



**TOWN OF LOS GATOS  
HISTORIC PRESERVATION COMMITTEE  
JANUARY 28, 2026  
110 EAST MAIN STREET  
TOWN COUNCIL CHAMBERS  
4:00 PM**

*Lee Quintana, Chair  
Martha Queiroz, Vice Chair  
Susan Burnett, Planning Commissioner  
Emily Thomas, Planning Commissioner  
Alan Feinberg, Committee Member*

**IMPORTANT NOTICE**

This meeting will be held in person at the location listed above. Members of the public may provide written or oral comments on agenda items by following the instructions listed at the end of the agenda.

**CALL MEETING TO ORDER**

**ROLL CALL**

**CONSENT ITEMS** *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the December 17, 2025, Historic Preservation Committee Meeting

**VERBAL COMMUNICATIONS** *(Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. During special meetings, members of the public are welcome to address the Committee only on items listed on the agenda. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)*

**PUBLIC HEARINGS** *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

2. Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:10. **Located at 8 Central Court.** APN 529-35-034. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-26-001. Property Owner: William Holt and Elizabeth LaSorsa. Applicant: Joel Stieber. Project Planner: Sean Mullin.
3. Consider a Request for Approval to Construct a New Second-Story Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 34 Pleasant Street.** APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Minor Residential Development Application MR-25-003. Property Owner: Michael Hyman. Applicant: Maia Gendreau. Project Planner: Ryan Safty.

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

4. Select a Chair and Vice Chair

**REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT**

**COMMITTEE MATTERS**

**ADJOURNMENT**

## HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to [planning@losgatosca.gov](mailto:planning@losgatosca.gov).

### Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

### Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email [planning@losgatosca.gov](mailto:planning@losgatosca.gov) with the subject line "Public Comment Item #\_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.

For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

**ADA NOTICE** In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

***This Page  
Intentionally  
Left Blank***





**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

MEETING DATE: 01/28/2026

ITEM: 1

---

**DRAFT  
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING  
DECEMBER 17, 2025**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on December 17, 2025 at 4:00 p.m.

**MEETING CALLED TO ORDER AT 4 PM**

**ROLL CALL**

Present: Chair Lee Quintana, Vice Chair Martha Queiroz, Planning Commissioner Susan Burnett, Planning Commissioner Emily Thomas and Committee Member Alan Feinberg.

Absent: None.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. Draft Minutes of the November 19, 2025, Historic Preservation Committee Meeting

**MOTION:**                    **Motion by Vice Chair Queiroz to approve the Consent Calendar.  
Seconded by Committee Member Feinberg.**

**VOTE:**                    **Motion passed unanimously, (5-0)**

**PUBLIC HEARINGS**

2. 310 Tait Avenue  
Minor Residential Development Application MR-25-016

Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Non-Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-14-058. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner/Applicant: Santiago Allende. Project Planner: Erin Walters.

Erin Walters, Senior Planner, presented the staff report.

Opened Public Comment.

Committee members asked questions of Staff.

Applicant presented the project.

Donna Chivers, Applicant

- The redesigned home now meets all zoning requirements for lot setbacks, height, and FAR. The lower-level massing was decreased by 46 square feet. The side entrance stairs were moved towards the back to minimize visibility. The size of the main house is 1,033 square feet, and 1,401 square feet when including the ADU. Two upper-level bedrooms have been added. They are expanding the main structure by five feet. The existing materials will remain intact. Any new material will match. The new aluminum-clad windows and painted wood trim will match. The chimney will remain and any new brick will match. The height, gable pitch, and façade are consistent with the neighborhood.

Committee members asked questions of the applicant.

Closed Public Comment.

Committee members discussed the matter.

**MOTION:**                      **Motion by Commissioner Burnett** to Recommend Approval to the Community Development Director to Construct a New Second-Story Addition to an Existing Non-Contributing Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-14-058. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. With the Condition to Change the Sliders at the Rear Elevation to French Doors and to Work with Staff to Consider the Window Materials Supported by the Committee. **Seconded** by **Commissioner Thomas**.

**VOTE:**                      **Motion passed unanimously, (5-0)**

3. 249 Los Gatos Boulevard  
Request for Review Application PHST-25-027.

Consider a Request for Approval to Construct an Addition and Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 529-24-024. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Michael Gorini. Applicant: Michael Dern. Project Planner: Ryan Safty.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Michael Dern, Architect

- The ADU is attached from the second story to the main building on the first floor. There is a deck in the back. The enclosed stairs will use materials that match the roof, walls, windows, and style of the main house. There is a drive aisle on the side where you will see a small portion of the enclosed stairwell. They are adding twenty square feet. They designed the back roof area to be less visible.

Committee members asked questions of the applicant.

Closed Public Comment.

Committee members discussed the matter.

**MOTION:**                      **Motion by Vice Chair Queiroz** to Recommend Approval to the Community Development Director to Construct an Addition and Exterior Alterations to a Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 529-24-024. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. **Seconded by Committee Member Feinberg.**

**VOTE:**                      **Motion passed unanimously, (5-0)**

**OTHER BUSINESS** *(Up to three minutes may be allotted to each speaker on any of the following items.)*

4. 313 University Avenue  
Request for Review Application PHST-25-026

Consider a Request for Preliminary Review to Demolish an Existing Contributing Single-Family Residence and Construct a New Single-Family Residence Located in the University-Edelen Historic District on Property Zone C-2:LHP. APN 529-04-063. CEQA Review is Pending. Property Owner/Applicant: Frank Delgado. Project Planner: Sean Mullin.

Sean Mullin, Project Planner, presented the staff report.

Opened Public Comment.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF DECEMBER 17, 2025

Applicant presented the project.

Jake Gabeau, Applicant

- It was red tagged in 2018. It has vinyl windows and a hodge podge of materials. It is in imminent danger of collapse. They plan to rebuild it to a livable unit. They want to keep it the same but better.

Committee members asked questions of the applicant.

Chris Riley, Resident

- They live down the street. On Roberts Road there was a similar house that now has four townhouses. You don't know what is original and historic. It goes back to a fence and a parking lot. It's a real mish mosh. It is not worth saving.

Closed Public Comment.

Committee members discussed the matter and provided feedback.

- Return for another preliminary review.
- Salvage as much material as you can.
- Consider a detached garage.
- Provide a historic report.
- Staff can give guidance to the applicant.

5. 318 Los Gatos Boulevard

Request for Review Application PHST-25-028.

Consider a Request for Preliminary Review to Construct Additions and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 532-36-032. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Robert Sohigian. Applicant: Tom Krulevitch, Krulevitch Architecture, P.C. Project Planner: Sean Mullin.

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Tom Krulevitch, Architect

- The Dutch colonial revival was built in 1931. The head height of the basement was raised. Front porch that will match the style with a wing on either side. Adding a rear balcony. They want to integrate the balcony and balustrade on the pergola.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF DECEMBER 17, 2025

Robert Sohigian, Owner,

- Their neighbors have all responded in support of a balcony on the pergola. They plan to live in the house for a long time. The wife's parents will be moving in. They want to expand the basement and have a porch for them to watch ducks. They love the house.

Committee members asked questions of the applicant.

Closed Public Comment.

Committee members discussed the matter and provided feedback.

- Consider modifying the railing to match and meet code.
- Match the second story French doors to the existing first-floor doors.
- Make the stair extension more angular in shape if possible.

### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

On December 2, 2025, the Town Council received the letter from HPC. The Mayor made a motion which was approved unanimously. He moved that staff evaluate the level of effort and the feasibility of the following items:

1. Preserving small homes
2. Reviewing the boundaries of Historic Districts
3. Refreshing the Bloomfield Survey
4. Considering replacement structures by historic relevance
5. Revising the pre 1941 benchmark to a 70-year rolling benchmark
6. Updating and clarifying definitions for required findings to determine status

The next step will not start until the conclusion of the Objective Standards process

### **COMMITTEE MATTERS**

None.

### **ADJOURNMENT**

The meeting adjourned at 6:06 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the December 17, 2025 meeting as approved by the Historic Preservation Committee.

---

Sean Mullin, AICP, Planning Manager

***This Page  
Intentionally  
Left Blank***



**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

MEETING DATE: 01/28/2026

ITEM NO: 2

---

DATE: January 23, 2026  
TO: Historic Preservation Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:10. **Located at 8 Central Court.** APN 529-35-034. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-26-001. Property Owner: William Holt and Elizabeth LaSorsa. Applicant: Joel Stieber. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:10 located at 8 Central Court.

PROPERTY DETAILS:

1. Date primary structure was built: 1906 per County Assessor
2. Bloomfield Preliminary Rating: "+" – historic and intact or worthy of special note
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

BACKGROUND:

The applicant is requesting approval to remove the pre-1941 residence from the Historic Resources Inventory. The property is currently addressed as 8 Central Court but was addressed as 9 Central Court in the past. The Santa Clara County Assessor's Database lists a construction date of 1906. The 1990 Anne Bloomfield Survey estimates the construction date as 1910s and provides a preliminary rating of "historic and intact or worthy of special note" (Attachment 1). The property is not within the coverage of the Sanborn Fire Insurance Maps.

PREPARED BY: Sean Mullin, AICP  
Planning Manager

---

Town records for the property include a 2017 reroof permit and records of the August 6, 1992, Historic Preservation Committee discussion of the possibility of demolishing the residence at the request of a perspective buyer (Attachment 2). The Committee concluded at the time that the residence should be saved.

DISCUSSION:

The applicant provided a Letter of Justification with their submittal, which includes a request to remove the residence from the inventory and information on the history of the residence (Attachment 3). The applicant's letter indicates that the residence no longer retains sufficient historical, architectural, or structural integrity. Additionally, the applicant indicates that the integrity of setting, design, and structure have been significantly diminished due to loss of outbuildings, façade changes, and structural instability. The letter outlines the following changes to the residence:

- Construction of new cement walls, gates, and concrete steps at the front entry.
- Siding and exterior trim replacement inconsistent with original materials.
- Additions constructed directly on soil without a foundation that now obscure much of the original front façade and are in severe disrepair.

Additional materials provided by the applicant include a foundation inspection report, a home inspection report, and a termite inspection report (Attachments 4, 5, and 6). The inspection reports detail deficiencies with the residence related to its foundation, structural integrity, water damage, and termites.

CONCLUSION:

Should the Committee find that the findings for removal can be made, a recommendation of approval would be forwarded to the Community Development Director. Once approved by the Director, the property would be removed from the inventory and any proposed alterations or redevelopment of the property would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

\_\_\_\_\_ In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;



2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Town Records
3. Letter of Justification
4. Foundation Inspection Report
5. Home Inspection Report
6. Termite Inspection Report
7. Plot Map Oak Hill Subdivision

***This Page  
Intentionally  
Left Blank***

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

File address 9 end Central Court

PARCEL MAP INFORMATION

Parcel # 529-35-034 Lot size: 2 front ft. x        ft. deep

Lot shape: Rectangle    L    Rectangle with small rear jog    Other irreg

Location: N    S    E    W    side of C St    Ave    Other CT

10+ back onto Groves +  
distance to cross st: 6.175 ft. N    S    E    W    from Central Ave

at NE    NW    SE    SW    corner of   

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Hildebrand Old Block # 2 Old lot # 20

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1910s Style Craftsman # stories   

Alterations   

Other lost in verdure

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date   

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date   

County Inventory 1979   

Town of Los Gatos: Designation    Recognition   

District Name   

Previous Survey   

Gebhard: page #    illustration page #   

Butler/Junior League   

PHOTOS: Roll/frame # 023/345 Date 18-1-90





Street:

Informant:

Central CourtHolden

House number:

Phone:           9Present owners: Mrs. L.V. RudolphPhone:           Estimated construction date: 1909-verified by Mrs. Rudolph

Builder:

Lawrence Erickson

Ownership:

Original: Lawrence & Bessie Erickson 1909

Occupation:

19\_\_:

" "

(year of purchase)

19\_\_:

" "

19\_\_:

" "

19\_\_:

" "

(Present owner)

19\_\_:

Louella V. Rudolph

" "

Occupants:

19\_\_:

Occupation:

19\_\_:

" "

19\_\_:

" "

19\_\_:

" "

History:

(Please identify information source.)

Lawrence Erickson was the brother of John Erickson of Jackson Street. The late Hulda Erickson (daughter of John Erickson) is the Aunt of Mrs. Rudolph. The present owner was born in this house in 1913. Bessie Erickson used to help with the Census taking in the 1920s. Ericksons were among the original families in Los Gatos and Mrs. Rdlph. can remember as a little girl seeing the names of Lawrence and John Erickson along with two others, etched in marble on the columns of the old Los Gatos bridge.

Return to:  
8 Alpine Ave.  
Los Gatos, Ca.

Remodeling: (Please identify information source and year of change.)

The home is exactly as it was the year it was built. The old bathtub, etc. is still in the house and in use.

Mrs. Rudolph requests that this home NOT be included in the book coming out next year.



ITEM 6:

OTHER BUSINESS**9 Central Court**

The Committee discussed the possibility of demolishing the single family residence at 9 Central Court. It was the consensus of the Committee that the existing Craftsman\Bungalow style house fit with the character of what Los Gatos used to be, the elements of the house fit with the site and therefore the residence should be saved.

**Attendance**

The Committee unanimously agreed to change their meeting time from 5 pm to 5:30 pm.

ITEM 7:

**STATUS OF PREVIOUS APPLICATIONS**

Baily informed the Committee on actions taken by the Planning Commission and Town Council on previous applications that were before the Committee.

Item 8:

**APPROVAL OF MINUTES**

The Committee reviewed the minutes for the meeting of July 7, 1992 and approved the minutes.

**ADJOURNMENT**

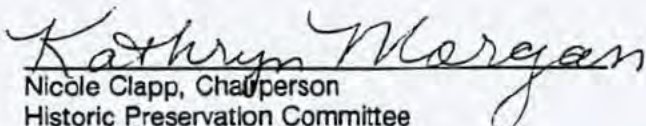
At 7:05 P.M. to the next scheduled meeting in September.

Prepared by:

Approved by:

  
Sandy L. Baily, Planner

L29\misc\hpc.aug

  
Nicole Clapp, Chairperson  
Historic Preservation Committee  
Acting Chair

ATTACHMENT 2



July 28, 1992

Diane and Mike Michaelis  
85 College Ave.  
Los Gatos, CA 95032

Niki Clapp  
Kathy Morgan  
Marsha Allmand  
Leslie Dill  
Pat Anderson

Dear Historical Review Committee Members,

We would like to be on the agenda of the Historical Review committee meeting, August 4, 1992.

My husband and myself are under contract to buy parcel #529-35-034, located at 9 Central Ct., Los Gatos. We have until August 24th to determine if we are able to build a home on the property. The lot is 7776 square feet. Currently there is an old house on the property, that would need to be removed to enable us to build a home that would be practical and suitable for us.

We researched the feasibility of restoring the existing structure, but found several restricting factors. Two builders and an architect who visited the site concurred that, given the poor condition of the existing structure, restoration would require extensive repair and replacement that would be cost prohibitive. Also, the size of the original home is approximately 1000 square feet, which would restrict its suitability for normal family use. Finally, the lack of a garage would further impact the already overly congested on-street parking condition adjacent to the parcel. A further explanation of these conditions will be provided by our Architect, Spaulding/McKay.

In checking with Anne Bloomfield, she said she had given the existing structure a (+) rating, only because it appeared to be in its original state. She went on to say that it was not in an historical district and it was not one of the homes in town that she determined needed to be earmarked to be saved.

For the meeting, we will provide photographs of the existing structure, which is predominantly obscured from street view, and the surrounding area. We will also submit some preliminary drawings, prepared by Chris Spaulding, of the home we are considering building.

Our interest is to build a home that is consistent with the town's requirements and appropriate for the neighborhood. We have begun a dialogue with the neighbors and will continue to communicate with them before and during the building process.

Unfortunately, due to prior out of town commitments, we will be unable to attend the meeting ourselves. Gregory Howell, the real estate agent representing the sellers of this property, will attend in our place.

Thank you for your time!

*Diane and Mike Michaelis*

Diane and Mike Michaelis  
85 College Ave.  
Los Gatos, CA 95032

home (████) █████-████  
work (████) █████-████4

Gregory Howell (408) █████-████ Listing agent (will attend meeting)  
Ducky Grabill (408) █████-████ Selling agent





7-28-92

Town of Los Gatos Historic Committee  
Civic Center, East Main Street  
Los Gatos, CA 95032

RE: 9 Central Court (18 Grove Street)

#### ARCHITECTURAL REPORT

The existing structure at 9 Central Court is a spare version of a craftsman style bungalow. This particular dwelling does not exhibit any unique detailing, but it has the general form characteristic of the style, including a large gable roof with eave brackets, shingle siding, and a wide porch (now enclosed). The most notable aspect of this building is that it has not been drastically altered or remodeled. Save for a poorly added extension off the front porch and for the enclosure of the porch, the house is in its original form.

In deciding what value this building holds for the Town and society, I would consider that it is too remote from public view and too lacking in unique detailing to warrant protection. Furthermore, the houses surrounding the property are not historic and, at best, constitute an eclectic collection of styles.

#### STRUCTURAL REPORT

This building is in poor repair, but is not beyond renovation. It lacks a foundation, modern wiring, plumbing and

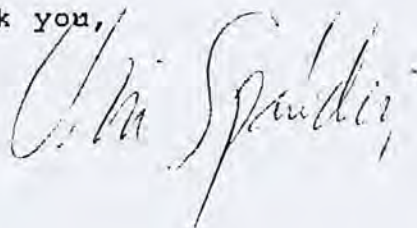


heating. It needs a new roof, new shingle siding, and new exterior stairs. To renovate this building would require stripping it to its frame, lifting it to install a foundation, and then essentially building a new structure on an old skeleton.

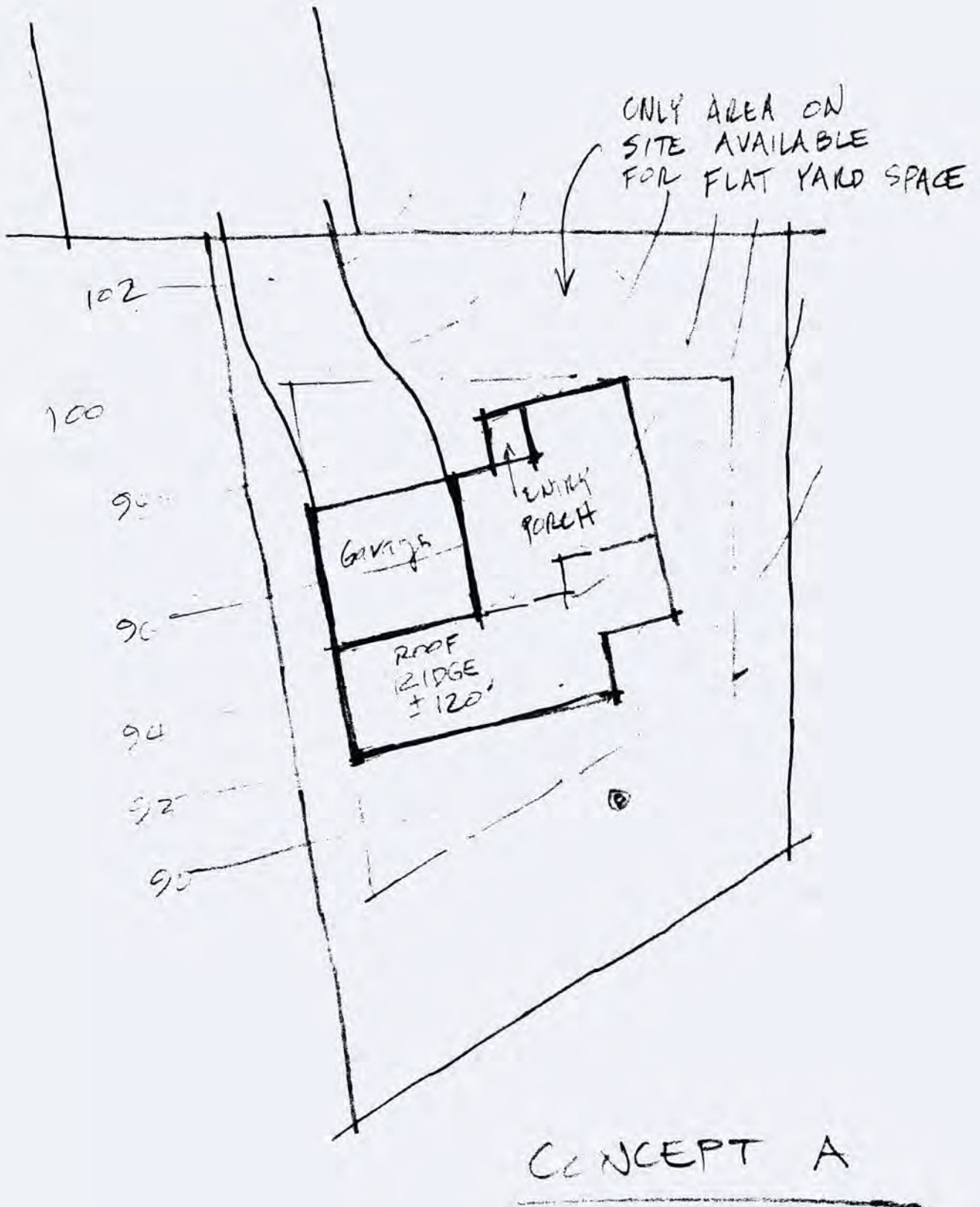
### CONCLUSION

While it would be possible to renovate this building, I don't feel that it is feasible. Firstly, to restore the building to its original form would be very costly and would result in a house that is small and lacking in modern amenities (such as a garage). As a result, I don't think anyone will restore the house to its original form. Secondly, to renovate and enlarge the house (perhaps even moving it to allow for a garage) so that it would be more suitable to modern lifestyles would alter it to the point that the original would be essentially destroyed anyway. Therefore, I regret to say that I would recommend the demolition of this house.

Thank you,

A handwritten signature in cursive script, appearing to read "Chris Spaulding".







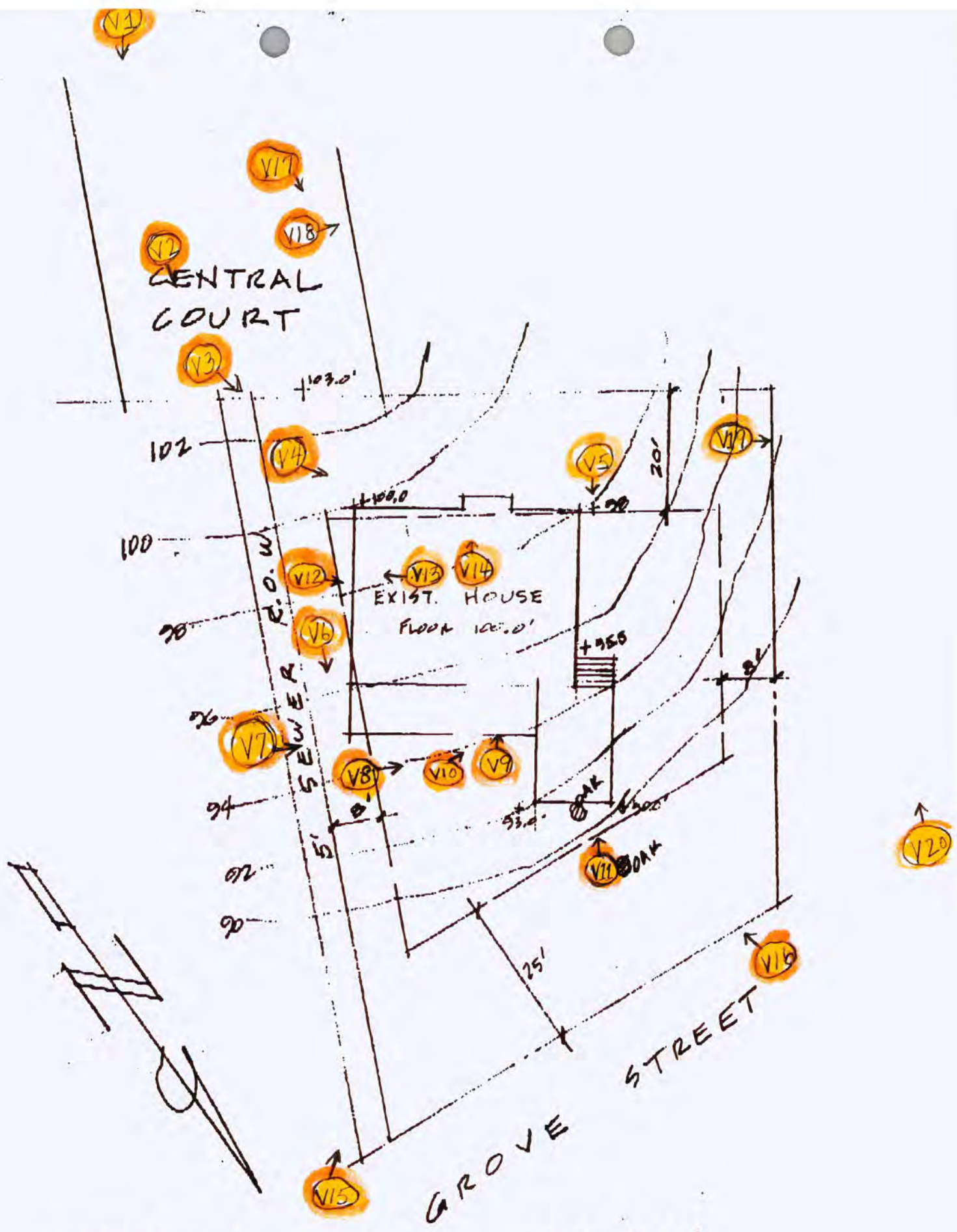


VIEW FROM SOUTH

MICAELIS RESIDENCE  
CONCEPT SKETCH

9 CENTRAL COURT

2500 SQ. FT. ±



# APPROX. SITE PLAN

1" = 20'

9 Central Court





**Intersection Central Court & Central Avenue (facing North)**      **VIEW V1**



**Central Court (North end)**      **VIEW V2**





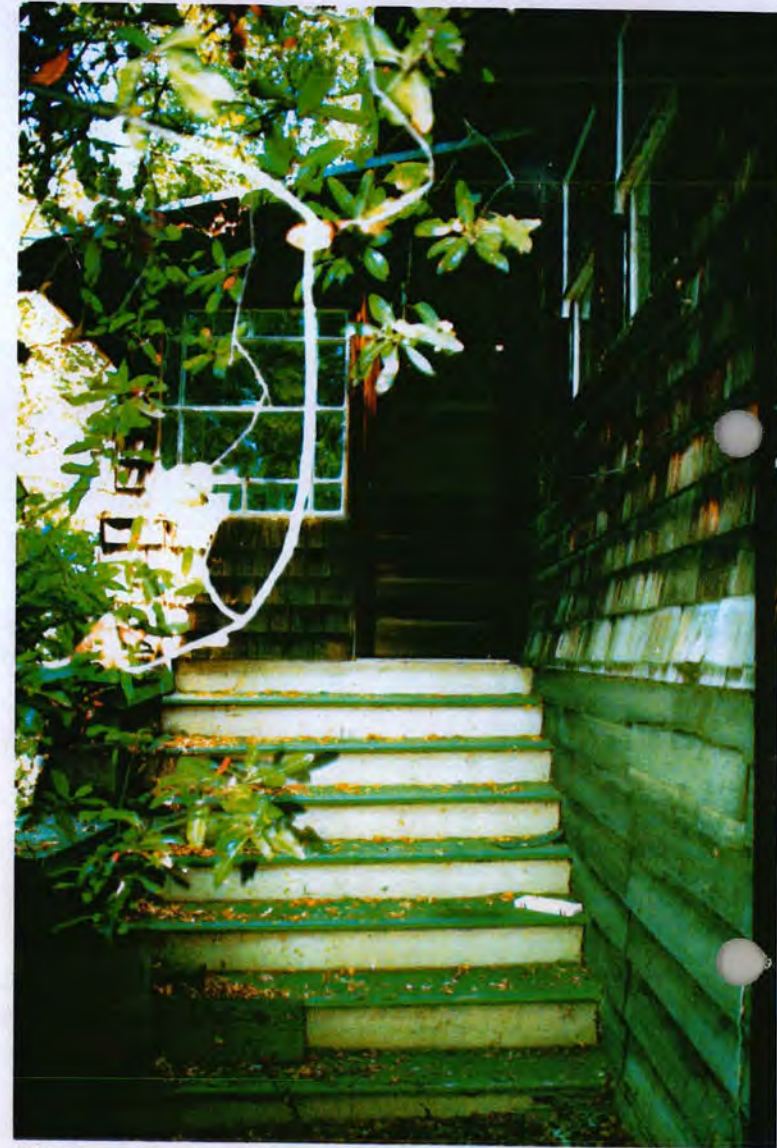
#9 Central Court - Southeast Corner from Street

VIEW V3



#9 Central Court - View from Southeast Corner of Property Line

VIEW V4



#9 Central Court - Southwest Corner

VIEW V5





#9 Central Court - West Side VIEW V6



#9 Central Court - Northwest Corner

VIEW V7



#9 Central Court - North Side

VIEW V8





#9 Central Court - North side

VIEW V9



Central Court - North side

VIEW V10



#9 Central Court - North side

VIEW V11





#9 Central Court - Basement View VIEW V12



#9 Central Court - Basement Access - West Side of House

VIEW V13



#9 Central Court - Basement View

VIEW V14





#9 Central Court - View from Grove Street - North Side of House Visible

VIEW 125



#9 Central Court - View from Grove Street - Northwest Side of House Visible

VIEW 110





Neighboring House - #10 Central Court

VIEW V17



Neighboring House - #70 Grove St (from SW Corner of #9 Central Ct)

VIEW V19



Neighboring House - #10 Central Court

VIEW V18



Neighboring House - #70 Grove St

VIEW V20





Intersection Central Court & Central Avenue - Southwest Corner



Intersection Central Court & Central Avenue - Northeast Corner



July 28, 1992

Diane and Mike Michaelis  
85 College Ave.  
Los Gatos, CA 95032

Niki Clapp  
Kathy Morgan  
Marsha Allmand  
Leslie Dill  
Pat Anderson



Dear Historical Review Committee Members,

We would like to be on the agenda of the Historical Review committee meeting, August 4, 1992.

My husband and myself are under contract to buy parcel #529-35-034, located at 9 Central Ct., Los Gatos. We have until August 24th to determine if we are able to build a home on the property. The lot is 7776 square feet. Currently there is an old house on the property, that would need to be removed to enable us to build a home that would be practical and suitable for us.

We researched the feasibility of restoring the existing structure, but found several restricting factors. Two builders and an architect who visited the site concurred that, given the poor condition of the existing structure, restoration would require extensive repair and replacement that would be cost prohibitive. Also, the size of the original home is approximately 1000 square feet, which would restrict its suitability for normal family use. Finally, the lack of a garage would further impact the already overly congested on-street parking condition adjacent to the parcel. A further explanation of these conditions will be provided by our Architect, Spaulding/McKay.

In checking with Anne Bloomfield, she said she had given the existing structure a (+) rating, only because it appeared to be in its original state. She went on to say that it was not in an historical district and it was not one of the homes in town that she determined needed to be earmarked to be saved.

For the meeting, we will provide photographs of the existing structure, which is predominantly obscured from street view, and the surrounding area. We will also submit some preliminary drawings, prepared by Chris Spaulding, of the home we are considering building.

Our interest is to build a home that is consistent with the town's requirements and appropriate for the neighborhood. We have begun a dialogue with the neighbors and will continue to communicate with them before and during the building process.

Unfortunately, due to prior out of town commitments, we will be unable to attend the meeting ourselves. Gregory Howell, the real estate agent representing the sellers of this property, will attend in our place.

Thank you for your time!

*Diane & Mike Michaelis*

Diane and Mike Michaelis  
85 College Ave.  
Los Gatos, CA 95032

home

work

Gregory Howell  
Ducky Grabill

Listing agent (will attend meeting)  
Selling agent



# RECORD OF SURVEY

CONSISTING OF ONE (1) SHEET  
A SURVEY OF LOTS 70, 71, 72, 73, AND 74  
OF THE OAK HILL SUBDIVISION  
RECORDED ON OCTOBER 18, 1888 IN BOOK D OF MAPS AT PAGE 35  
SITUATED IN THE TOWN OF LOS GATOS,  
COUNTY OF SANTA CLARA, CALIFORNIA

**NA** Nowack & Associates, Inc.  
Civil Engineers / Surveyors  
2775 Park Ave.  
Santa Clara, CA. 95050  
(408)243-4066

## SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY  
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND  
SURVEYORS' ACT AT THE REQUEST OF JOHN LIEN IN NOVEMBER, 1991.

PAUL E. NOWACK  
R.C.E. NO. 18764  
EXPIRATION DATE: 6/30/93

## COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF  
THE LAND SURVEYORS' ACT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1991.

COUNTY SURVEYOR  
R.C.E. NO.  
EXPIRATION DATE

## RECORDERS STATEMENT

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1991, AT \_\_\_\_\_ M  
IN BOOK \_\_\_\_\_ OF MAPS, AT PAGE \_\_\_\_\_ AT THE REQUEST OF NOWACK AND  
ASSOCIATES, INC.

## COUNTY RECORDER

## LEGEND

- FOUND AS NOTED
- SET 3/4" IP RCE 19764
- ( ) RECORD MEASUREMENT PER REFERENCE
- CENTERLINE
- PROPERTY LINE
- RECORD LOT LINE PER D-M-35
- FENCE LINE
- BUILDING LINE

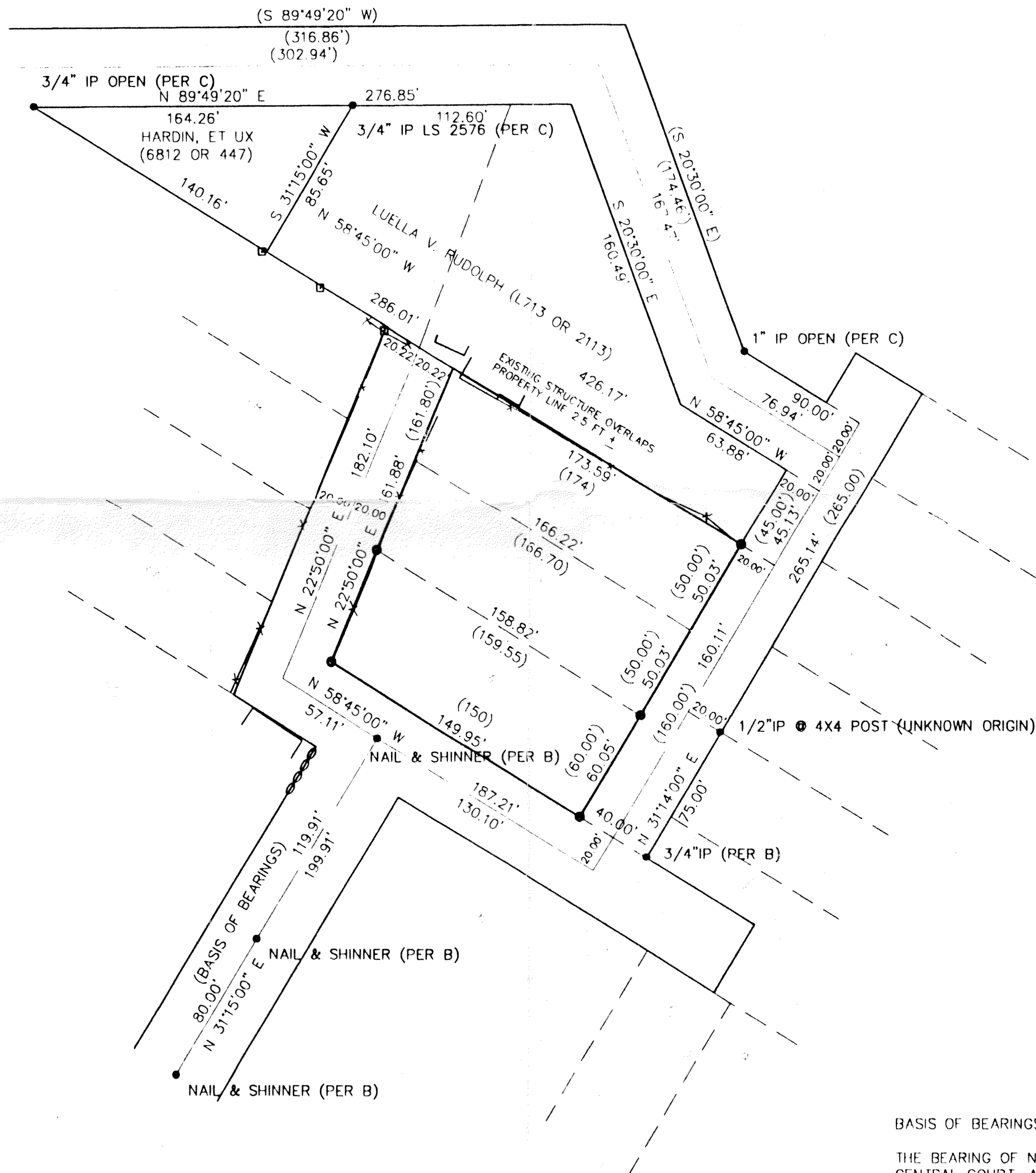
## REFERENCES

### DEEDS

- 1 L713 OR 2113 (5/15/91)
- 2 4618 OR 106 (11/25/59)
- 3 6812 OR 477 (1/13/65)
- 4 208 DEEDS 448 (5/8/1898)

### MAPS

- A MAP OF THE OAK HILL SUBDIVISION (D-M-35)
- B RECORD OF SURVEY (245-M-2)
- C UNRECORDED SURVEY PREPARED BY MARK THOMAS AND  
COMPANY - DATED NOVEMBER 1958. THIS DOCUMENT  
WAS PROVIDED TO THIS FIRM BY LUELLA RUDOLPH.



## BASIS OF BEARINGS

THE BEARING OF NORTH 31°15' EAST OF THE CENTERLINE OF  
CENTRAL COURT, AS SHOWN UPON THAT CERTAIN RECORD OF  
SURVEY FILED IN BOOK 245 OF MAPS, PAGE 2, SANTA CLARA  
COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS  
SHOWN UPON THIS MAP.



## **Historic Preservation Committee – Request for Review**

Property: 8 Central Avenue (formerly 18 Grove Street), Los Gatos, CA

Owners/Applicants: William Holt and Elizabeth LaSorsa

Date: 11/17/2025

Town of Los Gatos – Historic Preservation Committee

110 E. Main Street

Los Gatos, CA 95030

Subject: Request to Remove 8 Central Avenue from the Town's Historic Inventory

Dear Members of the Historic Preservation Committee,

We respectfully submit this request to remove 8 Central Avenue from the Town's Historic Inventory. Extensive research, documentation, and professional evaluations show that this residence no longer retains sufficient historical, architectural, or structural integrity to warrant continued inclusion.

### **1. Loss of Historical Integrity Through Parcel Subdivision**

At one time, 8 Central Avenue, 5 Central Court, and 10 Grove Street were part of a single larger parcel that included barns and storage outbuildings. These were demolished in 1966 and 1993, and the parcels were subsequently subdivided and redeveloped. This subdivision destroyed the contextual setting that once gave the property historical cohesion. With the loss of the accessory buildings and original lot configuration, 8 Central no longer conveys the scale, use, or sense of place of the original property.

### **2. Absence of Historical or Personal Significance**

No evidence could be found that the home, its builder, or its occupants were associated with events or persons significant to Los Gatos history. The original owner, Andrew L. Erickson, operated an automotive shop in town, but there is no record of any notable contribution connected specifically to this residence. No documentation indicates civic, architectural, or cultural significance to the Town of Los Gatos.

### **3. Substantial Exterior Alterations and Site Changes**

Multiple additions and hardscape modifications have permanently altered the original façade and setting of the home. Recent and past changes include:

- Construction of new cement walls, gates, and concrete steps at the front entry.
- Re-siding and exterior trim replacement inconsistent with original materials.
- Additions constructed directly on soil without a foundation that now obscure much of the original front façade and are in severe disrepair.

These changes have fundamentally changed the home's appearance and architectural authenticity. The main façade is no longer visible or safely accessible from the street, eliminating any public visual contribution to the town's historic character. The manner in which the property was subdivided left no allowance for a driveway and the original garage location was split across three parcels.

### **4. Structural and Safety Deficiencies**

Engineering and contractor evaluations indicate the home is built on a mudsill and lacks a continuous perimeter foundation. The structure leans toward Grove Street due to settling. The estimated cost of stabilization and repair exceeds two hundred thousand dollars, representing extensive reconstruction rather than restoration.

The framing is simple nail-attached stud construction with cedar shingles—materials and methods still common today and not of historical or architectural rarity. The current owners are retired and do not have the financial means or access to financing for such major restoration, making theoretical preservation economically infeasible.

### **5. Failure to Meet the Town's Findings for Historic Merit**

Per the Town's criteria, to remain on the Historic Inventory a structure must retain historic integrity and demonstrate architectural or historical significance. Based on the above:

- The structure is not associated with significant events or persons.
- Distinctive characteristics of type, period, or method of construction have been compromised by subdivision and alteration.
- The integrity of setting, design, and structure has been significantly diminished due to loss of outbuildings, façade changes, and structural instability.

As a result, the property no longer conveys potential historic or architectural significance as originally intended.

### **6. Conclusion**

Considering the cumulative loss of setting, extensive physical alteration, severe structural damage, and lack of documented historical association, 8 Central Avenue no longer satisfies the criteria for historic inclusion. We respectfully request that the Historic Preservation Committee approve this application to remove the property from the Town's Historic Inventory so that necessary repairs and site improvements can proceed without undue

restriction.

Thank you for your time and thoughtful consideration. Supporting documentation and inspection reports will be provided with this request.

Sincerely,

A handwritten signature in black ink, appearing to read "William Holt and Elizabeth LaSorsa".

William Holt and Elizabeth LaSorsa  
Owners, 8 Central Court, Los Gatos, CA

Attachments: 6 Photos of the House at 8 Central Court



Original front, facing 18 Grove Street (north side of house)





Current street view facing Central Court (south side of house)



Northeast Corner looking South



Southwest Corner looking East (house is on the left, outbuilding constructed in 2000 on the right)





West side of house looking East

Northwest Corner looking East (added in the 1950s, no foundation)





**FOUNDATION INSPECTION SERVICES**  
A DIVISION OF GCD INC.

# **Amendment 1 to GCD's Foundation Inspection and Condition Assessment Report for 8 Central Court, Los Gatos, CA 05/31/2025**



GCD J25-163(Amendment 1)

8 Central Court, Los Gatos, CA

Page 1 of 4

**GEOTECHNICAL CONSTRUCTION & DESIGN, INC.**

7236 Via Mimosa, San Jose, CA 95135

Email: gcdinc94@aol.com

Phone: 408.812.4355

ATTACHMENT 4



**FOUNDATION INSPECTION SERVICES**  
A DIVISION OF GCD INC.

May 15, 2025

Ms. Irina Bondar  
467 1st Street, Suite #200  
Los Altos, CA 94022

**AMENDMENT 1 TO GCD's FOUNDATION INSPECTION  
& CONDITION ASSESSMENT REPORT FOR  
8 CENTRAL COURT, LOS GATOS, CA**

Dear Ms. Bondar,

In response to the property owner's request, we completed a follow up inspection of the home's foundation and prepared this amendment to the foundation inspection and site drainage analysis report we issued on 05/15/25. Our follow up inspection was made, and this amendment to our initial condition assessment report was prepared, by a trained and experienced, licensed Professional Engineer and General Engineering Contractor. The terms and conditions included in our initial report shall apply to this amendment. Our follow up perimeter and subarea reconnaissance, performed on May 31, 2025, was limited to accessible areas of the home's crawl space and the immediately adjacent property (refer to both reports for a full understanding). Access throughout the crawlspace may have been limited by height restrictions and obstructions.

The 119-year-old home at 8 Central Court in Los Gatos, reportedly built in 1906, was originally likely a single-story wood-framed structure, now featuring a converted attic space used as living space. The original construction placed the mudsill directly on soil or on very shallow concrete pads that do not provide the support of a proper footing, with interior pier posts similarly set on soil or non-structural pads. This method lacks modern resistance to moisture damage, differential settlement, and seismic activity.

In the course of my follow up inspection I was able to confirm that the property owner had added two left to right running girders that appear to be supported on well founded piers along with related foundation improvements. The resulting pier and post support system has added significant resistance to the lateral loads associated with earthquake forces. Never-the-less, the absents of suitable tiedowns connecting the structure to the foundation and cripple wall bracing at the structure's perimeter are critical deficiencies that should be properly addressed to ensure the long term serviceability of the structure.

**GCD J25-163(Amendment 1)**

**8 Central Court, Los Gatos, CA**

**Page 2 of 4**

**GEOTECHNICAL CONSTRUCTION & DESIGN, INC.**

7236 Via Mimosa, San Jose, CA 95135

Email: gcdinc94@aol.com

Phone: 408.812.4355





## FOUNDATION INSPECTION SERVICES

A DIVISION OF GCD INC.

We recommend complete replacement of the foundation with a code compliant, continuous perimeter, reinforced concrete, spread footing or pier and grade beam foundation system that includes seismic bracing, and suitable anchorage. Estimated cost: **\$250,000.00**. This estimate includes foundation work only and does not include necessary framing repairs, cosmetic restoration, or replacement of utilities. Given the condition of the structure and the scope of necessary upgrades, demolition and reconstruction may also be considered as part of long-term planning for this property. In either case, GCD Inc. is not interested quoting the work.

**GEOTECHNICAL CONSIDERATIONS:** The home lies within the influence zone of the San Andreas Fault and is subject to elevated seismic risk. The lack of a conventional foundation, absence of shear or cripple wall reinforcement, unanchored framing, and undermined support areas significantly increase the home's vulnerability to earthquake damage. These combined deficiencies render the structure unsafe in the event of moderate to strong seismic activity. We strongly recommend full replacement of the foundation with a well reinforced and properly anchored, continuous perimeter, spread footing or pier and grade beam foundation system.

Acceptance and use of this amendment to our initial report binds the parties to the limitations and conditions included in it as well as those included in our initial report. Should GCD and/or its agents or employees be found liable for any loss or damages resulting from a failure to perform any of its obligations, including and not limited to negligence, breach of contract, or otherwise, then the liability of GCD and/or its agents or employees shall be limited to a sue equal to 5 times the amount of the fee paid by the Customer for the inspection and this condition assessment report. It has been a pleasure providing you with a professional foundation inspection and site drainage assessment and this amendment to our initial report. Please do not hesitate to call if we may be of further assistance or if you have any questions or concerns.

Very truly yours,

Jason Drew, GCD Inc.  
Foundation Engineer and Drainage Specialist

Reviewed and approved by,



George E. Drew, P.E., GCD, INC.  
California Professional Engineer license #20681  
Member American Society of Civil Engineers I.D. #19732B  
Member National Society of Professional Engineers  
General Engineering Contractor license #A64788  
Certified Inspection Engineer (BIECI)



**FOUNDATION INSPECTION SERVICES**  
A DIVISION OF GCD INC.

# INVOICE

May 15, 2025

Ms. Irina Bondar  
467 1st Street Suite #200  
Los Altos, CA 94022

Phone: 650-438-9118  
Email: irina@sereno.com

## DESCRIPTION OF SERVICES:

FOUNDATION INSPECTION AND CONDITION ASSESSMENT  
8 Central Court, Los Gatos, CA

**TOTAL AMOUNT DUE: \$795.00**

**TERMS:** Please include report no. (**J25-163**) on check payable to **GCD** & send to:  
**GCD, 14365 La Rinconada Drive, Los Gatos, CA. 95032.** Total due within 7 days.

*It's been a pleasure doing business with you. Thanks for the work!  
And, don't hesitate to call me if you have any questions or concerns.*

*Jason and George*  
**952-426-8807**      **408 812 4355**



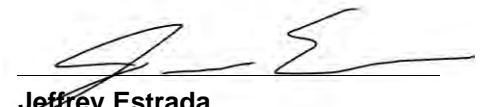
## Home Inspection Report



**8 Central Court, Los Gatos**

**Ordered by: Peter Myers**  
Coldwell Banker Real Estate  
410 N. Santa Cruz Avenue  
Los Gatos, CA 95030

**Inspected by:**

  
**Jeffrey Estrada**  
September 18, 2024



## Table of Contents

---

<b>Report Overview</b>	<b>3</b>
<b>Structure</b>	<b>13</b>
<b>Roofing</b>	<b>15</b>
<b>Exterior</b>	<b>16</b>
<b>Electrical</b>	<b>19</b>
<b>Heating System</b>	<b>21</b>
<b>Cooling/Heat Pump System</b>	<b>22</b>
<b>Insulation/Ventilation</b>	<b>23</b>
<b>Plumbing</b>	<b>24</b>
<b>Interior</b>	<b>26</b>
<b>Photographs</b>	<b>29</b>
<b>Maintenance Advice</b>	<b>39</b>

# Report Overview

## A GENERAL DESCRIPTION OF THE STRUCTURE

This is a two story single family dwelling. Based on the information provided, the structure was built in 1906. Ongoing maintenance is required and improvements to the systems of the home will be needed over time.

### WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

## ! - IMMEDIATE RECOMMENDED IMPROVEMENTS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported by photographs. If more than one photograph is available for a particular item, additional photographs can be found at the end of the report in the section entitled 'Photographs'. Please contact HomeGuard if you have any questions.

### Structure

1. The wood members under the left front corner and various areas show evidence of water damage. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 58) (See Photo 59)
2. Wood/soil contacts at the crawl space should be eliminated. This condition is conducive to rot and wood boring insect activity. We recommend a minimum clearance of six inches be maintained between the soil and the bottom of the wood line. (See Photo 43)
3. Substantial interior floor sloping, drywall cracking and/or exterior cracking was observed in the structure. This implies that structural movement of the building may have occurred. The rate of movement cannot be predicted during a one-time inspection. A structural engineer should be consulted for further evaluation of this condition. (See Photo 17) (See Photo 37)

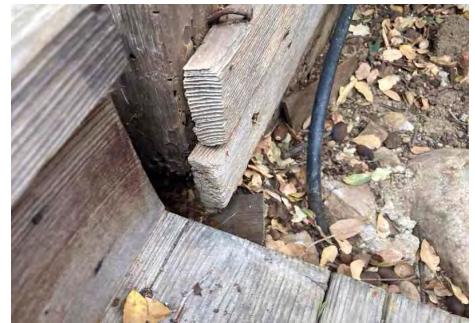


Photo 58



Photo 43



Photo 17

**Structure**

4. The foundation for the addition is wood mudsill. This is not considered a true foundation as this term applies to present building standards. The mudsill for conventional foundations is the first wood member, usually a 2"x 6" or 2"x 8" treated lumber, to be placed over the top of the concrete foundation stem wall, it is then secured to the foundation with anchor bolts. In this case, there is not a concrete foundation, only wood directly in contact with the soil. This exposes this structure to various forms of wood damaging organisms and activity. Additionally, there is no method that will effectively secure this structure for earthquake safety. A structural pest control operator and a licensed foundation specialist should be consulted. (See Photo 14)



Photo 14

5. Personal storage was blocking access to the basement/crawl space area. Therefore, the back area is considered inaccessible and was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 41) (See Photo 42)



Photo 41

**Exterior**

6. Shingle siding is missing and/or loose from the exterior wall. We recommend they be replaced to restore both cosmetic appearance and maximum protection for the underlying surface. (See Photo 20)



Photo 20

7. Cracked or broken exterior window glass at the back wall and various areas should be replaced. (See Photo 4) (See Photo 5) (See Photo 25)



Photo 04

8. The window at the front and right side wall shows evidence of water damage to the sill/jamb. We recommend the advice and services of a general contractor and/or structural pest control company regarding repairs. (See Photo 28) (See Photo 53)



Photo 28



**Exterior**

9. The window frames/sash at the right side wall shows evidence of water damage. We recommend the advice and services of a general contractor and/or structural pest control company regarding repairs. (See Photo 27) (See Photo 31)



Photo 27

10. Water damage was noted at the back storage shed door. We recommend the services of a licensed general contractor and/or structural pest control company regarding repairs. (See Photo 10)



Photo 10

11. The cracked and heaved walkway section(s) at the front present a trip hazard. This condition should be corrected for improved safety. (See Photo 55)



Photo 55

12. Mechanical damage was observed to the roof eaves/sheathing at the left side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)



Photo 03

13. Mechanical damage was observed to the rafters at the left side and various areas. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 2) (See Photo 29)



Photo 02

**Exterior**

14. Wood/soil contact at the base of the wood siding at the front and various areas should be eliminated. If rotted or damaged siding is found consult a licensed structural pest control operator regarding repairs. (See Illustration 3S) (See Photo 6) (See Photo 7) (See Photo 57)



Photo 06

15. Water damage was observed to the wood siding at the front and various areas exterior walls. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 16) (See Photo 26) (See Photo 54)



Photo 16

16. Water damage was observed to the exterior trim at the back and left rear corner. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 19) (See Photo 21)



Photo 19

17. There is an opening or hole in the siding at the right side and various areas of the rear exterior wall. We recommend this area be repaired or replaced to eliminate moisture or rodent entry. (See Photo 18)



Photo 18

18. The patio cover is improperly constructed. The existing configuration indicates improper design and/or workmanship and is a major safety issue should the patio cover give way due to lateral forces or seismic activity. We recommend the patio cover be removed or replaced according to local building codes. (See Photo 39)



Photo 39



**Exterior**

19. The installation of a proper porch, step, landing or deck at the exterior door should be considered for additional safety. (See Photo 22)



Photo 22

20. The jamb is cracked, split or damaged at the back storage shed door. We recommend it be repaired or replaced. (See Photo 12)



Photo 12

21. Mechanical damage was observed to the beam ends at the left and right side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 1)



Photo 01

22. Water damage was noted at the back storage shed door jamb. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 11)



Photo 11

**Electrical**

23. The exterior metal conduit and/or connectors installed at the back is not designed for use where exposed to weather. We recommend that the conduit and/or connectors be removed and approved exterior conduit, boxes and/or fittings be installed (See Photo 9)



Photo 09



**Electrical**

24. Running splices, which are improper connections outside of a junction box, were observed in the attic. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage. (See Photo 33) (See Photo 47)



Photo 33

25. Exposed wiring inside the kitchen cabinet should be relocated, covered or protected by rigid conduit. (See Photo 40)



Photo 40

26. The loose light fixture in the back storage shed should be repaired or replaced. (See Photo 8)



Photo 08

27. The branch/auxiliary panel cover plate (sometimes called the "Dead Front") is missing. It should be replaced. (See Photo 38)



Photo 38

28. We found exposed wiring at the sun room. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Photo 38)

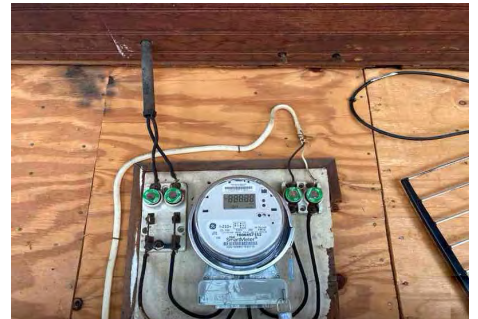


Photo 38

**Heating System**

29. There is insufficient clearance between the furnace exhaust flue and combustible materials. This should be corrected. (See Photo 56)



Photo 56

**Plumbing**

30. The drain system adjacent to the laundry area and master bathroom shower was improperly installed. We recommend the drains be reconfigured according to industry standards. (See Photo 49) (See Photo 51)



Photo 49

31. The plastic/metallic waste piping is leaking at the front bathroom toilet. We recommend all leaks be repaired. (See Photo 52)



Photo 52

32. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 45)



Photo 45

33. The water heater was not strapped. All water heaters (gas or electric) in seismic zones should be properly anchored or strapped in the upper and lower section of the tank to resist movement during earthquake conditions. Specifically California state code is as follows.

1. All water heaters gas or electric must be strapped.
2. Tanks up to 52 gallons require two straps, one in upper one-third and one in the lower one-third of the fixture. Water heaters with a capacity of 52 or above require three, one in upper one-third, one in middle and one in lower one-third are required. There are cases where there is an exception to this rule, we recommend consulting the local building authority regarding the adequacy of the seismic restraints for the water heater at this property.



Photo 46

**Plumbing**

diameter metal conduit.

4. Straps must wrap around the body of the water heater and any gaps between the wall and tank should be blocked to prevent movement.
  5. Straps should be secured to adjacent wall or stud and from opposing directions
  6. Straps should be secured to the wall or studs using 1/4" diameter by 3" long lag bolts with washers. (See Illustration 8E) (See Photo 46)
34. There is insufficient clearance between the water heater exhaust flue and combustible materials. This condition should be corrected. (See Illustration 8C) (See Photo 30)



Photo 30

35. The exterior hose bib at the back is leaking. We recommend all leaks be repaired. (See Photo 23)



Photo 23

36. There is evidence of heavy corrosion and rust, but no leakage on the exterior of the exposed and accessible metal drain piping in the front bathroom. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered. (See Photo 35)



Photo 35

37. There is a cracked and leaking Plastic drain pipe at the front bathroom stall shower. This is a potential health hazard. We recommend the piping in question be repaired or replaced. (See Photo 50)



Photo 50



**Interior**

38. The ceiling at the back shed and side shed shows evidence of water stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished. (See Photo 15)



Photo 15

39. Damage to the front bathroom and bathroom storage shed hardwood flooring was observed. The extent of damage is difficult to predict without removing floor coverings. It is recommended that the source of the damage be identified and corrected by the appropriate trades. (See Photo 13) (See Photo 34)



Photo 13

40. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 32)



Photo 32

41. Minor water damage to the master bedroom hardwood flooring was observed. It is recommended that the source of the damage be identified and corrected, and the surface be repaired and refinished to restore its appearance. (See Photo 36)



Photo 36

## The Scope of the Inspection

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: The inspector is NOT required to determine whether items, materials, conditions or components are subject to recall, controversy, litigation, product liability, or other adverse claims or conditions.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

PLEASE NOTE: Work performed by others will be reinspected, upon request, for an additional fee for each trip out to the property.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly. Sections of this building appear to have been remodeled. We recommend consultation with the owner or local municipality to determine whether the necessary permits were obtained, inspections performed and final signatures received.

### **BINDING ARBITRATION PROVISION**

Any controversy or claim arising out of or relating to the inspection performed by HomeGuard Incorporated shall be settled by final and binding arbitration filed by the aggrieved party with and administered by the American Arbitration Association (hereafter referred to as "AAA") in accordance with its Construction Arbitration Rules in effect at the time the claim is filed. The Rules, information and forms of the AAA may be obtained and all claims shall be filed at any office of the AAA or at Corporate Headquarters, 335 Madison Avenue, Floor 10, New York, New York 10017-4605. Telephone: 212-716-5800, Fax: 212-716-5905, Website: <http://www.adr.org/>. The arbitration of all disputes shall be decided by a neutral arbitrator, and judgment on the award rendered by the arbitrator may be entered in any court having competent jurisdiction thereof. Any such arbitration will be conducted in the city nearest to the property that was inspected by HomeGuard Incorporated having an AAA regional office. Each party shall bear its own costs and expenses and an equal share of the administrative and arbitrators' fees of arbitration. This arbitration Agreement is made pursuant to a transaction involving interstate commerce, and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE THROUGH A COURT AND TO HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY AND ALL DISPUTES DECIDED THROUGH ARBITRATION. BY SIGNING THIS AGREEMENT, THE PARTIES ARE GIVING UP ANY RIGHT THEY MIGHT HAVE TO SUE EACH OTHER.



# Structure

## ITEM DESCRIPTIONS:

Attic (Access)	• Location: Closet • Attic Method Of Inspection: From the Access
Roof Structure	• Rafters • Plywood or Orientated Strand Board
Ceiling Structure	• Joist
Wall Structure	• Wood Frame
Floor Structure	• Wood Joist • Wood Columns • Wood Floor Beams • Board and Plank Subfloor
Crawlspace/Basement (Access)	• Location: Exterior
Foundation	• Pier & Beam • Mudsill(Back Addition)

## COMMENTS:

Evidence of past repairs and/or modifications have been made to the foundation. The owner may have information about the repairs or remodeling work, and any permits that were required, obtained and completed.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The wood members under the left front corner and various areas show evidence of water damage. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 58) (See Photo 59)
- ! 2. Wood/soil contacts at the crawl space should be eliminated. This condition is conducive to rot and wood boring insect activity. We recommend a minimum clearance of six inches be maintained between the soil and the bottom of the wood line. (See Photo 43)
- ! 3. Substantial interior floor sloping, drywall cracking and/or exterior cracking was observed in the structure. This implies that structural movement of the building may have occurred. The rate of movement cannot be predicted during a one-time inspection. A structural engineer should be consulted for further evaluation of this condition. (See Photo 17) (See Photo 37)
4. There is evidence of soil movement at the crawl space soil wall and there is no retaining wall. To eliminate possible movement or erosion of the surrounding soil a properly installed retaining wall may be necessary. We recommend a licensed structural engineer be consulted. (See Photo 24) (See Photo 44)
- ! 5. The foundation for the addition is wood mudsill. This is not considered a true foundation as this term applies to present building standards. The mudsill for conventional foundations is the first wood member, usually a 2"x 6" or 2"x 8" treated lumber, to be placed over the top of the concrete foundation stem wall, it is then secured to the foundation with anchor bolts. In this case, there is not a concrete foundation, only wood directly in contact with the soil. This exposes this structure to various forms of wood damaging organisms and activity. Additionally, there is no method that will effectively secure this structure for earthquake safety. A structural pest control operator and a licensed foundation specialist should be consulted. (See Photo 14)
- ! 6. Personal storage was blocking access to the basement/crawl space area. Therefore, the back area is considered inaccessible and was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be inspected. (See Photo 41) (See Photo 42)
7. One or more pier post at the left corner of the crawl space are missing it's hardware. We recommend repair, in accordance with present standards. It is recommended that a qualified licensed contractor be consulted for further advice on structural improvements. (See Photo 48)
8. Evidence of past repairs and/or modifications have been made to the roof structure. The owner should be consulted for further information regarding any repairs or remodeling work, and any permits that were required, obtained and completed.
9. Portions of the foundation at the rear were not accessible for inspection. No evaluation of this area was performed.
10. All debris and/or trash should be removed from the crawl space. This will aid in future inspections.
11. Portions of the structure appear to be constructed over a "sleeper-floor" and were inaccessible for inspection partly due to insufficient clearance and/or access. The local building department is the final judge of building standards. Reportable conditions could be concealed in these areas. Further investigation by appropriate trades is recommended and may require destructive testing.
12. Past repairs have been performed in the crawl space. We recommend consultation with the owners regarding the extent of the repairs and any permits that may have been obtained and/or signed off.

13. The floor members show evidence of water stains under the bathrooms and/or kitchen area. The area is now dry and the stains appear to be from past leaks. We recommend periodic inspection of this area for evidence of active leakage and repairs if necessary.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- The attic was viewed from the attic access hatch only due to insulation covering the wood members. If further inspection of this area is desired catwalks or planks will need to be installed over the exposed ceiling joists. When access has been provided we will return and further inspect this area.
- Insulation within the roof attic cavity obstructed the view of some structural members, plumbing and electrical components.
- Portions of the attic were inaccessible due to roof or pony wall construction detail and were not inspected. There is no practical way to make this area accessible. There may be conditions in this area that cannot be detected without some form of destructive testing.
- Insulation installed on the floor cavity obstructed a view of structural members.



# Roofing

**ITEM DESCRIPTIONS:**

Roof	• Composition shingle • Method of inspection: From The Ground.
Chimney	• None
Gutters and Downspouts	• Metal • Installation Of Gutters/Downspouts: Full • Downspouts Discharge Location: Above Grade • Downspouts Discharge Location: Below Grade.

**COMMENTS:**

We recommend reviewing a roof inspection report performed by a licensed roof inspector on this structure.

**RECOMMENDATIONS/OBSERVATIONS - 'I' indicates an immediate improvement recommendation item.**

1. The roof was inspected from the ground level only. Most of the roof could not be reached without jeopardizing the safety of the inspector or the integrity of the roof material. Our comments are based only upon a limited visual inspection. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.
2. Tree branches that are in close proximity to the roof should be trimmed.
3. The downspouts discharge water adjacent to the structure. Water should be directed to flow at least 5 feet away from the building at the point of discharge. The installation of underground drainage where applicable will help control surface drainage.

**MAINTENANCE ITEMS & GENERAL INFORMATION**

4. Underground drainage has been provided for the gutter downspout system. Because we are unable to view the underground drainage system, we suggest verification by the seller that adequate installation has been performed and proper drainage has been provided.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

- The roof was inspected from ground level only.

# Exterior

## ITEM DESCRIPTIONS:

Lot Topography	• Steep slope
Driveway	• Concrete • Gravel
Walkway & Sidewalks	• Concrete • Stone • Bricks
Retaining Walls/Abutments	• Concrete • Stone/Rock
Fencing/Gates	• Wood • Steel
Porch/Deck, Patio Covers	• Wood • Tile
Stairs/Railings/Landings	• Concrete • Metal
Exterior Walls	• Wood Siding • Plywood or Orientated Strand Board • Shingles
Fascia, Eaves and Rafters	• Wood • Open Rafters
Windows	• Wood • Metal
Doors	• Wood • French
Garage/Carport	• None
The Swimming Pool Safety Act	• Not Applicable

## COMMENTS:

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Shingle siding is missing and/or loose from the exterior wall. We recommend they be replaced to restore both cosmetic appearance and maximum protection for the underlying surface. (See Photo 20)
- ! 2. Cracked or broken exterior window glass at the back wall and various areas should be replaced. (See Photo 4) (See Photo 5) (See Photo 25)
- ! 3. The window at the front and right side wall shows evidence of water damage to the sill/jamb. We recommend the advice and services of a general contractor and/or structural pest control company regarding repairs. (See Photo 28) (See Photo 53)
- ! 4. The window frames/sash at the right side wall shows evidence of water damage. We recommend the advice and services of a general contractor and/or structural pest control company regarding repairs. (See Photo 27) (See Photo 31)
- ! 5. Water damage was noted at the back storage shed door. We recommend the services of a licensed general contractor and/or structural pest control company regarding repairs. (See Photo 10)
- ! 6. The cracked and heaved walkway section(s) at the front present a trip hazard. This condition should be corrected for improved safety. (See Photo 55)
- ! 7. Mechanical damage was observed to the roof eaves/sheathing at the left side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)
- ! 8. Mechanical damage was observed to the rafters at the left side and various areas. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 2) (See Photo 29)
- ! 9. Wood/soil contact at the base of the wood siding at the front and various areas should be eliminated. If rotted or damaged siding is found consult a licensed structural pest control operator regarding repairs. (See Illustration 3S) (See Photo 6) (See Photo 7) (See Photo 57)
- ! 10. Water damage was observed to the wood siding at the front and various areas exterior walls. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 16) (See Photo 26) (See Photo 54)
- ! 11. Water damage was observed to the exterior trim at the back and left rear corner. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 19) (See Photo 21)
- ! 12. There is an opening or hole in the siding at the right side and various areas of the rear exterior wall. We recommend this area be repaired or replaced to eliminate moisture or rodent entry. (See Photo 18)
- ! 13. The patio cover is improperly constructed. The existing configuration indicates improper design and/or workmanship and is a major safety issue should the patio cover give way due to lateral forces or seismic activity. We recommend the patio cover be removed or replaced according to local building codes. (See Photo 39)



- ! 15. The jamb is cracked, split or damaged at the back storage shed door. We recommend it be repaired or replaced. (See Photo 12)
- ! 16. Mechanical damage was observed to the beam ends at the left and right side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 1)
- ! 17. Water damage was noted at the back storage shed door jamb. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 11)
18. The glazing putty is dry and cracked at one or more of the windows with some putty loose or missing. We recommend the putty be touched up and/or replaced to provide a watertight seal. A coat of paint on the putty will help prevent future deterioration. (See Illustration 3Z)
19. The exterior wood siding material shows evidence of weathering, cracking and/or delaminating (coming apart). Localized repairs, replacement and/or painting may extend the life of the siding. Replacement may eventually be necessary.
20. Vegetation growing on or within 6" of exterior walls should be kept trimmed away from siding, window trims and the eaves.
21. The tree proximity could disrupt drainage pipes, cause mechanical damage to the exterior of the house or influence the foundation over time. For additional information and recommendations we recommend appropriate trades be consulted. (See Illustration 3T)
22. The gaps in the exterior trim/siding should be caulked as necessary.
23. Portions of the exterior are weathered/peeling, exposed and subject to damage. We recommend thorough scraping, sanding, caulking and priming prior to applications of a high quality exterior finish.
24. Portions of this property are on a hillside or sloped. Evaluation of soil stability is beyond the scope of this inspection. There is potential for erosion. If problems are suspected or additional information is desired appropriate trades should be consulted.
25. The presence or condition of the fences at the perimeter of the property were not inspected and are not included in this report. Fences immediately adjacent to the house were inspected.
26. The openings in the exterior siding at the various plumbing or gas piping penetrations should be filled to prevent rodent and moisture entry.
27. Difficult to operate or non-functional latches, knobs or locks at the living room French door should be corrected.

**MAINTENANCE ITEMS & GENERAL INFORMATION**

28. There is no functional garage or covered parking space on this property. Some jurisdictions require at least one covered parking area. No action is required, but the lack of a garage may impact the issuance of permits for future remodeling and/or additions.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.
- The detached barbecue was not inspected and is excluded from this report.
- The detached outbuilding, related equipment and ancillary wiring and plumbing services were not inspected and are excluded from this report.
- The gazebo was not inspected and is excluded from this report.
- The decks were not inspected and are excluded from this report.

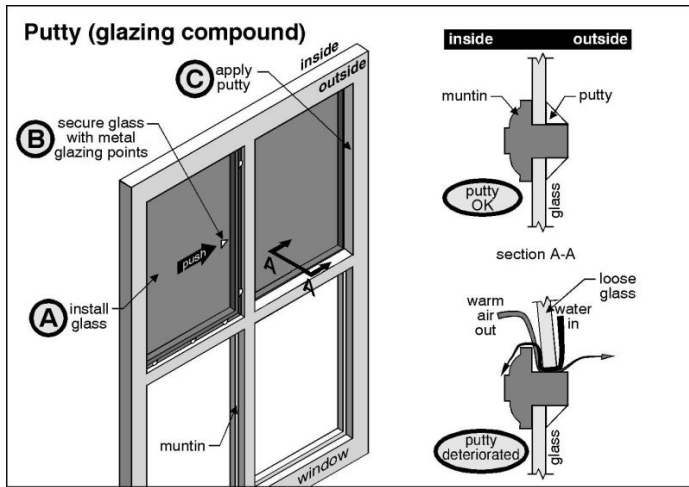


Illustration 3Z

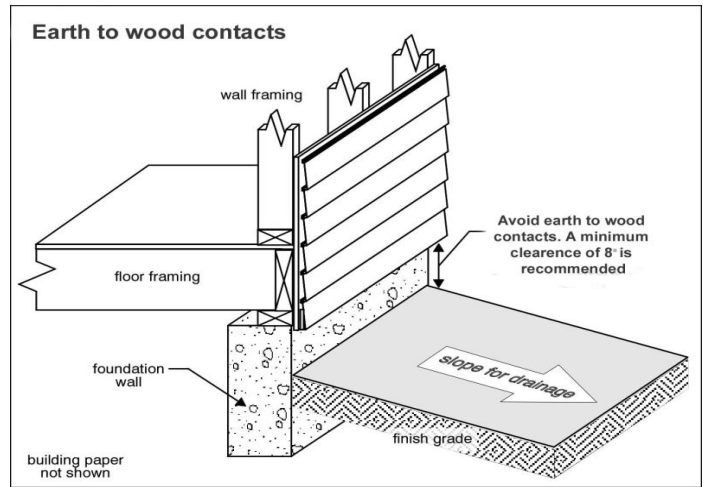


Illustration 3S

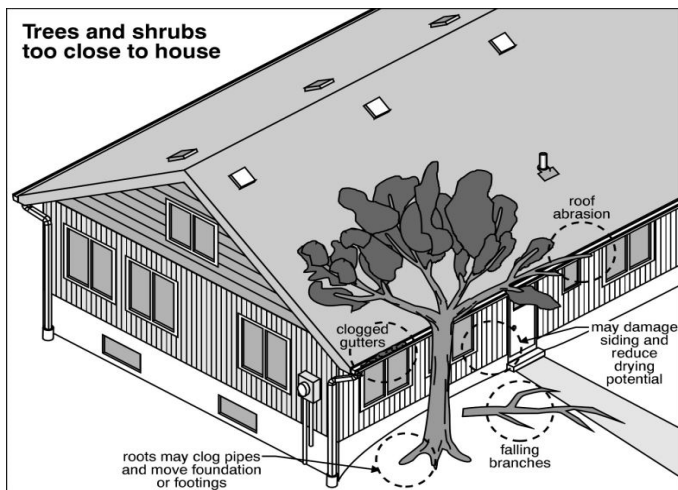


Illustration 3T



# Electrical

## ITEM DESCRIPTIONS:

Service	• 120/240 volt main service
Service Entrance	• Underground Service Wires
Service Ground	• Copper Ground Wire • Water Pipe Connections
Main Disconnect	• Breakers • Main Service Rating: 125 Amps
Main Distribution Panel	• Breakers • Location: Exterior Side • Panel Rating (Amps): 125
Branch/Auxiliary Panel	• Fuses • Location: Hallway
Distribution Wiring	• Copper Wire
Outlets, Switches & Lights	• Grounded
Ground Fault Circuit Interrupters	• Bathroom • Kitchen

## COMMENTS:

Dedicated 240 volt circuits have been provided for all 240 volt appliances within the home.

The 3-prong outlets that were tested were appropriately grounded.

Evidence of remodeling or modifications to the electrical system were evident. Inquire with the owner as to their nature and any permits that may have been required. Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The exterior metal conduit and/or connectors installed at the back is not designed for use where exposed to weather. We recommend that the conduit and/or connectors be removed and approved exterior conduit, boxes and/or fittings be installed (See Photo 9)
- ! 2. Running splices, which are improper connections outside of a junction box, were observed in the attic. We recommend connections be joined with approved connectors inside a junction box to prevent accidental contacts or mechanical damage. (See Photo 33) (See Photo 47)
- ! 3. The loose light fixture in the back storage shed should be repaired or replaced. (See Photo 8)
- ! 4. The branch/auxiliary panel cover plate (sometimes called the "Dead Front") is missing. It should be replaced. (See Photo 38)
- ! 5. We found exposed wiring at the sun room. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Photo 38)
6. Fuses were observed to provide over current protection for the electrical system on this property. While fuses may still work and replacements can be purchased, these systems are no longer standard and are typically required to be upgraded. The fuse panel was not fully inspected due to inherit defects that are a potential safety hazard. A visual inspection of the front of the panel and fuses was performed, no covers were removed or internal components inspected. We recommend a licensed electrician be retained for further inspection and recommendations. An electrician is likely to recommend full replacement of this type of panel.
7. Several of the interior outlets and/or switches are loose in their boxes. We recommend a general tightening and "tune-up" of all of the loose receptacles.
8. Double lugging of neutral wires was observed in the electrical panel (when two or more wires are connected to one lug on the bar). Most panels are only listed and rated for one neutral wire per lug on the bus bar. Further evaluation by a licensed electrician is recommended.
9. The water heater cold and hot water lines do not appear to be bonded to the gas lines. The local building department may presently require that the lines be bonded. We recommend consulting the local building authority regarding this condition.
10. The missing switch cover plates at the upstairs bedroom should be replaced.
11. The electrical panel containing fuses on the property was not fully inspected due to inherit defects that are a potential safety hazard. A visual inspection of the front of the panel and fuses was performed, no covers were removed or internal components inspected. We recommend a licensed electrician be retained for further inspection and recommendations. An electrician is likely to recommend full replacement of this type of panel.
12. Extension cord wiring used in the crawlspace should not be used as permanent wiring. We recommend all extension cords be removed and proper wiring and circuitry installed.

**MAINTENANCE ITEMS & GENERAL INFORMATION**

14. The ground fault interrupter outlet at the front bathroom and master bathroom is also connected to the light. Although this condition poses no hazard, it can be inconvenient. Ideally the circuit energizing the lights should be separated from the "GFCI" outlet.

**DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES**

15. Today's electrical standard now requires a device called an arc-fault circuit interrupter "AFCI". As defined in proposals for the 1999 NEC, an "AFCI" is a device that provides protection from effects of arc faults by recognizing characteristics unique to arcing, and then de-energizing the circuit upon detection of an arc fault. Its basic application is protection of 15 amp and 20 amp branch circuits in single and multi-family residential occupancies. These devices are now installed in the habitable bedrooms of new construction.
16. The installation of ground fault circuit interrupter "GFCI" devices is advisable on exterior, garage, bathroom, laundry, and some kitchen outlets. Any whirlpool or swimming pool equipment should also be fitted with "GFCI"s. A ground fault circuit interrupter "GFCI" offers protection from shock or electrocution. Please note that "GFCI" may already be in one or more of these areas. See "description" section above for exact location of any "GFCI" which may be present on this property. (See Illustration 4L)

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.
- Inspection of the installation, wiring and function of an electrical vehicle charger is excluded from this report. We recommend consulting the vehicles manufacturer specifications for further information on installation, testing and operation.
- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage may have restricted access to some electrical components.
- Exterior light fixtures on motion or light sensors were not tested.

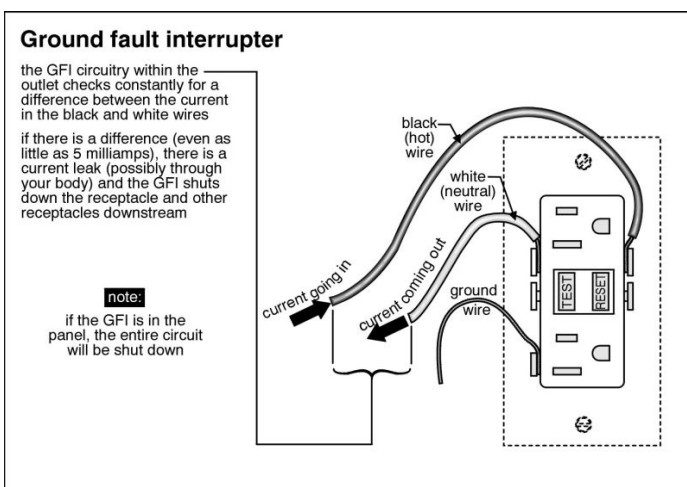


Illustration 4L

# Heating System

---

**ITEM DESCRIPTIONS:**

Primary Source Heat	• Gas
Heating System	• Gravity Floor Heater • Location: Crawl Space
Distribution/Ducting	• Ductwork

---

**COMMENTS:**

The furnace was turned on by normal controls and appeared to function.

**RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.**

- ! 1. There is insufficient clearance between the furnace exhaust flue and combustible materials. This should be corrected. (See Photo 56)

**MAINTENANCE ITEMS & GENERAL INFORMATION**

2. Currently there is no permanently installed cooling system on the property.

**DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES**

3. When furnace replacement is performed, consideration should be given to installing a "high efficiency" system.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- As per ASHRAE standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.
- Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.
- As per ASHRAE standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- Inspection of the heater and/or air conditioner thermostat is limited to operating the unit(s) on and off function only. Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.



## Cooling/Heat Pump System

---

**ITEM DESCRIPTIONS:**

Cooling System • None

---

**COMMENTS:**

---

**LIMITATIONS:**

This is a visual inspection to the accessible areas only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time.

# Insulation/Ventilation

## ITEM DESCRIPTIONS:

Attic/Roof Insulation	• Fiberglass • Depth (inches): 4-6
Exterior Walls Insulation	• Unknown
Crawlspace Insulation	• Fiberglass • Depth (inches): 8-10
Attic/Roof Ventilation	• Roof Vents • Gable vents
Crawlspace Ventilation	• Exterior wall vent(s)

## COMMENTS:

During any planned re-roofing or renovation work overhead insulation and ventilation levels should be investigated and improved where necessary. Upgrading insulation levels in a home is considered an improvement rather than a necessary repair.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. One or more of the ventilation screens for the crawl space is torn, damaged or missing. We recommend the damaged or missing ventilation screens be repaired or replaced as necessary.
2. The crawl space ventilation screens are obstructed by vegetation, storage and/or insulation. All obstructions should be cleared or opened to aid in crawl space cross ventilation.
3. Missing and/or loose floor insulation was noted in one or more areas of the crawl space. We recommend all loose, missing and/or damaged insulation be replaced.
4. Missing, compressed, or uneven insulation in various areas of the attic should be replaced or evened out to improve the insulating value in these areas.
5. The attic fiberglass insulation has been installed backwards. We recommend consideration be given to reinstalling the insulation with the moisture barrier against the living space.
6. The attic gable vent/window is damaged or missing. We recommend it be repaired to eliminate vermin (birds, squirrel, mice etc.) entry into the attic.
7. The exhaust vent fan at the front and master bathroom was noisy when operated. We recommend it be cleaned, lubricated, or repaired as necessary for quiet operation.
8. The cover or hood at the front bathroom vent fan is missing. We recommend the cover be replaced.

## LIMITATIONS:

This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is beyond the scope of this inspection.
- Any estimates of insulation "R" values or depths are rough average values.

# Plumbing

## ITEM DESCRIPTIONS:

Main Water Valve	• Location: Exterior Front
Supply Piping	• Metallic Material
Drain/Waste/Vent	• Plastic Material • Metallic Material
Cleanout	• Location: Crawl Space
Main Gas Valve	• Location: Exterior Side
Water Heaters	• Manufacturer: Unknown • Gas • Location: Crawl Space
Seismic Gas Shut-off	• Not Present
Excess Flow Gas Shut-off	• Not Present

## COMMENTS:

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 45)
  - ! 2. The water heater was not strapped. All water heaters (gas or electric) in seismic zones should be properly anchored or strapped in the upper and lower section of the tank to resist movement during earthquake conditions. Specifically California state code is as follows.
    1. All water heaters gas or electric must be strapped.
    2. Tanks up to 52 gallons require two straps, one in upper one-third and one in the lower one-third of the fixture. Water heaters with a capacity of 52 or above require three, one in upper one-third, one in middle and one in lower one-third are required. There are cases where there is an exception to this rule, we recommend consulting the local building authority regarding the adequacy of the seismic restraints for the water heater at this property.
    3. Straps may consist of either plumbers tape (at least 24 gauge) or half-inch diameter metal conduit.
    4. Straps must wrap around the body of the water heater and any gaps between the wall and tank should be blocked to prevent movement.
    5. Straps should be secured to adjacent wall or stud and from opposing directions
    6. Straps should be secured to the wall or studs using 1/4" diameter by 3" long lag bolts with washers. (See Illustration 8E) (See Photo 46)
  - ! 3. There is insufficient clearance between the water heater exhaust flue and combustible materials. This condition should be corrected. (See Illustration 8C) (See Photo 30)
  - ! 4. The exterior hose bib at the back is leaking. We recommend all leaks be repaired. (See Photo 23)
    5. Due to the water heater being covered with a insulating blanket, which was not removed we were unable to determine the general specification (age, manufacturer, capacity etc.). We recommend the blanket be removed if this information is desired by interested parties.
  - ! 6. The drain system adjacent to the laundry area and master bathroom shower was improperly installed. We recommend the drains be reconfigured according to industry standards. (See Photo 49) (See Photo 51)
  - ! 7. The plastic/metallic waste piping is leaking at the front bathroom toilet. We recommend all leaks be repaired. (See Photo 52)
  - ! 8. There is evidence of heavy corrosion and rust, but no leakage on the exterior of the exposed and accessible metal drain piping in the front bathroom. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered. (See Photo 35)
  - ! 9. There is a cracked and leaking Plastic drain pipe at the front bathroom stall shower. This is a potential health hazard. We recommend the piping in question be repaired or replaced. (See Photo 50)
  10. The toilet at the front bathroom is loose and should be properly re-secured, tightened and caulked. (See Illustration 8J)
  11. The faucet at the front bathroom was not functioning properly or difficult to operate. We recommend repair or replacement.
- ### DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES
12. To reduce the risk of contamination of supply water, installation of anti-siphon devices on exterior hose bibs are recommended.

## LIMITATIONS:



sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

- Water and gas shut-off valves, including but not limited to seismic, excess flow shut-off valves and gas fireplace valves where applicable, were not operated or tested. Identification of these devices is limited to the accessible areas only.
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.
- Water quantity and quality are not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).
- The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- HomeGuard Incorporated does not determine if any fixtures or toilets are water conserving.

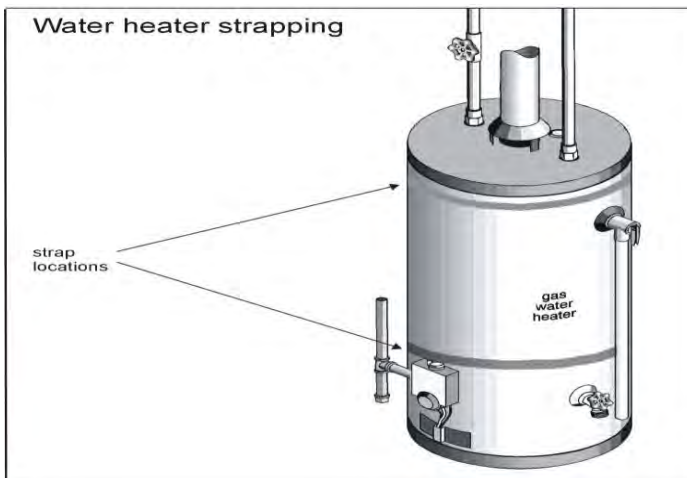


Illustration 8E (Please note this diagram refers to two strap installations)

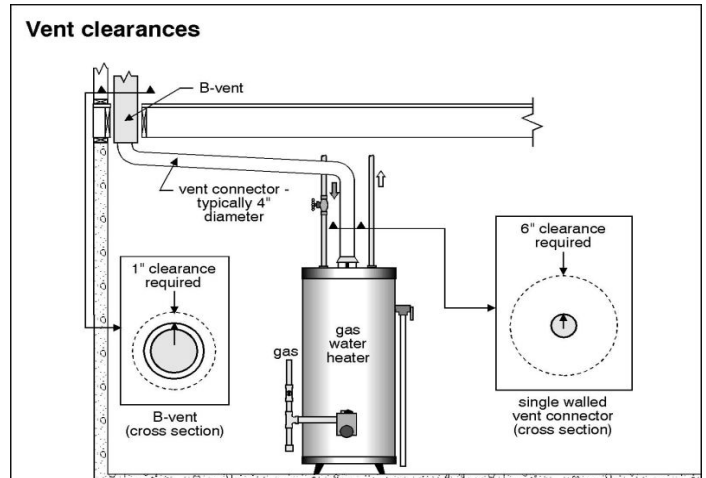


Illustration 8C

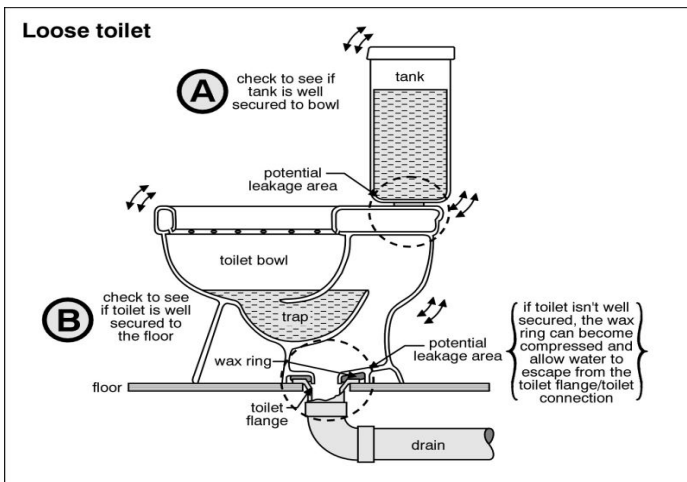


Illustration 8J

# Interior

## ITEM DESCRIPTIONS:

<b>Kitchen Appliances Tested</b>	• Gas Range • Dishwasher
<b>Wall Finishes</b>	• Drywall/Plaster
<b>Ceiling Finishes</b>	• Drywall/Plaster • Wood • Acoustic Tile
<b>Floors</b>	• Tile/Stone • Wood • Laminate Flooring
<b>Doors</b>	• Hollow Core • Solid Core
<b>Window Style and Glazing</b>	• Double/Single Hung • Sliders • Fixed Pane • Single Pane
<b>Stairs/Railings</b>	• Present
<b>Fireplace/Wood Stove</b>	• None
<b>Cabinets/Countertops</b>	• Wood • Tile
<b>Laundry Facilities/Hookup</b>	• 240 Volt Circuit for Dryer • 120 Volt Circuit for Washer • Gas Piping for Dryer • Hot and Cold Water Supply for Washer • Waste Standpipe for Washer • Dryer vent noted
<b>Other Components Inspected</b>	• Smoke Detector • Carbon Monoxide Detector

## COMMENTS:

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

#### INTERIOR

- ! 1. The ceiling at the back shed and side shed shows evidence of water stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished. (See Photo 15)
- ! 2. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 32)
- ! 3. Minor water damage to the master bedroom hardwood flooring was observed. It is recommended that the source of the damage be identified and corrected, and the surface be repaired and refinished to restore its appearance. (See Photo 36)
4. Some of the interior floors were noted to squeak when walked on. This does not affect the functional use of the floor. Squeaks can usually be eliminated by additional attachment of the subfloor to the floor joist.
5. The operation of some of the sliding windows is rough. We recommend they be cleaned, lubricated and adjusted for smoother operation.
6. The front door swings either outward or inward, opening or closing of its' own volition. This is a sign that the doorframe is out of plumb. This may involve only minor carpentry adjustments. There may also be hidden conditions, which may be found with further investigation. Interested parties should have this area examined more thoroughly by the appropriate trades.
7. Dirt and lint has accumulated in the dryer vent area. This may indicate a leaking, damaged or disconnected dryer vent. We recommend the vent be cleaned and/or repaired and tested for leakage. Typical standards for dryer vents require a four inch, smooth wall duct, no longer than fourteen feet, with a hooded damper at the termination. A flexible vent six feet maximum may be used at the dryer connection but cannot go through floors or walls.
8. The hardwood flooring is worn at the more heavily traveled areas, but could probably be refinished with a very satisfactory result. We recommend refinishing before the surfaces are damaged.
9. It may be desirable to replace the window screens where missing or damaged.
10. Water stains were noted in various window sills and/or jambs. This may indicate possible leaking frames or interior condensate. We recommend monitoring the windows for signs of any leakage and corrected if necessary.
11. Hardware is loose at one or more of the windows. We recommend a general tune-up of the windows as necessary to restore their proper function.
12. The interior wall or ceiling blemishes or minor holes and or cracks are cosmetic and can be repaired in the course of routine maintenance.
13. Various interior doors, windows, and electrical outlets were partially inaccessible due to personal belongings and/or furniture at the time of our inspection. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. We recommend all peronal belongings and furniture be removed and these areas further inspected.

14. Slight gaps and cracks were noted in the interior trim and molding due to shrinkage of the lumber. We recommend that these voids be caulked as necessary.
15. There is no metal pan under the washing machine to catch and divert any dripping water to the exterior. We recommend one be installed.

#### KITCHEN

16. The kitchen countertop shows evidence of typical minor wear.
17. The kitchen cabinet shows evidence of typical minor wear.
18. The oven/range was excessively dirty or greasy at the time of our inspection and was not fully tested. We recommend the unit be thoroughly cleaned and proper operation verified by a licensed appliance technician.
19. The base and/or side of the kitchen cabinet sink shelf is delaminated and shows evidence of past moisture in this area. This is mainly a cosmetic consideration and repair of this condition is optional. In any case, this area should be periodically monitored for future leaks from the sink and/or plumbing fixtures.

#### BATHROOMS

**! 20. Damage to the front bathroom and bathroom storage shed hardwood flooring was observed. The extent of damage is difficult to predict without removing floor coverings. It is recommended that the source of the damage be identified and corrected by the appropriate trades. (See Photo 13) (See Photo 34)**

21. The window(s) near the floor or doors at the storage shed lack tempered glass (special safety glass that will not shatter). For safety reasons, it may be wise to consider the installation of tempered glass where appropriate. The following areas are required to have tempered glass in accordance with today's standards:
  - >Windows within 18" of a floor, 4" of a door and any window glazing in doors.
  - >Windows in a shower within 5' of the standing surface.
  - >Windows or doors with glass within 5' of swimming pools and spa deck areas.
  - >Glazing in walls enclosing stairway landings or within 5' of the bottom and top of the stairway where the bottom of the glass is within 60" of the walking surface.
22. A gap was noted at the escutcheons at the front bathroom. We recommend sealing this trim piece for a better appearance and to avoid leakage in this area.
23. There is no railing where needed at the front bathroom shower. For improved safety, it is recommended that appropriate railing be installed.

#### MAINTENANCE ITEMS & GENERAL INFORMATION

##### INTERIOR

##### 24. ENVIRONMENTAL ISSUES:

Issues Based on the age of this home, there is a possibility the structure may contain asbestos such as ceiling texture, insulation on the distribution piping and/or transit piping and siding. This can only be verified by laboratory analysis. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" damaged, crumbling, or in any state that allows the release of fibers. If replacement necessitates the removal of the acoustic ceiling or insulation, a specialist should be engaged. If any sections of this insulation are indeed friable, or become friable over time, a specialist should be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). Due to the age of construction, it is likely that there are other materials within the home that contain asbestos but are not identified by this inspection report.

##### KITCHEN

25. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission CPSC at [www.cpsc.gov](http://www.cpsc.gov) for further guidance.

#### LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. Due to texturing and painting of interior surfaces there is no possible way of determining point of origin of any gypsum (sheetrock) material without destructive testing. HomeGuard Incorporated does not perform any destructive testing. Smoke detectors and carbon monoxide detectors were not manually tested. The sensors of these units are not tested. Both smoke detectors and carbon monoxide detectors have a limited life span and should be replaced according to the manufactures instructions.

- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- The operation of the dishwasher was limited to a filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.



- The washing machine faucets were visually inspected however they were not tested.
- The above listed kitchen appliances were operated unless noted otherwise. These appliances were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation. No refrigerators whether "built in" or portable are operated, inspected or tested.
- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report. No refrigerators whether "built in" or portable are operated, inspected or tested.
- Fireplace screens or doors were not inspected (unless otherwise noted) and are excluded from this report.
- Testing of the oven cleaning function is beyond the scope of this inspection. For proper operation and testing of this function we recommend consultation with the existing homeowner.

## Photographs

***No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported with photographs. Please contact HomeGuard if you have any questions.***



Photo 01



Photo 02



Photo 03



Photo 04



Photo 05



Photo 06





Photo 07



Photo 08



Photo 09



Photo 10



Photo 11

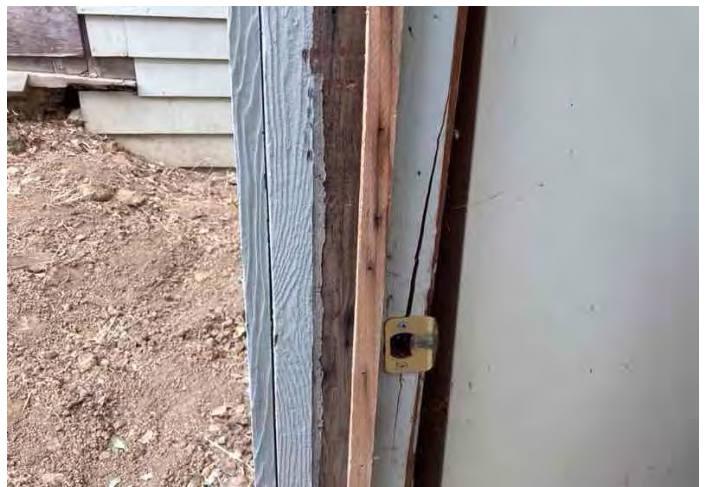


Photo 12





Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18





Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24





Photo 25



Photo 26



Photo 27



Photo 28

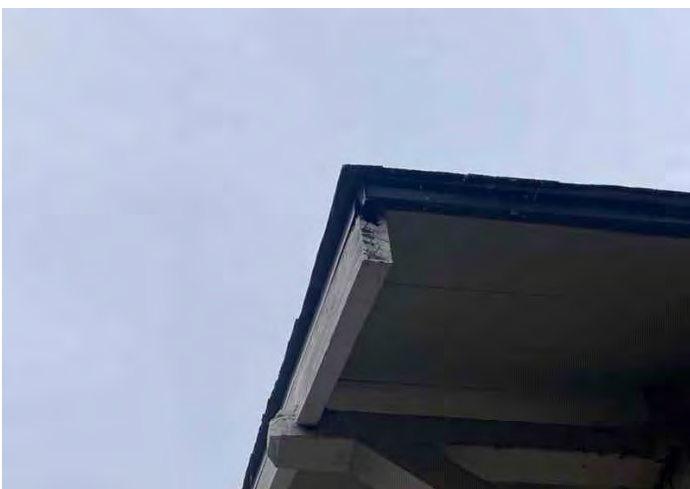


Photo 29

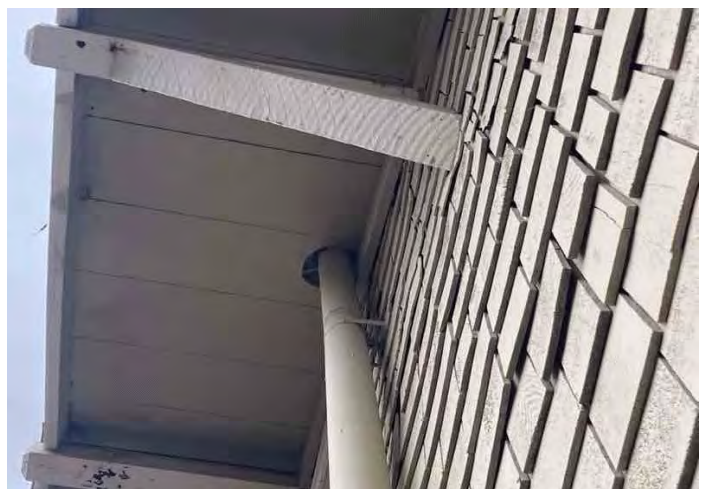


Photo 30





Photo 31



Photo 32



Photo 33



Photo 34



Photo 35



Photo 36





Photo 37



Photo 38



Photo 39



Photo 40



Photo 41



Photo 42





Photo 43



Photo 44



Photo 45



Photo 46

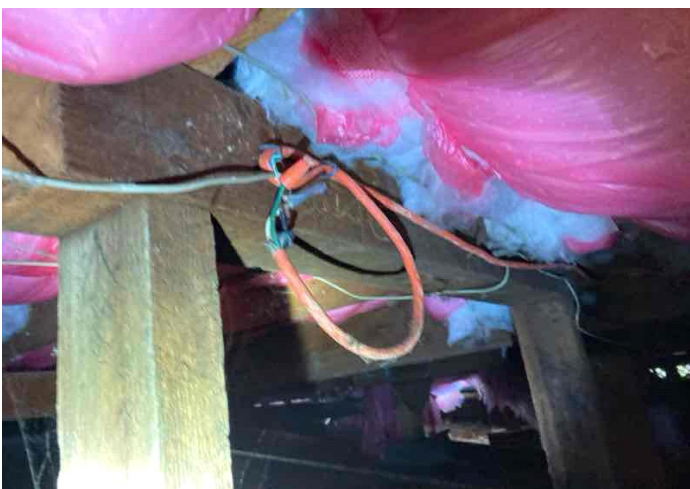


Photo 47



Photo 48





Photo 49



Photo 50



Photo 51



Photo 52



Photo 53



Photo 54





Photo 55



Photo 56



Photo 57



Photo 58



Photo 59

# Maintenance Advice

## UPON TAKING OWNERSHIP

After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- ☐ Change the locks on all exterior entrances, for improved security.
- ☐ Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- ☐ Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- ☐ Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- ☐ Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- ☐ Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- ☐ Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- ☐ Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- ☐ Install rain caps and vermin screens on all chimney flues, as necessary.
- ☐ Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

## REGULAR MAINTENANCE

### EVERY MONTH

- ☐ Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- ☐ Examine heating/cooling air filters and replace or clean as necessary.
- ☐ Inspect and clean humidifiers and electronic air cleaners.
- ☐ If the house has hot water heating, bleed radiator valves.
- ☐ Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- ☐ Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- ☐ Repair or replace leaking faucets or shower heads.
- ☐ Secure loose toilets, or repair flush mechanisms that become troublesome.

### SPRING AND FALL

- ☐ Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- ☐ Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- ☐ Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- ☐ Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- ☐ Survey the basement and/or crawl space walls for evidence of moisture seepage.
- ☐ Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- ☐ Ensure that the grade of the land around the house encourages water to flow away from the foundation.



- ☐ Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- ☐ Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- ☐ Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- ☐ Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- ☐ Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- ☐ Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- ☐ Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- ☐ Replace or clean exhaust hood filters.
- ☐ Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

**ANNUALLY**

- ☐ Replace smoke detector batteries.
- ☐ Have the heating, cooling and water heater systems cleaned and serviced.
- ☐ Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- ☐ Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- ☐ If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- ☐ If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

**PREVENTION IS THE BEST APPROACH**

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



Invoice Date: 9/18/2024

Invoice No: LIV1103045P

## Invoice

### Bill To:

Peter Myers  
Coldwell Banker Real Estate  
410 N. Santa Cruz Avenue  
Los Gatos, CA 95030

### Property Information:

Address: 8 Central Court  
Los Gatos CA, 95030  
Report No: 644196 TPR  
Escrow#:

### Billing Information:

Inspection:	9/18/2024 Complete	\$835.00
-------------	--------------------	----------

Total Due:	\$835.00
------------	----------

#### DUE UPON RECEIPT

Please remit to 510 Madera Ave., San Jose, CA 95112

*There is a \$25 fee for all returned checks*



***This Page  
Intentionally  
Left Blank***



Dear HomeGuard Customer,

Thank You for choosing HomeGuard Incorporated to inspect your home. Enclosed is your inspection report, which includes our findings, recommendations, and repair prices. Please review the enclosed report and repair proposals and feel free to call me with any comments or questions.

Sincerely Yours,

Curtis Reese  
Vice President  
General Manager

## Schedule your repairs today...



**We get the work done  
when you need it!**



**We will expedite all  
required paperwork!**

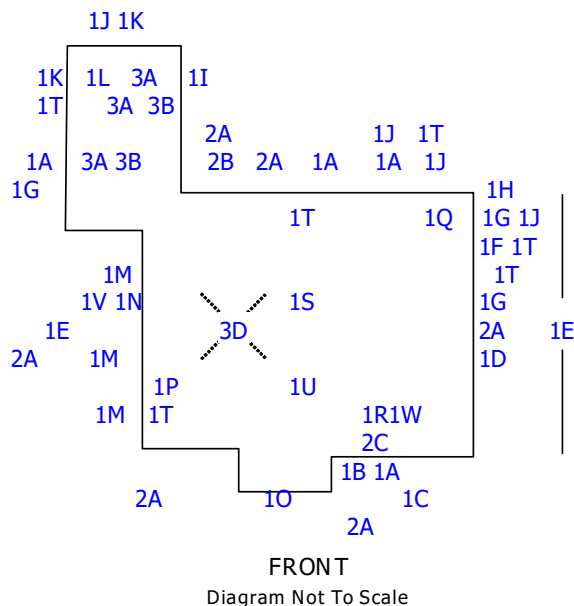


**HomeGuard stands  
behind its repairs!**

**Contact the HomeGuard Repair Team at 855-331-1900 or  
email us [HGRepairs@HomeGuard.com](mailto:HGRepairs@HomeGuard.com)**

# WOOD DESTROYING PESTS AND ORGANISM INSPECTION REPORT

Building No. <b>8</b>	Street <b>Central Court</b>	City <b>Los Gatos</b>	ZIP <b>95030</b>	Date of Inspection <b>9/18/2024</b>	Number of Pages <b>Page 1 of 16</b>
<div style="display: flex; align-items: center;"> <div> <b>510 Madera Avenue</b>  <b>San Jose, CA 95112</b>  <b>(855) 331-1900 • Fax (925) 294-1818</b> </div> </div>					
Registration #: <b>PR1452</b>		HomeGuard #: <b>644196</b>		Escrow #:	
Ordered By: <b>Peter Myers</b> <b>Coldwell Banker Real Estate</b> <b>410 N. Santa Cruz Avenue</b> <b>Los Gatos, CA 95030</b>		Property Owner/Party in Interest: <b>Bill Holt</b> <b>8 Central Court</b> <b>Los Gatos, CA 95030</b>		Report Sent to:	
COMPLETE REPORT <input type="checkbox"/> LIMITED REPORT <input checked="" type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
General Description: <b>This is a two story single family dwelling with wood exterior, excluding the attached deck.</b>				Inspection Tag Posted: <b>Subarea</b> Other Tags Posted: <b>None noted</b>	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input type="checkbox"/> Drywood Termites <input checked="" type="checkbox"/> Fungus / DryRot <input checked="" type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input checked="" type="checkbox"/>					
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.					
Key to Items on diagram: [1] Section 1 Items    [2] Section 2 Items    [3] Unknown Further Inspection Items					



Inspected by: **Donald R Hatch**

License#: **FR59743**

Signature:

You are entitled to obtain copies of all reports and completion notices on this property filed with the board during the preceeding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Suite1500, Sacramento, California 95815.

Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with the report may be directed to the Structural Pest Control Board at (916)561-8700, (800) 737-8188 or [www.pestboard.ca.gov](http://www.pestboard.ca.gov).



Building No.	Street	City	ZIP	Date of Inspection	Number of Pages
8	Central Court	Los Gatos	95030	9/18/2024	Page 2 of 16

#### **AREAS NOT INSPECTED PLEASE READ**

This report is an inspection for wood destroying pests and organisms to a furnished, occupied structure. Some areas of the structure were inaccessible for inspection due to furnishings, appliances, floor covering, and/or stored personal property. We did not inspect areas immediately under furnishings or appliances, nor did we inspect inside finished walls or ceilings. Our inspection does not include any electrical, heating, air conditioning, structural adequacy, pest other than wood destroying pest or mechanical systems of the structure and will not detect building code violations. The plumbing was inspected and only the leaks outlined in our report were found at this time. However, we assume no responsibility for leaks that occur after the date of this inspection. There may be health related issues associated with the findings reflected in this report. We are not qualified to and do not render an opinion concerning any such health issues. The inspection report was limited to the visible and accessible areas only. Questions concerning health related issues, which may be associated with the findings or recommendations reflected in this report, the presence of mold, the release of mold spores or concerning indoor air quality should be directed to a Certified Industrial Hygienist. The enclosed areas inside the cabinets were not inspected. The subfloor is insulated below the structure. There is no evidence of any infestation in this area however, insulation could conceal infestations or infections. We assume no responsibility for any infestations or infections concealed by this insulation. As is standard practice within our industry and since our inspectors do not carry a 30' ladder on their vehicle, the eaves, wood siding and wood windows above 11' were only inspected visually from the ground. Upon request and at an additional charge HomeGuard Incorporated will return to the property and further inspect these inaccessible areas by probing the wood members. It has been requested by the agent that this report be limited to the main structure, excluding the attached deck only. It is recommended that the entire structure be inspected. HomeGuard Incorporated will upon request, inspect the entire structure at an additional expense. The inaccessible areas listed above which were not inspected will be inspected upon the owner's request and will be conditional to additional inspection fees.

**WE GUARANTEE ALL REPAIRS DONE BY THIS COMPANY FOR ONE (1) YEAR AND FUMIGATIONS FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF COMPLETION WITH THE EXCEPTION OF PLUMBING, GROUTING, CAULKING, RAIN GUTTERS AND RE-SETTING OF TOILETS WHICH ARE GUARANTEED FOR 30 DAYS FROM THE DATE OF COMPLETION. WE CANNOT GUARANTEE WORK PERFORMED BY OTHERS. WE MAKE NO GUARANTEE AGAINST FUTURE INFECTIONS, ADVERSE CONDITIONS, OR CONDITIONS PRESENT BUT NOT EVIDENT AT THE TIME OF OUR INSPECTION.**

**THE EXTERIOR SURFACE OF THE ROOF WAS NOT INSPECTED. IF YOU WANT THE WATER TIGHTNESS OF THE ROOF DETERMINED, YOU SHOULD CONTACT A ROOFING CONTRACTOR WHO IS LICENSED BY THE CONTRACTORS STATE LICENSE BOARD.**

**NOTICE:** Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may differ from company to company. You have the right to seek a second opinion from another company.

Building No. <b>8</b>	Street <b>Central Court</b>	City <b>Los Gatos</b>	ZIP <b>95030</b>	Date of Inspection <b>9/18/2024</b>	Number of Pages <b>Page 3 of 16</b>
--------------------------	--------------------------------	--------------------------	---------------------	--	--

"This company will reinspect repairs done by others within four months of the original inspection. A charge, if any, can be no greater than the original inspection fee for each reinspection. The reinspection must be done within ten (10) working days of request. The reinspection is a visual inspection and if inspection of concealed areas is desired, inspection of work while in progress will be necessary. Any guarantees must be received from parties performing repairs." Work performed by others will be reinspected for a fee of \$195.00 for each trip out to the property. Open wall and open floor inspections are desirable if certification is required.

THIS IS A SEPARATED REPORT WHICH IS DEFINED AS SECTION I AND SECTION II CONDITIONS EVIDENT ON THE DATE OF INSPECTION. SECTION I CONTAINS ITEMS WHERE THERE IS EVIDENCE OF ACTIVE INFESTATION, INFECTION, OR CONDITIONS THAT HAVE RESULTED IN OR FROM INFESTATION OR INFECTION. SECTION II ITEMS ARE CONDITIONS DEEMED LIKELY TO LEAD TO INFESTATION OR INFECTION BUT WHERE NO VISIBLE EVIDENCE OF SUCH WAS FOUND. FURTHER INSPECTION ITEMS ARE DEFINED AS RECOMMENDATIONS TO INSPECT AREA(S) WHICH DURING THE ORIGINAL INSPECTION DID NOT ALLOW THE INSPECTOR ACCESS TO COMPLETE HIS INSPECTION AND CANNOT BE DEFINED AS SECTION I OR SECTION II.

### Section 1 Items

- 1A.** FINDING: The siding has been damaged by fungus at the exterior as indicated on the diagram. The contributing moisture source appears to be exposure to the weather. (See Photo 1) (See Photo 16)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

- 1B.** FINDING: The window sill has been damaged by fungus at the front exterior window as indicated on the diagram. The contributing moisture source appears to be exposure to the weather. (See Photo 43)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

- 1C.** FINDING: The rafter tail(s) as indicated on the diagram are damaged by fungus. The contributing moisture source appears to be exposure to the weather. (See Photo 2)

RECOMMENDATION: Remove and replace the end of the damaged rafter tail(s) and install a new sister *Estimated Cost* section alongside for support.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

- 1D.** FINDING: The barge rafter(s) as indicated on the diagram are damaged by fungus. The contributing moisture source appears to be exposure to the weather (See Photo 5) (See Photo 4)

RECOMMENDATION: Remove and replace the entire barge rafter to correct this condition. This bid *Estimated Cost* includes repair of the roof covering if disturbed by our repairs. If existing gutters need to be removed to perform the repairs then our bid also includes reinstallation of original gutters. If it becomes necessary or desirable to install new gutters this will be done only if authorized and at an additional cost. The guarantees on the roof covering are limited to the areas where the repairs were performed.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

Building No. <b>8</b>	Street <b>Central Court</b>	City <b>Los Gatos</b>	ZIP <b>95030</b>	Date of Inspection <b>9/18/2024</b>	Number of Pages <b>Page 4 of 16</b>
--------------------------	--------------------------------	--------------------------	---------------------	--	--

**1E.** FINDING: The end of the support beams have been damaged by fungus at the right side and left side exterior. (See Photo 4) (See Photo 6) (See Photo 5)

RECOMMENDATION: Remove and replace the damaged end of the beam. If damage were to extend *Estimated Cost* into inaccessible areas or if the damage extends beyond what can be repaired, a supplemental report will be issued with additional findings and recommendations.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1F.** FINDING: The trim has been damaged by drywood termites at the right side exterior as indicated on the diagram. Refer to item(s) 1S for recommendations to control contributing moisture source and or infestation. (See Photo 7) (See Photo 8)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1G.** FINDING: The siding has been damaged by fungus and/or drywood termites at the exterior as indicated on the diagram. Refer to item(s) 1S for recommendations to control contributing moisture source and or infestation. (See Photo 9)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1H.** FINDING: The window sill and trims have been damaged by drywood termites at the right side exterior as indicated on the diagram. Refer to item(s) 1S for recommendations to control contributing moisture source and or infestation. (See Photo 10) (See Photo 11)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1I.** FINDING: The storage closet door and jamb were found to be damaged by fungus and drywood termites. (See Photo 12) (See Photo 13) (See Photo 14)

RECOMMENDATION: Supply and install a new pre-hung door and jambs to correct this condition. Note: *Estimated Cost* The existing door knob and dead bolt if any will be re-installed in the new door unless prior arrangements are made. We at HomeGuard Incorporated are upgrade experts and can provide proposals that include upgraded fixtures, and doors or any other option you may desire. This bid is based on the installation of a readily available door of similar size. An exact match of the existing door may not be possible. If a more exact match is desired, additional fees may apply. Please note that if a special order door is needed to complete this item, there could be a three week delay in getting a replacement door.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1J.** FINDING: The wooden windows and window screens have been damaged by fungus. The contributing moisture source appears to be exposure to the weather. (See Photo 15) (See Photo 16) (See Photo 25)

RECOMMENDATION: Owner is advised to contact the appropriate trades to have the windows and *Estimated Cost* screens replaced.  
\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*



Building No. <b>8</b>	Street <b>Central Court</b>	City <b>Los Gatos</b>	ZIP <b>95030</b>	Date of Inspection <b>9/18/2024</b>	Number of Pages <b>Page 5 of 16</b>
--------------------------	--------------------------------	--------------------------	---------------------	--	--

**1K.** FINDING: The siding is in earth wood contact at the exterior as indicated and has been damaged by fungus. The contributing moisture source appears to be exposure to the weather. (See Photo 18) (See Photo 24)

RECOMMENDATION: Remove and replace the damaged siding and grade the soil away from the structure to eliminate the earth wood contact. Note: If additional damage is found when the soil is graded or if damage is found to extend into an enclosed area a supplemental report and bid will be issued.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1L.** FINDING: A portion of the structure at the downstairs storage closet appears to be a sleeper floor construction and was inaccessible for inspection. Visible fungus damage and drywood termite pellets were observed. (See Photo 17) (See Photo 20)

RECOMMENDATION: Remove the flooring from the perimeter of this area to allow for further inspection. *Estimated Cost* All findings, recommendations, and bids will be issued in a supplemental report.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

NOTE: The bid price for the previous item includes opening this area and further inspection only. It does not include any repairs or treatments that may be required or closing this area after the further inspection is performed.

**1M.** FINDING: The roof sheathing has been damaged by carpenter bees where indicated on the diagram. (See Photo 28) (See Photo 29)

RECOMMENDATION: Remove and replace the damaged sheathing to correct this condition. This bid *Estimated Cost* includes repair of the roof covering if disturbed by our repairs. If existing gutters need to be removed to perform the repairs then our bid also includes reinstallation of original gutters. If it becomes necessary or desirable to install new gutters this will be done only if authorized and at an additional expense. The guarantees on the roof covering are limited to the areas where the repairs were performed.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1N.** FINDING: The trim has been damaged by carpenter bees at the left side exterior as indicated on the diagram. (See Photo 29)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1O.** FINDING: The window has been damaged by fungus at the front exterior. This damage appears to be minor. The contributing moisture source appears to be exposure to the weather. (See Photo 31)

RECOMMENDATION: Hollow out this area and fill the void with an appropriate wood filler. If damage is *Estimated Cost* found to extend into inaccessible areas a supplemental report with findings, recommendations and bids will be issued.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1P.** FINDING: The hardwood flooring at the master bedroom adjacent to the French door has been damaged by drywood termites. Refer to item(s) 1S for recommendations to control contributing moisture source and or infestation (See Photo 33)

RECOMMENDATION: Remove and replace the damaged hardwood flooring. Our bid does not include *Estimated Cost* refinishing of the hardwood floor.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1Q.** FINDING: The trim has been damaged by drywood termites at the interior sunroom as indicated on the diagram. Refer to item(s) 1S for recommendations to control contributing moisture source and or infestation. (See Photo 34)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

Building No.	Street	City	ZIP	Date of Inspection	Number of Pages
8	Central Court	Los Gatos	95030	9/18/2024	Page 6 of 16

**1R.** FINDING: There is a plumbing leak at the front hall bathroom toilet and shower drain. This led to the damage outlined in item 1W. [\(See Photo 40\)](#) [\(See Photo 41\)](#)

RECOMMENDATION: The owner should have a licensed plumber repair the leakage. All guarantees *Estimated Cost* desired should be secured from the persons or firm that performed the repairs.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1S.** FINDING: Infestation by Drywood Termites was noted at the exterior, interior. [\(See Photo 3\)](#) [\(See Photo 11\)](#) [\(See Photo 33\)](#)

RECOMMENDATION: Due to the nature of these infestations, it will be necessary to seal the entire structure and fumigate it with Vikane (sulfuryl fluoride), using Chloropicrin as a warning agent. The entire structure must be vacant for this process. It is the owners responsibility to make any preparations required by the fumigators or to have someone to do so at a separate expense and to have the gas turned back on when the fumigation is complete. "NOTICE: The charge for service that this company subcontracts to another registered company may include the company's charges for arranging and administering such services that are in addition to the direct costs associated with paying the subcontractor. You may accept HomeGuard Incorporated's bid or you may contract directly with another registered company licensed to perform the work. If you choose to contract directly with another registered company, HomeGuard Incorporated will not in any way be responsible for any act or omission in the performance of work that you directly contract with another to perform." HomeGuard Incorporated guarantees all fumigations for a period of three years from the date of completion.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1T.** FINDING: Drywood termite pellets were evident as noted in the above recommendation. [\(See Photo 3\)](#) [\(See Photo 17\)](#) [\(See Photo 33\)](#)

RECOMMENDATION: Remove and/or mask over all accessible termite pellets. It is possible for the *Estimated Cost* drywood termite pellets to sift down or reappear in these areas where they have been masked over.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1U.** FINDING: Earth to wood contact and fungus damage was noted to several wood members of the foundation. [\(See Photo 30\)](#) [\(See Photo 38\)](#) [\(See Photo 39\)](#)

RECOMMENDATION: Owner to contact the appropriate trades to make the necessary repairs. *Estimated Cost*

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

**1V.** FINDING: There is evidence of an infestation of Carpenter Bees at the left side sheathing and trims. [\(See Photo 28\)](#) [\(See Photo 29\)](#)

RECOMMENDATION: Treat the infested areas with a registered pesticide Timbor (Disodium Octaborate Tetrahydrate) then fill all emergence holes with steel wool and wood filler. NOTE: In order to perform this treatment the property must be vacated during the treatment and three hours after the treatment is performed.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

Building No. <b>8</b>	Street <b>Central Court</b>	City <b>Los Gatos</b>	ZIP <b>95030</b>	Date of Inspection <b>9/18/2024</b>	Number of Pages <b>Page 7 of 16</b>
--------------------------	--------------------------------	--------------------------	---------------------	--	--

**1W.** FINDING: Water has gotten under the hardwood floor in the bathroom. This has caused fungus damage to the subfloor and hardwood floor. (See Photo 32)

RECOMMENDATION: Remove the toilet and remove the existing floor. Remove and replace the *Estimated Cost* damaged subfloor. Install new hardwood floor where removed. If damage is found to extend into inaccessible areas or additional contributing factors are found, a supplemental report will be issued with any findings, recommendations, and bids. We at HomeGuard Incorporated are upgrade experts and can provide proposals that include tile, marble, granite, upgraded fixtures, upgraded windows and doors or any other option you may desire.

\*\*\*\*\* (SECTION 1 ITEM) \*\*\*\*\*

## **Section 2 Items**

**2A.** FINDING: Earth to wood contact was noted where soil is touching the siding and/or framing at the exterior.

RECOMMENDATION: Owner is advised to contact the appropriate trades to lower the soil as necessary *Estimated Cost* to break all soil contact with the wood members, and provide adequate drainage away from the structure.

\*\*\*\*\* (SECTION 2 ITEM) \*\*\*\*\*

**2B.** FINDING: The siding is missing at the rear exterior second story as indicated on the diagram.

RECOMMENDATION: Replace the missing siding, if damage is uncovered during the course of repairs a *Estimated Cost* supplemental report with findings, recommendations and bids will be issued.

\*\*\*\*\* (SECTION 2 ITEM) \*\*\*\*\*

**2C.** FINDING: The toilet is loose or improperly mounted at the downstairs hall bathroom.

RECOMMENDATION: Reinstall the toilet correctly using a new no-seep toilet seal. If, upon removing the *Estimated Cost* toilet a cracked toilet or damaged toilet flange is revealed there would be additional charges for a new toilet or repairs to the toilet flange.

\*\*\*\*\* (SECTION 2 ITEM) \*\*\*\*\*

## **Further Inspection Items**

**3A.** FINDING: Water stains were noted on the ceiling in the downstairs storage closet. (See Photo 21) (See Photo 22) (See Photo 23)

RECOMMENDATION: Open this area to determine the source of these stains and if any damage exists. *Estimated Cost* All findings, recommendations, and bids will be issued in a supplemental report. This bid is to open the area and further inspection only.

\*\*\*\*\* (FURTHER INSPECTION ITEM) \*\*\*\*\*

**3B.** FINDING: We were unable to inspect the interior of the upstairs and downstairs storage closets due to stored personal property. (See Photo 19) (See Photo 26) (See Photo 27)

RECOMMENDATION: The storage should be moved away from the walls in this area to allow for further *Estimated Cost* inspection. All findings, recommendations, and bids will be issued in a supplemental report.

\*\*\*\*\* (FURTHER INSPECTION ITEM) \*\*\*\*\*

**3C.** FINDING: Portions of the subarea were inaccessible for inspection due to storage. (See Photo 36) (See Photo 35)

RECOMMENDATION: The owner should move the storage away from the subarea to allow for further *Estimated Cost* inspection. All findings, recommendations, and bids will be issued in a supplemental report.

\*\*\*\*\* (FURTHER INSPECTION ITEM) \*\*\*\*\*



Building No.	Street	City	ZIP	Date of Inspection	Number of Pages
8	Central Court	Los Gatos	95030	9/18/2024	Page 8 of 16

**3D.** FINDING: The subfloor was insulated; however, no outward infections or infestations were noted at this time. Further inspection is recommended. (See Photo 37)

RECOMMENDATION: Remove the insulation from the perimeter of the structure and at all water pipe penetrations. Inspect the exposed wood members, and issue a supplemental report listing all findings, recommendations, and bids. Reinstall the insulation where removed upon completion.

\*\*\*\*\* (FURTHER INSPECTION ITEM) \*\*\*\*\*

NOTE: Please be aware that current law dictates that homes constructed prior to 1978 require a company performing the repairs be a Lead Certified Renovation Firm with Certified Renovators. HomeGuard Incorporated is a Lead Certified Renovation Firm, certification number NAT-64235-2 and when required will follow all lead safe work practices as prescribed by the United States Environmental Protection Agency.

NOTE: In our opinion, item(s) listed in this report may require a building permit. If it becomes necessary to install smoke detectors and/or carbon monoxide detectors, this will be performed and charged at \$150.00 per detector. Should the local building department require additional changes or repairs not outlined in this report, there will be an additional charge.

NOTE: HomeGuard Incorporated assumes no liability for, nor do we guarantee work performed by others. All guarantees, warranties, and permits if required should be obtained from the parties performing the repairs.

NOTE: If any of the wood repairs outlined in the above report are done by others, an open inspection must be performed by this company if a certification is desired.

NOTE: Should the further inspection items noted in this report not be performed, HomeGuard Incorporated will assume no liability for any infestations or infection which may be concealed in these areas.

NOTE: A tiled surface was noted over the entry floor, master bathroom floor. There is no outward sign of infestation or infection however we cannot represent the condition of floors beneath the tiled areas.

NOTE: This property has recently been remodeled. We assume no responsibility for any infestations or infections that may be concealed by any new construction or installations. HomeGuard Incorporated assumes no liability for, nor do we guarantee work performed by others. All guarantees, warranties, and permits if required should be obtained from the parties performing the repairs.

Building No.	Street	City	ZIP	Date of Inspection	Number of Pages
<b>8</b>	<b>Central Court</b>	<b>Los Gatos</b>	<b>95030</b>	<b>9/18/2024</b>	<b>Page 9 of 16</b>

NOTE: "State law requires that you be given the following information:

CAUTION-PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Companies are registered and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Pesticide Regulation and the United States Environmental Protection Agency. Registration is granted when the state finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized. "If within 24 hours following application, you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or poison control center and your pest control company immediately."

For further information contact any of the following:

HOMEGUARD INCORPORATED	(408) 993-1900
Poison Control Center:	(800) 876-4766
Santa Clara County Agricultural Commission	(408) 918-4600
Santa Clara County Health Department	(408) 918-3400
San Benito County Health Department	(831) 637-5367
San Benito County Agricultural Commission	(831) 637-5344
Alameda County Agricultural Commission	(510) 670-5232
Alameda County Health Department	(510) 267-8000
Contra Costa County Agricultural Commission	(925) 606-6600
Contra Costa County Health Department	(925) 606-5500
San Mateo County Agricultural Commission	(650) 363-4700
San Mateo County Health Department	(650) 573-2582
Structural Pest Control Board	(800) 737-8188
2005 Evergreen Street Ste. #1500, Sacramento, CA 95815-3831	

"Local treatment is not intended to be an entire structure treatment method. If infestations of wood-destroying pests extend or exist beyond the area(s) of local treatment, they may not be exterminated".

NOTE: Thank you for choosing HomeGuard Incorporated to perform your inspections. If you have any questions regarding this report, please e-mail [dhatch@homeguard.com](mailto:dhatch@homeguard.com).

Building No. 8	Street Central Court	City Los Gatos	ZIP 95030	Date of Inspection 9/18/2024	Number of Pages Page 10 of 16
-------------------	-------------------------	-------------------	--------------	---------------------------------	----------------------------------

## Report Pictures:

Pictures are provided to assist in clarifying some of the findings made in this report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. The pictures in this report do not illustrate all of the damage associated with a particular item. Please read the report thoroughly and contact the inspector if you have any specific questions.



Photo 01



Photo 02

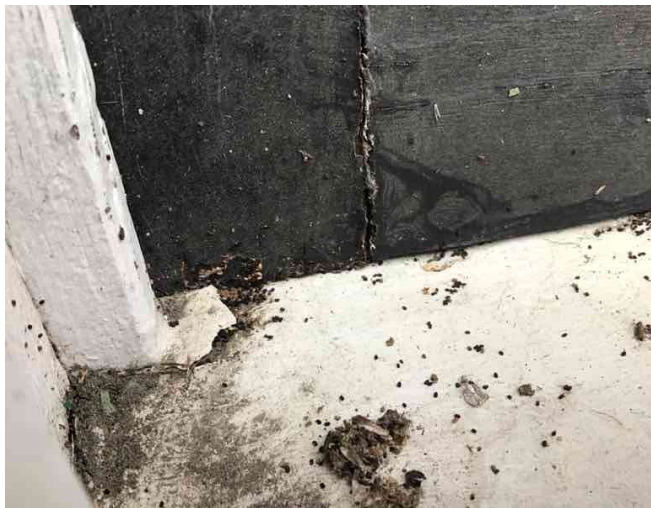


Photo 03



Photo 04



Photo 05



Photo 06





Photo 07



Photo 08



Photo 09



Photo 10

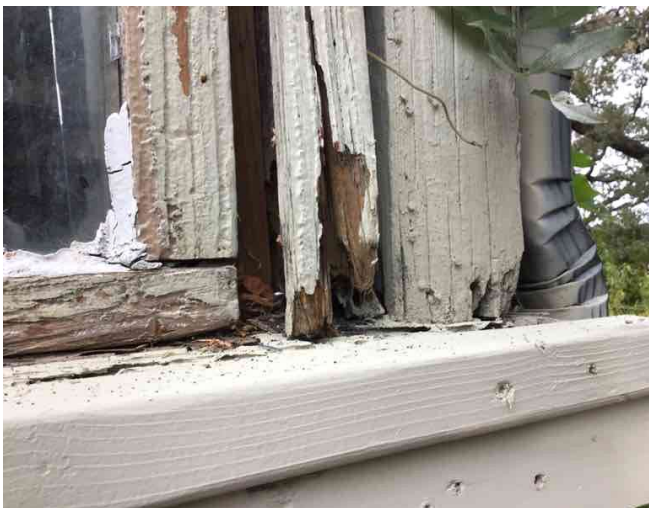


Photo 11



Photo 12





Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18





Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24





Photo 25



Photo 26



Photo 27



Photo 28



Photo 29

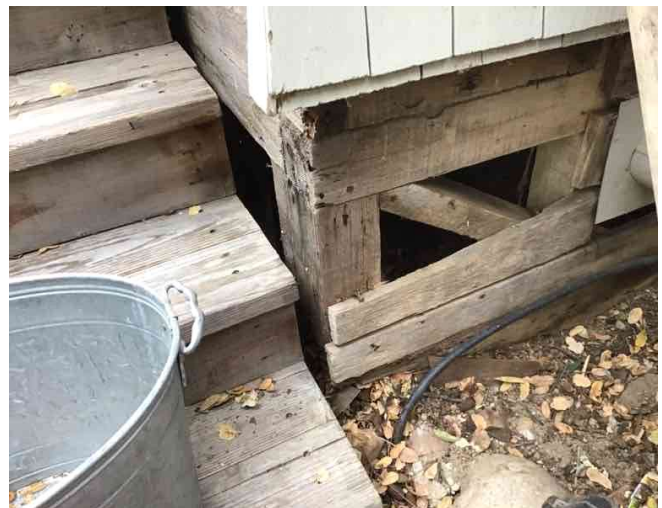


Photo 30



Photo 31

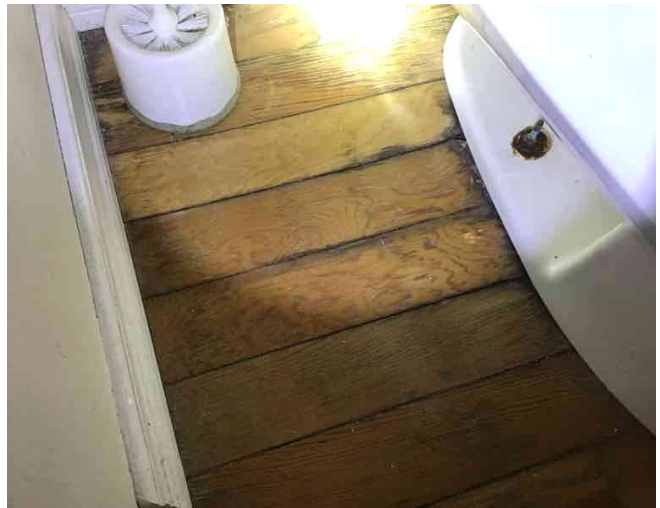


Photo 32



Photo 33



Photo 34



Photo 35

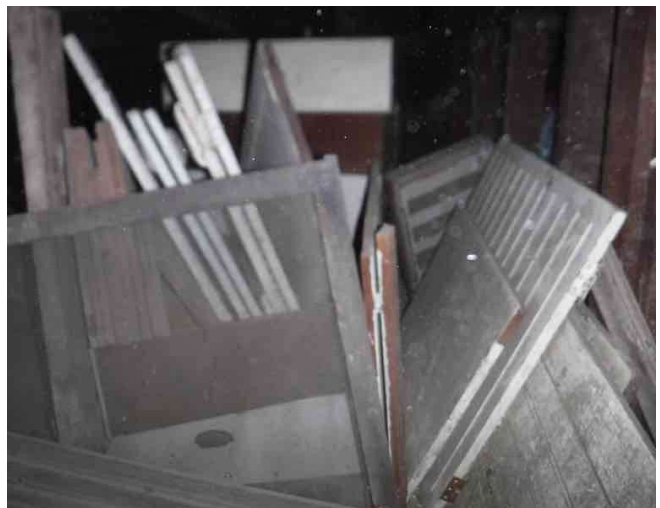


Photo 36





Photo 37



Photo 38



Photo 39



Photo 40



Photo 41



Photo 43



---

# Fact Sheet for Vikane\* (Sulfuryl Fluoride)

---

In the interest of Dow AgroScience's commitment to product stewardship, this fact sheet is intended to provide basic information about the product and how it is used. If you have specific questions about your fumigation, refer to documents provided by the fumigator or call the fumigator listed on the warning signs posted on your structure. If you have questions about Vikane gas fumigant (the fumigant used) or the procedures described, call the Dow AgroSciences Customer Information Center at 1-800-352-6776.

## **WHY BUILDINGS ARE FUMIGATED**

Insects that feed or tunnel into wood can seriously damage houses, apartments, and other dwellings or structures. Each year termites or other wood destroying insects damage more than 5 million homes. Other pests, such as bed bugs, may be dispersed throughout rooms and can be difficult to locate and control quickly and completely. Depending on the extent or location of the infestation, fumigation is the only total control method proven to eliminate certain infestations of wood destroying insects, bed bugs, and other structure-infesting pests.

## **HOW BUILDINGS ARE FUMIGATED**

Because Vikane is a gas, prior to fumigation the structure is completely sealed. This serves to contain Vikane in the building so it can penetrate wood and building contents to thoroughly eliminate the pests. Depending on the construction of the building, the doors and windows may be sealed with tape and a plastic sheet, or the structure may be covered with a tarp. The building will remain sealed for 2 to 72 hours depending on the specifics of the job. Warning signs are posted around the building notifying people to keep out.

After the fumigation period is completed, a professional fumigator will aerate the structure using fans for a prescribed aeration period. Once the dwelling has been thoroughly aerated, the fumigator is required to measure the level of any fumigant remaining in the living space to ensure it is below the EPA approved concentration for re-entry by the occupants. Extremely low levels of fumigant can remain for a short period of time in dead air spaces between walls and inside cabinets as well as porous materials such as furniture. The small amount of fumigant in these areas will continue to dissipate for a few hours after the fumigation but at levels well below the established safe re-entry concentration. Your building will not be cleared for re-occupancy until it is safe to enter. The fumigator will post a notice on your building indicating the day and time for re-entry. Structures can be occupied only when the concentration is 1 part per million or less (this represents a margin of safety – laboratory animals have been exposed to 100 parts per million for 2 weeks with no adverse effects). Because Vikane is a true gas and not a vapor, aeration is rapid. Recent studies demonstrated that in most structures levels are less than 1 part per million after the aeration period and have no detectable levels of vikane within 24 hours after the start of the aeration.

Sulfuryl Fluoride is a colorless, odorless gas, so a warning agent is added to the building, which causes watery eyes and a scratchy throat. If you experience these symptoms in a structure that has been recently fumigated, you should leave immediately and call the pest control company to have your building re-tested.

## **SULFURYL FLUORIDE (POTENTIAL HEALTH RISK FROM OVEREXPOSURE)**

Sulfuryl fluoride is a gas and can potentially enter your body only through inhalation. Because it is a gas, it does not stay on dry surfaces; therefore, there is no exposure from touching treated surfaces.

### **Nervous system and respiratory irritation:**

Overexposure to high levels of Sulfuryl Fluoride can result in nose and throat irritation and nausea. At high concentrations (such as those used during the fumigation) it can cause excess fluid in the lungs, sleepiness, pneumonia, and convulsions. These symptoms would be expected to appear within 8 hours after such an exposure. In the unlikely event you experience these symptoms at the building that has been recently fumigated, you should leave immediately. Consult your physician and call the pest control company to have your building re-tested.

### **Additional studies:**

Sulfuryl fluoride has not been shown to cause birth defects in pregnant animals exposed under experimental conditions. In addition, current studies have demonstrated there are not mutagenic or genotoxic effects caused by exposure to sulfuryl fluoride.

## **Safety Precautions and Homeowner Preparation**

- Discuss the treatment program in advance with your pest control company so you fully understand what will be done and what you need to do.
- Carefully follow the instructions you are given about what items you are to remove from your building.
- Stay out of the treated building until it is cleared by your pest control company for re-entry.
- If you are interested or concerned, you should ask your pest control company to show the records of how your building was aerated before it was cleared for re-entry.
- You may wish to increase ventilation by opening doors and windows.

If you have specific questions about your fumigation, refer to documents provided by the fumigator or call the fumigator listed on the warning signs posted on your structure. Call the Dow AgroSciences Customer Information Center at 1-800-352-6776 if you need additional information or have questions concerning this product.

\*Trademark of Dow AgroSciences



**AUTHORIZATION AGREEMENT**  
**WOOD DESTROYING PESTS AND ORGANISMS CONTRACT**  
**8 Central Court, Los Gatos - Report No. 644196**

**To schedule work, email or fax this signed Authorization Agreement, or call directly:**

**email: HGrepairst@HomeGuard.com**

**Fax: (925) 294-1818**

**Direct: (855) 331-1900**

**Items to be performed:** \_\_\_\_\_

**Total Price \$ \_\_\_\_\_ (plus permit costs if any)**

For the total sum listed above, HomeGuard Incorporated is authorized to proceed with the work described in the above listed item(s) of their termite report no. 644196 for the property located at 8 Central Court, Los Gatos. This amount will be due and payable upon completion of work. It is understood that the contract price does not include the charge of the structural pest control inspection report or re-inspection fees.

**HOMEGUARD INCORPORATED AGREES:**

1. To guarantee all repairs completed by this company for one year from the date of completion except for plumbing, grouting, caulking, and resetting of toilets, which will be guaranteed for 30 days, and fumigations, which will be guaranteed for 3 years.
2. To be bound to perform this work for the price quoted in our cost breakdown for a period not to exceed 30 days.
3. To use reasonable care in the performance of our work but to assume no responsibility for damage to any hidden pipes, wiring, or other facilities or to any, plant life, rain gutters, roofs; nor for damage or dirtying of stucco, plaster, paint, wall paper or other "finish-work" adjacent to areas where work is performed.
4. To replace damaged wood members with material which resembles, as closely as possible, the existing wood members with builders grade, readily available wood members.

**OWNER OR OWNER'S AGENT AGREES:**

1. To pay for services rendered upon completion of work. This contract may be canceled at any time by the customer. In the event of such action, customer agrees to pay HomeGuard Incorporated in full for all items already completed, and time and material for the percentage of items only partially completed. Time and material is calculated at the rate of one hundred and fifty dollars per man-hour and the cost of materials plus 25%. The customer also agrees that in the case of cancelation of the contract prior to starting the job, to pay all costs that have been incurred by Homeguard, such as permits, materials and any other associated costs. In the case of non-payment by owner, reasonable attorney fees and costs of collection shall be paid by the owner whether suit be filed or not.
2. To pay for service charge of 1.5 percent per month or portion of any month beyond 30 days after completion.
3. Owner grants HomeGuard Incorporated, a security interest in the above described real property to secure payment of the sum for work and inspection fee completed.
4. If additional damage is discovered by HomeGuard Incorporated, during the performance of work, company agrees to notify owner or agent of the amount of the damage and the cost of additional work to be done. This work will not be performed unless owner agrees.
5. All plumbing repairs bid in this report are for only the specific repair that is identified. Many times when performing plumbing repairs it becomes necessary to repair or replace adjacent plumbing because of the age or fragility of these components. When this happens the owner or agent will be notified and said repairs will require additional cost and authorization.
6. **Prices provided in this report do not include the costs associated with obtaining permits. Some of these cost may include plan check fees, site plans, engineering plans and time spent at the building department and waiting for building inspections. Permits will be obtained at an additional cost based on the sum total of these costs.**



**AUTHORIZATION AGREEMENT**  
**WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT**  
**8 Central Court, Los Gatos - Report No. 644196**

**To schedule work, email or fax this signed Authorization Agreement, or call directly:**

**email: HGREpairs@HomeGuard.com**

**Fax: (925) 294-1818**

**Direct: (855) 331-1900**

**NOTICE TO OWNER**

"Under the California Mechanics Lien law, any structural pest control operator who contracts to do work for you, any contractor, subcontractor, laborer, supplier or other person who helps to improve your property, but is not paid for work or supplies, has the right to enforce a claim against your property. This means that after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractor, laborers or suppliers remain unpaid. To preserve their right to file a claim of lien against your property, certain claimants such as subcontractors and material suppliers are required to provide you with a document entitled "Preliminary Notice". General contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid. You can protect yourself from such claim by requiring your contractor to supply you with a payment and performance bond prior to commencing any work of improvement and/or requiring your contractor to provide you with an unconditional lien release signed by each material supplier, subcontractor, and laborer involved in that project phase before making payment on the completed phase of the project."

**NOTICE**

"The charge for service that this company subcontracts to another registered company may include the company's charges for arranging and administering such services that are in addition to the direct costs associated with paying the subcontractor. You may accept HomeGuard Incorporated's bid or you may contract directly with another registered company licensed to perform the work.

If you choose to contract directly with another registered company, HomeGuard Incorporated will not in any way be responsible for any act or omission in the performance of work that you directly contract with another to perform."

**BINDING ARBITRATION PROVISION**

Any dispute, claim, or controversy arising out of or relating to this agreement or the breach, termination, enforcement, interpretation, or validity thereof including the determination of the scope or applicability of this agreement to arbitrate, shall be determined by arbitration in the county of the property mentioned in this contract before one arbitrator. The arbitration shall be administered by JAMS pursuant to its comprehensive arbitration rules and procedures. Judgement on the award may be entered in any court having jurisdiction. This clause shall not preclude parties from seeking provisional remedies in aid of arbitration from a court of appropriate jurisdiction. The parties agree that the arbitrator shall be a retired judge from the county in which the arbitration takes place.

**NOTICE OF THREE-DAY RIGHT TO CANCEL**

You, the purchaser of services, have the right to cancel this contract within 3 business days. You may cancel by emailing, mailing, faxing or delivering a written notice to the HomeGuard Incorporated at 58 Wright Brothers Avenue, Livermore, CA 94551 by midnight of the third business day after you received a signed and dated copy of the contract that includes this notice. Include your name, your address, and the date you received a signed copy of the contract and this notice.

If you cancel, HomeGuard Incorporated must return to you anything you paid within 10 days of receiving the notice of cancelation. For your part, you must make available to HomeGuard Incorporated at your residence, in substantially as good condition as you received it, any goods delivered to you under this contract or sale. Or, you may, if you wish, comply with HomeGuard Incorporated's instructions on how to return the goods at the contractor's expense and risk. If you do make the goods available to HomeGuard Incorporated and HomeGuard Incorporated does not pick them up within 20 days of the date of your notice of cancelation, you may keep them without any further obligation. If you fail to make the goods available to HomeGuard Incorporated, or if you agree to return the goods to the HomeGuard Incorporated or fail to do so, then you remain liable for performance of all obligations under the contract.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_





**AUTHORIZATION AGREEMENT**  
**WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT**  
**8 Central Court, Los Gatos - Report No. 644196**

**To schedule work, email or fax this signed Authorization Agreement, or call directly:**

**email: HGregairs@HomeGuard.com**

**Fax: (925) 294-1818**

**Direct: (855) 331-1900**

This job has been bid as if all section one items are being performed. If the owner would like to select individual items, it may require HomeGuard Incorporated to provide a new price for these items. The minimum service charge is \$275 regardless of the price on the individual item.

**Section 1:**

<u>1A</u>	\$2,327	<u>1B</u>	\$395	<u>1C</u>	\$210	<u>1D</u>	\$1,916	<u>1E</u>	\$2,485	<u>1F</u>	\$624	<u>1G</u>	\$1,058
<u>1H</u>	\$863	<u>1I</u>	\$1,706	<u>1J</u>	OthTrd	<u>1K</u>	\$1,268	<u>1L</u>	\$621	<u>1M</u>	\$2,198	<u>1N</u>	\$781
<u>1O</u>	\$108	<u>1P</u>	\$263	<u>1Q</u>	\$456	<u>1R</u>	OthTrd	<u>1S</u>	WillBid	<u>1T</u>	\$198	<u>1U</u>	OthTrd
<u>1V</u>	\$1,447	<u>1W</u>	\$4,982	<b>Section 1 \$23,906</b> plus non-bid items plus permit fees									

**Section 2:**

<u>2A</u>	OthTrd	<u>2B</u>	\$707	<u>2C</u>	\$418	<b>Section 2 \$1,125</b> plus non-bid items plus permit fees							
-----------	--------	-----------	-------	-----------	-------	--	--	--	--	--	--	--	--

**Further Insp.:**

<u>3A</u>	\$429	<u>3B</u>	Owner	<u>3C</u>	Owner	<u>3D</u>	\$526	<u>F.I.</u>	\$955
									plus non-bid items plus permit fees

**OWNER OR OWNERS AGENT** \_\_\_\_\_ **DATE** \_\_\_\_\_ **BY:** \_\_\_\_\_, HomeGuard Incorporated

**X** \_\_\_\_\_ **ESCROW OFFICER:** \_\_\_\_\_

**Print Name** \_\_\_\_\_ **ESCROW PHONE NO:** \_\_\_\_\_

**Phone No** \_\_\_\_\_ **ESCROW CO/NO:** \_\_\_\_\_

**email** \_\_\_\_\_

**Name of person providing access** \_\_\_\_\_ **Phone Number** \_\_\_\_\_

**IS UPGRADING OR CHOICE OF LINOLEUM OR TILE DESIRED?** Yes\_\_\_ No\_\_\_

\*\*\*If there is no choice, neutral colors will be installed there may be additional charges for special materials chosen\*\*

**Upgrades (if requested) List each upgrade separately:**

\_\_\_\_\_ estimated cost: \_\_\_\_\_ initials: \_\_\_\_\_

\_\_\_\_\_ estimated cost: \_\_\_\_\_ initials: \_\_\_\_\_

I authorize HomeGuard, Incorporated to complete the above listed upgrades. I also agree to pay for these upgrades upon completion of the repairs.

**NOTICE OF DELAYED PAYMENT ACCOMMODATION FEE**

The charges listed in this contract are due upon the completion of work, however HomeGuard Incorporated can accommodate the escrow process/ delayed payment option and bill directly to escrow if so desired. The fee structure for any delayed billing, is as follows: total work under \$500.00 is \$65.00; total work between \$500.00 and \$2000.00 is \$95.00; total work between \$2000.00 and \$5000.00 is \$135.00; total work above \$5000.00 is \$225.00. The delayed payment accommodation fee will be waived when payment is received by HomeGuard Incorporated within five (5) days of issuance of the Notice of Completion.

**PLEASE BE SURE TO SIGN AND SEND ALL PAGES**



**AUTHORIZATION AGREEMENT**  
**WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT**  
**8 Central Court, Los Gatos - Report No. 644196**

**To schedule work, email or fax this signed Authorization Agreement, or call directly:**

**email: HGrepairst@HomeGuard.com      Fax: (925) 294-1818      Direct: (855) 331-1900**

**NOTICE OF CANCELLATION**

\_\_\_\_\_  
(ENTER DATE OF TRANSACTION)

You may cancel this transaction, without any penalty or obligation, within 3 business days from the above date.

If you cancel, any property traded in, any payments made by you under the contract or sale, and any negotiable instrument executed by you will be returned within 10 days following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this contract or sale, or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation.

If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.

To cancel this transaction, mail, emailing, faxing or deliver a signed and dated copy of this cancellation notice, or any other written notice to: HomeGuard Incorporated, 58 Wright Brothers Avenue, Livermore, CA 94551 not later than midnight of \_\_\_\_\_ (date).

I hereby cancel this transaction \_\_\_\_\_ (date)

\_\_\_\_\_  
(Owners Signature)



## Invoice

Invoice Date: **9/18/2024**

Invoice No: **LIV1103016T**

### Bill To:

**Peter Myers**  
**Coldwell Banker Real Estate**  
**410 N. Santa Cruz Avenue**  
**Los Gatos, CA 95030**

### Property Information:

Address: **8 Central Court**  
**Los Gatos CA, 95030**  
Report No. **644196TPR**  
Escrow#:

### Billing Information:

Inspection: **9/18/2024 Complete** **\$535.00**

Notice of Completion: **\$0.00**

Other: **\$0.00**

Total Due: **\$535.00**

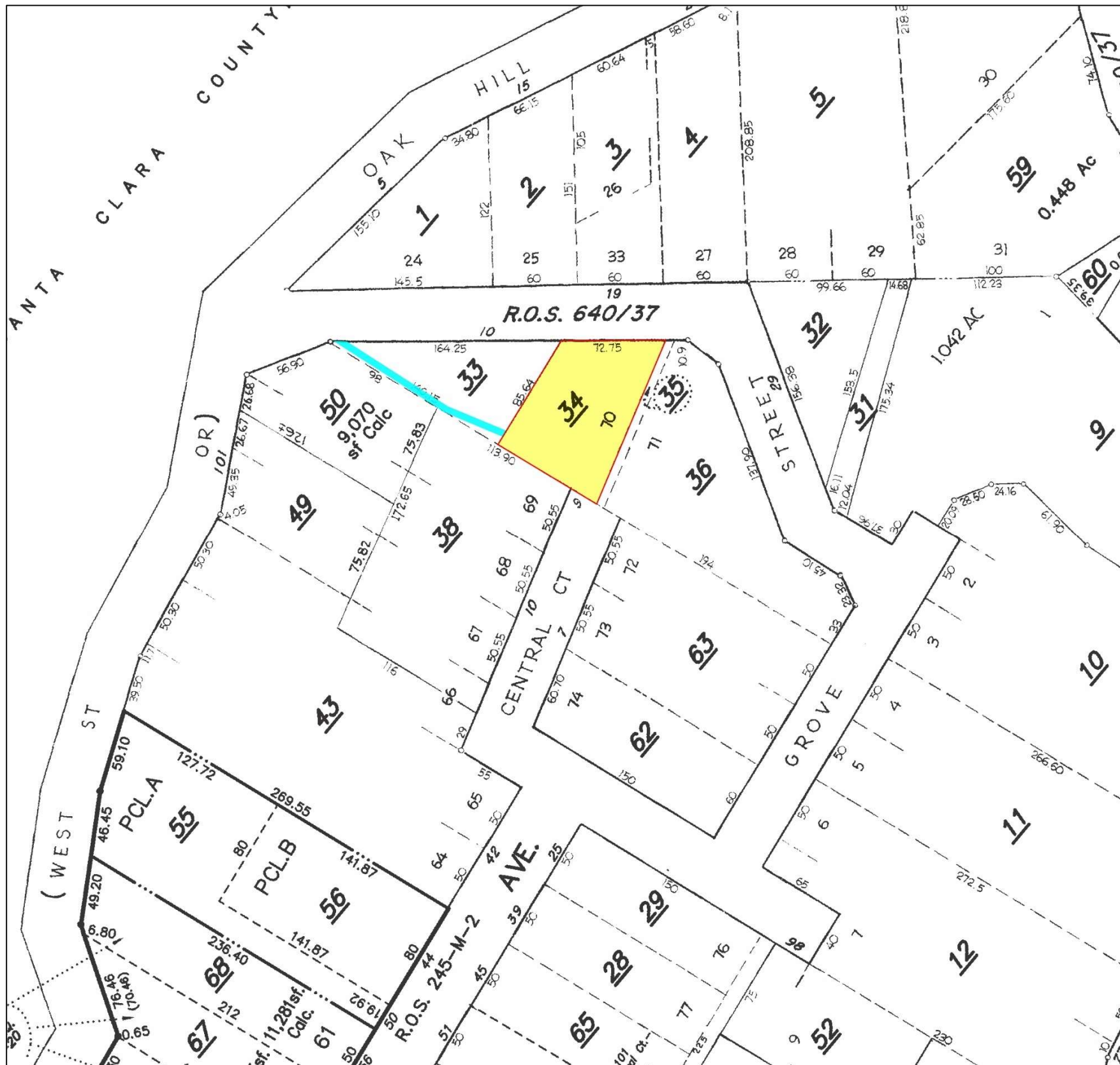
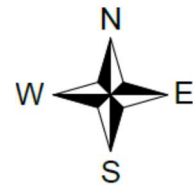
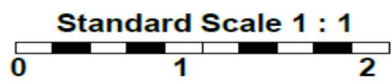
#### DUE UPON RECEIPT

Please remit to 510 Madera Ave., San Jose, CA 95112

*There is a \$25 fee for all returned checks*



***This Page  
Intentionally  
Left Blank***



LEGEND

- Parcel One (Fee, Property in Question)
- Parcel Two (Easement) - A right of way for maintenance of existing sanitary sewer
- Item No. 5 - Easements, recitals, setbacks, and other matters  
October 18th, 1888 in Book D of Maps, at Page 35  
Not locatable, hence not shown hereon

<p><b>"Notice: This is neither a plat nor a survey. It is furnished merely as a convenience to aid you in locating the land indicated hereon with reference to streets and other land. No liability is assumed by reason of any reliance hereon."</b></p> <p><b>NOTE: Easements depicted hereon are provided as a courtesy only and no representation is made as to the accuracy or completeness thereof. The Company assumes no liability for any loss occurring by reason of reliance thereon. It is recommended that a survey be obtained from a licensed professional to determine actual locations.</b></p>	Title Order No. 3630424-02118, Preliminary report dated as of August 27, 2024	Drawing Date: 09/07/2024
	Reference:	Data:
	Property: 8 Central Court Los Gatos, CA 95030	Assessor's Parcel No. 529-35-034
	Lot 70, as shown upon that certain Map entitled "Map of Oak Hill Subdivision of part of the Hildebrand Tract in the Town of Los Gatos," which Map was filed for record in the Office of the Recorder of the County of Santa Clara, State of California, on October 18th, 1888 in Book D of Maps, at Page 35; Excepting therefrom that portion of said Lot 70 conveyed to Kenneth S. Wood and Ruth B. Wood, his wife, as joint tenants, by deed dated November 23, 1959 and recorded November 25, 1959 in Book 4618 of Official Records, Page 106, Santa Clara County Records.	Sheet 1 of 1  Archive #

***This Page  
Intentionally  
Left Blank***





**TOWN OF LOS GATOS**  
**HISTORIC PRESERVATION COMMITTEE**  
**REPORT**

MEETING DATE: 1/28/2026

ITEM NO: 3

---

DATE: January 23, 2026  
TO: Historic Preservation Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request for Approval to Construct a New Second-Story Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 34 Pleasant Street.** APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Minor Residential Development Application MR-25-003. Property Owner: Michael Hyman. Applicant: Maia Gendreau. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider a request for approval to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

PROPERTY DETAILS:

1. Date primary structure was built: 1920 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: + rating, historic and intact or worthy of special note
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The Santa Clara County's Accessors Database lists a construction date of 1920 for the residence. According to the Sanborn Fire Insurance Maps, the property was vacant until the 1928-1944 map update. The footprint on the 1928-1944 and 1928-1956 maps shows the house in its current condition (Attachment 1 of Attachment 1).

PREPARED BY: Ryan Safty  
Associate Planner

The property is included in the 1991 Anne Bloomfield Historic Survey (Attachment 2 of Attachment 1), which estimates that the bungalow style residence was constructed in 1920 and has a preliminary rating of “historic and intact or worthy of special note.” Town records only show a re-roof permit from 1982. The applicant provided a summary of the property research (Attachment 4 of Attachment 1, December 18, 2024, Historic Preservation Committee Staff Report), as well as photographs of the property and surrounding neighborhood (Attachment 5 of Attachment 1, December 18, 2024, Historic Preservation Committee Staff Report).

At the December 18, 2024, meeting, the Historic Preservation Committee (Committee) conducted a preliminary review of a proposal for a single-story addition and remodel and a new two-story addition at the rear. The Committee reviewed the areas of interest outlined in the staff report dated December 13, 2024 (Attachment 1), evaluated the proposal, and provided feedback for the applicant to incorporate into a revised design (Attachments 2 and 3).

#### DISCUSSION:

The applicant has returned to the Committee requesting a formal recommendation for the project. The applicant’s Project Description letter (Attachment 4) outlines the existing site conditions; the historic context of the property; the proposed single-story and second-story additions; and the project’s historic compatibility. The applicant’s response letter addresses the Committee’s feedback from the December 18, 2024, meeting (Attachment 5). The revised development plans are included in Attachment 6.

The project includes an internal remodel to the rear of the existing 1,060-square-foot single-story residence, a 523-square foot single-story addition to the rear, and a new 717-square foot second-story addition. The second-story addition would be pushed to the rear of the residence to preserve the historic street front appearance. The project complies with all applicable floor area, setback, and building height standards and is being processed as a Minor Residential Development application. The project also includes demolition of the existing detached garage and construction of a new detached garage with an attached second-story accessory dwelling unit (ADU) located toward the rear of the site. Consistent with state law, the proposed ADU will be processed ministerially and is not within the Committee’s purview.

The existing one-story residence is approximately 14 feet, nine inches tall with two front gables. The existing residence has stucco siding, wood frame windows, and a membrane roof. The proposed residence would be 24 feet, six inches tall and would maintain the stucco siding. The entire existing front façade would be maintained with this proposed project. The roof would be composition shingle, and the windows would be replaced throughout the home with new aluminum-clad wood windows. The existing residence would also be lifted to accommodate a new cellar, with brick wainscot siding used for exposed walls of the cellar area.

The applicant submitted a detailed response letter, addressing each of the Committee's previous recommendations (Attachment 5). The revised plans address several of the Committee's recommendations, and the applicant has justified those that were not addressed through design changes. The following aspects of the proposal address Committee comments:

- The second-story front-facing gable was enlarged to replicate the existing gable;
- The window locations on the side and rear elevations were revised for better balancing;
- The existing window lugs are replicated in the new windows;
- The handrail was enlarged and revised to a wrought iron design; and
- A different siding material (brick) is shown for the walls of the cellar that project above grade.

There were also Committee recommendations that were not addressed but were justified in Attachment 5.

- The Committee recommended fiberglass clad windows instead of fiberglass frame windows, as originally proposed. Alternatively, the applicant proposes aluminum-clad wood windows, noting that aluminum cladding is a very thin layer and that their manufacturer only makes the ogee lug windows with metal cladding.
- The Committee noted that although pushing the second-story addition to the rear is consistent with the Town's Residential Design Guidelines, some members recommended that the addition be pushed closer to the front façade to better integrate with the existing residence. The applicant noted that they disagree with this recommendation as the existing house has a low sloped roof, and bringing the addition forward will overwhelm the front façade. They also note the structural issues with this recommendation.
- The Committee recommended that the applicant look for strategies to differentiate the new second story from the existing first story, including different exterior materials and ensuring architectural consistency. The applicant states that the idea of differentiating an addition comes from the Secretary of the Interior's Standards, and this property is not subject to those standards. Instead, they have replicated the roof forms, window forms, fenestration patterns, outriggers, and wood vents in the gables to be consistent with the existing structure, per Residential Design Guideline Sections 3.9 and 4.8.1 (Attachment 7).

#### CONSIDERATIONS:

##### A. Considerations

###### **Sec. 29.80.290. Standards for review.**

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:



\_\_\_\_ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 7).

CONCLUSION:

Consider a request for approval to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

The applicant is seeking a recommendation of approval from the Committee for a request for to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

The application is being processed through a Minor Residential Development Permit application. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director. If confirmed through Planning review to be in substantial conformance with the Committee's review and recommendations, the application would not return to the Committee.

ATTACHMENTS:

1. December 18, 2024, Historic Preservation Committee Staff Report
2. December 18, 2024, Historic Preservation Committee Action Letter
3. December 18, 2024, Historic Preservation Committee Meeting Minutes
4. Project Description Letter
5. Committee Response Letter
6. Revised Development Plans
7. Residential Design Guidelines Sections 3.9 and 4.8.1



**TOWN OF LOS GATOS**  
**HISTORIC PRESERVATION COMMITTEE**  
**REPORT**

MEETING DATE: 12/18/2024

ITEM NO: 6

DATE: December 13, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 34 Pleasant Street.** APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Request for Review Application PHST-24-023. Property Owner: Michael Hyman. Applicant: Maia Gendreau. Project Planner: Ryan Safty.

RECOMMENDATION:

Requesting preliminary review for construction of a new second-story addition to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

PROPERTY DETAILS:

1. Date primary structure was built: 1920 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: + rating, historic and intact or worthy of special note.
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The Santa Clara County's Accessors Database lists a construction date of 1920 for the residence. According to the Sanborn Fire Insurance Maps, the property was vacant until the 1928-1944 map update. The footprint on the 1928-1944 and 1928-1956 maps shows the house in its current condition (Attachment 1).

PREPARED BY: Ryan Safty  
Associate Planner

The property is included in the 1991 Anne Bloomfield Historic Survey (Attachment 2), showing that the bungalow style residence has an estimated construction date of the 1920s and has a preliminary rating of “historic and intact or worthy of special note.”

Town records only show a re-roof permit from 1982 (Attachment 3). The applicant provided a summary of the property research (Attachment 4), as well as photographs of the property and surrounding neighborhood (Attachment 5).

#### DISCUSSION:

The subject property at 34 Pleasant Street is located on the east side of Pleasant Street, across the street from Los Gatos High School. The applicant is requesting a preliminary review by the Committee to provide feedback on a proposed remodel at the back of the house, rear addition, and second-story addition to the existing one-story house.

The project proposes an internal remodel at the rear of the house, and a 521-square foot one-story addition to the rear. The project also proposes a new 740-square foot second-story addition towards the back of the residence, with the beginning of the second-story being placed approximately 20 feet behind the front wall of the existing residence (Attachment 6).

The existing one-story house is approximately 14 feet, nine inches in height with two front gables. The entire existing front façade would be maintained with this proposed project. The existing house has stucco siding, wood frame windows, and a membrane roof.

The proposed residence would be 24 feet, nine inches in height and would maintain the stucco siding. The roof would be composition shingle, and the windows would be replaced throughout the home with new fiberglass frame windows to match the existing windows.

The proposed project would fall below the Town’s demolition thresholds for historic residences.

#### ***Town’s Residential Design Guidelines***

The Committee should consider Section 3.9 of the Town’s Residential Design Guidelines, which provides recommendations for construction of additions to existing residences (Attachment 7). Including but not limited to the following recommendations:

- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.



- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape, and location as the original, and should utilize the same materials as the existing protected exterior elements.

CONCLUSION:

The applicant is requesting preliminary review for construction of an addition and remodel to an existing pre-1941 single-family residence located at 34 Pleasant Street. A new second-story addition, if not triggering a technical demolition, is processed under a Minor Residential Development application. This application would return to the Committee for a recommendation to be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process.

CONSIDERATIONS:

A. Considerations

**Sec. 29.80.290. Standards for review.**

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- \_\_\_ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

ATTACHMENTS:

1. Sanborn Fire Insurance Maps
2. Anne Bloomfield Historic Survey
3. Building Permit Records
4. Property Research
5. Pictures
6. Project Plans
7. Section 3.9, Residential Design Guideline

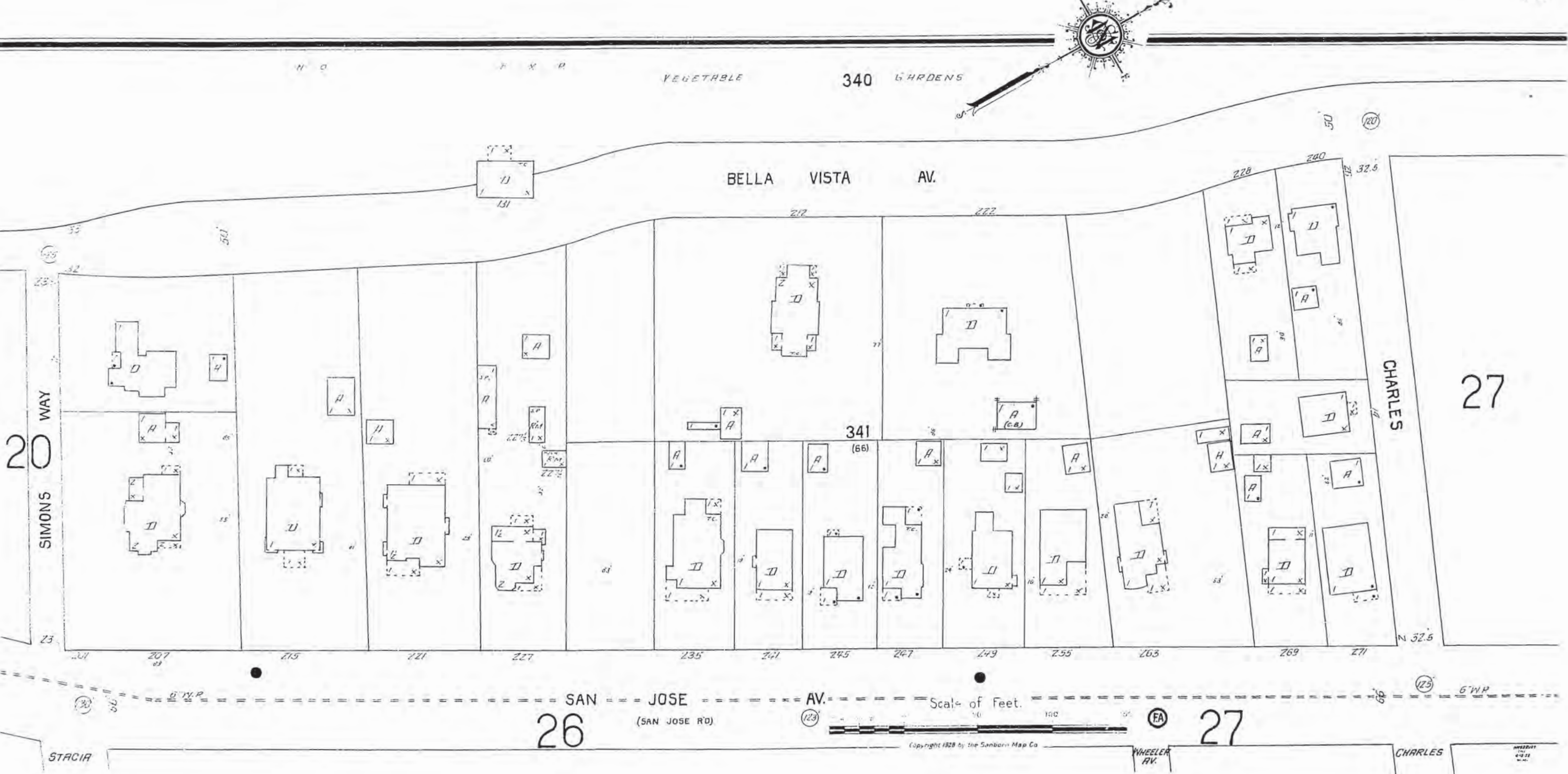
***This Page  
Intentionally  
Left Blank***



20

20

MARCH 1928  
LOS GATOS  
CALIF.





20 CAL. 520

63

20

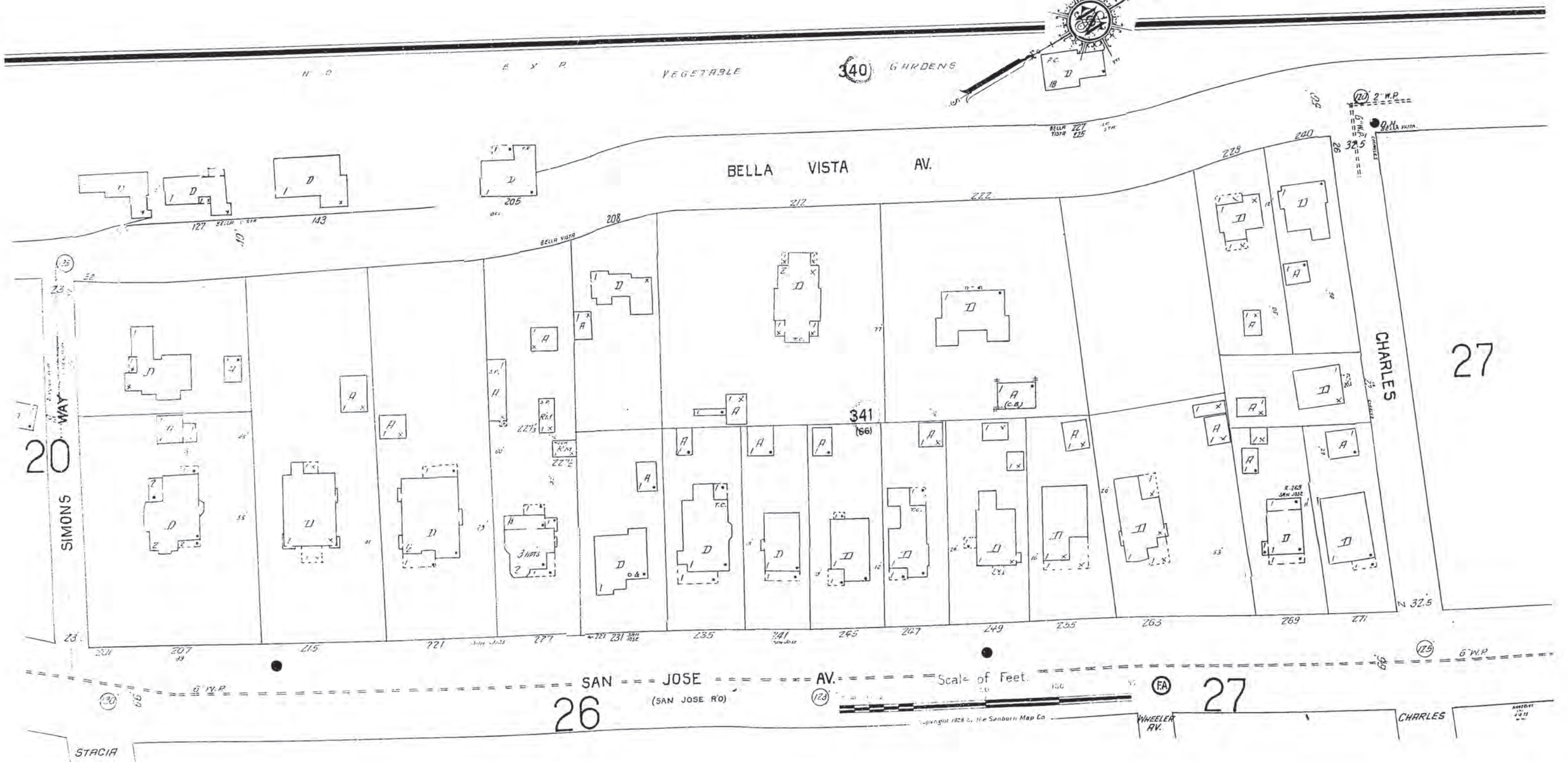
MARCH 1928  
LOS GATOS  
CALIF.

19



25

26



27

26

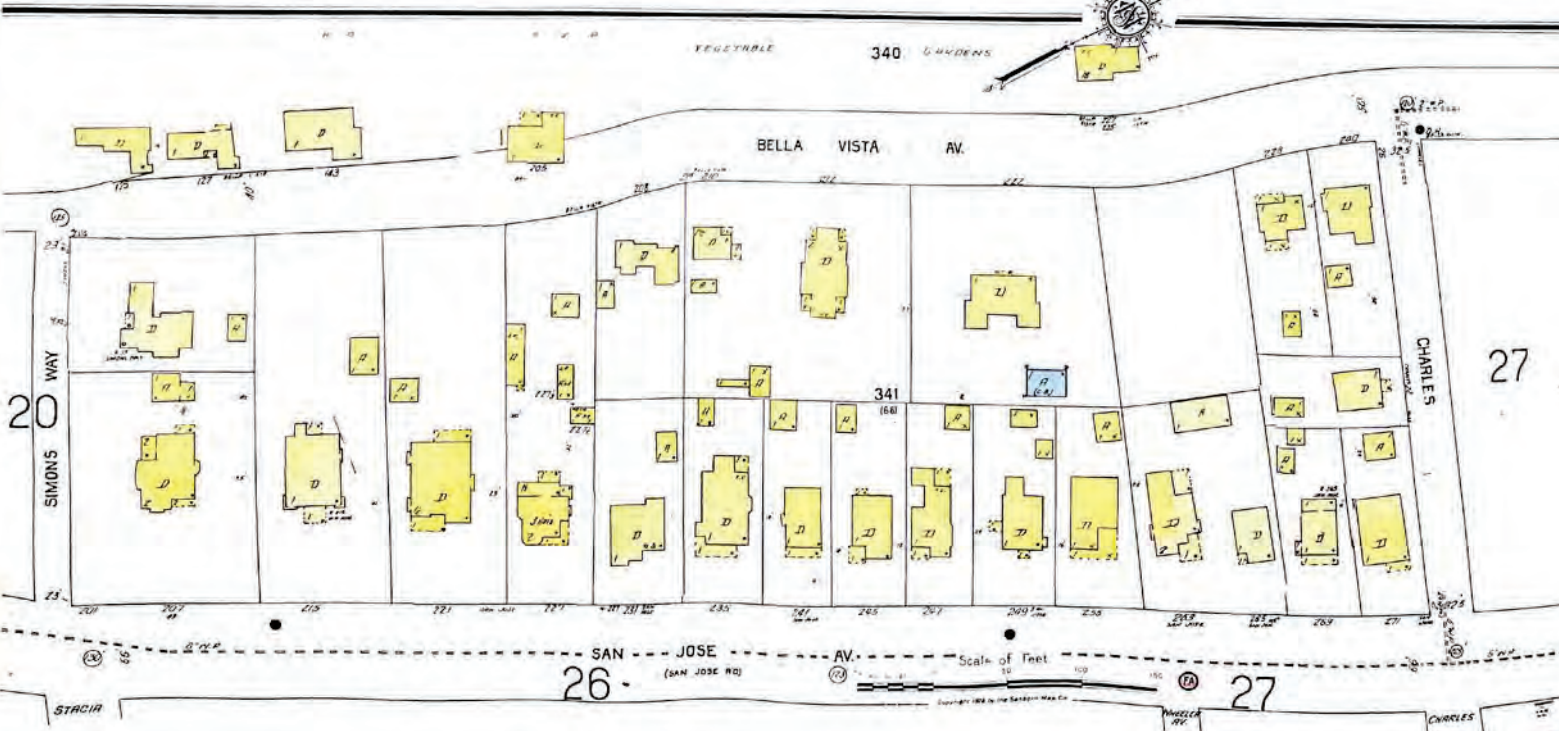
27



20

20

MARCH 1928  
LOS GATOS  
CALIF.



***This Page  
Intentionally  
Left Blank***



*Anne Bloomfield*

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

File address 34 Pleasant

PARCEL MAP INFORMATION

Parcel # 529-26-018 Lot size: 50 front ft. x 143-15<sup>2</sup> ft. deep

Lot shape: Rectangle off L    Rectangle with small rear jog    Other   

Location: N    S    E ✓ W    side of P St    Ave ✓ Other   

distance to cross st: 050 ft. N    S ✓ E    W    from New York

at NE    NW    SE    SW    corner of   

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name El Monte [or] Goldsworthy Dennis Old Block #    Old lot # 18

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style Bungalow # stories   

Alterations   

Other   

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date   

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date   

County Inventory 1979   

Town of Los Gatos: Designation    Recognition   

District Name   

Previous Survey   

Gebhard: page #    illustration page #   

Butler/Junior League   

PHOTOS: Roll/frame # 000/14 Date 28-12-89



***This Page  
Intentionally  
Left Blank***

# APPLICATION FOR BUILDING PERMIT

1

DATE \_\_\_\_\_

IDENTIFICATION 1. INSPECTION RECORD 2. HISTORY RECORD 3. PERMITTING 4. (SINK) CLEAN

Page 129



***This Page  
Intentionally  
Left Blank***

**TOWN OF LOS GATOS  
HISTORIC PRESERVATION COMMITTEE  
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

**The applicant shall research the following** (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
  - ☒ Sanborn Maps
  - ☒ 1941 Tax Assessment
  - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
  - ☒ Polk's Directories
  - ☒ Telephone Directories
  - ☒ Other **OWNER ORAL HISTORY**
2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):
  - ☐ Santa Clara County Planning Department records **N/A**
  - ☐ San Jose Public Library (California Room)
3. Community Development Department Resources:
  - ☐ Sanborn Maps
  - ☐ 1989 Anne Bloomfield Historic Resource Survey forms
  - ☐ Community Development Department property files (permit history)

Research was conducted on (please enter date): 10.22.2024

Records and Documents found (please attach copies): Anne Bloomfield Survey,  
1941 tax assessment, Polk directories research (1934-1972)  
Telephone directories (1974-1985+1995)  
Sanborn Maps 1928+1944

*Anne Bloomfield*

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

File address 34 Placer

PARCEL MAP INFORMATION

Parcel # 529-26-218 Lot size: 50 front ft. x 143 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other

Location: N S E W side of P St Ave Other

distance to cross st: 1350 ft. N S E W from Placer

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name 21 Map C 25 Old Block # Old lot # 18

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style E # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

Gebhard: page # illustration page #

Butler/Junior League

PHOTOS: Roll/frame # Date





Sec 1926 build

Form 1(20)

BUILDING CLASSIFICATION AND COMPUTATION RECORD

ADDRESS LOCATION 34 Pleasant ST. AVE. CITY OF LOS GATOS CALIFORNIA  
BLOCK NUMBER 69 LOT NUMBER 18 OWNERSHIP Jessie A. Rulley  
SUBDIVISION OR TRACT, El Monte Sub.

DESCRIPTION

Sect.	Dimensions	Area or Cubage	Unit Cost	Repro. Cost	Out'bldgs	Pres. Value
(A)	X X =	1014 cu. ft	\$ 3.15	\$ 3194		\$
(B)	X 10 X 4 =	40 sq. ft	\$ 2.75	110		
(C)	X X =	cu. ft	\$ .		Miscel.	
(D)	X X =	cu. ft	\$ .		Retain. Wall	
	X X =	cu. ft	\$ .		Tank	
	X X =	cu. ft	\$ .		Pool	
Reproduction Cost of Main Building				\$ 3304.	68% Good	\$ 2245.
Garage	X 20 X 20 =	400 cu. ft	\$ .75	\$ 300.	45% Good	\$ 135.
Depreciation	%	Pct. Good	%	TOTAL DEPRECIATED VALUE		
				\$ 2380.		

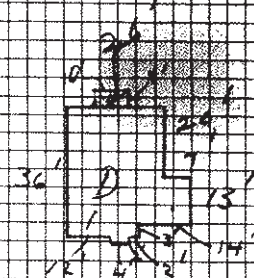
EXTERIOR DESCRIPTION

INTERIOR DESCRIPTION

COMMERCIAL BLDGS	FOUNDATION	EXTERIOR WALLS	INSIDE TRIM	PLUMBING	BUILT-IN FEATURES	BASEMENT
Stories	Deep Shallow	Brick	Stock Spec.	No. of Fixt. 5	Kitch. Cab. Ft	Garage Cars
Stores	Concrete	Stone	Pine Hdw.	Old Style	Buffet Ft	Full Part. None
Office Bldg	Brick Stone	Terra Cotta	Painted Enam.	Modern	Book Cases	Floor: On St. Wd. Dt
Apts	Posts Piers	Tile		Good Med. Chp.	Lockers	Walls: Cm. St. Wd. Dt
Rms. Hotel	Mud Sill	Stucco			Patent Beds	Un Finished
Eng. House	Piles	On Wood Lath			Refrigerator	
Rms. Hosp.		On Chick Wire			Open Shelvg.	
Bank		Rustic Pl. RW	WALLS & CEILINGS	BATH ROOMS		ELEVATORS
Whse. Loft	ROOF	Resawed	Plastered 5 Rms	Large Small		Speed: Ht Low
Car Garage	Gable Flat	Brd. & Bat.	Plast. Bd. Rms	Rooms 1 NO.	MISCELLANEOUS	Elec. Hyd. Auto
Seat Theatre	Hip Gambrel	Shiplap	Compo. Bd. Rms	Good	Sidewalk Lights	Pass. Fpr. Dmb Wt.
Mill Factory	Mansard Drmr	Novelty T&G	Stucco Rms	Medium	Fire Escapes	Height Ft
Gas Station	Plain Cut up	Corr. Iron	Wainscot	Cheap	Plate Glass	Sidewalk
Green House		Painted	Paneled	Showr		
School		Stained	Beamed Ceiling	LYN Floor		
RESID'L BUILDINGS	ROOFING			Tile Wall 1 1 1	MECHANICAL EQUIPMENT - Pres. Val.	
1 Stories	Wood Shingle	EXTERIOR TRIM	DECORATING		Ventilating System \$	
3 Rooms	Pat. Shingle	Masonry	Papered Rms	No. of Fixt. 1	Sprinkler System \$	
Apts	Tar & Gravel	Metal	Tinted 5 Rms	Electric	Automatic Fire Alarm \$	
Family	Tile	Plastic	Canvas Rms	Old Style	Vacuum Cleaning System \$	
Duplex Flat	Composition	File	Sauittas Rms	Modern	Water Heater Storage Automatic	
Dwlg. Bng. V	Cor. Iron	Wood	Cloth & Pap. Rms	Gas Oil	Air Conditioning \$	
Cottage Shack	Good Med. Chp	Glass	Rms Unfin.	Good Med. Chp.	Well Windmill Elec. Pump	
CONSTRUCTION	PORCHES: NUMBER	Ornamental	Plain Med. Good	Special	Tank Pressure System	
Lt. Med. Hvy.	Front Rear	Plain	FLOORS	HEATING	OUTBUILDINGS-VALUE Under \$400	
Masonry	Open Roofed		Number of Rooms.	Fire Pl. Stove	Dishen X Ft: Age	
Reinfd. Conc. Fr.	Screened		Pine 1	Hot Air Furn.	Walls Roof Floor	
Fl.	Glassed In	STORE FRONT	Hardwood 4	Gas or Oil Fire	Area Sqft \$	
			Cement	Radiant Fire	Repro. Cost \$	
			Tile	Steam or Hot Wat.	% Good: PRES. VALUE \$	
			Marble	Arcola System		
			Terrazzo	Thermostat	Miscellaneous Remarks	
			Composition	Floor	See Reverse	
			Earth	Wall Furn.		
	OUTBUILDINGS					
	Garage Cars					
	Detchd Attached					
	Shed Barn					
	Poultry House					

BUILDING DIAGRAM AND DETAILS

Scale 1" = 50' HEIGHT..... FT.



36 X 2 = 72  
38 X 4 = 152  
36 X 3 = 108  
33 X 7 = 231  
7 X 13 = 91  
TOTAL

STREET FRONT

PRICED BY W. W. Holden DATE 4/26/41

CLASSIFICATION 1 2 3 4 A B C D

QUALITY: Cheap....; Medium...; Good....; Special....

OCCUPANCY Owner Vacant Tenant Not None

Age 15 Yrs. Remodeled Age Yrs.

Condition: New Good Medium Poor

Obsolescence Yes No Functional Defects....%

Special Depreciation For: Lack of Utility.....%

Over....% Under....% Improvement: Location.....%

DESIGN: Good....; Acceptable...; Poor....; Freak....

FLOOR PLAN: Good...; Acceptable....; Awkward.....

Perimeter of Walls...; Number of angles.....

RENT \$ Per Source of Information

No. Tenant Agent Estimated

BLOCK NO.	69	LOT NO.	18	BLOCK BOOK PAGE	18
-----------	----	---------	----	-----------------	----

SYMBOL	FRONT	DEPTH	PCT.	COEF.	UNIT	COMPUTED VALUE	
	50	X	147.88	114	57.50	7 1/2	\$ 428.
		X					
		X					
		X					
	Added For Corner						
	Added For Alley						

F.T.=Front Triangle. R.T.=Rear Triangle. B.L.=Back Lot Comp.  
C.I.=Corner Influence.  $\sigma$  = Reverse Corner Comp.

TOTAL \$

VALUATION RECORD				
YEAR	1940	19	19	19
Land Value	\$ 430.	\$	\$	\$
Building Value	\$ 2380	\$	\$	\$
Number of Bldgs	2			

## 1947

Jesse A. Riley

**REVISIONS AND ADJUSTMENTS:** Record Below Subsequent Changes in Value due to Re-appraisal. Indicate Reason for Action Such as Additions, Alterations, Rebuilding, Fire Loss, Demolition, or Removal of Buildings.

[illegible]

Owner [REDACTED] oral history of 34 Pleasant Street, Los Gatos.  
(transcribed 28 October, 2024, by Maia Gendreau, MBA Architects).

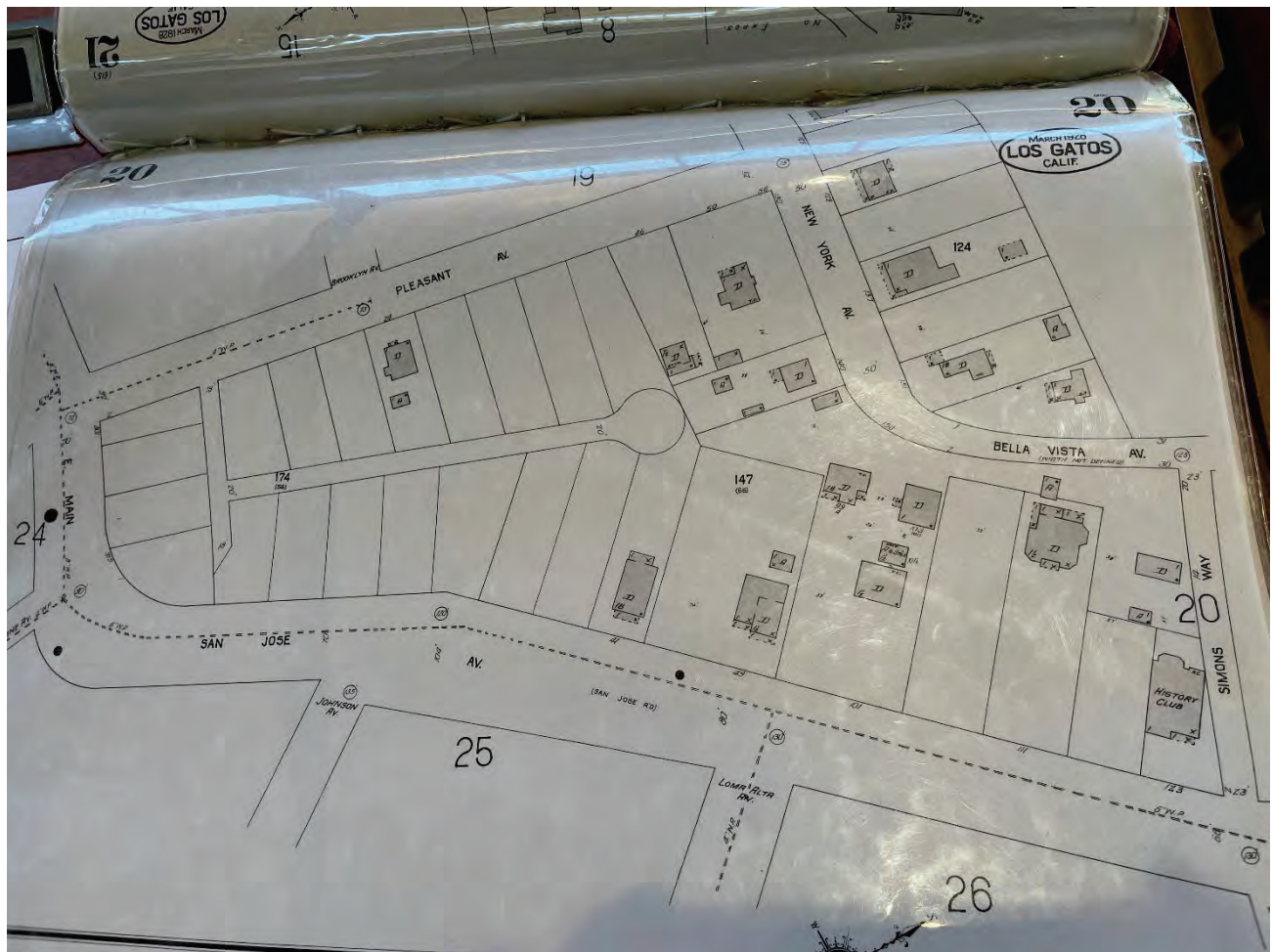
My grandparents, (Charles A. and Jessie A. Reilly), built the house. It was the second home built in the "El Monte" tract. The insurance company and the tax statements seem to indicate that it was completed in 1920, but I have read a diary entry that it was "fit for occupancy on December 14, 1928? Perhaps the land was purchased in 1920 (\$4,000) and the house was built in 1928 (\$5,000). My grandfather Charles A. Reilly died when my mom was 6 years old and my grandmother (Jessie (Ennis) Reilly) moved to Montana with her to live with family. They rented the house out (linens and all). They returned to Los Gatos and lived in the house until my mom's senior year at Los Gatos High. They then moved to Turlock, CA and once again rented the house out. My mom upon graduation from Turlock High attended the College of Pacific (latter UOP) in Stockton, CA where she met my dad. I grew up in Stockton and from the 50's my grandmother and parents lived in Stockton renting out the house in Los Gatos (34 Pleasant). I moved to Los Gatos in 1981, but rented an apartment until 1983 when I moved into the house. At that time we asked the current tenants to move out (it was occupied by "John Sorenson (a local plumber) his wife and their two sons) tenants for over 15 years. I has been my principle residence ever since.



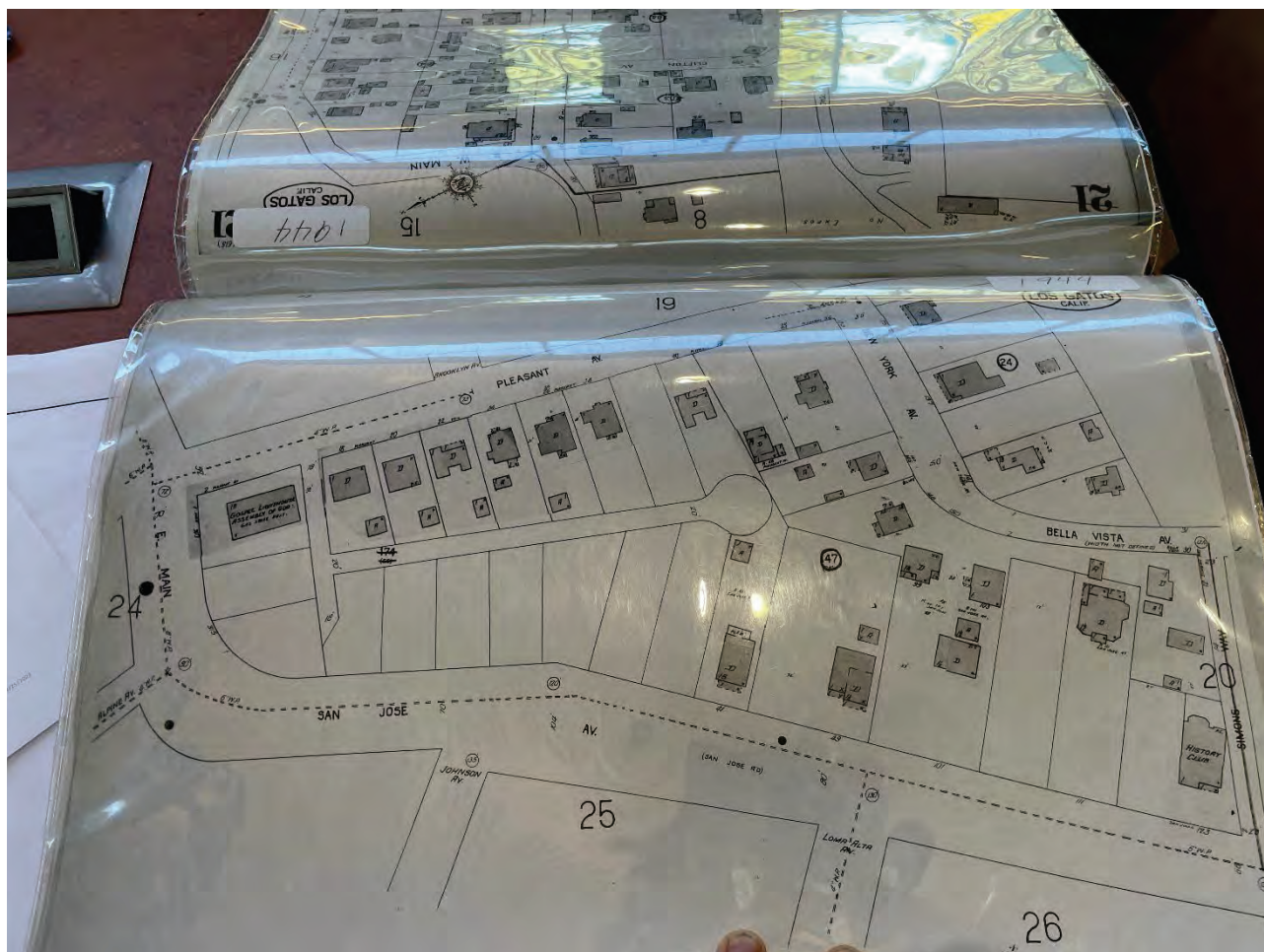
34 Pleasant Street< Los Gatos  
Polk Directories history of residents

YEAR	RESIDENT	PROFESSION	NOTES
1934	Reilly, Chas. A., (Jessie A.)	no listing	Jessie A Reilly is noted as the OWNER on the 1941 tax assessor
1936	no listing		
1938	Vollmer, E.E., (Myrtle M.)	MGR; Kerful Laundry System Inc.	
1940	Dutro Raymond A. (Clarice)	Clerk JW Crider	
1944	McGregor Donald R. (Nellie)	metallurgist	
1949-50	Keller, Frank M. (Marjory)	Civil Engineer	
1952	Helms. Clinton H (Virginia)		
1954	Malone, (Robert E.L.) (Patricia)	physician, County Hospital	
1956	Crichton Ruth A (Mrs.)	widow, Carl S.	
1958	Prinzing Kelsy C Rev, (Evelyn A)	pastor, Assembly of God Church	
1960	Rodema Chas., (Margaret E)	Building Contractor	
1961	Rodema Chas., (Margaret E)	Building Contractor	
1962	Curtis Dahl A. (Mary)	Laborer	
1965	No Return		
1965-72	Sorenson John C	Sorenson's Plumbing	1965-72 Sorenson John C is listed as resident
Phone Books -			
1974-85	Sorenson Plumbing is listed as a business at 21 Main Street under John Sorenson's license, 56355		
1995	Sorenson Plumbing is listed as a busines at 21 Main Street under license 514085.		

1928 Sanborn Map – 34 Pleasant Street shows no building.



1944 Sanborn Map – 34 Pleasant Street shown in the approximate current shape





Homes on Pleasant Street, Los Gatos, CA



34 Pleasant – THIS PROJECT

Immediate neighbors:

36 Pleasant



26 Pleasant





Other homes on the street:

22 Pleasant



40 Pleasant



75 New York



Across the street is a building on the High School Campus





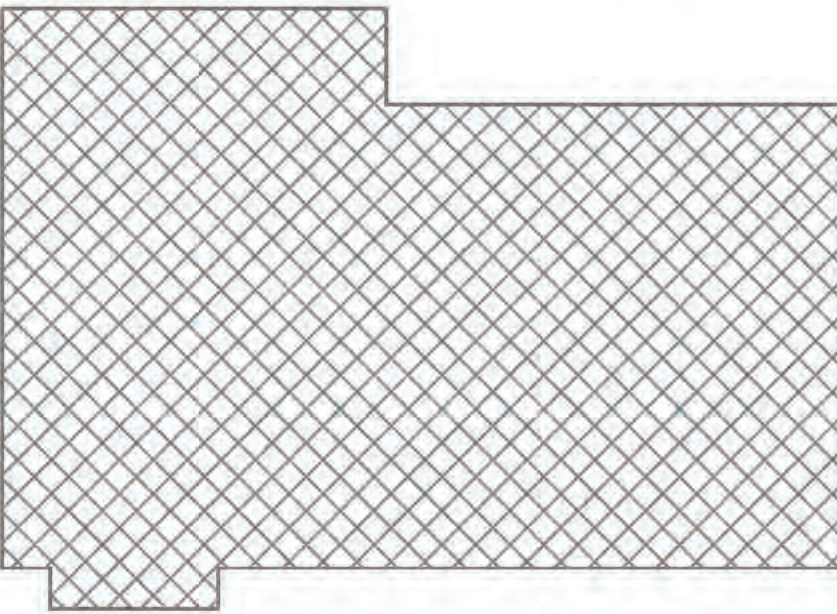
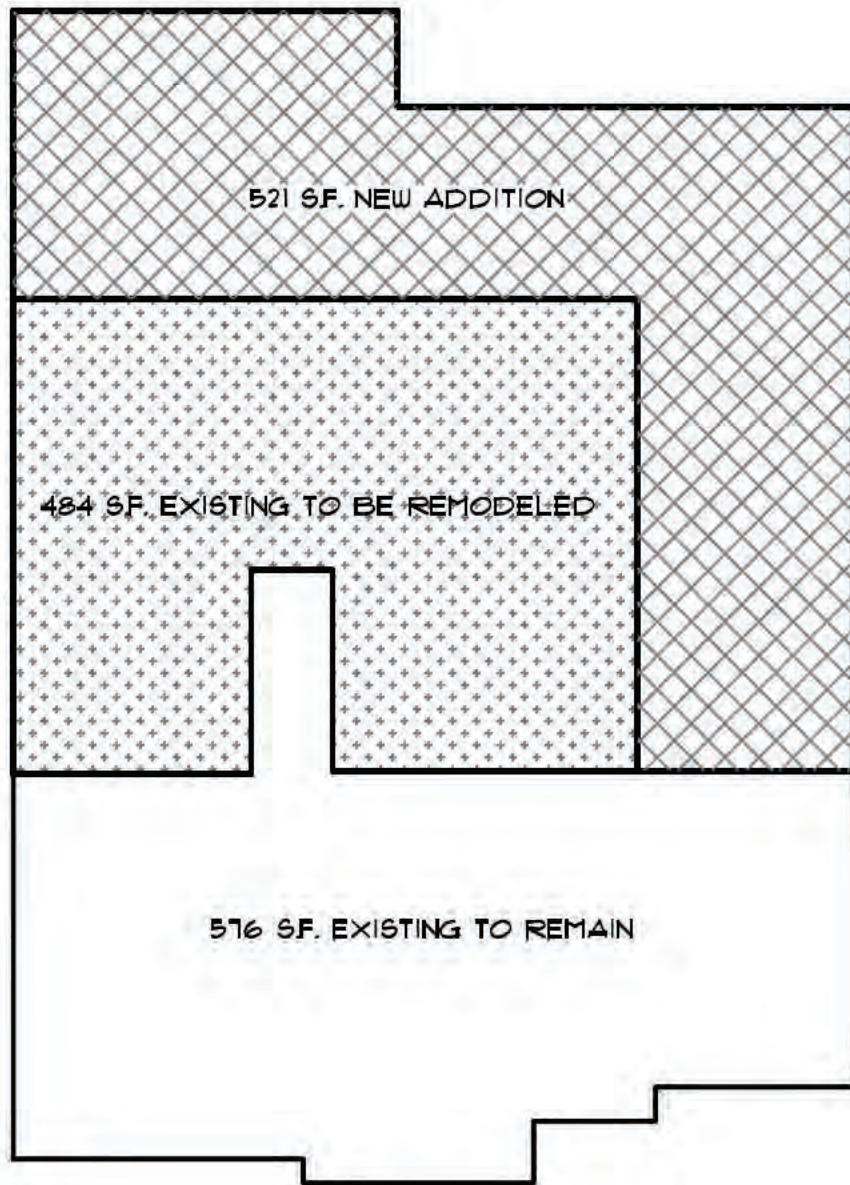
ABBREVIATIONS

A	ANCHOR BOLT	LF	LINEAL FOOT
A.C.	ASPHALTIC CONCRETE	LG	LONG
ACoust	ACOUSTICAL	LKR	LOCKER
ADD	ADDENDUM	LT	LIGHT
ADJ	ADJUSTABLE	LVT	LUXURY VINYL TILE
AGGR	AGGREGATE	MAX	MAXIMUM
AHJ	AUTHORITIES HAVING JURISDICTION	M.B.	MACHINE BOLT
ALT	ALTERNATE	M.C.	MEDICINE CABINET
ALUM	ALUMINUM	MECH	MECHANICAL
APPROX	APPROXIMATELY	MEMB	MEMBRANE
ARCH	ARCHITECT	MET	METAL
Z	ANGLE	MFG	MANUFACTURE(R)
BD	BOARD	MH	MANHOLE
BLDG	BUILDING	MI	MALLEABLE IRON
BLK/G	BLOCKING	MIN	MINIMUM
BT	BEAT	MIR	MIRROR
BOT	BOTTOM	MISC	MISCELLANEOUS
BOW	BACK OF WALK	MNO	MASONRY OPENING
B&L	BUILDING SETBACK LINE	MTD	MOUNTED
B&FL	BACKSPLASH	MUL	MULLION
BTW	BETWEEN	N	NORTH
BUR	BUILT-UP ROOFING	NE	NEW
BW	BOTH WAYS	N.E.C.	NATIONAL ELECTRIC CODE
CAB	CABINET	N.C.	NOT IN CONTRACT
C.A.H.	CLEAR ALL HEART	N.C.	NUMBER
CB	CATCH BASIN, CORNER BEAD	NCH	NOMINAL
C.B.C.	CALIFORNIA BUILDING CODE	N.T.S.	NOT TO SCALE
C.C.	CENTER TO CENTER	NRC	NOISE REDUCTION CONTROL
C.C.R.	CALIFORNIA CODE OF REGULATION	O	OVER
CEI	CEMENT	O.A.	OVERALL
C.I.	CAST IRON	OBS	OBSCURE
C.J.	COLD JOINT, CONTROL JOINT	O.C.	ON CENTER
CLG	CEILING	O.D.	OUTSIDE DIMENSION (DIA)
CLK	CALLING	OFF	OFFICE
CLO	CLOSET	OH	OVERHEAD, OVERHANG
CLR	CLEAR	OPG	OPENING
CMC	CALIFORNIA MECHANICAL CODE	OPP	OPPOSITE
C.M.P.	CORRUGATED METAL PIPE	OZ	OUNCE
CHU	CONCRETE MASONRY UNIT	P.C.	PLUMBING CONTRACTOR
COL	COLUMN	P.F.B.	PLASTIC FINISH BOARD
CONE	CONCRETE	FL.E	FLATE, PROPERTY LINE
CONN	CONNECTION	FLAS	FLASTER
CONSTR	CONSTRUCTION	PLYUD	PLYWOOD
CONT	CONTINUOUS	FOL	POLISHED
CONC.	CALIFORNIA OFFICE OF NOISE CONTROL	FR	PAIR
COTG	CLEANOUT TO GRADE	PRECAST	PRECAST
C.P.C.	CALIFORNIA PLUMBING CODE	PT	POINT
CPT	CARPET	P.T.D.	PAPER TOWEL DISPENSER
C.T.	CERAMIC TILE	P.T.D.P.	PRESSURE TREATED DOUGLAS FIR
TR	CENTER	COMBINATION P.T.D. & P.T.R.	PARTITION
CTSK	COUNTERSINK	PTN	PAPER TOWEL RECEPTACLE
CU	CONDENSING UNIT	P.T.R.	PUBLIC UTILITY EASEMENT
+	CENTERLINE	PUE	
D	DRYER	Q.T.	QUARRY TILE
DBL	DOUBLE	R	RISER
DET	DETAIL	R.A.	RETURN AIR
D.F.	DOUGLAS FIR	RAD	RADIATOR
D.F.	DRINKING FOUNTAIN	R.A.G.	RETURN AIR GRILLE
DIA	DIAETER	R.C.P.	REINFORCED CONCRETE PIPE
DIAG	DIAGONAL	R.D.	ROOF DRAIN
DM	DIMENSION	REF	REFERENCE
DISP	DISPENSER, DISPOSER	REINF	REINFORCED(ING)
DN	DOWN	RES	RESINOUS FLOORING
DO	DITTO	RET	RETAINING
DR	DOOR	REQ	REQUIRED
D.S.	DOWN SPOUT	RESIL	RESILIENT
DW	DISHWASHER	RFG	REFRIGERATOR
DWG	DRAWING	RSTR	REGISTER
DUR	DRAWER	RM	ROOM
E	EAST	RO	ROUGH
E.A.	EACH	R.O.	ROUGH OPENING
E.J.	EXPANSION JOINT	RS	RAINWATER LEADER
ELEC	ELECTRICAL	RUD	REDWOOD
EL	ELEVATION	R/W	RIGHT OF WAY
ELEV	ELEVATOR	S	SOUTH
EMER	EMERGENCY	SAD	SEE ARCHITECTURAL DWGS.
EN	EDGE NAILING	S.A.R.	SUPPLY AIR REGISTER
ENCL	ENCLOSURE	SASH	SELF-ADHERED SHEET MEMBRANE
EQ	EQUAL	SC	SOLID CORE
EOP	EQUIPMENT	S.C.D.	SEAT COVER DISPENSER
EW	ELECTRIC WATER COOLER	S.D.	SOAP DISPENSER
EW	EACH WAY	SECT	SECTION
E/EXIST	EXISTING	SF	SQUARE FEET
EXP	EXPANSION	SH	SHED
EXPO	EXPOSED	SHR	SHOWER
EXT	EXTERIOR, EXTENSION	SHT	SHEET
F.A.	FIRE ALARM	SHTG	SHEATHING
FAU	FORCED AIR UNIT	SHT	SHEETMETAL SCREWS
F.B.	FRAMING CLIP	SND	SANITARY NAPKIN DISPENSER
F.C.	FLOOR CLEANOUT	SNR	SANITARY NAPKIN RECEPTACLE
F.D.	FLOOR DRAIN	S.O.V.	SHUT-OFF VALVE
FDC	FIRE DEPT. CONNECTION	S 4 P	SQUARE
FDN	FOUNDATION	S.S.	SELECT STRUCTURAL
F.E.	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FACE OF FRAME, FACEFRAME, FINISH FLOOR	ST	SERVICE SINK
FFA	FREE FLOW AREA	STA	STATION
FG	FINISH GRADE	STD	STANDARD
FGL	FIXED GLASS	STL	STEEL
FIN	FINISH	STO	STORAGE
FL	FLOOR	STR	STRUCTURAL
FLASH	FLASHING	SUSP	SUSPENDED
FLUOR	FLUORESCENT	SV	SHEET VINYL FLOORING
F.O.C.	FACE OF CONCRETE	SW	SHEAR WALL
F.O.F.	FACE OF FINISH	SYM	SYMMETRICAL
F.O.P.	FACE OF MASONRY	T	TEMPERED
F.O.S.	FACE OF STUD	T.B.	TOWEL BAR
F.O.	FINISHED OPENING	T 4 B	TOP 4 BOTTOM
FFRF	FIREPROOF	TZ	TOP OF CURB
FRT.	FIRE RETARDANT TREATED	TEL	TELEPHONE
FR	FIRE RATED(ING)	TER	TERRAZZO
FTG	FOOTING	T 4 G	TONGUE & GROOVE
FTI	FOOT	TH	THICK
FUR	FURRING	THK	THICK
FUT	FUTURE	T.O.P	TOP OF PLATE
GA	GAUGE	T.P.	TOP OF PAVEMENT
GAL	GALLON	T.P.D.	TOILET PAPER DISPENSER
GALV	GALVANIZED	TRD	TREAD
GB	GRAB BAR	T.S.	TUBULAR STEEL
GLB	GULLAM BEAM	T.S.B.	TOP-SET BASE
GI	GALVANIZED IRON	T.V.	TELEVISION
GL	GLASS	T.W.	TOP OF WALL
GND	GROUND	TYP	TYPICAL
GR	GRADE	UNF	UNFINISHED
GSM	GALVANIZED SHEET METAL	UNO, UON	UNLESS NOTED OTHERWISE
GWB	GYPSTUM WALLBOARD	UR	URINAL
GYP	GYPSTUM	V.C.F.	VITRIOUS CLAY PIPE
H.B.	HOSE BIBB	V.C.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VERT	VERTICAL
HD	HOLD	VEST	VESTIBULE
HDUR	HARDWARE	V.G.	VERTICAL GRAIN
HDWD	HARDWOOD	V.I.F.	VERIFY IN FIELD
HDR	HEADER	V.T.R.	VENT THRU ROOF
HGT	HEIGHT	VW.C.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W	WEST, WASHER
HORIZ	HORIZONTAL	W/C	WITH
HR	HANDRAIL	W.D.	WATER CLOSET
HR	HOUR	W.I.	WATER DIMENSION
HDS	HOT DIPPED GALVANIZED	W.I.F.	WROUGHT IRON
HWH	HOT WATER HEATER	W.W.F.	WOVEN WIRE FABRIC
I.A.W	IN ACCORDANCE WITH	W/O	WITHOUT
I.D.	INSIDE DIMENSION	W.P.	WATERPROOF
I.N.	INCH, INCHES	W.S.	WOOD SCREWS
INSUL	INSULATION	WSCOT	WAINSCOT
INT	INTERIOR	WT	WEIGHT
INV	INVERT	WWM	WOVEN WIRE MESH
ISA	INTERNATIONAL SYMBOL	WRC	WESTERN RED CEDAR
JAN	JANITOR		
JST	JOIST		
JO	JOINT		
KIT	KITCHEN		
LAB	LABORATORY		
LAM	LAMINATED		
LAV	LAVATORY		
LB	FOUND(S)		

REMODEL/ADDITION

PRELIMINARY REVIEW

HISTORIC PRESERVATION COMMITTEE



FLOOR 2 PLAN  
140 SF. NEW



GENERAL

OWNER  
34 PLEASANT STREET  
LOS GATOS, CA 95030  
PHONE: [REDACTED]  
EMAIL: [REDACTED]

PROJECT DESCRIPTION

THIS PROJECT IS A REMODEL AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE, ORIGINALLY CONSTRUCTED C. 1930.  
THIS PROJECT WILL RETAIN 62% OF THE EXISTING EXTERIOR PERIMETER. APPROXIMATELY 38% OF THE EXISTING PERIMETER WILL BE OBLISCURED OR REMOVED AS A PART OF THIS PROJECT.

PROJECT INFORMATION

BUILDING USE SINGLE FAMILY RESIDENCE  
ASSESSOR'S PARCEL NUMBER 529 26 018  
ZONING R-1D  
OCCUPANCY TYPE: R3  
YEAR ORIGINALLY BUILT 1930

STORIES 1 EXISTING  
ADD NEW FLOOR 2  
EXISTING FLOOR AREA 1060 SF.  
NEW FLOOR:  
FIRST FLOOR 1060 SF.  
FIRST FLOOR ADDITION 521 SF.  
SECOND FLOOR 140 SF.  
TOTAL 2321 SF.

F.A.R. 0.35 MAX LOT SIZE - 1130 SF.  
MAX F.A.R. ALLOWABLE 2705 SF.  
APPLICABLE CODES:  
2022 CBC  
2022 CEC  
2022 CPC  
2022 CFC  
2022 CA HISTORIC BUILDING CODE  
2022 CA EXISTING BUILDING CODE  
2022 CAL GREEN  
MUNICIPAL CODE OF THE TOWN OF LOS GATOS

CONSULTANTS

INDEX OF DRAWINGS

SHT. #	SEQ.	DESCRIPTION
GO	1	COVER SHEET
G1	2	SITE PLAN
A1	3	EXISTING FLOOR PLAN EXISTING EXTERIOR ELEVATIONS
A2	4	FLOOR 1 FLOOR 2
A4	5	EXTERIOR ELEVATIONS

- DATE: 28 OCT 2024	JOB No.	2434	
	DATE		
	DESCRIPTION	DATE	REV

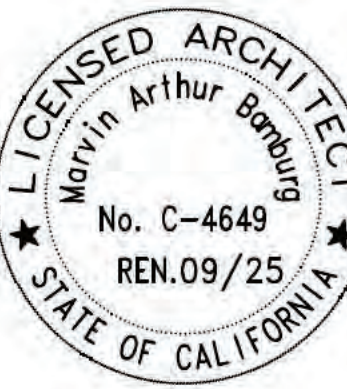
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS

ARCHITECTS

MBA ARCHITECTS

1178 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0289X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

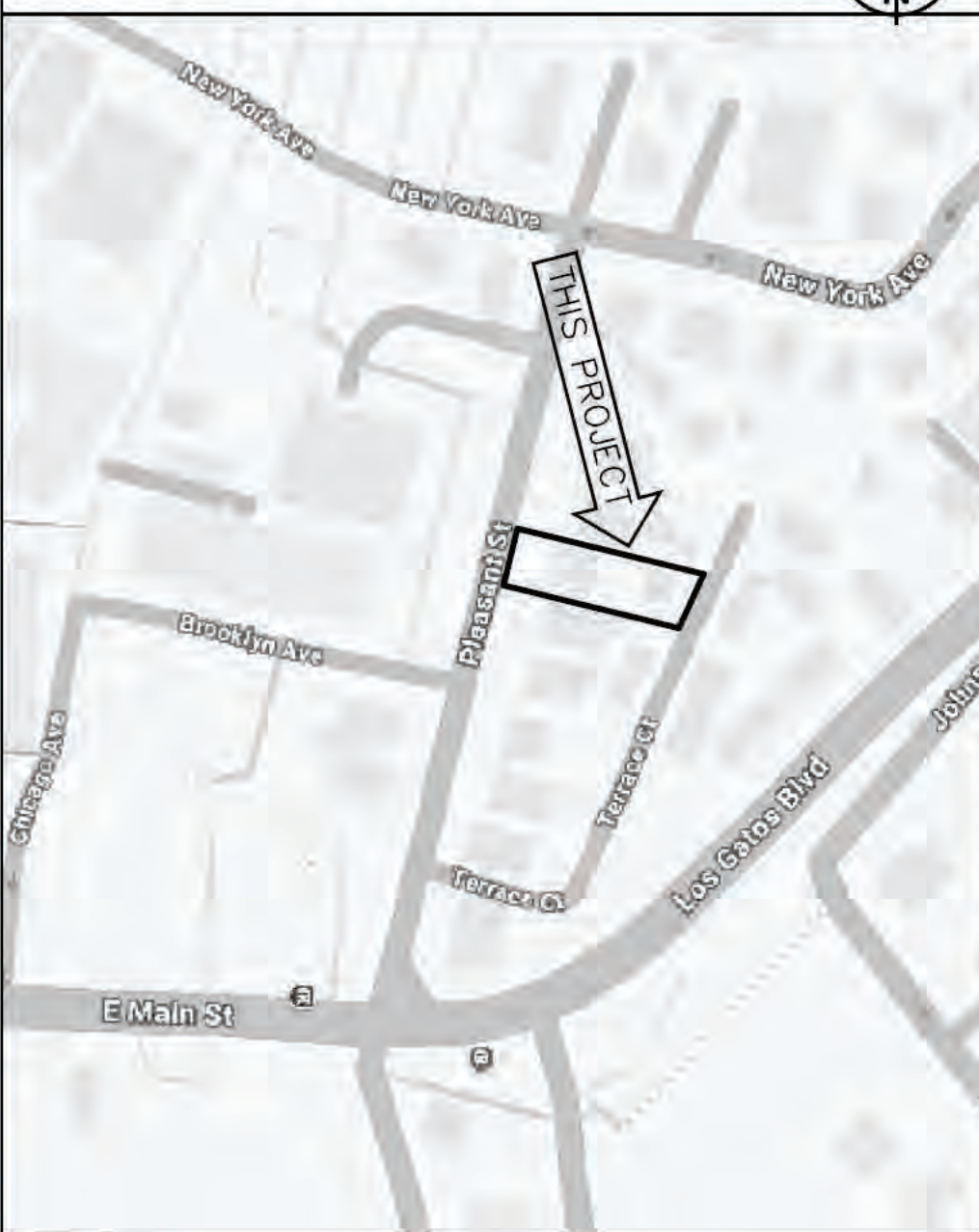
COPYRIGHT © 2024  
MBA ARCHITECTS

SHEET TITLE  
COVER SHEET

SCALE As Shown  
CAD FILE 2434-COVER.dwg  
DRAWN BY

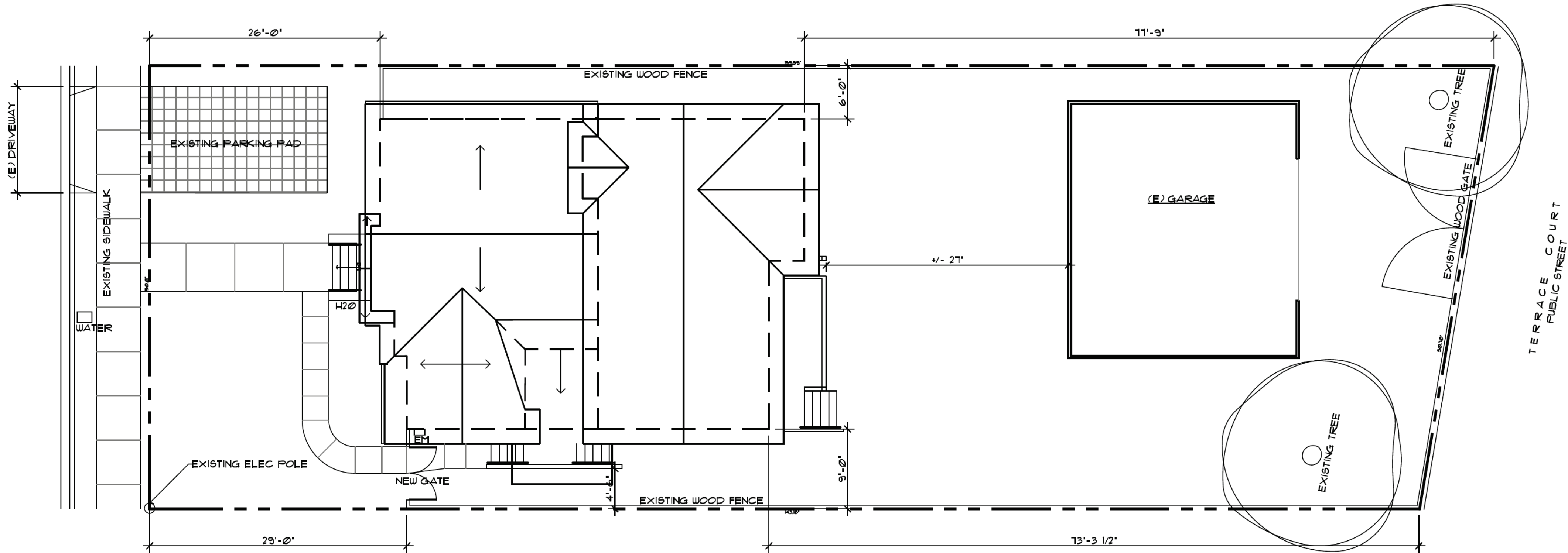
SHEET  
GO  
1 OF SHEETS

LOCATION MAP






PLEASANT STREET  
PUBLIC STREET



 **SITE PLAN**  
1/8" = 1'-0"

LOT SIZE: 1130 SF

FAR EXISTING 1060/1130 = 13.1%  
FAR PROPOSED: 2321/1130 = 30%  
MAX FAR = 35% = 2105 SF. ALLOWED

  
SCALE: 1/8" = 1'-0"

ADJACENT SINGLE FAMILY HOME

ADJACENT SINGLE FAMILY HOME

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

JOB No. 2434  
DATE

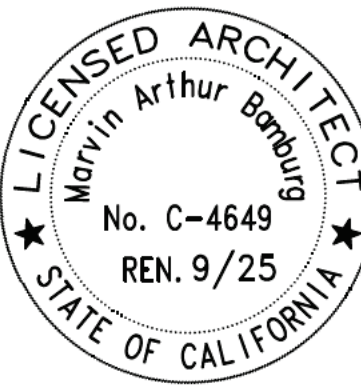
DESCRIPTION	DATE	REV.

REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

**MBA** ARCHITECTS  
MARVIN BARBURG ASSOCIATES  
1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

COPYRIGHT © 2024

MBA ARCHITECTS

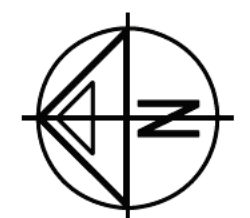
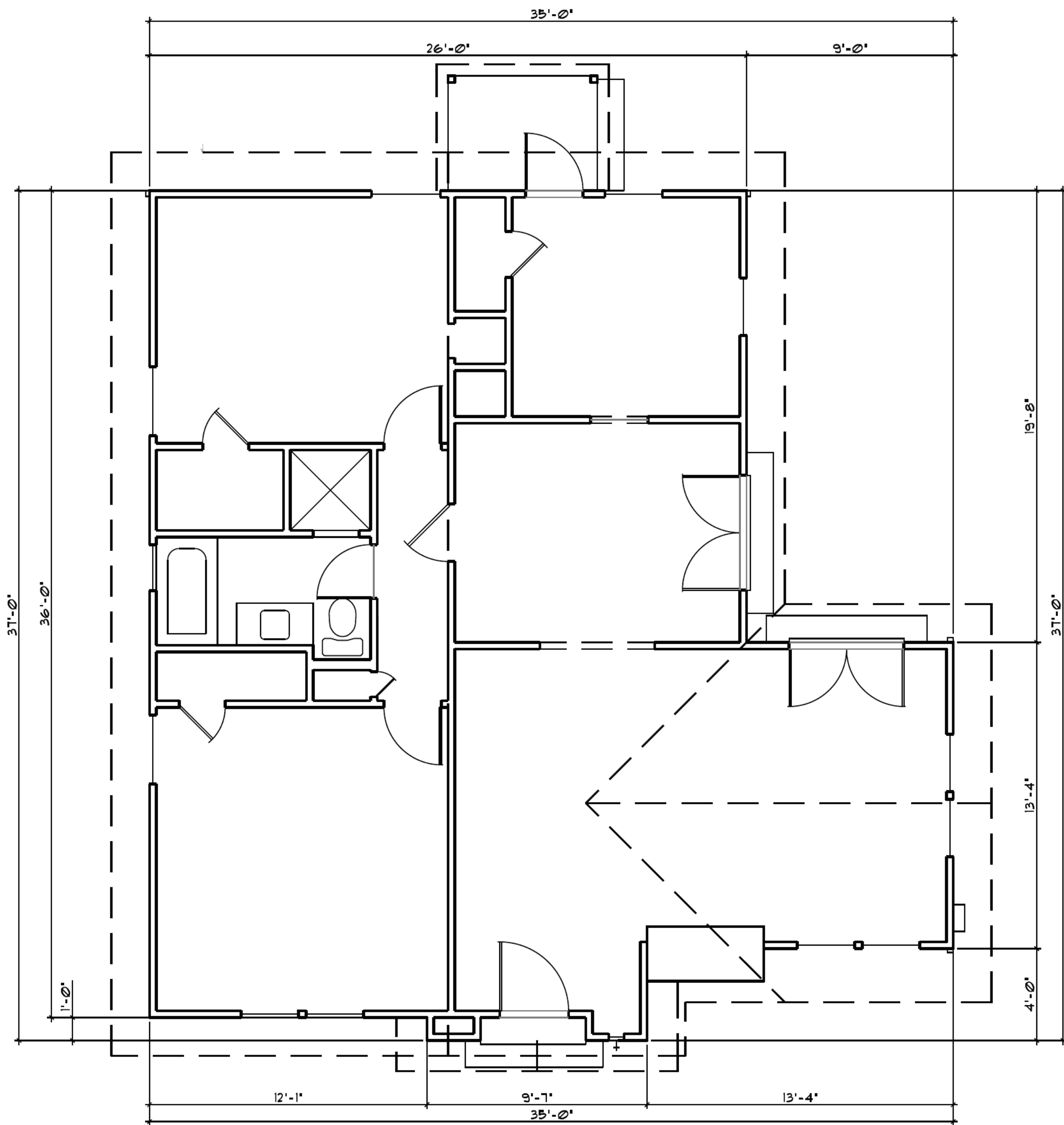
SHEET TITLE  
**SITE PLAN**

SCALE As Shown  
CAD FILE 2434-G1.dwg  
DRAWN BY

SHEET

G1

OF SHEETS



## EXISTING FLOOR PLAN

1060 S.F.

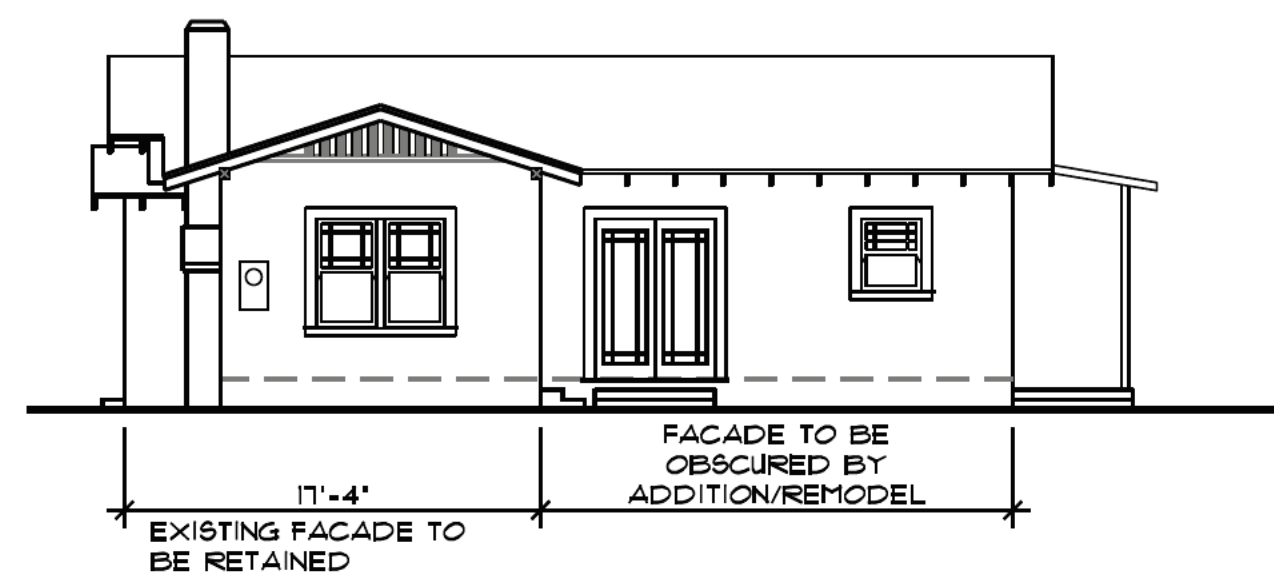
### PERIMETER TO BE REMOVED/RETAINED CALCULATION

	RETAINED	REMOVED
WEST	35'	
SOUTH	17'-4"	19'-8"
EAST		35'
NORTH	31'	
TOTAL	89'-4"	54'-8"

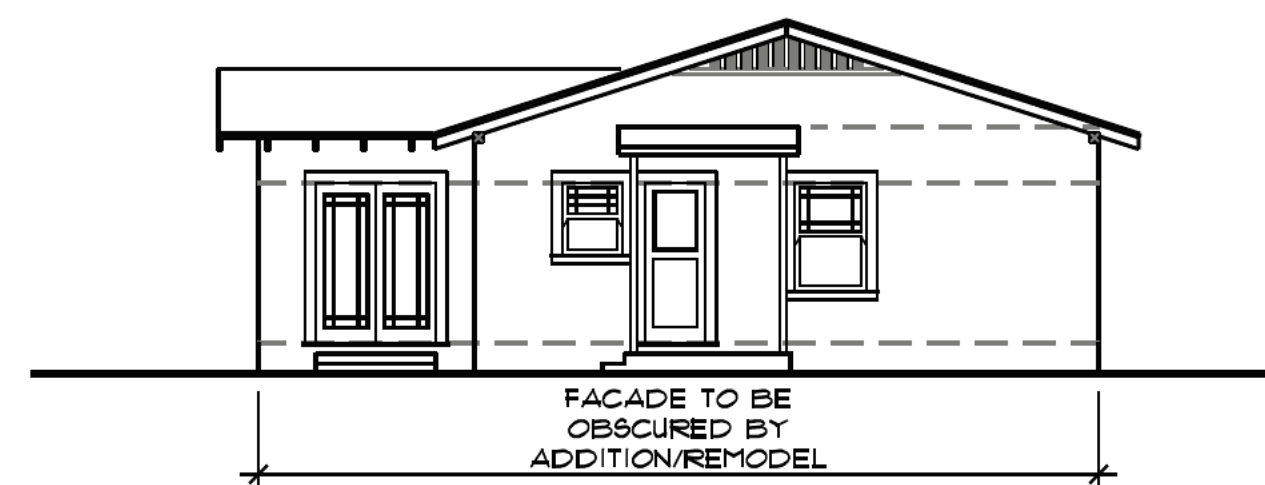
TOTAL PERIMETER: 144' : 62% TO BE RETAINED, 38% TO BE OBSCURED BY NEW ADDITION/REMODEL



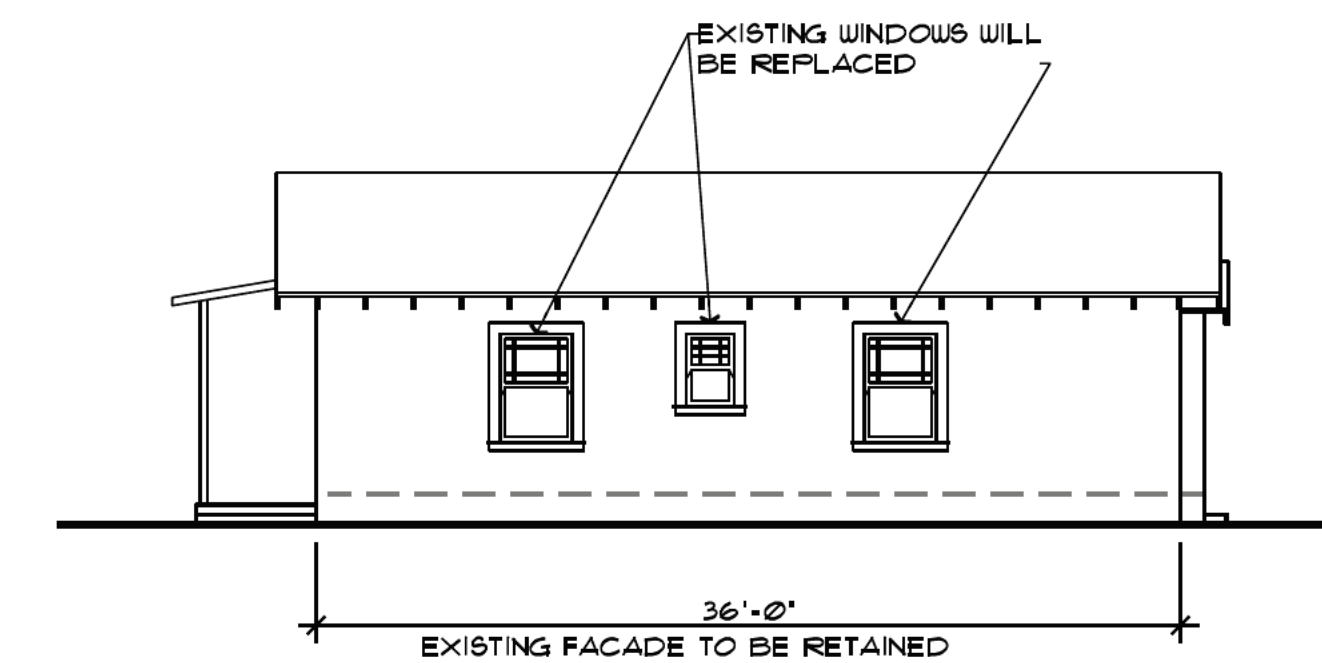
EXISTING WEST ELEVATION  
1/8" = 1'-0"



EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



EXISTING EAST ELEVATION  
1/8" = 1'-0"



EXISTING NORTH ELEVATION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

JOB No.	2434
DATE	

DESCRIPTION	DATE	REV.

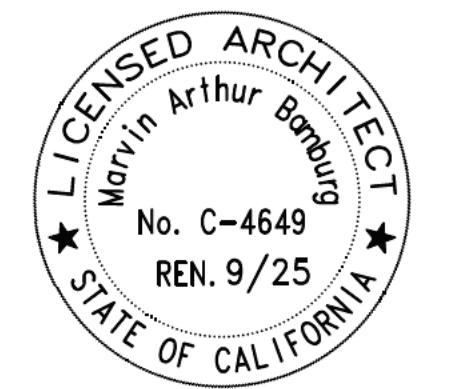
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA ARCHITECTS

1176 LINCOLN AVENUE, SAN JOSE, CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

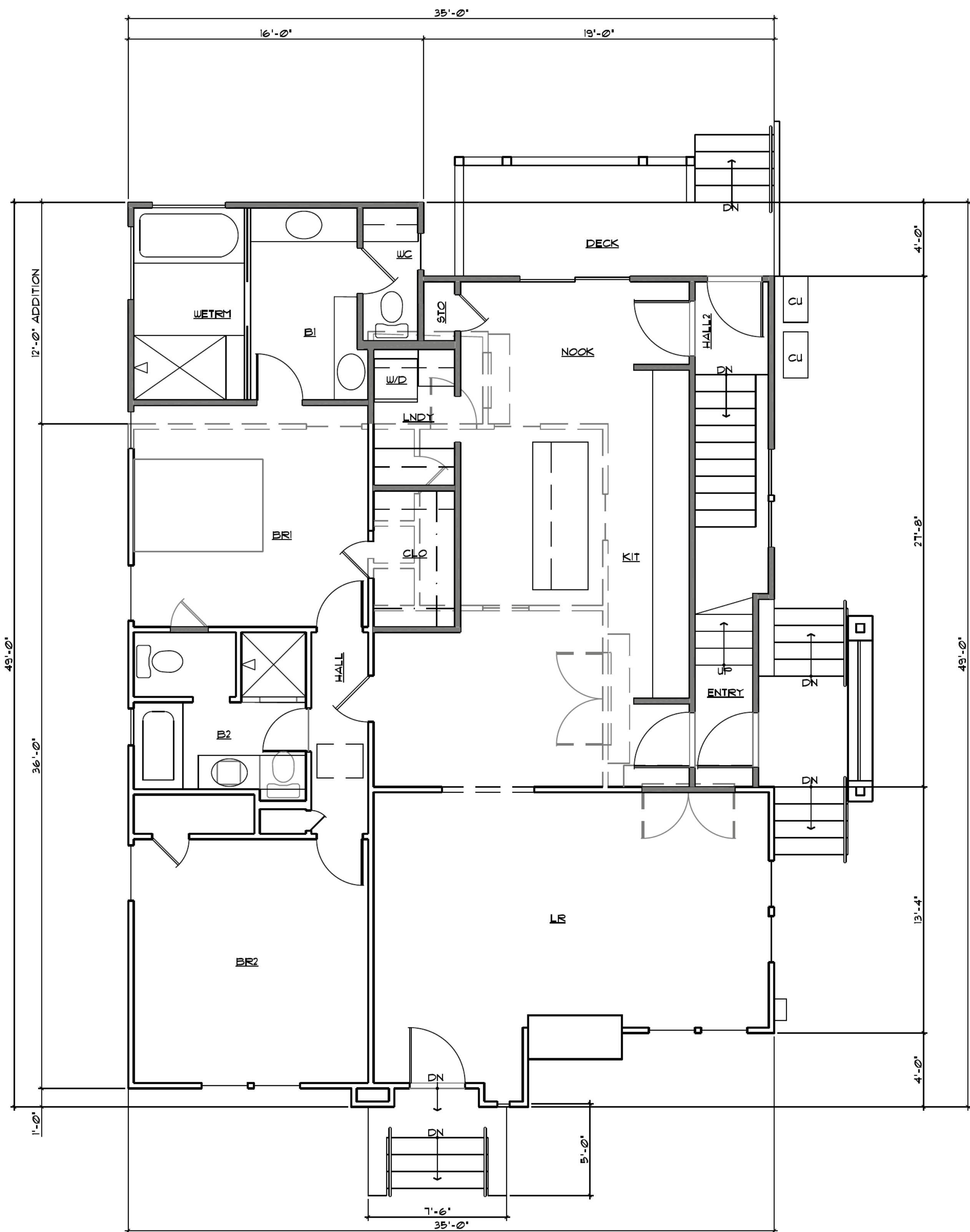
COPYRIGHT © 2024

MBA ARCHITECTS

SHEET TITLE  
EXISTING FLOOR PLAN  
EXTERIOR ELEVATIONS

SCALE As Shown  
CAD FILE 2434-A1.dwg  
DRAWN BY

SHEET  
A1  
OF SHEETS



**FLOOR 1 PLAN**

516 SF. EXISTING TO REMAIN  
484 SF. EXISTING TO BE REMODELED  
521 SF. NEW ADDITION  
1581 SF. TOTAL FLOOR 1  
140 SF. TOTAL FLOOR 2  
2321 SF. TOTAL

LOT SIZE : 7730 SF.

**LEGEND**

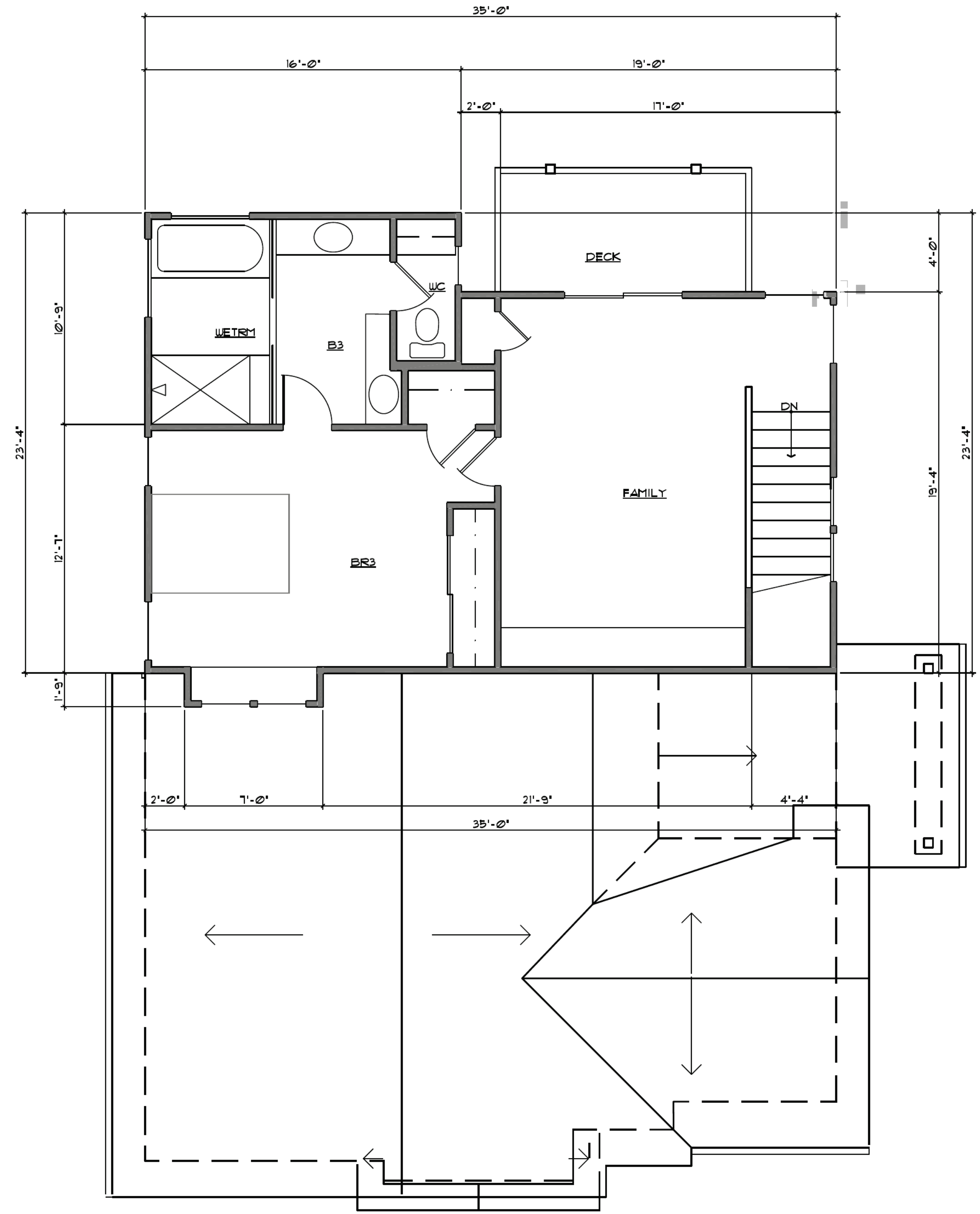
— — — — — EXISTING WALLS TO REMAIN

— — — — — EXISTING WALLS TO BE REMOVED

— — — — — NEW WALLS

0 1 2 4 8 16

SCALE: 1/4" = 1'-0"



**FLOOR 2 PLAN**  
140 SF. NEW

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

JOB No. 2434

DATE

DESCRIPTION	DATE	REV.

REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

**MBA**  
MARVIN BARBUR ASSOCIATES

1176 LINCOLN AVENUE, SAN JOSE, CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384

LICENSED ARCHITECT

Marvin Arthur Barbur

No. C-4649

REN. 9/25

STATE OF CALIFORNIA

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2024

MBA ARCHITECTS

SHEET TITLE

**FLOOR 1**

**FLOOR 2**

SCALE As Shown

CAD FILE 2434-A2.dwg

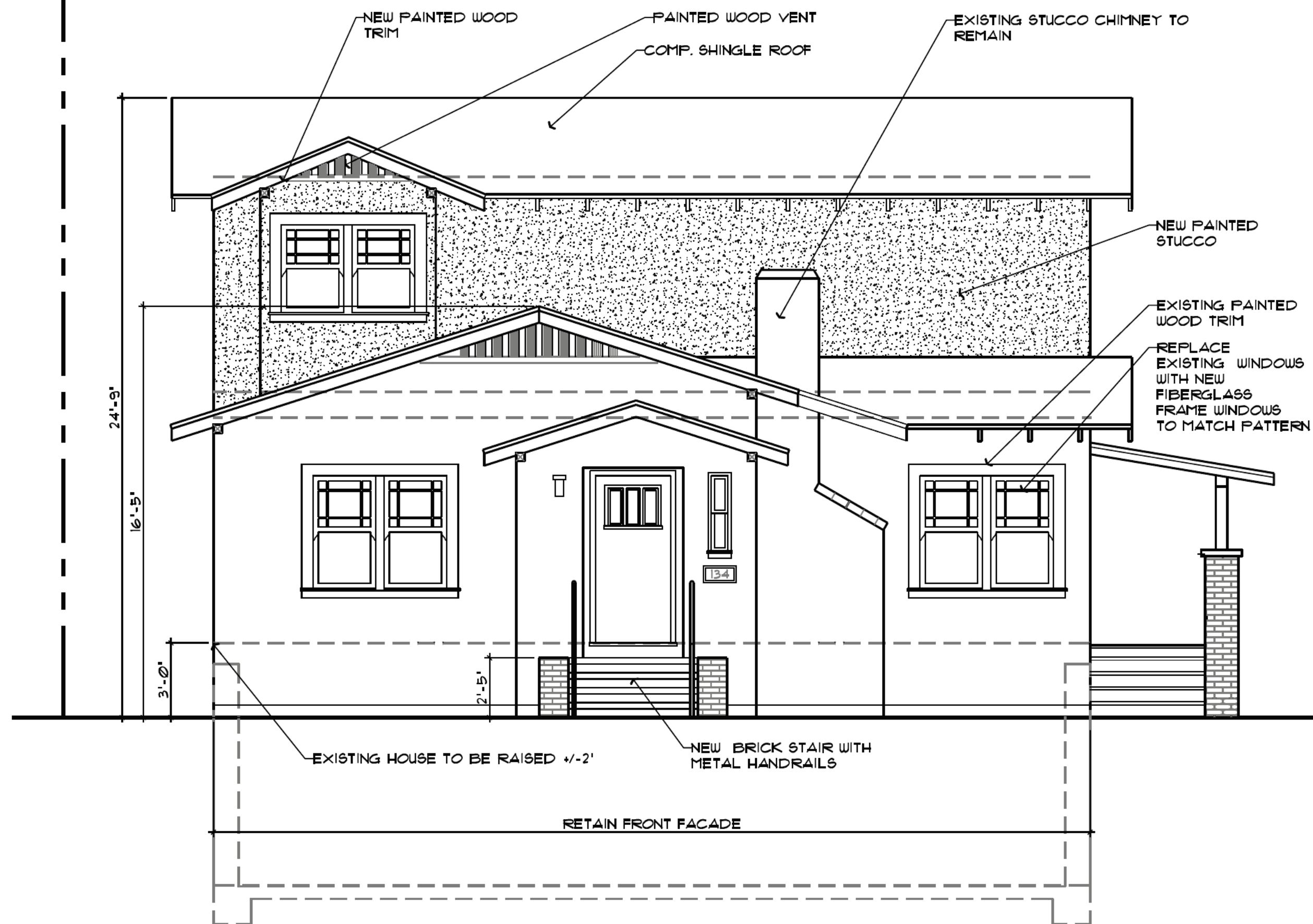
DRAWN BY

SHEET

**A2**

OF SHEETS

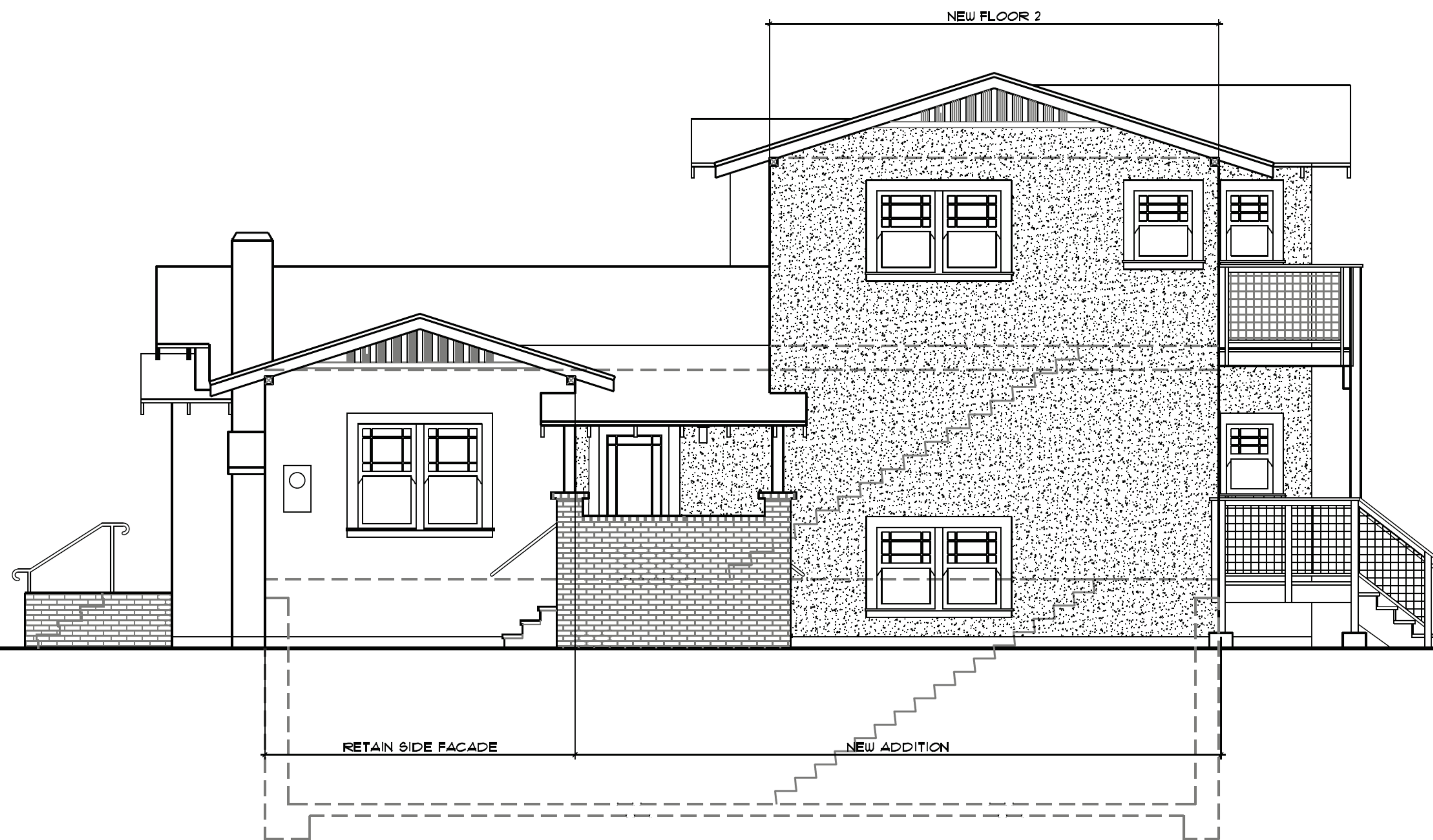




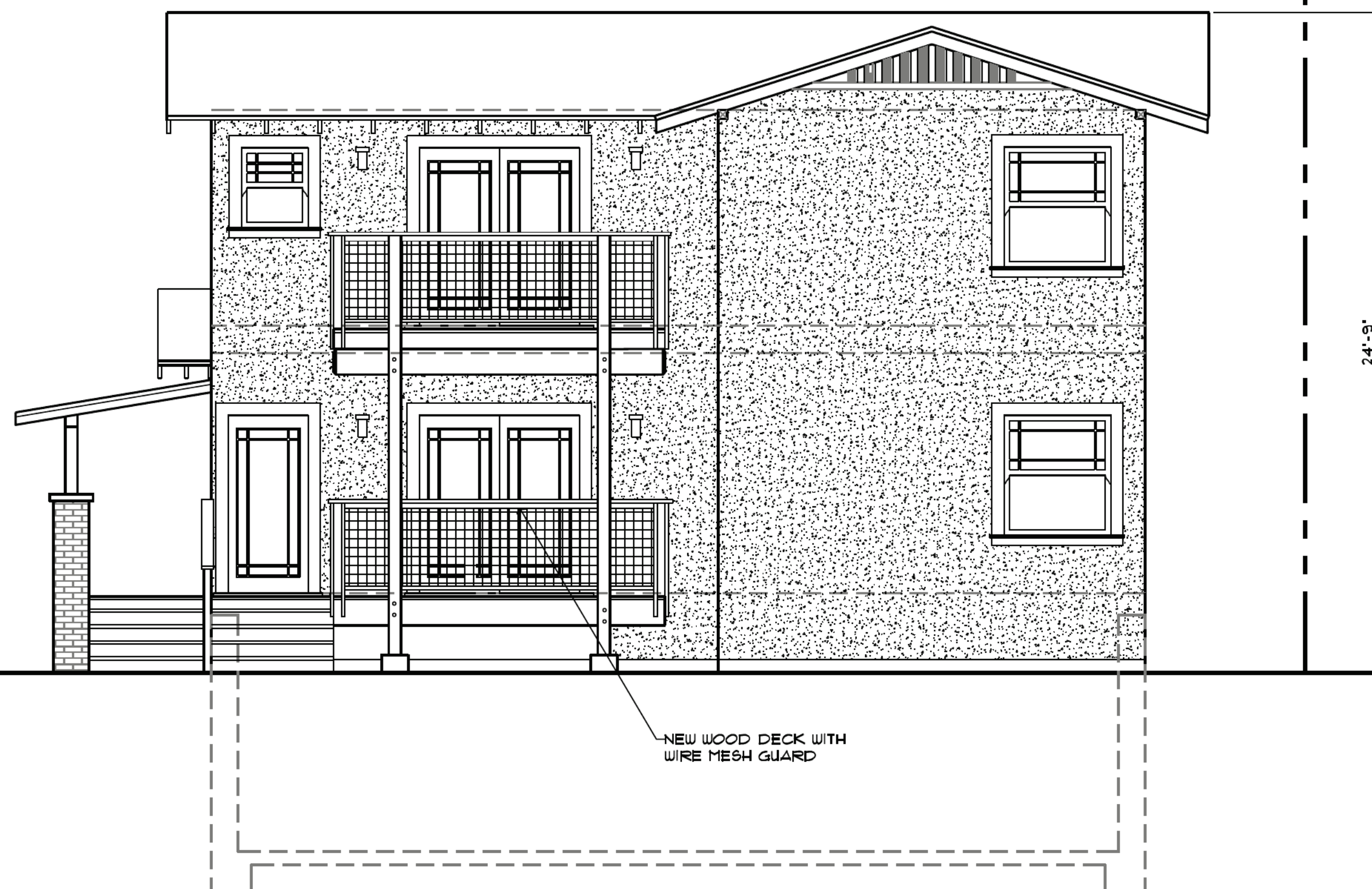
WEST

0 1 2 4 8 16

SCALE: 1/4" = 1'-0"

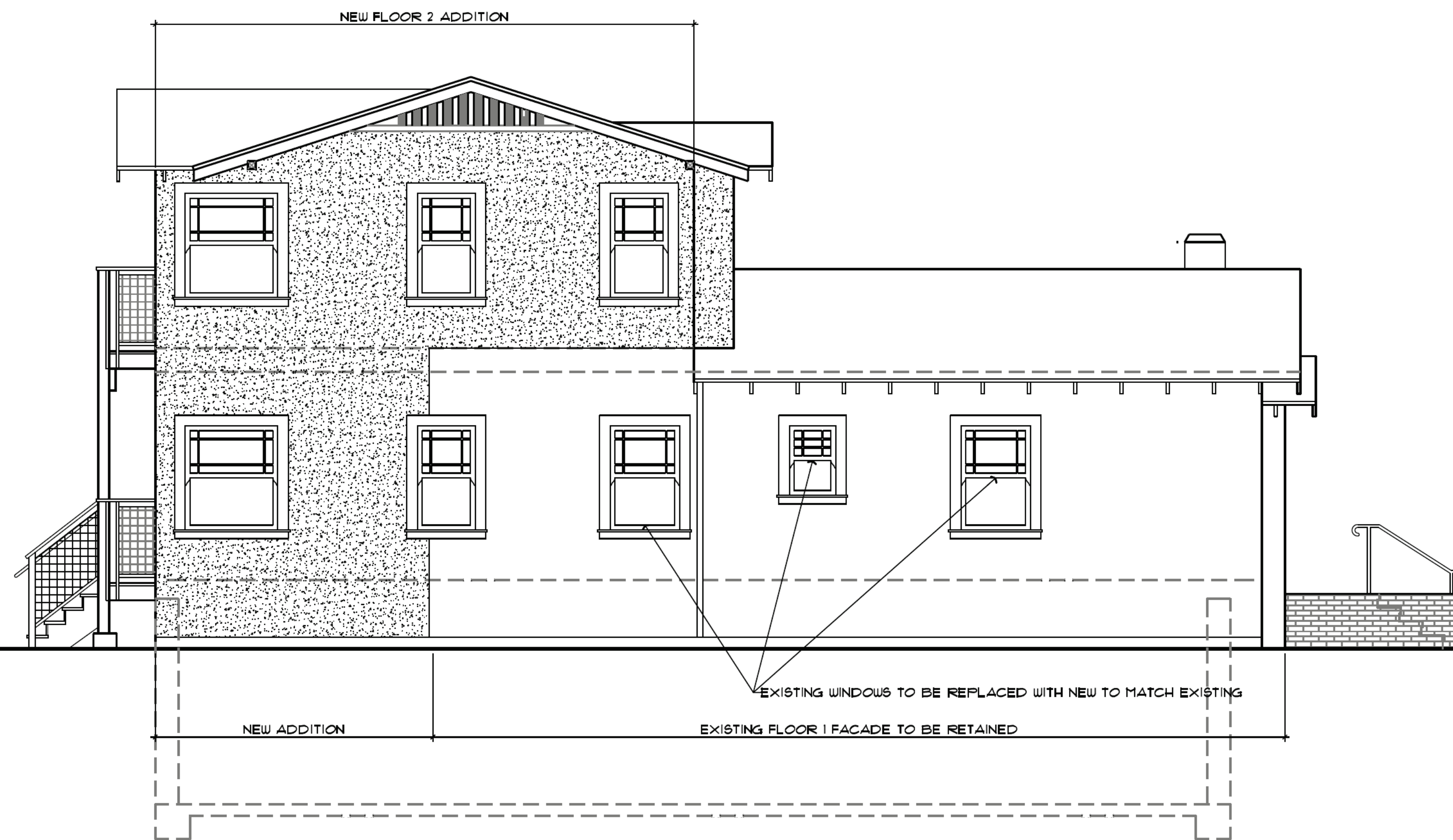


SOUTH



EAST

EAST FACADE IS ALL NEW ADDITION



NORTH

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

JOB No.	2434	
DATE		
DESCRIPTION	DATE	REV.

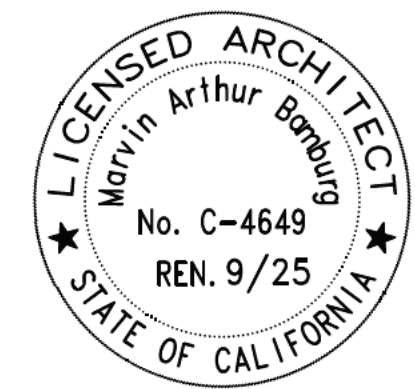
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA  
MARVIN BARBER ASSOCIATES INC.

1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2024

MBA ARCHITECTS

SHEET TITLE  
EXTERIOR  
ELEVATIONS

SCALE As Shown  
CAD FILE 2434-A4.dwg  
DRAWN BY

SHEET  
A4  
OF SHEETS



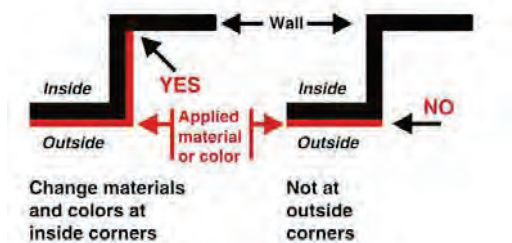
***This Page  
Intentionally  
Left Blank***

### 3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

### 3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

### 3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house



## BUILDING DESIGN

## 3



*Original structure*



*Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood*



*Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood*

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



**TOWN OF LOS GATOS**  
COMMUNITY DEVELOPMENT DEPARTMENT  
**PLANNING DIVISION**  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

December 19, 2024

Maia Gendreau  
1176 Lincoln Ave  
San Jose, CA 95060, Via email

**RE: 34 Pleasant Street**  
**Request for Review PHST-24-023.**

**Requesting Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 529-26-018. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.**

**Property Owner: Michael Hyman.**

**Applicant: Maia Gendreau.**

**Project Planner: Ryan Safty.**

On December 18, 2024, the Los Gatos Historic Preservation Committee discussed the item and provided the following feedback and requested that the applicant return to the Committee at a future date:

- Recommend fiber glass clad wood windows over pure fiber glass.
- Although pushing the new addition to the rear is consistent with the Residential Design Guidelines, some of the members requested that the addition be pushed closer to the front façade to better integrate into the existing home.
- Look for strategies to differentiate the second story from the existing first story, including different exterior materials and ensuring whatever is done is consistent with the architectural style.
- Consider replicating the existing front gables on the second floor or working the second-story addition into the existing roof form to decrease massing.
- Appreciate them replicating the existing window lugs in the new replacement windows.
- Carefully consider whether insulation is required on the existing house to remain and whether the existing stucco would need to be removed in the future.
- Balancing windows at the rear and using windows to break up the blank mass.
- If a front gable isn't pursued, additional windows should be added to balance the second story front-facing façade.
- Consider replacing the thin metal handrail at the front of the house with something more substantial.
- Consider using a different material for the below-grade portion of the house if the house is raised more than a few feet.

If you have any questions, I can be contacted by phone at (408) 354-6802 or by email at [rsafty@losgatosca.gov](mailto:rsafty@losgatosca.gov).

Best regards,

*Ryan Safty*

Ryan Safty  
Associate Planner

***This Page  
Intentionally  
Left Blank***





**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

---

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING  
DECEMBER 18, 2024**

The Historic Preservation Committee of the Town of Los Gatos conducted a special meeting on December 18, 2024 at 4:00 p.m.

**MEETING CALLED TO ORDER AT 4:00 PM**

**ROLL CALL**

Present: Chair Susan Burnett, Vice Chair Lee Quintana, Planning Commissioner Jeffrey Barnett, Committee Member Barry Cheskin, and Committee Member Martha Queiroz.

Absent: None

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. Draft Minutes of the September 11, 2024 Historic Preservation Committee Meeting
2. Draft Minutes of the October 23, 2024 Historic Preservation Committee Meeting

**MOTION:**                    **Motion by Committee Member Barnett** to approve the Consent Calendar. **Seconded by Committee Cheskin.**

**VOTE:**                    **Motion passed unanimously.**

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

6. 34 Pleasant Street  
Request for Review Application PHST-24-023

Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.  
Property Owner: Michael Hyman  
Applicant: Maia Gendreau  
Project Planner: Ryan Safty.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
DECEMBER 18, 2024

Ryan Safty, Associate Planner, presented the staff report.

Opened public comment.

Maia Gendreau, Applicant

- The proposed windows are fiberglass ones from Marvin. If you looked at the windows side by side, you wouldn't be able to tell the difference. They perform very high in energy performance and have a traditional look to them.
- This house has been in this owner's family since it was built in the 1920s. This is a modest house, and the grandson, who now owns it, would like more space. We are proposing to keep the front the same, expand a little on the side of the house, keep the two bedrooms and living room, enlarge the kitchen so there is a dining room included, and add a staircase to the proposed second floor which would be the master suite. The majority of the addition would be at the back of the lot, attached to the back of the existing residence.
- The building is currently sitting very low to the ground, so we are going to include a proper foundation and add a basement. In its new proposed position, the property would be a foot higher off the ground than it currently is.
- We would want to keep the front stairs and brick to keep it looking the same. Around the side, there is a little access to the yard and the second floor would be pushed to the back so its further from the street.
- We would add a deck outside the kitchen area and a deck on the second-floor master suite.

Committee Members asked questions of the applicant.

Maia Gendreau, Applicant

- We have not thought of enlarging one side over the other because we are trying to keep the upstairs subsidiary to the downstairs. We can consider the material changes.
- This house is pretty much going to stay in the same place. I would like to keep the interior finishes we can and are trying not to be invasive of the parts of the house that we are not taking down. We anticipate keeping the front and interior the same, but the back of the house will get modified and changed.

Closed Public Comment.

The Committee's final recommendations for this project are:

- Recommend fiber glass clad wood windows over pure fiber glass.
- Although pushing the new addition to the rear is consistent with the Residential Design Guidelines, some of the members requested that the addition be pushed closer to the front façade to better integrate into the existing home.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
DECEMBER 18, 2024

- Look for strategies to differentiate the second story from the existing first story, including different exterior materials and ensuring whatever is done is consistent with the architectural style.
- Consider replicating the existing front gables on the second floor or working the second-story addition into the existing roof form to decrease massing.
- Appreciate them replicating the existing window lugs in the new replacement windows.
- Carefully consider whether insulation is required on the existing house to remain and whether the existing stucco would need to be removed in the future.
- Balancing windows at the rear and using windows to break up the blank mass.
- If a front gable isn't pursued, additional windows should be added to balance the second story front-facing façade.
- Consider replacing the thin metal handrail at the front of the house with something more substantial.
- Consider using a different material for the below-grade portion of the house if the house is raised more than a few feet.

7. 310 Tait Avenue

Request for Review Application PHST-24-026

Preliminary Review for Construction of a New Second-Story Addition and Exterior Alterations to an Existing Single-Family Residence on Property Zoned R-1D:LHP. APN 510-14-058. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: Santiago Allende

Applicant: Donna Chivers

Project Planner: Erin Walters

**Committee Queiroz recused themselves due to living within 1,000 feet of the property.**

Erin Walters, Associate Planner, presented the staff report.

Opened public comment.

Donna Chivers, Applicant

- The existing size of the house presents big challenges. We hope to expand the house, so it is more livable while still maintaining the character of the house. The house is very close to the front of the property line and sits on the edge of the street. We are proposing to keep three walls intact completely.
- We will be demolishing and moving the shed as it is on the neighbor's property line and another shed on the property will be removed.
- The project includes a lower level and second story addition. We will be removing the interior walls and replacing the existing windows of the walls that will stay intact.
- The front elevation will remain the same except for the roof, which will be replaced. We are proposing to match current materials, in-kind.



Committee Members asked questions of the applicant.

Donna Chivers, Applicant

- When you look at the floorplans, we have modest sized bedrooms and two bathrooms. Without eliminating a full bedroom, it will be tight. Maybe we can add a couple of feet on one side. We can also look at how far back we can push the mass of the roof.

Closed Public Comment.

Committee Members discussed the project.

The Committee's final recommendations for this project are:

- Take into account the roofing materials and low-pitched roof sections;
- Consider adding architectural details to the side elevations;
- Pay particular attention to the long pitch on the side elevation as it is not harmonious with the rest of the design;
- Study the neighborhood carefully, especially the two-story houses in the immediate neighborhood, update this design to be more consistent with the neighborhood; and
- Move the mass of the second floor to the back.

## **PUBLIC HEARINGS**

### **3. 202 University Avenue**

Minor Development in a Historic District Application HS-24-062

Approval for Modification (Siding Replacement) of a Previously Approved Project on a Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-001.

Property Owner: Tyler and Kristine Shewey

Applicant: Jay Plett, Architect

Project Planner: Sean Mullin

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Jay Plett, Architect and Tyler Shewey, Owner

- We are using the same reasoning as a previous property, 15 Chestnut, that was approved by the Committee, and it turned out beautifully. The siding is not rotten anymore, and the molding was put back like it was. We want to do the same thing with this property. The siding is nearly 120 years old now and really needs to be replaced.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
DECEMBER 18, 2024

When we got the siding touched up after purchase, the painters stated that the fixes would be good for a few more years. Due to the energy code, which is separate from the building code, we will have to insulate the entire house. We want to match the current home. We want to look at this like a restoration.

Committee Members asked questions of the applicant.

Closed Public Comment.

**MOTION:**                    **Motion** by **Susan Burnett** to forward a recommendation of approval of the above request to the Community Development Director. **Seconded** by **Barry Cheskin**.

**VOTE:**                    **Motion passed unanimously.**

4. 50 Hernandez Avenue  
Request for Review PHST-24-024

Requesting Approval for Modification (Roof Material) of a Previously Approved Project on an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 510-20-003. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Richard Archuleta and Chrissy Klander

Applicant: Jay Plett, Architect

Project Planner: Sean Mullin

**Susan Burnett and Maira Queiroz recused themselves due to living within 1,000 feet of the property.**

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Richard Archuleta, Owner

- We are requesting to change the material of a small section of our roof, which is at the back of the house. We want to change it to a standing seam metal roof. It was originally planned to be a composition roof at the advice of the Committee during a review of our concept design. Once we got into construction, and went out for bids, we couldn't find a roofer who was willing to put a composition roof on the low pitch of this roof. After evaluating different roofing methods, we were unable to find something aside from the metal originally proposed during the concept discussion.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
DECEMBER 18, 2024

Committee Members asked questions of the applicant.

Richard Archuleta, Owner

- When we walked down to Hernandez and asked a neighbor behind us to see how they felt about the roof view, they stated there are no issues with the roof view. We asked another neighbor the same question to the right of us, and they also didn't have an issue with the roof view.
- Our priority is to maintain the exterior of the home as much as possible. Looking at the front elevations and where you see from the side, we tried not to touch any of that. Especially the windows and the size and location of them because it gave a nice perspective of the home. For some homes, there were bushes and a retaining wall that blocked the view of the back of the house. The wall failed, so we tore it down and removed the bushes. We will be replacing these, which will block the view of the roof again for those neighbors who do have concerns.

Closed Public Comment.

Committee Members discussed the matter.

**MOTION:**                    **Motion by Jeffrey Barnett** to forward a recommendation of approval of the above request to the Community Development Director. **Seconded by Lee Quintana.**

**VOTE:**                    **Motion passed (2-1). Barry Cheskin voting no and Susan Burnett and Maira Queiroz recused.**

5. 311 Johnson Avenue

Minor Residential Development Application MR-24-015

Approval for Construction of Exterior Modifications and a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-28-017. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.  
Property Owner/Applicant: Nishita Biddala  
Project Planner: Suray Nathan

Suray Nathan, Assistant Planner, presented the staff report.

Committee Members asked questions of the Staff.

Opened Public Comment.



MINUTES OF THE HISTORIC PRESERVATION COMMITTEE SPECIAL MEETING OF  
DECEMBER 18, 2024

Abhay Karthik, Applicant and Owner

- We purchased the house in June of this year and have been working to move in, but the rear of the house is not livable. We are trying to extend it by six feet and add a second story. The last time we were here, we received feedback that the windows were blank on the side and did not match. We have made sure the windows match now and added additional windows. We also complied with the consulting architect report we received.

Anne and Joe Walker

- We have lived where we are at for 30 years. We were originally told by the applicant that the construction that was going to take place was only going to be a kitchen remodel. Then, a couple of days ago, we saw story poles go up, and there are no setbacks on the second floor, and it is four feet from the property line, which is a real invasion looking in our windows from the second floor.
- On Johnson Avenue, we are all worried about drainage issues. There should be something on this property to address the drainage issue. There is also a code violation on this property for the drainage issue.

Abhay Karthik, Applicant and Owner

- The story poles are part of the process that we had to go through and were required. We also posted the Minor Residential application sign for the public to see. We spoke to all the neighbors around the area who all seemed very supportive.
- For the drainage system, it has a history with the previous owner, and we were made aware of it. We have agreed to fix the issue by having the water flow on the side to go to the storm drain, which is being reviewed by engineering. We can't make changes until it is approved.
- With the windows and privacy issue, the windows were added at the recommendation of the architect, but it is not a window that will be opened or used frequently.

Closed Public Comment.

Committee Members discussed the project.

**MOTION:**                    **Motion by Jeffrey Barnett** t to forward a recommendation of approval of the above request to the Community Development Director. **Seconded** by **Barry Cheskin**.

**VOTE:**                    **Motion passed unanimously.**

**OTHER BUSINESS**

8. 2025 Historic Preservation Committee Meeting Calendar

No action needed.

**REPORT FROM THE DIRECTOR**

Sean Mullin, Planning Manager

- All decisions of the Director represent the recommendations of the previous meeting.
- Staff would like to recognize Committee Member Cheskin as this is his last meeting and thank him for his years of service with the Committee. Thank you for all the time and commitment you have put into your work with the Committee. The Council appointed Alan Feinberg to the Committee and he will join us for our first meeting in January 2025.

**ADJOURNMENT**

The meeting adjourned at 6:33 p.m.

This is to certify that the foregoing is a true  
and correct copy of the minutes of the  
December 18, 2024, meeting as approved by the  
Historic Preservation Committee.

---

/s/ Sean Mullin, AICP, Planning Manager

## PROJECT DESCRIPTION – HYMAN HOUSE

20 MAY 2025

**Project:** Remodeling and Expansion of Residence and Garage/ADU at  
**34 Pleasant Street, Los Gatos, CA**

**Existing development:**

**Site:** 50' x 150' +/-, 7,370 sf with SFR homes on each side. APN 529-26-018  
 several large trees, garage with addition with access from alley at the rear. The  
 property is located directly across the street from the Los Gatos High School  
 which generates considerable traffic clogging the street during the day.

**Building:** Single story with stucco siding and pitched roof, c1920.  
 2 BR, 1Ba, L, D, K 1,104 sf. The building has never been upgraded, thus  
 there remains knob-and-tube wiring, unreinforced concrete foundations, lead  
 plumbing pipes, etc. It is the smallest house on the block (all of the others have  
 been added to).

**Garage** Single story with stucco siding and pitched roof, date unknown; 2 cars

**Background:**

Owner Michael J. Hyman's oral history of 34 Pleasant Street, Los Gatos:

*(transcribed 28 October, 2024, by Maia Gendreau, MBA Architects).*

My grandparents, (Charles A and Jessie A Reilly), built the house. It was the second  
 home built in the "El Monte" tract. The insurance company and the tax statements seem  
 to indicate that it was completed in 1920, but I have read a diary entry that it was "fit for  
 occupancy on December 14, 1928. Perhaps the land was purchased in 1920 (\$4,000)  
 and the house was built in 1928 (\$5,000). My grandfather Charles A Reilly died when  
 my mom was 6-years old and my grandmother (Jessie (Ennis) Reilly) moved to Montana  
 with her to live with family. They rented the house out (linens and all). They returned to  
 Los Gatos and lived in the house until my mom's senior year at Los Gatos High. They  
 then moved to Turlock, CA and once again rented the house. My mom, upon graduation  
 from Turlock High, attended the College of Pacific (latter named UOP) in Stockton, CA  
 where she met my dad. I grew up in Stockton and from the 50's my grandmother and  
 parents lived in Stockton renting out the house in Los Gatos (34 Pleasant St). I moved  
 to Los Gatos in 1981 but rented an apartment until 1983 when I moved into the house.  
 At that time, we asked the current tenants to move out (it was occupied by "John  
 Sorenson, a local plumber, his wife and their two sons) tenants for over 15 years. It has  
 been my principle residence ever since.

**Proposed development:**

The small house shall be enlarged similarly to the others on the street. 484 sf of the  
 ground floor will be remodeled, and an addition of 523 sf will increase the ground floor  
 area to 1,583 sf to include a master bedroom suite, modern kitchen, dining space and a  
 stairway to the basement and the second floor. A second master suite of 711 sf will be  
 developed on the second floor with a family room and exterior deck in back. A full

ARCHITECTS

**MBA**

1175 Lincoln Avenue, San Jose, CA 95125 408.297.0288 F408.297.0384



basement of 1,580 sf will replace the unreinforced foundations and will include recreation and exercise spaces and a utility room.

Exterior Design Program:

To maintain the historic street front appearance, the new expansion will be located behind the existing living room so that the front part of the original house will remain as it was originally. The new windows and new walls and roof will all be of similar materials to the original. To accommodate a useable cellar, the house will be elevated slightly, and a brick wainscot will surround the entire house. Because there is parking in both the front and rear of the house, a new side and new rear entrance will be added, replacing those that now exist in the old house. Because of the noise and traffic generated by the high school across Pleasant Street, the major openings of the expansion will be to the side and rear yards. A second-floor balcony will be added to the rear.

Because of severe deterioration, the garage and ADU will be completely rebuilt in its current location. Its materials will match the house and access will be mostly from the street behind.

All existing trees will be preserved, and new landscaping will be added as the project progresses.

***Scheduling and process:***

Since the owner intends to continue living on site while this work is being accomplished, the work will be phased. The initial phase will deal with the garage/ADU replacement so that the owner may reside in the ADU while the house is remodeled.

**ARCHITECTS**

**MBA**

1176 Lincoln Avenue, San Jose, CA 95125 408.297.0283 F408.297.0384

2434  
28 January, 2025  
REVISED 10 June 2025

Mr. Ryan Safty  
Town of Los Gatos Planning Dept  
200 E. Los Gatos Blvd  
Los Gatos, CA  
Re: Minor Residential Permit for 34 Pleasant, Los Gatos.

Dear Ryan:

This project went to a preliminary review at Historic Preservation Committee and the following comments were relayed regarding the original submittal. This submittal has been revised to respond to the comments received December 19, 2024 from Planning Dept. This structure was built in the 1920's, is not in a historic district and is not a designated Historic Landmark.

- *Recommend fiberglass clad windows over fiberglass frame:* We have revised to aluminum clad wood windows.
- *Although pushing the addition to the rear is consistent with the Residential Design Guidelines, some members requested the addition be pushed closer to the front façade to better integrate into the existing home.* We disagree with this comment from HPC. The existing house is a low slope roof, single story. Bringing the addition forward will be overwhelming to the modest lines of the front façade, which will be preserved. The existing Living Room and Dining Room in the layout will be preserved. Pushing the addition over the Dining Room will add structural loads to the existing walls which will require the removal of exterior cladding to install new shear wall and the addition of new interior footings under areas of the building which will be preserved. The interior is finished with plaster and has built-in cabinetry we wish to retain in this room. Adding structural loads to these areas will require removal of the plaster and cabinetry. We are not convinced the addition pushing forward toward the front of the house will better integrate it into the existing form. The house has a low sloped roof, and the existing attic does not afford any usable space to the second floor.
- *Look for strategies to differentiate the second story from the existing first story, including different exterior materials and ensuring whatever is done is consistent with the architectural style.* This structure was built in the 1920s, and is not a designated historic landmark. As such the Secretary of the Interior Standards are not applicable, and the design approach is to integrate the expansion with the existing house rather than to differentiate it. We have replicated the roof forms, window forms and fenestration patterns, outriggers, and wood vents in the gables of the first floor on the second floor.
- *Consider replicating the existing front gables on the second floor or working the second story addition in the existing roof form to decrease massing.* Floor 2 and the roof have been completely redesigned to offer the stacked gable elevation the Town prefers. As mentioned previously, there is no useful attic space in the existing attic, the attic is barely 30" high at the apex of the gable.
- *Appreciate them replicating the existing window lugs in the new replacement windows.* Window lugs remain a part of this submittal. Windows proposed are alum clad wood. Alum cladding is a very thin layer, (like lifetime warrantee paint). Manufacturer KOLBE windows only makes the ogee lugs windows with metal cladding.
- *Carefully consider whether insulation is required on the existing house to remain and whether the existing stucco would need to be removed in the future.* We anticipate that stucco will be removed in all areas of the house where the second story encroaches over the first story. This is coordinated with the current design and calculated in the demolition of square foot exterior area.

**ARCHITECTS**

- *Balancing windows at the rear and using windows to break up the blank mass.* The fenestration patterns have been redesigned for a centered and balanced appearance. Windows to the basement have been relocated to floor 1. The corner windows have been eliminated.
- *Consider replacing the thin metal handrail at the front of the house with something more substantial.* Currently there is no handrail at the stairs to the house. We would like to maintain the look of the front, and we need to create a landing at the entry. We would like the landing not to feel fenced in. We have redesigned the handrail to a wrought iron rail, with a design complementing the house. The wrought iron design is replicated on the side porch as well.
- *Consider using a different material for the below grade portion of the house if the house is raised more than a few feet.* The current elevations show a brick skirt on the house, which extends into the window wells at the cellar level.

We hope the HPC will respond positively to the design modifications made in response to comments.

Very Truly Yours,

Maia Gendreau, AIA, CSI, CDT

Architect

Cc: HYMAN

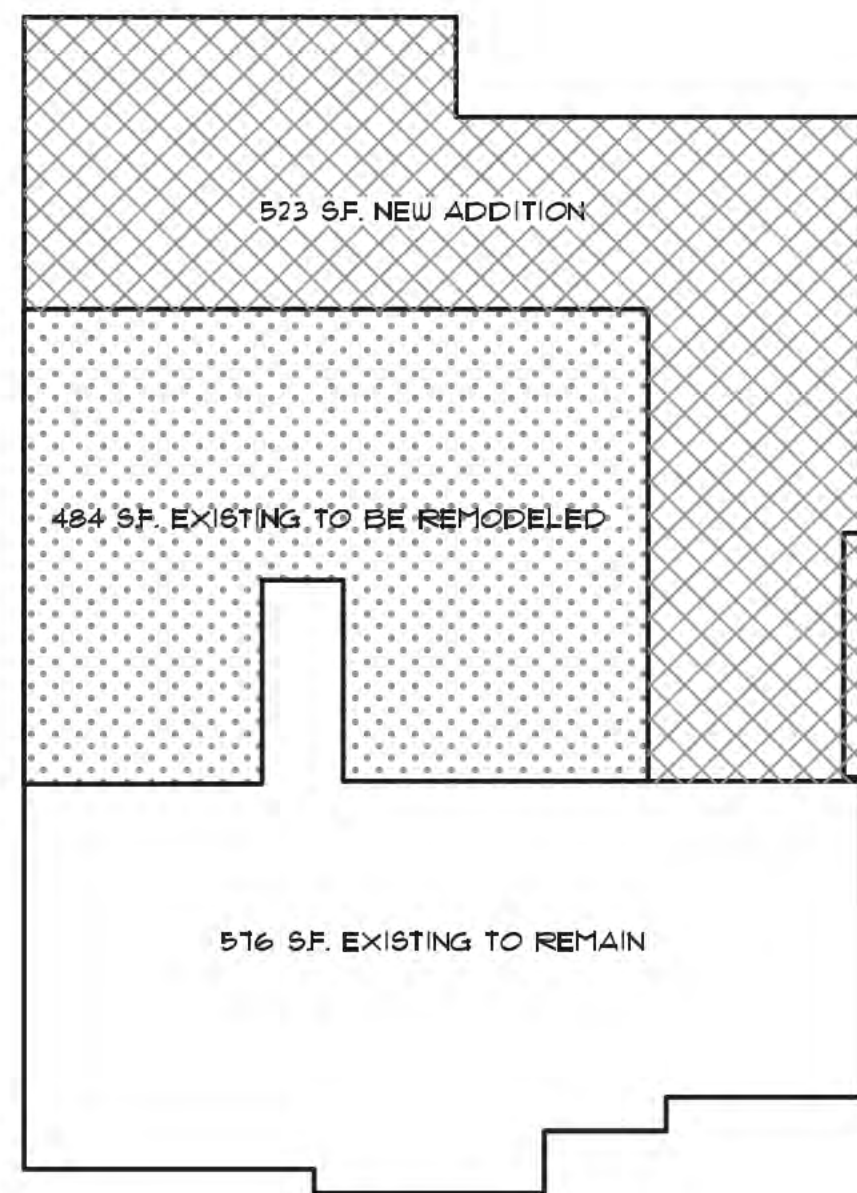


## ABBREVIATIONS

AB	ANCHOR BOLT	LF	LINEAL FOOT
AC	ASPHALTIC CONCRETE	LG	LONG
ACUST	ACOUSTICAL	LKR	LOCKER
ADD	ADDITIONAL	LT	LIGHT
ADJ	ADJUSTABLE	LVT	LUXURY VINYL TILE
AGGR	AGGREGATE	MAX	MAXIMUM
AHJ	AUTHORITIES HAVING JURISDICTION	M.B.	MACHINE BOLT
ALT	ALTERNATE	M.C.	MEDICINE CABINET
ALUM	ALUMINUM	MECH	MECHANICAL
APPROX	APPROXIMATELY	MEMB	MEMBRANE
ARCH	ARCHITECT	MET	METAL
ANGLE	ANGLE	MFG	MANUFACTURE/R
BD	BOARD	MH	MANHOLE
BLDG	BUILDING	MI	MALLEABLE IRON
BLK/G	BLOCKING/	MIN	MINIMUM
BT	BEAT	MIR	MIRROR
BOT	BOTTOM	MISC	MISCELLANEOUS
BOW	BACK OF WALK	MDO	MASONRY OPENING
B&L	BUILDING SETBACK LINE	MTD	MOUNTED
B&FL	BACKSPLASH	MUL	MULLION
BTU	BETWEEN	N	NORTH
BUR	BUILT-UP ROOFING	NEC	NATIONAL ELECTRIC CODE
BW	BOTH WAYS	N.C.	NOT IN CONTRACT
CAB	CABINET	NC	NUMBER
CAH	CLEAR ALL HEART	NOM	NOMINAL
CB	CATCH BASIN, CORNER BEAD	NTS	NOT TO SCALE
C.B.C.	CALIFORNIA BUILDING CODE	NRC	NOISE REDUCTION CONTROL
C.C.	CENTER TO CENTER	O	OVER
C.C.R.	CALIFORNIA CODE OF REGULATION	O.A.	OVERALL
CEH	CERAMIC	OB	OBSCURE
C.I.	CAST IRON	O.C.	ON CENTER
C.J.	COLD JOINT, CONTROL JOINT	O.D.	OUTSIDE DIMENSION (DIA.)
C.L.	CELING	OFF	OFFICE
CLKG	CALLING	OH	OVERHEAD, OVERHANG
CLO	CLOSET	OPG	OPENING
CLR	CLEAR	OPP	OPPOSITE
CHC	CALIFORNIA MECHANICAL CODE	OZ	OUNCE
C.M.P.	CORRUGATED METAL PIPE	P.C.	PLUMBING CONTRACTOR
CMU	CONCRETE MASONRY UNIT	P.F.B.	PLASTIC FINISH BOARD
COL	COLUMN	FL.E	FLATE, PROPERTY LINE
CONC	CONCRETE	FLAS	PLASTER
CONN	CONNECTION	PLYUD	PLYWOOD
CONSTR	CONSTRUCTION	FOL	POLISHED
CONT	CONTINUOUS	FR	PAIR
CONC.	CALIFORNIA OFFICE OF NOISE CONTROL	FRCAST	POINT
COTG	CLEANOUT TO GRADE	P.T.D.	PAPER TOWEL DISPENSER
C.P.C.	CALIFORNIA PLUMBING CODE	P.T.D.P.	PRESSURE TREATED DOUGLAS FIR
CPT	CARPET	P.T.D./R	COMBINATION P.T.D. & P.T.A.
C.T.	CERAMIC TILE	PTN	PARTITION
CTR	CENTER	P.T.R.	PAPER TOWEL RECEPTACLE
CTSK	COUNTERSINK	PUE	PUBLIC UTILITY EASEMENT
CU	CONDENSING UNIT	Q.T.	QUARRY TILE
CL	CENTERLINE	R	RISER
D	DRYER	R.A.	RETURN AIR
DBL	DOUBLE	RADI	RADIATOR
DET	DETAIL	R.A.G.	RETURN AIR GRILLE
D.F.	DOUGLAS FIR	R.C.P.	REINFORCED CONCRETE PIPE
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIAG	DIAGONAL	REF	REFERENCE
DM	DIMENSION	REIN	REINFORCED(ING)
DISP	DISPENSER, DISPOSER	RES	RESINOUS FLOORING
DN	DOWN	RET	RETAINING
DO	DITTO	REQ	REQUIRED
DR	DOOR	RESIL	RESILIENT
D.S.	DOWN SPOUT	RFG	REFRIGERATOR
DW	DISHWASHER	RGR	REGISTER
DWG	DRAWING	RH	ROOM
DUR	DRAWER	RO	ROUGH
E	EAST	R.O.	ROUGH OPENING
E.A.	EACH	RS	RESILIENT
E.B.	EXPANSION JOINT	RUL	RANULATED LEADER
ELEC	ELECTRICAL	RUD	REDWOOD
EL	ELEVATION	R/W	RIGHT OF WAY
ELEV	ELEVATOR	S	SOUTH
EMER	EMERGENCY	SAD	SEE ARCHITECTURAL DUGS
EN	EDGE NAILING	SAR	SUPPLY AIR REGISTER
ENCL	ENCLOSURE	SASH	SELF-ADHERED SHEET MEMBRANE
EQ	EQUAL	SC	SOLID CORE
EQP	EQUIPMENT	S.C.D.	SEAT COVER DISPENSER
EW.C.	ELECTRIC WATER COOLER	S.D.	SOAP DISPENSER
EW	EACH WAY	SECT	SECTION
E/EXIST	EXISTING	SF	SQUARE FEET
EXP	EXPANSION	SH	SHIELD
EXFO	EXPOSED	SHR	SHOWER
EXT	EXTERIOR, EXTENSION	SHT	SHEET
F.A.	FIRE ALARM	SHTG	SHEATHING
FAU	FORCED AIR UNIT	SHTL	SHILLAR
F.B.	FRAMING CLIP	SHTS.	SHEETMETAL SCREWS
F.C.	FLOOR CLEANOUT	SND	SANITARY NAPKIN DISPENSER
F.D.	FLOOR DRAIN	SHR	SANITARY NAPKIN RECEPTACLE
FDC	FIRE DEPT. CONNECTION	S.O.V.	SHUT-OFF VALVE
FDN	FOUNDATION	S 1 P	SHELF 1 POLE
F.E.	FIRE EXTINGUISHER	SQ	SQUARE
F.F.	FACE OF FRAME, FACEFRAME	S.S.	SELECT STRUCTURAL
FFA	FREE FLOW AREA	SS	STAINLESS STEEL
FG	FINISH GRADE	SK	SERVICE SINK
FGL	FIXED GLASS	ST	STREET
FN	FINISH	STA	STATION
FL	FLOOR	STD	STANDARD
FLASH	FLASHING	STL	STEEL
FLUOR	FLUORESCENT	STO	STORAGE
F.O.C.	FACE OF CONCRETE	STR	STRUCTURAL
F.O.F.	FACE OF FINISH	SUSP	SUSPENDED
F.O.M.	FACE OF MASONRY	SV	SHEET VINYL FLOORING
F.O.S.	FACE OF STUD	SW	SHEAR WALL
F.O.	FINISHED OPENING	SYM	SYMMETRICAL
FFR	FIREPROOF	T	TEMPERED
FRT.	FIRE RETARDANT TREATED	T.B.	TOWEL BAR
FR	FIRE RATED(ING)	T 1 B	TOP 1 BOTTOM
FTG	FOOTING	TC	TOP OF CURB
FT*	FOOT	TEL	TELEPHONE
FUR	FURRING	TER	TERRAZZO
FUT	FUTURE	T 1 G	TONGUE 1 GROOVE
GA	GAUGE	TH	THICK
GAL	GALLON	THK	THICK
GALV	GALVANIZED	T.O.P.	TOP OF PLATE
GB	GRAB BAR	TP	TOP OF PAVEMENT
GLB	GULLAM BEAM	T.P.D.	TOILET PAPER DISPENSER
GI	GALVANIZED IRON	TRD	TREAD
GL	GLASS	T.S.	TUBULAR STEEL
GND	GROUND	T.S.B.	TOP-SET BASE
GR	GRADE	T.V.	TELEVISION
GSM	GALVANIZED SHEET METAL	T.W.	TOP OF WALL
GWB	GYPSTUM WALLBOARD	TYP	TYPICAL
GYP	GYPSTUM	UNF	UNFINISHED
H.B.	HOSE BIBB	UNO, UON	UNLESS NOTED OTHERWISE
H.C.	HOLLOW CORE	UR	UNRAIL
HD	HOLDOWN	V.C.P.	VITRIOUS CLAY PIPE
HDUR	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HDWD	HARDWOOD	VERT	VERTICAL
HDR	HEADER	VEST	VESTIBULE
HGT	HEIGHT	V.G.	VERTICAL GRAIN
H.M.	HOLLOW METAL	V.F.	VERIFY IN FIELD
HORIZ	HORIZONTAL	V.T.R.	VENT THRU ROOF
HR	HANDRAIL	V.W.C.	VINYL WALL COVERING
HR	HOUR	W	WEST
HDS	HOT DIPPED GALVANIZED	WASH	WASHER
HUH	HOT WATER HEATER	WTH	WITH
I.A.W.	IN ACCORDANCE WITH	W.C.	WATER CLOSET
I.D.	INSIDE DIMENSION	WD	WINDOW DIMENSION
IN	INCH	WI	WROUGHT IRON
INSUL	INSULATION	WIF	WOVEN WIRE FABRIC
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	W.P.	WATERPROOF
ISA	INTERNATIONAL SYMBOL	W.S.	WOOD SCREWS
JAN	JANITOR	WSCT	WAINSCOT
JST	JOIST	WT	WEIGHT
JT	JOINT	WUM	WOVEN WIRE MESH
KIT	KITCHEN	WRC	WESTERN RED CEDAR
LAB	LABORATORY		
LAM	LAMINATED		
LAV	LAVATORY		
LB	POUND(S)		

# HYMAN REMODEL/ADDITION AND GARAGE/ADU

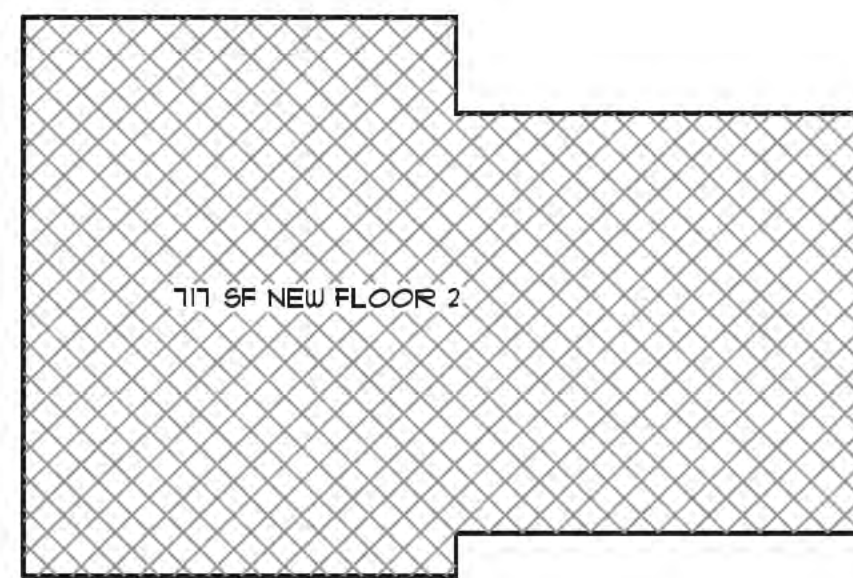
## MINOR RESIDENTIAL PERMIT ADU IS UNDER SEPARATE MINISTERIAL PERMIT



### FLOOR 1 PLAN

516 SF. EXISTING TO REMAIN  
484 SF. EXISTING TO BE REMODELED  
523 SF. NEW ADDITION  
1503 SF. TOTAL FLOOR 1  
111 SF. TOTAL FLOOR 2  
2351 SF. TOTAL

LOT SIZE : 1310 SF.



### FLOOR 2 PLAN

111 SF. NEW



## GENERAL

**OWNER**  
MICHAEL J. HYMAN  
34 PLEASANT STREET  
LOS GATOS, CA 95030

**PHONE :** [REDACTED]  
**EMAIL:** [REDACTED]

### PROJECT DESCRIPTION:

THIS PROJECT PROPOSES AN ADDITION AND REMODEL TO AN EXISTING RESIDENCE, AND REPLACEMENT OF A GARAGE WITH A NEW GARAGE AND AN ADU ON TOP OF THE GARAGE.

HOUSE: THIS PROJECT IS A REMODEL AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE, ORIGINALLY CONSTRUCTED C. 1930.

THIS PROJECT WILL RETAIN 54% OF THE EXISTING EXTERIOR PERIMETER. APPROXIMATELY 46% OF THE EXISTING PERIMETER WILL BE OBSOURED OR REMOVED, OR GET NEW CLADDING, (STUCCO) AS A PART OF THIS PROJECT.

THIS HOUSE WAS BUILT PRIOR TO THE COMMON USE OF REINFORCING STEEL IN CONCRETE FOUNDATION, AND REQUIRES FOUNDATION REPLACEMENT. FOUNDATION REPLACEMENT WILL INCLUDE THE CONSTRUCTION OF A NEW CELLAR. THE OWNER WISHES TO ENLARGE AND IMPROVE THE HOUSE WITH THIS SIGNIFICANT INVESTMENT IN REQUIRED WORK.

EXISTING GARAGE WILL BE REMOVED AND REPLACED WITH A NEW GARAGE AND SECOND STORY ACCESSORY BUILDING.

THIS PROJECT WILL BE PHASED:

PHASE 1: CONSTRUCTION OF THE GARAGE/ADU  
PHASE 2: REMODEL AND ADDITION OF THE PRIMARY RESIDENCE

APPLICABLE CODES:

2022 CBC  
2022 CEC  
2022 CHC  
2022 CFC  
2022 CFC  
2022 CA HISTORIC BUILDING CODE  
2022 CA EXISTING BUILDING CODE  
2022 CAL GREEN  
MUNICIPAL CODE OF THE TOWN OF LOS GATOS

## PROJECT INFORMATION

BUILDING USE	SINGLE FAMILY RESIDENCE
LOT SIZE	1310 SF
ASSESSOR'S PARCEL NUMBER	529 26 018
ZONING	R-1D
OCCUPANCY TYPE:	R3
YEAR ORIGINALLY BUILT	1930
STORIES	1 EXISTING ADD NEW FLOOR 2

EXISTING RESIDENCE FLOOR AREA:	1060 SF
NEW RESIDENCE FLOOR AREA:	UNCONDITIONED CONDITIONED
FIRST FLOOR	1060 SF
FIRST FLOOR ADDITION	523 SF
NEW CELLAR	1415 NET
SECOND FLOOR	111 SF
NEW ADU 551 SF (51 SF APPLIED TOWARD GFA)	51 SF
TOTAL	1415 SF 2351 SF

F.A.R. RESIDENCE: 35-(14-5/25 X 20) = 0.3308 = .33  
0.33 MAX LOT SIZE X 1310 SF. =  
MAX F.A.R. ALLOWABLE 2432 SF.  
ACTUAL MAX F.A.R. = 2300 RESIDENCE + 51 ADU = 2351 SF.

ACCESSORY BUILDING MAX SIZE:  
LOT SIZE MINUS SETBACKS = 4485 SF X 15% = 673 SF.

EXISTING GARAGE = 480 SF  
PROPOSED GARAGE = 611 SF

## CONSULTANTS

## INDEX OF DRAWINGS

SHT. #	SEQ.	DESCRIPTION
GO	1	COVER SHEET
G1	2	EXISTING SITE PLAN
G2	3	PROPOSED SITE PLAN
G3	4	DETAILS
A1	5	EXISTING RESIDENCE FLOOR PLAN EXISTING RESIDENCE EXTERIOR ELEVATIONS
A2	6	RESIDENCE FLOOR 1 PLAN 1 FLOOR 2 PLAN
B1	7	CELLAR PLAN
A3	8	GARAGE/ADU PLANS
A4	9	RESIDENCE EXTERIOR ELEVATIONS
A5	10	GARAGE/ADU EXTERIOR ELEVATIONS
A6.1	11	RESIDENCE SECTIONS
A6.2	12	ACCESSORY SECTIONS
A7	13	STREETSCAPE
A8	14	SOLAR STUDIES

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 4 NOV 2025

JOB No. 2434  
DATE

DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS

ARCHITECTS

MBA ARCHITECTS

1178 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/947-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE  
COVER SHEET

SCALE As Shown  
CAD FILE 2434-COVER.dwg  
DRAWN BY

SHEET

GO

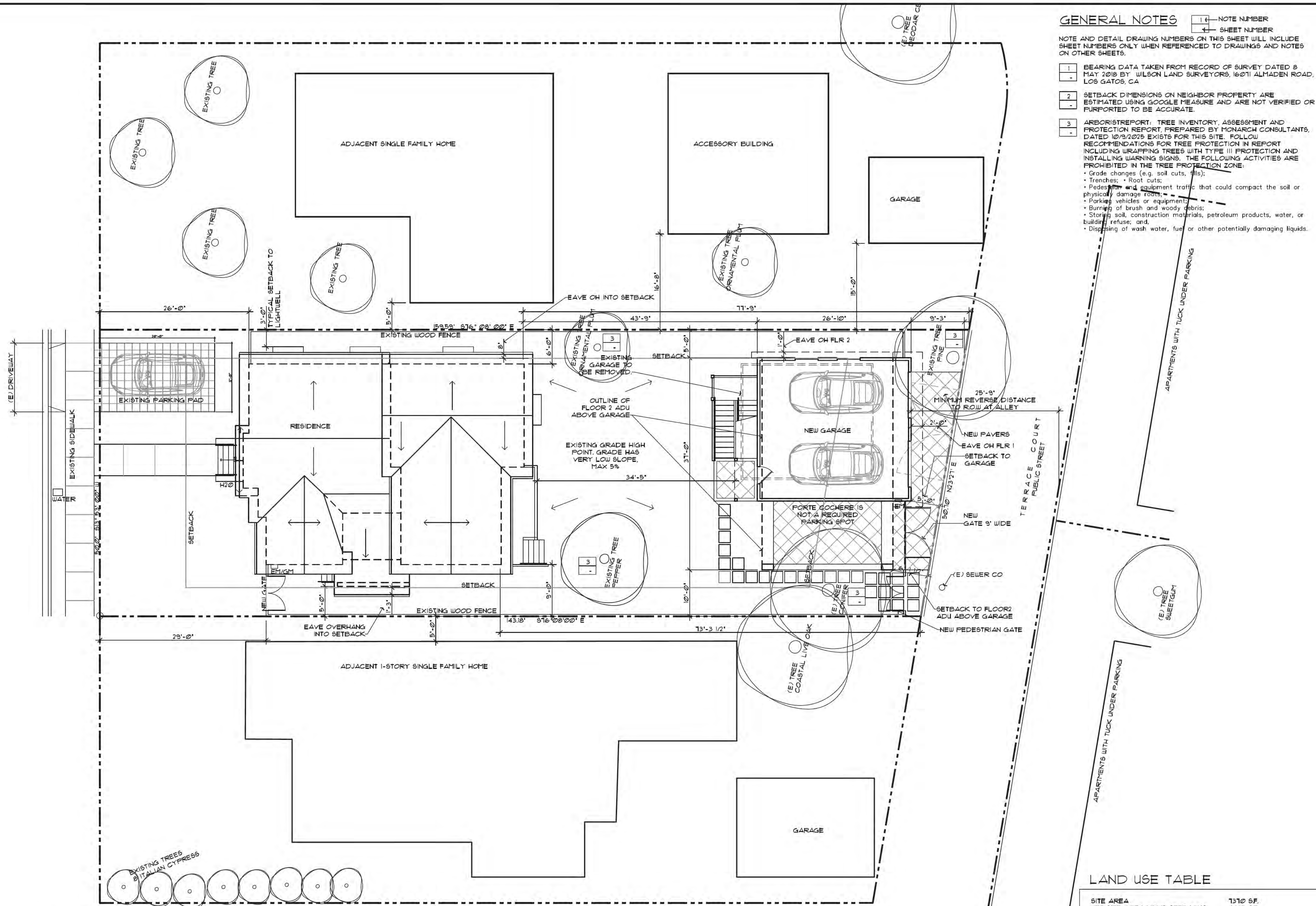
1 OF 9 SHEETS







PLEASANT STREET  
PUBLIC STREET



### GENERAL NOTES

NOTE AND DETAIL DRAWING NUMBERS ON THIS SHEET WILL INCLUDE SHEET NUMBERS ONLY WHEN REFERENCED TO DRAWINGS AND NOTES ON OTHER SHEETS.

1. BEARING DATA TAKEN FROM RECORD OF SURVEY DATED 8 MAY 2018 BY WILSON LAND SURVEYORS, 16071 ALMADEN ROAD, LOS GATOS, CA.
2. SETBACK DIMENSIONS ON NEIGHBOR PROPERTY ARE ESTIMATED USING GOOGLE MEASURE AND ARE NOT VERIFIED OR FURTHERED TO BE ACCURATE.
3. ARBORIST REPORT, TREE INVENTORY, ASSESSMENT AND PROTECTION REPORT, PREPARED BY MONARCH CONSULTANTS, DATED 12/9/2025 EXISTS FOR THIS SITE. FOLLOW RECOMMENDATIONS FOR TREE PROTECTION IN REPORT INCLUDING WRAPPING TREES WITH TYPE III PROTECTION AND INSTALLING WARNING SIGNS. THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE TREE PROTECTION ZONE:
  - Grade changes (e.g. soil cuts, fills);
  - Trenches; • Root cuts;
  - Pedestrian and equipment traffic that could compact the soil or physically damage roots;
  - Parking vehicles or equipment;
  - Burning of brush and woody debris;
  - Storing soil, construction materials, petroleum products, water, or building refuse; and,
  - Disposing of wash water, fuel or other potentially damaging liquids.

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 11 DEC 2025

JOB No. 2434  
DATE

DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA  
1178 UNCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0284 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE  
**PROPOSED  
SITE PLAN**

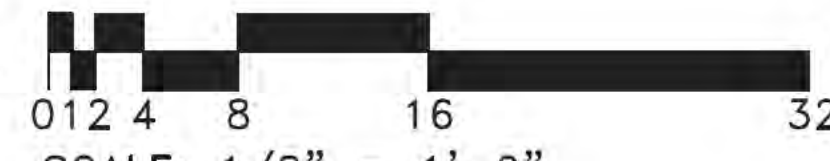
SCALE As Shown  
CAD FILE 2434-G1.dwg  
DRAWN BY

SHEET  
**G2**  
OF SHEETS



SITE PLAN

1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

### PRELIMINARY GRADING CALCULATIONS:

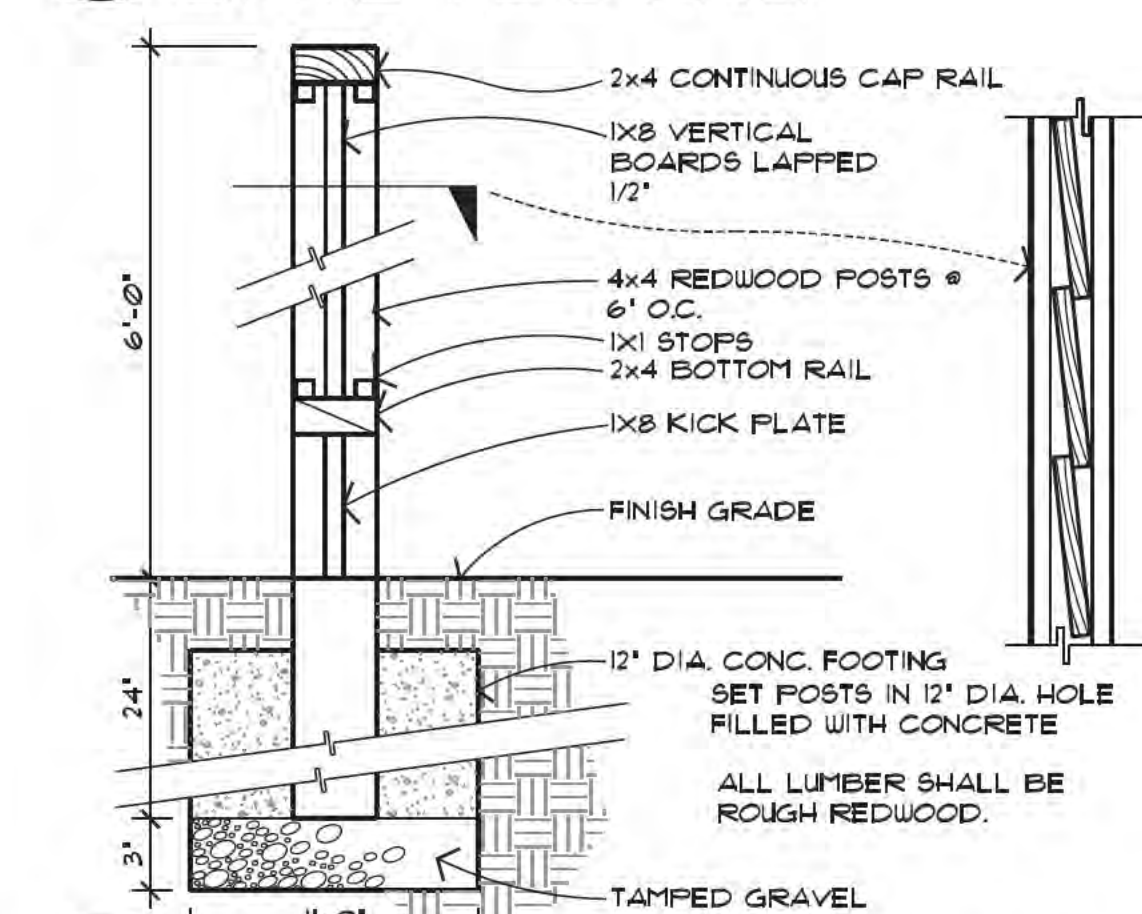
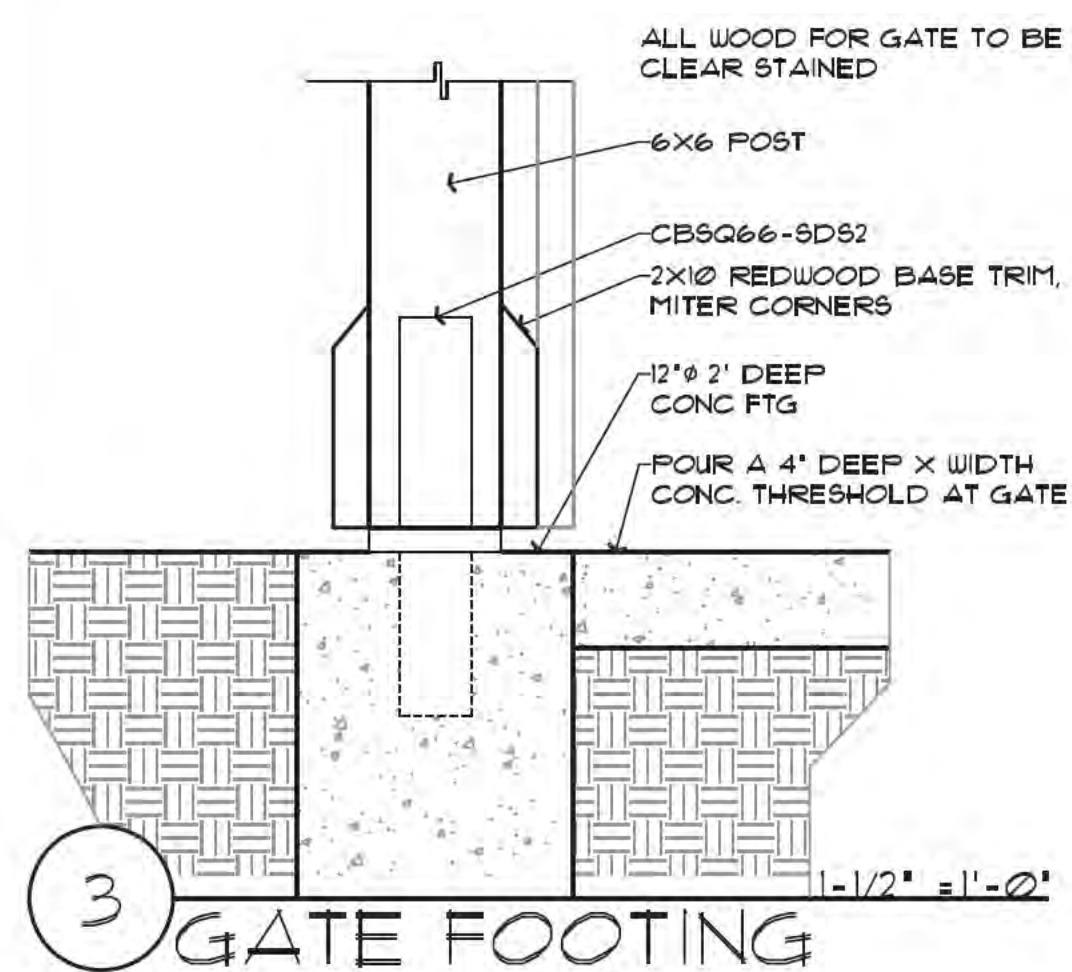
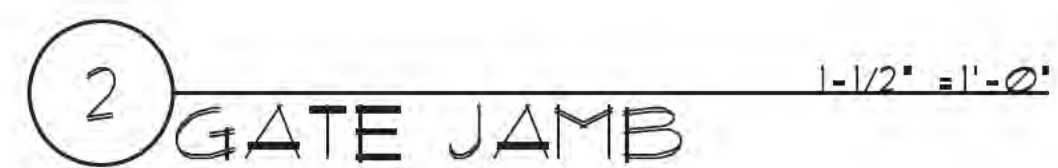
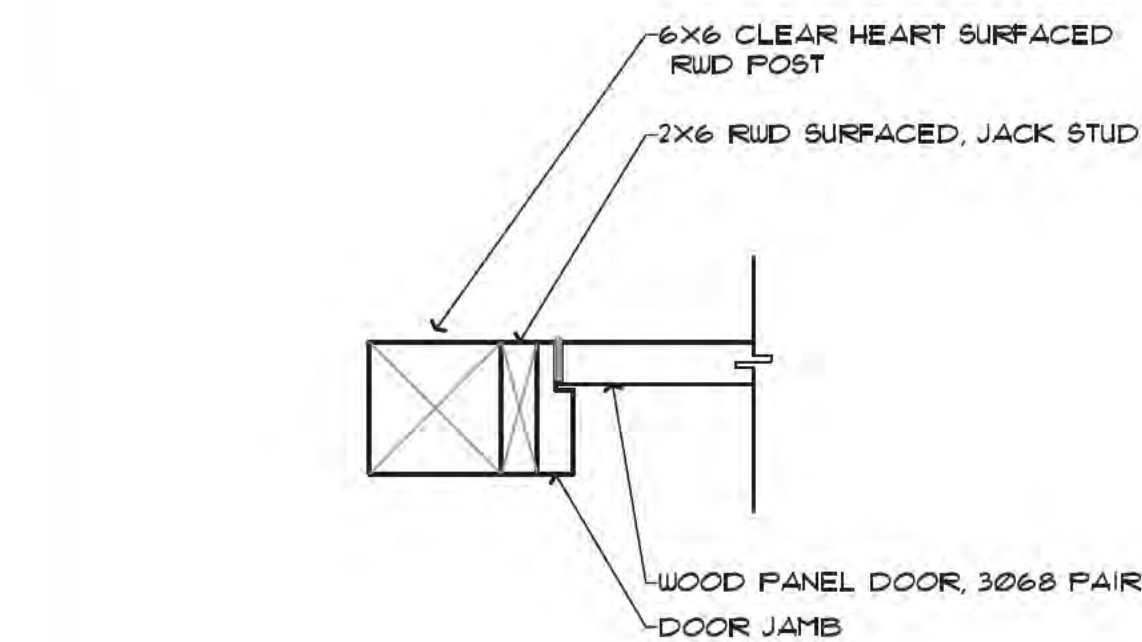
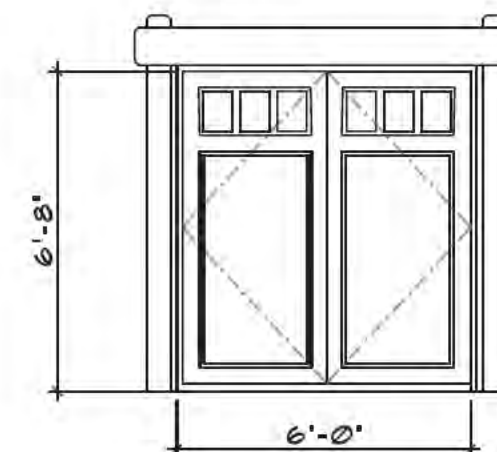
EXISTING GRADING PROVIDES ADEQUATE DRAINAGE, AS EVIDENCED BY OVER 100 YEARS OF USE.

	CUT	FILL
MAIN HOUSE (NEW CELLAR)	451 C.Y.	0
GARAGE	24 C.Y.	0
DRIVEWAY AND PORTE COCHERE	9.5 C.Y.	0
YARD	7 C.Y.	0
TOTAL MAIN HOUSE	451	0
TOTAL OTHER	342 C.Y.	0

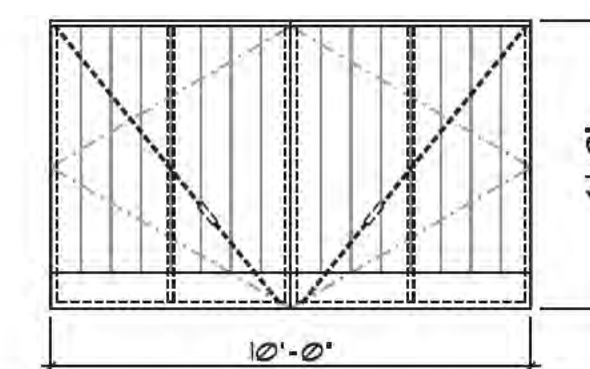
### LAND USE TABLE

SITE AREA	1310 SF.
NET SITE AREA MINUS SETBACKS	4405 SF.
FLOOR AREA HOUSE:	
FLOOR 1	1583 SF.
NEW FLOOR 2	711 SF.
TOTAL	2300 SF.
FLOOR AREA ACCESSORY:	
FLOOR 1 GARAGE	671 SF.
FLOOR 2 ADU	251 SF. 51 SF. APPLIED TO GFA
HOUSE FLOOR AREA RATIO: 33% MAX ALLOWED	• 2432 SF. MAX ALLOWED
ACCESSORY BUILDING MAX 15% OF NET LOT SIZE (4405 SF.)	• 673 SF.
HOUSE FLOOR AREA RATIO PROPOSED	• 2357/1310 = 31.3%
WALKS AND PAVERS AT GARAGE/ADU WILL BE PERVIOUS PAVERS	
IMPERVIOUS LOT COVERAGE:	
RESIDENCE	1583 SF.
RESIDENCE DECKS/PATIOS:	220 SF.
GARAGE	671 SF.
WALKS AND DRIVES	711 SF.
TOTAL	3185 SF./1310 = 43%

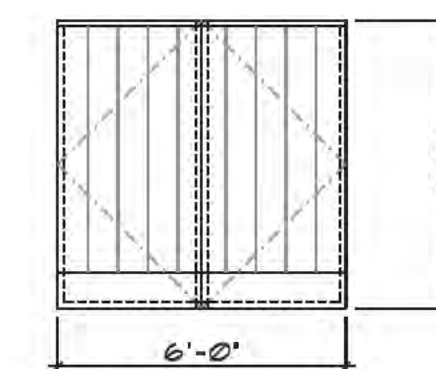



$$\frac{1}{4}'' \times 1'-0''$$


PEDESTRIAN GATE TERRACE COURT  
STANDARD WOOD DOOR IN  
WOOD FRAME



PEDESTRIAN GATE TERRACE COURT  
GATE TO MATCH WOOD FENCE



PEDESTRIAN GATE PLEASANT STREET  
GATE TO MATCH WOOD FENCE

**NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE:** 4 NOV 2025

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

## ARCHITECTS



1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE  
**SITE DETAILS**

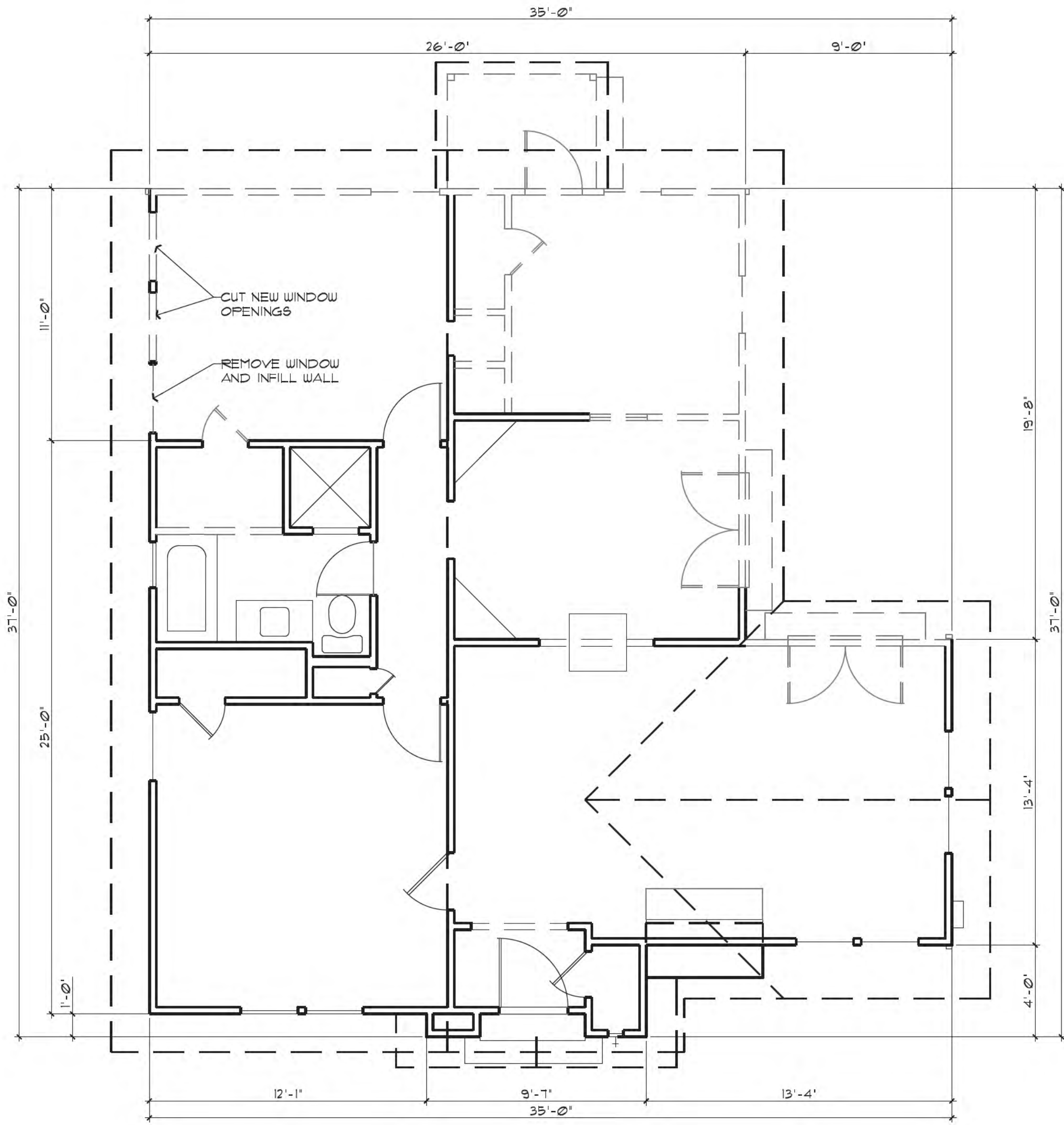
SCALE	AS SHOWN
CAD FILE	2434-G3
DRAWN BY	

SHEET

G3

OF SHEETS





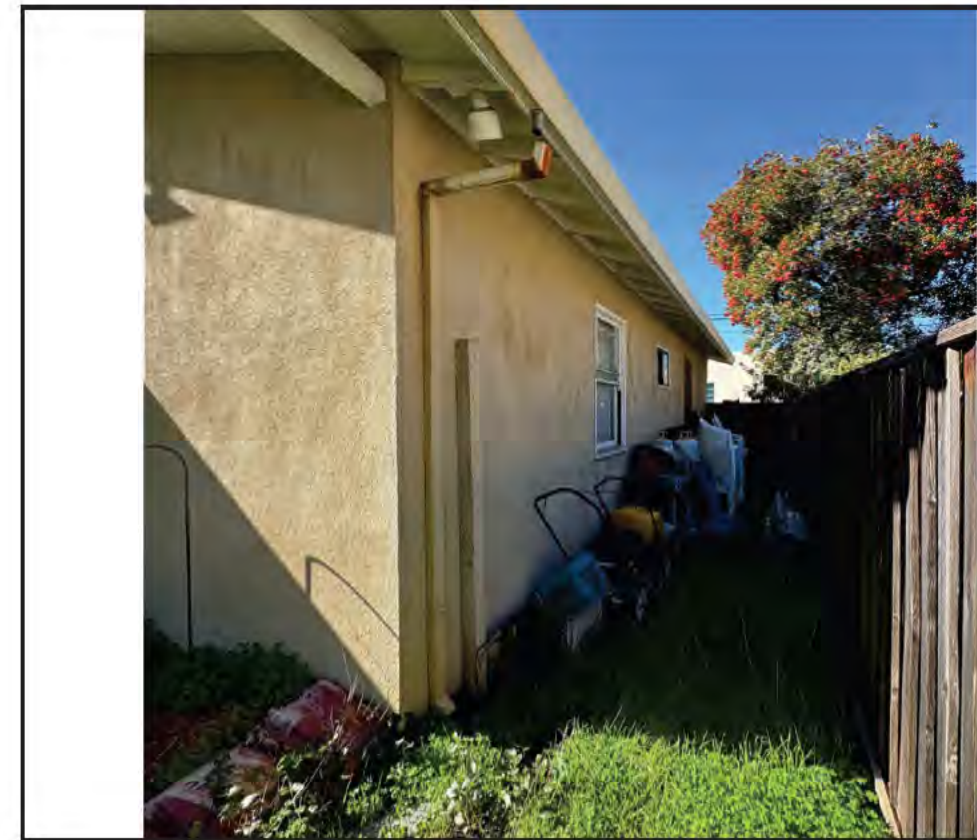
WEST ELEV FACING PLEASANT ST



SOUTH ELEV



EAST ELEV



NORTH ELEV



TERRACE COURT ELEV



## EXISTING FLOOR PLAN

1060 S.F.

PERMITTER TO BE REMOVED/RETAINED CALCULATION  
QUANTITIES SHOWN ARE SF OF WALL AREA:

	RETAINED	REMOVED
WEST	420	0
SOUTH	136	191
EAST	0	419
NORTH	241	105
TOTAL	863 S.F.	715 S.F.

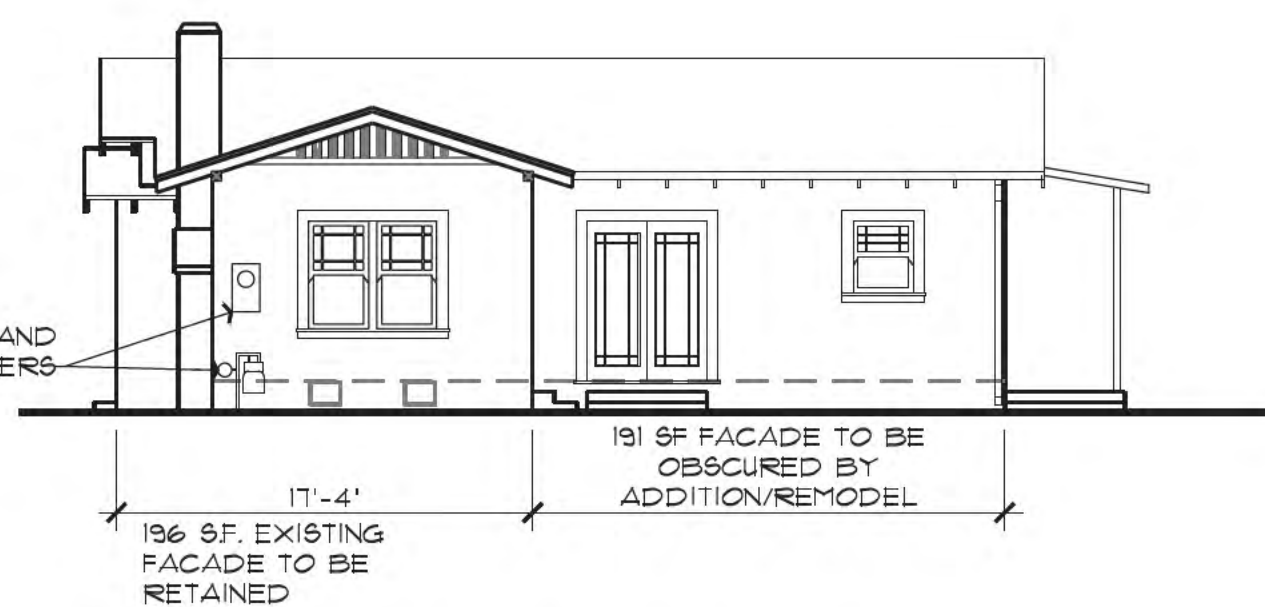
TOTAL SQUARE FOOTAGE: 1578 SF : 54.6% TO BE RETAINED, 45.3% TO BE  
OBSOURED BY NEW ADDITION/REMODEL OR HAVE FINISH REPLACED.



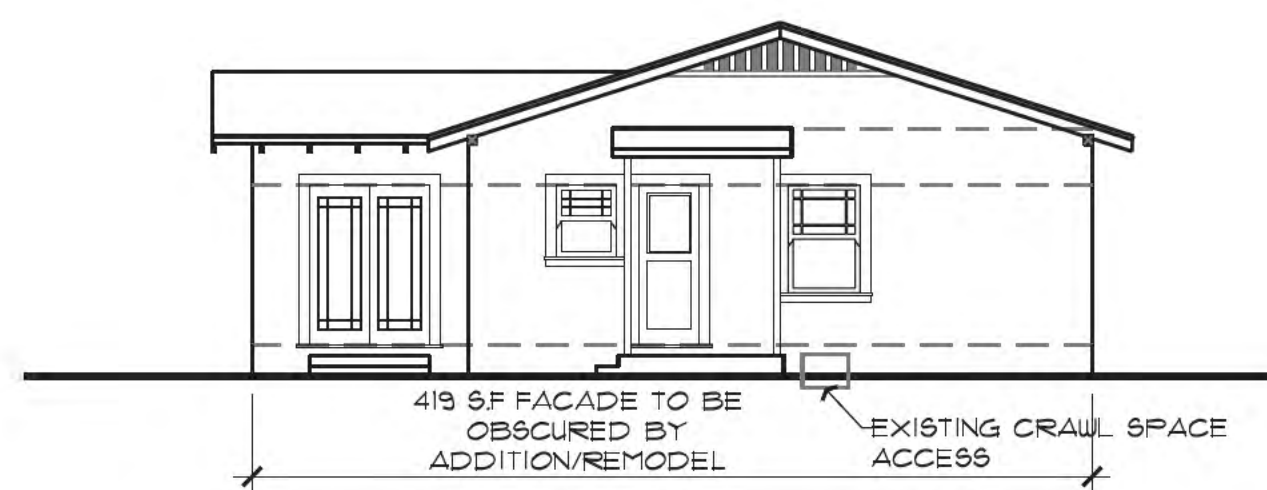
SCALE: 1/4" = 1'-0"



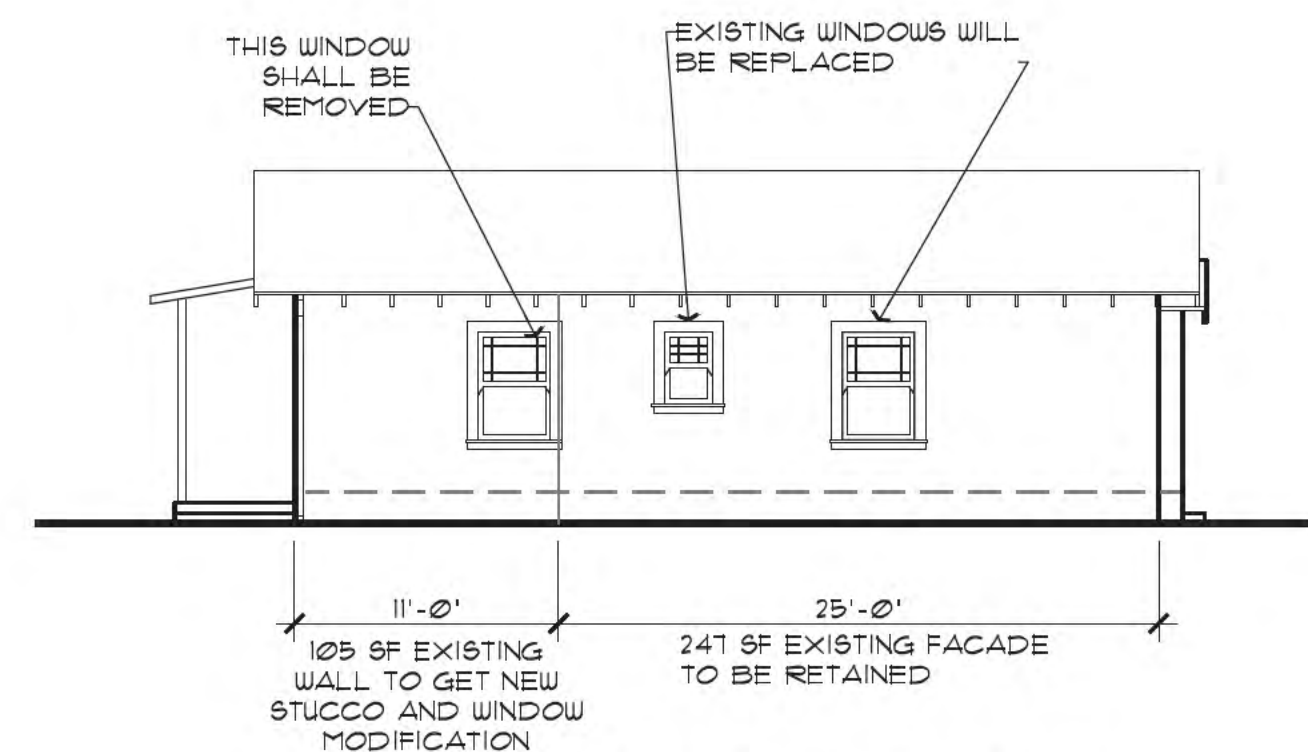
EXISTING WEST ELEVATION  
1/8" = 1'-0"



EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



EXISTING EAST ELEVATION  
1/8" = 1'-0"



EXISTING NORTH ELEVATION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 3 JUN 2025

JOB No. 2434  
DATE

DESCRIPTION	DATE	REV.

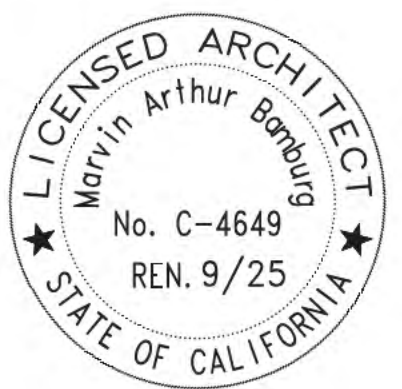
HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA ARCHITECTS

WWW.MBAARCHITECTS.NET  
1178 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408.257.4266 FAX 408.257.0384



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

COPYRIGHT © 2025

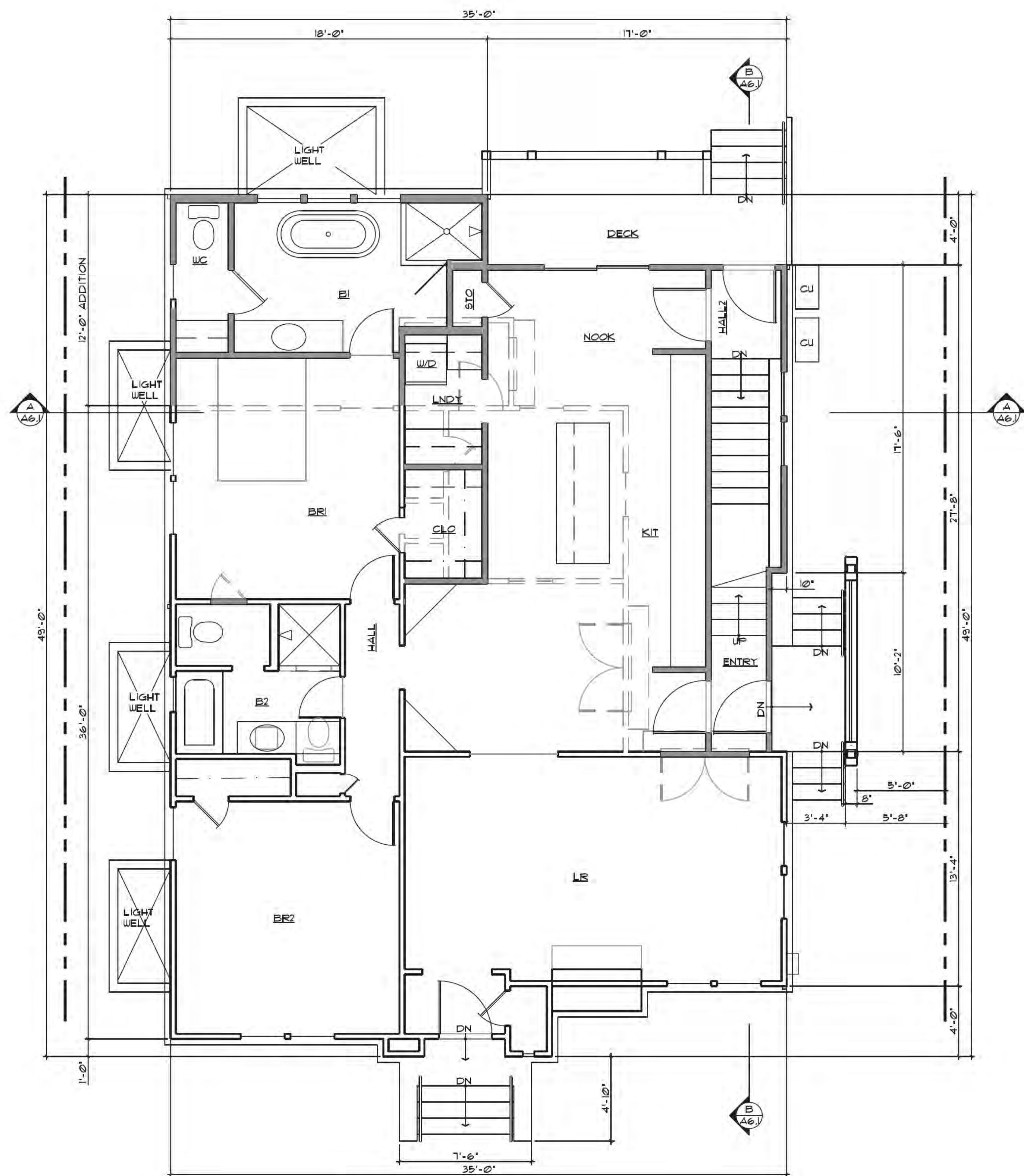
MBA ARCHITECTS

SHEET TITLE  
EXISTING  
RESIDENCE  
FLOOR PLANS  
EXTERIOR  
ELEVATIONS

SCALE As Shown  
CAD FILE 2434-A1.dwg  
DRAWN BY

SHEET  
A1  
OF SHEETS

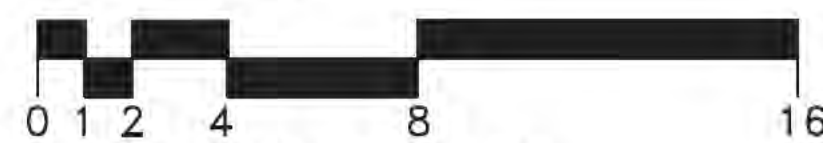




### FLOOR 1 PLAN

516 SF. EXISTING TO REMAIN  
484 SF. EXISTING TO BE REMODELED  
523 SF. NEW ADDITION  
1503 SF. TOTAL FLOOR 1  
717 SF. TOTAL FLOOR 2  
2300 SF. TOTAL

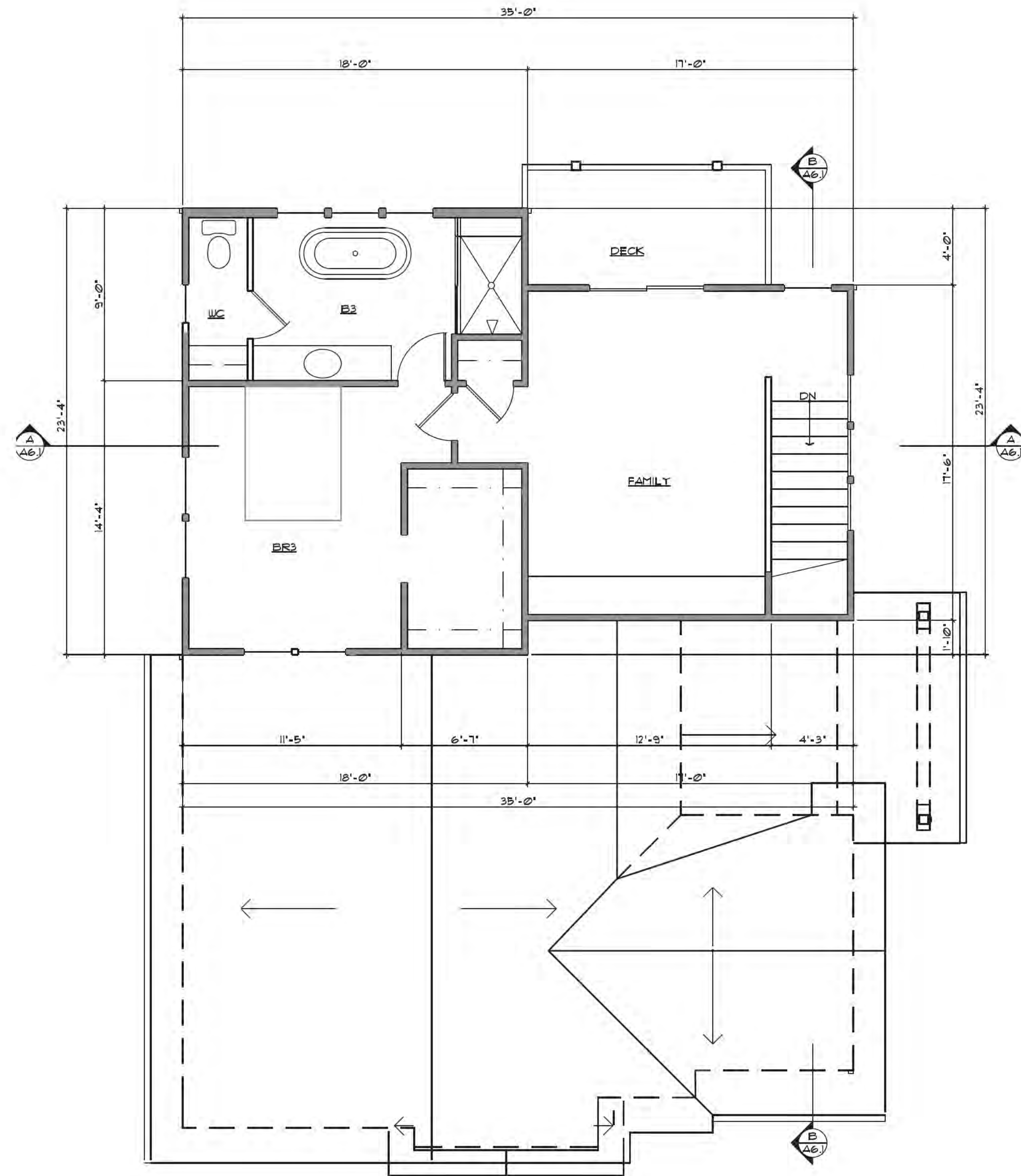
LOT SIZE : 1310 SF.



SCALE: 1/4" = 1'-0"

#### LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS



### FLOOR 2 PLAN

717 SF. NEW

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 11 DEC 2025

JOB No.	2434
DATE	

DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA

1178 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/257-0288X13 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

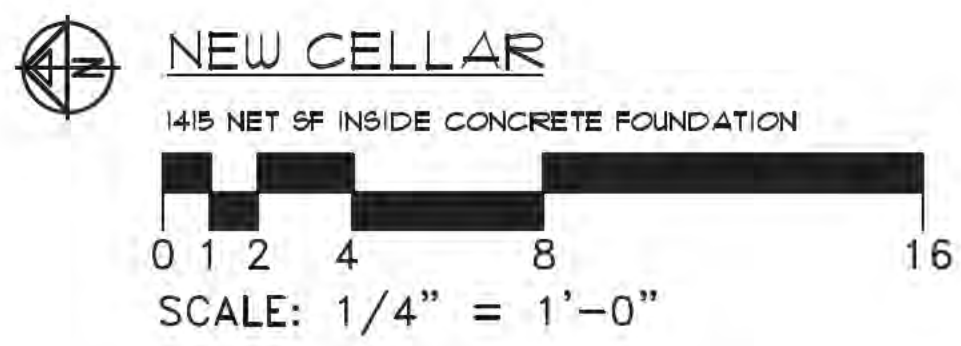
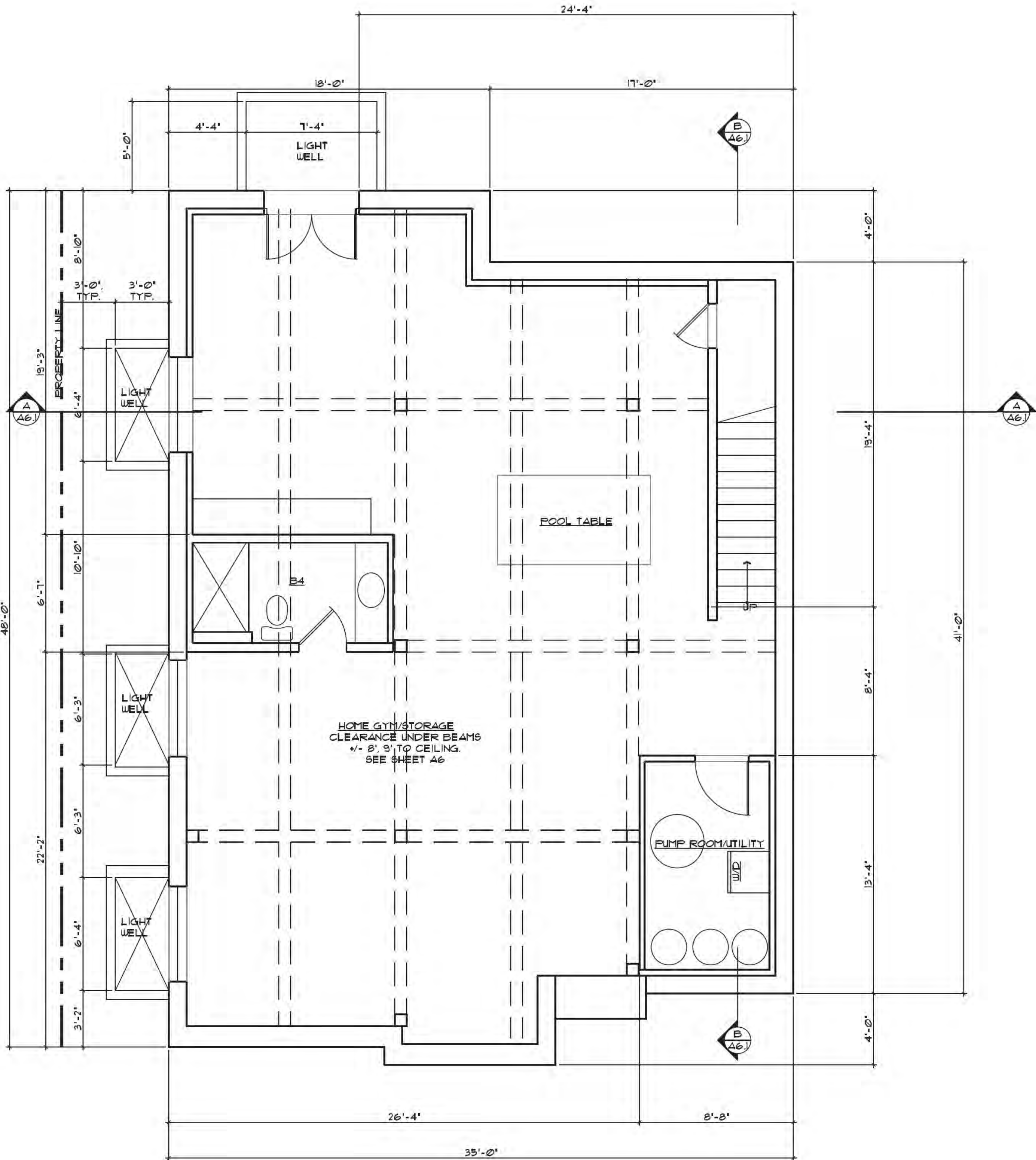
SHEET TITLE  
RESIDENCE  
FLOOR PLANS

SCALE As Shown  
CAD FILE 2434-A2.dwg  
DRAWN BY

SHEET

A2  
OF SHEETS





NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 3 JUN 2025

JOB No. 2434

DATE

DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

**MBA**  
1476 LINCOLN AVENUE, SAN JOSE, CALIFORNIA 95125  
PH 408/257-0288 X13 FAX 408/297-0384

LICENSED ARCHITECT  
Martin Arthur Barbour  
No. C-4649  
REN. 9/25  
STATE OF CALIFORNIA

ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.  
COPYRIGHT © 2025  
MBA ARCHITECTS

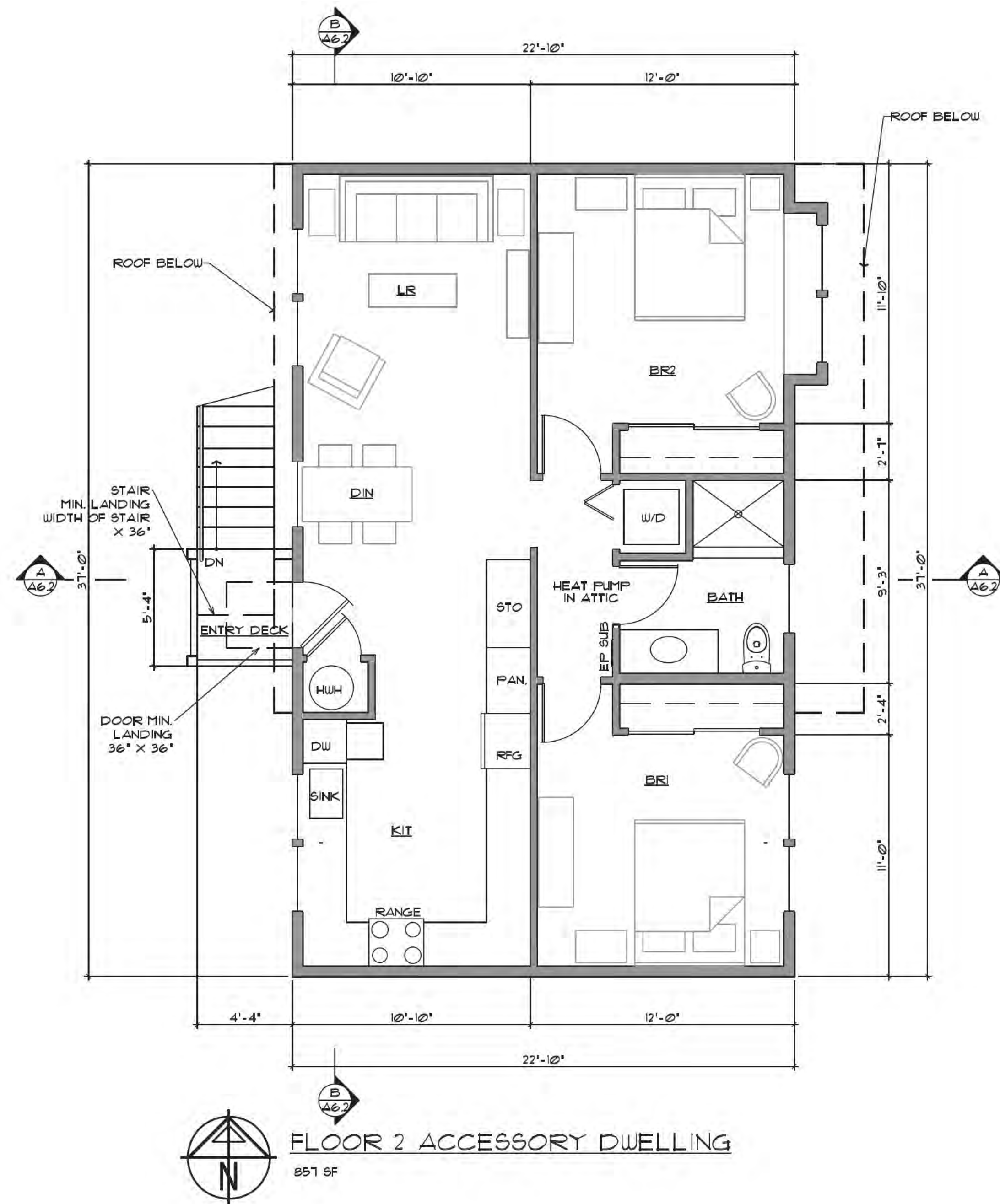
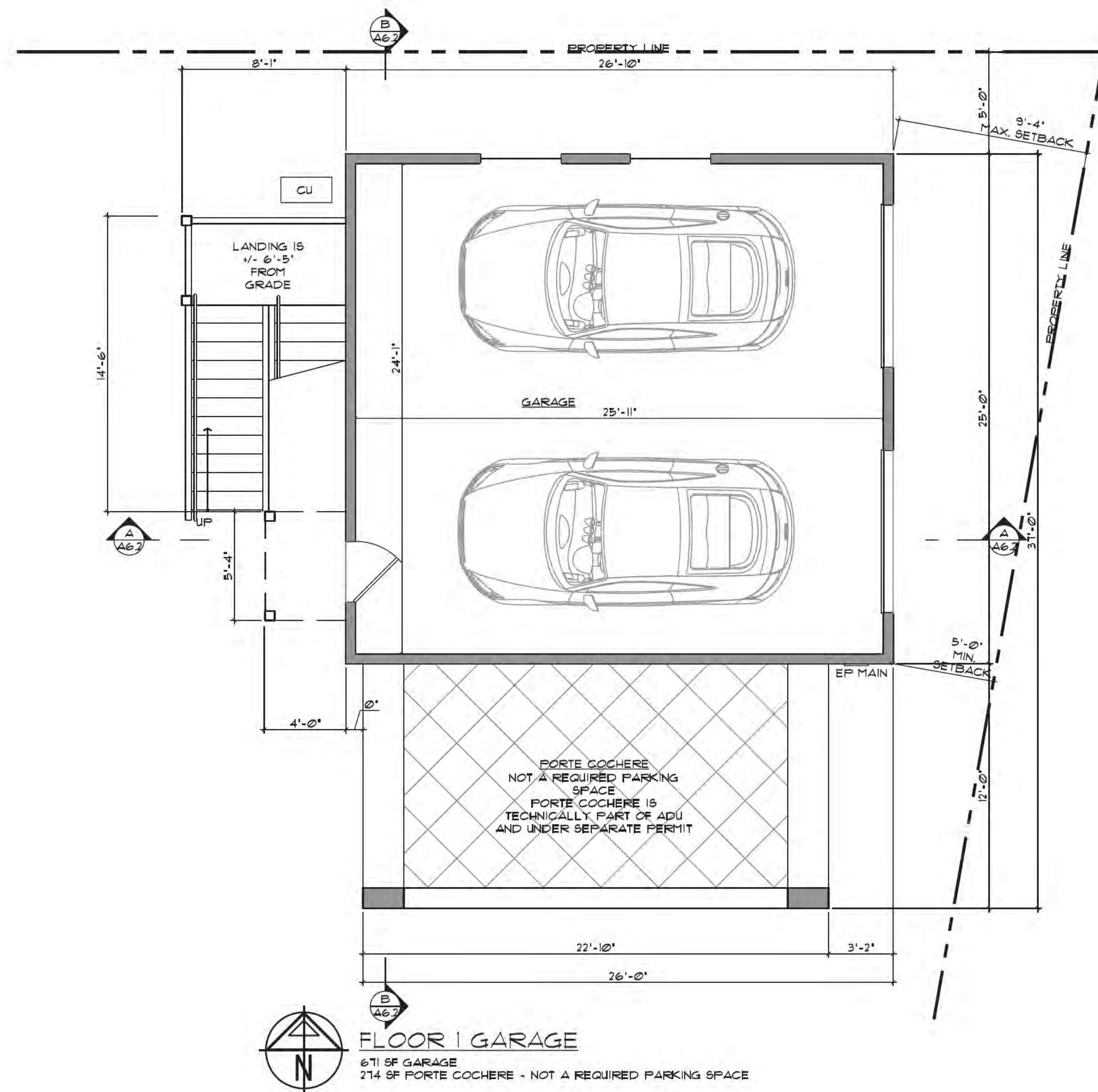
SHEET TITLE  
CELLAR  
FLOOR PLAN

SCALE As Shown  
CAD FILE 2434-A2.dwg  
DRAWN BY

SHEET  
B1  
OF SHEETS

Page 169

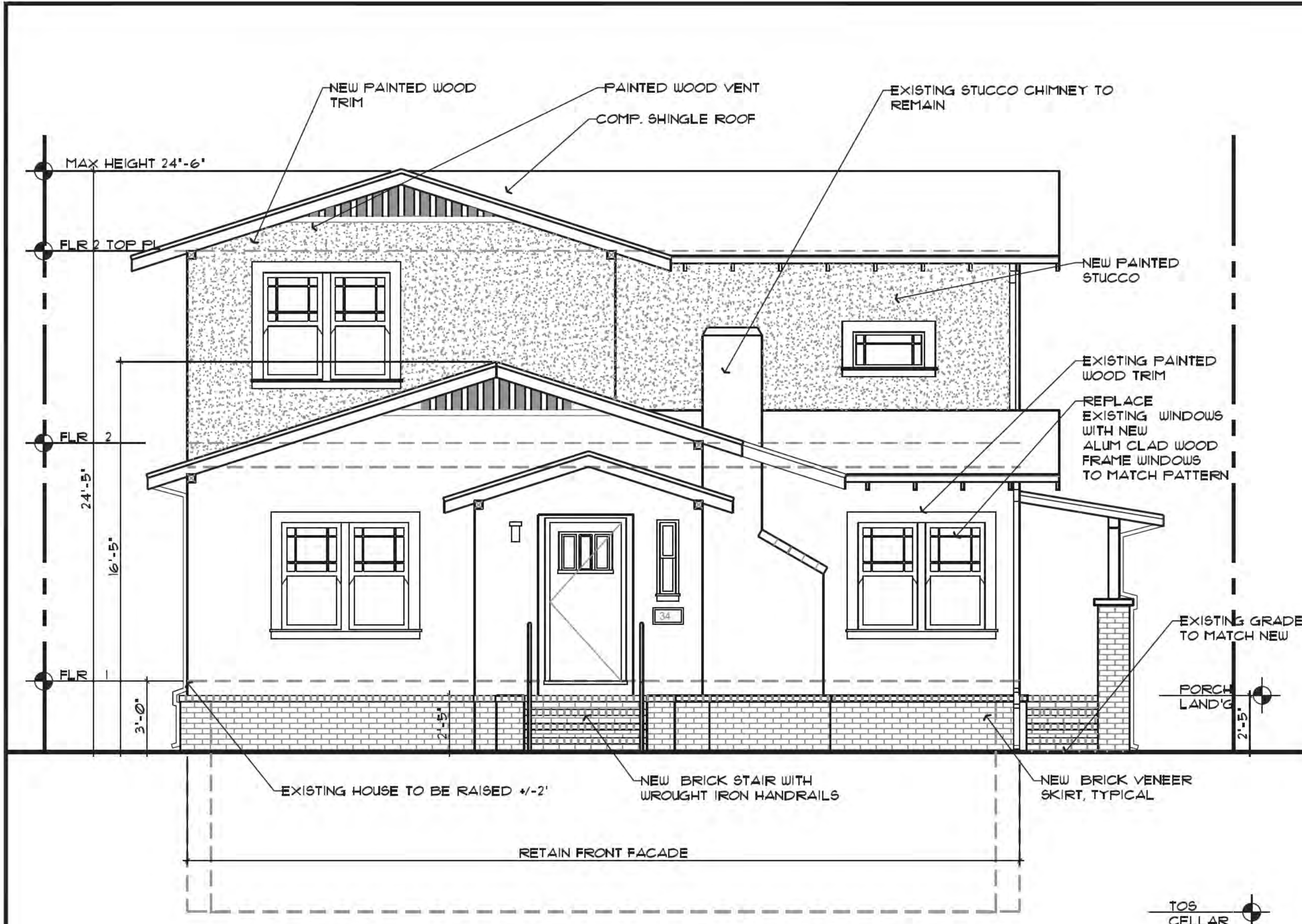




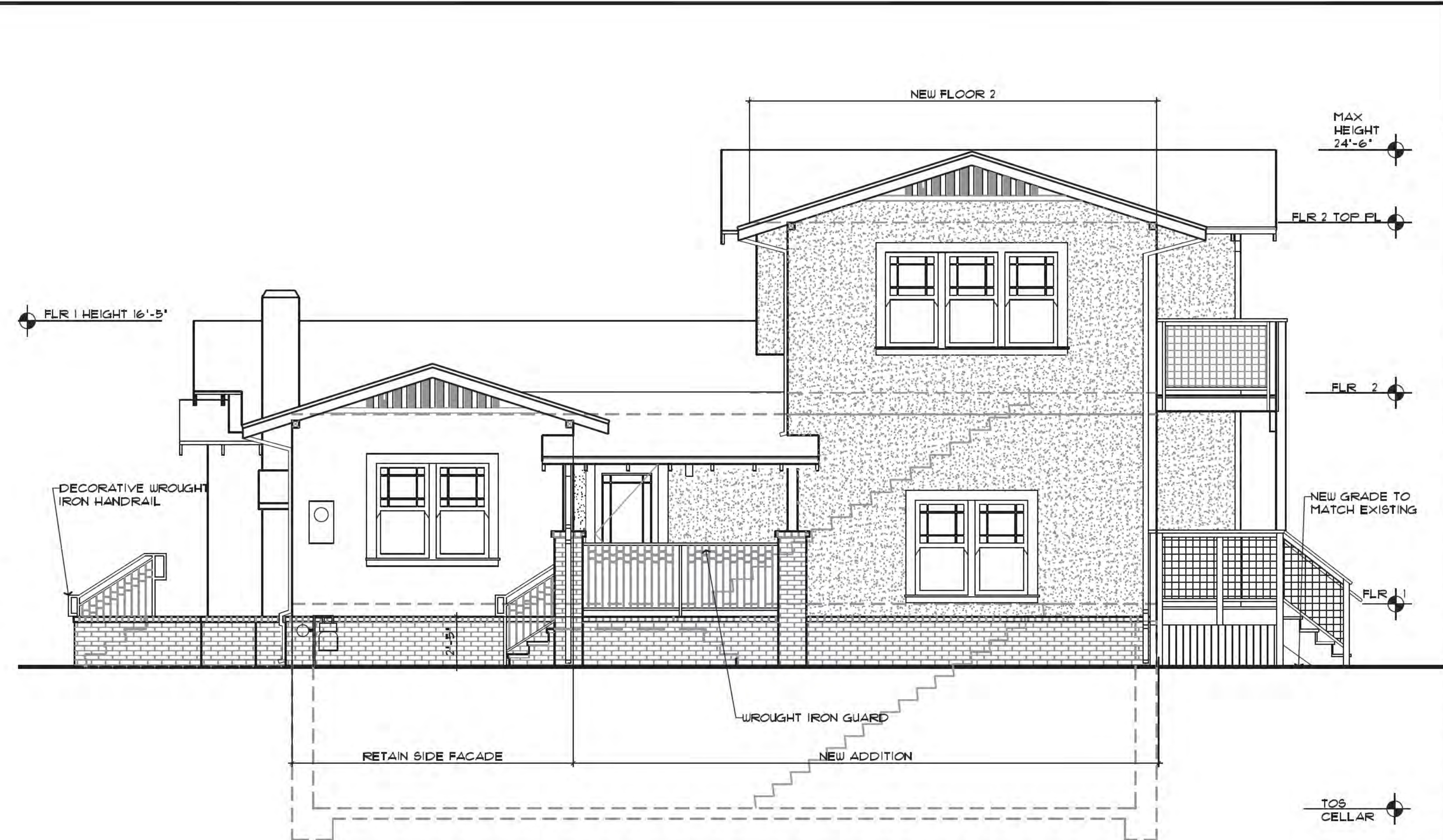
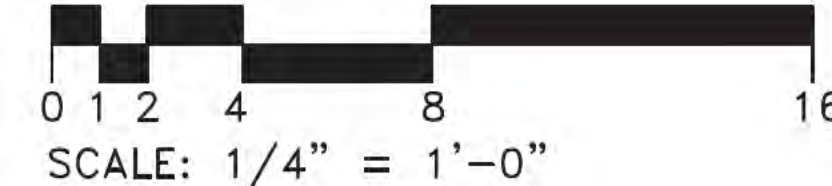
ADU IS UNDER SEPARATE MINISTERIAL PERMIT  
NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 4 NOV 2025

JOB No. 2434		
DATE		
DESCRIPTION	DATE	REV.
HYMAN REMODEL/ADDITION		
34 PLEASANT STREET LOS GATOS, CA 95030		
ARCHITECTS		
MBA ARCHITECTS 1176 UNCOLN AVENUE SAN JOSE CALIFORNIA 95125 PH 408/297-0288 FAX 408/297-0384		
LICENSED ARCHITECT Martin Arthur Barbud No. C-4649 REN. 9/25 STATE OF CALIFORNIA		
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.		
COPYRIGHT © 2025 MBA ARCHITECTS		
SHEET TITLE GARAGE/ADU FLOOR PLANS		
SCALE As Shown CAD FILE 2434-A3.dwg DRAWN BY		
SHEET A3 OF SHEETS		





WEST

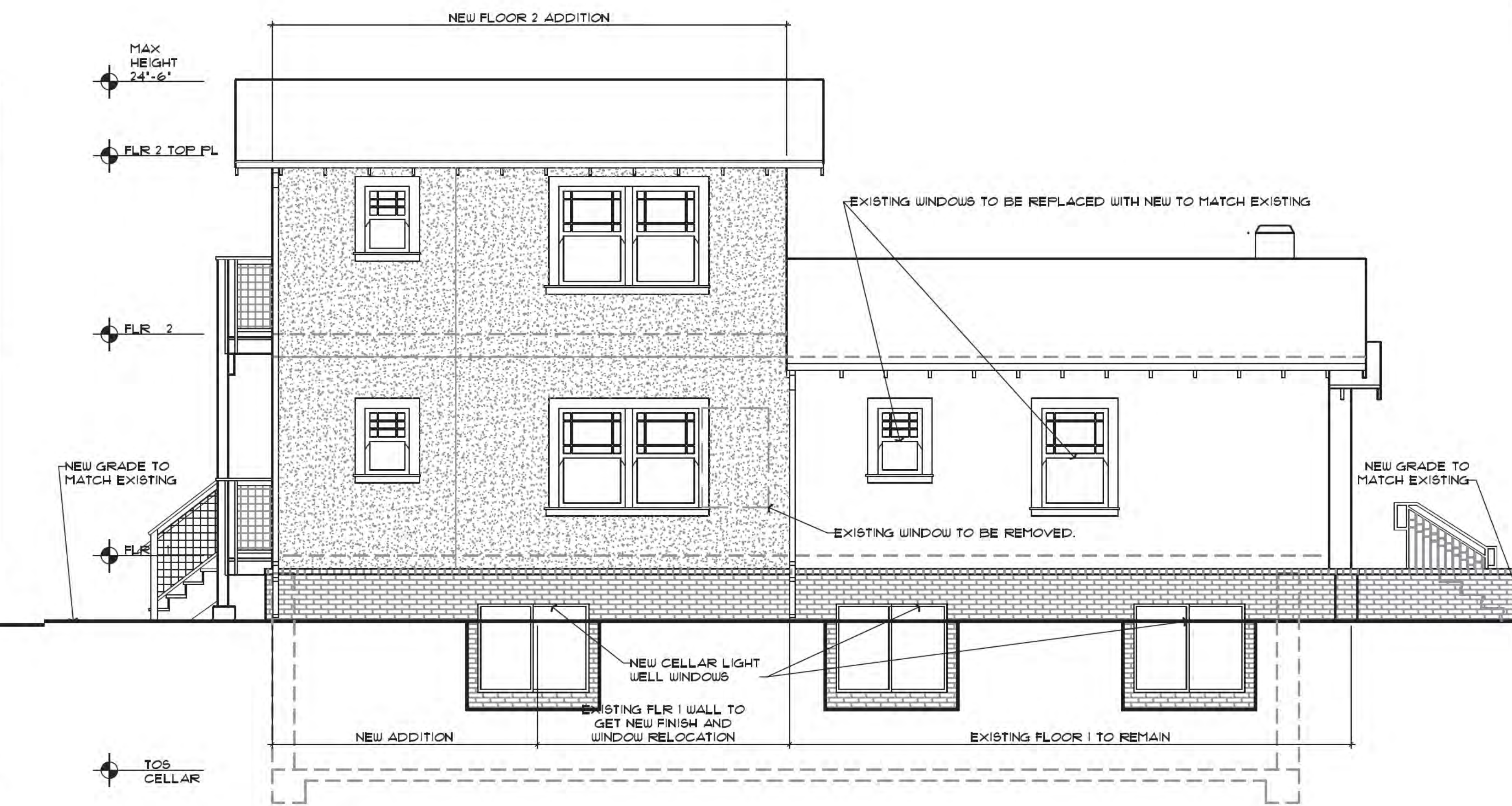


SOUTH



EAST

EAST FACADE IS ALL NEW ADDITION

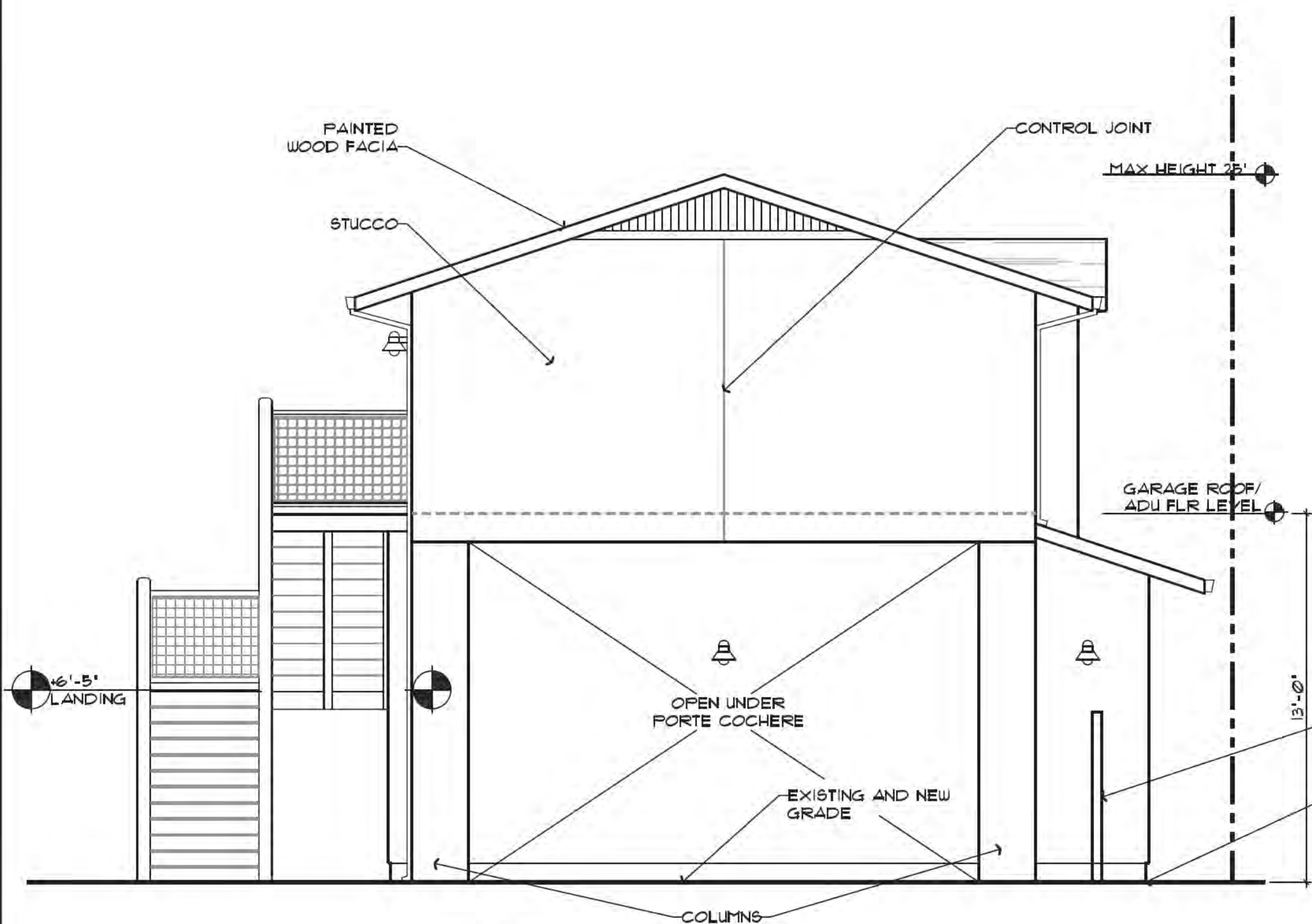


NORTH

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 3 JUN 2025

JOB No. 2434		
DATE		
DESCRIPTION	DATE	REV.
HYMAN REMODEL/ADDITION		
34 PLEASANT STREET LOS GATOS, CA 95030		
ARCHITECTS		
MBA ARCHITECTS 1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125 PH 408/297-0288 X13 FAX 408/297-0384		
LICENSED ARCHITECT Marvin Arthur Barbud No. C-4649 REN. 9/25 STATE OF CALIFORNIA		
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT © 2025 MBA ARCHITECTS		
SHEET TITLE RESIDENCE EXTERIOR ELEVATIONS		
SCALE CAD FILE DRAWN BY	As Shown 2434-A4.dwg	
SHEET A4 OF SHEETS		

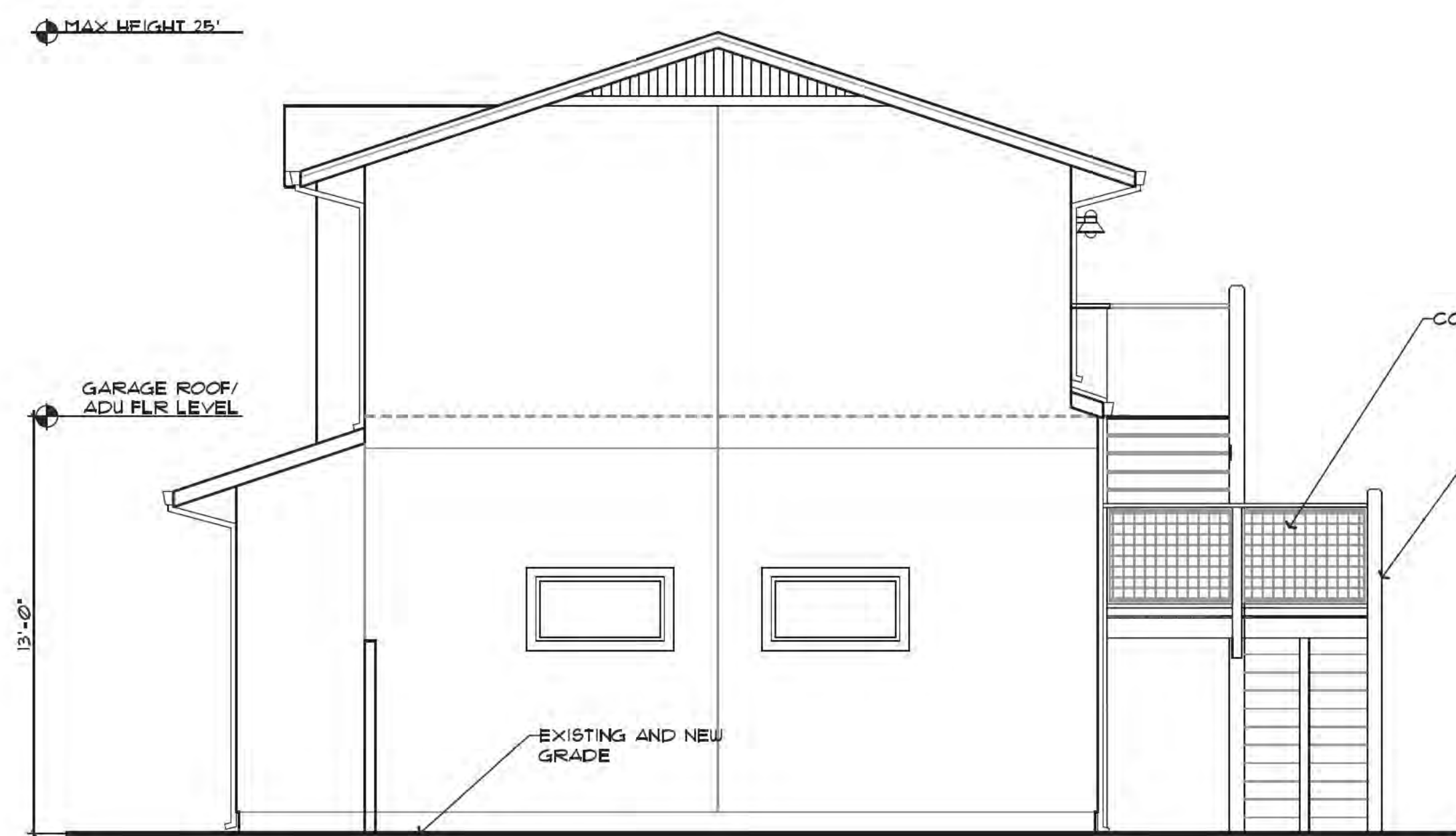




SOUTH

0 1 2 4 8 16

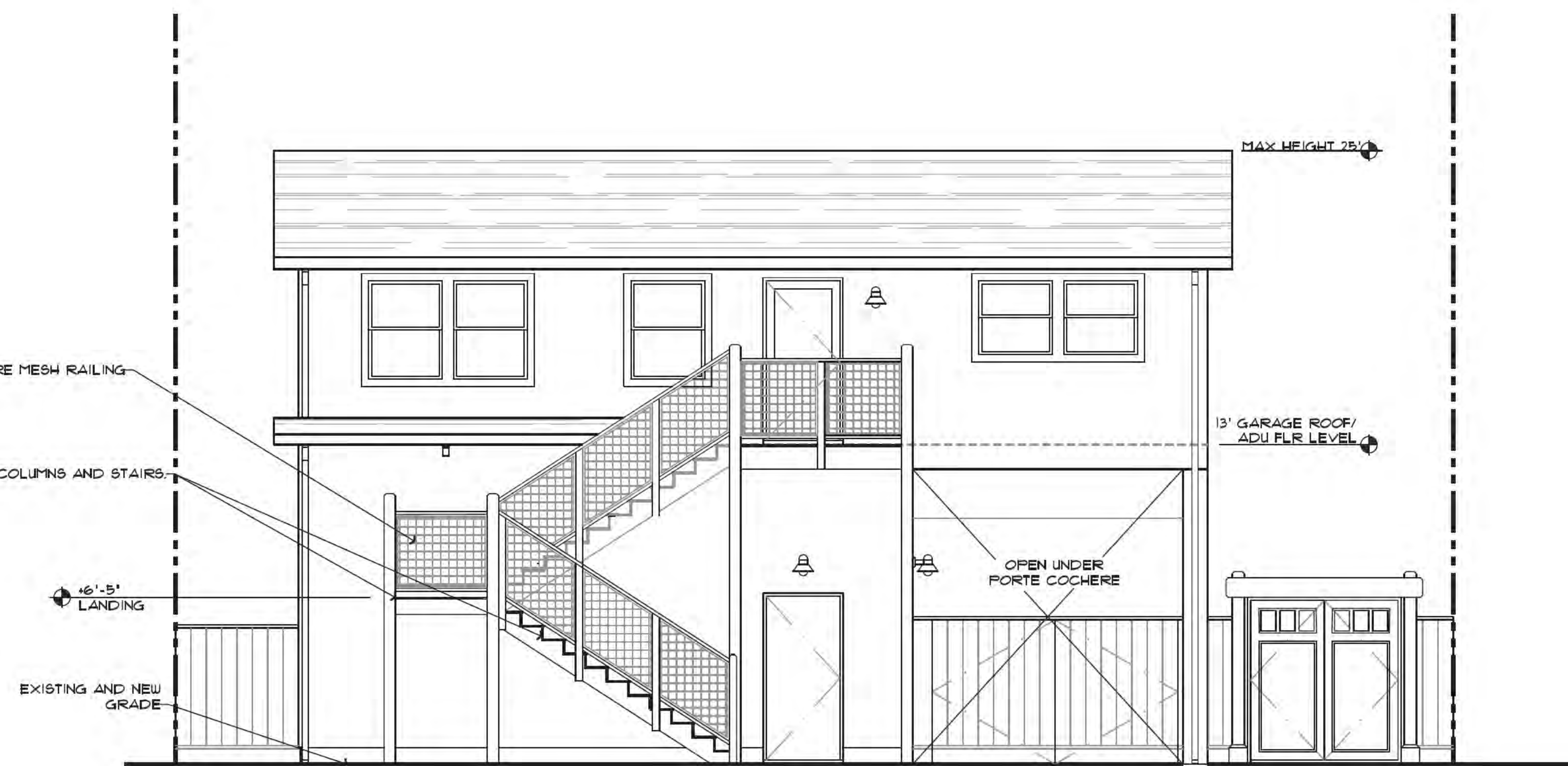
SCALE: 1/4" = 1'-0"



NORTH



EAST TERRACE COURT



WEST FACING EXISTING HOUSE

ADU IS UNDER SEPARATE MINISTERIAL PERMIT

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 4 NOV 2025

JOB No.		2434	
DATE			
DESCRIPTION		DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA  
1476 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/257-0288 FAX 408/297-0384



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN ARE THE ORIGINAL AND  
UNPUBLISHED WORK OF THE ARCHITECT,  
AND MAY NOT BE COPIED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

COPYRIGHT © 2025

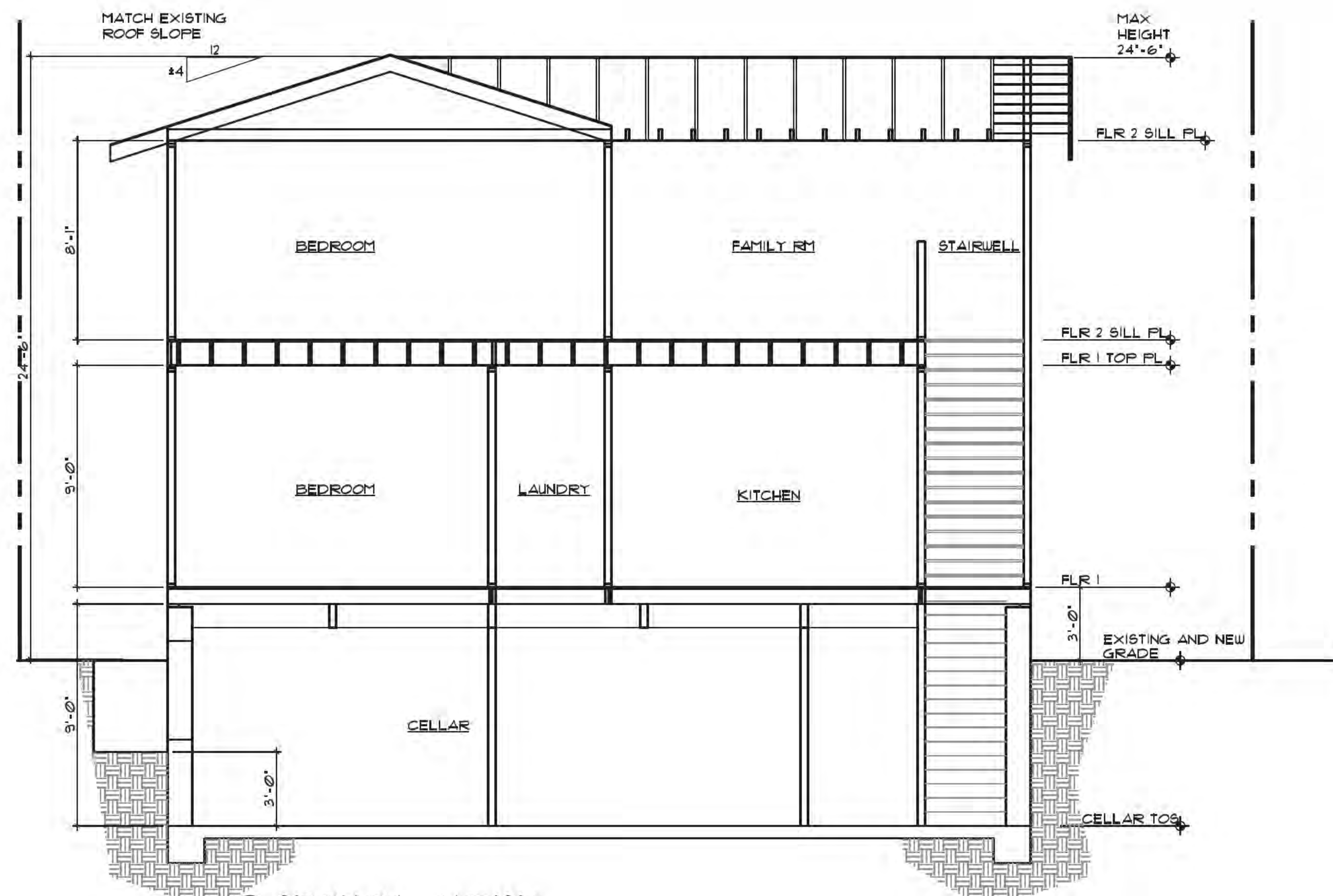
MBA ARCHITECTS

SHEET TITLE  
GARAGE/ADU  
EXTERIOR  
ELEVATIONS

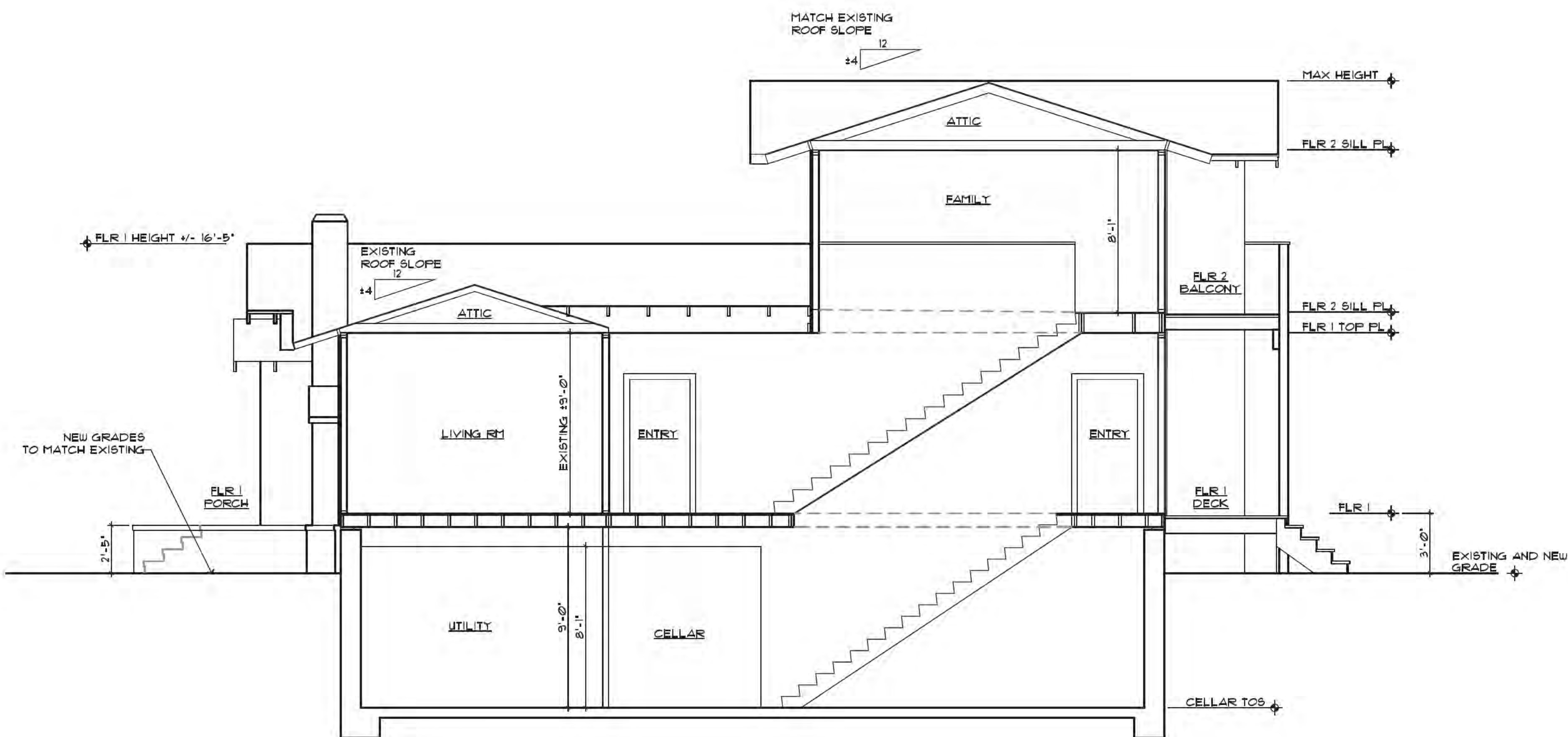
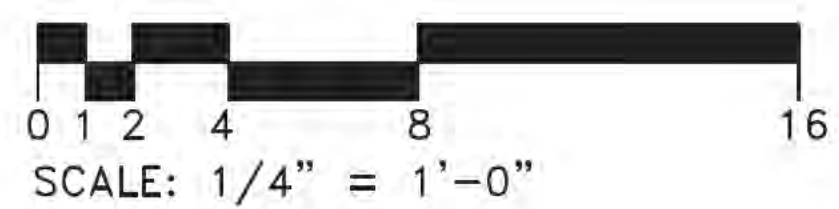
SCALE As Shown  
CAD FILE 2434-AB.dwg  
DRAWN BY

SHEET  
A5  
OF SHEETS





SECTION - HOUSE

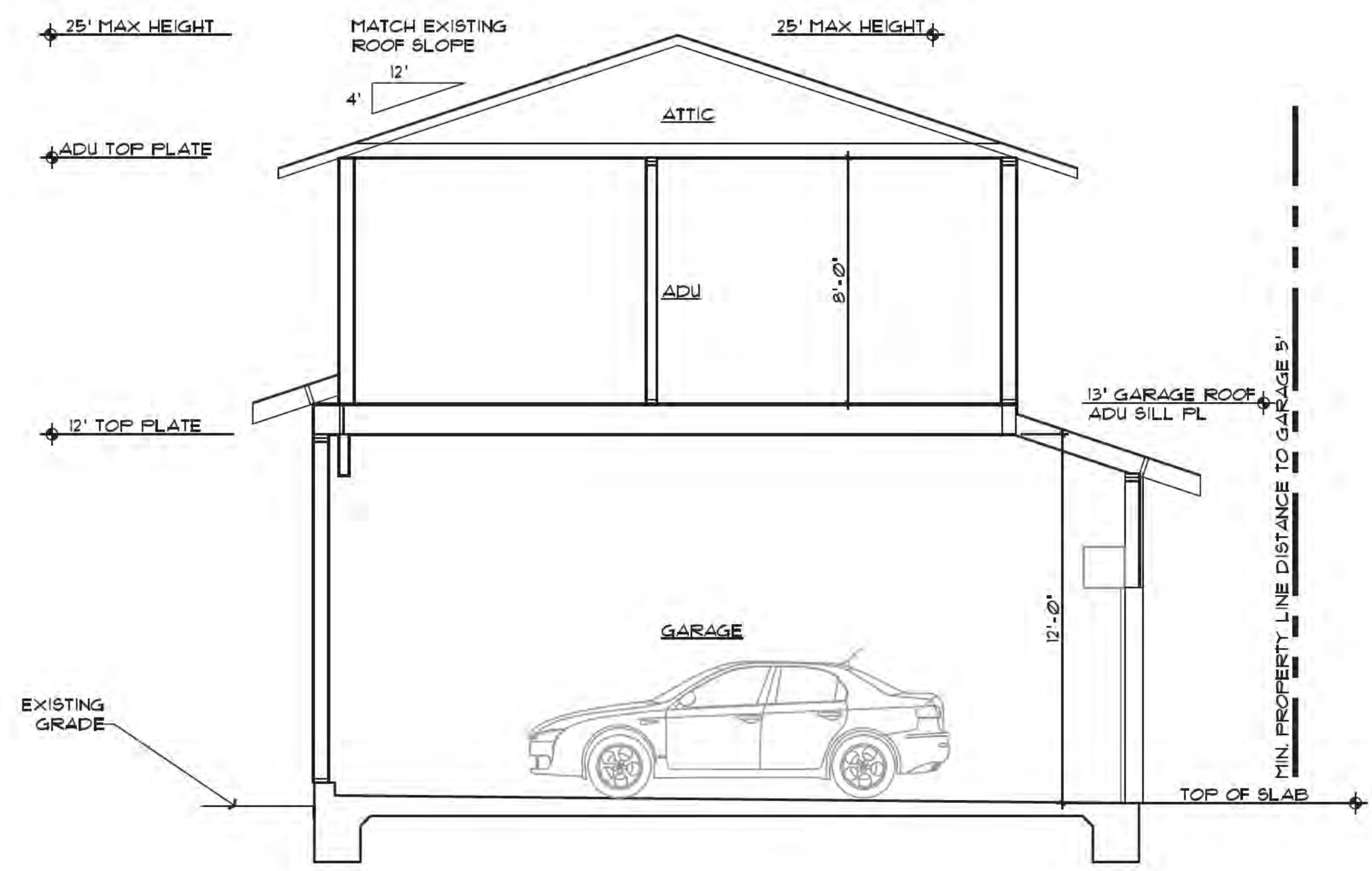


SECTION

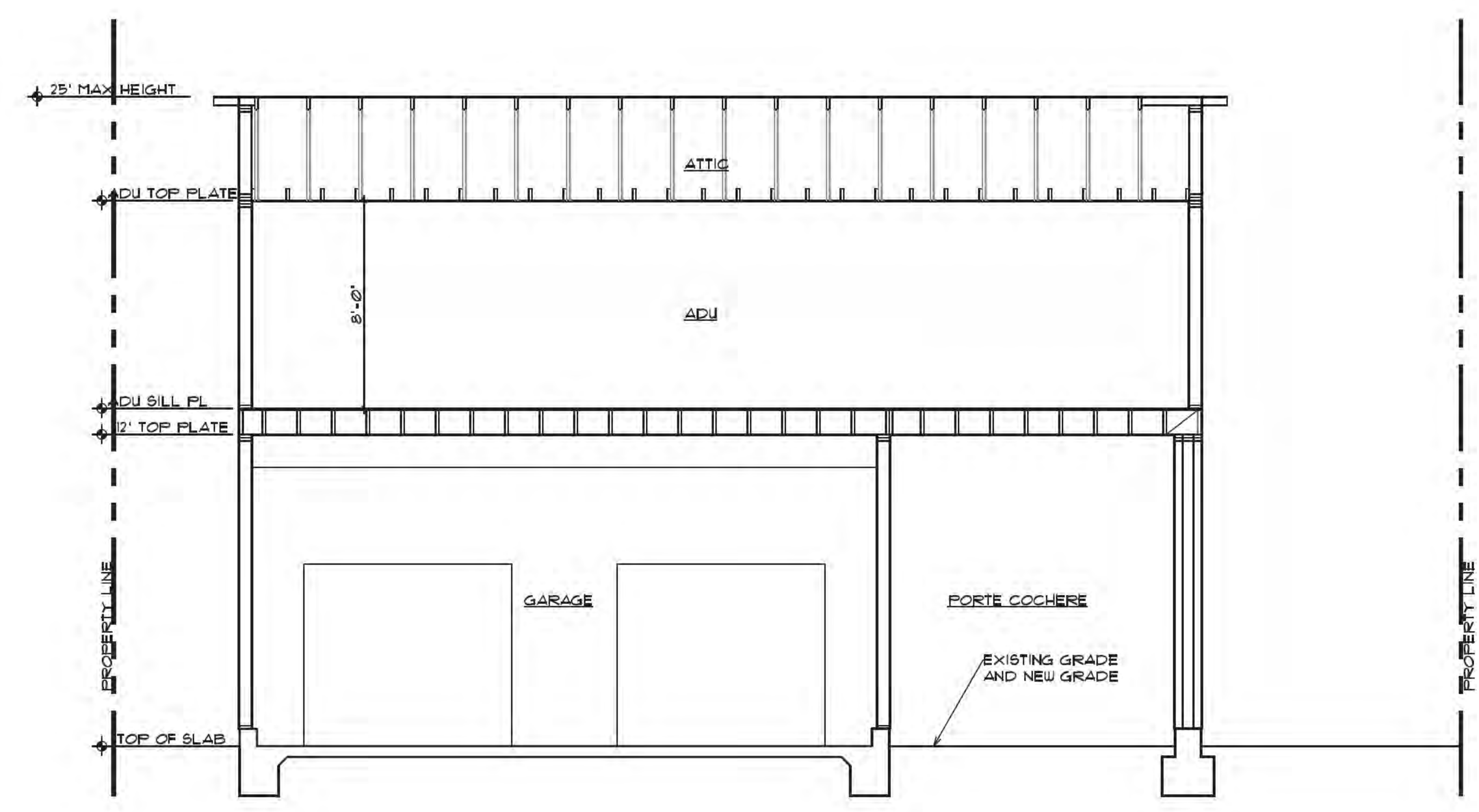
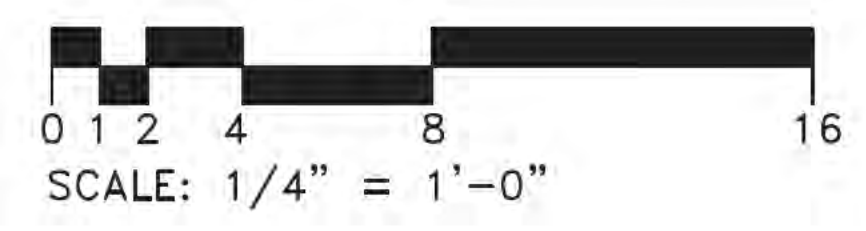
NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 3 JUN 2025

JOB No.		2434
DATE		
DESCRIPTION	DATE	REV.
HYMAN REMODEL/ADDITION		
34 PLEASANT STREET LOS GATOS, CA 95030		
ARCHITECTS		
MBA 1476 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125 PH 408/257-0288X13 FAX 408/297-0384		
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT © 2025 MBA ARCHITECTS		
SHEET TITLE RESIDENCE SECTIONS		
SCALE	As Shown	
CAD FILE	2434-A4.dwg	
DRAWN BY		
SHEET A6.1 OF SHEETS		





A SECTION - ADU/GARAGE



B SECTION

ADU IS UNDER SEPARATE MINISTERIAL PERMIT  
NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 3 JUN 2025

JOB No.		2434
DATE		
DESCRIPTION	DATE	REV.
HYMAN REMODEL/ADDITION		
34 PLEASANT STREET LOS GATOS, CA 95030		

ARCHITECTS

**MBA**

1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/257-0288X13 FAX 408/297-0384

LICENSED ARCHITECT

Martin Arthur Barbour

No. C-4649

REN. 9/25

STATE OF CALIFORNIA

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE

**ACCESSORY SECTIONS**

SCALE	As Shown
CAD FILE	2434-A6.2.dwg
DRAWN BY	

SHEET

**A6.2**

OF SHEETS





46 PLEASANT STREET  
ESTIMATED HEIGHT 25'



AERIAL MAP



22 PLEASANT STREET  
ESTIMATED HEIGHT 25'



40 PLEASANT STREET  
ESTIMATED HEIGHT 25'



36 PLEASANT STREET  
ESTIMATED HEIGHT 16'



34 PLEASANT STREET THIS PROJECT: PROPOSED HEIGHT 25'



26 PLEASANT STREET  
ESTIMATED HEIGHT 16'



24 PLEASANT STREET  
ESTIMATED HEIGHT 16'



OPPOSITE SIDE OF STREET - LOS GATOS HIGH SCHOOL

3 JUNE 2025

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE:

JOB No. 2434

DATE

DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA ARCHITECTS INC.

1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408.257.4266 FAX 408.257.0384

LICENSED ARCHITECT

Marvin Arthur Barbis

No. C-4649

REN. 9/25

STATE OF CALIFORNIA

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE

STREETSCAPE

SCALE As Shown

CAD FILE 2434-A1.DWG

DRAWN BY

SHEET

A1

OF SHEETS



JOB No.	2434	
DATE		
DESCRIPTION	DATE	REV.

HYMAN REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

**MBA**

1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/997-0384



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

COPYRIGHT © 2025

MBA ARCHITECTS

SHEET TITLE

**SOLAR STUDIES**

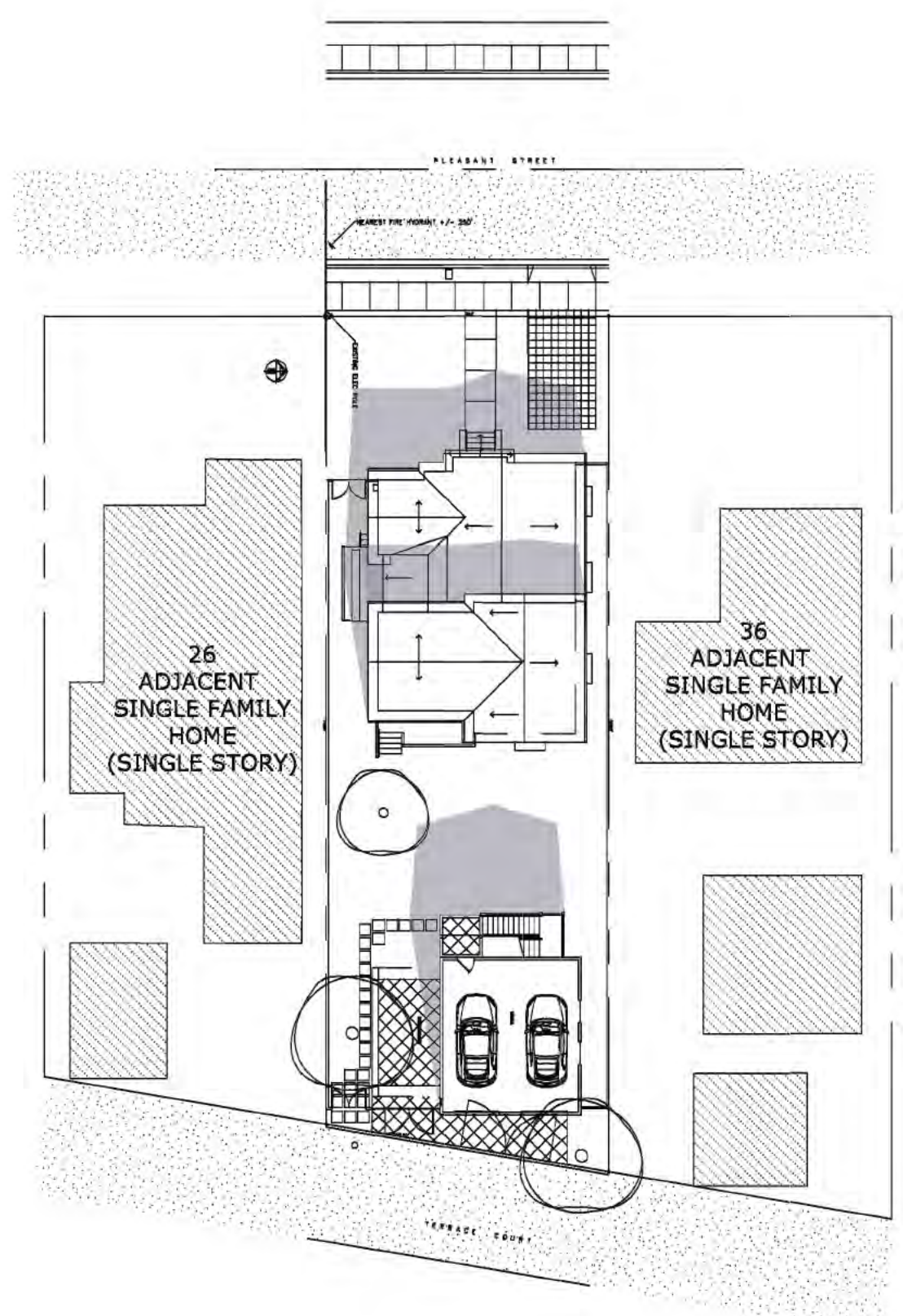
SCALE NONE  
CAD FILE 2434-AB  
DRAWN BY JS

SHEET

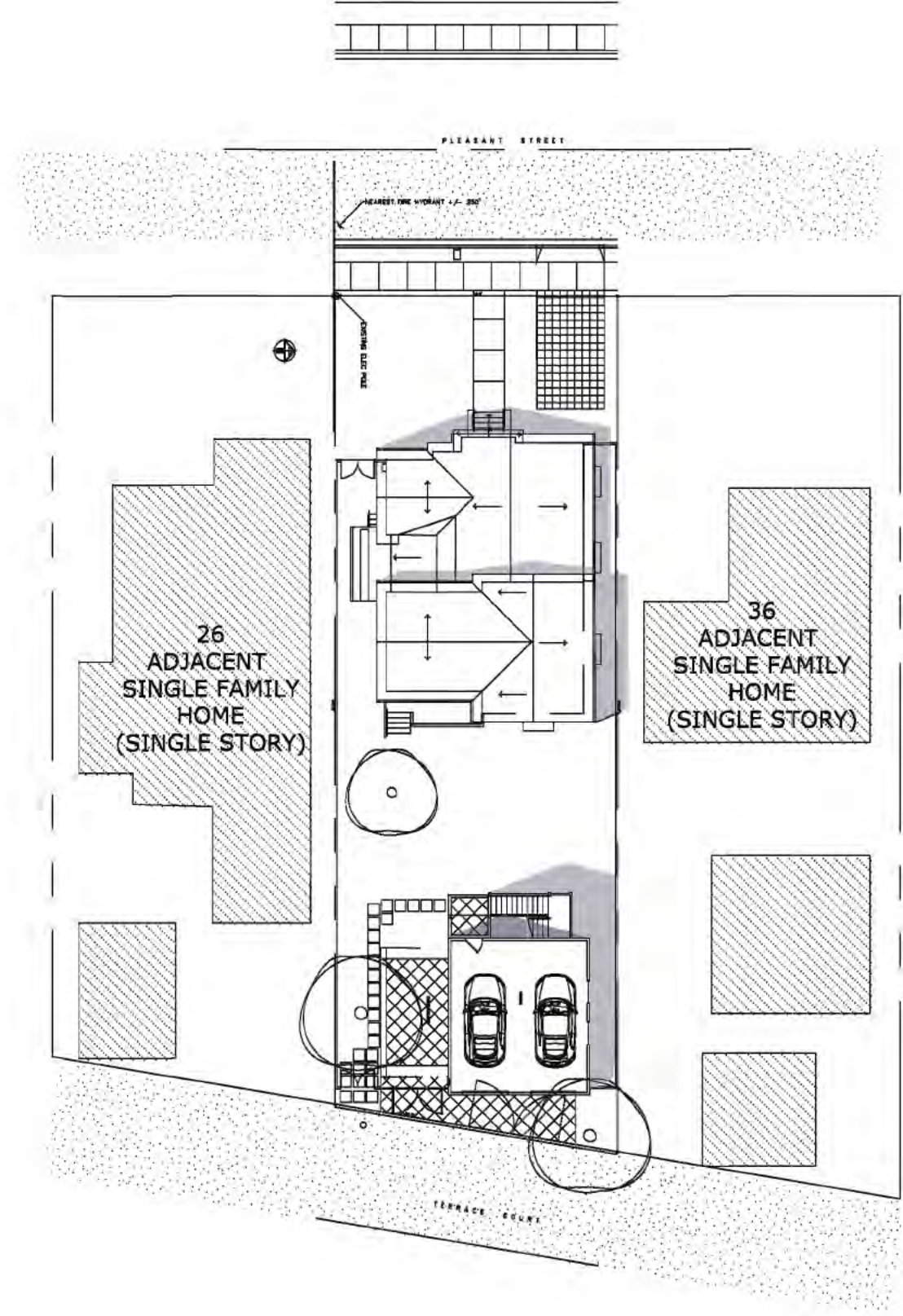
**A8**

OF SHEETS

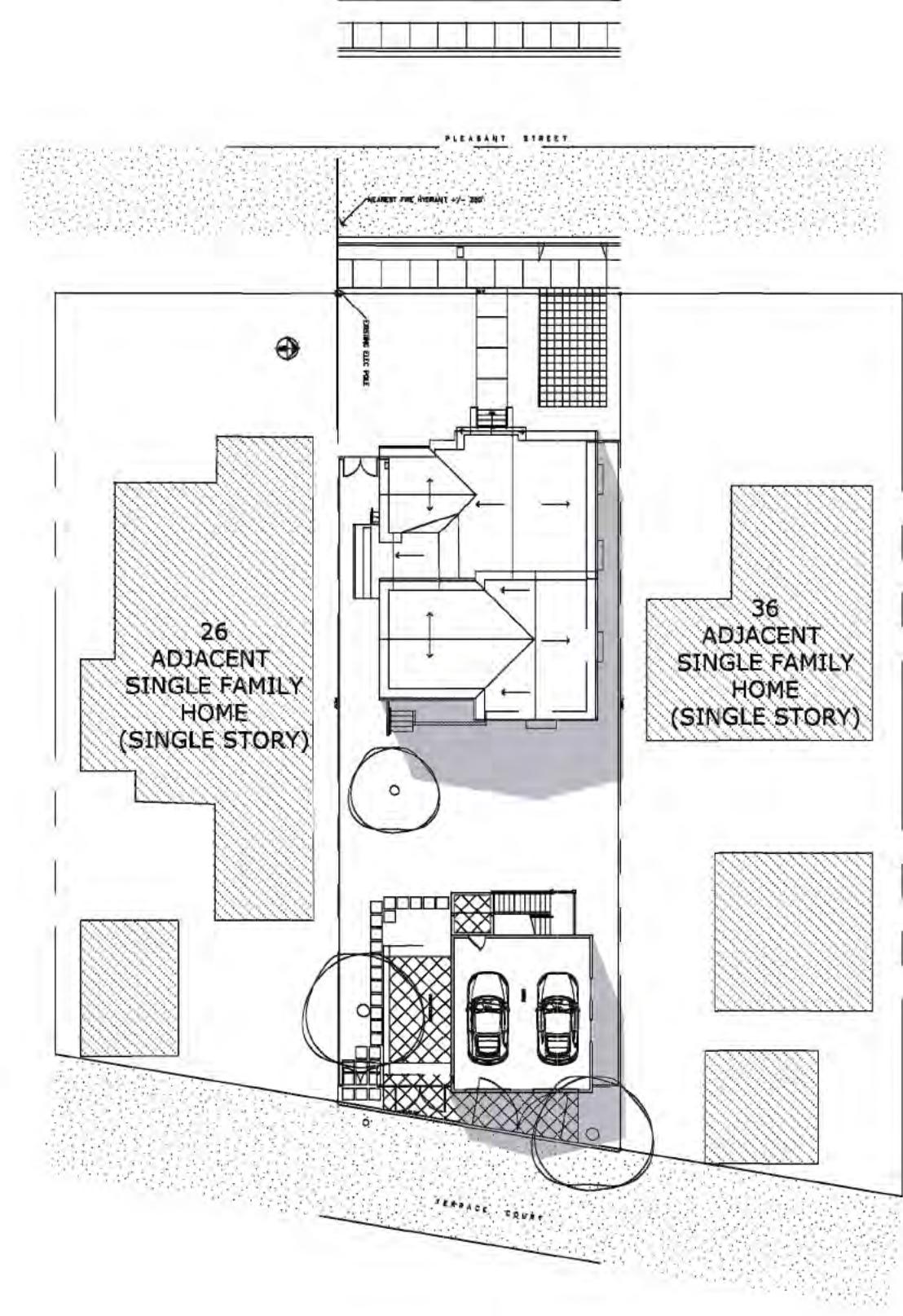
NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 10 APR 2025



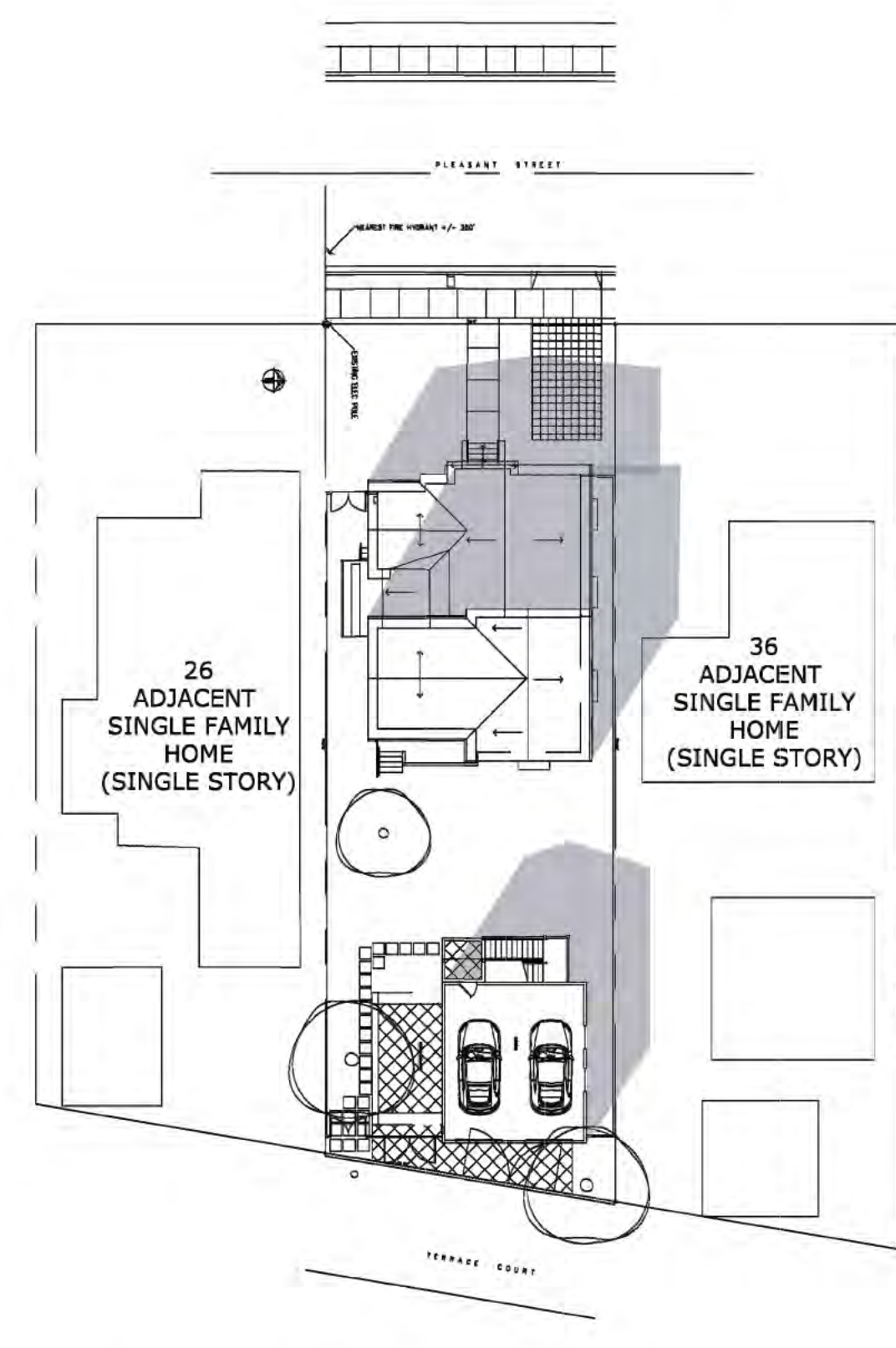
June 21 @9:00am



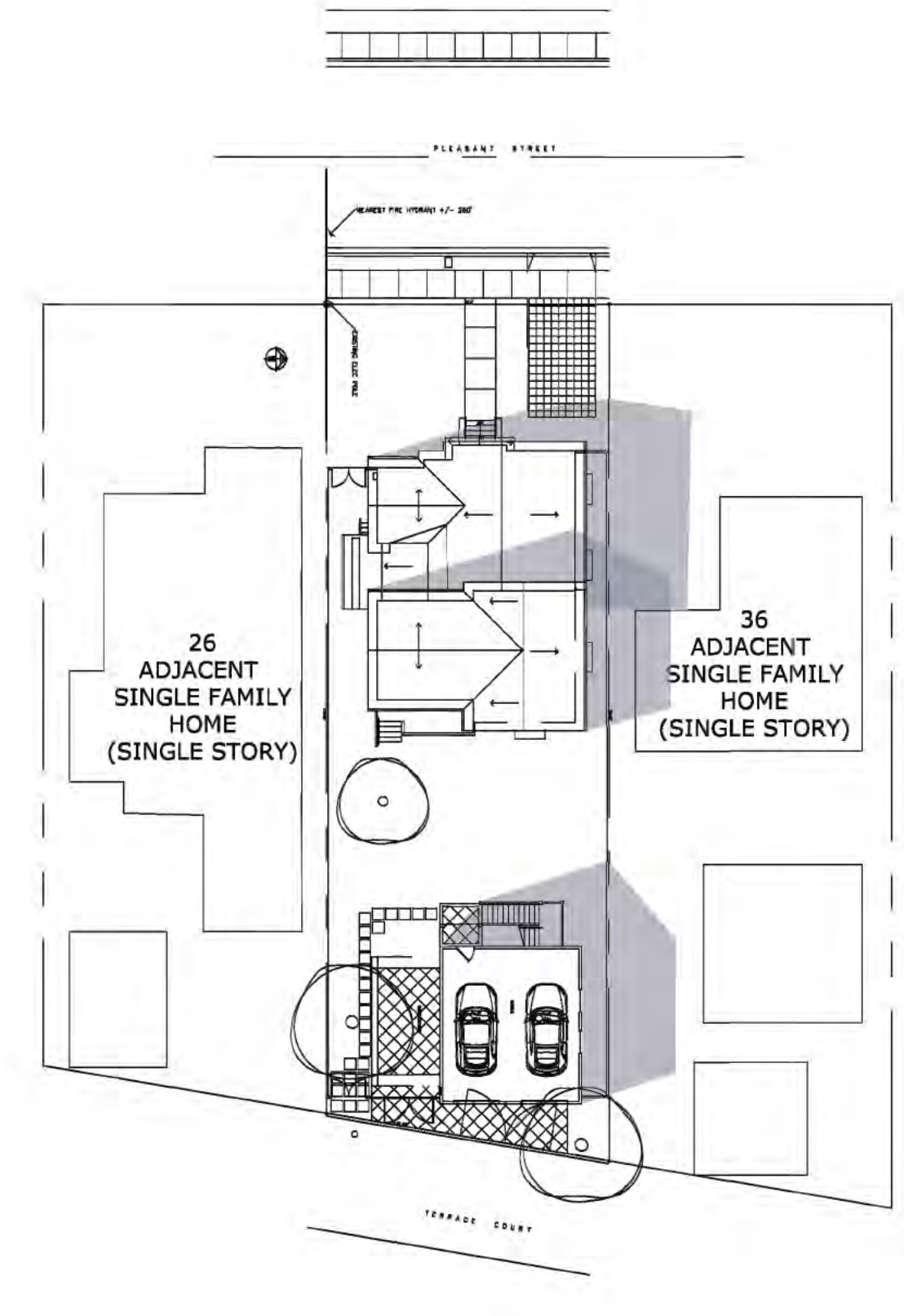
June 21 @12:00 pm



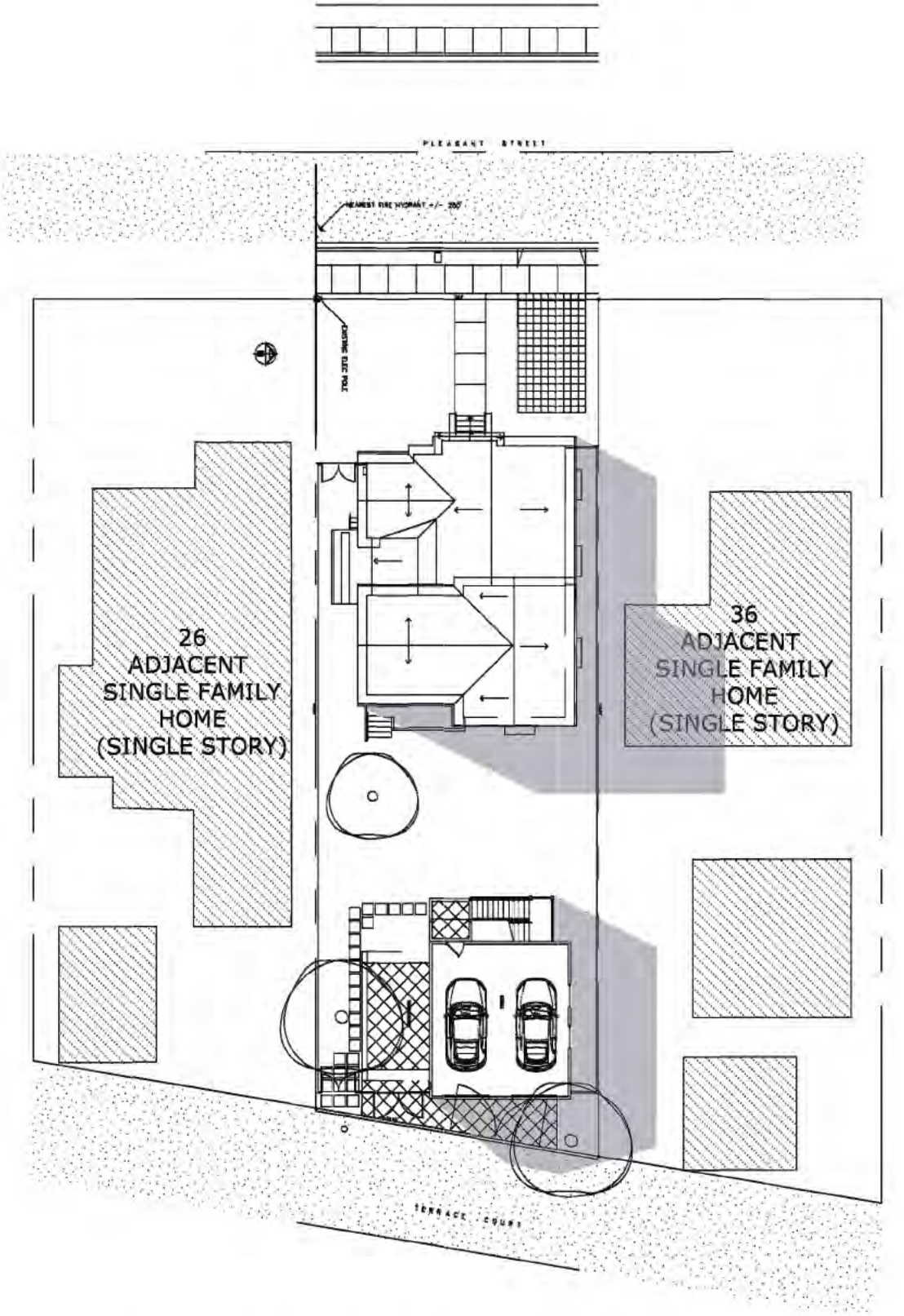
June 21 @3:00 pm



December 21 @9:00am



December 21 @12:00pm



December 21 @3:00pm

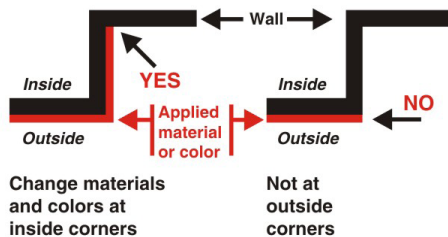


### 3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

### 3.8.4 Materials changes

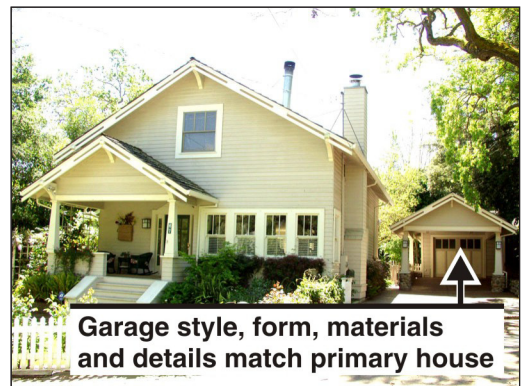
- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

### 3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

## BUILDING DESIGN

## 3



*Original structure*



*Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood*



*Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood*

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



#### 4.8 RESTORATION / REHABILITATION / RECONSTRUCTION

The *restoration* of a historic resource involves the return of a structure to its original form and appearance by means of the removal of features from other periods in its history and the reconstruction of missing features from the original design.

The *rehabilitation* of a historic resource involves repairs, alterations, and additions to the original structure while preserving those portions or features that convey its historic, cultural, or architectural values. For additions to a historic resource, applicants should also refer to Section 4.9: Additions to Structures below.

The *reconstruction* of a historic resource is the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

##### 4.8.1 General Guidelines

- The mass and scale of building expansions of contributing structures should be subordinate to the historically significant elements of the original structure.
- The Neighborhood Pattern standards contained in Section 2 and the Building Design standards in Section 3 apply to historically significant structures unless in conflict with more restrictive standards contained in this Historic Resources section.
- All protected elements of the existing exterior facade should be retained and, if necessary, repaired.
- When a remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and should utilize the same materials as the existing protected exterior elements.
- Any alteration of an existing structure should incorporate and continue the form, architectural style, materials, and details of the existing structure.
- All exterior elements including, but not limited to, roof lines, porches, doorways, windows, trim and siding should be consistent with and continue the architectural style and design of the original structure.

##### 4.8.2 Building Materials

- Use natural/original construction materials (e.g., real wood siding, rock, brick, shingles, plaster) which match and are consistent with the existing materials of the structure. The use of faux rocks or stone is prohibited.

#### GUIDELINES OVERVIEW

- The design guidelines do not prescribe specific architectural styles. Rather they encourage property owners to determine the special character and features which are inherent in their particular residence and neighborhood.
- Numerous appropriate design solutions exist for established neighborhoods.
- The primary consideration is that a proposed design consciously reflect the scale, rhythm, and continuity of the existing neighborhood to create a harmonious fit that will enhance the quality of the neighborhood.
- In general, additions to existing structures should match, but be subordinate to, the original building.
- Materials for all restoration, rehabilitation, reconstruction and new construction should be authentic and match, to the maximum degree possible, those originally used in the historical architectural style. Faux stone, vinyl windows, and manufactured siding are prohibited.
- Professional consultation is recommended for existing structures and for development within sensitive areas to ensure an appropriately designed and detailed building.
- Complete build out to the maximum boundaries of existing zoning requirements may not necessarily be acceptable in some cases.

***This Page  
Intentionally  
Left Blank***





**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE  
REPORT**

MEETING DATE: 01/28/2026

ITEM NO: 4

---

DATE: January 23, 2025  
TO: Historic Preservation Committee  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Select a Chair and Vice Chair

**RECOMMENDATION:**

Select a Chair and Vice Chair

**REMARKS:**

Annually, a Town Committee appoints its Chair and Vice Chair for the upcoming year.

**PREPARED BY:** Alexa Nolder  
Administrative Technician

---

Reviewed by: Planning Manager and Community Development Director

---

***This Page  
Intentionally  
Left Blank***