TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
OCTOBER 23, 2024
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
4:00 PM

Susan Burnett, Chair
Lee Quintana, Vice Chair
Jeffrey Barnett, Planning Commissioner
Barry Cheskin, Committee Member
Martha Queiroz, Committee Member

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@losgatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email planning@losgatosca.gov with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email to planning@losgatosca.gov by 3:00 p.m. the day of the meeting.

CALL MEETING TO ORDER

ROLL CALL

CONSENT ITEMS *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the July 24, 2024 Historic Preservation Committee Meeting
2. Draft Minutes of the September 25, 2024 Historic Preservation Committee Meeting

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)*

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

3. Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Located on 145 Tait Avenue**. APN 510-18-029. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Minor Residential Development Application MR-24-010. Property Owner: Jennifer McNellis. Applicant: Eric Beckstrom. Project Planner: Erin Walters.

4. Requesting Approval for Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:12. **Located at 200 Hernandez Avenue**. APN 510-21-003. Request for Review Application PHST-24-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Vaishali Singh-Sood. Project Planner: Sean Mullin.

5. Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 52 Ashler Avenue**. APN 410-14-048. Minor Residential Development Application MR-24-009. Exempt Pursuant to CEQA Section 15301: Existing

Facilities. Property Owner: Joseph Ervin. Applicant: Ramin Zohoor. Project Planner: Maria Chavarin.

6. Requesting Approval for Construction of Exterior Alterations (Window Replacement) to a Non-Contributing Multi-Family Residential Development in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 352 W. Main Street**. APN 510-45-033. Minor Development in a Historic District Application HS-24-054. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. PROPERTY OWNER: West Main Partners LLC. APPLICANT: Byron Brown. PROJECT PLANNER: Suray Nathan.

7. Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 55 Ellenwood Avenue**. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Project Planner: Sean Mullin.

8. Requesting Approval for Modification (Siding Replacement) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 50 Hernandez Avenue**. APN 510-20-003. Request for Review Application PHST-24-021. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Richard Archuleta and Chrissy Klander. Applicant: Jay Plett, Architect. Project Planner: Sean Mullin.

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

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DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
JULY 24, 2024

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on July 24, 2024 at 3:00 p.m.

MEETING CALLED TO ORDER AT 3:00 PM

ROLL CALL

Present: Chair Susan Burnett, Vice Chair Lee Quintana, Planning Commissioner Adam Mayer, Committee Member Barry Cheskin and Committee Member Martha Queiroz.

Absent: None.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – May 22, 2024

MOTION: **Motion** by **Committee Member Cheskin** to approve the Consent Calendar. **Seconded** by **Committee Member Queiroz.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 52 Ashler Avenue
   Minor Residential Development Application MR-24-009

   Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 410-14-048. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner: Joseph and Katherine Ervin. Applicant: Ramin Zohoor. Project Planner: Maria Chavarin.

Sean Mullin, Senior Planner, presented the staff report.

Applicant not present.

Opened and Closed Public Comment.

Committee members discussed the matter.

- The proposed front elevation is inconsistent with the design guidelines. The front façade looks symmetrical, but the proposed second story is towards the front of the structure and has two different sized windows.
- Building Design 3, page 48: Second floor additions not imbedded within the roof form, should be located to the rear of the structure. For this project the square footage is pushed to the front.

Opened Public Comment.

Applicant presented the project.

Ruben Guerrera, Contractor
- They are converting a regular room on the second floor into a master bedroom. The ceiling height will be raised from 6 ½ ft to 8 ft. They are adding a bathroom and a closet by expanding to the left and right.

Committee members asked questions of the applicant.

Ruben Guerrera, Contractor
- Owners wanted to add the second story in the front to keep the same straight roofline.
- Can propose to use the same windows as those on the house.
- Can do another model of the roofline. They will be eliminating the existing roofline to raise the ceiling.

Closed Public Comment.

Committee members discussed the matter.

- Plans need work.
- Move the mass back.
- The windows need to be more conforming.
- Return with additional drawings that incorporate the Committee's suggestions.
- The one bump out in the front can remain but move the rest of the mass back.
- Windows should be symmetrical and double-hung, without lites, to match bottom floor.
- Consider asking the applicant to pay to have plans reviewed by the Town architect.

- Do more drawings to show side-by-side, the before-and-after.
- Show the next-door neighbor's house towards N. Santa Cruz.
- Slider windows exist on the second floor.
- Have applicant study the proposed windows to they are consistent with the design guidelines, existing windows, and need for egress.

MOTION: **Motion** by **Committee Member Cheskin** to continue this item to a future meeting and provided the following direction:

- Revisit the front elevation design.
- Consider having plans and windows reviewed by the Town architect.
- Provide drawings comparing side-by-side, the current and the proposed structures.
- Show the next-door neighbor's house towards N. Santa Cruz.

Seconded by **Vice Chair Quintana.**

VOTE: **Motion passed unanimously.**

3. 258 Edelen Avenue
   Minor Development in a Historic District Application HS-24-034

   Requesting Approval for Construction of Exterior Alterations to a Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-05-013. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owners/Applicants: Marsie and Reilly Sweetland. Project Planner: Sean Mullin.

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Reilly Sweetland, Owner
- The house was built in 1905. Additions were done over the years. They plan on enclosing a staircase. They will cover a window in the kitchen. The window looks right into the wall of the neighbor's house. There will be minimal impact on the historic look of the house.

Committee members asked questions of the applicant.

Reilly Sweetland, Owner
- The neighbor's house opposite their kitchen window was built decades later.
- The stove requires a 30-inch clearance because it is combustible.

- Costly structural engineering would be needed to retain one of the two single windows.

Closed Public Comment.

Committee members discussed the matter.

- The project is consistent with the design guidelines and standards.
- The window looks onto a wall.
- The window is not visible from the street.
- Windows also let in natural light.
- An inferior view can be mitigated by window treatments.
- Removing this window would not change the historic character of the house.

MOTION: **Motion** by **Commissioner Mayer** to Recommend Approval to the Community Development Director for Construction of Exterior Alterations to a Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-05-013. **Seconded** by **Committee Member Cheskin.**

VOTE: Motion passed 4-0. Lee Quintana abstaining.

4. 25 W Main Street
   Building Permit Application B24-0065

   Requesting Approval for Construction of Exterior Modifications (Roof Vent and Screening) to a Contributing Commercial Building Located in the Downtown Historic Commercial District on Property Zoned C-2:LHP. APN 529-01-017. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner: Reveal Corp. Applicant: Gordon Wong, GKW Architects. Project Planner: Erin Walters.

Item 4 moved to after Item 5 because the applicant has not yet arrived.

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Gordon Wong and Jennie Wong, Architect
- After receiving comments from the plan reviewer, they adjusted the hood and vent screen and added a hatch above the hood. They added a 42-inch screening wall and vertical siding to match the proposed use of the back. Project designed per Building Code requirements. No variances are necessary.

Committee members asked questions of the applicant.

Gordon Wong and Jennie Wong, Architect
- The existing door located the corner will remain but will be inoperable.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion** by **Vice Chair Quintana** to Recommend Approval to the Community Development Director for Construction of Exterior Modifications (Roof Vent and Screening) to a Contributing Commercial Building Located in the Downtown Historic Commercial District on Property Zoned C-2:LHP. APN 529-01-017. **Seconded** by **Chair Burnett.**

VOTE: **Motion passed unanimously.**

5. 19 Clifton Avenue
   Minor Development in a Historic District Application HS-24-036

   Requesting Approval for Construction of Exterior Alterations (Siding, Window, and Door Replacement) to a Non-Contributing Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. APN 510-45-082. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner: Carriage House LLC. Applicant: Jonathan Schantz. Project Planner: Suray Nathan.

Suray Nathan, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jonathan Schantz, Contractor and Designer
- Available for questions.

Committee members asked questions of the applicant.

Jonathan Schantz, Applicant
- They had a Building application. But they found damage and went over the repair threshold. There is now structural work needed. They are proposing that all the siding be replaced with new but matching redwood siding, trim, and windows.
- The windows will be double hung. The kitchen windows are casement. It is a wide window.

- The doors will be the same.
- It is more costly to try and reuse old siding vs new siding.

Closed Public Comment.

Committee members discussed the matter.

- It is common with older homes that the work will increase, when more area is exposed.
- Consider reusing the original materials.

MOTION: **Motion** by **Committee Member Cheskin** to Recommend Approval to the Community Development Director for Construction of Exterior Alterations (Siding, Window, and Door Replacement) to a Non-Contributing Single-Family Residence Located in the Broadway Historic District on Property Zoned R-1D:LHP. The Applicant is to Consider Reuse of Material, If Possible. **Seconded** by **Chair Burnett.**

VOTE: **Motion passed (4-1). Lee Quintana voting no.**

6. 142 Massol Avenue
   Minor Development in a Historic District Application HS-24-038

   Requesting Approval for Construction of an Addition to an Existing Accessory Structure Located in the Almond Grove Historic District on Property Zoned R-1D:LHP.
   APN 510-18-048. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner/Applicant: David Zicovich. Project Planner: Suray Nathan.

Committee Member Martha Queiroz recused themselves from Item 6, 142 Massol Avenue, as their property is located within 1,000 feet of the subject property.

Suray Nathan, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

David Zicovich, Owner/Applicant
- The garage with an attached ADU was built in late 1970's to early 1980's. The ADU was never permitted. They want to remove the siding that has termites and adjust the roofline. They plan to remove the hips to match the gables on the house.

Committee members asked questions of the applicant.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion** by **Committee Member Cheskin** to Recommend Approval to the Community Development Director for Construction of an Addition to an Existing Accessory Structure Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-18-048. **Seconded** by **Chair Burnett.**

VOTE: **Motion passed unanimously.**

7. 15116 Blossom Hill Road
   Request for Review PHST-24-011.

   Requesting Approval to Remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned HR-1. APN 527-16-001. Exempt Pursuant to CEQA Section 15061(b)(3). Property Owner/Applicant: Gamaleldin Elsayed. Project Planner: Jocelyn Shoopman.

Jocelyn Shoopman., Senior Planner, presented the staff report.

Committee members asked questions of staff.

Opened Public Comment.

Applicant presented the project.

Gamaleldin Elsayed, Owner
- An addition was done in the 1980's. The house has no architectural historic significance. No one of historic significance has lived in the house.

Committee members asked questions of the applicant.

Gamaleldin Elsayed, Owner
- A large addition of 1000 sf was added to the entire back of the house and part of the front.
- The windows are all double hung.
- A structural engineer said that the house is structurally sound.
- They have not yet designed a replacement house.

Closed Public Comment.

Committee members discussed the matter.

- The back addition is dramatically different from the original house.
- Having an addition does not mean it should be removed from the inventory.
- It has enough distinctive characteristics on the front and side to remain on the inventory.
- There are some charming original portions of the house.
- If compromised beyond repair, the committee needs to see a structural engineer report.
- Is there a difference between being dramatically altered to the house or dramatically altered within the footprint of the existing house?
- The addition has compromised the integrity of the house.
- The front still conveys historic significance.
- The addition is not visible from the street.

MOTION: **Motion** by **Committee Member Queiroz** to Recommend Denial to the Community Development Director for a request to remove a Presumptive Historic Property (Pre-1941) from the Historic Resources Inventory for Property Zoned HR-1. APN 527-16-001. **Seconded** by **Vice Chair Quintana**.

VOTE: **Motion passed 4-1. Barry Cheskin voting no.**

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

8. 311 Johnson Avenue
   Request for Review Application PHST-24-010.

   Preliminary Review for Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-28-017. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner: Nishita Biddala. Applicant: Abhay Reddy. Project Planner: Suray Nathan.

Suray Nathan, Assistant Planner, presented the staff report

Opened public comment.

Applicant presented the project.

Abhay Reddy, Applicant

- They recently purchased the house. They plan to remove the rear addition. It is distinct from the original house. It has a step down, low ceiling, small windows and a small kitchen with no exhaust. They will extend by 6 feet and match the material and style of the main house.

Committee members asked questions of the applicant.

Abhay Reddy, Applicant
- The tree they are proposing to remove was planted in 1965. It is 30 inches in diameter. The tree is close to the foundation and leaning towards the house near the exhaust. To raise the roof, the tree needs to be removed. They plan to plant a replacement tree. The Town arborist is willing to grant a tree permit after the Planning portion is completed.

Closed public comment.

Committee members provided the following comments:
- It looks great
- It maintains the look and architecture of the house.
- Thank you for keeping it a small house at 960 sf.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

- All Director decisions have been aligned with the recommendations of the Committee. However, the Planning Commission considered an appeal for the proposed removal from the Historic Resources Inventory for 32 Euclid Avenue at their June 26, 2024 meeting. The appeal was granted based on additional information provided by the applicant.

COMMITTEE MATTERS

- Educate homeowners on what is a historic home to avoid remodeling mistakes. Maybe send a flyer to the new owners of historic homes.
- Ask applicants to bring printed copies of the plans to the hearing.
- Need a discussion between committee and staff on what constitutes a historic structure vs. what can be removed from the Historic Resources Inventory. Need better guidelines.
- Microphone on the table so audience can hear. Audience seems not to be able to hear.
- Committee needs education on new types of windows.
- Regarding finding number 5. The finding was an “or”, but the Town Attorney says it says “or”, but we interpret it as “and”. This leads to inconsistent decisions. The ordinance needs to be changed to be clear and not open to interpretation.

ADJOURNMENT

The meeting adjourned at 4:40 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
July 24, 2024 meeting as approved by the
Historic Preservation Committee.

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Sean Mullin, AICP, Senior Planner

DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECCIAL MEETING
SEPTEMBER 25, 2024

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on September 25, 2024 at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Susan Burnett, Planning Commissioner Jeffrey Barnett, Committee Member Barry Cheskin and Committee Member Martha Queiroz.

Absent: Vice Chair Lee Quintana arrived at 4:03 p.m.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

None

PUBLIC HEARINGS

1. 200 Hernandez Avenue
   Request for Review Application PHST-24-018.

   Requesting Approval for Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:12. Located at 200 Hernandez Avenue. APN 510-21-003. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.
   Property Owner/Applicant: Vaishali Singh-Sood
   Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Vaishali Singh-Sood, Owner/Applicant

- They want to add a metal roof on their Mediterranean Spanish style house. The house was not built to hold the weight of a tile roof. It originally had a black shingle roof. It was updated in 2008 to a red shingle roof. It did not go through HPC at that time.
- Other similar style homes in the neighborhood have installed: metal roofing, combo, TPO with Spanish style trim, or a full metal roof with a metal edge.
- The benefits of metal are environmentally friendly, rust resistant, prevents corrosion and pollution, energy efficient, durable, withstands falling branches, and fire resistant.
- Metal roofing eliminates the chance of their insurance coverage being dropped due to roofing materials.

Committee members asked questions of the applicant.

Vaishali Singh-Sood, Owner/Applicant
- They have photos of TPO roofing but don't know the meaning of the term.
- The owner can look for lighter weight options of a metal roof that resemble tile.
- They can look for a metal roof that mimics the barrel style tile.
- They have already purchased a flat metal roof. And want to add a trim that looks like tile.
- They had people look at look at the roof to determine if it was strong enough to hold tile. But they did not consult a structural engineer.

Closed Public Comment.

Committee members discussed the matter.

- The previous owner had a roof that is consistent with the Mediterranean, revival façade of the home. The owner is advised to return with other options.
- Look for alternative materials.
- A standing seam metal roof looks attractive but is more contemporary. It is against the guidelines.
- The home is in a fire danger area. We want it to be as safe as possible.
- Historic homes in New Mexico, have standing seam metal roofs. But only if the roof is low sloped and less obvious. This house has a steeper slope.
- The color is the main obstacle. A red roof would be more consistent with the house's style.
- Good to have a roof design that enhances the style of the home.

MOTION: **Motion** by **Chair Burnett** to continue this item to October 23, with the following directions: return with alternative roofing materials that are more in the style of the home; provide fireproof ratings of the roof types for comparison; and provide weight bearing structural information regarding the roof. **Seconded** by **Commissioner Barnett.**

VOTE: **Motion passed unanimously.**

2. 14340 Browns Lane
   Request for Review PHST-24-019

   Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. Located at 14340 Browns Lane. APN 409-14-010. Exempt Pursuant to CEQA Section 15061(b)(3).
   Property Owner: Cathleen Joyce Vadasz
   Applicant: Gordon K. Wong
   Project Planner: Erin Walters

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Gordon Wong, Architect, Cathleen Vadasz, Owner, and Lamar Nolan, General Contractor.
- They focused on how much renovation had occured since the original house was built. Significant remodels were done from 1970 to the 1980's.
- The current owner purchased the home in 1995. They made renovations in 1998 to the sheetrock, wiring, plumbing, and furnace.
- The previous owner made major changes. The original garage was converted to living space. The original front door entrance was moved from the right side of the house to the area located between the main house and the former converted detached garage.
- The slab on grade foundation is settling and should be replaced. The original subdivider didn't do a reasonable job with getting the permits and installing the utilities.
- The exterior is a hodge podge of materials and appears chopped up.
- They will try to keep as much of the original house as they can.

Committee members asked questions of the applicant.

Gordon Wong, Architect
- They are asking to be taken off the inventory in order to remove 50% instead of just 25% of the siding. The 50% includes materials that were added after 1941.
- They are not just repairing or replacing in-kind. They want to remodel the front of the house. There is only room to extend at the front of the property. The house is located towards the back of the property. The single- story house is under-sized.

Committee members made comments and asked questions of staff.

Staff: Erin Walters, Project Planner
- The build date of the house is uncertain, but county records show a built date before 1941. A 1939 aerial photo shows an orchard with no house. The records clearly show a structure on the property in the 1950's.

- It is difficult to make a decision when there are no plans to look at or any assurance it was not built prior to 1941.
- When the property is removed from the inventory, the new structure will be built bigger and better.
- The whole area is remote from the center of Town so it wasn't on the Historic Bloomfield Survey. The Committee needs some framework to make consistent decisions. Have other homes in the area been taken off the inventory? If so, the Committee should make a determination for the entire area instead of piecemeal removal decisions for each property

Staff: Sean Mullin, Senior Planner.
- The focus should be on the merit of the structure itself not on the work that could take place in the future.
- Does the structure in its current state deserve staying on the Historic Inventory?
- The outlying areas were part of the County, and the Town does not have records.
- Taking the entire area off the inventory is an action that the Council would need to take.
- The Town don't have the data to determine what was altered.
- If 50 percent of the whole building is removed, it would be technically demolished and taken off the inventory.

- If built before 1941, it fits the criteria for removal. All five points of justification are met.

Closed Public Comment.

MOTION: **Motion** by **Committee Member Barnett** to recommend removal from the Historic Resources Inventory. **Seconded** by **Committee Member Queiroz**.

VOTE: Motion passed. 4-0-1. Vice Chair Quintana abstained.

Appeal rights read.

3. <u>228 Bachman Avenue</u>
   Request for Review Application PHST-24-017.

   Requesting a Determination Regarding the Contributing Status of an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned O:LHP. Located at 228 Bachman Avenue. APN 510-14-053. Exempt

Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: James B. Wood
Project Planner: Sean Mullin

Committee Member Martha Queiroz recused themselves from Item 3, 228 Bachman Avenue, as their property is located within 1,000 feet of the subject property.

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

J. B. Wood, Owner
- They currently live in a house next door at 238 Bachman. They bought the property at 228 Bachman in April to create a new residence to age-in place with an elevator and other ADA compliant features.
- The property was derelict for more than 10 years.
- It is a commercial property surrounded by residential structures.
- The original garage was demolished.
- The entire rear was paved for parking lot.
- House was remodeled many times and went from 612 sf to 775 sf.
- There are various types of sidings and windows.
- In 2004, the HPC said it could possibly be demolished.
- Library research shows no known historical significance.
- Before hiring an architect, they want it to be removed from the inventory so that demolition can be done.
- The house doesn't look like any other house in the neighborhood.

Committee members asked questions of the applicant and staff.

Staff: Sean Mullin, Project Planner
- The house is in a historic district and can be designated as contributing or non-contributing. Non-contributing status can result if additions and materials are not original. When an application is submitted, then it will come before the HPC for a formal recommendation. The property is brought before HPC to evaluate the contributing status of the structure.

- The Committee looks at the façade and street view. It has distinctive features. It is in a Historic district. Committee wants to maintain the look and feel of the Historic district.
- The house can still be improved, but it must follow the guidelines.

J. B. Wood, Owner
- The building was last used as a medical office.

- The Previous owner, Robert Granham, bought the property in 2004. Since then, nothing has changed. It has been untouched and unmaintained.
- Mr. Granham will buy back the property if the Woods are not able to get permission to demolish and build something new.
- They have called the Town many times to contact Mr. Granham to perform basic yard maintenance.
- The house that they currently live in, was built in 2012 and has the same roofline.

Staff: Sean Mullin, Project Planner
- If zoned as office, the General Plan would have to be amended and rezoned.
- The 2004 HPC minutes were provided for reference, not to justify demolition.
- If an application is submitted the Town Code requires that a structural report be provided.

J. B. Wood, Owner
- We would like to demolish the existing building and build a new similar structure in the front of the property.

Eric Beckstrom, Neighbor
- Eric has lived on Bachman. That property seems to be a magnet for dumped garbage. That house has always been empty and looks bereft.

Paul Styka, Neighbor
- Paul also walks past the house. It attracts garbage. It is difficult to get housing in this area. The applicant is spending their own money to take down a derelict property and provide more housing. Los Gatos doesn't need an empty house, but more homes filled with families.

Closed Public Comment

Committee members discussed the matter.

- The 1989 Bloomberg photo shows very little change to the front elevation.
- If the house is kept as a contributor, encourage the applicant to come back with a proposal. Try to see if we can work together. There are opportunities to remodel or improve without demolishing it.
- The findings for removal have been met.
- The motion should include that the applicant return with some preliminary design or concept that the Committee can comment on. Then we can work together. It is better for everyone that the property be developed.

MOTION: **Motion** by **Committee Member Cheskin** to forward a recommendation to the Community Development Director to keep the Contributing Status of an Existing Contributing Single-Family Residence. The applicant is

encouraged to come back with preliminary concepts for early review. **Seconded** by **Vice Chair Quintana**.

VOTE: **Motion passed unanimously.**

Appeal rights read.

4. 145 Tait Avenue
   Minor Residential Development Application MR-24-010.

   Requesting Reconsideration of a Request for Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP Pursuant to Town Council Policy 2-010. APN 510-18-029. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.
   Property Owner: Jennifer McNellis
   Applicant: Eric Beckstrom
   Project Planner: Erin Walters

Committee Member Martha Queiroz recused themselves from Item 4, 145 Tait Avenue, as their property is located within 1,000 feet of the subject property.

Sean Mullin, Senior Planner, explained the request for reconsideration.

Gabrielle Whelan, Town Attorney
- The request for reconsideration is of any action. In this case, the action is the referral to Larry Cannon, Town Architect, for outside review to a date uncertain.

Opened public comment.

Paul Styka and Jenny McNellis, Owners
- They love the quiet streets and small-town feel. Next year they will be growing their family. The house is currently unsafe and unlivable. They are renting in Santa Clara until the home is rebuilt. They would rather put money into renovating the house instead of paying rent. They don't want to change the neighborhood. They are a young couple looking for a safe place to own.

Eric Beckstrom, Architect
- Last time, there was confusion on the front elevation. This time, they presented the house in a 3D modeling program on a laptop to the Committee. This showed the existing house. All the other houses have 6-to-8-foot fences. The depiction of other houses was added to show scale.

- The roof line has a gable to the side. Currently there is not enough headroom for a bedroom addition. They intend to balance the roof by running the gable all the way through. The second story stairs also need more headroom.
- The existing Anderson windows were installed in 1996.
- They intend to keep the bay and projection. The bay jogs out and stays where it is. The new addition is 3 inches back. The furnace near the bay was added in 1996.

Closed public comment.

Committee members discussed the matter.

- In support of it being reconsidered.
- Would still like to see the consulting architect's recommendations. This doesn't preclude incorporating any additional new information.
- After seeing the 3D rendering, we don't need to refer to the Town architect.
- The applicant will bring samples of the proposed Marvin windows to the next meeting.
- The Town Architect is normally not requested to review HPC projects.

MOTION: **Motion** by **Vice Chair Quintana** to deny the reconsideration. Ask that the Town architect to review the plans. New information may be presented. **Seconded** by **Chair Burnett**.

VOTE: **Motion denied 2-2. No action. Commissioner Barnett and Committee Member Cheskin opposed.**

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*
None

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT
- Sean Mullin has been promoted to Planning Manager, effective September 30, 2024.

COMMITTEE MATTERS
- Contact Sean for the appropriate method to get an item put on the Town Council agenda.

ADJOURNMENT

The meeting adjourned at 5:48 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
September 25, 2024 meeting as approved by the

Historic Preservation Committee.

_____

Sean Mullin, AICP, Senior Planner

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DATE: October 18, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Located on 145 Tait Avenue**. APN 510-18-029. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Minor Residential Development Application MR-24-010. Property Owner: Jennifer McNellis. Applicant: Eric Beckstrom. Project Planner: Erin Walters.

BACKGROUND:

On September 11, 2024, the Committee considered a request for approval for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence located at 145 Tait Avenue. The Committee opened the public hearing and received a presentation from the applicant and public testimony. Following discussion, the Committee voted 3-1, with one member recused, to continue consideration of the request to allow review by the Town's Consulting Architect on Committee referral, requesting specific feedback regarding:

- Proposed window types/material;
- Modifications/additions to the bay window on the right-side elevation; and
- Front elevation massing in relation to the proposed second-story addition.

On September 19, 2024, the applicant submitted a request for reconsideration under Town Council Policy 2-01 (the Policy) regarding Town Agenda Format and Rules, which includes a provision allowing applicants to request reconsideration of prior Council actions. Through the Town Attorney, reconsideration may be requested of the Council as well as any commission, committee, or board. On September 25, 2024, the Committee opened the public hearing and received a presentation from the applicant. Following discussion, the Committee voted 2-2 on the request, with one member recused. The motion failed, and no action was taken.

PREPARED BY: Erin Walters
Associate Planner

DISCUSSION:

Per direction of the Historic Preservation Committee, the Town's Consulting Architect reviewed the attached development plans (Attachment 1). The Town's Consulting Architect provided a report and five recommendations (Attachment 2). The applicant has provided a response letter addressing how each recommendation has been addressed in the revised development plans (Attachment 3 and 4). The Town's Consulting Architect's recommendations are summarized, and the applicant's responses are listed in *italics* below:

1. Maintain the subordinate character of the second-floor additions by maintaining the existing dormer roof ridge height and eliminate its extension to the opposite side of the structure.

   Applicant's Response: The updated plans have been modified to address this recommendation.

2. Replace the large new windows which are inconsistent with the existing windows on the house with ones that match the size and proportions of existing windows.

   Applicant's Response: See updated plans. All existing windows are 1996 Anderson windows. There are no original/existing windows from when the house was first built. Locations and sizes have been altered before the current owners purchased the house. The updated plans show more mutins/dividers and the two picture windows have been removed. The current house has a variety of window sizes and layouts.

3. Match the garage addition's door height to that of the existing garage.

   Applicant's Response: The updated plans have been modified to address this recommendation.

4. The proposed Marvin Ultimate wood clad windows are appropriate for the proposed project.

   Applicant's Response: Acknowledged. Historic projects use Marvin Ultimate wood clad windows. Most jurisdictions recommend Marvin, especially with the 5/8" SDL's.

5. Provide a minimum one-foot setback of the Family Room wall adjacent to the existing bay window.

   Applicant's Response: The updated plans have been modified to address this recommendation.

CONCLUSION:

The applicant is requesting approval for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence located at 145 Tait Avenue. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process. The project would not return to the Committee.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.
In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

CONSIDERATIONS (continued):

B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

ATTACHMENTS:

1. Development Plans, received September 25, 2024
2. Consulting Architect's Report
3. Revised Development Plans, received October 17, 2024
4. Applicant's Response Letter
5. Section 3.9, Residential Design Guidelines

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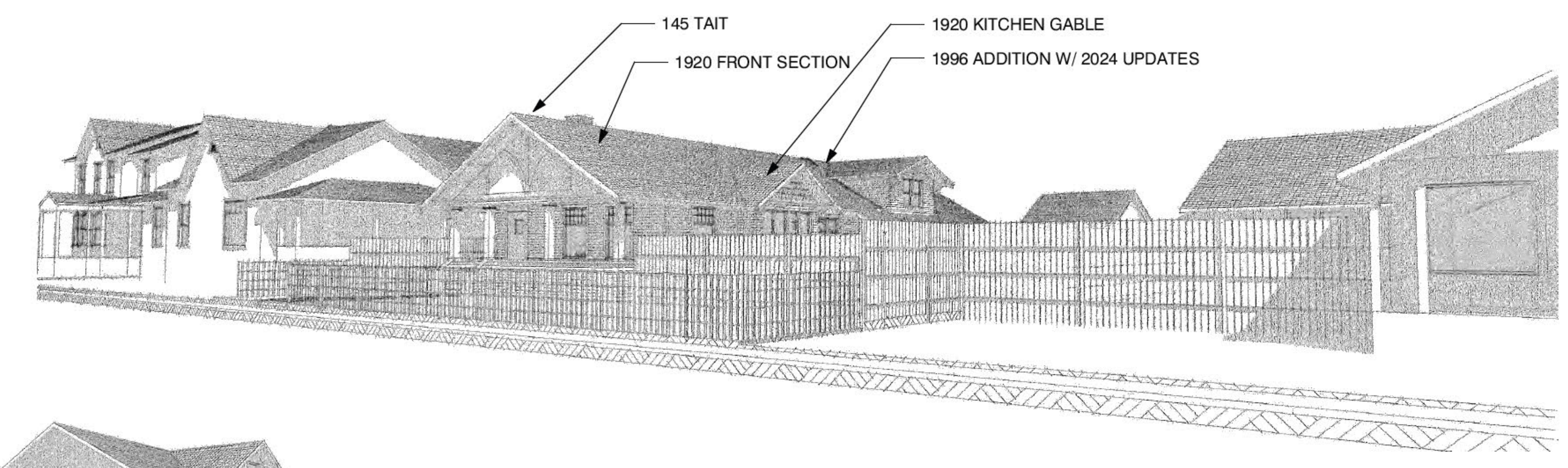
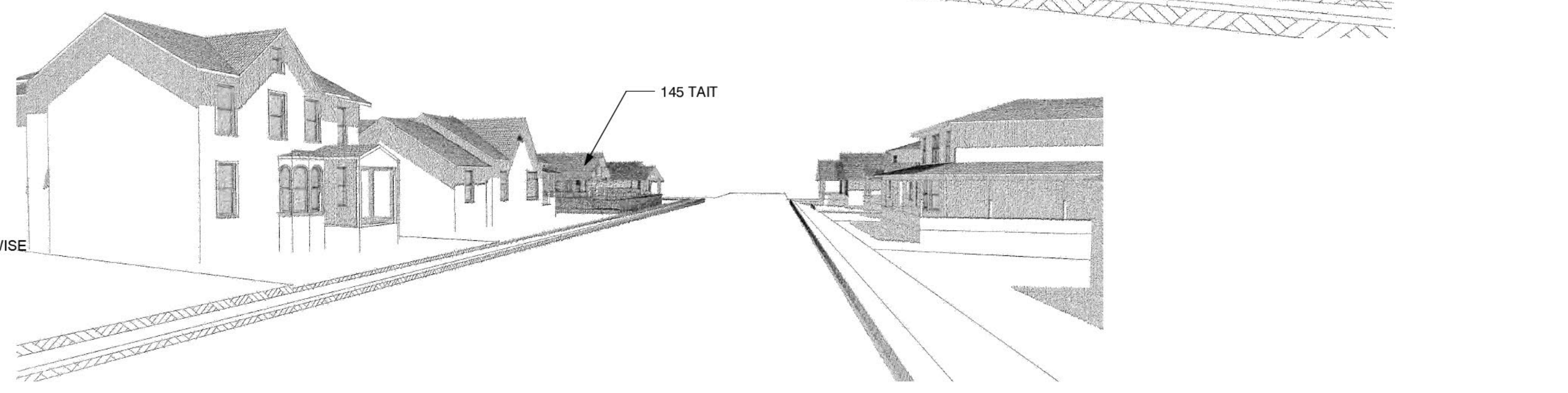
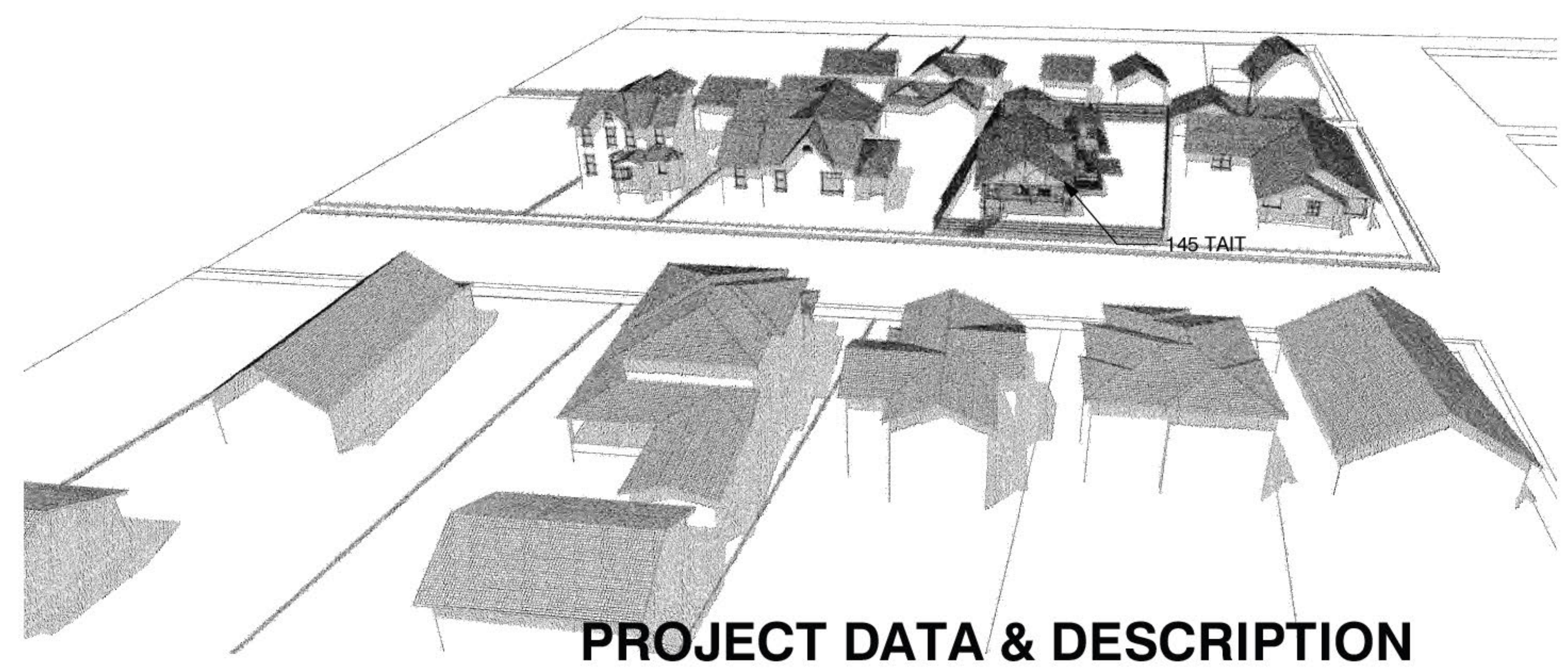
145 Tait Ave Remodel & Addition

ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFGR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIDGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPE RED
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TOUNGE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYPSUM BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		







APPLICABLE CODES

2022 California Building Code CCR Title 24 Part 2
2022 California Residential Code CCR Title 24 Part 2.5
2022 California Electrical Code CCR Title 24 Part 3
2022 California Mechanical Code CCR Title 24 Part 4
2022 California Plumbing Code CCR Title 24 Part 5
2022 California Building Energy Efficiency Standards CCR Title 24 Part 6
2022 California Historical Building Code CCR Title 24 Part 8
2022 California Existing Building Code CCR Title 24 Part 10
2022 California Green Building Standards Code CCR Title 24 Part 11
2022 International Existing Building Code, Appendix Chapters A2 and A5

2022 California Code of Regulations Title 24, Parts 1 12, including locally adopted Reach Codes

SCFD NOTES

Fire sprinklers not required, 2,418 sf House; 3,600 sf is threshold requirement

R313.2 One- and two-family dwellings automatic fire sprinkler systems. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows:

1.In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than three thousand six hundred (3,600) square feet.

Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

Water Supply Requirements

Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

CONSTRUCTION FIRE SAFETY

Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to make and enforce such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code. Copies of Santa Clara County Fire Marshal Standards and the County Fire Code Amendments can be found on this website. [REF: SCC §A33-47 & CFC §101.4] Construction to comply with Chapter 33 Std Detail and Specification S1-7.

The Fire Marshal's Office also has the responsibility for enforcing Title 19 of the California Code of Regulations, and portions of the California Building Code, as adopted by the County of Santa Clara. A copy of the County Fire Code is kept at the County Clerk of the Board's Office.

PREMISES/ADDRESS IDENTIFICATION

The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved per code: These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewedfrom the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

NOTES

1. All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers must remain on the site for field verification by the Building Inspector. CGBSC Section 4.504.2.4

2. "Prior to final inspection, a letter signed by the general contractor OR the owner/builder (for any owner/builder projects) must be provided to the Town of Los Gatos Building Official certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, aerosol coatings, carpet systems (including carpeting, cushion and adhesive), resilient flooring systems, and composite wood products installed on this project are within the emission limits specified in CGBSC Section 4.504."

3. Verification of replacement of all existing to remain non-compliant plumbing fixtures with water-conserving plumbing fixtures as specified in Civil Code Section 1101.1-1101.8, shall be provided to the Town Building Inspector, prior to final inspection. This requirement applies to all existing to remain plumbing fixtures located within the structure under the scope of this permit."

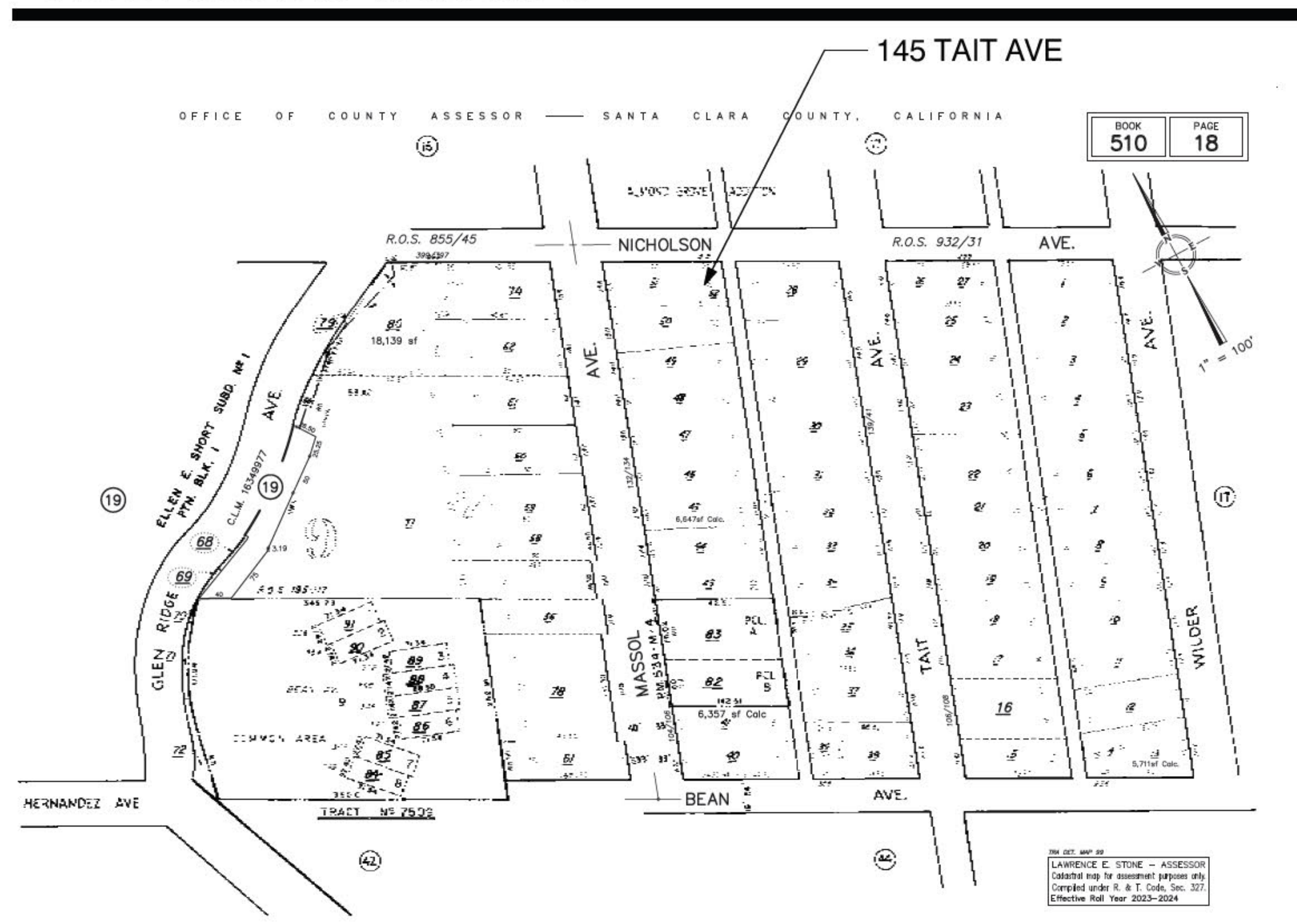
CONTACTS

OWNER:	[redacted] 145 Tait Avenue Los Gatos, CA 95030
ARCHITECT:	Beckstrom Architecture + Interiors PO Box 1317, Los Gatos, CA 95030 650 847 835; eric@beckstromarchitecture.com
CONTRACTOR:	OWNER/BUILDER
STRUCTURAL ENGINEER:	Efe Sozkesen MS. PE. 4x Engineering, Inc. 4340 Stevens Creek Blvd. Suite # 240 San Jose, CA 95129 408 642 5464, contact@4xengineering.com
CONTRACTOR:	TBD
TITLE 24/ GREENPOINT RATER:	Title 24 Data Corp Monika Taylor CEA R13 14 10017 633 Monterey Trail, POB 2199, Frazier Park, CA 93225 2199 800 237 8824; title24@frazmtn.com

CONTENTS

ARCHITECTURAL

ASSESSOR TAX MAP



PROJECT DATA & DESCRIPTION

Assessor's Parcel Number(APN): 510-18-029

ZONING:	R-1D:LHP
BUILT:	1920 AND 1996 BACK ADDITION
LOT SIZE:	9,700 SF
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY GROUP:	R3 - 1-STORY SINGLE FAMILY DWELLING & ATTACHED GROUP U PRIVATE GARAGE

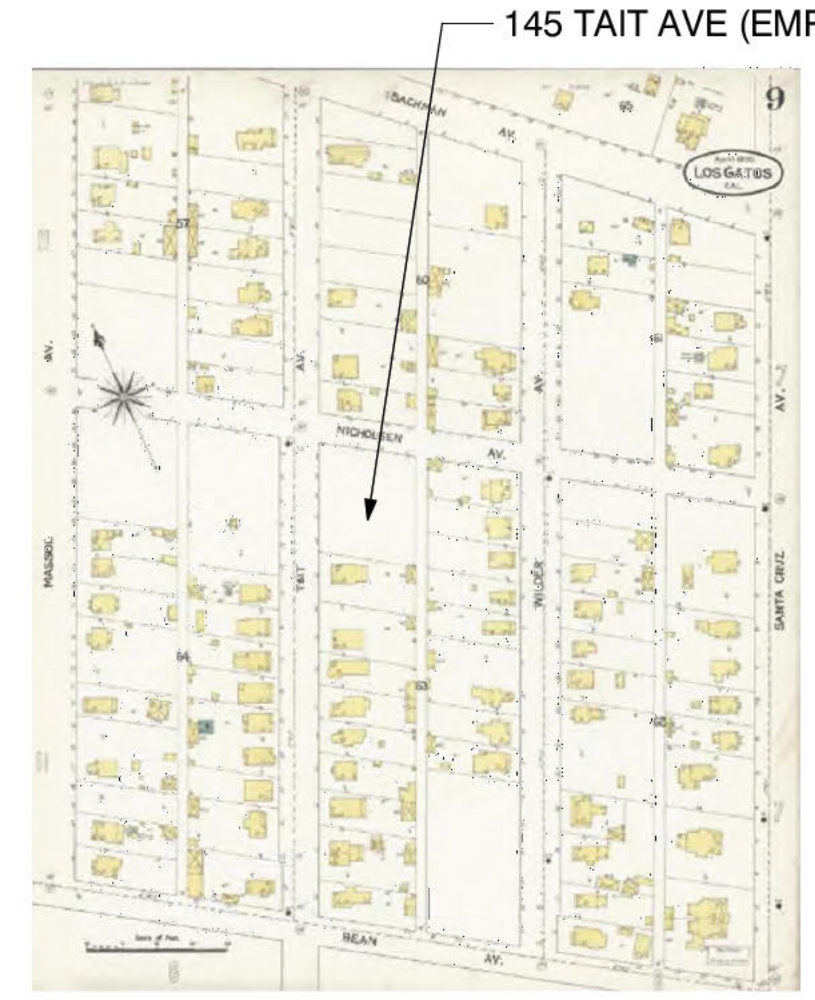
PROJECT DESCRIPTION

EXISTING 1,833 SF, 1920 2-STORY RESIDENCE WITH 1996 ADDITION IN THE BACK SECTION (2-STORY BEDROOMS & 1-STORY GARAGE)

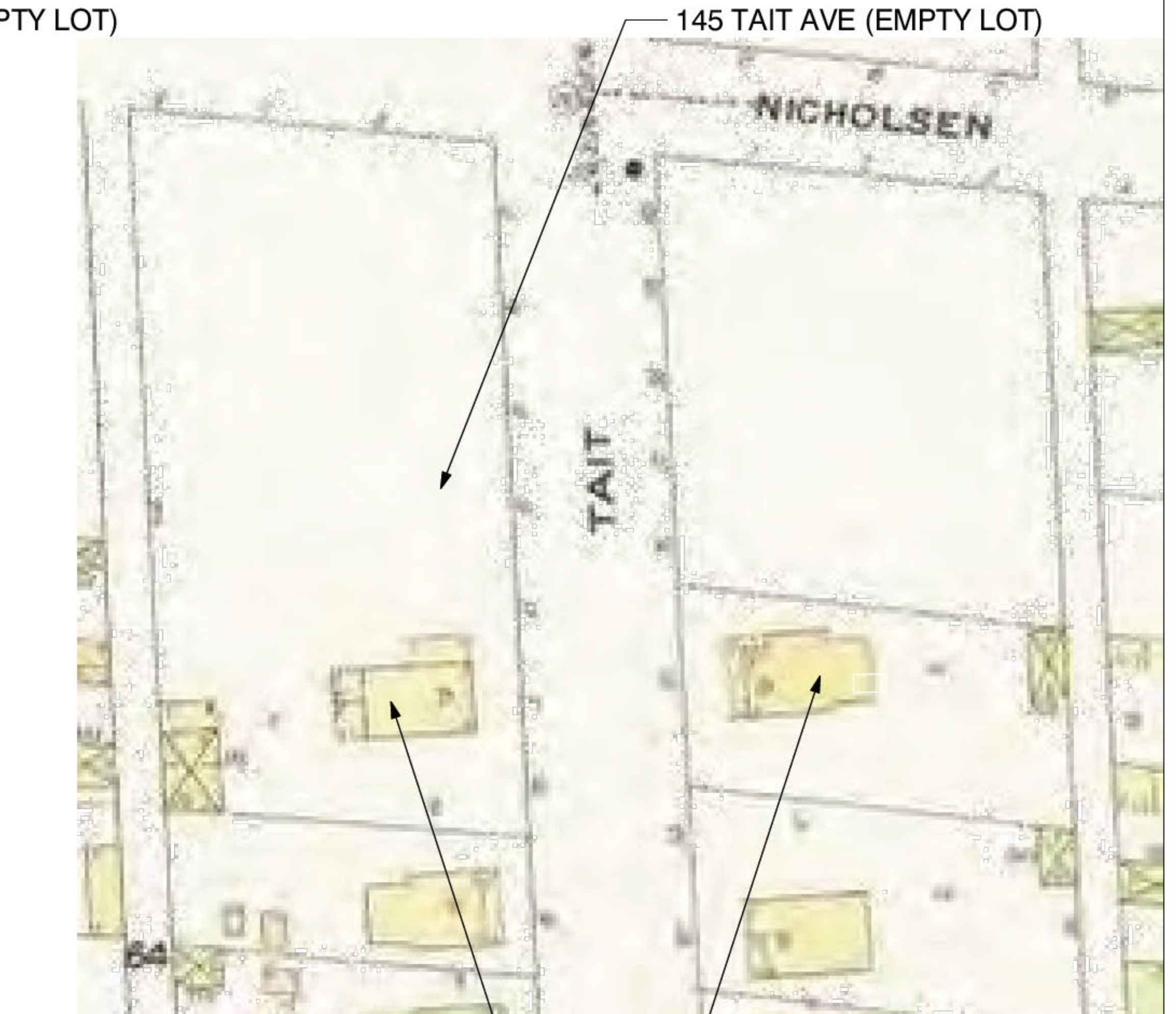
REPLACE 1996 'ANDERSON' WINDOWS THOUGHOUT THE HOUSE WITH MARVIN WINDOWS WITH APPROPRIATE SDL'S

REMODEL/INSTALL (N) FINISHES/CABINETS INSIDE (E) HOUSE;
FILL IN 32 SF ON FIRST FLOOR BEHIND KITCHEN BAY;
NEW 230 SF 1-STORY GARAGE BAY ADDITION AT BACK 1996 SECTION;
REMODEL EXISTING SECOND FLOOR OF 1996 SECTION FOR PRIMARY BATH AND CLOSET; CONSTRUCT 146 SF PRIMARY BEDROOM ADDITION ON FLOOR OF EXISTING GARAGE ATTIC STORAGE

1895 SANBORN MAP



1895 SANBORN MAP



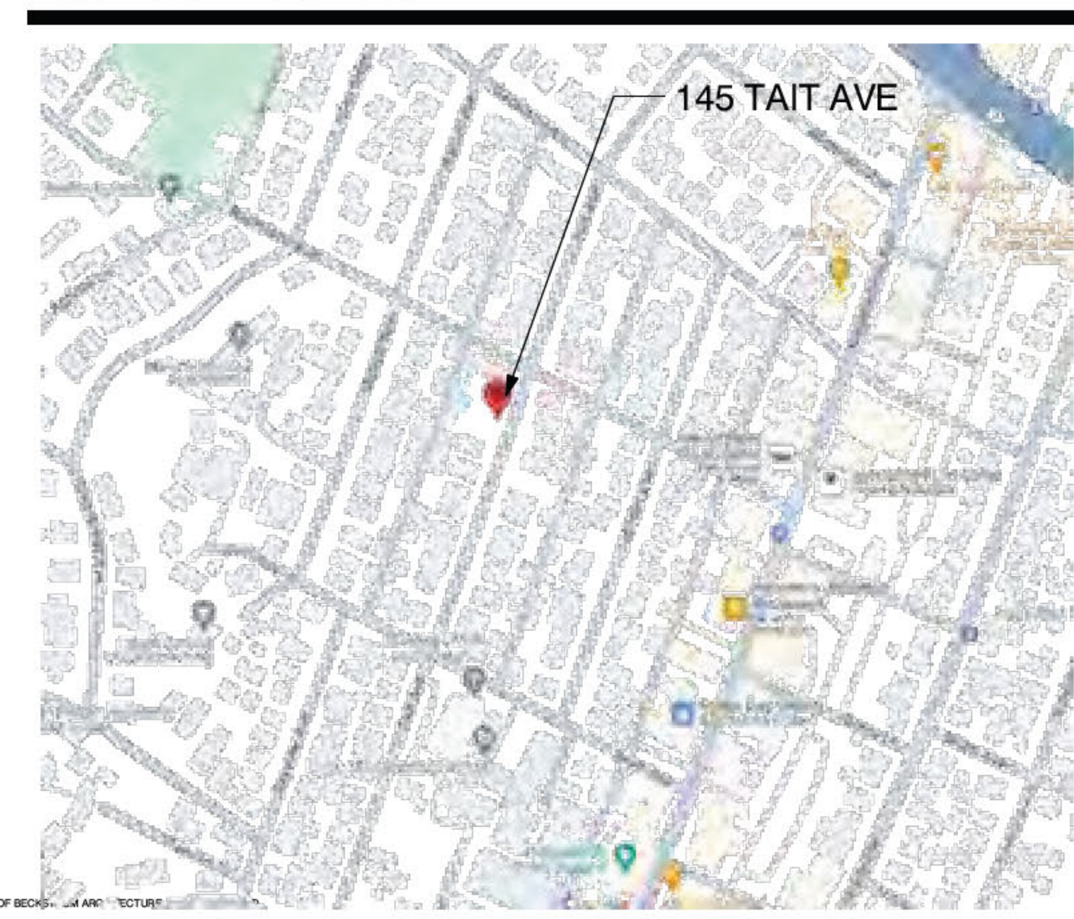
145 TAIT AVE, BEFORE 2-STORY ADDITIONS

136 TAIT AVE, BEFORE ADDITIONS

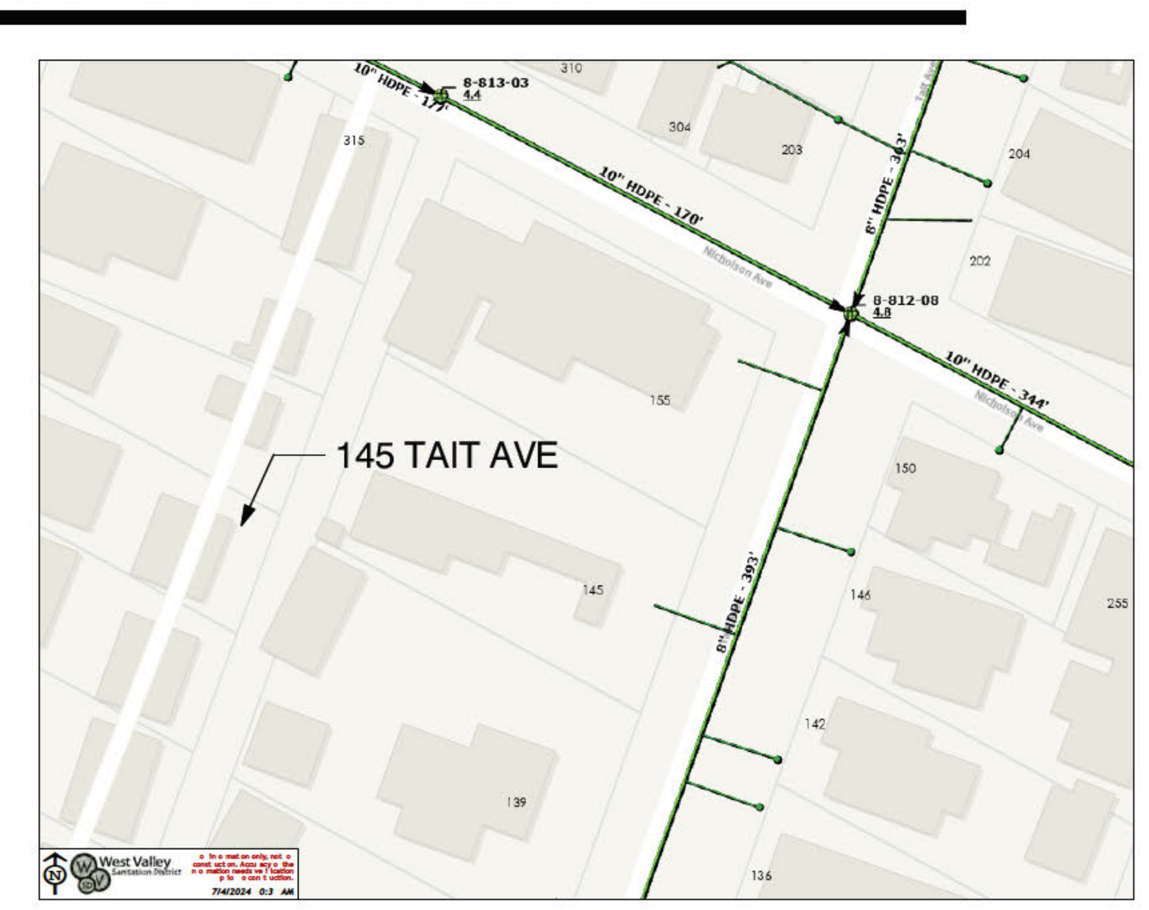
LEGEND

#	DOOR
#	WINDOW
X / A-XX (Detail # / Sheet #)	DETAIL
X / A-XX	INTERIOR ELEVATIONS
X / A-XX (Sect. # / Sheet #)	SECTION
X / A-XX (Sect. # / Sheet #)	EXTERIOR ELEVATION
X'-X"	(UNLESS NOTED OTHERWISE)
X	SLOPE
X'-X"	ELEVATION HEIGHTS

VICINITY MAP



WVSD SEWER LINE MAP



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△	EB
△	
△	

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ARCH TECTURE + NTER ORS
P O BOX 1317 LOS GATOS CA 95030
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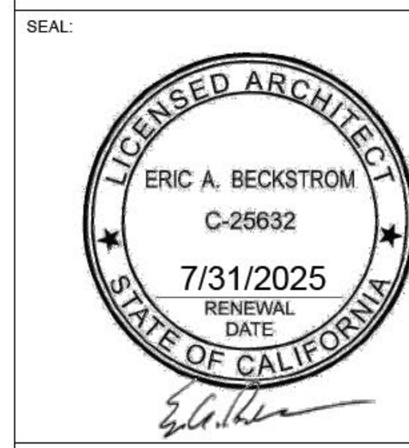
Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC Request to Reconsider
9/19/2024

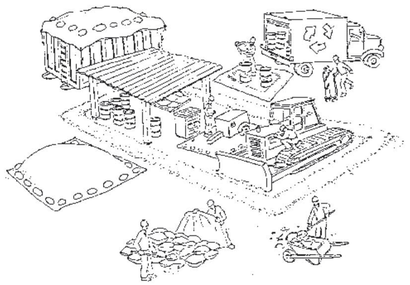
SEAL:



DRAWING TITLE:	COVER SHEET
DRAWN	EB
DATE	9/19/2024
SCALE	1" = 1'-0", 6" = 1'-0", 1:1.89
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A0.0

ATTACHMENT 1

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to $10,000 per day!

REVISIONS	BY
△	EB
△	
△	

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Res. Remodel & Addition
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APN: 510-18-029

HPC Request to Reconsider 9/19/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE: BLUEPRINT FOR A CLEAN BAY

DRAWN: EB
DATE: 9/19/2024
SCALE: 1:1.20
JOB NO.: 6
FILENAME: 2427 145 TAIT CD5.0.pln
SHEET: A0.1

2007 Home Remodeling GreenPoints Checklist

Build It Green
Smart Solutions from The Ground Up

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
A. SITE					
1. Protect Existing Soil and Minimize Disruption of Existing Plants & Trees					
a. Protect Existing Topsoil from Erosion and Reuse after Construction	■				■
b. Limit and Delineate Construction Footprint for Maximum Protection					■
2. Deconstruct Instead of Demolish				■	
3. Recycle Construction and Demolition Waste					
a. Recycle or Reuse At Carpboard, Asphalt & Concrete (Required)				■	
b. Recycle 50% of Remaining C&D Waste				■	
B. FOUNDATION					
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag					
a. Minimum 30% Flyash or Slag				■	
b. Minimum 40% Flyash or Slag				■	
2. Rescrete Crawl Space to Control Moisture					
a. Control Ground Moisture with Vapor Barrier			■		
b. Condition the Crawl Space			■		
3. Design & Build Structural Pest Controls					
a. Install Termite Shields and Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers				■	
b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation				■	
C. LANDSCAPE					
1. Construct Resource-Efficient Landscapes					
a. No Invasive Species Listed by Cal IPC Are Planted					■
c. No Plant Species Will Require Shearing				■	
c. 75% of Plants Are Drought-tolerant California Natives, Mediterranean, or Other Appropriate Species					■
2. Use Fire-Safe Landscaping Techniques	■				
3. Minimize Turf Areas					
a. Air Turf Will Have a Water Requirement Less than or Equal to Tall Fescue					■
b. Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide					■
c. Turf is <33% of Lanscaped Area					■
d. Turf is <10% of Lanscaped Area					■
4. Plant Shade Trees	■	■			
5. Group Plants by Water Needs (Hydrozoning)					■
6. Install High-Efficiency Irrigation Systems					
a. System Uses Only Drip, Bubblers, or Low-flow Sprinklers					■
b. System Has Smart Controllers					■
7.Incorporate Two Inches or Compost into the Top 6 to 12 Inches or Soil					■
8. Mulch All Planting Beds to the Greater or 2 Inches or Local Water Ordinance Requirement					■
9. Use 50% Sewage or Recycled-Content Materials for 50% of Non-Plant Landscape Elements				■	
10. Replace Light Pollution by Shielding Fixtures and/or Directing Light Downward	■				
11. Collect and Retain Rainwater for Irrigation					■

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	Community	Energy	IAQ/ Health	Resources	Water
D. STRUCTURAL FRAME & BUILDING ENVELOPE					
1. Apply Optimal Value Engineering					
a. Place Rafters and Studs at 24-Inch On Center Framing				■	
b. Size Door and Window Headers for Load				■	
c. Use Only Jack and Cripple Studs Required for Load				■	
2. Use Engineered Lumber					
a. Beams and Headers				■	
b. Insulated Engineered Headers		■			
c. Wood I-Joists or Web Trusses for Floors				■	
d. Wood I-Joists for Roof Rafters				■	
e. Engineered or Finger-Jointed Studs for Vertical Applications				■	
f. Oriented Strand Board for Sunroof				■	
g. Oriented Strand Board Wall and Roof Sheathing				■	
3. Use FSC Certified Wood					
a. Dimensional Lumber and Timbers: Minimum 40%				■	
b. Dimensional Lumber and Timbers: Minimum 70%				■	
c. Panel Products: Minimum 40%				■	
d. Panel Products: Minimum 70%				■	
4. Use Solid Wall Systems (includes SIPs, ICFs, & any Non-Stick Frame Assembly)					
a. Floors		■		■	
b. Walls		■		■	
c. Roofs		■		■	
5. Reduce Pollution Entering the Home from the Garage					
a. Tightly Seal the Air Barrier between Garage and Living Area			■		
b. Install Garage Exhaust Fan OR Build a Detached Garage			■		
6. Design Energy Heels on Roof Trusses		■			
7. Install Overhangs and Gutters		■		■	
8. Install Reflective Roof and Radiant Barrier		■			
9. Replace Single-Pane Windows with High Performance Windows (U-factor ≤ 0.40 & SHGC ≤ 0.40)		■			
10. Retrofit with Storm Windows		■			
11. Install Low-SHGC Window Film on Single-Pane Windows		■			
12. Rescrete Structure for Earthquakes					■
E. EXTERIOR FINISH					
1. Use Recycled-Content (No Virgin Plastic) or FSC-Certified Decking					■
2. Install Rain Screen Wall System					■
3. Use Durable and Noncombustible Siding Materials					■
4. Use Durable and Noncombustible Roofing Materials					■
F. INSULATION					
1. Install Insulation with 75% Recycled Content					
a. Walls and/or Floors				■	
b. Ceilings				■	

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	Community	Energy	IAQ/ Health	Resources	Water
4. Inspect Quality of Insulation Installation before Applying Drywall	X	■	X	X	X
5. Apply Caulking & Weatherstripping	X	■	X	X	X
G. PLUMBING					
1. Distribute Domestic Hot Water Efficiently					
a. Insulate Hot Water Pipes from Water Heater to Kitchen	X	X	X	X	X
b. Insulate All Hot Water Pipes					
c. Use Engineered Parallel Piping					
d. Use Engineered Parallel Piping with Demand Controlled Circulation Loop					
e. Use Structured Plumbing with Demand Controlled Circulation Loop					
f. Use Central Core Plumbing					
2. Replace Toilets with High-Efficiency Toilets (Dual-Flush or ≤ 1.3 gpf)	X	X	X	X	■
3. Upgrade to High Efficiency Water Heater	X	■	X	X	X
4. Install Water Efficient Fixtures					
a. Showerheads or Shower Towers Use < 2.0 Gallons Per Minute Total	X	X	X	X	■
b. Faucets - Bathrooms <1.5 gpm	X	X	X	X	■
c. Faucets - Kitchen & Utility < 2.0 gpm	X	X	X	X	■
H. HEATING, VENTILATION & AIR CONDITIONING					
1. Design and Install HVAC System to ACCA Recommendations		■			
2. Install High Efficiency Sealed Combustion Units					
a. Furnaces and Boilers	X	■			
b. Heat Pumps		■			
3. Install Zoned, Hydronic Radiant Heating with Slab Edge Insulation		■			
4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants		■			
5. Design and Install Effective Ductwork					
a. Install New Ductwork Within Conditioned Space	X		X	X	X
b. Use Duct Mastic on All Ducts and Joints Seams	X		X	X	X
c. Install Ductwork under Attic Insulation (Buried Ducts)	X		X	X	X
d. Pressure Balance the Ductwork System					
e. Protect Ducts During Remodeling & Clean All Ducts before Occupancy	X	X	X		X
f. Insulate Existing Ductwork	X		X		X
6. Install High Efficiency HVAC Filter (MERV 6+)		■			
7. Install gas fireplaces with efficiency rating not less than 60% using CSA standard:					
a. No fireplace			■		
b. Install gas fireplace with efficiency rating not less that 60% using CSA standard.	X	X		X	X
c. Retrofit wood burning fireplaces with EPA-certified wood or pellet stove			■		
8. Install Effective Exhaust Systems in Bathrooms and Kitchens					
a. Install ENERGY STAR Bathroom Fans Vented to the Outside	X	X		X	X
b. All Bathroom Fans are on Timer or Humidistat	X	X		X	X
c. Install Kitchen Range Hood Vented to the Outside	X	X		X	X
9. Install Mechanical Ventilation System for Cooling					
a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms	X	■	X		X
b. Install Whole House Fan with Variable Speeds		■			
10. Install Mechanical Ventilation for Fresh Air					
a. Install Air-to-Air Heat Exchanger (Heat or Energy Recovery Ventilator)		■	■		
11. Install Carbon Monoxide Alarm(s)					

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	Community	Energy	IAQ/ Health	Resources	Water
I. RENEWABLE ENERGY					
1. Install Solar Water Heating System		■			
2. Install Photovoltaic (PV) System that offsets electric energy use by:					
a. 30% of electric needs OR 1.2 kw		■			
b. 60% of electric needs OR 2.4 kw		■			
c. 90% of electric needs OR 3.6 kw		■			
J. BUILDING PERFORMANCE					
1. Whole House Inspection/Diagnostic Testing & Improvements Made					
a. Duct Testing and Improvements Made so that Leakage is < 15%		■	■		
b. Blower Door Testing and Improvements Made so that Air Change per hour is < 0.35	X	■	■		
c. House Passes Combustion Safety Backdraft Test			■		
K. FINISHES					
1. Design Entryways to Reduce Tracked in Contaminants			■		
2. Use Low/No-VOC Paint					
a. Low-VOC Interior Wall/Ceiling Paints (Flat <50 g/L VOC; Non-Flat <150 g/L VOC)	X		■		
b. Zero-VOC: Interior Wall/Ceiling Paints (<5 g/L VOC)			■		
3. Use Low VOC, Water-Based Wood Finishes (<250 g/L VOC)			■		
4. Use Low-VOC Caulks & Construction Adhesives (<70 g/L VOC for All Adhesives)			■		
5. Use Recycled-Content Paint				■	
6. Use Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood, B) Reclaimed Materials, C) Rapidly Renewable D) Recycled-Content or E) Finger-Jointed					
a. Cabinets (50% Minimum)				■	
b. Interior Trim (50% Minimum)				■	
c. Shelving (50% Minimum)				■	
d. Doors (50% Minimum)				■	
e. Countertops (50% Minimum)				■	
7. Reduce Formaldehyde in Interior Finish (CA Section 01350)					
a. Subfloor (50% Minimum)				■	
b. Cabinets (50% Minimum)				■	
c. Interior Trim (50% Minimum)				■	
d. Shelving(50% Minimum)				■	
8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27 ppb			■		
L. FLOORING					
1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete. *Flooring Adhesives Must Have <50 g/L VOCs.*					
a. 15% of Floor Area				■	
b. 30% of Floor Area				■	
c. 50% of Floor Area				■	
d. 75% of Floor Area				■	
2. Use Thermal Mass Flooring		■			
3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements (50% Minimum)				■	
M. APPLIANCES AND LIGHTING					
1. Install Water and Energy Efficient Dishwasher					
a. ENERGY STAR		■			

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	Community	Energy	IAQ/ Health	Resources	Water
b. Dishwasher Uses No More Than 6.5 Gallons/Cycle	X	X	X	X	■
2. Install Water- and Energy-Efficient Clothes Washing machine					
a. Meets CEE Tier 2 Requirements (Maximize Energy Factor 2.0, Water Factor 6.0)	X		X	X	■
b. Meets CEE Tier 3 Requirements (Maximize Energy Factor 2.2, Water Factor 4.5)					■
3. Install ENERGY STAR Refrigerator					
a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	X	■	X	X	X
b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity		■			
4. Install Built-In Recycling & Composting Center					
a. Built-In Recycling Center	X	X	X	■	X
b. Built-In Composting Center				■	
5. Upgrade to Energy Efficient Lighting	X	■	X	X	X
6. Install Low-Mercury Fluorescent Lighting					
a. Linear Tubes				■	
b. Compact Fluorescent Lamps	■				
7. Install Lighting Controls					
a. Interiors (Dimmers or Occupancy Sensors)	X	X	X	X	X
b. Exteriors (Photocells or Motion Sensors)					
N. OTHER					
1. Incorporate Remodeling Checklist in Blueprints	X	■	X	X	X
2. Develop Homeowner Manual of Green Features/Benefits		■		■	
3. Innovation: List innovative measures that meet the green building objectives of the Remodeling Guidelines.					
Innovation in Community: Enter description here					
Innovation in Energy: Enter description here					
Innovation in IAQ/Health: Enter description here					
Innovation in Resources: Enter description here					
Innovation in Water: Enter description here					

REVISIONS:	BY
△	EB
△	
△	

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Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC Request to Reconsider
9/19/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
BUILD IT GREEN 2007 HOME REMODELING GREEN POINTS CHECKLIST

DRAWN: EB

DATE: 9/19/2024

SCALE: 1:1.06

JOB NO.: 6

FILENAME: 2427 145 TAIT CD5.0.pln

SHEET: A0.2

NOTES

1. ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION , TYP.
3. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
4. EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
5. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
6. PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
7. SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT OT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
8. 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/ SHOWER ENCLOSURES, TYP.
9. PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
10. THERMAL INSULATION:
    R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
    R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
    R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.
11. EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
12. 1/2" THK. GYP. BD, LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
13. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
14. ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6 2.

15.* ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

16.* AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.

17.* ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.

18.* ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITHY VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.

19.* AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBTIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (c)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PODUCT LIMITS OF REGULATION 8, RULE 49.

20.* HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OFOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).

21.* WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
    A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
    B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
    C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL

22.* BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

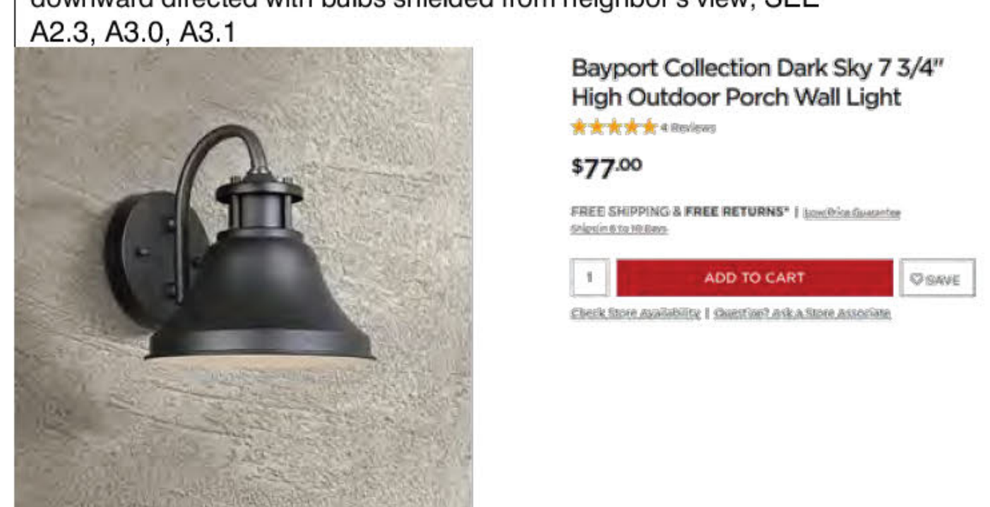
23.* INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

24.* WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.

25.* DOCUMENTATION OF COMLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

Pursuant to Town Code, all permanent exterior light fixtures should utilize shields so that no bulb is visible and to ensure that light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes

EXTERIOR HOUSE LIGHTING - all exterior lighting will be downward directed with bulbs shielded from neighbor's view, SEE A2.3, A3.0, A3.1



DEMOLITION NOTES

1. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE MMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
2. ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
3. DEMOLITION CONTRACTOR TO RED RECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRA NAGE, AND SPR NKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
4. CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND F ELD VERIFY ALL DEMOLITION PRIOR TO BEG NNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
6. OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.

7.* RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.

8.* SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
    A) DENTIFY NG THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
    B) SPECIFYING F CONSTRUCTION AND DEMOLITION WASTE MATERIALS W LL BE SORTED ON-SITE OR BULK MIXED
    C) DENTIFY NG DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
    D) DENTIFY NG CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
    E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERETED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH

9.* DOCUMENTATION WILL BE PROV DED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.

10.* A PLAN MUST BE DEVELOPED AND MPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

*CALGREEN RESIDENTIAL MANDATORY MEASURES

TREE FENCING

TREE FENCING

Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.

TREE PROTECTION

Sec. 29.10.1005. - Protection of trees during construction.

(a) Protective tree fencing shall specify the following:

(1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.

(2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

(3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

(4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."

(b) All persons, shall comply with the following precautions:

(1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.

(2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.

(3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.

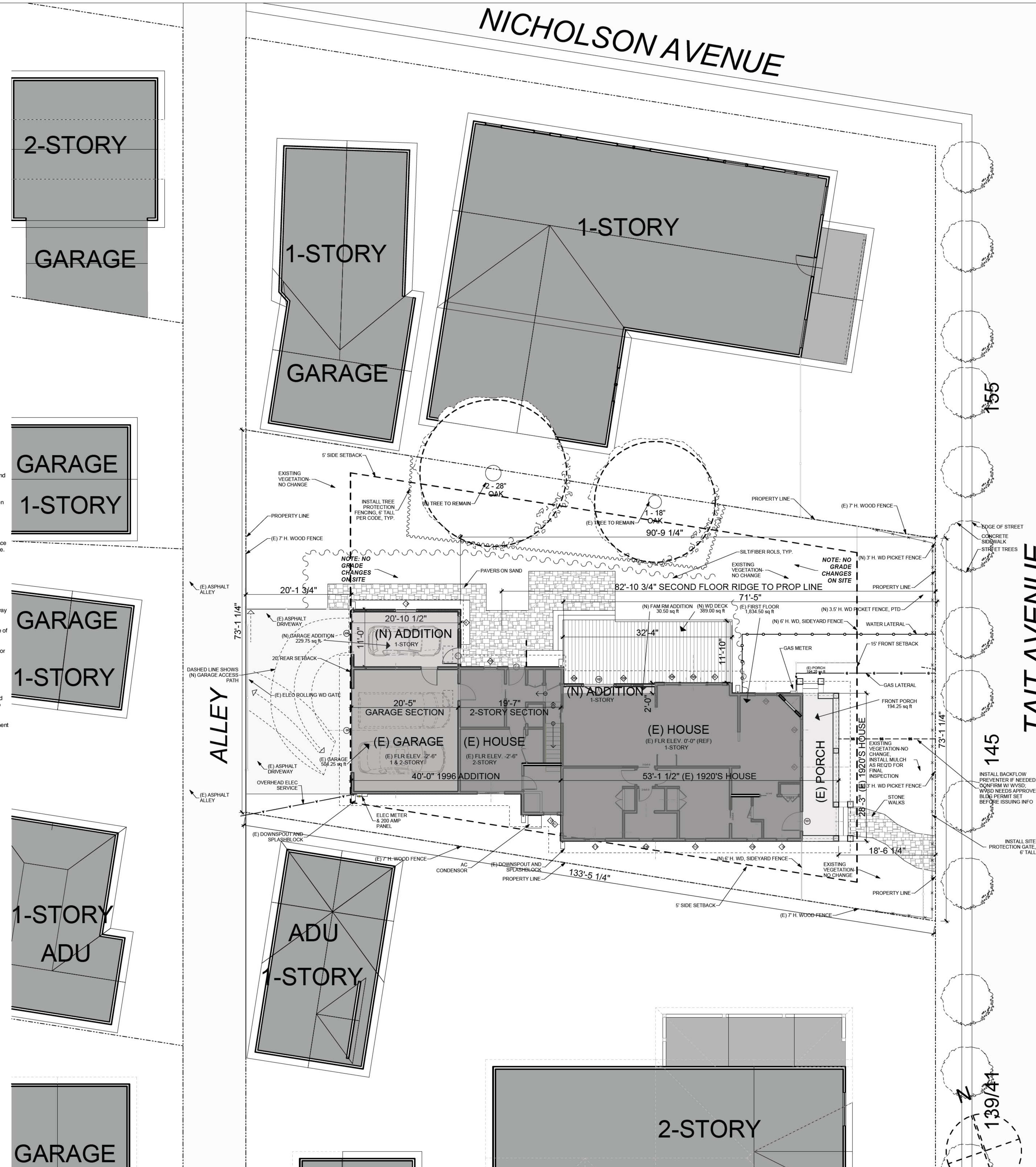
(4) Prohibit the attachment of wires, signs or ropes to any protected tree.

(5) Design utility services and irrigation lines to be located outside of the dripline when feasible.

(6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.

(7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

LOT CALCULATIONS	145 TAIT AVE	
LOT AREA	9,583.00	
COVERAGE CALCULATIONS		
BULDING COVERAGE ALLOWED	0.40	
ALLOWED COVERAGE	**3,833.20**	SF
PROPOSED COVERAGE		
EXISTING HOUSE	1,835.00	SF
ENTRY PORCH	194.00	SF
FAMILY RM ADDITION	32.00	SF
HOUSE SUBTOTAL	**2,061.00**	SF
EXISTING GARAGE	504.00	SF
GARAGE ADDITION	**230.00**	SF
GARAGE SUBTOTAL	**734.00**	SF
TOTAL BUILDING COVERAGE	**2,795.00**	SF
AMOUNT UNDER	*-1,038.20*	SF
FAR CALCULATIONS		
PROPOSED HOUSE FLOOR AREA	AREA	
FIRST FLR	1,833.00	SF
(N) FAMILY RM ADDITION	**35.00**	SF
SECOND FLR	404.00	SF
(N) SECOND FLR ADDITION	**146.00**	SF
HOUSE SUBTOTAL	**2,418.00**	SF
HOUSE FAR ALLOWED	*3,007.00*	SF
AMOUNT UNDER	***-589.00***	SF
GARAGE	480.00	SF
GARAGE FLOOR AREA TOTAL	**480.00**	SF
ALLOWED GARAGE FAR AREA	*844.00*	SF
AMOUNT UNDER	***364.00***	SF



FLOOR PLAN-SITE PLAN

SCALE: 1" = 10'

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Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC Request to Reconsider 9/19/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
SITE PLAN-PROPOSED

DRAWN: EB

DATE: 9/19/2024

SCALE: 1" = 10', 1' = 1'-0"

JOB NO. 6

FILENAME: 2427 145 TAIT CD5.0.pln

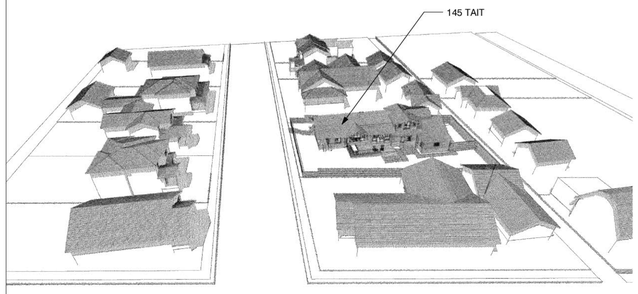
SHEET: A1.0

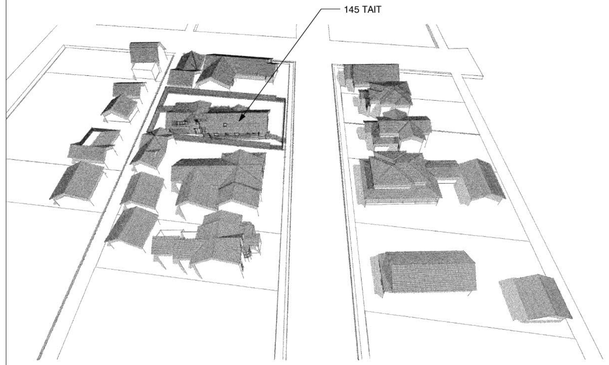
SOUTH/TAIT AVE ELEVATION

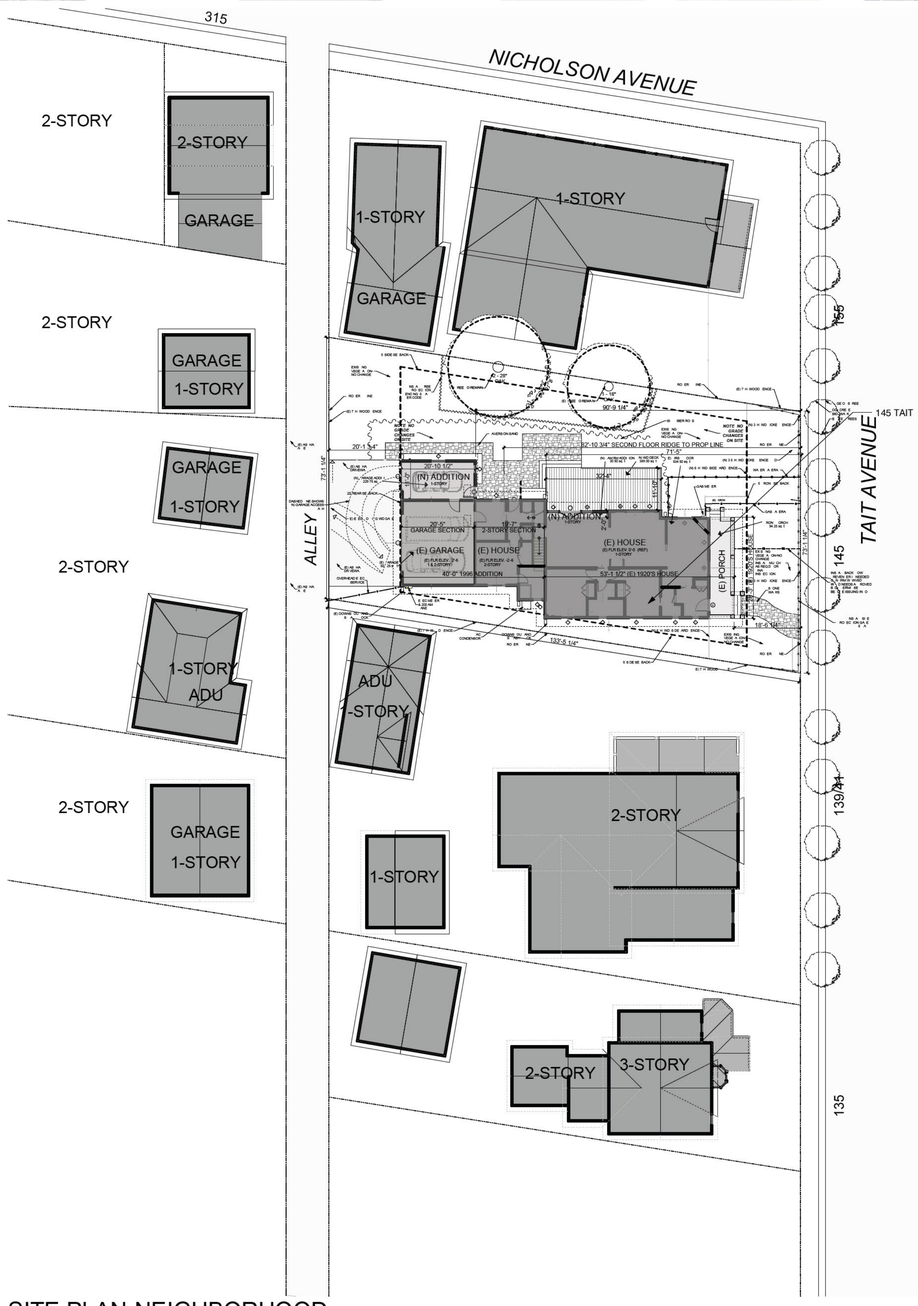
SCALE: 1" = 20'

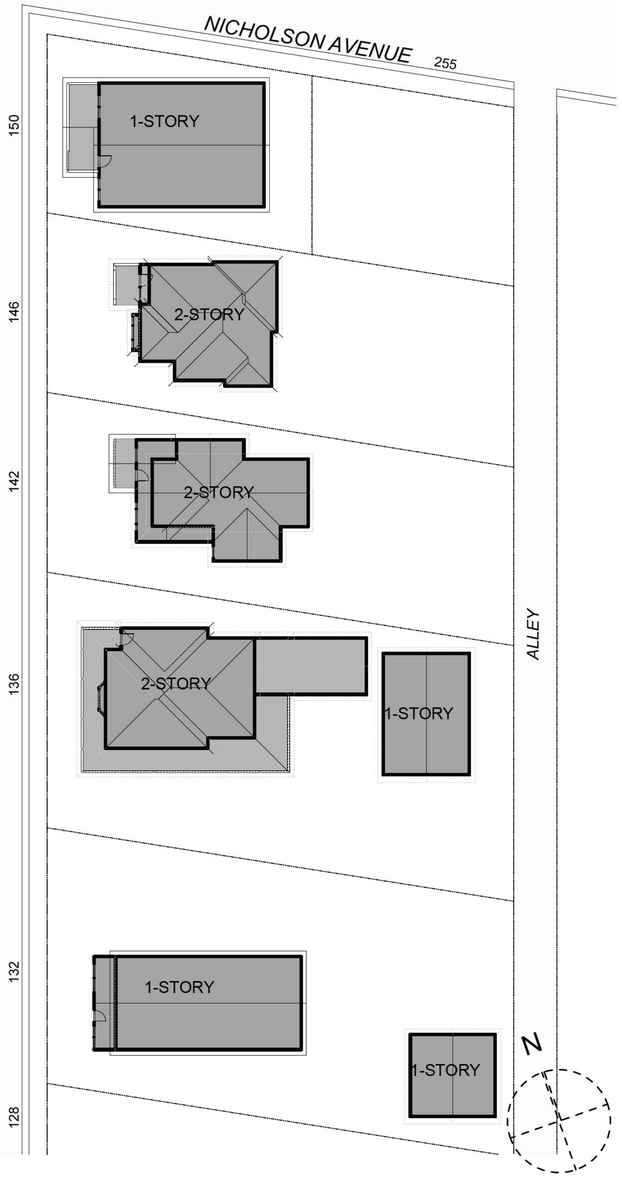
NORTH//TAIT AVE ELEVATION

SCALE: 1" = 20'









SITE PLAN-NEIGHBORHOOD

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C-25632
7/31/2025
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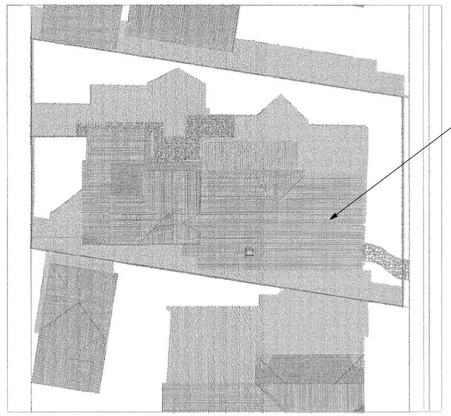
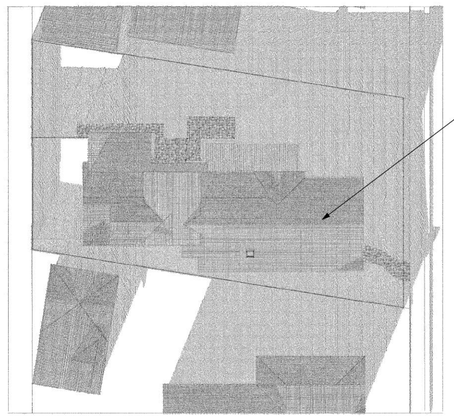
STATE OF CALIFORNIA

DRAWING TITLE:
SITE PLAN-
NEIGHBORHOOD, TAIT AVE
ELEVATIONS

DRAWN	EB
DATE	9/19/2024
SCALE	1" = 20'
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A1.1



12/21 9:00 AM



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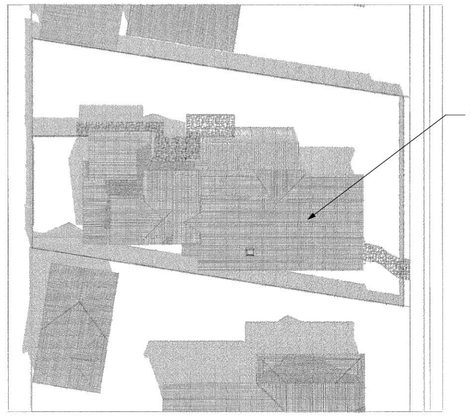

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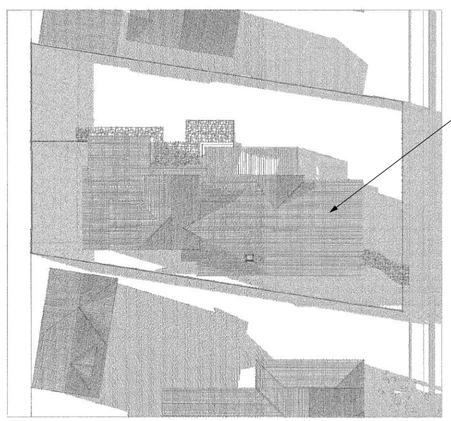
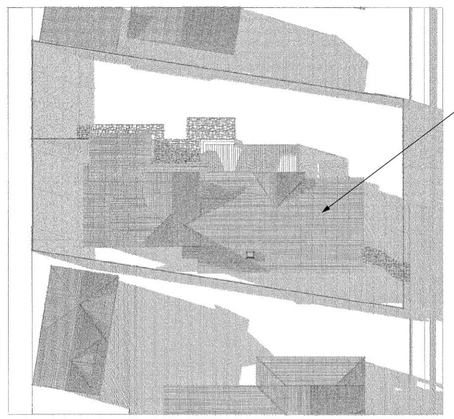


12/21 3:00 PM



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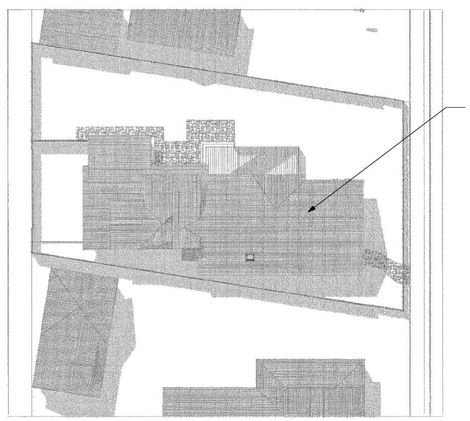

6/21 3:00 PM

REVISIONS:	BY
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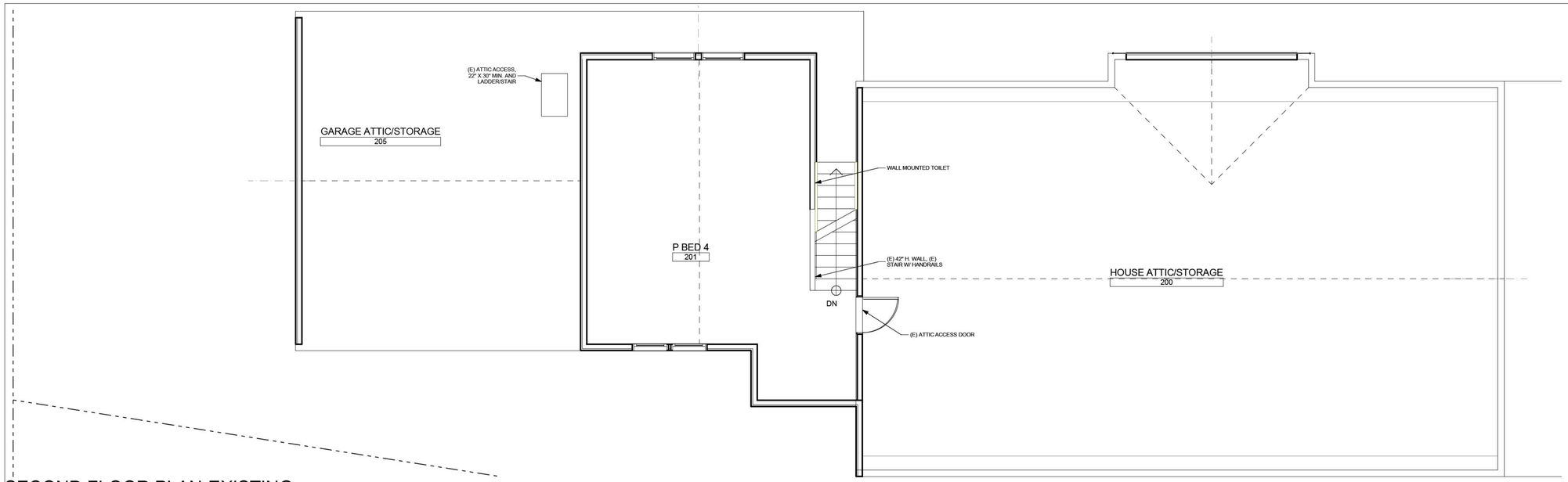
SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

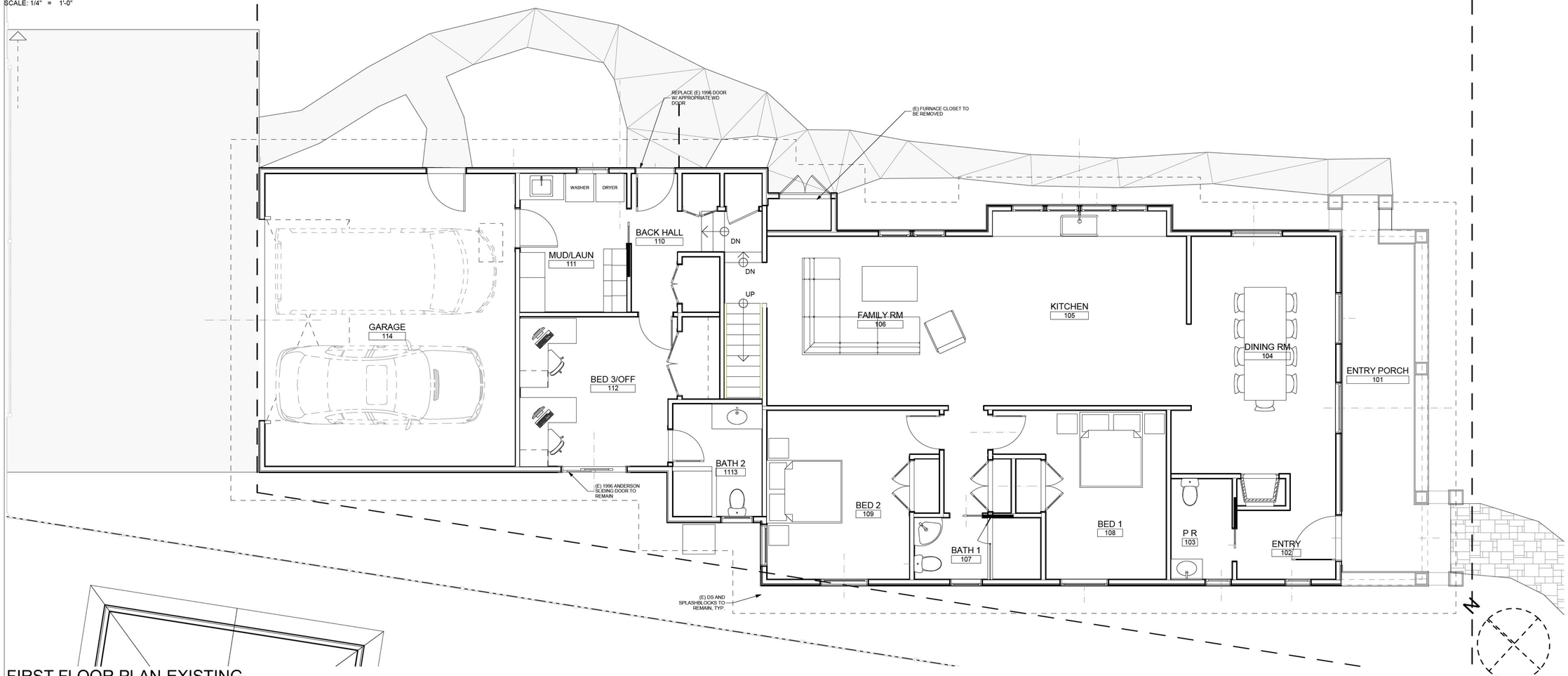
DRAWING TITLE:
SHADOW STUDIES

DRAWN: EB
DATE: 9/19/2024
SCALE:
JOB NO.: 6
FILENAME: 2427 145 TAIT CD5.0.pln
SHEET: A1.2



SECOND FLOOR PLAN-EXISTING

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN-EXISTING

SCALE: 1/4" = 1'-0"

REVISIONS:	BY:
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7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE: FLOOR PLANS-EXISTING

DRAWN: EB

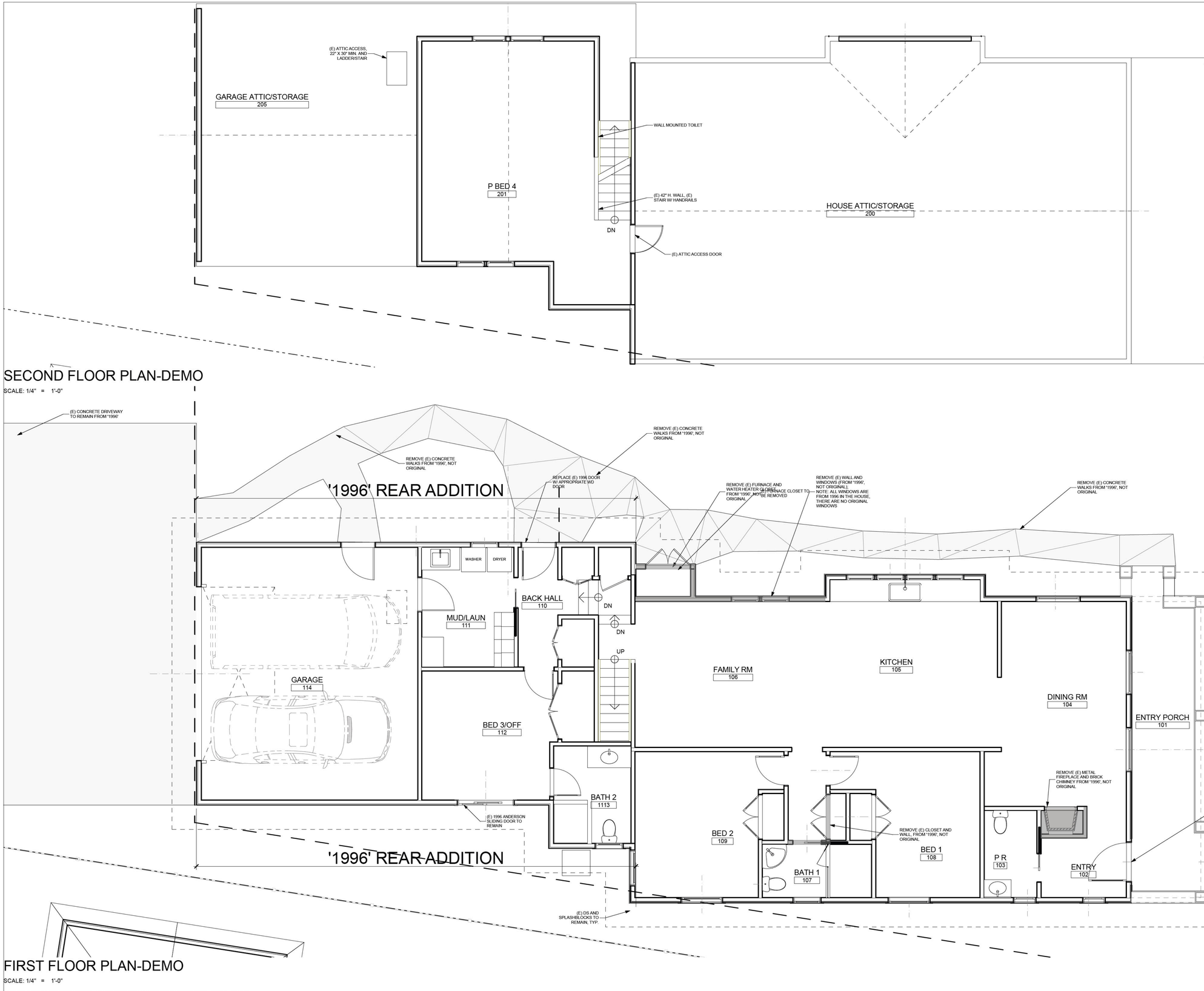
DATE: 9/19/2024

SCALE: 1/4" = 1'-0"

JOB NO.: 6

FILENAME: 2427 145 TAIT CD5.0.pln

SHEET: A2.0E



SECOND FLOOR PLAN-DEMO

SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN-DEMO

SCALE: 1/4" = 1'-0"

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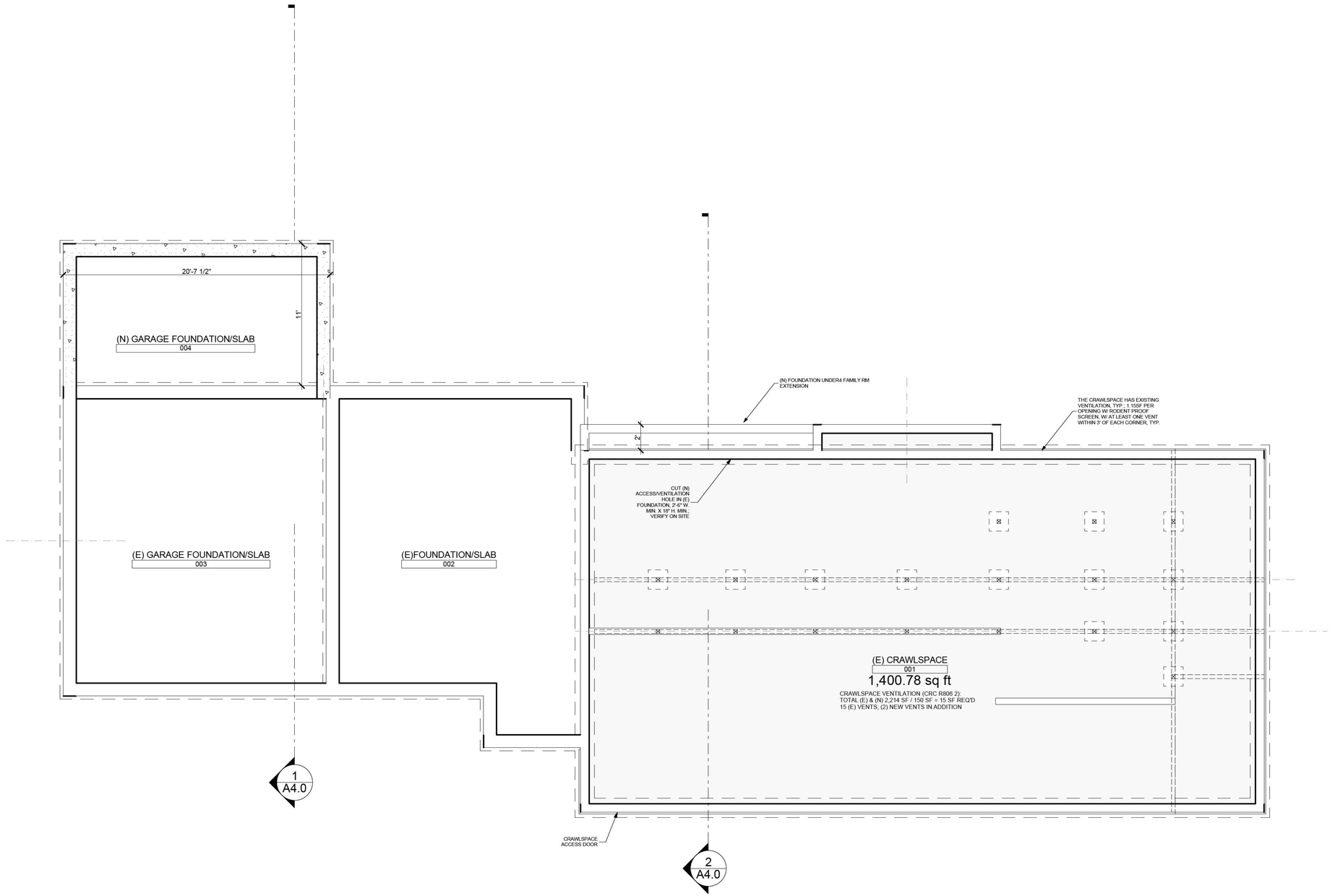
SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
FLOOR PLANS-DEMO

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A2.1D



SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 1/4" = 1'-0"

REVISIONS:	BY
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7/31/2025
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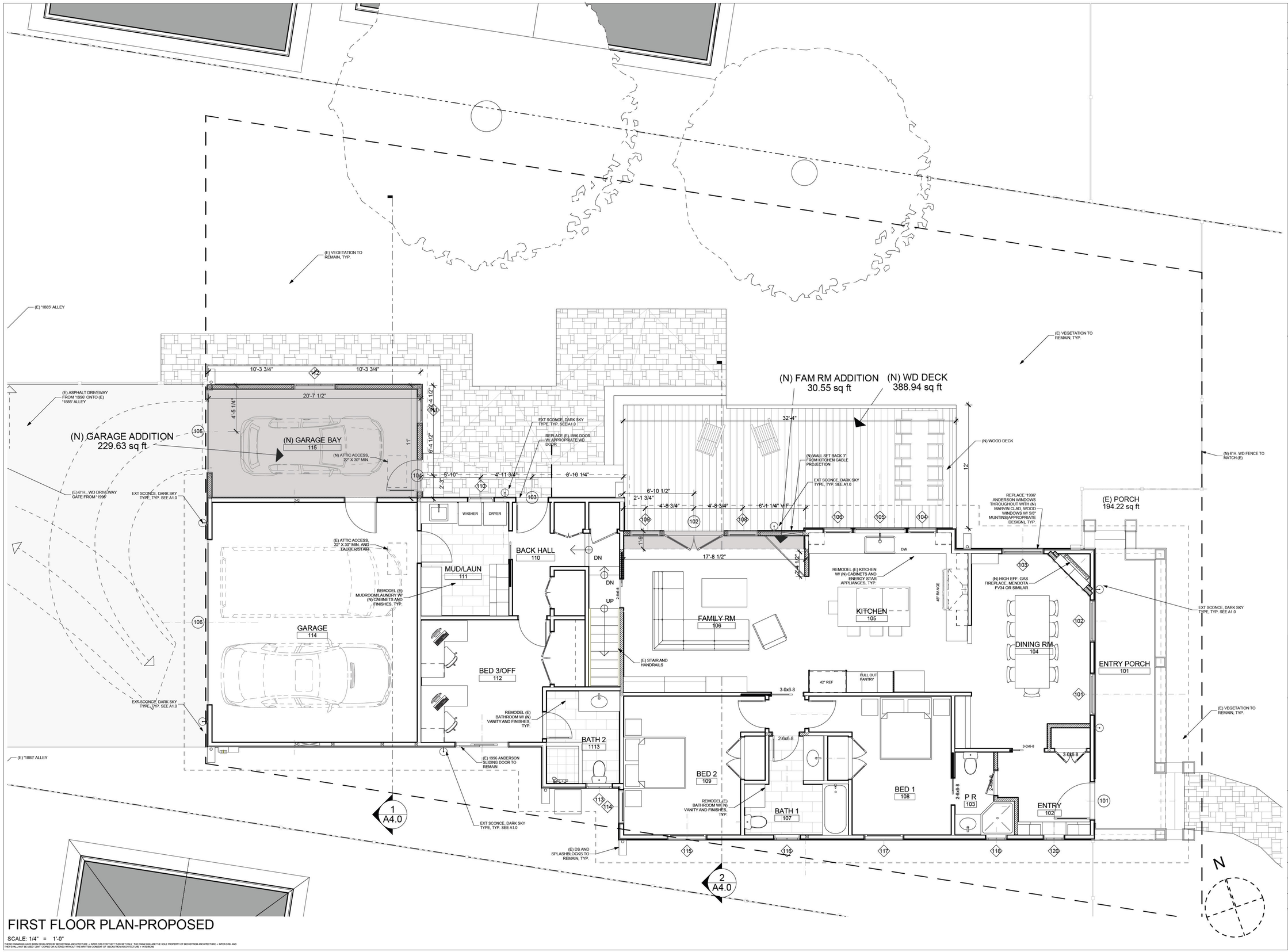
DRAWING TITLE:
CRAWLSPACE-PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A2.2



FIRST FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

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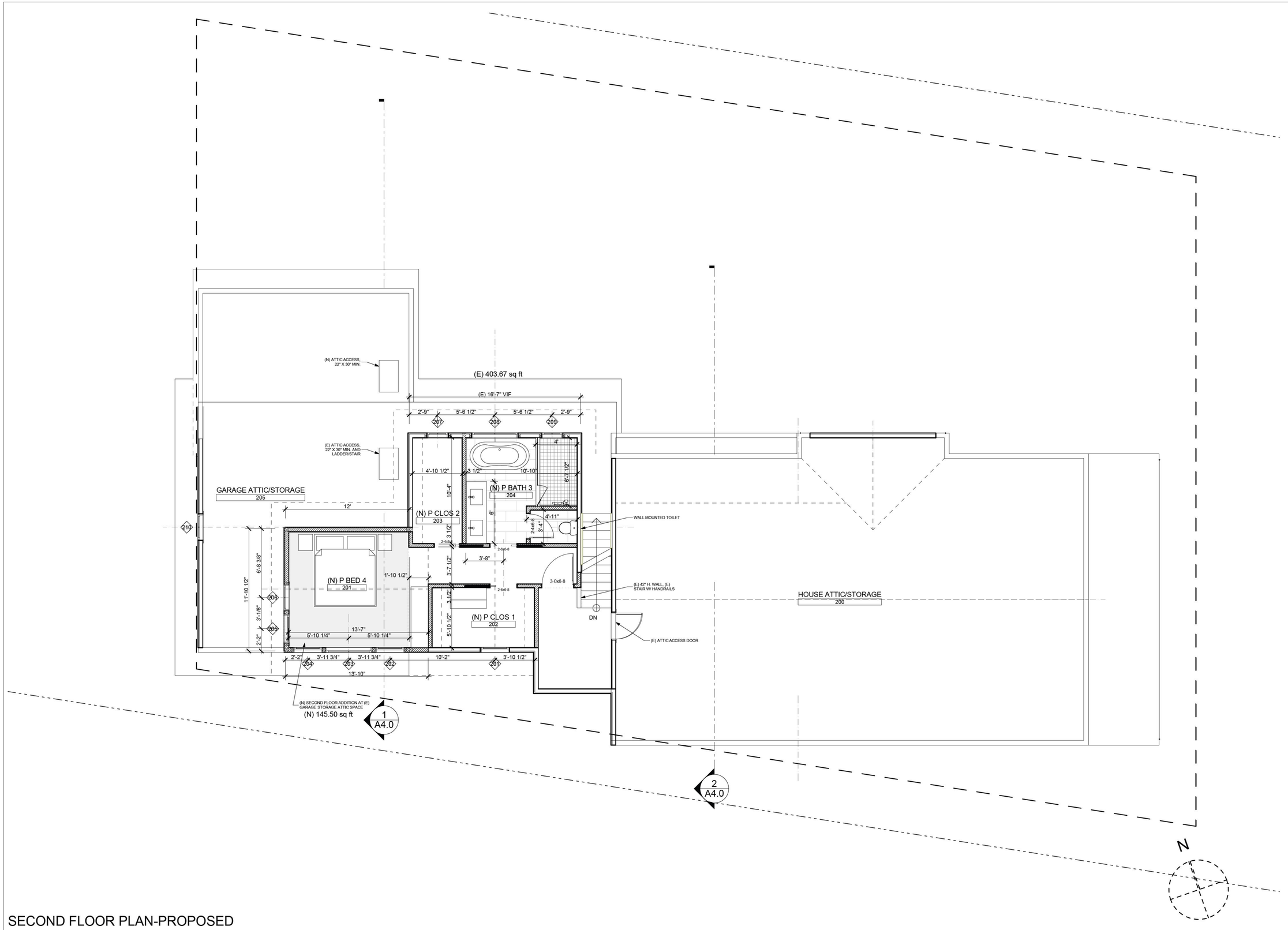
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
FIRST FLOOR PLAN-PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A2.3



SECOND FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS:	BY:
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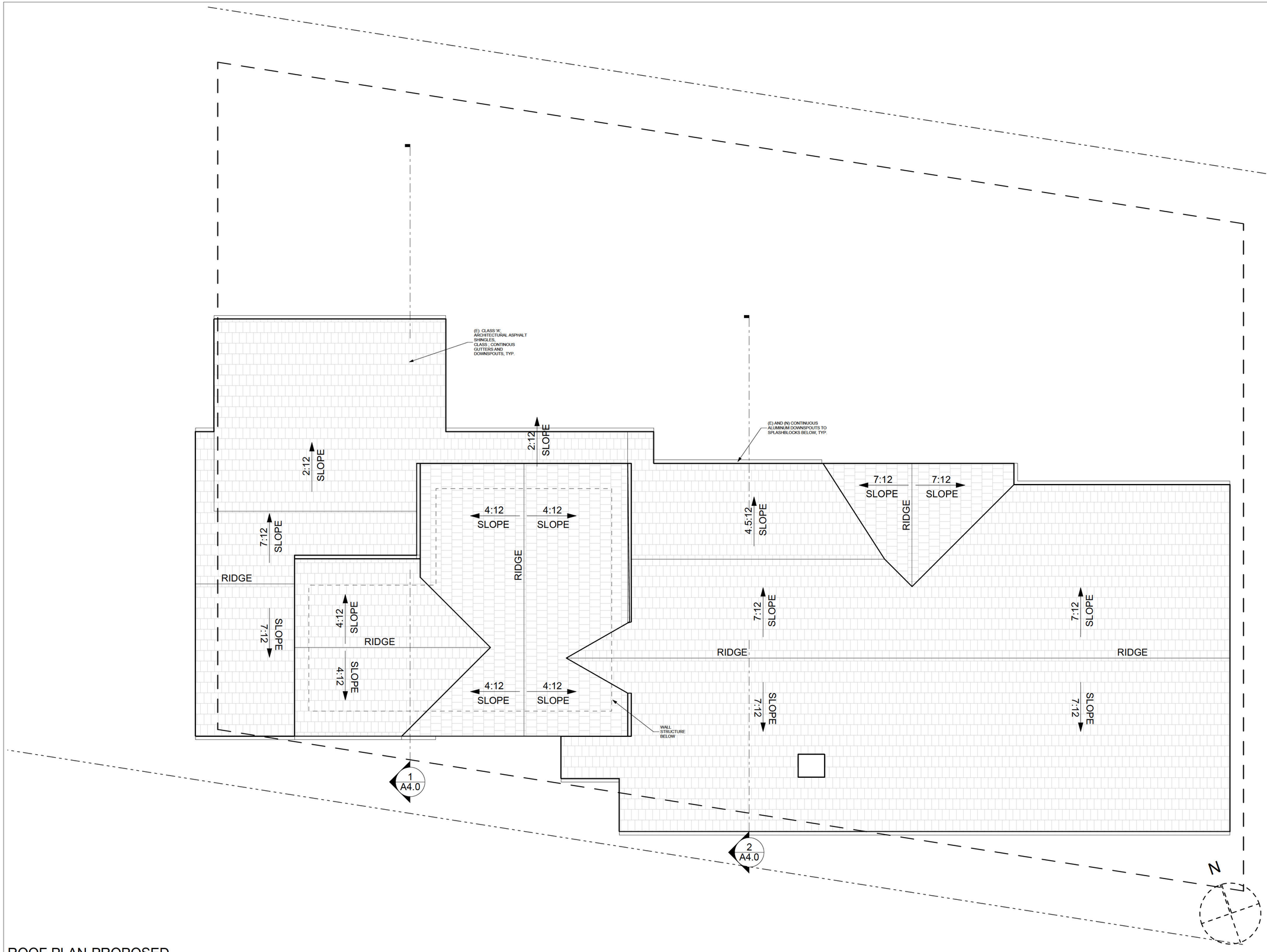
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
SECOND FLOOR PLAN-PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A2.4



ROOF PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS:	BY
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145 Tait Avenue
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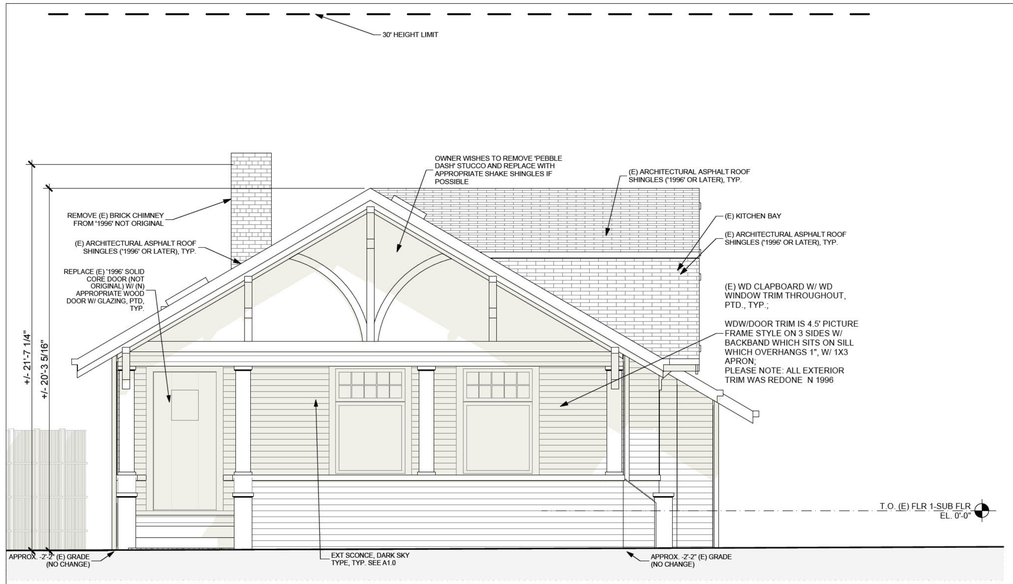
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

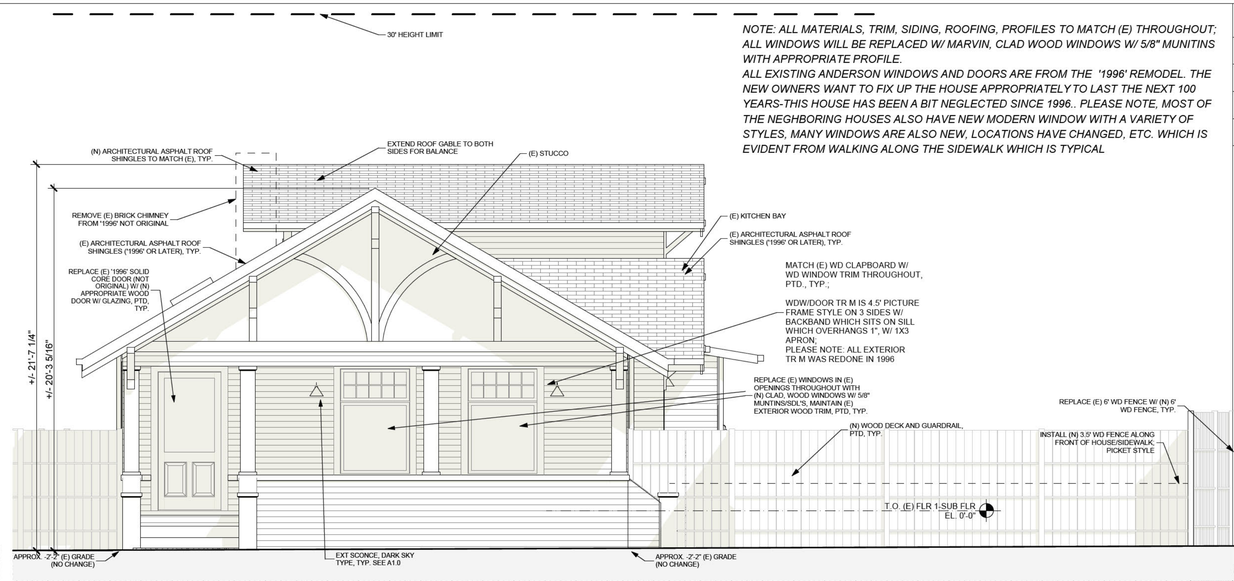
DRAWING TITLE:
ROOF PLAN-PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A2.5



SOUTH/STREET ELEVATION-EXISTING

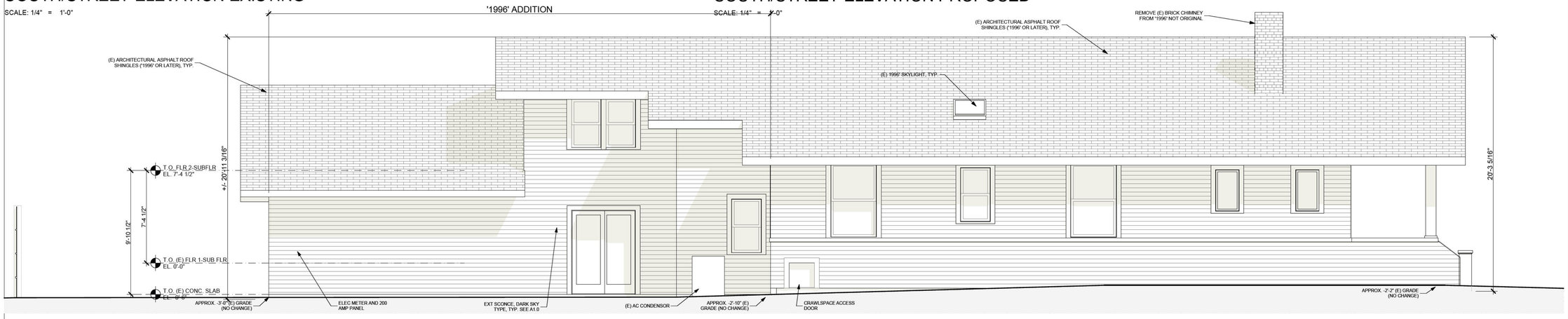
SCALE: 1/4" = 1'-0"



NOTE: ALL MATERIALS, TRIM, SIDING, ROOFING, PROFILES TO MATCH (E) THROUGHOUT; ALL WINDOWS WILL BE REPLACED W/ MARVIN, CLAD WOOD WINDOWS W/ 5/8" MUNITINS WITH APPROPRIATE PROFILE.
ALL EXISTING ANDERSON WINDOWS AND DOORS ARE FROM THE '1996' REMODEL. THE NEW OWNERS WANT TO FIX UP THE HOUSE APPROPRIATELY TO LAST THE NEXT 100 YEARS-THIS HOUSE HAS BEEN A BIT NEGLECTED SINCE 1996.. PLEASE NOTE, MOST OF THE NEGHBORING HOUSES ALSO HAVE NEW MODERN WINDOW WITH A VARIETY OF STYLES, MANY WINDOWS ARE ALSO NEW, LOCATIONS HAVE CHANGED, ETC. WHICH IS EVIDENT FROM WALKING ALONG THE SIDEWALK WHICH IS TYPICAL

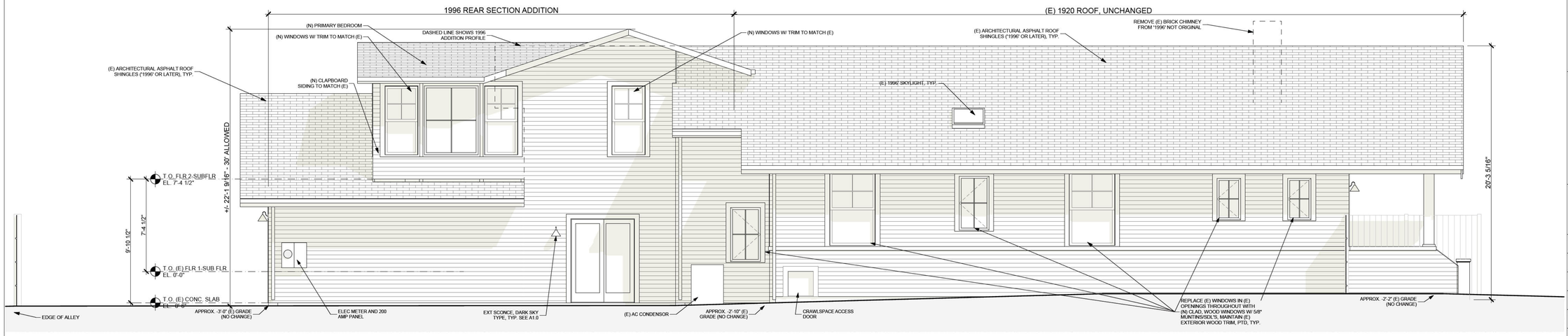
SOUTH/STREET ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"



WEST/LEFT ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



WEST/LEFT ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS	BY
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C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
ELEVATIONS-EXISTING & PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A3.0

NOTE: ALL MATERIALS, TRIM, SIDING, ROOFING, PROFILES TO MATCH (E) THROUGHOUT; ALL WINDOWS WILL BE REPLACED W/ MARVIN, CLAD WOOD WINDOWS W/ 5/8" MUNITINS WITH APPROPRIATE PROFILE.
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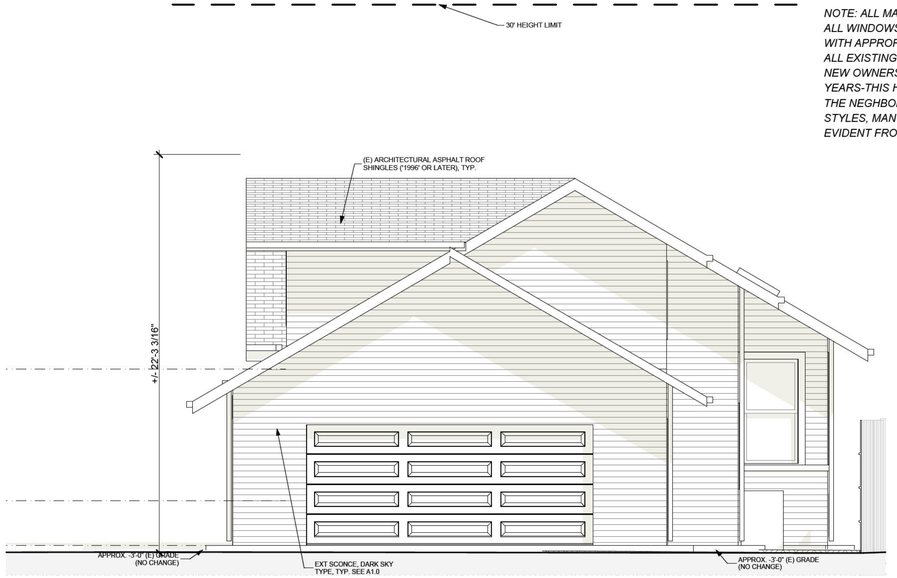
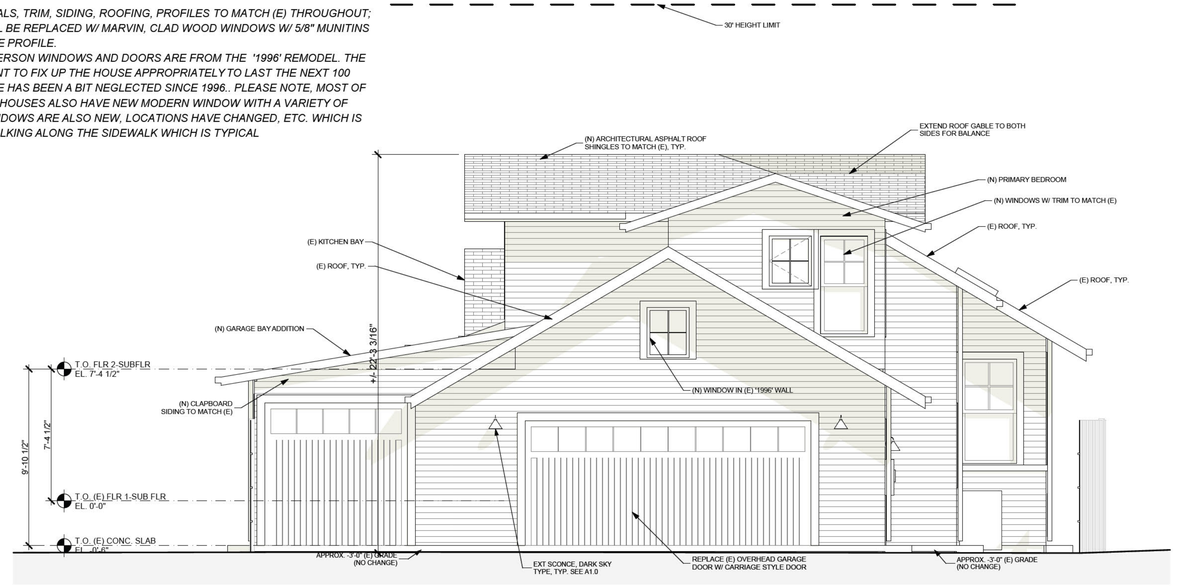


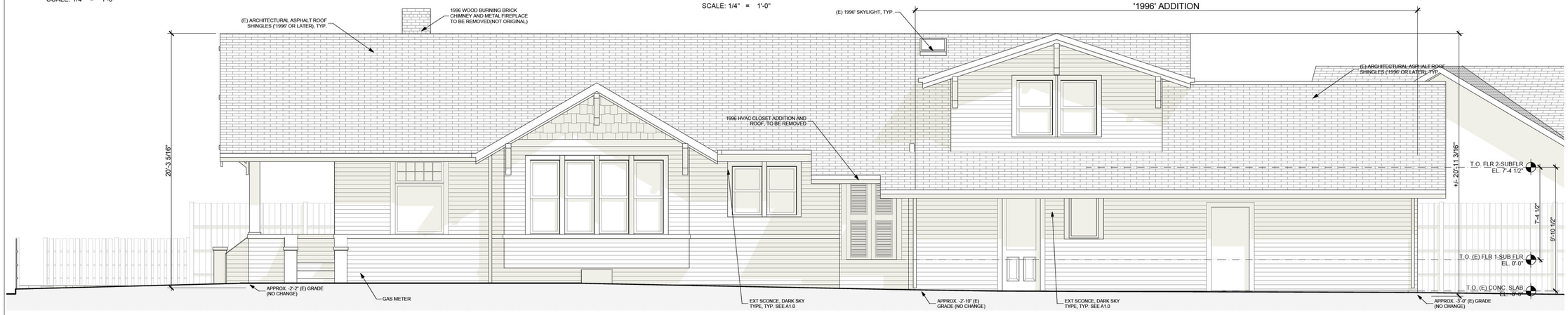
NORTH/BACK ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



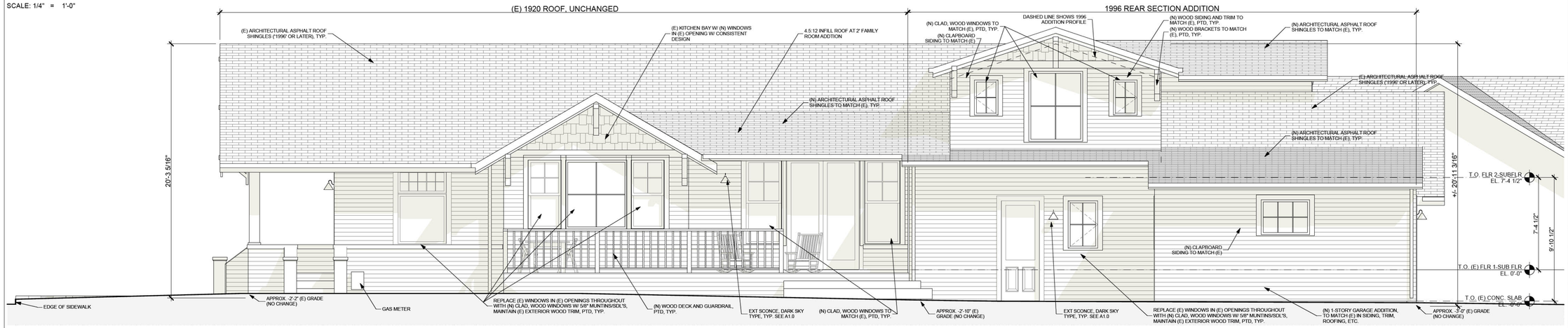
NORTH/BACK ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"



EAST/RIGHT ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



EAST/RIGHT ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS	BY
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△	
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APN: 510-18-029

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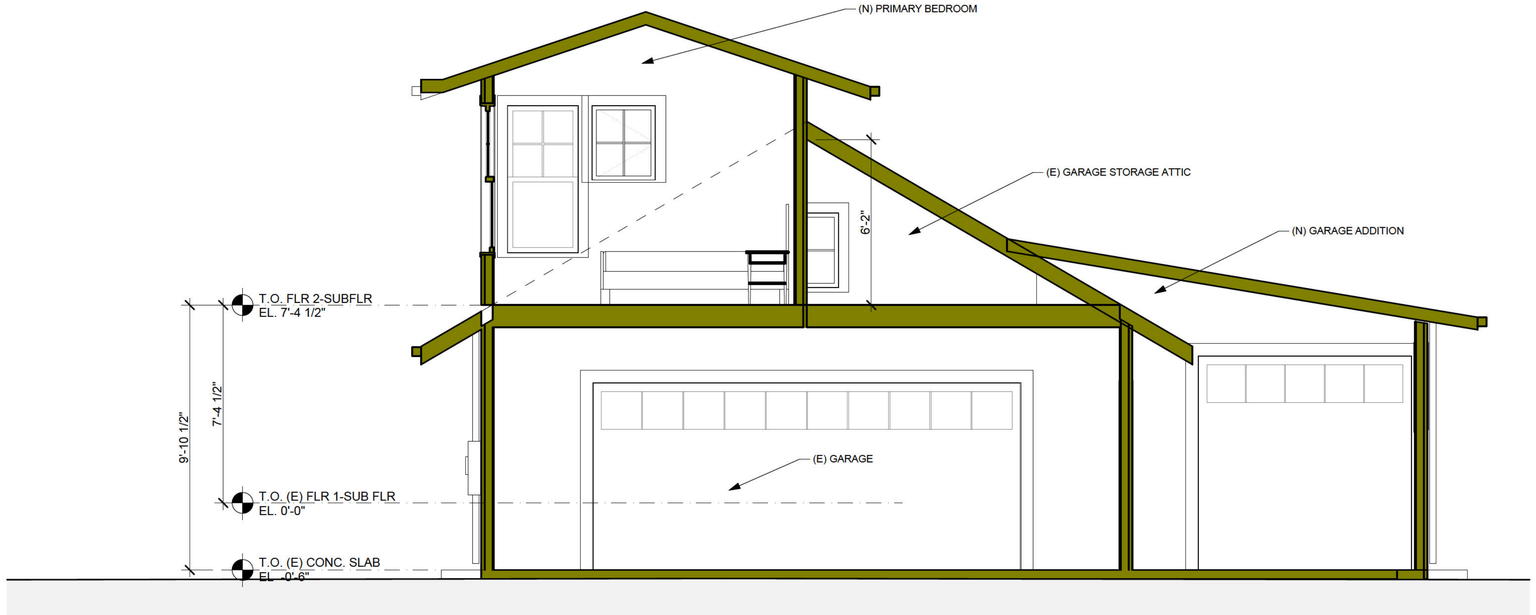
SEAL:

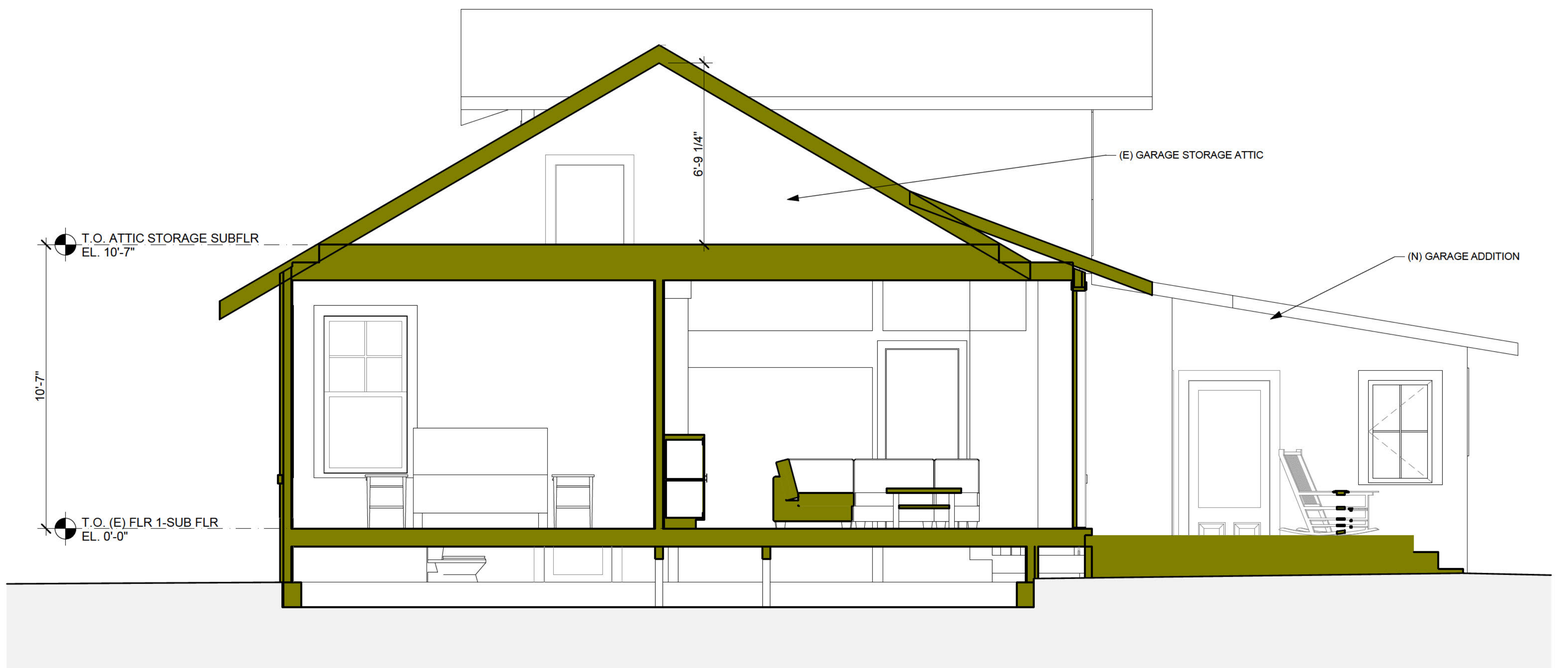
DRAWING TITLE: ELEVATIONS-EXISTING & PROPOSED

DRAWN	EB
DATE	9/19/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A3.1



1 A4.0 SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 3/8" = 1'-0"



2 A4.0 SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 3/8" = 1'-0"

REVISIONS:	BY
△	EB
△	
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SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
BUILDING SECTIONS

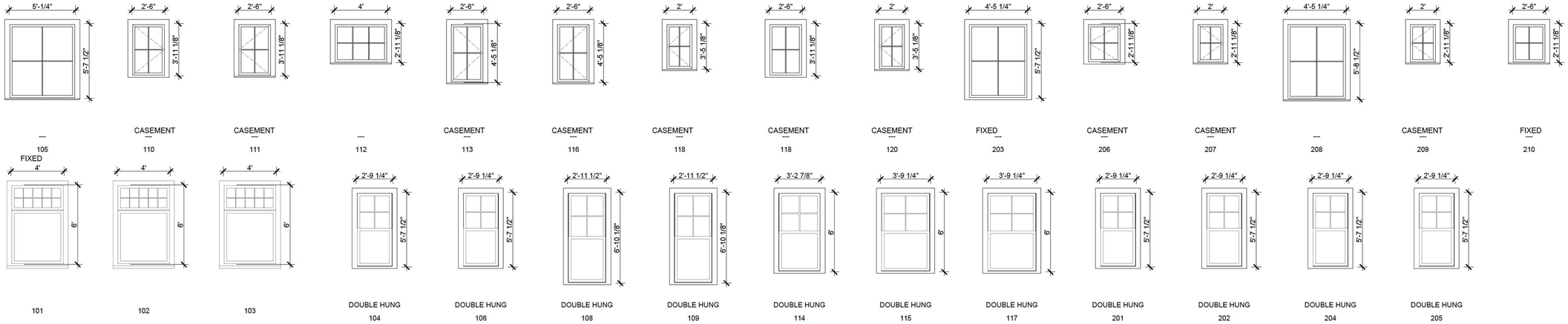
DRAWN	EB
DATE	9/19/2024
SCALE	3/8" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD5.0.pln
SHEET	A4.0

WINDOW SCHEDULE

WDW NO	RM NO	RM NAME	TYPE	UNIT WIDTH	UNIT HEIGHT	SAFETY GLAZING	REMARKS
101	104	DINING RM		4'	6'	YES	
102	104	DINING RM		4'	6'	YES	
103	104	DINING RM		4'	6'	YES	
104	105	KITCHEN	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"	YES	
105	105	KITCHEN	---	5'-1/4"	5'-7 1/2"	YES	
106	105	KITCHEN	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"		
108	106	FAMILY RM	DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
109	106	FAMILY RM	DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"		
110	111	MUD/LAUN	---	2'-6"	3'-11 1/8"	YES	
111	115	(N) GARAGE BAY	---	2'-6"	3'-11 1/8"	YES	
112	115	(N) GARAGE BAY	---	4'	2'-11 1/8"	YES	
113	1113	BATH 2	---	2'-6"	4'-5 1/8"	YES	
114	109	BED 2	DOUBLE HUNG	3'-2 7/8"	6'	YES	
115	109	BED 2	DOUBLE HUNG	3'-9 1/4"	6'		
116	107	BATH 1	---	2'-6"	4'-5 1/8"	YES	
117	108	BED 1	DOUBLE HUNG	3'-9 1/4"	6'	YES	
118	103	P R	---	2'	3'-5 1/8"	YES	
118	111	MUD/LAUN	---	2'-6"	3'-11 1/8"	YES	
120	102	ENTRY	---	2'	3'-5 1/8"	YES	
201	202	(N) P CLOS 1	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"	YES	
202	201	(N) P BED 4	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"	YES	
203	201	(N) P BED 4	---	4'-5 1/4"	5'-7 1/2"	YES	
204	201	(N) P BED 4	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"	YES	
205	201	(N) P BED 4	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"		
206	201	(N) P BED 4	---	2'-6"	2'-11 1/8"	YES	
207	203	(N) P CLOS 2	---	2'	2'-11 1/8"	YES	
208	204	(N) P BATH 3	---	4'-5 1/4"	5'-8 1/2"	YES	
209	204	(N) P BATH 3	---	2'	2'-11 1/8"	YES	
210	205	GARAGE ATTIC/STORAGE	---	2'-6"	2'-11 1/8"	YES	

CONSTRUCTION NOTE: SIZES ABOVEARE FRAME/WINDOW UNIT SIZE, RO. IS USUALLY 1/2" MORE ON EACH SIDE AND ON THE TOP

WINDOW SPECS:
1. MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRIMED
2. INSULATED, LOW E, ARGON
3. PROVIDE SCREENS FOR ALL WINDOWS
4. 5/8" SDL'S (SIMULATED DIVIDED LITES)
5. OIL RUBBED BRONZE HARDWARE
6. SEE ELEVATIONS FOR HINGE SIDE
7. ELEVATIONS AND DIAGRAMS BELOW SHOW MULLED UNITS



DOOR SCHEDULE

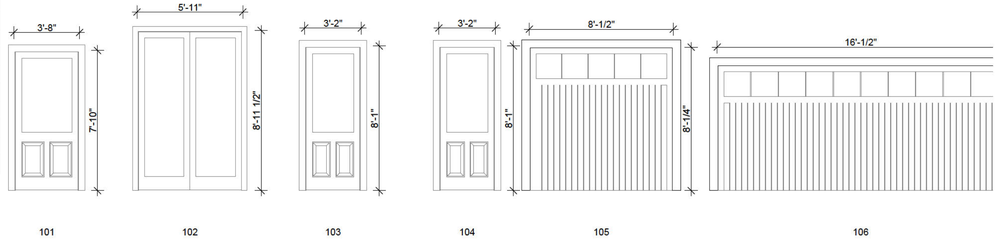
DOOR NO	RM NAME	RM NO	UNIT WIDTH	UNIT HEIGHT	REMARKS
101	ENTRY	102	3'-6"	7'-9"	WD, PAINTED W/ GLAZING
102	FAMILY RM	106	5'-11"	8'-11 1/2"	MARVIN ULTIMATE FRENCH
103	BACK HALL	110	3'	8'	WD, PAINTED W/ GLAZING
104	(N) GARAGE BAY	115	3'	8'	WD, PAINTED W/ GLAZING
105	(N) GARAGE BAY	115	8'	8'	CARRIAGE STYLE W/ LITES, PTD
106	GARAGE	114	16'	7'	CARRIAGE STYLE W/ LITES, PTD

CONSTRUCTION NOTE: SIZES ABOVEARE FRAME/WINDOW UNIT SIZE, RO. IS USUALLY 1/2" MORE ON EACH SIDE AND ON THE TOP

DOOR SPECS:
1. MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRIMED
2. INSULATED, LOW E, ARGON
3. OIL RUBBED BRONZE HARDWARE
4. 5/8" SDL'S (SIMULATED DIVIDED LITES)

DOOR NOTES:

1. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK, TYP.
2. ALL DIMENSIONS INDICATED ON THIS SHEET REPRESENT DOOR UNIT DIMENSIONS, AS REFERENCED IN DETAILS.
3. DOORS INDICATED ON THIS SHEET REPRESENT THE EXTERIOR VIEW OF THE WINDOW.
4. ALL GLAZING TO BE INSULATED (DOUBLE) WITH LOW-E COATING, U.O.N.
5. HEAD HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
86 HARDWARE T.B.D.



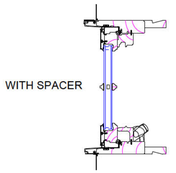
1840'S HOUSE, NEW ADDITION ON LEFT, ALL WINDOWS UPGRADED TO MARVIN ULTIMATE, CLAD WOOD, SDL WINDOWS

MARVIN CLAD WINDOW SAMPLES

WINDOW U-VALUES

Energy Factor	Value (range)
U Factor:	0.27 - 0.28
Solar Heat Gain (SHGC):	0.19
Visual Transmittance (VT):	0.43
Condensation Resistance (CR):	55 - 57
Energy Star:	NC, SC, S
Energy Star Canada:	
U Factor Canada:	1.53 - 1.59

SECTION DETAILS - STANDARD SIMULATED DIVIDED LITES (SDL)



MARVIN®

DXF/DWG Library 12/15 Warroad, Minnesota

BECKSTROM ARCHITECTURE-PAST PROJECTS (PARTIAL)

BECKSTROM
ARCHITECTURE + INTERIORS
P.O. BOX 1317 LOS GATOS CA 95030
eric@beckstromarch.tecture.com
www.beckstromarch.tecture.com

REVISIONS:	BY
△	EB
△	
△	

Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC Request to Reconsider 9/19/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
WINDOW & DOOR TYPES & SCHEDULES

DRAWN: EB

DATE: 9/19/2024

SCALE: 1' = 1'-0", 1:1.38

JOB NO.: 6

FILENAME: 2427 145 TAIT CD5.0.pln

SHEET: A9.0

CDG
CANNON
DESIGN
GROUP

ARCHITECTURE PLANNING URBAN DESIGN

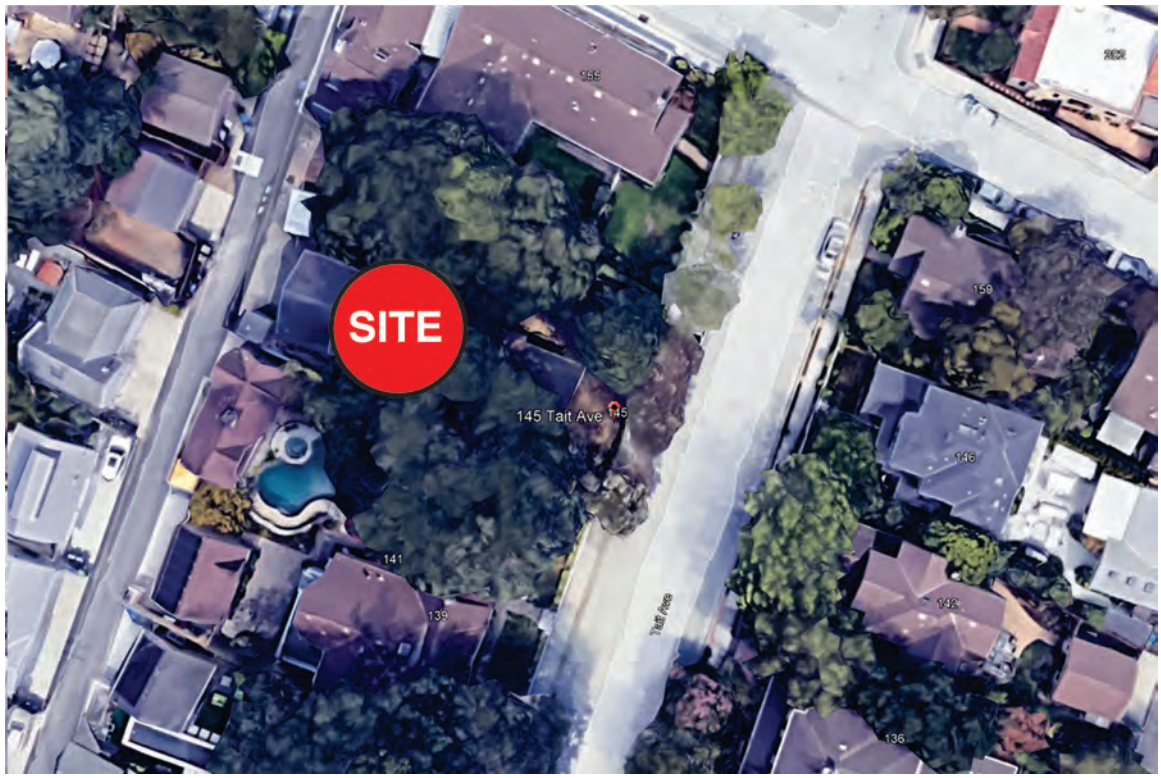
October 14, 2024

Ms. Erin Walters
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 145 Tait Avenue

Dear Erin:
I reviewed the drawings, and evaluated the site context. My comments and recommendations are as follows:

NEIGHBORHOOD CONTEXT
The site is located in a traditional neighborhood of one story and partial second story homes. Photographs of the site and its surrounding context are shown on the following page.

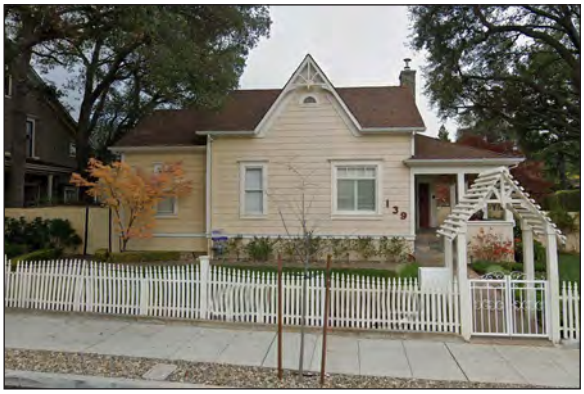


6729 FAIRFIELD DRIVE
SANTA ROSA, CA 95409

TEL: (707) 843-5747
CDGPLAN@PACBELL.NET

The Site: Street Frontage

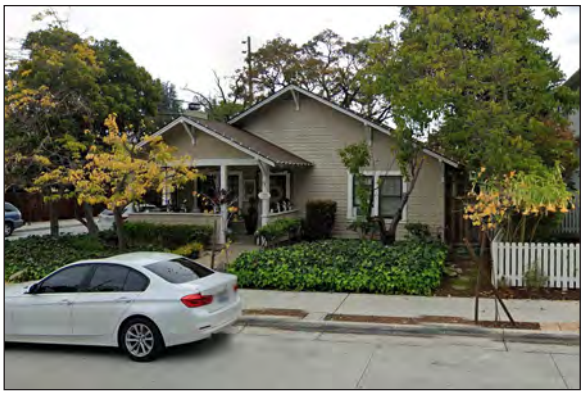
The Site: Alley Frontage



House to the immediate left

House to the immediate right

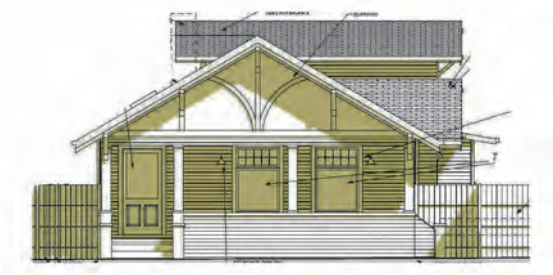
Nearby house to the left



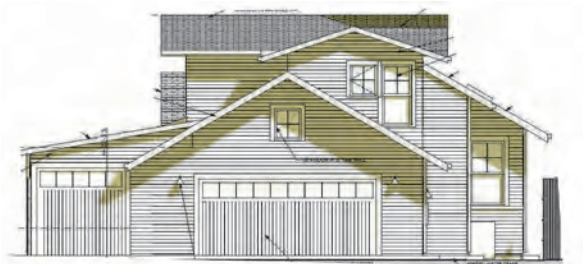
Nearby house Across Tait Avenue

Nearby house Across Tait Avenue

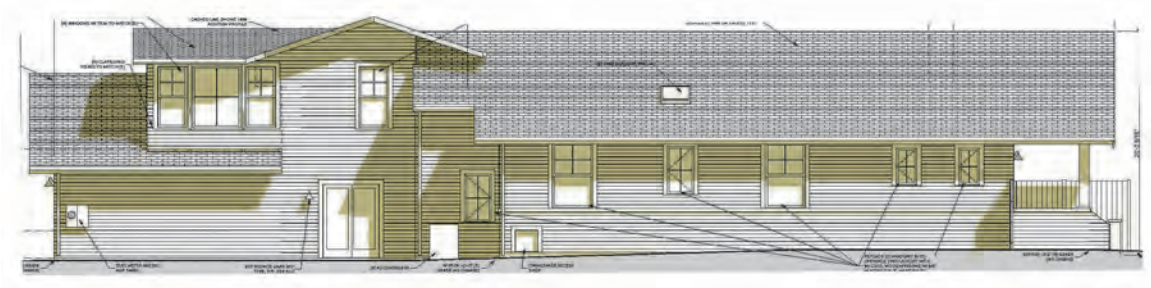
PROPOSED PROJECT



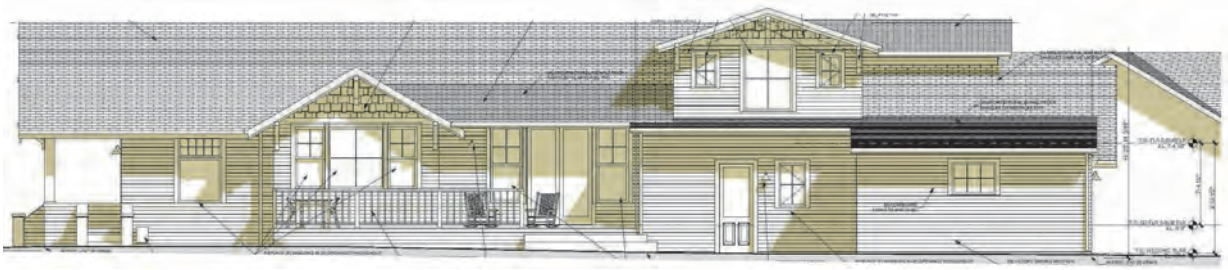
PROPOSED FRONT ELEVATION



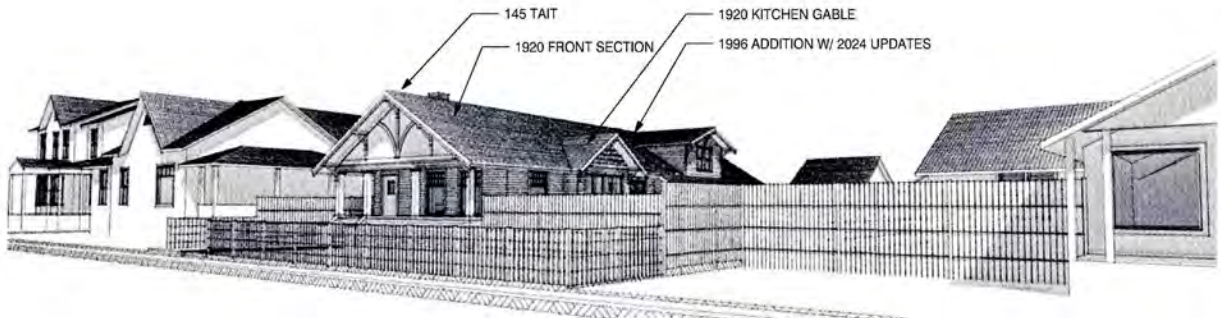
PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION

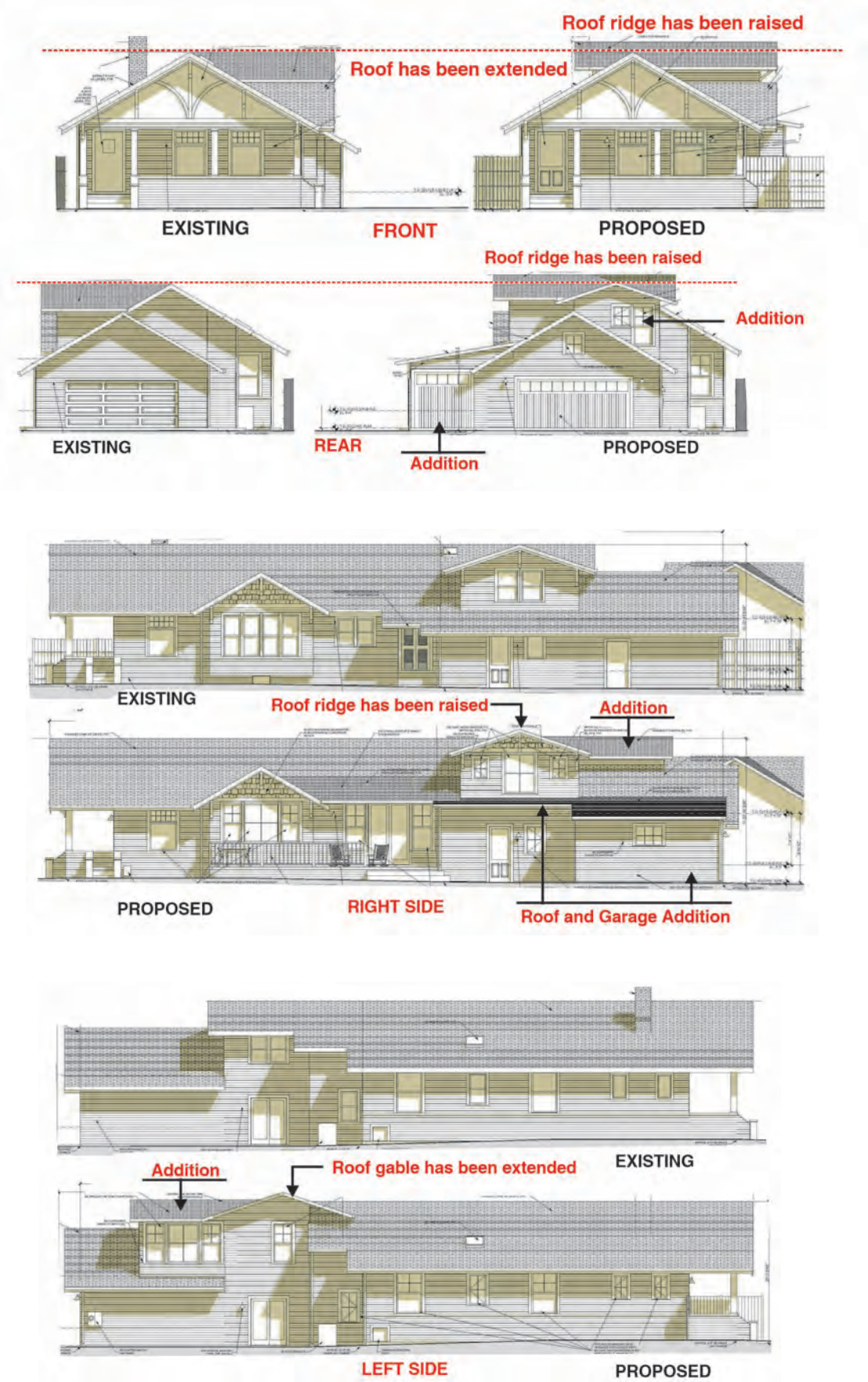


PROPOSED RIGHT SIDE ELEVATION



VIEW FROM TAIT AVENUE

PROPOSED CHANGES



ISSUES AND CONCERNS

The existing house was built with a simple Craftsman Style. In 1996 a small second floor addition was completed. The addition has both positive and negative features. It successfully treated the second floor addition as a design element subordinate to the original house - see photo below.

However the dormer's flattened roof slope compared to the original home's traditional steeper slopes would today be in conflict with the town's Residential Design Guidelines 3.5.1 and 4.8.8.

3.5.1 Unify roof pitches

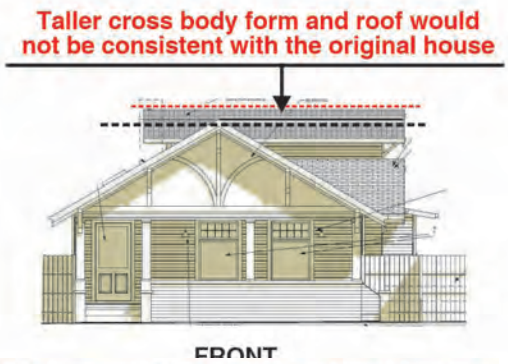
- *Utilize the same slope for all primary roofs*

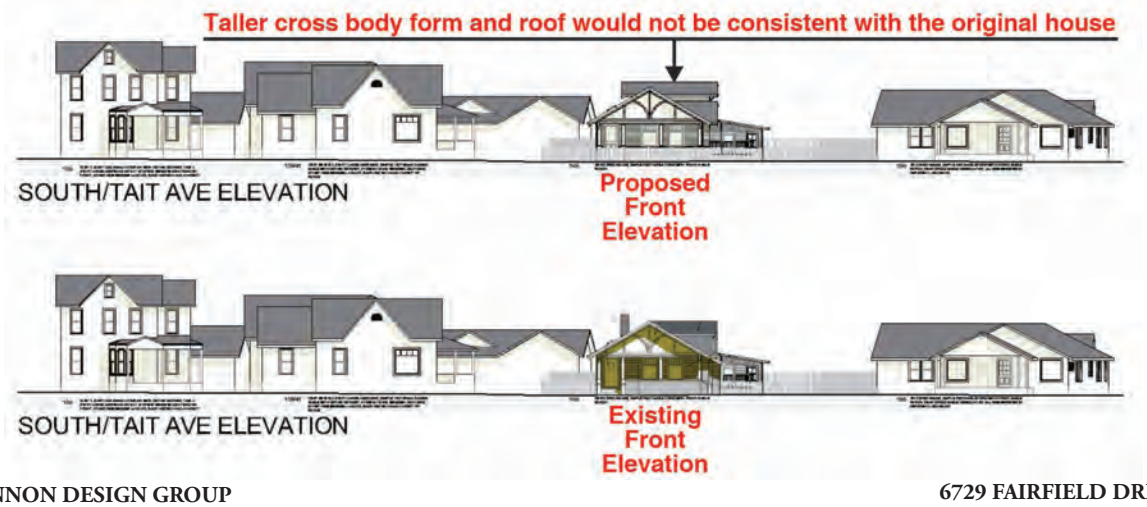
4.8.8 Roofs, Gables, Eaves and Overhangs

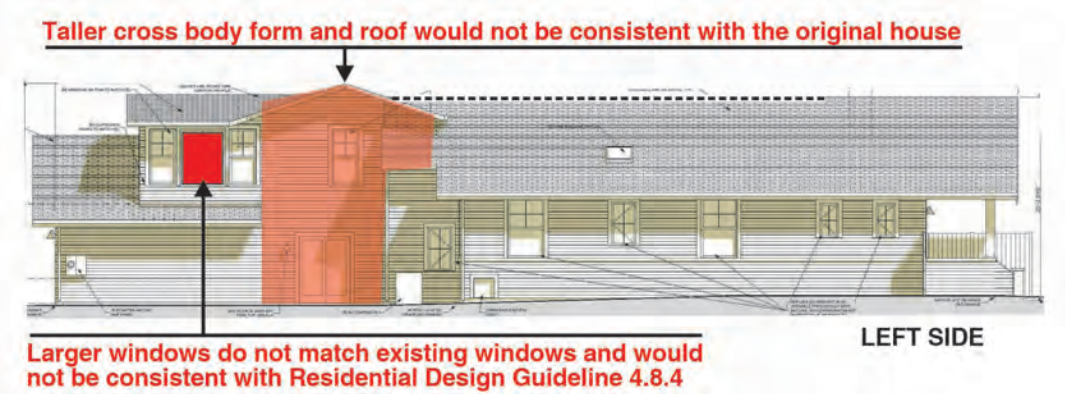
- *Roofs should maintain their original size, shape and pitch.*
- *Any changes in roof area, roof line, roof coverings, eave depth or materials should be consistent with the existing structure.*

The proposed additions to the house are modest in size but have a number of elements that are counter to the goal of carefully crafting changes to reinforce and be respectful of the original form and details of the structure as outlined in Chapter 4 of the Residential Design Guidelines. Specific concerns include the following:

1. The proposed increase in the roof ridge height of the second story dormer element and its extension across the main roof ridge would be counter to blending the addition into the original structure as a subordinate mass, and it would also change the wall and roof forms on the left side elevation to one very much out of character with the architectural style and small scale of the home.



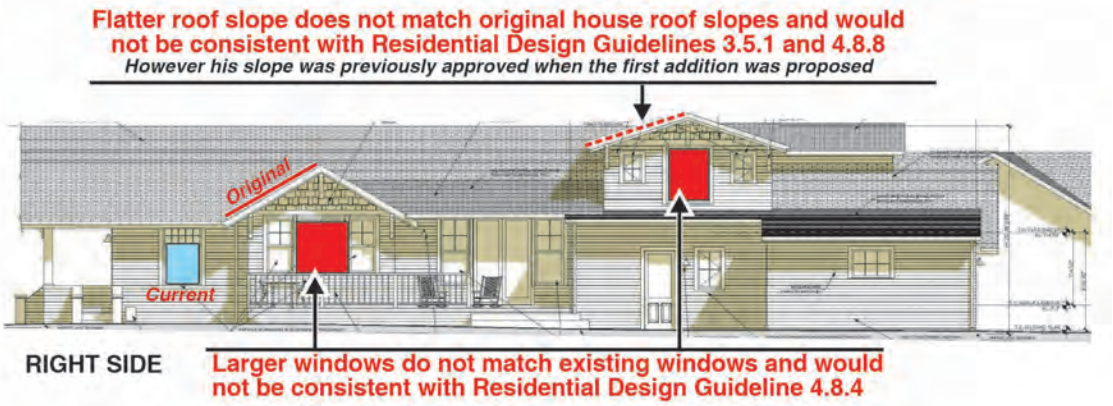




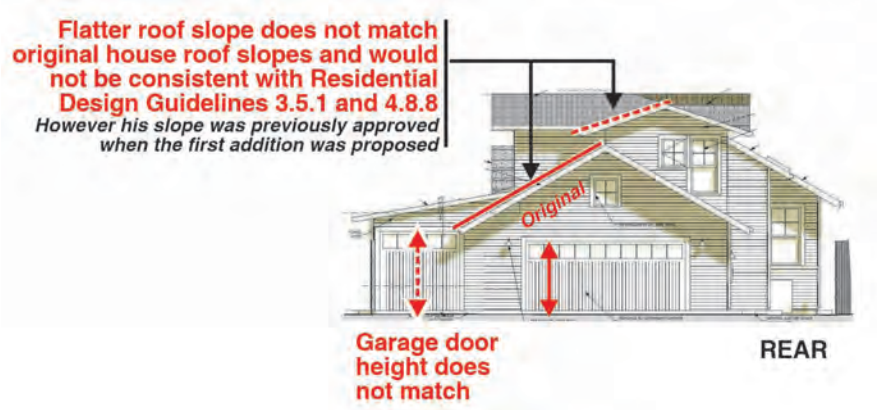
2. A few windows are proposed to increase in size over those currently on the house facades which would not be consistent with Residential Design Guideline 4.8.4.

4.8.4 windows and Glass in doors

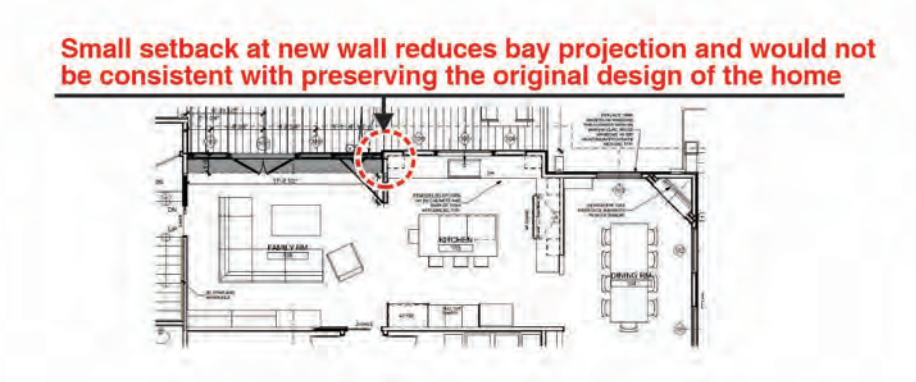
• *All elements of new windows should be identical in size, shape, proportion, and dimensions as the original windows of the building, or consistent with traditional sizes, proportions and dimensions of buildings of the same architectural style, design and era.*



3. The head height of the door on the garage addition is higher than the existing garage which seems at odds with the simplicity of the existing structure.



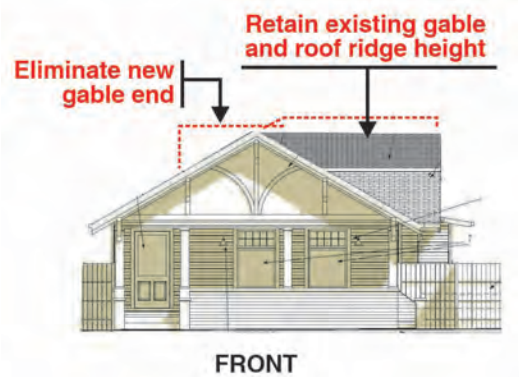
4. A question has been raised about the appropriateness of the proposed windows.
5. The Family Room wall has been pushed outward to provide more floor area in that room. However, this would result in a visual reduction of the bay window projection which would not be consistent with preserving the integrity of the original design.

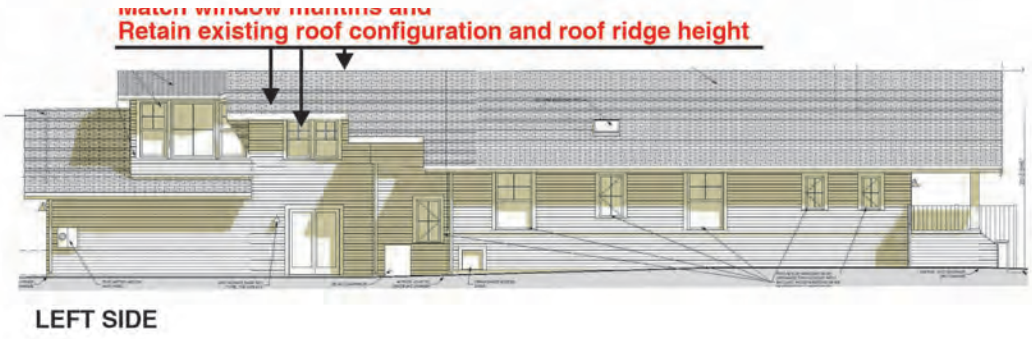


RECOMMENDATIONS

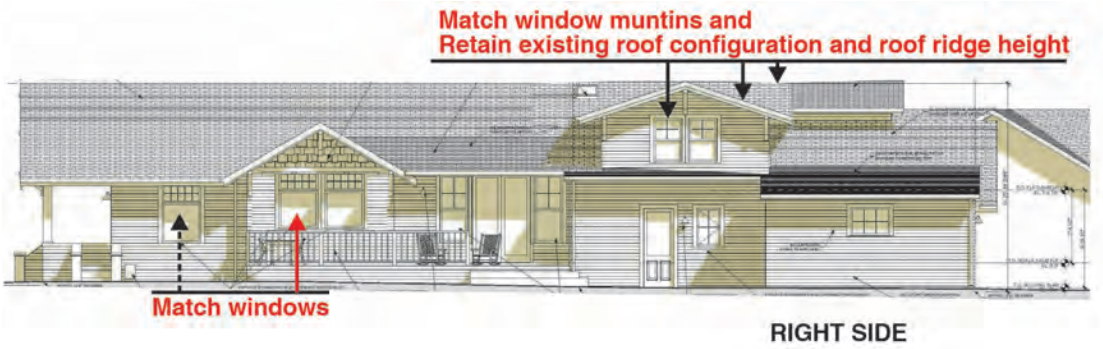
1. Maintain the subordinate character of the second floor additions by maintaining the existing dormer roof ridge height and eliminate its extension to the opposite side of the structure.

   While the roof slope of the current second floor dormer is not consistent with the current town Residential Design Guidelines, it was previously approved and is modest in appearance. I would not recommend any changes to the existing roof slopes.

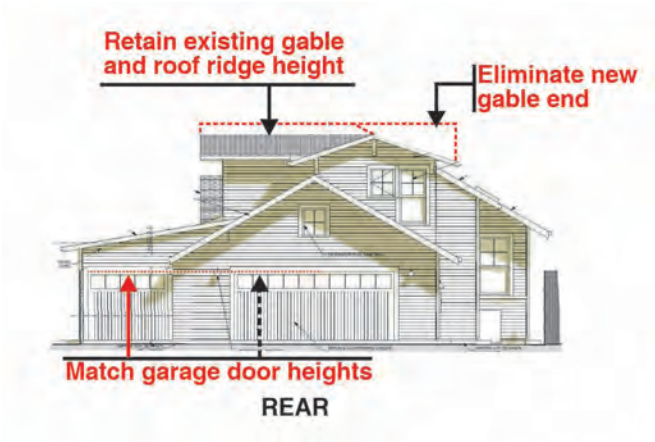




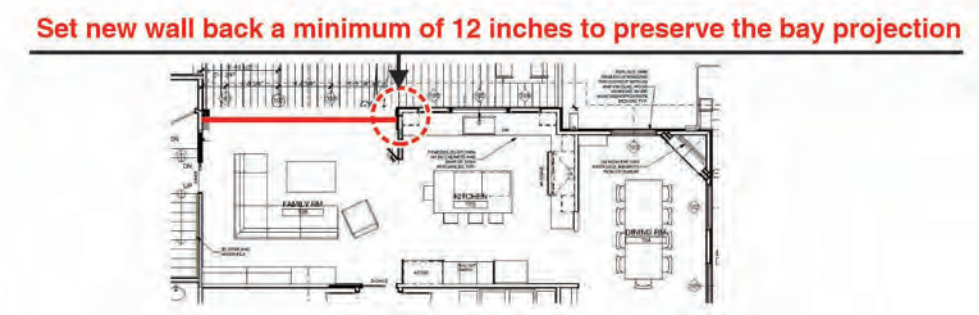
2. Replace the large new windows which are inconsistent with the existing windows on the house with ones that match the size and proportions of existing windows.



3. Match the garage addition's door height to that of the existing garage.



4. Per Residential Design Guideline 4.8.4- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal if the window frame and dressing is designed consistent with the historic context of the building. The proposed Marvin Ultimate wood clad windows are appropriate for the proposed project.
5. Per Residential Design Guideline 4.8.5 Bay Windows. Provide a minimum one-foot setback of the Family Room wall adjacent to the existing bay window.



Erin, please let me know if you have questions or if I missed any important issues.

CANNON DESIGN GROUP

Larry L. Cannon

145 Tait Ave Remodel & Addition

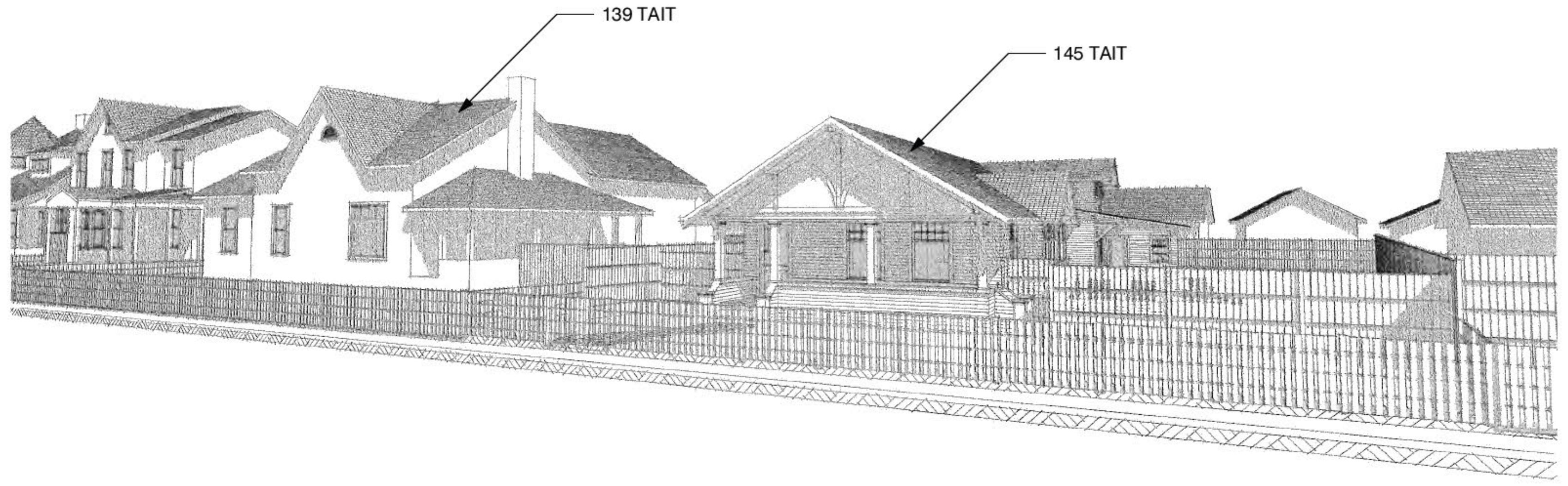
ABBREVIATIONS

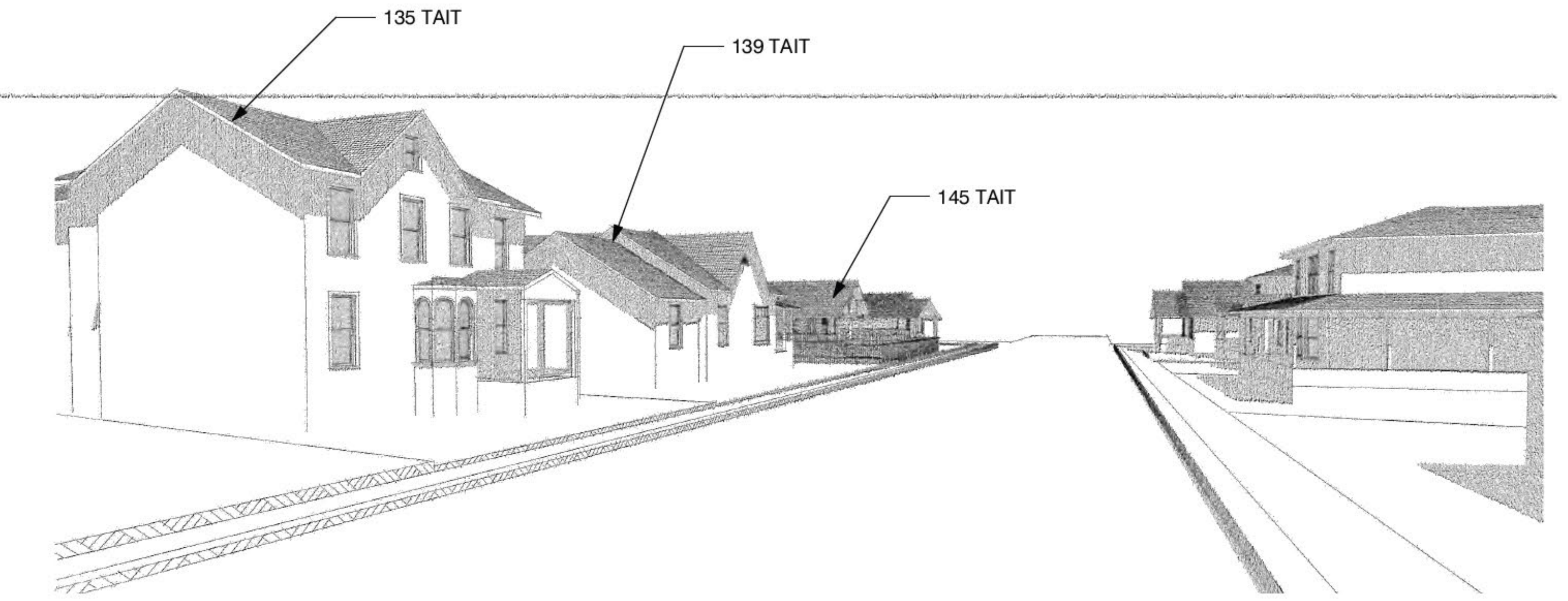
ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFGR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIDGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPE RED
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TOUNGE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYPSUM BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		

APPLICABLE CODES

2022 California Building Code CCR Title 24 Part 2
2022 California Residential Code CCR Title 24 Part 2.5
2022 California Electrical Code CCR Title 24 Part 3
2022 California Mechanical Code CCR Title 24 Part 4
2022 California Plumbing Code CCR Title 24 Part 5
2022 California Building Energy Efficiency Standards CCR Title 24 Part 6
2022 California Historical Building Code CCR Title 24 Part 8
2022 California Existing Building Code CCR Title 24 Part 10
2022 California Green Building Standards Code CCR Title 24 Part 11
2022 International Existing Building Code, Appendix Chapters A2 and A5

2022 California Code of Regulations Title 24, Parts 1 12, including locally adopted Reach Codes





SCFD NOTES

Fire sprinklers not required, 2,418 sf House; 3,600 sf is threshold requirement

R313.2 One- and two-family dwellings automatic fire sprinkler systems. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows:

1.In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than three thousand six hundred (3,600) square feet.

Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

Water Supply Requirements

Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

CONSTRUCTION FIRE SAFETY

Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to make and enforce such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code. Copies of Santa Clara County Fire Marshal Standards and the County Fire Code Amendments can be found on this website. [REF: SCC §A33-47 & CFC §101.4] Construction to comply with Chapter 33 Std Detail and Specification S1-7.

The Fire Marshal's Office also has the responsibility for enforcing Title 19 of the California Code of Regulations, and portions of the California Building Code, as adopted by the County of Santa Clara. A copy of the County Fire Code is kept at the County Clerk of the Board's Office.

PREMISES/ADDRESS IDENTIFICATION

The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved per code: These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewedfrom the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

NOTES

1. All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers must remain on the site for field verification by the Building Inspector. CGBSC Section 4.504.2.4

2. "Prior to final inspection, a letter signed by the general contractor OR the owner/builder (for any owner/builder projects) must be provided to the Town of Los Gatos Building Official certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, aerosol coatings, carpet systems (including carpeting, cushion and adhesive), resilient flooring systems, and composite wood products installed on this project are within the emission limits specified in CGBSC Section 4.504."

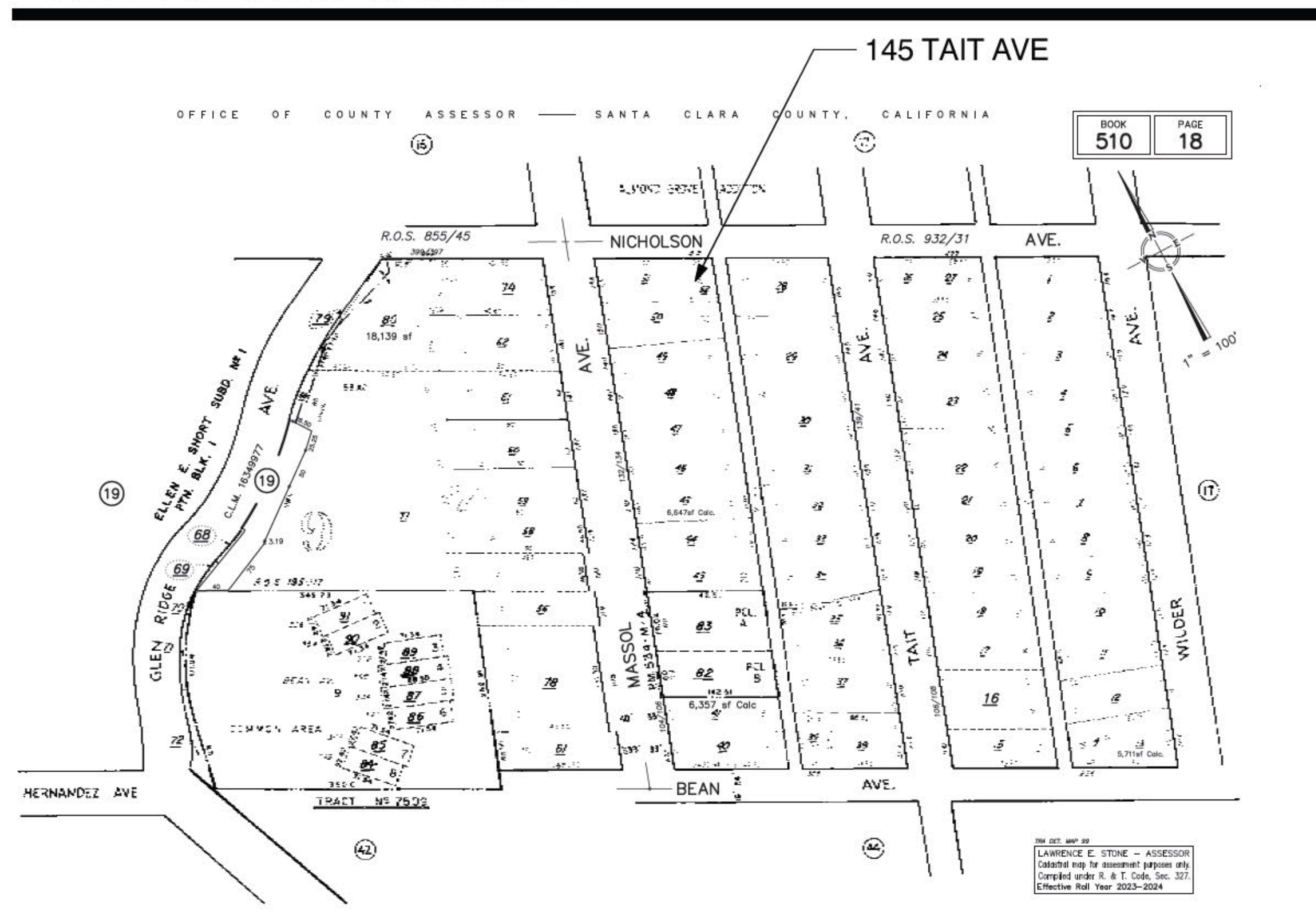
3. Verification of replacement of all existing to remain non-compliant plumbing fixtures with water-conserving plumbing fixtures as specified in Civil Code Section 1101.1-1101.8, shall be provided to the Town Building Inspector, prior to final inspection. This requirement applies to all existing to remain plumbing fixtures located within the structure under the scope of this permit."

CONTACTS

OWNER:	[redacted] 145 Tait Avenue Los Gatos, CA 95030
ARCHITECT:	Beckstrom Architecture + Interiors PO Box 1317, Los Gatos, CA 95030 650 847 835; eric@beckstromarchitecture.com
CONTRACTOR:	OWNER/BUILDER
STRUCTURAL ENGINEER:	Efe Sozkesen MS. PE. 4x Engineering, Inc. 4340 Stevens Creek Blvd. Suite # 240 San Jose, CA 95129 408 642 5464, contact@4xengineering.com
CONTRACTOR:	TBD
TITLE 24/ GREENPOINT RATER:	Title 24 Data Corp Monika Taylor CEA R13 14 10017 633 Monterey Trail, POB 2199, Frazier Park, CA 93225 2199 800 237 8824; title24@frazmtn.com

CONTENTS

ASSESSOR TAX MAP



PROJECT DATA & DESCRIPTION

Assessor's Parcel Number(APN): 510-18-029

ZONING:	R-1D:LHP
BUILT:	1920 AND 1996 BACK ADDITION
LOT SIZE:	9,700 SF
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY GROUP:	R3 - 1-STORY SINGLE FAMILY DWELLING & ATTACHED GROUP U PRIVATE GARAGE

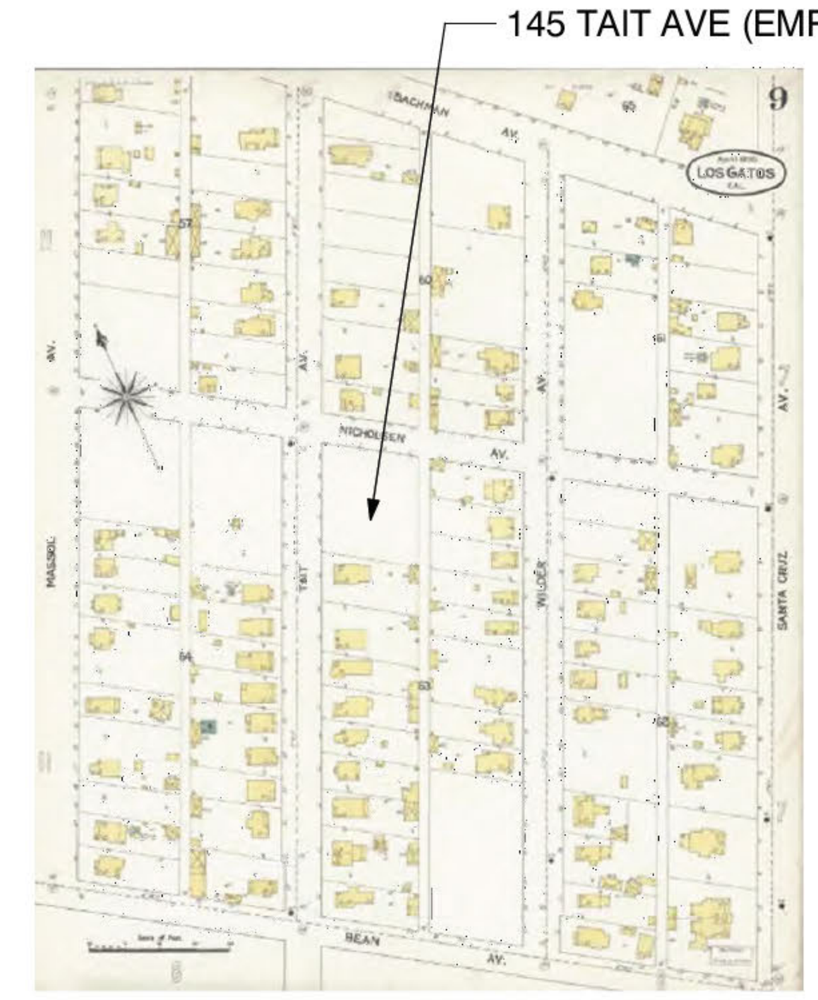
PROJECT DESCRIPTION

EXISTING 1,833 SF, 1920 2-STORY RESIDENCE WITH 1996 ADDITION IN THE BACK SECTION (2-STORY BEDROOMS & 1-STORY GARAGE)

REPLACE 1996 'ANDERSON' WINDOWS THOUGHOUT THE HOUSE WITH MARVIN WINDOWS WITH APPROPRIATE SDL'S

REMODEL/INSTALL (N) FINISHES/CABINETS INSIDE (E) HOUSE;
FILL IN 17.5 SF ON FIRST FLOOR
NEW 268 SF 1-STORY GARAGE BAY ADDITION AT BACK 1996 SECTION;
REMODEL EXISTING SECOND FLOOR OF 1996 SECTION FOR PRIMARY BATH AND CLOSET; CONSTRUCT 235 SF PRIMARY BEDROOM/BATH ADDITION ON FLOOR OF EXISTING GARAGE ATTIC STORAGE

1895 SANBORN MAP



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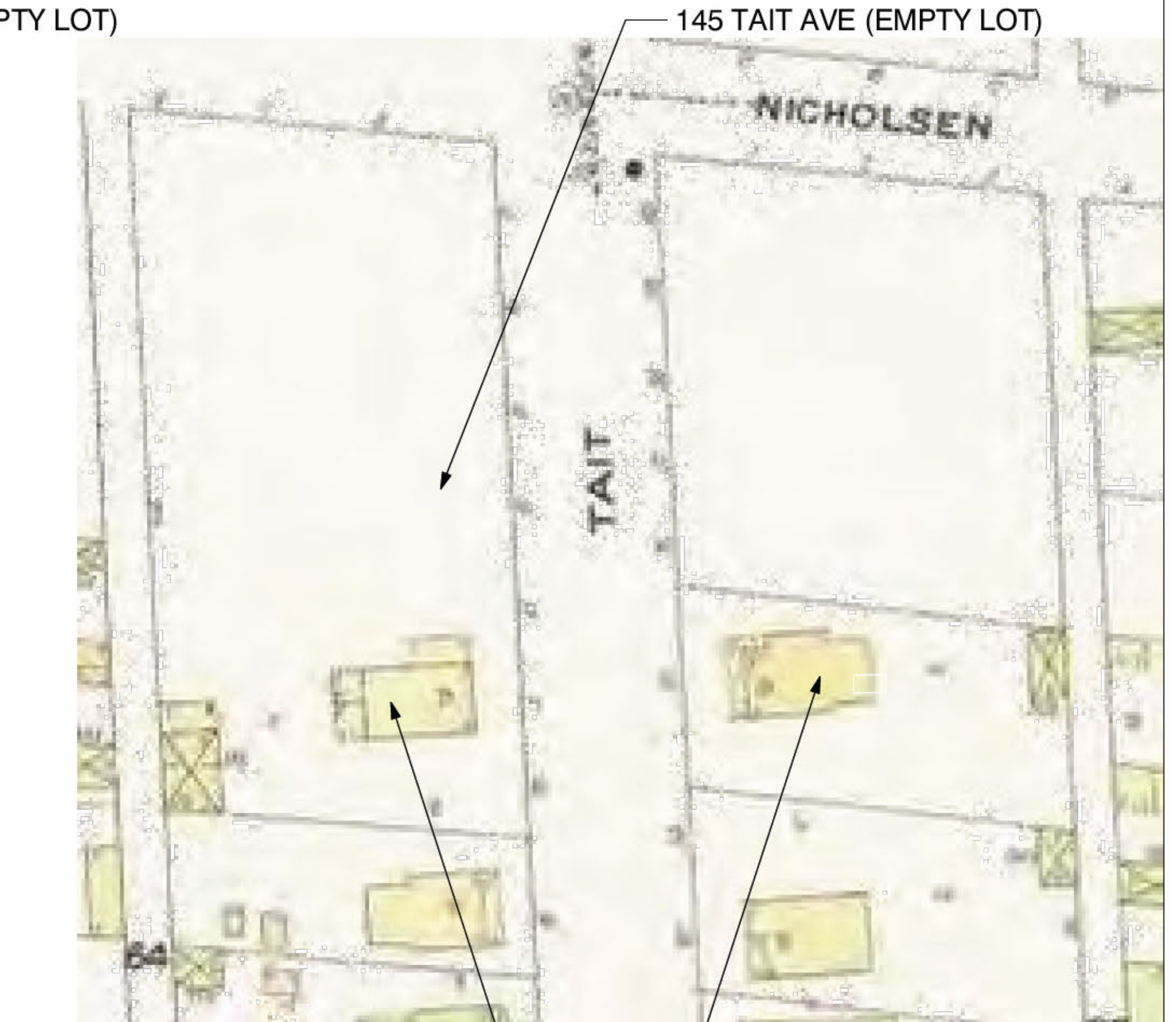


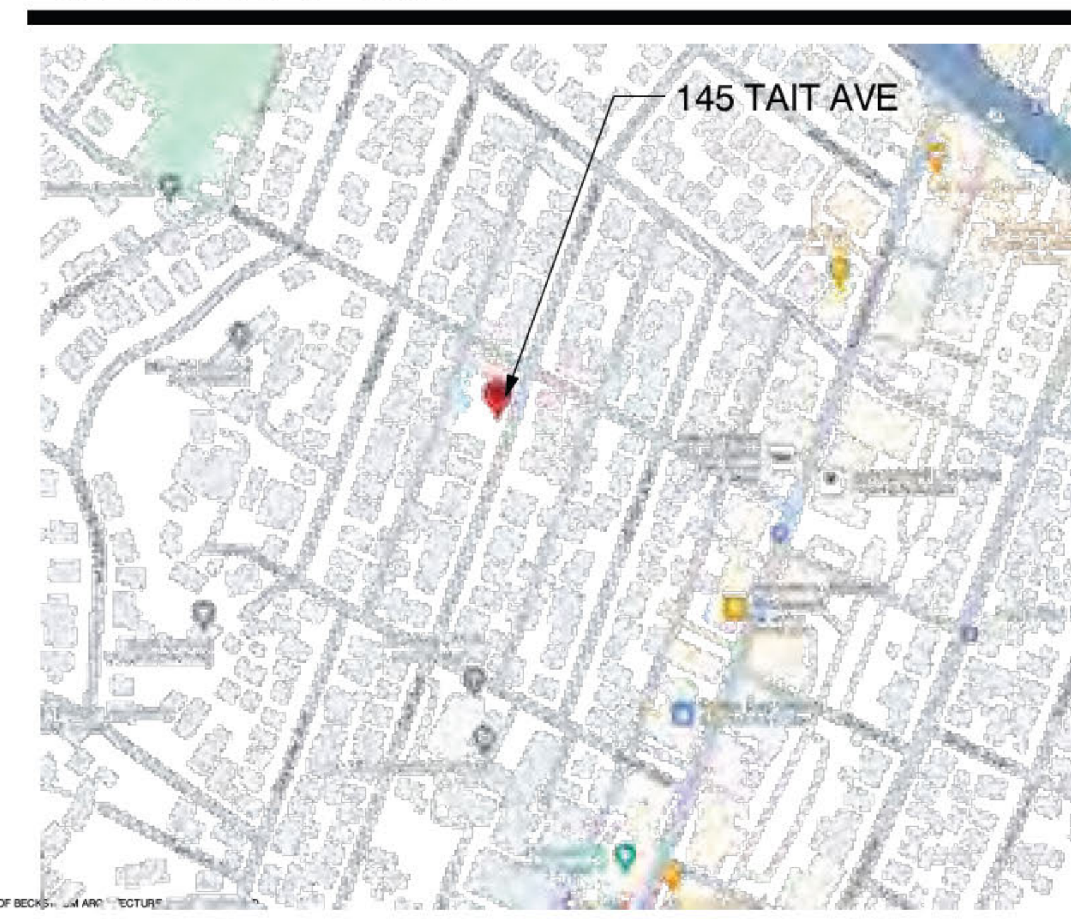
145 TAIT AVE, BEFORE 2-STORY ADDITIONS

136 TAIT AVE, BEFORE ADDITIONS

LEGEND

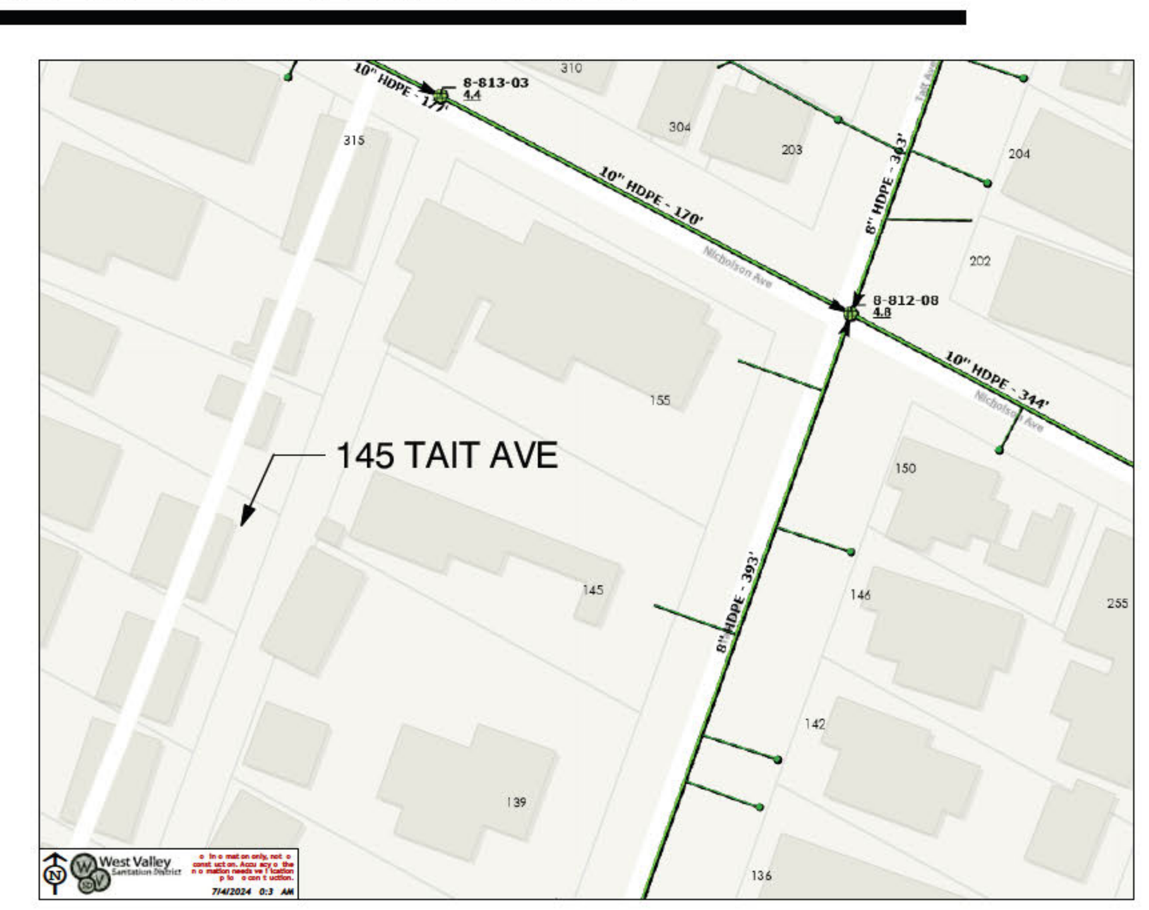
DOOR
WINDOW
Detail # Sheet # DETAIL
INTERIOR ELEVATIONS
Sect. # Sheet # SECTION
Sect. # Sheet # EXTERIOR ELEVATION
(UNLESS NOTED OTHERWISE)
SLOPE
ELEVATION HEIGHTS

VICINITY MAP



N

WVSD SEWER LINE MAP



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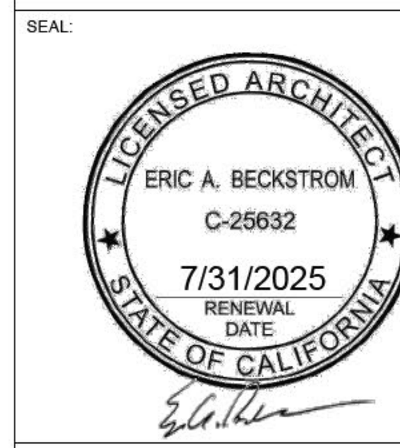
Res. Remodel & Addition
145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC rev 2

10/17/2024

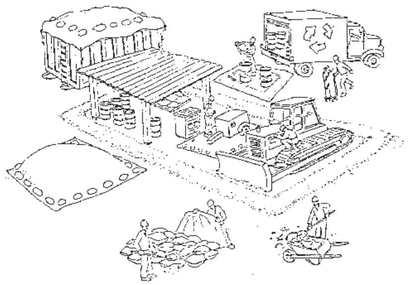
SEAL:



DRAWING TITLE:	COVER SHEET
DRAWN	EB
DATE	10/17/2024
SCALE	1' = 1'-0", 6" = 1'-0", 1:1.89
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A0.0

ATTACHMENT 3

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to $10,000 per day!

REVISIONS	BY
△	EB
△	
△	

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Remodel & Addition
145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC
rev 2

10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
BLUEPRINT FOR A CLEAN BAY

DRAWN	EB
DATE	10/17/2024
SCALE	1:1.20
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A0.1

2007 Home Remodeling GreenPoints Checklist

Build It Green
Smart Solutions from The Ground Up

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
A. SITE					
1. Protect Existing Soil and Minimize Disruption of Existing Plants & Trees					
a. Protect Existing Topsoil from Erosion and Reuse after Construction	■				■
b. Limit and Delineate Construction Footprint for Maximum Protection					■
2. Deconstruct Instead of Demolish				■	
3. Recycle Construction and Demolition Waste					
a. Recycle or Reuse At Carpboard, Asphalt & Concrete (Required)				■	
b. Recycle 50% of Remaining C&D Waste				■	
B. FOUNDATION					
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag					
a. Minimum 30% Flyash or Slag				■	
b. Minimum 40% Flyash or Slag				■	
2. Restrain Crawl Space to Control Moisture					
a. Control Ground Moisture with Vapor Barrier			■		
b. Condition the Crawl Space			■		
3. Design & Build Structural Pest Controls					
a. Install Termite Shields and Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers				■	
b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation				■	
C. LANDSCAPE					
1. Construct Resource-Efficient Landscapes					
a. No Invasive Species Listed by Cal IPC Are Planted					■
b. No Plant Species Will Require Shearing				■	
c. 75% of Plants Are Drought-tolerant California Natives, Mediterranean, or Other Appropriate Species					■
2. Use Fire-Safe Landscaping Techniques	■				
3. Minimize Turf Areas					
a. All Turf Will Have a Water Requirement Less than or Equal to Tall Fescue					■
b. Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide					■
c. Turf is <33% of Landscaped Area					■
d. Turf is <10% of Landscaped Area					■
4. Plant Shade Trees	■	■			
5. Group Plants by Water Needs (Hydrozoning)					■
6. Install High-Efficiency Irrigation Systems					
a. System Uses Only Drip, Bubblers, or Low-flow Sprinklers					■
b. System Has Smart Controllers					■
7. Incorporate Two Inches of Compost into the Top 6 to 12 Inches of Soil					■
8. Mulch All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement					■
9. Use 50% Graywater or Recycled-Content Materials for 50% of Non-Plant Landscape Elements				■	
10. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward	■				
11. Collect and Retain Rainwater for Irrigation					■

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
D. STRUCTURAL FRAME & BUILDING ENVELOPE					
1. Apply Optimal Value Engineering					
a. Place Rafters and Studs at 24-Inch On Center Framing				■	
b. Size Door and Window Headers for Load				■	
c. Use Only Jack and Cripple Studs Required for Load				■	
2. Use Engineered Lumber					
a. Beams and Headers				■	
b. Insulated Engineered Headers		■			
c. Wood I-Joists or Web Trusses for Floors				■	
d. Wood I-Joists for Roof Rafters				■	
e. Engineered or Finger-Jointed Studs for Vertical Applications				■	
f. Oriented Strand Board for Subfloor				■	
g. Oriented Strand Board Wall and Roof Sheathing				■	
3. Use FSC Certified Wood					
a. Dimensional Lumber and Timbers: Minimum 40%				■	
b. Dimensional Lumber and Timbers: Minimum 70%				■	
c. Panel Products: Minimum 40%				■	
d. Panel Products: Minimum 70%				■	
4. Use Solid Wall Systems (includes SIPs, ICFs, & any Non-Stick Frame Assembly)					
a. Floors		■		■	
b. Walls		■		■	
c. Roofs		■		■	
5. Reduce Pollution Entering the Home from the Garage					
a. Tightly Seal the Air Barrier between Garage and Living Area			■		
b. Install Garage Exhaust Fan OR Build a Detached Garage			■		
6. Design Energy Heels on Roof Trusses		■			
7. Install Overhangs and Gutters		■		■	
8. Install Reflective Roof and Radiant Barrier		■			
9. Replace Single-Pane Windows with High Performance Windows (U-factor ≤ 0.40 & SHGC ≤ 0.40)		■			
10. Retrofit with Storm Windows		■			
11. Install Low-SHGC Window Film on Single-Pane Windows		■			
12. Retrofit Structure for Earthquakes					■
E. EXTERIOR FINISH					
1. Use Recycled-Content (No Virgin Plastic) or FSC-Certified Decking					■
2. Install Rain Screen Wall System					■
3. Use Durable and Noncombustible Siding Materials					■
4. Use Durable and Noncombustible Roofing Materials					■
F. INSULATION					
1. Install Insulation with 75% Recycled Content					
a. Walls and/or Floors				■	
b. Ceilings				■	

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
4. Inspect Quality of Insulation Installation before Applying Drywall	X		X	X	X
5. Apply Caulking & Weatherstripping	X		X	X	X
G. PLUMBING					
1. Distribute Domestic Hot Water Efficiently					
a. Insulate Hot Water Pipes from Water Heater to Kitchen	X	X	X	X	X
b. Insulate All Hot Water Pipes					
c. Use Engineered Parallel Piping					
d. Use Engineered Parallel Piping with Demand Controlled Circulation Loop					
e. Use Structured Plumbing with Demand Controlled Circulation Loop					
f. Use Central Core Plumbing					
2. Replace Toilets with High-Efficiency Toilets (Dual-Flush or ≤ 1.3 gpf)	X	X	X	X	
3. Upgrade to High Efficiency Water Heater	X		X	X	X
4. Install Water Efficient Fixtures					
a. Showerheads or Shower Towers Use < 2.0 Gallons Per Minute Total	X	X	X	X	
b. Faucets - Bathrooms <1.5 gpm	X	X	X	X	
c. Faucets - Kitchen & Utility < 2.0 gpm	X	X	X	X	
H. HEATING, VENTILATION & AIR CONDITIONING					
1. Design and Install HVAC System to ACCA Recommendations		■			
2. Install High Efficiency Sealed Combustion Units					
a. Furnaces and Boilers	X	■			
b. Heat Pumps		■			
3. Install Zoned, Hydronic Radiant Heating with Slab Edge Insulation		■			
4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants		■			
5. Design and Install Effective Ductwork					
a. Install New Ductwork Within Conditioned Space	X		X	X	X
b. Use Duct Mastic on All Ducts and Joints Seams	X		X	X	X
c. Install Ductwork under Attic Insulation (Buried Ducts)	X		X	X	X
d. Pressure Balance the Ductwork System					
e. Protect Ducts During Remodeling & Clean All Ducts before Occupancy	X	X	X		X
f. Insulate Existing Ductwork	X		X		X
6. Install High Efficiency HVAC Filter (MERV 6+)		■			
7. Install gas fireplaces with efficiency rating not less than 60% using CSA standard:					
a. No fireplace		■			
b. Install gas fireplace with efficiency rating not less that 60% using CSA standard.	X	X		X	X
c. Retrofit wood burning fireplaces with EPA-certified wood or pellet stove		■			
8. Install Effective Exhaust Systems in Bathrooms and Kitchens					
a. Install ENERGY STAR Bathroom Fans Vented to the Outside	X	X		X	X
b. All Bathroom Fans are on Timer or Humidistat	X	X		X	X
c. Install Kitchen Range Hood Vented to the Outside	X	X		X	X
9. Install Mechanical Ventilation System for Cooling					
a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms	X	■	X		X
b. Install Whole House Fan with Variable Speeds		■			
10. Install Mechanical Ventilation for Fresh Air					
a. Install Air-to-Air Heat Exchanger (Heat or Energy Recovery Ventilator)		■	■		
11. Install Carbon Monoxide Alarm(s)					

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
I. RENEWABLE ENERGY					
1. Install Solar Water Heating System		■			
2. Install Photovoltaic (PV) System that offsets electric energy use by:					
a. 30% of electric needs OR 1.2 kw		■			
b. 60% of electric needs OR 2.4 kw		■			
c. 90% of electric needs OR 3.6 kw		■			
J. BUILDING PERFORMANCE					
1. Whole House Inspection/Diagnostic Testing & Improvements Made					
a. Duct Testing and Improvements Made so that Leakage is < 15%		■	■		
b. Blower Door Testing and Improvements Made so that Air Change per hour is < 0.35	X	■	■		
c. House Passes Combustion Safety Backdraft Test			■		
K. FINISHES					
1. Design Entryways to Reduce Tracked in Contaminants			■		
2. Use Low/No-VOC Paint					
a. Low-VOC Interior Wall/Ceiling Paints (Flat <50 g/L VOC; Non-Flat <150 g/L VOC)	X		■		
b. Zero-VOC: Interior Wall/Ceiling Paints (<5 g/L VOC)			■		
3. Use Low VOC, Water-Based Wood Finishes (<250 g/L VOC)			■		
4. Use Low-VOC Caulks & Construction Adhesives (<70 g/L VOC for All Adhesives)			■		
5. Use Recycled-Content Paint				■	
6. Use Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood, B) Reclaimed Materials, C) Rapidly Renewable D) Recycled-Content or E) Finger-Jointed					
a. Cabinets (50% Minimum)				■	
b. Interior Trim (50% Minimum)				■	
c. Shelving (50% Minimum)				■	
d. Doors (50% Minimum)				■	
e. Countertops (50% Minimum)				■	
7. Reduce Formaldehyde in Interior Finish (CA Section 01350)					
a. Subfloor (50% Minimum)				■	
b. Cabinets (50% Minimum)				■	
c. Interior Trim (50% Minimum)				■	
d. Shelving(50% Minimum)				■	
8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27 ppb			■		
L. FLOORING					
1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete. *Flooring Adhesives Must Have <50 g/L VOCs.*					
a. 15% of Floor Area				■	
b. 30% of Floor Area				■	
c. 50% of Floor Area				■	
d. 75% of Floor Area				■	
2. Use Thermal Mass Flooring		■			
3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements (50% Minimum)			■		
M. APPLIANCES AND LIGHTING					
1. Install Water and Energy Efficient Dishwasher					
a. ENERGY STAR		■			

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

	Community	Energy	IAQ/ Health	Resources	Water
b. Dishwasher Uses No More Than 6.5 Gallons/Cycle	X	X	X	X	
2. Install Water- and Energy-Efficient Clothes Washing machine					
a. Meets CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0)	X		X	X	
b. Meets CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5)					
3. Install ENERGY STAR Refrigerator					
a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	X		X	X	X
b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity					
4. Install Built-In Recycling & Composting Center					
a. Built-In Recycling Center	X	X	X		X
b. Built-In Composting Center					
5. Upgrade to Energy Efficient Lighting	X		X	X	X
6. Install Low-Mercury Fluorescent Lighting					
a. Linear Tubes					
b. Compact Fluorescent Lamps					
7. Install Lighting Controls					
a. Interiors (Dimmers or Occupancy Sensors)	X	X	X	X	X
b. Exteriors (Photocells or Motion Sensors)					
N. OTHER					
1. Incorporate Remodeling Checklist in Blueprints	X		X	X	X
2. Develop Homeowner Manual of Green Features/Benefits					
3. Innovation: List innovative measures that meet the green building objectives of the Remodeling Guidelines.					
Innovation in Community: Enter description here					
Innovation in Energy: Enter description here					
Innovation in IAQ/Health: Enter description here					
Innovation in Resources: Enter description here					
Innovation in Water: Enter description here					

REVISIONS:	BY
△	EB
△	
△	

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Res. Remodel & Addition
[redacted]
145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC rev 2

10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
BUILD IT GREEN 2007 HOME REMODELING GREEN POINTS CHECKLIST

DRAWN: EB
DATE: 10/17/2024
SCALE: 1:1.06
JOB NO.: 6
FILENAME: 2427 145 TAIT CD6.0.pln
SHEET: A0.2

NOTES

1. ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION , TYP.
3. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
4. EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
5. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
6. PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
7. SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT OT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
8. 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/ SHOWER ENCLOSURES, TYP.
9. PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
10. THERMAL INSULATION:
    R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
    R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
    R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.
11. EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
12. 1/2" THK. GYP. BD, LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
13. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
14. ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6 2.

15.* ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

16.* AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.

17.* ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.

18.* ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITHY VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.

19.* AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBTIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (c)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PODUCT LIMITS OF REGULATION 8, RULE 49.

20.* HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OFOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).

21.* WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
   A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
   B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
   C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL

22.* BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

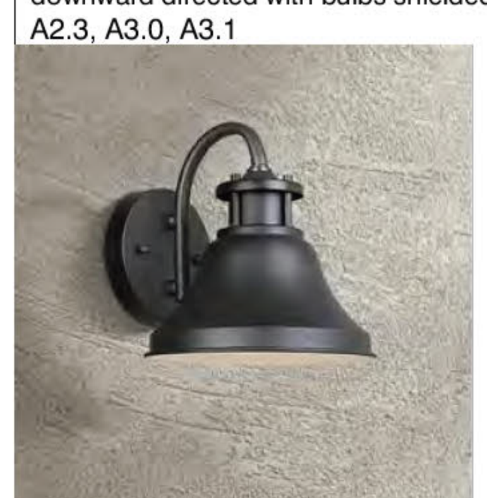
23.* INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

24.* WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.

25.* DOCUMENTATION OF COMLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

Pursuant to Town Code, all permanent exterior light fixtures should utilize shields so that no bulb is visible and to ensure that light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes

EXTERIOR HOUSE LIGHTING - all exterior lighting will be downward directed with bulbs shielded from neighbor's view, SEE A2.3, A3.0, A3.1



Bayport Collection Dark Sky 7 3/4" High Outdoor Porch Wall Light

$77.00

FREE SHIPPING & FREE RETURNS*

ADD TO CART

DEMOLITION NOTES

1. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE MMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
2. ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
3. DEMOLITION CONTRACTOR TO RED RECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRA NAGE, AND SPR NKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
4. CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND F ELD VERIFY ALL DEMOLITION PRIOR TO BEG NNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
6. OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.

7.* RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.

8.* SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
   A) DENTIFY NG THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
   B) SPECIFYING F CONSTRUCTION AND DEMOLITION WASTE MATERIALS W LL BE SORTED ON-SITE OR BULK MIXED
   C) DENTIFY NG DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
   D) DENTIFY NG CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
   E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERETED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH

9.* DOCUMENTATION WILL BE PROV DED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.

10.* A PLAN MUST BE DEVELOPED AND MPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

*CALGREEN RESIDENTIAL MANDATORY MEASURES

TREE FENCING

TREE FENCING

Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.

TREE PROTECTION

Sec. 29.10.1005. - Protection of trees during construction.

(a) Protective tree fencing shall specify the following:

(1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.

(2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

(3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

(4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."

(b) All persons, shall comply with the following precautions:

(1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.

(2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.

(3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.

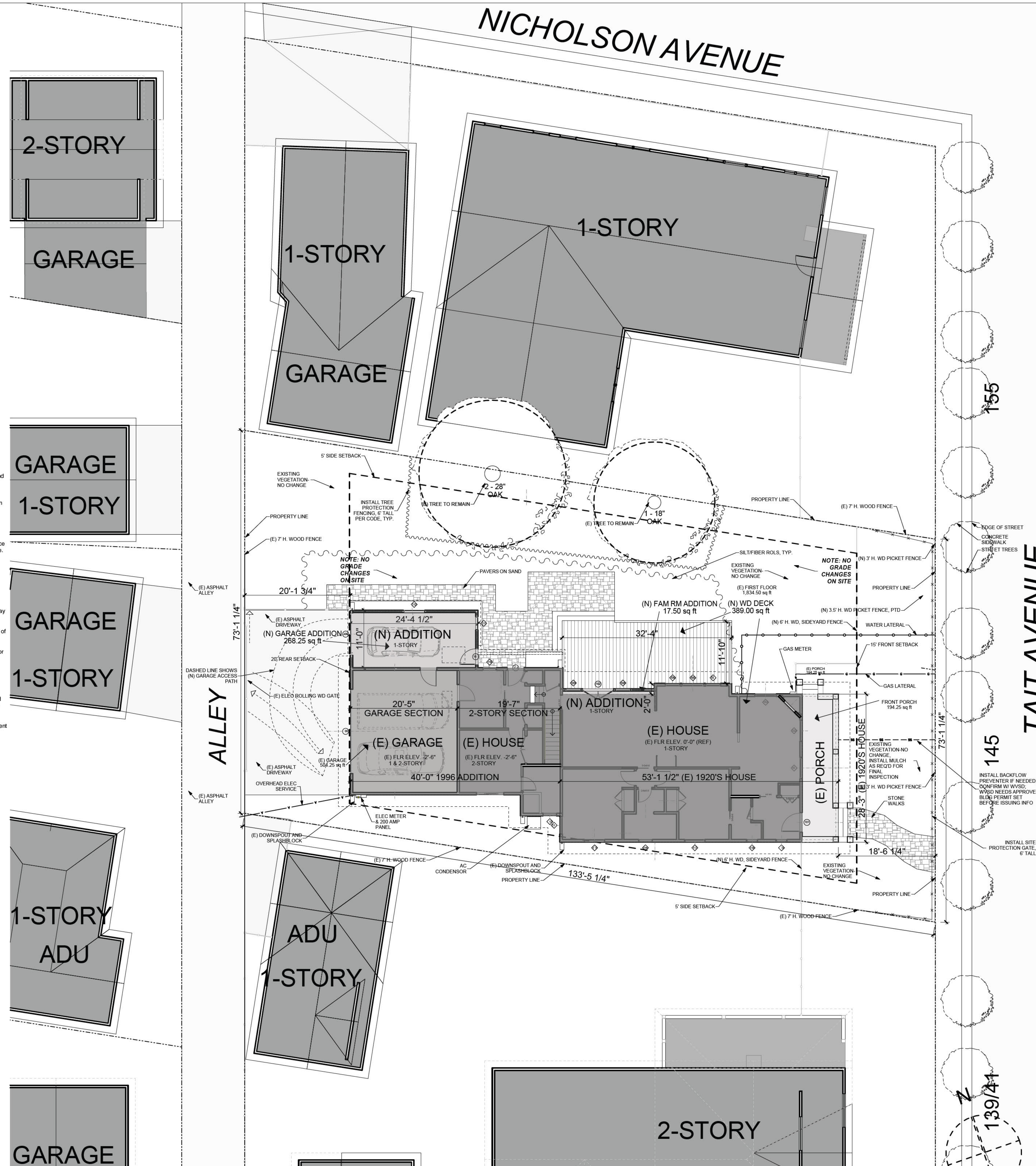
(4) Prohibit the attachment of wires, signs or ropes to any protected tree.

(5) Design utility services and irrigation lines to be located outside of the dripline when feasible.

(6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.

(7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

LOT CALCULATIONS	145 TAIT AVE	
LOT AREA	9,583.00	
COVERAGE CALCULATIONS		
BULDING COVERAGE ALLOWED	0.40	
ALLOWED COVERAGE	**3,833.20**	SF
PROPOSED COVERAGE		
EXISTING HOUSE	1,835.00	SF
ENTRY PORCH	194.00	SF
FAMILY RM ADDITION	17.50	SF
HOUSE SUBTOTAL	**2,046.50**	SF
EXISTING GARAGE	504.00	SF
GARAGE ADDITION	**268.00**	SF
GARAGE SUBTOTAL	**772.00**	SF
TOTAL BUILDING COVERAGE	**2,818.50**	SF
AMOUNT UNDER	*-1,014.70*	SF
FAR CALCULATIONS		
PROPOSED HOUSE FLOOR AREA	AREA	
FIRST FLR	1,833.00	SF
(N) FAMILY RM ADDITION	**17.50**	SF
SECOND FLR	404.00	SF
(N) SECOND FLR ADDITION	**235.00**	SF
HOUSE SUBTOTAL	**2,489.50**	SF
HOUSE FAR ALLOWED	*3,007.00*	SF
AMOUNT UNDER	**-517.50**	SF
GARAGE	480.00	SF
GARAGE FLOOR AREA TOTAL	**480.00**	SF
ALLOWED GARAGE FAR AREA	*844.00*	SF
AMOUNT UNDER	**364.00**	SF



FLOOR PLAN-SITE PLAN

SCALE: 1" = 10'

REVISIONS	BY
△	EB
△	
△	

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[redacted] Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC rev 2

10/17/2024

SEAL: LICENSED ARCHITECT ERIC A. BECKSTROM C-25632 7/31/2025 RENEWAL DATE STATE OF CALIFORNIA

DRAWING TITLE: SITE PLAN-PROPOSED

DRAWN: EB

DATE: 10/17/2024

SCALE: 1" = 10', 1' = 1'-0"

JOB NO. 6

FILENAME: 2427 145 TAIT CD6.0.pln

SHEET: A1.0

SOUTH/TAIT AVE ELEVATION

SCALE: 1" = 20'



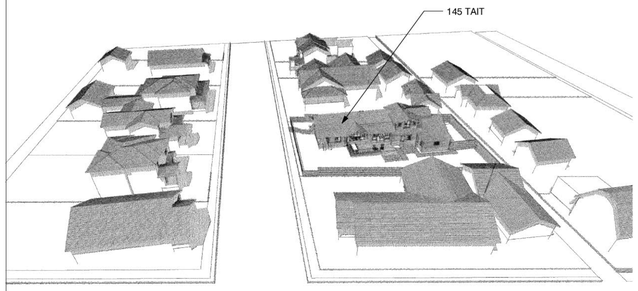


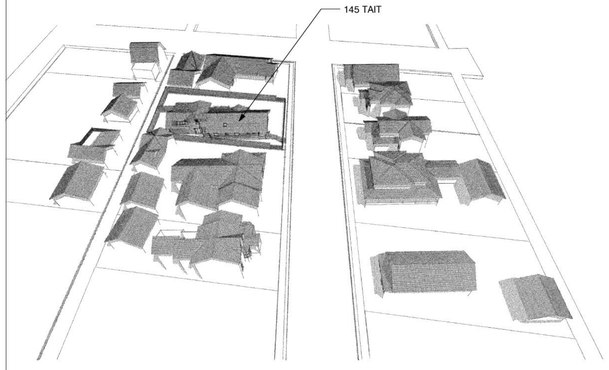
NORTH//TAIT AVE ELEVATION

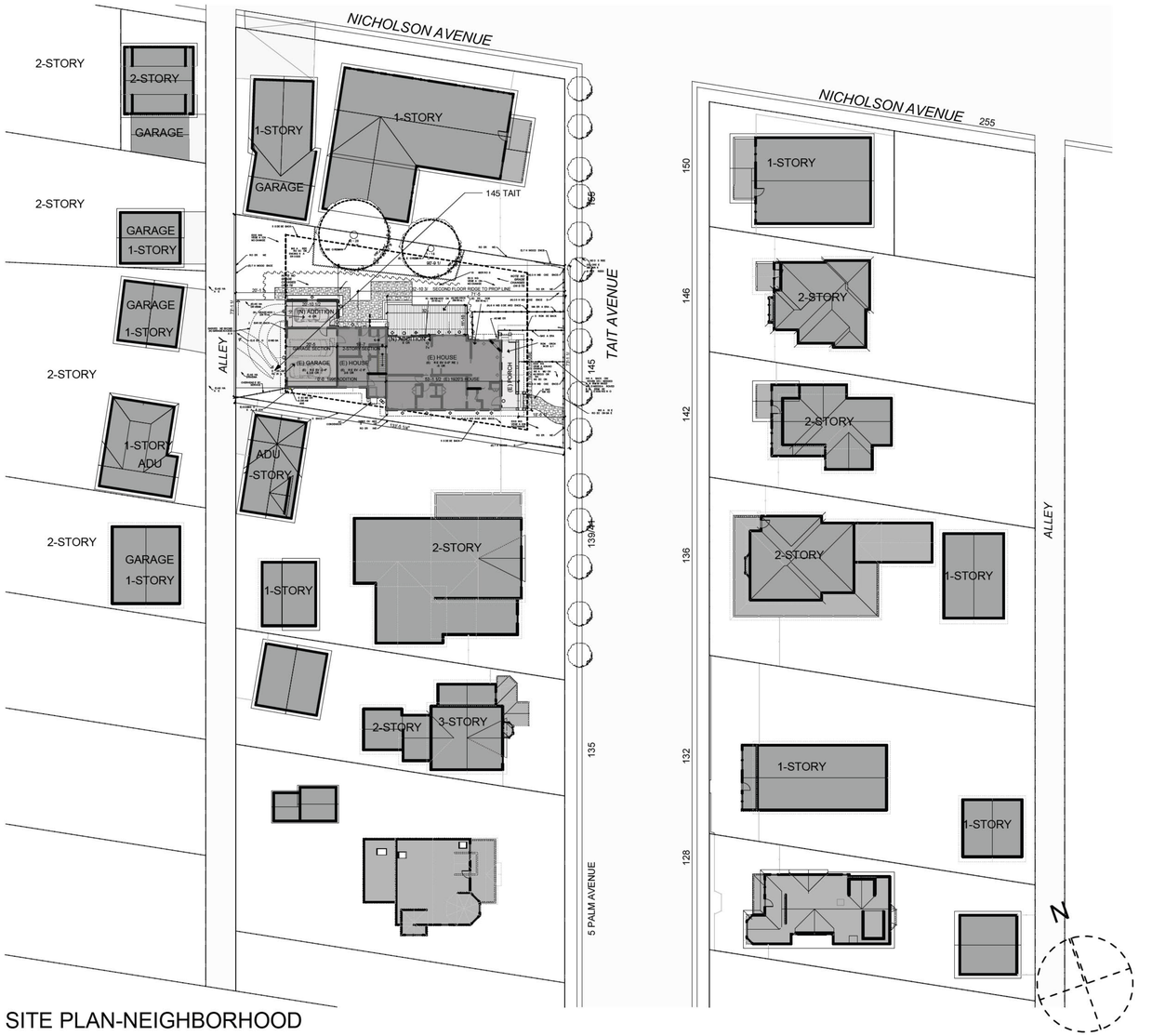
SCALE: 1" = 20'









SITE PLAN-NEIGHBORHOOD

SCALE: 1:320

REVISIONS	BY
△	EB
△	
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Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC Request to Reconsider
9/25/2024

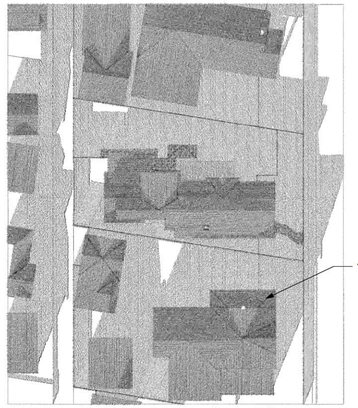
SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE: SITE PLAN-NEIGHBORHOOD, TAIT AVE ELEVATIONS

DRAWN	EB
DATE	9/25/2024
SCALE	1:320, 1" = 20'
JOB NO.	6
FILENAME	2427 145 TAIT CD5.1.pln
SHEET	A1.1

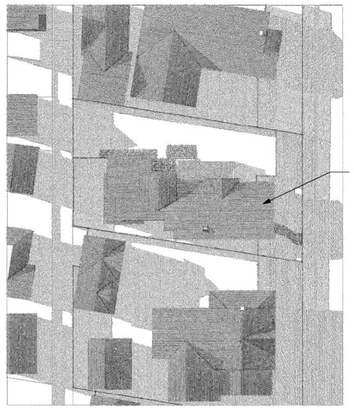
SHADOW STUDIES



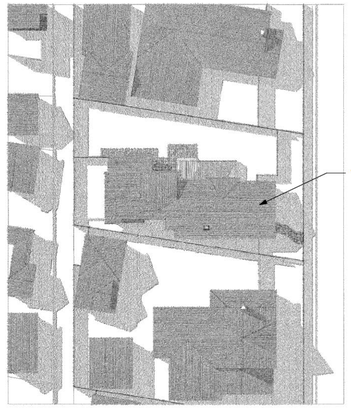
12/21 9:00 AM

3/21 9:00 AM

6/21 9:00 AM



12/21 3:00 PM

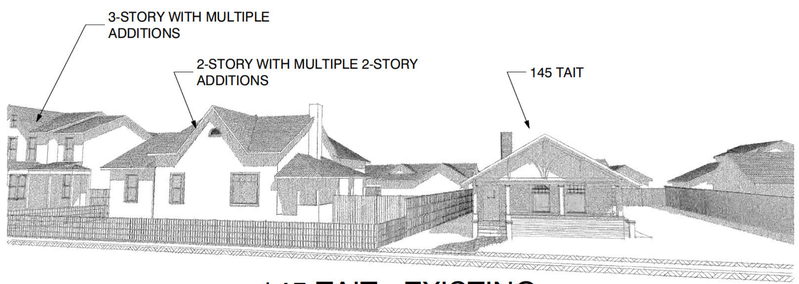


3/21 3:00 PM

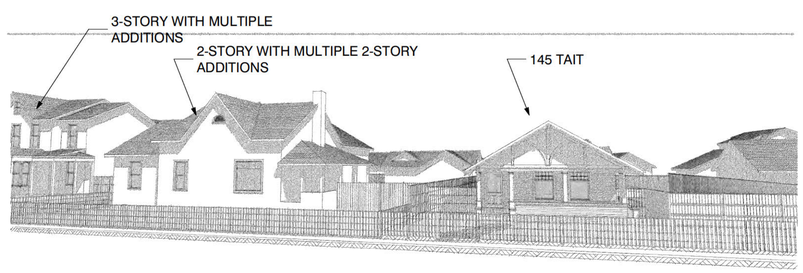
6/21 3 00 PM

145 TAIT STREET VIEWS COMPARED WITH OTHER LG PROJECTS TO THE RIGHT

(THERE IS NO COMPARISON 145 TAIT IS MINISCULE IN COMPARISON)



145 TAIT - EXISTING



145 TAIT - PROPOSED

COMPARISON OF CURRENT HISTORIC ADDITIONS UNDER CONSTRUCTION

BEFORE CONSTRUCTION

UNDER CONSTRUCTION (10/17/2024)

A HANDSOME AND THOUGHTFUL DESIGN BY JAY PLETT

UNDER CONSTRUCTION (10/17/2024)

A HANDSOME AND THOUGHTFUL DESIGN BY JAY PLETT

REVISIONS	BY
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△	
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145 Tait Avenue
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10/17/2024

SEAL:

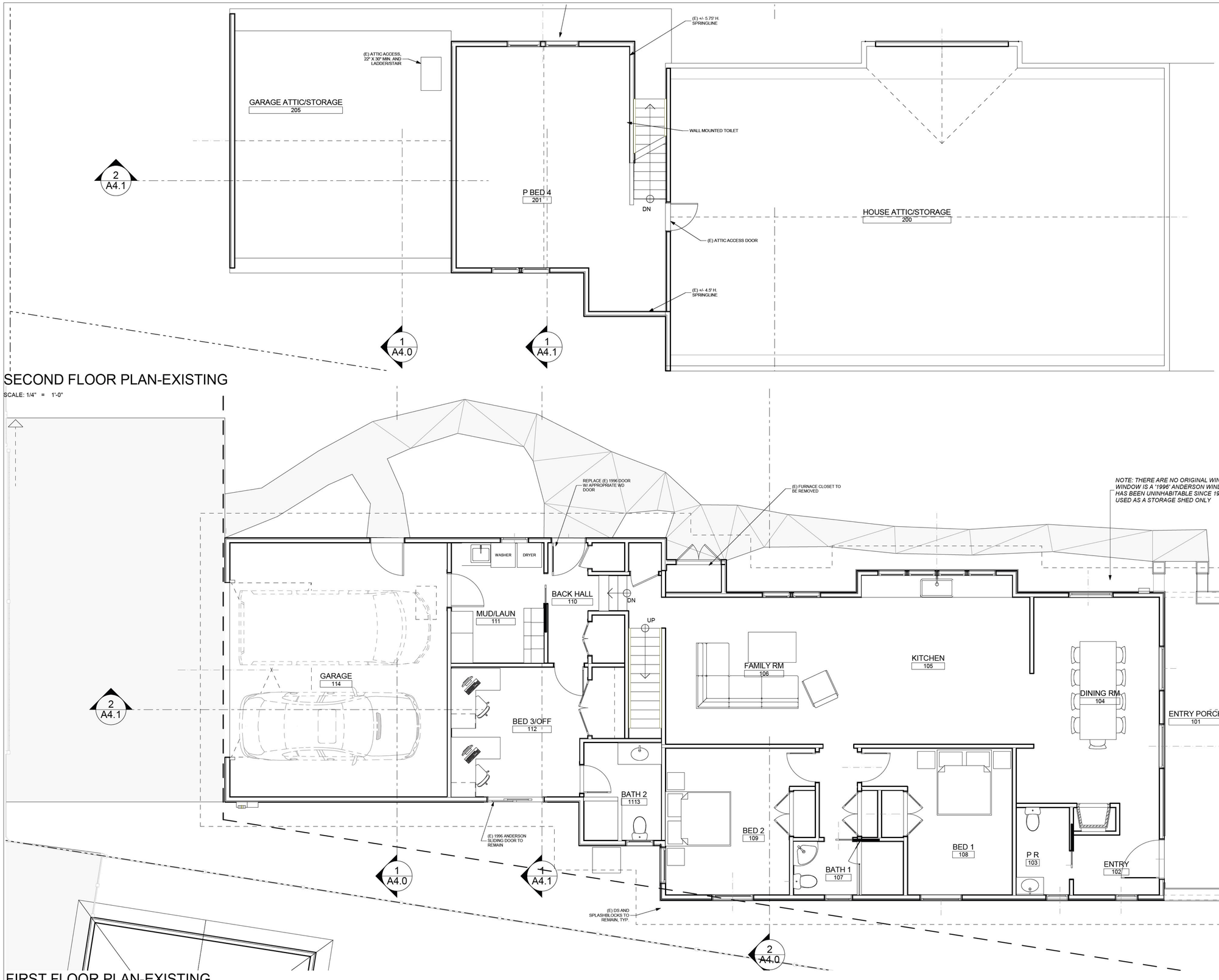
LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
SHADOW STUDIES & CURRENT HISTORIC ADDITION COMPARISONS

DRAWN	EB
DATE	10/17/2024
SCALE	
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A1.2

SECOND FLOOR PLAN-EXISTING

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN-EXISTING

SCALE: 1/4" = 1'-0"

REVISIONS	BY
△	EB
△	
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10/17/2024

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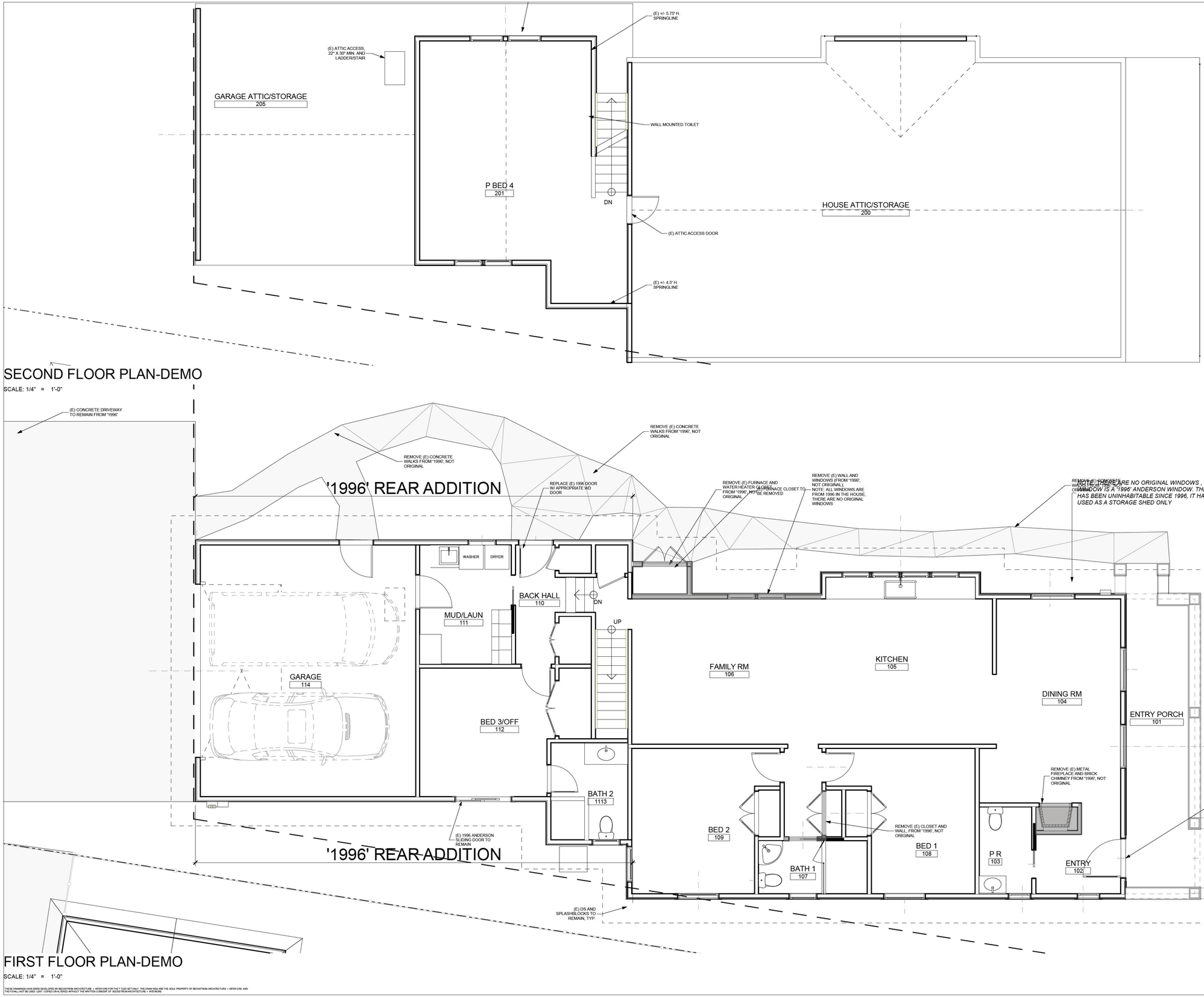
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE: FLOOR PLANS-EXISTING

DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A2.0E



REVISIONS	BY
	EB

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Res. Remodel & Addition

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HPC rev 2

10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
FLOOR PLANS-DEMO

DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
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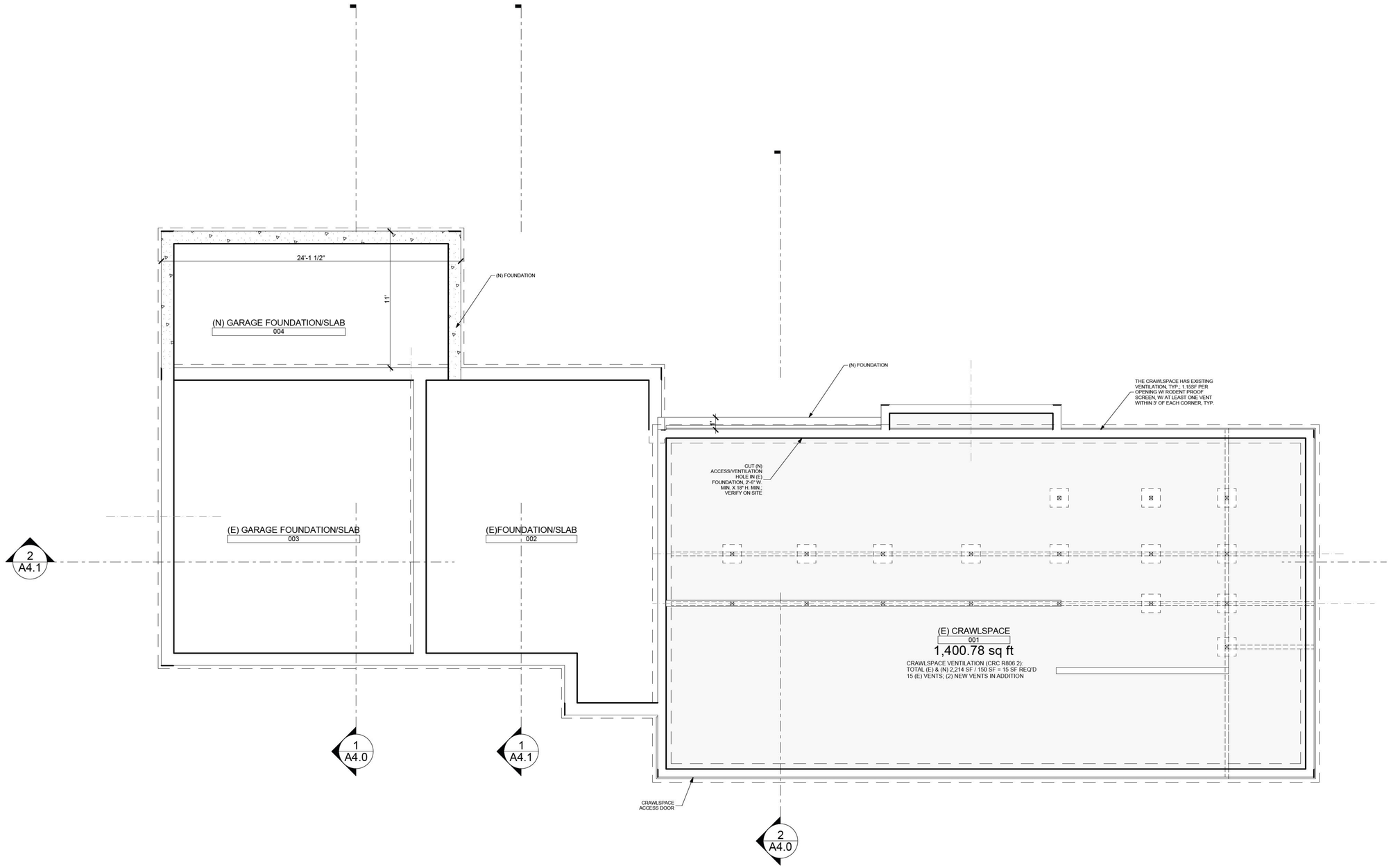
SHEET	A2.1D



SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 1/4" = 1'-0"

N

REVISIONS:	BY
△	EB
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Res. Remodel & Addition

[redacted]

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC rev 2

10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
CRAWLSPACE-PROPOSED

DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A2.2

FIRST FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS:	BY
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HPC rev 2

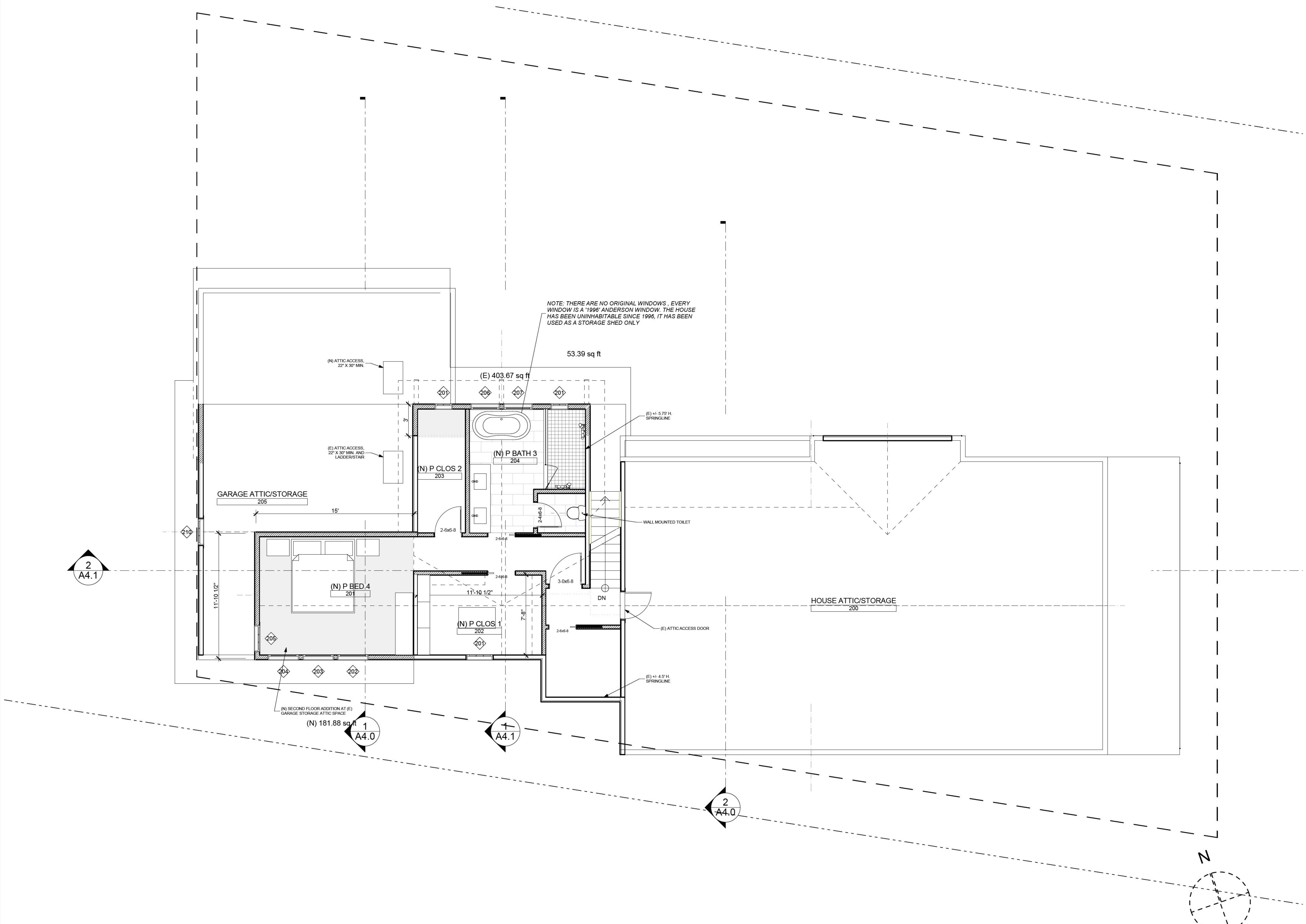
10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE: FIRST FLOOR PLAN-PROPOSED

DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A2.3



NOTE: THERE ARE NO ORIGINAL WINDOWS , EVERY WINDOW IS A '1996' ANDERSON WINDOW. THE HOUSE HAS BEEN UNINHABITABLE SINCE 1996, IT HAS BEEN USED AS A STORAGE SHED ONLY
53.39 sq ft
(E) 403.67 sq ft
(N) ATTIC ACCESS, 22" X 30" MIN.
(E) ATTIC ACCESS, 22" X 30" MIN. AND LADDER/STAIR
(E) +/- 5.75' H. SPRINGLINE
(N) P CLOS 2
203
(N) P BATH 3
204
GARAGE ATTIC/STORAGE
205
15'
WALL MOUNTED TOILET
(N) P BED 4
201
11'-10 1/2"
(N) P CLOS 1
202
7'-8"
3-0x6-8
2-6x6-8
2-4x6-8
DN
(E) ATTIC ACCESS DOOR
HOUSE ATTIC/STORAGE
200
(E) +/- 4.5' H. SPRINGLINE
(N) SECOND FLOOR ADDITION AT (E) GARAGE STORAGE ATTIC SPACE
(N) 181.88 sq ft
2
A4.1
1
A4.0
1
A4.1
2
A4.0
N

SECOND FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

REVISIONS	BY
	EB
△	
△	
△	

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Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC rev 2

10/17/2024

SEAL:

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
SECOND FLOOR PLAN-PROPOSED

DRAWN: EB

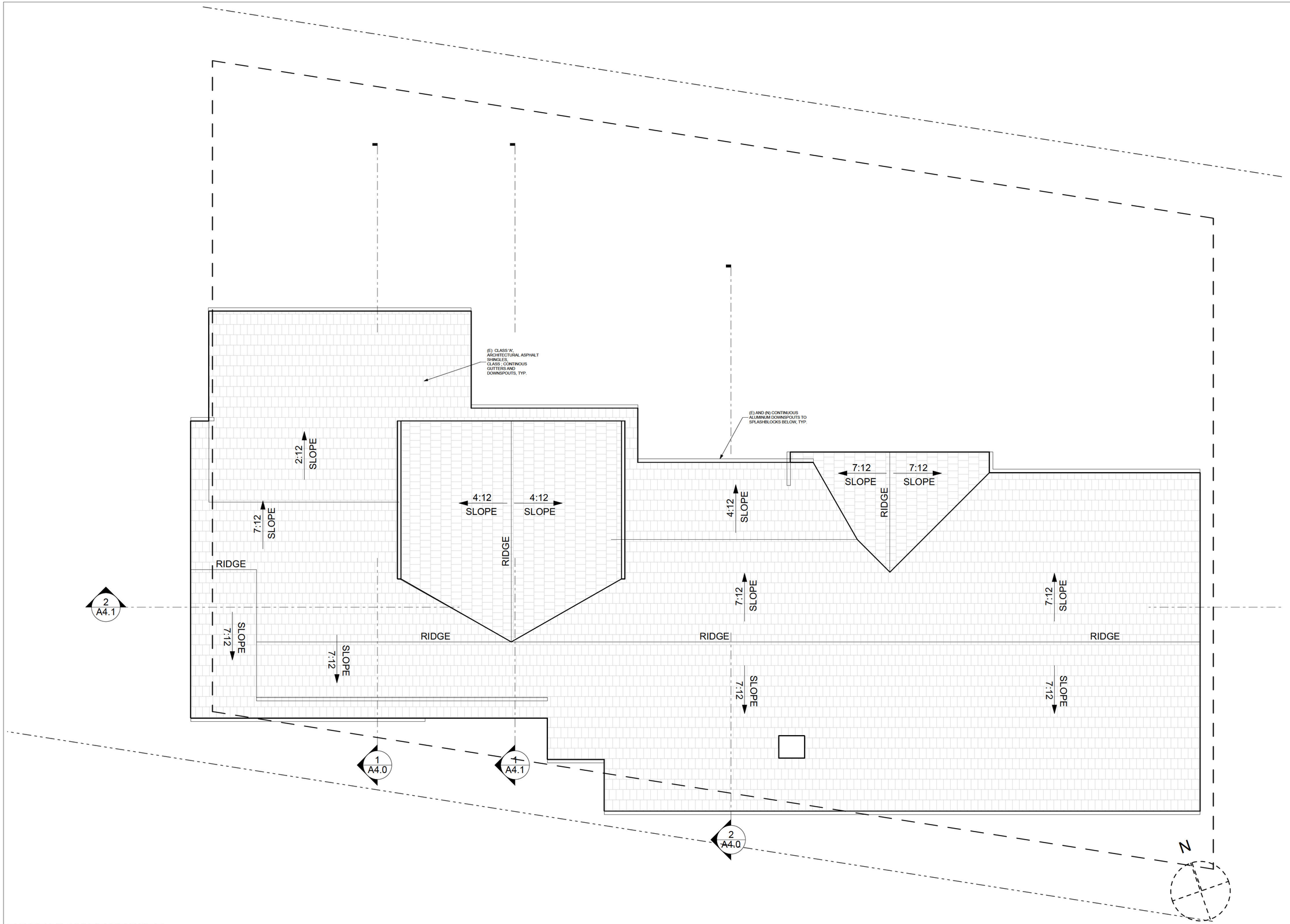
DATE: 10/17/2024

SCALE: 1/4" = 1'-0"

JOB NO.: 6

FILENAME: 2427 145 TAIT CD6.0.pln

SHEET: A2.4



ROOF PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

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DRAWING TITLE: ROOF PLAN-PROPOSED

DRAWN	EB
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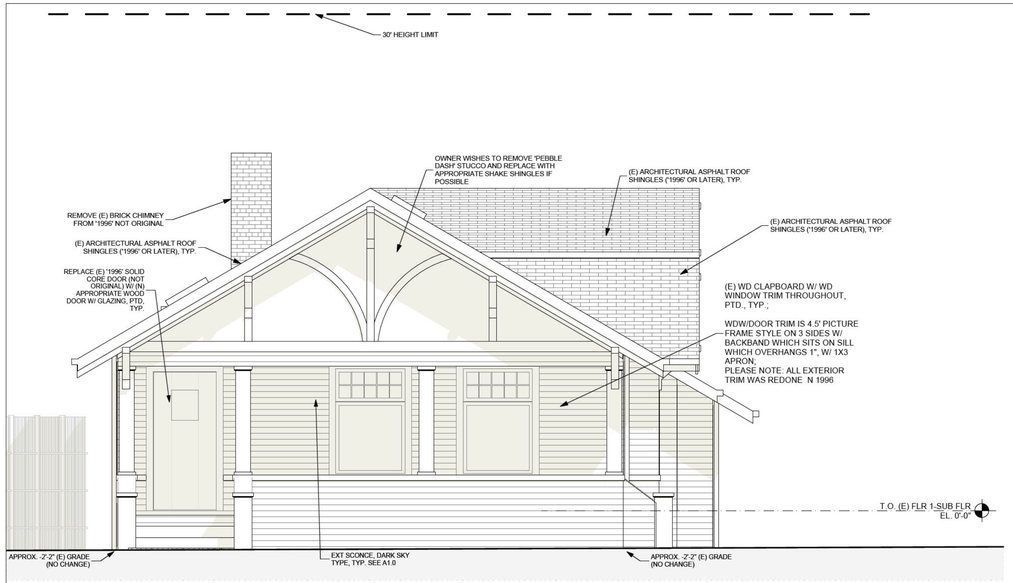

SOUTH/STREET ELEVATION-EXISTING

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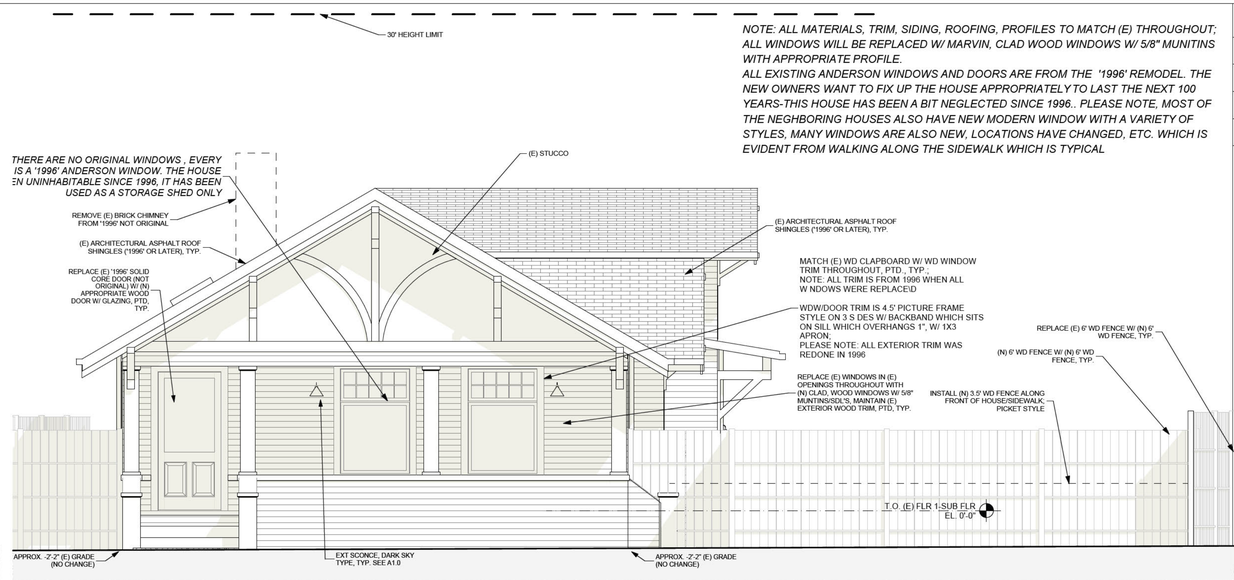
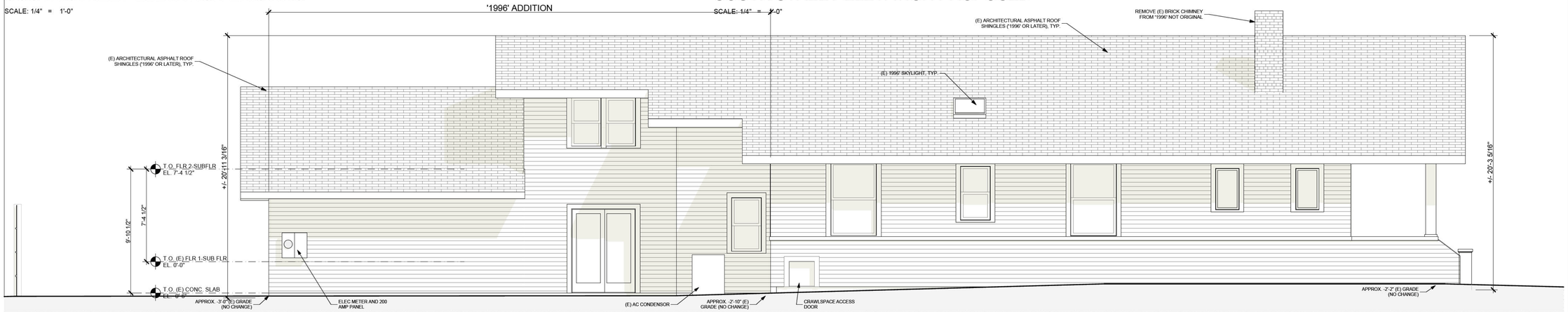


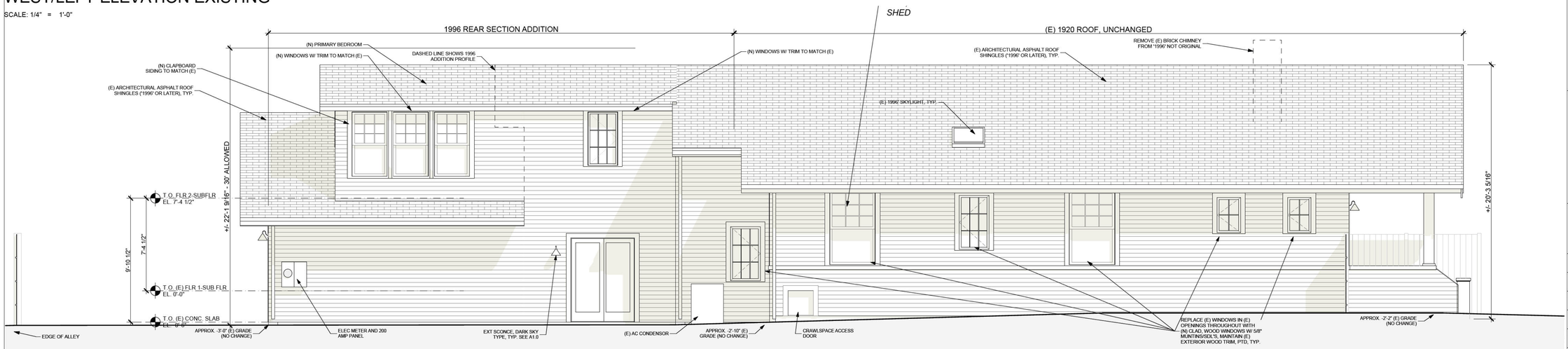
SOUTH/STREET ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"



WEST/LEFT ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



WEST/LEFT ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

NOTE: ALL MATERIALS, TRIM, SIDING, ROOFING, PROFILES TO MATCH (E) THROUGHOUT; ALL WINDOWS WILL BE REPLACED W/ MARVIN, CLAD WOOD WINDOWS W/ 5/8" MUNITINS WITH APPROPRIATE PROFILE.
ALL EXISTING ANDERSON WINDOWS AND DOORS ARE FROM THE '1996' REMODEL. THE NEW OWNERS WANT TO FIX UP THE HOUSE APPROPRIATELY TO LAST THE NEXT 100 YEARS-THIS HOUSE HAS BEEN A BIT NEGLECTED SINCE 1996.. PLEASE NOTE, MOST OF THE NEGHBORING HOUSES ALSO HAVE NEW MODERN WINDOW WITH A VARIETY OF STYLES, MANY WINDOWS ARE ALSO NEW, LOCATIONS HAVE CHANGED, ETC. WHICH IS EVIDENT FROM WALKING ALONG THE SIDEWALK WHICH IS TYPICAL

REVISIONS	BY
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7/31/2025
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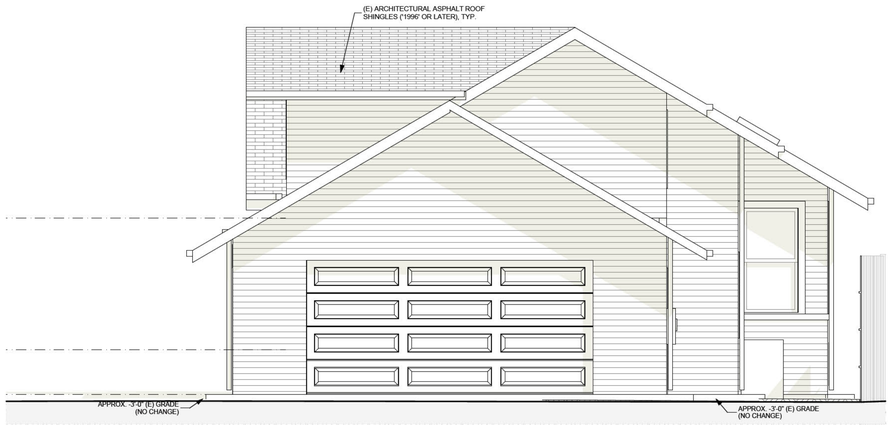
STATE OF CALIFORNIA

DRAWING TITLE:
ELEVATIONS-EXISTING & PROPOSED

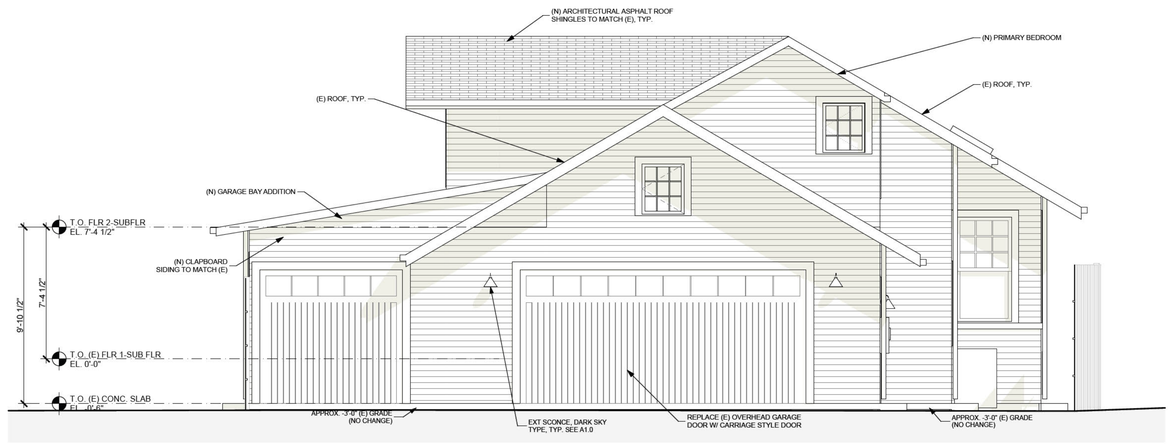
DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A3.0

NOTE: ALL MATERIALS, TRIM, SIDING, ROOFING, PROFILES TO MATCH (E) THROUGHOUT; ALL WINDOWS WILL BE REPLACED W/ MARVIN, CLAD WOOD WINDOWS W/ 5/8" MUNITINS WITH APPROPRIATE PROFILE.
ALL EXISTING ANDERSON WINDOWS AND DOORS ARE FROM THE '1996' REMODEL. THE NEW OWNERS WANT TO FIX UP THE HOUSE APPROPRIATELY TO LAST THE NEXT 100 YEARS-THIS HOUSE HAS BEEN A BIT NEGLECTED SINCE 1996.. PLEASE NOTE, MOST OF THE NEGHBORING HOUSES ALSO HAVE NEW MODERN WINDOW WITH A VARIETY OF STYLES, MANY WINDOWS ARE ALSO NEW, LOCATIONS HAVE CHANGED, ETC. WHICH IS EVIDENT FROM WALKING ALONG THE SIDEWALK WHICH IS TYPICAL



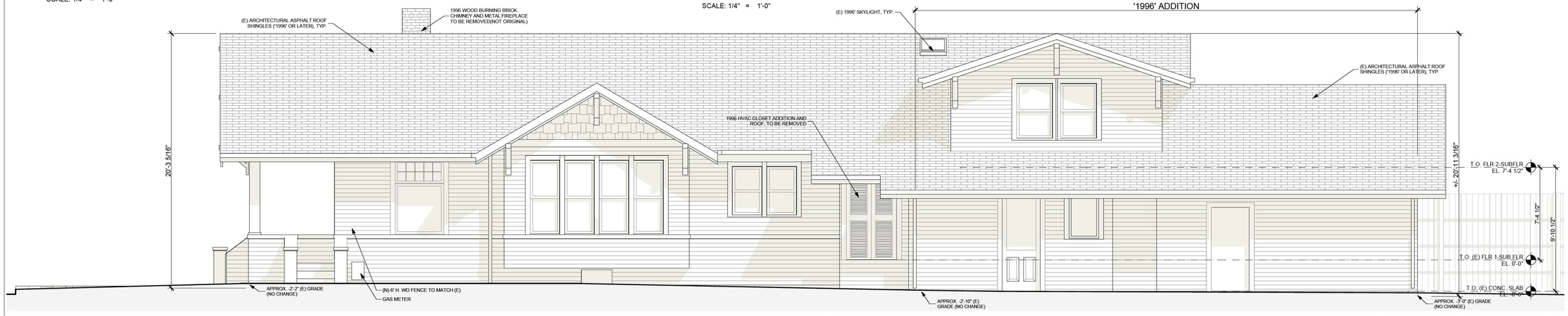
NORTH/BACK ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



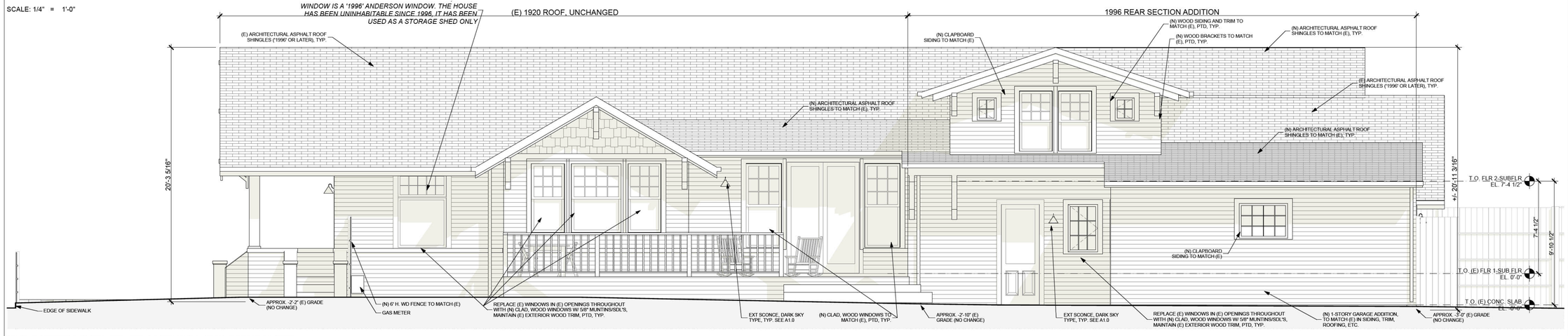
NORTH/BACK ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"



EAST/RIGHT ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"



EAST/RIGHT ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

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DRAWN	EB
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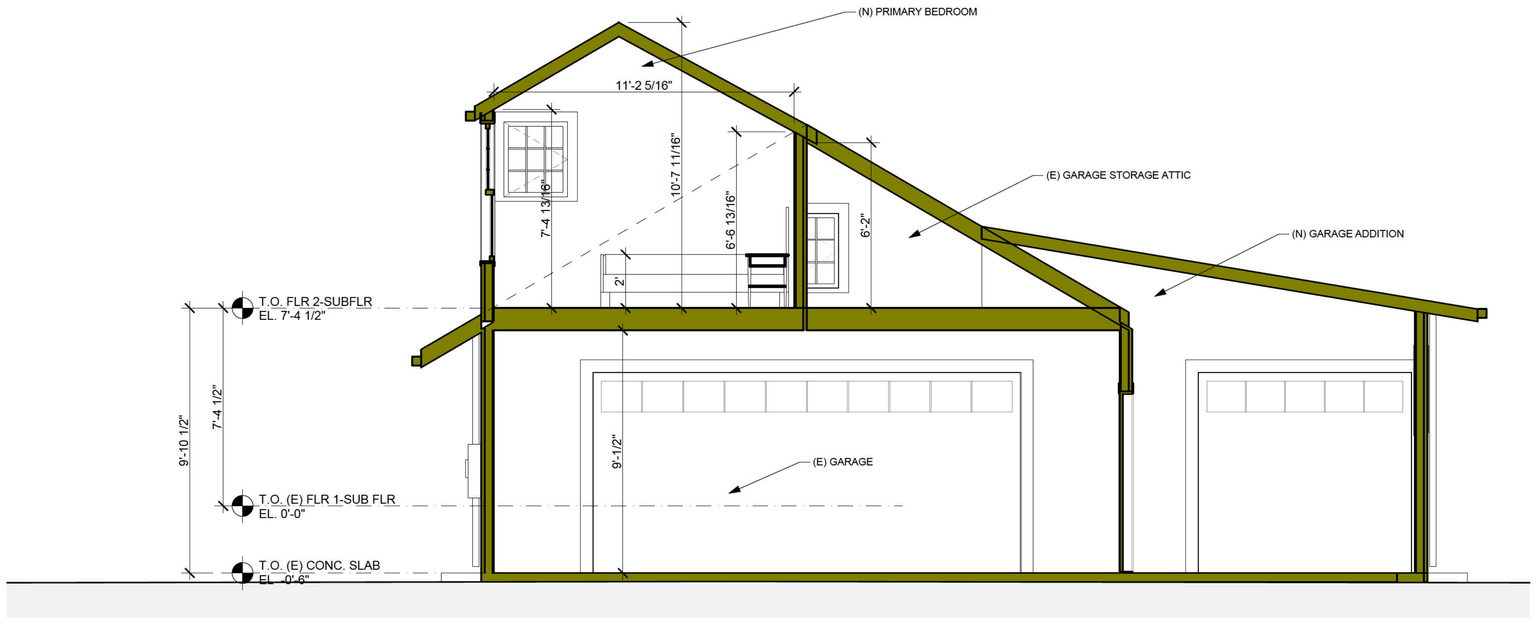
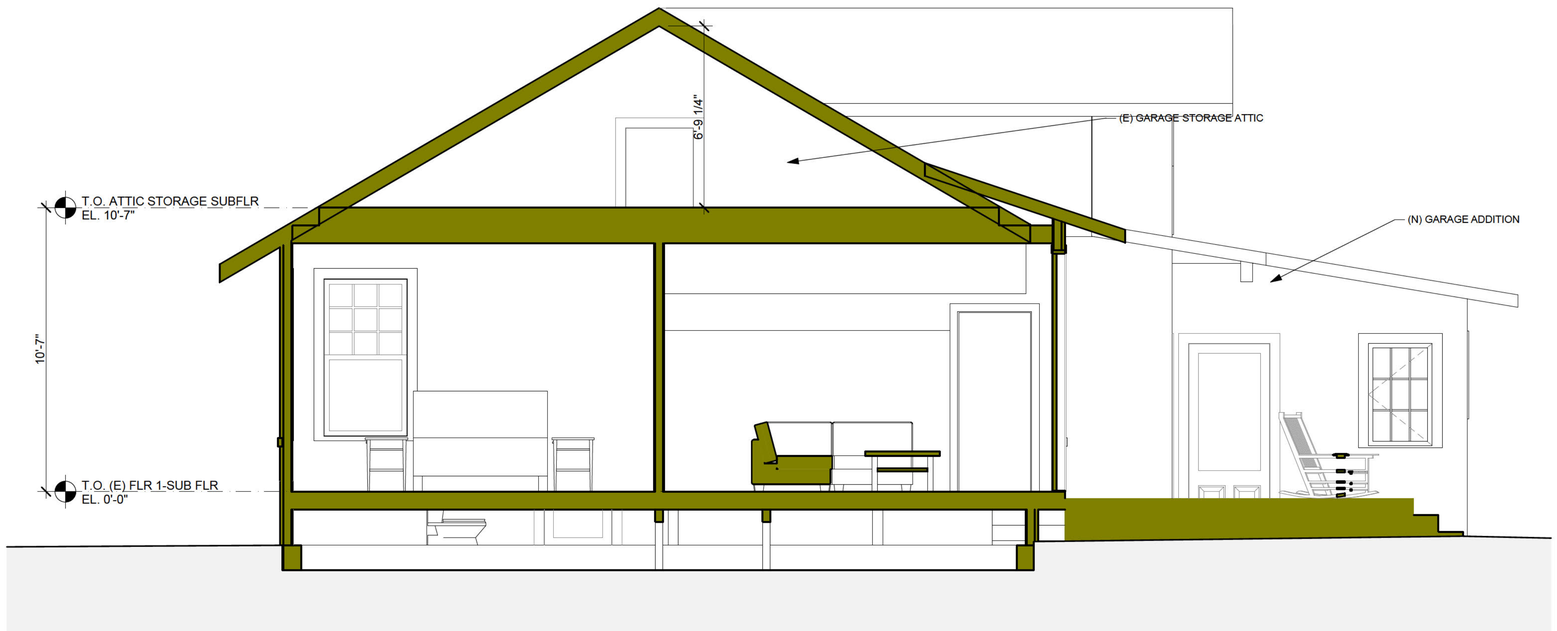
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A3.1



1 A4.0 SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 3/8" = 1'-0"



2 A4.0 SECTION-GARAGE, PRIMARY BEDROOM

SCALE: 3/8" = 1'-0"

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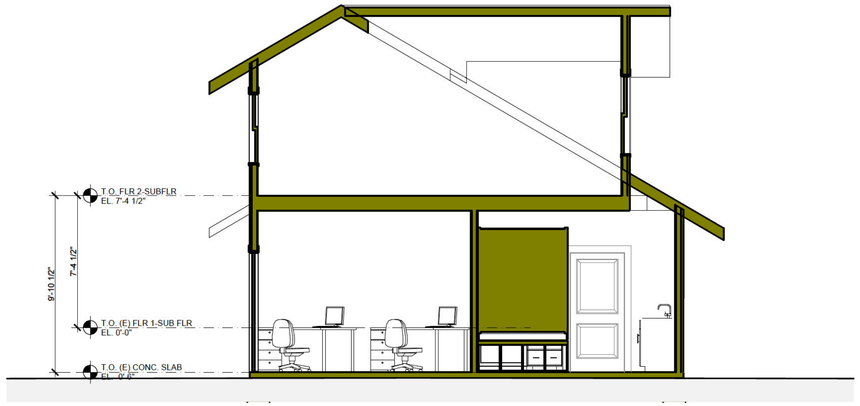
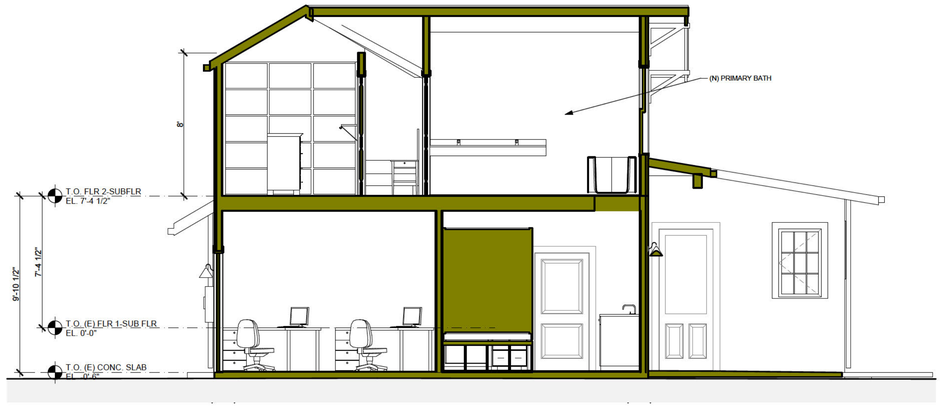
DRAWN	EB
DATE	10/17/2024
SCALE	3/8" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A4.0



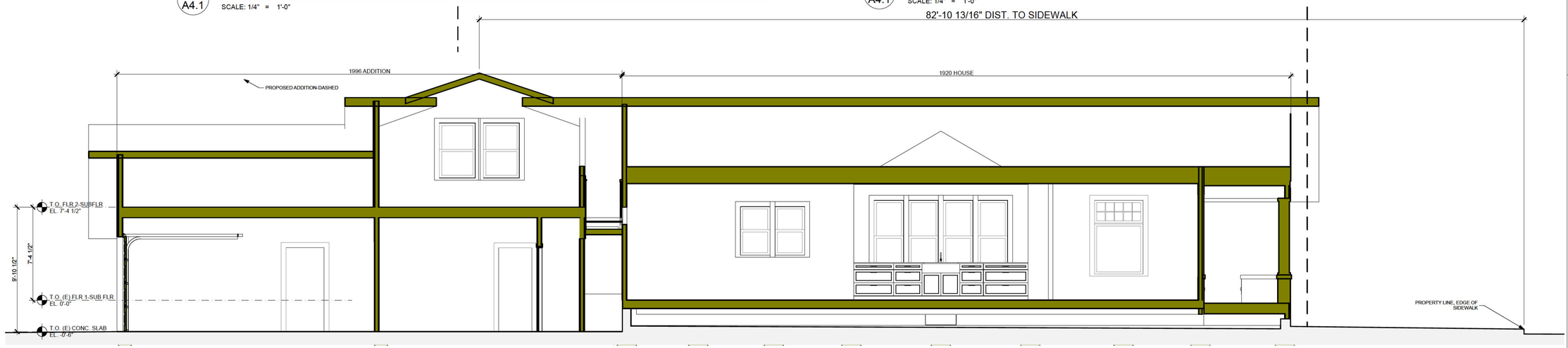
1 A4.1 SECTION-BED 3/MASTER BATH-EXISTING

SCALE: 1/4" = 1'-0"



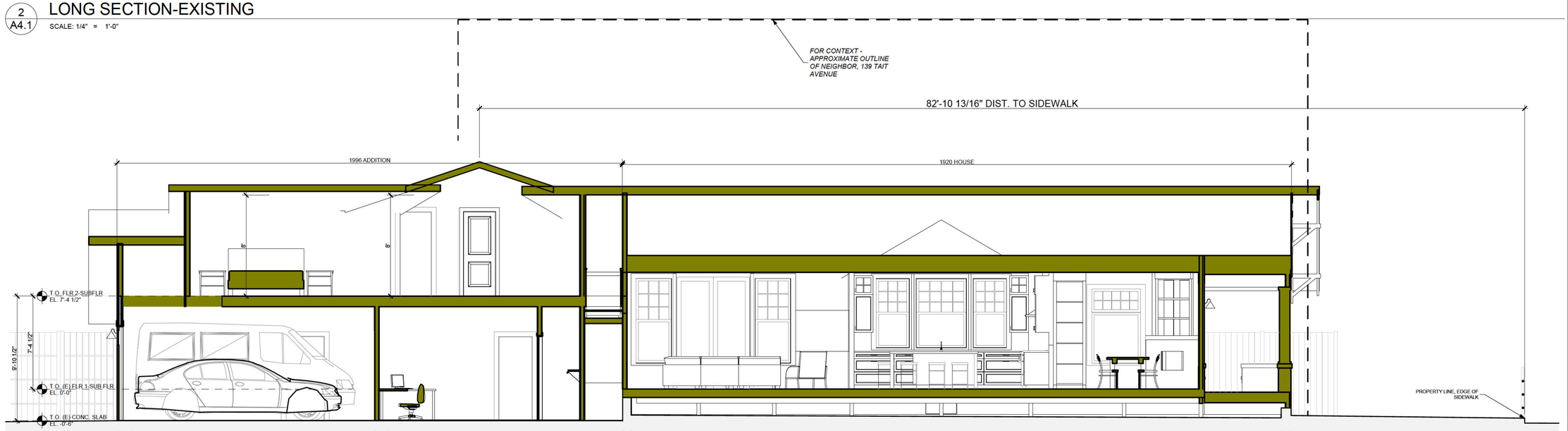
1 A4.1 SECTION-BED 3/MASTER BATH-PROPOSED

SCALE: 1/4" = 1'-0"



2 A4.1 LONG SECTION-EXISTING

SCALE: 1/4" = 1'-0"



2 A4.1 LONG SECTION-PROPOSED

SCALE: 1/4" = 1'-0"

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C-25632
7/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

DRAWING TITLE:
BUILDING SECTIONS

DRAWN	EB
DATE	10/17/2024
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A4.1

WINDOW SCHEDULE

WDW NO	RM NO	RM NAME	TYPE	UNIT WIDTH	UNIT HEIGHT	SAFETY GLAZING	REMARKS
101	104	DINING RM		4'	6'	YES	
102	104	DINING RM		4'	6'	YES	
103	104	DINING RM		4'	6'	YES	
104	105	KITCHEN	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"		
105	105	KITCHEN	DOUBLE HUNG	4'-1 1/4"	5'-7 1/2"	YES	
106	105	KITCHEN	DOUBLE HUNG	2'-9 1/4"	5'-7 1/2"		
108			DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
108	106	FAMILY RM	DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
109			DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
109	106	FAMILY RM	DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"		
110			DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
110	111	MUD/LAUN	---	2'-6"	3'-11 1/8"	YES	
111			DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
111	115	(N) GARAGE BA	---	2'-6"	3'-11 1/8"	YES	
112			DOUBLE HUNG	2'-11 1/2"	6'-10 1/8"	YES	
112	115	(N) GARAGE BA	---	4'	2'-11 1/8"	YES	
113	1113	BATH 2	---	2'-6"	4'-5 1/8"	YES	
114	109	BED 2	DOUBLE HUNG	3'-2 7/8"	6'	YES	
115	109	BED 2	DOUBLE HUNG	3'-9 1/4"	6'	YES	
116	107	BATH 1	---	2'-6"	4'-5 1/8"	YES	
117	108	BED 1	DOUBLE HUNG	3'-9 1/4"	6'	YES	
118	103	P R	---	2'	2'-11 1/8"	YES	
118	111	MUD/LAUN	---	2'-6"	3'-11 1/8"	YES	
120	102	ENTRY	---	2'	2'-11 1/8"	YES	
201			---	1'-8"	1'-11 1/8"	YES	
201	202	(N) P CLOS 1	---	2'-6"	4'-5 1/8"	YES	
202	201	(N) P BED 4	DOUBLE HUNG	2'-11 1/4"	5'-3 1/2"	YES	
203	201	(N) P BED 4	DOUBLE HUNG	2'-11 1/4"	5'-3 1/2"	YES	
204	201	(N) P BED 4	DOUBLE HUNG	2'-11 1/4"	5'-3 1/2"	YES	

CONSTRUCTION NOTE: SIZES ABOVEARE FRAME/WINDOW UNIT SIZE, RO. IS USUALLY 1/2" MORE ON EACH SIDE AND ON THE TOP

DOOR SCHEDULE

DOOR NO	RM NAME	RM NO	UNIT WIDTH	UNIT HEIGHT	REMARKS
101	ENTRY	102	3'-6"	7'-9"	WD, PAINTED W/ GLAZING
102			5'-11"	8'-11 1/2"	MARVIN ULTIMATE FRENCH
102	FAMILY RM	106	5'-11"	8'-11 1/2"	MARVIN ULTIMATE FRENCH
103	BACK HALL	110	3'	8'	WD, PAINTED W/ GLAZING
104	(N) GARAGE BAY	115	3'	8'	WD, PAINTED W/ GLAZING
105	(N) GARAGE BAY	115	8'	7'-6"	CARRIAGE STYLE W/ LITES, PTD

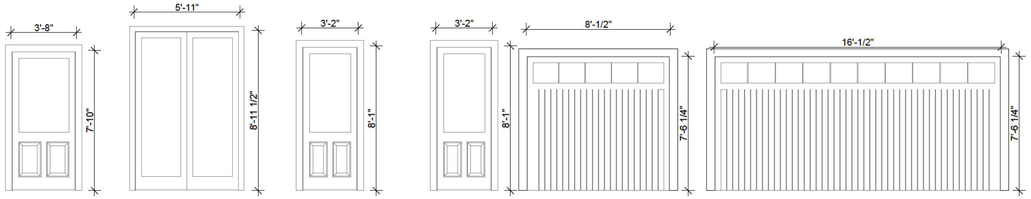
CONSTRUCTION NOTE: SIZES ABOVEARE FRAME/WINDOW UNIT SIZE, RO. IS USUALLY 1/2" MORE ON EACH SIDE AND ON THE TOP

DOOR SPECS:
1. MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRIMED
2. INSULATED, LOW E, ARGON
3. OIL RUBBED BRONZE HARDWARE
4. 5/8" SDL'S (SIMULATED DIVIDED LITES)

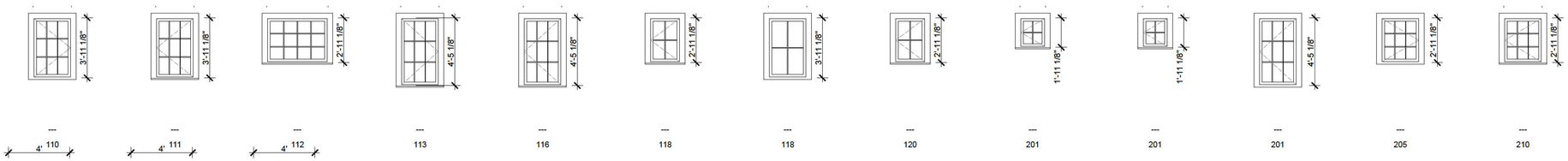
DOOR NOTES:

1. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK, TYP.
2. ALL DIMENSIONS INDICATED ON THIS SHEET REPRESENT DOOR UNIT DIMENSIONS, AS REFERENCED IN DETAILS.
3. DOORS INDICATED ON THIS SHEET REPRESENT THE EXTERIOR VIEW OF THE WINDOW.
4. ALL GLAZING TO BE INSULATED (DOUBLE) WITH LOW-E COATING, U.O.N.
5. HEAD HEIGHTS ARE MEASURED FROM FINISHED FLOOR.

86 HARDWARE T.B.D.



101 102 103 104 105 106



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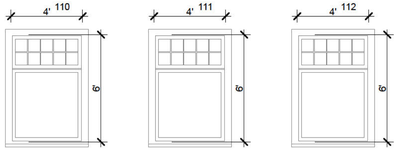
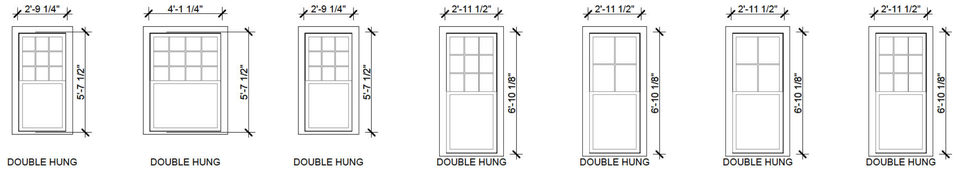
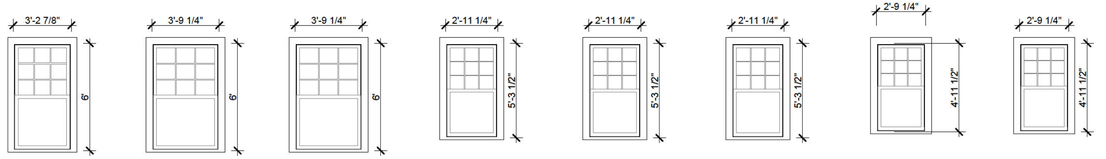
113 116 118 118 120 201 201 201 205 210



101 102 103

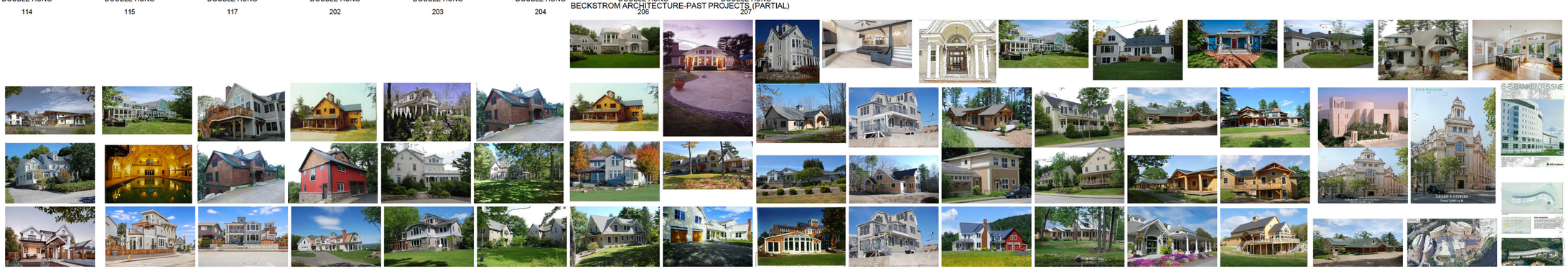


DOUBLE HUNG 104 | DOUBLE HUNG 105 | DOUBLE HUNG 106 | DOUBLE HUNG 108 | DOUBLE HUNG 108 | DOUBLE HUNG 108 | DOUBLE HUNG 109



DOUBLE HUNG 114 | DOUBLE HUNG 115 | DOUBLE HUNG 117 | DOUBLE HUNG 202 | DOUBLE HUNG 203 | DOUBLE HUNG 204 | DOUBLE HUNG 206 | DOUBLE HUNG 207

BECKSTROM ARCHITECTURE-PAST PROJECTS (PARTIAL)



1840'S HOUSE, NEW ADDITION ON LEFT, ALL WINDOWS UPGRADED TO MARVIN ULTIMATE, CLAD WOOD, SDL WINDOWS

WINDOW U-VALUES

Energy Factor	Value (range)
U Factor:	0.27 - 0.28
Solar Heat Gain (SHGC):	0.19
Visual Transmittance (VT):	0.43
Condensation Resistance (CR):	55 - 57
Energy Star:	NC, SC, S
Energy Star Canada:	
U Factor Canada:	1.53 - 1.59

MARVIN CLAD WINDOW SAMPLES

SECTION DETAILS - STANDARD SIMULATED DIVIDED LITES (SDL)

WINDOW SPECS:
1. MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRIMED
2. INSULATED, LOW E, ARGON
3. PROVIDE SCREENS FOR ALL WINDOWS
4. 5/8" SDL'S (SIMULATED DIVIDED LITES)
5. OIL RUBBED BRONZE HARDWARE
6. SEE ELEVATIONS FOR HINGE SIDE
7. ELEVATIONS AND DIAGRAMS BELOW SHOW MULLED UNITS

REVISIONS:	BY
△	EB
△	
△	

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www beckstromarch tecture com

[redacted] Res. Remodel & Addition

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APN: 510-18-029

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10/17/2024

SEAL:

DRAWING TITLE:
WINDOW & DOOR TYPES & SCHEDULES

DRAWN	EB
DATE	10/17/2024
SCALE	1' = 1'-0", 1:2.20
JOB NO.	6
FILENAME	2427 145 TAIT CD6.0.pln
SHEET	A9.0

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Beckstrom Architecture+ Interiors
Eric Beckstrom, Architect
PO Box 1317, Los Gatos, CA 94030
650 847-8351
Eric@BeckstromArchitecture.com

October 17, 2024

PROJECT PLANNER: Erin Walters
Town of Los Gatos - Planning Department
110 E. Main Street, Los Gatos CA 95031

Minor Residential Development Application MR-24-010
Project Site: 145 Tait Avenue
PROPERTY OWNER: Jennifer McNellis
APPLICANT: Eric Beckstrom

RECOMMENDATIONS

1. Maintain the subordinate character of the second floor additions by maintaining the existing dormer roof ridge height and eliminate its extension to the opposite side of the structure.

   While the roof slope of the current second floor dormer is not consistent with the current town Residential Design Guidelines, it was previously approved and is modest in appearance. I would not recommend any changes to the existing roof slopes.

   Response: See updated plans.

   However please also see A1.2 which shows other current permitted historic home additions which dwarf the scale and massing of the 145 Tait proposal. As one of the HPC commissioners expressed-why is this project under this extensive scrutiny? This remains unclear.
   Regardless-In an effort to move the project forward for the 145 Owners, the updated design responds to all the recommendations.
   As offered and suggested before, perhaps there is a group walk through some historic neighborhoods with the Consulting Architect, this Architect, the HPC and LG planners and the Town Lawyer. We have done this in other jurisdictions and it is productive-there is no downside-it only raises the knowledge base for all involved-there are no right and wrong answers as can be seen in the other new projects shown on A1.2 with all due respect.

2. Replace the large new windows which are inconsistent with the existing windows on the house with ones that match the size and proportions of existing windows.

   Response: See updated plans.
   All existing windows are 1996 Anderson windows. There are no original/existing windows from when the house was first built. Locations and sizes have been altered before the current owners purchased the house.
   The house has been uninhabitable since 1996 and used as a storage shed.

   The updated plans show more muntins/dividers and the 2 picture windows removed. The current house has a variety of window sizes and layouts. As in all of our projects we strive for balance and harmony as it evident in our body of work.

3. Match the garage addition's door height to that of the existing garage.
   Response: See updated plans

4. Per Residential Design Guideline 4.8.4- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal or plastic. Wood sashes may be vinyl or metal if the window frame and dressing is designed consistent with the historic context of the building. The proposed Marvin Ultimate wood clad windows are appropriate for the proposed project.

   Response: OK. Historic projects use Marvin Ultimate wood clad windows. Most jurisdictions recommend Marvin, especially with the 5/8" SDL's

5. Per Residential Design Guideline 4.8.5 Bay Windows. Provide a minimum one-foot setback of the Family Room wall adjacent to the existing bay window.
   Response: See updated plans

Please call or email with any follow up questions. Thanks.

Sincerely,

Eric A. Beckstrom
Architect

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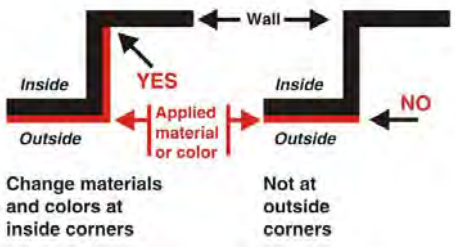
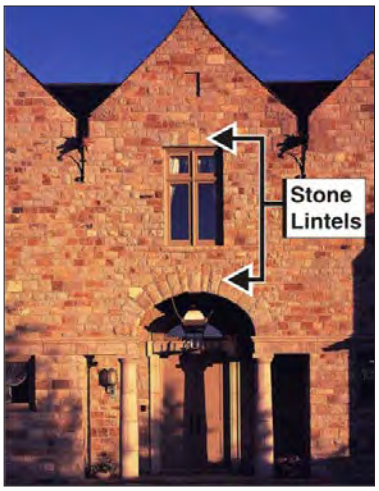
3.8.3 Use traditional detailing

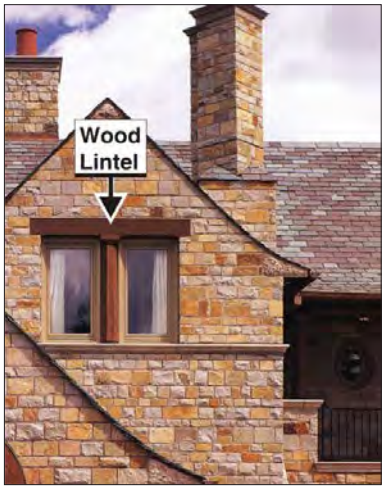
- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.







Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and

Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

Original structure

Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood

Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT

MEETING DATE: 10/23/2024

ITEM NO: 4

DATE:	October 18, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Requesting Approval for Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1:12. **Located at 200 Hernandez Avenue**. APN 510-21-003. Request for Review Application PHST-24-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Vaishali Singh-Sood. Project Planner: Sean Mullin.

BACKGROUND:

On September 25, 2024, the Historic Preservation Committee discussed the above request and continued consideration, providing the following direction to the applicant:

- Consider a barrel tile roof style more consistent with the existing architecture with consideration of alternative materials, including composite or metal;
- Provide documentation describing why the existing roof structure is not capable of supporting a clay barrel tile roof; and
- Provide a comparison of the fire-resistant characteristics of the standing seam metal roof and a metal or composite barrel tile roof system.

DISCUSSION:

The applicant submitted additional information related to metal roofing (Attachment 7) and an image providing an example of a Mediterranean style residence with a metal roof (Attachment 8).

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.
In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

PREPARED BY: Sean Mullin, AICP
Planning Manager

CONSIDERATIONS (continued):

___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Sections 4.4.8 of the Town's Residential Design Guidelines offers recommendations specifically for the roofing material for Mission Revival or Mediterranean style structures (Attachment 5).

CONCLUSION:

The applicant is requesting approval for exterior alterations (roof replacement) to a pre-1941 single-family residence on property zoned R-1:12 located at 200 Hernandez Avenue. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The proposed work would be completed with a Building Permit and would not return to the Committee for further review.

ATTACHMENTS:

Previously received with the September 25, 2024, Staff Report:
1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Letter of Justification
4. Project Description
5. Section 4.8.8, Residential Design Guidelines
6. Exterior Photo

Received with this Staff Report:
7. Additional information regarding metal roofing
8. Image of Mediterranean style residence with metal roof

DURABILITY INCLUDED FIRE RESISTANCE

Metal Roofs and Fire Means Protection is Priceless

homeowners looking to enhance their fire safety. Their fire-resistant qualities, longevity, and durability also make metal roofs very appealing to insurance companies. The most important distinctions between metal roof panels and asphalt shingles is time and the materials that each is constructed from.

Advantages of Metal Roofs Should the Unforeseen Happens.

Non-Combustible Material
Metal roofs are made of non-combustible materials such as steel. These materials do not ignite when exposed to flames, which is a significant advantage in fire-prone areas.

Embers and Sparks
In wildfires, or the case of homes close together in subdivisions or HOA/POA communities, one of the main ways homes catch fire is through flying embers and sparks. Metal roofs are less likely to catch fire from these embers compared to roofing materials like wood or

asphalt shingles and acts as a protector for portions of the house underneath.

High Fire Ratings
Many metal roofing products have high fire ratings, indicating their resistance to fire. All Central States metal panels have earned a Class A rating which indicates a flame spread rating somewhere between zero and 25. This rating involves burning materials under controlled conditions and measuring the speed and extent of flame spread. The resulting number is the flame spread index. Materials that earn this high rating do not burn well and are very unlikely to contribute fuel to a fire. They also help slow the spread of fire as metal panels withstand heat better than other products. The zero to 25 rating is the best rating given.

Durability
Metal roofs are durable and long-lasting. They do not degrade as quickly as other materials, such as wood or asphalt, which can become more susceptible to fire as they age and deteriorate.

Low Maintenance
Metal roofs require minimal maintenance, reducing the risk of fire hazards associated with the accumulation of debris or damaged roofing materials.

Quick Cooling
After a fire has passed, metal roofs cool down quickly, reducing the risk of re-ignition caused by lingering embers.

Roofing System
It's important to note that a roofing system involves more than just the material itself. Proper installation and the use of fire-resistant underlayment and flashing are critical for maximizing fire resistance.

While metal roofs offer excellent fire resistance, it's important to remember that no roofing material is completely fireproof. The overall fire safety of a home also depends on other factors like the design of the house, the presence of firebreaks, defensible space, and the maintenance of the property.

When considering a metal roof for fire resistance, it's essential to check local building codes and regulations. Some areas with a high risk of wildfires may have specific requirements for roofing materials and construction practices to enhance fire safety.

Learn more about quality Central States metal panels and how they help protect your family or business.

Share This Post:

ARCHITECTURE METAL ROOFING

Which Home Types Look Best with a Metal Roof?

April 16, 2021 / by RPS Metal Roofing & Siding / 0

appeal that many people are looking for, but they also offer great benefits in terms of conserving energy and weather-resistance, which is a huge bonus for many.

The fact that metal roofs last for so long and are so durable is another reason why they represent a great investment for your home. One concern you might have before you go ahead and have one of these roofs installed is whether they will suit the particular style of your home.

You, no doubt, want your home to look just right, and you don't want the style of your architecture to be ruined. They're more versatile than you might think, and here's more about the home types that look best with a metal roof.

Victorian Homes

Victorian homes tend to have very elaborate and ostentatious designs, and that actually makes them ideal candidates for metal roofs. Metal panels can be used to create the roofing for towers, dormers, turrets and whatever other design elements your Victorian home might incorporate.

Mediterranean Homes

As you might already know, most Mediterranean style homes use roof tiles to create their distinctive style. But metal roofs can replicate the appearance of roof tiles in many instances when the right approach is taken. They're a great option for Spanish revival homes and other similar architectural structures.

Mid-Century Homes

Mid-century or modernist homes are associated with clean lines and simplicity, and this makes them ideal for the simplicity that can come with the right choice of metal roof. These types of roofs can be highly minimalist and deliver the clean lines and cleanliness that so many mid-century homes are known for.

Colonial Homes

Colonial homes have a very distinctive and easy to spot style to them. They usually have quite high sloping roofs, and they tend to be a little darker. This makes them ideal for painted metal roof panels that come in darker tones. They can replicate this style very well and deliver the aesthetic that you're looking for.

Log Homes

Log homes are, of course, associated with a certain coziness that comes from their wood design. And that's why metal roofs might not seem like an obvious choice for them. But that's not necessarily true. You can balance the wood paneling with the metal panel roof very well, while keeping the home safe and low maintenance at the same time.

Craftsman Homes

Craftsman homes are homey, classic and yet contemporary at the same time. So it's no wonder they're so appealing to so many American families. With the right choice of color, metal roofs can look great on these homes. Deep greys and other earthy tones work well here.

Metal roofs can suit just about any kind of property. You might be surprised by the sheer range of properties that look good with metal roofs, but it just goes to show how much versatility and range there to these kinds of roofs, so don't assume a metal roof isn't going to suit your home.

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Website

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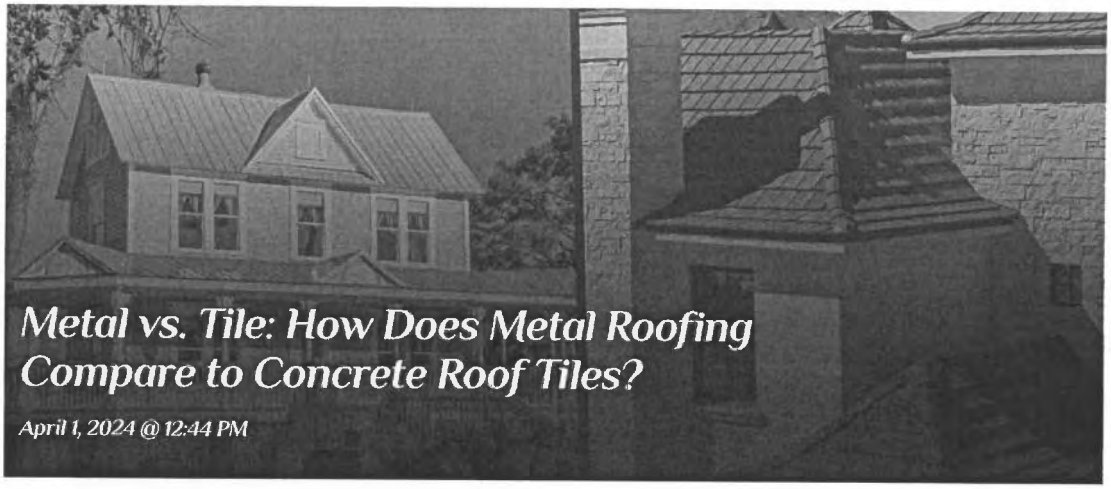


Metal vs. Tile: How Does Metal Roofing Compare to Concrete Roof Tiles?

April 1, 2024 @ 12:44 PM

Posted in: Concrete Roof Tile vs. Other Roofing Materials

Recently a new roofing trend has been sweeping the exterior design world: metal. While metal has been used for interior or exterior accents in the past, now metal is being used more and more for roofs on both residential and commercial structures. But how does it stack up against concrete roof tiles? Let's compare the design, structure and energy efficiency of both products.

Research and Referrals

Concrete roof tiles have been around for centuries, so there is no doubt they will stand the test of time while creating amazingly diverse looks that allow for unlimited design opportunities. Revel in the freedom of choosing between different profiles – from big barrel tiles or smooth, flat surfaces to surfaces that have a bit more dimension, texture and character to them. Better yet, let's talk about color! From stunning ranges to beautiful blends, Eagle concrete roof tiles are available in varying colors that'll effortlessly heighten any aesthetic. The design possibilities are endless when looking at color schemes, accents or the texture of a structure's crown. Overall, these details can transform the entire exterior from contemporary to modern at the drop of a dime.

Metal, while beautiful in its own right, has a few more limitations. The industry itself has come a long way in offering various textures and finishes to offset the traditional industrial, flat appearance that it is well known for. Metal roofs can now mimic other roofing materials such as wood shake, asphalt shingles and slate, however the metallic look often compromises the authenticity of these renditions and the overall design. In addition, the color offering of most metal roofing manufacturers is often not as diverse as what you would find in concrete roof tile, thus not allowing homeowners or designers much leeway when it comes to exterior design.

Structure

How a product is made is important with any purchase, but it is especially vital when choosing what roofing material to use. A few things to consider when choosing roofing materials are longevity, resistance and maintenance.

Longevity & Resistance

A concrete tile roof provides the added security and protection homeowners are seeking. Eagle roof tiles last the life of the structure and have a proven track record against the harshest conditions. A properly installed concrete tile roof will withstand the elements of rain, snow, high wind and scorching heat – outperforming all other roofing products.

Metal roofs, on the other hand, are known to last about 30-45 years. Since metal doesn't burn and is noncombustible, they're given a Class A fire rating (the most flame-resistant classification). However, metal roofs are affected by environmental conditions and depending on the geographical location, the surface of a metal roof can begin to deteriorate and rust with minimal exposure to moisture, salt, etc. Some painted metal roof finishes can peel, chip, fade, scratch or chalk. Metal roofs can also be a nuisance in inclement weather – hailstorms in particular. During a hailstorm, a metal roof will become boisterous, dented and scratched, leaving it unattractive and the damage caused will be uncovered by most property insurance. In areas with high temperatures, keep in mind that metal is prone to expand and contract, which can lead to oil canning and leave the roof without an air-tight seal – allowing water to infiltrate the expensive roofing system and/or cause a wavy effect.

Maintenance

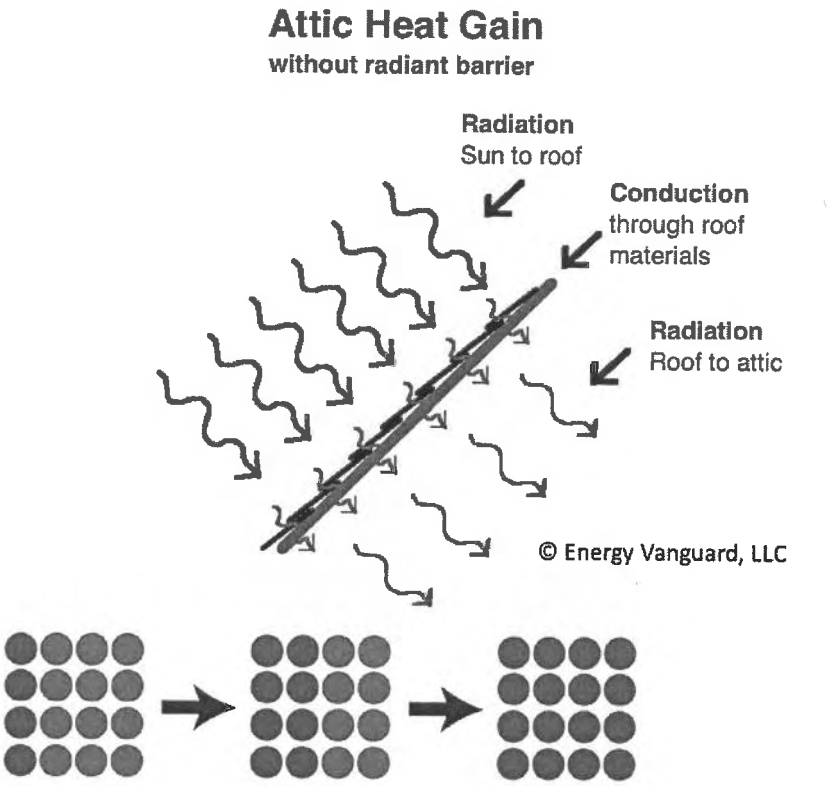
almost impossible to find a match for a repair, which metal roofs are notorious for being difficult and very expensive to fix. The reason behind this is because the entire sheet of metal would need to be completely swapped out and replaced with a new one. Since concrete roof tiles come in a variety of different shades and colors, it's typically very simple to find a piece or set that matches the existing color of a weathering roof tile. Furthermore, depending on how many roof tiles need to be replaced, it can be virtually painless to repair concrete roof tiles in both labor and material costs.

Energy Efficiency

Metal and concrete roof tiles both have advantages when it comes to energy efficiency. An important factor of energy efficiency is how the material's reflectance level will affect your heating and cooling cost.

Heating and Cooling

Using a reflective roofing material is important to most homeowners. While concrete roof tiles and metal roofs both have an amazing reflective quality, one still remains superior. When we start thinking about the sun's rays and how they heat up a rooftop, we have to consider how conduction plays a part in moving the heat from the top of the roof to inside the attic. Depending on the thickness of the roofing material, the sun's heat will radiate onto the roof, conduct, make its way through the material, to then radiate into your attic space creating a hotter atmosphere within the structure.



How heat moves through roof material

Using a thicker roofing product will allow the heat being transferred to slowly move through the product. Concrete roof tiles are thick and have a unique advantage; they can reflect ***and*** absorb the heat before it gets a chance to make its way into the attic. Metal, on the contrary, is very thin. While it remains a highly reflective roofing material, it also transfers a greater amount of heat into a structure's attic, when compared to concrete roof tiles.

These key points on how metal roofs compare to concrete roof tile in design, structure and energy efficiency will allow you to make an informed decision on what roofing material will work best on your next project. To learn more about the features and benefits of concrete roof tiles, visit our **website** or **contact** your local Eagle Account representative for more information.

This Old House

Explore This Article

Pros and Cons of Metal Roofs (2024 Guide)

Written by Angela Bunt

Updated 06/19/2024

If your shingles are showing their age or the roof has sprung a leak one too many times, it may be time for an upgrade. As you research roof replacement options, you'll learn that metal roofing has grown in popularity over the last decade.

Metal roofs offer some compelling advantages over traditional roofing materials, including a unique blend of style and durability. But are they worth the investment? We'll break down the pros and cons of metal roofs to help you make an informed decision.

What Are The Benefits of Metal Roofs?

They may not have been on your radar when you first realized you needed to replace your roof, but metal roofs can be a practical and cost-effective option. The benefits of metal roofs often outweigh their disadvantages. We've listed a few of their most impressive features below.

Does Metal Roofing Last Longer?

One key difference between shingles and metal roofs is their life spans. A traditional asphalt roof with three-tab shingles might last 15–20 years, while architectural asphalt shingles typically max out at 30–50 years. Regardless of the type of shingles you choose, replacing an asphalt roof is troublesome, noisy, and expensive.

Installing a metal roof may be just as noisy and disruptive, but you won't need to replace it as often. A metal roof could last 40–80 years or longer, making it a worthwhile investment.

To learn more about how the longevity of metal roofs compares to other popular roofing materials, check out the video below. General contractor Tom Silva provides a quick overview of asphalt shingles versus wood shingles, metal roofing, and clay tiles:

Are Metal Roofs Durable?

Metal roofs are made of strong metals, including tin, aluminum, zinc, copper, and steel. They're more durable than asphalt shingles, so they have longer life spans.

Metal roofs can withstand extreme weather, such as heavy snow and radiant summer heat, and winds of up to 140 mph. They are sturdy—especially the steel ones, which score on the higher end of hardness scales. Most metal roofs have a Class 4 impact resistance rating, meaning they can withstand hail up to 2 inches in diameter.

Do Metal Roofs Increase Curb Appeal?

Metal roofs have come a long way since their tin-plated iron predecessors. Roofers didn't always consider curb appeal, but metal roofs are much more attractive today. A metal roof system also maintains its visual appeal well. Because it sustains minimal damage, your roof will look new for years to come.

There are several metal roofing styles and they span a variety of colors and types. If standard metal shingles aren't your style, you have several other options to choose from including shake-inspired, tile, panel, and ribbed metal roofing.

Are Metal Roofs Sustainable?

Asphalt shingles create a lot of waste, with over 12 billion square feet of shingles ending up in landfills every year. Metal roofs offer a more eco-friendly option. A roofer can install them directly over your existing roof, eliminating the debris associated with a traditional roof replacement. Metal roofs also consist of 35–95% recycled materials and are 100% recyclable if you need to swap them out.

Are Metal Roofs Energy Efficient?

Metal roofs are a good option if you want to save on energy bills. Traditional shingles trap solar heat and increase the need to cool your home by up to 15%. Metal roofs reflect the hot sun, so you don't need to spend as much on your home's cooling costs.

> You'll also spend less on heating bills because most roofing companies insulate under metal roofs, keeping your home warmer in the winter. **Metal roofs improve your energy savings by approximately 10–25%.** You can also install solar panels on metal rooftops, making them even more energy efficient.

Are Metal Roofs Safe?

It's a common misconception that metal roofs are more likely to have issues during extreme weather. Metal roofs don't attract lightning during a thunderstorm any more than traditional asphalt roofs. Plus, most metal roofs have a Class A fire rating, meaning they resist surface flame spread. These roofs are as safe as asphalt shingles, even if you live in an area with a high wildfire risk.

What Are the Drawbacks of Metal Roofs?

Metal roofing comes with a few disadvantages that may turn off some homeowners, especially those on strict budgets.

Are Metal Roofs Expensive?

Metal roofs are more expensive than shingles. Most new roof installations cost $5,582–$13,022, with the average hovering around $9,300. A traditional asphalt shingle roof costs an average of $8,800. Factors such as the roof's size, the type you install, and the roof's pitch will determine how much you pay. Using expensive materials such as clay tile, slate, or synthetic wood shakes could drive the price above $30,000.

> The cost of a metal roof is typically **$5,670–$17,350**, but you could pay **$40,000 or more** for copper or other high-end metals. A metal roof may cost you less overall, but the upfront costs can be intimidating.*

**Cost data sourced from contractor estimates used by Angi.*

Can Metal Roofs Dent?

Although metal roofs are sturdy, they can still experience damage. Steel roofs are strong and don't get many indentations, but aluminum and copper are prone to issues. Hailstorms and falling tree branches increase the likelihood of dents and could also cause paint finishes to chip or fade. As you're reviewing options, check the warranties to learn what different roof companies cover.

Are Metal Roofs Noisy?

You'll likely hear noise from your metal roof during a storm. Although some people find the sound of rain hitting a metal roof calming, this is something to consider, especially if you're sensitive to certain noises. An experienced roofer will know how to reduce noise effectively by installing the proper underlayment or insulation to minimize sound.

Will Metal Roofing Rust?

Some types of metal roofing are prone to rust, especially when placed in coastal climates. Here's how different materials hold up:

- **Steel** can rust, but roofing companies use galvanized steel to offset the chance of rusting.
- **Aluminum** is rust-resistant but may not be suitable for some residential homes because of its aesthetics.
- **Copper** is also rust-resistant but more prone to corrosion over time.
- **Zinc** resists both rust and corrosion but can be expensive.
- **Galvalume steel** is reinforced with aluminum and zinc, making it the best solution for rusting roofs in humid climates.

Are Metal Roofs Widely Available?

Metal roofs are growing in popularity, but it can still be difficult to find roofers who know how to install them properly. Make sure to do your research before hiring a contractor to install a metal roof.

Quick Tip

Make sure that your roofer has metal roof installation experience, proper insurance and licensing, and a history of positive reviews. For added peace of mind, you can hire an independent roof inspector to evaluate your roof before and after installation.

Are Metal Roofs Worth The Cost?

Metal roofs are an attractive and durable roofing option compared to traditional asphalt shingles. Although a metal roof's upfront cost is high, the cost of a new roof is always expensive. Due to its endurance, you'll save money in the long run if you choose to go with a metal roof. We recommend going with steel roofing over tin or aluminum to get the most longevity out of your roof and considering Galvalume steel if you live in a coastal region.

FAQs About Metal Roofs

Do metal roofs attract lightning?

Researchers haven't found any evidence that metal roofs attract more lightning than asphalt alternatives. Properly grounded metal roofs can conduct lightning energy over a broader area, reducing the risk of damage or fire.

Do metal roofs leak more than shingles?

What is better, a metal roof or shingles?

Is it worth it to put on a metal roof?

Does a metal roof devalue a house?

To share feedback or ask a question about this article, send a note to our Reviews team at reviews@thisoldhousereviews.com.

What is the Lightest Roofing Material?

By Trevor Underwood April 18, 2022

CONTRACTORS WHAT IS METAL ROOFING

WHY METAL ROOFING

What is the Lightest Roofing Material? 6:33

Metal roofs are one of the most durable, long-lasting and energy-efficient roofing materials on the market, but the lightweight advantages of metal roofs are often overlooked.

Many homeowners are surprised to learn that metal roofs are one of the lightest roofing materials, especially since metal roofs last two to three times longer than traditional roofing materials. Some quick stats:

- **Asphalt Shingles:** Weigh up to 4.3 lbs. per square foot
- **Clay or Concrete Tile:** Weigh up to 6 -11 lbs. per square foot

Here's how a lightweight metal roof eases the burden not only on a building structure, but also roofing contractors and homeowners.

Why does the weight of the roof matter?

Shear strength is the ability to resist forces that cause the internal structure to slide against itself. For example, in a reinforced concrete beam, the main purpose of the reinforcing bar (rebar) is to increase the shear strength. In roofing, the forces pushing on the structure are typically caused by hurricanes, tornadoes, earthquakes and severe storms. A building bearing an excessively heavy roof load is considered top-heavy and prone to side forces.

Metal roofs contribute reinforcing shear strength to the underlying roof deck without piling on excess weight at the top of the building envelope where it is the least desirable. This is extremely advantageous for both contractors and homeowners for several reasons.

weight of the roof.

A **roof-over** is when a layer of new roofing is placed over the existing roof. A **roof replacement** is when the existing roofing and underlayments are completely removed from the roof, exposing the deck.

Heavy roofing materials pile excessive weight up at the top of the home, adding to the roof load and the construction materials required to support it. For instance, asphalt shingles can add another 15,000 pounds (on a 30 square roof) to the roof and are too heavy to be considered a viable option for a roof-over. Clay tiles are also ruled out since they can absorb up to 15% of their weight in moisture, adding weight stress to the supporting roof structure.

On the other hand, lightweight metal roofing contributes reinforcing strength to the roof deck, while weighing only 4,500 pounds (on a 30 square roof), and can often eliminate the need for a complete tear-off of the existing roof *(aka a roof replacement)*.

In fact, if local building codes permit, metal roofs can be installed directly over an existing roof while still remaining well within the "dead load" limits of the local building codes (dead load refers to the weight of the roof structure, plus any permanently attached structures).

>>>Related Resource: *Here's what you need to know about roof-over vs. roof replacement*.

For new construction, a lightweight metal roof design can keep a new home or building project on time and even under budget. New homes designed with metal roofing can

This simplifies and reduces the amount of load-bearing engineering required to support the roof.

The inherent lightweight nature of metal makes it ideal for roofing since it simplifies engineering and contributes sheer strength to support the entire structure, but the benefits of lightweight metal roofing extend beyond just construction.

Benefits of Lightweight Metal Roofing

Regardless of what region you are in, a lightweight and element-resistant roof has the strength to protect your home from nearly anything Mother Nature has to offer with surplus strength to support:

- **Snow Loads:** Homeowners in snow-prone regions require a roof with surplus strength to accommodate the weight of heavy snow and ice.
- **Solar Power:** Roof-mounted installations, such as solar power panels and racks, require surplus strength.
- **Earthquakes:** Lightweight DECRA stone-coated steel provides extra shear strength to the roof deck to withstand tremors in seismically active regions like Costa Rica. Conventional materials, such as heavy asphalt shingles and clay tiles only add dead weight, resulting in a top-heavy home with minimal extra roof reinforcement.

As one of the strongest roofing materials on the market, metal roofing comes with an extensive list of other benefits as well, including:

- **Hail:** Highest Class 4 impact rating.

codes in the nation due to the constant landfall from hurricanes. Even if you're not in Florida, look for a roof that meets high-velocity hurricane zone requirements for top-tier protection from wind.

- **Salt Air and Humidity:** Check that the roofing material can resist rust and oxidation in moist and humid salt air environments.

The benefits of metal roofing don't stop there. The durability and energy efficiency of metal roofing provides homeowners with an extremely high ROI and a sustainable roofing product that boasts benefits such as:

- Lasting two to three times longer than traditional roofing materials, such as asphalt shingles.
- Providing energy savings as high as 25%.
- Offering insurance discounts in many states. For example, in Texas, a metal roof can lower your homeowner's insurance by up to 35% *(check with your local insurance carrier for available discounts).*
- Increasing a home's value by up to 6%.
- Producing environmentally-friendly construction that is 100% recyclable.

Lightweight DECRA Metal Roofing

DECRA Metal Roofing has protected homes and buildings since 1957 and our state-of-the-art manufacturing facility is located right here in Corona, California. As the original stone-coated metal roofing manufacturer, DECRA has set the industry's gold standard for durability and longevity.

Sheffield Metals International
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ROOFING MATERIAL TYPES

Spanish Clay Tile vs. Metal Roofing: Which Roof Material is Best?

Spanish clay tiles and metal are both common roofing materials used on residential, commercial, and architectural properties. Discover the different characteristics of these two materials and how each one can affect your final decision.

By: Julianne Calapa | Posted on August 24, 2022

Home / **Roofing Material Types** / Spanish Clay Tile vs. Metal Roofing: Which Roof Material is Best?

Metal Roofing vs. Spanish Clay Tile: Which Roofing Material is Best?

Let's face it: **Buying and installing a new roof can be expensive**, no matter what material you choose. That's why you should always consider the considerations, pros, cons, and differences of all your buying options before you make a decision.

Two common roofing materials are standing seam metal roofing and Spanish tiles (typically ceramic or made of clay). We often get questions about the distinct differences between these two materials and if one is better than the other.

The shortest answer is: **It depends.**

While our main product category at Sheffield Metals is metal roofing, we 100% understand that metal roofing is not suitable for every home or building owner. That's why we do our best to educate buyers with unbiased facts about the various roofing material choices.

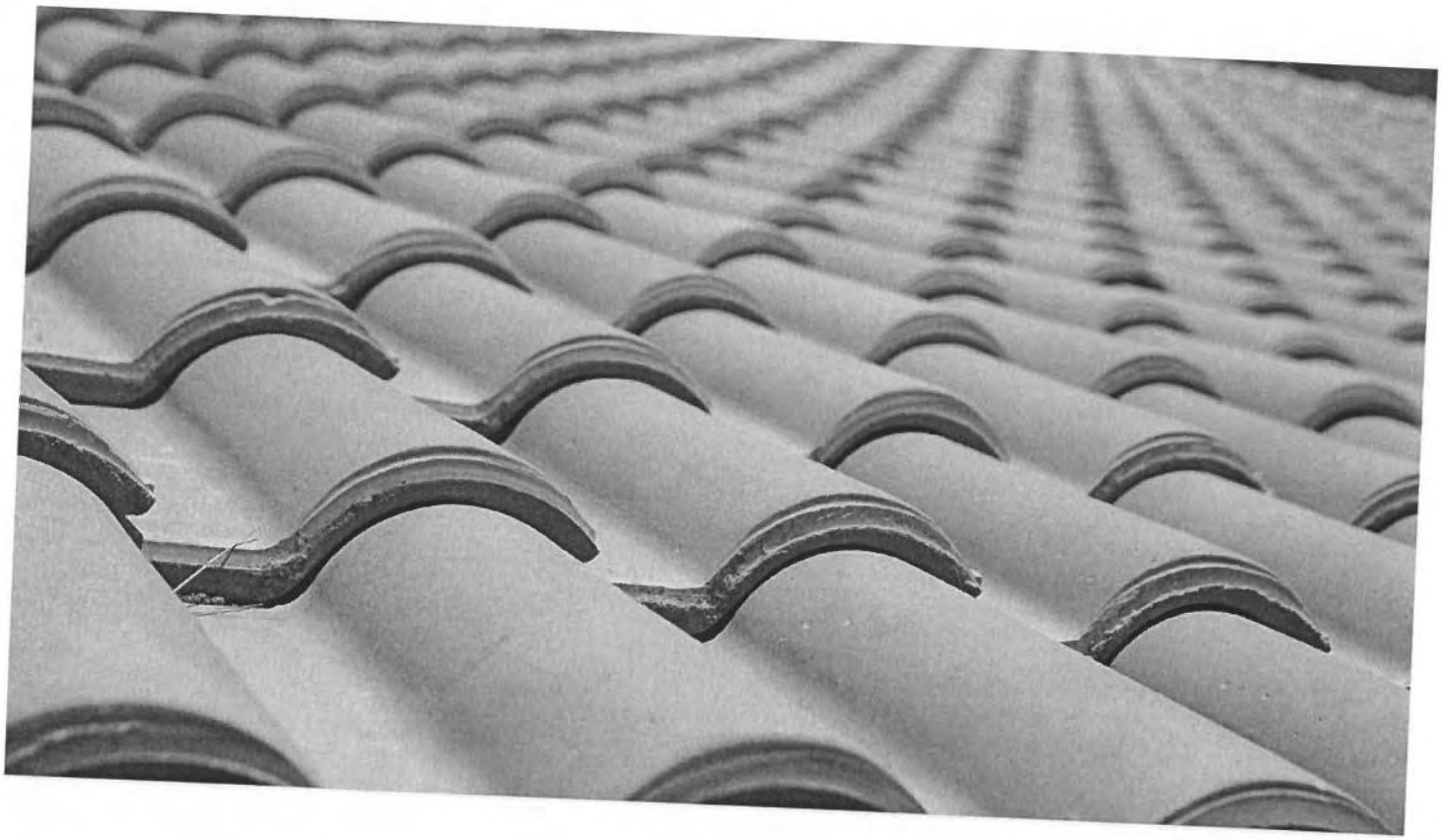
In this article, expect to learn:

Advantages and disadvantages of Spanish tiles

Advantages and disadvantages of metal roofing

The different factors you should consider before making a purchase

Spanish Clay Tiles – Characteristics, Advantages, & Disadvantages

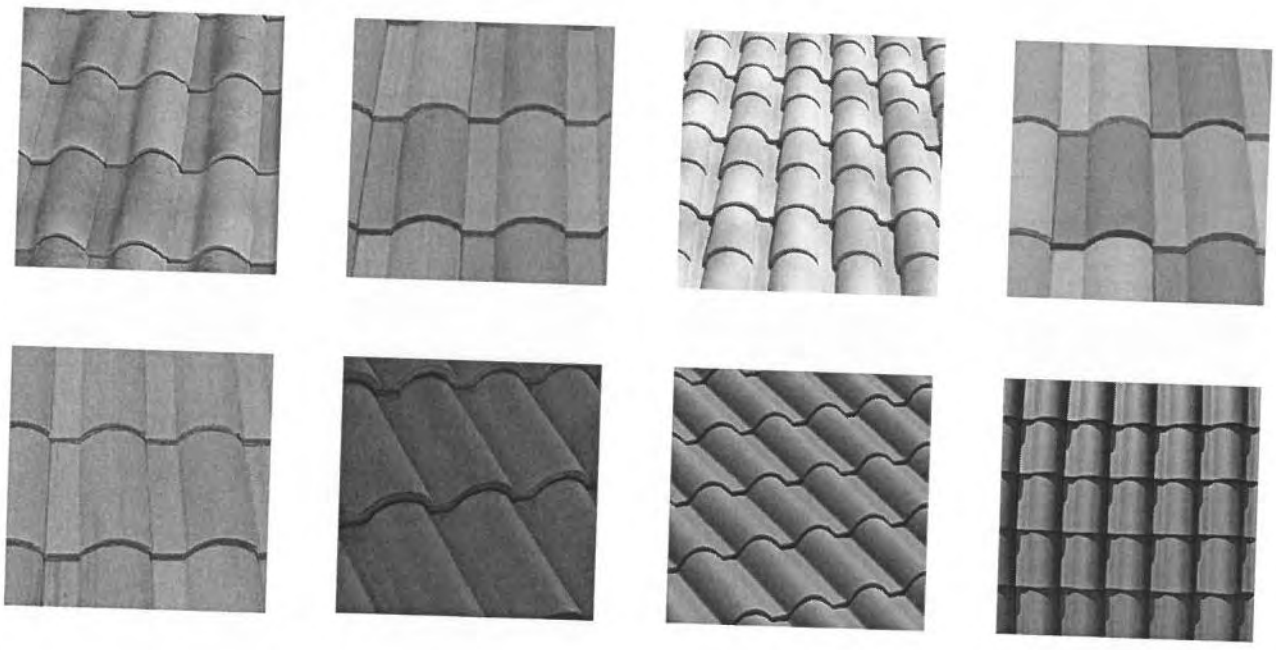


The practice of using clay tile as a roofing material has been around for centuries, with some uses dating back to China as early as 10,000 B.C. Using clay roof tiles eventually spread throughout Asia and Europe, where new styles and advanced options became available (including what would eventually be coined as "Spanish tiles"). This building material finally made its way to America during colonization in the 17th century and is still used as a roofing material.

Advantages of Spanish Clay Tiles

Longevity – One of the most significant reasons home and property owners install a Spanish tile roof is that it has been known to last decades. There are some instances where clay tile roofs have been structurally sound for over 100 years. Determining the exact number of years a roof will last is challenging, but limited extreme weather exposure and proper maintenance help to prolong the life of a Spanish tile roof. With certain manufacturers, a clay tile roof system may come with the option for up to a 50-year warranty.

Reduced heat transfer – Spanish clay tile is one of the most preferred roofing materials if you live in an area where heat transfer into a building is a concern. According to the **Tile Roofing Industry Alliance**, "roofing tiles have a natural thermal resistance in the raw materials themselves that are created by the larger cross-sectional areas of the tiles while installed." Also, because Spanish tiles are installed individually instead of in an overlapping style, the air space around the tiles creates natural ventilation that acts as a barrier to heat transfer. This allows indoor building temperatures to stay cooler in the summer and warmer in the winter.



Specific architectural look – The overall "look" of your property (and neighborhood) is a variable you should consider. Specifically, Spanish tiles tend to stand out with their terra cotta, brown earth

tones, and rustic red color palette. You'll notice that most buildings with Spanish clay tiles are concentrated in some areas of the United States. The traditional "S" style Spanish clay tiles tend to complement the Mediterranean and Spanish architectural influences popular in places such as **Florida, Georgia, the Southwest U.S.**, and **Southern California**. So if you're located in a New England or Pacific Northwest region, Spanish tile might not go with the area's architectural style.

Eco-friendly – As mentioned, most Spanish tiles are made from clay (or terra cotta clay), a regenerating natural element found on the Earth that is not in danger of depletion. Most clay tiles are made without chemicals or other hazardous materials. Additionally, Spanish tiles can easily be recycled and ground up for use in future items.

High fire resistance – Like metal roofing, clay tiles often carry a Class A fire rating (UL 790 – **Standard Test Methods for Fire Tests of Roof Coverings**), meaning it's least likely to combust or catch fire.

Lower maintenance & easy replacement – Spanish tiles do not require frequent maintenance. For the most proactive approach, it's recommended that Spanish tiles are inspected one to two times (by a professional) per year to look for:

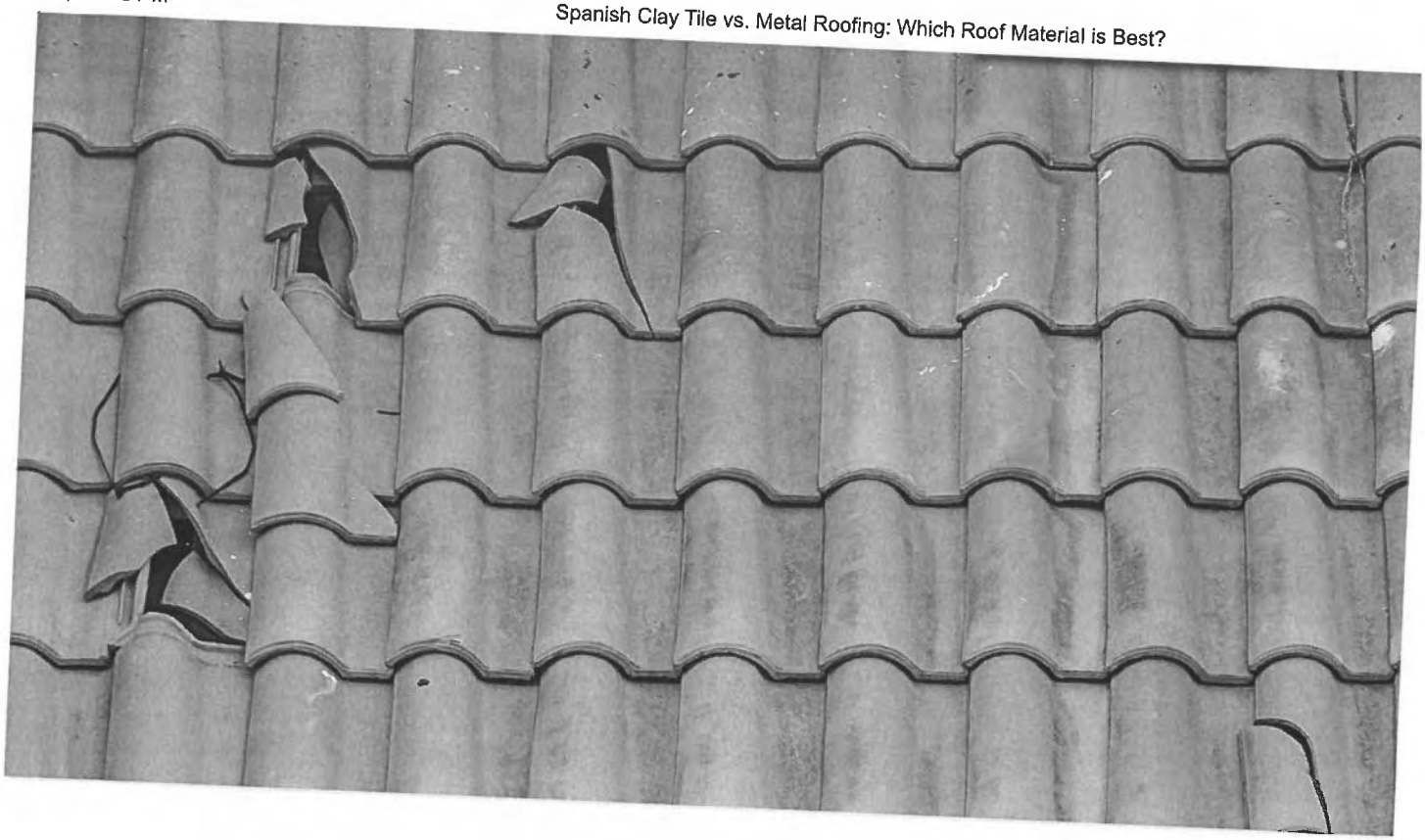
Leaks and water damage

Leaves, branches, and other stuck debris

Cracked or damaged tiles

Birds and other animals

Luckily, if there are one or more tiles that need replacement, you don't need to rip up an entire section of your roof. The damaged Spanish tiles can be removed and replaced with relative ease.



Disadvantages of Spanish Clay Tiles

Fragile – One of the most significant disadvantages to Spanish tiles is their fragility — especially when met with enough force — which makes them easier to chip, crack, and fall apart. This comes into play at all points of a roof's lifecycle:

Pre-installation – Contractors have the make sure the clay tiles they're installing haven't been broken during transport or by the handling of workers.

During the installation – Since clay tiles are installed using screws that go through the holes in the material, it's not hard to break the clay with the wrong amount of force or tension when attaching the fastener.

After the installation – If a clay tile roof is left undisturbed, it can last for 100+ years. However, if someone walks incorrectly on the clay tiles or if a large enough object (branch, etc.) hits the surface, clay tiles can break relatively easily.

Additionally, cold temperatures and repeated freezing and thawing can weaken Spanish clay tiles, which is why this roof type is most common in warmer climates.

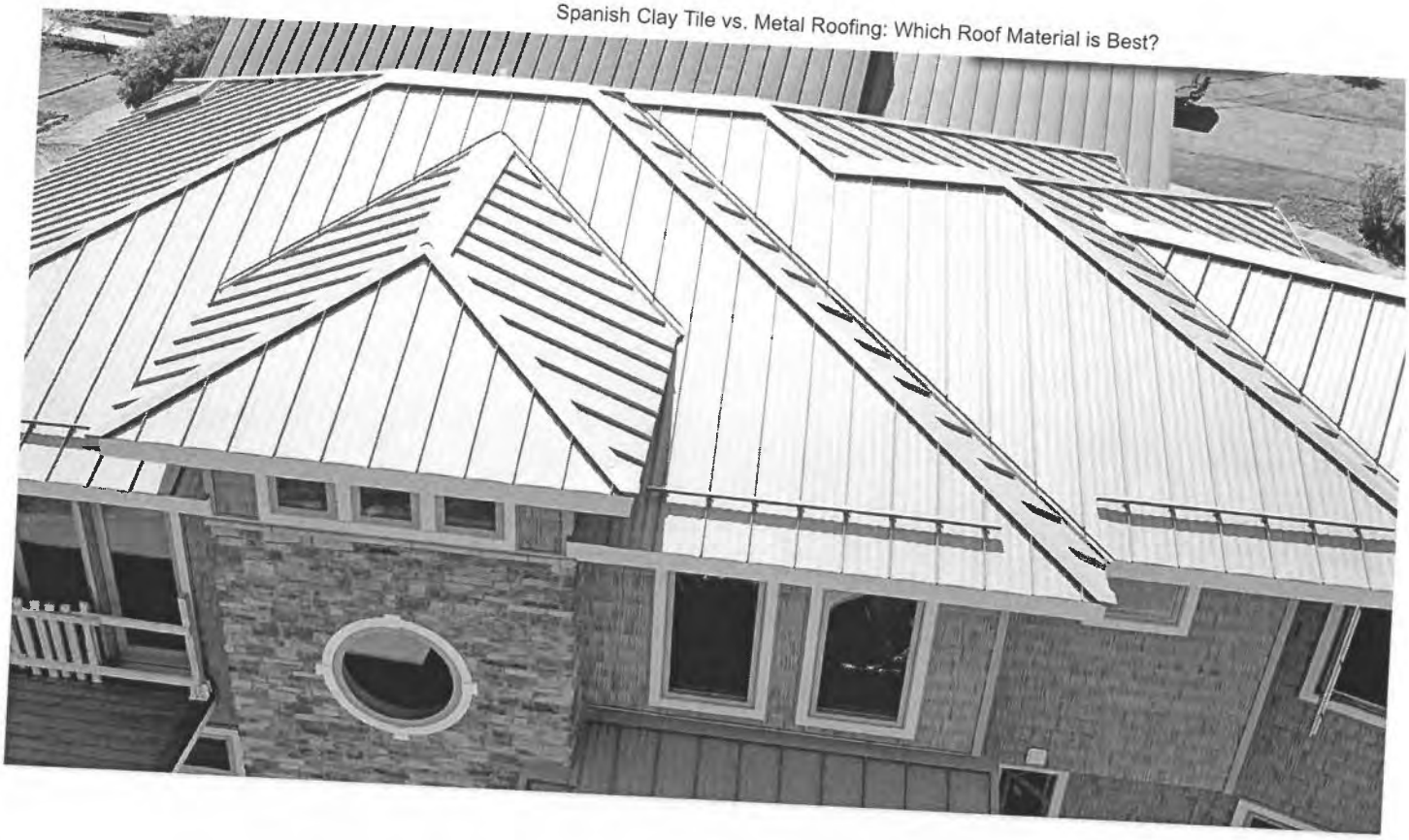
Higher cost than metal roofing – As far as pricing goes, installing Spanish tiles is not a cheap venture. **According to Modernize**, the materials are not the expensive part, it's the installation that costs more because it tends to be time-consuming (especially if the "S" style tiles are smaller). On average, the overall cost to install Spanish clay tiles ranges anywhere from $13 to $25 per square foot.

Heavy – Clay roof tiles are some of the heaviest materials you can install on your roof. Depending on the style and size, Spanish clay tiles can weigh anywhere from 8 to 15 pounds per square foot. This is partially a good thing, as the heavier the material, the harder it is for it to be lifted off of the roof deck. However, it tends to be more negative because the added weight puts more of a strain on the building structure. That's why it's critical to ensure the building frame can withstand the extra weight and your roof deck is strong enough to support the roof.

Strict slope requirements – For a Spanish clay tile to be able to drain water adequately, the absolute minimum slope is 2.5/12. For a 2.5/12 up to a 4/12 pitched roof, it's recommended that you use two **layers of underlayment** to ensure water doesn't leak through. For 4/12 slopes and higher, which is considered a steep slope for clay tiles, only one layer of underlayment is necessary.

Limited color options – Spanish tiles are most commonly known for their reddish-orange color, which is made of either clay or terracotta. While the red/orange color does fit with some architectural looks, it's not suitable for every building or homeowner, which may or may not be a drawback. However, specialty colors are available upon request, including blues, greens, blacks, or whites, but you will have to pay a higher price for the coated tiles. However, if you want the colors available for metal roofing, you can choose metal tiles with the same look as Spanish clay tiles.

Standing Seam Metal Roofing – Characteristics, Advantages, & Disadvantages



The use of metal as a roofing material has been around for centuries and has origins dating back to the 3rd century B.C. in Sri Lanka. The use of metal roofing (typically lead or copper) rose to prominence in the 17th century and eventually made its way to the United States in the early 1800s. Advancements over time added iron, **steel, aluminum,** and zinc as proper metal roof options. Today, various metal roof styles are used all over the country, as metal roofing is one of the best choices for residential, commercial, architectural, and structural properties.

Advantages of Metal Roofing

Longevity – Metal roofs can last decades, and most manufacturers promise a life span of 40+ years for most Galvalume and aluminum roofs. This is especially true if it's installed correctly and properly maintained over the years. On the other hand, some **metal materials**, such as copper and zinc, have even been known to last 100 or more years.

Lightweight – Metal roofing is a more lightweight material than most other roof types, but it's over five times lighter than a clay Spanish tile roof. For reference, a 24-gauge Galvalume (steel) roof

weighs anywhere from 1 to 1.5 pounds per square foot. Or, an .032 aluminum roof weighs less than .5 pounds per square foot.

Durability – When compared to different materials, such as wood, clay, plastic, or glass, metal stands out as the strongest and most resistant to puncturing, breaking apart, and degrading. This comes in handy in several ways, especially if the roof is subject to:

Strong winds – Tornadoes, hurricanes, dust storms, etc.

Falling debris – Sticks, branches, leaves, etc.

Rain and wind-driven rain

Snow, ice, and hail

Mold and mildew

Rodents and other pests

Low slope options – Metal roofing is less strict regarding minimum slope requirements, but still depends on what type of profile is used. For example, snap-lock systems should only be installed on roof pitches of 3/12 and above, unless otherwise approved by the manufacturer. On the other hand, mechanically seamed double-lock metal roof systems are suitable for low-slope applications:

2-inch double lock profile: Often can be installed down to a .5/12 pitch with in-seam sealant (based on geography).

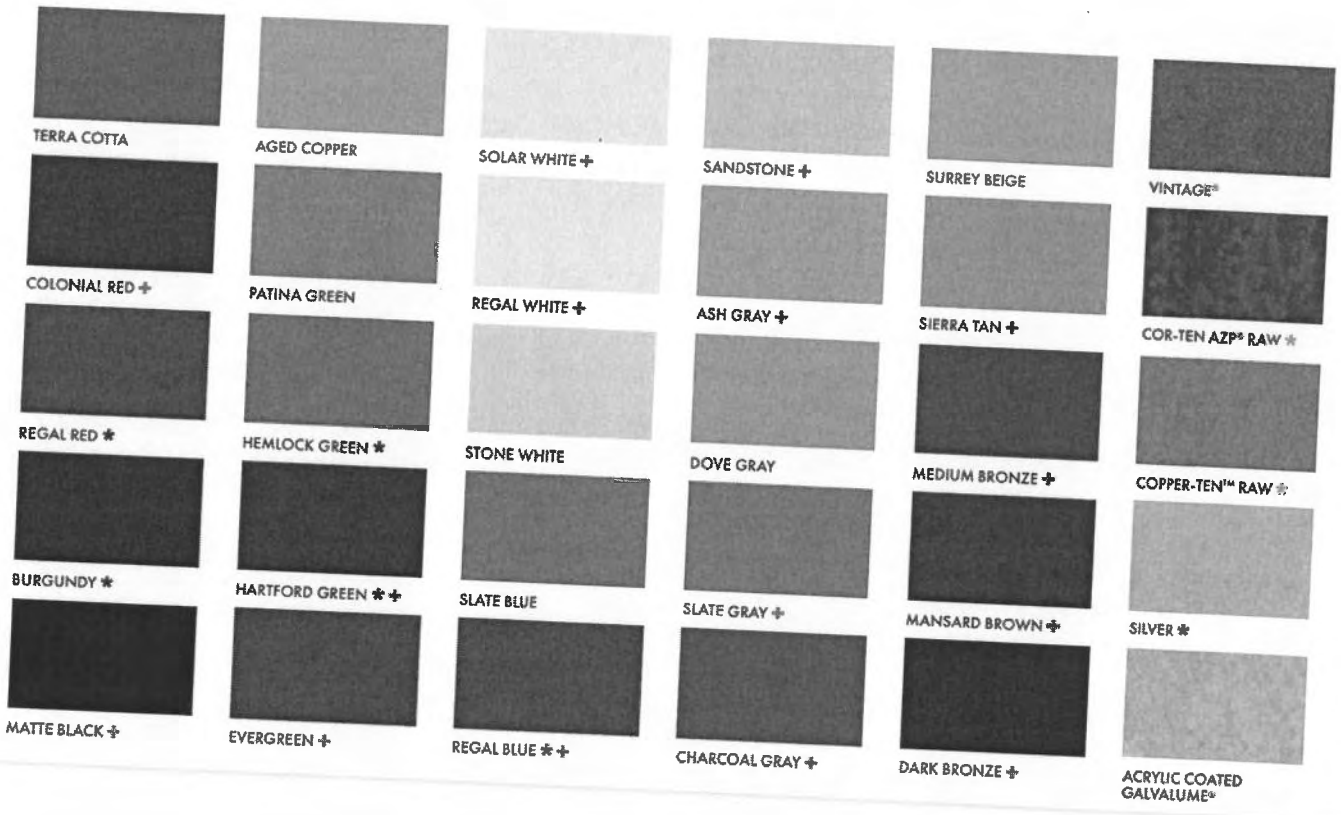
1.5-inch double lock profile: Often can be installed down to a 1/12 pitch with in-seam sealant (based on geography).

Highly recyclable – Metal roofing is 100% recyclable, so any unused/old panels, tear-off metal, and leftover scraps can be recycled for use in future products. On top of that, some coils and sheets used to make metal roofing panels may already contain previously recycled metals. For reference, metal roofing materials can either be **pre-consumer or post-consumer recycled content**:

Pre-consumer recycled materials – Scrap metal content produced during the manufacturing stage that has been recycled for future use.

Post-consumer recycled materials – Excess materials that have already been used by a consumer at one point in time and have been recycled for reuse.

Low maintenance– Compared to other roof types, the required maintenance for a metal roof is generally minimal, especially if the roof was correctly installed. That said, performing maintenance on a metal roof shouldn't be overlooked, as it could make or break a system if a problem exists without your knowledge. For a metal roof, cleaning and surface-level maintenance should be performed about every 18 months, and in-depth structural maintenance about once every two years (usually performed by a trained professional).



Unlimited color choices – Since metal roofing sheets and coils are coated in paint systems from reputable manufacturers, such as Sherwin-Williams, metal roofs can come in any color. If you're looking for a neutral earth tone, a vivid or bright color, or even a textured/metallic finish, manufacturers can custom order any color (for an added cost). Plus, the paint systems used in metal

roofing are tested in real outdoor environments to ensure they will last for decades, which is why many metal roofs are supported with paint warranties.

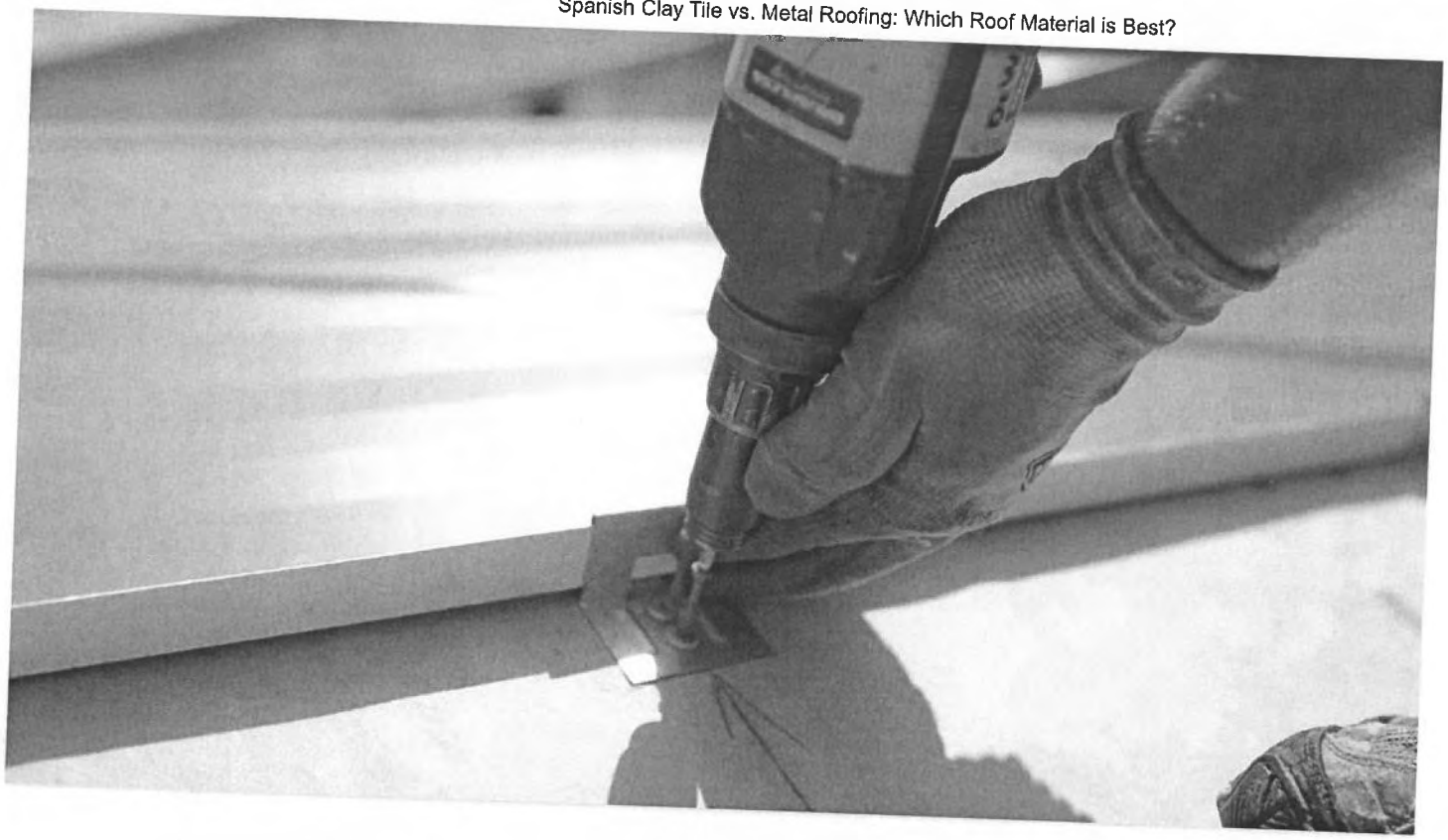
Cool roofing energy savings – The **availability of cool metal roofing**, defined as painted or coated metal products that reflect the sun's energy to dissipate heat, helps reduce the heat transferred into a building or home. This can result in total cooling cost energy savings ranging from 7% to 15%, according to the Green Building Alliance.

High fire resistance – Metal roofing is typically Class A fire-rated and noncombustible, making it the most resistant to catching fire. This is important in regions prone to wildfires because if hot ashes/embers fall onto the surface of a metal roof, it has the highest potential of NOT catching fire.

Disadvantages of Metal Roofing

Mid to high cost, but cheaper than Spanish tile – Much like Spanish tile, metal roofing is not considered a "budget" roof material. The **price of a metal roof** fluctuates depending on where you live, the profile you choose, the color, and a whole other set of considerations. That being said, on average, the cost of a standing seam metal roof system ranges from about $7.00 to $15.00 per square foot. So while the cost of a metal roof is more expensive than a shingle roof, a standing seam metal roofing is actually cheaper than a Spanish clay tile roof.

Skilled installers required – Experienced, qualified, and knowledgeable metal roof installers are a critical component of ensuring a metal roof will perform to its high standards. However, since metal roofing requires more refined skills and attention to detail, there are significantly fewer installers capable of correctly installing metal roofing. That's why it's essential to do your research and due diligence to find the best metal roof contractor for you.



Restrictions within HOAs & municipalities – There are communities, Home Owners Associations (HOAs), and historical districts that don't allow metal roofing to be installed on properties within its jurisdiction. In places where it's banned, metal roofing is thought of as looking too "industrial" or goes against the neighborhood's general look.

Oil canning – Oil canning is an inherent characteristic of light-gauge, cold-rolled flat metal products and is described as the perceived waviness in the broad, flat areas of metal panels. While oil canning is only an aesthetic issue and will not affect the integrity of the roof system, some home and property owners see it as unsightly. Luckily, there are **methods to reduce the likelihood that oil canning** will occur.

What to Consider Before Buying Spanish Tile vs. Metal Roofing

Budget

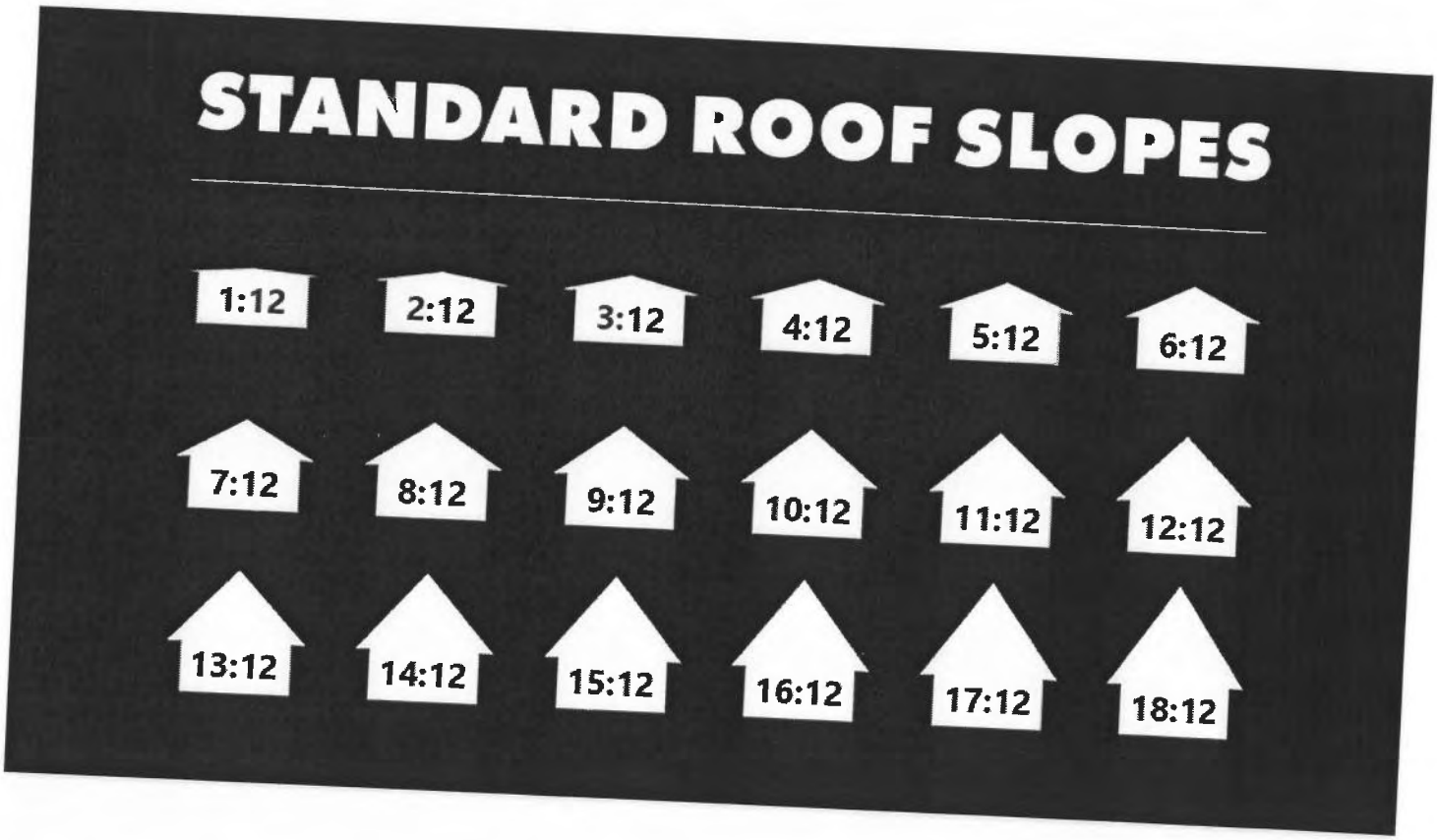
Both metal roofing and Spanish clay tiles are premium roofing materials. Even so, there's a price difference, as standing seam metal roofing will be less expensive. You might want to stick with a metal roof if you have a limited budget. But if you're in a situation where you can splurge on a more expensive roof, Spanish tile might be right.

Location & Environment

Spanish tile has distinct locations around the country where it is more prevalent due to the architectural theme of the region. For example, you won't find many Spanish tile roofs in New York or Colorado. But if you go to California or Florida, you will see Spanish tiles everywhere. On the other hand, metal roofing is common in most parts of the U.S., especially in mountainous and coastal environments.

Metal and Spanish tile roofs perform well in **threatening weather environments**, as both often come engineered with passing uplift and water penetration testing standards. If you have questions about specific testing requirements for your location, contact the product manufacturer for assistance.

Your Building/Home Properties



Slope – Spanish tile and metal roofing are not suitable for flat roofs, but there are more strict slope requirements for Spanish clay tile. If your roof slope is 3/12, nearly any type/profile of metal roof can be installed. You can also install a Spanish tile roof on a 3/12, but it requires two layers of underlayment, which will drive up the cost.

Support structure – Spanish clay tile will weigh down your building's frame and support structure because it's nearly 6x to 10x heavier than metal roofing. Knowing what your walls and framing can withstand is imperative to know before you buy.

Heat transfer – In warmer climates, heat transfer is always a concern. Luckily, metal roofing (cool metal roofing, specifically) and Spanish tiles have properties that help reduce the amount of heat transferred into the building.

HOA & municipalities – If you live in a neighborhood where you have an HOA or another municipal group, you should verify that the roof material that you choose is allowed.

Style

When deciding between metal roofing and Spanish tile, it's helpful to know the style you're going for. These two materials have very different looks; metal roofing tends to be a little more modern and sleek, whereas Spanish tile is more traditional and rustic. Additionally, metal roofing comes in more color options because it's painted, which gives you more range to **choose a roof color** that fits what you envision.

Final Thoughts on Metal Roofing vs. Spanish Tile

There are a lot of factors to consider when choosing between metal roofing and Spanish clay tiles.

Luckily, both materials make great roof options. And, if you've read through the advantages, disadvantages, and personal buying considerations outlined above, you'll be more equipped to make the right choice.

As a starting point, ask yourself these questions:

How much money am I comfortable spending on a roof?

Are there skilled and qualified contractors who install these materials in my location?

What roof material is popular on other buildings or homes around me?

What colors will look good on my roof? What colors do I personally like?

Does my HOA restrict different roofing types?

Will my building structure support a heavier roofing system?

With over 20 years of manufacturing metal roofing products, Sheffield Metals knows it's not always an easy decision to make on your own. Whether you're leaning towards buying a standing seam metal roof, Spanish tile roof, shingle roof, or otherwise, we're here to help make sure you feel confident in choosing the roof that best fits your needs.

To learn more or to ask about selecting a new roof, **contact us today to speak with one of our experienced metal roofing specialists.**

ABOUT SHEFFIELD METALS

Sheffield Metals is a leader in the distribution of coated and bare metal products, as well as engineered standing seam metal roof (SSMR) & wall systems. We specialize in providing painted Galvalume® and aluminum for the architecturally driven metal panel industry. Sheffield Metals has the ability to meet a wide array of needs with more than 50 colors continuously stocked. We can also match virtually any custom color to suit any project.

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What Can Cause a Tile Roof to Fail?

If you're a home or building owner looking to install roof tiles onto your structure, you're probably educated on why a tile roof is a good investment. However, it's good to also know what can cause tile roofs to fail prematurely.

A new tile roof can fail prematurely due to the age or integrity of your home structure, poor workmanship, or natural causes.

Tile roofs are popular for many homes due to their visual appeal, durability, and longevity. However, even a tile roof can suffer from wear and tear given the circumstances. From the quality of installation to storm damage, there are several reasons why tile roofs may fail.

By understanding these reasons, homeowners can take the necessary steps to protect their tile roofs and ensure there are no major tile roof problems to face in the future.

How the Age of Your Home Can Impact Tile Roofs

The average lifespan of a tile roof can range from 50 to 100 years or more, but the age of a home can play a significant role in the overall health of a tile roof, and it's

important for homeowners to be aware of how the age of their home can impact their roofing system.

The Degradation of Roofing Materials

As homes age, the roofing materials and systems may degrade, which can impact the performance of tile roofs. Over time, the roofs deck or framing system may weaken, causing it to collapse. Additionally, the roof's flashing system may deteriorate, leading to leaks.

The Importance of Regular Inspections

When it comes to tile roofs, it's important to have a professional roofer inspect your roof regularly to ensure its longevity and performance. This will help you identify and address any issues before they become major problems.

The Suitability of Older Homes for Tile Roofs

It's also important to consider the age of your home when choosing a tile roof. If your home is older, it may not be able to support the weight of a tile roof without significant reinforcement. In this case, asphalt shingles or metal are better options.

A professional roofing contractor can advise you on the best course of action to take, depending on the age of your home.

Poor Workmanship / Lack of Experience

One of the most common consequences of poor workmanship on a tile roof is tiles that are not securely fastened. Improperly fastened tiles can shift or become dislodged during high winds, leaving the roof vulnerable to water damage and leaks.

Improper Flashing Techniques

Another critical aspect of tile roof installation is the flashing, which is the process of reinforcing weak points of the roof and roof to wall terminations to prevent water from making its way into your home.

If the flashing is not installed correctly, water can infiltrate your home, causing damage to the interior. Leaks on tiles roofs can be difficult to detect until significant damage has already been done.

Incorrect Tile Selection and Installation

In addition to proper flashing techniques, the selection and installation of roof tiles is also critical. Roof tiles come in a variety of materials and styles, each with unique characteristics and performance requirements. If the wrong type of tile is used or if the tiles are installed incorrectly, the roof can be vulnerable to damage from wind, rain, and other weather conditions.

Improper Roof Underlayment

Another aspect of tile roof installation that is often overlooked is the roof underlayment. The underlayment acts as a barrier between the roof deck and the tiles, protecting your home from water damage. If the underlayment is not installed correctly, water can penetrate the roof, causing leaks and water damage to the interior of your home.

Quality of Roof Tile & Accessories Used

The quality of roof tiles and accessories used is critical to the longevity of a tile roof. Here are some of the ways that poor-quality roof tiles and accessories can cause a tile roof to fail prematurely:

Poor Quality Roof Tiles

Poor quality roof tiles are more likely to crack, break, or become damaged over time. This can lead to leaks and other problems that can weaken the structure of the roof and cause it to fail prematurely. A tile roof repair may cause more damage as roofing contractors will

Flashing and Accessories Failure

Low-quality flashing installed at the roof edge or wall terminations can result in your tile roof allowing water to infiltrate your home and cause other damages to the structure. Poor quality underlayment may shift or deteriorate prematurely.

Weather Resistance

Quality roof tiles and accessories should be designed to withstand extreme weather conditions, such as heavy rain, strong winds, and UV radiation. If the roof tiles or accessories are of low quality and not designed to withstand these conditions, they are more likely to become damaged, which can result in leaks and other problems.

Poor Manufacturing Process

If the manufacturing process for roof tiles and accessories is not rigorous, with quality control measures in place, there is a higher risk of defects, such as cracks, which can lead to failure over time.

What Makes a High-Quality Roofing Tile?

It's important to note that not all roof tiles are created equal. It's essential to choose tiles that are manufactured to industry standards and made from premium materials to ensure that they perform well over the long term and provide the desired level of quality and durability.

- Clay roof tiles are naturally strong and durable, and high-quality clay tiles are resistant to weathering and UV damage, ensuring long-lasting performance.
- Concrete roof tiles are known for their strength and durability, and high-quality concrete tiles are designed to withstand harsh weather conditions, including heavy rain and high winds.

Foot Traffic on Tile Roofs

One often overlooked factor is foot traffic on the roof. An excessive amount of foot traffic on a tile roof can lead to shifting or cracked tiles.

Cracked Tiles

Walking on a roof tiles can cause the tiles to crack or chip, which can weaken the structure of the roof and create opportunities for water to penetrate and cause damage. The chips and cracks can also create weak points in the roof, making it more susceptible to damage from extreme weather conditions.

Shifting Tiles

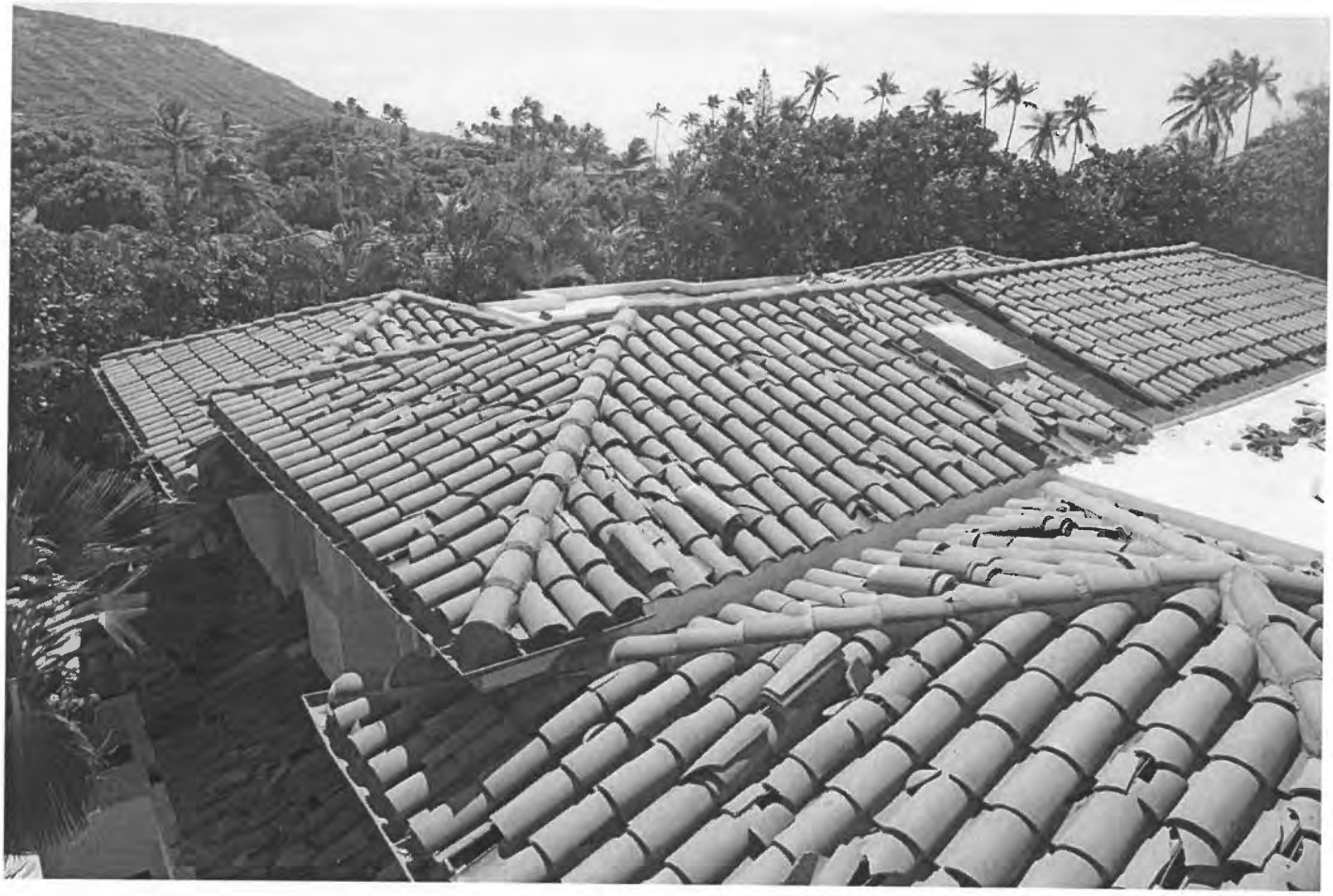
Foot traffic can cause roofing tiles to become loose or dislodged, which can result in leaks and other problems. This can happen because the movement and pressure from walking on the tiles can cause them to shift or become detached from the roofs decking.

Damaged Underlayment

The underlayment is a critical component of tile roofs, as it provides an extra layer of protection between the roof deck and the tiles. Foot traffic can cause the underlayment to become damaged or punctured, which can result in water infiltration and other problems. This can weaken the structure of the roof and cause it to fail prematurely.

Increased Stress on the Roof Structure

Foot traffic can put extra stress on the roof structure, which can weaken it over time and lead to failure. This is especially true if the roof structure is on the older side and not well-maintained. The stress can cause the structure of the roof to become weakened or even damaged, leading to leaks and other problems.



It's important to minimize foot traffic on a tile roof and to avoid walking on the roof altogether whenever possible. If you need to access the roof for maintenance or repair purposes, it's best to use a ladder or scaffolding that distributes the weight evenly and minimizes the impact on the roof.

Roof Tiles Exposed to Extreme Weather Conditions

Tile roofs can typically withstand the elements well, but exposure to extreme weather conditions like heavy rain, wind, hail, and hurricanes can cause damage that can lead to broken tiles and a need for a new roof.

Severe weather conditions can put significant stress on a tile roof and cause it to fail prematurely if it's not properly installed and maintained. Some ways that severe weather conditions can cause a tile roof to fail include:

1. High Winds: High winds can cause tiles to become dislodged or damaged, resulting in leaks and other problems. High winds can also put extra stress on the roof structure, which can cause it to weaken and fail over time.
2. Hail: Hail can cause significant damage to a tile roof, leading to cracks, chips, and other problems. The tiles may need to be replaced, and the underlayment may need to be repaired or replaced, to prevent water infiltration and other problems.
3. Heavy Rain: Heavy rain can cause water to penetrate a tile roof, causing leaks and other problems. A tile roof needs to be installed correctly and with proper workmanship to ensure that it is water-tight and can withstand heavy rain.
4. Extreme Heat: Extreme heat can cause the tiles to expand and contract, which can cause them to become dislodged or damaged. The tiles may also become brittle and break, leading to leaks and other problems.
5. Freezing Temperatures: Freezing temperatures can cause the tiles to become brittle and crack, leading to leaks and other problems. In addition, snow and ice buildup on the roof can put extra stress on the roof structure, which can cause it to weaken and fail over time.

ROOFING

Comments

ATTACHMENT 8

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TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT

MEETING DATE: 10/23/2024

ITEM NO: 5

DATE:	October 18, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 52 Ashler Avenue**. APN 410-14-048. Minor Residential Development Application MR-24-009. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Property Owner: Joseph Ervin. Applicant: Ramin Zohoor. Project Planner: Maria Chavarin.

BACKGROUND:

On July 24, 2024, the Los Gatos Historic Preservation Committee considered the proposal and continued the item with the following direction to the applicant:

- Work with Town staff to facilitate review of the project by the Town's Consulting Architect;
- Revise the massing of the proposed addition to relocate a portion or all of the addition to the rear of the residence to incorporate articulation on the second-story front elevation;
- Revise the windows on the proposed addition to be symmetrical and consistent with the existing residence and Residential Design Guidelines;
- Provide the existing and proposed elevations on the same sheet to allow for easier review of the plans; and
- Provide streetscape massing studies along San Benito and Ashler Avenues.

DISCUSSION:

The Town's Consulting Architect reviewed the proposed residence on September 6, 2024 (Attachment 8). In the report, the Consulting Architect noted that the existing residence is located in an older established neighborhood of traditional style homes with a mix of one- and two-story structures. The Consulting Architect identified three issues and concerns and provided recommendations for changes to the original design to increase compatibility with the Residential Design Guidelines and the immediate neighborhood. The applicant's response to these recommendations is summarized in Attachment 9.

PREPARED BY: Maria Chavarin
Assistant Planner

DISCUSSION (continued):

The applicant also submitted a letter summarizing the revisions made in response to the direction provided by the Committee (Attachment 10). The applicant provided revised plans (Attachment 11) showing symmetrical windows on the front elevation. The plans have been updated to provide existing and proposed elevations on the same sheets. A street massing study was incorporated in the set of plans in a photo format. The massing of the proposed addition was not relocated as directed by the Committee; however, the applicant's response to this direction is found in Attachment 10 of this report.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.
In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_X_ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 6).

CONCLUSION:

The applicant is requesting approval from the Committee for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process. The project would not return to the Committee for further consideration.

ATTACHMENTS:

Previously received with the July 19, 2024, Staff Report:

1. Anne Bloomfield Survey
2. Sanborn Fire Insurance Maps
3. Town Records
4. Development Plans
5. Property Pictures
6. Section 3.9, Residential Design Guidelines
7. Applicant's Submittal Packet

Received with this Staff Report:

8. Consulting Architect Review
9. Response Letter to the Recommendations of the Consulting Architect
10. Response Letter to the Direction of the Historic Preservation Committee
11. Development Plans

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September 6 2024

Ms. Maria Chavarin
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 52 Ashler Avenue

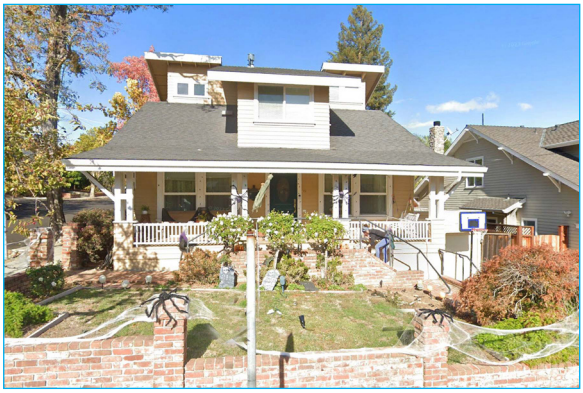
Dear Maria:
I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

NEIGHBORHOOD CONTEXT

The site is located in an older established neighborhood of traditional style homes with a mix on one and to story structures.. Photos of the site and existing home on the site are shown on the following page.

6729 FAIRFIELD DRIVE
SANTA ROSA, CA 95409

TEL: (707) 843-5747
CDGPLAN@PACBELL.NET



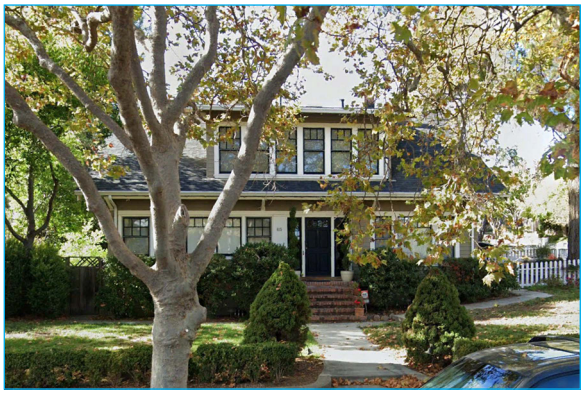
THE SITE: Ashler Avenue

THE SITE: San Benito Avenue

House to the immediate left on San Benito Avenue

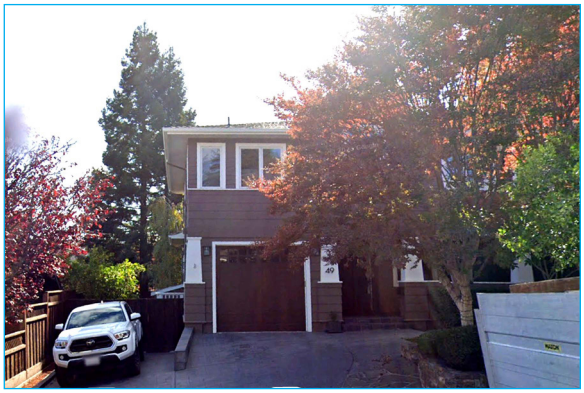
Site and house to the immediate right on Ashler Avenue

Nearby houses across San Benito Avenue



Nearby houses across San Benito Avenue

Nearby house across Ashler Avenue



Nearby house across Ashler Avenue

PROPOSED PROJECT

Proposed Front Elevation

Existing Front Elevation

Proposed Left Side Elevation

Existing Left Side Elevation

Proposed Right Side Elevation

Existing Right Side Elevation

Proposed Rear Elevation

Existing Rear Elevation

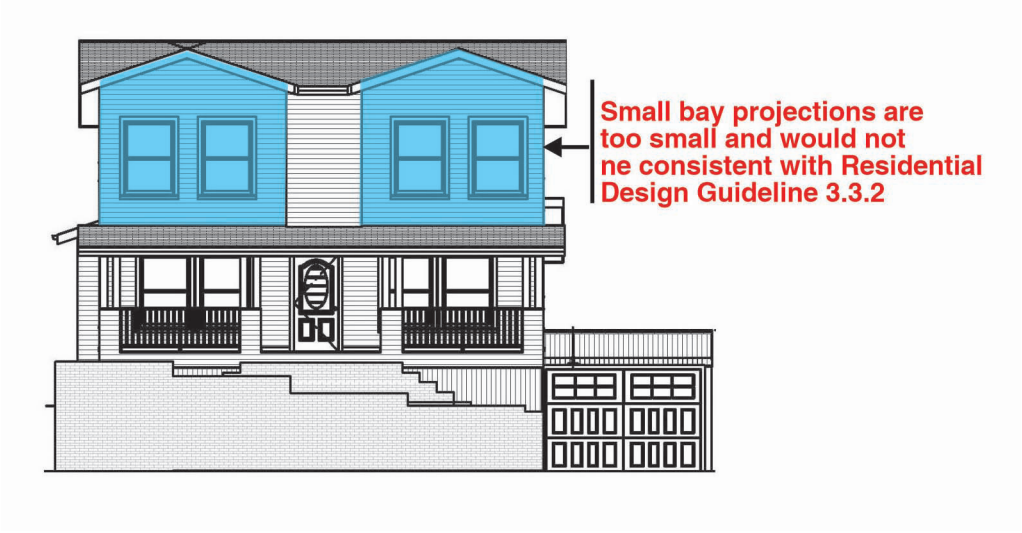
ISSUES AND CONCERNS

This is a corner property with facades facing both Ashler Avenue and San Benito Avenue. All existing facades are well articulated as is common for other nearby homes. The proposed addition would fill in the recesses on both front facade edges facing or highly visible from the street frontages. Significant isues include the following.

1. The small bay projections on the front facade upper floor would be too small in relation to other nearby home front facades and would not be consistent with Residential Design Guideline 3.3.2.

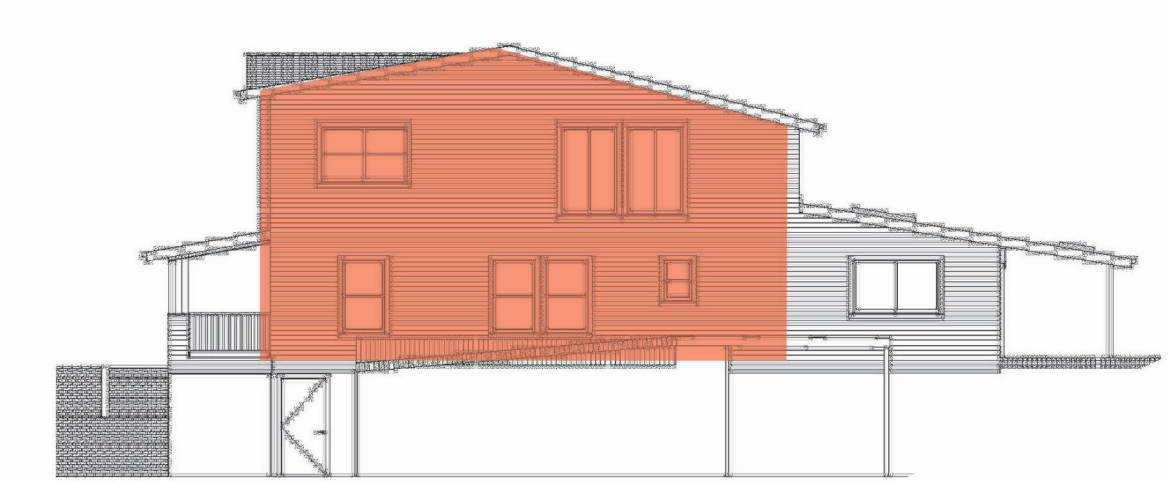
3.3.2 Height and bulk at front and side setbacks

Give special attention to adapting to the height and massing of adjacent homes. Avoid tall, unbroken front facades when other nearby homes have more articulated front facades with horizontal wall plane changes.
Houses that are elevated above the street shall be designed to be compatible in height and mass with the other houses on that side of the street, and should include design techniques to minimize the visual mass resulting from its raised elevation.

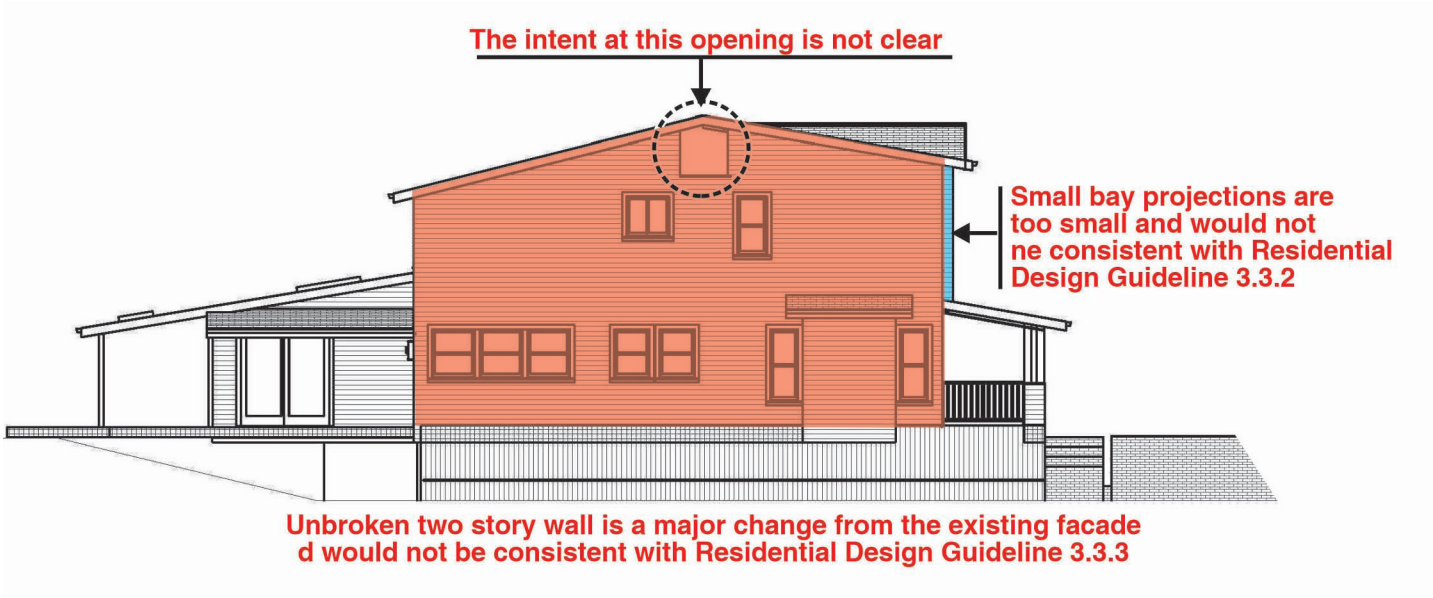


2. The resulting highly visible side walls would be two stories in height with very little articulation which would not be consistent with Residential Design Guideline 3.3.3.

3.3.3 Provide visual relief for two story walls



3. The opening shown at the top of the San Benito Avenue facade is unclear as to its purpose or design.

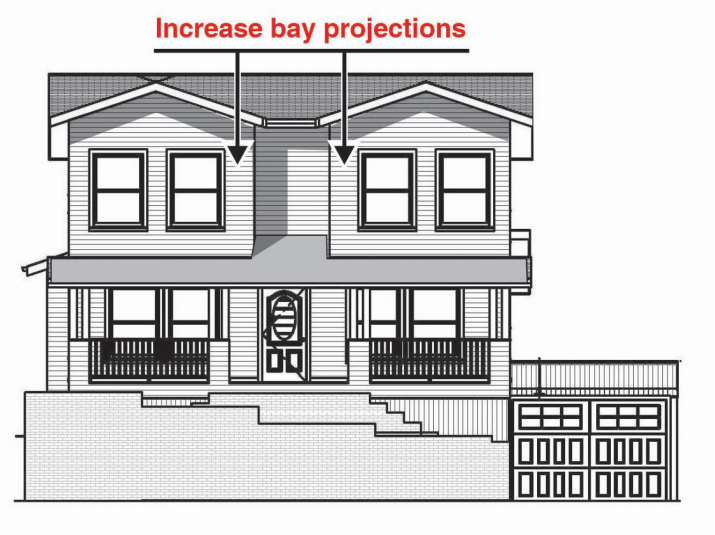


CURRENT SAN BENITO AVENUE FACADE ARTICULATION

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

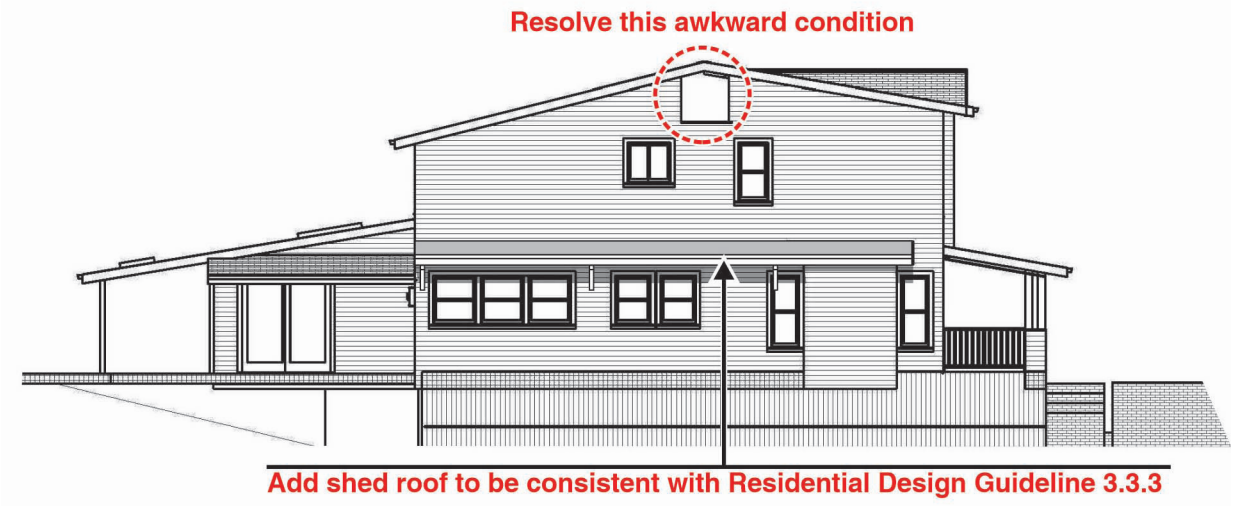
RECOMMENDATIONS

1. Increase the bay projections on the front facade.



2. Resolve the awkward opening on the left side facade.

4. Add a shed roof along both side facades to break up the two story wall. An example is shown on the photo of the immediately adjacent home on Ashler Avenue.



CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

Maria, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

Larry L. Cannon

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

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MR-24-009: 52 Ashler Ave

Town of Los Gatos Planning,

Response to the CDG design recommendations.

1. We have take the recommendation and accept. The depth of the baywindows have been increased by 3 ft – We have achieved this design by push the center in by few ft to achieve the increase in bay projections.
2. The awkward opening on the left side façade has been cleared.
3. Recommendation is accepted. We have added shed roof with arch support to comply with the residential design guideline 3.3.3.
4. Recommendation is accepted. We have added shed roof with arch support to comply with the residential design guideline 3.3.3.

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MR-24-009: 52 Ashler Ave

Town of Los Gatos Planning,

This letter is to confirm that I “Ramin Zohoor” the designer of the project has done a site visit and following is the information explaining the proposed changes/ design and materials for the new addition to the above project.

We have received the July 24th letter from the Los Gatos Historic Preservation committee. In review of the letter we have discussed our reasoning behind the changes that were done to the project planner Maria Chavarin before resubmittal of our plans.

1. We have worked with the city project planner staff Maria Chavarin in addressing the comments.
2. The reason for the addition on where it is located is not just for gaining an additional bedroom but mainly its to use the unhabitable attic space. Rear portion of the structure has already been maxed in terms of layout, and flow. There are two good size rooms which we are avoiding breaking and keep as much of the existing structure as possible. Front however gives us the easiest flow and the best layout possible. That being said we have made a signifant improvement to the front by making an adjustment to the roof design, front wall elevation and making the look match as much possible to the existing structures in the same street.
3. Windows on the front have been changed to match with the first floor.
4. Existing and proposed elevations are provided on the same sheet.
5. Per discussion with the planners we are making change and photos of the neighboring hosues were reviewed.

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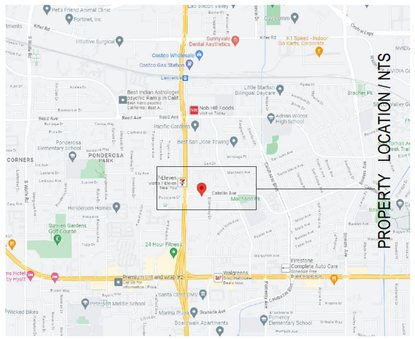
ASHLER AVE., RESIDENCE

LOS GATOS, CA 95030

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER	410 14 048
PROJECT TYPE	ADD T ON & REMODEL / ADU
PROJECT LOCAT ON	52 Ashler Ave Los Gatos CA 95030
ZON NG	R-1D
OCCUPANCY GROUP	R - 3 / U
CONSTRUCT ON TYPE	V - B
NUMBER OF FLOORS	2
F RE PROTECT ON	HOUSE NON SPR NKLERED /
BEDROOM NUMBER	MA N HOUSE 3 BDRM & 2 ADU
BATHROOM NUMBER	MA N HOUSE 3 BATHS & 2 ADU
GARAGE	ATTACHED 1 CARPORT
LOT S ZE	6050 SQ FT

CODE EDITIONS:

A CAL FORN A RES DENT AL	2022 ED T ON
B CAL FORN A BU LD NG	2022 ED T ON
C CAL FORN A GREEN BU LD NG	2022 ED T ON
D CAL FORN A MECHAN CAL	2022 ED T ON
E CAL FORN A PLUMB NG	2022 ED T ON
F CAL FORN A ELECTR CAL	2022 ED T ON
G CAL FORN A ENERGY	2022 ED T ON
H CAL FORN A F RE	2022 ED T ON
ANY OTHER APPL CABLE LOCAL AND STATE LAWS AND REGULAT ONS	2022 ED T ON
SANTA CLARA MUN C PAL CODE	2022 ED T ON

GENERAL NOTES:

ALL WORK DESCR BED N THE DRAW NGS SHALL BE VER F ED FOR D MENS ON GRADE EXTENT AND COMPAT B L TY TO THE EX ST NG S TE ANY D SCREPANC ES AND UNEXPECTED COND T ONS THAT AFFECT OR CHANGE THE WORK DESCR BED N THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DES GNER ATTENT ON MMED ATELY DO NOT PROCEED W TH THE WORK N THE AREA OF D SCREPANC ES UNT L ALL SUCH D SCREPANC ES ARE RESOLVED F THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECED NG AT H S OWN R SK

OM SS ONS FROM THE DRAW NGS AND SPEC F CAT ONS OR THE M S-DESCR PT ON OF THE WORK WH CH S MAN FESTLY NECESSARY TO CARRY OUT THE NTENT OF THE DRAW NGS AND SPEC F CAT ONS OR WH CH S CUSTOMAR LY REFORMED SHALL NOT REL EVE THE CONTRACTOR FROM PERFORM NG SUCH OM TTED OR M S-DESCR BED DETA LS OF THE WORK AS F FULLY AND COMPLETELY SET FORTH AND DESCR BED N THE DRAW NGS AND SPEC F CAT ONS

S TE COND T ONS ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VER FY D MENS ONS AND COND T ONS AT THE S TE PR OR TO COMMENCEMENT OF THE R WORK FA LURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONS B L TY OF EST MAT NG THE WORK F ANY VAR AT ON D SCREPANCY OR OM SS ON (BETWEEN THE NTENT OF THESE CONTRACT DOCUMENTS AND THE EX ST NG COND T ONS ARE FOUND THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT FY DES GNER N WR T NG AND OBTA N WR TTEN RESOLUT ON FROM DES GNER PR OR TO PROCEED NG W TH ANY RELATED WORK

PROJECT CONTACT:

OWNER	[redacted] 52 ASHLER AVE LOS GATOS CA 95030 [redacted]
DES GNER	RAM N ZOHOOR FUTURE V S ON REMODEL NG 495 E BROKAW ROAD SAN JOSE CA 95112 TEL 408-497-5071 L C 991840 EMA L ZOHOOR RAM N@GMA L COM
STRUCTURAL	BEAMABLE ENG NEER NG NC 20111 STEVENS CREEK BLVD SU TE 275 CUPERT NO CA 9514 BO ZHANG TEL 408-752-2777 EMA L NFO@BEAM-ABLE COM
BU LDER	FUTURE V S ON REMODEL NG 495 E BROKAW ROAD SAN JOSE CA 95112 TEL 408-497-5071 L C 991840 EMA L omer@futurevisionremodeling com
ENERGY	GM DES GN 122 WENDY CT UN ON C TY CA 94587 TELL 408-568-5644 EMA L gmartinez601@gmail com

DRAWING INDEX:

AREA CALCULATION:

EX ST NG COND T ON		
"E" L V NG SPACE	1402	SQF (1ST FLR)
"E" L V NG SPACE	813	SQF (2ND FLR)
"E" PORCH	210	SQF (1ST FLR)
"E" CARPORT GARAGE	395	SQF
PROPOSED SCOPE OF WORK TO BE DONE		
"N" ADD T ON	262SQF HAB TABLE SPACE (2ND FLR)	
CONVERT NG "N" ADU SPACE 776 SQ FT FROM EX ST NG HOUSE		
F NAL PROPOSED COND T ONS		
"N" L V NG SPACE 1402-(776 SQ FT ADU)	626	SQF (1ST FLR)
"N" L V NG SPACE	1075	SQF (2ND FLR)
"E" PORCH	210	SQF (1ST FLR)
"E" CARPORT GARAGE	395	SQF
"N" ADU	776	SQF
LOT AREA	6050	SQF

PROPOSED FLOOR AREA (NOT NCLUD NG 776 SQ FT OF ATTACHED ADU)

626 + 1075 + 395 = 2095 / 6050 = 35 %

SCOPE OF WC

- S NGLE FAM LY HOME SECOND
BEDROOM WALK N CLOSET AND N
- REMODEL EX ST NG SECOND FI
VAN TY AND TO LET SPACE
- EX ST NG MASTER BEDROOM ANC
- F RST FLOOR ONE BATHROOM RE
- CONVERT 776 SQ FT OF THE EX S
- ADU TO HAVE FULL K TCHEN SPA
PO NT TWO BEDROOMS AND TWO

- NO CHANGE TO EX ST NG GAS ME
- EX ST NG TANK WATER HEATER T
- NO CHANGE TO THE ELECTR CAL
- NO CHANGE TO ANY EXTER OR LA

PLUMBING NOTES: (IMPORTANT READ)

All existing non-compliant plumbing fixtures in the dwelling unit shall be replaced with water conserving fixtures as listed in the table below. Note the requirements on plans.

Fixture Type	Non-Compliant (Flow rate over)	Conserving Fixtures (Max flow rate)
Kitchen Faucet	2.2 Gal/min	1.8 Gal/min @ 60 psi
Other Faucets	2.2 Gal/min	1.2 Gal/min @ 60 psi
Shower*	2.5 Gal/min	1.8 Gal/min @ 80 psi
Water Closet	1.6 Gal/flush	1.28 Gal/flush

*Flow rates combined for all showerheads and/or other outlets controlled by a single valve. (CGBSC 4.303, California CIV 1101.4))

FUTURE VISION
REMODELING INC

GRADING and DEMO NOTES:

1 CONTACT PUBL C WORKS FOR DRA NAGE AND F NAL GRADE NSPECT ON WH CH NCLUDES DRA N L NES AND ROOF DRA NS/DOWN SPOUTS

2 ALL PUBL C MPROVEMENTS MUST BE COMPLETED PR OR TO OCCUPANCY

3 CONTRACTOR S RESPONS BLE FOR DUST CONTROL AND NSUR NG THE AREA ADJACENT TO THE WORK S LEFT N A CLEAN COND T ON

4 THE CONTRACTOR SHALL REV EW STD DETA L 6-4 ON TREE PROTECT ON PR OR TO ACCOMPL SH NG ANY WORK OR REMOV NG ANY TREES

5 UT L ZE BEST MANAGEMENT PRACT CES (BMP'S) AS REQU RED BY THE STATE WATER RESOURCES CONTROL BOARD FOR ANY ACT V TY WH CH D STURBS SO L

6 N/A

7 TO N T ATE RELEASE OF BONDS CONTACT THE PUBL C WORKS NSPECTOR FOR F NAL NSPECT ON

8 ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE D RECTED AWAY FROM BU LD NG FOUNDAT ONS AND D RECTED TO LANDSCAPE AREAS

9 PR OR TO BEG NN NG ANY WORK W TH N THE PUBL C R GHT OF WAY THE CONTRACTOR W LL BE RESPONS BLE FOR PULL NG AN ENCROACHMENT PERM T FROM THE PUBL C WORKS DEPARTMENT

10 PROV DE M N 5% GRADE SLOPE AWAY FROM FOUNDAT ON FOR A M N D STANCE OF 10 FEET MEASURE PERPEND CULAR TO THE FACE OF THE WALL W TH EXCEPT ON

a F BU LD NG S TE DOES NOT ALLOW 10 FEET OF SLOPE ND CATE THE NSTALLAT ON OF DRA NS OR SWALES TO ENSURE DRA NAGE AWAY FROM THE STRUCTURE
b MPERV OUS SURFACES W TH N 10 FEET OF THE BU LD NG FOUNDAT ON SHALL BE SLOPED A M N 2% AWAY FROM THE BU LD NG

11 (E) DRA NAGE SHALL REMA N THROUGHOUT CONSTRUCT ON

TREE PROTECTION NOTES:

1 A PLOT PLAN SHALL BE PREPARED DESCR B NG THE RELAT ONSH P OF PROPOSED GRAD NG AND UT L TY TRENCH NG TO THE TREES DES GNATED FOR PRESERVAT ON CONSTRUCT ON AND GRAD NG SHOULD NOT S GN F CANTLY RA SE OR LOWER THE GROUND LEVEL BENEATH TREE DR P L NES F THE GROUND LEVEL S PROPOSED FOR MOD F CAT ON BENEATH THE DR P L NE THE ARCH TECT/ARBOR ST SHALL ADDRESS AND M T GATE THE MPACT TO THE TREE(S)

2 ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGA NST DAMAGE DUR NG CONSTRUCT ON OPERAT ONS BY CONSTRUCT NG A FOUR-FOOT-H GH FENCE AROUND THE DR P L NE AND ARMOR AS NEEDED THE EXTENT OF FENC NG AND ARMOR NG SHALL BE DETERM NED BY THE LANDSCAPE ARCH TECT THE TREE PROTECT ON SHALL BE PLACED BEFORE ANY EXCAVAT ON OR GRAD NG S BEGUN AND SHALL BE MA NTA NED N REPA R FOR THE DURAT ON OF THE CONSTRUCT ON WORK

3 NO CONSTRUCT ON OPERAT ONS SHALL BE CARR ED ON W TH N THE DR P L NE AREA OF ANY TREE DES GNATED TO BE SAVED EXCEPT AS S AUTHOR ZED BY THE D RECTOR OF COMMUN TY DEVELOPMENT

4 F THE TRENCH NG S REQU RED TO PENETRATE THE PROTECT ON BARR ER FOR THE TREE THE SECT ON OF TRENCH N THE DR P L NE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTT NG OF ROOTS PR OR TO N T AT NG ANY TRENCH NG W TH N THE BARR ER APPROVAL BY STAFF W TH CONSULTAT ON OF AN ARBOR ST SHALL BE COMPLETED

5 TREES WH CH REQU RE ANY DEGREE OF F LL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGN ZED STANDARDS OF TREE PROTECT ON AND DES GN OF TREE WELLS

6 THE AREA UNDER THE DR P L NE OF THE TREE SHALL BE KEPT CLEAN NO CONSTRUCT ON MATER ALS NOR CHEM CAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE

7 F RES FOR ANY REASON SHALL NOT BE MADE W TH N F FTY FEET OF ANY TREE SELECTED TO REMA N AND SHALL BE L M TED N S ZE AND KEPT UNDER CONSTANT SURVE LLANCE

8 THE GENERAL CONTRACTOR SHALL USE A TREE SERV CE L CENSEE AS DEF NED BY CAL FORN A BUS NESS AND PROFESS ONAL CODE TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DUR NG THE LANDSCAPE ARCH TECT/ARBOR ST W TH APPROVAL OF STAFF

9 ANY DAMAGE TO EX ST NG TREE CROWNS OR ROOT SYSTEMS SHALL BE REPA RED MMED ATELY BY AN APPROVED TREE SURGEON

10 NO STORAGE OF CONSTRUCT ON MATER ALS OR PARK NG SHALL BE PERM TTED W TH N THE DR P L NE AREA OF ANY TREE DES GNATED TO BE SAVED

11 TREE PROTECT ON REGULAT ONS SHALL BE POSTED ON PROTECT VE FENC NG AROUND TREES TO BE PROTECTED

LEGEND:

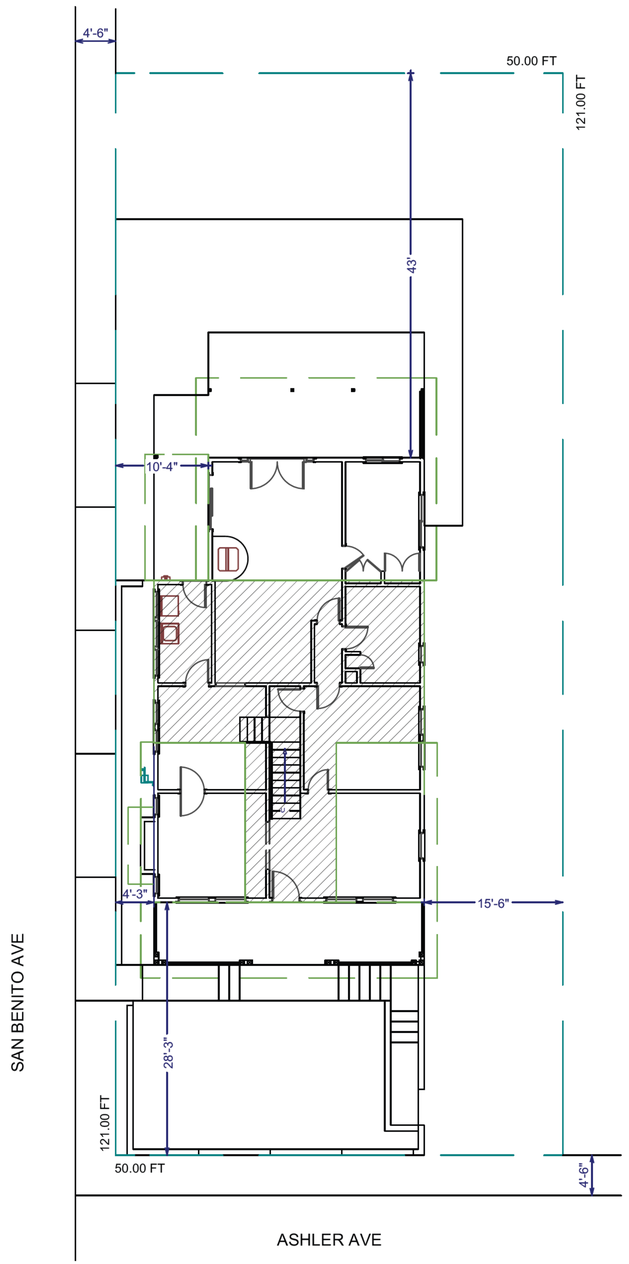
PROPERTY L NE

BLDG FOOT PR NT

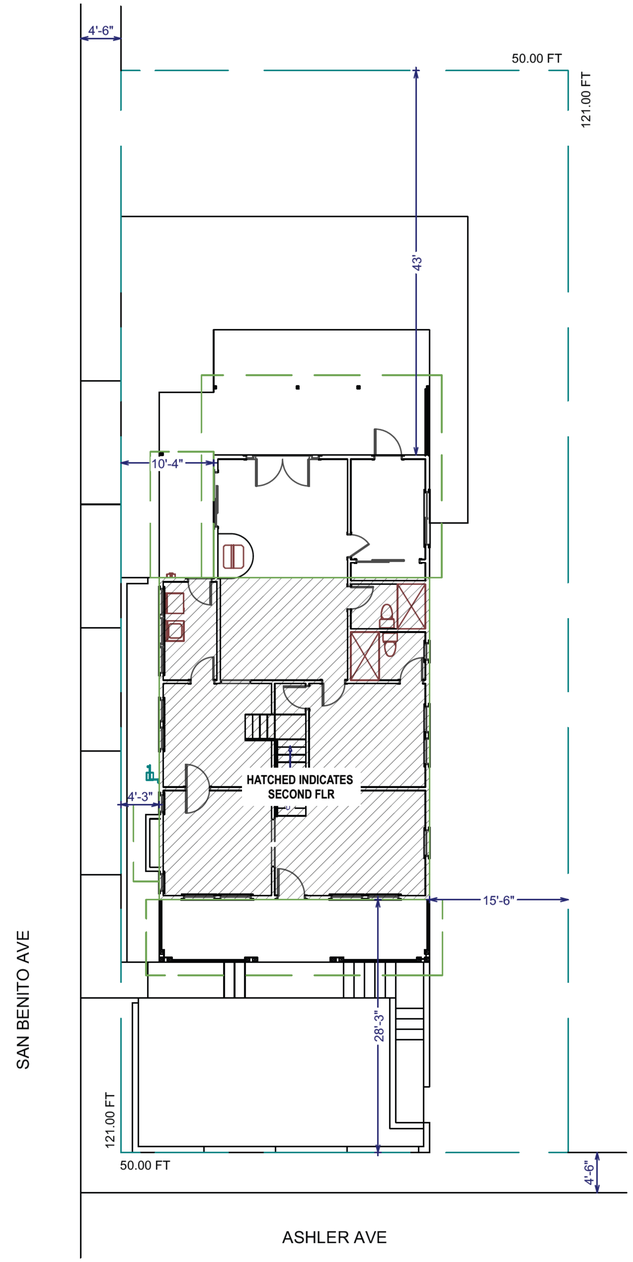
GRAPHIC SCALE : 1/8 INCH 1 FEE

0 2 4 6 8 10 20 30

NORTH



1 EXISTING SITE PLAN
SC 1/8" = 1' 0"



2 PROPOSED SITE PLAN
SC 1/8" = 1' 0"

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DR1	DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

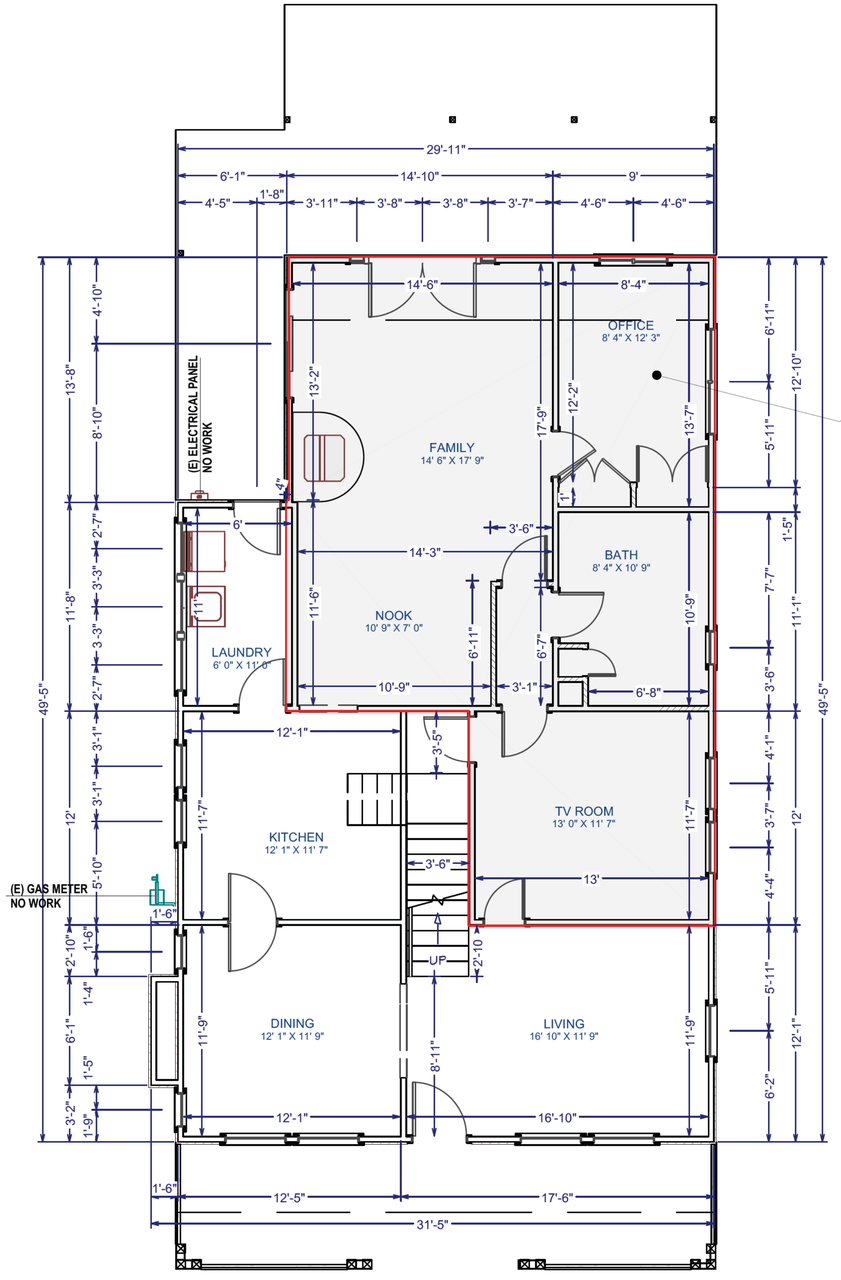
SITE PLAN CONDITIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

A-S1

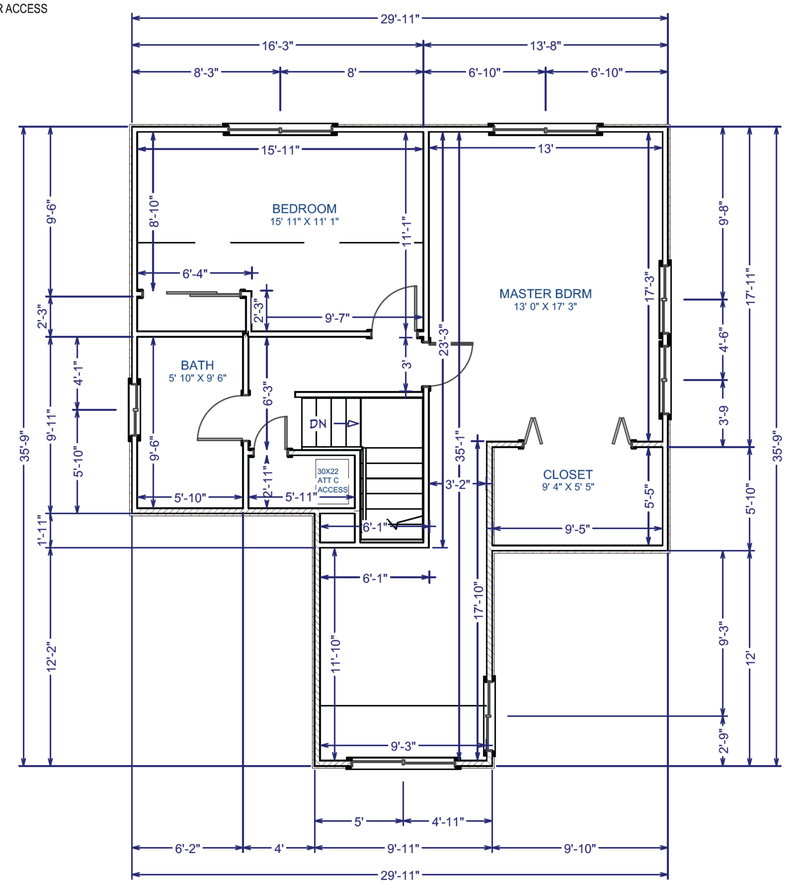
OWNERSHIP:



1 EXISTING FLOOR PLAN - 1ST FLR

SC 1/4" = 1' 0"

SOLID HATCH
776 SQ FT OF THE EX ST NG L V NG SPACE
CONVERTED NTO A NEW ATTACHED ADU SPACE
W TH EXTER OR DOOR ACCESS



2 EXISTING FLOOR PLAN - 2ND FLR

SC 1/4" = 1' 0"

LEGEND:

EX ST NG WALL TO STAY

EX ST NG WALL TO BE REMOVED

GRAPHIC SCALE : 1/4 INCH 1 FEE

0 1 2 3 4 5 10 15

NORTH

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DRT DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

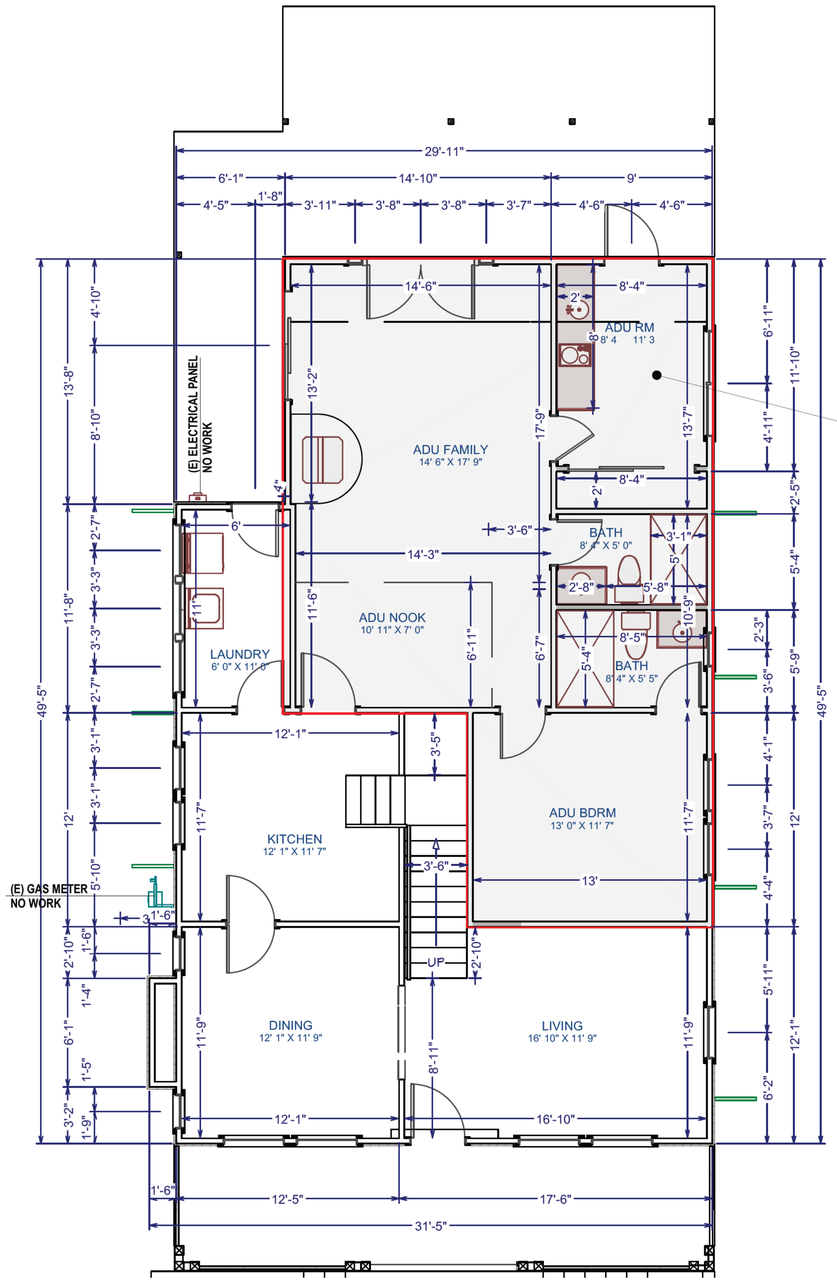
EXISTING MAIN HOUSE FLOOR PLAN

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

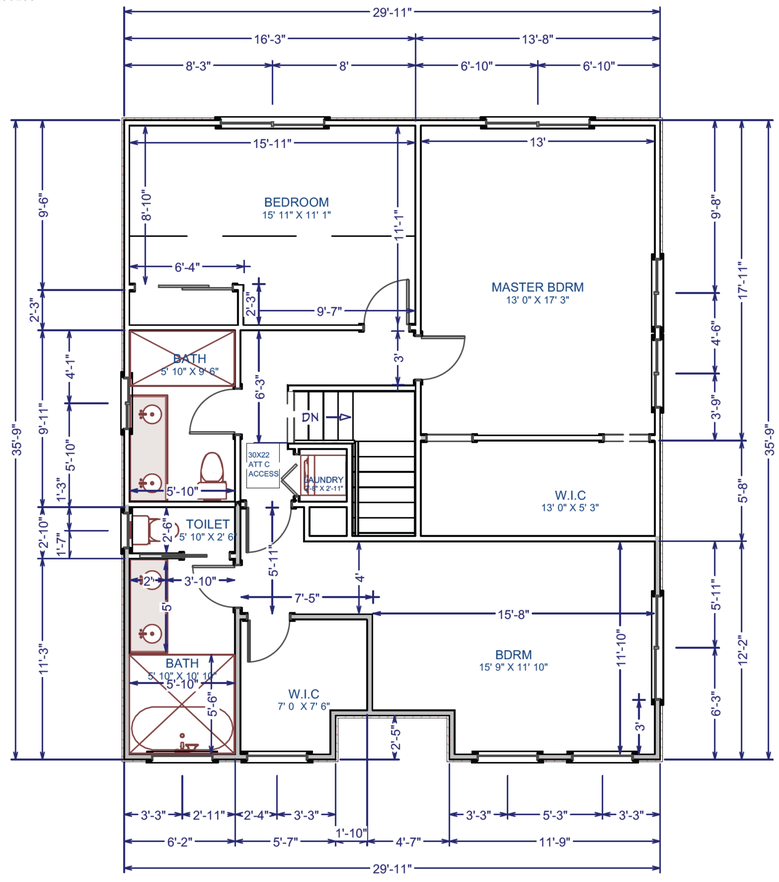
A-01

OWNERSHIP:



SOLID HATCH
776 SQ FT OF THE EX ST NG L V NG SPACE
CONVERTED NTO A NEW ATTACHED ADU SPACE
W TH EXTER OR DOOR ACCESS

1 PROPOSED FLOOR PLAN - 1ST FLR
SC 1/4" = 1' 0"



2 PROPOSED FLOOR PLAN - 2ND FLR
SC 1/4" = 1' 0"

LEGEND:

EX ST NG WALL TO STAY

NEW CONSTRUCT ON WALL

GRAPHIC SCALE : 1/4 INCH 1 FEE
0 2 3 4 10 15

NORTH

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:
DRT DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

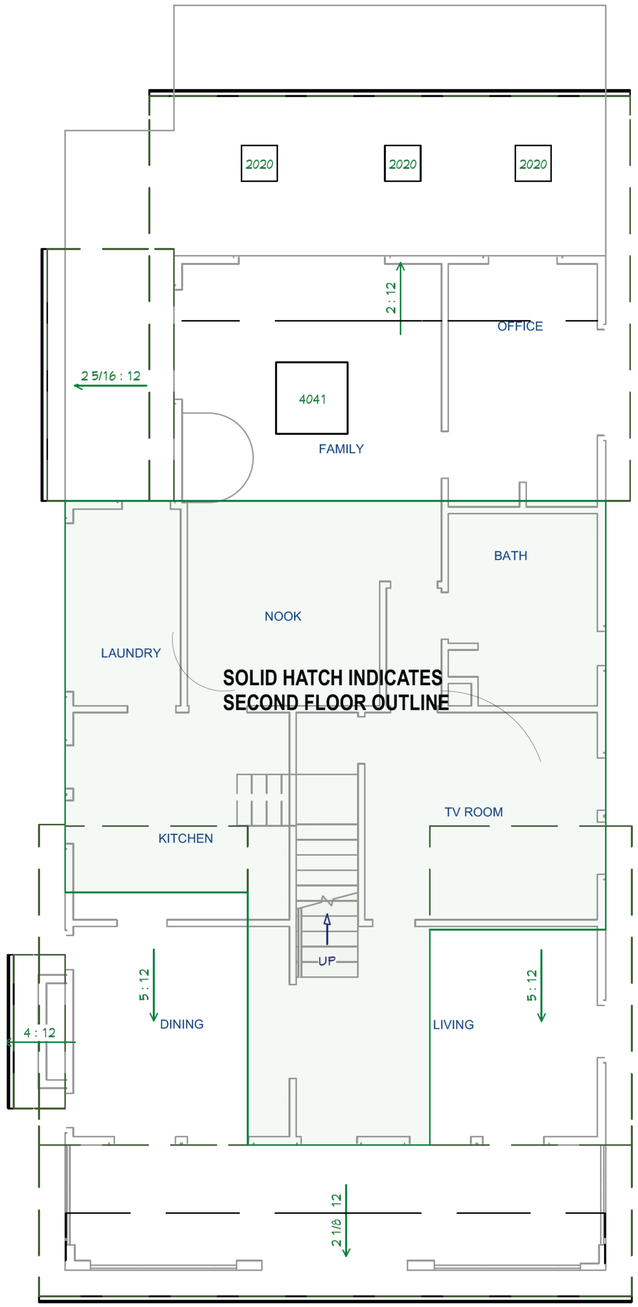
PROPOSED FLOOR PLAN CONDITIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

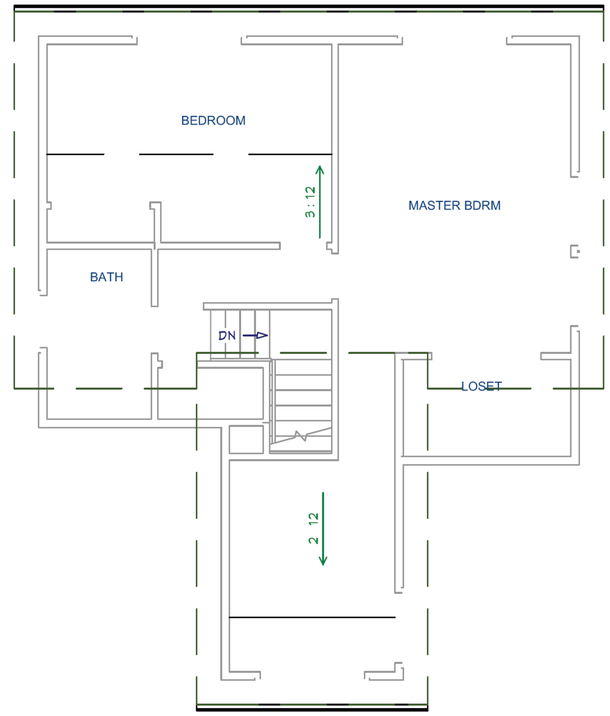
A-02

OWNERSHIP:



1 EXISTING ROOF PLAN - 1ST FLR

SC 1/4" = 1' 0"



2 EXISTING ROOF PLAN - 2ND FLR

SC 1/4" = 1' 0"

LEGEND:

WALLS

GRAPHIC SCALE : 1/4 INCH 1 FEE

0 1 2 3 4 5 10 15

NORTH

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DR1	DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

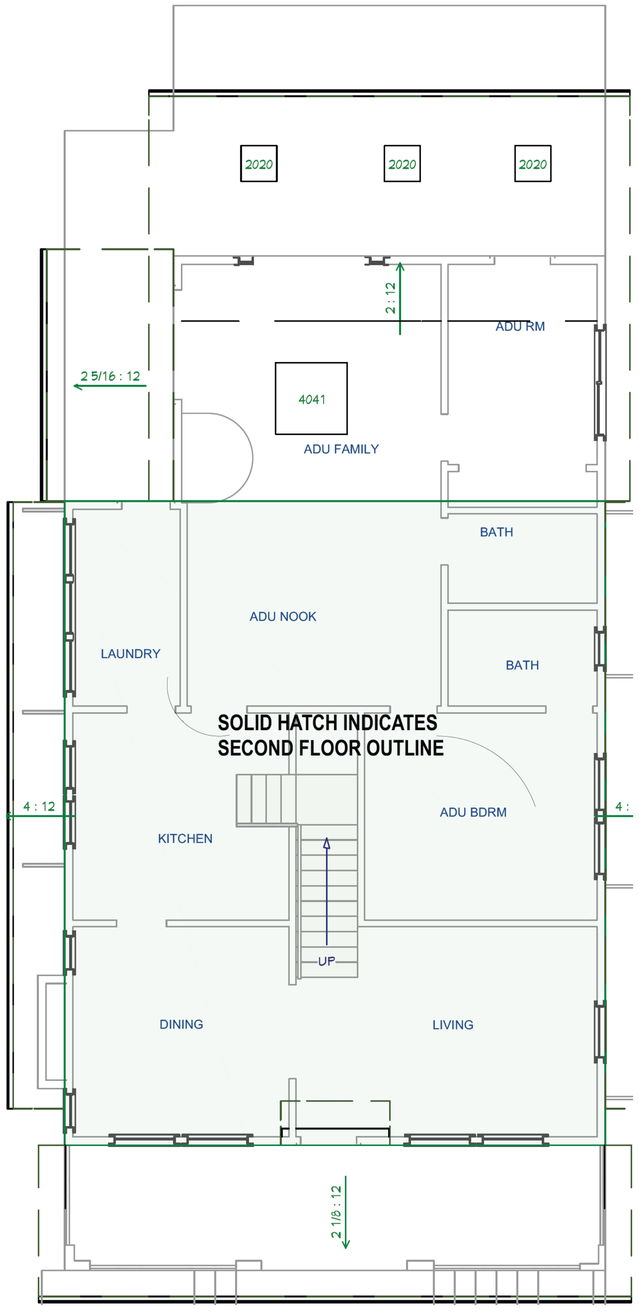
EXISTING ROOF PLAN CONDITIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

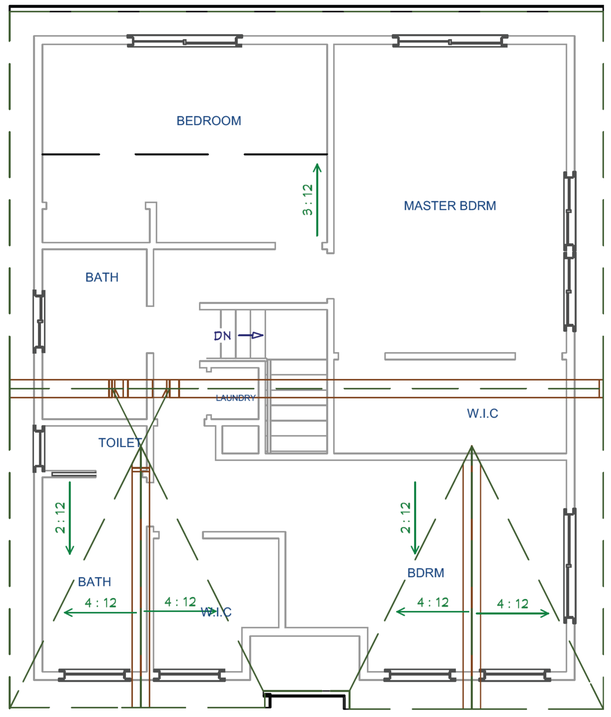
A-03

OWNERSHIP:



1 PROPOSED ROOF PLAN - 1ST FLR

SC 1/4" = 1' 0"



2 PROPOSED ROOF PLAN - 2ND FLR

SC 1/4" = 1' 0"

LEGEND:

WALLS

GRAPHIC SCALE : 1/4 INCH 1 FEE

0 2 3 4 10 15

NORTH

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DRT DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

PROPOSED ROOF PLAN CONDITIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

A-04

OWNERSHIP:

1 EXISTING FRONT ELEVATIONS

SC 1/4" = 1' 0"

2 EXISTING REAR ELEVATIONS

SC 1/4" = 1' 0"

1 PROPOSED FRONT ELEVATIONS

SC 1/4" = 1' 0"

2 EXISTING REAR ELEVATIONS (NO CHANGE)

SC 1/4" = 1' 0"

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DRT	DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

ELEVATIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

A-05

OWNERSHIP:

3 EXISTING RIGHT ELEVATIONS

SC 1/4 5" = 1' 0"

3 PROPOSED RIGHT ELEVATIONS

SC 1/4 5" = 1' 0"

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DR1	DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

ELEVATIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

A-06

OWNERSHIP:

4 EXISTING LEFT ELEVATIONS

SC 1/4 5" = 1' 0"

4 PROPOSED LEFT ELEVATIONS

SC 1/4 5" = 1' 0"

ADDITION and REMODELING FOR:

ASHLER AVE, Residence

52 ASHLER AVE,
LOS GATOS, CA 95030

REVISION TABLE:

DR1	DESIGN REVIEW RESPONSE SEP 27TH,2024

FUTURE VISION REMODELING INC

DES GNER
FUTURE V S ON REMODEL NG
495 E BROKAW ROAD
SAN JOSE CA 95112
TEL 408-497-5071
ZOHOOR RAM N@GMA L COM

SHEET TITLE:

ELEVATIONS

PROJECT ID	
DATE	MARCH 2024
SCALE	
DRAWN BY	RAM N ZOHOOR FUTURE V S ON

SHEET NUMBER:

A-07

OWNERSHIP:

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 10/23/2024

ITEM NO: 6

DATE: October 18, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Construction of Exterior Alterations (Window Replacement) to a Non-Contributing Multi-Family Residential Development in the Broadway Historic District on Property Zoned R-1D:LHP. **Located at 352 W. Main Street**. APN 510-45-033. Minor Development in a Historic District Application HS-24-054. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. PROPERTY OWNER: West Main Partners LLC. APPLICANT: Byron Brown. PROJECT PLANNER: Suray Nathan.

RECOMMENDATION:

Requesting approval for construction of exterior alterations (window replacement) to a non-contributing multi-family residential development in the Broadway Historic District on property zoned R-1D:LHP located at 352 W. Main Street.

PROPERTY DETAILS:

1. Date primary structure was built: 1953
2. Town of Los Gatos Historic Status Code: N/A
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, Broadway Historic District
5. If yes, is it a contributor? No
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The County Assessor indicates that the residence at 352 W. Main Street was constructed in 1953 and was not included in the Anne Bloomfield Survey. There are no exterior improvements in the Town record for the subject property. Because the property is located within the Broadway Historic District, the Committee is responsible for reviewing proposed exterior changes.

PREPARED BY: Suray Nathan
Assistant Planner

DISCUSSION:

The applicant is requesting approval to replace all 58 existing windows that vary in material (wood, steel or aluminum) with vinyl windows in a multi-unit rental complex containing four buildings (Attachment 4). All windows would be the same size, operation, location, and provide a consistent aesthetic (Attachments 2 and 3). The applicant indicates that the proposed vinyl windows would improve upon the existing windows' varying materials and establish a uniform look and continuity to the building. Additionally, the applicant states that the current windows have condensation issues and operational difficulties.

The Residential Design Guidelines provide the following recommendations related to window materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

- Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

4.8.2 Building Materials

- Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

4.8.4 Windows and Glass in doors

- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.
In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

___ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

CONCLUSION:

The applicant is requesting approval to replace 58 existing windows that vary in material (wood, steel or aluminum) with vinyl windows in a multi-unit rental complex containing four buildings. All windows would be the same size, operation, location, and provide a consistent aesthetic. Should the Committee find merit in the request, the project would be completed with a Building Permit. The project would not return to the Committee.

ATTACHMENTS:

1. Applicant Request and Letter of Justification
2. Development Plans
3. Photos
4. Window Specification

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BROTHERS
HOME IMPROVEMENT
WINDOWS & DOORS

October 03, 2024

Historic Preservation Committee
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Re: Retrofit windows at 346,348,350,352 W. Main St

To Whom It May Concern,

We would like to request to install white vinyl retrofit windows at the above mentioned addresses. There are 58 windows divided between the 4 buildings that are currently tenant occupied rentals. The existing windows vary in style from wood windows to steel and aluminum. Some of the windows have already been replaced with retrofits. We would like to ask to replace the windows to establish a uniform look and continuity to the buildings. The current windows have condensation issues and operational difficulty.

The windows we would like to use are Lindsay brand windows that will meet the fireland tempering as well as the latest U factor and Solar Heat Gain Coefficient requirements. These windows will help the tenants as they will increase the efficiency for each dwelling. We install using AAMA specifications. Attached you will find a sample of the proposed windows.
Thank you for your consideration.

Respectfully submitted

Byron Brown
408.439.0670
Sr. Regional Operations Manager
Brothers Home Improvement

Corporate Office
233 Technology Way #A5
Rocklin, CA 95765
(800) 672-3777
www.brotherswindows.com

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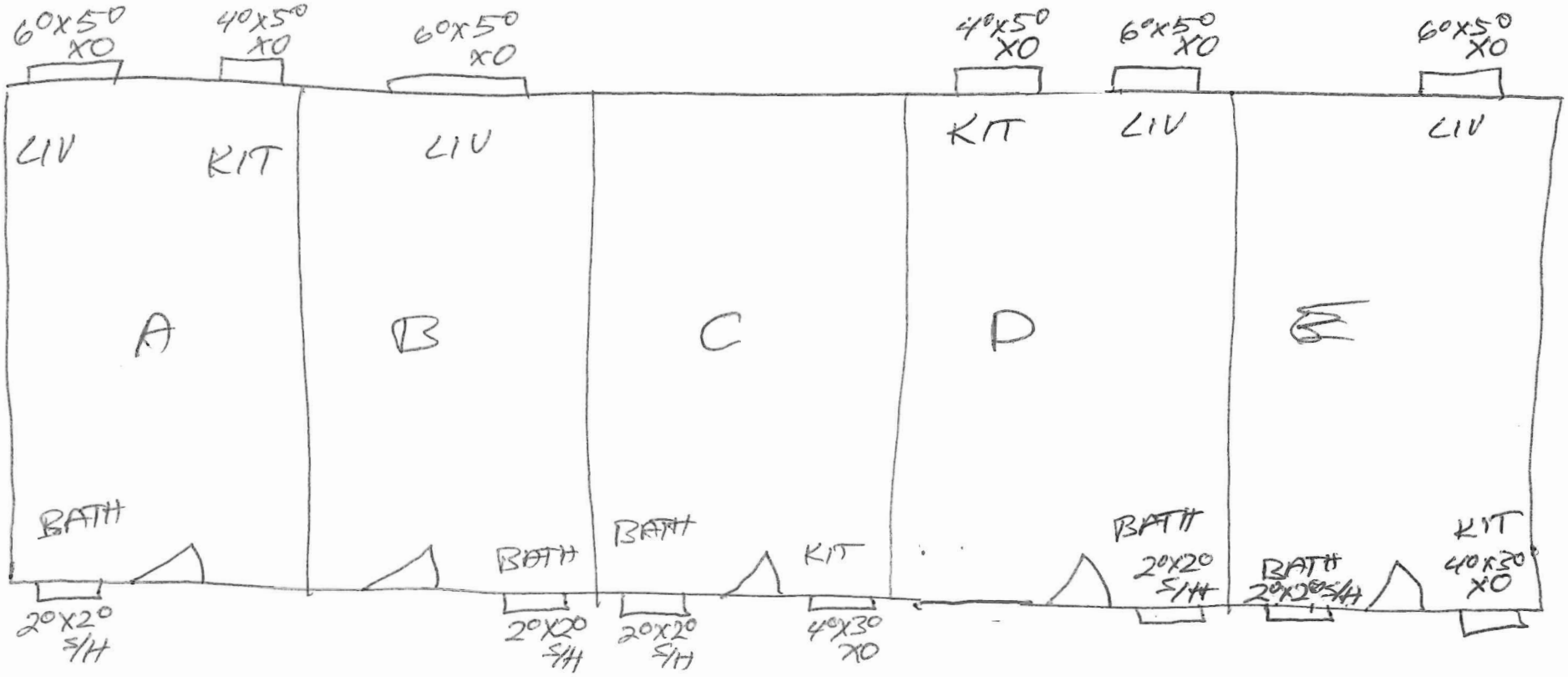
352 WEST MAIN UNIT A, B, C, D, E

REPLACEMENT OF 13 WINDOWS, SIZE FOR SIZE RETROFIT INSTALLATION
ALL WINDOWS TO HAVE FIRE TEMP



ATTACHMENT 2

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240

ATTACHMENT 3

348

350

352

310 BRUNNER REX A ● 0354-7290
311 MILLER GERALD D
312 KENNEY DENNIS
315 ANDEREGG RAYMOND F GENL CONTR
0354-7650
321 FARADLA WM S 0354-8723
325 FRIZZI ROSE MRS ● 0354-4676
5333 TOLMAN LEONARD D
339 VACANT
339A CUTTRISS GRAY H 0354-4886
---BAY VIEW AV INTERSECTS
346 RANCHO APARTMENTS 0EL4-7744
CAMPBELL MATTIE MRS 0354-7265

MAIN ST W--CONTD
348 SAYEN DANL N 0354-4861
350 JOHNSON LEE H 0354-2883
352 APARTMENTS
A THEOBOLD GEO
B BERTALDO DOMINIC
C MARX DAVID J
D LA FAVER GAYLORD R

20

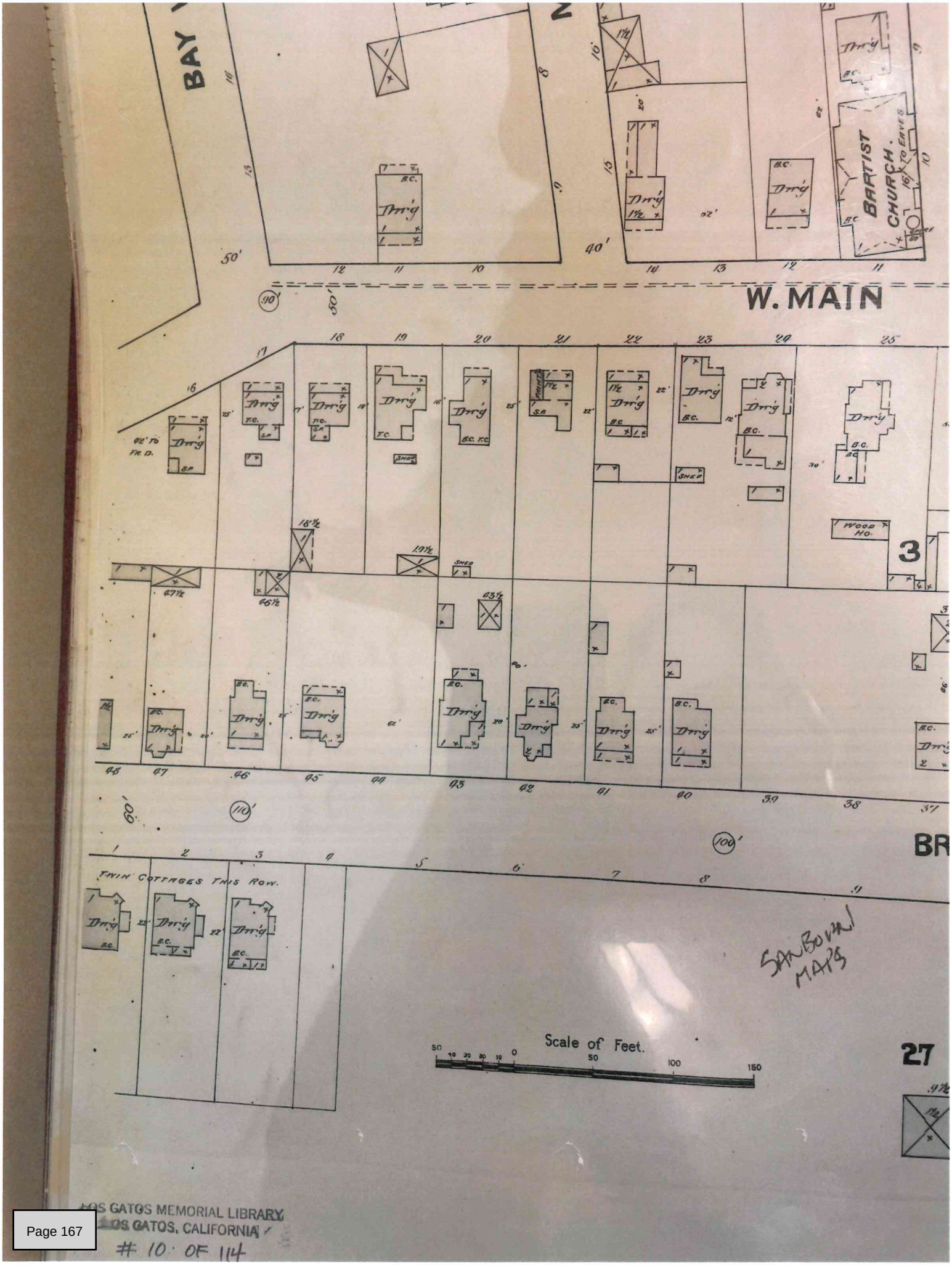
MANZANITA AV -FROM FT OF OAK KNOLL AV WEST, 1 SOUTH OF WADSWORTH AV

18 EWIN RAYMOND J •
28 WEIR STANLEY M • 0354-9632
41 HUMMEL CHARLES F 0354-2819
51 BROWN SUE B MRS • 0354-4366

6

MAPLE LA -FROM E MAIN SOUTH, 1 EAST OF LOS GATOS CREEK

16529 ADDISON
0356-
16542 MAC DOU
0356-
16543 EKLUND
16556 PETERS
0356-
16557 CAMERO
0356-
16570 HAUETE
16571 MILLER
0356-
16586 VACANT
16587 VACANT
16602 CRAW
16603 DAYTON
0356-
16614 KEESL
0356
16619 VACAN
16634 GAREY
0356
16635 LESTE
0EL4
16650 ANDER
0356
16651 VACAN
16666 HIGGI
MOORE



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ATTACHMENT 4

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TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT

MEETING DATE: 10/23/2024

ITEM NO: 7

DATE:	October 18, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 55 Ellenwood Avenue**. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:8 located at 55 Ellenwood Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1918 per County Assessor
2. Town of Los Gatos Historic Status Code: N – New (probably built since 1950)
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The applicant is requesting approval to remove the pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1918. The 1990 Anne Bloomfield Survey does not provide a construction date estimate, but provides a preliminary rating of "new, probably built since 1950" (Attachment 1). The Sanborn Fire Insurance Maps include the property beginning in 1928 and show the residence as having a consistent footprint through 1956 (Attachment 2).

PREPARED BY: Sean Mullin, AICP
Planning Manager

DISCUSSION (continued):

A review of Town records provides the following:

- 1958 – Building Permit – scope unknown;
- 1973 – Building Permit to enclose part of an existing deck;
- 1994 – Building Permit for construction of a 1,400-square foot addition to the existing 1,589-square foot home for a new primary bedroom suite; and
- 1998 – Approval of a Minor Residential Development application for a new second-story addition and subsequent Building Permit for the addition, which included a new attached garage.

Based on the development plans contained in Town records, staff prepared an exhibit showing the approximate footprint of the residence prior to 1994 and the demolition impacts incurred to the residence resulting from the 1994 and 1998 additions to the residence (Attachment 3). Staff also notes that the Bloomfield Survey conducted in 1990 rating the residence as "new" occurred prior to completion of the 1994 and 1998 additions.

The applicant provided an informational packet with their application, which includes a summary of the history of the residence, a Letter of Justification, and pictures of the residence (Attachment 4). Based on the research provided, the applicant believes that the required findings for removal from the Historic Resources Inventory can be made for this property as the residence is not in its original condition and there is nothing noted about the property that is significant to the Town's history.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, a recommendation of approval of the request to remove the property from the Historic Resources Inventory would be forwarded to the Community Development Director. Once approved by the Director, any proposed alterations would not return to the Committee.

FINDINGS:

A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

    In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

FINDINGS (continued):

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Impact of Additions Exhibit
4. Applicant's Submittal Packet

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ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 55 Ellenwood

PARCEL MAP INFORMATION

Parcel # 510-19-010 Lot size: _____ front ft. x _____ ft. deep

Lot shape: Rectangle__ L___ Rectangle with small rear jog___ Other_____

Location: N__ S__ E__ W__ side of _____ St___ Ave___ Other_____

distance to cross st: _____ ft. N___ S___ E___ W___ from_____

at NE___ NW___ SE___ SW___ corner of_____

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name_____ Old Block #_____ Old lot #_____

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating N Estimated age_____ Style_____ # stories___

Alterations_____

Other_____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8911 EFFective date 12-87

APN 510-19-010	ADDRESS	55 ELLENWOOD		AV LG 95030									
SINGLE FAMILY	TRA	3-001	WIDTH	70	SQ. FEET	1,820	TOT ROOMS	7	DINING ROOM		POOL		
	USE CODE	01	DEPTH	300	ADDN S/F		BEDROOMS	3	FAMILY ROOM	2	GARAGE S/F	320	
	YR BUILT	18	ACRES	.48	NO. FLOORS	1	BATHS	2.0	UTILITY RM		FIN BSMT		

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date_____

County Inventory 1979_____

Town of Los Gatos: Designation____ Recognition___

District Name_____

Previous Survey_____

PHOTOS: Roll/frame # 028/8 Date 5 Feb 90

POSTED

55 Ellenwood

EVALUATION. Date 1950s?

Contributor

District Non-contrib X

Alterations: Moved__ Raised__ Porch encl__ Addition__ Siding__ Windows__ Condition__

Designer: a__ b__ d__

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ATTACHMENT 1

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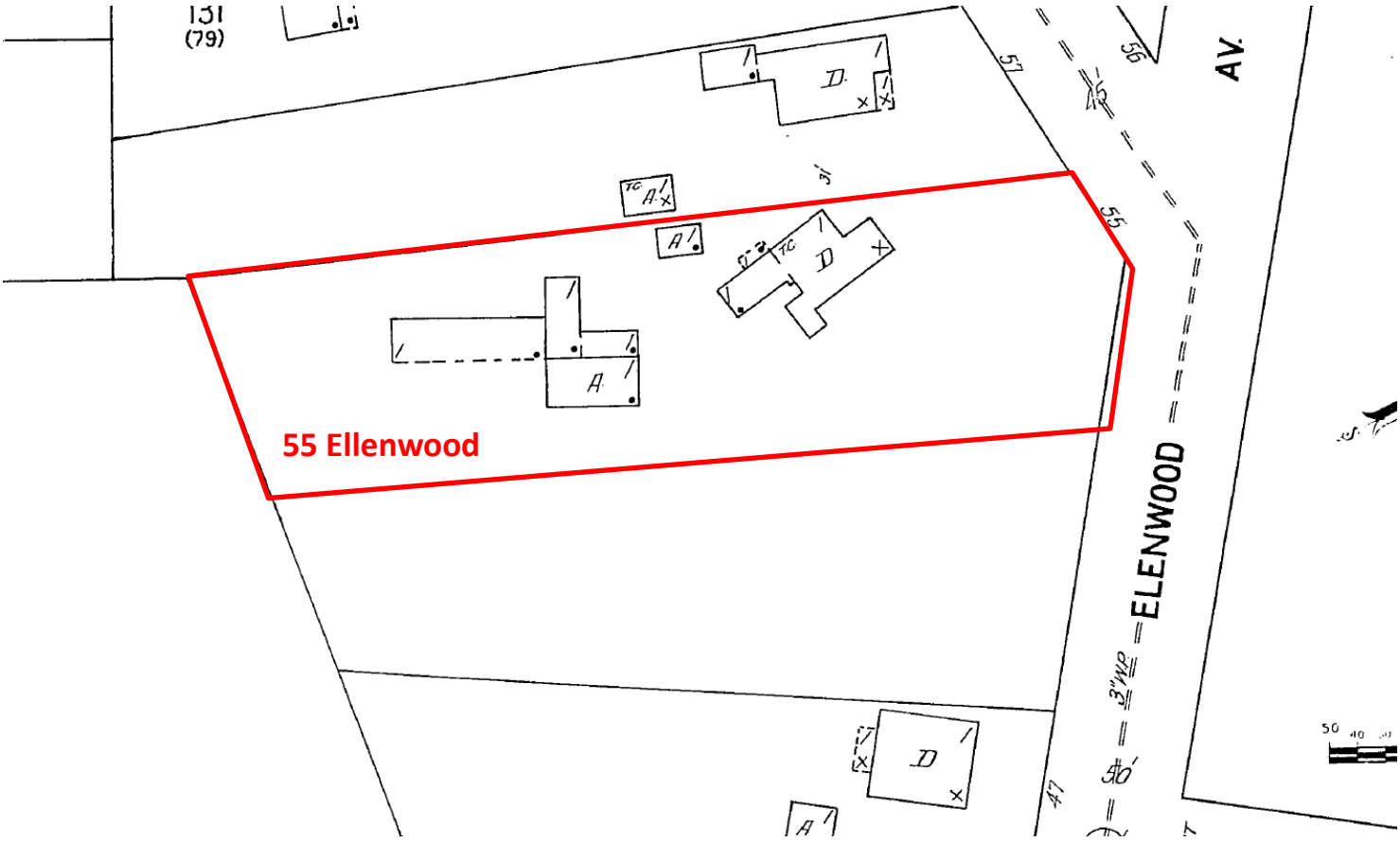
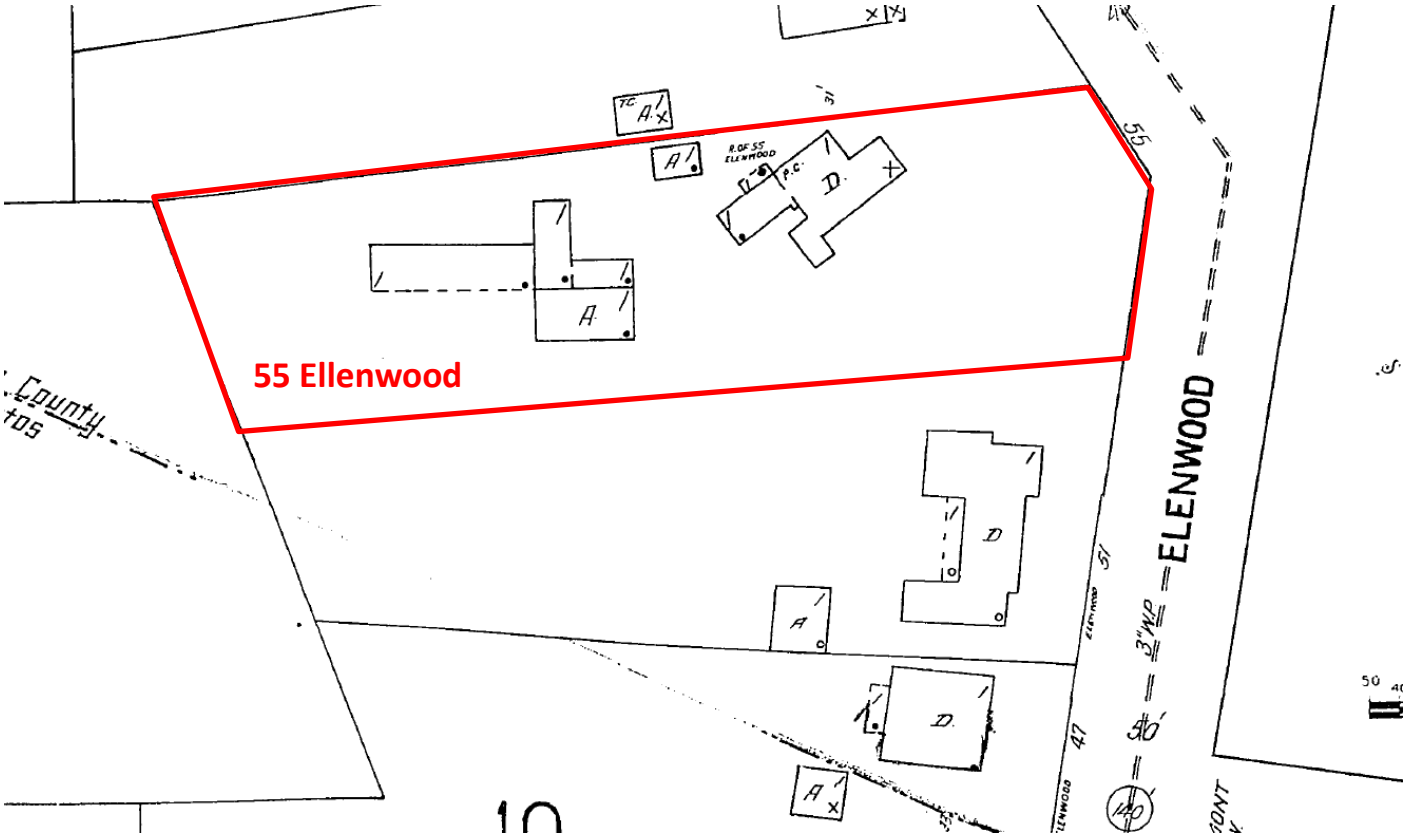
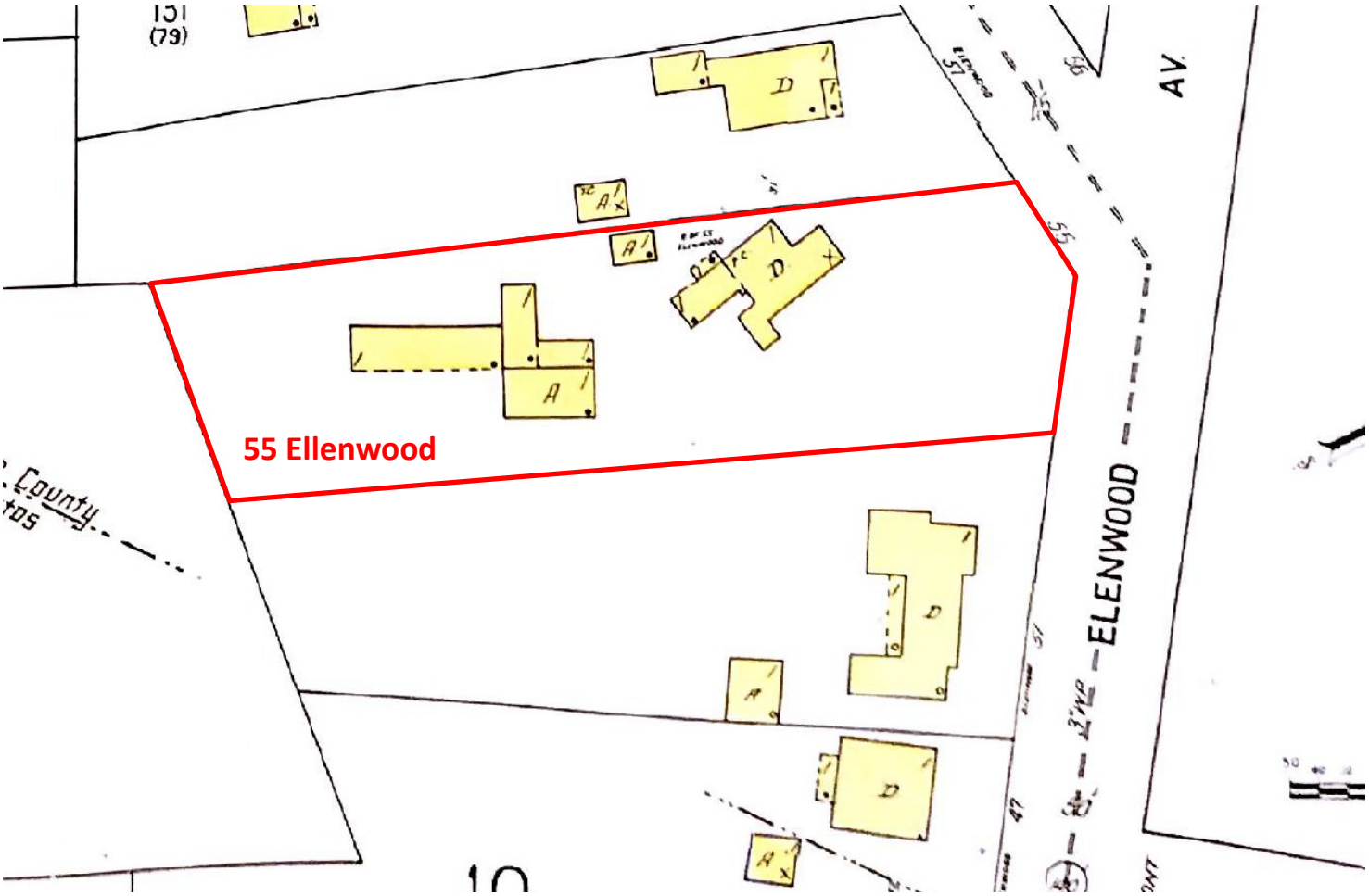


1928

ATTACHMENT 2



1944



1956

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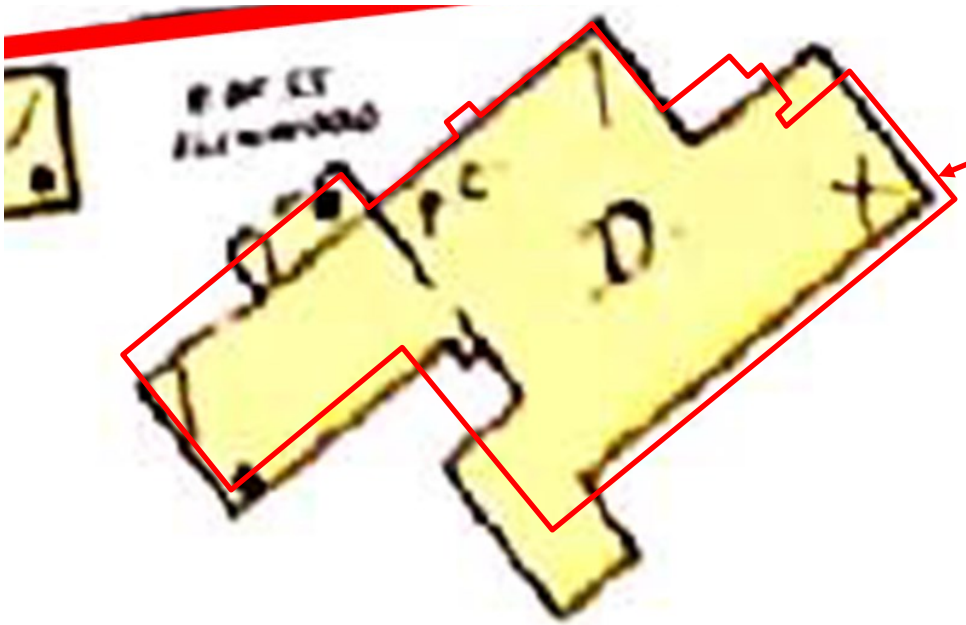
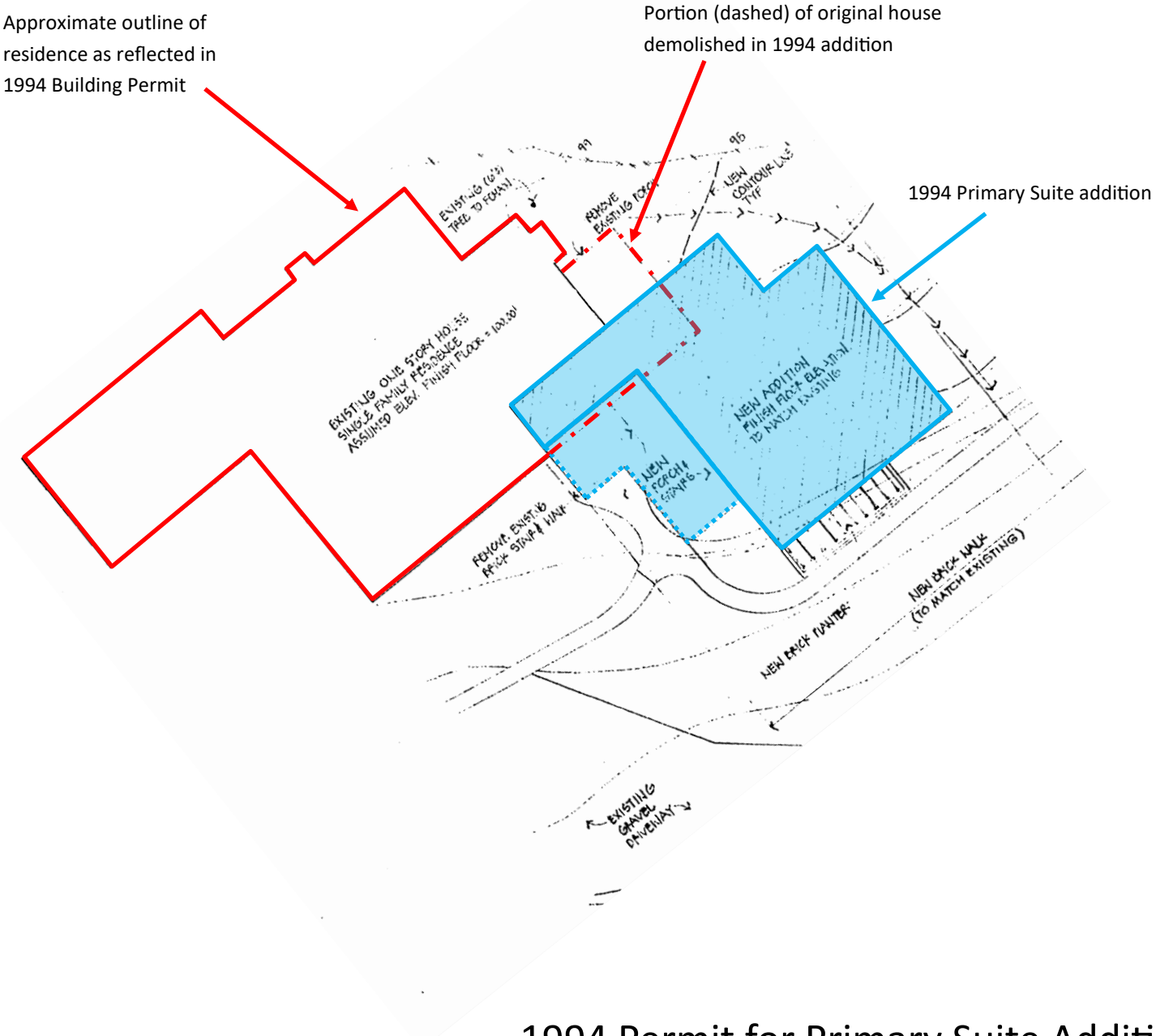


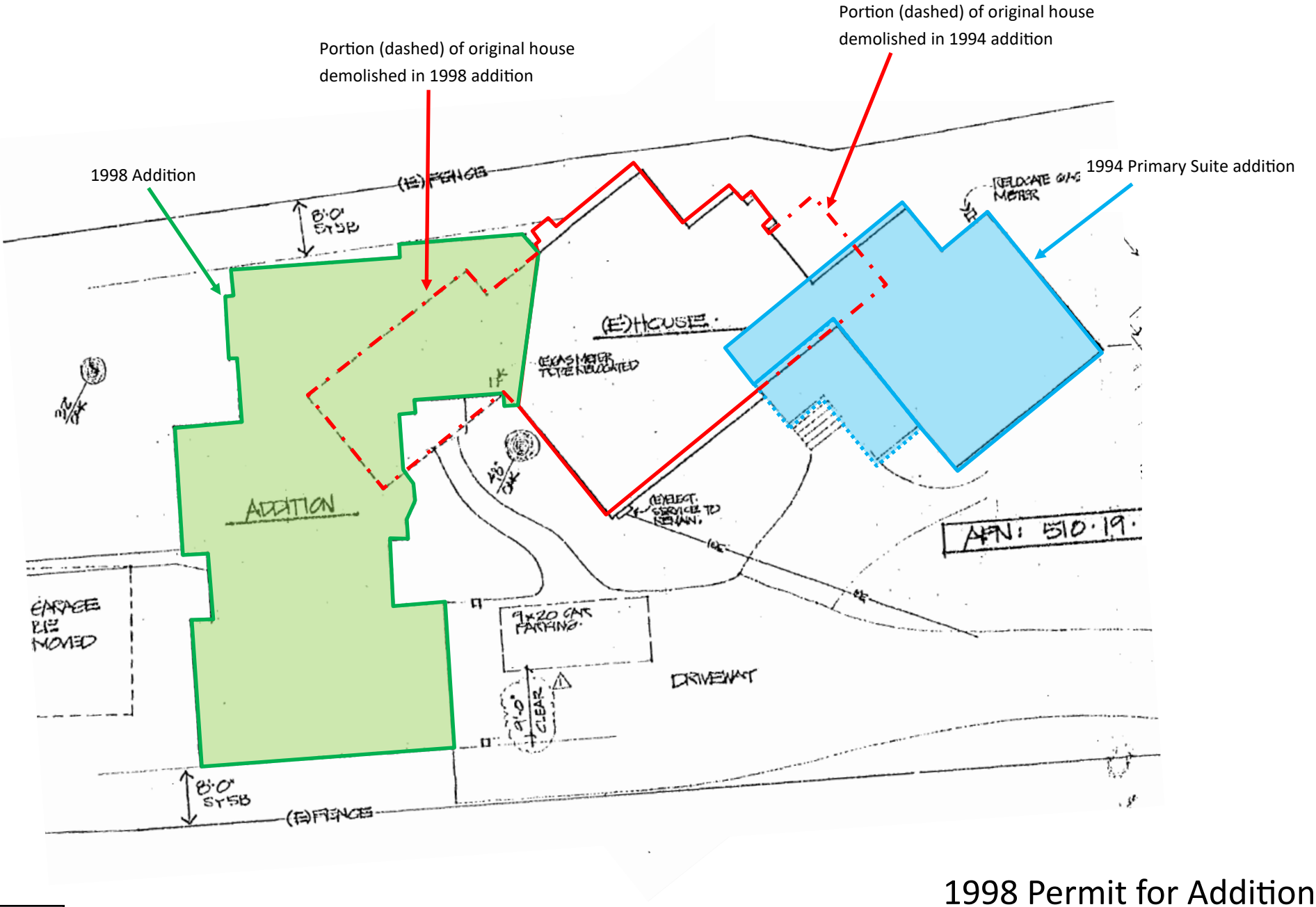
Approximate outline of residence as reflected in 1994 Building Permit

1956 Sanborn Map

ATTACHMENT 3



1994 Permit for Primary Suite Addition



1998 Permit for Addition

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DATE: October 25, 2024
TO: Historic Preservation Committee
SUBJECT: Consider a Request to Remove a Property from the Historic Resources Inventory for Property Zoned R-1:8.Located at 55 Ellenwood Ave. **APN :**510-19-011
PROPERTY OWNER/APPLICANT: [redacted]
PROJECT PLANNER: Sean Mullin, AICP Senior Planner Community Development Department

RECOMMENDATION:
Consider a request to remove a property from the Historic Resources Inventory for property zoned R-1:8 located at 55 Ellenwood Avenue,Los gatos, California 95030-5221

Property Location Information
APN: 510-19-011
Site Address: 51 ELLENWOOD AV LOS GATOS CA 95030-5221
Recorded Size (Assessor Database): 25,136 sq. ft. / 0.6 acres
TRA: 03000

Planning and Development Information
APN:51019011 is incorporated (LOS GATOS).
General Plan: USA
USA: Los Gatos (100%)
SOI: Los Gatos
Zoning: INCORPORATED
Supervisor District: 5
Approved Building Site: Research needed to evaluate parcel as a Building Site

Special Area Policies and Information
- Los Gatos Hillside Specific Plan Area: IN
- Fire Responsibility Area: LRA (100%)
- Fire Protection District: Santa Clara County Central Fire Protection District
- Geohazard: County landslide hazard zone
- Historic Parcel: NO
- FEMA Flood Zone: X (100%)
- Sanitary District: West Valley Sanitation District
- Watershed: San Francisco Bay
- Rain isohyet: 32 inches

Nearest named creek: ALMENDRA CREEK (630 feet)
Nearest named lake: Vasona Reservoir (5713 feet)

ATTACHMENTS:
1. Applicant letter
2. Picture from Los Gatos Library records
3. List of previous owner from Polk's Directories and County records
4. Anne Bloomfield's survey report
5. Property pictures

To whom it may concern,
I am writing to request removing the property at 55 Ellenwood Avenue, Los Gatos from the historic listing. As I investigate, this property has the following information:

1. After conducting extensive research at Los Gatos Public Library, we were unable to find any mention of this property in historical newspapers, any articles, any important real estate listings, or public records. If the building had significant historical importance, we believe it would have been documented somewhere. Please see Exhibit 3 for reference.

2. During our research at the library, we reviewed several documents, including Project Bellringer II, which lists homes built before 1900, and a paper on the Los Gatos Historic Homes Tours. Additionally, we searched the Historic Property Research Collection. None of these sources, however, made any mention of 55 Ellenwood Avenue, suggesting that this property may not be recognized as historically significant in these contexts. Please see Exhibit 1 and 2 for reference.

3. Upon researching in Bookcase# 11 in 1941 tax assessment survey, no information regarding 55 Ellenwood Avenue was found, indicating that the property may not have been recorded during that period. Please see Exhibit 4 for reference.

4. In Anne Bloomfield's 1989 survey, she indicated that 55 Ellenwood Avenue was likely constructed around 1950. Additionally, she assigned a preliminary rating of "N". This indicates that the property underwent major changes between the time it was originally constructed and 1989 (when survey was conducted) which led the surveyor to indicate the year of construction as 1950. None of the construction related changes are recorded in city archives from the time it was built until 1994. Please see Exhibit 5 for reference.

5. We have reviewed the Sanborn maps from 1928 and 1944, which indicate that the house's construction remained largely unchanged during that time. However, between 1944 and 1998, this property underwent several major remodels, revisions, and additions that led to technical demolitions, including massive changes to the front elevation of the property during the major revisions, remodels and extensions done during 1994 and 1998. As a result, much of the building's original historical character has been lost. Please see Exhibit 6, 7, 8 and 9 for reference.

6. According to our research from Polk's Directories and County records, these are the list of people who resided in this house.
1. 1934-1945 Stanley A R and Flowers C H
2. Aug 13,1968- Dec 24,1986: First Syndey and Roberts Dunton owned the property, in middle property defaulted to bank (First National Bank and Palo Alto Financial Corporation) before owned by Leigh & Merry Belden)
3. Dec 24, 1986: Leigh & Merry Belden sold it to Andris Holms
4. March 24,1992: Andris Holms transferred the property to Andris and Leslie as Community Property
5. Dec 20, 2002: Property was transferred from Community Property to Andris and Leslie's Trust
6. April 26, 2012: Property was transferred from Trust to Leslie Holms (Survivor)+ Trust
7. June 18, 2019: Property was transferred from Leslie Ann Holms and Trust to "The [redacted] Family Revocable Trust with [redacted] as Trustees
--> Upon Looking all records, we were not able to find evidence of any significant architectural entity or individual associates with this property.

7. We are encountering several ongoing challenges with this property. The doors frequently stick, making them difficult to open, and the inadequate drainage system results in constant maintenance costs every few months. Neighbors have also expressed concerns about the building's appearance and overall condition reducing the appeal of the neighborhood and has been brought up in every meetup. Additionally, the outdated roof design not only prevents us from installing solar panels but also causes frequent issues with the shingles, which break periodically and require repairs every few months. This has led to water leakage, causing further damage to various parts of the house. The skylights are very old, with seals that no longer function properly, leading to water leaks during rainy weather. Please see pictures attached.

8. The exterior shingles of the house are also severely aged, contributing to water seepage around the window trims. This has caused significant window damage, making them difficult to open and reducing ventilation. Despite multiple cleanings, the growth of algae and discoloration on the exterior persists.

9. Furthermore, the doors leading to both the front and backyard do not open smoothly, and when they do, they make noise and do not close properly, especially during rainy weather. The wooden frames around these doors are also visibly rotted. We have attached pictures for reference.

10. In addition, plumbing issues are frequent, with clogged pipes occurring about every few weeks due to the old plumbing system. As a result, we are limited to using only one of the three bathrooms regularly.

11. The house has also severe ant infestation causing unhygienic conditions in the kitchen area.

We as the current owners of 55 Ellenwood Ave, Los Gatos, CA for the last 6 years humbly request to please review the facts and help consider removing the property from historic resources inventory as major changes in 1994 and 1998 have consumed the historical integrity of the property.

Museums of Los Gatos Historic Homes Tours

Address				Year(s) Appeared		
237	Almendra	Ave.		2009		
75	Alpine	Ave.		1991		
77	Alpine	Ave.		2001		
79	Alpine	Ave.		2001		
31	Ashler			2013		
16158	Bachman	Ave.		2017		
212	Bean	Ave.		2002		
212	Bella	Vista	Ave.	2000		
37	Broadway			2012		
42	Broadway			2008		
44	Broadway			2003		
45	Broadway			1991	2012	
47	Broadway			1994	1999	2012
68	Broadway			2001		
72	Broadway			2001		
15	Chestnut	Ave.		1999		
16	Chestnut	Ave.		1995	2009	
40	Chestnut	Ave.		2009		
54	Chestnut	Ave.		1999	2004	
21	Clifton	Ave.		2008		
59	College	Ave.		2015		
100	Creffield	Heights		2011		
140	Creffield	Heights		2011		
16660	Cypress	Wy.		1994	2015	
106	E.	Main	St. (NUMU)	2017		
129	Edelen	Ave.		1998	2013	
130	Edelen	Ave.		2003	2013	
15	Ellenwood	Ave.		2001		
51	Ellenwood	Ave.		2008		
60	Ellenwood	Ave.		2008		
61	Ellenwood	Ave.		2005		
66	Ellenwood	Ave.		2008		
18537	Eucalyptus	Dr.		2000		
90	Fairview			1994		
19	Glen	Ridge	Ave.	1993		
20	Glen	Ridge	Ave.	2007		
22	Glen	Ridge	Ave.	1995	2006	

Exhibit 1 (Source Los Gatos Library)

Los Gatos Project Bellringer 1976 - 1987

V Melvin, Gloria Basuini no
16351 Almaden/Los Gatos Road (p-1901)

Thomas, Ann Atkinson
75 Alpine (1887)

Spencer, Eleanor Anderson
256 Bachman (1880)

Thomas J., Mrs. Pashos
328 Bachman (1885)

Joseph M., Mrs. Mayer
212 Bella Vista Avenue (1881)

Thomas R., Mrs. Conklin
316 Bella Vista Avenue (1891)

II Dan, Linda Sylvester
37 Broadway (1896)

Peter Carter
45 Broadway (1886)

Raymond Macabee
62 Broadway (1885)

Daniel, Mrs. Krag
64 Broadway (1893)

Michael, Kim Wasserman
72 Broadway (1887)

Patrick, Mrs. Boner
81 Broadway (1893)

Mrs. Bruce Berryman
89 Broadway (1891)

Lynn, Pam Brandhorst
93 Broadway (1887)

Bernard, Mrs. La Casse
107 Broadway (1891)

Mrs. Stanley Swanson
131 Broadway (p-1901)

Harold, Mrs. Partridge
198 Broadway (p-1901)

II Richard, Marlene Wright
42 Central Avenue (1890)

John, Nora Hellingsen
64 Central Avenue (1895)

Mrs. Niall Tabor
16 Chestnut (1895)

Patrick O'Laughlin, Maggie Kilkenny
54 Chestnut (1894)

Robert, Mrs. Brouwer
56 Cleland (1896)

Robert H. Schumacher
90 Cleland (1886)

Gary, Susan Griffiths
120 Cleland (1891)

Jack B., Mrs. Wytman
126 Cleland (1886)

George, Mitzi Baltes
39 College (1891)

James, Mrs. Farwell
113 Edelen (1889)

II Galen, Marjorie Muttersbach
118 Edelen (p-1901)

Mrs. Eva Small
121 Edelen (p-1901)

II Mrs. Jeanne, Miss Jacqui Wilson
239 Edelen (1892)

Elmer, Mrs. Rhoads
255 Edelen (1900)

Gary, Lita Ruble
52 Fairview Plaza (1890)

Ronald, Marilyn Plescia
63 Fairview Plaza (1890)

Ms. Jane Hinchliffe
87 Fairview Plaza (1885)

II William, Maria Simon, Hoeft
16780 Farley Road (1887)

William, Mrs. Cotton
14 Glenridge (1895)

J. Philip DiNapoli
19 Glenridge (1885)

Gary, Marily Hart
20 Glenridge (1885)

Steven, Mrs. Sporleder
22 Glenridge (1885)

A.P., Mrs. Rodriques
25 Glenridge (1898)

Andre, Jean Libante
33 Glenridge (1885)

Robert, Mrs. Brusca
216 Glenridge (1896)

Richard, Mrs. Kline
19 Hernandez (1895)

Gerald W. Clark
124 Hernandez (p-1900)

Gordon H., Lita Langlois
130 Hernandez (1895)

James, Annie Lawrie
145 Johnson (1891)

Tal, Marguerita Lloyd
200 Johnson (p-1901)

I Dan, Naidine Clark
202 Johnson (p-1901)

Anthony Olivas
301 Johnson (1895)

Robert W., Jeanette Allen
333 Johnson (1891)

Exhibit 2 (Source Los Gatos Library)

As It Was – Dora Rankin, 1965

House Index

rough alphabetical by street name

Exhibit 3 (Source Los Gatos Library)

No records found in the 1941 tax assessment

REVISIONS AND ADJUSTMENTS: Record Below Subsequent Changes in Value due to Re-appraisal, Indicate Reason for Action Such as Additions, Alterations, Rebuilding, Fire Loss, Demolition, or Removal of Buildings.

DATE	Reason for Action	BY	COST FACTOR	REPRO. COST	DEPRECIATION	REVISED VALUE

SKETCHES OR REMARKS, OR METES AND BOUNDS DESCRIPTION

Irregular area computed on 5' front foot basis.

13000 sq ft ± = 1.75% of 50x150 lot area - which would be valued at $350 ... this area.

1.75 X 350 = 605

Form 1 (C/6)

BUILDING CLASSIFICATION AND COMPUTATION RECORD

ADDRESS LOCATION 51 Ellenwood AVE. CITY OF LOS GATOS CALIFORNIA

BLOCK NUMBER 56 LOT NUMBER 14 ~~Block 2~~ OWNERSHIP T. J. Callahan

SUBDIVISION OR TRACT, Ellen Short Sub. #3

DESCRIPTION part of lot 14 Block 2

Sect.	Dimensions		Area or Cubage	Unit Cost	Repro.Cost	Out'bldgs	Pres.Value
(A)	X	X	= cu.ft sq.ft	@$.	$		$
(B)	X	X	= cu.ft sq.ft	@$.			
(C)	X	X	= cu.ft sq.ft	@$.		Miscel.	
(D)	X	X	= cu.ft sq.ft	@$.		Retain.Wall	
	X	X	= cu.ft sq.ft	@$.		Tank	
	X	X	= cu.ft sq.ft	@$.		Pool	
Reproduction Cost of Main Building					$	% Good	$
Garage	X	X	= cu.ft sq.ft	@$.	$	% Good	$
Depreciation %		Pct. Good %			TOTAL DEPRECIATED VALUE		$

EXTERIOR DESCRIPTION

INTERIOR DESCRIPTION

BUILDING DIAGRAM AND DETAILS. Scale 1" = 50' HEIGHT........FT.

STREET FRONT

PRICED BY DATE

CLASSIFICATION 1 2 3 4 A B C D

QUALITY: Cheap....; Medium....; Good....; Special....

OCCUPANCY Owner Vacant Tenant Not Home

Age Yrs. Remodeled Age Yrs.

Condition: New Good Medium Poor

Obsolescence Yes No Functional Defects

Special Depreciation For: Lack of Utility

Exhibit 4 (Source Los Gatos Library)

Anne Bloomfield

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 55 Ellenwood

PARCEL MAP INFORMATION

Parcel # [illegible] Lot size: _____ front ft. x _____ ft. deep

Lot shape: Rectangle__ L___ Rectangle with small rear jog___ Other__________

Location: N__ S__ E__ W__ side of ____________ St___ Ave___ Other__________

distance to cross st: _______ ft. N___ S___ E___ W___ from__________

at NE___ NW___ SE___ SW___ corner of__________

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name__________ Old Block #_______ Old lot #__________

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ____ Estimated age_______ Style__________ # stories__

Alterations__________

Other__________

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8711 EFfective date 12 87

[illegible]

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date__________

County Inventory 1979__________

Town of Los Gatos: Designation___ Recognition___

District Name__________

Previous Survey__________

PHOTOS: Roll/frame #______ Date______

55 Ellenwood

EVALUATION. Date 1950s?

District Contributor / Non-contrib ✓

Earliest known Owner__ Resident__ : __________

Context(#):

Alterations: Moved__ Raised__ Porch encl__ Addition__ Siding__ Windows__ Condition__

Designer: a__ b__ d__

POSTED

Exhibit 5 (Source Los Gatos Library)

1928 Sanborn Map

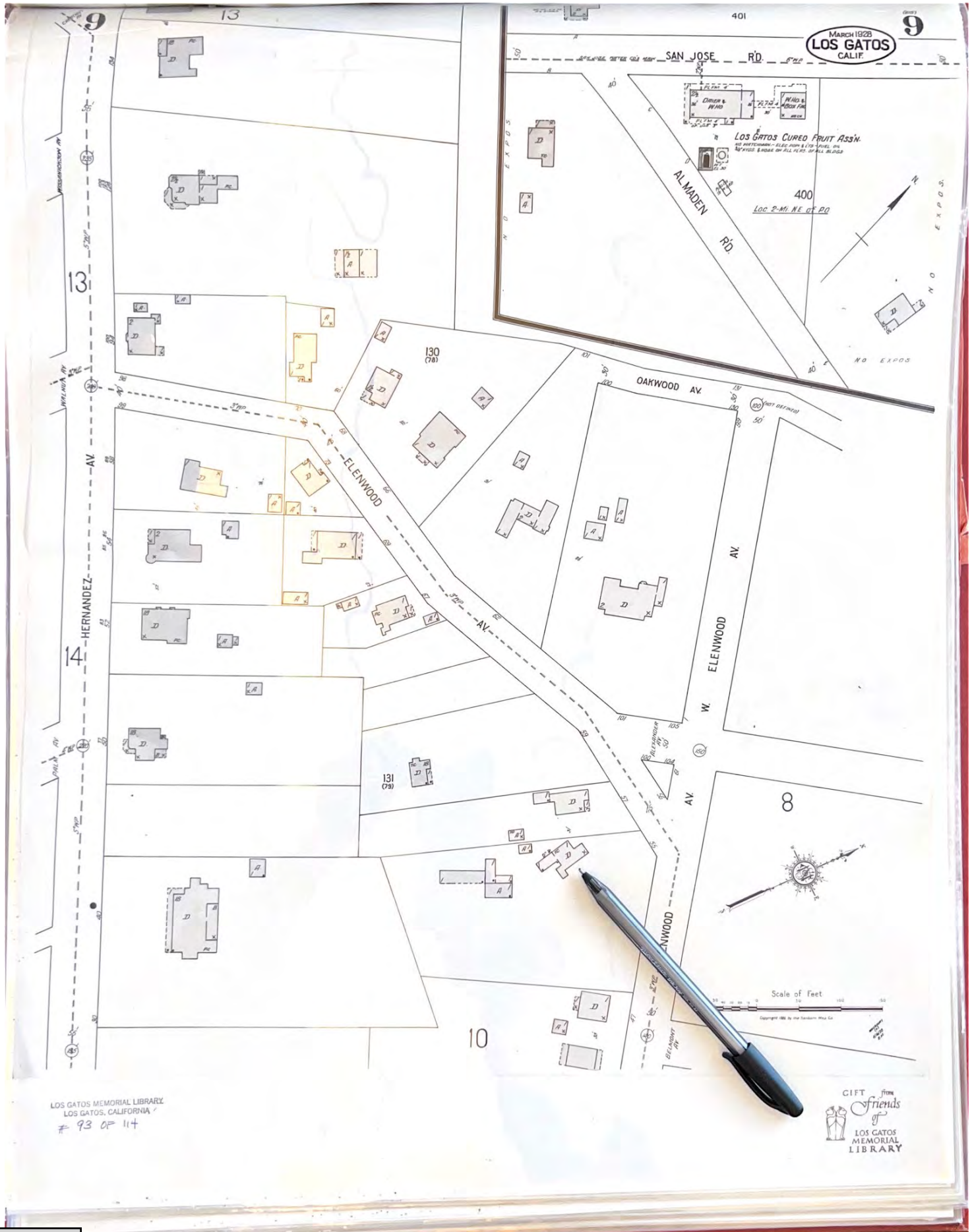


Exhibit 6 (Source Los Gatos Library)

1944 Sanborn Map

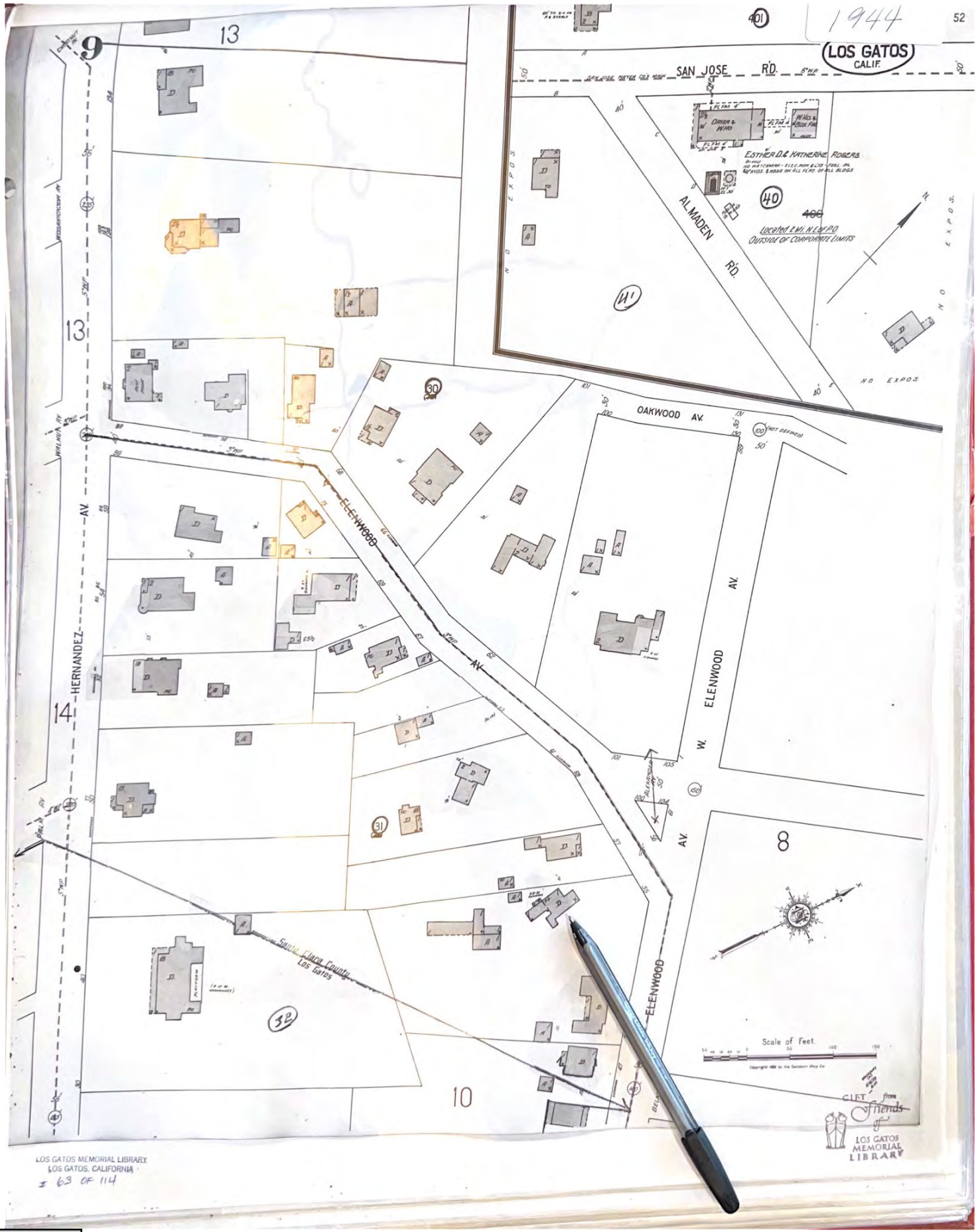
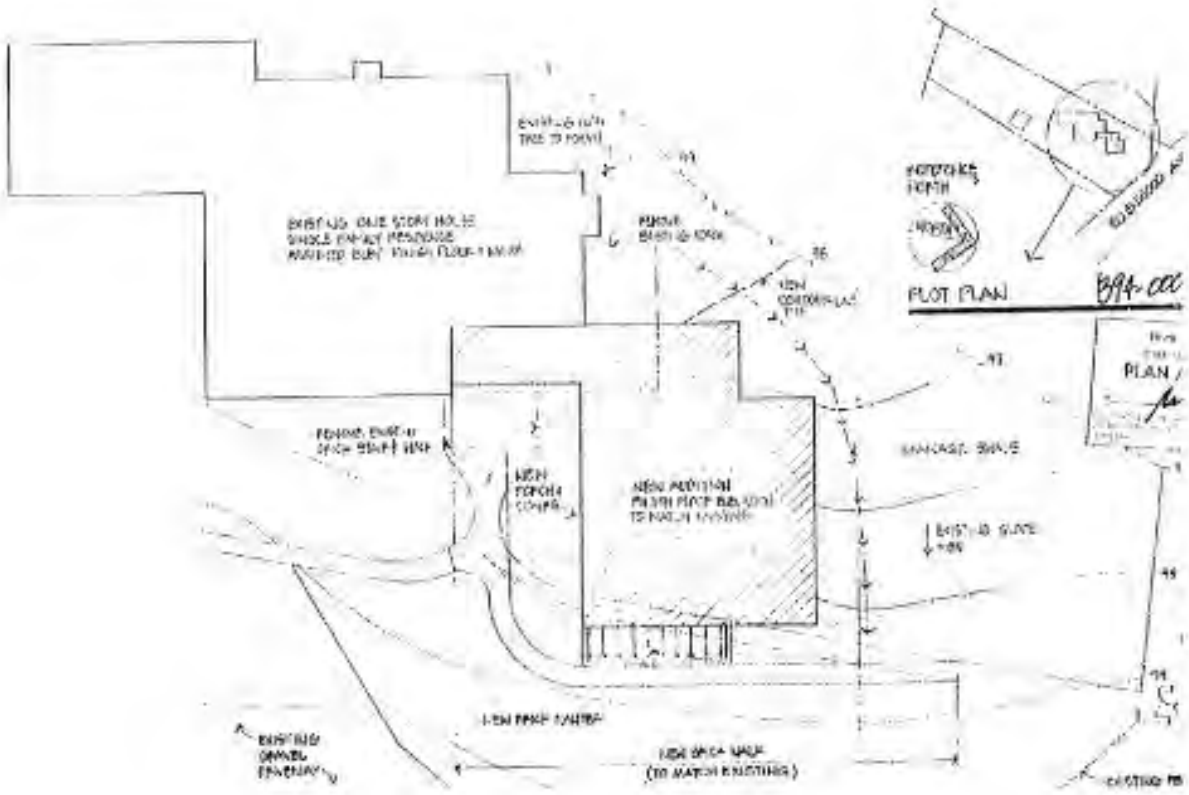


Exhibit 7 (Source Los Gatos Library)

1994



1998

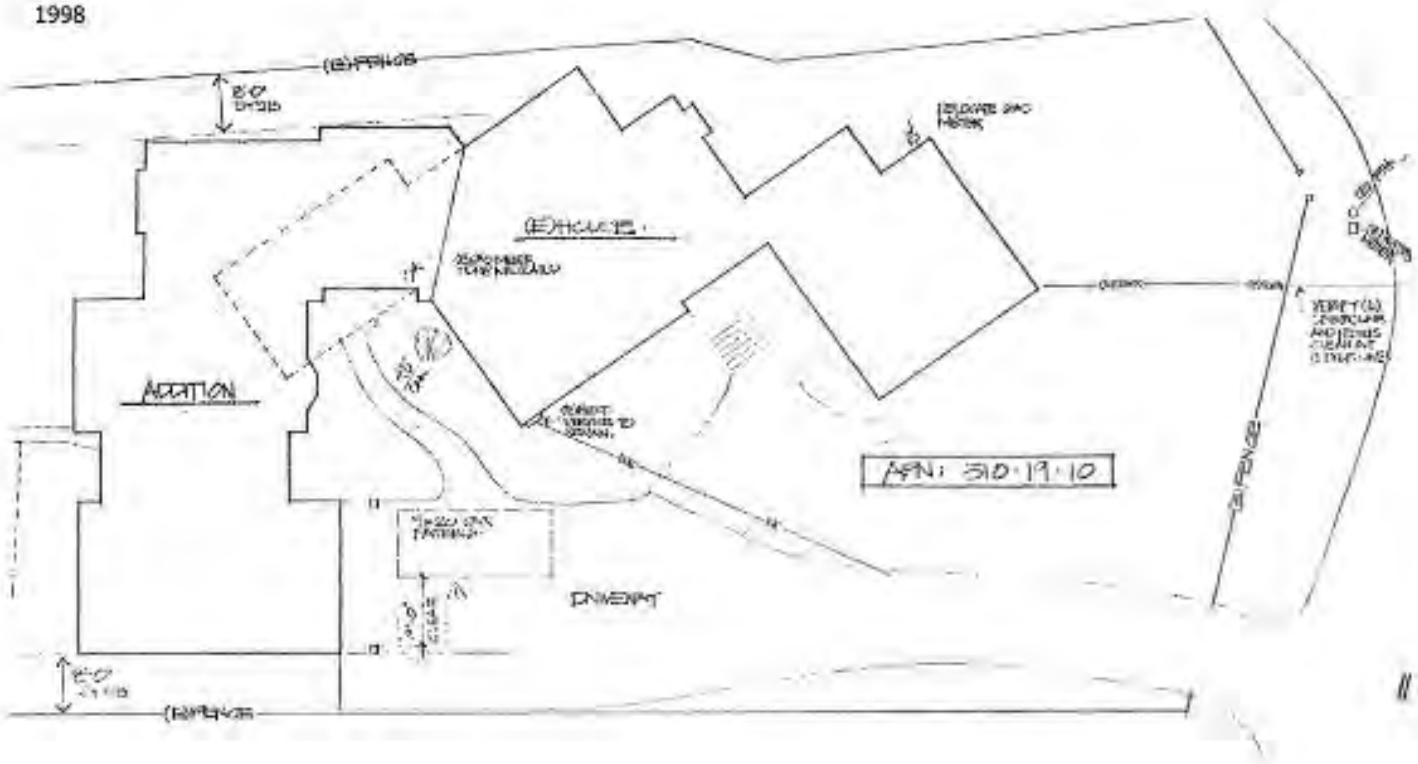
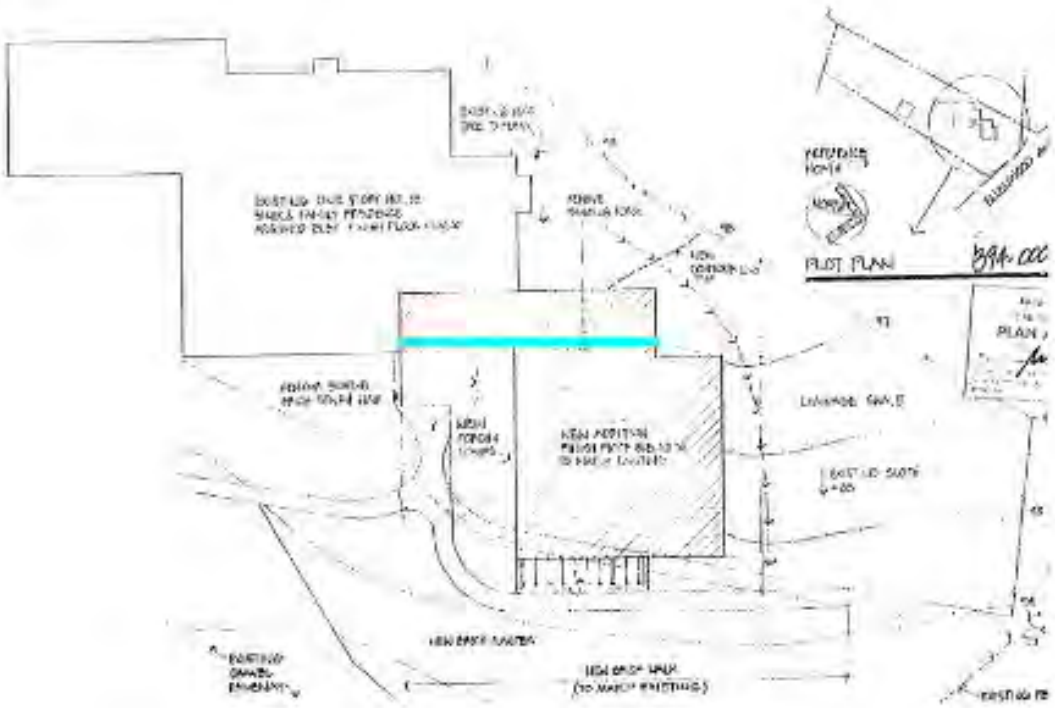


Exhibit 8 (Source Los Gatos Library)

1994



1998

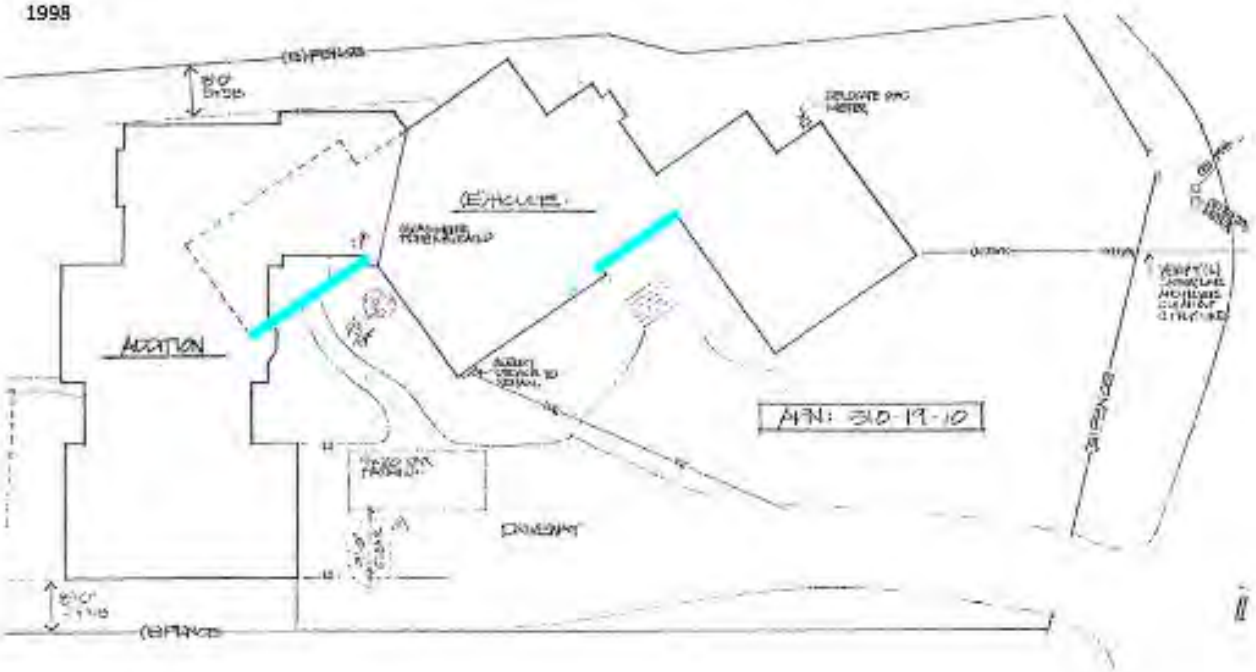
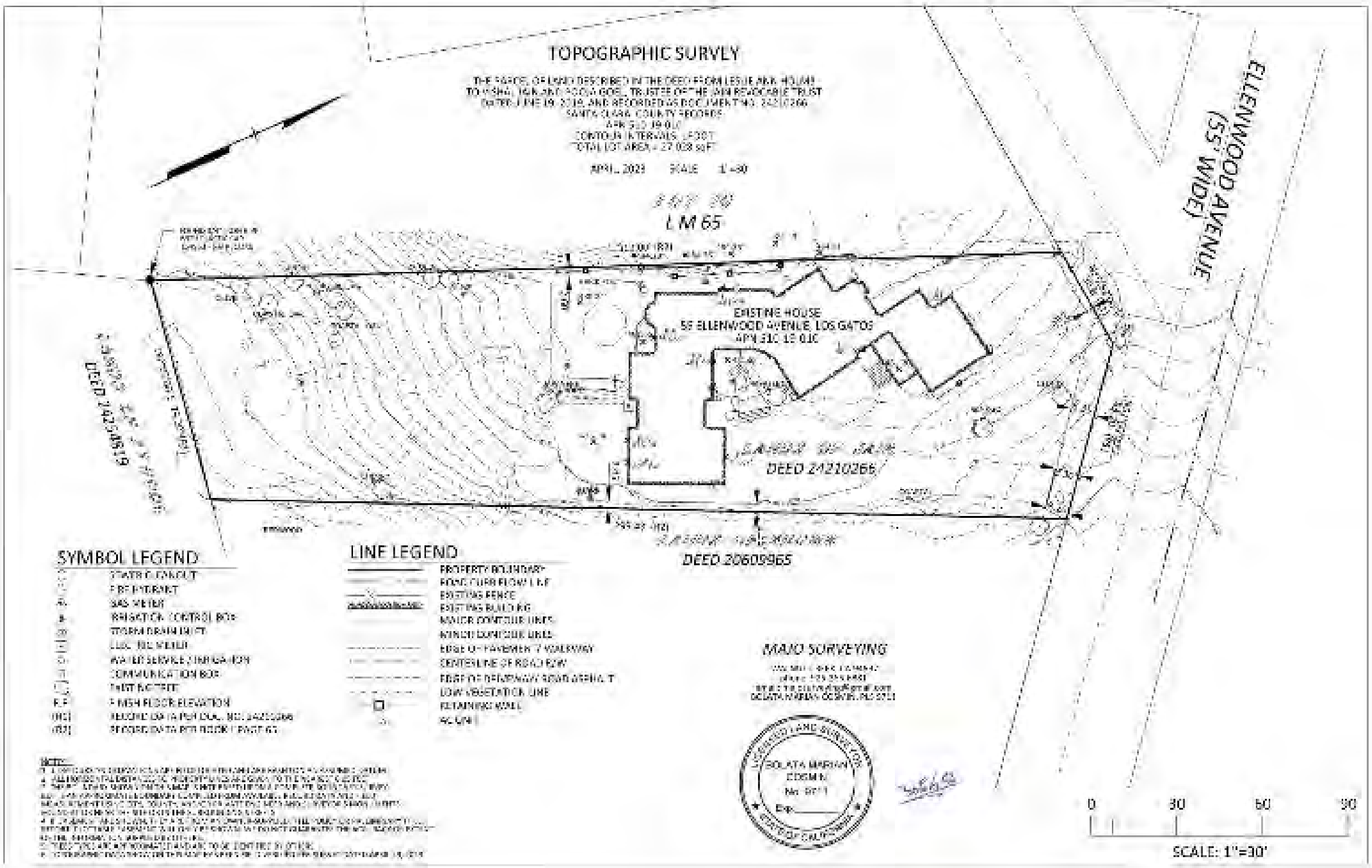
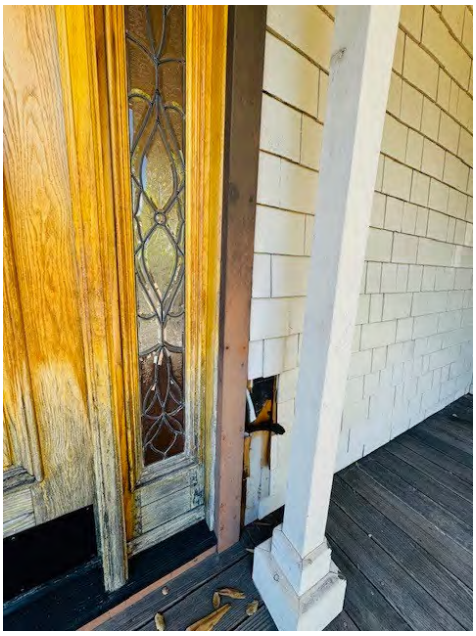


Exhibit 9 (Source Los Gatos Library)


TOPOGRAPHIC SURVEY
ELLENWOOD AVENUE
(55' WIDE)
LM 65
EXISTING HOUSE
59 ELLENWOOD AVENUE, LOS GATOS
DEED 24210266
DEED 20609965
DEED 24230819
SYMBOL LEGEND
LINE LEGEND
PROPERTY BOUNDARY
MAJO SURVEYING
0
30
60
90
SCALE: 1"=30'

House Images



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TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT

MEETING DATE: 10/23/2024
ITEM NO: 7
DESK ITEM

DATE:	October 23, 2024
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 55 Ellenwood Avenue**. APN 510-19-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-24-020. Property Owner: Pooja Goel. Applicant: Melina Padilla. Project Planner: Sean Mullin.

DISCUSSION:

Attachment 5 includes additional photos of the exterior of the residence located at 55 Ellenwood Avenue.

ATTACHMENTS:

Previously received with the October 23, 2024 Staff Report:
1. 1990 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Impact of Additions Exhibit
4. Applicant's Submittal Packet

Received with this Desk Item Report:
5. Photos

PREPARED BY: Sean Mullin, AICP
Planning Manager

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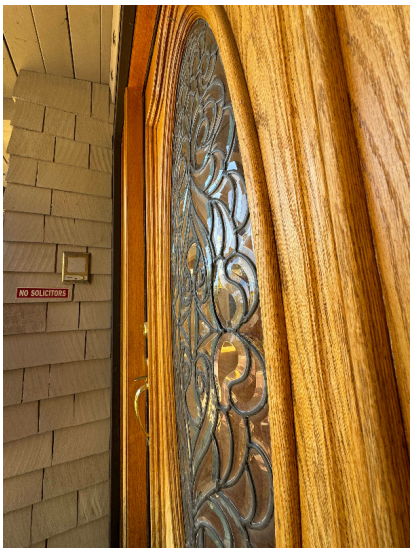
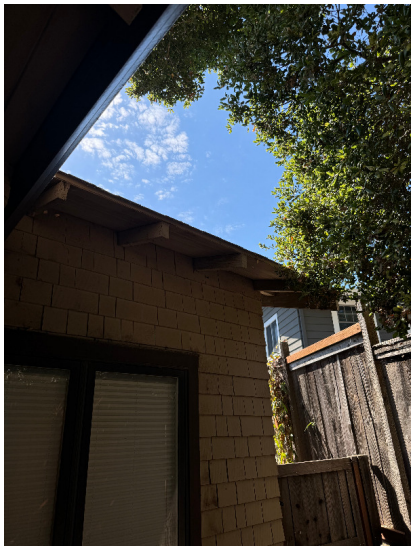

NO SOLICITORS



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DATE: October 18, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Modification (Siding Replacement) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 50 Hernandez Avenue**. APN 510-20-003. Request for Review Application PHST-24-021. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Richard Archuleta and Chrissy Klander. Applicant: Jay Plett, Architect. Project Planner: Sean Mullin.

RECOMMENDATION:

Requesting approval for modification (siding replacement) of a previously approved project on an existing pre-1941 single-family residence on property zoned R-1:8, located at 50 Hernandez Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1903 (effective year built 1920) per County Assessor's Database
2. Town of Los Gatos Historic Status Code: Unknown
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

On May 19, 2023, the Committee conducted a preliminary review of a proposal to demolish portions of the residence behind the front façade and construct additions to the residence, including a new second story and a basement and provided recommendations to the applicant for project revisions.

PREPARED BY: Sean Mullin, AICP
Planning Manager

BACKGROUND (continued):

A Minor Residential Development application for the project was submitted to the Town on February 23, 2022. The development plans provided with the application were consistent with those presented during the preliminary review and the applicant responded to all recommendations of the Committee. On March 23, 2022, the Committee recommended approval of the Minor Residential Development application, which was subsequently approved by the Community Development Director on June 27, 2022. Building Permits for the project were issued on October 31, 2023, and the project is currently under construction.

On October 25, 2023, the Committee reviewed and approved a request for modification to the approved project for changes to the front porch and trellis, as well as window materials.

On March 13, 2024, the Committee reviewed and approved a request to enlarge a window on the front elevation.

DISCUSSION:

The applicant has returned to the Committee requesting approval for replacement of the existing siding. The applicant provided a Letter of Justification noting that the existing siding consists of three different profiles and that prior remodels resulted in a patchwork of siding that is not cohesive (Attachment 1). The applicant also indicates that areas of siding have been damaged by water and prior repair work was carried out in an unsightly manner. The applicant provided a letter from the builder indicating that the existing siding lacks proper waterproofing and the walls have no insulation (Attachment 2). The builder notes that if insulation is installed behind the existing siding without a vapor barrier, any water intrusion into the new insulation would be difficult to dry out and detrimental to the building's health due to the lack of waterproofing underlayment. The builder recommends removing the non-matching siding, installing plywood shear with a vapor barrier and installing new cedar siding. The new three-inch lap siding would match what was approved for the addition to the residence.

Town Code Section 29.10.020 clarifies that demolition of a historic structure means removal of more than twenty-five percent of the wall(s) facing a public street or fifty percent of all exterior walls. When approved by the deciding body, the following is exempt from the demolition definition:

a. *Replacement*. The exterior wall covering may be removed if the covering is not original to the structure.
b. Repair. The removal and replacement of in kind non-repairable exterior wall covering (siding) resulting in no change to its exterior appearance or historic character if approved by the deciding body.

DISCUSSION (continued):

c. Removal. The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

Based on the applicant's description of the existing condition of the residence, it is likely that each exemption is applicable to portions of the siding.

The applicant is seeking a determination from the Committee that the removal and replacement of the siding is appropriate and therefore exempt from the demolition definition. Should the Committee find merit in the request, a recommendation would be forwarded to the Community Development Director. Once approved, Building Permit revisions could be approved by the Town and the project would not return to the Committee.

CONCLUSION:

Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Community Development Director.

FINDINGS AND CONSIDERATIONS:

A. Findings

Sec. 29.10.020. *Demolition (historic structures)*
All remaining exterior walls must be contiguous and must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

__X__ *a. Replacement*. The exterior wall covering may be removed if the covering is not original to the structure.
__X__ *b. Repair.* The removal and replacement of in kind non-repairable exterior wall covering (siding) resulting in no change to its exterior appearance or historic character if approved by the deciding body.
__X__ *c. Removal.* The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

FINDINGS AND CONSIDERATIONS (continued):

B. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_X_ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

ATTACHMENTS:

1. Request from Applicant
2. Letter from Mehus Construction

JAY PLETT AIA
ARCHITECT

50 HERNANDEZ AVE.
ARCHULETA/KLANDER

PROJECT SIDING REQUEST

TO: LOS GATOS HPC
RE: REQUEST TO REMOVE AND REPLACE SIDING

THE HOME'S EXISTING SIDING CONSISTS OF THREE DIFFERING PROFILES. REFER TO PHOTOS 1, 2, 3.

DURING PRIOR REMODELS, THE FRONT OF THE HOME HAS BEEN PATCHED WITH NON-MATCHING SIDING APPLIED WITHOUT CARE TO BLEND IT IN WITH EXISING SIDING - REFER TO PHOTOS 4, 5, 6, 7.

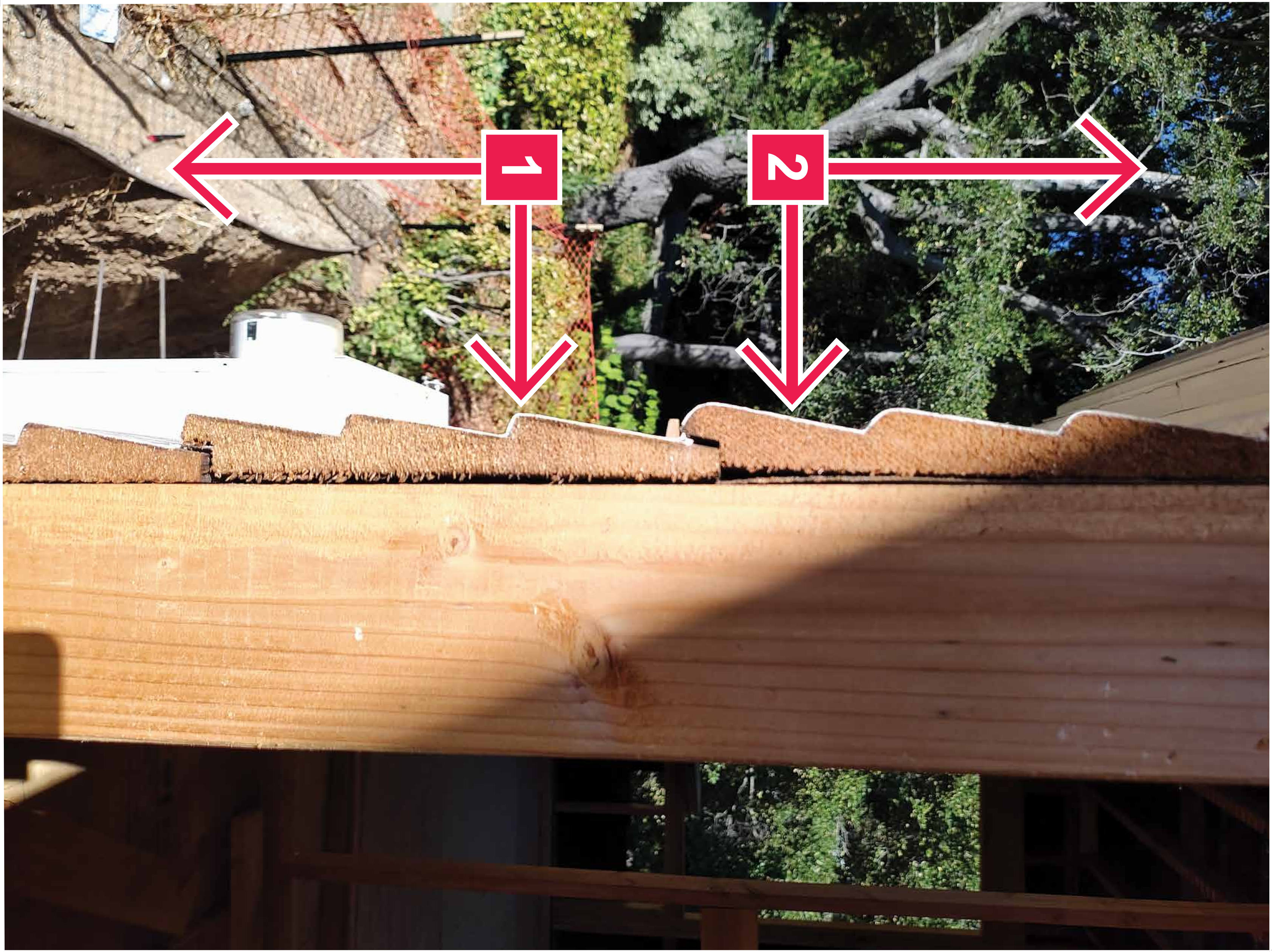
IT APPEARS DUE TO NEGLECT, THE ROOF'S GUTTER SYSTEM AND DOWNSPOUTS UNDERWENT A PERIOD OF YEARS LEAKING ONTO THE SIDING AND COMPLETELY ROTTING IT OUT. THE SIDING WAS BONDO-ED AND PUTTY-ED OVER IN A VERY UNSIGHTLY WAY TO TRY AND STOP THE ROT, WHICH WILL NOT BE EFFECTIVE - THE SIDING IS IRREPAIRABLE. REFER TO PHOTOS 8.

THE ADDITION TO REAR OF THE HOME WILL BE SIDED WITH THE PROPER HISTORIC 3 LAP SIDING.

WE WOULD LIKE TO REPLACE THE EXISTING SIDING OF THE HOME WITH NEW SIDING TO MATCH THE PROFILE OF THE NEW SIDING TO BE APPLIED TO THE ADDITION.

THIS WILL RESULT IN AN ATTRACTIVE COHESIVE RESTORATION OF THE ORIGINAL HOUSE THAT WILL LAST FOR MANY MORE YEARS GOING FORWARD.

THANK YOU FOR YOUR CONSIDERATION.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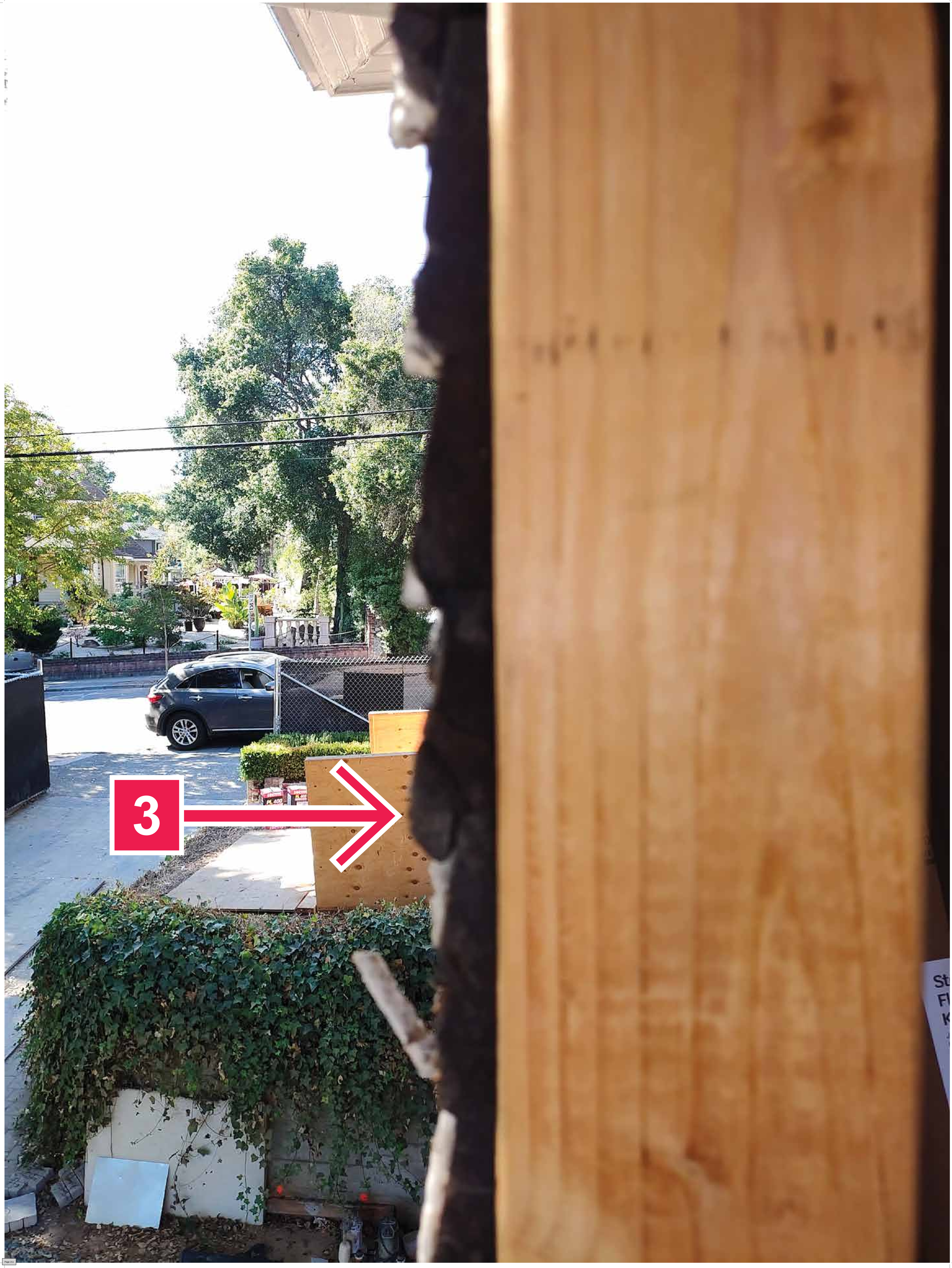
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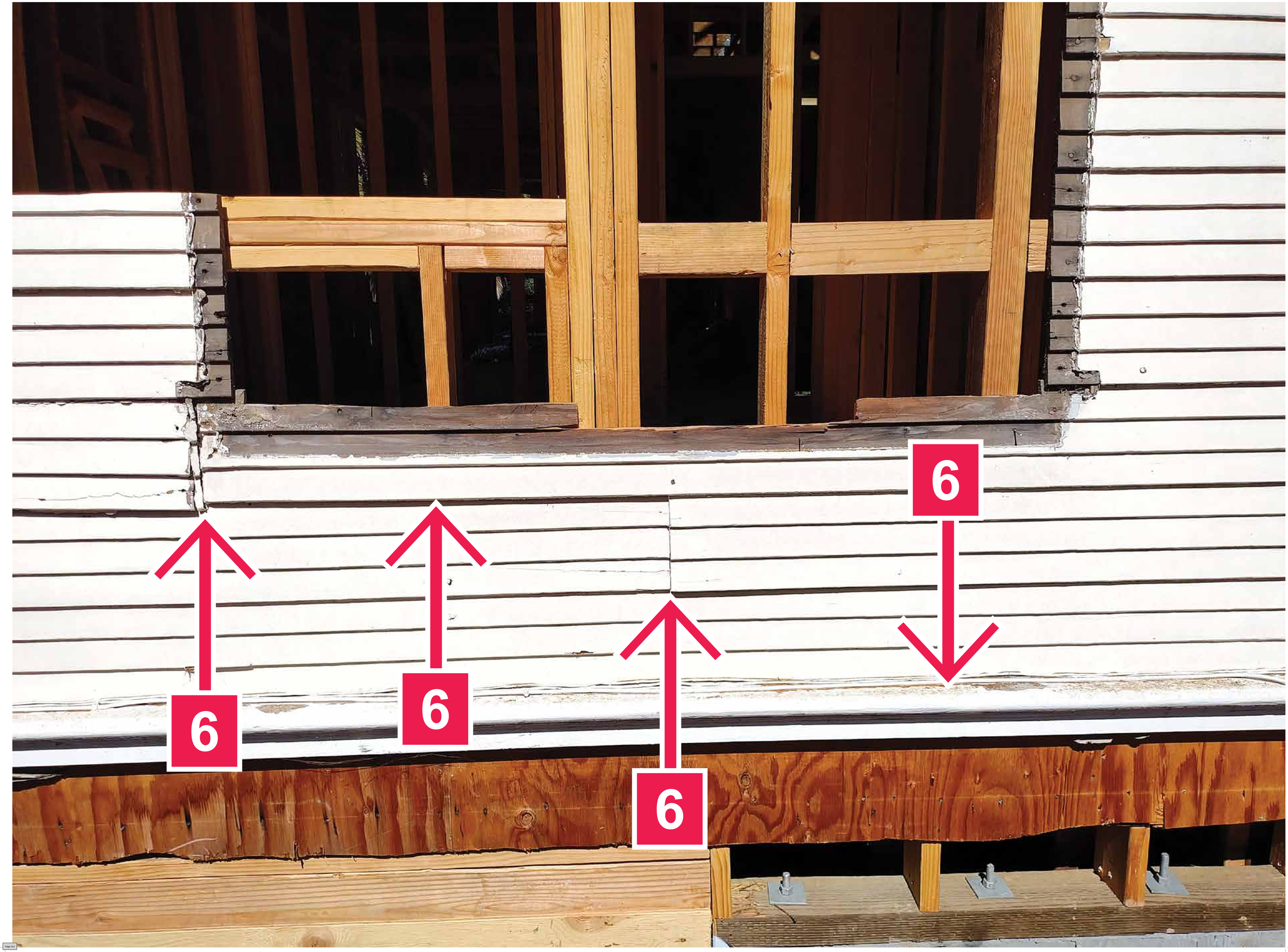
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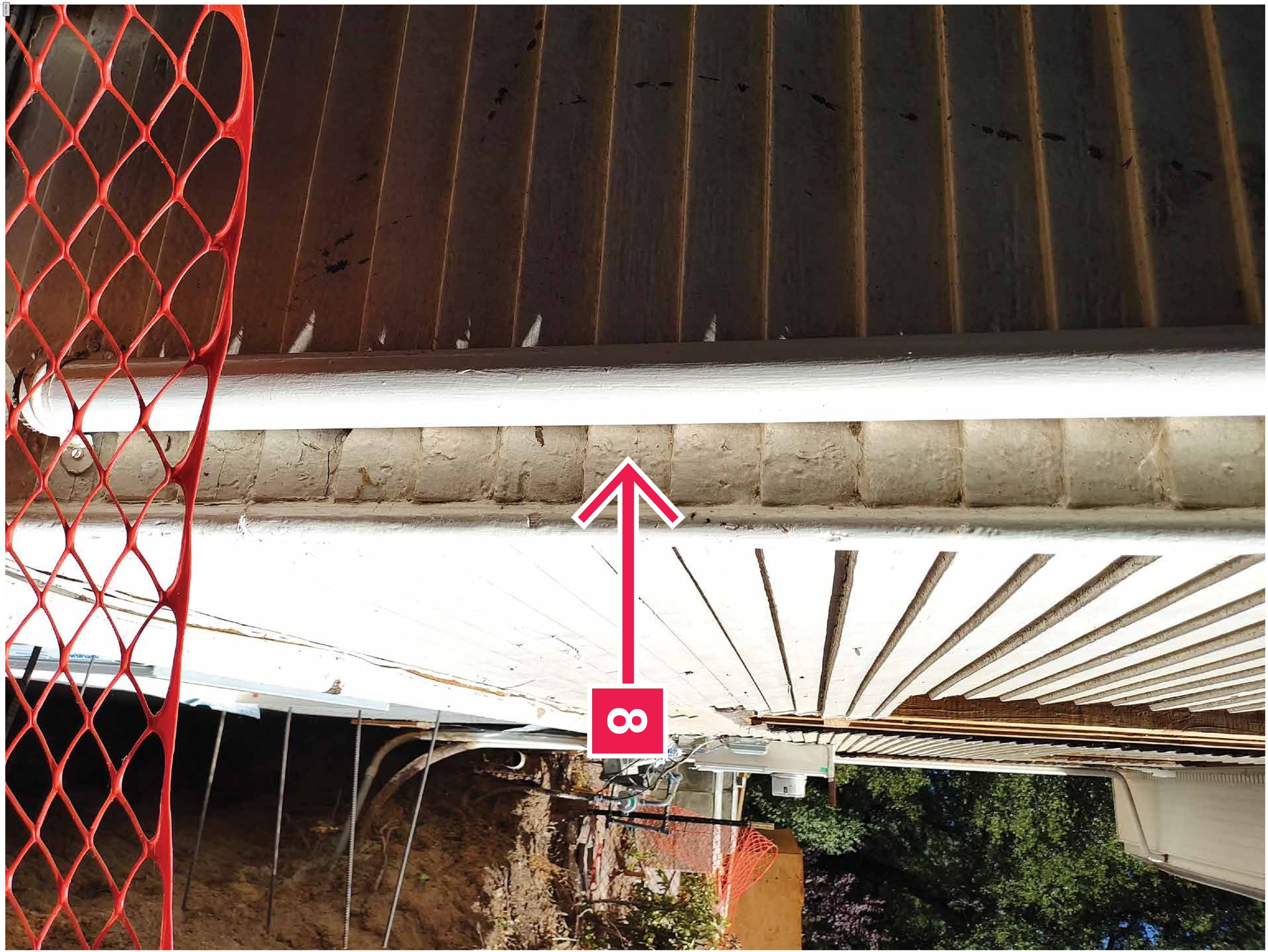
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MEHUS
CONSTRUCTION INC.

September 30, 2024

TO: Los Gatos HPC Committee

RE: [redacted] Residence
50 Hernandez Avenue
Los Gatos, CA 95030

The existing siding has no waterproofing underlayment per code and modern building practice. The existing wall cavities have no insulation. Once insulation is installed, any water intrusion will be detrimental to the building health. Potential problems from such a leak include mold and dry rot. Our professional recommendation is to remove the existing siding, add plywood shear to the exterior with a vapor barrier, then install new cedar siding. The integrity of the existing siding will be compromised through the removal process and be rendered unusable.

The new siding will be the same 3 lap profile as the original siding. We are already in the process of this for the new siding being applied to the building addition. This rehabilitation will further the viability of the structure into the future.

Thank you for the consideration.

Mehus Construction, Inc.

Aaron C. Ewing, President

/mg

11 San Mateo Avenue Los Gatos, California 95030 408.395.2388 www.mehus.com License#369370

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