61. Add a new policy or implementation measure to consider a Town-wide Transit Signal Priority (TSP) system, and pursue funding for TSP implementation from new development, either through individual project contributions or the Town's Transportation Impact Fee program. *(The Town is working on the installation of Smart Signal infrastructure)*
62. Add a new policy to work with VTA to identify where queue jump treatments for busses at intersections would be possible and effective, and pursue funding for design and implementation of queue jump treatments from new development, either through individual project contributions or the Town's Transportation Impact Fee program. *(neutral)*
63. Add a new policy to work with VTA to identify locations for and implementation of in-lane bus stopping at key locations with merge challenges. *(neutral, where right-of-way allows)*
64. Add a new policy to identify Winchester Boulevard as a corridor for Complete Streets improvements including:
 - Overall lane reduction and implementation of a Class IV separated bikeway;
 - Installation of bus boarding islands and improvements to address missing sidewalk gaps to make better connections to these bus stops;
 - Improvements to pedestrian crossings across Winchester Boulevard, including high visibility crosswalks and integration of crossings into VTA bus stops; and/or
 - Signal improvements, including Transit Signal Priority, at Blossom Hill and Winchester Boulevard. *(could be considered as part of future update to Bike and Pedestrian Master Plan)*
65. Add a new policy to identify Los Gatos Boulevard as a corridor for Complete Streets improvements and integration with the large bicycle network identified in the VTA Bicycle Superhighway Implementation Plan. *(could be considered as part of future update to Bike and Pedestrian Master Plan)*
66. Add a policy in Section 5.7 to analyze and phase in on-street parking pricing to help improve the availability of on-street parking (through active monitoring of pricing and utilization), reduce congestion due to circling, lessen delay to transit vehicles, and reduce VMT. *(Council is implementing the Parking Study including paid parking)*
67. Add a definition of Traffic Impact Policy in the Glossary. *(recommended)*
68. Policy MOB-13.1 should include specific standards for shared parking that will be allowed in Town. *(shared parking is addressed in other Town policies and codes)*

Public Facilities, Services, and Infrastructure Element:

69. Consider the following additions under Goal PFS-1:
 - Consider adopting the MWENDO.
 - Encourage non-potable reuse of water like graywater and rainwater/stormwater in new development and remodels.
 - Require dedicated landscape meters where applicable.

- Require installation of separate submeters to each unit in multi-family developments and individual spaces within commercial buildings to encourage efficient water use. *(neutral)*
70. In Section 6.3 of the Public Facilities, Services, and Infrastructure Element clarify the second paragraph under Natural Drainage Systems. All creeks listed except Smith and San Tomas Aquino Creek flow to the Guadalupe River and the Guadalupe River is not within the Town limits. *(recommended)*
 71. Revise Goal PFS-5 to state, “Conserve landfill space through composting, green waste, and chipping programs.” *(not recommended, as the additional language limits the intent of the Goal)*
 72. On page 6-14 of the Public Facilities, Services, and Infrastructure Element LGS Recreation should be mentioned as the childcare provider with four Clubhouse childcare sites on the LGUSD campuses. For completeness it should be mentioned LGS Rec publishes a brochure of program offerings three times per year and offers several thousand programs and services for all ages. *(neutral)*
 73. On page 6-15 of the Public Facilities, Services, and Infrastructure Element, move Figure 6-1 “Recreation Locations” to the end of the section so it doesn't break up the discussion of recreation and social activities. *(recommended)*
 74. Revise Policy PFS-13.4 to state, “Coordinate with local organizations, including LGS Recreation, to support intergenerational opportunities for seniors to safely interact with youth in Los Gatos.” *(neutral)*
 75. Policies PFS-14.1 and PFS-14.3 describe Senior Services and indicates that the Town Manager connects seniors with resources in the community. This is the role of the LGS Rec along with other service providers. *(neutral)*
 76. Revise Policy PFS-18.1 to state, “~~Emphasize~~ Consider the use of CPTED principles in physical site planning as ~~an effective~~ potential means of reducing preventing crime. ~~Open spaces, landscaping, parking lots, parks, play areas, and other public spaces shall be designed with maximum possible visual and aural exposure to community residents.~~” *(neutral)*
 77. Revise Policy PFS-25.3 to state, “Encourage new or expanded public and private facilities or community center to host performing arts events.” *(neutral)*
 78. Revise Policy PFS -25.4 to state, “Encourage private and public funding, development, and operation of cultural amenities, activities, and community centers.” *(neutral)*
 79. Add more fruit trees throughout Los Gatos to increase supply of locally grown, fresh, healthy food, possibly under Section 6.13. *(neutral)*
 80. Revise Public Facilities, Services, and Infrastructure Element Implementation Program L Outdoor Lighting Standards to state, “Establish outdoor lighting standards in the Town Code to address energy efficiency, dark sky conservation, and healthy ecosystems.” *(neutral)*

Open Space, Parks, and Recreation Element:

81. Revise Policy OSPR-2.1 to state, "Preserve the natural open space character of hillside lands, including natural topography, ~~natural~~ native vegetation, wildlife habitats and migration corridors, and viewsheds." *(neutral)*
82. Revise Section 7.2 of the Open Space, Parks, and Recreation Element where it states that recreation services are provided on a full cost-recovery model. This does not accurately reflect the service model for recreation. *(neutral)*
83. Provide objective criteria, such as State Quimby Act guidelines, for open space dedication requirements in Policy OSP-4.6 and Implementation Program C. *(neutral)*
84. Modify Goal OSP-5 to state, "Preserve and enhance Los Gatos Creek, Los Gatos Creek Trail, and Ross Creek as open space amenities, which are critical to protecting biological resources." *(neutral)*
85. Re-evaluate service model for offering recreation services to the community in order to continue Policies OSPR-6.3 and 6.4 and achieve financial stability. *(neutral)*
86. Plan for additional soccer fields. *(neutral)*
87. Add a policy prohibiting artificial turf, especially on Town-owned fields like Creekside Sports Park. *(neutral)*
88. Work with Schools to make school fields available for community sports. *(neutral)*

Environmental and Sustainability Element:

89. Define the term "designated creek." *(recommended)*
90. Revise the definition of "Ecosystem" in the Key Terms Section to state, "A community or group of living organisms that live in and interact with each other in a specific physical environment." *(neutral)*
91. Modify Goal ENV-2 to state, "Maintain and enhance trees and significant natural features, especially native species and habitat." *(neutral)*
92. Revise Policy ENV-2.3 to state, "Continue to update landscape design guidelines for development consistent with Biological Resources goals and policies. Landscape design should promote the implementation of locally native species, drought tolerant species, and fire-wise plants and designs, including in hillside areas and future planning areas." *(neutral)*
93. Revise Policy ENV-4.2 to state that, "Maintain and support a network of open space preserves that protects the urban and natural forest and offers all residents access to nature while reserving some open space preserves for undisturbed habitat." *(neutral)*
94. Revise Policy ENV-5.2 to state, "Require public and private projects to protect special-status native plant species and natural communities." *(neutral)*
95. Change Policy ENV-7.6 to state, "Consider alternative methods prior to utilizing herbicides and pesticides on Town property as one tool within a comprehensive integrated pest management framework to minimize potential damage to native plants, birds, and other wildlife" and add "Integrated Pest Management (IPM)" to the list of key terms. *(neutral)*
96. Revise Policy ENV-7.7 to state, "Require that herbicides and pesticides used in areas adjacent to creeks and other water bodies are approved for use in aquatic habitats, ensuring minimized potential damage to public health, native plants, birds, and other wildlife." *(neutral)*

97. Modify Policy ENV-7.10 to state, “Require that new development, remodels, and retrofits ~~to~~ increase bird safety by reducing hazardous building and architectural elements, and including bird safe and lighting design.” *(neutral)*
98. Modify Policy ENV-7.11 to state, “Require the design of building, street, landscape, and parking area lighting to improves safety, energy efficiency, protection of the night skies (dark sky protections), biological resources, and environmental soundness.” *(neutral)*
99. In Goal ENV-8 consider trade-offs between reduced carbon sequestration from reduced fuel load and emissions from prescribed fires that establish ecological resiliency in the face of wildfire, given the overwhelming benefits of reduced risks of catastrophic wildland fire on climate change. *(neutral)*
100. Modify Policy ENV-8.3 to state, “Require decreases to vehicle miles traveled (VMT), or other noise and air quality impacts mitigation measures, whenever the environmental review document concludes that the traffic generated by a development project would result in adverse impacts from air and noise pollution. Decreases in VMT could be ~~achieved~~ achieved through transportation demand management (TDM) programs.” *(neutral)*
101. Modify or remove Policy ENV-8.7 to state, “Require developments to incorporate site planning, and other techniques to ~~that~~ reduce exposure of people to the impacts of high air pollutants from adjacent roadways.” *(neutral)*
102. Consider modifying Policy ENV-9.14 to reduce potential impact of requirement to exceed Title 24 on feasibility of construction of new affordable housing. *(not recommended)*
103. Revise Goal ENV-10 to state, “Become a zero-waste Town through encouraging sustainable procurement, extended producer responsibility, ~~and~~ innovative strategies, composting, green waste, and chipping programs.” *(neutral)*
104. Revise “Groundwater Management” section on page 8-19 as follows:
Valley Water manages the groundwater sub-basin with the primary objectives to recharge the basin, conserve water, increase water supply, and prevent waste or reduction of the water supply. Historically, over-extraction of the groundwater sub-basin has resulted in occurrences of subsidence in Santa Clara County. Subsidence occurs when underground water levels drop and clay layers compact, resulting in the sinking of the ground surface and a loss of aquifer capacity. To avoid any further subsidence ~~and loss of aquifer capacity~~ Valley Water works to maintain the sub-basin by augmenting natural percolation of rainfall and local stream runoff ~~with~~ via managed aquifer recharge using local and imported surface water. Valley Water’s ~~managed supports a~~ recharge program ~~that~~ includes 18 major recharge systems with in-stream and off-stream facilities. In addition to directly replenishing groundwater, Valley Water reduces the need for groundwater pumping through treated and untreated surface water deliveries, water conservation, and recycled water programs.

Based on these efforts, permanent subsidence was effectively halted around 1970, and groundwater levels recovered to sustainable levels. In 2019, Valley Water’s Groundwater Management Plan was approved by the Department of Water Resources as an Alternative to a Groundwater Sustainability Plan for Sustainable Groundwater Management Act compliance. While groundwater levels and storage decline during droughts, Valley

Water's comprehensive groundwater management activities provide for subsequent recovery, and groundwater in the sub-basin is sustainably managed.

~~Valley Water operates a treated groundwater recharge/surface water reinjection program that promotes treated groundwater reuse from the clean up of contaminated sites and recharges groundwater from local and imported surface water. Based on these efforts, the groundwater elevation in the groundwater sub-basin has been rising steadily for the past 40 years. As stated in the 2017 Valley Water Annual Groundwater Management Report, the groundwater supply has reached a "normal" stage (stage 1) of the District's Water Shortage Contingency Plan and indicates good water supply conditions. (neutral)~~

105. Revise second paragraph of the "Groundwater Quality" section on page 8-22 as follows:
A few water quality problems have been detected in the sub-basin. High mineral salt concentrations have been identified in the upper aquifer zone along San Francisco Bay, the lower aquifer zone underlying Palo Alto, ~~and the southeastern portion of the forebay area of the Santa Clara Valley sub-basin. Nitrate concentrations in the South County (Coyote and Llagas sub-basins) are e.~~ Elevated and high nitrate concentrations are sporadically observed in the Santa Clara Valley Sub-basin. ~~Monitoring continuously, installing physical barriers to runoff, and treating water properly are key activities used throughout the wastewater treatment and water conveyance system to maintain water quality standards. D-However,~~ drinking water standards are met at public water supply wells without the use of treatment methods beyond disinfection. Valley Water and public water suppliers conduct extensive monitoring of groundwater quality to understand conditions and trends and work with regulatory agencies to protect groundwater quality. (neutral)
106. Modify Policy ENV-16.4 to state, "Conserve existing creeks and avoid disturbances, including fencing, lighting, structures, hydrological barriers, and roads, to these areas." (neutral)
107. Revise Policy ENV-16.3 to state, "Cooperate with Valley Water and other agencies to protect watersheds, groundwater, and riparian habitats from degradation." (neutral)
108. Revise Policy ENV-17.8 to state, "Encourage Low-Impact Development (LID) measures to limit the amount of impervious surface in new development and redevelopment to maintain or increase the retention, treatment, and infiltration of urban stormwater runoff from pre-development conditions. LID measures should also apply to major remodeling projects and to public and recreation projects where possible." (neutral)
109. Clarify how Policy ENV-18.5 applies to mixed-use neighborhoods. (neutral)
110. Revise Policy ENV-19.1 to state, "Require all new noise-sensitive developments, and sound- or noise-generating uses near open space, to provide a noise study prepared by a licensed acoustician with recommendations for reducing noise impacts to the maximum allowed level in the Noise Ordinance." (neutral)
111. Add a policy to add a habitat overlay zone or riparian buffer zone to ensure riparian setbacks are enforced and riparian corridors are protected. (not recommended as a standard buffer or setback would not reflect the varying character and sensitivity of the riparian areas in Town)
112. Add a policy for wastewater recycling, at least for use on landscaping. (neutral)

113. Add a policy to create a Town-wide wildlife corridor study that researches where movement corridors exist and what structures are already infringing upon or helping habitat and movement (e.g. fences, buildings, structures, culverts, roads, and lighting). *(neutral)*
114. Develop a new Implementation Program under Policy ENV-6.3 to develop a Town-wide riparian setback policy with specific development standards near riparian corridors. *(not recommended as a standard buffer or setback would not reflect the varying character and sensitivity of the riparian areas in Town)*
115. Revise Environment and Sustainability Element Implementation Program K Riparian Corridor Lighting to state, “Establish a lighting setback policy for riparian corridors to protect these sensitive ecological areas and to maximize the distance between nighttime lighting and the corridor. No light should be placed in or directed towards the riparian corridor.” ~~Require careful lighting design in and near natural riparian corridors to direct light away and to maximize the distance between nighttime lighting and the corridor.”~~ *(not recommended)*
116. Addition of a new plant-based eating education program to Implementation Programs in Section 8.12: “Plant Based Education: Implement programs to educate and support residents about the benefits of shifting to a plant-based diet, which includes improved health, curbing greenhouse gas emissions, reducing biodiversity loss and deforestation, reducing water usage, and reversing pollution of our air, land, and water.” *(neutral)*

Hazards and Safety Element:

117. Explain within Section 9.2 of the Hazards and Safety Element that according to CALFIRE, 95 percent of all fires are caused by people (e.g., arson, escaped debris burns, and equipment use) and this is why “Fires that occur along the wildland-urban interface (WUI) are much more of a hazard...” It is also important to note that a high fire hazard severity zone does not describe the risk of a fire start, but rather describes potential impacts to natural ecosystems, known as fire severity. *(neutral)*
118. Add mandate that overhead utilities be undergrounded to reduce fire risks, especially in the hillsides. *(not recommended, undergrounding is included in other Town policies and regulations)*
119. Revise the discussion regarding dam inundation in Section 9.4 – Flood and Inundation Hazards to note that the Town of Los Gatos is also within the inundation area of Vasona Dam. *(neutral)*

Additional actions suggested in Public Comments:

120. Have a vote or poll of residents on the proposed changes in the Draft 2040 General Plan. *(comment noted)*
121. Request an exception to the RHNA requirement. *(the deadline has passed)*
122. Update Housing Element with the 2040 General Plan Land Use and Community Design Elements. *(comment noted)*

123. Conduct a Fiscal Impact Analysis to estimate the fiscal impacts of full buildout of the 2040 General Plan. *(on April 5, 2022, Town Council decided not to conduct additional fiscal impact analyses)*

CD-5.1 Rural Atmosphere Preservation

Minimize development and preserve and enhance the rural atmosphere and natural plant and wildlife habitats in the hillsides.

CD-5.2 Hillside Development Limitation

Limit hillside development, specifically in VHFHSZ's, to mitigate wildfire risk.

CD-5.3 Effective Visible Mass

Reduce effective visible mass through such means as stepping structures up and down the hillside, following topographical contours, and limiting the height and mass of wall planes.

CD-5.4 Hillside Area Environmental Analysis Requirement

Require thorough environmental analysis for projects in hillside areas to ensure appropriate consideration of potential environmental impacts associated with projects.

CD-5.5 Mountain and Hillside Viewshed Preservation

Preserve and protect the natural state of the Santa Cruz Mountains and surrounding hillsides by discouraging development on and near the hillsides that impacts viewsheds.

CD-6

Preserve the natural topography and ecosystems within the hillside area by regulating grading, site placement, fencing, landscaping, and lighting.

CD-6.1 Least Restrictive Development Areas

SUS

All development, including those in VHFHSZ's, is required to adhere to the Least Restrictive Development Areas (LRDA) to ensure minimal disturbance of the natural environment and to avoid wildfire and geological hazards.

CD-6.2 Ridge Line Grading Prohibition

Protect the natural ridge lines as defined in the Hillside Development Standards and Guidelines by prohibiting any grading that would alter the natural ridge line.

CD-6.3 Natural Land Contours

New construction shall be designed to follow natural land contours and avoid mass grading. When possible, flat pads should be avoided, and houses should be designed to conform to or step down the contours rather than be designed for flat pads. Grading large, flat yard areas should be avoided.

CD-6.4 Hillside Landscaping Design

SUS

Hillside landscaping shall be designed to minimize formal landscaping and hardscapes and site them close to the residence, follow the natural topography, and preserve native trees, native plant and wildlife habitats, and migration corridors.

CD-6.5 Lighting Design in Hillside Areas

Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity.

CD-6.6 Hillside Fencing Design

Fences in the hillsides should be of open design to allow passage of native wildlife.

6. Public Facilities, Services, and Infrastructure Element

Valley Water, the SJWC, and the Town of Los Gatos all have water conservation programs in place, including but not limited to the following:

- Los Gatos provides online tools and resources for homeowners and business owners on the Town website, including information on rebates through Valley Water;
- SJWC offers complimentary water check-ups, educational materials, and free low-flow devices; and
- Valley Water hosts a variety of informational resources at watersavings.org, including video tutorials and a calendar of classes and workshops.

The following goal and policies address the provision of water and water conservation efforts in Los Gatos.

PFS-1	<p>Ensure an adequate water supply for the Town's human, wildlife, and plant populations. #</p> <p>SUS</p>
<p>PFS-1.1</p> <p>SUS</p>	<p>Water Conservation Requirements</p> <p>Require that landscaping and hardscaping for all development is designed to minimize water usage and enhance water conservation.</p>
<p>PFS-1.2</p> <p>SUS</p>	<p>Bay-Friendly Landscaping</p> <p>Require the use of the Bay-Friendly Landscaping Guidelines in addition to the landscaping standards in the GreenPoint Rated Building Guidelines for all new home construction and remodeled homes.</p>
<p>PFS-1.3</p> <p>SUS</p>	<p>Water-Saving Devices</p> <p>Require the use of water-saving devices in new developments and plumbing-related remodels and develop incentives to encourage their installation in existing development.</p>
<p>PFS-1.4</p> <p>SUS</p>	<p>Water-Efficient Irrigation Management Systems</p> <p>Require all new development to install water-efficient irrigation management systems and devices, such as evapotranspiration or soil moisture-based irrigation controls.</p>
<p>PFS-1.5</p> <p>SUS</p>	<p>Sustainable Water Use</p> <p>Encourage the use of recycled and reclaimed water.</p>
<p>PFS-1.6</p> <p>SUS</p>	<p>Recycled Water</p> <p>Ensure proper provisions and conditions are in place for the use of recycled water in areas when this water becomes available.</p>
<p>PFS-1.7</p>	<p>Water Supply for Fire Safety</p> <p><u>Coordinate with local water providers to ensure and maintain the long-term sustainability of water supplies to meet current and anticipated future firefighting needs.</u></p>

Community Wildfire Protection Plan

In 2016, Santa Clara County led the development of a countywide strategic plan, the Santa Clara County Community Wildfire Protection Plan (CWPP), to assist in protecting human life and reducing property loss due to wildfire. The CWPP outlines countywide issues and strategies and provides detailed information and specific projects for each of the 14 at risk communities within the county. For the Los Gatos hillside area, the Annex 9 of the CWPP provides community and parcel-level risk assessment, identifies critical infrastructure and community values at risk, creates mitigation projects, and prioritizes to proactively address wildfire risk. The CWPP is maintained by SCCFD.



Additional policies relating to wildfire risk, assessment, and mitigation are covered Section 9.2 (Urban and Wildland Fire Hazards) in the Hazards and Safety Element.

The following goals and policies guide fire protection efforts in Los Gatos.

PFS-19

Provide adequate fire protection and emergency medical response services to Town residents and businesses.

PFS-19.1 First Response Travel Time

Work with the SCCFD to ensure that first response travel time is maintained and enhanced where possible.

PFS-19.2 Emergency Response Facilities and Personnel

Work with the SCCFD to continue to increase the emergency response facilities and personnel necessary to meet residential and employment growth in the Town.

PFS-19.3 Fire Safety Requirements for New Developments

New development shall be required to incorporate and identify the location of the anticipated water supply, adequate emergency water flow, fire resistant design and materials, and evacuation routes.

PFS-19.4 Emergency Vehicle Accessibility

New development shall be accessible to emergency vehicles and shall not impede the ability of service providers to provide adequate emergency response.

PFS-20

Promote coordination between land use planning and fire protection.

PFS-20.1 Adequate Roadways for Fire-Fighting Apparatus

~~Build and require that new, existing, and non-conforming roadways, specifically those in SRA and VHFHSZ areas that are adequate-constructed and updated to reflect contemporary fire safe standards in terms of width, radius, and grade in compliance with SCCFD requirements. At a minimum, new and improved roadways shall to accommodate SCCFD fire-fighting apparatus,~~ while maintaining Los Gatos's neighborhoods and small-town character.

PFS-20.2 Fire Hazard Mitigation in Project Review

Identify and mitigate fire hazards during the project review and approval process.

9. Hazards and Safety Element

Seismic Hazards, Primary. Primary seismic hazards are those that occur as a result of the slip of a fault line below the earth's surface. Primary seismic hazards typically include ground shaking and motion, and surface rupture.

Seismic Hazards, Secondary. Secondary seismic hazards are those that occur as a result of the primary ground shaking and surface rupture from an earthquake (primary seismic hazard). Secondary seismic hazards typically include landslides, rockslides, tsunamis, and liquefaction.

Subsidence. The sinking or settling of the ground surface, typically related to the withdrawal of fluids (e.g., groundwater, natural gas, or oil).

Wildland Urban Interface (WUI). Areas where homes or other structures are built near or among lands prone to wildland fire.

9.1 Emergency Preparedness, Response, and Recovery

All municipal governments are required to prepare for natural and manmade disasters. The Santa Clara County Operational Area Hazard Mitigation Plan (OAHMP) assesses Countywide risk for natural hazards and establishes mitigation measures, funding, and plan implementation actions for Los Gatos.

The Town of Los Gatos has adopted a comprehensive Emergency Operations Plan (EOP) that is an all-hazards document describing the Town's incident management organization, compliance with relevant legal statutes and other relevant guidelines, outlines whole community engagement, establishes a continuity of government focus, and identifies critical components of the incident management structure. The Town also participates in volunteer emergency response training programs and has volunteer coordination plans in place.

The following goal and policies guide emergency preparedness, response, and recovery efforts by the Town of Los Gatos.

HAZ-1	Ensure the community is prepared for health, natural, and human-caused hazards and can respond quickly and effectively.
HAZ-1.1	Emergency Preparedness Planning Coordinate with regional agencies and incorporate emergency preparedness into appropriate Town planning efforts, including plans for preparation, communications, response, providing adequate access for emergency equipment, and evacuations in the case of an emergency.
HAZ-1.2	Evacuation Routes Coordinate with Santa Clara County Fire and the Los Gatos – Monte Sereno Police Department and incorporate emergency access and evacuation planning into all planning efforts.
HAZ-1.3	Community Information and Education Provide <u>regular and redundant</u> community <u>emergency</u> awareness information, <u>training</u> , and education about potential health, natural, and human-caused hazards in Los Gatos and how to responsibly prepare for or mitigate them.
HAZ-1.4	Siting of Essential Facilities The Town shall not site essential facilities, public safety or emergency service facilities, special occupancy structures, or hazardous materials storage facilities on property subject to the following hazard designations, as defined in the Santa Clara County OAHMP, unless the

structure is designed to mitigate the hazard or if no other viable option for siting is available to serve the need identified:

- The 500-year flood zone;
- Seismic hazard areas and fault zones;
- Areas subject to liquefaction, landslide, or seiche hazards; and
- Areas designated as a very high fire severity zone.

HAZ-1.5 Identify Isolated Seniors

Require the identification of isolated seniors who may need assistance in natural disasters such as fires, earthquakes, or floods.

9.2 Urban and Wildland Fire Hazards

Santa Clara County, including Los Gatos, has a high potential for devastating wildland fires. As future climate change-related impacts increase, such as dry thunderstorms and droughts, there will be greater potential for more frequent and more intense wildfires, along with the potential for these fires to release significant quantities of Greenhouse Gases and particulate matter into the atmosphere. To comprehensively tackle urban and wildland fire prevention, strong land use policies and mitigation measures are necessary to protect the health and safety of residents, minimize the loss of life, and minimize property damage and damage to infrastructure. These efforts contribute to the community's ability to be resilient and adapt to climate change effects, including more intense weather events.

Wildfires are becoming an all too regular event in California, and both urban and wildland fires are a threat to the Town of Los Gatos. Wildfires that burn exclusively in uninhabited natural areas generally pose little risk to lives or property, although the smoke from such fires may cause respiratory problems for people nearby. Fires that occur along the wildland-urban interface (WUI) are much more of a hazard, as they can spread into urbanized areas. Wildfire risk is dependent on several factors, including the amount and type of vegetation in the area, weather, and local topography. Factors such as narrow, winding roads and vegetation also slow response to fires, increasing the risk of spread. Based on the increased potential for devastating wildfires in Santa Clara County and the Town of Los Gatos, CAL FIRE developed and adopted "Fire Hazard Severity Zone" maps. These maps highlight that most of the County is located within the "high" fire severity zone, with smaller portions of the County within the "moderate" and "very high" fire severity zones. Figure 9-1 illustrates the fire hazard severity zones in the Los Gatos area. More than half of the southern portion of the Town is in the Very High Fire Hazard Severity Zone, with most of the areas to the south in the High or Moderate zones.

The Town must therefore strongly incorporate fire hazard mitigation into its land use decisions and requirements to protect residents and property. The Santa Clara County OAHMP, the Santa Clara County Community Wildfire Protection Plan (CWPP), the Los Gatos Annex 9 of the CWPP, and the Los Gatos Ad Hoc Wildfire Committee Report all include techniques for reducing wildfire risk for Los Gatos through land use decisions, inter-agency coordination, community programs, and emergency response improvements. These plans work in coordination with the Los Gatos General Plan to provide a comprehensive framework for mitigating fire risk in Los Gatos and Santa Clara County. The OAHMP (page 45 of the OAHMP) also provides additional information on the location of critical infrastructure and facilities in SRA's and VHFHSZ's within the Town. The findings of the OAHMP note that the Town currently does not have gaps in services areas related to wildfire hazards.

The Santa Clara County Fire Department provides emergency response services to the Town; further information on their services is available in the Public Facilities, Services, and Infrastructure Element. Utilities in California have begun to address their contributions to wildfire risk by reducing vegetation near vulnerable powerlines, evaluating old infrastructure, and implementing Public Safety Power Shutoffs. These shutoffs are conducted by local energy providers such as PG&E when dry hot weather combined with strong erratic wind patterns leads to a

9. Hazards and Safety Element

high probability of downed power lines inducing devastating fires. The power shutoffs are an attempt to minimize fires caused by downed power lines in communities across California. Local efforts are needed as well.

The following goals and policies will guide the management of urban and wildland fire hazards.

HAZ-2

Incorporate fire safety precautions as an integral consideration in planning development. #

HAZ-2.1

New Development in Fire Hazard Areas

Require new development, including additions to existing structures, located in or adjacent to fire hazard areas to minimize hazards to life and property, by using fire preventive site design, access, fire-safe landscaping, building materials, and incorporating defensible space and other fire suppression techniques.

HAZ-2.2

Fire Safety Improvements

Encourage fire safety improvements for existing homes and commercial buildings.

HAZ-2.3

Adequate Water Storage for Fire Protection

During the development review process, carefully consider the adequacy of water storage for fire protection.

HAZ-2.4

Secondary Emergency Access

Provide secondary emergency access as required by the Santa Clara County Fire Department.

HAZ-2.5

Fire Buffer Zones

Designate Fire Buffer Zones in collaboration with Santa Clara County Fire Department between urban areas in Town and the hillsides.

HAZ-2.6

Vegetative Hazards

Reduce the wildfire risks to existing and newly developed transportation networks through regular clearance and maintenance of vegetation adjacent to public roadways to current State and/or locally adopted fire safety standards for vegetation clearance in SRA's or VHFHSZ's.

HAZ-2.7

Wildfire Response

Following a large and/or destructive fire in Los Gatos or the region, the Town shall reassess standards and other requirements for new development and redevelopment and revise these requirements to ensure a high level of community resilience to fire events.

HAZ-2.8

Community Fire Breaks

Establish and maintain community fire breaks and fuel modification/reduction zones, including public and private road clearance.

HAZ-2.9

Fire Safety Development Precautions

Establish that minimum requisite firefighting services and infrastructure are ubiquitous throughout its Town, including but not limited to: high-visibility street signage and house numbers, appropriate street widths and building clearances for firefighting equipment and vehicles, high water pressure at all fire hydrants, and driving signage indicating rights-of-way with no outlets.



Additional policies relating to fire protection, fire station information, and service standards are covered Section 6.8 (Fire Protection) Figure 6-2 (SCCFD Facilities) in the Public Facilities, Services, and Infrastructure Element.

HAZ-3	Reduce the potential for injuries, damage to property, economic and social displacement, and loss of life resulting from fire hazards. #
HAZ-3.1	Fire Hazard Preparedness Minimize exposure to wildland and urban fire hazards through proactive code enforcement, public education programs, use of modern fire prevention measures, quick and safe access for emergency equipment and evacuation, and emergency management preparation.
HAZ-3.2	Neighborhood Fire Emergency Planning Coordinate neighborhood fire emergency planning for WUI areas.
HAZ-3.3	Fire Emergency Water Supply Coordinate with emergency, fire, and medical services to ensure water supply is available for fire emergencies.
HAZ-3.4	Development Restrictions Restrict development in areas with inadequate water flow or emergency access.
HAZ-3.5	Flammable Vegetative Material Monitor and remove excessive buildup of flammable vegetative materials on Town properties and along <u>critical public and private ingress/egress routes within the SRA and or the VHFHSZ's in the WUI.</u>
HAZ-3.6	Utility Access Ensure that utility providers have the ability to monitor, inspect, replace, and move equipment that may pose a fire hazard.
HAZ-3.7	Community Evacuation Trainings <u>Continue to conduct regular evacuation trainings with single-access community HOAs, residents, and the Wildfire Ad Hoc Committee; encourage residents in single-access communities to maintain emergency supplies for at least three days.</u>

9.3 Geological and Seismic Hazards

The San Francisco Bay Area is in one of the most active seismic regions in the United States. Los Gatos is near several active faults including the San Andreas, Hayward, and Calaveras Faults. Figure 9-2 shows faults, most of which are quaternary faults, within the Town Los Gatos, while Figure 9-3 shows the proximity of active major faults to Los Gatos. Ground shaking is the primary risk in an earthquake and can set off a chain reaction of secondary landslides and liquefaction, or loss of soil strength. As shown in Figure 9-4, most ground shaking risk in Los Gatos is in the northern half of the Town, with a higher risk area centered south of Los Gatos-Saratoga Road and west of Highway 17.

The region around the Lexington Reservoir also has higher risk of ground shaking should an earthquake occur. Figure 9-5 focusing on secondary seismic hazards, shows that landslides are a risk in most of the southern and eastern portions of the Town, and liquefaction risk is centered along Highway 17. Implementation of applicable building codes and geotechnical investigations will minimize potential loss of life and damage to property from primary and secondary seismic hazards and siting essential structures and services outside high-risk areas will enable faster emergency response after an earthquake.

9. Hazards and Safety Element

and storage of these materials.

9.7 Implementation Programs

Programs	Implements Which Policy(ies)	Responsible	2020 – 2025	2026 – 2040	Annual	Ongoing
		Supporting Department(s)				
A Plan Review Annually review and refresh key staff on the contents of the Los Gatos Hazards and Safety Element, the Santa Clara OAHMP, and the Los Gatos HMP to ensure processes and procedures are streamlined and coordinated.	HAZ-1.1	Town Manager			■	
	HAZ-1.2					
	HAZ-1.3					
	HAZ-1.4	Community Development				
	HAZ-1.5	Parks and Public Works				
B Review Emergency Services Regularly review the adequacy of emergency services in the Town. Plan and develop law enforcement infrastructure and technology according to overall need and Town growth.	HAZ-1.1	Town Manager				■
		Police Department				
		SCC Fire Department				
C Develop Evacuation Protocols Routes and Planning <u>Develop, evaluate, maintain, and update evacuation routes and protocols for high-risk fire hazard areas, SRA's, and VHFHSZ's that are consistent with AB 747 and local ordinances (Title 14, CCR, Division 1.5, Chapter 7, Subchapter 2, Articles 2 and 3 (commencing with section 1273.00)). As necessary prepare improvement plans that identify appropriate mitigation measures to further implementation of evacuation routes.</u>	HAZ-1.1	Town Manager	■			■
	HAZ-1.2					
	HAZ-4.4					
	HAZ-5.1	Police Department				
	HAZ-5.2					
D Emergency Drills Conduct emergency hazard drills with key stakeholder organizations, community groups and organizations, outside agencies, and local and County officials across the community to improve preparedness for known threats and hazards.	HAZ-1.3	Town Manager				■
	HAZ-1.4					
		Police Department				
		SCC Fire Department				

Programs	Implements Which Policy(ies)	Responsible	2020 – 2025	2026 – 2040	Annual	Ongoing
		Supporting Department(s)				
E Hazard Preparedness Coordinate with regional agencies to update and distribute information on how to prepare for and lessen the potential impact of earthquakes, floods, fires, public health emergency, and other safety hazards. Help and encourage all households to prepare for two weeks of self-sufficiency	HAZ-1.3	Town Manager Police Department SCC Fire Department	■			
F Fire Safety Education Provide public education on fire safety, including wildland and structural fire prevention, evacuation protocols, and guidelines for defensible space and other hazards around structures.	HAZ-1.4 HAZ-2.2 HAZ-3.2 HAZ-3.5	Town Manager Community Development Fire Department				■
G Wildfire Development ChecklistProtection Plan <u>Create a checklist for applicants to complete and submit a fire protection plan to assess and mitigate fire risks for all new development within SRA's and VHFHSZ's. Fire protection plans shall include:</u> <ol style="list-style-type: none"> <u>1. Risk analysis;</u> <u>2. Fire response capabilities assessment;</u> <u>3. Fire safety requirements (i.e., defensible space, infrastructure, and building ignition resistance);</u> <u>4. Mitigation measures and design considerations for nonconforming fuel modification;</u> <u>5. Wildfire education strategies; and</u> <u>4.6. Plan maintenance and limitations. to ensure that wildfire mitigation standards are included.</u> 	HAZ-2.1	SCC Fire Department Community Development	■			
H Review of Fire Related Ordinances <u>Update the Town's development standards to either directly adopt or meet the minimum standards of title 14, CCR, division 1.5, chapter 7, subchapter 2, articles 1-5 (commencing with section 1270) (SRA Fire Safe Regulations) and title 14, CCR, division 1.5, chapter 7, subchapter 3, article 3 (commencing with section 1299.01) (Fire Hazard Reduction Around Buildings and Structures Regulations) for SRAs and/or VHFHSZs.</u>	HAZ-2.1 HAZ-2.2 HAZ-2.9	Town Manager SCC Fire Department	■			■

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From: Ryan Rosenberg
Sent: Thursday, April 15, 2021 7:10 PM
To: Alexa Nolder; Jennifer Armer
Cc: Melanie Hanssen
Subject: My comments on the name "community place districts"

There was a suggestion made today that we should submit comments on the name "community place districts" to be passed on to the planning commission when (and if) they consider this name.

My comments follow...

My suggestion is "**Community Growth District**".

Here is why.

The definition in the plan is: "...Community Place Districts were identified based on the proximity of commercial services or employment to support additional development, easy access to transportation systems, and having access to infrastructure needed to support future development. These locations have the potential to facilitate mixed-use development and redevelopment at a variety of densities and intensities."

This definition makes it clear that a primary objective of these areas is to support the growth we want to see in the town and that we need to see in order to meet state mandates.

Of course we don't just want any growth — we want to manage and direct that growth in a positive direction.

I did like the words "Community" and "District" because they capture the idea of a special area that brings people together and has a unique sense of identity.

But I didn't like the word "place". The main reason is that it does not capture the concept of growth (a primary objective of these areas in the first place).

But I also think people will not understand it means plus it overlaps to some degree with the word "community".

Ryan

From: karen
Sent: Sunday, June 27, 2021 7:01 PM
To: Jennifer Armer
Subject: Please add education on plant-based diets to GP2040

Hi Jennifer,

I am a resident of the Town of Los Gatos. I live at 264 Calle Marguerita, Apt A, Los Gatos 95032.

I am writing because I am asking the Town to add a program to educate residents about the health and environmental benefits of a plant-based diet in the 2040 General Plan. I would like this program to be added to the Environmental section, specifically section 8.12 Implementation Programs.

Thank you kindly.

Best regards,

Karen Rubio

From: Debbie Parsons

Sent: Sunday, June 27, 2021 11:33 PM

To: Jennifer Armer

Subject:

Dear Jennifer,

I am a resident of the town of Los Gatos. I am writing to inform you that I strongly support including plant-based education in the town's 2040 general plan.

Regards

Debbie Parsons

From: Danielle Hinsche
Sent: Monday, June 28, 2021 10:22 AM
To: Jennifer Armer
Cc: karenr; kristine
Subject: Plant based Education Program

Hello Jennifer,
I am a resident of Los Gatos and live at 11 Kimble Avenue and I support the addition of a plant-based education program in the Town's 2040 General Plan.

My family eats meat, but we enjoy meatless meals as a regular part of our diet.

Dani Hinsche

From: Lynne Rovin
Sent: Monday, June 28, 2021 1:41 PM
To: Jennifer Armer
Subject: Plant-based Education in Los Gatos General Plan

Dear Jennifer,

I am a resident of Los Gatos and I support including a plant-based education in the town General Plan.

Thank you for considering the welfare of the people in this town (and the world) by considering the inclusion of plant-based education.

Respectfully,

Lynne Rovin

From: Karla Albright
Sent: Monday, June 28, 2021 7:20 PM
To: Jennifer Armer
Subject: General Plan- Plant based education

Hello Jennifer,

My name is Karla Albright and I have been a long term proud resident of LG for the past 24 years.

I am writing to encourage the town to include a plant-based education program in the Sustainability section of the 2040 General Plan. Plant based eating has a wide range of benefits for our health and the health of the planet.

Education that moves the needle to get more people to embrace a plant based diet is good for everyone.

Thank you for considering this.

Karla Albright

From: shailaja venkatsubramanyan
Sent: Tuesday, June 29, 2021 6:53 AM
To: Jennifer Armer
Subject: plant-based education program

Hi Jennifer, I am a Los Gatos resident.

Just want to let you know that I would like to see a plant-based education program included in the environmental section of the 2040 general plan.

Thanks,

Shai

From: Lisa Wade
Sent: Tuesday, June 29, 2021 10:45 AM
To: Jennifer Armer
Subject: Information for General Plan Meeting Tonight

Hi Jennifer,

Please would you add this to the record for tonight's meeting?

Thanks!

Lisa

We are a group of residents of the Town of Los Gatos who would like to see the promotion of plant-based eating featured prominently in the 2040 General Plan for Los Gatos. Some of us are plant-based eaters and some are meat eaters but we all recognize the importance of meat reduction for climate mitigation, health, and racial justice. We'd like to see plant-based eating added to the Health and Environmental sections of the General Plan.

Most importantly, we recommend that the town add a program to educate residents about the environmental and health benefits of a plant-based diet. Specifically, we'd like to see such a program added to section 8.12 Implementation Programs.

Numerous studies have urged a planetary shift toward a plant-based diet including a 2018 Oxford University study stating that "A vegan diet is probably the single biggest way to reduce your impact on planet earth, not just greenhouse gases, but global acidification, eutrophication, land use, and water use. . . . It is far bigger than cutting down on your flights or buying an electric car, as these only cut greenhouse gas emissions."

<https://science.sciencemag.org/content/360/6392/987>

According to Project Drawdown, the third- and fourth-best climate change solutions are reducing food waste and eating a plant-rich diet. (The top two solutions aren't things the average person can easily control: refrigerant management and onshore wind.) *Drawdown: The Most Comprehensive Plan Ever Proposed to Reverse Global Warming*. Edited by Paul Hawken.

Factory farms and slaughterhouses are situated predominantly near people of color and low-income residents who suffer from illnesses caused by pollutants these operations generate.

Slaughterhouse workers are usually immigrants who have few other options for work and suffer from crowded, unsafe, and unsanitary conditions, which were exposed during the recent pandemic. Climate change, caused in large part by animal agriculture, is driving more frequent and intense storms and other extreme weather events such as drought, disproportionately impacting "frontline" communities comprised mainly of low-income and people of color.

For these reasons, we would like the town to add a plant-based education program to section 8.12 Implementation Programs.

Local Activist Groups Supporting This Request:

TWW/Indivisible-Los Gatos <https://www.twwlg.org/>

Plant-Based Advocates of Los Gatos <http://www.plantbasedadvocates.com/>

Environmental/Health Organizations that support our recommendations to the General Plan(This is a working list more organizations will be added)

Center for Biological Diversity <https://www.biologicaldiversity.org/>

Acterra: Action for a Healthy Planet <https://www.acterra.org/>

Eat for The Earth <http://www.plantbasedadvocates.com/> (Based in Santa Cruz)

SAFE Worldwide <https://www.safeworldwide.org/> (Based in Monte Sereno)

Green Monday USA <https://greenmondayus.org/>

Factory Farm Awareness Coalition <https://www.ffacoalition.org/>

A Well-Fed World <https://awellfedworld.org/>

PhARM (Physicians Against Red Meat) <https://pharm.org/>

List of Residents who Support Adding a Plant-Based Education Program to the General Plan 2040 (65 Residents so far more will be added.)

1. Peter Herten, Vice
President, Los Gatos-
Saratoga Union High School
District Board

2. Alicia Spargo, Outreach
Coordinator, Los Gatos
Anti-Racism Coalition

3. Karla Albright
LG. 95032

4. Shailaja
Venkatsubramanyan
Los Gatos, 95032

5. Sue Ann Lorig
Los Gatos, California

6. Lisa Wade
Los Gatos, Ca 95032

7. Christopher Wade
Los Gatos, Ca 95032

8. Karen Rubio
Los Gatos, California
95032

9. Fred Rubio
Los Gatos, California
95032

10. Kathleen Willey

Los Gatos, California
95032

11. Mark Willey
Los Gatos, California 95032

12. Debbie Parsons
Los Gatos, California 95032

13. James Parsons
Los Gatos, California 95032

14. Carolyn Kurlin
Los Gatos 95032

15. Sevil Karavelioglu.
LG 95032

16. Anita Bora
Los Gatos, California

17. Laura Montonye Reese
Los Gatos, Ca 95030

18. Dirk Reese
Los Gatos, Ca 95030

19. Tony White
Los Gatos, Ca 95032

20. Hilary White
Los Gatos, Ca 95032

21. Charles Wade
Los Gatos, Ca 95032

22. Caroline Dempsey
Los Gatos, California

23. Dawn DeMaria
Los Gatos, Ca 95032

24. Prasenjit Sarkar
Los Gatos, 95032

25. Pamela Wales
Los Gatos, Ca 95030

26. Rob Moore
Los Gatos.

27. Mary Ann Bosworth
Town of Los Gatos

28. Hanley Yosfee
Town of Los Gatos

29. Rosilene Martins
Los Gatos, Ca 95032

30. Sara Hojjat
Los Gatos, CA 95030

31. Tamara Corini
Los Gatos, 95032

32. Sandeep Madduri
Town of Los Gatos

33. Gregg Kurlin
Los Gatos, 95032

34. Glenn Lorig
Los Gatos, California

35. Laura Sneddon
Town of Los Gatos

36. Linda Juhl
Los Gatos Main Town
of Los Gatos

37. June O Toole
Los Gatos
Town of Los Gatos

38. Karen Aidi
Los Gatos CA 95032

39. Suzanne Meinhardt
Los Gatos

40. Roger Dickinson
Los Gatos, Ca 95032

41. Manan Sardana
Los Gatos Ca 95032

42. Sevgi Erdengiz
Town of Los Gatos

43. Kevin Hiroshima
Town of Los Gatos

44. Camille Lesko
Los Gatos, California

45. Jeyendran Balakrishnan
Los Gatos, CA 95032

46. Erik Rubio,
Los Gatos, CA 95032

47. Wendy Arienzo
Town of Los Gatos

48. Shailaja
Venkatsubramanyan
Los Gatos, 95032

49. Ilene Dickinson
Los Gatos, Ca 95032

50. Reeta Gupta
Los Gatos, CA 95032

51. Rupar Iyar
Los Gatos, CA 95032

52.Danielle Hinsche,
Los Gatos CA 95032

57.John Parsons
Los Gatos, Ca 95032

62.Tim Evjenth
Los Gatos, CA 95032

53.Stuart Rovin
Los Gatos, CA 95032

58.Daniel Parsons
Los Gatos, Ca 95032

63.Gail Evjenth,
Los Gatos, CA 95032

54.Lynne Rovin
Los Gatos, CA 95032

59.Jackie Parsons
Los Gatos, Ca 95032

64.Lynette Garland
Los Gatos CA 95032

55.Tricia Niederauer
Los Gatos CA 95032

60.Stephen Wade
Los Gatos, Ca 95032

65.Robin Streicker
Los Gatos
Town of Los Gatos.

56.Liz Tompkins,
Los Gatos, CA 95032

61.Lucas Wade
Los Gatos, CA 95032

Cities with PB programs

In 2019 New York City's public schools adopted Meatless Mondays

<https://www.pcrm.org/news/blog/new-york-city-schools-adopt-meatless-mondays>

- Los Angeles, California is part of the C-40 cities and are doing this:
<https://www.40.org/other/good-food-cities> and here is a snapshot:
<https://www.c40.org/cities/los-angeles> and Climate/Food data
<https://www.c40.org/research>
- Carrboro, North Carolina is doing this: <https://townofcarrboro.org/262/Sustainability-Energy-Climate-Change> set a greenhouse gas emissions reduction goal for **consumption** at 50% by 2025
- Santa Monica, CA is doing this:
https://www.smgov.net/uploadedFiles/Departments/OSE/Climate/CAAP_SantaMonica.PDF
- Denver, CO is doing this:
<https://www.denvergov.org/content/dam/denvergov/Portals/771/documents/CH/Food%20Action%20Plan/DenverFoodActionPlan.pdf>. In Denver, lifecycle emissions from food procurement accounted for 14% of overall emissions, nearly equal to emissions from residential energy and gasoline-powered vehicles.

Cities with Green Monday Resolutions or Formal Programs

Emeryville, Berkeley, and Mountainview.

From: Lisa Wade
Sent: Tuesday, June 29, 2021 10:52 AM
To: Jennifer Armer
Subject: My speech for tonight

My name is Lisa Wade and I am a resident of the town of Los Gatos.

Tonight I am speaking on behalf of 65 residents of the town of Los Gatos. All 65 names have been sent to you with most addresses included. We expect this list to grow in the coming weeks.

We want to thank you for your hard work on the General Plan. We also want to thank you for adding the words plant-based to 6.13 healthy community and ENV 9.7 employer incentive program

At the last GPAC meeting, you mentioned that adding the words plant-based to these two sections would be a start and that you would do more.

Tonight I have a simple request that would make us very happy. We would like you to add a plant-based education program to the Environmental section specifically section 8.12 Implementation programs. If you were to add such a section tonight our mission will be accomplished. If this can not be accomplished tonight we ask that you at least add the words plant-based to the Climate Change Education Program in the Implementation Programs section of the Environment and Sustainability Element.

This request is not only supported by 65 residents of the town but it is also supported by local activist groups TWW Indivisible Los Gatos and Plant-Based Advocates of Los Gatos.

We are also supported by environmental, hunger relief, and public health organizations such as

A Well-Fed World <https://awellfedworld.org/> The Center for Biological Diversity <https://www.biologicaldiversity.org/> and , Physicians Against Red Meat pharm.org/

A United Nations Report of 2019 found that if more of the world's population shifts towards plant-based diets and reduces their meat consumption, it could significantly boost the planet's

ability to fight climate change.[How Eating Less Meat Could Help Protect the Planet From Climate Change](#)

The meat industry is not only responsible for environmental destruction, but it commits human rights violations on a daily basis. Slaughterhouse workers are usually people of color with few other options. They suffer high rates of PTSD and they work in dangerous, unsanitary conditions in fact in 2020 the League of United Latin American Citizens called for a meat boycott in 2020.<https://janeunchained.com/2020/05/14/workers-rights-group-launches-meat-boycott-to-protest-slaughterhouse-workers-deaths/>

Again we'd like to see a plant-based education program included in the General Plan and at the very least we ask that you please add the words plant-based to section 8.12 Implementation Programs. Since you were able to easily add the words plant-based to two sections at the last meeting. We feel this should be a doable goal for the committee tonight. Of course, we would love you to add a separate plant-based education program tonight, but if that needs to happen later in the Summer or Fall please at least add the words plant-based to section 8.12 Implementation Programs specifically CC Climate Change Education. We would be very grateful if you would make that change tonight.

Again thank you for your hard work and for the changes you have already made in support of our efforts.

From: Sandeep Madduri

Sent: Tuesday, June 29, 2021 11:57 AM

To: Jennifer Armer

Subject: Sustainability section of the 2040 General Plan - Plant-based education program

Hi Jennifer,

I am a resident of [REDACTED], Los Gatos, CA 95032 and wanted to let you know that I support including a plant-based education program in the sustainability section of the 2040 general plan.

Thank you,

Sandeep

From: Camille

Sent: Tuesday, June 29, 2021 2:40 PM

To: Jennifer Armer

Subject: Plant based education

Hello Jennifer,

I am a resident of Los Gatos, address [REDACTED]. I support including a plant-based education program in the Town's 2040 General Plan since I believe this will benefit the climate as well as the health of our residents.

BR, Camille Lesko

From: Phil Koen

Sent: Tuesday, July 6, 2021 7:55 AM

To: Matthew Hudes; Mary Badame; Maria Ristow; Rob Rennie; Marico Sayoc

Cc: Laurel Prevetti; Robert Schultz; Ramona Giwargis

Subject: Staedler: Opportunity Housing should be decided on by a vote of the people - San José Spotlight

I found this article to be very interesting and worthy of distribution. It raised this question for me:

Shouldn't the residents of LG have an opportunity to vote on the proposed land use changes in the draft General Plan 2040?

Phil Koen

<https://gcc02.safelinks.protection.outlook.com/?url=https%3A%2F%2Fsanjosespotlight.com%2Fstaedler-opportunity-housing-should-be-decided-on-by-a-vote-of-the-people%2F&data=04%7C01%7Cprevetti%40losgatosca.gov%7C72fb6b4761fc43ad025608d9408e0413%7C6d38cb6747eb4d139e7c523cd7cceed5%7C1%7C0%7C637611801429603679%7CUnknown%7CTWFpbGZsb3d8eyJWIjoiMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTiI6Ikk1haWwiLCJXVCi6Mn0%3D%7C2000&sdata=VIJKY5kYV%2FmslJ%2BYVCqDIqzAs2tHcGPtPK%2Fi8QY5GY%3D&reserved=0>

Sent from my iPhone

From: Laura Sneddon
Sent: Wednesday, July 7, 2021 7:22 AM
To: Jennifer Armer
Subject: Plant-based education program in 2040 General Plan

Hi Jennifer,

I'm writing to let you know as a Los Gatos resident, I support including a plant-based education program in the Sustainability section of Los Gatos' 2040 General Plan. I believe it's important to educate the town on how a plant based diet and lifestyle can help our health, environment, animal welfare, etc. Given the many benefits, I think such education has a rightful place in the upcoming general plan.

Thanks
~Laura Sneddon

From: Kyle Kelley
Sent: Thursday, July 15, 2021 11:05 AM
To: GP2040 <GP2040@losgatosca.gov>
Cc: Carolyn Kelley; [REDACTED]
Subject: Thank you

I just read <https://sanjosespotlight.com/this-silicon-valley-town-is-doubling-its-housing-residents-are-crying-foul/>.

Thank you for pushing for missing middle housing in Los Gatos. I've lived and worked in Los Gatos twice. My brother went to high school there. My kids went to Daves Elementary and we used to be regulars in town. Apparently, we were such regulars that we appear in promo pics for the library (this one was in Los Gatos Magazine):



We would love to come back. Los Gatos could be a great inclusive environment that welcomes more families. Please let me know if I can provide testimony at any point. I'm just over the hill in Santa Cruz now and I'm happy to dial in remotely or show up in person.

-- Kyle Kelley

Sent: Friday, July 16, 2021 3:51 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210716225120] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210716225120]

Name: Cathleen Bannon

Comments:

These incredibly high dense housing goals do not align with the infrastructure of our town. While rezoning unused commercial space to high density housing makes sense, the number should be in the hundreds NOT thousands. Our surface streets cannot handle the increased cars on beach traffic days, much less thousands more who live in town. Our highway can't handle the congestion either.

We need balance with a strong reality check of what our small town can really handle. Please listen to the residents who are already struggling with traffic issues. Thank you

Page title: [General Plan Basics](#)

From: Fred Faltersack
Sent: Monday, July 19, 2021 8:51 AM
To: Town Manager
Subject: 2040 General Plan

Laurel,

I just had the opportunity to read some articles regarding the 2040 General Plan and wanted to share with you a section of the town which I think has been an overlooked and may have the opportunity to assist in accomplishing the higher density and more affordable unit goals of the Town.

First and so that you do not start out on the defensive, I DO support the higher density goals shown in the 2040 General Plan. I support the many different variations of affordable dwelling units (ADU's) within the traditional single family neighborhoods. I support the individual rights of property owners. I am against others (individuals or governments) trying to dictate to a property owner what they can and cannot do on and with their own land. Oh, and I have been a resident of the Town of Los Gatos since 1986.

Now Based on where the 2040 General Plan is in it's life-cycle, this is probably a bit late in the game to bring this up, but hear me out. I noticed that the HR zoning has been left untouched with respect to higher density for "wild-life" reasons. That being said, there are fringe areas of the HR zones that are not really situated in the steep hillside areas. I will focus on the East Los Gatos area and more specifically in the Harwood Road area which consists of HR-40, HR-20 zoning and for the most part borders the City of San Jose with subdivisions having parcel sizes of 6,000-8,000 square feet (let's call these areas Hillside Residential "Fringe Areas"). There are many old ranch-style homes situated on 1/2 acre to 3 acre parcels of which the topography is flat or have insignificant slope. Re-zoning this area for higher density would create none of the parking or traffic issues that are of great concern with citizens along the higher density Highway 17 corridor, Highway 9, and downtown areas as there is ample room to design in off-street parking. I am sure there are other pockets of HR fringe areas within the Town that could also provide the same.

Please feel free to reach out to me if you believe it warrants further discussion, or a quick visual tour of the neighborhood.

Sincerely,

Fred Faltersack

Sent: Monday, July 19, 2021 10:29 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210719172912] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210719172912]

Name: Kent Kappen

Comments:

No increase in housing levels in the general plan!

We cannot sustain the level of units suggested by the State let alone the number of units the town wants!

With water, electric and school space shortages...Even before the North 40 comes online...We will face even more struggles to support these new "low-income residents" (114K is not low income by the way). Considering gridlock traffic during the summer, parking spaces taken away from the "parklets" and businesses shuttering for better lease options Los Gatos is becoming a less desirable destination. I have lived here for over 50 years and even teach at Blossom Hill School. Every day i see that the roadways cannot support the current level of traffic. That's the main reason why we had to open up the Police operations building right? PLEASE SHOW LIMITED OR NO GROWTH TO THE PLAN. WE JUST CANNOT SUPPORT IT!!!

Page title: [General Plan Basics](#)

Sent: Monday, July 19, 2021 11:15 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210719181450] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210719181450]

Name: Lynn Williams

Comments:

While I favor increased price diversity, I highly disagree with the plan for more housing than is required by the mandatory allocation. Our town is already suffers increased traffic, water, environmental and other issues due to the north 40 and other developments. At some point the quality of life in town will be so deteriorated that it will be unattractive to people moving to the area or upgrading.

Page title: [General Plan Basics](#)

Sent: Monday, July 19, 2021 11:21 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210719182102] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210719182102]

Name: Sondra Garcia

Comments:

As one who is from a Latino background, my family worked hard to afford the quality and character of Los Gatos. We strongly oppose this plan, which will DESTROY the character and quality of the neighborhoods, schools, and town we worked so hard to afford.

Page title: [General Plan Basics](#)

Sent: Monday, July 19, 2021 2:47 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210719214725] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210719214725]

Name: Tim Delaney

Comments:

Hello All,

I live off H17 by summit store. And I own a home in Incline Village NV. Just so you all know I am totally against increasing housing density and moving away from single family homes. I also have a home in SJ that has all sorts of affordable housing nearby. I'll be blunt. My SJ home is nice but the surrounding area is really horrible. Way too many people. Plenty of crime. It is a filthy mess sometimes. My mail is ripped off regularly. And police pretty much don't want to bother with the situation. Everywhere they attempt this high density housing nonsense it turns into a disaster. Tahoe is a very good example as well. The hordes of people and tourists have totally destroyed the east shore beaches of Tahoe. Fact is people only care about themselves. And in this era they don't even care about themselves.

You have a very nice town. Scrap the plan. Start over. Don't F up your town. It's fabulous. I am crystal clear on the matter.

Sincerely,
Tim Delaney

Page title: [General Plan Basics](#)

From: Michael Glow

Sent: Monday, July 19, 2021 6:39 PM

To: Laurel Prevetti; LosGatos, Weekly Times; Marico Sayoc; Rob Rennie; Robert Schultz

Subject: Shocked by stumbling on this news article regarding our little town, Los Gatos

The altruistic goals are commendable, but way too radical and detrimental to our schools, traffic, and our uncontrollable limits on natural resources, specifically water. This calls for civic involvement, civic activism, and pushback on Town Council members, and mainly on the Town Manager, Laurel Prevetti.

Please get involved. I got involved with the pushback on the hideous high density development we now see at the North 40 on Lark Avenue, across from the Classic Car Wash. It was a frustrating experience because the expended energy on the issue fell on deaf ears, and the development proceeded unaltered by citizen input.

It was obvious that we needed larger numbers, and the involvement of more of our high-profile citizens that may have exercised their political clout. Early involvement is essential, before things get too far down the road, and the invested interests get heard and entrenched. It may be premature, but a large public outcry for the resignation of Town Manager, Laurel Prevetti may be the best way of demonstrating that this time, the citizens of the Town are serious about their voices being heard.

<https://www.sfgate.com/news/bayarea/article/This-Silicon-Valley-Town-Is-Doubling-Its-Housing-16322529.php>

From: Aaron Eckhouse
Sent: Tuesday, July 20, 2021 12:11 PM
To: Planning <Planning@losgatosca.gov>
Subject: Planning Commission discussion of General Plan update

Hello,

I was excited to see coverage of proposed land use alternatives for the Los Gatos General Plan update that included missing middle housing & mixed use development of major corridors. Has the next Planning Commission discussion of the General Plan been scheduled? Also, what provision is there for remote participation in Planning Commission meetings?

thank you,

Aaron Eckhouse

Regional Policy Manager, California YIMBY

he/him/his

[REDACTED]

Sent: Wednesday, July 21, 2021 1:32 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210721203138] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210721203138]

Name: Lori Ingle

Comments:

Please ask for an exemption, like Saratoga did.

This is a radical change to long standing building policies in our community and will dramatically change LG as we know it! I would like to demand delay of acceptance of this proposed general plan to later in 2022, not November 2021, for full evaluation. Announcing the details of this plan publicly through SJ Spotlight in mid-July 2021 with a plan to have it accepted by November 2021 is unacceptable and unfair to the citizens of this town.

Page title: [Home](#)

Sent: Wednesday, July 21, 2021 3:15 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210721221517] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210721221517]

Name: Vivian Tan

Comments:

This is a radical change to our long standing building policies in our community and will dramatically change Los Gatos as we know it. I would highly request to deny the plan because our public resources will not be enough to sustain all the newly added living units. The traffic is already horrible and the public schools will not be able to handle all the new students. We need to have a detailed and reasonable plan to ask citizens who live in Los Gatos for approval. It is not fair to ask current Citizens to approve the plan in such a short notice. As a residents who just moved to Los Gatos, we are fond of living in our community because of it's current building policies. If this plan gets approved, it will dramatically change our living experience here, and might drive us away from living in such a beautiful town.

Page title: [Home](#)

Sent: Thursday, July 22, 2021 11:05 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210723060502] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210723060502]

Name: Charles Tripp

Comments:

High density housing? Is there water for that? I live on 1 & 1/4 acres near Lark, and to imagine 15 houses on my property, or one that size is horrible to think about. If I want high density housing like that, I'd move to Fremont, and brave all the traffic. I've lived in Los Gatos since 1961 because it's not high-density, it's peaceful and quiet. Now you want to ruin all that, reduce Los Gatos Blvd to 2 lanes, right when it will be overloaded from the N. 40? Makes a whole lot of sense. If someone were trying to destroy Los Gatos, I couldn't have even thought of something as dis-tasteful as this plan. Make Los Gatos crowded and with busy traffic like the North Bay? I think not. We need less housing, not more. There's no water for all this, anyway, and the traffic's already bad enough with the beach traffic.

Page title: [Home](#)

Sent: Saturday, July 24, 2021 5:02 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210725000155] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210725000155]

Name: Stephen Brodsky

Comments:

I saw this article about doubling the housing capacity: <https://www.ktvu.com/news/one-silicon-valley-town-plans-to-double-its-housing-capacity-but-residents-are-crying-foul>

Please do not add thousands of extra housing units into the town. We should be filing for the exceptions instead of adding thousands of units into the town. The residents of the town have been clear that this is the opposite of the wishes of the town residents.

Page title: [Home](#)

Sent: Saturday, July 24, 2021 7:33 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210725023254] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210725023254]

Name: Ross Liebman

Comments:

Please limit the amount of new housing to the state mandate. Increasing beyond this limit is not fair to the current residents of Los Gatos. Building high density buildings next to single family homes is not fair to those homeowners who were buying into the suburban lifestyle. Any increase in housing development above the state mandate should be put to a vote of the people. Also, as all other cities are appealing the state mandate it seems we should as well or risk being inundated with developers who care more about making a buck then the beauty of Los Gatos.

Page title: [Home](#)

From: Phil Koen

Sent: Sunday, July 25, 2021 10:19 PM

To: Matthew Hudes; Mary Badame; Rob Rennie; Marico Sayoc; Maria Ristow

Cc: Laurel Prevetti; Robert Schultz; Lee Fagot; jvannada; GP2040 <GP2040@losgatosca.gov>

Subject: RHNA

Dear Town Council,

Please find attached the RHNA appeal filed by the City of Saratoga on July 9, 2021. All of the points detailed by the City of Saratoga would form the basis for similar appeal by the Town.

Why didn't the Town appeal our RHNA allocation? Did the Town Council ever discuss the option to appeal the RHNA allocation? What was the basis for the decision not to appeal?

The residents of the Town deserve a detail explanation from the Town Council as to why the Town did not appeal given the incredible increase in allocation this cycle over the prior cycle.

Thank you.

Phil Koen

<https://www.saratoga.ca.us/DocumentCenter/View/2700/2021-City-of-Saratoga-RHNA-Appeal?bidId=>

Sent from my iPhone

REGIONAL HOUSING NEEDS ALLOCATION

Association of Bay Area Governments

2023-2031 Regional Housing Needs Assessment (RHNA) Appeal Request*Submit appeal requests and supporting documentation via DocuSign by 5:00 pm PST on July 9, 2021.****Late submissions will not be accepted.*** Send questions to rhna@bayareametro.govJurisdiction Whose Allocation is Being Appealed: City of SaratogaFiling Party: ☐ HCD ☒ Jurisdiction: City of SaratogaContact Name: Debbie Pedro Title: Community Development DirectorPhone: (408) 868-1231 Email: dpedro@saratoga.ca.us**APPEAL AUTHORIZED BY:**Name: Yan ZhaoSignature: Date: 7/8/2021**PLEASE SELECT BELOW:**

- ☒ Mayor
- ☐ Chair, County Board of Supervisors
- ☐ City Manager
- ☐ Chief Administrative Officer
- ☐ Other: _____

IDENTIFY ONE OR MORE BASES FOR APPEAL [Government Code Section 65584.5(b)]

- ☒ ABAG failed to adequately consider information submitted in the Local Jurisdiction Survey regarding RHNA Factors (Government Code Section 65584.04(e)) and Affirmatively Furthering Fair Housing (See Government Code Section 65584.04(b)(2) and 65584(d)(5)):
- ☒ Existing and projected jobs and housing relationship.
 - ☐ Sewer or water infrastructure constraints for additional development due to laws, regulatory actions, or decisions made by a provider other than the local jurisdiction.
 - ☒ Availability of land suitable for urban development or for conversion to residential use.
 - ☐ Lands protected from urban development under existing federal or state programs.
 - ☐ County policies to preserve prime agricultural land.
 - ☐ Distribution of household growth assumed for Plan Bay Area 2050.
 - ☐ County-city agreements to direct growth toward incorporated areas of county.
 - ☐ Loss of units contained in assisted housing developments.
 - ☐ Households paying more than 30% or 50% of their income in rent.
 - ☐ The rate of overcrowding.
 - ☐ Housing needs of farmworkers.
 - ☐ Housing needs generated by the presence of a university campus within a jurisdiction.
 - ☐ Housing needs of individuals and families experiencing homelessness.
 - ☐ Loss of units during a declared state of emergency from January 31, 2015 to February 5, 2020.
 - ☒ The region's greenhouse gas emissions targets to be met by Plan Bay Area 2050.
 - ☐ Affirmatively furthering fair housing.
- ☐ ABAG failed to determine the jurisdiction's Draft RHNA Allocation in accordance with the Final RHNA Methodology and in a manner that furthers, and does not undermine the RHNA Objectives (see Government Code Section 65584(d) for the RHNA Objectives).
- ☐ A significant and unforeseen change in circumstances has occurred in the local jurisdiction or jurisdictions that merits a revision of the information submitted in the Local Jurisdiction Survey (*appeals based on change of circumstance can only be made by the jurisdiction or jurisdictions where the change occurred*).

Pursuant to Government Code Section 65584.05, appeals shall be based upon comparable data available for all affected jurisdictions and accepted planning methodology, and supported by adequate documentation, and shall include a statement as to why the revision is necessary to further the intent of the objectives listed in Government Code Section 65584(d). An appeal shall be consistent with, and not to the detriment of, [the development pattern in the sustainable communities strategy \(Plan Bay Area 2050 Final Blueprint\)](#). (Click [here](#))

Number of units requested to be reduced or added to jurisdiction's Draft RHNA Allocation:

☒ Decrease Number of Units: 856 ☐ Increase Number of Units: _____

Brief description of appeal request and statement on why this revision is necessary to further the intent of the objectives listed in Government Code Section 65584(d) and how the revision is consistent with, and not to the detriment, of the development pattern in Plan Bay Area 2050. Please include supporting documentation for evidence as needed, and attach additional pages if you need more room.

The availability of land suitable for urban development or for conversion to residential use in Saratoga is limited due to wildfire risks. Approximately 50% of Saratoga is in the Wildland Urban Interface (WUI) area and at high risk for wildfires. For example, Saratoga's downtown business district has the highest concentration of multifamily and mixed-use housing in the City. However, this area of the City with the highest opportunity for multi-family and mixed-use housing, is in a Very High Fire Hazard Zone and Wildland Urban Interface area. The properties in the WUI and high fire risk areas should be considered highly constrained sites where new development is not appropriate because it would be irresponsible to plan more housing in areas with high fire risk.

Additionally, increasing the City's housing allocation by 389% over the fifth cycle RHNA is not consistent with the statutory objective to promote improved intraregional jobs-housing relationship and to help reduce greenhouse gas emissions by planning for housing growth near public transit facilities and the region's job centers. Saratoga has few commercial areas and is not in a Transit Rich Area (TRA) as there are no VTA bus stops within the City limits with peak service frequency of 15 minutes or less. The handful of VTA bus lines stops every 20 to 60 minutes and serves only a small part the City. Because the City is underserved by public transit, significantly increasing the number of housing units in areas where public transportation is not readily available will increase the community's greenhouse gas emissions which is inconsistent with the transportation and environmental strategies of Plan Bay Area 2050.

List of supporting documentation, by title and number of pages

1. Saratoga RHNA Appeal Letter July 7, 2021, 4 pages _____
2. _____
3. _____



The maximum file size is 25MB. To submit larger files, please contact rhna@bayareametro.gov.

Click here to
attach files



CITY OF SARATOGA

13777 FRUITVALE AVENUE • SARATOGA, CALIFORNIA 95070 • (408) 868-1200

COUNCIL MEMBERS:

Mary-Lynne Bernald

Kookie Fitzsimmons

Rishi Kumar

Tina Walia

Yan Zhao

Incorporated October 22, 1956

July 7, 2021

Therese McMillan
ABAG/MTC Executive Director
Bay Area Metro Center
375 Beale Street
San Francisco, CA 94105

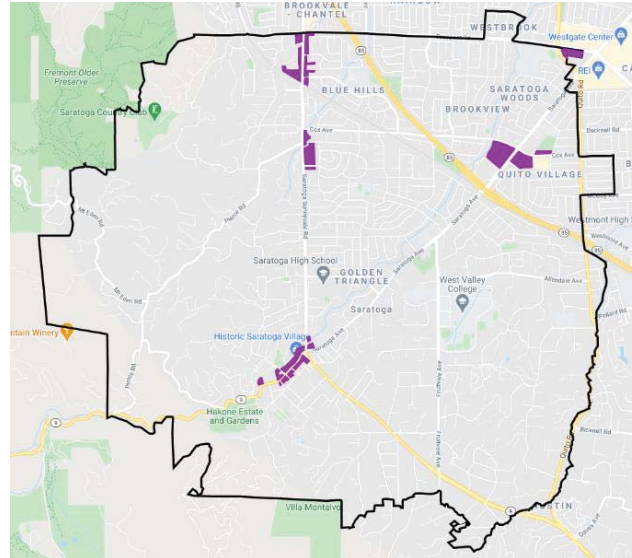
Subject: City of Saratoga Appeal of Draft 2023-2031 Regional Housing Needs Assessment Allocation

Dear Ms. McMillan,

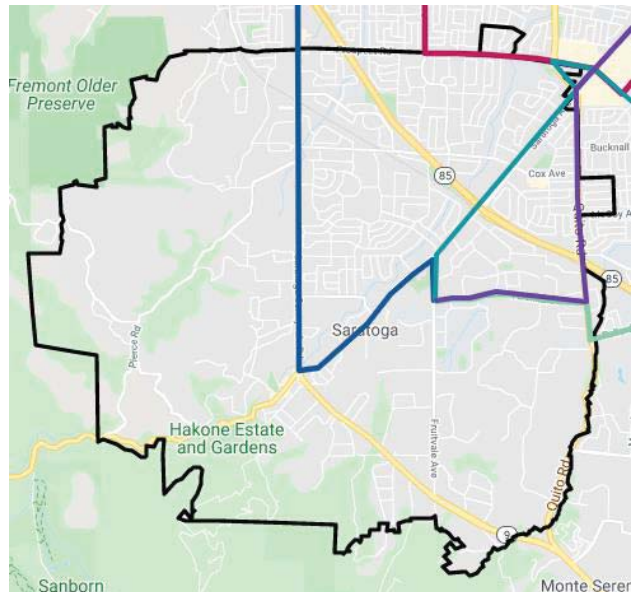
On behalf of the Saratoga City Council and the Saratoga community, the City of Saratoga hereby submits an appeal to the Association of Bay Area Governments (ABAG) of the Draft 2023-2031 Regional Housing Needs Assessment (RHNA) Allocation. The City of Saratoga is appealing on the grounds the ABAG failed to adequately consider information submitted in the Local Jurisdiction Survey regarding RHNA Factors, including existing and projected jobs and housing relationship, availability of land suitable for urban development or for conversion to residential use; and the region's greenhouse gas emissions targets to be met by Plan Bay Area 2050. Furthermore, we request a 50% reduction in the City of Saratoga RHNA from 1,712 new housing units to 856 new units.

RHNA	Total	Very Low Income	Low Income	Moderate Income	Above Moderate
Draft	1,712	454	261	278	719
Proposed	856	227	131	139	360

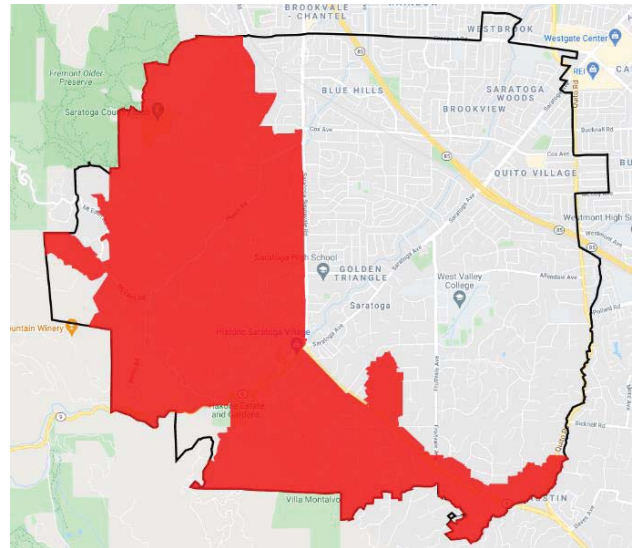
Nearly all of Saratoga land has been devoted to residential housing. Saratoga's commercial space is already extremely limited, especially after 80,000 square feet of retail and office space was lost to a Senate Bill 35 project. The parcels in purple on the adjacent map represent commercial properties in the City that provide services and jobs to the community and represent areas for future mixed use higher density housing in the City of Saratoga. The City is being forced to consider reducing the limited commercial job producing development that it has to accommodate the new housing required by the State, leading to longer commutes and personal trips for current and future residents. This directly conflicts with the [RHNA Methodology](#) objective to reduce greenhouse gas emissions.



The City of Saratoga is also incorrectly identified as being in a Transit-Rich Area (TRA), which would include cities with a bus stop with peak service frequency of 15 minutes or less. Currently, there are no bus routes within City limits with peak service frequency of 15 minutes or less. As you can see on the map displaying bus routes in Saratoga, public transportation options in Saratoga consist of only 5 bus lines that serve only a small part of the City. These routes offer varying service on weekdays, ranging from every 20 to 60 minutes. Clearly, Saratoga is far from any reasonable interpretation of Transit-Rich. With hardly any public transportation options in Saratoga, this forces residents into their cars, and that ultimately increases emissions and traffic. This is counterproductive to the City's and ABAG's efforts thus far and future goals to reduce greenhouse gas emissions.



Roughly half of Saratoga is in the Wildland Urban Interface area and at high or very high risk for wildfires. The area in red on the map below shows the Wildland Urban Interface area in the City of Saratoga. Saratoga's downtown business district, a location most cities plan for higher density mixed use housing, is in a Very High Fire Hazard Zone and Wildland Urban Interface area. Last year, the CZU August Lightning Complex burned nearly 87,000 acres of land and destroyed 7,000 buildings in the Santa Cruz Mountains just outside Santa Clara County and the City of Saratoga. Many roads in Saratoga are narrow and winding, serving as the only entry and exit point for hillside neighborhoods. The Plan Bay Area 2050 Draft Environmental Impact Report, which helps shape the RHNA Allocation process, acknowledges that an increase in housing units in the San Francisco Bay Area will intensify the risk of wildland fires and mitigation measures, such as educating the public and enforcing defensible space requirements, will not minimize this threat. The significant increase in the City of Saratoga RHNA Allocation and State legislative penalties for failing to reach RHNA targets incentivize increasing housing development in areas like Wildland Urban Interface area that simply cannot sustain increased housing density. Conversely, planning for the addition of more than 1,700 new homes in other sections of Saratoga that are outside of the Wildland Urban Interface is simply impractical and unrealistic given the financial realities of residential construction.



Further compounding this issue, Santa Clara Valley Water recently declared a water shortage emergency and instituted a mandatory 15% reduction in water use compared to 2019. Vegetation in our fire risk areas is extraordinarily dry and many of us fear what this and future fire seasons will look like, as it has become clear that drought conditions may be the new normal. As [reported](#) in the *San Jose Mercury News*, a recent study of this year's runoff from the Sierra Mountains indicates that due to climate change, past hydrology models are no longer reliable. Santa Clara County is also extremely sensitive to drought conditions locally as well as elsewhere in the State. Approximately 50% of Santa Clara County's water supply comes from outside the County. The Draft EIR for Plan Bay Area 2050 states that even after mitigation measures are implemented, water supplies will be insufficient to support the Bay Area's projected population increases. It is clear that Saratoga simply cannot accommodate an increased demand for water that would result from the addition of more than 1,700 new homes.

The proposed RHNA Allocation places an undue burden on the City of Saratoga with our limited commercial services, job base, access to public transportation, and over half

of the City is in a Moderate to Very High Fire Severity Zones. For these reasons, we urge you to reduce the City of Saratoga 2023-2031 RHNA Allocation from 1,712 to 856 new units. This proposal from the City of Saratoga represents a far more realistic and feasible target.

Sincerely,

A handwritten signature in blue ink, appearing to be 'Yan Zhao', written over the printed name.

Yan Zhao, Mayor
City of Saratoga



July 27, 2021

Jennifer Armer, AICP, Senior Planner
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Re: Draft 2040 General Plan

Dear Ms. Armer,

On behalf of the Midpeninsula Regional Open Space District (Midpen), we respectfully submit the following comments regarding the draft version of the Los Gatos 2040 General Plan Update (2040 General Plan Update or Project). Midpen is pleased to see the Los Gatos 2040 General Plan Update identified protecting natural resources, open space preserves, recreational trails, surrounding hillsides and waterways as one of the document's guiding principles.

Midpen owns and manages nearly 65,000 acres of open space land in the Santa Cruz Mountains region. Our mission is:

To acquire and preserve a regional greenbelt of open space land in perpetuity; protect and restore the natural environment; and provide opportunities for ecologically sensitive public enjoyment and education.

Midpen's 26 Open Space Preserves include redwood, oak, and fir forests, chaparral-covered hillsides, riparian corridors, grasslands, coastal terraces along the Pacific Ocean, and wetlands along the San Francisco Bay. Ranging from 55 to over 18,000 acres, 24 of the 26 preserves are open to the public free of charge, 365 days a year.

Midpen owns and manages three preserves adjacent to the town of Los Gatos: El Sereno, St. Joseph's Hill, and Sierra Azul Open Space Preserves. The St. Joseph's Hill and Sierra Azul Open Space Preserves are particularly significant recreation sites, with extensive trails available for public use. Given that St. Joseph's Hill and Sierra Azul Open Space Preserves are within the town limits and in close proximity to the Opportunity Areas identified in the 2040 General Plan Update, Midpen would like to share the following suggestions for the draft general plan.

Midpen is currently planning and developing wildlife and regional trail crossings of Highway 17 in the Town of Los Gatos Planning Area north of Lexington Reservoir. The regional trail crossing and its associated 6 to 9 miles of connecting trails includes connections to the Town managed Los Gatos Creek Trail and Novitiate Park, as well as Midpen's trail systems in El Sereno, St. Joseph's Hill, and Sierra Azul Preserves. This project represents a significant increase in regional trail connectivity in and adjacent to the Town Planning Area, including a critical link for approximately 50 miles of existing Bay Area Ridge Trail and approximately 22 miles of the Juan Bautista de Anza National Historic Trail. Consistent with General Plan Policy MOB-3.8, this project provides regional trail



connections identified in the Santa Clara Countywide Trails Master Plan that will be a significant benefit to Town residents. In accordance with Goal LU-21, Midpen looks forward to greater coordination with the Town of Los Gatos as a project stakeholder and partner and will continue to engage the Town on relevant project developments. Additional information can be found on the project website at <https://www.openspace.org/our-work/projects/wildlife-crossing>.

Midpen staff reviewed the draft Los Gatos 2040 General Plan Update and would like to share the following suggestions.

Section LU-3.2

Reducing Project Impacts

Projects shall be evaluated and the Town shall apply appropriate mitigation measures and/or conditions of approval to reduce impacts on urban services and wildfire risk, including utilities, police, and fire.

Consider including a statement reducing project impacts on the environment.

Section LU-20.1

Community Input

The Town shall facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout development review and the public review process.

Suggest adding “other local governments,” after “all residents.”

“The Town shall facilitate opportunities for all residents, other local governments, and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout development review and the public review process.”

Section 3.10, LU-21 and LU-21.1

3.10 Interagency Coordination

Many local, regional, State, and Federal agencies have land use planning, permitting or development review authority in the Los Gatos Planning Area and surrounding region. Coordination among agencies ensures regulatory compliance, increases efficiency for development projects, and eliminates redundancies among agencies. The following goal and policies will provide guidance on interagency coordination.

LU-21

Enhance interagency coordination to achieve mutually beneficial land use development and conservation.

LU-21.1 Regional Planning

Continue and expand Town participation in planning processes in neighboring jurisdictions, Santa Clara County, and regional agencies and organizations to develop innovative, effective, and



coordinated land use, transportation, and hillside development plans and standards.

Consider including a statement on how the Town will engage and coordinate with public agency stakeholders, such as Midpen, in Town planning and policy projects that may impact the lands or responsibilities of those local agencies.

Section CD-2.12

Street Trees in New Development

If feasible, require street trees to be installed for all new developments, to enhance neighborhood character and identity and to maximize shade coverage when mature.

Consider including a requirement for native, non-invasive or non-fire-prone street tree species.

Section CD-2.30

Street and Structure Lighting

Require street and structure lighting to minimize its visual, health, and ecological impacts by preventing glare, limiting the amount of light that falls on neighboring properties, and avoiding light pollution of the night sky.

Consider including the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference section ENC-7.11.

The following link provides additional information on the Illuminating Engineering Society of North America Model Lighting Ordinance. <https://www.darksky.org/our-work/lighting/public-policy/mlo/>

Section CD-2.40

Landscaped Gateways

Ensure that public improvements and private development provide landscaped Town gateways that create visual connections between the natural hillsides and open space areas and the community of Los Gatos.

Consider including a requirement for native, non-invasive or non-fire-prone plant species.

Section CD-5

Preserve the natural beauty and ecological integrity of the Santa Cruz Mountains and surrounding hillsides.

Under section CD-5 Preserve the natural beauty and ecological integrity of the Santa Cruz Mountains and surrounding hillsides, consider adding:

CD-5.6 Preserve Sensitive Natural Communities.



Sensitive natural communities are communities that are of limited distribution statewide or within a county or region and are often vulnerable to environmental effects of projects. These communities may or may not contain special status plants or their habitat.

Section CD-6.5

Lighting Design in Hillside Areas

Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity.

Consider including the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference ENC-7.11

The following link provides additional information on the Illuminating Engineering Society of North America Model Lighting Ordinance. <https://www.darksky.org/our-work/lighting/public-policy/mlo/>

Section CD-9.9

Landscaping

To soften the appearance of hardscape, incorporate landscaped medians using drought tolerant plants, landscape buffers, and street trees.

Consider including a requirement for native, non-invasive or non-fire-prone plant species.

Section PFS-5

Conserve landfill space.

Consider including composting, green waste and chipping programs.

Section OSPR-2.1

Hillside Natural Open Space Character

Preserve the natural open space character of hillside lands, including natural topography, natural vegetation, wildlife habitats and migration corridors, and viewsheds.

Suggest changing the word “natural” vegetation to “native” vegetation.

“Preserve the natural open space character of hillside lands, including natural topography, native vegetation, wildlife habitats and migration corridors, and viewsheds.”

Key Terms Section

Ecosystem. A community or group of living organisms that live in and interact with each other in a specific environment.

Suggest adding the word “physical” after “specific”



“Ecosystem. A community or group of living organisms that live in and interact with each other in a specific physical environment.”

Section ENV-2.3

Landscape Design

Continue to update landscape design guidelines for development consistent with Biological Resources goals and policies. Landscape design should promote the implementation of native species, drought tolerant species, and fire-wise plants and designs, including in hillside areas and future planning areas.

Consider updating to “Santa Cruz Mountain” species or “locally” native species. Similar to section ENV 5.1.

Section ENV-5.2

Special Status Native Plant Species Protection

Require public and private projects to protect special-status native plant species.

Consider adding “sensitive natural communities”. The California Department of Fish and Wildlife website provides additional information on sensitive natural communities.

<https://wildlife.ca.gov/Data/VegCAMP/Natural-Communities#environmental%20review>

Section ENV-7.6

Minimize Use of Herbicides and Pesticides

Consider changing to “utilizing herbicides and pesticides as one tool within a comprehensive integrated pest management framework” and adding “Integrated Pest Management (IPM)” to the list of key terms.

Section ENV-8

Improve the air quality in Los Gatos.

Consider trade-offs between reduced carbon sequestration from reduced fuel load and emissions from prescribed fires that establish ecological resiliency in the face of wildfire, given the overwhelming benefits of reduced risks of catastrophic wildland fire on climate change.

Section ENV-10

Become a zero-waste Town through encouraging sustainable procurement, extended producer responsibility, and innovative strategies.

Consider including composting, green waste and chipping programs.

Section ENV-19.1

Noise-sensitive Developments

Require all new noise-sensitive developments to provide a noise study prepared by a licensed



acoustician with recommendations for reducing noise impacts to the maximum allowed level in the Noise Ordinance.

Projects with proposed sound- or noise-generating uses near open space should undergo a noise level study to ensure there will be no negative impacts to wildlife or visitors. Figure 8-6 Land Use Noise Compatibility Criteria show normal acceptable sounds from 55- 75 dB Ldn depending on the land use category. Rural or open space areas exposed to 55 dB Ldn noise levels may be more affected by these levels than an urban area where sounds are often masked by the typically higher level of background noise associated with an urban area. The perception of noise increases when the background noise is muted or nonexistent such as in a preserve. An example of a use that could cause noise impacts include amplified music from an event venue.

Section 9.2

Urban and Wildland Fire Hazards

Consider explaining that according to CALFIRE, 95% of all fires are caused by people (e.g., arson, escaped debris burns, and equipment use) and this is why “Fires that occur along the wildland-urban interface (WUI) are much more of a hazard...”

It is also important to note that a high fire hazard severity zone does not describe the risk of a fire start, but rather describes potential impacts to natural ecosystems, known as fire severity.

Additionally, due to the current need for remote work during the COVID-19 pandemic, Midpen requests to be kept informed of this project’s status via email. Updates can be sent to the two following staff: Jane Mark, Planning Manager, at jmark@openspace.org and Melissa Borgesi, Planner I, at mborgesi@openspace.org.

We appreciate the opportunity to comment and participate in any further planning processes. Should you have any questions about this letter, please contact me at jmark@openspace.org or at (650) 691-1200.

Sincerely,

Jane Mark, AICP
Planning Manager

CC: Ana Ruiz, AICP, General Manager, Midpeninsula Regional Open Space District
Susanna Chan, Assistant General Manager, Midpeninsula Regional Open Space District
Alice Kaufman, Legislative Advocacy Director, Green Foothills

Sent: Tuesday, July 27, 2021 4:45 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210727234526] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210727234526]

Name: Scott Weinstein

Comments:

This plan is rather poorly conceived. The water and electricity needs of this community are not being served today. How will adding so many units - with updated state requirements for all electric kitchens - help reduce the load on the electric grid? Given that there is a constant need to reduce electricity between 5pm and 10pm - how will such dwellings be able to actually cook dinner? Why does the committee think it's a good idea to entreat more people into an area that can't support its current residents? Please revert with a sustainable and workable plan that doesn't punish the current residents. Also, please ensure that "affordable" housing is offered to teachers and municipal workers as opposed to the progeny of wealthy people who qualify based upon "low income" even if they have substantial assets.

Page title: [Home](#)

Sent: Tuesday, July 27, 2021 5:21 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210728002033] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210728002033]

Name: Mark Brine

Comments:

The North part of Los Gatos has at least 254 housing units going in to the first half of the North Forty. The 2nd half of the North forty will be another dense addition of housing. The rest of Los Gatos is not contributing to dense housing. A small project on main/college was cancelled, a project on Blossom Hill is now a memory care facility. I do not want faster density growth in my neighborhood. North Los Gatos has stepped up. Stop the Density growth in North Los Gatos. Lark Avenue is congested, there is no transit and we need to drive to commerce. No housing density increases please.

Page title: [General](#)

From: Alexandra Sung
Sent: Thursday, July 29, 2021 10:12 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Concern with 2040 General Plan

Hello,

I am writing to express my concern with the draft Los Gatos 2040 General Plan and EIR. While I support smart development, particularly development that enables more people of varied backgrounds and income levels to enjoy living in Los Gatos, I fear that the plan is not realistic in terms of traffic impacts and wildfire safety. Already our streets face considerable traffic during busy times, and with population growth, traffic will become a nightmare.

With regard to the notion that more people will bike / walk / take a bus around town, could the Town conduct a survey of residents to see whether the interest for these modes of transportation truly exists? If people have little interest in these alternatives, then the Town should build out the infrastructure to support how people desire to move around. With electric vehicles becoming more and more common, the argument that cars are far worse for the environment weakens. I grew up in Portland, OR. I recall a couple decades ago Portland also wanted to “go green” with transportation. They built out the light rail and diverted funds away from highways and roads. Now, those modes of transportation are underutilized, and traffic is a nightmare. I fear Los Gatos is headed in the same direction.

Lastly, imagine all of Los Gatos wanted to leave town at the same time right now. What do you think Los Gatos Blvd or University Ave or Hwy 9 would look like? Now, add in the proposed growth. Let’s say the reason everyone wanted to leave town was because a wildfire broke out dangerously close to the city with oppressive smoke and real risk of harm. Do you think people will hop on their bicycles to evacuate or wait for the bus to take them out of town? No. Everyone is taking a car and splitting up and taking both family cars if they can. Will our proposed infrastructure be able to handle such an event when life or death is at stake? We all know what happened in Paradise. Please do not allow the same thing happen here.

Regards,

Alexandra Sung

From: Jeff Sung
Sent: Thursday, July 29, 2021 10:43 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Comments on the 2040 plan

Dear Committee Members,

Thank you for soliciting input regarding the 2040 general plan. While I agree that gradual growth, accounting for state mandates and expected population increases is important, I believe that the proposed 2040 General Plan is too ambitious and should be revised to a lower target that meets the aforementioned needs, but does not impose unnecessary risks and hardships to the Los Gatos population.

Chief among my concerns is safety. With climate change and drought, the risk of fires in the Los Gatos area is accelerating. Not long ago, 85 people from Paradise, CA died as a result of the Camp Fire. One of the terrifying factors that contributed to the fatalities was the terrible traffic that people faced as they tried to flee the fire. People talked about burning to death in parking lots of traffic. The 2040 GP aspires that traffic will not be an issue by banking on people walking and bicycling. In the event of a fire, I'm going to pray that I can get my family into the car and drive them to safety. Thousands of other residents will be trying to do the same. We have learned that every small increase in cars on the road can lead to large increases in traffic. Increasing the population to the extent described in the plan without fixing traffic issues and expanding major roadways for cars will have deadly consequences in the event of a fire, and the General Plan has a responsibility to the residents of Los Gatos to be realistic and account for these rising risks.

On the subject of traffic, I think that while the idea of having people walk and bicycle throughout the town is idyllic, the reality for a small town like Los Gatos is that the majority of residents probably work in a different part of the Bay Area and need to drive to work. More cars on the road going to and from work due to the ambitious housing targets will lead to more congested streets which will make it difficult on those businesses that are in town (thinking of the well publicized effects of beach traffic on those businesses), increase pollutants/greenhouse gases, while those cars sit idling, and add an unnecessary hardship to the residents of the town.

Finally, I think the other largest issue is schools. I understand that the committee does not have planning authority for the schools. However, the committee needs to take schools into consideration and plan in conjunction with the school districts. North 40 is not finished yet, and the impacts of the development on the schools has not been seen, yet it seems clear that Los Gatos needs additional schools. Without the Town and School Districts working together to set aside land and money to build

school buildings to accommodate the additional residents, the schools and most importantly, the children, will suffer.

In conclusion, I urge you to reconsider the 2040 GP, and make changes to account for these important issues. We the people of Los Gatos are depending on you to be realistic and prudent in your planning and decisions.

Thank you for your time and service.

Sincerely,

Jeff Sung

On Jul 30, 2021, at 9:42 AM, Fred Faltersack wrote:

Town council Members,

Periodically I'll read an article on the 2040 General Plan and I stop long enough to put in my 2 cents. This is one of those moments having just read the latest on [Patch.com](https://patch.com). There are defiantly two very strong opinions by residents both for and against growth. I tend to be more middle of the road but leaning towards the pro-development side. I feel that if Los Gatos had been supporting a moderate to medium growth position over the past 30 years, then there would not be the need to pack so much growth into the next 20 years...So YES, we need to now address it.

By way of this email, I am reaching out to you to share my opinion on portions within the Towns borders which I think have been overlooked and may have the opportunity to assist in accomplishing the higher density requirements and provide more affordable housing in Los Gatos.

First, I DO support the higher density goals shown in the 2040 General Plan. I support the many different variations of affordable dwelling units (ADU's) within the traditional single family neighborhoods. I support ADU's in the HR Zoned areas. I support the individual rights of property owners. I am against others (individuals or governments) trying to dictate to a property owner what they can and cannot do on and with their own land. Oh, and I have been a resident of the Town of Los Gatos since 1986.

Now Based on where the 2040 General Plan is in it's forward progress, this is probably a bit late in the game to bring this up, but hear me out. I noticed that the HR zoning has been left untouched with respect to higher density for "wild-life" reasons. That being said, there are fringe areas of the HR zones that are not really situated in the steep hillside and largely open areas. I will focus on the East Los Gatos area and more specifically in the Harwood Road area (where I've lived the past 35 years) which consists of HR-40, HR-20 zoning and borders the City of San Jose with subdivisions having parcel sizes of 6,000-8,000 square feet (let's call these areas Hillside Residential "Fringe Areas"). There are many old ranch-style homes situated on 1/2 acre to 3 acre parcels of which the topography is flat or have insignificant slope. Re-zoning this area for higher density would create none of the parking or traffic issues that are of great concern with citizens along the higher density Highway 17 corridor, Highway 9, and downtown areas as there is ample room to design-in off-street parking. Plus let's not forget, people don't get politically charged over the goings-on of EAST Los Gatos! I am sure there are other pockets of HR fringe areas within the Town that could also provide the same.

Please feel free to reach out to me if you believe it warrants further discussion and be sure to take a quick visual tour along the Harwood Road neighborhood some day.

Sincerely,

Fred Faltersack

From: Jeff Sung
Sent: Saturday, July 31, 2021 1:28 PM
To: Marico Sayoc
Cc: Laurel Prevetti; Joel Paulson; Jennifer Armer
Subject: Re: General Plan Comments

Thank you for your prompt reply Mayor Sayoc.

I have read the environmental impact report available on the website, and the impacts on the environment and traffic will certainly be significant. I am glad that the Planning Commission will be holding hearings. However, attending these hearings is not necessarily easy with the responsibilities that many of us have with work and busy families.

If I could suggest one more thing, I would ask that the town leadership consider polling the residents to Los Gatos regarding priorities to consider in development to make sure that the priorities of our leaders are in line with the people they serve.

Respectfully,

Jeff Sung

From: Margaret Yu
Sent: Monday, August 2, 2021 6:12 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Los Gatos General Plan 2040

Hello,

I have been a Los Gatos resident since 2015. I moved to this city specifically for its smaller size, community feel, and family friendly environment. After moving, I was surprised to discover that Los Gatos suffers from disproportionately heavy traffic (particularly in the summertime), limited parking (I have spent >45 minutes trying to find a parking spot downtown Los Gatos), and outdated infrastructure (we are <1 mile from the Los Gatos High school and have limited options for internet and water). I am highly supportive of building additional housing but it must be balanced by a plan to address the increased traffic, parking, utilities, and demand for public resources (schools, fire safety, etc). The current LG General Plan 2040 will overdevelop Los Gatos in a short time frame without adequately addressing the impacts to other aspects of our community. I do NOT support the plan in its current form and have yet to meet anybody who does

Please do NOT move forward with the current LG General Plan.

Sincerely,

Dr. Margaret Yu, MD

Los Gatos resident since 2015

On Aug 2, 2021, at 11:04 PM, Kathy Anderson wrote:

As a resident of Los Gatos since 1955, I have seen changes in our town. Most Councils adopted General Plans that provided some growth but had safe guards to prevent developments that would be detrimental to our town. Safe guards that would allow citizens to question and prevent developers from having a free hand to develop projects that did not align with our town.

The new General Plan has not only increased the size of possible new residences without considering water, traffic, and other issues- it has removed the safe guards that allow citizens to object to most developments - height, density, etc.

Please review this Plan with all the changes carefully. Please allow citizens to have input. Most citizens are just now learning of the changes that will drastically change Los Gatos. Please do not rush to pass .

When reviewing what the Plan would allow think is it something that you would want next door to you.

Would you want your neighbor's single family home removed and a 4 plex built.

Your decision will determine what will become of Los Gatos.

Kathy Anderson

On Aug 3, 2021, at 7:11 PM, Kathleen Barry wrote:

Dear Mayor and Council Members,

I am disappointed and sad as I review the General Plan. I was born and raised here. I grew up across from an orchard in much simpler times. We played in the orchard and our parent's would yell out to us to come home for dinner. Eventually, that orchard went away and multiple homes were built.

I am saddened to think about what the General Plan could bring to our lovely, little "town". I would like to believe most of us live here because of the town and it's charm. However, sadly, the charm is changing and if we don't stop to analyze now what we want and what we envision, it won't be our charming little "Tree Town" any longer.

Where I realize there has to be some growth, I think there needs to be a much deeper thought process without rushing into a decision. I think the citizens who live here need to be involved and be able to participate. These items should be explained so the general population is able to read and understand the consequences.

If you take for example the North 40. It's not even built and traffic is a disaster. I can vouch for that the multiple days a week I drive down Los Gatos Boulevard to work. I tried to pull out of Lark Avenue Car Wash yesterday and narrowly missed being hit. The traffic flow there is insane. Not to mention, turning left onto Lark from Los Gatos Boulevard, it seems the majority of people can't figure out how to stay in their lane since they have been changed.

I believe there should be much more consideration to the following to start:

- Water shortage...where are we going to get it?
- Energy crisis-conservation?
- Infrastructure
- Schools
- Density
- Poor air quality with more people
- Parking
- Quality of life

It seems as if the General Plan would like to turn us into a "city". We are not a city, but, a town, smaller. Charming. With virtually no land left to develop. How on earth does anyone think this will work in the long term? You already can't get around town on a the weekends with beach traffic. How do we support our local business that are in need of our business? What if there is a fire or emergency? How do people get out when the roads are already clogged?

This is just a brief snippet of thoughts I have on the initial plan. I will be following closely to see if our elected officials are listening to our residents.

Sincerely,

Kathleen Barry

From: Cynthia Ptacek
Sent: Wednesday, August 4, 2021 6:21:18 PM
To: Mary Badame
Subject: General Plan 2040 - please amend

Dear Ms. Badame,

The draft of the General Plan 2040 for the next 20 years is frightening! I'm not sure why the town of Los Gatos didn't push back on the number of houses the state wanted us to fit into our little town, but we should have pushed back. The 3,378 new homes and the ability to build a duplex or a fourplex in what is a one-house lot are completely unacceptable. Our town cannot handle the water and traffic needs of that many additional houses.

If people want to live in high-density housing then they can live in the North 40 or in another town like San Jose. We did not buy a house here to live in an overcrowded town. And speaking of the North 40, that end of Los Gatos is a nightmare! The traffic is already horrific and no one is living in those buildings yet. Please do not do more damage to our town than already done by allowing the North 40.

Please do not allow the developers to ruin our cute town by building it up and crowding it so they can go live in Saratoga where they don't have this happening (because that town asked for a variance). The 1900 houses that the state wants us to build are too many. Push back! Considering the fire risks, the traffic on 17 and Los Gatos Boulevard, we are at capacity now. We have a diverse town, lots of people come here for the weekend to shop and eat at our restaurants, let's keep it desirable.

Sincerely,

Cynthia Ptacek

Sent: Friday, August 6, 2021 4:48 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210806234746] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210806234746]

Name: kay maurer

Comments:

To continue on a path of adding more residences when the town is already crammed with cars and people is something I cannot understand. What about quality of life for those who do live here. Why would we want to plan for more units than required by state law. It makes no sense at all. Until the town can move electrical wires underground to prevent fires, and find a solution to weekend traffic, no further housing should be considered. You will ruin the small town feel in a misled path to be inclusive.

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From: Phil Koen
Sent: Monday, August 9, 2021 12:57 PM
To: Laurel Prevetti; Arn Andrews
Cc: Matthew Hudes; Rob Rennie; Maria Ristow; Mary Badame; Marico Sayoc
Subject: Marketing hype vs factual update

Dear Laurel,

I just saw this notice on Nextdoor and immediately read the “newsletter” which was suppose to discuss “key proposed changes in this General Plan Update”. Boy, was I sadly disappointed.

Let me remind everyone that the residents were initial told at the kickoff of the general plan update process the Council was happy with the existing General Plan 2020 and that the update would be “fine tuning”. This clearly is not even remotely the case.

Given the magnitude of the changes being proposed, and the initial positioning of the update, the Town has a very real obligation obligation to be forthcoming about all of the changes being proposed, in a factual, non-spin manner. It is called the duty to adequately inform.

This newsletter was extremely disappointing in-tone and substance. It was a marketing piece and not a thoughtful discussion of the “key changes”.

Where was the discussion of why the draft general plan allows for a maximum possible buildout of 3,738 units, which exceeds the RHNA requirement (1,993) by 88%? Why is 3,738 units the correct number and 1,993 the wrong number? How many other cities in Santa Clara County are proposing 88% more housing than their RHNA requirement? Please name them.

Where was the detail discussion of the impact on residential zoning densities and intensity as a result of this increase in housing? Why is this good policy and is it consistent with the objective of retaining the Town’s unique character?

Where was the disclosure of how many of the 3,738 additional units would truly be “affordable” (i.e BMP vs MP) housing?

Where was the discussion if the “missing middle” was built, what is the estimated MP for the smaller units being planned? Would these really be “affordable” (I.e spending 30% or less on housing) for a family of 4 making 100% of current AMI? How do we know the “missing middle” strategy will be successful?

Where was a land use map which showed the land uses as is vs. proposed changes so the public could easily understand the location and magnitude of the proposed changes?

I'll stop here because you get the point. Please put forth a newsletter that fairly describes what is in the draft General Plan 2040 so residents can easily grasp what is being proposed. As Walter Cronkite said - "hold up the mirror and tell and show the public what has happened".

I am asking every Council Member to pledge that the Town will publish in plain English, a comprehensive and accurate analysis of the changes proposed in the draft General Plan 2040 so the residents are adequately informed and can participate in the process. It is impossible to participate if you aren't aware and knowledgeable. The residents of this Town deserve nothing less.

Respectfully,

Phil Koen

Sent: Thursday, August 12, 2021 8:53 AM
To: Jennifer Armer
Cc: Council; Chris & Lisa Wade
Subject: Promoting plant-based foods in Los Gatos

Dear Jennifer,

This is to let you know how appreciative I and many of our fellow citizens are for the steps that the town has taken to encourage the adoption of plant based foods. I understand that the town is considering including a plant-based education program in the 2040 General plan to support the promotion of meat and dairy reduction. I would like to add my support to this proposal as an important step forward in promoting this important goal.

I have personally been involved in a program that will use technology to protect rhinos from poaching and certain extinction if the situation is not addressed. A major issue in achieving our goal as well as protecting multiple other threatened species is the encroachment of land on wilderness areas by cattle and other ranching activities. The only solution is to reduce or eliminate meat consumption and every small step helps.

We have been residents of Los Gatos for 35 years and our address is:

Los Gatos, CA 95032-1116

Sincerely,

Antony G White

Sent: Thursday, August 12, 2021 8:56 AM
To: Jennifer Armer
Cc: Council; Chris & Lisa Wade
Subject: Promoting plant-based foods in Los Gatos

Dear Jennifer,

I understand that the town is considering including a plant-based education program in the 2040 General plan to support the promotion of meat and dairy reduction. I would like to add my support to this proposal as an important step forward in promoting this worthy goal.

We have been residents of Los Gatos for 35 years and our address is:

Los Gatos, CA 95032-1116

Sincerely,

Hilary B White

From: Shailaja Venkatsubramanyan
Sent: Thursday, August 12, 2021 3:00 PM
To: Jennifer Armer
Cc: Council
Subject:

Hello, I am a resident of the Town of Los Gatos. My address is [REDACTED], Los Gatos, CA 95032.

I would like the town to include a plant-based education program in the 2040 General plan. This would involve the promotion of plant-based diets in Los Gatos through talks, classes, cooking demos, flyers, banners, etc. Climate change is here, and we have to take all the steps to reverse its effects.

Thank you so much for taking my input into consideration. I am sincerely grateful.

Shai

Shailaja Venkatsubramanyan, Ph.D.

Associate Professor Emeritus

School of Information Systems and Technology, San Jose State University

[REDACTED]

From: Levine, Joshua
Sent: Tuesday, August 17, 2021 4:22 PM
To: Jennifer Armer
Cc: Council
Subject: Recommendation for plant based diet

Hi Jennifer,

I am resident of Los Gatos ([REDACTED]) and I'm writing to recommend that the city includes and funds the plant based education program in the 2040 General Plan. My family is vegetarian and enjoys the enormous health benefits that a plant based diet offers. Even our 11 year old son who plays on a top team for Los Gatos United, and is an all-star with Los Gatos Little League, has incredible amounts of energy and focus in large part because of his diet and exercise regimen. Including the plant based program should have enormous benefits for the community

Thank you for your consideration!

Best

Josh

Joshua Levine | *Senior Vice President – Financial Advisor*

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From: Kevin Arroyo
Sent: Saturday, August 21, 2021 10:54 AM
To: Jennifer Armer
Cc: Council
Subject: 2040 General Plan - Plant-Based Education Program

Hello Jennifer and Town of Los Gatos,

I am a Los Gatos resident and support a plant-based education program in the Town's 2040 General Plan. Due to the rapidly increasing effects of climate change, there needs to be a CO2 reduction through the reduction of eating animal products. It would help reduce water consumption and pollution so our children can live in a healthier environment.

I am also assisting with the creation of the Pinehurst Community Garden and look forward to integrating these sustainable policies within our project. Please let me know if there are any questions.

Thank you,

Kevin Arroyo

From: Joanne Benjamin

Sent: Thursday, August 26, 2021 11:47 AM

To: Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes; Maria Ristow

Cc: Town Manager

Subject: Our Comments on the Los Gatos General Plan 2040 Housing Element & Single Family Zoning

Dear Mayor Sayoc,

Please forward the attached letter to the Town Council regarding our comments on the Los Gatos 2040 Housing Element and Single Family Zoning.

Thank you,

Joanne Benjamin

August 26, 2021

Los Gatos Council Members

We were surprised and stressed to learn that the Council is considering elimination of single-family zoning in Los Gatos. To us, this is ill advised for multiple reasons.

First, people make major, long-term decisions when they choose to purchase a home and they naturally assume that the Town's zoning ordinances will continue to protect their neighborhoods. Zoning is expected to be long term and consistent, with deviations allowed only on extraordinary basis.

Second, changing the zoning for an existing neighborhood from single family to four-plex multi-family is very significant to the homeowner. Allowing a fourplex (plus ADUs) in an existing single-family neighborhood could significantly impact the quality of life and the living conditions for the residents. The greater density could negatively impact and intensify parking, traffic, privacy, noise, fire safety, viewshed, sun/shade, walkability, and other important elements. In addition, there is the subjective impact of converting even one home in a single-family neighborhood to a multi-unit property as it could permanently alter the neighborhood's character. Until this latest update of the General Plan 2040, Los Gatos thoughtfully valued preserving its historic past, its hillsides, and the charm and character of its different neighborhoods and commercial districts. For example, the Town always seriously considered impacts to adjacent residents when issuing building permits, including relatively minor situations such as repositioning windows, constructing a room addition, adding a second story, or relocating a driveway. This thorough and respectful practice has balanced change against the status quo and has resulted in neighborhoods retaining their vibrancy and attractiveness while still growing and staying up to date.

Third, enabling and even encouraging developers to purchase homes in a single-family neighborhood for the purpose of redeveloping to multiple units causes irreversible harm and damage. Once such conversions happen, there is no turning back as its essentially impossible to return to a previous state. Real estate development is relatively permanent with an assumed minimum lifetime of 40 years for most structures (and much, much longer when they are maintained such as homes in the Almond Grove!)

Fourth, housing is an extremely important component of our General Plan. While we understand the demand for more homes and more affordable homes, we feel that higher density housing should be focused in existing multi-family zones, undeveloped regions, or rezoning of existing commercial, industrial, or office areas, but not in existing single-family neighborhoods. Although Los Gatos isn't yet well served by public transit, the Town should plan for this eventuality and consider higher density housing along future transportation corridors.

Fifth, besides creating more (and more affordable) housing, our community as well as the state is facing many other critical challenges – water shortages; electricity reliability; sewage treatment and capacity;

roads, highway, bicycle and pedestrian improvements; public transportation; wildfire prevention and containment; plus enhanced law enforcement and public safety. Increasing the housing supply without solving these other problems will exacerbate these problems and is simply irresponsible.

Finally, we understand that the state requires Los Gatos to accommodate additional housing. Los Gatos should meet this requirement by approving greater density in areas other than the current single-family zones, and in areas adjacent to future transportation corridors. This is greatly preferred to blanketly allowing multifamily conversions in single family neighborhoods. And, if after considering all of the above, you are still intent on eliminating single-family zoning, then you should initiate a ballot measure and let the Town's citizens advise on the matter.

Please don't destroy Los Gatos' unique character, charm, and quality of life, that has been the precedent of our community and was carefully planned, implemented, respected, and enforced by prior Town Councils.

Very truly yours,

Joanne and Jim Benjamin



3 September 2021

Jennifer Armer, AICP, Senior Planner
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Re: Draft 2040 General Plan

Dear Ms. Armer,

Santa Clara Valley Audubon Society (SCVAS) is one of the largest National Audubon Society chapters in California. SCVAS' mission is to promote the enjoyment, understanding, and protection of birds and other wildlife by engaging people of all ages in birding, education, and conservation. Earlier this year we advocated for the inclusion of bird-safe design and dark sky policies in the General Plan 2040. The General Plan Update Advisory Committee (GPAC) supported these recommendations and included both goals and program measures in the draft General Plan Update. We write today in support of these draft policies and with additional comments and recommendations.

Birds make people happy, are key indicators for healthy ecosystems, and are inherently valuable. At SCVAS, our bird conservation advocacy areas have focused on: endangered species, bird-safe buildings and architecture, and land use. Threats to local and migratory birds include: loss of habitat and migration rest areas, collisions with glass that kill an estimated hundreds of millions of birds each year in North America alone, collisions with other human-made structures, Artificial Light At Night (ALAN), climate change, depredation by outdoor cats, and poisoning from rodenticides and insecticides. The Los Gatos General Plan Update is a critical opportunity to address biodiversity and bird safety, and in doing so, protect open space and nature, for the benefit of both the community and natural environment.

One focus of our advocacy has been on reducing ALAN. The impacts of night-time lighting are pervasive and affect biological function and behavior in almost all living things. A recent United Nations report highlights the many biological and ecological impacts of ALAN, and outlines guidelines to help preserve ecosystems, species and our night sky¹. A scientific review draws together wide-ranging studies over the last decades that catalogue the effects of ALAN upon living species and their environment. Numerous examples are given of how widespread exposure to ALAN is perturbing many aspects of plant and animal behavior and survival: foraging, orientation, migration, seasonal reproduction and more².

¹ <https://www.iau.org/static/publications/dqskies-book-29-12-20.pdf>

² <https://www.frontiersin.org/articles/10.3389/fnins.2020.602796/full>

Moreover, pervasive ALAN has been found to have a wide-ranging impact on human health. Cancer, sleep disorders, and a degradation of mental health have all been linked to pervasive ALAN³. Addressing ALAN and setting clear limits on lighting within the General Plan Update can have a great positive impact on our community.

Reading through the draft General Plan Update, we appreciate the thoughtfulness and intentionality when including environmental goals and programs. Many standards and guidelines in the town already help to protect the environment, such as the lighting element within the Hillside Development Standards and Guidelines, the inclusion of native plant species, and protection of wildlife movement. We hope these standards can be reinforced. Additionally, we hope you will take into consideration the following comments and recommendations specific to the draft General Plan Update. These comments pertain to the Guiding Principles, lighting, the Crime Prevention Through Environmental Design program, habitat protections, and tree canopy.

1. Guiding Principle (pdf pg. 12)

Draft Language: Protect Natural Resources

“Protect the natural resources and scenic assets that define Los Gatos, including open space preserves, recreational trails, surrounding hillsides, and natural waterways.”

Proposed Language: Protect the Natural Environment

“Protect and enhance the natural environment, scenic assets and biotic communities that define Los Gatos, including but not limited to open space preserves, recreational trails, surrounding hillsides, and waterways.”

On April 1, 2021 we gave a public comment to the General Plan Advisory Committee (GPAC) asking the committee to consider changing the Guiding Principle for “Protect our Natural Resources” to “Protect the Natural Environment.” The GPAC agreed with the comment, however, since the Guiding Principles have already been approved by the Planning Commission and Town Council, this change must go through the formal approval process.

The principle is meant to protect the environment, but by naming natural resources, it implies that nature is meant to be protected for the benefit of humans. Nevertheless, the environment has inherent value and should be protected regardless of its benefit to humans, which is why we recommend this change to the Guiding Principle.

2. Lighting

CD-2.24 Public Realm Improvements (pdf pg. 77)

Draft Language: “Encourage improvements to the public realm, including tree canopies, street furniture, paving, landscaping, and lighting.”

³ <https://acsjournals.onlinelibrary.wiley.com/doi/abs/10.1002/cncr.33392>; <https://time.com/5033099/light-pollution-health/>

Proposed Language: Encourage improvements to the public realm, including tree canopies, street furniture, paving, and landscaping.

Please consider removing lighting from CD-2.24 Public Realm Improvements. In the past, improvements for lighting has usually meant expanded lighting. Lighting should not be expanded in Los Gatos.

CD-2.30 Street and Structure Lighting (pdf pg. 79)

We support CD-2.30 Street and Structure Lighting, preventing glare, light spillage, and light pollution.

CD-2.31 Lighting (pdf pg. 79)

Draft Language: “Encourage lighting for mixed-use and commercial developments such as string lighting, pole mounted lighting, and tree-hanging lighting, to further illuminate the site during nighttime hours for safety and community.”

Proposed Language: Provide clear limits for lighting in mixed-use and commercial developments, including the prohibition of uplighting, limiting the Correlated Color Temperature of lighting, and turning off lights after activity hours, in order to find the balance between friendly illumination and preventing unnecessary light at night.

We ask that you consider making policy CD-2.31 Lighting more explicit and restrictive. Decorative lighting should only be allowed in commercial areas, and only during activity hours. All lighting should be directed down since uplighting causes light pollution.

The Town of Los Gatos Hillside Development Standards and Guidelines (85 of Draft General Plan, Page 6 of Chapter 6 of Standards)

Chapter 6 Site Elements provides strong and sound requirements for outdoor lighting in the Hillside⁴. We highly recommend the General Plan Community Design Element 4.4 Hillside Development consider retaining and/or strengthening the lighting language found in its complementing Chapter 6 Site Elements. One way to complement this language would be to include a guideline for Correlated Color Temperature (CCT), such as, “Lighting within the Hillside should use the lowest CCT available.”

CD-6.5 Lighting Design in Hillside Areas (pdf pg. 86)

Draft Language: “Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity.”

⁴ <https://www.losgatosca.gov/DocumentCenter/View/172/Hillside-Standards-60-Site-Elements?bidId=>

1. Outdoor lighting shall comply with the Town of Los Gatos Zoning Ordinance.
2. Lighting shall be the minimum needed for pedestrian safety, and shall be low level, directed downward, and shielded so that no bulb is visible, and no light or glare encroaches onto neighboring properties.
3. Unshaded or non-recessed spotlights are prohibited.
4. Lighting for purely decorative purposes is prohibited. Up-lighting of trees, lighting of facades and architectural features is prohibited.
5. Lighting for night use of outdoor game courts (e.g., tennis, paddle tennis, basketball, etc.) is prohibited.

Proposed Language: Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity and of the lowest Correlated Color Temperature (CCT) available, no more than 3000K.

We support CD-6.5 Lighting Design in Hillside Areas to limit outdoor lighting and to be of low intensity. Mentioning CCT would emphasize the need for warmer light, especially in sensitive ecological areas such as the Hillside.

Mobility Element program I Streetlighting Policy and Guidelines (pdf pg. 135)

We support the Mobility Element program I Streetlighting Policy and Guidelines to update the town street lighting guidelines and for acknowledging the need for both adequate nighttime lighting and reducing light pollution.

Public Facilities, Services, and Infrastructure Element program L Outdoor Lighting Standards (pdf pg. 174)

Draft Language: “Establish outdoor lighting standards in the Town Code to address energy efficiency.”

Proposed Language: Establish outdoor lighting standards in the Town Code to address energy efficiency, dark sky conservation, and healthy ecosystems.

3. Crime Prevention Through Environmental Design (CPTED)

CD-2.21 Adequate Pedestrian Lighting (pdf pg. 77)

Draft Language: “Pedestrian-oriented lighting shall be provided in active pedestrian areas and common areas for safety and security.”

Proposed Language: In high-density planning zones, the minimal amount of pedestrian-oriented lighting necessary should be provided in active pedestrian areas and common areas for safety and security purposes.

More lighting does not necessarily mean more safety. A recent study in Tucson, Arizona found that dimming their city lights to 30% of capacity had no effect on rates of crime, accidents, or other safety measures. In fact, virtually no one noticed that the street lights had been dimmed⁵.

We are concerned that allowing the expansion of lighting under safety programs will unnecessarily expand light into sensitive areas. All lighting facilities should have dimmers, motion sensors, and/or timers. If included, goal CD-2.21 needs to be more explicit in the amount and type of light used.

PFS-18.1 CPTED Site Planning for Crime Prevention (pdf pg. 159)

⁵ <https://www.darksky.org/nights-over-tucson/>

Draft Language: “Emphasize the use CPTED principles in physical site planning as an effective means of preventing crime. Open spaces, landscaping, parking lots, parks, play areas, and other public spaces shall be designed with maximum possible visual and aural exposure to community residents.”

Proposed Language: Consider the use of CPTED principles in physical site planning as a potential means of reducing crime.

We request clarification on PFS-18.1 CPTED Site Planning for Crime Prevention. Open spaces, parks, landscaping, play areas, and even some parking lots are ecologically sensitive areas and light should be *severely limited*⁶. They should *not* be designed with maximum possible visual and aural exposure, rather with the *minimum possible* visual and aural exposure.

There have been instances of other cities in the Bay Area expanding lighting into parks under the label of “public safety.” Expanded lighting in parks is not necessary because they are closed at night time, increases in lighting do not correlate with reductions in crime, and parks are ecologically sensitive areas in which more lighting will actually be causing more harm than good.

4. Habitat Protections

CD-6.6 Hillside Fencing Design (pdf pg. 86)

We support Goal CD-6, especially CD-6.6 Hillside Fencing Design to be of open design. Habitat connectivity for wildlife in ecological areas is crucial for species and biodiversity.

OSPR-2.4 Uninterrupted Wildlife (pdf pg. 184)

We support OSPR-2.4 to provide an “uninterrupted band of usable segments for wildlife corridors.” We ask you to consider adding a program for creating a wildlife corridor study to reinforce this goal. Without a relevant study to identify where primary and critical wildlife corridors are, enforcing development standards and making hillside development decisions can be challenging.

ENV-7.7 Herbicides and Pesticides Adjacent to Aquatic Habitats (pdf pg. 199)

Draft Language: “Require that herbicides and pesticides used in areas adjacent to creeks and other water bodies are approved for use in aquatic habitats.”

Proposed Language: Require that herbicides and pesticides used in areas adjacent to creeks and other water bodies are approved for use in aquatic habitats, ensuring minimized potential damage to public health, native plants, birds, and other wildlife.

The [Los Gatos IPM plan](#) should be updated to consider new information and guidelines regarding herbicides and pesticides. We recommend considering adding a program for ENV-7.7 to update the Los Gatos IPM plan.

⁶ <https://www.darksky.org/values-centered-lighting-resolution/?eType=EmailBlastContent&eld=e18a9f9f-e20c-469d-9cea-fc43510d1c14>

Herbicides and pesticide runoff is extremely detrimental to aquatic ecosystems⁷. For instance, the EPA identified Glyphosate, a common herbicide, as a potential risk to terrestrial and aquatic plants and birds, and as low toxicity to honeybees⁸.

ENV-6 and OSPR-5 (pdf pgs. 199, 185)

We support Goal ENV-6, Protect wetlands and riparian corridors, including intermittent and ephemeral streams. Additionally, we support OSPR-5 Preserve and enhance Los Gatos Creek, and Ross Creek as open space amenities. Specifically, we support restoring both creeks to a more natural state and reducing encroachment by structures and disturbances due to incompatible development and human activity.

In 2007 Los Gatos signed a resolution to join the Water Resources Protection Collaborative through Valley Water⁹. Los Gatos should implement and improve upon these guidelines, including require minimum riparian setbacks and seek opportunities to expand and widen stream corridors.

ENV-7.10 and ENV-7.11 (pdf pg. 200, 220)

We support ENV-7.10 and ENV-7.11, Bird Safe Design and Dark Skies, along with the complementary programs to implement these policies. Creating ordinances for bird safe design and dark skies will help Los Gatos achieve its goal of protecting sensitive habitats and its environment.

In April of this year, Cupertino passed a bird safety and dark sky ordinance, which controls lighting on all private properties in Cupertino. Additionally, the ordinance mandates bird safe design treatments to all glass surfaces in “bird-sensitive areas”. These include hillside areas as well as within 300 feet of water features and vegetated open space.

Environment and Sustainability Element Program K Riparian Corridor Lighting (219)

Draft Language: “Require careful lighting design in and near natural riparian corridors to direct light away and to maximize the distance between nighttime lighting and the corridor.”

Proposed Language: Establish a lighting setback policy for riparian corridors to protect these sensitive ecological areas and to maximize the distance between nighttime lighting and the corridor. No light should be placed in or directed towards the riparian corridor.

5. Tree Canopy

Racial, Social, and Environmental Justice element program N Tree Canopy Study (pdf pg. 31)

Draft Language: “Develop a study to measure tree canopy distribution throughout the Town and encourage the use of native plants when increasing green space.”

⁷ <https://www.sciencedirect.com/science/article/abs/pii/S0048969703001414>

<https://www.raptorsarethesolution.org/>

⁸ <https://www.epa.gov/ingredients-used-pesticide-products/glyphosate>

⁹ <https://www.valleywater.org/contractors/doing-businesses-with-the-district/permits-working-district-land-or-easement/water-resources-protection-collaborative>

<https://www.valleywater.org/sites/default/files/WRPC%20Los%20Gatos.pdf>

Proposed Language: Develop a study to measure tree canopy distribution throughout the Town and encourage the use of native plants. Consider habitat value in tree selection for the town's forest, and disallow the planting of invasive species.

A healthy, robust tree canopy is crucial for human health and well-being, social justice issues, and enhancing our urban ecosystem. Nonetheless, when considering trees for a tree canopy, we must consider benefits to overall ecosystem health. We are in the midst of a global insect apocalypse, and many native trees, such as oaks¹⁰ are critical to maintaining these habitats. Therefore, the tree canopy study should also measure the types of trees and their biodiversity and habitat value, so that we can have a better understanding of not just how many trees are distributed throughout the town, but how these trees sustain the lives of birds, insects, amphibians, and others.

6. Midpeninsula Regional Open Space District Comment Letter

In addition to our comments, we support the following comments from the Midpeninsula Regional Open Space District comment letter submitted on July 27, 2021 to Senior Planner Jennifer Armer:

Section LU-3.2 Reducing Project Impacts

Projects shall be evaluated and the Town shall apply appropriate mitigation measures and/or conditions of approval to reduce impacts on urban services and wildfire risk, including utilities, police, and fire. Consider including a statement reducing project impacts on the environment.

Section CD-2.12 Street Trees in New Development

If feasible, require street trees to be installed for all new developments, to enhance neighborhood character and identity and to maximize shade coverage when mature. Consider including a requirement for native, non-invasive or non-fire-prone street tree species.

Section CD-2.30 Street and Structure Lighting

Require street and structure lighting to minimize its visual, health, and ecological impacts by preventing glare, limiting the amount of light that falls on neighboring properties, and avoiding light pollution of the night sky.

Consider including the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference section ENC-7.11. The following link provides additional information on the Illuminating Engineering Society of North America Model Lighting Ordinance.
<https://www.darksky.org/our-work/lighting/public-policy/mlo/>

Section CD-2.40 Landscaped Gateways

¹⁰ "Native oaks support over 300 species of vertebrate animals and provide food for more species of moths and butterflies than any other plant. Insects that live on oaks provide high-protein food for birds to feed their nestlings" http://ucanr.org/sites/oak_range by Rebecca Miller-Cripps, UC Cooperation 2. Download report by San Francisco Estuary Institute here: <https://www.sfei.org/projects/integrated-planning-nature-building-resilience-across-urban-and-rural-landscapes-silicon>

Ensure that public improvements and private development provide landscaped Town gateways that create visual connections between the natural hillsides and open space areas and the community of Los Gatos.

Consider including a requirement for native, non-invasive or non-fire-prone plant species.

Section CD-5 Preserve the natural beauty and ecological integrity of the Santa Cruz Mountains and surrounding hillsides.

Under section CD-5 Preserve the natural beauty and ecological integrity of the Santa Cruz Mountains and surrounding hillsides, consider adding: CD-5.6 Preserve Sensitive Natural Communities. Sensitive natural communities are communities that are of limited distribution statewide or within a county or region and are often vulnerable to environmental effects of projects. These communities may or may not contain special status plants or their habitat.

Section CD-6.5 Lighting Design in Hillside Areas

Outdoor lighting shall be limited and shielded so as not to be viewable from non-hillside areas and shall be of low intensity.

Consider including the dark-sky and/or the Illuminating Engineering Society of North America Model Lighting Ordinance or reference ENC-7.11 The following link provides additional information on the Illuminating Engineering Society of North America Model Lighting Ordinance.

<https://www.darksky.org/our-work/lighting/public-policy/mlo/>

Section CD-9.9 Landscaping

To soften the appearance of hardscape, incorporate landscaped medians using drought tolerant plants, landscape buffers, and street trees.

Consider including a requirement for native, non-invasive or non-fire-prone plant species.

Thank you for your consideration of these submitted comments. If you have any questions please contact Giulianna Pendleton at [REDACTED].

Sincerely,

Giulianna Pendleton
Environmental Advocacy Assistant
Santa Clara Valley Audubon Society

Sent: Friday, September 3, 2021 5:54 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210904005346] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210904005346]

Name: Jill VanHoesen

Comments:

The town should not almost double the number of housing units that the state is requiring. Without addressing infrastructure no plan should be approved. What about traffic, what about schools? More people may seem like a good idea but we don't have the ability to absorb these numbers. And changing neighborhoods from single family to multi family is a very bad idea. I live on a street that has both single family and multifamily but I chose that. I would hate to see single family homes removed so that multifamily units can be built in their place.

We have a great town and I wouldn't want that to change by adding housing units that can't be supported by the infrastructure in place. Please reduce the numbers to the earlier plan as submitted.

Page title: [Home](#)

From: Lisa Wade
Sent: Monday, September 6, 2021 5:47 PM
To: Jennifer Armer
Cc: Karen Rubio; Rob Moore
Subject: Plant- Based Education Plan Proposal

Hi Jennifer,

I hope you had a great weekend! I am submitting our Plant-Based Education Program proposal attached below for your review.

Our program has widespread support in Los Gatos. Close to 200 residents of Los Gatos have signed on to support our efforts so far. We also have the support of environmental and community groups. Additionally, prominent leaders (outside of Los Gatos) have reached out to offer their support.

I am happy to share the document with you now, or I can send it when we have updated it and added additional supporters (as we hear from more residents and leaders.)

We appreciate all your hard work. Please let me know if you have any questions.

Best,

Lisa

Los Gatos Plant-Forward Diets Program

Proposal to reduce greenhouse gas emissions and reverse environmental destruction

Date: September, 2021

Organization: [Plant-Based Advocates](#)

Climate change is the defining issue of our time. The Intergovernmental Panel on Climate Change (IPCC), which consists of more than 1,300 scientists from around the world, forecasts a temperature rise of 2.5 to 10 degrees Fahrenheit over the next century. We are in a period of accelerated global warming that is already having devastating consequences such as drought, fires and hurricanes. Weather events are becoming more frequent and more extreme.

We now know that raising livestock is a primary cause of land depletion, global warming, water usage, deforestation, pollution, and biodiversity loss. According to World Watch, livestock is responsible for 51% of greenhouse gas emissions. "[Livestock and Global Warming](#)" (pdf), (*World Watch*, Nov/Dec 2009).

The challenges we are facing are so vast and so serious we can't afford to wait for small, incremental steps; we need to **effect a sea change in how the U.S. views and operates its food system.**

Los Gatos-based advocacy group Plant-Based Advocates is proposing the following plant-forward diets and lifestyles program for the Town to incorporate into their **2040 General Plan**. These programs, which have widespread community support, are targeted at reducing greenhouse gas emissions and environmental degradation and include an estimated cost range.

Program: Marketing, Promotion, Education	Estimated Cost
1) Monthly Film and Speaker Series: Organize film/speaker series on diet, environment and nutrition. These will be advertised by the Town and PB Advocates. Free to residents and the general public. <ul style="list-style-type: none">a) Lectures by health professionals, nonprofits and environmental experts.b) These could be on zoom or in person.c) For in-person events provide plant-based food for people to try.	<u>Cost for Speakers:</u> Many great speakers are available for free or honorarium of \$100-300/speaker Higher profile speakers may cost more. Town venue: Free Other Venue: \$200-\$400 <u>Cost for documentaries/films:</u> Several good docs are license-free Others: License fee \$100-\$200 Town venue: Free Other Venue: \$200-\$400 <u>Cost for health professionals, non-profits, and environmental experts presentation:</u> Usually free; Possible honorarium: \$100-\$200. Town venue: Free Other Venue \$200-\$400

<p>2) Monthly free plant-based cooking classes sponsored by the town.</p> <ul style="list-style-type: none"> a) 20 – 40 people per class b) Can be via Zoom or in person (in the future) 	<p>\$300/class.</p> <p>Assume they could be held at a town venue with a kitchen and or via Zoom.</p> <p>Possible grant money reimbursement available if the Town takes the lead.</p> <p>*A small fee between \$5-10 could possibly also be used to partially fund the event; and also ensure participants show up.</p> <p>Food for in person events: Approx \$300</p>
<p>3) Monthly free food-tasting events for the public, held once/month.</p> <p>* Can be combined with speaker series or events.</p>	
<p>4) Monthly email newsletter and online survey program to keep track of residents who pledge to reduce animal consumption and also provide encouragement, support, tips etc. Residents can sign up online, or at any of the other events in this list (films, cooking classes, etc.). This will allow the town to quantify greenhouse gas (GHG) reduction resulting from this program.</p>	<p>~\$2000 for database setup, \$100/month for IT and maintenance. Maybe less if town IT support is available.</p> <p>Prizes for survey.</p>
<p>5) Creation of custom branded marketing materials (brochures, etc.) for residents, explaining the importance of plant-based diet. Display at the chamber of commerce, library, town events, etc.</p>	<p>\$500 - \$5000, depending on quantity and complexity. Potential for free/donated graphic design.</p>
<p>6) Incorporate plant-based food and lifestyle promotion into all Town sustainability material used around education and information.</p> <ul style="list-style-type: none"> - In their websites/online channels - During town-organized events - Work with local school boards and PTAs to disseminate education about plant-based diets. 	<p>Minimal. A huge database of information on sustainability, plant-based diets and lifestyle etc. is widely available. PB Advocates is also happy to support in terms of providing content and ideas.</p>

Program: Restaurants/Residents Initiatives/Promotional Events	Estimated Cost
<p>1) Encourage Los Gatos restaurants to offer:</p> <ul style="list-style-type: none"> a) Plant-based specials b) Days of the week, promoting PB specials 	<p>Minimal. Local non-profits can assist with this effort.</p>

c) Display promotional materials around PB options	<p>Town to provide stickers for restaurants.</p> <p>A friendly competition for restaurants - winner gets press etc.</p> <p>A week (every month/regular basis) celebrating “plant based”/restaurants participate and get featured.</p> <p>Town to provide an incentive or reward to restaurants.</p>
2) Annual Plant-based Cooking competition (or even twice a year) for restaurants and residents, perhaps a “Chili Cook-off.” or Vegan Mac ‘n Cheese contest. Possibility of promoting other ethical businesses around the event.	<p>\$2000 for venue, prizes, and advertising.</p> <p>\$5000 for organization of the event.</p> <p>Local advocacy can help with volunteer and organization efforts.</p>
3) Restaurants: Los Gatos restaurant competition where participating restaurants feature plant-based specials over the course of a month and residents try the specials and vote for their favorite. The winning restaurant receives a prize and publicity. Could be done in conjunction with the VegFest.	\$200 - \$2000, depending on level of publicity
4) Residents: Creation of a volunteer citizen-based sustainability committee to develop and implement strategies and branding to promote a more plant-centric lifestyle in Los Gatos.	Some coordination required. Advocacy groups can help/support.
<p>5) Hold a Los Gatos Plant-based food festival, also known as a “VegFest.” VegFest features local restaurants and organizations, speakers, food samples, etc. Vegfest is a great way to bring consumers into Los Gatos.</p> <p>Similar events have been held in San Francisco, Oakland, Santa Cruz, Seattle and many other cities. It is a great way to bring consumers into Los Gatos.</p>	<p>Ranges from net positive revenue to a cost of \$15,000 depending on the venue, sponsorships, vendor fees, etc.</p> <p>Local non-profits can assist with this effort.</p>

Total estimated cost of the program (annual) \$25-30,000* USD

Note: We are asking the Town of Los Gatos to dedicate approximately 30K to this program. As a precedent, the city of Mountain View has pledged \$30,000 to educate residents about the benefits of a plant based lifestyle.

This proposal has the support of a wide cross-section of Los Gatos community leaders, social

organizations and residents. Additionally, many prominent leaders (outside of Los Gatos) have also reached out to offer their support. These names will be provided as an attached document additionally for reference.

*Please also note that the town might need to consider a dedicated staffer to oversee and manage this program. The Plant Based Advocates group will support the Town to the best of its ability.

Other ideas (minimal expenses)

- ☐ Have Los Gatos take the "[Cool Food Pledge](#)." Encourage businesses in our town to take this pledge as well. [Cool Food](#)
- ☐ If the Town caters (or plans menus) for events or meetings the council will ensure that there are identified plant-based options. Better yet, the town will have a default veg menu which means animal products are absent unless specifically requested. <https://defaultveg.com/>
- ☐ Advertising campaign to promote the initiative, including banners, print and radio ads. Potential to have donor match funds for the advertising campaign. \$5000 - \$15000, with potential for donated matching funds if the Town takes the lead.

The need for education, promotion and advocacy for a plant based diet and lifestyle

For over a decade the United Nations has warned governments to make fundamental changes to reduce animal products and increase plants in their food system to address runaway global warming. The message has fallen on deaf ears - until now.

Trailblazing cities across the United States are starting to promote plant-forward policies among their residents as the most effective way to reduce greenhouse gas emissions.

The following actions and resolutions are being taken by cities and organizations to fight global warming through diet change:

- [Mountain View, CA has signed a 3-year Sustainability Plan which includes an initiative to dramatically reduce meat & dairy consumption by their residents.](#)
- **The City Council of Berkeley** passed a resolution to slash the amount of animal products the city purchases by 50 percent by 2024, with progress on the goal to be reported to the Council by the City Manager by January 31, 2022.
- **Emeryville** passed a Green Monday Resolution including:
 - Sourcing plant-based meals for city council meetings
 - Encouraging local restaurants to feature plant-based specials on Mondays
 - Featuring educational programming and displays at community centers and libraries
- **The Town of Los Gatos** passed a Green Monday Resolution in Dec. 2019

- [New York City has implemented a Meatless Monday program](#) for all 1,700 public schools within the City. This program started in 2019 and mandates that all breakfast and lunch options are 100% vegetarian on Mondays.
- The cities of [Santa Barbara](#) and [New York City](#) have both banned the sale of processed meat products (including hot dogs, bacon, salami, etc.) in schools. This is mostly health-related, since [processed meats have been found to significantly increase the risk of certain forms of cancer](#).
- Many cities and municipalities have passed food procurement policies that stipulate a reduction in meat and dairy purchasing. [Friends of the Earth has a great guide](#) that outlines the process and highlights cities that have incorporated food purchasing policies into their Climate Action Plans.
- The group "[Scientists for Less Meat](#)" is making an urgent call to all City mayors to enact policies that will reduce the amount of meat consumed in their city, and increase the proportion of plant-based foods.
- [Harvard University recently committed to reduce their food-related GHG emissions by 25% before 2030, by emphasizing a shift towards plant-based foods](#). This is based on a UN & World Resources Institute initiative called the "[Cool Food Pledge](#)."
- **The city of Philadelphia** has a "[Vegan Restaurant Week](#)" each year. This event is a collaboration between nonprofits, the city, and restaurants.
- Many US cities, including San Jose, San Francisco, Los Angeles, Philadelphia, Cleveland, and numerous others have passed "Meatless Monday" resolutions.

We are proposing for Los Gatos to be a part of this solution towards climate change by adopting these much-needed initiatives. The challenges we face are so vast and so serious we can't afford to take small, incremental steps. We need fundamental, systemic change on a local level that recognizes and starts to address this crisis.

In 2016, Los Gatos took a leadership position by signing the Mayor's Climate Agreement, thereby pledging to address global warming. As residents and global citizens, it's our duty to contribute as much as possible towards one of the most pressing environmental issues of our time. Plant-Based Advocates calls upon our Town to implement plant-forward policies that will dramatically reduce greenhouse gas emissions and begin to reverse environmental destruction.

From: Anita Bora
Sent: Wednesday, September 8, 2021 11:01 AM
To: Jennifer Armer
Subject: Support for PB Education in the 2040 General Plan

Hi Jennifer,

I am resident of the town of Los Gatos, having moved here last year. I really enjoy the area and am discovering the joys of living here including the parks, library, downtown area amongst others.

As someone who enjoys eating out and exploring various options, and following a compassionate lifestyle, I would also like to voice my support for adding programs and initiatives about the health and environmental benefits of a plant based diet and lifestyle in the 2040 General Plan. Though it is encouraging to see many restaurants, eateries and take outs offer options, I don't feel it's enough yet. Offering one token tem on the menu that does not have an animal part in it, in my mind is not doing enough. What we need is education at every level to make this gradual shift happen. The town can play an important role in making this shift. It does have the power and should definitely look at taking on more responsibility.

As a concerned citizen, I feel that it's up to each of us to individually and collectively, to do whatever we can to mitigate the current climate and environmental disaster that we find ourselves in. Education rests on schools, social organizations and the the towns - and the town of Los Gatos should start recognizing this challenge and addressing it.

A lot of people seem to think that food is personal. That might have been the case, but no longer applies in the current climate crisis we find ourselves in. Change starts with everyone and it starts with what we eat - this is something that everyone needs to understand. We do make a decision everyday about what we buy, what we cook and what we put in our stomach. I've found that there is interest, but not enough resources or education or encouragement for plant based options. There is also very low awareness about the ramifications about animal agriculture.

<https://www.kinderworld.org/videos/environment/the-devastating-consequences-of-animal-agriculture-on-earth/>

Having learned that a plant based education program was approved by the town of Mountain View recently gives me hope. I feel it's the right time for everyone, including the Town of Los Gatos to start looking at this seriously. I would like to strongly advocate and request for such a program to be added to the town's plan, specifically the environmental section (8.12 Implementation Programs).

I hope that the town will take this thoughtful and much needed decision so we can start proactively working towards a better world.

Thank you!

Anita

Anita Bora



Los Gatos 95032

Sent: Thursday, September 9, 2021 5:36 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210910003628] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210910003628]

Name: Marc Caligiuri

Comments:

Dear Los Gatos City Council

The current EIR should not be approved.

The 2040 General Plan should plan on adding enough over the regional housing requirements to hit its requirements of 1,993. Please don't ruin our Town!!

Page title: [Home](#)

Sent: Thursday, September 9, 2021 8:10 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210910030952] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210910030952]

Name: Richard Katz

Comments:

Folks, let's call a spade a spade. This is about development and the almighty dollar. Each land owner will have incentive to convert to the maximum number of units, and those that do so will be either speculators or doing so as part of their own get out of town strategy. The ladder will end up simply moving to the nicer communities some of which are only nicer as a result of the downward turn that this change in regulation will bring upon our town. Seriously how is increasing density going to fix the abysmal beach traffic. As this will catapult change in this town, begs the question what are you all thinking Los Gatos will be in the future? We have held on to a somewhat sleepy natured small town with a good vibe and nice things to do. We have an excellent school system though it is already impacted. What will quadrupling our numbers do and how will that really benefit anyone? As our density then exceeds places like Willow Glen and Campbell Cambrian etc What is the vision?

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Sent: Thursday, September 9, 2021 8:58 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210910035808] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210910035808]

Name: Lou Albert

Comments:

This EIR fails to predict the full buildout potential under this proposed GP. It is a lawsuit waiting to happen. EX: The EIR LDR buildout estimate is based on an assumption that only 5% of the potential 7,340 new dwellings allowed under this plan's increased LDR density limits will actually be built. The EIR's rational for this limit is basically "more than that hasn't happened in the past, so it won't happen in the future". But higher buildout wasn't really possible under past GPs and this EIR doesn't account for the increased economic incentive to redevelop under the 2040 GP. EX: A home on 1/2 acre could under this plan be redeveloped into a 6-plex that yields more than \$1M in gains over its current market value. But such an incentive will drive buildout beyond 5% and significantly affect the EIR's findings. The TC should reject this EIR and inform every LG residents on how this 2040 GP differs from State requirements by sending a flyer to every LG resident before approval is granted

Page title: [Home](#)

Sent: Friday, September 10, 2021 8:35 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210910153453] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210910153453]

Name: Eric Thune

Comments:

The current EIR should not be approved. The 2040 General Plan should plan on adding enough over the regional housing requirements to hit its requirements of 1,993. The city should be targeting about 2,400 units and not the 3,738 in the draft 2040 plan. This is what the state has asked for. The 3,738 units is not required by any State law. By over committing to an excessive number of units to add, the Town is making unnecessary and unneeded changes in density and zoning laws that will lead to more green house gas and terrible traffic issues.

If Los Gatos is serious about building affordable housing, the 2040 GP needs to commit to a specific number of those units and not just allow too much growth all at market rate.

The General Plan should be adopted by a majority vote of residents.

Going from 4 houses per acre to 12 is entirely too high and isn't needed to meet what the State is asking for and the environmental impact report says traffic will be minimized.

Page title: [Home](#)

Sent: Friday, September 10, 2021 10:45 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210910174508] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210910174508]

Name: Sacha Arts

Comments:

The 2040 General Plan should plan on adding enough over the regional housing requirements to hit its requirements of 1,993 new units. The city should be targeting about 2,400 units and not the 3,738 in the draft 2040 plan. This is what the state has asked for. The 3,738 units is not required by any State law. By over committing to an excessive number of units to add, the Town is making unnecessary and unneeded changes in density and zoning laws that will lead to more green house gas and terrible traffic issues. 12 units/acre in the LDR is also excessive and we need strong safeguards in place to keep the integrity of our neighborhoods. It is too hard to build in LG, but this plan goes way too far.

Page title: [Home](#)

Sent: Saturday, September 11, 2021 9:23 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210911162229] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210911162229]

Name: Christina Jansson

Comments:

Make this plan more detailed and less vague.

Page title: [Home](#)

Sent: Saturday, September 11, 2021 4:01 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210911230126] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210911230126]

Name: Christine Klesney

Comments:

The 2040 plan has population growth goals that are aggressive and exceed the infrastructure capacity. Roads are already too congested. Should a wildfire come through here the roads could never handle the traffic to allow a safe escape.

Every warm weekend I limit my driving due to the beach traffic. How about we solve our existing problems before we make it exponentially worse?

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Sent: Sunday, September 12, 2021 4:26 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210912232609] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210912232609]

Name: Felix and Lulu Sterling

Comments:

The Town is faced with two overarching challenges which are each exacerbated by increased density: (1) Wildfire risk and related insurance and land use complications, and (2) severe traffic congestion due to the Hwy 17 bottleneck and the North 40 project. These conditions would provide a very strong basis to appeal the RHNA allocation, but instead the Town failed to appeal voluntarily doubled it!?

The RHNA+ commitment, combined with North 40 and rezoning for "missing middle" housing, would reduce defensible space after many residents have already had their fire insurance cancelled in recent years, and further congest already unacceptable traffic. The local infrastructure simply cannot accommodate higher density near downtown Los Gatos, and we believe that the vast majority of residents do not want it and particularly object to the character of single family neighborhoods altered with rezoning to retrofit "missing middle" multifamily structures into established neighborhoods.

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Sent: Sunday, September 12, 2021 6:19 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210913011909] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210913011909]

Name: Jared Ajlouny

Comments:

I am saddened to read about what the town is considering for the 2040 general plan. Los Gatos is a beautiful town with so much charm and character. By changing the general plan to allow so much more housing density the town will be forever changed for the worse.

The vast majority of residents of Los Gatos have worked hard and sacrificed much to be able to afford to live in this town. We did/do it because this town is so special. By changing the zoning rules to be like that of surrounding cities you will forever tarnish this place.

Los Gatos is so special because of what it is. Please use your head when deciding on ruining thousands of peoples "home town".

Page title: [Home](#)

Sent: Sunday, September 12, 2021 7:00 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210913015958] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210913015958]

Name: Emma A Ajlouny

Comments:

please don't change Los Gatos and the beautiful town that allows visitors from ALL over to enjoy all the charm it has to offer

Page title: [Home](#)

Sent: Sunday, September 12, 2021 9:51 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210913045043] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210913045043]

Name: Mitzi Anderson

Comments:

The General Plan should not exceed the RENA numbers mandated by the state. By doing so, the GP proposes zoning changes that far exceed what is needed and what the town can support (water, traffic, schools, and VMT rating goes up as we export more people into the areas with jobs.)

Also, the proposed growth changes for the town are undervalued. The zoning changes will create more growth than the numbers the GP is proposing this the EIR is not an adequate study of the real growth.

The town was misled when we were told the GP 2050 would have minor changes to the existing plan. This proposed plan is a radical change for the direction and design of the town.

The residents should have the final say if we want these changes to our town not a small committee of people and the Town Council. The changes are just too much to be thrust on the town.

As a resident of Los Gatos, I do not support the zoning density, height or middle housing proposals.

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On Sep 12, 2021, at 9:32 PM, Kathleen Anderson wrote:

Please do not rush to judgment concerning the 2040 General Plan. Give the citizens of Los Gatos time to input their thoughts on the Plan. You do not have to vote in November.

The new General Plan will have a long lasting impact on our town. In my opinion a detrimental impact. I am concerned about

The increased number of residential units without infrastructure in place to handle it.

The traffic, lack of water, evacuation in an emergency, parking, the trend away from single family homes to multi housing, the impact it will have on climate change with the increased traffic fumes. Most new residents will not work here but will need to travel to their employment. There are other issues that make this new General Plan a negative for Los Gatos.

I am extremely concerned about the housing element with increased density and height allowance.

There are many issues that need further discussion before this Plan should be voted on by Council.

Much of the work on this General Plan was done while we were in a pandemic. Most people were just trying to avoid getting the virus. They did not have the time to review the General Plan and especially the housing element.

Give the citizens the time needed . Put off voting in November.

Kathy Anderson



Los Gatos

Sent from my iPad

From: Charles Wade
Sent: Tuesday, September 14, 2021 1:14 PM
To: Jennifer Armer
Cc: Council; Lisa Wade
Subject: Plant based education program-2040General Plan

Hello, Jennifer. I'd like to express my support for a plant based education program in the 2040 General Plan. I moved to Los Gatos at mid life and suddenly I've been here 41 years. As I've aged I've paid more attention to diet and as a chemist I could relate to changes recommended for longevity. In particular, the environmental and health impact of red meat is troublesome. Science is unequivocal that red meat is a no no for health, and the environmental impact for hamburgers alone includes replacing forests with space for cattle at a rate that threatens the planet. I grew up a meat and potatoes kid on a small farm in the midwest, and I can hear my father turning in his grave when he hears I've left the diet from our cattle, that diet he felt would make me the healthiest kid in the county. But science shows otherwise, and I've gone that direction personally.

Los Gatos should be a leader in health, so I'm asking the city to support these changes.

Thanks.

Charles Wade

[REDACTED], Los Gatos, CA 95032

From: Lisa Wade

Sent: Thursday, September 16, 2021 10:34 AM

To: Jennifer Armer; Council

Cc: Karen Rubio; Rob Moore

Subject: Written Comments for General Plan Joint Study Session on 9/20/2021

Hi Jennifer, Mayor Sayoc, and Town Council members,

We wanted to provide you with the following written comments to be included in the staff report for the Joint Study Session Meeting for the 2040 General Plan on Monday, September 20.

Plant-Based Advocates would like to request the inclusion and funding of a Plant-Based Education program in the Environmental Section of the Town's 2040 General Plan. The City of Mountain View has included such a plan in the Environmental Element for the City. Mountain View has pledged \$30,000 to support Plant-Based education for residents. We would like to request \$30,000 to fund such a plan in Los Gatos. We have outlined an action plan attached below for your review.

We have widespread community support for Plant-Based Education in Los Gatos. Residents are enthusiastic about learning the whys and hows of plant-based eating.

So far we have the support of 216 residents of Los Gatos.

We also have the support of 32 close neighbors (Monte Sereno, Cambrian area of San Jose, Campbell, etc.) Who expressed strong interest in signing since they spend time in Los Gatos.

We also have the support of some prominent leaders from nearby areas such as Lucas Ramirez Vice Mayor of the City of Mountain View and Alison Hicks City Council member in Mountain view.

In addition organizations including Environmental and Health NGOs are in strong support of our proposals. We are very proud that the Center for Biological Diversity included written testimony in support of our efforts. I have attached the testimony below.

I have also attached our petition signatures for your review. We continue to receive support and we believe our list will continue to grow, but we wanted to submit this list in advance of the meeting on Monday.

Thank you for your consideration.

Lisa Wade

[REDACTED], Los Gatos.

Los Gatos Plant-Forward Diets Program

Proposal to reduce greenhouse gas emissions and reverse environmental destruction

Date: September, 2021

Organization: [Plant-Based Advocates](#)

Climate change is the defining issue of our time. The Intergovernmental Panel on Climate Change (IPCC), which consists of more than 1,300 scientists from around the world, forecasts a temperature rise of 2.5 to 10 degrees Fahrenheit over the next century. We are in a period of accelerated global warming that is already having devastating consequences such as drought, fires and hurricanes. Weather events are becoming more frequent and more extreme.

We now know that raising livestock is a primary cause of land depletion, global warming, water usage, deforestation, pollution, and biodiversity loss. According to World Watch, livestock is responsible for 51% of greenhouse gas emissions. "[Livestock and Global Warming](#)" (pdf), (*World Watch*, Nov/Dec 2009).

The challenges we are facing are so vast and so serious we can't afford to wait for small, incremental steps; we need to **effect a sea change in how the U.S. views and operates its food system.**

Los Gatos-based advocacy group Plant-Based Advocates is proposing the following plant-forward diets and lifestyles program for the Town to incorporate into their **2040 General Plan**. These programs, which have widespread community support, are targeted at reducing greenhouse gas emissions and environmental degradation and include an estimated cost range.

Program: Marketing, Promotion, Education	Estimated Cost
--	----------------

1) Monthly Film and Speaker Series:

Organize film/speaker series on diet, environment and nutrition. These will be advertised by the Town and PB Advocates. Free to residents and the general public.

- a) Lectures by health professionals, nonprofits and environmental experts.
- b) These could be on zoom or in person.
- c) For in-person events provide plant-based food for people to try.

Cost for Speakers:

Many great speakers are available for free or honorarium of \$100-300/speaker
Higher profile speakers may cost more.

Town venue: Free

Other Venue: \$200-\$400

Cost for documentaries/films:

Several good docs are license-free

Others: License fee \$100-\$200

Town venue: Free

Other Venue: \$200-\$400

Cost for health professionals, non-profits, and environmental experts presentation:

Usually free;

Possible honorarium: \$100-\$200.

Town venue: Free

Other Venue \$200-\$400

2) Monthly free plant-based cooking classes sponsored by the town.

- a) 20 – 40 people per class
- b) Can be via Zoom or in person (in the future)

\$300/class.

Assume they could be held at a town venue with a kitchen and or via Zoom.

Possible grant money reimbursement available if the Town takes the lead.

*A small fee between \$5-10 could possibly also be used to partially fund the event; and also ensure participants show up.

Food for in person events: Approx \$300

3) Monthly free food-tasting events for the public, held once/month.

* Can be combined with speaker series or events.

4) Monthly email newsletter and online survey program to keep track of residents who pledge to reduce animal consumption and also provide encouragement, support, tips etc. Residents can sign up online, or at any of the other events in this list (films, cooking classes, etc.). **This will allow the town to quantify greenhouse gas (GHG) reduction resulting from this program.**

~\$2000 for database setup, \$100/month for IT and maintenance. Maybe less if town IT support is available.

Prizes for survey.

5) Creation of custom branded marketing materials (brochures, etc.) for residents, explaining the importance of plant-based diet.

\$500 - \$5000, depending on quantity and complexity. Potential for free/donated graphic design.

Display at the chamber of commerce, library, town events, etc.

- 6) **Incorporate plant-based food and lifestyle promotion** into all Town sustainability material used around education and information.
- In their websites/online channels
 - During town-organized events
 - **Work with local school boards and PTAs** to disseminate education about plant-based diets.

Minimal. A huge database of information on sustainability, plant-based diets and lifestyle etc. is widely available. PB Advocates is also happy to support in terms of providing content and ideas.

Program: Restaurants/Residents Initiatives/Promotional Events

Estimated Cost

- 1) **Encourage Los Gatos restaurants** to offer:
- a) Plant-based specials
 - b) Days of the week, promoting PB specials
 - c) Display promotional materials around PB options

Minimal. Local non-profits can assist with this effort.

Town to provide stickers for restaurants.
A friendly competition for restaurants - winner gets press etc.
A week (every month/regular basis) celebrating "plant based"/restaurants participate and get featured.
Town to provide an incentive or reward to restaurants.

- 2) **Annual Plant-based Cooking competition** (or even twice a year) for restaurants and residents, perhaps a "Chili Cook-off." or Vegan Mac 'n Cheese contest. Possibility of promoting other ethical businesses around the event.

\$2000 for venue, prizes, and advertising.

\$5000 for organization of the event.
Local advocacy can help with volunteer and organization efforts.

- 3) **Restaurants: Los Gatos restaurant competition** where participating restaurants feature plant-based specials over the course of a month and residents try the specials and vote for their favorite. The winning restaurant receives a prize and publicity. Could be done in conjunction with the VegFest.

\$200 - \$2000, depending on level of publicity

- 4) **Residents: Creation of a volunteer citizen-based sustainability committee** to develop and

Some coordination required. Advocacy groups can help/support.

implement strategies and branding to promote a more plant-centric lifestyle in Los Gatos.

- 5) **Hold a Los Gatos Plant-based food festival**, also known as a "[VegFest](#)." VegFest features local restaurants and organizations, speakers, food samples, etc. Vegfest is a great way to bring consumers into Los Gatos.

Similar events have been held in San Francisco, Oakland, Santa Cruz, Seattle and many other cities. It is a great way to bring consumers into Los Gatos.

Ranges from **net positive revenue** to a cost of \$15,000 depending on the venue, sponsorships, vendor fees, etc.

Local non-profits can assist with this effort.

Total estimated cost of the program (annual) \$25-30,000* USD

Note: We are asking the Town of Los Gatos to dedicate approximately 30K to this program. As a precedent, the city of Mountain View has pledged \$30,000 to educate residents about the benefits of a plant based lifestyle.

This proposal has the support of a wide cross-section of Los Gatos community leaders, social organizations and residents. Additionally, many prominent leaders (outside of Los Gatos) have also reached out to offer their support. These names will be provided as an attached document additionally for reference.

*Please also note that the town might need to consider a dedicated staffer to oversee and manage this program. The Plant Based Advocates group will support the Town to the best of its ability.

Other ideas (minimal expenses)

- ☐ Have Los Gatos take the "[Cool Food Pledge](#)." Encourage businesses in our town to take this pledge as well. [Cool Food](#)
- ☐ If the Town caters (or plans menus) for events or meetings the council will ensure that there are identified plant-based options. Better yet, the town will have a default veg menu which means animal products are absent unless specifically requested. <https://defaultveg.com/>
- ☐ Advertising campaign to promote the initiative, including banners, print and radio ads. Potential to have donor match funds for the advertising campaign. \$5000 - \$15000, with potential for donated matching funds if the Town takes the lead.

The need for education, promotion and advocacy for a plant based diet and lifestyle

For over a decade the United Nations has warned governments to make fundamental changes to reduce animal products and increase plants in their food system to address runaway global warming. The message has fallen on deaf ears - until now.

Trailblazing cities across the United States are starting to promote plant-forward policies among their residents as the most effective way to reduce greenhouse gas emissions.

The following actions and resolutions are being taken by cities and organizations to fight global warming through diet change:

- [Mountain View, CA has signed a 3-year Sustainability Plan which includes an initiative to dramatically reduce meat & dairy consumption by their residents.](#)
- **The City Council of Berkeley** passed a resolution to slash the amount of animal products the city purchases by 50 percent by 2024, with progress on the goal to be reported to the Council by the City Manager by January 31, 2022.
- **Emeryville** passed a Green Monday Resolution including:
 - Sourcing plant-based meals for city council meetings
 - Encouraging local restaurants to feature plant-based specials on Mondays
 - Featuring educational programming and displays at community centers and libraries
- **The Town of Los Gatos** passed a Green Monday Resolution in Dec. 2019
- [New York City has implemented a Meatless Monday program](#) for all 1,700 public schools within the City. This program started in 2019 and mandates that all breakfast and lunch options are 100% vegetarian on Mondays.
- The cities of [Santa Barbara](#) and [New York City](#) have both banned the sale of processed meat products (including hot dogs, bacon, salami, etc.) in schools. This is mostly health-related, since [processed meats have been found to significantly increase the risk of certain forms of cancer.](#)
- Many cities and municipalities have passed food procurement policies that stipulate a reduction in meat and dairy purchasing. [Friends of the Earth has a great guide](#) that outlines the process and highlights cities that have incorporated food purchasing policies into their Climate Action Plans.
- The group "[Scientists for Less Meat](#)" is making an urgent call to all City mayors to enact policies that will reduce the amount of meat consumed in their city, and increase the proportion of plant-based foods.
- [Harvard University recently committed to reduce their food-related GHG emissions by 25% before 2030, by emphasizing a shift towards plant-based foods.](#) This is based on a UN & World Resources Institute initiative called the "[Cool Food Pledge.](#)"
- **The city of Philadelphia** has a "[Vegan Restaurant Week](#)" each year. This event is a collaboration between nonprofits, the city, and restaurants.
- Many US cities, including San Jose, San Francisco, Los Angeles, Philadelphia, Cleveland, and numerous others have passed "Meatless Monday" resolutions.

Large Health Care Providers Promoting Plant-based Eating

In 2013 Kaiser Permanente published a nutritional update for physicians, which advised doctors to recommend plant-based diets, “to all their patients, especially those with high blood pressure, diabetes, cardiovascular disease, or obesity.”

https://thrive.kaiserpermanente.org/care-near-you/southern-california/center-for-healthy-living/wp-content/uploads/sites/30/2020/03/plant_based_diet_e.pdf

ElCamino Health- Lifestyle Medicine promotes adopting a nutrient-dense, plant-predominant eating pattern.

<https://www.elcaminohealth.org/services/lifestyle-medicine>

Sutter Health offers plant-based eating classes (will include link.)

We are proposing for Los Gatos to be a part of this solution towards climate change by adopting these much-needed initiatives. The challenges we face are so vast and so serious we can’t afford to take small, incremental steps. We need fundamental, systemic change on a local level that recognizes and starts to address this crisis.

In 2016, Los Gatos took a leadership position by signing the Mayor’s Climate Agreement, thereby pledging to address global warming. As residents and global citizens, it’s our duty to contribute as much as possible towards one of the most pressing environmental issues of our time. Plant-Based Advocates calls upon our Town to implement plant-forward policies that will dramatically reduce greenhouse gas emissions and begin to reverse environmental destruction.



May 5, 2021

Jennifer Armer, Senior Planner
Community Development Project
Town of Los Gatos
Via JArmer@losgatosca.gov

Dear Ms. Armer,

On behalf of the Center for Biological Diversity and our California members, I thank you for considering food sustainability initiatives and emissions strategies in the Los Gatos General Plan. The Center strongly **supports** these actions.

The Center for Biological Diversity is a national conservation nonprofit with nearly 2 million members and supporters. Our expertise is grounded in a staff of scientists and legal experts tackling crucial issues like climate change and effective mitigation strategies. Food emissions are a substantial part of global and national human-induced greenhouse gas emissions.

Studies show we cannot meet climate mitigation targets without tackling emissions from the food and agriculture sector, and namely by shifting diets toward lower emissions foods. The agriculture sector accounts for as much as [37%](#)¹ of global greenhouse gas emissions. Food procurement is an important opportunity to reduce consumption-driven emissions.

Most emissions come from only a few types of foods. The foods with the highest emissions are [meat and dairy](#) products,² which are responsible for approximately half of all food-related emissions and [16%](#)³⁴ of global greenhouse gases. The overproduction (and consumption) of meat and dairy come with a high cost to the [climate](#),⁵ as well as to [water](#)⁶, [land](#)⁷, and [biodiversity](#)⁸. Tracking institutional food purchases and shifting toward climate-friendly foods is a crucial climate solution that also has health and other environmental benefits.

Unfortunately, some sustainability initiatives overlook the need to address overproduction of animal-based foods in their commitments. Instead, municipal plans should build on frameworks of supporting

¹ Intergovernmental Panel on Climate Change (2019). Special Report on Climate Change and Land Use. <https://www.ipcc.ch/srccl/>.

² Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

³ Calculated using the 2017 online update to the FAO 2013 GLEAM assessment that estimates the livestock sector emitted 8.1 GT CO₂eq in 2010 (using 298 and 34 as global warming potentials for N₂O and CH₄, based on the IPCC 2014 report). The IPCC 2014 report estimates total anthropogenic GHG emissions in 2010 of 49 GT CO₂eq. See: FAO, Global Livestock Environmental Assessment Model (GLEAM) [online], Rome, www.fao.org/gleam/en/ and IPCC [Intergovernmental Panel on Climate Change], Climate Change 2014: Synthesis Report. Contribution of Working Groups I, II and III to the Fifth Assessment Report of the Intergovernmental Panel on Climate Change, [Core Writing Team, R.K. Pachauri & L.A. Meyer (eds.)], IPCC, Geneva, Switzerland (2014), http://www.ipcc.ch/pdf/assessment-report/ar5/syr/SYR_AR5_FINAL_full_wcover.pdf.

⁴ Gerber, P. J., Steinfeld, H., Henderson, B., Mottet, A., Opio, C., Dijkman, J., ... & Tempio, G. (2013). Tackling climate change through livestock: a global assessment of emissions and mitigation opportunities. Food and Agriculture Organization of the United Nations (FAO). <http://www.fao.org/3/i3437e/i3437e.pdf>.

⁵ University of Michigan. Center for Sustainable Systems (2017). Carbon Footprint Factsheet. http://css.umich.edu/sites/default/files/Carbon%20Footprint_CSS09-05_e2020_0.pdf.

⁶ Water Footprint Network (2021). Water Footprint of Crop and Animal Products: A Comparison. <https://waterfootprint.org/en/water-footprint/product-water-footprint/water-footprint-crop-and-animal-products/>.

⁷ Carbon Brief (2021). Interactive: What is the Climate Footprint of Eating Meat and Dairy? CarbonBrief.org. <https://interactive.carbonbrief.org/what-is-the-climate-impact-of-eating-meat-and-dairy/>.

⁸ Center for Biological Diversity (2021). Extinction Facts. TakeExtinctionOffYourPlate.com.

environmental goals through procurement, in line with similar efforts regarding recycled and sustainable products and local food. Food procurement has [a significant impact](#)⁹ on the environment and overall municipal emissions and can often be addressed by resolution or executive directive requiring government food purchases to meet specific guidelines.

Making a moderate shift toward climate-friendly menus can make a big difference in advancing sustainability goals, particularly emissions targets. The [2018 Intergovernmental Panel on Climate Change](#)¹⁰ affirmed we have only a decade left to avoid irreversible climate damage. This fact has driven municipalities to include meat and dairy reductions as key factors in emissions reductions and sustainability policies, including the initiatives recommended to add to the Los Gatos General Plan.

For example, Los Angeles, California recently joined the [C-40 cities](#) initiative; and Santa Monica, CA integrated [food procurement commitments](#) into their Climate Action Plan and committed to a 15% reduction of meat and dairy procurement to meet its emissions targets; Carrboro, North Carolina has set [food emissions targets](#) in their Climate Action Plan and set a goal to reduce emissions from consumption by 50% by 2025; Denver, CO found emissions from [food procurement](#) accounted for 14% of overall emissions, nearly equal to emissions from residential energy and gasoline-powered vehicles.

Reducing beef procurement – if replaced with plant-based foods - would immediately help reduce the city’s emissions as beef emits more greenhouse gases than any other food.¹¹ Beef is also a [particularly water-intensive process](#) that depletes vital watersheds, from the Colorado River to local waterways.¹² Thus, reducing beef procurement also supports water conservation goals. Given California’s drought, wildfires and extreme weather, municipalities must do what they can to support water-saving efforts.

Cities and townships must strive to mitigate the emissions associated with municipal operations. Increasing support for local produce growers will also improve engagement with farmers markets and local food hubs, bringing economic benefits to your community. Similarly, increasing access to healthy, climate-friendly foods with city-supported neighborhood-based community gardens bring equitable solutions for those who lack access to healthy, sustainable foods.

Sustainable food policies can [increase climate resilience, help eradicate poverty](#)¹³, improve public health and equity, and [protect biodiversity](#).¹⁴ The urgency of these issues and the health of the planet demand action to transform unsustainable food systems.

Sincerely,

Jennifer Molidor, Ph.D.
Senior Food Campaigner
Center for Biological Diversity
BiologicalDiversity.org

⁹ United Nation System Standing Committee on Nutrition (2017). Sustainable Diets for Healthy People and a Healthy Planet. <https://www.unscn.org/uploads/web/news/document/Climate-Nutrition-Paper-EN-WEB.pdf>.

¹⁰ Intergovernmental Panel on Climate Change (2018). Special Report on Global Warming of 1.5c. <https://www.ipcc.ch/sr15/>.

¹¹ Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

¹² Richter, B. (2020). Water Sustainability and Fish Imperilment Driven by Beef Production. *Nature Sustainability*. <https://www.fs.usda.gov/treearch/pubs/59918>.

¹³ Smith, P. (2012). “Climate Change and Sustainable Food Production.” Cambridge University Press. <https://www.cambridge.org/core/journals/proceedings-of-the-nutrition-society/article/climate-change-and-sustainable-food-production/DE02043AE462DF7F91D88FD4349D38E7>.

¹⁴ Food and Agriculture Organization (2010). Sustainable Diets and Biodiversity. <http://www.fao.org/3/i3004e/i3004e.pdf>.

Supporters of Adding Plant-Based Education to Los Gatos General Plan 2040					
Name, Last	Name, First	Position / Affiliation	Address / Town Area	Letter to Jennifer	Comments
Community and Business Leaders of Los Gatos					
Albright	Karla	Together We Will/Indivisible Los Gatos	Los Gatos	x	
Arroyo	Kevin	Pinehurst Community Garden organizer	Los Gatos	x	Great idea and I support this plan!
Brown	Elisabeth	Educator	Los Gatos		I am a teacher in town. I'd love to incorporate any lessons into my curriculum. I also lead student council and would be willing to organize an assembly.
Chan	Wendy	Business owner: Tai Zhan Plant-Based Microbakery	Los Gatos		
Goetz	Alicia	Owner, Los Gatos Theatre	Monte Sereno		
Hertan	Peter	Vice President, Los Gatos-Saratoga Union High School District Board			
Iyar	Rupar	Owner, Pura Wellness; philanthropist	Los Gatos		
Montonye Reese	Laura	Agriculture Fairness Alliance; Vegan Justice League	Los Gatos		
Moore	Rob	LG Anti-Racism Coalition; Plant-Based Advocates	Los Gatos		
Owens	Heidi	Community leader	Los Gatos		
Preville	Bruce	CERT Leader, Los Gatos	Los Gatos		
Romano	Andrea	Owner, Centonove Restaurant	Los Gatos		
Spargo	Alicia	Outreach Coordinator, Los Gatos Anti-Racism Coalition	Los Gatos		
Residents of Los Gatos					
Aidi	Karen		Los Gatos	x	
Anji	Roberto		Los Gatos	x	
Arienzo	Wendy		Los Gatos		
Arroyo	Frank		Los Gatos		
Arroyo	Susie		Los Gatos		
Bagatelos	Mary Ann		Los Gatos		
Balijepalli	Priya		Los Gatos		
Balakrishnan	Jeyendran		Los Gatos		
Barden	Ben		Los Gatos		
Barden	Sue		Los Gatos		
Barnett	Kaitlyn		Los Gatos		
Bayne	Daphne		Los Gatos		
Bernholz	Malte		Los Gatos		
Biller	Jason	Physician	Los Gatos		
Bolen	JP		Los Gatos		
Bolen	Rachel		Los Gatos		
Booth	Sandra				
Bora	Anita		Los Gatos	x	
Bosworth	Mary Ann		Los Gatos		
Boyd	Sandy		Los Gatos		
Brzak	Lukas		Los Gatos		

Burkhart	Chris		Los Gatos		
Bz	Linda		Los Gatos		
Cao	Xuong		Los Gatos		
Cappon-Javey	Maureen		Los Gatos		
Carol	Amy		Los Gatos		
					I support putting into the General Plan a plant based education program. There are several benefits from such a program, including potentially better general health and a healthier air quality in our community from consuming less meat, i.e., raising fewer animals that contribute to the increase of methane gas. I think this program would be very good for our community and far beyond it.
Carpio	Virginia		Los Gatos 95032		
Chavez	Vana		Los Gatos		
Christensen	Beverly		Los Gatos		
Christensen	John				
Cisneroz	Diane Larson		Los Gatos		
Clark	Kylie		Los Gatos		
Corini	Tamara		Los Gatos		
Dai Biller	Jenny	Physician	Los Gatos		
Davies	Tiffany	Physician	Los Gatos		
Davies	Mark	Physician	Los Gatos		
De Cesare	Anne Marie		Los Gatos		
De Louraille	Karen		Los Gatos		
Czinski	Laura		Los Gatos		
Deak	David		Los Gatos		
Dempsey	Caroline		Los Gatos		
DeMaria	Dawn		Los Gatos		
Dickinson	Ilene		Los Gatos		
Dickinson	Roger		Los Gatos		
Dillehay	Kristine		Los Gatos		
Dreiger	Jeannie		Los Gatos		
Dreher	Diane		Los Gatos		
Erdengiz	Sevgi		Los Gatos		
Evjenth	Gail		Los Gatos		
Evjenth	Tim		Los Gatos		
Fletcher	Lisa		Los Gatos		
Fox	Audrey		Los Gatos		
Fox	Larry	Owner, Valet Custom Cabients	Los Gatos		
Frager	Bernadette		Los Gatos		
					Pollution and waste in Factory Farms; use of land for meat production, killing of wildlife and use acres of land to support livestock; nets in the ocean killing millions of sea creatures; all contribute to climate change. Reducing meat consumption is something we all can do. Please place plant based education in the general plan. It is the right thing to so.
Freedom	Rea		Los Gatos		
Garland	Lynette		Los Gatos	x	
Gibbons	Maria Eugenia		Los Gatos		
Goldberg	Kristine		Los Gatos		
Goldberg	Michael		Los Gatos		
Griffin	Julie		Los Gatos		

Gupta	Reeta		[REDACTED] Los Gatos		
Gummow	Todd		[REDACTED] Los Gatos		I support plant based diet education programs
Hamilton	Georgia		[REDACTED]		
Hamilton	Scott		[REDACTED]		
[REDACTED]	[REDACTED]		[REDACTED] Los Gatos		
Hassoun	Joe		[REDACTED] Los Gatos		
Haylock	Archna		[REDACTED], Los Gatos		Yes we need more options at school and at local restaurants.
Hemmis	Matt		[REDACTED], Los Gatos		
Hendry	Dan		[REDACTED], Los Gatos		
Hendry	Wendy		[REDACTED], Los Gatos		
Hinsche	Danielle		[REDACTED], Los Gatos	x	I am a resident of Los Gatos and I support the addition of a plant-based education program in the Town's 2040 General Plan.
Hiroshima	Kevin		Los Gatos		
Hojjat	Sara	District Leader Volunteer- California Congressional District 18. Member of Plant-Based Advocates	[REDACTED] Los Gatos	x	
Honorio	Mia		[REDACTED] Los Gatos		
Houghton	John		[REDACTED], Los Gatos		
Howe	Chelsea		[REDACTED], Los Gatos		
Hsieh	Cynthia		[REDACTED], Los Gatos		I would love to see a vegan, zero waste restaraunt in Los Gatos.
Huang	Jenny		[REDACTED], Los Gatos		
Hussey	Jacklyn		[REDACTED], Los Gatos		Anything that will help save our planet I will definitely support!
Ingle	Lori		[REDACTED], Los Gatos		
Isaacs	Varily		[REDACTED], Los Gatos		
Iyer	Harish		Los Gatos		
Javey	Shahram		[REDACTED], Los Gatos		
Jog	Chetan		Los Gatos		
Johnson	Karen		[REDACTED], Los Gatos		
Johnston	Jan		Los Gatos		
Juhl	Linda		[REDACTED] Los Gatos		Thank you
Kamali	Kristine		[REDACTED], Los Gatos		
Karavelioglu	Sevil		[REDACTED], Los Gatos		
Keating	Kathleen		[REDACTED] Los Gatos		I believe it is to the best interest of Los Gatos to establish a plant based education program at the high school and for the general public. I believe many of our children and others need to know that plant based eating is good for their bodies if done right. Please provide funding for an education for plant based eating. Please sponsor cooking classes as well.
Keller	Lisa		[REDACTED] Los Gatos, CA 95033		Love it. Yes!!
Koch	Charlene Foster		[REDACTED] Los Gatos		I would LOVE to see this happen!! So very needed.
Kollu	Badrinath		[REDACTED] Los Gatos		
Kurlin	Carolyn		[REDACTED] Los Gatos		
Kurlin	Gregg		[REDACTED] Los Gatos		
Kurtz	Karen		[REDACTED]		
Lasso	Alberto		[REDACTED] Los Gatos		
Lawton	Ann		[REDACTED], Los Gatos		YES!
Lazzarino	Dominic		[REDACTED], [REDACTED] Los Gatos		
Le	Denise		[REDACTED] Los Gatos		I'm not a vegan or vegetarian but I'd love to incorporate more plant based and less meat protein to my diet.
Leeds	Felice		[REDACTED], Los Gatos		
Lesko	Camille		[REDACTED], Los Gatos	x	Cooking classes are a great idea!

Levine	Joshua		Los Gatos	x	
Levine	Marni		Los Gatos		
Lewis	Jessica		Los Gatos		Education is key for this important information. Thanks to all involved in making this happen!
Lammers	Victoria		Los Gatos		Need more vegetarian places/options
Liu	Andre		Los Gatos		
Liu	Calista		Los Gatos		
Liu	Gabriela		Los Gatos		
Lockman	Juliana		Los Gatos		
Lorig	Glenn		Los Gatos		
Lorig	Sue Ann		Los Gatos	x	
Lowe	Debbie		Los Gatos		
McKinnon	Skyler		Los Gatos		
Madduri	Sandeep		Los Gatos		
Malhotra	Priti		Los Gatos		
Malhotra	Neeraj		Los Gatos		
Mandurrago	Gloria		Los Gatos		A fantastic idea!
Margolis	Sonya		Los Gatos		
McGill	Alex		Los Gatos		
Menhardt	Trixi		Los Gatos		
Mordaunt	Joshua		Los Gatos		
Newlin	Kerry		Los Gatos		
Mager	Nan		Los Gatos		
Mano	Robin		Los Gatos		
Martins	Rosilene		Los Gatos		
Meinhardt	Suzanne		Los Gatos		
Miramontes	Emily		Los Gatos		
Morley	Eric		Los Gatos		
Nguyen	Kim		Los Gatos		
Niederauer	Tricia		Los Gatos		
North	Pamela		Los Gatos	x	
O'Connor	Rebecca		Los Gatos		
O'Toole	June		Los Gatos		
Park	Monica		Los Gatos		
Parker	Dana		Los Gatos		
Parsons	Daniel		Los Gatos		
Parsons	Debbie		Los Gatos	x	
Parsons	Jackie		Los Gatos		
Parsons	James		Los Gatos		
Parsons	John		Los Gatos		
Patel	Minal		Los Gatos		
Rai	Vivek		Los Gatos		Yes, I am in for plant based projects.
Raad	Mona		Los Gatos		
Raad	Ellie		Los Gatos		
Ramaswamy	Vinay		Los Gatos		
Ram	Amrith		Los Gatos		
Ramesh	Mythri		Los Gatos		Made verbal comments at GPAC
Reese	Dirk		Los Gatos		

Rennie	Isabella		[REDACTED], Los Gatos		
Reyna	Melody		[REDACTED] Los Gatos		
Reyna	Orlando		[REDACTED] Los Gatos		
Rhine	Molly		[REDACTED], Los Gatos		
Richter	Jessica		[REDACTED] Los Gatos		
Riley	Kate		[REDACTED] Los Gatos		
Rittenhouse	Simone		[REDACTED] Los Gatos		
Rovin	Lynne		[REDACTED], Los Gatos		
Rovin	Stuart		[REDACTED], Los Gatos		
Rubio	Karen	CERT volunteer	[REDACTED] Los Gatos	x	Made verbal comments at Town council meeting for 2040 General plan
Rubio	Fred		[REDACTED], Los Gatos		
Rubio	Erik		[REDACTED] Los Gatos		
Rude	Christina		[REDACTED], Los Gatos		
Ry	Regina		Los Gatos		
Sand	Gretchen		[REDACTED], Los Gatos		
Sardana	Manan		[REDACTED] Los Gatos		
Sarkar	Prasenjit		[REDACTED] Los Gatos		
Sathyamurthy	Shreelatha		[REDACTED], Los Gatos		I strongly support this initiative.
Schirmer	Lisa		Los Gatos		
Schwartz	Jan		[REDACTED], Los Gatos		
Shah	Swati		[REDACTED], Los Gatos		I support the local effort!
Shoff	Sue		[REDACTED]. Los Gatos 95032.		
Seshadri	Sruba		Los Gatos		
Smith	Angie		[REDACTED], Los Gatos		
Smith	Rucy	Climate Reality presenter and activist	[REDACTED], Los Gatos		
Sneddon	Laura		[REDACTED], Los Gatos		
Snyder	Stephen		[REDACTED] Los Gatos		
Srinivasan	Kiran		[REDACTED] Los Gatos		
Starov	Vladimir		[REDACTED] Los Gatos		I fully support this worthy cause!
Stillinger	Kelsey		[REDACTED] Los Gatos		Would love to see more emphasis on plant-based diet - through restaurants, education, community garden, etc.
Streicker	Robin		Los Gatos		
Tompkins	Liz		[REDACTED] Los Gatos		
Venkatesan	Arun		[REDACTED] Los Gatos		
Venkatsubramanyan	Shailaja		[REDACTED] Los Gatos	x	Made verbal comments at GPAC
Von Luehrte	Missy		[REDACTED] Los Gatos		
Vuckovich	Melissa		[REDACTED] Los Gatos		
Wade	Christopher		[REDACTED] Los Gatos		
Wade	Lisa		[REDACTED] Los Gatos		Gave verbal comments at GPAC
Wade	Lucas		[REDACTED] Los Gatos		
Wade	Stephen		[REDACTED] Los Gatos		
Wade	Charles	Audobon Society Lifetime Achievement Award	[REDACTED] Los Gatos	x	
Wales	Pamela	CERT; Animal search and rescue disaster response team; animal sanctuary volunteer	[REDACTED] Los Gatos		
Walker	Kelsey		Los Gatos [REDACTED]		
Waters	Michelle		Los Gatos		
Wentzien	Erin		[REDACTED] Los Gatos		
White	Tony		[REDACTED] Los Gatos	x	

White	Hillary		Los Gatos	x	
Willey	Kathleen		Los Gatos		Gave verbal comments at GPAC
Willey	Mark		Los Gatos		
Willing	Lara		Los Gatos		Plant based eating is part of a long term solution.
Wilson	Beth		Los Gatos		
Yannoni	Mike		Los Gatos		
Yosfee	Hanley		Los Gatos		
Zilka	Stephanie		Los Gatos		Let's join the scientific community and educate people about the importance of plant based living!!! It's vital to the survival of our planet and species!!!
Supporting Organizations		and Politicians			
Plant-Based Advocates of Los Gatos http://www.plantbasedadvocates.com/					
TWW/Indivisible-Los Gatos https://www.twwlg.org/					
Center for Biological Diversity https://www.biologicaldiversity.org/					Provided Written testimony on behalf of our proposal
Acterra: Action for a Healthy Planet https://www.acterra.org/					
Eat for the Earth	(Based in Santa Cruz)				
https://www.eatfortheearth.org/					
SAFE Worldwide https://www.safeworldwide.org/ (Based in Monte Sereno)					
Green Monday USA https://greenmondayus.org/					
Factory Farm Awareness Coalition https://www.ffacoalition.org/					
A Well-Fed World https://awellfedworld.org/					
Physicians Against Red Meat		https://pharm.org/			
Other Community and Business Leaders					
Hicks	Alison	City Council Member of Mountain View			
Ramirez	Lucas	Vice Mayor of Mountain View and Council Member			
Brook	Dan	Professor at SJSU; author; environmentalist		San Jose State University	
Gurunathan	Mohan	Environmentalist; designed Mountain View plant-based outreach program		Mountain View, CA	
Love	Beth	Environmentalist; Founder of Eat for the Earth, a Santa Cruz-based group promoting plant-based diets for sustainability		Santa Cruz, CA	
Mackey	Mary	Actress; Model; SAG BookPals program (reading to children in homeless shelters) and LIFE (Living in Freedom Everyday) Program, teaching life skills to inmates		San Jose	
Middlesworth	Linda	Owner, V-Dog; health coach		Sacramento, CA	

Sehgal	Tony	Documentary Filmmaker	Saratoga, CA		
Support from Neighboring Residents					
Adalja	Anish		██████████ San Jose		
Anand	Monico		██████████ San Jose		
Balachandran	Jackie		██████████ San Jose		As a vegetarian of 17 yrs and a registered nurse, I strongly support this plant-based education program because I believe it will help improve the health of members in our community.
Berlinberg	Jacqueline		██████████ Monte Sereno		
Bengt	Amanda		San Jose 95124		
Bevard	Mariah		██████████ Monte Sereno		
Castro	Jennifer		██████████ San Jose		I support adding an education component to the Los Gatos 2040 plan which would educate citizens about plant-based foods.
Chaykin	Lori		██████████ Monte Sereno		
Chugh	Rahul		██████████ San Jose		
Duguma	Jemanesh		██████████ Campbell		
East	Rowena		San Jose		
Emerson	Ziba		██████████ San Jose		Good job.
Giacomini-McDonald	Cathy		Monte Sereno		
Guh	Teresa		██████████ Monte Sereno		
Harrold	Kat		██████████ Campbell		Thank you for this, I frequent Los Gatos so this would be great to see. Also I believe in the power of empowering our local farmers, and the more money we can get them, the better for everybody locally. Back to our roots! Better for the planet and better for everyone
Isis	Dawn		██████████ Campbell		Though I don't live IN Los Gatos, I hope my support will indicate interest in this important issue in the wider area, & that Los Gatos may become a model for addressing it.
Jain	Beena		██████████ San Jose		
Kinger	Amit		██████████ San Jose		I support the educational program.
Lambert	Jennifer		██████████ Monte Sereno		
Lanzl	Linda		Monte Sereno		
Matar	Elizabeth		██████████ Monte Sereno		Thank you! Yes!!!
Matar	Lisa		██████████ Monte Sereno		Thank you! I'm completely in for this!!
Mesler	Michelle		██████████ San Jose		
Mulchandani	Mukesh		██████████ Campbell		Moving to Los Gatos soon!
Petroff	Patrice		██████████ Monte Sereno		
Ramirez	Gustavo		██████████ San Jose		We need more plant based food options! The meat industry is cruel and unsustainable.
Renson	Kellee		██████████ Campbell		
Shearer	David		██████████ San Jose		Yes need more veggie places to eat
Stolberg	Robb	Environmental Education: Veggielution, Walden West	██████████ San Jose		I support this effort
Strecker	Robin		██████████ Monte Sereno		
Thakur	Smita		██████████ Saratoga		I have been plant based for the last two years. It has made me healthier and it's the best thing for the planet. Would love to have more people join plant based way of life.
Woodhouse	Dori		██████████ San Jose		

From: vacarpio

Sent: Thursday, September 16, 2021 1:27 PM

To: Jennifer Armer

Subject: Plant Based Nutrition Education in the Town's 2040 General Plan

Hello, Jennifer,

I am a resident of Los Gatos and I am writing to express my support for funding a plant-based education program (including speakers, videos, vegfests, cooking and nutrition classes, etc,) in the Town's 2040 General Plan.

I am 82 years old and a very healthy resident of Los Gatos since 1974. I am not a vegetarian or vegan but I do eat a lot of fruits and vegetables and consume far less meat than I used to. Why? It's because I concluded several years ago that obesity and malnutrition are all around me, not from lack of food but from lack of understanding what plant based nutrition is and therefore eating improperly, I see many overweight children and adults streaming out of MacDonald's and Costco munching on hot dogs and chips and practically begging for a stroke or heart attack. To their credit, both these food outlets began offering healthy salads and low carbohydrate selections several years ago; but I am sure that they sell far more french fries than salads.

The other concern I have is connected to climate change and global warming partially resulting from raising so many livestock and using toxic chemicals to produce perfect produce. By being part of the overall effort to promote more plant based awareness, our residents will benefit with healthier eating preferences and, in turn, help our planet reduce its environmental damage.

There are many lovely children growing up in my neighborhood and my wish for them is to become healthy adults; and to appreciate, as I do, their wonderful Town and the efforts of its leadership to support good health in our community.

Thanks,

Virginia Carpio

On 9/18/21, 7:17 PM, "Sonny Stearns" wrote:

Sent from my iPad. I imagine a general plan can be updated. Get beyond not wanting 17 widened in Los Gatos. If that were widened with another lane , for us who live in Los Gatos life would be improved on the weekends. Also, let's quit with the WOKE banners, look ,listen, change , bla, bla. I'll choose my own philosophy. Just put up Leo and Liona. These new ones are offensive. Fellow Stearns, DDS.

From: Matthew Benson
Sent: Saturday, September 18, 2021 7:53 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: consider restoration of santa cruz - los gatos railway

Hello!

I have reviewed the 2040 plan and have a suggestion.

I have lived in Los Gatos since i was born in 1999, And over the past 2 decades I have seen a considerable increase in traffic generated from highway 17.

A possible solution would be to rebuild the railway between los gatos and santa cruz as a mixed use freight and public transit project that will benefit all residents.

If we actually care about the environment trains are the way to go. they are by far the most energy efficient terrestrial transportation method.

asphalt, tires, batteries, and lower electric car and truck lifespan will create greater pollution in the environment. everyday you can see 30+ year old gas cars still in use, compared to modern electric teslas which can't last 5 years because of impossible to service/expensive (and toxic) electronics totalling the vehicle.

a typical train line can carry 50,000 people per hour compared to 2,500 people in a single freeway lane! train wheels and tracks are made of non-toxic steel compared to asphalt and tires. 1 train engine can replace hundreds of electric and gas vehicles, not only lowering manufacturing and running pollution, but also opening our local roads for more bikes and pedestrians.

I look forward to seeing how our community develops over the next 2 decades!

sincerely,

Matt Benson

From: tony alarcon

Date: Saturday, September 18, 2021 at 8:44 PM

To: Matthew Hudes

Subject: Re: Shaping the Future of Los Gatos

Mathew

This direction and verbiage this council is using makes me wish I had run for council. Who chose these words??? Unbelievable.

“In addition to the State-mandated elements, the Los Gatos Draft 2040 General Plan includes elements that address Racial, Social, and Environmental Justice, Mobility, Public Facilities, Services and Infrastructure, Environment and Sustainability.”

Taking the quote into deeper context it would mean racial justice, social justice, and environmental justice is being planned into the 2040 GP. That is NOT the roll of the council.

This is the biggest batch of RACISM I’ve seen to date in our town.

From a housing perspective the council should educate themselves on the demographics of home purchases over the last 8+ years. The historical demographics of Los Gatos are now the minority in acquiring real estate!!!

Los Gatos has always been an affluent town. It is being ruined by lobbyists, CA State Legislators, and those with political aspirations sitting on our town council.

The current town council has already proven their lack of vision and experience in the outcome of the Dittos Lane density and “Buy Right” designation given to the N40. The proposed 2X housing growth is a strategy to GIVE the developer of Phase II N40 the increased density, bait and switch, they are requesting.

This is all disgusting and disheartening. Personal social agendas should have been left outside the chamber.

From: Robert Ober
Sent: Sunday, September 19, 2021 8:55 PM
To: Matthew Hudes
Cc: GP2040 <GP2040@losgatosca.gov>
Subject: Re: Shaping the Future of Los Gatos

Thank you so much Matthew

I am chipping away at reading these documents. I have some feedback, but it will take well past Monday to read and understand. Top line ? I am not that happy with the *rhetoric*, and many of the goals in the document. I am certainly not happy that the state has quietly done what voters rejected, and now we've lost much of the control that makes Los Gatos special. Apologies that most of what I write so far is negative. I will say, a lot of what I have read is fundamentally good.

General thoughts:

- starting with " Racial, Social, and Environmental Justice Element" is not appropriate. Of the sections, that should be the least in prioritized order of the topics, for it should flow from resolving the others.
 - I would be happy to have a dialog on why this is inappropriate for a town council in the midst of a megapolis
 - How does the town council address East San Jose demographics, or Cupertino's ? How about Oakland ? What about East LA ?
 - are whites citizens ? Americans or naturalized ? immigrants and tech workers ? do you care ?
 - I could not afford to buy in Los Gatos until I was 50 years old. Its the Bay Area, and its expensive
 - none the less - we rent a townhouse to people in Los Gatos for less than equal rate in San Jose
 - Why less ? People often live where they work, or live near family and friends
 - Worth pointing out that rental market in Los Gatos is soft right now - We'll probably sell it
 - I can not, will not take this "justice" element seriously when we do live in literally the most diverse place on the planet
 - Seriously. I travel the world and the country. How will you make our area more diverse ?
 - Do everything else right in running the town, and you will get equity and justice as a byproduct
 - We sold our house before moving to the bay area 30 yers ago, but could not afford anything but an apartment
 - after 5 years of saving, we bought a house in San Jose that we could afford (just)
 - after 5 more years we moved to a better house in San Jose
 - after 7 more years we bought a 2 bedroom town house in Los Gatos for the schools
 - after 5 more years we bought a decaying house in los gatos (then it was county), staying for the schools
 - and after 5 more years we tore that down and rebuilt
 - Why couldn't I have owned a nice home in Los gatos 30 years ago? Thats not equitable, is it ? Not just ?
 - Bay area has been this way for 40 years, and Los Gatos is one of the nicer places.

- People can afford where they can afford. They live close to work if they can. They sacrifice and live in dumps if they want to make tradeoffs for schools or town (we did). Or they don't. Its their choice
 - My sister in law's family moved away rather than spend all their money on housing and high cost everything
 - Honestly - I don't really want you helping the homeless
 - we used to live in the Rose Garden in San Jose, and many friends are still there. There are a lot of homeless, and its terrible
 - I tried helping, but it turned out 99% of them didn't want my help
 - with them came drugs, drug dealing (we helped cops with several busts, some very bad people arrested), trash, petty crime, the occasional assault. Really. Why would you want to entice homeless to come to Los Gatos ?
 - How will you address clean and safe water, at the same time as you make housing for more people, but rely on San Jose Water ? These are in conflict unless you plan on getting more water resources
- How will the state SB9 SB10 affect the Land Use / Density zoning. It seems to me it radically changes it
 - It seems as though missing middle housing can dramatically impact neighborhood noise, traffic, parking, etc.
 - I really worry about my street as gentrification happens
 - will you require fewer parking spots than housing units as is occurring around the bay area ? Some sections hint at that
 - if so - what will you do about public transportation ? and who will pay for it ? and how will it connect ?
 - Will limits to cutting trees still hold if someone builds one of these ?
 - how will limits to square foot vs land be equitably balanced for individual home owners ?
 - What about shadow rules ? view obstruction ?
 - Why do we want dense urban concepts in what is a beautiful suburban place with a tiny downtown ? (Pantheon Sorbonne University in Paris)
 - all my friends in Europe HATE the dense urban living they are forced to - the handful who can have moved to surrounding towns
- "addressing climate change" at a town level seems ambitious
 - for good or bad, this is still largely a commuting community
 - but most things related to climate seem to be generally good
 - "ENV-8.3" sounds ominous, but is unclear to me what it means.
 - greenhouse and particulate emissions in california would have been better off focussing on forest management rather than car emissions
 - but here you are again focussed on it
 - "ENV-8.9" requires better walkways for kids, especially in areas that were unincorporated and have no sidewalk.

Rob Ober, Shady View Ln.

From: Phil Koen
Sent: Sunday, September 5, 2021 8:53 AM
To: Joel Paulson
Cc: Laurel Prevetti; Robert Schultz
Subject: Follow up question

Joel,

Thank you for your reply. Please see the question which is circled in red. I am not sure I understand your response.

I understand that SB 9 places limitations of adding ADU's on subdivided lots, however my question is what is the benefit of increasing the density of LDR zoned lots from 1-5 du/acre to 1-12 du/acre assuming SB 9 is law (which will allow sub-division by-right) and the existing ADU law which allows up to 2 ADU's on a LDR zoned property? What does the Town gain from the perspective of creating more opportunity to increase the supply of housing by increasing densities? Can you please be specific as to the impact on LDR land use. What type of housing could be built as a result of the LDR density increase (ignoring ADU's).

My second question is why is the 2040 GP being approved before the HE is updated? Other cities, such as Menlo Park, are updating the LUE, HE, safety, environmental justice, zoning ordinance and map simultaneously. In addition MP is submitting a preliminary HE to HCD to get early feedback on the HE draft. After all of that is completed, the DEIR process is started.

It appears LG has bifurcated the process, and is seeking GP adoption before a new HE which creates a concern over internal consistency. For example, how can we adopt the 2040 GP before we are told exactly how many affordable housing are being planned for out of the 3,738 new units?

I would greatly appreciate an explanation as to why the bifurcation of the HE is good process and the Staff's thinking behind doing this. I'll send you a copy of MP process so you have an understanding of how that city is updating their GP.

Thank you.

Phil Koen

From: Phil Koen
Sent: Sunday, September 5, 2021 9:18 AM
To: Joel Paulson; Laurel Prevetti
Cc: Robert Schultz
Subject: Menlo Park -Housing-element-update - plan.pdf

Joel,

MP is pursuing a very different process in updating their 2040 GP. Why doesn't the Town update the HE at the same time as the LUE so the public has a complete understanding of all proposed changes and impacts? Note that MP just launched their update process as of May 2021.

Phil Koen



STAFF REPORT

City Council

Meeting Date:

5/25/2021

Staff Report Number:

21-115-CC

Regular Business:

Receive an overview of the housing element update project and provide feedback on the goals and objectives, roles and responsibilities of the various reviewing and decision-making bodies, and the community engagement and outreach plan

Recommendation

Staff recommends that the City Council receive an overview of the housing element update project and provide feedback on the following:

- Goals and objectives (Table 1),
- Roles and responsibilities of the various reviewing and decision-making bodies (Table 2), and
- Community engagement and outreach plan (Tables 3 and 4.)

Policy Issues

The components of the housing element update will consider a number of land use, environmental and housing policies.

Background

Under California law, every jurisdiction in the State is required to update the housing element every eight years and have it certified by the California Department of Housing and Community Development (HCD.) The Housing Element is one of seven State-mandated components of the City's General Plan, and requires local governments to adequately plan to meet their existing and projected housing needs for all income levels. The City Council last adopted the housing element, which is included as Attachment A, in April 2014 and covers the planning period from 2015-2023. The next cycle's deadline for jurisdictions in the Bay Area, which is set by HCD, is January 2023, and covers the planning period for 2023-2031. This is also known as the sixth housing element cycle.

Recognizing the complexity, importance and time-intensive nature of the housing element process and its related work, the City Council unanimously supported the initiation of the housing element as one of its top five project priorities for fiscal year 2020-21 on August 18, 2020. The City Council has continued to express support for the housing element as a top priority, most recently during its discussion on goals and priorities April 20, 2021.

The housing element must be consistent with the City's general plan and updated for compliance with State law and include City policies, strategies, and actions to facilitate the construction of new housing and preservation of existing housing to meet the needs across all economic levels of the City. The City's anticipated regional housing need allocation (RHNA) for the next planning period is approximately 3,000 units, which is a 358 percent increase from the last housing element cycle. Menlo Park is not alone in seeing a large increase in its housing allocation. The RHNA is still considered a draft, although staff does

not believe the numbers will substantially change with the final adoption by the Association of Bay Area Governments anticipated in late 2021.

Analysis

Project components and timeline

On March 23, 2021, the City Council selected the M-Group to lead the City's housing element update project over the course of the next 18 months. The project is complex and will consist of the following main components:

- Implement a robust community outreach process that will be informed by the Community Engagement and Outreach Committee (CEOC);
- **Update the housing element**, including addressing affirmatively furthering fair housing (AFFH) and other State mandates, which will require the City to **increase the housing supply and the mix of housing types**, tenure and **affordability level** and take meaningful actions to combat discrimination and replace segregated living patterns with integrated and balanced living patterns;
- **Amend the land use element, the zoning ordinance and/or rezone property to demonstrate compliance with the City's RHNA;**
- **Develop an environmental justice element to advance equity and address potential environmental health risks in the City;**
- **Update safety element to address climate adaptation for compliance with State law; and**
- **Prepare a fiscal impact analysis (FIA) and environmental impact report (EIR) to inform the public and decision-makers of potential fiscal and environmental impacts of the project.**

Given the extent of the work and the mandated deadline, **much of the work on the four different general plan elements will happen concurrently.** The project will be fast-paced, but there will be multiple opportunities for public, Commission and City Council feedback and check-ins during the key milestones. Attachment A includes a graphic timeline that shows a general overview of the community workshops, activities and meetings during the process. Background and data collection, including stakeholder and focus group meetings, and broader community outreach and education will be happening in the coming weeks and months with the second half of the timeline more focused on the technical studies and refinement of the documents.

There are a number of requirements that must be met in order for HCD to certify a housing element. One of the key components of the housing element update is **the site inventory and analysis to demonstrate that the City can meet its RHNA.** The City's land use strategy is anticipated to involve both a mix of rezoning of sites as well as program changes such as zoning ordinance amendments that may modify existing land use regulations and/or create new zoning districts. Site selection for rezoning will require the City to take a holistic view and determine where additional housing can be accommodated throughout the City. There are a number of potential strategies to consider, **from looking at existing development in the pipeline, to conversion of commercial zoning to mixed-use, to intensification of sites near transit and other services, to further incentivizing accessory dwelling unit production.** The selected combination of strategies, however, will require the City to **rezone land throughout the City.** This will not only be necessary to create a balance of housing across the City, but also to **comply with affirmatively furthering fair housing**, which is a new requirement of housing elements. The City is aware of several potential opportunity sites, including the United States Geological Survey (345 Middlefield Road), SRI Campus (333 Ravenswood Avenue), former Flood School site (321 Sheridan Drive), and a small portion of the Veteran's Affairs (795 Willow Road) site that will be explored, although the latter site would not be formally rezoned as a federally-owned property. During this summer, members of the **public will have an opportunity to provide input on the land use**

strategy options. Both the Planning Commission and Housing Commission will have an opportunity provide feedback prior to the City Council providing direction on the preferred land use approach to be studied in the EIR and FIA.

HCD plays a critical role in reviewing every local government's housing element to determine whether it complies with state law and then submits findings back to each jurisdiction. HCD's review is required before a local government can adopt its general plan. Staff is seeking HCD's review of the draft before the release of the EIR and FIA. Therefore, the draft documents should be completed by late 2021 for review by the Housing Commission, Planning Commission and City Council. While this extra step compresses the timeline, it helps ensure the City is on the right path for certification.

Project goals and objectives

The housing element update process must be inclusive and reflect the values of the City. Staff and the consultant team, collectively referred to as the project team in this staff report, are proposing to approach the project with three overarching and interrelated goals as shown in Table 1. These goals will help achieve the objective of creating and adopting a housing element, environmental justice element, land use element, and safety element update that reflect the values of the community and create a place where all residents can enjoy a high quality of living.

Table 1: Draft project goals	
Project goal	Intent
Create a balanced community	Plan for the whole community in a sustainable, healthy and balanced way.
Focus on affordability	Focus on affordable housing given the difficulty of developing it as compared to market rate housing, and the demand for affordable housing options.
Forward social justice	Work with the community to help ensure participation and access to the process, and take intentional steps that improve equity for historically marginalized people and areas.

All of these goals are with a given expectation that the process will include full disclosure. This means that all relevant information, including the environmental and fiscal impacts, will be shared with the community and decision-makers to provide informed feedback and actions. At its meeting on May 25, the City Council may wish to comment on or include additional goals for the project.

Roles and responsibilities

The project requires the involvement and dedication of many people beyond the project team. Table 2 identifies the general roles and responsibilities of elected, appointed and advisory bodies while the community engagement plan section below discusses the importance of community participation during the process. The City Council, Planning Commission, Housing Commission, City Council ad hoc subcommittee, and the CEOC will each have a formal role in the process. The latter two bodies were specifically formed by the City Council to support this project and will disband following its completion. To help prepare for the meeting of May 25 meeting with the full City Council, the project team met with the City Council subcommittee, comprised of Mayor Combs and City Councilmember Wolosin, to provide a high-level overview of the concepts covered in this report.

Table 2: Housing element update roles and responsibilities

Elected/appointed/advisory body	Role	Tasks and responsibilities
City Council	Final decision-making body	<p>To review and provide guidance on the overall project and key milestones, such as the selection of the preferred land use alternative, in order to successfully complete the project by December 2022.</p> <p>City Council meetings are typically conducted on the second and fourth Tuesdays of each month and items will be scheduled on an agenda as needed. Information items may be provided to keep the City Council informed of the status of the project.</p>
City Council Housing Element Update Subcommittee (ad hoc, Mayor Combs and City Councilmember Wolosin)	Advise on key topics areas:1) project objectives, 2) site selection, and 3) goals, policies and programs for the four different general plan elements, 4) liaising with other agencies/districts, and other topics as necessary where City Council feedback would be beneficial for maintaining the project schedule.	<p>To provide guidance to the project team on key topic areas as needed.</p> <p>Meetings will be scheduled as needed.</p>
Planning Commission	Recommending body to the City Council on the housing element, environmental justice element and safety element and related components.	<p>To review and provide feedback on key project components, including the land use alternatives, draft documents, potential zoning ordinance amendments, as well as conducting meetings on the scope of and draft EIR.</p> <p>Planning Commission meetings are conducted typically on the second and fourth Mondays of each month and items will be scheduled on an agenda as needed.</p>
Housing Commission	Recommending body to the City Council on the housing element.	<p>To review and provide feedback on the housing element, including the land use alternatives, policies and programs, and the draft housing element.</p> <p>Housing Commission meetings are conducted monthly on the first Wednesday of the month and items will be scheduled on an agenda as needed.</p>

Community Engagement and Outreach Commission (CEOC)

Assist the City in ensuring a broad and inclusive community outreach and engagement process, and help guide and provide feedback on the types and frequency of activities/events/meetings and the strategies and methods for communicating with the various stakeholders in the community.

The primary responsibilities of the group would be to:

- Serve as an ambassador of the project and encourage people to participate in the process;
- Help guide and provide feedback on the community engagement plan; and
- Serve as a community resource to provide information to and receive input from the community on matters related to community engagement and public outreach.

The primary responsibilities of each member would be to:

- Identify effective ways to inform and engage the various stakeholders about the project;
- Commit to constructive dialogue, mutual respect and collaboration; and
- Share local knowledge.

Meetings are anticipated to be monthly on Thursday evenings between May 2021 and November 2021, with check-in meetings as needed afterward.

Community engagement and outreach plan

Given the strong emphasis on creating an inclusive process, the City will be providing many opportunities for the community to get involved. The City would like to engage a broad range of stakeholders that will inform key aspects of the project. The CEOC will play an integral role in the project's outreach and engagement effort, making sure that the activities and meetings are appropriate, inclusive, accessible and informative. Receiving input and learning about what is important to the community is just as important as the City providing learning opportunities for what the project is about and why it is important, so the lines of communication are two-way. Change can be difficult, but no change is not an option for successful completion of this particular project. Upon City Council appointments to the CEOC, scheduled for May 25, the CEOC is anticipated to convene May 27 to review the draft community engagement and outreach strategy for the project.

A draft of the community engagement and outreach plan outline is included as Attachment B. The outline provides a high-level overview of the various outreach and engagement activities, including online tools, format, and exercises to broadcast and elicit ideas. Because not everyone learns the same way or has access to the same resources or time to dedicate to multiple meetings, the engagement plan offers a variety of opportunities to engage in the process. The purpose of the outreach is to include and involve as many community members as possible to ensure that all voices are heard and included in the decision-making process. For that reason, the engagement plan will likely evolve and respond to what has and hasn't been effective and circumstances as the process moves forward. For example, currently meetings are to be conducted virtually, but they could evolve into a hybrid format when safe to do so or the proposed project gallery could be delayed or repurposed given in-person, indoor activities and facilities space may be limited in the near term due to COVID-19 restrictions or precautions. The project team is willing to adapt as needed, keeping in mind that preparation and advertisement of meetings will add some limitations to how much change can occur while trying to accomplish the bulk of site selection and policy work in the next 4-6 months. Table 3 summarizes the proposed types of activities and meetings that could occur as part of the outreach and engagement plan.

Table 3: Proposed Community engagement and outreach activities	
Activities and meetings	Description
Focus groups	Meetings designed to garner comments to develop an understanding of local issues and concerns. The targeted groups include housing organizations service providers, renters, homeowners, businesses, and housing developers.
Environmental justice and safety element outreach meetings	Informational and public input meetings to inform the public about the purpose of these elements and receive feedback on areas of concerns.
Individual (and/or group) interviews	Series of meetings to concentrate on smaller groups such as seniors, veterans, people with disabilities. These meetings can be conducted on the phone or in-person.
Partner with local non-profit community groups	Partner with local non-profit community groups to help with the outreach program.
General outreach meetings	General meetings to keep the community informed about the project, to answer questions, and to receive specific comments. These meetings are intended to be interactive. A video on the topic of environmental justice and the safety element is planned.
Pop-up events	Informal way to meet people, share information and garner input (e.g. farmer's markets.)
Project gallery	In-person display that allows people to access information other than on the computer.
Community survey	A method to seek information and feedback from the community on topics related to the project. Information gathered will be used to help inform policies and programs.
Housing introduction seminar	Seminar for community members who would like to understand the housing element components and process in more detail.
Key milestone meetings	Meetings during key milestones such as community vision, site selection, policies and draft documents.

Table 4 below provides a draft timeline of the key upcoming community engagement and outreach activities, pending feedback from the CEOC. The process will be intense, but it's needed in order to prepare the EIR and FIA and meet our December 2022 adoption date. The proposed activities and meetings are expected to help create a project that reflects the community's values. The City Council may wish to provide feedback on the types and frequency of activities and meetings before the project team meets with the CEOC to review the engagement and outreach plan.

Table 4: Upcoming community engagement and outreach schedule	
Date	Activities and meetings
May 27, 2021 (tentative)	CEOC meeting #1
June 2021	Housing introduction seminar
June 2021	Individual/group interviews
June 2021	Focus groups
Summer 2021	Initial outreach on environmental justice and safety elements
June/July 2021	CEOC meeting #2
Mid-summer 2021	Survey
Late summer 2021	Housing Commission - Preliminary land use strategies
Late summer 2021	Community visioning
Fall 2022	Land use alternatives review

The process for the next six months will be intensive and include gathering data and input, synthesizing information and preparing draft documents. To help meet timelines, the project team will need to stay focused. The City Council meeting of May 25 is an opportunity for the City Council to provide feedback to the project team on the following:

- Goals and objectives (Table 1),
- Roles and responsibilities of the various reviewing and decision-making bodies (Table 2), and
- Community engagement and outreach plan (Tables 3 and 4.)

As part of this feedback, the project team is seeking confirmation that the City Council is committed to this work plan. This will help advance the project team's efforts.

Impact on City Resources

On November 10, 2020, the City Council authorized up to \$1.69 million for the preparation of the housing element, including consultant services and partial funding for two full-time equivalents for the fiscal year 2020-21. On March 23, 2021, the City Council authorized the city manager to negotiate a scope of work and fee and execute an agreement with the M-Group for a fee, not to exceed \$982,000.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the

environment. As part of the housing element update process, an EIR will be prepared.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. The City also sent a citywide mailer about the City's housing element update project in early May.

Attachments

- A. Hyperlink – Housing element (2015-2023): menlopark.org/DocumentCenter/View/4329/Adopted-Housing-Element-2015-2023?bidId=
- B. Community outreach and meetings schedule – Process graphic
- C. Draft community outreach and engagement outline

Report prepared by:

Deanna Chow, Assistant Community Development Director

Report reviewed by:

Justin Murphy, Deputy City Manager



Menlo Park Housing, Safety and Environmental Justice Elements Community Outreach and Engagement Outline

The following provides a high-level overview of the project community outreach and engagement activities. The purpose of the outreach is to include and involve as many community members as possible to ensure that all voices are heard and included in the decision-making process.

Individual (and/or group) Interviews

Purpose: The purpose of these interviews is to actively include various groups and individuals into the engagement process. The individual interviews will allow for traditional phone or in-person interviews with community members.

This series of meetings will concentrate on smaller groups such as seniors, veterans and people with disabilities. These meetings will also include talking to people who may not have access to technology and would rather talk on the phone or in-person rather than join a video meeting.

Result: These smaller interview meetings will result in key insights shared by key stakeholders.

Housing Introduction Seminar

Purpose: This meeting will provide information to the community about housing element topics. This meeting is intended to be a general informational meeting.

M-Group will provide a Housing Introduction Seminar online for community members who want to understand housing issues in Menlo Park. This seminar would also outline the major themes of the housing element update including:

- History of racial segregation in planning and housing
- Housing Element Requirements
- Housing Element Schedule
- Community Involvement: Ways to provide comments and suggestions
- Existing Conditions
- Racial and Ethnic Equity

Result: The housing introduction seminar will provide a foundation level of information so that interested community members have the necessary knowledge to participate fully in the planning process.

Partner with Local Nonprofit Community Groups

Purpose: The purpose these partnerships is to work closely with local nonprofits to ensure strong community involvement with the planning process.

As part of the overall outreach approach, we will partner with local nonprofit community groups and seek to involve them in the outreach program.

Result: Effective partnerships with community groups will insure a successful community engagement effort and more community acceptance of the planning effort.



Focus Groups

Purpose: The purpose of these focus groups is to gain insight from a wide variety of perspectives. We will ask about challenges, recommendations, and other concerns they would like to share. This information will be used to describe issues and concerns to address in the Housing Element.

These meetings will be designed to garner comments to develop an understanding of local issues and concerns in various topic areas. The targeted groups will include Housing Organizations, Service Providers, Renters, Homeowners, Businesses, and Housing Developers.

Result: These meetings will help identify pressing issues and community concerns.

General Outreach Community Meetings

Purpose: The purpose of these meetings is to obtain public comments and feedback on any portion of the Housing, Environmental Justice, and Safety Element update.

These outreach meetings will be designed to be interactive meetings to answer questions and garner specific comments from residents. These meetings are intended for any resident to provide comments on any aspect of the Housing Element, Safety Element, Environmental Justice Element and Land Use Strategy. Quick poll questions will be asked during the meetings in order to keep participants engaged and interested. Attendees of these meetings will be given the link to the online survey and given the opportunity to provide dots on maps of where new housing should be planned for. The General Outreach meetings will be ongoing through the plan framework phase.

Result: These community meetings will result in a shared basis of information and an opportunity for interested people to have their voices heard and questions answered.

Project Gallery

Purpose: The project gallery is intended to provide a low-tech forum where people can get information about the project without the need to rely on the internet or technology to obtain information.

M-Group will work with City staff to prepare a gallery in a large conference room in the Library or other publicly accessible space (that is handicap accessible) or large room for the project. This would allow people to come and understand the project without internet access. This Gallery will have maps, a project website kiosk, a survey kiosk, comment box, posters, and project schedule. In addition, educational videos from the housing symposium can be provided. People would be able to come as go as is convenient for them during the hours of operation.

Result: The project gallery will result in wider community outreach and engagement by providing real-world display that is more accessible than computer based methods. Written comments left by participants will be collected and shared with the public and decision makers.



Environmental Justice and Safety Elements Outreach Meetings

Purpose: The purpose of these meetings is to get feedback from people on specific Environmental Justice/Safety Element topics. Meeting with people from disadvantaged communities.

M-Group will hold informational meetings and public input meetings to inform the public of the nature of these elements and feedback on areas of concern from the community. We plan to have an integrated approach where safety and environmental justice will be discussed in conjunction with each other and the Housing Element. These meetings will include climate change, sea level rise, fire safety, local hazards, and creating more equity in land use and planning within the community. An introduction video will be provided to accompany the meetings.

Result: Information gained from these meetings will be utilized to identify and refine issues for inclusion in the Environmental and Safety Elements.

Preliminary Land Use Strategies Descriptions with Housing Commission

Purpose: The purpose of the meeting is to introduce land use strategies to the Housing Commission and the public.

M-Group will provide an overview of site selection and specific strategies to implement the RHNA allocation. We will outline different types of site selection options. The purpose of this meeting is to inform the public and Housing Commission what site selection options can be utilized.

Result: Provide defined housing strategies for the Housing Commission and General Public to consider as part of the site selection process

Community Survey

Purpose: The purpose of the community survey is to get feedback from a wide cross section of the community on a variety of issues and concerns.

M-Group will develop a survey in coordination with City staff to gain information about the community, housing needs, housing related concerns, and issues that may not be readily evident. This survey will be provided in English and Spanish (with other languages upon request). Results of the survey will be available on the website. A gift card drawing will be provided to encourage people to fill out the survey.

The survey will include questions that covers Housing Policy, Environmental Justice, Safety, racial equity, special housing needs, and other housing issues. The survey will be provided in both Spanish and English.

Result: The community survey will provide detailed information on a city-wide scale that can help identify issues of concern and define policy choices for many of the housing, safety, and environmental issues under consideration.

Pop-up Meetings

Purpose: The purpose of these pop-up events is to reach out to individuals as they go about their daily lives into the engagement process. This will allow us to interact with people directly as they visit the booth during the farmers' market.



These pop-ups will be designed to be an informal way to meet people where they are and garner comments in a relaxed setting from residents at events such as the farmers' markets. These meetings are intended for people to provide comments or concerns on any aspect of the Housing Element, Safety Element, Environmental Justice Element and Land Use Strategy. Attendees of these meetings will be given the link to the online survey and given the opportunity to provide dots on maps of where housing should go. This information will help inform the selection of housing opportunity sites. M-Group staff will be available to answer questions from people who visit the pop-up tent.

Result: These pop-ups will result in a wider selection of viewpoints to be heard as the participants are not self-selecting for participation.

Housing Workshop (Housing Placement and Strategies)

Purpose: The purpose of this meeting to receive direct community input on where housing should go.

M-Group will develop and lead a housing meeting that will explain the parameters and policy requirements, including equity and Fair Housing principals, around planning for new housing. This will allow people to provide input on where new housing should be planned for within the city. This meeting will give people the opportunity to indicate preferences for housing units on the various sites with the strategies outlined at the Housing Commission meeting. We will summarize the comments at the end of the public workshop.

Result: This meeting will provide for interested people to learn more about the opportunities and constraints facing the city. This meeting will also allow for questions and answers to make sure people are having their questions answered in real time. Participants will also be encouraged to participate in showing preferences for new housing locations. These results will also be shared at future public meetings.

Vision and Outreach Summary Presentation

Purpose: The purpose of this meeting is to present our findings and draft vision based on the feedback provided by the community.

At the end of the visioning phase, we will provide a vision summary presentation to the public. This will be a summary of the community outreach feedback. At this meeting, we will solicit additional comments and refinement suggestions for the vision.

Result: This activity will provide a common understanding of the vision and goals for the housing, safety and environmental justice elements.

Draft Policy Review Community Meeting

Purpose: The purpose of this meeting is to present our findings and draft policies based on the feedback provided by the community.

At the end of the plan framework phase, we will present draft policies to the public for review. At this meeting, we will solicit additional comments and refinement suggestions for the policy framework.

Result: This meeting will allow the project team to make refinements to goals and policies in response to feedback from community members.



Draft Plan Review Community Meeting

Purpose: The purpose of this meeting is to present our draft plan based on the feedback provided by the community.

At the end of the draft plan phase, we will present the draft plans (Housing, Safety and Environmental Justice Elements) to the public for review. At this meeting, we will solicit additional comments and refinement suggestions for the draft policy documents.

Result: This meeting will allow the project team to make refinements to goals, policies and programs in response to feedback from community members.

Draft Environmental Justice and Safety Elements to Planning Commission

Purpose: The purpose of this meeting is to present our draft documents to the Planning Commission for review and recommendation to the City Council.

M-Group will present the preliminary draft Environmental Justice Element, Safety Element to the Planning Commission for review and comment.

Result: This meeting will allow the project team to make refinements to goals, policies and programs in response to Planning Commission feedback.

Draft Housing Element, Land Use Element, and Municipal Code Update to Planning Commission

Purpose: The purpose of this meeting is to present our draft documents to the Planning Commission for review and recommendation to the City Council.

M-Group will present the preliminary draft *Housing Element, Land Use Element, and Municipal Code Update* to the Planning Commission for review and comment.

Result: This meeting will allow the project team to make refinements to goals, policies and programs in response to the Planning Commission feedback.

Draft Environmental Justice, Safety Element, Housing Element, Land Use Element, and Municipal Code Update to City Council

Purpose: The purpose of this meeting is to get feedback from the City Council.

M-Group will present the preliminary draft *Housing Element, Land Use Element, and Municipal Code Update* to the Planning Commission for review and comment.

Result: This meeting will allow the project team to make refinements to goals, policies and programs in response to City Council feedback.

From: Phil Koen
Sent: Monday, September 6, 2021 2:33 PM
To: Joel Paulson
Cc: Laurel Prevetti
Subject: VMT projected

Hello Joel,

Could you please explain the material increase in VMT per service population when comparing Alternative 3 (high growth) to the 2040 GP? The DEIR is reporting that the projected VMT per service population for the 2040 GP is 38.45, based on an additional 3,738 units and incremental population of 8,971. Alternative #3's VMT per service population is 21.48, based on additional 3,176 units and incremental population of 7,622. The difference in housing units is a very modest 562 units or 17% where-as the increase in VMT per service population is 79%.

The major difference between the two is Alternative #3 includes increased density ranges within identified Opportunity Areas. The 2040 GP does not have any Opportunity Areas. Given the material difference between the two, is it reasonable to conclude that the 2040 GP does not promote internal trip which results in a material shift to vehicle transportation modes which is increasing VMT per service population and GHG? What is the root cause for the massive increase in VMT per service population?

Thank you,

Phil Koen

From: Phil Koen

Sent: Monday, September 20, 2021 8:48 AM

To: Marico Sayoc; Matthew Hudes; Mary Badame; Rob Rennie; Maria Ristow

Cc: Laurel Prevetti; Joel Paulson; Jak Vannada; Rick Van Hoesen

Subject: Agenda Item #1 - Study Session regarding Draft 2040 General Plan - September 20, 2021

Dear Council Members,

Please find attached a comment paper from the Los Gatos Community Alliance regarding the draft 2040 General Plan. We look forward to having an opportunity to further discuss our thoughts with each of you. While the draft 2040 General Plan is a good starting point, we believe substantive changes are required before the 2040 General Plan can be adopted.

Thank you for considering our suggestions.

Los Gatos Community Alliance

“Cities have the capability of providing something for everybody, only because and only when, they are created by everybody” – Jane Jacobs

The General Plan is more than a legal underpinning for land use decisions; it reflects the community’s priorities and values, and it is a vision about how the community will grow in the context of those priorities and values. What makes Los Gatos special is its small-town atmosphere, unique physical setting, history, and vibrant community character that projects the Town as a safe, charming, and aesthetically pleasing place to call home. The desire to grow and expand the Town’s high quality of life is demonstrated by extensive citizen participation in many service groups and community issues.

While residents may disagree over specific issues, they share a common vision of the future of Los Gatos. Residents are resolute in their desire to maintain a high quality of life, celebrating and preserving the character of the Town while embracing change that comes from future needs. This will require a **balanced approach** to planning for growth which is focused on keeping the Town unique, vibrant, and livable on the one hand, while addressing future development in a thoughtful way where residents can have access to affordable housing, employment, transit, and retail services that can meet their daily needs.

It is with this overarching goal of **seeking balance between our history and our future**, in a Town that is almost fully developed, that we offer the following specific comments about the 2040 General Plan.

1. **The 2040 General Plan growth needs to be revised downward to accommodate only the anticipated 6th cycle RHNA required growth of 1,993 units plus a 20% buffer. The 2040 General Plan therefore should reflect a potential buildout of 2,392 new units.**

The 2040 General Plan currently reflects 3,263 new units (excluding hillside development) being added over the next 20 years. This is not supported by any population forecast prepared by DOF or ABAG. The draft 2040 General Plan’s inclusion of this excessive proposed growth in housing has driven material, Town-wide changes in land use designations, zoning densities and lot coverage ratios that are not necessary and would not be required if planned growth was more reasonable and more targeted to produce affordable housing in particular locations that the Town can make attractive to development. We all agree that zoning plans must accommodate future growth and be sufficient to ensure redevelopment is financially feasible. The State of California plans new housing in 8-year cycles. The general plan should reflect this 8-year planning cycle (i.e., 2023-2031) and be amended every eight years when new information and future RHNA allocations become known. This thoughtful approach assumes that incremental change is best and is made only when new information is available.

2. **The center point of the 2040 General Plan must be about creating policies and a mix of mandates and incentives to develop more AFFORDABLE housing in places attractive to development as opposed to simply more housing. When few sites are available and land costs are high, developers will develop land targeting housing at the higher end of the income spectrum.**

Our proposal calls for the development of 1,437 below market rate (BMR) housing units. This is 23% more than the 6th cycle RHNA allocation for BMR, with total housing exceeding the total RHNA allocation by a 20% buffer. By comparison the current draft 2040 General Plan does not commit to any level of BMR housing even though the total units being planned are 64% more than the total 6th cycle RHNA allocation. The Town's historical performance in meeting the BMR RHNA allocation is very poor. For the 5th cycle, the Town so far (there are 2 years left) has achieved only 30% of the BMR target while achieving 84% of the above moderate income housing target. This substantiates the point that, faced with very high land costs and high material and labor costs to build, developers will build housing targeted to higher income levels. Please see the attached "Analysis Housing Units by Income Category" for our plan of housing units by income category. Affordability requirements and proper development incentives (such as inclusionary zoning and density bonuses) can deliver affordable, income restricted housing.

3. **The 2040 General Plan should incorporate the concept of opportunity areas originally outlined in the Preferred Land Use Alternative and approved by the Town Council to concentrate future affordable development where residents can access employment, transit, and retail services within a "walkable distance" (i.e., ½ mile not 1 mile to a destination).**

We believe strongly that new housing should be built where it will best support economic, social, and environmental priorities. The 2040 General Plan abandons the Town Council's previously adopted Preferred Land Use Alternative. Fundamental to this change was a significant increase in market rate housing over what was required by RHNA resulting in a shift of development from opportunity zones to a Town-wide redevelopment strategy. The DEIR showed that this change in redevelopment strategy, coupled with the lack of job growth in Town (new residents are driving to jobs outside of Town), increased VMT and GHG to unacceptable levels that cannot be mitigated. A focused development strategy around accessible opportunity areas will give the Town the best opportunity to meet the affordable housing goals and will also enable the Town to meet the State's goals in reducing VMT and GHG over the next 20 years. A simple rule of thumb is to concentrate affordable housing in high opportunity areas where increased densities would be allowed and make sense.

4. **The Housing Element must be prepared simultaneously with both the Land Use Element, and Community Design Element to ensure internal consistency of all the elements and provide residents with a complete understanding of the 2040 General Plan.**

Currently the draft 2040 General Plan does not include an updated Housing Element but rather incorporates an outdated 2015 Housing Element that was built on the 5th cycle RHNA allocation. There are no substantive changes being proposed to the Housing Element as part of the 2040 General Plan. This is a major failing. Given that the 2040 General Plan defines the policy framework by which the Town's physical and economic resources are to be managed and used for the next 20 years, the General Plan must be complete with all elements updated to ensure internal consistency. Only then should the 2040 General Plan be adopted. It is simply too important a document to be developed piecemeal. Only the Housing Element needs to be approved by the State, and this is not due until 2023. There is sufficient time to prepare a complete, well-integrated 2040 General Plan.

5. A Fiscal Impact Analysis (FIA) needs to be prepared to estimate the fiscal impacts of full buildout of the 2040 General Plan.

New development brings increased demands on local government services and infrastructure, but also generates new revenues for local government through additional taxes and fees. A fiscal impact analysis of these increased expenditures and revenues would help to evaluate whether the proposed development would generate sufficient new fiscal revenues to cover the fiscal costs associated with provision of public services over the 20-year planning horizon. This is also consistent with the General Plan's guiding principles of fiscal stability/responsibility. Without completing a FIA, it cannot be known if the 2040 General Plan is fiscally stable. The 2040 General Plan should not be adopted until the full economic impacts of it are known and publicly disclosed.

We appreciate the opportunity to submit these comments on the 2040 General Plan. We want to also publicly acknowledge the countless hours and hard work that GPAC and Staff have spent on creating the current draft 2040 General Plan. It is a good starting point for sure, but we believe substantive changes are required.

We look forward to having an opportunity to further discuss our thoughts with each Council Member and working constructively together to develop a 2040 General Plan that the Town's residents will overwhelmingly support.

Analysis Housing Units by Income Category
(excludes Hillside Residential)

Income Category	AMI for Family 4		RHNA	5th Cycle		6th Cycle RHNA	2040 GP Draft	LGCA Draft	6th Cycle Surplus	
	Threshold	30% per month		Actual	% of RHNA				2040 GP	LGCA
Very Low - <50% of Area Median Income	\$82,850	\$2,071	201	49	24%	537	537	537	0	0
Low - 80% of Area Median Income	\$117,750	\$2,944	112	3	3%	310	310	310	0	0
Moderate - 120% of Area Median Income	\$181,560	\$4,539	132	81	61%	320	320	590	0	270
>> Subtotal Below Market Rate Housing Units			445	133	30%	1,167	1,167	1,437	0	270
Above Moderate - above 120% of Area Median Income	NA	NA	174	146	84%	826	2,096	955	1,270	129
>>Total Housing Units			619	279	45%	1,993	3,263	2,392	1,270	399

Footnote:

2021 Area Mean Income - Family of 4

\$151,300

From: Kathleen Willey
Sent: Monday, September 20, 2021 3:09 PM
To: Jennifer Armer
Cc: Maria Ristow; Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes
Subject: Public comment for September 20 meeting - Plant Based Diets

Dear Los Gatos Town Council members, I have been a resident of Los Gatos since 2010. It is such a wonderful town to raise my family. However, I am saddened by the fear and panic that Covid has created.

I wish the media would focus more on what we can all do to help our chances of becoming severely ill if we catch Covid.

The well respected British Medical Journal came out with a recent study confirming that those who follow a plant based diet were up to 73% less likely to have a severe case of Covid.

"plant-based diets are rich in nutrients, especially phytochemicals (polyphenols, carotenoids), vitamins and minerals, all of which are important for a healthy immune system, say the researchers."

<https://www.bmj.com/company/newsroom/plant-based-and-or-fish-diets-may-help-lessen-severity-of-covid-19-infection/>

According to the CDC people with underlying health conditions such as Cancer, Diabetes, obesity, asthma, high blood pressure etc..... are much more likely to become severely ill or die from Covid than someone who is a healthy weight with no health conditions.

<https://www.cdc.gov/coronavirus/2019-ncov/need-extra-precautions/people-with-medical-conditions.html>

The science is clear. Even the American Heart Association says

"Whether you're considering eating less meat or giving it up entirely, the benefits are clear: less risk of disease and improved health and well-being. Specifically, less meat decreases the risk of:

- [Heart disease](#)
- [Stroke](#)
- Obesity
- [High blood pressure](#)
- [High cholesterol](#)
- [Type 2 diabetes](#)
- Many cancers"

<https://www.heart.org/en/healthy-living/healthy-eating/eat-smart/nutrition-basics/how-does-plant-forward-eating-benefit-your-health>

Therefore, I would like to ask the Town to please promote Plant Based Eating in the next General Plan to keep our residents and our planet healthy.

Thank you,
Kathleen Willey
<http://www.plantbasedadvocates.com>

Sent: Monday, September 20, 2021 8:51 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20210921035034] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20210921035034]

Name: J L

Comments:

I'm a Los Gatos resident since 2014, I like this place, am raising family here and caring about this town's future. I listened today(9/20)'s meeting, heard voice of people, feel the same frustrations and share some of the same concerns. In addition, particularly I have to say, I'm very disappointed by commissioner Mr. Suzuki's comments, I don't think he has any intention to address the concerns raised by fellow townsman/townswoman. His logic is like that: "too many housing development"? There are already quite some existing, "budgeted" development, so it's "OK" for us to add more, just breakdown the numbers, then people will see "smaller" number; "traffic will be worse"? Jam is everywhere in the Valley, so don't "bother". Mr. Suzuki probably is a smart young man and I appreciate his volunteer works, however, I hope him, as well as commissioners and council members would really listen to the voice of Los Gatos people, acknowledge problems rather than covering them.

Page title: [Home](#)

From: Claudia Kenyon
Sent: Tuesday, September 21, 2021 9:15 AM
To: GP2040 <GP2040@losgatosca.gov>
Subject: The plan

I intend to read all of it. So far I love the vision statement and the racial, social, and environmental justice ideas. I understand that many many people fear above all the increased traffic that might accompany justice, but I would hope that we could let justice and inclusivity drive the plan and then find solutions to the traffic. Good work!

From: Carleen Schomberg
Sent: Tuesday, September 21, 2021 12:03 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Town General Plan

To Town Planning Commission and City Council,

Unfortunately, I was unable to participate in the zoom meeting regarding the general plan. However, I feel it's necessary to make my feelings known. It is with great frustration I write again because it's felt for some time like my concerns and those of others I know have been falling on deaf ears.

As a fourth generation Los Gatos resident (whose great, great uncle owned the Los Gatos Soda Works) I have seen one of the most beautiful places anywhere go from a mecca for travelers and artists to a congested, unaffordable town that is now not even as desirable as nearby Campbell or Willow Glen. Where we once had flowering orchards that were beautiful beyond compare and not only produced food, but sheltered wildlife and helped clean the air, we now have overcrowded streets, unbelievable auto pollution, and our last orchard is now covered with over 250 homes and roughly (when occupied) 500 more cars to add to an already crowded street.

It should be obvious to any thinking person by now that our biggest challenge is climate change. The notion of building on or paving over one more piece of open land, no matter how small, is just another nail in the coffin.

I am begging you, for the sake of everyone's grandchildren, to think about the repercussions of your actions on their future and that of the planet.

I find it heartbreaking that my kids and grandkids can't afford to live in the town where their ancestors lived. And, sadly, if we don't change our priorities, it will become unlivable for anyone.

Hoping someone hears this message and really considers how grave our situation is becoming.

Carleen Ambrosini Schomberg

From: Lisa Wade
Sent: Tuesday, September 21, 2021 1:22 PM
To: Jennifer Armer
Cc: Council <Council@losgatosca.gov>; PlantBasedAdvocatesCore
Subject: Plant-Based Education Implementation Program

Hi Jennifer,

Thank you for hearing our comments last night!

I wanted to submit our specific recommendation in writing for clarification.

We would like a Plant-Based Education Implementation Program to be added to Section 8 Environmental and Sustainability Element.

Specifically, we would like such a program to be added to Section 8.12. This section has Implementation programs A-M listed. We would like Implementation Program N to be added. We'd like program N to be a Plant-Based Education program to educate residents about the environmental and health benefits of a Plant-Based Diet.

Please let me know if you have any questions.

Best,

Lisa

From: Levine, Joshua
Sent: Thursday, September 23, 2021 4:10 PM
To: Town Manager <Manager@losgatosca.gov>
Cc: Council <Council@losgatosca.gov>
Subject: Plant Based Education Program

Hi Jennifer,

I have lived in Los Gatos for 3 years and have a son attending Fisher Middle School. I am writing to extend my support for the city incorporating a dedicated Plant Based Implementation Program added to Section 8 Environmental and Sustainability Element of the General Plan (section 8.12). It would be great if Los Gatos become leaders in the environmental space and model for other townships to follow. Incorporating a plant based eating program could further this cause.

Our family follows a plant based diet for better nutrition and to reduce our carbon footprint.

Please let me know if you have any questions. Thank you for your consideration

Best

Josh

Joshua Levine | *Senior Vice President – Financial Advisor*

RBC Wealth Management

From: Mythri Ramesh
Sent: Saturday, September 25, 2021 8:27 AM
To: Jennifer Armer
Subject: Plant-based program for sustainability

Hi Jennifer,

Myself and my family lives in Los Gatos. We always thought that the Los Gatos city needs more education and awareness about Plant-based program for our health, animals and planet. It is simply not sustainable to breed billions of land animals every year, the land use, the deforestation, fresh water consumption, fossil fuels and Carbon emission. There is no way we can support that. We request that Los Gatos town include plant-based program in general plan 2040 under sustainability section. We look forward to hearing from you.

Thanks,

Mythri

From: Vinay Ramaswamy
Sent: Saturday, September 25, 2021 9:30 AM
To: Jennifer Armer
Subject: Vegan diet inclusion plan in general plan 2040

Hi Jennifer,

We moved to Los Gatos last February, we like the some plant-based programs on lgs recreation. But I believe no one should pay to get education on plant-based nutrition. The world is inevitably changing and we need to grow along with it. I plead you to include my petition for plant-based education for general public.

Thanks,

Vinay Ramaswamy

From: Laura Montonye Reese

Sent: Tuesday, September 28, 2021 6:51 PM

To: Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: Please add a dedicated Plant-Based Education Program to the General Plan

Hello Manager Armer and distinguished members of the Los Gatos City Council,

I live at [REDACTED], right next to the fire station on University Ave. I've lived here for over a year and would like to make a request: the addition of a dedicated Plant-Based Education Implementation Program added to Section 8.12 - Environmental and Sustainability Element of the General Plan. This program could include things like cooking classes, speaker series, a Vegfest, film screenings, etc.

Here's why:

Climate scientists stress that shifting toward plant-rich diets is essential if we are to avert climate catastrophe.[1] In the US, the EPA reports that methane emissions from livestock are on par with methane emissions from the entire fossil fuel sector.[2] Eating more plants and fewer animals is not only good for the planet, but it's also essential for preventing the leading causes of death.

The National Institute of Health reports that **insufficient dietary fiber intake is associated with many serious conditions and leading causes of death**: cardiovascular disease, cancer, strokes, type 2 diabetes, high cholesterol, obesity, and high blood pressure. And yet, USDA experts report that **95% of Americans are deficient in dietary fiber** intake, and on average, **American adults consume only half the fiber they need**. [3][4]

Since the mapping of the gut microbiome in 2006, evidence is mounting of the crucial function of fiber in our health. Studies show that even small increases in dietary fiber can prevent these chronic diseases.[5] Given that dietary fiber is exclusively found in plant foods like legumes, grains, vegetables, fruits, nuts, and seeds, it follows that we need to eat more fiber-rich plant foods.

Los Gatos residents will greatly benefit from learning about the crucial link between plant-rich diets and planetary and human health. So I encourage you to add this sensible Plant-Based Education Implementation Program to Section 8.12 of the General Plan.

Sincerely,

Laura Reese

References:

1. <https://www.epa.gov/sites/production/files/2021-02/documents/us-ghg-inventory-2021-chapter-5-agriculture.pdf#page=3>
2. <https://www.drawdown.org/solutions/plant-rich-diets>
3. <https://www.dietaryguidelines.gov/resources/2020-2025-dietary-guidelines-online-materials/food-sources-select-nutrients>
4. <https://sites.tufts.edu/nutrition/winter-2019/10-things-you-need-to-know-about-fiber/>
5. <https://academic.oup.com/aje/article/181/2/83/2739206>

From: Amy Nishide
Sent: Wednesday, September 29, 2021 2:22 PM
To: Jennifer Armer
Subject: general plan feedback

2040 general plan feedback
9/27/21

General:

Change is inevitable. The general plan seems to do a good job of setting the direction to manage it in an equitable, purposeful, conscientious, environmentally sound way.

The draft should be more easily navigable facilitate private citizen review/input

Needs more concrete measurable metrics. Since there don't seem to be many included, what is the process for turning the general plan into an actionable, measurable programs over the next 20 years?

There are plans to make LG more inclusive through adding more affordable housing. Are there also plans for bringing in ethnic grocery stores, places of worship which aren't Christian, a cultural center (w/ ESL classes), and other cultural amenities as well? If we really want to include people of different cultures, it's not enough to just make physical space for them.

RSEJ

1.1 Change to: **Identify inequities**, and direct town staff ...

Inequities need to be discovered through looking at services through a more equitable lens in order to properly address them

1.4 Replace *encourage* with **encourage development and improved access**.
How can you encourage access to something that barely exists?

1.6 Some data collection/analysis needed to measure the perceptions of residents, workers, and visitors. **Improve the perception score of LG as a welcoming...**

Promoting something that you want people to believe doesn't make it true.

1.7 **Increase** or **improve**, not *promote*

What are some of the ways the town can achieve this? Recruit higher paying business to operate in town? Such as start-ups, light manufacturing?

2.5 add **recruiting/hiring from SJSU**.

It's a diverse school filled with lots of Santa Clara County students.

2.7 Drop *develop* and add: **implement, and require cultural... for Town staff**.

No need to reinvent the wheel. Plenty of DEI training exists already.

2.8 Drop *promote*, and add **provide and encourage** instead.

4.1 Good, it's highly actionable

6.2 What does this mean? Specifically, who is the target?

6.3 Add **develop and provide** before *promote*

Land Use Element

LU 20.4 To increase public participation : **Include the use of traditional forms of communication, such as flyers mailed to homes, local newspaper ads, posters around town and places of worship, and other gathering points, and inclusion in school-published bulletins sent to parents, etc.** Hopefully, this will avoid future complaints about "not being part of the process: and avoid last minute demands.

From: Georgia Hamilton
Sent: Thursday, September 30, 2021 5:34 PM
To: Jennifer Armer
Subject: 2040 General Plan

Dear Town Council Members,

I live in the Town of Los Gatos and I'm writing to ask you to please include a dedicated Plant-Based education program in the Environmental section of the 2040 General Plan.

It would be great to have programs such as cooking classes, talks, and events to teach people how to incorporate more plants into their diets. This would be healthy for people and the planet.

Thank you for your consideration!

Sincerely,
Georgia Hamilton

From: karenr
Sent: Thursday, September 30, 2021 6:21 PM
To: Council
Cc: Jennifer Armer
Subject: Support for Plant-Based Education in Los Gatos

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. Please add this to the environmental section of the General Plan 2040.

Best regards,

Karen Rubio

Los Gatos resident for 36 years

From: Fred Rubio

Sent: Thursday, September 30, 2021 6:28 PM

To: Council

Cc: Jennifer Armer

Subject: Please include Plant-Based Education programs into General Plan 2040

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. Please add this to the environmental section of the General Plan 2040.

Climate change is the single biggest issue we are facing today, and reducing our intake of meat, dairy and eggs is a crucial part of reducing greenhouse gas emissions. We MUST take action now to ensure a livable planet for our children.

Best regards,

Fred Rubio II

Los Gatos resident for 40 years

From: Manan Sardana
Sent: Thursday, September 30, 2021 6:57 PM
To: Council
Cc: Jennifer Armer
Subject: Support for Plant-Based Education in Los Gatos

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. I support adding this to the environmental section of the General Plan 2040.

Best regards,

Manan Sardana

From: Kristine Goldberg
Sent: Thursday, September 30, 2021 7:13 PM
To: Council
Cc: Jennifer Armer
Subject: FW: Can you ask your sister?

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. I support adding this to the environmental section of the General Plan 2040.

Best regards,

Kristine Goldberg

From: Kristine Goldberg
Sent: Thursday, September 30, 2021 7:14 PM
To: Council
Cc: Jennifer Armer
Subject: Plant Based Education Program

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. I support adding this to the environmental section of the General Plan 2040.

Best regards,

Mike Goldberg

From: Emily Miramontes
Sent: Thursday, September 30, 2021 8:16 PM
To: Council
Cc: Jennifer Armer
Subject: Support for Plant-Based Education in Los Gatos

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. I support adding this to the environmental section of the General Plan 2040.

Best regards,
Emily Miramontes

From: Erik Rubio
Sent: Thursday, September 30, 2021 8:51 PM
To: Council
Cc: Jennifer Armer
Subject: Please include plant-based education in GP 2040

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. Climate change is devastating our planet, and people need to learn more about how to reduce greenhouse gas emissions by reducing or eliminating animal foods such as meat, dairy and eggs. Please add plant-based education to the environmental section of the General Plan 2040.

Best regards,

Erik Rubio

Los Gatos resident

From: John Parsons

Sent: Thursday, September 30, 2021 10:25 PM

To: Council@losgatos.gov; Jennifer Armer

Subject: Plant based education

Dear Town Council,

I am a resident of Los Gatos and a junior at San Jose State University. I am majoring in global and environmental studies. Through my education, I have developed a deep concern for the future of our planet and for humanity. I realize that we are currently in a very dire situation. However, I have learned that the simple act of changing the way we eat is a powerful way to combat climate change and keep warming under 1.5° C.

For these reasons, I would like to see a Plant-Based Education program included in the Environmental section of the Town's 2040 General Plan in the Environmental section.

I am proud to live in Los Gatos and would be proud to see us be a leader in a movement that can provide real hope for the future.

Sincerely,

John Parsons

From: Michelle Waters Art
Sent: Thursday, September 30, 2021 10:53 PM
To: Jennifer Armer; Council
Subject: Plant-based education program

Dear Mayor Sayoc and Town council members,

I live in Los Gatos and I would like to request that you add a Plant-Based Education program to section 8.12 of the 2040 General Plan. We urgently need to address climate change and plant-based eating is a very powerful way to protect our planet.

I would love to see town-sponsored events such as a vegfest, cooking classes, and a speaker series. The city of Mountain View promotes plant-based eating as part of its sustainability element and I'd like to see a similar program here in Los Gatos.

Sincerely,

Michelle Waters
Animal and Environmental Artist

From: Priti Malhotra
Sent: Friday, October 1, 2021 8:35 AM
To: Council
Subject: Plant based education

Hello

I live in Los Gatos and would like to see a plant-based education program in the town. Being a plant based advocate I see the benefits and impact this kind of education would have.

I support the development and funding to have a plant-based education program

Thank you
Priti Malhotra

From: Christopher Wade
Sent: Friday, October 1, 2021 8:36 AM
To: Jennifer Armer ; Council
Subject: Please add Plant-Based Education to the General Plan

To the Los Gatos Town Council,

Thank you for your efforts in creating the General Plan for our Town.

I have lived in Los Gatos for over 40 years. I love living in this town which is why I still live here.

I attended Blossom Hill School, Fisher Middle School, and Los Gatos High School.

I strongly support all efforts by the town to address climate change and GHG emissions. I feel that more emphasis should be put on the promotion of plant-based diets as a way to mitigate climate change and reduce GHG emissions. Eating plant-based is a powerful and cost-effective way to address climate change.

I think the Climate Implementation section 8.12 could be greatly enhanced by the addition of a Plant-Based Education Implementation program. Such a program would enhance the health of residents, help address climate change, and foster community.

Thank you for your consideration.

Chris Wade

From: Lisa Wade
Sent: Friday, October 1, 2021 10:34 AM
To: Jennifer Armer; Council
Cc: Karen Rubio ; Rob Moore
Subject: My Comments for Meeting on October 6

My name is Lisa Wade and I am with Plant-based Advocates in Los Gatos. I have lived in Los Gatos for over 30 years.

Thank you for your hard work on the General Plan. We appreciate your efforts.

We also want to thank you for adding the words Plant-based to the Healthy Communities Section and also the Employer Incentives section. (6.13:Healthy Community and ENV 9.7 Employer Incentive Programs.) When the GPAC added the words plant-based to these 2 sections of the General Plan they also stated that they would do more because of the widespread public support for plant-based eating education and promotion in Los Gatos.

Our specific ask is this. We would like to see Plant-Based Eating Education added to section 8.12 Environmental Sustainability Element Implementation Programs. Section 8.12 has Implementation Programs A-M. We are requesting that you add a Program N Plant-Based Eating Education.

According to Project Drawdown, the third- and fourth-best climate change solutions are reducing food waste and eating a plant-rich diet. (The top two solutions aren't things the average person can easily control: refrigerant management and onshore wind turbines.) **Making the transition to a plant-based diet may well be the most effective way an individual can stop climate change."** page 40 **Project Drawdown The Most Comprehensive Plan Ever Proposed TO Reverse Global Warming** edited by Paul Hawken.

Numerous peer-reviewed scientific studies agree that plant-based eating is the most effective way for individuals to help the planet. For this reason, any plan to address climate and sustainability should include the promotion of plant-based eating. Please do not leave out this powerful, cost-effective solution and add a Plant-based education program to section 8.12. This section will not be complete without such a program.

We understand that the General Plan is not a document that outlines details. For this reason, we request Implementation Program N with a simple heading Plant-Based Eating Education Program and a couple of sentences (just like the other implementation programs listed in section 8.12.)

We have a petition with 220 signatures from residents of Los Gatos plus 32 signatures from nearby neighbors (bordering on Los Gatos) who frequent Los Gatos businesses. We also have the support of local activist groups Health and Environmental NGOs including The Sierra Club Loma Prieta Chapter and Center for Biological Diversity. We also have the support of prominent citizens both in Los Gatos and neighboring cities such as Lucas Ramirez vice mayor of Mountain View and Alison Hicks city council member in Mountain View.

Also, the planning commission and council have received numerous emails requesting a plant-based eating education program be added to the General Plan 2040.

I am attaching our petition below.

Thank you for your consideration!

Lisa Wade

Supporters of Adding Plant-Based Education to Los Gatos General Plan 2040				
Name, Last	Name, First	Position / Affiliation	Address / Town Area	Comments
Community and Business Leaders of Los Gatos				
Albright	Karla	Together We Will/Indivisible Los Gatos	Los Gatos	
Arroyo	Kevin	Pinehurst Community Garden organizer	Los Gatos	Great idea and I support this plan!
Brown	Elisabeth	Educator	Los Gatos	I am a teacher in town. I'd love to incorporate any lessons into my curriculum. I also lead student council and would be willing to organize an assembly.
Chan	Wendy	Business owner: Tai Zhan Plant-Based Microbakery	Los Gatos	
Goetz	Alicia	Owner, Los Gatos Theatre	Monte Sereno	
Hertan	Peter	Vice President, Los Gatos-Saratoga Union High School District Board		
Iyar	Rupar	Owner, Pura Wellness; philanthropist	Los Gatos	
Montonye Reese	Laura	Agriculture Fairness Alliance; Vegan Justice League	Los Gatos	
Moore	Rob	LG Anti-Racism Coalition; Plant-Based Advocates	Los Gatos	
Owens	Heidi	Community leader	Los Gatos	
Preville	Bruce	CERT Leader, Los Gatos	Los Gatos	
Romano	Andrea	Owner, Centonove Restaurant	Los Gatos	
Spargo	Alicia	Outreach Coordinator, Los Gatos Anti-Racism Coalition	Los Gatos	
Residents of Los Gatos		220		
Aidi	Karen		Los Gatos	
Anji	Roberto		Los Gatos	
Arienzo	Wendy		Los Gatos	
Arroyo	Frank		Los Gatos	
Arroyo	Susie		Los Gatos	
Bagatelos	Mary Ann		Los Gatos	
Balijepalli	Priya		Los Gatos	
Balakrishnan	Jeyendran		Los Gatos	
Barden	Ben		Los Gatos	
Barden	Sue		Los Gatos	
Barnett	Kaitlyn		Los Gatos	
Bayne	Daphne		Los Gatos	
Bernholz	Malte		Los Gatos	
Biller	Jason	Physician	Los Gatos	
Bolen	JP		Los Gatos	
Bolen	Rachel		Los Gatos	
Booth	Sandra			
Bora	Anita		Los Gatos	
Bosworth	Mary Ann		Los Gatos	

Boyd	Sandy		Los Gatos	
Brzak	Lukas		Los Gatos	
Burkhart	Chris		Los Gatos	
Bz	Linda		Los Gatos	
Cao	Xuong		Los Gatos	
Cappon-Javey	Maureen		Los Gatos	
Carol	Amy		Los Gatos	
				I support putting into the General Plan a plant based education program. There are several benefits from such a program, including potentially better general health and a healthier air quality in our community from consuming less meat, i.e., raising fewer animals that contribute to the increase of methane gas. I think this program would be very good for our community and far beyond it.
Carpio	Virginia		Los Gatos	
Chavez	Vana		Los Gatos	
Christensen	Beverly		Los Gatos	
Christensen	John			
Cisneroz	Diane Larson		Los Gatos	
Clark	Ky ie		Los Gatos	
Corini	Tamara		Los Gatos	
Dai Biller	Jenny	Physician	Los Gatos	
Davies	Tiffany	Physician	Los Gatos	
Davies	Mark	Physician	Los Gatos	
De Cesare	Anne Marie		Los Gatos	
De Louraille	Karen		Los Gatos	
Czinski	Laura		Los Gatos	
Deak	David		Los Gatos	
Dempsey	Caroline		Los Gatos	
DeMaria	Dawn		Los Gatos	
Dickinson	Ilene		Los Gatos	
Dickinson	Roger		Los Gatos	
Dillehay	Kristine		Los Gatos	
Dreiger	Jeannie		Los Gatos	
Dreher	Diane		Los Gatos	
Erdengiz	Sevgi		Los Gatos	
Evjenth	Gail		Los Gatos	
Evjenth	Tim		Los Gatos	
Fletcher	Lisa		Los Gatos	
Fox	Audrey		Los Gatos	
Fox	Larry	Owner, Valet Custom Cabients	Los Gatos	
Frager	Bernadette		Los Gatos	
				Pollution and waste in Factory Farms; use of land for meat production, killing of wildlife and use acres of land to support livestock; nets in the ocean killing millions of sea creatures; all contribute to climate change. Reducing meat consumption is something we all can do. Please place plant based education in the general plan. It is the right thing to do.
Freedom	Rea		Los Gatos	
Garland	Lynette		Los Gatos	

Gibbons	Maria Eugenia		Los Gatos	
Goldberg	Kristine		Los Gatos	
Goldberg	Michael		Los Gatos	
Griffin	Ju ie		Los Gatos	
Gupta	Reeta		Los Gatos	
Gummow	Todd		Los Gatos	I support plant based diet education programs
Hamilton	Georgia			
Hamilton	Scott			
Harrison	Ju ia		Los Gatos	
Hassoun	Joe		Los Gatos	
Haylock	Archna		Los Gatos	Yes we need more options at school and at local restaurants.
Hemmis	Matt		Los Gatos	
Hendry	Dan		Los Gatos	
Hendry	Wendy		Los Gatos	
Hinsche	Danielle		Los Gatos	I am a resident of Los Gatos and I support the addition of a plant-based education program in the Town's 2040 General Plan.
Hiroshima	Kevin		Los Gatos	
Hojjat	Sara	District Leader Volunteer- California Congressional District 18. Member of Plant-Based Advocates	Los Gatos	
Honorio	Mia		Los Gatos	
Houghton	John		Los Gatos	
Howe	Chelsea		Los Gatos	
Hsieh	Cynthia		Los gatos	I would love to see a vegan, zero waste restaraunt in Los Gatos.
Huang	Jenny		Los Gatos	
Hussey	Jacklyn		Los Gatos	Anything that will help save our planet I will definitely support!
Ingle	Lori		Los Gatos	
Isaacs	Varily		Los Gatos	
Iyer	Harish		Los Gatos	
Javey	Shahram		Los Gatos	
Jog	Chetan		Los Gatos	
Johnson	Karen		Los Gatos	
Johnston	Jan		Los Gatos	
Juhl	Linda		Los Gatos	Thank you
Kama i	Kristine		Los Gatos	
Karavelioglu	Sevil		Los Gatos	
Keating	Kathleen		Los Gatos	I believe it is to the best interest of Los Gatos to estab ish a plant based education program at the high school and for the general public. I be iieve many of our children and others need to know that plant based eating is good for their bodies if done right. Please provide funding for an education for plant based eating. Please sponsor cooking classes as well.
Keller	Lisa		Los Gatos,	Love it. Yes!!
Koch	Charlene Foster		Los Gatos	I would LOVE to see this happen!! So very needed.
Kollu	Badrinath		Los Gatos	
Kurlin	Carolyn		Los Gatos	
Kurlin	Gregg		Los Gatos	
Kurtz	Karen			
Lasso	A berto		Los Gatos	

Lawton	Ann		Los Gatos	YES!
Lazzarino	Dominic		Los Gatos	
Le	Denise		Los Gatos	I'm not a vegan or vegetarian but I'd love to incorporate more plant based and less meat protein to my diet.
Leeds	Fe ice		Los Gatos	
Lesko	Camille		Los Gatos	Cooking classes are a great idea!
Levine	Joshua		Los Gatos	
Levine	Marni		Los Gatos	
Lewis	Jessica		Los Gatos	Education is key for this important information. Thanks to all involved in making this happen!
Lammers	Victoria		Los Gatos	Need more vegetarian places/options
Li	Van		Los Gatos	
Liu	Andre		Los Gatos	
Liu	Calista		Los Gatos	
Liu	Gabriela		Los Gatos	
Lockman	Ju iana		Los Gatos	
Lorig	Glenn		Los Gatos	
Lorig	Sue Ann		Los Gatos	
Lowe	Debbie		Los Gatos	
McKinnon	Skyler		Los Gatos	
Madduri	Sandeep		Los Gatos	
Ma hotra	Priti		Los Gatos	
Ma hotra	Neeraj		Los Gatos	
Mandurrango	Gloria		Los Gatos	A fantastic idea!
Margolis	Sonya		Los Gatos	
McGill	Alex		Los Gatos	
Menhardt	Trixi		Los Gatos	
Mordaunt	Joshua		Los Gatos	
New in	Kerry		Los Gatos	
Mager	Nan		Los Gatos	
Mano	Robin		Los Gatos	
Martins	Rosilene		Los Gatos	
Meinhardt	Suzanne		Los Gatos	
Miramontes	Emily		Los Gatos	
Morley	Eric		Los Gatos	
Nguyen	Kim		Los Gatos	
Niederauer	Tricia		Los Gatos	
North	Pamela		Los Gatos	
O'Connor	Rebecca		Los Gatos	
O'Toole	June		Los Gatos	
Park	Monica		Los Gatos	
Parker	Dana		Los Gatos	
Parsons	Daniel		Los Gatos	
Parsons	Debbie		Los Gatos	
Parsons	Jackie		Los Gatos	

Parsons	James		[REDACTED] Los Gatos	
Parsons	John		[REDACTED] Los Gatos	
Patel	Minal		Los Gatos	
Rai	Vivek		[REDACTED] Los Gatos	Yes, I am in for plant based projects.
Raad	Mona		[REDACTED] Los Gatos	
Raad	El ie		[REDACTED] Los Gatos	
Ramaswamy	Vinay		[REDACTED] Los Gatos	
Ram	Amrith		[REDACTED] Los Gatos	
Ramesh	Mythri		[REDACTED] Los Gatos	Made verbal comments at GPAC
Reese	Dirk		[REDACTED] Los Gatos	
Rennie	Isabella		[REDACTED] Los Gatos	
Reyna	Melody		[REDACTED] Los Gatos	
Reyna	Orlando		[REDACTED] Los Gatos	
Rhine	Molly		[REDACTED] Los Gatos	
Richter	Jessica		[REDACTED] Los Gatos	
Riley	Kate		[REDACTED] Los Gatos	
Rittenhouse	Simone		[REDACTED] Los Gatos	
Robinson	Kari		[REDACTED] Los Gatos	
Rovin	Lynne		[REDACTED], Los Gatos	
Rovin	Stuart		[REDACTED], Los Gatos	
Rubio	Karen	CERT volunteer	[REDACTED], Los Gatos	Made verbal comments at Town council meeting for 2040 General plan
Rubio	Fred		[REDACTED], Los Gatos	
Rubio	Erik		[REDACTED], Los Gatos	
Rude	Christina		[REDACTED], Los Gatos	
Ry	Regina		Los Gatos	
Sand	Gretchen		[REDACTED], Los Gatos	
Sardana	Manan		[REDACTED] Los Gatos	
Sarkar	Prasenjit		[REDACTED]ane, Los Gatos	
Sathyamurthy	Shreelatha		[REDACTED], Los Gatos	I strongly support this initiative.
Schirmer	Lisa		Los Gatos	
Schwartz	Jan		[REDACTED], Los Gatos	
Shah	Swati		[REDACTED], Los Gatos	I support the local effort!
Shoff	Sue		[REDACTED], Los Gatos [REDACTED]	
Seshadri	Sruba		Los Gatos	
Smith	Angie		[REDACTED], Los Gatos	
Smith	Rucy	Climate Rea ity presenter and activist	[REDACTED], Los Gatos	
Sneddon	Laura		[REDACTED], Los Gatos	
Snyder	Stephen		[REDACTED], Los Gatos	
Srinivasan	Kiran		[REDACTED], Los Gatos	
Starov	Vladimir		[REDACTED], Los Gatos	I fully support this worthy cause!
Stil inger	Kelsey		[REDACTED], Los Gatos	Would love to see more emphasis on plant-based diet - through restaurants, education, community garden, etc.
Stone	Helen		[REDACTED] Los Gatos	
Stone	Paul		[REDACTED] Los Gatos	
Streicker	Robin		Los Gatos	

Tompkins	Liz		Los Gatos	
Venkatesan	Arun		, Los Gatos	
Venkatsubramanyan	Shailaja		Los Gatos	Made verbal comments at GPAC
Von Luehrte	Missy		Los Gatos	
Vuckovich	Me issa		, Los Gatos	
Wade	Christopher		Los Gatos	
Wade	Lisa		Los Gatos	Gave verbal comments at GPAC
Wade	Lucas		Los Gatos	
Wade	Stephen		Los Gatos	
Wade	Charles	Audobon Society Lifetime Achievement Award	Los Gatos	
Wales	Pamela	CERT; Animal search and rescue disaster response team; animal sanctuary volunteer	Los Gatos	
Walker	Kelsey		Los Gatos	
Waters	Michelle		Los Gatos	
Wentzien	Erin		, Los Gatos	
White	Tony		Los Gatos	
White	Hillary		Los Gatos	
Willey	Kathleen		, Los Gatos	Gave verbal comments at GPAC
Willey	Mark		, Los Gatos	
Willing	Lara		, Los Gatos	Plant based eating is part of a long term solution.
Wilson	Beth		Los Gatos	
Yannoni	Mike		Los Gatos	
Yosfee	Hanley		Los Gatos	
Zi ka	Stephanie		, Los Gatos	Let's join the scientific community and educate people about the importance of plant based living!!! It's vital to the survival of our planet and species!!!
Organizations Endorsing our Proposal				
Plant-Based Advocates of Los Gatos http://www.plantbasedadvocates.com/				
TWW/Indivisible-Los Gatos https://www.twwlg.org/				
Sierra Club Loma-Prieta https://www.sierraclub.org/loma-prieta				
Center for Biological Diversity https://www.biologicaldiversity.org/				
Acterra: Action for a Healthy Planet https://www.acterra.org/				
Eat for the Earth (Based in Santa Cruz) https://www.eatfortheearth.org/				
SAFE Worldwide https://www.safeworldwide.org/ (Based in Monte Sereno)				
Green Monday USA https://greenmondayus.org/				

Factory Farm Awareness Coalition https://www.ffacoalition.org/				
A Well-Fed World https://awellfedworld.org/				
Physicians Against Red Meat https://pharm.org/				
Other Community and Business Leaders				
Hicks	Aison	City Council Member of Mountain View		
Ramirez	Lucas	Vice Mayor of Mountain View and Council Member		
Brook	Dan	Professor at SJSU; author, environmentalist	██████████ San Jose State University	
Gurunathan	Mohan	Environmentalist; designed Mountain View plant-based outreach program	Mountain View, CA	
Love	Beth	Environmentalist; Founder of Eat for the Earth, a Santa Cruz-based group promoting plant-based diets for sustainability	Santa Cruz, CA	
Mackey	Mary	Actress; Model; SAG BookPals program (reading to children in homeless shelters) and LIFE (Living in Freedom Everyday) Program, teaching life skills to inmates	██████████ San Jose	
Middlesworth	Linda	Owner, V-Dog; health coach	Sacramento, CA	
Sehgal	Tony	Documentary Filmmaker	Saratoga, CA	
Support from Neighboring Residents				
Adalja	Anish		██████████ San Jose	
Anand	Monico		██████████ San Jose	
Balachandran	Jackie		██████████ San Jose	As a vegetarian of 17 yrs and a registered nurse, I strongly support this plant-based education program because I believe it will help improve the health of members in our community.
Berlinberg	Jacqueline		██████████ Monte Sereno	
Bengt	Amanda		San Jose ██████████	
Bevard	Mariah		██████████ Ct Monte Sereno	
Castro	Jennifer		██████████ San Jose	I support adding an education component to the Los Gatos 2040 plan which would educate citizens about plant-based foods.
Chaykin	Lori		██████████ t, Monte Sereno	
Chugh	Rahul		██████████ San Jose	
Duguma	Jemanesh		██████████, Campbell	
East	Rowena		San Jose	
Emerson	Ziba		██████████ San Jose	Good job.
Giacomini-McDonald	Cathy		Monte Sereno	
Guh	Teresa		██████████ Monte Sereno	
Harrold	Kat		██████████, Campbell	Thank you for this, I frequent Los Gatos so this would be great to see. Also I believe in the power of empowering our local farmers, and the more money we can get them, the better for everybody locally. Back to our roots! Better for the planet and better for everyone
Isis	Dawn		██████████, Campbell	Though I don't live IN Los Gatos, I hope my support will indicate interest in this important issue in the wider area, & that Los Gatos may become a model for addressing it.

Jain	Beena		[REDACTED] San Jose	I support the educational program.
Kinger	Amit		[REDACTED] San Jose	
Lambert	Jennifer		[REDACTED] enue, Monte Sereno	
Lanzl	Linda		Monte Sereno	
Matar	Elizabeth		[REDACTED] . Monte Sereno	Thank you! Yes!!!
Matar	Lisa		[REDACTED] , Monte Sereno	Thank you! I'm completely in for this!!
Mesler	Michelle		[REDACTED] , San Jose	
Mulchandani	Mukesh		[REDACTED] Campbell	Moving to Los Gatos soon!
Petroff	Patrice		[REDACTED] , Monte Sereno	
Ramirez	Gustavo		[REDACTED] San Jose	We need more plant based food options! The meat industry is cruel and unsustainable.
Renson	Kellee		[REDACTED] , Campbell	Yes need more veggie places to eat
Shearer	David		[REDACTED] San Jose	I support this effort
Stolberg	Robb	Environmental Education: Veggielution, Walden West	[REDACTED] , San Jose	
Streicker	Robin		[REDACTED] Monte Sereno	
Thakur	Smita		[REDACTED] , Saratoga	I have been plant based for the last two years. It has made me healthier and it's the best thing for the planet. Would love to have more people join plant based way of life.
Woodhouse	Dori		[REDACTED] , San Jose	

From: Rob Moore
Sent: Friday, October 1, 2021 4:21 PM
To: Council ; Jennifer Armer
Cc: karenr; Lisa Wade
Subject: Plant-Based Education in Los Gatos

Hello Town Council,

I want to write briefly to express my support of the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos.

As an active resident of Los Gatos, I see educating community members about the importance of plant-based as vital to ensuring community health and moreover, meaningfully addressing climate change. I have seen plant-based eating growing in popularity throughout our town and I think encouraging that behavior is an excellent, easy step we can take as a town to take action against climate change.

Reducing consumption of meat and dairy is the single most impactful thing individuals can do to reduce greenhouse gas emissions and curb climate change. Please add this very important item to the Environmental Section of the General Plan 2040.

Thank you very much for your consideration and all that you do for the town.

Take care,

Rob Moore

From: btdodson

Sent: Saturday, October 2, 2021 4:13 PM

To: Town Manager

Subject: The 2040 Draft General Plan

Dear Ms. Prevetti:

Attached is a letter describing my feelings about the 2040 Draft General Plan.

Sincerely,

Barbara Dodson

SUBJECT: THE 2040 DRAFT GENERAL PLAN

Dear Town Officials:

I would like the following to happen as you review and revise the 2040 General Plan:

- Demand that the Plan specify that the Town will NEVER allow any more homes to be built than the number specified by RHNA, which for the period 2023-2031 is 1,993.
- Insist that the Housing Element be included in the General Plan. There is no reason to rush approval of the General Plan. Approval should be contingent upon inclusion of an acceptable Housing Element. (Without the Housing Element, the General Plan fails to provide a clear vision for the Town over the next 10-20 years. We need to know upfront where and in what volume new housing will be created. Near Pollard? Harwood? Los Gatos Boulevard?)
- Make it impossible for developers to create high-end housing without first creating affordable housing.

California needs more housing, but in the right places — near jobs, schools, parks, shopping centers, transportation. Los Gatos is already built out near its schools, parks, and shopping centers. It is not a job center—and doesn't have the potential to become one--and does not have good transportation. Building more homes in Los Gatos will not change this. It will only create more traffic, more greenhouse gas emissions, and more demand for ever-decreasing water resources. If we must add 1,993 homes, let's not go overboard and offer to build twice as many.

Los Gatos continues to be largely a bedroom community. Netflix is an aberration, not a new standard. People commute to work from Los Gatos. They chose to live in a town like Los Gatos so that they can come home to a certain amount of living and breathing space. Please keep in mind that Los Gatos was built up and built out around old-fashioned ideas about suburbia. A town like this cannot turn around on a dime and become any of the following.

- IT WILL NOT BE--A location for one or more transportation hubs around which high density housing can be created. (It seems clear that the VTA system will not be extended into Los Gatos.)

- IT WILL NOT BE--A location for new businesses and industries that can create large numbers of jobs to which local people can then commute by bicycle or public transportation. (The Plan's notion that we will reduce traffic emissions over the next 20 years by having people travel to work by bicycle or public transportation is just wishful thinking. What might really lower emission is the widespread use of electric vehicles—which might happen.)

A General Plan based on the above two premises is completely unrealistic. These premises are popular with urban planners; they don't reflect the realities of an already built-out suburban community like Los Gatos. Our Town planners seem to be getting on an urban-planning bandwagon that has absolutely no relevance to the Town of Los Gatos.

Sincerely,

Barbara Dodson

From: jvannada

Sent: Saturday, October 02, 2021 5:50 PM

To: Rob Rennie; Maria Ladle Ristow; Marico Sayoc; Matthew Hudes; Mary Badame

Cc: Shelley Neis

Subject: General Plan Meeting 10/6/21

Dear Los Gatos Town Council,

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based consumption education program for Los Gatos. Reducing consumption of meat and dairy is the single most impactful thing individuals can do to reduce greenhouse gas emissions and curb our climate crisis. The source of this statement is the Oxford study noted at <https://www.theguardian.com/environment/2018/may/31/avoiding-meat-and-dairy-is-single-biggest-way-to-reduce-your-impact-on-earth>

I urge you to add this very important plant-based consumption education program to the Environmental Section of the General Plan 2040.

Jak VanNada

From: awhite
Sent: Sunday, October 3, 2021 6:06 PM
To: Jennifer Armer
Subject: Plant- Based Initiative

Hi Jenifer,

My wife and I are long-term residents of the town of Los Gatos. We have lived here for 35 years. I am involved in a conservation program to save rhinos from poaching and extinction using technology. My involvement in this project has opened my eyes to the dire situation facing so many species. A very important step we can take to protect wildlife is to protect their habitat. Raising animals for food uses huge amounts of land and cuts into the habitat of wild animals. Meat and dairy reduction is a powerful way to conserve land and therefore endangered species as well.

According to the Proceedings of the National Academy of Sciences, humans account for about 36 percent of the biomass of all mammals. Domesticated livestock, mostly cows and pigs, account for 60 percent, and wild mammals for only 4 percent. www.pnas.org/content/115/25/6506

Essentially we are replacing wild animals with livestock. I would like to believe that future generations will be able to enjoy the wildlife I have so appreciated throughout my life.

I am in full support of a program to educate residents about plant-based eating. Reducing meat and dairy consumption is an important step in protecting our planet and its amazing wildlife. I support including a plant-based education program in the Town's General Plan.

Thank you for the steps you have already taken in this regard. I look forward to seeing more programs to encourage healthy, environmentally friendly eating in Los Gatos.

Sincerely,

Antony G. White

From: Susan Burnett
Sent: Sunday, October 3, 2021 6:07 PM
To: Clerk; Town Manager; Council
Cc: Susan Burnett
Subject: Housing unit increase

Greetings,

Based on all my readings, on the subject for reasons to double the housing numbers for Los Gatos, I find there are NO REASONS! Please tell me what are you are basing this increase in housing on? ABAG's projection does not support the need, we have a lack of mass transportation, and how about the town's Greenhouse Gas ratio?? No one from the GPAC knew how our town manager arrived at 3904 units, there were no votes! I am against this, the general plan should be amended every 8 years when new information and future RHNA allocations become known.

Thank-you,
Susan Burnett

From: hwhite
Sent: Sunday, October 3, 2021 6:12 PM
To: Jennifer Armer
Subject: Plant- Based Initiative

Hi Jennifer,

My name is Hilary White, and I am a resident of the town of Los Gatos. I have lived here for 35 years. My address is 115 Casitas Boulevard, Los Gatos, 95032.

I would like to express my enthusiastic support for plant-based community education. Many people are becoming aware of the problems with raising animals for food, and they are eager to make changes. However, they don't always know how to even begin. Programs that teach people how to incorporate more plants into their diets and encourage them to take steps in this direction would go a long way in helping them eat more sustainable diets.

I enthusiastically support including a dedicated plant-based education program in the Environmental and Sustainability section of the general plan.

Meat and dairy reduction is an easy, cost-effective, and very powerful way to help the environment.

Thank you for your efforts!

Sincerely,
Hilary B. White

Sent: Monday, October 4, 2021 12:29 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211004192905] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211004192905]

Name: Jeff Benjamin

Comments:

I STRONGLY disagree with this radical change to our town's long standing building policies . This change to our community will dramatically change LG as we know it! I strongly encourage the delay of acceptance of this proposed general plan to later in 2022, not November 2021, for full evaluation and consideration by community members.

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Sent: Monday, October 4, 2021 12:58 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211004195827] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211004195827]

Name: David Lombardi

Comments:

This is a radical change to long standing building policies in our community and will dramatically change LG as we know it! I would like to demand delay of acceptance of this proposed general plan to later in 2022, not November 2021, for full evaluation. Announcing the details of this plan publicly through SJ Spotlight in mid-July 2021 with a plan to have it accepted by November 2021 is unacceptable and unfair to the citizens of this town.

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From: Marco Rolandi
Sent: Monday, October 4, 2021 5:40 PM
To: Matthew Hudes; GP2040 <GP2040@losgatosca.gov>
Subject: Re: Update on the Future

Dear Matthew,

I am not sure whether I will be available to attend, my answers below.

On Mon, Oct 4, 2021 at 5:22 PM Matthew Hudes <matthew@matthewhudes.com> wrote:

Hi Marco

A few weeks ago, I sent you a note about an opportunity to help **shape the future of Los Gatos** through our 2040 General Plan. There is another **Community Meeting this Wednesday at 6:00PM.**

During the last meeting on September 20, it became apparent that many folks were not aware of the process or the recommendations of the Draft 2040 General Plan. (Can be viewed here: [YouTube](#))

As a Councilmember, I'd like to encourage you to participate in the process because this plan will **set the direction of the Town for the next 20 years**. And whether you agree or disagree with the recommendations, it is important that your voice is heard.

Some of the points that were raised in that meeting and in conversations I've had around Town, include:

- **1,993 or 3,904 units:** Whether to meet the State-mandated housing requirement of 1,993 units or whether to plan for 3,904 units, including Hillside Residential (as is in the current draft of the General Plan)

Even 1993 units are too many for Los Gatos. The issue is traffic, school, and fire danger. Every other town in the peninsula has pushed back on the mandate. Los Gatos should do the same. I grew up in a small coastal town

in Italy whose beauty and nature was destroyed by developers in the 1970s. I would not want the same to happen to Los Gatos. Building more units in Los Gatos now will only result in three things: (1) quality of life of current residents will be negatively affected, (2) quality of life of new residents will be much worse than other areas in the Bay with more room to grow, and (3) will end up attracting same demographics w/o increase in diversity. We have geographical constraints, the hills and reservoir on one side and 85 on the other, there is simply no room to expand w/o causing more traffic jams and dangerous situations in case of fire or earthquake. If you increase density in the hillsides, people leaving in high fire dangers areas will not be able to evacuate.

- **SB9:** If/how we should include in the count any housing that would be created under SB9, the recently enacted State law which made it easier to convert single-family homes into multi-family.

Any additional unit should count with the goal of increasing the number of housing as little as possible.

- **Affordable Housing:** How to get developers to *commit* to building affordable housing in Los Gatos

Build better infrastructure first and fix the traffic issues, then you can build houses. Developers should be fined if housing is not affordable, I have yet to see a real affordable development in Los Gatos or Saratoga. All the new high density housing is selling for multiple of millions, affordable to whom?

- **Phase-in:** Whether new development should be phased-in when improvements in infrastructure are completed, addressing issues such as traffic, bicycle and pedestrian improvements, wildfire prevention, water shortages, and public safety

No new developments until more schools and parks are built, roads are fixed, appropriate evacuation plans are studied for hillside residential, and high fire danger areas, and the 17 traffic jam over the weekend is taken care of.

- **Guide:** State the principles and values that the Town will use to identify areas around Town for increased housing

Ensure that the quality of life of the residents and their kids improves.

This sounds like a lot of discussion about housing and development, which is not surprising in a community such as Los Gatos, but the Draft General Plan 2040 is more than that—it is a **"constitution" for all future growth and development**. The General Plan is made up of a collection of "elements," or chapters, of which nine are mandatory. They are: **Land Use, Open Space, Conservation, Housing, Environmental Justice, Circulation, Noise, Air Quality and Safety**

In addition to the State-mandated elements, the Los Gatos Draft 2040 General Plan includes elements that address Racial, Social, and Environmental Justice, Mobility, Public Facilities, Services and Infrastructure, Environment and Sustainability.

We also received ideas about encouraging **plant-based diets** that could be incorporated into the Environment and Sustainability element.

The documents can be found at: <http://losgatos2040.com/documents.html>

Becoming Part of the Conversation

Your thoughts are vitally important as the 2040 General Plan emerges from a "Draft" to becoming the "Law of the Town," and I (as well as all of your Town Council and Commissions) want to hear from you. Here are some opportunities:

- **Wednesday, October 6, 2021 6:00PM:** Community Meeting

[https://losgatosca-
gov.zoom.us/j/82084075418?pwd=aENDOG5icmNIRU93S0diTm1QVVNqZz09](https://losgatosca.gov.zoom.us/j/82084075418?pwd=aENDOG5icmNIRU93S0diTm1QVVNqZz09)

Password: 289135

- **Fall 2021:** Planning Commission meeting to review and approve the Draft 2040 General Plan as well as the Draft Environment Impact Report which covers the General Plan.
- **Later in 2021:** Town Council meeting to review and approve the 2040 General Plan as well as the Final Environment Impact Report which covers the General Plan.
- **Late 2021 and throughout 2022:** Ongoing public meetings of the Housing Element Advisory Board
- **Late 2022 and early 2023:** Public meetings of the Planning Commission and Town Council to review the recommendations for the Housing Element.

And for that matter, at any **Council Meeting during “Verbal Communications.”** Our next one is **Tomorrow, Tuesday October 5, 2021 at 7:00PM**

Of course, if you would like to discuss the General Plan, or anything about the Town, I am always available. You can reach me by email at matthew@matthewhudes.com. The Town is accepting comments on the General Plan at gp2040@losgatosca.gov.

Thanks for reading my lengthy email.

Matthew

Sent: Monday, October 4, 2021 6:18 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211005011741] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211005011741]

Name: Julia Lombardi

Comments:

This is a radical change to our long standing building policies in our community and will dramatically change Los Gatos as we know it. I would highly request to deny the plan because our public resources will not be enough to sustain all the newly added living units. The traffic is already horrible and the public schools will not be able to handle all the new students. We need to have a detailed and reasonable plan to ask citizens who live in Los Gatos for approval. It is not fair to ask current Citizens to approve the plan in such a short notice.

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From: Dirk Reese

Sent: Monday, October 4, 2021 8:20 PM

To: Council <Council@losgatosca.gov>; Jennifer Armer

Subject: Dedicated plant-based education program

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. I support adding this to the environmental section of the General Plan 2040.

Best regards,

Dirk Reese

From: Babette Ito

Sent: Monday, October 4, 2021 8:25 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: General Plan Community Meeting - Oct 6, 2021 - Pls consider lowering town's housing requirement

-The Town Manager decided to increase the number of homes LG has to plan for by doubling the number from 1993 to 3854. She did this without consulting the Council nor getting a vote by her General Plan Advisory Committee. Does that make sense?

- Los Gatos is a commuter community with some business, but is essentially a job exporter. The VTA will focus on transit in high density areas such as San Jose, Sunnyvale, etc. Los Gatos has **no mass transit in the 20 year VTA pipeline**, yet we are expected to build out 3854 homes over the next 20 years? Does it make sense to double our housing with no expected lite-rail in Los Gatos at all in the next 20 or more years? Doesn't look good where-in the 2040 VTA Plan, it already states they are "financially constrained" for the next 28 years.

- Based on ABAG's own forecast, the Town's population is forecasted to increase from 30,836 (current DOF forecast) to 33,050 (ABAG's forecast). Based on the 2.4 people per housing unit ratio, that means the Town only needs 923 new housing units to house the growth in population. But the latest number from the Town is 3,854 new units!

Pls consider lowering the town's housing requirement. The state isn't requiring it and I feel it is unnecessary. I'm all for being all inclusive, but can't we walk before we run? Our infrastructure isn't set up for it.

Babette Ito

Los Gatos Resident

From: gristconstruction

Sent: Monday, October 4, 2021 8:43 PM

To: Town Manager; Arn Andrews ; Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes; Maria Ristow

Cc: Clerk@LosGatosCA.gov.

Subject: Comments regarding the General Plan Community Meeting - October 6, 2021

October 4, 2021

To: Los Gatos Town Mayor, Council Members, Town Manager and Town Clerk

Re: General Plan Community Meeting – October 6, 2021

The projected housing unit increases as proposed by the Town Manager, Laurel Prevetti, are completely out of line and impractical. How does a town manager, un-elected, get to make decisions as to the future of the town? Is there no oversight by the mayor and council? Who is listening to the citizens, residents, and taxpayers of Los Gatos?

More dense population means more traffic, of which we have more than our share due to our location at the base of the mountains and along the highway 17 corridor. More traffic means more pollution and more congestion, and more delays.

We already do not have enough water in the Santa Clara Valley to support the existing population, and more housing will put a bigger burden on what is available.

The State mandates that all new housing must be 100% electric. The electric grid is already challenged to keep up with the demand. More housing will mean more PG&E rolling blackouts and higher electric costs.

There is no mass transit available in Los Gatos except for a few VTA buses, and no plan for a mass transit hub in Los Gatos to help relieve the increase in traffic congestion caused by more housing development that will be caused by Ms. Prevetti's plan.

I have been a homeowner and resident of Los Gatos since 1978 (43 years) and a resident of Santa Clara County since 1956. I have seen Los Gatos grow and merge with other nearby areas (Campbell, Saratoga, and San Jose), and now there is no separation. Putting people on top of each other for the sake of the Town Manager's "goal" is to ruin the quality of life in Los Gatos for longtime residents and newcomers alike. Endless growth is not the answer.

Please reject the proposed 1993 new housing units, as other Town Managers have, and especially the 3954 that Ms. Prevetti has taken upon herself to propose before the Town of Los Gatos becomes the City of Los Gatos.

Thank you,

Dennis Grist

From: Sutton Roley/USA
Sent: Monday, October 4, 2021 8:46 PM
To: Clerk <Clerk@losgatosca.gov>
Cc: Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>
Subject: General Plan Community Meeting - October 6, 2021

Town Clerk,

As a 40 year resident of the Town, I want to share my opinion regarding the Town Manager's proposal to increase the planned housing over and above the State's requirement. The Town Manager must be completely out of touch with our community. We love this town and it's low density rural feel. None of us want to live in San Jose and we certainly do not want to change our Town to be like San Jose.

All we hear about is the traffic congestion through town and the North 40 is not even occupied yet. This increase in population that will result from this proposal is too much too soon. It should happen organically and naturally over time.

The State mandated requirement of 1,993 units is hard enough to accept without the Town volunteering to almost double that number. Please bring this to the Town residents' attention, and you will hear a loud and clear message that this ill conceived proposal is unacceptable.

Thank you!

Sutton L. Roley

Senior Director



Sent: Monday, October 4, 2021 8:48 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211005034811] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211005034811]

Name: Joey Cheng

Comments:

The medium density zones in the downtown area of los gatos does seem like a recipe for traffic congestion. I would rather take a safer approach like having higher density near the 85 such as the north 40 project. See where that goes then bring the density down towards down town.

While there probably should be some high density housing to house people that work in the service industry there I don't think it require as much as indicated by the plan. I do strongly believe that people working there should be able to live near by.

Since I have some characters left let me add this. I am not as worried about the character of the town since from what I see character is imparted by someone caring enough to do something unique to their property. What I would start to worry is when apartments and other managed rental properties start spreading.

Page title: [Documents](#)

Sent: Monday, October 4, 2021 8:53 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211005035249] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211005035249]

Name: Joey Cheng

Comments:

The Vasona light rail station seems to be on an indefinite hold? I wonder if it is really a good idea to increase housing density given this. Don't get me wrong, I am not against higher density housing, just not very happy with it if there is no good way for people to move around.

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Sent: Monday, October 4, 2021 9:15 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211005041451] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211005041451]

Name: Joey Cheng

Comments:

Recycling waste water even if it is just for landscaping use is probably going to be needed in the near future. I mean seriously I think we just barely got out of one drought to be thrown in another one. Is there a plan to create the infrastructure to have purple pipes supplying recycled water for landscaping of our commercial and other higher density areas?

Pulling dedicated recycled water pipes to single family home is probably too expensive. Though if someone would build all this to my home I won't be opposed to using recycled water.

Page title: [Documents](#)

From: Anne Roley
Sent: Monday, October 4, 2021 9:27 PM
To: Clerk <Clerk@losgatosca.gov>
Cc: Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>
Subject: RE: General Plan Community Meeting - October 6, 2021

Dear Town of Los Gatos

The impact of additional housing from 1993 to 3854 is not in alignment with the small town character that sets apart Los Gatos from the higher density Silicon Valley. The residents live in Los Gatos for the quaint family like atmosphere with more space, less traffic, good schools, and a safe environment. Adding housing above the 1993 required amount by the state will negatively effect the community feel we all love in Los Gatos. Traffic will increase, density will increase, which most likely will increase crime, school are already at capacity and growing from the new housing on the North 40. The North 40, a huge development, is not finished and occupied by residents and businesses, so we haven't seen the impact yet. Medical office complexes, which results in the largest traffic outcomes, continue to be built around Good Samaritan Hospital.

Do Not Allow The Additional Housing Over The State Required Amount Of 1993 In The General Plan 2040!!!

Thank you,

Anne Robinson Roley

From: Cathleen Bannon
Sent: Monday, October 4, 2021 10:17 PM
To: Clerk <Clerk@losgatosca.gov>; Council <Council@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>
Cc: Grant Bannon
Subject: General Plan Community Mtg 10/6

We are writing to share our outrage at practically doubling of the states required housing numbers from 1993 to 3854 in the proposed general plan.

That can mean additional costs to administer; more cars on the road on limited roads; more Green House Gases; More students in school; about 9300 more residents; etc. We were ok doing our fair share of adding affordable homes in Los Gatos - but the town does not have the infrastructure to support doubling the number required by the state.

Based on ABAG's own forecast, the Town's population is forecasted to increase from 30,836 (current DOF forecast) to 33,050 (ABAG's forecast). Based on the 2.4 people per housing unit ratio, that means the Town only needs 923 new housing units to house the growth in population. But the latest number from the Town is 3,854 new units! That suggests a population growth of 9,250 which is **4.2x ABAG's own forecast of population growth**. The Town's projections are not based on any supporting population forecast and need to be revised downward.

We need to bring the 2040 General Plan housing number back to 1993 and ensure that housing is zoned to make sure to flow with infrastructure limitations to promote ease of movement throughout town.

Thank you for listening to your residents.

Cathleen Bannon

Grant Bannon

From: John Mittelstet

Sent: Monday, October 4, 2021 10:31 PM

To: Clerk <Clerk@losgatosca.gov>

Cc: Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021

Regarding: General Plan Community Meeting - October 6, 2021

I am concerned about the following:

1. The Town Manager has evidently decided **not** to appeal the 1993 housing units assigned to Los Gatos. Far more than needed for the forecasted growth anticipated by 2040. 27 other Town Managers or County managers did appeal. Los Gatos is the **only** Town that **increased** the planned number of homes that we can find. **Under what authority was the Town Manager not appealing? Is the Town Council asleep at the wheel?**
2. The Town Manager decided to increase the number of homes LG has to plan for by doubling the number from 1993 to 3854. She did this without consulting the Council nor getting a vote by her General Plan Advisory Committee. **Why was the Town Manager allowed to make this unilateral decision? If this is true, the Town Council should immediately, without hesitation, release the Town Manger from her duties, and find a someone who is more in tune with the population of Los Gatos.**
3. Los Gatos is a commuter community with some business, but is essentially a job exporter. The VTA will focus on transit in high density areas such as San Jose, Sunnyvale, etc. for years to come. Los Gatos has **no mass transit in the 20 year VTA pipeline**, yet we are expected to build out 3854 homes over the next 20 years? Does it make sense to double our housing with no expected lite-rail in Los Gatos at all in the next 20 or more years? How about 40 years? Doesn't look good where-in the 2040 VTA Plan, it already states they are "financially constrained" for the next 28 years. **This is just one more instance, among many, where the town is allowing for more traffic growth without thinking about how it is going to be handled. Our city streets are already too frequently congested to the point that someone who needs to get to a doctor must start a half hour earlier than normal driving time to not miss an appointment. It's ridiculous to subject ourselves to this kind of unthinking planning.**
4. Based on ABAG's own forecast, the Town's population is forecasted to increase from 30,836 (current DOF forecast) to 33,050 (ABAG's forecast). Based on the 2.4 people per housing unit ratio, that means the Town only needs 923 new housing units to house the growth in population. But the latest number from the Town is 3,854 new units! That suggests a population growth of 9,250 which is **4.2x ABAG's own forecast of population growth**. The Town's projections are not based on any supporting population forecast and need to be revised downward. **Amen. Los Gatos proper is constrained by its geography at the base of the foothills from being able to support more housing than is necessary for the forecasted growth of population.**

5. Are you aware that the Town's Green House Gas (GHG) ratio goes from bad to worse? How will adding more housing improve our GHG? It will be bad enough with just the 1993 homes. **How will they improve the ratio by doubling the number of houses without the support of mass transit?**

It appears we have a woke Town Manager taking unilateral action that certainly would not be supported at the polls by the citizens of our town. If our elected Town Council members cannot control this individual-on-a-mission by releasing her immediately from her duties, then they should expect to find themselves without a seat at the table come the next election.

Sincerely,

John Mittelstet

Concerned Los Gatos Citizen of forty-three years

From: Jamie Fumia

Sent: Monday, October 4, 2021 10:47 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021.

I am writing to you in regards to the general plan meeting scheduled for October 6th.

I was born and raised in Los Gatos and moved back here in 2013 to raise my family. I never expected life for my kids to be exactly the same as the one I was given growing up here because let's face it times have changed BUT I did move back here for many reasons. I love Los Gatos. I love the community, the schools and the beauty of the town. I love the people and the parks and the little downtown where you always run into people you know. But lately I'm concerned about the direction the town is heading. The North 40 was a tough pill to swallow but I listened and tried to understand the reasons it was needed and accepted that there was no way around it.

I do not, however, agree or accept this new idea that the town is adopting to add double the housing requirement in the next 20 years. Why? When is enough enough??? Have you tried to go downtown on a sunny Saturday? We live off of college and cannot leave our house on these days because our town doesn't even have the Infrastructure to handle beach traffic let alone overcrowding it with more housing. I have heard that we are the only town okaying these numbers...why? We've lost a lot of people in this community in the past year who have just had enough and moved away. Enough of the traffic and enough of the overcrowding.

Plan smart and plan accordingly, because obviously i get the need for new housing but please do not ruin the wonderful thing that is Los Gatos by pushing for more housing than we can possibly provide without exhausting all of the resources it takes to make this a wonderful place to live.

Thank you
Jamie fumia

From: Kathy Anderson
Sent: Tuesday, October 5, 2021 7:21 AM
To: Clerk <Clerk@losgatosca.gov>
Subject: Fwd: General Plan. Letter Council Meeting October 6, 2021

Begin forwarded message:

From Kathy Anderson

Subject: General Plan

Council,

Please do not rush to pass this flawed General Plan in November. Please care about the future of our town. Use common sense when viewing the Plan.

Much of the work on the General Plan was done during a pandemic. Most people were concerned about survival and were unaware of the work being done on the Plan. The LG citizens are just now beginning to read and understand what is in the Plan and the detrimental impact it will have on them and the town. So please do not rush to pass.

The Plan is flawed in so many ways. It does not address items mentioned in the EIR. It does not provide for the needed infrastructure for - traffic, water, safety, emergencies, etc . It is like building a house without a foundation.

Increasing density and height allowance, the zoning is just for developers not for the citizens who live here and who elected you.

We have always protected the view of our hills. Increasing the height allowance threatens that. To provide increased density you ruin neighborhoods. You will need to tear down established shopping centers for high rise apartment buildings. Thus forcing citizens to drive further distances to do their daily shopping. This just adds more fumes, more traffic. What about climate change?

Just think in an emergency such as an evacuation more density means more cars trying to evacuate. More density means more students attending the schools. It over crowds and provides an inferior education just by sheer numbers .

Increased density allows a single family home to be torn down and perhaps a 4 plex built .

There are so many features in this General Plan that need to be addressed in order to save Los Gatos. I would like a town wide vote on the Plan. If that doesn't happen it will be up to Council to use common sense, not political views, to address this General Plan.

Think first of what this town stands for, the citizens who live here, to preserve not destroy a very special town. It will be up to you to decide what the future of our town is like.

I hope you care !

Sent: Tuesday, October 5, 2021 8:46 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211005154551] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211005154551]

Name: Fernanda Tran

Comments:

Good morning,

I am totally against the project of building more and more houses at Los Gatos.

Traffic is already terrible. It will make the city lose the charm of Los Gatos!!

We want the same Los Gatos! No a city w double if people.

It sounds like the city just wants more taxes!!

Let's make sure homeless are out of the city and our kids are safe! No creating more homes and have a over population and making Los Gatos to a Los Gatos anymore.

I love my Los Gatos!!!

No for the project that wants to create an absurd number of houses in our beautiful town!

Page title: [Home](#)

From: roberto anji
Sent: Tuesday, October 5, 2021 10:55 AM
To: Jennifer Armer <JArmer@losgatosca.gov>
Cc: Council <Council@losgatosca.gov>
Subject: Suggestion for the General Plan

Hi Jennifer,

My name is Roberto Anji living at 120 Hill Top Dr., Los Gatos since 2011.

I would like to add my voice to recommend a dedicated Plant-Based Education Implementation Program be added to Section 8 Environmental section of the General Plan. I travel around the world and notice that Veganism is growing in many places especially progressive locations like Berlin, London, Copenhagen etc and I also noticed that places like Bali and Chang Mai have many Vegan restaurants and tourists are flocking to them. I think Los Gatos can put itself on this map as well by encouraging and promoting Vegan options. I think you have already been made aware of the many benefits of switching fully or partially to a Vegan diet by some of my like minded friends :-)

Thank you in advance for considering this proposal.

- Roberto Anji

From: Eric Fox

Sent: Tuesday, October 5, 2021 11:38 AM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: over-densification

Dear Town Council, Clerk and Manager -

Your efforts to ram more housing down the throats of the town's citizens is despicable. You have no plan to accommodate the people who live here or the people who would move here. I oppose your densification scheme on every level. You are accountable to the voters and citizens of the town. Your tenure in leadership in this community will come to a swift end if you continue to pursue this thoughtless goal and ignore the voices of the people.

Best regards,

Eric Fox

From: Mark Jamieson

Sent: Tuesday, October 5, 2021 12:30 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>

Subject: Objection to raise in housing numbers

As a 20 year citizen of Los Gatos, I disagree with the decision the Town Manager made to practically double the states required housing numbers from 1993 to 3854 in Los Gatos. That will mean additional costs to administer; more cars on the road; more Green House Gases; More students in school; about 9300 more residents; etc !

Please be more forthright in explaining your decision on this issue.

I am fine with doing our fair share of adding affordable homes in Los Gatos - but I am not in alignment with doubling the number required by the state.

Mark Jamieson, MD

G2 Anesthesia

Pediatric and Adult Anesthesiologist

Medical Director

Forest Surgery Center

From: Tedd W
Sent: Tuesday, October 5, 2021 12:45 PM
To: Clerk <Clerk@losgatosca.gov>
Cc: Town Manager <Manager@losgatosca.gov>
Subject: Los Gatos Housing

We are totally against your proposal of increasing the number of new houses in Los Gatos from 1993 to 3854. Isn't developing the North 40 enough. A person can hardly get home on HW17 in the afternoon as it is now. I distress to even think of the disaster waiting for us when that projects gets completed. Please do not add more to this increasing problem.

From: Nancy Rollett
Sent: Tuesday, October 5, 2021 1:01 PM
To: Jennifer Armer
Subject: Amendments to GP2040

Hi Jennifer,

Thanks for our productive conversation last week. As suggested, I've summarized my recommendations to how the Agency is reflected in the GP2040 in the attached letter.

Please advise next steps.

Regards,

Nancy

Nancy Rollett
Executive Director
208 E. Main Street
Los Gatos, CA 95030
(408) 207-4900



Building a Healthy Community Through Enrichment, Innovation and Fun!



October 5, 2021

Town of Los Gatos

Jennifer Armer

Interim Planning Manager

Re: Amendments to GP2040

Dear Jennifer,

As a follow up to our discussion on September 29th I'm writing to request amendments to the Parks and Recreation Element and Services Infrastructure with regard to how Los Gatos-Saratoga Recreation is reflected in the plan.

Open Space, Parks and Recreation

Item 7.2 states that recreation services are provided on a full cost-recovery model and this does not accurately reflect the service model for recreation. Traditionally our childcare services were more profitable and offset the expense of offering other programs; this is no longer the case under COVID19 childcare restrictions. As facilities and park use fees have increased, it is now unprofitable for the Agency to provide recreation services to the community; this model must be re-evaluated in order for OSPR-6.3 and 6.4 to be continued. Also, the Town facilities and parks the Agency utilizes to offer programs are not discounted.

I recommend it be stated that the model used to offer recreation services to the community must be re-evaluated to achieve financial sustainability since most recreation departments receive subsidy and free use of community assets in order to offer programs.

Public Facilities, Services and Infrastructure Element

Page 6-14 identifies the scope of the Agency work. LGS Recreation should be mentioned as the childcare provider with four Clubhouse childcare sites on the LGUSD campuses.

For completeness it should be mentioned the Agency publishes a brochure of program offerings three times per year and offers several thousand programs and services for all ages.

Page 6-15 It is recommended that the map be moved to the end of the section so it doesn't break up the discussion of recreation and social activities.

PFS-13.4 should be restated to indicate the Town works with the Agency to develop programs for seniors and youth.

PFS 14.1 and 14.3 describe Senior Services and indicates that the Town Manager connects seniors with resources in the community. This is the role of the Agency along with other service providers.

PFS 25.3 and 25.4 and page 6-33 indicates a feasibility study should be performed to evaluate need for a Performing Arts Center. I recommend the study be expanded to evaluate interest and need for a Community Center.

I recognize these may appear to be subtle changes but each element reflects the importance of the Agency's role in the community. Please let me know if you need clarification on the requests or would like to discuss further.

Regards,

A handwritten signature in blue ink, appearing to read "Nancy Rollett", with a stylized flourish at the end.

Nancy Rollett

Executive Director

LGS Recreation

208 E. Main Street

Los Gatos, CA 95030

From: Sandra Livinghouse

Sent: Tuesday, October 5, 2021 1:09 PM

To: Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes; Maria Ristow

Cc: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021.

October 5, 2021

Dear Town Council,

I recognize that the town planning job is extremely complicated and at times a no win, as there is no way to make everyone happy. Nonetheless, the Los Gatos General Plan 2040 is an extreme miss and needs to be radically revised as it stands. I am also highly concerned about how transparent and ethical town operations are in the planning/town management department, which should also concern you as elected officials.

Los Gatos needs to be preserved as well as developed. You have an obligation as elected officials to improve the livability for the citizens who live and pay taxes here, as well as to manage responsible growth and development.

My asks:

- There is no need for you to approve a General Plan by the end of the year that is not due to the State until January 2023. Please allow for community involvement and plan to finalize by mid next year timeframe, 2022.
- Please reduce the housing element to the state's request of 1993 units, not the almost 4,000 you have planned.
- Please eliminate the new zoning proposals for the entire town and stick to our current zoning.
- Please evaluate whether the current Town staff is truly representing our town.

Los Gatos cannot accommodate your ambitious growth plans for the following reasons:

- **Traffic/Roads:** Los Gatos long ago made the decision not to allow Caltrans to widen 17 or to allow a south-bound exit onto highway 85 at Winchester. Both of these factors contribute to making traffic in LG intolerable. Until you have the funds to pay for these improvements (since CalTrans now won't), you cannot advocate for massive building of almost 4,000 units. In addition, VTA has no plans to extend light rail to LG-they are focusing on more centrally located commuter areas such as San Jose and Sunnyvale.
- **Schools:** Young families move here for Los Gatos schools, and they are extremely important to our community. If you impact our school quality with too many residents, the entire community and town suffer. And if a new school is needed, who is going to pay for it?
- **Environmental:** The environmental impacts of this plan are unconscionable. Where is the water and electricity coming from to accommodate all these new residents? The projected greenhouse gas emissions from additional vehicles will increase tremendously under your proposed plan. And why do you not make sure that new developments such as the North 40 are

done in an environmentally sound way, with solar, grey water recycling and other needed green building practices?

- **Fire Safety:** Los Gatos is a lower mountain town and largely in a high fire zone. And, our neighbors up 17 are also at high risk of fire. How will we evacuate safely if you overbuild the town and impact road access? On a safety basis alone, the LG General Plan 2040 is completely irresponsible.
- **Ongoing Costs to Service Residents:** More residential buildings cost money, and the property taxes received do not cover the costs of fire, police, schools and other services. Who is going to pay for all these additional costs? Where is the fiscal plan that justifies all this building from a financial perspective?

I am also highly concerned about your town management operations, and here are a few examples:

- **Non-transparency:** LG residents were hunkered down during the Covid public health crisis and were not at all aware of the town's plans for radically revising the town's buildings policies. Having lived in the town for a long time, there is a precedent of slower growth and preservation I had come to assume. I personally was not aware of the town's plans until the July 2021 SJ Spotlight interview appeared (after the deadline for appealing the State's housing units demands). Although you keep pointing to meetings you had, around 11 people attended those meetings, including the developer it seems. That is hardly representative of LG's 30K population. And, the town made no effort except for one mailing two years ago to alert citizens to the LG General Plan 2040. Where's the communication and transparency?
- **Randomly Increasing Housing Numbers:** How is it that the Town Manager randomly keeps increasing the housing numbers without the Town Council's approval or even knowledge of the GPAC? Who is driving this change in numbers and under whose direction? And, was the Town Council aware that Los Gatos was not challenging the state's requested housing numbers in July 2021?
- **Insufficient Reporting for Public Meetings:** Why are letters from the public that are prepared for town council and other meetings not being included in the public packets and posted on the website?

I hope you find my observations useful and that you will change your transparency and operational approach for the LG General Plan 2040. Los Gatos growth and development for the next 20 years should not be decided by just a few people on the town council and staff. Please make citizen input, safety and livability a priority.

Regards,

Sandra Livinghouse

From: Diane Dreher

Sent: Tuesday, October 05, 2021 1:50 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Cc: Diane Dreher

Subject: for the October 6 General Plan Community Meeting:

Please include this email in the packet for the October 6 General Plan Community Meeting:

As a longtime Los Gatos resident, I'm concerned and confused about the proposed increase in housing in the General Plan from the original 1993 to 3854.

My questions are: 1) What is the rationale for this increase? 2) We know that all of California needs to respond to the current housing crisis, but why is Los Gatos the only town that has exceeded its original housing allotment? And 3) how was this decision made without appropriate input from the Town Council?

I strongly support returning to the original 1993 housing allotment. Our small town cannot handle the proposed increase without exceeding its carrying capacity. The proposed increase would exceed:

1. Our limited water resources. We are experiencing a record drought and asked to conserve water. Where would there be enough water for the additional population?
2. Our transportation system. How will people commute to work? Los Gatos has no mass transit planned in the 20-year VTA pipeline
3. Our limited sewage system, designed decades ago,
4. Our limited fire department and other services.

For the future of our community, please return to the original 1993 housing allotment.

Diane Dreher

--

Diane Dreher, PhD

Professor Emerita of English

Associate Director, Applied Spirituality Institute

Santa Clara University

From: Lori Ingle

Sent: Tuesday, October 05, 2021 1:53 PM

To: Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes ; Maria Ristow

Cc: Town Manager <Manager@losgatosca.gov>; Clerk <Clerk@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021

Dear Los Gatos Town Council Members,

First, thank you for what you do! I greatly appreciate all your efforts. I have been a lifelong citizen of Los Gatos and love our town. I am usually up to speed with what is going on in Los Gatos. Somehow I think that I have been late to the party and missed the news about the Los Gatos Town General Plan outlining development through 2040. I strongly feel like the Los Gatos General Plan 2040 is an extreme miss and needs to be radically revised as it stands. I am also highly concerned about how transparent and ethical town operations are in the planning/town management department, which should also concern you as elected officials.

My specific concerns are:

- There is no need for you to approve a General Plan by the end of the year that is not due to the State until January 2023. Please allow for community involvement and plan to finalize by mid next year timeframe, 2022.
- Please reduce the housing element to the state's request of 1993 units, not the almost 4,000 you have planned.
- No one has been able to clearly articulate why Los Gatos did not ask for an exemption like many other towns and cities around us did, and why Los Gatos proposed increasing the # of units. How is it that the Town Manager randomly keeps increasing the housing numbers without the Town Council's approval or even knowledge of the GPAC? Who is driving this change in numbers and under whose direction? And, was the Town Council aware that Los Gatos was not challenging the state's requested housing numbers in July 2021? These are all questions we need answered.
- Please eliminate the new zoning proposals for the entire town and stick to our current zoning.
- Please evaluate whether the current Town staff is truly representing our town.

The LG citizens are just now beginning to read and understand what is in the Plan and the detrimental impact it will have on them and the town. So please do not rush to pass.

The Plan is flawed in so many ways. It does not address items mentioned in the EIR. It does not provide for the needed infrastructure for - traffic, water, safety, emergencies, etc...

There are so many features in this General Plan that need to be addressed in order to save Los Gatos. **I would like a town wide vote on the Plan.**

Please make citizen input, safety and livability a priority.

Regards, Lori Ingle

From: Molly Fumia

Sent: Tuesday, October 05, 2021 2:08 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: housing and soccer

We would like to voice an objection to the housing numbers decided on by the town manager. Low cost housing is important, but the environmental footprint is equally important. Half that number seems doable, sensible and responsible.

We would also like to ask about soccer fields. Do you all realize that Los Gatos United Soccer Club now has 900 players, doubled from 2 years ago when Shaun Tsakiris took over. The games bring out of towners every weekend, who eat at our restaurants and visit our shops.

LG United has been widely praised for the coaches' work ethic, knowledge of soccer, complex training and most of all, positive relationships with the players. Their biggest problem is fields.

Los Gatos High School fields are used by Liverpool, a shrinking soccer club. For Los Gatos United to be able to have just one space at the high school several days a week would be a wonderful benefit to the kids.

One soccer field, Creekside, is not enough for a club with 900 players. Please find a space and build at least one more soccer field. Many communities now have soccer complexes to serve their soccer families and visiting players. Los Gatos United, easily one of the best youth soccer organizations in California, could not host a tournament--which fill hotels and restaurants, because they don't have the fields.

Please put this concern, which is on the minds of many others, on one of your front burners. Los Gatos deserves better.

Thank you, Chuck and Molly Fumia

From: Susan Shyu Pinkel
Sent: Tuesday, October 5, 2021 2:55 PM
To: Clerk <Clerk@losgatosca.gov>
Cc: Town Manager <Manager@losgatosca.gov>
Subject: Meeting on General Plan

Dear Los Gatos Town Clerk,

We have lived in Los Gatos Main since 2012. We own three houses and an apartment complex. We have visited and/or owned a home in Los Gatos since 1992. When we first moved to Ellenwood Ave, our youngest son was not able to enrol in any of the elementary schools closest to our home (Daves, Van Meter or Blossom Hill). We were told that Daves, Van Meter and Blossom Hill were ALL impacted and that we had to send him up Highway 17 to Lexington Elementary. This, we found, was outrageous considering Daves and Van Meter were only about one mile away from where we live. In the end we had no choice but to send our sons to private schools.

With this background, we would like to voice our strong objection to the General Plan that will increase the number of new homes in Los Gatos from 1993 to 3854. If back in 2012, when we couldn't enrol our son into the local elementary school, and when the housing stock in Los Gatos had not even been increased yet, why would increasing the housing from 1993 to 3854 now be a good idea?

Further, Los Gatos already has huge traffic issues and without access to decent public transportation, how does the Town Manager envisage traffic to flow? Or does the Town Manager think that traffic will sort itself out or that the public will just get use to it?

To sum up, we strongly object to Los Gatos Town's General Plan for the increased housing stock. We do not agree with the original housing increase let alone the new number of 3854. We objected to North 40 and the Town took no notice. We now object to the new housing stock number and respectfully ask that the Town Council do not accept the new General Plan regarding the increase in housing stock.

Best regards,

Susan Pinkel

From: Amir Segev

Sent: Tuesday, October 05, 2021 3:28 PM

To: Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>; Clerk <Clerk@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021

Town Clerk,

It came to my attention that the Town Manager is proposing to increase the planned housing density way above the state's requirement and as a long time Los Gatos resident I would like to express my dismay and confusion about this. First, I just cannot understand how can a Town Manager be so out of touch and completely oblivious to the will, the needs, and the very basic priorities of the community it serves. No other town in the Bay Area found it necessary to accept, not to mention exceed, the state mandates. No other town in the Bay Area showed such a blatant dismissal of the community interests. Increasing the housing density in Los Gatos the way it is being proposed by the Town Manager will change its character, the quality of living, and the entire meaning of being a Los Gatos resident. Our roads are already standing still, our air is already more polluted than ever, our infrastructure is already having hard time supporting the town's needs, and our schools are already bursting at the seams. The proposed 2040 plan is not only irresponsible and unwarranted but also contradicting the Town Manager's very clear mission, which is to **"enhance the quality of life in Los Gatos.... and seek to meet the needs of the community"**. Moving forward with the 2040 plan as stated will not meet the needs of the community, it will betray them. It will not enhance the quality of life in Los Gatos, it will jeopardize it.

I cannot even begin to say how many people in the community are outraged and their voice will be heard as they send a very clear message – we came to Los Gatos for a very good reason and the ones who are entrusted with protecting this town cannot be those who end up undermining it.

Thank you,

Amir Segev

From: Bill Walker
Sent: Tuesday, October 5, 2021 3:44 PM
To: GP2040 <GP2040@losgatosca.gov>
Cc: Matthew Hudes
Subject: 2040 General Plan

Council Members and Town Manager:

Do not continue to further destroy our small town environment by planning for more than the state-mandated housing requirements. Over the past 26 years we have lived in LG we have seen extremely worsening traffic exacerbated by out-of-control housing and population growth yet to be further exemplified by Phase 1 of the North 40 with Phase 2 yet to come.

Secondly, while we accept minimal state-mandated low-income housing, it should be kept to the absolute minimal amount that is mandated not to be increased by those in the minority professing something more. We don't need more crime and homelessness both of which receive minimal attention from our police force or town management.

Thank you for listening.

Bill Walker

From: Mark Regoli

Sent: Tuesday, October 05, 2021 3:49 PM

To: jak; Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>

Cc: Maria Ristow; Marico Sayoc

Subject: General Plan 2040

Town Council, clerk and Manager,

Your efforts to increase the housing in Los Gatos above the state mandated amount is very disappointing.

There is no plan to accommodate the people who live here or the people who would move here. This will have a tremendous impact on everything from schools to water consumption. A change like this needs to be studied with an EIR and CEQA impacts.

I oppose this densification on every level. You need to address the impact on the citizens and get their approval prior to launching a program of such magnitude.

Mark

SOUTH BAY
DEVELOPMENT CO. 

MARK REGOLI

From: Jeff Loughridge

Sent: Tuesday, October 5, 2021 5:49 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021

Date: October 5, 2021

To: Los Gatos Town Clerk, Los Gatos Town Manager, and Los Gatos Town Council

From: Jeff Loughridge

I recently heard some very distressing news regarding our towns new ABAG numbers and how the town staff is handling them. I have previously been a member of the Town of Los Gatos Affordable Housing Advisory committee as well as the Housing Element Advisory Commission.

What I heard was that our town manager, Laurel Prevetti, has suggested INCREASING the number of affordable housing units that Los Gatos is required to plan for, from 1993, up to 3854. This in no way representative of the what the Los Gatos residents want. This was also done without any input from either town residents or even the current Town Council.

Laurel Prevetti needs to be reminded that she REPRESENTS Los Gatos and its residents and needs to stop her irresponsible reaction to the State of California's new ABAG numbers.

Its NOT OKAY for her ignore appealing the original requested numbers to lower the required housing units.

Its NOT OKAY to increase these numbers without input from the town.

AND... Its NOT OKAY for her to disregard the detrimental effect of the consequences of the possible increase in population and traffic.

Believe me, having been on the two committees that had to deal with this exact problem for the previous Housing Element, this should not be happening. Laurel Prevetti sat in on most, if not all of those meetings and should have gotten the message LOUD AND CLEAR that the town has always wanted lower numbers, not higher ones.

As Los Gatos residents, we cannot let this stand. Stop Laurel Prevetti from raising our towns ABAG numbers. Get input from Town Council and the public on this issue. If 1993 is the number from the state and we have already past the opportunity for an appeal of that number to lower it, then stop this insanity of increasing it.

Jeff Loughridge

From: Lisa Wade

Sent: Tuesday, October 5, 2021 5:59 PM

To: Jennifer Armer <JArmer@losgatosca.gov>; Council <Council@losgatosca.gov>

Cc: Karen Rubio

Subject: Plant- Based Implementation Program for General Plan

Hi Jennifer,

We have come up with some wording for a Plant-Based Education Implementatoin Program that could be easily inserted into section 8.12 Implementation programs in the General Plan.

Plant-Based Education

Implement programs to educate and support residents about the benefits of shifting to a plant-based diet, which includes improved health, curbing greenhouse gas emissions, reducing biodiversity loss and deforestation, reducing water usage, and reversing pollution of our air, land, and water.

I will add this to my comments for the meeting tomorrow.

Best,

Lisa

From: Kjirste Morrell
Sent: Tuesday, October 5, 2021 6:08 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: General Plan Community Meeting - October 6, 2021

Dear General Plan Committee,

I would like to request that the Los Gatos General Plan 2040 reflect a commitment to grow as a walkable and bike-friendly community. The walkable nature of the town and public access to outdoor space were part of the reason that my family moved here. I know, from observation of so many of us walking and riding around town, that our town values:

- the ability to walk to businesses, services, and schools from many residential areas
- streets and paths which encourage riding bikes both as transportation and for exercise
- outdoor public spaces including paths and trails that can be used for exercise

Considering these factors during future development would help our community grow in a way that we could enjoy every day.

Thank you,

Kjirste Morrell

From: Sasha Braude

Sent: Tuesday, October 5, 2021 10:00 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021

Hello, I received an e-mail and postcard about the General Community meeting on Tuesday. I will attend via Zoom, but given the high interest, may not have the opportunity to speak.

I wanted to voice my strong objection to the proposed housing portion of the 2040 General Plan. I understand that we need new housing, but to build up to 3853 units is extremely excessive. We already have terrible traffic not just on the main streets such as LG Blvd, Winchester, Santa Cruz, University, etc, but it's now spilling over to residential streets as people try to go around the traffic. And when it's school drop-off and pick up time, it's impossible to make it in or out of our neighborhood. Building double the number of homes that is required by the state is ridiculous, we simply do not have the infrastructure to support it. We already have a massive development at South 40, and are at a breaking point without those units being filled.

As residents of the town, I know you care about our future, and I strongly urge you to reconsider the current proposal.

Thank you,

Sasha Braude

Los Gatos, CA 95030

From: Susan Ward

Sent: Tuesday, October 5, 2021 11:34 PM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council
<Council@losgatosca.gov>

Subject: The Town was never meant to become a Megatropolis

The people who live in a Town shouldn't need to fight our elected officials to maintain our status. The other neighboring cities have kept their charm and relative size as the constituents prefer. Who is making money while destroying Los Gatos' charm? You know that Los Gatos do not want this change. It is not a necessity per the State. No other towns or cities are quadrupling. What's up Leaders?

Sent from my iPhone

Sorry I omitted my name

Susan Ward

From: Susan Ward

Sent: Tuesday, October 5, 2021 11:48 PM

To: Clerk <Clerk@losgatosca.gov>; Council <Council@losgatosca.gov>; Town Manager
<Manager@losgatosca.gov>

Subject: General Plan Community Meeting Oct 6, 2021

I do not want my Town to grow much larger. I do not agree with the General Plan.

Susan Ward

Los Gatos

Sent from my iPhone

From: erafia
Sent: Wednesday, October 6, 2021 9:33 AM
To: GP2040 <GP2040@losgatosca.gov>
Subject: General Plan Comments

I am writing about the 2040 General Plan update. I disagree with the inclusion of this entire section into the general plan. First and foremost, this entire section does nothing to bring people together and is instead being pushed by those with an agenda to divide the community. It is filled with all the keywords meant to make it seem like it is well intentioned, but it **will** undoubtedly be weaponized against the town and cited in lawsuits, leading the town to waste valuable time and resources in the future.

In addition to what it will be used for in the future, take a look at the long list of administrative overhead it creates for staff. It is completely unnecessary, and a waste of taxpayer dollars.

Lastly, it is an overreach of the government's purpose. Take for example the provision RSEJ4, calling for town involvement in the coordination of allowing for acceptance of EBT cards at the local farmers market. First of all, why does an EBT card need to be used at a farmers market? That in and of itself is absurd. Secondly, what does this lead to - that no business license will be granted to any vendor not willing to adhere to this provision?

I strongly encourage you to eliminate this section of the general plan in its entirety except for any provisions that may be required under any applicable California law, if any. In fact, most of what is referenced in here is already covered under California and Federal laws against discrimination, and a duty of fair dealing. I would also be curious if you questioned those who pushed for it, to better understand where they actually live and who they are funded by before even considering including any elements of this section in the town's general plan.

Eric Rafia

From: CHRISTINA JANSSON
Sent: Wednesday, October 6, 2021 9:54 AM
To: Council <Council@losgatosca.gov>
Cc: Clerk <Clerk@losgatosca.gov>
Subject: GENERAL PLAN COMMUNITY MEETING 10/6/2021

I have three questions, I would like answers to:

- 1) 3,500+ homes would be built, "if/when the infrastructure is improved on". How? Light Rail? More roads? The latter seems unrealistic.
- 2) 1993 homes. That is still 1993 cars! Does that not require "improvement of the infrastructure"? Or, is it the usual "act first and think later"?
- 3) What dollar number constitutes affordable housing in Los Gatos? Please point out to me, where, and how many there are.

Do I have to speak at the meeting, to have these questions answered? Or, can you answer them during the meeting?

Regards,
Christina J

From: kay maurer

Sent: Wednesday, October 6, 2021 11:55 AM

To: Clerk <Clerk@losgatosca.gov>; Town Manager <Manager@losgatosca.gov>; Council <Council@losgatosca.gov>

Subject: general plan

Hello,

I am writing to address an issue with the new proposed 2040 general plan. Specifically the below item, which if this is true, it is definitely way out of line.

The Town Manager decided not to appeal the 1993 housing units assigned to Los Gatos. 27 other Town Managers or County managers did appeal. Los Gatos is the only Town that increased the planned number of homes that we can find.

Why would our gridlocked town want more housing than is absolutely necessary? We don't have the infrastructure to support more homes, and have not even yet seen the impact of the housing in the north 40. Los Gatos officials need to work to improve the quality of life in our town, not pack it with cars and more people that it cannot adequately support. Things are out of control. We have no solution to the summer traffic issues, little to no improvement to infrastructure, and no viable plan to address overhead power wires that have started devastating fires in other areas of northern California.

Please do not move forward with this unforgiving plan to overpopulate the town at this point in time. Perhaps it can be revisited in 2040 if other issues have been resolved, but definitely not now.

Thank you for taking time to read my views.

Sincerely

Kay Maurer

Los Gatos, cA

From: Katie Hingle
Sent: Wednesday, October 6, 2021 12:25 PM
To: Clerk <Clerk@losgatosca.gov>
Cc: Town Manager <Manager@losgatosca.gov>
Subject: Fwd: Feedback before General Plan review on Oct 7

In reference to the General Plan Community Meeting - I would like to provide this feedback.

----- Forwarded message -----

From: **Katie Hingle**
Date: Wed, Oct 6, 2021 at 10:15 AM
Subject: Feedback before General Plan review on Oct 7

Dear Town Council,
I appreciate the outreach that the Town of Los Gatos has provided to ensure the community's voice is heard in the process of finalizing our current General Plan. I have read much (not all) of the proposed General Plan for 2040, and there are many components I believe will add value to the Town and some that are of concern.

The goal to make the Town more diverse by building more accessible housing that is also centrally located to walking/biking/alternative-to-car is a huge win. I am very excited by the points of the Plan that discuss increasing cycling and alternatives to cars, and maintaining expansion while managing our environmental impacts.

My concerns center on the fact that the Town's General Plan calls for practically doubling the amount of homes (3,738 new homes) required by the RHNA plan for Los Gatos (1,993). Although there are many good points in the General Plan to ensure that employers offer shuttles, and that we increase kids walking/cycling to schools, our Town is not set up for the population increase we would experience.

From <https://www.demos.org/research/move-thrive-public-transit-and-economic-opportunity-people-color> "If we want everyone to participate fully in the American economy, we have to make sure that everyone, regardless of race, ethnicity or class, has an efficient and affordable way to get to work, school, health care, and recreation."

Could the Town also do something to incent the workers to stay here in Los Gatos vs. commute far away? Not likely as we don't have sizeable businesses here. The new residents will commute, like the vast majority of residents here do today, then we will need more buses and other public transportation. The fact that the Future Vasona Light Rail Extension is on hold indefinitely until there is funding from the VTA means that adding 1,000's of more commuters will add 1,000's of more cars on the road.

And if we have more kids in our schools, and the parents are lower income and would need to commute by bus to get to their jobs, they will not be able to drop their kids off at school. We need school busses and/or other incentives for kids to walk/ride to schools, especially in bad weather or on days of bad air quality.

Last, I see the point about requiring employers with 100 + employees to provide shuttle services. Does that mean companies like Adobe, Salesforce, Google, Apple will be required to shuttle their Los Gatos employees? If yes, how does the Town have any leverage over these companies? Or does that mean that companies in Los Gatos who have 100+ employees must provide shuttle service. Is that even a thing here in Los Gatos besides Netflix?

I would suggest that the Town's General Plan focuses on building housing to meet realistic population growth goals vs. overdoing it with development close to downtown, get cars off the road by focusing with continued focus and development of ways to cycle, walk, etc, and get the VTA and other public transportation to increase.

Katie

From: Sue Ann Lorig
Sent: Wednesday, October 6, 2021 12:30 PM
To: Jennifer Armer
Subject: Comments to Los Gatos Planning Commission

Hello Ms. Armer,

As a heads up, these are the comments I will make by Zoom at the Planning Commission meeting this evening.

Best,
Sue Ann

Comments to Los Gatos Planning Commission
October 6, 2021

Hello. I'm Sue Ann Lorig. I've been a resident of Los Gatos for eight years.

Thank you for this opportunity to speak and thank you to all the members of the Planning Commission for the work you do for our beautiful town.

My request to you is this:
Will you please add a dedicated Plant-Based Education Implementation Program to Section 8.12 of the Environmental and Sustainability element of the General Plan?

I am asking this because I sincerely believe that we need to reduce our consumption of animal products if we are to have a real chance at reversing climate change.

As noted in Forbes, "In what the [Guardian](#) called "the biggest analysis to date," researchers concluded that shifting away from meat and dairy is the single most effective way to regenerate our ecosystems and prevent its destruction. " Additionally noted in the Forbes article: "Since livestock production is the single largest contributor of emissions around the globe (more than planes, trains and cars combined), removing it from our food system could allow the planet to regenerate."

Huge additional benefits from eating more plants and less meat include saving vast amounts of water, plus improving our health and reducing the strain on the the health care system.

There are so many things a Plant-Based Education Implementation Program could do, such as having cooking classes to teach people how to easily prepare delicious, nutritious plant-based meals. We could have speakers on a range of topics including how to improve your health with whole food plant-based eating, how eating less meat and dairy benefits the planet and is necessary if we want to halt and reverse climate change, how to plan plant-based meals, and more. I would love it if we could have a VegFest with plant-based vendors, socialization, and fun activities. Film screenings would be wonderful, too.

Thank you again for all you do. I urge you to help Los Gatos be part of the solution to climate change by adding a dedicated Plant-Based Education Implementation Program to Section 8.12 of the Environmental and Sustainability Element of the General Plan.

<https://www.forbes.com/sites/michaelpellmanrowland/2018/06/12/save-the-planet/?sh=2a23f9bf3c81>

From: Jared Ajlouny

Sent: Wednesday, October 6, 2021 1:41 PM

To: Clerk; Marico Sayoc; Rob Rennie; Mary Badame; Matthew Hudes; Maria Ristow

Cc: Town Manager

Subject: General Plan Community Meeting - October 6, 2021

Hello Town Council,

Los Gatos is a very special place. It has been developed and planned over the years to keep it a special place. While traveling I meet many people that have been to downtown Los Gatos and remark how beautiful it is. That is pretty remarkable for a small town. The reason for this is because of the town's special character. This includes the zoning rules that maintain the density of development in certain areas. While high density housing makes sense in certain areas (close to economical public transportation, work hubs, etc), downtown Los Gatos is none of that.

I wanted to address some of the 2040 general plan items that are keeping me up at night. My wife and I live on College Ave. College Ave is arguably one of the most known residential streets in Los Gatos due to the proximity to the park and the winery. It is visited by thousands of people every week. On weekends it is almost impossible to find parking. If high density housing is allowed in this area it would make the traffic and parking a larger mess than it already is.

During the summer beach traffic it takes about 30 minutes to get from highway 9 to College Ave. Imagine if there was a fire on a large multi family building that was newly built in a fire hazard zone. Per the towns own "Fire Hazard Map" <https://losgatosca.gov/DocumentCenter/View/64/General-Plan---Fire-Hazards-Map?bidId=>, College Ave and the entire hillside is a fire hazard zone. Why would anyone consider high density housing in a fire hazard zone? Especially with what has been going on with the fires the last few years.

Our parcel on College Ave has a shared driveway with three houses. The driveway is also very difficult to access from College Ave. If that driveway suddenly had 4 times the amount of vehicles on it, it would completely ruin the traffic up and down College Ave. It would also be a hazard with the pedestrians walking and biking up and down the road.

Please put reasonable thought into this terrible plan. California is already losing more of its standard of living every year. Please don't add to that.

Thank you.

Jared Ajlouny

From: Jeff Rippin

Sent: Wednesday, October 06, 2021 1:17 PM

To: Clerk <Clerk@losgatosca.gov>

Subject: General Plan Community Meeting - October 6, 2021 - bring the 2040 General Plan housing number back to 1993

Hi,

I understand that the state requires Los Gatos to increase housing units by 1993 by the year 2040.

But, the Los Gatos Town Manager wants to increase the states required housing numbers from 1993 to 3854?

Please keep the number at 1993. I feel the city is busy enough with cars.

Why do we need more than the state requires? Maybe I'm missing something?

Take care,
Jeff Rippin

From: MARY PATTERSON
Sent: Wednesday, October 06, 2021 6:03 PM
To: PublicComment <PublicComment@losgatosca.gov>
Subject: 2040 General Plan

Dear Council,

I am totally against adding another 3,000+ homes to Los Gatos. Let's consider that proposal.....we have no water

we've had to buy generators because we lose electricity
the town traffic is congested and stressful
we've had to add an area code when calling due to no lines
there is no room in our schools and no land or money to build
AND no one lives in the North Forty yet.

Does this proposal make any sense???? NO!!

Please leave Los Gatos the quaint little town that we know and love!!!

Thank you,
Mary M. Patterson

From: KENNETH ARENDT
Sent: Wednesday, October 6, 2021 6:29 PM
To: GP2040 <GP2040@losgatosca.gov>
Cc: Matthew Hudes; Neuner, Gary
Subject: GP 2040 - ideologies that are not to be placed in the GP

Hello,

All of this plant based stuff is fine, on a personal basis. It has NO PLACE in the general plan for LG.

If you were to allow this, it opens the door and sets a precedent for other ideologies of ANY nature, to burden the GP process.

Ken Arendt

NOTE: this email is being sent to thousands of Los Gatos residents

From: KENNETH ARENDT
Sent: Wednesday, October 6, 2021 6:41 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Fwd: Trouble here in Town - the General Plan and more

To the GP2040 Planning Committee

The below email and attachment was sent to the Town Council. Please do read my concerns. Thank you.

Ken Arendt

----- Original Message -----

From: KENNETH ARENDT
To: Marico Sayoc <MSayoc@losgatosca.gov>, "rrennie@losgatosca.gov" <rrennie@losgatosca.gov>, "mbadame@losgatosca.gov" <mbadame@losgatosca.gov>, "mhudes@losgatosca.gov" <mhudes@losgatosca.gov>, "mristow@losgatosca.gov" <mristow@losgatosca.gov>
Date: 10/04/2021 8:25 PM
Subject: Trouble here in Town - the General Plan and more

Hello TC members. This is a very difficult email for me to send, as I never thought that I would have to do this. I know most of you, and vice versa, and have been supportive of all you have done for the Town in the past. Several of you have had gone through a gauntlet of issues over the years, and it hasn't been easy.

But now, the real issues facing us are at least two-fold, most likely more. One is definitely the growth and how to accomplish it without damaging the Town, its residents and character. The other issue is perhaps more serious. It is the blatant actions of the Town Manager to get us in this trouble in the first place. I know that some of you might be friendly towards her and her staff. And you rely on the Town employees to support you and not ignore you. So this is probably distasteful. But you must do your jobs and honor the oath of office that you took.

Please read my attached paper to you. I do trust that you will take the right actions to bring us back on track.

Thanks for all that you do.

Ken Arendt
LG 95032

October 4, 2021

LG Town Manager and Staff

Topic: MIS-BEHAVIOR and BAD JUDGEMENT

REFERENCE: TOWN COUNCIL POLICY MANUAL , 2-04, PAGE 8

Town Study Session of September 20, 2021

General Plan for 2040

After reading many of the Town Documents regarding Town code, RHNA requirements, General Plan, I am very concerned about the recent behavior of the Town Manager and staff. How did the Town land use element and Town's housing needs get de-railed? Specifically, I am addressing not so much the resulting numbers that are being floated around, but the inappropriate process of getting to where we are.

According to the TC Policy Manual referenced above, and other documents of the Town, it is clear that the Town Council establishes policy and direction for the Town and the TM and her staff are responsible for carrying out the directions set forth. It is NOT within the preview of the TM to establish policy and take actions that ignore TC approved directions. Nor is it proper for the TM to go public with local media about Town housing element numbers that have not been approved by the TC. That is called insubordination.

I refer specifically to the TM's specific change of General Plan Preferred Alternative numbers that were approved initially by the TC, at about 2800 units. In fact the TM set forth and disseminated to the public new arbitrary numbers which were made PRIOR to the State mandated RHNA numbers, which were substantially lower, at 1993 units. The TM created numbers almost doubled those RHNA numbers without TC approval. This action negatively impacts the charter of the Town as to the authority placed within the Town Council. Why wasn't the TC notified and involved, especially along the way? As such, the following points are made:

- The TM stepped outside her bounds of authority
- Failure to properly notify the TC and/or the Mayor of dramatic changes to housing numbers
- Did not notify the TC when appropriate as to when any appeals to the State could be made by the Town
- Published newly created housing element numbers without TC authorization
- When asked "why" she did this at the most recent study session, her answers were without merit; ie, lots of work, we were all busy, etc
- It appears that her own personal agenda overrides decisions that are supposed to be in the best interests for the Town
- Housing numbers that she proposes may have significant negative impacts on the Town –
 - Exceeding RHNA numbers opens the door to developers to do most anything they want
 - Water – we are in a drought; what is the plan to address this?
 - Traffic – we are already complaining about traffic all over; what is the plan?
 - Schools – what are the metrics regarding teacher/student acuity ratios? New schools? What is the plan?

- Character of the Town as to what the residents bought into and what we want; we have all worked very hard to get here and be what we are! We do not want to change into something we are not!
- Housing values and neighborhood impacts
- Other unforeseen impacts
- Impacts of this nature need to be studied, analyzed and voted upon and NOT arbitrarily set into place by the TM who has no authority to do so. Arbitrary action beyond authority levels in the TM's position weakens the TC and its authorities.
- **Town Attorney** – he should have advised the TM of her actions, but apparently did not, or did not know about it, or was ignored. Either way, the TA should have advised the TC as to this action as well as advised the TC about potential appeal dates and requirements. This did not happen.

RECOMMENDED ACTIONS:

The Mayor and the TC should take actions to address these bad judgment actions, review both the TM and TA performance and set forth consequences as appropriate. In regular corporate situations, a board of directors might even fire the position. Please do your job and take whatever actions are necessary to correct the problem.

DESIRED OUTCOMES:

- The TC needs to formally accept the State mandated RHNA numbers with further study done as to density issues and how to address them without damaging the Town further.
- The TC needs to address the TM and her staff as to their limits of authority and determine why the TC was essentially ignored in the process.
- The TC should evaluate these actions of the TM and determine if the job has grown beyond her level of competency to continue.
- The TC needs to set forth its mandates to itself, the citizens of the Town and the Town management and staff, that although we see the need for diversity, inclusion, public safety, etc, we can and will do so while retaining the nature and character of the Town. We have many many citizens, current and long standing, who have worked very hard and have sacrificed much to reside here. Some were lucky, others worked two jobs. But we did what we did to be here and become part of this community. We do not want it changed.
- Create studies to understand what impacts SB 9 and 10 will have on our community and create ways to accommodate those laws without damaging our Town.

Sent: Wednesday, October 6, 2021 8:22 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211007032212] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211007032212]

Name: Cameron Tulee

Comments:

Regarding Fire safety:

One way to help reduce the fire risk it to have the utilities buried. Overhead utilities have been the cause of multiple devastating CA state fires in recent years. I didn't see this mentioned in the general plan - Is this something we can push for as a Town government and in the general plan? Especially in the hillside areas which are much less accessible and could cause an out-of-control fire situation.

Thanks,

Cameron Tulee

Page title: [Home](#)

Sent: Wednesday, October 6, 2021 9:56 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211007045548] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211007045548]

Name: Cameron Tulee

Comments:

Regarding the housing target confusion:

Perhaps it's worth updating the actual plan with the breakdown - the state's mandated target (for the first 8 years) + some buffer, then the next 12 years target is the difference, etc, etc.. Then with it all outlined in the plan folks wouldn't have to look elsewhere for an explanation of the numbers and it should reduce the confusion with this issue.

With regards to the proposal to add vegan diet education: It's a good initiative but I feel it's miss-placed and that the Town general plan is not where this should be. An education campaign like this should start in the schools and the Town shouldn't be expected to be an educator for the residence for such issues as this. It's outside it's scope.

Thanks, Cameron Tulee

Page title: [Home](#)

Sent: Wednesday, October 6, 2021 11:07 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211007060704] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211007060704]

Name: J R

Comments:

I'm a Los Gatos resident for years and listened to tonight's meeting, good to hear many voices from different perspectives. Thanks for organizing it! Here are my comments:

1. Overall I oppose the 2040 general plan. Fire safety issue, negative financial impacts in terms of residential housing price and town's budget, worse traffic, etc. They're valid concerns and real problems! I hope political interests should not be put over Los Gatos people's benefits.
2. Please make writing comments available to public. If privacy is the concern, can be anonymous and have an option to let people choose to opt out. Moreover, I suggest to have a survey/voting on this site. Those can help transparency of the process.
3. If I heard correctly, a lady suggested "if you like small town feel, go to Yosemite (or 17miles?)". How ironic and how dare she! Most exclusive words I've heard tonight! People live here have every right to preserve the small town image they like.

Page title: [Home](#)

From: Nick Struthers
Sent: Friday, October 8, 2021 3:51 PM
To: Council; Jennifer Armer
Subject: Plant - based Education Program for Los Gatos

Dear Los Gatos Town Council,

As a Los Gatos resident since 1999, I support the efforts of Plant-Based Advocates to establish a dedicated Plant Based Education Program. I support adding this to the environmental section of The General Plan 2040.

sincerely

Nicolas Struthers

From: Julie Struthers
Sent: Friday, October 8, 2021 3:54 PM
To: Council; Jennifer Armer
Subject: Plant - based Education Program for Los Gatos

Dear Los Gatos Town Council,

As a Los Gatos resident since 1999, I support the efforts of Plant-Based Advocates to establish a dedicated Plant Based Education Program. I support adding this to the environmental section of The General Plan 2040.

sincerely

Julie Struthers

From: Kavin Kankeshwar <kavinkankeshwar@gmail.com>
Sent: Friday, October 8, 2021 9:06 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Comments for consideration for Los Gatos 2040 Plan

Hi,

I am a Los Gatos resident in University-Edelen Historic District, I have few comments for the Town Council/Planning commission to consider as we work on the Los Gatos 2040 plan.

1. It's great to see in Los Gatos 2040 Plan sections LU-9.4, LU-15 and CD-3 to protect historic neighborhoods which everyone in the city benefits. But the City of Los Gatos has not adopted Mills Act, By not providing any financial incentives and having additional regulations for historic districts, it places an additional often unfair burden on owners of structures contributing to the historic district, Even though all residents of Los Gatos benefit from and enjoy how the historic neighborhoods looks and feels. Also more often historic properties go into a state of disrepair which reduces the desirability for dilapidated houses and its order of magnitude more expensive to fix those. I would strongly urge the City council to adopt Mills act and any other measures which can provide incentives to preserve Historic property or loosen the regulatory burden in historic districts.
2. Traffic on **17**, This topic I'm sure has come up before. But I would really like the Town Council to raise the priority and make it the top of agenda item to work with County and State officials to escalate and make it priority #1. It is critical and urgent we solve this ASAP. Traffic on **17** will reduce the desirability of the area if the commute is horrible. We need to improve the Quality of life for the residents of Los gatos to move around without being stuck in traffic.
3. I support the Los Gatos 2040 plan for more houses, so it's critical to address the traffic which comes with existing and newer residents. Reducing the regulatory burden for developers or owners of property to build more housing is a good thing and a healthy sign for a growing community. But planning for growth is critical. I would encourage the City to do whatever to help reduce regulations, fast track applications and allow more construction. Anyways, construction in the bay area is very expensive because of the high cost of living for workers plus the amount of building regulations and long delays in permit applications/sign off. So whatever the city can do to reduce red tape on construction is a good thing, Because if any project takes years to get off the ground that delay costs will be passed on to consumers which just means the new houses won't be affordable for the middle class which won't benefit because their income is more than median income so they still cannot buy houses because it's expensive to build new houses. It is very important for the City to go into high gear to fix the traffic issue to support this growth.
4. Dedicated bike and pedestrian only streets in Downtown Los Gatos. I would recommend making Downtown Los Gatos and adjacent streets pedestrian only and also have a Class 4 dedicated bike lane on University Ave from Main street to Vasona lake and taking other measures to reduce/discourage traffic on collector roads like University ave, and promote bike/walking and other environmentally friendly way to get around town. It might also be a good idea to plan for parking structures so people can park there and walk downtown. Also if

University Ave does have a Class 4 dedicated bike lane, there has to be some plan for permit parking for residents in the parking lots in between University and N Santa Cruz ave.

Thanks for your time and consideration of these comments! I really appreciate the effort which everyone is taking to draft and plan the Los Gatos 2040 future.

Regards,

--

Kavin Kankeshwar

From: karen

Sent: Saturday, October 9, 2021 2:02 PM

To: Jennifer Armer; Council

Cc: 'Lisa Wade'

Subject: Education Programs for Plant-Based Diets in General Plan

Hi Jennifer and council members,

I am grateful I was able to speak on October 6 at the General Planning meeting about our objective of including education about plant-based diets in Section 8.12 of the general plan.

As I stated, the reduction of animal foods (meat, dairy and eggs) holds the promise of addressing the widespread problems we face today. Briefly:

- Greenhouse gas emissions: Animal ag is a major source of greenhouse gases methane, carbon dioxide, nitrous oxide, that are rapidly warming our climate. This is making extreme weather, such as drought, fires, hurricanes, etc more frequent and more intense.
- Pollution of air, water and land by enormous CAFOs (concentrated animal feeding operations); 80 billion land animals are killed worldwide every year
- Deforestation: 90% of the Amazon that has been cut down is due to cattle and their feed crops
- Water consumption: People who eat no animal foods require HALF the amount of water (National Geographic)
- Inequality and suffering caused by our food system: converting plants to animal foods is inefficient; we can feed the world population plus more, on less land, by shifting to plant foods
- Social injustice: Farm and slaughterhouse workers are often immigrants who are subject to dangerous workplace conditions. Many died from Covid because slaughterhouses continued operations under the Defense Procurement Act.
- Health: Eating a plant-based diet is proven to help avoid illnesses such as heart disease, diabetes, hypertension, some types of cancers, and more

These and the many other reasons for shifting to plant-based are the reason we feel that education is necessary. I'd like to address some of the concerns raised by other speakers at the General Plan meeting.

1. "I don't want anyone forcing me to eat a plant-based diet."
No one is forcing any diet. We want to provide education so people can make informed choices.
2. "This isn't the domain of local government."
We disagree. The Town already has programs and education for reducing water usage, implementing native landscaping, etc. Our plan follows the same guidelines, and in fact greatly helps with other efforts, such as saving water.

3. “This is a frill. We need basic services such as fire safety.”

In fact, shifting to plant-based diets *helps* with issues such as fire safety. Animal agriculture is a major driver of greenhouse gas emissions, which is warming our climate and turning forests into tinder boxes – as evidenced by the major fires of the last few years. Switching to a plant-based diet is the single most impactful thing we can do to reduce GHG and start curbing global warming.

Thank you for taking our ideas into consideration. As we stated, we have a very active group that is ready to help implement these programs, and we have widespread community support. Thank you for all your hard work on this Plan.

Best regards,

Karen Rubio
Plant-Based Advocates



From: ILENE DICKINSON

Sent: Sunday, October 10, 2021 10:41 PM

To: Council; Jennifer Armer

Subject: Plant-Based Education Program for Los Gatos

Dear Los Gatos Town Council:

I support the efforts of Plant-Based Advocates to establish a dedicated plant-based education program for Los Gatos. Reducing consumption of meat and dairy is the single most impactful thing individuals can do to reduce greenhouse gas emissions and curb climate change. Please add this very important item to the Environmental Section of the General Plan 2040.

Best regards,

Ilene Dickinson

From: Laura Douglas

Sent: Saturday, October 9, 2021 10:58 AM

To: Clerk <Clerk@losgatosca.gov>

Cc: Town Manager <Manager@losgatosca.gov>

Subject: voicing objection to the housing development plans for the Town of Los Gatos.

To Whom It May Concern,

I object to adding additional housing units to Los Gatos. Many towns have appealed the addition of the minimum number of housing units assigned. Los Gatos should do the same or at least only meet the minimum number mandated rather than adding even more.

Also, I **strongly object** to the development of multi-unit housing in areas that are zoned for single-family housing. This will destroy what makes Los Gatos unique and desirable. So while the multi-unit housing in the North 40 is unfortunately ugly, cheap-looking, and does not even attempt to match the character of the homes found in Los Gatos overall, at least it is out of established neighborhoods and on the edge of town thankfully where the impact is minimized.

The addition of high-density housing should be done in large city centers next to large employers and centrally located mass transit lines, such as what Google is doing in downtown San Jose and in other cities bordering high tech clusters (like Sunnyvale).

Overburdening Los Gatos with more housing units will further overburden our schools and services and bring even more traffic to a town that is paralyzed during school start/end and beach traffic times and highway 17/880 which is already at gridlock during commuter hours and is the corridor for the beach towns. There is also a shortage of sports fields for our kids. It would have been great to develop at least one full-sized sports field on the North 40 but that isn't in the plan last I looked.

And please do not develop more of the hillsides as again that will destroy the charm of Los Gatos.

Los Gatos is an exceptional place with families and retirees who actively take part in communities, beautiful homes and yards that are well-maintained and radiate pride in ownership, and people who generously support our downtown and schools. There is a community and relaxed vibe of a bedroom community rather than an urban center. Plopping down multi-unit housing in quaint neighborhoods or adding a large number anywhere will destroy all of that.

Thank you for your consideration.

Laura Douglas
Los Gatos, CA 95030

From: Nancy Neipp

Sent: Monday, October 11, 2021 9:26 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: Re: Los Gatos Draft 2040 General Plan Community Meeting - Thank You! - NEIPP FEEDBACK ON GENERAL PLAN

Hi Jennifer

Thank you for the opportunity to provide feedback.

I am very concerned about the aggressive housing goals being proposed by the Town Manager. My concerns are related to the lack of a plan to deal with several issues -

- **Roads/transportation/parking** – as a resident of Los Gatos for nearly 40 years, I am deeply concerned by the current traffic situation. I've experienced many days during the summer where we can't run errands on the weekends without getting stuck in beach traffic. What is being done to mitigate the current situation, let alone the future impact of more residents? Is there a plan for alternative forms of transportation to address the parking problem around town?
- **Fire danger** – after being a customer of Nationwide Insurance for 20+ years, I was cancelled this year due to the extreme fire hazard around my home. I live on Harding Ave, so I am not a mountain resident. How can we add more density when we can't safely protect the existing homes?
- **Schools** – our schools are already at capacity. What's the plan to accommodate more students? Our award-winning school status will diminish with over-crowded classrooms.
- **Property values** – adding high density housing alongside SFRs will diminish the character of our neighborhoods and thus, the value of our properties. HDH should be built along transportation corridors, not in existing neighborhoods.

I fail to understand the logic of nearly doubling the minimum housing requirement, especially without any plans to deal with the consequences. This has caused many in the community to question the motivation of the town.

Thanks

Nancy and James Neipp

From: Jak Van Nada

Date: October 11, 2021 at 1:39:09 PM PDT

To: Jak Van Nada

Subject: Conflating the Allocation of up to 3904 Housing Units in the 2040 General Plan is the Wrong Decision

The LGCA has received the question below from several concerned residents about the number of houses the Town wants in the General Plan. We thought we should share our reply with you. After reading this, if you agree that the Town needs to maintain the RHNA number of 1993, please email Sandra and ask her to put you on our list of supporters. We want the Town to grow incrementally, fully knowing that we can amend the number higher if needed when the “unknowns” become “knowns”.

Question:

The Town has stated that 3,904 units are necessary because the RHNA allocation cycle is every 8 years and the General Plan is a 20-year planning horizon. When comparing the current RHNA allocation of 1,993 units to the Town’s proposed 3,904 units, aren’t we just talking about different time horizons? Wouldn’t it make sense to plan for the most likely total RHNA allocations over 20 years? To just plan for one 8-year cycle would seem to ensure failure over the longer 20-year timeframe. [Go here to see the Executive Summary and the Detail.](#)



LOS GATOS
COMMUNITY
ALLIANCE

11 OCT 2021

Allocation up to 3904 Housing Units in the 2040 General Plan is the Wrong Decision

by [Jak](#) | posted in: [2040 Draft General Plan](#), [2040 General Plan DEIR](#), [Finance Commission](#), [Financial Impact Report](#), [Financial Impact Report](#), [General News That Affects Us](#), [Housing Element](#), [latest news](#), [Our Town](#) | 0

Executive Summary:

Why does LGCA want the town to reduce the number of housing units in the Los Gatos General Plan 2040 to 1993, per State requirements, rather than up zone to the 3,904 units the town wants?

- There is no need for the housing element of our general plan to exceed the 8-year housing planning cycle as directed by the State. This portion of the plan can be updated in 8 years as demand and State requirements become known. People are leaving California and remote work is growing. Let's digest the State-required housing demand which is already sizeable at 1993 units. Let's grow incrementally. The General Plan can easily be amended at any time.
- In fact, our population forecast justifies only 619 units, so to assume a need for almost 4K units at this juncture is fatally flawed.
- And most importantly: The town proposes to rezone the entire town to dramatically increase density by 2 or 3x for all residential land uses! Los Gatos will have to up zone to accommodate building almost 4K units. And worst of all, up zoning is permanent. Once the Town up-zones, California law will not permit it to down-zone. In short, if the LG 2040 General Plan is approved as proposed, our town will be permanently rezoned for massive development.

LGCA Response:

The Town is legally required to adopt a 2040 General Plan that includes an internally consistent Housing Element which designates and maintains an adequate supply of land for the development of housing. It also must be sufficient to meet the Town's 6th cycle RHNA allocation for all income levels. The 6th cycle RHNA allocation is 1,993 units as proposed by the Association of Bay Area Governments (ABAG).

It is possible to approach long-range planning in the manner proposed by the Town, which is to double using the 6th cycle RHNA allocation. But we believe the far superior method is to plan on an incremental approach that includes only the current RHNA allocation. Later, the **General Plan can be amended at any time** as more information becomes known, such as the actual 7th cycle RHNA allocation.

To put the 3,904 units in perspective, ABAG and the Metropolitan Transportation Commission have forecasted that over the next 20 years the Town needs to add only 619 units based on ABAG's 2040 population forecast of 33,050. Using the 2040 General Plan's planned housing number of 3,904 and the current 2.4 people per housing unit, the Town's population could increase by nearly 9,300 people to more than 42,000 residents. This is 27% higher than the ABAG's forecast! It is the State's view that more of the regional housing needs should be allocated to the town because the Town is a "high opportunity area". Therefore the State established the RHNA allocation from 619 to 1993. There are no population forecasts that provide underlying support for the development of 3904 housing units.

It is also important to understand that the 3,904 new units is a "manufactured" number. It is based on an assumed redevelopment rate of lots (ranging from 5% to 20%) for all residential land uses designations Town-wide (excluding the

Hillside.) Because an unreasonable number of new units are being planned, the development of 3,904 units can only be accomplished by radically increasing building densities for all residential land uses Town-wide. In the Town's proposed plan, residential land uses have been "up-zoned" to allow increases in housing densities that are two to three times the current allowable land use densities.

The "cost" of adopting an aggressive growth plan is the up-zoning of 100% of the residential land use densities. That is a massive change from the current 2020 General Plan and the implications of this change cannot be fully projected. Once the Town up-zones, California law will not permit it to down-zone. It is a one-way ratchet. So, there are massive ramifications to this action.

If the actual redevelopment rates turn out to be higher than the currently assumed rates, the number of new units developed could be two to three times, or even more, than the 3,904 units. There is no objective evidence to support 3,904 units over the next 20 years to be correct as opposed to 6,000 or even 9,000. The number is simply the result of a redevelopment assumption without any objective evidence to support it.

And who is to say that the 7th cycle will be anything close to 6th cycle since it hasn't been developed? Interestingly the Town's 5th cycle was 619 and at that time the 2020 General Plan was adopted, the Town only planned for 621 new units, 2 units above the RHNA allocation. Factor in that the populations of California and Los Gatos recently declined, SB9 and SB 10 were just signed into law, VTA is financially challenged for the next 28 years; cars are switching from gas to electric; Los Gatos has increased fire risks greater than Paradise and the State is facing extraordinary water shortages. It will be very hard to predict the 7th cycle RHNA allocation, so why "assume" it will be the same as the 6th cycle?

Given this, why would the Town adopt such an aggressive growth strategy in housing that is clearly unsupported by ANY data? There is no objective evidence that supports planning for 3,906 units over the next 20 years.

A more prudent approach, which LGCA is promoting, is to plan only for the "knowns" and **amend** the General Plan when new information becomes "known". The 2040 General Plan specifically sets forth a policy to *"implement and maintain the 2040 General Plan to reflect the changing needs of the community and remain consistent with State law"*. This policy supports our proposed incremental approach to make only the required changes now and then review and update the General Plan every 8 to 10 years. It's an approach based on data rather than an assumption as to future growth. No other City in the State that LGCA can find has adopted the Town's approach. What is so wrong with planning for 1,993 units plus a slight buffer and then amend the General Plan in eight years when the 7th cycle RHNA allocation is known?

If this incremental approach is used, the Town would not be forced to up-zone 100% of the Town's land uses. A more focused approach to land redevelopment would be sufficient to deliver the affordable housing mandated by RHNA allocation. By concentrating on only those areas that can be appropriately developed at higher densities, affordable housing can be developed as opposed to \$2m condos such as the ones recently developed in the North 40.

This gets to the final point, which is, who should decide between the two planning approaches? Is it 3 people on the Council or should it be the citizens of Los Gatos by a vote?

Given the massive impact of up-zoning to all residential land uses (excluding the Hillside) and the shift in the Council's message from "we like the 2020 General Plan" and we only need to "fine tune it" to a massive and radical overhaul in the Land Use Element of 2040 GP, we believe the residents should decide.

It is our elected official's responsibility to make the compelling case to all residents to adopt their planning strategy and then let the voters decide. It should not be decided by 3 people on the Council. Based on what we now know, the current planning approach is not widely supported.

Hopefully this explains why the LGCA believes an incremental approach to planning for growth for the next 20 years is the appropriate strategy for the Town.

Contact Sandra and join our protest of this completely unreasonable increase of our housing over the next 20 years.

LOS GATOS COMMUNITY ALLIANCE

www.lgca.town

From: Carleen
Sent: Monday, October 11, 2021 3:52 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: General plan

Planning committee members,

As a 3rd generation Los Gatos resident, I have to say that I have witnessed a steady and very sad decline in the quality of life for the residents of our town. Those who haven't lived here for the past 50+ years probably can't understand what I'm talking about. All our beautiful orchards are gone, as is most of our open space. Housing has become very dense and with that comes serious traffic congestion. It is more dangerous than ever, traffic wise, for children going to and from school. Now there is talk of further development in the hills, endangering animal species and views. Chain stores and greedy landlords are driving small business owners and unique shops from town.

All in all, the beautiful, friendly town I grew up in has been handed over to the wealthy and powerful. Had I not bought my home in the 70's, I would have been forced to leave the town I love. I fervently hope decisions about the future can be made with consideration of the environment and the welfare of those of us who already live here and not about selling off the town for millionaire estates or to the highest bidding developers.

Thank you for considering what i have said.

Carleen Ambrosini Schomberg

From: Lisa Wade
Sent: Tuesday, October 12, 2021 12:46 PM
To: Jennifer Armer; Council
Subject: Specific Ask Plant - Based Education General Plan

Dear Jennifer and Planning Commission,

Thank you for all your hard work on the General plan. I wanted to send a quick note with our specific ask.

We would like you to please consider adding a Plant-Based Education Program to Section 8 Environmental and Sustainability Element. Specifically Section 8.12 Implementation Programs.

Section 8.12 Implementation Programs

Plant-Based Education

Implement programs to educate and support residents about the benefits of shifting to a plant-based diet, which includes improved health, curbing greenhouse gas emissions, reducing biodiversity loss and deforestation, reducing water usage, and reversing pollution of our air, land, and water.

Thank you for your consideration!
Lisa Wade

From: Karyn Meadows
Sent: Tuesday, October 12, 2021 3:38 PM
To: GP2040 <GP2040@losgatosca.gov>
Subject: Comment on the plan

Hello, thank you for including me in this proposal. I will review all of the documents but my immediate concern is SB9 and what that will do to single family homes. We are against any planning that will convert a single family home to a multi-family home in our neighborhood since our lots are already small, 10K or less square foot ones. If homeowners or developers are allowed to convert the homes, privacy will be completely lost. And we will have to move. Out of LG which we have lived in for over 30 years.

best, Karyn Meadows

From: Barbara McInerney

Sent: Wednesday, October 13, 2021 10:34 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: Re: Los Gatos Draft 2040 General Plan Community Meeting - Thank You!

Hello Town and Planning Committee,

I have spoken my concerns at the meetings but would like to submit them in writing.

My concern with the 2040 plan is that the population increase has not been well thought out with respect to our safety and our schools.

The EIR states that the population increase with the amounts of new housing proposed will require and increase in police, fire personnel as well as either new schools or expanding our existing schools due to the increase in students (a conservative estimate of 2,617 new students).

Even though the EIR makes this statement, I have not seen any information to address the details of fulfilling these requirements. It seems to take a "wait-and-see" approach which is not good planning.

Questions I have are

- Where will we put the new schools in town (especially after we add more housing). Will we have the space?
- Where will we add a new fire station?
- How will we hire more police and where will we find them when older police are retiring early and younger folks are choosing not to go into policing due to a lack of support.

These questions should be fully addressed and answered before moving forward with any new building.

Additionally the EIR considers the town as a "low crime" area, however, based on recent events I don't believe this is true anymore and it seemed like most residents on the last zoom meeting agreed. So I believe we really need to think through addressing the requirement for an increase of our police staff before we start building any more housing.

Thank you,

Barbara McInerney

From: Phil Koen

Sent: Friday, October 15, 2021 11:22 AM

To: Matthew Hudes; Marico Sayoc; Mary Badame; Maria Ristow; Rob Rennie

Cc: Laurel Prevetti; jvannada; Rick Van Hoesen; Sandra Livinghouse ; Joanne Benjamin

Subject: Letter from Mountain View

Council Members,

While MV did not appeal their RHNA allocation, they did submit this thoughtful letter which outlines a number of critical issues. It is unfortunate and questionable that Los Gatos did nothing to respond to our allocation.

I thought you should be aware of these points, especially given the Town's current direction of embracing policies to add housing which is 2x the RHNA allocation.

Thank you.

Los Gatos Community Alliance

https://abag.ca.gov/sites/default/files/documents/2021-07/Mountain_View_RHNA_Comment_Letter.pdf



OFFICE OF THE CITY MANAGER

500 Castro Street • Post Office Box 7540 • Mountain View • California • 94039-7540
650-903-6301 • Fax 650-962-0384

July 2, 2021

Mr. Dave Vautin
Assistant Director, Major Plans
Bay Area Metro
375 Beale Street
San Francisco, CA 94105

Via Email

DRAFT PLAN BAY AREA AND REGIONAL HOUSING NEEDS ALLOCATION

Dear Mr. Vautin:

The City of Mountain View congratulates ABAG/MTC for the completion of the Draft Plan Bay Area, the culmination of three years of regional planning work, and commends the regional agencies' staff for their openness and cooperation with local jurisdictions. Plan Bay Area is a momentous effort that incorporates a broad range of diverse stakeholder goals and values, State laws, and good planning principles.

Despite these accolades, the City of Mountain View has several comments on the Draft Plan Bay Area and some suggestions for future iterations of the Plan. We would appreciate you sharing these comments with your peers and decision-makers.

Plan Bay Area Baseline in the Regional Housing Needs Allocation Methodology

Over the last decade, Mountain View has been a proactive leader in zoning for housing, including the following:

- New Precise Plans that increased allowed densities along the El Camino Real transit corridor and allowed new high-density housing in the commercial and office areas of San Antonio, North Bayshore, and East Whisman.
- Authorization and approval of rezoned development projects that target high-density housing to key opportunity sites.
- Updates to the City's Below-Market-Rate (BMR) code to increase office impact fees and inclusionary requirements.

- Partnerships with nonprofits and other jurisdictions to create affordable and supportive housing.
- Leadership in housing production, including the most units permitted of all cities in the County (including San Jose) in 2020.

Mountain View's Draft Regional Housing Needs Allocation (RHNA) is 11,135 units. At 32% of existing households, Mountain View received the third most in the region (as a percentage of existing households) and the most of any jurisdiction larger than 5,000 population. A major input of this allocation is the Plan Bay Area model. The model adds significant variation between similar jurisdictions, such as between Mountain View and the City's neighbors in northwest Santa Clara County, all of which are built-out with similar land uses and have similar access to jobs, high-opportunity areas, and transit. To illustrate this, Table 1 below shows Mountain View and nearby cities' RHNA as a percentage of existing population, with and without the Plan Bay Area forecast baseline, but keeping the RHNA adjustment factors the same (the equity adjustment is not shown, but it is relatively small and only applies to Mountain View and Santa Clara below).

Table 1: RHNA Comparison of Similar Cities in Northwest Santa Clara County

City	RHNA as a Percentage of Existing Households with Plan Bay Area Baseline and with Factors	RHNA as a Percentage of Existing Households without Plan Bay Area Baseline but with Factors
Mountain View	32%	24%
Palo Alto	22%	24%
Sunnyvale	21%	21%
Santa Clara	25%	20%

Mountain View recognizes that the methodology cannot be revised for the sixth cycle at this time. However, future RHNAs should not use Plan Bay Area growth forecasts as the RHNA baseline. There are multiple reasons for this:

- The Plan Bay Area forecast is less transparent and intuitive than the RHNA factors, and the technical inputs and methodology have less stakeholder input.
- The forecast results in dissimilar allocations between similar cities, focusing growth into fewer jurisdictions and bringing equity concerns.
- Model outcomes, though reasonable at the regional level, may be arbitrary at the local level. For example, an area near downtown Sunnyvale was projected to add

only 195 units to the year 2050—despite having approximately 30 acres of underutilized office near their baby-bullet Caltrain station, while an area near downtown Mountain View was projected to add almost 3,000 units, with similar amount or even less area of underutilized land. In addition, model outcomes are not the only, or even the most preferred, possible future of Plan Bay Area policy.

- RHNA should not have existing zoning as an input. The purpose of the RHNA is to support housing construction where it is needed, not where it has already been zoned for. Putting more RHNA where cities have proactively zoned for more housing simply encourages jurisdictions to wait until the RHNA to zone for housing.
- The Housing Methodology Committee (HMC) and other stakeholders did not have an opportunity to review the final forecast before the methodology was recommended.

While it is important to ensure consistency between Plan Bay Area and RHNA, there are other ways to achieve this. For example, RHNA could be an input to Plan Bay Area, RHNA could include growth geographies as a factor, Plan Bay Area modeling could be an adjustable factor rather than the baseline, or marginal cases of inconsistency could be adjusted after the factors are applied.

RHNA disparities between similar cities raise concerns about the allocation, including concerns about equity, transparency, and the relationship between regional goals and the RHNA outcomes. In addition, such a high RHNA on a single small city actually works counter to the region's housing goals since it is unrealistic for so much development activity to occur in one small city in eight years, no matter how much land that city zones for it.

Environmental Impact Report Alternative 2—High-Resource Area Focus Alternative

San Francisco proposed a Plan Bay Area Environmental Impact Report (EIR) alternative that focused more growth to high-resource areas. This alternative was studied in the EIR and resulted in significantly more housing growth in northwest Santa Clara County, including Mountain View.

San Francisco's stated reason for studying the alternative was to help preserve their equity priority communities by reducing housing targeted to their city and increasing housing targeted to higher-resource areas elsewhere in the Bay Area. However, according to the EIR, this alternative actually had the opposite effect, increasing

displacement and gentrification in San Francisco. While this may be a positive “pull” effect, where poorer residents of San Francisco decide to move to Santa Clara County, where more housing is being built, it is more likely a negative “push” effect, where higher housing prices as a result of constrained supply in San Francisco disrupt and displace existing communities. Mountain View has deep concerns about this effect and encourages ABAG and MTC to preserve and protect vulnerable communities throughout the Bay Area by rejecting this alternative.

This process provides more evidence to remove Plan Bay Area modeling from RHNA inputs. In the future, Plan Bay Area should be based on best practices to achieve regional goals and should not be subject to various demands by local agencies, which may be motivated by RHNA. Divorcing Plan Bay Area from the RHNA inputs would reduce these demands. Planners, modelers, and technical experts should have the flexibility to use their expertise to build models that provide the regional analysis of impacts that policy-makers and the public demand. However, the process should recognize that the Plan Bay Area process is generally reasonable and well-documented at the regional scale and is not suited to be applied at a small scale, such as the RHNA.

Transportation Funding

Major transportation projects planned for North San Jose have limited benefit to Mountain View. No matter how the North First Street corridor is improved, it will likely be easier to access most destinations in San Jose by Caltrain than by light rail. However, the increased densities prescribed to Mountain View between the Draft and Final Blueprint presumed that these improvements amount to a change in transit accessibility.

San Jose wields outsized influence in collecting transportation funds for the South Bay. Meanwhile, Northwest County cities are expected to grow more than San Jose. Plan Bay Area should include provisions to ensure jurisdictions receive funding for transportation and other public services consistent with the Plan Bay Area growth geographies and the City’s obligations under RHNA. Specifically, future transportation funding decisions should look more carefully at the beneficiaries of the improvements and weigh them directly against RHNA.

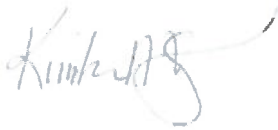
Conclusion

The comments above are intended to provide feedback and guidance on Plan Bay Area implementation and future iterations of Plan Bay Area and RHNA. We appreciate the effort that MTC/ABAG has undertaken in this difficult process. We also recognize

Mr. Dave Vautin
July 2, 2021
Page 5

Mountain View's important role in the future sustainability and success of the region, and look forward to continuing collaboration toward those ends.

Please contact me or Assistant City Manager/Community Development Director Aarti Shrivastava at aarti.shrivastava@mountainview.gov or 650-903-6306 if you have any questions. We look forward to implementing this regional plan with you.



Sincerely,
Kimbra McCarthy
City Manager

KMC/EA/1/CDD
899-07-02-21L

Sent: Saturday, October 16, 2021 9:45 AM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211016164434] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211016164434]

Name: Lon Fenchel

Comments:

Please leave my beautiful Town of Los Gatos with the now population. We do not need to expand with more building sites upon building sites.
The State mandate is still too high.

Page title: [Home](#)

Sent: Saturday, October 16, 2021 1:20 PM

To: GP2040 <GP2040@losgatosca.gov>

Subject: [#20211016201930] Comment from LosGatos2040 Website Los Gatos 2040 General Plan Update

Ticket: [#20211016201930]

Name: Leela Hann-Soden

Comments:

Hi!

I am a resident of Los Gatos due to give birth to a new resident in November. I would like there to be more fruit trees throughout Los Gatos to secure our supply of locally grown fresh, healthy food.

Los Gatos is in growing zone 10, so it can grow a wide variety of substantial fruit, such as: avocado, cherimoya, dragonfruit, durian, jackfruit, lychee, persimmons, plums, rambutan, sapote, etc. Growers in San Jose and the broader Bay Area, have experienced success growing these fruits.

By growing locally, we can provide Los Gatos citizens resilient, environmentally-friendly resources.

Thank you 🙏

Page title: [Home](#)

From: Karl Shultz

Sent: Friday, October 22, 2021 9:25 AM

To: Jennifer Armer

Cc: Ban Kathleen

Subject: General plan zoning map update. and 15810 Los Gatos Blvd.

Jennifer,

Regarding the above-mentioned address, APN# 523-01-001,

The lot, currently in the County of Santa Clara, is adjacent to The town of Los Gatos and borders Los Gatos Blvd. & Farely Road.

The county of Santa Clara has this site zoned in the OA Administrative/Professional Office district classification which is appropriate as it is on a major commercial street and surrounded by like uses located in the town of Los Gatos.

In the general plan for the Town of Los Gatos, I understand that the proposed zoning for this site is residential use as it is adjacent to other existing residential uses on the side and rear property lines.

With the upcoming general plan update we would like the review board to consider changing the general plan zoning classification for this site to a classification that would be more in line with the existing use and able to accommodate our proposed project which is a 2 story building that will accommodate dental office and similar office type uses.

We understand that we will be required to accommodate the existing adjacent residential uses as part of the approval process for our commercial office project.

Please let me know if there's any additional information that you may need from us for this consideration.

Regards,

Karl Shultz

Shultz & Associates

39111 Paseo Padre Pkwy.

Suite 309

Fremont, CA 94538

Office: 510.796.7801

Cell: 510.326.4112

From: Phil Koen

Sent: Wednesday, October 27, 2021 10:51 AM

To: Laurel Prevetti; Joel Paulson

Cc: Matthew Hudes; Mary Badame; Maria Ristow; Marico Sayoc; Rob Rennie; jvannada, Rick Van Hoesen; Robert Schultz

Subject: Land Use Alternative C and 2040 GP

Hello Laurel and Joel,

In reviewing the 2040 General Plan supporting documents, I am having difficulty reconciling the number of new units to be added for Land Use Alternative C.

On page 8 of the attached September 20, 2021 staff memo for the joint TC and Planning Commission study session, it was stated that 2,303 additional housing units, including accessory dwelling units, were the total additional units for Alternative C. I have also attached the Preferred Land Use Alternative C and the Capacity at Buildout schedules taken from the Preferred Land Use Alternative report.

If you look at the footnote on the Capacity Buildout schedule, it is noted that the 2,303 includes 475 pending and approved projects. There is no mention of ADU's, but the assumption is they are included in the 2,303 number. **Can you please confirm that the 2,303 does include 475 pending units AND the 500 ADU's.** Excluding the 475 pending units, but including the 500 ADU's, the adjusted Alternative C would be 1,828 additional units. Since the Town will not get credit for pending projects, the analysis should exclude the 475 pending units.

It should also be noted that the 2,303 number **does not include any units from the CBD.** Those units have been identified to be 136 units. If we add the 136 CBD units to the adjusted Alternative C 1,828 units, the **total number of new units would be 1,964** which is very close to the 6th cycle RHNA allocation of 1,993.

In summary, the current draft of 2040 GP has gone from an adjusted Alternative C of 1,964 additional new units (including ADU's and the CBD) , to the Adopted Preferred Land Use of 2,464 additional new units, to finally 3,429 additional new units as shown in the schedule on page 9 of the Staff memo. These increases reflect the changes made in land use densities as the 2040 General Plan moved away from targeted rezoning in Opportunity Areas to Town-wide rezoning for all land uses. The impact of these changes is to **increase the number of new units by 75% or 1,465 units over the adjusted Alternative C Land use.** I don't believe that the Town Council or the Planning Commission is aware of the magnitude of the increase over the adjusted Land Use Alternative C when measured on a fully comparable basis.

The more troubling issue is the draft 2040 GP does not disclose how many BMP units will be developed if the Town adds 3,429 additional units (which excludes 450 pending units). To determine that number I reviewed the housing affordability section of the Alternative Land Use report. Table 5-3 (which is attached) shows a comparison of housing types per Alternative. Under Alternative C the report estimates that out of the 2,303 new units (which includes the 475 pending units) a total of 293 BMP units would be developed. Under Alternative D, the number of BMP units increases to 464 units, which is 14.6% of all new units.

The analysis states that “the average percentage of BMP units would be 15%, which is the mid-point between the high and low requirements depending on project size”. If we assume 20%, which is the requirement under the Town’s BMP program, the current draft of the 2040 GP would generate only 686 BMP units. The critical assumption here is that **ALL** new units would be part of a development project with more than 5 units. This obviously is a max case assumption, and extremely unlikely to occur. If it were to occur, **the number of additional BMP units developed would be 689 units which is only 59% of the 6th Cycle RHNA allocation for BMP units.** That allocation is 1,167 units out of the total 1,993 RHNA allocation.

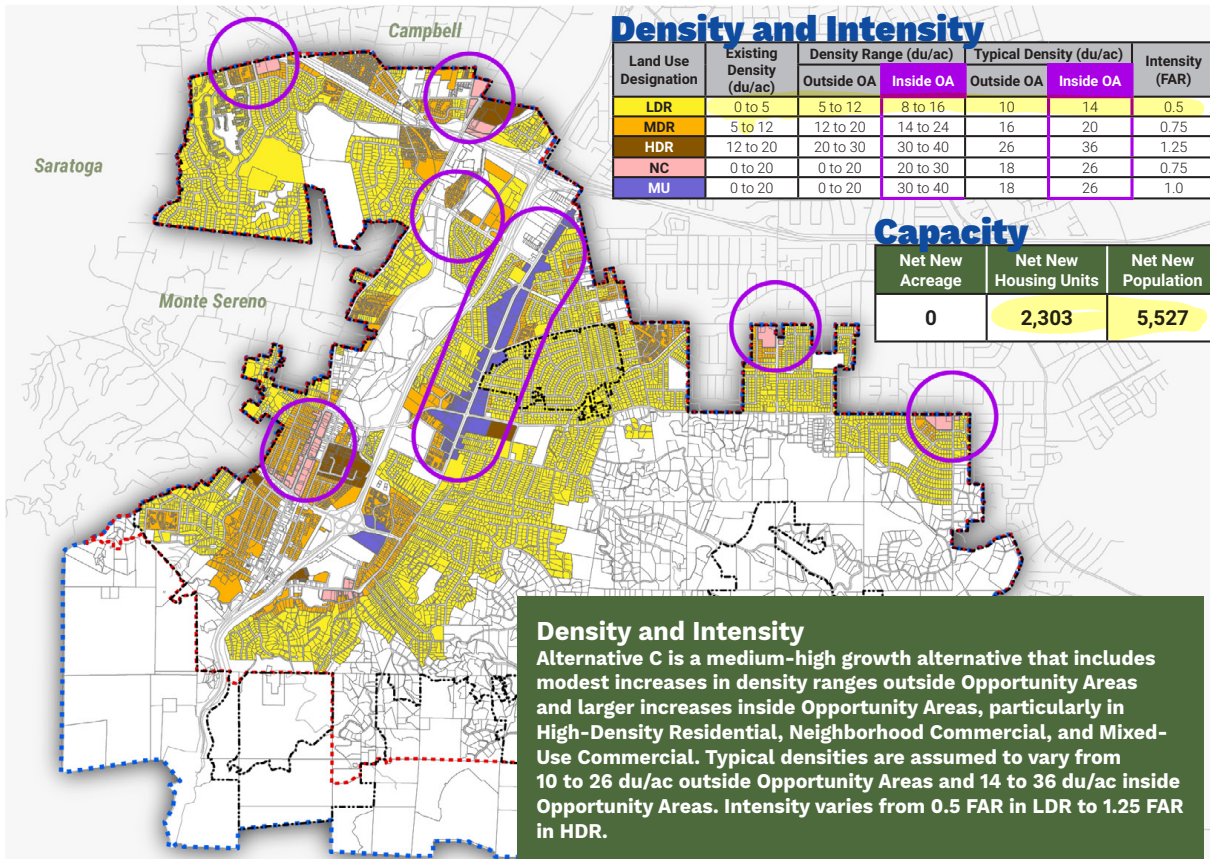
Stated another way, the 2040 GP will develop 1,465 (3,429-1,964) incremental units over the adjusted Alternative Land Use C. Of these, only 440 units will be BMP units and the remaining 1,025 units will be MP. How is this consistent with the overall goal of developing affordable housing as mandated by ABAG and the State? This plan appears to strongly favor the development of MP housing over affordable housing, something developers will certainly cheer.

Can you please confirm that the assumptions regarding BMP are consistent with the supporting documents? You may want to confirm with the TC that my analysis is correct.

Thank you.

Phil Koen

LGCA



Density and Intensity

Land Use Designation	Existing Density (du/ac)	Density Range (du/ac)		Typical Density (du/ac)		Intensity (FAR)
		Outside OA	Inside OA	Outside OA	Inside OA	
LDR	0 to 5	5 to 12	8 to 16	10	14	0.5
MDR	5 to 12	12 to 20	14 to 24	16	20	0.75
HDR	12 to 20	20 to 30	30 to 40	26	36	1.25
NC	0 to 20	0 to 20	20 to 30	18	26	0.75
MU	0 to 20	0 to 20	30 to 40	18	26	1.0

Capacity

Net New Acreage	Net New Housing Units	Net New Population
0	2,303	5,527

Alternative C: Medium-High Growth

2020 General Plan Land Use Designation

- Low-Density Residential (LDR)
- Medium-Density Residential (MDR)
- High-Density Residential (HDR)
- Neighborhood Commercial (NC)
- Mixed-Use Commercial (MU)

- Town of Los Gatos
- Urban Service Area
- Planning Area/Sphere of Influence
- Opportunity Area (OA)

Density and Intensity

Alternative C is a medium-high growth alternative that includes modest increases in density ranges outside Opportunity Areas and larger increases inside Opportunity Areas, particularly in High-Density Residential, Neighborhood Commercial, and Mixed-Use Commercial. Typical densities are assumed to vary from 10 to 26 du/ac outside Opportunity Areas and 14 to 36 du/ac inside Opportunity Areas. Intensity varies from 0.5 FAR in LDR to 1.25 FAR in HDR.

Redevelopment

Under Alternative C, redevelopment is projected to be between five and 15 percent outside Opportunity Areas and 10 and 20 percent inside Opportunity Areas.

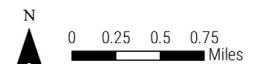
Capacity

At build-out of this Alternative, the Town could accommodate an additional 2,303 housing units and 5,527 residents.

Redevelopment

Land Use Designation	Redevelopment Percent	
	Outside OA	Inside OA
LDR	5%	10%
MDR	10%	10%
HDR	15%	15%
NC	10%	15%
MU	10%	20%

C





**TOWN OF LOS GATOS
STUDY SESSION AGENDA**

MEETING DATE: 09/20/2021

ITEM NO: 1

DATE: September 16, 2021
TO: Mayor, Town Council, and Planning Commission
FROM: Laurel Prevetti, Town Manager
SUBJECT: Joint Town Council and Planning Commission Study Session regarding the Draft 2040 General Plan

RECOMMENDATION:

Discuss the Draft 2040 General Plan.

BACKGROUND:

On February 6, 2018, Town Council began the process of updating the 2020 General Plan with a discussion of the scope and process for the General Plan update. At that meeting, the Town Council indicated that the General Plan is serving the community well, and an update provides the opportunity to refine the General Plan, address emerging trends and recent State laws, and consider new issues.

Over the following three and a half years, the General Plan update process has included multiple community engagement opportunities, meetings with the Planning Commission and Town Council, and the following key milestones:

- On April 17, 2018, the Town Council established the General Plan Update Advisory Committee (GPAC) and identified initial guiding principles to support their work.
- On July 9, 2018, after approval by the Town Council, the Town Manager executed an agreement with Mintier Harnish Planning consultants for preparation of the General Plan update and Draft Environmental Impact Report (EIR).
- On October 30, 2018, the GPAC held its first meeting.
- On March 15, 2019, the Background Report (available online here: <http://losgatos2040.com/documents.html>) was released.
- On June 20, 2019, the GPAC reviewed the Issues, Opportunities, and Constraints Report (available online here: <http://losgatos2040.com/documents.html>).

PREPARED BY: Jennifer Armer, AICP
Interim Planning Manager

Reviewed by: Town Manager, Assistant Town Manager, Town Attorney, and Finance Director

BACKGROUND (continued):

- On August 20, 2019, the Town Council adopted the General Plan Vision and Guiding Principles (available online here: <http://losgatos2040.com/documents.html>).
- In December 2019, the Land Use Alternatives Report (available online here: <http://losgatos2040.com/documents.html>) was released.
- On March 3, 2020, the GPAC started review and discussion of the initial drafts of individual elements of the General Plan.
- On April 7, 2020, the Town Council approved the Preferred Land Use Alternatives Framework (available online here: <http://losgatos2040.com/documents.html>).
- On May 6, 2021, the GPAC recommended approval of the Draft 2040 General Plan (available online here: <http://losgatos2040.com/documents.html>).
- On June 18, 2021, the Draft 2040 General Plan was released for public review.
- On July 31, 2021, the Draft EIR (available online here: <http://losgatos2040.com/documents.html>) was released for public review. The public comment period ended on September 13, 2021.

Over the course of two and a half years and 35 meetings, the GPAC has worked with staff and the consultant to create an updated General Plan. The GPAC reviewed each General Plan Element to ensure a forward-looking document that is consistent and accessible. Each Element was considered over multiple meetings (between two and five GPAC meetings per Element) with the GPAC providing comments to staff and the consultant, and then further review and direction on the implementation of those comments in a revised draft of each Element. The Draft 2040 General Plan (Attachment 1, previously provided) is the result of this extensive work and outreach.

Additional outreach activities conducted throughout the process have included social media posts, online engagement activities, newsletters, two in-person community workshops, numerous in-person and online community meetings, informational booths at the farmers market, the library, Spring into Green, and Music in the Park.

DISCUSSION:

The joint study session is intended for a discussion by the Town Council and Planning Commission before the formal hearings for consideration, recommendation, and final decision on the 2040 General Plan and EIR.

A. GPAC Recommendation

After the thorough work described above, on May 6, 2021, the GPAC recommended approval of the Draft 2040 General Plan. The discussion at this meeting also included a recommendation for some modifications to the Vision and Guiding Principles to better

DISCUSSION (continued):

reflect the direction developed over the previous years' work. These changes are shown in Attachment 2 and summarized here:

- Revise the Vision for added clarity and add a sentence about racial, social, and environmental justice;
- Delete "downtown" from the Community Vitality Guiding Principle so that it applies throughout Town;
- Add a new Guiding Principle titled "Connectivity" to state the importance of connecting all facets of the Town to build a strong sense of community through building design, walkability, and safe streets;
- Delete "the Town's" from the Fiscal Stability/Responsibility Guiding Principles; and
- Replace the word "Recognize" with the word "Value" in the Inclusivity Guiding Principle.

B. Summary of Proposed Changes

Through the General Plan update process, the GPAC has refined the goals of the update based on direction from Town Council at the start and at key points throughout the process. The initial direction from Town Council was that the 2020 General Plan was serving the Town well, and this update provides the opportunity for the Town to refine the General Plan, address emerging trends and recent State laws, and consider new issues. The work that was done to fulfill this direction and provide opportunities for the approximately 2,000 residential units that were expected to be required by Regional Housing Needs Allocation (RHNA), and the need for inclusivity that came to the forefront in 2020, lead to updates within every Element of the General Plan. The most substantial changes are:

- A new Racial, Social and Environmental Justice Element;
- Increased housing opportunities for mixed-use developments in commercial areas and missing middle housing in neighborhoods with design requirements;
- New Community Commercial land use designation;
- New Community Place Districts to provide more objective design standards and focus on community form for all development;
- Shift in focus of transportation policies to street design, connectivity, and mobility for all users (bicycles, pedestrians, vehicles, etc.) to reduce Vehicle Miles Traveled;
- New goals in the Environment and Sustainability Element; and
- Expanded policies to prepare for wildfire, climate change, and community health threats.

The increased housing opportunities are provided through changes in the maximum allowed densities and heights. The increases to the maximum allowed residential density are seen in most areas, excluding the hillsides, with a focus on the commercial, mixed-use,

DISCUSSION (continued):

and medium/high density residential designations. This coincides with the location of the Community Place Districts, where the Plan also includes new design standards. The next section discusses the housing numbers in greater detail. The following table depicts the changes in density and height for all land use designations:

Land Use Designations	Density Range (du/ac)		Maximum Height	
	Existing General Plan	Draft General Plan	Existing General Plan	Draft General Plan
Hillside Residential	0 to 1	0 to 1	30	25
Low Density Residential	0 to 5	1 to 12	30	30
Medium Density Residential	5 to 12	14 to 24	30	35
High Density Residential	12 to 20	30 to 40	30	45
Mixed-Use	NA	30 to 40	35	45
Neighborhood Commercial	NA	10 to 20	35	35
Community Commercial	NA	20 to 30	35	45
Central Business District	NA	20 to 30	45	45
Office Professional	NA	30 to 40	35	35
Service Commercial	NA	20 to 30	35	35
Light Industrial	NA	None	35	35
Public	NA	None	NA	35
Open Space	NA	None	NA	30
Agriculture	NA	0 to 1	NA	30
Albright Specific Plan	See Specific Plan	No Change	See Specific Plan	No Change
North Forty Specific Plan	See Specific Plan	No Change	See Specific Plan	No Change

C. Housing Units

As described above, the modifications included in the Draft 2040 General Plan include increases to the maximum allowed residential density in most areas, excluding the hillsides, and with a focus on the commercial, mixed-use, and medium/high density residential designations. Throughout the process there has been an understanding that the updated General Plan would need to have sufficient capacity to allow, at a minimum, the Housing Element update to provide at least 2,000 dwelling units through vacant parcels, redevelopment capacity, and new programs. While the Housing Element update is conducted in a separate process from the General Plan update, and on an 8-year cycle rather than the General Plan's 20-year cycle, the regulations and policies in the General Plan

DISCUSSION (continued):

need to be consistent with the changes that will be needed to complete the Housing Element to accommodate the Town's RHNA.

The Town anticipated a high RHNA number of approximately 2,000 units for the next Housing Element cycle and the Town Council approved a Preferred Land Use Alternative Framework to accommodate the RHNA for the next Housing Element cycle. The following list lays out how the housing numbers evolved through the General Plan update process:

- Land Use Alternative C in the Land Use Alternatives Report (available online here: <http://losgatos2040.com/documents.html>): **2,303** housing units including Accessory Dwelling Units (ADUs).
- GPAC Recommended Preferred Alternative: **2,464** housing units including ADUs and downtown.
- Town Council adopted Preferred Land Use Alternative Framework: **2,464** housing units including ADUs and downtown.
- Staff and the consultant developed an implementation of the Framework: **2,950** housing units. This approximately 400-unit increase is primarily a result of an increase in the assumed typical density for the Mixed-Use Designation (previously 26 dwelling units per acre, currently proposed 36 dwelling units per acre), and inclusion of a new Community Commercial land use designation so that Neighborhood Commercial designated shopping centers like Pollard and Harwood could remain at a lower height and density.
- GPAC added 313 housing units to Office Professional and Service Commercial: **3,263** housing units.
- With the 475 existing/previously approved projects included: **3,738** housing units as shown in the General Plan Buildout table in the Draft 2040 General Plan.

Staff has prepared the following table to present the information from the General Plan Buildout Table (Table 3-1 in the Land Use Element of the Draft 2040 General Plan) along with comparable information from the existing 2020 General Plan. Please note that Table 3-1 in the Draft 2040 General Plan represented changes to density and did not include the Hillside Residential units on vacant land. The table below includes those units and staff will be working with the consultants to clarify this in the Draft 2040 General Plan.

DISCUSSION (continued):

Land Use Designation	Density Range (du/ac)		Typical Density (du/ac)		Assumed Redevelopment (Redev)	Existing General Plan		Draft General Plan	
	Existing General Plan	Draft General Plan	Existing General Plan	Draft General Plan		New Housing (Vacant Land)	New Housing (Redev)	New Housing (Vacant Land)	New Housing (Redev)
Hillside Residential	0 to 1	0 to 1	1	1	0%	116	-	166	-
Low Density Residential	0 to 5	1 to 12	4	12	5%	75	13	283	84
Medium Density Residential	5 to 12	14 to 24	10	20	10%	107	133	224	343
High Density Residential	12 to 20	30 to 40	18	36	15%	53	111	110	268
Neighborhood Commercial	10 to 20	10 to 20	16	18	10%	11	39	26	91
Community Commercial	0	20 to 30	0	26	15%	-		-	156
Mixed-Use	10 to 20	30 to 40	16	36	20%	55	242	126	605
Central Business District	10 to 20	20 to 30	16	26	15%	12	46	21	113
Office Professional	0	30 to 40	0	36	15%	-		4	255
Service Commercial	0	20 to 30	0	26	15%	-		10	44
Subtotal						429	584	970	1,959
Housing Units, New and Redeveloped							1,013		2,929
Housing Units, ADUs							500		500
Subtotal							1,513		3,429
Housing Units, Existing Projects							475		475
TOTAL							1,988		3,904

DISCUSSION (continued):

The State is requiring jurisdictions to plan for housing and the GPAC, Planning Commission, and Town Council have chosen to do so on our terms through Goals and Policies in the Community Design Element of the General Plan. Additionally, the Town has begun an effort to create Objective Standards to provide additional requirements for new development to address the character of the Town. Planning for these State mandates provides the Town more control than if the General Plan did not to plan for them. However, as can be seen in the Housing Element Annual Progress Report (Attachment 3), the planned housing units do not always get built. A table showing the full RHNA allocation for all jurisdictions within Santa Clara County is available as Attachment 4.

Many jurisdictions have appealed their RHNA allocations. The Town did not choose to file an appeal. Appeals are nearly always unsuccessful absent unique extenuating circumstances. For example, the Southern California Association of Governments (SCAG) is on a slightly different Housing Element cycle than the Bay Area and they have already concluded their appeals process which resulted in two jurisdictions receiving reductions in their RHNA of the 47 jurisdictions that filed appeals. Appeals also often provide false hope to residents that there will be a significant reduction in their RHNA as evidenced by the SCAG appeal process.

D. Public Outreach

As described in the background section of this report, in addition to the 35 public meetings held by the GPAC, the General Plan update process also included extensive public outreach. Since the GPAC's final meeting on May 6, 2021, the Town has received public comments on the Draft 2040 General Plan, which are included as Attachment 5. Many of the public comments include concerns about the potential impact of the new housing that would be allowed under the Draft 2040 General Plan. As described under Environmental Assessment Section below, the Draft EIR has been prepared and includes analysis of many of the subjects of concern mentioned in the public comments including utilities, wildfires, and transportation.

COORDINATION:

This report has been coordinated with the Town Manager's Office and Town Attorney's Office.

ENVIRONMENTAL ASSESSMENT:

A Draft Environmental Impact Report (EIR) analyzed the Draft 2040 General Plan as required under State law. The Draft EIR evaluated a wide range of topics as listed on the next page.

ENVIRONMENTAL ASSESSMENT (continued):

- Aesthetics;
- Agriculture and Forest Resources;
- Air Quality;
- Biological Resources;
- Cultural and Tribal Cultural Resources;
- Energy;
- Geology and Soils;
- Greenhouse Gas Emissions;
- Hazards and Hazardous Materials;
- Hydrology and Water Quality;
- Land Use and Planning;
- Noise;
- Population and Housing;
- Public Services and Recreation;
- Transportation;
- Utilities and Service Systems; and
- Wildfire.

The Draft EIR found that the Draft 2040 General Plan would have the potential to cause significant and unavoidable impacts with Greenhouse Gas Emissions and Transportation. For a community without high quality public transit, it is common for there to be significant unavoidable impacts in the areas of Greenhouse Gas Emissions and Transportation. The Draft EIR does show that while these emissions and vehicle miles traveled (VMT) would increase under the proposed Plan, the focus on infill development helps reduce the per person emission and VMT.

The public, government agencies, and other organizations were given 45 days to comment on the environmental document. A Final EIR is currently being prepared with responses to comments received on the Draft EIR.

CONCLUSION:

The GPAC recommended Draft 2040 General Plan includes changes and updates, including increases in housing capacity to meet State requirements. To ensure that this is accomplished, there are multiple factors beyond the 1,993 housing units required by RHNA. These factors include a State Housing and Community Development Department (HCD) recommendation for an additional 20 to 30 percent buffer in the number of housing units. It is also a best practice that a General Plan should have capacity for multiple different methods for meeting the Town's RHNA in recognition of the fact that HCD may not certify a Housing Element if it disagrees with the assumptions, housing sites, or programs. A certified Housing Element is essential for the

CONCLUSION (continued):

Town to receive State infrastructure dollars. The GPAC completed its work on the Draft 2040 General Plan by listening to the community and Town Council and by identifying goals, policies, and action items to protect the special character of Los Gatos, meet emerging needs, and plan proactively for State requirements.

Staff looks forward to additional public input and the Town Council and Planning Commission discussion regarding the Draft 2040 General Plan.

NEXT STEPS:

The next steps in the General Plan update process include:

- Community Meeting via teleconference at 6:00 p.m. on Wednesday, October 6, 2021.
- Planning Commission review and recommendation on the Draft 2040 General Plan and Final EIR, pending completion of the responses to the EIR comments.
- Town Council consideration of the Draft 2040 General Plan and Final EIR.

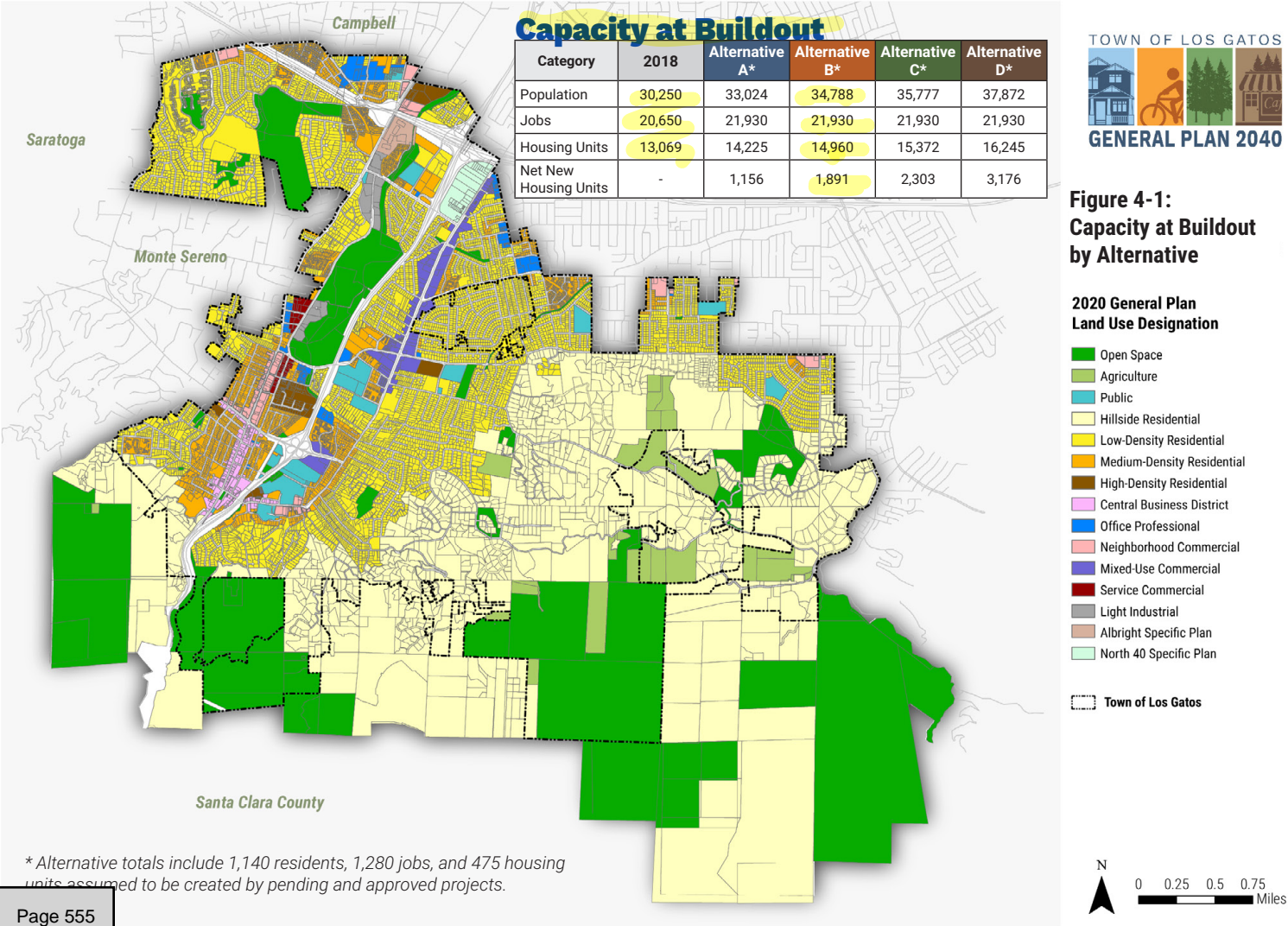
ATTACHMENTS:

Attachments previously provided:

1. Draft 2040 General Plan (available online here: <http://losgatos2040.com/documents.html>)

Attachments received with this report:

2. GPAC Recommended Changes to the Vision and Guiding Principles
3. Housing Element Annual Progress Report
4. Santa Clara County RHNA Allocations
5. Public Comments received by 11:00 a.m. on September 16, 2021



Housing Units

According to DOF, Los Gatos had a total inventory of about 13,300 housing units in 2018, which represented an increase of less than 300 housing units (0.2 percent CAGR) since 2010. The four land use alternatives project between about 1,200 (Alternative A) and 3,200 (Alternative D) additional housing units, with the projected growth rates ranging from 0.4 to 1.0 percent annually.

The General Plan land use alternatives would produce between 1,156 and 3,175 units. Out of all four land use alternatives, only Alternative B (Medium Growth) falls within the projected demand range with 1,891 units (Figure 5-2).

Housing Affordability

The mix of housing units in the land use alternatives affects the overall affordability of housing. As discussed in the market demand section (page 6), multi-family units are typically more affordable than single-family units.

Market rate prices and rents are currently unaffordable to many households in Los Gatos and throughout the Bay Area. The Town has established a program to require Below Market Price (BMP) units to be included in housing projects with more than five units in order to increase the supply of affordable units in Los Gatos. The requirement for BMP units ranges from 10 percent for small housing projects and up to 20 percent for larger housing projects. The housing units must be provided at two affordable income levels: Moderate Income, which is 80 to 100 percent of the median income, and Low Income, which is 50 to 80 percent of median income. For 2019, the household income levels that meet these thresholds are shown in Table 5-2.

In the land use alternatives analysis, the average household size is assumed to be 2.4 persons. At the three-person household level, the estimated allowable housing sales prices would be approximately \$390,000 for those meeting the Low-Income eligibility requirements and BMP rent would be approximately \$2,300 per month. At the Moderate-Income level for a three-person household, the allowable housing sales price would be approximately \$500,000. For comparison, the median sales price for Los Gatos this past year exceeded \$1.7 million.

Figure 5-2: Market Demand Projections

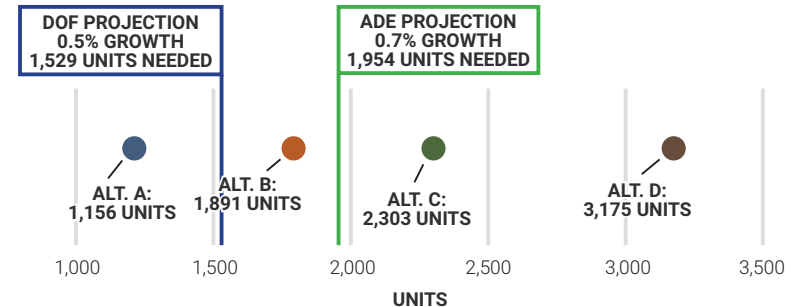


Table 5-2: Income Thresholds

Household Size	Low-Income Limit at (80% AMI)	Median-Income Limit at (100% AMI)
1 person	Not eligible	Not eligible
2 people	\$75,600	\$100,150
3 people	\$85,050	\$112,700
4 people	\$94,450	\$125,200
5 people	\$102,050	\$135,200
6 people	\$109,600	\$145,250
7 people	\$117,150	\$155,250

Table 5-2 shows the number of single-family and multi-family housing units in each alternative and the estimated number of BMP units that may be provided using the Town's BMP requirements. The land use projections for the land use alternatives are not detailed enough to know precisely how many projects of five or more units may be subject to the BMP ordinance. However, for purposes of this analysis, it is assumed that all housing units developed at a density of 16 DU/AC or greater would be in projects large enough to be subject to providing BMPs. This would include most Medium-Density Residential (MDR) units which may be either single-family or multi-family housing units, but generally not Low Density single-family housing units. Furthermore, the analysis assumes the average percentage of BMP units would be 15 percent, which is the mid-point between the high and the low requirements depending on project size. On this basis, Alternative D provides not only the highest number of BMP units but also the highest percentage of BMP units. Alternative B provides the lowest percentage, but the difference is not large between the first three alternatives as shown in Table 5-3.

20% is state level

Table 5-3: Comparison of Housing Units Type per Alternative

Residential Units	Alt. A	Alt. B	Alt. C	Alt. D
Total	1,156	1,891	2,303	3,175
Single Family	391	328	371	550
Multi-family	765	1,563	1,932	2,625
BMP Units	149	238	293	464
Percent of Total	12.9%	12.6%	12.7%	14.6%

~~*~~

Jobs

All four land use alternatives assume no additional jobs beyond those created within the pending and approved development projects currently in the pipeline (see Section 2).

The Town has several other land use designations (i.e., Office Professional, Central Business District, Light Industrial, Public, Service Commercial, etc.) that have the potential for additional employment capacity. These additional land use designations will be analyzed for additional employment as part of the Environmental Impact Report after the selection of a Preferred Land Use Alternative.

From: karen
Sent: Monday, December 6, 2021 3:27 PM
To: Jennifer Armer; Council
Cc: 'Lisa Wade' <lisawade444@gmail.com>
Subject: Education about Plant-Based Diets

Hello Jennifer and Town Council,

Thank you so much for your hard work on getting the General Plan done. I appreciate the professional way you've handled collaboration and input from the community!

As a Los Gatos resident of 36 years and **member of Plant-Based Advocates**, I'd like to ask you once again to **include our Plant-Based Education Program in the 2040 General Plan** so we can work together to provide education about the environmental benefits of eating more plants. Specifically, we are asking for:

- A dedicated Plant-Based Education Implementation Program added to Section 8 Environmental and Sustainability Element of the General Plan. This could go into Section 8.12.
- This program could include things like cooking classes, speaker series, a Vegfest, film screenings, etc.
- Our group has already been working together for two years (funded solely by our members) to accomplish actions such as meal outreach to homeless people, cooking classes, outreach to restaurants, and more. So we already have much of the work done, and we're ready to hit the ground running!

It's absolutely essential that the human race work together to start abating greenhouse gas emissions. According to the United Nations, if meat consumption continues on its current trajectory, we cannot limit global warming to 2°C, the level necessary to avoid the potential collapse of human society.

Oxford University study published in Science says, "A vegan diet is probably the single biggest way to reduce your impact on planet Earth, It is far bigger than cutting down on your flights or buying an electric car.

<https://science.sciencemag.org/content/360/6392/987>

Together, we can change the trajectory we are on and ensure a habitable planet for our children. Thank you for your leadership and consideration!

Plan can be found here:

https://docs.google.com/document/d/1pIEi8kQh1DIjSv79RfggeK4Bb50cUZ-qK9gY0dZi_jY/edit

Best,
Karen Rubio
Plant-Based Advocates
CFO



From: Sue Shoff
Sent: Tuesday, December 7, 2021 9:33 AM
To: Jennifer Armer
Subject: Plant-Based Education Implementation Program

Dear Ms. Jarmer,

I am a Los Gatos resident and have lived in Los Gatos for over 30 years. I am writing in support of the proposal that a dedicated Plant-Based Education Implementation Program be added to Section 8 Environmental and Sustainability Element of the General Plan. Specifically, I would like such a program to be added to Section 8.12. This program could include things like cooking classes, speaker series, a Vegfest, film screenings, etc.

While there are many health and environmental benefits to a plant based diet, the overriding issue is that according to the United Nations, if meat consumption continues on its current trajectory, global warming will exceed the level necessary to avoid the potential collapse of human society.

Thank you for your consideration of this request.

Please forward this email to the town Council.

Sincerely,
Susan Shoff

From: vacarpio

Sent: Tuesday, December 7, 2021 7:00 PM

To: Jennifer Armer

Subject: Please add a dedicated plant based education to the General Plan.

Dear Jennifer,

I have lived in Los Gatos since 1974 and have always taken an interest in the future of our great small town. One of the most important signals of our future is climate change, which does not purport well for the kind of future I want for Los Gatos.

A plant based education program added to the General Plan, specifically to Section 8.12, would promote nutrition, speakers, and classes to educate the citizenry of how to depend less on meat in our diets and more on minimal to zero methane gas sources, i.e., plants.

Thank you and may I request that you cc my message to each member of the Town Council?

Sincerely,

Virginia Carpio

From: Sutton Roley/USA
Sent: Tuesday, December 7, 2021 9:50 PM
To: GP2040
Subject: 2040 General Plan Housing Elements

Town Council,

As a concerned citizen of the Town, I am against the 3,904 affordable units. 1,993 are more than enough as a goal. I would like to know what the definition of affordable is when a single room studio ADU in my neighborhood rents for \$2,000 per month? With land and construction costs so high today, it seems very unlikely that true affordable housing can be built and delivered in our town. SB9 should be included in the number of units. The General Plan needs to be a plan with designated geographic areas close to services and public transportation. The Plan needs to identify how utilities like water will be delivered and how our schools will accommodate additional students. Only once additional infrastructure has been completed should these units be approved. The EIR should examine traffic and air quality. This General Plan should provide for additional affordable housing units gradually and organically to maintain our small town character. That is the reason many of us choose to live here.

There is so much to be accomplished, the idea of doubling our affordable housing units is irresponsible.

Thank you,

Sutton L. Roley

Senior Director

CA License 00793235



300 Santana Row, Fifth Floor

San Jose, CA 95128 | USA

cushmanwakefield.com



From: Anne Roley

Sent: Tuesday, December 7, 2021 10:54 PM

To: GP2040

Subject: RE: Comments on the 2040 General Plan

Please include my comments regarding the 2040 general plan.

Thank you,

Anne Roley

Los Gatos, CA 95032

12/8/2021

RE: Comments on the 2040 General Plan

The discussion on whether to increase the number of homes over the state required number of 1993 homes in the 2040 General Plan is perplexing and debatable. I would like my kids as well as workers, who support our infrastructure like teachers and town staff to be able to afford to live in Los Gatos. I also wish there was more diversity. But before we start deciding to increase housing numbers - let's talk about what affordable means and ask some developers how realistic it is to build housing that is "affordable" for people who support our infrastructure. Land is very expensive in Los Gatos, construction costs have gone up in price as well as many other living expenses. What's the goal by increasing our housing numbers past the 1993 state required number? Is the goal to provide Affordable housing? What's does "affordable" mean - what is realistic? You can't find a home for under a million dollars and rents are over \$2,000 a month. What do developers say about developing affordable housing in LG? What does the most affordable housing look like? Where will you put the high density housing? What is the plan? Also, many residents moved to Los Gatos for its small town character, low density, quiet neighborhoods, and safe schools. How will you take the needs of those residents into consideration when making a decision? How will you alleviate the concerns of increased traffic, crowded schools, less safety, and more stress that comes with an increase in density? Do we have the resources and infrastructure in place to accommodate housing over the 1993 homes required by the state. I feel it is irresponsible to increase the number of homes over the 1993 required by the state before we have a clear plan and answer the above questions.

Warmly,

Anne Roley

[REDACTED]

Los Gatos, CA 95032

From: Pam Bond
Sent: Wednesday, December 8, 2021 4:12 PM
To: Planning Comment
Subject: verbal communications - non agenda item

Dear Planning Commissioners,

I don't think my comment fits with the EIR review for the General Plan but it is in reference to page 6-34 of the General Plan related to artificial turf. I would like to implore you to consider moving artificial turf up in the discussion to the soonest possible time frame in the plan.

A group of concerned parents have been gathering evidence which we have been sending to LGUSD district staff and board cautioning against the use of artificial turf. LGUSD staff have recommended that artificial turf be installed in three elementary school courtyards (Van Meter, Daves and Blossom Hill) as well as a kindergarten yard (at Daves elementary) - decision to be made Dec. 14. The board will also decide whether Van Meter and Daves' fields will be converted to artificial turf, a decision to be made in the Spring. The courtyards will be installed this summer and the fields will be installed over the following two summers.

We first became concerned when we saw Valley Water's recommendation against the use of artificial turf (see attached pdf). This led us to organizations who have been fighting the installation of turf all over the country. We also learned about Millbrae's recent moratorium on installations in their city until more can be learned. There are so many issues with this material and so many unknown and known human and environmental concerns that it does not seem prudent to allow unrestricted use of this material in our town, particularly with our proximity to an important waterway or two.

I am particularly worried about Creekside Sports Park which has crumb rubber. Two studies, by the EPA and by CalEPA's Office of Environmental Health Hazard Assessment are looking into toxicity and other concerns related to crumb rubber fields. It has already been shown that one chemical found in tire crumb is responsible for massive Coho Salmon decline in Puget Sound which doesn't bode well for the salmon in Los Gatos Creek. I read the MND for Creekside from 9 or 10 years ago and it looks like it was seriously lacking in runoff mitigation and concerns about tire and plastic blades getting into the environment and the creek.

I wanted to just send a message to get this on your radar if it isn't already. I would like to share more if there is an avenue to do so. We also have many expert letters and other information in a website that we cobbled together for the purposes of compiling what we've learned or what has been shared with us about artificial turf. www.questionfakegrass.org

I want to share with you this article linked below that has some big news in the artificial turf debate related to the presence of PFAS chemicals in the plastic blades and a great example of industry efforts at denial. Various experts including Dr. Graham Peaslee and The Ecology Center have tested artificial turf for the presence of PFAS chemicals using a testing method that has not been employed by the turf industry or its experts (like Dr. Green highlighted in the article for her false reporting and lies). The PFAS experts have found PFAS but the industry denied its presence, then admitted recently to a PFAS chemical called PVDF which they asserted to be inert. This article describes much more but reveals that Kristen Mello discovered a research paper wherein PVDF was shown to break apart in sunlight from its inert form into PFAS chemicals that are available to the environment and can wash off into our water supply.

<https://www.eenews.net/articles/epa-linked-consultant-undercuts-agencys-pfas-concerns/>

This alone should be a huge cause for concern. We have video testimony from Dr. Peaslee, Dr. Bennett and Kristen Mello on our website.

There is so much I could share but what I'd like to mention is that UCSF's Pediatric Children's Health Department echoes concerns of Mt. Sinai Children's Environmental Health in saying that they do not recommend the use of artificial turf and they cannot say that it is safe, particularly for schools and children. The long term health effects are unknown and testing of the materials is imperfect. A recent report shows that there there is huge cause for concern related to the use of plastic. *"There are thousands more chemicals in plastic than we thought"* (link ot research paper in this article)

<https://www.fastcompany.com/90649480/there-are-thousands-more-toxic-chemicals-in-plastic-than-we-thought>

Thank you for considering and if you have time, we have a lot of information compiled on our website.

Sincerely,

Pam Bond

Los Gatos, CA

Louise Van Meter Elementary Parent

Girl Scout Leader

Home and School Club garden program lead

Artificial Turf

Through the Landscape Rebate Program, the Santa Clara Valley Water District is helping to promote water conservation while at the same time encouraging the installation of healthy, sustainable landscapes that will enhance our local environment. The district is not only responsible for safe, clean drinking water, we are also stewards of our entire watershed and have designed our program to go beyond simply saving water.

While artificial turf requires less water than a natural turf lawn, there are healthier and more ecologically sound alternatives that we would like to promote with our Landscape Rebate Program. For the following reasons, artificial turf is not included in our Landscape Rebate Program.

Artificial turf is not a living landscape and does not:

- Increase biodiversity of plant, animal and insect populations;
- Provide habitat for local fauna;
- Foster healthy soils (healthy soils increase moisture holding capacity, support healthy microbes and insects, filter pollutants and improve water quality);
- Cool surrounding air temperatures (artificial turf can get significantly hotter than surrounding air temperatures, contributing to the heat island effect by increasing air temperatures in urban settings);
- Sequester carbon or produce oxygen like living plant material can.

Artificial turf is not water free

- For sanitation purposes, water is needed to periodically clean the turf. Chemicals may also be needed occasionally.
- Because artificial turf can get very hot in direct sunlight, water is sometimes needed to cool the turf before it can be used comfortably.



An example of a front yard lawn conversion that reduces water use while also creating a sustainable landscape.

Artificial turf has potential environmental concerns

- Runoff from artificial turf may contain pollutants like heavy metals and chemicals that can reach surface water or groundwater. Results may vary for different artificial turf products, but more scientific research is needed (See report from Environmental and Human Health, Inc: <http://www.ehhi.org/reports/turf/> and the district's report on artificial turf fields at: <http://valleywater.org/Programs/conservationannualreports.aspx>).
- Artificial turf is a synthetic material with a relatively short lifespan ranging from 10-20 years that may eventually end up in landfills.

Fortunately, the Landscape Rebate Program allows many beautiful, low water using options that result in more sustainable and beneficial landscapes. For additional information about the Landscape Rebate Program or our extensive Qualifying Plant List, please call the Water Conservation Hotline at **408-630-2554** or visit www.valleywater.org.



IT'S TIME. SAVE WATER.

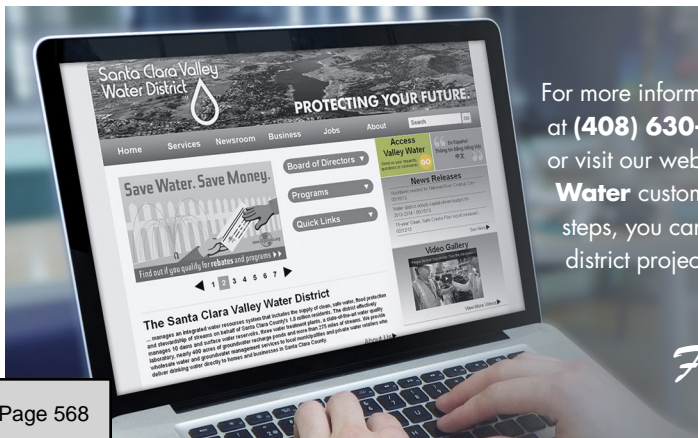
*For water
saving tips,
go to:*



Save Water. Save Money.



*For water
saving rebate
programs, go to:*



CONTACT US

For more information, contact the **Water Conservation Hotline** at **(408) 630-2554**, email **conservation@valleywater.org**, or visit our website at **valleywater.org** and use our **Access Valley Water** customer request and information system. With three easy steps, you can use this service to find out the latest information on district projects or to submit questions, complaints or compliments directly to a district staff person.

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PFAS polymers pose serious health and environmental threats

Per- and polyfluoroalkyl substances (PFAS) are toxic chemicals used in thousands of products ranging from cookware and clothing to paint and firefighting foam. Known as “forever chemicals” because they remain in the environment for such a long time, PFAS have contaminated more than 2,300 sites across 49 states¹, including drinking water of an estimated 200 million Americans.² The threat of these toxic and persistent chemicals is so great that many states, manufacturers and retailers are phasing out PFAS in products and processes. The state of Maine³ and the European Union⁴ are in the process of eliminating all uses of PFAS.

The backlash against PFAS has scared the chemical industry.

Manufacturers are now falsely claiming that many polymer versions of PFAS are safe, but this simply isn't true.

**As we have learned with Teflon®,
PFAS polymers have a toxic lifecycle.**

PFAS polymers⁵ are a type of plastic used in a vast array of products such as smartwatch bands, nonstick pans, and waterproof clothing. The chemical industry, which previously claimed that the mostly phased-out first generation of PFAS chemicals were totally safe, now claims the same thing about many PFAS polymers. But the fact is that these compounds have a toxic lifecycle that threatens human and environmental health.

Water supplies for millions of people have been contaminated by the highly toxic and persistent PFAS chemicals DuPont and 3M used to make the PFAS polymer known as Teflon®. Many people have fallen ill after being exposed to the toxic byproducts of Teflon® manufacturing, and exposures continue today.^{6,7} With this history, the chemical industry's claims that PFAS polymers are safe must be recognized as highly suspect.

Why all PFAS polymers must be phased out:

- **PFAS polymer production and use creates toxic PFAS pollution**

PFAS polymers are made using other harmful PFAS chemicals, which are subsequently released into the environment when waste byproducts enter air and waterways.⁸ In fact, when scientists studied the fate of a commonly used group of toxic PFAS, they estimated 80% of those chemicals made since the 1950's have been released to the environment from PFAS polymer "manufacture and use."⁹ Certain PFAS polymers release toxic PFAS chemicals during their use, posing acute and chronic risk to human and ecological health.^{10,11} Workers in plants making or using PFAS polymers also may be exposed to serious hazards.¹²

- **PFAS polymers can leave PFAS in our environment forever**

Many PFAS polymers are extremely persistent in the environment, which poses unique concerns. Other types of PFAS polymers break down, only to form persistent PFAS chemicals. As a recent scientific paper noted: "if a chemical is highly persistent, its continuous release will lead to continuously increasing contamination" that will take "decades, centuries or even longer to reverse" and lead to "increasing probabilities of the occurrence of known and unknown effects."¹³ With few exceptions, highly persistent organic chemicals should never be used.¹⁴

- **PFAS polymers can cause illness and injury**

Respiratory illnesses associated with normal consumer uses of PFAS polymer-containing products such as waterproofing agents and sealants remains an ongoing problem that has "occurred for many years in many different countries."¹⁵ The Centers for Disease Control and Prevention have reported cases of "severe acute respiratory illness" linked to the use of a PFAS polymer-based shoe spray which was later recalled by the manufacturer.¹⁶ The Plastics Industry Association has noted in their own materials that PFAS polymer exposure can cause the flu-like condition known as "polymer fume fever."¹⁷ It has also been known for decades that fumes from Teflon® pans can kill birds.¹⁸ The chemical industry simply can't claim that PFAS polymers are safe when exposures during production and use have caused illness and injury.

- **PFAS polymer production emits "climate super-pollutants"**

PFAS polymer production emits climate super-pollutants such as HCFC-22 and HFC-23, which are 5,280 and 10,800 times respectively more potent at warming the atmosphere than carbon dioxide, on a twenty year timescale.¹⁹ The emissions of these two compounds from just a single PFAS polymer manufacturing plant are the equivalent of the annual carbon dioxide pollution from 750,000 passenger cars.²⁰ HCFC-22 also destroys the health-protective stratospheric ozone layer.²¹

- **Disposal of PFAS polymers poses serious threats**

Landfilling of PFAS polymers can lead to contamination of nearby soil and groundwater and can contribute to releases of microplastics and, in some cases, other PFAS chemicals.^{22 23} Deep well injection of manufacturing waste relocates the threat and creates the possibility of

spills and leaching into drinking water.²⁴ Incineration of PFAS polymers creates toxic emissions that can harm frontline communities and spread far beyond their source. Most municipal incinerators are not designed to handle highly corrosive materials formed when PFAS polymers break down.²⁵ These same serious disposal issues are also present for the PFAS chemicals used to make the polymers.

- **Safer alternatives exist for many PFAS polymer uses**

In many cases, safer alternatives to PFAS polymers are readily available and being used in products. For some applications, they were never necessary in the first place: no one needs their watch band or dental floss to be made from a PFAS polymer. For other uses where alternatives are not yet available, immediate efforts should be made to develop replacements, or products should be redesigned to eliminate the use of PFAS polymers. In the meantime, all currently avoidable uses should be phased out as quickly as possible.

- **The PFAS crisis began with polymers – let's not repeat history**

PFAS pollution first came to light from DuPont's manufacture of the PFAS polymer Teflon® which led to massive contamination still causing harm today.^{26,27} We should learn from this disastrous history and take action to protect public health and the environment from these persistent toxic chemicals.

References:

¹ Environmental Working Group. (2021). Mapping the PFAS Contamination Crisis: New Data Show 2,337 Sites in 49 States. https://www.ewg.org/interactive-maps/pfas_contamination

² Andrews, D., Naidenko, O. (2020). Population-Wide Exposure to Per- and Polyfluoroalkyl Substances from Drinking Water in the United States. *Environmental Science & Technology Letters*. 7, 12, 931-936. <https://pubs.acs.org/doi/10.1021/acs.estlett.0c00713>

³ Associated Press. (2021, July 17). Maine requires so-called PFAS to be phased out by 2030. <https://apnews.com/article/business-government-and-politics-environment-and-nature-maine-be458f81f85f3c01d509ccfa2573b6cd>

⁴ European Commission. (2021). The EU's chemicals strategy for sustainability towards a toxic-free environment. https://ec.europa.eu/environment/strategy/chemicals-strategy_en

⁵ Polymers are very large molecules with repeating individual units linked up to form chains or networks; some polymers are made up of hundreds or thousands of individual units. While there are a few different categories of PFAS polymers (including fluoropolymers and side-chain fluorinated polymers), all of them present serious health and environmental concerns.

⁶ DiStefano, J. (2015, Aug 13). DuPont's toxic Teflon problem (Updated): Scientists knew the danger; managers kept it quiet. *Philadelphia Inquirer*. <https://www.inquirer.com/philly/blogs/inq-phillydeals/321772182.html>

⁷ House Committee on Oversight and Reform. (Oct 21, 2020). Chairman Rouda Seeks Information on Continued Detection of Cancer Causing PFAS Chemicals at DuPont and Chemours Facilities. <https://oversight.house.gov/news/press-releases/chairman-rouda-seeks-information-on-continued-detection-of-cancer-causing-pfas>

⁸ Lohmann R, Cousins IT, DeWitt JC, Glüge J, Goldenman G, Herzke D, Lindstrom AB, Miller MF, Ng CA, Patton S, Scheringer M, Trier X, Wang Z. (2020). Are Fluoropolymers Really of Low Concern for Human and Environmental Health and Separate from Other PFAS? *Environ Sci Technol*. Oct 20;54(20):12820-12828. doi: 10.1021/acs.est.0c03244

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¹⁰ Lohmann R, Cousins IT, DeWitt JC, Glüge J, Goldenman G, Herzke D, Lindstrom AB, Miller MF, Ng CA, Patton S, Scheringer M, Trier X, Wang Z. (2020). Are Fluoropolymers Really of Low Concern for Human and

Environmental Health and Separate from Other PFAS? *Environ Sci Technol*. Oct 20;54(20):12820-12828. doi: 10.1021/acs.est.0c03244

¹¹ Schellenberger S, Jönsson C, Mellin P, Levenstam OA, Liagkouridis I, Ribbenstedt A, Hanning AC, Schultes L, Plassmann MM, Persson C, Cousins IT, Benskin JP. (2019). Release of Side-Chain Fluorinated Polymer-Containing Microplastic Fibers from Functional Textiles During Washing and First Estimates of Perfluoroalkyl Acid Emissions. *Environ Sci Technol*. Dec 17;53(24):14329-14338. doi: 10.1021/acs.est.9b04165.

¹² Ecology Center. (2020). What's Cooking? Non-stick Pan Study: Worker Rights, Health and Safety in Pan Production. <https://www.ecocenter.org/healthy-stuff/pages/worker-rights-health-and-safety-pan-production>

¹³ Cousins IT, Ng CA, Wang Z, Scheringer M. (2019). Why is high persistence alone a major cause of concern? *Environ Sci Process Impacts*. May 22;21(5):781-792. doi: 10.1039/c8em00515j. Erratum in: *Environ Sci Process Impacts*. 2019 May 1; PMID: 30973570.

¹⁴ Kwiatkowski CF, Andrews DQ, Birnbaum LS, Bruton TA, DeWitt JC, Knappe DRU, Maffini MV, Miller MF, Pelch KE, Reade A, Soehl A, Trier X, Venier M, Wagner CC, Wang Z, Blum A. (2020). Scientific Basis for Managing PFAS as a Chemical Class. *Environ Sci Technol Lett*. Aug 11;7(8):532-543. doi: 10.1021/acs.estlett.0c00255. Epub 2020 Jun 30. PMID: 34307722; PMCID: PMC8297807.

¹⁵ Hays HL, Spiller H. (2014). Fluoropolymer-associated illness. *Clin Toxicol (Phila)*. Sep-Oct;52(8):848-55. doi: 10.3109/15563650.2014.946610. PMID: 25200453.

¹⁶ Centers for Disease Control and Prevention. (1993). Severe Acute Respiratory Illness Linked to Use of Shoe Sprays -- Colorado, November 1993. Morbidity and Mortality Weekly Report. <https://www.cdc.gov/mmwr/preview/mmwrhtml/00022198.htm>

¹⁷ Plastics Industry Association. (2018). Guide to Safe Handling of Fluoropolymer Resins.

<https://www.turi.org/content/download/12048/189380/file/Guide%20to%20the%20Safe%20Handling%20of%20Fluoropolymer%20Resins%20v5%2020190130-1.pdf>

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²² Silva A, Prataab JC, Duarteb A, Soares A, Barcelo D, Rocha-Santos T. (2021). Microplastics in landfill leachates: The need for reconnaissance studies and remediation technologies. *Case Studies in Chemical and Environmental Engineering*, Vol 3: 100072. ISSN 2666-0164. <https://doi.org/10.1016/j.csee.2020.100072>.

²³ Moore, Ryan. (March 20, 2021). PFAS-Impacted Groundwater an Emerging Issue for Landfills: Solving the Challenge with a New Approach. *Waste Advantage*. <https://wasteadvantagemag.com/pfas-impacted-groundwater-an-emerging-issue-for-landfills-solving-the-challenge-with-a-new-approach/>

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²⁷ House Committee on Oversight and Reform. (Oct 21, 2020). Chairman Rouda Seeks Information on Continued Detection of Cancer Causing PFAS Chemicals at DuPont and Chemours Facilities. <https://oversight.house.gov/news/press-releases/chairman-rouda-seeks-information-on-continued-detection-of-cancer-causing-pfas>

From: Defeo Home
Sent: Thursday, December 9, 2021 12:02 PM
To: Maria Ristow
Subject: Town General Plan

Hi Maria!

I hope this message finds you well! First, thanks for your careful consideration regarding the 17200 Los Robles Way lot line discussion. Although it didn't go the way we were hoping, I was impressed by the seriousness and attention which you and your colleagues took in making your decision, thanks!

I am sending you a message today regarding the 2040 Town General Plan. I was not able to attend yesterday's zoom call regarding the plan so I thought I would send you my thoughts here (feel free to share it with others collecting feedback on the plan).

I (and my family) support the draft plan. Generally we are pleased with some of the aggressive growth targets specifically addressing the 'missing middle housing', and the increased emphasis on non-auto related mobility in town, as well as the racial equity components of the plan. We would love to see an even greater emphasis on affordable housing and racial equity but this is a great step in the right direction.

Feel free to contact me in case you would like to discuss further. Good luck in your efforts to drive the adoption of the plan!

Respectfully,

The de Feo family (Gianfranco, Eileen, Arianna and Francesco)

From: William Walker
Sent: Thursday, December 9, 2021 10:32 PM
To: GP2040
Subject: General Plan Feedback

I strongly disagree with section MOB11 in the draft general plan. Instead, the town should insist that the state increase the capacity of SR17 at least to Bear Creek Road. This is required for both safety and quality of life. Cut-thru traffic and gridlock will only increase unless this is done. Nobody takes public transportation to the beach on Sunday. The town government is tone-deaf if they don't understand how frustrated residents are with cut-thru induced gridlock. It is already a crisis, and will only get worse as the population increases.

SR17 near the Cats is a disaster waiting to happen. A strong earthquake or a heavy winter storm could bring down the hillside killing motorists and isolating residents living above the town. Currently, chain link fences are holding back the hillside!

In addition, the Town should insist that the state rebuild the route 9 to SR 17 intersection to address both capacity issues and safety of pedestrians and bicycles. A flyover overpass isolating pedestrians and bicycles

from cars would be ideal. My wife and I have almost been struck by cars more than once while attempting

to walk across the overpass because cars exiting the freeway apparently don't realize that pedestrians have

the right-of-way. In one case, we counted ten cars that refused to yield the right-of-way to us before we

finally found a gap large enough for us to scramble across. The town should not have to pay for any of this.

Make Sacramento pay, it's their obsolete infrastructure!

William Walker

From: Terry Rinehart
Sent: Friday, December 10, 2021 1:42 PM
To: Council
Subject: General Plan

I am against the General Plan doubling the number of homes to be built in LG. I think we should definitely stick to the number of 1993. I would also like to see the requirement of all new homes/duplexes/ADU's to provide off street parking. If my neighbor decides to put 2 duplexes and 2 ADU's on their property that could be 12 or more cars parked on the street and 12 or more trash cans that need to be put on the street. The duplexes should also be limited to 2 stories.

I really hope that the town adopts a zoning area for these additional dwellings and not be mixed into the single family home areas.

How about taking that huge lot on the corner of LG Blvd and LG Almaden Rd and build a high rise condo? It is close to transit and across from a grocery store. I know you have to find a buyer and builder, but can the town look into that?

Thank you for your time,
TL Rinehart

From: William Walker
Sent: Friday, December 10, 2021 1:45 PM
To: GP2040
Subject: General Plan Feedback

I strongly disagree with section CD9.2.

Reducing lanes and speed limits on Los Gatos Blvd. will reduce its capacity, consequently pushing traffic onto neighboring residential streets. I know this is already a problem as I have to admit that when I am in a hurry, I often take shortcuts through residential neighborhoods to get to my destination faster. Shame on me, but shame on LG for making LGB slower.

A basic principle of main arterial roads design is they must be faster than secondary roads. CD9.2 contradicts this principle.

Instead of reducing capacity of Los Gatos Blvd, the plan should increase capacity by, for example, eliminating unnecessary traffic lights such as the ill-advised one at the Trader Joes strip mall. In addition, eliminating street parking will improve flow and make LGB safer for bicycles. Currently, even with the recent improvements, LGB is not safe for bicycles — too many curb cut access points with bicycles hidden from view by parallel parked cars.

From: William Walker
Sent: Friday, December 10, 2021 4:23 PM
To: GP2040
Subject: General Plan Feedback

Section MOB-9.5 is self-contradictory. Keeping traffic on SR 85 and SR 17 requires increasing capacity.

My wife and I live in the Alta Vista neighborhood between Blossom Hill Rd. (BHR) and Los Gatos-Almaden Rd. (LGAR). Before SR 85 opened, both BHR and LGAR were grid-locked during rush hour. The day SR 85 opened, in spite of inadequate capacity from day 1, we felt like we could breathe again. We could actually access BHR during rush hour.

Fast forward 25 years later, and BHR is beginning to look the way it did before SR 85 opened. The lack of capacity on SR-85 has caught up with population growth. When I need to get to South San Jose, I used to take SR 85 at all hours, now I need to take BHR or LGAR during rush hour.

The solution is to add more capacity to SR-85. This will reduce LG cut-thru traffic, which improves the quality of life for our residents.

The general plan should insist that the state increase capacity on both SR-85 and SR-17.

From: William Walker
Sent: Friday, December 10, 2021 4:35 PM
To: GP2040
Subject: General Plan Feedback - Mobility

I couldn't find any section addressing a fundamental error in the design of SR-85 access to Los Gatos, namely, the lack of on/off ramps from SR-85 south to Winchester Blvd. The result is gridlock on Lark Avenue. Netflix campus expansion and the north 40 build-out make this problem worse.

The town should insist that the state correct the SR-85/Winchester access deficiency. It would greatly improve the quality of life for our residents by reducing gridlock on our streets.

From: Pam Bond
Sent: Friday, January 7, 2022 8:43 PM
To: GP2040
Subject: Draft EIR/green space input for General Plan

To whom it may concern,

I would like to highly recommend that the Town become a partner with the school districts to support school fields remaining green space for community sports use as well as for the school day uses.

LGUSD is poised to convert 2 2-acre fields on elementary campuses to artificial turf (decision this Spring 2022) siting maintenance as one concern. Why can't the Town assist with maintenance since these fields are used the hardest by community sports teams? Support the community and keep this town green.

Artificial turf off-gases methane and ethylene and creates heat islands. There are viable drought tolerant options for sports fields. The Sports Turf Managers Association is just one national organization with information on how to achieve sustainable grass fields.

These fields have the potential to afford green space for students who are and will be coming from high density housing as Los Gatos Blvd area and other lands get built up. The school fields may be their only green space 160 days a year. This is an equity issue as well as an environmental health and justice issue.

Sincerely,

Pam Bond

Louise Van Meter parent

Garden program lead

Green team member

Girl Scout leader

www.questionfakegrass.org

From: Sylvie Hurat
Sent: Wednesday, January 12, 2022 8:43 PM
To: Council; Planning
Subject: Support for Inclusive General Plan

I support the creation of an inclusive General Plan focused on creating affordability, by increasing density, height, and mixed used developments.

Keep on the good work and thank you for your service.

--

Sylvie Hurat

From: Jan Schwartz
Sent: Wednesday, January 12, 2022 8:46 PM
To: Council; Planning
Subject: Housing

Dear Town Council and Planning Commission,

We need to make sure that Los Gatos offers affordable housing to create an inclusive community and make sure that the people who work here can afford to live here.

I support efforts to get us close to meeting the state-wide housing requirements.

Thank you,

Jan Schwartz

From: Joy Tani
Sent: Wednesday, January 12, 2022 8:47 PM
To: Council; Planning
Subject: Housing

Please, please, please, create an inclusive General Plan

Focus on creating affordability

Achieve this through greater density and below market rate housing

SB9 does not address affordability- the Town Council should work intentionally to create affordability while also implementing SB9

Fourplexes and mixed-used develops fit within the character of our Town

Thank you,

Joy

From: Karla Albright
Sent: Wednesday, January 12, 2022 8:48 PM
To: Council; Planning
Subject: Housing

Dear wonderful council members,

Thank you for your work supporting LG.

I am writing in regards to the General plan and hope that we create an inclusive general plan which means increasing a broad range of housing types aimed at different people, single people, elderly, low income, multi generational etc.

It is critical that we focus on affordability. Which means that we need greater density, higher height restrictions, less space saved for parking, more intra LG mass transit, connection with light rail.

We need more mixed use plus duplexes, four-plexes, apartments

I hope the Town Council will work intentionally to create affordability while also implementing SB9.

Best,
Karla Albright

From: Stephanie Brown
Sent: Wednesday, January 12, 2022 8:48 PM
To: Council; Planning
Subject: Housing in Los Gatos - General Plan, Affordability

Dear Town Council and Planning Commision:

I request that Los Gatos:

Create an inclusive General Plan
Focus on creating affordability
Achieve this through greater density and below market rate housing

Also, SB9 does not address affordability - the Town Council should work intentionally to create affordability while also implementing SB9. Fourplexes and mixed-used developments fit within the character of our Town. We want them.

We need to provide housing for all the people who want to work and teach and police and fight fires here.

My regards,

Stephanie Brown

From: Shannon Edwards
Sent: Wednesday, January 12, 2022 8:51 PM
To: Council; Planning
Subject: Create an inclusive General Plan- housing matters!

Dear Town Council members and Planning commission,

Thank you for your service!

I am writing tonight to let you know that it will be important for you to focus on creating affordable housing for Los Gatos.

We can do this through greater density and below market rate housing.

SB9 does not address affordability- the Town Council should work intentionally to create affordability while also implementing SB9.

Fourplexes and mixed-used developments fit within the character of the Town of Los Gatos.

\$2,459 per month as an average rental cost is out of range for the working class who will be working in the town.

Many thanks, Shannon Edwards, Los Gatos

From: Bernadette Frager
Sent: Wednesday, January 12, 2022 8:54 PM
To: Council; Planning
Subject: Affordable Housing

Dear All,

I am writing to you after having been brought up to date on affordable housing requirements.

I am aware the town of Los Gatos is quite behind in housing.

I am in support of looking for solutions for housing as it raises the value of our community for everyone.

I'm also hoping we can add some urgency to getting housing projects going that will improve our percentage of compliance in the different housing categories. SB9 does not address affordability.

Part of the issue must include community engagement so that we can address the common NIMBY issues (Not In My Back Yard).

And please, don't only consider that areas of Los Gatos that are outside of the LGSD. There's a tendency to keep low income housing away from Los Gatos school district.

Thank you for all you do and the many challenges you have before you,

Bernadette

Bernadette Frager

We spend
precious hours
fearing the inevitable.

It would be wise
to use that time
adoring our families,
cherishing
our friends,
and living our lives.
—MAYA ANGELOU

From: Rob Moore
Sent: Wednesday, January 12, 2022 8:57 PM
To: Council
Cc: Planning
Subject: Housing Affordability

Hello Mayor, Town Council, and Planning Staff,

I hope you are all well and had some much-deserved R&R over the holidays.

I am writing to you after having a great discussion with dozens of Los Gatans on housing in town. We discussed housing affordability, increasing density, and how excited we are for the future of the Town.

While you all know my opinion on this, I want to emphasize how important I feel it is to create a General Plan that builds more housing and, additionally, incentivizes the construction of more Affordable housing.

State laws like SB9 will continue heavy-handedly building housing that is not ideal for our town. The only way to keep the state from passing more SB9 type laws is to actually build the housing mandated from ABAG via RHNA.

I live in a lovely fourplex on Carlton Avenue, right behind Trader Joe's. I am so very excited for more housing like this. My partner, Kylie Clark, and I will be hosting a "missing middle housing tour" of our fourplex and our neighborhood. This sort of housing allows for the creation of a beautiful little community.

Thank you all for everything you do.

In solidarity,

Rob Moore
(Town resident, not writing in any official capacity)

From: rude tina

Sent: Wednesday, January 12, 2022 8:51 PM

To: Council

Subject: housing

Dear LG Town Council and Planning Department:

I am in favor of increasing affordable housing in our town. In order to convert our traditional single house neighborhoods, my suggestion is to allow/promote ADU, and then duplexes first, as people become accustomed to more "infill".

Thank you,

Christina Rude

From: Rob Stump

Sent: Saturday, January 22, 2022 6:41 PM

To: GP2040

Subject: General Plan Considerations In and Around the Wildland Urban Interface

2040 General Plan Team,

As the General Plan moves toward finalization, the Town Staff in particular cannot lose sight of the threat that Wildfire poses to the Town of Los Gatos. In one Wildfire study, the Town of Los Gatos was rated a higher threat for wildfire prior to the Camp Fire that destroyed the community of Paradise resulting in 89 deaths and billions of dollars in economic losses. The Town of Los Gatos is not exempt from the threat of wildfire so those working on the General Plan need to take this into account. Here is the link for "The Republic" study/article: <https://www.azcentral.com/in-depth/news/local/arizona-wildfires/2019/07/22/wildfire-risks-more-than-500-spots-have-greater-hazard-than-paradise/1434502001/>

The top strategic priority for the Town of Los Gatos is Public Safety. So, in the fall of 2020, the Town Council formed an Ad Hoc Committee to make specific recommendations to the Town Council to expedite our efforts surrounding preparation and prevention of wildfire. The Ad Hoc Committee members were:

- Mayor Marcia Jensen
- Vice Mayor Barbara Spector
- Assistant Town Manager Arn Andrews
- Director of Parks and Public Works Matt Morley
- Assistant Santa Clara County Fire Chief Brian Glass
- Resident member Rob Stump (Served as Chair)
- Resident member Brad Gordon

This Committee determined, the top priority for our work was to focus on saving lives. As a result, the top two priorities were emergency communication and evacuation. The final report is attached for your reference.

From an emergency communications standpoint, the Ad Hoc Committee recommended installation of a siren system (more likely a Long Range Acoustical speaker system including sirens). This system will include installations throughout the WUI and surrounding areas. The goal of this system is to offer one more layer of emergency communication that can provide clear direction, not rely on the cellular network and SAVE lives.

From an evacuation standpoint, the Town of Los Gatos has two major challenges. First, many streets that provide ingress/egress into the WUI, not including roadways within the WUI, do not meet California Vehicle Code or State Fire Code for street width. Streets are required to be 36 feet wide to accommodate parking on both sides of a street, and at least 28 feet wide to accommodate parking on one-side of the street. So any street that is less than 28 feet should not have on-street parking period! Anyone familiar with the roadways throughout the foothills of Los Gatos knows that we have many substandard streets from the standpoint of width. Proper street width/clearance in an emergency will save lives.

The second evacuation issue is seasonal traffic impacts due to beach traffic. And as we have seen, this problem is not easily solved.

What do the General Planners need to keep in mind regarding our General Plan?

1. Los Gatos is under serious threat of wildfire. Similar to the Tunnel Fire in the Oakland Hills in 1991 that resulted in the loss of over 3,000 homes in less than 48 hours, the Town of Los Gatos has eerie comparisons. We have just over 3,000 homes in the WUI with about the same amount of square mileage as the Oakland Hills. We live under the threat of wildfire from April thru December and our WUI has never had the massive amount of vegetation and forest in our history as a Town as it does today.
2. Before allowing additional development in the WUI or even outside of the WUI where residential streets are critical to evacuation, the Town needs to ensure our streets meet California Vehicle and State Fire Codes street width standards. To allow additional development along key evacuation routes out of the WUI would be irresponsible. The Town cannot overlook these requirements and still claim that Public Safety/Fire Protection is a top strategic priority.

Serious wildfire mitigation measures, specifically those measures recommended by the Ad Hoc Wildfire Committee need to be incorporated into the Town's General Plan in specific and tangible ways. We need to ensure our community is as safe as possible from the threat of wildfire.

Feel free to contact me if you have any questions.

Rob Stump



**TOWN OF LOS GATOS
COUNCIL AGENDA REPORT**

MEETING DATE: 12/01/2020

ITEM NO: 11

DATE: November 20, 2020
TO: Mayor and Town Council
FROM: Laurel Prevetti, Town Manager
SUBJECT: Accept the Ad Hoc Wildfire Committee Report and Direct Staff to Return to Council in One Year with an Action Item Progress Update

RECOMMENDATION:

Accept the Ad Hoc Wildfire Committee Report and direct staff to return to Council in one year with an action item progress report.

BACKGROUND:

On October 6, 2020, the Town Council approved the creation of a Town Council Ad Hoc Committee to study wildfire mitigation in the Wildland Urban Interface (WUI). The Council confirmed that the Committee should study a broad variety of wildfire mitigation policy and project options to improve the Town's wildfire resiliency and return to Council with a report of their findings. The Committee examined best practices of similar WUI communities, lessons learned from recent fires, and other relevant areas of wildfire science. The Committee was directed to complete the report in time for Council consideration on December 1, 2020 to align with the annual Strategic Priority and budget development process.

The Committee was comprised of the following members:

- Mayor Marcia Jensen
- Vice Mayor Barbara Spector
- Assistant Town Manager Arn Andrews
- Director of Parks and Public Works Matt Morley
- Assistant Santa Clara County Fire Chief Brian Glass
- Resident member Rob Stump
- Resident member Brad Gordon

PREPARED BY: Arn Andrews
Assistant Town Manager

Reviewed by: Town Manager, Town Attorney, and Director of Parks and Public Works

BACKGROUND (Continued):

The Ad Hoc Committee met on October 21, 2020, October 29, 2020, November 9, 2020, and November 16, 2020. The elements and findings of the report are described in the Discussion section below.

DISCUSSION:

The Ad Hoc Wildfire Committee Report (Attachment 1) is the culmination of peer reviewed best practices, lessons learned from recent statewide fires, mitigation characteristics unique to Los Gatos, and significant input from the Santa Clara County Assistant Fire Chief. The Committee Report is structured around five primary strategic goals accompanied by relevant action items. The identified goals in the report appear sequentially in their order of initial priority focus. Goal sequencing is not intended to reflect attainment of one goal prior to initiating another but rather a function of prioritizing protection of life followed by property and the environment. It should be noted that goals and many action items are anticipated to often be addressed concurrently. Following are the identified goals of the Committee:

- Emergency Communication
- Emergency Evacuation
- Roadside Fuel Reduction
- Open Space and Residential Land Management
- Emergency Partnerships

In addition to the sequencing of goals, action items have been individually ranked into either Priority 1 (within 2 years) or Priority 2 (within 3 to 5 years). The priority ranking of action items is a byproduct of establishing reasonable and attainable actions as opposed to signifying certain action items are less important than others. The report also establishes quantifiable metrics for each goal to measure progress of goal/action item attainment.

And lastly, the report identifies additional action items for consideration which include potential for legislative engagement and potential mitigation funding strategies.

CONCLUSION:

The Ad Hoc Wildfire Committee Report establishes a roadmap for concrete action items that mitigate the risks associated with wildfire in the WUI and the community consequences associated with those risks.

PAGE 3 OF 3

SUBJECT: Ad Hoc Wildfire Committee Report

DATE: November 19, 2020

COORDINATION:

This staff report was coordinated with the Town Manager, Town Attorney, and Director of Parks and Public Works.

FISCAL IMPACT:

No fiscal impact with acceptance of report

ENVIRONMENTAL ASSESSMENT:

This is not a project defined under CEQA, and no further action is required.

Attachment:

1. Ad Hoc Wildfire Committee Report

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Town of Los Gatos Ad Hoc Wildfire Committee Report

December 1, 2020



Town of Los Gatos
110 East Main Street
Los Gatos, CA 95030

Prepared by
Ad Hoc Wildfire Committee

Coordinated with
Santa Clara County Fire Department

ATTACHMENT 1

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Committee Introduction and Goals

Los Gatos is listed as a Community at Risk from wildfires on the Federal and the California Fire Alliance list of Communities at Risk in Santa Clara County. Wildfires occur in the vicinity of Los Gatos and present a significant danger to people and property within the Town. The Town of Los Gatos considers wildfire mitigation to be a top tier priority for the safety of its citizens and an economic imperative.

Recognizing this significant risk, the Los Gatos Town Council convened an Ad Hoc Wildfire Committee to study a broad variety of wildfire mitigation policy and project options to improve the Town's wildfire resiliency. The Committee consisted of Mayor Marcia Jensen, Vice Mayor Barbara Spector, Assistant Fire Chief Brian Glass, Community Member Rob Stump, Community Member Brad Gordon, Assistant Town Manager Arn Andrews, and Parks and Public Works Director Matt Morley. Mr. Stump chaired the Committee.

The Committee's goal was to identify a variety of mitigation strategies that could be implemented within the next two years and three to five-year timeframes, and collectively identify strategies that may assist in reducing wildfire risk while improving community preparedness in response to wildfire. The Committee examined best practices of similar communities within the Wildland Urban Interface (WUI), lessons learned from recent fires, and other relevant areas of wildfire science. The following report identifies areas for emphasis of future Council wildfire mitigation efforts.

This report describes the Los Gatos WUI and then identifies specific mitigation topics. For each topic, goals, action items, and metrics are identified.

Key Terms

Defensible Space An area around the perimeter of structures in which vegetation, debris, and other types of combustible fuels are treated, cleared, or reduced to slow the rate and intensity of potentially approaching wildfire or fire escaping from structures.

Hillside Collector Streets A low-to-moderate-capacity road which serves to move traffic from local streets to arterial roads. Unlike arterials, collector streets are designed to provide access to residential properties.

Home Ignition Zone (HIZ) A concept of the home ignition zone was developed by a retired USDA Forest Service fire scientist in the late 1990s, following some breakthrough experimental research into how homes ignite due to the effects of radiant heat. The HIZ is divided into three zones; immediate (0 to 5 feet), intermediate zone (5 to 30 feet), extended zone (30 to 100 feet).

Temporary Refuge Areas (TRAs) Pre-identified area(s) where firefighters and members of the public can immediately take refuge for temporary shelter and short-term relief in the event that access to an established safety zone is compromised.

Very High Fire Hazard Severity Zone (VHFHSZ) State law requires that all local jurisdictions identify Very High Fire Hazard Severity Zones within their jurisdictions. Inclusion within these zones is based on vegetation density, slope severity and other relevant factors that contribute to fire severity.

Wildland Fire Specialist Conducts inspections for residents living in the high fire hazard areas, providing information, advice, and assistance to property owners. Initiates defensible space surveys and develops and maintains a positive and productive dialog with the community. Identifies and coordinates hazard abatement projects to mitigate the effects of wildfire within the District.

Los Gatos Wildland Urban Interface (WUI)

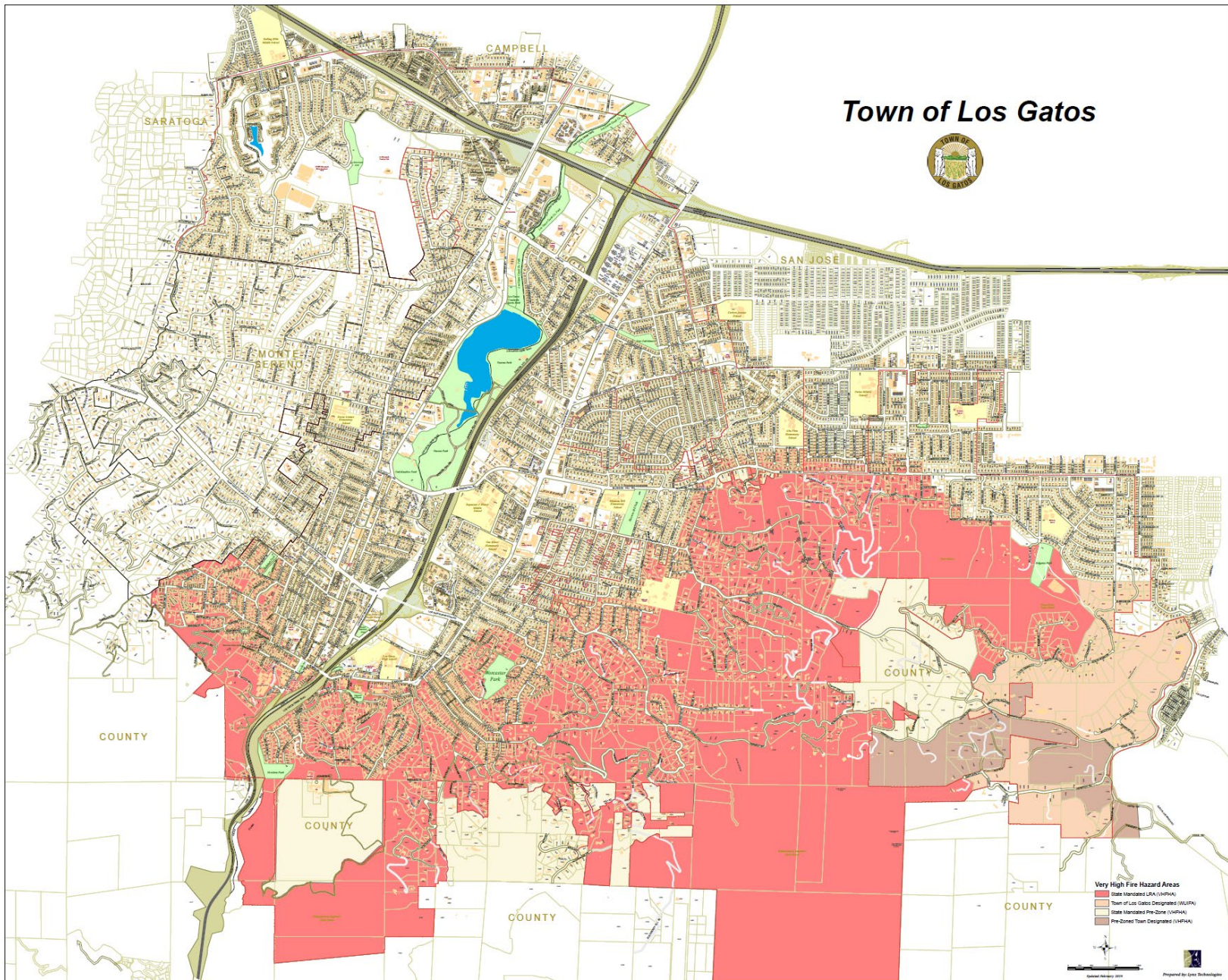
The Wildland Urban Interface (WUI) area is best described as an area that transitions from a natural condition (wildland) to a developed area (urban). Homes and other development in the WUI are at risk of catastrophic wildfire due to the presence of vegetation that could fuel a wildfire. The WUI creates an environment in which fire can move readily between structural and vegetative fuels, increasing the potential for wildland fire ignitions and the corresponding potential loss of life and property.

The Los Gatos WUI planning area includes primarily Very High Fire Hazard Severity Zone areas on the southern side of Los Gatos. The areas shaded in red in Figure 1 illustrate the extent of WUI lands within the Town. Approximately a quarter of the Town's total residences are located within the WUI. Of an estimated 2018 Town total of 13,299 residences, the WUI contains approximately 3,091. In addition, at an estimated 2.2 residents per household the WUI is home to approximately 6,800 residents among a Town total of 30,250.

The majority of the northern perimeter of the WUI tends to be flatter terrain with higher concentrations of residences. To illustrate this residential concentration, 1,784 of the 3,091 residences in the WUI are located within a quarter mile of the northern boundary.

Town currently utilizes preestablished areas for the maintenance and execution of its Community Emergency Response Team (CERT) program. The CERT maps contained in the Appendix also provide a detailed mapping of the Town WUI area, as well as routes of ingress/egress within CERT boundaries.

Figure 1



Emergency Communication

In the event of an emergency, it is an inherent responsibility of local government organizations to keep the public informed about natural, human-caused, and technological disasters. Studies show that people rarely act on a single warning message alone. To be effective, warnings should be delivered in various formats across multiple media platforms. The use of multiple platforms helps to increase the reliability of warning delivery, while also providing a sense of corroboration that will encourage recipients to take protective actions. In addition, many emergency subscription platforms are opt-in systems which leave non-adopters out of the information loop. In Los Gatos approximately only 23% of residents (6,942) have opted into the cell notification systems of Alert SCC and Nixle.

As illustrated below many notification systems are dependent on functioning internet and cell service. As evidenced by conditions created by recent fires, neither cell service nor internet service may be relied upon during large scale events, particularly when such an event coincides with a planned Public Safety Power Shutoff (PSPS).

Mass Notification Landscape



GOAL:

All residents should receive emergency communications in a timely manner.

ACTION ITEMS	PRIORITY TIMEFRAME
Maximize the use of Nixle/AlertSCC and ensure that existing communication systems are fully utilized.	Priority 1 – within 2 years

Increase resident adoption of Town social media platforms and SCCFD Twitter feed	Priority 1 – within 2 years
Explore additional non-cell/internet reliant emergency communication systems e.g. siren system.	Priority 1 – within 2 years
Increase SCCFD Ready, Set, Go Programs in Town	Priority 1 – within 2 years
Explore adding electronic message boards in front of fire stations and possibly police station	Priority 1 – within 2 years

METRICS
<ul style="list-style-type: none"> • Percentage of residents opting into Alert SCC and Nixle • Percentage of residents signing up for Town/SCCFD social media platforms • Number of Alert SCC/Nixle promotions per year • Percentage of residents with secondary means of receiving communications • Number of residents receiving Ready, Set, Go trainings in Town per year

Emergency Evacuation

The majority of the Town's WUI neighborhoods are served by Hillside Collector Streets which serve properties located in hillside areas, carrying traffic to arterial streets and additional neighborhood collectors. Many of these roadways are designed as one-way routes. During emergency events, both emergency responders and evacuees will be attempting to use the same roadways, thereby hindering access for both groups. Due to the critical importance of providing ingress for emergency vehicles and equipment to the fire area while simultaneously allowing egress to residents attempting to evacuate, the Town will evaluate the existing width, grade, and turning radius on these critical routes in order to improve access.

GOAL:

To the greatest extent feasible, create and maintain conditions necessary for efficient and effective evacuations.

ACTION ITEMS	PRIORITY TIMEFRAME
Identify and explore the development of roadside and other Temporary Refuge Areas (TRAs) throughout the WUI.	Priority 1 – within 2 years

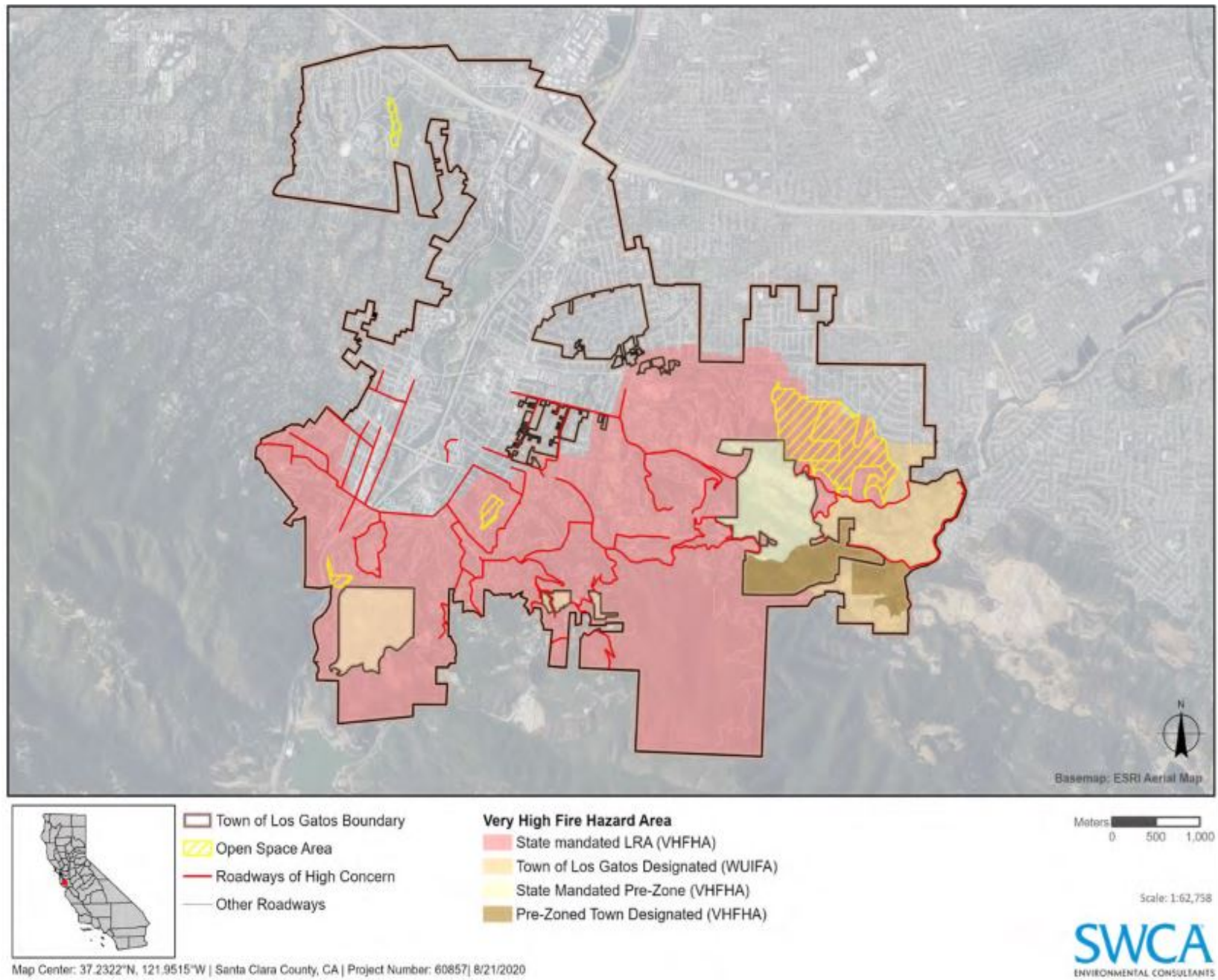
Assess and address evacuation feeder routes leading out of the WUI throughout Los Gatos.	Priority 1 – within 2 years
Examine elimination of on-street parking where appropriate	Priority 2 – within 3 to 5 years
Implement reflective home address signage throughout the WUI.	Priority 2 – within 3 to 5 years
Study/identify and develop alternate evacuation routes throughout the WUI.	Priority 2 – within 3 to 5 years
Identify potential road widening, turnout projects throughout the WUI. Develop a multi-year project to implement needed improvements.	Priority 2 – within 3 to 5 years
Develop plan to practice annually simulated evacuations in WUI neighborhoods.	Priority 2 – within 3 to 5 years
Leverage SCCFD Zone Haven GIS platform for the planning/implementation of evacuations.	Priority 2 – within 3 to 5 years

METRICS
<ul style="list-style-type: none"> • TRAs developed within each of the 7 CERT zones in the WUI • Percentage of WUI roadways with 20 ft of clear width • Percentage of identified WUI roadway improvement projects completed • Number of reflective home signs deployed per year • Number of residents participating in simulated evacuations per year

Roadside Fuel Reduction

Generally, roads are maintained to serve the transportation needs of the public; however, because roadsides are frequently the site of ignition for wildfires and evacuees may need to use the roadways to leave the area even if the vegetation on both sides of the road is on fire. Routes may also be blocked due to consequences associated with an incident including; fallen trees, spot fires, smoke, intense heat, long flame lengths, downed power lines, or vehicle accidents. The following map illustrates 31.09 miles of roadways of highest concern (colored red) for vegetation management.

Figure 2



GOAL:

Vegetation along primary hillside roadways should be maintained to achieve a clearance of 20 feet horizontally and 13 feet six inches vertically above roadways, as well as clearance of non-fire-resistant vegetation within 10 feet of the roads.

ACTION ITEMS	PRIORITY TIMEFRAME
Complete current 11-mile Fuel Reduction project by February 28, 2021.	Priority 1 – within 2 years
Develop a plan to ensure that the 31.09 miles of highest roadway concern identified in Exhibit 2 achieve a 6-year management cycle (5 miles per year).	Priority 1 – within 2 years
Identify/map all private roadways in the WUI.	Priority 1 – within 2 years
Work with residents to educate and implement vegetation management practices for these private properties.	Priority 2 – within 3 to 5 years

METRICS
<ul style="list-style-type: none"> • Number of miles of new vegetation management performed per year • Number of continuous miles of vegetation management maintenance per year • Percentage of private roadways mapped • Percentage of private roadway residents contacted per year • Percentage of private roadway residents implementing vegetation management

Open Space and Residential Land Management

California Public Resources Code (PRC) Section 4291 mandates 100 feet of defensible space around structures in high fire severity zones, within which vegetation, debris, and other types of combustible fuels are treated, cleared, or reduced to slow the rate and intensity of potentially approaching wildfire or fire escaping from structures.

The creation of reasonable and adequate Defensible Space focuses on measures to modify and break up hazards created by continuity of available fire fuels, both horizontal (across the ground) and vertical (from the ground up into the crowns of brush and trees). Fuels that exhibit a large degree of both vertical and horizontal continuity are the most hazardous; in particular, when they are on slopes. Thus, mitigation of these fuel sources through clearing and treatment, while simultaneously addressing environmental concerns such as protection of native habitats and the potential for erosion, is

particularly important. In addition to the Defensible Space requirements around structures in the WUI, the Town and other public/private agencies are stewards of large open spaces and undeveloped parkland.

GOAL:

Ensure that all public and private property owners are maintaining the mandated defensible spaces.

ACTION ITEMS	PRIORITY TIMEFRAME
<p>Conduct annual defensible space inspections and enforce compliance with state and local fire codes.</p> <ul style="list-style-type: none"> • Develop strong neighborhood relationships to educate all property owners of their defensible space obligation. • Partner on a pilot Wildland Fire Specialist program to develop relationships with VHFHZ homeowners and drive compliance through education and inspection. • Educate residents about Home Ignition Zone (HIZ) inspection program. • Explore region partnership with SCCFD fuels crews (once developed) and defensible space inspectors. 	<p>Priority 1 – within 2 years</p> <p>Priority 1 – within 2 years</p> <p>Priority 1 – within 2 years</p> <p>Priority 2 – within 3 to 5 years</p>
<p>Explore SCCFD performing defensible space citation function.</p>	<p>Priority 2 – within 3 to 5 years</p>
<p>Develop private driveway fuel reduction initiative</p>	<p>Priority 2 – within 3 to 5 years</p>
<p>Develop Eucalyptus eradication plan for Town property within the WUI.</p>	<p>Priority 1 – within 2 years</p>
<p>Develop incentive program (cost share) for residential Eucalyptus removal possibly utilizing tree replacement fund.</p>	<p>Priority 2 – within 3 to 5 years</p>
<p>Develop policy for prohibition of highly flammable plants for new construction within the WUI.</p>	<p>Priority 1 – within 2 years</p>
<p>Develop Community chipping program</p>	<p>Priority 2 – within 3 to 5 years</p>

METRICS
<ul style="list-style-type: none"> • Number of residential contacts performed by WFS per year • Number of residential defensible space inspections coordinated by WFS per year • Percentage of vegetation on Town owned Open Space maintained • Percentage of WUI residents participating in HIZ trainings per year • Number of SCCFD fuel crews (once developed) deployed in LG per year • Number of SCCFD defensible space inspections conducted in LG per year • Number of private driveways implementing vegetation management per year • Number of Town Eucalyptus trees removed per year • Number of residential eucalyptus trees removed per year • Dollar amount of residential eucalyptus grants per year • Number of tons community chipping removed per year

Emergency Partnerships

The nature of wildfire spread requires a regional approach to wildfire mitigation. A partial list of governmental and private entities with vegetation management responsibilities appears below. Additional regional partners which provide educational and other assistance in creating community resilience to wildfire are also listed.

Santa Clara County Fire District (SCCFD): Santa Clara County Fire Department is an all-risk fire department and provides fire suppression inclusive of structure and vegetation/wildland fire mitigation, technical rescue operations, emergency medical services (EMS), hazardous materials (HazMat) mitigation, fire prevention, community education and risk reduction services (CERRS), disaster preparedness, community emergency preparedness and service responses.

Pacific Gas & Electric (PG&E): PG&E provides electricity to the Town of Los Gatos, and controls rights-of-way necessary to maintain overhead transmission and distribution lines, many of which run through the WUI areas. The Town collaborates with PG&E to treat vegetation in the WUI along PG&E's electric transmission line right-of-way to increase power reliability and reduce ignition potential and resulting wildland fire hazard.

Santa Clara County Firesafe Council: The Town of Los Gatos supports and collaborates with the Santa Clara Firesafe Council. The Firesafe Council is a non-profit organization that provides resources to coordinate public and private landowners in Santa Clara County to reduce the threat of wildfire.

Santa Clara County Parks: Periodically, the Parks Department makes use of prescribed burns to manage non-native vegetation, reduce fuel loading, promote

biodiversity and native vegetation. The Department also provides training in conducting managed burns and in wildfire fighting techniques and principles.

West Valley Cities: The West Valley cities of Monte Sereno and Saratoga share with Los Gatos a large number of Very High Fire Severity Zones within their borders (see appendices). Because wildfire extends across community borders, an incident in one jurisdiction can be expected to spread to neighboring jurisdictions. Communication between West Valley cities and coordination of wildfire prevention strategies is therefore critical to the prevention of wildfire.

Mid-Peninsula Open Space District (Midpen): Midpen is an independent Special District that manages 26 Open Space Preserves, containing nearly 65,000 acres of public land. In Los Gatos, Midpen manages and maintains significant land holdings along the Town's southern border (see Appendix). Wildland fire prevention, preparedness, and response are all critical components of Midpen's ongoing land stewardship which is largely accomplished through the management of vegetation within its preserves in order to reduce the risk and severity of wildfire, with a focus on ecological health and wildland fire resilience.

County Roads, Valley Water, and CalTrans: These regional governmental partners each have properties and rights-of-way within and/or adjacent to the Town of Los Gatos. These agencies must meet a shared specification for roadside fuel reduction and support safety in general.

San Jose Water Company (SJW): San Jose Water is an investor-owned public utility, and is one of the largest urban water systems in the United States, serving over 1 million people in the greater San Jose metropolitan area. It maintains critical infrastructure in Town essential to fire suppression and manages watershed lands near Los Gatos.

GOAL:

Ensure all regional partners are implementing consistent land management practices to reduce wildfire risk on their properties and right-of ways.

ACTION ITEMS	PRIORITY TIMEFRAME
Work with neighboring cities of Monte Sereno and Saratoga to coordinate mitigation efforts and jointly advocate for the continuation and increased vegetation management among Town partners.	Priority 1 – within 2 years
Ensure timely communications between the Town and these entities regarding activities that may affect another partner's land management.	Priority 1 – within 2 years

Explore regional projects outlined in CWPP for possible grant funding.	Priority 2 – within 3 to 5 years
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METRICS
<ul style="list-style-type: none"> • Number of coordination meetings per year • \$ amount of grants issued/received • Number of veg mgt miles performed by partner organizations per year

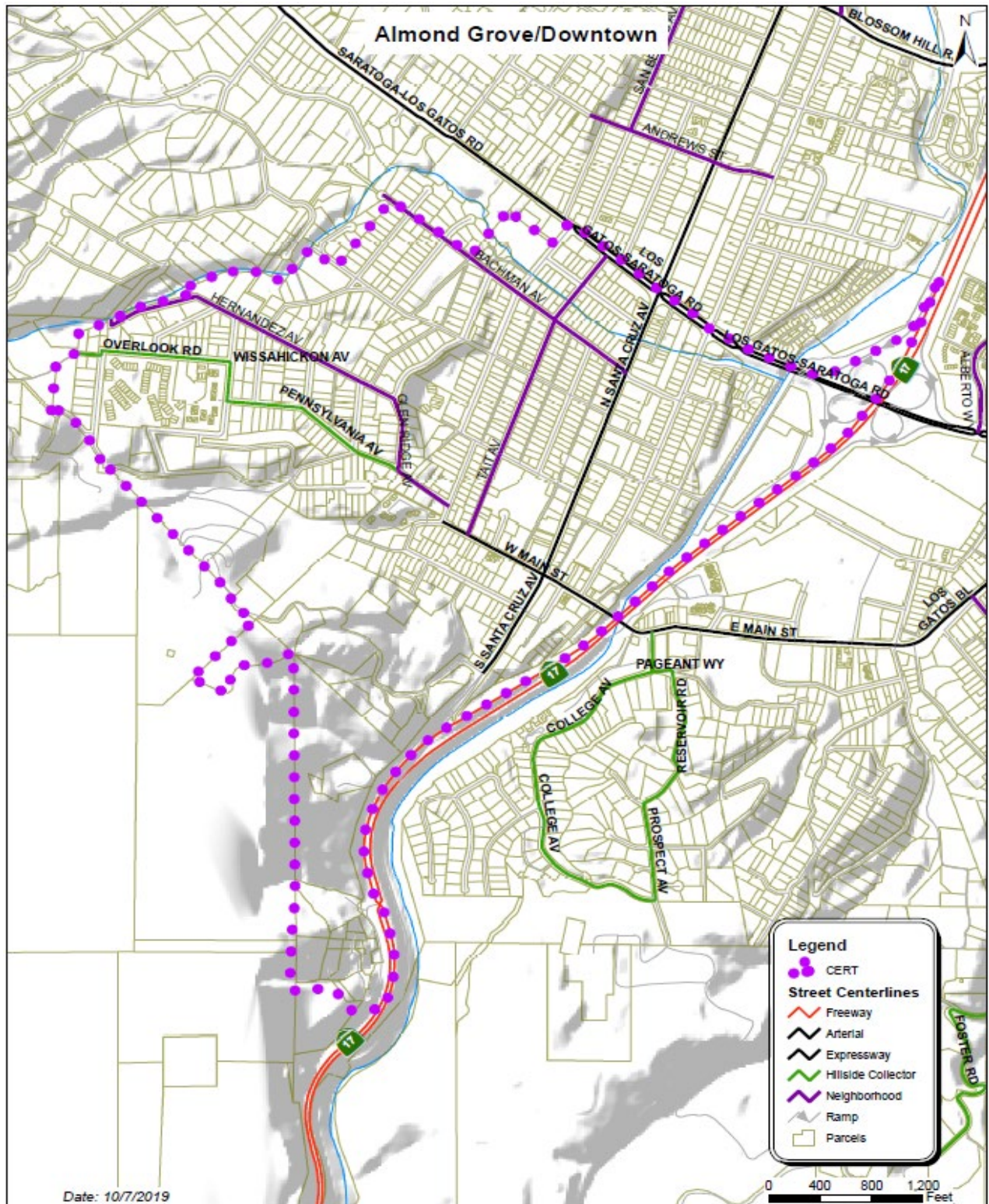
Additional Action Items

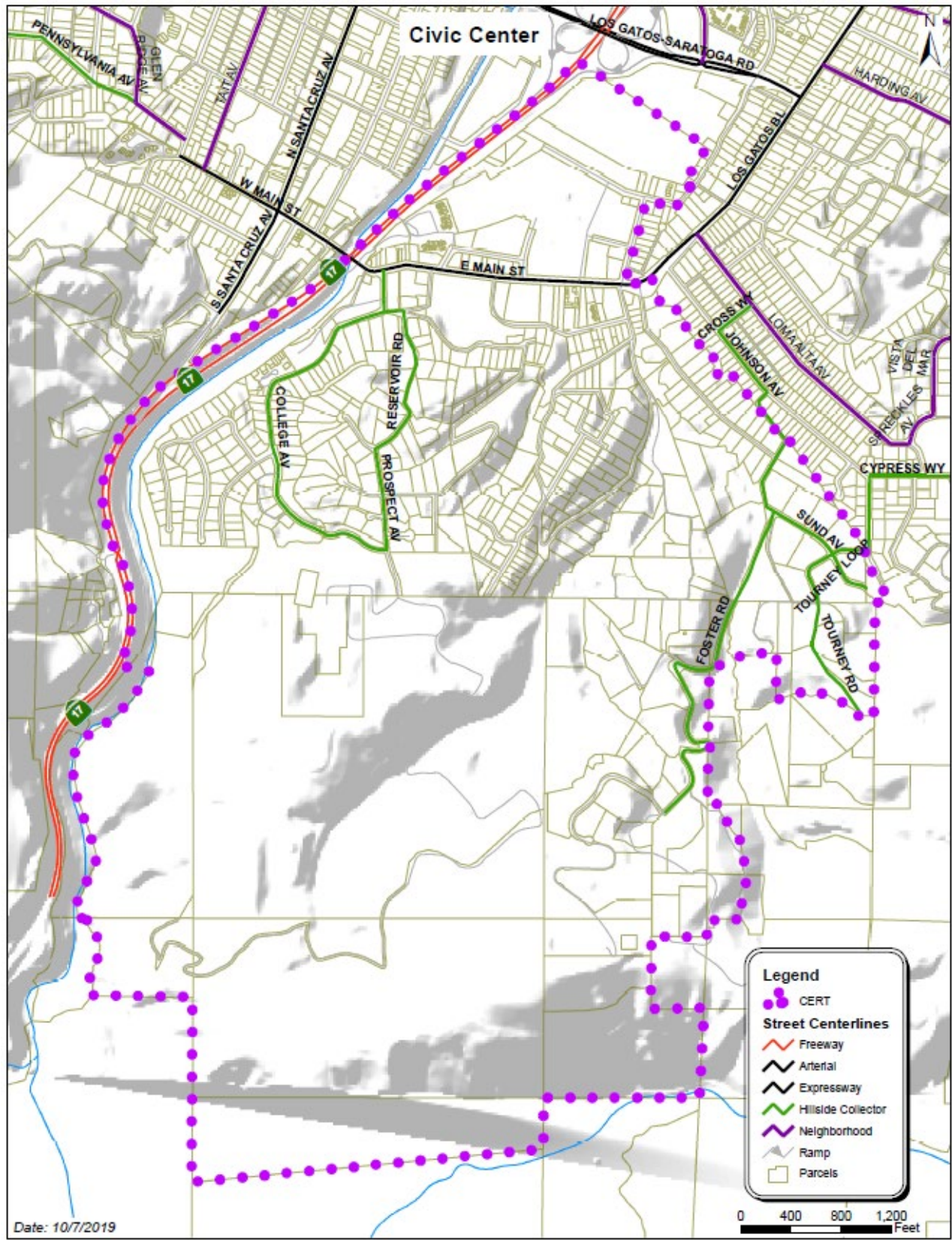
ACTION ITEMS	Priority Timeframe
Homeowners Insurance Availability <ul style="list-style-type: none"> • Advocate for legislative efforts toward the continuation of homeowner's insurance in the WUI. • Pursue Firewise Community status for WUI hillside neighborhoods to satisfy homeowners Insurance requirements. 	Priority 1 – within 2 years Priority 1 – within 2 years
Address areas within the hillside that do not have public fire hydrant systems.	Priority 2 – within 3 to 5 years
Explore additional funding sources <ul style="list-style-type: none"> • Parcel Tax • Assessment Districts 	Priority 2 – within 3 to 5 years Priority 2 – within 3 to 5 years

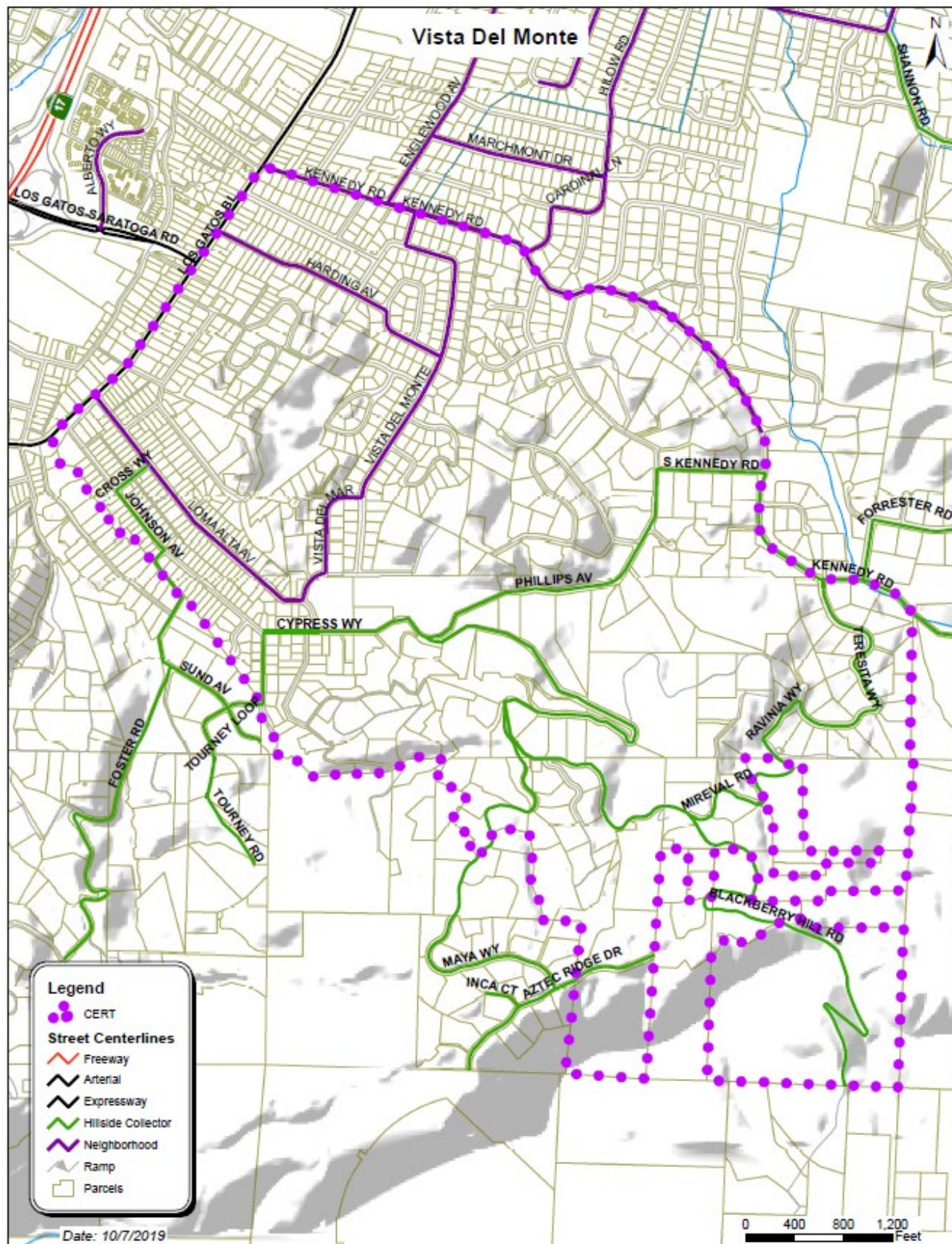
APPENDICES

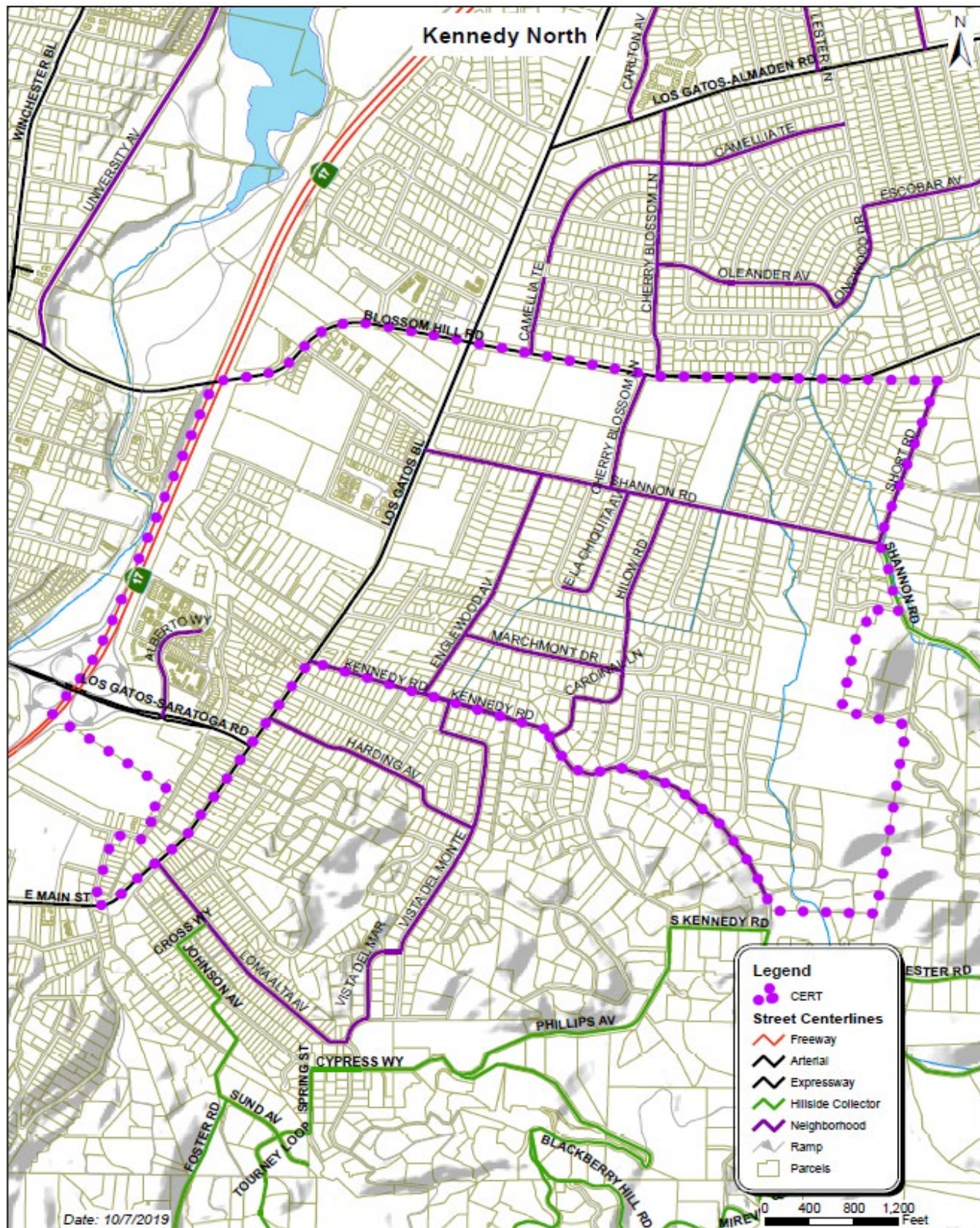
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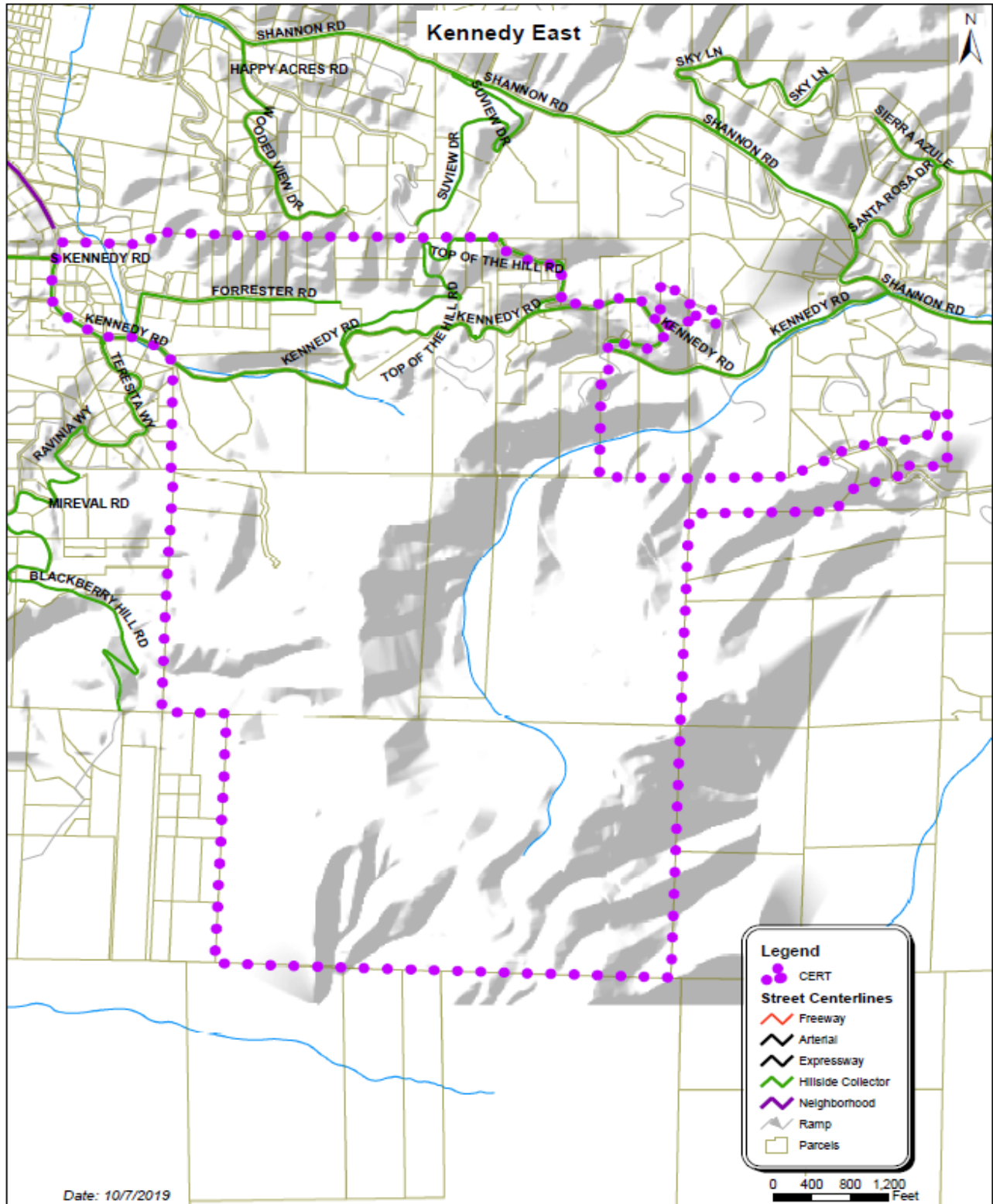


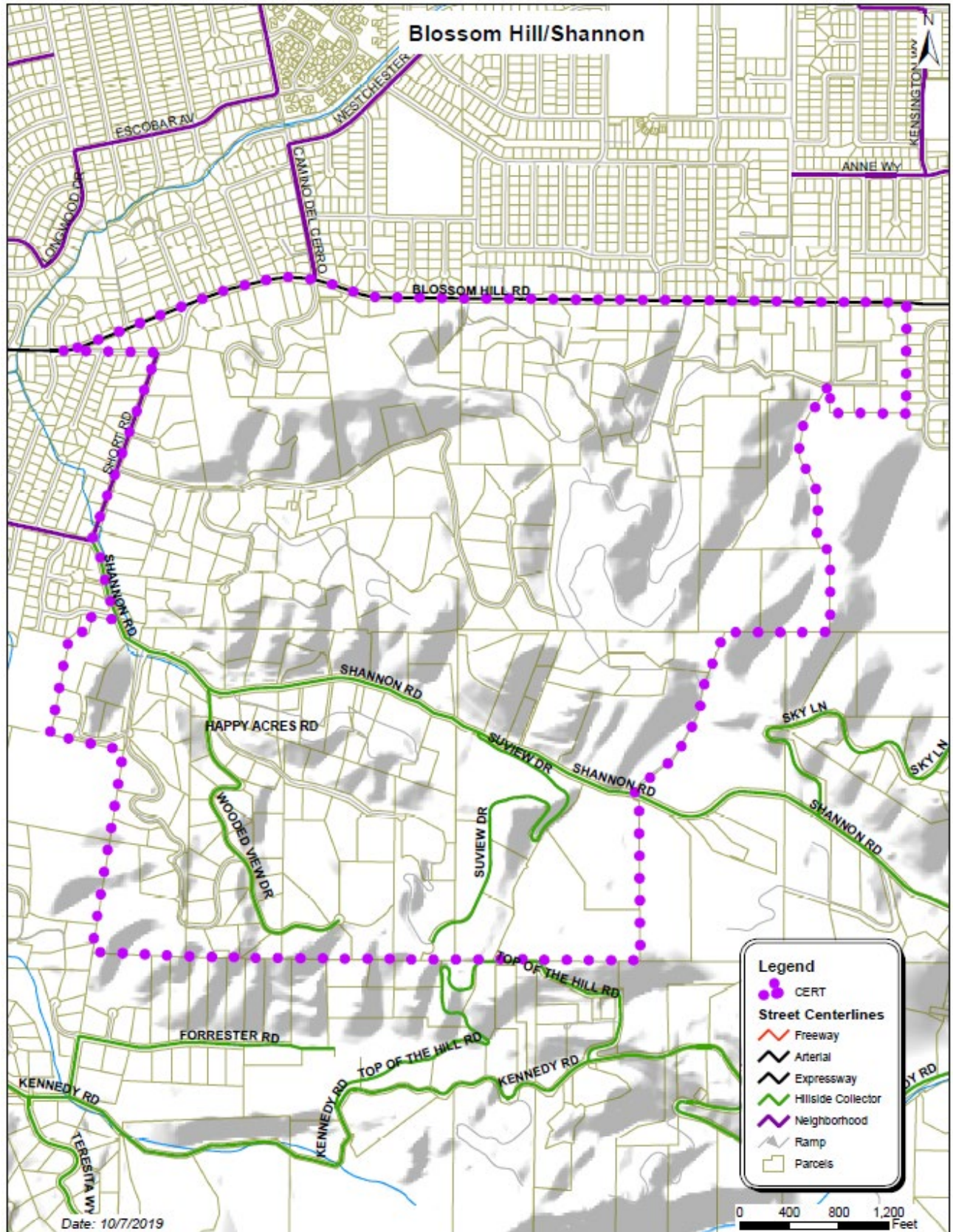


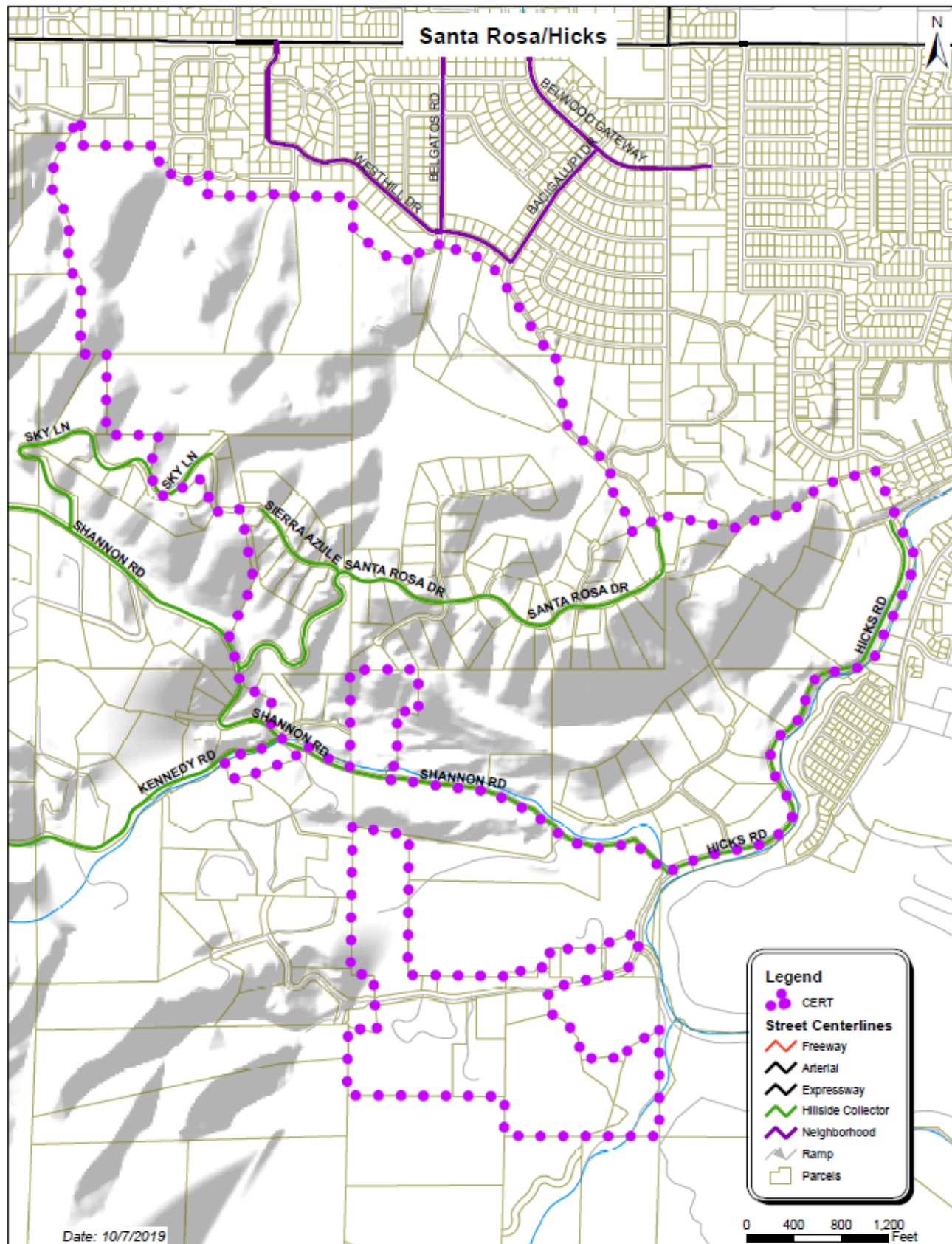




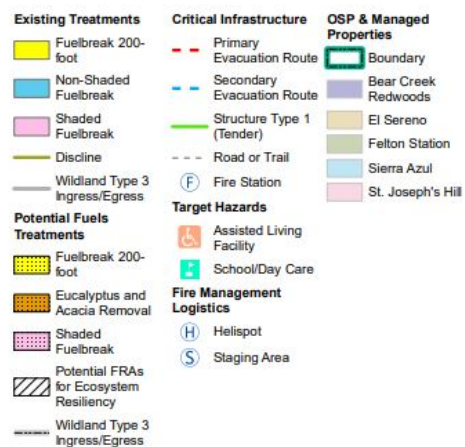




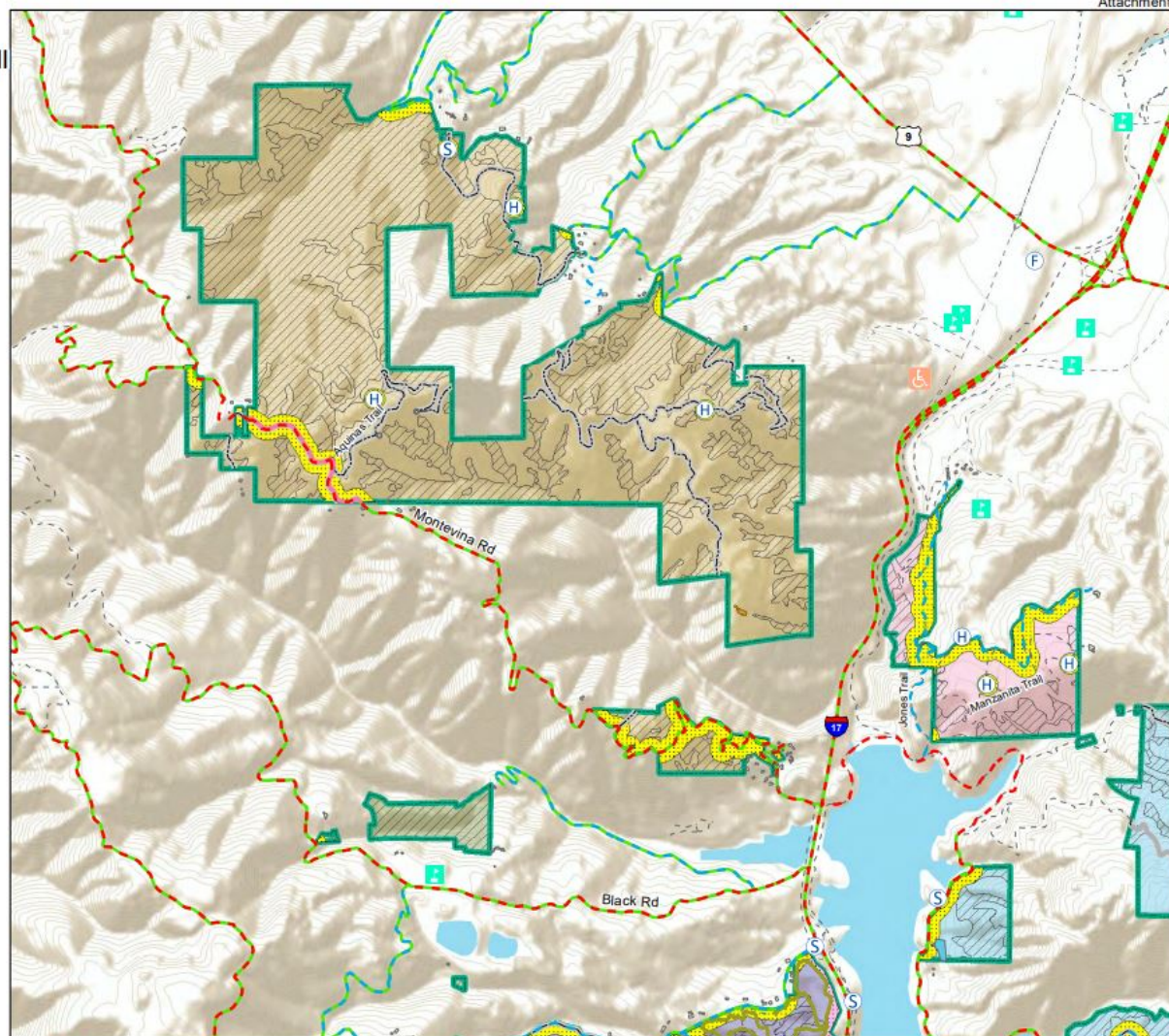




Existing and Potential Treatments El Sereno/Felton Station/St. Joseph's Hill



* See Table of Contents page for additional symbology.
 ** Fuel break widths are maximums. Fuelbreaks may be constructed at any width up to the maximum width.



Existing and Potential Treatments Sierra Azul (1 of 5)

- Existing Treatments**

 - Defensible Space 100-foot
 - Fuelbreak 200-foot
 - Non-Shaded Fuelbreak
 - Shaded Fuelbreak
 - Discline
 - Wildland Type 3 Ingress/Egress
- Potential Fuels Treatments**

 - Fuelbreak 200-foot
 - Eucalyptus and Acacia Removal
 - Shaded Fuelbreak
 - Potential FRAs for Ecosystem Resiliency
 - Wildland Type 3 Ingress/Egress
- Critical Infrastructure**

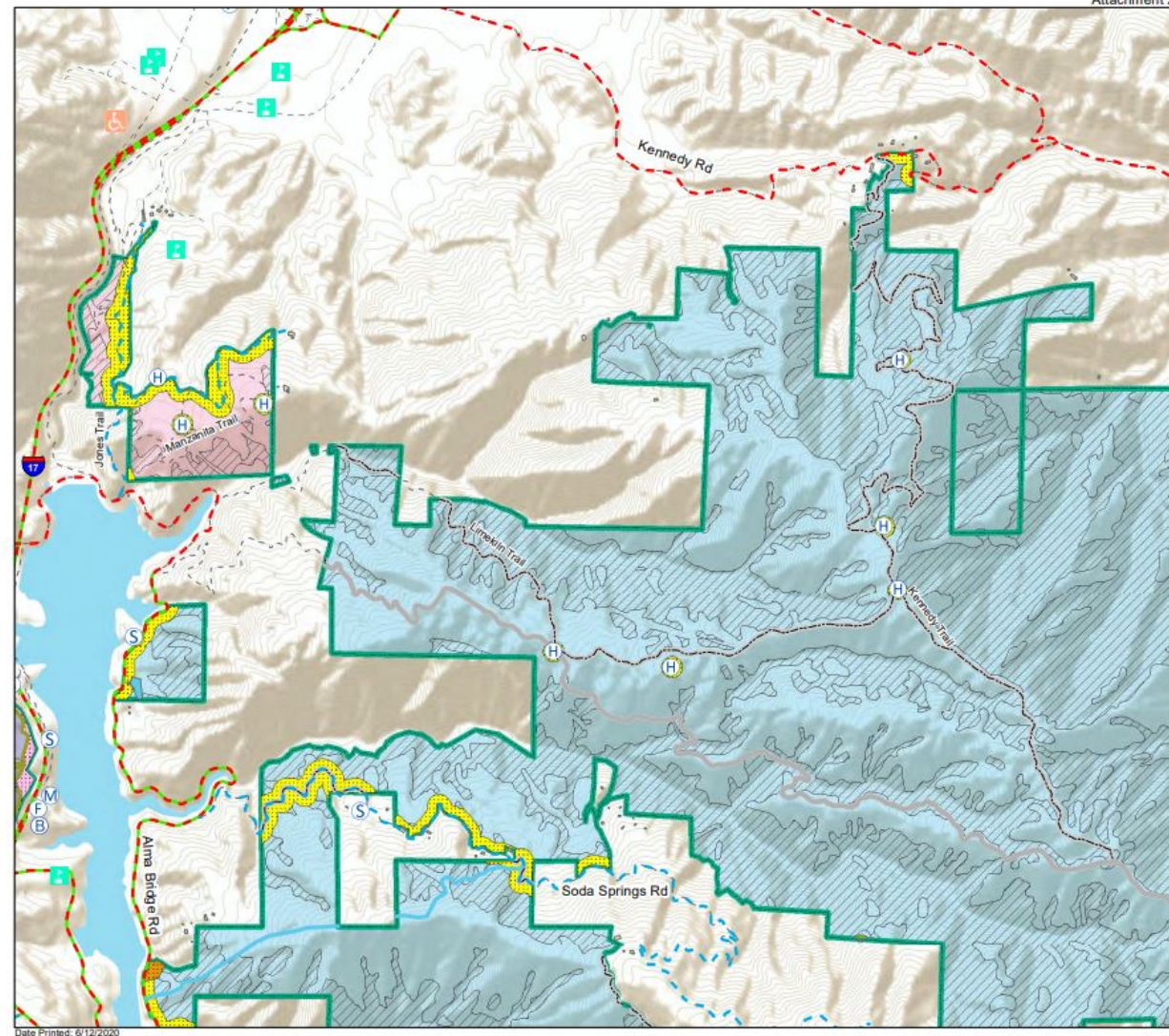
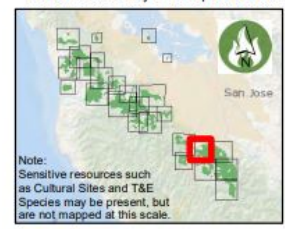
 - Primary Evacuation Route
 - Secondary Evacuation Route
 - Structure Type 1 (Tender)
 - Road or Trail
 - Fire Station
 - Incident Command Post
 - Medivac Site
- OSP & Managed Properties**

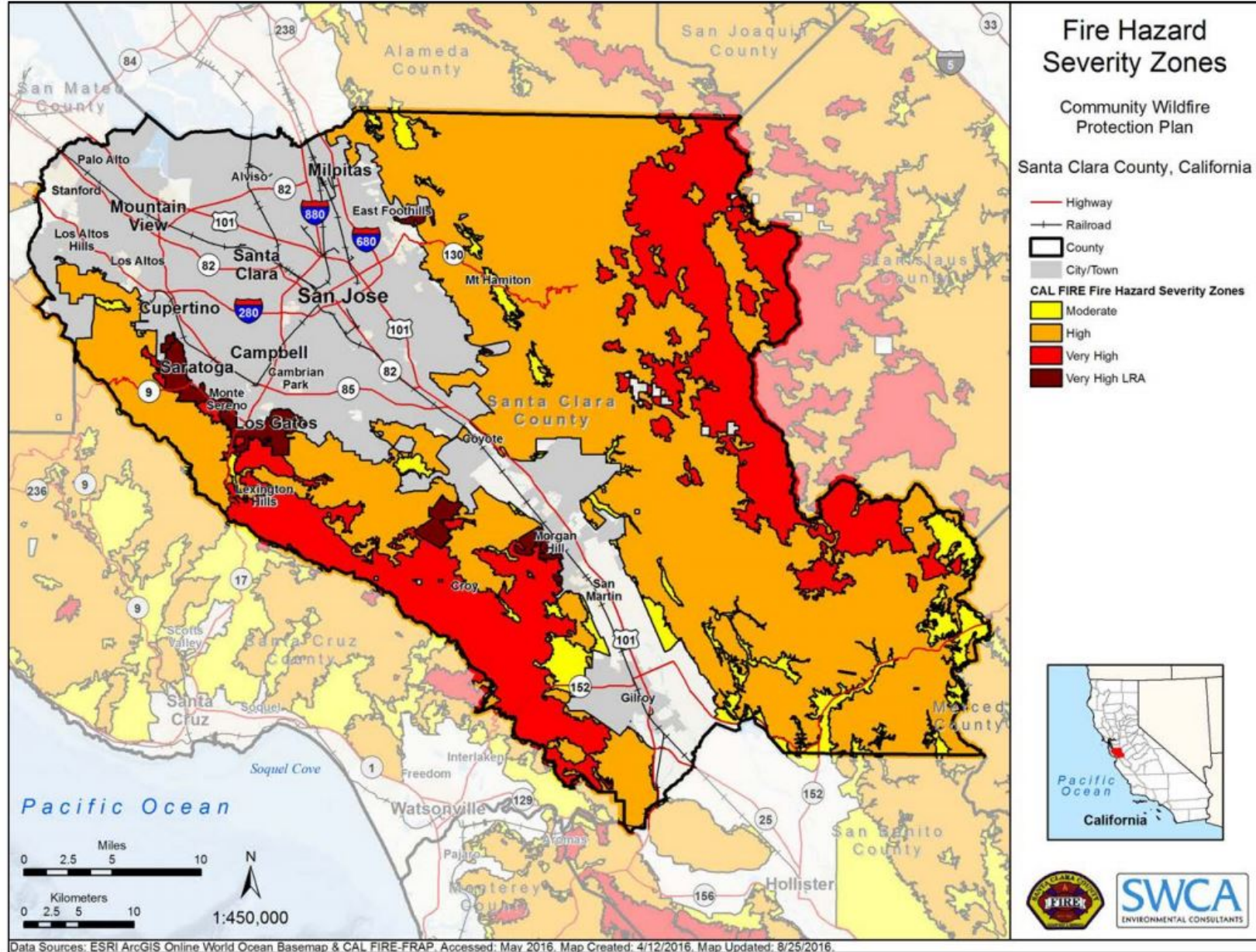
 - Boundary
 - Bear Creek Redwoods
 - Sierra Azul
 - St. Joseph's Hill
- Target Hazards**

 - Assisted Living Facility
 - School/Day Care
- Fire Management Logistics**

 - Helispot
 - Staging Area

* See Table of Contents page for additional symbology.
** Fuel break widths are maximums. Fuelbreaks may be constructed at any width up to the maximum width.





DRAFT

A firefighter in silhouette is shown fighting a large wildfire. The firefighter is wearing a helmet and a mask, and is holding a hose. The background is a bright orange and yellow fire.

AHEAD OF THE FIRE

Where will the West's next deadly wildfire strike? The risks are everywhere

Of small communities across 11 states, more than 500 have a higher wildfire hazard potential than Paradise, Calif.

Pamela Ren Larson, and Dennis Wagner, Arizona Republic

Updated 8:11 p.m. PDT July 28, 2019

<https://www.azcentral.com/in-depth/news/local/arizona-wildfires/2019/07/22/wildfire-risks-more-than-500-spots-have-greater-hazard-than-paradise/1434502001/>

From: Michelle Waters Art
Sent: Wednesday, March 16, 2022 5:27 PM
To: Jennifer Armer
Cc: Council
Subject: Plant-based education program

Dear Ms. Armer,

I'm a resident of Los Gatos, and am writing to ask the town to add a plant-based education program to Section 8 Environmental and Sustainability section of the town's General Plan.

I think it's quite important for the public to understand the great environmental benefits of foregoing meat, dairy and eggs in favor of a plant-based diet, as much as possible. Animal agriculture is one of the largest contributors of greenhouse gas emissions, as well as the number one user of freshwater in California, with 47% of freshwater in the state used by the meat, dairy and egg industries. With our state in a climate-induced drought, one crucial step we can all take to help our water situation is to eat a plant-based diet, but most people are unaware of this as there hasn't been much education on these issues.

Thank you for your time, and for considering my request.

Best regards,

Michelle Waters

Animal and Environmental Artist

From: Debbie Parsons
Sent: Wednesday, March 16, 2022 11:52 PM
To: Jennifer Armer
Subject: Plant - based education

Dear Town Council,

Thank you for your service to our beautiful town. I have lived in Los Gatos for 24 years.

I would like to see a Plant-Based Education program included in the Environmental section of the Town's 2040 General Plan in the Environmental section.

I grew up eating a meat-heavy diet like most Americans. However, when I learned about the health and environmental benefits of a plant-based diet I drastically shifted my eating patterns and I am now mostly plant-based. I know that a lot of people are not yet aware of the advantages such a diet can provide. A town-sponsored program to educate residents about the powerful health and environmental benefits of a plant-based diet would be a very valuable and cost-effective step for the Town.

Sincerely,

James Parsons

From: Mendoza, Clarissa
Sent: Tuesday, March 22, 2022 3:19 PM
To: Planning Comment
Cc: Francois, Matthew; Rob Rennie; Maria Ristow; Mary Badame; Matthew Hudes; Marico Sayoc; Laurel Prevetti; Joel Paulson; Robert Schultz
Subject: Comments Regarding Proposed 2040 General Plan

Dear Chair Hanssen and Members of the Planning Commission:

Attached please find written correspondence from Mr. Francois on behalf of Los Gatos Community Alliance, in regards to the above-referenced matter.

Best,

Clarissa Mendoza
Legal Secretary

455 Market Street, Suite 1870 | San Francisco, CA 94105
O. (650) 263-7900 | D. (650) 320-1500 x7725

CMendoza@rutan.com | www.rutan.com



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March 22, 2022

VIA E-MAIL [PlanningComment@losgatosca.gov]

Honorable Melanie Hanssen, Chair
and Members of the Planning Commission
Town of Los Gatos
110 E. Main St.
Los Gatos, CA 95030

Re: Comments Regarding Proposed 2040 General Plan

Dear Chair Hanssen and Members of the Planning Commission:

We write on behalf of the Los Gatos Community Alliance (“LGCA”), a group of concerned citizens, in regard to the Proposed 2040 General Plan (the “Proposed Plan”).¹ In previous correspondence to the Town of Los Gatos (the “Town”), LGCA expressed its significant concerns with the Proposed Plan’s major upzoning of every residential and commercial land use district in the Town, potentially resulting in up to 75,000 new housing units and 45 million square feet of new commercial development.² We pointed out how such intensification violated the California Environmental Quality Act (“CEQA”) as it was not studied in the environmental impact report (“EIR”) prepared by the Town for the Proposed Plan. We also explained that such intensification was entirely unnecessary to accommodate the 1,993 additional housing units needed per the Town’s Regional Housing Needs Allocation (“RHNA”).

By January 2023, the Town Council must adopt a Housing Element which includes an inventory of sites suitable and available for residential development to meet the Town’s RHNA. Given the pending statutory deadline and in light of LGCA’s substantial concerns with the Proposed Plan, the Town should focus first on updating its Housing Element. The housing sites inventory will provide critical information to determine what area(s) of the Town, if any, need to be re-designated in the General Plan to meet the RHNA. Updating the General Plan prior to and apart from updating the Housing Element is tantamount to putting the cart before the horse.

¹ Members and/or supporters of LGCA include: former Mayor Joanne Benjamin, former Mayor Sandy Decker, former Mayor Tom Ferrito, former Mayor Steve Rice, former Mayor Barbara Spector, former County Superintendent of Schools Colleen Wilcox, Tim Lundell, Phil Koen, Don Livinghouse, Sandra Livinghouse, Lee Fagot, Ann Ravel, Rob Stump, Rick Van Hoesen, and Jak Vannada.

² See September 13, 2021 and January 5, 2022 letters from Matthew Francois to Jennifer Armer.

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1. Background.

In terms of background, the current 2020 General Plan planned for 1,600 additional units to be constructed between 2009 and 2020. The majority of these units—some 1,423 units—were projected to be developed on the Housing Element opportunity sites and the North Forty Specific Plan area. We understand that of the 1,600 additional units projected, only approximately 500 have been built thus far. This leaves capacity for approximately 1,100 additional units with no changes whatsoever to existing residential densities.

When the Town began the process of updating the 2020 General Plan, Staff acknowledged that “the existing General Plan is serving the community well,” and that the Proposed Plan “provides the opportunity to refine the General Plan, address emerging trends and recent State laws, and consider new issues.” (Staff Report to the Town Council, November 17, 2020, p. 5; *see also* General Plan Update, September 2019 [further noting that the General Plan update effort was “intended to be a fine-tuning of the existing General Plan, rather than a comprehensive overhaul of the document.”].)

A December 2019 Land Use Alternatives Report prepared by Town Staff presented four growth alternatives (labeled A-D) with net new housing ranging from 1,156 to 3,176 units.³ At its April 7, 2020 meeting, the Town Council approved Land Use Alternative C. That alternative called for 2,303 additional housing units. At the November 17, 2020 Town Council meeting, Councilmembers indicated that new housing should be focused in Community Place Districts without increasing the allowed densities in Low Density Residential areas or changing the Downtown/Central Business District.

The Draft EIR (“DEIR”) for the Proposed Plan states that one of the Proposed Plan’s “central objectives” is to achieve the RHNA figure assigned to the Town. (DEIR, pp. 2-7, 6-1.) The RHNA figure assigned to the Town is 1,993 units. Yet, the DEIR then proceeds to analyze 3,738 dwelling units—nearly double the assumed RHNA figure. In reality, the Proposed Plan, with its increased densities across almost all land use designations, could enable development of tens of thousands of new housing units. This growth was not acknowledged let alone factored into the DEIR, as legally required.

In its December 2, 2021 report to the Town Council on the Proposed Plan, Staff noted that the Planning Commission had the authority to recommend a lower housing number than that studied and assumed in the DEIR, with commensurate changes to the Proposed Plan. Staff also indicated that the report to the Planning Commission would include an option for approximately 2,000 units with associated modifications needed to the Proposed Plan to achieve this lower housing capacity.

³ The Land Use Alternatives report also identified the range of likely market demand for new housing between 2020 and 2040 to be approximately 1,500-2,000 dwelling units.

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In December 2021, the Association of Bay Area Governments (“ABAG”) approved its final RHNA Plan for Bay Area cities. Under that Plan, the Town will need to identify housing sites for 1,993 units. As is typical, the Town’s allocation is separated into four income categories: Very Low: 537 units, Low: 310 units, Moderate: 320 units, and Above Moderate: 826 units. ABAG’s RHNA Plan was approved by the State Department of Housing & Community Development (“HCD”) on January 12, 2022.

2. The Town Should Focus First On Updating Its Housing Element, Which Will Guide And Shape Any Other Updates To The General Plan.

Unlike the General Plan update, the Town is under a statutory deadline to submit the updated Housing Element to HCD by January 2023. On June 15, 2021, the Town Council retained EMC Planning Group to prepare the Housing Element update. In its Scope of Services, EMC states that it will rely on the Town Council’s Preferred Land Use Alternative C, which proposes residential development of 2,303 additional units to be located primarily in Community Place Districts.

By law, the Housing Element update must include an inventory of land suitable and available for residential development to meet the Town’s regional housing need by income level. (Gov. Code §§ 65583, 65583.2.) “Suitable” means the parcel is zoned appropriately for residential development and has available infrastructure and is not environmentally constrained. (*Id.*) “Available” means that the site has a likelihood for development during the Housing Element planning period. (*Id.*) If the housing sites inventory demonstrates that there are insufficient sites to accommodate the housing allocation for each income category, the inventory must identify potential sites for rezoning and a program to effectuate such rezoning early in the 2023-2031 planning period. Per the schedule included in its Scope of Services, EMC stated that the housing sites inventory would be completed by Winter 2021-2022.

The Town must update the Housing Element by January 31, 2023 and submit it to HCD for certification. If the Town does not secure HCD certification of its Housing Element within that required timeframe, it could become ineligible for state and regional funding programs, be placed on an accelerated Housing Element cycle, and/or face legal challenges. (Gov. Code §§ 65585, 65588, and 65889.11.)

The Town’s website devoted to the Housing Element update refers simply to the formation of the Housing Element Advisory Board, with no documents, information on meetings, or updates concerning a critical statutory deadline that is less than 12 months away.⁴ Other Bay Area cities have been laser-focused on updating their Housing Elements. For instance, since May 2021, the City of Palo Alto held over a dozen meetings on its Housing Element update, and the Palo Alto City Council recently provided feedback on the housing sites inventory.

⁴ <https://www.losgatosca.gov/2711/Housing-Element-Advisory-Board>

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The Town should follow both common sense and the lead of other cities and focus now on updating its Housing Element. Doing so will guide and provide critical information for the Proposed Plan. Updating the General Plan prior to and apart from updating the Housing Element is tantamount to putting the cart before the horse.

3. When Resumed, the Proposed Plan Should Be Modified to Reflect the Housing Element Update and Other Changes.

Once the Housing Element update has been adopted by the Town Council and certified by the State, the Proposed Plan should be updated to reflect it. Other recommended changes to the Proposed Plan are detailed below.

A. Restore Existing Low Density Residential Development Standards.

For lands designated Low Density Residential, the current General Plan allows for single-family development at densities of up to 5 units per acre. The Proposed Plan would more than double the permitted densities, allowing for development of up to 12 units per acre. No change in land use designation or densities should be made to the Low Density Residential land use category.

First, no such changes are needed to meet the Town's RHNA figure. Higher density development is already provided for in other areas, such as Community Place Districts. Further, the densities proposed in Low Density Residential areas (up to 12 units per acre) would not count toward the Town's fair share of affordable housing. (Gov. Code § 65583.2(c)(3)(B) [requiring densities of at least 20 units per acre to be deemed appropriate to accommodate housing for lower income households].)

Second, state law has already added density to low density residential areas. Senate Bill 9, which took effect on January 1, 2022, allows for up to four units per single family residential lot. The Town has enacted an urgency ordinance to implement Senate Bill 9. Adding further density to single-family neighborhoods would not be appropriate as such areas are generally not in close proximity to public transit, employment, or commercial services. Local upzoning on top of state upzoning would also be contrary to policies in the Proposed Plan that emphasize maintaining and enhancing a sense of place in residential neighborhoods and requiring new construction to be compatible with existing neighborhoods. (*See, e.g.*, Proposed Plan, Goals LU-5 and LU-17 and Policies LU-2.1, LU-4.1, and LU-5.8.)

Third, given the relatively high land costs, much higher development densities are required to achieve the unit development economics to incentivize the production of duplexes and triplexes. The desired development would not likely ever materialize given the high land cost. The resulting housing would instead likely consist of denser, single-family detached housing that is market rate and not affordable.

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B. Add Low-Medium Density Residential in Appropriate Locations.

The Proposed Plan contains policies that encourage development of “missing middle” housing. (*Cf.* Proposed Plan, Policies LU-1.2, LU-3.5, and LU-5.1; *see also* Proposed Plan, pp. 3-5 to 3-6.) The Proposed Plan describes missing middle housing as “multiple units on a single parcel (whether attached or detached) that are compatible in scale and form with detached single-family homes.” (Proposed Plan, p. 3-3.) The plan goes on to state that common missing middle housing types include, among others, duplexes, triplexes, and townhomes. (*Id.*)

To encourage the development of this type of housing, the Town should establish a new Low-Medium Density Residential land use category that allows for the development of duplexes and triplexes at a density range of between 6 and 13 dwelling units per acre. The City of Campbell has a similar land use designation in its General Plan, which it describes as consisting generally of duplexes, small apartment buildings, and small lot, single-family detached homes. This new land use designation would be between Low Density Residential, designed for single-family residential development, and Medium Density Residential, designed for multiple-family residential development. Staff could identify appropriate sites in Community Place Districts for this new land use designation.

C. Amend Permitted Intensities Allowed in Central Business District.

As currently written, the Proposed Plan would change the permitted floor area ratio (“FAR”) in the Central Business District (“CBD”) from 0.6 to 2.0 and allow for residential densities of 20-30 units per acre. This change would increase allowed intensities in Los Gatos’s unique and charming Downtown by over 200 percent. Such a change would conflict with policies emphasizing the small-scale retail development envisioned in the CBD district that is consistent with the Town’s identity, character, and style. (*Cf.* Proposed Plan, Policies LU-8.2, LU-8.3, LU-9.1, and LU-9.4.) Such high density development could threaten the commercial viability of the Downtown area.

The City of Campbell limits FAR in its Central Commercial (“CC”) district to 1.25. Similar to Los Gatos’s CBD district, Campbell’s CC district is intended to promote retail commercial uses on the ground floor with office or other uses on upper floors. The Town should likewise limit FAR in the CBD to 1.25.

D. Make Other Changes As Needed to Accommodate The Town’s Assigned RHNA.

In addition to the above changes, the Town should modify land use designations and densities so that build-out under the Proposed Plan would accommodate no more than approximately 2,300 units. This figure reflects the Town’s RHNA of 1,993 units, plus a 15 percent buffer. It also reflects the economic demand and the City Council’s preferred land use alternative. By proceeding with

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this reasonable growth figure, the Town could ensure that development is phased and does not outpace necessary infrastructure and service improvements.

The current Proposed Plan allows for the development potential of nearly 75,000 housing units at maximum allowable densities. There is no need to maximize densities in each and every residential and commercial land use category to achieve the Town's RHNA and doing so would fundamentally change the nature and character of the entire Town. This underscores why the Housing Element update and its critical housing sites inventory should precede any further work on the Proposed Plan.

We respectfully ask the Town to focus first on the Housing Element update prior to considering the Proposed Plan or any other General Plan update. The Housing Element update will provide critical information on what area(s), if any, need to be re-designated in the General Plan to accommodate the Town's projected housing growth. Once the Housing Element update has been finalized, the Proposed Plan should be revised to reflect it as well as the other recommended changes detailed above.

Thank you for your consideration of LGCA's views on these important matters. Please do not hesitate to contact the undersigned with any questions concerning this correspondence.

Very truly yours,

RUTAN & TUCKER, LLP



Matthew D. Francois

cc (via e-mail):

Honorable Rob Rennie, Mayor, and Members of the Town Council
Laurel Prevetti, Town Manager
Joel Paulson, Community Development Director
Robert Schultz, Town Attorney

From: Sonny Stearns
Sent: Tuesday, March 22, 2022 4:58 PM
To: GP2040
Subject: Housing!

Sent from my iPad. This whole WOKE, PC nonsense is sickening. Build the least amount of houses. People moved to Los Gatos to be in housing that IS NOT DENSE. Look at the mess you allowed on the Yuki property across from Lark Ave Carwash. It looks like a giant scoop of Daily City was plopped into Los Gatos—— what an eyesore, non- Los Gatos abomination! Town Council discussed this issue for years ,and, left us with this !!?!?! Also , Town Council, thanks for destroying traffic flow on Blossom Hill Road, Winchester , Los Gatos Blvd. if you are going to jam in houses we don't want, can't you see they will be ,for the most part in cars, not bikes! The town should fight for Los Gatos residents, and fight against the state mandates, but, you won't! Fellow Stearns, DDS

From: Mike Verga
Sent: Tuesday, March 22, 2022 7:36 PM
To: GP2040
Subject: Housing

I absolutely do not believe in "low income housing". You can buy a house in Akron Ohio for less than 100K

What right does anybody have to living in one of the most desirable places on the planet if you can't afford it??? Move!

We are ruining the make up of Los Gatos with absolutely no infrastructure to support (new roads, public transport etc...)the increase in population. Just more housing, more housing.

Traffic thru town on a warm day, even during the week now is an absolute nightmare, yet we are going to pack in more people. It is absolute insanity!

I am being taxed to death in California with ZERO improvement to my standard of living. The roads here are embarrassing, homeless (they are actually drug addicts and mentally ill, read San Fransicko if you want to know the truth) everywhere, and now we are going to pack even more into the area? Insane!!

Air quality, traffic, water and safety will obviously be negatively affected by more housing, yet here we are trying to push thru more housing while I can only water my lawn twice a week. Insanity is winning.

Mike Verga
LG

From: Joseph Gemignani
Sent: Wednesday, March 23, 2022 4:56 PM
To: GP2040
Subject: Housing

Hi, I prefer the least amount of housing as possible. I guess that means 1993 units.
I would like to see traditional architecture such as Mediterranean or Craftsman. Anyway s pitched roof.
Not modern, boxy buildings.

Maybe areas of Los Gatos boulevard and/ or Winchester area.

Thanks,

Joseph (amateur weatherman)

From: Varily Isaacs
Sent: Monday, March 28, 2022 4:51 PM
To: Jennifer Armer
Cc: Council
Subject: Please add Plant-based Education Program to General Plan

My name is Varily Isaacs and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

The world's leading climate scientists agree that we have very few years to mitigate greenhouse gas emissions before we experience catastrophic consequences, and animal agriculture is responsible for much of those climate-warming emissions. Shifting to a more plant-based food system is our best chance to curb global warming and address the other impacts of factory farming: pollution of our air, land and water, species extinction, deforestation, ocean depletion and dead zones, and more.

Varily Isaacs
Los Gatos, CA 95032

From: John Parsons
Sent: Monday, March 28, 2022 8:51 PM
To: Jennifer Armer
Subject: Plant Based Education

Dear Jennifer,

My name is John Parsons. I am a Junior at San Jose State and a Los Gatos resident. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thank you for your time and consideration.

Regards,

John Parsons

From: Cynthia K
Sent: Tuesday, March 29, 2022 8:59 AM
To: Jennifer Armer
Cc: Council
Subject: General Plan request

Hello,

My name is Cyndi and I live in Los Gatos. I am writing to ask that we include a plant-based education program in Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Appreciate your time.

Best,

Cyndi

From: Kristine Goldberg
Sent: Tuesday, March 29, 2022 2:17 PM
To: Jennifer Armer
Cc: Council
Subject: Plant Based Education

Hi Jennifer,

My name is Kristine Goldberg and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thank you,

Kristine

From: Bhanik Shah
Sent: Tuesday, March 29, 2022 6:35 PM
To: Jennifer Armer
Cc: Council
Subject: Vegan food options in Los Gatos restaurants

Hello Jennifer / Council of Los Gatos

My name is Bhanik Shah and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thanks
Bhanik

From: Karen Aidi
Sent: Wednesday, March 30, 2022 12:48 PM
To: Jennifer Armer
Cc: Council
Subject: Plant-based Education component

Hi Jennifer,

My name is Karen Aidi and I've talked to you before at the Los Gatos Farmer's Market about the Los Gatos 2040 General Plan. I have lived in Los Gatos since 1992.

I am writing to ask that we include a plant-based education program to the Section 8 Environmental and Sustainability in the 2040 General Plan. I think that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

In the past five years I've gone completely plant-based (no meat, dairy, or fish). As a result, I lost 40 pounds and have been able to keep the weight off as well as getting off of blood pressure medication.

Along the way, I've also learned that a plant-based diet is the best thing I can do as an individual to mitigate the effects of climate change, deforestation, habitat loss, animal extinction, and so on. But, I can't do this all on my own. And, I despair of the way we are leaving our planet for the next generations.

As you know, in our area, we are in a terrible drought, and suffering from constant wildfires. It's not enough to just refuse a glass of water at a local restaurant. It's not enough to drive an electrical car, either. We have to reduce our greenhouse gas emissions at the local level. We can do this by reducing meat consumption or going meatless.

We need to do more as a town to educate our residents on what a shift to plant-based diet can do for our environment.

Thank you for your time and consideration.

Best Regards,

Karen Aidi

From: Suzanne Meinhardt
Sent: Wednesday, March 30, 2022 3:33 PM
To: Jennifer Armer
Cc: Council
Subject: Plant Based Diet Awareness

My name is Suzanne Meinhardt and I live in the Almond Grove of Los Gatos. I am writing to ask that a plant-based education program be added to the Section 8 Environmental and Sustainability section of the General Plan.

It is important that residents of Los Gatos are aware of the huge environmental/personal benefits of a plant-based diet. Town funding of education on this topic is key to success.

Respectfully,
Suzanne Meinhardt
Los Gatos, 95030

Sent from my iPhone

From: Kevin Arroyo
Sent: Wednesday, March 30, 2022 8:20 PM
To: Jennifer Armer
Cc: Council
Subject: Plant Based Education - Draft Plan

Hello Jennifer,

My name is Kevin and I live in Los Gatos, on Anne Way. Please include a plant-based education program in Section 8 Environmental and Sustainability section of the General Plan. It's important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thank you,

Kevin Arroyo

From: Cindy Walker
Sent: Thursday, March 31, 2022 7:39 AM
To: Jennifer Armer; Council
Cc: Kevin Arroyo; Maria Ristow
Subject: Plant Based Education Program for Los Gatos

Hello:

I am working w/ Kevin Arroyo on the Los Gatos Alamden Pollinator Garden. This is such an amazing project and I have had such a great experience working w/ Kevin.

Please consider adding a Plant Based Education Program for Los Gatos – Section 8 - Environmental and Sustainability section to the Town General Plan – April 13th Meeting.

The world's leading climate scientists agree that we have very few years to mitigate greenhouse emissions before we experience catastrophic consequences, and animal agriculture is responsible for much of those climate-warming emissions. Shifting to a more plant-based food system is our best chance to curb global warming and address the other impacts of factory farming: pollution of our air, land and water, species extinction, deforestation, ocean depletion and dead zones, and more.

Thank you for all that you do to make our town the great place it is to live!

Namaste,

Cindy Walker B.A. eRYT CLC

Mindful Movement Yoga & Life Coaching
(408) 234-6430

www.mindfulmovementylc.com

From: Kathleen Willey
Sent: Thursday, March 31, 2022 7:48 AM
To: Jennifer Armer
Cc: Council
Subject: Support for Plant Based education in General Plan

Hello my name is Kathleen Willey and I have lived in Los Gatos with my family for 10 years. Around 5 1/2 years ago our family became vegan for many reasons but mainly because of the devastating impact animal agriculture has on our environment. It saddens me how few people know this and how little effort our local schools make to educate the kids on this topic. We often dine outside of Los Gatos because there are very few options here.

I am asking the Town to please include a plant based education program along with funding to section 8 Environmental and Sustainability section in the General Plan.

Climate change is here, we need to face it and do something about it. Cutting back on fossil fuels is important but even if everyone drove an electric car, if we do not address our food system we will not avoid catastrophic rising temperatures on this planet. Shifting towards a plant based diet is one of the most impactful thing an individual can do to help.

<https://www.nytimes.com/interactive/2019/04/30/dining/climate-change-food-eating-habits.html>

Please make the Town of Los Gatos a leader in the fight against climate change.

Thank you!

Kathleen Willey

From: Tara Moseley
Sent: Thursday, March 31, 2022 12:28 PM
To: Jennifer Armer
Cc: Council
Subject: Section 8 Environmental and Sustainability section of the General Plan

Hello Ms. Armer and Council Members;

I'm writing to request that you consider including a plant-based education program in Section 8 Environmental and Sustainability section of the General Plan. The world's leading climate scientists agree that we have very few years to mitigate greenhouse emissions before we experience catastrophic consequences, and animal agriculture is responsible for much of those climate-warming emissions. Shifting to a more plant-based food system is our best chance to curb global warming and address the other impacts of factory farming: pollution of our air, land and water, species extinction, deforestation, ocean depletion and dead zones, and more.

It would be wonderful if Los Gatos restaurants were required to include some plant based options on their menus, including deserts. We should be encouraging a plant based diet in our restaurant options in downtown Los Gatos. It is better for us and our planet.

Thank you for your consideration.

Best,

Tara Moseley

Los Gatos Resident 95032

From: Karla Albright
Sent: Thursday, March 31, 2022 1:12 PM
To: Council; Jennifer Armer
Subject: plant based education

To whom it may concern,

I am a proud long term resident of LG for the past 27 years. I am writing to express my support for plant based education. I understand there is the option for town support in the general plan.

I am not a vegetarian or a vegan but I admire such people and aspire to embrace their values. A plant based diet is hugely beneficial for ones personal health and the health of our plant. Education is the key to making changes. We need to make support education for the general public to help make the cultural shift that is needed to help burb global warming and its negative repercussions.

Thank you for your consideration.

Karla Albright

From:

Sent: Thursday, March 31, 2022 9:16 PM

To: Jennifer Armer; Council

Subject: To: Jennifer Armer and Town Council re General Plan

To: Jennifer Armer and Town Council

Please include a plant based education program in the Town's general plan. Anything you and the residents of Los Gatos can do to help mitigate greenhouse gases is important. The photosynthetic activity of plants sequesters CO₂. Locally grown produce in our yards and community areas helps sequester carbon dioxide and reduces the need to transport food from long distances in trucks that produce greenhouse gas.

Respectfully

Les an Susan Kishler

50 year residents and taxpayers Los Gatos

From: Ilene
Sent: Friday, April 1, 2022 10:02 AM
To: Council; Jennifer Armer
Subject: Re: support plant based education program

My name is Ilene Dickinson and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic."

I wish I was educated on Plant base diets when I was younger!

Thank you,

Ilene Dickinson

From: Smita Jain
Sent: Saturday, April 2, 2022 1:38 PM
To: Jennifer Armer; Council
Subject: Plant Based food system education program

Hi Jennifer,

I live in Los Gatos and fully support efforts to combat climate change and a more eco friendly society. Please include a plant-based education program in Section 8 Environmental and Sustainability section of the General Plan. The world's leading climate scientists agree that we have very few years to mitigate greenhouse emissions before we experience catastrophic consequences, and animal agriculture is responsible for much of those climate-warming emissions. Shifting to a more plant-based food system is our best chance to curb global warming and address the other impacts of factory farming: pollution of our air, land and water, species extinction, deforestation, ocean depletion and dead zones, and more.

Thanks,

Smita Kanungo

Los Gatos resident

From: Mythri Ramesh
Sent: Sunday, April 3, 2022 9:21 AM
To: Jennifer Armer
Subject: My support for Plant Based advocates

Hi Jennifer,

I am Mythri Ramesh and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic

Thanks,
Mythri

From: Gretchen Sand
Sent: Sunday, April 3, 2022 9:38 PM
To: Jennifer Armer
Cc: Council
Subject: Plant-Based Education on Los Gatos

Greetings Jennifer,

My name is Gretchen Sand, I live in Los Gatos. I am writing to ask that our Los Gatos town leaders include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. It is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

There are benefits to our health as well as to the environment in plant-based eating. Our long term well-being and that of our planet depends on awareness of our diet's impact on not only ourselves but our planet. Just as I would not advocate use of pesticides to eliminate unwanted pests in my garden, I need to be aware of what I purchase for feeding myself and my family and of the impact of animal products and by-products has on the atmosphere, the waterways, the soil, and my personal health.

I appreciate your support on this critical need. The well-being of generations to come depends on the actions we take today.

Thank you,

Gretchen

Gretchen Sand

From: Anna Lonyai Harbison
Sent: Monday, April 4, 2022 3:08 PM
To: Jennifer Armer; Council
Subject: Plant based education to Section 8

My name is Dr. Anna Harbison and I live in Monte Sereno. I am a pediatrician and pediatric cardiologist. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic. In addition there are enormous health benefits of incorporating more plants into our diets.

Thank you for your support,

Dr. Harbison

From: Peter Harbison
Sent: Monday, April 4, 2022 4:12 PM
To: Jennifer Armer; Council
Subject: Plant based education to Section 8

My name is Peter Harbison and I live in Monte Sereno. I work at Google & have seen the huge impact of going plant based over the past 3 years personally.

I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic. In addition there are enormous health benefits of incorporating more plants into our diets.

Thank you for your support,
Peter Harbison

From: Tony White
Sent: Monday, April 4, 2022 4:16 PM
To: Jennifer Armer; Council
Subject: Plant based foods

Dear Jennifer and planning commission members,

This is to let you know how appreciative I and many of our fellow citizens are for the steps that the town has taken to encourage the adoption of plant-based foods. I understand that the town is considering including a plant-based education program in the 2040 General plan to support the promotion of meat and dairy reduction. I would like to add my support to this proposal as an important step forward in promoting this important goal.

I have personally been involved in a program that will use technology to protect rhinos from poaching and certain extinction if the situation is not addressed. A major issue in achieving our goal as well as protecting multiple other threatened species is the encroachment of land on wilderness areas by cattle and other ranching activities. The only solution is to reduce or eliminate meat consumption and every small step helps.

We have been residents of Los Gatos for 35 years and our address is:

Sincerely,

Antony G White

From: H White
Sent: Monday, April 4, 2022 4:19 PM
To: Jennifer Armer; Council
Subject: Reduction of meat and dairy products

Dear Jennifer,

I understand that the town is considering including a plant-based education program in the 2040 General plan to support the promotion of meat and dairy reduction. I would like to add my support to this proposal as an important step forward in promoting this worthy goal.

We have been residents of Los Gatos for 35 years and our address is:

Sincerely,

Hilary B White

From: Laura Sneddon
Sent: Monday, April 4, 2022 9:53 PM
To: Jennifer Armer
Cc: Council
Subject: Adding a plant-based education program to Section 8

Dear Planning Commission,

My name is Laura Sneddon and I'm a resident of Los Gatos.

I am writing to ask that Los Gatos include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

As a vegan, I would frequent restaurants in LG more often if I knew they had vegan options on their menus. Serving vegan food is a win/win- it helps the environment and animals AND creates a business opportunity for local restaurants.

Thanks for your consideration.

best,
Laura

From: Karen Rubio
Sent: Tuesday, April 5, 2022 3:26 PM
To: Jennifer Armer; Council
Cc: Lisa Wade; Karen Rubio
Subject: Please support plant-based education in Los Gatos

Hello Jennifer, Los Gatos Town Council:

My name is Karen Rubio and I live in Los Gatos. I am a co-founder of Plant-Based Advocates.

I am writing to ask for your support to include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. We feel that it is crucial for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

The world's leading climate scientists agree that we have very few years to mitigate greenhouse has emissions before we experience catastrophic consequences, and animal agriculture is responsible for much of those climate-warming emissions. Shifting to a more plant-based food system is our best chance to curb global warming and address the other impacts of factory farming: pollution of our air, land and water, species extinction, deforestation, ocean depletion and dead zones, and more.

The number one cause of biodiversity loss is [our food system](#) that is heavily dependent on animal agriculture. Shifting to a plant-based diet [reduces food's associated greenhouse gas emissions](#) by as much as 73 percent and [cuts in half the water needed](#) to produce our food.

These are critical facts that need to be shared with our residents so they can contribute toward ensuring our planet remains livable for us and future generations!

I recently had an op-ed published in the Mercury News and East Bay Times that addresses the need for a shift to plant-based eating. In case the link doesn't work, I've also attached it.

<https://www.mercurynews.com/2022/03/31/opinion-its-time-for-californians-to-talk-about-the-cow-in-the-room/>

Finally, many thanks to you all for your hard work in guiding the planning process for our Town's future. Los Gatos is an amazing place to live, and I appreciate your work in preserving the beauty and viability of our precious Town.

Sincerely,
Karen Rubio
Plant-Based Advocates



OPINION > COMMENTARY • News

Opinion: It's time for Californians to talk about the cow in the room

Few realize that meat and dairy production devour a full 47% of the state's water



A rancher's cattle relax at the new La Honda Creek Open Space Preserve in La Honda, California, Tuesday, Nov. 28, 2017. On Friday, the MidPeninsula Regional Open Space District, which purchased the land in 2006, will open six miles of trails for hikers and horse riders through the former Driscoll Ranch, which it now calls the La Honda Creek Open Space Preserve. (Patrick Tehan/Bay Area News Group)



No one can deny that we're in the mother of all megadroughts.

The seven hottest years on record have happened in the last seven years. The U.S. Drought Monitor just reported that 93% of California, including the Bay Area, is in severe drought and 35% is in extreme drought. Last year, dangerous heat killed hundreds of people in Oregon and Washington and nearly buckled California's power grid. Federal forecasters say that this year conditions will worsen in California and the West with hotter-than-normal temperatures and little chance of rain.

Gov. Gavin Newsom is urging Californians to cut water consumption, but is reducing residential usage — taking shorter showers, pulling out lawns — really an effective solution? As it turns out, not so much. According to Pacific Institute, a leading nonprofit research and policy group based in Oakland, only 4% of California's water footprint goes to direct household water consumption.

So, where is our water going? In the midst of the turmoil over our diminishing water supply, an often-overlooked industry operates without scrutiny — consuming the lion's share of California's diminishing water, churning out massive amounts of greenhouse gas emissions and polluting our environment with impunity.

Few realize that meat and dairy production devour a full 47% of California's water, their huge water footprints due to the amount of water-intensive feed required to raise the animals. In fact, the largest water-consuming crop in California is the alfalfa grown to feed animals. The third largest? Irrigated pasture — again, for animals.

"Almonds are made out to be the villain in our drought story, but blaming excessive water use on this crop is simply not true," says Mohan Guranathan, a local environmental activist. "In fact, the water used to grow just animal feed — not including water to grow and slaughter them — uses more than double the water used to grow almonds and pistachios."

As California grapples with drought and a year-round fire season sparked by a rapidly-warming climate, the hefty costs of water usage, environmental harm



A new bill, AB-2764, sponsored by Assembly members Adrin Nazarian, D-Van Nuys, and Alex Lee, D-Milpitas, would halt construction and expansion of factory farms and slaughterhouses in California.

Why so long to take action? The meat and dairy industries typically fly under the radar, and regulations are often lax, says filmmaker Raven Deerbrook. Her recent investigation of “One World Beef” (a major Costco supplier) in Brawley and resulting short documentary, “Imperial Dust,” found numerous violations of the Humane Methods of Slaughter Act, including routine misuse of electric prods on “downed” (non-ambulatory) cows.

Meat and dairy producers habitually disregard regulations in their quest for profits. In fact, 96% of slaughterhouses in the United States are in violation of waste water regulations; the EPA has been sued for failing to enforce effluent standards.

The livestock industry produces 35-40% of all human-caused methane emissions. Because this key greenhouse gas accounts for 25% of global emissions and is 86 times more powerful than carbon dioxide at trapping heat over a 20-year period, reduction is essential. NASA has identified a large methane “hot spot” over California’s Central Valley, the second largest one in the United States.

Shifting to a plant-based diet reduces food’s associated greenhouse gas emissions by as much as 73% and cuts in half the water needed to produce our food.

We urgently need to make smart choices to ensure the habitability of our planet. So, by all means, tear out your lawn and take shorter showers. But if we really want to make an impact, we need to put plants on our plates.

Karen Rubio is a co-founder of Plant-Based Advocates, a Los Gatos group that is working to address climate change, increase human health and alleviate animal suffering by accelerating the shift to plant-based diets.

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Karen Rubio



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By KPMG



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From: Rosilene Martins
Sent: Wednesday, April 6, 2022 9:09 AM
To: Jennifer Armer; Council
Subject: Request for a Plant-Based Education Program

Dear Los Gatos Town Council Representatives:

My name is Rosilene Martins and I have been a Los Gatos resident since 1994.

I very much appreciate the health and environmental benefits of a plant-based diet, and I would like a Plant-Based Education Program added to Section 8 of the Environmental section of the General Plan.

I thank you in advance for your attention to this matter,

Rosilene Martins
Los Gatos, CA 95032

From: Georgia Hamilton
Sent: Wednesday, April 6, 2022 5:05 PM
To: Jennifer Armer
Cc: Council
Subject: Plant Based Solutions

Dear Town Council members,

I live in the Town of Los Gatos and I'm writing to ask you to please include a dedicated Plant-Based education program in the Environmental section of the 2040 General Plan.

It would be great to have programs such as cooking classes, talks, and events to teach people how to incorporate more plants into their diets. This would be healthy for people and the planet.

Thank you for your consideration!

Sincerely,
Georgia Hamilton



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 4/13/2022

ITEM NO: 3

ADDENDUM

DATE: April 11, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Review and Make Recommendations on the Draft 2040 General Plan and Final Environmental Impact Report to the Town Council.

REMARKS:

Exhibit 11 includes public comment received between 11:01 a.m., Thursday, April 7, 2022, and 11:00 a.m. on Monday, April 11, 2022.

EXHIBITS:

Exhibits previously provided (available online here: <http://losgatos2040.com/documents.html>):

1. Draft 2040 General Plan
2. Draft EIR
3. Revised NOA and Transportation section
4. Final EIR

Exhibits previously received with the April 13, 2022 Staff Report:

5. Draft Findings of Fact and Statement of Overriding Considerations
6. GPAC Recommended Changes to the Vision and Guiding Principles
7. Modifications Proposed in Public Comment
8. Board of Forestry Recommended Changes
9. Public Comments received between 11:01 a.m., Thursday, May 6, 2021, and 11:00 a.m. Monday, September 20, 2021
10. Public Comments received between 11:01 a.m., Monday, September 20, 2021, and 11:00 a.m. on Thursday, April 7, 2022

PREPARED BY: Jennifer Armer, AICP
Planning Manager

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: Draft 2040 General Plan and Final EIR

DATE: April 11, 2022

EXHIBIT (continued):

Exhibit received with this Addendum:

11. Public Comments received between 11:01 a.m., Thursday, April 7, 2022, and 11:00 a.m. on Monday, April 11, 2022

From: Levine, Joshua
Sent: Thursday, April 7, 2022 1:13 PM
To: Jennifer Armer
Cc: Council
Subject: plant based education

Dear Jennifer,

My name is Joshua Levine and I am a resident in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thank you for your consideration

Best

Josh

Joshua Levine | *Senior Vice President – Financial Advisor*

RBC Wealth Management

City National Bank NMLS ID 1594861

From: Lisa Wade
Sent: Thursday, April 7, 2022 7:43 PM
To: Jennifer Armer; Council
Subject: Fwd: Petition for Plant-Based Education in Los Gatos

Hi Jennifer,

We would like to see Plant-Based Eating Education added to section 8.12 Environmental Sustainability Element Implementation Programs. Section 8.12 has several Implementation Programs. We are requesting that you add a Plant-Based Eating Education Program to this section.

I am submitting our petition with 265 names and 11 organizations asking for a plant-based education program in the Los Gatos 2040 General Plan. We have the names of 225 residents (including community and business leaders who live in Los Gatos). In addition, we have 40 names of residents living in neighboring towns including Cambell, Monte Sereno, and Cambrian who frequent Los Gatos businesses.

We also have the support of 11 local groups, Health and Environmental NGOs including The Sierra Club Loma Prieta Chapter and the Center for Biological Diversity. We also have the support of prominent citizens both in Los Gatos and neighboring cities such as Lucas Ramirez vice mayor of Mountian View and Alison Hicks city council member in Mountian View.

In addition, we have written testimony from the Center for Biological Diversity attached below. Dashiel Leeds from the Sierra club gave verbal testimony at an earlier planning commission meeting expressing the support of the Sierra Club Loma Prieta Chapter for our initiative.

We want to thank you and the planning commission for all your hard work on the General Plan. Our petition is attached below.

Supporters of Adding Plant-Based Education to Los Gatos General Plan 2040				
Name, Last	Name, First	Position / Affiliation	Address / Town Area	Comments
Community and Business Leaders of Los Gatos				
Albright	Karla	Together We Will/Indivisible Los Gatos	Los Gatos, CA	
Arroyo	Kevin	Pinehurst Community Garden organizer	Los Gatos, CA	Great idea and I support this plan!
Brown	Elisabeth	Educator	Los Gatos, CA	I am a teacher in town. I'd love to incorporate any lessons into my curriculum. I also lead student council and would be willing to organize an assembly.
Chan	Wendy	Business owner: Tai Zhan Plant-Based Microbakery	Los Gatos, CA	
Goetz	Alicia	Owner, Los Gatos Theatre	Los Gatos, CA	
Hertan	Peter	Vice President, Los Gatos-Saratoga Union High School District Board	Los Gatos, CA	
Iyar	Rupar	Owner, Pura Wellness; philanthropist	Los Gatos, CA	
Montonye Reese	Laura	Agriculture Fairness Alliance; Vegan Justice League	Los Gatos, CA	
Moore	Rob	LG Anti-Racism Coalition; Plant-Based Advocates	Los Gatos, CA	
Owens	Heidi	Community leader	Los Gatos, CA	
Preville	Bruce	CERT Leader, Los Gatos	Los Gatos, CA	
Romano	Andrea	Owner, Centonove Restaurant	Los Gatos, CA	
Spargo	Alicia	Outreach Coordinator, Los Gatos Anti-Racism Coalition	Los Gatos, CA	
Residents of Los Gatos				
Aidi	Karen		Los Gatos, CA	
Anji	Roberto		Los Gatos, CA	
Arienzo	Wendy		Los Gatos, CA	
Arroyo	Frank		Los Gatos, CA	
Arroyo	Susie		Los Gatos, CA	
Bagatelos	Mary Ann		Los Gatos, CA	
Balijepalli	Priya		Los Gatos, CA	
Balakrishnan	Jeyendran		Los Gatos, CA	
Barden	Ben		Los Gatos, CA	
Barden	Sue		Los Gatos, CA	
Barnett	Kaitlyn		Los Gatos, CA	
Bay	Juliana		Los Gatos, CA	
Bayne	Daphne		Los Gatos, CA	
Bernholz	Malte		Los Gatos, CA	
Biller	Jason	Physician	Los Gatos, CA	
Bolen	JP		Los Gatos, CA	
Bolen	Rachel		Los Gatos, CA	
Booth	Sandra		Los Gatos, CA	
Bora	Anita		Los Gatos, CA	
Bosworth	Mary Ann		Los Gatos, CA	

Boyd	Sandy		Los Gatos, CA	
Brzak	Lukas		Los Gatos, CA	
Burkhart	Chris		Los Gatos, CA	
Bz	Linda		Los Gatos, CA	
Cao	Xuong		Los Gatos, CA	
Cappon-Javey	Maureen		Los Gatos, CA	
Carol	Amy		Los Gatos, CA	
				I support putting into the General Plan a plant based education program. There are several benefits from such a program, including potentially better general health and a healthier air quality in our community from consuming less meat, i.e., raising fewer animals that contribute to the increase of methane gas. I think this program would be very good for our community and far beyond it.
Carpio	Virginia		Los Gatos, CA	
Chavez	Vana		Los Gatos, CA	
Christensen	Beverly		Los Gatos, CA	
Christensen	John		Los Gatos, CA	
Cisneroz	Diane Larson		Los Gatos, CA	
Corini	Tamara		Los Gatos, CA	
Dai Biller	Jenny	Physician	Los Gatos, CA	
Davies	Tiffany	Physician	Los Gatos, CA	
Davies	Mark	Physician	Los Gatos, CA	
De Cesare	Anne Marie		Los Gatos, CA	
De Louraille	Karen		Los Gatos, CA	
Czinski	Laura		Los Gatos, CA	
Deak	David		Los Gatos, CA	
Dempsey	Caroline		Los Gatos, CA	
DeMaria	Dawn		Los Gatos, CA	
Dickinson	Ilene		Los Gatos, CA	
Dickinson	Roger		Los Gatos, CA	
Dillehay	Kristine		Los Gatos, CA	
Dreiger	Jeannie		Los Gatos, CA	
Dreher	Diane		Los Gatos, CA	
Erdengiz	Sevgi		Los Gatos, CA	
Evjenth	Gail		Los Gatos, CA	
Evjenth	Tim		Los Gatos, CA	
Fletcher	Lisa		Los Gatos, CA	
Fox	Audrey		Los Gatos, CA	
Fox	Larry	Owner, Valet Custom Cabients	Los Gatos, CA	
Frager	Bernadette		Los Gatos, CA	
				Pollution and waste in Factory Farms; use of land for meat production, killing of wildlife and use acres of land to support livestock; nets in the ocean killing millions of sea creatures; all contribute to climate change. Reducing meat consumption is something we all can do. Please place plant based education in the general plan. It is the right thing to so.
Freedom	Rea		Los Gatos, CA	
Garland	Lynette		Los Gatos, CA	
Gibbons	Maria Eugenia		Los Gatos, CA	

Goldberg	Kristine		Los Gatos, CA	
Goldberg	Michael		Los Gatos, CA	
Griffin	Julie		Los Gatos, CA	
Gupta	Reeta		Los Gatos, CA	
Gummow	Todd		Los Gatos, CA	I support plant based diet education programs
Hamilton	Georgia		Los Gatos, CA	
Hamilton	Scott		Los Gatos, CA	
Harrison	Julia		Los Gatos, CA	
Hassoun	Joe		Los Gatos, CA	
Haylock	Archna		Los Gatos, CA	Yes we need more options at school and at local restaurants.
Hemmis	Matt		Los Gatos, CA	
Hendry	Dan		Los Gatos, CA	
Hendry	Wendy		Los Gatos, CA	
Hinsche	Danielle		Los Gatos, CA	I am a resident of Los Gatos and I support the addition of a plant-based education program in the Town's 2040 General Plan.
Hiroshima	Kevin		Los Gatos, CA	
Hojjat	Sara	District Leader Volunteer- California Congressional District 18. Member of Plant-Based Advocates	Los Gatos, CA	
Honorio	Mia		Los Gatos, CA	
Houghton	John		Los Gatos, CA	
Howe	Chelsea		Los Gatos, CA	
Hsieh	Cynthia		Los Gatos, CA	I would love to see a vegan, zero waste restaraunt in Los Gatos.
Huang	Jenny		Los Gatos, CA	
Hussey	Jacklyn		Los Gatos, CA	Anything that will help save our planet I will definitely support!
Ingle	Lori		Los Gatos, CA	
Isaacs	Varily		Los Gatos, CA	
Iyer	Harish		Los Gatos, CA	
Javey	Shahram		Los Gatos, CA	
Jog	Chetan		Los Gatos, CA	
Johnson	Karen		Los Gatos, CA	
Johnston	Jan		Los Gatos, CA	
Juhl	Linda		Los Gatos, CA	Thank you
Kamali	Kristine		Los Gatos, CA	
Karavelioglu	Sevil		Los Gatos, CA	
Keating	Kathleen		Los Gatos, CA	I believe it is to the best interest of Los Gatos to establish a plant based education program at the high school and for the general public. I believe many of our children and others need to know that plant based eating is good for their bodies if done right. Please provide funding for an education for plant based eating. Please sponsor cooking classes as well.
Keller	Lisa		Los Gatos, CA	Love it. Yes!!
Koch	Charlene Foster		Los Gatos, CA	I would LOVE to see this happen!! So very needed.
Koke	Cynthia		Los Gatos, CA	
Kollu	Badrinath		Los Gatos, CA	
Kurlin	Carolyn		Los Gatos, CA	
Kurlin	Gregg		Los Gatos, CA	
Kurtz	Karen		Los Gatos, CA	
Lasso	Alberto		Los Gatos, CA	

Lawton	Ann	Los Gatos, CA	YES!
Lazzarino	Dominic	Los Gatos, CA	
Le	Denise	Los Gatos, CA	I'm not a vegan or vegetarian but I'd love to incorporate more plant based and less meat protein to my diet.
Leeds	Felice	Los Gatos, CA	
Lesko	Camille	Los Gatos, CA	Cooking classes are a great idea!
Levine	Joshua	Los Gatos, CA	
Levine	Marni	Los Gatos, CA	
Lewis	Jessica	Los Gatos, CA	Education is key for this important information. Thanks to all involved in making this happen!
Lammers	Victoria	Los Gatos, CA	Need more vegetarian places/options
Li	Van	Los Gatos, CA	
Liu	Andre	Los Gatos, CA	
Liu	Calista	Los Gatos, CA	
Liu	Gabriela	Los Gatos, CA	
Lockman	Juliana	Los Gatos, CA	
Lorig	Glenn	Los Gatos, CA	
Lorig	Sue Ann	Los Gatos, CA	
Lowe	Debbie	Los Gatos, CA	
McKinnon	Skyler	Los Gatos, CA	
Madduri	Sandeep	Los Gatos, CA	
Malhotra	Priti	Los Gatos, CA	
Malhotra	Neeraj	Los Gatos, CA	
Mandurrigo	Gloria	Los Gatos, CA	A fantastic idea!
Margolis	Sonya	Los Gatos, CA	
McGill	Alex	Los Gatos, CA	
McInerney	Celeste	Los Gatos, CA	
Menhardt	Trixi	Los Gatos, CA	
Mordaunt	Joshua	Los Gatos, CA	
Newlin	Kerry	Los Gatos, CA	
Mager	Nan	Los Gatos, CA	
Mano	Robin	Los Gatos, CA	
Martins	Rosilene	Los Gatos, CA	
Meinhardt	Suzanne	Los Gatos, CA	
Miramontes	Emily	Los Gatos, CA	
Morley	Eric	Los Gatos, CA	
Nguyen	Kim	Los Gatos, CA	
Niederauer	Tricia	Los Gatos, CA	
North	Pamela	Los Gatos, CA	
O'Connor	Rebecca	Los Gatos, CA	
O'Toole	June	Los Gatos, CA	
Park	Monica	Los Gatos, CA	
Parker	Dana	Los Gatos, CA	
Parsons	Daniel	Los Gatos, CA	
Parsons	Debbie	Los Gatos, CA	

Parsons	Jackie		Los Gatos, CA	
Parsons	James		Los Gatos, CA	
Parsons	John		Los Gatos, CA	
Patel	Minal		Los Gatos, CA	
Rai	Vivek		Los Gatos, CA	Yes, I am in for plant based projects.
Raad	Mona		Los Gatos, CA	
Raad	Ellie		Los Gatos, CA	
Ramaswamy	Vinay		Los Gatos, CA	
Ram	Amrith		Los Gatos, CA	
Ramesh	Mythri		Los Gatos, CA	Made verbal comments at GPAC
Reese	Dirk		Los Gatos, CA	
Rennie	Isabella		Los Gatos, CA	
Reyna	Melody		Los Gatos, CA	
Reyna	Orlando		Los Gatos, CA	
Rhine	Molly		Los Gatos, CA	
Richter	Jessica		Los Gatos, CA	
Riley	Kate		Los Gatos, CA	
Rittenhouse	Simone		Los Gatos, CA	
Robinson	Kari		Los Gatos, CA	
Rovin	Lynne		Los Gatos, CA	
Rovin	Stuart		Los Gatos, CA	
Rubio	Karen	CERT volunteer	Los Gatos, CA	Made verbal comments at Town council meeting for 2040 General plan
Rubio	Fred		Los Gatos, CA	
Rubio	Erik		Los Gatos, CA	
Rude	Christina		Los Gatos, CA	
Ry	Regina		Los Gatos, CA	
Sand	Gretchen		Los Gatos, CA	
Sardana	Manan		Los Gatos, CA	
Sarkar	Prasenjit		Los Gatos, CA	
Sathyamurthy	Shreelatha		Los Gatos, CA	I strongly support this initiative.
Schirmer	Lisa		Los Gatos, CA	
Schwartz	Jan		Los Gatos, CA	
Shah	Bhanik		Los Gatos, CA	
Shah	Swati		Los Gatos, CA	I support the local effort!
Shoff	Sue		Los Gatos, CA	
Seshadri	Sruba		Los Gatos, CA	
Smith	Angie		Los Gatos, CA	
Smith	Rucy	Climate Reality presenter and activist	Los Gatos, CA	
Sneddon	Laura		Los Gatos, CA	
Snyder	Stephen		Los Gatos, CA	
Srinivasan	Kiran		Los Gatos, CA	
Starov	Vladimir		Los Gatos, CA	I fully support this worthy cause!
Stilling	Kelsey		Los Gatos, CA	Would love to see more emphasis on plant-based diet - through restaurants, education, community garden, etc.
Stone	Helen		Los Gatos, CA	

Stone	Paul		Los Gatos, CA	
Streicker	Robin		Los Gatos, CA	
Tompkins	Liz		Los Gatos, CA	
Venkatesan	Arun		Los Gatos, CA	
Venkatsubramanyan	Shailaja		Los Gatos, CA	Made verbal comments at GPAC
Von Luehrte	Missy		Los Gatos, CA	
Vuckovich	Melissa		Los Gatos, CA	
Waters	Michelle		Los Gatos, CA	
Wade	Christopher		Los Gatos, CA	
Wade	Lisa		Los Gatos, CA	Gave verbal comments at GPAC
Wade	Lucas		Los Gatos, CA	
Wade	Stephen		Los Gatos, CA	
Wade	Charles	Audobon Society Lifetime Achievement Award	Los Gatos, CA	
Wales	Pamela	CERT; Animal search and rescue disaster response team; animal sanctuary volunteer	Los Gatos, CA	
Walker	Kelsey		Los Gatos, CA	
Waters	Michelle		Los Gatos, CA	
Wentzien	Erin		Los Gatos, CA	
White	Tony		Los Gatos, CA	
White	Hillary		Los Gatos, CA	
Willey	Kathleen		Los Gatos, CA	Gave verbal comments at GPAC
Willey	Mark		Los Gatos, CA	
Willing	Lara		Los Gatos, CA	Plant based eating is part of a long term solution.
Wilson	Beth		Los Gatos, CA	
Yannoni	Mike		Los Gatos, CA	
Yosfee	Hanley		Los Gatos, CA	
Zilka	Stephanie		Los Gatos, CA	Let's join the scientific community and educate people about the importance of plant based living!!! It's vital to the survival of our planet and species!!!
Organizations Endorsing our Proposal				
Plant-Based Advocates of Los Gatos http://www.plantbasedadvocates.com/				
TWW/Indivisible-Los Gatos https://www.twwl.org/				
Sierra Club Loma-Prieta https://www.sierraclub.org/loma-prieta				
Center for Biological Diversity https://www.biologicaldiversity.org/				
Acterra: Action for a Healthy Planet https://www.acterra.org/				
Eat for the Earth (Based in Santa Cruz)				
https://www.eatfortheearth.org/				
SAFE Worldwide https://www.safeworldwide.org/ (Based in Monte Sereno)				

Harrold	Kat		Campbell, CA	Thank you for this, I frequent Los Gatos so this would be great to see. Also I believe in the power of empowering our local farmers, and the more money we can get them, the better for everybody locally. Back to our roots! Better for the planet and better for everyone
Isis	Dawn		Campbell, CA	Though I don't live IN Los Gatos, I hope my support will indicate interest in this important issue in the wider area, & that Los Gatos may become a model for addressing it.
Jain	Beena		San Jose, CA	I support the educational program.
Kinger	Amit		San Jose, CA	
Lambert	Jennifer		Monte Sereno, CA	
Lanzl	Linda		Monte Sereno, CA	
Matar	Elizabeth		Monte Sereno, CA	Thank you! Yes!!!
Matar	Lisa		Monte Sereno, CA	Thank you! I'm completely in for this!!
Mesler	Michelle		San Jose, CA	
Mulchandani	Mukesh		Campbell, CA	Moving to Los Gatos soon!
Petroff	Patrice		Monte Sereno, CA	
Ramirez	Gustavo		San Jose, CA	We need more plant based food options! The meat industry is cruel and unsustainable.
Renson	Kellee		Monte Sereno, CA	Yes need more veggie places to eat
Shearer	David		San Jose, CA	I support this effort
Stolberg	Robb	Environmental Education: Veggielution, Walden West	San Jose, CA	
Streicker	Robin		Monte Sereno, CA	
Thakur	Smita		Saratoga, CA	I have been plant based for the last two years. It has made me healthier and it's the best thing for the planet. Would love to have more people join plant based way of life.
Woodhouse	Dori		San Jose, CA	



May 5, 2021

Jennifer Armer, Senior Planner
Community Development Project
Town of Los Gatos
Via JArmer@losgatosca.gov

Dear Ms. Armer,

On behalf of the Center for Biological Diversity and our California members, I thank you for considering food sustainability initiatives and emissions strategies in the Los Gatos General Plan. The Center strongly **supports** these actions.

The Center for Biological Diversity is a national conservation nonprofit with nearly 2 million members and supporters. Our expertise is grounded in a staff of scientists and legal experts tackling crucial issues like climate change and effective mitigation strategies. Food emissions are a substantial part of global and national human-induced greenhouse gas emissions.

Studies show we cannot meet climate mitigation targets without tackling emissions from the food and agriculture sector, and namely by shifting diets toward lower emissions foods. The agriculture sector accounts for as much as [37%](#)¹ of global greenhouse gas emissions. Food procurement is an important opportunity to reduce consumption-driven emissions.

Most emissions come from only a few types of foods. The foods with the highest emissions are [meat and dairy](#) products,² which are responsible for approximately half of all food-related emissions and [16%](#)³⁴ of global greenhouse gases. The overproduction (and consumption) of meat and dairy come with a high cost to the [climate](#),⁵ as well as to [water](#)⁶, [land](#)⁷, and [biodiversity](#)⁸. Tracking institutional food purchases and shifting toward climate-friendly foods is a crucial climate solution that also has health and other environmental benefits.

Unfortunately, some sustainability initiatives overlook the need to address overproduction of animal-based foods in their commitments. Instead, municipal plans should build on frameworks of supporting

¹ Intergovernmental Panel on Climate Change (2019). Special Report on Climate Change and Land Use.

<https://www.ipcc.ch/srccl/>.

² Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

³ Calculated using the 2017 online update to the FAO 2013 GLEAM assessment that estimates the livestock sector emitted 8.1 GT CO₂eq in 2010 (using 298 and 34 as global warming potentials for N₂O and CH₄, based on the IPCC 2014 report). The IPCC 2014 report estimates total anthropogenic GHG emissions in 2010 of 49 GT CO₂eq. See: FAO, Global Livestock Environmental Assessment Model (GLEAM) [online], Rome, www.fao.org/gleam/en/ and IPCC [Intergovernmental Panel on Climate Change], Climate Change 2014: Synthesis Report. Contribution of Working Groups I, II and III to the Fifth Assessment Report of the Intergovernmental Panel on Climate Change, [Core Writing Team, R.K. Pachauri & L.A. Meyer (eds.)], IPCC, Geneva, Switzerland (2014), http://www.ipcc.ch/pdf/assessment-report/ar5/syr/SYR_AR5_FINAL_full_wcover.pdf.

⁴ Gerber, P. J., Steinfeld, H., Henderson, B., Mottet, A., Opio, C., Dijkman, J., ... & Tempio, G. (2013). Tackling climate change through livestock: a global assessment of emissions and mitigation opportunities. Food and Agriculture Organization of the United Nations (FAO). <http://www.fao.org/3/i3437e/i3437e.pdf>.

⁵ University of Michigan. Center for Sustainable Systems (2017). Carbon Footprint Factsheet.

http://css.umich.edu/sites/default/files/Carbon%20Footprint_CSS09-05_e2020_0.pdf.

⁶ Water Footprint Network (2021). Water Footprint of Crop and Animal Products: A Comparison.

<https://waterfootprint.org/en/water-footprint/product-water-footprint/water-footprint-crop-and-animal-products/>.

⁷ Carbon Brief (2021). Interactive: What is the Climate Footprint of Eating Meat and Dairy? CarbonBrief.org.

<https://interactive.carbonbrief.org/what-is-the-climate-impact-of-eating-meat-and-dairy/>.

⁸ Center for Biological Diversity (2021). Extinction Facts. TakeExtinctionOffYourPlate.com.

environmental goals through procurement, in line with similar efforts regarding recycled and sustainable products and local food. Food procurement has [a significant impact](#)⁹ on the environment and overall municipal emissions and can often be addressed by resolution or executive directive requiring government food purchases to meet specific guidelines.

Making a moderate shift toward climate-friendly menus can make a big difference in advancing sustainability goals, particularly emissions targets. The [2018 Intergovernmental Panel on Climate Change](#)¹⁰ affirmed we have only a decade left to avoid irreversible climate damage. This fact has driven municipalities to include meat and dairy reductions as key factors in emissions reductions and sustainability policies, including the initiatives recommended to add to the Los Gatos General Plan.

For example, Los Angeles, California recently joined the [C-40 cities](#) initiative; and Santa Monica, CA integrated [food procurement commitments](#) into their Climate Action Plan and committed to a 15% reduction of meat and dairy procurement to meet its emissions targets; Carrboro, North Carolina has set [food emissions targets](#) in their Climate Action Plan and set a goal to reduce emissions from consumption by 50% by 2025; Denver, CO found emissions from [food procurement](#) accounted for 14% of overall emissions, nearly equal to emissions from residential energy and gasoline-powered vehicles.

Reducing beef procurement – if replaced with plant-based foods - would immediately help reduce the city’s emissions as beef emits more greenhouse gases than any other food.¹¹ Beef is also a [particularly water-intensive process](#) that depletes vital watersheds, from the Colorado River to local waterways.¹² Thus, reducing beef procurement also supports water conservation goals. Given California’s drought, wildfires and extreme weather, municipalities must do what they can to support water-saving efforts.

Cities and townships must strive to mitigate the emissions associated with municipal operations. Increasing support for local produce growers will also improve engagement with farmers markets and local food hubs, bringing economic benefits to your community. Similarly, increasing access to healthy, climate-friendly foods with city-supported neighborhood-based community gardens bring equitable solutions for those who lack access to healthy, sustainable foods.

Sustainable food policies can [increase climate resilience, help eradicate poverty](#)¹³, improve public health and equity, and [protect biodiversity](#).¹⁴ The urgency of these issues and the health of the planet demand action to transform unsustainable food systems.

Sincerely,

Jennifer Molidor, Ph.D.
Senior Food Campaigner
Center for Biological Diversity
BiologicalDiversity.org
jmolidor@biologicaldiversity.org

⁹ United Nation System Standing Committee on Nutrition (2017). Sustainable Diets for Healthy People and a Healthy Planet. <https://www.unscn.org/uploads/web/news/document/Climate-Nutrition-Paper-EN-WEB.pdf>.

¹⁰ Intergovernmental Panel on Climate Change (2018). Special Report on Global Warming of 1.5c. <https://www.ipcc.ch/sr15/>.

¹¹ Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

¹² Richter, B. (2020). Water Sustainability and Fish Imperilment Driven by Beef Production. *Nature Sustainability*. <https://www.fs.usda.gov/treesearch/pubs/59918>.

¹³ Smith, P. (2012). “Climate Change and Sustainable Food Production.” Cambridge University Press. <https://www.cambridge.org/core/journals/proceedings-of-the-nutrition-society/article/climate-change-and-sustainable-food-production/DE02043AE462DF7F91D88FD4349D38E7>.

¹⁴ Food and Agriculture Organization (2010). Sustainable Diets and Biodiversity. <http://www.fao.org/3/i3004e/i3004e.pdf>.

From: Phil Koen

Sent: Friday, April 8, 2022 4:06 AM

To: Jennifer Armer; Shelley Neis

Cc: jvannada; Rick Van Hoesen; David Weissman; Lee Fagot; Tran Nguyen

Subject: Agenda item #3 - Planning Commission

Shelley and Jennifer,

Please include the attached white paper in the Planning Commission package.

Thank you

What is driving the massive increase in Los Gatos' RHNA allocation?

4th Cycle – 562 units 5th cycle – 619 units 6th Cycle – 1,993 units

Background

Each California city is required to plan for new housing to accommodate a share of regional needs. The Regional Housing Needs Assessment ("RHNA") is the process established in State law by which housing needs are determined.

Prior to each planning cycle the total new housing need for each region of California is determined by the California Department of Housing and Community Development (HCD) based largely upon economic and demographic trends. HCD is responsible for determining the number of housing units for which each region must plan, known as the Regional Housing Needs Determination (RHND). The RHND is based on a population forecast for the region from the California Department of Finance (DOF).

Los Gatos is located within the Association of Bay Area Governments (ABAG) region, which includes Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, and Sonoma counties. The total housing need for the ABAG region is distributed to cities and counties by ABAG based upon objectives and criteria established in State law.

In 2021 HCD determined that the total new housing need for the entire ABAG region in the 6th Housing Element cycle (2023 – 2031) is 441,176 units. The 6th cycle RHND is significantly larger than the previous 4th cycle and 5th cycles. For comparison the 5th cycle RHND (2015 – 2023) was 187,990 units and the 4th cycle (2006 – 2014) was 214,500. The 6th cycle represents a 2.4x increase over the 5th cycle and 2.1x increase over the 4th cycle.

What's different in the 6th cycle RHND from the 5th and 4th cycles?

For the 6th cycle the State made major modifications to the process for determining RHND. In prior RHND cycles total housing was based primarily only on **projected population growth**. However, for the 6th cycle the State added **existing need** to the total RHND calculation. Existing need includes households that are currently overcrowded (defined as more than one person per room) or are overpaying for housing (defined as more than 30% of gross income). Additionally, the 6th cycle made a major modification to the region's current **vacancy percentage** to provide healthy market vacancies to facilitate housing availability and resident mobility.

The total 6th cycle RHND for the ABAG region is comprised of the sum of projected growth, existing need, and a vacancy adjustment as follows:

Projected growth	223,550
------------------	---------

Existing need	118,827
Vacancy adjustment	98,799
Total 6 th Cycle RHND	441,176

The important point to note is **the need for additional housing units based on projected population growth is only 50% of the total 6th cycle RHND** with the other half coming from first-time adjustments the State has made to address existing needs and to improve regional vacancy rates. As seen from this breakdown, if these adjustments were excluded (as was the case in prior RHND cycles) the total need for the 6th cycle would be 223,550 which is very similar to the 4th cycle RHND of 214,500 and only a 19% increase over the 5th cycle.

Los Gatos 6th Cycle RHNA Allocation Explained

Once the RHND has been determined, ABAG must now allocate the 441,176 new housing units to each jurisdiction beginning with a share of the RHND. This allocation process is called the Regional Housing Needs Allocation (RHNA). The baseline allocation used to begin the assignment is the jurisdiction's total number of forecasted households for the year 2050, which was determined by the Plan Bay Area 2050 Blueprint.

For Los Gatos, the baseline allocation was .3% of the 223,550 projected growth in regional units. The .3% represents Los Gatos' share of Bay Area Households in year 2050. The calculation is as follows:

$$223,550 \text{ Projected growth} \times .00326 = 730 \text{ units}$$

This number is 18% above the 5th cycle RHNA of 619 units.

The next step is to allocate the existing need and vacancy adjustment of 217,626 new units to Los Gatos. Again, using the baseline allocation of .3%, the additional units assigned to the Town is computed as follows:

$$217,626 \text{ existing need and vacancy adjustment} \times .00326 = 710 \text{ units}$$

This amount combined with the projected growth increased the RHNA to 1,440 new units.

The ABAG methodology also places greater emphasis on assigning new housing units to those areas which have been determined to be a High Opportunity Area or areas that are in proximity to jobs and public transit rather than vacant deployable land. This methodology shifts the regional growth pattern, with more household growth directed to transit-rich, high resource places to support the Pan Bay Area 2050 Blueprint.

Since Los Gatos has been determined to be a High Opportunity Area, the RHNA methodology allocates more housing than the .3% baseline percentage. This results in an additional 553 units being allocated to Los Gatos. Essentially, Los Gatos is "exporting" this additional housing to other regional areas to balance the regional housing needs.

In summary, the 6th cycle RHNA allocation for Los Gatos is comprised of the following elements:

Projected growth	730
Existing need and vacancy adjustment	710
High Opportunity and Job allocation	553
Total 6 th cycle RHNA	1,993

Conclusion

It is important to understand how the 6th cycle RHNA was constructed especially if one is trying to project future RHNA allocations for the Town. First, the 6th cycle has embedded in it a long-term element since the baseline allocation is based on the Town's **projected share** of Bay Area households in 2050. Secondly, the number of new units required based on projected population growth is only 730 units, which is close to the 5th cycle RHNA allocation. If one is trying to project future RHNA allocations, it would be prudent to only use the units required to meet the population growth since it is impossible to determine what the State may want to do regarding future adjustments for existing need and access to opportunity areas.

The last point is the adjustments made by the State in the 6th cycle, were done **to compel** local governments to take immediate action to implement policies, strategies, and zoning changes to accommodate their RHNA allocations. The 6th cycle RHNA allocation will establish a pattern of housing growth in the near term (2023 to 2031) that will anchor the foundation for how the Bay Area jurisdictions move forward on implementing the longer-term vision in Plan Bay Area 2050. The hope is that these adjustments will be made in the near term and that future RHNA will then only reflect the population growth as done in prior cycles.

From: Phil Koen
Sent: Friday, April 8, 2022 4:35 AM
To: Jennifer Armer; Shelley Neis
Cc: jvannada; Rick Van Hoesen; David Weissman; Lee Fagot
Subject: Comments on general,plan

Please include in the Planning Commission packet these previously submitted comments on the General Pkan that aren't in the package.

Thank you

From: Phil Koen
Sent: Saturday, July 31, 2021 8:40 PM
To: GP2040 <GP2040@losgatosca.gov>
Cc: Laurel Prevetti; Robert Schultz
Subject: Comments on the Draft General Plan 2040 and the Draft General Plan 2040 EIR

Please accept these comments as attached.

Thank you.

Phil Koen

Comments on the Draft General Plan 2040 and the Draft EIR

Population and Growth

The Land Use Element of the General Plan 2040 allows for the development of 3,738 new dwelling units, 475 of which are units from existing approved projects, by 2040. This is accomplished by materially increasing all residential zoning densities, mixed use densities, central business district densities, office professional densities and the creation of a new community commercial land use designation.

As documented by the draft General Plan 2040 EIR (page 4.13-6) at full build out, the population of Los Gatos will be approximately 42,021 through the addition of 3,738 dwelling units. This represents a 27% increase in the population over the 2021 estimate of 30,832 and a 27% increase in housing units. The annual growth rate in population would be 1.6% for the period 2021 to 2040.

As documented in the 2007 Housing Element, the population of Los Gatos was 28,813 in 2008. Over the past 13 years the population has increased at an annual rate of .5%.

The Plan Bay Area 2040, which was adopted by ABAG and the MTC, projected the Town's population to be 33,050 by 2040. This represents an annual growth of .3% which is slightly below the historical 13-year growth rate of .5% but substantially in-line with historical long-term growth rate.

Therefore, the General Plan 2040 would induce substantial unplanned population growth beyond the ABAG population forecast and the 13-year historical growth rate. The General Plan 2040 provides no evidentiary support for the projected 27% increase in population and an annual growth rate that is over 300% greater than the 13-year historical rate.

The projected level of growth is not reasonably expected to occur in the absence of the proposed General Plan 2040. Simply put, the projected population growth in the General Plan 2040 is not

projected to occur under any alternative and fosters growth rather than managing and accommodating the reasonably expected growth forecasted by ABAG.

The proposed General Plan 2040 fosters this growth by implementing material increases in zoning densities Town-wide. For example, under current land use zoning densities, potential low density and medium density residential units would be 328 dwelling units. However, under the proposed densities in the General Plan 2040 the total potential housing production increases to 934 – a 184% increase.

This induced population growth directly conflicts with the Town’s own assessment of housing opportunities and constraints. In the jurisdiction survey submitted to ABAG, the Town identified land suitability, impact of climate change and natural hazards, construction costs, availability of vacant land and funding for affordable housing as constraints for the development of additional housing by 2030. Additionally, the Town identified that public transit and the lack of a transit hub was a constraint in encouraging more jobs and housing near public transportation. Lastly, the Town stated that residential areas near jobs were largely built out.

Growth inducement may constitute an adverse impact if the growth is not constrained or accommodated by land use plans and policies for the area affected. The General Plan 2040 and the General Plan 2040 EIR do not adequately analyze and address the potential impacts of non-orderly expansion of urban development on public services such as water supply, roadway infrastructure, sewer services, solid waste service and police services.

Amazingly the Draft General Plan 2040 after adopting a 27% increase in population as the part of the project definition dismisses this forecast by stating “these projections do not reflect actual growth trends” and therefore concludes “no mitigation measures are required, and impacts would be less than significant without mitigation”. Apparently, the Draft General Plan EIR studied a different project than what was defined in the Draft General Plan 2040 and the NOP of the EIR.

Furthermore, conclusory statements which are unsupported by facts do not equate to a good faith and reasoned analysis. The substantive question that is left unexamined and unanswered is, what are the environment impacts based on the growth in population and dwelling unit development defined in the Draft General Plan 2040.

Jobs/Housing Ratio

The Draft EIR states on page 4.13-7 that “growth under the 2040 General Plan would result in a more balanced jobs-housing ratio in 2040 by increasing housing available in Los Gatos”. The EIR concludes that “such growth would not result in any adverse effects associated with an increased imbalance of jobs and housing in the Town”. Again, this is a conclusory statement which is not supported by any facts or reasoned analysis.

As documented by the 2015 Housing Element, according to ABAG there were approximately 2.1 jobs per household in 2010. The ratio jobs/housing ratio increased from 2005, when it was 1.5 jobs for every household. This increase was attributed to the recovery of the economy and Los Gatos businesses expanding, creating new jobs to support the immediate community. An increasing jobs/housing ratio indicates the potential for increased demand for more housing to accommodate the growth in new jobs.

As documented in the Background Report, in 2018, there were 19,300 jobs in Los Gatos with 13,299 households. This equates to a jobs/housing ratio of 1.45. This ratio is widely viewed as “in balance” since the assumption is for every household there are 1.5 workers. The ratio improved because more dwelling units added over the eight- year period while jobs remained relatively flat.

The Draft General Plan 2040 assumes that only 1,280 new jobs will be added over the next 20 years. These new jobs are entirely attributed to the current 475 projects that have been approved. The Draft General Plan 2040 assumes no new jobs will be created from the 3,263 new dwelling units to be added over the next 20 years.

Based on this, in 2040 the jobs/housing index will fall to 1.2, which indicates that the Town is a “net provider” of housing to the surrounding community. This decrease is directly attributable to the growth in housing with no corresponding increase in local jobs. On an incremental basis, the Draft General Plan 2040 calls for only 1,280 jobs for 3,736 new dwelling units, which is a jobs/housing ratio of .34. This shows that the individuals living in these new dwelling units will be driving to jobs located outside of the Town, which will further negatively impact VMT generated in Los Gatos, air quality, and will not achieve the goal of increasing non-vehicle transportation modes. This result is also inconsistent with the statutory objective to promote intraregional job-housing relationships.

The EIR conclusion of a “more balanced ratio” is not supported and in fact suggests just the opposite, that the new dwelling units will be occupied by workers who will be driving to jobs outside of Los Gatos.

From: Phil Koen
Sent: Friday, April 8, 2022 7:18 AM
To: Jennifer Armer; Shelley Neis
Cc: jvannada; Rick Van Hoesen; David Weissman; Lee Fagot; Tran Nguyen
Subject: Planning Commission - Agenda item #3

Hello Jennifer and Shelley,

Please include the following in the meeting package for the up coming Planning Commission.

Dear Planning Commission,

Below is the housing buildout schedule that was presented to the Town Council at their September 20, 2021 Joint Study Session that is referenced in the Staff memo.

It should be pointed out the projected number of units developed in that schedule included 166 Hillside residential units. The total number of units was 3,904.

The Staff memo references total units of 3,738. This is obviously an error since it does not include Hillside Residential units. This is a failing since the Land Use Element includes zoning for the Hillside Residential area.

For the public to understand the discussion and come to their own conclusion regarding the Land Use Element, it is critical that the project definition and numbers be stable. They aren't, as shown here by the inconsistency in the treatment of Hillside Residential.

Please make sure that the public understands that the latest buildout schedule was the one presented at the September 20, 2021 Town Council meeting. I do not believe there has been anything published regarding this schedule for the public to review since that meeting.

Thank you,

Phil Koen

DISCUSSION (continued):

Land Use Designation	Density Range (du/ac)		Typical Density (du/ac)		Assumed Redevelopment (Redev)	Existing General Plan		Draft General Plan	
	Existing General Plan	Draft General Plan	Existing General Plan	Draft General Plan		New Housing (Vacant Land)	New Housing (Redev)	New Housing (Vacant Land)	New Housing (Redev)
Hillside Residential	0 to 1	0 to 1	1	1	0%	116	-	166	-
Low Density Residential	0 to 5	1 to 12	4	12	5%	75	13	283	84
Medium Density Residential	5 to 12	14 to 24	10	20	10%	107	133	224	343
High Density Residential	12 to 20	30 to 40	18	36	15%	53	111	110	268
Neighborhood Commercial	10 to 20	10 to 20	16	18	10%	11	39	26	91
Community Commercial	0	20 to 30	0	26	15%	-	-	-	156
Mixed-Use	10 to 20	30 to 40	16	36	20%	55	242	126	605
Central Business District	10 to 20	20 to 30	16	26	15%	12	46	21	113
Office Professional	0	30 to 40	0	36	15%	-	-	4	255
Service Commercial	0	20 to 30	0	26	15%	-	-	10	44
Subtotal						429	584	970	1,959
Housing Units, New and Redeveloped							1,013		2,929
Housing Units, ADUs							500		500
Subtotal							1,513		3,429
Housing Units, Existing Projects							475		475
TOTAL							1,988		3,904

From: Phil Koen

Sent: Friday, April 8, 2022 7:45 AM

To: Jennifer Armer; Shelley Neis

Cc: jvannada; Rick Van Hoesen; David Weissman; Lee Fagot; Tran Nguyen

Subject: Planning Commission Meeting - Agenda Item #3

Hello Jennifer and Shelley,

Please include the following in the Planning Commission package,

Dear Planning Commission,

There has been tremendous confusion regarding the Land Use Element and the rational for the proposed increases in Town wide land use densities which are in the 2040 GP.

Much of the discussion has focused on RHNA 6th cycle number and the need to accommodate enough capacity in the Town's Land Uses for these units.

What has been totally ignored is the independent forecast, which was published by the Town, of the likely growth of the Town over the next 20 years. The most likely range of growth is between 1,529 and 1,954. Please see the attached pages from the Alternative Land Uses report.

This range of units should establish the appropriate baseline for informing the Town as to what is required through appropriate Land Use zoning to accommodate growth over the next 20 years. Since the State has mandated a slightly higher number of units (eg 1,993) above the high end of the range, it would be prudent to plan for an additional number of units to give the Town an appropriate buffer. The Staff has suggested a number of 2,292.

This makes total sense given that number will be sufficient to meet the high end of the growth forecast AND meet the mandated 1,993 units in the 6th cycle.

We should be very clear on this point- there is no objective forecast that supports making the drastic changes in the Land Use densities Town wide as outlined in the 2040 GP which would allow for the development of 3,901 and even more units.

Thank you,

Phil Koen

Housing

Residential Market Demand

The demand for housing in a particular location is based on a number of factors, including natural increase in the resident population (births over deaths), in-migration due in part to job opportunities, and the relative price of housing in the area. Since 1980, Los Gatos has increased population at the rate of about one-half percent per year. This has generally been about half as fast as the County. Between 2010 and 2019, Los Gatos grew by 5.4 percent while Santa Clara County grew 9.7 percent.

The actual pace of growth is also a function of the growth in the supply of housing, which the General Plan will consider. If market demand is higher than the available housing supply, residential prices increase faster than they would otherwise. Home prices in Los Gatos have increased significantly in recent years, similar to many communities in the Bay Area and Santa Clara County.

The DOF prepares population projections for counties based on the age and ethnic demographics of the population, and also taking into account regional shifts in population due to migration. DOF projects Santa Clara County to grow at a rate of about one percent per year between 2020 and 2040. In the early years of this projection, in-migration to the County accounts for just over half of the population growth, but by 2040, in-migration accounts for 64 percent of growth. If Los Gatos were to continue to see growth at about half the County rate, then the total population would increase by approximately 3,478 persons between 2020 and 2040. If the average household size stays at 2.4 persons and the vacancy rate remains constant at about 5.5 percent, then 1,529 housing units would be needed to accommodate this population growth.

GROWTH 2010-2019

Los Gatos
5.4%
(0.6% annually)

Santa Clara County
9.7%
(1.1% annually)



Units Needed to Accommodate

Growth:

1,529

at 0.5%
annual growth

However, considering the age demographics of the Los Gatos population, the overall demand for housing could be higher than using DOF populations projects as the base. One of the fastest growing population segments are senior, otherwise known as the "Baby Boomers." Currently, 19 percent of the Los Gatos population is 65 years or older, compared to 12 percent for the County as a whole. Applying age-specific growth rates to the existing Los Gatos population, based on the DOF demographic projections, shows an annual growth rate of 0.7 percent for Los Gatos, compared to 0.5 percent based only on the countywide growth as discussed on the previous page. This latter projection also accounts for a share of County in-migration being attracted to Los Gatos. Given the income and housing price differentials between the Town and the County, we estimate that housing demand from in-migration to Los Gatos is about one third the rate of the County. Using this combined approach of age demographics and in-migration, we project an increase of 4,446 people and 1,954 housing units between 2020 and 2040.

Therefore, the range of likely market demand for housing in Los Gatos between 2020 and 2040 is 1,529 (DOF Projection) to 1,954 (ADE Projection) units.

Market demand also relates to the anticipated mix of unit types. With the acceleration of housing costs in the Bay Area, there is increased demand for smaller, less expensive units, that are more affordable to the broad populace. This will likely be reinforced in Los Gatos with additional demand for senior housing. Both of these trends emphasize the need for multi-family housing. Alternative A (Low Growth) has the lowest share of multi-family housing at 66 percent, while the other alternatives have a greater percentage of multi-family housing ranging from 82-83 percent, which is more likely to meet future market demand.



**Units Needed to
Accommodate
Growth:
1,954
at 0.7%
annual growth**



From: Lisa Wade

Sent: Friday, April 8, 2022 9:25 AM

To: Jennifer Armer; Council

Subject: Fwd: My Verbal Comments for Planning Commission Meeting (April 3)

My name is Lisa Wade and I am with Plant-based Advocates in Los Gatos. I have lived in Los Gatos for over 30 years.

Thank you for your hard work on the General Plan. We appreciate your efforts.

We also want to thank you for adding the words Plant-based to a couple of sections. When the GPAC added the words plant-based to these 2 sections of the General Plan they also stated that they would do more because of the widespread public support for plant-based eating education in Los Gatos.

Our specific ask is this. We would like to see Plant-Based Eating Education added to section 8.12 Environmental Sustainability Element Implementation Programs. Section 8.12 has several Implementation Programs. We are requesting that you add a Plant-Based Eating Education Program to this section.

We have come up with some wording for an implementation program that could be easily inserted into section 8.12 (Implementation programs) in the General Plan.

Plant-Based Education Implementation Program Description:

Implement programs to educate and support residents about the benefits of shifting to plant-based diets, which include: curbing greenhouse gas emissions, reducing biodiversity loss and deforestation, reducing water usage, and reversing pollution of our air, land, and water.

We have a petition with 265 signatures asking for a plant-based education program in the General Plan. We have the names of 225 residents (including community and business leaders who live in Los Gatos). In addition, we have 40 names of residents living in neighboring towns including Cambell, Monte Sereno, and Cambrian who frequent Los Gatos businesses.

.

We also have the support of 11 groups including local groups, Health and Environmental NGOs (including The Sierra Club Loma Prieta Chapter and the Center for Biological Diversity.) In addition prominent citizens (both in Los Gatos and neighboring cities) such as Lucas Ramirez vice mayor of Mountain View and Alison Hicks city council member in Mountain View. support our efforts.

Also, the planning commission and council have received numerous emails requesting a plant-based eating education program be added to the General Plan 2040.

It is important to include such a program because numerous peer-reviewed scientific studies agree that plant-based eating is the most effective way for individuals to help the planet. For this reason, any plan to address climate and sustainability should include the promotion of plant-based eating. Please do not leave out this powerful, cost-effective solution and add a Plant-based education program to section 8.12. This section will not be complete without such a program.

According to Project Drawdown, the third- and fourth-best climate change solutions are reducing food waste and eating a plant-rich diet. (The top two solutions aren't things the average person can easily control: refrigerant management and onshore wind turbines.) **Making the transition to a plant-based diet may well be the most effective way an individual can stop climate change." page 40 Project Drawdown The Most Comprehensive Plan Ever Proposed TO Reverse Global Warming edited by Paul Hawken.**

I am attaching our petition below. I've also attached testimony from the Center for Biological Diversity.

Thank you for your consideration!

Supporters of Adding Plant-Based Education to Los Gatos General Plan 2040				
Name, Last	Name, First	Position / Affiliation	Address / Town Area	Comments
Community and Business Leaders of Los Gatos				
Albright	Karla	Together We Will/Indivisible Los Gatos	Los Gatos, CA	
Arroyo	Kevin	Pinehurst Community Garden organizer	Los Gatos, CA	Great idea and I support this plan!
Brown	Elisabeth	Educator	Los Gatos, CA	I am a teacher in town. I'd love to incorporate any lessons into my curriculum. I also lead student council and would be willing to organize an assembly.
Chan	Wendy	Business owner: Tai Zhan Plant-Based Microbakery	Los Gatos, CA	
Goetz	Alicia	Owner, Los Gatos Theatre	Los Gatos, CA	
Hertan	Peter	Vice President, Los Gatos-Saratoga Union High School District Board	Los Gatos, CA	
Iyar	Rupar	Owner, Pura Wellness; philanthropist	Los Gatos, CA	
Montonye Reese	Laura	Agriculture Fairness Alliance; Vegan Justice League	Los Gatos, CA	
Moore	Rob	LG Anti-Racism Coalition; Plant-Based Advocates	Los Gatos, CA	
Owens	Heidi	Community leader	Los Gatos, CA	
Preville	Bruce	CERT Leader, Los Gatos	Los Gatos, CA	
Romano	Andrea	Owner, Centonove Restaurant	Los Gatos, CA	
Spargo	Alicia	Outreach Coordinator, Los Gatos Anti-Racism Coalition	Los Gatos, CA	
Residents of Los Gatos				
Aidi	Karen		Los Gatos, CA	
Anji	Roberto		Los Gatos, CA	
Arienzo	Wendy		Los Gatos, CA	
Arroyo	Frank		Los Gatos, CA	
Arroyo	Susie		Los Gatos, CA	
Bagatelos	Mary Ann		Los Gatos, CA	
Balijepalli	Priya		Los Gatos, CA	
Balakrishnan	Jeyendran		Los Gatos, CA	
Barden	Ben		Los Gatos, CA	
Barden	Sue		Los Gatos, CA	
Barnett	Kaitlyn		Los Gatos, CA	
Bay	Juliana		Los Gatos, CA	
Bayne	Daphne		Los Gatos, CA	
Bernholz	Malte		Los Gatos, CA	
Biller	Jason	Physician	Los Gatos, CA	
Bolen	JP		Los Gatos, CA	
Bolen	Rachel		Los Gatos, CA	
Booth	Sandra		Los Gatos, CA	
Bora	Anita		Los Gatos, CA	
Bosworth	Mary Ann		Los Gatos, CA	

Boyd	Sandy		Los Gatos, CA	
Brzak	Lukas		Los Gatos, CA	
Burkhart	Chris		Los Gatos, CA	
Bz	Linda		Los Gatos, CA	
Cao	Xuong		Los Gatos, CA	
Cappon-Javey	Maureen		Los Gatos, CA	
Carol	Amy		Los Gatos, CA	
				I support putting into the General Plan a plant based education program. There are several benefits from such a program, including potentially better general health and a healthier air quality in our community from consuming less meat, i.e., raising fewer animals that contribute to the increase of methane gas. I think this program would be very good for our community and far beyond it.
Carpio	Virginia		Los Gatos, CA	
Chavez	Vana		Los Gatos, CA	
Christensen	Beverly		Los Gatos, CA	
Christensen	John		Los Gatos, CA	
Cisneroz	Diane Larson		Los Gatos, CA	
Corini	Tamara		Los Gatos, CA	
Dai Biller	Jenny	Physician	Los Gatos, CA	
Davies	Tiffany	Physician	Los Gatos, CA	
Davies	Mark	Physician	Los Gatos, CA	
De Cesare	Anne Marie		Los Gatos, CA	
De Louraille	Karen		Los Gatos, CA	
Czinski	Laura		Los Gatos, CA	
Deak	David		Los Gatos, CA	
Dempsey	Caroline		Los Gatos, CA	
DeMaria	Dawn		Los Gatos, CA	
Dickinson	Ilene		Los Gatos, CA	
Dickinson	Roger		Los Gatos, CA	
Dillehay	Kristine		Los Gatos, CA	
Dreiger	Jeannie		Los Gatos, CA	
Dreher	Diane		Los Gatos, CA	
Erdengiz	Sevgi		Los Gatos, CA	
Evjenth	Gail		Los Gatos, CA	
Evjenth	Tim		Los Gatos, CA	
Fletcher	Lisa		Los Gatos, CA	
Fox	Audrey		Los Gatos, CA	
Fox	Larry	Owner, Valet Custom Cabients	Los Gatos, CA	
Frager	Bernadette		Los Gatos, CA	
				Pollution and waste in Factory Farms; use of land for meat production, killing of wildlife and use acres of land to support livestock; nets in the ocean killing millions of sea creatures; all contribute to climate change. Reducing meat consumption is something we all can do. Please place plant based education in the general plan. It is the right thing to so.
Freedom	Rea		Los Gatos, CA	
Garland	Lynette		Los Gatos, CA	
Gibbons	Maria Eugenia		Los Gatos, CA	

Goldberg	Kristine		Los Gatos, CA	
Goldberg	Michael		Los Gatos, CA	
Griffin	Julie		Los Gatos, CA	
Gupta	Reeta		Los Gatos, CA	
Gummow	Todd		Los Gatos, CA	I support plant based diet education programs
Hamilton	Georgia		Los Gatos, CA	
Hamilton	Scott		Los Gatos, CA	
Harrison	Julia		Los Gatos, CA	
Hassoun	Joe		Los Gatos, CA	
Haylock	Archna		Los Gatos, CA	Yes we need more options at school and at local restaurants.
Hemmis	Matt		Los Gatos, CA	
Hendry	Dan		Los Gatos, CA	
Hendry	Wendy		Los Gatos, CA	
Hinsche	Danielle		Los Gatos, CA	I am a resident of Los Gatos and I support the addition of a plant-based education program in the Town's 2040 General Plan.
Hiroshima	Kevin		Los Gatos, CA	
Hojjat	Sara	District Leader Volunteer- California Congressional District 18. Member of Plant-Based Advocates	Los Gatos, CA	
Honorio	Mia		Los Gatos, CA	
Houghton	John		Los Gatos, CA	
Howe	Chelsea		Los Gatos, CA	
Hsieh	Cynthia		Los Gatos, CA	I would love to see a vegan, zero waste restaraunt in Los Gatos.
Huang	Jenny		Los Gatos, CA	
Hussey	Jacklyn		Los Gatos, CA	Anything that will help save our planet I will definitely support!
Ingle	Lori		Los Gatos, CA	
Isaacs	Varily		Los Gatos, CA	
Iyer	Harish		Los Gatos, CA	
Javey	Shahram		Los Gatos, CA	
Jog	Chetan		Los Gatos, CA	
Johnson	Karen		Los Gatos, CA	
Johnston	Jan		Los Gatos, CA	
Juhl	Linda		Los Gatos, CA	Thank you
Kamali	Kristine		Los Gatos, CA	
Karavelioglu	Sevil		Los Gatos, CA	
Keating	Kathleen		Los Gatos, CA	I believe it is to the best interest of Los Gatos to establish a plant based education program at the high school and for the general public. I believe many of our children and others need to know that plant based eating is good for their bodies if done right. Please provide funding for an education for plant based eating. Please sponsor cooking classes as well.
Keller	Lisa		Los Gatos, CA	Love it. Yes!!
Koch	Charlene Foster		Los Gatos, CA	I would LOVE to see this happen!! So very needed.
Koke	Cynthia		Los Gatos, CA	
Kollu	Badrinath		Los Gatos, CA	
Kurlin	Carolyn		Los Gatos, CA	
Kurlin	Gregg		Los Gatos, CA	
Kurtz	Karen		Los Gatos, CA	
Lasso	Alberto		Los Gatos, CA	

Lawton	Ann	Los Gatos, CA	YES!
Lazzarino	Dominic	Los Gatos, CA	
Le	Denise	Los Gatos, CA	I'm not a vegan or vegetarian but I'd love to incorporate more plant based and less meat protein to my diet.
Leeds	Felice	Los Gatos, CA	
Lesko	Camille	Los Gatos, CA	Cooking classes are a great idea!
Levine	Joshua	Los Gatos, CA	
Levine	Marni	Los Gatos, CA	
Lewis	Jessica	Los Gatos, CA	Education is key for this important information. Thanks to all involved in making this happen!
Lammers	Victoria	Los Gatos, CA	Need more vegetarian places/options
Li	Van	Los Gatos, CA	
Liu	Andre	Los Gatos, CA	
Liu	Calista	Los Gatos, CA	
Liu	Gabriela	Los Gatos, CA	
Lockman	Juliana	Los Gatos, CA	
Lorig	Glenn	Los Gatos, CA	
Lorig	Sue Ann	Los Gatos, CA	
Lowe	Debbie	Los Gatos, CA	
McKinnon	Skyler	Los Gatos, CA	
Madduri	Sandeep	Los Gatos, CA	
Malhotra	Priti	Los Gatos, CA	
Malhotra	Neeraj	Los Gatos, CA	
Mandurrango	Gloria	Los Gatos, CA	A fantastic idea!
Margolis	Sonya	Los Gatos, CA	
McGill	Alex	Los Gatos, CA	
McInerney	Celeste	Los Gatos, CA	
Menhardt	Trixi	Los Gatos, CA	
Mordaunt	Joshua	Los Gatos, CA	
Newlin	Kerry	Los Gatos, CA	
Mager	Nan	Los Gatos, CA	
Mano	Robin	Los Gatos, CA	
Martins	Rosilene	Los Gatos, CA	
Meinhardt	Suzanne	Los Gatos, CA	
Miramontes	Emily	Los Gatos, CA	
Morley	Eric	Los Gatos, CA	
Nguyen	Kim	Los Gatos, CA	
Niederauer	Tricia	Los Gatos, CA	
North	Pamela	Los Gatos, CA	
O'Connor	Rebecca	Los Gatos, CA	
O'Toole	June	Los Gatos, CA	
Park	Monica	Los Gatos, CA	
Parker	Dana	Los Gatos, CA	
Parsons	Daniel	Los Gatos, CA	
Parsons	Debbie	Los Gatos, CA	

Parsons	Jackie		Los Gatos, CA	
Parsons	James		Los Gatos, CA	
Parsons	John		Los Gatos, CA	
Patel	Minal		Los Gatos, CA	
Rai	Vivek		Los Gatos, CA	Yes, I am in for plant based projects.
Raad	Mona		Los Gatos, CA	
Raad	Ellie		Los Gatos, CA	
Ramaswamy	Vinay		Los Gatos, CA	
Ram	Amrith		Los Gatos, CA	
Ramesh	Mythri		Los Gatos, CA	Made verbal comments at GPAC
Reese	Dirk		Los Gatos, CA	
Rennie	Isabella		Los Gatos, CA	
Reyna	Melody		Los Gatos, CA	
Reyna	Orlando		Los Gatos, CA	
Rhine	Molly		Los Gatos, CA	
Richter	Jessica		Los Gatos, CA	
Riley	Kate		Los Gatos, CA	
Rittenhouse	Simone		Los Gatos, CA	
Robinson	Kari		Los Gatos, CA	
Rovin	Lynne		Los Gatos, CA	
Rovin	Stuart		Los Gatos, CA	
Rubio	Karen	CERT volunteer	Los Gatos, CA	Made verbal comments at Town council meeting for 2040 General plan
Rubio	Fred		Los Gatos, CA	
Rubio	Erik		Los Gatos, CA	
Rude	Christina		Los Gatos, CA	
Ry	Regina		Los Gatos, CA	
Sand	Gretchen		Los Gatos, CA	
Sardana	Manan		Los Gatos, CA	
Sarkar	Prasenjit		Los Gatos, CA	
Sathyamurthy	Shreelatha		Los Gatos, CA	I strongly support this initiative.
Schirmer	Lisa		Los Gatos, CA	
Schwartz	Jan		Los Gatos, CA	
Shah	Bhanik		Los Gatos, CA	
Shah	Swati		Los Gatos, CA	I support the local effort!
Shoff	Sue		Los Gatos, CA	
Seshadri	Sruba		Los Gatos, CA	
Smith	Angie		Los Gatos, CA	
Smith	Rucy	Climate Reality presenter and activist	Los Gatos, CA	
Sneddon	Laura		Los Gatos, CA	
Snyder	Stephen		Los Gatos, CA	
Srinivasan	Kiran		Los Gatos, CA	
Starov	Vladimir		Los Gatos, CA	I fully support this worthy cause!
Stillinger	Kelsey		Los Gatos, CA	Would love to see more emphasis on plant-based diet - through restaurants, education, community garden, etc.
Stone	Helen		Los Gatos, CA	

Stone	Paul		Los Gatos, CA	
Streicker	Robin		Los Gatos, CA	
Tompkins	Liz		Los Gatos, CA	
Venkatesan	Arun		Los Gatos, CA	
Venkatsubramanyan	Shailaja		Los Gatos, CA	Made verbal comments at GPAC
Von Luehrte	Missy		Los Gatos, CA	
Vuckovich	Melissa		Los Gatos, CA	
Waters	Michelle		Los Gatos, CA	
Wade	Christopher		Los Gatos, CA	
Wade	Lisa		Los Gatos, CA	Gave verbal comments at GPAC
Wade	Lucas		Los Gatos, CA	
Wade	Stephen		Los Gatos, CA	
Wade	Charles	Audobon Society Lifetime Achievement Award	Los Gatos, CA	
Wales	Pamela	CERT; Animal search and rescue disaster response team; animal sanctuary volunteer	Los Gatos, CA	
Walker	Kelsey		Los Gatos, CA	
Waters	Michelle		Los Gatos, CA	
Wentzien	Erin		Los Gatos, CA	
White	Tony		Los Gatos, CA	
White	Hillary		Los Gatos, CA	
Willey	Kathleen		Los Gatos, CA	Gave verbal comments at GPAC
Willey	Mark		Los Gatos, CA	
Willing	Lara		Los Gatos, CA	Plant based eating is part of a long term solution.
Wilson	Beth		Los Gatos, CA	
Yannoni	Mike		Los Gatos, CA	
Yosfee	Hanley		Los Gatos, CA	
Zilka	Stephanie		Los Gatos, CA	Let's join the scientific community and educate people about the importance of plant based living!!! It's vital to the survival of our planet and species!!!
Organizations Endorsing our Proposal				
Plant-Based Advocates of Los Gatos http://www.plantbasedadvocates.com/				
TWW/Indivisible-Los Gatos https://www.twwl.org/				
Sierra Club Loma-Prieta https://www.sierraclub.org/loma-prieta				
Center for Biological Diversity https://www.biologicaldiversity.org/				
Acterra: Action for a Healthy Planet https://www.acterra.org/				
Eat for the Earth (Based in Santa Cruz) https://www.eatfortheearth.org/				
SAFE Worldwide https://www.safeworldwide.org/ (Based in Monte Sereno)				

		Green Monday USA https://greenmondayus.org/		
		Factory Farm Awareness Coalition https://www.ffacoalition.org/		
		A Well-Fed World https://awellfedworld.org/		
		Physicians Against Red Meat https://pharm.org/		
		Other Community and Business Leaders		
Hicks	Alison	City Council Member of Mountain View		
Ramirez	Lucas	Vice Mayor of Mountain View and Council Member		
Brook	Dan	Professor at SJSU; author; environmentalist	San Jose State University	
Gurunathan	Mohan	Environmentalist; designed Mountain View plant-based outreach program	Mountain View, CA	
Love	Beth	Environmentalist; Founder of Eat for the Earth, a Santa Cruz-based group promoting plant-based diets for sustainability	Santa Cruz, CA	
Mackey	Mary	Actress; Model; SAG BookPals program (reading to children in homeless shelters) and LIFE (Living in Freedom Everyday) Program, teaching life skills to inmates	San Jose, CA	
Middlesworth	Linda	Owner, V-Dog; health coach	Sacramento, CA	
Sehgal	Tony	Documentary Filmmaker	Saratoga, CA	
		Support from Neighboring Residents		
Adalja	Anish		San Jose, CA	
Anand	Monico		San Jose, CA	
Balachandran	Jackie		San Jose, CA	As a vegetarian of 17 yrs and a registered nurse, I strongly support this plant-based education program because I believe it will help improve the health of members in our community.
Berlinberg	Jacqueline		Monte Sereno, CA	
Bengt	Amanda		San Jose, CA	
Bevard	Mariah		Monte Sereno, CA	
Castro	Jennifer		San Jose, CA	I support adding an education component to the Los Gatos 2040 plan which would educate citizens about plant-based foods.
Chaykin	Lori		Monte Sereno, CA	
Chugh	Rahul		San Jose, CA	
Duguma	Jemanesh		Campbell, CA	
East	Rowena		San Jose, CA	
Emerson	Ziba		San Jose, CA	Good job.
Giacomini-McDonald	Cathy		Monte Sereno, CA	
Guh	Teresa		Monte Sereno, CA	

Harrold	Kat		Campbell, CA	Thank you for this, I frequent Los Gatos so this would be great to see. Also I believe in the power of empowering our local farmers, and the more money we can get them, the better for everybody locally. Back to our roots! Better for the planet and better for everyone
Isis	Dawn		Campbell, CA	Though I don't live IN Los Gatos, I hope my support will indicate interest in this important issue in the wider area, & that Los Gatos may become a model for addressing it.
Jain	Beena		San Jose, CA	I support the educational program.
Kinger	Amit		San Jose, CA	
Lambert	Jennifer		Monte Sereno, CA	
Lanzl	Linda		Monte Sereno, CA	
Matar	Elizabeth		Monte Sereno, CA	Thank you! Yes!!!
Matar	Lisa		Monte Sereno, CA	Thank you! I'm completely in for this!!
Mesler	Michelle		San Jose, CA	
Mulchandani	Mukesh		Campbell, CA	Moving to Los Gatos soon!
Petroff	Patrice		Monte Sereno, CA	
Ramirez	Gustavo		San Jose, CA	We need more plant based food options! The meat industry is cruel and unsustainable.
Renson	Kellee		Monte Sereno, CA	Yes need more veggie places to eat
Shearer	David		San Jose, CA	I support this effort
Stolberg	Robb	Environmental Education: Veggielution, Walden West	San Jose, CA	
Streicker	Robin		Monte Sereno, CA	
Thakur	Smita		Saratoga, CA	I have been plant based for the last two years. It has made me healthier and it's the best thing for the planet. Would love to have more people join plant based way of life.
Woodhouse	Dori		San Jose, CA	



May 5, 2021

Jennifer Armer, Senior Planner
Community Development Project
Town of Los Gatos
Via JArmer@losgatosca.gov

Dear Ms. Armer,

On behalf of the Center for Biological Diversity and our California members, I thank you for considering food sustainability initiatives and emissions strategies in the Los Gatos General Plan. The Center strongly **supports** these actions.

The Center for Biological Diversity is a national conservation nonprofit with nearly 2 million members and supporters. Our expertise is grounded in a staff of scientists and legal experts tackling crucial issues like climate change and effective mitigation strategies. Food emissions are a substantial part of global and national human-induced greenhouse gas emissions.

Studies show we cannot meet climate mitigation targets without tackling emissions from the food and agriculture sector, and namely by shifting diets toward lower emissions foods. The agriculture sector accounts for as much as [37%](#)¹ of global greenhouse gas emissions. Food procurement is an important opportunity to reduce consumption-driven emissions.

Most emissions come from only a few types of foods. The foods with the highest emissions are [meat and dairy](#) products,² which are responsible for approximately half of all food-related emissions and [16%](#)³⁴ of global greenhouse gases. The overproduction (and consumption) of meat and dairy come with a high cost to the [climate](#),⁵ as well as to [water](#)⁶, [land](#)⁷, and [biodiversity](#)⁸. Tracking institutional food purchases and shifting toward climate-friendly foods is a crucial climate solution that also has health and other environmental benefits.

Unfortunately, some sustainability initiatives overlook the need to address overproduction of animal-based foods in their commitments. Instead, municipal plans should build on frameworks of supporting

¹ Intergovernmental Panel on Climate Change (2019). Special Report on Climate Change and Land Use. <https://www.ipcc.ch/srccl/>.

² Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

³ Calculated using the 2017 online update to the FAO 2013 GLEAM assessment that estimates the livestock sector emitted 8.1 GT CO₂eq in 2010 (using 298 and 34 as global warming potentials for N₂O and CH₄, based on the IPCC 2014 report). The IPCC 2014 report estimates total anthropogenic GHG emissions in 2010 of 49 GT CO₂eq. See: FAO, Global Livestock Environmental Assessment Model (GLEAM) [online], Rome, www.fao.org/gleam/en/ and IPCC [Intergovernmental Panel on Climate Change], Climate Change 2014: Synthesis Report. Contribution of Working Groups I, II and III to the Fifth Assessment Report of the Intergovernmental Panel on Climate Change, [Core Writing Team, R.K. Pachauri & L.A. Meyer (eds.)], IPCC, Geneva, Switzerland (2014), http://www.ipcc.ch/pdf/assessment-report/ar5/syr/SYR_AR5_FINAL_full_wcover.pdf.

⁴ Gerber, P. J., Steinfeld, H., Henderson, B., Mottet, A., Opio, C., Dijkman, J., ... & Tempio, G. (2013). Tackling climate change through livestock: a global assessment of emissions and mitigation opportunities. Food and Agriculture Organization of the United Nations (FAO). <http://www.fao.org/3/i3437e/i3437e.pdf>.

⁵ University of Michigan. Center for Sustainable Systems (2017). Carbon Footprint Factsheet. http://css.umich.edu/sites/default/files/Carbon%20Footprint_CSS09-05_e2020_0.pdf.

⁶ Water Footprint Network (2021). Water Footprint of Crop and Animal Products: A Comparison. <https://waterfootprint.org/en/water-footprint/product-water-footprint/water-footprint-crop-and-animal-products/>.

⁷ Carbon Brief (2021). Interactive: What is the Climate Footprint of Eating Meat and Dairy? CarbonBrief.org. <https://interactive.carbonbrief.org/what-is-the-climate-impact-of-eating-meat-and-dairy/>.

⁸ Center for Biological Diversity (2021). Extinction Facts. TakeExtinctionOffYourPlate.com.

environmental goals through procurement, in line with similar efforts regarding recycled and sustainable products and local food. Food procurement has [a significant impact](#)⁹ on the environment and overall municipal emissions and can often be addressed by resolution or executive directive requiring government food purchases to meet specific guidelines.

Making a moderate shift toward climate-friendly menus can make a big difference in advancing sustainability goals, particularly emissions targets. The [2018 Intergovernmental Panel on Climate Change](#)¹⁰ affirmed we have only a decade left to avoid irreversible climate damage. This fact has driven municipalities to include meat and dairy reductions as key factors in emissions reductions and sustainability policies, including the initiatives recommended to add to the Los Gatos General Plan.

For example, Los Angeles, California recently joined the [C-40 cities](#) initiative; and Santa Monica, CA integrated [food procurement commitments](#) into their Climate Action Plan and committed to a 15% reduction of meat and dairy procurement to meet its emissions targets; Carrboro, North Carolina has set [food emissions targets](#) in their Climate Action Plan and set a goal to reduce emissions from consumption by 50% by 2025; Denver, CO found emissions from [food procurement](#) accounted for 14% of overall emissions, nearly equal to emissions from residential energy and gasoline-powered vehicles.

Reducing beef procurement – if replaced with plant-based foods - would immediately help reduce the city’s emissions as beef emits more greenhouse gases than any other food.¹¹ Beef is also a [particularly water-intensive process](#) that depletes vital watersheds, from the Colorado River to local waterways.¹² Thus, reducing beef procurement also supports water conservation goals. Given California’s drought, wildfires and extreme weather, municipalities must do what they can to support water-saving efforts.

Cities and townships must strive to mitigate the emissions associated with municipal operations. Increasing support for local produce growers will also improve engagement with farmers markets and local food hubs, bringing economic benefits to your community. Similarly, increasing access to healthy, climate-friendly foods with city-supported neighborhood-based community gardens bring equitable solutions for those who lack access to healthy, sustainable foods.

Sustainable food policies can [increase climate resilience, help eradicate poverty](#)¹³, improve public health and equity, and [protect biodiversity](#).¹⁴ The urgency of these issues and the health of the planet demand action to transform unsustainable food systems.

Sincerely,

Jennifer Molidor, Ph.D.
Senior Food Campaigner
Center for Biological Diversity
BiologicalDiversity.org
jmolidor@biologicaldiversity.org

⁹ United Nation System Standing Committee on Nutrition (2017). Sustainable Diets for Healthy People and a Healthy Planet. <https://www.unscn.org/uploads/web/news/document/Climate-Nutrition-Paper-EN-WEB.pdf>.

¹⁰ Intergovernmental Panel on Climate Change (2018). Special Report on Global Warming of 1.5c. <https://www.ipcc.ch/sr15/>.

¹¹ Our World in Data (2020). Environmental Impacts of Food Production. <https://ourworldindata.org/food-choice-vs-eating-local>.

¹² Richter, B. (2020). Water Sustainability and Fish Imperilment Driven by Beef Production. *Nature Sustainability*. <https://www.fs.usda.gov/treesearch/pubs/59918>.

¹³ Smith, P. (2012). “Climate Change and Sustainable Food Production.” Cambridge University Press. <https://www.cambridge.org/core/journals/proceedings-of-the-nutrition-society/article/climate-change-and-sustainable-food-production/DE02043AE462DF7F91D88FD4349D38E7>.

¹⁴ Food and Agriculture Organization (2010). Sustainable Diets and Biodiversity. <http://www.fao.org/3/i3004e/i3004e.pdf>.

From: Sue Ann Lorig
Sent: Friday, April 8, 2022 11:21 AM
To: Jennifer Armer; Council
Subject: Please add a plant-based education program to Section 8 of the Environmental section of the General Plan

Dear Ms. Armer and Town Council:

I am Sue Ann Lorig and a resident of Los Gatos. I am writing you to request that a plant-based education program be added to Section 8 of the Environmental section of the General Plan.

The IPCC has stated that to avoid climate catastrophe, global emissions must be halved by 2030. That means we must do everything we can now to reverse climate change.

Right behind fossil fuels in the causes of climate change is industrial animal agriculture, which we can address as individuals and a community by reducing our consumption of animal products and eating more plants.

Industrial animal agriculture currently occupies more than half of the world's arable land resources, uses the majority of our freshwater stores, and expels more greenhouse gas emissions than the entire transportation sector. Additionally, it causes rampant air and water pollution, land degradation, and deforestation, and is pushing countless species to the brink of extinction.

It takes 160 times more land resources to produce beef than it does to produce vegetables, fruits, and legumes. The rainforests, the planet's lungs, are being burned as we speak to clear land for more animal agriculture.

But it's not just beef. It's also chickens, pigs, dairy cows, and the other farm animals that make up our current farming system. The entire livestock system currently occupies 45% of the planet's land surface. In comparison, 95% of the human population occupies 10% of the world's land.

In addition to using scarce land, we're using scarce water resources to grow food to feed animals for food. In the U.S., 47% of soy and 60% of corn is consumed by livestock. An average cow will consume around 1,000 pounds of feed every few months. Within a short lifetime, that cow will use about 183,500 gallons of water through feed alone.

When you include the millions of gallons for everything from hydration to washing excrement off concrete floors, cleaning blood and grease from the equipment in the butchering process, etc., it takes about 1,800 gallons of water on average to produce 1 pound of meat.

Dairy cows use tons of water, too, with about 2,000 gallons of water being used to create just one gallon of milk.

In one year, the average American consumes roughly 58 pounds of beef, 50 pounds of pork, and 91 pounds of chicken. The water that it takes to produce just a pound of each one of those meats is approximately 1,800 gallons, 576 gallons, and 468 gallons, respectively. To put this into perspective, it only takes 119 gallons of water to produce 1 pound of potatoes.

Simply stated, if we used all of this water to produce food for direct human consumption, rather than the roundabout process of industrial meat farming, we would have a lot more food and a whole lot more water to go around.

With respect, I implore you to add a plant-based education program to Section 8 of the Environmental section of the General Plan.

Sincerely,
Sue Ann Lorig
Los Gatos, CA

From: Christopher Wade
Sent: Friday, April 8, 2022 1:14 PM
To: Jennifer Armer; Council
Subject: Plant-Based Education

To the Planning Commission,

Thank you for your tireless work on the General Plan. I have lived in Los Gatos for more than 40 years. My family moved here when I was a kid, and I attended Blossom Hill School, Fisher Middle School, and Los Gatos High School.

I'd like to request that you please add a plant-based education program to the implementation programs in Section 8 (Environmental and Sustainability Element) of the General Plan.

Many cities are taking measures to facilitate a shift to plant-based diets, and I'd like to see Los Gatos make more progress in this direction.

Under Mayor Eric Adams, New York City recently introduced Vegan Fridays serving plant-based meals to all students as the default on Fridays. If students want animal products they must request that option.
<https://gothamist.com/food/nyc-public-schools-will-start-vegan-fridays>

Mayor Adams is also expanding a Plant-Based Lifestyle Medicine Program (that was piloted in Bellevue) to five new health and hospital locations across the city.
<https://gothamist.com/food/mayor-adams-expand-plant-based-eating-clinic-all-five-boroughs>

Adams said that after becoming vegan in 2016, he reversed his Type 2 diabetes, including loss of vision and nerve damage. In fact, he wrote a book on this subject called, "Healthy at Last: A Plant-Based Approach to Preventing and Reversing Diabetes and Other Chronic Illnesses."

I'd like to see Los Gatos follow in the footsteps of cities such as New York, Mountain View, Berkeley and so many more.

Sincerely,
Chris Wade

From: Julie Struthers

Sent: Friday, April 8, 2022 2:07 PM

To: Jennifer Armer; Council

Subject: Include Plant Based Education in Town General Plan

Dear Los Gatos Town Council,

I have been a Los Gatos Resident since 1999 and I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

kind regards,

Julie Struthers

From: Nick Struthers

Sent: Friday, April 8, 2022 2:07 PM

To: Jennifer Armer; Council

Subject: Town General Plan to include Plant Based Education

Dear Los Gatos Town Council,

I have been a Los Gatos Resident since 1999 and I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

kind regards,

Nick Struthers

From: roberto anji
Sent: Sunday, April 10, 2022 9:26 AM
To: Jennifer Armer
Cc: Council
Subject: Section 8 the Environmental section of the General Plan.

Dear Jennifer,

My name is Roberto Anji and I am a resident of Los Gatos staying at

I wanted to add my support to add Plant Based Nutrition and Education to the towns General Plan.

Just like Climate Change is now a Household word we need to add Veganism as well as it has a multitude of benefits not only for our planet but also our health. There is no need to covert everyone to be Vegan 24x7, just a few days a week can make a tremendous impact and once pople change their habits they will also support the Vegan industry in developing a bigger variety of tasty Vega food. Have you tried Vegan Gouda Cheese available at Whole Foods? It is a pretty good imitation. More like that will arrive if we support the industry and Los Gatos can proudly be at the forefront by adding it to their plan.

Thanking you in advance!

- Roberto

From: Beth Wilson

Sent: Sunday, April 10, 2022 12:07 PM

To: Council; Jennifer Armer

Subject: Plant Based Diet Education

Hello,

My name is Beth Wilson and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Thank you,
Beth Wilson

From: Dirk Reese
Sent: Sunday, April 10, 2022 1:05 PM
To: Jennifer Armer
Cc: Council
Subject: Plant-Based Education in the Town General Plan

Los Gatos Town Council,

My name is Dirk Reese and I live in Los Gatos. I am writing to ask that we include a plant-based education program to Section 8 Environmental and Sustainability section of the General Plan. I feel that it is important for residents of Los Gatos to be aware of the huge environmental benefits of a plant-based diet, and I'd like to see the Town fund education on this topic.

Sincerely,

Dirk Reese
Los Gatos

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 4/13/2022

ITEM NO: 3

DESK ITEM

DATE: April 13, 2022
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Review and Make Recommendations on the Draft 2040 General Plan and Final Environmental Impact Report to the Town Council.

REMARKS:

In response to a question from a Planning Commissioner, staff has calculated that if the properties in the Central Business District designation were reverted to the housing density allowed in the existing 2020 General Plan, the reduction in housing units from that change would be 76 units.

Exhibit 12 contains Planning Commissioner comments.

Exhibit 13 includes public comment received between 11:01 a.m., Monday, April 11, 2022, and 11:00 a.m. on Wednesday, April 13, 2022, plus one comment that was unintendedly omitted from the Addendum Report.

EXHIBITS:

Exhibits previously provided (available online here: <http://losgatos2040.com/documents.html>):

1. Draft 2040 General Plan
2. Draft EIR
3. Revised NOA and Transportation section
4. Final EIR

Exhibits previously received with the April 13, 2022 Staff Report:

5. Draft Findings of Fact and Statement of Overriding Considerations
6. GPAC Recommended Changes to the Vision and Guiding Principles

PREPARED BY: Jennifer Armer, AICP
Planning Manager

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: Draft 2040 General Plan and Final EIR

DATE: April 13, 2022

EXHIBIT (continued):

7. Modifications Proposed in Public Comment
8. Board of Forestry Recommended Changes
9. Public Comments received between 11:01 a.m., Thursday, May 6, 2021, and 11:00 a.m. Monday, September 20, 2021
10. Public Comments received between 11:01 a.m., Monday, September 20, 2021, and 11:00 a.m. on Thursday, April 7, 2022

Exhibit previously received with the April 13, 2022 Addendum:

11. Public Comments received between 11:01 a.m., Thursday, April 7, 2022, and 11:00 a.m. on Monday, April 11, 2022

Exhibits received with this Desk Item:

12. Planning Commissioner Comments
13. Public Comments received between 11:01 a.m., Monday, April 11, 2022, and 11:00 a.m. on Wednesday, April 13, 2022

Los Gatos Draft 2040 General Plan Comments from Commissioner Clark

Below are some changes I would like to see made to the Draft 2040 General Plan in the Planning Commission's recommendation to Town Council, as well as some comments and topics for conversation. They are sorted as (A) Wording Changes; (B) Broader Changes; and (C) Topics for Discussion.

A. Wording Changes: Below are recommended wording changes. Some are more substantive than others.

1. 1-15 *Cross-cutting Topic Icons*

Items marked with this icon are designed to identify goals ~~and policies, policies, and policies~~ that affect and promote overall community health.

2. 2-3 *Key Terms*

Equality. ~~The state of being equal, especially in status, rights, and opportunities.~~ **Equal opportunity, levels of support, and allocation of resources, regardless of different circumstances.**

Equity. ~~Fairness or justice in the way people are treated.~~ **Differing allocation of opportunities, levels of support, and resources based on each person or group's circumstances and needs, thereby reaching an equal outcome.**

3. 2-4 *RSEJ-2.7 Cultural Proficiency and Anti-Bias Training for Town Staff*

Develop and implement **engaging, substantive, and interactive** cultural proficiency and anti-bias training for all Town employees and support similar training efforts undertaken by the business community.

4. 2-7 *RSEJ-6.6 Accessibility to Town Events*

Schedule Town events using different days, times, and formats (i.e., virtual and digital accessibility) to encourage and facilitate participation among community members with work, school, and other obligations that conflict with more traditionally scheduling.

5. 2-8 2.4 *Implementation Programs. H Career and Job Training*

Coordinate with the Chamber of Commerce and other organizations, **including local nonprofits**, to organize an annual career and job fair with local employers to highlight local employment and employment training opportunities for Los Gatos residents.

6. 3-35 *LU Implementation Program M (Distribute Neighborhood Meeting Guidelines)*

Prepare and distribute information describing guidelines for conducting neighborhood meetings and criteria for reporting the results of neighborhood meetings with project applications. **A neighborhood meeting can take the form of an informal gathering between neighbors to review and discuss a project, an open house put on by a property owner or developer, or any convening of those who live in proximity to a proposed project with the purpose of discussing the project.**

7. 4-5 *CD-1.4 Memorable Places Through Infill Development*

Promote infill development projects that create memorable places throughout the Town through high-quality architecture, pedestrian oriented streetscapes, and age-friendly designed public spaces. **Memorable places, while hard to define, are structures, landscapes, amenities, and other features that stand out compared to sometimes monotonous streets, making these locations more “memorable.”**

8. 8-17 *ENV-13.8 Increase Historical and Cultural Awareness*

Support a community sense of stewardship for historic and cultural resources both through supporting talks, tours, and other programs that increase awareness and promote Los Gatos as a destination with historic cultural resources **and through including Ohlone people in the conversation and planning.**

9. 8-17 *8.8 Tribal Cultural Resources*

Los Gatos is in an area once occupied by the Ohlone (or Costanoan) people, which extends from the point where the San Joaquin and Sacramento rivers flow into the San Francisco Bay to Point Sur, with the interior Coastal Ranges most likely constituting the inland boundary. Before ~~colonization-outside contact~~, Ohlone lived in base camps of tulereed houses and seasonal specialized camps. Ohlone ate food gained by hunting, gathering, and fishing. Mussels were particularly important to their diet, as well as sea mammals and acorns.

Seven Franciscan missions were built in Ohlone territory in the late 1700s, and all members of the Ohlone group were eventually ~~forced brought~~ into the mission system. After the establishment of the missions, the Ohlone population ~~dwindled~~ **was decimated** from roughly 10,000 people in 1770 to 1,300 in 1814. In 1973, the population of people with Ohlone descent was estimated at fewer than 300 **after what is widely cited as a genocide**. The descendants of the Ohlone united in 1971 and have since arranged political and cultural organizations to revitalize, **maintain, and pass on** ~~aspects of~~ their culture.

B. Broader Changes: Below are some changes I recommend that do not warrant specific wording changes at this time or are not wording-related changes.

1. 1-6 *1.5 The Los Gatos Community*

In the three-paragraph history and context of Los Gatos, the only mention of the Ohlone people is “The Ohlone lived sustainably in the area rich with fertile soils, abundant wildlife, and other natural resources.” Provide direction for staff and Council to include additional information about the Ohlone in relation to the land that the Town of Los Gatos now occupies and the cultural history of the land, rather than only the topographical history.

2. 2-9 *Racial, Social, and Environmental Justice Element Implementation Programs*

Add an implementation program after Program K (Community Engagement) to Implement Policy RSEJ-4.1 Acceptance of Government Issued Vouchers. The program should be implemented between 2020-2025 and include Cross-cutting Topic Icons EJ and HC.

3. 4-2 *Community Design Element Key Terms*

Add a definition of “rafters” to the Key Terms. Rafters are referenced in the definition of “Eave” with no definition of rafters the reader can refer to.

4. 4.6 *Implementation Programs. B Commercial Design Guidelines Update (and 4-10 CD-2.26)*

Include implementation of CD-2.26 (Climate Considerations in Site Design) to Implementation Program B and consider strengthening the language of CD-2.26. CD-2.26 plans to “Encourage applicants to consider the Mediterranean climate in Los Gatos and plan for sustainable site design to address adequate solar access, water conservation and retention, and wind conditions.” This will increase the likelihood that this component of the General Plan is implemented, as the policy will be considered during updates to the Commercial Design Guidelines. Additionally, consider strengthening the language of CD-2.26 by adding a formal incentive to encourage applicants or requiring applicants to take measures to accommodate the Town’s Mediterranean climate.

5. 5-9 *Implementation Programs. D Community Shuttle System*

Change the implementation timeline of Program D Community Shuttle System from 2026-2040 to 2020-2025. While this program may not be fully implemented before 2026, the Town should begin work on this during the period of 2020-2025. A community shuttle system is an important option to consider, particularly given current and upcoming struggles with parking, Vehicle Miles Traveled (VMT), and Greenhouse Gas (GHG) emissions.

6. 8-17 8.8 *Tribal Cultural Resources*

In addition to the recommended wording changes listed above, add a third paragraph focusing on what Ohlone people do today. Many of the cultural practices referenced as historical are still taking place, and Ohlone culture is still very much alive. Additionally, work with Native people to ensure use of the term “Ohlone” is correct (rather than “Tamien,” for example).

C. Topics for Discussion: Below is one topic I think we should consider during our discussion at the meeting.

1. (No page number) *Clarification of “Encourage”*

- a. The word “encourage” is used consistently throughout the document in descriptions of policies and how they will be implemented. While this is necessary because this word can hold many definitions and varies between topics and elements, it is also important to ensure we all understand what “encourage” means in the context of the General Plan. Because a very significant number of policies plan to “encourage” a course of action, we need to ensure this encouragement can/will have an impact and that there are tangible examples of “encouragement.” The Commission should discuss this potential challenge and determine whether there does appear to be a need for clarification.

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From: Laura Montonye Reese
Sent: Friday, April 8, 2022 8:54 AM
To: Jennifer Armer
Subject: Council@LosGatosCA.gov

Hello Ms. Armer,

My name is Laura Reese and I live in Los Gatos near the University Avenue fire station.

I'm emailing you with a request: **please include a plant-based education program in the Environmental and Sustainability section of the General Plan (Section 8).**

Los Gatos residents need to understand the enormous environmental impact of their food choices. They need to know how choosing plant-based options three times a day can positively impact climate change, water quality, and air quality, not to mention improving the lives of farmed animals.

Here is an excellent resource for **exploring the environmental impacts** of our food choices: <https://www.plantbaseddata.org/>

I'll quickly add that education is only the beginning. The more we can make plant-based options the defaults at restaurants and civic gatherings, the more impact we can have. I refer you to the Default Veg website for ideas for nudging a **population toward making plant-based choices** <https://www.defaultveg.org>

Thank you,

Laura Reese

From: Phil Koen
Sent: Tuesday, April 12, 2022 6:33 AM
To: Jennifer Armer; Shelley Neis
Cc: jvannada; Rick Van Hoesen; David Weissman; Francois, Matthew
Subject: Agenda Item #3 - Planning Commission Meeting

Hello Shelley and Jennifer,

Would you please include the email below in the Planning Commission's package for the April 13 Planning Commission? Thank you.

Dear Planning Commissioners,

Attached please find a modified Table 3-1 "General Plan Residential Buildout" found in the draft 2040 General Plan. The only change to the table is the addition of the column labeled "Derived Draft GP Total units".

This column reflects the total new units (redeveloped) allowed by the proposed increases in allowable densities for all land uses. The units shown were derived using the redevelopment percentage and the redeveloped new units found in the table.

For example, given a 15% redevelopment percentage for high density residential and a total of 268 new redeveloped units, the derived total new units at 100% redevelopment would be 1,787 units (e.g., $268 \text{ units} \times 15\% = 40.2 \text{ units}$).

It is important to understand that the Planning Commission is being asked to approve increases in zoning densities for all land use categories Town wide which will allow 14,618 additional new housing units. This number is approximately equal to the total number of housing units currently available in Los Gatos today. **Stated another way, the changes in zoning densities made by the 2040 General Plan would allow for the doubling of the current size of Los Gatos.**

If the high end of the market demand for housing over the next 20 years as forecasted by ADE is 1,954, and the minimum number of units the Town is required to plan based on the 6th cycle RHNA is 1,993,

why is it appropriate to double and triple land use zoning densities to allow for the redevelopment of 14,618 new units?

The answer is obvious – it is not warranted.

Changes to the current land use densities should be made only to the extent necessary to meet the 20-year market demand for new housing in Los Gatos of 1,954 and to comply with the minimum housing required by the 6th cycle RHNA of 1,993 plus 15% buffer (2,292). With that in mind, all the changes outlined on page 6 of the Staff report make sense and should be adopted by the Planning Commission. Please make these changes.

Thank you.

The Los Gatos Community Alliance

	Density Range (du/ac)		Typical Density		Redevelopment Assumptions		Draft General Plan	
Land Use Designation	Existing General Plan	Draft General Plan	Existing General Plan	Draft General Plan	Derived Draft GP Total Units	Assumed Redevelop %	New Housing (redev)	New Housing (vacant)
Low Density Residential	0 to 5	1 to 12	4	12	1,680	5%	84	283
Medium Density Residential	5 to 12	14 to 24	10	20	3,430	10%	343	224
High Density Residential	12 to 20	30 to 40	18	36	1,787	15%	268	110
Neighborhood Commercial	10 to 20	10 to 20	16	18	910	10%	91	26
Community Commercial	0	20 to 30	0	26	1,040	15%	156	
Mixed-Use	10 to 20	30 to 40	16	36	3,025	20%	605	126
Central Business District	10 to 20	20 to 30	16	26	753	15%	113	21
Office Professional	0	30 to 40	0	36	1,700	15%	255	4
Service Commercial	0	20 to 30	0	26	293	15%	44	10
Subtotal					14,618		1,959	804
Housing Units, New and Redeveloped								2,763
Housing Units, ADUs								500
Subtotal								3,263
Housing Units, Existing Projects								475
Total								3,738

From: Mendoza, Clarissa

Sent: Tuesday, April 12, 2022 2:56 PM

To: Planning Comment

Cc: Francois, Matthew; Rob Rennie; Maria Ristow; Mary Badame; Matthew Hudes; Marico Sayoc; Laurel Prevetti; Joel Paulson; Robert Schultz

Subject: Comments Regarding Final EIR For Proposed 2040 General Plan; April 13, 2022 Planning Commission Hearing, Agenda Item No. 3.

Dear Chair Hanssen and Members of the Planning Commission:

Attached please find written correspondence from Mr. Francois on behalf of the Los Gatos Community Alliance, in regards to the above-referenced matter.

Best,

Clarissa Mendoza

Legal Secretary

455 Market Street, Suite 1870 | San Francisco, CA 94105

O. (650) 263-7900 | D. (650) 320-1500 x7725

CMendoza@rutan.com | www.rutan.com



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April 12, 2022

VIA E-MAIL [PlanningComment@losgatosca.gov]

Honorable Melanie Hanssen, Chair
and Members of the Planning Commission
Town of Los Gatos
110 E. Main St.
Los Gatos, CA 95030

Re: Comments Regarding Final EIR For Proposed 2040 General Plan; April 13, 2022 Planning Commission Hearing, Agenda Item No. 3.

Dear Chair Hanssen and Members of the Planning Commission:

We write on behalf of the Los Gatos Community Alliance (“LGCA”), a group of concerned citizens, in regard to the Proposed Final Environmental Impact Report (“FEIR”) for the 2040 General Plan (the “Proposed Plan”).¹ In previous correspondence to the Town of Los Gatos (the “Town”), LGCA expressed its significant concerns with the Proposed Plan’s major upzoning of every residential and commercial land use district in the Town. We pointed out how such intensification was not studied in the Draft EIR (“DEIR”) as required by CEQA. We also explained that such intensification was entirely unnecessary to accommodate the 1,993 additional housing units needed per the Town’s Regional Housing Needs Allocation (“RHNA”), which itself was a 222 percent increase over the Town’s last RHNA allocation. We further pointed out that if the Proposed Plan’s upzoning were to be approved, the Town would generally be precluded from denying or reducing the density of any housing project that complied with those new density standards.

As detailed in our previously submitted comments and additional comments below, summarized below, the EIR remains significantly flawed and cannot legally be relied upon to adopt the Proposed Plan as currently proposed. Accordingly, we reiterate our request that the Town focus first on the Housing Element update. Once the Housing Element update has been finalized, the Proposed Plan should be revised to reflect it as well as the other recommended changes detailed in our March 22, 2022 letter, including restoring existing Low Density Residential densities and modifying other allowed densities so that build-out under the Proposed Plan would accommodate approximately 2,300 units, including units that would qualify as affordable. This would meet the Proposed Plan’s dual objectives of satisfying market demand and the Town’s new RHNA number.

¹ Members and/or supporters of LGCA include: former Mayor Joanne Benjamin, former Mayor Sandy Decker, former Mayor Tom Ferrito, former Mayor Steve Rice, former Mayor Barbara Spector, former County Superintendent of Schools Colleen Wilcox, Tim Lundell, Phil Koen, Don Livinghouse, Sandra Livinghouse, Lee Fagot, Ann Ravel, Rob Stump, Rick Van Hoesen, and Jak Vannada.

Honorable Melanie Hanssen, Chair and
Members of the Planning Commission
April 12, 2022
Page 2

1. The EIR Fails To Analyze The Reasonably Foreseeable Consequences Of The Proposed Plan.

The reasonably foreseeable consequence of the Proposed Plan is that growth above and beyond that studied in the EIR will occur in accordance with the increased densities and intensities permitted by the Proposed Plan. The FEIR claims the changed densities and intensities will not result in much added growth because of “assumptions” about the percentages of already improved land that will be redeveloped. The FEIR cites to the small percentage of vacant land (which still totals nearly 700 acres) and assumed redevelopment rates ranging from 5-15 percent for existing developed land. The FEIR claims that these assumed redeveloped percentages are reasonable based on historic growth rates and the need to satisfy and comply with the mandated RHNA number. (FEIR, p. 117.) There are several flaws with this explanation.

First, it appears that the EIR simply studied the RHNA number plus a buffer as well as units in the pipeline and accessory dwelling units. As such, the EIR did not study the actual project—the Proposed Plan—that is up for consideration. There is no acknowledgment whatsoever of the potentially significant impacts associated with the greatly increased densities and intensities in nearly every residential and commercial land use district.

Second, the historic, old growth rates tied to existing allowed densities/intensities are irrelevant in light of the proposed new densities/intensities and the economic demand associated with them. While the Town may have experienced growth of 40 units per year under current densities, the EIR needs to study what growth the Town may experience in light of the significantly higher densities allowed by the Proposed Plan.² (FEIR, p. 150.) It is unreasonable and unjustified to assume that the existing growth rate is the anticipated growth rate.³ (FEIR, pp. 144.) Even if the historic growth rates were relevant, there is no explanation at all how the redevelopment rates are correlated to the old growth rates. In other words, how does a 0.5 to 0.7 growth rate translate into an assumed redevelopment potential of 5-15 percent for residential lands and 10-15 percent for commercial lands?

² While the table on page 4 of the Staff Report correctly shows existing and proposed densities for residentially-designated properties, it incorrectly portrays existing densities for commercial and office lands. No residential densities are specified for these lands in the current General Plan.

³ Contrary to the FEIR, the court in *San Franciscans for Livable Neighborhoods v. City and County of San Francisco* (2018) 26 Cal.App.5th 596, did not sanction the approach used by the EIR consultants here. Instead, the court there found that a housing element which did **not** modify land uses or increase heights or densities properly “compare[d] the changes in the housing element to the existing environment, including existing height limits and densities.” (26 Cal.App.5th at 902, 910.) The difference here is that the Proposed Plan significantly increases densities and intensities in nearly every land use district and the EIR ignores the impact of those changes. The FEIR also cites another baseline case, *Communities for a Better Environment v. South Coast Air Quality Management District* (2010) 48 Cal.4th 310, which is not relevant to the FEIR’s failure to consider the reasonably foreseeable impacts of the Proposed Plan.

Honorable Melanie Hanssen, Chair and
Members of the Planning Commission
April 12, 2022
Page 3

Third, there is no correlation between the assumed redevelopment percentages and the acres of land to be redeveloped. For instance, the DEIR acknowledges that 4,460.93 acres are designated and developed as Low Density Residential. (DEIR, Table 4.11-1.) If five percent of these lands are assumed to be redeveloped at densities of 12 units per acre, this would produce 2,676 units. Yet, the EIR assumes only 84 new units will be produced. (DEIR, p. 4.11-2.) How this number was derived and why it is reasonable to rely on is nowhere explained in the EIR. Additionally, why are only 804 units assumed to be developed on approximately 700 acres of vacant land.⁴ (DEIR, p. 4.11-2.) This resulting density of 1.1 units per acre does not match the permitted densities ranging from 12-40 units per acre.

Fourth, the FEIR acknowledges that it did not assume any additional commercial development beyond that which is already approved and pending. (FEIR, p. 118.) This ignores the Proposed Plan's significant increase in allowed floor area ratios from 0.5 up to 3.0. It also ignores the potential for additional commercial development at these increased intensities on vacant lands.

Fifth, the deflated assumptions regarding redevelopment conflict with various goals and policies cited in the DEIR and FEIR. For instance, the DEIR states that the "Land Use Element promotes and emphasizes infill development and redevelopment of underutilized parcels." (DEIR, pp. 2-9; *accord*, DEIR, pp. 2-1, 4.4-12, 4.4-16, 4.17-9 and Proposed Plan, Goal CD-7 and Policies LU-5.1, CD-7.2, and MOB-7.1.) It states that development will occur primarily in already developed areas. (DEIR, p. 4.11-12 ["Unlike many communities where growth is primarily on vacant land, Los Gatos would see a higher percentage of change through redevelopment of lands that have development potential."]; *see also* DEIR, pp. 4.1-15, 4.4-13, 4.4-18, 4.4-20, 4.1 and FEIR, pp. 119, 122.)

Sixth, the arbitrary nature of the assumptions and complete lack of consideration of the economic pressures caused by upzoning is evident in the Alternatives section where the growth alternatives vary depending on the seemingly random percentages of redevelopment assumed to occur inside and outside Opportunity Areas. (DEIR, pp. 6-4, 6-9, 6-15.)

Finally, only in response to comments on the DEIR does the Town explain how the assumed redevelopment rates were derived. Even then, the explanations are flawed and unsupported. There is no explanation whatsoever of the assumptions in the DEIR. An agency cannot wait until a Final EIR to provide critical information so as to immunize itself from public scrutiny and comment.

In short, the EIR still fails to analyze the reasonably foreseeable consequences of the project. Although the Proposed Plan greatly increases densities and intensities in almost every land use designation, including Low Density Residential, the responses are that this growth will not

⁴ The assumed residential units on vacant land in Tables 4.11-2 (804) and Table 4.11-3 (504) do not match. Contrary to FEIR Response 9.49, Table 4.11-3 does not show acreage, it shows units.

Honorable Melanie Hanssen, Chair and
Members of the Planning Commission
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materialize based on the “percentages” of vacant land and “assumptions” about the amount of developed land that will be redeveloped. This response is not supported by substantial evidence, as required, and thus is legally inadequate.

2. The FEIR Acknowledges The Use Of Inconsistent And Conflicting Baselines.

The FEIR states that the Town used future conditions as its baseline. “The Draft EIR . . . uses the potential growth the Town is likely to achieve *by the year 2040* as its baseline for analysis of potential impacts. This is not a hypothetical number but based on existing conditions and the potential for future development in this time period.” (FEIR, p. 117 [emphasis added].) The FEIR then contradicts itself by saying “[t]he projected 3,738 dwelling units is comprised of multiple parts and focuses on the total buildout for the Town, *not just a 20-year horizon.*” (*Id.* [emphasis added].)

In reality, the baseline is the existing conditions, normally represented by conditions at the time the notice of preparation was released. (CEQA Guidelines § 15125.) Here, that would represent the Town’s existing residential and commercial development as of 2020. Reliance on a future conditions baseline, at least without any substantial evidence to justify it, is yet another flaw in the EIR. (*Neighbors for Smart Rail v. Exposition Metro Line Construction Auth.* (2013) 57 Cal.4th 439.)

At minimum, it raises an issue of shifting and inconsistent baselines. For instance, while the FEIR says the baseline is future growth under 2040 conditions, the DEIR suggests it relied on an existing conditions baseline, at least as to vehicle miles traveled and certain other resource categories. (DEIR, pp. 2-4, fn. 1, 4.9-14, 4.10-9, 4.15-23.) Among other courts, the Sixth Appellate District has overturned an EIR that relied on conflicting baseline information. (*Save Our Peninsula Committee v. Monterey County Bd. of Supervisors* (2001) 87 Cal.App.4th 99.)

3. The FEIR Fails To Adequately Analyze And Address Significant Transportation Impacts.

The RDEIR identifies a new significant unavoidable impact. Specifically, Impact T-1 now acknowledges a significant unavoidable impact to transit vehicle operations due to increased delays at intersections. The acknowledgment of this new significant impact requires consideration of feasible mitigation measures and alternatives to avoid or substantially lessen this impact. The RDEIR does neither.

As to Impact T-1, the RDEIR states that “[t]here are no feasible mitigation measures to reduce potentially significant effects related to transit operations and ridership.” (RDEIR, p. 4.15- 25.) An EIR cannot simply declare an impact significant and unavoidable without considering and imposing feasible mitigation measures.⁵ The RDEIR acknowledges that transit

⁵ (Public Resources Code §§ 21002, 21002.1(a), 21081(a)(3); CEQA Guidelines § 15091(a)(3); *California Native Plant Society v. City of Santa Cruz* (2009) 177 Cal.App.4th 957, 982; *City of Marina v. Board of Trustees of the California State University* (2006) 39 Cal.4th 341, 369.)


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operational improvements, such as signal coordination and transit vehicle preemption, could potentially improve the overall reliability of transit in congested areas. (RDEIR, p. 4.15-25.) Because these measures are “not likely to fully address” the impact, the RDEIR does not impose them as mitigation. (*Id.*) The FEIR states the measures are not included because they are a separate project that would be implemented later. (FEIR, p. 198.) The EIR does not impose enforceable mitigation measures to avoid or substantially lessen a significant impact and defers mitigation to an unspecified future date. The EIR also fails to consider any alternatives to this newly identified significant impact. In all these aspects, the FEIR fails to comply with CEQA. (Public Resources Code §§ 21002, 21002.1(a), CEQA Guidelines §§ 15126.4, 15126.6; *Laurel Heights Improvement Assn. v. Regents of University of California* (1988) 47 Cal.3d 376, 400-403.)

In closing, the DEIR fails to analyze the environmental impacts of the Proposed Plan and thus fails to comply with CEQA. As such, the Town cannot legally rely on the EIR to adopt the Proposed Plan. LGCA reiterates its request that the Town focus first on the Housing Element update prior to considering the Proposed Plan or any other General Plan update. If the Town nonetheless continues to proceed with the Proposed Plan, it should be based on Alternative 1 (Low Growth Alternative) and associated modifications made to the designations and densities currently set forth in the Proposed Plan to achieve this lower housing capacity.⁶

Thank you for your consideration of LGCA’s views on these important matters. Representatives of LGCA, including the undersigned, will be in attendance at your April 13, 2022 meeting on the Final EIR and Proposed Plan. In the meantime, please do not hesitate to contact me with any questions regarding this correspondence.

Very truly yours,
RUTAN & TUCKER, LLP


Matthew D. Francois

cc (via e-mail):

Honorable Rob Rennie, Mayor, and Members of the Town Council
Laurel Prevetti, Town Manager
Joel Paulson, Community Development Director
Robert Schultz, Town Attorney

⁶ Combined with the 1,100 units of additional capacity remaining capacity under the current General Plan, Alternative 1 could produce an additional 1,156 units for a total of 2,256 units.

From: Kathy Anderson
Sent: Tuesday, April 12, 2022 9:37 PM
To: Planning
Subject: Fwd: General Plan

Sent from my iPad

Begin forwarded message:

From: Kathy Anderson

Date: April 12, 2022 at 7:03:32 PM

Subject: Fwd: General Plan

Planning Commission

I am asking you to vote no on the General Plan.

The housing element with zoning changes, density and height increases will drastically change Los Gatos in a negative way.

Los Gatos will become another San Jose if the General Plan is approved.

Think about why you and others chose to move to Los Gatos.

I do not understand why Council would approve \$50,000. for a study on marijuana dispensaries but would not have a study on the financial impact of the General Plan.

I hope that the future of Los Gatos is not left in the hands of 5 Council members. Think the N40.

Any future dramatic changes to Los Gatos should be decided at the polls.

Once Los Gatos is gone - we can never get it back.

Kathy Anderson

Foster Rd. Los Gatos

On Apr 12, 2022, at 7:39 PM, Campbell Scott wrote:

Hello Marina,

Please pass this along to an appropriate person for consideration at the meeting on April 12th.

I find no mention of Reach Codes in the Los Gatos 2040 General Plan, draft of June 2021.

There is growing recognition in the public sector that local ordinances will play an important role in meeting state and federal goals to reduce emissions of greenhouse gases. Examples include the elimination of natural gas pipelines in new buildings, and encouraging the installation of electric vehicle charging stations in apartment buildings.

Such measures have been enacted in nearby cities from San Jose to Half Moon Bay. They are an important tool in the toolbox for limiting the worst effects of climate change, and given the urgency stated by the IPCC, they must be enacted and implemented well before 2040.

I hope that you consider this proposal for inclusion in the Los Gatos 2040 Plan.

Sincerely

Campbell Scott

From: Julie Groves

Sent: Tuesday, April 12, 2022 8:08 PM

To: GP2040

Subject: LG general plan

Thank you for your work

Aside from the other issues regarding housing and building, I am most concerned with keeping a view scape. The round tower on the south west corner Los Gatos Blvd and Blossom Hill (the old video store) still offends me every time I pass it.

Why block a view of the hills?

Julie Groves

From: Phil Grasser
Sent: Wednesday, April 13, 2022 6:52 AM
To: GP2040
Cc: Matthew Hudes
Subject: Town Housing

Hello Matthew and Town,

Thanks again for another email update regarding planning and thoughts about it. My two cents...

- 1) 3,904 housing units; we (and all of California) need more housing units. Both rents and purchases are out of reach for nearly all.
- 2) Affordable. We need younger people to be able to live here; they will be our future.
- 3) Spread around; we should not cluster in one area. That simply becomes a ghetto.
- 4) Walkability of new developments, bike lanes (already well along), small bus vehicles with in-town only routes (like in Dana Point), low impact landscaping, stay out of the mountains.
- 5) Do not tie-in to infrastructure improvement--that easily becomes the excuse to do nothing.
- 6) I agree with upzoning. The homes along LG Blvd that Robson built several years ago are beautiful, and I like the North 40 as well.
- 7) ADUs should be counted.

Phil Grasser

From: Anne Roley
Sent: Wednesday, April 13, 2022 7:06 AM
To: GP2040
Subject: RE: Comments for Planning Commission - General Plan 2040

Please include these comments in the Planning Commission Packet - Thank you!

Dear Planning Commission

I am hearing around town the discussion of the 2040 General Plan and more specifically the housing elements. From what I have observed, two sides have developed. One side wants a lower number of homes allowed and the other side wants a higher number of homes allowed. How do we come together as a community and make a decision? I suggest putting all the needs on the table from both sides and having a discussion with an openness to listen to each other without a right/wrong mentality and without a desired outcome. From this type of connection and discussion, creative strategies can surface and an outcome attending to all needs can manifest. What are the needs of the citizens that want a lower number of houses approved for the General Plan? I am guessing they value - space, comfort, balance, beauty, ease, peace/tranquility, sustainability, and order. What are the needs of the citizens that want a higher number of houses approved for the General Plan? I am guessing they value - inclusion, diversity, affordability, and growth. These values are Universal. - I can say for myself - I want space, comfort, balance, beauty, ease, peace/tranquility, sustainability, order, inclusion, diversity, affordability, and growth.. How can our values be shared, respected, heard, and considered without jumping to judgement and criticism, which disconnects us, causes tension, resistance and leads to one side against another. I long for a community where people listen to what is important to each other with an open heart and mind and come to decisions that take into account all needs on the table. A win/win outcome. A shared mutual reality. If one wins at the expense of the other, it usually comes at a cost. Come together with an open mind and heart, sit down at the table with the needs and values, listen to each other with empathy, build understanding and connection, be creative and strategize, and allow a solution to surface. If people have a willingness and have the time, this type of compassionate communication called Non Violent Communication or NVC works.

Anne Roley

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