



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
FEBRUARY 09, 2022  
110 EAST MAIN STREET  
LOS GATOS, CA**

*Melanie Hanssen, Chair  
Jeffrey Barnett, Vice Chair  
Kylie Clark, Commissioner  
Kathryn Janoff, Commissioner  
Steven Raspe, Commissioner  
Reza Tavana, Commissioner  
Emily Thomas, Commissioner*

**PARTICIPATION IN THE PUBLIC PROCESS**

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
  - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
  - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
  - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m.  
Live and Archived Planning Commission meetings can be viewed by going to:  
[www.LosGatosCA.gov/TownYouTube](http://www.LosGatosCA.gov/TownYouTube)***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,  
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN  
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

## IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044 this meeting will not be physically open to the public and the Council and/or Commissioners will be teleconferencing from remote locations. Members of the public can only participate in the meeting by joining the Zoom webinar (log in information provided below). The live stream of the meeting may be viewed on television and/or online at:

<https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chambers.**

### PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at:

<https://losgatosca-gov.zoom.us/j/81607236412?pwd=VGZ2MUftVzVTRTRINGwrNU52bitTUT09>.

Passcode: 625013.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to [PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov) with the subject line “Public Comment Item #” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

### REMOTE LOCATION PARTICIPANTS

*The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR MELANIE HANSSEN, VICE CHAIR JEFFERY BARNETT, COMMISSIONER KYLIE CLARK, COMMISSIONER KATHRYN JANOFF, COMMISSIONER STEVEN RASPE, COMMISSIONER REZA TAVANA, AND COMMISSIONER EMILY THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
FEBRUARY 09, 2022  
7:00 PM**

**RULES OF DECORUM AND CIVILITY**

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to:

- Addressing the Planning Commission without first being recognized;
- Interrupting speakers, Planning Commissioners, or Town staff;
- Continuing to speak after the allotted time has expired;
- Failing to relinquish the microphone when directed to do so;
- Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

**MEETING CALL TO ORDER**

**ROLL CALL**

**VERBAL COMMUNICATIONS** *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

**CONSENT ITEMS** *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the January 26, 2022 Planning Commission Meeting

**PUBLIC HEARINGS** *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. **Located at 118 Olive Street.** APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.

3. Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with an Exemption from the Parking Requirements, an Exception for Maximum Lot Coverage, and Site Work Requiring a Grading Permit on Nonconforming Property Pre-Zoned R-1:8. **Located at 15605 El Gato Lane.** APN 523-22-010. Architectural and Site Application S-21-020. Property Owner: Natasha Malisic. Applicant: Archana Jain. Project Planner: Ryan Safty.

**OTHER BUSINESS** *(Up to three minutes may be allotted to each speaker on any of the following items.)*

**REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

**SUBCOMMITTEE REPORTS / COMMISSION MATTERS**

**ADJOURNMENT** *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)*

*Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.*

*Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 02/09/2022

ITEM NO: 1

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**DRAFT  
MINUTES OF THE PLANNING COMMISSION MEETING  
JANUARY 26, 2022**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, January 26, 2022, at 7:00 p.m.

**This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044, all planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.**

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Melanie Hanssen, Vice Chair Jeffrey Barnett, Commissioner Kylie Clark, Commissioner Kathryn Janoff, Commissioner Steve Raspe, Commissioner Reza Tavana, and Commissioner Emily Thomas

Absent: None.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

**1. Approval of Minutes – January 12, 2022**

**MOTION:** Motion by Vice Chair Barnett to approve adoption of the Consent Calendar. **Seconded** by Commissioner Tavana.

Chair Hanssen requested the motion be amended to include for Item 2, 118 Olive Street, the reason for continuing the application, which was to give the applicant more time to speak with neighbors in opposition to the project.

The Maker of the Motion accepted the amendment to the motion.

**The Seconder of the Motion accepted the amendment to the motion.**

**VOTE: Motion passed unanimously.**

## **PUBLIC HEARINGS**

### **2. 202 University Avenue**

Architecture and Site Application S-21-019

APN 529-04-001

Applicant: Jay Plett, Architect

Property Owners: Tyler and Kristine Shewey

Project Planner: Sean Mullin

Requesting approval for construction of a second-story addition to a contributing single-family residence to exceed floor area ratio standards and construction of an accessory structure with reduced side and rear setbacks in the University-Edelen Historic District on property zoned R-1D:LHP.

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Jay Plett, Architect

- The project has gained a unanimous vote for approval from the Historic Preservation Committee and Planning staff. We have conducted extensive neighbor outreach and gained the support of the immediate neighbors. The proposed design respects the original historic home, blends into the historic district, and preserves the view corridors to the mountains for the side and rear neighbors. The home would meet the needs of the applicant's growing family.

Tyler Shewey, Owner

- We have worked to improve our home over the years, but with our third child on the way we need more space so we can remain in the community.

Jay Plett, Architect

- Our research with staff and consultation with HPC speaks for itself and we ask for project approval. The story poles have been up since the first week in November 2021, almost three months, with no negative public comments.

Closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                    **Motion** by **Commissioner Tavana** to approve an Architecture and Site Application for 202 University Avenue. **Seconded** by **Commissioner Janoff**.

**VOTE:**                    **Motion passed unanimously.**

### **OTHER BUSINESS**

None.

### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

Joel Paulson, Director of Community Development

- The Town Council held a Strategic Priorities session on January 25, 2022.
- The Town Council will consider an extension of the Urgency Ordinance for SB 9 on February 1, 2022.
- The tentative date for Planning Commission review of the General Plan and EIR will be the March 9, 2022 meeting at the earliest.

### **SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

None.

### **ADJOURNMENT**

The meeting adjourned at 7:46 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the January 26, 2022 meeting as approved by the Planning Commission.

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/s/ Vicki Blandin

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 02/09/2022

ITEM NO: 2

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DATE: February 4, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. **Located at 118 Olive Street.** APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.

**REMARKS:**

On January 12, 2022, the Planning Commission considered the application and continued the matter to February 9, 2022. The Planning Commission directed the applicant to:

- Continue neighbor outreach efforts and contact neighbors that expressed concerns; and
- Provide a three-dimensional rendering of the proposed residence.

Following the meeting of January 12, 2022, the applicant provided updates to staff of their continued neighbor outreach efforts (Exhibit 14). Additionally, the applicant provided a rendering showing the exterior of the residence (Exhibit 15).

**STORY POLES:**

The installed story poles have remained in place on the site. The project sign was updated to reflect the February 9, 2022, Planning Commission meeting.

**PUBLIC COMMENTS:**

At the time of this report's preparation, the Town has not received any public comment.

**PREPARED BY:** SEAN MULLIN, AICP  
Senior Planner

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Reviewed by: Planning Manager and Community Development Director

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CONCLUSION:

A. Summary

The applicant has submitted a summary of their continued neighbor outreach and a three-dimensional rendering at the direction of the Planning Commission.

B. Recommendation

Based on the analysis in the January 12, 2022, Staff Report and the additional information provided by the applicant, staff recommends approval of the Architecture and Site application subject to the recommended conditions of approval (Exhibit 3). If the Planning Commission finds merit with the proposed project, it should:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
2. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);
3. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requests to exceed FAR standards, for reduced front and side yard setbacks, and for an exemption from the parking requirements (Exhibit 2);
4. Make the findings as required by Section 29.40.075(c) of the Town Code for granting approval of an exception to the FAR standards (Exhibit 2);
5. Make the findings as required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements (Exhibit 2);
6. Make the findings as required by 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required (Exhibit 2);
7. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
8. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
9. Approve Architecture and Site Application S-21-003 with the conditions contained in Exhibit 3 and the Development Plans in Exhibit 11.

CONCLUSION (continued):

C. Alternatives

Alternatively, the Planning Commission can:

- a. Continue the matter to a date certain with specific direction; or
- b. Approve the application with additional and/or modified conditions; or
- c. Deny the application.

EXHIBITS:

Previously received with the January 12, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description and Letter of Justification, dated August 2, 2021
5. Color and Materials Board
6. Consulting Architect's Report, dated August 4, 2021
7. Applicant's response to Consulting Architect's Report
8. Owner's summary of neighbor outreach
9. Photos of existing residence
10. Public comments received by 11:00 a.m., Friday, January 7, 2022
11. Development Plans

Received with the January 12, 2022 Addendum Report:

12. Applicant's response to public comments
13. Public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022

Received with this Staff Report:

14. Neighborhood outreach summary
15. Three-dimensional rendering

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**From:** thomas reichert <thomasmichaelreichert@gmail.com>  
**Sent:** Thursday, January 13, 2022 4:03 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>; Jay Plett <jay@plett-arc.com>  
**Subject:** 118 Olive Planning Commission Follow up

EXTERNAL SENDER

Hi Sean,

Thank you for the call to discuss follow up steps based on the January 12<sup>th</sup> planning commission direction for a continuance until February 9th. As part of the follow up, see notes on our outreach efforts:

- As of this evening, January 13, 2022 we sent a note (see below for content of note) to the direct neighborhood sphere as well as those signing the opposition letter Dated December 17<sup>th</sup>, 2021. This note included our personal contact information and an invitation to our home to discuss the project in plain view of the project.

Included in the distribution is the following (hand delivered):

- 114, 116, 120, 122, 127, 129, 131, 133, 135. 107, 108, 110 and 121 Olive
- 546 San Benito (believe they may also be the owner of 122 olive, but left 2 separate invitations)
- 630 San Benito (home owner of 116 Olive)
- 19330 Overlook Rd (home owner of 116 Olive)

Additionally, specifically for 19330 Overlook Rd I was able to obtain their phone number from a mutual neighbor and have called to leave a voicemail and sent a text message to relay contact information.

Note that went out (also included was our family holiday card):

"Dear Neighbors,

You are invited to join for a meet and greet with the new residents of 118 Olive St.: Thomas and Meredith Reichert and their Family. We have lived here for the past year and would love to meet and share our proposed project to expand our current home to meet the needs of our family. We plan to be out front of our home on Monday January 17<sup>th</sup> and Friday January 28<sup>th</sup> around 530p if you're available to join. If you prefer to email, call or text, my contact is below:

[thomasmichaelreichert@gmail.com](mailto:thomasmichaelreichert@gmail.com) (858)449-4536

Sincerely,  
The Reichert Family "

--

Thomas M. Reichert

**From:** thomas reichert <thomasmichaelreichert@gmail.com>  
**Sent:** Tuesday, January 18, 2022 1:52 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>; Jay Plett <jay@plett-arc.com>  
**Subject:** Re: 118 Olive Planning Commission Follow up

EXTERNAL SENDER

Hi Sean,

Reporting back on a few updates for planning commission follow up:

- When I was hand delivering the invitations on January 13th, the resident of [REDACTED] Olive happened to be outside, Jim. We were able to connect and discuss the reason he signed the reference letter opposing the project. He specifically said he signed because he didn't want us to use the same contractor that performed the [REDACTED] Olive which he had issues with during their project. I let him know that we are not having that contractor on our bid list and he said he was happy for our project to move forward in that case.
- Lynn, the resident at [REDACTED] and owner of [REDACTED] Olive reached out after receiving our note for outreach. She agreed that it was helpful to have neighborhood outreach and she hopes to make it to one of the invite dates.
- First neighborhood invite for Jan 17th at 530p. Residents of [REDACTED] and [REDACTED] Olive showed up to discuss and hang out. They both were already in favor of the project and haven't changed their support. We stayed out until 7p. Additionally Pam, resident at [REDACTED] Olive happened to be walking by on her way to dinner, she stayed to say hi and discuss the project quickly, but actually didn't realize there was an invite in her envelope- sounds like she will try to come out for the second session.
- Haven't heard from any other neighbors since the notes went out with our contact yet.

Thanks and let me know if you think there is anything you believe would be beneficial given the outreach attempts.

- Thomas Reichert



**From:** thomas reichert <thomasmichaelreichert@gmail.com>  
**Sent:** Thursday, January 27, 2022 1:01 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>; Jay Plett <jay@plett-arc.com>  
**Subject:** Re: 118 Olive Planning Commission Follow up

**EXTERNAL SENDER**

Hi Sean,

More follow up on our post Planning Commission work, we just got back in town so some of these may be slightly behind their actual date of occurrence.

- Pam, resident of [REDACTED] Olive confirmed she did receive the invite and contact. She hopes to join us for our second session.
- The outdoor public signage was updated with minor wording corrections based on your direction
- The story pole flag was repaired, as noted during a storm which had a single area wrapped around a pole.
- We have talked to the residents, outfront of our homes in verbal conversations not at the formal outreach sessions, at both [REDACTED] Olive and [REDACTED] Olive who support our plan

Confirming we still plan to have a second outreach day tomorrow January 28th.

Thank you and let us know about any information needed for the upcoming Planning Commission we should be preparing to attend.

-Thomas Reichert

**From:** thomas reichert <thomasmichaelreichert@gmail.com>  
**Sent:** Tuesday, February 1, 2022 10:41 AM  
**To:** Sean Mullin <SMullin@losgatosca.gov>  
**Cc:** Jay Plett <jay@plett-arc.com>  
**Subject:** Re: 118 Olive Planning Commission Follow up

EXTERNAL SENDER

Hi Sean,

First, thank you for the call and check in. We appreciate you helping us stay on progress. You should have also received a rendering from our architect last week, we don't believe there were any other items from the Planning Commissions requested prior to our next Town meeting.

Following up on the second neighbor outreach night. We had good attendance: Bonnie, Antoinette, Darren, Shellie/Keith, Pam, Jim, Mark/Christie, and Eric.

At first the discussions had a bit of friction and we felt a bit teamed up on, as many of the neighbors who signed the original opposition letter arrived together at the same time. However, after about an hour of talking it felt much friendlier and was quite pleasant, although we didn't agree on everything about the proposed project. My overall takeaways from the night were that we were able to communicate several clarifications that did ease some concerns, the general sentiment was our home design was well received, but there was some reservation about the Towns recommendation for approval of our variances. Additionally it was great to meet a few more neighbors who we hadn't yet known on the block.

Bonnie (████ Olive)- Like several of the neighbors she was concerned about parking and the contractor selection. We clarified that we do not intend to use the contractor from the █████ Olive project and we will do our best to use parking on property to ease neighborhood congestion. There were also some good clarifications that we were building lower and smaller than she believed, specifically we ensured that the only area we encroached on the 5' setback on the side yard was at the single story garage area. She previously believed we requested encroachment for both side yards for full length as well as building into our rear yard. I'm not sure if she had an objection with our front set back proposal, but that did come up with Darren. In general, the full group discussed that many other houses on the street have closer setbacks yet several of them voiced concern that they still wanted us to not have any variances (even though many of those with opposition have variances themselves).

Annette (████ Olive)- She had very similar concerns as Bonnie.

Shellie/Keith (████ Olive owner)- They share a similar stance as Bonnie and Annette, but had additional concerns about their view and lighting. We walked by the story poles and clarified the proposed changes above the garage from a patio to a single story roof. In general they liked that change and understood the 2 story addition did follow the 5' setback, but would block some of the views they currently have. We think the clarification that our proposed project is not requesting maximum allowable height was a good common area of sharing. However, they still don't like that we are proposing a 2 story. Several other neighbors were also unaware that our proposal was less than the max allowable height and this seemed to be commonly acceptable once clarified.

Darren (████ Olive and █████)- While he shared similar concerns with the above, he seemed to primarily be concerned with our requests for any variances. He would prefer we have no variances to

maintain the property in its current zoning conditions. We discussed how the neighborhood has many examples of variances, including those who signed the opposition letter, but continued his position. Overall we learned he likes the project and design, but would prefer if we had no variances. He also mentioned he wished there was more outreach earlier in the project- one area we think in retrospect would have been great advice to take. Our architect mentioned it to us early, but we as new owners and first time home renovators didn't realize the impacts. The Planning Commission's advice to extend to give us this additional time really did help us to engage further and give adequate time to discuss with our neighbors. Another topic which was discussed that night was our driveway length, some concerns about us having less than 20'. The next morning we were able to get a measurement from the garage to the sidewalk and measured it at 20'-4", We believe this clarification helps ease these concerns, but we weren't able to discuss it at the time we all met. In our initial analysis of the neighborhood variances we didn't call out driveway compliance, if we did, [REDACTED] appears to be one of many homes which doesn't have a 20' clearance. Additionally, we didn't note that this home has an entry stairway that appears to be within 10' of the front setback because we were only reviewing Olive St homes.

Pam ([REDACTED] Olive)- She continued to stay neutral on her position on the project. She was helpful to keep the conversation as friendly as possible and provided a good neighborly fabric for us all to align with positivity.

Mark/Christie ([REDACTED] Olive)- They continued their support for the project. One point at the beginning of the meeting we really appreciated their positive support of the project because it felt very much like we were being teamed up against. As mentioned the meeting ended up much better than where it started.

Jim ([REDACTED] Olive)- He joined the meeting after most others left, but came and shared that he supported our project as long as we don't use the contractor from the [REDACTED] Olive project.

Eric ([REDACTED] Olive resident)- He also joined late, but continues to share his support for the project. Additionally he confirmed what we believed in regards to Lynn ([REDACTED] Olive Owner at [REDACTED]) that she has now supports our project, but has general concerns about the neighborhood being able to maintain its character in the long term.

In summary of the 2+2 on each side and 5 across from our project during the extension by Planning Commission:

114, 116, 129 and 132 support the project

120 and 122 like the project, but don't agree with the variances and blocking views

127 and 135 have not participated in the outreach

133 remains neutral

We believe the additional time to meet the neighbors was a positive recommendation and that we used that time to engage with the intent of the extension. We suggest the proposed change above the garage to a roof be accepted by the Planning Commission as part of the good faith discussions to take feedback from the neighbors. We don't believe any changes to the variances would be necessary given the Planning Commission's instruction to limit the scope of the extension, the examples given of the immediate neighborhood which also have similar setbacks and FAR's (which were considered as part of the Planning Department recommendation for approval and inline with the the Town's zoning code which allows for variances on these specific types of non-conforming lots and fits the neighborhood streetscape), as well as an understanding from the neighbors that they acknowledged the intention of our meetings would likely not result in significant changes.

Thank you

-Thomas Reichert

PS.

FYI. See follow up note we plan to distribute to the neighbors who came on Friday:

"Hi Neighbors,

It was great to meet you at our house on Friday. We wanted to confirm that we heard your concerns. It's our intention to be mindful of our design and keep in line with the context of the neighborhood.

Specifically we understand that there are many homes on this block that exceed the FAR and setback exceptions, we looked at each of these categories and chose to not be the largest, tallest or closest in any position to ensure that any future precedence would not impact greater growth that what already exists on the block, yet still allow families to grow in an environment with rising housing costs and shortages. We will continue to suggest the patio above the garage be changed to a roof to maintain the privacy of our direct neighbor. We also wanted to clarify that our driveway will functionally be designed to be more than 20', which was highly discussed to ensure we have a driveway and a garage space. Lastly, while we know there were several other topics, we would urge you to reach out to us if you would like to discuss further.

Thank you

Thomas, Meredith and Family"





EXHIBIT 15

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 02/09/2022

ITEM NO: 2

DESK ITEM

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DATE: February 9, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. **Located at 118 Olive Street.** APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.

REMARKS:

Exhibit 16 includes an updated three-dimensional rendering with added dimensions. Exhibit 18 includes additional public comments received between 11:01 a.m., Wednesday, January 12, 2022, and 11:00 a.m., Wednesday, February 9, 2022, including one comment that was erroneously not included in the staff report packet. Exhibit 17 includes the applicant's response to the additional public comments.

EXHIBITS:

Previously received with the January 12, 2022 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description and Letter of Justification, dated August 2, 2021
5. Color and Materials Board
6. Consulting Architect's Report, dated August 4, 2021
7. Applicant's response to Consulting Architect's Report
8. Owner's summary of neighbor outreach
9. Photos of existing residence
10. Public comments received by 11:00 a.m., Friday, January 7, 2022
11. Development Plans

PREPARED BY: SEAN MULLIN, AICP  
Senior Planner

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Reviewed by: Planning Manager and Community Development Director

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PAGE 2 OF 2

SUBJECT: 118 Olive Street/S-21-013

DATE: February 9, 2022

EXHIBITS (continued):

Received with the January 12, 2022 Addendum Report:

- 12. Applicant's response to public comments
- 13. Public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022

Received with the February 9, 2022 Staff Report:

- 14. Neighborhood outreach summary
- 15. Three-dimensional rendering

Received with this Desk Item Report:

- 16. Three-dimensional rendering with dimensions
- 17. Applicant's response to public comments
- 18. Public comments received between 11:01 a.m., Wednesday, January 12, 2022 and 11:00 a.m., Wednesday, February 9, 2022

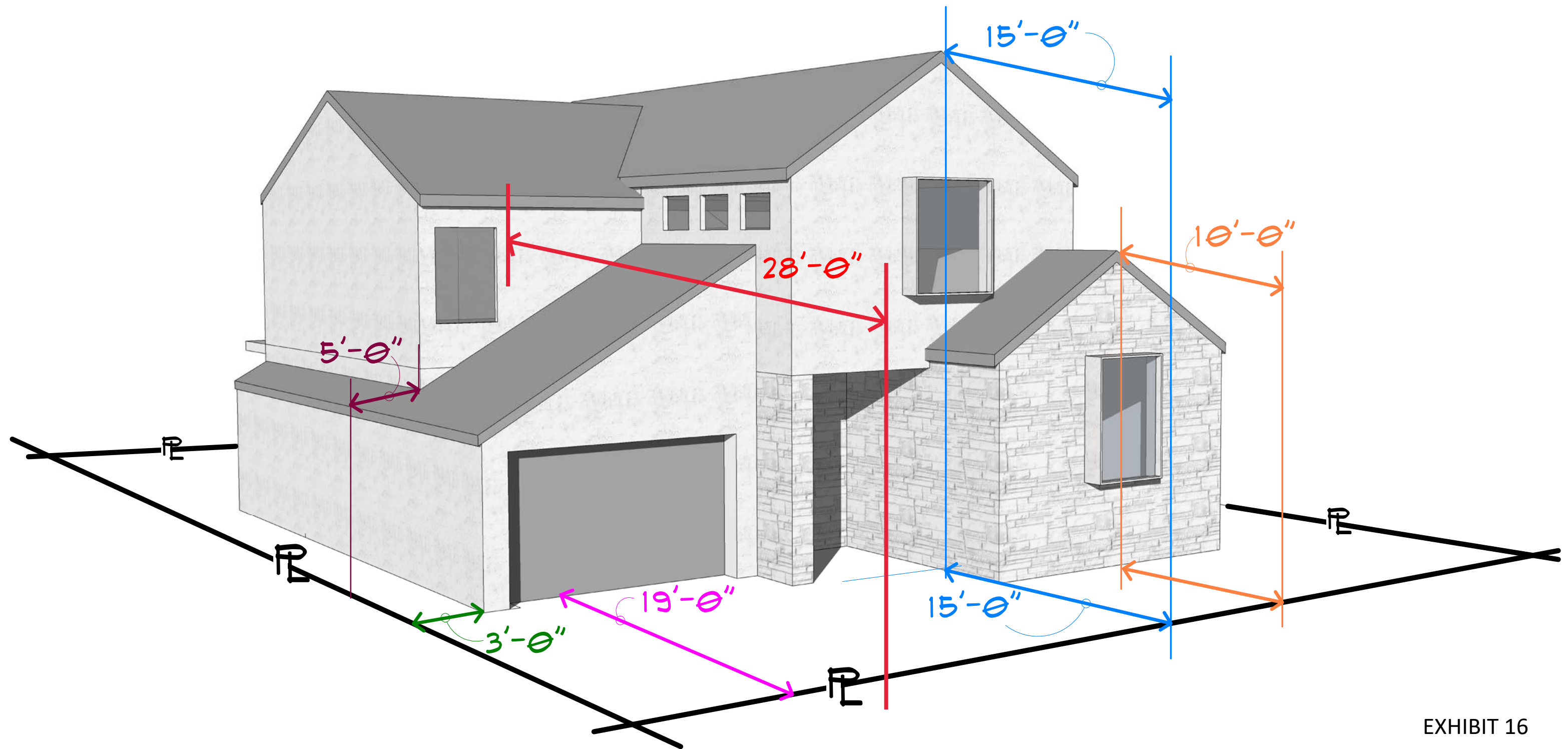


EXHIBIT 16

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**From:** thomas reichert <thomasmichaelreichert@gmail.com>  
**Sent:** Wednesday, February 9, 2022 9:12 AM  
**To:** Sean Mullin <SMullin@losgatosca.gov>  
**Cc:** Jay Plett <jay@plett-arc.com>  
**Subject:** Re: 118 Olive - Public Comments

EXTERNAL SENDER

Hi Sean,

Thanks for sending this public comment. Going into the meeting tonight we realize there may not be enough time allotted to speak, so we'll summarize a few thoughts after reviewing this additional information.

First, we appreciate the open nature of the process for neighbors to be able to share concerns.

In our Planning Commission meeting last month they asked us All to discuss the project as neighbors- in person would be ideal, but phone or e-mail would work. We personally reached out with a letter to each household identified, shared our personal contact information, hosted two meetings at our home and had follow up letters suggesting our openness to any further direct contact to discuss. We supplied a summary of all the discussions that took place to the Planning Department for reference (as accurate as possible knowing it would be open to public scrutiny) for anyone to review.

We wanted to call out one specific item with the recent public comment letter. Understanding everyone is entitled to voice their opinions, there was one comment that was expressed which was different from our interpretation in regard to the meeting at our home on Jan 28th with Jim from 110 Olive. After reading the public comment, which we had a separate conversation with Jim we were immediately concerned that he may have been offended about our outreach attempt. Just in case, we wanted to make sure Jim didn't not share the perspective in the public comment. We reached out to connect directly with him last night at his home where he confirmed we didn't offend him during our meeting on Jan 28th and that he is still good with our proposed project given our feedback. Furthermore, suggested we ignore the representation from the public comment in regard to the negative impact of that letter. We are very aware some neighbors may choose to change their mind or avoid potential conflict, but are pointing out that all our interactions with Jim continue to be positive.

Not specific to the public comment submitted, but to clarify some of the history of the planning process we have up to this point:

We originally submitted the home as a renovation project. As we moved further along the process with Planning Department it became clear they were ready to proceed to with a recommendation for Planning Commission, but we started to discuss pros and cons of a project of this scale to either be a new build vs saving 50% of the structure to fall under specific guidelines for renovation. At this point we grew concerned that unexpected costs from delays, wood dry rot or other unknown issues may be outweighed by doing a new build. We engaged

Planning to understand that we could potentially keep the design exactly the same as if we were planning a renovation, but make concessions as if it were a new build: add fire sprinklers, lose gas powered appliances, underground utilities, etc. This wasn't a straightforward or easy decision, the cost of renovating a home and building a basement while maintaining the structure with understanding the overall impact and disruptions to the neighbors while we either lift or roll the existing structure to the back of the lot for months while we dig a basement. All to say, we made compromises to our intentions, thinking about overall impacts to the neighbors and project costs which ultimately plays into our feasibility to expand the house for our growing family.

Our current design for a new home is EXACTLY the same as it was when we had recommended approval for a renovation (except the placement of one window). The design keeps the house in the EXACT same setting as it sits today, with only 2 small difference- (1) garage is bumped out to be compliant and help with parking and (2) we have a small room added to the front which adds visual appeal/street presence scale so the massing of the house isn't a large flat 2 story. To add, the design brings massing off of the second story and maintains most of the volume on the ground floor which intentionally is meant to be part of the neighborhood context.

In regard to the front setback: the front is set back similar to the context of the neighbors. If we tried to move the whole house back it would limit the already small area for our kids to play in back and we want to respect the back neighbor's privacy by not getting closer to their property.

One of the questions that we haven't heard a strong case for yet based on the discussion to this point: How does our use of the FAR or setbacks impact the other homes for this lot and context? Specifically citing, the code allows these exceptions for this use case and there are so many examples in the immediate neighbors that have similar exceptions, including those who signed the public comment of opposition. It was not clear to us what issue would be solved by making an adjustment to our plan that wasn't readily part of the fabric of many of the adjacent homes. We believe that Town Planning Commission and the Planning Department with their consulting architect considered all the details in recommending our plan for approval.

A bit long winded here, apologies. Just wanted to write since the time to discuss may be very limited during the actual session.

Thank you,  
The Reichert's



**From:** Andrea Galatea <[REDACTED]>  
**Sent:** Wednesday, January 12, 2022 2:12 PM  
**To:** Sean Mullin <SMullin@losgatosca.gov>  
**Subject:** Proposed project at 118 Olive Street, Los Gatos

EXTERNAL SENDER

Dear Sean,

My name is Andrea Galatea and I have resided at [REDACTED], Los Gatos for several years. [REDACTED] is next door to the proposed project at 118 Olive St. I am writing to let you and the planning commission know that I am definitely not in support of the proposed project. Please feel free to email me should you have any questions, and I would be happy to elaborate. Best, Andrea Galatea

From: Carroll, Darren <[REDACTED]>  
Sent: Wednesday, February 9, 2022 10:00 AM  
To: Sean Mullin <SMullin@losgatosca.gov>  
Subject: Additional signatures opposing 118 Olive street

EXTERNAL SENDER

Good morning Sean - please add to the file

Also, would you please send me the instructional information that would allow a couple of our older neighbors participate in tonight's meeting via the use of a land line

Thank you

1.	<u>Shelli Baker</u> Signature	<u>2/7/22</u> Date
2.	<u>[REDACTED] Olive St. Los Gatos</u> Signature	<u>2/7/22</u> Date
3.	<u>[REDACTED] Olive St. LG</u> Signature	<u>2/7/22</u> Date
4.	<u>[REDACTED] OLIVE STREET</u> Signature	<u>2/7/22</u> Date
5.	<u>[REDACTED] SHANAHAN AV.</u> Signature	<u>2/7/22</u> Date
6.	<u>[REDACTED] Olive St. LG</u> Signature	<u>2-7-22</u> Date
7.	<u>[REDACTED] Olive St. LG</u> Signature	<u>2-7-22</u> Date
8.	<u>JAMES W KOOPER</u> Signature	<u>2-7-22</u> Date
9.	<u>[REDACTED] OLIVE ST LOS GATOS CA 95030</u> Signature	<u>2/7/22</u> Date
10.	<u>[REDACTED] Olive Street, LG, 95030</u> Signature	<u>2/7/2022</u> Date
11.	<u>[REDACTED] Olive St</u> Signature	<u>2/7/2022</u> Date
12.	<u>[REDACTED]</u> Signature	<u>                    </u> Date

Sent from my iPhone

**\*Wire Fraud is Real\*. Before wiring any money, call the intended recipient at a number you know is valid to confirm the instructions.** Additionally, please note that the sender does not have authority to bind a party to a real estate contract via written or verbal communication.



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 02/09/2022

ITEM NO: 3

DATE: February 4, 2022  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with an Exemption from the Parking Requirements, an Exception for Maximum Lot Coverage, and Site Work Requiring a Grading Permit on Nonconforming Property Pre-Zoned R-1:8. **Located at 15605 El Gato Lane.** APN 523-22-010. Architectural and Site Application S-21-020. Property Owner: Natasha Malisic. Applicant: Archana Jain. Project Planner: Ryan Safty.

**RECOMMENDATION:**

Consider approval of a request for demolition of an existing single-family residence and construction of a new single-family residence with an exemption from the parking requirements, an exception for maximum lot coverage, and site work requiring a grading permit on nonconforming property Pre-Zoned R-1:8, located at 15605 El Gato Lane.

**PROJECT DATA:**

General Plan Designation: Low Density Residential  
Zoning Designation: Pre-Zoned R-1:8  
Applicable Plans & Standards: General Plan and Residential Design Guidelines  
Parcel Size: 0.187 acres (8,135 square feet)  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	Pre-R-1:8
South	Residential	Low Density Residential	Pre-R-1:8
East	Residential	Low Density Residential	Pre-R-1:8
West	Residential	Low Density Residential	Pre-R-1:8

**PREPARED BY:** RYAN SAFTY  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations), with the exception of requests for an exemption from the parking requirement and an exception for maximum lot coverage.
- As required by Section 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required.
- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including lot coverage requirements.
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the west side of El Gato Lane (Exhibit 1). The property is 8,135 square feet with an existing 1,268-square foot one-story residence and a 276-square foot attached garage. The immediate low density residential neighborhood contains one- and two-story residences.

BACKGROUND (continued):

The subject property, along with the rest of the immediate neighborhood, is currently located within Santa Clara County jurisdiction. The applicant submitted their proposal to the Santa Clara County Planning Department, but due to the proposed scope of work and the property meeting the Town's minimum criteria for annexation, the applicant was directed to annex the property into the Town.

The subject property is in the process of being annexed into the Town. Los Gatos Town Council reviewed and approved the annexation on December 7 and December 21, 2021. The property will be officially annexed into the Town once the State's Local Agency Formation Commission (LAFCO) issues certification. Per Draft Condition of Approval 15 (Exhibit 3), the property must be officially annexed and certified by LAFCO prior to building permit issuance for the proposed work.

On July 7, 2021, the applicant submitted an Architecture and Site application for the demolition of an existing single-family residence, construction of a new one-story residence, and site work requiring a grading permit. The proposal was designed to comply with Santa Clara County Planning Department's requirements. In order to keep the originally designed floor plan, the project requests an exemption from the parking requirements and an exception to the maximum allowed lot coverage. The project meets all other technical requirements of the Town Code.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the west side of El Gato Lane (Exhibit 1). The surrounding properties in the low-density residential neighborhood are one- and two-story single-family residences and are all within Santa Clara County jurisdiction.

B. Project Summary

The applicant is proposing to construct a new 2,513-square foot one-story single-family residence with an attached 432-square foot garage (Exhibit 10) with requests for an exemption to the parking requirements and an exception to the maximum allowed lot coverage. The proposed residence would be the largest in terms of floor area in the immediate neighborhood by one-square foot.

PROJECT DESCRIPTION (continued):

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The existing property is 8,135 square feet with a lot frontage of 54.6 feet. The minimum lot frontage is 60 feet, and therefore the lot is nonconforming as to street frontage.

The proposed residence is in compliance with the allowable floor area, height, and setbacks, and includes requests for an exemption from the parking requirements and an exception for maximum lot coverage as discussed below.

DISCUSSION:

A. Architecture and Site Analysis

The applicant is proposing demolition of the existing residence and construction of a new one-story single-family residence with 2,513 square feet of living space and a 432-square foot attached garage. The maximum height of the proposed residence is approximately 20 feet, where a maximum of 30 feet is allowed.

The proposed project materials include a composition shingle roof, with standing seam metal roof accents along all sides. The exterior material would be textured plaster finish. All windows have simulated divided lites and all openings are recessed. The applicant has provided a Project Description and Letter of Justification detailing the project (Exhibit 8). The project plans show a Junior Accessory Dwelling Unit (JADU) at the rear of the proposed residence. The JADU is not being reviewed as a part of this Architecture and Site Application per State law.

B. Parking

The applicant is requesting an exemption to the parking requirements for a single-family residence. Town Code requires two on-site parking spaces for a single-family residence, both of which must be located outside of the required 25-foot front setback. The applicant is proposing one on-site parking space located outside of the front setback, within the attached garage. The project plans (Exhibit 10) show a second parking space within the front setback, along the driveway, and off-set from the garage parking space so as not to be in tandem. The parking exemption request would allow the second required on-site parking space to be within the required front setback.

DISCUSSION (continued):

Town Code Section 29.10.150(h)(2) allows an exemption from the single-family residence parking requirements when the deciding body finds that the subject property does not have adequate area to provide parking as required. Further, if the deciding body makes the finding, parking shall be provided to the maximum extent possible.

The applicant has provided written justification for the parking exemption request (Pages 9-45 of Exhibit 8). The subject property is nonconforming with 54.6 feet of lot frontage where 60 feet is required. The lots in the immediate and surrounding neighborhood are generally 50 feet wide. With eight-foot side setback requirements, the allowed floor plan is limited to 34 feet in width. The property owner would like, "a nice entryway which is inviting as well as a nice living area with some nice open large windows which are appealing to the house, giving the house a good curb appeal" (Page 9 of Exhibit 8).

The applicant further justifies the parking exemption request by stating that the immediate and surrounding neighborhood has plenty of street parking, "the sidewalks are rural undeveloped which makes the parking very convenient for the visitors" (Page 9 of Exhibit 8). Additionally, the applicant analyzed 129 properties in the surrounding neighborhood within Santa Clara County Jurisdiction (El Gato Lane, Linda Avenue, and Loma Vista Avenue) to determine how many properties conform to the Town's parking requirements for single-family residences. The results of this analysis show that over half of the surrounding neighborhood would not comply with the Town's parking requirements. Specifically, 27 percent of the 129 properties studies have a single-car garage, and 24 percent have a second parking space that is inaccessible. The proposed residence includes a one-car garage and a second parking space within the front setback, along the existing driveway, and off-set from the garage parking space so as not to be in a tandem configuration. The proposed parking configuration would be consistent with the neighborhood pattern.

C. Lot Coverage

The subject property is nonconforming with 54.6 feet of lot frontage where 60 feet is required. Section 29.10.265 of the Town Code allows for modification of any rule of the zone for nonconforming lots, including lot coverage requirements, if the modifications are found to be compatible with the neighborhood.

As detailed in the applicant's Project Description and Letter of Justification (Page 46 of Exhibit 8), the applicant requests an exception to the maximum allowed lot coverage in order to maximize the development potential of the property.

DISCUSSION (continued):

The maximum allowed lot coverage is 40 percent. Based on the lot size of 8,135 square feet, the maximum allowed lot coverage is 3,254 square feet. The applicant's proposal is for 3,303.5 square feet of building area, which equates to a 40.6 percent lot coverage. The proposal would require the removal of 51.5 square feet of roofed building area to comply with the maximum lot coverage requirement.

The applicant chose not to redesign and remove building or covered porch area to comply with the Town's maximum lot coverage requirement. The applicant justifies this exception with the following: "We have small, covered entry porch, a small covered rear exit and a side porch for outdoor seating, and the main house and one car garage that we can maximize on this lot. These covered porches help with the sun angle also for the shading of the house in summers." (Exhibit 8).

The applicant has identified six other properties in the surrounding neighborhood to justify the lot coverage exception and prove compatibility with the surrounding neighborhood (Page 46 of Exhibit 8). Of the six properties identified, two are within the Town's jurisdiction and four are in Santa Clara County jurisdiction. The two properties that are located within the Town, 112 and 125 Verde Court, were confirmed by Town staff to have a lot coverage of under 40 percent (39.97 percent). Based on data from the Santa Clara County Assessor's Office, only one of the four Santa Clara County jurisdiction properties listed exceed the Town's maximum allowed lot coverage: 15611 Loma Vista, which has a lot coverage of 44 percent.

There are several other properties along El Gato Lane that appear to exceed 40 percent lot coverage (15565, 15700, and 15735 El Gato Lane); however, the property data obtained from the Santa Clara County Assessor's Office only included permitted building floor area. Covered porches, accessory buildings, and un-permitted additions are not included in this data.

D. Building Design

The Town's Consulting Architect reviewed the design of the proposed project within the neighborhood context to provide recommendations regarding the building design. The immediate neighborhood is comprised of predominantly one-story homes designed with shed and low-slope gable roofs similar to traditional Eichler style homes.



DISCUSSION (continued):

In the Issues and Concerns background section of the report (Exhibit 4), the Consulting Architect noted that the height and bulk of the proposed replacement house would not be out of scale, but identified several issues with the design and made recommendations to address each issue. The Consulting Architect drafted two recommended design approaches (Page 6, Exhibit 4), one showing shed and flat roofs similar to the Eichler style homes in the neighborhood, and one showing a simplified traditional style with a recessed garage face.

The Consulting Architect then made six recommendations that need to be followed to address consistency of the project with the Residential Design Guidelines:

1. Change the roof forms to shed and flat or gable roofs and eliminate metal roofing.
2. Add trellis over garage.
3. Articulate the long right-side façade by recessing a portion of the façade at the kitchen.
4. Add one or more roof dormers to break up the long roof forms.
5. Utilize more traditional window details and add wood trim at all windows and doors.
6. If divided lite windows are desired, use true or simulated divided lites.

The applicant revised the plans (Exhibit 10) to address the Consulting Architect's recommendations, generally following the second recommended design approach (Page 6, Exhibit 4) and responding to each of the six recommendations identified in the report. The plan changes and responses (Exhibit 5) are as follows:

1. The roof forms were altered slightly, with front facing gable roofs over the living room window and attached garage. The previously proposed standing seam metal roofing along the entire front cross-gable has been replaced with composition shingle roofing throughout, with the standing seam metal roofing used now as accents for the covered porches and front entry.
2. A standing seam metal awning was added above the garage door, matching the awning over the living room window.
3. Instead of recessing portions of the kitchen, standing seam metal awnings were added to the other three sides of the proposed building to break up the facades.
4. Instead of adding roof dormers, skylights were added to break up the long roof forms.
5. Instead of adding wood trim to the windows, all windows and doors are recessed two to three inches to give depth to the openings. Exhibit 9 includes an example image showing the inspiration for recessing openings instead of adding trim.
6. All windows and doors have simulated divided lites.

DISCUSSION (continued):

Although revisions to the plans were made, staff cannot find that the project is compliant with the Consulting Architect's recommendations, and therefore the project as currently proposed is not compliant with the Town's Residential Design Guidelines. Specifically, the second recommended design approach (Page 6 of Exhibit 4) calls for recessing the garage face by a minimum of three feet, and Recommendations 3 and 4 related to breaking up and articulating the roof form and elevations have not been adequately addressed. Staff has added Draft Condition of Approval 16 requiring that the applicant work with staff and the Consulting Architect to revise the plans to comply with the Residential Design Guidelines prior to building permit submittal (Exhibit 3).

E. Neighborhood Compatibility

The immediate neighborhood is made up of one- and two-story single-family residences. Based on County records, the residences in the immediate area range in size from 1,100-square feet to 2,512-square feet. The floor area ratios range from 0.136 to 0.312. The proposed residence would be 2,513-square feet with a floor area ratio of 0.309. Pursuant to Town Code, the maximum allowable square footage for the 8,135-square foot lot is 2,643 square feet with a maximum floor area ratio of 0.325. The table below reflects the current conditions of the immediate neighborhood:

Address	Zoning	House	Garage	Total FAR	Lot Size	FAR	No. of Stories
<b>15605 El Gato Lane (Ex.)</b>	Pre-R-1:8	1,268	276	1,544	8,135	0.156	1
<b>15605 El Gato Lane (Prop.)</b>	Pre-R-1:8	2,513	432	2,945	8,135	0.309	1
15585 El Gato Lane	Pre-R-1:8	1,100	399	1,499	8,064	0.136	1
15595 El Gato Lane	Pre-R-1:8	1,100	399	1,499	8,046	0.137	1
15615 El Gato Lane	Pre-R-1:8	1,561	399	1,960	8,046	0.194	1
15625 El Gato Lane	Pre-R-1:8	1,100	276	1,376	8,046	0.137	1
15580 El Gato Lane	Pre-R-1:8	1,100	399	1,499	8,056	0.137	1
15590 El Gato Lane	Pre-R-1:8	1,100	399	1,499	8,056	0.137	1
15600 El Gato Lane	Pre-R-1:8	1,112	276	1,388	8,056	0.138	1
15610 El Gato Lane	Pre-R-1:8	1,375	276	1,651	8,115	0.169	1
15620 El Gato Lane	Pre-R-1:8	2,512	0	2,512	8,056	0.312	2

The proposed residence would not be the largest home in the immediate neighborhood in terms of FAR, and not the tallest. The proposed residence would be the largest in terms of square footage in the immediate neighborhood by one-square foot.

DISCUSSION (continued):

If the immediate neighborhood is expanded by one property to include 15630 El Gato Lane, the proposed residence would no longer be the largest in the immediate neighborhood in terms of square footage as the property at 15630 El Gato Lane has a 3,827-square foot two-story residence.

F. Tree Impacts

The Town Arborist prepared a report for the site and made recommendations for the project (Exhibit 7). The project site contains 18 protected trees. The applicant is proposing to remove a Palm tree and a non-fruit bearing Cherry tree, which are within or adjacent to the proposed footprint. The remaining 16 Italian Cypress trees lining the northern property line in the front yard will be preserved.

In addition, the applicant is proposing to remove several bushes along the perimeter of the property, none of which are considered protected trees. The applicant is proposing to pay in-lieu fees and plant three new 24-inch box Tristania Laurine Elegant trees along the rear property line to meet the tree replacement requirement.

G. Neighbor Outreach

The applicant provided a summary of their efforts to communicate with their neighbors (Exhibit 6).

H. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Story poles and signage were installed on the site and written notice was sent to property owners and tenants located within 300 feet of the subject property. Public comments received by 11:00 a.m., Friday, February 4, 2022, are included as Exhibit 11.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for demolition of an existing single-family residence and construction of a new single-family residence with requests for an exemption to the parking requirements and an exception to the maximum allowed lot coverage. As proposed, the project would create a 2,513-square foot one-story residence and 432-square foot attached garage. The proposed residence would not be the largest in terms of FAR in the immediate neighborhood but, would be the largest in terms of floor area in the immediate neighborhood by one-square foot; however, if the immediate neighborhood is expanded to include one additional property across the street (15630 El Gato Lane), the proposed residence would no longer be the largest in the immediate neighborhood in terms of square footage. The applicant has provided justification for the parking exemption and lot coverage exception requests, demonstrating consistency with the immediate and expanded neighborhood. Draft Condition of Approval 16 requires that the applicant work with Town staff and the Consulting Architect to revise the plans prior to building permit submittal to ensure compliance with the Residential Design Guidelines.

B. Recommendation

Based on the analysis above, staff recommends approval of the Architecture and Site application subject to the recommended conditions of approval (Exhibit 3). If the Planning Commission finds merit with the proposed project, it should:

1. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);
3. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of requests for an exemption from the parking requirements and an exception for maximum lot coverage (Exhibit 2);
4. Make the finding as required by Section 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required (Exhibit 2);
5. Make the finding required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including lot coverage requirements (Exhibit 2);
6. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
7. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and

CONCLUSION (continued):

8. Approve Architecture and Site application S-21-020 with the conditions contained in Exhibit 3 and the development plans in Exhibit 10.

C. Alternatives

Alternatively, the Commission can:

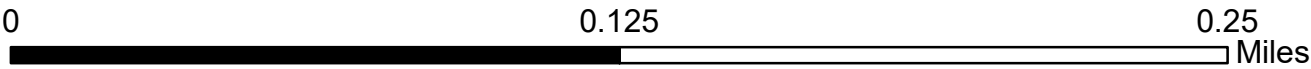
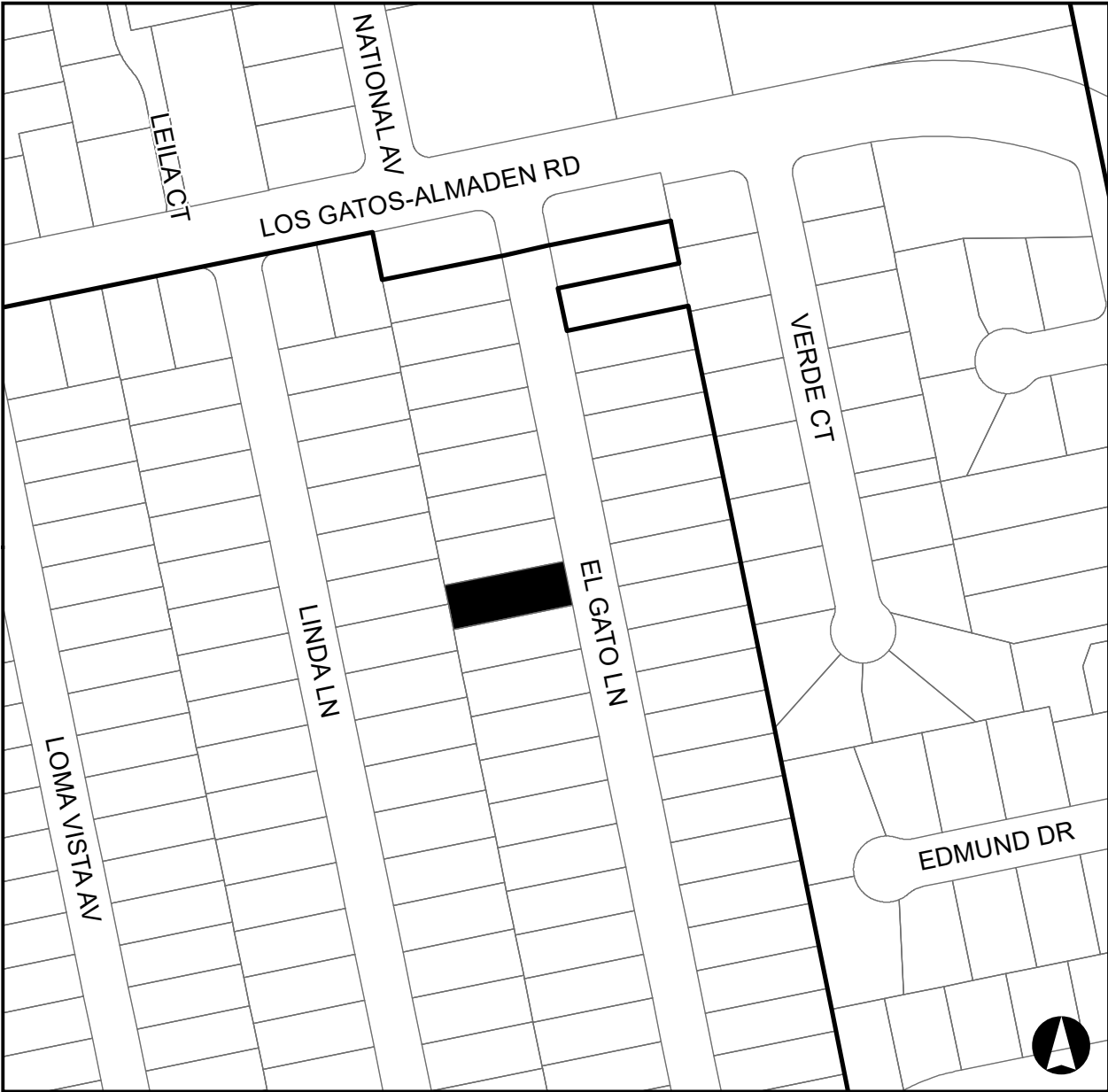
1. Continue the matter to a date certain with specific direction;
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Consulting Architect's Report, dated July 22, 2021
5. Applicant's response to the Consulting Architect's Report, received August 27, 2021
6. Applicant's neighborhood outreach efforts, received August 30, 2021
7. Town Arborist's Report, dated October 27, 2021
8. Project Description and Letter of Justification, received November 9, 2021
9. Color and Materials Board, received November 9, 2021
10. Development Plans, received November 9, 2021
11. Public Comments received prior to 11:00 a.m., Friday, February 4, 2022

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# 15605 El Gato Lane



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**PLANNING COMMISSION – February 9, 2022**  
**REQUIRED FINDINGS AND CONSIDERATIONS FOR:**

**15605 El Gato Lane**  
**Architecture and Site Application S-21-020**

**Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with an Exemption from the Parking Requirements, an Exception for Maximum Lot Coverage, and Site Work Requiring a Grading Permit on Nonconforming Property Pre-Zoned R-1:8.  
APN 523-22-010.**

**PROPERTY OWNER: Natasha Malisic**  
**APPLICANT: Archana Jain**  
**PROJECT PLANNER: Ryan Safty**

**FINDINGS**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

**Required finding for the demolition of a single-family residence:**

- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures:
  1. The Town's housing stock will be maintained as the single-family residence will be replaced.
  2. The existing structure has no architectural or historical significance and is in poor condition.
  3. The property owner does not desire to maintain the structures as they exist; and
  4. The economic utility of the structures was considered.

**Required compliance with the Zoning Regulations:**

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations), with the exception of requests for an exemption from the parking requirement and an exception for maximum lot coverage, as described below.

EXHIBIT 2

**Required finding for an exemption to single-family parking requirements:**

- As required by Section 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required:
  1. The subject property is nonconforming with regard to minimum lot frontage. The existing residence includes a one-car garage, with the second parking space parked in tandem in the driveway leading to the garage. In order to develop the desired floor plan, the proposed residence includes a one-car garage. The second parking space is proposed in the driveway leading to the garage, off-set from the garage space so as not to be tandem. More than half of the properties in the surrounding neighborhood have one-car garages or are situated so that the second parking space is inaccessible.

**Required findings for a lot coverage exception on a nonconforming lot:**

- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including lot coverage requirements:
  1. The subject property is nonconforming having a lot frontage of 54.6 feet where 60 feet is required by Town Code.
  2. The proposed lot coverage exception allows for the proposed house to be single story for compatibility with the neighborhood.

**Required compliance with the Residential Design Guidelines:**

- With Draft Condition of Approval 16, the project design will be in compliance with the Residential Design Guidelines. Draft Condition of Approval 16 requires that the applicant work with Town staff and the Consulting Architect to revise the plans prior to building permit submittal to ensure compliance with the Residential Design Guidelines. The project will not have the largest FAR in the immediate neighborhood, but would have the largest floor area by one square foot. If the immediate neighborhood is expanded by one property, adding 15630 El Gato Lane, the proposal would not be the largest for floor area in the neighborhood. The project meets the objective standards of the zoning code, except for parking and lot coverage.

## **CONSIDERATIONS**

### **Required considerations in review of Architecture and Site applications:**

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

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**PLANNING COMMISSION – February 9, 2022**  
**CONDITIONS OF APPROVAL**

**15605 El Gato Lane**  
**Architecture and Site Application S-21-020**

**Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence with an Exemption from the Parking Requirements, an Exception for Maximum Lot Coverage, and Site Work Requiring a Grading Permit on Nonconforming Property Pre-Zoned R-1:8.  
APN 523-22-010.**

**PROPERTY OWNER: Natasha Malisic**  
**APPLICANT: Archana Jain**  
**PROJECT PLANNER: Ryan Safty**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **OUTDOOR LIGHTING:** Prior to final occupancy all exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. All exterior lighting shall utilize shields so that no bulb is visible and to ensure that the light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. **TREE REMOVAL PERMIT:** A Tree Removal Permit shall be obtained for any protected trees to be removed, prior to the issuance of a building or grading permit.
5. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan and must remain on the site.
6. **TREE FENCING:** Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. **TREE REPLACEMENT:** Prior to issuance of final occupancy replacement trees must be planted.
8. **TREE STAKING:** All newly planted trees shall be double-staked using rubber tree ties.
9. **FRONT YARD LANDSCAPE:** Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.

EXHIBIT 3

10. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed.
11. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
12. **STORY POLES:** The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
13. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
14. **COMPLIANCE MEMORANDUM:** A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.
15. **ANNEXATION:** Annexation must be completed and certified by LAFCO prior to Building Permit issuance.
16. **CONSULTING ARCHITECT RECOMMENDATIONS:** Prior to building permit submittal, the applicant shall work with Town staff and the Consulting Architect to revise the project plans to comply with the Town's Residential Design Guidelines, to the satisfaction of the Community Development Director.

#### *Building Division*

17. **PERMITS REQUIRED:** A Demolition Permit is required for the demolition of the existing single-family residence and attached garage. A separate Building Permit is required for the construction of the new single-family residence and attached garage. A separate Building Permit and address will be required for the JADU. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
18. **APPLICABLE CODES:** The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
19. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
20. **BUILDING & SUITE NUMBERS:** Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
21. **SIZE OF PLANS:** Minimum size 24" x 36", maximum size 30" x 42".

22. **REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE:** Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
23. **SOILS REPORT:** A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
24. **FOUNDATION INSPECTIONS:** A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - a. Building pad elevation
  - b. Finish floor elevation
  - c. Foundation corner locations
  - d. Retaining wall(s) locations and elevations
25. **TITLE 24 ENERGY COMPLIANCE:** All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
26. **TOWN RESIDENTIAL ACCESSIBILITY STANDARDS:** New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
  - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
  - b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
  - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
  - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
27. **BACKWATER VALVE:** The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
28. **HAZARDOUS FIRE ZONE:** All projects in the Town of Los Gatos require Class A roof assemblies.
29. **SPECIAL INSPECTIONS:** When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The

Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).

30. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
31. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - a. Community Development – Planning Division: (408) 354-6874
  - b. Engineering/Parks & Public Works Department: (408) 399-5771
  - c. Santa Clara County Fire Department: (408) 378-4010
  - d. West Valley Sanitation District: (408) 378-2407
  - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

*Engineering Division*

32. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
33. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
34. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
35. PRIOR APPROVALS: All conditions per prior approvals shall be deemed in full force and affect for this approval.
36. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation



- (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
37. **GENERAL LIABILITY INSURANCE:** The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
  38. **PUBLIC WORKS INSPECTIONS:** The Owner or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
  39. **PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT):** The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
  40. **RESTORATION OF PUBLIC IMPROVEMENTS:** The Owner or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
  41. **SITE SUPERVISION:** The General Contractor shall provide qualified supervision on the job site at all times during construction.
  42. **STREET CLOSURE:** Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
  43. **PLAN CHECK FEES:** Plan check fees shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
  44. **INSPECTION FEES:** Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits.
  45. **DESIGN CHANGES:** Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two

- (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
46. **PLANS AND STUDIES:** All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval.
  47. **GRADING PERMIT:** A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
  48. **GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS:** In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
  49. **ILLEGAL GRADING:** Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
  50. **DRIVEWAY:** The driveway conform to existing pavement on El Gato Lane shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
  51. **CONSTRUCTION EASEMENT:** Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
  52. **SURVEYING CONTROLS:** Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
    - a. Retaining wall: top of wall elevations and locations.
  53. **PRECONSTRUCTION MEETING:** Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
    - a. Along with the Owner, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;

- b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
54. **RETAINING WALLS:** A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
55. **DEMOLITION:** Within 60-days of the Development Review Committee approval action being final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on the parcel in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the existing house and construction of a replacement house.
56. **SOIL RECOMMENDATIONS:** The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Owner's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner.
57. **WATER METER:** The existing water meter, currently located within the El Gato Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
58. **SANITARY SEWER CLEANOUT:** The existing sanitary sewer cleanout, currently located within the El Gato Lane right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
59. **UTILITIES:** The Owner shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
60. **SIDEWALK/CURB IN-LIEU FEE:** A curb and sidewalk in-lieu fee of \$7,560.00 shall be paid prior to issuance of a grading or building permit. This fee is based on 54 linear feet of curb at \$68.00 per linear foot and 243 square feet of 4.5-foot wide sidewalk at \$16.00 per square foot in accordance with Town policy and the Town's Comprehensive Fee Schedule.

The final curb and sidewalk in-lieu fee for this project shall be calculated using the current fee schedule and rate schedule in effect at the time the fee is paid.

61. **DRIVEWAY APPROACH:** The Owner shall install a Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
62. **CONSTRUCTION VEHICLE PARKING:** Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
63. **ADVANCE NOTIFICATION:** Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
64. **HAULING OF SOIL:** Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
65. **CONSTRUCTION HOURS:** All site improvement construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, holidays excluded. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
66. **CONSTRUCTION NOISE:** Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
67. **CONSTRUCTION MANAGEMENT PLAN SHEET:** Prior to the issuance of any grading or building permits, the Owner's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, site security fencing, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
68. **MAINTENANCE ACCESS:** Prior to the issuance of any grading or building permits, the Owner shall propose maintenance access improvements for the Town Engineer to review,

- comment on, and approve. The Engineering Division of the Parks and Public Works Department shall approve the surface materials over each public easement.
69. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
70. BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
71. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
72. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
73. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
74. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout

the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

75. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
76. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
  - All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
  - All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
  - As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
  - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
  - All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
  - All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
  - All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.

- j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 77. DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
- 78. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 79. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- 80. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
- 81. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
- 82. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 83. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

84. FIRE SPRINKLERS REQUIRED: (As noted on Sheet A0.1) An automatic residential fire sprinkler system shall be installed in all new one- and two-family dwellings.
85. REQUIRED FIRE FLOW: The fire flow for this project is 1,750 GPM at 20 psi residual pressure. Since an automatic fire sprinkler system will be installed, the fire flow will be reduced by 50%, establishing a required adjusted fire flow of 875 GPM at 20 psi residual pressure. Note: The minimum required number and spacing of the hydrants shall be in accordance with CFC Table C102.1. Letter received. Hydrant is capable of meeting required fire flow.
86. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
87. ADDRESS IDENTIFICATION: (As noted on Sheet A0.1) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
88. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.





ARCHITECTURE PLANNING URBAN DESIGN

July 22, 2021

Mr. Ryan Safty  
Community Development Department  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95031

**RE: 15605 El Gato Lane**

Dear Ryan:

I reviewed the drawings, and evaluated the site context. My comments and recommendations are as follows:

**NEIGHBORHOOD CONTEXT**

The site is located in an established neighborhood of older mostly small one-story homes and a few larger houses. The site is shown on the photos of the site and its surroundings on the following page.







*THE SITE*



*Home to the immediate left*



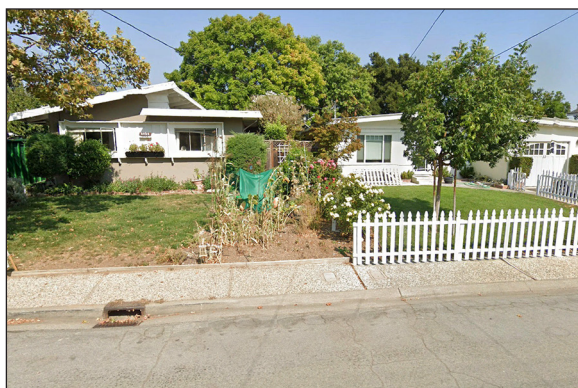
*Home to the immediate right*



*Nearby house across El Gato Lane*



*Nearby house across El Gato Lane*



*Nearby house across El Gato Lane*

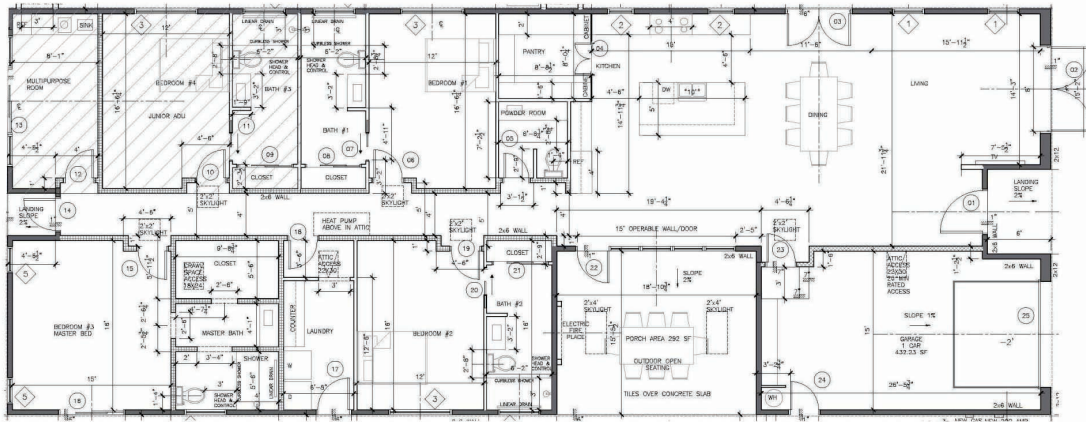


*Nearby house across El Gato Lane*



## ISSUES AND CONCERNS

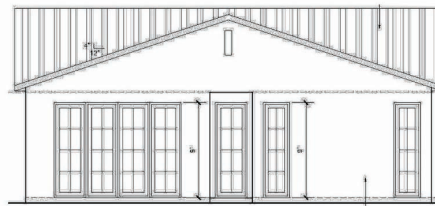
The proposed project would remove the existing one-story home on the site, and replace it with a larger one-story house - see proposed floor plan and elevation drawings below.



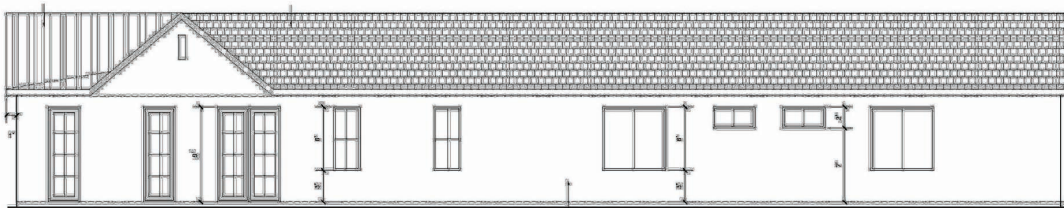
*Proposed Floor Plan*



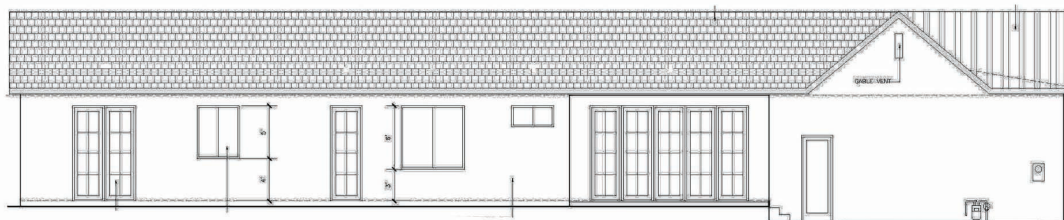
*Proposed Front Elevation*



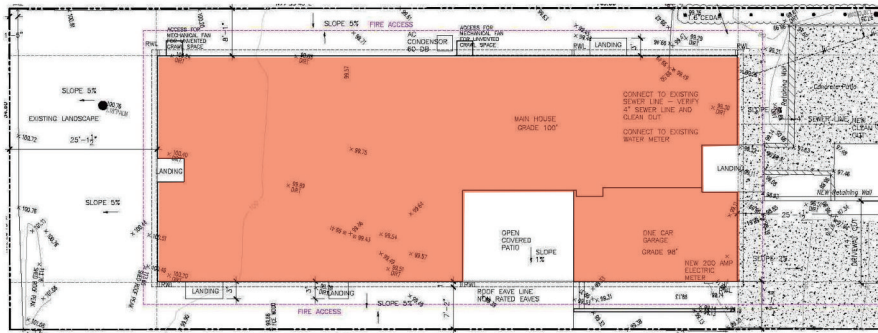
*Proposed Rear Elevation*



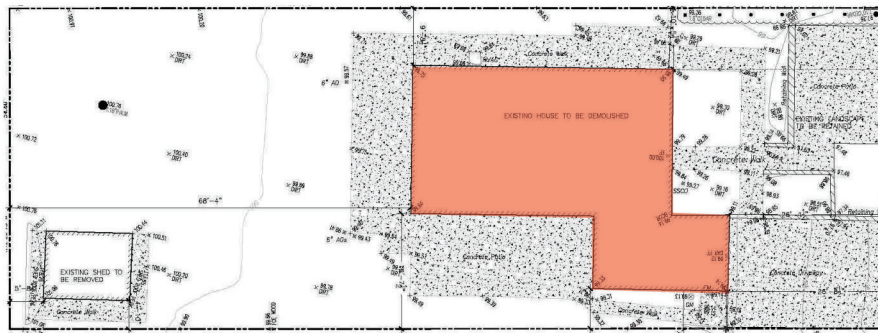
*Proposed Right Side Elevation*



*Proposed Left Side Elevation*



**PROPOSED FLOOR PLATE**



**EXISTING FLOOR PLATE**

*Existing and Proposed Site Plan Comparison*

The immediate neighborhood is comprised of predominantly one-story homes designed with shed and low-slope gable roofs similar to traditional Eichler Style homes. The height and bulk of the proposed replacement house would not be out of scale, but there are several design issues and conflicts with the Town's Residential Design Guidelines including the following:

**2.2.2 Provide front facade articulation similar to those predominant in the neighborhood**

- *If facades along a street front are generally simple, avoid large changes in front wall planes.*

While there is some variation in the front facades of nearby homes, most follow the simplicity of the Eichler design style.

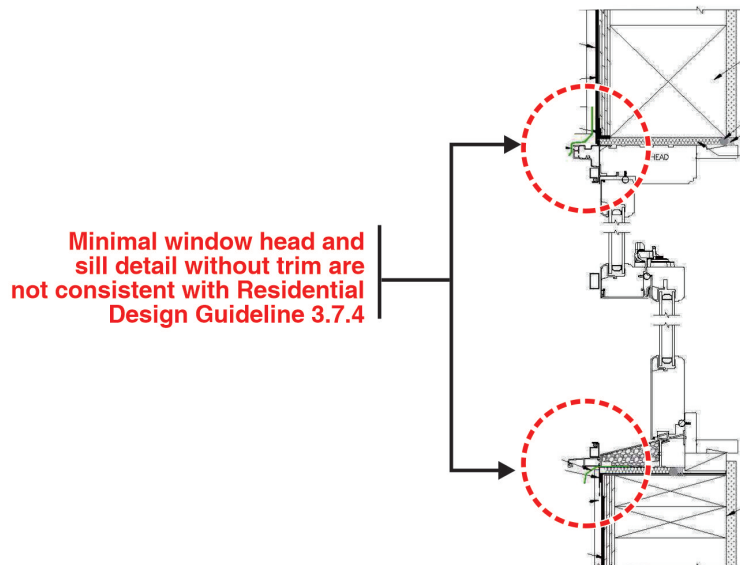
**3.2.2 Design for architectural integrity**

- *Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.*

This is perhaps the primary issue or set of issues regarding this proposed design. As currently designed, the structure is a uniform rectangular box married to a front portion that is totally different in form and detail.

### 3.7.4 Design the windows with attention to matching the traditional details of the architectural style

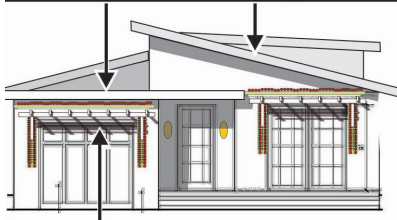
- *Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.*
- *Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.*
- *Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.*
- *Divided lights (i.e., larger window panes broken up into smaller pieces) are common in many home styles found in Los Gatos. Use either vertical or square proportions for the smaller window elements. Be consistent in the proportions (i.e., the ratio of the horizontal to the vertical dimension) of the smaller panes. Do not use snap in flat grids to simulate divided lights. Use either true divided lights or one of the newer window systems that have dimensional muntins on both the exterior and interior of the glass along with a spacer muntin between the panes of glass. Use consistently for windows on all sides of the house.*



This window are set close to the exterior face of the wall, have minimal and non-traditional head and sill details, and lack window trim all of which are not consistent with Residential Design Guideline 3.7.4.

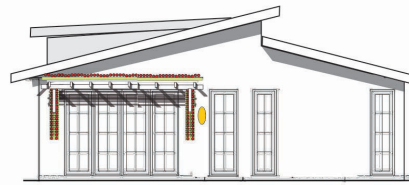
## RECOMMENDATIONS

Use shed and flat roofs similar to other homes in the immediate neighborhood

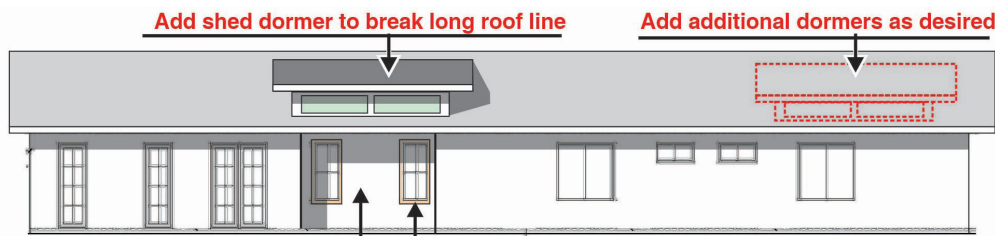


Add landscaped trellis over garage

*Recommended Front Elevation*



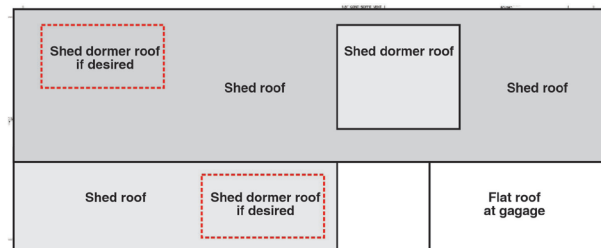
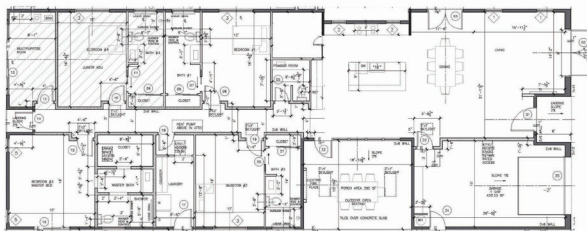
*Recommended Rear Elevation*



Break long facade with recess

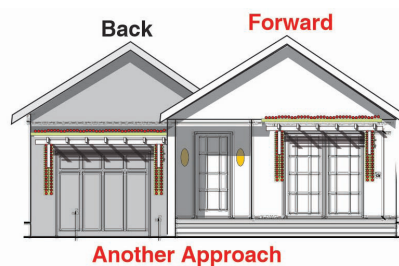
Add wood trim to all windows and doors consistent with Residential Design Guideline 3.7.4

*Recommended Right Side Elevation  
Left Side Elevation similar*

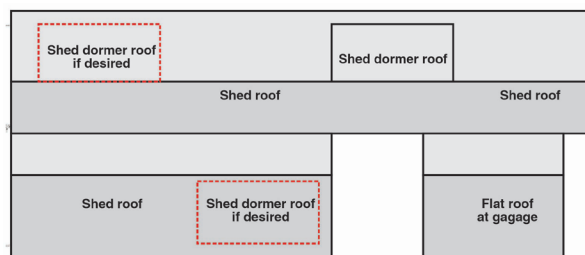


I feel that I could also recommend one other approach that I studied. It is more similar to the applicant's proposed design, but simplified in a traditional style found throughout Los Gatos. The alternate front elevation and roof plan are shown below. This alternative approach would require some minor floor plan changes.

- Moving the face of the garage back from the front facade by a minimum distance of 3 feet.
- Adjust garage recess by either reducing the depth of the garage, reducing the size of the exterior patio, reducing the dimensions of the bedrooms on this side of the house, or a combination of these adjustments to achieve the garage setback.



**Another Approach**



No matter which of these two approaches is selected, they should follow the recommendations below.



1. Change the roof forms to shed and flat or gable roofs, and eliminate metal roofing - see nearby neighborhood examples below.



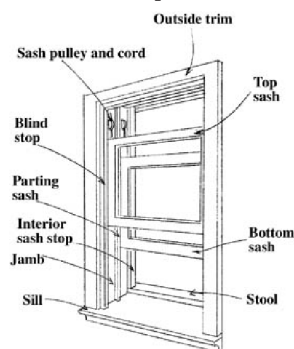
2. Add trellis over garage - see photo example below.



3. Articulate the long right side facade by recessing a portion of the facade at the kitchen - see diagram on page 6.

*Note: All rooms are substantially deeper than is common for most new homes in Los Gatos, and additional side wall articulations should not impact the liveability of the house.*

4. Add one or more roof dormers to break up long roof forms,
5. Utilize more traditional window details, and add wood trim at all windows and doors consistent with Residential Design Guideline 3.7.4 -see photo example below.
6. If divided lite windows are desired, use true or simulated divided lites consistent with Residential Design Guideline 3.7.4 - see example below.



True  
Divided Lites



Simulated  
Divided Lites

Ryan, I have no other recommendations for change.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon

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July 22, 2021

Mr. Ryan Safty  
Community Development Department  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95031

**RE: 15605 El Gato Lane**

Dear Ryan:

I reviewed the drawings, and evaluated the site context. My comments and recommendations are as follows:

#### **NEIGHBORHOOD CONTEXT**

The site is located in an established neighborhood of older mostly small one-story homes and a few larger houses. The site is shown on the photos of the site and its surroundings on the following page.



Attached is our justification letter which shows that this neighborhood is old and none of the homes have any character or style that makes sense to follow. As most homes in this area are old at some given point these will be demolished and new homes which will be built. The newer homes being built in no way match any style of architecture, form or character of the existing homes. Some of the homes are so out of place. Some of the existing homes also do not have any character or form which are literally the neighbors that lets us follow them.

Some suggestions of breaking the long lines have been followed to the extent





*THE SITE*



*Home to the immediate left*



*Home to the immediate right*



*Nearby house across El Gato Lane*



*Nearby house across El Gato Lane*



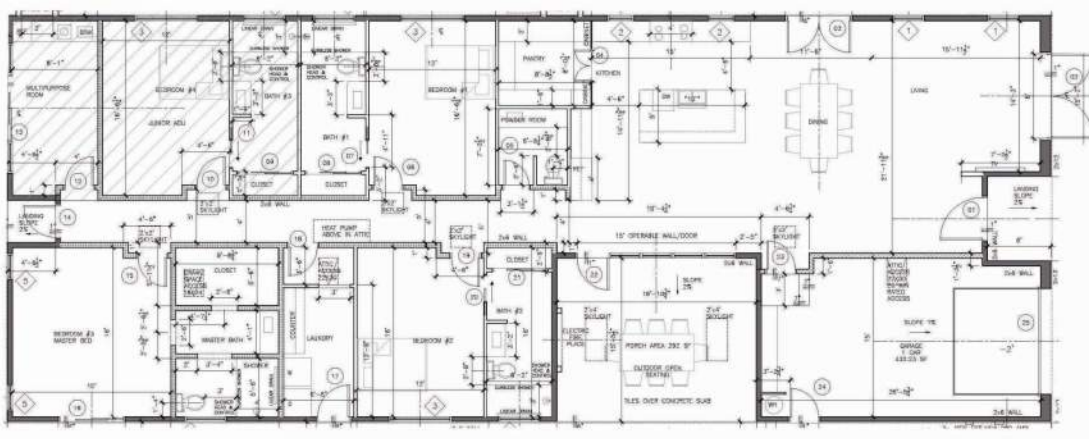
*Nearby house across El Gato Lane*



*Nearby house across El Gato Lane*

## ISSUES AND CONCERNS

The proposed project would remove the existing one-story home on the site, and replace it with a larger one-story house - see proposed floor plan and elevation drawings below.



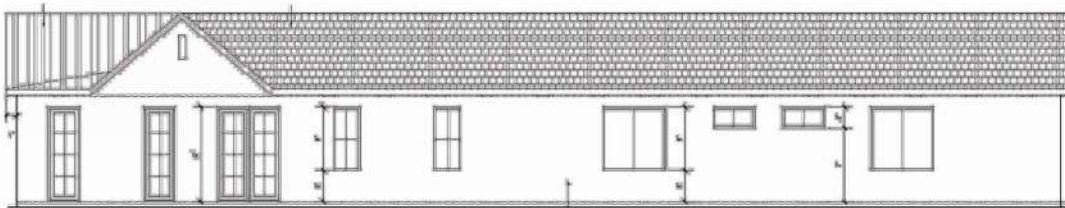
*Proposed Floor Plan*



*Proposed Front Elevation*



*Proposed Rear Elevation*

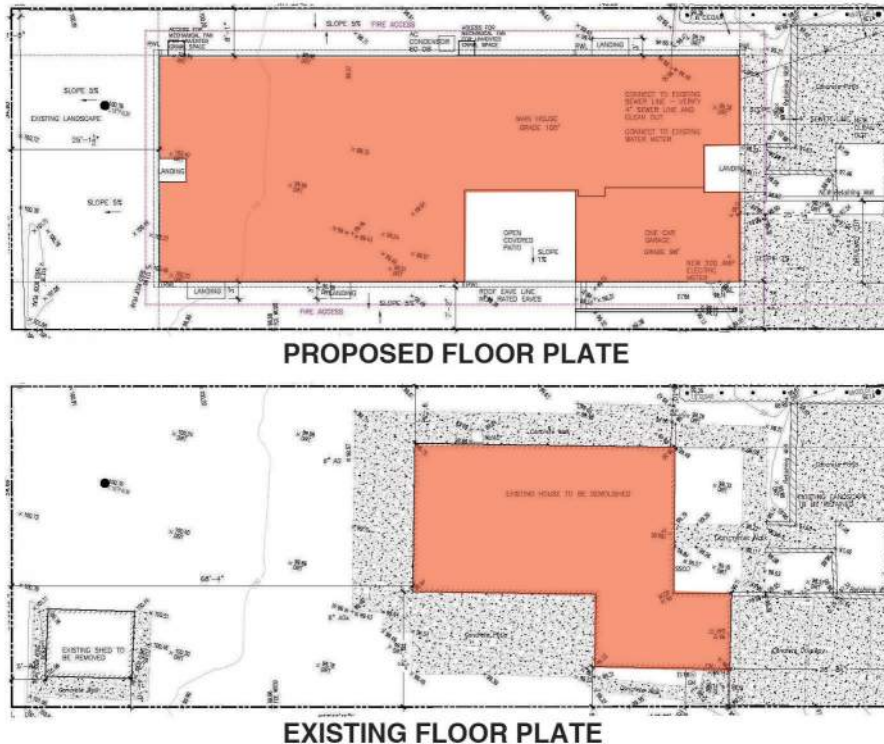


*Proposed Right Side Elevation*



*Proposed Left Side Elevation*





*Existing and Proposed Site Plan Comparison*

The immediate neighborhood is comprised of predominantly one-story homes designed with shed and low-slope gable roofs similar to traditional Eichler Style homes. The height and bulk of the proposed replacement house would not be out of scale, but there are several design issues and conflicts with the Town's Residential Design Guidelines including the following:

### **2.2.2 Provide front facade articulation similar to those predominant in the neighborhood**

- *If facades along a street front are generally simple, avoid large changes in front wall planes.*

While there is some variation in the front facades of nearby homes, most follow the simplicity of the Eichler design style. As most of the homes in this neighborhood have no character, we have followed the suggestion of providing the awning over the garage door to get some interest

### **3.2.2 Design for architectural integrity**

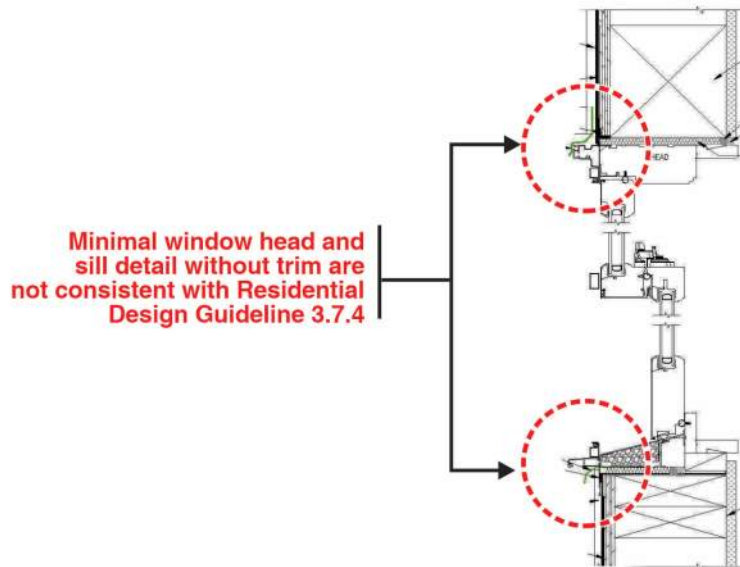
- *Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.*

This is perhaps the primary issue or set of issues regarding this proposed design. As currently designed, the structure is a uniform rectangular box married to a front portion that is totally different in form and detail.

We have changed the roof material to composition shingle roof to match the rear roof. The accent entry roof and the metal awnings are standing seam metal roof. All windows are similar all throughout the house on all sides with similar windows / doors with true divided lights. The simplicity of the structure is to keep the house within budget for ease of construction.

### 3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.
- Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.
- Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.
- Divided lights (i.e., larger window panes broken up into smaller pieces) are common in many home styles found in Los Gatos. Use either vertical or square proportions for the smaller window elements. Be consistent in the proportions (i.e., the ratio of the horizontal to the vertical dimension) of the smaller panes. Do not use snap in flat grids to simulate divided lights. Use either true divided lights or one of the newer window systems that have dimensional muntins on both the exterior and interior of the glass along with a spacer muntin between the panes of glass. Use consistently for windows on all sides of the house.



**This window are set close to the exterior face of the wall, have minimal and non-traditional head and sill details, and lack window trim all of which are not consistent with Residential Design Guideline 3.7.4.**

We do have recessed windows on the front as the walls are 2x12, so the windows and doors will be recessed which gives the depth. The same detail is continued for all sides to give the recess for windows on side with 2x6 walls and at the doors and windows it will be 2x4.

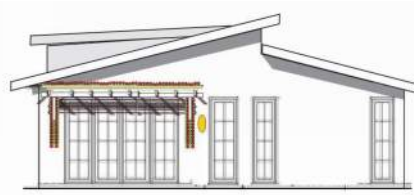
## RECOMMENDATIONS

Use shed and flat roofs similar to other homes in the immediate neighborhood

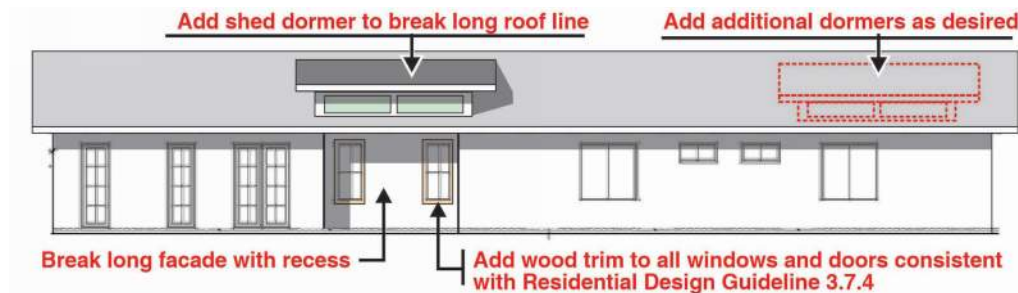


Add landscaped trellis over garage

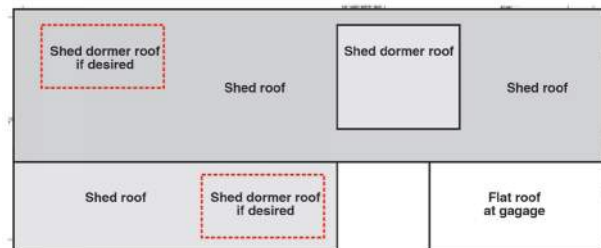
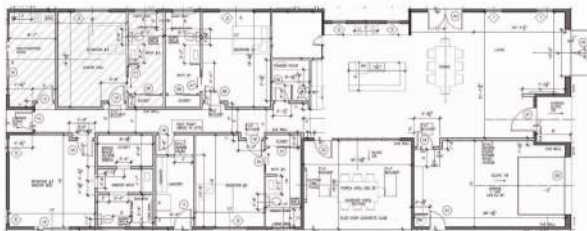
*Recommended Front Elevation*



*Recommended Rear Elevation*

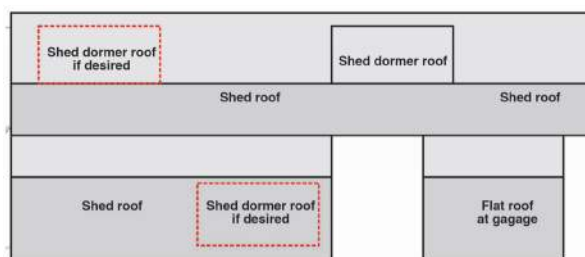


*Recommended Right Side Elevation  
Left Side Elevation similar*



I feel that I could also recommend one other approach that I studied. It is more similar to the applicant's proposed design, but simplified in a traditional style found throughout Los Gatos. The alternate front elevation and roof plan are shown below. This alternative approach would require some minor floor plan changes.

- Moving the face of the garage back from the front facade by a minimum distance of 3 feet.
- Adjust garage recess by either reducing the depth of the garage, reducing the size of the exterior patio, reducing the dimensions of the bedrooms on this side of the house, or a combination of these adjustments to achieve the garage setback.



No matter which of these two approaches is selected, they should follow the recommendations below.

We would like to keep the design as shown, but accepting some suggestions by adding awnings on the sides to break the long elevation as well as added skylights also to break the roof line.

1. Change the roof forms to shed and flat or gable roofs, and eliminate metal roofing - see nearby neighborhood examples below.

These are old homes from the 50's which do not have any character and eventually all these homes will be rebuilt and not follow this style. With the current Title 24 requirements we want an energy efficient home where we can get more insulation in the attic rather than this form of architecture



2. Add trellis over garage - see photo example below.



A metal awning similar to the door in the front has been added to the garage door.

3. Articulate the long right side facade by recessing a portion of the facade at the kitchen - see diagram on page 6.

*Note: All rooms are substantially deeper than is common for most new homes in Los Gatos, and additional side wall articulations should not impact the liveability of the house.*

We have added some awnings on the sides to break the long wall. We would like to maximize our area and not reduce the area with the recess

4. Add one or more roof dormers to break up long roof form

As we want to keep the construction easy and at a reasonable cost we want the simplicity and have added skylights to break the roof line

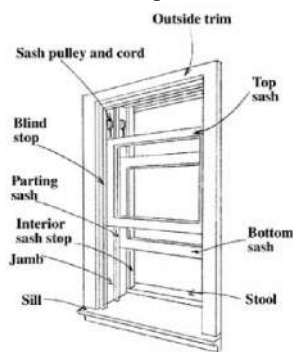
5. Utilize more traditional window details, and add wood trim at all windows and doors consistent with Residential

Design Guideline 3.7.4 -see photo example below.

As the architectural style that we are following is simple and clean and does not need wood trims as the windows are recessed

6. If divided lite windows are desired, use true or simulated divided lites consistent with Residential Design Guideline 3.7.4 - see example below.

all windows and doors are with true divided lites



Ryan, I have no other recommendations for change.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon













some neighboring homes which have no architecture, character that we feel that we need to follow.

August 30, 2021

To Whom it may concern,

"I visited the neighbors from August 16- August 21, 2021 and showed them my proposed plans for a new residence at 15605 El Gato Lane. The following neighbors supported my project."

The blank spaces are residence that did not open their doors.

Thanks!

Natasha Malisic

EXHIBIT 6

STREET ADDRESS	HOME OWNER	SIGNATURE
	MICHELLE LAM	
	Elena Ortiz	
	<del>vacant home -</del>	<del>under construction</del>
	<del>vacant home -</del>	<del>recently sold.</del>
	afraid if she signs she will be annexed.	
	NATASHA MANSON	Manison
	Christine Li	Christine Li
	Margarita Fregoso	Margarita Fregoso
	KENG CHEN	Keng Chen
	ALFREDO G. FREGOSO	alfredo G. Fregoso
	ALSO AFRAID TO SIGN - SUPPORTS PROJECT AGAINST ANNEXATION	
	DONT WANT TO BE ANNEXED - AFRAID TO SIGN	
	STEVE KLEINKE	
	Douglas Carlen	Douglas Carlen
	FLETCH SULLIVAN	
	Christian Amoy	
	STEFAN KUHN	
	LAURA CISOWSKI	Laura Cisowski
	Terence Throm	Terence Throm
	Ryan Greco	Ryan Greco
	Carolyn Stutts	Carolyn Stutts
	Patricia & Maralith Cooper	Patricia & Maralith Cooper
	Asma Ghori	Asma Ghori
	Renato D'Ofa	Renato D'Ofa
	Shanna Gardner	Shanna Gardner
	under construction	

ANNEXATION



**TOWN OF LOS GATOS**  
**PARKS AND PUBLIC WORKS DEPARTMENT**  
**PHONE (408) 399-5770**  
**FAX (408) 354-6824**

SERVICE CENTER  
41 MILES AVENUE  
LOS GATOS, CA 95030

A Tree Inventory and Review of  
The Proposed Demolition and Construction of Single-Family Home  
15605 El Gato Lane  
Los Gatos, California 95032

Property Owners: Natasha Malisic  
15605 El Gato Lane  
Los Gatos, California 95032  
Architect: AJ'S Design  
APN: 523-22-010  
Zoned - R-1:8

Submitted to:

Associate Planner: Ryan Safty  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, California 95030

Submitted by:

Robert Moulden  
Los Gatos Town Arborist  
ISA Certified Arborist: #WE-0532A



**TOWN OF LOS GATOS**  
**PARKS AND PUBLIC WORKS DEPARTMENT**  
**PHONE (408) 399-5770**  
**FAX (408) 354-6824**

SERVICE CENTER  
41 MILES AVENUE  
LOS GATOS, CA 95030

### **Introduction**

I have been asked by the Los Gatos Community Development Department to review the potential tree impacts associated with the plans to demo and construct a new single-family home at 15605 El Gato Lane, Los Gatos Ca. 95032

### **Trees on Site**

There are eighteen trees on the site of which will be affected by the proposed design, two of them are slated for removal. These trees have been identified and marked on the site Plan.

Tree #1 thru 16 – are mature Italian cypress which are in good health. The trees are located on the Northern side of the property in a line running East to West.

Tree #17 – is a Palm with a diameter of 18” in diameter. This tree is in good health. The tree is in Western end of property in rear yard.

Tree #18 – is a Cherry tree with a 4” diameter also located in Western rear of the property.

### **Recommendations**

Trees #1-16 are Italian cypress and are slated to remain. These trees shall remain and will be protected using Type I tree protection (Continuous chain link fencing) 3’ away from base of the trees. This shall be up and in place before project begins to be inspected by myself.

Tree #17 – Palm shall be removed as proposed after obtaining tree removal permit. Replacement will be a required as per ordinance.

Tree #18 – Cherry shall be removed as proposed after obtaining permit. Replacement will be a required as per ordinance.

There are also numerous bushes along the border of the property which are not ordinance size and may be removed without obtaining permits.



## 15600 El Gato Lane, Los Gatos

### Project Description

We are proposing to demolish the existing single family house and proposing a new 2,513.16 sf with 3 bedroom, 431.71 sf one car garage. Attached JADU of 483.77 sf with one bedroom, bath and living space.

The existing house is slab on grade and currently structurally not sound to do the modifications and make it seismically stable with current codes. Also by the time we will be saw cutting the slab to add to the bathrooms and kitchen modification, the calculations make it impossible to keep under the remodel terms that the County of Santa Clara has to be considered remodel if we have permits through the County. This is a 67 year old home and the foundations are pretty old, which have started to settle, deteriorate and cracks are visible on the slab and possibility of water seeping through also. We are not aware of the thickness of the slab and rebar if it will meet todays code. The cost to update / remodel is more than a new house.

These lots are very narrow about 50' wide and with the setback requirements of 8' on sides makes these lots very challenging to develop.

We are requesting an exception of lot coverage- allowed is 40% and we are proposing 40.60% which is 50 sf. We have small covered entry porch, a small covered rear exit and a side porch for outdoor seating and the main house and one car garage that we can maximize on this lot. These covered porches help with the sun angle also for the shading of the house in summers.

There is no defined Architectural style in this neighborhood. Most of the homes are very flat with shallow slope roofs, which have no character. They are pseudo Eichler's but not true Eichler's. They all date back from the early 40's and 50's and the character of this neighborhood is changing.



15540 El Gato, a property which has been annexed by the Town, has no relationship with the neighboring 2 properties in terms of size, architecture, materials etc.



15620 and 15630 – 2 homes opposite the Project site – 15630 which do not seem to belong at all in terms of shape, size, character or any form that can be said its part of this neighborhood.





15630 which do not seem to belong at all in terms of shape, size, character or any form that can be said its part of this neighborhood.

The architectural style we are proposing is clean lines of simplicity which define the home with the client's need, to keep the increasing construction cost low with a simple clean roof line and not too ornate such that it stands out.

The proposed home has a tall roof to make the house appealing and inviting and creating a definite character with a modern yet simple architecture, materials and color.

Some adjacent homes to our property which have no style at all that we should be obligated to follow or resemble as none of them define an architectural style.



















The clean recessed windows with true divided grids, textured plaster to give some depth.



## Parking

These lots are very narrow, most of them being 50' wide and the zoning setback requirement is 8' on the sides which leaves a very narrow width of 34' to develop. We want a nice entryway which is inviting as well as a nice living area with some nice open large windows which are appealing to the house, giving the house a good curb appeal.

We are requesting the support of a one car parking space from the Town due to the lot width restrictions. We are proposing the 2<sup>nd</sup> parking space on the driveway. As well as this neighborhood has no issues with parking overflow, as the sidewalks are rural undeveloped which makes the parking very convenient for the visitors.

More than 50% of this neighborhood has one car garage homes or detached garages where most people never park due to the access.



See Map showing the various address with one car garage and the detached garages which are not used due to the access.

### **129 properties in this neighborhood.**

all addresses in blue have one car garage – **35 homes = 27%**

All addresses in red theoretically have 2 car detached garage, some tandem, some side by side, but most of the 2<sup>nd</sup> parking spaces are inaccessible due to the way they are placed and additions have been done or parking is blocked by junk, storage containers etc. = **31 homes = 24%**

Total of over 50% of this neighborhood which has similar narrow lots of 50' width- with County or Los Gatos Town municipal code setbacks renders these lots very narrow to have 2 car garage space as well as a decent entry to the main house and an approachable house.



We are providing a large one car garage so all storage and bikes and one car can be parked in the garage so there is no overspill of any junk on the side or front.

This property even today is one of the most elegant property in this neighborhood with a very well landscaped area and no junk on the driveway.

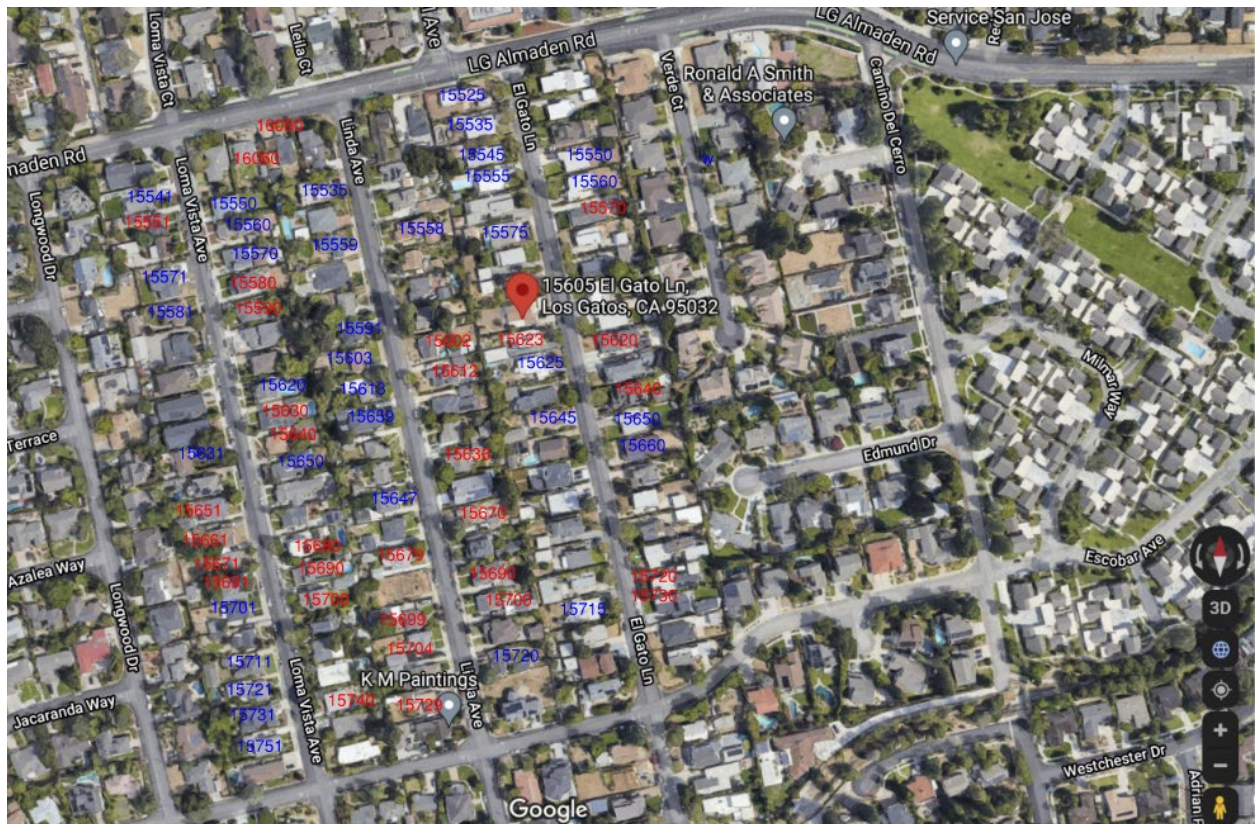


We strongly request that these lots be looked at for the width and the variance be granted for the one car parking space and space for additional car on the driveway.

The various photos will show a bunch of scenarios of parking but the key thing that you can notice that there is not much overflow of parking on the streets. All residents do park in the driveways and one car garages thus not impacting the streets which are left for incidental visitor parking.

What we are not proposing as well as this is not our intent is to provide a 2 car parking and then convert to ADU and then spill the parking on the street.

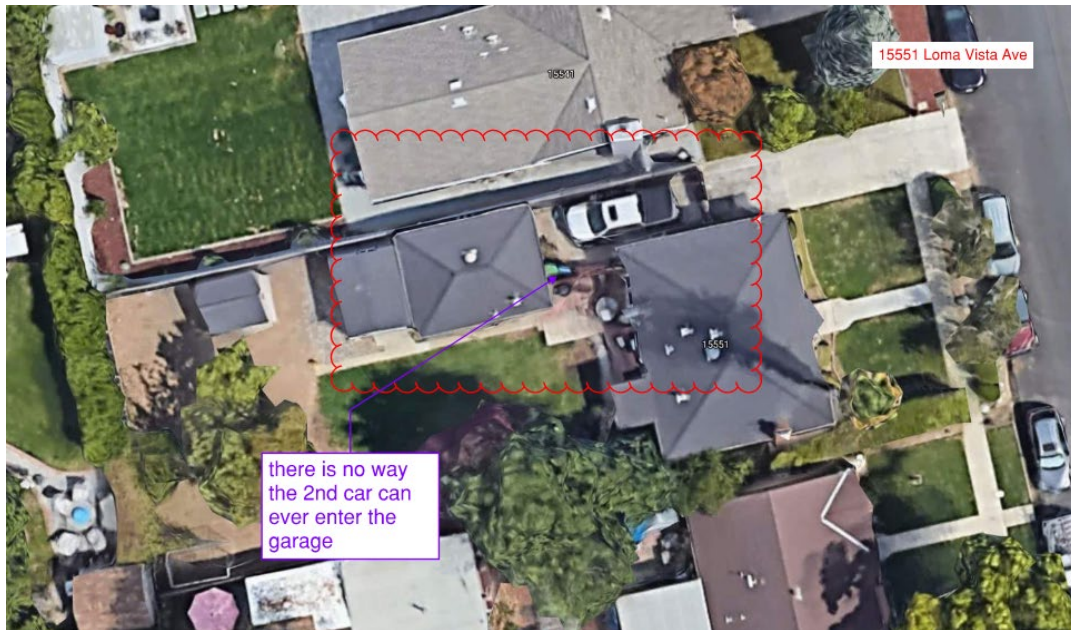




Map of the neighborhood which is dominated by the 50' lot widths, most of them belong to County of Santa Clara but probably will be annexed by the Town in future.





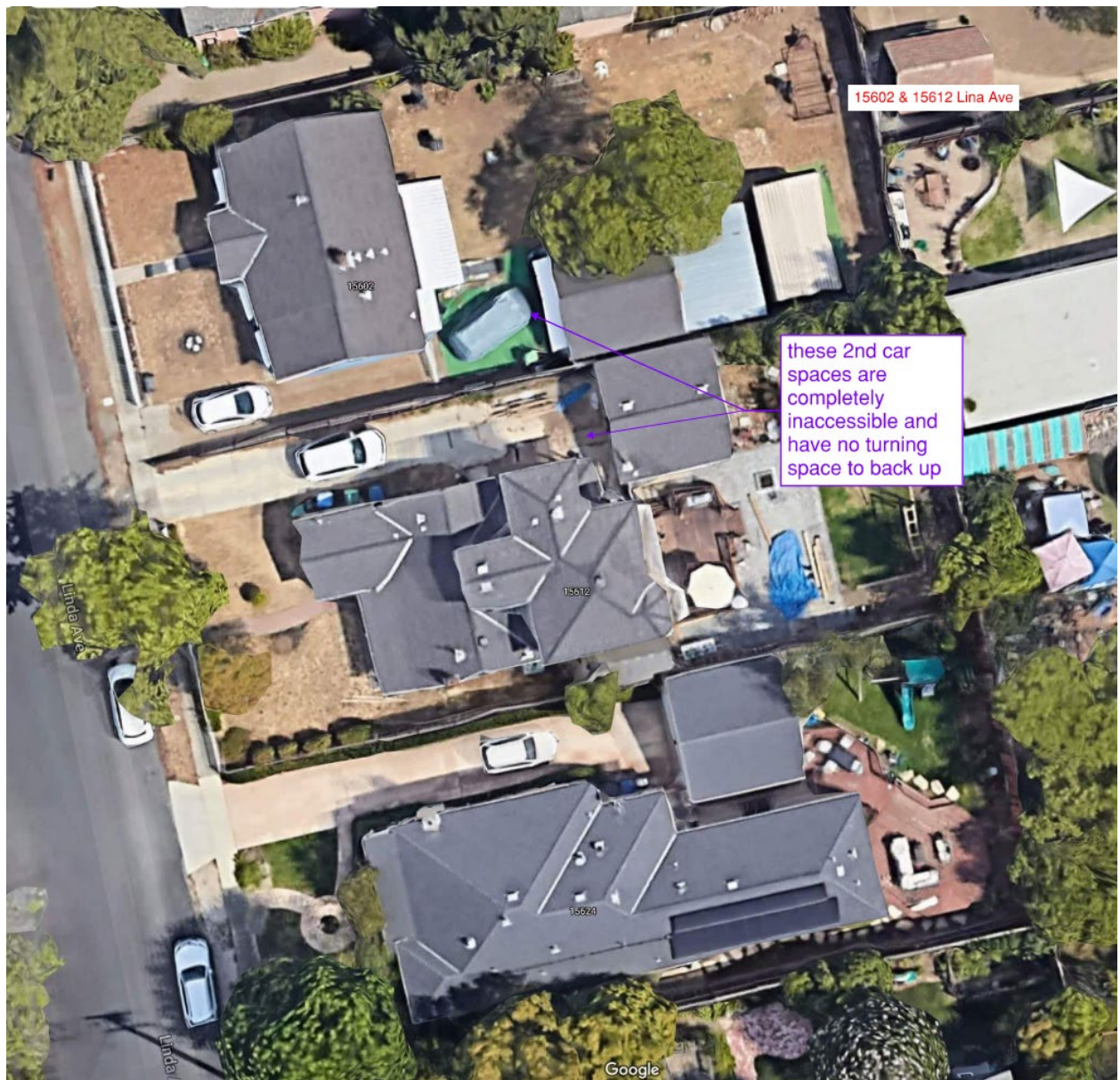








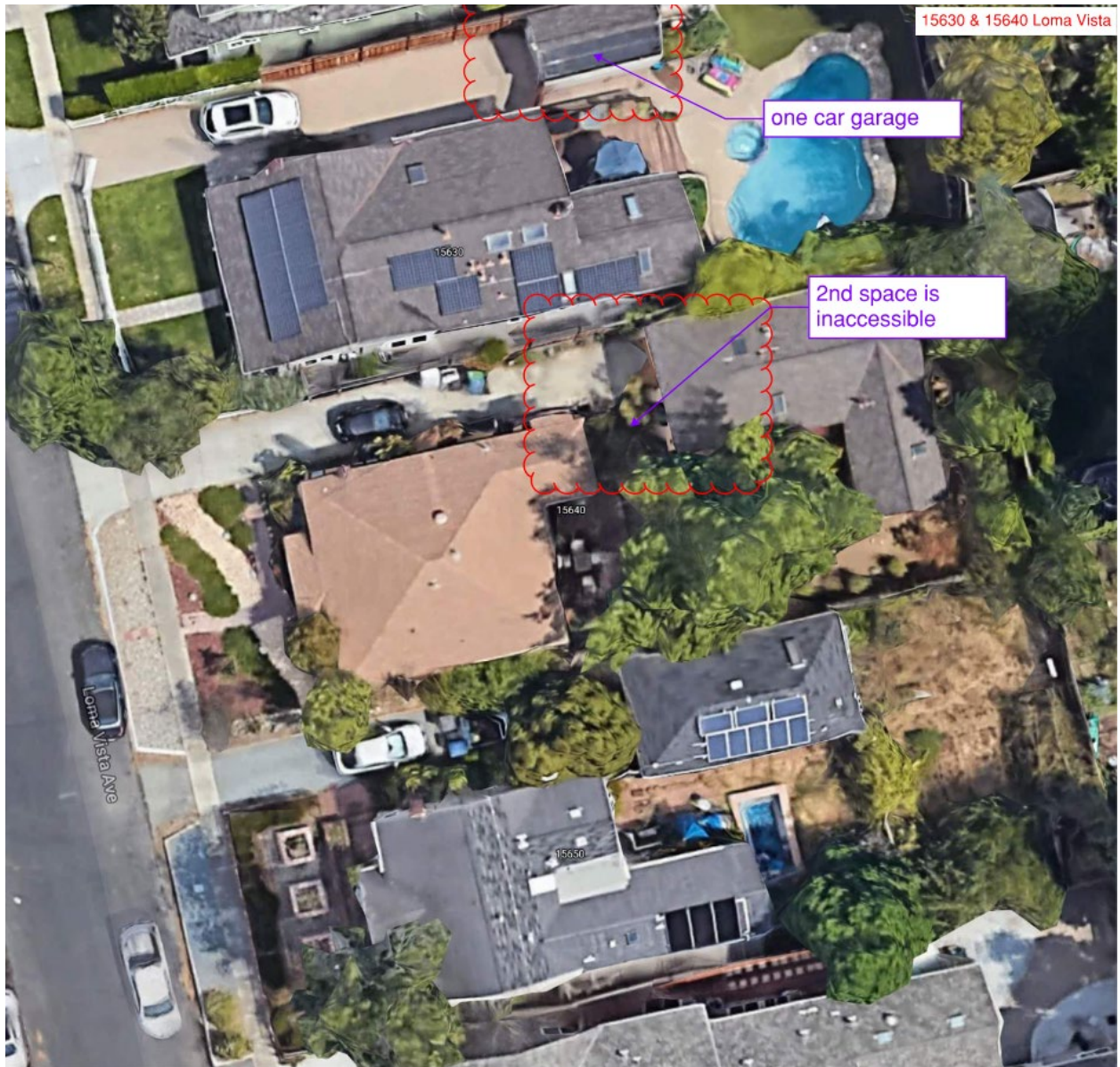




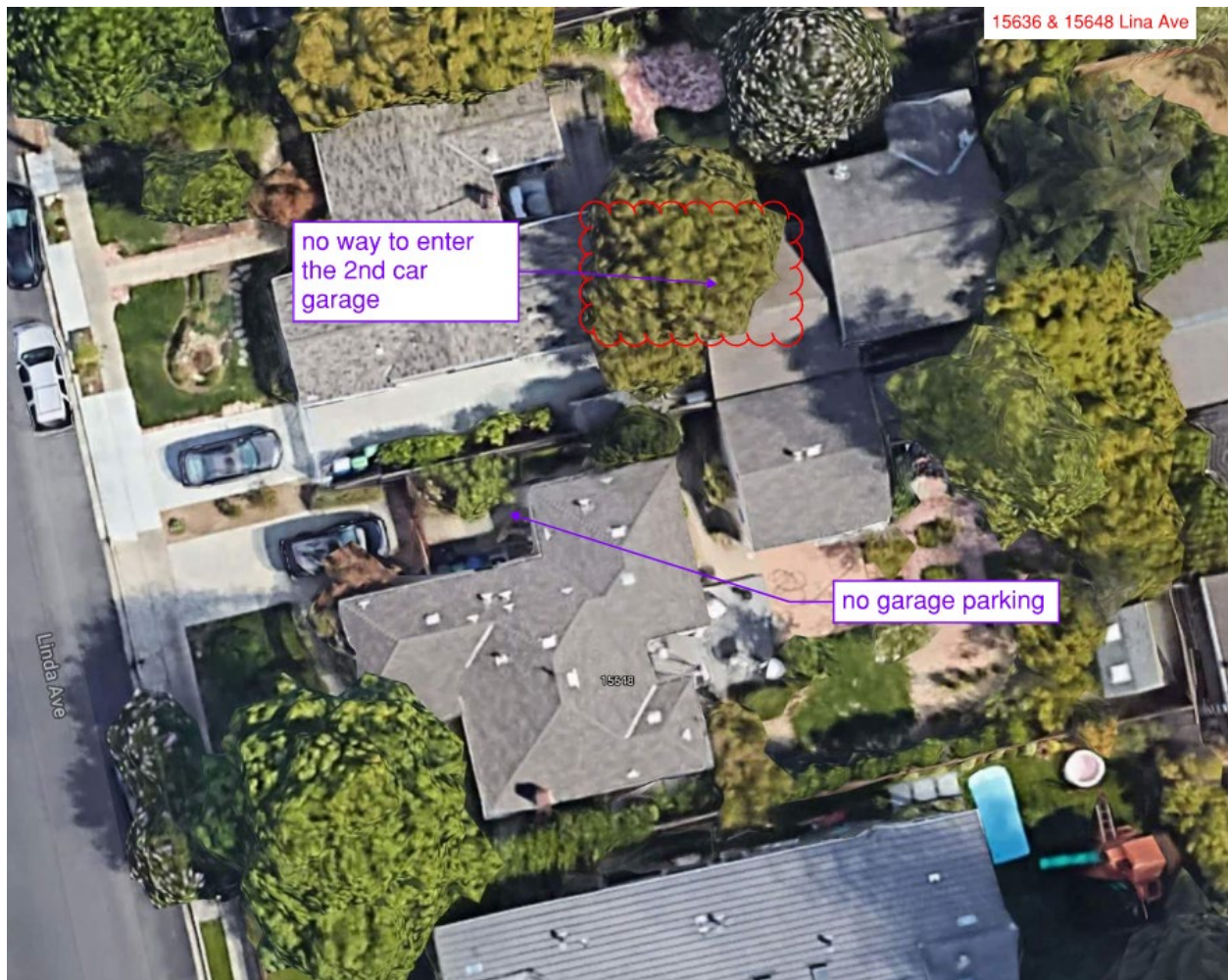




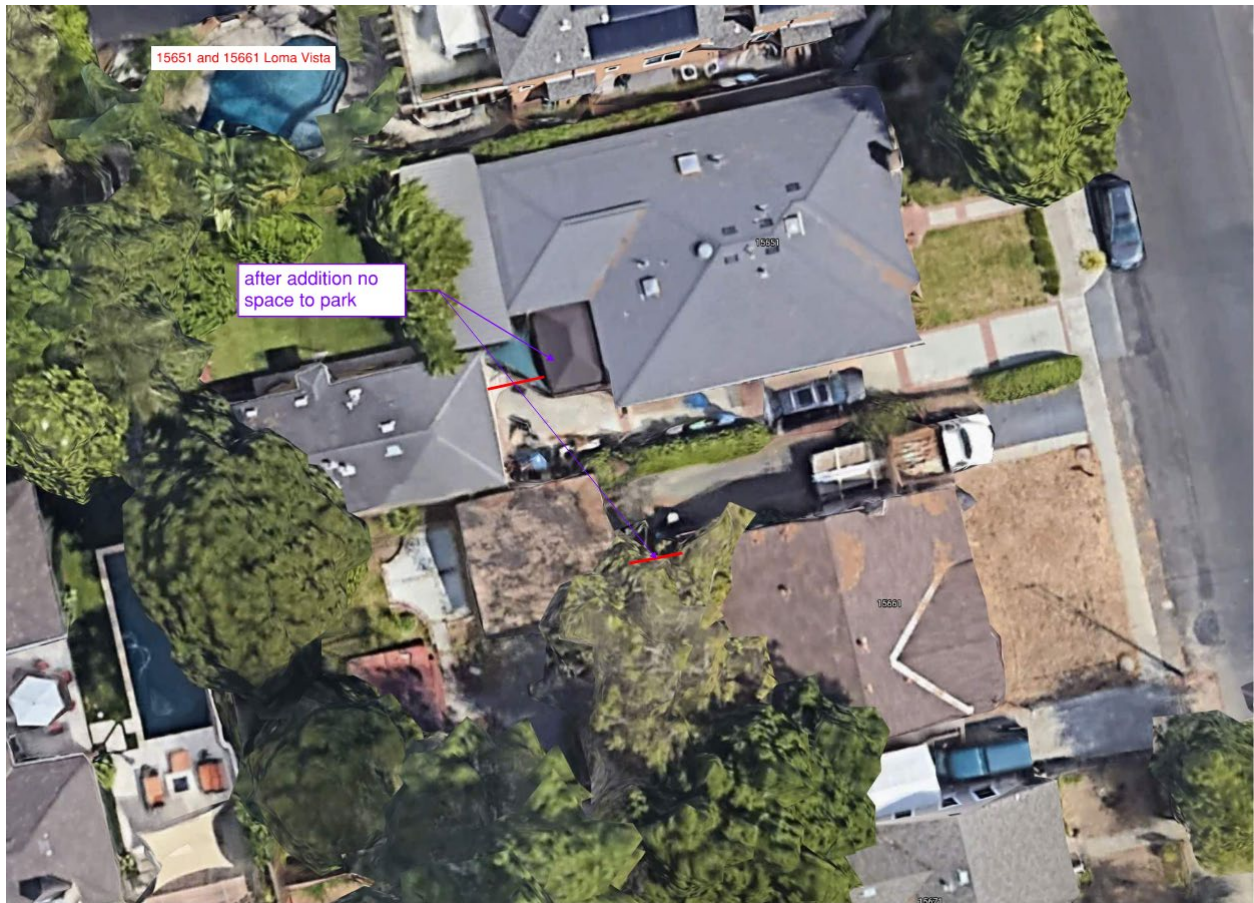












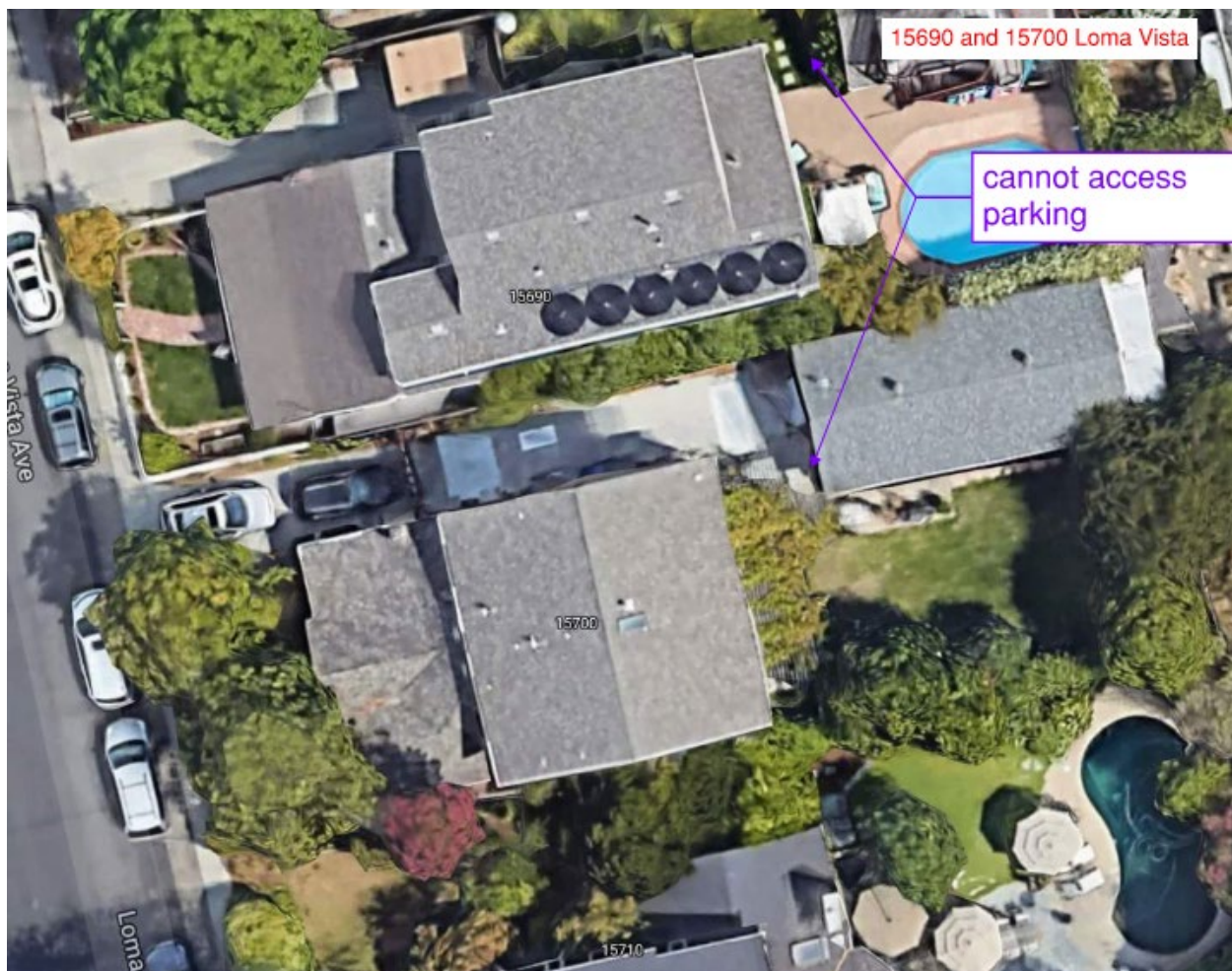




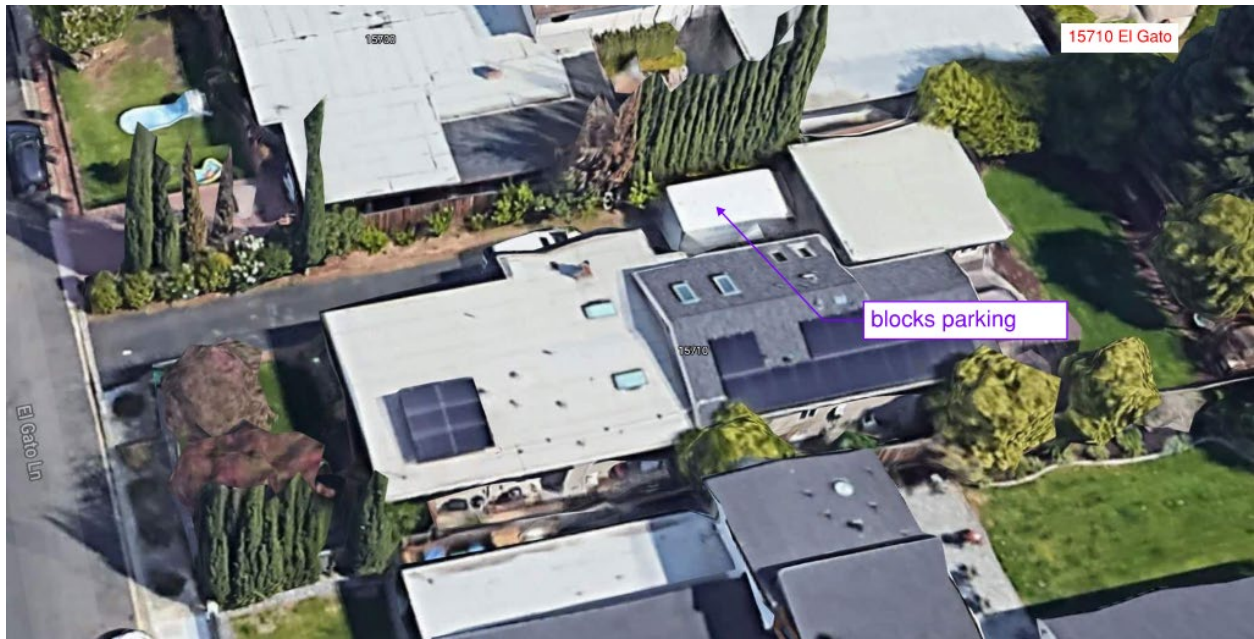






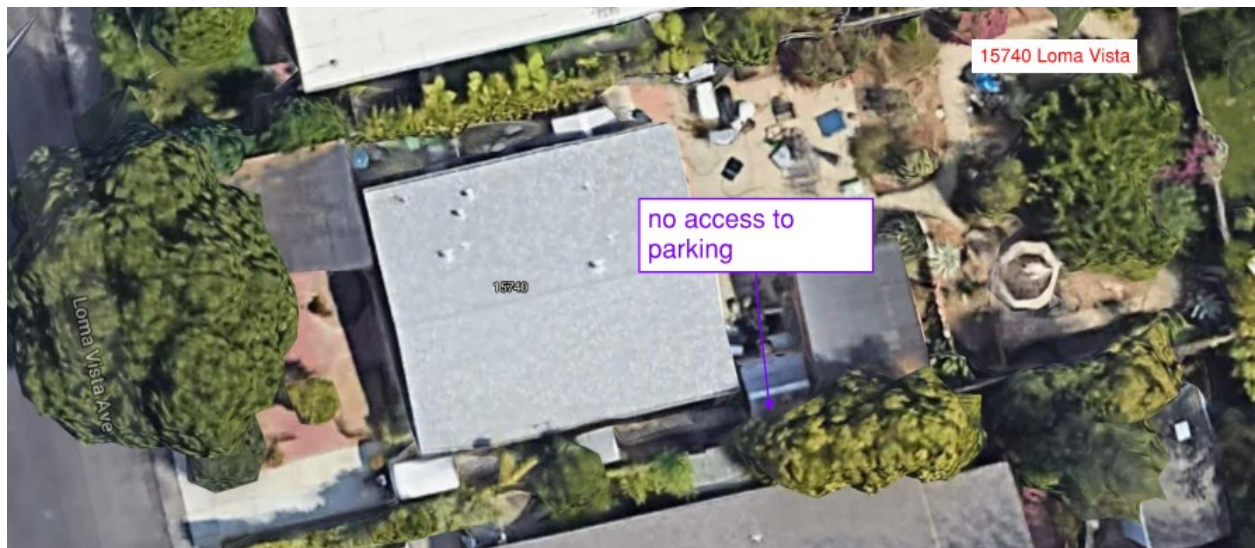
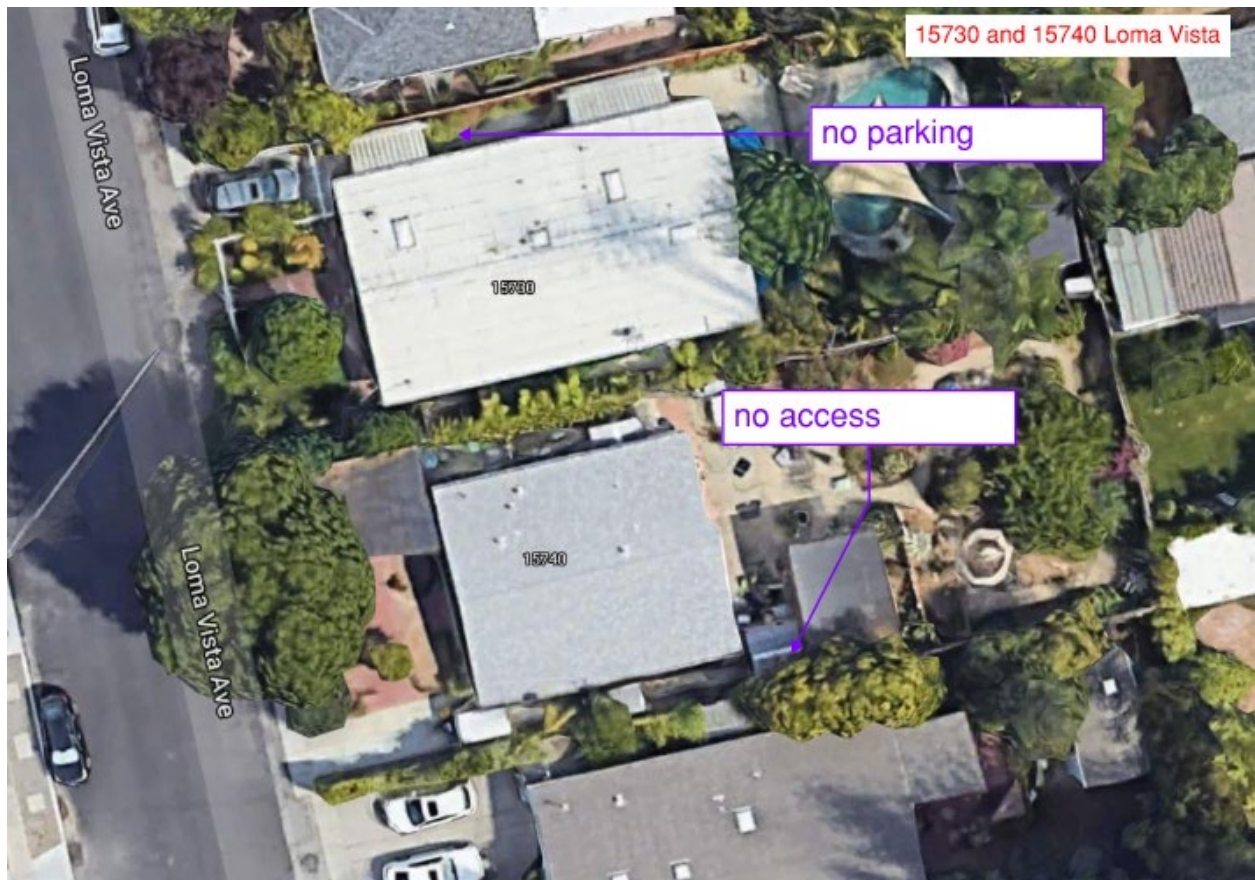


















Images of homes with 1 car garage, both new and existing.

































15610



15615









15630





15640













This house was recently completed back about 6 months ago and has a one car garage.















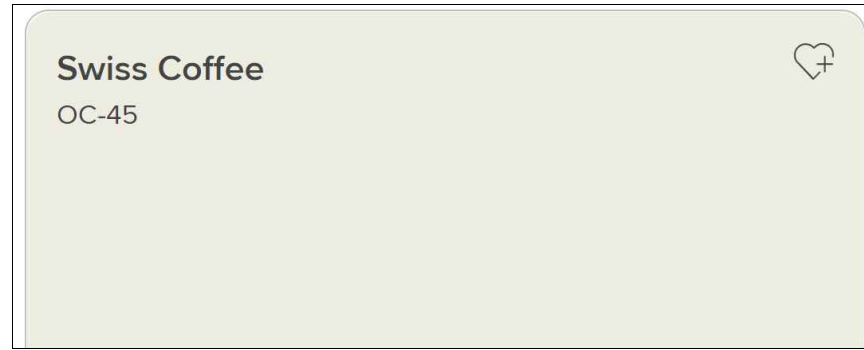


### **Lot Coverage**

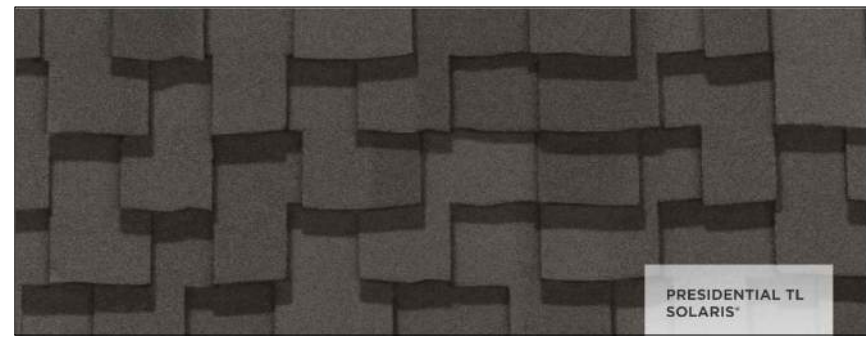
As we are requesting a little over 40%- 40.60 % on the lot coverage – we have noticed a few homes in this neighborhood which do exceed – some visually through aerial view and some which are definitely above are listed below:

1. 15630 El Gato Lane – it appears through calculations at 47%
2. 15611 Loma Vista – about 43%
3. 15621 and 15660 Loma Vista – both visually appear more than 40% covered including porches, garage etc.
4. 122 and 125 Verde Ct – appears to be around 41%





EXTERIOR WALL COLOR  
BENJAMIN MOORE OR EQ  
SWISS COFFEE



ROOF – COMPOSITION SHINGLE  
PRESIDENTIAL ROOF, CLASS A,  
COOL ROOF, CHARCOAL BLACK



ACCENT ROOF OVER AWNINGS –  
STANDING SEAM METAL ROOF,  
DARK BRONZE  
NON REFLECTIVE MATT FINISH



ACCENT ROOF OVER ENTRY AND  
AWNINGS – STANDING SEAM  
METAL ROOF, DARK BRONZE  
NON REFLECTIVE MATT FINISH



Pavel 9 1/2" High Textured Black  
LED Outdoor Wall Light

EXTERIOR LIGHTS – DOWNWARD FACING

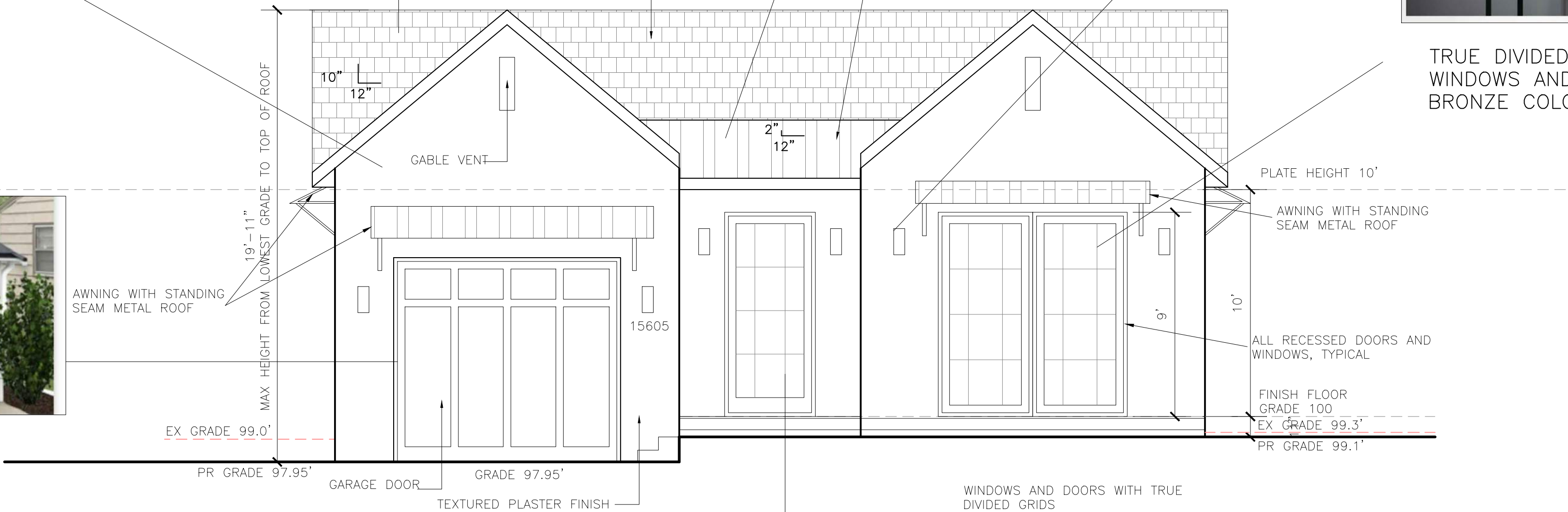
Performance Divided Lites



TRUE DIVIDED GRIDS FOR  
WINDOWS AND DOORS TYP,  
BRONZE COLOR

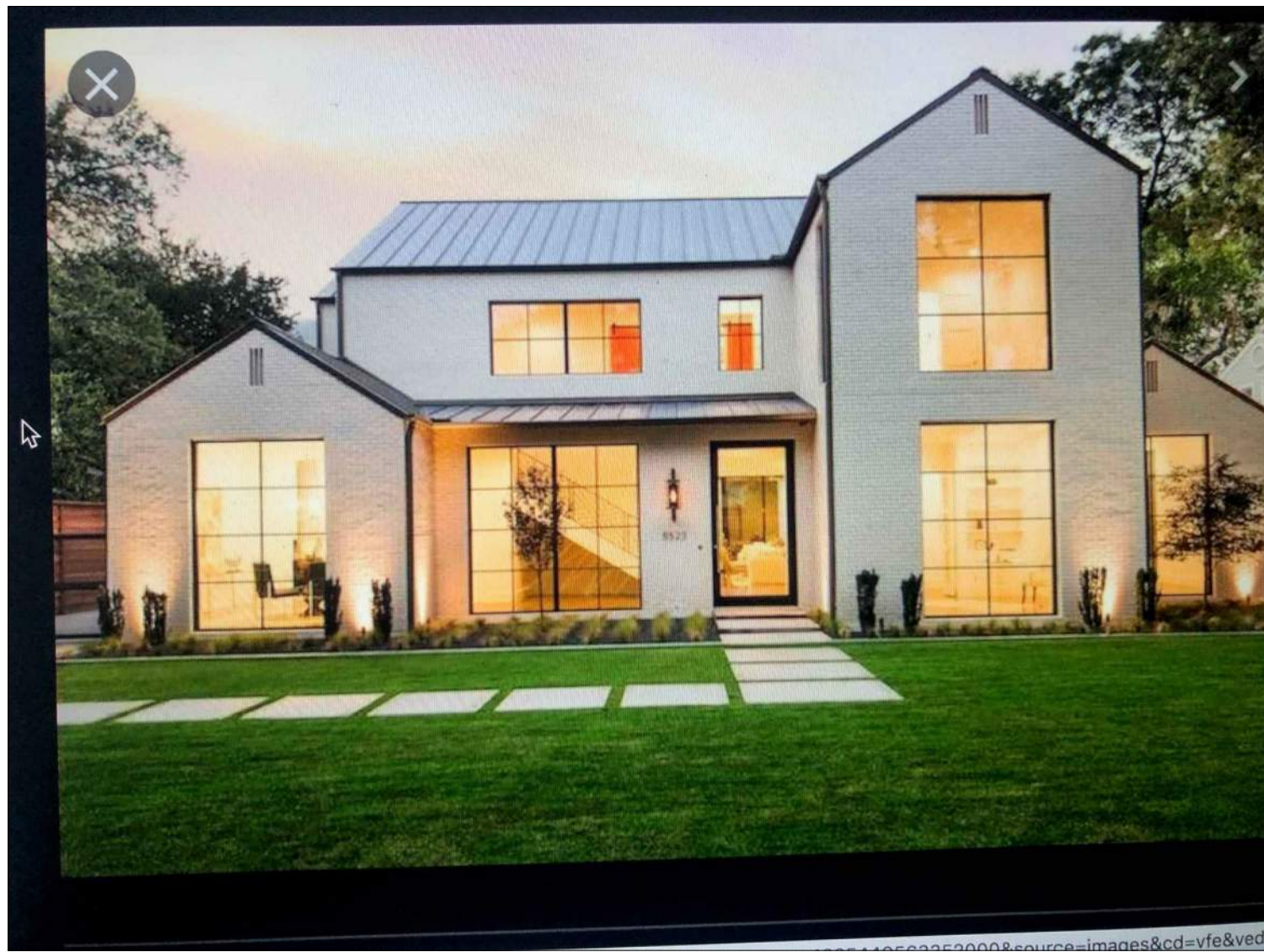


CARRIAGE STYLE GARAGE DOOR

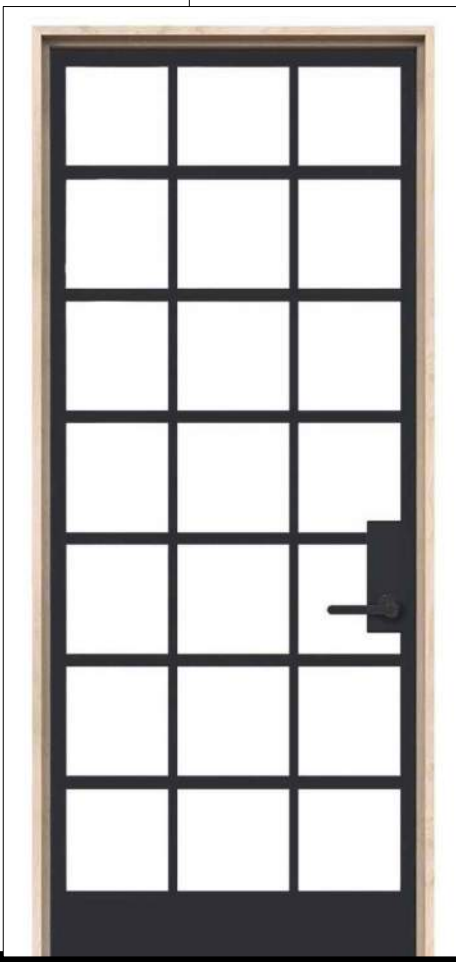


1 PROPOSED FRONT EAST ELEVATION

SCALE : 1/4"=1'-0"



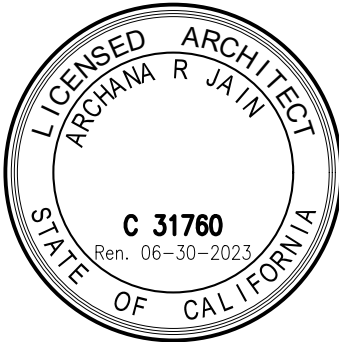
DOORS AND WINDOWS ARE RECESSED 2" TO 3" TO  
GIVE THE DEPTH TO THE OPENINGS  
INSPIRATIONAL IMAGE



DARK BRONZE FRONT DOOR WITH  
TRUE DIVIDED GRIDS



El Gato Residence  
15605 El Gato Lane  
Los Gatos, CA 95032



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ON THIS PROJECT ONLY.  
5. COPYRIGHT © OF ARCHANA JAIN.

SHEET NAME :

COLOR AND MATERIALS

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	11/26/20
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

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El Gato Residence
15605 El Gato Lane
Los Gatos, CA 95032

GENERAL CONDITIONS/NOTES

1. All material stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.
2. All construction and materials shall be as specified and/or as required by the adopted edition of the California Building Code and all local and national codes and authorities which are applicable.
3. All products, materials and finishes to be installed per manufacturers specifications--no exceptions.
4. All required Exit doors shall be operable from the inside without the use of a key or special knowledge or effort.
5. The General Contractor shall verify all dimensions and site conditions prior to commencing any work. The General Contractor shall notify the Architect / Owner of any discrepancy of these plans and specifications.
6. The General Contractor shall maintain the job site in a clean, orderly condition free of debris and litter. Each subcontractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. The job site shall be left clean and swept each day by the end of work that day.
7. No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed and acted upon by the Architect / Owner. All such portions of work shall be in accordance with the reviewed shop drawings and samples.
8. The contractor shall confine operations at the site to areas permitted by law, ordinances, permits and the contract documents, and shall not unreasonably encumber the site with any material or equipment.
9. Should an error appear in specifications or drawings, or in work done by others, affecting this work, notify the Architect at once for instructions as to procedure. If contractor proceeds with work affected without instructions from the Architect, the contractor shall make good any resulting damage or defect.
10. Should conflict occur in or between drawings and specifications or where detail references on contract drawings have been omitted, contractor is deemed to have estimated the most expensive materials and construction involved unless he shall have asked for and obtained written decision from Architect as to which method or materials will be required.
11. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces
12. See documents prepared by the Civil Engineering, if applicable, for all finish grades, drainage and site details. Review all site utility documents, landscape and irrigation documents prior or commencement of any under grounding or trenching. Notify the Architect immediately of any discrepancies of the contract documents.
13. Construction contractor and his subcontractors agree that in accordance with generally accepted construction practices, construction contractor and his subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor and his subcontractors further agree to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional as identified in item # 14 of these general conditions.
14. General Contractors, Sub-contractors, Builders, and Owner are to check all drawings for errors and omissions prior to commencement of construction. Any errors and/or omissions must be reported immediately to the Architect in writing prior to commencement of construction. The Architect will not take liability for any errors and/or omissions not reported immediately in writing prior to commencement of construction. The Architect's liability for the total project shall not exceed one thousand dollars.
15. All screws/nails in finish woodwork to be countersunk and filled smooth with putty to match finish.
16. If the manufacturer's specifications and applicable codes are not consistent with each other, notify the architect immediately prior to commencement of any work and await direction or contractor accepts full responsibility of work completed..
17. All gypsum board to be a minimum of 5/8" TYPE "X" sheetrock, smooth finish or as otherwise indicated on drawings. Install as needed to meet applicable codes. Use radused corners.
18. Electrical, Mechanical, Plumbing, Fire Extinguishing System and Fire Alarm System to be Design/Build.
19. A delta ("Δ") symbol located at the top right hand corner of any drawing indicates that drawing has been significantly revised and should be treated as an entirely new drawing.
20. Contractor to protect all interior spaces (as required) from any weather, theft, or vandalism.
21. All walls floors and ceilings are to be finished to match existing adjacent surfaces. All new finishes and fixtures are to be approved by owner or architect, prior to installation.
22. Relocate or install new plumbing, gas, and electrical lines (as required) for the new construction.
23. Contractor to dispose of all debris at an approved dump site per all Town, County, State and Federal regulations.
24. Contractor to notify owner and architect if he suspects that any asbestos is on site and stop work immediately until authorities have proved the work to be safe.
25. Smoke detectors shall be installed in all bedrooms and halls.
26. All roof flashings to be primed and painted with rust proof paint.
27. Bidding  
- The contractor needs to examine all the drawings and the site conditions if they are different from the drawings verify all the existing conditions on site and notify the architect prior to any construction
- Please bid for max. of 10 colors in a bid, not exceeding 4 colors in any given room at a time.
28. All wood coming in contact with concrete must be pressure treated, typical.
29. Contractor & sub-contractor's responsibility to make sure that all materials installation & craftsmanship for this project meets all applicable codes.
30. Incorporate best management practice (cbmp's) into construction plans & incorporate post construction water run-off measures into project plans in accordance with the city's urban run-off pollution prevention program.
31. All exterior plaster finish shall be 7/8" smooth cement plaster finish unless otherwise noted.
32. Plaster expansion joints should meet the following criteria or as shown on the drawings.  
a. no length should be greater than 18 ft. in either direction.  
b. no panel should exceed 144 sq. ft. for vertical applications  
c. no panel should exceed 100 sq. ft. for horizontal, curved, or angular sections d. no length-to-width ratio should exceed 2 1/2 to 1 in any given panel.
33. Flashing provider to prime and paint with rust proof paint all flashings.

PROJECT DATA

ASSESSOR'S PARCEL NUMBER:	523-22-010
ZONING:	R1-8
LAND USE DESIGNATION:	SINGLE FAMILY
NAME OF OWNER:	MALISIC, NATASHA / LAZOVIC, DARKO 15605 El Gato Lane, Los Gatos PHONE: - 408-621-2921
NET SQUARE FOOTAGE OF LOT:	8,135.00 SF
EXISTING AREA:	1,100.00 SF
EXISTING AREA OF GARAGE: NON HABITABLE AREA	276.00 SQ.FT.
EXISTING SHED	168.00 SQ.FT.
EXISTING HOUSE TO BE DEMOLISHED	
NEW MAIN HOUSE HABITABLE AREA (FAR) FAR = ALLOWED - 2,643 SF	2,513.16 SF
NEW GARAGE AREA- FAR FAR ALLOWABLE - 742 SF	431.71 SF
TOTAL JUNIOR ADU AREA: MAX ALLOWED = 500 SF	483.77 SF
LOT COVERAGE (EXCLUDES ADU)	3,303.47 SF= 40.6% REQUESTING AN EXCEPTION ON THE LOT COVERAGE
COVERED SIDE PORCH	292.00 SF
HEIGHT	± 19'11"
NO. OF FLOORS:	1
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R-3 / U
HOUSE IS FIRE SPRINKLERED	YES

DEFERRED SUBMITTALS

FIRE SPRINKLERS
PV ARRAY UNDER SEPARATE PERMIT BY PV INSTALLER

NOTE:

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FILED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020

PART 1.0,	CALIFORNIA ADMINISTRATIVE CODE
PART 2.0,	2019 CALIFORNIA BUILDING CODE (CBC)
PART 2.5,	2019 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 3.0,	2019 CALIFORNIA ELECTRIC CODE (CEC)
PART 4.0,	2019 CALIFORNIA MECHANICAL CODE (CMC)
PART 5.0,	2019 CALIFORNIA PLUMBING CODE
PART 6.0,	2019 CALIFORNIA ENERGY CODE
PART 9.0,	2019 CALIFORNIA FIRE CODE
PART 11.0,	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE TOWN OF LOS GATOS

CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES.

NOTE:

Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:  
a. Building pad elevation  
b. Finish floor elevation  
c. Foundation corner locations  
d. Retaining wall(s) locations and elevations

SHEET INDEX

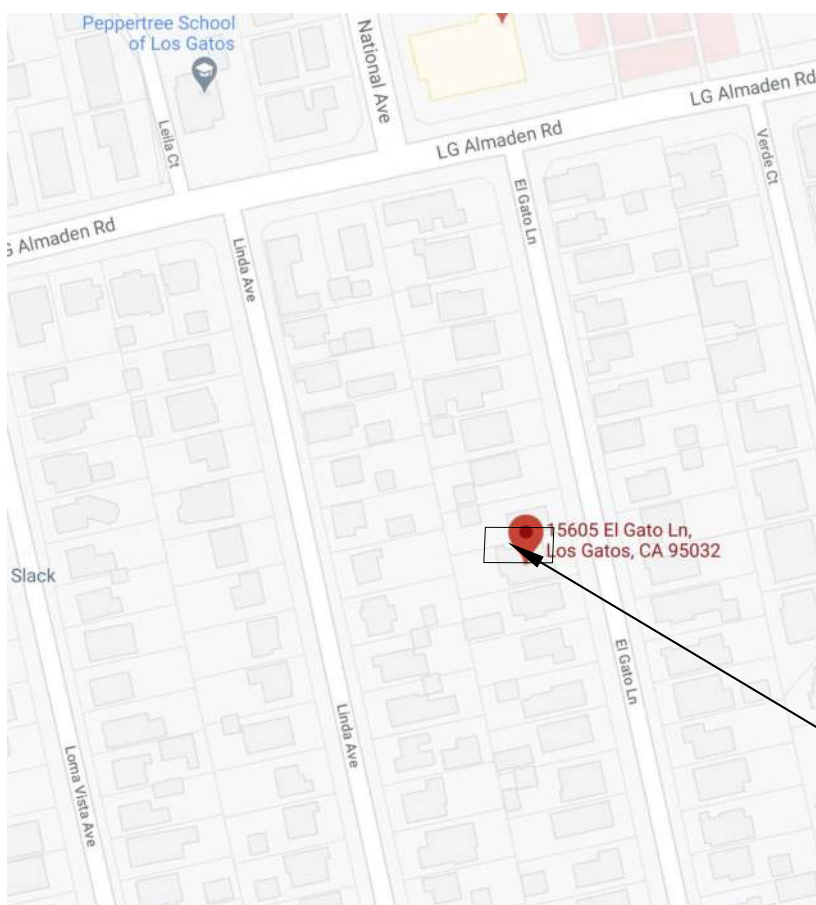
ARCHITECTURAL SHEETS	
A0.1	COVER SHEET
A0.1A	AREA CALCULATIONS
A1.0	BUILD IT GREEN CHECKLIST
A1.1	EXISTING SITE PLAN / DEMO PLAN
A1.1A	EXISTING SITE, TREE PLAN AND SITE PHOTOS
A1.2	PROPOSED SITE PLAN
A1.2A	PROPOSED SITE VICINITY MAP
A1.3	EROSION CONTROL PLAN
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	REFLECTED CEILING PLAN
A2.3	PROPOSED ROOF PLAN
A3.0	PROPOSED ELEVATIONS
A3.1	PROPOSED ELEVATIONS
A3.0A	PROPOSED SITE ELEVATIONS
A3.2	SECTIONS
A3.3	COLOR AND MATERIALS
	BLUEPRINT FOR CLEAN BAY
T1	TOPOGRAPHIC PLAN
C1	GRADING AND DRAINAGE PLAN

STRUCTURAL SHEETS

S1.1	STRUCTURAL NOTES
S1.2	NOTES & DETAILS
S2.1	FOUNDATION PLAN
S2.2	ROOF FRAMING PLAN
S3.1	FRAMING DETAILS
S3.2	FRAMING DETAILS
S4.1	FOUNDATION DETAILS
S4.2	FOUNDATION DETAILS

SCOPE OF WORK

1. DEMOLISH EXISTING HOUSE AND GARAGE
  2. NEW 2513.16 SF 3 BEDROOM, 3.5 BATH
  3. NEW 431.71 SF GARAGE
  4. NEW JADU OF 483.77 SF
  5. NEW ELECTRICAL, PLUMBING FOR THIS HOUSE AS SHOWN
  6. REQUESTING VARIANCE FOR 1 CAR COVERED GARAGE PARKING AND ONE PARKING ON DRIVEWAY
- NOTE: - QII VERIFICATION REQUIRED PER TITLE 24-CONTRACTOR TO REVIEW CALIFORNIA ENERGY COMMISSION FORMS CF2R-ENV-21-H & CF2R-ENV-22-H (PER 2019 CODE, REV. 1/19).



LOCATION MAP

I AM THE RESPONSIBLE ARCHITECT OF RECORD ON THIS PROJECT AND WILL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTALS, FOR COMPATIBILITY WITH THE OVERALL DESIGN OF THE BUILDING.

ARCHITECT

ARCHANA JAIN  
1631 VILLARITA DR  
CAMPBELL, CA 95008  
  
PHONE: (408) 679-2333  
AJSDESIGNS@HOTMAIL.COM

STRUCTURAL ENGINEER

ARUN SHAH & ASSOCIATES  
43072 CHRISTY ST  
FREMONT, CA 94538  
PHONE: 510-220-4264

CIVIL ENGINEER

STERLING CONSULTANTS  
DILIP KISHNANI  
11040 BOLLINGER CANYON ROAD,  
SUITE E-102  
SAN RAMON, CA 94582  
1sterlingconsultants@gmail.com  
PHONE: 925-705-3633

GEOTECH

FOUNDATION ENGINEERING CONSULTANTS  
3984 WASHINGTON BLVD, #236  
FREMONT, CA 94538  
PHONE: 510-371-5019

FIRE NOTES:

1. ADDRESS NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE MIN. 4" HIGH WITH A MINIMUM STROKE OF 0.5". WHERE ACCESS BY A MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, A POLE OR OTHER SIGN SHALL BE USED TO IDENTIFY THE STRUCTURE
2. PROVIDE FIRE SPRINKLERS IN CONCEALED SPACES

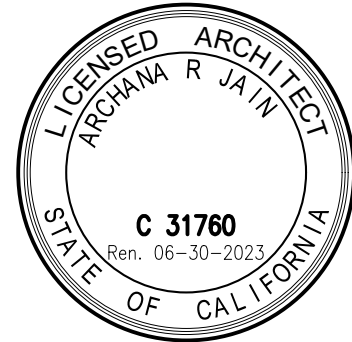
STAMP



El Gato Residence

15605 El Gato Lane

Los Gatos, CA 95032



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SHEET NAME :

COVER SHEET

REVISIONS	BY

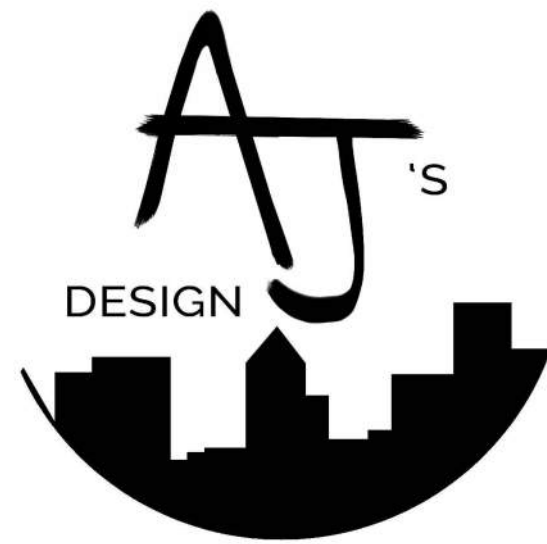
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JOB No.:	
SHEET No.:	

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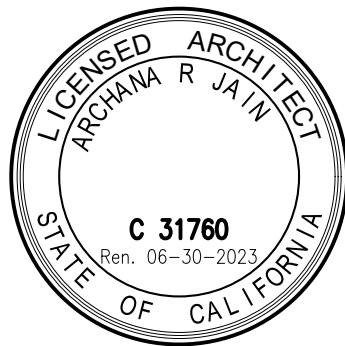


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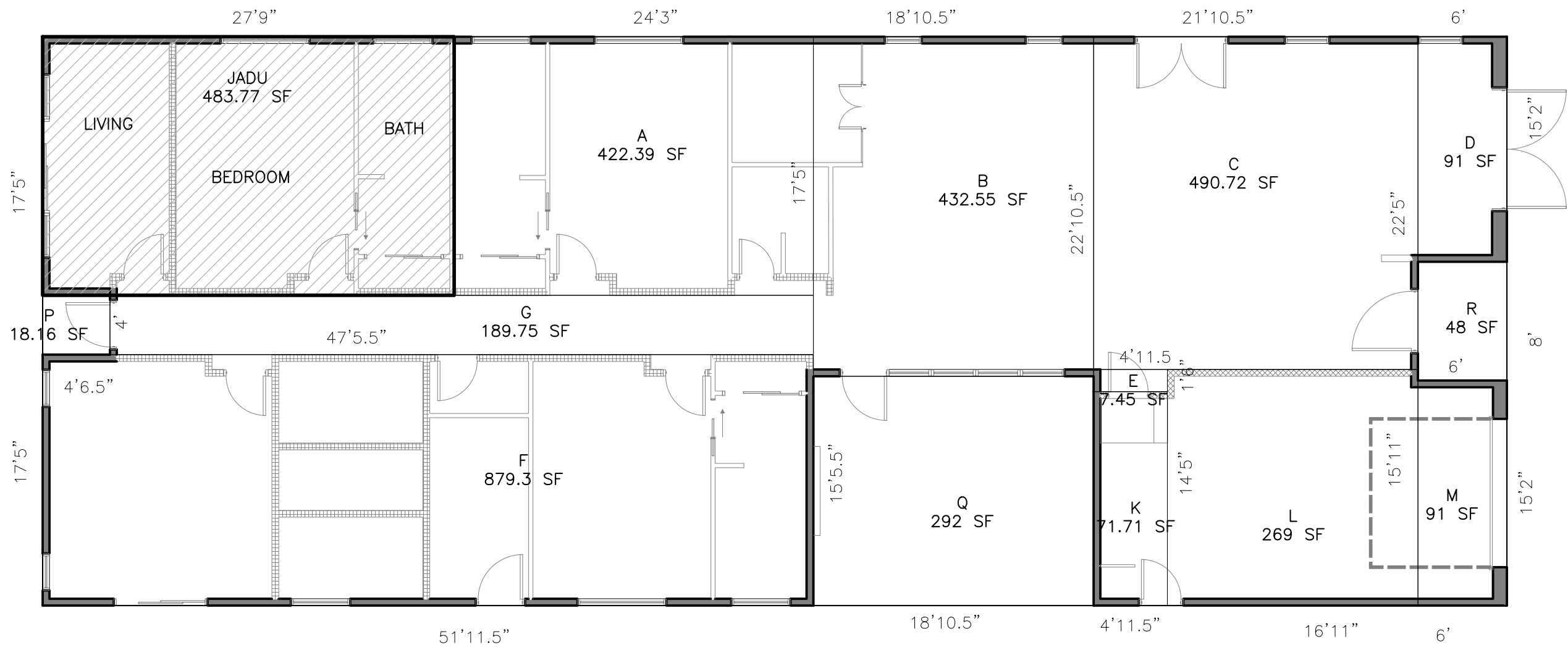
SHEET NAME :

AREA CALCULATIONS

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 11/26/20
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A0.1A



FAR AND LOT COVERAGE DIAGRAM  
SCALE 1/8"=1'0"

FAR CALCULATIONS		JADU			
A	422.39				
B	432.55	AREA	483.77 SF		
C	490.72	MAX ALLOWED 500 SF			
D	91				
E	7.45				
F	879.3				
G	189.75				
TOTAL MAIN HOUSE-HABITABLE AREA		2513.16	LOT COVERAGE		
LESS THAN	2643 SF ALLOWED		TOTAL MAIN HOUSE-HABITABLE AREA	2513.6	
GARAGE			GARAGE	431.71	
			P	18.16	
			Q	292	
K	71.71		R	48	
L	269				
M	91		TOTAL	3303.47	
GARAGE	431.71		LOT SIZE	8135	
LESS THAN	742 SF ALLOWED		LOT COVERAGE	40.60%	
			REQUESTING EXCEPTION TO LOT COVERAGE		



# Single Family GreenPoint Checklist

The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category: Energy (30), Indoor Air Quality (Health) (5), Resources (5), and Water (5). Please contact Build It Green for a list of qualified GreenPoint Raters if you are interested in pursuing third-party verification.

The green building practices listed below are described in the New Home Construction Green Building Guidelines, available at [www.builditgreen.org](http://www.builditgreen.org).

## El Gato Residence

	Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
<b>A. SITE</b>						
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees						
a. Protect Topsoil from Erosion and Reuse after Construction	2	1			1	
b. Limit and Disturb Construction Footprint for Maximum Protection	1				1	
c. Decomposed Instead of Demolishing Existing Buildings On Site	0				3	
3. Recycle Job Site Construction Waste (Including Green Waste)	0					
a. Minimum 50% Waste Diversion by Weight (Recycling or Reuse) - Required	0				R	
b. Minimum 60% Diversion by Weight (Recycling or Reuse)	2				2	
c. Minimum 80% Diversion by Weight (Recycling or Reuse)	0				2	
4. Use Recycled Content Aggregate (Minimum 25%)	1				1	
a. Walkway and Driveway	1				1	
b. Roadway Base	0					
Total Points Available in Site = 12	6					
<b>B. FOUNDATION</b>						
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag	0				1	
a. Minimum 20% Flyash or Slag	0				1	
b. Minimum 25% Flyash or Slag	0				3	
2. Use Frost-Protected Shallow Foundation in Cold Areas (C.E.C. Climate Zone 16)	0				1	
4. Design and Build Structural Pest Controls	0					
a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers	1				1	
b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	1				1	
Total Points Available in Foundation = 6	2					
<b>C. LANDSCAPING</b>						
1. Construct Resource-Efficient Landscapes	1				1	
a. No Invasive Species Listed by Cal-IPC Are Planted	1				1	
b. No Plant Species Will Require Hedging	1				1	
c. 75% of Plants Are Drought-Tolerant California Natives, Mediterranean, or Other Appropriate Species	3				3	
2. Use Fine-Safe Landscaping Techniques	1	1				
3. Minimize Turf Areas in Landscape Installed by Builder	0				2	
a. All Turf Will Have a Water Requirement Less than or Equal to Tall Fescue (50.8 plant factor)	0				2	
b. Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less than 6 Feet Wide	0				2	
c. Turf is 50% of Landscaped Area (total 4 points)	2				2	
d. Plant Shade Trees	2				2	
5. Group Plants by Water Needs (Hydrozoning)	2				2	
6. Install High-Efficiency Irrigation Systems	2				2	
a. System Uses Only Low-Flow Drip, Bubblers, or Low-Flow Sprinklers	0				2	
b. System Has Smart Controller	0				2	
7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	3				3	
8. Mulch All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement	0				3	
9. Use 95% Salvaged or Recycled-Content Materials for 50% of Non-Plant Landscaping Elements	1				1	
10. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward	1	1				
Total Points Available in Landscaping = 31	16					
<b>D. STRUCTURAL FRAME &amp; BUILDING ENVELOPE</b>						
1. Apply Optimal Vase Engineering	1				1	
a. Place Rafters and Studs at 24-Inch On-Center Framing	1				1	
b. Size Door and Window Headers for Load	0				1	
c. Use Only Jack and Crane Studs Required for Load	0				1	
2. Use Engineered Lumber	0				1	
a. Beams and Headers	0				1	
b. Insulated Engineered Headers	1	1			1	
c. Wood Joists or Web Trusses for Floors	0				1	
d. Wood Joists for Roof Rafters	0				1	
e. Engineered or Finger-Jointed Studs for Vertical Applications	0				1	
f. Oriented Strand Board for Subfloor	0				1	
3. Use FSC-Certified Wood	0				1	
a. Dimensional Lumber, Studs and Timber: Minimum 40%	0				2	
b. Dimensional Lumber, Studs and Timber: Minimum 70%	0				2	
c. Panel Products: Minimum 40%	0				1	
d. Panel Products: Minimum 70%	0				1	
4. Use Solid Wall Systems (Excludes SIPs, ICFs, & Any Non-Stick Frame Assembly)	0				2	
a. Floors	0				2	
b. Walls	0				2	
c. Roofs	0				2	
5. Reduce Pollution Entering the Home from the Garage	0				2	

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Single Family GreenPoint Checklist 2007 Version

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## El Gato Residence

	Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
a. Tightly Seal the Air Barrier between Garage and Living Area	1			1		
b. Install Garage Exhaust Fan OR Build a Detached Garage	0			1		
6. Design Energy Breaks on Trusses (75% of attic insulation height at Outside Edge of Exterior Wall)	1			1		
7. Design Roof Trusses to Accommodate Ductwork	1			1		
8. Use Recycled-Content Steel Studs for 90% of Interior Wall Framing	0			1		
9. Thermal Mass Walls: Stick-Build Drywall on All Interior Walls or Walls Weighing more than 40 lbs/sq.ft.	1			1		
10. Install Overhangs and Gutters	0			1		
a. Minimum 18-Inch Overhang and Gutters	0			1		
b. Minimum 24-Inch Overhang and Gutters	0			1		
Total Points Available in Structural Framing and Envelope = 30	7					
<b>E. EXTERIOR FINISH</b>						
1. Use Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking	0			2		
2. Install a Rain Screen Wall System	0			2		
3. Use Durable and Noncombustible Siding Materials	1			1		
4. Select Durable and Noncombustible Roofing Materials	2			2		
Total Points Available in Exterior Finish = 7	3					
<b>F. INSULATION</b>						
1. Install Insulation with 75% Recycled Content	1			1		
a. Walls and/or Floors	1			1		
b. Ceilings	0			1		
2. Install Insulation that is Low-Emitting (Certified Section 01300)	0			1		
a. Walls and/or Floors	0			1		
b. Ceilings	0			1		
3. Inspect Quality of Insulation Installation before Applying Drywall	1			1		
Total Points Available in Insulation = 5	3					
<b>G. PLUMBING</b>						
1. Distribute Domestic Hot Water Efficiently (Maximum 7 Points)	2			1		
a. Insulate Hot Water Pipes from Water Heater to Kitchen	2			1		
b. Insulate All Hot Water Pipes	2			1		
c. Use Engineered Flexible Piping	0			1		
d. Use Engineered Parallel Piping with Demand Controlled Circulation Loop	0			1		
e. Use Structured Plumbing with Demand Controlled Circulation Loop	0			1		
f. Use Central Core Plumbing	0			1		
2. Install Only High Efficiency Toilets (Dual-Flush or 5.0 gpf)	2			1		
Total Points Available in Plumbing = 12	4					
<b>H. HEATING, VENTILATION &amp; AIR CONDITIONING</b>						
1. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations	0			4		
2. Install Sealed Combustion Units	2			2		
a. Furnaces	2			2		
b. Water Heaters	2			2		
3. Install Zoned, Hydraulic Radiant Heating with Slab Edge Insulation	0			1		
4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants	0			1		
5. Design and Install Effective Ductwork	3			3		
a. Install HVAC Unit and Ductwork within Conditioned Space	1			1		
b. Use Duct Mastic on All Duct Joints and Seams	0			1		
c. Insult Ductwork under Attic Insulation (Bushed Ducts)	0			1		
d. Pressure Balance the Ductwork System	1			1		
e. Protect Ducts during Construction and Clean All Ducts before Occupancy	1			1		
6. Install High Efficiency HVAC Filter (MERV 8+)	1			1		
7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less than 60% using CSA Standards	1			1		
8. Install Effective Exhaust Systems in Bathrooms and Kitchens	1			1		
a. Install ENERGY STAR Bathroom Fans Vented to the Outside	1			1		
b. All Bathroom Fans Are on Timer or Humidistat	1			1		
c. Install Kitchen Range Hood Vented to the Outside	1			1		
9. Install Mechanical Ventilation System for Cooling (Maximum 4 Points)	0			1		
a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms	0			1		
b. Install Whole House Fan with Variable Speeds	0			1		
c. Automatically Controlled Integrated System	0			2		
d. Automatically Controlled Integrated System with Variable Speed Control	0			2		
10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)	0			2		
a. Any Whole House Ventilation System That Meets ASHRAE 62.2	0			2		
b. Install Air-to-Air Heat Exchanger that Meets ASHRAE 62.2	0			1		
11. Install Carbon Monoxide Alarm(s)	0			1		
Total Points Available in Heating, Ventilation and Air Conditioning = 30	15					
<b>I. RENEWABLE ENERGY</b>						
1. Pre-Plumb for Solar Hot Water Heating	0			4		
2. Install Solar Water Heating System	0			10		
3. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft <sup>2</sup> of South-Facing Roof	0			2		
4. Install Photovoltaic (PV) Panels	6			6		
a. 30% of electric needs OR 1.2 kW (total 6 points)	6			6		
b. 60% of electric needs OR 2.4 kW (total 12 points)	6			6		
c. 90% of electric needs OR 3.6 kW (total 18 points)	6			6		
Total Available Points in Renewable Energy = 20	18					
<b>J. BUILDING PERFORMANCE</b>						
1. Diagnostic Evaluations	0			1		
a. House Passes Blower Door Test	0			1		

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## El Gato Residence

	Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
b. House Passes Combustion Safety Backdraft Test	0			1		
2. Design and Build High Performance Homes - 1% above Title 24 - minimum 15% Required	30			230		
3. House Obtains ENERGY STAR with Indoor Air Package Certification - Pilot Measure (Total 45 points; meet comment)	0			5	2	
Total Available Points in Building Performance = 30	30					
<b>K. FINISHES</b>						
1. Design Entryways to Reduce Tracked in Contaminants	1			1		
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)	1			1		
a. Low-VOC Interior Wall/Ceiling Paints (<50 gpt VOCs (Flat) and <150 gpt VOCs (Non-Flat))	1			1		
b. Zero-VOC Interior Wall/Ceiling Paints (<10 gpt VOCs (Flat))	0			3		
3. Use Low-VOC, Water-Based Wood Finishes (<50 gpt VOCs)	0			2		
4. Use Low-VOC Caulk and Construction Adhesives (<75 gpt VOCs) for All Adhesives	2			2		
5. Use Recycled-Content Paint	0			1		
6. Use Environmentally Preferable Materials for Interior Finish: A) FSC-Certified Wood, B) Recycled, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed	0			1		
a. Cabinetry (50% Minimum)	0			1		
b. Interior Trim (50% Minimum)	0			1		
c. Shelving (50% Minimum)	0			1		
d. Doors (50% Minimum)	0			1		
e. Countertops (50% Minimum)	0			1		
7. Reduce Formaldehyde in Interior Finish (CA Section 01300)	0			1		
a. Sulfuric & Sulfur Trioxide (50% Minimum)	0			1		
b. Cabinets & Countertops (50% Minimum)	0			1		
c. Interior Trim (50% Minimum)	0			1		
d. Shelving (50% Minimum)	0			1		
8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3		
Total Available Points in Finishes = 21	6					
<b>L. FLOORING</b>						
1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Recycled or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, Flooring Adhesives Must Have 50 gpt VOCs	0			1		
a. Minimum 10% of Floor Area	0			1		
b. Minimum 20% of Floor Area	0			1		
c. Minimum 50% of Floor Area	0			1		
d. Minimum 75% of Floor Area	0			1		
2. Thermal Mass Floors: Floor Covering Other than Carpet on 50% or More of Concrete Floors	1			1		
3. Flooring Meets Section 01300 or CRI Green Label Plus Requirements (50% Minimum)	0			2		
Total Available Points in Flooring = 7	1					
<b>M. APPLIANCES AND LIGHTING</b>						
1. Install Water and Energy Efficient Dishwasher	1			1		
a. ENERGY STAR Rated 1 point	1			1		
b. Dishwasher Uses No More than 6.5 Gallons/Cycle (total 2 points)	0			1		
2. Install ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less	3			1		
a. Meets Energy Star and CEE Tier 2 requirements (modified energy factor 2.2, Water Factor 6.0) (total 3 points)	0			2		
b. Meets Energy Star and CEE Tier 3 requirements (modified energy factor 2.2, Water Factor 4.5 or less) (total 5 points)	0			2		
3. Install ENERGY STAR Refrigerator	1			1		
a. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0			1		
b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0			1		
4. Install Built-In Recycling Center	0			2		
a. Built-In Recycling Center	0			1		
b. Built-In Composting Center	0			1		
Total Available Points in Appliances and Lighting = 12	6					
<b>N. OTHER</b>						
1. Incorporate GreenPoint Rated Checklist in Blueprints - Required	0			1		
2. Develop Homeowner Manual of Green Features/Benefits	0			1		
3. Community Design Measures & Local Priorities: See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for measures. Maximum of 20 points for suggested measures. Local requirements may also be listed here.	0			1		
4. Innovation: List innovative measures that meet the green building objectives of the Guidelines. Enter up to a maximum combined total of 20 pts. See Innovation Checklist for suggested measures, using the link to the right.	0			0	0	0
Innovation in Community: Enter description here, and enter points available for measure in appropriate categories to the right.	0			0	0	0
Innovation in Energy: Enter description here, and enter points available for measure in appropriate categories to the right.	0			0	0	0
Innovation in Indoor Air Quality: Enter description here, and enter points available for measure in appropriate categories to the right.	0			0	0	0
Innovation in Resources: Enter description here, and enter points available for measure in appropriate categories to the right.	0			0	0	0
Innovation in Water: Enter description here, and enter points available for measure in appropriate categories to the right.	0			0	0	0
Total Available Points in Other = 43	0					
<b>Summary</b>						
Total Available Points in Specific Categories*	4+	96+	42+	66+	43+	
Minimum Points Required in Specific Categories	0	30	5	6	9	

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Single Family GreenPoint Checklist 2007 Version

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## El Gato Residence

	Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
<b>Total Points Achieved</b>	<b>117</b>	<b>3</b>	<b>65</b>	<b>14</b>	<b>13</b>	<b>22</b>

Project has not yet met the following recommended minimum requirements:

- Total Project Score of At Least 50 Points

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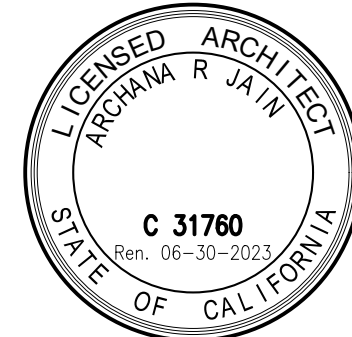
Page 4 of 4



## El Gato Residence

15605 El Gato Lane

Los Gatos, CA 95032





NOTES:

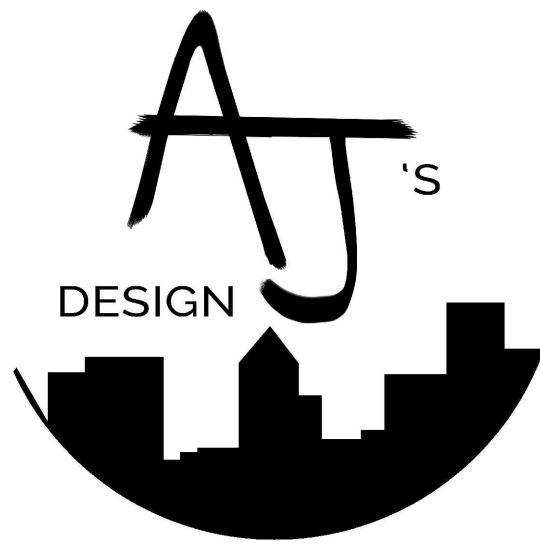
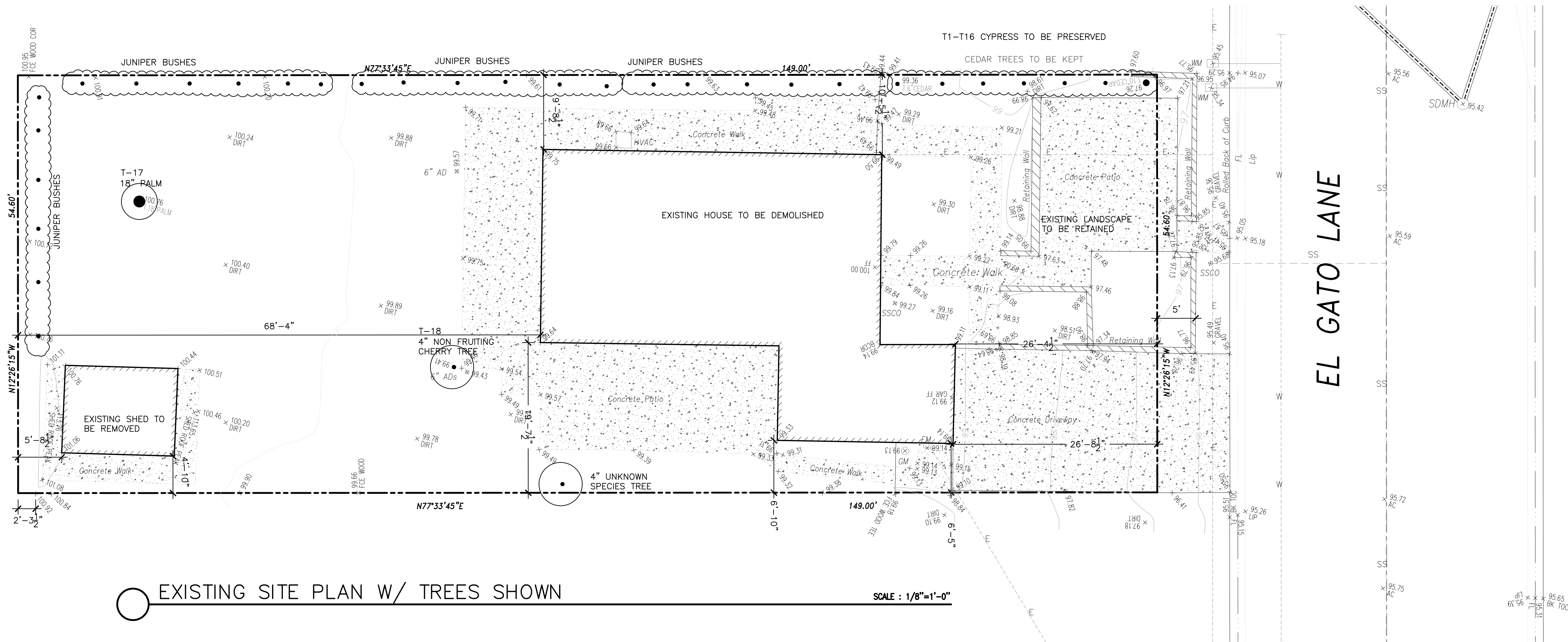
PLEASE VERIFY ALL EXISTING SETBACKS ON SITE

PLEASE VERIFY THE FENCE IS ON THE PROPERTY LINE

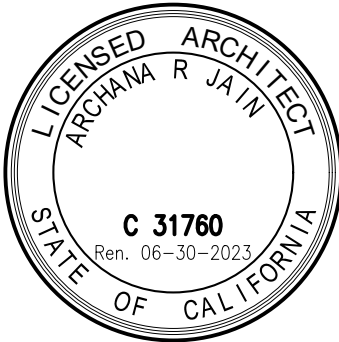
CONTRACTOR TO VERIFY ALL SITE SETBACKS PRIOR TO CONSTRUCTION

SITE WILL BE GRADED DURING CONSTRUCTION TO MAINTAIN POSITIVE DRAINAGE AND GRADE 8" BELOW WOOD.

SLOPE AWAY FROM EXTERIOR FOUNDATIONS TO BE 6" MIN WITHIN 10 FEET (5% MIN). AT IMPERVIOUS SURFACES, A MIN, 2% SLOPE IS PERMITTED



El Gato Residence  
15605 El Gato Lane  
Los Gatos, CA 95032



GENERAL NOTES :

1. THIS SHEET IS PART OF A SET & IS NOT TO BE USED ALONE.

2. PLEASE DO NOT SCALE THE DWG.

3. ANY DISCREPANCY OR ERROR IN DWG AND FIELD NEED TO BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO CONSTRUCTION.

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SHEET NAME :

EXISTING  
SITE PLAN

REVISIONS	BY

DRAWN:

CHECKED:

DATE: 11/26/20

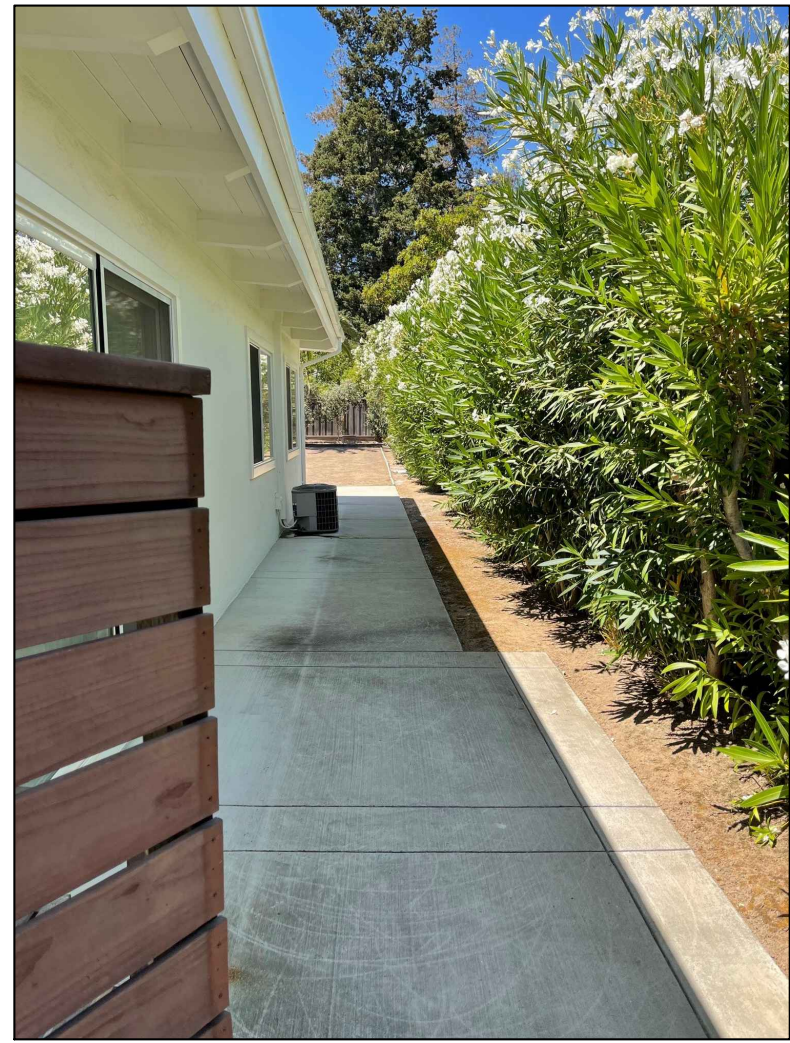
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JOB No.:

SHEET No.:

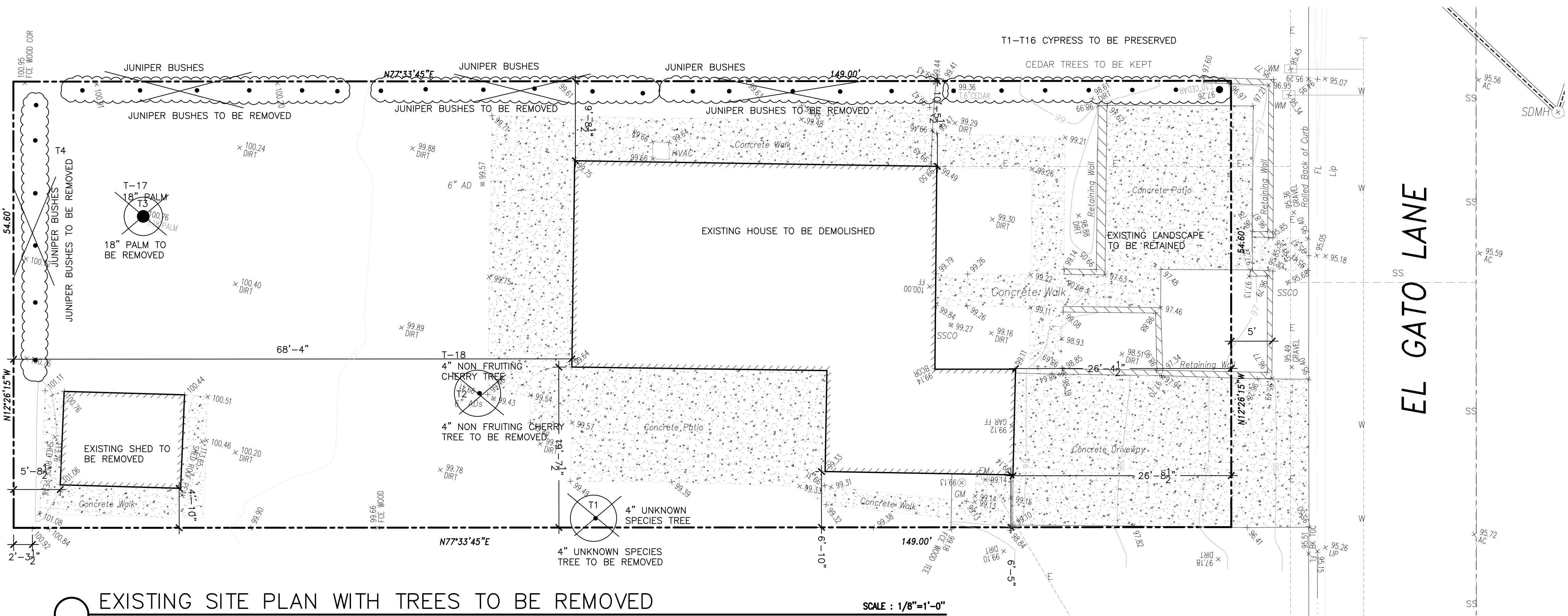
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SIDE YARD WITH JUNIPER BUSHES TO BE REMOVED

TREES TO BE REMOVED		
TREE NUMBER	TREE DIAMETER	TREE NAME
T1	4"	UNKNOWN SPECIES
T2	4"	NON FRUITING CHERRY
T3	18"	PALM
T4	2" TO 3"	JUNIPER



EXISTING SITE PLAN WITH TREES TO BE REMOVED



REAR YARD WITH JUNIPER BUSHES AND NON FRUITING CHERRY TREE TO BE REMOVED



SIDE YARD W/UNKNOWN SPECIES TREE TO BE REMOVED



REAR YARD WITH JUNIPER BUSHES AND PALM TREE TO BE REMOVED

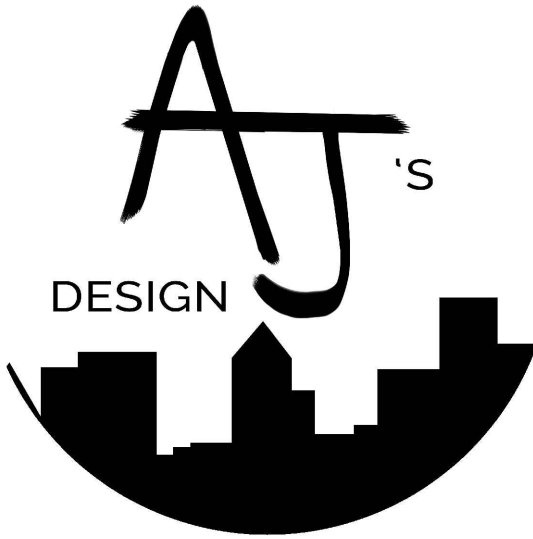
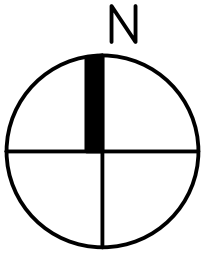


SIDE YARD

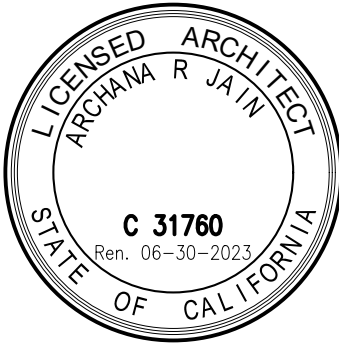


FRONT OF THE HOUSE WITH THE CEDAR TREES TO BE PRESERVED

FRONT LANDSCAPED YARD



El Gato Residence  
15605 El Gato Lane  
Los Gatos, CA 95032



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5. COPYRIGHT © OF ARCHANA JAIN.

SHEET NAME :  
EXISTING SITE /TREE  
REMOVAL PLAN  
WITH SITE PHOTOS

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	11/26/20
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

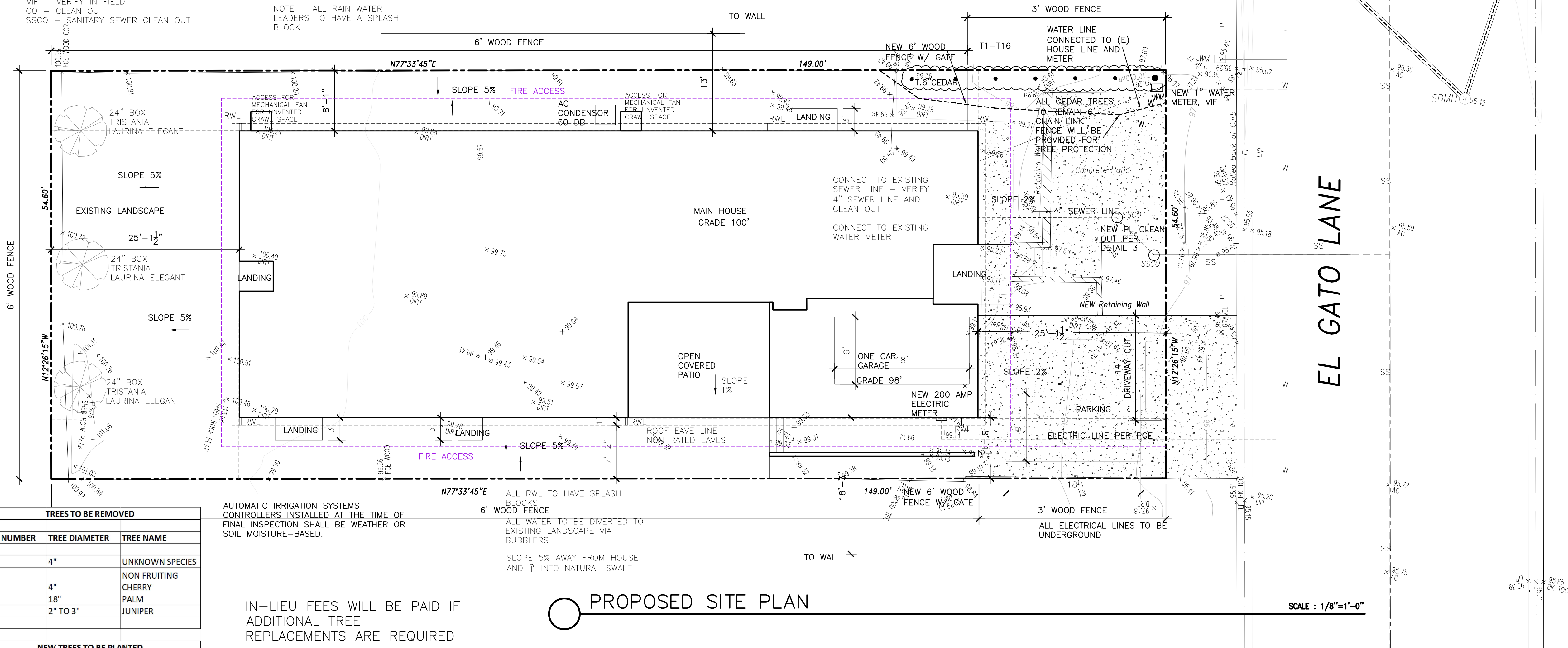
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ABBREVIATIONS  
RWL - RAIN WATER LEADER  
AC - AIR CONDITIONER  
EM - ELECTRIC METER  
WM - WATER METER  
SS - SANITARY SEWER  
VIF - VERIFY IN FIELD  
CO - CLEAN OUT  
SSCO - SANITARY SEWER CLEAN OUT

W - WATER  
DB - DECIBEL  
PL - PROPERTY LINE

NOTE - ALL RAIN WATER LEADERS TO HAVE A SPLASH BLOCK



TREES TO BE REMOVED		
TREE NUMBER	TREE DIAMETER	TREE NAME
T1	4"	UNKNOWN SPECIES
T2	4"	NON FRUITING CHERRY
T3	18"	PALM
T4	2" TO 3"	JUNIPER
NEW TREES TO BE PLANTED		
3 TREES	TRISTANIA LAURINA ELEGANT 24" BOX	

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

IN-LIEU FEES WILL BE PAID IF ADDITIONAL TREE REPLACEMENTS ARE REQUIRED

## PROPOSED SITE PLAN

SCALE : 1/8"=1'-0"

### NOTES:

1. CONSTRUCTION RELATED MATERIALS, EQUIPMENT ETC MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY PUBLIC WORKS DEPT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS CYCLISTS AND VEHICULAR TRAFFIC

2. PLEASE REGISTER WITH GREEN HALO SYSTEMS AT SUNNYVALE. WASTETRACKING.COM - FOR CONSTRUCTION DEBRIS

1) CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.

2) UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL.

3) ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.

### NOTES:

PLEASE VERIFY ALL EXISTING SETBACKS ON SITE

PLEASE VERIFY THE FENCE IS ON THE PROPERTY LINE

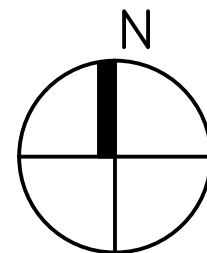
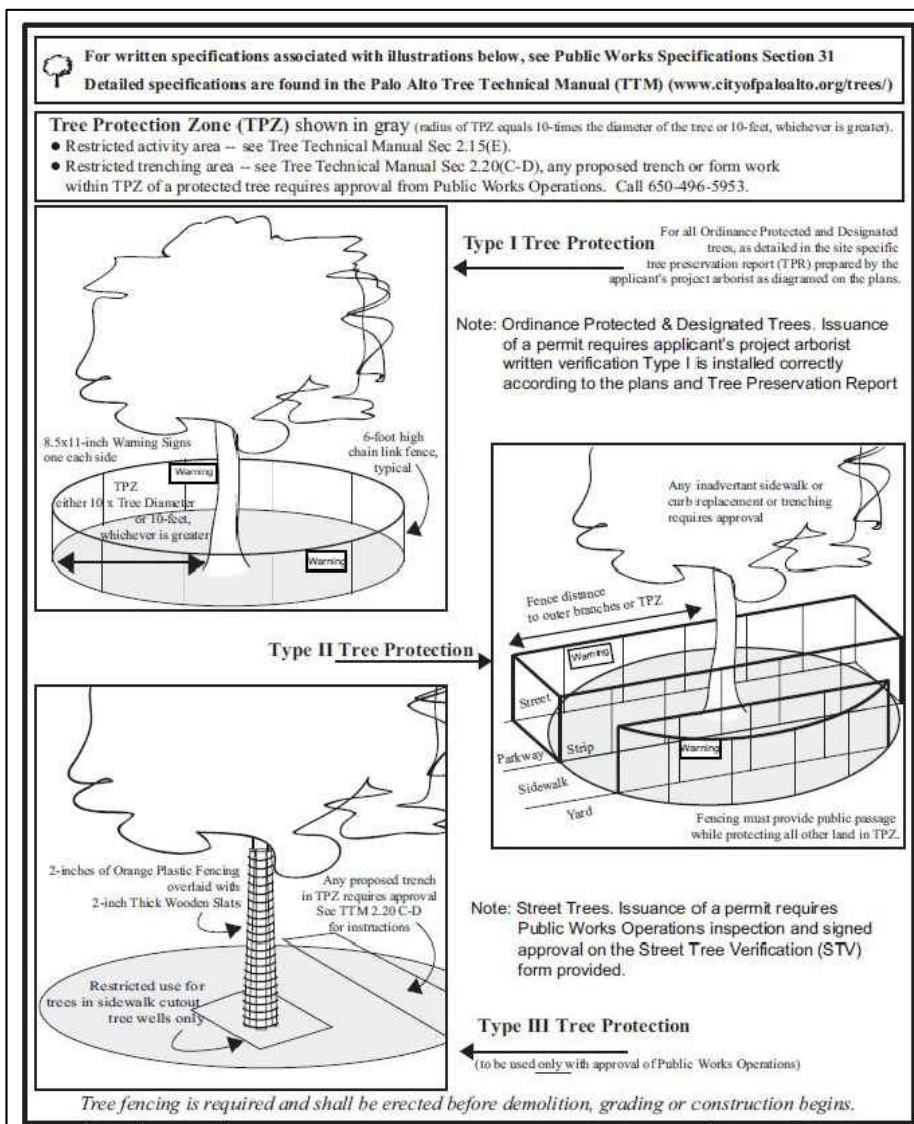
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SLOPE AWAY FROM EXTERIOR FOUNDATIONS TO BE 6" MIN WITHIN 10 FEET (5% MIN). AT IMPERVIOUS SURFACES, A MIN, 2% SLOPE IS PERMITTED

### CALGREEN GENERAL NOTES

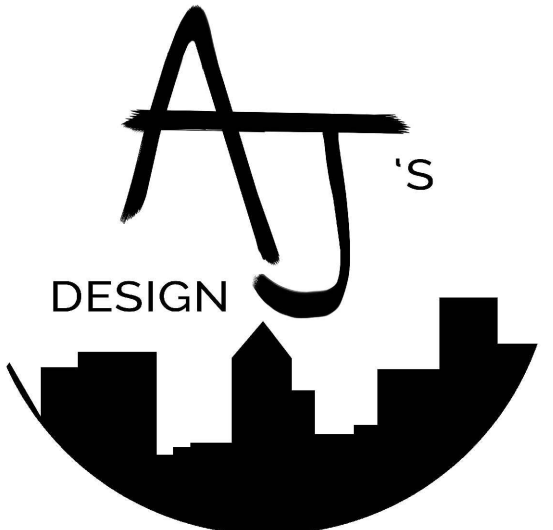
- JOINTS AND OPENINGS; ANNULAR SPACES AND AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- A MIN. OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.
- WHERE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.
- 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), LOW EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGS INSTITUTE (RFCI) FLOORSORE PROGRAM.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.



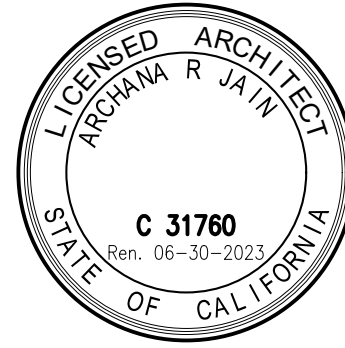
REVISIONS	BY

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DATE:	11/26/20
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A1.2

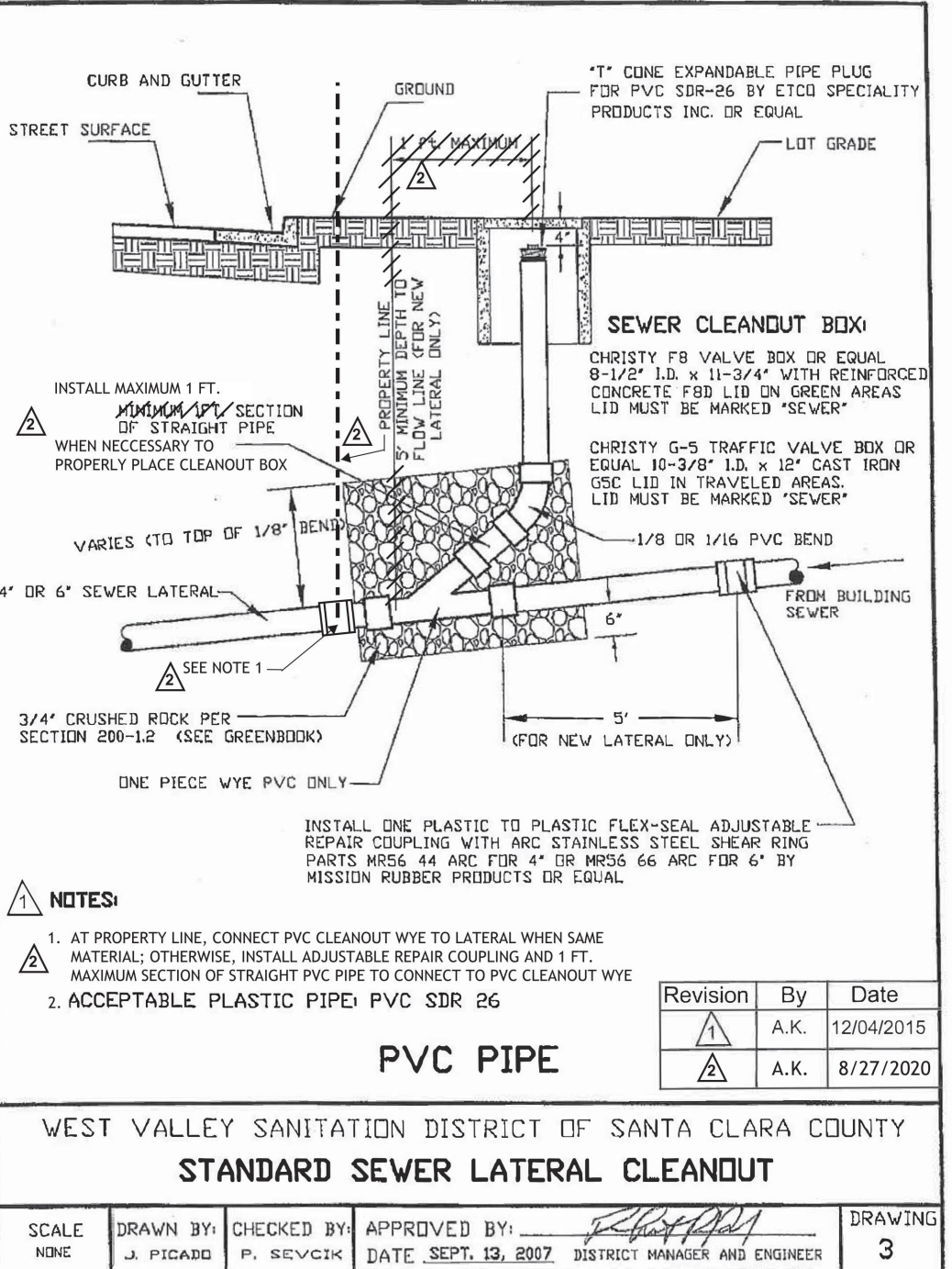


El Gato Residence  
15605 El Gato Lane  
Los Gatos, CA 95032



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SHEET NAME :  
PROPOSED  
SITE PLAN



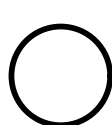
PVC PIPE

WEST VALLEY SANITATION DISTRICT OF SANTA CLARA COUNTY  
STANDARD SEWER LATERAL CLEANOUT

SCALE	DRAWN BY:	CHECKED BY:	APPROVED BY:	DRAWING
NONE	A. PICARD	P. SEVICK	DATE: SEPT. 18, 2007 DISTRICT MANAGER AND ENGINEER	3

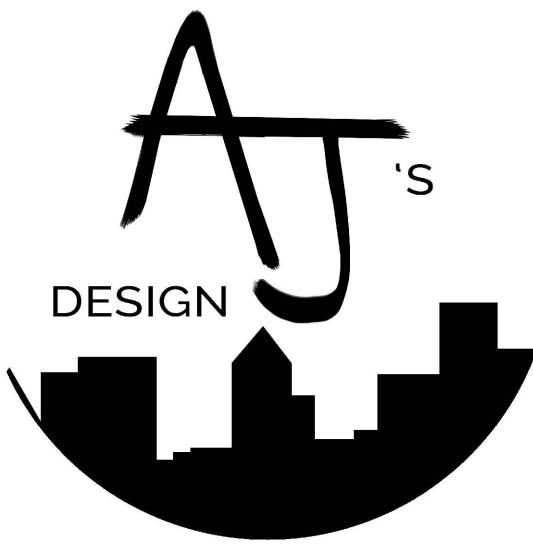
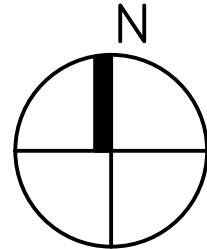
Revision	By	Date
1	A.K.	12/04/2015
2	A.K.	8/27/2020





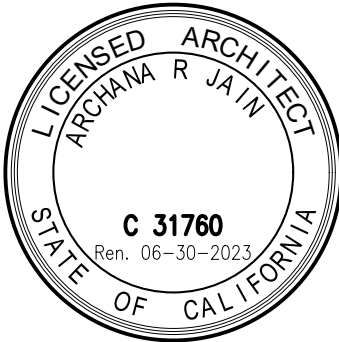
PROPOSED VICINITY SITE PLAN

SCALE : 1/8"=1'-0"



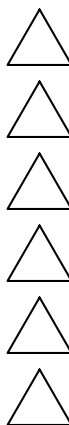
# El Gato Residence

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SHEET NAME :  
PROPOSED VICINITY  
SITE PLAN

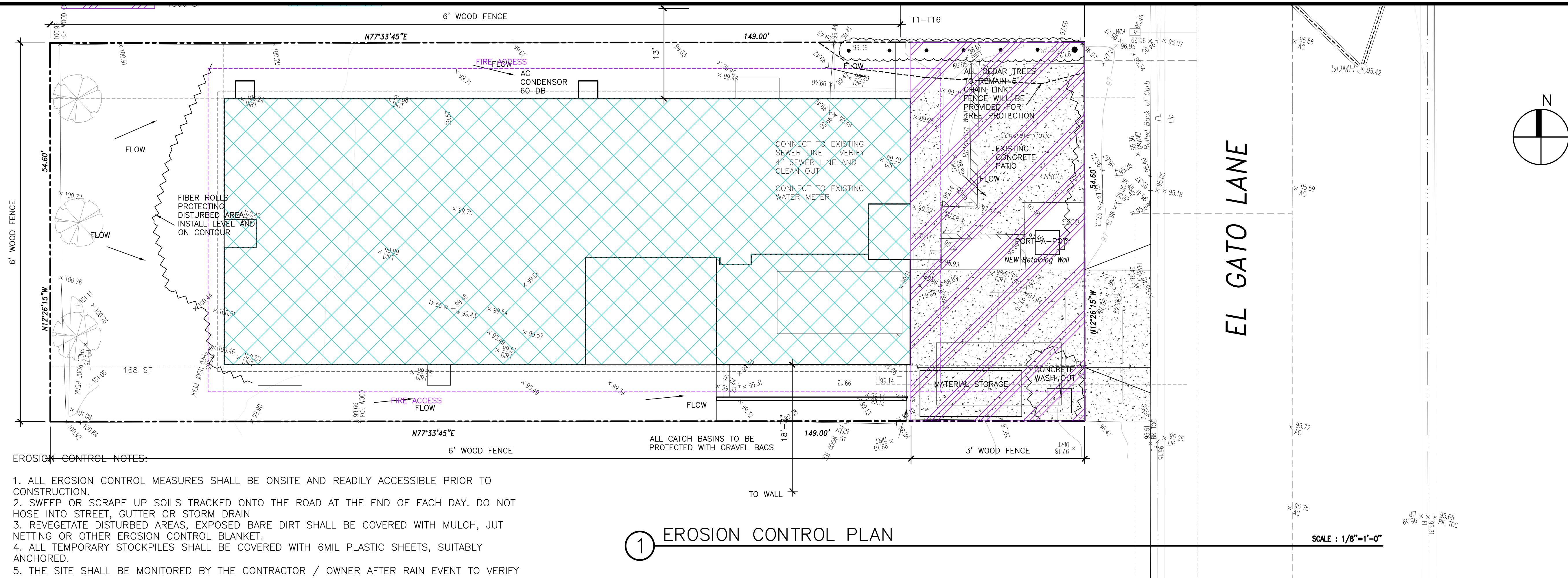


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SCALE: AS SHOWN
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SHEET No.:

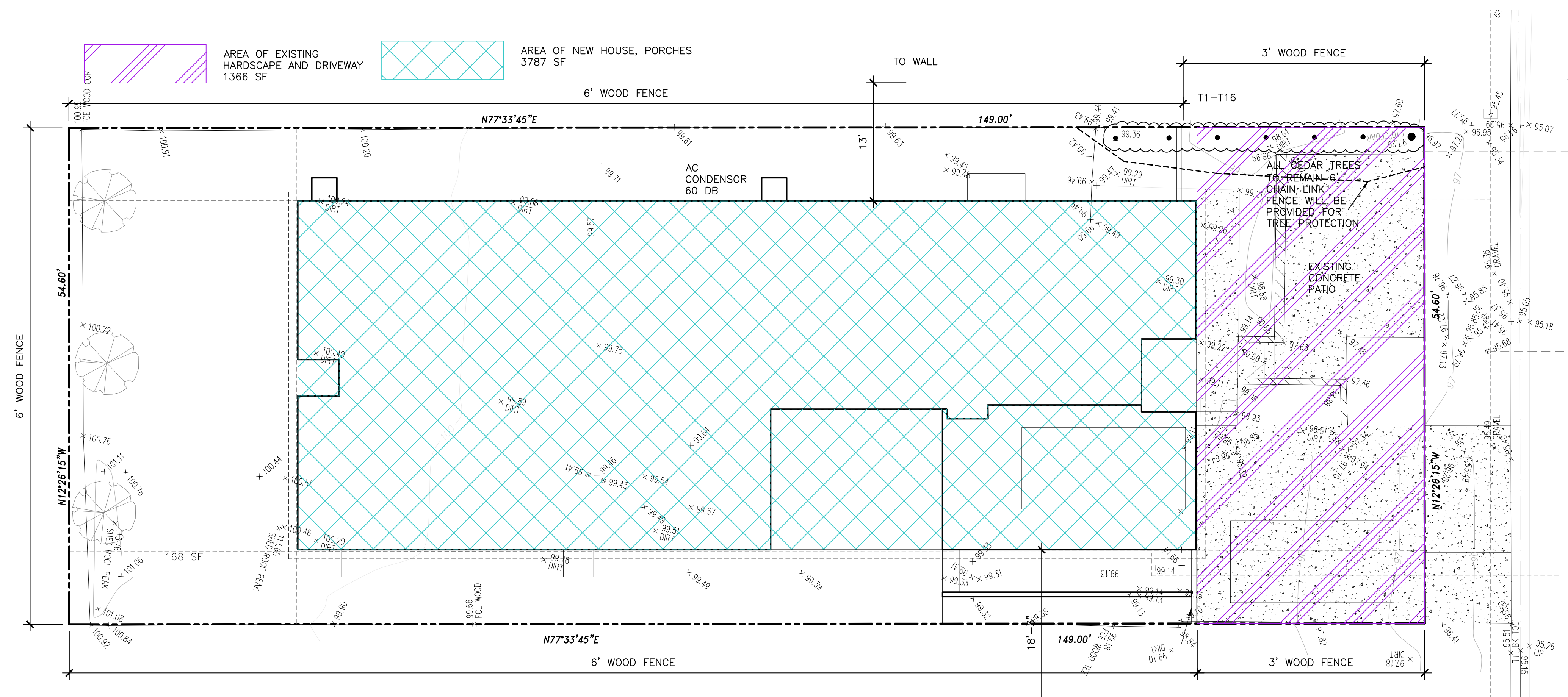
A1.2A





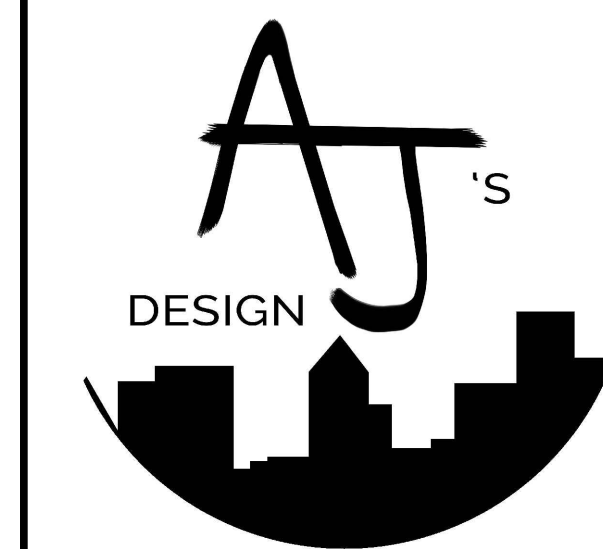
- EROSION CONTROL NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
  2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER OR STORM DRAIN.
  3. REVEGETATE DISTURBED AREAS, EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
  4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6MIL PLASTIC SHEETS, SUITABLY ANCHORED.
  5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING

## 1 EROSION CONTROL PLAN



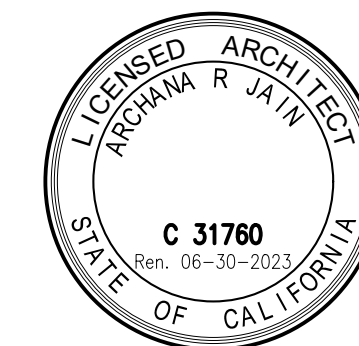
AS THE NET IMPERVIOUS AREA IS LESS THAN 2400 SF - WE ARE EXEMPT FROM GRADING AND DRAINAGE PERMIT.

IMPERVIOUS AREA CALCULATIONS	AREA /SF
EXISTING HOUSE & GARAGE TO BE REMOVED	1408
EXISTING CONCRETE PAD TO BE REMOVED	1195
EXISTING DRIVEWAY AND WALKWAYS TO BE KEPT	1366
EXISTING SHED TO BE REMOVED	169
CONCRETE WALK AROUND SHED	132
<b>TOTAL IMPERVIOUS AREA</b>	<b>4270</b>
<b>TOTAL NEW IMPERVIOUS AREAS</b>	
NEW HOUSE INCLUDING PORCH	3787
EXISTING DRIVEWAY AND WALKWAYS TO BE KEPT	1366
CONCRETE WALK AROUND SHED	132
<b>TOTAL IMPERVIOUS AREA</b>	<b>5285</b>
<b>NET INCREASE IN IMPERVIOUS AREA</b>	<b>1015</b>



## El Gato Residence

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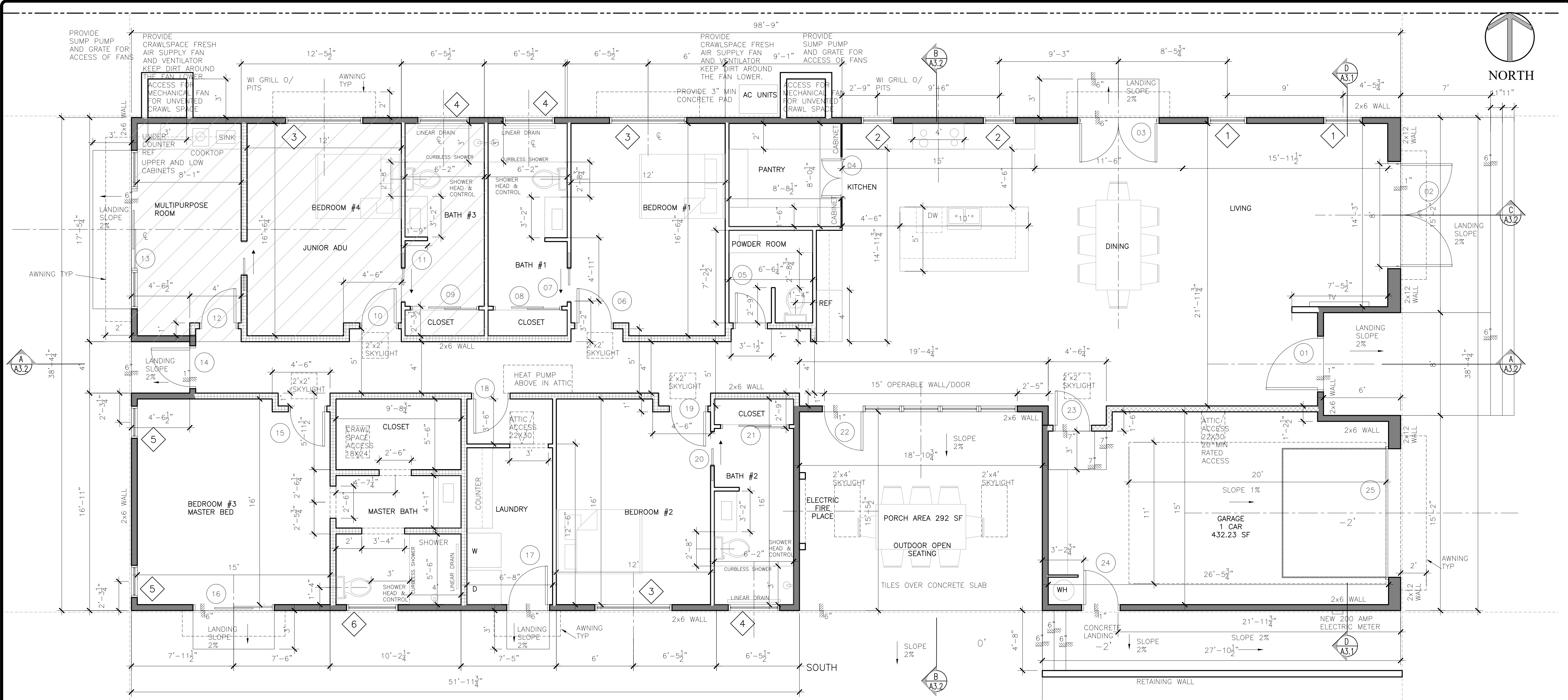
**SHEET NAME :**  
**EROSION CONTROL PLAN**

REVISIONS	BY

<b>DRAWN:</b>	
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<b>DATE:</b>	11/26/20
<b>SCALE:</b>	AS SHOWN
<b>JOB No.:</b>	
<b>SHEET No.:</b>	

# A1.3





PROPOSED FLOOR PLAN

SCALE : 1/4"=1'-0"

GENERAL NOTES:

- DIMENSIONS AT DOORS ARE FINISHED DOOR DIMENSIONS.
- BUILDING SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE FEDERAL STATE AND LOCAL CODES & REGULATIONS.
- CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHER PER LOCAL FIRE MARSHAL.
- VERIFY IN FIELD ALL DIMENSIONS; CONTACT ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.
- TRENCHING AND/OR CORING OF SLAB FOR ELECTRICAL SHALL BE COORDINATED WITH STRUCTURAL.
- ALL BATHROOMS TO HAVE 5/8" "FIBERROCK" AQUA TOUGH PANEL TOWARDS INTERIOR SIDE OR CEMENTITIOUS BACKER BOARD.
- SHOWER AND TUB WALLS TO BE A SMOOTH, HARD, NON ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDER LAYMENT TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC 307.2
- FOR EXTERIOR WALL TREATMENT SEE ELEVATIONS.
- ALL ARCHITECTURAL GLAZING WITHIN 24" OF DOORS SHALL BE TEMPERED, INCLUDING GLAZING IN DOORS.
- PROVIDE EXTERIOR THRESHOLD, SWEEPS & WEATHER-STRIPPING AT ALL EXTERIOR DOORS.
- BUILDING ADDRESS NUMBERS SHALL BE MINIMUM 6" HIGH AND BE OF CONTRASTING COLORS.
- SEE SITE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS.
- SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF FOUNDATION WALLS BOTH ABOVE AND BELOW GRADE.
- ALL PENETRATIONS BETWEEN EXTERIOR OR CRAWLSPACE AND ENVELOP TO BE COMPLETELY SEALED.
- ALL INSULATION TO BE INSTALLED TO CEC QII STANDARDS
- ALL SETBACKS ARE TO THE EXTERIOR FINISH
- SHEETROCK THE INSIDE OF FIREPLACE WITH 5/8" TYPE 'X' SHEETROCK AND FIRETAPE PRIOR TO INSTALLING FIREPLACE. TYPICAL

- LAVATORY FAUCETS MAX 1.2 GPM MEASURED AT 60 PSI, MIN 0.8 GPM AT 20 PSI PER SECTION 402.1.2 CPC 2019 AND SECTION 4.303.1.4 OF 2019 CGBC
- KITCHEN FAUCETS MAX 1.5 GPM MEASURED AT 60 PSI, PER SECTION 402.1.2 CPC 2019, 4.303.1.4.4 OF 2019 CGBC, AND A4.303.1 OF 2019 CGBC.
- SHOWERS MAX 1.8 GPM MEASURED AT 80 PSI, PER SECTION 402.1.1 CPC 2019 AND SECTION 4.303.1.3 OF 2019 CGBC
- TOILETS NOT TO EXCEED 1.28 GALLONS PER FLUSH, PER SECTION 402.1.1 CPC 2019 AND SECTION 4.303.1 OF 2019 CGBC
- ALL SHOWER DOORS TO BE MIN 22" WITH TEMPERED GLASS
- PROVIDE CONCRETE-ENCASED GROUNDING ELECTRODE (UFER). MIN 20' OF 3" UNCOATED REBAR OR #4 COPPER WIRE TO BE ENCASED IN 2" OF CONC. IN THE BOTTOM OF THE FOOTING.
- ALL KITCHEN HOODS TO BE HERS CERTIFIED
- WATER-CONSERVING APPLIANCES: DISHWASHER OR CLOTHES WASHER TO BE ENERGY STAR (CALGREEN A4.303.3)

CRAWL SPACE VENT CALCULATIONS:

CRAWL SPACE - UNVENTED CRAWL SPACE  
PROVIDE TJERNLUND CRAWL SPACE VENTILATOR - MODEL V02  
VOLUME OF CRAWL SPACE = 2996 SFx2' = 5992 CU.FT / 15  
= 400 CFM OF VENTILATION REQUIRED  
PROVIDE 2- V02 VENTILATOR  
INSTALL PER MANUFACTURER'S INSTRUCTIONS SEE SHEET A9.4  
PROVIDE DIRT CLEARANCE AROUND THE FAN FOR PROPER VENTILATION  
2-6" DUCTS PROVIDED

MECHANICAL VENTILATION AS PER ASHRAE 62.2 WILL BE PROVIDED VIA THE HVAC DUCT SYSTEM OR A SEPARATE DUCTED SYSTEM TO BE DETERMINED AND DESIGNED BY AN HVAC CONTRACTOR. DESIGN AND CALCULATIONS WILL BE PROVIDED TO BUILDING OFFICIAL.

**UnderAire™ Crawl Space Ventilators**

**Specifications**

Model	V1	V1D	V2D
Performance	110 CFM	110 CFM	220 CFM
Motor	115/160 0.30 amps	115/160 0.30 amps	2 @ 115/160 0.60 amps
Dehumidistat	Optional Model D10 (dehumidistat available separately)	OFF/ON or 20-80% RH	OFF/ON or 20-80% RH
Thermostat	Opens at 40°F	Opens at 40°F	Opens at 40°F
Dimensions	14 3/8" x 6 7/8" x 2 1/2"	18" x 9" x 2"	18" x 9" x 2"
Trim Dimensions	9 3/8" x 5 3/8"	9 3/4" x 6"	14" x 6"

**How to determine the number of UnderAire™ Ventilators needed:**

Calculate the cubic area of the crawl space by multiplying the length x width x height. Divide this number by 15 to determine the minimum CFM necessary to fully ventilate the space in 15 minutes. Example: 20' wide x 40' long x 3' high crawl space = 2,400 cubic ft. 2400 cubic ft. ÷ 15 minutes = 160 CFM of ventilation. Choose two V1 or V1D ventilators or one V2D ventilator.

**Xchanger™ Ventilation Fans**

**Dimensions**

**Optional Accessories**

**Specifications**

Model	X2D & X2R
Voltage	120
Watts	120
Amps	20
CFM	40

**For Dehumidification**

The X2D includes a Dehumidistat control to automatically cycle based on user set RH (Relative Humidity) level. The Model X2R requires the D10D plug-in Dehumidistat for automatic RH based operation.

**For Timer Based Air Exchange**

33 Air Change / Hour (ACH) recommended  
Xchanger™ Run (8 foot ceiling)

Time/Run	1 Fan (60 CFM)	2 Fans (120 CFM)
15 min	750	1500
22 min	500	1000
30 min	375	750
37 min	281	562

**Model X2D Includes Automatic Dehumidistat Control**

Turn either fan on or off and automatically operate your basement fan by adjusting the dehumidistat control to the level needed. Rotate the dial fully clockwise for constant operation. For X2R models, order optional D10D Control.

**Available From:**

**TJERNLUND PRODUCTS, INC.**

1601 Ninth Street White Bear Lake, MN 55110-6794  
Phone: 651.426.2993 800.255.4208 Fax: 651.426.9547  
Visit our web site: tjernlund.com Email: fammiller@tjernlund.com  
Copyright © 2016 Tjernlund Products, Inc. P/N 8500720 REV. A

RECIRCULATION: NO HOT WATER RECIRCULATION UNLESS LISTED IN CF1R.

PIPE INSULATION: INSTALL 21" FOAM INSULATION ON ENTIRE RUN OF HOT WATER AND RECIRCULATION PIPING WITH A DIAMETER OF ≤1"; PIPES OF DIAMETER >1" - <2" TO HAVE INSULATION AT LEAST AS THICK AS THE DIAMETER OF THE PIPE; ≥2" INSULATION ON PIPES ≥2" DIAMETER. INCLUDE INSULATION ON PIPES IN WALLS. INSULATE 5' OF COLD WATER PIPING ADJACENT TO WATER HEATER. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DUST OF THE FRAMING PENETRATION. INSULATION SHALL BUT SECURELY AGAINST ALL FRAMING MEMBERS. ALL ELBOWS AND TEES SHALL BE FULLY INSULATED. WHERE INSULATION IS REQUIRED NO PIPING SHALL BE VISIBLE DUE TO INSULATION VOIDS, AND ALL INSULATION SHALL FIT TIGHTLY TO THE PIPE. METAL PIPING THAT PENETRATES METAL FRAMING SHALL USE GROMMETS, PLUGS, WRAPPING OR OTHER INSULATING MATERIAL TO ASSURE THAT NO CONTACT IS MADE WITH THE METAL FRAMING. PIPE INSULATION TO BE HERS VERIFIED. (RA4.4.1&14; ENERGY CODE § 150 (J) 2; PLUMBING CODE § 609.11-12)

NOTES:

ALL INTERIOR AND EXTERIOR WALLS TO RECEIVE INSULATION

PROVIDE BLOCKING FOR ALL TOWEL BARS, TV BRACKETS, KITCHEN CABINETS, BARN DOOR, LIGHTS, FANS ETC AS NEEDED FOR 250 LB CAPACITY

PROVIDE REGISTERS CENTERED TO ROOMS

WOOD BACKING 2X8 MIN AT ALL BATHROOM WALLS, AT WC'S, SHOWERS AND BATHTUBS LOCATED 34" FROM FLOOR TO CENTER OF BACKING, SUITABLE FOR FUTURE GRAB BAR INSTALLATION

NOTES:

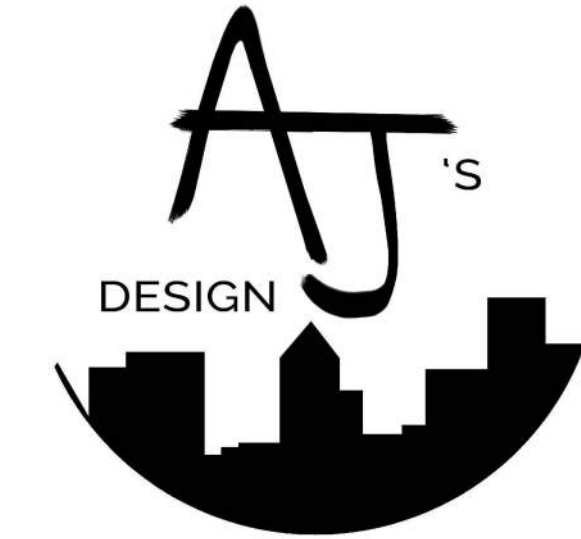
ALL INTERIOR AND EXTERIOR WALLS TO RECEIVE INSULATION

REMOVE EXISTING BLOWN IN INSULATION FROM ATTIC AND PROVIDE NW INSULATION IN ATTIC AND CRAWL SPACE

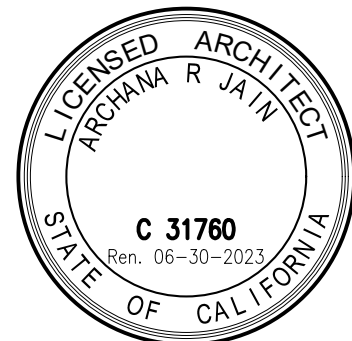
PROVIDE BLOCKING FOR ALL TOWEL BARS, TV BRACKETS, KITCHEN CABINETS, BARN DOOR, LIGHTS, FANS ETC AS NEEDED FOR 250 LB CAPACITY

PROVIDE REGISTERS CENTERED TO ROOMS

- NEW EXTERIOR WALL 2x6 / 2X10 WITH PLASTER FINISH UN 3/ A9.1
- NEW INTERIOR WALLS 2x4 AS SHOWN 7/ A9.1
- NEW INTERIOR WALLS 2x6 AS SHOWN 7/ A9.1
- GARAGE WALL ONE HOUR RATED 6/ A9.1



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**SHEET NAME :**  
**PROPOSED FLOOR PLAN**

REVISIONS	BY

**DRAWN:**

**CHECKED:**

**DATE:** 11/26/20

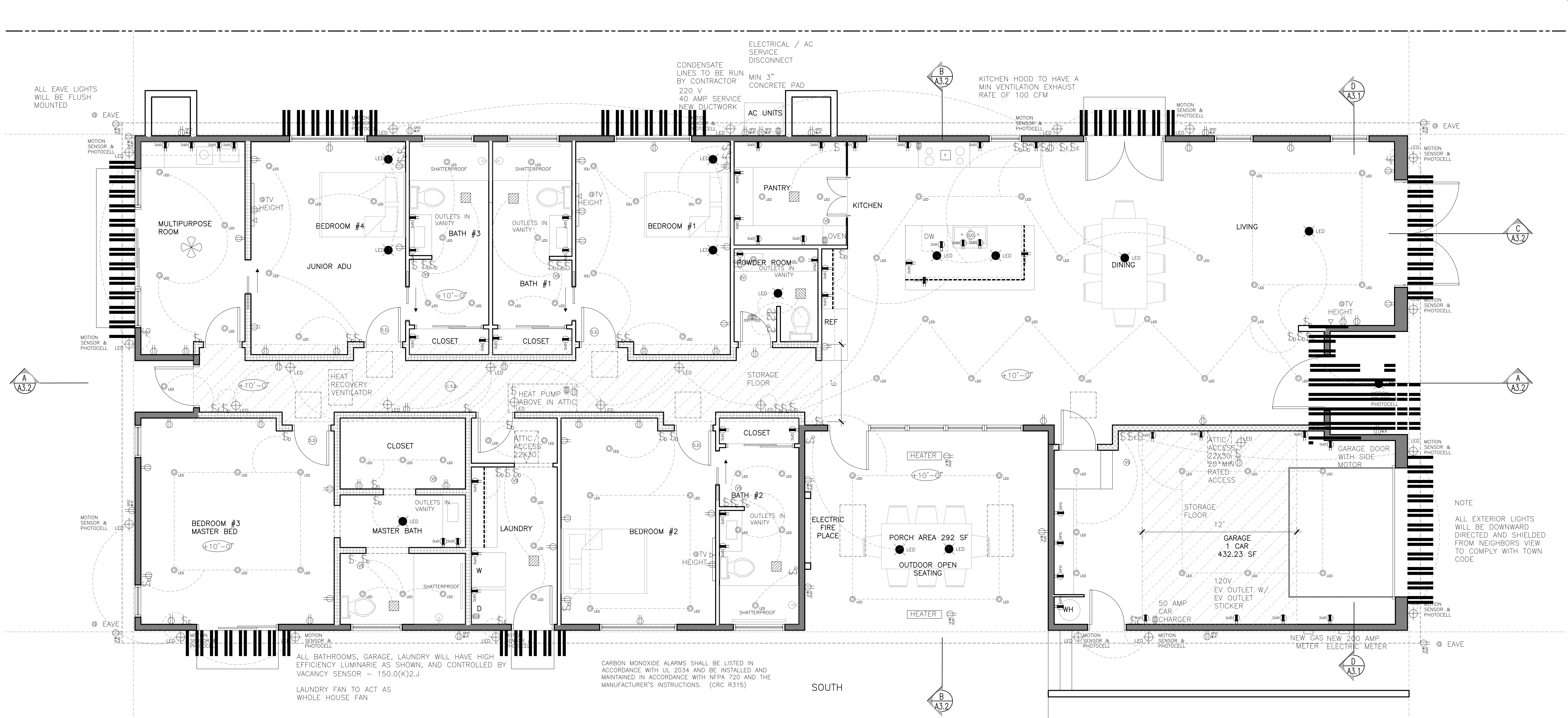
**SCALE:** AS SHOWN

**JOB No.:**

**SHEET No.:**

A2.1





- LEGEND**
- CHANDELIER/PENDANT
  - SURFACE MOUNTED FIXTURE
  - WATERPROOF SURFACE MOUNTED FIXTURE
  - UNDER-CABINET LED STRIP
  - ⊠ LED PANEL - FLUSH MOUNTED PROVIDED BY CLIENT
  - ⚡ LIGHT SWITCH
  - ⚡ LIGHT SWITCH FOR EXTERIOR LIGHTS SEE NOTE
  - ⚡ DIMMER SWITCH
  - ⦿ 4" LED DOWN LIGHTS - HIGH EFFICACY - CA TITLE 24 COMPLIANT - LITHONIA 4BPMW LED 30K 90CRI 2700K
  - ⦿ EXTERIOR LIGHTS 3" ADJUSTABLE DOWNLIGHT
  - ⦿ SPOTLIGHT
  - ⦿ FLUSH GIMBAL RING
  - ⦿ 440-WH WHITE GIMBAL RING
  - ⦿ WALL SCONCE
  - ⦿ EXTERIOR CALIFORNIA T-24 COMPLAINT
  - ⦿ EXHAUST FAN W/ LED LIGHT
  - ⦿ PANASONIC WHISPER QUIET, NIGHT LIGHT, HUMIDISTAT - 50-80% HUMIDITY LIGHT TO BE CONTROLLED BY SEPARATE SWITCH AND FAN ON SEPARATE SWITCH
  - ⦿ EXHAUST FAN - PANASONIC QUIET HUMIDISTAT - 50-80% HUMIDITY LIGHT TO BE CONTROLLED BY SEPARATE SWITCH AND FAN ON SEPARATE SWITCH
  - ⦿ COOKTOP FAN
  - ⦿ DUPLEX OUTLET AFCI
  - ⦿ FOURPLEX OUTLET AFCI
  - ⦿ GFCI OUTLET

- ⦿ GFCI WATER PROOF OUTLET FOR EXTERIOR SMOKE DETECTOR
- ⦿ 220V OUTLET
- ⦿ ETHERNET - CABLE - TELEPHONE ON 2 SEPARATE OUTLETS, & COAX CABLE
- ⦿ SPEAKERS
- ⦿ CEILING HEIGHT
- ⦿ GARBAGE DISPOSAL
- ⦿ CARBON MONOXIDE SMOKE DETECTOR
- ⦿ CEILING FAN
- ⦿ DOOR BELL CHIME
- ⦿ HEAT LAMP
- ⦿ VACANCY SENSOR
- ⦿ SECURITY CAMERA
- ⦿ ALL BATHROOM EXHAUST FANS ARE FROM PANASONIC WHISPER QUIET- AIR VOLUME - 100 CFM OR HIGHER, VERIFY W/ CLIENT
- ⦿ TRACK LIGHT
- ⦿ BROAN SSQTK080 80 CFM - WHISPER QUIET

## PROPOSED REFLECTED CEILING PLAN

HVAC SIZING: HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS; DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS; SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. IF AIR CONDITIONING IS INSTALLED, MANUAL S CALCULATIONS MUST BE PROVIDED SHOWING THE SELECTED EQUIPMENT TOTAL COOLING CAPACITY IS NOT MORE THAN 115% OF TOTAL CALCULATED COOLING LOAD. (CALGREEN 4.507.2)"

WHOLE HOUSE VENTILATION FAN TO CONTINUOUSLY RUN PER DESIGNED VENTILATION RATE. PROVIDE A LABEL AT CONTROL SWITCH WHICH READ "FAN TO BE LEFT ON FOR INDOOR AIR QUALITY". 4"Ø EXHAUST DUCT THRU ROOF WITH RAIN CAP.

$Q_{fan} = 0.03A_{floor} + 7.5(Nbr + 1)$   
 $Q_{fan} = 0.03 \times 2996 + 7.5 (4+1)$   
 $Q_{fan} = 127.38 \text{ CFM}$   
 $Q_{fan \text{ provided}} = 128 \text{ cfm} - 4" \text{ dia duct}$   
LAUNDRY FAN TO ACT AS WHOLE HOUSE FAN

RECIRCULATION: NO HOT WATER RECIRCULATION UNLESS LISTED IN CF1R.

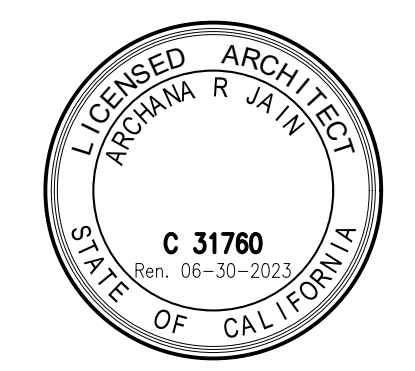
PIPE INSULATION: INSTALL  $\geq 1"$  FOAM INSULATION ON ENTIRE RUN OF HOT WATER AND RECIRCULATION PIPING WITH A DIAMETER OF  $\leq 1"$ ; PIPES OF DIAMETER  $> 1"$  -  $< 2"$  TO HAVE INSULATION AT LEAST AS THICK AS THE DIAMETER OF THE PIPE;  $\geq 2"$  INSULATION ON PIPES  $\geq 2"$  DIAMETER. INCLUDE INSULATION ON PIPES IN WALLS. INSULATE 5' OF COLD WATER PIPING ADJACENT TO WATER HEATER. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. INSULATION SHALL BUTT SECURELY AGAINST ALL FRAMING MEMBERS. ALL ELBOWS AND TEES SHALL BE FULLY INSULATED. WHERE INSULATION IS REQUIRED, NO PIPING SHALL BE VISIBLE DUE TO INSULATION VOIDS, AND ALL INSULATION SHALL FIT TIGHTLY TO THE PIPE. METAL PIPING THAT PENETRATES METAL FRAMING SHALL USE GROMMETS, PLUGS, WRAPPING OR OTHER INSULATING MATERIAL TO ASSURE THAT NO CONTACT IS MADE WITH THE METAL FRAMING. PIPE INSULATION TO BE HERS VERIFIED. (RA4.4.1&4; ENERGY CODE § 150 (J) 2; PLUMBING CODE § 609.11-12)

REFER TO SHEET A2.2A FOR REFLECTED CEILING PLAN NOTES



# El Gato Residence

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**SHEET NAME :**  
PROPOSED RCP

REVISIONS	BY

<b>DRAWN:</b>
<b>CHECKED:</b>
<b>DATE:</b> 11/26/20
<b>SCALE:</b> AS SHOWN
<b>JOB No.:</b>
<b>SHEET No.:</b>

## A2.2



- LEGEND
- CHANDELIER/PENDANT
  - SURFACE MOUNTED FIXTURE
  - WATERPROOF SURFACE MOUNTED FIXTURE
  - UNDER-CABINET LED STRIP
  - LED PANEL – FLUSH MOUNTED PROVIDED BY CLIENT
  - LIGHT SWITCH
  - LIGHT SWITCH FOR EXTERIOR LIGHTS SEE NOTE
  - DIMMER SWITCH
  - 4" LED DOWN LIGHTS – HIGH EFFICACY– CA TITLE 24 COMPLIANT – LITHONIA 48PMW LED 30K 90CRI 2700K
  - EXTERIOR LIGHTS 3" ADJUSTABLE DOWNLIGHT
  - SPOTLIGHT
  - FLUSH GIMBAL RING
  - 440-WH WHITE GIMBAL RING
  - WALL SCONCE
  - EXTERIOR CALIFORNIA T-24 COMPLIANT
  - EXHAUST FAN W/ LED LIGHT
  - PANASONIC WHISPER QUIET, NIGHT LIGHT, HUMIDISTAT – 50–80% HUMIDITY LIGHT TO BE CONTROLLED BY SEPARATE SWITCH AND FAN ON SEPARATE SWITCH
  - EXHAUST FAN – PANASONIC QUIET HUMIDISTAT – 50–80% HUMIDITY LIGHT TO BE CONTROLLED BY SEPARATE SWITCH AND FAN ON SEPARATE SWITCH
  - COOKTOP FAN
  - DUPLEX OUTLET AFCI
  - FOURPLEX OUTLET AFCI
  - GFIC OUTLET
  - GFIC WATER PROOF OUTLET FOR EXTERIOR
  - SMOKE DETECTOR
  - 220V OUTLET
  - ETHERNET – CABLE – TELEPHONE ON 2 SEPARATE OUTLETS, & COAX CABLE
  - SPEAKERS
  - CEILING HEIGHT
  - GARBAGE DISPOSAL
  - CARBON MONOXIDE SMOKE DETECTOR
  - CEILING FAN
  - DOOR BELL CHIME
  - HEAT LAMP
  - VACANCY SENSOR
  - SECURITY CAMERA
  - ALL BATHROOM EXHAUST FANS ARE FROM PANASONIC WHISPER QUIET– AIR VOLUME – 100 CFM OR HIGHER, VERIFY W/ CLIENT
  - LED TRACK LIGHT

BROAN SSQTE080  
80 CFM – WHISPER QUIET

BATHROOM REMODEL REQUIREMENTS:

- PROVIDE WATERPROOFED MATERIAL AT SHOWER WALLS
- BATHROOMS SHALL HAVE A SEPARATE 20A CIRCUIT [CEC 210.11(C) (3)] WITH AT LEAST ONE GFIC WALL RECEPTACLE WITHIN 36 IN. OF EACH BASIN [CEC 210.8(A)(1); CEC 210.52(D)]
- ALL BATHROOM LIGHTING WILL BE HIGH EFFICACY LUMINAIRE
- EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CONTROL SWITCHES (EVEN IF A COMBINATION UNIT IS INSTALLED). THE EXHAUST FAN MAY NEED TO BE SUPPLIED BY A GFIC PROTECTED CIRCUIT BASED ON THE MANUFACTURER'S REQUIREMENTS. (CEES 150.0 (D))
- EXHAUST FANS ARE REQUIRED IN ALL BATHROOMS, EVEN IF AN OPERABLE WINDOW IS INSTALLED. (CA ENERGY EFFICIENCY STANDARDS SECTION 150)
- EXHAUST FANS SHALL TERMINATE A MIN OF 3' FROM OPENINGS INTO THE BUILDING. (CMC 504.5) EXHAUST FANS AT SHOWER SHALL BE LISTED FOR WET LOCATION AND SHALL BE GFIC PROTECTED. (CEC 210) UNLESS FUNCTIONING AS A COMPONENT OF THE WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD AND MAINTAIN 22" CLEARANCE (CPC 408.5) SHOWER COMPARTMENT SHALL BE MIN 1024 SQ. IN. ENCOMPASSING A 30" CIRCLE (CPC 408.6)

GROUNDING ELECTRODE CONDUCTOR TO UFER GROUND TO BE MIN #4 FOR A 200 AMP SERVICE

NOTE FOR ALL BATHROOMS:

PROVIDE DEDICATED 20 AMP CIRCUIT FOR ALL BATHROOM OUTLETS. THE CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.  
EXCEPTION – WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOMS HALL BE PERMITTED TO BE SUPPLIED) CEC 210.11(C)(3) AND 210.52 (D)

PROVIDE MANUAL-ON VACANCY SENSOR THAT COMPLIES WITH CEC SECTION 119 (D) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO BE ALWAYS ON.

NOTE :

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE MIN. OF 3' FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY SANS ETC. MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENINGS, SKYLIGHTS OR ATTIC VENTS) CMC 504.5

ALL ELECTRICAL RECEPTACLES SHALL BE TAMPER PROOF PER ARTICLE 406.12 AND 210.52 CEC 2019.– ALL 125 V, 15 AND 20 AMP RECEPTACLES FOR ALL AREAS OF SINGLE FAMILY HOME.

EAVES TO HAVE WP OUTLETS AND HOOKS FOR CHRISTMAS LIGHTS.

ALL BATHROOM AND KITCHEN OUTLETS TO BE GFIC OUTLETS

ALL CARBON MONOXIDE DETECTORS TO BE INTERCONNECTED –SECTION R315 – 2019 CRC CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP PER CRC R315.1.1

SMOKE DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED WITH A BATTERY BACKUP.– R314– 2019 CRC

ALL KITCHEN OUTLETS TO BE AT 48" O.C. PER NEC 210–52

ALL SHOWER LIGHTS TO BE SHATTERPROOF AND DAMPPROOF.

BATHROOM FANS A MIN 50 CFM EXHAUST RATE, AND FAN TO HAVE BACKDRAFT DAMPER. IF FAN IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2, MAX SOUND RATING OF 3 SONES IS ALLOWED AT 100 CFM, PER ASHRAE 62.2 AND 2019 ENERGY CODE.

CENTRAL HEATING EQUIPMENTS TO HAVE DEDICATED CIRCUITS. A/S ARE PERMITTED TO USE THE SAME CIRCUIT – SECTION 422.12 OF 2019 CEC.

LAUNDRY OUTLET IS A DEDICATED CIRCUIT, PER SECTION 210.11C – CEC 2019

DINING ROOM, KITCHEN, BREAKFAST ROOM AND KITCHEN COUNTERTOP OUTLETS ARE REQUIRED TO BE ON AT LEAST 2 DEDICATED CIRCUITS, PER SECTION 210.52B(2) OF THE 2019 CEC.

LAUNDRY AREA AND WITHIN 6 FEET OF SINK FOR REFRIGERATOR AND GARBAGE DISPOSAL (210.8A)

LIGHT FIXTURES SHALL BE CENTERED WITHIN EACH ROOM, U.O.N.

COORDINATE EXACT LIGHT FIXTURE AND MECH. DIFFUSER LOCATION WITH ARCHITECT IN THE FIELD.

ALL RECESSED LUMINARIES IN INSULATED CEILING SHALL BE IC RATED, ELECTRONIC BALLAST AND AIR TIGHT (AT).

SMOKE ALARMS SHALL NOT BE INSTALLED WITHIN 3' OF BATHROOM DOOR, FAN OR SUPPLY REGISTERS. IONIZATION SMOKE ALARMS MUST NOT BE INSTALLED WITHIN 20 FEET HORIZONTAL OF COOKING APPLIANCES, PHOTOELECTRIC MAY BE INSTALLED 10 FEET HORIZONTAL OF COOKING APPLIANCES

ALL 120–VOLT, SINGLE–PHASE, 15– AND 20–AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC–FAULT CIRCUIT INTERRUPTER. (CEC 210.12)

ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREA, SINKS (WITHIN 6 FEET OF THE EDGE OF THE SINKS, BATHTUBS, OR SHOWERS), SHALL HAVE GROUND–FAULT CIRCUIT INTERRUPTER (GFIC) PROTECTION. (CEC 210.8)

IN ALL AREAS SPECIFIED IN 210.52, ALL 125–VOLT, 15– AND 20– AMPERE RECEPTACLES SHALL BE LISTED TAMPER–RESISTANT RECEPTACLES. (CEC 406.12)

- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FT. FROM ANY OUTLET, INCLUDING ANY WALL SPACE 2 FT. WIDE OR GREATER. NOTE: A FIXED PANEL OF A SLIDING GLASS DOOR IS CONSIDERED WALL SPACE. [CEC 210.52(A)]
- IN KITCHENS, BREAKFAST ROOMS, PANTRIES AND DINING ROOMS A MINIMUM OF 2–20A CIRCUITS SHALL BE PROVIDED [CEC 210.11(C) (1)]. COUNTER SPACE RECEPTACLES SHALL BE GFIC [CEC 210.8(A)] AND INSTALLED.
- AT EACH WALL COUNTER SPACE THAT IS 12 IN. OR GREATER [CEC 210.52(C)(1)] ;
- NO MORE THAN 48 IN. OC. [CEC 210.52 (C)(1)];
- MAXIMUM 24 IN. FROM THE END OF THE COUNTER [CEC 210.52 (C)(1)];
- MAXIMUM 20 IN. ABOVE COUNTER SURFACE [CEC 210.52 (C)(5)];
- ON ISLAND COUNTER SPACES (ONE RECEPTACLE MIN.) NOT MORE THAN 12 IN. BELOW COUNTER SURFACE [CEC 210.52(C)(5) EXCEPTION]. AN ISLAND WITH LESS THAN 12" BEHIND A RANGE TOP OF SINK IS CONSIDERED AS DIVIDING THE COUNTERTOP INTO TWO SEPARATE SPACES [CEC 210.52(C)(2)].
- ON PENINSULAR COUNTER SPACES (ONE RECEPTACLE MIN.) NOT MORE THAN 12 IN. BELOW COUNTER SURFACE [CEC 210.52(C)(5) EXCEPTION]

ELECTRICAL NOTES:

MICROWAVE TO BE ON DEDICATED CIRCUIT

ALL EXTERIOR OUTLETS TO BE GFIC & WATERPROOF OUTLETS

IN ADDITION TO WHAT IS INDICATED ON KITCHEN FLOOR PLANS CONTRACTOR SHALL ENSURE THAT NO POINT ALONG COUNTER WALL IS OVER 24" FROM GFIC TYPE RECEPTACLE AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" PER CEC CODE 210–52(C) CONTRACTOR AND SUB–CONTRACTOR TO COMPLY WITH ALL APPLICABLE CURRENT CODES AND MAKE NECESSARY CHANGES

KITCHEN ISLAND – OUTLETS ARE REQUIRED BUT OUTLET CANNOT BE PLACED BELOW COUNTER IF THE COUNTER IF THE COUNTER HAS AN OVERHANG OF MORE THAN 6" BEYOND THE COUNTER SUPPORT WALL AND CANNOT BE MORE THAN 12" BELOW THE COUNTERTOP. PER SECTION 210.52C – 2019 CEC. KNEE SPACE –10" MAX.

IN ADDITION TO WHAT IS INDICATED ON FLOOR PLANS IN BEDROOMS AND LIVING SPACES CONTRACTOR SHALL ENSURE THAT NO POINT ALONG PERIMETER WALLS (MEASURED HORIZONTALLY) IS OVER 6' FROM RECEPTACLES AND ON ANY WALL 24" OR MORE IN WIDTH PER CEC CODE 210–52 (A)(1)(2)

ANTI–HAMMER DEVICE TO BE INSTALLED AT DISHWASHER

ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP PLATES SHALL BE CAULKED WITH A RESIDENTIAL RATED FIRE CAULK WITH AN ASTM E136 RATING

ALL BATHROOM RECEPTACLES, OUTDOOR & KITCHEN, COUNTER RECEPTACLES SHALL BE GFIC. PROVIDE (1) DETACHED CIRCUIT FOR BATHROOM RECEPTACLES ONLY.

ALL PLASTIC CONDUIT OR CABLE IN 1 HOUR WALL SHALL BE "F" RATING.

LAYOUT IS FOR "MUST HAVES", CONTRACTOR TO ADD PLUGS AS NEEDED TO COMPLY WITH CODE.

ALL BRANCH CIRCUIT THAT SUPPLY 120 VOLT, SINGLE PHASE, 15 AND 20AMP BRANCH CIRCUIT SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY A LISTED ARC–FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC 210.12

ALL VENTILATION HEATING AND AIR CONDITIONING SYSTEMS TO HAVE MERV 13 FILTERS OF BETTER.

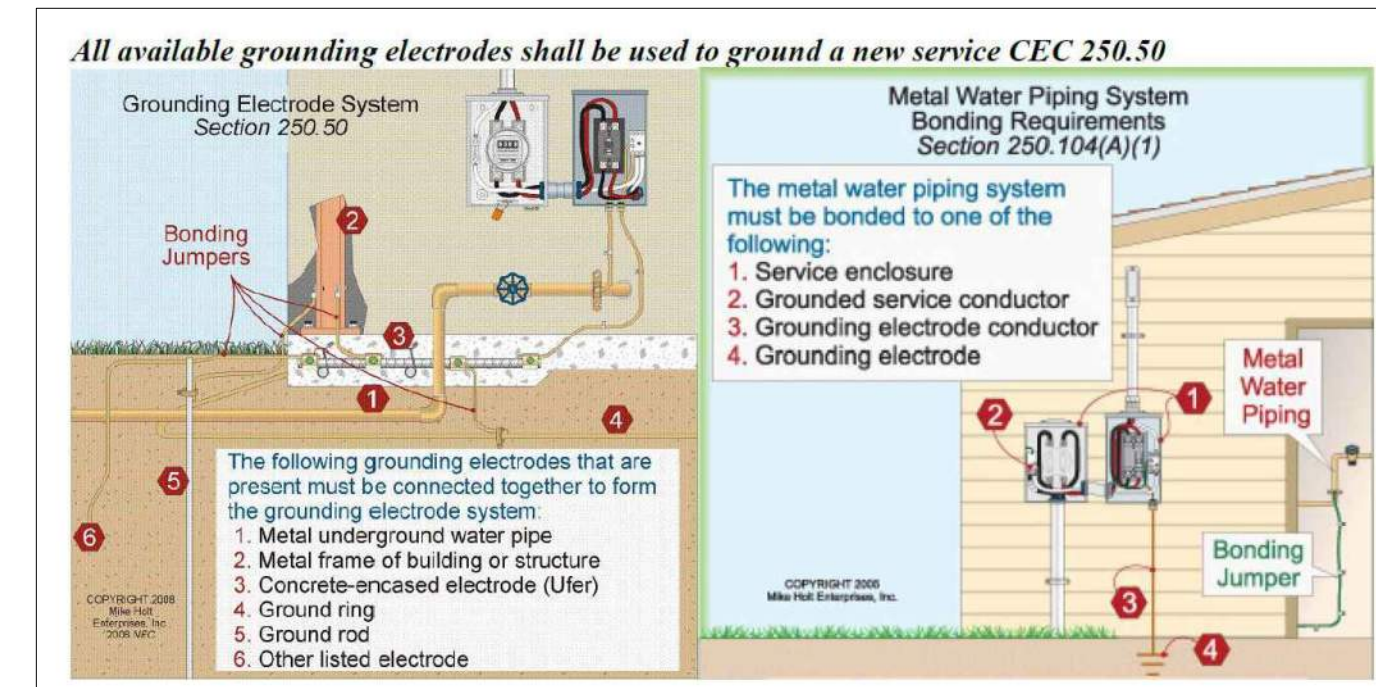
PROVIDE NEST THERMOSTAT FOR THE 2 FLOORS

KITCHEN RANGE HOODS: HERS–VERIFIED MIN. VENTILATION AIRFLOW PER ASHRAE 62.2, SECTION 5 AND MAX. SOUND RATING PER ASHRAE 62.2, SECTION 7.2 (3 SONES AT ONE OR MORE AIRFLOW SETTINGS ≥100 CFM).

COORDINATE LOCATION OF RETURNS, SUPPLY AND REGISTERS ON SITE WITH CONTRACTOR AND MECHANICAL SUB CONTRACTOR.

ALL FURNACES AND DUCTS TO BE SIZED PER MANUAL J, D & S

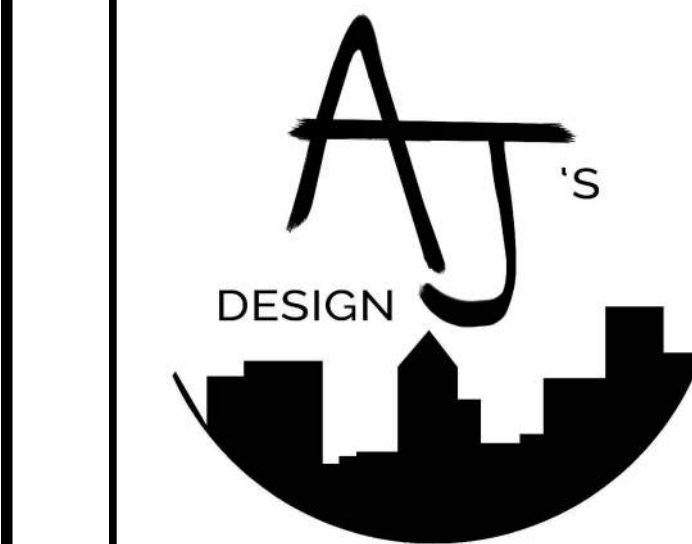
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE, SHALL BE CERTIFIED AS AIRTIGHT (INCLUDING EXHAUST FAN HOUSINGS), SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING. SHALL NOT CONTAIN SCREW BASE SOCKETS, AND ALL LIGHT SOURCES SHALL BE MARKED WITH "JAB–2019–E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JAB.
- ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
- IN BATHROOMS GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND IN HALLWAYS).
- UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- RESIDENTIAL OUTDOOR LIGHTING TO BE HIGH–EFFICACY, CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT PERMITS THE AUTOMATIC FUNCTION OF PHOTOCONTROL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS.



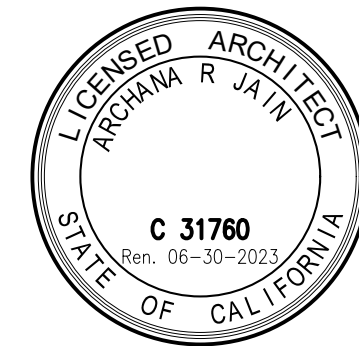
For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".



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SHEET NAME :  
PROPOSED RCP NOTES

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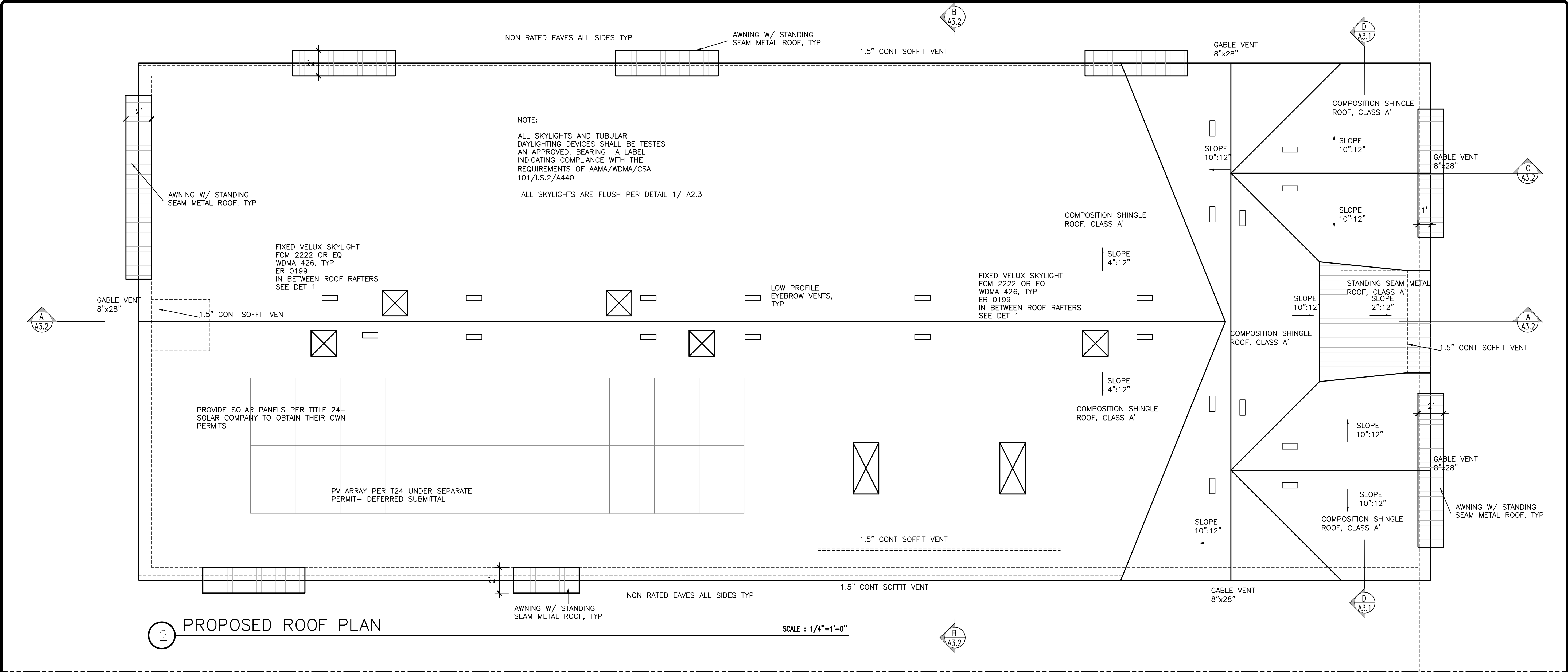
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SHEET No.:	

A2.2A

PROPOSED REFLECTED CEILING PLAN NOTES

SCALE : 1/4"=1'-0"





2 PROPOSED ROOF PLAN

SCALE : 1/4"=1'-0"

ROOF VENT CALCULATIONS:

VENTING OF ATTIC SPACE CALCULATIONS

ATTIC SPACE = 3787 SQ.FT.

3787/150= 25 SQ.FT

25x 144 = 3600 SQ.IN. REQUIRED

ADD 5% FOR SCREENS ETC = 3780 SQ.IN

50% VENTING ACHIEVED BY THE LOW PROFILE DORMER VENTS AT A HEIGHT OF ABOVE 3' FROM THE EAVE

LOW PROFILE EACH VENT = 81 SQ.IN

22 LOW PROFILE VENTS = 1782 SQ.IN

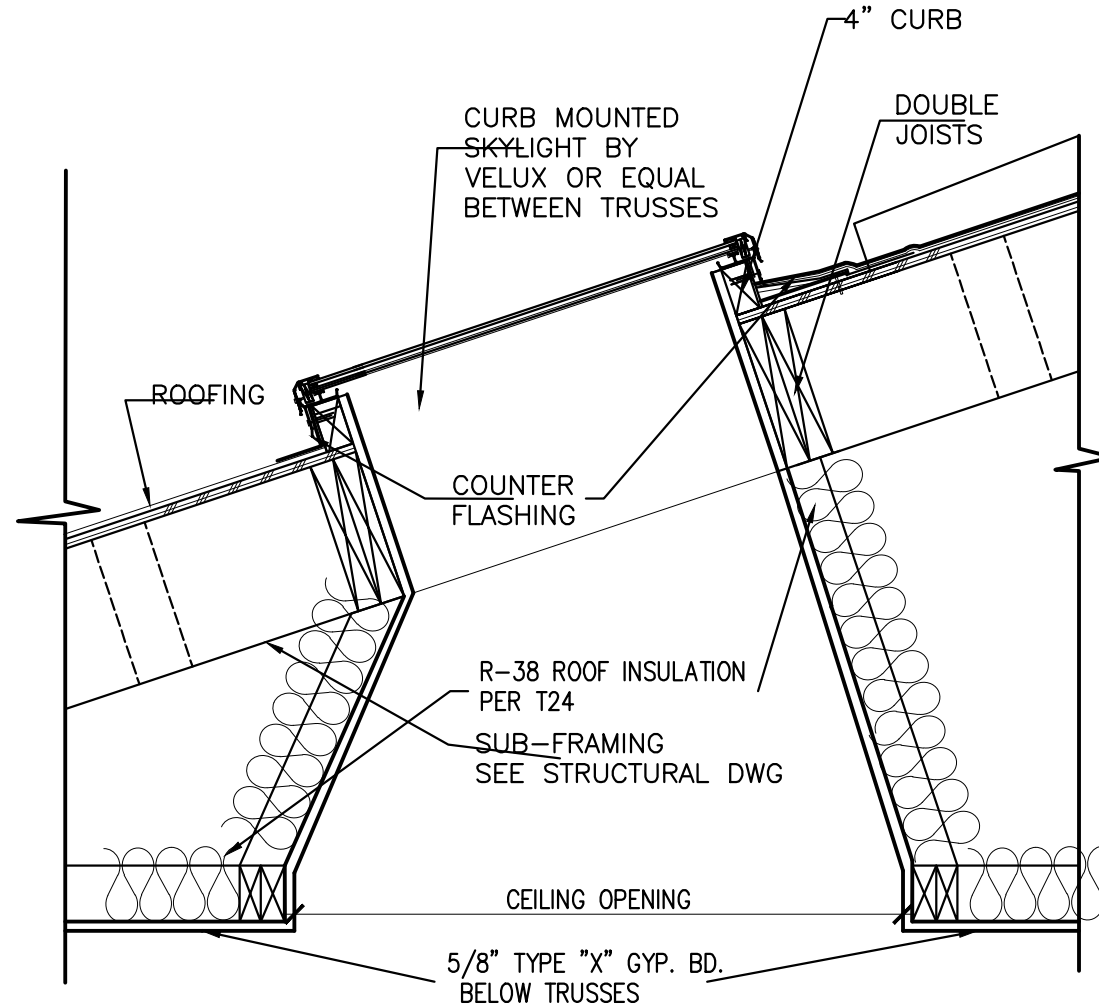
5 GABLE VENTS - 5x8x28= 1120 SQ.IN

EACH BLOCK TO HAVE 3-2" HOLES = 9.42 SQ.IN

100 BLOCKS = 942 SQ.IN

3844 SQ.IN VENT PROVIDED

1.5" CONTINUOUS SOFFIT VENT PROVIDED AT SOFFITS



1 SKYLIGHT DETAIL

SCALE : 1"=1'-0"

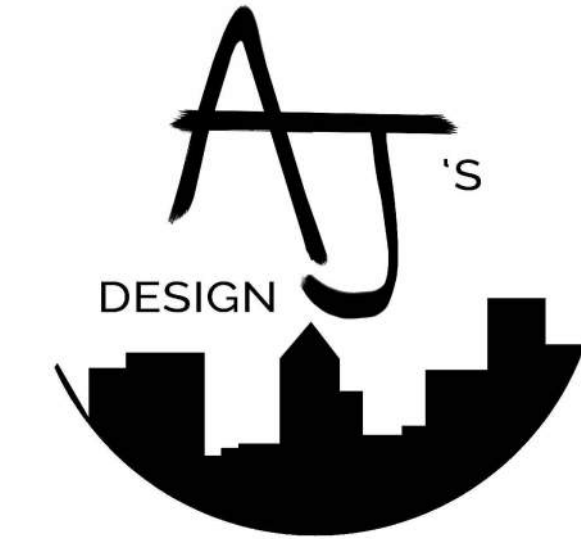
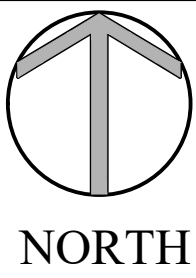
03.02.03 -12/4/03 -012 -SKYLIGHT -

ROOF PLAN GENERAL NOTES:

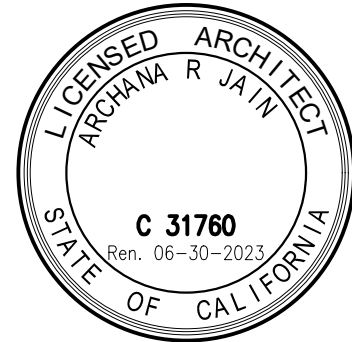
1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL ROOF OPENINGS AND EQUIPMENT PLATFORMS REQUIRED.
2. DUCT ALL ROOF EXHAUST VENTS/FANS TO THEIR RESPECTIVE OPENINGS IN ROOM BELOW
3. ALL ROOF AREAS SHALL SLOPE A MINIMUM OF 1/4":12"
4. CONTRACTOR SHALL CONFIRM THAT ALL ROOF AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING. ALL ROOF DRAINS SHALL BE LOCATED AT THE LOWEST POINT OF THE ROOF TAKING INTO CONSIDERATION THE CAMBER OF BEAMS AND DEFLECTION OF CANTILEVERS.
5. PROVIDE FLASHING AND COUNTER FLASHING AT MECHANICAL EQUIPMENT CURBS.
6. ROOFING CONTRACTOR SHALL PROVIDE A CERTIFICATE STATING THAT THE ROOF HAS BEEN APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
7. REFER TO PLUMBING DRAWINGS FOR PLUMBING VENTS AND PIPES THROUGH ROOF THAT MAY NOT BE SHOWN ON THIS PLAN. PROVIDE FLASHING AND COUNTER FLASHING AT MECHANICAL EQUIPMENT CURBS AND TOILET VENTS. ALL FLASHINGS AND VENTS TO BE PAINTED WITH RUST PROOF PAINT.
8. REFER TO MECHANICAL DRAWINGS FOR OPENING DUCTS AND VENTS THROUGH ROOF WHICH MAY NOT BE SHOWN ON THIS ROOF
9. ALL OPENINGS ON ROOF LARGER THAN 8'X8' SHALL BE PROTECTED WITH BURGLAR BARS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. THE BARS SHALL NOT EXCEED 5" O.C.
10. ROOFING CONTRACTOR SHALL PROVIDE A 10 YEAR ROOF WARRANTY FOR NEW ROOF INSTALLED.
11. REFER TO STRUCTURAL DRAWINGS FOR ROOF FRAMING
12. ALL ROOF MATERIALS AND ACCESSORIES ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
13. ALL ROOF PENETRATIONS ARE TO BE INSTALLED PER MANUFACTURER DETAILS.
14. ALL BATHROOM AND KITCHEN VENTS TO BE LOCATED AWAY FROM THE FRONT ELEVATION - FRONT PART OF ROOF AND GARAGE, AS MUCH AS POSSIBLE.

NOTE:

1. ALL FLASHINGS WILL BE 26 GA GI U.O.N
2. ALL GUTTERS WILL BE 26 GA GI U.O.N
3. ALL ROOFS, TERRACES AND DECKS WILL BE CLASS "A"
4. ALL RAIN WATER LEADERS IN THE WALLS AND POSTS TO BE OF CAST IRON
5. ALL VALLEY FLASHINGS TO BE 26 GA GI INSTALLED OVER A MIN. 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 RUNNING THE FULL LENGTH OF THE VALLEY
6. ALL GUTTERS TO HAVE SCREENS



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PROPOSED ROOF PLAN



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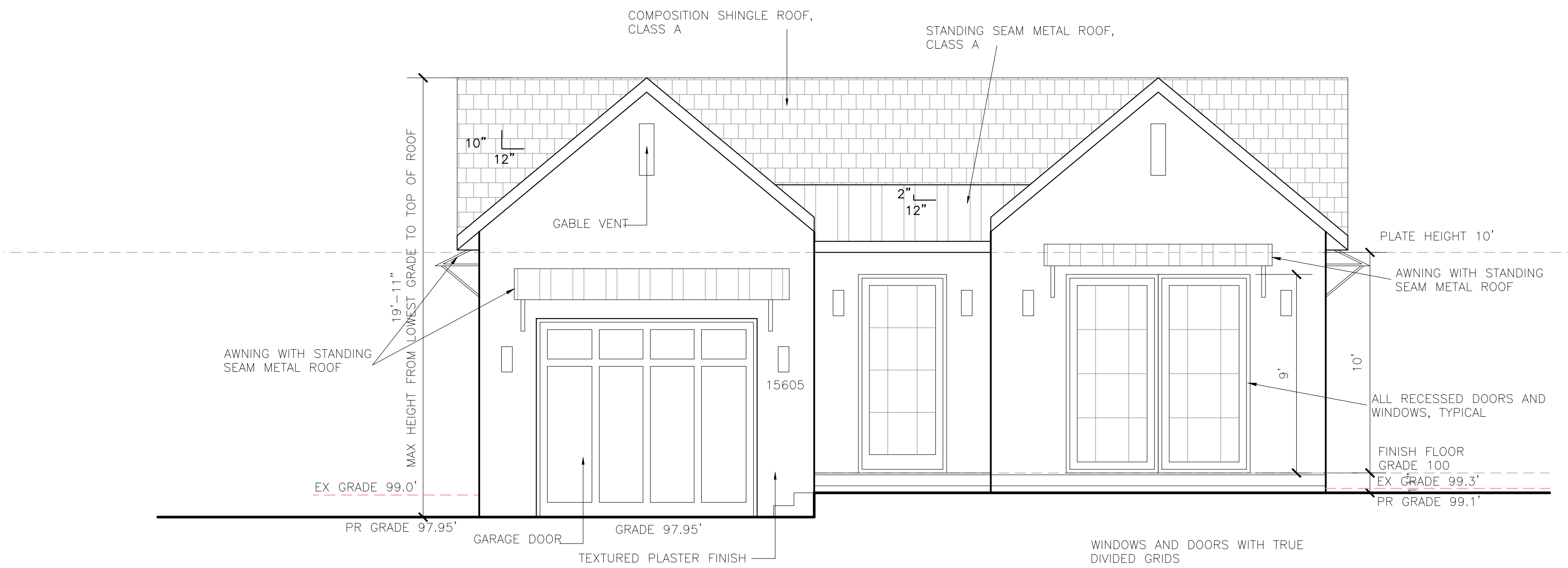
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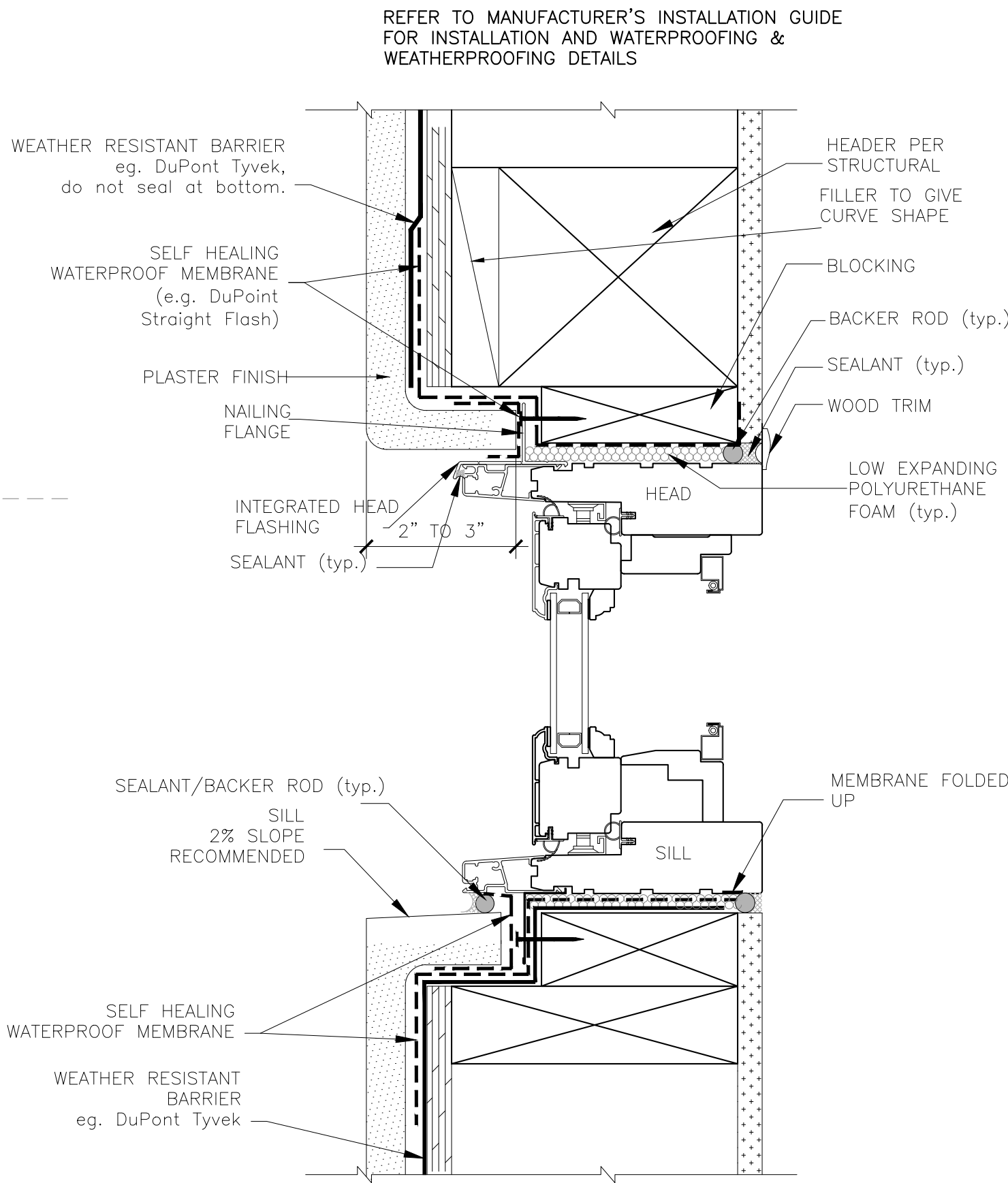
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1 PROPOSED FRONT EAST ELEVATION

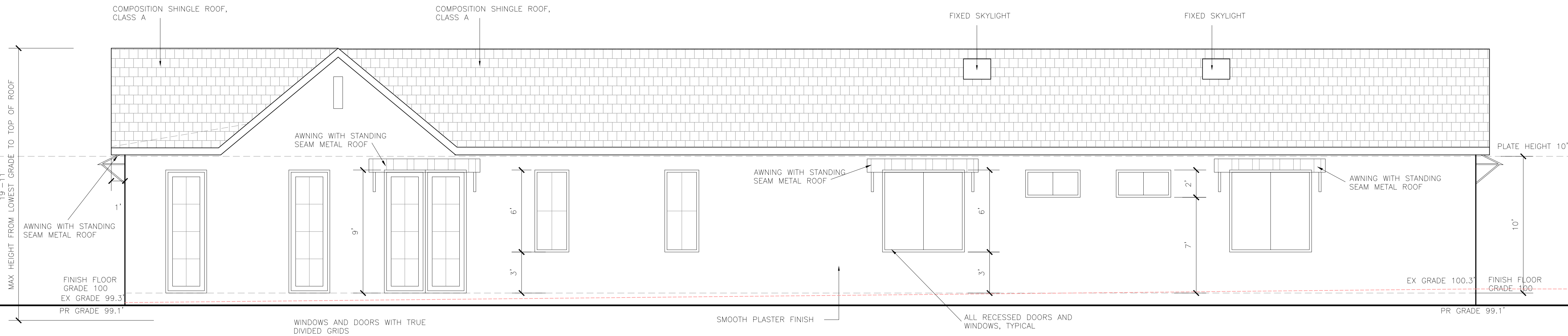
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3 WINDOW HEAD AND SILL DETAIL

SCALE: 3/16"=1'-0"

09.03.02 4/15/10 -04 -WINDOW -ARJ

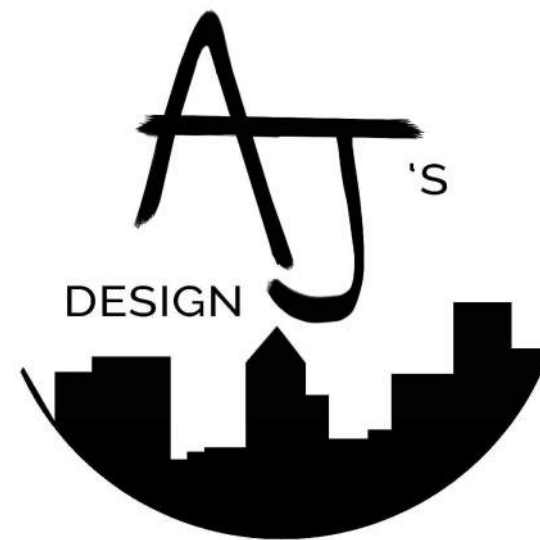


2 PROPOSED NORTH SIDE ELEVATION

SCALE : 1/4"=1'-0"

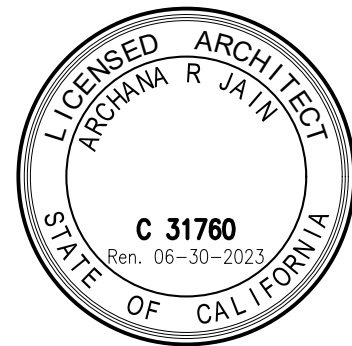
NOTE FOR ADDRESSING

THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)



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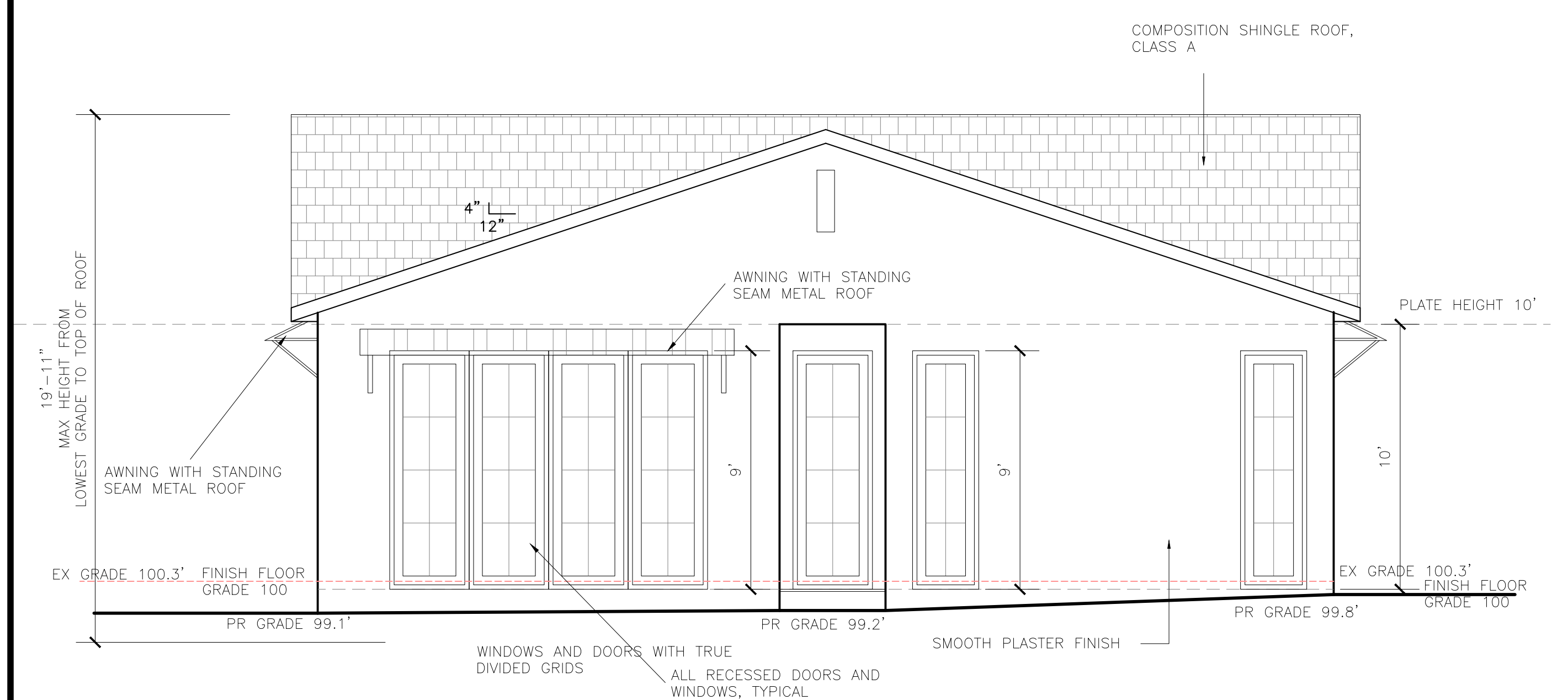
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PROPOSED ELEVATIONS

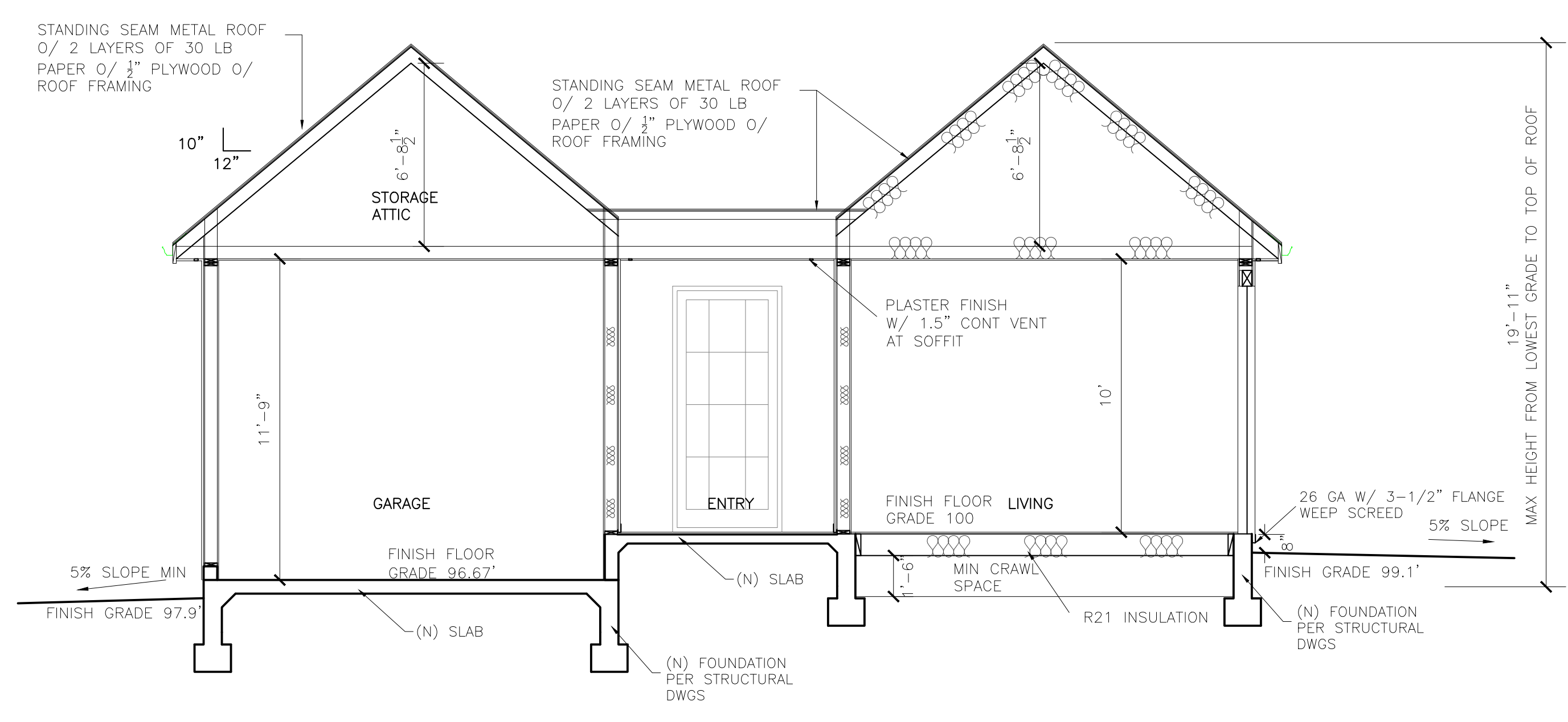
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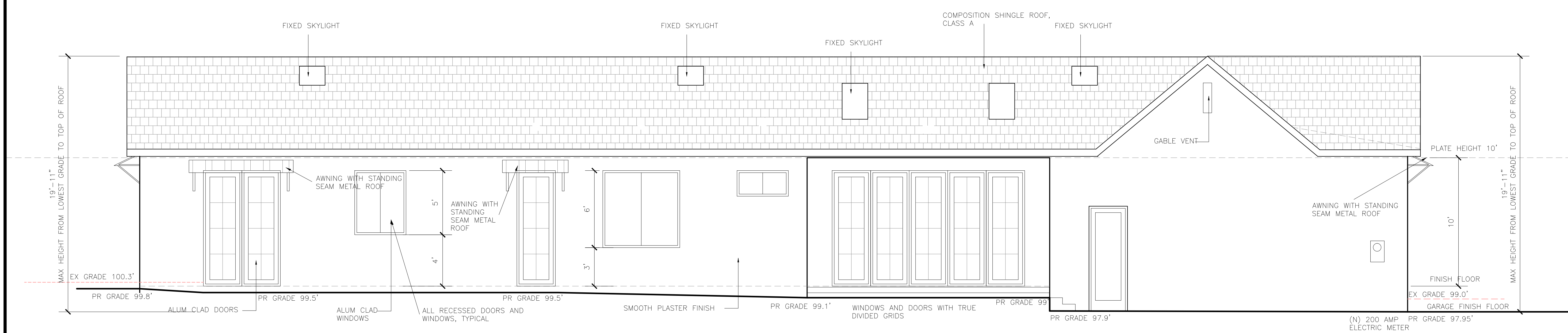
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1 PROPOSED REAR WEST ELEVATION SCALE : 1/4"=1'-0"

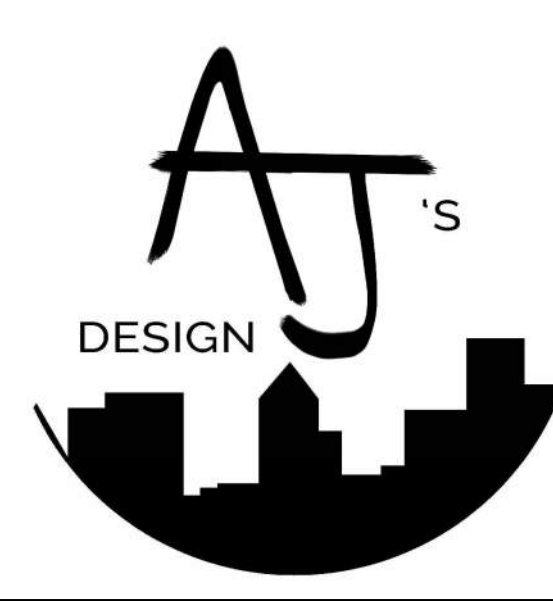


3 SECTION D-D SCALE : 1/4"=1'-0"



2 PROPOSED SOUTH SIDE ELEVATION SCALE : 1/4"=1'-0"

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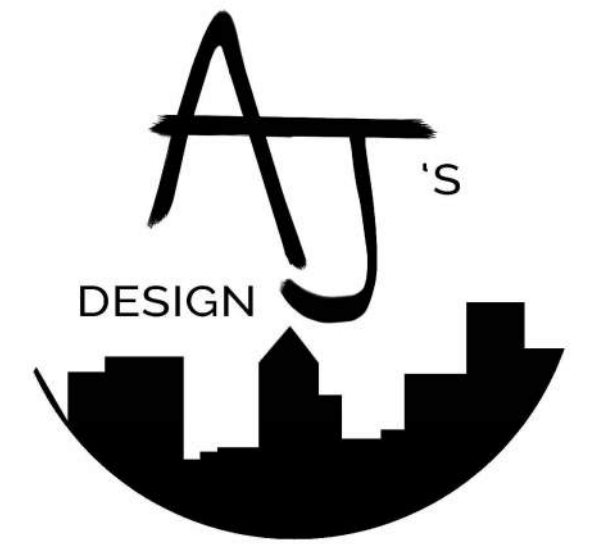
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PROPOSED ELEVATIONS

REVISIONS	BY

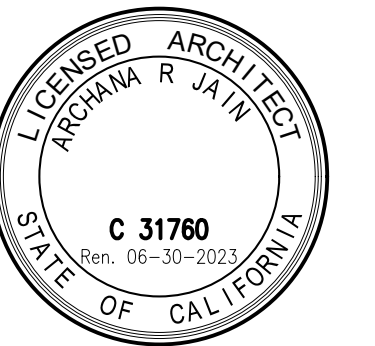
DRAWN:	
CHECKED:	
DATE:	11/26/20
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A3.1





El Gato Residence  
15605 El Gato Lane  
Los Gatos, CA 95032



GENERAL NOTES :  
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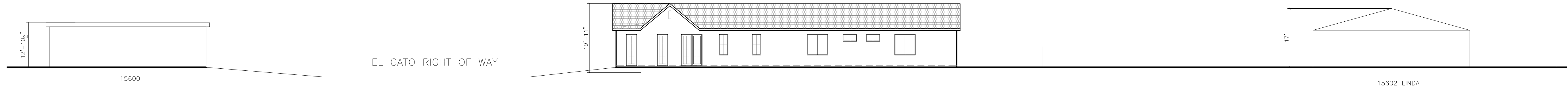
SHEET NAME :

PROPOSED SITE  
ELEVATIONS

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 11/26/20
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.0A



① SIDE ELEVATION WITH SECTION OF SIDE NEIGHBORS CONTEXT SCALE : 1/16"=1'-0"

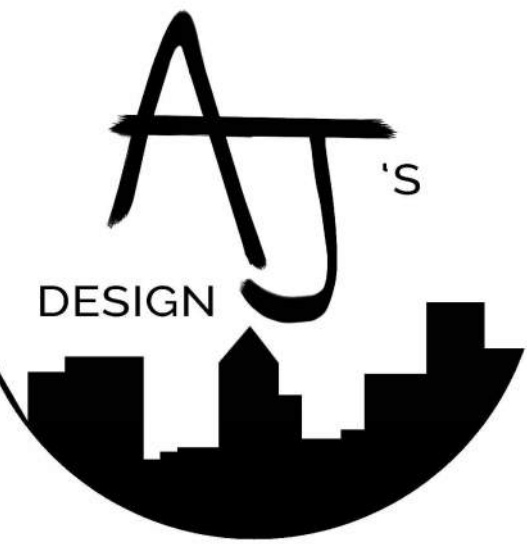


② FRONT ELEVATION OF 5 NEIGHBORS EXACTLY OPPOSITE SCALE : 1/16"=1'-0"

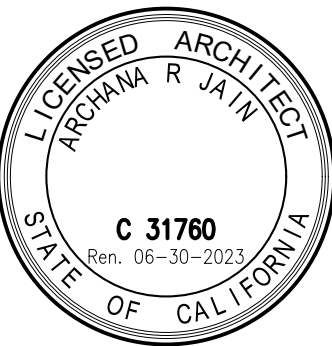


③ PROPOSED FRONT EAST ELEVATION  
STREETSCAPE SCALE : 1/16"=1'-0"





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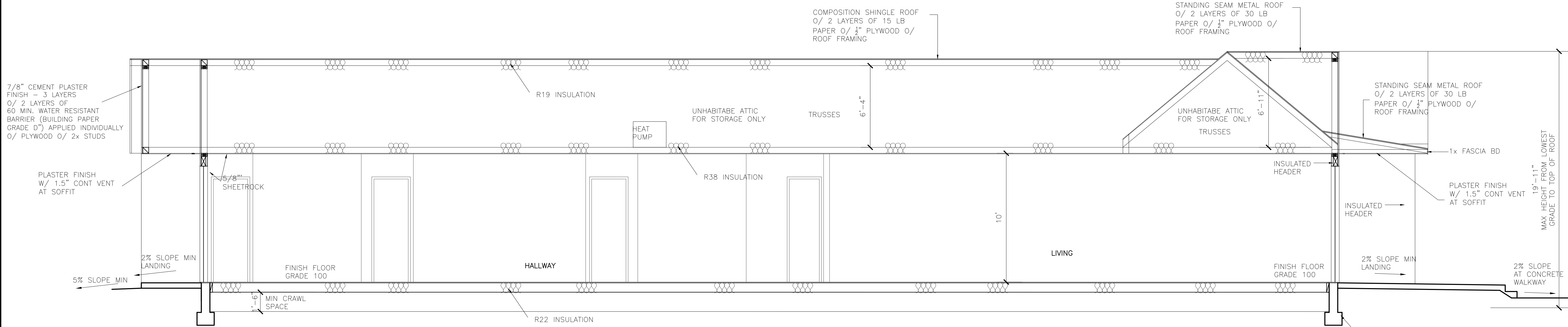
SHEET NAME :

SECTIONS

REVISIONS	BY

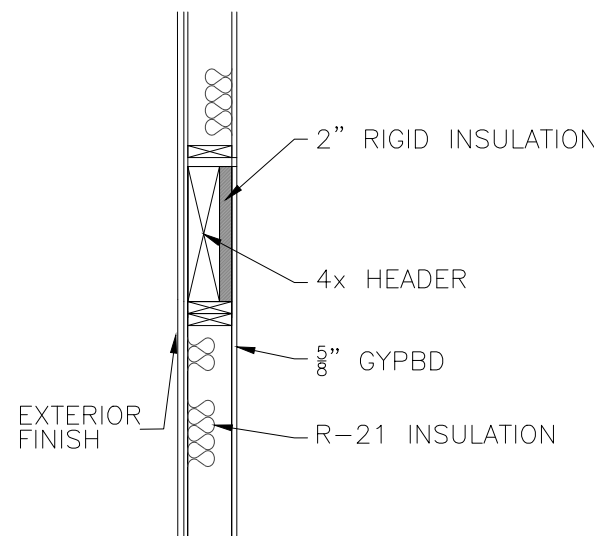
DRAWN:
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DATE: 11/26/20
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.2

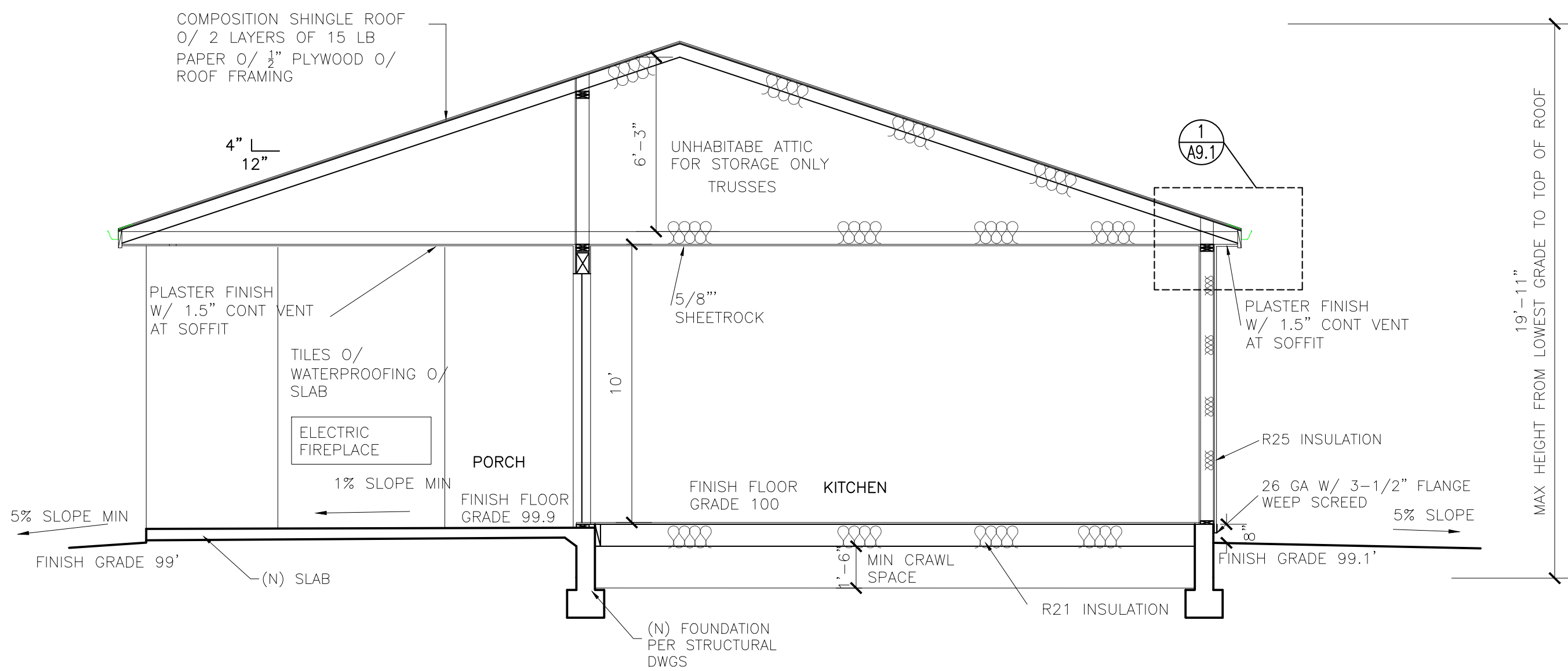


1 SECTION -A-A

SCALE : 1/4"=1'-0"

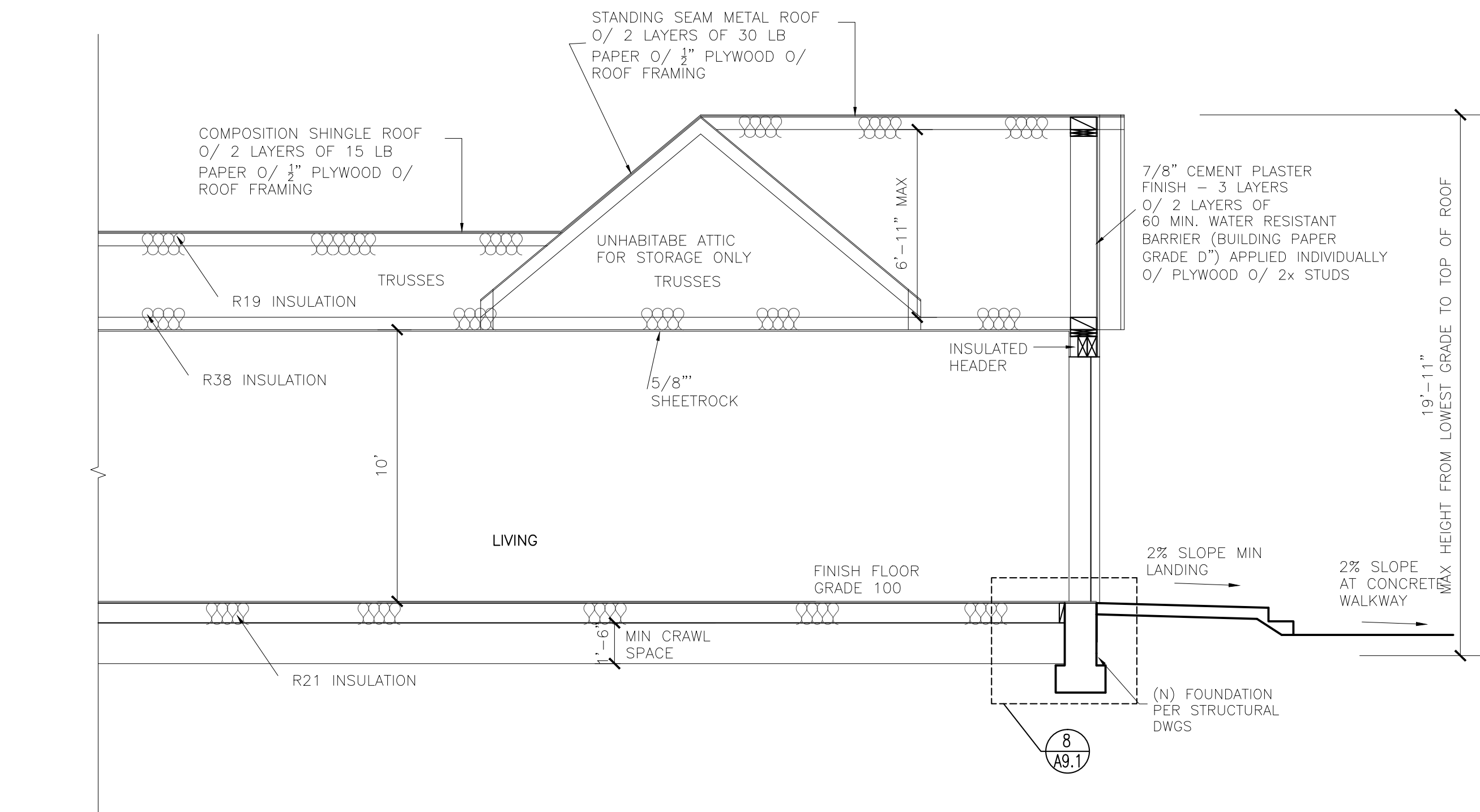


INSULATED  
HEADER DETAIL



2 SECTION -B-B

SCALE : 1/4"=1'-0"



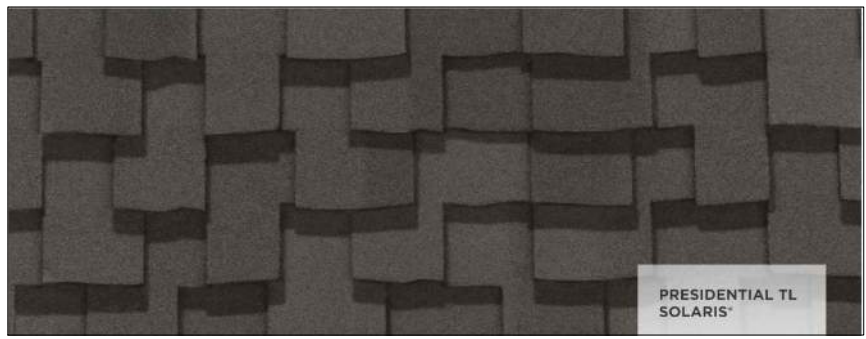
3 SECTION -C

SCALE : 1/4"=1'-0"





EXTERIOR WALL COLOR  
BENJAMIN MOORE OR EQ  
SWISS COFFEE



ROOF – COMPOSITION SHINGLE  
PRESIDENTIAL ROOF, CLASS A,  
COOL ROOF, CHARCOAL BLACK



ACCENT ROOF OVER AWNINGS –  
STANDING SEAM METAL ROOF,  
DARK BRONZE  
NON REFLECTIVE MATT FINISH



ACCENT ROOF OVER ENTRY AND  
AWNINGS – STANDING SEAM  
METAL ROOF, DARK BRONZE  
NON REFLECTIVE MATT FINISH



Pavel 9 1/2" High Textured Black  
LED Outdoor Wall Light

EXTERIOR LIGHTS – DOWNWARD FACING

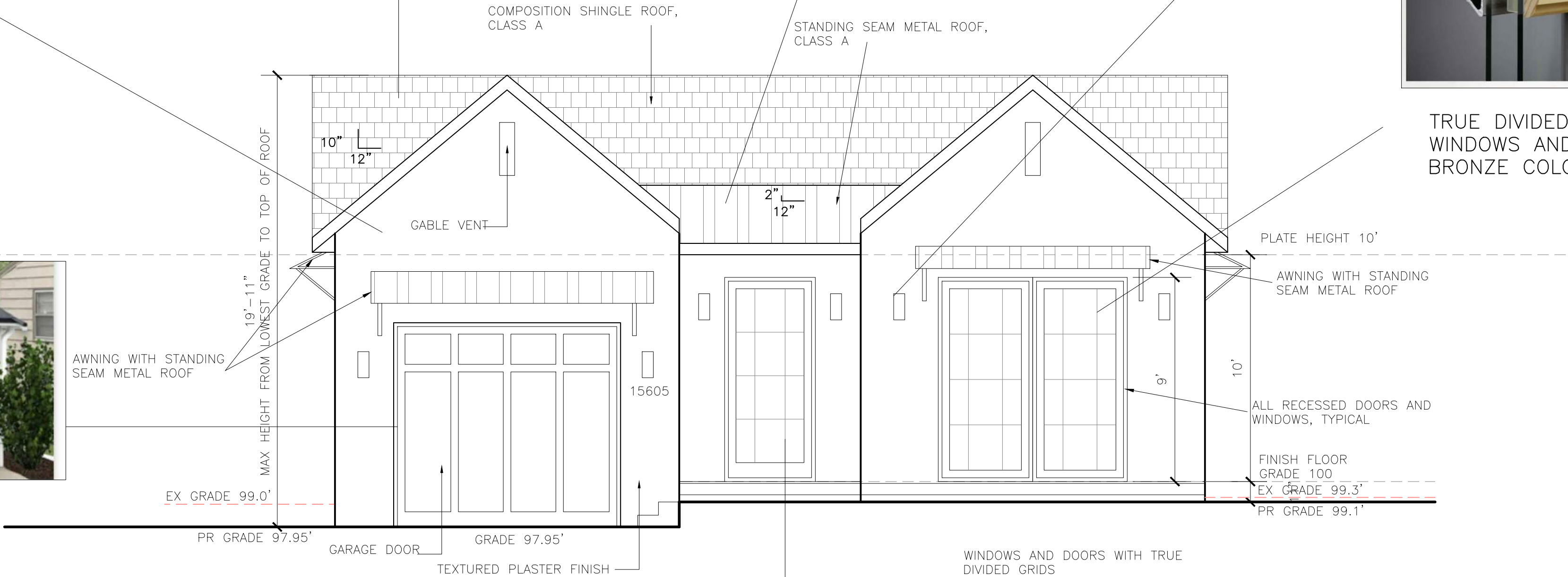
Performance Divided Lites



TRUE DIVIDED GRIDS FOR  
WINDOWS AND DOORS TYP,  
BRONZE COLOR

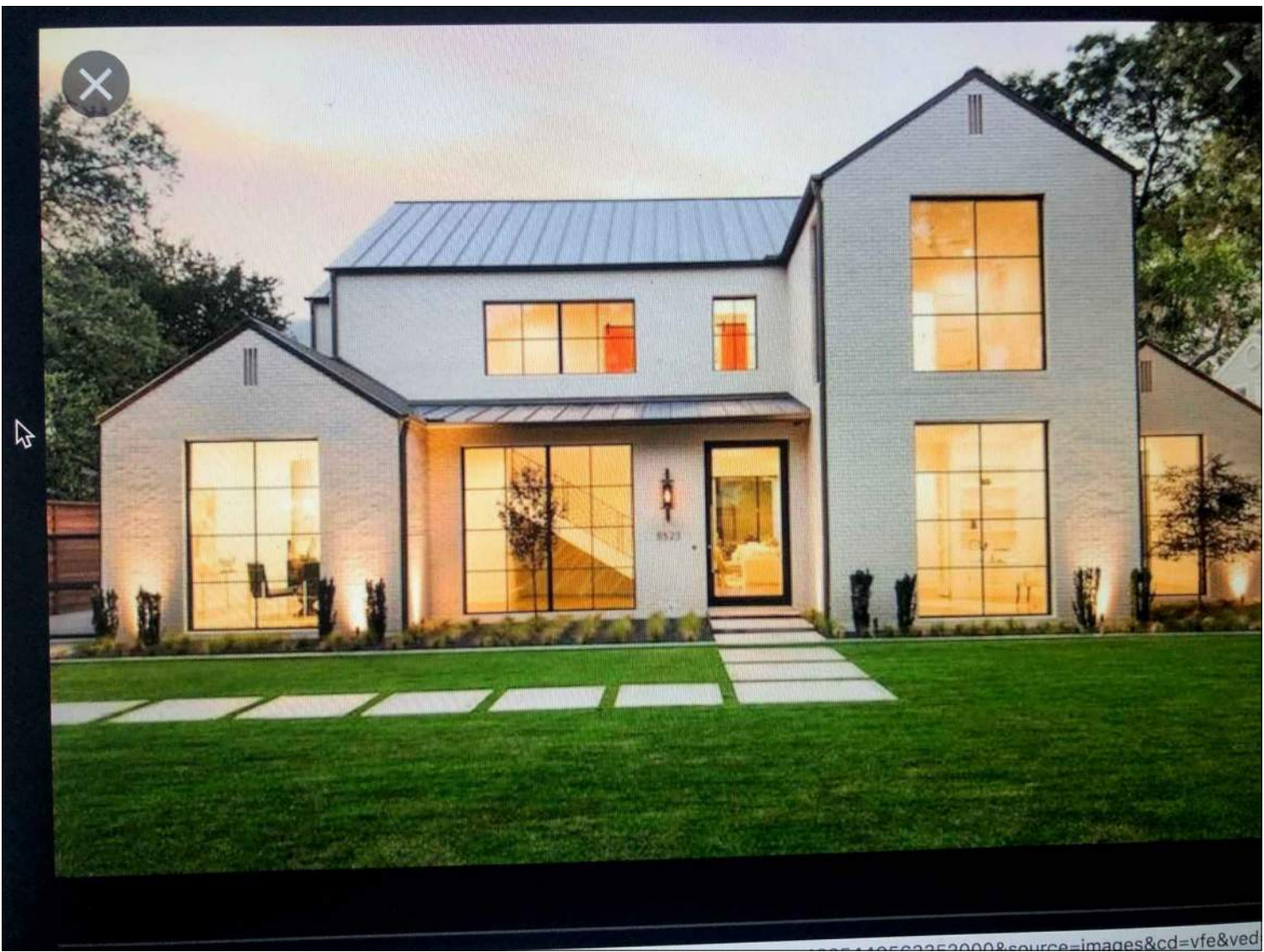


CARRIAGE STYLE GARAGE DOOR

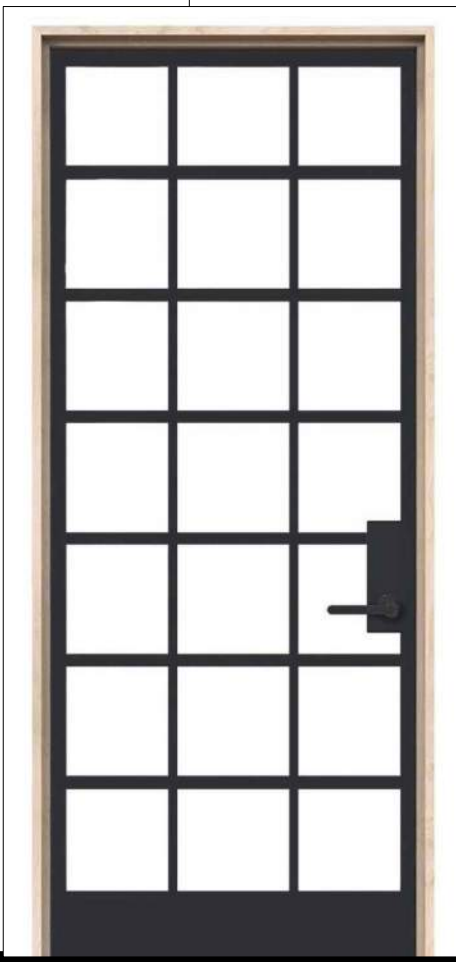


1 PROPOSED FRONT EAST ELEVATION

SCALE : 1/4"=1'-0"



DOORS AND WINDOWS ARE RECESSED 2" TO 3" TO  
GIVE THE DEPTH TO THE OPENINGS  
INSPIRATIONAL IMAGE

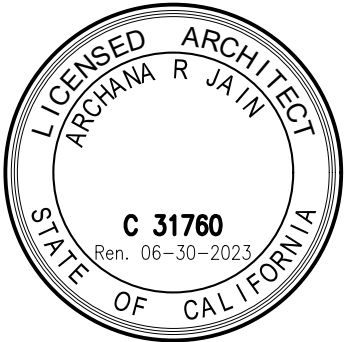


DARK BRONZE FRONT DOOR WITH  
TRUE DIVIDED GRIDS



El Gato Residence

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Los Gatos, CA 95032



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SHEET NAME :

COLOR AND MATERIALS

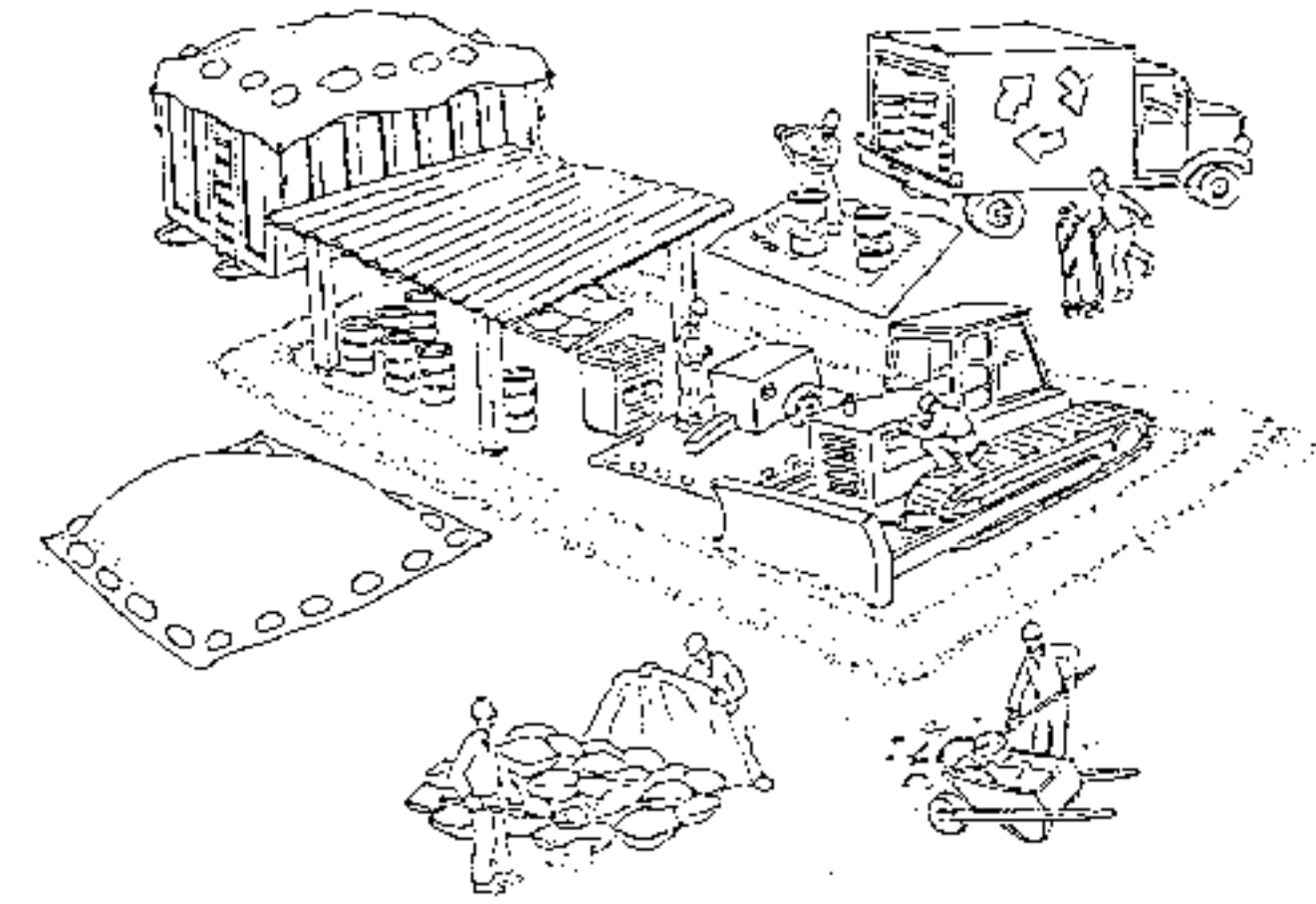
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DRAWN:	
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DATE:	11/26/20
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A3.3



# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc. ) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



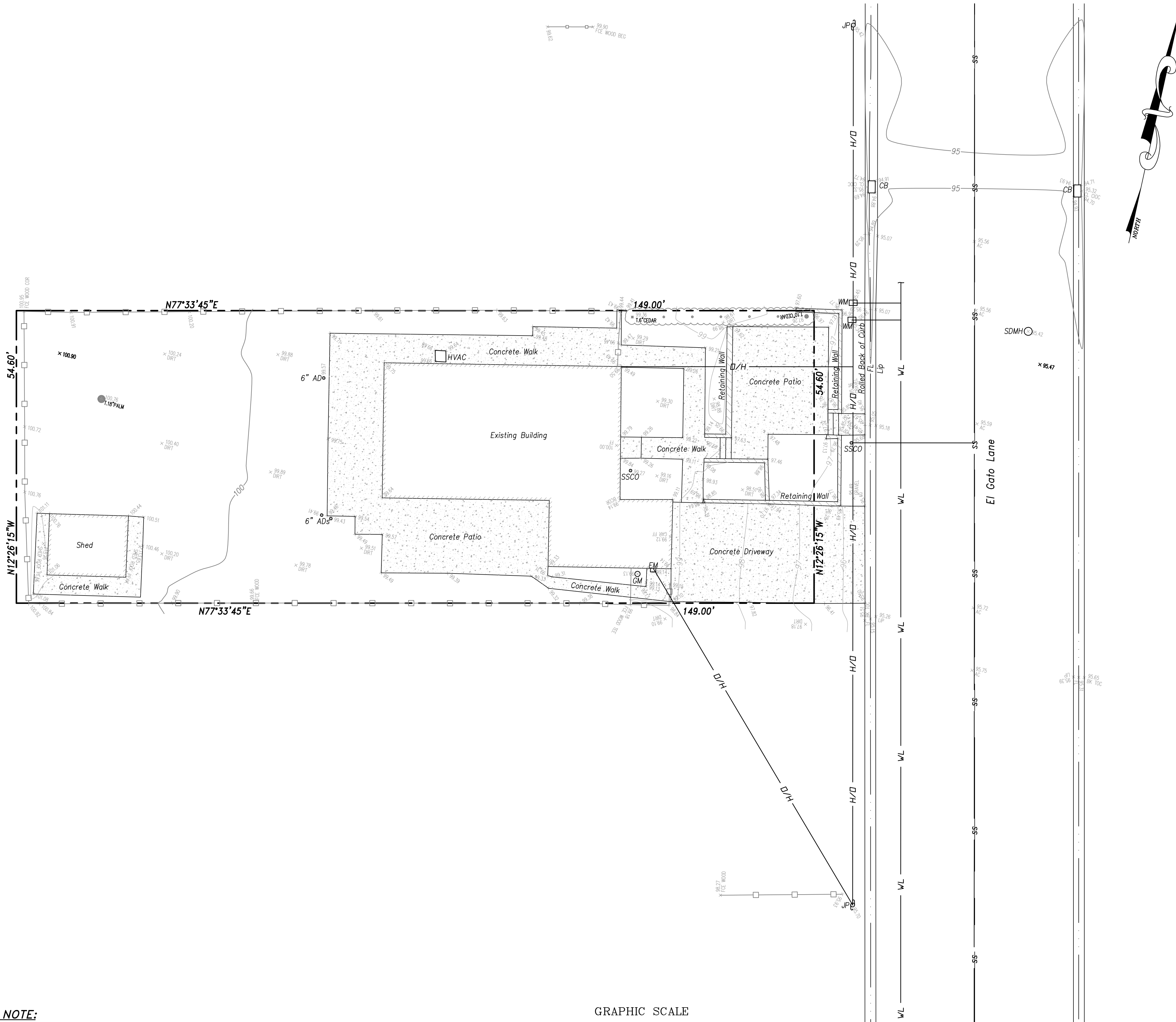
### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



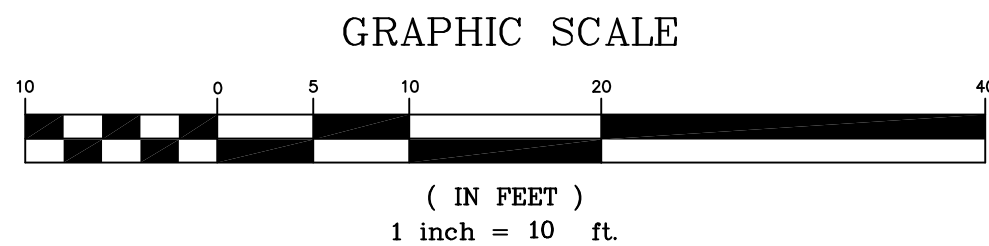
Storm drain polluters may be liable for fines of up to \$10,000 per day!





LEGEND	
SYMBOL	DESCRIPTIONS
	BOUNDARY / RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE (C)
	RETAINING WALL
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	DRAIN INLET
	PERCENT GRADE
	EXISTING GRADE ELEVATION
	EXISTING CONTOUR w/ ELEVATION
	EXISTING TREE w/ DBH
ABBREVIATIONS	
AC	AIR CONDITIONER UNIT
AD	AREA DRAIN
AP	ASPHALT PAVEMENT
BFP	BACKFLOW PREVENTOR
BSI	BUILDING SETBACK LINE
BSW	BACK OF WALK
BW	BOTTOM OF WALL (EXPOSED FACE)
CONC.	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DRAINAGE INLET
DM	DEADMAN ANCHOR
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GARAGE ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FW	FACE OF WALL
GM	GAS METER
JP	JOINT POLE
MB	MAILBOX
O/H	OVERHEAD
PB	PULLBOX
PL	PROPERTY LINE
PSE	PUBLIC SERVICE EASMENT
PUE	PUBLIC UTILITY EASEMENT
R=	RADIUS OF CURVE
Δ=	INCLUDED ANGLE OF CURVE
L=	LENGTH OF CURVE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
VG	VALLEY GUTTER
SL	STREET LIGHT
WCE	WIRE CLEARANCE EASEMENT
WM	WATER METER
WV	WATER VALVE
WW	WALKWAY

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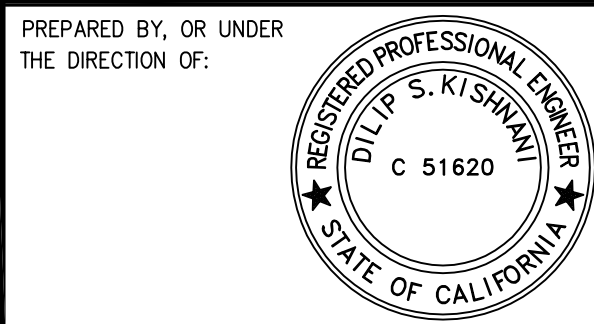


GROSS LOT AREA = 8,135 SQ. FT. (0.1868 ACRES)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY  
PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: DECEMBER 28, 2020					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	



PREPARED BY:  
**STERLING CONSULTANTS**  
46560 FREMONT BOULEVARD, UNIT NO. 205  
FREMONT, CA 94538  
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:  
NATASHA MALISIC & DARKO LAZOVIC  
15605 EL GATO LANE  
LOS GATOS, CA 95032

APN: 523-22-010

15605 EL GATO LANE

SHEET NO.

**C1**

JOB NO.  
2020-512

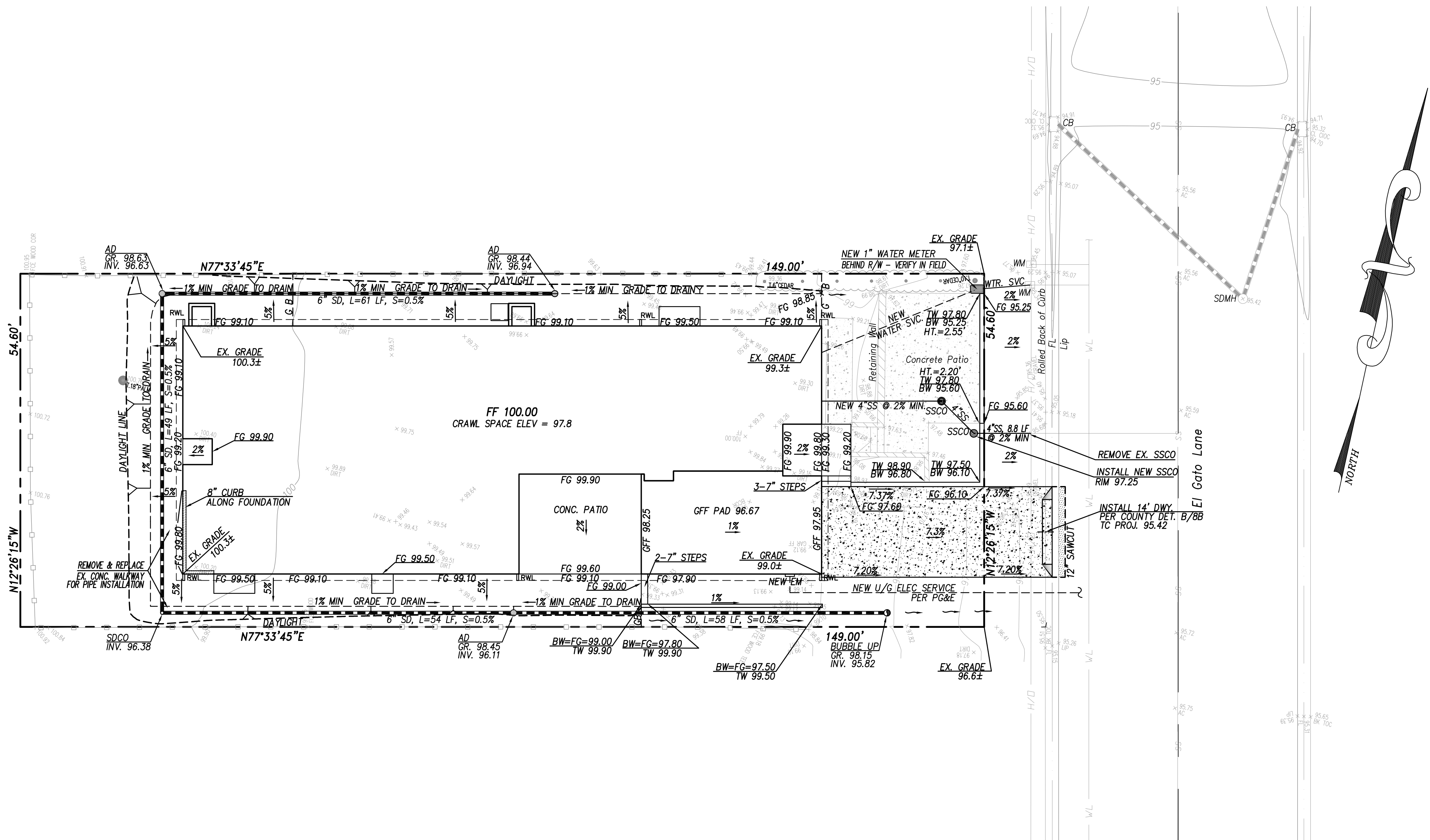
# BOUNDARY & TOPOGRAPHIC SURVEY

CITY OF LOS GATOS

SANTA CLARA COUNTY

CALIFORNIA





#### ABBREVIATIONS

AIR CONDITIONER UNIT  
AD AREA DRAIN  
AP ASPHALT PAVEMENT  
BFP BACKFLOW PREVENTOR  
BSI BUILDING SETBACK LINE  
BSW BACK OF WALK  
BW BOTTOM OF WALL (EXPOSED FACE)  
CONC. CONCRETE  
DBH DIAMETER AT BREAST HEIGHT  
DI DRAINAGE INLET  
DM DEADMAN ANCHOR  
EP EDGE OF PAVEMENT  
EX EXISTING  
FF FINISHED FLOOR ELEVATION  
FG FINISHED GARAGE ELEVATION  
FH FIRE HYDRANT  
FL FLOW LINE ELEVATION  
FW FACE OF WALL  
GM GAS METER  
JP JOINT POLE  
MB MAILBOX  
O/H OVERHEAD  
PB PULLBOX  
PL PROPERTY LINE  
PSE PUBLIC SERVICE EASEMENT  
PUE PUBLIC UTILITY EASEMENT  
R= RADIUS OF CURVE  
L= LENGTH OF CURVE  
SSCO SANITARY SEWER CLEAN-OUT  
SSMH SANITARY SEWER MANHOLE  
VG VALLEY GUTTER  
SL STREET LIGHT  
WCE WIRE CLEARANCE EASEMENT  
WM WATER METER  
WV WATER VALVE  
WW WALKWAY

#### GRADING NOTES:

1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY OF LOS GATOS'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.

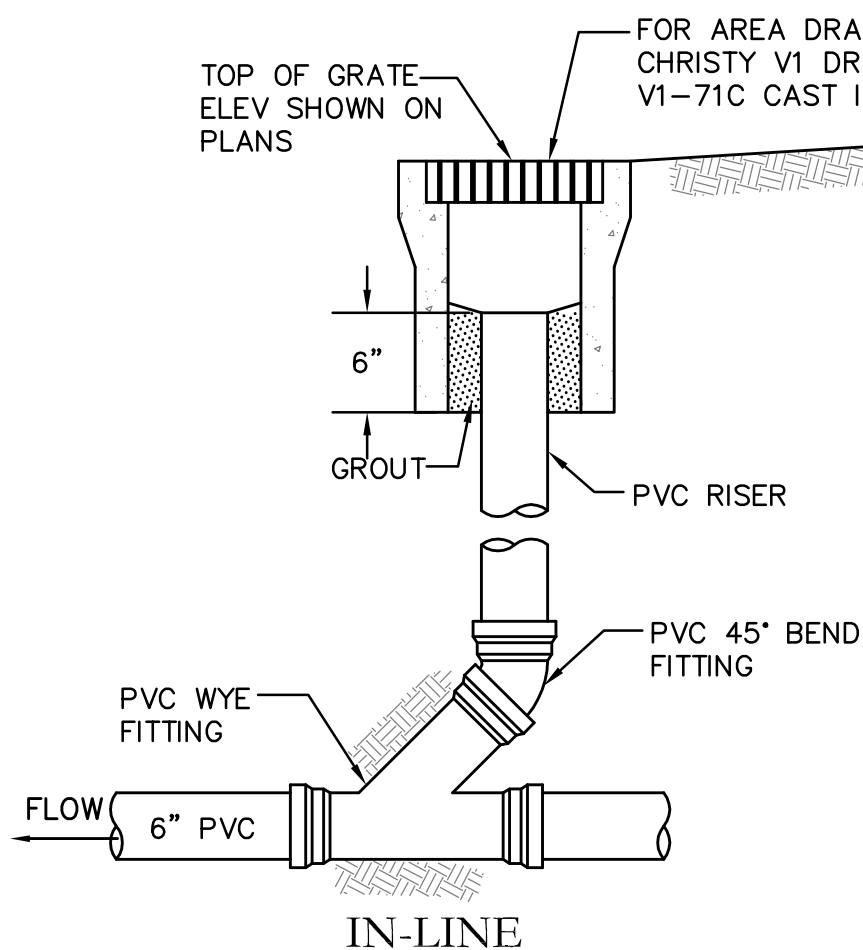
#### EARTHWORK SUMMARY

MEASURED RAW CUT (OUTSIDE FOOTPRINT) : 230 CY  
MEASURED RAW FILL (OUTSIDE FOOTPRINT) : 0 CY  
MEASURED RAW CUT (WITHIN FOOTPRINT) : 85 CY  
MEASURED RAW FILL (WITHIN FOOTPRINT) : 0 CY

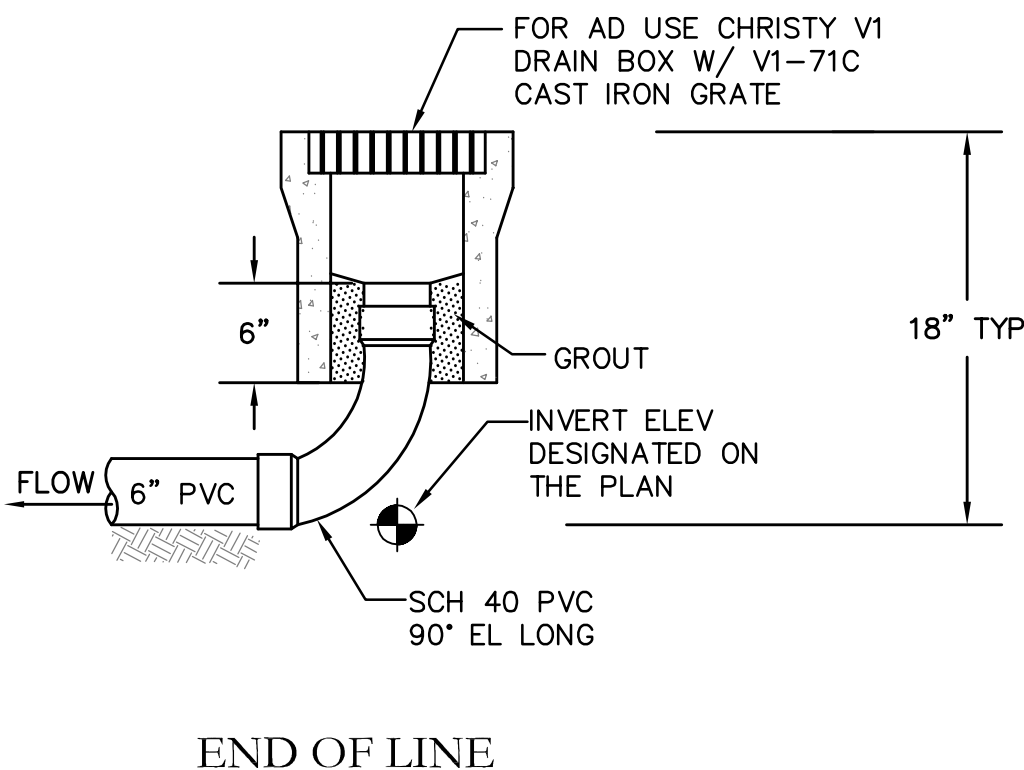
ESTIMATED EXPORT: 315 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

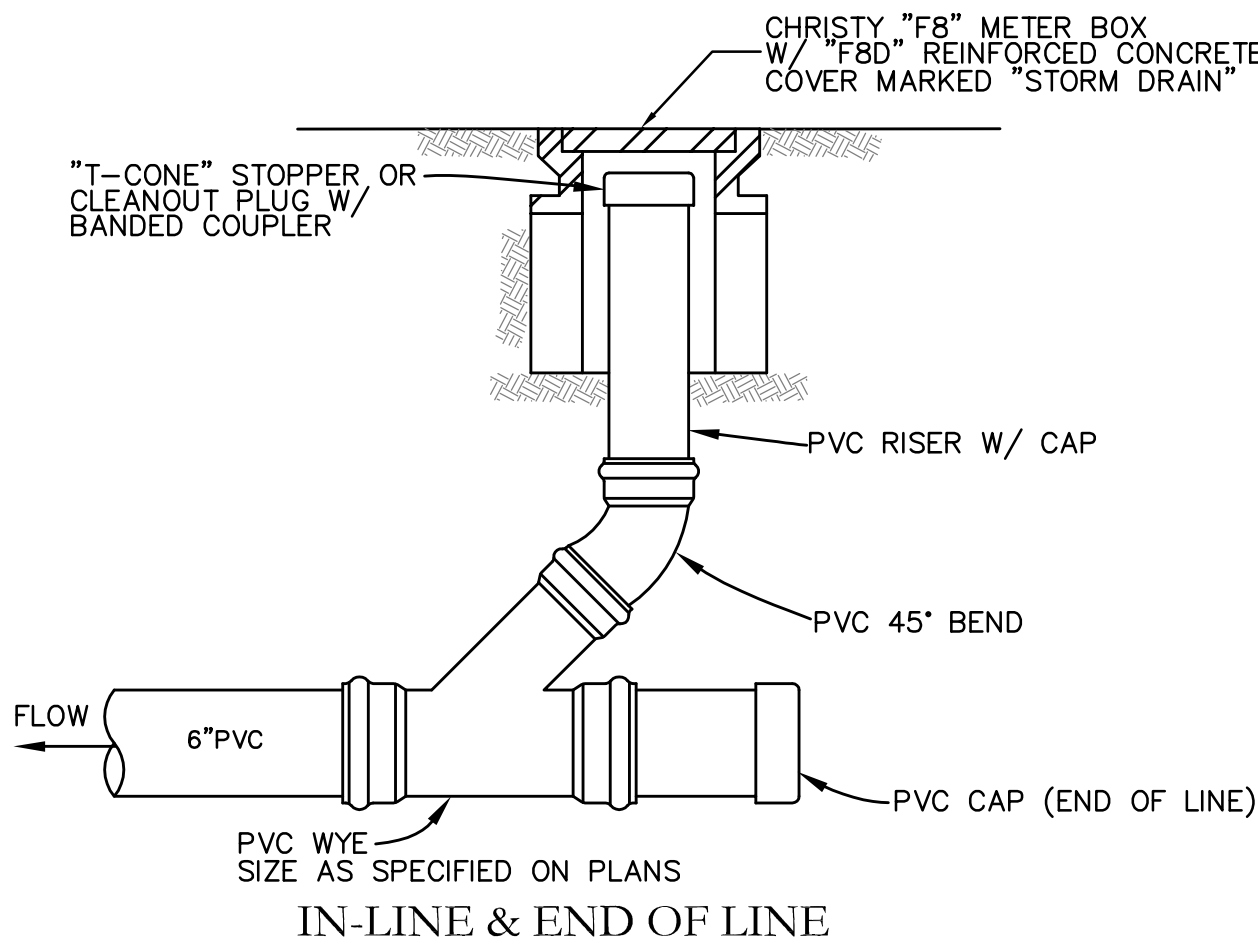
NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.



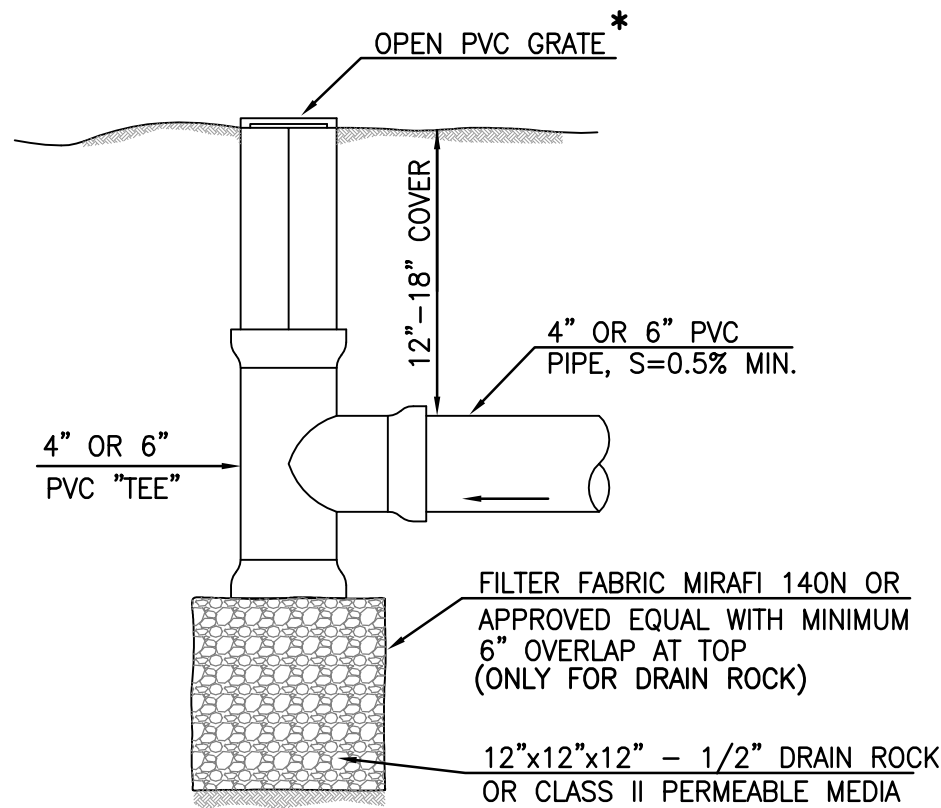
AREA DRAIN - DETAIL  
NOT TO SCALE



END OF LINE



STORM DRAIN CLEANOUT  
NOT TO SCALE

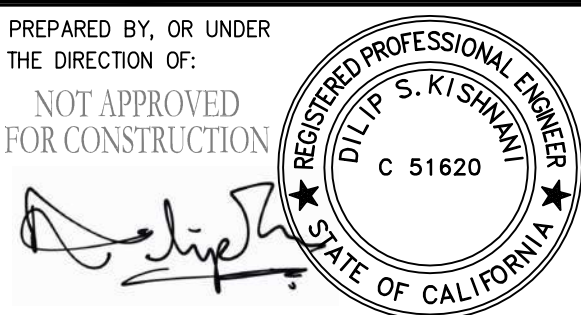


\* USE FLAT TOP GRATES FOR LAWN AREAS AND DOMED OR ATRIUM GRATES WHERE MOWING OR TRIPPING IS NOT OF CONCERN & CAST IRON GRATES IN PARKING AREAS.

BUBBLE UP DETAIL  
NOT TO SCALE

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15605 EL GATO LANE  
LOS GATOS, CA 95032

APN: 523-22-010

15605 EL GATO LANE

SHEET NO.

C1

1 of 1 SHEETS

JOB NO. 2020-512

## GRADING & DRAINAGE PLAN

CITY OF LOS GATOS

SANTA CLARA COUNTY

CALIFORNIA



Arun Shah & Associates

design + engineering

43072 Christy Street  
Fremont, CA 94538

510.220.4264



MALISIC RESIDENCE

15605 EL GATO LANE,  
LOS GATOS, CA 95032

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STRUCTURAL NOTES

A. CRITERIA

- DESIGN CONFORMS TO CALIFORNIA BUILDING CODE, 2019 EDITION.
- DESIGN DEAD LOADS:  
FLOOR = 15 PSF      ROOF = 17 PSF
- DESIGN LIVE LOADS:  
FLOOR = 40 PSF      ROOF = 20 PSF
- WIND AND SEISMIC:  
RISK CATEGORY = II  
SITE CLASS = D, S<sub>s</sub> = 2.309,  
S<sub>1</sub> = 0.832; S<sub>DS</sub> = 1.847, S<sub>D1</sub>= 0.777, C<sub>s</sub> (ASD) = 0.264,  
DESIGN BASE SHEAR V<sub>ASD</sub>= 29 KIPS  
SEISMIC DESIGN CATEGORY = E  
IMPORTANCE FACTOR I = 1.0  
STRUCTURAL SYSTEM FACTOR R = 6.5 (WOOD FRAME)  
SEISMIC ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE  
WIND SPEED 92 MPH      EXPOSURE B  
INTERNAL PRESSURE COEFF. GC<sub>pi</sub> = +0.18, -0.18  
qz = 10 PSF (ASD)

B. STRUCTURAL DRAWINGS

- NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS NOTED OTHERWISE. FOR CONDITIONS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS OF A SIMILAR NATURE. VERIFY APPLICABILITY WITH THE ENGINEER IF NEEDED.
- COMPARE STRUCTURAL DRAWINGS WITH THE VARIOUS OTHER DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION.
- SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR INSERTS, SLEEVES, BLOCK OUTS AND OTHER CONDITIONS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMP-PROOFING DETAILS.
- THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER IN WRITING, DURING THE BIDDING PERIOD, OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE PROJECT SPECIFICATIONS, OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE OWNER WILL SEND WRITTEN CLARIFICATIONS TO ALL CONCERNED.

C. CONSTRUCTION

- ALL WORK SHALL CONFORM TO CALIFORNIA BUILDING CODE 2019 EDITION AND THE REQUIREMENTS OF COUNTY OF SANTA CLARA.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY. THE ENGINEER'S PRESENCE OR REVIEW OF THE WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTOR'S METHODS OR MEASURES.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL SHORING, BRACING, AND SOIL RETENTION SYSTEMS NEEDED TO BRING THE PROJECT TO ITS PERMANENT (AS DESIGNED) CONDITION.
- THE CONTRACTOR'S TEMPORARY MEASURES SHALL BE ARRANGED OR DESIGNED TO NOT ALTER OR AFFECT THE PERMANENT STRUCTURE.
- ENGINEER IS NOT RESPONSIBLE FOR THE CONCRETE FLAT WORK INCLUDING CONCRETE DRIVEWAY, WALKWAY, DOOR PADS AND OTHER SIMILAR ITEMS. IMAGES AND/OR DIMENSIONS GIVEN FOR THE FLAT WORK ARE INTENDED TO BE CONCEPTUAL. CONTRACTOR SHALL FOLLOW OWNER'S SPECIFICATIONS FOR FINAL LOCATION GEOMETRY AND DIMENSIONS.
- UNLESS SPECIFIED ON THE STRUCTURAL FRAMING PLANS, MECHANICAL AND PLUMBING EQUIPMENT, TO BE PLACED OVER OR SUSPENDED OFF THE STRUCTURAL MEMBERS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

D. FOUNDATIONS/SITE PREPARATION

- FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS OF FOUNDATION ENGINEERING CONSULTANTS, INC. REPORT DATED JAN 8, 2021
  - ALLOWABLE BEARING PRESSURE = 1,800 PSF DL + LL  
1/3 INCREASE FOR LATERAL LOADS PERMITTED  
BOTTOM OF FOOTING = MIN 24" BELOW INTERIOR PAD GRADE
  - ALL SITE GRADING, FILLS AND SOIL PREPARATION SHALL CONFORM TO MINIMUM REQUIREMENTS OF CBC CHAPTER 18 AND ALL WORK SHALL BE DONE UNDER THE SUPERVISION OF THE OWNER'S SOIL TESTING LABORATORY OR A SOILS ENGINEER.
  - FOOTINGS SHALL EXTEND TO SUCH DEPTH AS TO BEAR ON FIRM, UNDISTURBED SOIL. FOOTING DEPTHS SHOWN ON THE DRAWINGS ARE MINIMUM DEPTHS. FOOTINGS MAY BE POURED IN NEAT EXCAVATED TRENCHES, PROVIDED PRECAUTIONS ARE TAKEN TO INSURE NO CAVING OR SLUFFING OCCURS WHICH WILL RESULT IN UNSUITABLE BASE CONDITIONS OR INCLUSION OF SOIL MATERIAL IN THE CONCRETE WORK. **TRENCHES FOR FOOTINGS SHALL BE COMPACTED.**
  - MATERIALS FOR SUB-CAPILLARY BREAK UNDER CONCRETE SLABS ON GRADE SHALL BE FREE-DRAINING GRAVEL OR CRUSHED ROCK. NOT MORE THAN 10% OF ROCK MAY PASS A NO. 10 SIEVE (U.S. SERIES) AND NOT MORE THAN 2% MAY PASS A NO. 100 SIEVE (U.S. SERIES). ROCK COURSE SHALL BE ROLLED TO A SMOOTH SURFACE. A 2" MINIMUM LAYER OF SAND SHALL BE PLACED OVER THE SUB-SLAB VAPOR BARRIER OR MEMBRANE. MOISTEN SAND JUST BEFORE POURING CONCRETE SLAB.
  - FOOTING EXCAVATIONS SHALL BE CLEANED OF LOOSE SOILS. NO CONCRETE SHALL BE POURED INTO OR AGAINST SUB GRADE CONTAINING FREE WATER. OVER EXCAVATED AREA MUST BE BACKFILLED WITH LEAN CONCRETE.
  - CONTINUOUS FOOTINGS AND TIE BEAMS MAY BE POURED IN NEAT TRENCHES DIRECTLY AGAINST THE SOIL WITHOUT SIDE FORMS IF SPECIAL PRECAUTION IS TAKEN TO PREVENT EARTH AND DEBRIS FROM FALLING INTO TRENCHES.
- E. CONCRETE WORK
- FORMS SHALL BE PROPERLY CONSTRUCTED CONFORMING TO CONCRETE SURFACES AS SHOWN ON THE DRAWINGS, SUFFICIENTLY TIGHT TO PREVENT LEAKAGE, SUFFICIENTLY STRONG AND BRACED TO MAINTAIN THEIR SHAPE AND ALIGNMENT UNTIL NO LONGER NEEDED TO SUPPORT THE CONCRETE. FORMS SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO WITHSTAND ALL LOADS TO BE IMPOSED WITHOUT EXCESSIVE STRESS, CREEP OR DEFLECTION.
  - PIPES OTHER THAN ELECTRICAL CONDUITS 1-INCH DIAMETER MAXIMUM SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER.
  - ALL REINFORCING, EMBEDMENT, INSERTS, ETC., SHALL BE POSITIVELY SECURED IN PROPER LOCATION BEFORE CONCRETE IS PLACED. PROVIDE SUFFICIENT SUPPORTS TO PREVENT DISPLACEMENT DURING PLACING AND FINISHING OPERATIONS.
  - CONCRETE SHALL BE READY MIXED CONFORMING TO ASTM C94, HAVING THE FOLLOWING MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTHS AND UNIT WEIGHTS:  
SLAB ON GRADE, FOOTINGS, WALLS: 4,000 PSI, DESIGN BASED ON 2,500 PSI
  - USE MINIMUM 5 SACKS OF CEMENT PER CUBIC YARD FOR 2,500-PSI CONCRETE & 6 SACKS FOR 4,000 PSI CONCRETE.
  - SLUMP SHALL BE THE MINIMUM CONSISTENT WITH PROPER PLACING, IN GENERAL:  
FOOTINGS, SLAB ON GRADE: 3½" TO 4½"
  - USE 1½" MAXIMUM AGGREGATE WHEREVER CLEARANCES PERMIT. USE ¾" MAXIMUM AGGREGATE ONLY WHERE NECESSARY FOR PROPER PLACING, SUCH AS IN THIN SECTIONS, ETC. ALL CONCRETE EXCEPT SLABS ON GRADE 6" THICK OR LESS SHALL BE MECHANICALLY VIBRATED TO COMPLETELY FILL THE FORMS WITHOUT CAUSING UNDUE SEGREGATION.

- HORIZONTAL CONSTRUCTION JOINTS SHALL BE LOCATED AS SHOWN ON THE ARCHITECTURAL DRAWINGS. HARDENED CONCRETE SURFACES SHALL BE CLEANED BY SANDBLASTING OR OTHER APPROVED MEANS TO EXPOSE FIRMLY EMBEDDED AGGREGATES BEFORE POURING ADDITIONAL CONCRETE IN CONTACT WITH THESE SURFACES.
  - NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
  - CONCRETE USED FOR FOUNDATION AND SLAB-ON-GRADE SHALL HAVE 25% OR MORE FLYASH, SLAG, SILICA FUME OR RICE HULL ASH REPLACING CEMENT PER CALGREEN A4.403.2 & A4.405.3 DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT & ENGINEER.
- F. CONCRETE REINFORCING STEEL
- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
  - ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318 AND THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
  - UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS.  
A. CONCRETE CAST AGAINST EARTH 3"  
B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER 2" NO. 5 AND SMALLER, WIRE MESH: 1½"
  - REINFORCING SHALL BE CONTINUOUS WITH SPLICES ONLY WHERE SHOWN.
  - LAP BARS 48 DIAMETERS UNLESS OTHERWISE NOTED. SPLICES TO BE STAGGERED SO THAT HALF OR LESS OF BARS ARE LAPPED AT ONE POINT.
  - BEAM REINFORCING SHALL NOT BE SLEEVED OR OTHERWISE INTERRUPTED EXCEPT AS SHOWN ON THE STRUCTURAL DRAWINGS.
- G. CARPENTRY
- STUD WALLS SHOWN ON PLANS ARE BEARING OR SHEAR WALLS BELOW FRAMING LEVEL. UNLESS OTHERWISE NOTED, ALL EXTERIOR STUD WALLS SHALL BE 2x6 AND INTERIOR WALLS SHALL BE 2x4 OR 2x6 AT 16" O.C. WALLS WITH PLUMBING SHALL BE 2x6
  - PROVIDE TWO STUDS UNDER ALL 4x10 AND LARGER BEAMS OR HEADERS AT SPANS 6 FEET OR LONGER, UNLESS OTHERWISE NOTED ON DRAWINGS. WHERE POSTS OR MULTIPLE STUDS UNDER BEAMS OR HEADERS ARE CALLED FOR ON DRAWINGS, THOSE POSTS OR MULTIPLE STUDS SHALL BE CARRIED TO THE FOUNDATION. FIRE BLOCKS, BACKING FOR INTERIOR FINISHES, NON-BEARING WALLS AND OTHER NON-STRUCTURAL FRAMING ARE NOT NECESSARILY SHOWN ON STRUCTURAL DRAWINGS.
  - MINIMUM FRAMING NAILING SHALL CONFORM TO 2019 CBC TABLE 2304.10.1. BLOCK JOISTS AT ALL SUPPORTS. NAIL DOUBLED JOISTS WITH 16d AT 12" O.C., STAGGERED.
  - BRIDGING SHALL BE 2x SOLID BLOCKS, INSTALLED AS FOLLOWS:  
FLOOR JOISTS MORE THAN 10" DEPTH: 8'-0" O.C. MAXIMUM, NOT MORE THAN 8'-0" FROM SUPPORT.  
FLOOR JOISTS MORE THAN 12" DEPTH: 4'-0" O.C. MAXIMUM, NOT MORE THAN 4'-0" FROM SUPPORT.
  - TIMBER FASTENERS INDICATED ON DRAWINGS SHALL BE "SIMPSON STRONG-TIE" AS MANUFACTURED BY SIMPSON COMPANY, OR APPROVED EQUAL. FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ICC APPROVAL, WITH A NAIL OR BOLT PROVIDED FOR EACH PUNCHED HOLE. FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STANDARD FASTENERS OR APPROVED EQUAL.
  - FRAMING LUMBER SHALL CONFORM TO THE FOLLOWING, MINIMUM STANDARDS:  
2x AND 3x MUD SILLS D.F. NO. 2 OR BETTER PRESSURE TREATED  
2x AND 3x STUDS D.F. NO. 2  
4x AND 6x POSTS D.F. NO. 1  
2x AND 4x ROOF FRAMING D.F. NO. 2  
2x AND 4x FLOOR FRAMING D.F. NO. 2  
6x ROOF AND FLOOR FRAMING D.F. NO. 1

LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION.

- ANCHOR/SILL BOLTS SHALL BE OF A307 GRADE AND SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE PER ASTM A153.
  - ANY WOOD EXPOSED TO WEATHER, IN CONTACT WITH CONCRETE OR SOILS SHALL BE REDWOOD OR PRESSURE TREATED.
- H. PLYWOOD
- ALL STRUCTURAL PLYWOOD SHALL BE GRADE CC EXTERIOR OR CD INTERIOR WITH EXTERIOR GLUE. ALL PLYWOOD SHALL CONFORM TO CBC 2303 AND CBC 2306, AND TO U.S. PRODUCT STANDARD PS1-09, AND SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. OSB MAY BE SUBSTITUTED PROVIDED THE OSB SHEATHING CONFORMS TO APA (NER 108) STRUCTURAL I RATED SHEATHING. PARTICLE BOARD IS NOT ALLOWED.
  - ALL STRUCTURAL PLYWOOD NOTED ON THE DRAWINGS SHALL CONFORM TO THE FOLLOWING:

USE	THICKNESS	SPAN RATING
ROOF SHEATHING	15/32"	32/16
FLOOR SHEATHING	1½" T&G	48/24
WALL SHEATHING	15/32"	24/0
  - UNLESS OTHERWISE NOTED, PLYWOOD NAILS SHALL BE COMMON. APPROVED FASTENERS TO BE SUBSTITUTED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE COMMON NAIL SPECIFIED.
  - ROOF SHEATHING: PLYWOOD ROOF SHEATHING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLIES PERPENDICULAR TO THE FRAMING MEMBERS AND END JOINTS SHALL BE STAGGERED. BLOCK ALL UNSUPPORTED EDGES OF PLYWOOD SHEATHING WHERE SHOWN ON PLANS. **TYPICAL NAILING SHALL BE 10d @ 6" O.C. AT ALL SUPPORTED EDGES & WHERE BOUNDARY NAILING (B.N.) IS NOTED. FIELD NAILING SHALL BE 10d @ 12" O.C.**
  - FLOOR SHEATHING: PLYWOOD FLOOR SHEATHING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLIES PERPENDICULAR TO THE FRAMING MEMBERS AND END JOINTS SHALL BE STAGGERED. FIELD GLUE TO ALL SUPPORTS AND T&G EDGES PER APA, AFG-01. **TYPICAL NAILING SHALL BE 10d AT 6" O.C. AT ALL SUPPORTED EDGES AND WHERE BOUNDARY NAILING (B.N.) IS NOTED. AND 10d AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.**
- I. FABRICATED BEAMS
- FABRICATED BEAMS SHALL BE AS MANUFACTURED BY BOISE CASCADE ENGINEERED WOOD PRODUCTS OR I-LEVEL BY WEYERHAEUSER AND SHALL PROVIDE STRESS VALUES THAT MEET THE FOLLOWING:  
BENDING, F<sub>b</sub> = 2,900 PSI  
HORIZONTAL SHEAR, F<sub>v</sub> = 285 PSI  
MODULUS OF ELASTICITY, E = 2,200,000 PSI
  - OTHER MANUFACTURED BEAMS MAY BE SUBSTITUTED PROVIDED THEY MEET OR EXCEED THE ABOVE VALUES.
  - GLULAM BEAMS SHALL BE MANUFACTURED ACCORDING TO AITC 117, THE STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED DOUGLAS FIR TIMBER", LATEST EDITION. THE MEMBERS SHALL PROVIDE STRESS VALUES THAT MEET OR EXCEED THE FOLLOWING: F<sub>b</sub> = 2,400 PSI, F<sub>v</sub> = 265 PSI, E = 1,800,000 PSI
  - ADHESIVE SHALL BE FOR WET CONDITIONS OF SERVICE, CONTRACTOR SHALL SUBMIT AITC INSPECTION CERTIFICATE TO OWNER.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER PRIOR TO FABRICATION FOR REVIEW.
- J. I-JOISTS
- I-JOISTS SHALL BE AS MANUFACTURED BY BOISE CASCADE CORPORATION OR I-LEVEL TRUSS JOIST. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND ICC ESR-1336 OR ESR-1153. CONTRACTOR SHALL CAREFULLY READ THE MANUFACTURERS PRODUCT INSTALLATION MANUAL FOR SPECIAL INSTRUCTIONS INCLUDING NAILING SCHEDULE.
  - JOIST HANGARS: ALL I-JOIST HANGARS SHALL BE FACE MOUNTED "IUT" TYPE WHEN NAILING TO LAMINATED BEAMS AND TOP FLANGE "ITT" TYPE WHEN CONNECTED TO 4x OR 6x BEAMS PER SIMPSONS CATALOG.

- RIM JOISTS: UNLESS NOTED OTHERWISE, ALL RIM JOISTS SHALL BE 1½x TIMBERSTRAND LSL RIM BOARD PER ICC ESR-1387 OR VERSA-RIM PER ICC ESR-1040.
- BLOCKING:
  - AT SUPPORTS: I-JOIST BLOCKING SHALL BE PROVIDED BETWEEN FLOOR JOISTS AT TWO ENDS AND AT EACH SUPPORTING POINT SUCH AS BEARING WALLS, STRUCTURAL BEAMS, ETC. BLOCKING MAY BE OMITTED AT THE ENDS OF FLOOR JOISTS WHERE THEY ARE NAILED DIRECTLY TO A HEADER, BEAM OR RIM JOIST.
  - PARALLEL PARTITIONS: WHERE PARTITIONS ABOVE THE JOISTS ARE IN A PARALLEL DIRECTION, I-JOIST BLOCKING BETWEEN TWO ADJACENT JOISTS SPACED AT 24-INCHES O.C. SHALL BE INSTALLED UNDERNEATH THE PARTITIONS ALONG ITS ENTIRE LENGTH.
  - PERPENDICULAR PARTITIONS: WHERE PARTITIONS ABOVE THE JOISTS ARE IN A PERPENDICULAR DIRECTION, CONTINUOUS I-JOIST BLOCKING SHALL BE INSTALLED DIRECTLY UNDERNEATH THE PARTITION.
  - WHEN I-JOIST IS USED AS BLOCKING, IT SHALL BE MOUNTED WITH U212 HANGARS.
  - ALL I-JOIST BLOCKING OTHER THAN THOSE LOCATED UNDERNEATH THE SHEAR WALL SHALL BE HELD IN PLACE WITH 16d SINKERS AT 8-INCHES O.C. VERTICALLY APPLIED THROUGH THE BOTTOM CHORD. FOR VERSA-RIM OR SIMILAR VERTICAL LAMINATED MEMBER PROVIDE A34 AT 16-INCHES O.C.

K. NAILING SCHEDULE

THE CONNECTIONS LISTED ARE THE MINIMUM PERMISSIBLE. USE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS. NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED INSTEAD OF TOE NAILS WHERE POSSIBLE. USE HOT- DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS WHEN NAILING INTO PRESSURE-PRESERVATIVE TREATED AND FIRE-RETARDANT TREATED WOOD.

JOIST TO SILL (PLATE) OR GIRDER, TOENAIL 3-8d BRIDGING TO JOIST, TOENAIL EACH END 2-8d TRUSS TO TOP PLATE 3-16d TOE NAILS MIN. U.O.N.

SOLE PLATE TO JOIST OR BLOCKING:  
FACE NAIL 16d @ 16"  
BRACED WALL PANELS 3-16d @ 16"  
TOP PLATE TO STUD, END NAIL 2-16d

STUD TO SOLE PLATE:  
TOENAIL 4-8d  
END NAIL 2-16d (2-20d @ 3x PLATES)  
DOUBLE STUDS, TYPICAL FACE NAIL 16d @ 24"

DOUBLED TOP PLATES:  
FACE NAIL 16d @ 16"  
LAP SPLICE 8-16d  
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE 3-8d  
RIM JOIST TO TOP PLATE, TOENAIL 8d @ 6"  
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL 2-16d  
RAFTER TO PLATE, TOE NAIL 3-8d  
1" BRACE TO EACH STUD AND PLATE, FACE NAIL 2-8d  
BUILT-UP CORNER STUDS 16d @ 24"

COMMON WIRE NAILS SHALL BE AS FOLLOWS:

SIZE PENNY	DIAMETER INCHES	WIRE GAGE	PENETRATION INCHES
8d	0.131	10½	1½
10d	0.148	9	1¾
16d	0.162	8	1¾

PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT. 1½ INCHES OF PENETRATION FOR 10d AND 16d NAILS IS ACCEPTABLE FOR TOP PLATES AND DOUBLED 2x MEMBERS. WHERE THE NAIL PENETRATION WILL BE LESS THAN SPECIFIED, INCREASE NAIL LENGTH (SIZE) TO OBTAIN THE PENETRATION REQUIRED FOR THE NAIL SPECIFIED.

NOTES CONTINUED ON SHEET S1.2

STRUCTURAL NOTES

CONTRACT DATE	2021
ISSUE DATE	04/19/2021
SCALE	
DRAWN	HM/AS
JOB	2021
SHEET	

S1.1



NOTES CONTINUED FROM SHEET S1.1

L. TESTING AND INSPECTION

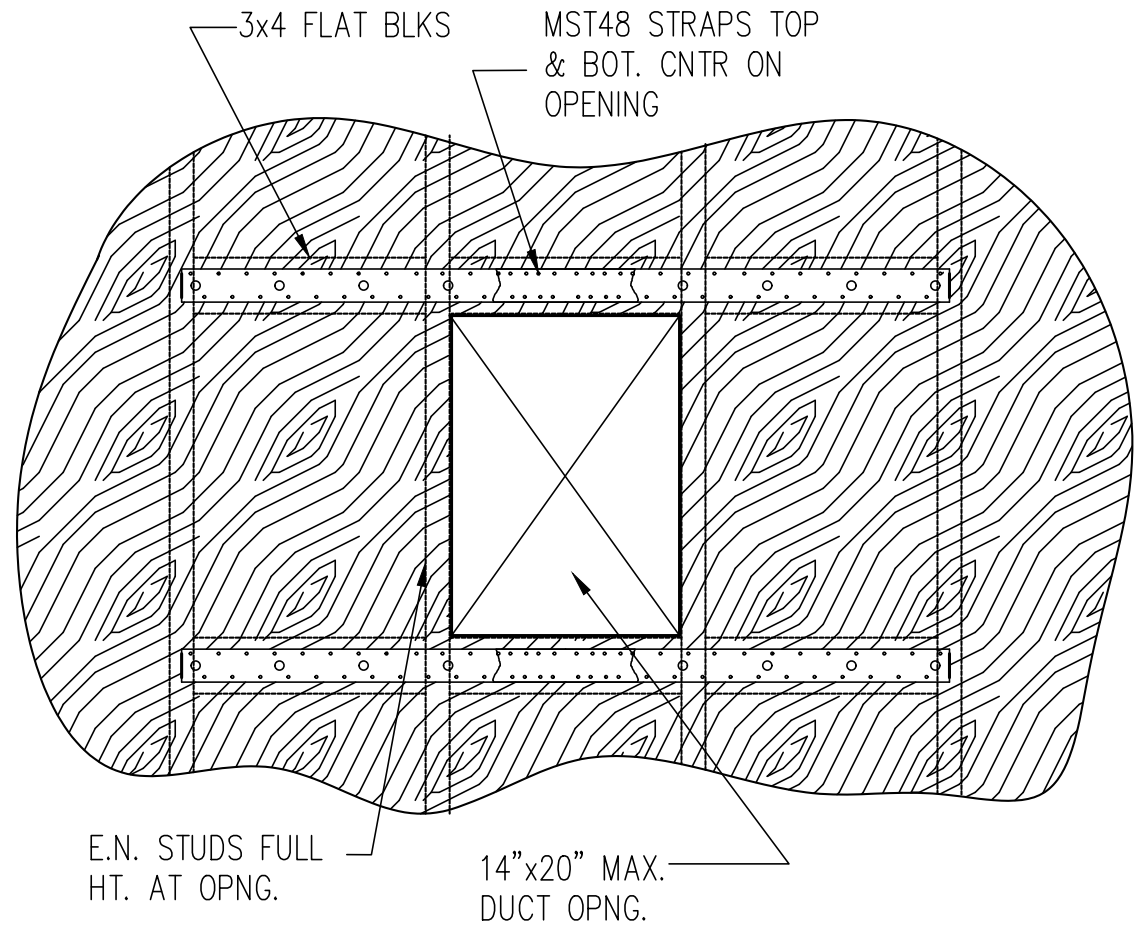
12. PROVIDE "SPECIAL INSPECTIONS" FOR ITEMS AS REQUIRED BY THE COUNTY OF SANTA CLARA AND CALIFORNIA BUILDING CODE, 2019 EDITION, INCLUDING THE FOLLOWING:

- a. BOLTS INSTALLED IN CONCRETE  
b. NAILING INSPECTIONS OF SHEAR WALLS AND ROOF SYSTEMS USED AS SHEAR DIAPHRAGMS

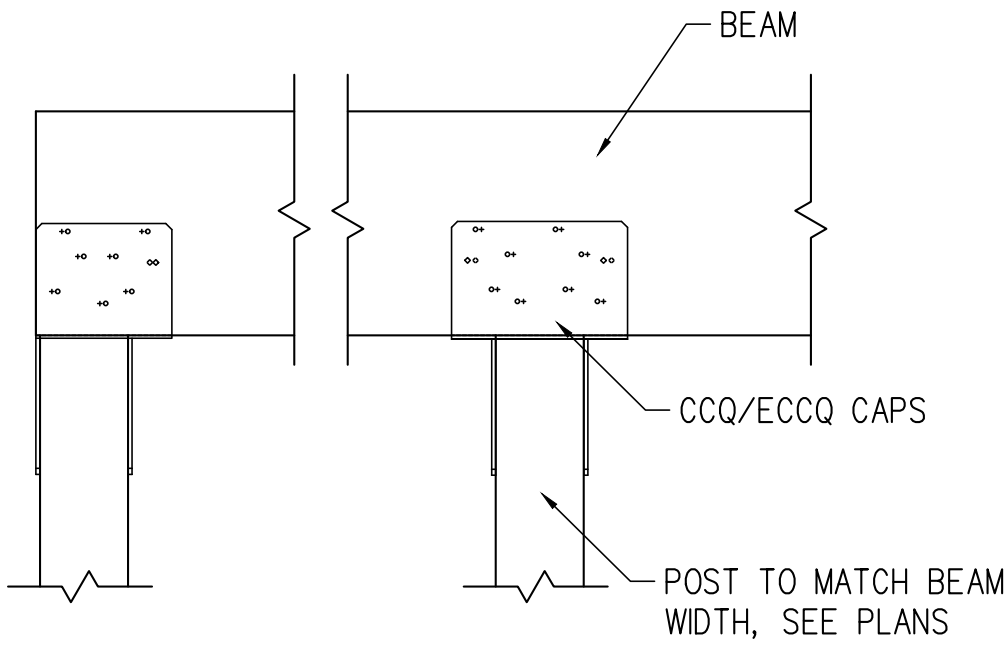
FRAMING & SHEAR WALL INSPECTION WILL BE DONE BY ARUN SHAH & ASSOCIATES. PROVIDE MINIMUM 72 HOURS OF NOTICE PRIOR TO CALLING FOR INSPECTION (WEEKENDS & HOLIDAYS ARE EXCLUDED).

M. STRUCTURAL DRAWINGS INDEX:

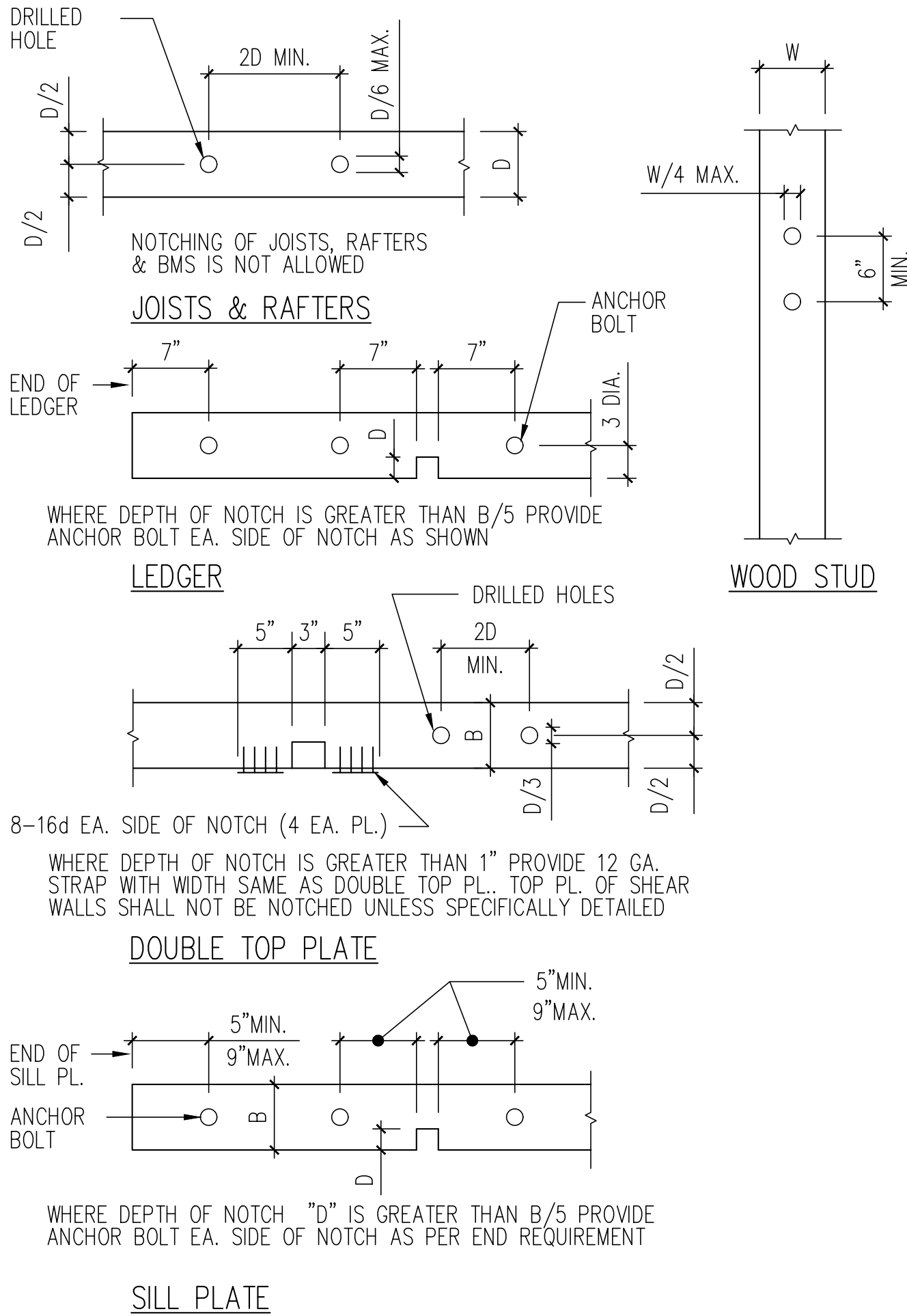
S1.1	STRUCTURAL NOTES
S1.2	NOTES & DETAILS
S2.1	FOUNDATION PLAN
S2.2	ROOF FRAMING PLAN
S3.1	FRAMING DETAILS
S3.2	FRAMING DETAILS
S4.1	FOUNDATION DETAILS
S4.2	FOUNDATION DETAILS



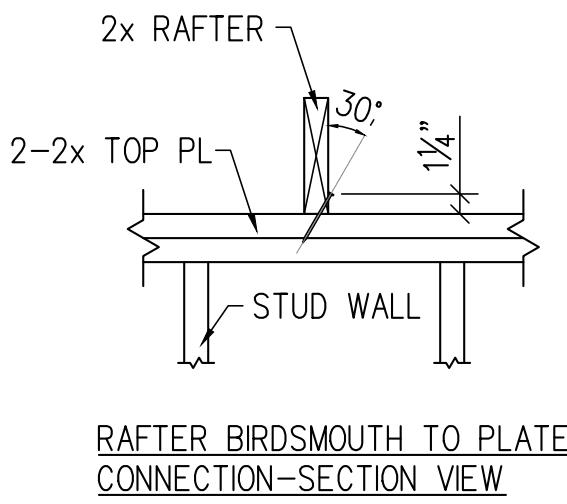
7 FLOOR/ROOF/SHEAR WALL OPENINGS



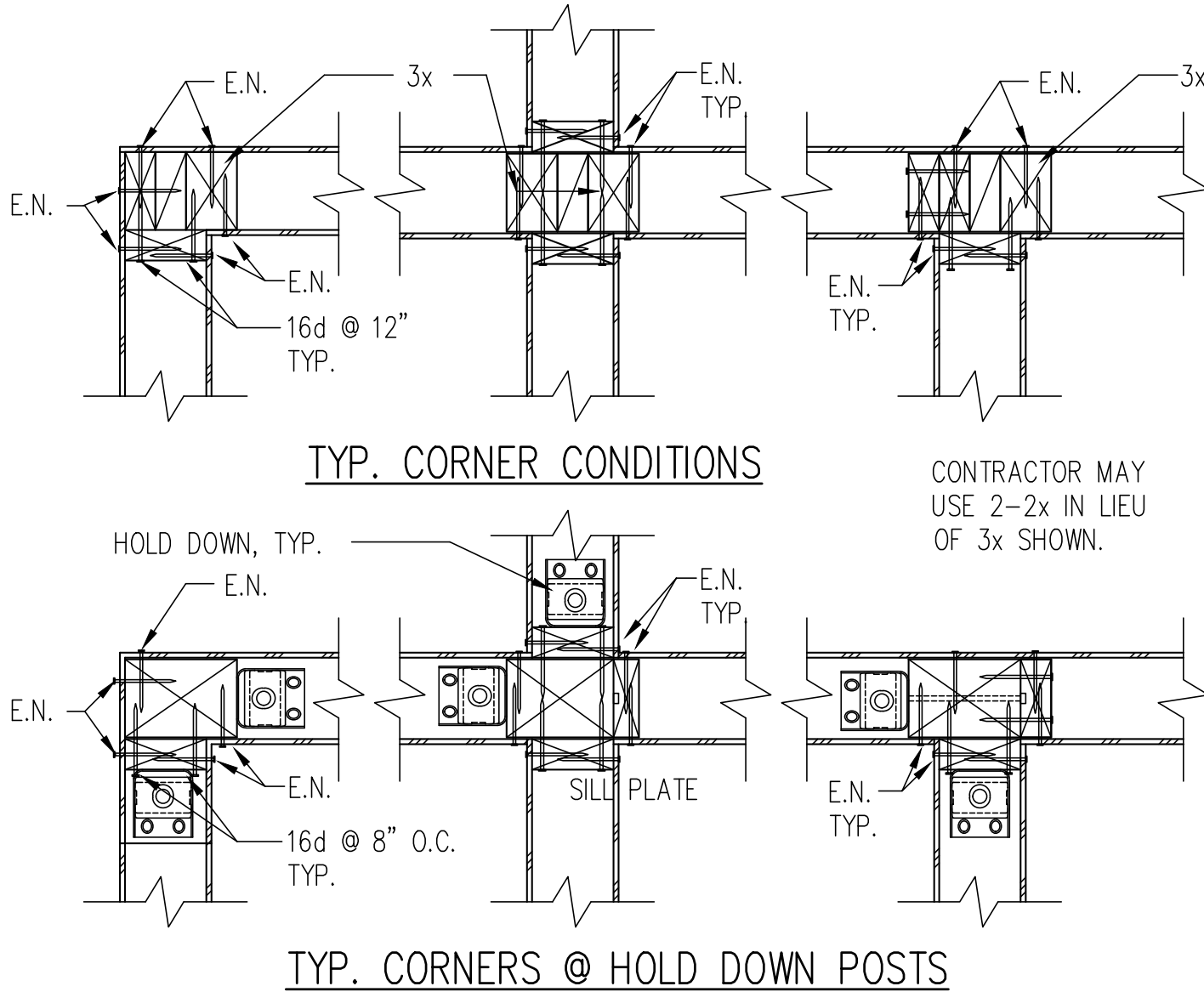
8 BEAM TO POST CONNECTION



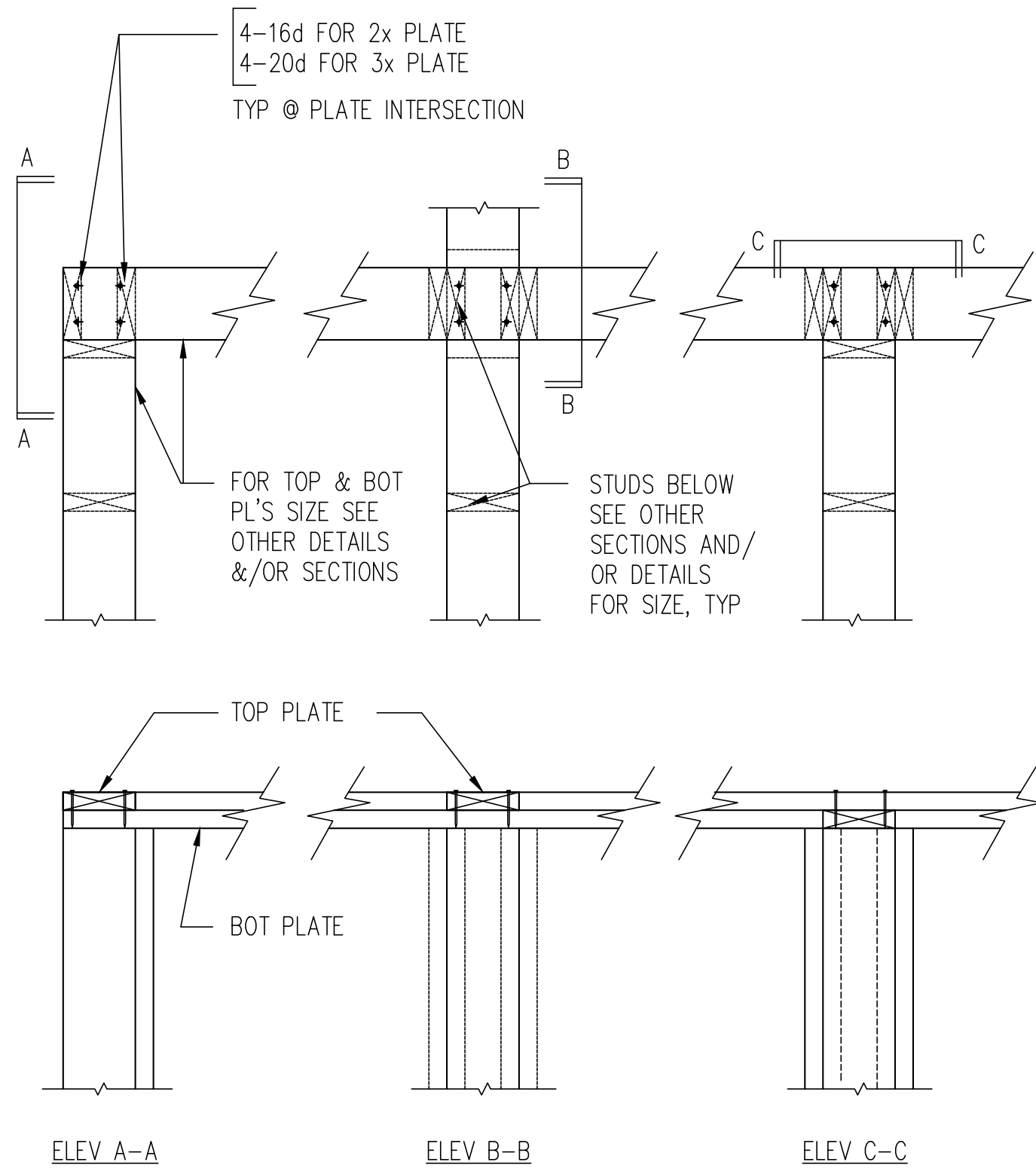
9 TYPICAL HOLE & NOTCHING



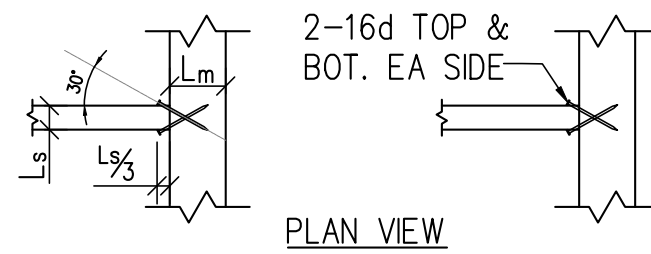
4 TOENAILING DETAILS



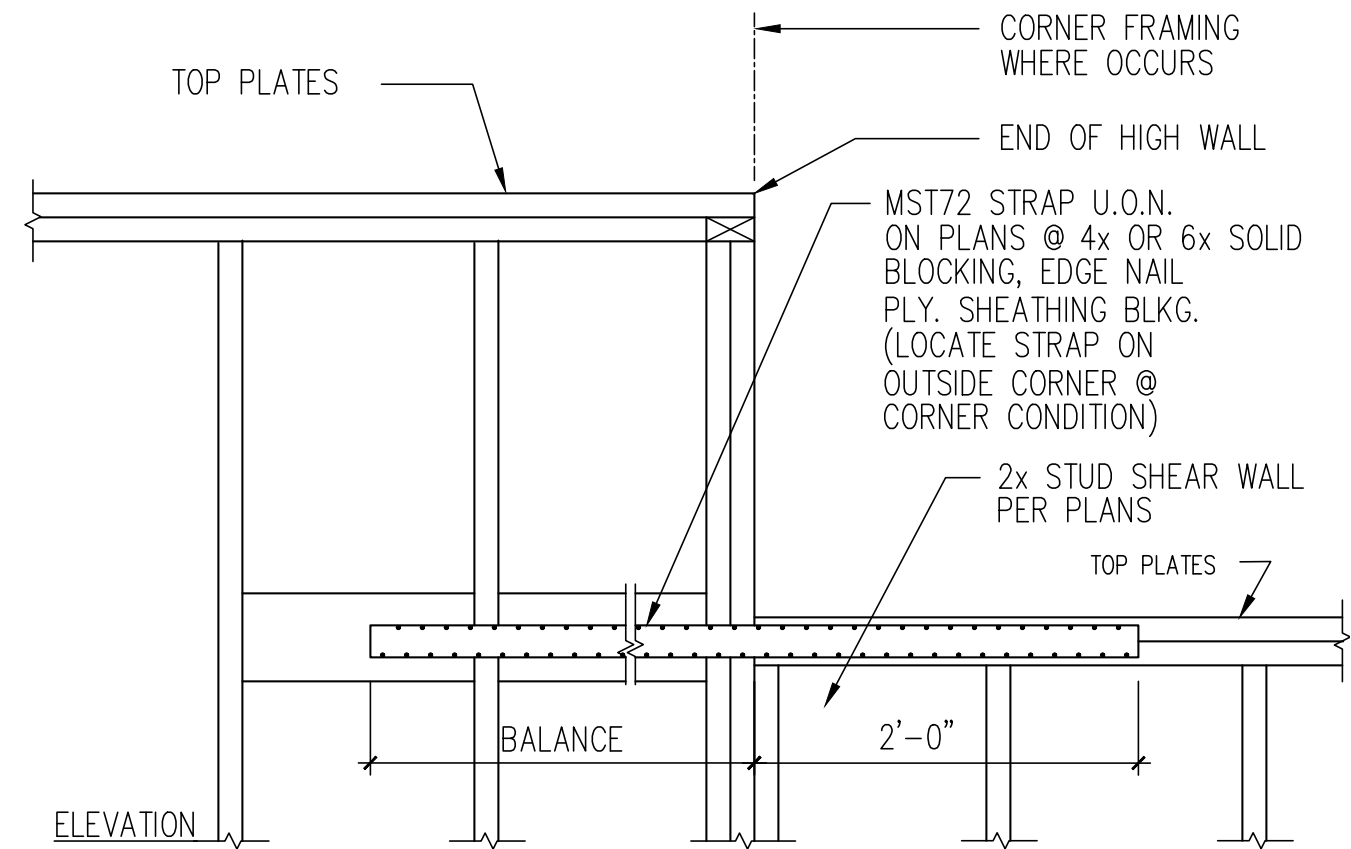
5 WALL INTERSECTIONS



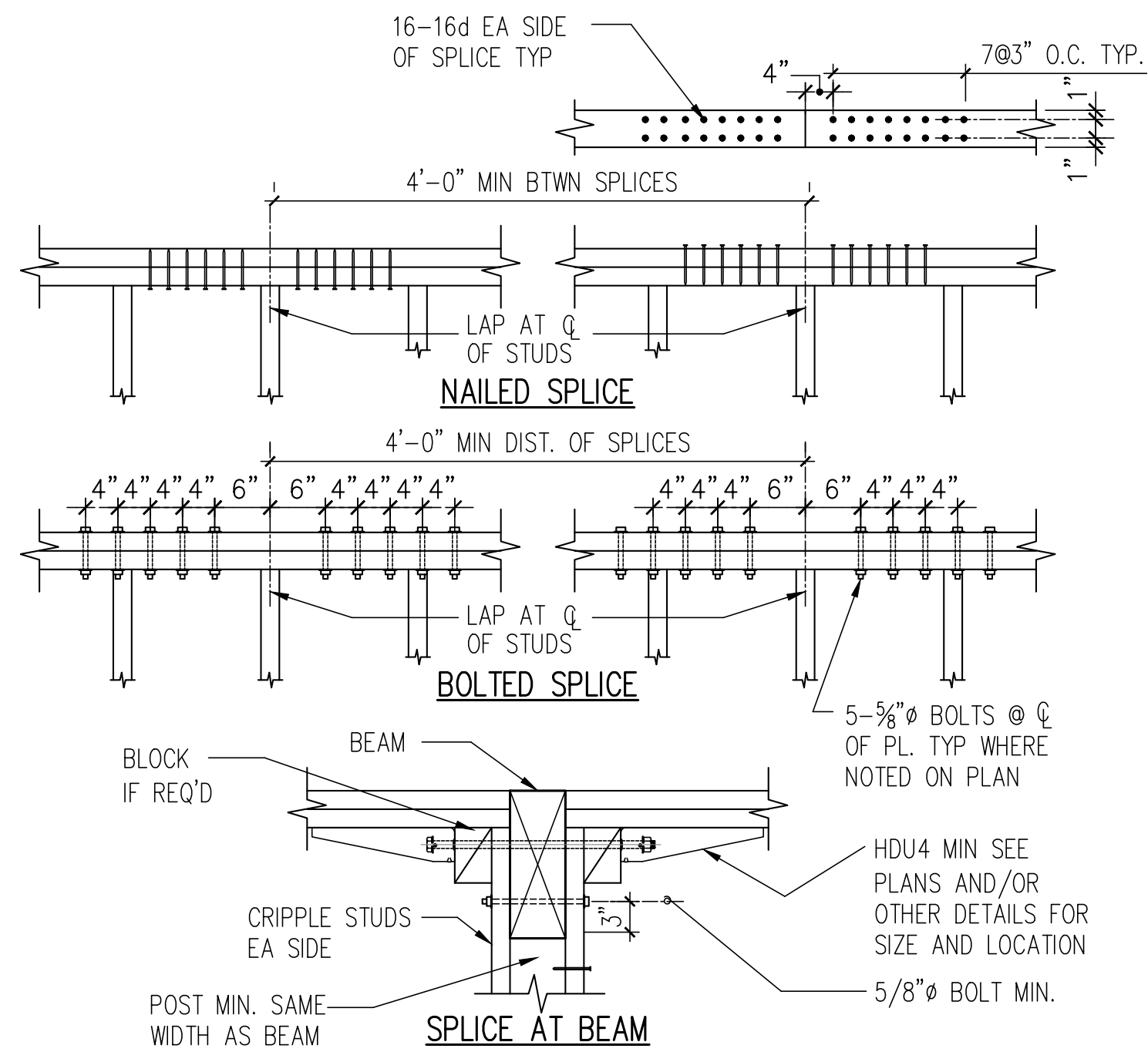
6 TYPICAL INTERSECTION AT TOP PLATE



1 C.J. TO C.B TOE NAIL CONNECTION

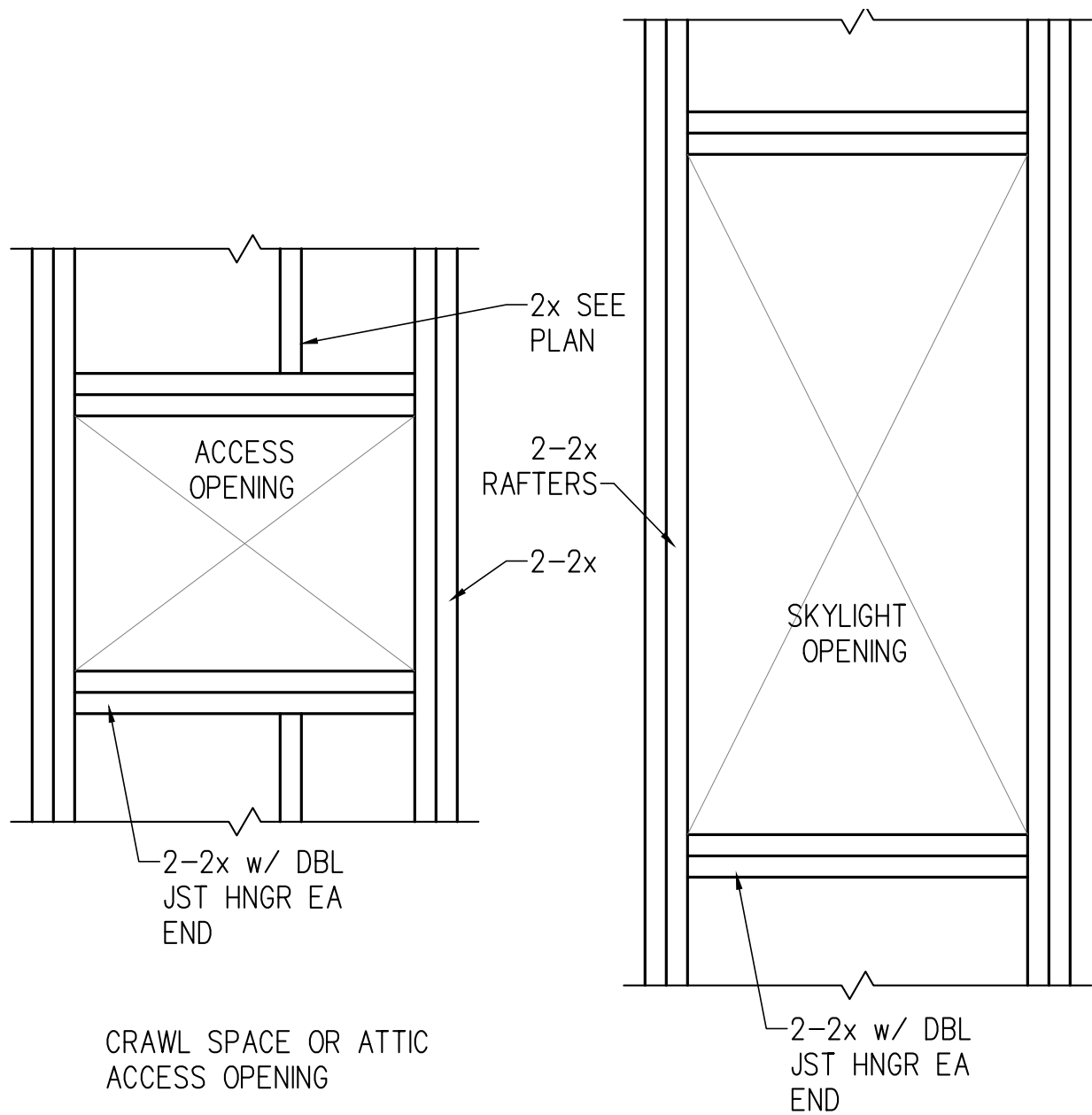


2 STRAP AT TOP PLATE



3 TOP PLATE SPLICE DETAIL

11 FLOOR-CEILING-ROOF OPENINGS



Arun Shah & Associates

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510.220.4264



MALISIC  
RESIDENCE

15605 EL GATO LANE,  
LOS GATOS, CA 95032

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SUB	DATE	SUBMITTAL
1.	03/15/21	CLIENT REVIEW
2.	04/19/21	PLAN CHECK
3.		
4.		
5.		

NOTES & DETAILS

CONTRACT DATE	2021
ISSUE DATE	04/19/2021
SCALE	
DRAWN	HM/AS
JOB	2021
SHEET	

S1.2



# Arun Shah & Associates

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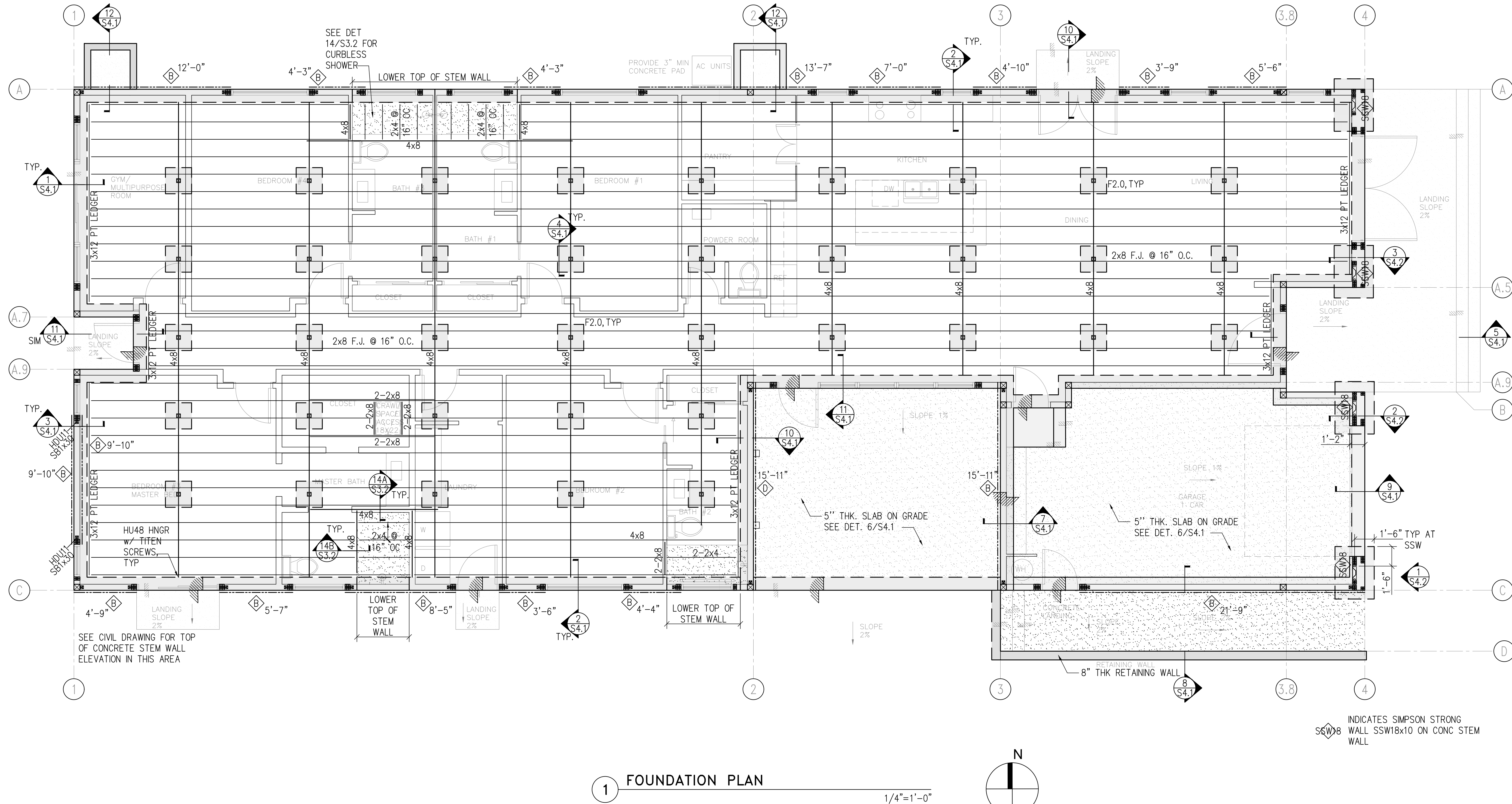
SUB	DATE	SUBMITTAL
1.	03/15/21	CLIENT REVIEW
2.	04/19/21	PLAN CHECK
3.		
4.		
5.		

## FOUNDATION PLAN

CONTRACT DATE	2021
ISSUE DATE	04/19/2021
SCALE	
DRAWN	HM/AS
JOB	2021
SHEET	

**S2.1**

OF 8 SHEETS



### SHEAR WALL LEGEND:

	BOX DENOTES TYPE OF SHEAR WALL BELOW ROOF, SEE SHEET S3.1 FOR SCHEDULE
	BOX SIDE DENOTES SIDE OF SHEAR WALL SHEATHING
	DENOTES LENGTH OF SHEAR WALL

### FLOOR FRAMING NOTES:

- SEE SHEET S1.1 & S1.2 FOR STRUCTURAL NOTES.
- FOR TYPICAL WOOD FRAME DETAILS ON SHEETS S1.2, S3.1-S3.2.
- PROVIDE SOLID BLOCKS AT ALL POSTS AND HOLDDOWNS ABOVE TO BEARING BELOW.
- PROVIDE SOLID BLOCKS AT ALL INTERIOR BEARING WALLS U.O.N. IN SHEAR WALL SCHEDULE.
- LAYOUT OF JOISTS & FRAMING SHALL BE COORDINATED WITH LOCATION OF PLUMBING FIXTURES & WITH PLUMBING/MECHANICAL RUNS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLING FRAMING.
- USE RPS STRAP TIES WHERE PLATES ARE NOTCHED FOR ELECTRICAL OR PLUMBING WORK.
- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL FRAMING REQUIREMENTS.

### FOUNDATION NOTES:

- HOLDDOWN ANCHOR AND SILL BOLTS SHALL BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.
- SEE SHEET S1.1 & S1.2 FOR STRUCTURAL NOTES AND SHEETS S3.1-S3.3 FOR FRAMING DETAILS, SHEET S4.1 FOR FOUNDATION DETAILS. SEE SHEET S3.1 FOR SHEAR WALL SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE ALL MEASURES & PRECAUTIONS NECESSARY TO PREVENT DAMAGE & MINIMIZE SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES OR MOVEMENT OF THE SOIL RETENTION SYSTEM IS THE RESPONSIBILITY OF THE CONTRACTOR.
- POSTS SUPPORTING BEAMS SHALL BE MINIMUM 4x THE WIDTH OF BEAM ABOVE OR THE WALL THICKNESS TYP. U.O.N. FOR POSTS AT ENDS OF SHEAR WALLS SEE NOTES ON SHEET S3.1.

FOOTING SCHEDULE			
TYPE	SIZE	DEPTH	REINF
F2.0	2'-0" x 2'-0"	2'-0"	2-#4 E.W.

### HOLDDOWN SCHEDULE:

UNLESS NOTED OTHERWISE ON PLANS, PROVIDE AT EACH END OF SHEAR WALLS. POST SIZE NOTED HERE IS MINIMUM UNLESS LARGER POST IS SHOWN ON PLAN

SHEAR WALL	HOLDDOWN	ANCHOR ROD	MIN POST
TYPE A	HDU4 (4,565 LBS)	SSTB24	2-2x OR 4x
TYPE B	HDU5 (5,645 LBS)	SSTB24	2-2x OR 4x
TYPE C	HDU8 (7,870 LBS)	SB7/8x24	6x
TYPE D	HDU11 (9,535 LBS)	SB1x30	6x
DBL SIDED	SEE PLAN	SEE PLAN	6x

DEEPEN FOOTINGS AT ANCHOR ROD LOCATIONS, WHERE REQUIRED TO MAINTAIN MINIMUM 5" COVER.



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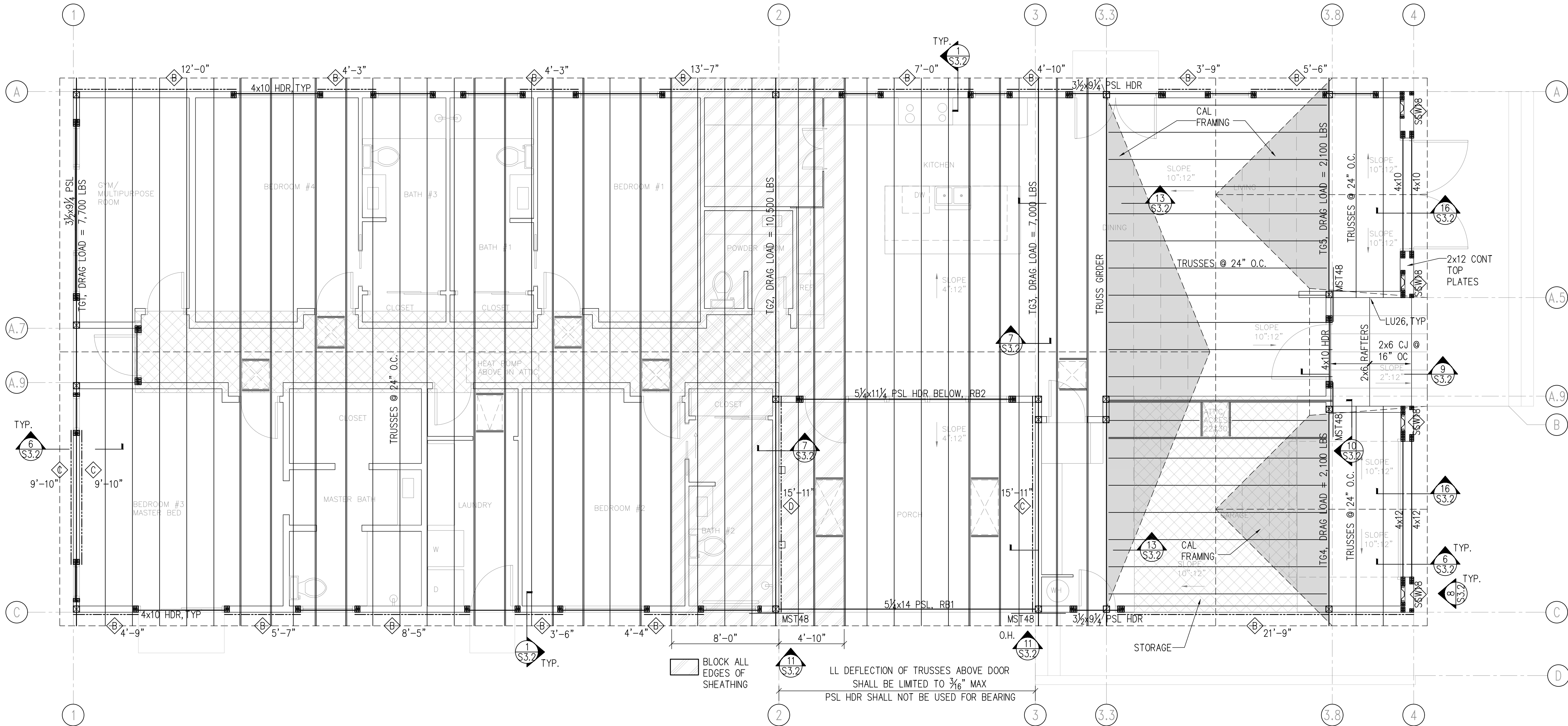
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ROOF FRAMING  
PLAN

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JOB	2021
SHEET	

S2.2



SHEAR WALL LEGEND:

BOX DENOTES TYPE OF SHEAR WALL BELOW ROOF,  
SEE SHEET S3.1 FOR SCHEDULE  
BOX SIDE DENOTES SIDE OF SHEAR WALL SHEATHING  
DENOTES LENGTH OF SHEAR WALL

NEW SHEAR WALL

ROOF FRAMING NOTES:

- SEE SHEET S1.1 FOR SPECIFICATIONS AND DESIGN CRITERIA.
- PROVIDE MINIMUM 4x POST UNDER EACH BEAM AND THE POST SHALL BE CARRIED DOWN TO FOUNDATION.
- ROOF SHEATHING SHALL BE UNBLOCKED, UNLESS OTHERWISE NOTED ON PLAN.
- THE DESIGN OF ROOF FRAMING ALLOWS FOR 5 PSF DEAD LOAD FOR COMPOSITION TILE ROOFING MATERIAL. ANY CHANGES TO THE ROOFING MATERIAL SHALL BE BROUGHT TO THE ENGINEERS AND TRUSS DESIGNERS ATTENTION PRIOR TO SUBSTITUTING THE MATERIAL.
- NON-BEARING INTERIOR WALLS SHALL NOT BE USED AS BEARING SUPPORTS.
- AT CALIFORNIA FRAMING PROVIDE 2x4 RAFTERS. PROVIDE 2x STRUTS @ 24" O.C. WHEN RAFTER SPACING EXCEEDS 6'-0". COLLAR TIES ARE NOT A SUBSTITUTE OR REPLACEMENT FOR STRUTS. ROOF RAFTERS SHALL BE COMPLETELY SHEATHED UNDER CAL FRAMING. PLACE 2x SLEEPERS AT 48" O.C. PARALLEL TO VALLEY PAD.
- PROVIDE 2-FT.x2-FT. OPENING IN MAIN ROOF UNDER CAL-FRAMING FOR ATTIC VENTILATION.
- ROOF FRAMING SHOWN IS CONCEPTUAL ACTUAL LAYOUT MAY BE DIFFERENT ON SITE. CONTRACTOR SHALL COORDINATE WITH TRUSS SUPPLIER BEFORE BEGINNING ANY WORK.
- CONTRACTOR SHALL BRING DISCREPANCIES ENCOUNTERED ON SITE TO ARCHITECT AND STRUCTURAL ENGINEER'S ATTENTION FOR RESOLUTION.



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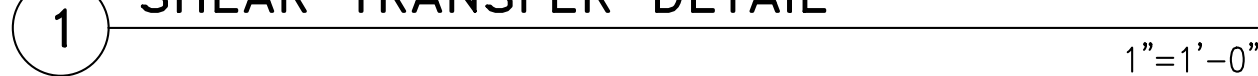
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## S3.1

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NTS

1. ALL NAILING NOT SHOWN IS PER NAILING SCHEDULE OR AS DETAILED ELSEWHERE.
2. PROVIDE STRAPS @ T&B CORNERS OF ALL WALL OPENINGS PER THE FOLLOWING SCHEDULE:
  - OPNG UPTO 4'-0" WIDE: CS20 STRAP W/ MIN. 10-8d EA. SIDE OF SPLICE PT
  - OPNG GREATER THAN 4'-0" WIDE: CS16 STRAP W/ MIN 16-8d EA SIDE OF SPLICE PTDISTRIBUTE NAILING EVENLY ALONG BLKG W/ 6-8d MINIMUM TO EA BLOCK FACE.  
PROVIDE STRAP EA SIDE OF WALL
3. CONNECT JAMB POSTS T&B AS FOLLOWS:
  - W LESS THAN 4'-0" WIDE: TOEN PER SCHED
  - W UPTO 8'-0" WIDE: A23 CLIP T&BSEE DRAWINGS FOR OTHER CONDITIONS.
4. CONNECT HDRS & SILLS TO JAMB POSTS EA SIDE AS FOLLOWS:
  - W LESS THAN 4'-0" WIDE: NAIL PER SCHED
  - W GREATER THAN 6'-0" WIDE: A35 CLIP 1 SIDE OF POST
  - W LESS THAN 8'-0" WIDE: A35 CLIP EA SIDE OF POSTSEE DRAWINGS FOR OTHER CONDITIONS
5. UNLESS OTHERWISE SHOWN ON PLAN, PROVIDE HEADERS @ T.O. OPNGS AS FOLLOWS:
  - W LESS THAN 4'-0" WIDE: HDR DEPTH = 6" NOM
  - W LESS THAN 6'-0" WIDE: HDR DEPTH = 8" NOM
  - W UPTO 8'-0" WIDE: HDR DEPTH = 12" NOMHEADERS TO BE SOLID TIMBERS W/ THICKNESS SAME AS WALL STUDS.







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OF 8 SHEETS



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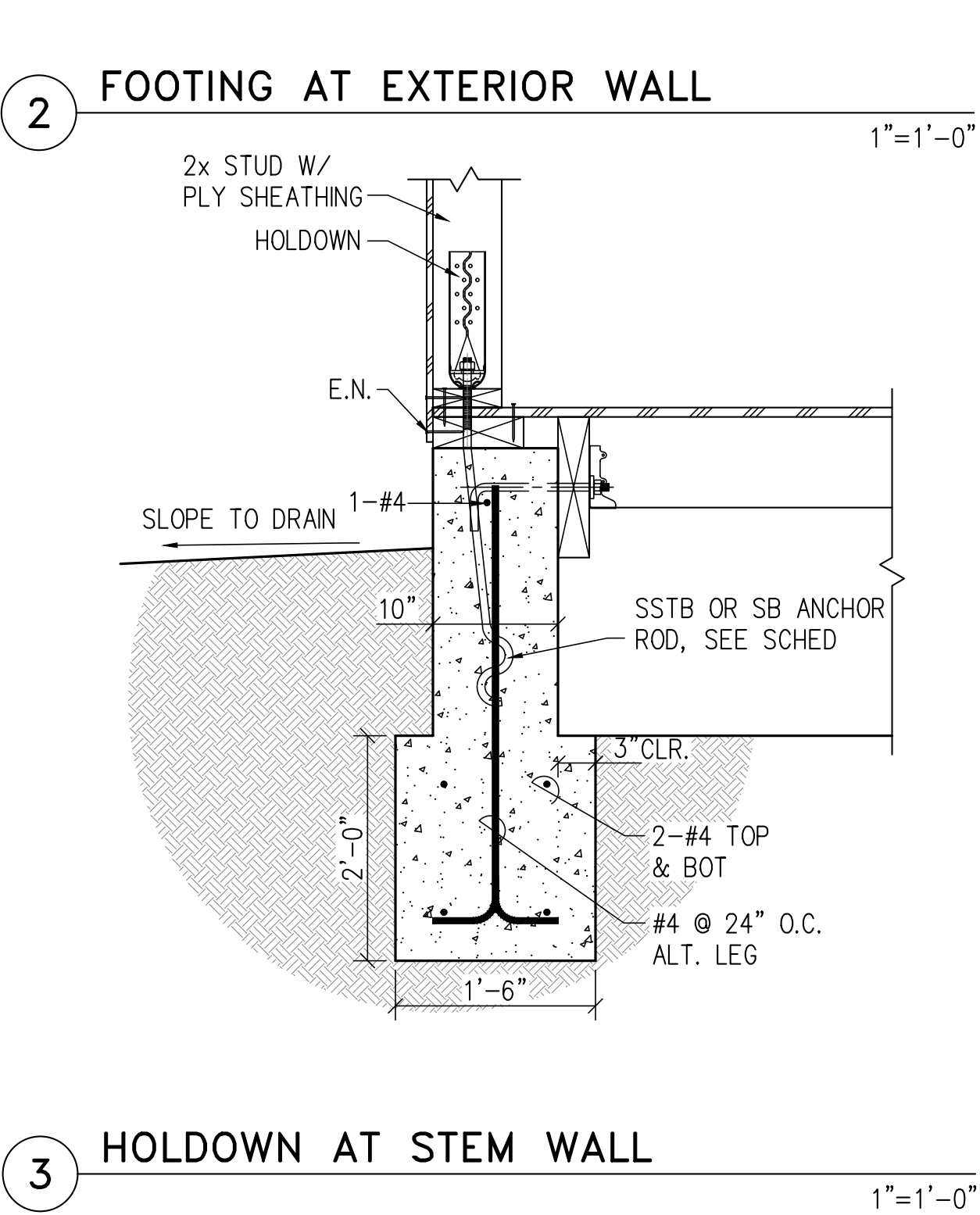
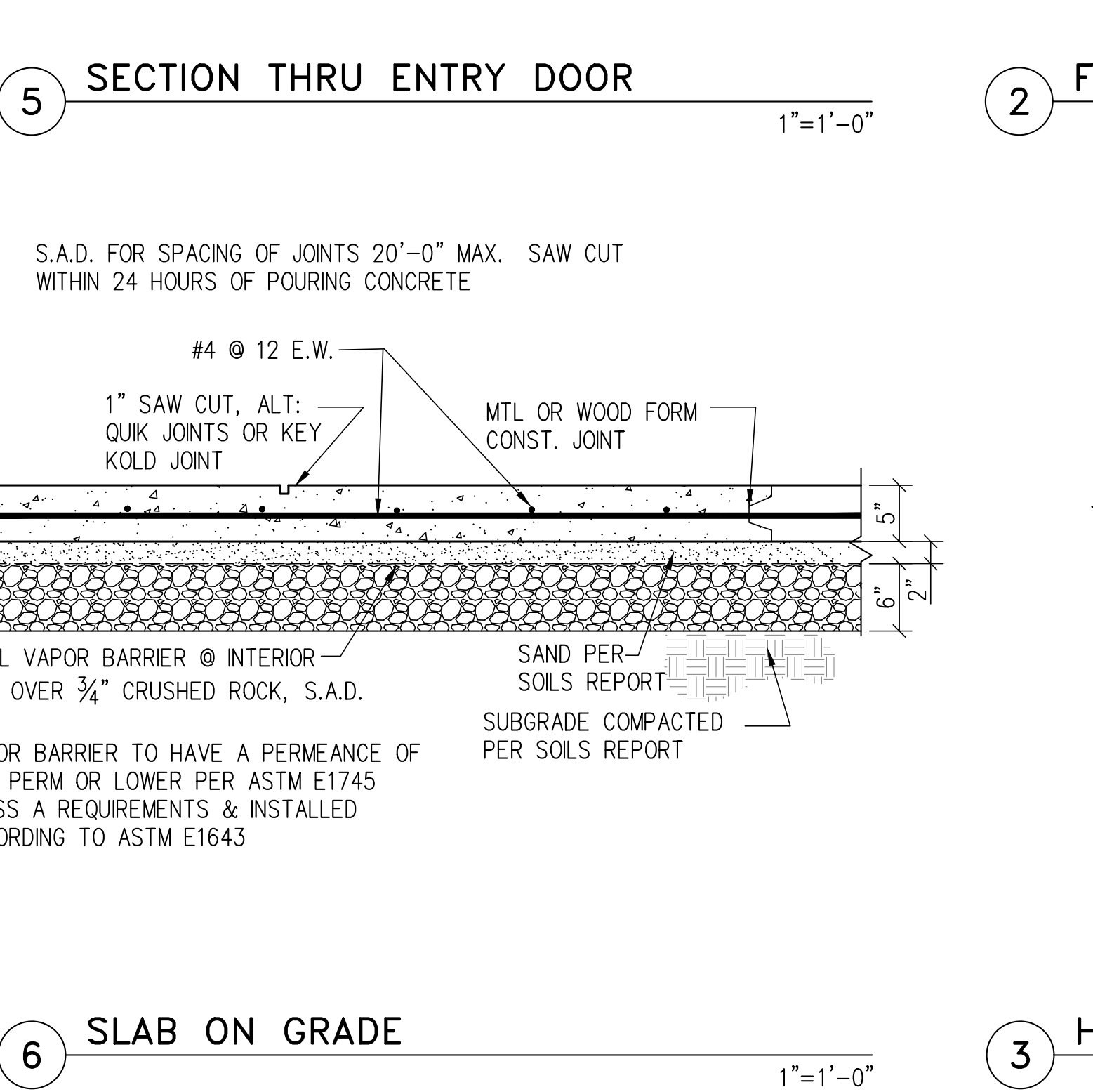
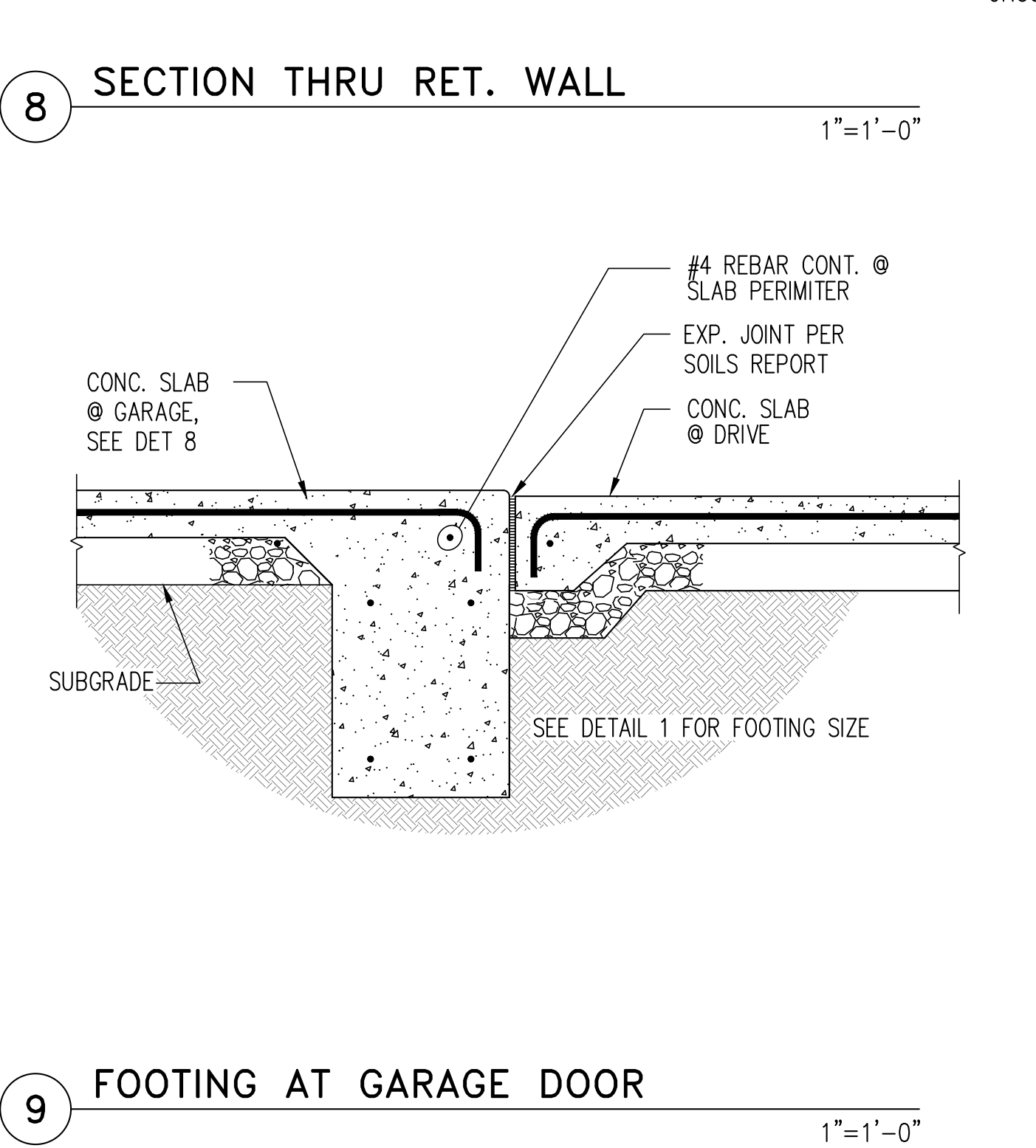
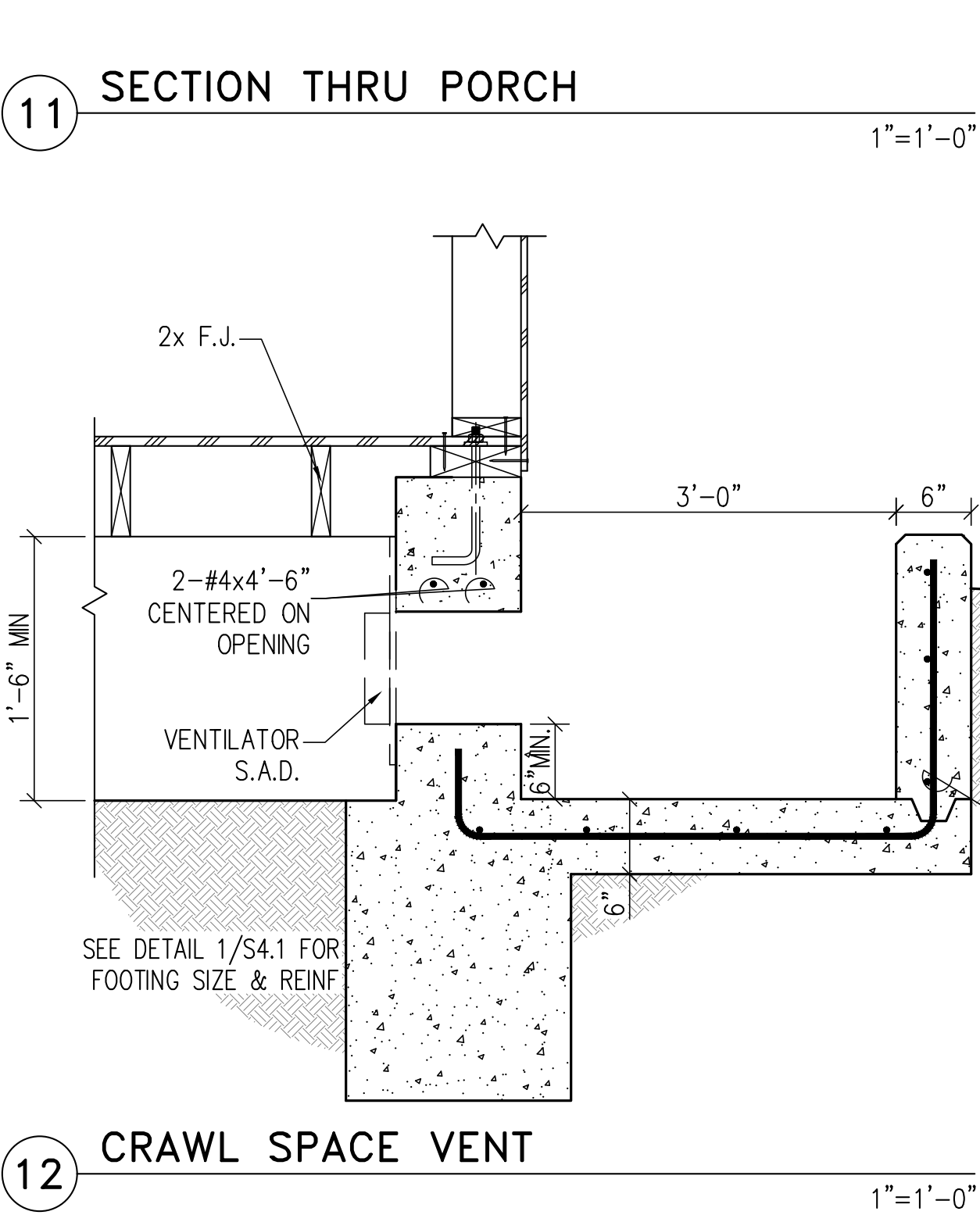
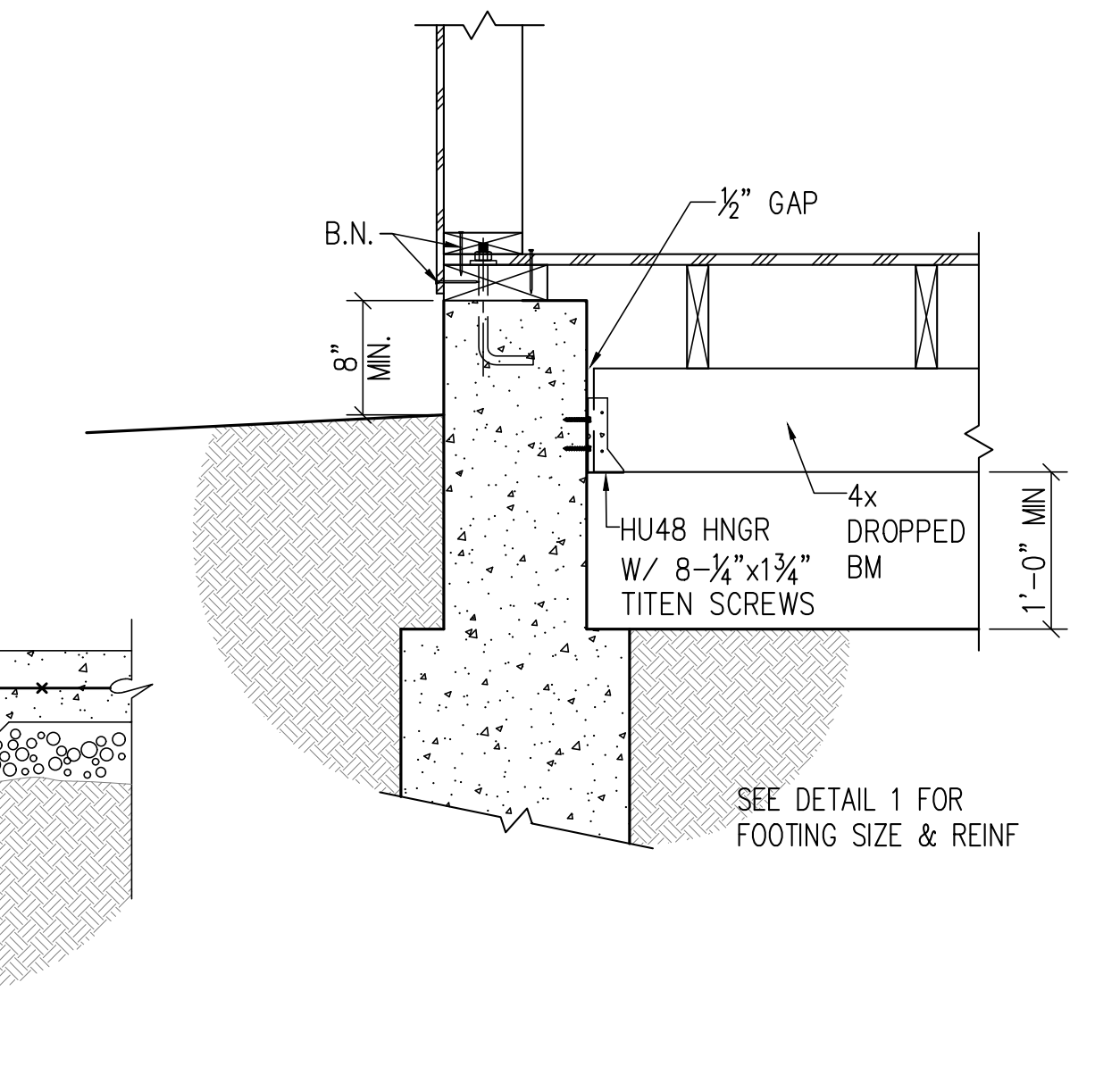
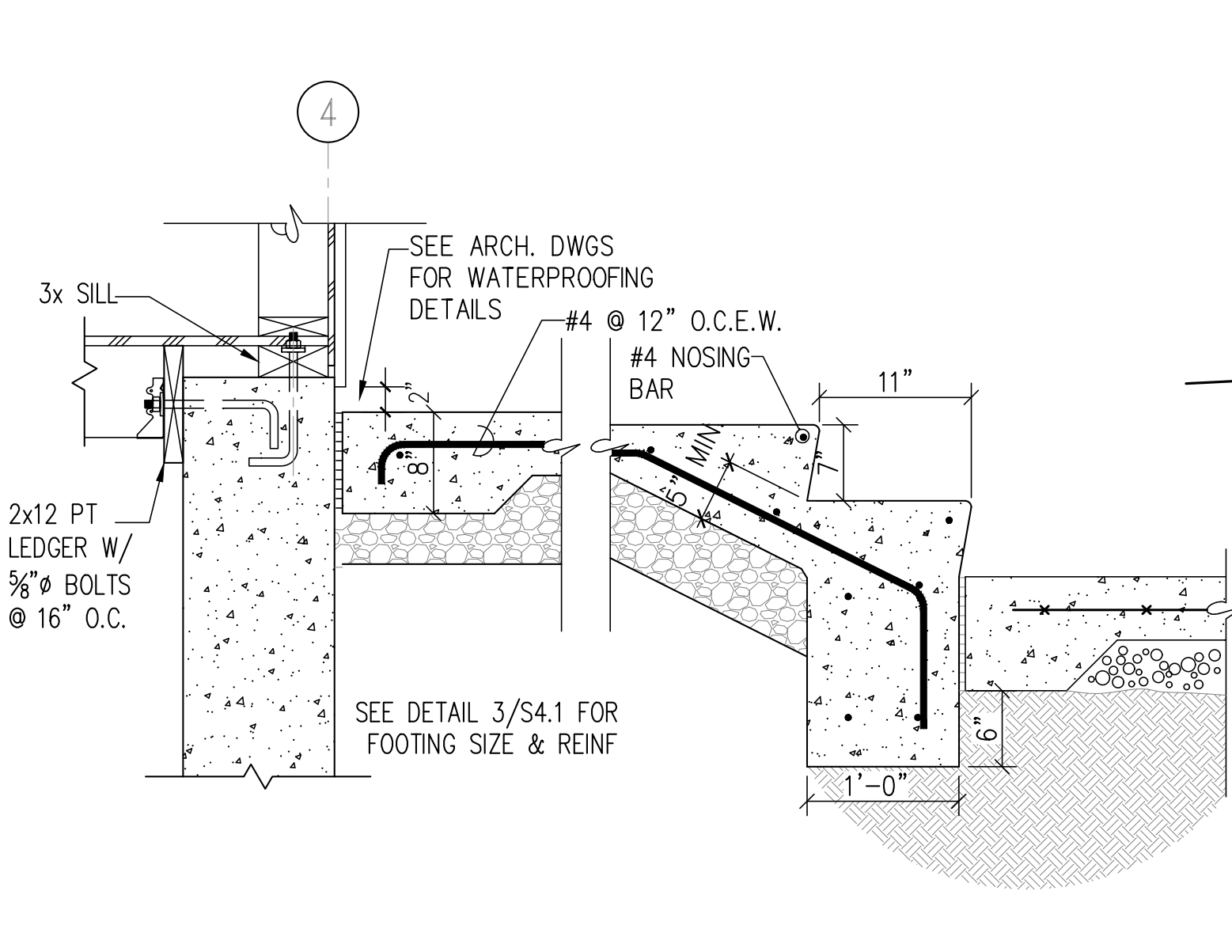
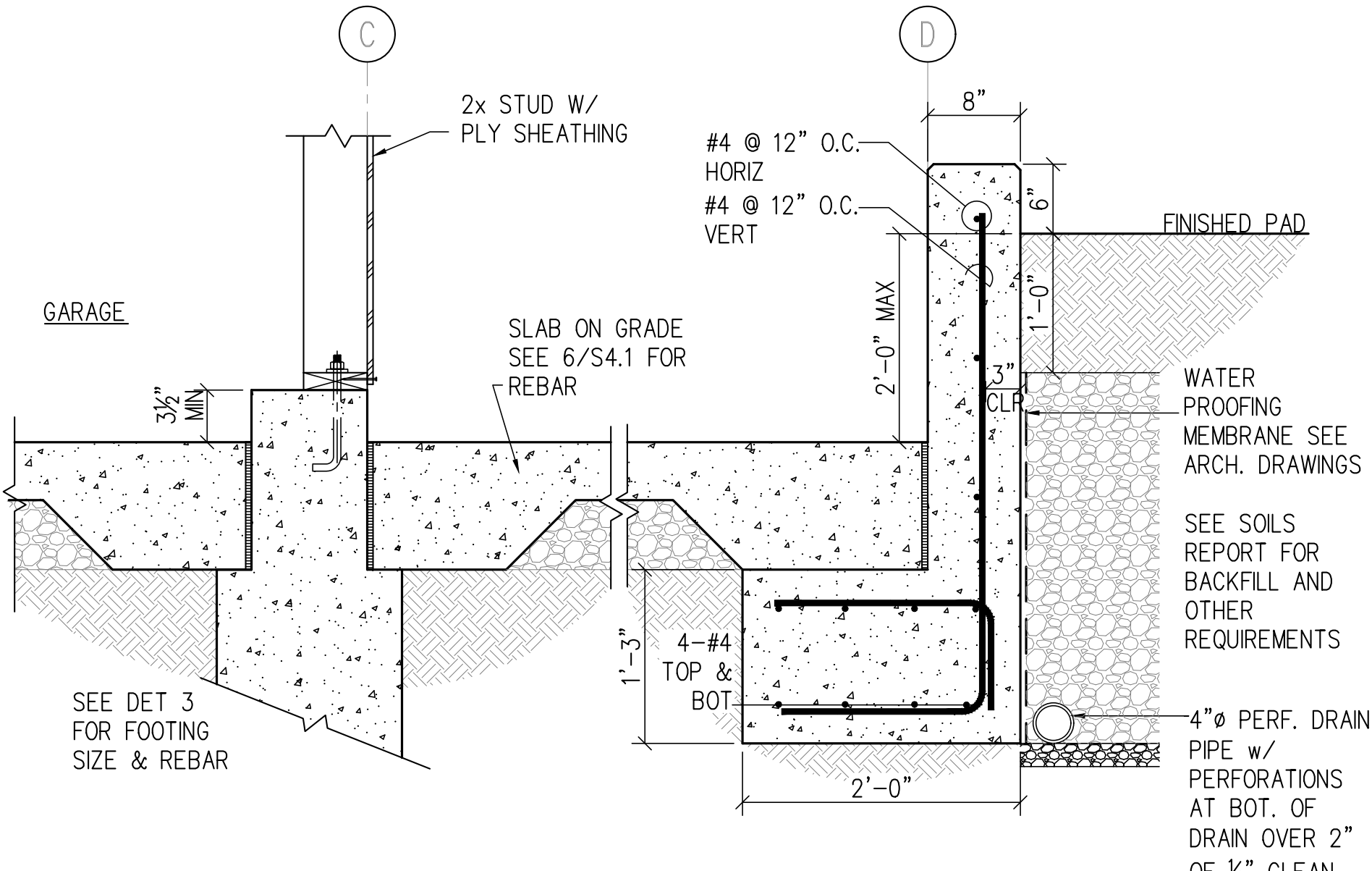
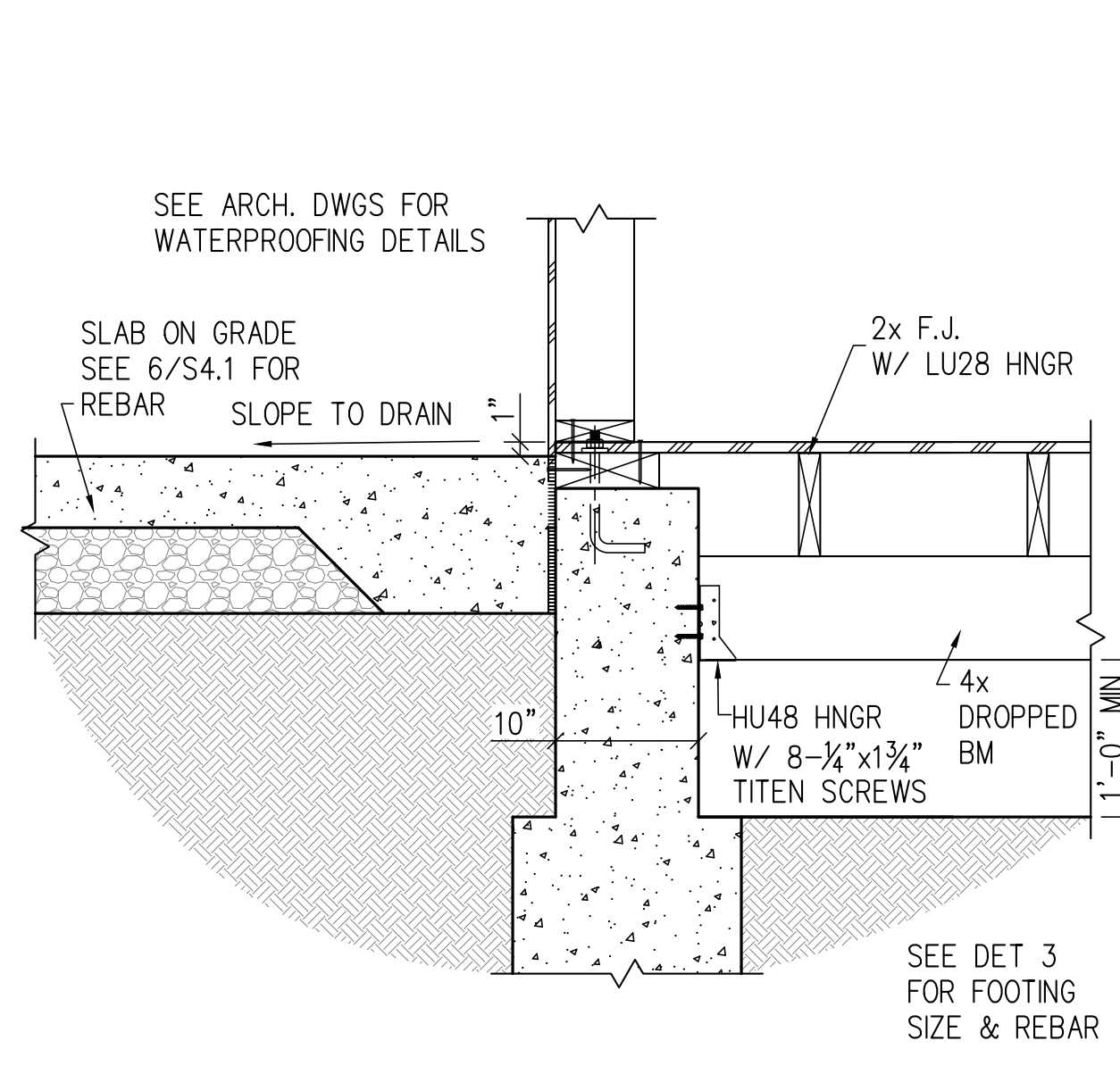
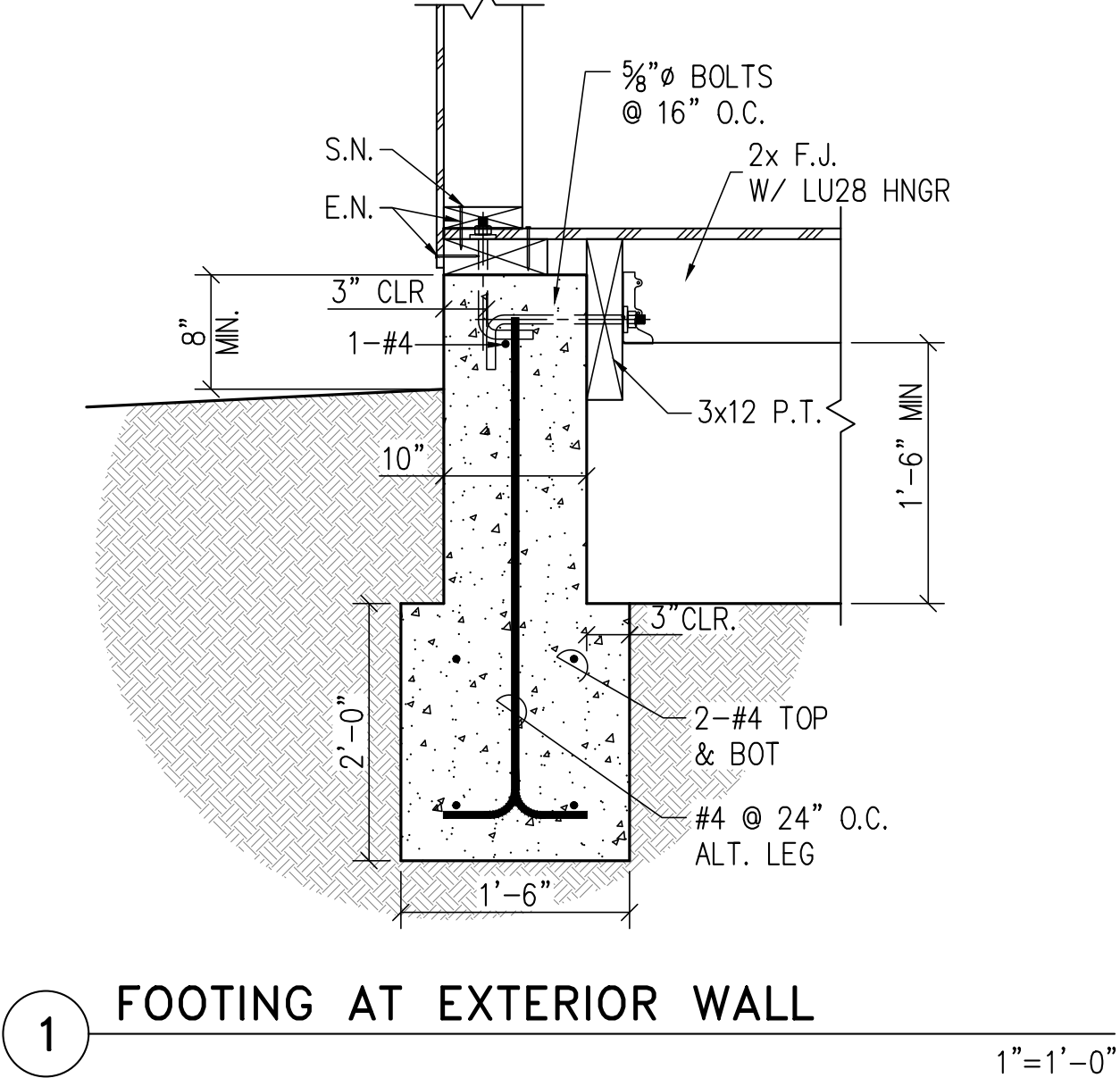
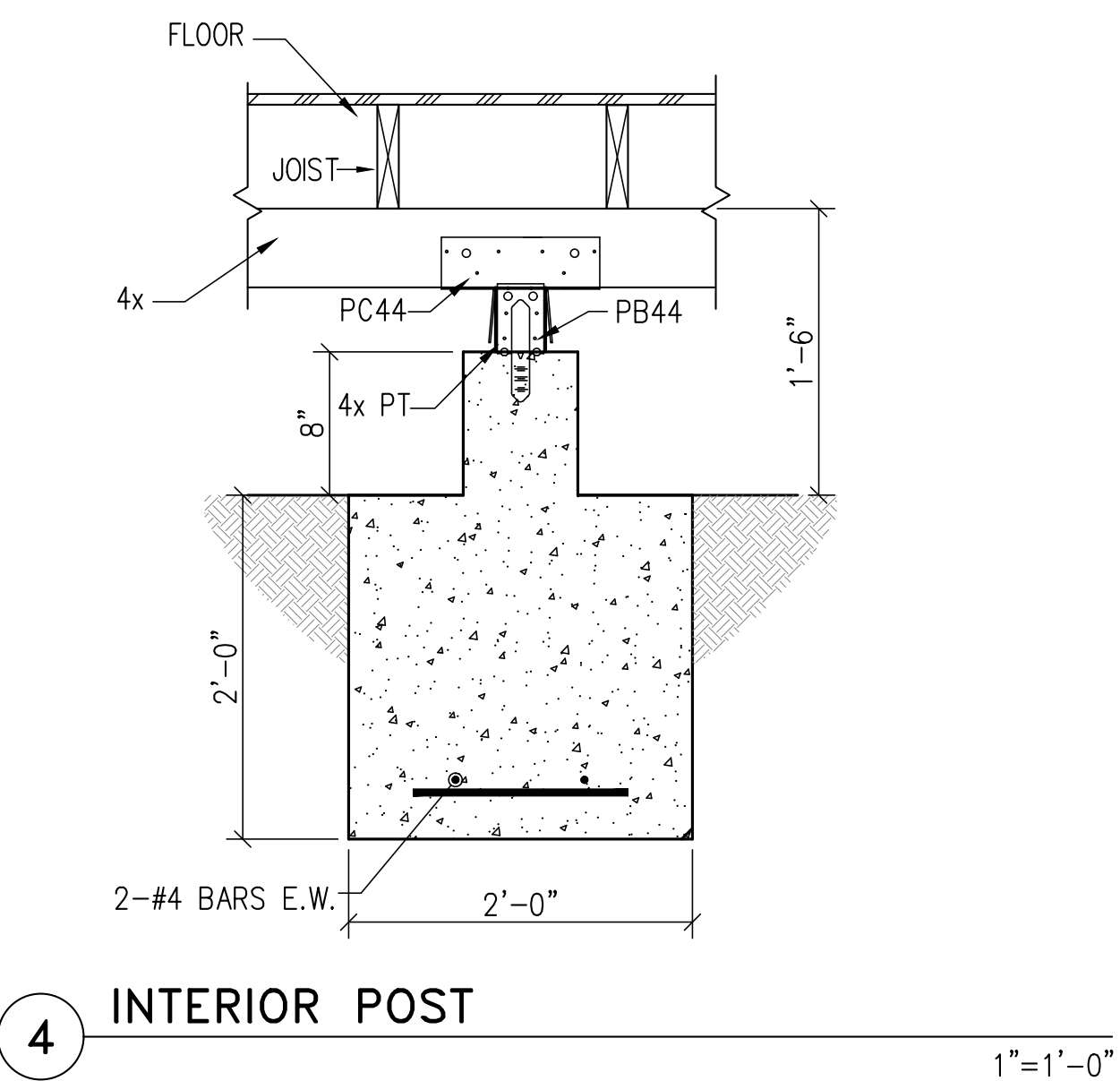
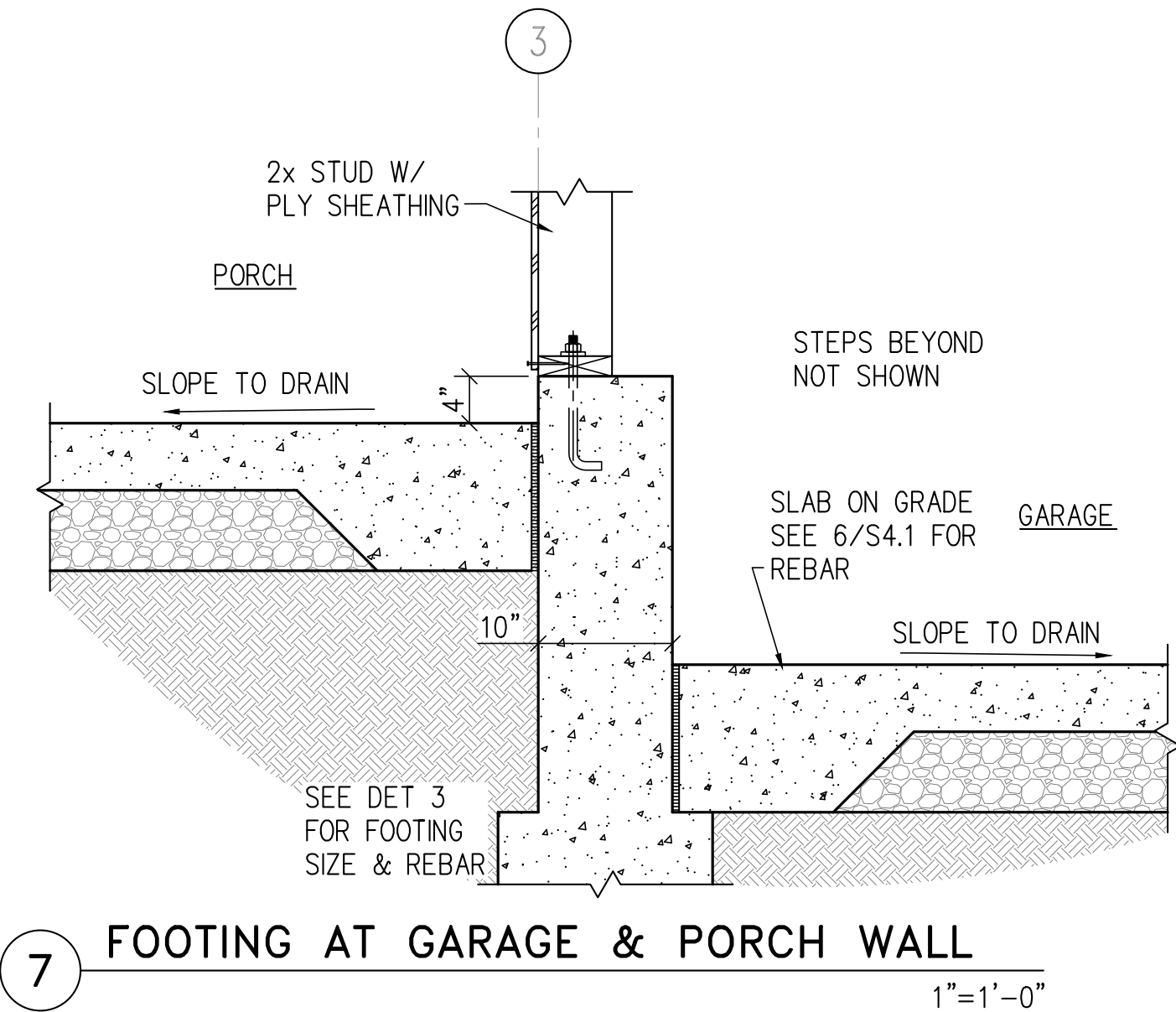
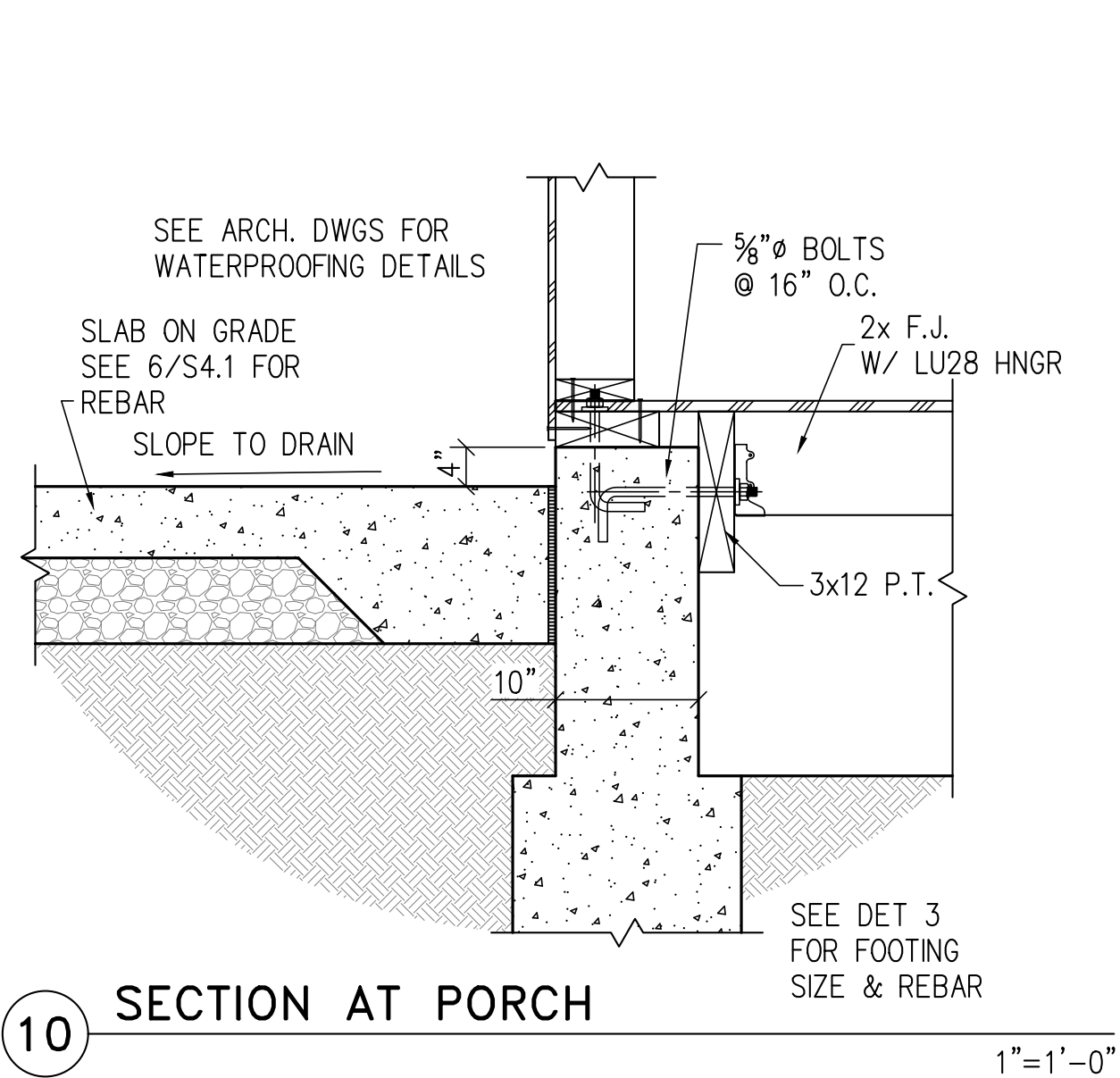
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FOUNDATION  
DETAILS

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S4.1



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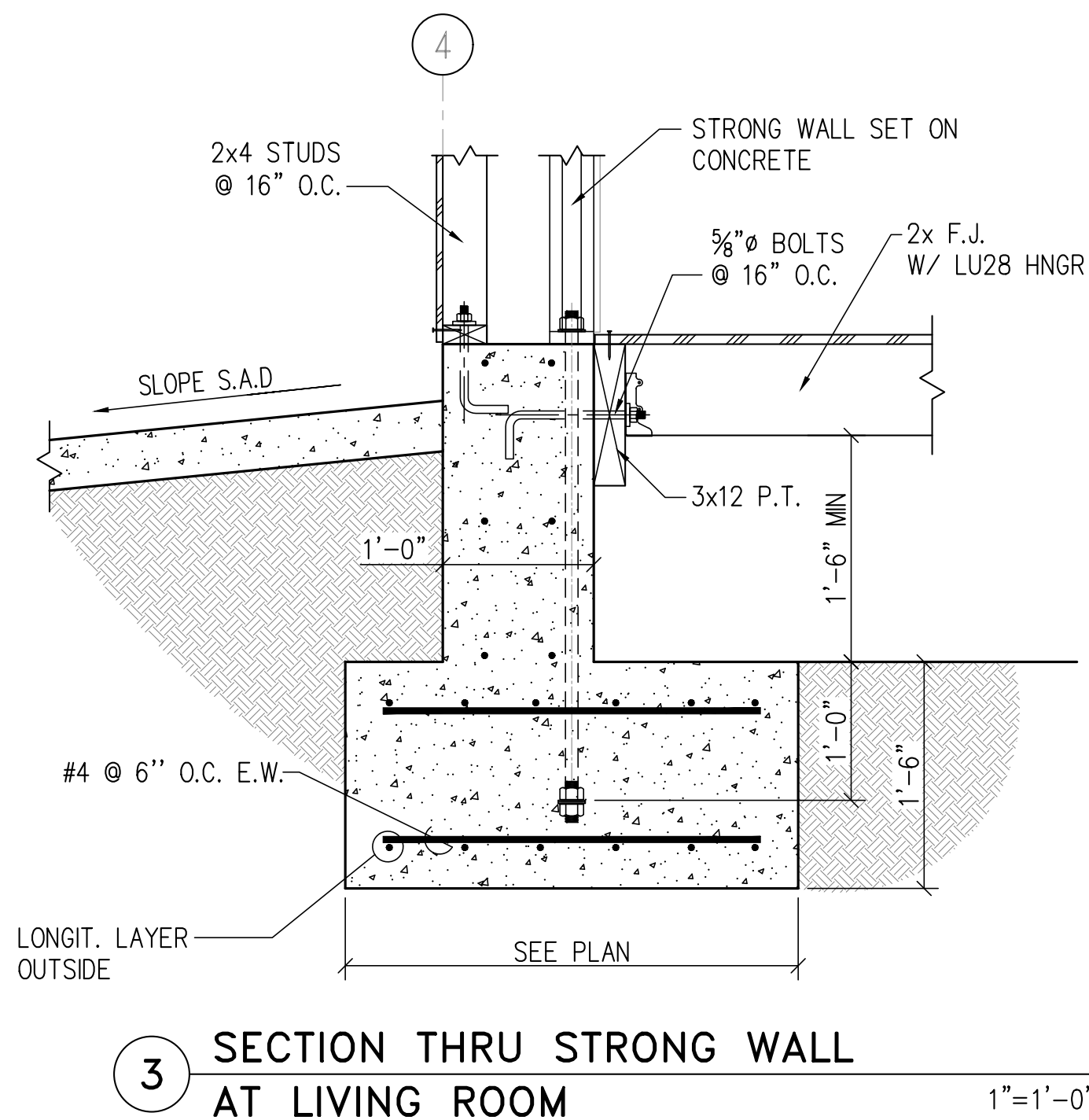
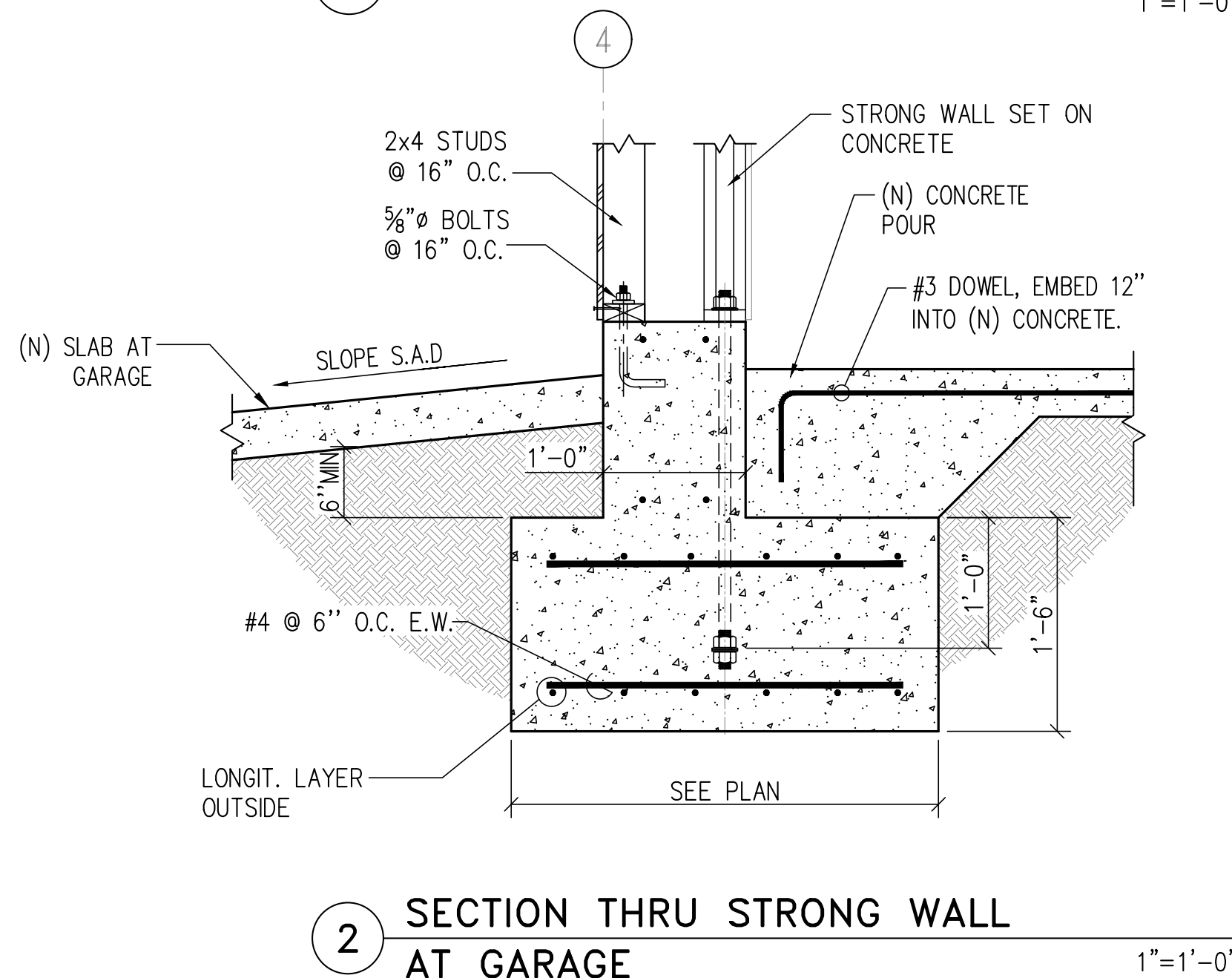
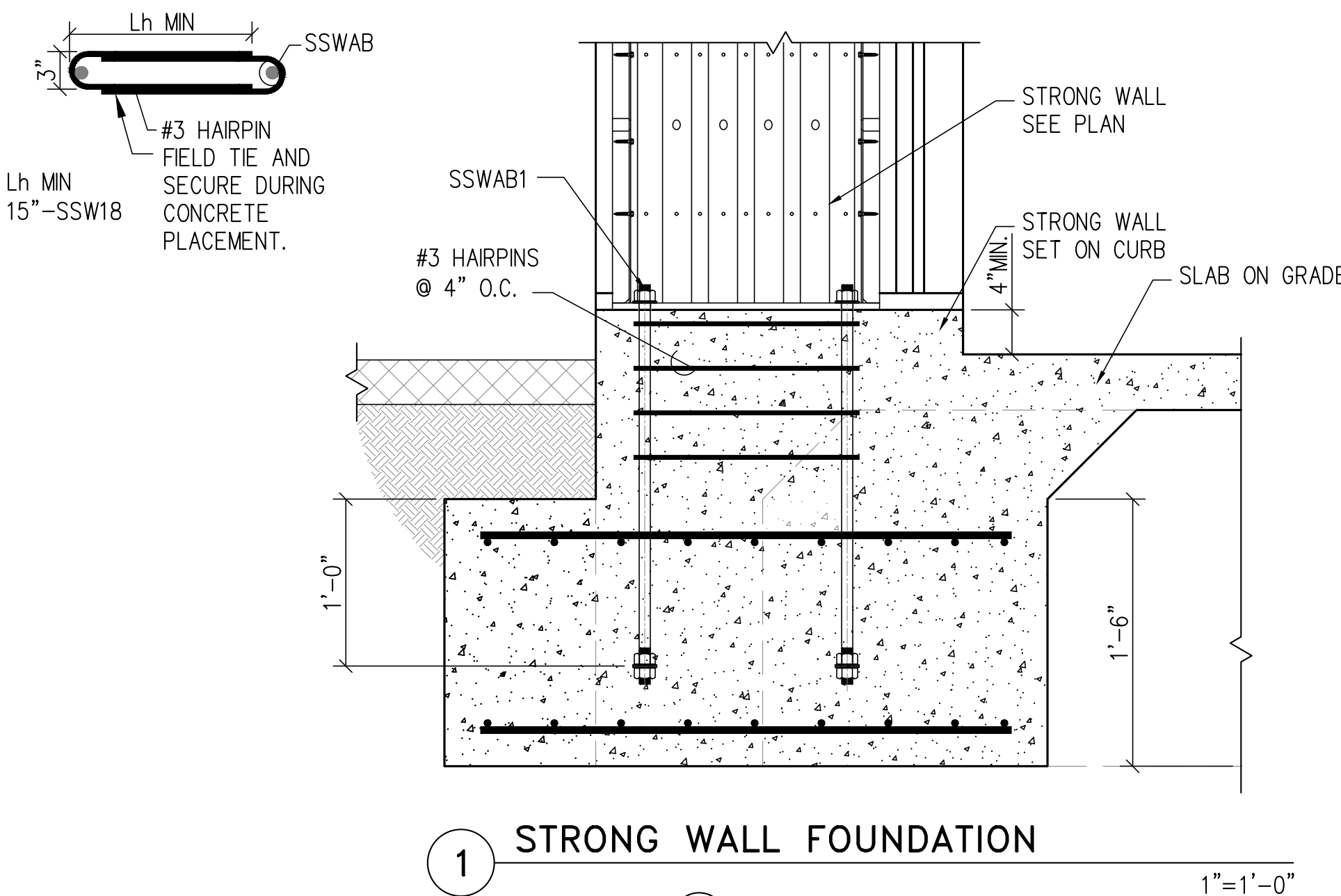
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## S4.2

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Dames & Moore

Town of Los Gatos  
Community Development Department (Public Hearing)  
110 E. Main Street  
Los Gatos, CA 95030

February 1, 2022

RECEIVED

FEB 2 - 2022

TOWN OF LOS GATOS  
PLANNING DIVISION

Public Hearing  
Complaint on Exceptions in Architecture and Site Application S-21-020  
APN 523-22-010  
15605 El Gato Lane  
Los Gatos, CA

The following is a complaint on an Exception for Maximum Lot Coverage and Site Work Requiring a Grading Permit on Nonconforming Property Pre-Zoned R-1:8.

15605 El Gato Lane is located on an Alluvial Fan with a downward slope of approximately 30 degrees descending from Linda Avenue.

15605 El Gato Lane is located on the San Andreas Fault Zone.

As a result, the Architecture and Site Application S-21-020 as currently proposed will cause collapse of the soil substrate and fences along certain sections of the property boundary, with the potential of damaging adjacent housing structures.

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