

TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE MARCH 26, 2025 110 EAST MAIN STREET TOWN COUNCIL CHAMBERS 4:00 PM

Lee Quintana, Chair Martha Queiroz, Vice Chair Susan Burnett, Planning Commissioner Emily Thomas, Planning Commissioner Alan Feinberg, Committee Member

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend inperson, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@losgatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email <u>planning@losgatosca.gov</u> with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email to <u>planning@losgatosca.gov</u> by 3:00 p.m. the day of the meeting.

CALL MEETING TO ORDER

ROLL CALL

CONSENT ITEMS (Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)

1. Draft Minutes of the February 26, 2025 Historic Preservation Committee Meeting **VERBAL COMMUNICATIONS** (Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)

PUBLIC HEARINGS (Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)

- 2. Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. Located at 222 University Avenue. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Minor Development in an Historic District Application HS-24-055. Property Owner/Applicant: Tuyet Pham. Project Planner: Sean Mullin.
- 3. Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. Located at 31 University Avenue. APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.
- 4. Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 16488 Bonnie Lane. APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California

Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

5. Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. Located at 16401 Englewood Avenue. APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002. Property Owner/Applicant: Christine Garwood. Project Planner: Ryan Safty.

OTHER BUSINESS (Up to three minutes may be allotted to each speaker on any of the following items.)

- 6. Consider a Request for Preliminary Review to Construct an Addition to an Existing Pre1941 Single-Family Residence on Property Zoned R-1D. Located at 333 Los Gatos Boulevard. APN 529-22-021. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Request for Review Application PHST-25-004. Property Owner/Applicant: Nichola Palmer. Project Planner: Sean Mullin.
- 7. Committee Conduct and Procedures
- 8. Annual Certified Local Government Report 2023-24

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

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TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

ITEM NO: 1

DRAFT MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING FEBRUARY 26, 2025

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on February 26, 2025, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Lee Quintana, Planning Commissioner Susan Burnett, and Committee Member Alan Feinberg.

Absent: Planning Commissioner Emily Thomas and Vice Chair Martha Queiroz.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS

- 1. Approval of Minutes January 22,2025
- MOTION: Motion by Commissioner Burnett to approve the consent calendar. Seconded by Committee Member Feinberg.
- VOTE:Motion passed unanimously, 3-0. Commissioner Thomas and Vice Chair
Queiroz absent.

PAGE **2** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

PUBLIC HEARINGS

2. <u>17121 Wild Way</u> Request for Review PHST-24-022

Consider a Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: ALG Homes, LLC Applicant: Erik Zang Project Planner: Maria Chavarin

The project planner presented the staff report.

Opened Public Comment.

Mark Hulbert, Preservation Architect,

Mark has decades of experience with historic resources which includes windows. Window manufacturers now offer more historic style windows. Of the array of window choices, he recommends for residential buildings, either the Marvin's ultimate series or the Anderson's E series. Both offer high quality and offer customization. The existing windows are steel. But at 100 years old, they are leaky and rusty on the interior. A new steel replacement is four times the cost if other options. Steel is also bulky and heavy. There is nothing wrong with fiberglass. There are solid and aluminum clad choices. They offer casing choices. The Marvin's Ridgeland profile matches the windows on the house. The windows' interior would be wood and painted.

Committee members asked questions of the applicant.

Mark Hulbert, Preservation Architect,

The Marvin clad has simulated divided lites. The old windows have a 1-¼ inch sash of steel. The new windows have a 2-inch sash necessary to meet environmental needs. The dark sample is the Anderson profile. The Marvin example is a better profile match. The casing is a better match. There is a better profile on the muntin. It is a custom narrow muntin. The divided lites are simulated and not individual glass panes. The windows will be double-paned, environmental, and fire glass. All forty windows will be changed. Marvin can customize each one. The color of the window will be a dark charcoal. The metal edge will not show. It'll be a full window. The frame, sash, casings are all one piece. The Fire Department asks that all the windows be changed for fire protection. The steel doors will remain.

Closed Public Comment.

Committee members discussed the matter.

PAGE **3** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

Surprised to find a Tudor style home of this quality and age is in this Town. It is truly unique. Thank you for taking the extra effort to preserve what is there. Thank you to the owners for doing what we asked and presenting it to us.

MOTION: Motion by Committee Member Fienberg to Approve the Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080. Recommending the Marvin window described as a half metal clad and wood interior window. Seconded by Commissioner Burnett.

VOTE:Motion passed unanimously, 3-0. Commissioner Thomas and Vice Chair
Queiroz absent.

3. <u>354 Bachman Court</u> Request for Review Application HS-25-008

Consider a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: John Haas Applicant: Renewal by Andersen/Hilda Ramirez Project Planner: Sean Mullin

The project planner presented the staff report.

Opened Public Comment.

Hilda Ramirez, Applicant

Mr. Haas, the owner, attempted to purchase twelve retrofit Fibrex windows and one patio door. The original windows are vinyl. The owner's main concern is about energy efficiency.

Closed Public Comment.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

When the Design Guidelines were written, these materials were not available. "Fibrex" is the brand name for wood composite. The applicant is proposing like-for-like double-hung windows.

Committee members discussed the matter.

PAGE **4** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

- MOTION: Motion by Commissioner Burnett to Approve a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. Seconded by Allen Feinberg.
- VOTE:Motion passed unanimously, 3-0. Commissioner Thomas and Vice Chair
Queiroz absent.
 - 4. <u>123 Wilder Avenue</u> Architecture and Site Application S-23-039

Consider a Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage) Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-18-008. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Bogusla Marcinkowski and Brygida Sas-Marcinkowski Applicant: Jose De La O Project Planner: Sean Mullin

The project planner presented the staff report.

Applicant is not present.

Opened and Closed Public Comment.

Committee members discussed the matter.

Concerned that the applicant has not shown up or sent a representative. Would like to hear from them before deciding. In support since the proposed siding would complement the house which has the same style siding. The owner wants to change the siding but that requires an entirely different application. The setbacks are not standard either. If the siding changes, it loses the setback variance. Could not support the application if it does not follow the rules.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

A potential remedy is to apply for a Variance to the shingle siding and a Variance for the non-conforming setback. If the exterior is so rotten, it can be demolished with in-kind replacement. If deemed reparable by the Building Official, they can replace in kind using the same footprint. Communication with the applicant is challenging. It is best to have them appear to a hearing to get their feedback.

PAGE **5** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

- MOTION: Motion by Chair Quintana to Continue to a Date Uncertain the Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage), for Staff to Communicate with the Applicant as to Difficulties of a Non-in-Kind Replacement and for Next Steps. Seconded by Commissioner Burnett.
- VOTE:Motion passed unanimously, 3-0. Commissioner Thomas and Vice Chair
Queiroz absent.
 - 5. <u>31 University Avenue</u>

Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001

Requesting Approval for Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Planned Development Modification PD-25-001, Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC Applicant: Rick Nelson, MBH Architects Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Jordan Brown, Architect and Design Lead, and Stu Waggoner, Pre-development Lead

RH is a retail and restaurant company founded in 1979 in Northern California. It is based in Corte Madera with several prominent locations around the Bay Area including a Gallery on Santa Cruz Avenue. Where they have been a tenant for the last 15 years. We are invested in the design of our brand and physical gallery experiences. We're obsessed with great architecture. We either find to readapt existing buildings or build. With Los Gatos it a little bit of both. The proposal at 31 University Avenue is sensitive to and supportive of the larger historic district. The design will expand the aesthetic and details of the existing Meditteranian style while maintaining the existing footprint, setback, and overall massing.

Upgraded building finish of hand-troweled colored venetian plaster, installation of new metal windows and doors whose size, rhythm and topology consistent with the existing building style and of the caliber of the old town shopping center across University Avenue. The current building is a non-contributing commercial building, built in 1999. Currently an assemblage of small store fronts of miscellaneous, unrelated materials. Previously housed two separate retail

PAGE **6** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

and restaurant tenants. The retail portion has been vacant for last two years. Proposal as a single tenant, they unified the unrelated units to create a visually harmonious and stately façade commensurate with the caliber of the surrounding Old Town commercial center. As shown in the elevation comparison, our proposal reorganizes the buildings for our needs by creating a central entry and restaurant space with surrounded retail that seamlessly blends interior and exterior home and hospitality. Created a formal central entry and adjusted the misaligned cornices and rooflines as well as the window sizing and spacing for a more cohesive façade.

Committee members asked questions of the applicant.

Jordan Brown, Architect and Design Lead

We took our design cues from the existing architecture. The existing façade details are carried through to the new design. This proposal is one of the more unique Restoration Hardware buildings in the area. It was designed at a smaller scale to fit a smaller town. The footprint, cornice details, façade openings, and window details all match what is there. Most of the surrounding buildings are all the same material. The skylight would be barely visible from the human eye level, down the street and from across the street. The skylight is seven inches lower than the surrounding buildings. We have brought renderings of different perspectives, time of day, an interior view to show how it relates to the exterior, a photo of the corner now and a drawing of the proposed for comparison. However, there is not a drawing of the rear view from the parking lot.

Closed Public Comment.

Committee members discussed the matter.

The building seems out of character with the rest of Old Town. It does not follow Policy LU 6.5: consistent with the neighborhood, or Policy LU 1.4: designed in context of the neighborhood. The skylight can be seen from the back. The roofline does not have enough character. The proposed design modifies the original intent of that side of the street which is to appear as a collective of individual structures. The three structures should not be unified into one consistent and symmetrical mass. Prefer the optical illusion of different rooflines, finishes, windows, and awnings. Even though it has the Mediterranean style it is not as compatible with the rest of downtown. The design doesn't relate well with the existing Old Town section of downtown.

MOTION: Motion by Commissioner Burnett to Deny the Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. They could come back. Seconded by Committee Member Fienberg.

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PAGE **7** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

ALTERNATEMOTION:Motion by Chair Quintana to Continue the Item to a Date Uncertain. Ask
the Applicant to Consider the Issues Raised about Being Broken up into
Different Sections and More Compatible with the Surrounding Structures.
Seconded by Commissioner Burnett

VOTE:Motion passed unanimously, 3-0. Commissioner Thomas and Vice Chair
Queiroz absent.

OTHER BUSINESS

 <u>14344 La Rinconada Drive</u> Request for Review Application PHST-24-013

Preliminary Review for Construction of an Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 14344 La Rinconada Drive. APN 409-19-019. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: William Maynard Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Michelle Minor, Architect Designer

The street is diverse in styles and sizes. The houses are predominately cottage style with a few Craftsmen, stucco ranch, and others. Their proposal has a garage on the street. There are eleven homes on that street. Three have no garages. Three have detached garages in the rear. One has a detached 3-car garage. One has a garage that takes up the whole front. One lot has two homes with a flag lot behind. This two-home lot has an attached garage that is 3 ½ feet in front of any other front elevation. The proposed design will be slightly back from the front and not as predominant. The garage roof pitch has been lowered from 12 by 12 to 10 by 12. The roof form has been reduced and the garage roof height has been reduced by over two feet. The structure now classified as an attic. On Wedgewood Avenue and Mulberry Drive, the garages are mainly located in front. As instructed, the design is set back, has reduced bulk, and all the materials, trim, windows, siding, and roofing will match what is there. The design is consistent with the street. It does not overwhelm the street. A fence and landscaping will be added in front.

Committee members asked questions of the applicant

PAGE **8** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

Michelle Minor, Architect Designer

If they make the roof double gabled it would be very prominent. Added a hip roof instead to reduce the prominence.

Closed Public Comment.

Committee members discussed the matter.

The request to be removed from the inventory has to be made by the Applicant. On this street there were other small bungalows that have asked to be removed from the inventory. But once a house is removed it can be replaced by a much larger structure. This design is a big improvement over what was presented before. It is a major upgrade to the street and the house. The Committee is supportive of the design.

This is a preliminary review and does not require a motion.

Staff will work with applicant on next steps.

REPORT FROM THE DIRECTOR

None.

COMMITTEE MATTERS

 Agenda item suggestion to have an informal discussion with committee and staff, on what constitutes a pre-1941 building, not in a Historic District, vs. a Landmark designation. A Landmark must be consistent with the State or Los Gatos criteria. If it is exceptionally significant it is a Landmark. Historic Districts that don't necessarily have Landmark building but can have Pre-1941 buildings that are contributors to the District. There are Pre-1941 Presumptive buildings that are not in a District. How do we decide what is not Presumptive but a Historic Resource? What is the criteria? Need clarity for consistency. It would be an educational discussion under Other Business.

ADJOURNMENT

The meeting adjourned 5:28 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 26, 2025 meeting as approved by the Historic Preservation Committee.

PAGE **9** OF **9** HISTORIC PRESERVATION COMMITTEE MINUTES OF FEBRUARY 26, 2025

Prepared by:

Sean Mullin, AICP, Planning Manager

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DATE:	March 21, 2025	
TO:	Historic Preservation Committee	
FROM:	Joel Paulson, Community Development Director	
SUBJECT:	Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. Located at 222 University Avenue . APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Minor Development in an Historic District Application HS-24-055. Property Owner/Applicant: Tuyet Pham. Project Planner: Sean Mullin.	

RECOMMENDATION:

Consider a request for approval for construction of an addition and exterior alterations to an existing non-contributing single-family residence located in the University-Edelen Historic District on property zoned R-1D:LHP located at 222 University Avenue.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1900 (effective year built 1920) per County Assessor's Database
- 2. Town of Los Gatos Historic Status Code: R, historic but grossly altered
- 3. Does property have an LHP Overlay? Yes
- 4. Is structure in a historic district? Yes, University-Edelen
- 5. If yes, is it a contributor? No
- 6. Findings required? Yes
- 7. Considerations required? Yes

BACKGROUND:

The subject property is located on the east side of University Avenue approximately 178 feet north of Miles Avenue. The property is developed with a single-story single-family residence with two attached accessory dwelling units. The County Assessor reports that the residence was constructed in 1900, with an effective year built of 1920. The Anne Bloomfield survey does not indicate an estimated age for the residence and provides a preliminary rating of "R" or historic

PREPARED BY: Sean Mullin, AICP Planning Manager PAGE **2** OF **4** SUBJECT: 222 University Avenue/HS-24-055 DATE: March 21, 2025

but grossly altered (Attachment 1). The Sanborn Fire Insurance Maps show the property vacant in 1908 with the residence first appearing on the 1928 map (Attachment 2). The footprint of the residence remains consistent through the 1956 map, which is markedly different than the current footprint. This indicates that numerous additions were completed after 1956, likely impacting all elevations.

Town records include multiple issued Building Permits for the property in the 1940s, 70s, and 90s; however, the permits are not legible, and the scope of work cannot be determined.

At least two previous projects on the property were review by the Committee in 2008 and 2014. During these reviews, the Committee opined that demolition of the residence was supported at the time. Minutes from these meetings are included as Attachment 3.

On November 20, 2024, the Los Gatos Historic Preservation Committee continued consideration of the request, recommending that the applicant consider the following feedback (Attachment 5):

- The proposed folding doors (two-panel and three-panel) on the front elevation are too contemporary for the residence and the District;
- The existing window on the left side of the front elevation should not be replaced with a door;
- Revise the proposed sliding door on the right elevation to a French door with divided lites to be consistent with the District;
- Select a siding product with a profile that is authentic and consistent with the District;
- Any new windows that are visible from the street should be double-hung; and
- Integrate the proposed trellis on the front elevation into the design to avoid a pasted-on appearance.

DISCUSSION:

The applicant submitted revised plans in response to the Committee's direction (Attachment 6). The revised plans show that the previously proposed two-panel folding door on the right side of the front elevation has been replaced with a propose French door system with divided lites. Additionally, the previously proposed three panel folding door on the left side of the front elevation has been eliminated and the existing window would remain. The horizontal siding proposed to replace the existing mix of siding in the previous plan has been revised to wood shingle siding. Lastly, the proposed trellis on the front elevation has been enlarged and includes more substantial posts and roof framing.

The applicant proposes replacement of the existing siding, which is comprised of wood shingles, board and batten, and horizontal wood siding distributed in an unorganized fashion on each elevation (Attachments 4 and 6). The existing mixed siding materials support the history of the

PAGE **3** OF **4** SUBJECT: 222 University Avenue/HS-24-055 DATE: March 21, 2025

residence presented above, that the residence has experienced numerous small additions across each elevation after 1956. The original footprint and exterior walls have been significantly impacted by these additions, either through removal or enclosure. The applicant proposes to remove the mixed wood siding and replace it with wood shingle siding across all elevations, resulting in a consistent aesthetic. On the surface, the siding replacement would result in a technical demolition; however, the Committee could exempt the siding replacement from the demolition calculation if it is determined that the siding being removed is not original to the pre-1941 residence based on the provided history of the residence.

FINDINGS AND CONSIDERATIONS:

A. Findings

Sec. 29.10.020. Demolition (historic structures)

All remaining exterior walls must be contiguous and must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

- *a. Replacement*. The exterior wall covering may be removed if the covering is not original to the structure.
- *b. Repair.* The removal and replacement of in kind non-repairable exterior wall covering (siding) resulting in no change to its exterior appearance or historic character if approved by the deciding body.
- *c. Removal.* The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

B. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

X For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

PAGE **4** OF **4** SUBJECT: 222 University Avenue/HS-24-055 DATE: March 21, 2025

C. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

CONCLUSION:

The applicant is requesting approval for construction of an addition and exterior alterations to an existing non-contributing single-family residence located in the University-Edelen Historic District located at 222 University Avenue. The applicant provided revised plans responding to the Committee's feedback. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The project would be accomplished through a Building Permit and would not return to the Committee.

ATTACHMENTS:

- 1. Anne Bloomfield Survey
- 2. Sanborn Fire Insurance Maps Exhibit
- 3. HPC Minutes from 2008 and 2014
- 4. Exterior Photos
- 5. November 20, 2024, HPC Action Letter
- 6. Revised Development Plans

) É	Anne Bloomfield Anne Bloomfield
	ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH
-	File address 222 University
	PARCEL MAP INFORMATION
	Parcel # $529-04-004 - W$ Lot size: <u>55</u> front ft. x <u>110</u> ft. deep
	Lot shape: Rectangle / L Rectangle with small rear jog Other
	Location: N_ S_ E / W_ side of _ / St_ Ave / Other
	distance to cross st: 165 ft. N/S_E_W_from Miles
	at NE NW SE SW corner of
	HISTORIC INFORMATION ON PARCEL MAP
	Old tract or subdivision name Vineyard Lots Old Block # 5 Old lot # 3
	FIELD SURVEY INFORMATION (handwritten in red)
	Preliminary rating R Estimated age ? Style mixed # stories!
	Alterations aluminum windows
	Other Ex-barn - shingles & board + batten
	COUNTY ASSESSORPROPERTY CHARACTERISTICS (paste on copy) EFFective date
	OWNERSHIP SHOWN ON MAPS Source Source Location of property, or Lot Owner Name Date Page Old tract/block/lot Size Name
	1891
	<u>B1k Book 1908</u>
	<u>Survey 1944</u>
	MISCELLANEOUS National Register listed date County Inventory 1979 Town of Los Gatos: Designation Recognition
	District Name
	Previous Survey
	Gebhard: page #illustration page # Butler/Junior League
	ATTACHMENT 1

L

Bellringers

222 University

Present owner: Mr. Joseph Molinari

E.c.d.

1896 L.G.T.R.

Ownership:

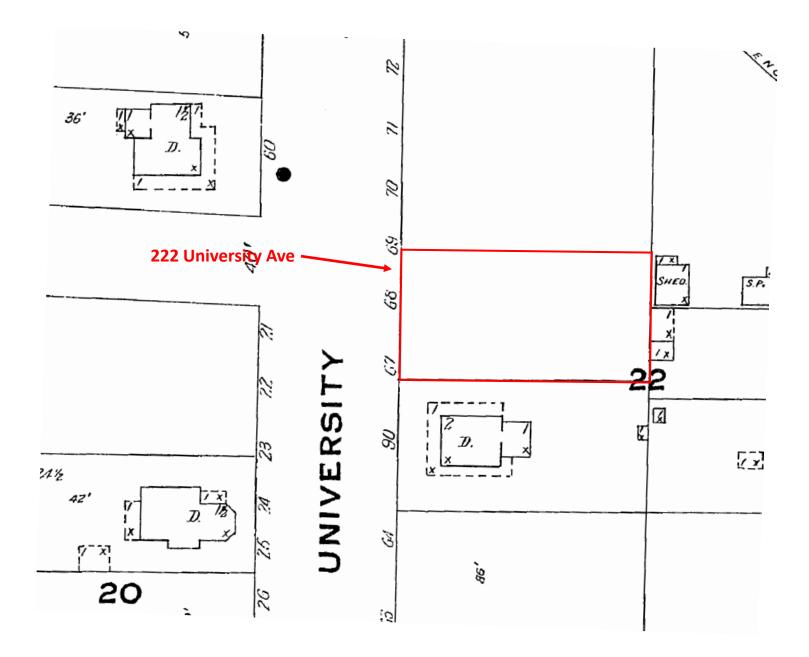
Sarah and Maybelle Johnson (1941 L.G.T.R.) Beauty Parlor in house

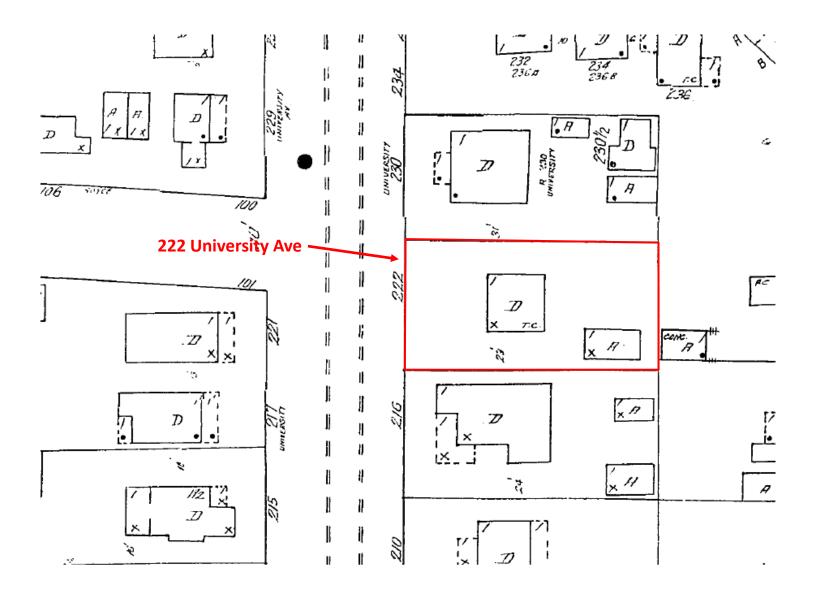
1000 M. HODELE GALLEUY

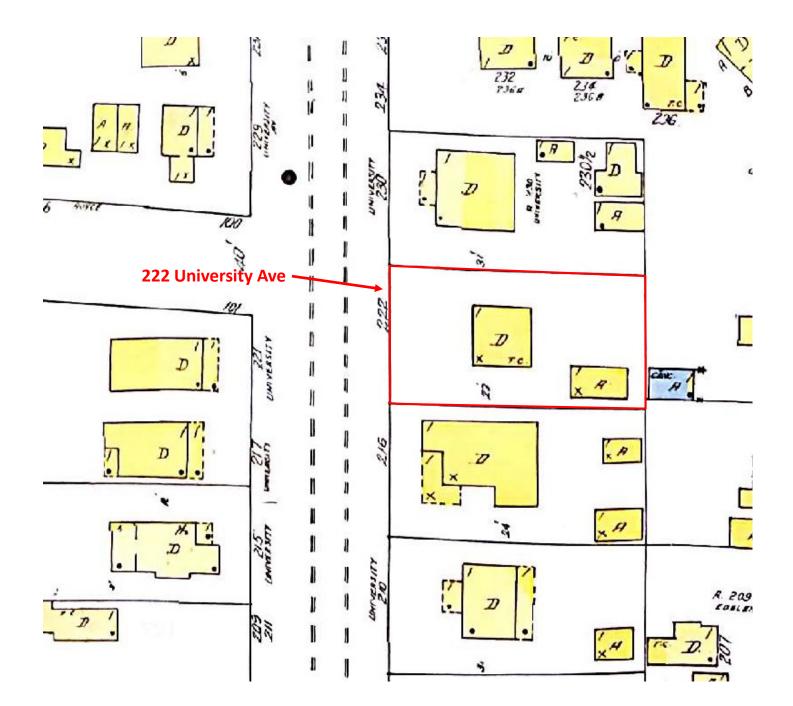
1970 Mr. Joseph Molinari, shop The Jade Buddha in house

Occupants:

1925 Ellen Sobey
1934 vacant
1943 - 1954 Mrs. Sarah B. Johnson
1967 Mrs. Anita Dinning, renter
Crisp & Reilly Real Estate, office in house







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110 TOWN OF LOS GATOS 110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR JANUARY 16, 2008, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Vice-Chair Pacheco.

ATTENDANCE

Members Present:	Bob Cowan, Len Pacheco, and Marico Sayoc
Members Absent:	Kendra Burch and Phil Micciche
Staff Present:	Sandy Baily, Associate Planner

ITEM 1:ZONING ORDINANCE AMENDMENT REGARDING POWERS AND
DUTIES OF THE HISTORIC PRESERVATION COMMITTEE

The Committee considered draft changes to the Zoning Ordinance regarding the duties of the Historic Preservation Committee. Baily informed the Committee that the changes proposed to this section would also result in amendment to the section dealing with the procedures for minor historic projects. Cowan moved to recommend approval of the changes to the Planning Commission with the change of 300 square feet to 500 square feet for Section 29.80.277(3)b. Pacheco seconded, motion passed unanimously.

ITEM 2: OTHER BUSINESS

- a. 222 Bella Vista Avenue The Committee discussed revised plans for the relocation of a pre-1941 single family house for a lot split. The Committee commented that the openness of the lot creates an estate like feeling which should be retained. The Committee expressed concern regarding the driveway location, the amount of hardscape for the driveways, retaining the arched entry and walls and tree impacts. The Committee stated that the existing large front yard should be retained for both lots and the new structure should replicate the existing structure to remain. The applicant was encouraged to research the possibility of a Certificate of Compliance as opposed to a subdivision.
- b. 26 Oak Hill Way The Committee stated that the house had no historic significance and should be removed from the inventory. The Committee directed staff to put this item on the next agenda to have it removed from the Historic Resources Inventory.
- c. 222 University Avenue The Committee discussed preliminary plans to demolish a

ATTACHMENT 3

single family residence in the University/Edelen Historic District. The Committee thought that demolition could be justified. Applicant was informed to check the development standards for the University/Edelen Historic District and the proposed development standards and guidelines for the new structure.

- d. Residential Design Guidelines Pacheco and Cowan said they would review the contributor list for Historic Districts and get back to staff.
- e. Draft Cover Sheet for HPC applications The Committee made no changes to the cover sheet which will now be used for future applications.

ITEM 3: APPROVAL OF MINUTES

The minutes from the meeting of December 19, 2007 were approved.

ITEM 4: STATUS OF PREVIOUS APPLICATIONS

Baily discussed the status of previous applications.

ITEM 5: **ADJOURNMENT**

The meeting was adjourned at 7:30 P.M. to the next regular meeting of February 20, 2008.

Prepared by:

to C Sandy L. Baily, Associate Planner

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nproveá b Kendra Burch, Chair

110 TOWN OF LOS GATOS 110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR MARCH 19, 2008, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Chair Burch.

ATTENDANCE

Members Present: Kendra Burch, Bob Cowan, Len Pacheco, Phil Micciche and Joanne Talesfore Staff Present: Sandy Baily, Associate Planner

ITEM 1: Welcome New Planning Commissioner Representative

The Committee welcomed back Joanne Talesfore to the Committee.

ITEM 2: <u>46/48 BROADWAY</u>

The Committee reconsidered a request of exterior alterations to a two family residence in the Broadway Historic District. Pacheco moved to approve the application subject to the following conditions:

- 1. Change the proposed windows from a three over one to a one over one window except for the two existing large plate glass windows which can remain.
- 2. Eliminate the proposed belly band at the front elevation and add a belly band on the left elevation which ties into the overhang to break up the mass.

Micciche seconded, motion passed unanimously. Appeal rights were cited. The Committee requested that the applicant consider extending the floor of the entry porch, add a wrought iron baluster and/or add landscaping to enhance the entry way. If the applicant files an application to eliminate the second dwelling unit, the Committee commented that they were in favor of this request since they believed that a single residential unit would preserve the character of the neighborhood.

ITEM 3: <u>222 UNIVERSITY AVENUE</u>

The Committee considered a request to demolish a single family residence and to construct a new residence in the University/Edelen Historic District. Burch moved to continue the matter with the following directions:

- 1. The consensus of the Committee is that a demolition will be recommended for approval when the application is ready for action by the Committee.
- 2. Reduce the house height but ensure that the roof pitch is sympathetic to a craftsman style house. Strive for a three foot height reduction as discussed by the applicant.
- 3. The doors at the rear shall be French doors.
- 4. Look at shingle and board siding or other historic siding combination. Provide photographs to justify siding proposed.
- 5. Look at incorporating dormer style elements.

Pacheco seconded, motion passed unanimously.

ITEM 4: 57 FAIRVIEW PLAZA

The Committee considered a request to modify windows on a single family residence in the Fairview Plaza Historic District. Talesfore moved to approve the application subject to the following conditions:

- 1. The windows in the gables at the rear and side elevations shall be arched.
- 2. The window at the front elevation shall be changed to a two side by side window to match the existing window.
- 3. The windows can be clad to be consistent with the windows to remain.

Micciche seconded, motion passed unanimously.

Talesfore left the meeting.

ITEM 5: <u>113 EDELEN AVENUE</u>

The Committee considered a request for exterior window and door changes to a single family residence in the University/Edelen Historic District. The Committee continued the matter to a special meeting to allow the applicant time to provide elevations which clearly show the changes proposed.

-2-

ITEM 6: <u>142 JOHNSON AVENUE</u>

The Committee considered a request to add onto a pre-1941 single family residence. Pacheco moved to recommend approval of the application in terms of architecture only, subject to the following conditions:

- 1. Increase the windows at the west and north elevations with multi-light windows so that the enclosure better resembles an enclosed porch.
- 2. A lock rail is recommended for the rear door.
- 3. The porch railing shall match the railing existing on the second floor.

Cowan seconded, motion passed unanimously.

ITEM 7: OTHER BUSINESS

- a. 417/421 Monterey Avenue The Committee considered preliminary plans to add onto a pre-1941 residence. It was recommended that the applicant first meet with staff since there were numerous questions that needed to be resolved prior to considering any request.
- b. 369 Johnson Avenue The Committee consider revised preliminary plans for a demolition or an addition. The Committee stated that they would need a structural report to assist them in making a determination on whether or not a demolition could be justified.
- c. 302 Almendra Avenue The Committee considered preliminary plans for exterior modifications. The Committee stated that the proposal was acceptable and that the applicant should proceed in filing an application.
- d. 514 San Benito Avenue The Committee considered preliminary plans for a demolition. Based on the documents provided, the Committee stated that they felt they could support a demolition request.
- e. Residential Design Guidelines/Zoning Ordinance Amendments Baily discussed the matter before the Committee and clarified the current and proposed review process for applications. The Committee reviewed their past memos and minutes and confirmed that the proposed ordinance amendments presented to the Planning Commission had been reviewed by them and forwarded to the Commission with a recommendation for adoption. Discussion ensued on whether or not any changes should be made to their recommendation. The Committee focused their discussion on the section dealing with additions to the first floor. A compromise was reached that the section should be changed as follows (new wording in italics):

Additions to the first floor of a residence (excluding additions not visible from the street that do not exceed $\frac{20\%}{15\%}$ of the existing floor area of the house

(excluding cellars) or 500 400 square feet of gross floor area, whichever is less).

Staff will amend the Draft Zoning Ordinance Amendment for the Committee to review at the special meeting. Burch requested that the Committee look at different scenarios regarding the proposed changes to discuss at the special meeting.

f. Appointment of new Chair and Vice Chair - Continued to the next meeting.

ITEM 8: STATUS OF PREVIOUS APPLICATIONS

Handled under other business, Item 7e.

ITEM 9: APPROVAL OF MINUTES

The minutes from the meeting of February 20, 2008 were approved.

ITEM 10: ADJOURNMENT

The meeting was adjourned at 9:15 P.M. to a special meeting of April 2, 2008.

Prepared by:

Approved by:

-4-

Sandy I Associate Planner Bail

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Chair

110 TOWN OF LOS GATOS 110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR AUGUST 20, 2008, HELD IN ROOM 214 OF THE NEIGHBORHOOD CENTER, 208 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Vice Chair Cowan.

ATTENDANCE

Members Present:Bob Cowan, Len Pacheco, and Joanne TalesforeMembers Absent:Kendra Burch and Phil MiccicheStaff Present:Sandy Baily, Associate Planner

ITEM 1: <u>222 UNIVERSITY AVENUE</u>

The Committee reconsidered plans to demolish a pre-1941 single family residence and construct a new single family residence in the University/Edelen Historic District. Pacheco moved to recommend approval of the demolition based on the followings:

- 1. The building is not associated with any events that have made a significant contribution to the Town.
- 2. No significant persons are associated with the site.
- 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
- 4. Does not yield information important to the Town's history.

Talesfore seconded, motion passed unanimously.

Pacheco moved to recommend approval of the new single family residence to the Development Review Committee with the following modifications:

- 1. The garage door shall be changed to a carriage style door that simulates two doors.
- 2. At the front elevation the arbor shall be extended beyond the side of the house.
- 3. The bracket in the gable end at the front elevation shall be made larger.
- 4. The kitchen shall be pushed back on the first floor so that the second floor cantilevers over the first floor.
- 5. At the rear elevation the picture window under the gable end, shall be modified to step down on both sides and the lites shall be adjusted to be in character with the window.
- 6. Prior to the issuance of a building permit, revised plans which addresses condition 4

shall be forwarded to the Historic Preservation Committee as an item of interest.

Talesfore seconded, motion passed unanimously. The Committee commented that the applicant could consider adding craftsman style brackets on any of the gable ends.

ITEM 2: 222 SAN MATEO AVENUE

The Committee considered a request to demolish a pre-1941 single family residence. Talesfore moved to recommend approval of the demolition to the Development Review Committee based on the following findings:

- 1. The building is not associated with any events that have made a significant contribution to the Town.
- 2. No significant persons are associated with the site.
- 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
- 4. The structure is in poor condition.
- 5. Does not yield information important to the Town's history.

Pacheco seconded, motion passed unanimously. The Committee recommended that the replacement structure should represent the original architectural style of the existing structure.

ITEM 3: <u>136 GLEN RIDGE AVENUE</u>

The Committee considered plans to interpret whether or not proposed exterior modifications meet the Pre-1941 Design Guidelines. The Committee found that the exterior changes associated with the pizza oven met the guidelines. Pacheco moved to continue the rest of the discussion to the next meeting to allow the applicant time to provide additional information to address their concerns. Talesfore seconded, motion passed unanimously.

ITEM 4: OTHER BUSINESS

- 1. 236 Bean Avenue The Committee considered preliminary plans for exterior alterations/additions. The applicant was commended for the model that was provided. The front entry was recommended to be simplified. The removals and additions proposed were received favorably except for the cantilevered curved element. At the south and west elevations, the existing windows should be maintained.
- 2. Future Library Building (demolition of 56, 56A, and 104 Villa Avenue, and 17 Fiesta Way)- The Committee commented that a historic report should be required and possibly an archaeological report. All houses determined to have historic significance should be relocated.

ITEM 5: <u>APPROVAL OF MINUTES</u>

The minutes from the meetings of July 16, 2008 were approved.

ITEM 6: ADJOURNMENT

The meeting was adjourned at 8:45 P.M. to the next regular meeting of September 17, 2008.

Prepared by: Associate Planne Sandy L. Bail N:\DEV\HPCminutes\2008\8-20-08.doe

Approved by:

Bob Cowan, Vice - Chair

TOWN OF LOS GATOS 110 East Main Street, Los Gatos, CA 95030 (408) 354-6872

SUMMARY MINUTES OF SPECIAL MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR **DECEMBER 17, 2014**, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 4:00 P.M. by Chair Len Pacheco.

ATTENDANCE

Members Present: Mary Badame, Tom O'Donnell, Len Pacheco, Bob Cowan, Kathryn Janoff

Members Absent: None.

Staff Present: Jennifer Savage, Senior Planner

VERBAL COMMUNICATIONS - None

ITEM 1 MINUTES

Tom O'Donnell moved to approve the minutes of November 18, 2014. The motion was seconded by *Bob Cowan* and approved (4-0-1).

ITEM 2 78 W. MAIN STREET

No application representative was present. The matter was not heard.

ITEM 3 15090 BLOSSOM HILL ROAD

Jeff Hansen and Sally Ajinga (property owners) were present.

Len Pacheco clarified that the request is to remove the property from the Historic Resources Inventory (HRI).

Jeff explained the property owner's research.

Mary Badame asked about 15090 Blossom Hill Road "B". Jeff commented that "B" is the cottage.

Len Pacheco visited the site and met *Jeff. Len Pacheco* observed the structure was collection of different materials. Asked if current property owners made any changes since they purchased the property. *Jeff* commented they added some doors and reroofed.

Bob Cowan commented that there is no historical context.

Kathryn Janoff commented that the houses in the area were built as a getaway from San

Historic Preservation Committee December 17, 2014 Page 2 of 5

Francisco. There is one property down the road that was historic for the former orchard.

Len Pacheco commented some of the work appears to be that of a carpenter and includes different window styles.

Tom O'Donnell agrees with the comments. Mary Badame agrees with the comments.

Kathryn Janoff moved to approve the request to remove the structure from Historic Resources Inventory. The motion was seconded by *Tom O'Donnell* and approved unanimously.

Len Pacheco commented the property owners expressed intentions to maintain the structure and remodel it to make the structure better.

ITEM 4 OTHER BUSINESS

a. <u>194 Villa Avenue</u>

Mark DeMattei (builder) and *Jim Meech* (listing agent) were present. *Mark* explained that the house is on the market and he is interested in the challenging site and looking for advice from HPC. *Jim* commented that this property has a small structure with a poor foundation, slanted windows and doors, bowed roof, and a high sales price. *Jim* believes that *Mark* is the buyer that would be able to develop the property in keeping with the Town of Los Gatos.

Tom O'Donnell commented that the structure has some charm from the exterior. If the structure is in really bad condition HPC might be able to support demolition.

Mary Badame commented that more information is needed. The structure has some character. What is the price?

Mark provided the real estate flyer. *Jeff* commented that the price per square foot is low but the structure is a small home that families stray away from. And the house needs work.

Mary Badame would be concerned about the cost for foundation work.

Mark commented the structure is not ideal for a remodel. *Jeff* commented that it has been remodeled and added onto so there is a mix of construction.

Kathryn Janoff commented that HPC recommendations are meant to preserve

Historic Preservation Committee December 17, 2014 Page 3 of 5

the exterior character. The property research shows that there is some historic significance and she would like to preserve that character. It would be difficult to approve demolition. She supports preserving the existing structure and moving the structure and/or adding onto in the back. There are examples of that type of work in Town. The house at the end of Broadway was supposedly in disrepair but the buyer wanted to and was able to maintain the structure.

Mark and *Jeff* expressed concerns about the cost of upgrades to the existing structure.

Bob Cowan agrees with *Kathryn Janoff's* comments. He is familiar with Campbell and Main Street projects that are similar. He would support bringing the existing structure forward and adding on to it. There are ways to add a second story without dominating the existing structure.

Jeff discussed other examples.

Len Pacheco agrees with the other members' comments. He supports maintaining the exterior. An addition and/or cellar could work. Could move the structure forward. Observed the need for repairs. Commented it may be possible to add square footage and add a garage. The existing structure is a good example of its type. A second story may be okay.

Tom O'Donnell noted that HPC cannot guarantee a second story because there are other considerations to account for.

Len Pacheco discussed examples of successful second story additions.

b. <u>222</u> University Avenue

Titi Lueong (property owner's daughter) and *Dennis Sebastian* (designer). *Titi* commented her mother would like to update the structure and would like advice about the design. They provided renderings of what they are thinking of.

Mary Badame asked if the property would be all pavement with no yard.

Dennis confirmed there is no yard.

Len Pacheco complimented the property on purchasing the property and working on the design. The structure will require a lot of work to repair and Historic Preservation Committee December 17, 2014 Page 4 of 5

> the Committee will require structural condition and engineering reports. Suggests completing an exploration of the condition of supporting beams, rot, mold, siding, etc. Results may show it is better to demolish the structure. Asked the representatives to go to library and conduct research on the property.

> *Tom O'Donnell* commented there is no foundation and agreed with *Len Pacheco's* comments. It may be better to have a new building or buildings. Research is needed and a professional opinion is needed. The existing structure is not attractive. Asked if the representatives are you preserving it or improving it.

Len Pacheco commented that this structure may be remnant of a vacation home from San Francisco residents.

Bob Cowan commented that there was a previous application request on this property.

Titi commented that it did come before HPC in the past and HPC recommended approval of the request to demolish the existing structure.

Kathryn Janoff commented that if HPC supported demolition there may be HPC support to remodel.

Len Pacheco commented that the Town supports maintaining existing housing units.

Tom O'Donnell commented that the property owner should talk to Planning staff to discuss maintaining the three housing units. Ask if the three units were demolished could they be maintained.

Titi explained that the property owner really wants to maintain the three units.

Len Pacheco commented that the property is located in a Historic District so the Committee would look at the proposal. Suggested hiring a professional to evaluate the condition of the structure.

Kathryn Janoff commented that the design should incorporate the architectural style of the neighborhood.

Committee commented they do not like the amount of hardscape.

Historic Preservation Committee December 17, 2014 Page 5 of 5

Titi commented that the representatives will reduce the hardscape and keep the existing tree in the front.

Len Pacheco commented that the representatives should use the book A Field Guide to American Homes for guidance on architecture.

Bob Cowan commented that the structure should appear like a single-family home.

Kathryn Janoff commented that the current design does a good job at maintaining a single-family home look but is a little contemporary for the neighborhood.

Mary Badame commented the representatives should talk to neighbors.

The Committee directed the representatives to check with Planning staff about requirements, including parking and garage requirements.

Tom O'Donnell commented the representatives should consider using an architect that is familiar with the Town of Los Gatos.

ITEM 5 ADJOURNMENT

The meeting was adjourned at 5:01 p.m. The next regular meeting is scheduled for January, 28, 2014, at 4:00 p.m.

Prepared by:

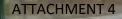
Senior Planner

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Approved by:

Len Pacheco Chair

Front Elevation (2024)



HIMINIST

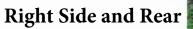
Page 39

Town File Photos - 2008

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Front





Rear

3



Rear and Left Side

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

November 22, 2024

Tuyet Pham 16721 Madrone Avenue Los Gatos, CA 95030 Via email

RE: <u>222 University Avenue</u>

Minor Development in an Historic District Application HS-24-055

Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner/Applicant: Tuyet Pham Project Planner: Sean Mullin

On November 20, 2024, the Los Gatos Historic Preservation Committee continued consideration of the above request, recommending that the applicant consider the following feedback:

- The proposed folding doors (two-panel and three-panel) on the front elevation are too contemporary for the residence and the District;
- The existing window on the left side of the front elevation should not be replaced with a door;
- Revise the proposed sliding door on the right elevation to a French door with divided lites to be consistent with the District;
- Select a siding product with a profile that is authentic and consistent with the District;
- Any new windows that are visible from the street should be double-hung; and
- Integrate the proposed trellis on the front elevation into the design to avoid a pasted-on appearance.

Please consider the above feedback as you revise your plans. Contact staff when the project is ready to return to the Committee for further review.

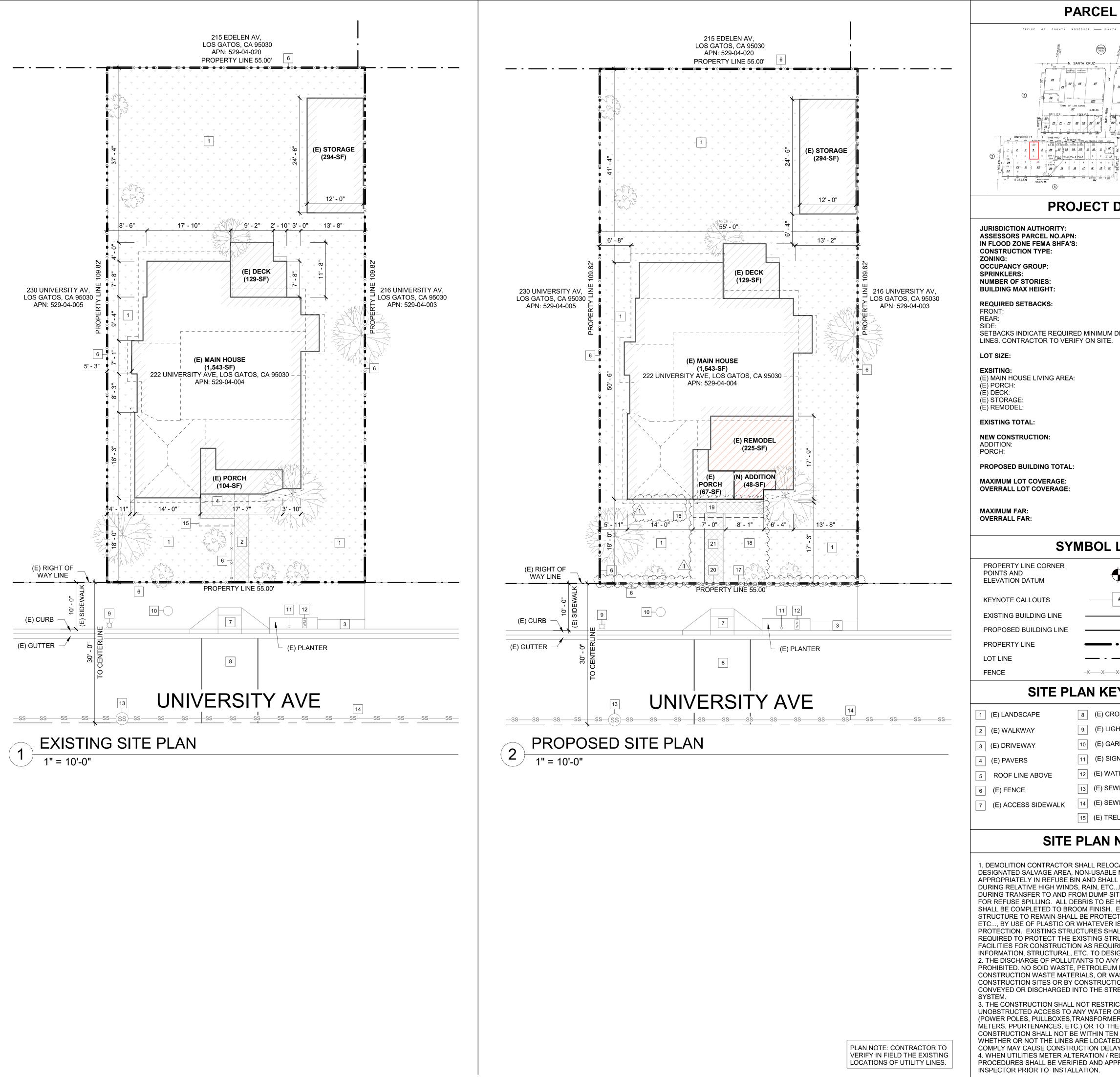
If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at <u>smullin@losgatosca.gov</u>.

Best regards,

ehttallr

Sean Mullin, AICP Planning Manager

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PARCEL MAP

PARCEL MAP	VICINITY MAP	
<complex-block><complex-block></complex-block></complex-block>		BAY AREA BAY AREA PROJECT PRO REVISION ID DATE BY 01 12/18/24 PLAN CHECK
PN: 529-04-004 A'S: FLOOD ZONE "" V-B R-1D R3/U NO 1 STORY 30-FT (2 STORIES) 15 FT 20 FT 5 FT VIRED MINIMUM DISTANCE FROM PROPERTY ERIFY ON SITE. 6,040-SF (0.1 ACRES)	ADDRESS: 222 UNIVERSITY AVE, LOS GATOS, CA 95030 PHONE: EMAIL: DESIGNER: BAY AREA PROJECT PRO CONTACT: MY TRUONG ADDRESS: 99 S ALMADEN BLVD #600, SAN JOSE, CA 95113 PHONE: 669-667-9189 CIVIL ENGINEER: TIMOTHY NGUYEN ADDRESS: 4 VISTA IRVINE, CA 92612 PHONE: 714-883-6001 ADPLICABLE CODE LEGAL JURISDICTION : CITY OF LOS GATOS, CA 95030	COVER SHEET
EA: $1,543-SF$ 104-SF 129-SF 294-SF 225-SF 2,070-SF 48-SF 67-SF AL: $1,591-SF$: $\frac{\%}{1,591+67+129+294} = 2,081-SF$ 2,081/6,040 = 34.5% $\frac{\%}{1,591+67} = 1,658-SF$ 1,658/6,040 = 27.5% YMBOL LEGEND • • • • • • • •	THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS REGULATION OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE CITY OF LOS GATOS MUNICIPAL CODE.	AND REMODEL Ave, Los Gatos, CA 95030
-X—X—X—X—X— PLAN KEYNOTES 8 (E) CROSSWALK 16 (N) TRELLIS 9 (E) LIGHTING POLE 17 (N) FENCE 10 (E) GARBAGE CAN 18 (N) WALKWAY 11 (E) SIGN 19 (N) LANDING 12 (E) WATER METER 20 (N) GATE 13 (E) SEWER MANHOLE 21 (N) WALKWAY 14 (E) SEWER LINE 15 (E) TRELLIS E PLAN NOTES	A.00COVER SHEETA.01CAL GREEN CODEA.02CAL GREEN CODEA.03GENERAL NOTESA.10EXISTING FLOOR PLANSA.11EXISTING ROOF PLAN & ELEVATIONSA.12PROPOSED FLOOR PLANA.13PROPOSED ELEVATIONS/ SECTIONSA.14ROOM FINISH & ARCHITECTURAL DETAILSS.01STRUCTURAL NOTESS.21STRUCTURAL DETAILSSD1STRUCTURAL DETAILSSD2STRUCTURAL DETAILS	NOUIOGA DATE: 12/18/24 SCALE: AS SHOWN DRAW BY: T.B STAMP:
A, NON-USABLE MATERIALS SHALL BE PLACED E BIN AND SHALL BE COVERED AT NIGHT AND NDS, RAIN, ETCREFUSE BIN SHALL BE COVERED D FROM DUMP SITE. CONTRACTOR TO BE LIABLE DEBRIS TO BE HAULED AWAY AND CLEAN-UP BROOM FINISH. EXISTING MATERIALS AND/OR HALL BE PROTECTED FROM DUST, PAINT CHIPPING, OR WHATEVER IS REQUIRED FOR PROPER RUCTURES SHALL HAVE BRACING AND SHORING AS IE EXISTING STRUCTURE. PROVIDE DE-WATERING CTION AS REQUIRED. COORDINATE AS-BUILT AL, ETC. TO DESIGNER/ENGINEER AS REQUIRED. LUTANTS TO ANY STORM DRAINAGE SYSTEM IS TE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, TERIALS, OR WASTEWATER GENERATED ON BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, D INTO THE STREET, GUTTER OR STORM DRAIN ALL NOT RESTRICT A FIVE-FOOTCLEAR AND TO ANY WATER OR POWER DISTRIBUTION FACILITIES S,TRANSFORMERS, VAULTS, PUMPS, VALVES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE T BE WITHIN TEN FEET OF ANY POWER LINES ES ARE LOCATED ON THE PROPERTY. FAILURE TO TRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. ALTERATION / RELOCATION OCCUR, INSTALLATION FALLATION.		C 92902 EXP.12/31/25 C VIL OF CALIFORN A QUICE MAN DOB NO: #335 DRAWING NO: A.00

ATTACHMENT 6

GENERAL NOTES :

1. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLAN CHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

3. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK INCLUDING THAT OF THE SUB-CONTRACTORS. CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.

4. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.

5. CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN DOING SO, THAT MAY PROVE DEFECTIVE WITHIN ONE YEAR, WITHOUT ADDITIONAL EXPENSE; ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS.

6. THAT IS RESPONSIBILITY OF CONTRACTOR TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR A WEATHER TIGHT BUILDING, FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.

8. THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

9. OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.

10. SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTOR'S OPTION TO SELECT THE ONE WHICH HE MAY DESIRE. IF MORE THAN ONE FINISH OR STYLE IS AVAILABLE IN THE ITEM SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION.

11. THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.

12. IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS. THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.

13. THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.

14. FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETAILS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.

15. ERRORS OR OMISSIONS WHICH APPEAR ON THE DRAWINGS, IN SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR AND TO THE CONTRACTOR BY THE SUB-CONTRACTOR IN WRITING. IN EVENT OF FAILURE OF SUB-CONTRACTOR TO GIVE SUCH WRITTEN NOTIFICATION BEFORE CONSTRUCTION OR FABRICATIONS OF THE WORK, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COSTS OF RECTIFYING SAME. HOWEVER, DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WORK CALLED FOR ON ONE AND NOT THE OTHER SHALL BE PROVIDED AS THOUGH FULLY SET FORTH IN BOTH.

16. AT ALL TIMES DURING CONSTRUCTION ACTIVITIES OR ERECTION OF PROJECT OR ITS COMPONENT PARTS, PRIOR TO COMPLETION OF THE STRUCTURAL FRAME OR REPLACEMENT AND PERMANENT CONNECTION OF COMPONENT MEMBERS TO THE STRUCTURAL FRAME, SUB-CONTRACTORS SHALL PROVIDE, INSTALL AND MAINTAIN PROPERLY DESIGNED AND CONSTRUCTED TEMPORARY BRACING OF ADEQUATE STRENGTH TO PREVENT DISLOCATION, DISTORTION, CRACKING, FALLING OFF, OR ANY OTHER DAMAGE TO WORK OR ANY OF ITS COMPONENT PARTS DUE TO FORESEEABLE NORMAL AS WELL AS NOT FORESEEABLE EXCESSIVE WIND AND EARTHQUAKE FORCES WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL, AT THEIR EXPENSE, REPLACE OR REPAIR, AS DIRECTED, DAMAGED PORTIONS OF THEIR WORK OR COMPONENT PARTS.

17. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HERON.

18. NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

19. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.

20. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT, OR MANUFACTURED DEVICE.

21. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS FOR WHICH THE BUILDING PERMIT WAS ISSUED. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

22. INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE PRIOR TO CONCRETE PLACEMENT.

23. ISSUANCE OF A BUILDING PERMIT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

24. GENERAL CONTRACTOR, CONTRACTORS, SUB-CONTRACTORS AND BUILDERS TO COORDINATE ALL ENGINEERING AND MECHANICAL DRAWINGS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH WORK. IF DISCREPANCIES ARE APPARENTLY OBSERVED OR INFORMATION APPARENTLY IS THOUGHT TO BE MISSING, NOTIFY ARCHITECT WITHIN 24 HOURS WITH SKETCH, DRAWING, PDF, PHOTOCOPIES WITH LEGIBLE HAND WRITTEN NOTES AND/OR WRITING (FAX, EMAIL OR CORRESPONDENCE). IF CONFLICT WITH EXISTING CONDITIONS, PROVIDE DOCUMENTATION (PHOTOS, SKETCHES, DWGS) OF EXISTING CONDITIONS AND SUGGEST PROPOSAL(S) FOR SOLUTION (SKETCH, DRAWING, AND/OR WRITING).

ABREVIATION:

Ø ΡL A.B. ABV. A/C A.C. ACOUS. A.D. ADH. ADJ. AL. ALT. ANOD. A.P. APPX. APPV'D ARCH. ASB. ASSY. AUTO.

BD. BEL. BET. BITUM. BLDG. BLK. BLK'G BM. B.O. BOT. BR. B.W.

CAB. C.B. CEM. C.G. CHAN. CHG. C.I.

C.J.

CLG. CLKG. CLR. CNTR. CONC. COND. CONST. CONT. CORR. CTSK.

DBL. DECO. DEPT. DET. D.F.

DIA

CTR.

DIAG. DIM. DN. DR. D.S. D.S.P. DWG. D. DW.

AND		(E.)	EXISTING/ EAST/	I.D.	INSIDE DIAMETER/	R.A. RAD.	RETURN AIR RADIUS
ANG		()	ENTRY/ EACH		INTERIOR DESIGNER	R.D.	ROOF DRAIN
AT		E.J.	EXPANSION JOINT	IN.	INCH	R.D.L.	ROOF DRAIN LEADER
	TERLINE	EL.	ELEVATION	INSUL.	INSULATION	RECPT.	RECEPTACLE
DIAN	IETER OR ROUND	ELEC.	ELECTRIC	INT.	INTERIOR	RECT.	RECTANGULAR
	PERTY LINE, PLATE	ELEV.	ELEVATOR	INV.	INVERT/	REF.	REFERENCE
	,	EMER.	EMERGENCY		INVERTED	REFR/ R/F	REFRIGERATOR
ANC	HOR BOLT	ENCL.	ENCLOSURE			REG.	REGISTER
ABO		E.P.	ELECTRIC PANEL	JAN.	JANITOR	REINF.	REINFORCEMENT
	CONDITIONING	E.Q.	EQUAL/	JT.	JOINT	REQ'D.	REQUIRED
	HALT CONCRETE		EQUIVALENT	JST.	JOIST	RESIL.	RESILIENT'
	USTICAL	EQPT/				RET.	RETAIN(ING), RETURN
ARE	A DRAIN	EQPM	EQUIPMENT	KIT.	KITCHEN	RM.	ROOM
ADH	ESIVE	E.W.	EACH WAY			R.O.	ROUGH OPENING
	JSTABLE	EXST.	EXISTING	L.	LOW/LINEN	R.R.	ROOF RAFTER
	MINUM	EXH.	EXHAUST	L.A.	LANDSCAPED AREA	RWD.	REDWOOD
	ERNATE	EXPO.	EXPOSED	LAB.	LABORATORY		
ANO	DIZED	EXT.	EXTERIOR	LAM.	LAMINATE	S.	SOUTH
ACC	ESS PANEL	E.G.	EXISTING GRADE	LAV.	LAVATORY	S.A.	SUPPLY AIR
APP	ROXIMATELY			LBS.	POUNDS	S.C.	SOLID CORE
	ROVED	F.	FIXED	LFA.	LOAD FROM ABOVE	S.C.D.	SEAT COVER DISPENSER
ARC	HITECTURAL	F.A.	FIRE ALARM	L.H.	LEFT HAND	SCHED.	SCHEDULE
ASB	ESTOS	FAC.	FACTORY	LKR.	LOCKER	S.D.	SUB DRAIN/
ASS	EMBLY	F.C.O.	FLOOR CLEAN OUT	LT.	LIGHT		SOAP DISPENSER
	OMATIC	F.D.	FLOOR DRAIN	LUM.	LUMINOUS	SEC.	SECTION
		FDN.	FOUNDATION			SEL.	SELECTED
BATH	4	F.E.	FIRE EXTINGUISHER	MAINT.	MAINTENANCE	SH.	SHELF
BOA		F.E.C.	FIRE EXTINGUISHER CABINET	MAS.	MASONRY	SHT.	SHEET
BELC		F.G.	FINISH GRADE	MAT.	MATERIAL	SHT'G.	SHEATHING
	WEEN	F.H.	FLAT HEAD	MAX.	MAXIMUM	SIM.	SIMILAR
	MINOUS	FIN.	FINISH	M.B.	METAL BOLT	SIMP.	SIMPSON
	DING	FIX/FIXT	FIXTURE	M.C.	MEDICINE CABINET	S.J.	SOFFIT JOIST
BLO		F.J.	FLOOR JOIST	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
	CKING	F.L.	FLOW LINE	MEMB.	MEMBRANE	S.SK.	SERVICE SINK
BEAI		FLASH.	FLASHING	MET/MTL.	METAL	STA.	STATION
BY C	WNER/BY OTHERS	FLR.	FLOOR		MFR/MFGR MANUFACTURER	STD.	STANDARD
BOT		FLUOR.	FLUORESCENT	M.H.	MAN HOLE	STL.	STEEL
BED	ROOM	F.O.C.	FACE OF CONCRETE/	MIN.	MINIMUM	STOR.	STORAGE
BAC	K OF WALK/		FACE OF CURB	MIR.	MIRROR	STRUCT.	STRUCTURAL
BOT	OF WALL	F.O.F.	FACE OF FINISH	MISC.	MISCELLANEOUS	SUSP.	SUSPENDED
		F.O.S.	FACE OF STUD/	M.O.	MASONRY OPENING	SYM.	SYMMETRICAL
CAB	INET		FACE OF STRUCUTRE	MOS.	MOSAIC	Т.	TREAD
CAT	CH BASIN	F.O.M.	FACE OF MASONRY	MTD.	MOUNTED	T.C.	TOP OF CURB
CEM	ENT	FP.	FIREPLACE	MUL.	MULLION	T.CL.	TIME CLOCK
COR	NER GUARD	F.S.	FLOOR SINK			TEL.	TELEPHONE
CHA	NNEL	FT.	FOOT OR FEET	(N.)	NEW	TEMP.	TEMPERED
CHA	NGE	FTG.	FOOTING	Ň.	NORTH	TER.	TERRAZZO
CAS	T IRON	FURR.	FURRING	NAT.	NATURAL	T.D.	TOP OF FENCE
CON	TROL JOINT/	FUT.	FUTURE	N.I.C.	NOT IN CONTRACT	T.&G.	TONGUE AND GROOVE
CON	ST. JOINT	F.V.	FIELD VERIFY	N.G.	NATURAL GRADE	THK.	THICK
CEIL	ING/ CEILING JOIST			NO.	NUMBER	T.P.	TOP OF PAVING
CAU	LKING			NOM.	NOMINAL	T.PL.	TOP OF PLATE
CLE	٩R	GA.	GAUGE	N.T.S.	NOT TO SCALE	T.O.S.	TOP OF STRUCTURE/SLAB
COU	NTER	GALV.	GALVANIZED			TRANS.	TRANSFORMER
	CRETE	G.B.	GRAB BAR/GRADE BEAM	O/.	OVER	T.S.	TOP OF STEP
	DITION	G.C.	GENERAL CONTRACTOR	O.A.	OVERALL	T.W.	TOP OF WALL
	STRUCTION	GEN.		OBS.	OBSCURE	TYP.	TYPICAL
	TRACTOR/ CONTINOUS	G.F.I.	GROUND FAULT INTERRUPT	O.C.	ON CENTER	U	UNDER
	RIDOR, CORROSIVE	G.I.	GALVANIZED IRON	O.D.	OUTSIDE DIAMETER/	U.B.C.	UNIFORM BUILDING CODE
	NTERSUNK	G.L.	GLASS		DIMENSION	U.G.	UNDERGROUND
CEN	TER	G.L.B.	GLU-LAM BEAM	O.F.D.	OVERFLOW DRAIN	U.L.	UNDERWRITER'S LABORATOR
		GND.	GROUND	OFF.	OFFICE	UNF.	UNFINISHED
DOU		GR.	GRADE	OPNC.	OPENING	U.N.O.	UNLESS NOTED OTHERWISE
	ORATIVE	GYP.	GYPSUM	OPP.	OPPOSITE	UR.	URINAL
DEP	ARTMENT	G.P.	GRADE PLANE			0111	
DET				PERIM.	PERIMETER	V.	VERTICAL
	IKING FOUNTAIN/	H.	HIGH	PL.	PLATE/PROPERTY LINE	VENT.	VENTILATING
	GLASS FIR	H.B.	HOSE BIB	P.LAM.	PLASTIC LAMINTE	VERT.	VERTICAL
	1ETER	H.C.		PLAS.	PLASTER	VER.	VERIFY
	GONAL	HD.	HARD	PLUMB.	PLUMBING	V.T.R.	VENT THROUGH ROOF
DIMEN		HDR.	HEADER	PLYWD	PLYWOOD	V.I.F	VERIFY IN FIELD
DOM		HDWD.	HARDWOOD	PNT.	PAINT		
DOO		HDWR.	HARDWARE	P.O.C.	POINT OF CONNECTION	W.	WEST, WIDE, WIDTH
	/N SPOUT	H.M.	HOLLOW METAL	PR.	PAIR	W	WASHING MACHINE
	STAND PIPE	HORIZ.	HORIZONTAL	PROJ.	PROJECTION	W/.	WITH
	WING	HR.	HOUR	PSL.	PARALLEL STRAND	WD.	WOOD
DRY	ER	HT./HGT.			LAMINATE	W.H.	WATER HEATER
DISF	IWASHER	HVAC	HEATING VENTILATING/	PT.	POINT	W.C.	WATER CLOSET
			AIR COND.			W.I.	WROUGHT IRON
						W/P	WATERPROOF

SYMBOLS LEGEND

		XX • WALL TYPE	WALL TYPE
LETTER LEFT TO RIGHT	GRID SYMBOL	XX - KEYNOTE NUMBER	KEY NOTE REFERENCE
A.10 SHEET NUMBER	BUILDING SECTION	2" ////////////////////////////////////	STEP AS SLAB
A.10 = ELEVATION NUMBER	BUILDING ELEVATION		REVISION REFERENCE
A.10 DETAIL NUMBER	DETAIL REFFERENCE		DOOR TYPE WINDOW TYPE, GLASS
1 ROOM NUMBER 4 1 2 A.XX WALL NUMBER 3 INTERIOR ELEV. SHEET NUMBER	ROOM NUMBER AND INTER ELEVATION REFERENCE	RIOR	
ROOM NAME 1 - ROOM NUMBER	ROOM REFERENCE		



1. MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET

2. MIN. SET CLEAR HEIGHT OF 24 INCHES

3. WINDOW SILL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.

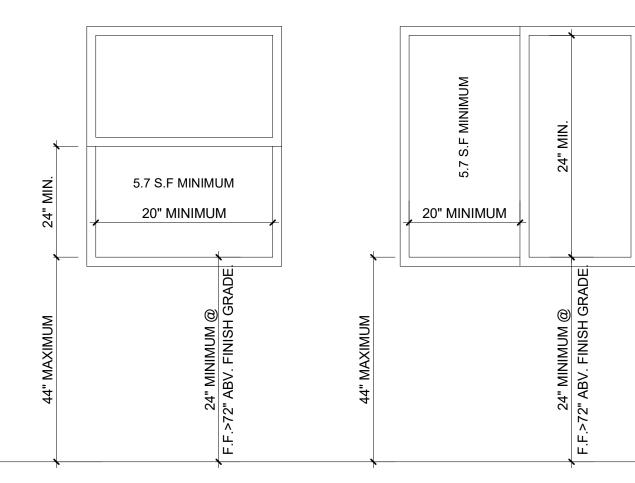
WINDOW AND DOOR NOTE

1. WINDOW MANUFACTURER AND INSTALLER SHALL INSURE THAT ALL WINDOWS MEET OR EXCEED ALL EGRESS REQUIREMENTS OF CRC R310 & R312

2. ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE INSTALLED PER AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION AAMA 2400=02 RECOMMENDATIONS "STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH INTEGRAL MOUNTING FLANGES IN STUD FRAME CONSTRUCTION".

3. INSTALL AN ISOLATION MEMBRANE BELOW THE THRESHOLD OF ALL SLIDING GLASS DOORS THAT REST ON A CONCRETE SLAB.

4. ALL SEALANT SHALL BE OF HIGH QUALITY AND REVIEWED OFR COMPATIBILITY WITH ASPHALTIC MEMBRANES AND FLASHING MATERIAL.



BAY AREA PROJECT PRO REVISION DATE BY 12/18/24 | PLAN CHECK Ο DATE: **12/18/24** SCALE: AS SHOWN DRAW BY: T.B STAMP: C 92902 EXP.1<u>2/31/25</u> JOB NO: #335 DRAWING NO: A.03

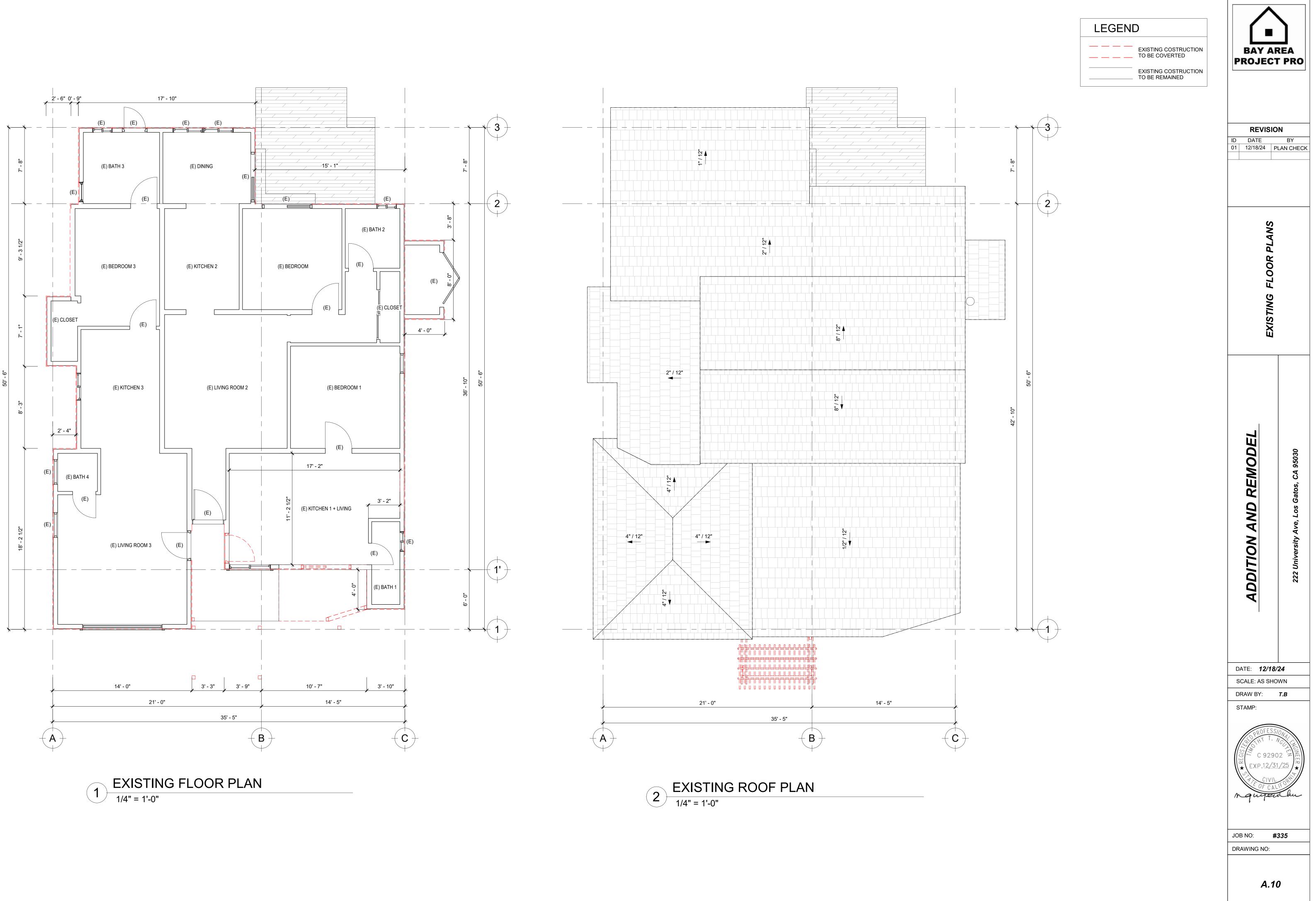
RATORY WISE

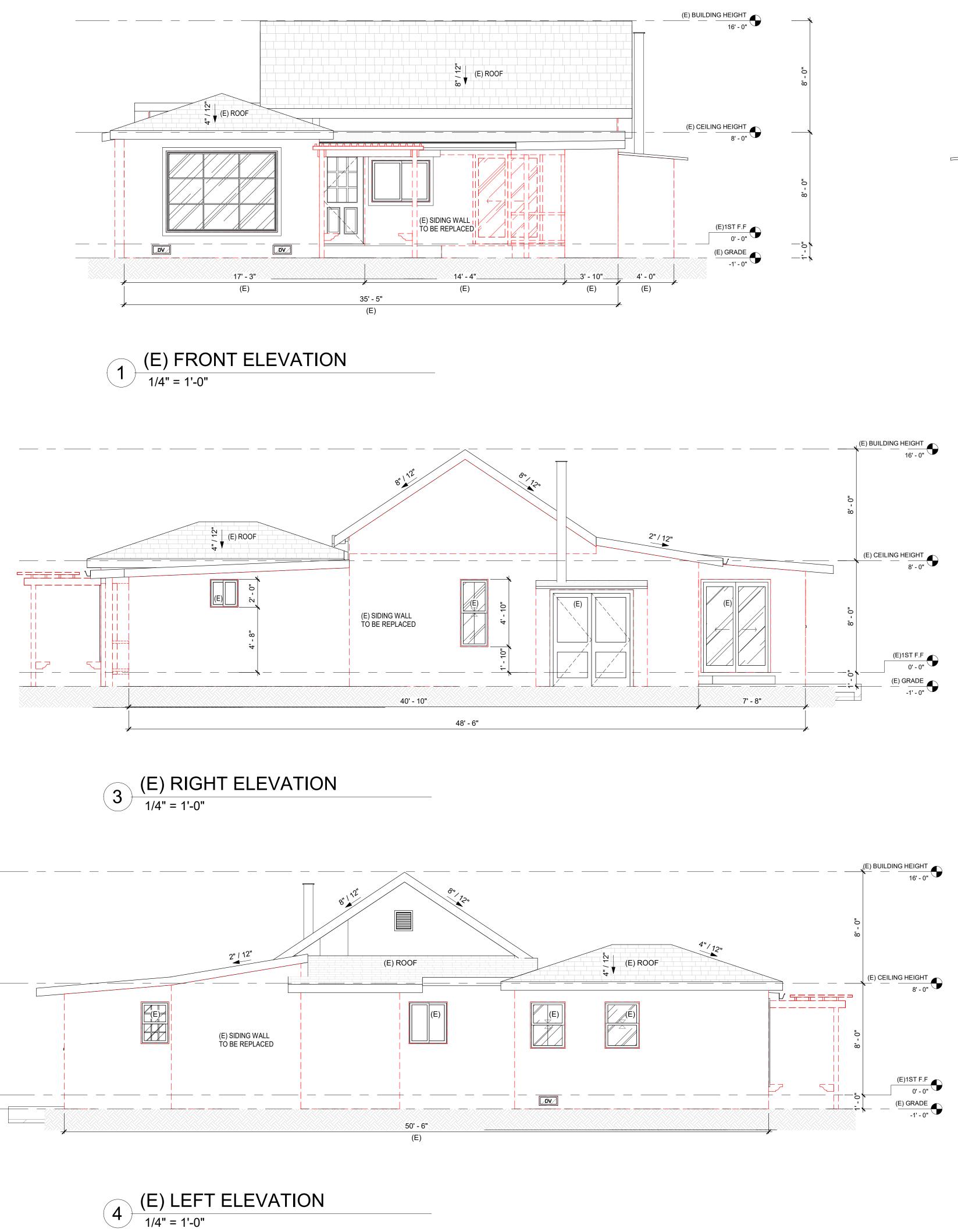
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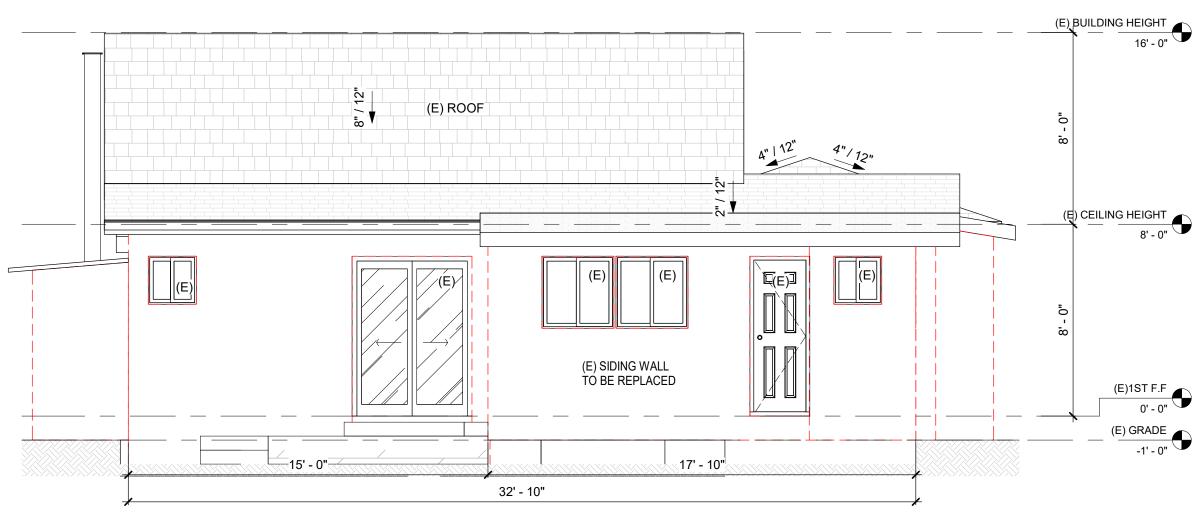
W.W.M.

WATERPROOF

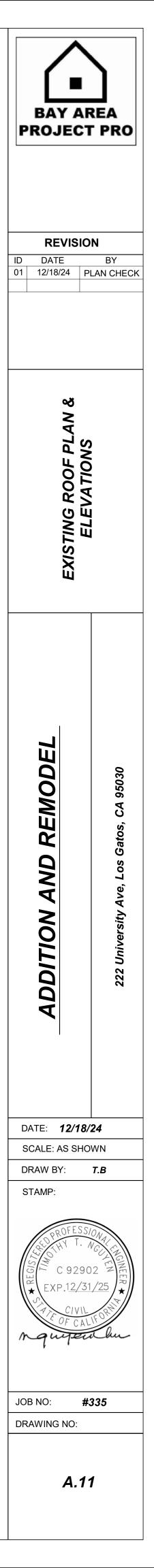
WELDED WIRE MESH

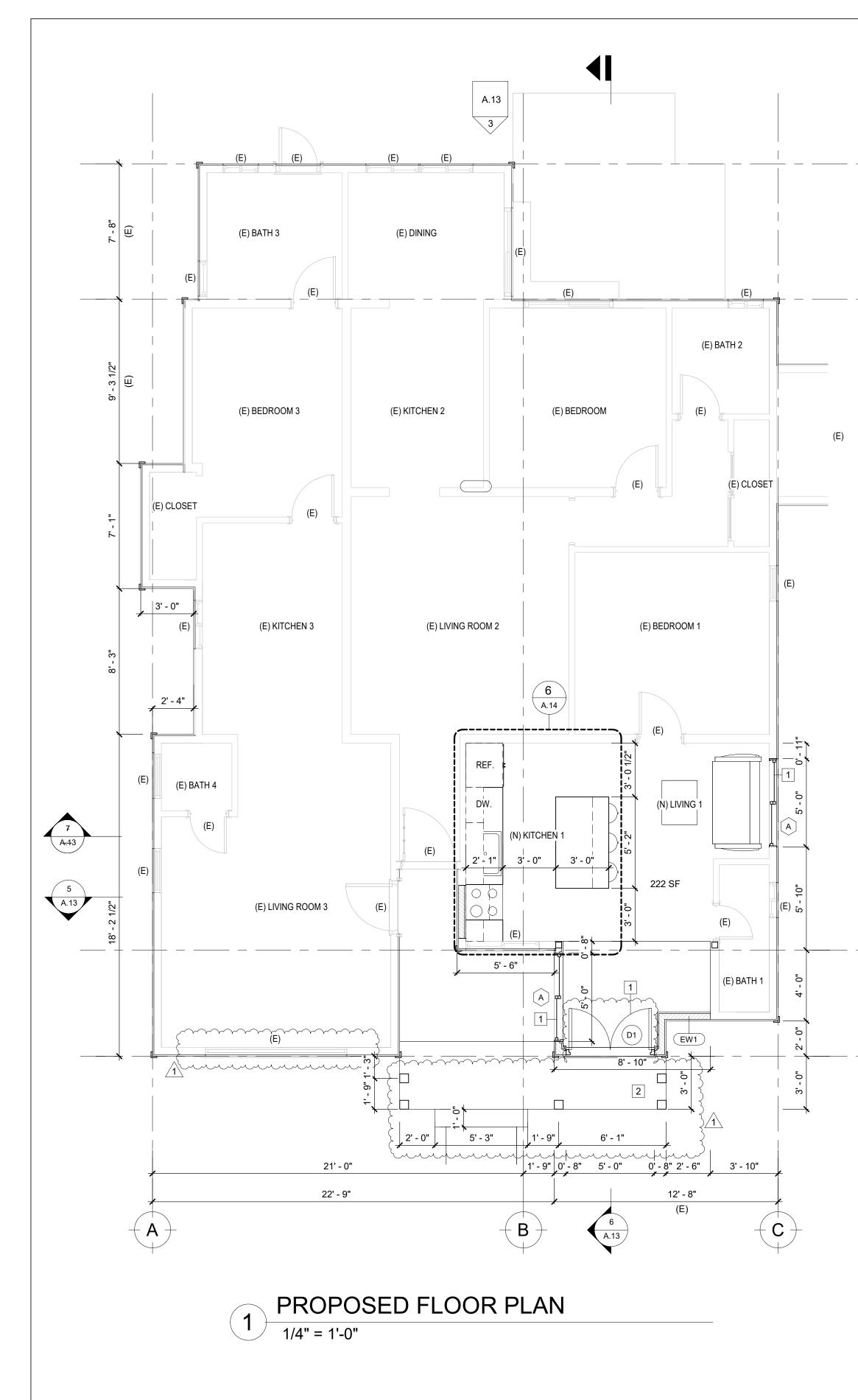


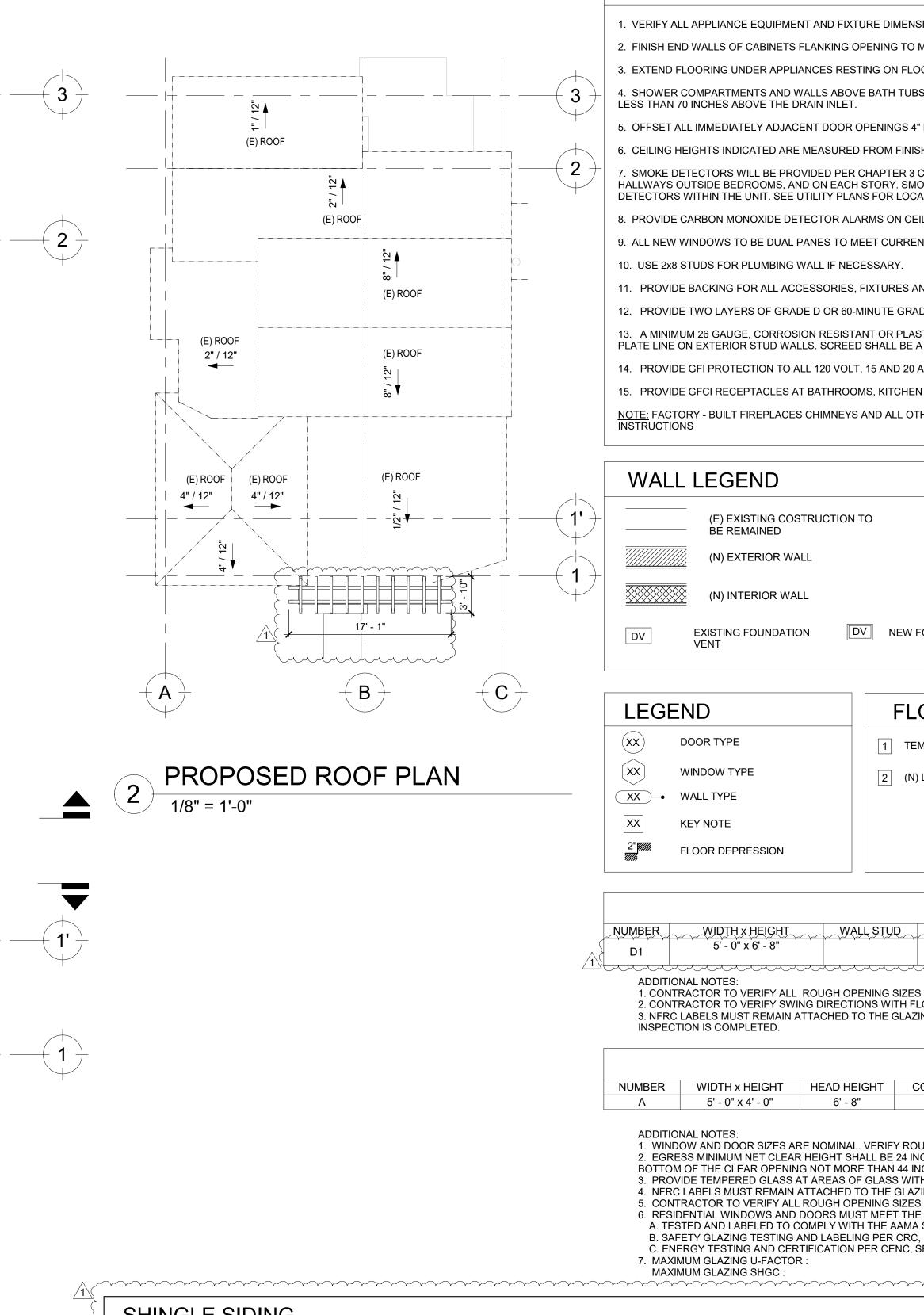


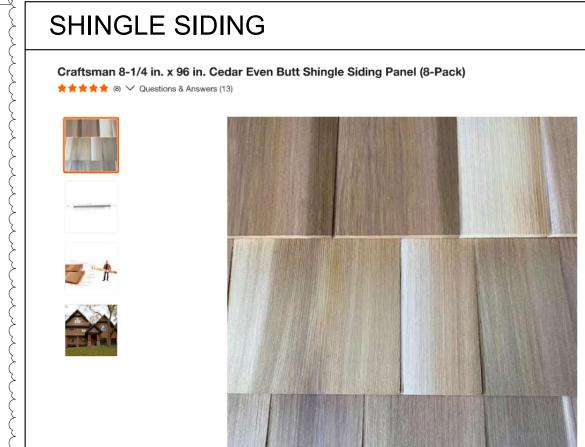


2 (E) REAR ELEVATION 1/4" = 1'-0"









About This Product

The Shakertown Craftsman 8-1/4 in x 96 in Cedar Even Butt Shingle Siding 8-pack is the best c only the finest vertical grain Western Red Cedar heartwood, the panels are easy to install and w available with an even-butt or staggered-butt line to match any home style. One bundle of 8 par

Highlights

- Traditional shingle butt thickness and 100% vertical grain for stability and durability
- Features a full plywood back, a thick 3/8 in. shingle butt and overlocking end-joints for a seaShingle panels go up 6 times faster than individual shingles and can be installed with a pneu
- Helps save money every year on energy due to superior R-value

FLOOR NOTES

- Nailing line makes it easy to blind nail the panels
- Panels are available in either even butt or staggered butt designs
- Smooth sawn surface promotes adhesion and even distribution of finishes
- One bundle of 8 panels covers 37 square feet

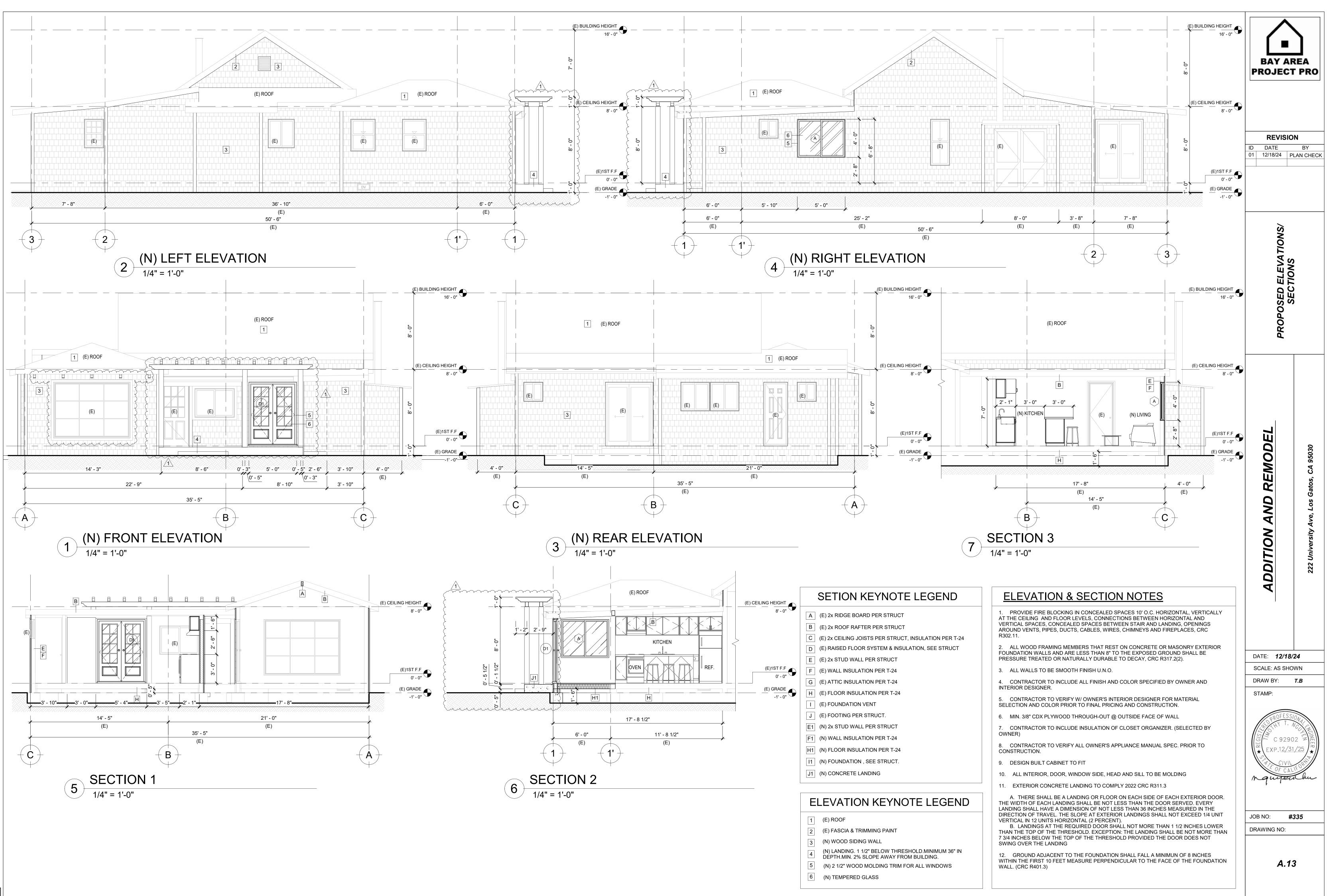
- Keyway style, or vertical spacing between shingles, lends visual interest and traditional appe
 <u>Return Policy</u>
- California residents see Prop 65 WARNINGS

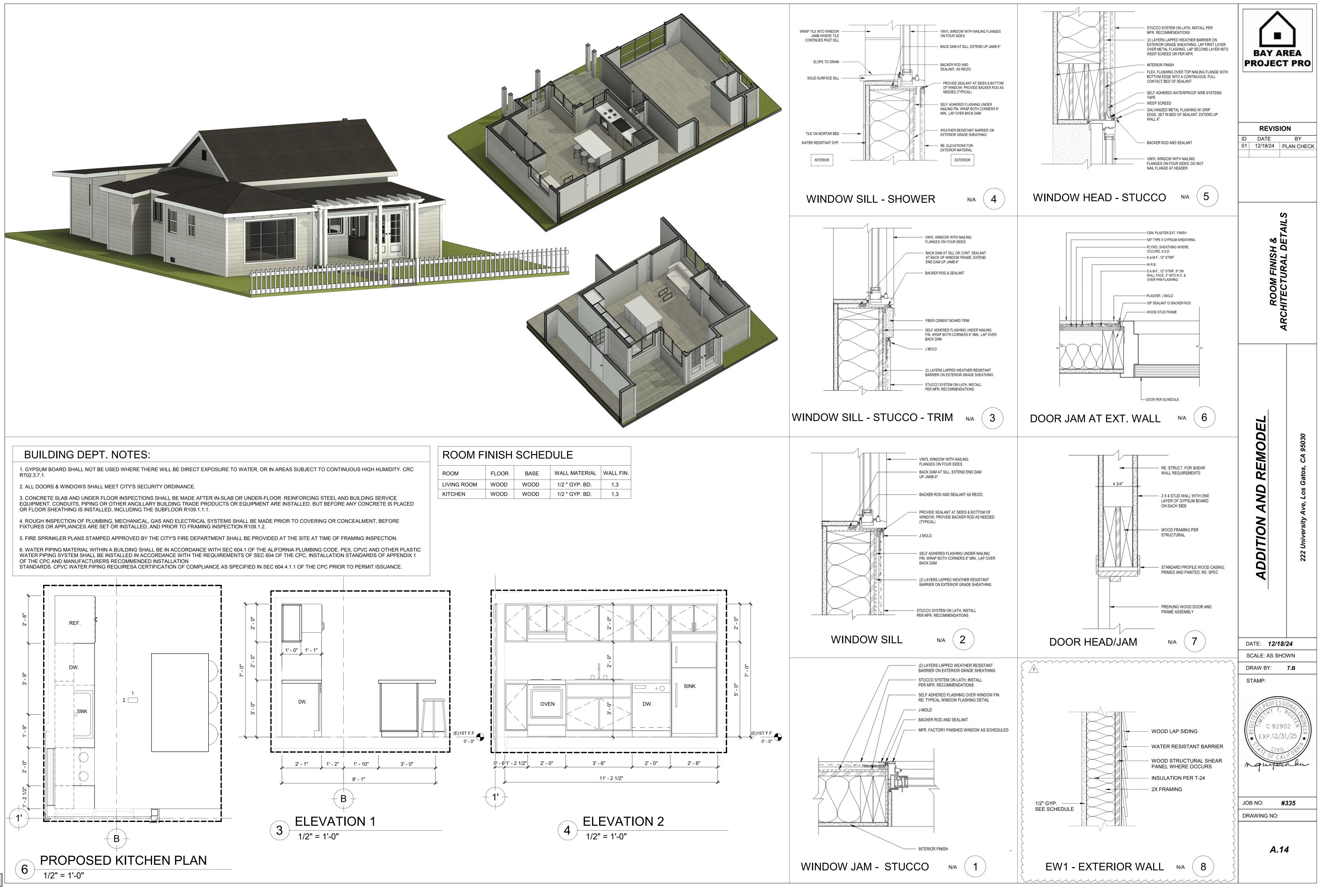
Product Information

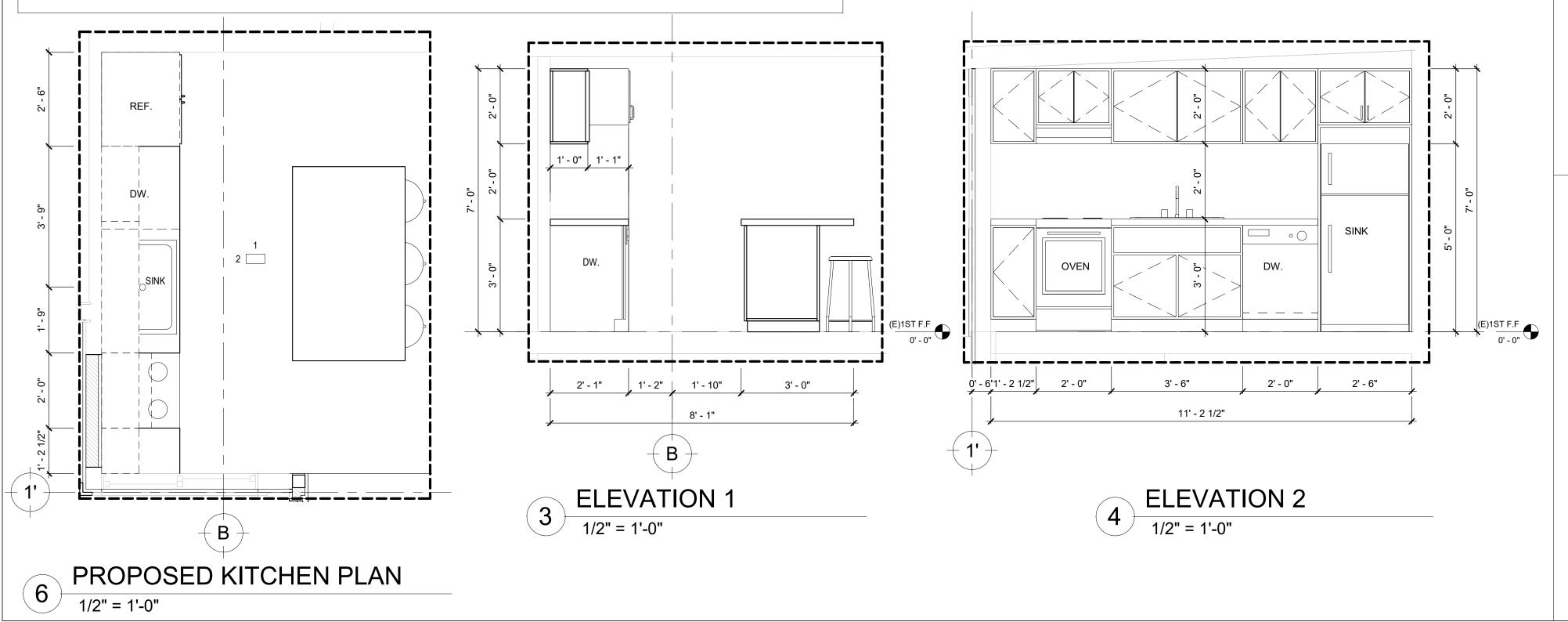
Internet # 313814741

Model # CSS1C7EKXX Store SKU # 1005577275

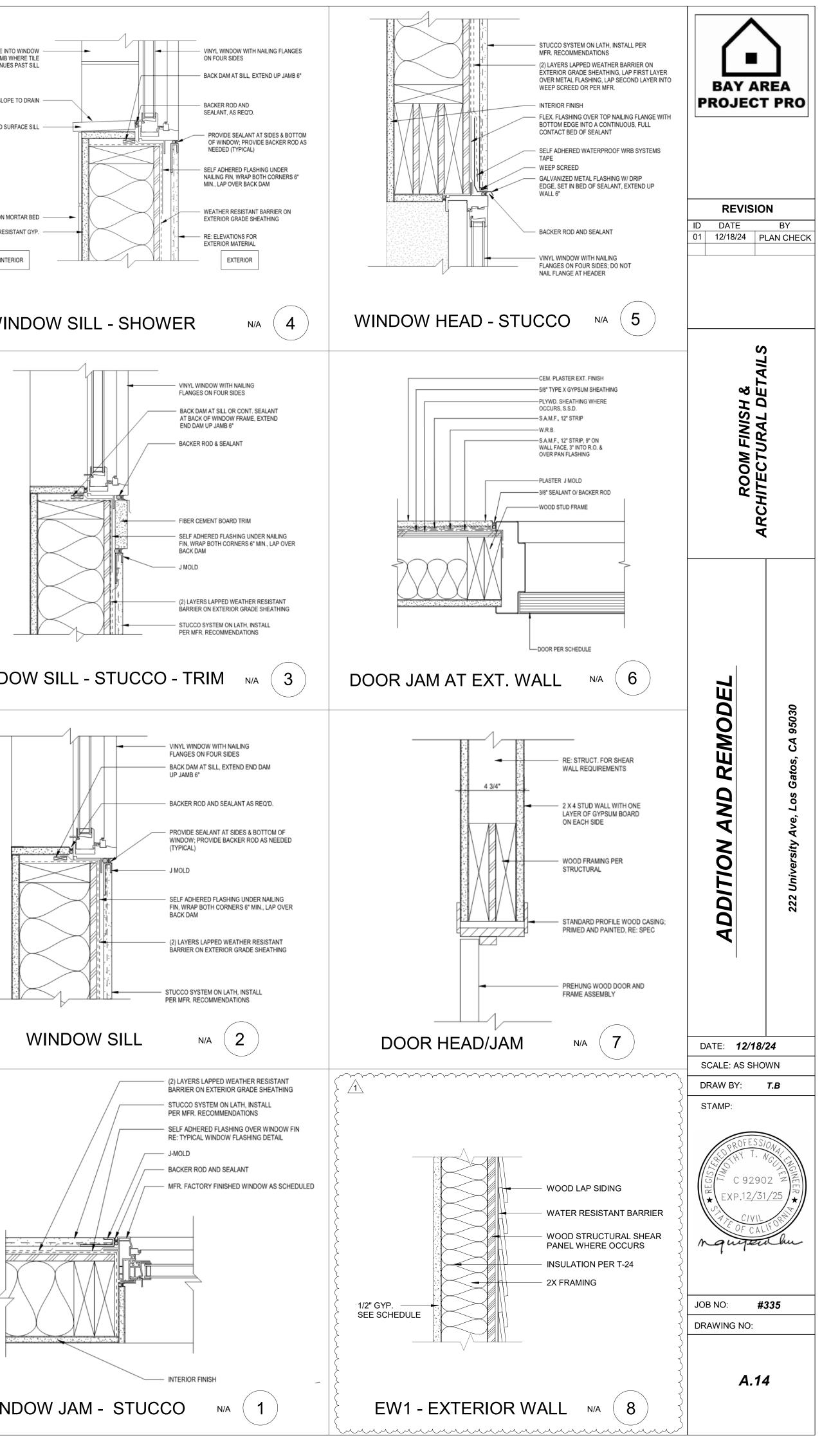
SIONS AND INSTALLATION REQ		IOR TO CASEWORK FABRICATION INSTALLATIO	DN.		<u>`</u>]
	& PAINT EXPOS	ED GYP. BD. WALL TO MATCH WALLS. INSTAL	L MATCHING BASE BD.	BAY A PROJEC	
OR. S WITH INSTALLED SHOWER H	IEADS SHALL BI	E FINISHED WITH A SMOOTH, NON-ABSORBEN	SURFACE TO A HEIGHT NOT		
FROM PERPENDICULAR WALL	_, UNO.				
H FLOOR TO BOTTOM OF CEIL	ING FINISH				
CRC. THE SMOKE DETECTOR V DKE DETECTOR ALARM SOUNE ATIONS. INSTALL AND LOCATE	D MUST BE AUD	VIRED WITH BATTERY BACK-UP AND LOCATED IBLE IN SLEEPING AREAS WHICH MAY REQUIR	(1) IN EACH BEDROOM, E INTERCONNECTED SMOKE	REVISI	ION
LINGS OR WALLS OUTSIDE SLI				ID DATE 01 12/18/24	BY PLAN CHECK
NT ENERGY STANDARD REQUI	REMENTS.				
ND WINDOW COVERINGS.					
DE D PAPER OVER ALL WOOD	BASE SHEATHI	NG AT EXTERIOR WALLS.			
		AL FLANGE OF 3½ INCHES SHALL BE PROVIDED NCHES ABOVE PAVED AREAS. (CRC R703.7.2.1			
		S, IN BATHROOM, AT COUNTER TOP SURFACE		AN NA	
		AR AREA WITHIN 6FT FROM EDGE OF THE SINK TALLED IN ACCORDANCE WITH THEIR LISTING		Id	i ·
				FLOOR	
		PACE VENTILATION		EL C	
		ADE IF NEED)			
F	LOOR AREA 1	575 SF	- 1512 SO INI)	DEOPOSED	
	USE 16X6 VENT	SQ.FT. OPEN VENTILATION AREA (10.5 X 144 (NFA 95 SQ.IN) , NEED 16 UNITS		NOA!	
		BE WITHIN 3FT OF BLDG. CORNER & 1/8" WIRI DVE GRADE OR 2" ABOVE PAVED AREA (TYP.)			•
OUNDATION VENT					
OOR PLAN KEY	NOIE				
MPERED GLASS					
LANDING 1 1/2" BELOW THRES	SHOLD.MINIMUN	I 36" IN DEPTH.MIN. 2% SLOPE AWAY FROM BU	ILDING.	EMODEL	
INT / EXT EXT. 1 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	SHALL BE SAF	DESCRIPTION R, ENTRANCE, WOOD FRAME/PANEL, TEMPE ETY GLAZING PER R308.4 CRC. CING ORDER.	RED GLASS. THE GLAZING	DDITION AND R	222 University Ave, Los Gatos,
OUNT		DESCRIPTION		AI	
2 SLIDING WINDOW,	LOW - E GLAS	S PANEL			
JGH OPENING SIZE WITH MAN CHES, MINIMUM NET CLEAR W CHES ABOVE THE FLOOR. HIN 18" OF FINISH FLOOR AND ING UNTIL AFTER INSULATION WITH WINDOW MANUFACTUR FOLLOWING CODE REQUIREM	VIDTH SHALL BE ALL SKYLIGHTS INSPECTION IS RER PRIOR TO F MENTS	S. COMPLETED.		DATE: 12/1	8/24
STANDARDS PER CRC, SEC. 6 SECTIONS 308.1 & 308.4 EC. 110.6	009.3			SCALE: AS SH	IOWN
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cedar shingle panel in the industry. Manu vill project a lasting beauty on any home	ufactured using	Dimensions		2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	902 EX RE
nels covers 37 square feet.		Actual Product Length (in.) Actual Product Thickness (in.)	96.000 in .688 in	$\left \begin{array}{c} 3 \\ 3 \\ 3 \\ 4 \\ 4 \\ \end{array} \right \left \begin{array}{c} 3 \\ 3 \\ 4 \\ 4 \\ \end{array} \right ^{\frac{1}{2}} C 929 \\ \frac{1}{2} \\ \frac{1}$	
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		Nominal Product Length (in.)			
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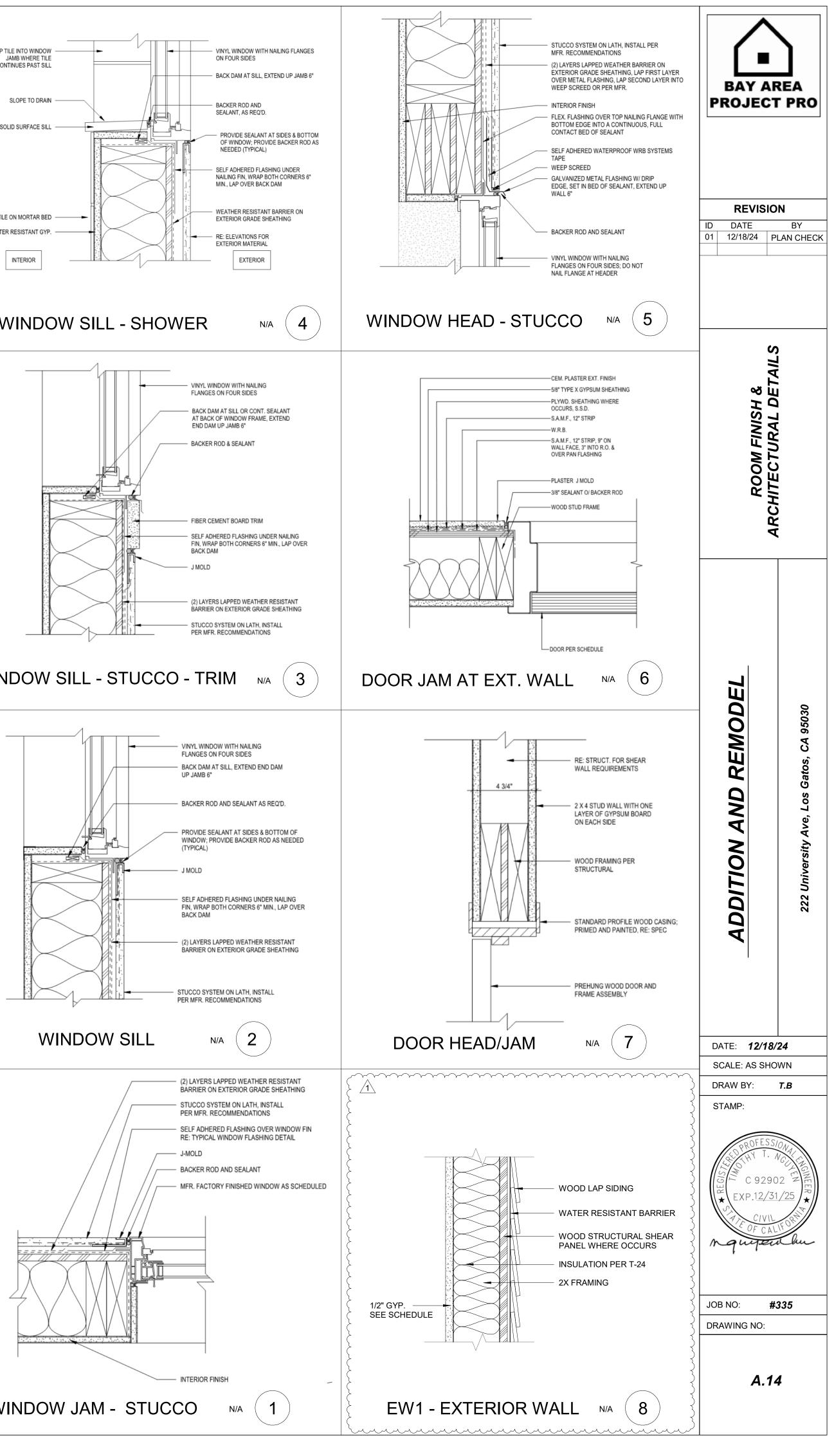






ROOM FINISH SCHEDULE					
ROOM	FLOOR	BASE	WALL MATERIAL	WALL FIN.	
LIVING ROOM	WOOD	WOOD	1/2 " GYP. BD.	1,3	
KITCHEN	WOOD	WOOD	1/2 " GYP. BD.	1,3	





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TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE

REPORT

ITEM NO: 3

DATE:	March 21, 2025
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. Located at 31 University Avenue. APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Consider a request for approval for exterior modifications to an existing commercial building, Building E in the Old Town Los Gatos Shopping Center in the University/Edelen Historic District on property zoned C-2:LHP:PD, located at 31 University Avenue.

BACKGROUND:

On February 26, 2025, the Committee considered the request, discussed the item, and continued the item to a meeting date certain with the following feedback (Attachment 5):

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; and not consistent with the Planned Development or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical mass;
- Consider the addition of tile roofing material; and
- Consider the visual impact of the skylight from all elevations.

PREPARED BY: Erin M Senior

Erin M. Walters Senior Planner

DISCUSSION:

The applicant considered the Committee's direction and has decided to not modify the proposed exterior modifications and has provided a response letter (Attachment 6).

The applicant proposes to modify the exterior of Building E to establish more cohesive architecture for the future single tenant of the building (Attachment 7). Exterior modifications would be made to all four elevations and include:

- Roof alterations creating consistent and symmetrical massing;
- Changes to window and door shapes, integrating arched, and rectangular fenestration;
- New fabric awnings and metal and glass canopy awnings;
- A new skylight; and
- New stucco siding.

A color and materials sheet showing the proposed finishes of the new exterior materials is included on A406 in the Development Plans included as Attachment 7.

CONCLUSION:

The applicant is seeking a recommendation from the Committee for exterior modifications to Building E. (Attachment 7). Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Planning Commission. The application package would continue through the discretionary review process and would not return to the Committee.

CONSIDERATIONS:

A. Considerations Required with Recommendation

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

PAGE **3** OF **4** SUBJECT: 31 University Avenue/PD-25-001, S-25-004 and U-25-001 DATE: March 21, 2025

ATTACHMENTS:

Previously distributed with the February 26, 2025, Staff Report:

- 1. Planned Development Ordinance 2025
- 2. Applicant's Request and Letter of Justification
- 3. Development Plans

Previously received with the February 26, 2025, Desk Item Report:

4. Existing and Proposed Building Elevations

Received with this Staff Report:

- 5. HPC Action Letter, February 26, 2025
- 6. Response Letter
- 7. Development Plans

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

February 26, 2025

Rick Nelson, MBH Architects Via email

RE: <u>31 University Avenue</u> Planned Development Modification PD-25-001 Architecture and Site Application S-25-004 Conditional Use Permit U-25-001

> Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item, and continued the application to a meeting date certain of March 26, 2025, with the following feedback:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

If you have any questions, I can be contacted by phone at (408) 354-6867or by email at <u>ewalters@losgatosca.gov</u>.

Sincerely,

Erin M. Walters, Senior Planner

cc: Lindsey Laird, RH, via email

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RH

March 14, 2025

Historic Preservation Committee 110 E. Main Street Los Gatos, CA 95030

Project: RH Los Gatos - PD-25-001, S-25-004 and U-25-001 Location: 31 University Ave

Dear Members of the Historic Preservation Committee:

I would like to first thank you for your time on February 26, 2025. We appreciated your feedback but after careful consideration, we have chosen to maintain our current design.

When developing our Proposal, we closely studied the existing Mediterranean components of the building and the Old Town Shopping Center, its proportions, window types and architectural details. We also considered the buildings immediately adjacent and incorporated their unified design into our building, both in color and articulation, with the goal of creating a harmonious façade design that assimilates into, rather than competes with the larger Historic District.

At RH, we strive to obtain balance, symmetry and perfect proportions with our architectural approach and believe our design does exactly that. With respect, we would like to maintain our Proposal. I hope the explanation above provides you with an understanding of our position.

Thank you,

Stuart Wagner

STUART WAGNER SENIOR DIRECTOR, PRE-DEVELOPMENT RH | GALLERY DEVELOPMENT C: 919.621.0741

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ABBREVIATIONS

& @ ACT ADA AFF ADJ AHU ALUM/AL APPROX ARCH	AND AT AIR CONDITIONING ACOUSTICAL CEILING TILE AMERICAN'S W/ DISABILITIES ACT ABOVE FINISH FLOOR ADJUSTABLE AIR HANDLING UNIT ALUMINUM APPROXIMATE ARCHITECTURAL
BD BLDG BLKG BM BO BOT BSMT	BOARD BUILDING BLOCKING BEAM BOTTOM OF BOTTOM BASEMENT
CJ CL CLG CLG HGT CLR CMU CNTR CO CONC CONSTR CONT CONT CPT CSK CT CTR	CONTROL JOINT CENTER LINE CEILING CEILING HEIGHT CLEAR CONCRETE MASONRY UNIT COUNTER CASED OPENING CONCRETE CONSTRUCTION CONTINUOUS CARPET COUNTERSINK CERAMIC TILE CENTER
DBL DET DIA DIM DN DR DR OPNG DWG	DOUBLE DETAIL DIAMETER DIMENSION DOWN DOOR DOOR OPENING DRAWING
EA ELEC ELEV EMER EQ EQUIP ETR EWC EXIST / (E) EXH EXP EXT	EACH ELECTRICAL ELEVATION EMERGENCY EQUAL EQUIPMENT EXISTING TO REMAIN ELECTRIC WATER COOLER EXISTING EXHAUST EXPOSED EXTERIOR
FA FD FE FEC FF FIN FIXT FLR FLUOR FOF FOC FOF FOS FRT FT FTG	FIRE ALARM FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FINISH FIXTURE FLOOR FLUORESCENT LIGHTING FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIRE RETARDANT TREATED FOOT (FEET) FOOTING
GA GALV GC GL GR GWB GYP	GAGE GALVANIZED GENERAL CONTRACTOR GLASS or GLAZING GRADE GYPSUM WALLBOARD GYPSUM
HC HCWD HDWD HDWR HM HMF HORIZ HT HVAC HW	HOLLOW CORE HOLLOW CORE WOOD DOOR HARDWOOD HARDWARE HOLLOW METAL HEATING, VENTILATION & COOLING HORIZONTAL HEIGHT HEATING VENTILATION AIR CONDITION HOT WATER
IN INCL INSUL INT	INCH INCLUDED INSULATION INTERIOR
JAN JT JST	JANITOR JOINT JOIST

L	LONG (LENGTH)
LAV	LAVATORY
LAM	LAMINATE
LW	LIGHTWEIGHT
LBS	POUNDS
LF	LINEAR FOOT
LH	LEFT-HANDED
LL	LANDLORD
MAT	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL
NAT	NATURAL
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
O/	OVER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
OPNG	OPENING
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PR	PAIR
P	PAINT
PT	PORCELAIN TILE
PTD	PAINTED
P.T.	PRESSURE TREATED
PTN	PARTITION
RESIL REV RH RM	RISER RADIUS REFLECTED CEILING PLAN RECESSED REQUIRED REFERENCE RESILIENT REVISION RIGHT HAND ROOM ROUGH OPENING RAIN WATER LEADER
SF SHT SIM SIPS SND INS SPEC SQ SST STD	SOLID CORE SMOKE DETECTOR SECTION SQUARE FOOT (FEET) SHEET SIMILAR STRUCT. INSULATED PANEL SOUND INSULATION SPECIFICATION SQUARE STAINLESS STEEL STANDARD STEEL STAIN SYSTEM
T T&G THK THR TOB TOC TOJ TOM TOS TOS TOW TPD TYP	TREAD TONGUE & GROOVE THICKNESS THRESHOLD TOP OF BEAM TOP OF CONCRETE TOP OF JOIST TOP OF MASONRY TOP OF SLAB TOP OF SLAB TOP OF STEEL TOP OF WALL TOILET PAPER DISPENSER TYPICAL
UC	UNDERCUT
UNO	UNLESS NOTED OTHERWISE
VAR	VARIES
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VP	VENEER PLASTER
W/	WITH
W/O	WITHOUT
WA	WALL ANCHOR
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WH	WATER HEATER
WP	WORKING POINT

WATER RESISTANT

WAINSCOT

WEIGHT

WR

WSCT

WT

PROJECT TEAM

PROPERTY OWNER: FEDERAL REALTY 356 SANTANA ROW SUITE 1005 SAN JOSE CA 95128 PHONE: (408) 551-2254 CONTACT: ROBERT AGUIRRE, SR. PROJECT MANAGER EMAIL: RAGUIRRE@FEDERALREALTY.COM TENANT:

15 KOCH RD,

CORTE MADERA, CA 94925

EMAIL: SWAGNER@RH.COM

CONSTRUCTION PROJECT MANAGER:

CONTACT: LAUREN WEINGARTNER

EMAIL: L.WEINGARTNER@GARDINERUSA.COM

PHONE: 415-924-1005

CONTACT: STU WAGNER

GARDINER & THEOBALD

NEW YORK, NY 10017

PHONE: 212-661-6624

PROJECT MANAGER

STRUCTURAL:

535 5TH AVENUE, FLOOR 3

MURPHY BURR CURRY, INC.

85 2ND STREET, SUITE 501

PHONE: 415-669-5382

FOOD SERVICE DESIGN:

ANNAPOLIS, MD 21401

PHONE: 410-263-1200

LOS ANGELES, CA 90017

CONTACT: CHRIS JONES

EMAIL: CHRIS.JONES@KPFF.COM

PHONE: 213-266-5260

CONTACT: ERIC MCCONNELL

EMAIL: EMCCONNELL@NEXTSTEPDESIGN.COM

NEXT STEP DESIGN

913 WEST STREET,

CIVIL ENGINEER:

KPFF

PRINCIPAL

SAN FRANCISCO, CA 94105

CONTACT: ZACK C. KARDON

CONSULTING STRUCTURAL ENGINEERS

RH

ARCHITECT: MBH ARCHITECTS 960 ATLANTIC AVENUE ALAMEDA, CA, 94501 PHONE: 510-865-8663 CONTACT: RICK NELSON PROJECT MANAGER EMAIL: RIX@MBHARCH.COM CONTACT: BRENDA BARAJAS DESIGNER EMAIL: BRENDAB@MBHARCH.COM

MECH/ELEC/PLUMB: MECHANICAL ELECTRICAL ENGINEERING CONSULTANTS, MEEC 14496 N. SHELDON RD., SUITE 260, PLYMOUTH, MI 48170 PHONE: 734-454-5516 EXT. 751 CONTACT: WILLIAM E. VERNIER III DIRECTOR OF MECHANICAL ENGINEERING EMAIL: ZKARDON@MBCSE.COM EMAIL: WVERNIER@MEECI.COM

LIGHTING DESIGN **RKV DESIGN** MALIBU, CA PHONE: 310-924-2185 CONTACT: REBECCA HIDALGO EMAIL: REBECCA@RVK-DESIGN.COM

PLANNING DEPARTMENT: TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT 700 S. FLOWER STREET, SUITE 2100 ADDRESS:110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6823 CONTACT: SEAN MULLIN PLANNING MANAGER EMAIL: SMULLIN@LOSGATOSCA.GOV

BUILDING DEPARTMENT: TOWN OF LOS GATOS BUILDING DIVISION ADDRESS:110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6815 CONTACT: ROBERT GRAY CHIEF BUILDING OFFICIAL/ ADA COORDINATOR EMAIL: RGRAY@LOSGATOSCA.GOV

GENERAL NOTES

- 1. DO NOT SCALE THE DRAWINGS. 2. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- 3. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY A REGULATORY AUTHORITY OF THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- 4. THROUGHOUT THIS SET OF DRAWINGS, THE TERM "SDB" REFERS TO THE CLIENT/TENANT. THE TERM "LANDLORD" REFERS TO THE PROPERTY OWNER. 5. THE CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR SDB REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY E REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT. 6. SEE SPECIFICATIONS FOR ADDITIONAL CRITERIA AND CONSTRUCTION
- REQUIREMENTS. 7. DIMENSIONS SHOWN AS 'VIF' SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN. DIMENSIONS PRIOR TO PROCEEDING WITH WORK. 8. DIMENSIONS SHOWN AS 'CLEAR' OR 'HOLD' SHALL BE MAINTAINED AND ALLOW FOR
- THICKNESS OF FINISHES; INCLUDING FLOOR FINISHES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK. 9. DIMENSIONS ARE TO THE STRUCTURAL GRID OR TO FINISH SURFACES, UNLESS OTHERWISE INDICATED.
- 10. ELEVATIONS REFERENCED ARE ABOVE SDB FINISH FLOOR FOR EACH ROOM THROUGHOUT TENANT SPACE, UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS MAY VARY FROM ROOM TO ROOM DEPENDING UPON FLOOR FINISHES.
- 11. GENERAL CONTRACTOR SHALL PROVIDE THE BUILDING OFFICIAL WITH A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH ENERGY CONSERVATION STANDARDS UPON FINAL BUILDING DEPARTMENT INSPECTIONS (WHERE REQUIRED). 12. GENERAL CONTRACTOR SHALL PREPARE THE FLOOR LEVEL AND SMOOTH AND PROVIDE FOR THE FILLING OF ALL FLOOR DRAINS, FLOOR SINKS OR OTHER SUCH
- DEPRESSIONS, CRACKS OR IRREGULARITIES IN FLOOR SLAB. 13. PROVIDE BLOCKING AT WALLS TO MEET CODE MINIMUM WHERE REQUIRED FOR SUPPORT OF FIXTURES/ACCESSORIES.
- 14. GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL TRADES AS REQUIRED BY CODE. LOCATIONS TO BE APPROVED BY ARCHITECT AND/OR SBD REPRESENTATIVE PRIOR TO EXECUTION OF WORK.
- 15 FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN CONTRACT. 16. STORAGE IN STOCK/STORAGE ROOMS SHALL BE MAINTAINED 18 INCHES OR MORE BELOW SPRINKLER HEAD DEFLECTORS, A 3-INCH RED STRIPE SHALL BE MARKED ALONG ALL WALLS WITHIN STOCK/STORAGE AT THE MAXIMUM STORAGE HEIGHT, AND STRIPE SHALL BE LABELED " NO STORAGE ABOVE THIS LINE" IN WHITE LETTERS A MINIMUM OF ONCE ON EACH WALL

Page 61

RH - LOS GATOS 31 UNIVERSITY AVE, LOS GATOS, CA 95030

PROJECT DATA

APN:

EXISTING E31 BUILDING AREA (GROSS) EXISTING E35 BUILDING AREA (GROSS) (NO CHANGE TO EXISTING GROSS AREA)

OCCUPANCY GROUP: STORIES: CONSTRUCTION TYPE: OCCUPANT LOAD: SPRINKLERED (YES/NO):

529 02 044 7,233 SF 8,724 SF

M & A-2 S-2 (GARAGE) 2- STORY IIB, VB M - 185 OCC A-2 - 100 OCC YES (EXISTING)

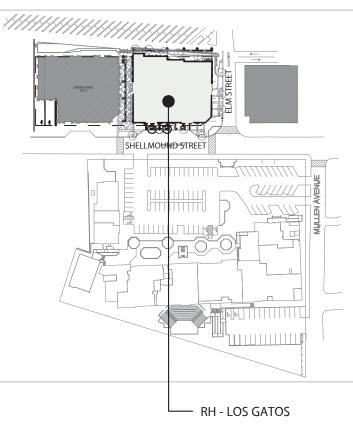
VICINITY MAP

KEY PLAN

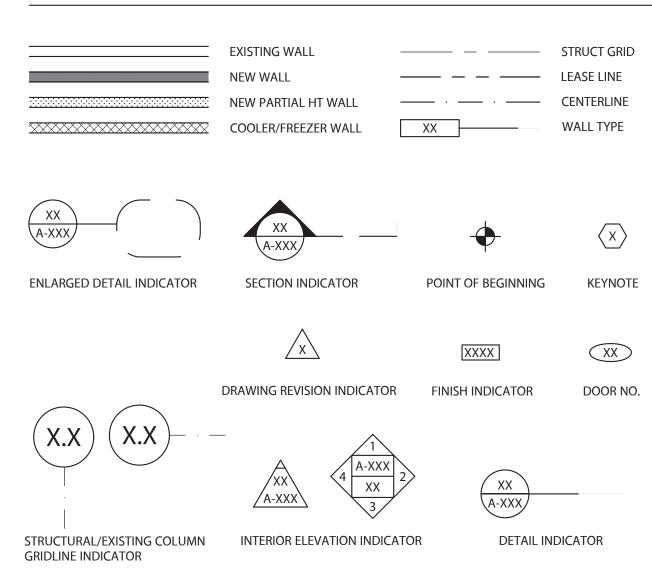


PROJECT SITE -RH - LOS GATOS 31 UNIVERSITY AVE,

LOS GATOS, CA 95030



SYMBOLS LEGEND



SCOPE DESCRIPTION

TENANT IMPROVEMENT OF TWO GROUND FLOOR TENANT SPACES. THE TWO SPACES WILL HAVE THE INTERIOR DEMOLISHED AND RE-CONFIRMED INTO ONE SPACE. THE NEW USE WILL BE A RETAIL SHOWROOM INCLUDING A RESTAURANT. THERE IS NO CHANGE IN GROSS BUILDING AREA OR PROPOSED USE.

SCOPE TO INCLUDE COMPLETE BUILD-OUT WITH ASSOCIATED PLUMBING, MECHANICAL, ELECTRICAL, KITCHEN EQUIPMENT AND FINISHES THROUGHOUT.

CODE INFORMATION

AUTHORITY HAVING JURIS	DICTION:	TOWN OF LOS G	ATOS
BUILDING CODE:	CALIFORNIA BUIL	DING CODE	2022
GREEN BUILDING CODE:	CALIFORNIA GRE STANDARDS COE		2022
ACCESSIBILITY CODE:	CALIFORNIA BUIL	DING CODE	2022
ENERGY CODE:	CALIFORNIA ENE	RGY CODE	2022
MECHANICAL CODE:	CALIFORNIA MEC	HANICAL CODE	2022
PLUMBING CODE:	CALIFORNIA PLU	MBING CODE	2022
ELECTRICAL CODE:	CALIFORNIA ELEC	CTRICAL CODE	2022
FIRE CODE:	CALIFORNIA FIRE	CODE	2022
HEALTH CODE:	CALIFORNIA RET	AIL FOOD CODE	2022

PLUMBING CALCULATIONS	
OCCUPANCY LOAD PER 2022 CBC TABLE 1004.5	

	JCCOPANCT LOAD PER 2022 CBC TABLE 1004.5				
	FUNCTION OF SPACE	OCCUPANCY LOAD FACTOR (SQUARE FEET)	SQUARE FOOTAGE	TOTAL OCCUPANTS	
	MERCANTILE	1 PER 60	11073 SF	185 OCC	
	ASSEMBLY (WITHOUT FIXED SEATS) UNCONCENTRATED	1 PER 15	900 SF	60 OCC	
	FIXED BOOTH SEATING	1 PER 24"		36 OCC	
KITCHEN		1 PER 200	800 SF	4 OCC	
	TOTAL:		12,776 SF	286 OCC	

*PER TABLE CPC 4-1 FOOTNOTE - ACCESSORY AREAS SUCH AS, BUT NOT LIMITED TO HALLWAYS/CORRIDORS, STAIRWAYS, RAMPS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS AND FIXED EQUIPMENT MAY BE EXCLUDED. *PER TABLE CPC 422.1 - RESULT IN FRACTIONAL NUMBERS, SUCH NUMBER SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBER SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

M OCCUPANCY (PER OCC. LOAD) @ GROUND FLR	
185 OCCUPANTS I 93 MALE & 93 FEMALE	

i. WATER CLOSET (M): 93 OCCUPANTS X 1/100 = .93 ii. WATER CLOSET (F): 93 OCCUPANTS X 1/100 = .93 iii. URINAL (M): 93 OCCUPANTS X 1/200 = .47 iv LAVATORY (M) \cdot 93 OCCUPANTS X 1/200 = 47

100 OCCUPANTS I 50 MALE & 50 FEMALE i. WATER CLOSET (M): 50 OCCUPANTS X 1/50 = 1 ii. WATER CLOSET (F): 50 OCCUPANTS X 1/25 = 2 iii. URINAL (M): 50 OCCUPANTS X 1/200 = .25

A-2 OCCUPANCY (PER OCC. LOAD) @ GROUND FLR

iv. LAVATORY (M): 93 OCCUPANTS X 1/200 = .47 v. LAVATORY (F): 93 OCCUPANTS X 1/200 = .47				TORY (M): 50 OCC TORY (F): 50 OCCL		
FRACTIONAL	WATER CLOSETS			LAVATORIES		
METHOD	М	F	URINALS	М	F	
TOTAL	2	3*	1	1	1	
REQUIRED	5		1	2		
PROVIDED	6	5	1 WC	6		

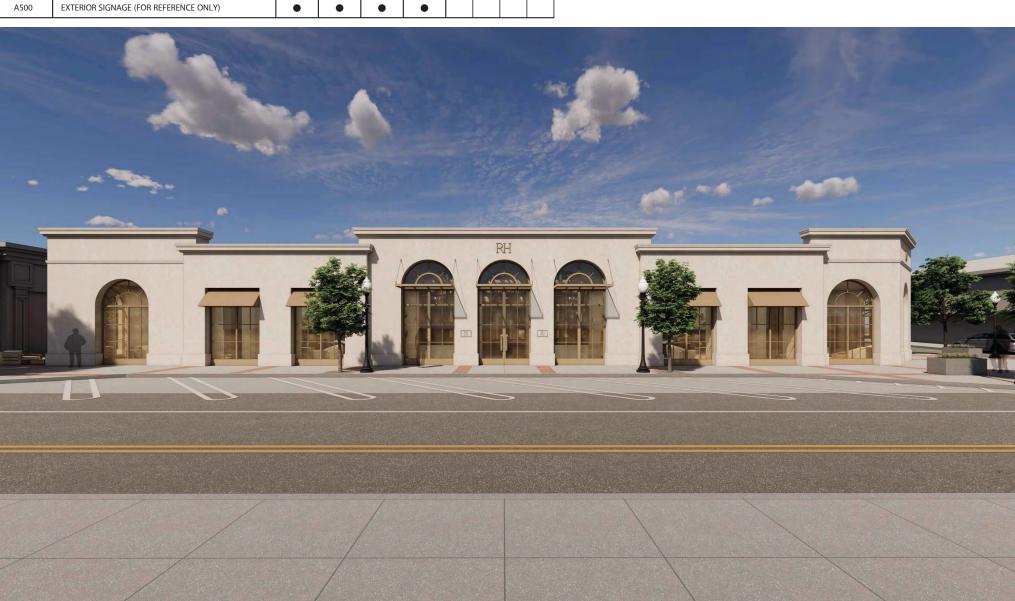
INSTEAD OF URINAL (INCLUDED IN COUNT 6) *POTTY PARITY - PER CPC 422.1 NOTE 3 - THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES

SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES.

iii. URINAL (M): .47 + .25 = .72 -> 1 iv. LAVATORY (M): .47 + .34 = .81 -> 1

v. LAVATORY (F): .47 + .34 = .81 -> 1

SUM UP ALL REQUIRED FIXTURES i. WATER CLOSET (M): .93 + 1 = 1.93 -> 2 ii. WATER CLOSET (F): .93 + 2 = 2.93 -> 3

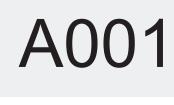


SHEET NO	SHEET NAME	10/18/2024 PRE-APPLICATION PACKAGE	11/06/2024 PLANNING SUBMITTAL	11/22/2024 100% SCHEMATIC DESIGN	01/09/2025 PLANNING SUBMITTAL 2		
	ARCHITECTURAL						
A001	COVER SHEET	•	•	•	•		
AS101	SITE PLAN	•	•	•	•		
AD101	EXISTING FLOOR PLAN	•	•	•	•		
A100	EXISTING BASEMENT PLAN	•	•	•	•		
A101	FLOOR PLAN	•	•	•	•		
A104	ROOF PLAN	•	•	•	•		
A201	EXTERIOR ELEVATIONS	•	•	•	•		
A202	EXTERIOR ELEVATIONS	•	•	•	•		
A203	EXISTING EXTERIOR ELEVATIONS				•		
A204	EXISTING EXTERIOR ELEVATIONS				•		
A301	BUILDING SECTIONS	•	•	•	•		
A400	EXISTING BUILDING PHOTOS	•	•	•	•		
A401	EXISTING BUILDING PHOTOS	•	•	•	•		
A402	EXTERIOR BUILDING RENDERS	•	•	•	•		
A403	EXTERIOR BUILDING RENDERS	•	•	•	•		
A404	INTERIOR BUILDING RENDERS	•	•	•	•		
A405	INTERIOR BUILDING RENDERS	•	•	•	•		
A406	MATERIAL FINISHES		•	•	•		
1500							

DRAWING INDEX

		LIGHTING					
	LT-1.0	LIGHTING LAYOUT	•	•	•		
	LT-2.0	EXTERIOR LIGHTING ELEVATIONS	•	•	•		
l							





Drawing No.

Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted

COVER SHEET

Drawings and written material appearing herein constitute

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Consultant



RH - LOS GATOS

31 UNIVERSITY AVE,

LOS GATOS, CA 95030

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Project

Architect

Seal



onsultant	
o. Date	Issued/Revised
	PRE-APPLICATION PACKAGE
2 11/06/2024	PLANNING SUBMITTAL
	100% SCHEMATIC DESIGN PLANNING SUBMITTAL 2
3 11/22/2024 4 01/09/2025	
4 01/09/2025	PLANNING SUBMITTAL 2
4 01/09/2025	PLANNING SUBMITTAL 2
4 01/09/2025	PLANNING SUBMITTAL 2
4 01/09/2025	PLANNING SUBMITTAL 2 material appearing herein constitute hed work of the Architect and may not or disclosed without written consent of the Architect IBH ARCHITECTS-2024 59485 Brenda B
4 01/09/2025	PLANNING SUBMITTAL 2 material appearing herein constitute hed work of the Architect and may not of the Architect IBH ARCHITECTS-2024 59485 Brenda B Rick N
4 01/09/2025	PLANNING SUBMITTAL 2 material appearing herein constitute hed work of the Architect and may not or disclosed without written consent of the Architect IBH ARCHITECTS-2024 59485 Brenda B
4 01/09/2025	PLANNING SUBMITTAL 2 material appearing herein constitute hed work of the Architect and may not of the Architect IBH ARCHITECTS-2024 59485 Brenda B Rick N
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4 01/09/2025	PLANNING SUBMITTAL 2 material appearing herein constitute hed work of the Architect and may not or disclosed without written consent of the Architect IBH ARCHITECTS-2024 59485 Brenda B Rick N As noted
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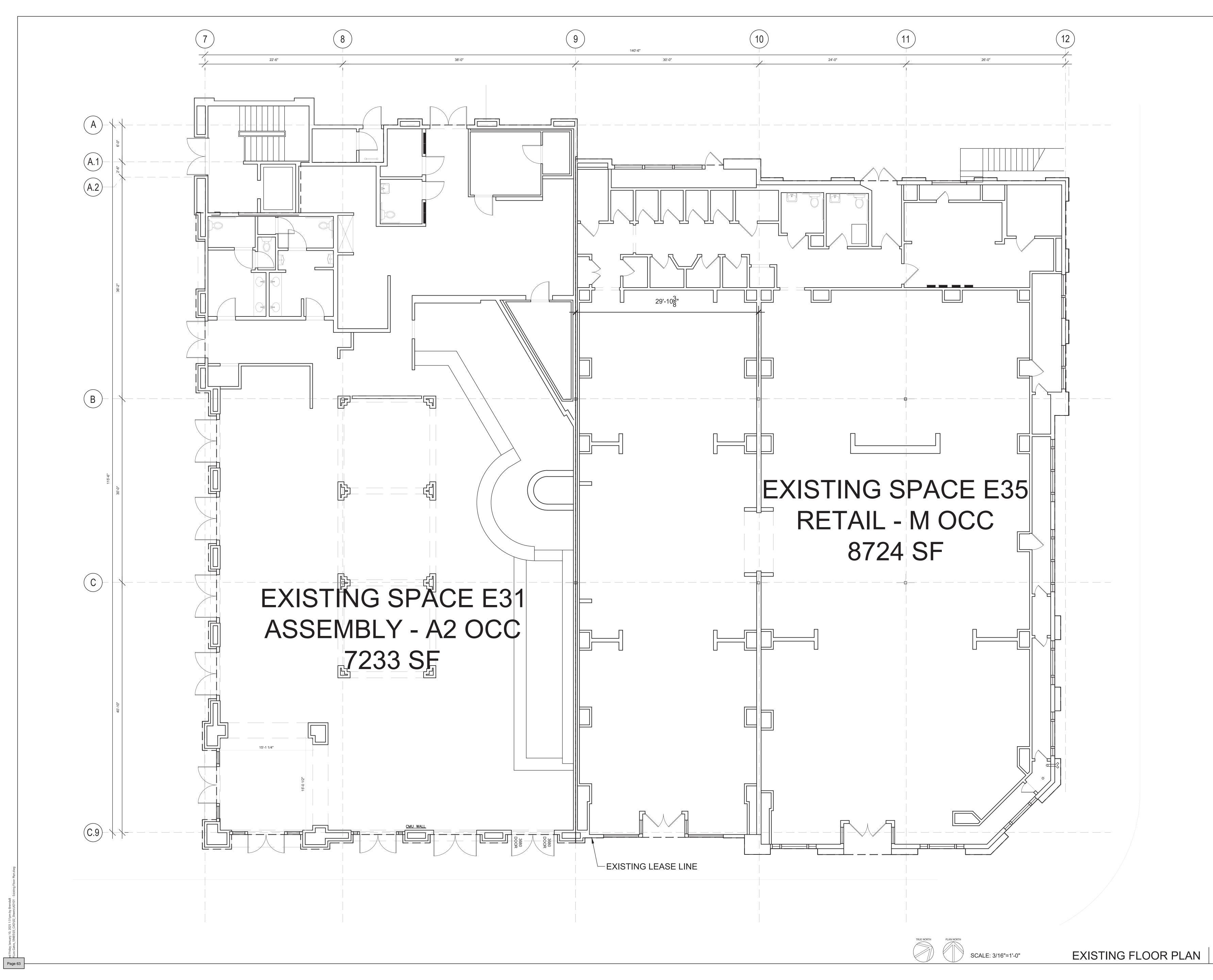


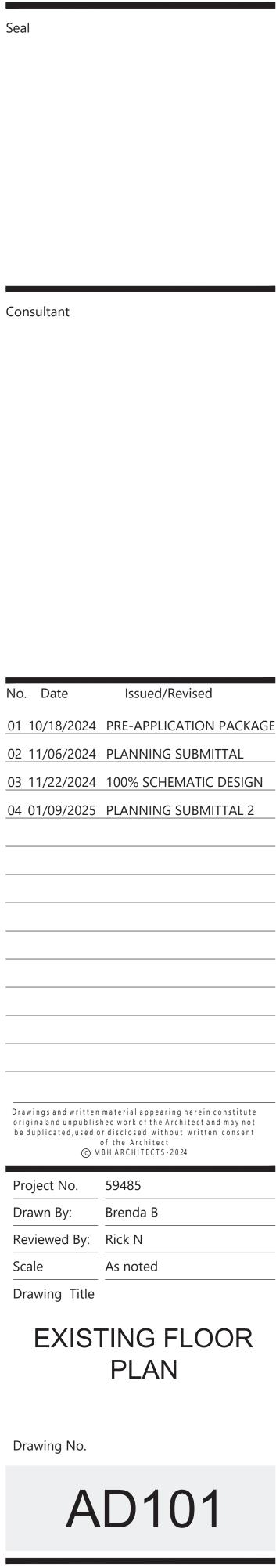
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MBH

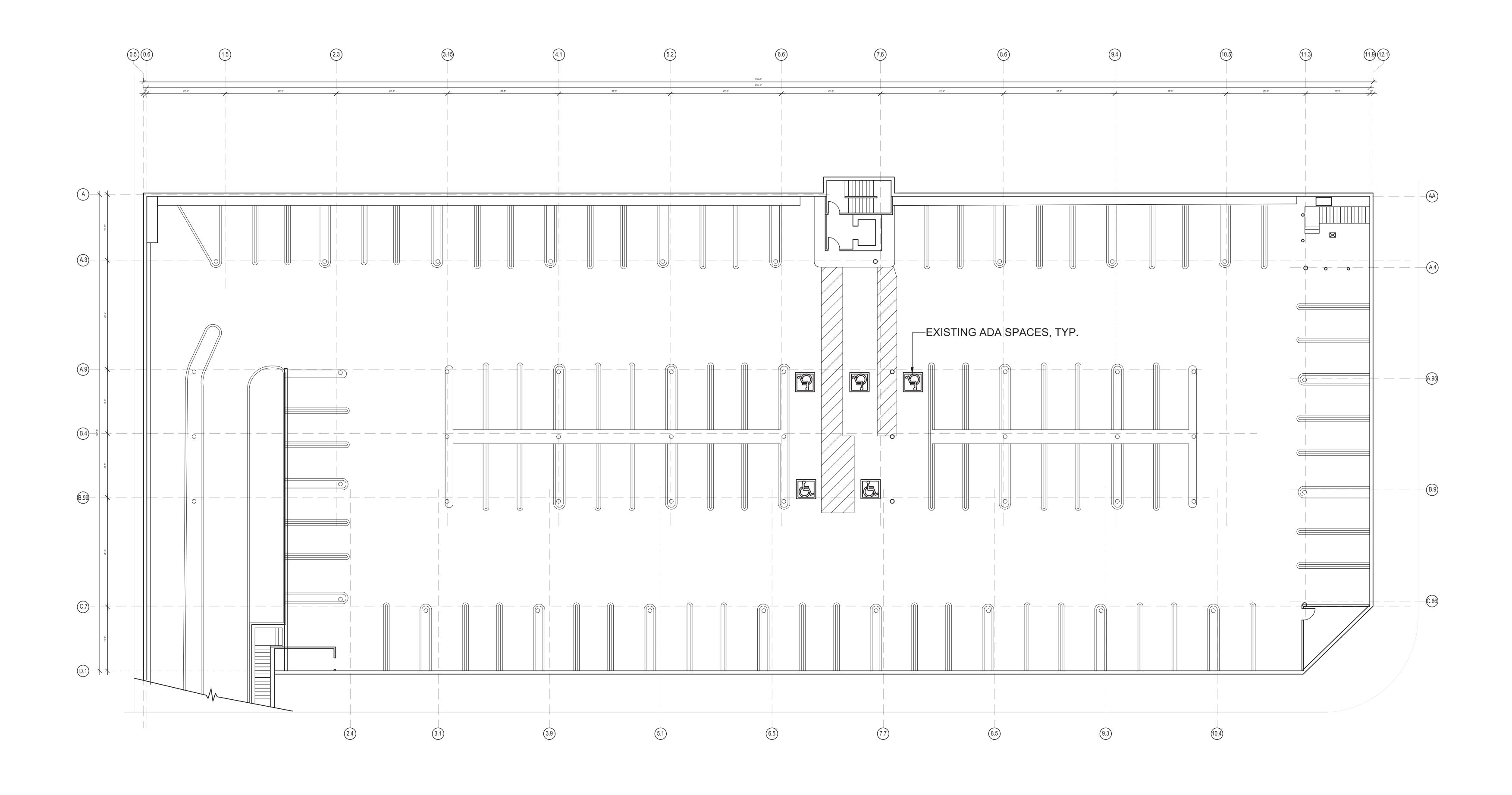
Project

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FOR REFERENCE ONLY

PLAN NORTH

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04 01/09/2025	PLANNING SUBMITTAL 2
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	IBH ARCHITECTS - 2024
Project No. Drawn By:	59485 Brenda B
	Rick N
Scale	As noted
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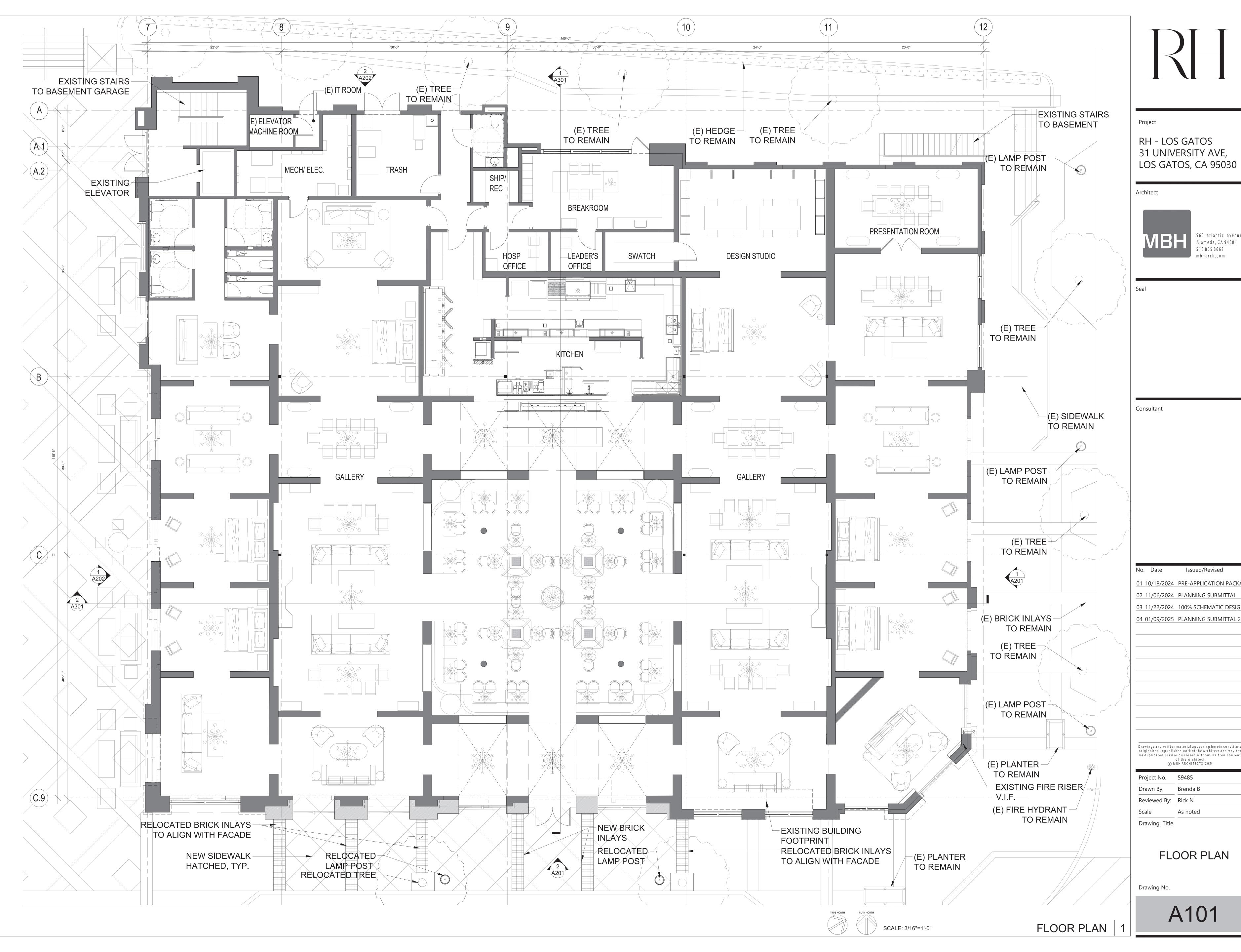
Seal

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Drawing No.

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Project No.	59485			
Drawn By:	Brenda B			
Reviewed By:	Rick N			
Scale	As noted			
Drawing Title				

FLOOR PLAN

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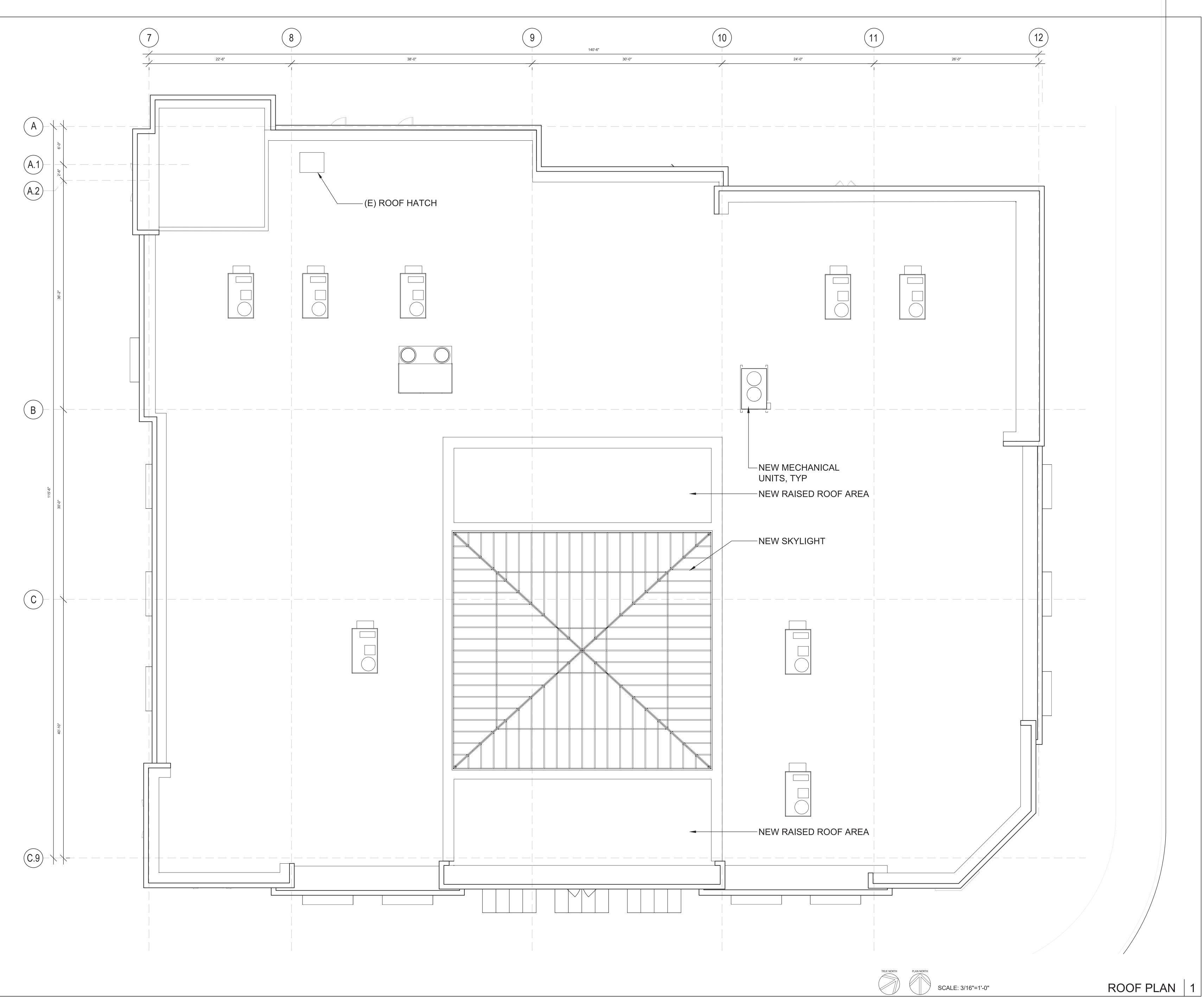
No. Date	Issued/Revised
01 10/18/2024	PRE-APPLICATION PACKAGE
02 11/06/2024	PLANNING SUBMITTAL
03 11/22/2024	100% SCHEMATIC DESIGN
04 01/09/2025	PLANNING SUBMITTAL 2

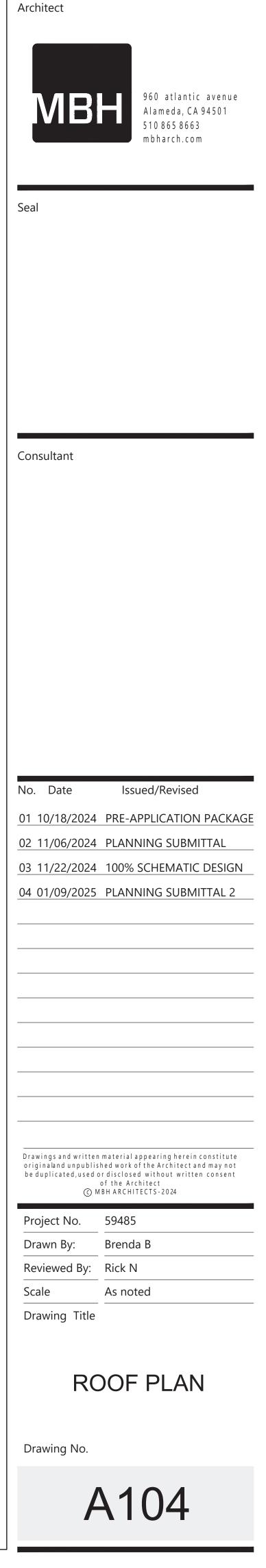
Consultant



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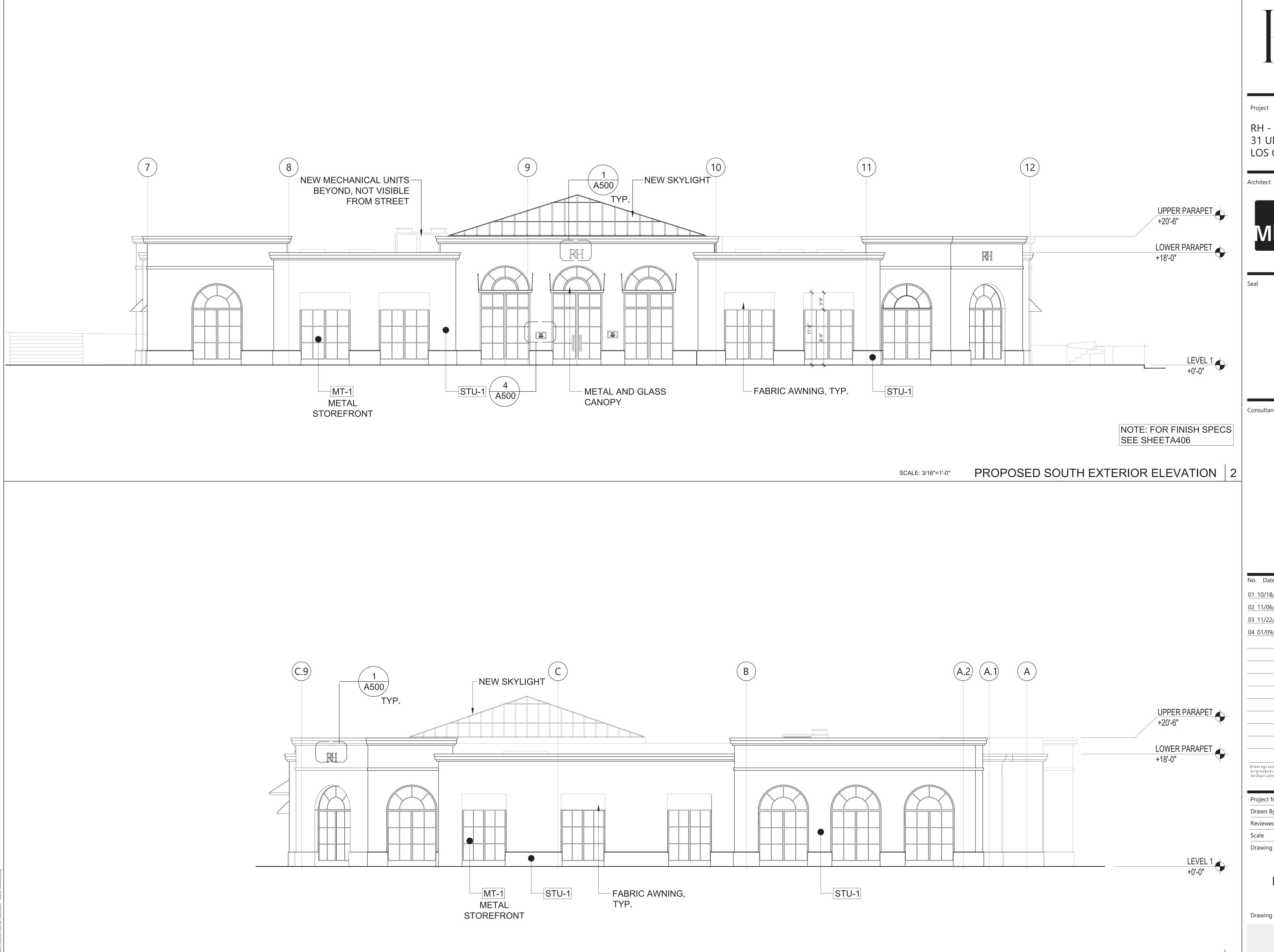
Project





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Project



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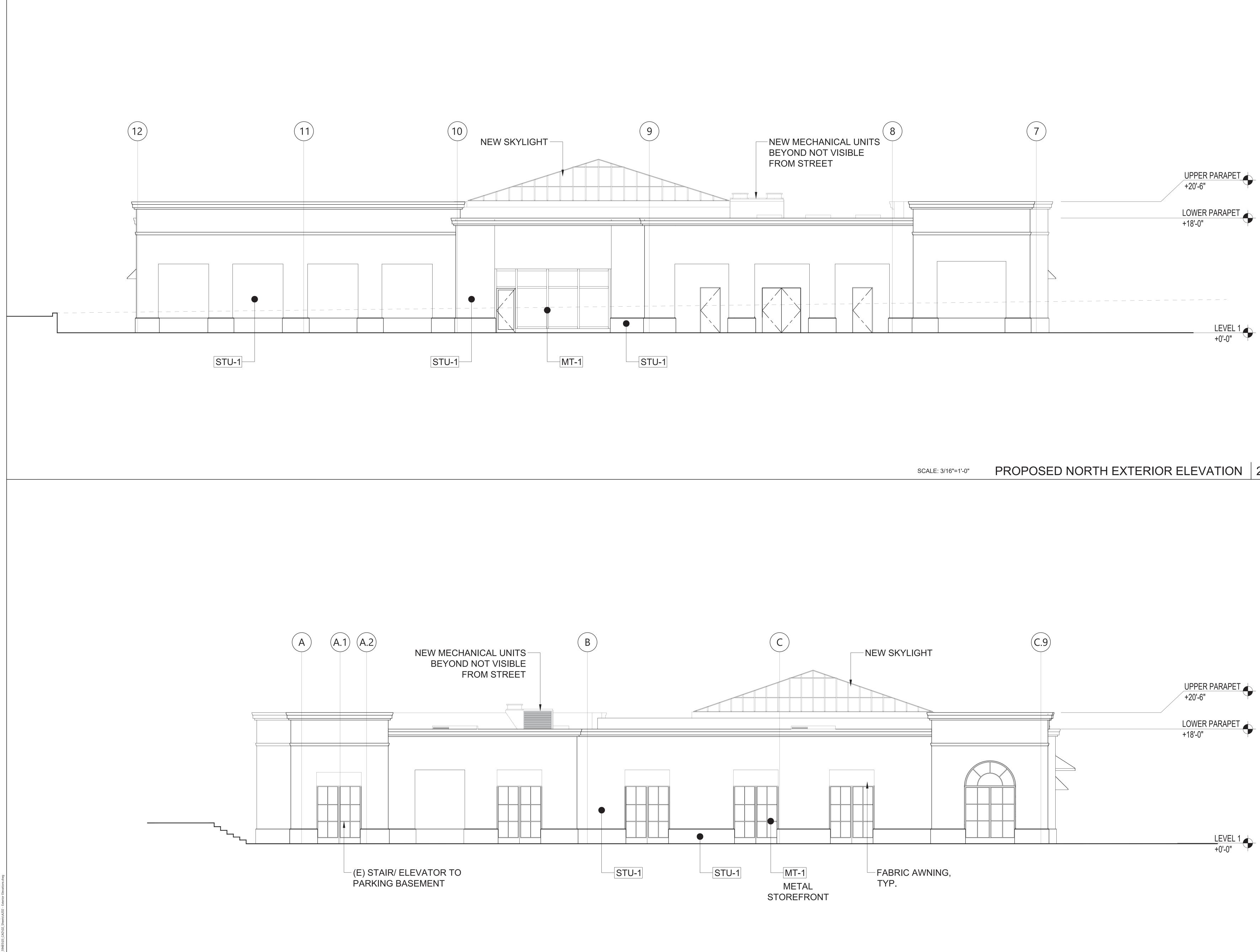
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No. Date Issued/Revised
01 10/18/2024 PRE-APPLICATION PACKAGE
02 11/06/2024 PLANNING SUBMITTAL
03 11/22/2024 100% SCHEMATIC DESIGN
04 01/09/2025 PLANNING SUBMITTAL 2
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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted Drawing Title
EXTERIOR ELEVATIONS
Drawing No.
A201



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PROPOSED NORTH EXTERIOR ELEVATION 2

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originaland unpublis be duplicated,used c	material appearing herein constitute hed work of the Architect and may not or disclosed without written consent of the Architect IBH ARCHITECTS-2024
Project No.	59485
Drawn By:	Brenda B
j .	Rick N
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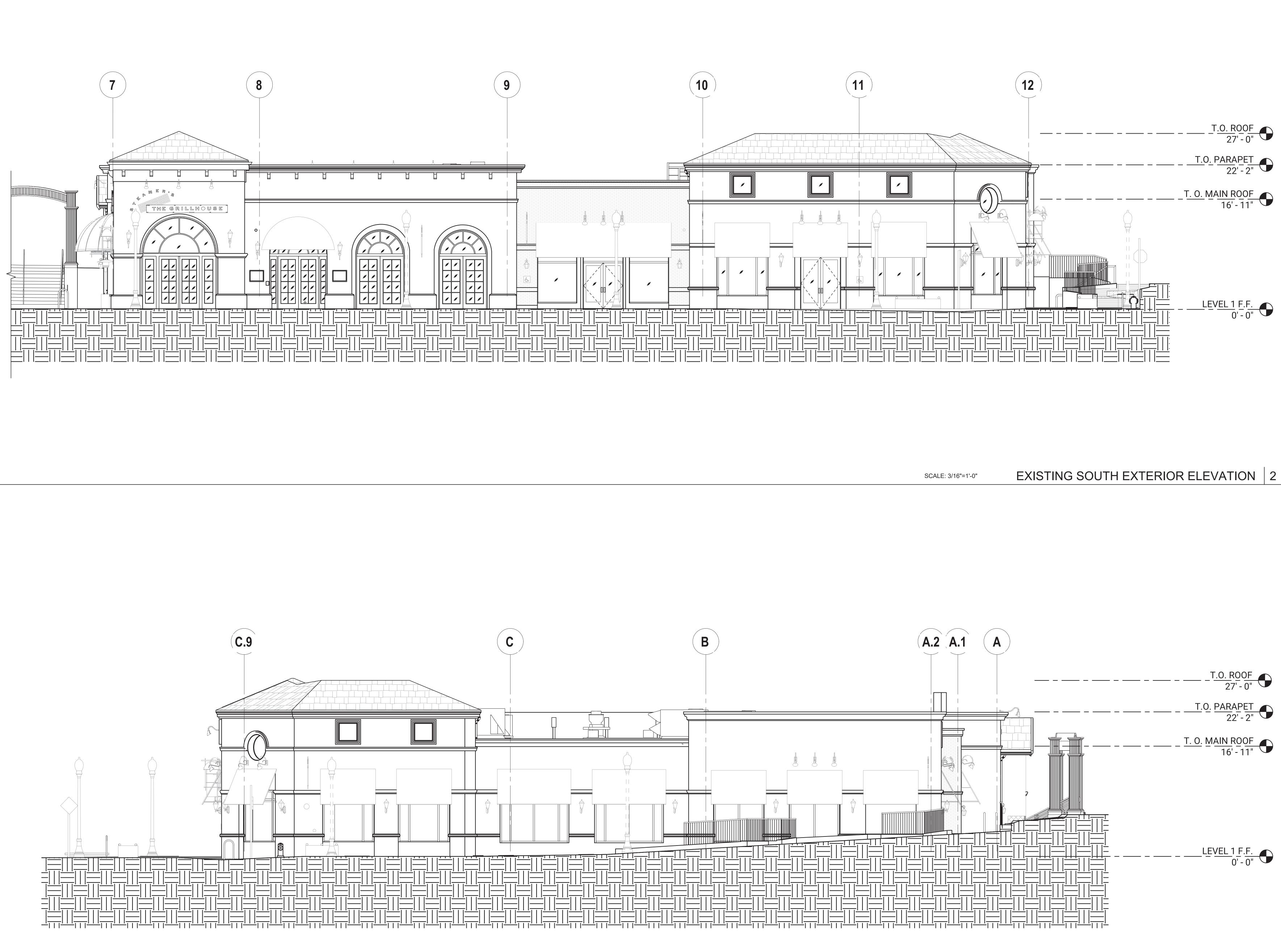
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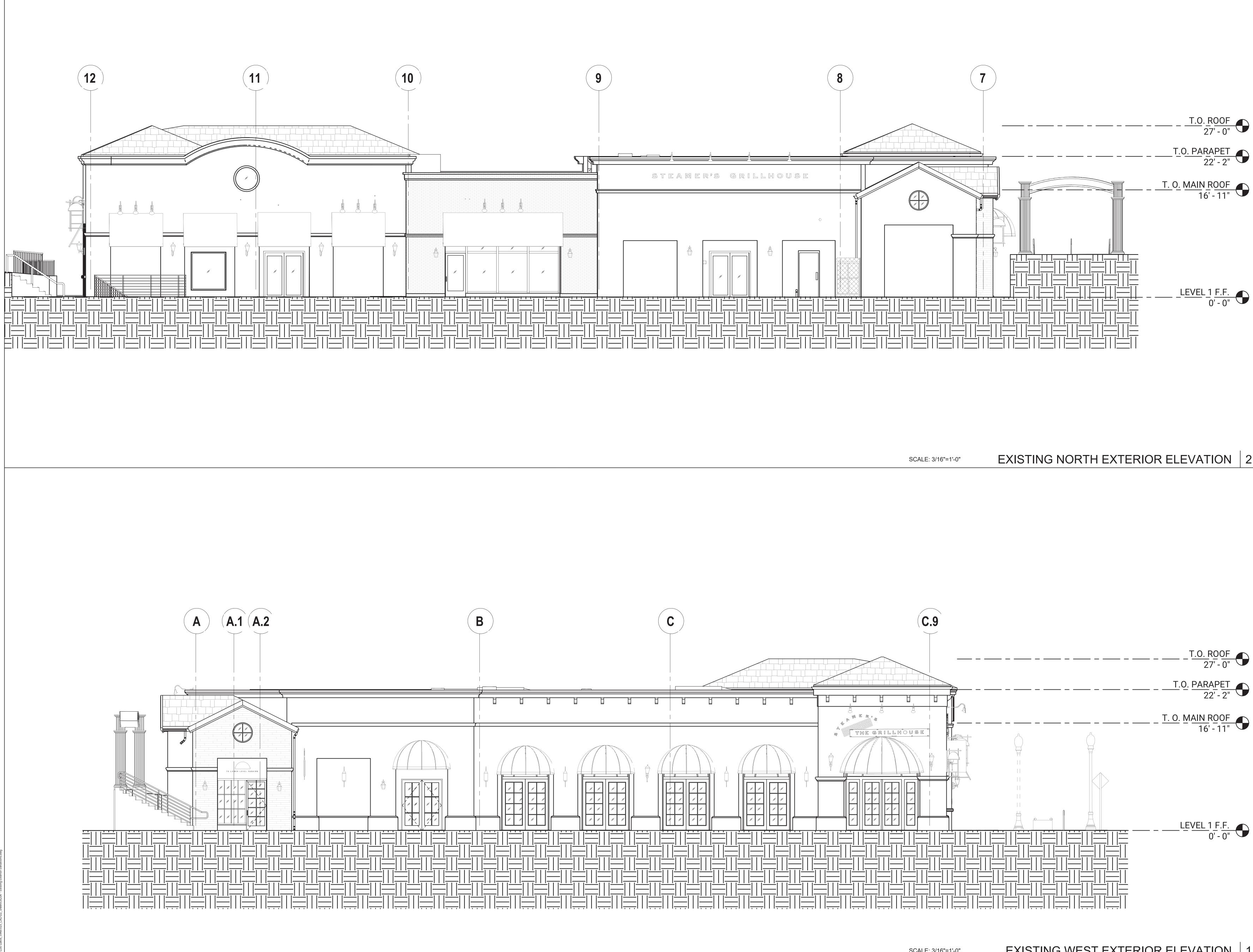




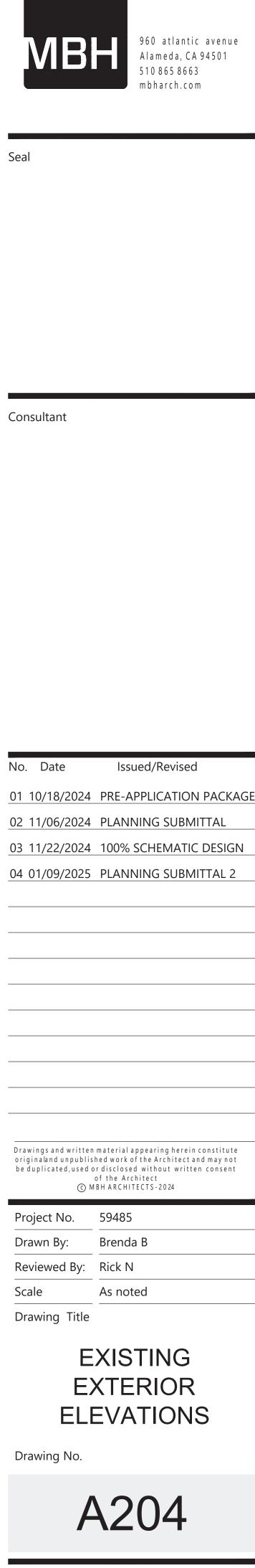
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EXISTING NORTH EXTERIOR ELEVATION 2



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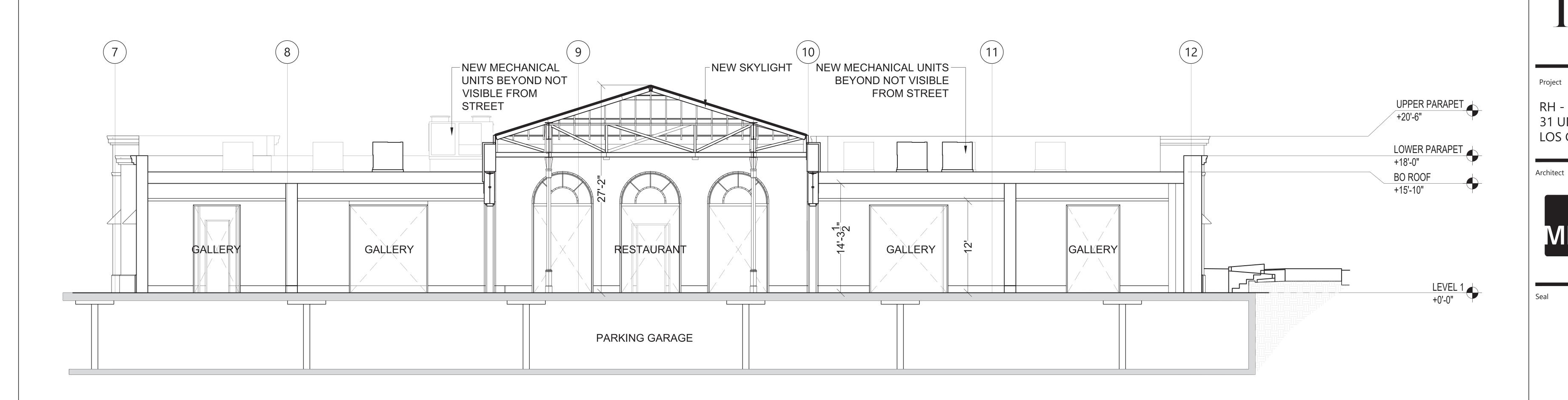
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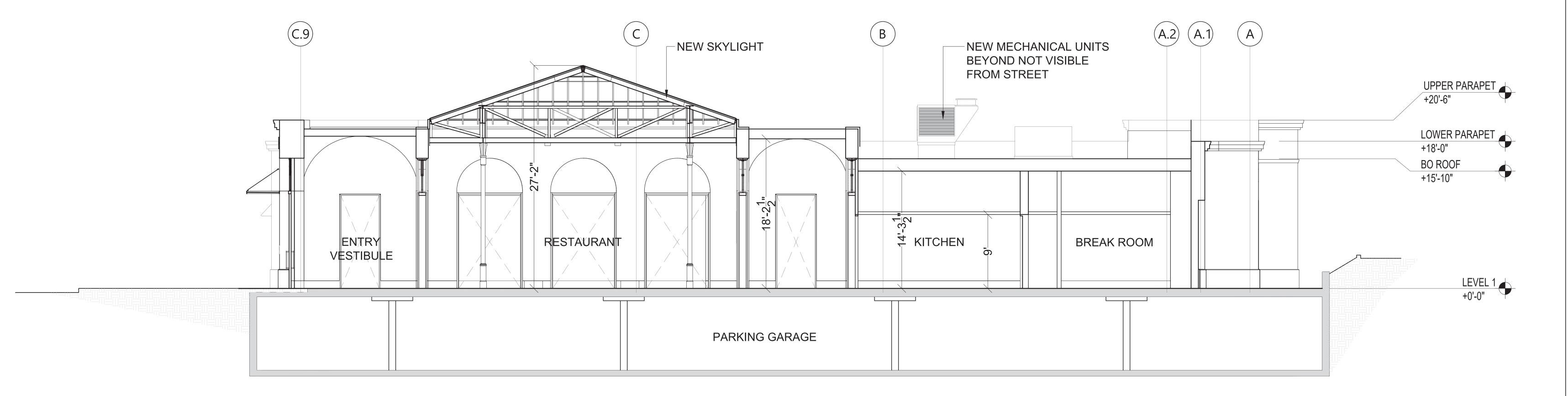
LOS GATOS, CA 95030



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SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION 2

Consultant	
No. Date	Issued/Revised
01 10/18/2024	PRE-APPLICATION PACKAGE
02 11/06/2024	PLANNING SUBMITTAL
03 11/22/2024	100% SCHEMATIC DESIGN
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	
Scale	As noted
Drawing Title	
В	UILDING
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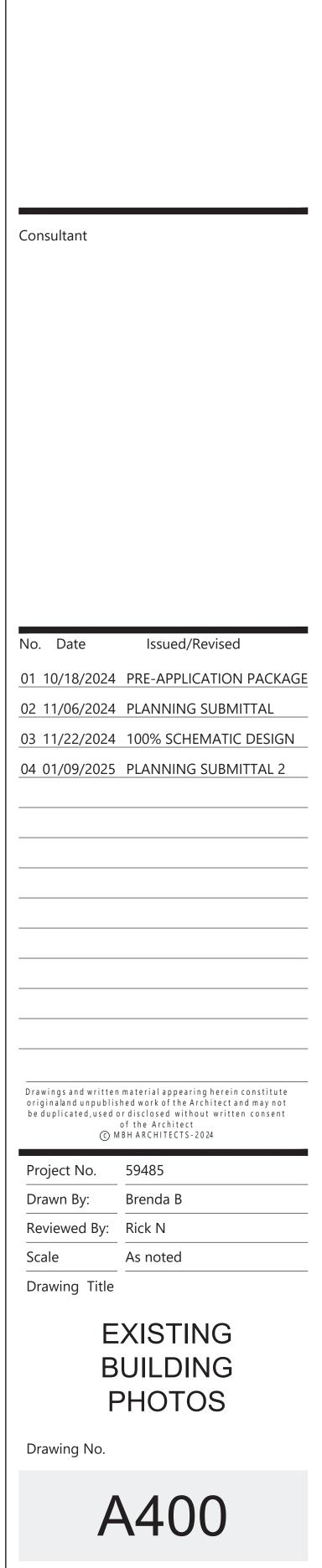
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l Friday January 10, 2025 1:32pm by BrendaB _os Gatos_59485\03_CAD\02_Sheets\A400 - Existing Building.d

8 ⊋ | Page 72 -





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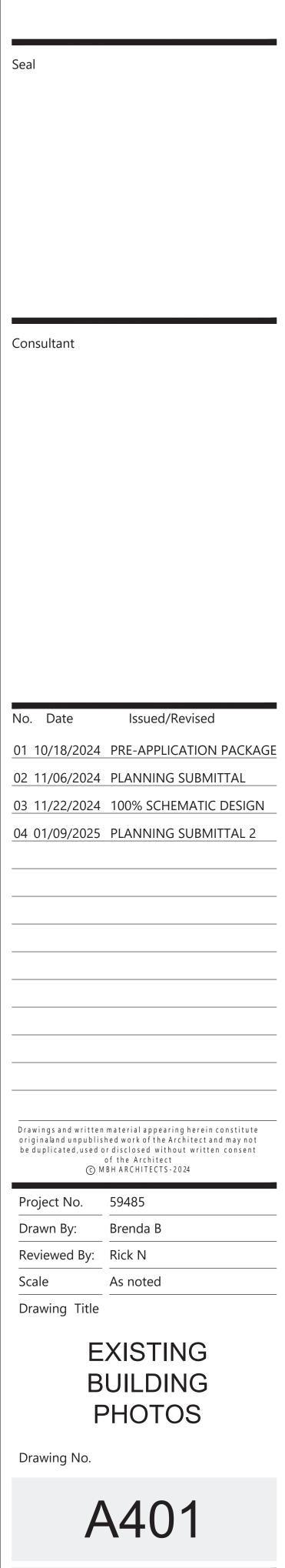


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SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS





Page 75



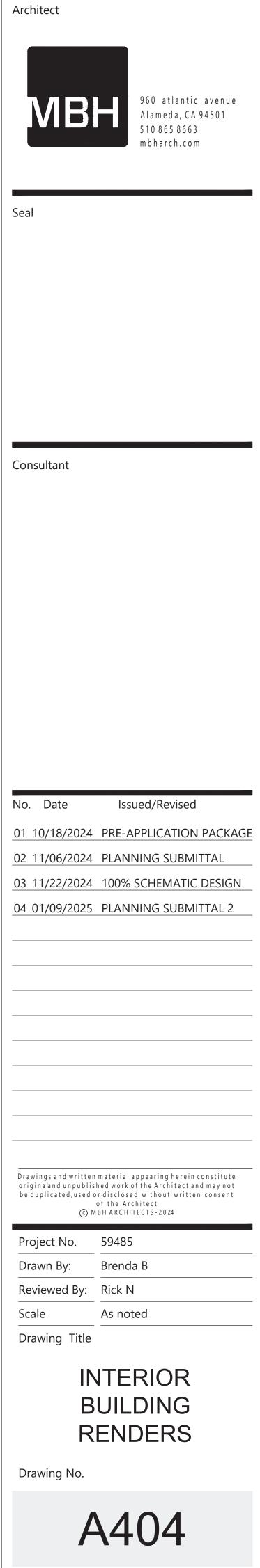








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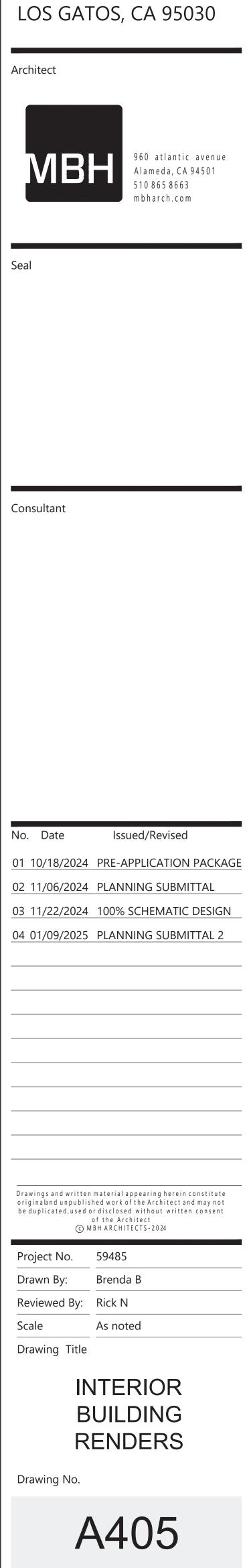
LOS GATOS, CA 95030 Architect

31 UNIVERSITY AVE,

RH - LOS GATOS

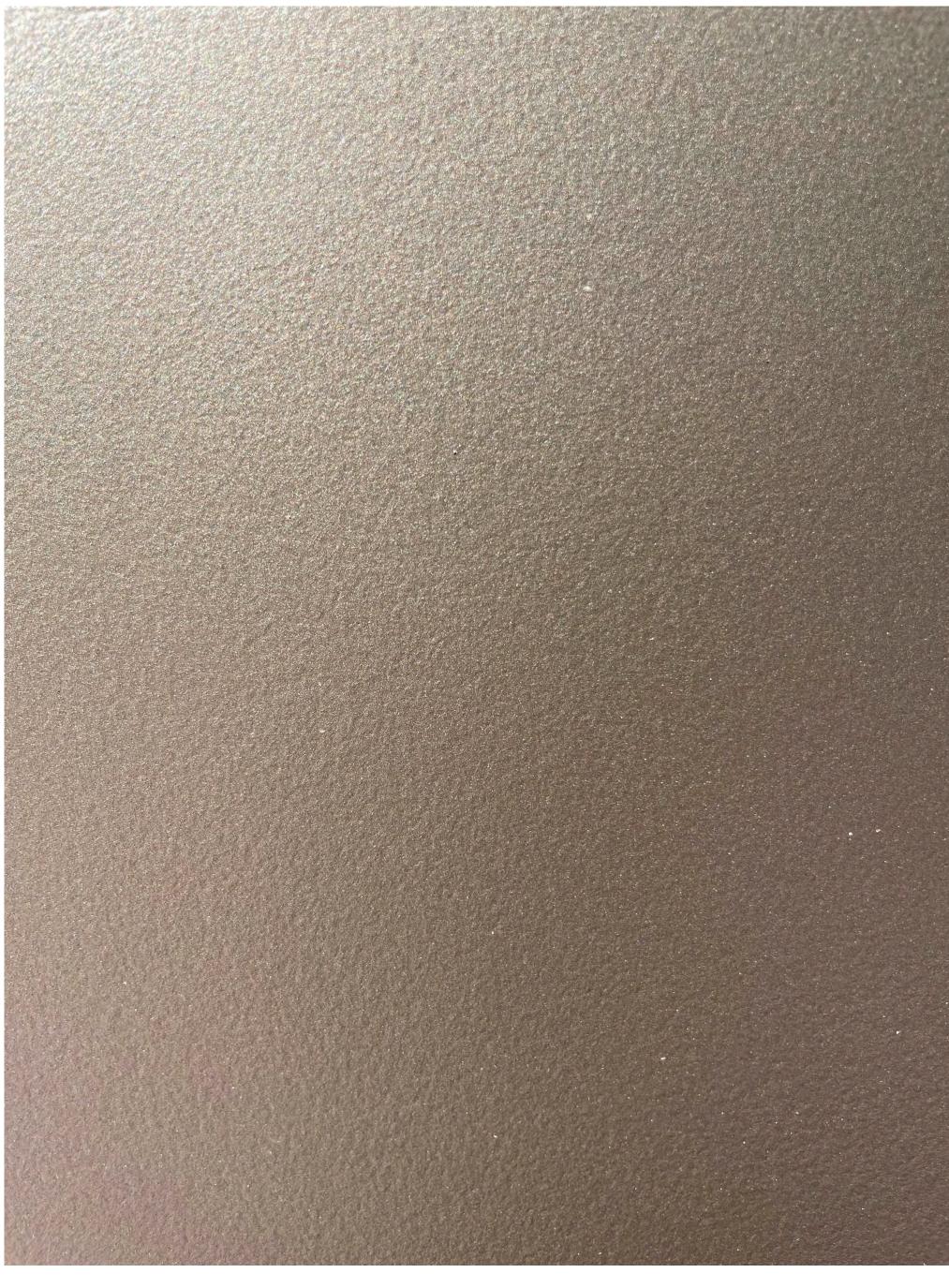
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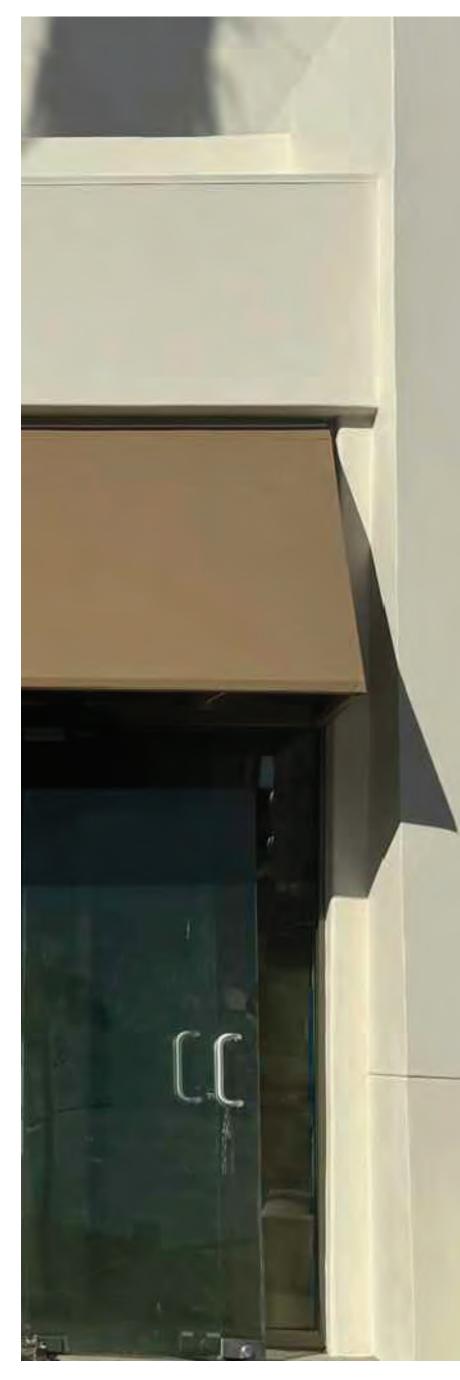
MATERIAL FINISHES



<u>MT-1</u>

METAL FINISH MFR: CREATIVE PAINTS SAN FRANCISCO PAINTED METAL CUSTOM METALLIC PLAINT

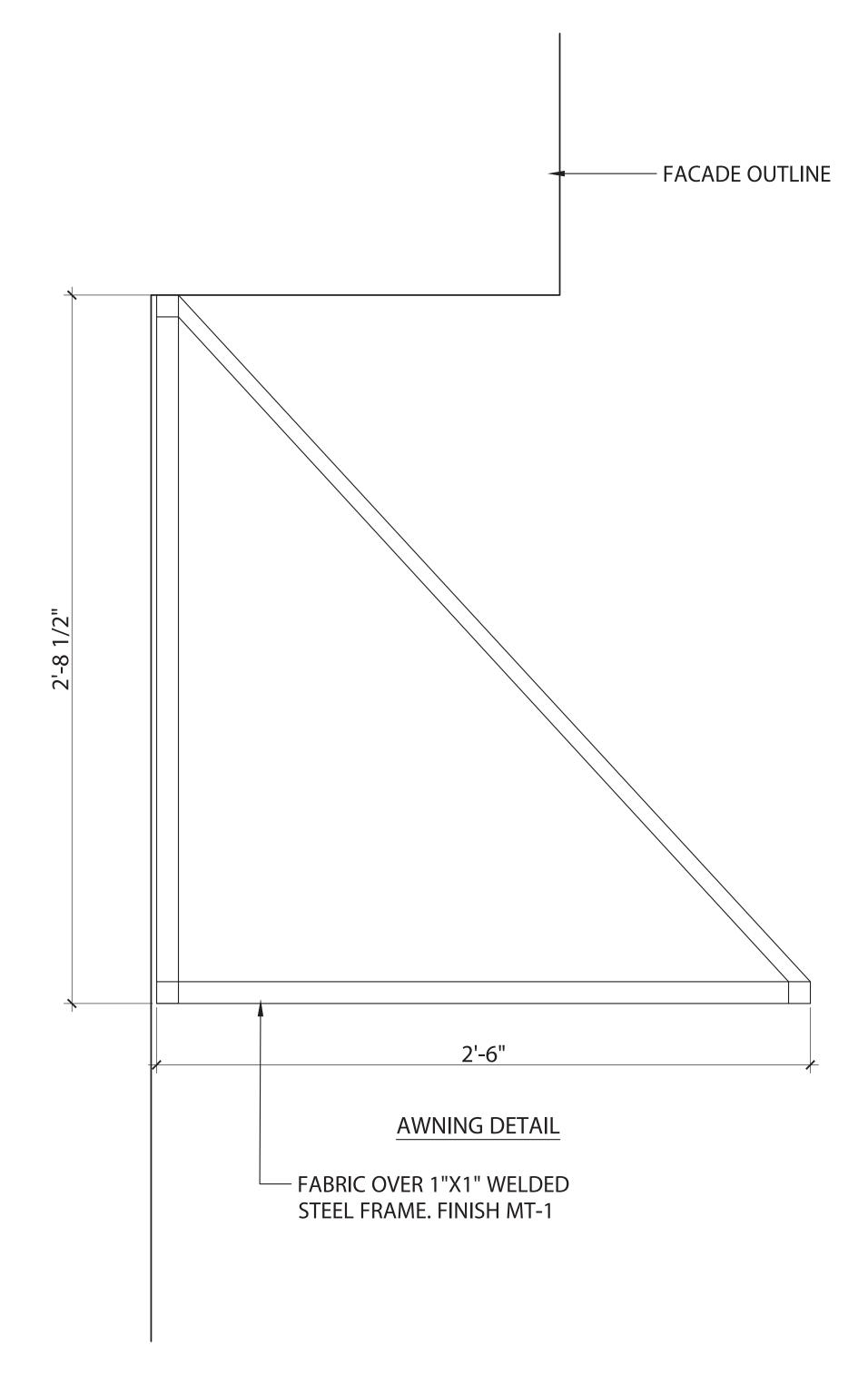


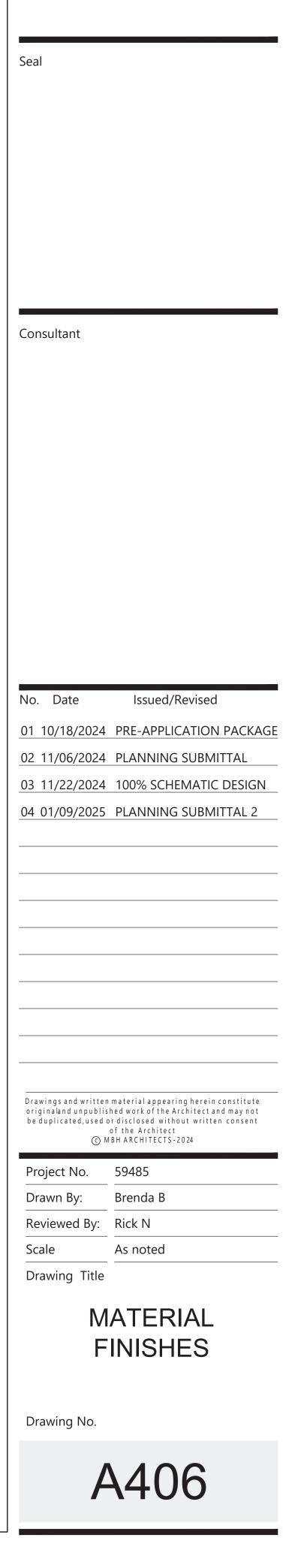


STU-1

FABRIC AWNING

STUCCO SYSTEM MFR: RICK MARS EXTERIOR CLADDING LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER CUSTOM FINISH PER OWNER REQUIREMENTS







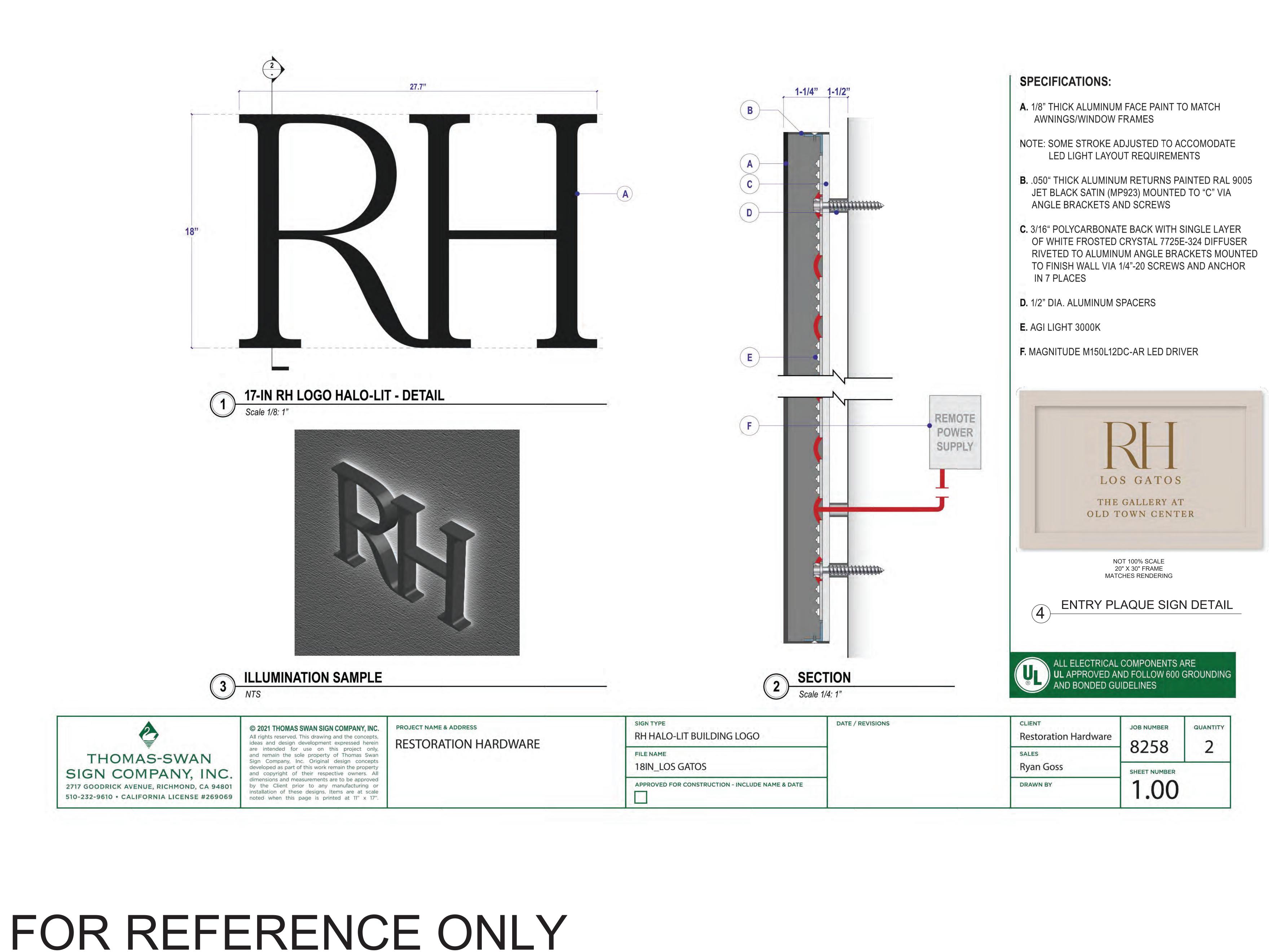
960 atlantic avenue Alameda, CA 94501 510 865 8663 mbharch.com

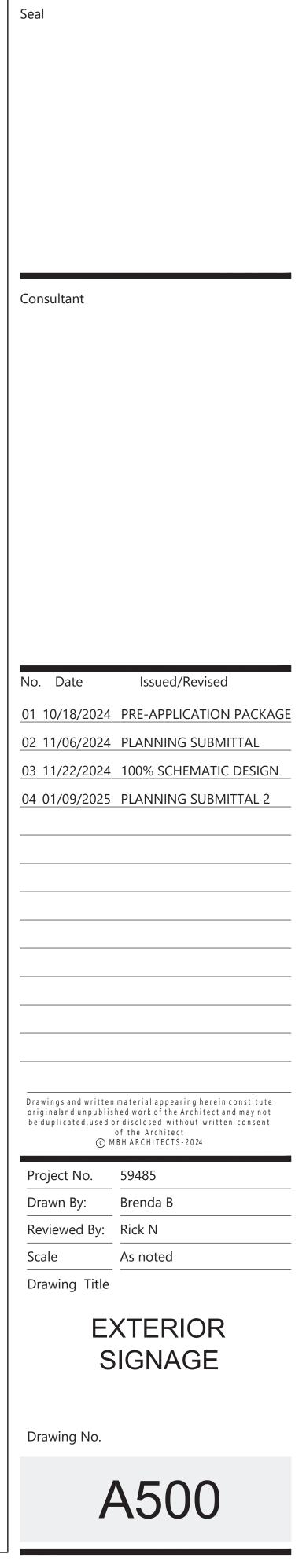
Project

Architect

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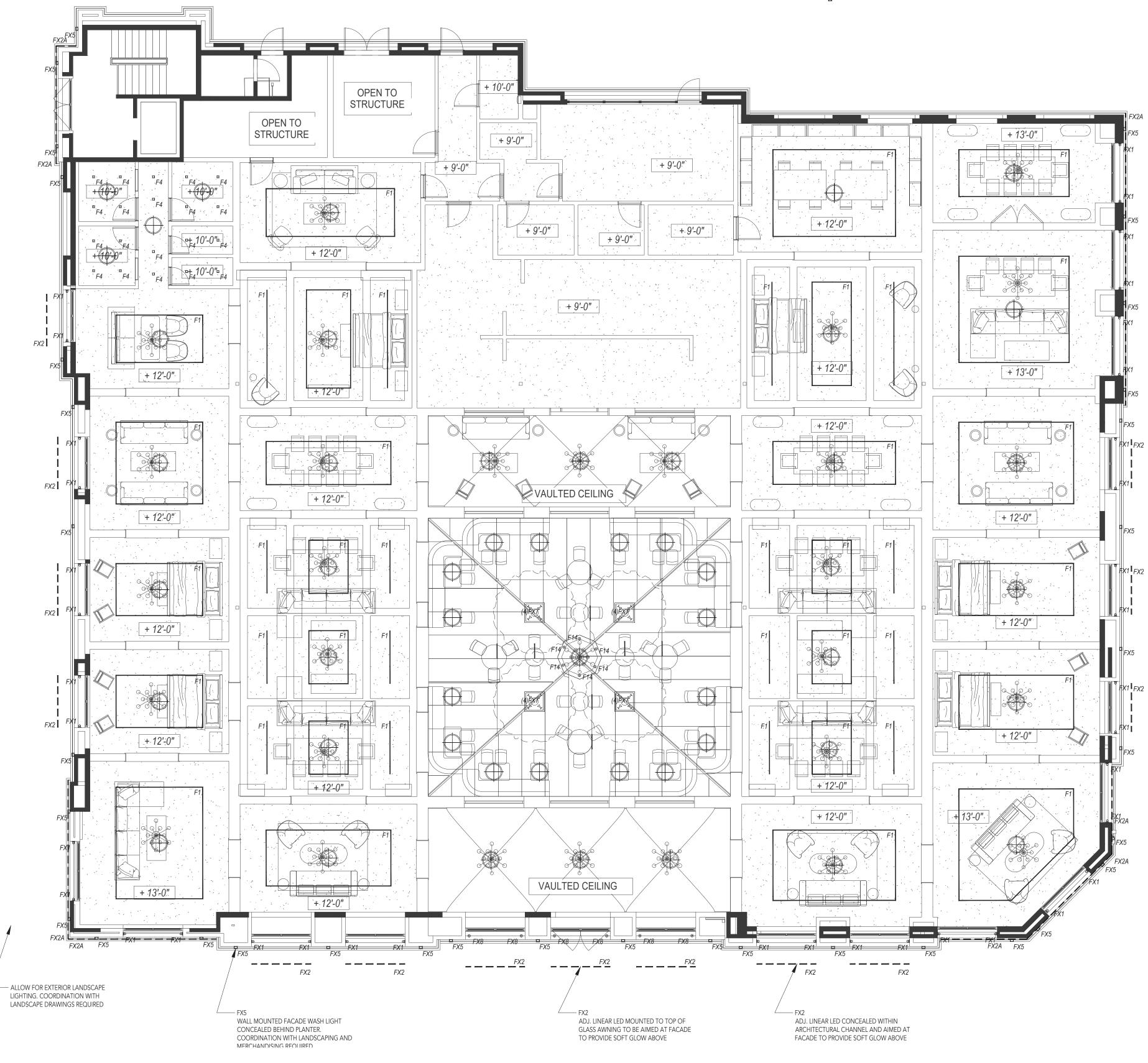
960 atlantic avenue Alameda, CA 94501 5108658663 mbharch.com

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Architect

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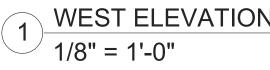


1 EXTERIOR LIGHTING LAYOUT1/8" = 1'-0"

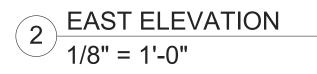
FX5

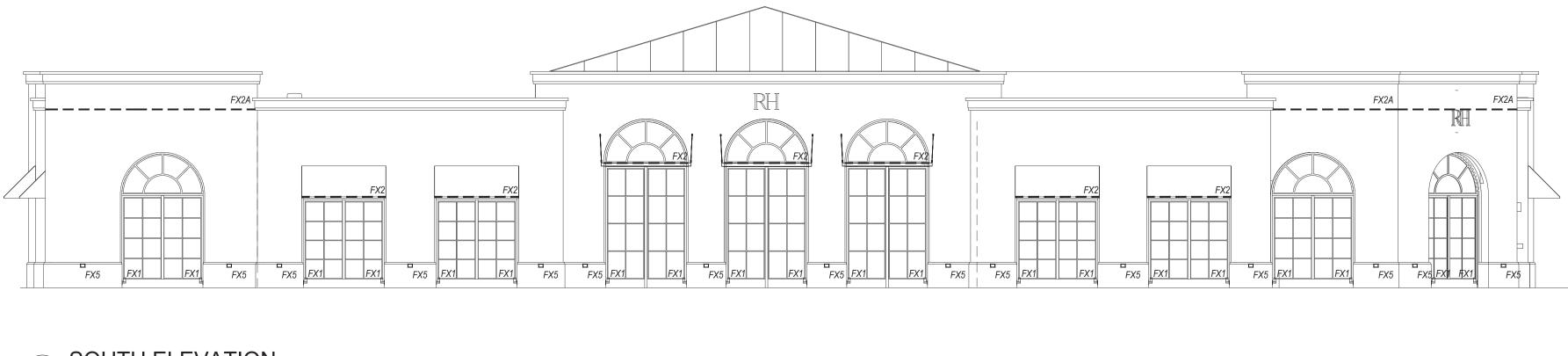
				rkv
				DESIGN
				23823 MALIBU ROAD SUITE 50 - 212
				MALIBU, CA 90265
				www.rkv-design.com +1 310 924 2185
				NOTES FOR GENERAL CONTRACTOR:
				1. General Contractor (GC) and Electrical
				Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors. 2. GC to paint downlight trims to match ceiling
				per architects direction. Ensure trims can be removed after painting and do not stick. 3. GC to furnish and install adequare drainage
				around all direct burial transformers and recessed in-grade light fixtures. 4. GC to notify designer of any conflict with
				mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to
				commencement of work. 5. GC is responsible for notifying designer of any
				inconsistencies between design drawings and other documents. 6. Do not scale drawings.
				GENERAL NOTES:
				1.Lighting Design drawings and dimensions are for design intent only. Coordination with
				Architectural Drawings required. 2.Fixture types and specifications available in accompanying Specification packet.
				3.Calculations for code compliance to be provided by Electrical Engineer.4.Emergency lighting requirements to be
				completed by Electrical Engineer.
				REV. DATE. DESCRIPTION
				10.23.2024 FOR REVIEW 11.22.2024 100% SCHEMATIC DESIGN 01.10.2025 PLANNING REVIEW
[
		TROL SYSTEM SEQUENCE OF OPERA		
BUILDI	NG WIDE SCENE			
LEVELS SCENE	2: RETAIL NIGHT	/ LIGHTING DESIGNER AND APPROVED BY RH. EXTERIC ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND	R LIGHTING TURNS OFF FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET,	
SCENE	3: OVERNIGHT A	MINED BY LIGHTING DESIGNER AND APPROVED BY RH CTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS D OF GALLERY OPENING.	OFF, LIGHTING DESIGNER TO DETERMINE OVERNIGHT	PROJECT:
	4: EVENT ACTIVA	ATES ON-DEMAND DURING OPENING EVENT. LIGHTING	G DESIGNER WILL DETERMINE CUSTOM SETTING	RH LOS GATOS
NOT	TES FOR ZO	NING AND LIGHTING CONTROLS:		35 UNIVERSITY BLVD,
1. 2.		IGHTING TO BE DIMMABLE, INCLUDING ARCHITECTUR "F" TYPE, PER INSTALLATION LOCATION OR CONDITIC		LOS GATOS, CA 95030
	0.0.0			
TYPE F1	SYMBOL	DESCRIPTION SURFACE MOUNTED SINGLE CIRCUIT TRACK	LOCATION RETAIL, THROUGHOUT	DRAWING TITLE:
F2 F4		ADJUSTABLE TRACK HEAD 3" SQUARE RECESSED DOWNLIGHT	RETAIL, THROUGHOUT RESTROOMS, PASSAGES	LIGHTING LAYOUT
F14 FX1	©	WEIGHTED BASE UNDERWATER ACCENT LIGHT	CAFE CENTRAL FOUNTAIN FACADE, DOOR AND WINDOW JAMBS	
FX2 FX2A	 	SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE AWNINGS FACADE, CORNICE	SHEET:
FX5		WALL MOUNTED FACADE WASH LIGHT	FACADE	
FX7 FX8	©	STAKE MOUNTED TREE UPLIGHT GRADE RECESSED UPLIGHT	CAFE TREES MAIN ENTRY DOOR JAMBS	LT-1.0













	DESIGN
	23823 MALIBU ROAD SUITE 50 - 212
	MALIBU, CA 90265
	www.rkv-design.com
	+1 310 924 2185
	NOTES FOR GENERAL CONTRACTOR:
	1. General Contractor (GC) and Electrical Contractor (EC) will be responsible for
	verification of all dimensions, specifications and coordination with related trades and
	subcontractors. 2. GC to paint downlight trims to match ceiling
	per architects direction. Ensure trims can be removed after painting and do not stick.
	3. GC to furnish and install adequare drainage around all direct burial transformers and
	recessed in-grade light fixtures. 4. GC to notify designer of any conflict with
	mechanical, electrical, plumbing, HVAC or structural presence or any conflicting
	dimensions or site conditions prior to commencement of work.
	5. GC is responsible for notifying designer of any inconsistencies between design drawings and
	other documents. 6. Do not scale drawings.
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	1.Lighting Design drawings and dimensions are for design intent only. Coordination with
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	REV. DATE. DESCRIPTION
	10.23.2024 FOR REVIEW
	11.22.2024 100% SCHEMATIC DESIGN 01.10.2025 PLANNING REVIEW
ME CLOCK SCHEDULE.	
SHTING TURNS ON AT PRESET, DIMMED	
G TURNS OFF	
TING DESIGNER TO DETERMINE OVERNIGHT	PROJECT:
R WILL DETERMINE CUSTOM SETTING	RH LOS GATOS
	35 UNIVERSITY BLVD, LOS GATOS, CA 95030
ECORATIVE (MERCHANDISE) LIGHTING. S OTHERWISE NOTED ON DRAWINGS).	
UTTERVISE NOTED ON DRAWINGS).	
	DRAWING TITLE:
THROUGHOUT	LIGHTING
DMS, PASSAGES	ELEVATIONS
, DOOR AND WINDOW JAMBS	
AWNINGS	SHEET:
, CORNICE	LT-2.0
EES	
ITRY DOOR JAMBS	

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK

BUILDING WIDE SCENE DESCRIPTIONS SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. INTERIOR LIGHTING TU LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS C

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF, LIGHTING DESIG SETTING ON SITE AHEAD OF GALLERY OPENING.

SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DE APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

1. ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIV 2. ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERV

LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION	
F1		SURFACE MOUNTED SINGLE CIRCUIT TRACK	RETAIL, THROUGHC
F2	⊳	ADJUSTABLE TRACK HEAD	RETAIL, THROUGHC
F4	п	3" SQUARE RECESSED DOWNLIGHT	RESTROOMS, PASSA
F14	۲	WEIGHTED BASE UNDERWATER ACCENT LIGHT	CAFE CENTRAL FOU
FX1	a	JAMB MOUNTED ACCENT LIGHT	FACADE, DOOR AN
FX2		SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE AWNINGS
FX2A		SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE, CORNICE
FX5		WALL MOUNTED FACADE WASH LIGHT	FACADE
FX7	4	STAKE MOUNTED TREE UPLIGHT	CAFE TREES
FX8	۲	GRADE RECESSED UPLIGHT	MAIN ENTRY DOOR
	•	·	

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DATE:	March 21, 2025
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 16488 Bonnie Lane . APN 532-02-014. Minor Residential Development Application MR-24- 007. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

BACKGROUND:

On April 24, 2024, the Committee considered the proposal and continued the item with the following direction to the applicant (Attachment 9):

- Revise the floor plan on the proposed second-floor addition specifically, the angled exterior walls on the master bath to make the design compatible to the existing residence;
- Revise the angle of the roof line; and
- Revise the extent of the deck to eliminate visual weight on the design.

On May 22, 2024, the Committee considered the requested changes and recommended approval to the Community Development Director with a condition that the replacement windows be fiberglass clad wood windows (Attachment 10 and 11).

DISCUSSION:

On November 25, 2024, the applicant submitted development plans to continue the Minor Residential Development application review process. During the planning review phase of the application, it was noted that new changes to the plans were introduced that were not originally considered by the Committee. The item is returning to the Committee for consideration and a recommendation to the Community Development Director. The revised plans are found in Attachment 13. Below is a summary of the applicant's proposed changes to the plans:

PREPARED BY:

Maria Chavarin Assistant Planner PAGE **2** OF **3** SUBJECT: 16488 Bonnie Lane/MR-24-007 DATE: March 21, 2025

- Removal of the existing front entry stairway with side access to Bonnie Lane;
- Construction of a new front entry stairway, including new wood railings and square wood columns with stucco bases, on the north elevation;
- Expansion of the proposed second-floor footprint on the east, south and west elevations;
- Addition of three windows on the second-floor east and west elevations;
- Addition of a new sliding glass door on the first floor on the east elevation;
- Removal of the proposed windows on the first floor of the south elevation addition; and
- Addition of a new door on the first floor of the south elevation addition

The applicant submitted a Letter of Justification providing the reasons for modifying the footprint of the second-story floor plan (Attachment 12). The applicant's Letter of Justification states, "We feel that the end of the master bathroom looks like two small dormers. We changed the design to make the house look more proportional."

At the May 22, 2024, Historic Preservation Committee meeting, the Committee recommended approval to Community Development Director with a condition that the replacement of windows be fiberglass clad wood windows (Attachment 10). The applicant is requesting consideration that the proposed windows be modified to a full fiberglass product rather than the previously approved fiberglass clad wood windows.

The Residential Design Guidelines provides the following recommendations related to window materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

• Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

4.8.2 Building Materials

• Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

PAGE **3** OF **3** SUBJECT: 16488 Bonnie Lane/MR-24-007 DATE: March 21, 2025

4.8.4 Windows and Glass in doors

 Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

CONCLUSION:

The applicant is requesting consideration and recommendation for construction of a secondstory addition exceeding 100 square feet and exterior alterations to an existing pre-1941 singlefamily residence on property zoned R-1:8. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development application process. The project would not return to the Committee.

ATTACHMENTS:

Previously received with the April 24, 2024, Staff Report:

- 1. Anne Bloomfield Survey
- 2. Town Records
- 3. Applicant's Submittal Packet
- 4. Property Pictures
- 5. Development Plans
- 6. Section 3.9, Residential Design Guidelines

Previously received with the May 22, 2024, Staff Report:

- 7. Response Letter
- 8. Development Plans

Received with this Staff Report:

- 9. HPC Action Letter, April 24, 2024
- 10. HPC Action Letter, May 22, 2024
- 11. Development Plans Approved by HPC on May 22, 2024
- 12. Letter of Justification
- 13. Revised Development Plans

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

April 30, 2024

Vu-Ngan Tran 16488 Bonnie Lane Los Gatos, CA 95032 Via email

RE: <u>16488 Bonnie Lane</u>

Minor Residential Application MR-24-007

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-02-014. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities.

PROPERTY OWNER/APPLICANT: Vu-Ngan Tran PROJECT PLANNER: Maria Chavarin

On April 24, 2024, the Los Gatos Historic Preservation Committee discussed the item and recommended that the applicant:

- Revise the floor plan on the proposed second-floor addition specifically the walls on the master bath to make the design compatible to the existing residence.
- Revise the angle of the roof line.
- Revise the extent of the deck.

If you have any questions, I can be contacted by phone at (408) 354-6807 or by email at <u>mchavarin@losgatosca.gov</u>.

Sincerely,

Maria Chavarin

Maria Chavarin Assistant Planner

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

May 23, 2024

Vu-Ngan Tran 16488 Bonnie Lane Los Gatos, CA 95032 Via email

RE: <u>16488 Bonnie Lane</u>

Minor Residential Development Application MR-24-007

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-02-014.Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities.

PROPERTY OWNER/APPLICANT: Vu-Ngan Tran PROJECT PLANNER: Maria Chavarin

On May 22,2024, the Los Gatos Historic Preservation Committee recommended approval of the above request to the Community Development Director with a condition that the replacement windows be fiberglass clad wood windows.

If you have any questions, I can be contacted by phone at (408) 354-6807 or by email at <u>mchavarin@losgatosca.gov</u>.

Sincerely,

Maria Chavarin

Maria Chavarin Assistant Planner

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GENERAL NOTES

- 1 ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CEC) 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) 2022 CALIFORNIA FIRE CODE (CFC) AND ALL LOCAL CODES AND ORDINANCES
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- 3 MECHANICAL ELECTRICAL AND FIRE PROTECTION CONTRACT DOCUMENTS AND ALL OTHER DESIGN-BUILD CONTRACT DOCUMENTS NOT INCLUDED HEREIN SHALL BE SUBMITTED TO THE TOWN OF LOS GATOS FOR SEPARATE PERMITS
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- 5 DO NOT SCALE DIMENSION GOVERN
- 6 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD (UNO)
- 7 EXTERIOR DIMENSIONS ARE TO FACE OF PLYWOOD (UNO)

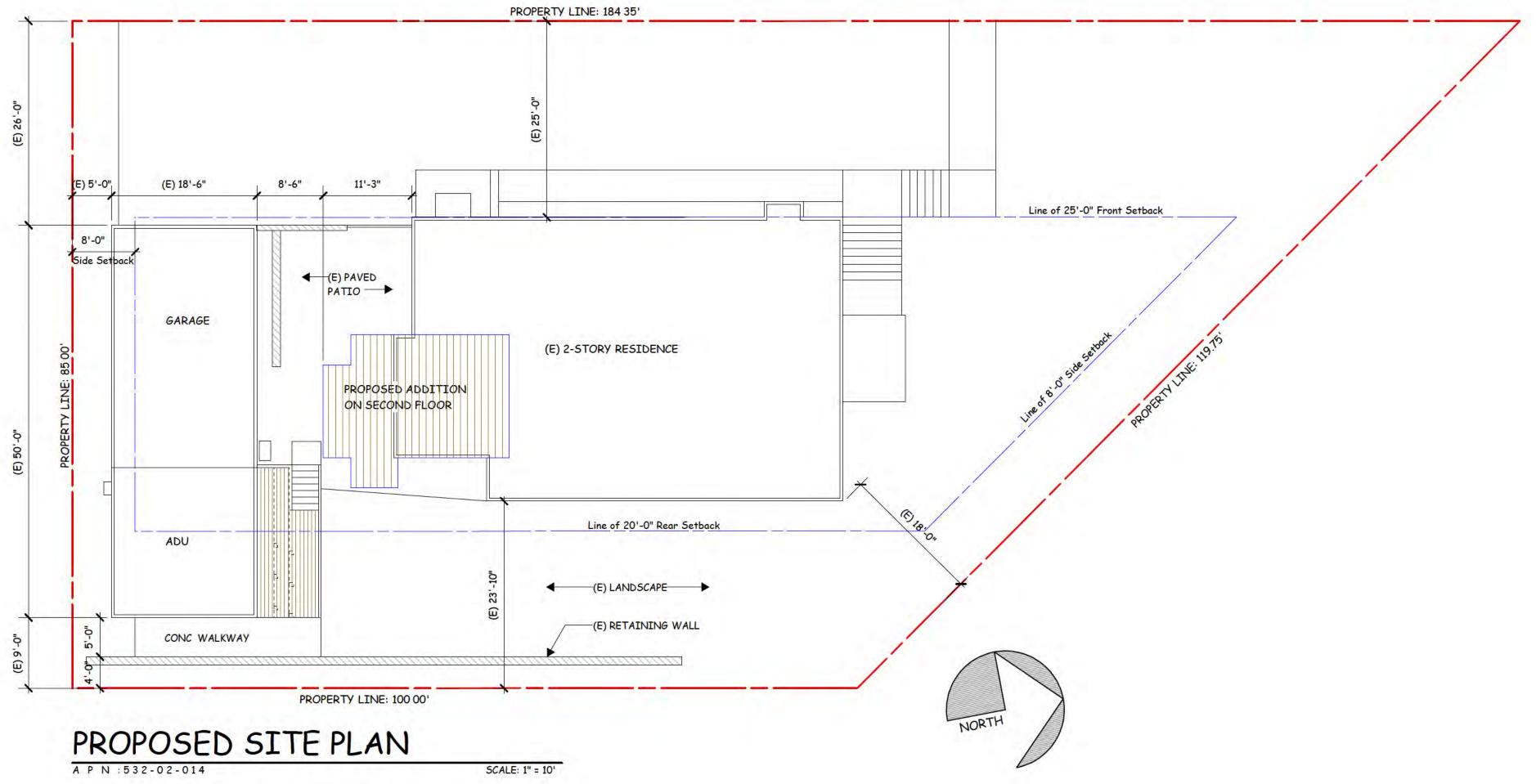
(1)	INDEX
A-1	COVER SHEET
A-1.1	EXISTING and PROPOSED SITE PLAN
A-2	EXISING FIRST FLOOR PLAN.
A-2.1	PROPOSED FIRST FLOOR PLAN.
A-3	EXISING SECOND FLOOR PLAN.
A-3.1	PROPOSED SECOND FLOOR PLAN.
A-4	EXISTING ROOF PLAN
A-4.1	PROPOSED ROOF PLAN
A-5	EXISTING EXTERIOR EXTERIOR ELEVATIONS
A-5.1	PROPOSED EXTERIOR EXTERIOR ELEVATIONS

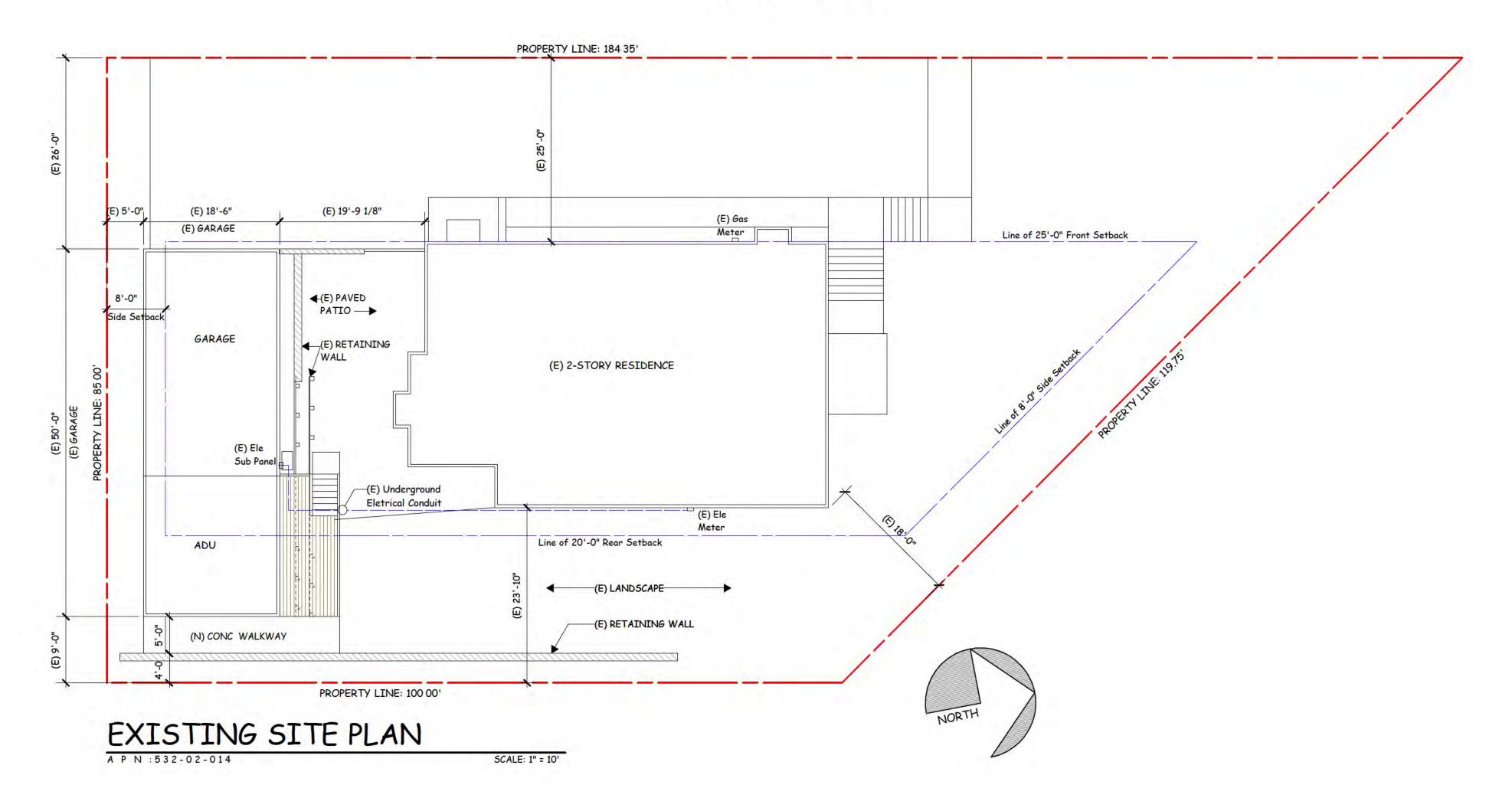
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		PROPOSED REMODLE AND ADDITION FOR : RESIDENCE 16448 BONNIE LANE, LOS GATOS, CALIFORNIA
SCOPE OF WORK		DATE: May. 1st, 2024
1- SECOND FLOOR ADDITION 2-REMODEL KITCHEN LIVING & DINING 3-NEW BALCONY		SCALE: AS NOTED DRAWN: DongTNP JOB: SHEET A-1 OF 10 SHEETS ATTACHMENT 8

ATTACHMENT 11 ATTACHMENT 8







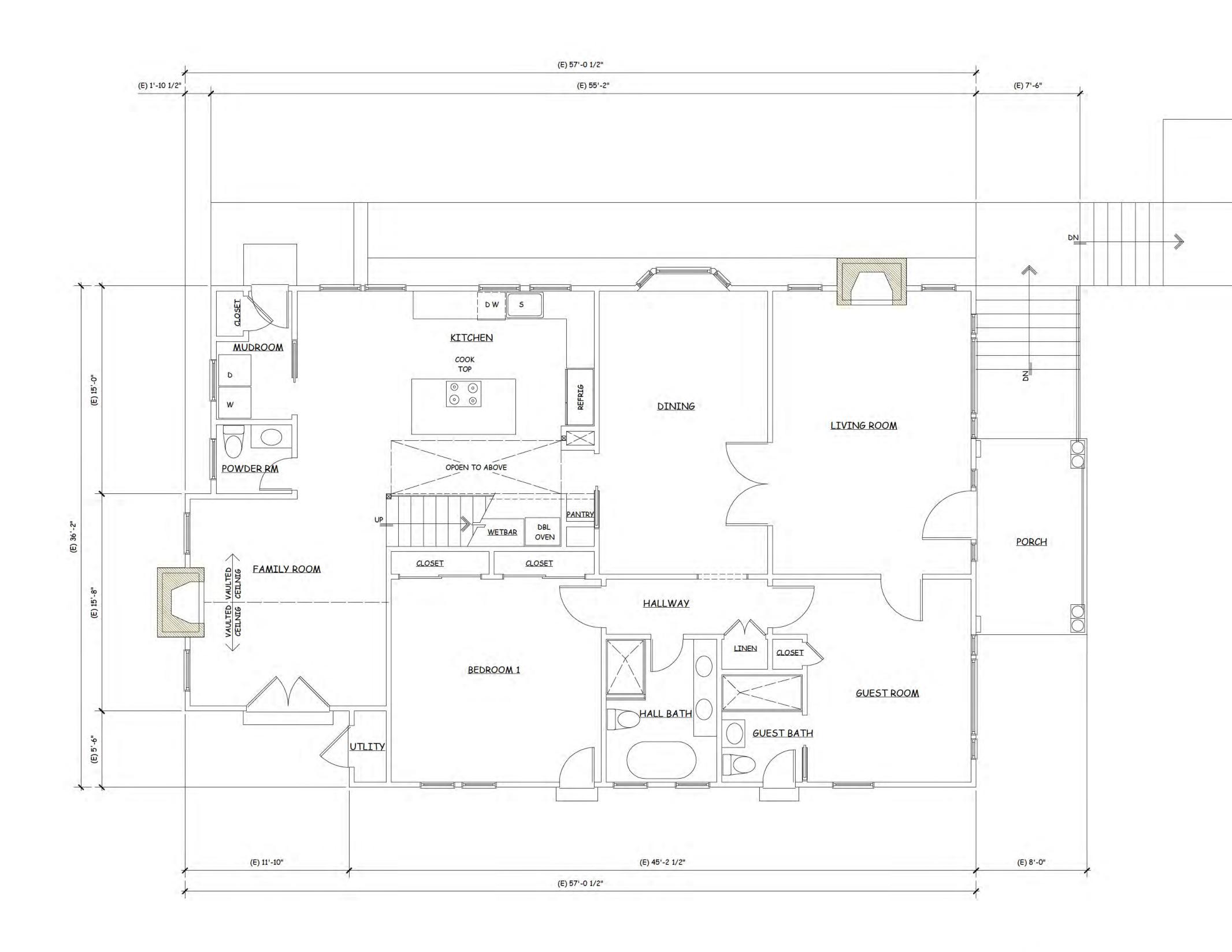


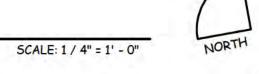




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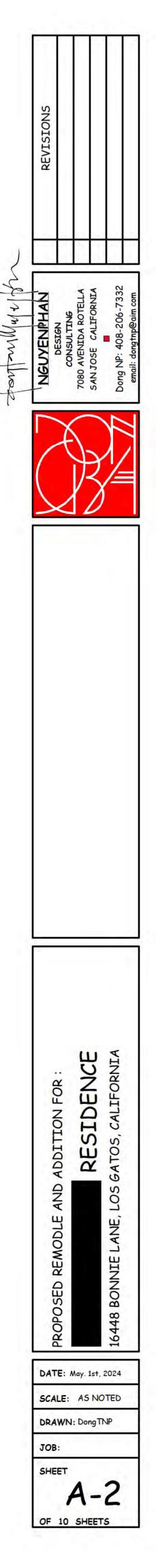




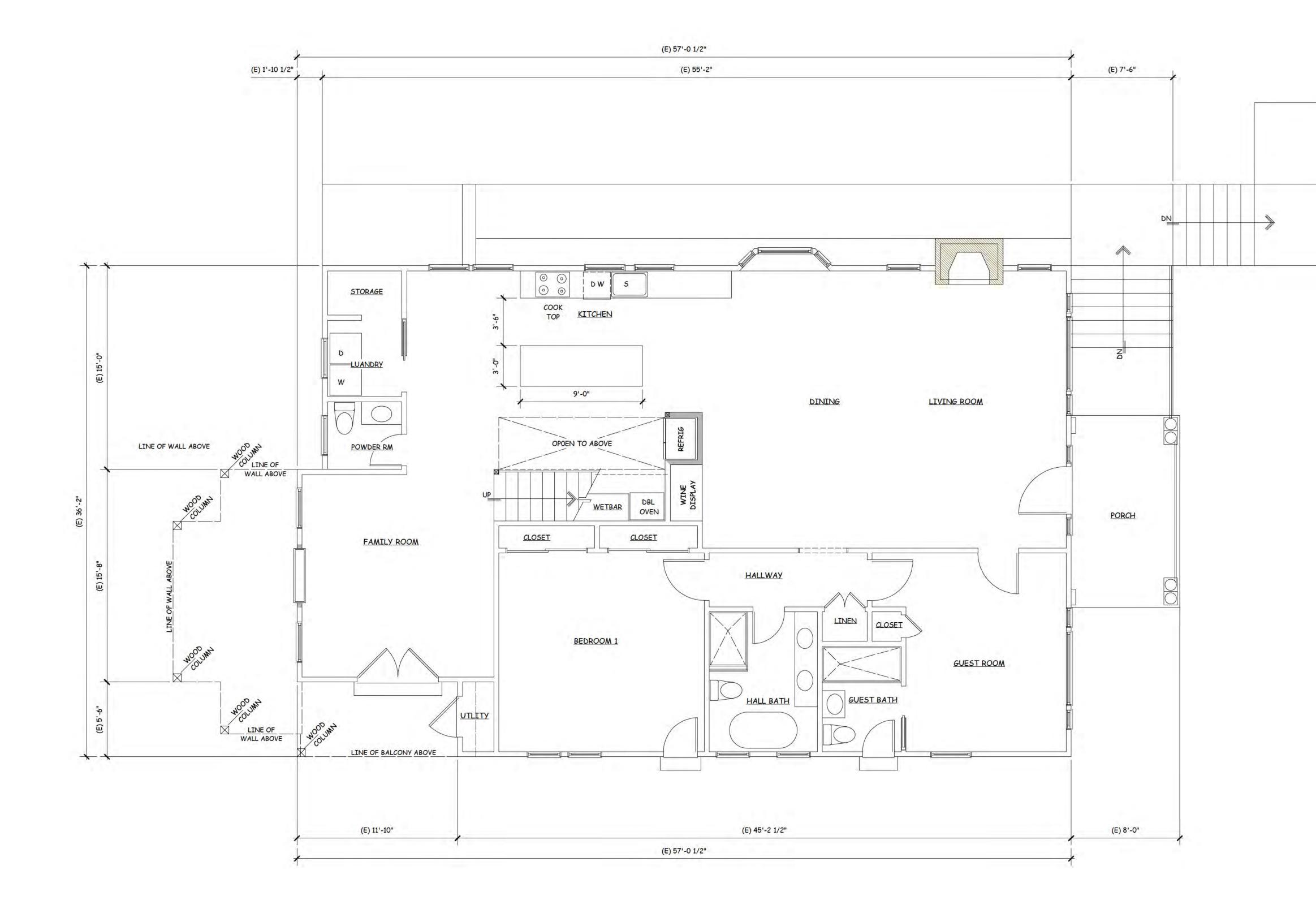


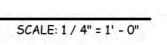
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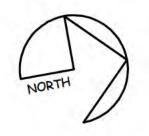
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PROPOSED FIRST FLOOR PLAN



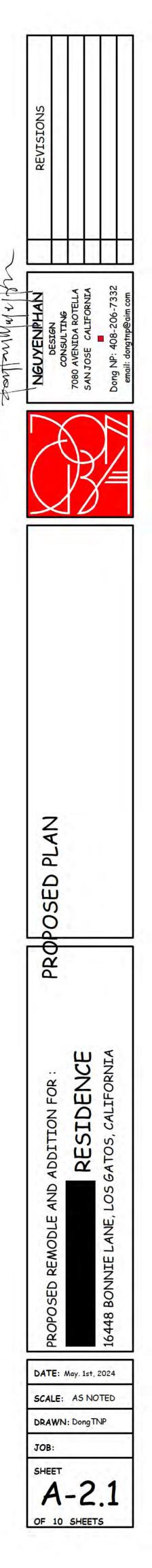


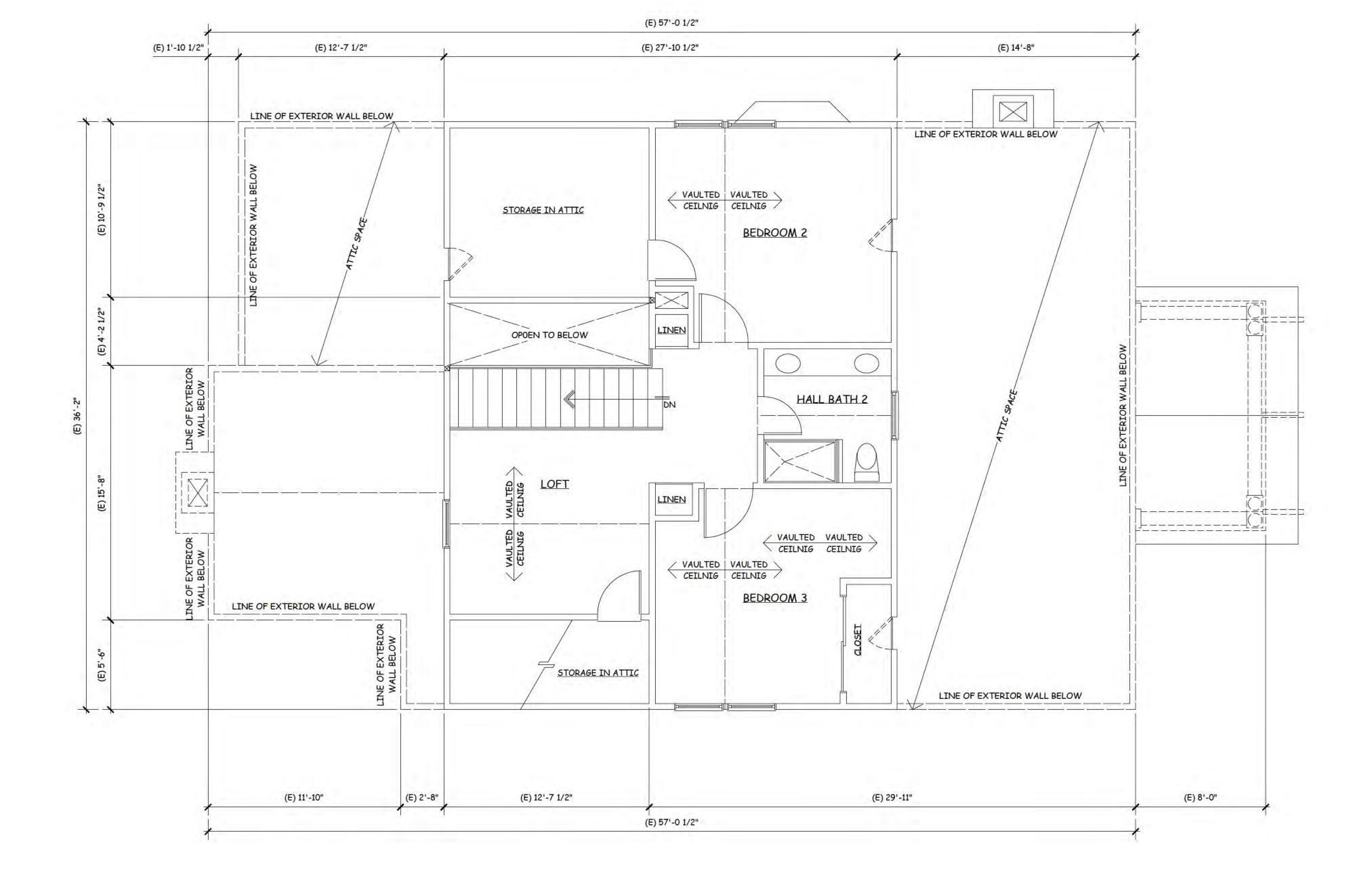


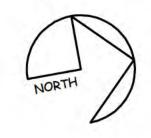
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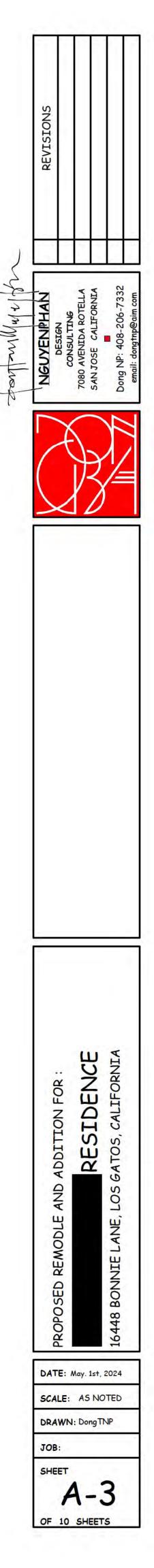


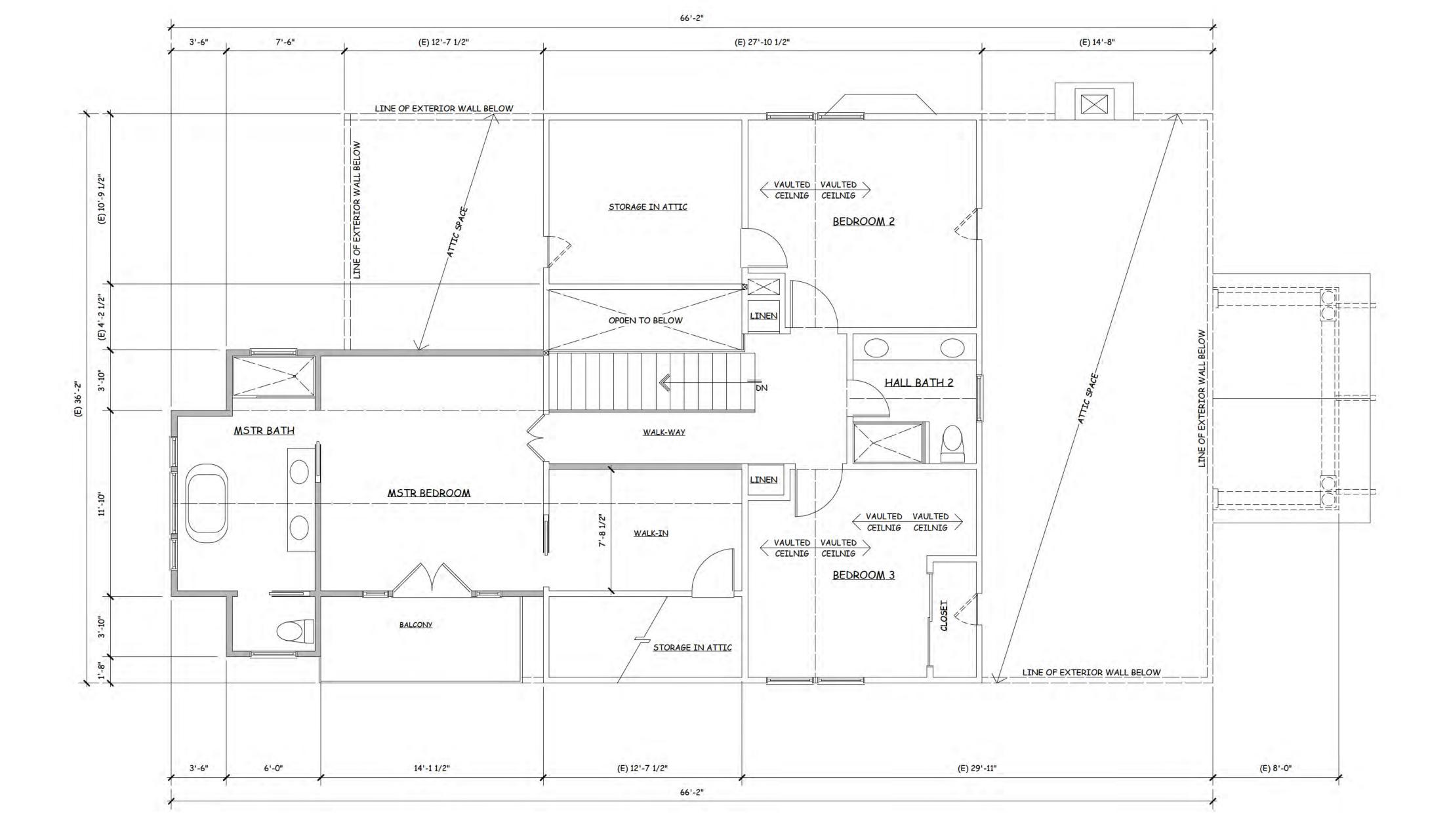


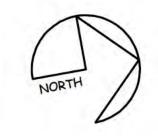
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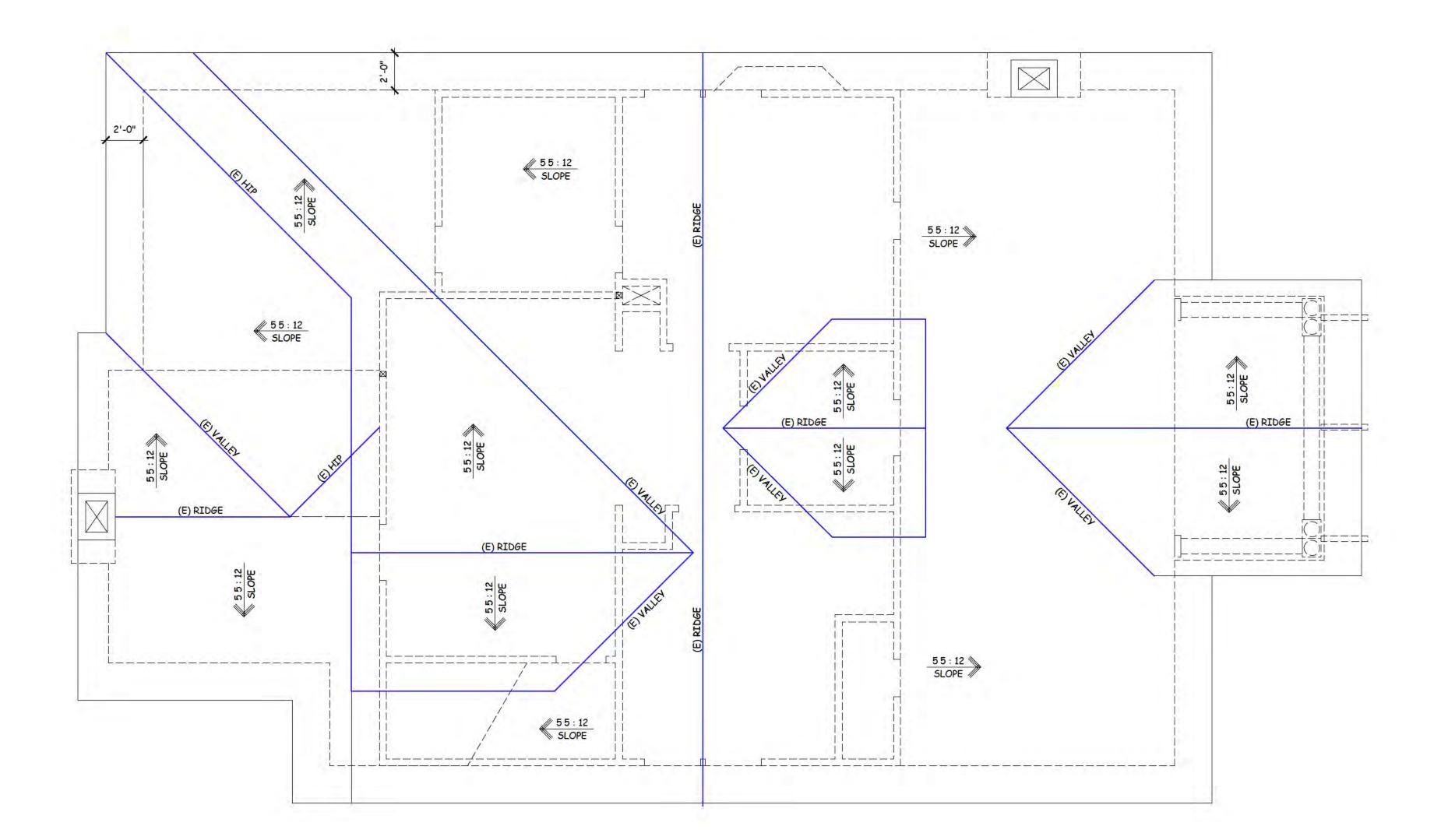


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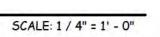
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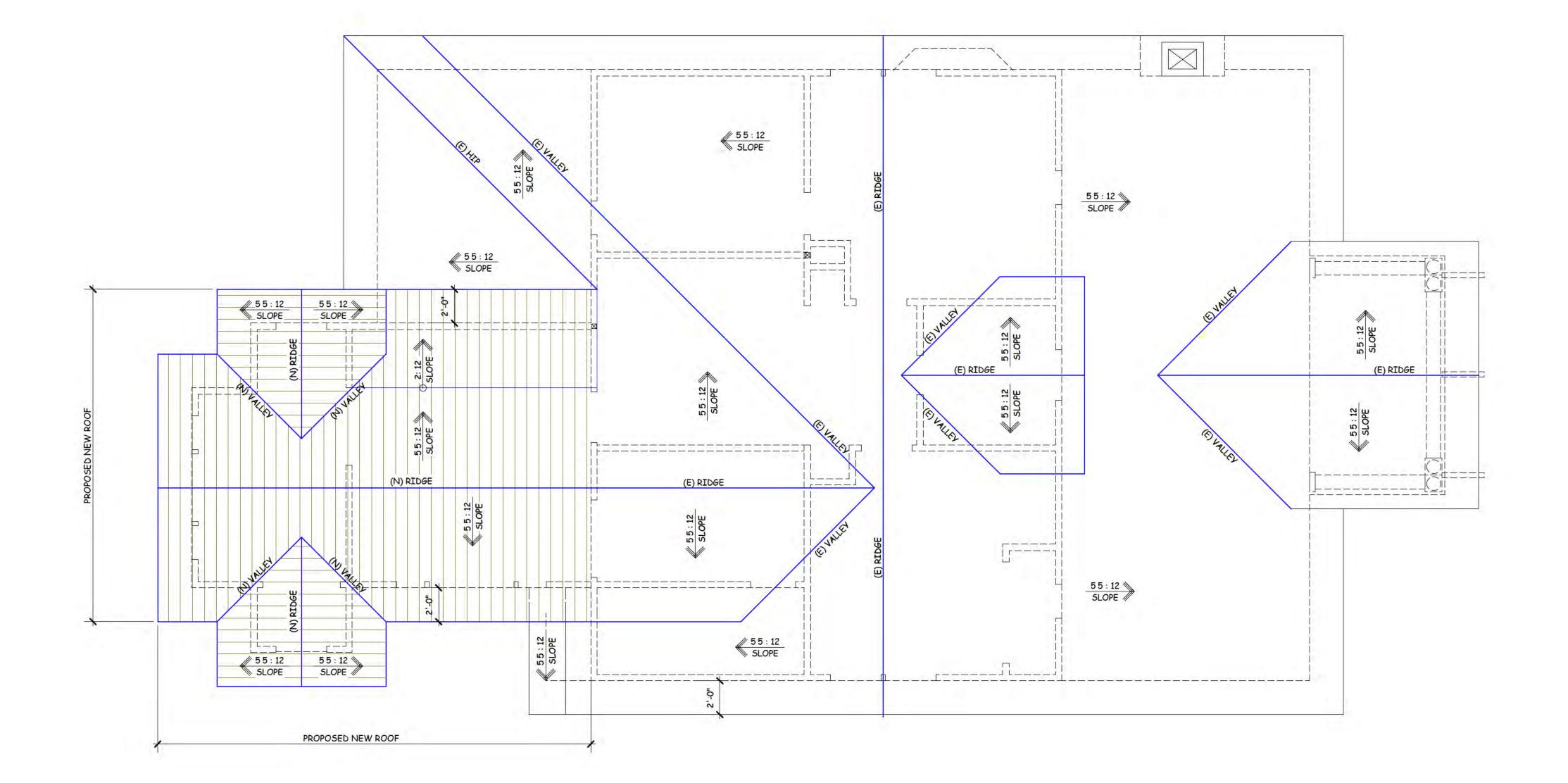
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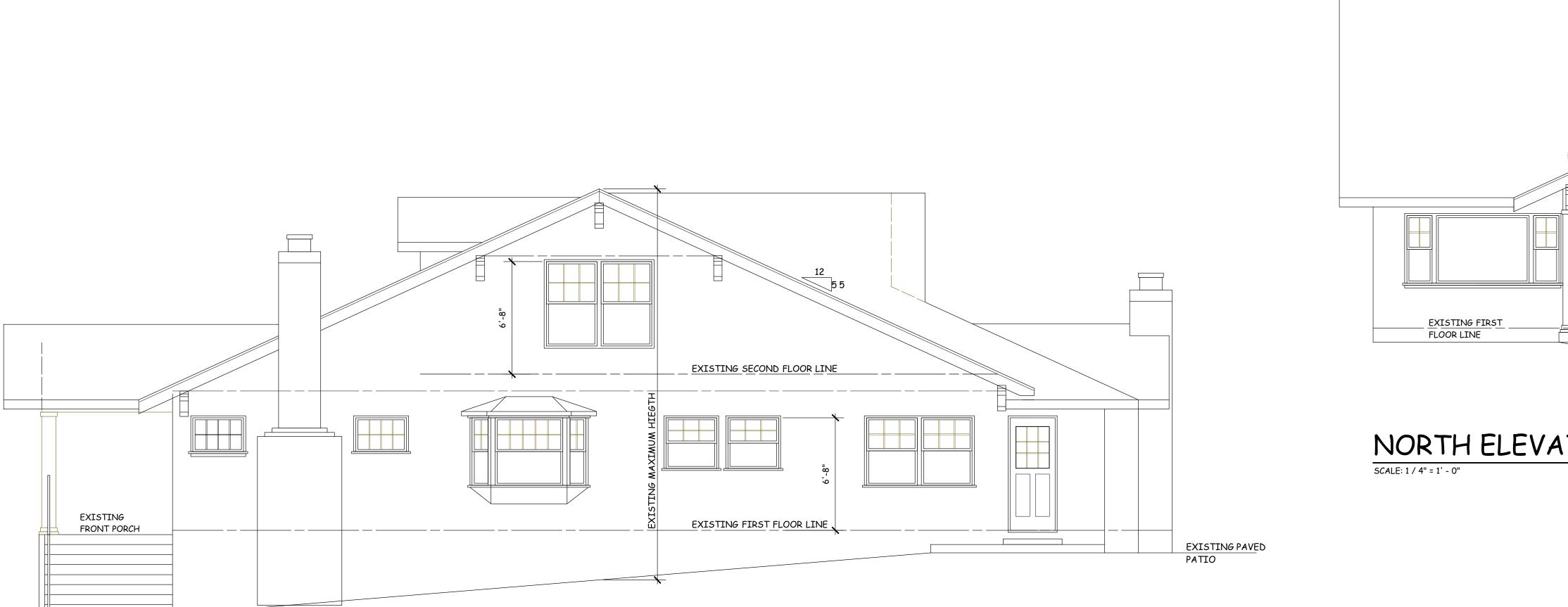
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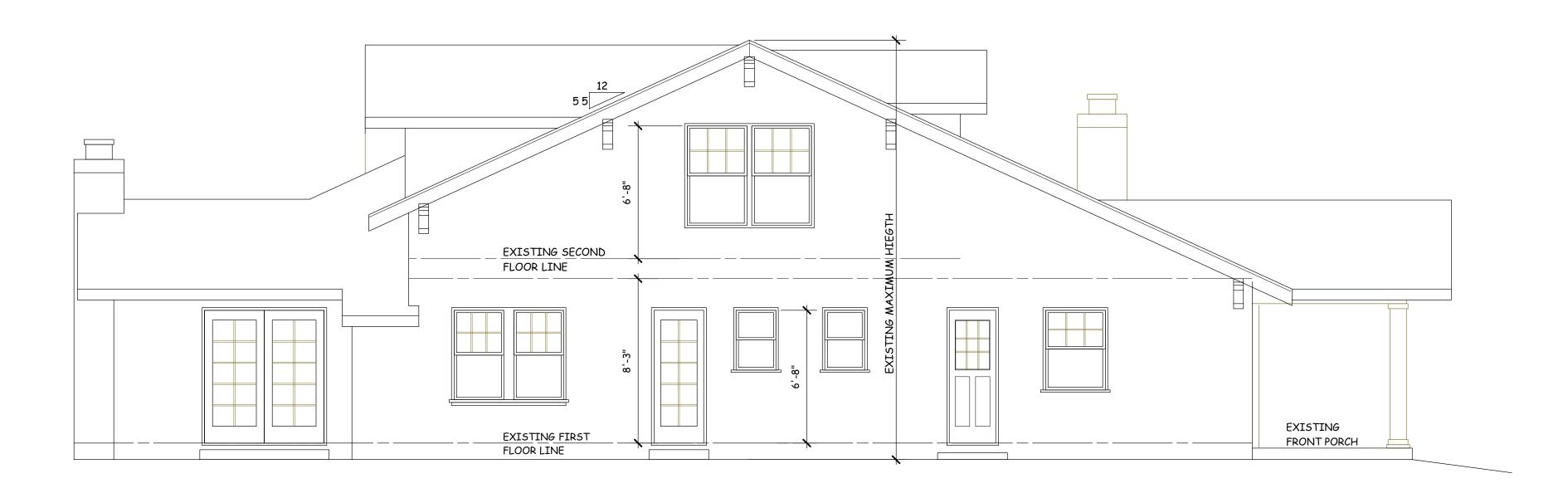


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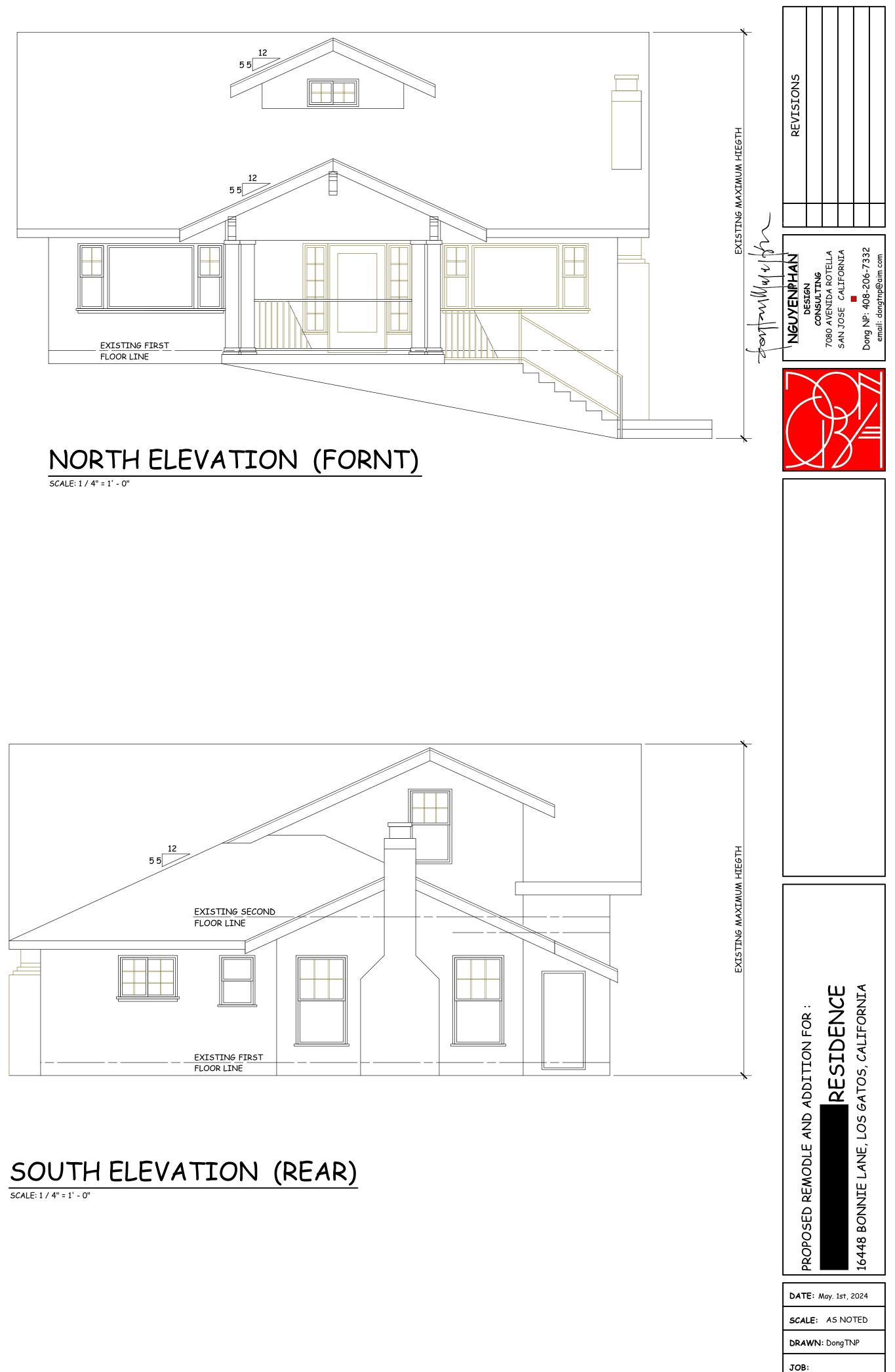
WEST ELEVATION (BONNIE LANE)

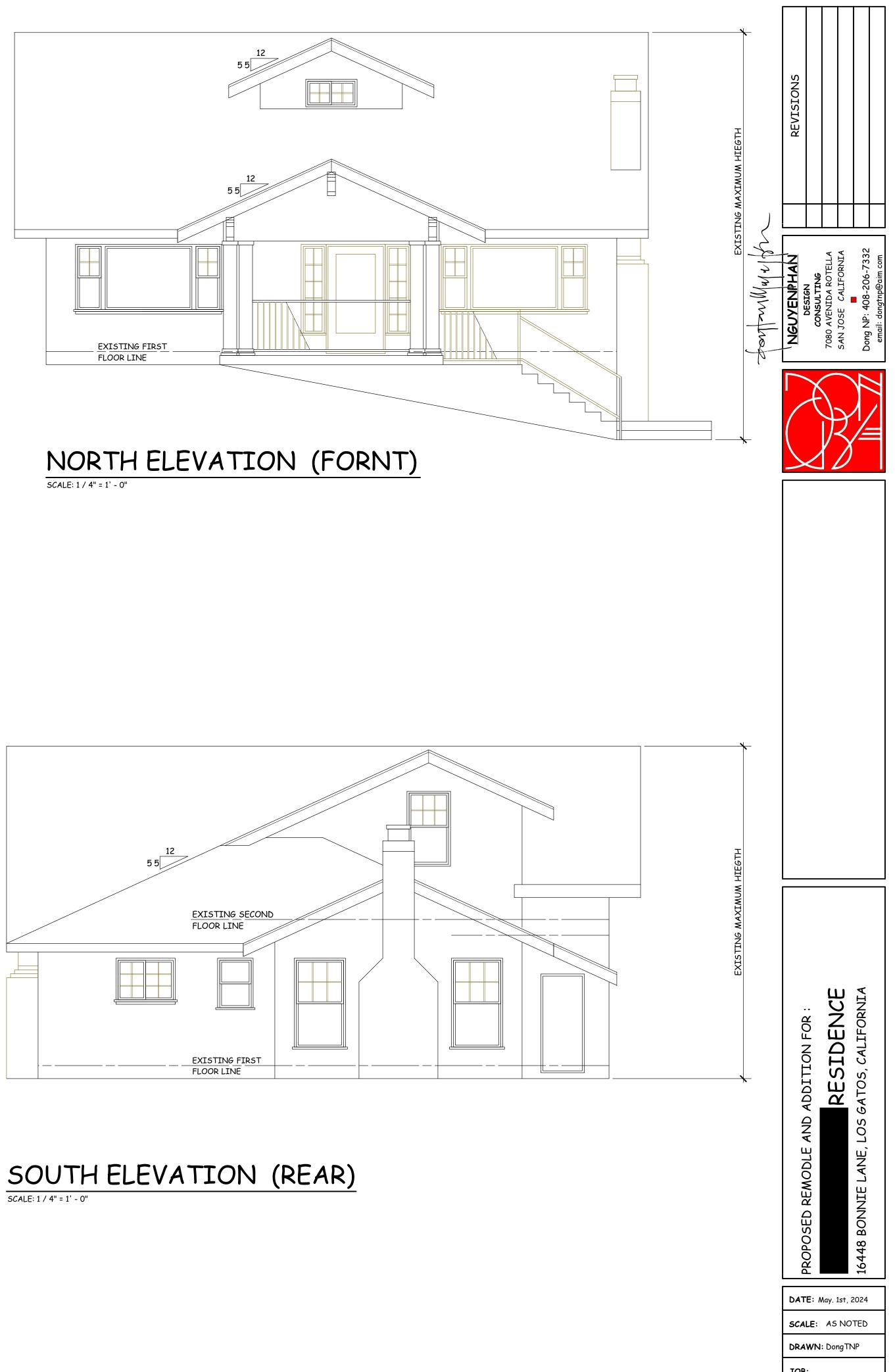
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EAST ELEVATION

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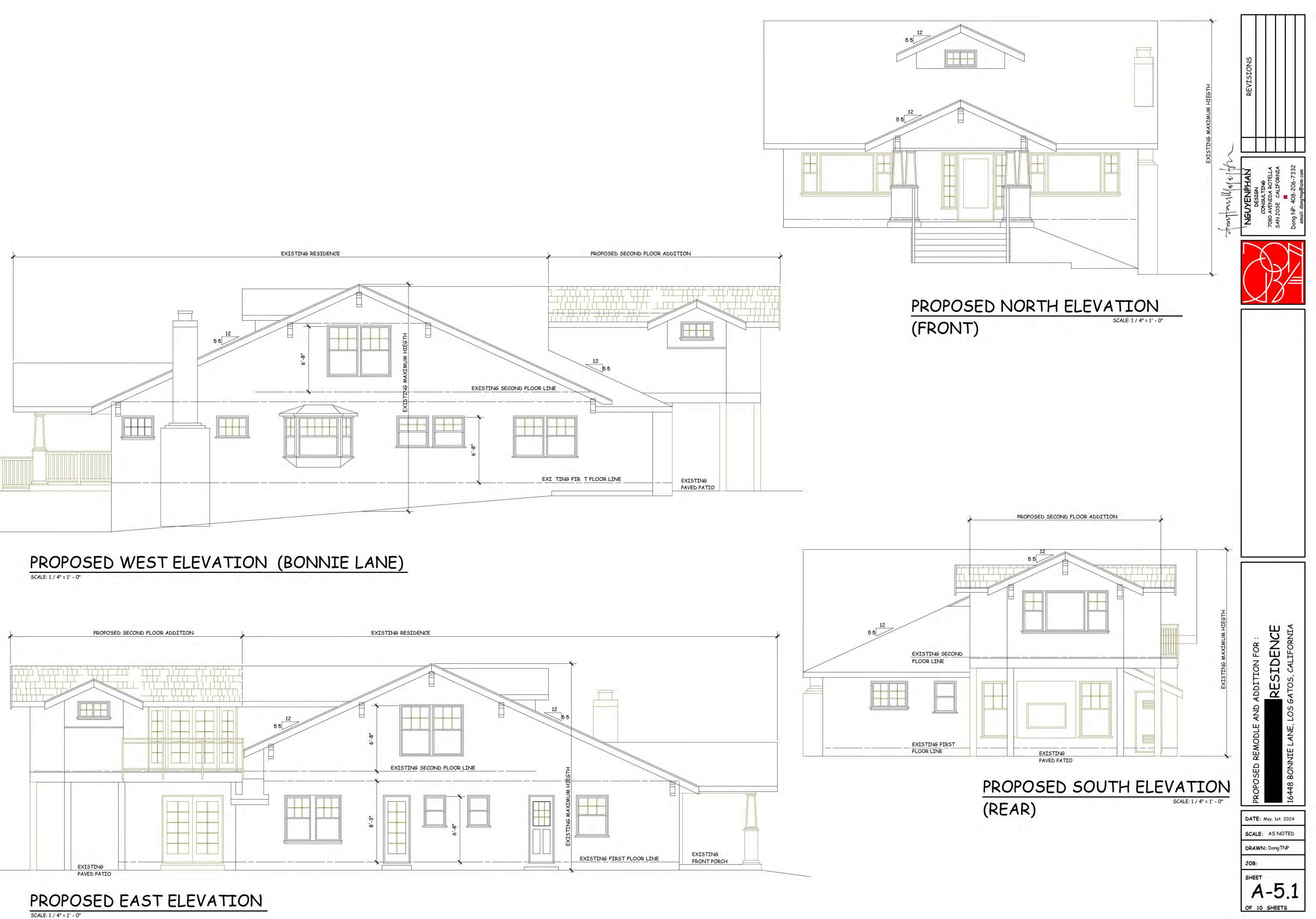


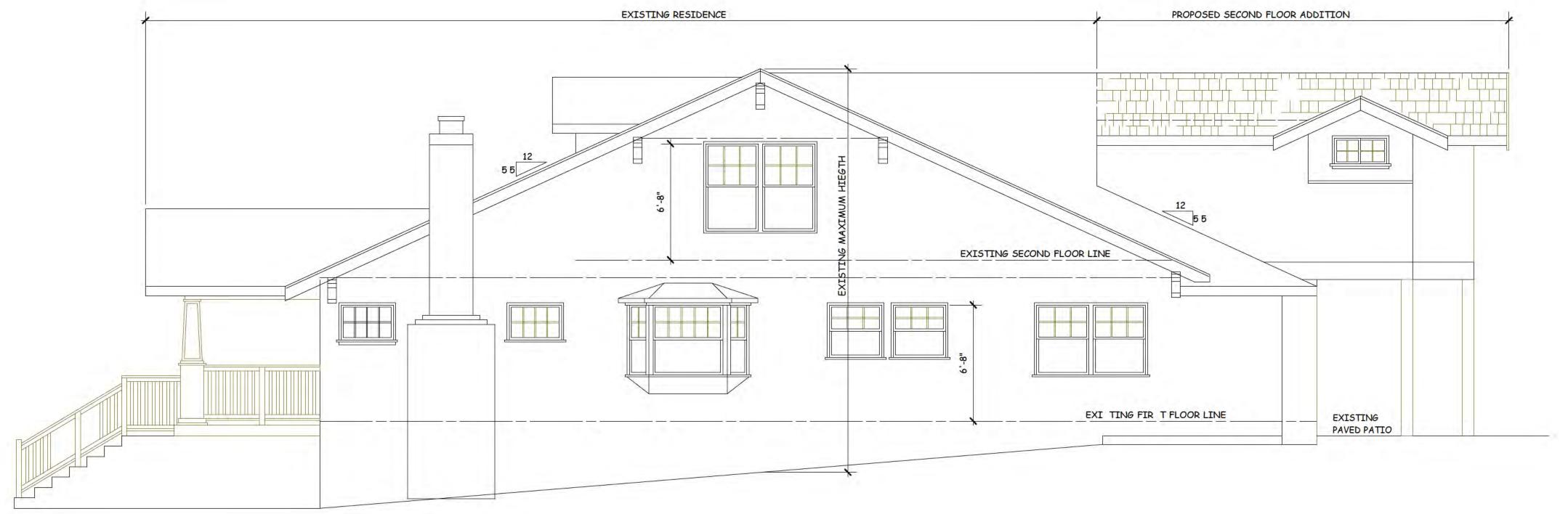


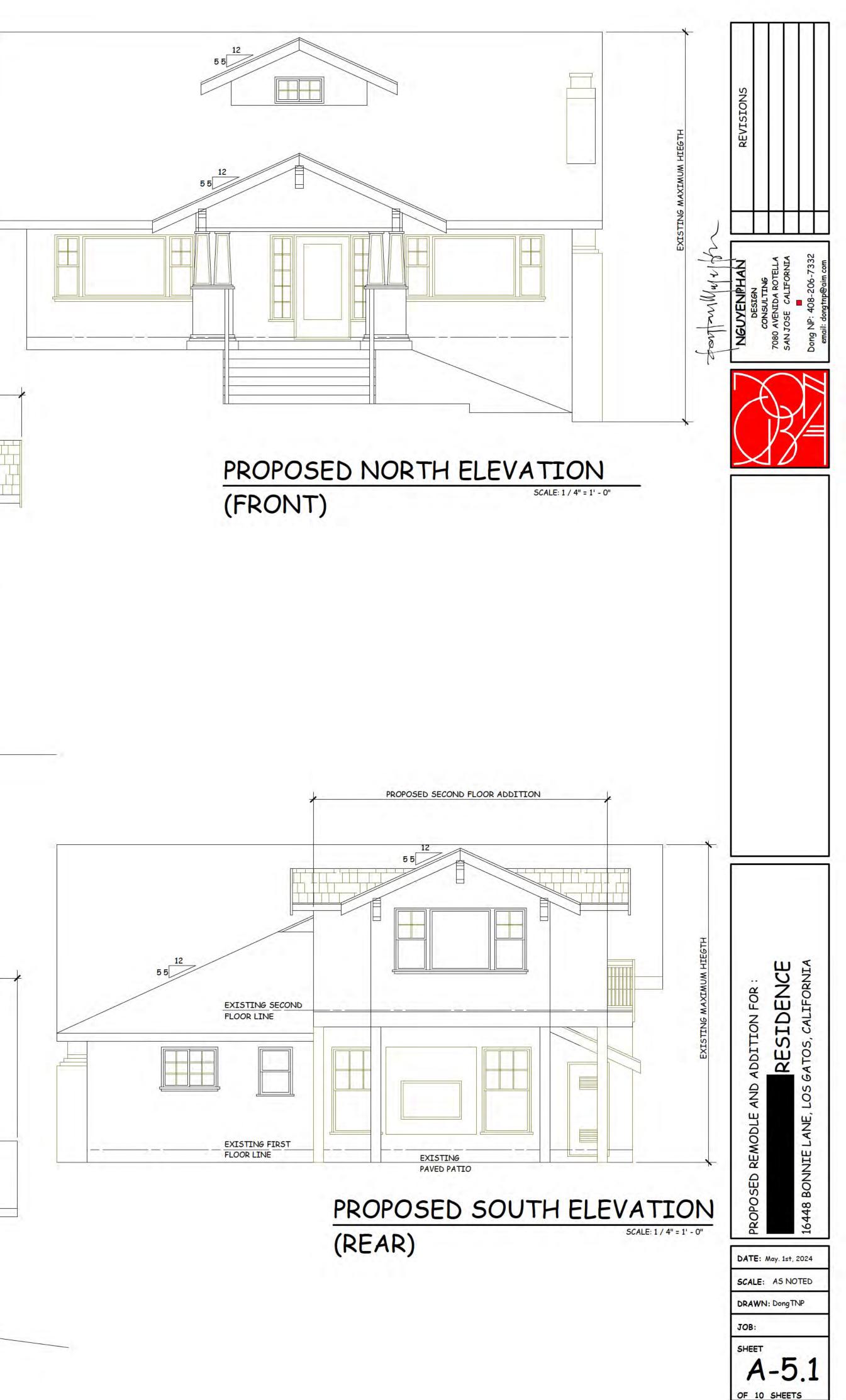
A-5 OF 10 SHEETS

SHEET

Page 100







DATE: March 18, 2025

TO: TOWN OF LOS GATOS Community Development Department 110 E. Main Street Los Gatos, CA 95030

LETTER OF JUSTIFICATION

To Whom It May Concern;

I am writing this letter of justification to obtain approval for exterior alterations of the property at 16488 Bonnie Ln.

- Removal of the existing front entry stairway with side access to Bonnie Lane;
- Construction of a new front entry stairway, including new wood railings and square buildup wood columns with stucco finish bases, on the north elevation with front access;
- Expansion of the proposed second-floor footprint on the east, south, and west elevations;
- Addition of three windows on the second-floor east and west elevations;
- Addition of a new sliding glass door on the first floor on the east elevation;
- Removal of the proposed windows on the first floor of the south elevation addition; and
- Addition of a new door on the first floor of the south elevation addition

We respectfully request your approval to resubmit this plan. Your support in this matter will help us maintain our community's beauty and integrity.

Thank you for considering our request.

Sincerely, Vu-Ngan Tran Property Owner This Page Intentionally Left Blank

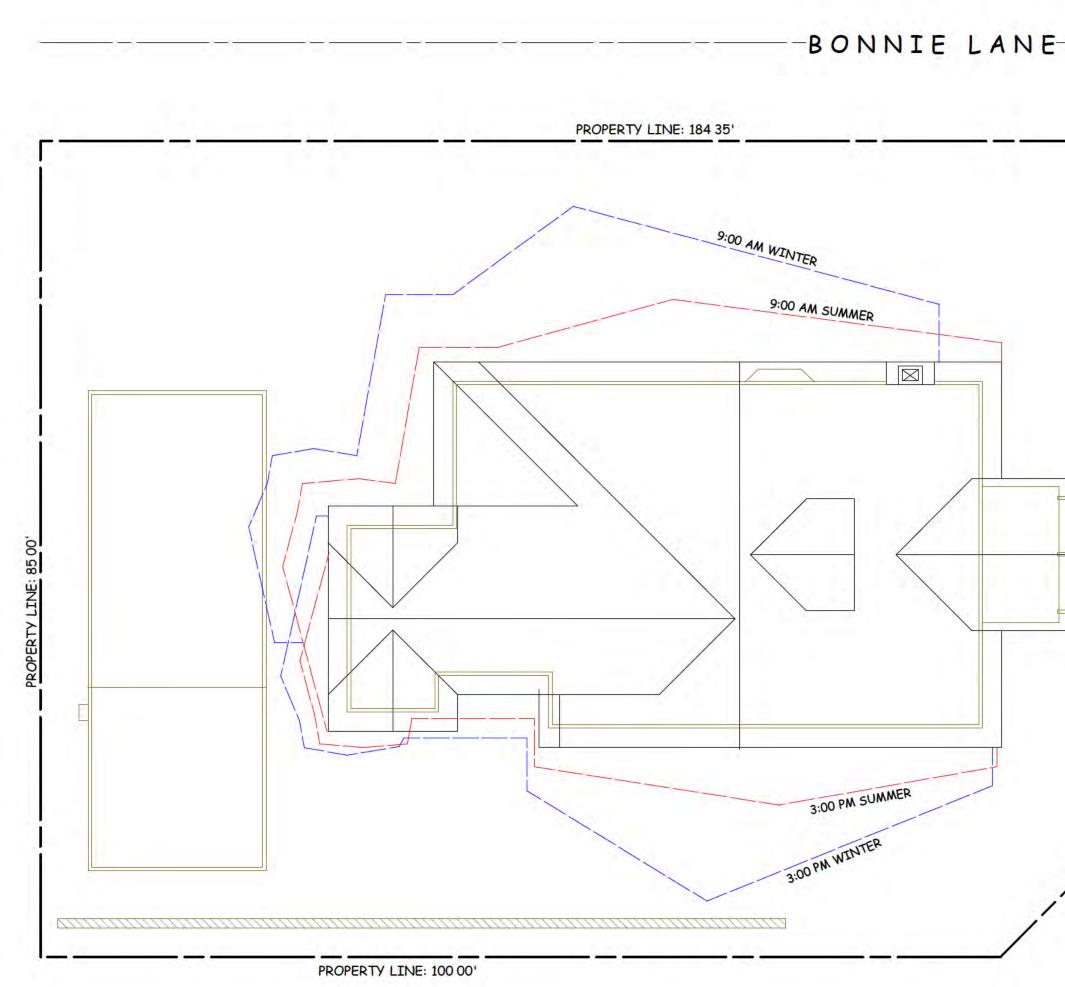
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- 6 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD (UNO)
- 7 EXTERIOR DIMENSIONS ARE TO FACE OF PLYWOOD (UNO)

PROJECT INFORMATION

PROJECT ADDRESS: APN : OCCUPANCY GROUP: TYPE OF CONSTRUCTION: STORIES: FIRE SPRINKLER: LOT AREA EXISTING FIRST FLOOR AREA EXISTING SECOND FLOOR AREA EXISTING DETACHED GARAGE EXISTING ADU PROPOSED FIRST FLOOR ADDITION PROPOSED SECOND FLOOR ADDITION TOTAL FIRST FLOOR AREA TOTAL SECOND FLOOR AREA TOTAL PROPOSED MAIN RESIDENCE

LOT COVERAGE:



SHADOW DIAGRAM A P N : 532-02-014

SCALE: 1" = 10'

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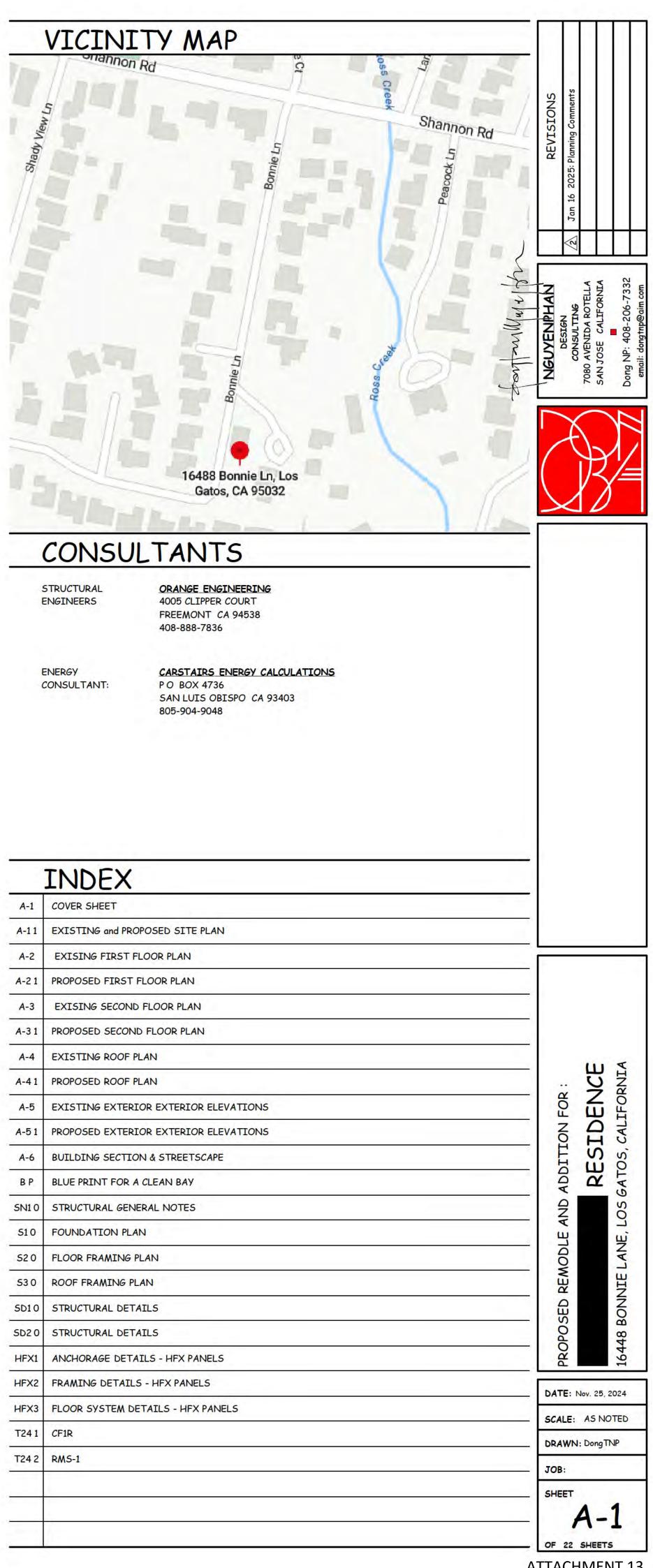
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(1954 + 1082) = 3,036.00 SQ. FT.

NORTH

SCOPE OF WORK

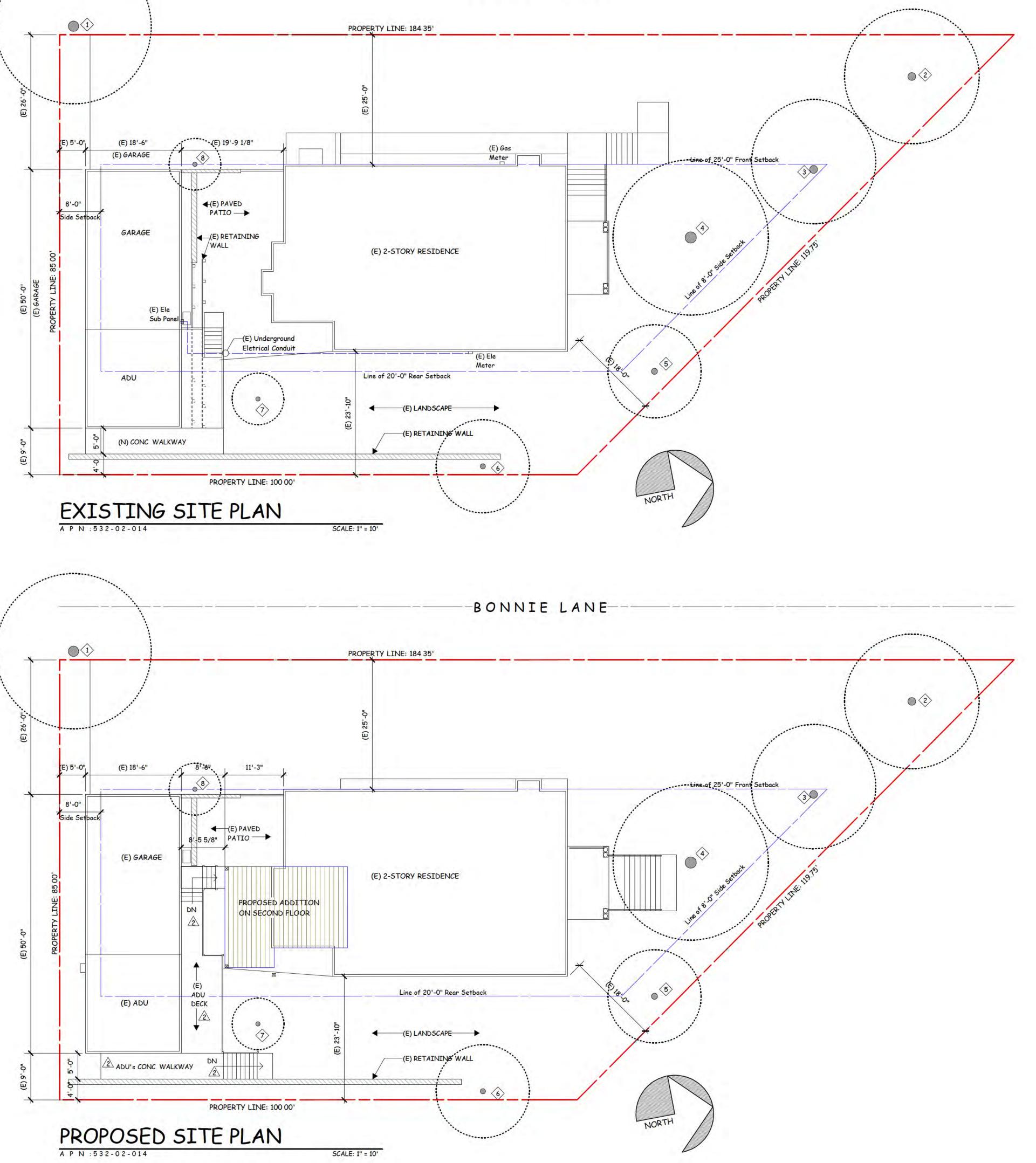
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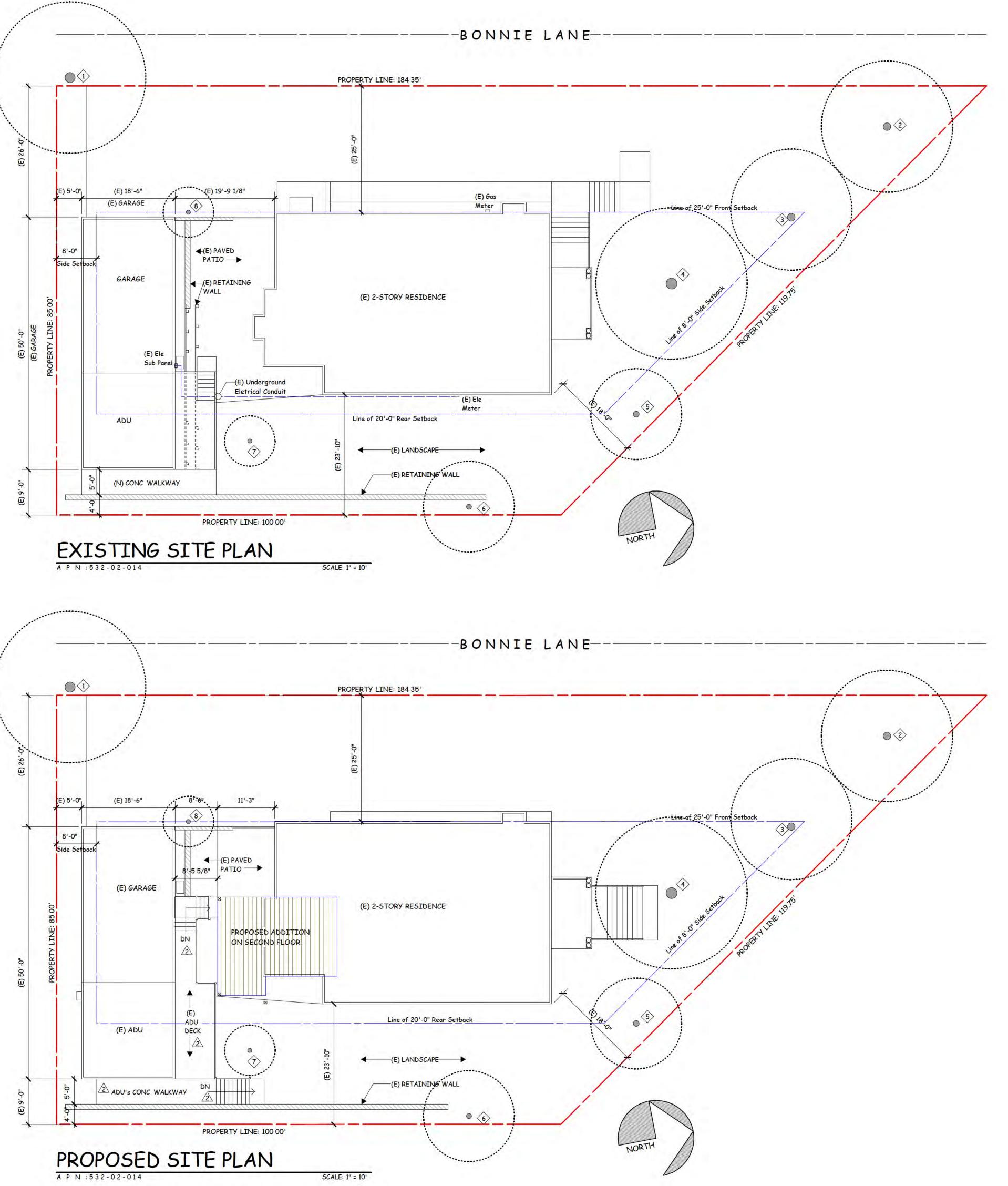


ATTACHMENT 13



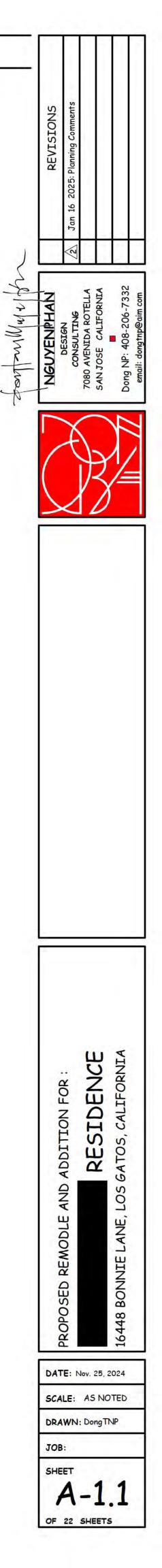


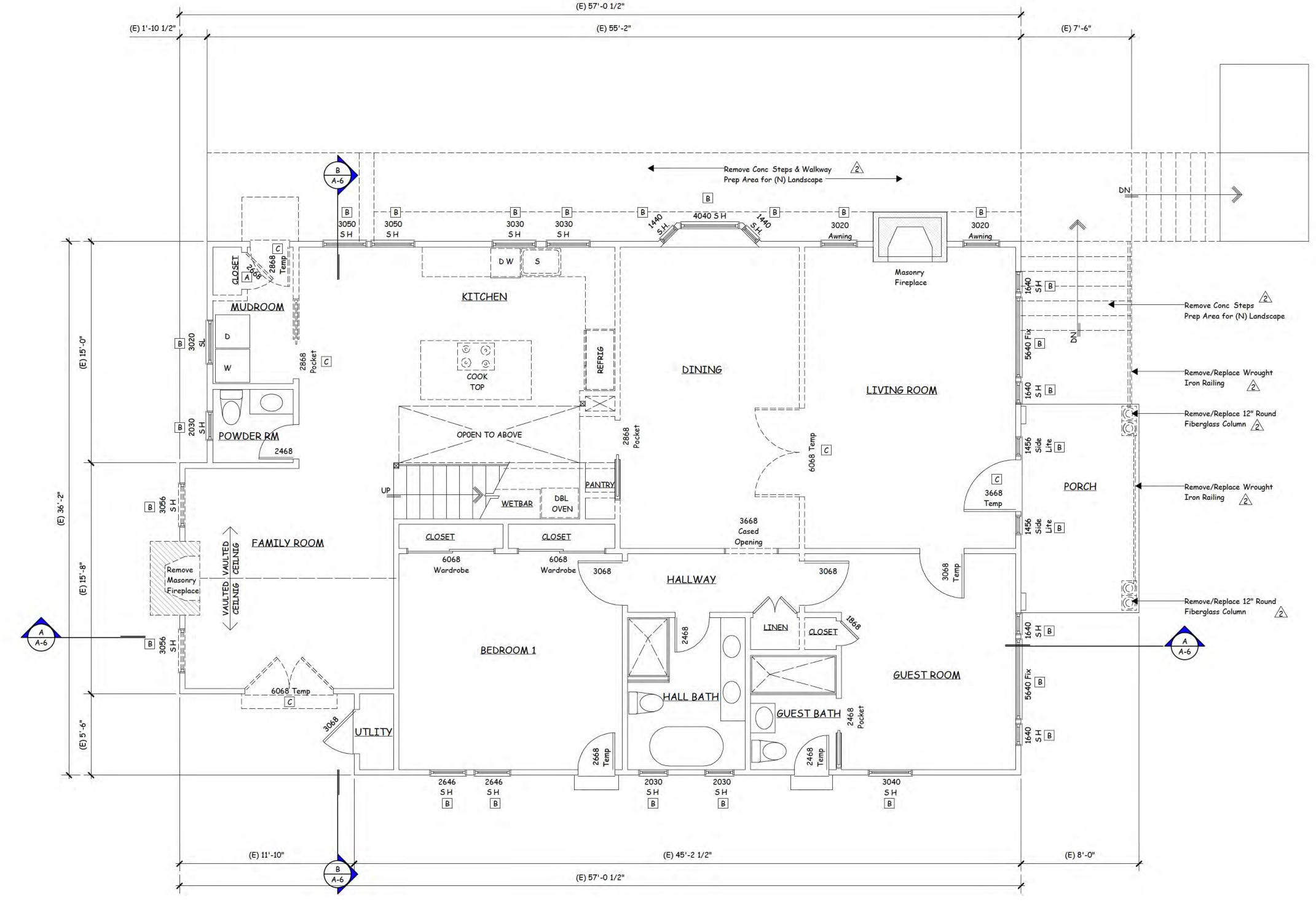




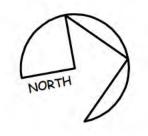
LEGEND

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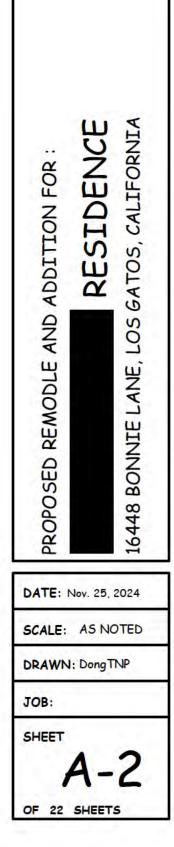
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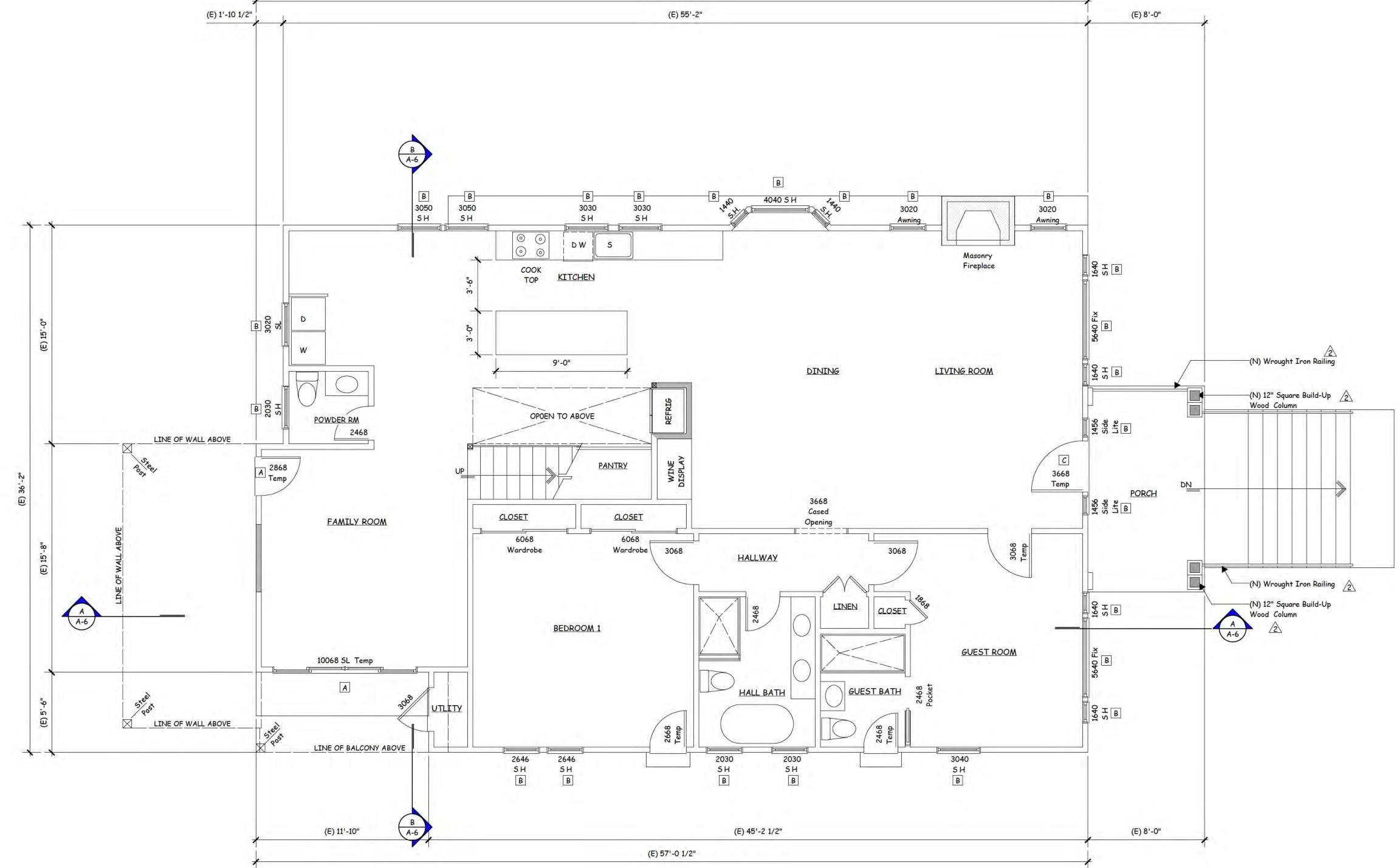


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- C===== 2 A 2 B 2 C 2 SH
- DENOTES EXISTING WALL TO REMAIN REMOVE EXI TING WALL PREP AREA FOR NEW CON TRUCTION WOOD DOOR TO BE REMOVED OR REPLACE
- WOOD SACH WINDOW TO BE REMOVED / REPLACE GLASS DOOR TO BE REMOVED OR REPLACE
- SINGLE HUNG
- 1 DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY GENERAL CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION AND REMOVAL WITH NOTES AND DIMENSIONS INDICATING THE EXTENT AND NATURE OF NEW CONSTRUCTION SHOWN ELSEWHWERE IN THESE DOCUMENTS
- 2 GENERAL CONTRACTOR IS RESPONSIBLE FOR SERCURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO THE REMOVAL OF ANY EXISTING SUP-PORT STRUCTURES
- 3 CAP OFF ALL PLUMBING GAS AND ELECTRICAL LINES AS REQUIRED





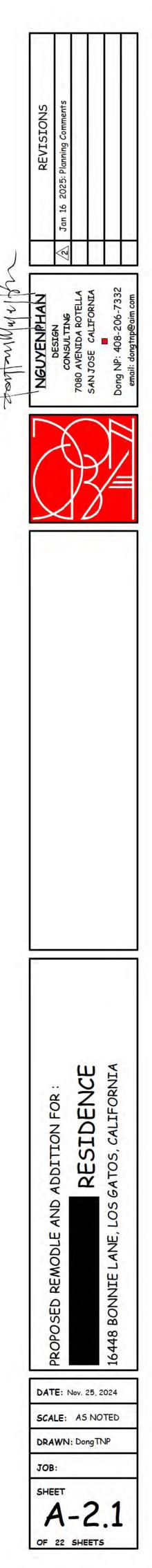


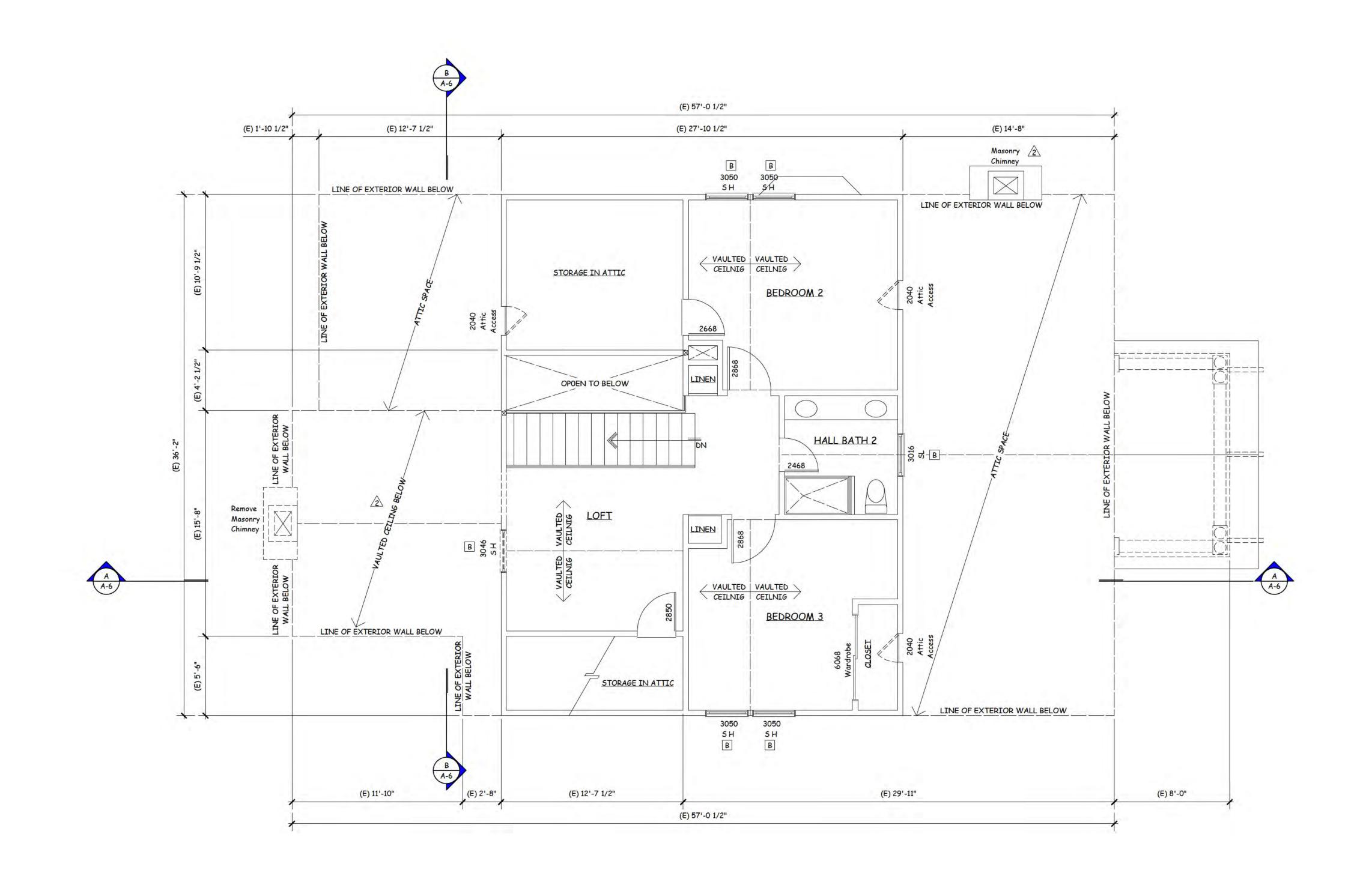
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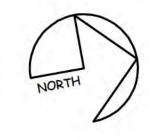


LEGEND:		
	DENOTES EXISTING WALL TO REMAIN	
	DENOTES NEW WALL FINISH TO MATCH	EXISTING
2 A	(N) GLASS DOOR	
2 B	REPLACE (E) WINDOW WITH FIBERGLA	CLAD WOOD WINDOW
2 C	REPLACE (E) GLASS DOOR	
2 SH	SINGLE HUNG	
2 SL	SLIDING	





EXISTING SECOND FLOOR PLAN



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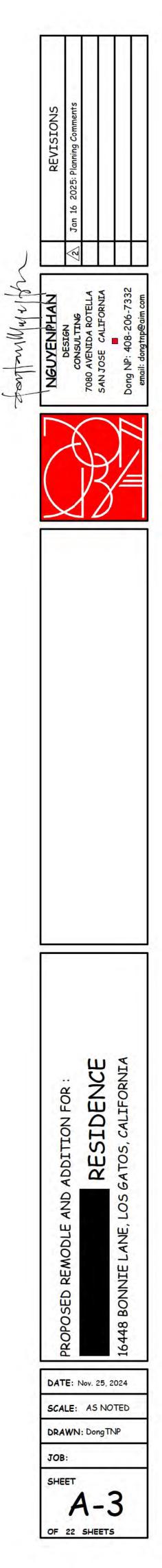
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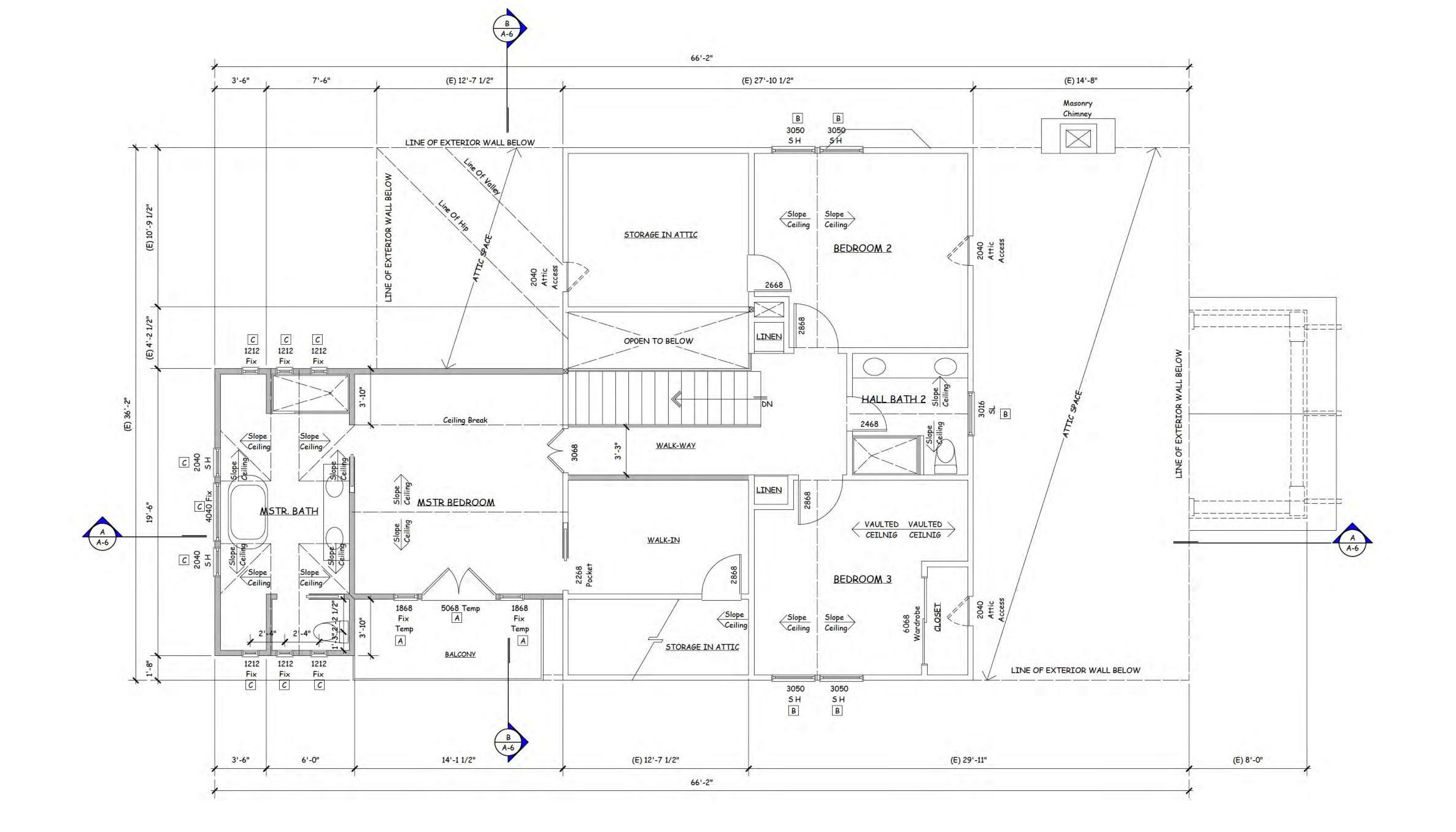
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Ĺ	DENOTES EXISTING WALL TO REMAIN
C=====	REMOVE EXI TING WALL PREP AREA FOR NEW CON TRUCTION
2 A	WOOD DOOR TO BE REMOVED OR REPLACE
2 B	WOOD SACH WINDOW TO BE REMOVED / REPLACE
2 C	GLASS DOOR TO BE REMOVED OR REPLACE

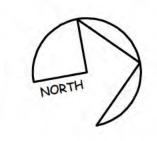
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SLIDING

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- 2 GENERAL CONTRACTOR IS RESPONSIBLE FOR SERCURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO THE REMOVAL OF ANY EXISTING SUP-PORT STRUCTURES
- 3 CAP OFF ALL PLUMBING GAS AND ELECTRICAL LINES AS REQUIRED







SCALE: 1 / 4" = 1' - 0"

L	E	G	E	N	D:	
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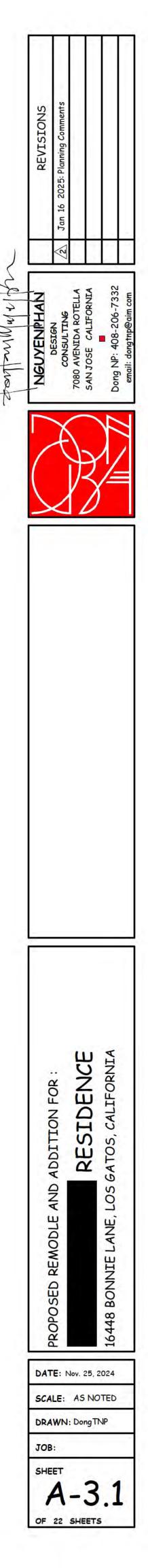
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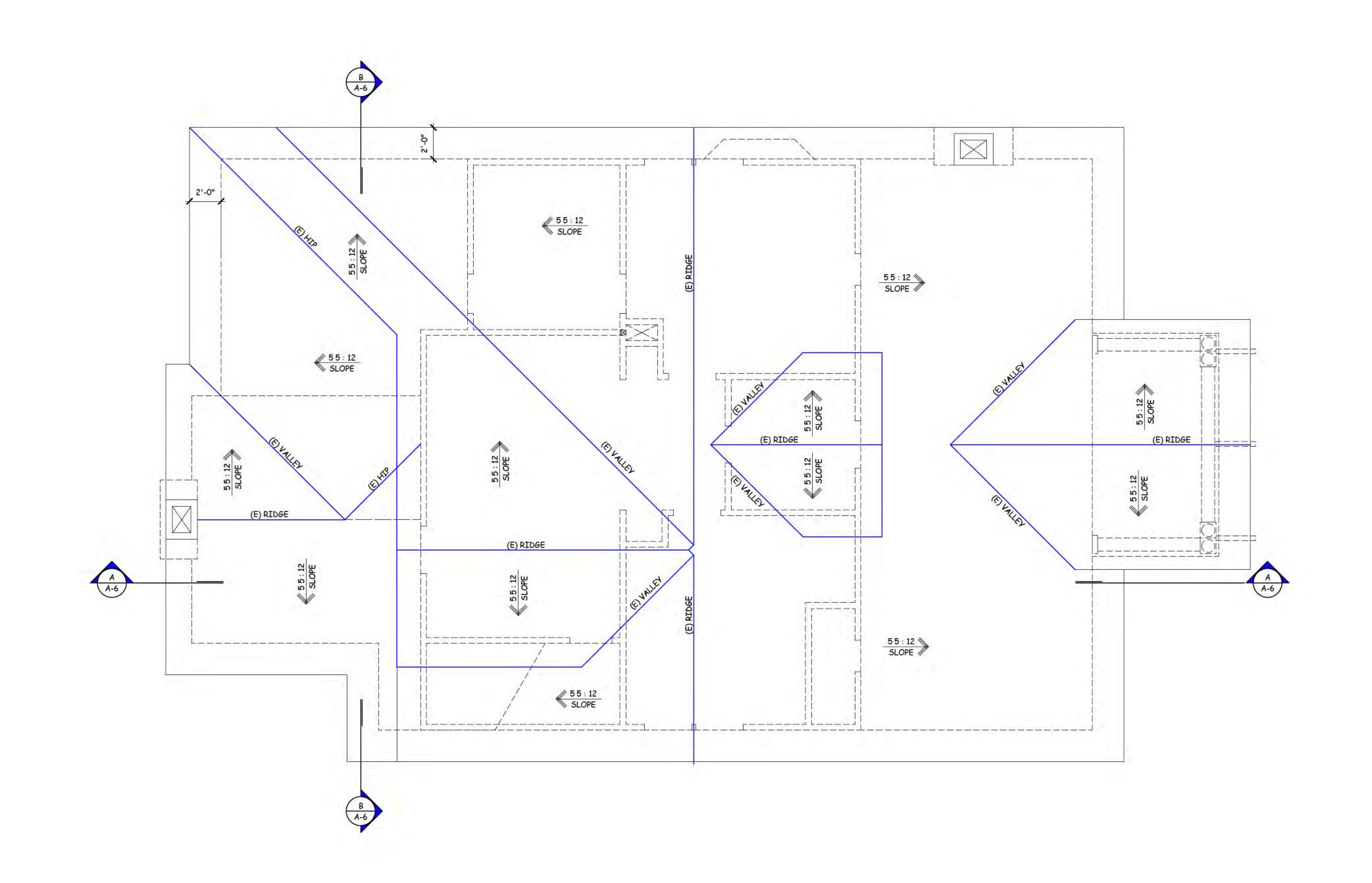
DENOTES NEW WALL FINISH TO MATCH EXISTING (N) GLASS DOOR REPLACE (E) WINDOW WITH FIBERGLASS CLAD WOOD WINDOW

(N) FIBERGLASS CLAD WOOD WINDOW SINGLE HUNG

DENOTES EXISTING WALL TO REMAIN

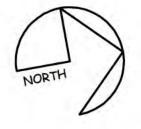
SLIDING



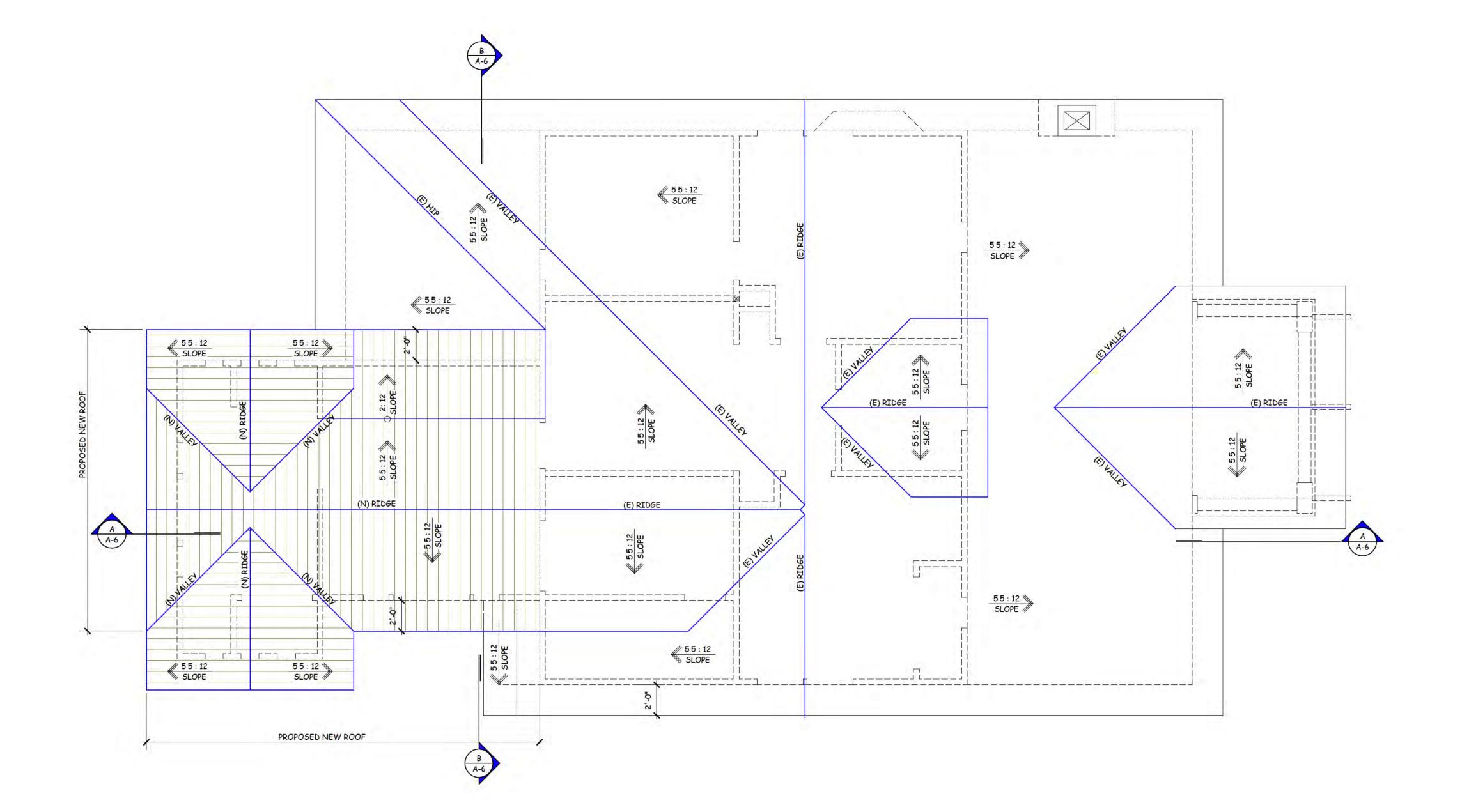


EXISTING ROOF PLAN

SCALE: 1 / 4" = 1' - 0"



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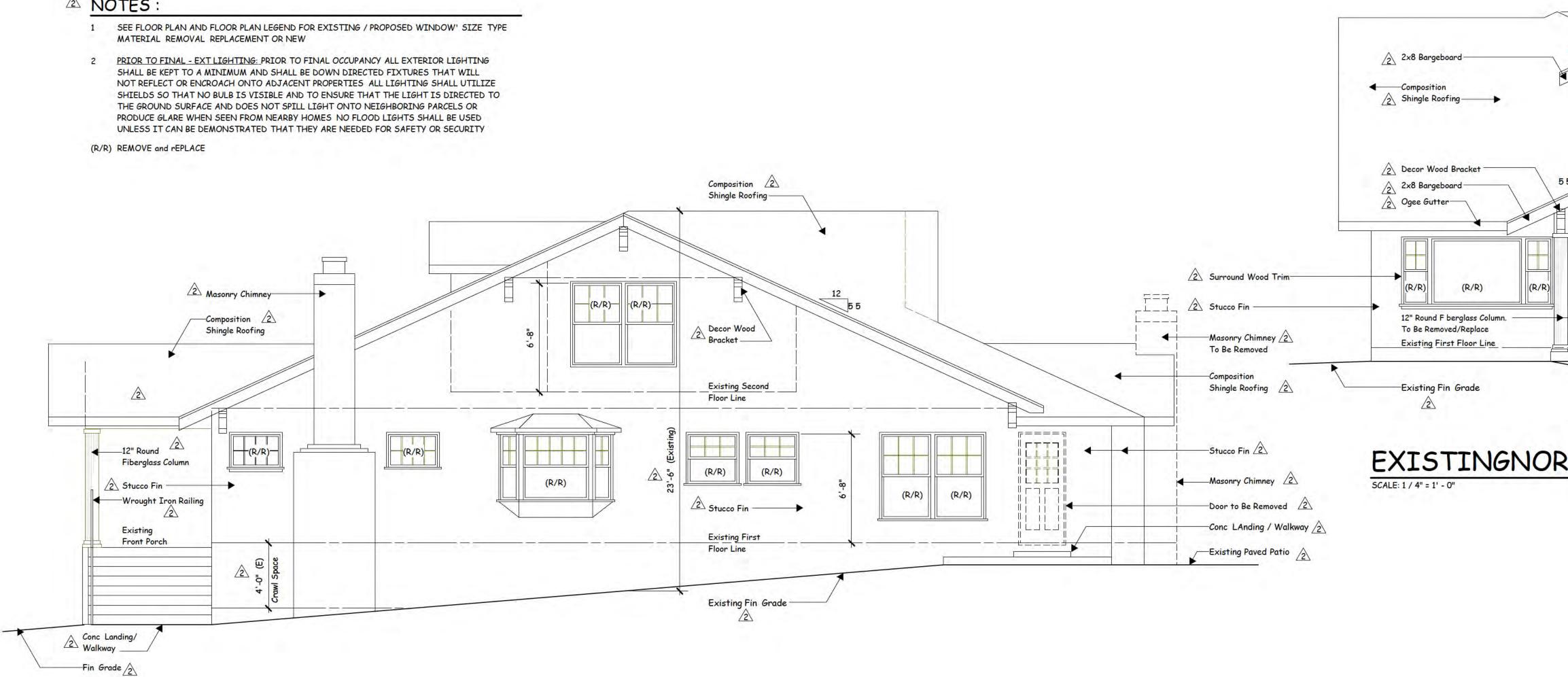


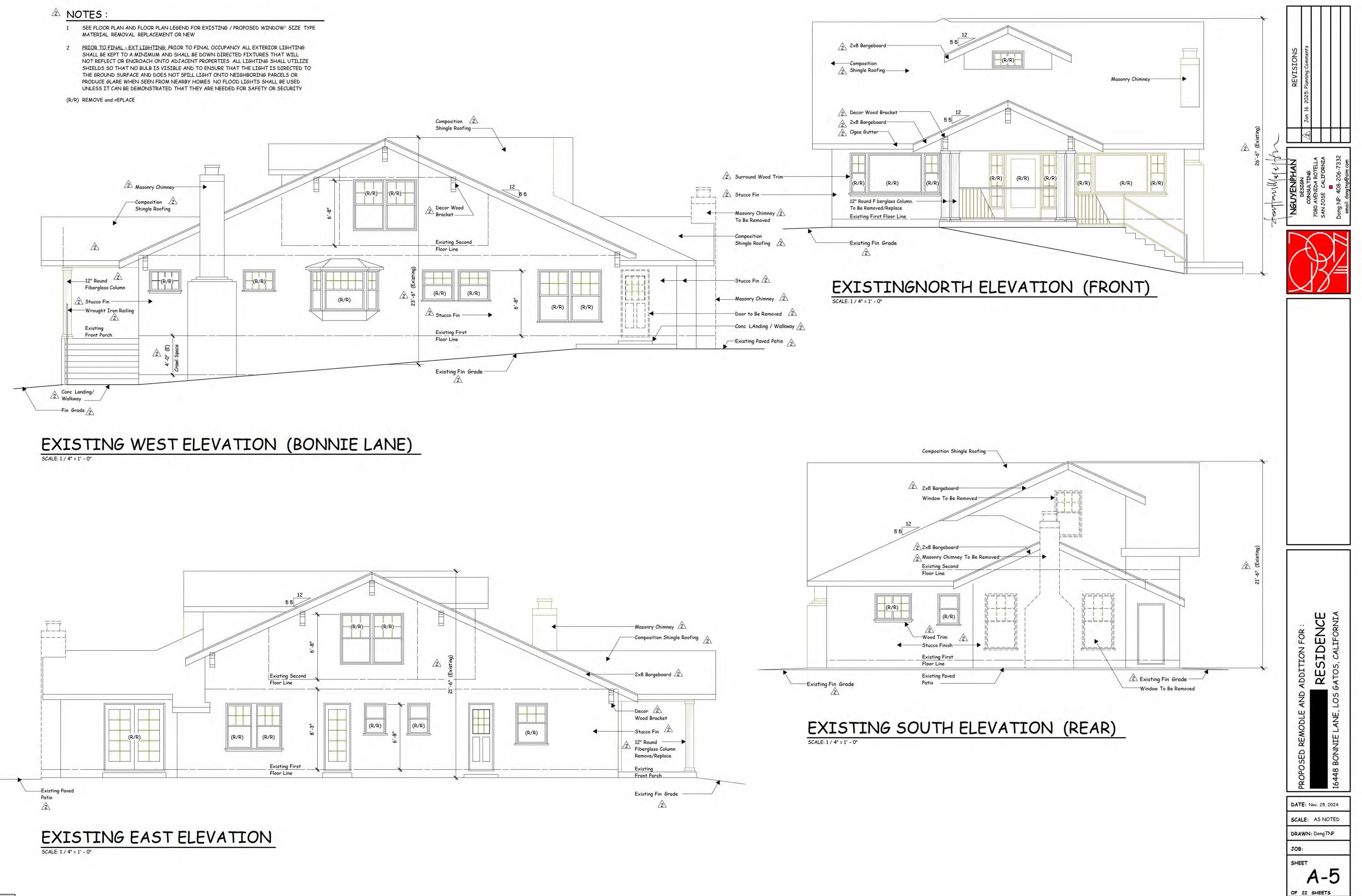
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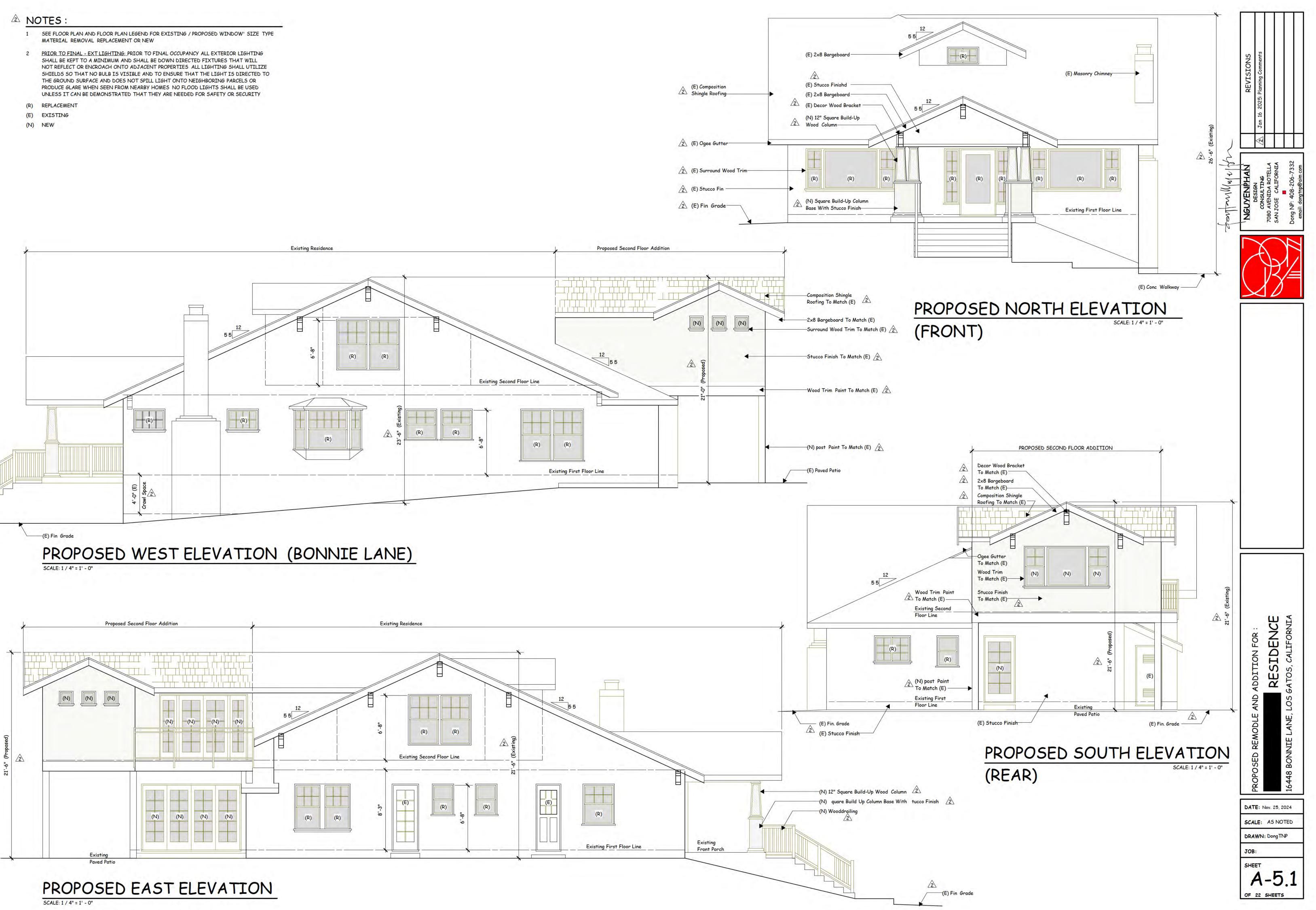
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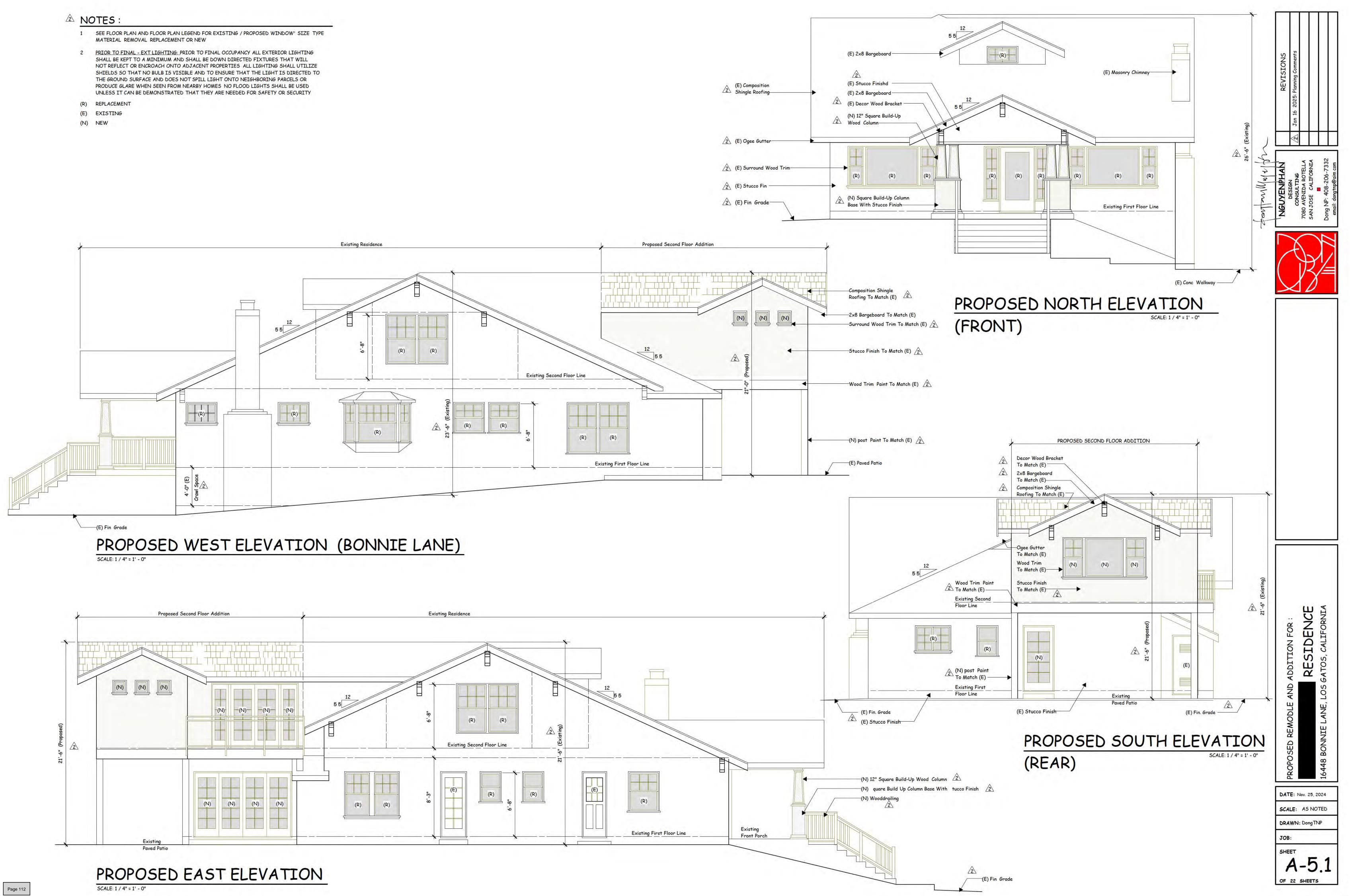
- SEE FLOOR PLAN AND FLOOR PLAN LEGEND FOR EXISTING / PROPOSED WINDOW' SIZE TYPE
- SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCROACH ONTO ADJACENT PROPERTIES ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES NO FLOOD LIGHTS SHALL BE USED

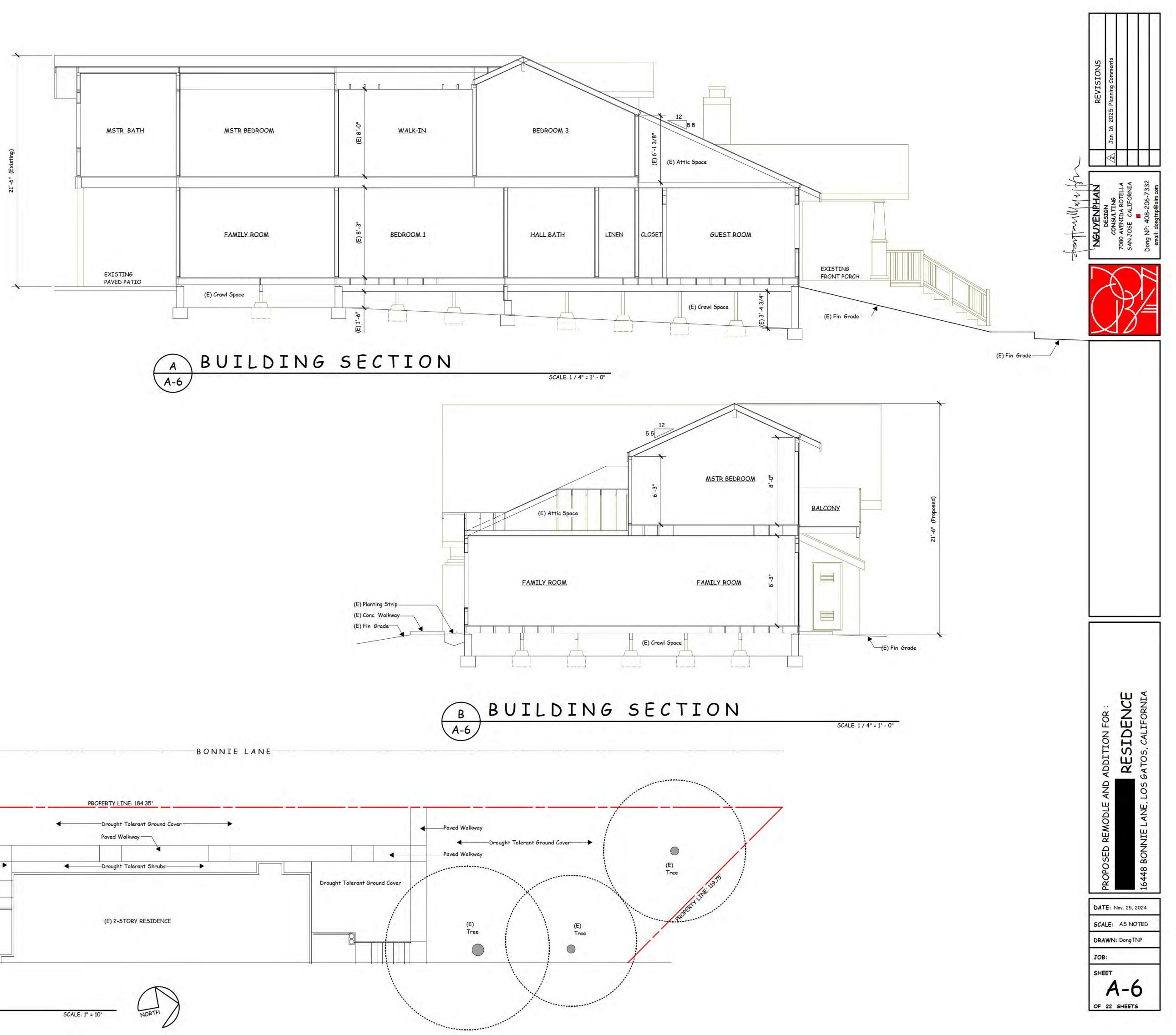


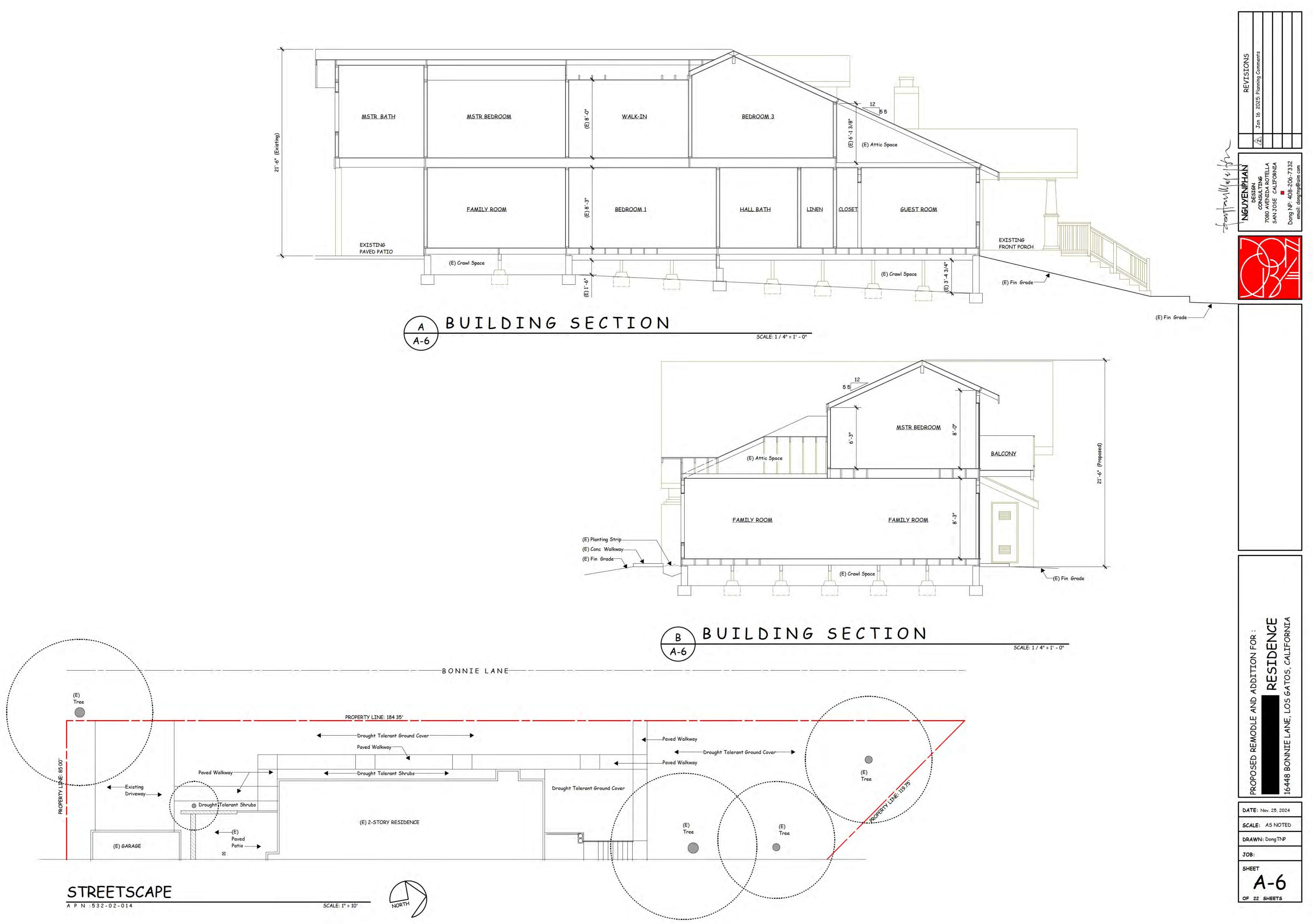








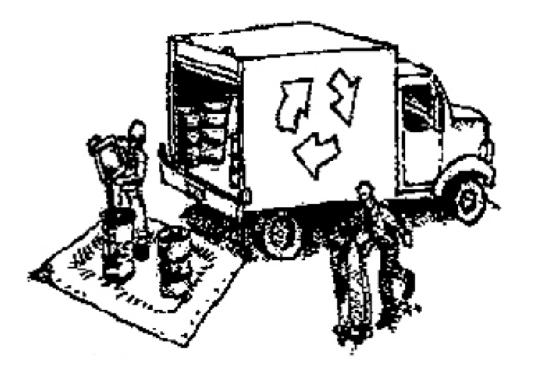




Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- □ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- □ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, waterbased paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- □ Keep site free of litter (e.g. lunch items, cigarette butts).
- □ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- □ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



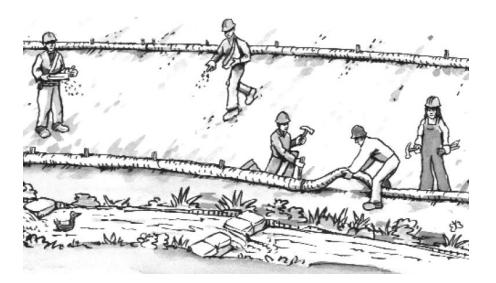
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- □ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- □ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- □ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- □ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazrd to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- □ Schedule grading and excavation work during dry weather.
- □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- **Remove existing vegetation only when** absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned
- □ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- □ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

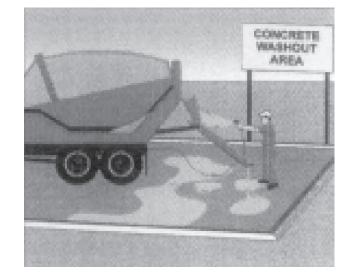
Contaminated Soils

- □ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.
- □ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not distrurbed by construction activities.

Landscaping

- □ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- □ Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

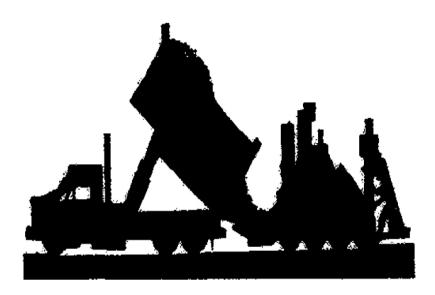
- □ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- □ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- □ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- □ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- □ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Paving/Asphalt Work



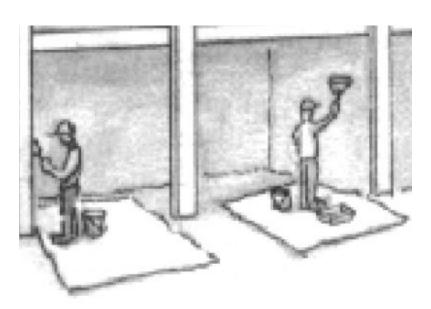
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal. or similar materials.
- □ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- □ Protect storm drain inlets during saw cutting.
- □ If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- □ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- □ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.





GENERAL REQUIREMENTS

1. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS 1. GRADE STAMPED DOUGLAS FIR/LARCH (SEE LUMBER GRADES). BEFORE STARTING WORK. NOTIFY THE ENGINEER IMMEDIATELY OF ANY 2. NAILS: COMMON WIRE UNLESS OTHERWISE NOTED. EDGE SEE NAILING DISCREPANCIES

- OVER THE GENERAL NOTES AND TYPICAL DETAILS IN CASE OF CONFLICT.
- 3. SUBSTITUTIONS: PROVIDE MANUFACTURER'S APPROVED PRODUCT EVALUATION REPORTS ICC REPORTS AND A LIST OF ALL PROPOSED SUBSTITUTIONS TO THE ENGINEER FOR REVIEW AND WRITTEN APPROVAL 5. ANCHOR BOLTS (FOUNDATION ANCHOR BOLTS): PROVIDE 5/8 INCH BEFORE FABRICATION
- 4. SIMILAR WORK: WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS.
- 5. PIPES, DUCTS, SLEEVES, CHASES, ETC.: SHALL NOT BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS SPECIFICALLY SHOWN. OBTAIN PRIOR WRITTEN APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
- 6. EXCAVATIONS: LOCATE AND PROTECT UNDERGROUND OR CONCEALED CONDUIT, PLUMBING OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED
- 7. CONSTRUCTION LOADS: MATERIALS SHALL BE EVENLY DISTRIBUTED IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS SHALL NOT EXCEED THE ALLOWABLE LOADING FOR THE SUPPORTING MEMBERS AND THEIR CONNECTIONS
- 8. CONSTRUCTION METHODS AND PROJECT SAFETY: THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. NEITHER THE REGULATIONS. CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL

REINFORCED CONCRETE

- 1. MATERIALS: CEMENT. ..ASTM C-150 TYPE II
- AGGREGATE.....ASTM C-33 STANDARD WEIGHT
- REINFORCEMENT ASTM A-615 GRADE 60 TYPICAL
- ANCHOR BOLTS......ASTM A-307 HOOKED ANCHOR BOLTS
- ANCHOR BOLTS ASTM A-307 HEADED MACHINE BOLTS
- 2. CONCRETE STRENGTHS: THE CONCRETE STRENGTHS SHOWN IN THE FOLLOWING TABLE ARE THE MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS; AND THE AGGREGATE (AGG) SHOWN IS THE MAXIMUM SIZE. CONCRETE SUALL BE STANDARD WEIGHT CONCRETE (145 DOE

SHALL BE STANDARD WEIG	HI CONCRETE	: (145 PC	<i>⊢</i>).	
ITEM OF	STRENGTH	AGG	SLUMP	
CONSTRUCTION	(PSI)	(IN)	(IN)	
FOUNDATIONS	2,500	1 1/2	4	
POUR IN PLACE WALL	2 500	1 1/2	4	

- SLABS-ON-GRADE ... 4 (DESIGN STRENGTH BASED ON 2,500 PSI NO SPECIAL INSPECTION IS
- PROVIDED) EXCEPTION:
- A) THE WEIGHT PERCENTAGE OF SULFATE STRENGTH(PSI) > 1.0 4000 > 2.0 4500 B) SHOTCRETE CONCRETE STRENGTH = 4000 PSI MIN.
- 3. REINFORCEMENT:
- A) DETAILING, FABRICATION AND PLACING: SHALL CONFORM TO AND ACI 318. B) MINIMUM CONCRETE COVER:
- CAST AGAINST & EXPOSED TO EARTH . EXPOSED TO EARTH OR WEATHER ...
- NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS3/4"
- BEAMS, COLUMNS (TIES, STIRRUPS, SPIRALS)......1-1/2"
- C) CHAIRS, SPACERS AND SAND PLATES: AS REQUIRED TO MAINTAIN
- CONCRETE COVER. D) VERTICAL REINFORCEMENT: SHALL BE DOWELED TO SUPPORTING MEMBERS WITH THE SAME SIZE AND SPACING OF REINFORCEMENT AS
- SHOWN IN THE DRAWINGS AND GENERAL NOTES.
- E) SPACING: CLEAR DISTANCE BETWEEN PARALLEL REINFORCEMENT IN A 17. CUTTING AND NOTCHING: DO NOT CUT, BORE, COUNTERSINK OR NOTCH LAYER SHALL NOT BE LESS THAN 1-1/2 TIMES THE NOMINAL DIAMETER OF THE REINFORCEMENT, OR 1-1/3 TIMES MAXIMUM SIZE AGGREGATE, NOR
- LESS THAN 1-1/2". F) TACK WELDING, WELDING, HEATING OR CUTTING OF BARS: NOT PERMITTED U.O.N.
- G) SLAB CORNERS: PROVIDE 2-#4 X 4'-0" AT RE-ENTRANT CORNERS AND 19. END SUPPORT: ROOF AND FLOOR JOISTS OVER 4 INCHES DEEP SHALL HAVE 4. FLOOR PANELS ... EACH CORNER OF RECTANGULAR HOLES IN SLABS. PLACE BARS
- DIAGONALLY. H) SPLICES (STANDARD LAPS): LAP SPLICE PER DETAIL 1/SD2.0. STAGGER BOTTOM SPLICES AT LEAST 5'-0" FROM SPLICES IN OTHER BOTTOM REINFORCEMENT. STAGGER SPLICES FOR TOP REINFORCEMENT SIMILARLY.
- 4. ANCHOR BOLTS, DOWELS AND HOLD DOWN ANCHORS: SECURELY HELD IN 20. HOT DIPPED ZINC-COATED GALVANIZING: ALL EXPOSED STEEL TIMBER PLACE PRIOR TO FOUNDATION INSPECTION BY THE BUILDING OFFICIAL AND **OBSERVATION BY THE ENGINEER.**
- 5. PIPES, SLEEVES AND DUCTS: NOT TO BE PLACED IN WALLS, BEAMS, SLABS, FOOTINGS OR COLUMNS UNLESS SPECIFICALLY DETAILED.
- CHAMFER: 3/4 INCH ON EXPOSED CORNERS.
- 7. ADMIXTURES: REVIEWED BY THE ENGINEER. CALCIUM CHLORIDE OR ADDED CHLORIDES ARE NOT PERMITTED.
- 8. CONSTRUCTION JOINTS: ACI 117.9 & 6.4, 1/4 INCH AMPLITUDE MINIMUM OR 1. EYED JOINTS PER PLAN. LOCATION OF JOINTS TO BE REVIEWED BY THE ENGINEER. WAIT 48 HOURS BETWEEN POURS.
- 9. SLAB-ON-GRADE JOINTS: LOCATION OF ALL CONSTRUCTION, CONTROL AND 2. WEAKENED PLANE JOINTS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE REVIEWED BY THE ENGINEER PRIOR TO THE PLACING OF 3. REINFORCEMENT. MAX MUM SPACING 15 FEET ON CENTER.
- 10. ACTUAL DIMENSIONS: SLAB, WALL, BEAM AND COLUMN DIMENSIONS
- SHOWN ARE ACTUAL DIMENSIONS NOT NOMINAL DIMENSIONS (i.e. A 4 INCH SLAB IS 4 INCHES THICK, NOT 3-1/2 INCHES.)
- 11. CONCRETE CURING: ACI 318
- 12. VIBRATION: ALL CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.

ENGINEERED LUMBER

- 1. LVL LAMINATED VENEER LUMBER SHALL BE 2.0E MICROLLAM LVL.
- PSL PARALLEL STRAND LUMBER SHALL BE 2.0E PARALLAM PSL.
- 3. LSL LAMINATED STRAND LUMBER SHALL BE 1.3E TIMBERSTRAND FOR STUDS, RIM BOARDS AND BLOCKING, 1.55E TIMBERSTRAND FOR JOIST, BEAMS AND HEADERS.

ENGINEERED LUMBER I-JOISTS

I-JOIST SHALL BE APA PERFORMANCE RATED MANUFACTURED IN CONFORMANCE WITH PRI-400, PERFORMANCE STANDARD FOR APA EWS. I-JOIST FLANGES TO HAVE MINIMUM WIDTH OF 1 1/2" 7 MINIMUM THICKNESS OF 1 5/16". WEBS TO BE PLYWOOD OR OSB WITH MINIMUM THICKNESS OF 3/8". FOR ONE HOUR CONSTRUCTION, PRI-50 JOISTS ARE REQUIRED AT 24" OC. MAX., SEE ESR-1405. PROPER STORAGE, HANDLING AND INSTALLATION SHALL BE FOR THESE PLANS AND MANUFACTURER'S RECOMMENDATIONS.

- NOTE BELOW.
- 2. CONFLICTS: NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE 3. THE SPACING CENTER TO CENTER OF NAILS IN THE DIRECTION OF STRESS 4. SHALL NOT BE LESS THAN THE REQUIRED PENETRATION. HOLES FOR NAILS, WHERE NECESSARY TO PREVENT SPLITTING, SHALL BE BORED TO A IAMETER SMALLER THAN THAT OF THE NAIL
 - DIAMETER ANCHOR OR MACHINE BOLTS WITH A MINIMUM OF 7 INCHES EMBEDMENT INTO THE CONCRETE AND WITHIN 12 INCHES OF EACH END OF EACH PLATE. SPACE ANCHORS AT 48 INCHES ON CENTER U.O.N. ANCHORS SHALL BE LOCATED A MAXIMUM OF 2 INCHES FROM THE FACE OF STUD RECEIVING WOOD STRUCTURAL PANELS. ANCHOR BOLT HOLES 1/32 TO 1/16 INCH LARGER THAN THE ANCHOR BOLT DIAMETER. HOLES MORE THAN 1/16 INCH LARGER THAN THE ANCHOR BOLT SHALL BE EPOXY FILLED UNDER THE 2. FASTENER SCHEDULE FOR STRUCTURAL MEMBERS - THE CONNECTIONS CONTINUOUS SUPERVISION OF A LICENSED SPECIAL INSPECTOR
 - 6. BOLTS: NOT LESS THAN 7 BOLT DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER. BOLT HOLES 1/32 TO 1/16 INCH LARGER THAN THE BOLT DIAMETER. ALL NUTS SHALL BE TIGHTENED WHEN INSTALLED AND RE-TIGHTENED AT THE COMPLETION OF WORK OR BEFORE ROOF CLOSING IN. THREAD PROJECTION SHALL BE 1/16 INCH MIN MUM BEYOND THE NUT. BOLTS IN SPECIFIED SLOTTED HOLES SHALL BE CENTERED
 - IN THE SLOT UON. LAG SCREW CLEARANCE & LEAD HOLES SHALL BE BORED AS FOLLOWS: THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK. THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 60% TO 75% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION.
 - NUTS, NOTED PW, SHALL BE SQUARE STEEL PLATE WASHERS:

SIZE

	-	
BOLT DI	AM TH	ICKNESS
(IN)	(IN)	(IN)
1/2	1/4	3 X 3
5/8	1/4	3 X 3
3/4	5/16	3 X 3
7/8	5/16	3 X 3
1	3/8	3 1/2 X 3 1

- 3/8 31/2X32 9. CUT STEEL WASHERS: FOR BOLTS, LAGS AND NUTS, UON.
- 10. FRAMING CONNECTORS: PER MANUFACTURER'S APPROVED PRODUCT EVALUATION REPORTS ICC APPROVED AND INSTALLED ACCORDINGLY. SIZE AND NUMBER OF NAILS TO BE MAXIMUM SPECIFIED BY THE MANUFACTURER
- 11. NAILED/SCREWED HOLD DOWN ANCHORS: INSTALL PER MANUFACTURER'S APPROVED ICC PRODUCT EVALUATION REPORT. INSTALL HOLD DOWNS 1/2 INCH MINIMUM ABOVE THE PLATE TO ALLOW FOR TIGHTENING ANCHOR BOLT. THE HOLD DOWN SHALL BE INSTALLED TIGHT TO THE HOLD DOWN POST WITHOUT FILLERS OR DAPPING. DO NOT BEND HOLD DOWN ANCHORS.
- 12. BOLTED HOLD DOWN ANCHORS: INSTALL PER MANUFACTURER'S APPROVED ICC PRODUCT EVALUATION REPORT. INSTALL HOLD DOWNS 1/2 INCH MINIMUM ABOVE THE PLATE TO ALLOW FOR TIGHTENING ANCHOR BOLT. TIGHTEN HOLD DOWN ANCHOR BEFORE TIGHTENING POST BOLTS. USE EXTRA CARE IN BORING THE POST BOLT HOLES (1/32 TO 1/16 LARGER THAN THE BOLT
- DIAMETER). THE HOLD DOWN SHALL BE INSTALLED TIGHT TO THE HOLD DOWN POST WITHOUT FILLERS OR DAPPING. THE POST BOLTS SHALL NOT BE COUNTERSUNK INTO THE HOLD DOWN POST UON. DO NOT BEND HOLD
- DOWN ANCHORS. 13. PRESERVATIVE TREATED WOOD: WOOD EXPOSED TO THE WEATHER; FOUNDATION PLATES ON CONCRETE SLABS, FOUNDATIONS WHICH ARE IN
- DIRECT CONTACT WITH EARTH SHALL BE TREATED WOOD WITH PRESERVATIVE RETENTION AS REQUIRED FOR USE. NEWLY EXPOSED SURFACES RESULTING FROM FIELD CUTTING, BORING OR HANDLING SHALL BE FIELD TREATED IN 3. 1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL ACCORDANCE WITH AWPA M-4.
- 14. TOP PLATES: TWO PIECES, SAME SIZE AS STUDS, STAGGER SPLICE 4'-0" MINIMUM, CENTER SPLICES OVER STUDS, SPLICE WITH 12-16d MINIMUM UON. 15. FULL-DEPTH SOLID BLOCKING OR CROSS BRACING: INSTALLED AT
- INTERVALS NOT EXCEEDING 8 FEET FOR ALL JOISTS AND RAFTERS 2x12 AND DEEPER.
- 16. SOLID BLOCKING: TWO INCH FULL WIDTH BLOCKING (FIRE STOPS) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- WOOD MEMBERS EXCEPT WHERE SHOWN IN THE DETAILS. HOLES THROUGH WOOD STRUCTURAL PANELS (PANEL) PLATES, STUDS AND DOUBLE PLATES IN WALLS SHALL FOLLOW DETAIL 5/SD1.0, THE MEMBER WIDTH AND SHALL BE LOCATED IN THE CENTER OF THE MEMBER.
- 18. PARTITIONS: DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOISTS AND 2. WALL PANELS......OSB OR STRUCTURAL I, 15/32 INCH 32/16 PROVIDE SOLID BLOCKING UNDER PARTITIONS PERPENDICULAR TO JOISTS.
- THEIR ENDS HELD IN POSITION WITH EITHER: FULL DEPTH SOLID BLOCKING;
- NAILED BRIDGING;
- NAILING OR BOLTING TO OTHER FRAMING MEMBERS; OR
- APPROVED JOIST HANGERS.
- HARDWARE, FASTENERS AND CONNECTORS. 21. FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE OF HOT DIPPED
- ZINC-COATED GALVANIZED STEEL LUMBER GRADES DOUGLAS FIR/LARCH
- GRADING RULES FOR WESTERN LUMBER. 19% MAXIMUM MOISTURE CONTENT AT TIME OF PLACEMENT.
- DIMENSION LUMBER: BLOCKING (2" TO 4" THICK, 2" TO 4" & NONBEARING STUDS WIDE; STANDARD) (10' MAXIMUM)
- DIMENSION LUMBER: BEARING
- (2" TO 4" THICK, 2" TO 4" STUDS JOISTS & RAFTERS WIDE; NO. 2) DIMENSION LUMBER: JOISTS AND RAFTERS
- (2" TO 4" THICK, 5" AND STUDS, BLOCKING, WIDER; NO. 2)
- BEAMS AND STRINGERS:
- (5" AND THICKER, WIDTH MORE THAN 2" GREATER THAN THICKNESS; NO. 1)
- POSTS AND TIMBERS:

(4" AND	6", AND LARGER, W	IDTH NOT	MORE THAN 2" GREAT	FER THAN THIC	KNESS;						
NO.2)											
6. H	OLD DOWN POSTS:	(NO. 2)		WALL STUDS	TABLE						
ABBRE	/IATION:			TRIB WIDTH -	= 10 FT, ROOF	DL= 20, LL	= 20, FLOO	R DL <mark>=</mark> 15, Ll	L = 40		
& ARCH.	AND ARCHITECTURAL	FTG. GLB	FOOTING GLU-LAM BEAM					MAX. S	PACING		
BLDG.	BUILDING	JST		STUD SIZE	STUD HEIGHT		2 ST	ORY		3 STORY	
BM.	BEAM	M.B. MIN.	MACHINE BOLT MINIMUM			1 STORY	2 _{ND} LEVEL	1 _{st} level	3 _{RD} LEVEL	2 _{ND} LEVEL	1 _{st} level
BOT. CONC.	BOTTOM CONCRETE CONTINUOUS	No. or # O.C.	NUMBER ON CENTER	2X4	10'-0"	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.	N/A
CONT. DBL. DET.	DOUBLE DETAIL	REF. SIM.	REFERENCE	2X4	12'-0"	16" O.C.	16" O.C.	12" O.C.	16" O.C.	12" O.C.	N/A
DIA. DIM. EA.	DIAMETER DIMENSION EACH	SQ. STAGG.	SQUARE STAGGERED	3X4	12'-0"	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.
E.E. E.F.	EACH END EACH FACE	STD. STL. T.&B.	STANDARD STEEL TOP & BOTTOM	2X6	12 '- 0"	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.	12" O.C.
EL. E.N. EQ.	ELEVATION EDGE NAILING EQUAL	THK. TYP.	THICK TYPICAL	2–2X4	12'—0"	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.
E.S. E.W. F.G.	EACH SIDE EACH WAY FINISH GRADE	U.O.N. VERT.	UNLESS OTHERWISE NOTED VERTICAL	2–2X6	12'-0"	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.	16" O.C.
FL.	FLOOR	W/ W/O		*LOWER STUD	os Must be inl	INE WITH U	PPER STUDS	5			

SIZE PENN

END. TOE NAIL

TOENAII BLOCKING (NOT AT THE WALL TOP PLATE) TO RAFTER OR TRUSS, END NAIL2-16d FLAT BLOCKING TO TRUSS AND WEB FILLER FACE NAI ..14d @ 6" O.C. CL'G. JOIST TO TOP PLATE, EACH JOIST, TOENAIL ..3-8d CL'G. JOIST LAPS OVER PARTITIONS(NO THRUST), FACE NAIL.. ...3-16d OWNER NOR ARCHITECT/ENGINEER WILL ENFORCE SAFETY MEASURES OR 8. SQUARE STEEL PLATE WASHERS (PW): ANCHOR BOLTS, BOLTS, LAGS AND 3. CL'G. JOIST ATTACHED TO PARALLEL RAFTER(HEEL JOINT), FACE NAIL PER DETAIL 4. COLLAR TIE TO RAFTER, FACE NAIL .3-10d

NAI

STUD TO STUD (NOT AT BRACED WALL PANELS), FACE NAIL16d @24" O.C. ..16d @16" O.C. ...4-8d TOP PLATE TO TOP PLATE, FACE NAIL. .16d @16"O.C. ..8-16d .16d @16"O.C. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING), FACE NAIL ..2-16d @16"O.C. ...4-8d ..2-16d2-16d ...2-8d ..2-8d ...3-8d JOIST TO SILL, TOP PLATE OR GIRDER, TOENAIL ..3-8d RIM /BAND JOIST/ BLK'G TO TOP PLATE/SILL/OTHER FRAMING BELOW. ..8d @ 6" O.C.

TOENAIL

2. STUD TO STUD & ABUTTING STUDS AT INTERSECTING WALL CORNER, FACE 3. BUILT-UP HEADER(2" TO 2" HEADER), EACH EDGE, FACE NAIL......16d @16"O.C. CONTINUOUS HEADER TO STUD, TOENAIL 6. TOP PLATE TO TOP PLATE(AT END JOISTS), EACH SIDE OF END JOINT, FACE 7. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS), FACE NAIL STUD TO TOP OR BOTTOM PLATE, TOENAIL STUD TO TOP OR BOTTOM PLATE, END NAIL TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL...... 12. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL 13. 1"x6" SHEATHING TO EACH BEARING, FACE NAIL 14. 1"x8" AND WIDER SHEATHING TO EACH BEARING.FACE NAIL. FLOO

...2-8d 4. 2" SUBFLOOR TO JOIST OR GIRDER, FACE NAIL. ..2-16d 5. 2"PLANKS(PLANK & BEAM - FLOOR&ROOF), EACH BEATING, FACE NAL......2-16d 6. BUILT-UP GIRDERS AND BEAM,2" LUMBER LAYERS, FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES... ...20d @32" O.C. BUILT-UP GIRDERS AND BEAM,2" LUMBER LAYERS, EACH SPLICE , FACE NAIL ...2-20d 7. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS, EACH JOIST OR RAFTER, FACE NAIL ...3-16d

8. JOIST TO BAND JOIST OR RIM JOIST, END NAIL. ...3-16d 9. BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS, EACH END, TOENAIL ..2-8d

1. REFERENCES: PS1, PS2, APA STANDARD PRP-108, NATIONAL EVALUATION SERVICE REPORT NER-108

3. ROOF PANELS.....OSB OR STRUCTURAL I, 15/32 INCH 32/16STURD-I-FLOOR, SANDED 19/32 INCH 20 OC, T&G (EXTERIOR EXPOSURE AT BALCONIES AND DECKS)

5. BLOCKING: A) WALLS: ALL UNSUPPORTED PANEL JOINTS SHALL BE BLOCKED SOLID WITH 3x BLOCKING

6. NAILING: COMMON WIRE NAILS. PANEL NAILS SHALL BE DRIVEN SO THAT THE HEADS ARE FLUSH WITH THE SURFACE OF THE PANEL. FIELD NAILING (FN) SHALL BE 12 INCHES ON CENTER AND THE MINIMUM PANEL EDGE DISTANCES SHALL BE MAINTAINED. COMPLY WITH PS 20, AMERICAN SOFTWOOD LUMBER STANDARD AND STANDARD 7. MACHINE NAILING: SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR THIS PROJECT AND REVIEW BY THE ENGINEER. THE USE

1. ALL NAILING SHALL BE COMMON WIRE NAILS AND FOLLOW THIS TABLE:

	DIAMETER	WIRE	PENETRATION
IY	INCHES	GAGE	INCHES
	0.134	10-1/4	1-5/8
	0.148	9	1-7/8
	0.165	8	2
	0.000	0	2 2/0

PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT. 1-1/2 INCHES OF PENETRATION FOR 10d AND 16d NAILS IS ACCEPTABLE FOR TOP PLATES AND DOUBLED 2X MEMBERS. WHERE THE NAIL PENETRATION WILL BE LESS THAN SPECIFIED, INCREASE NAIL LENGTH (SIZE) TO OBTAIN THE PENETRATION REQUIRED FOR THE NAIL SPECIFIED.

LISTED ARE THE MINIMUM PERMISSIBLE. USE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS. WHERE POSSIBLE, NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED INSTEAD OF TOE NAILS. SEE THE DRAWINGS FOR ADDITIONAL NAILING REQUIREMENTS.

1. CL'G. JOIST/RAFTER/TRUSS TO TOP PLATE/OTHER FRAMING BELOW, EACH .3-8d BLOCKING (NOT AT THE WALL TOP PLATE) TO RAFTER OR TRUSS, EACH END, ..2-8d

5. RAFTER OR ROOF TRUSS TO TOP PLATE, TOENAIL ..3-10d 6. ROOF FATHERS TO RIDGE VALLEY OR HIP RAFTERS OR RIDGE BOARD, END ..2-16d

ROOF FATHERS TO RIDGE VALLEY OR HIP RAFTERS OR RIDGE BOARD, TOENAIL ..3-10d

B) FLOORS & ROOFS: WHERE NOTED ON THE DRAWINGS, ALL SUPPORT PANEL JOINTS SHALL BE BLOCKED SOLID WITH 3x4 FLAT BLOCKING.

OF MACHINE NAILING IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. PANEL NAILS SHALL BE DRIVEN SO THAT THE HEADS ARE FLUSH WITH THE SURFACE OF THE PANEL AND THE MINIMUM PANEL EDGE DISTANCES ARE MAINTAINED.

8. GLUED FLOORS: FIELD GLUE TO ALL SUPPORTS AND T&G EDGES PER APA, AFG-01. FRAMING SHALL BE FREE OF SURFACE MOISTURE & DEBRIS PRIOR TO GLUING.

9. WOOD STRUCTURAL PANELS (PANELS): WHERE ADJACENT WALLS ARE PANELED, PANELS SHALL BE INSTALLED OVER AND UNDER OPENINGS.

STRUCTURAL STEEL

- 1. All structural steel materials and construction shall conform to the requirements specified in Building Code, Chapter 22 & Reference 2. Steel shall be primed with a rust resistance primer & should conform to ASTM A36 (fy=36 ksi) as a minimum, unless otherwise noted. All W
- shapes to be ASTM A992. (fy=50 ksi) 3. Steel pipe shall conform to ASTM A53, Grade B (Fy=35 ksi).
- 4. Round HSS tubing shall conform to ASTM A500 Grade B (Fy=42 ksi)
- 5. Rectangular and square HSS tubing shall conform to ASTM A500, Grade B (Fy=46 ksi). 6. HP sections shall conform to ASTM A572, Grade 50 (Fy=50 ksi).
- All structural welding procedures and materials shall conform to Building Code, Section 2204.1. All welding shall be by the shield metal arc welding
- process or the submerged arc welding process using E7OXX-low hydrogen electrodes, unless otherwise noted. All bolts for connections of steel members shall conform to Building Code, Section 2204.2 & ASTM A325N, unless otherwise noted. Holes for bolts
- should be drilled or punched & shall be 1/16" larger than bolt diameter.
- Prefabricated steel moment frames per manufacturer. Steel moment frame manufacturer shall submit shop drawing, design calculations, and approved moment frame test report (ICC, IAMPO, or test per Appendix S of AISC SEISMIC PROVISION) to E.O.R. for review 10. All shop welding and fabrication must be done in a shop approved by a special inspection agency which is approved by the Building Official. All field welding must be performed by a certified welder and a special inspector shall continuously inspect all structural field welding. Both shall be
- approved by the Building Official. CONCRETE MASONRY
- All concrete masonry materials and construction shall be in accordance with Building Code, Chapter 21
- All materials making up finished concrete masonry construction shall conform to standards required by Building Code Sec. 2103. 3. Mortar shall be type M or S as applicable and conforming with ASTM C270 and shall be proportioned per Article 2.1 & 2.6A of Specification for Masonry Structures (TMS 602-13/ACI 530.1-13/ASCE 6-13).
- Grout shall comply with Article 2.2 & 2.6 of TMS 602-13/ACI 530.1-13/ASCE 6-13 and shall attain a minimum compression streng h at 28 days of 2000 psi or the required compression, fm, whichever is greater. The compressive strength of grout shall be determined in accordance with ASTM C-1019.
- Concrete masonry units shall conform to ASTM C90 for load bearing concrete masonry units. Concrete brick shall conform to ASTM C55, Specifications for Concrete Building Brick
- Grade N concrete bricks are for use as architectural veneer and facing, limited to in exterior walls.
- Grade S concrete bricks are for general use where moderate strength and resistance to frost action and moisture penetration is required.
- The specified compressive strength of masonry, fm, shall be 2000 psi, unless noted otherwise. Special inspec ion for concrete masonry construction shall be carried out in accordance with Building Code Section 1704 and requirements in Special Inspection tables on sheet SN1.0. Masonry compressive strength, f'm shall be verified by Unit strength method or Prism test method prior to and during construction as described in Building Code, Section 2105.

SHOTCRETE

STRUCTURAL WET-MIX SHOTCRETE SHALL BE ALLOWED WHEN SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS AND WHERE THE OWNER, CONTRACTOR AND CONCRETE SUPPLIER COMPLY WITH THESE PROCEDURES, IN ADDITION TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC) SECTION 1913. 2. LIMITATIONS

A) STRUCTURAL WET-MIX SHOTCRETE SHALL NOT BE PLACED WHERE THE STREAM FROM THE NOZZLE CANNOT DIRECTLY IMPINGE ON THE SURFACE ON WHICH THE SHOTCRETE IS TO BE PLACED. WHERE CONDITIONS PRECLUDE THE POSSIBILITY OF OBTAINING CORES FROM THE STRUCTURE, THIS METHOD SHALL NOT BE USED.

B) THE MAXIMUM SIZE OF REINFORCEMENT SHALL BE #5 BARS UNLESS IT CAN BE DEMONSTRATED BY PRE-CONSTRUCTION TESTS THAT ADEQUATE ENCASEMENT OF LARGER BARS WILL BE ACHIEVED.

C) LAP SPLICES OF REINFORCING BARS SHALL UTILIZE NONCONTACT LAP SPLICES UNLESS IT CAN BE DEMONSTRATED BY PRE-CONSTRUCTION TESTS THAT ADEQUATE ENCASEMENT OF BARS WILL BE ACHIEVED, AND PROVIDED THAT THE SPLICE IS ORIENTED SO THAT A PLANE THROUGH THE CENTER OF THE LAPPED BARS IS PERPENDICULAR TO THE SURFACE OF THE SHOTCRETE

D) SHOTCRETE SHRINKAGE SHALL BE LIMITED TO 0.06 PERCENT AT THREE MONTHS AS DETERMINED BY ASTM C157 E) SHOTCRETE MAY ONLY BE APPLIED TO TIED COLUMNS WHERE THE SPACING OF THE REINFORCING STEEL IS THE SAME AS FOR WALLS UNLESS IT CAN BE DEMONSTRATED BY PRE-CONSTRUCTION TESTS THAT ADEQUATE ENCASEMENT OF THE BARS USED IN THE DESIGN CAN BE ACHIEVED

3. INSPECTION

A) SHOTCRETE REQUIRES CONTINUOUS INSPECTION BY A REGISTERED DEPUTY

INSPECTOR

B) CONTINUOUS INSPECTION SHALL BE PROVIDED FOR THE PLACEMENT OF ALL REINFORCING STEEL, THE PLACEMENT OF SHOTCRETE AND THE ASSEMBLY,

SHOOTING, TESTING AND DISASSEMBLY OF PRE-CONSTRUCTION TEST PANELS

4. PRE-CONSTRUCTION TEST

A) TEST PANELS SHALL BE REPRESENTATIVE OF THE PROJECT AND SIMULATE JOB CONDITIONS AS CLOSE AS POSSIBLE. PANEL THICKNESS AND REINFORCING SHALL REPRODUCE THE THICKEST AND MOST CONGESTED AREA SPECIFIED IN STRUCTURAL DESIGN. MULTIPLE TEST PANELS MAY BE NECESSARY TO PROVIDE A COMPLETE REPRESENTATION OF THE ACTUAL CONDITIONS WHERE SHOTCRETE IS TO BE USED.

B) THE TEST PANELS SHALL BE SHOT AT THE SAME ANGLE, USING THE SAME EQUIPMENT AND NOZZLEMAN, AND WITH THE SAME CONCRETE MIX DESIGN THAT WILL BE USED ON THE PROJECT.

C) THE TEST PANELS SHALL BE CURED, THEN DISASSEMBLED, EXAMINED, SAWED AND/OR CORE DRILLED AT THE DISCRETION OF THE STRUCTURAL ENGINEER AND NSPECTOR, AND TESTED PRIOR TO COMMENCEMENT OF SHOTCRETE WORK. D) TEST PANELS SHALL BE A MINIMUM OF 4 FEET SQUARE.

5. MATERIALS:

A) CEMENT SHALL COMPLY WITH ASTM C150, TYPE I OR TYPE II LOW ALKALI. B) AGGREGATE HALL BE NORMAL WEIGHT COMPLYING WITH ASTM C33. OMBINED AGGREGATE GRADATION SHALL MEET ACI 506R,

TABLE 1.1. RADATION NO. 2. C) WATER SHALL BE CLEAN AND POTABLE

D) ADD WATERPROOFING ADMIXTURE PER WATERPROOFING CONSULTANT'S RECOMMENDATIONS AT PERIMETER RETAINING WALLS.

6. CONDITIONS: A. FLASH COATS AND FINISH COATS ARE NOT PERMITTED UNLESS FULL DESIGN THICKNESS IS ACHIEVED WITHOUT CONSIDERING THE

FLASH COAT OR FINISH COAT B. MINIMUM SLUMP SHALL BE 1 1/2" AND MAXIMUM SLUMP SHALL BE 2 1/2". SLUMP SHALL BE MEASURED AT THE POINT OF DISCHARGE FROM THE MIXER, EXCEPT THE BUILDING INSPECTOR MAY REQUIRE SLUMP TESTS AT THE DISCHARGE POINT WHERE WATER MAY HAVE BEEN ADDED.

C. A CAPABLE NOZZLEMAN'S HELPER WITH AN AIR BLOW PIPE SHALL BE PROVIDED TO ASSIST THE NOZZLEMAN IN KEEPING ALL REBOUND BUILD-UP OUT OF THE WORK

D. ADDITIONAL WORKERS MAY BE REQUIRED TO TAKE THE REBOUND FROM THE WORK IF THE REBOUND CANNOT BE REMOVED BY THE AIR BLOW PIPE. E. NO KEY WAYS OR EMBEDMENTS SHALL BE PLACED IN THE FRONT FACE THAT WILL INTERFERE WITH THE STREAM FROM THE

NOZZLE. F. THE CONTRACTOR AGREES TO PROVIDE A DESIGNATED LIAISON BETWEEN HIS CREW, THE DEPUTY INSPECTOR AND THE

GOVERNING AGENCY. G. THE DEPUTY INSPECTOR SHALL BE INTERVIEWED AND APPROVED BY GOVERNING AGENCY PRIOR TO INSPECTING WORK AT THE

JOB SITE. ONE DEPUTY INSPECTOR SHALL BE ASSIGNED TO EACH NOZZLE. DISLODGED IN SUFFICIENT QUANTITY TO DAMAGE THE SHOTCRETE DURING THE APPLICATION OF THE SHOTCRETE. RIGID OR OTHER

H. RIGID OR OTHER APPROVED BACKING SHALL BE PLACED AGAINST THE EARTH WHERE THERE IS ANY POTENTIAL OF SOIL BEING APPROVED NON-ORGANIC BACKING SHALL BE USED TO BRIDGE VOIDS IN THE EMBANKMENT.

I.IN THE EVENT THAT A PREVIOUSLY PRESUMED SOLID EMBANKMENT SHOULD SLOUGH OR SHED DIRT IN SUFFICIENT QUANTITY TO DAMAGE THE CONCRETE, THE WET-MIX SHOTCRETE PLACEMENT WORK IN THAT AREA SHALL CEASE UNTIL RIGID BACKING IS INSTALLED AND CONTAMINATED SHOTCRETE IS REMOVED.

J. TO REDUCE THE POSSIBILITY OF LAMINATIONS, SECTIONS SHOULD BE GUNNED TO THEIR FULL DESIGN THICKNESS IN ONE LAYER BY BENCH OR SHELF SHOOTING. K. THE HEIGHT OF A LAYER SHALL NOT EXCEED 3 FEET AND SUCCEEDING LAYERS SHALL NOT BE PLACED IN LESS THAN 3 HOURS. NO

SLOUGHING OR SAGGING SHALL BE PERMITTED. WHEN SPECIFICALLY DESIGNED BY THE ENGINEER OF RECORD THAT A SUCCEEDING LAYER IS TO BE PLACED IN LESS THAN 3 HOURS, A LESSER TIME MAY BE APPROVED BY THE GOVERNING AGENCY.

L. DETAILS OF COLD JOINTS, INCLUDING SLOPE OF JOINTS, SHALL BE SHOWN ON THE APPROVED PLANS. WHEN SHOOTING UP TO THE UNDERSIDE OF EXISTING CONCRETE, THE LAST 2 INCHES SHALL BE DRY PACKED OR AN APPROVED METHOD OF DRY PNEUMATIC CONCRETE USED. EXCEPTION: PROVIDED THE DETAIL OF THE JOINT IS SLOPED SO THAT THE CLOSURE OF THE COLD JOINT MADE WITH STRUCTURAL WET-MIX SHOTCRETE DOES NOT SAG AWAY FROM THE UPPER SURFACE AND PROVIDED BOTH SIDES OF THE

COLD JOINT HAVE TAKEN THEIR INITIAL SET, THE JOINT CLOSURE MAY BE MADE WITH WET-MIX SHOTCRETE. M. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE IN A MANNER THAT PREVENTS ANY MOVEMENT DURING THE APPLICATION OF THE SHOTCRETE.

N. CONCRETE OR MASONRY TO RECEIVE SHOTCRETE SHALL HAVE THE ENTIRE SURFACE THOROUGHLY CLEANED AND ROUGHENED AND JUST PRIOR TO RECEIVING SHOTCRETE, SHALL BE THOROUGHLY CLEANED OF ALL DEBRIS, DIRT AND DUST. CONCRETE AND MASONRY SHALL BE WETTED BEFORE SHOTCRETE IS DEPOSITED, BUT NOT SO WET AS TO OVERCOME SUCTION. SAND USED FOR SANDBLASTING SHALL BE CLEAN, SHARP AND UNIFORM IN SIZE, WITH NO PARTICLES THAT WILL PASS A 50-MESH SCREEN.



SN1.0 GENERAL NOTE S1.0 FOUNDATION PLAN S2.0 FLOOR FRAMING PLAN S3.0 | ROOF FRAMING PLAN SD1.0 | FRAMING SECTION DETAIL SD2.0 FOUNDATION SECTION DETAIL

PROJECT DESIGN DATA

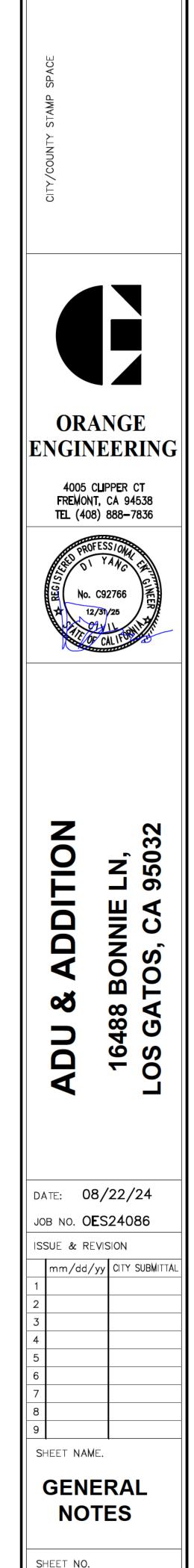
GOVERNING CODE: 2022 CALIFORNIA BUILDING CODE (CBC).	
STRUCTURAL DESIGN LOADS:	
1. ROOF LOADS:	
DEAD LOAD 15 PSF	
LIVE LOAD	
2. CEILING LOADS: (ATTICS WITHOUT STORAGE)	
DEAD LOAD	
LIVE LOAD	
3. FLOOR LOADS:	
DEAD LOAD	
LIVE LOAD	
4. DECK LOADS:	
DEAD LOAD 15 PSF	
LIVE LOAD	
WIND DESIGN	
1. WIND SPEED 92 MPH RISK CATEGORY II,	
EXPOSURE C, WIND PRESSURE MIN 16 PSF USED	
Kh=0.85, Kzt=1, Kd=0.25, I=1	
$\label{eq:selsmicdesign} \begin{array}{llllllllllllllllllllllllllllllllllll$	
FOUNDATION	
1. FOUNDATION MATERIAL: SEE REINFORCED CONCRETE	
2. MINIMUM FOUNDED DEPTH & WIDTH OF FOOTINGS:	
BELOW ROUGH PAD GRADE24"	
BELOW LOWEST ADJACENT FINISHED GRADE	
WIDTH16" MIN.	
3. BASE OF FOOTINGS & SLABS: SEE PLAN	
4. ALLOWABLE SOIL PRESSURES:	
DL + LL LOAD1,500 PSF	
ALL LOAD (WIND/SEISMIC) FORCES2,000 PSF	
 ROOF AND AREA DRAINAGE: SHALL BE DIRECTED AWAY FROM THE FOUNDATIONS. 	
6. BACK FILL: EXCAVATIONS SHALL BE PROPERLY BACKFILLED. BACK FILL FO	R
WALLS SHALL BE PERVIOUS MATERIAL. DO NOT PLACE BACK FILL BEHIND	
WALLS BEFORE THEY HAVE ATTAINED THEIR DESIGN STRENGTH. SHORE A	ND
PROTECT WALLS FROM LATERAL LOADS UNTIL THE SUPPORTING MEMBER	S
ARE IN PLACE HAVE DEVELOPED SPECIFIED STRENGTHS.	

SPECIAL INSPECTION REQUIREMENTS

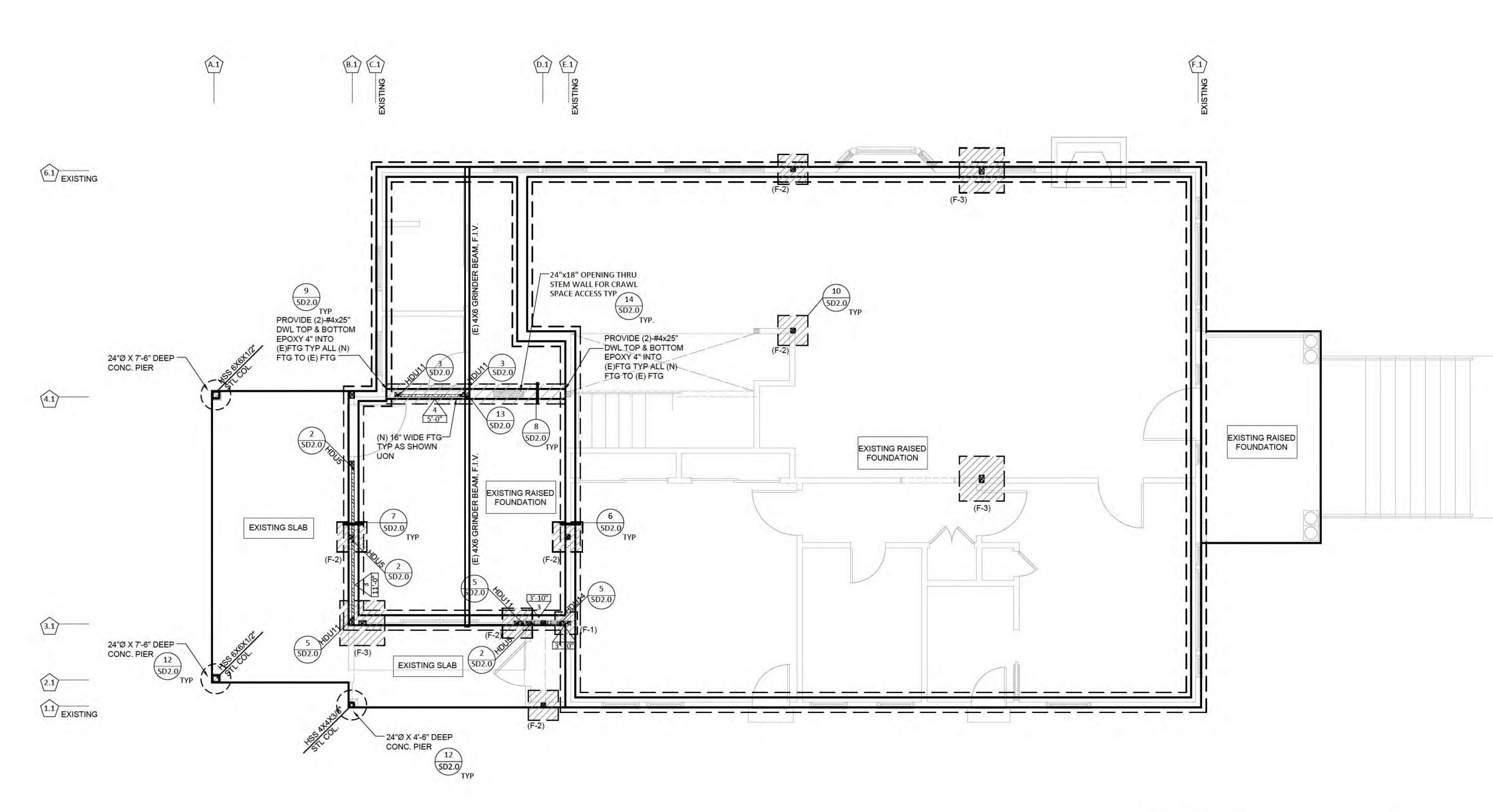
SPECIAL INSPECTION REQUIREMENTS

- SPECIAL INSPECTION AGENCY EMPLOYED BY THE OWNER.
- 2. REPORTS: PREPARED AND SIGNED BY THE INSPECTOR, SUBMITTED TO THE BUILDING OFFICIAL AND THE ENGINEER. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF NOT CORRECTED, TO THE BUILDING OFFICIAL AND THE ENGINEER.
- CERTIFICATION: INSPECTOR MUST BE CITY CERTIFIED BY THE BUILDING OFFICIAL TO PERFORM THE TYPES OF INSPECTIONS SPECIFIED.
- RESPONSIBILITY: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.
- 5. SPECIAL INSPECTIONS REQUIRED FOR THE FOLLOWING ITEM .: (A) SHEAR WALLS WITH NAILING 4" SPACING OR LESS

(B) HFX STEEL STRONG WALL



SN1.0 DRAWN BY:



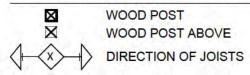
FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

PAD FOOTING SCHEDULE										
MARK	FOOTING SIZE	1-STORY THICKNESS	2-STORY THICKNESS	REINFORCING						
(F-1)	1'-6" x 1'-6"	18"	24"	3-#4 EA. WAY						
(F-2)	2'-0" x 2'-0"	18"	24"	4-#4 EA. WAY						
(F-3)	3'-0" x 3'-0"	18"	24"	4-#5 EA. WAY						
(F-4)	4'-0" x 4'-0"	18"	24"	6-#5 EA. WAY						
(F-5)	5'-0" x 5'-0"	18"	24"	7-#5 EA. WAY						

							PLY	WOOD SHEAR WAL	L SCHEDULE					
EC		ILING	FDN. SIL	L PLATE	ANCHOR BO	LT SPACING	A35/LTP4	CLIPS SPACING	F	PLATE CONN	ECTION NAILING		CAPACI	ry (PLF)
MARK	TYPE	SPACING	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	RIM/BLKG	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE
××	1	6" O.C.	2x	-	32" O.C.		18" O.C.		16d @ 6" O.C.	2x			310	
$\overline{\nabla}$	2	4" O.C.	2x	3x	24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	16d @ 4" O.C.	3x	SDS @ 6" O.C.	3x	460	920
	3	3" STAGG	3x	3x	16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 16d @ 6" O.C.	3x	(2) SDS @ 10" O.C.	4x	600	1200
××	4	2" STAGG	. 3x	3x	12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 6" O.C.	3x	(2) SDS @ 6" O.C.	4x	770	1540
2. 3. 4. 5. 6. 7. 8.	STUDS NTERI NAILS NAILS NAILS SDS DI ALL AN WALL. a. 5/8 b. SIM c. 5/8	SHALL BE OR SHEAR SHALL BE C SHALL BE S FOR PRESE ENOTES 1/4 ICHOR BOL PLATE WAS Ø" A.B. W/ x IPSON RET Ø" x 7" SIMF	2X4 MIN I WALLS S OMMON TAGGER RVATIVE "Ø SDS V TS SHALI SHER. PL 7" MINIM ROFIT FC 2SON TIT	MUM ANE HALL BE ED IN TW -TREATE VOOD SC L HAVE 3 ATE WAS IUM EMBI DUNDATIO EN HD.	SPACED @ EXTENDED T LACED AT LE/ O LINES ALO D WOOD SHA REWS WITH 2 "SQ.x1/4" W/ 1 HER TO EXTE EDMENT INTO DN PLATES U	I6" O.C. MAXIN HROUGH THE AST 1/2" FROM NG PANEL ED LL BE HOT-DI 2" MINIMUM PE 1/16"x1 3/4"DI, 2ND TO WITHII 0 CONCRETE. RFP/FRFP PE	MUM. U.N. ATTIC TO T GES WHEN P GALVANIZ ENETRATION AGONAL SLO N 1/2" OF TH OR R MANUFAC	NAIL SPACING IS 3" ED. N INTO FRAMING BE	NG. 1/2" FROM THE ED OR LESS O.C. (MIN LOW. ROWS OF SI VASHER O/ PLATE ILL PLATE ON THE ATION.	NIMUM SPAC DS SHALL BE WASHER) PL	NECTION MEMBER OF ING BETWEEN NAIL L STAGGERED 1/2" AP ATE WASHERS. USE SHEATHING.	INES IS 1/2") ART.		SHEAR

SYMBOLS LEGEND



LENGTH

X SDX

BM#

WOOD POST WOOD POST ABOVE

SHEAR PANEL LENGTH AND SCHEDULE SHEAR PANEL LENGTH AND SCHEDULE

DETAIL

BEAM NUMBER, REFER TO E.O.R. CALCULATIONS

(x.x) SHEAR LINE

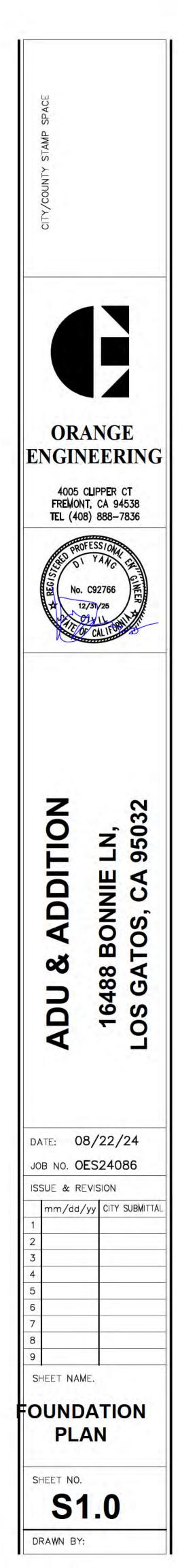
- PAD FOOTING

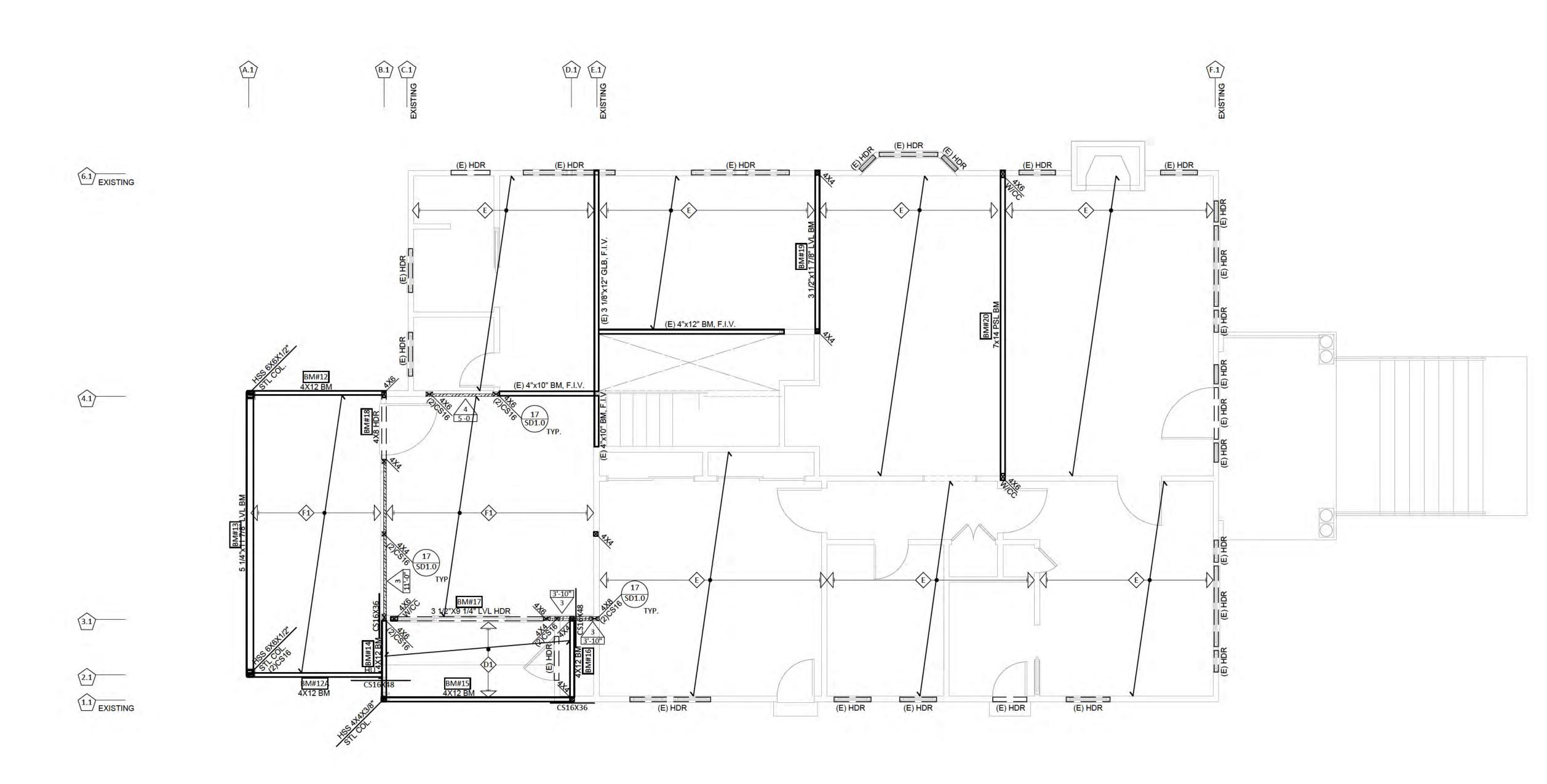
FRAMING NOTES

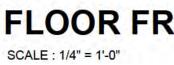
- 2 X 6 ROOF RAFTERS @ 12" O.C.
- (F1) 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

FOUNDATION NOTES

- 1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
- PLAN SHOWS STRUCTURAL SLAB, WALLS, ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS.
- CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
- 2. SEE STRUCTURAL SPECIFICATIONS ON SHEET SN1.0.
- 3. NEW STEM WALL FTG. SHALL BE 16" WIDE CONT. FTG. W/ (2)-#4 T&B & #3 VERT @ 24" O.C. TYP.
- 4. PROVIDE 2x SOLID BLOCKING @ 8' OC BETWEEN FL JOIST TYP. 5. ALL FLOOR USE 3/4" PLYWOOD T&G WITH 10d@ 6" O.C. EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
- 6. PROVIDE FLOOR PLYWOOD EDGE NAILS FULL LENGTH AT ALL SHEAR WALL LINE.
- 7. FL JST, GIRDER W/ HUTF HGR AT END TO WALL SILL PL TYP. 8. HOLDOWNS SHOULD BE RE-TIGHTENED JUST PRIOR TO COVERING
- THE WALL FRAMING. 9. ALL HOLDOWNS REQUIRED 4x4 MINIMUM POST.
- 10. THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION, REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
- 11. HOLDOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.







HANGER SCHEDULE (U.N.O.)									
SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ							
2X RAFTERS, DBL. RAFTERS	LSSJ, LSSR								
2X CEILING / FLOOR JOISTS, DBL. JOISTS	LUS, HU								
TJI FLOOR I-JOISTS	ITS								
4X BEAM SAWN LUMBER	HU	4X4 DF#2							
6X BEAM SAWN LUMBER	HU	4X6 DF#2							
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2							
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2							
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1							
1 3/4" MICROLAM	LSU, HU	2-2X4 DF#2							
TRUSS HANGERS	USE MANUF. S	UPPLIED HANGERS							

FLOOR FRAMING PLAN

							PLY	WOOD SHEAR WAL	L SCHEDULE					
E			FDN. SIL	L PLATE	ANCHOR BO	LT SPACING	A35/LTP4	CLIPS SPACING	F	LATE CONN	ECTION NAILING		CAPACIT	TY (PLF)
MARK	TYPE	SPACING	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	RIM/BLKG	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE
X-X 1	1	6" O.C.	2x		32" O.C.		18" O.C.		16d @ 6" O.C.	2x			310	
V.	2	4" O.C.	2x	Зx	24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	16d @ 4" O.C.	3x	SDS @ 6" O.C.	3x	460	920
3	3	3" STAGG.	. 3x	Зx	16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 16d @ 6" O.C.	3x	(2) SDS @ 10" O.C.	4x	600	1200
××	4	2" STAGG.	. 3x	3x	12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 6" O.C.	3x	(2) SDS @ 6" O.C.	4x	770	1540

ALL SHEAR PANEL SHALL BE 1/2" OSB OR CDX PLYWOOD. ALL FIELD NAILING SHALL BE 10d @ 12" O.C.
 STUDS SHALL BE 2X4 MINIMUM AND SPACED @ 16" O.C. MAXIMUM. U.N.
 INTERIOR SHEAR WALLS SHALL BE EXTENDED THROUGH THE ATTIC TO THE ROOF SHEATHING.

4. NAILS SHALL BE COMMON NAILS, PLACED AT LEAST 1/2" FROM PANEL EDGES AND AT LEAST 1/2" FROM THE EDGE OF CONNECTION MEMBER OF ALL PANELS. 5. NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 3" OR LESS O.C. (MINIMUM SPACING BETWEEN NAIL LINES IS 1/2")

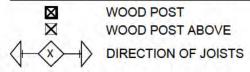
6. NAILS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIP GALVANIZED.

SDS DENOTES 1/4"Ø SDS WOOD SCREWS WITH 2" MINIMUM PENETRATION INTO FRAMING BELOW. ROWS OF SDS SHALL BE STAGGERED 1/2" APART. 8. ALL ANCHOR BOLTS SHALL HAVE 3"SQ.x1/4" W/ 11/16"x1 3/4"DIAGONAL SLOT *USE STD. CUT WASHER O/ PLATE WASHER) PLATE WASHERS. USE 3"x4 1/2" AT 6" THICK SHEAR WALL. PLATE WASHER. PLATE WASHER TO EXTEND TO WITHIN 1/2" OF THE EDGED OF THE SILL PLATE ON THE SIDE WITH SHEATHING. a. 5/8Ø" A.B. W/ x 7" MINIMUM EMBEDMENT INTO CONCRETE. OR

b. SIMPSON RETROFIT FOUNDATION PLATES URFP/FRFP PER MANUFACTURE'S RECOMENDATION.

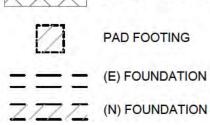
c. IN NON-P.T. SLABS, 5/80" EXPENSION BOLT W/ 2 3/4" MIN. EMBEDMENT W/ MINIMUM 9" EDGE DISTANCE.

SYMBOLS LEGEND



WOOD POST WOOD POST ABOVE

SHEAR PANEL LENGTH AND SCHEDULE LENGTH SHEAR PANEL LENGTH AND SCHEDULE (X) SDX DETAIL BM# BEAM NUMBER, REFER TO E.O.R. CALCULATIONS X.X SHEAR LINE



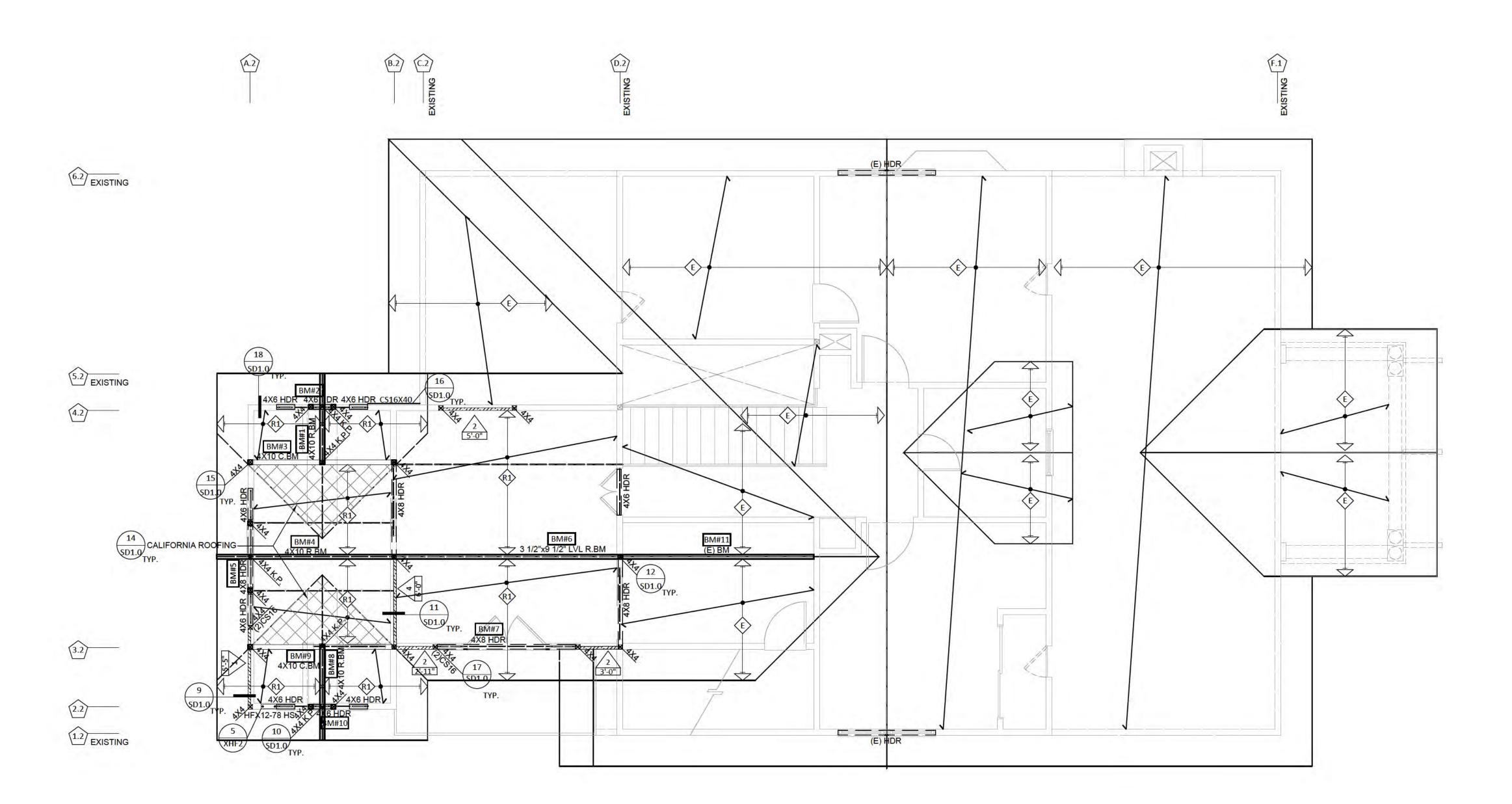
FRAMING NOTES

- 2 X 6 ROOF RAFTERS @ 12" O.C.
- (F1) 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

FRAMING NOTES

- 1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. PLAN SHOWS STRUCTURAL WALLS, ROOF LINES ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
- 2. SEE STRUCTURAL SPECIFICATIONS ON SHEET SN1.0.
- 3. FULL HEIGHT STUDS SHALL BE USED ON EXTERIOR WALLS OF ROOM WITH VAULTED CEILINGS. 2x6 STUD @ 16" O.C. FOR 12'-0" OR MORE WALL HIGH.
- 4. ALL ROOF USE 1/2" OSB PLYWOOD WITH 10d @ 6" O.C. EDGE NAILS
- AND 12" OC FIELD NAILS UNBLOCKED TYPICAL. 5. ALL FLOOR 3/4" PLYWOOD T&G WITH 10d@ 6" OC EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
- 6. PROVIDE SIMP. CS16x30" @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP AS SHOWN.
- 7. ALL BEAM TO BEAM SUPPORT USE HANGER PER HANGER SCHEDULE. 8. PROVIDE SIMP. CS16x30"MIN @ SIDE OF EXTERIOR WALL & SHEAR
- WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP. 9. PROVIDE PC4 CAP & BC4 BASE TYP AT EA END OF DROPPED FLOOR BM EXTEND POST DOWN TO FOUNDATION.
- 10. SOLID BLOCKING SHALL BE PROVIDED AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
- 11. ALL BEAMS PROVIDE 4x BEAM WIDTH POST. 12. HOLDOWN SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE
- WALL FRAMING. 13. ALL EXTERIOR WALLS AND WOOD FRAMED CHIMNEYS MUST BE
- SHEATHED WITH SHEAR PANEL U.N. 14. PLYWOOD OF ALL INTERIOR SHEAR WALL TO BE EXTENDED UP TO
- ROOF.
- 15. THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION, REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
- 16. HOLDOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.
- 17. GC SHALL VERIFY ALL BEARING WALL LOCATIONS PRIOR TO DEMOLITION AND REPORT TO EOR IF THERE ARE ANY DISCREPANCIES WITH CONSTRUCTION DOCUMENTS.







HANGER SCHEDULE (U.N.O.)								
SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.						
2X RAFTERS, DBL. RAFTERS	LSSJ, LSSR	1.14						
2X CEILING / FLOOR JOISTS, DBL. JOISTS	LUS, HU							
TJI FLOOR I-JOISTS	ITS	1.44						
4X BEAM SAWN LUMBER	HU	4X4 DF#2						
6X BEAM SAWN LUMBER	HU	4X6 DF#2						
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2						
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2						
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1						
1 3/4" MICROLAM	LSU, HU	2-2X4 DF#2						
TRUSS HANGERS	USE MANUF. S	UPPLIED HANGERS						

ROOF FRAMING PLAN

							PLY	WOOD SHEAR WAL	LSCHEDULE					
E	OGE NA	ILING	FDN. SIL	L PLATE	ANCHOR BO	LT SPACING	A35/LTP4	CLIPS SPACING	F	LATE CONN	ECTION NAILING		CAPACIT	ſY (PLF)
MARK	TYPE	SPACING	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	RIM/BLKG	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE
×× 1	1	6" O.C.	2x		32" O.C.	1	18" O.C.		16d @ 6" O.C.	2x	2.5 53		310	
V.	2	4" O.C.	2x	3x	24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	16d @ 4" O.C.	3x	SDS @ 6" O.C.	3x	460	920
$\overline{\nabla}$	3	3" STAGG.	3x	3x	16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 16d @ 6" O.C.	3x	(2) SDS @ 10" O.C.	4x	600	1200
V	4	2" STAGG.	3x	3x	12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 6" O.C.	3x	(2) SDS @ 6" O.C.	4x	770	1540
2. 3. 4.	STUDS	SHALL BE : OR SHEAR SHALL BE C	2X4 MINII WALLS S OMMON	MUM AND HALL BE NAILS, P	SPACED @ 1 EXTENDED T LACED AT LEA	16" O.C. MAXIN HROUGH THE AST 1/2" FROM	IUM. U.N. ATTIC TO T PANEL ED		NG. 1/2" FROM THE ED		NECTION MEMBER OF			

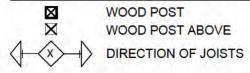
6. NAILS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIP GALVANIZED.

7. SDS DENOTES 1/4"Ø SDS WOOD SCREWS WITH 2" MINIMUM PENETRATION INTO FRAMING BELOW. ROWS OF SDS SHALL BE STAGGERED 1/2" APART. 8. ALL ANCHOR BOLTS SHALL HAVE 3"SQ.x1/4" W/ 11/16"x1 3/4"DIAGONAL SLOT *USE STD. CUT WASHER O/ PLATE WASHER) PLATE WASHERS. USE 3"x4 1/2" AT 6" THICK SHEAR WALL. PLATE WASHER. PLATE WASHER TO EXTEND TO WITHIN 1/2" OF THE EDGED OF THE SILL PLATE ON THE SIDE WITH SHEATHING. a. 5/8Ø" A.B. W/ x 7" MINIMUM EMBEDMENT INTO CONCRETE. OR

b. SIMPSON RETROFIT FOUNDATION PLATES URFP/FRFP PER MANUFACTURE'S RECOMENDATION.

c. 5/8Ø" x 7" SIMPSON TITEN HD. d. IN NON-P.T. SLABS, 5/8Ø" EXPENSION BOLT W/ 2 3/4" MIN. EMBEDMENT W/ MINIMUM 9" EDGE DISTANCE.

SYMBOLS LEGEND



LENGTH

(X) SDX

BM#

WOOD POST WOOD POST ABOVE

SHEAR PANEL LENGTH AND SCHEDULE SHEAR PANEL LENGTH AND SCHEDULE

DETAIL

BEAM NUMBER, REFER TO E.O.R. CALCULATIONS

(x.x) SHEAR LINE

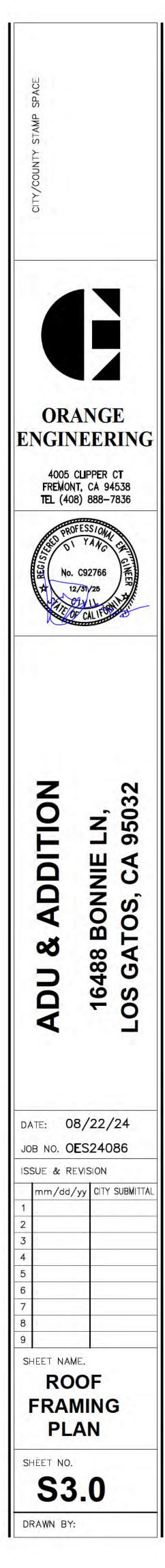
- PAD FOOTING

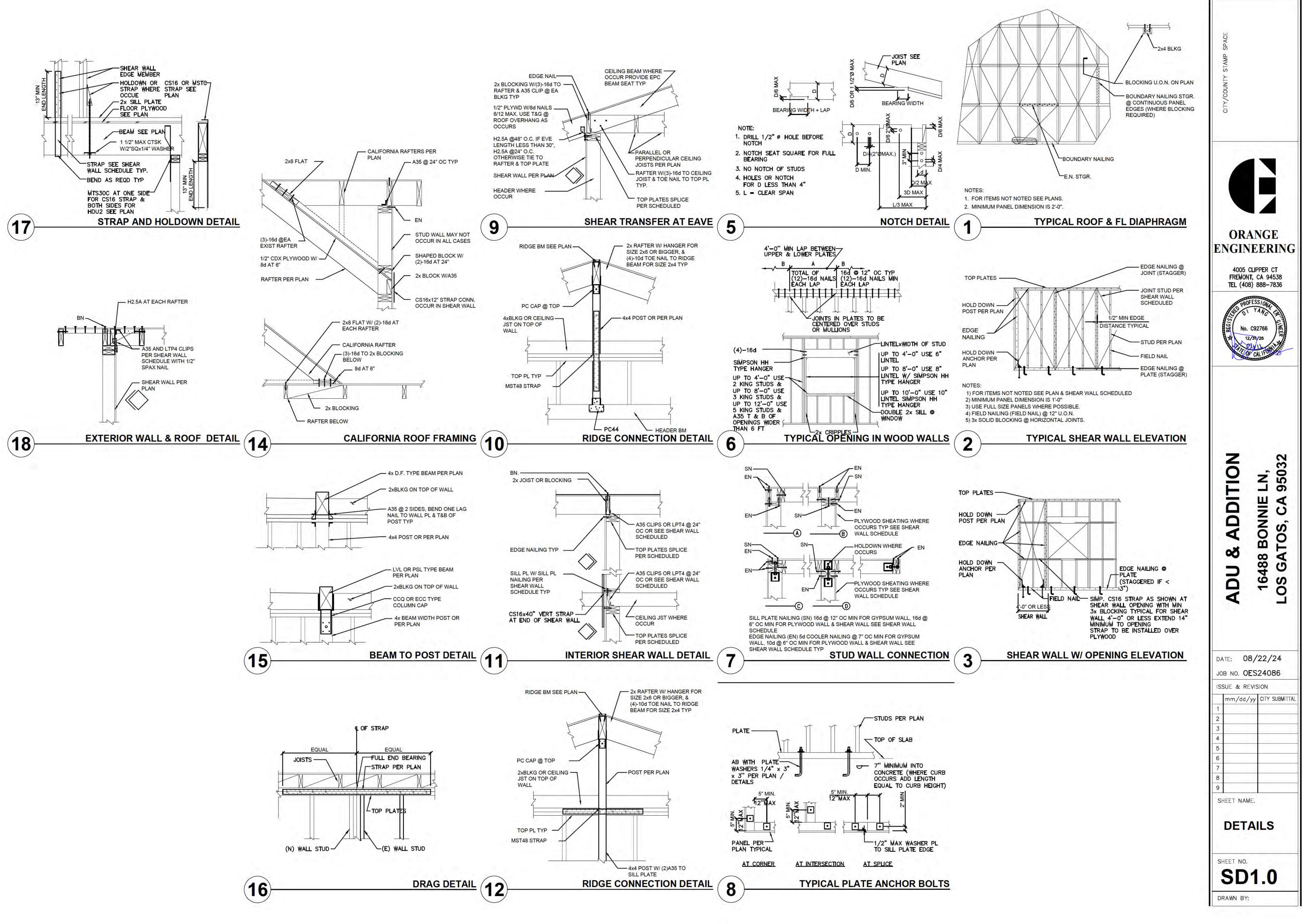
FRAMING NOTES

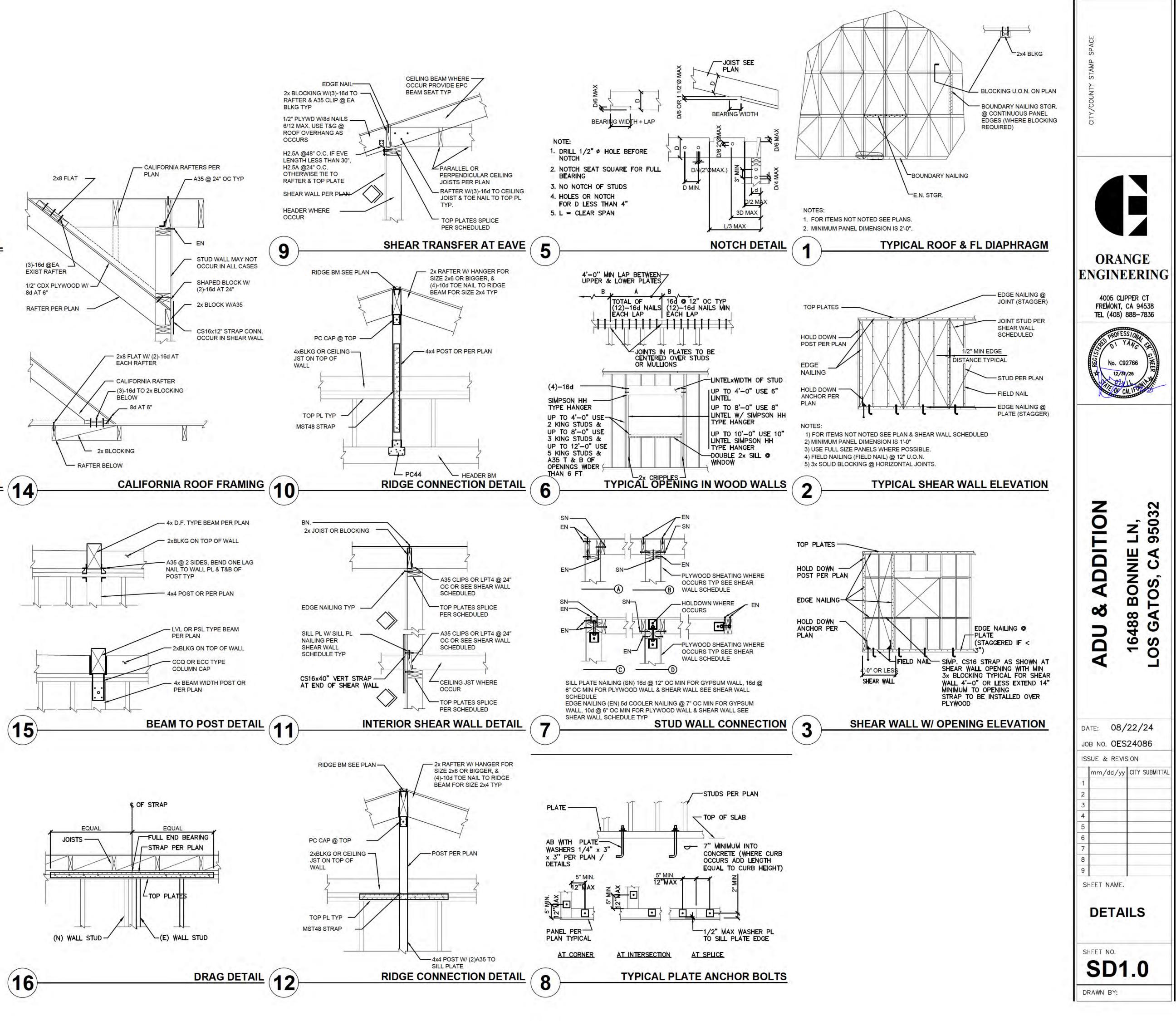
- (R1) 2 X 6 ROOF RAFTERS @ 12" O.C.
- (F1) 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

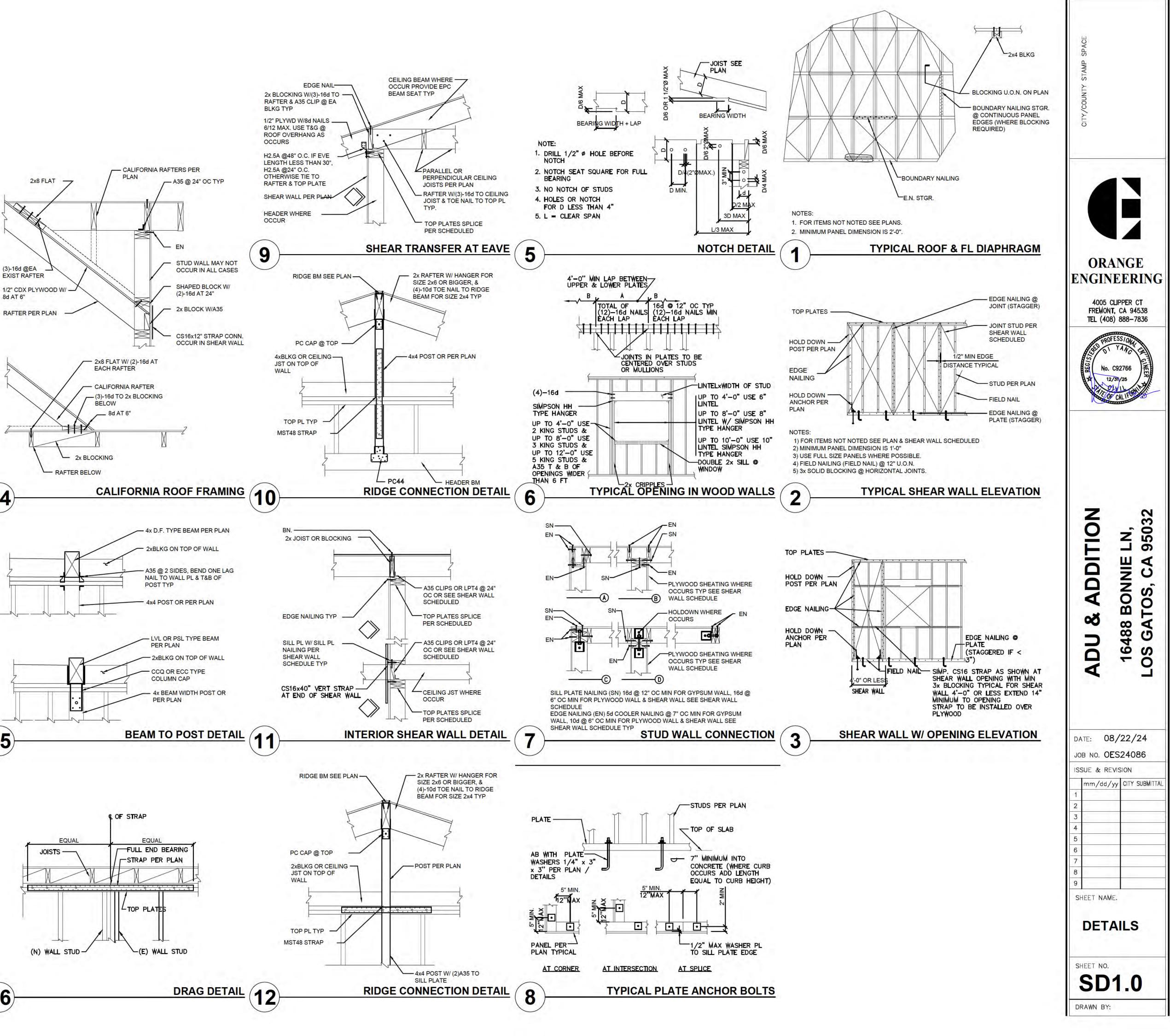
FRAMING NOTES

- 1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. PLAN SHOWS STRUCTURAL WALLS, ROOF LINES ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
- 2. SEE STRUCTURAL SPECIFICATIONS ON SHEET SN1.0.
- 3. FULL HEIGHT STUDS SHALL BE USED ON EXTERIOR WALLS OF ROOM WITH VAULTED CEILINGS. 2x6 STUD @ 16" O.C. FOR 12'-0" OR MORE WALL HIGH.
- 4. ALL ROOF USE 1/2" OSB PLYWOOD WITH 10d @ 6" O.C. EDGE NAILS AND 12" OC FIELD NAILS UNBLOCKED TYPICAL.
- 5. ALL FLOOR 3/4" PLYWOOD T&G WITH 10d@ 6" OC EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
- 6. PROVIDE SIMP. CS16x30" @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP AS SHOWN. 7. ALL BEAM TO BEAM SUPPORT USE HANGER PER HANGER SCHEDULE.
- 8. PROVIDE SIMP. CS16x30"MIN @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP.
- 9. PROVIDE PC4 CAP & BC4 BASE TYP AT EA END OF DROPPED FLOOR BM EXTEND POST DOWN TO FOUNDATION. 10. SOLID BLOCKING SHALL BE PROVIDED AT ALL HORIZONTAL JOINTS
- OCCURRING IN BRACED WALL PANELS.
- 11. ALL BEAMS PROVIDE 4x BEAM WIDTH POST.
- 12. HOLDOWN SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- 13. ALL EXTERIOR WALLS AND WOOD FRAMED CHIMNEYS MUST BE SHEATHED WITH SHEAR PANEL U.N.
- 14. PLYWOOD OF ALL INTERIOR SHEAR WALL TO BE EXTENDED UP TO ROOF.
- 15. THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION, REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
- 16. HOLDOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.
- 17. GC SHALL VERIFY ALL BEARING WALL LOCATIONS PRIOR TO DEMOLITION AND REPORT TO EOR IF THERE ARE ANY DISCREPANCIES WITH CONSTRUCTION DOCUMENTS.

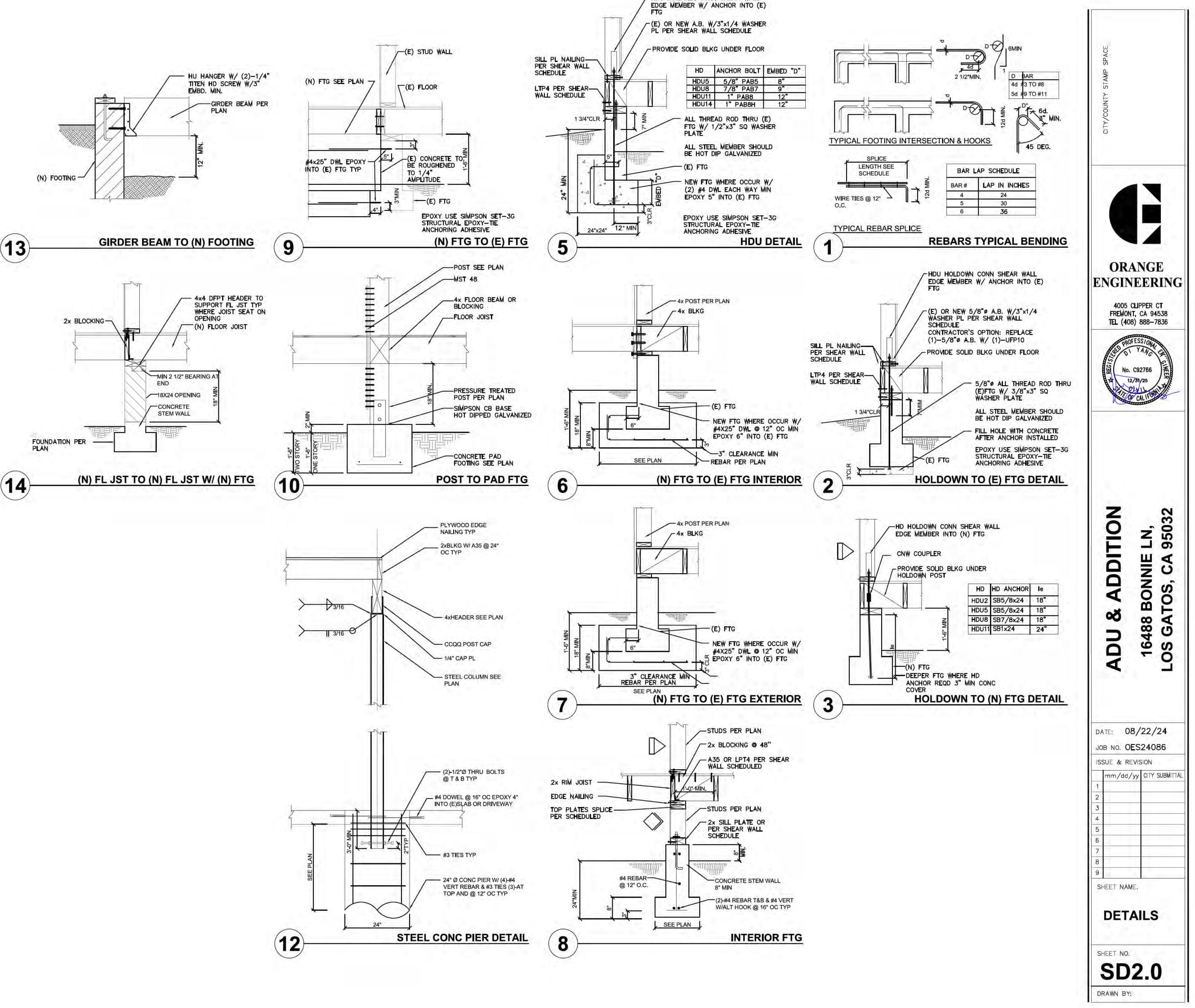




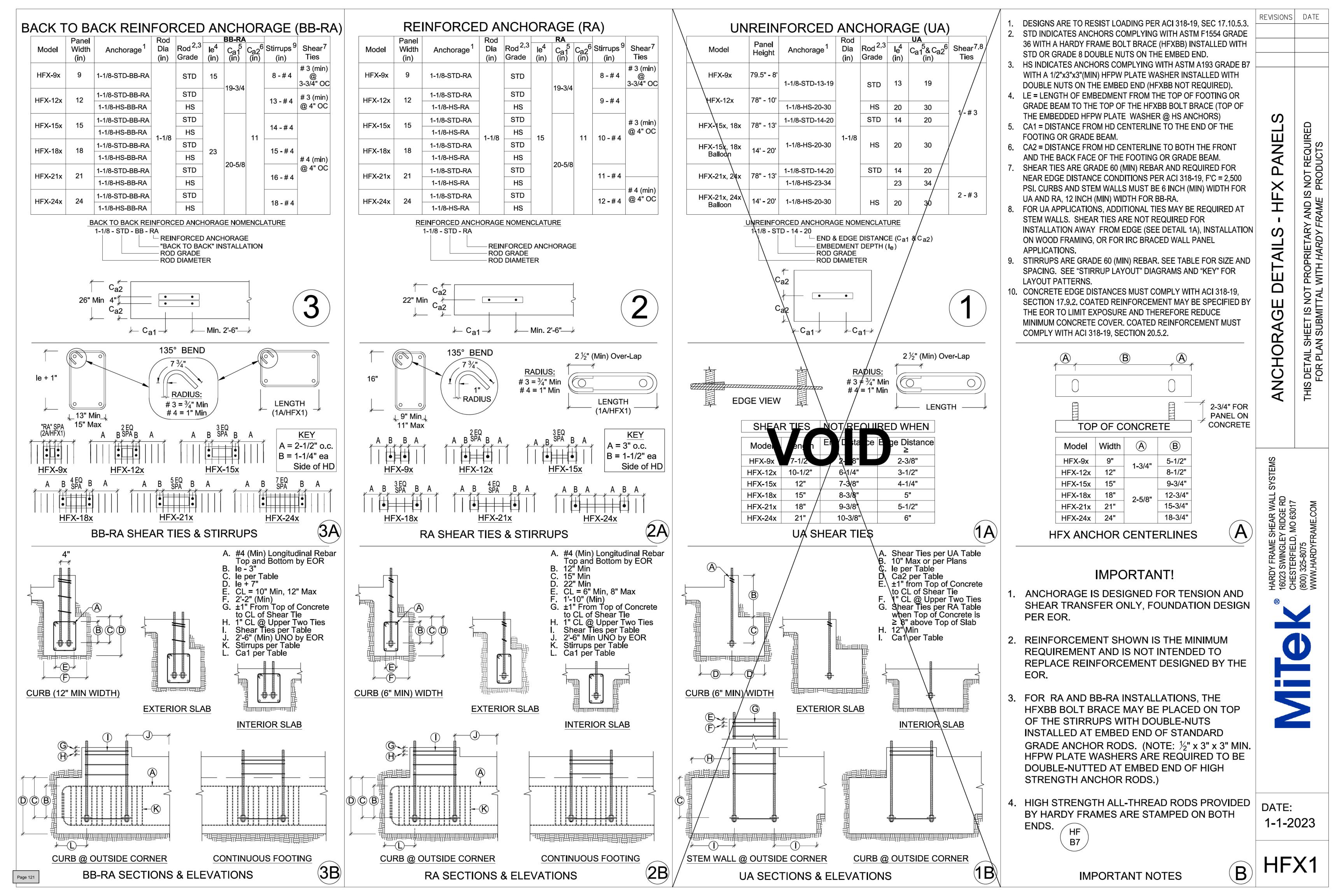


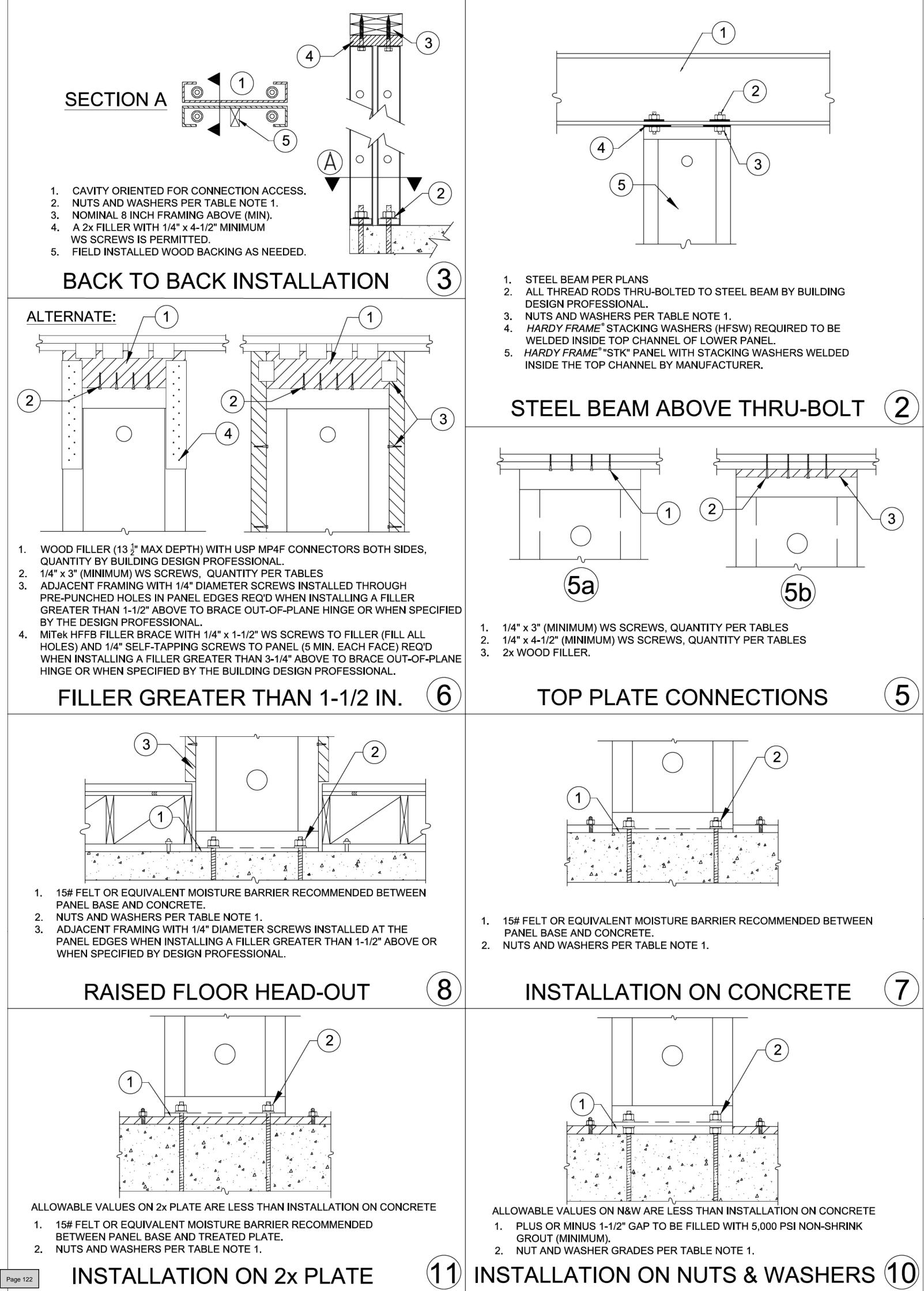


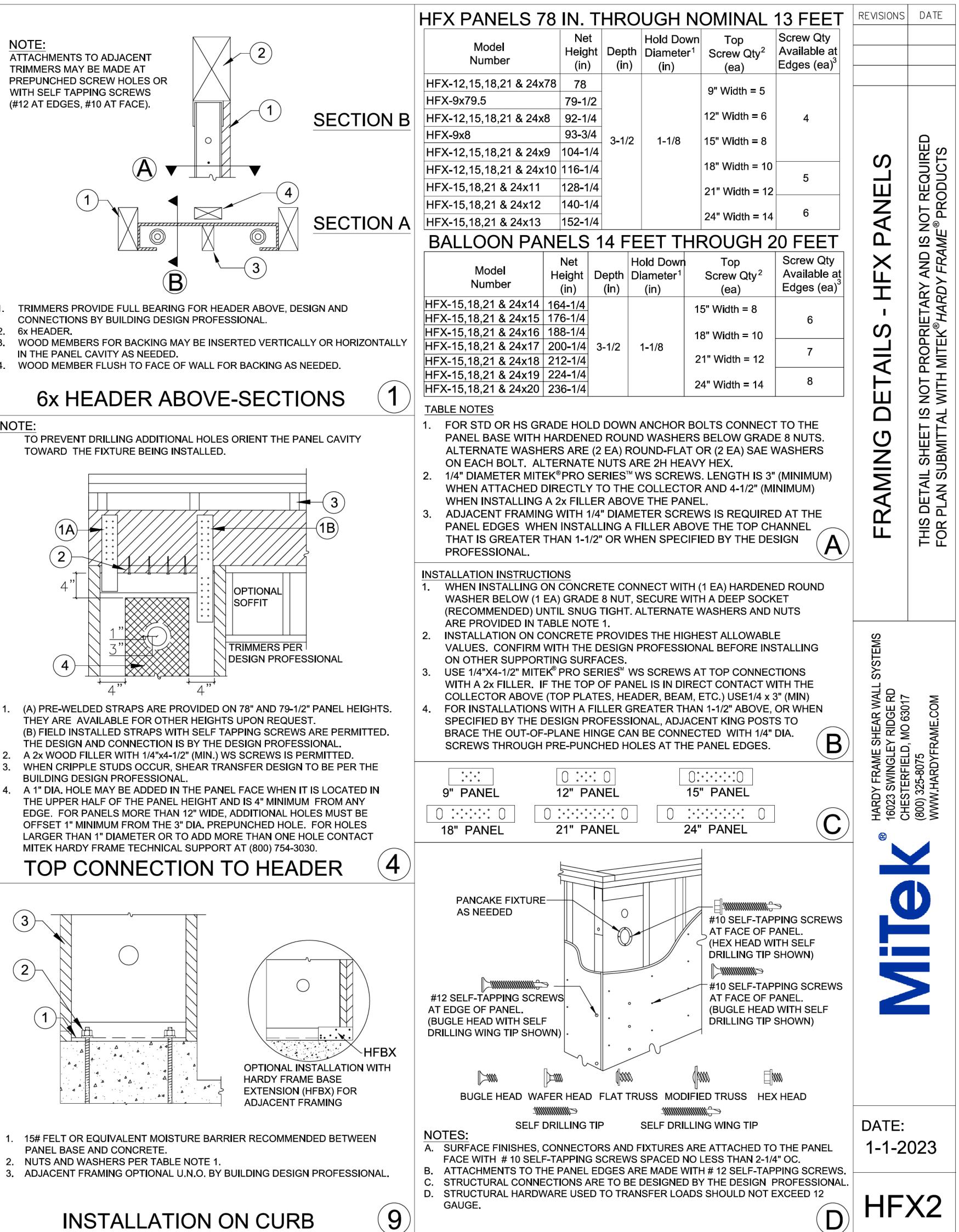
Page 119



- HDU HOLDOWN CONN SHEAR WALL EDGE MEMBER W/ ANCHOR INTO (E)

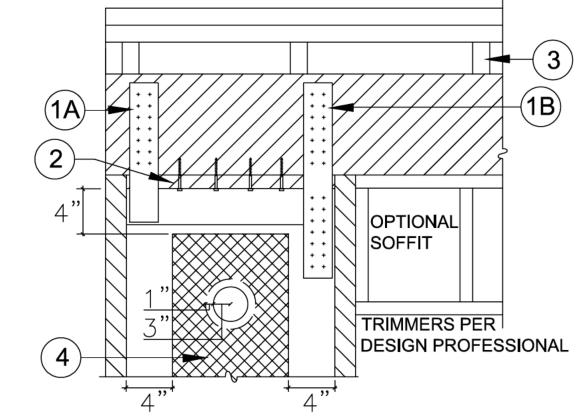




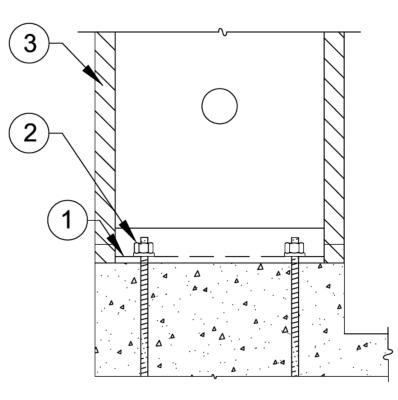


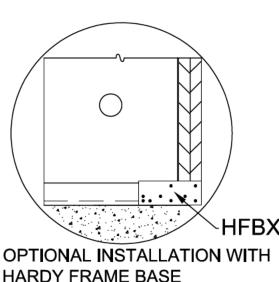
- 2. 6x HEADER.
- 4. WOOD MEMBER FLUSH TO FACE OF WALL FOR BACKING AS NEEDED.

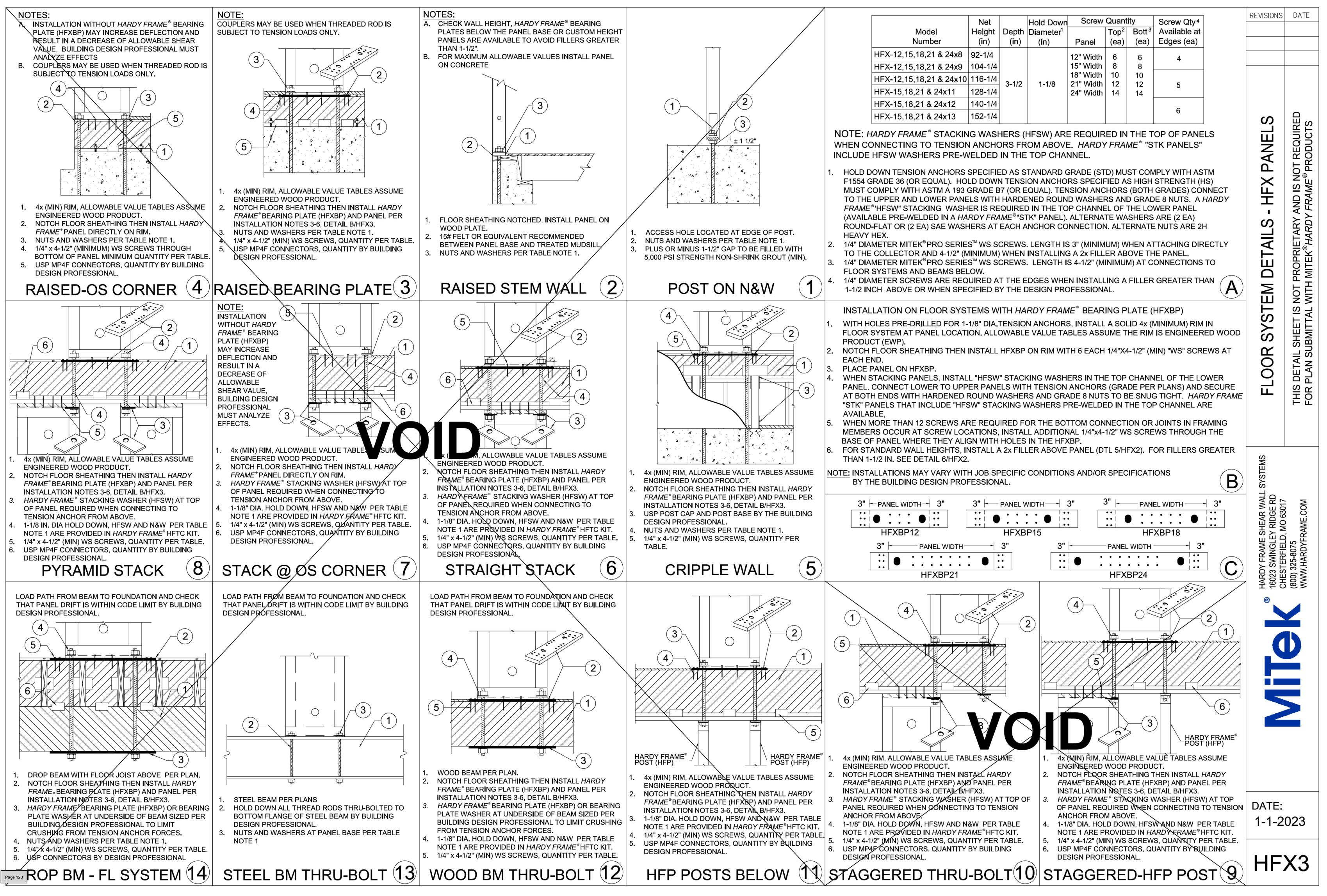
NOTE:



- 1. (A) PRE-WELDED STRAPS ARE PROVIDED ON 78" AND 79-1/2" PANEL HEIGHTS.
- A 2x WOOD FILLER WITH 1/4"x4-1/2" (MIN.) WS SCREWS IS PERMITTED
- 4. A 1" DIA. HOLE MAY BE ADDED IN THE PANEL FACE WHEN IT IS LOCATED IN







	Net		Hold Down	Screw	Quant	ity	Screw Qty ⁴
lodel	Height	Depth	Diameter ¹		Top ²	Bott ³	Available at
umber	(in)	(in)	(in)	Panel	(ea)	(ea)	Edges (ea)
8,21 & 24x8	92-1/4			12" Width	6	6	4
8,21 & 24x9	104-1/4			15" Width	8	8	•
8,21 & 24x10	116-1/4	3-1/2	1-1/8	18" Width 21" Width	10 12	10 12	5
1 & 24x11	128-1/4	0-1/2	1-1/0	24" Width	14	14	5
1 & 24x12	140-1/4						C
1 & 24x13	152-1/4						6

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ÂÂÇAÇ ĘÈÇÂÂÂ	EÀĮ ÁAAS ĐÃÇÀ	ÂĐĢ	ĢHÎÅÇE ÇÂĮÅÆÊĤ Â Ġ	ËÂ		ËÂ		ĄHĆ		ËÂ	ËÂ		E	ĒĄĮ	ËÂ
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01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type So	urface	Orientatio n	Azimuth	Width (ft)	Heigh t (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
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09

Wall Exception

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ĚĖĐĘ FÇ GAÄJE

Project Name: Ā AÀ ÁÂ ÀÄÄÄAA Calculation Date/Time: ÁHÁAĢŒĢĨHĂCHĒ Ì Ē ĆĢĬİÊHH (Page 4 of 13) Calculation Description: ĂĂĂĂĂĂĂĂÂÂÂĂÆĂÆ Input File Name: Ā AÀ ÁÂ À ÄÄÄAA BCACCCOODÄÅĎ

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Window and

Door Area (ft2)

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name Ā AÀ ÁÂ ÀÄÄAA

Project Location CCACCA AA ÁA À City ÁÆÍ ÂÆ

Zip code ÌĨ HÌ Á

Building Type ĘA ĐẢỜÃÉ AẢÆ

Fuel Type E ÂÆÇÂÅĐÂÆ

Project Scope ÃÄÄAA Â ÄËÇ ÃÅÅÇÂA

Climate Zone A

Addition Cond. Floor Area (ft²) AHC

01 Building Complies with Computer Performance

Existing Cond. Floor Area (ft²) ÁCÎ H

Total Cond. Floor Area (ft²) Î HÎ Ć

02 Building does not require field testing or HERS verification

03 This building incorporates one or more Special Features shown below

ADU Bedroom Count ËÂ

Run Title ĂĂĂĂĂĂĂĂĂĂĂĂĂĂ

Project Name: Ā AÀ ÁÂ À ÄÄÄAA

GENERAL INFORMATION

01

02

03

04

06

08

10

12

14

16

18

20

22

COMPLIANCE RESULTS

OPAQUE SURFACES 01

Name

ĴÇ ĀĶ ÂÅÅ

ÁAĞAK ÂÅÅ

ĐÀÂÇĶ ÂÅÅ

ĐẠĐẠK ÂÅÅ

ĴÇ ĀĶ ÂÅÅ

ÁÀĞĀK ÂÅÅ

ĐÀÂÇK ÂÅÅ

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ĶAÄĮ ÅĨ ĶAÄĮ

ĶAÄĮ ÅÌ ĶAÄĮ

ĶAÄĮÎH ĶAÄĮ

ĶAÄĮ ÎC ĶAÄĮ

ĐÀĐAÃ ÇÂÃA EÈÉ DÀÇÊ

Page 124

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02

Zone

ÉĎAÃÉ ĐÁASA Đ

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ÈĎAMÉ ĐÁAA Đ

ÃCÀÂ ĎAÃA ĐÁAA Đ

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EÀĮ ÁAAS ĐÃ ÇÀÂ ĐĢ ÎH ĐĞ ÃÃ AA Ġ

ĴÇĀĶÂÅĂ EÀĮÁAGEĐÃÇÀÂ

ÁÀĞĀKÂÅÅ EÀJÁAASÐÃÇÀÂ

ĐÀÂÇĶÂÅĨĂ EÀĮÁAAG ĐÃÇÀÂ

ĐAĐÃĶÂÂN EÀĮ ÁAG ĐÃ ÇÀÂ

Calculation Description: ĂAĂĂĂĂ Ã ÂĂÆĂÆ

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Azimuth

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Orientation Gross Area (ft²

Ĝà ĀÈAÅÄA ÞÓA (ĐA/EÈ)ĞGANGAG AEE, 🐔 ÄÂÇÄAÉGÁHÁÁ ĐÀ/ÉAÄÄAAAŠÉ ĤÁAAA GÀ

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03

Construction

ĐĢHĶ ÂÅÅ

ÐĢHĶ ÂÅÅ

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ĐĢỮ Ķ ÂÅÅ

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ĐĢÌC ĐĞ ÃÃAAĠ

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ĐẠC ĶÂĂ

ĐÀĐA 46ÂÃA ĚÂ Á À ËĂ A ÉÂ É É É É ĐÀĤÇ ĀĦÀQÉA Ê ÁHÁÁĊHÌHH ĘĠĂ É Â ĦÀQÉA Ê ÇÀG ÁHÁÁHÌ HC

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09

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Calculation Date/Time: ÁHÁĄĢŒĢĨHĂCHĒÌĒĆĢËEĤH

Input File Name: Ā AÀ ÁÂ À ÃÄÄAA BCCACCCCADÄÅĎ

Front Orientation (deg/ Cardinal) H

Number of Dwelling Units

Fenestration Average U-factor HCI

ADU Conditioned Floor Area ËÂ

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Tilt (deg)

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Number of Bedrooms

Number of Stories Å

Glazing Percentage (%) CACICI

No Dwelling Unit: E

Standards Version ÅHÅÅ

Software Version È À ŒÆÇ Ì ĊÎ

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Status

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CF1R-PRF-01-E

11

Verified Existing

Condition

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CF1R-PRF-01-E (Page 1 of 13)

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	н	ccĉċĄ	Н	ccï čïÁ	н	HĊĬĬ
Space Cooling	Н	ĆĆĆĨĬ	н	ต์ ต์ด	Н	HĊŒ
IAQ Ventilation	Н	H	н	н	Н	н
Water Heating	Н	Ácċâ	н	Ácċâ	Н	н
Self Utilization/Flexibility Credit				н		н
Efficiency Compliance Total	0	205.99	0	204.36	0	1.63
Photovoltaics		н		н		
Battery				н		
Flexibility]
Indoor Lighting	н	ćčîi	н	ććî		
Appl. & Cooking	н	CĈĊÌÁ	н	CĈĊÌÁ		21
Plug Loads	н	Áĩ ċhá	н	Áĩ chấ		
Outdoor Lighting	Н	cċđ	H	cċã		
TOTAL COMPLIANCE	0	257.97	0	256.34		

ĐÀĐAÃÇÂÃA EÈÉ DÀÇÊ

ATTIC

Ĝà ĀÈAÅÄA ÐÀ ŒÆĖČĞAKÖRĠÆEÆÄ ÄÂCÄÆGÁHÁÁ ÐÀÆAÄÄAÂĞÉ ĤÅAÂÀĠ

ĐÀĤÇ ĀĦÀÇÆA Ê ÁHÁÁĊHĚHHH Ęġà é â hàợéa ê çàg ấhắắhì hơ ĚĖĐĘ FÇ GAÄJE đànç đí à à cáđààêÁháag@egîhēēĒhêahêhá

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Ā AÀ ÁÂ À ÃÄÄAĀ Calculation Description: ĂAĂĂĂĄ Ã ÂÅǼAǼ

Calculation Date/Time: ÁHÁAG@GÎHĂCHÊ Ì Ê ĆĢIIIÊH Input File Name: Ā AÀ ÁÂ À ÄÄÄAA BCCACCCCADAÅĎ

(Page	5	of	13)	

CF1R-PRF-01-E

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Nam			Constructio	on		100	ype	Roof (x in	Rise	Roof lectance	Roof Emittance	Rad	iant	cool Roof	1	tatus	Verified Existin Condition
ÄAA GEĎAA ED	ÁAG ĐÃ ÇÀÂ	ÂĀĀ	ĞĖĎAǼA ĐÁ	AGĐÃÇÀÂ		HÀ	Ā Å Å	ĩċ	ĩ	HĊC	HĊŰ	E	1	E	ĖČ	ĎAÃÉ Đ	E
ÃATA ÓE ÀĮ Á	SA ĐÃÇÀÂ	ÃÃA	ĐẶ ĐĂ Į ÁA	G ĐÃÇÀÂ		ĦÀ	Ā A Å Ä Ä	ĩċ	ĩ	HĊC	ΗĊα	L	VÉ	E		EÀĮ	ËÂ
FENESTRATIO	N / GLAZING			_					-	-		-			-	_	
01	02	03	04	05	06	07	08	09	10	11	12		13	14	ia di	15	16
Name	Туре	Surface	Orientatio n	Azimuth	Width (ft)	Heigh t (ft)	Mult.	Area (ft ²)	U-factor	U-facto Source	SHG	с зн	GC Source	Exter Shad		Status	Verified Existing Condition
ĶAÄĮ	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н		F.	с	ć	cċáĉ	ĂÂDĂ CCHĊĆ		2	ĂÂDÅÀ CCHĊĆĢĀ	ĀÈÐĘO	çàà	ÊĎAÃÁÉ Đ	É
ĶAÄĮ Á	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	Н			с	ÁÁ	cċáĉ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĊĆĢĀ	ĀÈÐĘO	ŞÀÀ	ĖĎAĀKÁ Đ	E
ĶAÄĮÎ	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н			с	ć	cċáĉ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĊĆĢĀ	ĀÈÐĘO	φλλ	ĖĎAĀKÁ Đ	E
Ķ A Ä Į Ą	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ŞĨ	н	Ĩ		с	ĨĆĨ	cċáĉ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĊĠĀ	ĀÈÐĘO	içàà	ĖĎAĀKÉ Đ	E
ĶAÄĮĨ	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н			с	ĨĊĨ	cċáĉ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĊĆĢĀ	ĀĚĐĘO	áçàà	ėda Aria đ	E
ĶAÄĮ Ć	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н			с	Ć	cċấ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĊĠĢĀ	ĀÈĐĘO	ά¢λλ	ĖĎAĀKÉ Đ	E
ĶAĂĮÏ	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н			с	ÁÁ	cċấ	ĂÂDĂ CCHĊĆ			ĂÂDÅÀ CCHĆĆĢĀ	ĀÈÐĘO	ŔŔ	ĖĎAĀKÉ Đ	E
ĶAÄĮĈ	ĶAÄĮ	ĴÇ ĀĶÂÅÅ	ĴÇ Ā	н			с	ć	cċáĉ	ĂÂDĂ CCHĊĆ			ĂÂDĂÀ CCHĊĆĢĂ	ĀÈĐĘO	çàà	ĖĎAĀKÉ Đ	E

ĐÀĐAÃ ĐÃÃ E È É DÀCÊ

Ĝà ĀÈAÅÃA ĐÀ (ĐÆĖ)Ĝà MÃG ÆĘà ÄÂÇĂÆGÁHÁÁ ĐÀ ÉAÄÃAŠÉ ĤÅAÂÌĠ

ĐÀĐAÃÇÃÃ ĚÂÃÀËĂAFÂÊĒĒĒ ĐÀĤÇ ĀĦÀÇÆA Ê ÁHÁÁĊŀĊŀŀŀŀ ĘĠĂ É Â ĦÀĢÉA Ê ĢÀG ÁHÁÁHÌ HC

ĔĖĐĘ FÇ GAÄÀĒ ĐÀHÇ ĂÍ À À ÇÂĂÀÄÊÂHÂĄĢ¢HĢÎHĒĒĒHÊĄHÊHÁ

CF1R-PRF-01-E

(Page 8 of 13)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: ÁHÁĄĢŒĢÎHĂCHĒÌĒĆĢĤÊĤH Project Name: Ā AÀ ÁÂ À ÃÄÄAĀ Calculation Description: ĂĂĂĂĂĂĂĂĂÂÂÂĂÆĂÆ Input File Name: Ā AÀ ÁÂ À ÄÄÄAA Bứ ACCC CO ADÄÅĎ

CĄ

FENESTRATION / GLAZING 12 14 15 16 01 03 05 06 07 08 09 10 11 13 02 04 Verified Width Heigh Mult. Area U-factor Exterior Shading Name Surface U-factor SHGC SHGC Sour Status Existing Type Azimuth Source (ft) t (ft) Condition ĶAÄĮ ÎÁ ĶAÄĮ ÁÀĞĀĶ ÂÅÅ ÁÀĞĀ HĊÎ EĴÐ Ĝ HĊÁ EĴÐĜ ĀÈÐ ĘĠÇÀÀ EÃ EÀĮ ĶAÄĮ ÎÎ ĶAÄĮ ÁÀĞĀK ÂÅÂ ÁÀĞĀ EĴÐĜ HĊÁ EĴÐĜ EÃ HĊÎ ĀÈÐ ĘĠÇÀÀ EÀĮ ÌΗ ĴÇÀĠI ĚÇ ÁÀĞĀK ÂÅÅ ÁÀĞĀ HĊÎ EĴÐĜ HĊÁ EĴÐĜ EÀJ EÃ KAÄL ĂÈĐ Ę ĠÇĂĂ ÌН ĶAÄĮÎĄ ĶAÄĮ ĐÀÂÇĶÂÅÅ ĀÂĠ CĈH EĴÐĜ HĊÁ EĴÐĜ HĊÎ ĂÈĐ ĘĠĂĂ EÀĮ EÃ ĶAÄĮ ÎĨ ĶAÄĮ ĐÀÂÇK ÂÅÂ ĀÂĠ CĈH HĊÎ EĴÐ Ĝ HĊÁ EĴÐĜ ĀÈÐ ĘĠÀÀ EÀĮ EÃ ĶAÄĮ ÎĆ ĶAÄĮ ĐÀÂÇĶ ÂÅÂ ĀÂĠ HĊÎ EĴÐĜ HĊÁ EĴÐĜ ĂÈĐĘĠÇÀÀ EÀĮ EÃ CĈH ĶAÄĮ ÎÏ ĶAÄĮ ĐAĐẠK ÂẢĂ EÃ ÐAÐĀ ÂÏ H HĊÎ EĴÐĜ HĊÅ EĴÐĜ ĂĚÐ ĘĠÇÀÀ EÀĮ ĶAÄĮÎĈ ĶAÄĮ ĐAĐĀĶ ÂÅÃ HĊÎ EĴÐĜ HĊÅ EĴÐĜ ĀÈÐ ĘĠÇÀÀ EÀĮ EÃ ÐAÐĀ ÅΪΗ ĶAÄĮÎÌ ĶAÄĮ ĐAĐĀĶÂÅÅ ĐAĐĀ ÅÏH HĆÎ EĴÐĜ HĊÁ EĴÐĜ EÃ ĀÈÐ ĘĠÇÀÀ EÀĮ OPAQUE DOORS 02 06 01 04 05 03 Side of Building Verified Existing Condition Name Area (ft²) U-factor Status ĴÇ ĀĶ ÂÅÅ ÉĎAÃÉ Đ ÅH HĊĨ ĔC E ĔÇ Á ÁÀĞĀĶ ÂÅÅ ÉĎAÃÉ Đ HĊĨ E CÏ

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ÉĎAÃÉ Đ

Project Name: Ā AÀ ÁÂ À ÄÄÄAĀ Calculation Date/Time: ÁHÁĄĢŒŀĢÎHĂCHĒÌĒĆĢIIIÊHH Calculation Description: ĂAĂĂĂĂĂ Â ÂÅÆAÆ Input File Name: Ā A À ÁÂ À ÄÄÄAA BCACCCOOÄÁÁĎ

ENERGY USE INTENSITY Proposed Design (kBtu/ft² - yr) Compliance Margin (kBtu/ft² - yr) Standard Design (kBtu/ft² - yr) Margin Percentage ÁĈĊĄĂ ÁĈĊĨÁ HĊĨĬ HĊC Gross EUI¹ ÁĈĊ4 ÁĈĊĨÁ HĊĨĬ HĊC Net EUI² FĀÀǼ eeeccçezeeiilaze a qozei zeààa âàb ā a gàeàzo fhice àa âàaeaàaad ãgàac ĒĒĒ GEĀĀĀĖĬ IA ÆĀ ĢO ÆI ÆĀ ĂĀĀĀ ÂÅBA GĀ ÈÄA ĐEH ČË ĂĀ ÂÅĀ ÈAÄ ÄBJ Ã ÇÃÂ Č REQUIRED SPECIAL FEATURES ĂIÀ đẳả Į A ĐÂOÀ đÃĂĒ ÇĂ-CĂĂĂ ĂE È CÂDÀA AÊÂĂĂĂ Â CÉ CĂĂĂĂĂ A ČĘ. É ÀĂĂĂĐ ĂĂ É ĂĂ Å Ă À À OZEĤÀOČE, É Â ĠĂ ČĘ. ĂAAČEÉ ĤĚAŘIC, ÂNZE A AČ IJ EÀĮÄĖĠĄĮÇJÂÄÄÄÄÄ AAŠÅÁÉAÉLÂ ÁŰĞĞA ÅÄÐĀ HERS FEATURE SUMMARY ĂIÀ CĂĂ Į A ĐAASLÆĖĖĖ ÂĢEĞ AIA CAAÃEÇA-CATA A E EASIDA GAMĂGEÀÇAĞIĂ DAEA CAÇANGANĂ EDE E ĐAĐA ÇÃACA GATA A CÇE É AAPA ĐATA É ĂA ÅA A QUEĤAÇOG, É A GA CÇ. A AACEÉ ĤETA ÇÂ ÂABEA ASTA ÂA ÄÀĂAAÅÉR, GAĂĂA ĂĂ DĚAÅÄA AÃA DĂĂDÀÅ J ČĐÀĐAÃA Á ĜĴÁĐAÁĂĂ Ă ĜĴÍ ĐAÁÂĂ, ÇAKÈAÇÀĂĂ DÀČÉ ĤĂĂAĂA ĂĂ ĚĖĐĘ ĐÀĐAÃĘZE **BUILDING - FEATURES INFORMATION** 01 02 03 04 05 06 07 lumber of Dwelling Number of Ventilation Number of Water **Project Name** ditioned Floor Area (ft lumber of Bedroo Number of Zones Cooling Systems Heating Systems Units Ă AÀ ÁÂ ÂĂĂĂĂĂ ÎHÎĆ Á С н C ZONE INFORMATION 01 02 03 04 05 06 07 Zone Name Zone Type **HVAC System Name** Zone Floor Area (ft²) Avg. Ceiling Height Water Heating System 1 Status ĖĎAĀÉ ĐÁAG ĐÃÇÀÂ ĜÄAĀAÀÄ ĔĦÃĠĘ422ÃAÉ C ÁCÎ H ĚĔĶ ĘÆÉC ĖĎAÃAĐŪľ ĠIÂĐÀÄ Ĉ

ĐÀĐA A ĐÃA EÈÉ DÀCE

EÀJ ÁAG ĐÃÇÀÂ

ĜÃ Ā È A ÅÄA IÐ À ÇÐ ZE È ČĞ ANG PÁ ZE ÇÃ À Ä Â ÇÄ ZE ÇÁ HÁ Á ĐÀ ZE À À Â Ĝ Â

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ĐÀĐMÃÇÃÃA ĚÂÃÀËĂA ÉÂÊĒĒĒ ĐÀĤÇ ĀĦÀQÉA Ê ÁHÁÁĊHĊHHH ĘĠIÀ É Â THÀÇÆIÊ ÇÀG ẤH ÁÁHÌ HC

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ĔĖĐĘ FÇ GAÄAE đànç đí à à câđàäê.Áháqg@hgîhēēēn@qhêhá

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CF1R-PRF-01-E

(Page 6 of 13)

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CF1R-PRF-01-E

(Page 3 of 13)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Ā AÀ ÁÂ À ÄÄÄAA Calculation Date/Time: ÁHÁAG@HĢÎHĂCHĒÌĒĆĢIHÊH Calculation Description: ĂĂĂĂĂĂĂĂÂÂÂĂÆĂAÆ

ENESTRATION	/ GLAZING				-	-									
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientatio n	Azimuth	Width (ft)	Heigh t (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
ĶAÄĮÌ	ĶAÄĮ	áàğāķ âåå	ÁÀĞĀ	ÌH			с	cÁ	cċấ	ĂÂDĂÀ CCHĊĆĢÃ	HĊĈ	ĂÂDĂÀ CCHĆĆĢĀ	āèd Ęġàà	ĖĎAĀKÉ Đ	E
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ĐÀĐMÃÇÃÃA ĚÂÃÀËĂA FÂÊĒĒĒ

ĐÀĤÇ ĀĦÀQÉA Ê ÁHÁÁĊŀĊŀŀŀH

ĘĠIÀ É Â ĦÀÇÆLÊ ÇÀG ÁHÁÁHÌ HC

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ĐÀĐA Á ÇÂÃA E È É DÀ CÊ

Ĝà ĀÈAÅÄA ÞÀ ŒÆÉĞGAGÁGÆEAà ÄÂÇÄÆGÁHÁÁ ĐÀÆAÀ AAÂÅĜÉ ĤÅ ÔA

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Ā AÀ ÁÂ À ÃÄÄAĀ

Calculation Date/Time: ÁHÁĄĢŒŀĢÎHĂCHĒÌĒĆĢIIIÊHH

Input File Name: Ā AÀ ÁÂ À ÄÄÄÄA BCÁ ÁCCÓ A ÄÁÅĎ

ĚĖĐĘ FÇ GAÄJÊ

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CF1R-PRF-01-E (Page 9 of 13)

Calculation Description: ĂAĂĂĂĂĂ Â ÂĂÆAÆ

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
đại, âảả	ĖĎĀAĢAÇĶÂÅÅǼ	ĶĀ ĴÇÃÉÀÄĶÂÅÅ	ÁĎĄĹ CĆA ĊĽĊĜĊ	ÐĢH	EÀËEÀ	HĊĨĆC	ÎÆLAĂĂJAAÆLIÎÆLÆLÉEĂÂÇĂ ĜÂGAĀELÎÇÂEÂE ÆLÊÊÊÊÊÂ ÈDĂQAÇĴAÆLÎÊĜÂĀĘÆLĠĠ
đợĩ k âảả	ĖĎĀAĢAÇĶÂÅÅǼ	ĶĂ ĴÇÂÉ ÀĂ Ķ ÂÅÅ	ÁĎĄĹ CĆA ČĽĊĜĊ	ÐĢŒ	e àếeà	hċĥĩ	Î Æ AÄĂA AÆIĤ Æ WÊ E ÂÂÇ Ă ĜÂGA ĂEĴ ÇÂ Ê ÂÊ DÇÎC Ê ÂDĂ Ê DÂ QQ ĴA AÆIĤ ĜÂ ĂĘ Æ ĠĠ
ÃÃA COSÉDA CÂA ĐÁA SE Đ à CÀÂ	à ARA ÓDĞ Á:	ĶÄ Ĵçâéàä Ĝàmând	ÁĐẠĹ ÁẠ A CĽ CĜĊ	ÐĢH	ЕА ЁН	hċáĄ	ĐĞA Đ ÊÁLAN ĀDĞ BĂYÉĤIÂÅAŞĪA ĐÂRČ ĐĞ ĔÀĠIÊĶĂ ĘAÄAĐ Ĕ∕EIÀĂĀA ĐĔĂXĠIA Đ ĜÂGAAEEĴÇÂÉ ÀÊ A/ÉÈÂČËÁĎĄ
ÃÃA GOĞEÀ JÁAGEÐ ÃÇÀÂ	ÃĀRAGOĞ ÁE	ĶÄ ĴÇÂÉÀÄ ĜĂMÂNĐ	ẤĐẠĹ ẤĄ A Ở CĜĊ	ÐĢH	Е А ЁН	hċáĄ	ĐĞA Đ ÊÁLAN ĀDĞ BĂÆĤIÂÅAŞÎA ĐÂŘČ ĐĞ ĚÀCIƏ ÊĶĂ ĘAÄAD ĔÆIÀÂĂA ĐĔĂÀCIA Đ ĜÂGAAĒEĴÇÂE ÀE AÆÈÂCEÁDĄ
đạ hắc gậ ả é h â g	Ĵắç Ægàç Ĝới ÅæĤ ã ġ	ĶĀ ĴÇÂÉÀÄĴÅÇ	ÁĐCĹ CĆA ČĽĊĜĊ	ÐĢH	EÀËEÀ	hċá	ĴÅÇ ĘĖĢĨA ČALĒĜĀĢĪAĀNĂ ĴÅÇ ĔÀĠĒĶÄ ĘĂĨAĐ ĔĆIĂĂĨA ĐĔĂĂĠA Đ ĜÂGAĀEĔĴÇÂĖĂĒ AÆĒÅŪĒĂĎĆ
đợc đã ÃãAAG	ĜÀAÅAÆBDÅÅĮ ÂÆFAĞ	ĶĀ ĴÇÂÉÀÄ ĜĂMÎNĐ	ÁĎĄĹ ÁĄ A ĊĽĊĜĊ	ÐĢČ	EÀËEÀ	hċhų	ĽGÀÇĜÀAĂ ĐỊA ĐẾ ĐỘI Ả X ĐẦ GÃ A ĐỆ CÂN ĐẠI ĐỘI Ả THẾ ĐỘI Ả THẾ I XE A Ă Â A A ĐỆ ĐỘI Ả THẾ THẾ THẾ THẾ T
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ĐÀĐA Á ÇÂÃA EÈÉ DÀ ÇÊ

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Calculation	n Description	: ĂAÂÀ	ÁĄÃÂÂÅABÍ	ĀÆ				Input	File Nam	e:ĀAÀ ÁÅ	ÀÄÄÄAA	BCCĄĈĈČĊ	DÄÅĎ		
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Name	System	Туре	Distribut Type	ion	Water Heater Name	Number of Units	Solar Heat System	-	pact oution	HERS Verification	Water Hea Name (#	Sta		Verified Existing Condition	Existing Water Heating System
ĔĔĶĘ, Ę 42	ÉC ĚÉ ÀAŘE ĶÂÁŘAÇB		ĘÃÂÄÂÂ	ζÄ	ěřý čàâđàç C	Ċ	ËÂ	E	4	ËÂ	ĚĚĶ ĚÀÂÚ CBCČ	ĥç <mark>ê</mark> da	ĀÁ Ð	E	
WATER HEA	ATERS		-						2					-	
01	02	(03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank	сТуре	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Locat	ion Statu	Verified Existing Condition
ĔĔĶ Ĕàâāaçc	ÍÂÆ	ĘÉ ÂÅ	ắặc, âđà	с	ĩн	ĖĴ	HĊđ	ĀÆĖĔÇ	їїннн	н	ĈН	ËÂ		ĖĎAĀ	ÐE

đàng Ahàgéa Ê ấhắắch:Hh giả é â hàgéa ê gàg ấhấán hơ

ðàhç aí à à cáānàêÁháqgochgîhēēēhéqhêhá

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: ÁHÁĄĢŒĢĨHĂCHĒÌĒĆĢĤÊĤH Project Name: Ā AÀ ÁÂ À ÃÄÄAĀ Calculation Description: ĂAĂAĂĄ Ã ÂÅǼAǼ Input File Name: Ā AÀ ÁÂ À ÃÄÄAA Bức ÁCCC ở DÄẤĎ CF1R-PRF-01-E (Page 13 of 13)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
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ĚG ÈÉ À AÃĂA, ÃĚĀÇ EÂÉÀÊ	ĚĠ ÈÉ À ÃĂĂA ÂÈĂÇ ĘÆ A ÆÇAI
Timothy Carstairs, CEA, HERS, GPR	Nordellett
ĜÉ ĤÂ AÊ	ĘAĐĂ ÆÇÀ ĚĂĂÂÊ
Carstairs Energy Inc.	10/30/2024
Xääφλέλέ	ģeāe eed ļo ģavā gava ta at
2238 Bayview Heights Drive, Suite E	CC2006065
Ĵ A/ĒĘŴ ĂĔŁAĤÊ	FIÀ Ê
Los Osos, CA 93402	805-904-9048
200 0000, 0/100 102	
RESPONSIBLE PERSON'S DECLARATION STATEMENT IGAÇÃA ČEA À LA DE XÀ ÇHÀ A ÂLÃEĞ HÀ QM À SPÈ XÀ ÇÃA À LÃ Č TÀ LÃÃA Ğ GÂ Â LÇÃA À G CC IÂÉ À Â AADÂ À XÀ ÇĚ A GLÁE Â Č A À À È É A À CÂ À FÇĞ À É É A ÁCÂ À A Â GÂ À A À Â Â Â Â Â Â Â Â Â Â Â Â Â	çàvéĥ kéada /tőğ ā ñià dèa/ajaa/köà/éa đakaja/gağaja ña/kégàgñagáñag gé ĥlaa â k é
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Đàđa Aỹ đãa eèé dàgê

ĜÃ ĀÈAÅÄA ÞÍA, EDÆLÉTĞANERIG ÆLERIÁ ÄÁÇÄÆLGÁHÁÁ ÐÀÆAÄRAAABÍSÉ HÁAAARIG

đàĥç āhàgéa ề Áhááciṫihh Fġà é â hàgéa ê gàg Áhááhì hc ĔĖĐĘ FÇ GAÄÀĒ đànç đí à à cátààéáháqgochgîheeethéqhéhá

	ES SU	MMARY					RMS-1
Project Name Bonnie Lane Addition		Bu Iding Typ			Addition Alon Existing+ Add	e lition/Alteration	Date 10/30/202
Project Address		and the second	inergy C imate Zo	1	Cond. Floor An		# of Units
16488 Bonnie Lane Los Gatos		CA Chi	mate Zone 04	4	3,036	406	1
INSULATION Construction Type		Cavity	Area (ft ²)	Speci	al Feature	e e	Status
Wall Wood Framed		R 15	124	opeci	arr outare		New
Wall Wood Framed		R 15	185				New
Roof Wood Framed Att c		R 30	406				New
Demising Wood Framed w/o Crawl Space		- no insulation	406				New
FENESTRATION Tota Orientation Area(ft ²) U-F	Area		ng Percentage	14.8%	New/Altered A	verage U-Factor	0.30 Status
	-						
2							
UVAC SVOTEMS							
	in Eff	Cooling		Min. Eff	т	hermostat	Status
	in. Eff	Cooling	g M	Min. Eff	т	hermostat	Status
	in. Eff	Cooling	j N	Min. Eff	TI	hermostat Duct	Status
Qty. Heating M		Cooling					Status
Qty. Heating M						Duct	
Qty. Heating M HVAC DISTRIBUTION Location Heating						Duct	
Qty. Heating M HVAC DISTRIBUTION Location Heating		Cooling	g Duct L			Duct	
Oty. Heating M HVAC DISTRIBUTION Location Heating WATER HEATING		Cooling	g Duct L	ocation		Duct	Status
Oty. Heating M HVAC DISTRIBUTION Location Heating WATER HEATING		Cooling	g Duct L	ocation		Duct R-Value	Status

CF1R-PRF-01-E (Page 11 of 13)

NATER HEATIN	NG - HERS VERIFIC	CATION									
01		02		03	0)4	05		06		07
Nam	ne	Pipe Insulation			Compact I	Distribution	Compact Distri Type	bution Rec	irculation Control	100000000000000000000000000000000000000	Drain Water Hea Recovery
ĔĔĶĘ42Ŕ	ic șcec	eā đàkèa ģ ä			EĀĐ	akèa ğ ä	EÀ		eā đàkèa ģ ä		Đàkèaĝä
SPACE CONDIT	IONING SYSTEM	S									
01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	ment Cooling Unit Equipment		Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
ěthấg F ₄ 2624á c	ĔÀÂĂA ĐÂÄ ĞÅAĐ AŹZZĂÁÉĀ IÀÇ	ĚÀÂÃAÐ ĜÉĤÀĀ C	с	ĜÅAÐ ĜÉĤÀĀ C	С	ĔĦÃĠĴÂ C	ÃAÇ CĚAAĒÇADÈĀ ĘA2ĒŘAÉC	ËÂ	ĖĎAĀŘÉ Ð	E	
HVAC - HEATIN											
	01		02		(3		04		05	
	Name	1	System Type	1	Number	of Units	He	eating Efficiency		Heating Un	it Brand
ĔÀÂÃA	ĐĜÉ ĤÀ ĀC		ĖÅ Ä ÄÄÇAĠ			с		ĔĘFĴĢ		ËÂ	
IVAC - COOLIN	NG UNIT TYPES	-			5						
01	0	2	03	04		5	06	07	08		09
Name	Syster	n Type Nu	mber of Units	Efficiency Met		iency R2/CEER	Efficiency SEER/SEER2	Zonally Contro	lled Mulit-sp Compre	- I H	ERS Verification
ĜÅA Đ ĜÉ ĤÀ	āc Ĝà ĀģÂ	¥é ĤÅÃ Ĝ	C ÉÉĐËĘ		C	cćĩ	СĄ	EĀŁÂÅ	ĘA ĐÅÀĘ	AAAA	ĜÅAÐ ĜÉĤÀĀ CĢIÀQÆGÅĠ

ĐÀĐAÃ ĐÃÃ E È É DÀO Ê

ĜÃ ĀÈAÅÄA ĐÀ ÇĐÆĖČĞAKĢAG ÆĘĀÂ ÄÂÇÄÆÇÁHÁÁ ĐÀÆAÄÀĀAÂČÉ ĤÅAÂÀĠ

ĐÀĐAÃÇÃÃA ĚÂÃÀËĂAÊÊÊĒĒ đàng đhàợca cấn áốch chính Của cấ hàgác cộc án ác các ĔĖĐĘ FÇ GAÄQÊ đàhç đí à à çâđààêÁhÁqgœigîheeeheqhêhá

RESIDENT	IAL MEA	SURES S	UMM/	ARY	T			RMS-1		
Project Name Bonnie Lane A	Addition				Multi Family		Addition/Alteration	Date 10/30/202 # of Units		
Project Address 16488 Bonnie	Lane Los	Gatos	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	California Energy Climate Zone Total Cond. Floor Area Addition CA Climate Zone 04 3,036 406						
INSULATIO Constructio			Cav		ea 2) S	pecial Feat	ures	Status		
Floor Wood	Framed w/Crawl S	Space	- no ins	su ation 1	954			Existing		
Vall Wood	Framed		- no ins	su ation	185			Existing		
Door Opaqu	e Door		- no ins	su ation	20			Existing		
Vall Wood	Framed		- no ins	su ation	317			Existing		
Door Opaqu	e Door		- no ins	su ation	17			Existing		
Door Opaqu	e Door		- no ins	su ation	14			Existing		
Wall Wood	Framed		- no ins	su ation	258			Existing		
Wall Wood	Framed		- no ins	su ation	386			Existing		
FENESTRA	TION	Total Area	449	Glazing Perc	entage	14.8% New/Alte	red Average U-Factor	0.30		
Orientation	Area(ft2)		HGC	Overhan			or Shades	Status		
Front (N)	87.1	1.280	0.80	none	none	N/A		Existing		
Left (E)	71.6	1.280	0.80	none	none	N/A		Existing		
Left (E)	66.7	0.300	0.23	none	none	N/A		A tered		
Rear (S)	18.0	0.300	0.23	none	none	N/A		A tered		
Rear (S)	12.0	1.280	0.80	none	none	N/A		Existing		
Right (W)	100.0	1.280	0.80	none	none	N/A		Existing		
Left (E)	58.3	0.300	0.23	none	none	N/A		New		
Rear (S)	32.0	0.300	0.23	none	none	N/A		New		
Right (W)	3.0	0.300	0.23	none	none	N/A		New		
HVAC SYST	EMS							0.1.1		
Qty. Heatin		Min. Ef	Co	oling		. Eff	Thermostat	Status		
1 Gas Cen	tral Furnace	80% AFUE	Spli	it Air Condition	er 14.0	SEER	Setback	Existing		
HVAC DIST	RIBUTION			0.77			Duct			
Location	He	ating	Co	oling [Duct Loca	ation	R-Value	Status		
HVAC System	Ducte	d	Duct	ted A	ttic		8.0	Altered		
	TINC									
	ATING	0.1	lons	Min. Eff	Distri	bution		Status		
	- D.D.	Gai								
WATER HE/ Qty. Type		Gai								

used. Review the (04/2022)	ily residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the comp iance approach respective section for more information.
uilding Envelope	e: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or
§ 110.6(a)1:	less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.* Air Leakage. All joints, penetrations, and other openings in the building envelope that are polential sources of air leakage must be
§ 110.7:	caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF IR.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling, or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.
§ 150.0(b):	Loose fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opeque non-framed assemblies must have an overall assembly U-factor not exceeding 0.10
C 450 0/40-	Masonry walls must meet Tables 150.1-A or B.
§ 150.0(d): § 150.0(f):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor, " Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 10.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to \$150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must hav a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.
ireplaces, Decor	ative Gas Appliances, and Gas Log:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *
pace Conditioni	ng, Water Heating, and Plumbing System:
§ 110.0-§ 110.3:	Certification. Heating, ventilation, and air condition ng (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c):	Thermostats. All heating or cooling systems not control led by a central energy management control system (EMCS) must have a setback thermostat. * Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank
§ 110.3(c)3:	surface heat loss rating.
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Ā AÀ ÁÂ À ÄÄÄAĀ

Calculation Date/Time: ÁHÁĄĢŒĢÎHĂCHĒÌĒĆĢIHĒHH Calculation Description: ĂAĂĂĂĄ Ã ÂĂÆAÆ Input File Name: Ā A À ÁÂ À ÄÄÄAA Bứ Ą ĈĈČ Ở ĐÃ ÅĎ CF1R-PRF-01-E (Page 12 of 13)

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name Type Desig	Design Type		Duct Ins. R-value		uct ition	Surface Area		Bypass Duct	Duct Leakage	HERS	Status	Verified	Existing	New Ducts	
Name	Туре	Design Type	Suppl Y	Retur n	Suppl Y	Retur n	Suppl Y	Retur n	Bypass Duct	Duct Leakage	Verification	Status	Existing Condition	Distribution system	>= 25 ft
Ãaç ěa rig adè ri Faziziàé c	ĬĠÄAĀA ÀÄÂĀĀAĞ	eç Hàçağäà	ĐĢĈ	ÐĢĈ	ÃÃAA Ġ	ÃĀĀA Ġ	ËÂ	ËÂ	e Ā4ĤÂ⁄ĖǼ ĚÈĠĀ	ÉĎAÃÃAÐ BĀ ÆĤÁGAŐGAČ	Ãaç ěaxágadèàa çazààé cgiàgégiàaa	ė́Ď aē a-Đi± Eàį	E		E
IVAC - FAN S	STEMS														
		01						02		03			04		
	N	ame		_				Туре			Fan Power (W	/atts/CFM)		Name	(
	ĔĦÃ	ĜĴÂ C					Ĕŧ	ŧÃĜĴÂ			HCĨ	Ĉ	t,	ĔĦÃĠĴÂ CĢI	Àçé ğ i
IVAC FAN SYS	TEMS - HERS V	ERIFICATION			- 7										
		01							02				03	1	
		Manage						Veri	fied Fan Watt D	raw		Requ	ired Fan Effica	cy (Watts/CFM)	
		Name	ĔĦÃĜĴÂ CĢIÀQÉĞÂ												

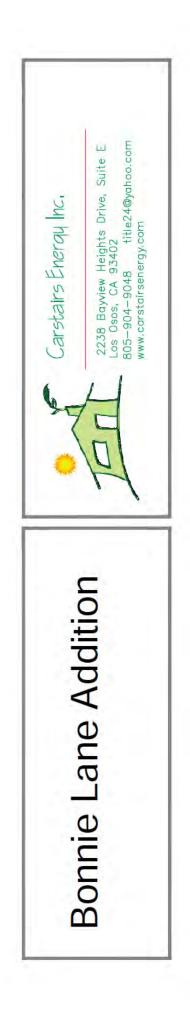
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ĔĖĐĘ FÇ GAÄJĒ đànç đí à à cáđà é Áháqgoe gihe e Europhé

RESIDENTIAL MEAS	SURES S	UMM	ARY					RMS-
Project Name Bonnie Lane Addition	1.00	Build	ding Type	Single		Addition Alon Existing+ Add	e lition/Alteration	Date 10/30/20
Project Address	£.00 m					Cond. Floor Ar	ea Add tion	# of Un
16488 Bonnie Lane Los (Gatos	C	A Clima	ate Zone	04	3,036	406	1
INSULATION Construction Type		Cav	vity	Area (ft ²)	Speci	al Feature	es	Status
Roof Wood Framed Attic		R 19		872				Existing
Wall Wood Framed		- no in:	sulat on	284				Existing
Wall Wood Framed		- no in:	sulat on	310				Existing
Wall Wood Framed		- no in:	sulat on	164				Existing
Wall Wood Framed		- no in:	sulat on	310				Existing
Roof Wood Framed Attic		R 19	-	676				Existing
Wall Wood Framed		R 15		32				New
Wall Wood Framed		R 15	1	130				New
FENESTRATION	Total Area	449	Glazing	Percentage	14.8%	New/Altered A	verage U-Factor	0.30
Orientation Area(ft ²)	U-Fac S	HGC	Overh	ang S	idefins	Exterior	Shades	Status
HVAC SYSTEMS								
HVAC SYSTEMS Qty. Heating	Min. Eff	Co	ooling		Min. Ef	f TI	hermostat	Status
HVAC DISTRIBUTION							Duct	
Qty. Heating HVAC DISTRIBUTION	Min. Eff		ooling	Duct	Min. Ef			Status
Qty. Heating HVAC DISTRIBUTION Location He WATER HEATING	ating					n	Duct	
Qty. Heating HVAC DISTRIBUTION Location He	ating	Co	oling		Location	n	Duct	Status



A Detter Propentity 14	
§ 110.5:	Pilot Lights. Continuously burning p lot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except app iances without an electrical supply voltage connection with p lot lights that consume less than 150 Btu per hour); and pool and
1	spa heaters.
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. AI domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code.*
§ 150.0(j)2:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5 x 2.5 x 7 suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.
ucts and Fans:	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance: All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher, ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flex ble ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the app icable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¹ %, if mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to corvey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in
	these spaces must not be compressed.*
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.
§ 150.0(m)12:	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the filter.

2022 Single-Family Residential Mandatory Requirements Summary

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MEETING DATE: 3/26/2024



TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

ITEM NO: 5

DATE:	March 21 , 2025
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. Located at 16401 Englewood Avenue . APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002. Property Owner/Applicant: Christine Garwood. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:20 located at 16401 Englewood Avenue.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1939 per County Assessor
- 2. Town of Los Gatos Historic Status Code: N/A
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? No
- 5. If yes, is it a contributor? N/A
- 6. Findings required? Yes
- 7. Considerations required? No

DISCUSSION:

The applicant is requesting approval to remove the pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1939. The property is not included in the 1990 Anne Bloomfield Survey or Sanborn Fire Insurance Maps. The Town does not have records for the subject property as it was annexed into the Town in 2019.

PREPARED BY:

Ryan Safty Associate Planner PAGE **2** OF **4** SUBJECT: 16401 Englewood Avenue/PHST-25-002 DATE: March 21, 2025

The applicant has provided a letter justifying the requested removal (Attachment 1), historic aerial imagery of the property (Attachment 2), Santa Clara County Residential Unit Property Record (Attachment 3), project plans from 2012 showing a remodel and new second-story addition (Attachment 4), and pictures of the current residence (Attachment 5). Based on the research provided, the applicant believes that the required findings for removal from the Historic Resources Inventory can be made for this property as the residence is not in its original condition and there is nothing noted about the property that is significant to the Town's history.

The aerial images in Attachment 2 show that the subject property was undeveloped in August of 1939, and it appears that a structure is shown on the subject property in May of 1948.

The Santa Clara County Residential Unit Property Record in Attachment 3 is from 1974, which was the oldest record available. As noted in the Applicant's letter (Attachment 1), the 1974 record was conducted after a 1973 remodel which included an enlarged garage and addition of two bedrooms and a bathroom. An image of the front of the house from 1974 is included in this report.

The property was sold to the current owners in 2011. In 2012, the owners obtained permits for a full remodel, second-story addition, and new covered porch with the County (Attachment 4). The approved elevations, as well as the current property pictures in Attachment 5, show a substantially different house than what existed in the 1974 Santa Clara County Residential Unit Property Record.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, a recommendation of approval of the request to remove the property from the Historic Resources Inventory would be forwarded to the Community Development Director. Once approved by the Director, any proposed alterations would not return to the Committee.

FINDINGS:

A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

PAGE **3** OF **4** SUBJECT: 16401 Englewood Avenue/PHST-25-002 DATE: March 21, 2025

- 1. The structure is not associated with events that have made a significant contribution to the Town;
- 2. No Significant persons are associated with the site;
- 3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
- 4. The structure does not yield information to Town history; or
- 5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

- 1. Request for Review Letter
- 2. Historic Aerials
- 3. Santa Clara County Residential Unit Property Record
- 4. 2012 Approved Plans
- 5. Property Pictures

This Page Intentionally Left Blank Historic Preservation Committee Request for Review Regarding the Property at:

16401 Englewood Avenue Los Gatos CA 95032 APN 532-05-010

I request that the above property be removed from Historic Resources Inventory for the following reasons. The structure is not associated with events that have made a significant contribution to the Town; No Significant persons are associated with the site; There are no distinctive characteristics of type, period or method of construction or representation of work of a master; The structure does not yield information on the Town's history; The integrity has been compromised such that the structure no longer has the potential to convey significance.

In researching the history of this property I found no mention of this property in either the Sanborn Maps, 1941 Tax Assessment, 1989 Bloomfield Historic Resource Survey, Polk's Directories, Telephone Directories or General History Files. A very helpful librarian, Michael Lara, in the San Jose Public Library's California Room did help me find the attached aerial images of the property. The image dated 8-1-39 shows no structure on the property at that time (orange arrow denotes property). The image dated 5-14-48 does show a structure on the property. Therefore the structure was built sometime during that time period. It is unlikely that the structure was built in 1939 as stated in public records.

This property was, for most of its history, unincorporated and under the jurisdiction of Santa Clara County. It was recently annexed into the Town of Los Gatos as a result of an entire neighborhood annexation.

The Santa Clara County Residential Unit Property Record (attached) from 1974 is the oldest record available. It contains an image of the property in 1974 when it was accessed after a remodel. That remodel was permitted in 1973 and SCC Planning Department does have a record of the permit (BP 17730 - Enlarge Garage, Add 2 Bedrooms, Bath). However, no plans or other documents associated with the permit are available.

My husband and I purchased the property in 2011. In 2012 we did a full remodel and added a 2nd story and covered porch. This was permitted through SCC (BP 49975). Please note that the remodel did not trigger annexation at that time. As part of the 2nd story addition and remodel we replaced all siding, windows, and roof and therefore the elevations of the structure completely changed. Please see attached elevations from that permitted work and images of the home.

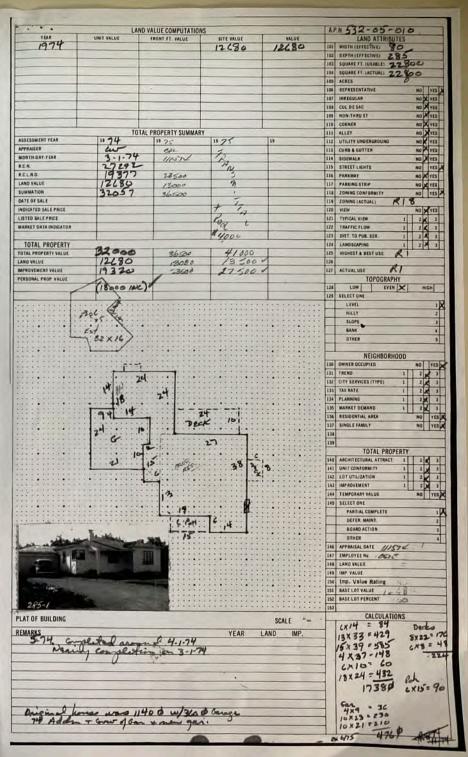
I do not believe the structure had historic significance when we purchased it in 2011 but after the 2012 remodel the integrity would have been compromised such that the structure no longer has the potential to convey significance. For these reasons, we ask the committee to remove this property from Historic Resources Inventory.

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EXTERIOR FINISH NOTES

ROOFING:

Class A, asphalt roof ng shingles (40 year) o/minimum 30# building paper,o/CDX plywood roof sheathing. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheath ng may be used in lieu of standard plywood upon receiving approval from the engineer of record. Where roof slopes are less than 4/12, use (2) layers of roofing underlayment. CRC R905.2.2 & R905.7.2. Use "Radiant Barrier Sheathing" where required by T24.

SIDING:

Exterior Walls: 8"-10" Hardie Board horizontal sid ng o/30# build ng paper or equal, o/CDX plywood wall sheathing, nailed @ 6/12 minimum. See eng neer's "Shear Wall Schedule" for specified plywood thickness and minimum nailing requirements. OSB wall sheathing may be used in lieu of plywood with engineer of record's approval.

Non Shear Walls: Provide a minimum of 3/8" CDX plywood wall sheathing, "Full Wrap". Nail w/8d @ 6/12 minimum. For remodel projects, only new walls shall receive full wrap sheath ng (UNO).

Wall Base: Sid ng shall have a m n mum of 8" clear to grade per CRC.

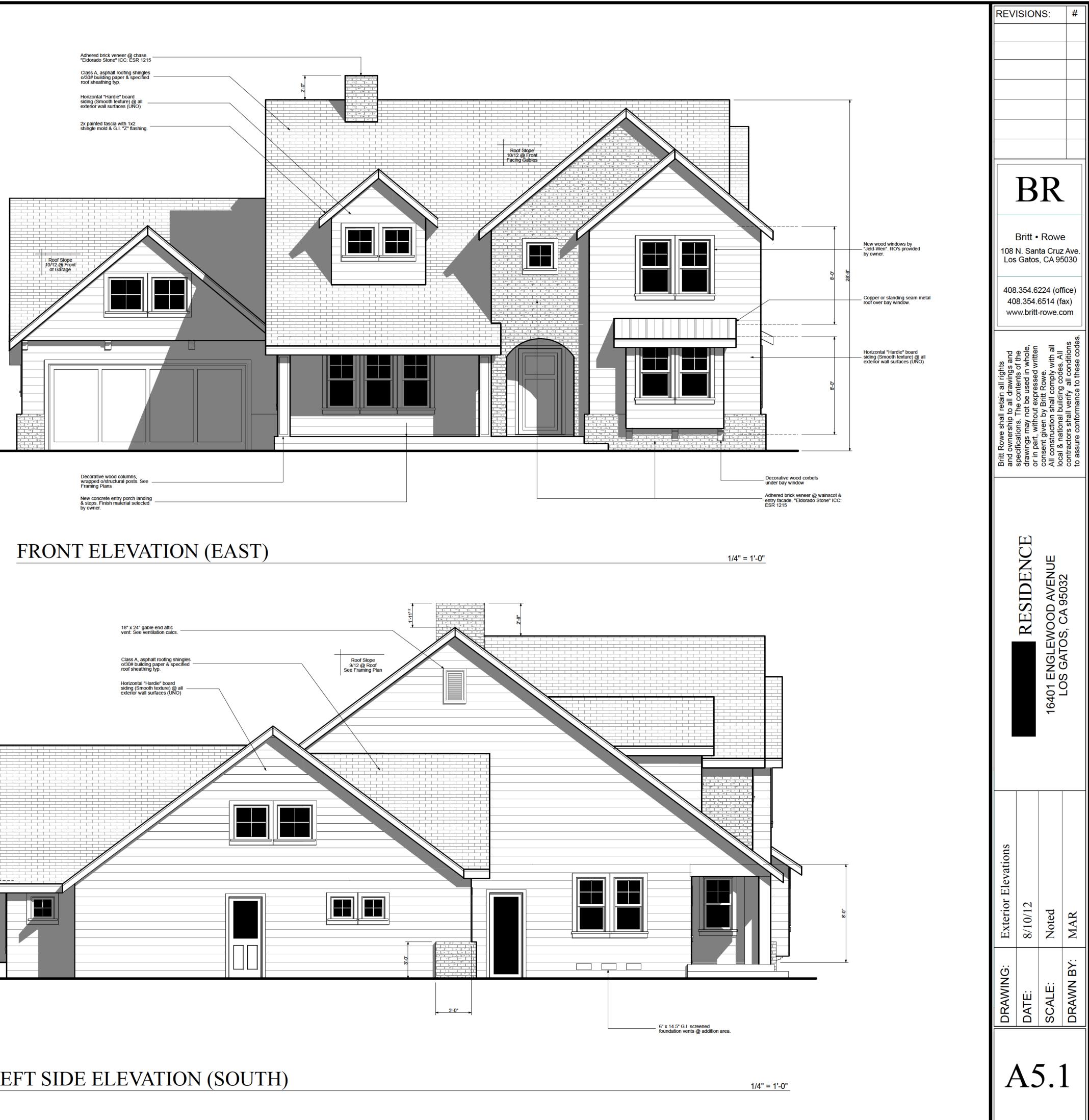
DOORS & WINDOWS:

All exterior doors (with glass) & windows shall be constructed with dual paned, low "E" glazing. Tempered glaz ng shall be required per CRC Sections R308, R311 & R612. Door & w ndow manufacturer shall be selected & approved by the property owner. See Sheet DW.1 for additional door & window notes & schedules.

ACCENTS:

See Exterior Elevations for additional wall & roof details & specifications.





EXTERIOR FINISH NOTES

ROOFING:

Class A, asphalt roofing shingles (40 year) o/m n mum 30# building paper,o/CDX plywood roof sheath ng. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheathing may be used n lieu of standard plywood upon receiving approval from the eng neer of record. Where roof slopes are less than 4/12, use (2) layers of roof ng underlayment. CRC R905.2.2 & R905.7.2. Use "Radiant Barrier Sheathing" where required by T24.

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DOORS & WINDOWS:

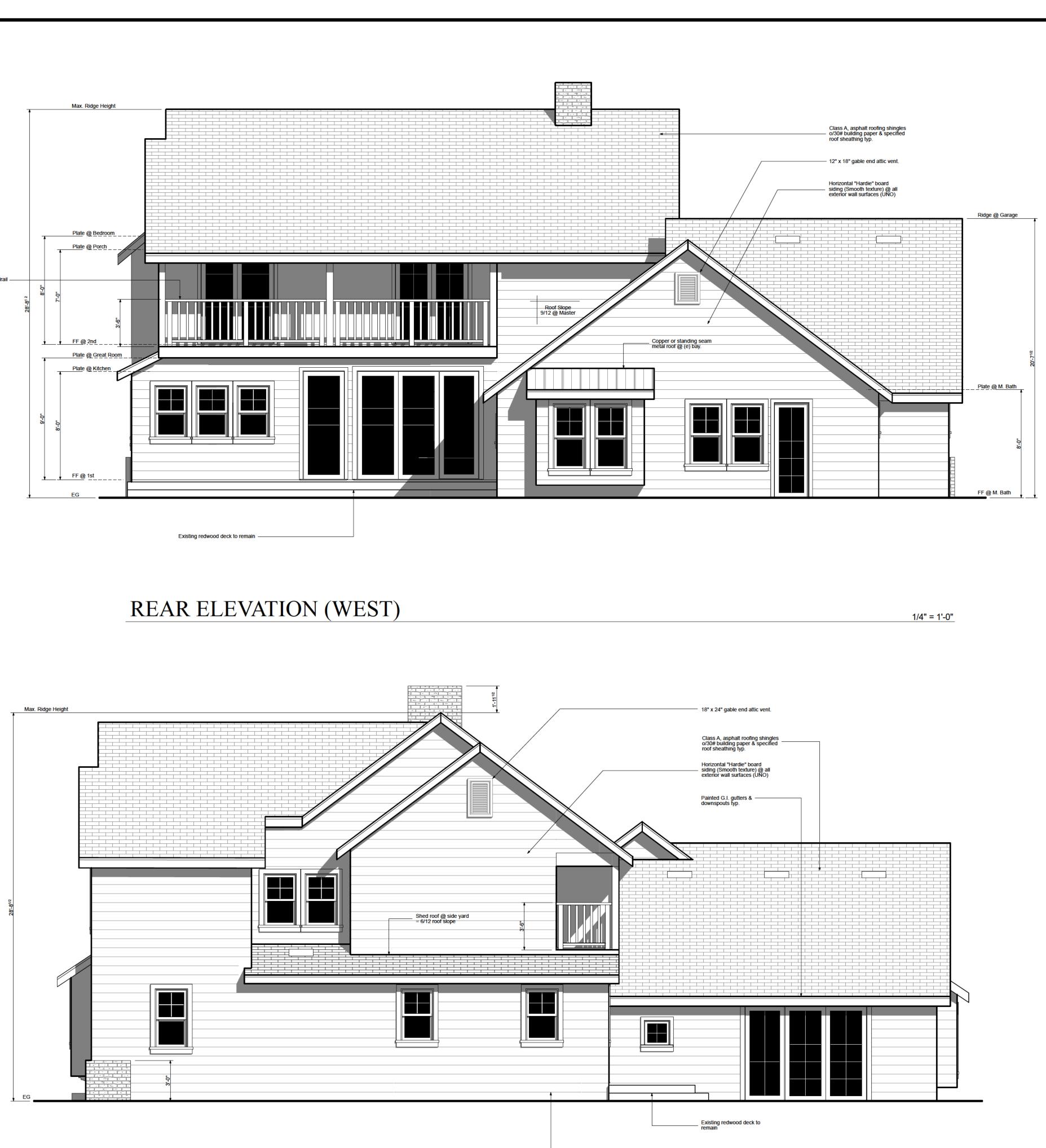
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ACCENTS:

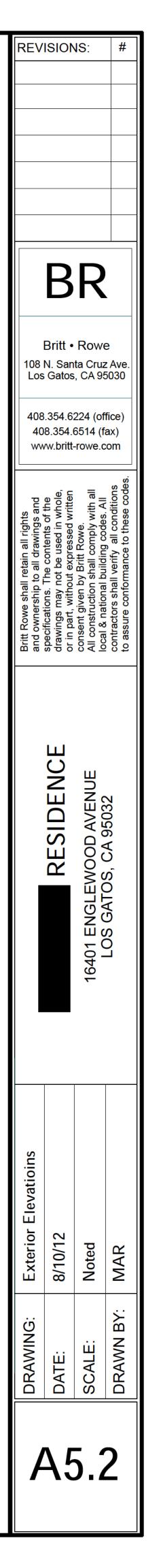
See Exterior Elevations for additional wall & roof details & specifications.

Painted wood guardrail — (+42") @ balcony.





RIGHT SIDE ELEVATION (NORTH)

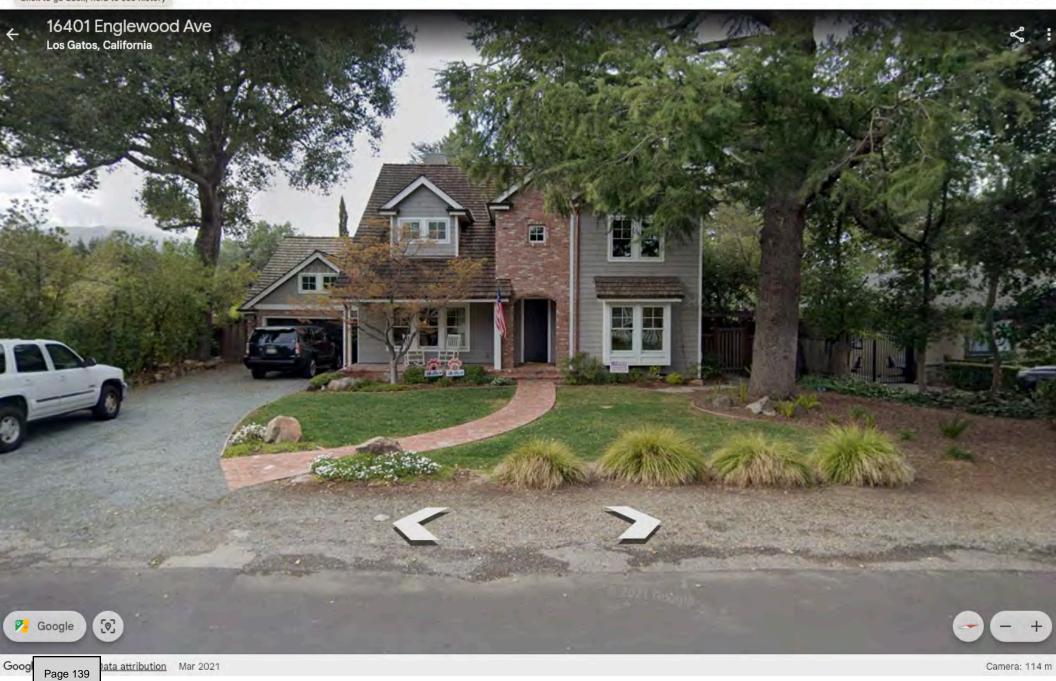


1/4" = 1'-0"

Siding shall be located a minimum of 8" above the adjacent grade.

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Click to go back, hold to see history My Portal | Landing



ATTACHMENT 5









DATE:	March 21, 2025
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Consider a Request for Preliminary Review to Construct an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. Located at 333 Los Gatos Boulevard . APN 529-22-021. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Request for Review Application PHST-25- 004. Property Owner/Applicant: Nichola Palmer. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for preliminary review to construct an addition to an existing pre-1941 single-family residence on property zoned R-1D, located at 333 Los Gatos Boulevard.

PROPERTY DETAILS:

- 1. Date primary structure was built: 1912 (effective year built 1922) per County Assessor's Database
- 2. Town of Los Gatos Historic Status Code: +, historic and intact, worthy of special note
- 3. Does property have an LHP Overlay? No
- 4. Is structure in a historic district? No
- 5. If yes, is it a contributor? N/A
- 6. Findings required? No
- 7. Considerations required? Yes

BACKGROUND:

The subject property is located on the west side of Los Gatos Boulevard near the intersection with Harding Avenue. The County Assessor reports that the residence was constructed in 1912, with an effective year built of 1922. The Anne Bloomfield survey provides an estimated construction date of the 1900s and assigns a preliminary rating of "+" or historic and intact, worthy of special note (Attachment 1).

PREPARED BY:

Sean Mullin, AICP Planning Manager PAGE **2** OF **3** SUBJECT: 333 Los Gatos Boulevard/PHST-25-004 DATE: March 21, 2025

The Sanborn Fire Insurance Maps do not provide coverage for the property until 1928. The footprint of the residence remains consistent between the 1928 and the 1956 maps (Attachment 2). Town records include a permit to repair earthquake damage to the fireplace in 1990.

DISCUSSION:

The applicant provided a Letter of Justification for the proposed project (Attachment 3). The applicant is requesting preliminary review of a proposal to construct an addition and exterior alterations to the existing residence (Attachment 5). The addition would be constructed on the left side of the front elevation, within a portion of the existing covered porch. The approximately 65-square foot addition would accommodate a new bathroom for the residence. The addition includes wood siding to match the existing, as well as two new windows. An eight-over-one divided lite window would be located on the front elevation and a four-over-one divided lite window would be located on the residence. The proposed divided lite patterns would be consistent with other existing windows on the residence. Information regarding window materials and trim profiles were not provided for this preliminary review.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.
- B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

CONCLUSION:

Consider a request for preliminary review of a proposal to construct an addition to an existing pre-1941 single-family residence on property zoned R-1D, located at 333 Los Gatos Boulevard. It appears that the project could be accomplished under a Building Permit. Once the process is

PAGE **3** OF **3** SUBJECT: 333 Los Gatos Boulevard/PHST-25-004 DATE: March 21, 2025

confirmed, this application would return to the Committee for a recommendation to be forwarded to the Community Development Director.

ATTACHMENTS:

- 1. Anne Bloomfield Survey
- 2. Sanborn Fire Insurance Maps Exhibit
- 3. Letter of Justification
- 4. Section 3.9, Residential Design Guidelines
- 5. Development Plans

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LOS GATOS HISTORIC RESOURCES INVENTOR EVALUATION SHEET	ХY
Building or District Name Rasmussen George + Lo	retta House
Address(es) 333 Los Gatos Blid.	*
Criterion This Building	Ratings
A. ARCHITECTURE	
1. Building type <u>1-st</u> residence	E VG G FP
2. Construction wood frame	E VG G FP
3. Style Craftsman -ex. example of	many E (VG) G FP
4. Architect Unk	E VG G FP
5. Design horizontality of long front por	E VG G FP
6. Interior	E VG G FP
B. HISTORY	
7. Age 1910 (Tax Ass.)	E VG G F P
8. Person(s) (3 George Rasmussen, Stationer, rewsde	divery E VG G FP
9. Event	E VG G FP
10. Patterns forcesidential development spreads o	E VG G FP
C. ENVIRONMENT	
	E VG G FP
12. Setting deep front yard, landscaped	\frown
13. Landmark	E VG G FP
D. INTEGRITY	
14. Alterations None apparent	E_VG_G_FP
CUMULATIVE RATING: 3Appears eligible for National Register 4May become eligible for National Regist 5Appears eligible for local designation Name of District 6Appears ineligible for designation, but	it older than 1942.
7Appears ineligible for designation bec (S=single listing. D=District contributor. B=Both. N=Non-c	
Evaluated by: B	
Reviewed by	
Reviewed by:	Date
147 Priewed by:	Date

ATTACHMENT 1

LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Addre	ess(es)_		333	LGB		
E	VG	G	<u>F/P</u>	Criteria	Total	Adjusted <u>Total</u>
10	5	2	0	Туре		
10	5	\bigcirc	0	Construction		
10	5	2	0	Style		
8	4	Q	0	Architect		
25	(12)	6	0	Design		
8	_4	2	0	Interior		21
	17	4		ARCHITECTURE		(Max. 50
10	5	2	1/0	Age		
15	8	4	0	Person		
10	5	2	0	Event		
15	8	4	0	Patterns		14_
	4	6		HISTORY		<u>(Max. 25</u>
25	12	6	0	Scale/Massing		
8	4	2	0	Setting		
25	12	<u>6</u>	0	Landmark		_10_
ALL STREAM OF COMPANY				ENVIRONMENT		(Max. 25
ō)	-6	-12	125	INTEGRITY		-0
Cumul	lative R	ation		CUMULATIVE TOTAL		45

60+ = 3 (appears eligible for National Register) 40-59 = 5 (appears eligible for local listing) 23-59 = D (contributor to district rated one of the above) 22- = 6 or 7 (ineligible) or non-contributor

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`		Anne Blo			SAN FRANCISCO. CA 94115
		ARCHITECTURAL/CU LOS GATOS	to write the second strategies and the	JRVEY	Spp.
File	address <u>333</u>	Los 6 Blud			9
	P INFORMATION		1.1	- 1	
		/ Lot size: _			ft. deep
Lot shape:	Rectangle L	Rectangle with small	rear jog	_ Other	
Location:	N S W	1_/ side of		St Ave Ot	her <u>Blvd</u>
	distance to cros	s st: <u>6.600</u> ft. NS	5 <u> </u>	from_Cald	well
		at NE NW SE	Cor	ner of	
HISTORIC I	NFORMATION ON PA	RCEL MAP			
Old tract	or subdivision n	ame <u>Stanley Sub</u> 010	l Block #	01d lot	#
FIELD SURV	EY INFORMATION (handwritten in red)			
Preliminar	y rating <u>+</u>	Estimated age 1900s S	Style Cra	affeman	# storie <u>s</u>
Alteration	s rear gara	ge us. Unit(new)			
Other					
OUNTY ASS	ESSORPROPERTY	CHARACTERISTICS (paste or	n copy)	EFFectiv	e date
OWNERSHIP Source	SHOWN ON MAPS Source Source	Location of property, or	llot	Owner	
Name	Date Page	Old tract/block/lot	Size	Name	
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B1k Book	1908				
Survey	1944 Blk 40	3335 J Asstanley Sub lot 1	64×175	Interto Pas	emussen
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Distric					
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Butler/Jun	ior League	stration page #	4	L 4A	

Anne Bloomfiel	ď
ARCHITECTURAL/CULTURAL	SURVEY
NAME RESEARCH	

ARCHITECTURAL HISTORY (415) 922-1063 2229 WEBSTER STREET SAN FRANCISCO. CA 94115

					on, etc)
					3363
					birth death other
I	. Di eariB	look	Name/Classi	(City Directo fied Heading	Dries, County Directories, Telephone Books, society directories, etc.) Listing (copy entire, exactly as shown: use * for boldface)
1			San Jog		Rasmussen Geo & Cloretta Eno occi. h. 53355
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II	I.	LIST	ALL REFEREN	CES FROM ABOU	TE. Find them. Copy good material & attach. Or copy below if only
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File address 333LGB

Anne Coomfield

ARCHITECTURAL HISTORY (415) 922-1063 22. (EBSTER STREET SAN FRANCISCO, CA 94115

ARCHITECTURAL SURVEY BUILDING RESEARCH

PUBLISHED ANNOUNCEMENTS A&E __Bulletin __CA&BN __Call __Chron __DPB __Ed_AB __EX __News __PCA _____ Other Source: Volume_ Date Page Nature of announcement: _____Contract notice _____Notice of completion ____BP issued ___Photo ___Elev/sketch/rend'g ___Ploor plan ____Arch't/cont'r pub Real est. Copy exactly: Architect/Engineer Location Builder/Contractor Nature of work Owner Cost Initials Date BUILDING PERMITS Address requested Bldg's Source: Permit Use/ Owner Builder/ Arch't/ width/ Register, Press-Application No. of depth/ Exterior Date 2 contr. & engin'r Dem., or . . . Location Cost Description of work | height Number Units address address & address 1 Materials Initials date OTHER SOURCE (specify thoroughly)

141 Survey - bit 1919 - 1-st, 7 rms, wood frame, 1920 #

		 				-				/In:	tials	Date
Date 1944 1928 1908	Vac or Vol/ dif	Color: yel, pnk, orange blu,gry green	Use D	Patches Yes/ No #JNE Cor	No. of stories	Height	No. of bay windows / N	Borch Whole Front n	Misc.	Date const		be or sketci plan J. [harge]
Page	e 151									/īni	tials	

ARCHITECTURAL SURVEY ASSESSMENT ROLL RESEARCH

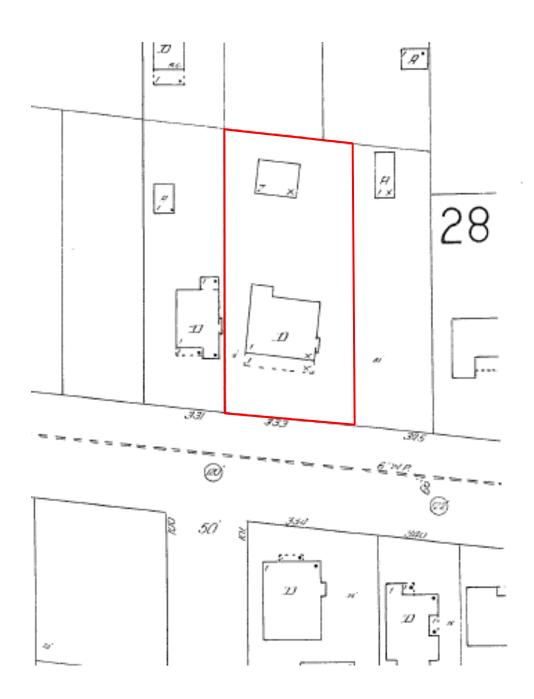
Anne Domfield

File Address 33346B

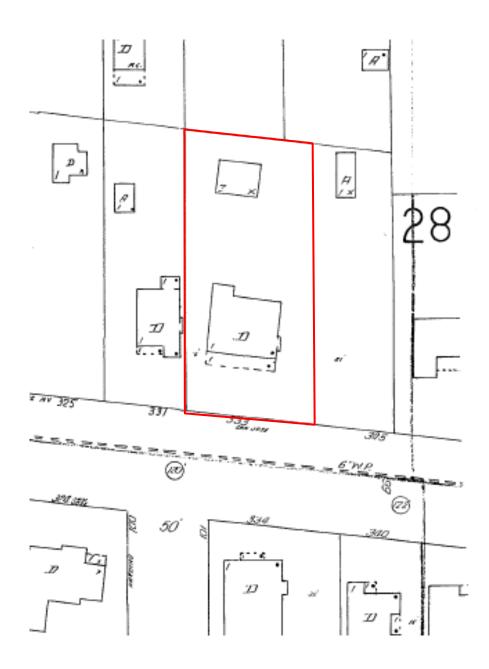
Tract/Block/Lot

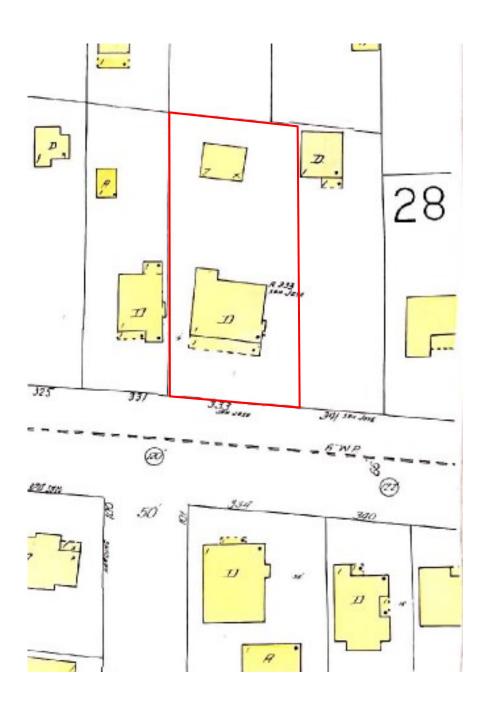
Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or mroe. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

	Date	Page	Name		Tract/	Identific: <u>N Bdy</u>	ation/Boun Block/ <u>E Bdy</u>	daries Lot/ <u>S_Bdy</u>	W Bdy	Assess	ment for Improve- ments	Other Info.
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1928 ATTACHMENT 2





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January 29, 2025

RE: Pre-Planning Application, Scope of Work. APN 529-22-021

The purpose of this pre-planning application is to discuss/review the details of our intended project with the Historic Preservation Committee (HPC), prior to incurring substantial design costs. We fully understand that a complete submittal with MEP's, Structural Review...etc. will be required prior to permit. The drawings and photos uploaded are simply intended to show intent.

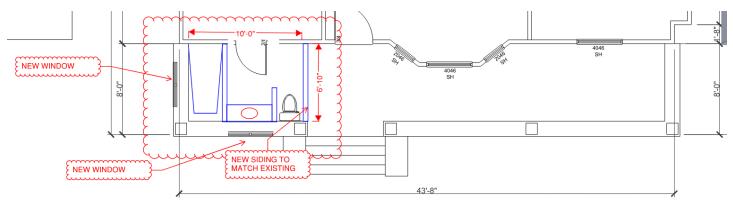
Below is a description of the intended work, along with a summary of finishes and reference photos.

Scope Of Work

Add approximately 65 sf of enclosed space on the existing patio to the left of the entry door when facing the property from the street. Existing roofline to remain as is, no modifications to be made. Bathroom will be approximately 10'-0" x 6'-10", therefore falling below the 25% threshold per Section 29.10.020 of the Los Gatos Town Code when it comes to removal of existing walls facing a public street. To enclose this section of the existing patio, we will use wood siding to match existing, along with installing two new windows, one facing the street and the second facing the driveway. Covered patio to the right of entry door to remain as is, no modifications. Once scope of work is complete, our intent is that it looks and feels as though it was part of the original structure when the home was build in 1912.



Photo 1: Existing property, front patio. Added bathroom would enclose section to left of entry door, between the first two white columns.



Drawing 1: Snapshot from plan document, showing location and size of enclosed patio, along with critical

ons.

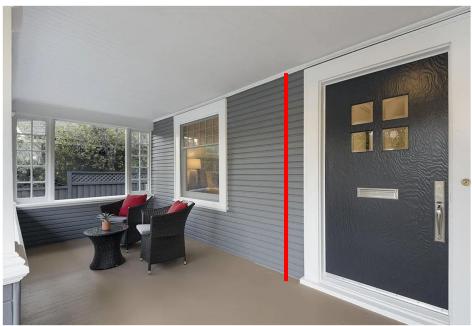


Photo 2: Proposed bathroom would enclose this section of the patio, starting approximately 6"-12" from existing entry door trim (see red line above). No modifications to be made to entry door/trim.



Photo 3: Existing window (street facing) to be removed, replaced with door to new bathroom.



Photo 4: Reference image of **255 Los Gatos Blvd**. showing partially enclosed patio (right side). With two new windows. Proposed modification to subject property (333 Los gatos Blvd) would be a single window with additional wood siding to match existing.



Photo 5: Reference image of **241 Los Gatos Blvd**. showing partially enclosed patio (right side). With three new windows. Proposed modification to subject property (333 Los gatos Blvd) would be a single window with additional wood siding to match existing.

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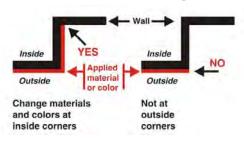
BUILDING DESIGN

3.8.3 Use traditional detailing

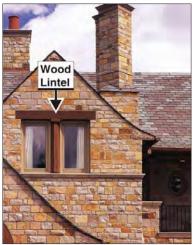
- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

• Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.







Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT. CGBSC SECTION 4.505.3

INDEX OF PAGES:

GENER/	AL (0 PAGES)
A0.0	COVERSHEET
A0.1-	GENERAL ARCHITECTURAL NOTES
-	BLUE PRINT FOR A CLEAN BAY
ARCHIT	ECTURAL
A1.0	SITE PLAN & SITE DEMO PLAN
A1.1	EXISTING FIRST FLOOR AND BASEMENT DEMO PLAN
A2.0	PROPOSED FIRST FLOOR PLAN
A3.0	WINDOW/DOOR SCHEDULES-
A4.0	EXISTING ELEVATIONS
A4.1	PROPOSED ELEVATIONS
A5.0	SECTION & DETAILS
PLUMBI	NG/ELECTRICAL/MECHANICAL DESIGNS
PEM -	PROPOSED FIRST FLOOR PLAN
TITLE 24	ŧ
T24-1-	TITLE 24
T24-2	TITLE 24
T24-3	
STRUCT	
S1.1	GENERAL NOTES
S 1.1	

FOUNDATION AND ROOF FRAMING PLANS FOUNDATION AND ROOF FRAMING DETAILS

SCOPE OF WORK:

ADD 89 SF OF BATHROOM

PROJECT DESCRIPTION:

BUILDING OCCUPANCY TYPE OF CONSTRUCTION ZONING STORIES YEAR BUILT/EFF LOT SIZE AUTOMATIC FIRE-SPRINKLER APN	: GROUP R3/U : V-B : RM512 : 1+ BASEMENT : 1912 : 14,191 SF : NO : 529-22-021
BUILDING DATA:	
(E) HOUSE (E) BASEMENT (E) GARAGE (E) SECOND DWELLING UNIT (E) SHED (N) ADDITION TOTAL	1,504 SF 318 SF 720 SF 1,100 SF 100 SF 336 SF 4,078 SF
FLOOR AREA: (E) HOUSE (E) FRONT PORCH (E) SECOND DWELLING UNIT (E) SHED (N) ADDITION TOTAL 3,395/ 14,191	1,504 SF 355 SF 1,100 SF 100 SF 336 SF 3,395 SF 0.23(23%)

ABBREVIATIONS:

TYPICAL WOOD DETAILS

WINDOW ABBREVIATIONS:

S1.2 S2.1

S3.1

3030	12	3'-0" X 3'-0"			
СТ	_	CIRCLE TOP			
SLDR	-	HORIZONTAL SLIDE	-R		
CSMT	12	CASEMENT			
FIX		FIXED			
SL	1.5	SIDELIGHT			
TEMP	-	TEMPERED GLASS			
	-				
HC		HALF CIRCLE			
SH	-	SINGLE HUNG			
DH	-	DOUBLE HUNG			
ARCH	-	ARCHED	1.2.16		
EGRESS	-	EGRESSABLE WIND	WOC		
DOOR AB	BREV	IATIONS:			
2/0	÷	2'-0" WIDE X 6'-8" T UNLESS OTHERWIS			
3080		3'-0" WIDE X 8'-0" T			
	5				
3070		3'-0" WIDE X 7'-0" T			
3068	÷	3'-0" WIDE X 6'-8" T	ALL		
<	-	CENTERLINE	MAX.	÷	MAXIMUM
DIM	÷ -	DIMENSION	MIN.	-	MINIMUM
EL	÷	ELEVATION	MISC.	-	MISCELLANEOUS
(E)	2	EXISTING	(N)	-	NEW
F.A.	-	FINISH FLOOR	NO. OR #	-	NUMBER
G.C.	- 2	GENERAL	N.T.S	÷	NOT TO SCALE
		CONTRACTOR	0/	-	OVER
(N)		NEW	O.C.	_	ON CENTER
N.T.S.	32	NOT TO SCALE	PLYWD	2.1	
R.O.		ROUGH OPENING		21	PRESSURE
T.O.S.	- E -	TOP OF SLAB	1.1.0.1.		TREATED DOUGLAS
					FIRE
TYP.		TYPICAL	DEE		
U.N.O.		UNLESS NOTED	REF	-	REFERENCE
		OTHERWISE	RWD	-	REDWOOD
V.I.F.	-	VERIFY IN FIELD	SCHED	1.51	SCHEDULE
&	-	AND	S.D.	-	SMOKE DETECTOR
@	÷	AT	STD	-	STANDARD
Ø	-	DIAMETER OR	TV.	-	TELEVISION
		ROUND	TYP.	-	TYPICAL
ADJ	1	ADJUSTABLE	W/	-	WITH
E.Q.	-	EQUAL	W.H.	<u> </u>	WATER HEATER
			WP.		WATERPROOF
GYP.BD		GYPSUM BOARD	VVF.	-	WATERPROOF

LEGEND:

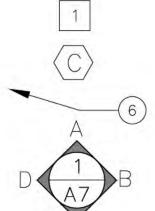
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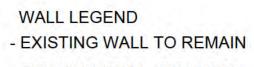
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EL. <u>162.92'</u>



1"



- EXISTING WALL REMOVED - NEW WALL CONSTRUCTION
- NORTH ARROW

- FIXTURE OR MATERIAL TO BE REMOVED

- REVISION NUMBER "CLOUD" INDICATES REVISED AREA OF DRAWING

- DETAIL SHEET NUMBER

- PROPERTY LINE

- ROOF PITCH

- SECTION CUT SECTION NAME SECTION PAGE

- DIMENSTIONAL **REFERENCE / ELEVATION**

- DOOR SCHEDULE

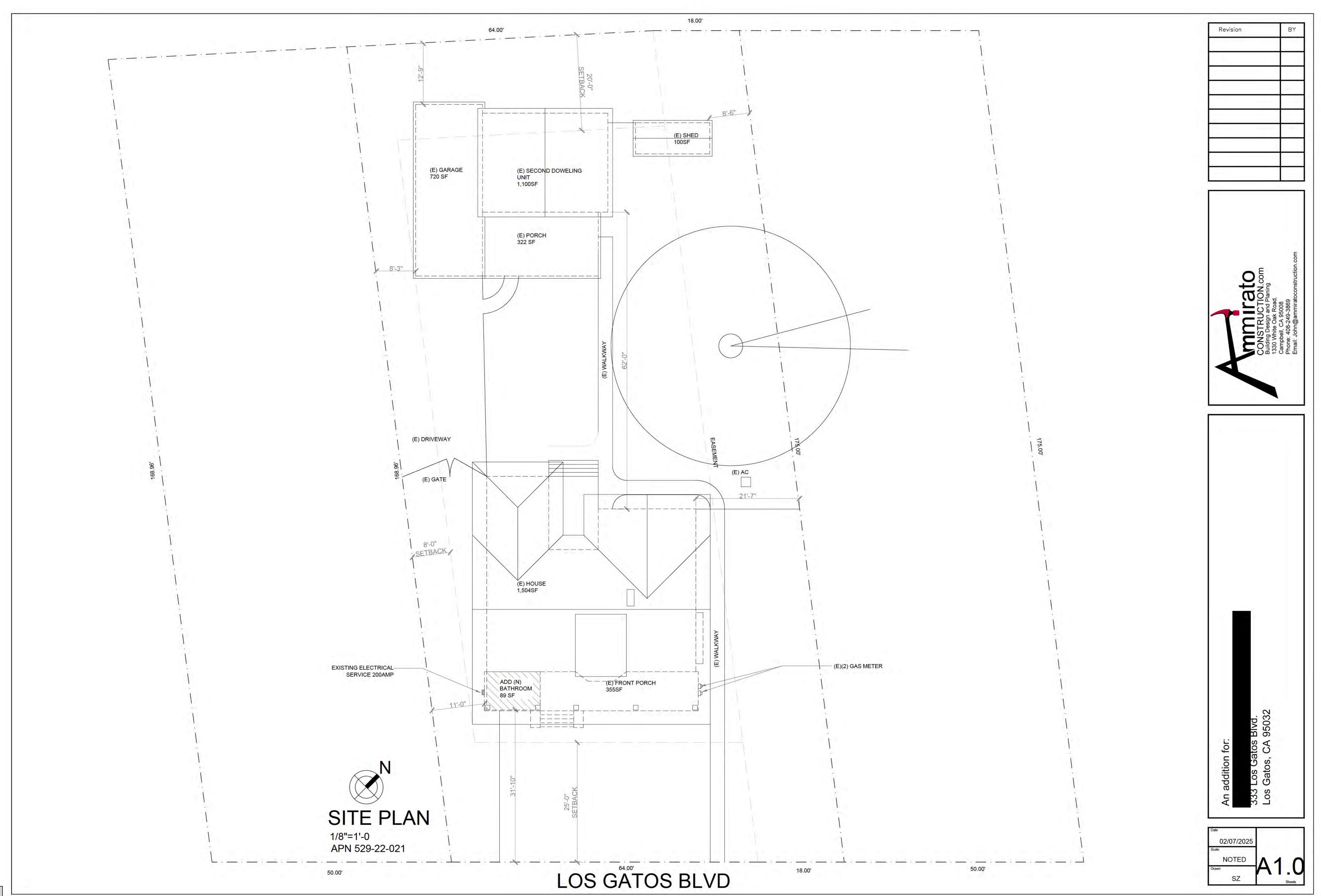
- WINDOW SCHEDULE

- KEYNOTE SEE LEGEND ON DRAWINGS FOR EXPLANATION OF EACH NOTE

- INTERIOR ELEVATION ELEVATION NUMBER SHEET WHERE **ELEVATION IS DRAWING**

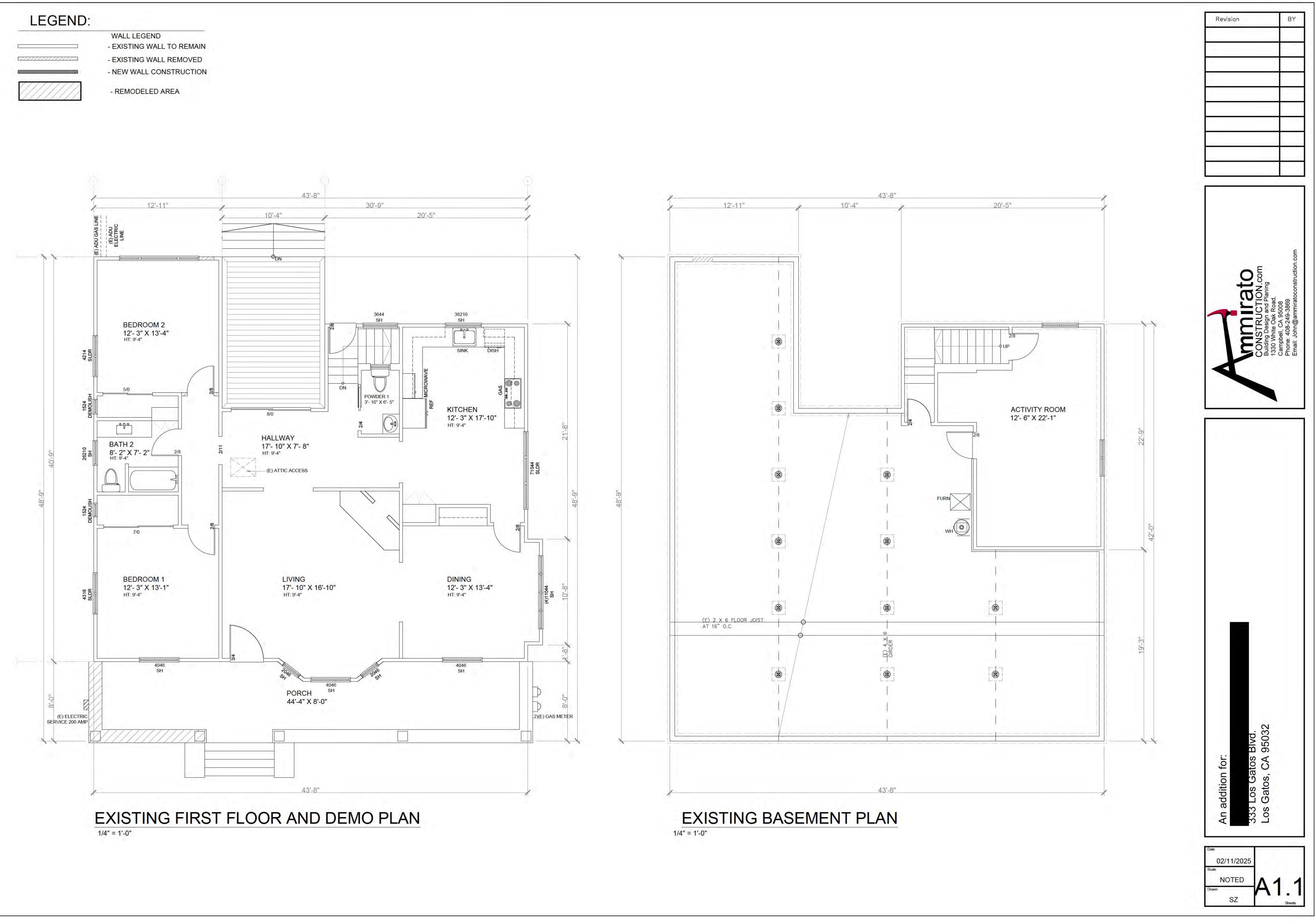
- DIMENSION AT FACE OF STUD MASONRY OR FRAMING

GENERAL NOTES:	Revision
• THE PROPOSED RESIDENCE IS TO BE CONSTRUCTED BY A	
CONTRACTOR AND THE ARCHITECTURAL PLANS ARE	
BASED ON SITE PLANS, EXTERIOR ELEVATIONS, SCALED	
FLOOR PLANS AND MATERIAL CONSTRUCTION	h
SPECIFICATIONS APPROVED BY THE OWNER. THE	
ARCHITECTURAL PLANS ARE NOT INTENDED TO BE	-
COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY	
OF THE SUBCONTRACTORS TO NOTIFY THE CONTRACTOR	
OF ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS.	
ALL WORK CONNECTED WITH THIS PROJECT SHALL BE	
DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH	
THE TRADITIONALLY AND LEGALLY DEFINED "BEST	
ACCEPTED PRACTICE" OF THE TRADE	
INVOLVED.ADDITIONALLY, ALL WORK SHALL COMPLY WITH	
APPLICABLE CODES AND TRADE STANDARDS WHICH	
GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT	
LIMITED TO ALL APPLICABLE LOCAL CODES AND/OR	
LEGISLATION.	1 m. 1.112_0
• THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING	O
THE DESIGNER OF ANY UNUSUAL OR UNFORESEEN	N.C.
FOUNDATION CONDITIONS, DISCREPANCIES OF OMISSIONS	ad ad ad
WITHIN THE PLANS OR ANY DEVIATIONS OR CHANGES	
FROM THE PLANS BEFORE PROCEEDING WITH THE WORK	
INVOLVED OTHERWISE THEY WILL BE CONSIDERED	
ADEQUATE FOR PROPER COMPLETION OF THE PROJECT.	1330 Build
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING	
FIELD MEASUREMENTS BEFORE ORDERING MATERIALS	
AND PREFABRICATED ITEMS.	
ADEQUATE SUPERVISION AND PERIODIC INSPECTION	
DURING THE CONSTRUCTION PHASE ARE RECOMMENDED.	
THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE	
THAT THIS INSPECTION AND SUPERVISION AREA PROVIDED	
BY QUALIFIED PERSONS.	
THESE PLANS SHALL NOT BE CONSIDERED COMPLETE AND READY FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS	
BEEN ISSUED.	
IN ALL CASES WRITTEN DIMENSIONS TAKE PRECEDENCE	
OVER SCALED DIMENSIONS, DIMENSIONS ARE TO THE FACE	
OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE	
NOTED.	
LARGER SCALE DETAILS TAKE PRECEDENCE OVER	
SMALLER SCALE DETAILS.	
LAY OUT ALL STRUCTURAL WORK BY REFERRING TO	
DIMENSIONS AND ELEVATION NOTES ON THE	
ARCHITECTURAL PLANS. DO NOT SCALE STRUCTURAL	
DRAWINGS WORK DETAIL DIMENSIONS FROM	
CONTROLLING SURFACE POINTS AND ACTUAL MATERIAL	
DIMENSIONS.	
SLOPE FINISH EXTERIOR SURFACE AWAY FROM	
FOUNDATION	
NOTE:	
THE FOLLOWING CODES AND REGULATIONS	
AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.	
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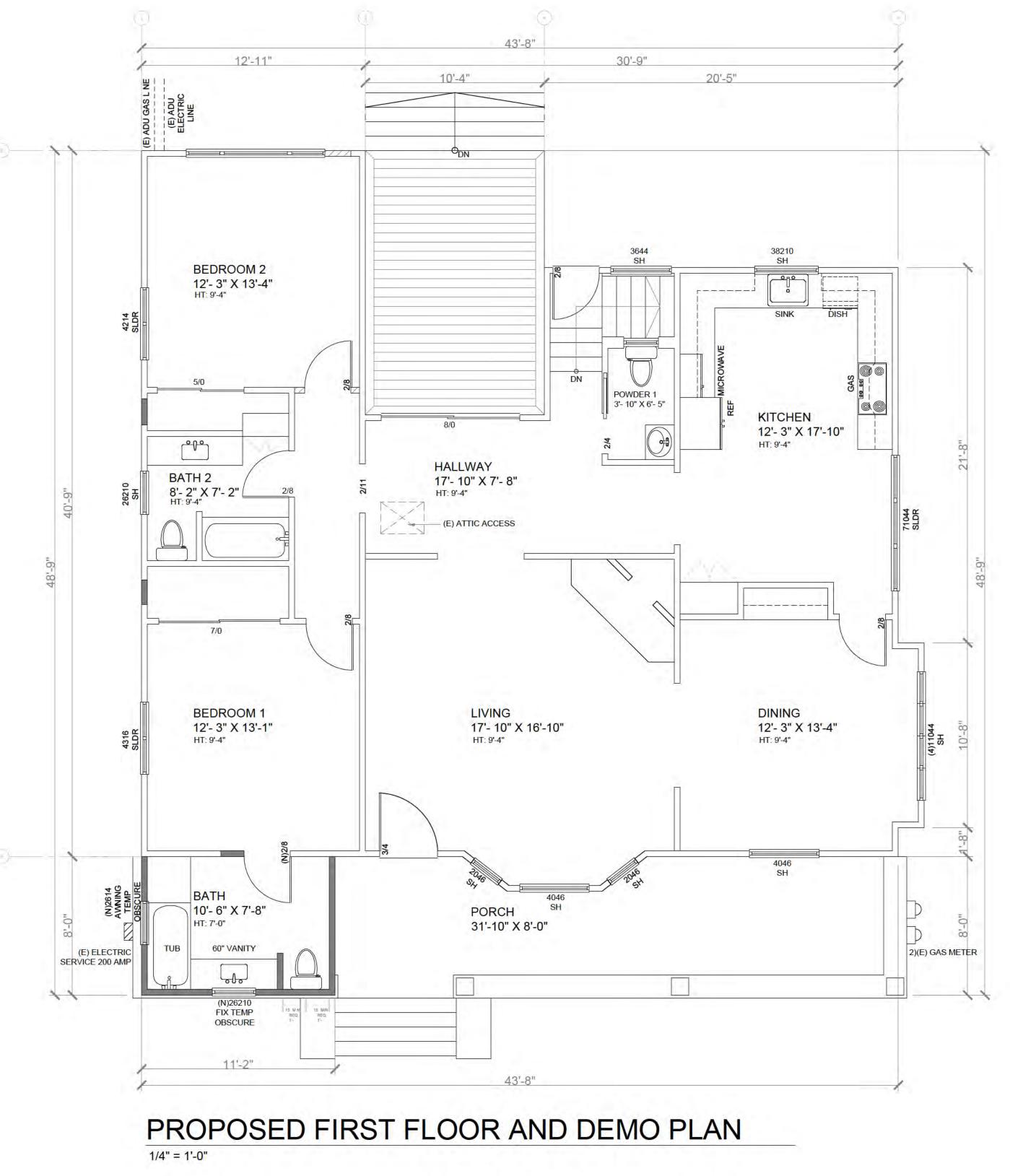
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TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

ITEM NO: 7

DATE:	March 21, 2025
TO:	Historic Preservation Committee
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Committee Conduct and Procedures

BACKGROUND:

At the meeting of February 26, 2025, it was requested that staff agendize a discussion of the Committee's Conduct and Procedures. Staff has provided the attached documents to aid in the discussion.

Received with this Staff Report:

- 1. Resolution 2024-012: Amending the Enabling Resolution of the Historic Preservation Committee and Rescinding Resolution 2021-043
- 2. Council Policy 2-04: Town Council Code of Conduct
- 3. Effective and Efficient Meetings Document

PREPARED BY:

Sean Mullin Planning Manager This Page Intentionally Left Blank

RESOLUTION 2024-012

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING THE ENABLING RESOLUTION OF THE HISTORIC PRESERVATION COMMITTEE AND RESCINDING RESOLUTION 2021-043

WHEREAS, the Town Council of the Town of Los Gatos established the Historic Preservation Committee;

WHEREAS, the Committee is advisory to the Planning Commission and operates in the manner hereinafter prescribed; and

WHEREAS, the Planning Commission at its meeting on February 14, 2024, reviewed the proposed amendments to the Enabling Resolution of the Historic Preservation Committee, held a public hearing, and forwarded a recommendation of approval to the Town Council; and

WHEREAS, this matter was regularly noticed in conformance with State and Town law and came before the Town Council for public hearing on March 19, 2024; and

WHEREAS, on March 19, 2024, the Town Council accepted the report of the Planning Commission's recommendation of approval for the proposed amendments, held a public hearing, and voted to approve the amendments to the Enabling Resolution of the Historic Preservation Committee.

WHEREAS, the Town Council of the Town of Los Gatos hereby amends the qualifications of members and the duties of the Historic Preservation Committee.

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES HEREBY RESOLVE that the terms and conditions for appointment and conduct of the Historic Preservation Committee are hereby established as follows:

- 1. Membership Organization
 - a. The Committee shall consist of five (5) voting members. Two (2) members shall be Planning Commissioners and three (3) members shall be residents of the Town.
 - b. The terms of appointment shall be at the discretion of the Chair of Planning Commission for Planning Commission members.
 - c. The resident members shall be appointed by a majority vote of the Town Council and shall serve a term of four (4) years.
 - d. The Town Council and Planning Commission Chair shall appoint professional and lay members with demonstrated interest, competence, or knowledge in historic preservation.
 - e. The Town Council and Planning Commission Chair shall seek professional Committee

members from among the disciplines of architecture, history, architectural history, planning, archeology, or other historic preservation related disciplines such as urban planning, American studies, American civilization, cultural geography, or cultural anthropology to the extent that such professionals are available in the community.

- f. Except as necessary to appoint qualified historic preservation professionals in the community, the Committee members should be residents of the Town.
- g. The removal of public members and the absence of members shall be governed in accordance with all current Town Resolutions and Policies. Vacancies shall be filled by appointment by a majority vote of the Town Council and shall be for the unexpired term of the office vacated.
- h. The Committee shall hold regular meetings at least once a month and such other meetings as it deems necessary or expedient. Special meetings shall be held by the Committee to avoid any delay of an application being considered by the Planning Commission. The Committee shall call and conduct its meetings in compliance with the Ralph M. Brown Act (Government Code Sections 54950 and following).
- i. A majority of the total number of seats filled on the Committee shall constitute a quorum for the purpose of transaction the business of the Committee.
- j. The Committee shall elect a chair and vice-chair, both of whom shall serve at the pleasure of the Committee. Terms of office shall be for one year and shall begin on February 1 and end of January 31 of the following year.
- k. Minutes of the actions taken during its meetings shall be kept permanently and shall be a public record.
- 2. Powers and Duties
 - a. The Committee oversees all development on properties that the Town considers historic.
 - b. The Committee is composed of residents with demonstrated interest, competence, or knowledge in historic preservation.
 - c. The duties of the Committee shall be to report to, consult with, and provide assistance, and make recommendations to the Planning Commission and Planning Director as provided in Chapter 29, Article VIII, Division 3 of the Town Code.
 - d. The Committee must report to the Planning Commission prior to any Commission meeting scheduled to discuss an application for a historic structure which requires Planning Commission approval, or a proposal to designate a landmark or a historic district.
- Resolution Not to Affect Powers of Town Council or Planning Commission Nothing in this resolution shall be construed as restricting or curtailing any of the powers of the Town Council or Planning Commission, or as a delegation to the Committee of any of the authority or discretionary powers vested and imposed by law in such bodies.

BE IT FURTHER RESOLVED that this Resolution rescinds Resolution 2021-043.

PASSED AND ADOPTED at a regular meeting of the Town Council of the Town of Los Gatos, California, held on the 19th day of March 2024, by the following vote:

COUNCIL MEMBERS:

AYES: Rob Moore, Rob Rennie, Maria Ristow

NAYS: Matthew Hudes, Mayor Mary Badame

ABSENT: None

ABSTAIN: None

SIGNED:

Mary Kadame

MAYOR OF THE TOWN OF LOS GATOS LOS GATOS, CALIFORNIA

DATE: 03/20/2024

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS LOS GATOS, CALIFORNIA

DATE: 3/20/2034

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LOS GATOS	COUNCIL POLICY MANUAL Small Town Service Community Stewardship Future Focus	
TITLE: Town Council Code of Conduct	POLICY NUMBER: 2-04	
EFFECTIVE DATE: 5/3/2004	PAGES: 8	
ENABLING ACTIONS: 2004-059; 2006- 111; 2021-047	REVISED DATES: 12/17/2012; 3/3/2015; 12/17/2019; 11/2/2021; 10/4/2022	
APPROVED: MARTIN	mid	

I. Preamble

The legal responsibilities of the Los Gatos Town Council are set forth by applicable state and federal laws. In addition, the Town Council has adopted regulations, including this Code of Conduct Policy, that hold Council Members to standards of conduct above and beyond what is required by law. This Policy is written with the assumption that Council Members, through training, are aware of their legal and ethical responsibilities as elected officials. These expectations of conduct also apply to all members of the Town's Boards, Committees, and Commissions.

II. Form of Government

The Town of Los Gatos operates under a Council-Manager form of government as prescribed by Town Code, Section 2.30.305. Accordingly, members of the Council are elected at-large, provide legislative direction, set Town policy, and ultimately answer to the public. The Town Manager serves as the Town's chief administrative officer and is responsible for directing the day-to-day operations of the Town and implementing policy direction.

III. Town Council Roles and Responsibilities

The role of the Town Council is to act as a legislative and quasi-judicial body. Through its legislative and policy authority, the Council is responsible for assessing and achieving the community's desire for its present and future and for establishing policy direction to achieve its desired outcomes. All members of the Town Council, including those who serve as Mayor and Vice Mayor, have equal votes.

Members of the Town Council fulfill their role and responsibilities through the relationships they have with each other and the public. Town Council Members should approach their work, each other, and the public in a manner that reflects ethical behavior, honesty and integrity. The commitment of Town Council Members to their work is characterized by open constructive communication, innovation, and creative problem solving.

TITLE: Town Council Code of Conduct	PAGE:	POLICY NUMBER:
	2 of 9	2-04
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IV. Mayoral and Vice Mayoral Selection Process

Per Town Municipal Code, Section 2.20.035, the selection of the Mayor and Vice Mayor occurs annually at a special_meeting in December by majority vote of the Town Council. The Mayor and Vice Mayor serve at the pleasure of the Town Council and may be replaced by a majority vote of the Council.

V. Mayoral and Vice Mayoral Roles, Responsibilities, Relationships

The following outlines some of the key roles, responsibilities, and relationships as they relate to the positions of Mayor and Vice Mayor:

Mayor

- A. The Mayor is the presiding officer of the Town Council. In this capacity, the Mayor is responsible for developing Council agendas in cooperation with the Town Manager and leading Council meetings.
- B. The Mayor recommends various standing committee appointments to the Council for approval.¹ This will be done at a Council meeting in December of each year. When making committee recommendations, the Mayor should attempt to balance shared responsibilities and opportunities among Council Members. The Mayor may also appoint citizens to committees not established by Town ordinance or resolution as s/he deems appropriate.
- C. The title of Mayor carries with it the responsibility of communicating with the Town Council, Town Manager, members of the public, and the media regarding decisions made by a majority of the Town Council. The Mayor also represents the Council at official and ceremonial occasions.
- D. The Mayor performs special duties consistent with the Mayoral office, including, but not limited to: signing of documents on behalf of the Town, issuing proclamations, serving as the official voting delegate for various municipal advocacy groups, and delivering the State of the Town Address at his or her discretion.² The Town Council will determine any additional authority or duties that the Mayor shall perform.
- E. Special duties consistent with the Mayoral office may be delegated to the Vice Mayor or any other member of the Town Council.
- F. In the event that one or more members of a Town Board, Commission, or Committee acts in a manner contrary to approved Board/Commission policies and procedures, the Mayor may counsel those members about the rules set forth in the Town Commissioner Handbook.³

¹ Council Agenda Format and Rules Policy

²Council Commendation and Proclamation Policy

³ Resolution 1999-167

TITLE: Town Council Code of Conduct	PAGE:	POLICY NUMBER:
	3 of 9	2-04

Vice Mayor

- A. In the Mayor's absence, the Vice Mayor shall perform the formal duties of the Mayor.⁴
- B. When the Vice Mayor performs the duties of the Mayor in his/her absence, the Vice Mayor also carries the responsibility of communicating with the Town Manager, Town Council, and members of the public.

VI. Council Conduct in Public Meetings

To ensure the highest standards of respect and integrity during public meetings, Council Members should:

- A. Use formal titles. The Council should refer to one another formally during Council meetings such as Mayor, Vice Mayor or Council Member or Mr., Mrs., or Ms., followed by the individual's last name.
- B. Practice civility and decorum in discussions and debate. Difficult questions, tough challenges to a particular point of view, and criticism of ideas and information are legitimate elements of free democracy in action. During public discussions, Council Members should be respectful of others and diverse opinions and allow for the debate of issues.
- C. Honor the role of the presiding officer in maintaining order and equity. Respect the Mayor/Chair's efforts to focus discussion on current agenda items.
- D. Council decisions should be reserved until all applicable information has been presented.
- E. Conduct during public hearings. During public testimony, Council Members should refrain from engaging the speaker in dialogue. Speakers at public meetings will be asked to provide their full name and to state whether they are a resident of the Town of Los Gatos. This information is optional but not required. For purposes of clarification, Council Members may ask the speaker questions. Council comment and discussion should commence upon the conclusion of all public testimony

VII. Maintaining Civility at Council Meetings

The public is welcome to participate at Town Council meetings and the Mayor should remind the public of the Town's expectations for civility in order for the business of the Town to be completed efficiently and effectively. These expectations include and are not limited to:

- A. For the benefit of the entire community, the Town of Los Gatos asks that all speakers follow the Town's meeting guidelines by treating everyone with respect and dignity. This is done by following meeting guidelines set forth in State law, in the Town Code, and on the cover sheet of the Council agenda.
- B. The Town embraces diversity and strongly condemns hate speech and offensive, hateful language or racial intolerance of any kind at Council Meetings.

⁴Council Agenda Format and Rules Policy

TITLE: Town Council Code of Conduct	PAGE: 4 of 9	POLICY NUMBER: 2-04

- C. Town Council and staff are well aware of the public's right to disagree with their professional opinion on various Town issues. However, anti-social behavior, slander, hatred, and bigotry statements are completely unacceptable and will not be tolerated in any way, shape or form at Town Council meetings.
- D. All public comments at the Town Council meeting must pertain to items within the subject matter jurisdiction of the Town and shall not contain slanderous statements, hatred, and bigotry against non-public officials.
- E. The Town will go through the following steps if a disturbance results from a member of the public not following these rules:
 - 1. If participating remotely, Town staff may mute the individual with an explanation for the record of why muting occurred consistent with this Policy.
 - 2. If participating in-person, the Mayor may call a recess for violation of this Policy, resulting in the immediate cessation of the audio and video recording and the Council exiting the Chamber. Staff will determine if the individual should be removed or if all members of the public should leave depending on the extent of the disturbance. In the event that all public members exit, only the press would be allowed back in the meeting. Once the individual(s) leave, the Council would return to the Chamber and the Mayor would resume the meeting.
 - 3. Persons disrupting a Council meeting may be cited for violation of the California Penal Code Section 403.

VIII. Legal Requirements

The Town Council operates under a series of laws that regulate its operations as well as the conduct of its members. The Town Attorney serves as the Town's legal officer and is available to advise the Council on these matters.

A. Training

Biannual training in the following areas shall be provided by staff to Council Members:

- 1. The Ralph M. Brown Act
- 2. Town / CA State Law on Conflict of Interest (AB 1234)
- 3. Government Section 1090
- 4. Incompatible Offices
- 5. The Fair Political Practices Commission Forms
- 6. Bias
- 7. Town / CA State Law on Harassment (SB 1343)
- B. Procurement

Unless authorized by the Town Council, Council Members shall not become involved in administrative processes for acquiring goods and services.

C. Land Use Applications

The merits of an application shall only be evaluated on information included in the public record. Council Members shall disclose ex parte communication and any information obtained outside of the public record that may influence his/her decision on a matter pending before the Town Council. Council disclosure shall occur after the Public Hearing section of the agenda, and before Council deliberations.

D. Code of Conduct Policy Newly elected Council Members are strongly encouraged to sign a statement affirming they have read and understand the Town of Los Gatos Council Code of Conduct Policy.

E. Non-Profit Organizations Council Members may not sit on boards of directors of non-profit organizations which receive funding or in-kind contributions from the Town, unless the role serves a legitimate Town purpose, such as the League of California Cities, and the participation is approved by the full Council.

IX. Council Participation in Boards, Commissions and Committees, and Reporting Requirements

There are several committees that Town Council Members have been appointed to or have an interest in, including but not limited to: Town Council standing and ad hoc committees, Town boards and commissions, regional boards and commissions, and community-generated committees.

Primary Council representatives should update the Council about board, commission, and committee activities. When serving as the primary Council representative on any board, commission, or committee, Council Members should periodically provide updated reports to the Council during the "Council Matters" opportunity on the Council meeting agenda.

Recommended actions by Council Committees should be reported to the Council. When serving on a Council Committee, whether standing or ad hoc, all work undertaken by the Committee must be directed by the Council, and all recommended actions of a Council Committee shall be reported to the Council.

X. Council Relationship with Town Staff

The Town Council has adopted a Council-Manager form of government. The Town Manager's powers and duties are outlined in the Town Code, Section 2.30.295.

Council Conduct and Communication with Town Staff

To enhance its working relationship with staff, Council should be mindful of the support and resources needed to accomplish Council goals. When communicating and working with staff, Council should follow these guidelines:

TITLE: Town Council Code of Conduct	PAGE:	POLICY NUMBER:
	6 of 9	2-04

- A. Council Members should treat staff as professionals. Clear, honest communication that respects the abilities, experience, and dignity of each individual is expected. As with Council colleagues, practice civility and decorum in all interactions with Town staff.
- B. Council Members should direct questions about policy, budget, or professional opinion to the Town Manager, Town Attorney or Department Directors. Council Members can direct questions and inquiries to any staff for information that is readily available to the general public or easily retrievable by staff.
- C. The Town Manager and staff are responsible for implementing Town policy and/or Council action. The processing of Council policy and decisions takes place with the Town Manager and staff. Council should not direct policy/program administrative functions and implementation; rather it should provide policy guidance to the Town Manager.
- D. Council Members should attempt to communicate questions, corrections, and/or clarifications about reports requiring official action to staff prior to Council meetings. Early feedback will enable staff to address Council questions and incorporate minor corrections or changes to a Council report, resulting in a more efficient Council meeting discussion; however, this does not preclude Council Members from asking questions at Council Meetings.
- E. Council Members should not direct the Town Manager to initiate any action, change a course of action, or prepare any report without the approval of Council. The Town Manager's responsibility is to advise on resources available and required for a particular course of action as it relates to the direction of the majority of the Council.
- F. Council Members should not attend department staff meetings unless requested by the Town Manager.
- G. All Council Members should have the same information with which to make decisions. Information requested by one Council Member will be shared with all members of the Council.
- H. Concerns related to the behavior or work of a Town employee should be directed to the Town Manager. Council Members should not reprimand employees.
- Per California Government Code, Sections 3201-3209, Council Members should not solicit financial contributions from Town staff or use promises or threats regarding future employment. Although Town staff may, as private citizens with constitutional rights, support political candidates, such activities cannot take place during work hours, at the workplace, or in uniform.

XI. Council Communication with the Public and other Council Members

The Public has a reasonable expectation that it may engage its Council Members on matters of community concern. In response, Council Members may express a preliminary opinion on general issues or policies that are in the development phase. Any such preliminary statement shall not indicate that a decision has been reached before the public hearing or create a presumption of bias on any quasi-adjudicatory decision such as a land use approval. In addition, Council Members may from time to time express opinions regarding broad policy matters which may be in conflict with currently adopted Council policies or explain an individual vote. Such

	PAGE:	POLICY NUMBER:
TITLE: Town Council Code of Conduct	7 of 9	2-04

statements are permissible if clearly characterized as personal opinion or policy change objectives rather than the opinion of the full Town Council.

XII. Enforcement

A. Purpose

The Council Code of Conduct Policy establishes guiding principles for appropriate conduct and behavior and sets forth the expectations of Council Members. The purpose of the policy language is to establish a process and procedure that:

- 1. Allows the public, Town Council, and Town employees to report Code of Conduct policy violations or other misconduct.
- 2. Provides guidelines to evaluate Code of Conduct policy violations or other misconduct and implement appropriate disciplinary action when necessary.

B. Procedures

1. Reporting of Complaints

The following section outlines the process for reporting Council Member Code of Conduct Policy violations or other misconduct:

- a. Complaints made by members of the public, the Town Manager, and Town Attorney should be reported to the Mayor. If a complaint involves the Mayor, it should be reported to the Vice Mayor.
- b. Complaints made by Council Members should be reported to the Town Manager or Town Attorney to adhere to Brown Act requirements.
- c. Complaints made by Town employees should be reported to the Town Manager, who will direct them to the Mayor or Vice Mayor.
- 2. Evaluation of Complaints Alleging Violations

Upon report of a written complaint, the Town Manager and Town Attorney will join the Mayor or Vice Mayor as an evaluation committee to determine the validity of the complaint and, if appropriate, an initial course of action as discussed below. If the Town Manager or Town Attorney is the complainant, the longest serving uninvolved Council Member will replace the Town Manager or Town Attorney on the evaluation committee.

Within seventy-two (72) hours of receipt of the complaint by the Mayor or Vice Mayor, the Council Member in question shall be notified of the reported complaint by the Mayor or his/her designee. The notification shall include a copy of the written complaint and supporting documentation, if any, the identity of the complainant and nature of the complaint.

TITLE: Town Council Code of Conduct	PAGE:	POLICY NUMBER:
TITLE: Town Council Code of Conduct	8 of 9	2-04

3. Unsubstantiated or Minor Violations

If the majority of the Committee agrees that the reported violation is without substance, no further action will be taken. If the reported violation is deemed valid but minor in nature, the Mayor or Vice Mayor shall counsel and, if appropriate, admonish the Council Member privately to resolve the matter. Admonishment is considered to be a reproof or warning directed to a Council Member about a particular type of behavior that violates Town policy.

4. Allegations of Major Violations

If the reported violation is considered to be serious in nature, the matter shall be referred to outside legal counsel selected by the Committee for the purpose of conducting an initial interview with the subject Council Member. The outside counsel shall report his/her initial findings back to the Committee.

If the Committee then determines that an investigation is warranted, the Committee shall direct the outside legal counsel to conduct an investigation. The investigation process would include, but is not limited to, the ascertainment of facts relevant to the complaint through interviews and the examination of any documented materials.

5. Report of Findings

At the conclusion of the investigation, outside legal counsel shall report back to the Committee in writing. The report shall either (1) recommend that the Council Member be exonerated based on a finding that the investigation did not reveal evidence of a serious violation of the Code of Conduct, or (2) recommend disciplinary proceedings based on findings that one or more provisions of the Code of Conduct or other Town policies have been violated. In the latter event, the report shall specify the provisions violated along with the facts and evidence supporting each finding.

The Committee shall review the report and its recommendations. If the consensus of the Committee is to accept the report and recommendations, the Committee shall implement the recommendations. Where the recommendation is exoneration, no further action shall be taken. Where the recommendation is to initiate disciplinary proceedings, the matter shall be referred to the Council. Where there is no consensus of the Committee regarding the recommendations, the matter shall be referred to the council.

The subject Council Member shall be notified in writing of the Committee's decision within 72 hours. Where the decision is to refer the matter to the Council, a copy of the full report, including documents relied on by the investigator shall be provided with the notification, and a copy of both shall be provided to the whole Council.

6. Proceedings

Investigative findings and recommended proceedings and disciplinary action that are brought forward to Council as a result of a significant policy violation shall be considered at a public hearing. The public hearing should be set far enough in advance to allow the Council Member in question reasonably sufficient time to prepare a response.

Investigative findings shall be presented to the Town Council at a public hearing. The rules of evidence do not apply to the public hearing. It shall not be conducted as an adversarial proceeding.

C. Disciplinary Action

1. Considerations in Determining Disciplinary Action

Disciplinary action may be imposed by Council upon Council Members who have violated the Council Code of Conduct Policy. Disciplinary action or sanctions are considered when a serious violation of Town policy has occurred by a Council Member. In determining the type of sanction imposed, the following factors may be considered:

- a. Nature of the violation
- b. Prior violations by the same individual
- c. Other factors which bear upon the seriousness of the violation
- 2. Types of Sanctions

At the discretion of the Council, sanctions may be imposed for violating the Code of Conduct or engaging in other misconduct. These actions may be applied individually or in combination. They include, but are not limited to:

- a. Public Admonishment A reproof or warning directed to a Council Member about a particular type of behavior that violates Town policy.
- b. Revocation of Special Privileges A revocation of a Council Member's Council Committee assignments, including standing and ad hoc committees, regional boards and commissions, and community-generated board/committee appointments. Other revocations may include temporary suspension of official travel, conference participation, and ceremonial titles.
- c. *Censure* A formal statement or resolution by the Council officially reprimanding a Council Member.

APPROVED AS TO FORM:

Gabrielle Whelan, Town Attorney

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Effective and Efficient Meetings and Membership

Effective meetings occur when two things happen: a clear and reasonable agenda is determined and individuals come to the meeting prepared to discuss items on the agenda and take appropriate actions. In this way, it is the responsibility of every member to make each meeting as efficient and effective as possible.

An effective meeting will:

- Start on time.
- Follow an agenda.
- Adhere to parliamentary procedure.
- Demonstrate respect for everyone in attendance and their points of view.
- Keep discussions focused and on point.
- Encourage participation and an open exchange of ideas and information.
- Make use of staff expertise and experience.

Working with Town Staff

To work well with the Board, Commission, or Committee staff liaison, or Town employee, the Commission member can be more effective if they:

• Ask questions.

You need as much information as possible in order to understand an issue before you cast your vote. It is the job of Town staff to study and understand complex situations. Ask for clarification if you need it.

• Inform staff liaison of meeting absences in advance.

If you know you will need to miss a meeting because of a schedule conflict, let the staff liaison know about it as far in advance as possible. This allows meetings to be rescheduled if it is clear there will not be a quorum.

- Treat all staff as professionals.
- Communicate clearly, honestly, and directly.
- Build a relationship based on mutual trust and respect.
- Don't ask Town staff to perform tasks or share information outside the role as liaison.

Making the Public Feel Welcome

Making the public feel welcome is an important part of the democratic process and every effort should be made to be fair and impartial in listening to public testimony. There should be no sign of partiality, prejudice, or disrespect shown by a member of a Town Board, Commission, or Committee towards anyone participating in a public forum.

The public will feel most comfortable if they:

- Are treated with politeness and respect.
- Have a fair and equitable opportunity to share their points of view.
- Feel that members of the Board, Commission, or Committee are really listening, with an open mind, to what they have to say.
- Are asked questions and are not argued with or criticized.
- <u>Never</u> hear or feel a personal attack of any kind.

Role of the Chair in welcoming the public.

- Ask speakers to identify themselves for the record.
- Enforce time limits so that all speakers have an equal opportunity to convey their views.
- Don't allow verbal exchanges to break out between speakers and opponents in the audience, or between speakers and members of the Board, Commission, or Committee, or between speakers and staff.
- Soothe tempers and quiet emotions among everyone in attendance by adhering to meeting procedures and insisting that discussion stay orderly, focused, and impersonal.

Public Conduct at Meetings

The Town strongly encourages active participation in the public process. If a member of the public wishes to speak to an item either on or off the agenda, it may be addressed during the "Verbal Communications" period. A time limit may be allocated to all speakers to better facilitate the meeting.

The purpose of a Town Board, Commission, or Committee meeting is to conduct the business of the community in an effective and efficient manner. This is done by following meeting guidelines set forth in State law and in the Town Code. Conduct which is considered disruptive during Town Council and/or Town Commission meetings include, but is not limited to:

- Addressing the Commission without first being recognized.
- Interrupting speakers, Commissioners, or staff.
- Continuing to speak after the allotted time has expired.
- Failing to relinquish the podium when directed to do so.
- Repetitiously addressing the same subject.

For the benefit of the community, the Town asks that the Town's meeting guidelines are followed and that everyone is treated with respect and dignity.

Effective Members

To participate effectively, each member of a Board, Commission, or Committee needs to:

- Understand the purpose of the Board, Commission or Committee. Be clear on your role and responsibilities and how this particular Board, Commission, or Committee fits into the governance of the Town of Los Gatos.
- Prepare for each meeting in advance.

Read through the agenda and know what will be discussed at each meeting. Read through staff reports or other background materials or visit sites, as appropriate.

• Bring an open mind to each meeting.

You are representing the entire community in your role as a member of a Town Commission, so it is important to put aside personal opinions and be open to new ideas, information, and points of view.

• Treat everyone with respect and dignity.

You are playing an important part in the democratic process which guarantees access and fair treatment to all. Your behavior and attitudes are in the spotlight and should reflect the highest standards of the community.

Tips for New Members

- Attend meetings of the Board, Commission, or Committee before applying for the position.
- Read through minutes of previous meetings of the Commission to become familiar with the current issues under discussion. These are available online in the Agenda and Minutes Center at <u>http://www.losgatosca.gov/13/Agendas-Minutes</u>.
- Ask the staff liaison if there is background material that may be helpful for you to read and study, such as the General Plan.
- Become familiar with the basic rules of parliamentary procedure <u>http://robertsrules.com</u>.
- Attend or watch online at least one or two Town Council meetings to better understand how the role of the individual Board, Commission or Committee fits into the overall governance of the Town.

Enforcement

• If a member of a Town Board, Commission, or Committee does not follow the Commissioner's Handbook, the Mayor or his/her designee will counsel that member regarding the rules and their importance to the Council and the Town (see Resolution 1999-167 and Town Council Code of Conduct Policy).

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TOWN OF LOS GATOS HISTORIC PRESERVATION COMMITTEE REPORT

ITEM NO: 8

TE:	March 21, 2025
ATE:	March 21, 2025

- TO: Historic Preservation Committee
- FROM: Joel Paulson, Community Development Director
- SUBJECT: Annual Certified Local Government Report 2023-24

PREPARED BY:

Sean Mullin Planning Manager This Page Intentionally Left Blank

(Reporting period is from October 1, 2023 through September 30, 2024)

INSTRUCTIONS: This a Word form with expanding text fields and check boxes. It will probably open as Read-Only. Save it to your computer before you begin entering data. This form can be saved and reopened.

Because this is a WORD form, it will behave generally like a regular Word document except that the font, size, and color are set by the text field.

- Start typing where indicated to provide the requested information.
- Click on the check box to mark either yes or no.
- To enter more than one item in a particular text box, just insert an extra line (Enter) between the items.

Save completed form and email as an attachment to <u>Lucinda.Woodward@parks.ca.gov</u>. You can also convert it to a PDF and send as an email attachment. Use the Acrobat tab in WORD and select Create and Attach to Email. You can then attach the required documents to that email. If the attachments are too large (greater than10mb total), you will need to send them in a second or third email.

Name of CLG

Town of Los Gatos

Report Prepared by:Sean MullinDate of commission/board review:October 2023 – September 2024

MINIMUM REQUIREMENTS FOR CERTIFICATION

I. Enforce Appropriate State or Local Legislation for the Designation and Protection of Historic Properties.

A. Preservation Laws

- What amendments or revisions, if any, are you considering to the certified ordinance? Please forward drafts or proposals. *REMINDER*: Pursuant to the CLG Agreement, OHP must have the opportunity to review and comment on ordinance changes prior to adoption. Changes that do not meet the CLG requirements could affect certification status. None.
- 2. Provide an electronic link to your ordinance or appropriate section(s) of the municipal/zoning code. https://library.municode.com/ca/los_gatos/codes/code_of_ordinances?nodeld=CO_CH29ZORE_ARTVIIIOVZOHIPR

B. New Local Landmark Designations (Comprehensive list of properties/districts designated under local ordinance, HPOZ, etc.)

(Reporting period is from October 1, 2023 through September 30, 2024)

1. During the reporting period, October 1, 2023 – September 30, 2024, what properties/districts have been locally designated?

Property Name/Address	Date Designated	If a district, number of contributors	Date Recorded by County Recorder
Type here.	Type here.	Type here.	Type here.

REMINDER: Pursuant to California Government Code § 27288.2, "the county recorder shall record a certified resolution establishing an historical resources designation issued by the State Historical Resources Commission or a local agency, or unit thereof."

2. What properties/districts have been de-designated this past year? For districts, include the total number of resource contributors?

Property Name/Address	Date Removed	Reason
14340 Browns Lane	9/25/2024	
15116 Blossom Hill Road	9/11/2024	
32 Euclid Avenue	6/26/2024	
48 Chestnut Avenue	4/24/2024	
14184 Shannon Road	3/20/2024	
14335 La Rinconada Drive (Parcel 1)	2/28/2024	
18 Oak Hill Way	2/28/2024	Dressurentius Llisteria pro 4044 preparties
		Presumptive Historic pre-1941 properties found to have no historic significance.

(Reporting period is from October 1, 2023 through September 30, 2024)

C. Historic Preservation Element/Plan

Do you address historic preservation in your general plan?
 □ Yes, in a separate historic preservation element.

 \Box No \boxtimes Yes, it is included in another element.

Provide an electronic link to the historic preservation section(s) of the General Plan or to the separate historic preservation element. *https://www.losgatosca.gov/2138/General-Plan*

D. Review Responsibilities

1. Who takes responsibility for design review or Certificates of Appropriateness?

□ All projects subject to design review go the commission.

Some projects are reviewed at the staff level without committee review. What is the threshold between staff-only review and full-commission review? Work on listed historic resources properties, including properties in historic districts, is required by ordinance to be reviewed by the Historic Preservation Committee (HPC). Pre-1941 structures are presumptive historic resources unless determined not to be significant. Proposed demolitions of presumptive and listed historic resources are reviewed by the HPC. Exterior alterations to presumptive historic resources are reviewed by staff and referred to the HPC for comment on a discretionary basis.

2. California Environmental Quality Act

 What is the role of the staff and commission in *providing input* to CEQA documents prepared for or by the local government? HPC reviews proposed demolition and/or potentially adverse alterations to listed and presumptive historic resources to provide input to CEQA documents prepared for the Town.

What is the role of the staff and commission in *reviewing* CEQA documents for projects that are proposed within the jurisdiction of the local government? Staff reviews CEQA documents based on designation or input from the HPC.

3. Section 106 of the National Historic Preservation Act

• What is the role of the staff and commission in *providing input* to Section 106 documents prepared for or by; the local government? Staff would provide input and forward to HPC to provide input to Town officials when applicable.

(Reporting period is from October 1, 2023 through September 30, 2024)

• What is the role of the staff and commission in *reviewing* Section 106 documents for projects that are proposed within the jurisdiction of the local government? HPC would provide input to Town officials when applicable.

II. Establish an Adequate and Qualified Historic Preservation Review Commission by State or Local Legislation.

A. Commission Membership

Name	Professional Discipline	Date Appointed	Date Term Ends	Email Address
Jeffrey Barnett	Attorney, Planning Commissioner	January 2024	December 2024	
Susan Burnett	Masters in Nursing, Planning Commissioner	July 2022	December 2025	
Barry Cheskin	Retired CEO	January 2021	December 2024	
Adam Mayer	Architect	January 2024	July 2024	
Martha Queiroz	Interior Designer	January 2023	December 2026	
Lee Quintana	Planner, City of San Jose (retired) Former Los Gatos Planning Commissioner	June 2023	December 2027	
Steven Raspe	Attorney, Planning Commissioner	January 2020	December 2025	

Attach resumes and Statement of Qualifications forms for all members.

- 1. If you do not have two qualified professionals on your commission, explain why the professional qualifications not been met and how professional expertise is otherwise being provided. *N*/A
- 2. If all positions are not currently filled, why is there a vacancy, and when will the position will be filled? N/A.

(Reporting period is from October 1, 2023 through September 30, 2024)

B. Staff to the Commission/CLG staff

1. Is the staff to your commission the same as your CLG coordinator? ⊠ Yes □ No tap here to enter text.

If not, who serves as staff? Click or

2. If the position(s) is not currently filled, why is there a vacancy? N/A

Attach resumes and Statement of Qualifications forms for staff.

Name/Title	Discipline	Dept. Affiliation	Email Address
Jennifer Armer, AICP, Planning Manager	BA Computer Science and Architecture; Masters in City and Regional Planning	Community Development Department (CDD)	jarmer@losgatosca.gov
Sean Mullin, MUP, AICP,	BA Geography;	Community Development	smullin@losgatosca.gov
Senior Planner	Masters in Urban Planning	Department (CDD)	
Erin Walters	BS, Landscape Architecture	Community Development	ewalters@losgatosca.gov
Senior Planner	Masters, Urban Planning	Department (CDD)	

(Reporting period is from October 1, 2023 through September 30, 2024)

C. Attendance Record

Please complete attendance chart for each commissioner and staff member. Commissions are required to meet four times a year, at a minimum. If you haven't met at least four times, explain why not.

		2023							2024	L .				
Commissioner/Staff	Oct	Nov	Dec	Jan	Feb	Mar 13	Mar 27	Apr	Мау	Jun	Jul	Aug	Sep 11	Sep 25
Planning Commissioner, Jeffery Barnett				С						С		С	\boxtimes	\boxtimes
Planning Commissioner, Vice Chair Susan Burnett	\boxtimes	\boxtimes	\square	С	\boxtimes	\boxtimes	\boxtimes		\boxtimes	С	\boxtimes	С	\boxtimes	\boxtimes
Chair Barry Cheskin	\boxtimes		\boxtimes	С	\boxtimes		\boxtimes	\boxtimes	\boxtimes	С	\boxtimes	С	\boxtimes	\boxtimes
Planning Commissioner Adam Mayer				С	\boxtimes	\boxtimes		\boxtimes	\square	С	\boxtimes	С		
Committeemember Marth Queiroz	\boxtimes	\boxtimes	\boxtimes	С	\boxtimes	\boxtimes		\boxtimes		С	\boxtimes	С	\boxtimes	\boxtimes
Committeemember Lee Quintana	\boxtimes	\boxtimes	\boxtimes	С	\boxtimes	\boxtimes	\boxtimes	\boxtimes	\boxtimes	С	\boxtimes	С	\boxtimes	\boxtimes
Planning Commissioner Steve Raspe	\boxtimes	\boxtimes		С						С		С		
Jennifer Armer, Planning Manager			\boxtimes	С	\boxtimes	\boxtimes	\boxtimes	\boxtimes	\boxtimes	С	\boxtimes	С	\boxtimes	\boxtimes
Sean Mullin, Senior Planner	\boxtimes	\boxtimes		С		\boxtimes			\boxtimes	С	\boxtimes	С	\boxtimes	\boxtimes
Erin Walters, Senior Planner				С						С		С	\boxtimes	\boxtimes

(Reporting period is from October 1, 2023 through September 30, 2024)

D. Training Received

Indicate what training each commissioner and staff member has received. Remember it is a CLG requirement is that all commissioners and staff to the commission attend at least one training program relevant to your commission each year. It is up to the CLG to determine the relevancy of the training.

Commissioner/Staff Name	Training Title & Description (including method presentation, e.g., webinar, workshop)	Duration of Training	Training Provider	Date
Sean Mullin	A New Era of Downtown Opportunity: The Intersection of Housing and Innovation	1 hour	Planetizen	Oct 2023
Type here.	Type here.	Type here.	Type here.	Type here.

III. <u>Maintain a System for the Survey and Inventory of Properties that Furthers the Purposes of the National Historic</u> <u>Preservation Act</u>

A. Historical Contexts: initiated, researched, or developed in the reporting year (excluding those funded by OHP) NOTE: California CLG procedures require CLGs to submit survey results, including historic contexts, to OHP. (If you have not done so, submit an electronic copy or link if available online with this report.)

Context Name	Description	How it is Being Used	Date Submitted to OHP
N/A	Click or tap here to enter text.	Click or tap here to enter text.	Click or tap here to enter text.

(Reporting period is from October 1, 2023 through September 30, 2024)

B. New Surveys or Survey Updates (excluding those funded by OHP)

NOTE: The evaluation of a single property is not a survey. Also, material changes to a property that is included in a survey, is not a change to the survey and should not be reported here.

Survey Area	Context Based- yes/no	Level: Reconnaissance or Intensive	Acreage	# of Properties Surveyed	Date Completed	Date Submitted to OHP
N/A	Type here.	Type here.	Type here.	Type here.	Type here.	Type here.

How are you using the survey data? N/A

IV. Provide for Adequate Public Participation in the Local Historic Preservation Program

A. Public Education

What public outreach, training, or publications programs has the CLG undertaken? How were the commissioners and staff involved? Please provide an electronic link to all publications or other products not previously provided to OHP.

Item or Event	Description	Date
Town of Los Gatos website	Town history: <u>http://www.losgatosca.gov/index.aspx?NID=1822</u>	On-going
	Historic Preservation: <u>http://www.losgatosca.gov/index.aspx?NID=190</u>	
Hooked on Los Gatos	The Los Gatos Library and History Museum of Los Gatos maintain a web-site that provides digitized images of over 5,000 photographs, maps, death records, minutes, letters, advertisements, postcards and family archives. https://www.losgatosca.gov/1471/Local-History	On-going

(Reporting period is from October 1, 2023 through September 30, 2024)

ADDITIONAL INFORMATION FOR NATIONAL PARK SERVICE ANNUAL PRODUCTS REPORTS FOR CLGS

NOTE: OHP will forward this information to NPS on your behalf. Please read "Guidance for completing the Annual Products Report for CLGs" located at http://www.nps.gov/clg/2015CLG GPRA/FY2013 BaselineQuestionnaireGuidance-May2015.docx.

A. CLG Inventory Program

During the reporting period (October 1, 2023-September 30, 2024) how many historic properties did your local government **add** to the CLG inventory? This is the total number of historic properties and contributors to districts (or your best estimate of the number) added to your inventory **from all programs**, local, state, and Federal, during the reporting year. These might include National Register, California Register, California Historic Landmarks, locally funded surveys, CLG surveys, and local designations.

Program area	Number of Properties added

B. Local Register (i.e., Local Landmarks and Historic Districts) Program

- 1. During the reporting period (October 1, 2023-September 30, 2024) did you have a local register program to create local landmarks and/or local districts (or a similar list of designations) created by local law? ⊠Yes □ No
- 2. If the answer is yes, then how many properties have been added to your register or designated from October 1, 2023-September 30, 2024? 1 (see A.)

C. Local Tax Incentives Program

1. During the reporting period (October 1, 2023-September 30, 2024) did you have a Local Tax Incentives Program, such as the Mills Act? □ Yes □ No

(Reporting period is from October 1, 2023 through September 30, 2024)

2. If the answer is yes, how many properties have been added to this program from October 1, 2023-September 30, 2024? N/A

Name of Program	Number of Properties Added During 2023-2024	Total Number of Properties Benefiting From Program
Type here.	Type here.	Click or tap here to enter text.

D. Local "bricks and mortar" grants/loan program

- 1. Duuring the reporting period (October 1, 2023 September 30, 2024) did you have a local government historic preservation grant and/or loan program for rehabilitating/restoring historic properties? □Yes ⊠No
- 2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2023-September 30, 2024? N/A

N	ame of Program	Number of Properties that have Benefited
Type here.		Type here.

E. Design Review/Local Regulatory Program

- 1. During the reporting period (October 1, 2023-September 30, 2024) did your local government have a historic preservation regulatory law(s) (e.g., an ordinance) authorizing Commission and/or staff review of local government projects or impacts on historic properties? ⊠ Yes □ No
- 2. If the answer is yes, how many historic properties did your local government review for compliance with your local government's historic preservation regulatory law(s) from October 1, 2023-September 30, 2024? 34

F. Local Property Acquisition Program

1. During the reporting period (October 1, 2023-September 30, 2024) did you have a local program to acquire (or help to acquire) historic properties in whole or in part through purchase, donation, or other means? □Yes ⊠ No

(Reporting period is from October 1, 2023 through September 30, 2024)

2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2023-September 30, 2024?

Name of Program	Number of Properties that have Benefited
N/A	Type here.

IN ADDITION TO THE MINIMUM CLG REQUIREMENTS, OHP IS INTERESTED IN A SUMMARY OF LOCAL PRESERVATION PROGRAMS

- A. What are your most critical preservation planning issues? Preservation, rehabilitation, and re-use of historic resources.
- B. What is the single accomplishment of your local government this year that has done the most to further preservation in your community?
 Providing preservation input to the General Plan Update Advisory Committee regarding revisions to the Environment and Sustainability, Land Use, and Community Design Elements of the Draft General Plan 2040. Providing useful direction regarding rehabilitation and re-use of historic resources.
- C. What recognition are you providing for successful preservation projects or programs? None at this time.
- D. What are your local historic preservation goals for 2022-2023? To continue to provide useful direction regarding rehabilitation and re-use of historic resources; Discuss contributing structures; Consider review of Los Gatos Preservation/Rehabilitation Guidelines.
- E. So that we may better serve you in the future, are there specific areas and/or issues with which you could use technical assistance from OHP? Type here.

(Reporting period is from October 1, 2023 through September 30, 2024)

F. In what subject areas would you like to see training provided by the OHP? How you like would to see the training delivered (workshops, online, technical assistance bulletins, etc.)?

Desired Delivery Format
Type here.

G. Would you be willing to host a training working workshop in cooperation with OHP? \Box Yes \Box No

H. Is there anything else you would like to share with OHP? Click or tap here to enter text.

XII Attachments (electronic)

- Resumes and Statement of Qualifications forms for all commission members/alternatives and staff
- \boxtimes Minutes from commission meetings
- □ Drafts of proposed changes to the ordinance
- $\hfill\square$ Drafts of proposed changes to the General Plan
- □ Public outreach publications

Email to Lucinda.Woodward@parks.ca.gov