

**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
MARCH 26, 2025
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
4:00 PM**

*Lee Quintana, Chair
Martha Queiroz, Vice Chair
Susan Burnett, Planning Commissioner
Emily Thomas, Planning Commissioner
Alan Feinberg, Committee Member*

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@logatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email planning@logatosca.gov with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

- For inclusion in the agenda packet: by 11:00 a.m. the Friday before the Committee meeting.
- For inclusion in the agenda packet supplemental materials: by 11:00 a.m. on the day of the Committee meeting.
- For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email to planning@logatosca.gov by 3:00 p.m. the day of the meeting.

CALL MEETING TO ORDER

ROLL CALL

CONSENT ITEMS (*Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Committee may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 1 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.*)

1. Draft Minutes of the February 26, 2025 Historic Preservation Committee Meeting

VERBAL COMMUNICATIONS (*Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.*)

PUBLIC HEARINGS (*Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.*)

2. Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. **Located at 222 University Avenue.** APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Minor Development in an Historic District Application HS-24-055. Property Owner/Applicant: Tuyet Pham. Project Planner: Sean Mullin.
3. Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.
4. Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 16488 Bonnie Lane.** APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California

Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

5. Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. **Located at 16401 Englewood Avenue.** APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002. Property Owner/Applicant: Christine Garwood. Project Planner: Ryan Safty.

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

6. Consider a Request for Preliminary Review to Construct an Addition to an Existing Pre1941 Single-Family Residence on Property Zoned R-1D. **Located at 333 Los Gatos Boulevard.** APN 529-22-021. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Request for Review Application PHST-25-004. Property Owner/Applicant: Nichola Palmer. Project Planner: Sean Mullin.
7. Committee Conduct and Procedures
8. Annual Certified Local Government Report 2023-24

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354- 6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 03/26/2025

ITEM NO: 1

**DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
FEBRUARY 26, 2025**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on February 26, 2025, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Lee Quintana, Planning Commissioner Susan Burnett, and Committee Member Alan Feinberg.

Absent: Planning Commissioner Emily Thomas and Vice Chair Martha Queiroz.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS

1. Approval of Minutes – January 22, 2025

MOTION: **Motion by Commissioner Burnett to approve the consent calendar.
Seconded by Committee Member Feinberg.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

PUBLIC HEARINGS

2. 17121 Wild Way
Request for Review PHST-24-022

Consider a Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: ALG Homes, LLC
Applicant: Erik Zang
Project Planner: Maria Chavarin

The project planner presented the staff report.

Opened Public Comment.

Mark Hulbert, Preservation Architect,

Mark has decades of experience with historic resources which includes windows. Window manufacturers now offer more historic style windows. Of the array of window choices, he recommends for residential buildings, either the Marvin's ultimate series or the Anderson's E series. Both offer high quality and offer customization. The existing windows are steel. But at 100 years old, they are leaky and rusty on the interior. A new steel replacement is four times the cost if other options. Steel is also bulky and heavy. There is nothing wrong with fiberglass. There are solid and aluminum clad choices. They offer casing choices. The Marvin's Ridgeland profile matches the windows on the house. The windows' interior would be wood and painted.

Committee members asked questions of the applicant.

Mark Hulbert, Preservation Architect,

The Marvin clad has simulated divided lites. The old windows have a 1-¼ inch sash of steel. The new windows have a 2-inch sash necessary to meet environmental needs. The dark sample is the Anderson profile. The Marvin example is a better profile match. The casing is a better match. There is a better profile on the muntin. It is a custom narrow muntin. The divided lites are simulated and not individual glass panes. The windows will be double-paned, environmental, and fire glass. All forty windows will be changed. Marvin can customize each one. The color of the window will be a dark charcoal. The metal edge will not show. It'll be a full window. The frame, sash, casings are all one piece. The Fire Department asks that all the windows be changed for fire protection. The steel doors will remain.

Closed Public Comment.

Committee members discussed the matter.

Surprised to find a Tudor style home of this quality and age is in this Town. It is truly unique. Thank you for taking the extra effort to preserve what is there. Thank you to the owners for doing what we asked and presenting it to us.

MOTION: **Motion by Committee Member Fienberg** to Approve the Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080. Recommending the Marvin window described as a half metal clad and wood interior window. **Seconded by Commissioner Burnett.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

3. 354 Bachman Court
Request for Review Application HS-25-008

Consider a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: John Haas

Applicant: Renewal by Andersen/Hilda Ramirez

Project Planner: Sean Mullin

The project planner presented the staff report.

Opened Public Comment.

Hilda Ramirez, Applicant

Mr. Haas, the owner, attempted to purchase twelve retrofit Fibrex windows and one patio door. The original windows are vinyl. The owner's main concern is about energy efficiency.

Closed Public Comment.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

When the Design Guidelines were written, these materials were not available. "Fibrex" is the brand name for wood composite. The applicant is proposing like-for-like double-hung windows.

Committee members discussed the matter.

MOTION: **Motion by Commissioner Burnett** to Approve a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. **Seconded by Allen Feinberg.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

4. 123 Wilder Avenue
Architecture and Site Application S-23-039

Consider a Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage) Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-18-008. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Bogusla Marcinkowski and Brygida Sas-Marcinkowski

Applicant: Jose De La O

Project Planner: Sean Mullin

The project planner presented the staff report.

Applicant is not present.

Opened and Closed Public Comment.

Committee members discussed the matter.

Concerned that the applicant has not shown up or sent a representative. Would like to hear from them before deciding. In support since the proposed siding would complement the house which has the same style siding. The owner wants to change the siding but that requires an entirely different application. The setbacks are not standard either. If the siding changes, it loses the setback variance. Could not support the application if it does not follow the rules.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

A potential remedy is to apply for a Variance to the shingle siding and a Variance for the non-conforming setback. If the exterior is so rotten, it can be demolished with in-kind replacement. If deemed repairable by the Building Official, they can replace in kind using the same footprint. Communication with the applicant is challenging. It is best to have them appear to a hearing to get their feedback.

MOTION: **Motion by Chair Quintana** to Continue to a Date Uncertain the Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage), for Staff to Communicate with the Applicant as to Difficulties of a Non-in-Kind Replacement and for Next Steps. **Seconded by Commissioner Burnett.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

5. 31 University Avenue

Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001

Requesting Approval for Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Planned Development Modification PD-25-001, Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Jordan Brown, Architect and Design Lead, and Stu Waggoner, Pre-development Lead

RH is a retail and restaurant company founded in 1979 in Northern California. It is based in Corte Madera with several prominent locations around the Bay Area including a Gallery on Santa Cruz Avenue. Where they have been a tenant for the last 15 years. We are invested in the design of our brand and physical gallery experiences. We're obsessed with great architecture. We either find to readapt existing buildings or build. With Los Gatos it a little bit of both. The proposal at 31 University Avenue is sensitive to and supportive of the larger historic district. The design will expand the aesthetic and details of the existing Mediterranean style while maintaining the existing footprint, setback, and overall massing.

Upgraded building finish of hand-troweled colored venetian plaster, installation of new metal windows and doors whose size, rhythm and topology consistent with the existing building style and of the caliber of the old town shopping center across University Avenue. The current building is a non-contributing commercial building, built in 1999. Currently an assemblage of small store fronts of miscellaneous, unrelated materials. Previously housed two separate retail

and restaurant tenants. The retail portion has been vacant for last two years. Proposal as a single tenant, they unified the unrelated units to create a visually harmonious and stately façade commensurate with the caliber of the surrounding Old Town commercial center. As shown in the elevation comparison, our proposal reorganizes the buildings for our needs by creating a central entry and restaurant space with surrounded retail that seamlessly blends interior and exterior home and hospitality. Created a formal central entry and adjusted the misaligned cornices and rooflines as well as the window sizing and spacing for a more cohesive façade.

Committee members asked questions of the applicant.

Jordan Brown, Architect and Design Lead

We took our design cues from the existing architecture. The existing façade details are carried through to the new design. This proposal is one of the more unique Restoration Hardware buildings in the area. It was designed at a smaller scale to fit a smaller town. The footprint, cornice details, façade openings, and window details all match what is there. Most of the surrounding buildings are all the same material. The skylight would be barely visible from the human eye level, down the street and from across the street. The skylight is seven inches lower than the surrounding buildings. We have brought renderings of different perspectives, time of day, an interior view to show how it relates to the exterior, a photo of the corner now and a drawing of the proposed for comparison. However, there is not a drawing of the rear view from the parking lot.

Closed Public Comment.

Committee members discussed the matter.

The building seems out of character with the rest of Old Town. It does not follow Policy LU 6.5: consistent with the neighborhood, or Policy LU 1.4: designed in context of the neighborhood. The skylight can be seen from the back. The roofline does not have enough character. The proposed design modifies the original intent of that side of the street which is to appear as a collective of individual structures. The three structures should not be unified into one consistent and symmetrical mass. Prefer the optical illusion of different rooflines, finishes, windows, and awnings. Even though it has the Mediterranean style it is not as compatible with the rest of downtown. The design doesn't relate well with the existing Old Town section of downtown.

MOTION:

Motion by Commissioner Burnett to Deny the Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. They could come back. **Seconded by Committee Member Fienberg.**

ALTERNATE

MOTION: **Motion by Chair Quintana** to Continue the Item to a Date Uncertain. Ask the Applicant to Consider the Issues Raised about Being Broken up into Different Sections and More Compatible with the Surrounding Structures. **Seconded by Commissioner Burnett**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

OTHER BUSINESS

6. 14344 La Rinconada Drive
Request for Review Application PHST-24-013

Preliminary Review for Construction of an Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 14344 La Rinconada Drive. APN 409-19-019. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: William Maynard
Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Michelle Minor, Architect Designer

The street is diverse in styles and sizes. The houses are predominately cottage style with a few Craftsmen, stucco ranch, and others. Their proposal has a garage on the street. There are eleven homes on that street. Three have no garages. Three have detached garages in the rear. One has a detached 3-car garage. One has a garage that takes up the whole front. One lot has two homes with a flag lot behind. This two-home lot has an attached garage that is 3 ½ feet in front of any other front elevation. The proposed design will be slightly back from the front and not as predominant. The garage roof pitch has been lowered from 12 by 12 to 10 by 12. The roof form has been reduced and the garage roof height has been reduced by over two feet. The structure now classified as an attic. On Wedgewood Avenue and Mulberry Drive, the garages are mainly located in front. As instructed, the design is set back, has reduced bulk, and all the materials, trim, windows, siding, and roofing will match what is there. The design is consistent with the street. It does not overwhelm the street. A fence and landscaping will be added in front.

Committee members asked questions of the applicant

Michelle Minor, Architect Designer

If they make the roof double gabled it would be very prominent. Added a hip roof instead to reduce the prominence.

Closed Public Comment.

Committee members discussed the matter.

The request to be removed from the inventory has to be made by the Applicant. On this street there were other small bungalows that have asked to be removed from the inventory. But once a house is removed it can be replaced by a much larger structure. This design is a big improvement over what was presented before. It is a major upgrade to the street and the house. The Committee is supportive of the design.

This is a preliminary review and does not require a motion.

Staff will work with applicant on next steps.

REPORT FROM THE DIRECTOR

None.

COMMITTEE MATTERS

- Agenda item suggestion to have an informal discussion with committee and staff, on what constitutes a pre-1941 building, not in a Historic District, vs. a Landmark designation. A Landmark must be consistent with the State or Los Gatos criteria. If it is exceptionally significant it is a Landmark. Historic Districts that don't necessarily have Landmark building but can have Pre-1941 buildings that are contributors to the District. There are Pre-1941 Presumptive buildings that are not in a District. How do we decide what is not Presumptive but a Historic Resource? What is the criteria? Need clarity for consistency. It would be an educational discussion under Other Business.

ADJOURNMENT

The meeting adjourned 5:28 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 26, 2025 meeting as approved by the Historic Preservation Committee.

Prepared by:

Sean Mullin, AICP, Planning Manager

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 03/26/2025

ITEM NO: 2

DATE: March 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. **Located at 222 University Avenue.** APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Minor Development in an Historic District Application HS-24-055. Property Owner/Applicant: Tuyet Pham. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for approval for construction of an addition and exterior alterations to an existing non-contributing single-family residence located in the University-Edelen Historic District on property zoned R-1D:LHP located at 222 University Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1900 (effective year built 1920) per County Assessor's Database
2. Town of Los Gatos Historic Status Code: R, historic but grossly altered
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, University-Edelen
5. If yes, is it a contributor? No
6. Findings required? Yes
7. Considerations required? Yes

BACKGROUND:

The subject property is located on the east side of University Avenue approximately 178 feet north of Miles Avenue. The property is developed with a single-story single-family residence with two attached accessory dwelling units. The County Assessor reports that the residence was constructed in 1900, with an effective year built of 1920. The Anne Bloomfield survey does not indicate an estimated age for the residence and provides a preliminary rating of "R" or historic

PREPARED BY: Sean Mullin, AICP
Planning Manager

but grossly altered (Attachment 1). The Sanborn Fire Insurance Maps show the property vacant in 1908 with the residence first appearing on the 1928 map (Attachment 2). The footprint of the residence remains consistent through the 1956 map, which is markedly different than the current footprint. This indicates that numerous additions were completed after 1956, likely impacting all elevations.

Town records include multiple issued Building Permits for the property in the 1940s, 70s, and 90s; however, the permits are not legible, and the scope of work cannot be determined.

At least two previous projects on the property were review by the Committee in 2008 and 2014. During these reviews, the Committee opined that demolition of the residence was supported at the time. Minutes from these meetings are included as Attachment 3.

On November 20, 2024, the Los Gatos Historic Preservation Committee continued consideration of the request, recommending that the applicant consider the following feedback (Attachment 5):

- The proposed folding doors (two-panel and three-panel) on the front elevation are too contemporary for the residence and the District;
- The existing window on the left side of the front elevation should not be replaced with a door;
- Revise the proposed sliding door on the right elevation to a French door with divided lites to be consistent with the District;
- Select a siding product with a profile that is authentic and consistent with the District;
- Any new windows that are visible from the street should be double-hung; and
- Integrate the proposed trellis on the front elevation into the design to avoid a pasted-on appearance.

DISCUSSION:

The applicant submitted revised plans in response to the Committee's direction (Attachment 6). The revised plans show that the previously proposed two-panel folding door on the right side of the front elevation has been replaced with a propose French door system with divided lites. Additionally, the previously proposed three panel folding door on the left side of the front elevation has been eliminated and the existing window would remain. The horizontal siding proposed to replace the existing mix of siding in the previous plan has been revised to wood shingle siding. Lastly, the proposed trellis on the front elevation has been enlarged and includes more substantial posts and roof framing.

The applicant proposes replacement of the existing siding, which is comprised of wood shingles, board and batten, and horizontal wood siding distributed in an unorganized fashion on each elevation (Attachments 4 and 6). The existing mixed siding materials support the history of the

residence presented above, that the residence has experienced numerous small additions across each elevation after 1956. The original footprint and exterior walls have been significantly impacted by these additions, either through removal or enclosure. The applicant proposes to remove the mixed wood siding and replace it with wood shingle siding across all elevations, resulting in a consistent aesthetic. On the surface, the siding replacement would result in a technical demolition; however, the Committee could exempt the siding replacement from the demolition calculation if it is determined that the siding being removed is not original to the pre-1941 residence based on the provided history of the residence.

FINDINGS AND CONSIDERATIONS:

A. Findings

Sec. 29.10.020. Demolition (*historic structures*)

All remaining exterior walls must be contiguous and must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

- ___ a. *Replacement.* The exterior wall covering may be removed if the covering is not original to the structure.
- ___ b. *Repair.* The removal and replacement of in kind non-repairable exterior wall covering (siding) resulting in no change to its exterior appearance or historic character if approved by the deciding body.
- ___ c. *Removal.* The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

B. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

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SUBJECT: 222 University Avenue/HS-24-055

DATE: March 21, 2025

C. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

CONCLUSION:

The applicant is requesting approval for construction of an addition and exterior alterations to an existing non-contributing single-family residence located in the University-Edelen Historic District located at 222 University Avenue. The applicant provided revised plans responding to the Committee's feedback. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director. The project would be accomplished through a Building Permit and would not return to the Committee.

ATTACHMENTS:

1. Anne Bloomfield Survey
2. Sanborn Fire Insurance Maps Exhibit
3. HPC Minutes from 2008 and 2014
4. Exterior Photos
5. November 20, 2024, HPC Action Letter
6. Revised Development Plans

UE

210

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 222 University

PARCEL MAP INFORMATION

Parcel # 529-04-004 - W/Ph Lot size: 55 front ft. x 110 ft. deep

Lot shape: Rectangle / L Rectangle with small rear jog Other

Location: N S E / W side of U St Ave / Other

distance to cross st: 165 ft. N / S E W from Miles

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Vineyard Lots Old Block # 5 Old lot # 3

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating R Estimated age ? Style mixed # stories 1

Alterations aluminum windows

Other ex-barn - ^{natural} shingles & board & batten

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date
County Inventory 1979
Town of Los Gatos: Designation Recognition
District Name
Previous Survey
Gebhard: page # illustration page #
Butler/Junior League

PHOTOS: Roll/frame # 002/18 Date 5 Oct 89



Present owner: Mr. Joseph Molinari

E.c.d.

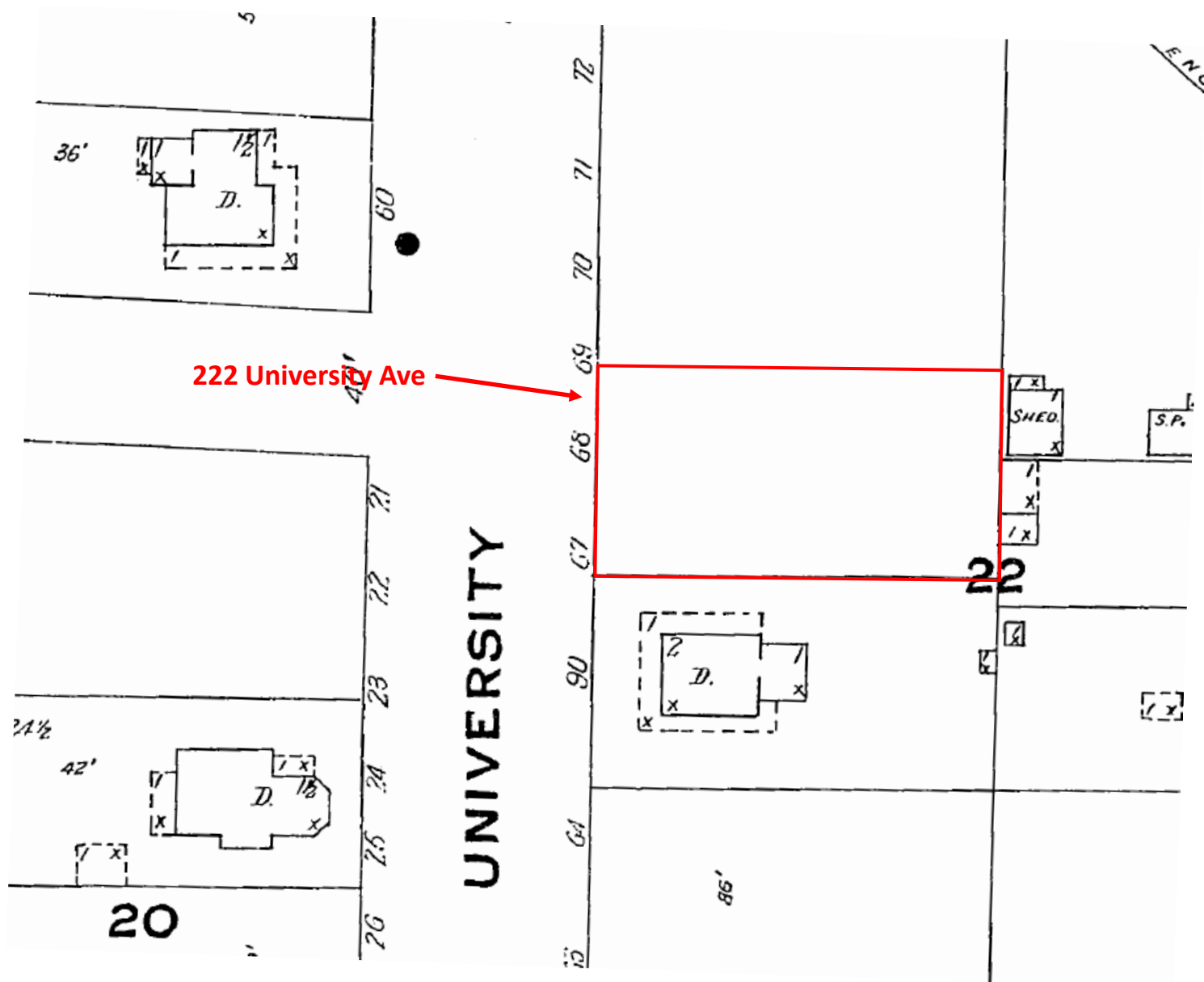
1896 L.G.T.R.

Ownership:

Sarah and Maybelle Johnson (1941 L.G.T.R.)
Beauty Parlor in house
1960's Mr. John Blackburn (i.s. next door neighbor, north)
(i.s. Lucia Sutton's Real Estate office)
1969 Mr. Robert Garrety
1970 Mr. Joseph Molinari, shop The Jade Buddha in house

Occupants:

1925 Ellen Sobey
1934 vacant
1943 - 1954 Mrs. Sarah B. Johnson
1967 Mrs. Anita Dinning, renter
Crisp & Reilly Real Estate, office in house



222 University Ave

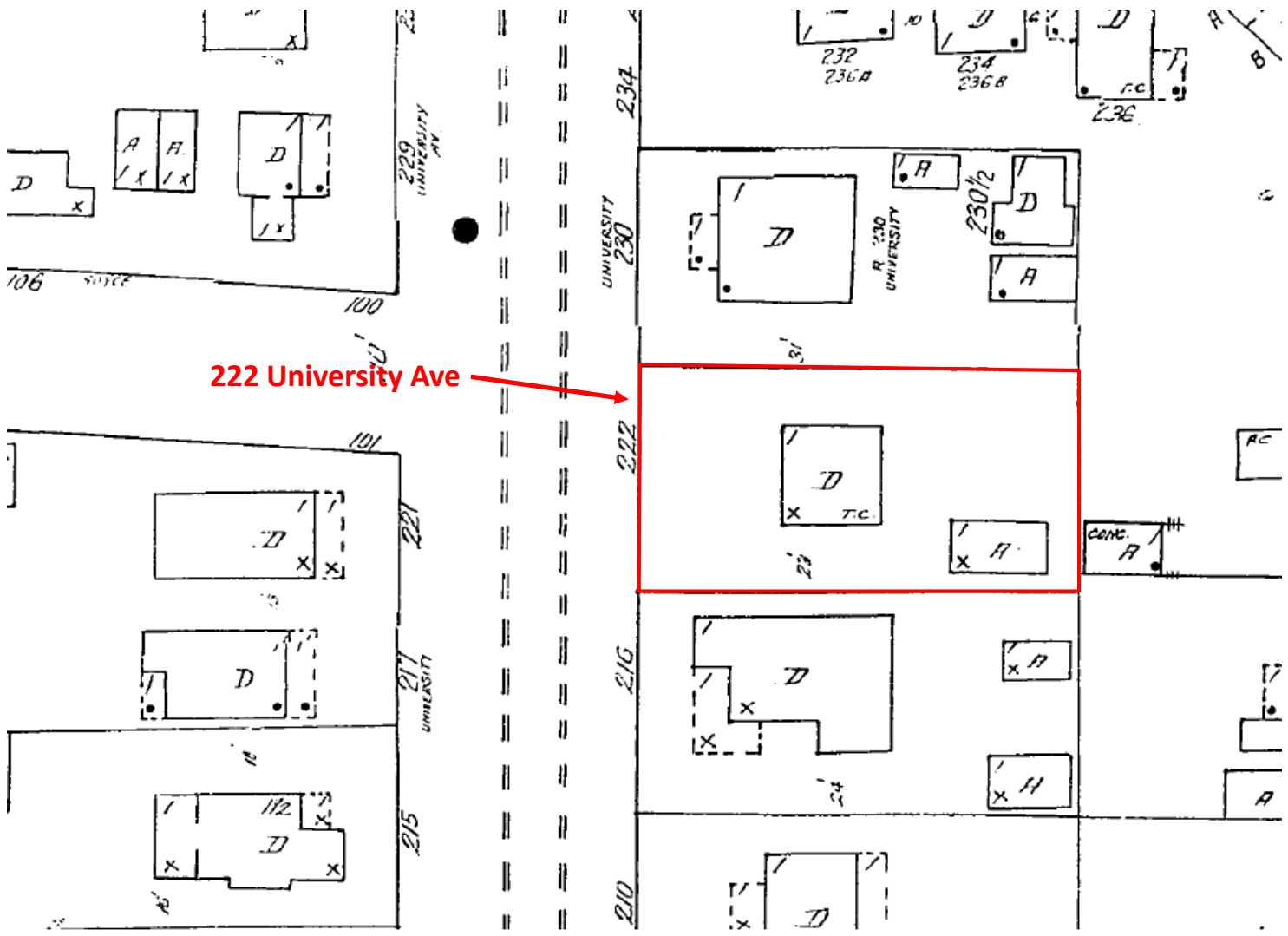
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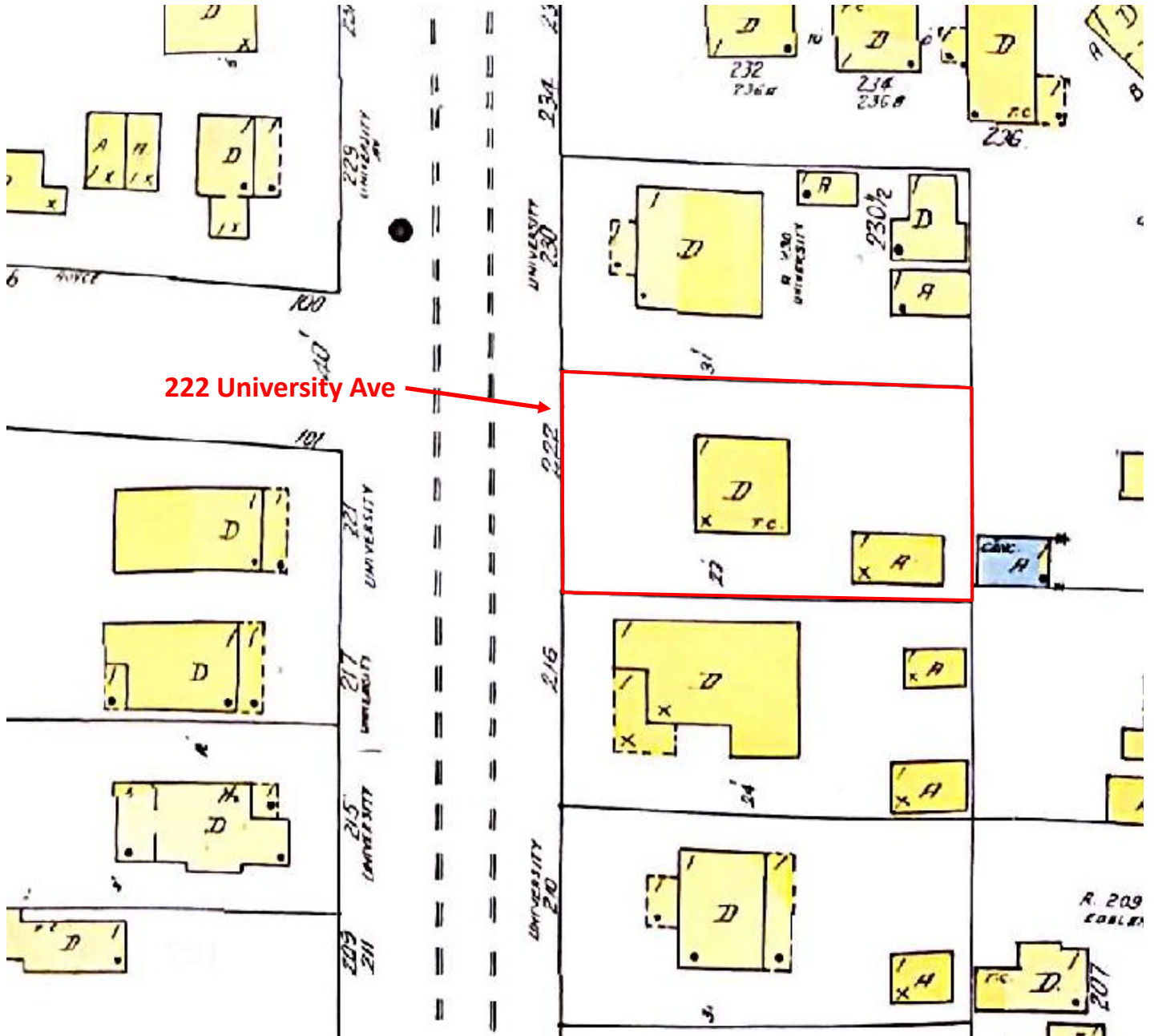
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222 University Ave



222 University Ave

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110 TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR **JANUARY 16, 2008**, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Vice-Chair Pacheco.

ATTENDANCE

Members Present: Bob Cowan, Len Pacheco, and Marico Sayoc

Members Absent: Kendra Burch and Phil Micciche

Staff Present: Sandy Baily, Associate Planner

ITEM 1: **ZONING ORDINANCE AMENDMENT REGARDING POWERS AND DUTIES OF THE HISTORIC PRESERVATION COMMITTEE**

The Committee considered draft changes to the Zoning Ordinance regarding the duties of the Historic Preservation Committee. Baily informed the Committee that the changes proposed to this section would also result in amendment to the section dealing with the procedures for minor historic projects. Cowan moved to recommend approval of the changes to the Planning Commission with the change of 300 square feet to 500 square feet for Section 29.80.277(3)b. Pacheco seconded, motion passed unanimously.

ITEM 2: **OTHER BUSINESS**

- a. 222 Bella Vista Avenue – The Committee discussed revised plans for the relocation of a pre-1941 single family house for a lot split. The Committee commented that the openness of the lot creates an estate like feeling which should be retained. The Committee expressed concern regarding the driveway location, the amount of hardscape for the driveways, retaining the arched entry and walls and tree impacts. The Committee stated that the existing large front yard should be retained for both lots and the new structure should replicate the existing structure to remain. The applicant was encouraged to research the possibility of a Certificate of Compliance as opposed to a subdivision.
- b. 26 Oak Hill Way – The Committee stated that the house had no historic significance and should be removed from the inventory. The Committee directed staff to put this item on the next agenda to have it removed from the Historic Resources Inventory.
- c. **222 University Avenue** – The Committee discussed preliminary plans to demolish a

single family residence in the University/Edelen Historic District. The Committee thought that demolition could be justified. Applicant was informed to check the development standards for the University/Edelen Historic District and the proposed development standards and guidelines for the new structure.

- d. Residential Design Guidelines – Pacheco and Cowan said they would review the contributor list for Historic Districts and get back to staff.
- e. Draft Cover Sheet for HPC applications – The Committee made no changes to the cover sheet which will now be used for future applications.

ITEM 3: **APPROVAL OF MINUTES**

The minutes from the meeting of December 19, 2007 were approved.

ITEM 4: **STATUS OF PREVIOUS APPLICATIONS**


Baily discussed the status of previous applications.

ITEM 5: **ADJOURNMENT**

The meeting was adjourned at 7:30 P.M. to the next regular meeting of February 20, 2008.

Prepared by:

Approved by:


for Sandy L. Baily, Associate Planner


Kendra Burch, Chair

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110 TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR **MARCH 19, 2008**, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Chair Burch.

ATTENDANCE

Members Present: Kendra Burch, Bob Cowan, Len Pacheco, Phil Micciche and Joanne Talesfore

Staff Present: Sandy Baily, Associate Planner

ITEM 1: **Welcome New Planning Commissioner Representative**

The Committee welcomed back Joanne Talesfore to the Committee.

ITEM 2: **46/48 BROADWAY**

The Committee reconsidered a request of exterior alterations to a two family residence in the Broadway Historic District. Pacheco moved to approve the application subject to the following conditions:

1. Change the proposed windows from a three over one to a one over one window except for the two existing large plate glass windows which can remain.
2. Eliminate the proposed belly band at the front elevation and add a belly band on the left elevation which ties into the overhang to break up the mass.

Micciche seconded, motion passed unanimously. Appeal rights were cited. The Committee requested that the applicant consider extending the floor of the entry porch, add a wrought iron baluster and/or add landscaping to enhance the entry way. If the applicant files an application to eliminate the second dwelling unit, the Committee commented that they were in favor of this request since they believed that a single residential unit would preserve the character of the neighborhood.

ITEM 3: 222 UNIVERSITY AVENUE

The Committee considered a request to demolish a single family residence and to construct a new residence in the University/Edelen Historic District. Burch moved to continue the matter with the following directions:

1. The consensus of the Committee is that a demolition will be recommended for approval when the application is ready for action by the Committee.
2. Reduce the house height but ensure that the roof pitch is sympathetic to a craftsman style house. Strive for a three foot height reduction as discussed by the applicant.
3. The doors at the rear shall be French doors.
4. Look at shingle and board siding or other historic siding combination. Provide photographs to justify siding proposed.
5. Look at incorporating dormer style elements.

Pacheco seconded, motion passed unanimously.

ITEM 4: 57 FAIRVIEW PLAZA

The Committee considered a request to modify windows on a single family residence in the Fairview Plaza Historic District. Talesfore moved to approve the application subject to the following conditions:

1. The windows in the gables at the rear and side elevations shall be arched.
2. The window at the front elevation shall be changed to a two side by side window to match the existing window.
3. The windows can be clad to be consistent with the windows to remain.

Micciche seconded, motion passed unanimously.

Talesfore left the meeting.

ITEM 5: 113 EDELEN AVENUE

The Committee considered a request for exterior window and door changes to a single family residence in the University/Edelen Historic District. The Committee continued the matter to a special meeting to allow the applicant time to provide elevations which clearly show the changes proposed.

ITEM 6: **142 JOHNSON AVENUE**

The Committee considered a request to add onto a pre-1941 single family residence. Pacheco moved to recommend approval of the application in terms of architecture only, subject to the following conditions:

1. Increase the windows at the west and north elevations with multi-light windows so that the enclosure better resembles an enclosed porch.
2. A lock rail is recommended for the rear door.
3. The porch railing shall match the railing existing on the second floor.

Cowan seconded, motion passed unanimously.

ITEM 7: **OTHER BUSINESS**

- a. 417/421 Monterey Avenue – The Committee considered preliminary plans to add onto a pre-1941 residence. It was recommended that the applicant first meet with staff since there were numerous questions that needed to be resolved prior to considering any request.
- b. 369 Johnson Avenue – The Committee consider revised preliminary plans for a demolition or an addition. The Committee stated that they would need a structural report to assist them in making a determination on whether or not a demolition could be justified.
- c. 302 Alameda Avenue – The Committee considered preliminary plans for exterior modifications. The Committee stated that the proposal was acceptable and that the applicant should proceed in filing an application.
- d. 514 San Benito Avenue – The Committee considered preliminary plans for a demolition. Based on the documents provided, the Committee stated that they felt they could support a demolition request.
- e. Residential Design Guidelines/Zoning Ordinance Amendments – Baily discussed the matter before the Committee and clarified the current and proposed review process for applications. The Committee reviewed their past memos and minutes and confirmed that the proposed ordinance amendments presented to the Planning Commission had been reviewed by them and forwarded to the Commission with a recommendation for adoption. Discussion ensued on whether or not any changes should be made to their recommendation. The Committee focused their discussion on the section dealing with additions to the first floor. A compromise was reached that the section should be changed as follows (new wording in italics):

Additions to the first floor of a residence (*excluding additions not visible from the street that do not exceed 20%-15% of the existing floor area of the house*)

(excluding cellars) or 500 400 square feet of gross floor area, whichever is less).

Staff will amend the Draft Zoning Ordinance Amendment for the Committee to review at the special meeting. Burch requested that the Committee look at different scenarios regarding the proposed changes to discuss at the special meeting.

- f. Appointment of new Chair and Vice Chair – Continued to the next meeting.

ITEM 8: **STATUS OF PREVIOUS APPLICATIONS**

Handled under other business, Item 7e.

ITEM 9: **APPROVAL OF MINUTES**

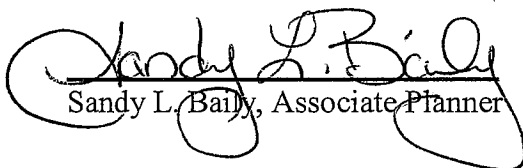
The minutes from the meeting of February 20, 2008 were approved.

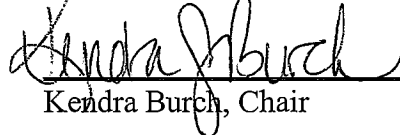
ITEM 10: **ADJOURNMENT**

The meeting was adjourned at 9:15 P.M. to a special meeting of April 2, 2008.

Prepared by:

Approved by:


Sandy L. Baily, Associate Planner


Kendra Burch, Chair

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110 TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR **AUGUST 20, 2008**, HELD IN ROOM 214 OF THE NEIGHBORHOOD CENTER, 208 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 6:00 P.M. by Vice Chair Cowan.

ATTENDANCE

Members Present: Bob Cowan, Len Pacheco, and Joanne Talesfore

Members Absent: Kendra Burch and Phil Micciche

Staff Present: Sandy Baily, Associate Planner

ITEM 1: 222 UNIVERSITY AVENUE

The Committee reconsidered plans to demolish a pre-1941 single family residence and construct a new single family residence in the University/Edelen Historic District. Pacheco moved to recommend approval of the demolition based on the followings:

1. The building is not associated with any events that have made a significant contribution to the Town.
2. No significant persons are associated with the site.
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
4. Does not yield information important to the Town's history.

Talesfore seconded, motion passed unanimously.

Pacheco moved to recommend approval of the new single family residence to the Development Review Committee with the following modifications:

1. The garage door shall be changed to a carriage style door that simulates two doors.
2. At the front elevation the arbor shall be extended beyond the side of the house.
3. The bracket in the gable end at the front elevation shall be made larger.
4. The kitchen shall be pushed back on the first floor so that the second floor cantilevers over the first floor.
5. At the rear elevation the picture window under the gable end, shall be modified to step down on both sides and the lites shall be adjusted to be in character with the window.
6. Prior to the issuance of a building permit, revised plans which addresses condition 4

shall be forwarded to the Historic Preservation Committee as an item of interest.

Talesfore seconded, motion passed unanimously. The Committee commented that the applicant could consider adding craftsman style brackets on any of the gable ends.

ITEM 2: **222 SAN MATEO AVENUE**

The Committee considered a request to demolish a pre-1941 single family residence. Talesfore moved to recommend approval of the demolition to the Development Review Committee based on the following findings:

1. The building is not associated with any events that have made a significant contribution to the Town.
2. No significant persons are associated with the site.
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master.
4. The structure is in poor condition.
5. Does not yield information important to the Town's history.

Pacheco seconded, motion passed unanimously. The Committee recommended that the replacement structure should represent the original architectural style of the existing structure.

ITEM 3: **136 GLEN RIDGE AVENUE**

The Committee considered plans to interpret whether or not proposed exterior modifications meet the Pre-1941 Design Guidelines. The Committee found that the exterior changes associated with the pizza oven met the guidelines. Pacheco moved to continue the rest of the discussion to the next meeting to allow the applicant time to provide additional information to address their concerns. Talesfore seconded, motion passed unanimously.

ITEM 4: **OTHER BUSINESS**

1. 236 Bean Avenue – The Committee considered preliminary plans for exterior alterations/additions. The applicant was commended for the model that was provided. The front entry was recommended to be simplified. The removals and additions proposed were received favorably except for the cantilevered curved element. At the south and west elevations, the existing windows should be maintained.
2. Future Library Building (demolition of 56, 56A, and 104 Villa Avenue, and 17 Fiesta Way)- The Committee commented that a historic report should be required and possibly an archaeological report. All houses determined to have historic significance should be relocated.

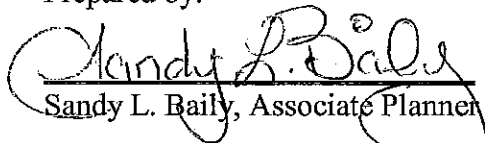
ITEM 5: **APPROVAL OF MINUTES**

The minutes from the meetings of July 16, 2008 were approved.

ITEM 6: **ADJOURNMENT**

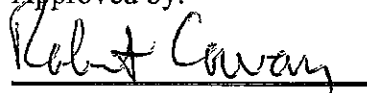
The meeting was adjourned at 8:45 P.M. to the next regular meeting of September 17, 2008.

Prepared by:


Sandy L. Baily, Associate Planner

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Approved by:


Bob Cowan, Vice - Chair

TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95030 (408) 354-6872

SUMMARY MINUTES OF SPECIAL MEETING OF THE **HISTORIC PRESERVATION COMMITTEE** OF THE TOWN OF LOS GATOS FOR **DECEMBER 17, 2014**, HELD IN THE TOWN COUNCIL CHAMBERS, 110 E MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 4:00 P.M. by Chair Len Pacheco.

ATTENDANCE

Members Present: Mary Badame, Tom O'Donnell, Len Pacheco, Bob Cowan, Kathryn Janoff

Members Absent: None.

Staff Present: Jennifer Savage, Senior Planner

VERBAL COMMUNICATIONS - None

ITEM 1 MINUTES

Tom O'Donnell moved to approve the minutes of November 18, 2014. The motion was seconded by *Bob Cowan* and approved (4-0-1).

ITEM 2 78 W. MAIN STREET

No application representative was present. The matter was not heard.

ITEM 3 15090 BLOSSOM HILL ROAD

Jeff Hansen and *Sally Ajinga* (property owners) were present.

Len Pacheco clarified that the request is to remove the property from the Historic Resources Inventory (HRI).

Jeff explained the property owner's research.

Mary Badame asked about 15090 Blossom Hill Road "B". *Jeff* commented that "B" is the cottage.

Len Pacheco visited the site and met *Jeff*. *Len Pacheco* observed the structure was collection of different materials. Asked if current property owners made any changes since they purchased the property. *Jeff* commented they added some doors and reroofed.

Bob Cowan commented that there is no historical context.

Kathryn Janoff commented that the houses in the area were built as a getaway from San

Francisco. There is one property down the road that was historic for the former orchard.

Len Pacheco commented some of the work appears to be that of a carpenter and includes different window styles.

Tom O'Donnell agrees with the comments. *Mary Badame* agrees with the comments.

Kathryn Janoff moved to approve the request to remove the structure from Historic Resources Inventory. The motion was seconded by *Tom O'Donnell* and approved unanimously.

Len Pacheco commented the property owners expressed intentions to maintain the structure and remodel it to make the structure better.

ITEM 4 OTHER BUSINESS

a. 194 Villa Avenue

Mark DeMattei (builder) and *Jim Meech* (listing agent) were present. *Mark* explained that the house is on the market and he is interested in the challenging site and looking for advice from HPC. *Jim* commented that this property has a small structure with a poor foundation, slanted windows and doors, bowed roof, and a high sales price. *Jim* believes that *Mark* is the buyer that would be able to develop the property in keeping with the Town of Los Gatos.

Tom O'Donnell commented that the structure has some charm from the exterior. If the structure is in really bad condition HPC might be able to support demolition.

Mary Badame commented that more information is needed. The structure has some character. What is the price?

Mark provided the real estate flyer. *Jeff* commented that the price per square foot is low but the structure is a small home that families stray away from. And the house needs work.

Mary Badame would be concerned about the cost for foundation work.

Mark commented the structure is not ideal for a remodel. *Jeff* commented that it has been remodeled and added onto so there is a mix of construction.

Kathryn Janoff commented that HPC recommendations are meant to preserve

the exterior character. The property research shows that there is some historic significance and she would like to preserve that character. It would be difficult to approve demolition. She supports preserving the existing structure and moving the structure and/or adding onto in the back. There are examples of that type of work in Town. The house at the end of Broadway was supposedly in disrepair but the buyer wanted to and was able to maintain the structure.

Mark and Jeff expressed concerns about the cost of upgrades to the existing structure.

Bob Cowan agrees with *Kathryn Janoff's* comments. He is familiar with Campbell and Main Street projects that are similar. He would support bringing the existing structure forward and adding on to it. There are ways to add a second story without dominating the existing structure.

Jeff discussed other examples.

Len Pacheco agrees with the other members' comments. He supports maintaining the exterior. An addition and/or cellar could work. Could move the structure forward. Observed the need for repairs. Commented it may be possible to add square footage and add a garage. The existing structure is a good example of its type. A second story may be okay.

Tom O'Donnell noted that HPC cannot guarantee a second story because there are other considerations to account for.

Len Pacheco discussed examples of successful second story additions.

b. 222 University Avenue

Titi Lueong (property owner's daughter) and *Dennis Sebastian* (designer). *Titi* commented her mother would like to update the structure and would like advice about the design. They provided renderings of what they are thinking of.

Mary Badame asked if the property would be all pavement with no yard.

Dennis confirmed there is no yard.

Len Pacheco complimented the property on purchasing the property and working on the design. The structure will require a lot of work to repair and

the Committee will require structural condition and engineering reports. Suggests completing an exploration of the condition of supporting beams, rot, mold, siding, etc. Results may show it is better to demolish the structure. Asked the representatives to go to library and conduct research on the property.

Tom O'Donnell commented there is no foundation and agreed with *Len Pacheco's* comments. It may be better to have a new building or buildings. Research is needed and a professional opinion is needed. The existing structure is not attractive. Asked if the representatives are you preserving it or improving it.

Len Pacheco commented that this structure may be remnant of a vacation home from San Francisco residents.

Bob Cowan commented that there was a previous application request on this property.

Titi commented that it did come before HPC in the past and HPC recommended approval of the request to demolish the existing structure.

Kathryn Janoff commented that if HPC supported demolition there may be HPC support to remodel.

Len Pacheco commented that the Town supports maintaining existing housing units.

Tom O'Donnell commented that the property owner should talk to Planning staff to discuss maintaining the three housing units. Ask if the three units were demolished could they be maintained.

Titi explained that the property owner really wants to maintain the three units.

Len Pacheco commented that the property is located in a Historic District so the Committee would look at the proposal. Suggested hiring a professional to evaluate the condition of the structure.

Kathryn Janoff commented that the design should incorporate the architectural style of the neighborhood.

Committee commented they do not like the amount of hardscape.

Titi commented that the representatives will reduce the hardscape and keep the existing tree in the front.

Len Pacheco commented that the representatives should use the book *A Field Guide to American Homes* for guidance on architecture.

Bob Cowan commented that the structure should appear like a single-family home.

Kathryn Janoff commented that the current design does a good job at maintaining a single-family home look but is a little contemporary for the neighborhood.

Mary Badame commented the representatives should talk to neighbors.

The Committee directed the representatives to check with Planning staff about requirements, including parking and garage requirements.

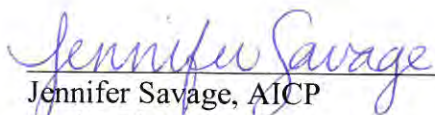
Tom O'Donnell commented the representatives should consider using an architect that is familiar with the Town of Los Gatos.

ITEM 5 ADJOURNMENT

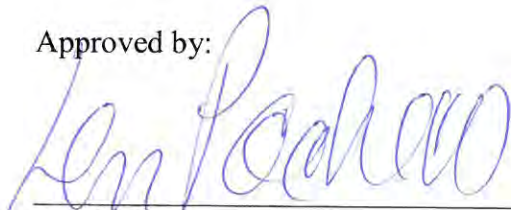
The meeting was adjourned at 5:01 p.m. The next regular meeting is scheduled for January, 28, 2014, at 4:00 p.m.

Prepared by:

Approved by:



Jennifer Savage, AICP
Senior Planner



Len Pacheco
Chair



Town File Photos - 2008



Front



Right Side and Rear



Rear



Rear and Left Side

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

November 22, 2024

Tuyet Pham
16721 Madrone Avenue
Los Gatos, CA 95030
Via email

**RE: 222 University Avenue
Minor Development in an Historic District Application HS-24-055**

Requesting Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

**Property Owner/Applicant: Tuyet Pham
Project Planner: Sean Mullin**

On November 20, 2024, the Los Gatos Historic Preservation Committee continued consideration of the above request, recommending that the applicant consider the following feedback:

- The proposed folding doors (two-panel and three-panel) on the front elevation are too contemporary for the residence and the District;
- The existing window on the left side of the front elevation should not be replaced with a door;
- Revise the proposed sliding door on the right elevation to a French door with divided lites to be consistent with the District;
- Select a siding product with a profile that is authentic and consistent with the District;
- Any new windows that are visible from the street should be double-hung; and
- Integrate the proposed trellis on the front elevation into the design to avoid a pasted-on appearance.

Please consider the above feedback as you revise your plans. Contact staff when the project is ready to return to the Committee for further review.

ATTACHMENT 5

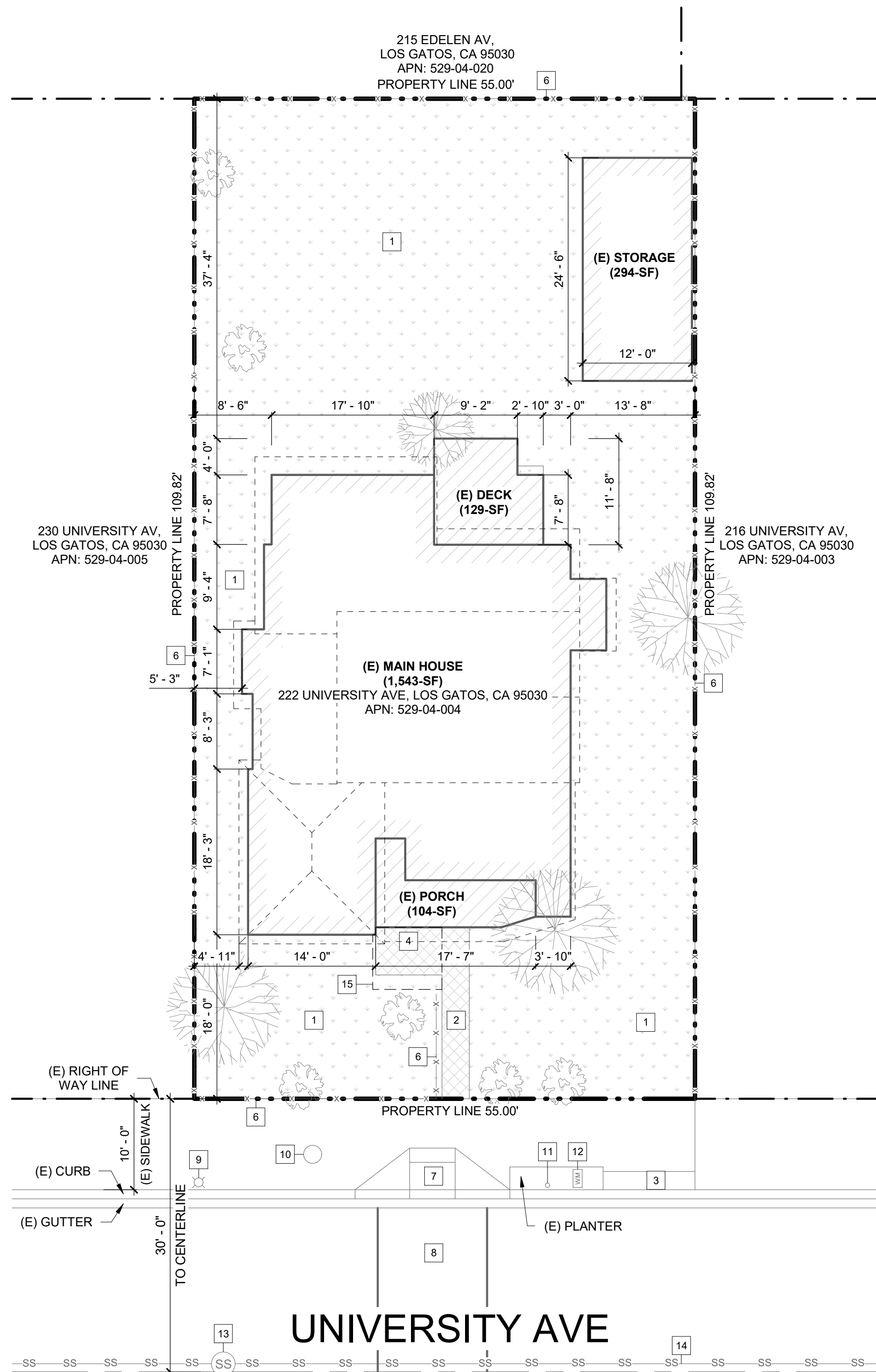
If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at smullin@osgatosca.gov.

Best regards,

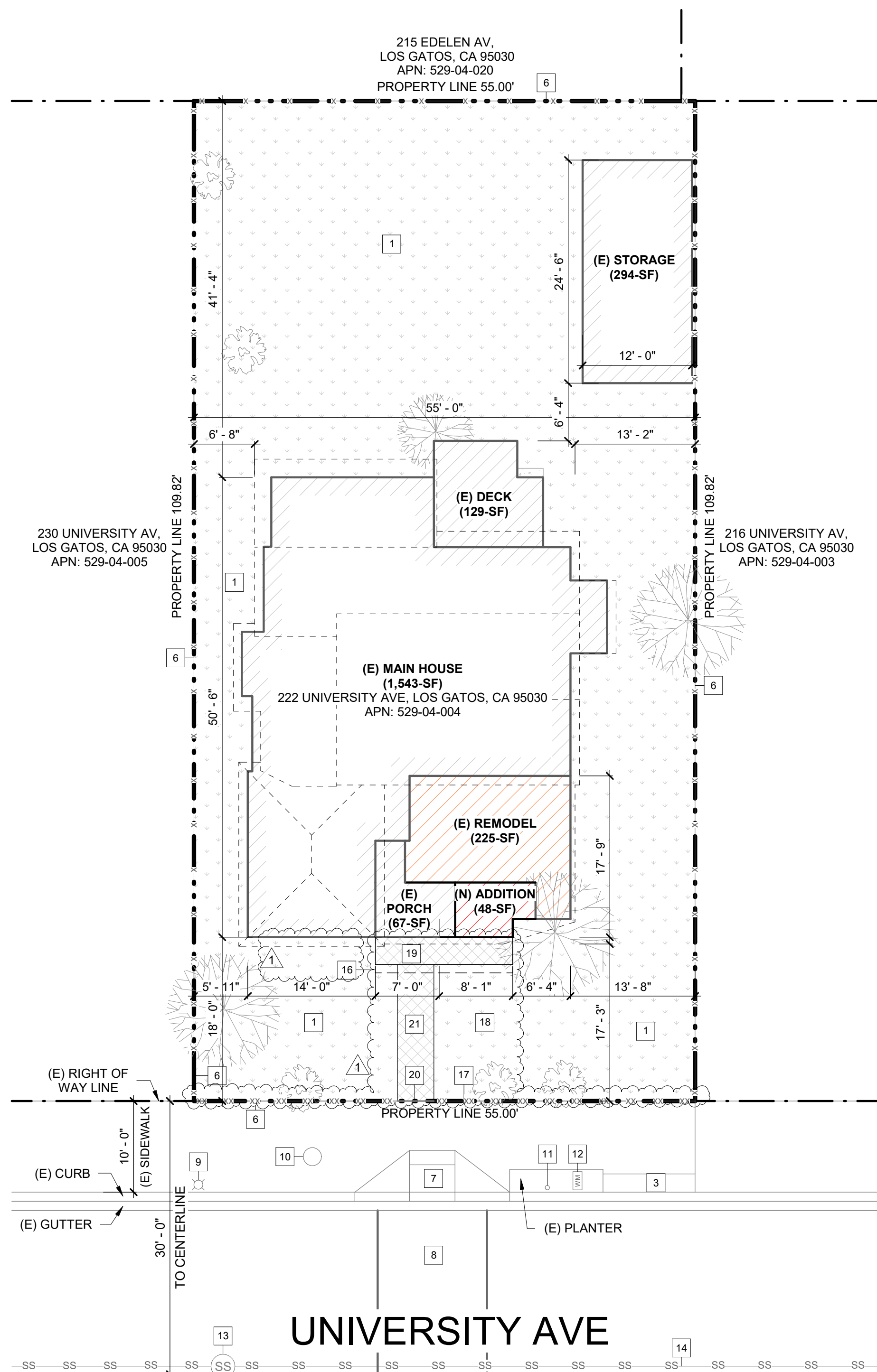
A handwritten signature in black ink, appearing to read "Sean Mullin". The signature is fluid and cursive, with the first name being more prominent.

Sean Mullin, AICP
Planning Manager

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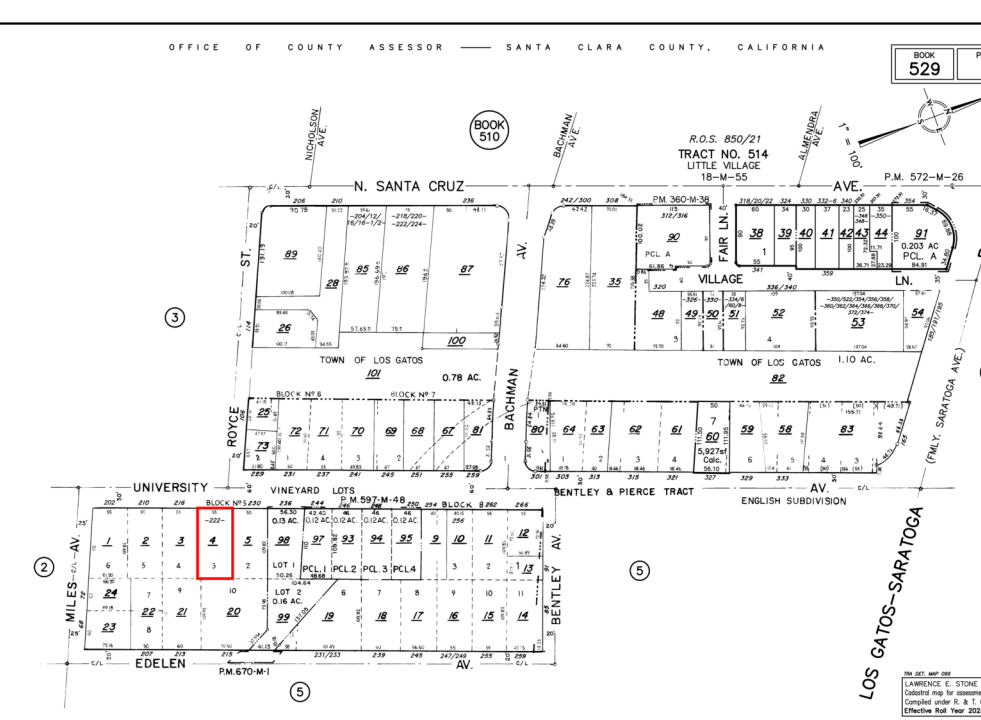
1 EXISTING SITE PLAN
1" = 10'-0"



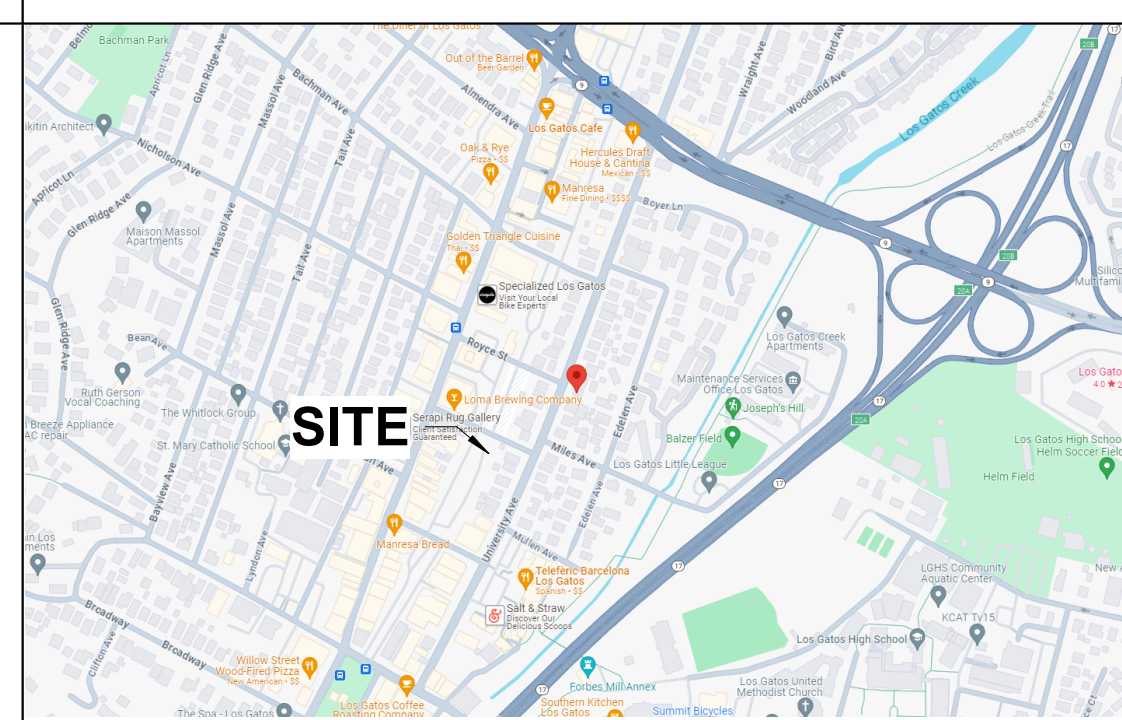
2 PROPOSED SITE PLAN
1" = 10'-0"

PLAN NOTE: CONTRACTOR TO VERIFY IN FIELD THE EXISTING LOCATIONS OF UTILITY LINES.

PARCEL MAP



VICINITY MAP



PROJECT DATA

JURISDICTION AUTHORITY: CITY OF LOS GATOS
ASSESSORS PARCEL NO. APN: 529-04-004
IN FLOOD ZONE FEMA SHFA'S: FLOOD ZONE **
CONSTRUCTION TYPE: V-B
ZONING: R-1D
OCCUPANCY GROUP: R3/U
SPRINKLERS: NO
NUMBER OF STORIES: 1 STORY
BUILDING MAX HEIGHT: 30-FT (2 STORIES)

REQUIRED SETBACKS:
 FRONT: 15 FT
 REAR: 20 FT
 SIDE: 5 FT
 SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. CONTRACTOR TO VERIFY ON SITE.

LOT SIZE: 6,040-SF (0.1 ACRES)

EXISTING:
 (E) MAIN HOUSE LIVING AREA: 1,543-SF
 (E) PORCH: 104-SF
 (E) DECK: 129-SF
 (E) STORAGE: 294-SF
 (E) REMODEL: 225-SF

EXISTING TOTAL: 2,070-SF

NEW CONSTRUCTION:
 ADDITION: 48-SF
 PORCH: 67-SF

PROPOSED BUILDING TOTAL: 1,591-SF

MAXIMUM LOT COVERAGE: %
OVERALL LOT COVERAGE: 1,591 + 67 + 129 + 294 = 2,081-SF
 2,081 / 6,040 = 34.5%

MAXIMUM FAR: %
OVERALL FAR: 1,591 + 67 = 1,658-SF
 1,658 / 6,040 = 27.5%

PROJECT INFORMATION

OWNER: 222 UNIVERSITY AVE, LOS GATOS, CA 95030
ADDRESS:
PHONE:
EMAIL:

DESIGNER: BAY AREA PROJECT PRO
CONTACT: MY TRUONG
ADDRESS: 99 S ALMADEN BLVD #600, SAN JOSE, CA 95113
PHONE: 669-667-9189

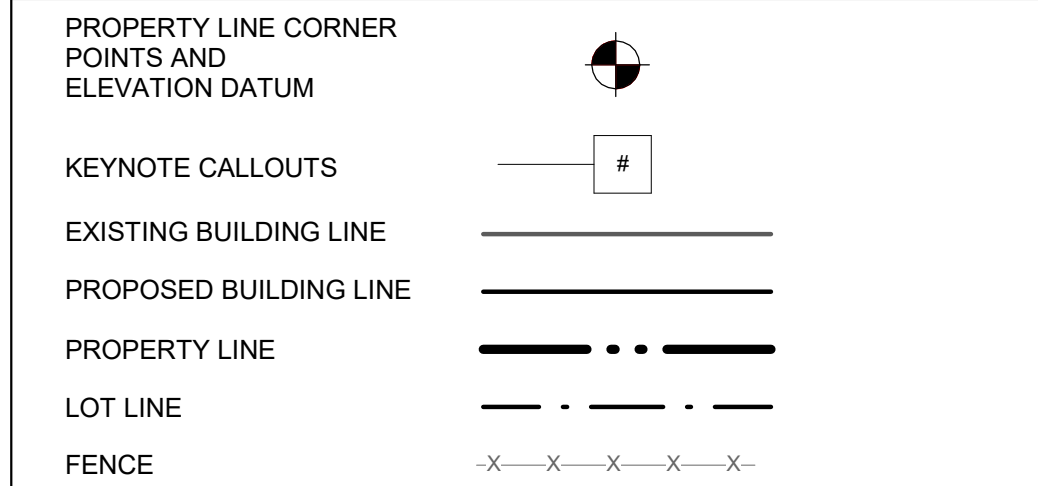
CIVIL ENGINEER: TIMOTHY NGUYEN
ADDRESS: 4 VISTA IRVINE, CA 92612
PHONE: 714-883-6001

APPLICABLE CODE

LEGAL JURISDICTION : CITY OF LOS GATOS, CA 95030

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS
 REGULATION OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE CITY OF LOS GATOS MUNICIPAL CODE.

SYMBOL LEGEND



SCOPE OF WORK

ROOF, SIDING, WINDOWS AND DOORS REPLACEMENT, ADDITION AND KITCHEN REMODEL OF APPROX. 48-SF

SITE PLAN KEYNOTES

- | | | |
|-----------------------|----------------------|----------------|
| 1 (E) LANDSCAPE | 8 (E) CROSSWALK | 16 (N) TRELLIS |
| 2 (E) WALKWAY | 9 (E) LIGHTING POLE | 17 (N) FENCE |
| 3 (E) DRIVEWAY | 10 (E) GARBAGE CAN | 18 (N) WALKWAY |
| 4 (E) PAVERS | 11 (E) SIGN | 19 (N) LANDING |
| 5 ROOF LINE ABOVE | 12 (E) WATER METER | 20 (N) GATE |
| 6 (E) FENCE | 13 (E) SEWER MANHOLE | 21 (N) WALKWAY |
| 7 (E) ACCESS SIDEWALK | 14 (E) SEWER LINE | |
| | 15 (E) TRELLIS | |

SHEET INDEX

A.00	COVER SHEET
A.01	CAL GREEN CODE
A.02	CAL GREEN CODE
A.03	GENERAL NOTES
A.10	EXISTING FLOOR PLANS
A.11	EXISTING ROOF PLAN & ELEVATIONS
A.12	PROPOSED FLOOR PLAN
A.13	PROPOSED ELEVATIONS/ SECTIONS
A.14	ROOM FINISH & ARCHITECTURAL DETAILS
S.01	STRUCTURAL NOTES
S.21	STRUCTURAL PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS

SITE PLAN NOTES

1. DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC.. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC... BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGNER/ENGINEER AS REQUIRED.

2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

3. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, PURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

4. WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.



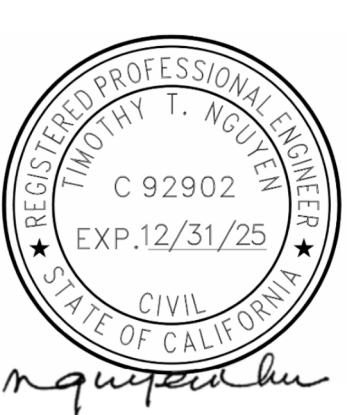
REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

COVER SHEET

ADDITION AND REMODEL

222 University Ave, Los Gatos, CA 95030

DATE: 12/18/24
 SCALE: AS SHOWN
 DRAW BY: T.B



JOB NO: #335
 DRAWING NO:

A.00

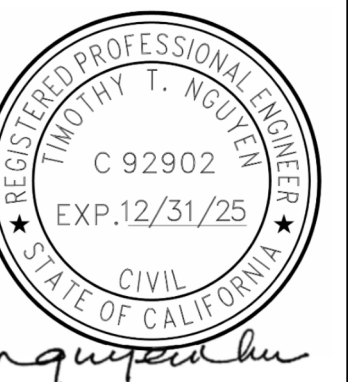
LEGEND	
	EXISTING COSTRUCTION TO BE COVERED
	EXISTING COSTRUCTION TO BE REMAINED

REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

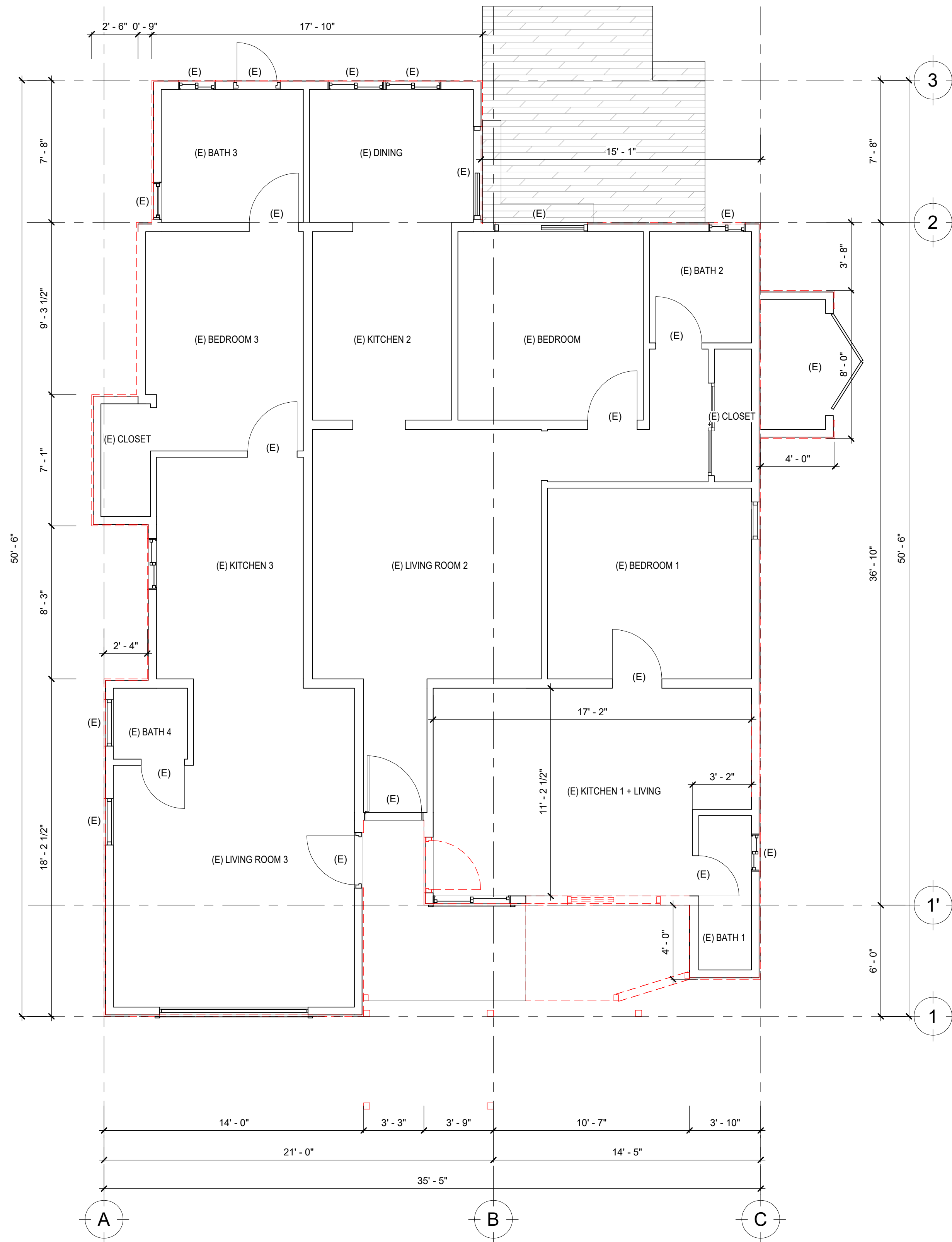
EXISTING FLOOR PLANS

ADDITION AND REMODEL
222 University Ave, Los Gatos, CA 95030

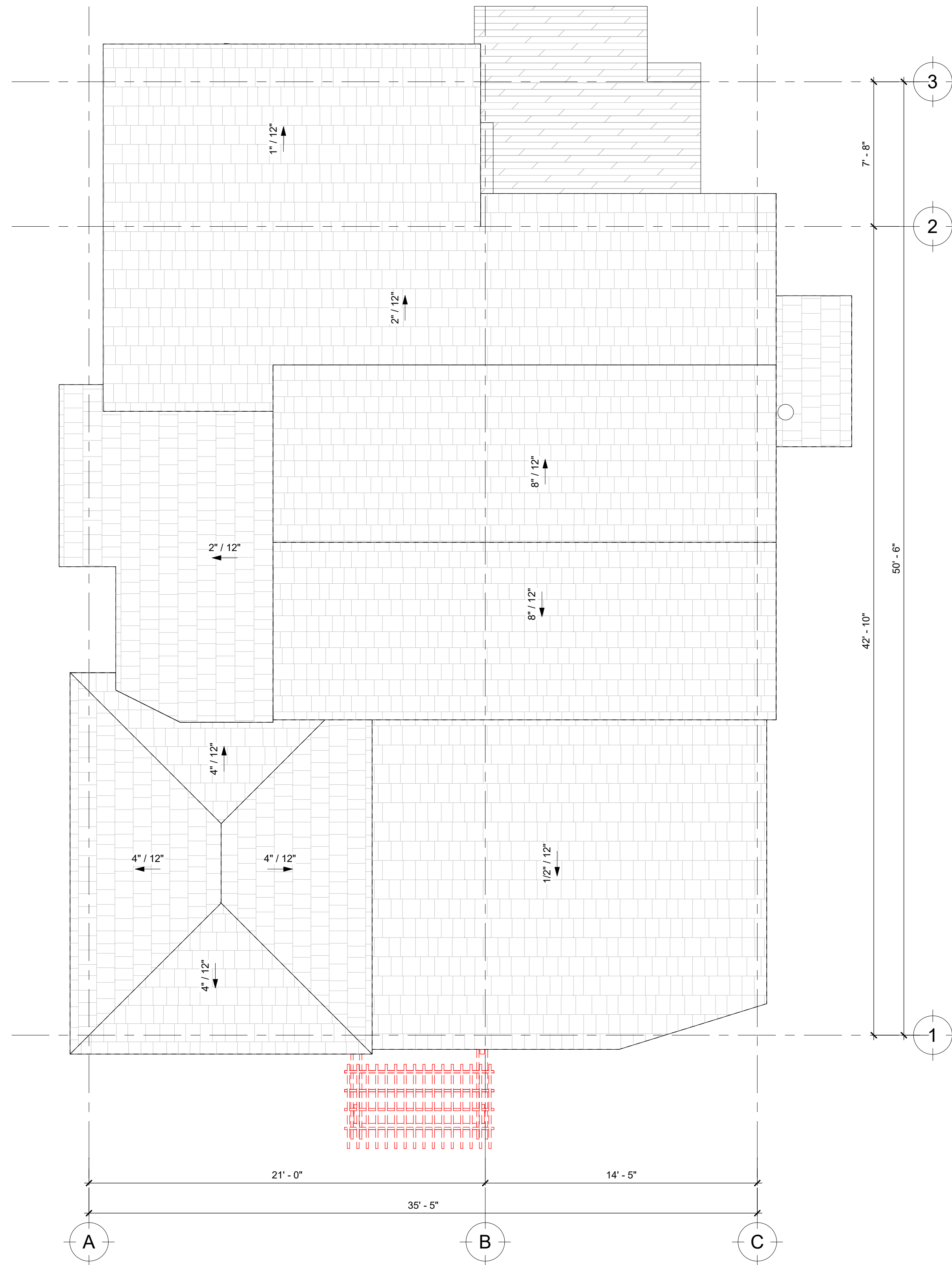
DATE:	12/18/24
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1 EXISTING FLOOR PLAN
1/4" = 1'-0"



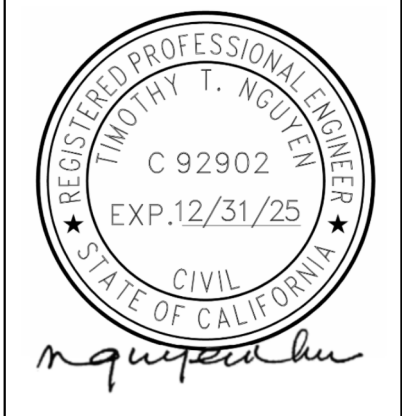
2 EXISTING ROOF PLAN
1/4" = 1'-0"

REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

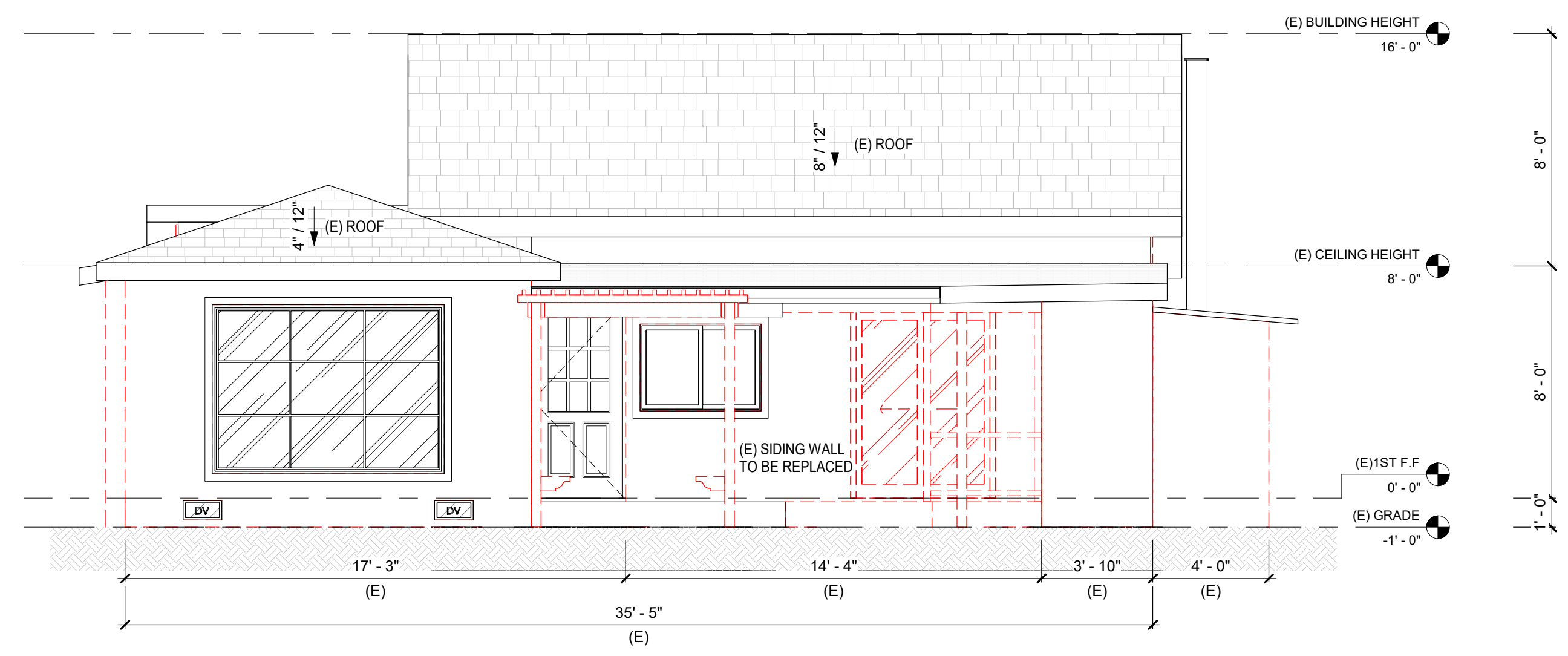
**EXISTING ROOF PLAN &
ELEVATIONS**

ADDITION AND REMODEL
222 University Ave, Los Gatos, CA 95030

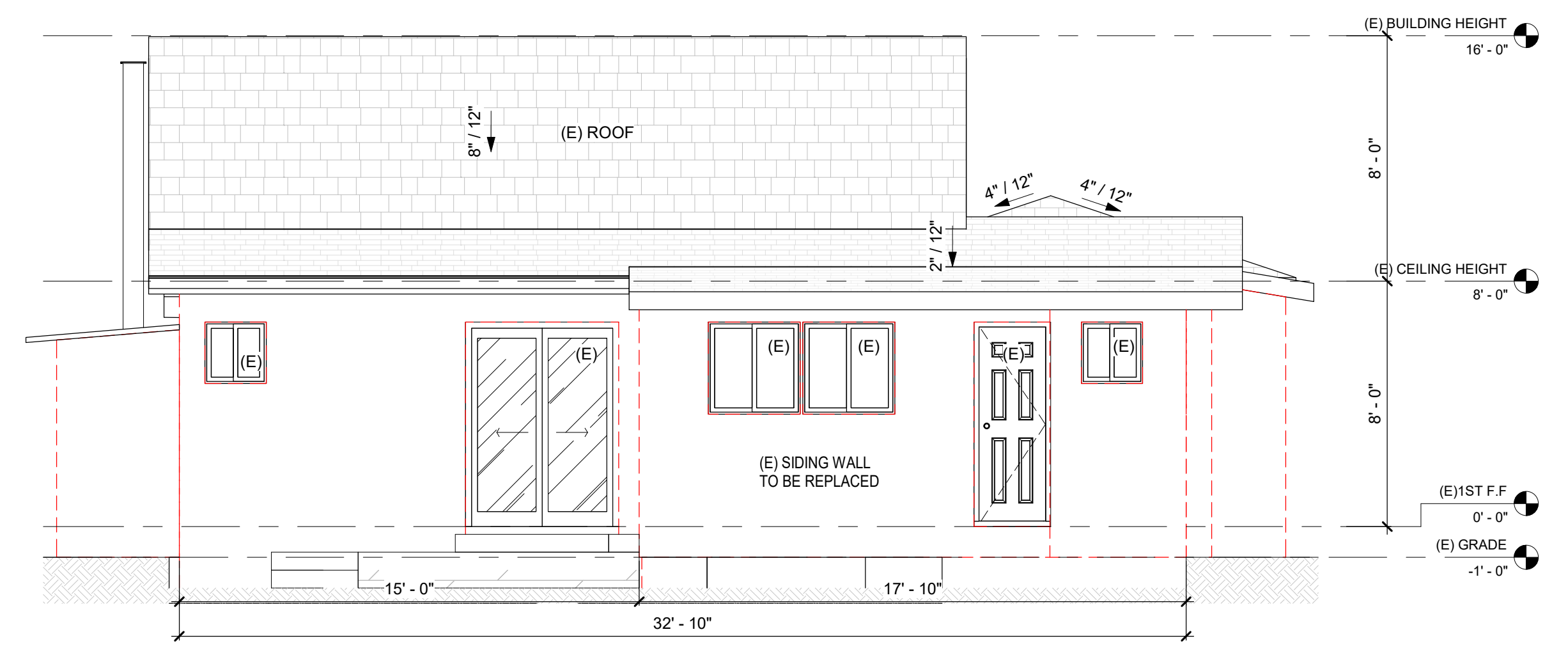
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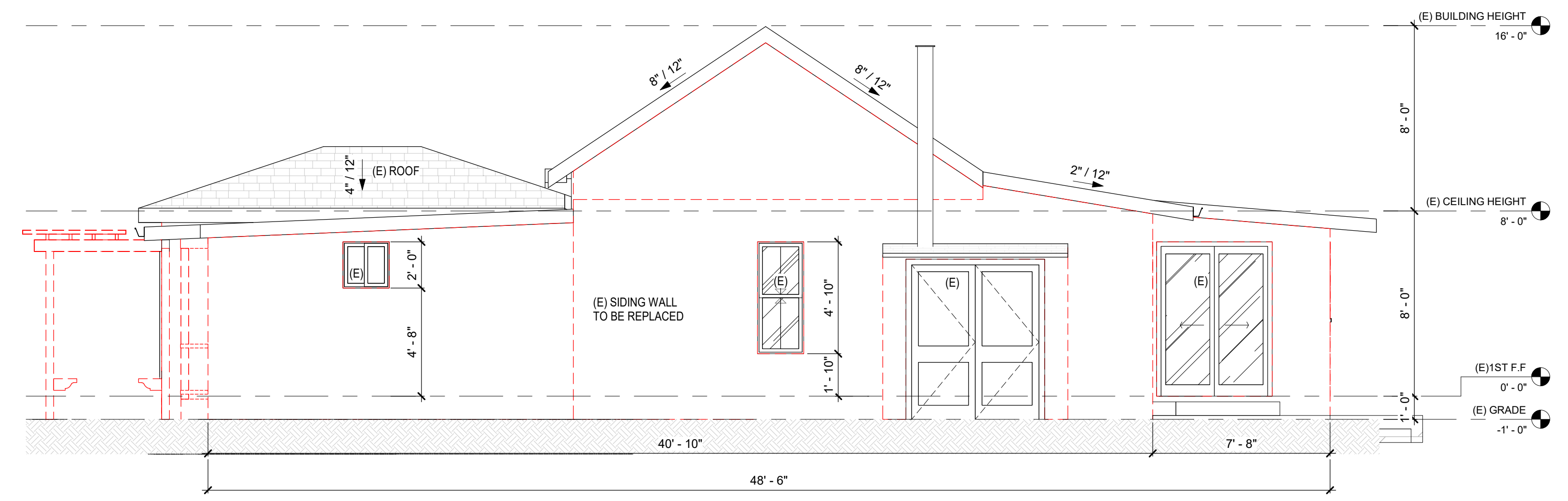
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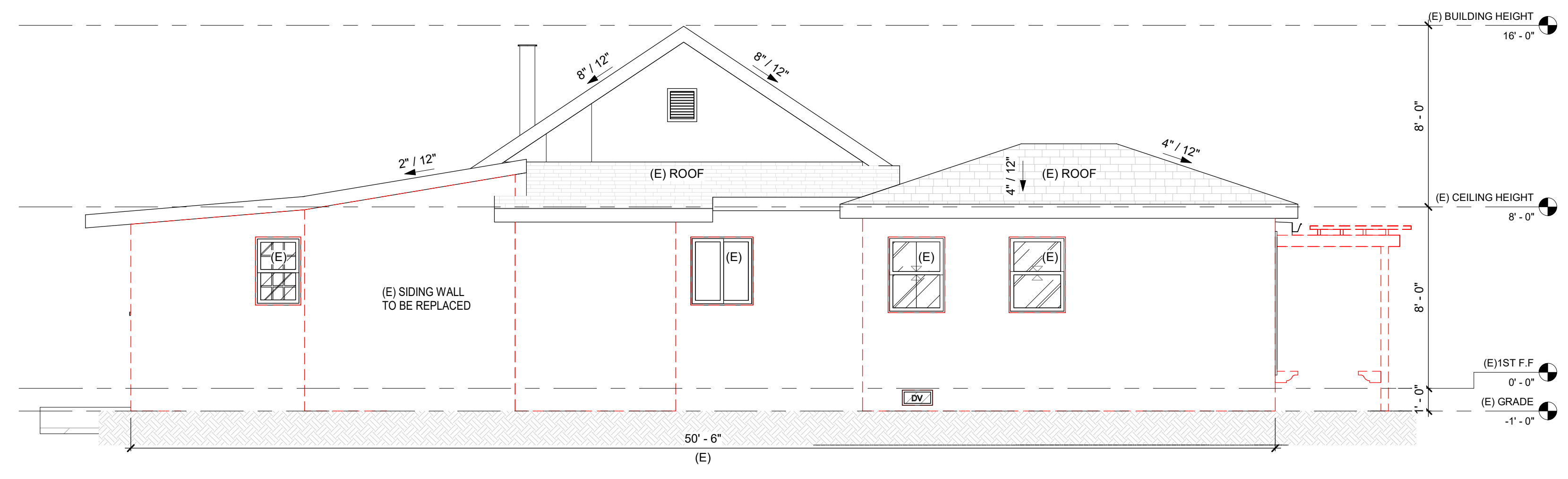
1 (E) FRONT ELEVATION
1/4" = 1'-0"



2 (E) REAR ELEVATION
1/4" = 1'-0"



3 (E) RIGHT ELEVATION
1/4" = 1'-0"



4 (E) LEFT ELEVATION
1/4" = 1'-0"

REVISION

ID	DATE	BY
01	12/18/24	PLAN CHECK

PROPOSED FLOOR PLAN

ADDITION AND REMODEL

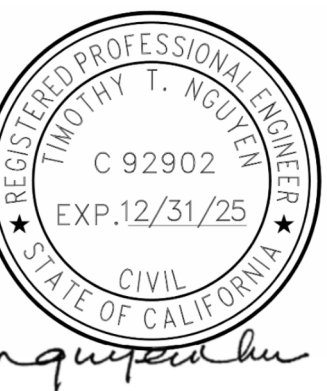
222 University Ave, Los Gatos, CA 95030

DATE: 12/18/24

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JOB NO: #335

DRAWING NO:

A.12

FLOOR NOTES

1. VERIFY ALL APPLIANCE EQUIPMENT AND FIXTURE DIMENSIONS AND INSTALLATION REQUIREMENTS PRIOR TO CASEWORK FABRICATION INSTALLATION.
 2. FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
 3. EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
 4. SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.
 5. OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL, UNO.
 6. CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH
 7. SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3 CRC. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAYS OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFRG. LISTED REQUIREMENTS.
 8. PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILINGS OR WALLS OUTSIDE SLEEPING ROOMS PER CHAPTER 3 CRC.
 9. ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
 10. USE 2x8 STUDS FOR PLUMBING WALL IF NECESSARY.
 11. PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
 12. PROVIDE TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER OVER ALL WOOD BASE SHEATHING AT EXTERIOR WALLS.
 13. A MINIMUM 26 GAUGE, CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/4 INCHES SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.7.2.1)
 14. PROVIDE GFI PROTECTION TO ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED AT OUTDOORS, IN BATHROOM, AT COUNTER TOP SURFACES AND GARAGES. (CEC2108(a)).
 15. PROVIDE GFCI RECEPTACLES AT BATHROOMS, KITCHEN COUNTERTOP SURFACES, LAUNDRY /WET BAR AREA WITHIN 6FT FROM EDGE OF THE SINKS (CEC 210-8)
- NOTE: FACTORY - BUILT FIREPLACES CHIMNEYS AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER INSTRUCTIONS

WALL LEGEND

- (E) EXISTING CONSTRUCTION TO BE REMAINED
- (N) EXTERIOR WALL
- (N) INTERIOR WALL
- DV EXISTING FOUNDATION VENT
- DV NEW FOUNDATION VENT

CRAWSPACE VENTILATION (UPGRADE IF NEED)

FLOOR AREA 1575 SF
1575/150 = 10.5 SQ.FT. OPEN VENTILATION AREA (10.5 X 144 = 1512 SQ.IN)
USE 16X6 VENT (NFA 95 SQ.IN) , NEED 16 UNITS

VENTS SHALL BE WITHIN 3FT OF BLDG. CORNER & 1/8" WIRED MESH WEEP SCREED 4" ABOVE GRADE OR 2" ABOVE PAVED AREA (TYP.)

LEGEND

- XX DOOR TYPE
- XX WINDOW TYPE
- XX WALL TYPE
- XX KEY NOTE
- FLOOR DEPRESSION

FLOOR PLAN KEYNOTE

- 1 TEMPERED GLASS
- 2 (N) LANDING 1 1/2" BELOW THRESHOLD. MINIMUM 36" IN DEPTH. MIN. 2% SLOPE AWAY FROM BUILDING.

DOOR SCHEDULE

NUMBER	WIDTH x HEIGHT	WALL STUD	INT / EXT	COUNT	DESCRIPTION
D1	5'-0" x 6'-8"		EXT.	1	2-PANEL DOOR, ENTRANCE, WOOD FRAME/PANEL, TEMPERED GLASS. THE GLAZING SHALL BE SAFETY GLAZING PER R308.4 CRC.

ADDITIONAL NOTES:

1. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO PLACING ORDER.
2. CONTRACTOR TO VERIFY SWING DIRECTIONS WITH FLOOR PLANS PRIOR TO PLACING ORDER.
3. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER FINAL INSPECTION IS COMPLETED.

WINDOW SCHEDULE

NUMBER	WIDTH x HEIGHT	HEAD HEIGHT	COUNT	DESCRIPTION
A	5'-0" x 4'-0"	6'-8"	2	SLIDING WINDOW, LOW - E GLASS PANEL

ADDITIONAL NOTES:

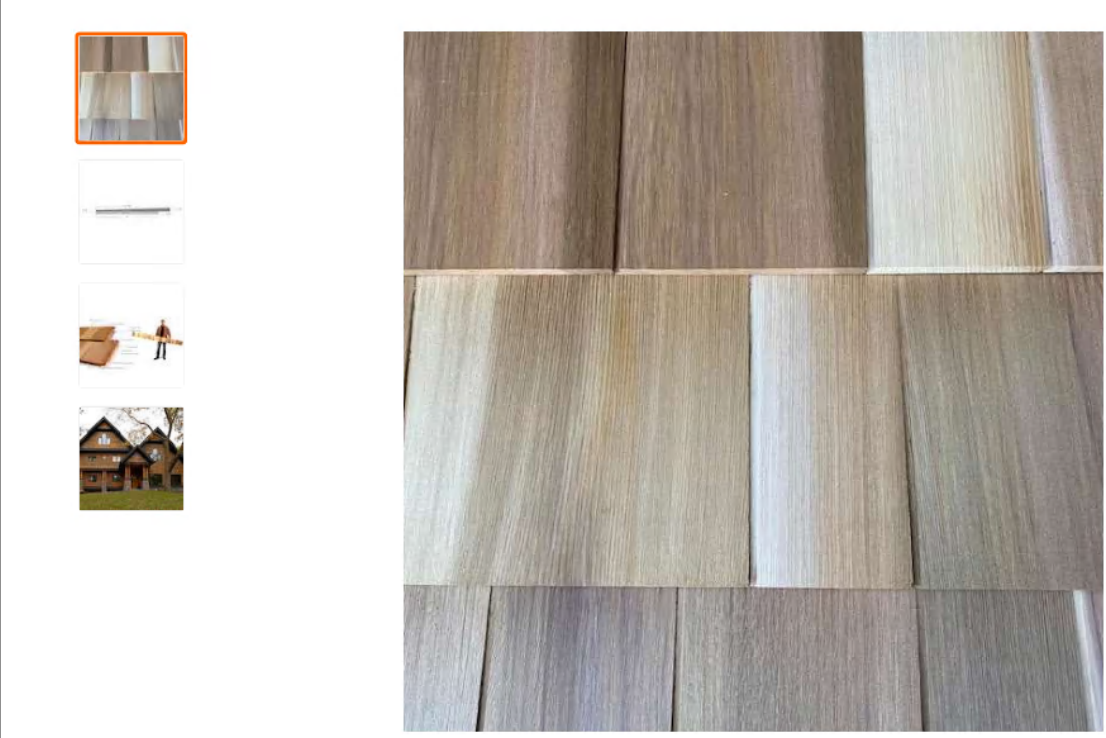
1. WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
2. EGRESS MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES, AND HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
3. PROVIDE TEMPERED GLASS AT AREAS OF GLASS WITHIN 18" OF FINISH FLOOR AND ALL SKYLIGHTS.
4. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.
5. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO PLACING ORDER.
6. RESIDENTIAL WINDOWS AND DOORS MUST MEET THE FOLLOWING CODE REQUIREMENTS
 - A. TESTED AND LABELED TO COMPLY WITH THE AAMA STANDARDS PER CRC, SEC. 609.3
 - B. SAFETY GLAZING TESTING AND LABELING PER CRC, SECTIONS 308.1 & 308.4
 - C. ENERGY TESTING AND CERTIFICATION PER CENC, SEC. 110.6
7. MAXIMUM GLAZING U-FACTOR : MAXIMUM GLAZING SHGC :

PROPOSED ROOF PLAN



SHINGLE SIDING

Craftsman 8-1/4 in. x 96 in. Cedar Even Butt Shingle Siding Panel (8-Pack)



About This Product

The ShakerTown Craftsman 8-1/4 in x 96 in Cedar Even Butt Shingle Siding 8-pack is the best cedar shingle panel in the industry. Manufactured using only the finest vertical grain Western Red Cedar heartwood, the panels are easy to install and will project a lasting beauty on any home. The panels are available with an even-butt or staggered-butt line to match any home style. One bundle of 8 panels covers 37 square feet.

Highlights

- Traditional shingle butt thickness and 100% vertical grain for stability and durability
- Features a full plywood back, a thick 3/8 in. shingle butt and overlapping end-joints for a seamless appearance
- Shingle panels go up 6 times faster than individual shingles and can be installed with a pneumatic nailer
- Helps save money every year on energy due to superior R-value
- Nailing line makes it easy to blind nail the panels
- Panels are available in either even butt or staggered butt designs
- Smooth sawn surface promotes adhesion and even distribution of finishes
- One bundle of 8 panels covers 37 square feet
- Keyway style, or vertical spacing between shingles, lends visual interest and traditional appeal
- Return Policy
- California residents see Prop. 65 WARNINGS

Product Information

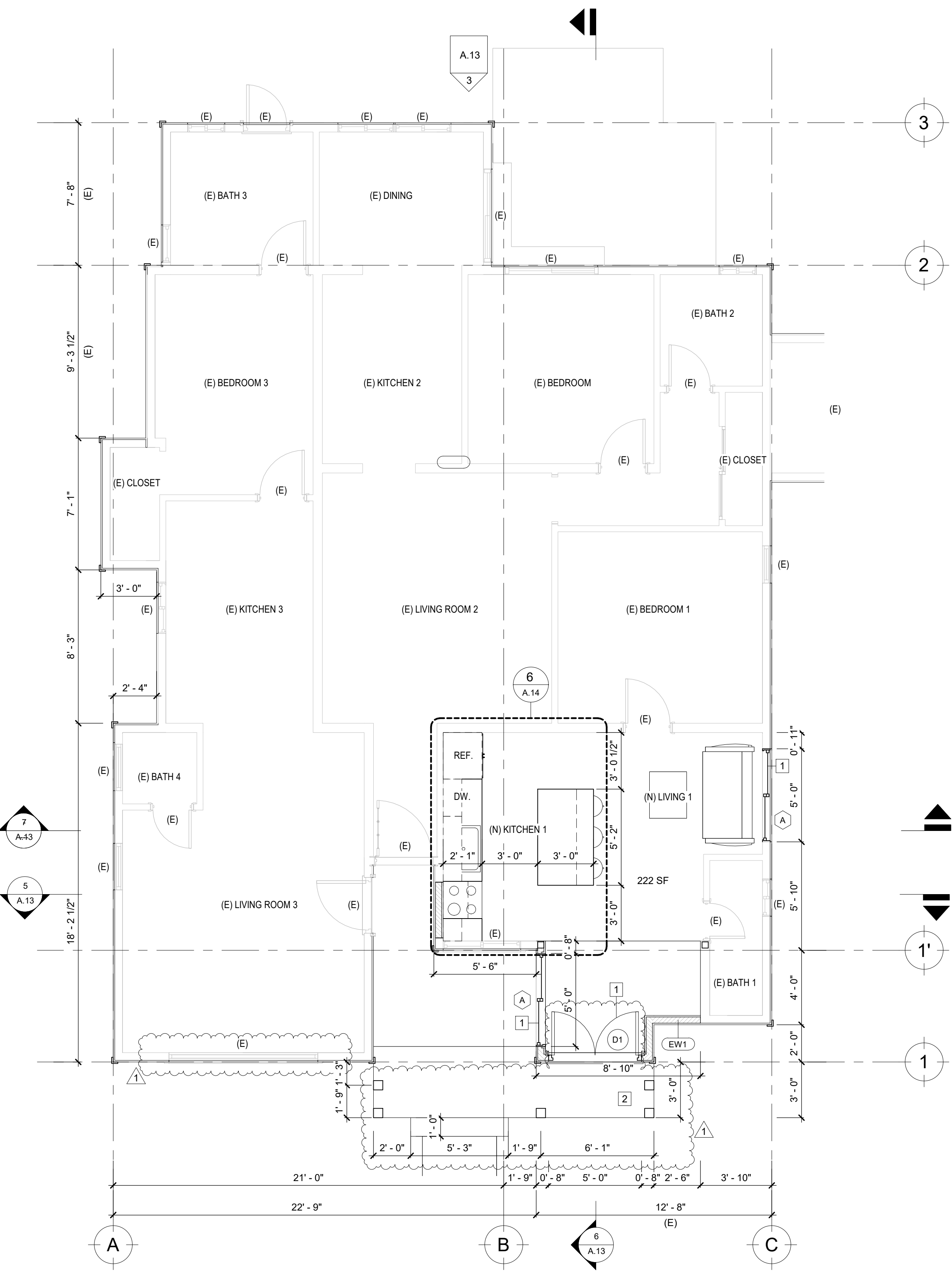
Internet # 313814741
Model # CSS1C7EKXX
Store SKU # 100557275

Dimensions

Actual Product Length (in.)	96.000 in
Actual Product Thickness (in.)	.688 in
Actual Product Width (in.)	8.25
Coverage Area (sq. ft.)	37 sq ft
Nominal Product Length (in.)	96
Nominal Product Thickness (in.)	.75
Nominal Product Width (in.)	7 in

PROPOSED FLOOR PLAN

1/4" = 1'-0"

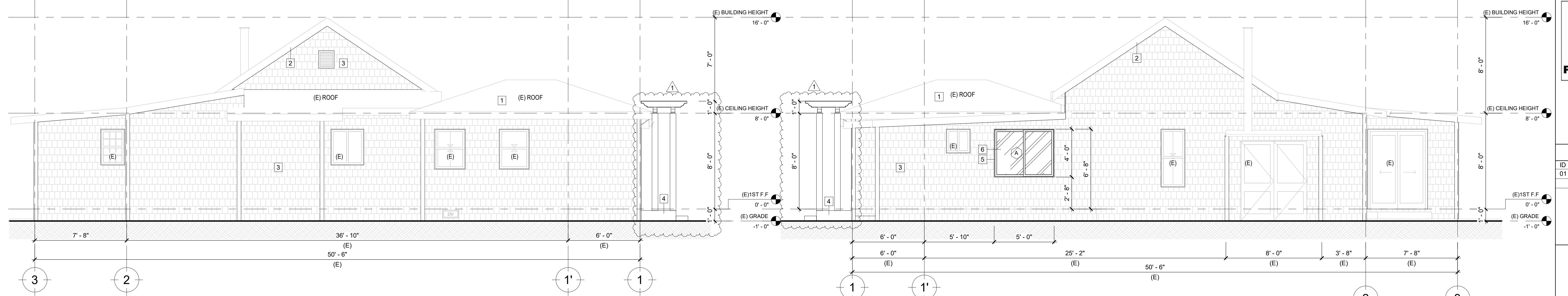


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ID	DATE	BY
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PROPOSED ELEVATIONS/ SECTIONS

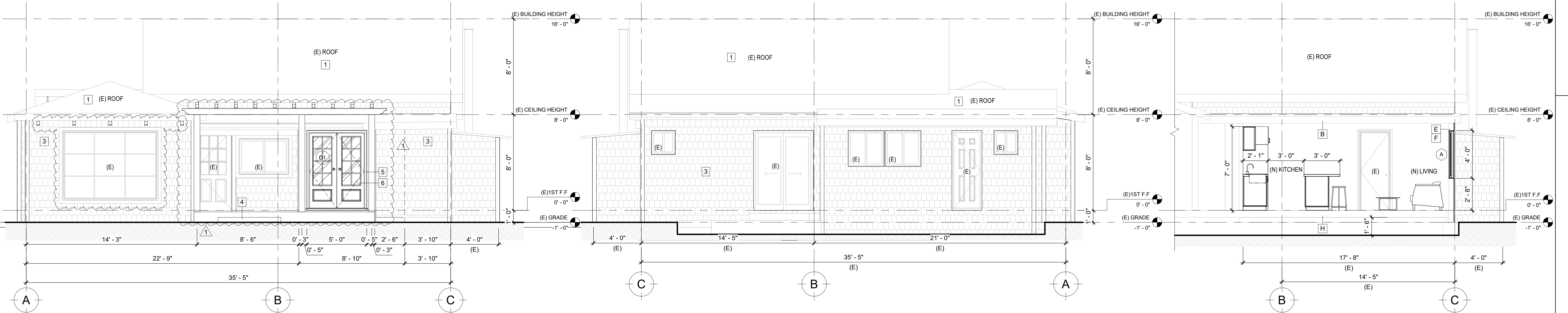
ADDITION AND REMODEL

222 University Ave, Los Gatos, CA 95030



2 (N) LEFT ELEVATION
1/4" = 1'-0"

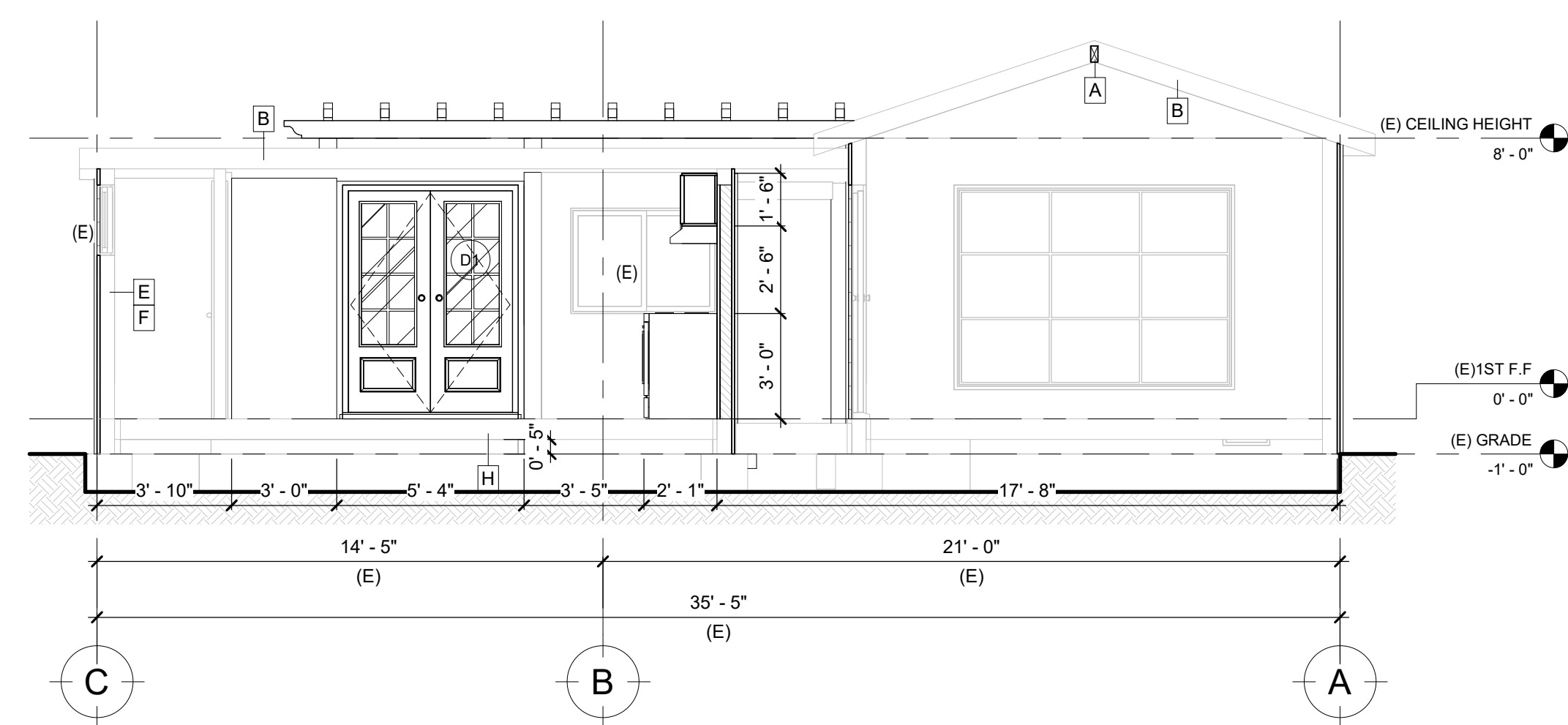
4 (N) RIGHT ELEVATION
1/4" = 1'-0"



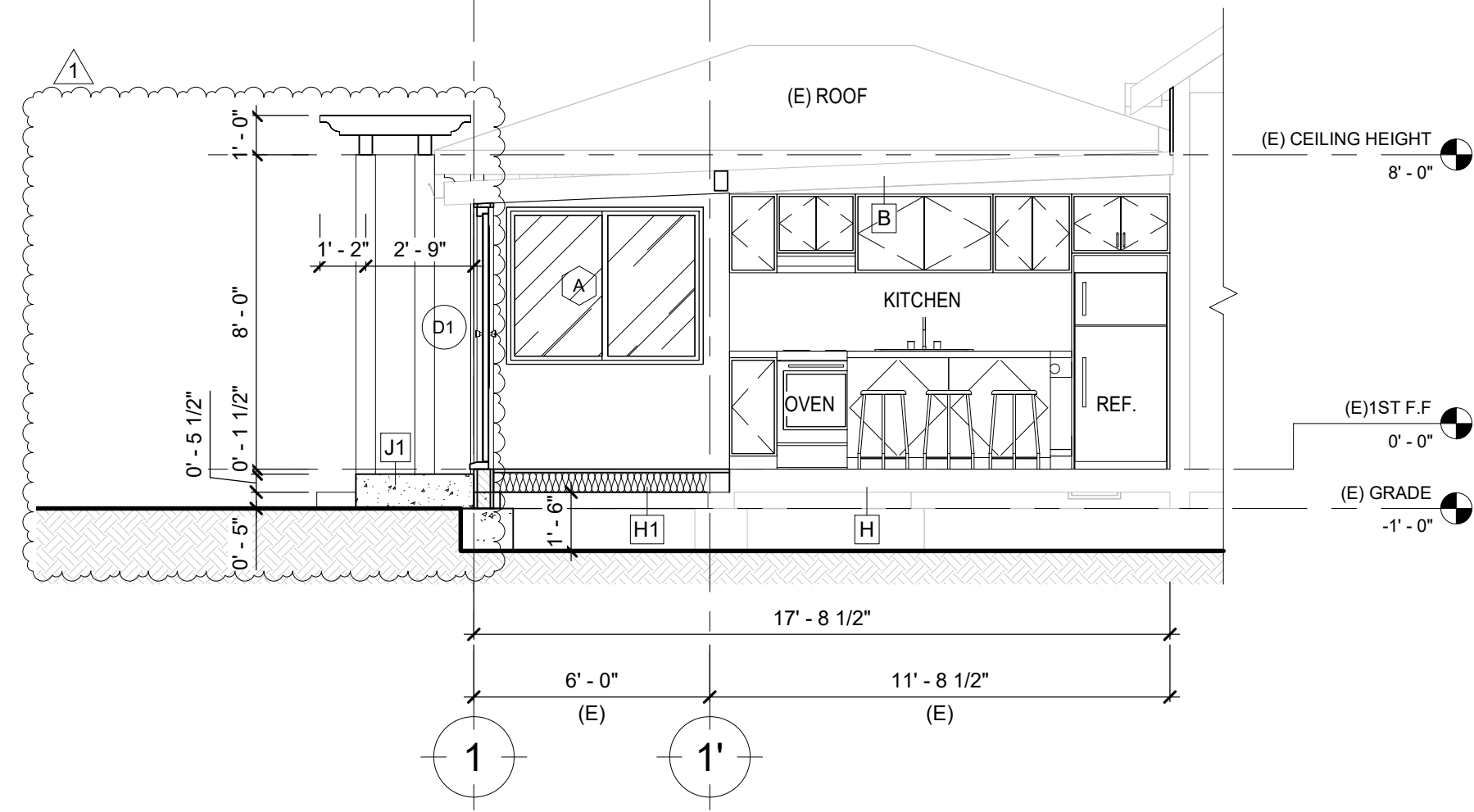
1 (N) FRONT ELEVATION
1/4" = 1'-0"

3 (N) REAR ELEVATION
1/4" = 1'-0"

7 SECTION 3
1/4" = 1'-0"



5 SECTION 1
1/4" = 1'-0"



6 SECTION 2
1/4" = 1'-0"

SECTION KEYNOTE LEGEND

- A (E) 2x RIDGE BOARD PER STRUCT
- B (E) 2x ROOF RAFTER PER STRUCT
- C (E) 2x CEILING JOISTS PER STRUCT, INSULATION PER T-24
- D (E) RAISED FLOOR SYSTEM & INSULATION, SEE STRUCT
- E (E) 2x STUD WALL PER STRUCT
- F (E) WALL INSULATION PER T-24
- G (E) ATTIC INSULATION PER T-24
- H (E) FLOOR INSULATION PER T-24
- I (E) FOUNDATION VENT
- J (E) FOOTING PER STRUCT.
- E1 (N) 2x STUD WALL PER STRUCT
- F1 (N) WALL INSULATION PER T-24
- H1 (N) FLOOR INSULATION PER T-24
- I1 (N) FOUNDATION, SEE STRUCT.
- J1 (N) CONCRETE LANDING

ELEVATION KEYNOTE LEGEND

- 1 (E) ROOF
- 2 (E) FASCIA & TRIMMING PAINT
- 3 (N) WOOD SIDING WALL
- 4 (N) LANDING, 1 1/2" BELOW THRESHOLD, MINIMUM 36" IN DEPTH, MIN. 2% SLOPE AWAY FROM BUILDING.
- 5 (N) 2 1/2" WOOD MOLDING TRIM FOR ALL WINDOWS
- 6 (N) TEMPERED GLASS

ELEVATION & SECTION NOTES

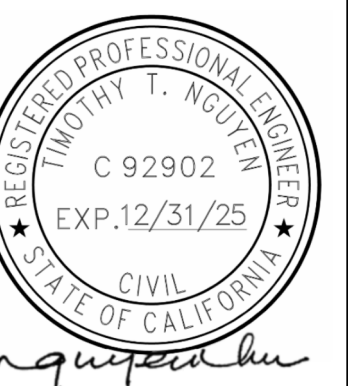
1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.2(2).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2022 CRC R311.3
 - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
 - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
12. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

DATE: 12/18/24

SCALE: AS SHOWN

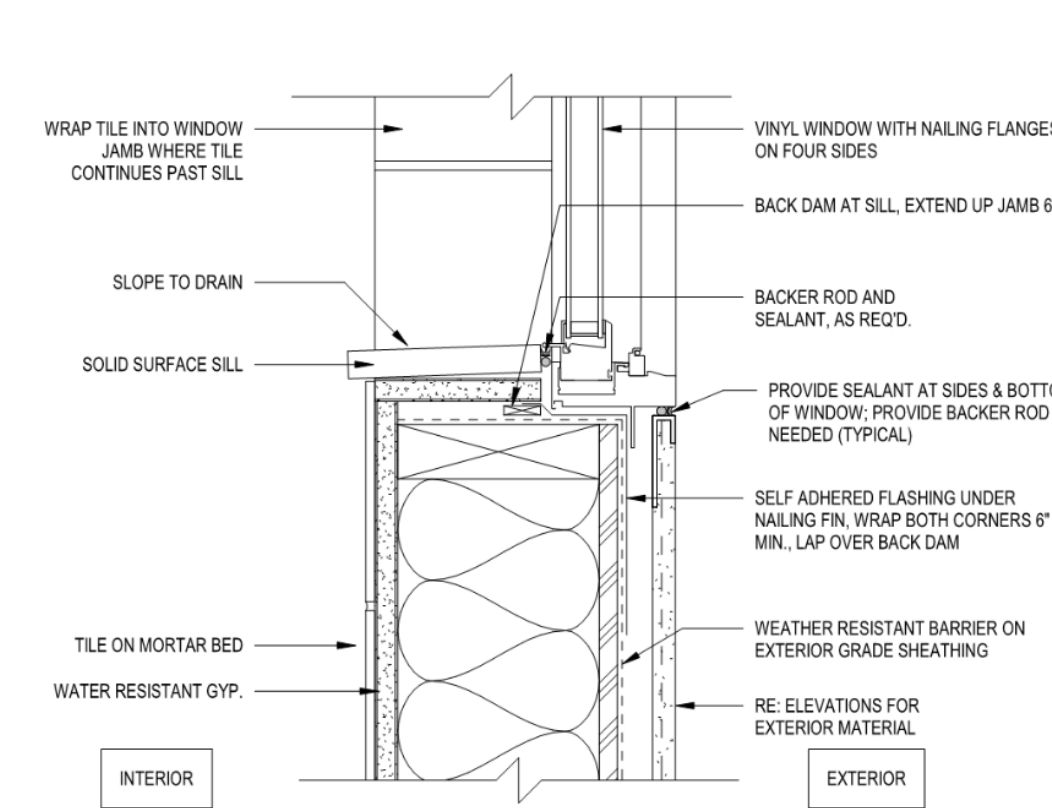
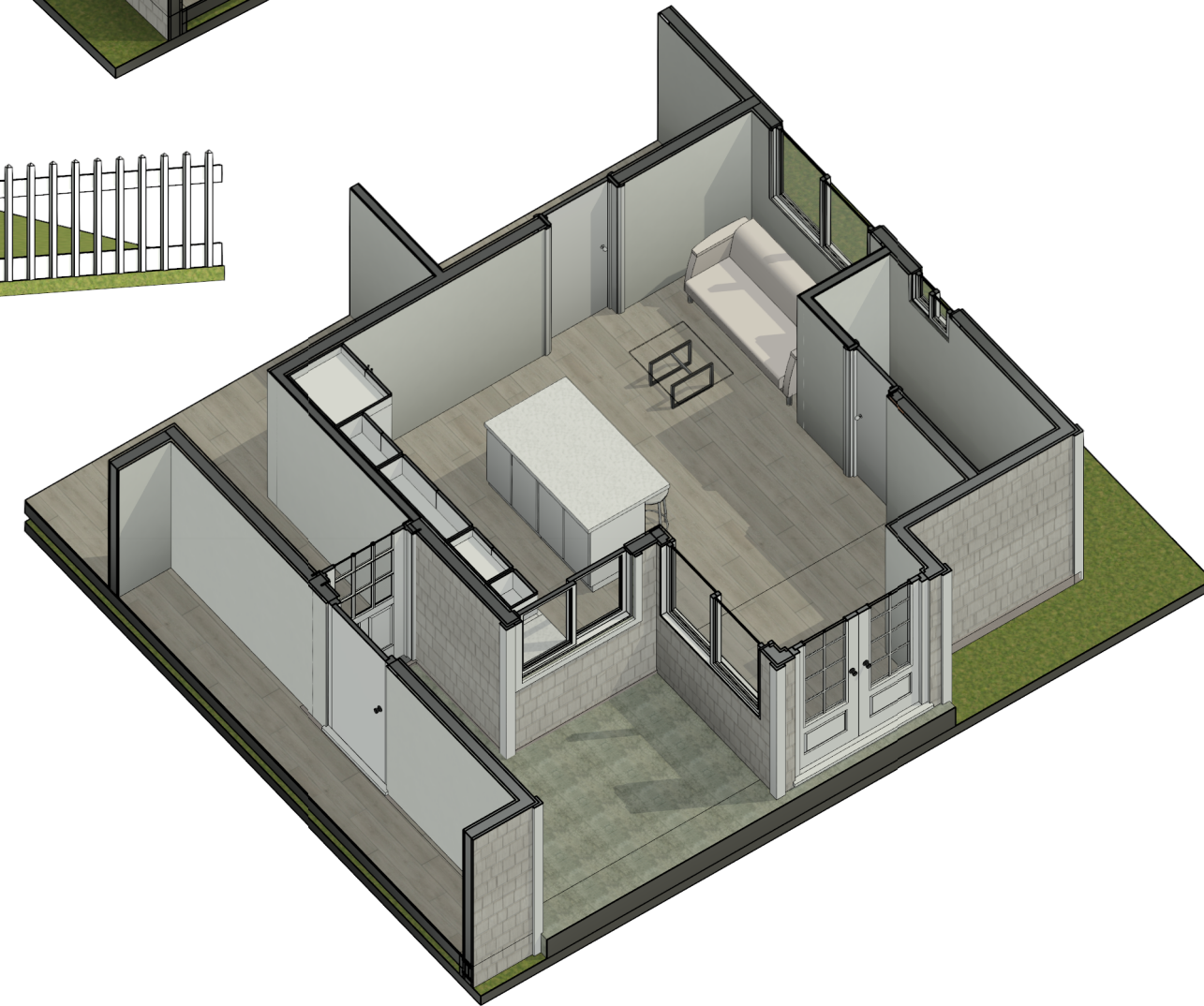
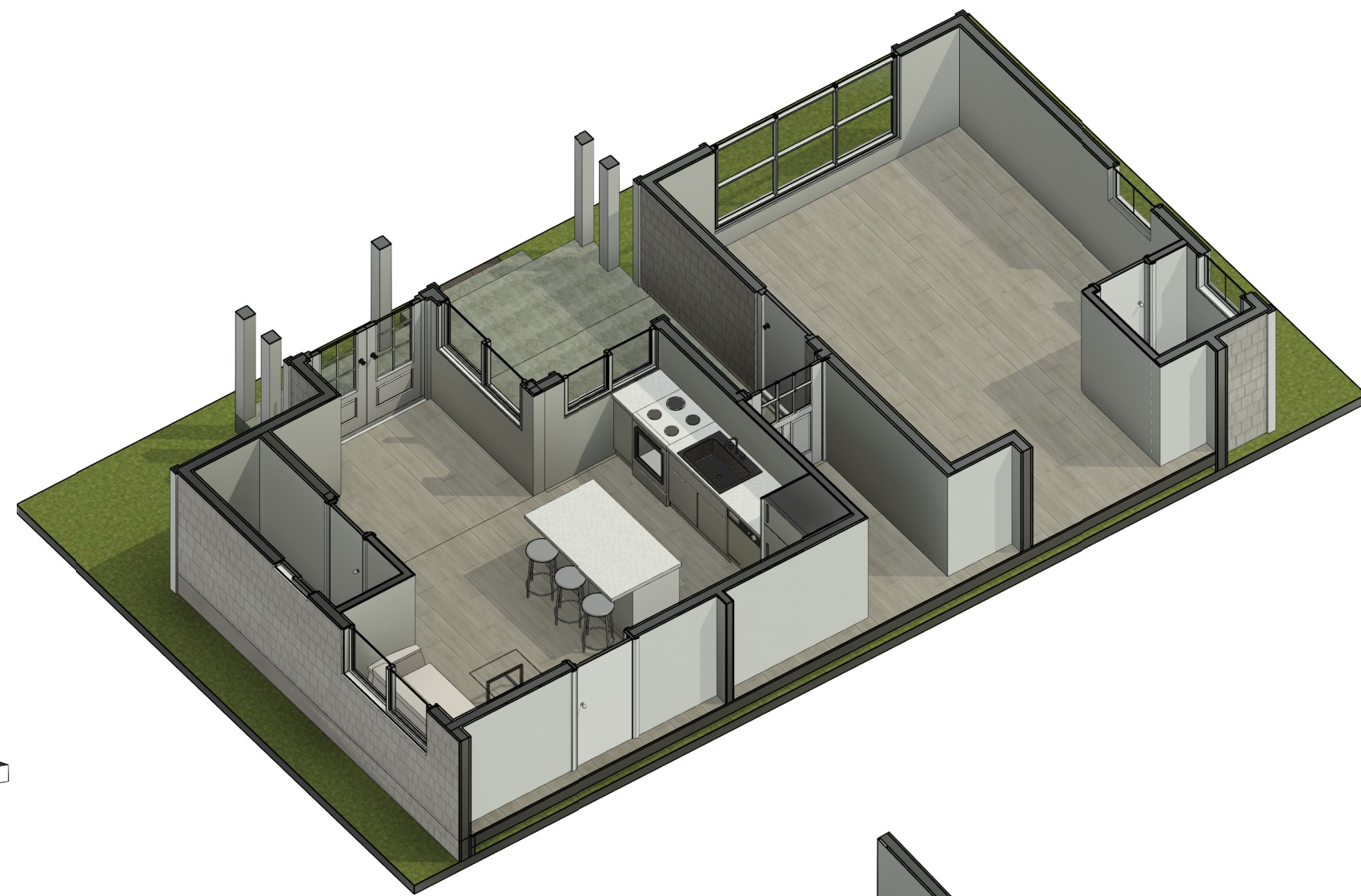
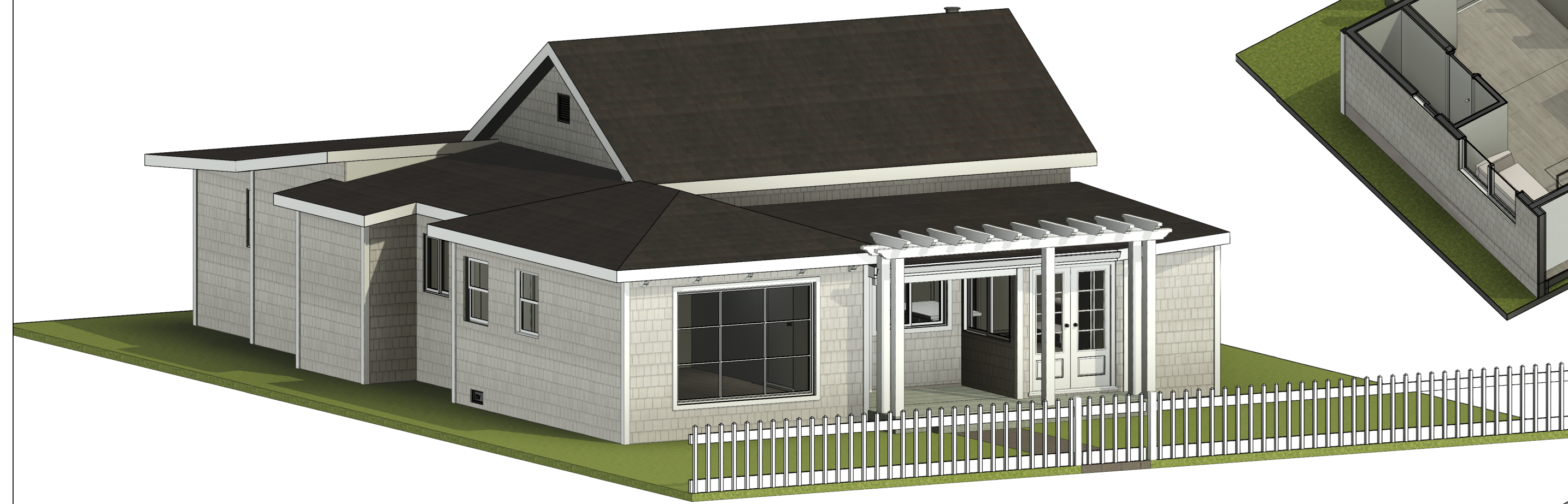
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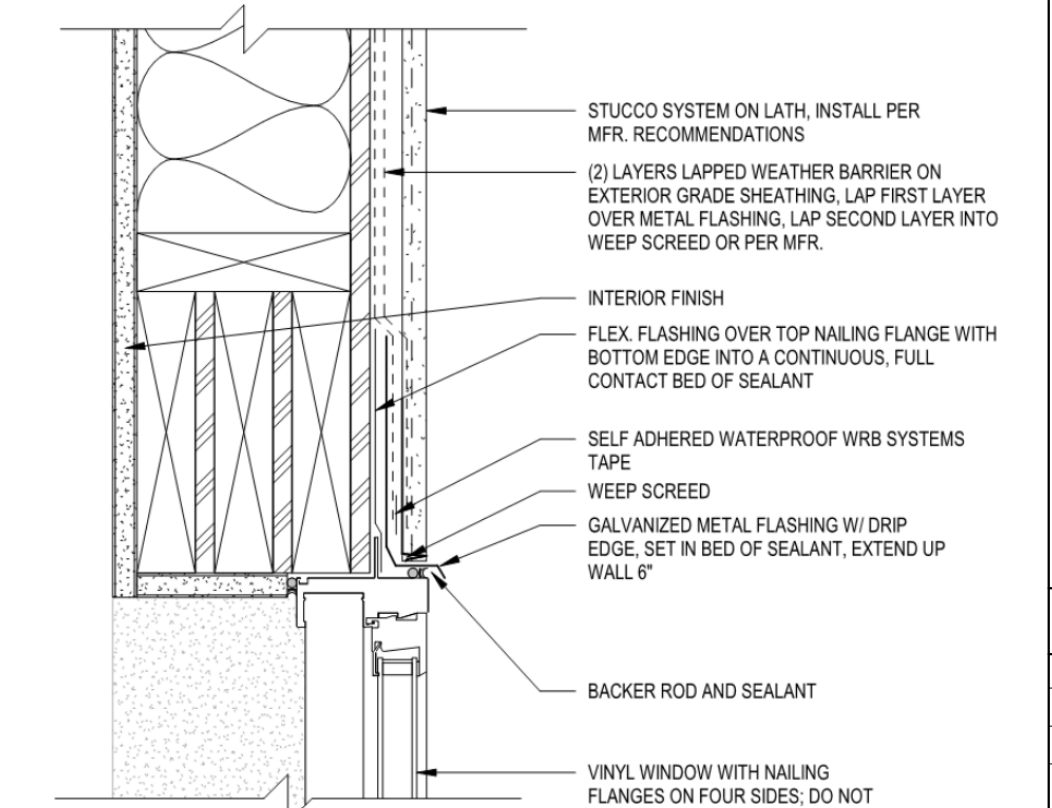


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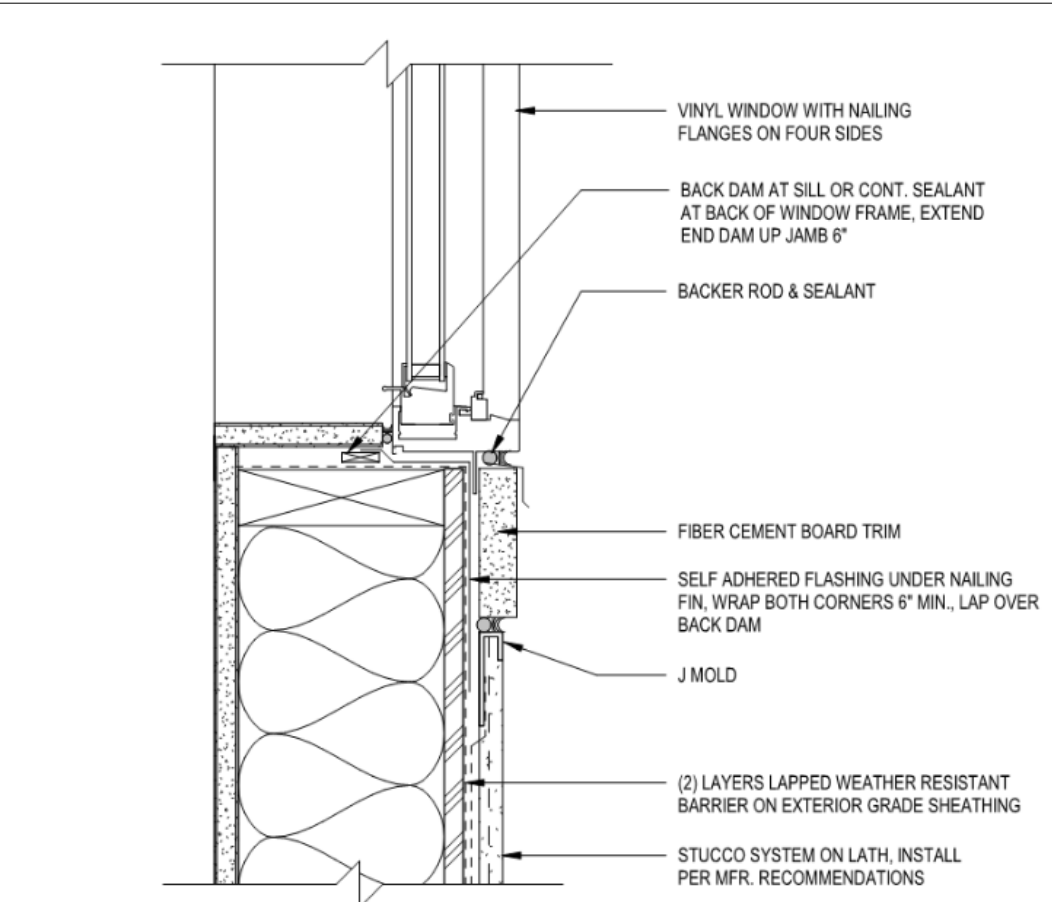
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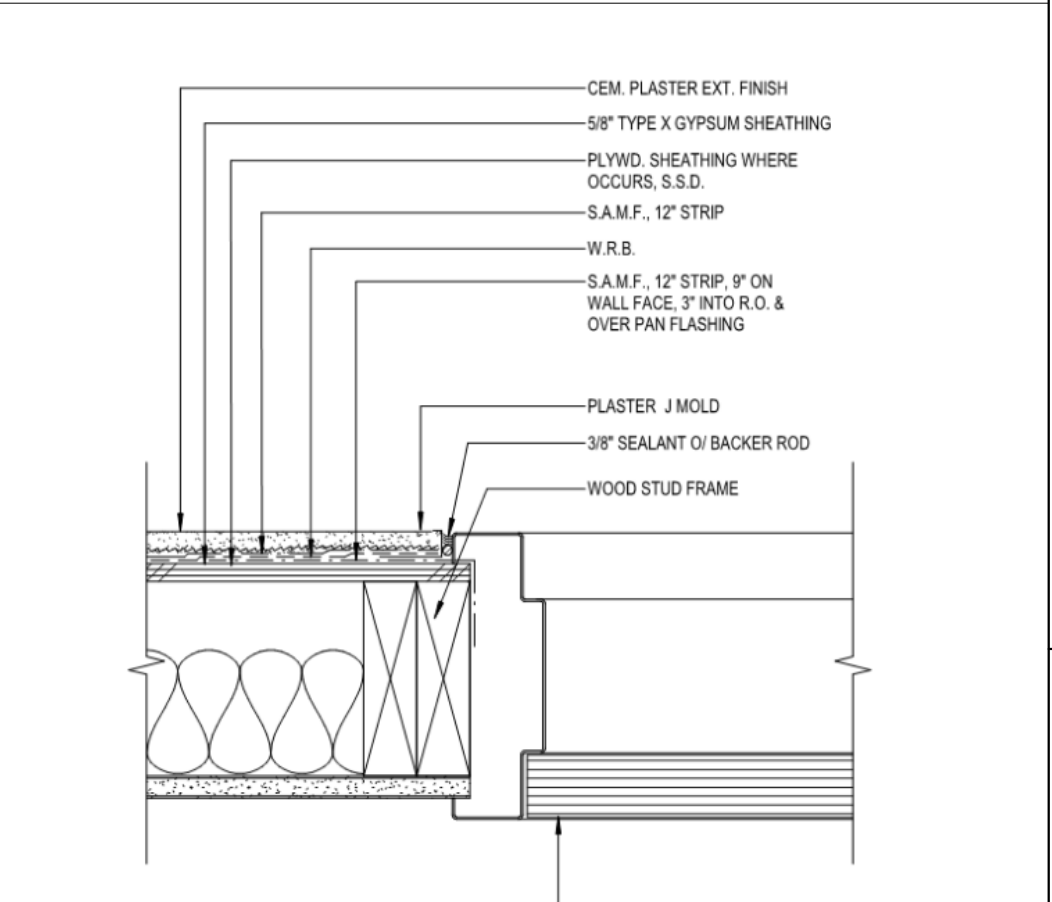
WINDOW SILL - SHOWER N/A 4



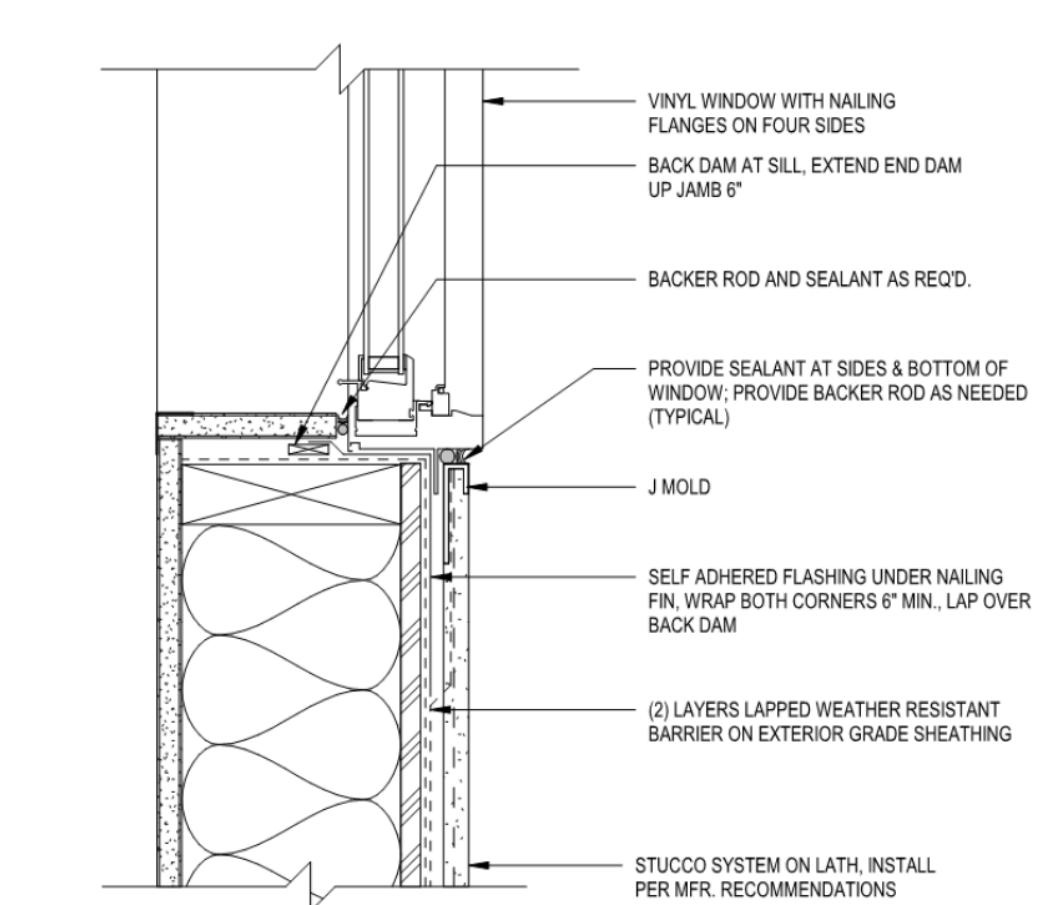
WINDOW HEAD - STUCCO N/A 5



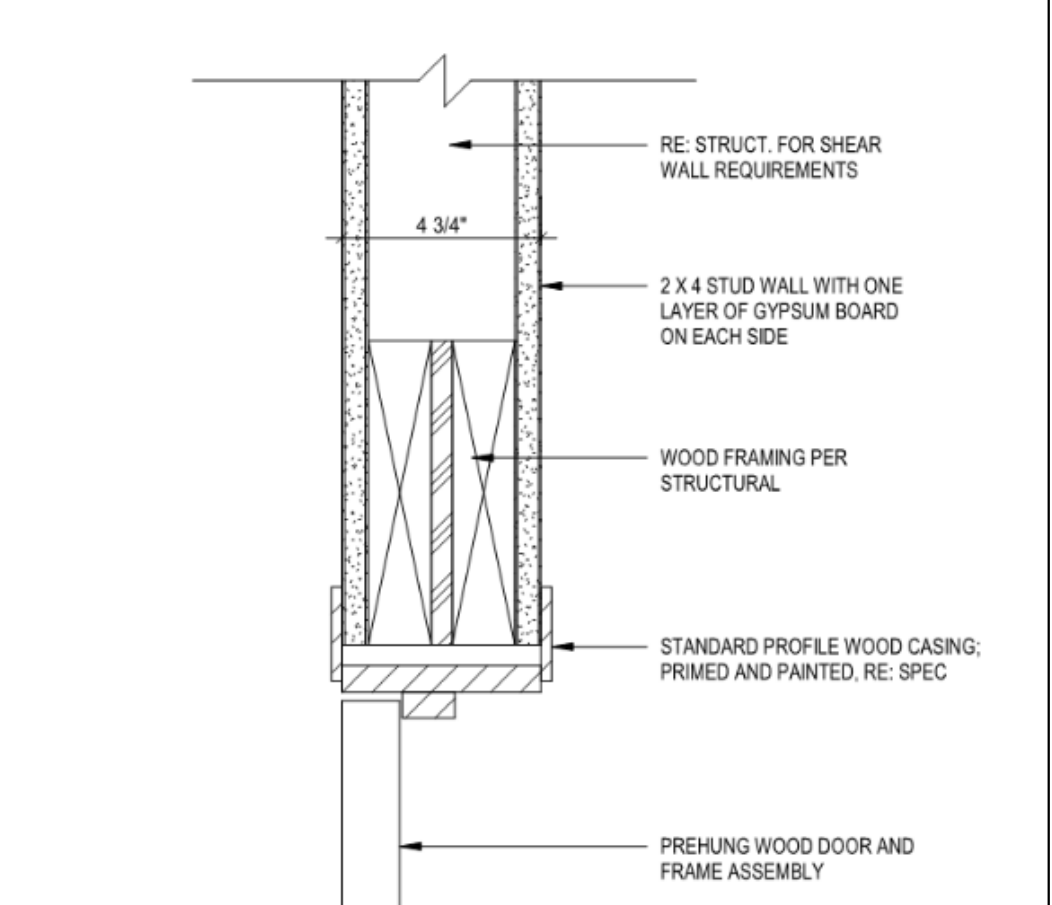
WINDOW SILL - STUCCO - TRIM N/A 3



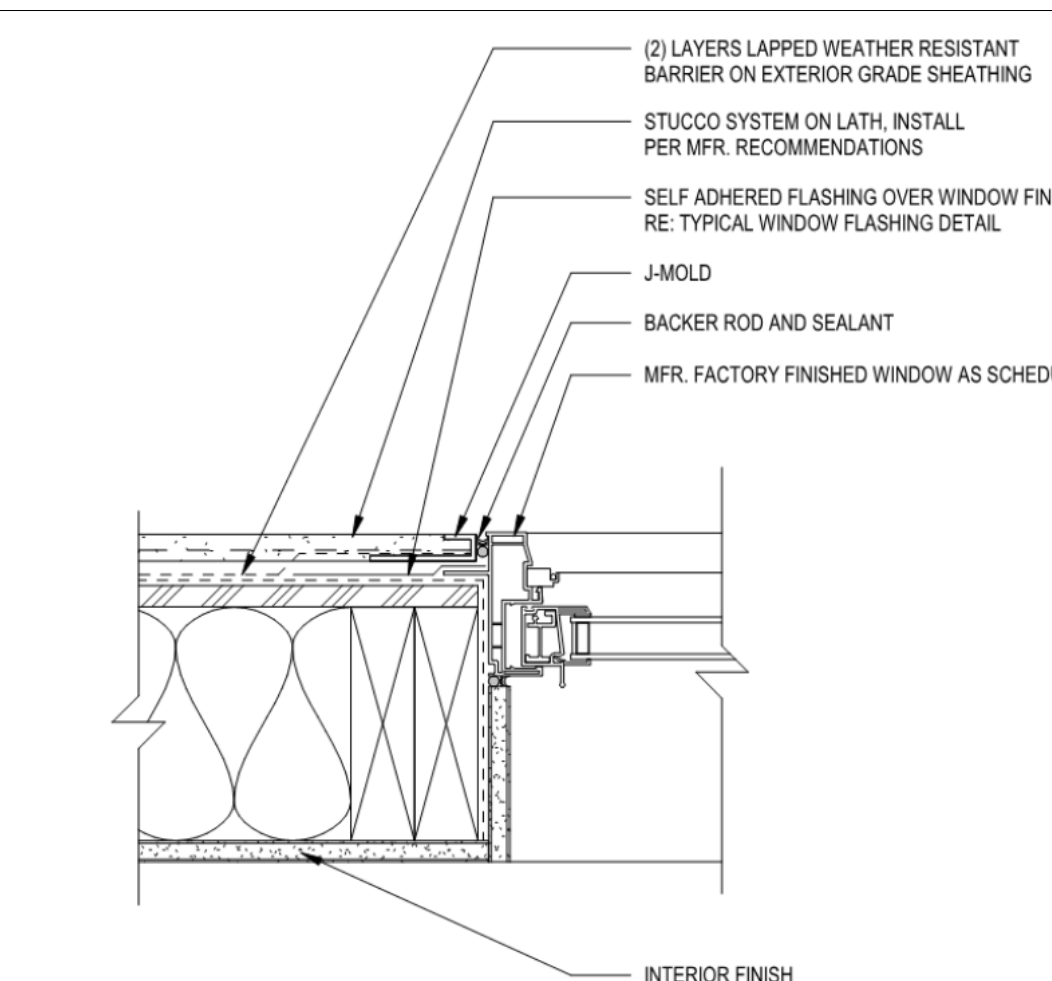
DOOR JAM AT EXT. WALL N/A 6



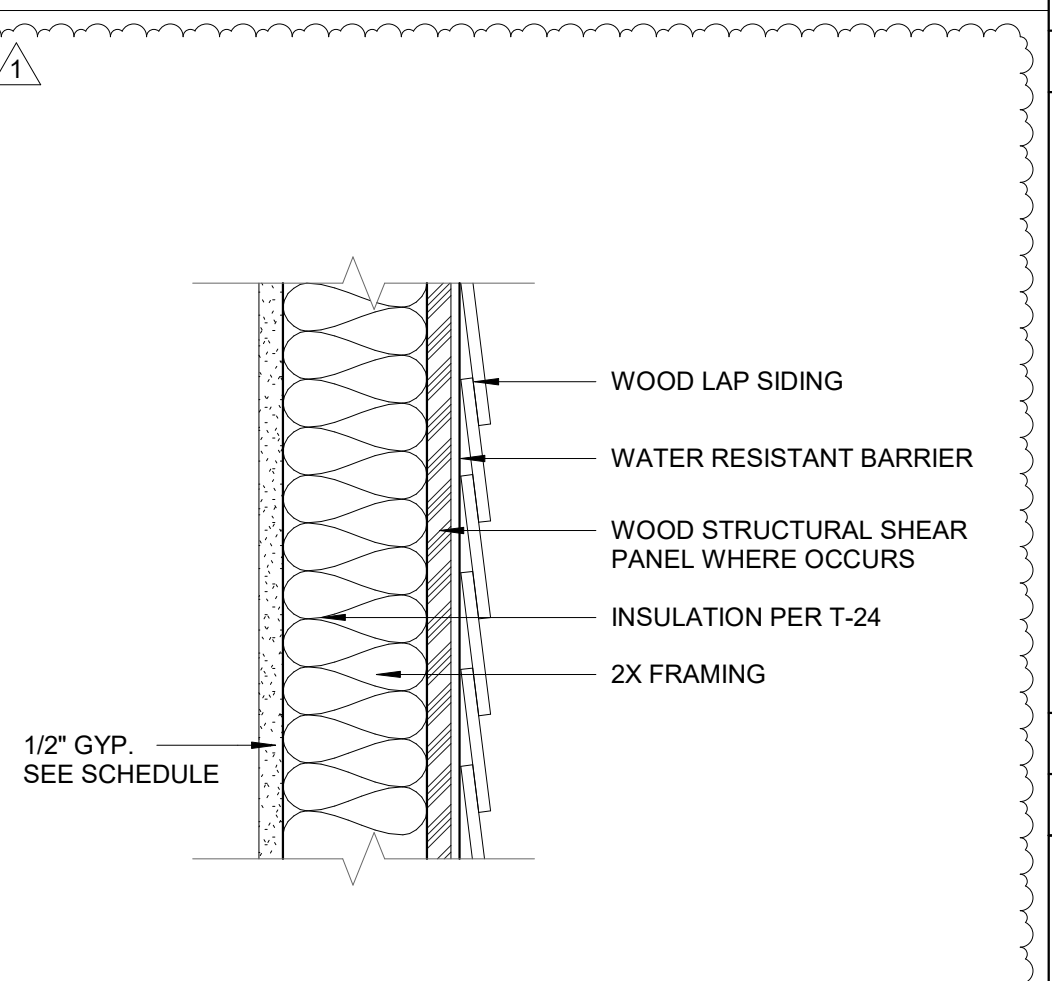
WINDOW SILL N/A 2



DOOR HEAD/JAM N/A 7



WINDOW JAM - STUCCO N/A 1



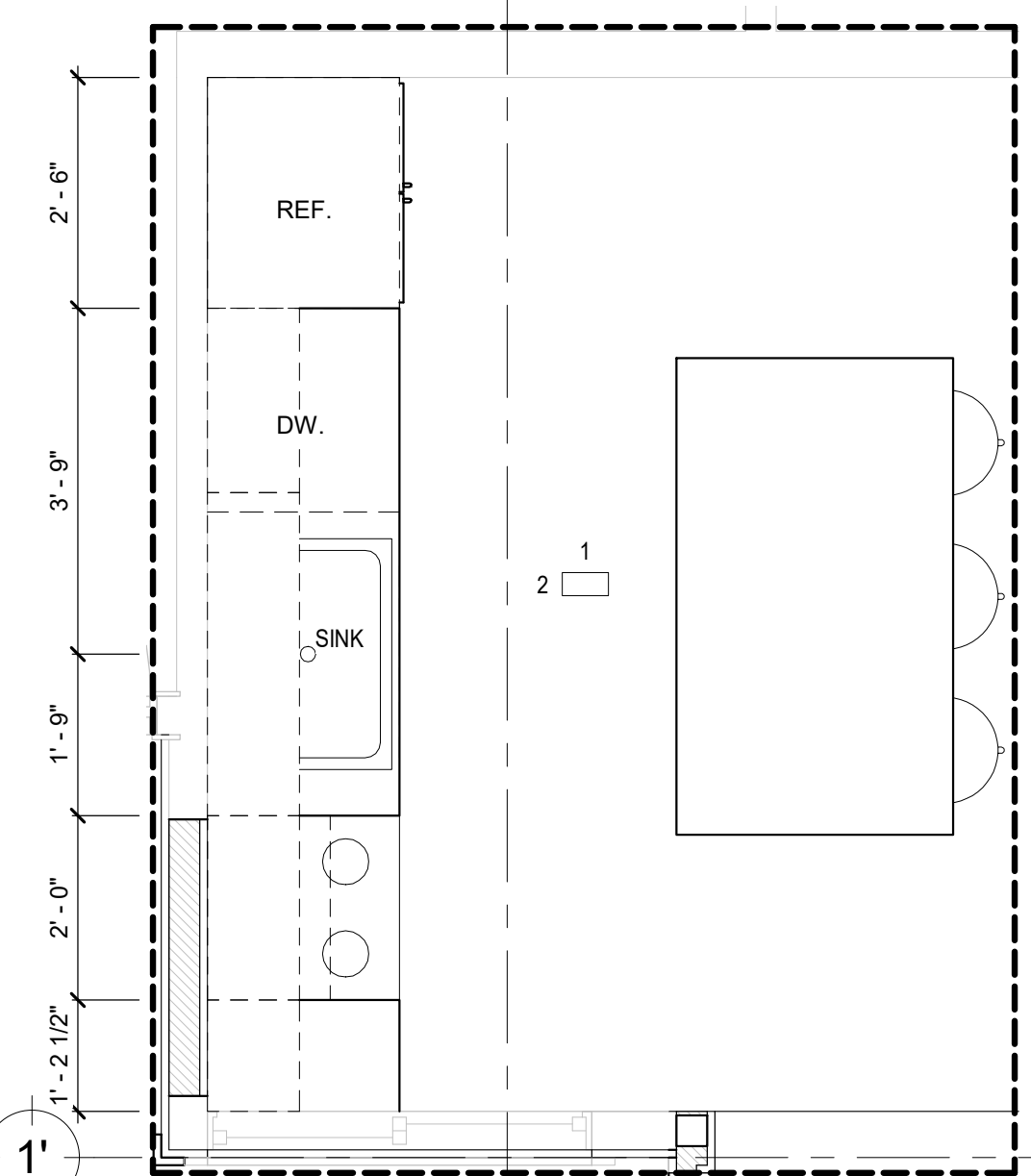
EW1 - EXTERIOR WALL N/A 8

BUILDING DEPT. NOTES:

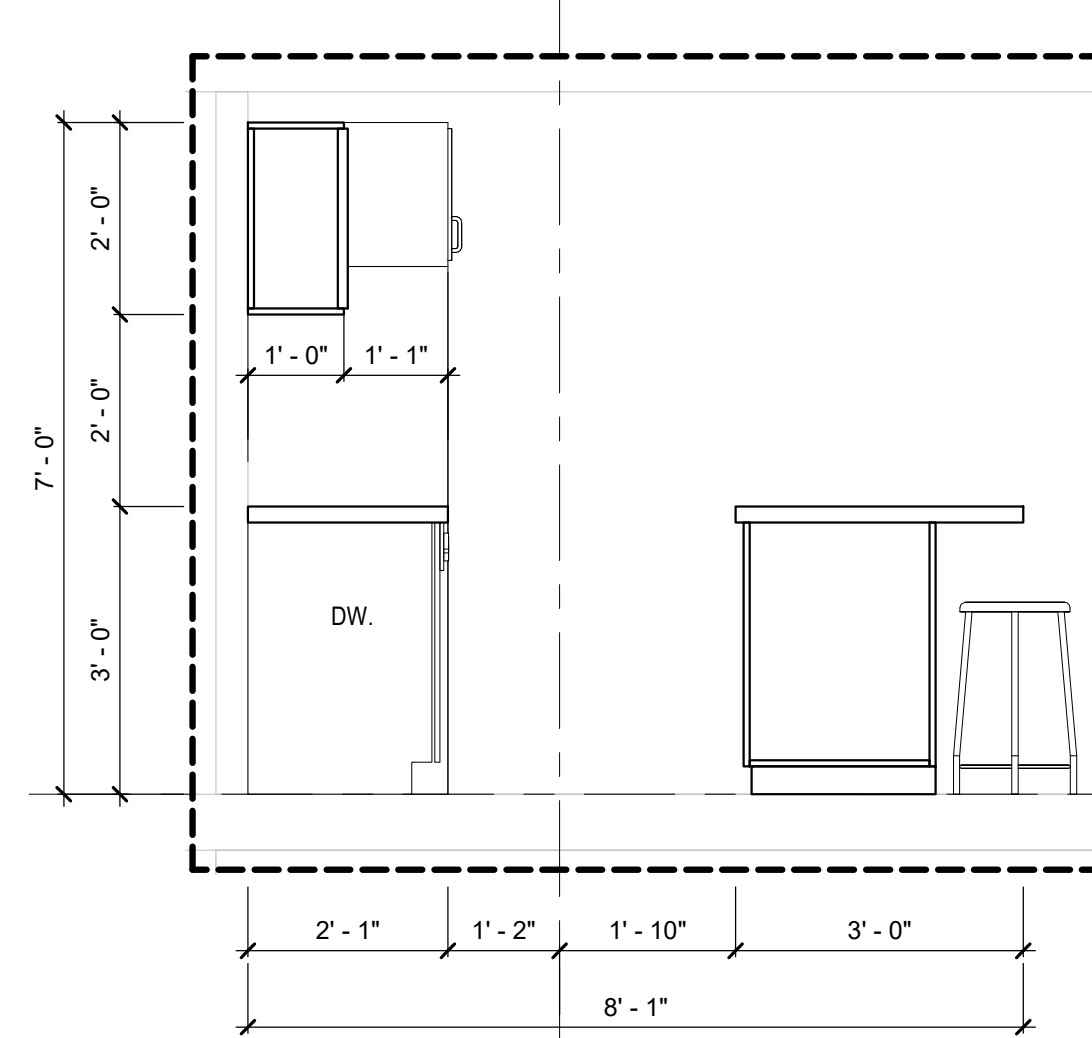
- GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. CRC R702.3.7.1.
- ALL DOORS & WINDOWS SHALL MEET CITY'S SECURITY ORDINANCE.
- CONCRETE SLAB AND UNDER FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR R109.1.1.1.
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION R109.1.2.
- FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.
- WATER PIPING MATERIAL WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC 604.1 OF THE ALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.4.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

ROOM FINISH SCHEDULE

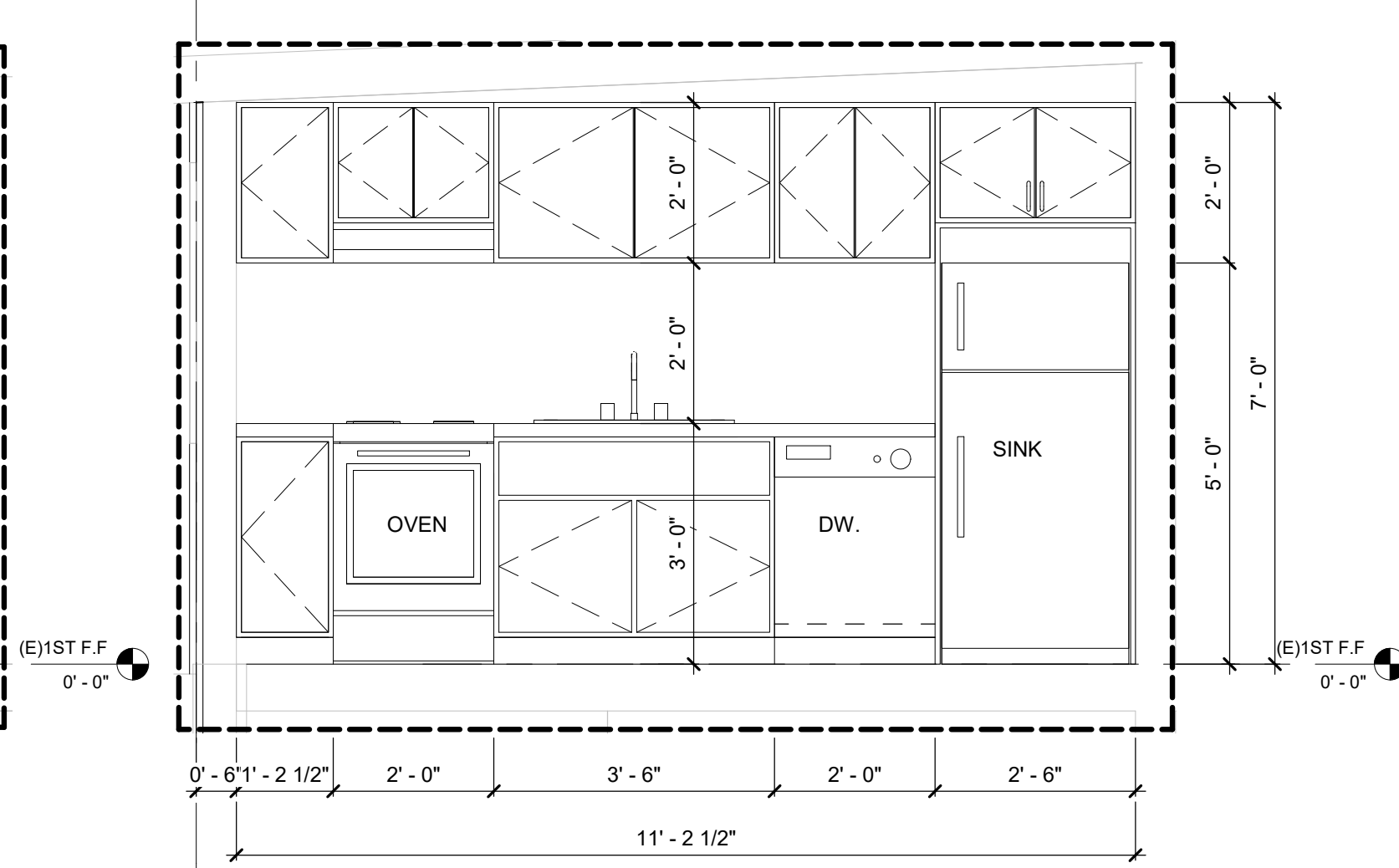
ROOM	FLOOR	BASE	WALL MATERIAL	WALL FIN.
LIVING ROOM	WOOD	WOOD	1/2" GYP. BD.	1,3
KITCHEN	WOOD	WOOD	1/2" GYP. BD.	1,3



6 PROPOSED KITCHEN PLAN
1/2" = 1'-0"



3 ELEVATION 1
1/2" = 1'-0"



4 ELEVATION 2
1/2" = 1'-0"



REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

ROOM FINISH & ARCHITECTURAL DETAILS

ADDITION AND REMODEL

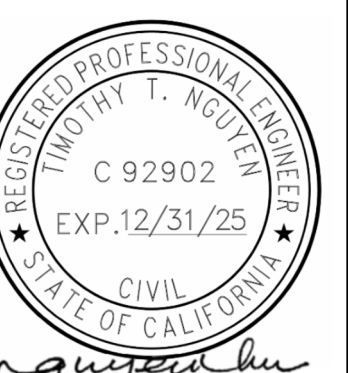
222 University Ave, Los Gatos, CA 95030

DATE: 12/18/24

SCALE: AS SHOWN

DRAW BY: T.B

STAMP:



JOB NO: #335

DRAWING NO:

A.14

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 03/26/2024

ITEM NO: 3

DATE: March 21, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Consider a request for approval for exterior modifications to an existing commercial building, Building E in the Old Town Los Gatos Shopping Center in the University/Edelen Historic District on property zoned C-2:LHP:PD, located at 31 University Avenue.

BACKGROUND:

On February 26, 2025, the Committee considered the request, discussed the item, and continued the item to a meeting date certain with the following feedback (Attachment 5):

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; and not consistent with the Planned Development or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical mass;
- Consider the addition of tile roofing material; and
- Consider the visual impact of the skylight from all elevations.

PREPARED BY: Erin M. Walters
Senior Planner

DISCUSSION:

The applicant considered the Committee's direction and has decided to not modify the proposed exterior modifications and has provided a response letter (Attachment 6).

The applicant proposes to modify the exterior of Building E to establish more cohesive architecture for the future single tenant of the building (Attachment 7). Exterior modifications would be made to all four elevations and include:

- Roof alterations creating consistent and symmetrical massing;
- Changes to window and door shapes, integrating arched, and rectangular fenestration;
- New fabric awnings and metal and glass canopy awnings;
- A new skylight; and
- New stucco siding.

A color and materials sheet showing the proposed finishes of the new exterior materials is included on A406 in the Development Plans included as Attachment 7.

CONCLUSION:

The applicant is seeking a recommendation from the Committee for exterior modifications to Building E. (Attachment 7). Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Planning Commission. The application package would continue through the discretionary review process and would not return to the Committee.

CONSIDERATIONS:

A. Considerations Required with Recommendation

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_____ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

PAGE 3 OF 4

SUBJECT: 31 University Avenue/PD-25-001, S-25-004 and U-25-001

DATE: March 21, 2025

ATTACHMENTS:

Previously distributed with the February 26, 2025, Staff Report:

1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

Previously received with the February 26, 2025, Desk Item Report:

4. Existing and Proposed Building Elevations

Received with this Staff Report:

5. HPC Action Letter, February 26, 2025
6. Response Letter
7. Development Plans

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TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

February 26, 2025

Rick Nelson, MBH Architects
Via email

RE: 31 University Avenue
Planned Development Modification PD-25-001
Architecture and Site Application S-25-004
Conditional Use Permit U-25-001

Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC.

Applicant: Rick Nelson, MBH Architects.

Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item, and continued the application to a meeting date certain of March 26, 2025, with the following feedback:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

Erin M. Walters, Senior Planner

cc: Lindsey Laird, RH, via email

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March 14, 2025

Historic Preservation Committee
110 E. Main Street
Los Gatos, CA 95030

Project: **RH Los Gatos - PD-25-001, S-25-004 and U-25-001**
Location: **31 University Ave**

Dear Members of the Historic Preservation Committee:

I would like to first thank you for your time on February 26, 2025. We appreciated your feedback but after careful consideration, we have chosen to maintain our current design.

When developing our Proposal, we closely studied the existing Mediterranean components of the building and the Old Town Shopping Center, its proportions, window types and architectural details. We also considered the buildings immediately adjacent and incorporated their unified design into our building, both in color and articulation, with the goal of creating a harmonious façade design that assimilates into, rather than competes with the larger Historic District.

At RH, we strive to obtain balance, symmetry and perfect proportions with our architectural approach and believe our design does exactly that. With respect, we would like to maintain our Proposal. I hope the explanation above provides you with an understanding of our position.

Thank you,

Stuart Wagner

A handwritten signature in black ink, appearing to read 'Stuart Wagner', with a long horizontal flourish underneath.

STUART WAGNER
SENIOR DIRECTOR, PRE-DEVELOPMENT
RH | GALLERY DEVELOPMENT
C: 919.621.0741

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Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



960 atlantic avenue
Alameda, CA 94501
510 865 8663
mbharch.com

Seal

Consultant

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Reviewed By: Rick N

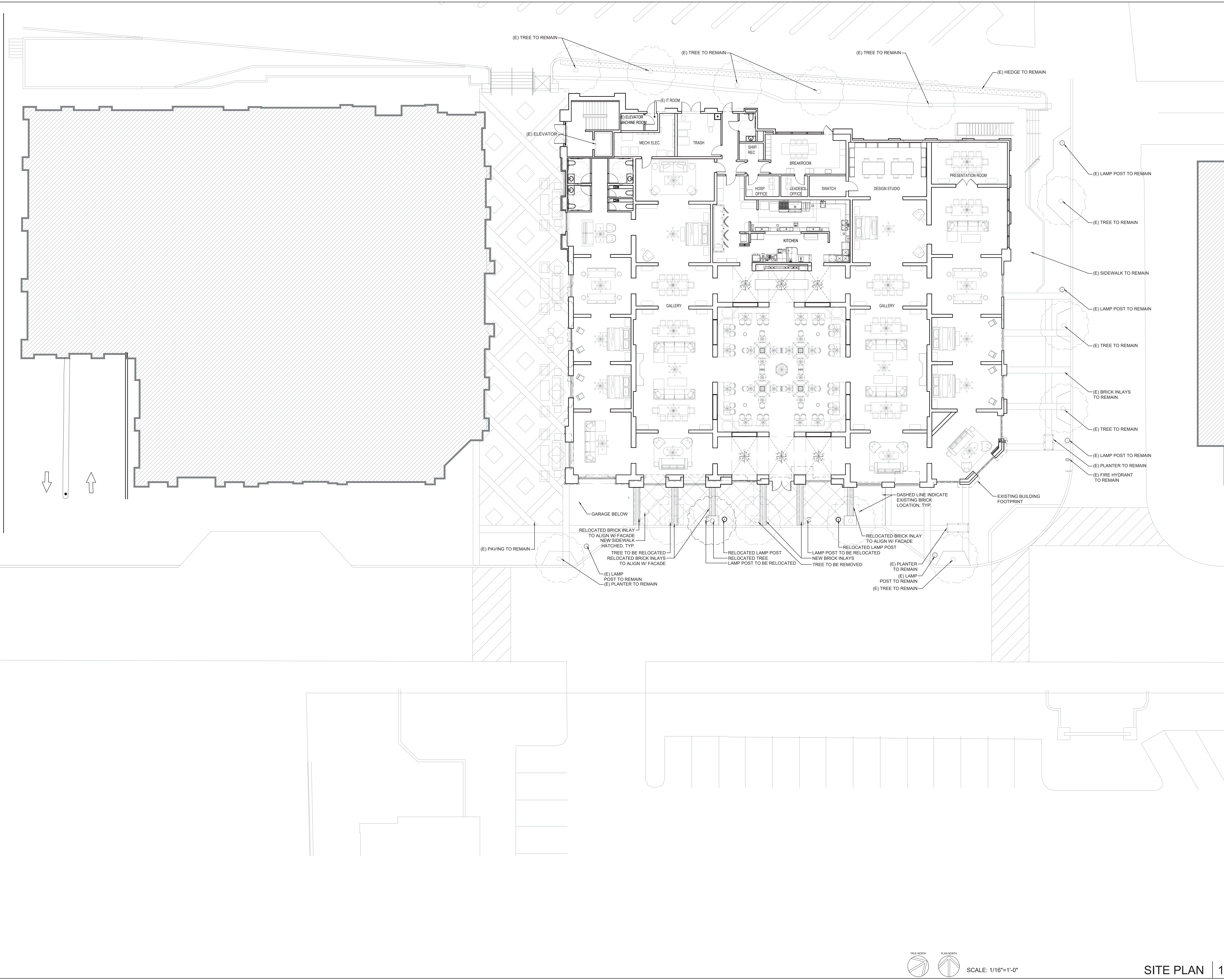
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Drawing Title

SITE PLAN

Drawing No.

AS101



Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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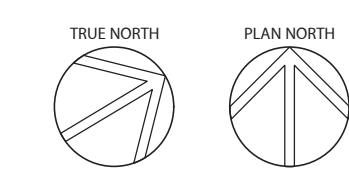
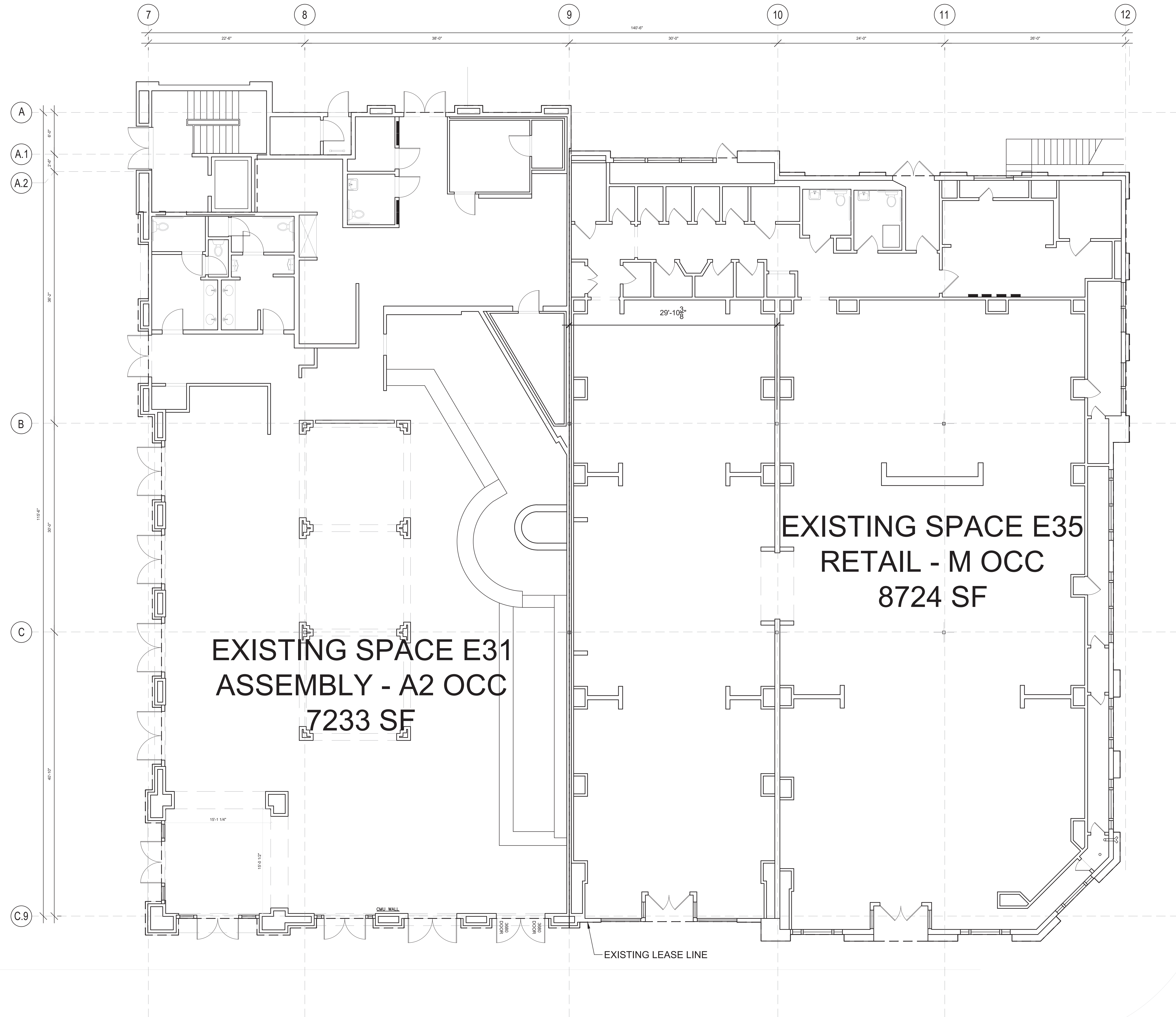
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Drawing Title

EXISTING FLOOR PLAN

Drawing No.

AD101



SCALE: 3/16"=1'-0"

EXISTING FLOOR PLAN | 1

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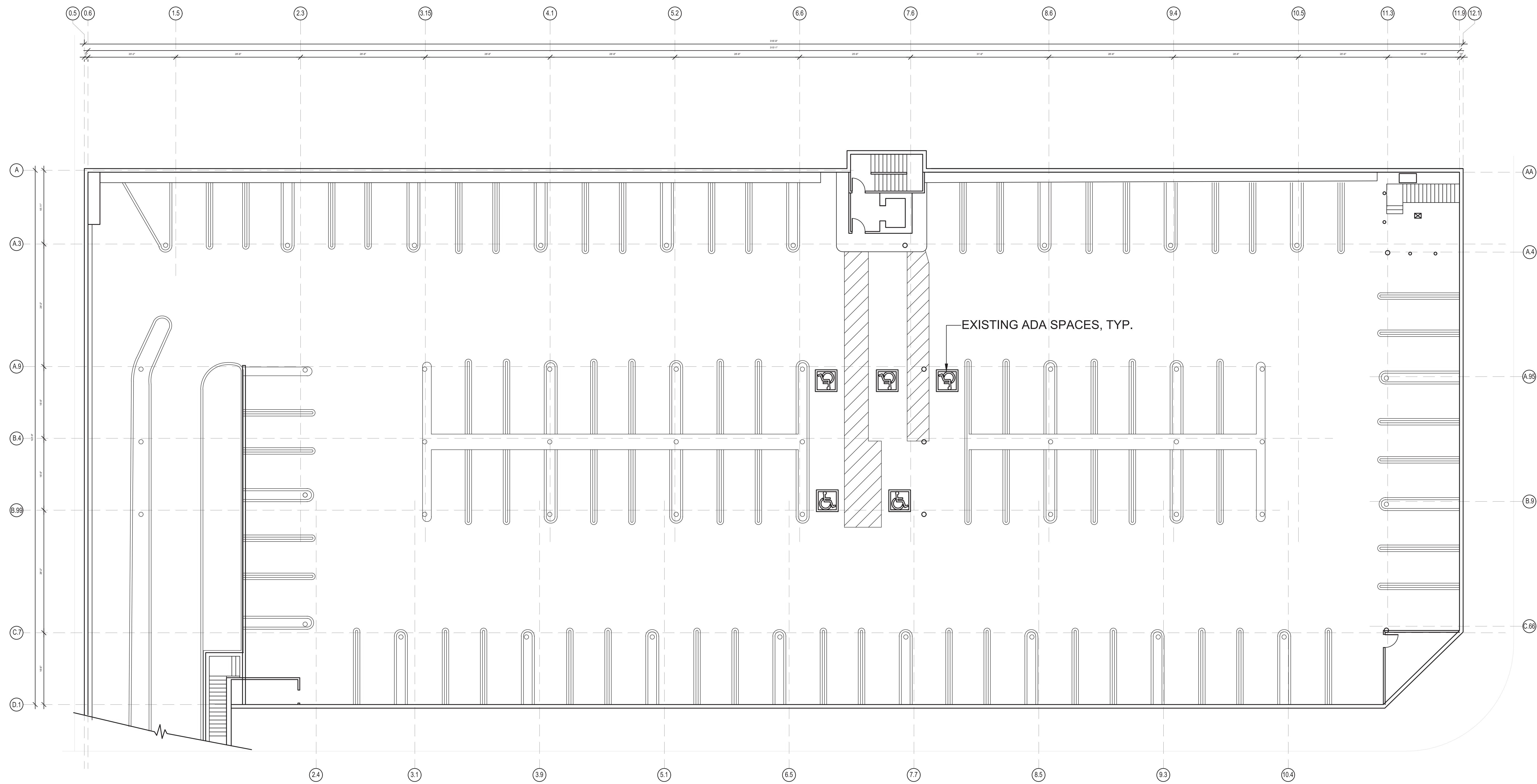
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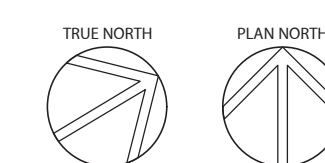
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BASEMENT PLAN**

Drawing No.

A100



FOR REFERENCE ONLY



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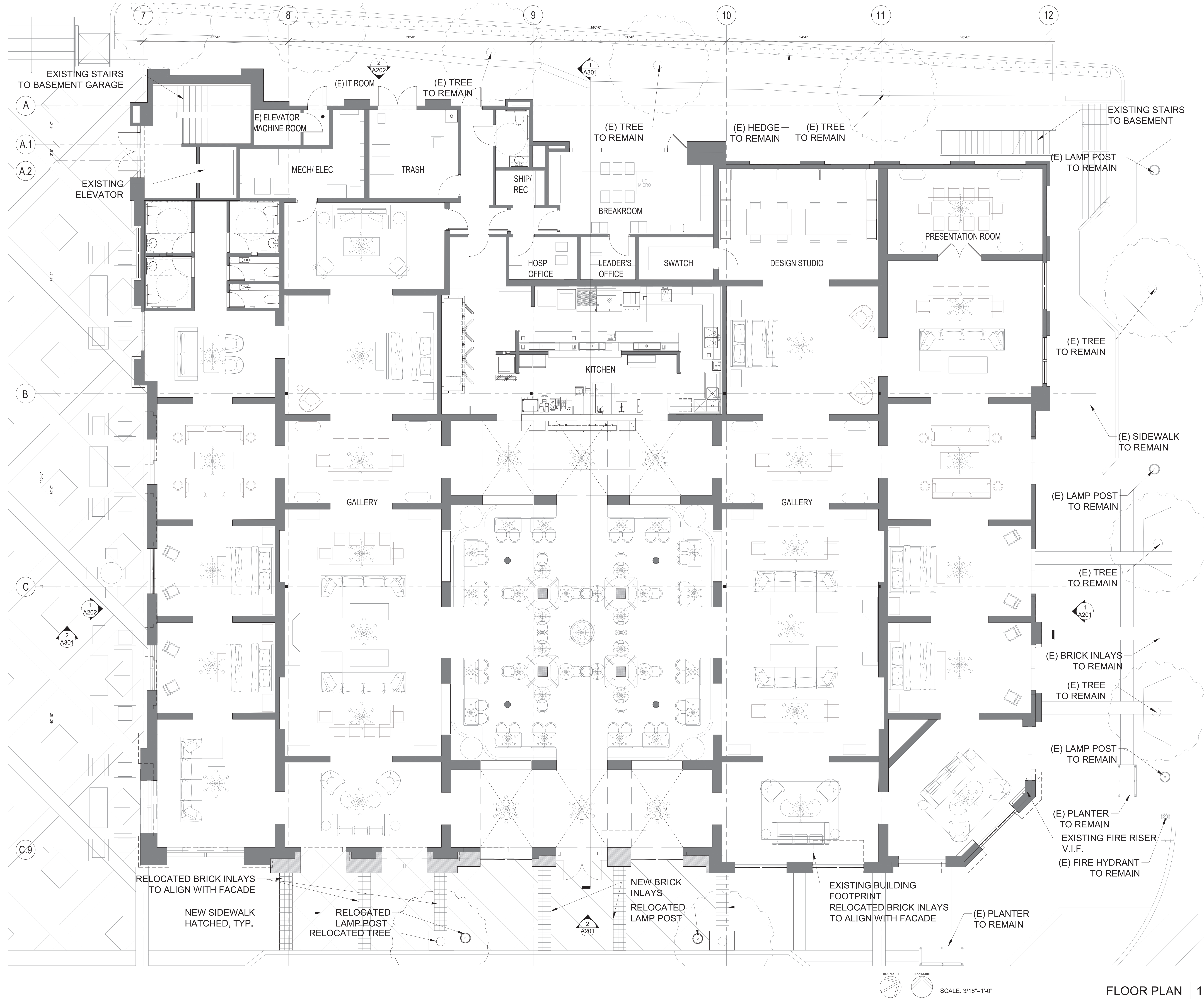
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 Drawing Title

FLOOR PLAN

Drawing No.

A101



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Architect



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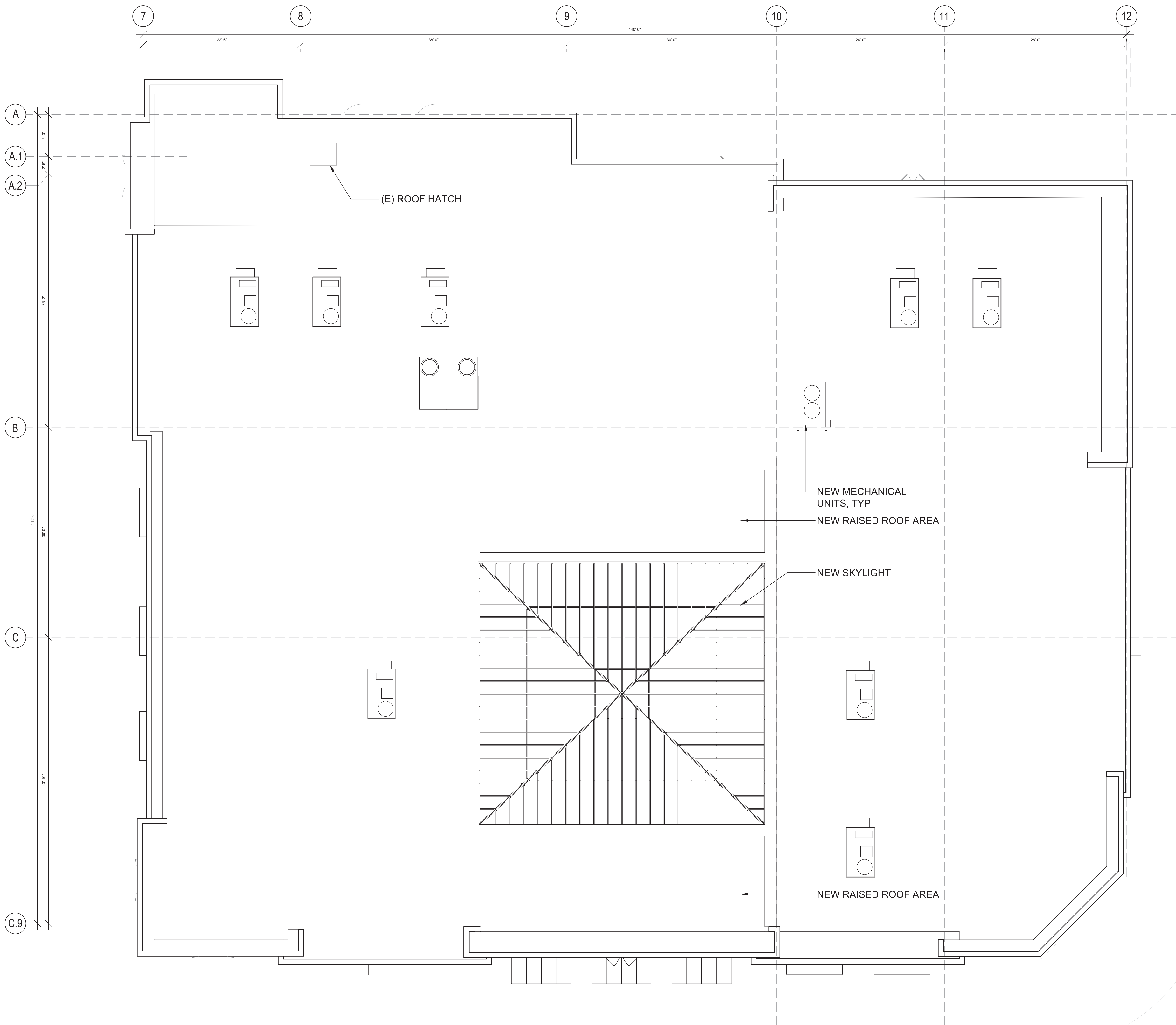
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Drawing Title

ROOF PLAN

Drawing No.

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Project

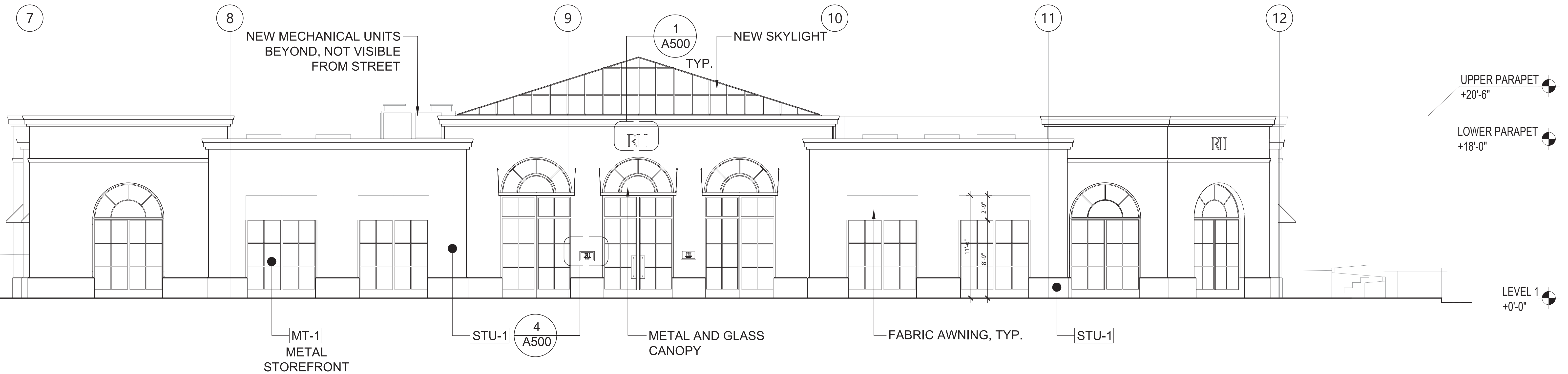
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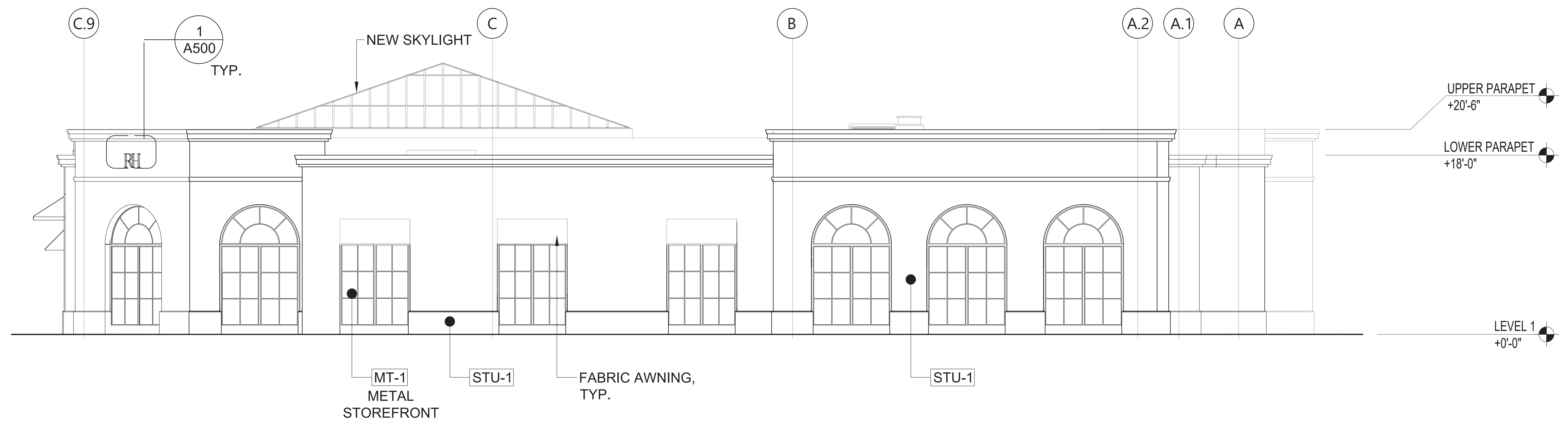


Seal

Consultant



SCALE: 3/16"=1'-0" PROPOSED SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" PROPOSED EAST EXTERIOR ELEVATION | 1

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Drawing Title

EXTERIOR ELEVATIONS

Drawing No.

A201

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Alameda, CA 94501
510 865 8663
mbharch.com

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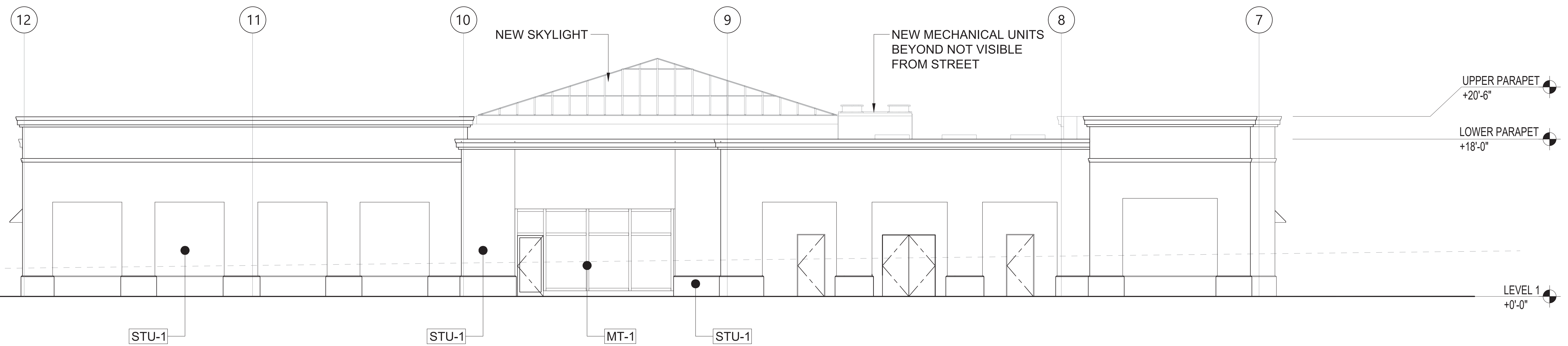
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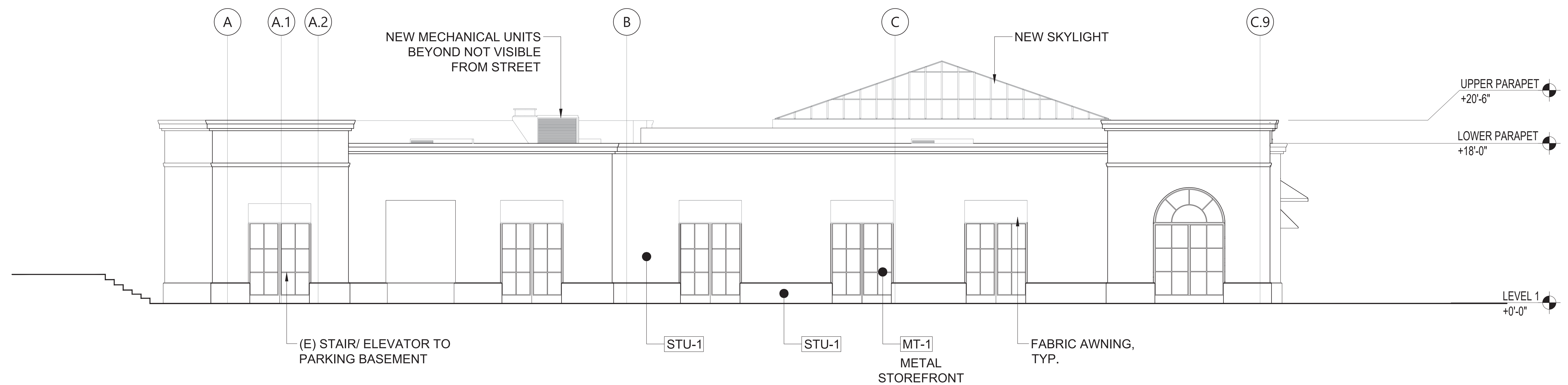
EXTERIOR ELEVATIONS

Drawing No.

A202



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SCALE: 3/16"=1'-0" PROPOSED WEST EXTERIOR ELEVATION | 1

Project

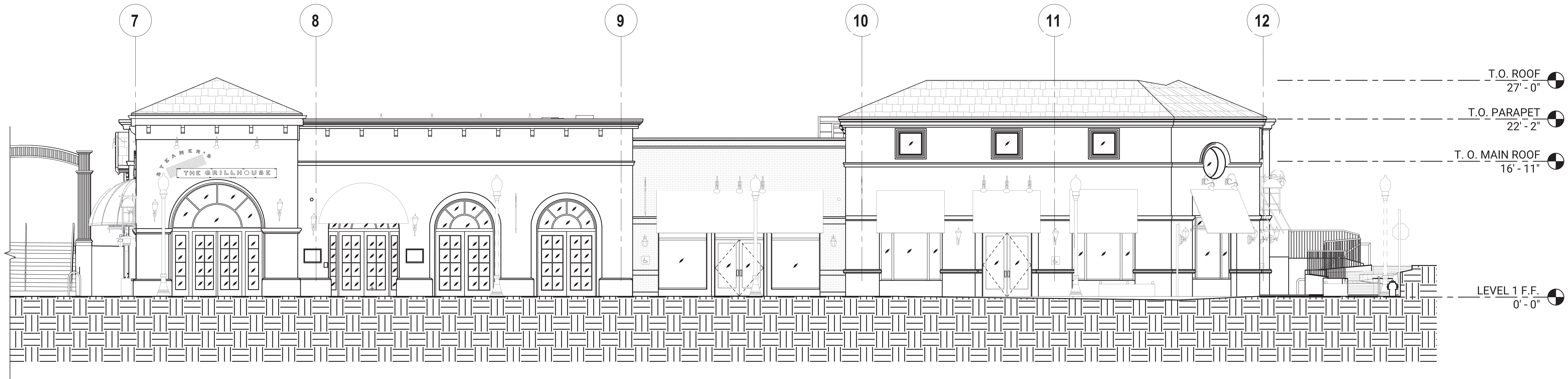
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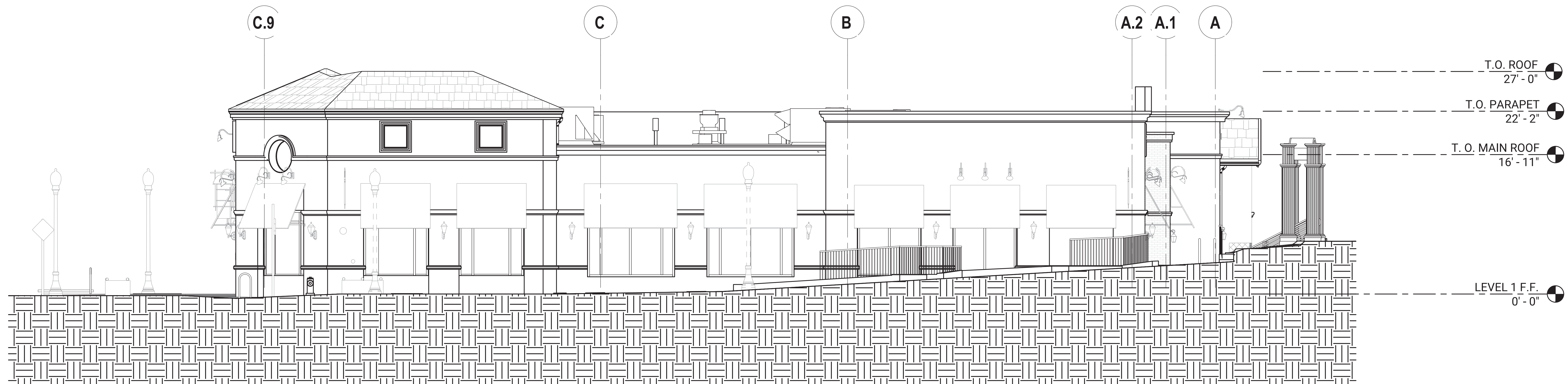
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Consultant



SCALE: 3/16"=1'-0"

EXISTING SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0"

EXISTING EAST EXTERIOR ELEVATION | 1

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Drawing Title	

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A203

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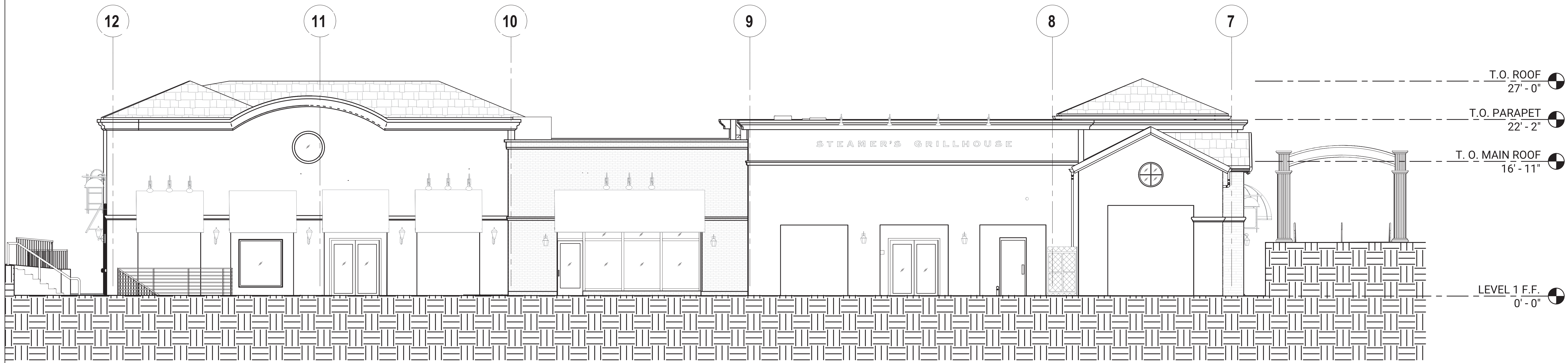
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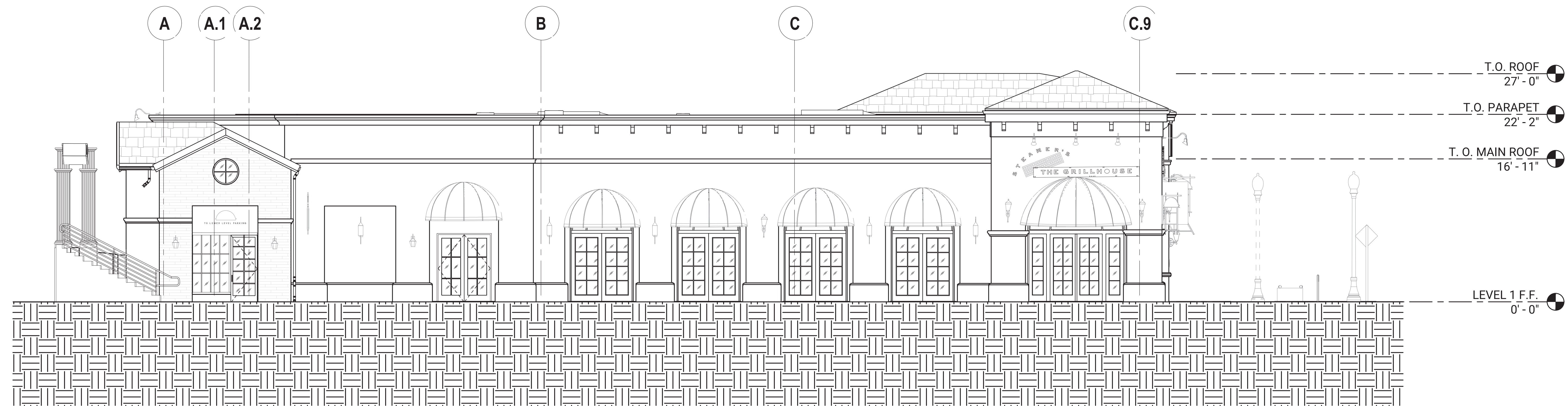
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SCALE: 3/16"=1'-0"

EXISTING NORTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0"

EXISTING WEST EXTERIOR ELEVATION | 1

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Drawing Title

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A204

Project

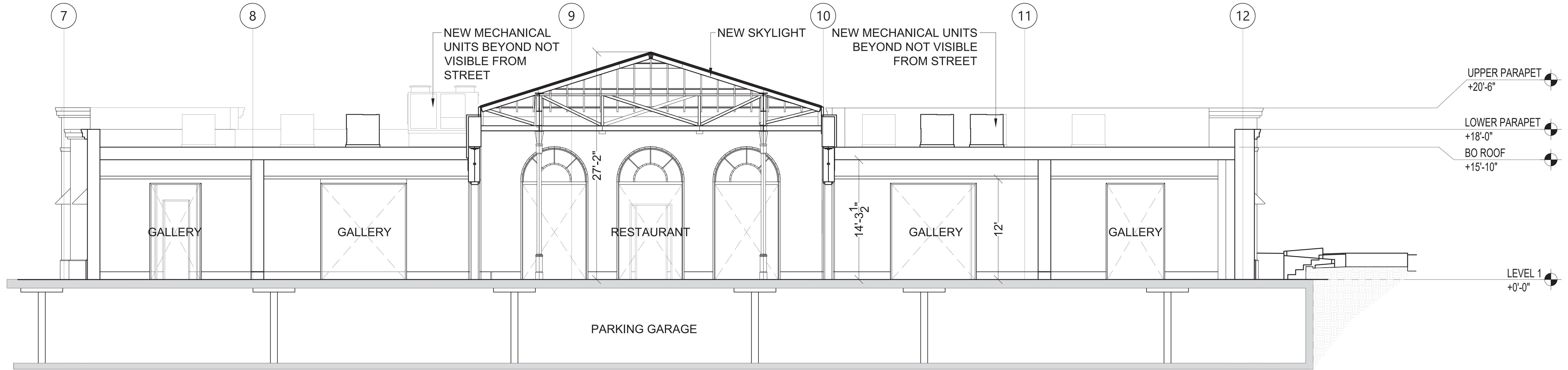
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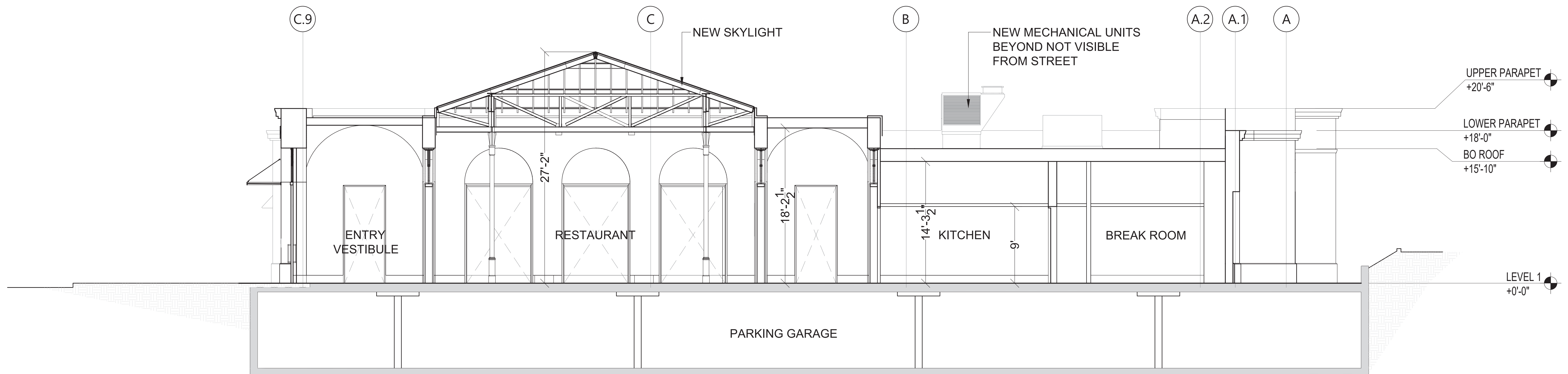
Seal

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SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 2



SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 1

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Drawing Title

BUILDING SECTIONS

Drawing No.

A301

Project

RH - LOS GATOS
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LOS GATOS, CA 95030

Architect



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Drawing Title

EXISTING
BUILDING
PHOTOS

Drawing No.

A400



Project

RH - LOS GATOS
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LOS GATOS, CA 95030

Architect



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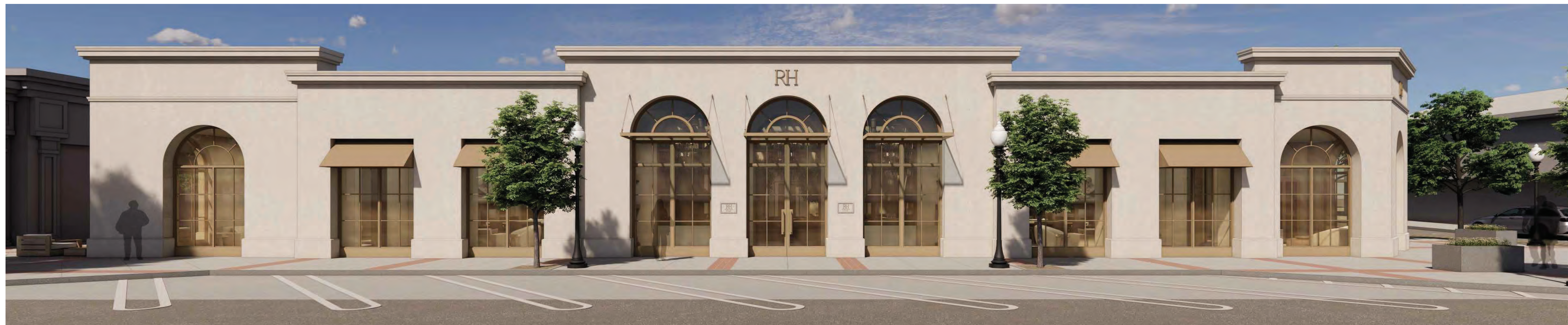
Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted

Drawing Title

**EXISTING
BUILDING
PHOTOS**

Drawing No.

A401



RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



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Drawing Title

**EXTERIOR
BUILDING
RENDERS**

Drawing No.

A402

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



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Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted

Drawing Title

**EXTERIOR
BUILDING
RENDERS**

Drawing No.

A403



SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS | 1



RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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Reviewed By: Rick N
Scale As noted

Drawing Title

**INTERIOR
BUILDING
RENDERS**

Drawing No.

A404

SCALE: N.T.S.

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

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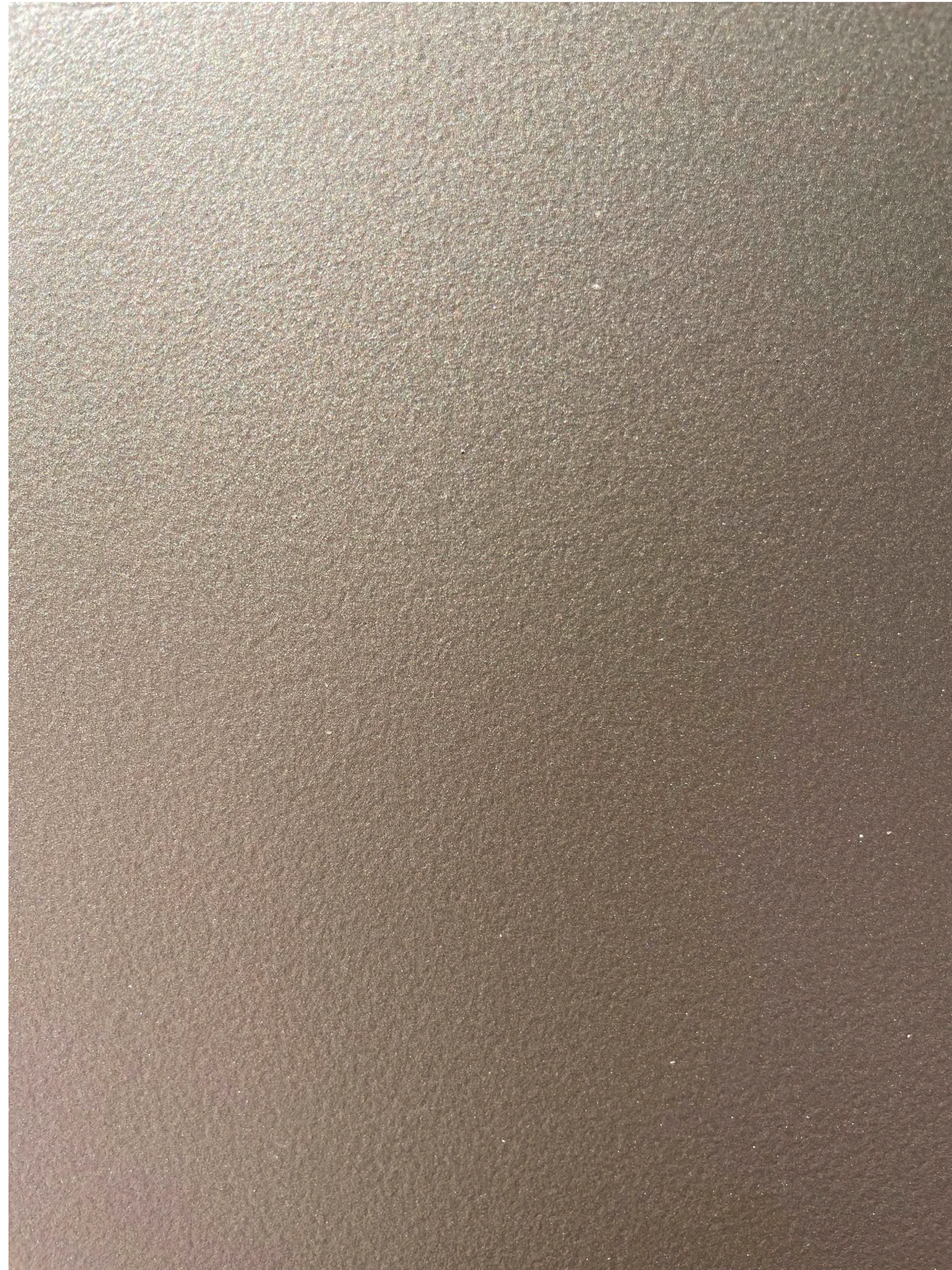
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INTERIOR
BUILDING
RENDERS

Drawing No.

A405

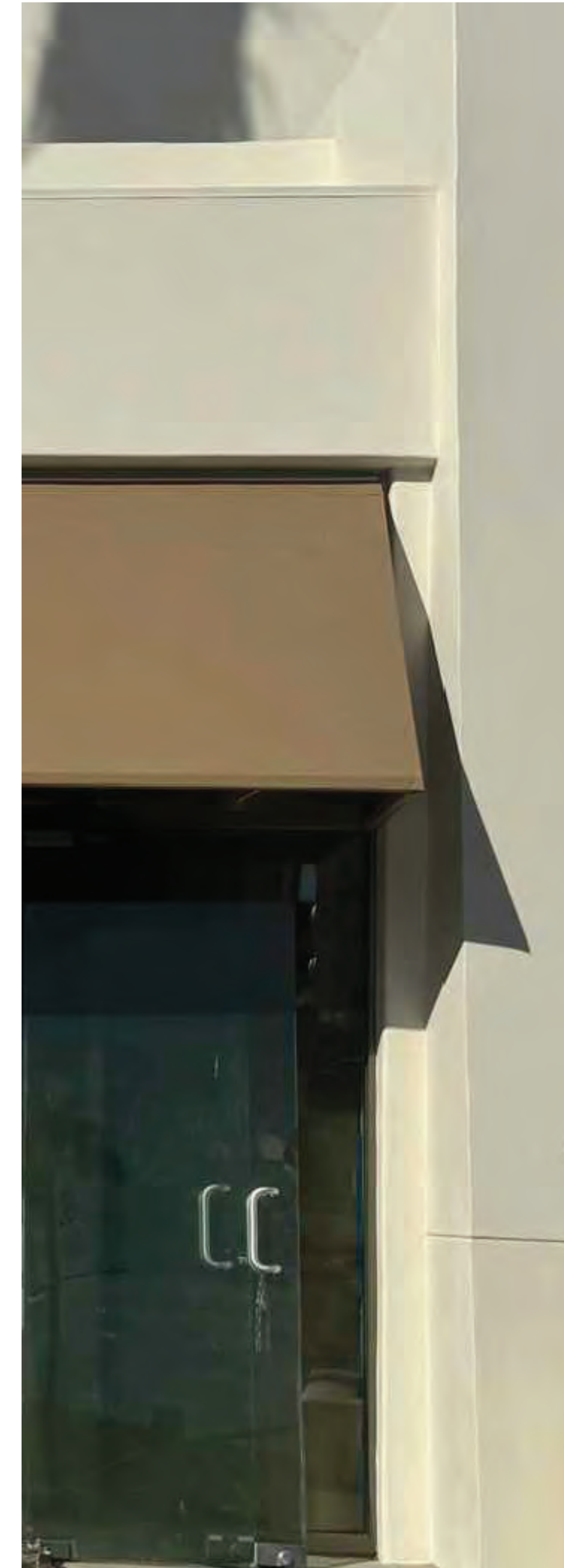
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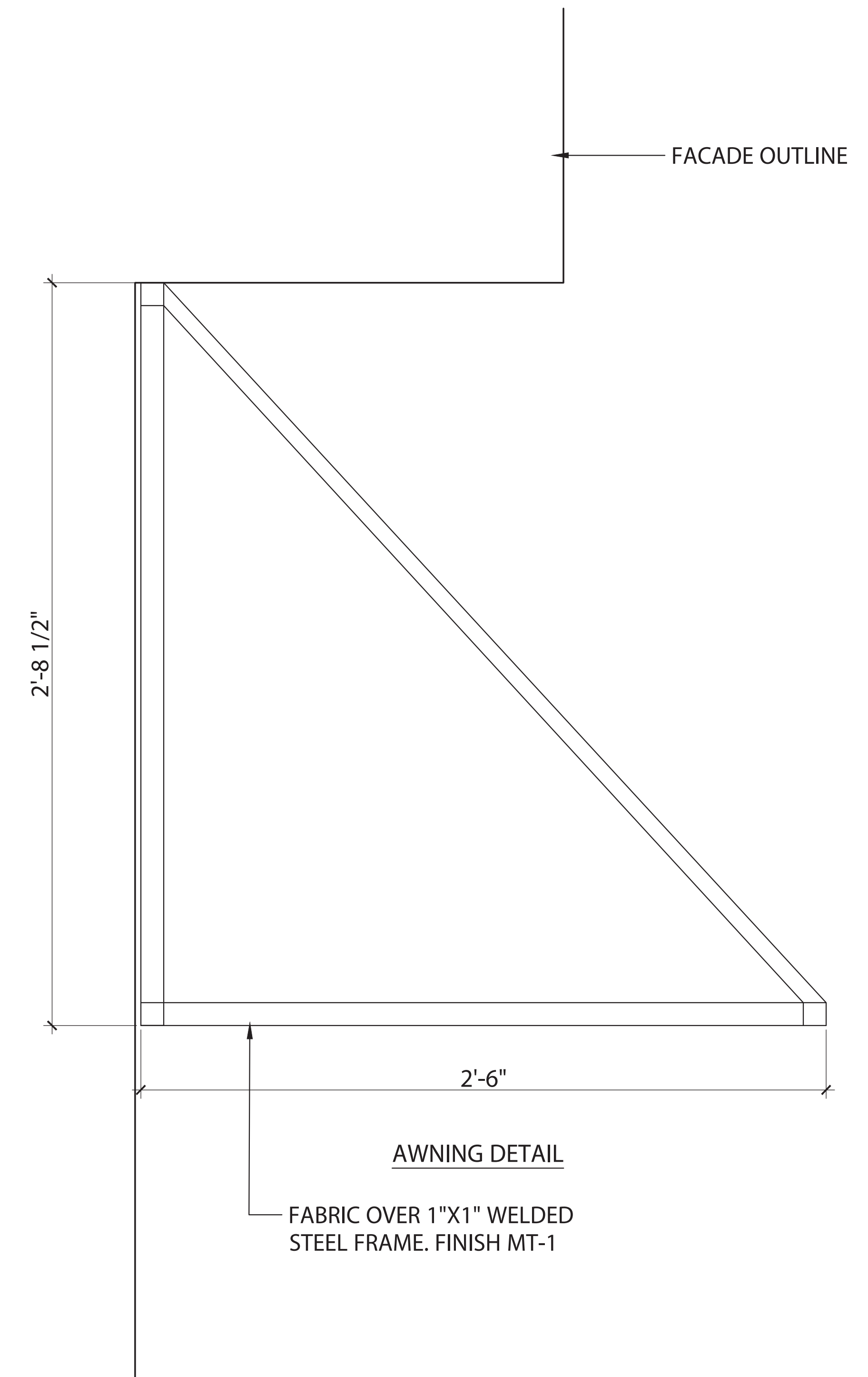
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METAL FINISH
MFR: CREATIVE PAINTS SAN FRANCISCO
PAINTED METAL CUSTOM METALLIC PLAINT



STU-1
STUCCO SYSTEM
MFR: RICK MARS
EXTERIOR CLADDING
LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER
CUSTOM FINISH PER OWNER REQUIREMENTS



FABRIC AWNING



Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

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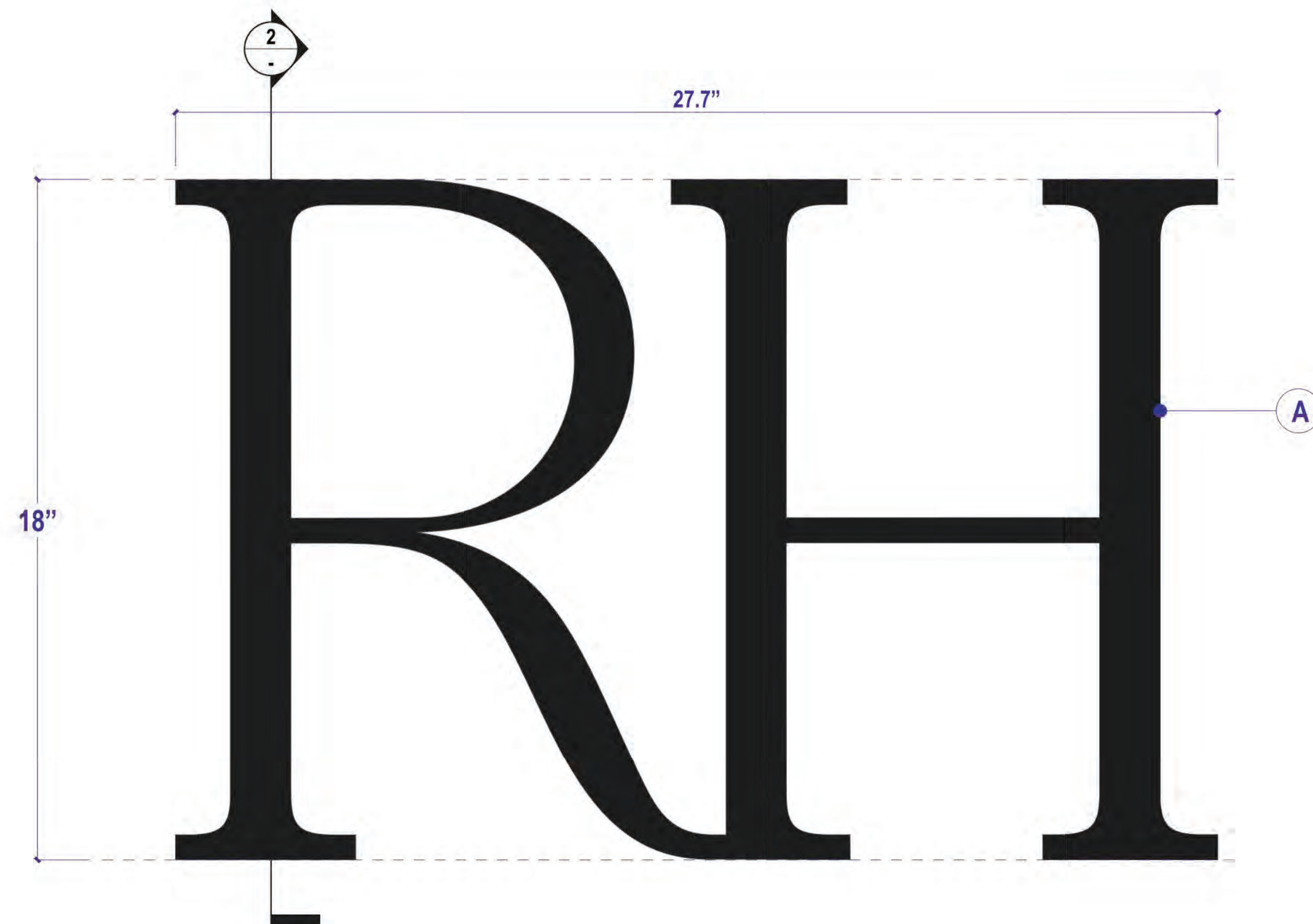
Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted

Drawing Title

MATERIAL FINISHES

Drawing No.

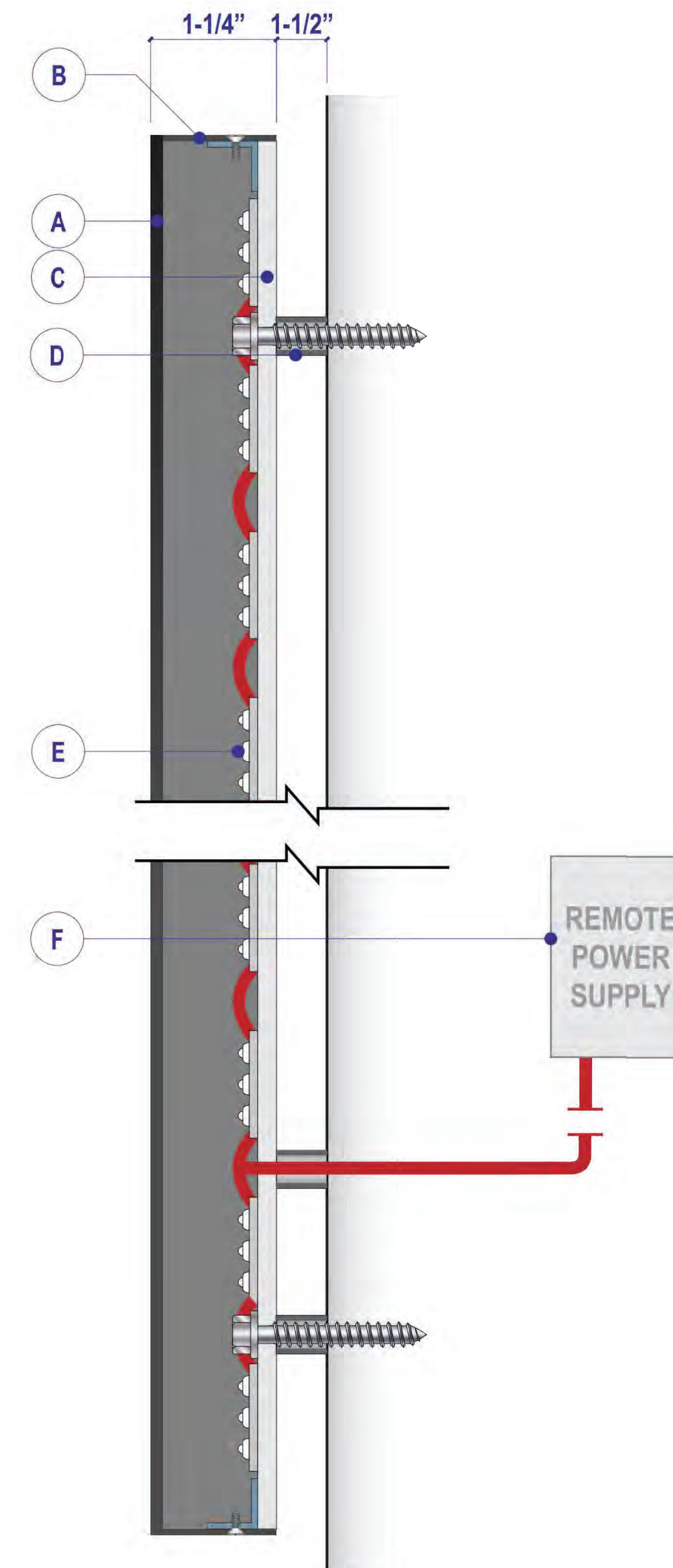
A406



1 17-IN RH LOGO HALO-LIT - DETAIL
Scale 1/8: 1"



3 ILLUMINATION SAMPLE
NTS



2 SECTION
Scale 1/4: 1"

SPECIFICATIONS:

A. 1/8" THICK ALUMINUM FACE PAINT TO MATCH AWNINGS/WINDOW FRAMES

NOTE: SOME STROKE ADJUSTED TO ACCOMODATE LED LIGHT LAYOUT REQUIREMENTS

B. .050" THICK ALUMINUM RETURNS PAINTED RAL 9005 JET BLACK SATIN (MP923) MOUNTED TO "C" VIA ANGLE BRACKETS AND SCREWS

C. 3/16" POLYCARBONATE BACK WITH SINGLE LAYER OF WHITE FROSTED CRYSTAL 7725E-324 DIFFUSER RIVETED TO ALUMINUM ANGLE BRACKETS MOUNTED TO FINISH WALL VIA 1/4"-20 SCREWS AND ANCHOR IN 7 PLACES

D. 1/2" DIA. ALUMINUM SPACERS

E. AGI LIGHT 3000K

F. MAGNITUDE M150L12DC-AR LED DRIVER



NOT 100% SCALE
20" X 30" FRAME
MATCHES RENDERING

4 ENTRY PLAQUE SIGN DETAIL

UL ALL ELECTRICAL COMPONENTS ARE UL APPROVED AND FOLLOW 600 GROUNDING AND BONDED GUIDELINES

<p>THOMAS-SWAN SIGN COMPANY, INC. 2717 GOODRICK AVENUE, RICHMOND, CA 94801 510-232-9610 • CALIFORNIA LICENSE #269069</p>	<p>© 2021 THOMAS SWAN SIGN COMPANY, INC. All rights reserved. This drawing and the concepts, ideas and design development expressed herein are intended for use on this project only, and remain the sole property of Thomas Swan Sign Company, Inc. Original design concepts developed as part of this work remain the property and copyright of their respective owners. All dimensions and measurements are to be approved by the Client prior to any manufacturing or installation of these designs. Items are at scale noted when this page is printed at 11" x 17".</p>	PROJECT NAME & ADDRESS		DATE / REVISIONS		CLIENT	JOB NUMBER	QUANTITY
		RESTORATION HARDWARE		RH HALO-LIT BUILDING LOGO		Restoration Hardware	8258	2
		FILE NAME		APPROVED FOR CONSTRUCTION - INCLUDE NAME & DATE		SALES	SHEET NUMBER	
18IN_LOS GATOS		<input type="checkbox"/>		Ryan Goss	1.00			

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted

Drawing Title

EXTERIOR SIGNAGE

Drawing No.

A500

FOR REFERENCE ONLY

NOTES FOR GENERAL CONTRACTOR:

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
- GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
- GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
- Do not scale drawings.

GENERAL NOTES:

- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
- Fixture types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

REV. DATE	DESCRIPTION
10.23.2024	FOR REVIEW
11.22.2024	100% SCHEMATIC DESIGN
01.10.2025	PLANNING REVIEW

PROJECT:

RH LOS GATOS
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

LIGHTING LAYOUT

SHEET:

LT-1.0

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

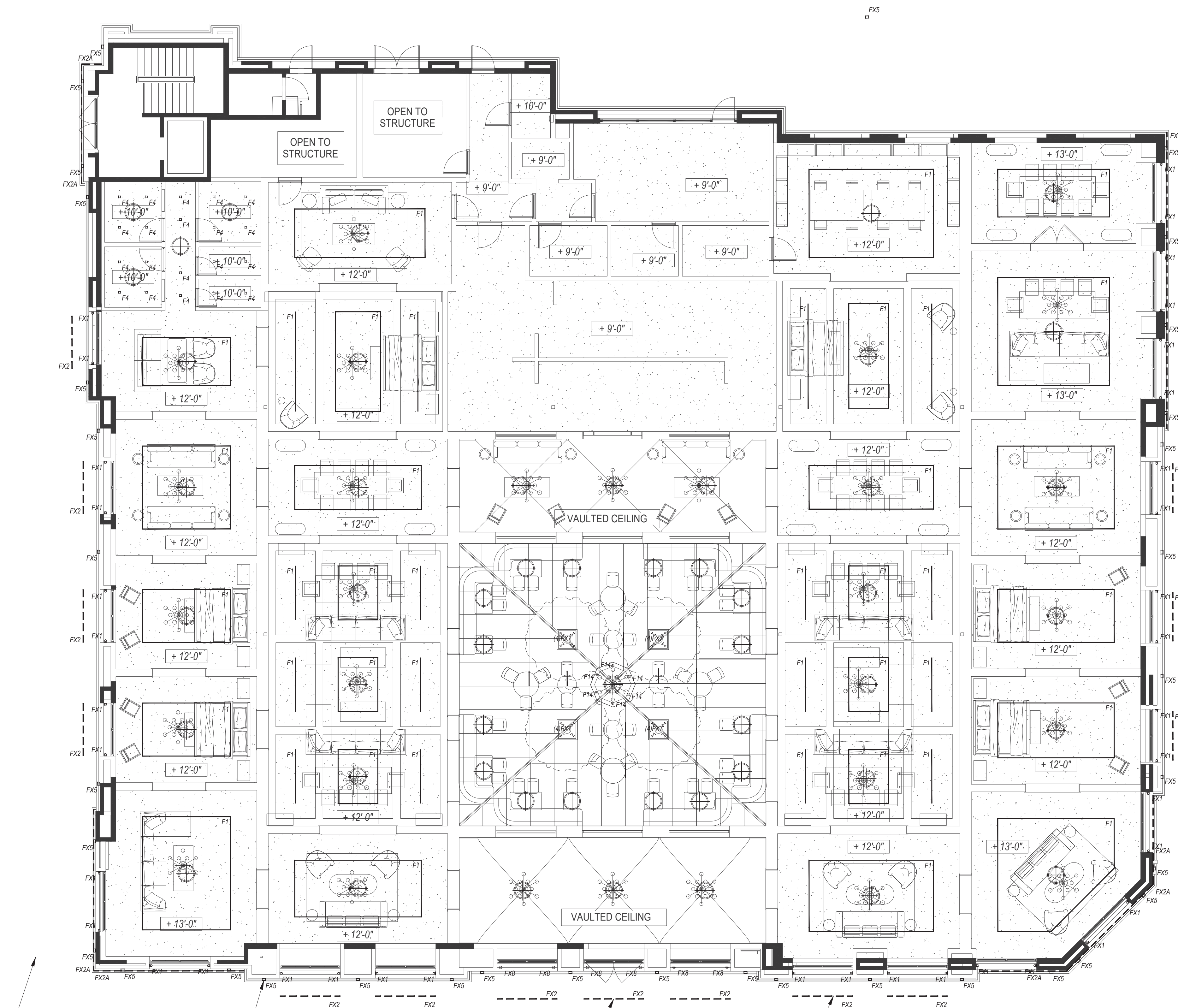
- SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF.
- SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.
- SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERNIGHT SETTING ON SITE AHEAD OF GALLERY OPENING.
- SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

- ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
- ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

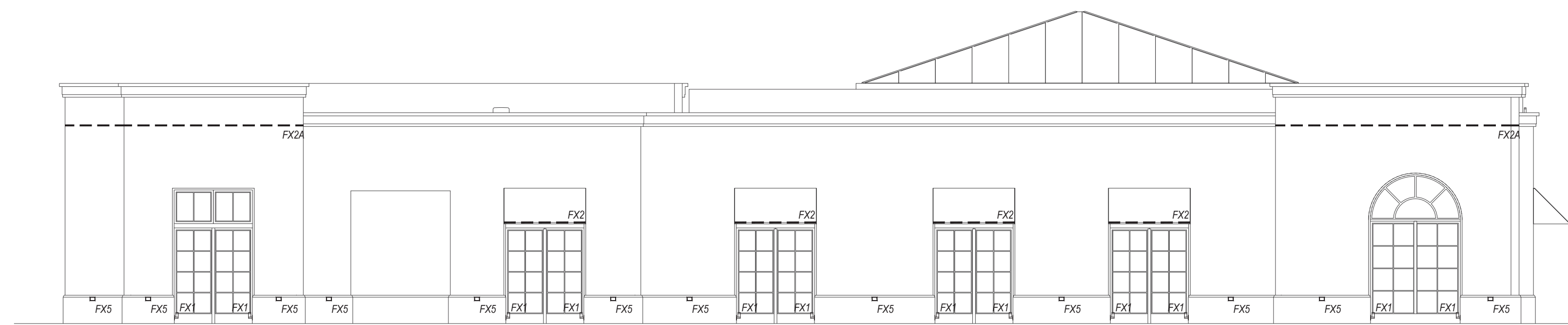
LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION	LOCATION
F1	—	SURFACE MOUNTED SINGLE CIRCUIT TRACK	RETAIL, THROUGHOUT
F2	▷	ADJUSTABLE TRACK HEAD	RETAIL, THROUGHOUT
F4	◻	3" SQUARE RECESSED DOWNLIGHT	RESTROOMS, PASSAGES
F14	•	WEIGHTED BASE UNDERWATER ACCENT LIGHT	CAFE CENTRAL FOUNTAIN
FX1	▷	JAMB MOUNTED ACCENT LIGHT	FACADE, DOOR AND WINDOW JAMBS
FX2	—	SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE AWNINGS
FX2A	—	SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE, CORNICE
FX5	◻	WALL MOUNTED FACADE WASH LIGHT	FACADE
FX7	◻	STAKE MOUNTED TREE UPLIGHT	CAFE TREES
FX8	•	GRADE RECESSED UPLIGHT	MAIN ENTRY DOOR JAMBS

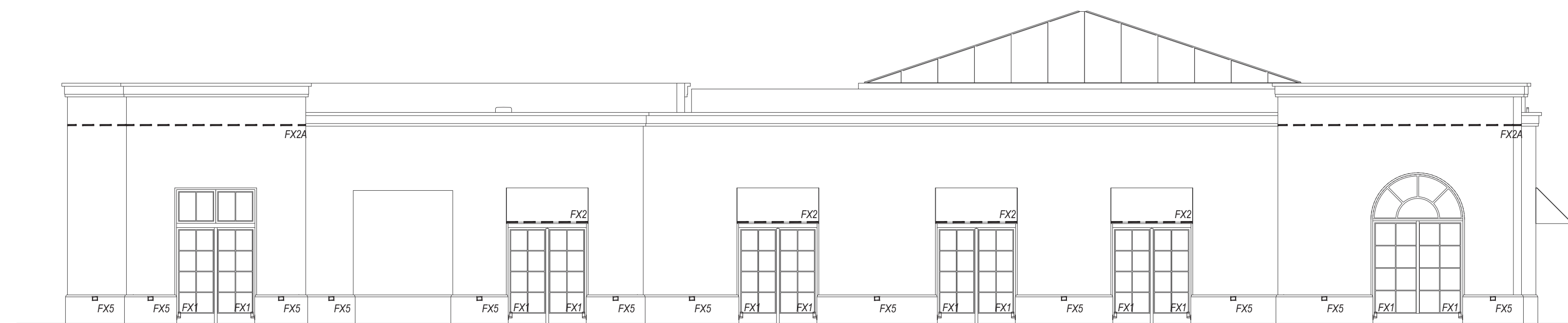


- ALLOW FOR EXTERIOR LANDSCAPE LIGHTING. COORDINATION WITH LANDSCAPE DRAWINGS REQUIRED
- FX5 WALL MOUNTED FACADE WASH LIGHT CONCEALED BEHIND PLANTER. COORDINATION WITH LANDSCAPING AND MFR (48" x 18" x 6" - RFLV 1897)
- FX2 ADJ. LINEAR LED MOUNTED TO TOP OF GLASS AWNING TO BE AIMED AT FACADE TO PROVIDE SOFT GLOW ABOVE
- FX2 ADJ. LINEAR LED CONCEALED WITHIN ARCHITECTURAL CHANNEL AND AIMED AT FACADE TO PROVIDE SOFT GLOW ABOVE

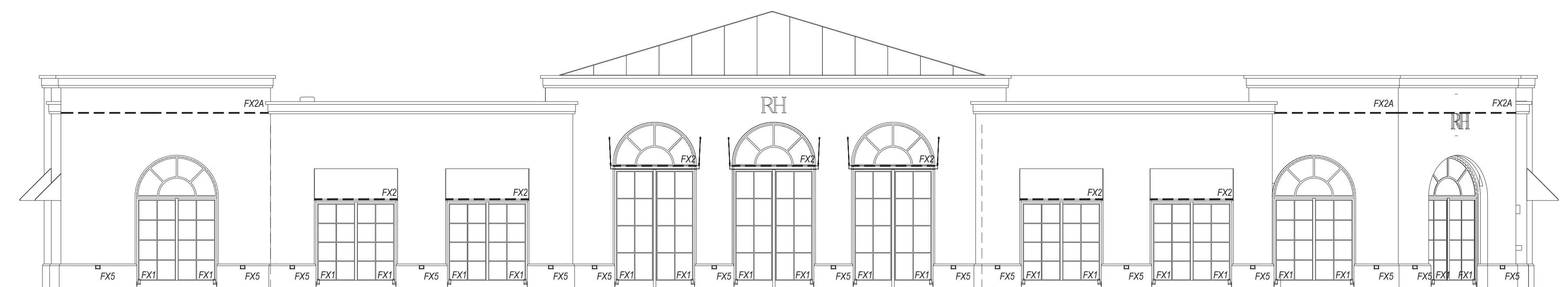
1 EXTERIOR LIGHTING LAYOUT
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"

NOTES FOR GENERAL CONTRACTOR:

1. General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
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3. GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
4. GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
5. GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
6. Do not scale drawings.

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1. Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
2. Fixture types and specifications available in accompanying Specification packet.
3. Calculations for code compliance to be provided by Electrical Engineer.
4. Emergency lighting requirements to be completed by Electrical Engineer.

REV. DATE	DESCRIPTION
10.23.2024	FOR REVIEW
11.22.2024	100% SCHEMATIC DESIGN
01.10.2025	PLANNING REVIEW

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY. 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET. 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERNIGHT SETTING ON SITE AHEAD OF GALLERY OPENING.

SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

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2. ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

LIGHTING LEGEND			
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F2	▷	ADJUSTABLE TRACK HEAD	RETAIL, THROUGHOUT
F4	■	3" SQUARE RECESSED DOWNLIGHT	RESTROOMS, PASSAGES
F14	●	WEIGHTED BASE UNDERWATER ACCENT LIGHT	CAFE CENTRAL FOUNTAIN
FX1	▷	JAMB MOUNTED ACCENT LIGHT	FACADE, DOOR AND WINDOW JAMBS
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FX5	■	WALL MOUNTED FACADE WASH LIGHT	FACADE
FX7	◊	STAKE MOUNTED TREE UPLIGHT	CAFE TREES
FX8	●	GRADE RECESSED UPLIGHT	MAIN ENTRY DOOR JAMBS

PROJECT:

RH LOS GATOS

35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

EXTERIOR
LIGHTING
ELEVATIONS

SHEET:

LT-2.0

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 3/26/25

ITEM NO: 4

DATE: March 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 16488 Bonnie Lane.** APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Property Owner: Mai of Tran 2020 Trust. Applicant: Vu-Ngan Tran. Project Planner: Maria Chavarin.

BACKGROUND:

On April 24, 2024, the Committee considered the proposal and continued the item with the following direction to the applicant (Attachment 9):

- Revise the floor plan on the proposed second-floor addition specifically, the angled exterior walls on the master bath to make the design compatible to the existing residence;
- Revise the angle of the roof line; and
- Revise the extent of the deck to eliminate visual weight on the design.

On May 22, 2024, the Committee considered the requested changes and recommended approval to the Community Development Director with a condition that the replacement windows be fiberglass clad wood windows (Attachment 10 and 11).

DISCUSSION:

On November 25, 2024, the applicant submitted development plans to continue the Minor Residential Development application review process. During the planning review phase of the application, it was noted that new changes to the plans were introduced that were not originally considered by the Committee. The item is returning to the Committee for consideration and a recommendation to the Community Development Director. The revised plans are found in Attachment 13. Below is a summary of the applicant's proposed changes to the plans:

PREPARED BY: Maria Chavarin
Assistant Planner

- Removal of the existing front entry stairway with side access to Bonnie Lane;
- Construction of a new front entry stairway, including new wood railings and square wood columns with stucco bases, on the north elevation;
- Expansion of the proposed second-floor footprint on the east, south and west elevations;
- Addition of three windows on the second-floor east and west elevations;
- Addition of a new sliding glass door on the first floor on the east elevation;
- Removal of the proposed windows on the first floor of the south elevation addition; and
- Addition of a new door on the first floor of the south elevation addition

The applicant submitted a Letter of Justification providing the reasons for modifying the footprint of the second-story floor plan (Attachment 12). The applicant's Letter of Justification states, "We feel that the end of the master bathroom looks like two small dormers. We changed the design to make the house look more proportional."

At the May 22, 2024, Historic Preservation Committee meeting, the Committee recommended approval to Community Development Director with a condition that the replacement of windows be fiberglass clad wood windows (Attachment 10). The applicant is requesting consideration that the proposed windows be modified to a full fiberglass product rather than the previously approved fiberglass clad wood windows.

The Residential Design Guidelines provides the following recommendations related to window materials:

3.7.3 Match window materials to the architectural style and to the surrounding neighborhood

- Wood windows are common in Los Gatos. Wood is still the desired choice for styles that traditionally used wood. However, today there are some window materials, such as vinyl clad wood windows that are not noticeably different from wood at a short distance.

4.8.2 Building Materials

- Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material, and that a lay person would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

4.8.4 Windows and Glass in doors

- Windows should be constructed of real glass, and window frames should be constructed of real wood - not vinyl, metal, or plastic. Wood sashes may be vinyl or metal clad if the window frame and dressing is designed consistent with the historic context of the building.

CONCLUSION:

The applicant is requesting consideration and recommendation for construction of a second-story addition exceeding 100 square feet and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1:8. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Minor Residential Development application process. The project would not return to the Committee.

ATTACHMENTS:

Previously received with the April 24, 2024, Staff Report:

1. Anne Bloomfield Survey
2. Town Records
3. Applicant's Submittal Packet
4. Property Pictures
5. Development Plans
6. Section 3.9, Residential Design Guidelines

Previously received with the May 22, 2024, Staff Report:

7. Response Letter
8. Development Plans

Received with this Staff Report:

9. HPC Action Letter, April 24, 2024
10. HPC Action Letter, May 22, 2024
11. Development Plans Approved by HPC on May 22, 2024
12. Letter of Justification
13. Revised Development Plans

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

April 30, 2024

Vu-Ngan Tran
16488 Bonnie Lane
Los Gatos, CA 95032
Via email

RE: 16488 Bonnie Lane
Minor Residential Application MR-24-007

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-02-014. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities.

PROPERTY OWNER/APPLICANT: Vu-Ngan Tran
PROJECT PLANNER: Maria Chavarin

On April 24, 2024, the Los Gatos Historic Preservation Committee discussed the item and recommended that the applicant:

- Revise the floor plan on the proposed second-floor addition specifically the walls on the master bath to make the design compatible to the existing residence.
- Revise the angle of the roof line.
- Revise the extent of the deck.

If you have any questions, I can be contacted by phone at (408) 354-6807 or by email at mchavarin@losgatosca.gov.

Sincerely,

Maria Chavarin

Maria Chavarin
Assistant Planner

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TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

May 23, 2024

Vu-Ngan Tran
16488 Bonnie Lane
Los Gatos, CA 95032
Via email

**RE: 16488 Bonnie Lane
Minor Residential Development Application MR-24-007**

Requesting Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-02-014. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities.

**PROPERTY OWNER/APPLICANT: Vu-Ngan Tran
PROJECT PLANNER: Maria Chavarin**

On May 22, 2024, the Los Gatos Historic Preservation Committee recommended approval of the above request to the Community Development Director with a condition that the replacement windows be fiberglass clad wood windows.

If you have any questions, I can be contacted by phone at (408) 354-6807 or by email at mchavarin@losgatosca.gov.

Sincerely,

Maria Chavarin
Maria Chavarin
Assistant Planner

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GENERAL NOTES

- 1 ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CEC) 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) 2022 CALIFORNIA FIRE CODE (CFC) AND ALL LOCAL CODES AND ORDINANCES
- 2 CONTRACTORS SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE IN COORDINATION WITH THE PLANS AND SHALL NOTIFY THE DESIGNER/ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND INFORMATION SHOWN ON DRAWINGS BEFORE PROCEEDING WITH ANY WORK
- 3 MECHANICAL ELECTRICAL AND FIRE PROTECTION CONTRACT DOCUMENTS AND ALL OTHER DESIGN-BUILD CONTRACT DOCUMENTS NOT INCLUDED HEREIN SHALL BE SUBMITTED TO THE TOWN OF LOS GATOS FOR SEPARATE PERMITS
- 4 ALL GLAZING SHALL CONFORM TO THE FEDERAL GLAZING REGULATIONS AND CHAPTER 24 OF THE CRC
- 5 DO NOT SCALE DIMENSION GOVERN
- 6 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD. (U N O)
- 7 EXTERIOR DIMENSIONS ARE TO FACE OF PLYWOOD. (U N O)

INDEX	
A-1	COVER SHEET
A-1.1	EXISTING and PROPOSED SITE PLAN
A-2	EXISTING FIRST FLOOR PLAN
A-2.1	PROPOSED FIRST FLOOR PLAN
A-3	EXISTING SECOND FLOOR PLAN
A-3.1	PROPOSED SECOND FLOOR PLAN
A-4	EXISTING ROOF PLAN
A-4.1	PROPOSED ROOF PLAN
A-5	EXISTING EXTERIOR EXTERIOR ELEVATIONS
A-5.1	PROPOSED EXTERIOR EXTERIOR ELEVATIONS



PROJECT INFORMATION

PROJECT ADDRESS:	16488 BONNIE LN LOS GATOS CA 95032
AP N :	532-02-014
OCCUPANCY GROUP:	R-3 / U
TYPE OF CONSTRUCTION:	V-B
STORIES:	2
FIRE SPRINKLER:	NONE
LOT AREA	12 085 00 SQ FT
EXISTING FIRST FLOOR AREA	1 954 00 SQ FT
EXISTING SECOND FLOOR AREA	676 00 SQ FT
EXISTING GARAGE	541 00 SQ FT
EXISTING ADU	354 00 SQ FT.
PROPOSED FIRST FLOOR ADDITION	0 00 SQ FT
PROPOSED SECOND FLOOR ADDITION	380 00 SQ FT.
TOTAL FIRST FLOOR AREA	1,954 00 SQ FT
TOTAL SECOND FLOOR AREA	(676 + 380) = 1,056 00 SQ FT.
TOTAL GARAGE FLOOR AREA	541 00 SQ FT
TOTAL ADU FLOOR AREA	354 00 SQ FT.

SCOPE OF WORK

- 1- SECOND FLOOR ADDITION
- 2-REMODEL KITCHEN LIVING & DINING
- 3-NEW BALCONY

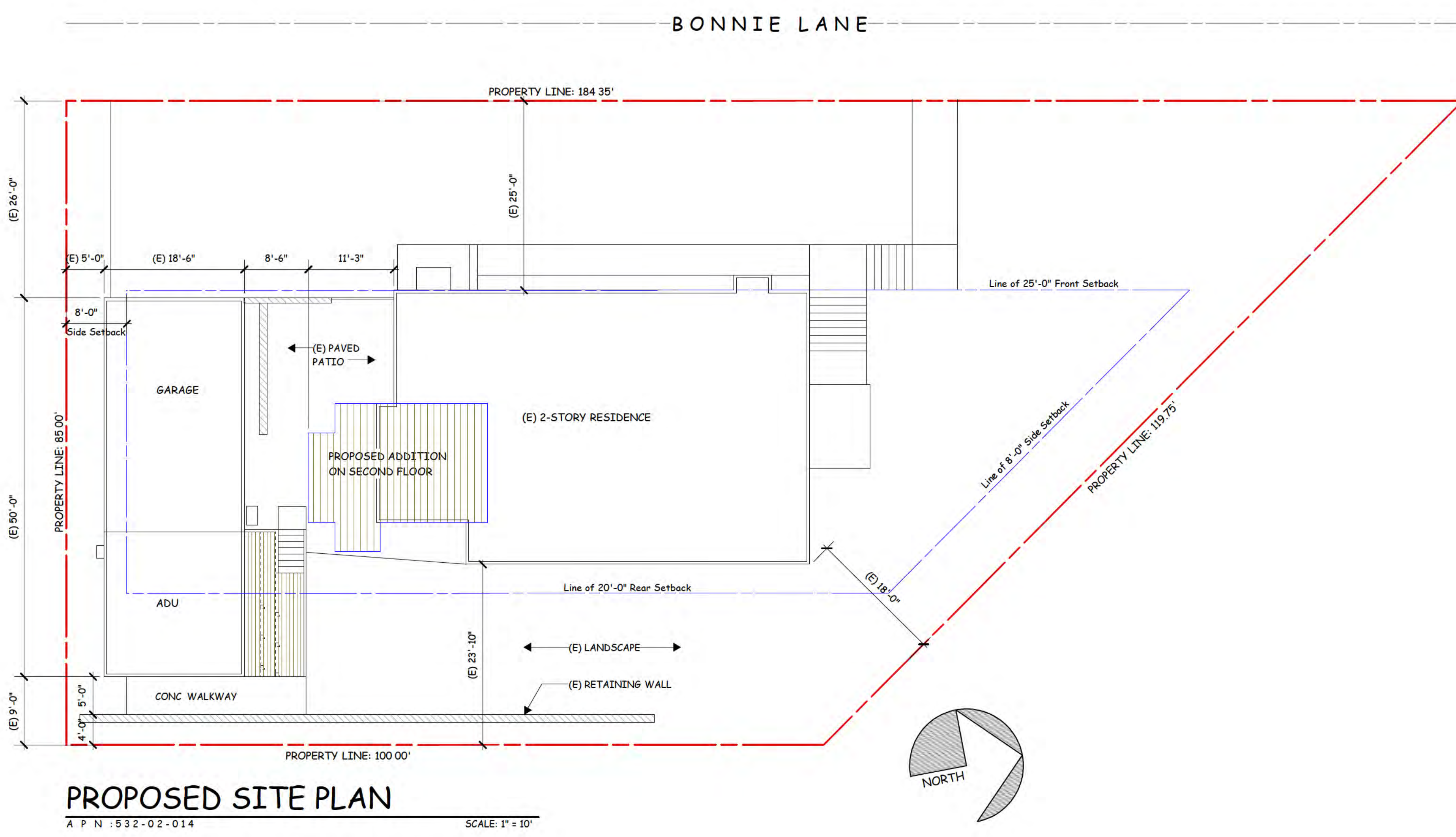
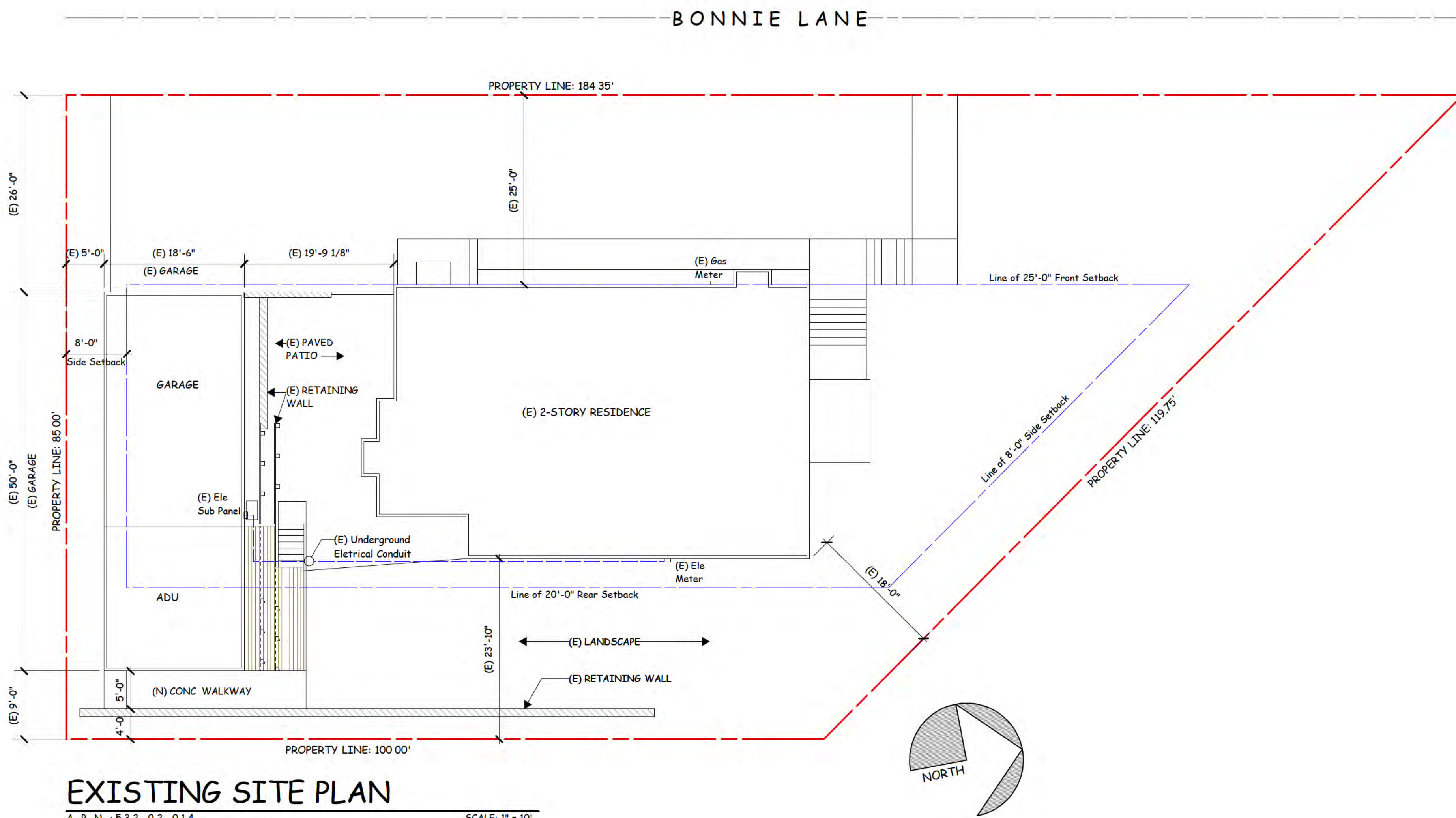
REVISIONS

NGUYEN PHAN
DESIGN
CONSULTING
7080 AVENIDA ROTELLA
SAN JOSE CALIFORNIA
Dong NP: 408-206-7332
email: dongnp@sam.com



PROPOSED REMODEL AND ADDITION FOR :
RESIDENCE
16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: May 1st, 2024
SCALE: AS NOTED
DRAWN: Dong NP
JOB:
SHEET
A-1
OF 10 SHEETS



REVISIONS

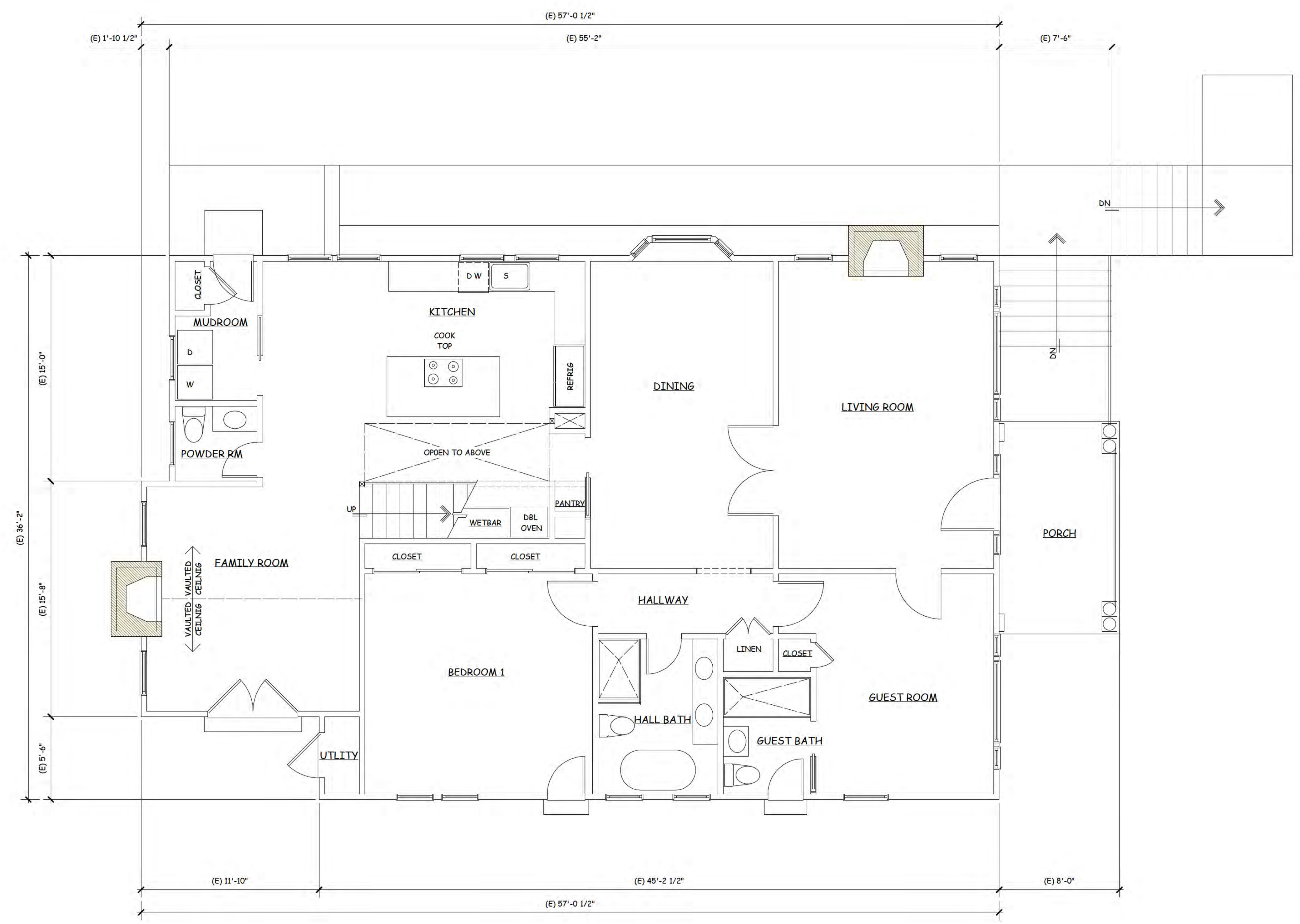
NGUYENPHAN
 DESIGN CONSULTING
 7080 AVENIDA ROTELLA
 SAN JOSE, CALIFORNIA
 Dong NP: 408-206-7332
 email: dongnp@aim.com



PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
 16448 BONNIE LANE, LOS GATOS, CALIFORNIA

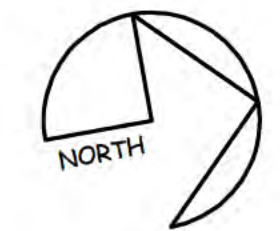
DATE: May, 1st, 2024
 SCALE: AS NOTED
 DRAWN: Dong TNP
 JOB:
 SHEET
A-1.1
 OF 10 SHEETS

LEGEND:
 [Line style] DENOTES EXISTING WALL TO REMAIN
 [Line style] DENOTES NEW WALL FINISH TO MATCH EXISTING



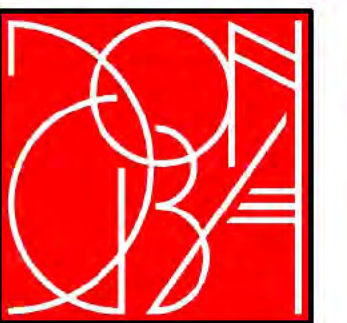
EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



Handwritten signature

NGUYENPHAN
 DESIGN CONSULTING
 7080 AVENIDA ROTELLA
 SAN JOSE CALIFORNIA
 Dong NP: 408-206-7332
 email: dongnp@cum.com

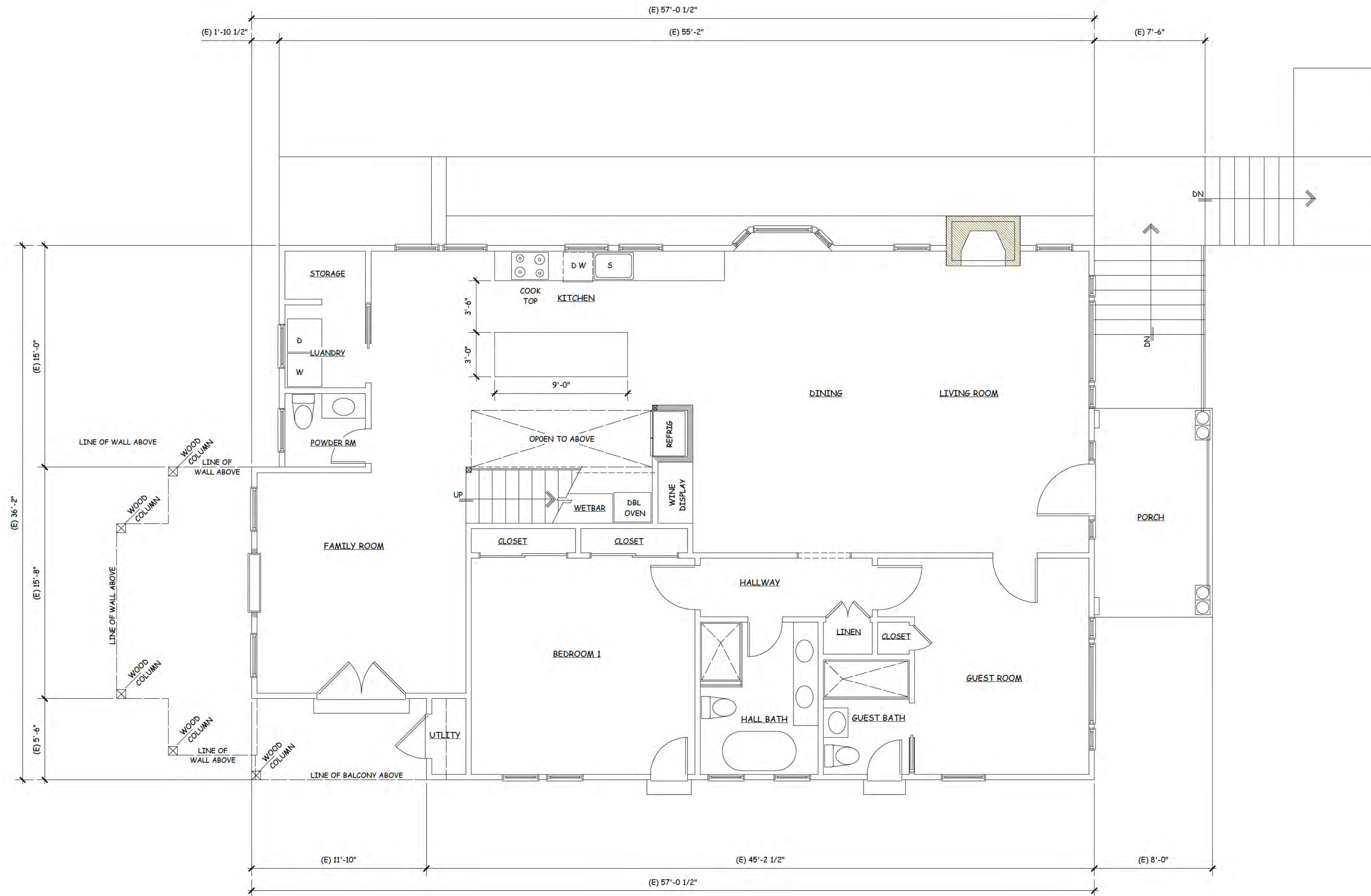


PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
 16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: May, 1st, 2024
SCALE: AS NOTED
DRAWN: Dong NP
JOB:
SHEET
A-2
OF 10 SHEETS

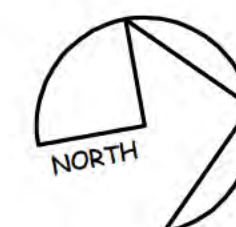
NO.	DESCRIPTION	DATE

LEGEND:
 ——— DENOTES EXISTING WALL TO REMAIN
 ——— DENOTES NEW WALL FINISH TO MATCH EXISTING



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



NO.	REVISIONS

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 7080 AVENIDA ROTELLA
 SAN JOSE, CALIFORNIA
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 email: dongnp@aim.com

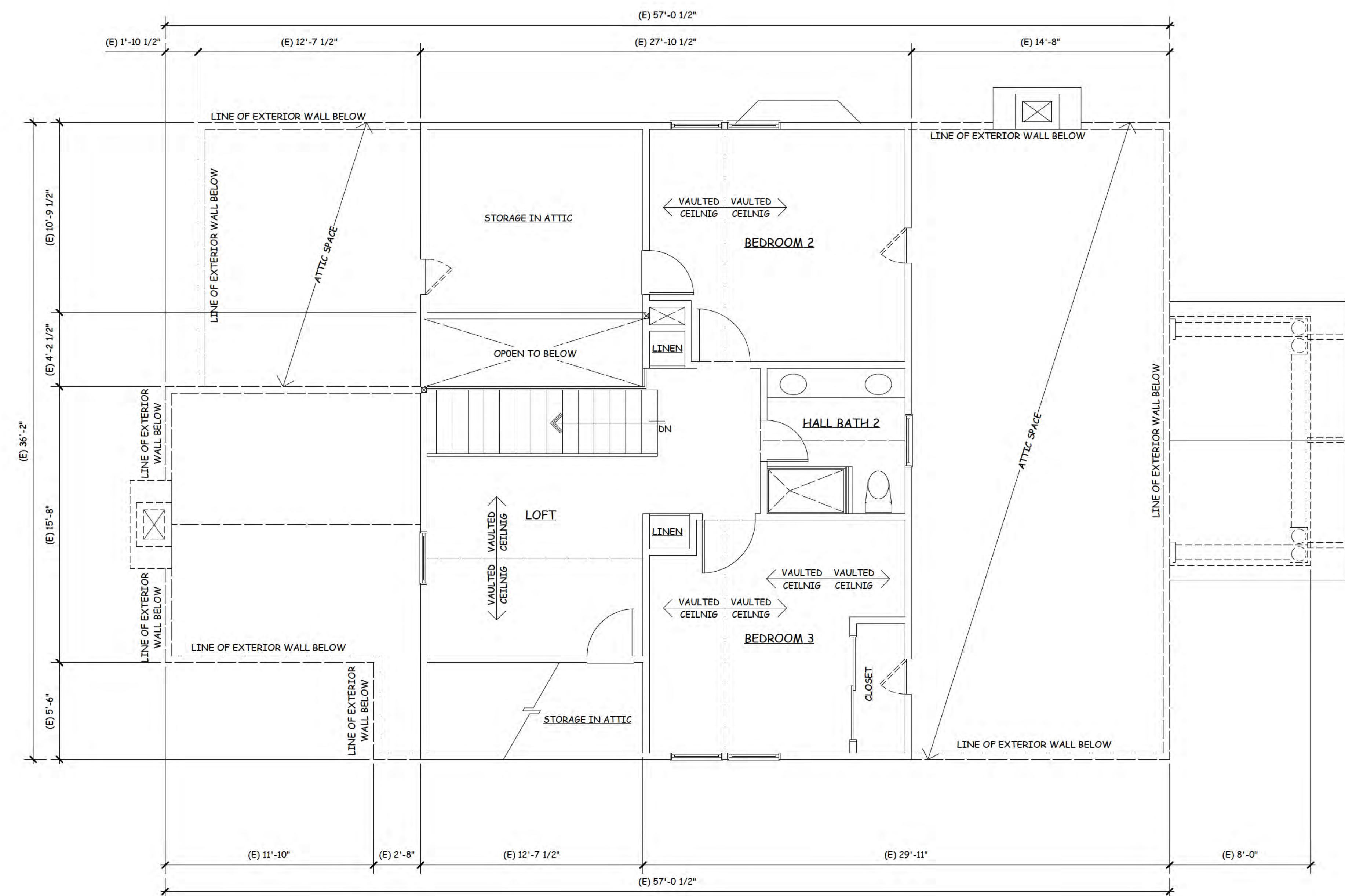


PROPOSED PLAN

PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
 16448 BONNIE LANE, LOS GATOS, CALIFORNIA

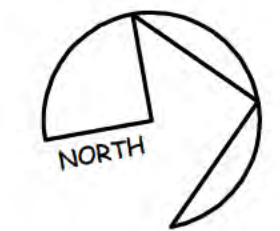
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SCALE: AS NOTED
DRAWN: Doong N.P.
JOB:
SHEET
A-2.1
OF 10 SHEETS

LEGEND:
 ——— DENOTES EXISTING WALL TO REMAIN
 ——— DENOTES NEW WALL FINISH TO MATCH EXISTING



EXISTING SECOND FLOOR PLAN

SCALE: 1 / 4" = 1' - 0"



	REVISIONS

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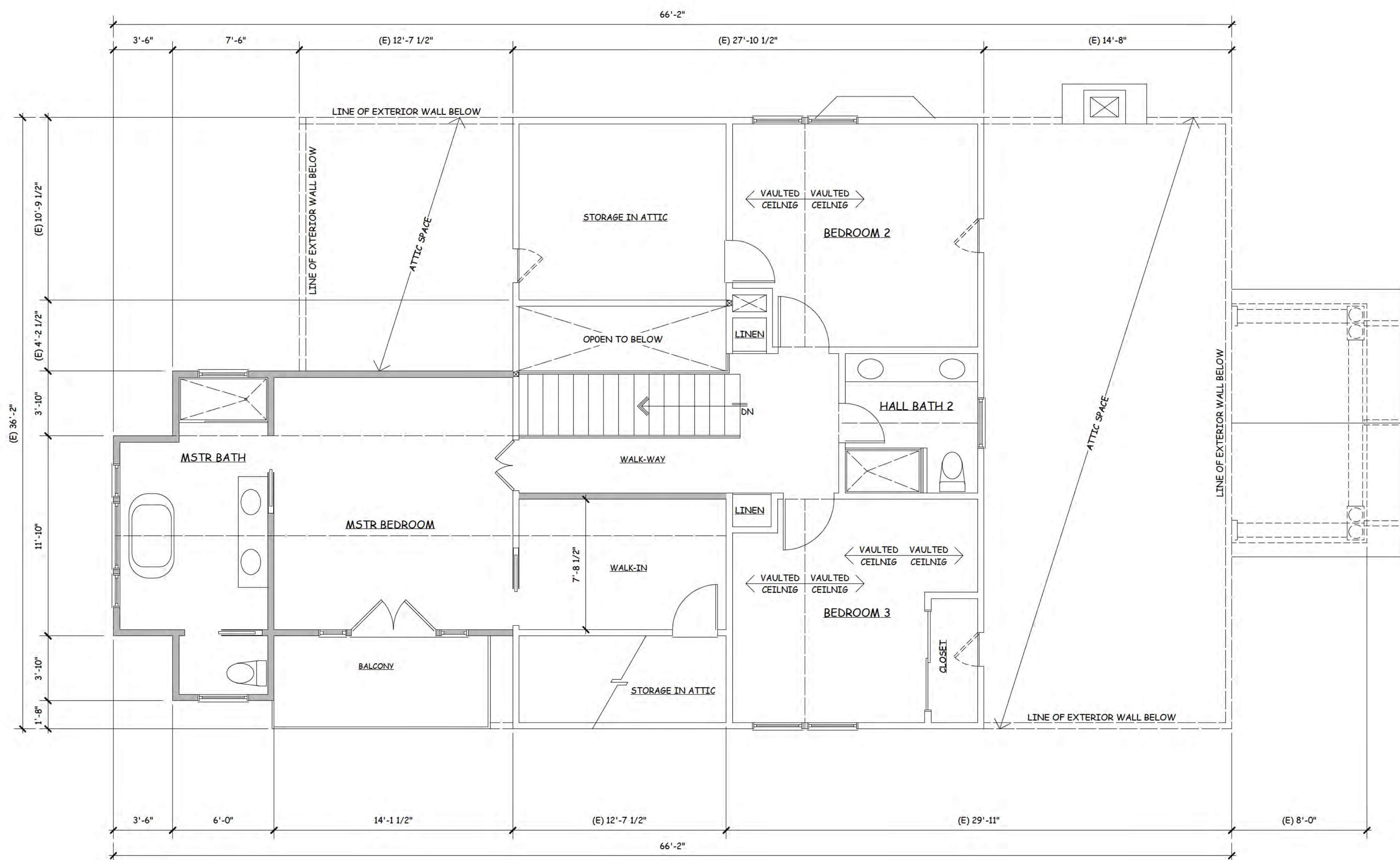
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DATE: May, 1st, 2024
 SCALE: AS NOTED
 DRAWN: Dong TNP
 JOB:
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A-3
 OF 10 SHEETS

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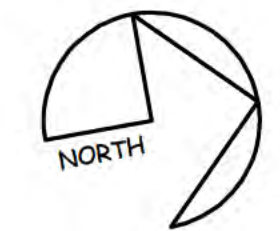
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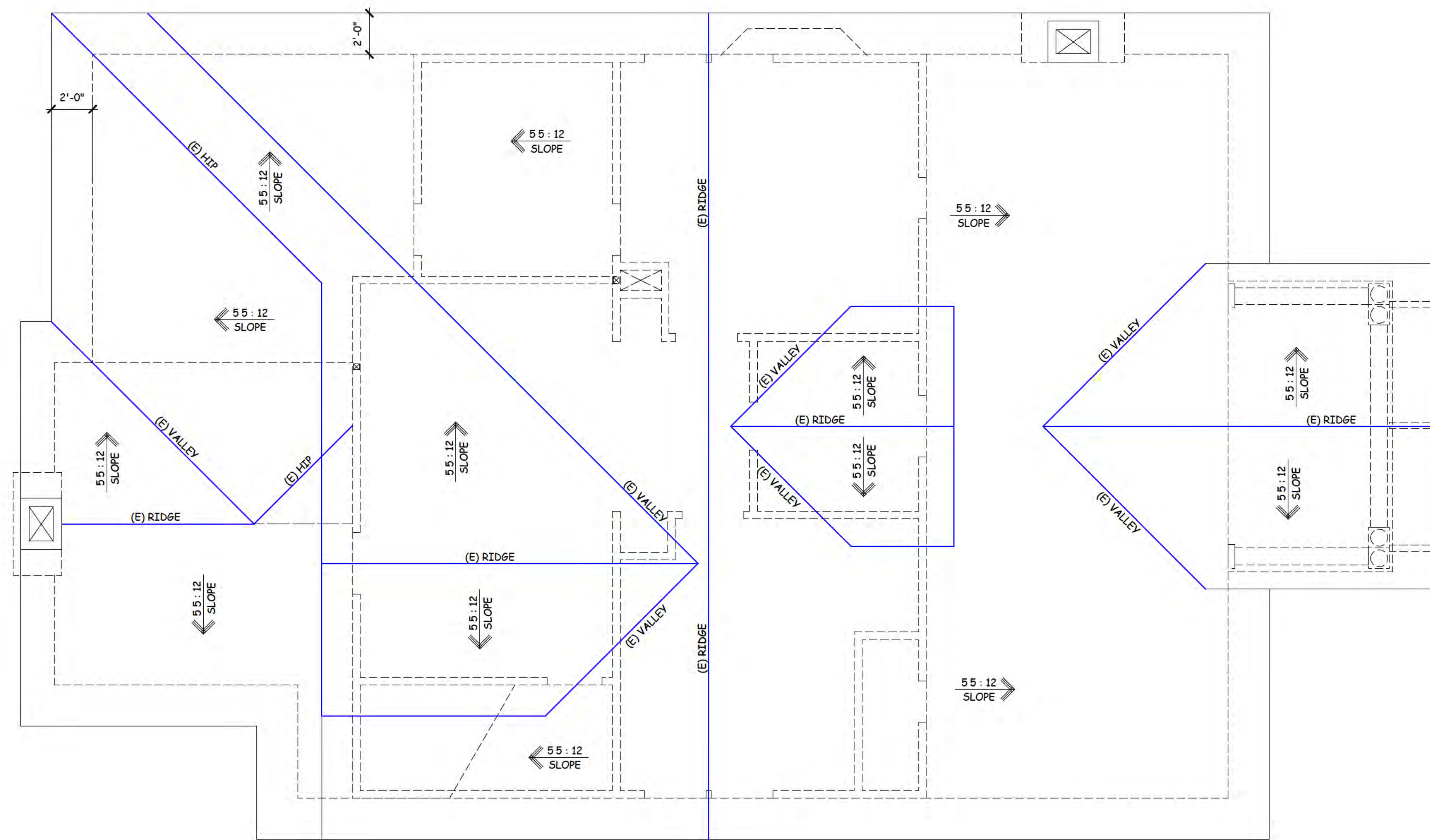
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SCALE: 1 / 4" = 1' - 0"



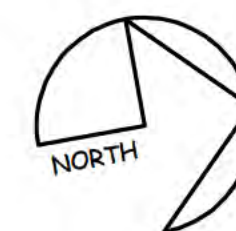
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EXISTING ROOF PLAN

SCALE: 1 / 4" = 1' - 0"



DATE: May 1st, 2024
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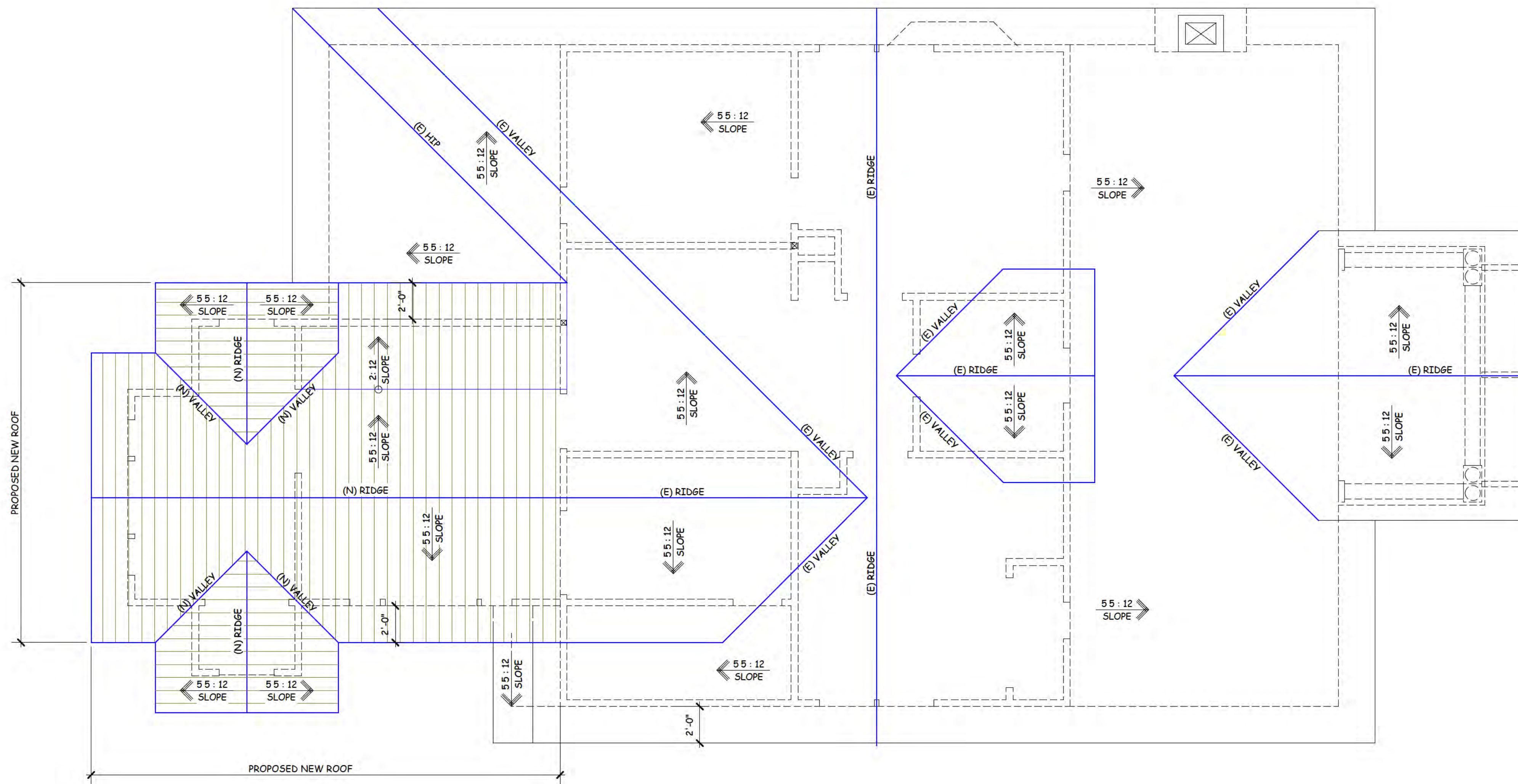
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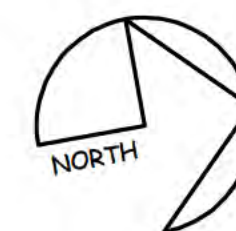
REVISIONS

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PROPOSED ROOF PLAN

SCALE: 1 / 4" = 1' - 0"



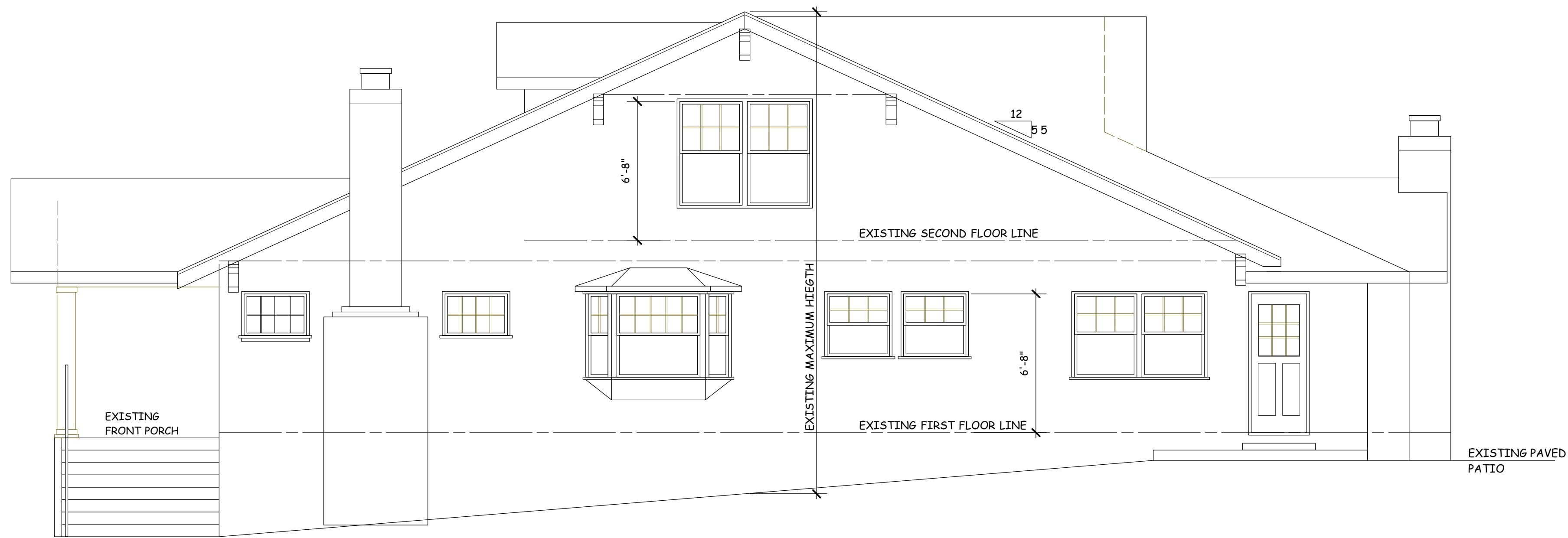
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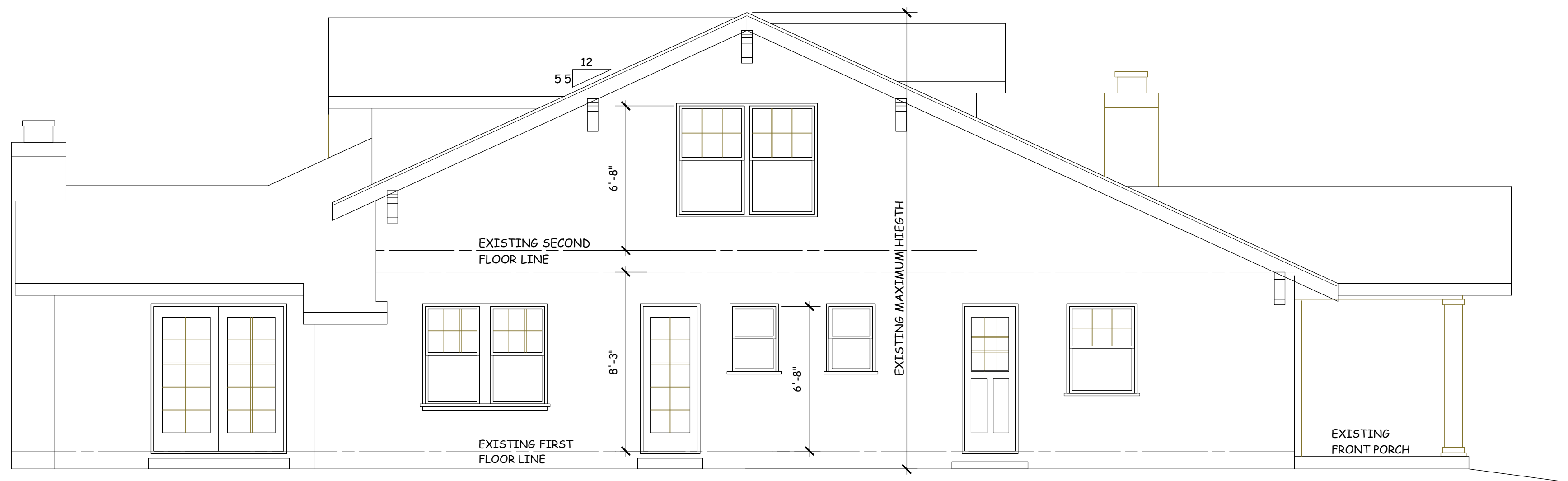
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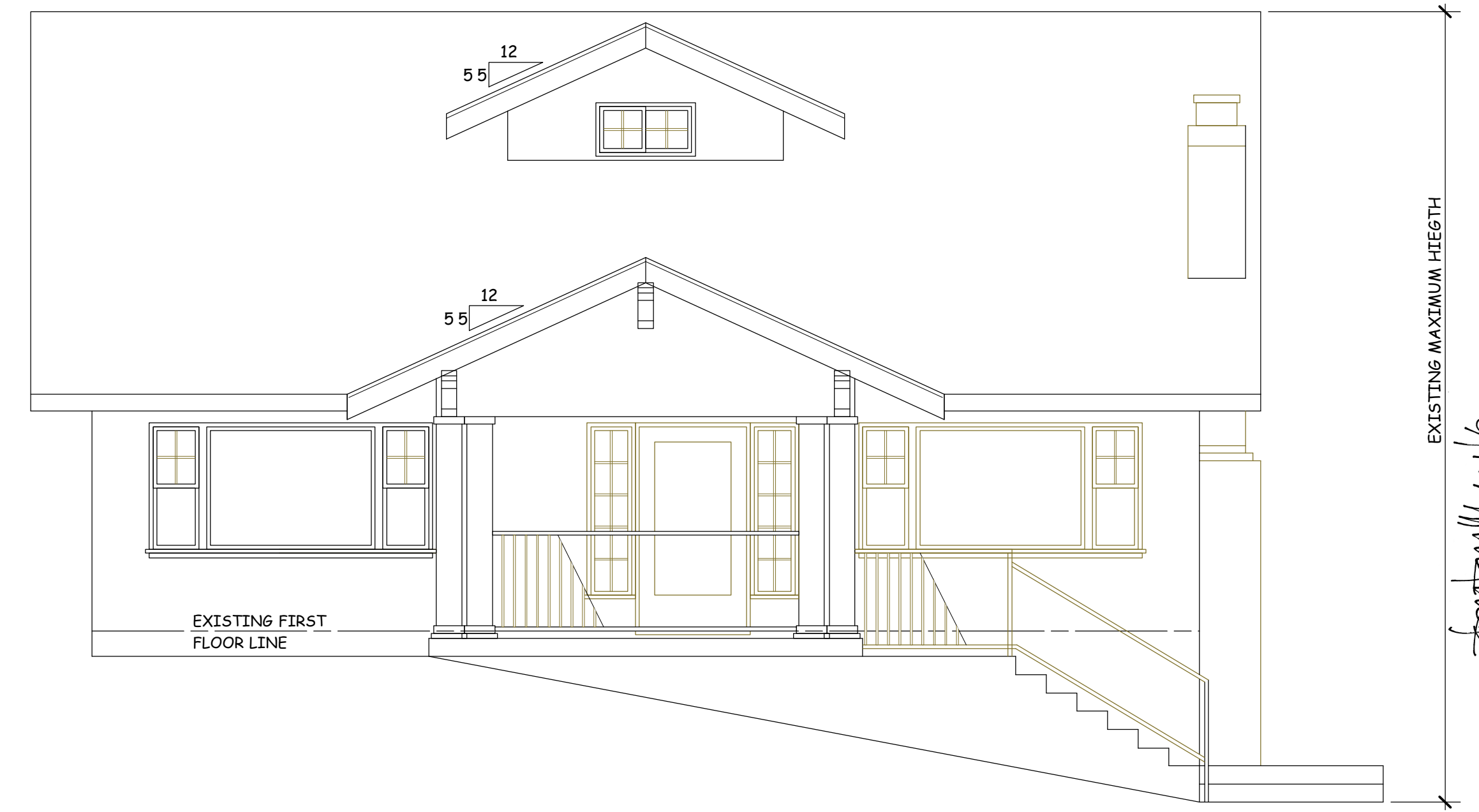
WEST ELEVATION (BONNIE LANE)

SCALE: 1 / 4" = 1' - 0"



EAST ELEVATION

SCALE: 1 / 4" = 1' - 0"



NORTH ELEVATION (FRONT)

SCALE: 1 / 4" = 1' - 0"

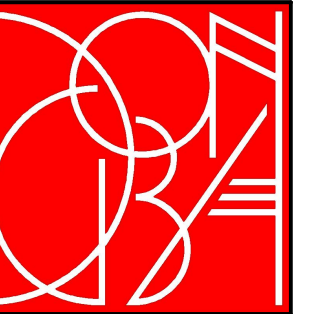


SOUTH ELEVATION (REAR)

SCALE: 1 / 4" = 1' - 0"

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PROPOSED REMODEL AND ADDITION FOR :

RESIDENCE
16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: May, 1st, 2024

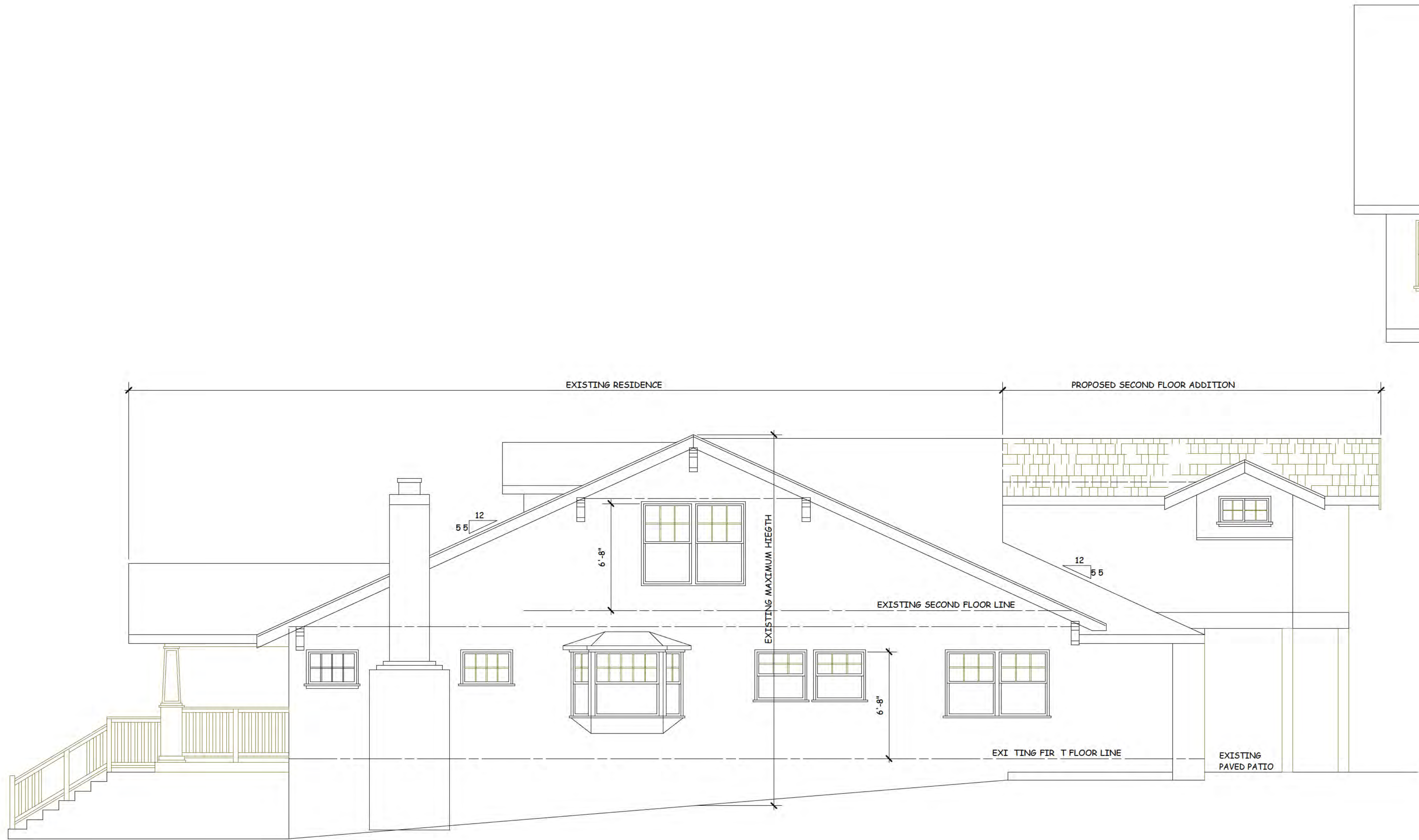
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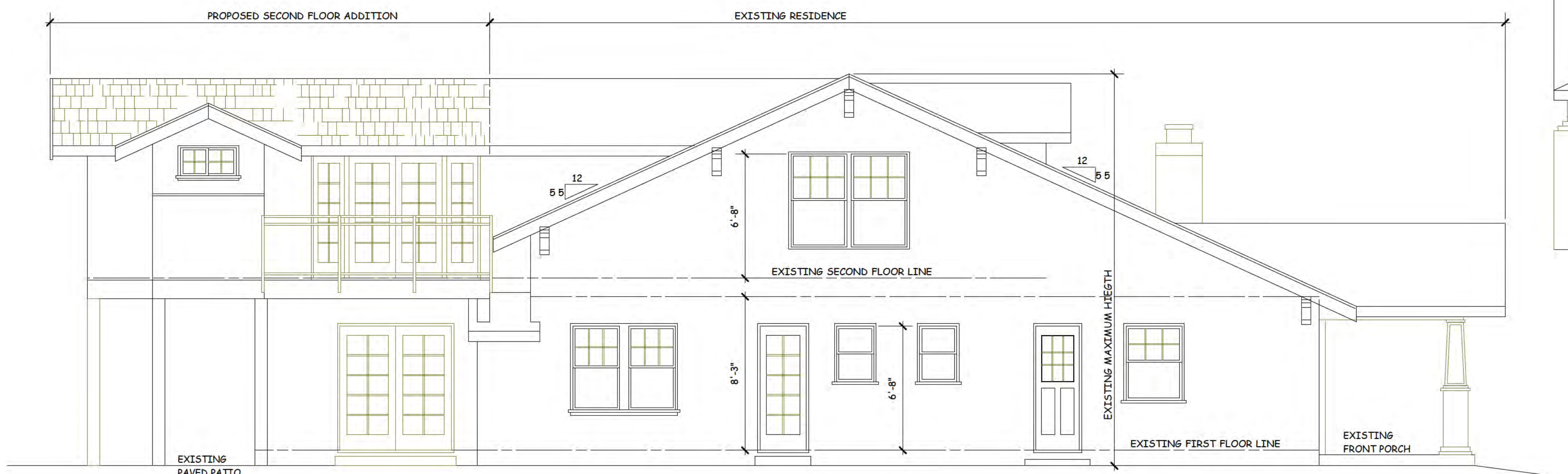
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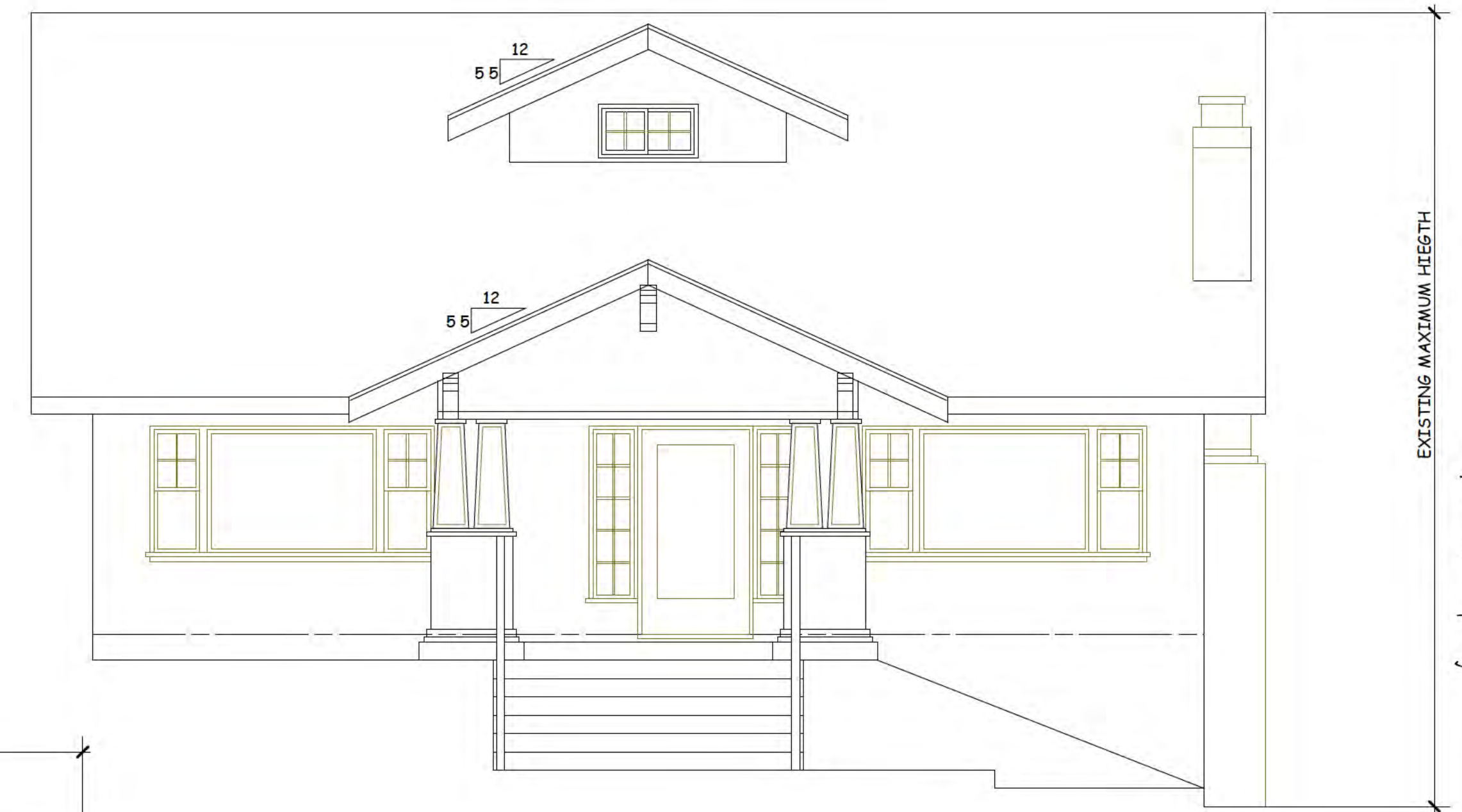
PROPOSED WEST ELEVATION (BONNIE LANE)

SCALE: 1 / 4" = 1' - 0"



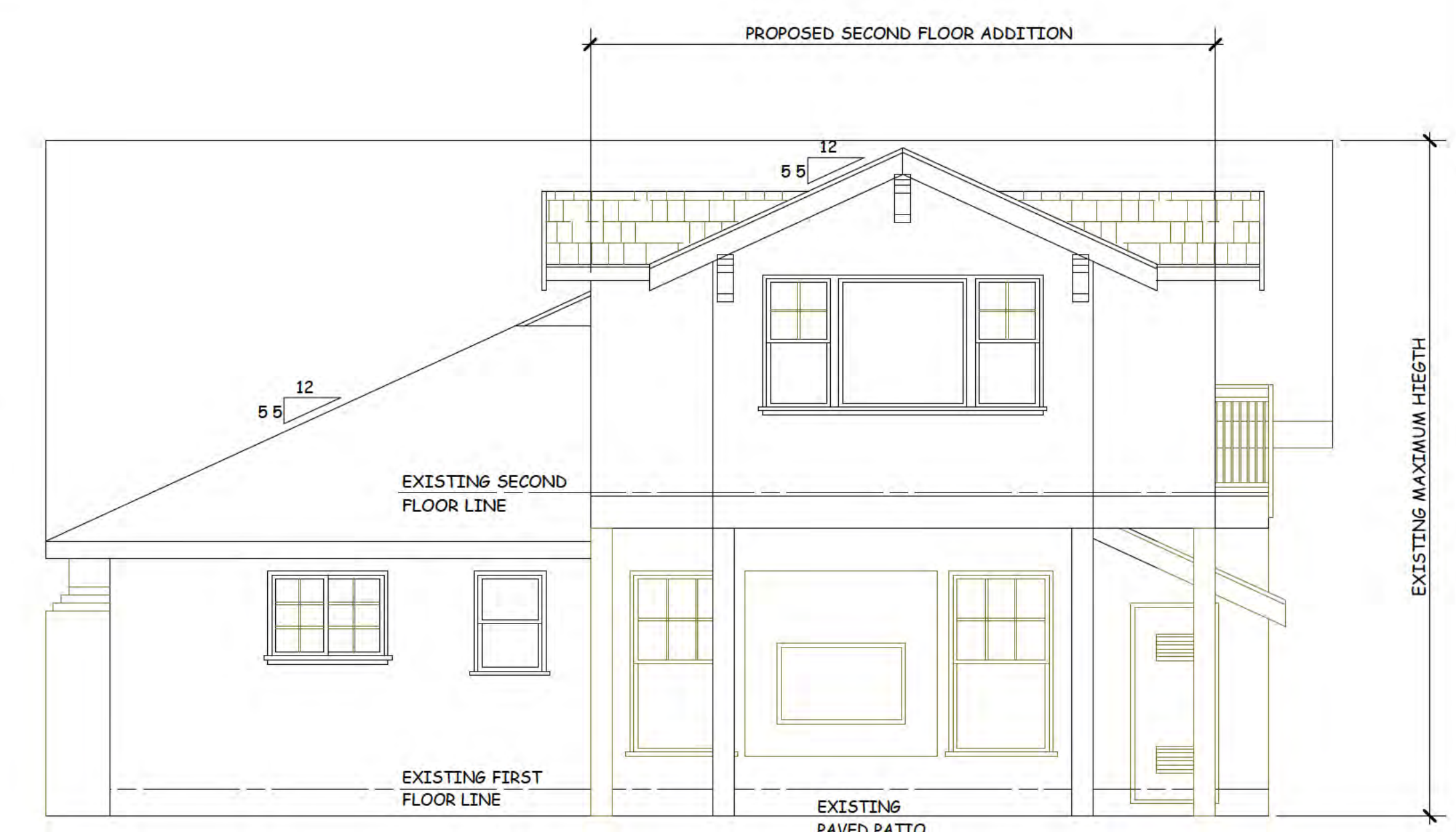
PROPOSED EAST ELEVATION

SCALE: 1 / 4" = 1' - 0"



PROPOSED NORTH ELEVATION (FRONT)

SCALE: 1 / 4" = 1' - 0"

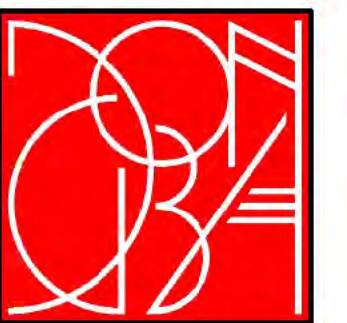


PROPOSED SOUTH ELEVATION (REAR)

SCALE: 1 / 4" = 1' - 0"

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PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: May, 1st, 2024
SCALE: AS NOTED
DRAWN: Dong NP
JOB:
SHEET
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OF 10 SHEETS

DATE: March 18, 2025

TO: TOWN OF LOS GATOS
Community Development Department
110 E. Main Street
Los Gatos, CA 95030

LETTER OF JUSTIFICATION

To Whom It May Concern;

I am writing this letter of justification to obtain approval for exterior alterations of the property at 16488 Bonnie Ln.

- Removal of the existing front entry stairway with side access to Bonnie Lane;
- Construction of a new front entry stairway, including new wood railings and square build-up wood columns with stucco finish bases, on the north elevation with front access;
- Expansion of the proposed second-floor footprint on the east, south, and west elevations;
- Addition of three windows on the second-floor east and west elevations;
- Addition of a new sliding glass door on the first floor on the east elevation;
- Removal of the proposed windows on the first floor of the south elevation addition; and
- Addition of a new door on the first floor of the south elevation addition

We respectfully request your approval to resubmit this plan. Your support in this matter will help us maintain our community's beauty and integrity.

Thank you for considering our request.

Sincerely,
Vu-Ngan Tran
Property Owner

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GENERAL NOTES

- 1 ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CEC) 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) 2022 CALIFORNIA FIRE CODE (CFC) AND ALL LOCAL CODES AND ORDINANCES
- 2 CONTRACTORS SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE IN COORDINATION WITH THE PLANS AND SHALL NOTIFY THE DESIGNER/ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND INFORMATION SHOWN ON DRAWINGS BEFORE PROCEEDING WITH ANY WORK
- 3 MECHANICAL ELECTRICAL AND FIRE PROTECTION CONTRACT DOCUMENTS AND ALL OTHER DESIGN-BUILD CONTRACT DOCUMENTS NOT INCLUDED HEREIN SHALL BE SUBMITTED TO THE TOWN OF LOS GATOS FOR SEPARATE PERMITS
- 4 ALL GLAZING SHALL CONFORM TO THE FEDERAL GLAZING REGULATIONS AND CHAPTER 24 OF THE CRC
- 5 DO NOT SCALE DIMENSION GOVERN
- 6 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD. (U N O)
- 7 EXTERIOR DIMENSIONS ARE TO FACE OF PLYWOOD. (U N O)

PROJECT INFORMATION

PROJECT ADDRESS: 16488 BONNIE LN LOS GATOS CA 95032
 AP N : 532-02-014
 OCCUPANCY GROUP: R-3 / U
 TYPE OF CONSTRUCTION: V-B
 STORIES: 2
 FIRE SPRINKLER: NONE
 LOT AREA: 12 085 00 SQ FT
 EXISTING FIRST FLOOR AREA: 1 954 00 SQ FT
 EXISTING SECOND FLOOR AREA: 676 00 SQ FT
 EXISTING DETACHED GARAGE: 541 00 SQ FT
 EXISTING ADU: 354 00 SQ FT
 PROPOSED FIRST FLOOR ADDITION: 0 00 SQ FT
 PROPOSED SECOND FLOOR ADDITION: 406 00 SQ FT
 TOTAL FIRST FLOOR AREA: 1 954 00 SQ FT
 TOTAL SECOND FLOOR AREA: (676 + 406) = 1 082 00 SQ FT
 TOTAL PROPOSED MAIN RESIDENCE: (1954 + 1082) = 3,036.00 SQ. FT.
 LOT COVERAGE: (1954 + 541) / 12085 = 0 2065 or 20% Δ

SCOPE OF WORK

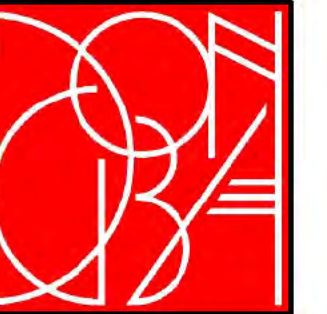
- 1- SECOND FLOOR ADDITION
- 2- REMODEL KITCHEN LIVING & DINING
- 3- NEW BALCONY

VICINITY MAP



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NGUYEN PHAN
 DESIGN CONSULTING
 7080 AVENIDA ROTELLA
 SAN JOSE CALIFORNIA
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 email: dongnp@csim.com



CONSULTANTS

STRUCTURAL ENGINEERS: **ORANGE ENGINEERING**
 4005 CLIPPER COURT
 FREEMONT CA 94538
 408-888-7836

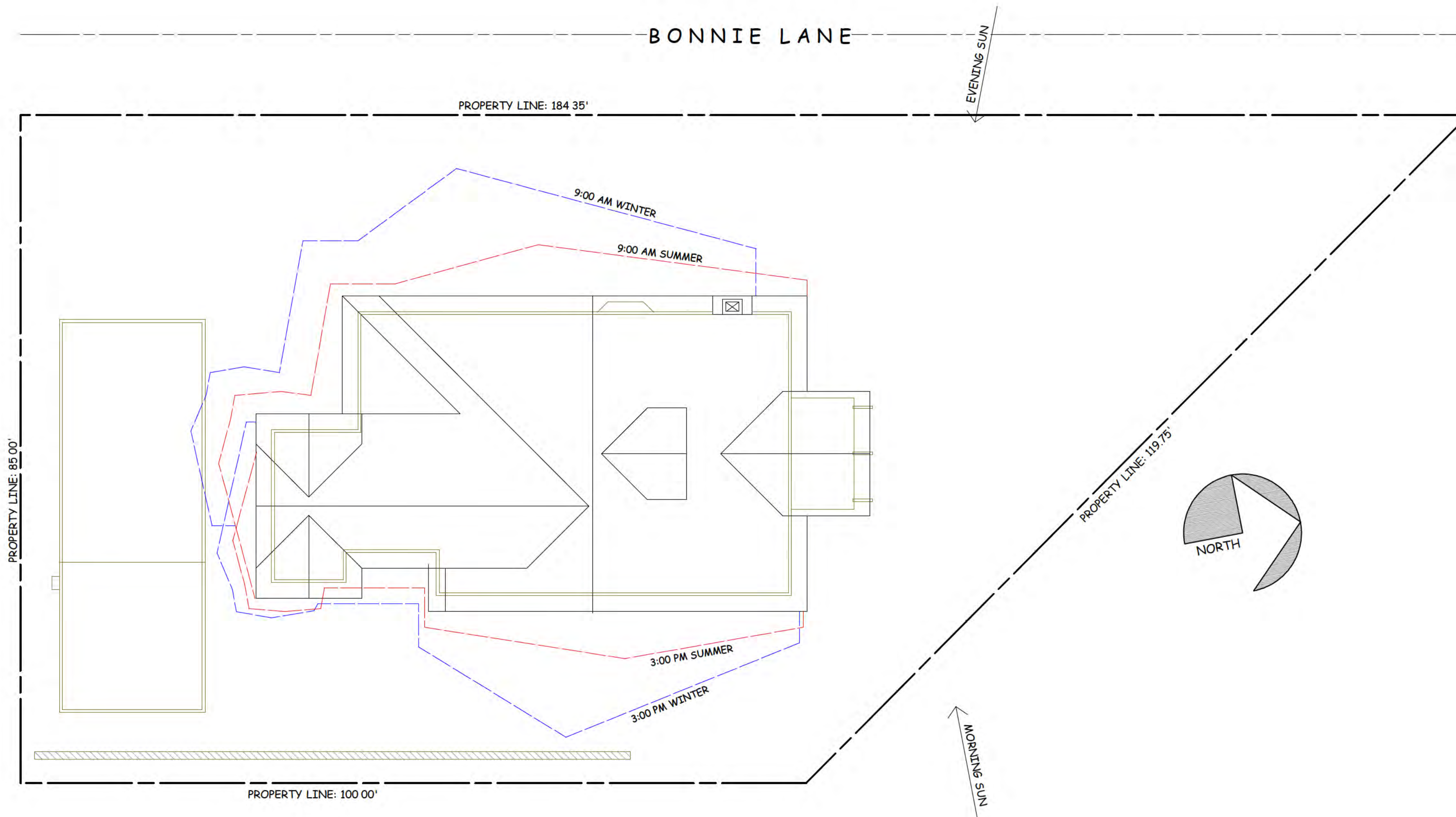
ENERGY CONSULTANT: **CARSTAIRS ENERGY CALCULATIONS**
 P O BOX 4736
 SAN LUIS OBISPO CA 93403
 805-904-9048

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B P	BLUE PRINT FOR A CLEAN BAY
SN1 0	STRUCTURAL GENERAL NOTES
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SD2 0	STRUCTURAL DETAILS
HFX1	ANCHORAGE DETAILS - HFX PANELS
HFX2	FRAMING DETAILS - HFX PANELS
HFX3	FLOOR SYSTEM DETAILS - HFX PANELS
T24 1	CFIR
T24 2	RMS-1

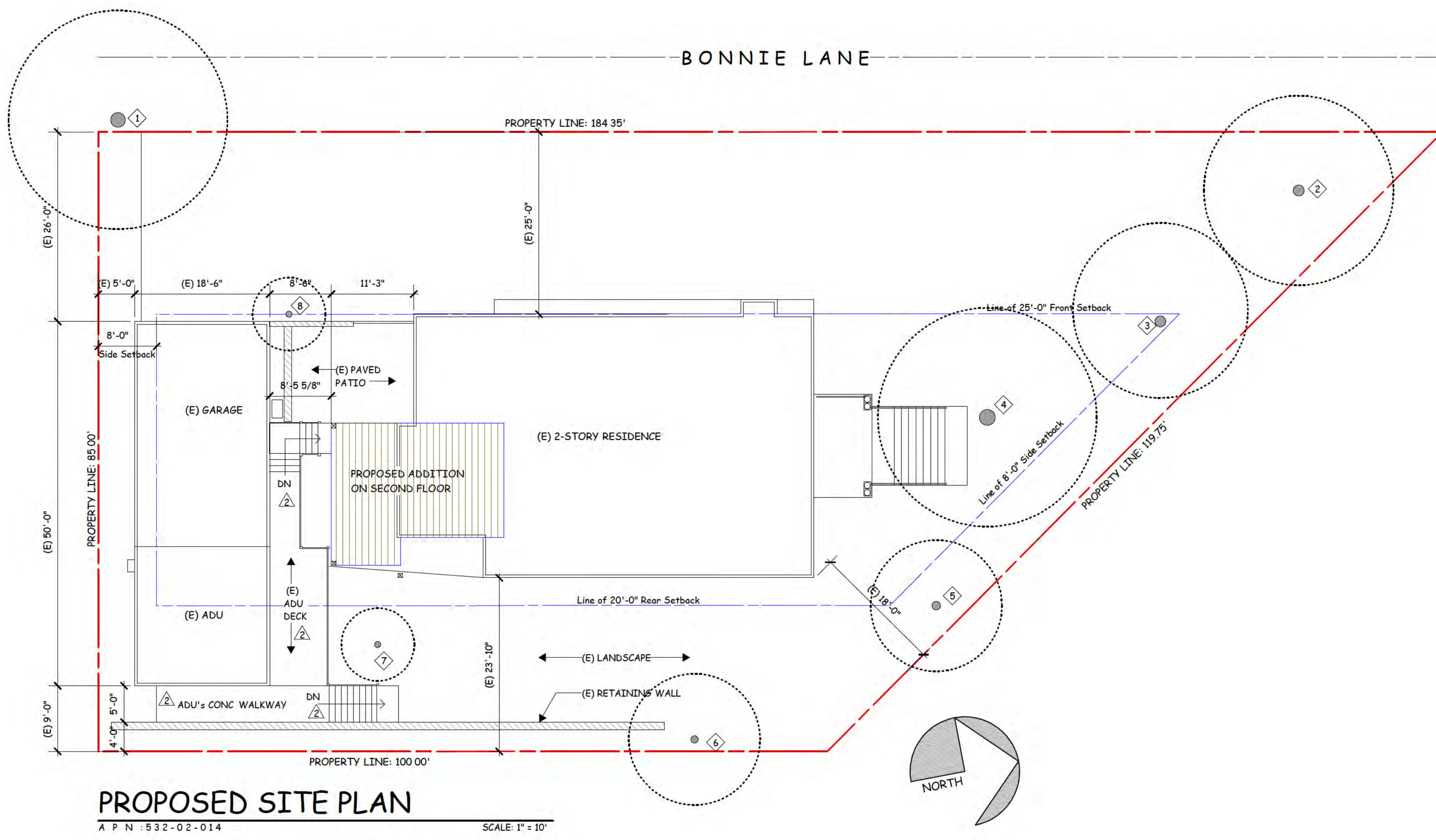
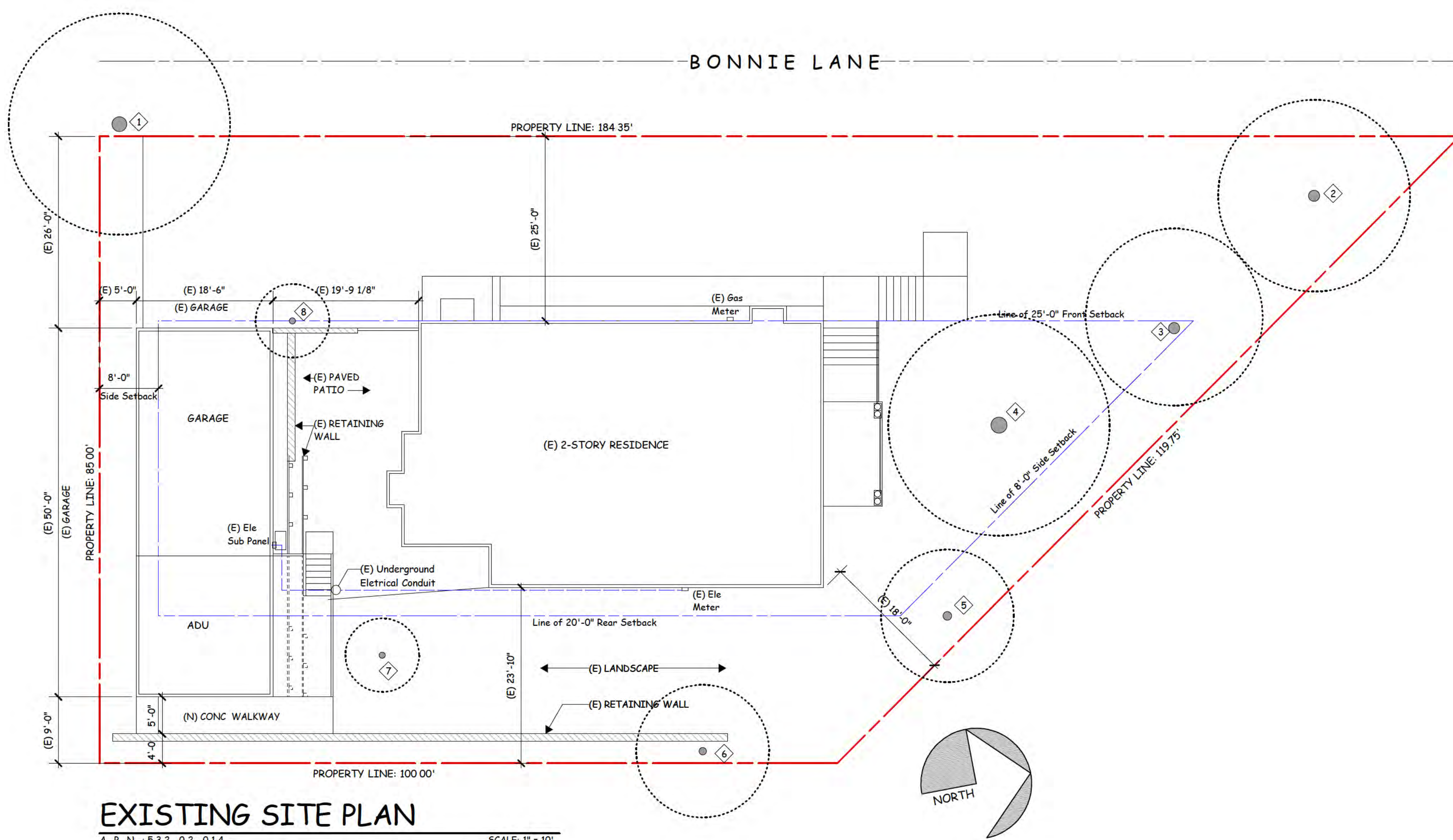
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RESIDENCE
 16488 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE:	Nov. 25, 2024
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SHADOW DIAGRAM

A P N : 532-02-014 SCALE: 1" = 10'



LEGEND	
1	26" REDWOOD TREE
2	14" FRUITLESS TREE
3	18" FRUIT TREE
4	26" PINE TREE
5	14" FRUIT TREE
6	12" FRUIT TREE
7	10" FRUIT TREE
8	10" FRUITLESSTREE

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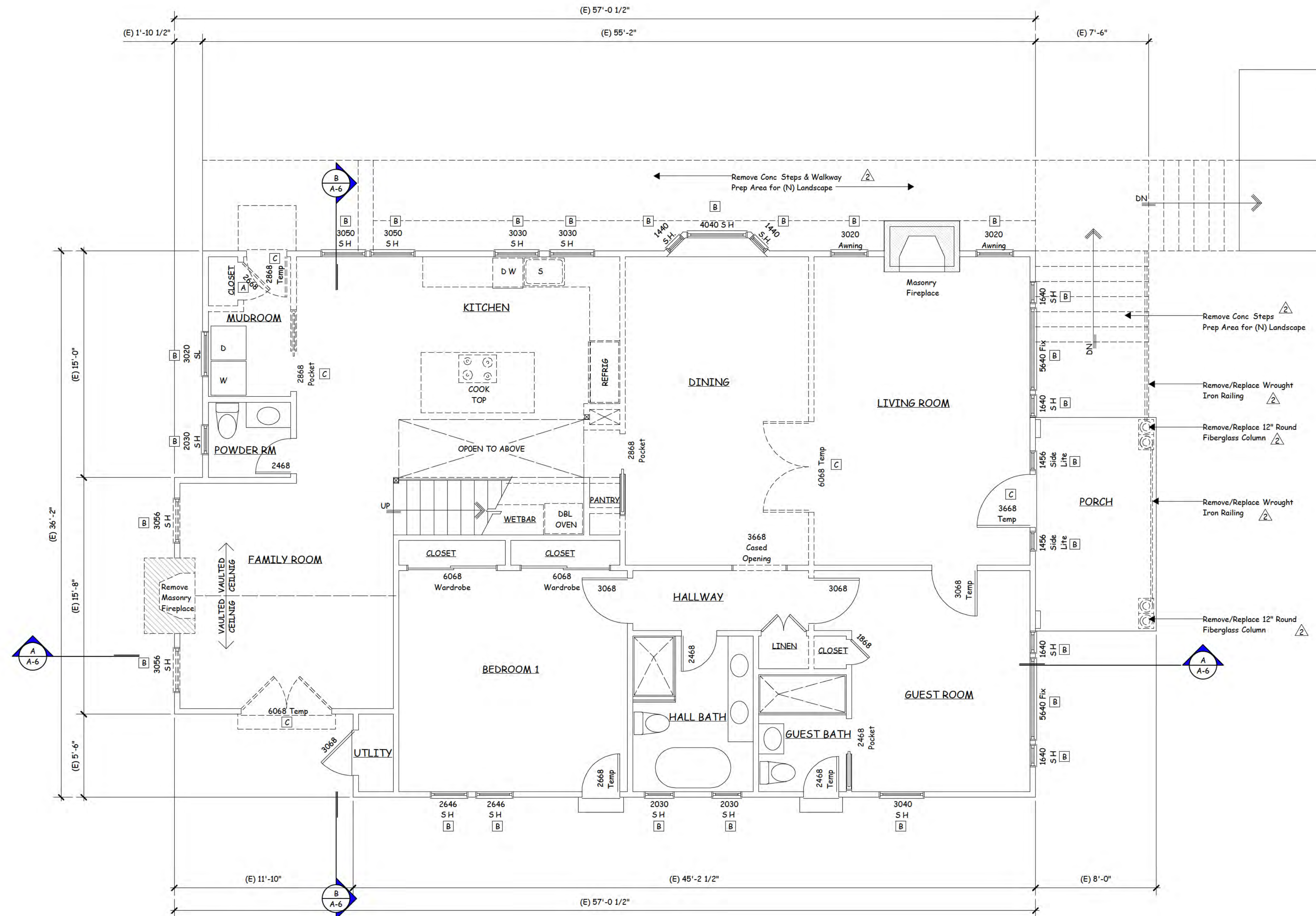
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LEGEND:

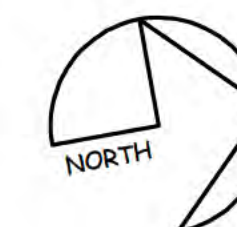
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- REMOVE EXISTING WALL PREP AREA FOR NEW CONSTRUCTION
- A WOOD DOOR TO BE REMOVED OR REPLACE
- B WOOD SASH WINDOW TO BE REMOVED/ REPLACE
- C GLASS DOOR TO BE REMOVED OR REPLACE
- S H SINGLE HUNG

- 1 DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY GENERAL CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION AND REMOVAL WITH NOTES AND DIMENSIONS INDICATING THE EXTENT AND NATURE OF NEW CONSTRUCTION SHOWN ELSEWHERE IN THESE DOCUMENTS
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- 3 CAP OFF ALL PLUMBING GAS AND ELECTRICAL LINES AS REQUIRED



EXISTING FIRST FLOOR PLAN / DEMOLITION PLAN

SCALE: 1/4" = 1' - 0"



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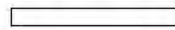
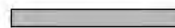







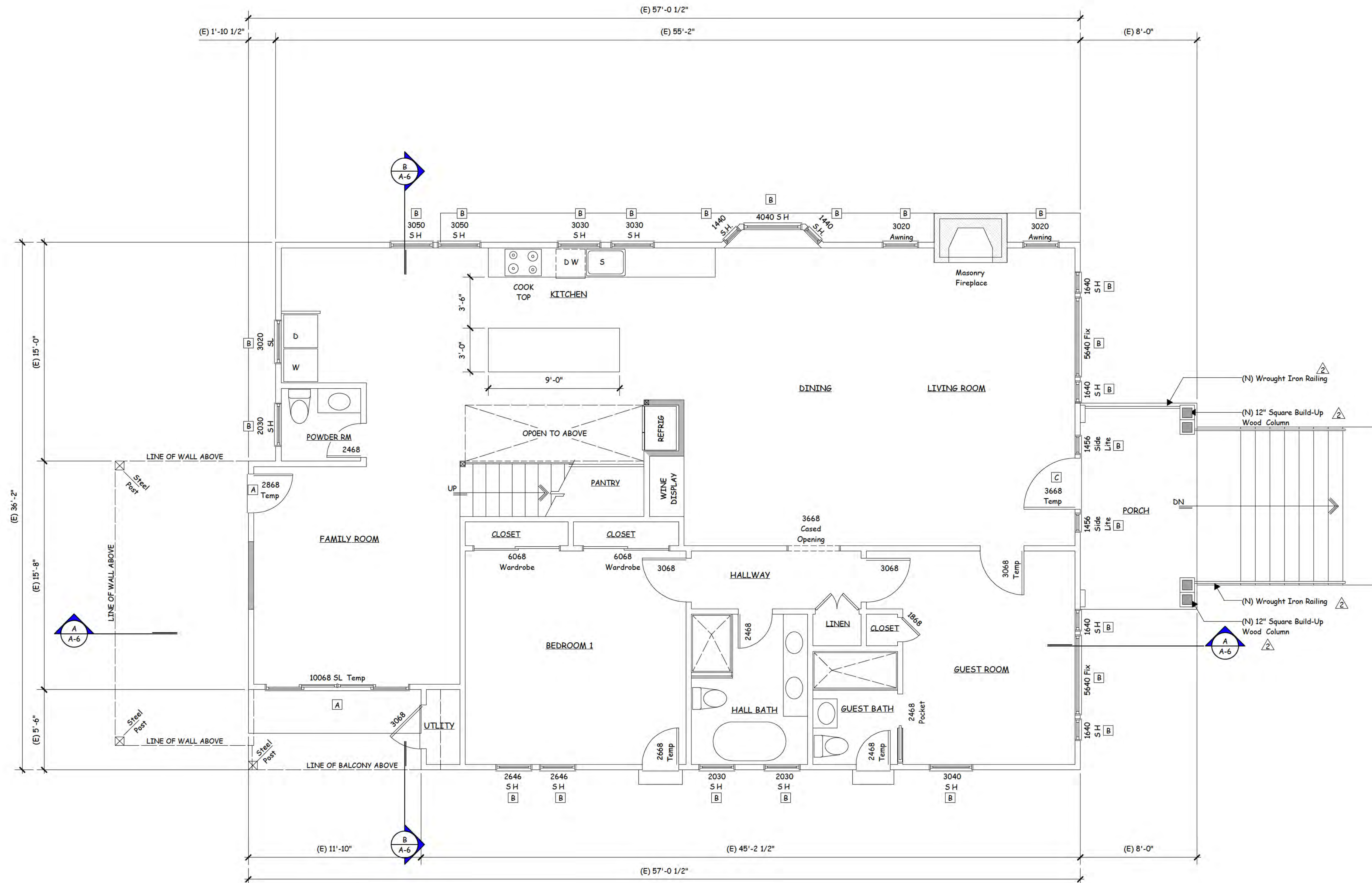
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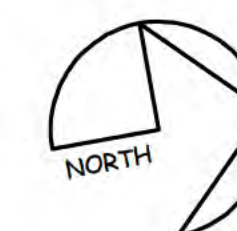
LEGEND:

-  DENOTES EXISTING WALL TO REMAIN
-  DENOTES NEW WALL FINISH TO MATCH EXISTING
-  (N) GLASS DOOR
-  REPLACE (E) WINDOW WITH FIBERGLA CLAD WOOD WINDOW
-  REPLACE (E) GLASS DOOR
-  SINGLE HUNG
-  SLIDING



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



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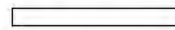

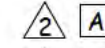
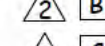
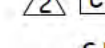


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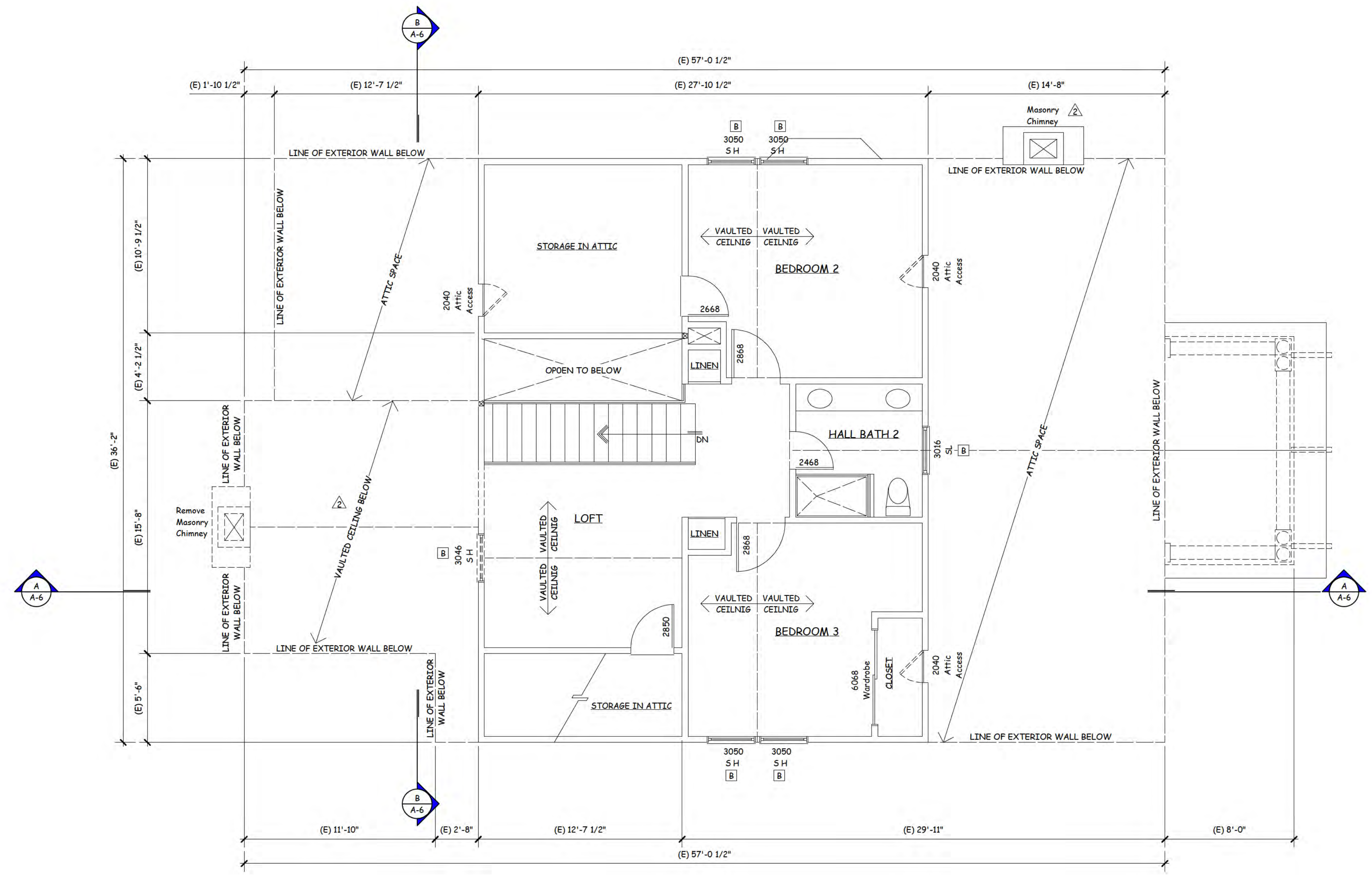
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1
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3

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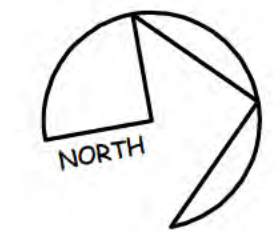
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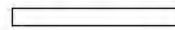








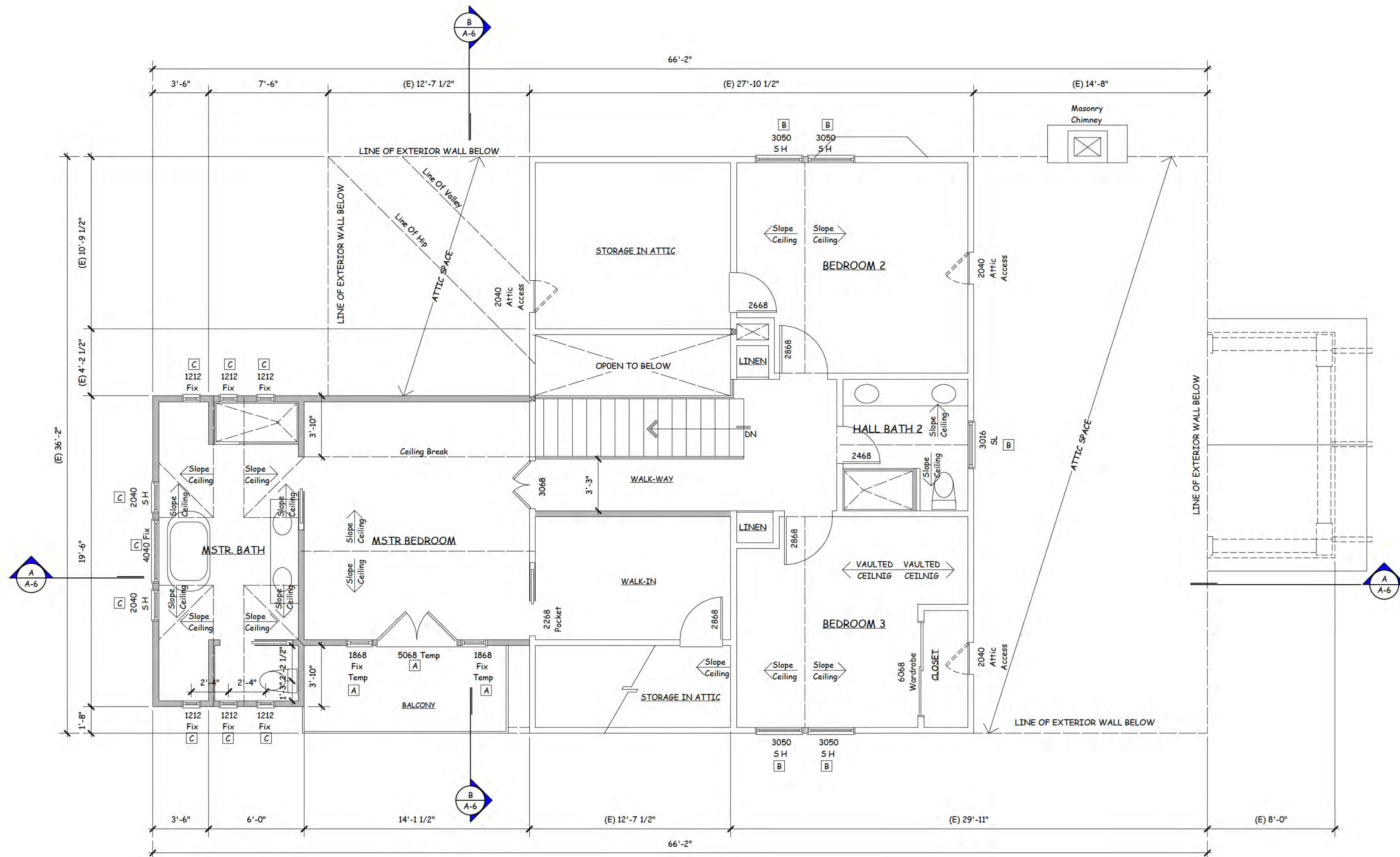
EXISTING SECOND FLOOR PLAN

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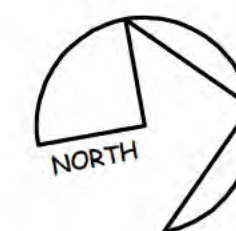
LEGEND:

-  DENOTES EXISTING WALL TO REMAIN
-  DENOTES NEW WALL FINISH TO MATCH EXISTING
-  (N) GLASS DOOR
-  REPLACE (E) WINDOW WITH FIBERGLASS CLAD WOOD WINDOW
-  (N) FIBERGLASS CLAD WOOD WINDOW
-  SINGLE HUNG
-  SLIDING



PROPOSED SECOND FLOOR PLAN

SCALE: 1 / 4" = 1' - 0"



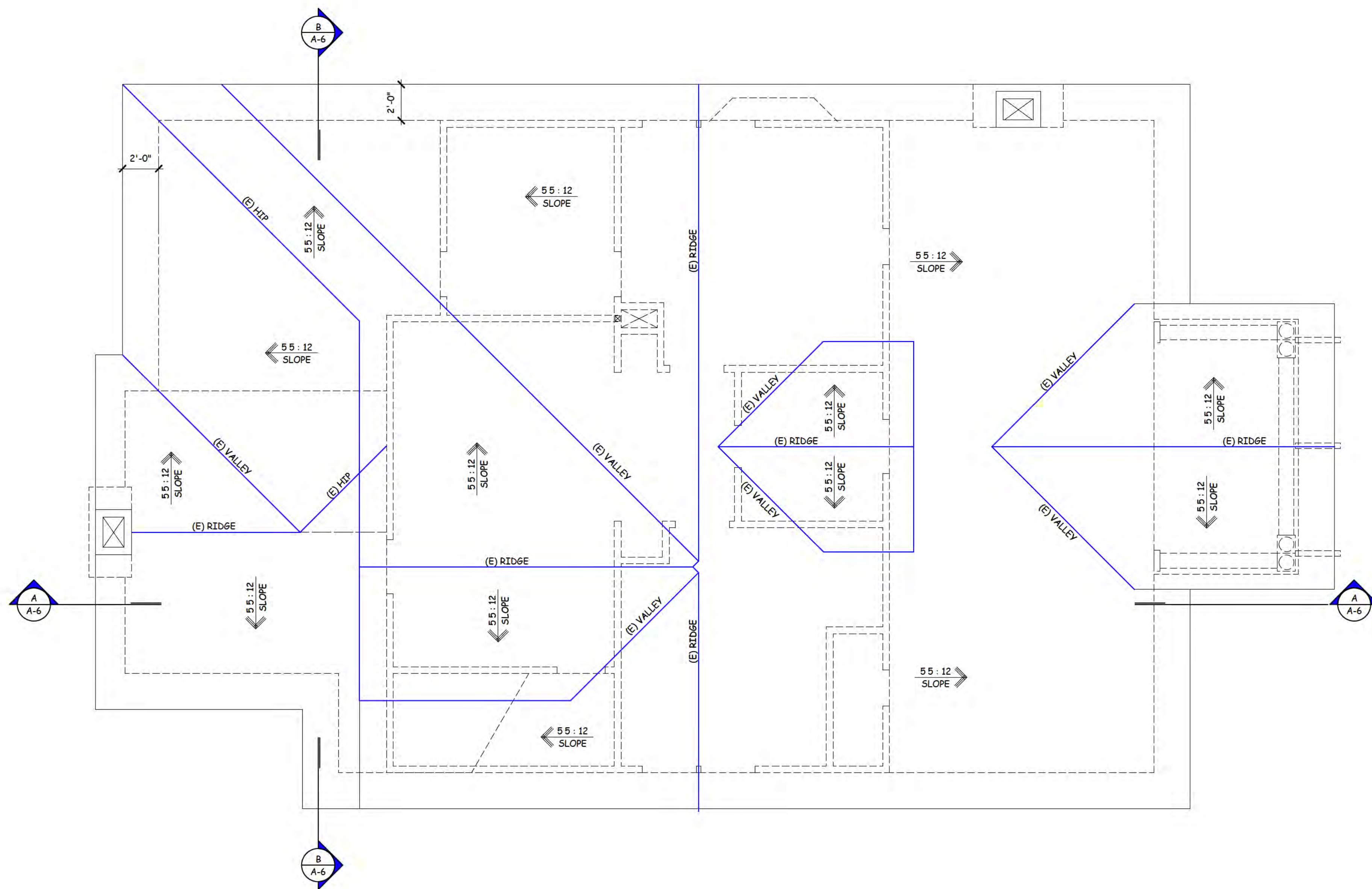
REVISIONS	
1	Jan. 16, 2025: Planning Comments

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 SAN JOSE, CALIFORNIA
 Dong NP: 408-206-7332
 email: dongnp@cum.com



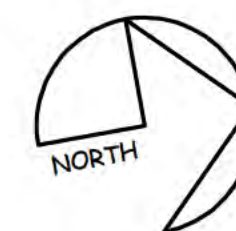
PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
 16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: Nov. 25, 2024
 SCALE: AS NOTED
 DRAWN: Dong NP
 JOB:
 SHEET
A-3.1
 OF 22 SHEETS



EXISTING ROOF PLAN

SCALE: 1 / 4" = 1' - 0"



DATE: Nov. 25, 2024

SCALE: AS NOTED

DRAWN: Dong TNP

JOB:

SHEET

A-4

OF 22 SHEETS

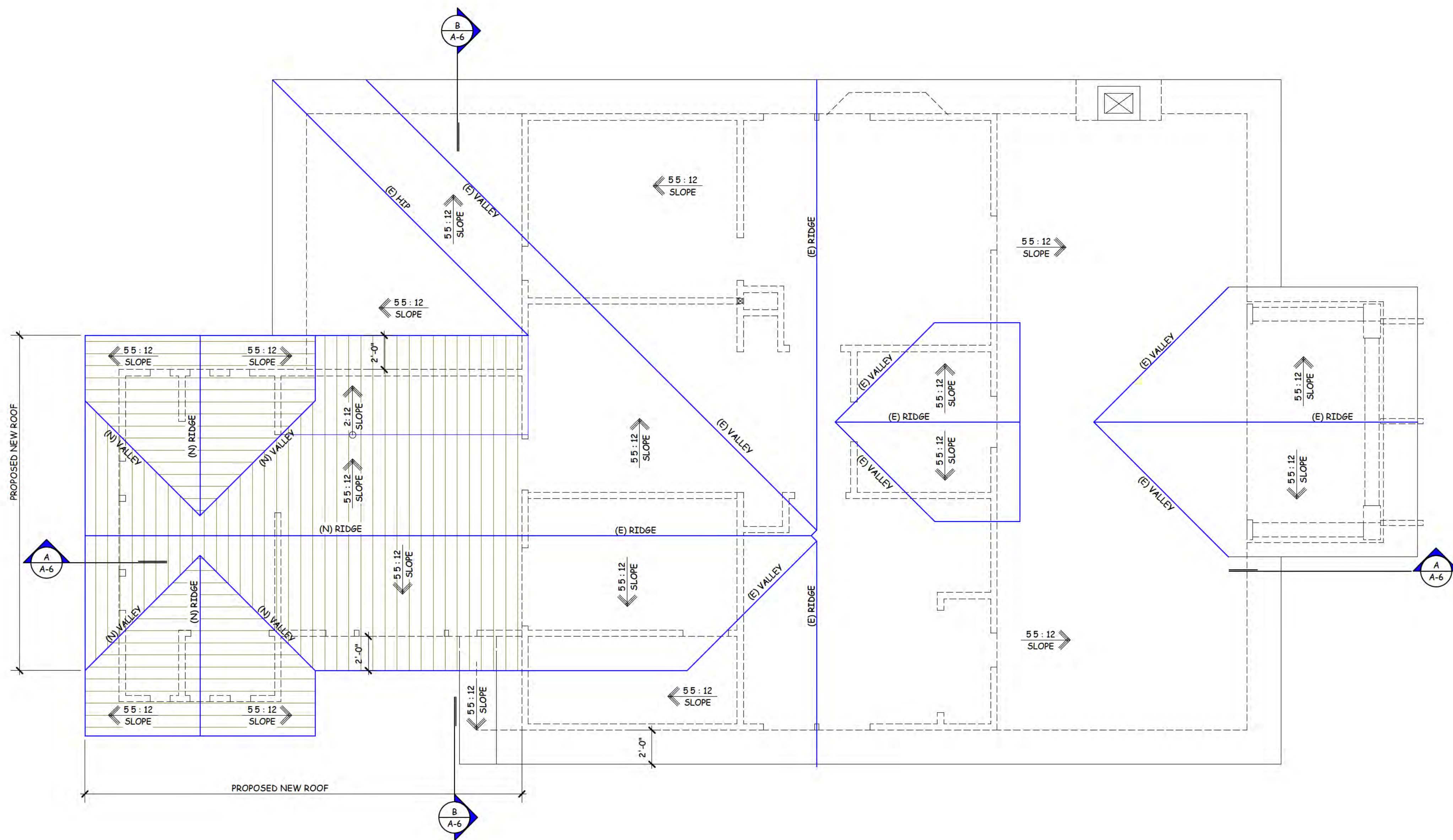
PROPOSED REMODLE AND ADDITION FOR :
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 16448 BONNIE LANE, LOS GATOS, CALIFORNIA



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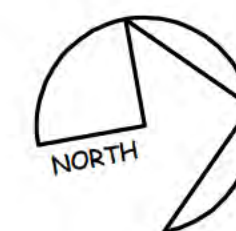
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PROPOSED ROOF PLAN

SCALE: 1 / 4" = 1' - 0"



REVISIONS	
2	Jan 16 2025 Planning Comments

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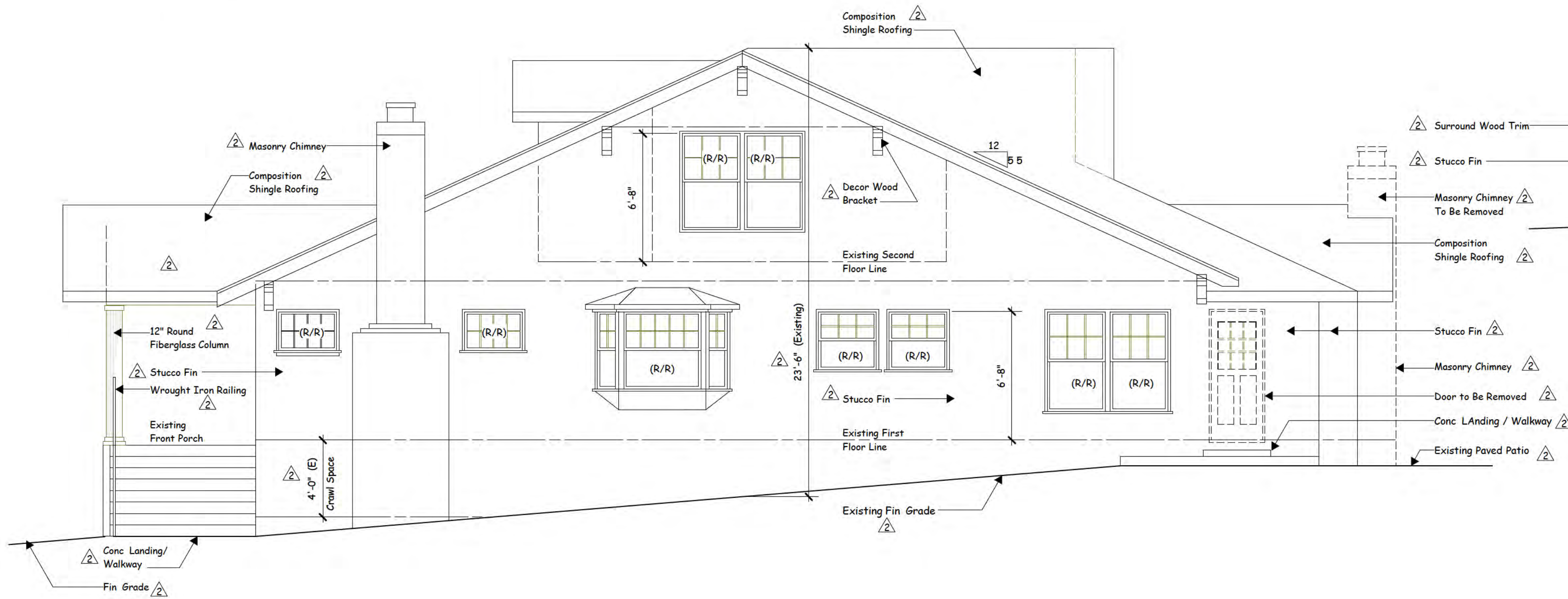
PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
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DATE: Nov. 25, 2024
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JOB:
SHEET
A-4.1
OF 22 SHEETS

NOTES :

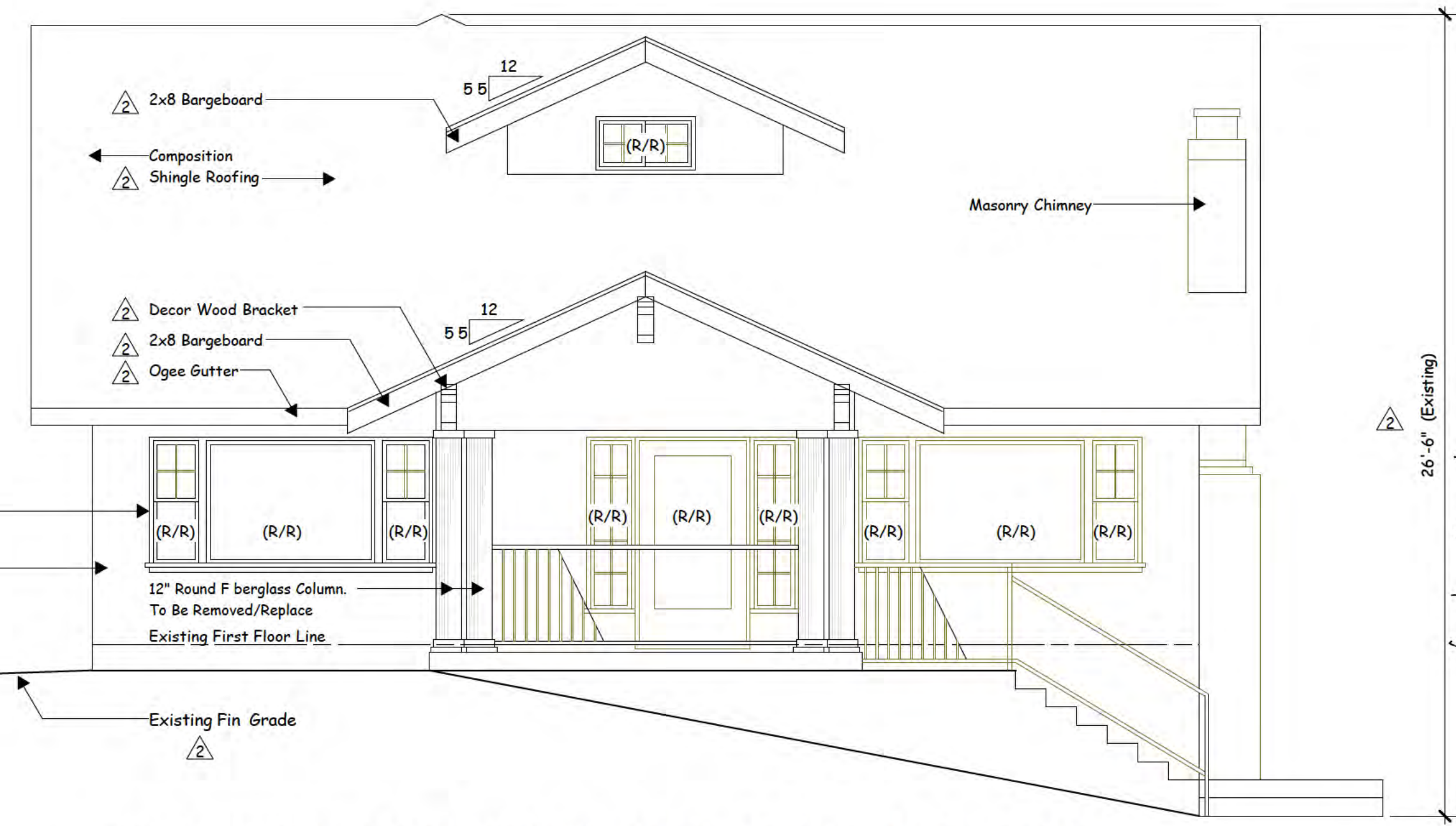
- SEE FLOOR PLAN AND FLOOR PLAN LEGEND FOR EXISTING / PROPOSED WINDOW* SIZE TYPE MATERIAL REMOVAL REPLACEMENT OR NEW
- PRIOR TO FINAL - EXT LIGHTING: PRIOR TO FINAL OCCUPANCY ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCR OACH ONTO ADJACENT PROPERTIES ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY

(R/R) REMOVE and rEPLACE



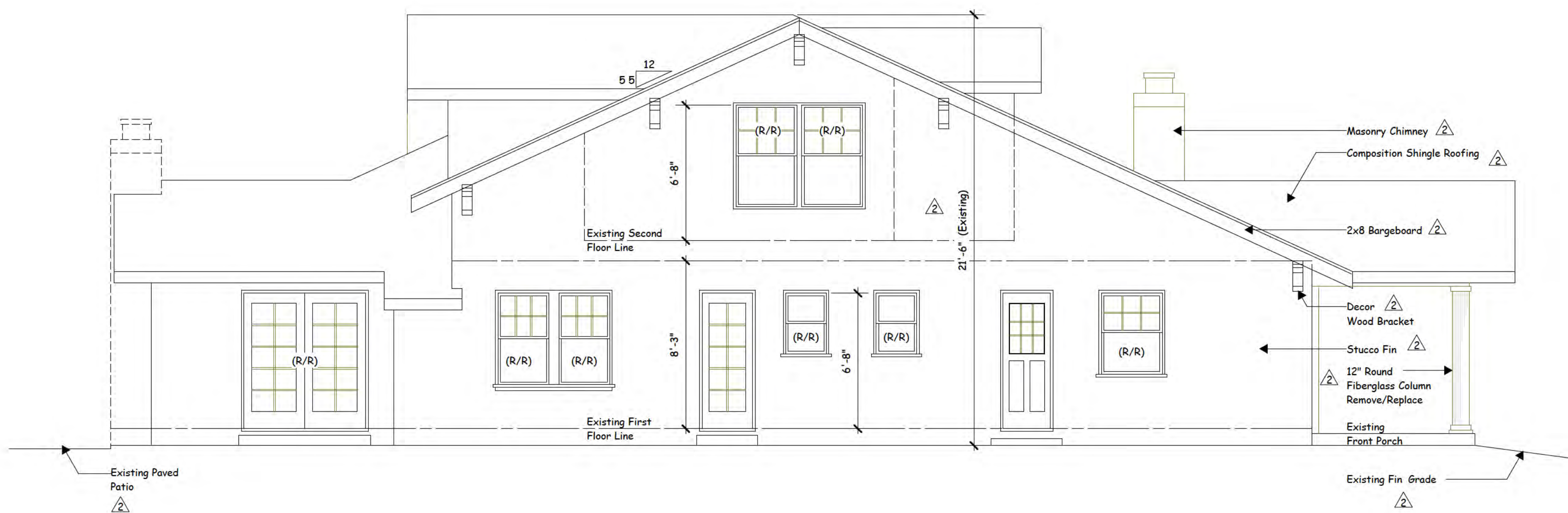
EXISTING WEST ELEVATION (BONNIE LANE)

SCALE: 1 / 4" = 1' - 0"



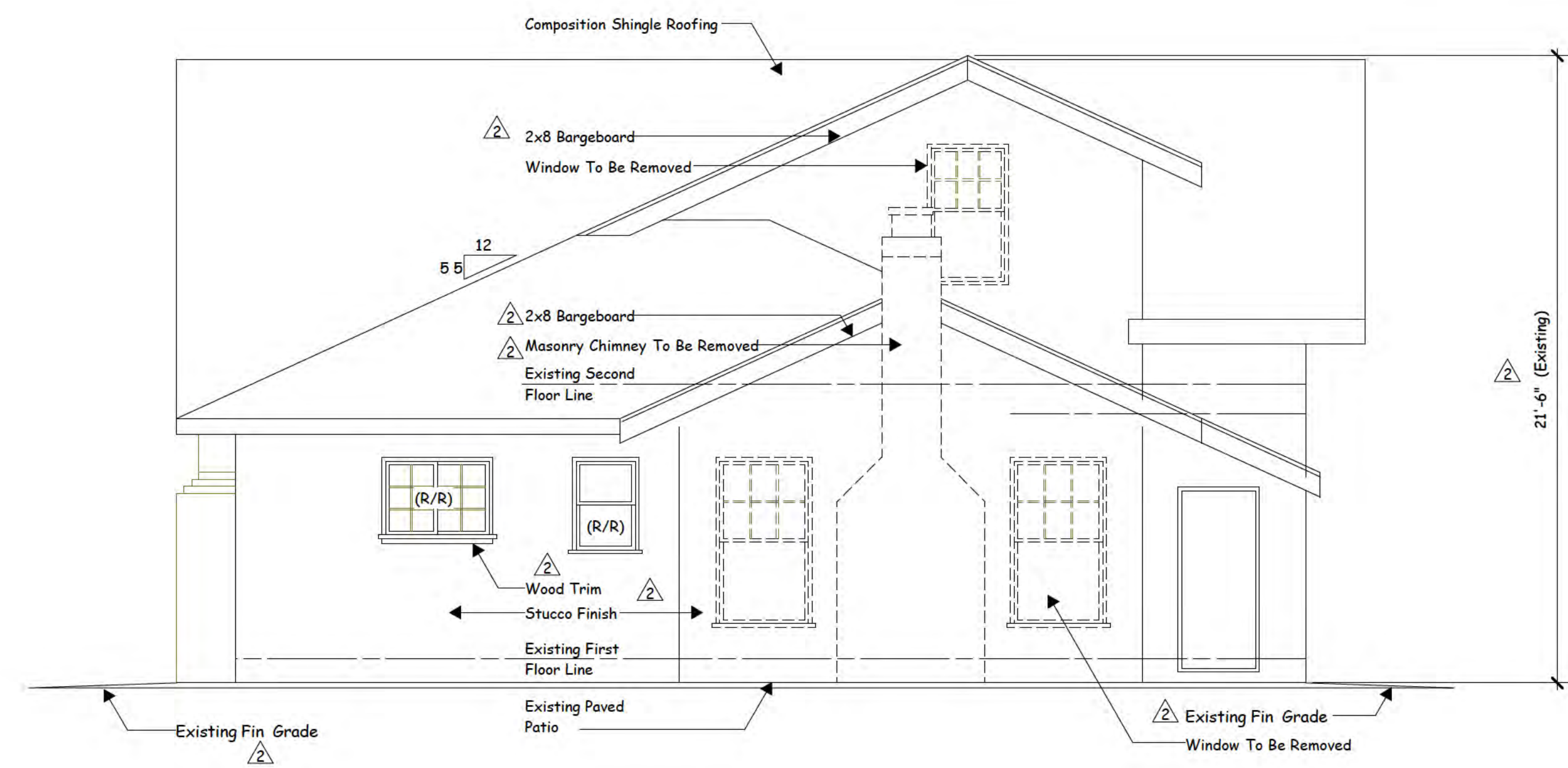
EXISTING NORTH ELEVATION (FRONT)

SCALE: 1 / 4" = 1' - 0"



EXISTING EAST ELEVATION

SCALE: 1 / 4" = 1' - 0"



EXISTING SOUTH ELEVATION (REAR)

SCALE: 1 / 4" = 1' - 0"

REVISIONS
Jan 16 2025 Planning Comments

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PROPOSED REMODEL AND ADDITION FOR :

RESIDENCE
16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: Nov. 25, 2024

SCALE: AS NOTED

DRAWN: Dong NP

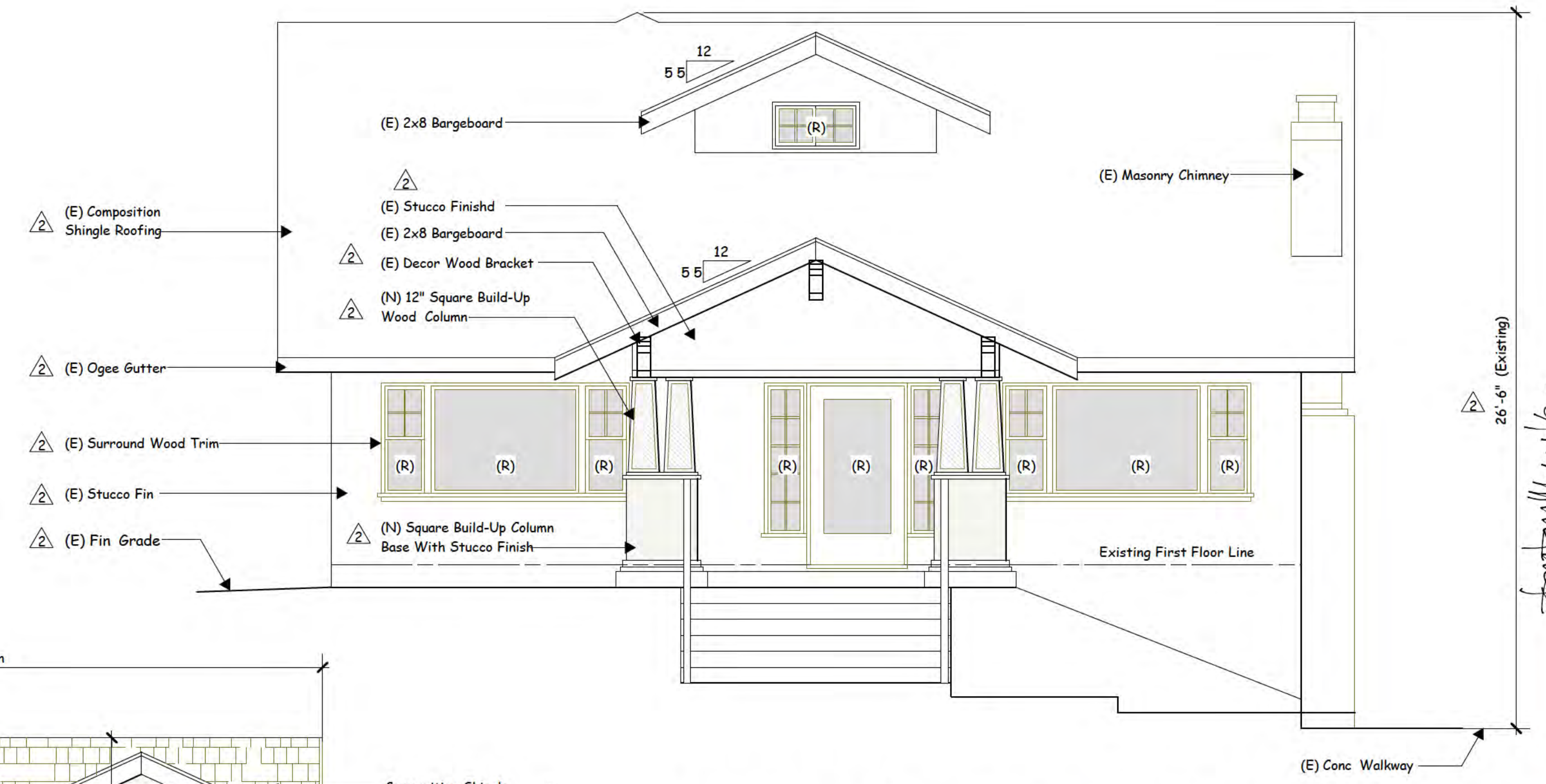
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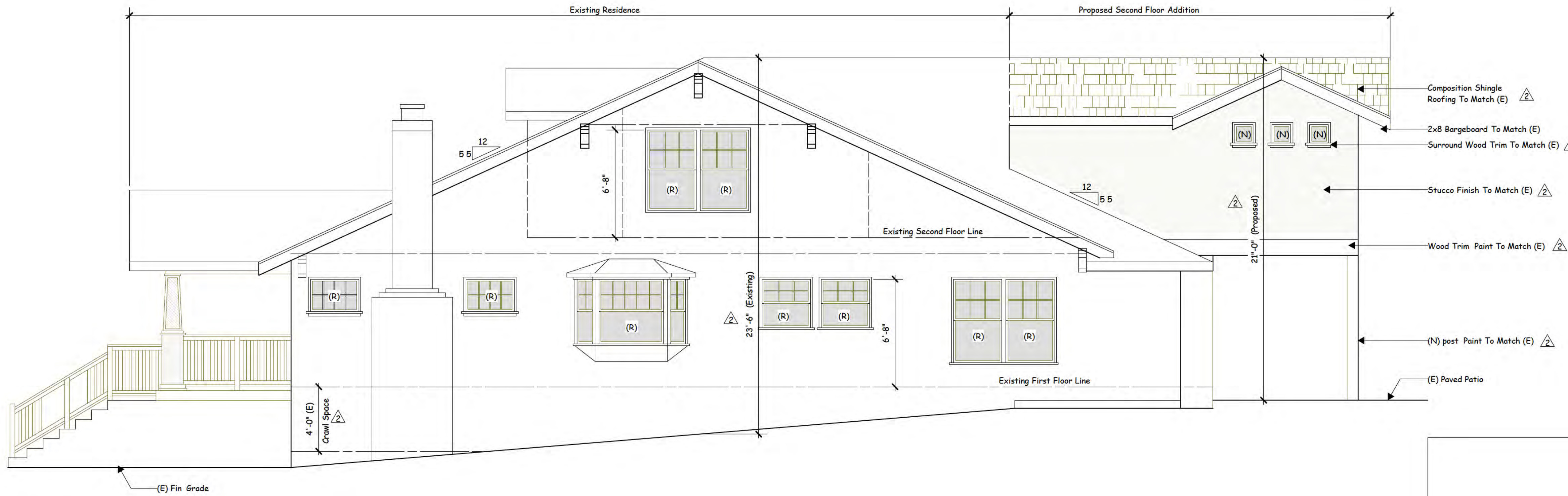
A-5

OF 22 SHEETS

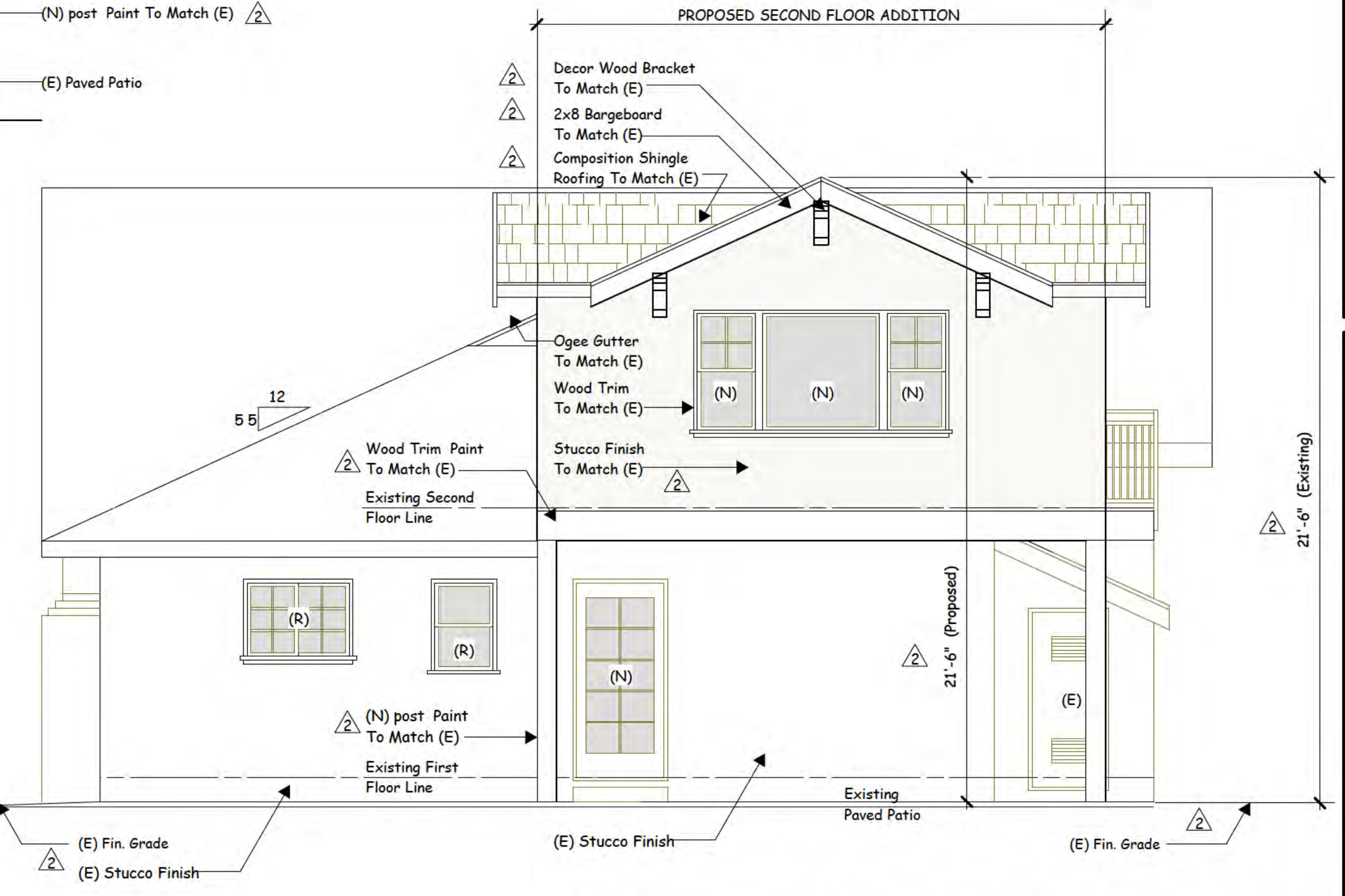
- NOTES :**
- SEE FLOOR PLAN AND FLOOR PLAN LEGEND FOR EXISTING / PROPOSED WINDOW SIZE TYPE MATERIAL REMOVAL REPLACEMENT OR NEW
 - PRIOR TO FINAL - EXT LIGHTING:** PRIOR TO FINAL OCCUPANCY ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCR OACH ONTO ADJACENT PROPERTIES ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY
- (R) REPLACEMENT
(E) EXISTING
(N) NEW



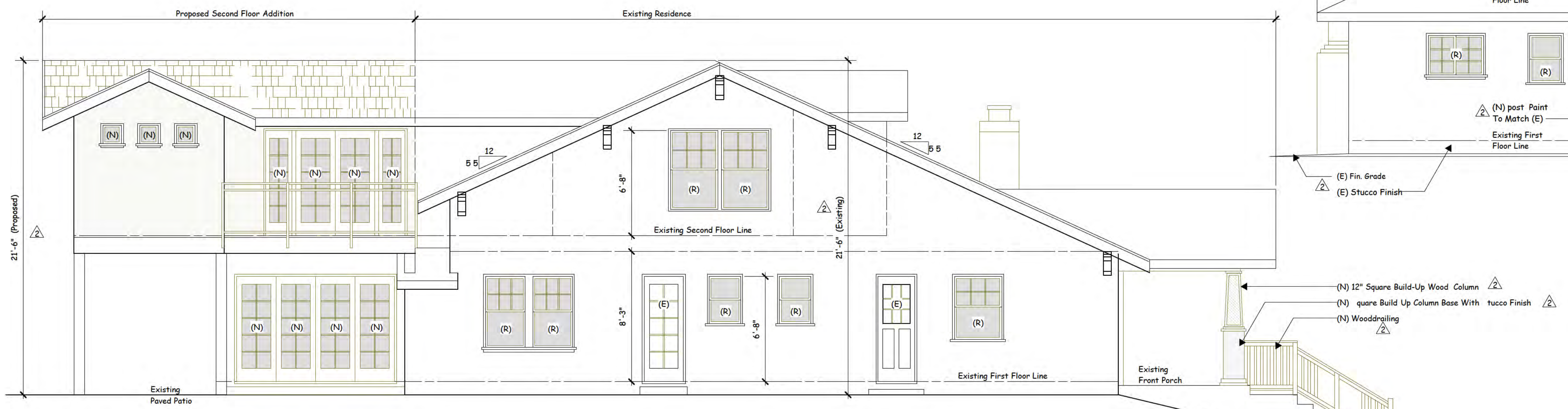
PROPOSED NORTH ELEVATION (FRONT)
SCALE: 1 / 4" = 1' - 0"



PROPOSED WEST ELEVATION (BONNIE LANE)
SCALE: 1 / 4" = 1' - 0"



PROPOSED SOUTH ELEVATION (REAR)
SCALE: 1 / 4" = 1' - 0"



PROPOSED EAST ELEVATION
SCALE: 1 / 4" = 1' - 0"

REVISTONS
Jan 16 2025: Planning Comments

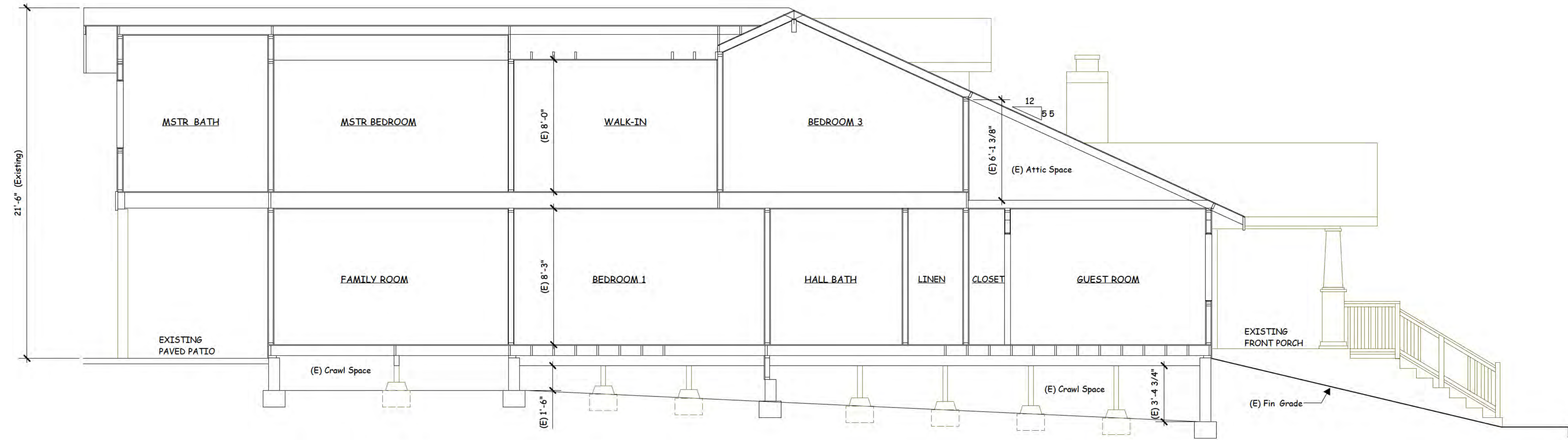
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PROPOSED REMODEL AND ADDITION FOR :

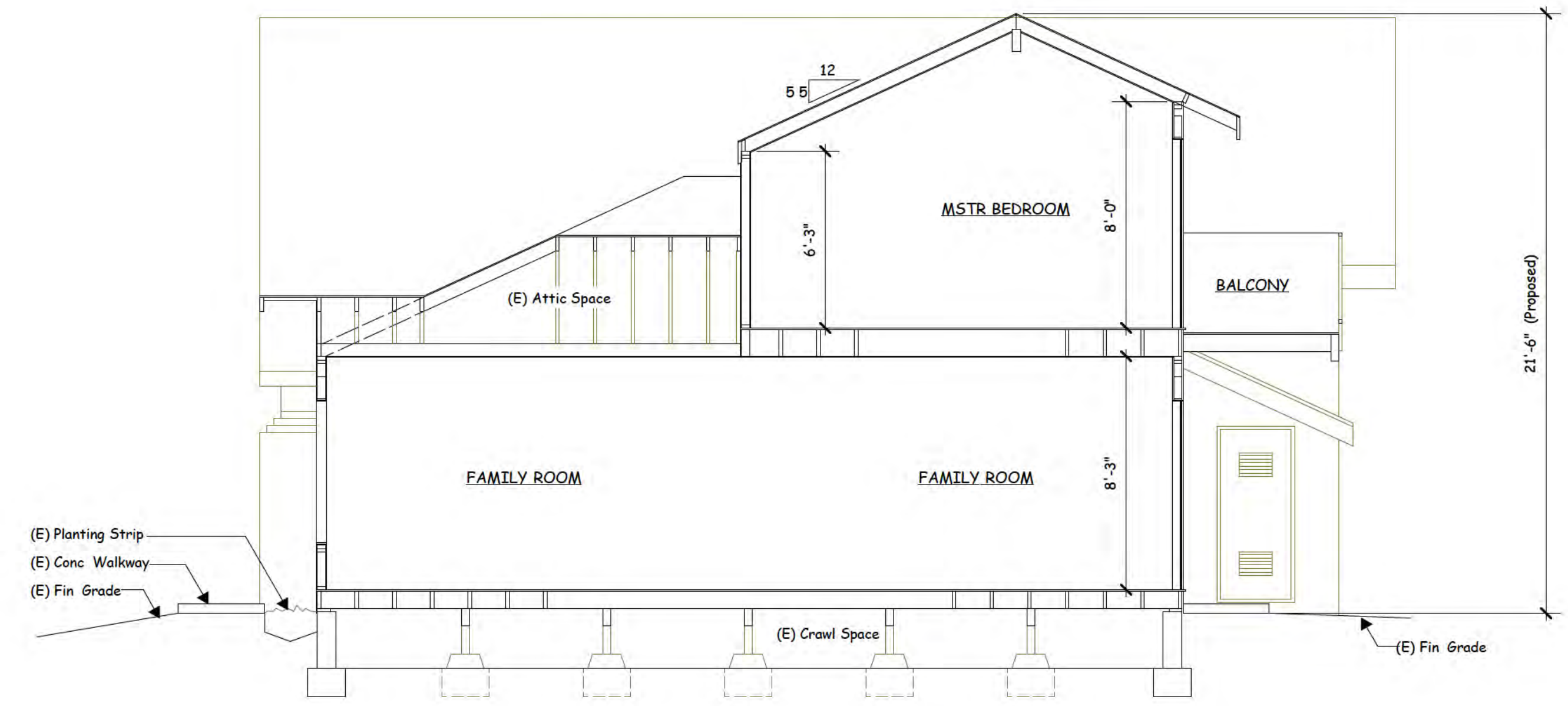
RESIDENCE
16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE: Nov. 25, 2024
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OF 22 SHEETS



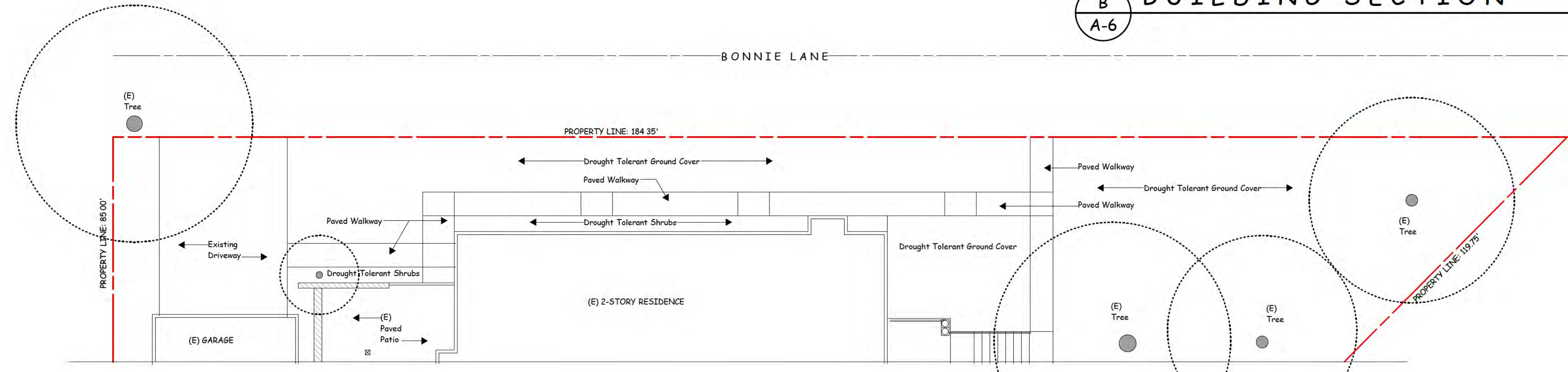
A
A-6 BUILDING SECTION

SCALE: 1/4" = 1' - 0"



B
A-6 BUILDING SECTION

SCALE: 1/4" = 1' - 0"



STREETSCAPE

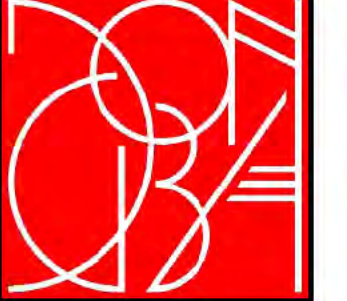
A P N : 532-02-014

SCALE: 1" = 10'



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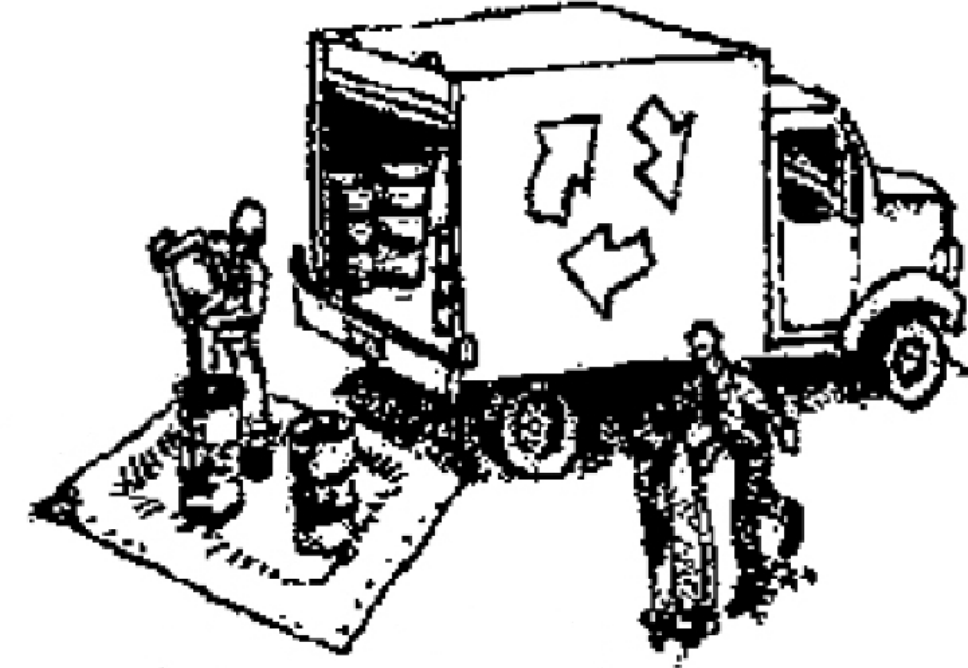
PROPOSED REMODEL AND ADDITION FOR:
RESIDENCE
 16448 BONNIE LANE, LOS GATOS, CALIFORNIA

DATE:	Nov. 25, 2024
SCALE:	AS NOTED
DRAWN:	Dong TNP
JOB:	
SHEET	A-6
OF 22 SHEETS	

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



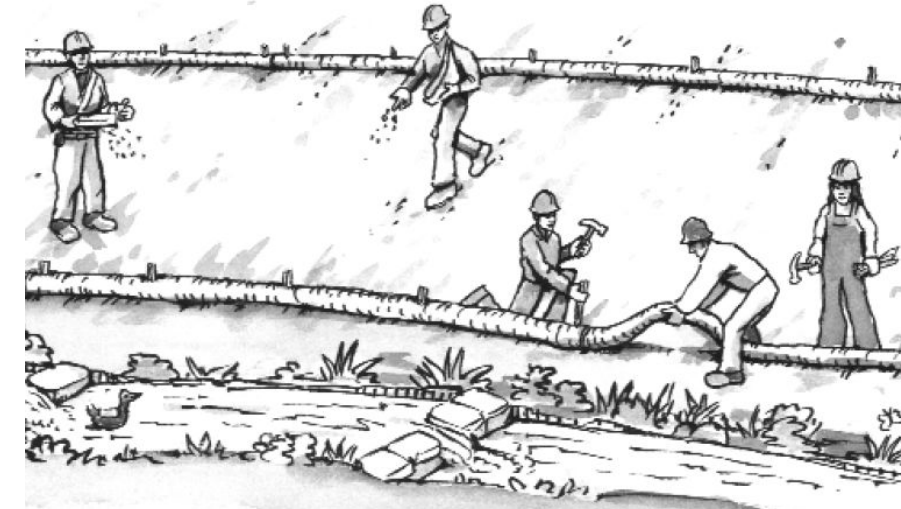
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

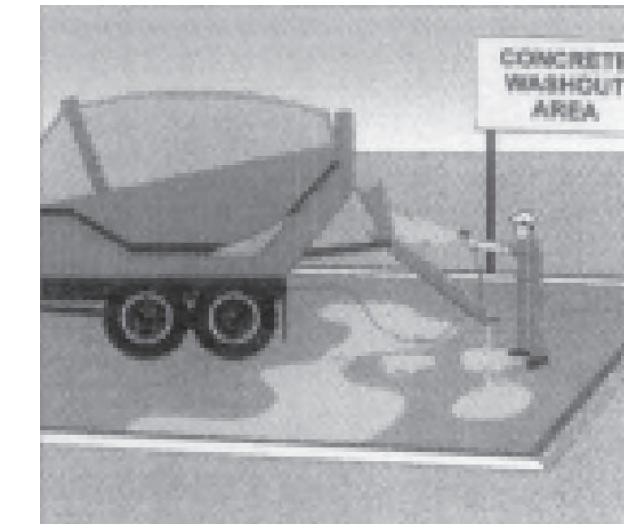
Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



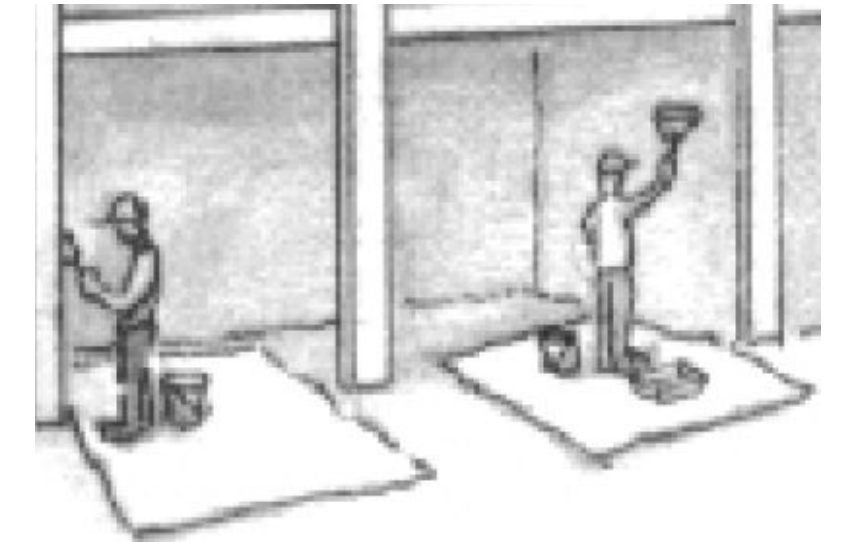
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



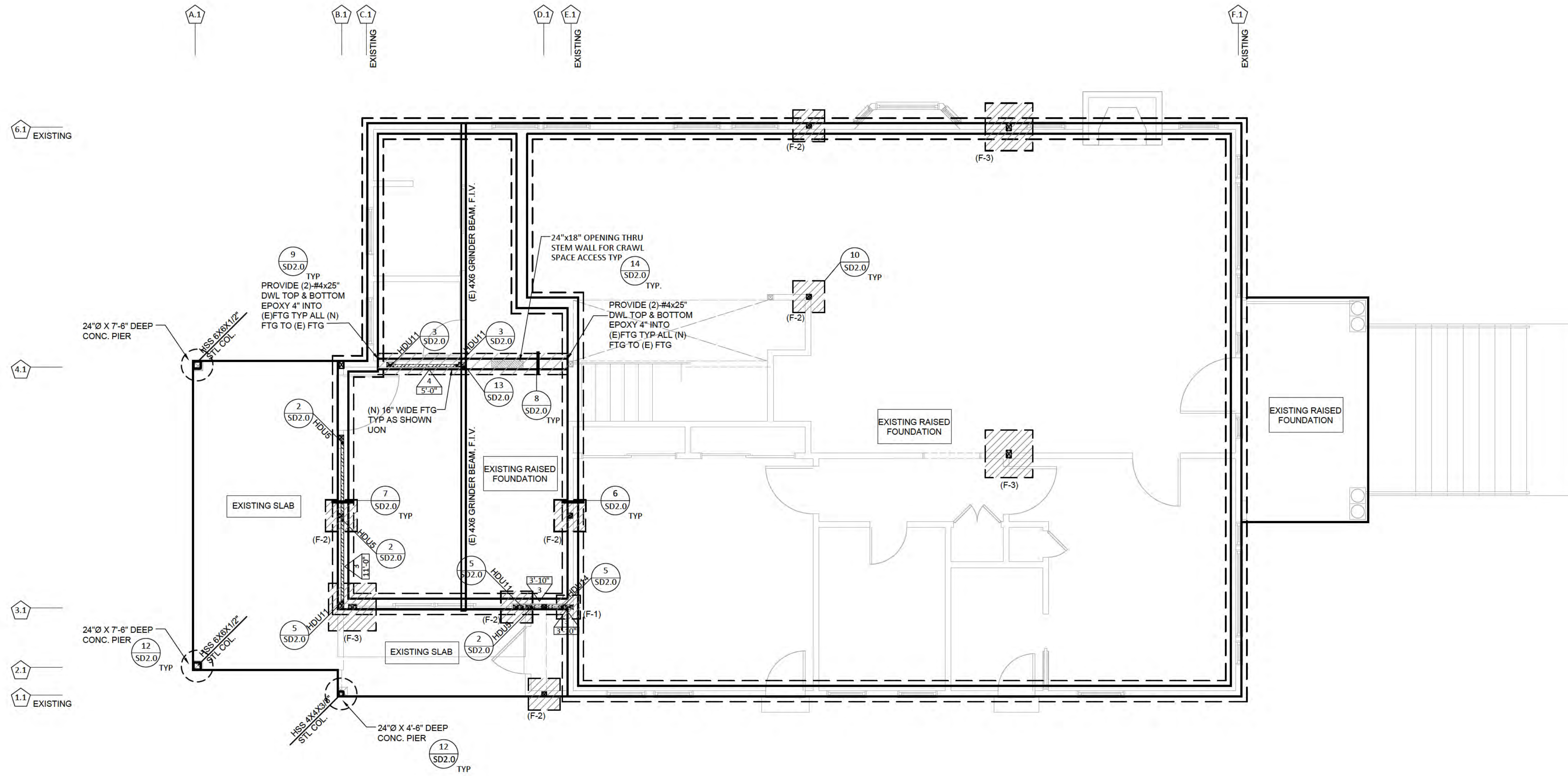
Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

PAD FOOTING SCHEDULE				
MARK	FOOTING SIZE	1-STORY THICKNESS	2-STORY THICKNESS	REINFORCING
(F-1)	1'-6" x 1'-6"	18"	24"	3-#4 EA. WAY
(F-2)	2'-0" x 2'-0"	18"	24"	4-#4 EA. WAY
(F-3)	3'-0" x 3'-0"	18"	24"	4-#5 EA. WAY
(F-4)	4'-0" x 4'-0"	18"	24"	6-#5 EA. WAY
(F-5)	5'-0" x 5'-0"	18"	24"	7-#5 EA. WAY

PLYWOOD SHEAR WALL SCHEDULE														
MARK	EDGE NAILING TYPE	SPACING	FDN. SILL PLATE		ANCHOR BOLT SPACING		A35/LTP4 CLIPS SPACING		PLATE CONNECTION NAILING			CAPACITY (PLF)		
			1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE	
1	6" O.C.	2x			32" O.C.		18" O.C.		18d @ 6" O.C.	2x			310	
2	4" O.C.	2x	3x		24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	18d @ 4" O.C.	3x	SDS @ 8" O.C.	3x	460	920
3	3" STAGG.	3x	3x		16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 18d @ 6" O.C.	3x	(2) SDS @ 10" O.C.	4x	600	1200
4	2" STAGG.	3x	3x		12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 8" O.C.	3x	(2) SDS @ 8" O.C.	4x	770	1540

- ALL SHEAR PANEL SHALL BE 1/2" OSB OR CDX PLYWOOD. ALL FIELD NAILING SHALL BE 10d @ 12" O.C.
- STUDS SHALL BE 2X4 MINIMUM AND SPACED @ 16" O.C. MAXIMUM. U.N.
- INTERIOR SHEAR WALLS SHALL BE EXTENDED THROUGH THE ATTIC TO THE ROOF SHEATHING.
- NAILS SHALL BE COMMON NAILS, PLACED AT LEAST 1/2" FROM PANEL EDGES AND AT LEAST 1/2" FROM THE EDGE OF CONNECTION MEMBER OF ALL PANELS.
- NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 3" OR LESS O.C. (MINIMUM SPACING BETWEEN NAIL LINES IS 1/2")
- NAILS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIP GALVANIZED.
- SDS DENOTES 1/4" Ø SDS WOOD SCREWS WITH 2" MINIMUM PENETRATION INTO FRAMING BELOW. ROWS OF SDS SHALL BE STAGGERED 1/2" APART.
- ALL ANCHOR BOLTS SHALL HAVE 3" SQ. x 1/4" W/ 11/16" x 1/4" DIAGONAL SLOT *USE STD. CUT WASHER O/ PLATE WASHER) PLATE WASHERS. USE 3" x 1/2" AT 6" THICK SHEAR WALL. PLATE WASHER, PLATE WASHER TO EXTEND TO WITHIN 1/2" OF THE EDGED OF THE SILL PLATE ON THE SIDE WITH SHEATHING.
 - 5/8" A.B. W/ x 7" MINIMUM EMBEDMENT INTO CONCRETE. OR
 - SIMPSON RETROFIT FOUNDATION PLATES URFP/FRFP PER MANUFACTURE'S RECOMMENDATION.
 - 5/8" x 7" SIMPSON TITEN HD.
 - IN NON-P.T. SLABS, 5/8" EXPENSION BOLT W/ 2 3/4" MIN. EMBEDMENT W/ MINIMUM 9" EDGE DISTANCE.

SYMBOLS LEGEND

- WOOD POST
- WOOD POST ABOVE
- DIRECTION OF JOISTS
- SHEAR PANEL LENGTH AND SCHEDULE
- SHEAR PANEL LENGTH AND SCHEDULE
- DETAIL
- BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- SHEAR LINE
- CALIFORNIA FRAMING
- PAD FOOTING
- (E) FOUNDATION
- (N) FOUNDATION

FRAMING NOTES

- 2 X 6 ROOF RAFTERS @ 12" O.C.
- 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

FOUNDATION NOTES

- CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. PLAN SHOWS STRUCTURAL SLAB, WALLS, ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS. CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
- SEE STRUCTURAL SPECIFICATIONS ON SHEET SN1.0.
- NEW STEM WALL FTG. SHALL BE 16" WIDE CONT. FTG. W/ (2)-#4 T&B & #3 VERT @ 24" O.C. TYP.
- PROVIDE 2x SOLID BLOCKING @ 8" OC BETWEEN FL JOIST TYP.
- ALL FLOOR USE 3/4" PLYWOOD T&G WITH 10d @ 8" O.C. EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
- PROVIDE FLOOR PLYWOOD EDGE NAILS FULL LENGTH AT ALL SHEAR WALL LINE.
- FL JST, GIRDER W/ HUTF HGR AT END TO WALL SILL PL TYP.
- HOLD-DOWNS SHOULD BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- ALL HOLD-DOWNS REQUIRED 4x4 MINIMUM POST.
- THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION, REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
- HOLD-DOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.

CITY/COUNTY STAMP SPACE



ORANGE ENGINEERING

4005 CLIPPER CT
FREMONT, CA 94538
TEL (408) 888-7836



ADU & ADDITION
16488 BONNIE LN,
LOS GATOS, CA 95032

DATE: 08/22/24

JOB NO. OES24086

ISSUE & REVISION

NO.	DATE	REVISION
1		
2		
3		
4		
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8		
9		

SHEET NAME.

FOUNDATION PLAN

SHEET NO.

S1.0

DRAWN BY:

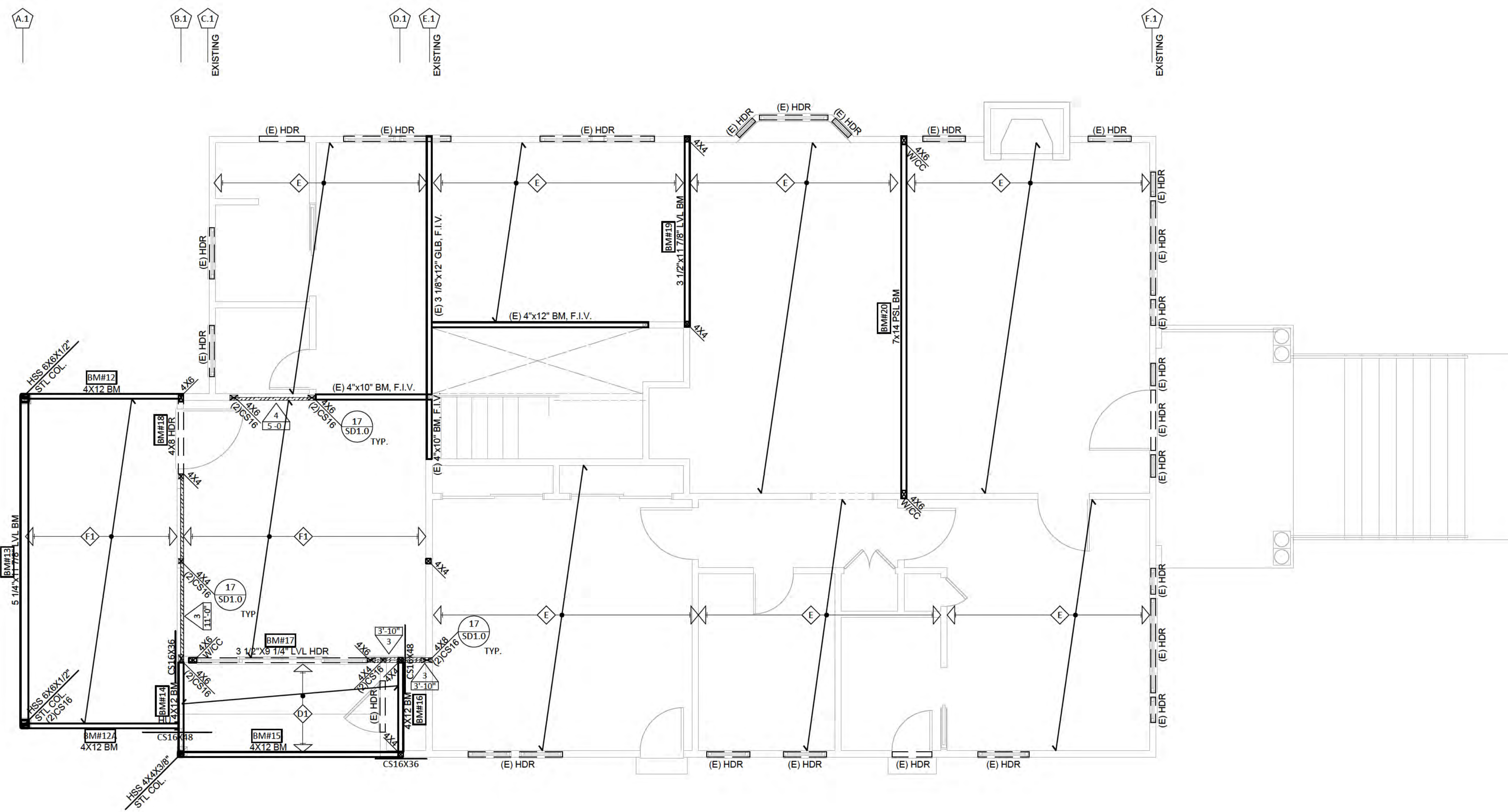
6.1 EXISTING

4.1

3.1

2.1

1.1 EXISTING



FLOOR FRAMING PLAN

SCALE : 1/4" = 1'-0"

HANGER SCHEDULE (U.N.O.)		
SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.
2X RAFTERS, DBL. RAFTERS	LSSJ, LSSR	--
2X CEILING / FLOOR JOISTS, DBL. JOISTS	LUS, HU	--
TJI FLOOR I-JOISTS	ITS	--
4X BEAM SAWN LUMBER	HU	4X4 DF#2
6X BEAM SAWN LUMBER	HU	4X6 DF#2
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1
1 3/4" MICROLAM	LSU, HU	2-2X4 DF#2
TRUSS HANGERS	USE MANUF. SUPPLIED HANGERS	

PLYWOOD SHEAR WALL SCHEDULE															
MARK	TYPE	SPACING	FDN. SILL PLATE		ANCHOR BOLT SPACING		A35/LTP4 CLIPS SPACING		PLATE CONNECTION NAILING				CAPACITY (PLF)		
			1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	RIM/BLKG	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE	
1	6" O.C.	2x		2x	32" O.C.		18" O.C.			16d @ 6" O.C.	2x			310	
2	4" O.C.	2x	3x	24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	16d @ 4" O.C.	3x	SDS @ 6" O.C.		3x		460	920
3	3" STAGG.	3x	3x	16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 16d @ 6" O.C.	3x	(2) SDS @ 10" O.C.		4x		600	1200
4	2" STAGG.	3x	3x	12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 6" O.C.	3x	(2) SDS @ 6" O.C.		4x		770	1540

1. ALL SHEAR PANEL SHALL BE 1/2" OSB OR CDX PLYWOOD. ALL FIELD NAILING SHALL BE 10d @ 12" O.C.
2. STUDS SHALL BE 2X4 MINIMUM AND SPACED @ 16" O.C. MAXIMUM U.N.
3. INTERIOR SHEAR WALLS SHALL BE EXTENDED THROUGH THE ATTIC TO THE ROOF SHEATHING.
4. NAILS SHALL BE COMMON NAILS, PLACED AT LEAST 1/2" FROM PANEL EDGES AND AT LEAST 1/2" FROM THE EDGE OF CONNECTION MEMBER OF ALL PANELS.
5. NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 3" OR LESS O.C. (MINIMUM SPACING BETWEEN NAIL LINES IS 1/2")
6. NAILS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIP GALVANIZED.
7. SDS DENOTES 1/4"X SDS WOOD SCREWS WITH 2" MINIMUM PENETRATION INTO FRAMING BELOW. ROWS OF SDS SHALL BE STAGGERED 1/2" APART.
8. ALL ANCHOR BOLTS SHALL HAVE 3"X2.1/4" W/ 11/16"X 3/4" DIAGONAL SLOT (USE STD. CUT WASHER O/ PLATE WASHER) PLATE WASHERS. USE 3"x4 1/2" AT 6" THICK SHEAR WALL. PLATE WASHER, PLATE WASHER TO EXTEND TO WITHIN 1/2" OF THE EDGED OF THE SILL PLATE ON THE SIDE WITH SHEATHING.
a. 5/8" A.B. W/ x 7" MINIMUM EMBEDMENT INTO CONCRETE. OR
b. SIMPSON RETROFIT FOUNDATION PLATES URF/FRFP PER MANUFACTURE'S RECOMMENDATION.
c. IN NON-P.T. SLABS, 5/8" EXPENSION BOLT W/ 2 3/4" MIN. EMBEDMENT W/ MINIMUM 9" EDGE DISTANCE.

SYMBOLS LEGEND

- WOOD POST
- WOOD POST ABOVE
- DIRECTION OF JOISTS
- SHEAR PANEL LENGTH AND SCHEDULE
- DETAIL
- BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- SHEAR LINE
- CALIFORNIA FRAMING
- PAD FOOTING
- (E) FOUNDATION
- (N) FOUNDATION

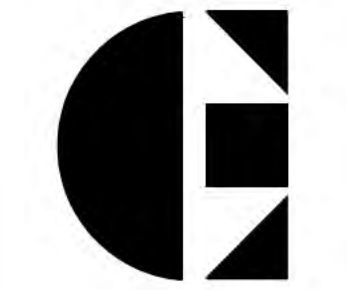
FRAMING NOTES

- 2 X 6 ROOF RAFTERS @ 12" O.C.
- 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

FRAMING NOTES

1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. PLAN SHOWS STRUCTURAL WALLS, ROOF LINES ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS. CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
2. SEE STRUCTURAL SPECIFICATIONS ON SHEET SN1.0.
3. FULL HEIGHT STUDS SHALL BE USED ON EXTERIOR WALLS OF ROOM WITH VAULTED CEILINGS. 2x6 STUD @ 16" O.C. FOR 12'-0" OR MORE WALL HIGH.
4. ALL ROOF USE 1/2" OSB PLYWOOD WITH 10d @ 6" O.C. EDGE NAILS AND 12" OC FIELD NAILS UNBLOCKED TYPICAL.
5. ALL FLOOR 3/4" PLYWOOD T&G WITH 10d @ 6" OC EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
6. PROVIDE SIMP. CS16x30" @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP AS SHOWN.
7. ALL BEAM TO BEAM SUPPORT USE HANGER PER HANGER SCHEDULE.
8. PROVIDE SIMP. CS16x30" MIN @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP.
9. PROVIDE PC4 CAP & BC4 BASE TYP AT EA END OF DROPPED FLOOR BM EXTEND POST DOWN TO FOUNDATION.
10. SOLID BLOCKING SHALL BE PROVIDED AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
11. ALL BEAMS PROVIDE 4x BEAM WIDTH POST.
12. HOLDOWN SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
13. ALL EXTERIOR WALLS AND WOOD FRAMED CHIMNEYS MUST BE SHEATHED WITH SHEAR PANEL U.N.
14. PLYWOOD OF ALL INTERIOR SHEAR WALL TO BE EXTENDED UP TO ROOF.
15. THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION. REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
16. HOLDOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.
17. GC SHALL VERIFY ALL BEARING WALL LOCATIONS PRIOR TO DEMOLITION AND REPORT TO EOR IF THERE ARE ANY DISCREPANCIES WITH CONSTRUCTION DOCUMENTS.

CITY/COUNTY STAMP SPACE



ORANGE ENGINEERING

4005 CLIPPER CT
FREMONT, CA 94538
TEL (408) 888-7836



ADU & ADDITION
16488 BONNIE LN,
LOS GATOS, CA 95032

DATE: 08/22/24

JOB NO. OES24086

ISSUE & REVISION

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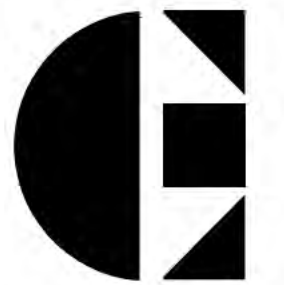
SHEET NAME:

FLOOR FRAMING PLAN

SHEET NO.

S2.0

DRAWN BY:



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SHEET NAME:

ROOF FRAMING PLAN

SHEET NO.

S3.0

DRAWN BY:

SYMBOLS LEGEND

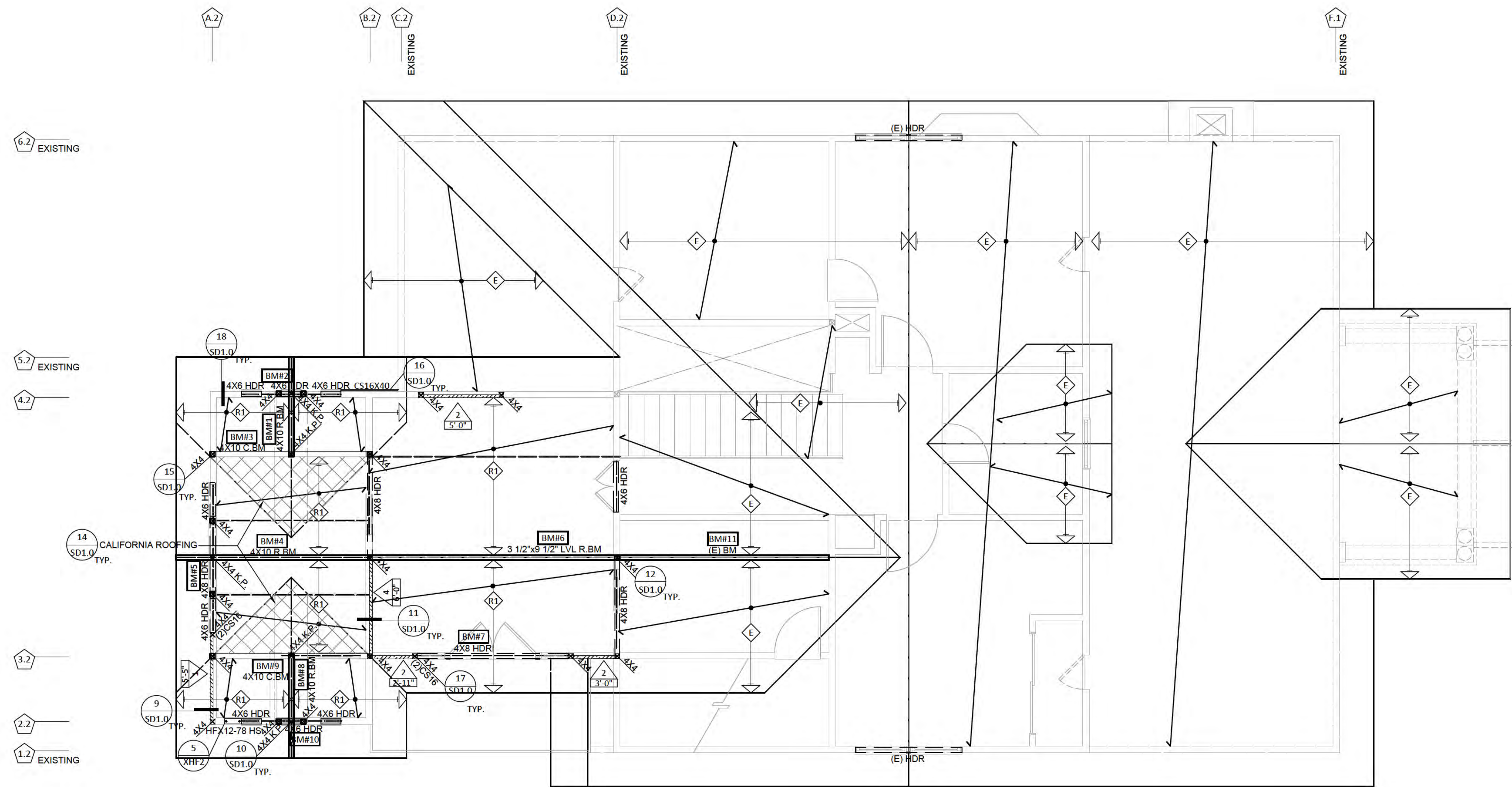
- WOOD POST
- WOOD POST ABOVE
- DIRECTION OF JOISTS
- SHEAR PANEL LENGTH AND SCHEDULE
- SHEAR PANEL LENGTH AND SCHEDULE
- DETAIL
- BEAM NUMBER, REFER TO E.O.R. CALCULATIONS
- SHEAR LINE
- CALIFORNIA FRAMING
- PAD FOOTING
- (E) FOUNDATION
- (N) FOUNDATION

FRAMING NOTES

- 2 X 6 ROOF RAFTERS @ 12" O.C.
- 1 3/4" x 11 1/4" LVL FLOOR JOIST @ 16" O.C.
- 2 X 8 DECK JOIST @ 16" O.C.

FRAMING NOTES

1. CONFIRM ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. PLAN SHOWS STRUCTURAL WALLS, ROOF LINES ABOVE FOUNDATION. ARCHITECTURAL BACKGROUND INDICATES NON-STRUCTURAL WALLS. CONFIRM ALL BACKGROUND INFORMATION WITH CURRENT ARCHITECTURAL DRAWINGS.
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4. ALL ROOF USE 1/2" OSB PLYWOOD WITH 10d @ 6" O.C. EDGE NAILS AND 12" OC FIELD NAILS UNBLOCKED TYPICAL.
5. ALL FLOOR 3/4" PLYWOOD T&G WITH 10d @ 6" OC EDGE NAILS 10" O.C. FIELD NAILS TYP AT FLOOR AREA GLUED AND NAILED.
6. PROVIDE SIMP. CS16x30" @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP AS SHOWN.
7. ALL BEAM TO BEAM SUPPORT USE HANGER PER HANGER SCHEDULE.
8. PROVIDE SIMP. CS16x30" MIN @ SIDE OF EXTERIOR WALL & SHEAR WALL WHERE TOP PLATES SPLICED OR CONNECTED TO BM TYP.
9. PROVIDE PC4 CAP & BC4 BASE TYP AT EA END OF DROPPED FLOOR BM EXTEND POST DOWN TO FOUNDATION.
10. SOLID BLOCKING SHALL BE PROVIDED AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
11. ALL BEAMS PROVIDE 4x BEAM WIDTH POST.
12. HOLDOWN SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
13. ALL EXTERIOR WALLS AND WOOD FRAMED CHIMNEYS MUST BE SHEATHED WITH SHEAR PANEL U.N.
14. PLYWOOD OF ALL INTERIOR SHEAR WALL TO BE EXTENDED UP TO ROOF.
15. THE NEW FOUNDATION TYPE MUST MATCH EXISTING FOUNDATION. REPORT TO ENGINEER OF RECORD IF IT IS DIFFERENT.
16. HOLDOWN ANCHOR BOLT TO BE SET AND POSITIONED IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.
17. GC SHALL VERIFY ALL BEARING WALL LOCATIONS PRIOR TO DEMOLITION AND REPORT TO EOR IF THERE ARE ANY DISCREPANCIES WITH CONSTRUCTION DOCUMENTS.



ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

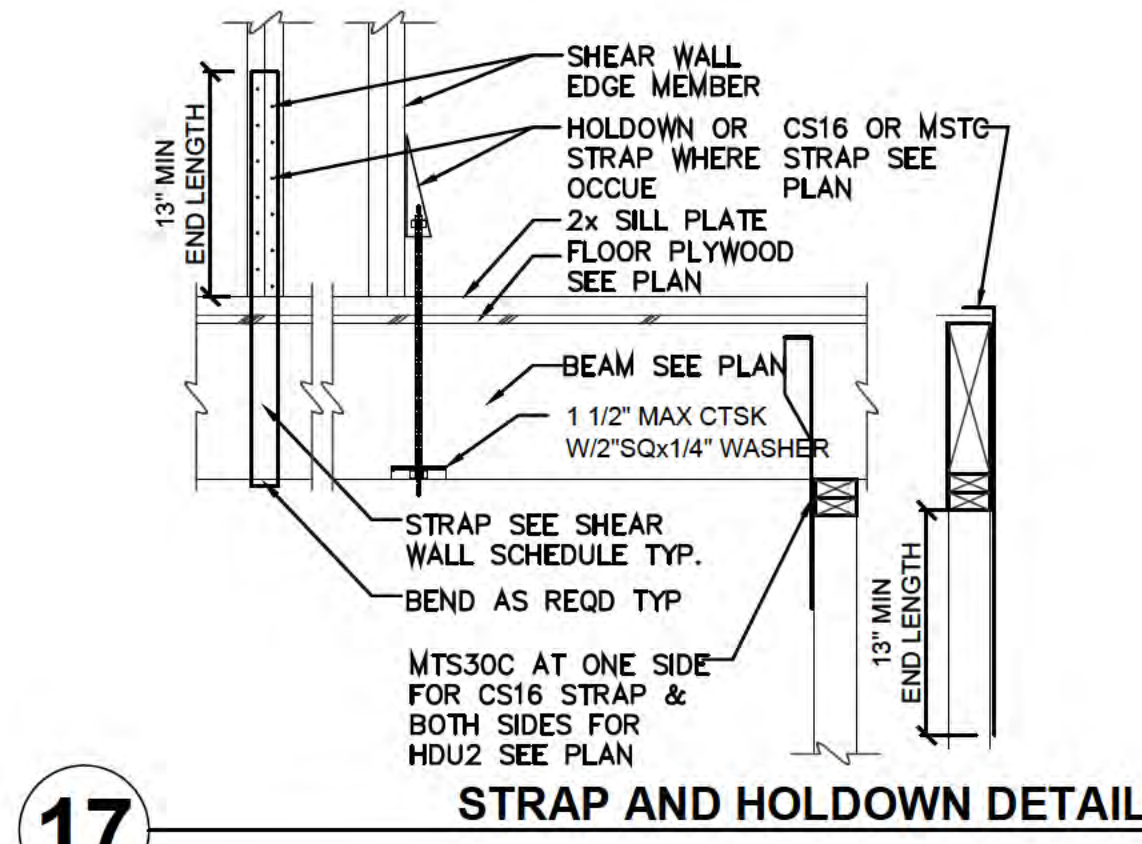
HANGER SCHEDULE (U.N.O.)

SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.
2X RAFTERS, DBL. RAFTERS	LSSJ, LSSR	--
2X CEILING / FLOOR JOISTS, DBL. JOISTS	LUS, HU	--
TJI FLOOR I-JOISTS	ITS	--
4X BEAM SAWN LUMBER	HU	4X4 DF#2
6X BEAM SAWN LUMBER	HU	4X6 DF#2
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1
1 3/4" MICROLAM	LSU, HU	2-2X4 DF#2
TRUSS HANGERS	USE MANUF. SUPPLIED HANGERS	

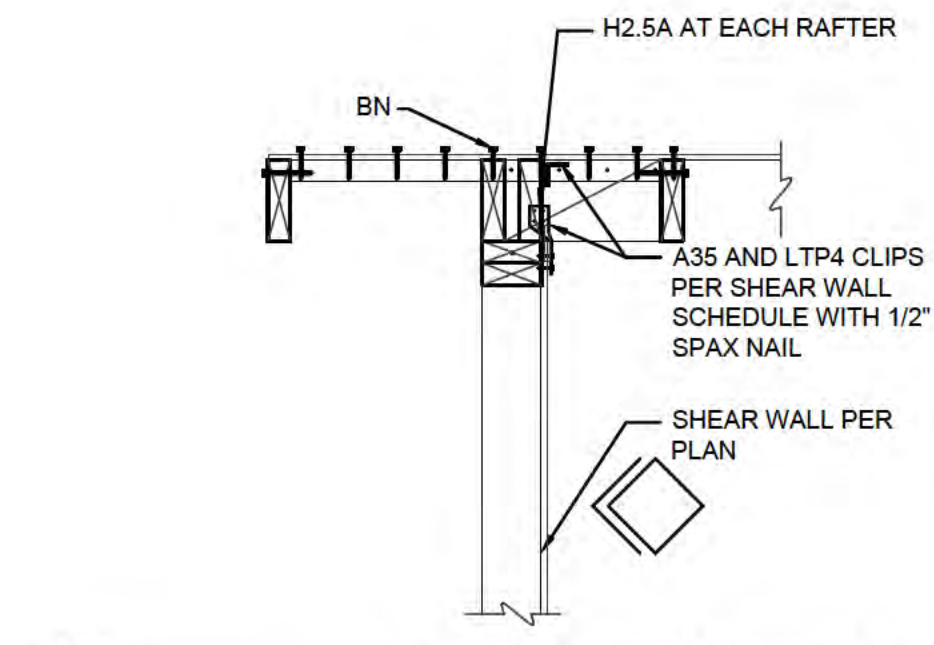
PLYWOOD SHEAR WALL SCHEDULE

MARK	TYPE	SPACING	FDN. SILL PLATE		ANCHOR BOLT SPACING		A35/LTP4 CLIPS SPACING		PLATE CONNECTION NAILING				CAPACITY (PLF)		
			1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	2 SIDE	1 SIDE	RIM/BLKG	2 SIDE	RIM/BLKG	1 SIDE	2 SIDE	
	1	6" O.C.	2x		32" O.C.		18" O.C.		16d @ 6" O.C.	2x				310	
	2	4" O.C.	2x	3x	24" O.C.	12" O.C.	12" O.C.	12" O.C. EA. SIDE	16d @ 4" O.C.	3x	SDS @ 6" O.C.	3x		480	920
	3	3" STAGG.	3x	3x	16" O.C.	8" O.C.	9" O.C.	9" O.C. EA. SIDE	(2) 16d @ 6" O.C.	3x	(2) SDS @ 10" O.C.	4x		600	1200
	4	2" STAGG.	3x	3x	12" O.C.	6" O.C.	6" O.C.	6" O.C. EA. SIDE	SDS @ 6" O.C.	3x	(2) SDS @ 6" O.C.	4x		770	1540

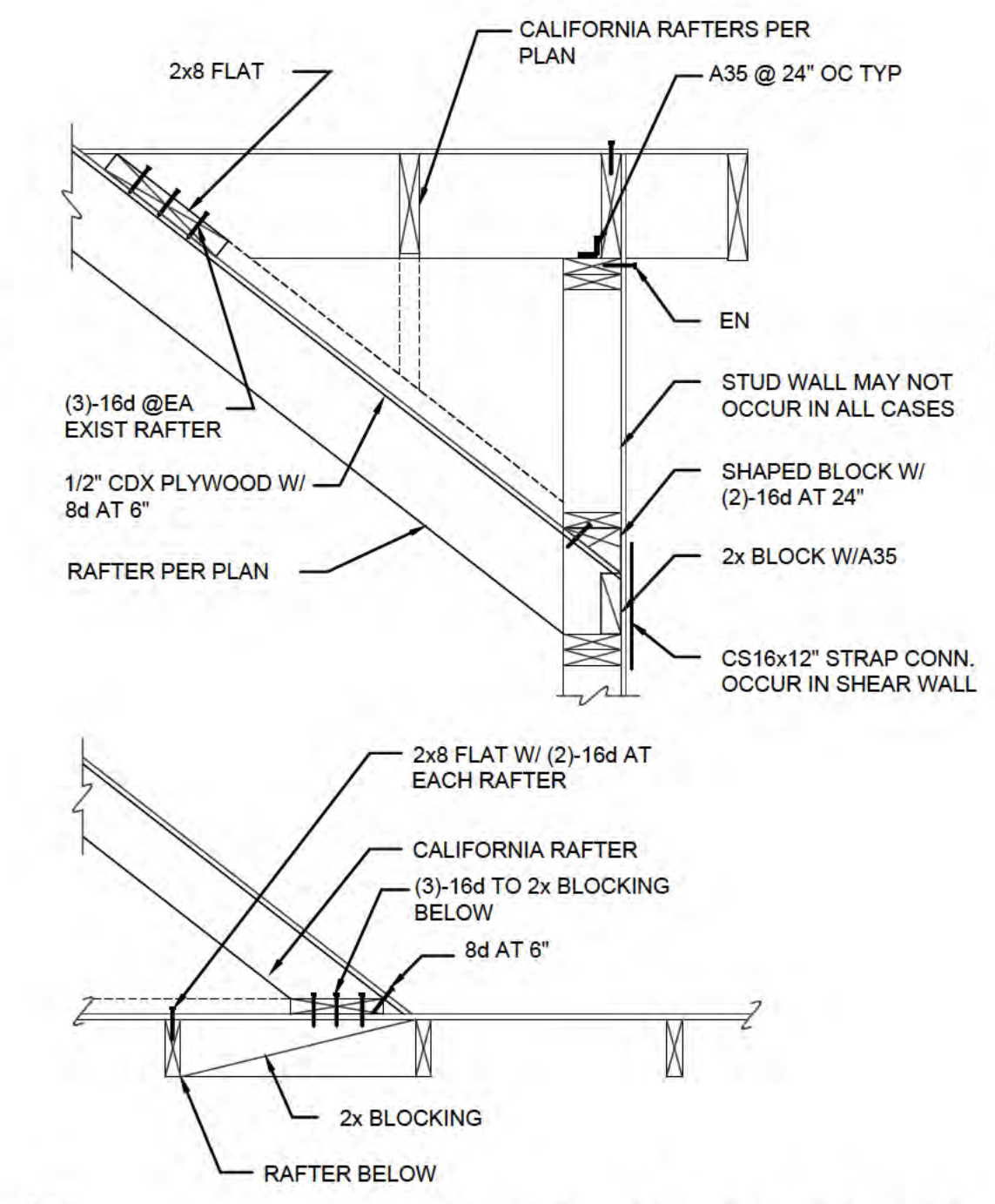
1. ALL SHEAR PANEL SHALL BE 1/2" OSB OR CDX PLYWOOD. ALL FIELD NAILING SHALL BE 10d @ 12" O.C.
 2. STUDS SHALL BE 2X4 MINIMUM AND SPACED @ 16" O.C. MAXIMUM U.N.
 3. INTERIOR SHEAR WALLS SHALL BE EXTENDED THROUGH THE ATTIC TO THE ROOF SHEATHING.
 4. NAILS SHALL BE COMMON NAILS, PLACED AT LEAST 1/2" FROM PANEL EDGES AND AT LEAST 1/2" FROM THE EDGE OF CONNECTION MEMBER OF ALL PANELS.
 5. NAILS SHALL BE STAGGERED IN TWO LINES ALONG PANEL EDGES WHEN NAIL SPACING IS 3" OR LESS O.C. (MINIMUM SPACING BETWEEN NAIL LINES IS 1/2")
 6. NAILS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIP GALVANIZED.
 7. SDS DENOTES 1/4" Ø SDS WOOD SCREWS WITH 2" MINIMUM PENETRATION INTO FRAMING BELOW. ROWS OF SDS SHALL BE STAGGERED 1/2" APART.
 8. ALL ANCHOR BOLTS SHALL HAVE 3" Ø x 1/4" W/ 11/16" x 3/4" DIAGONAL SLOT *USE STD. CUT WASHER O/ PLATE WASHER) PLATE WASHERS. USE 3/4" x 1/2" AT 6" THICK SHEAR WALL. PLATE WASHER. PLATE WASHER TO EXTEND TO WITHIN 1/2" OF THE EDGE OF THE SILL PLATE ON THE SIDE WITH SHEATHING.
 a. 5/8" A.B. W/ x 7" MINIMUM EMBEDMENT INTO CONCRETE. OR
 b. SIMPSON RETROFIT FOUNDATION PLATES URFP/FRFP PER MANUFACTURE'S RECOMMENDATION.
 c. 5/8" x 7" SIMPSON TITEN HD.
 d. IN NON-P.T. SLABS, 5/8" EXPENSION BOLT W/ 2 3/4" MIN. EMBEDMENT W/ MINIMUM 9" EDGE DISTANCE.



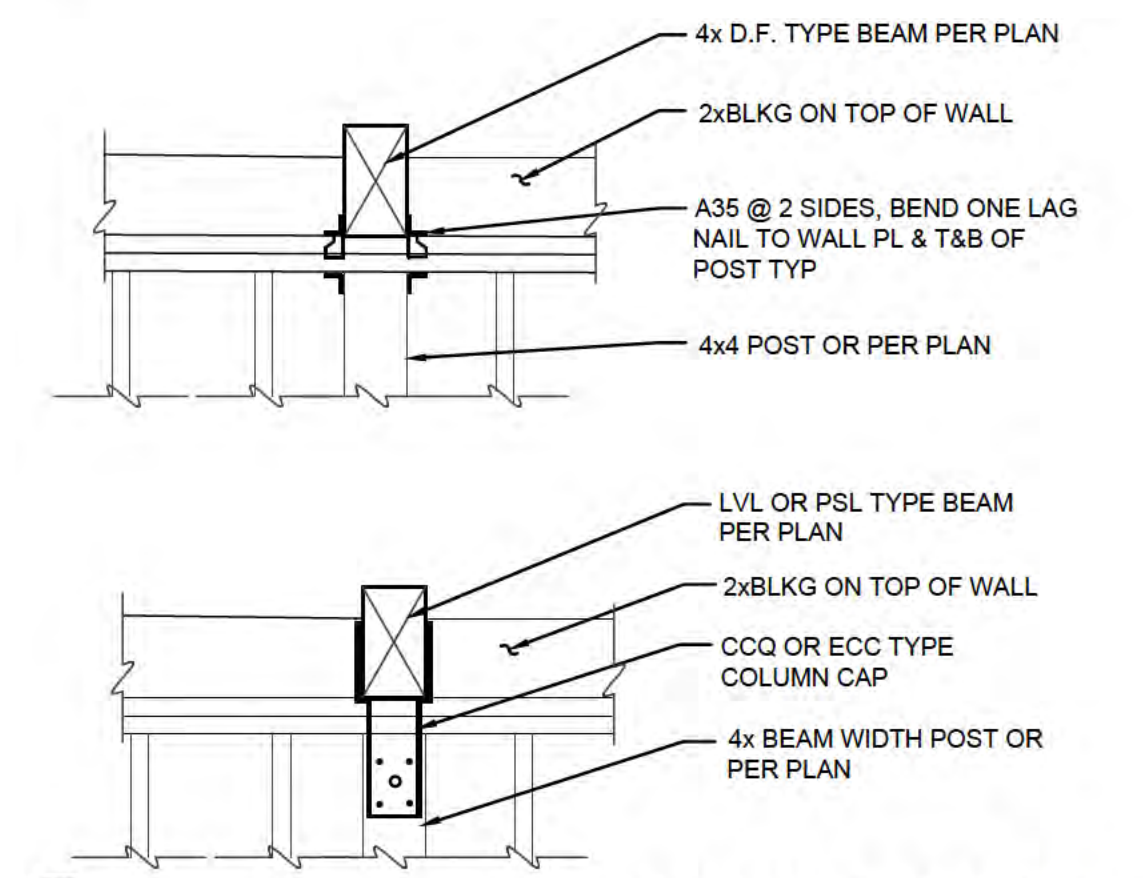
17 STRAP AND HOLDOWN DETAIL



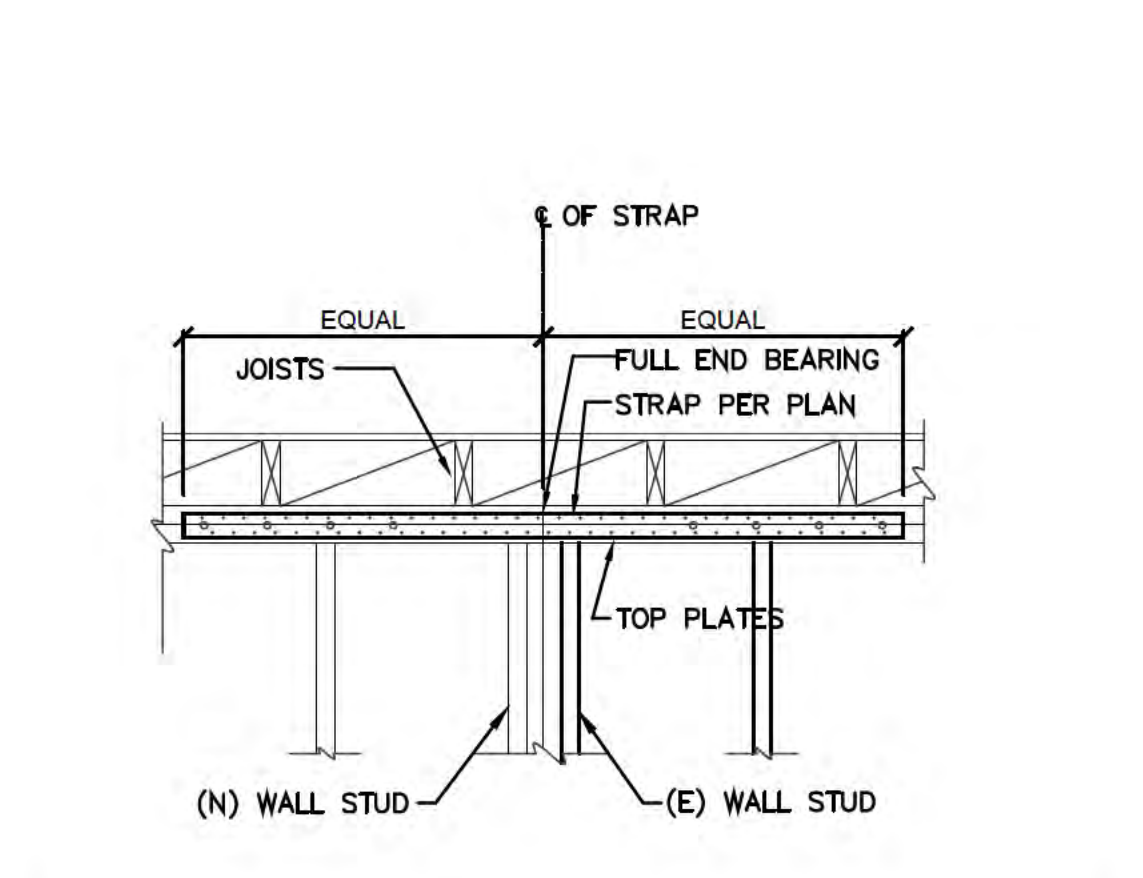
18 EXTERIOR WALL & ROOF DETAIL



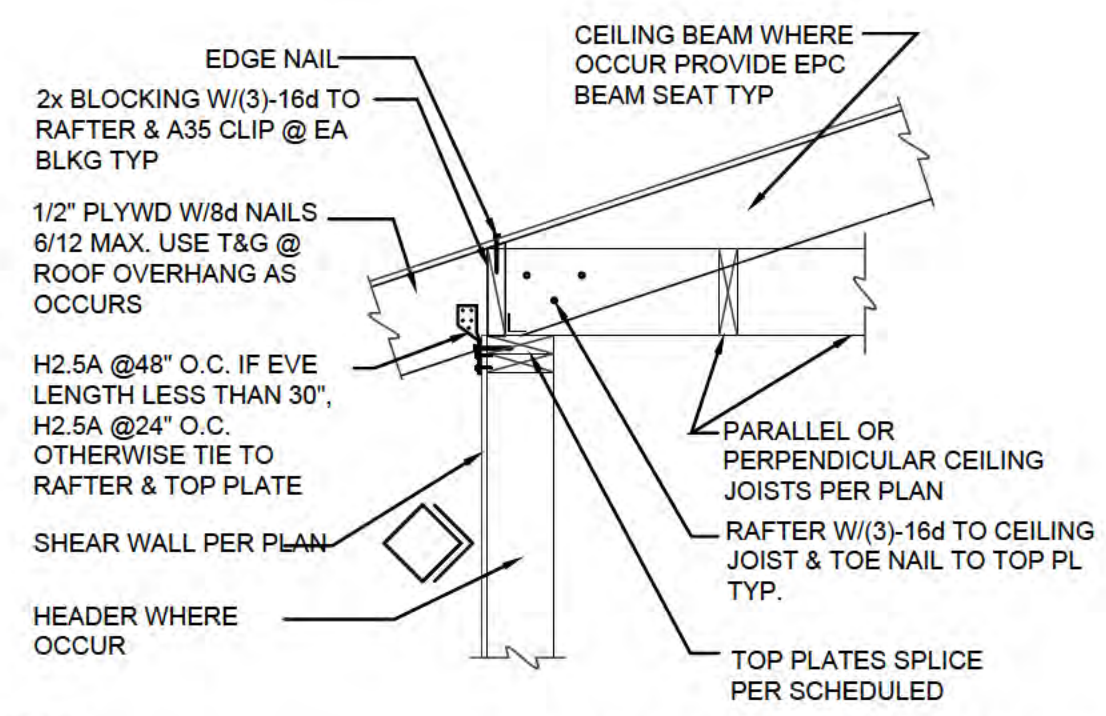
14 CALIFORNIA ROOF FRAMING



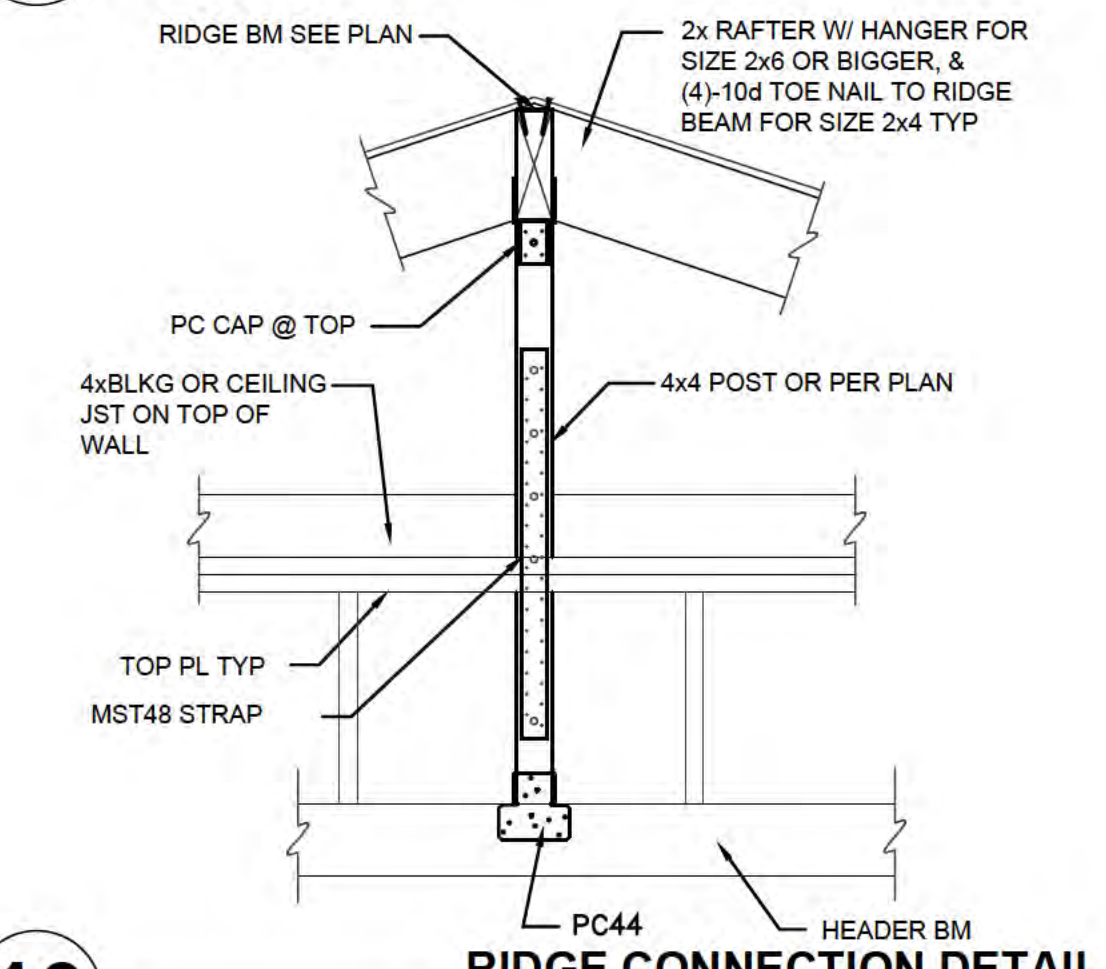
15 BEAM TO POST DETAIL



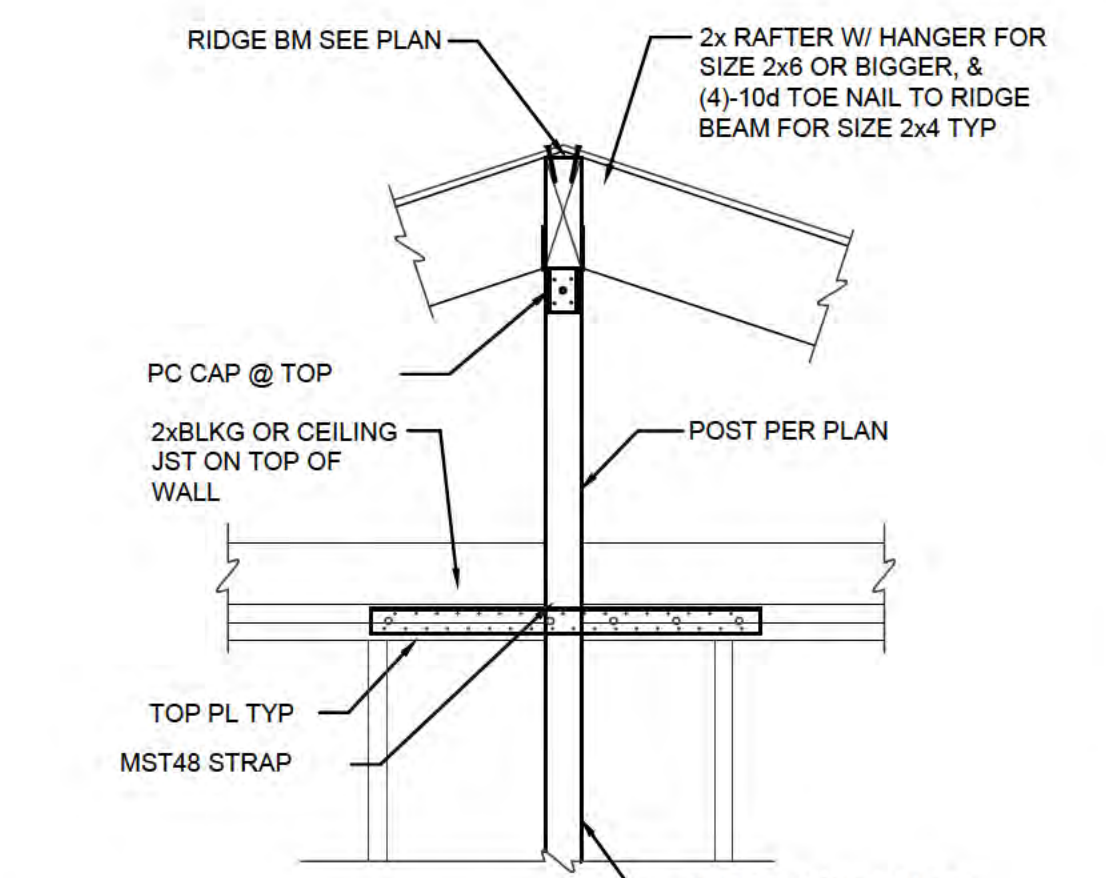
16 DRAG DETAIL



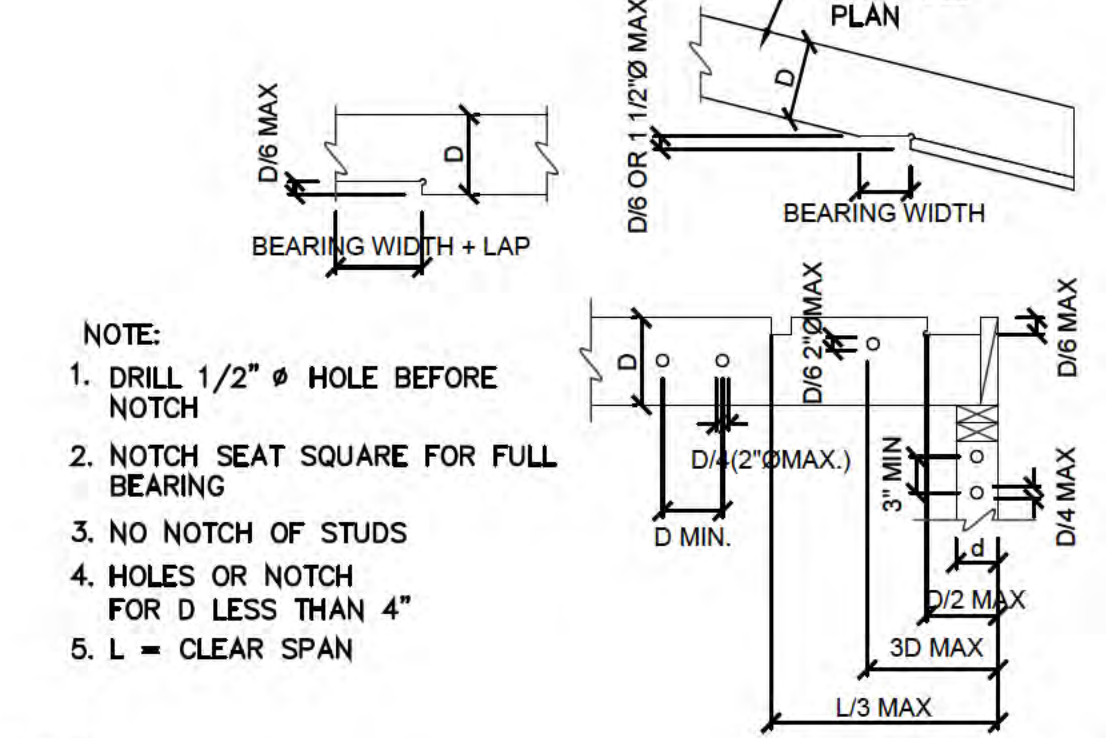
9 SHEAR TRANSFER AT EAVE



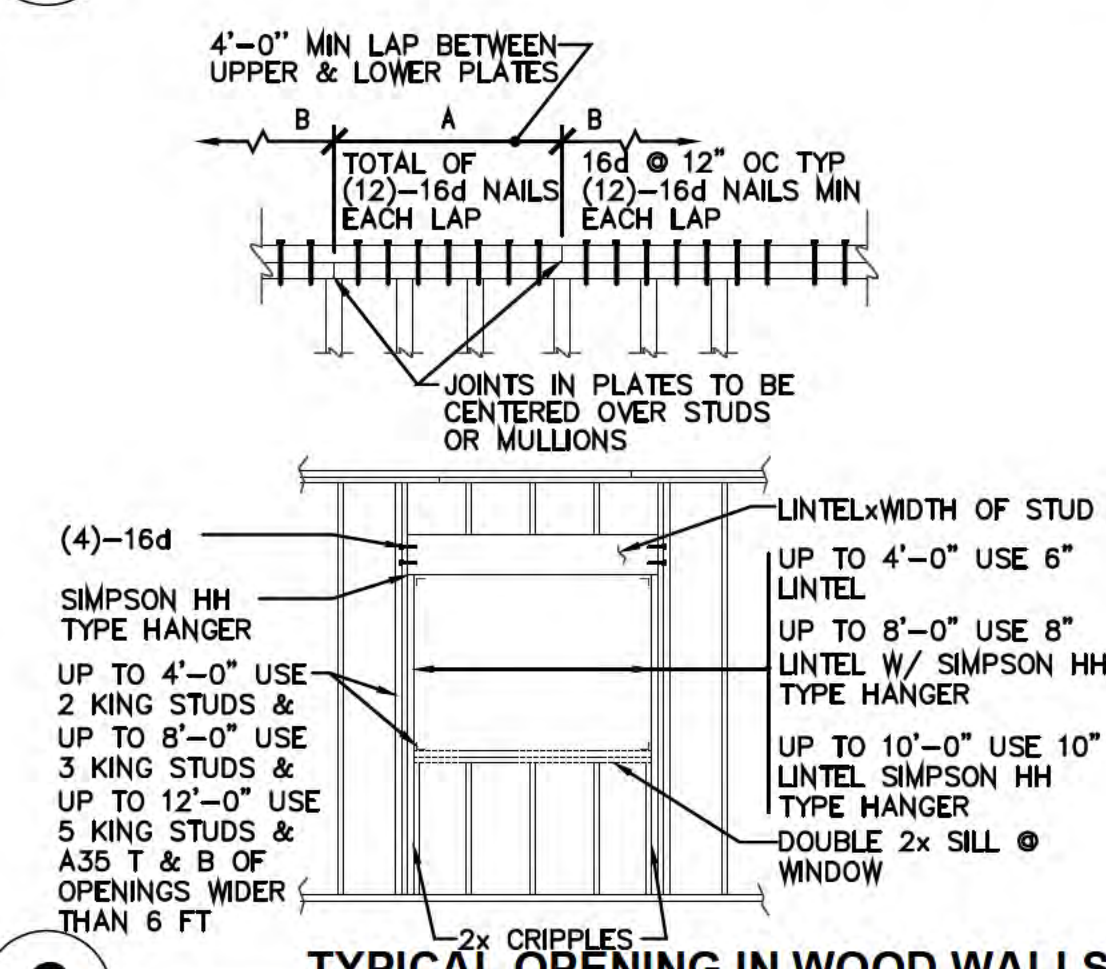
11 INTERIOR SHEAR WALL DETAIL



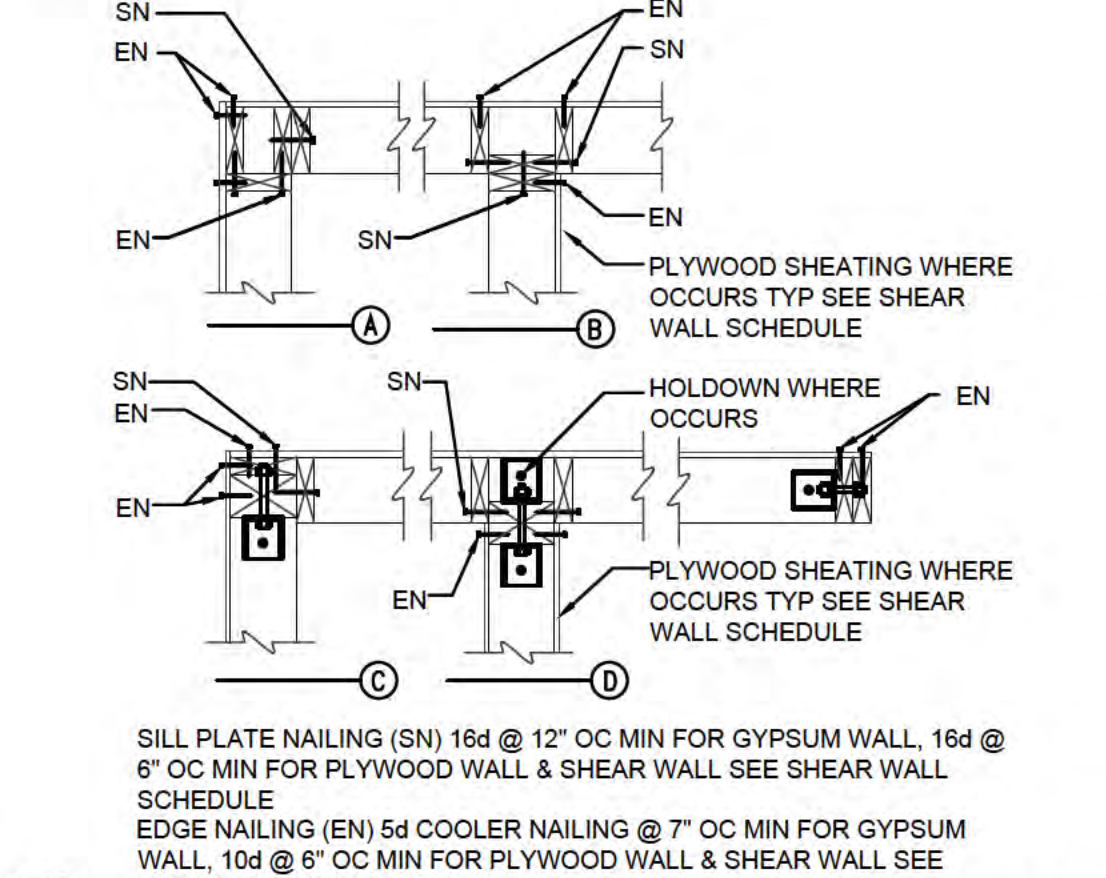
12 RIDGE CONNECTION DETAIL



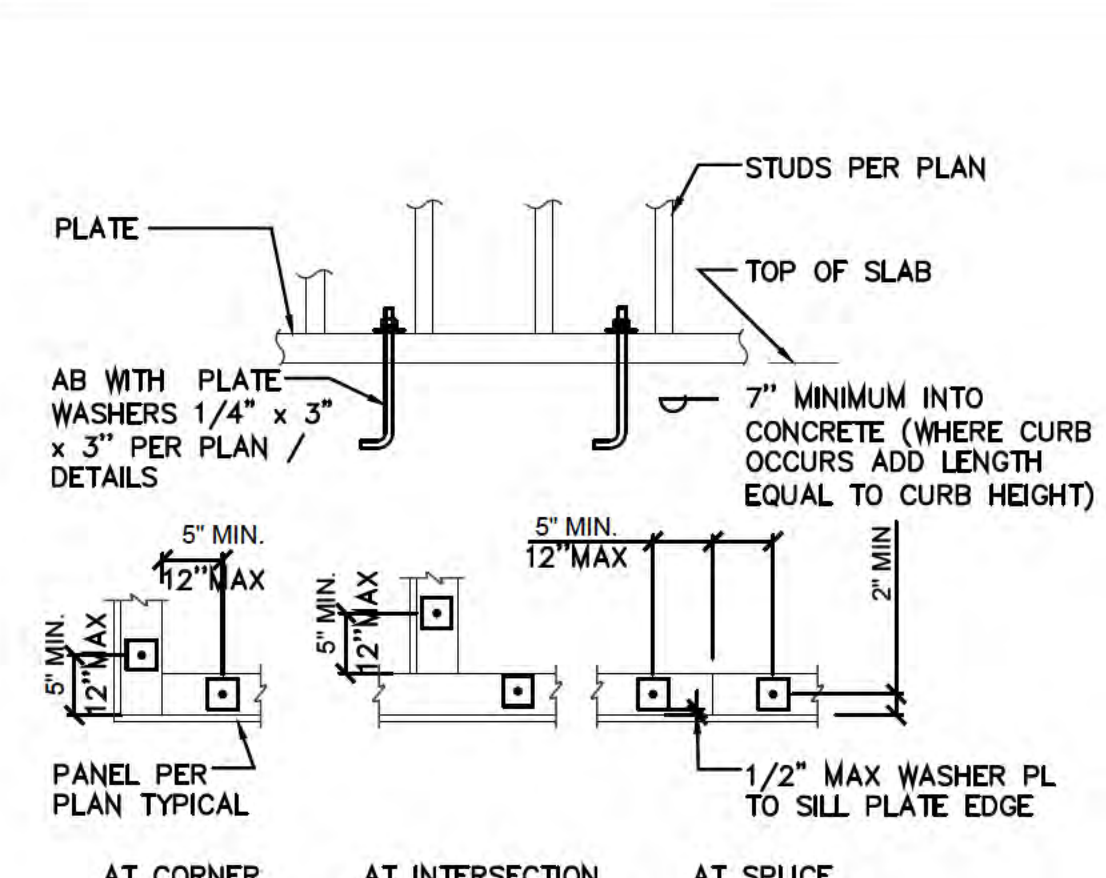
5 NOTCH DETAIL



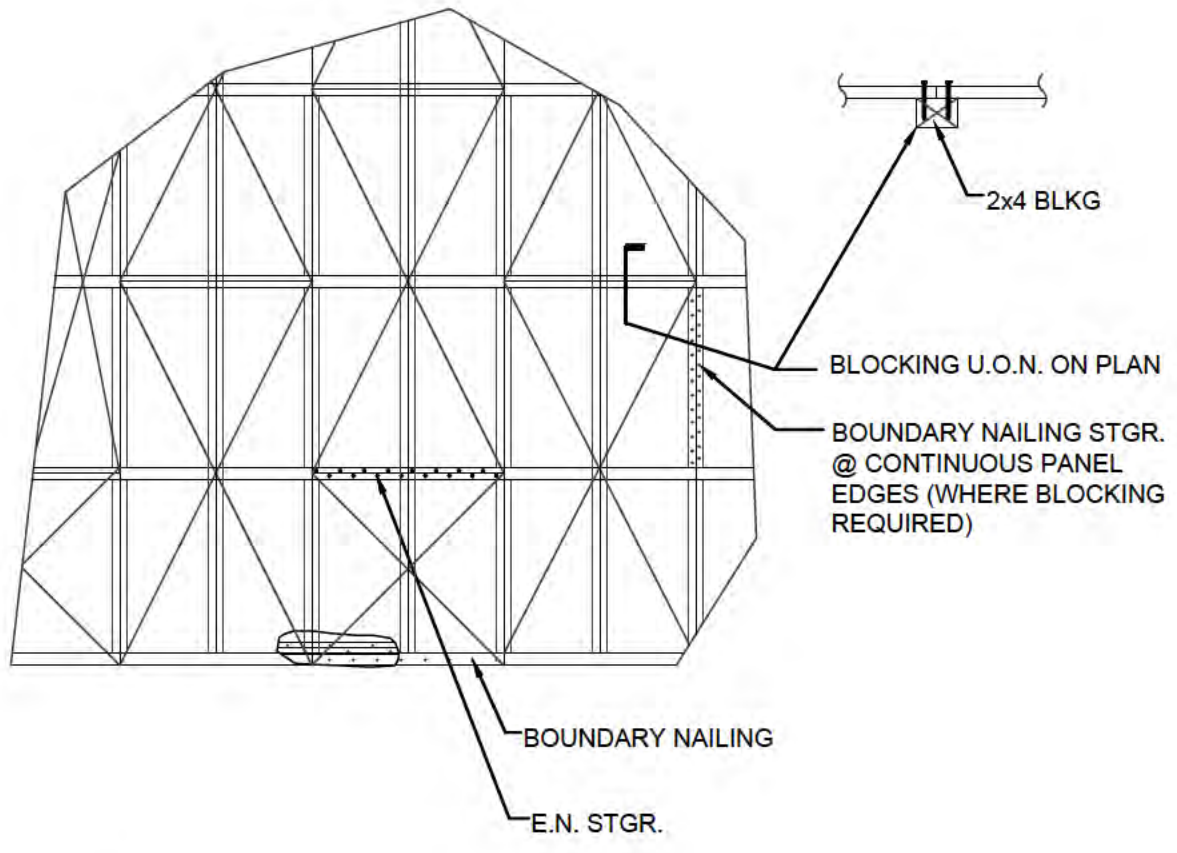
6 TYPICAL OPENING IN WOOD WALLS



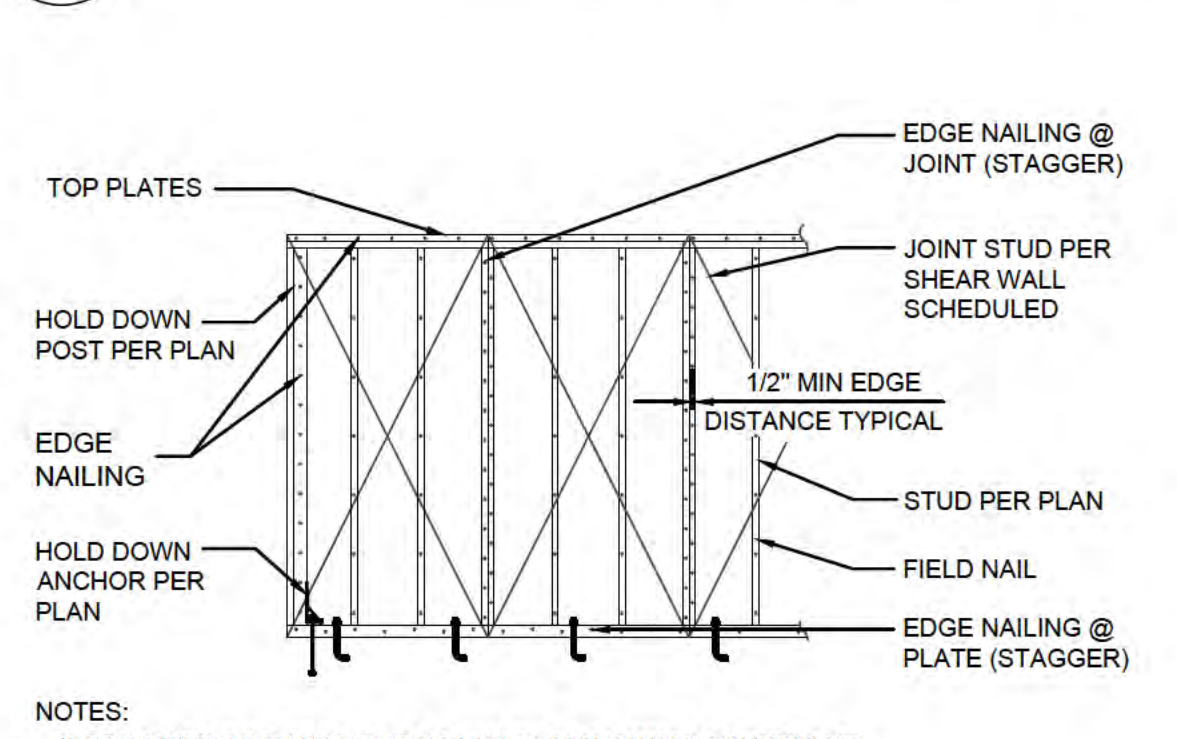
7 STUD WALL CONNECTION



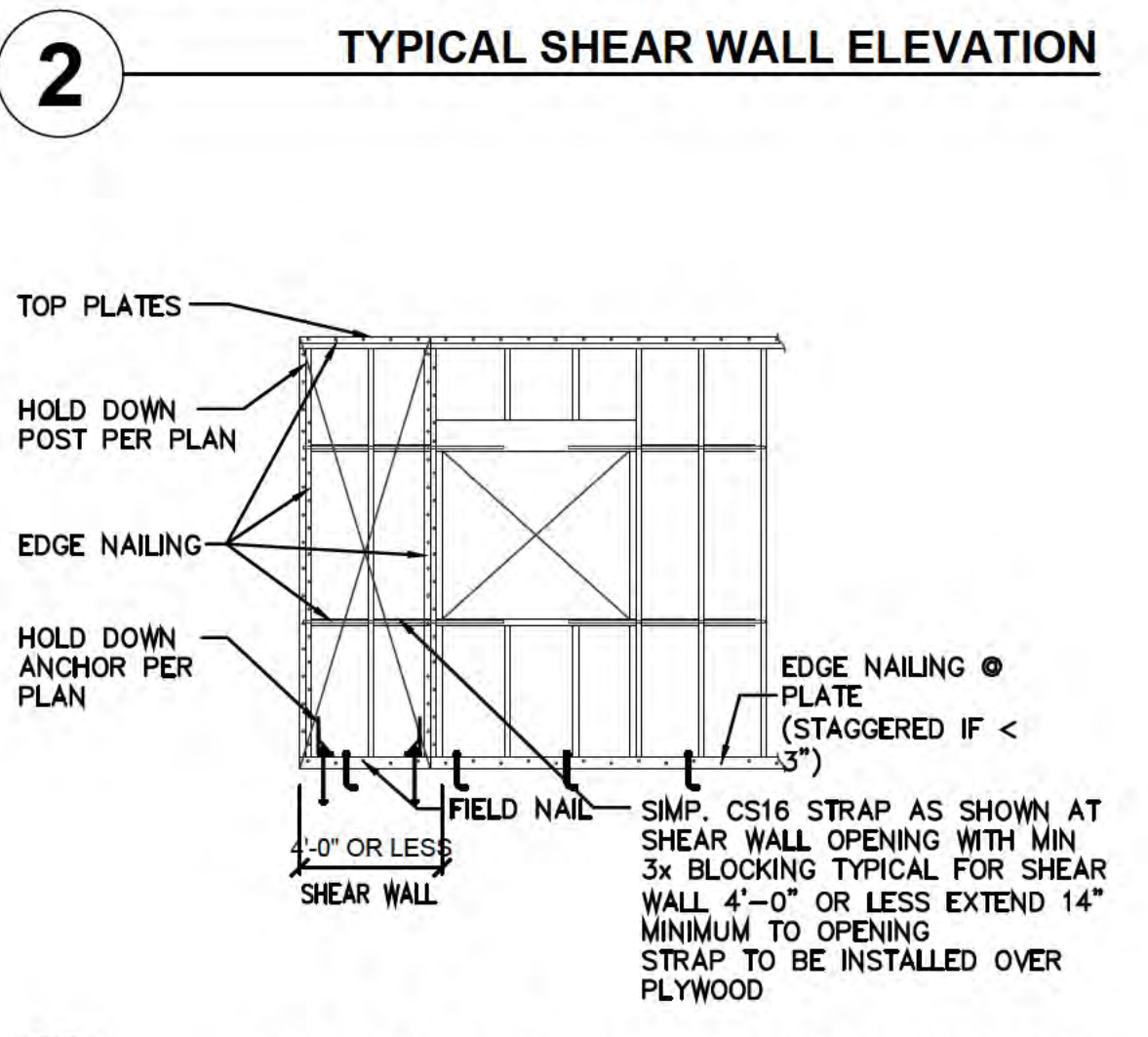
8 TYPICAL PLATE ANCHOR BOLTS



1 TYPICAL ROOF & FL DIAPHRAGM

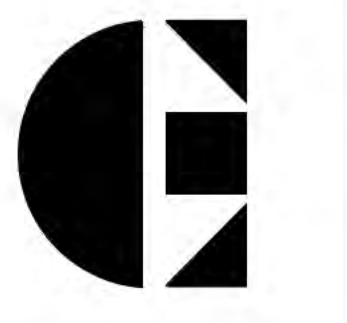


2 TYPICAL SHEAR WALL ELEVATION



3 SHEAR WALL W/ OPENING ELEVATION

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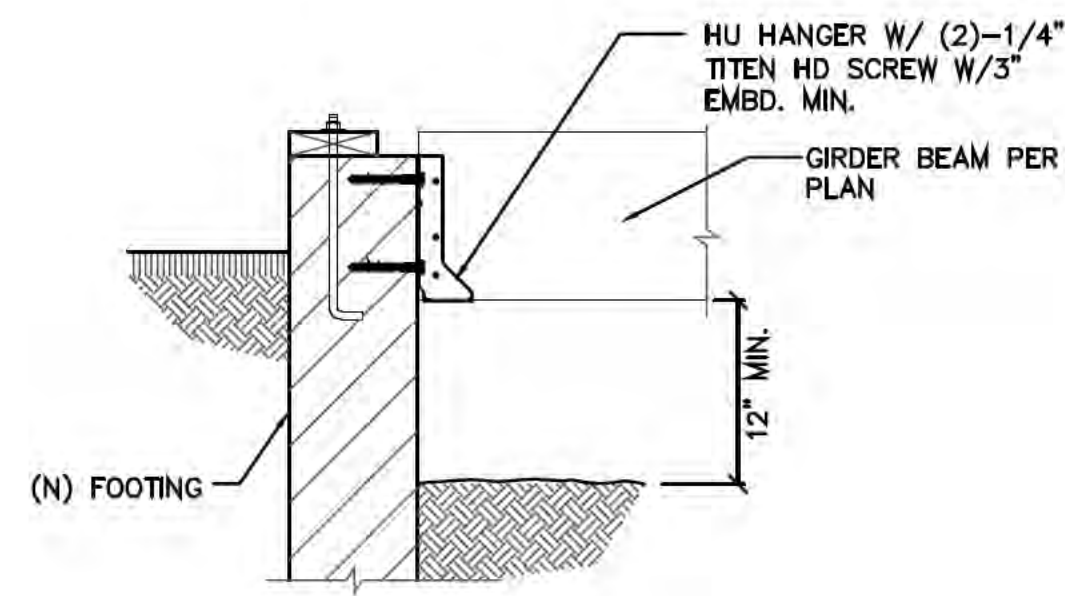


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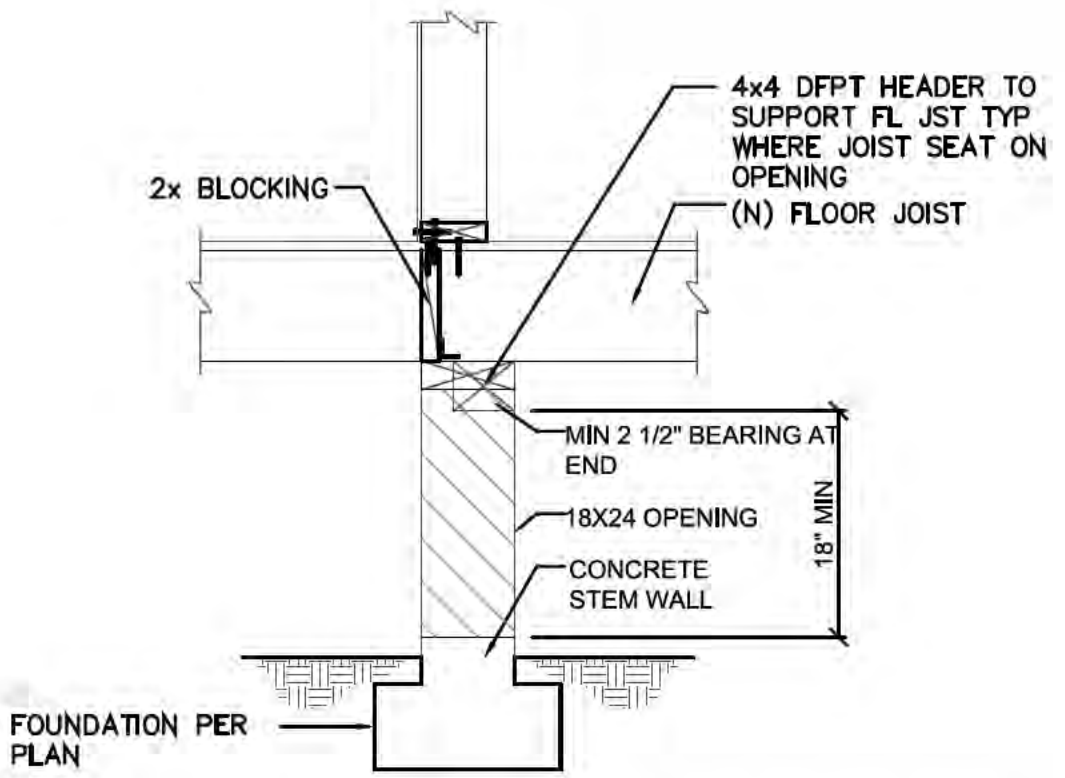
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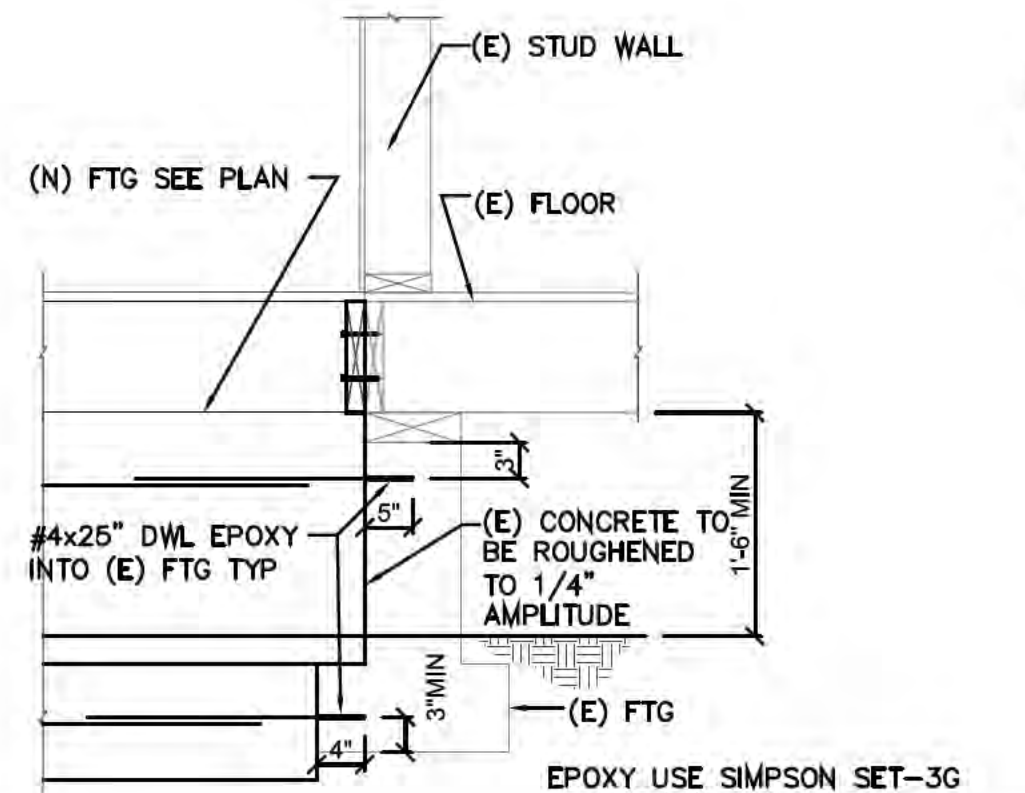
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SHEET NO.
SD1.0
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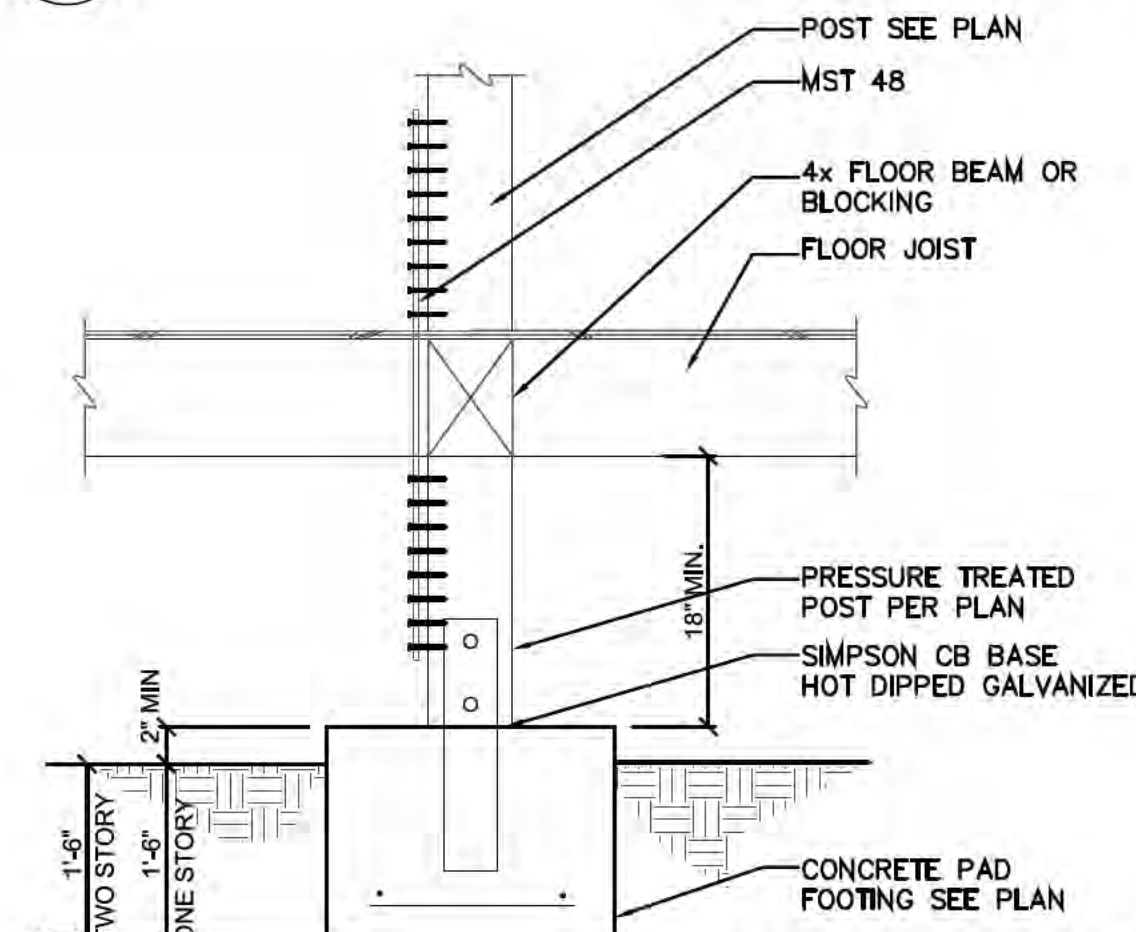
13 GIRDER BEAM TO (N) FOOTING



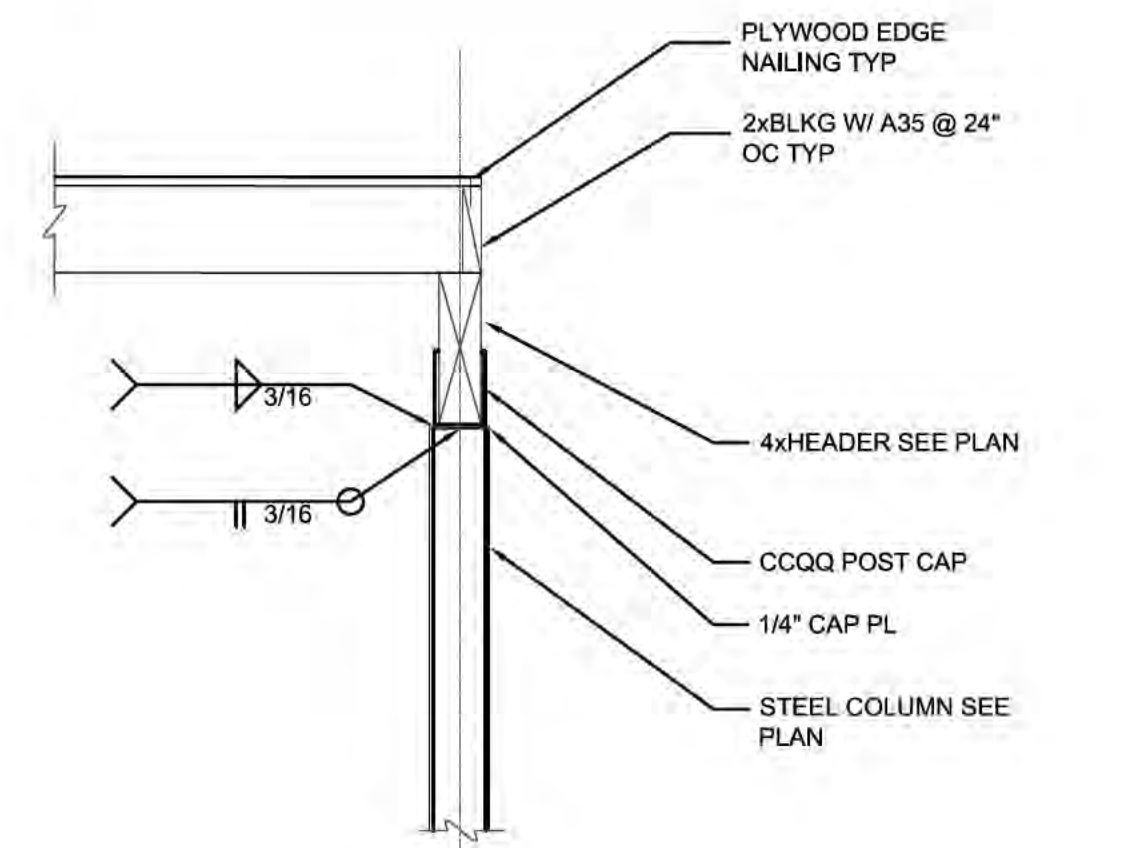
14 (N) FL JST TO (N) FL JST W/ (N) FTG



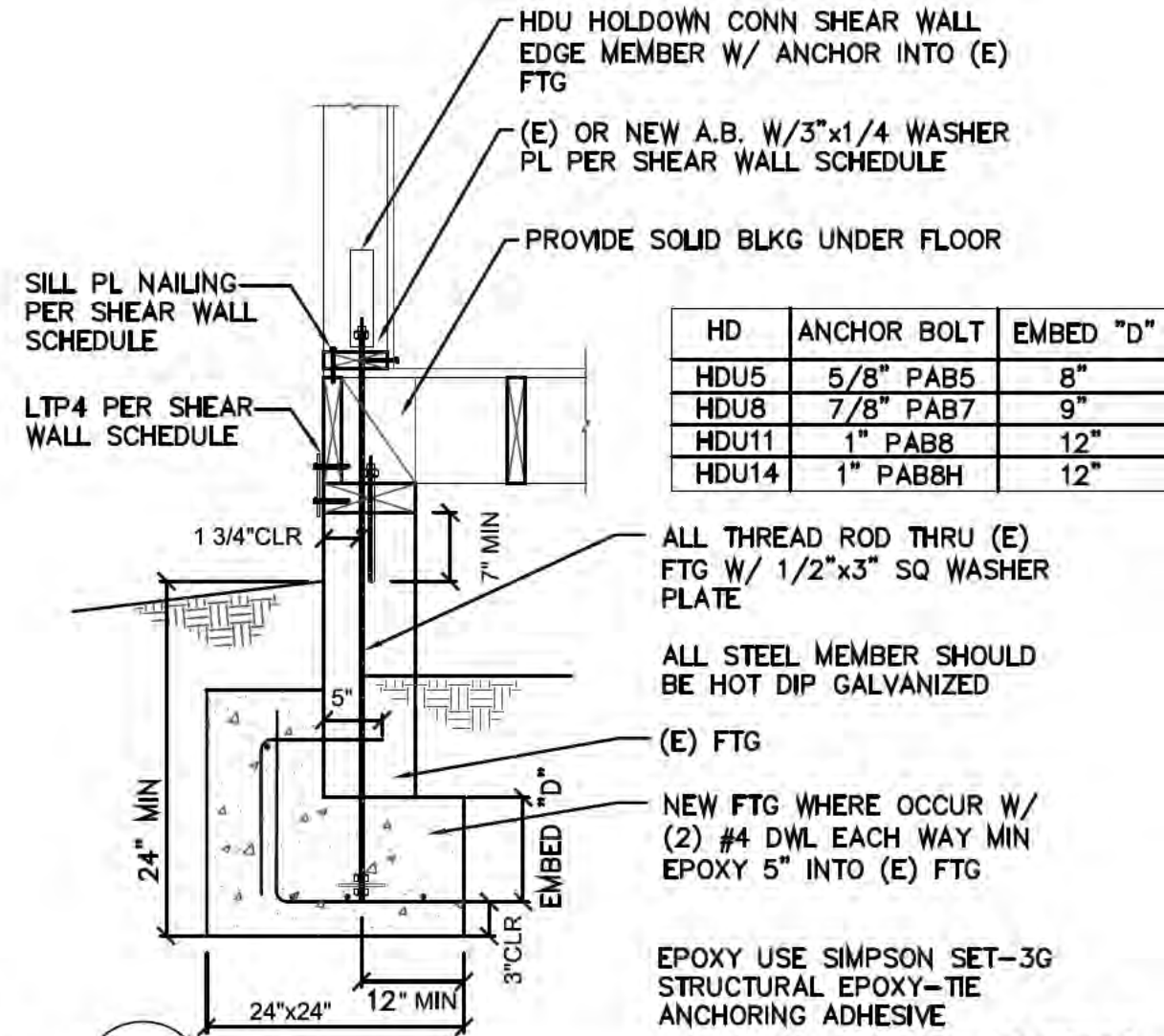
9 (N) FTG TO (E) FTG



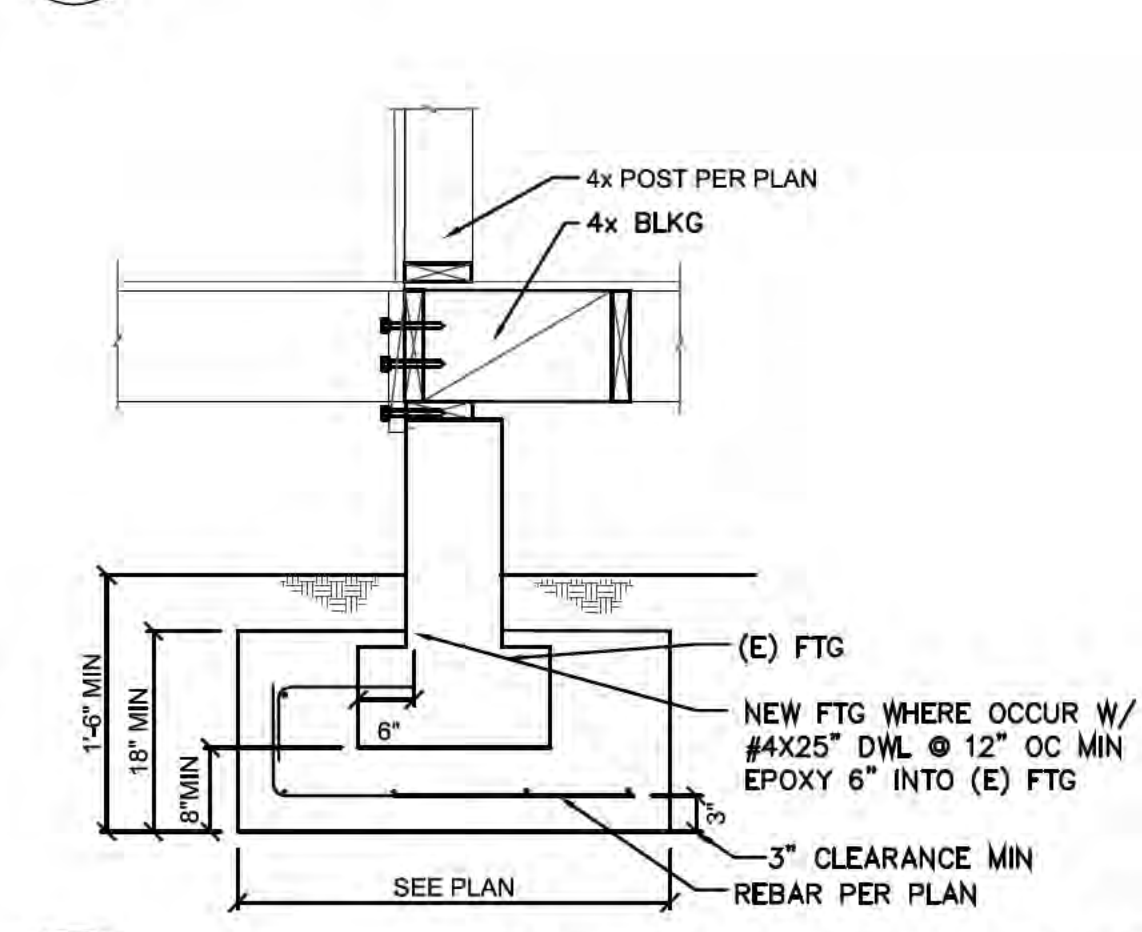
10 POST TO PAD FTG



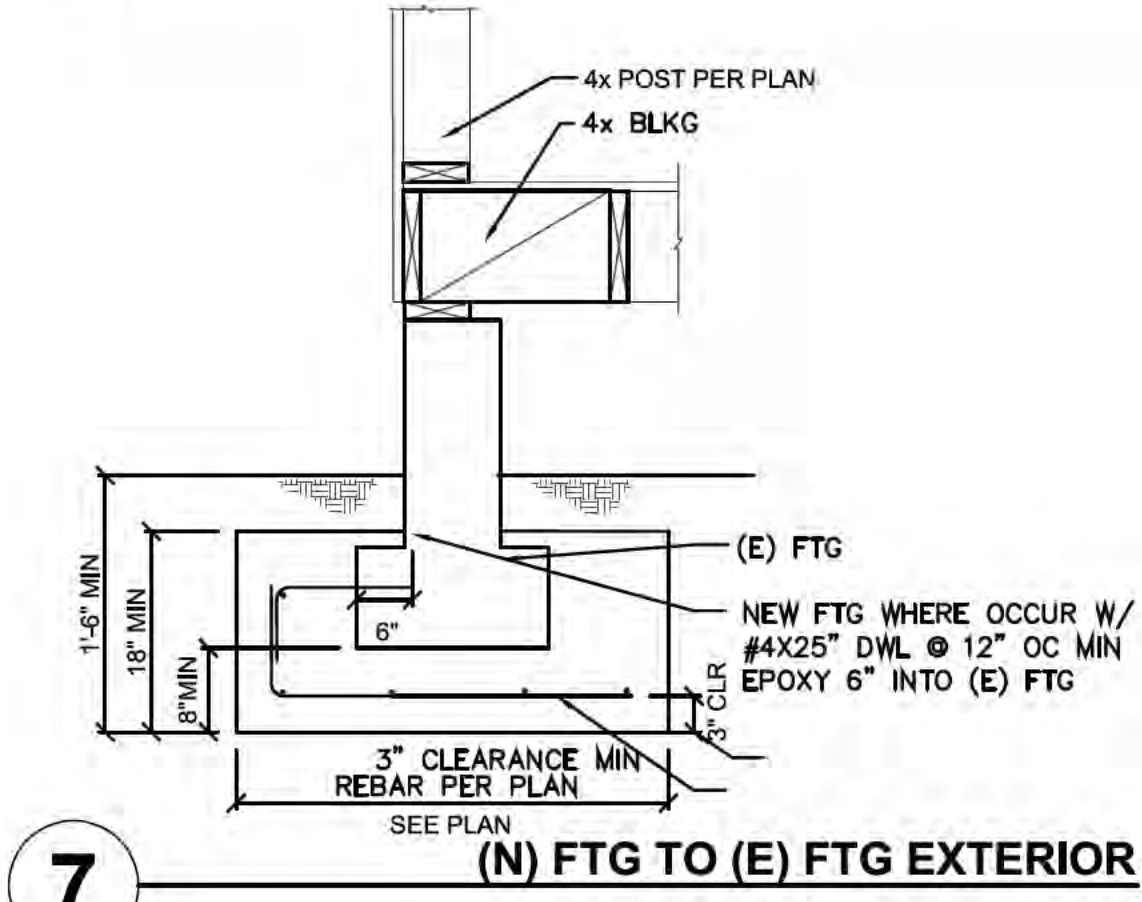
12 STEEL CONC PIER DETAIL



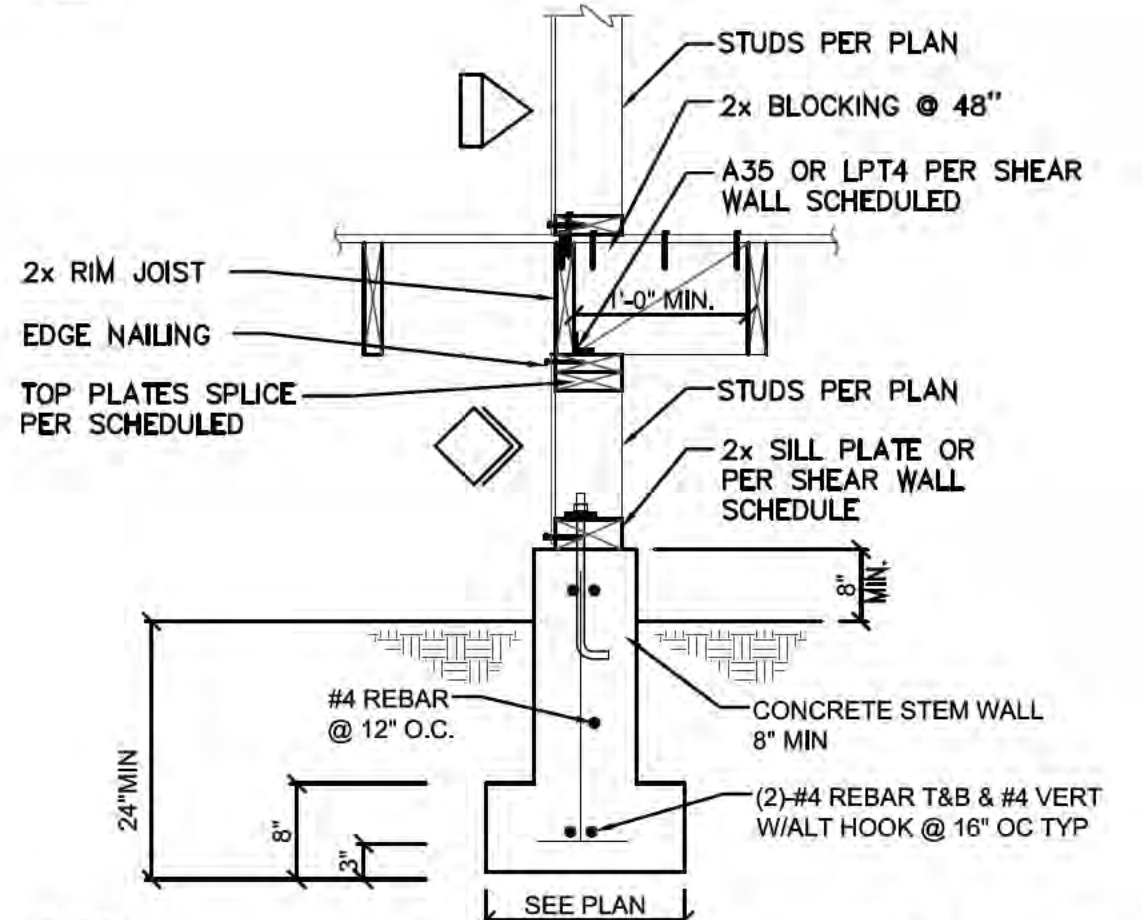
5 HDU DETAIL



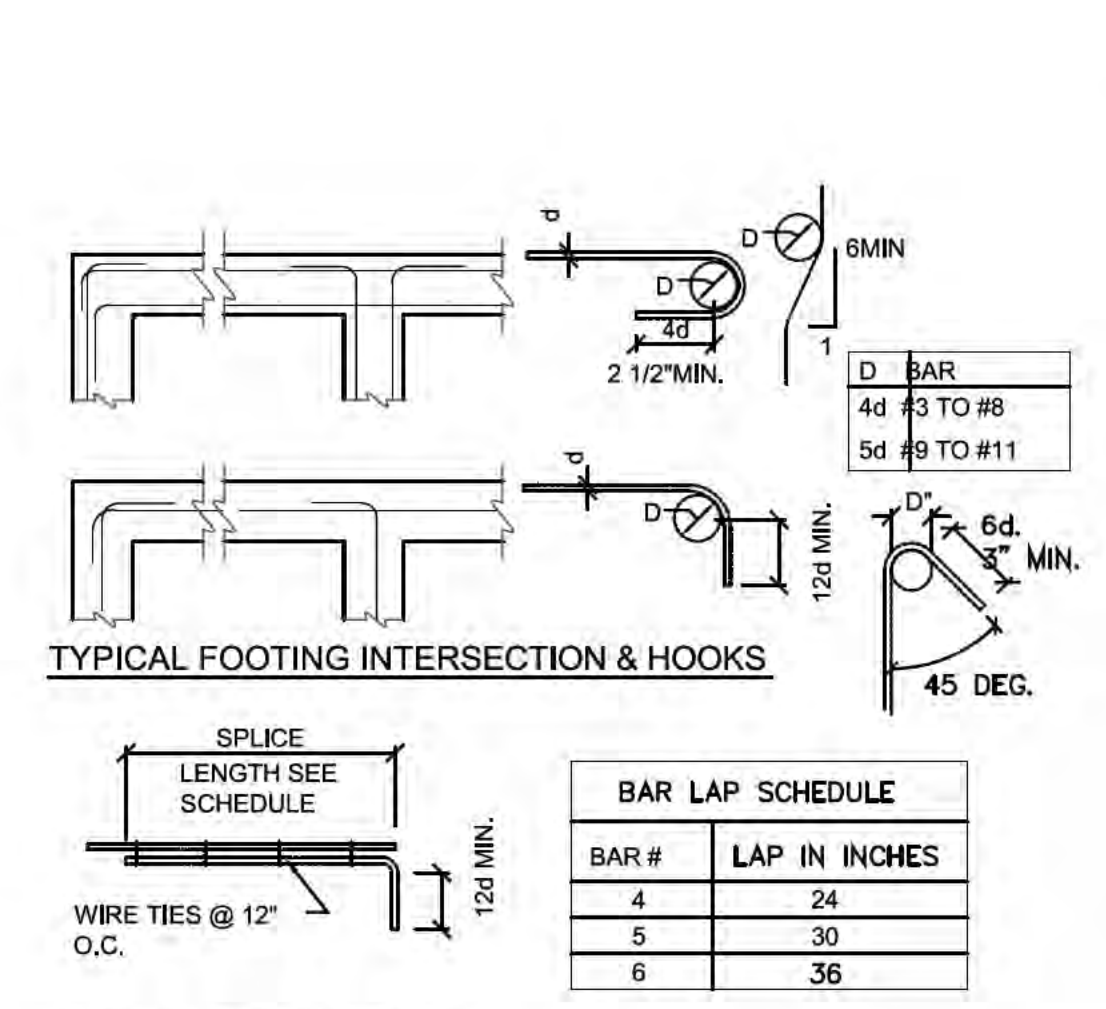
6 (N) FTG TO (E) FTG INTERIOR



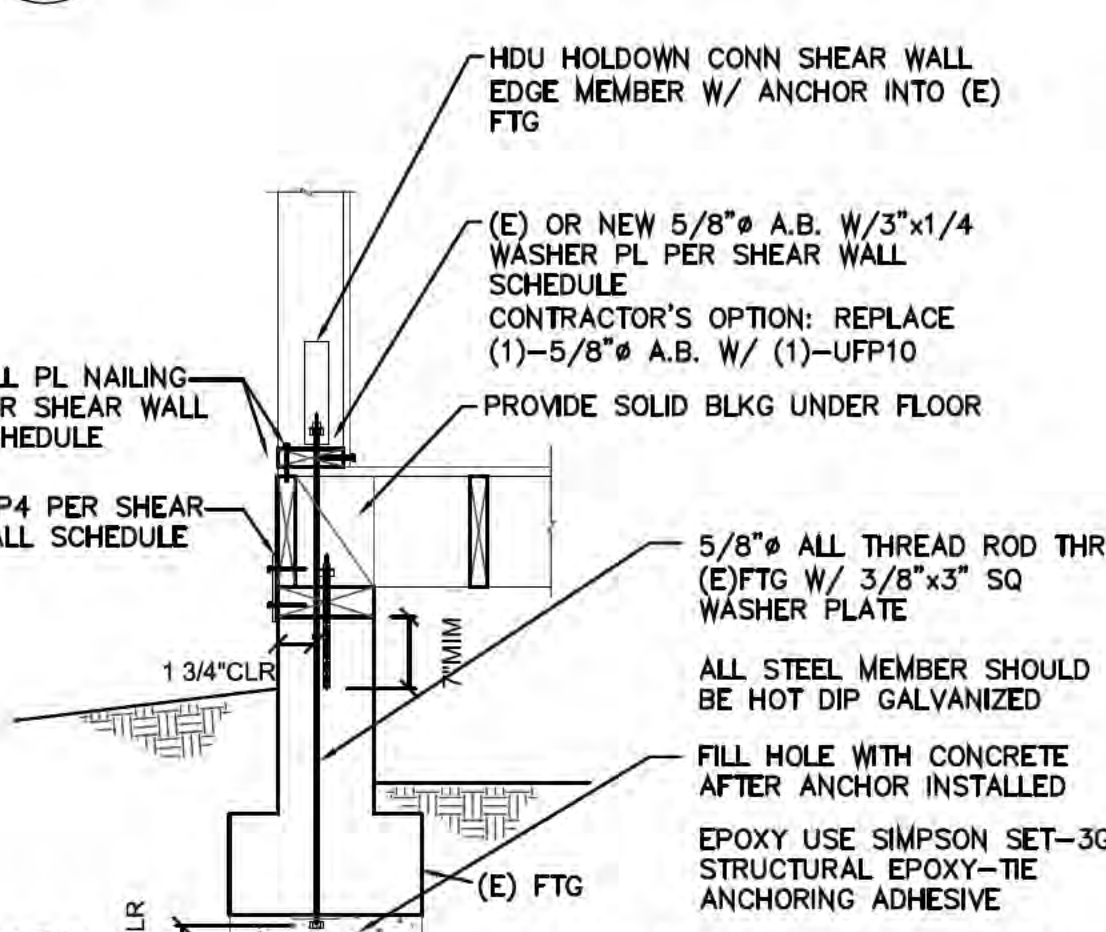
7 (N) FTG TO (E) FTG EXTERIOR



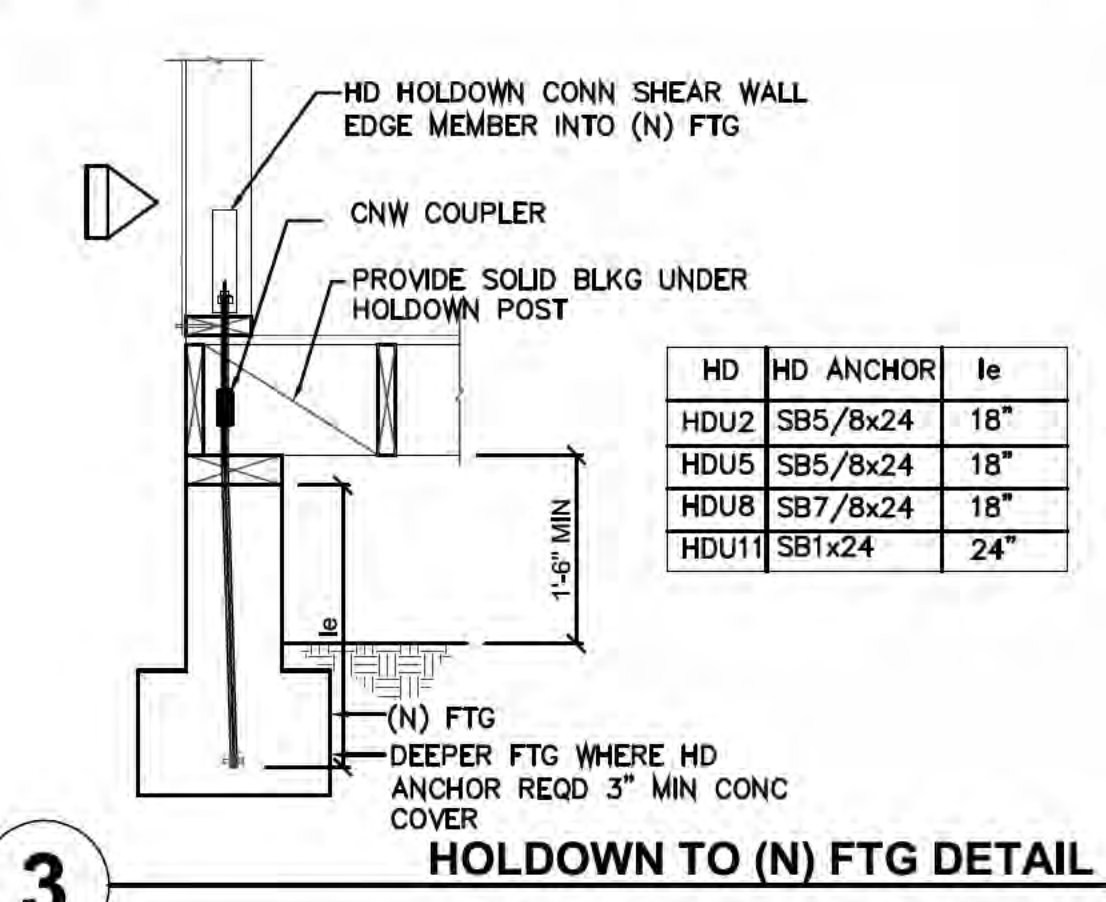
8 INTERIOR FTG



1 REBARS TYPICAL BENDING



2 HOLDOWN TO (E) FTG DETAIL



3 HOLDOWN TO (N) FTG DETAIL

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SHEET NAME.

DETAILS

SHEET NO.

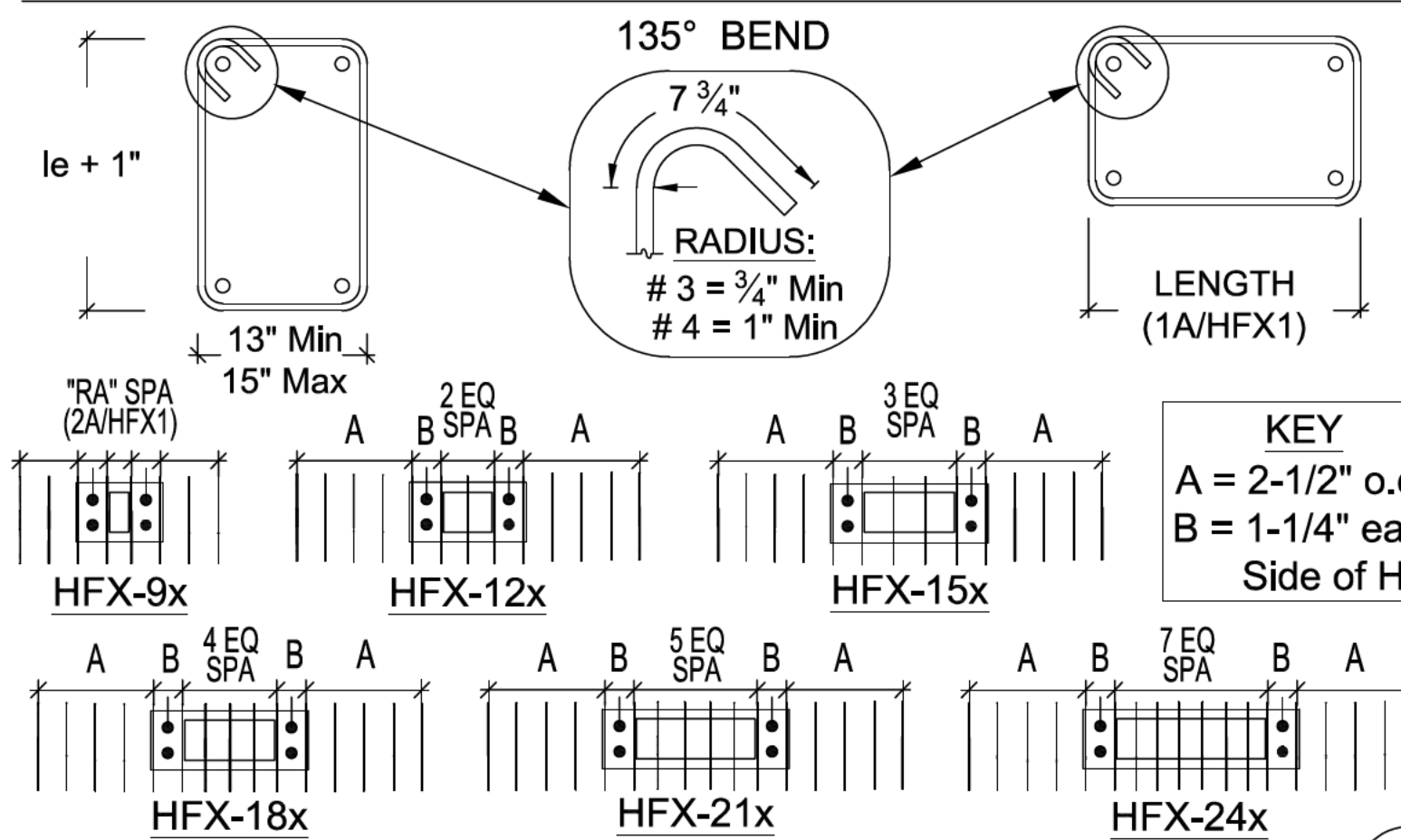
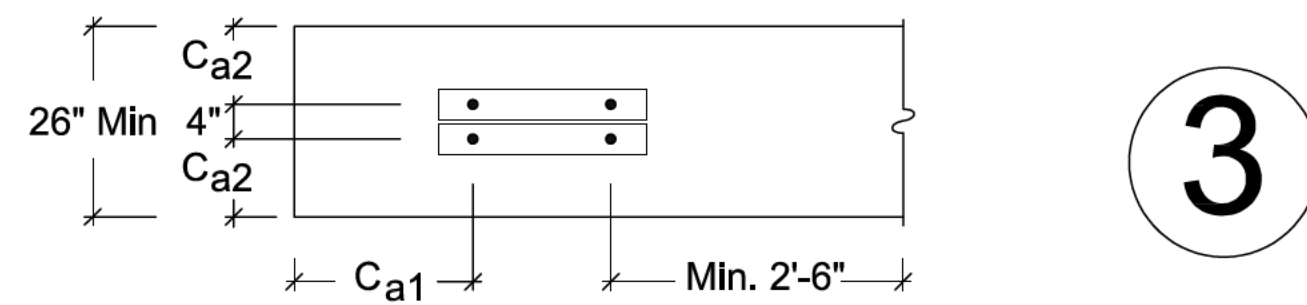
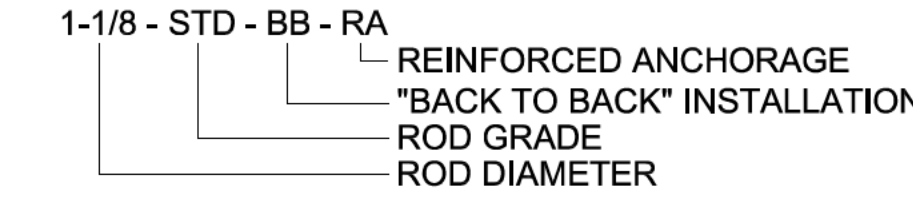
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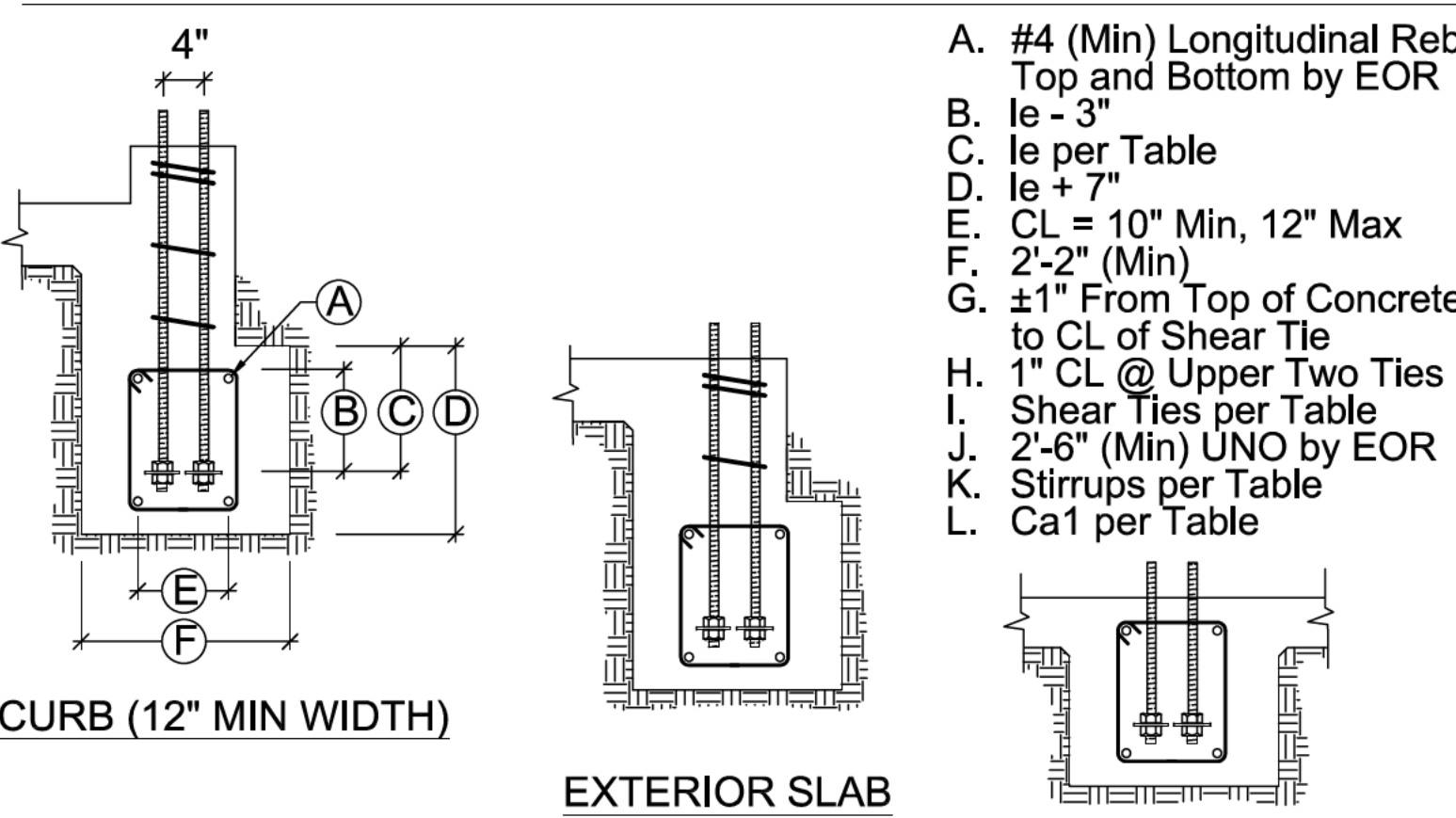
BACK TO BACK REINFORCED ANCHORAGE (BB-RA)

Model	Panel Width (in)	Anchorage ¹	Rod Dia (in)	Rod Grade	BB-RA			Stirrups ⁹ (in)	Shear ⁷ Ties
					le ⁴ (in)	Ca ⁵ (in)	Ca ⁶ (in)		
HFX-9x	9	1-1/8-STD-BB-RA	1-1/8	STD	15	19-3/4	11	8 - # 4	# 3 (min) @ 3-3/4" OC
HFX-12x	12	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA							
HFX-15x	15	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	STD HS	23	20-5/8	11	14 - # 4	# 4 (min) @ 4" OC	
HFX-18x	18	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	STD HS						
HFX-21x	21	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	STD HS	23	20-5/8	11	16 - # 4	# 4 (min) @ 4" OC	
HFX-24x	24	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	STD HS						

BACK TO BACK REINFORCED ANCHORAGE NOMENCLATURE



BB-RA SHEAR TIES & STIRRUPS

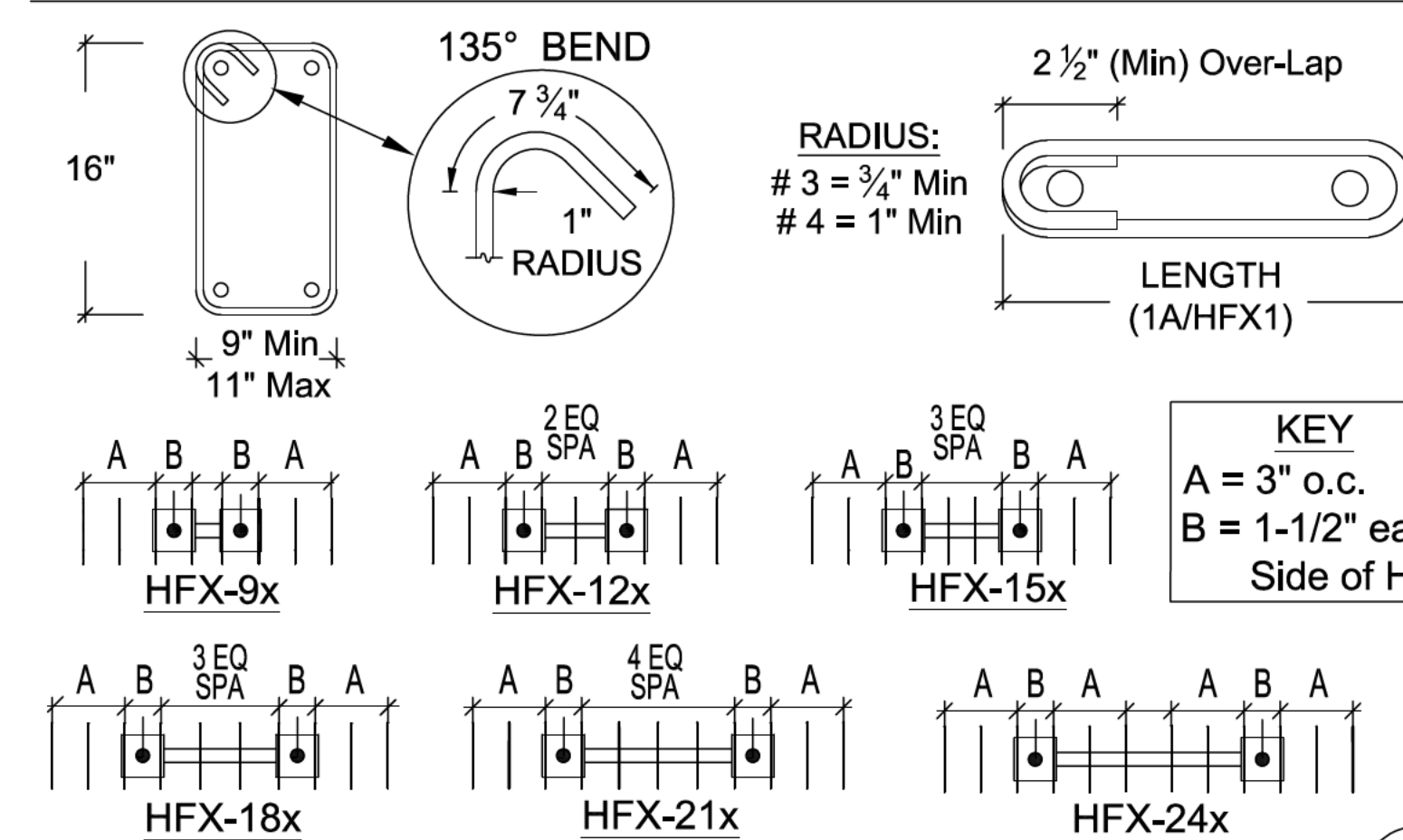
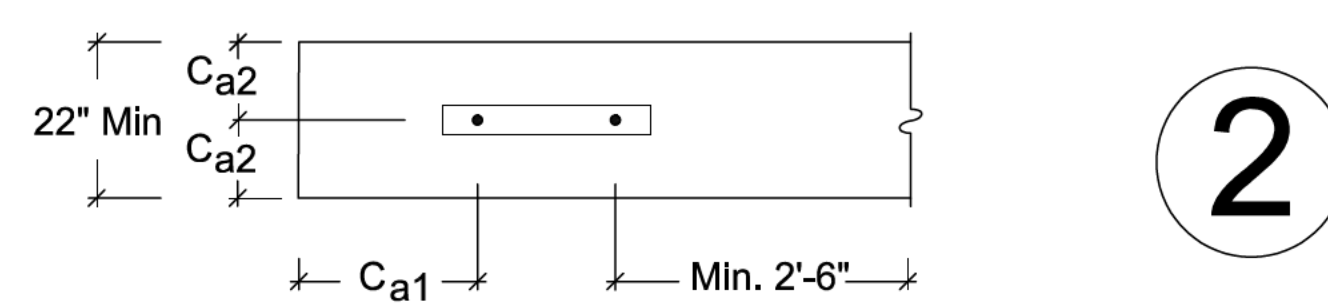
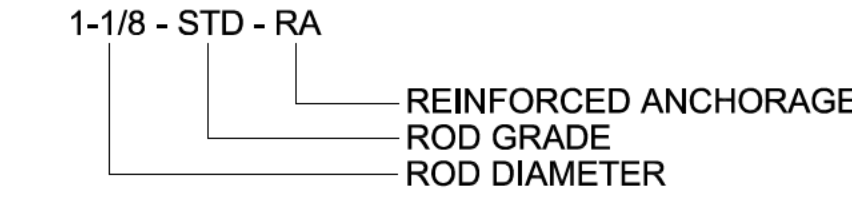


BB-RA SECTIONS & ELEVATIONS

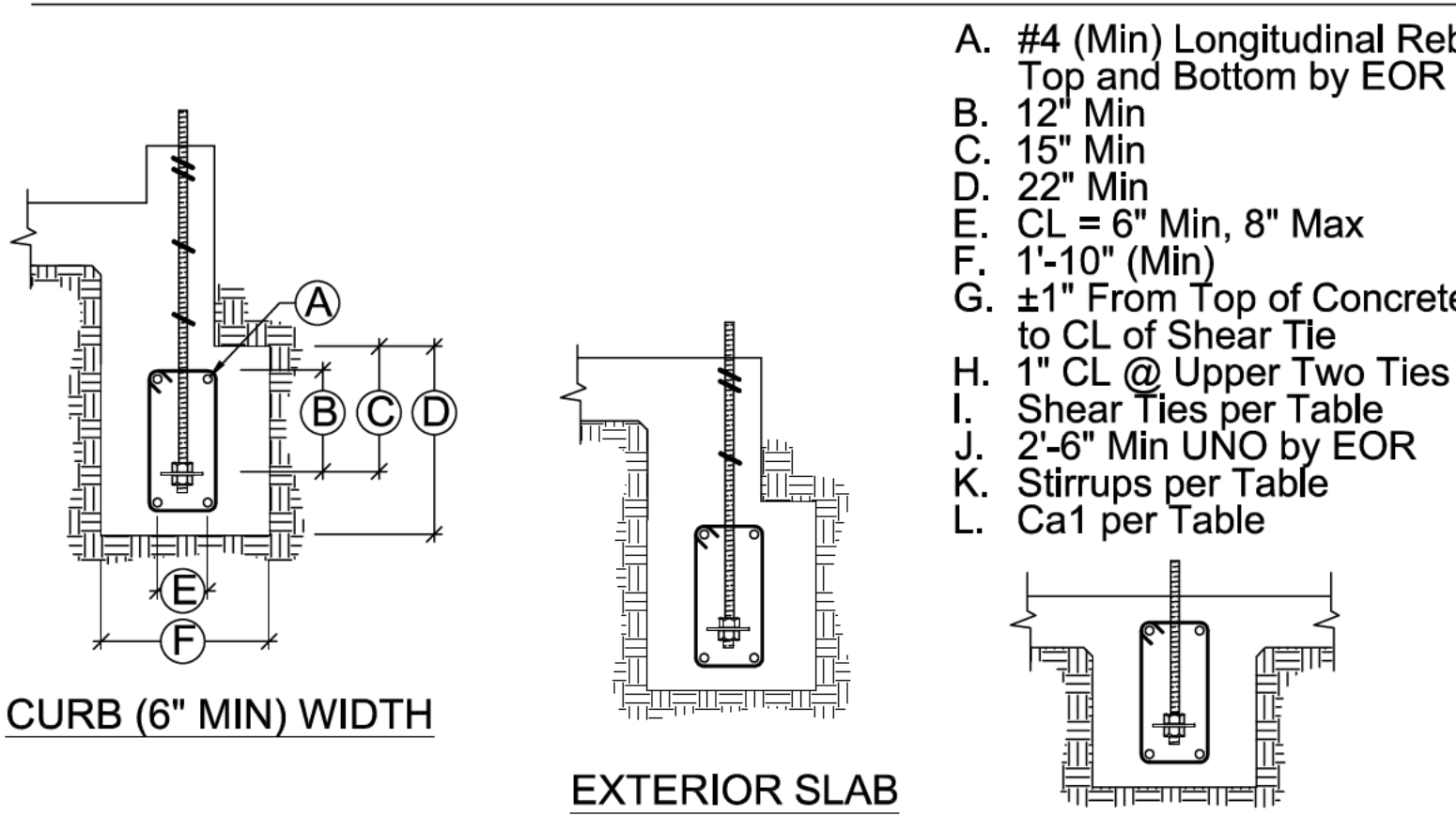
REINFORCED ANCHORAGE (RA)

Model	Panel Width (in)	Anchorage ¹	Rod Dia (in)	Rod Grade	RA			Stirrups ⁹ (in)	Shear ⁷ Ties
					le ⁴ (in)	Ca ⁵ (in)	Ca ⁶ (in)		
HFX-9x	9	1-1/8-STD-RA	1-1/8	STD	15	19-3/4	11	8 - # 4	# 3 (min) @ 3-3/4" OC
HFX-12x	12	1-1/8-STD-RA 1-1/8-HS-RA							
HFX-15x	15	1-1/8-STD-RA 1-1/8-HS-RA	STD HS	23	20-5/8	11	10 - # 4	# 3 (min) @ 4" OC	
HFX-18x	18	1-1/8-STD-RA 1-1/8-HS-RA	STD HS						
HFX-21x	21	1-1/8-STD-RA 1-1/8-HS-RA	STD HS	23	20-5/8	11	11 - # 4	# 4 (min) @ 4" OC	
HFX-24x	24	1-1/8-STD-RA 1-1/8-HS-RA	STD HS						

REINFORCED ANCHORAGE NOMENCLATURE



RA SHEAR TIES & STIRRUPS

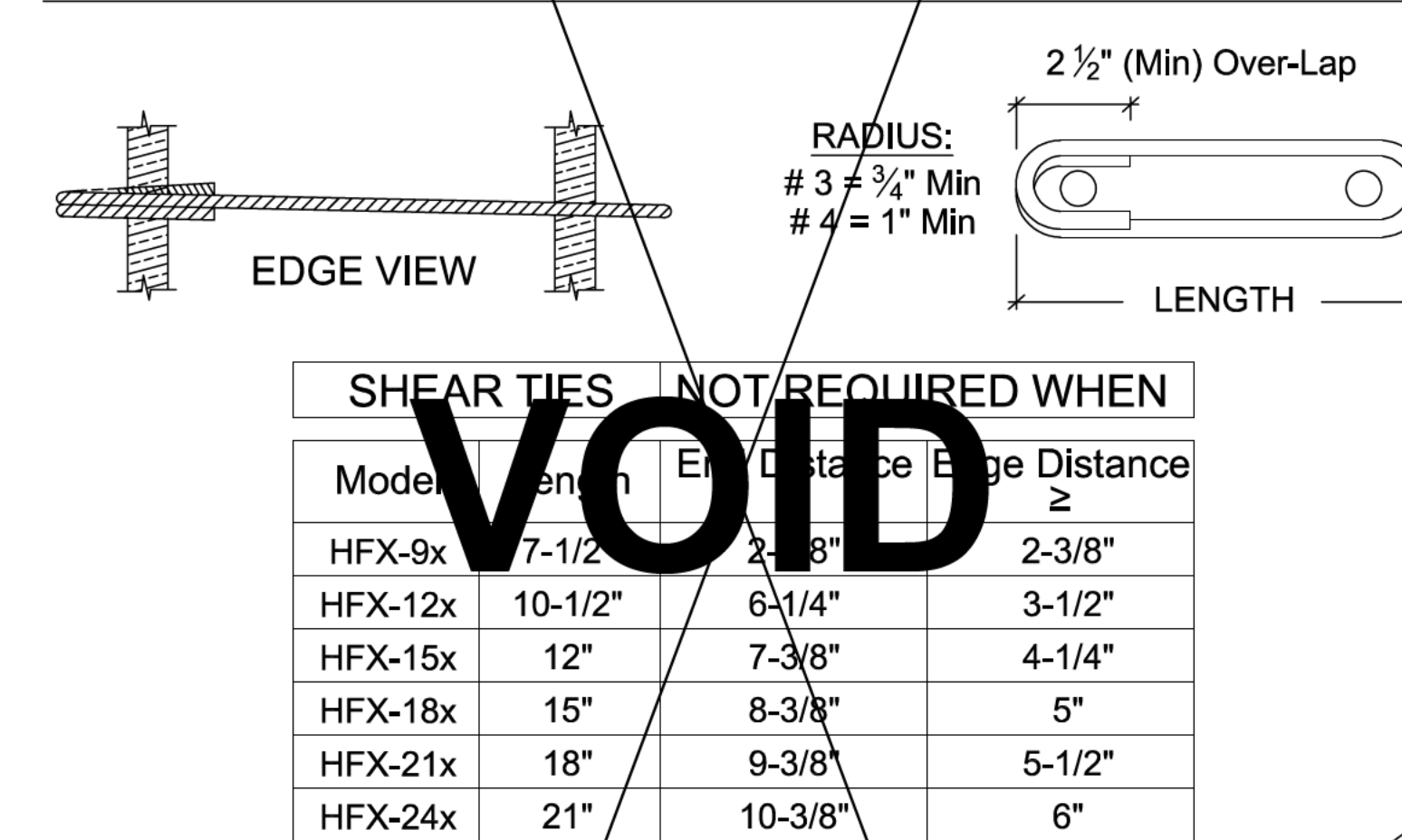
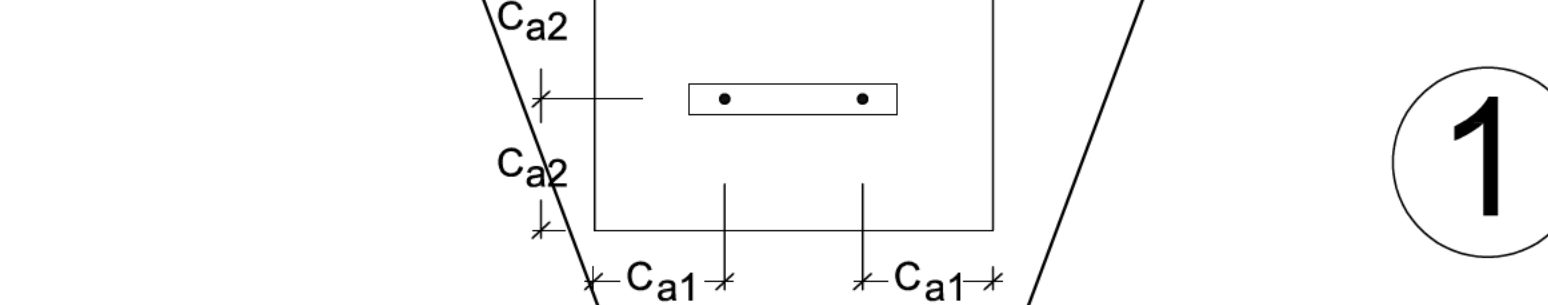
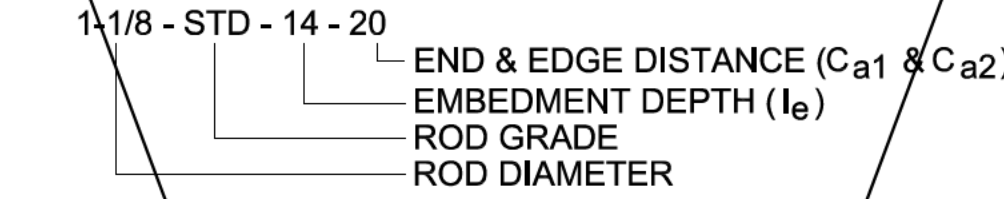


RA SECTIONS & ELEVATIONS

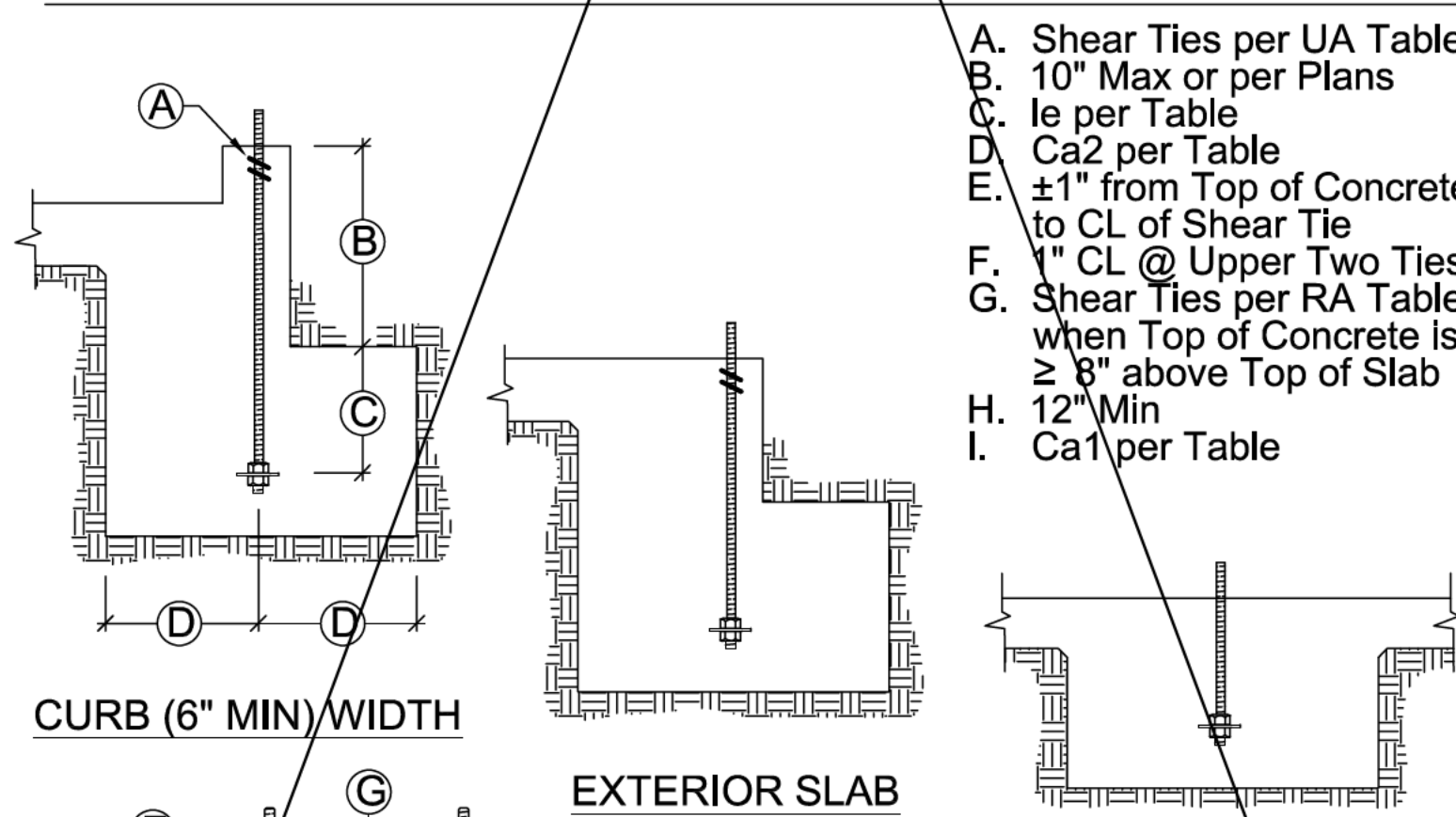
UNREINFORCED ANCHORAGE (UA)

Model	Panel Height	Anchorage ¹	Rod Dia (in)	Rod Grade	UA			Shear ^{7,8} Ties
					le ⁴ (in)	Ca ⁵ (in)	Ca ⁶ (in)	
HFX-9x	79.5" - 8'	1-1/8-STD-13-19	1-1/8	STD	13	19	1 - # 3	
HFX-12x	78" - 10'	1-1/8-HS-20-30						HS
HFX-15x, 18x	78" - 13'	1-1/8-STD-14-20	1-1/8	STD	14	20	2 - # 3	
HFX-15x, 18x Balloon	14' - 20'	1-1/8-HS-20-30						HS
HFX-21x, 24x	78" - 13'	1-1/8-STD-14-20 1-1/8-HS-23-34	1-1/8	STD	14	20	2 - # 3	
HFX-21x, 24x Balloon	14' - 20'	1-1/8-HS-20-30						HS

UNREINFORCED ANCHORAGE NOMENCLATURE

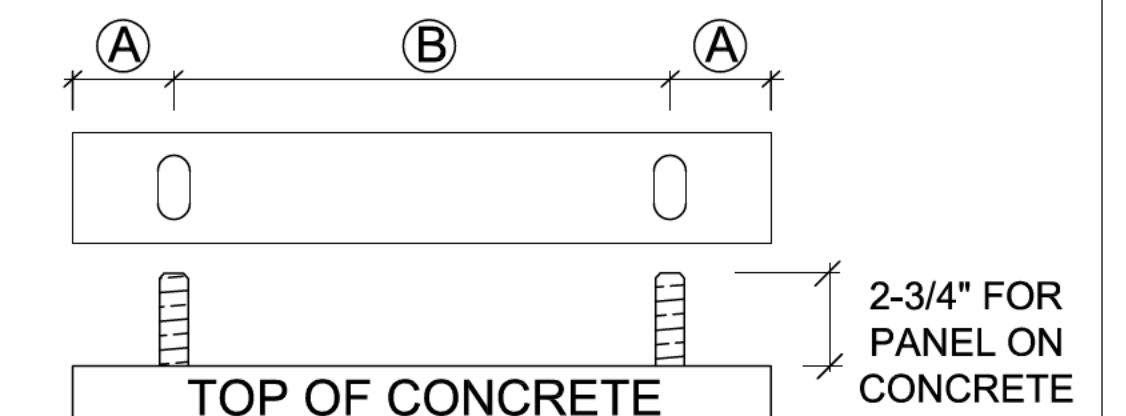


UA SHEAR TIES



UA SECTIONS & ELEVATIONS

- DESIGNS ARE TO RESIST LOADING PER ACI 318-19, SEC 17.10.5.3.
- STD INDICATES ANCHORS COMPLYING WITH ASTM F1554 GRADE 36 WITH A HARDY FRAME BOLT BRACE (HFXBB) INSTALLED WITH STD OR GRADE 8 DOUBLE NUTS ON THE EMBED END.
- HS INDICATES ANCHORS COMPLYING WITH ASTM A193 GRADE B7 WITH A 1/2"x3"x3"(MIN) HFPW PLATE WASHER INSTALLED WITH DOUBLE NUTS ON THE EMBED END (HFXBB NOT REQUIRED).
- LE = LENGTH OF EMBEDMENT FROM THE TOP OF FOOTING OR GRADE BEAM TO THE TOP OF THE HFXBB BOLT BRACE (TOP OF THE EMBEDDED HFPW PLATE WASHER @ HS ANCHORS)
- CA1 = DISTANCE FROM HD CENTERLINE TO THE END OF THE FOOTING OR GRADE BEAM.
- CA2 = DISTANCE FROM HD CENTERLINE TO BOTH THE FRONT AND THE BACK FACE OF THE FOOTING OR GRADE BEAM.
- SHEAR TIES ARE GRADE 60 (MIN) REBAR AND REQUIRED FOR NEAR EDGE DISTANCE CONDITIONS PER ACI 318-19, F'c = 2,500 PSI. CURBS AND STEM WALLS MUST BE 6 INCH (MIN) WIDTH FOR UA AND RA, 12 INCH (MIN) WIDTH FOR BB-RA.
- FOR UA APPLICATIONS, ADDITIONAL TIES MAY BE REQUIRED AT STEM WALLS. SHEAR TIES ARE NOT REQUIRED FOR INSTALLATION AWAY FROM EDGE (SEE DETAIL 1A), INSTALLATION ON WOOD FRAMING, OR FOR IRC BRACED WALL PANEL APPLICATIONS.
- STIRRUPS ARE GRADE 60 (MIN) REBAR. SEE TABLE FOR SIZE AND SPACING. SEE "STIRRUP LAYOUT" DIAGRAMS AND "KEY" FOR LAYOUT PATTERNS.
- CONCRETE EDGE DISTANCES MUST COMPLY WITH ACI 318-19, SECTION 17.9.2. COATED REINFORCEMENT MAY BE SPECIFIED BY THE EOR TO LIMIT EXPOSURE AND THEREFORE REDUCE MINIMUM CONCRETE COVER. COATED REINFORCEMENT MUST COMPLY WITH ACI 318-19, SECTION 20.5.2.



Model	Width	(A)	(B)
HFX-9x	9"	1-3/4"	5-1/2"
HFX-12x	12"	2-5/8"	8-1/2"
HFX-15x	15"		9-3/4"
HFX-18x	18"	2-5/8"	12-3/4"
HFX-21x	21"		15-3/4"
HFX-24x	24"	2-5/8"	18-3/4"

HFX ANCHOR CENTERLINES

IMPORTANT!

- ANCHORAGE IS DESIGNED FOR TENSION AND SHEAR TRANSFER ONLY, FOUNDATION DESIGN PER EOR.
- REINFORCEMENT SHOWN IS THE MINIMUM REQUIREMENT AND IS NOT INTENDED TO REPLACE REINFORCEMENT DESIGNED BY THE EOR.
- FOR RA AND BB-RA INSTALLATIONS, THE HFXBB BOLT BRACE MAY BE PLACED ON TOP OF THE STIRRUPS WITH DOUBLE-NUTS INSTALLED AT EMBED END OF STANDARD GRADE ANCHOR RODS. (NOTE: 1/2" x 3" x 3" MIN. HFPW PLATE WASHERS ARE REQUIRED TO BE DOUBLE-NUTTED AT EMBED END OF HIGH STRENGTH ANCHOR RODS.)
- HIGH STRENGTH ALL-THREAD RODS PROVIDED BY HARDY FRAMES ARE STAMPED ON BOTH ENDS.



IMPORTANT NOTES

REVISIONS	DATE

ANCHORAGE DETAILS - HFX PANELS
THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH HARDY FRAME PRODUCTS

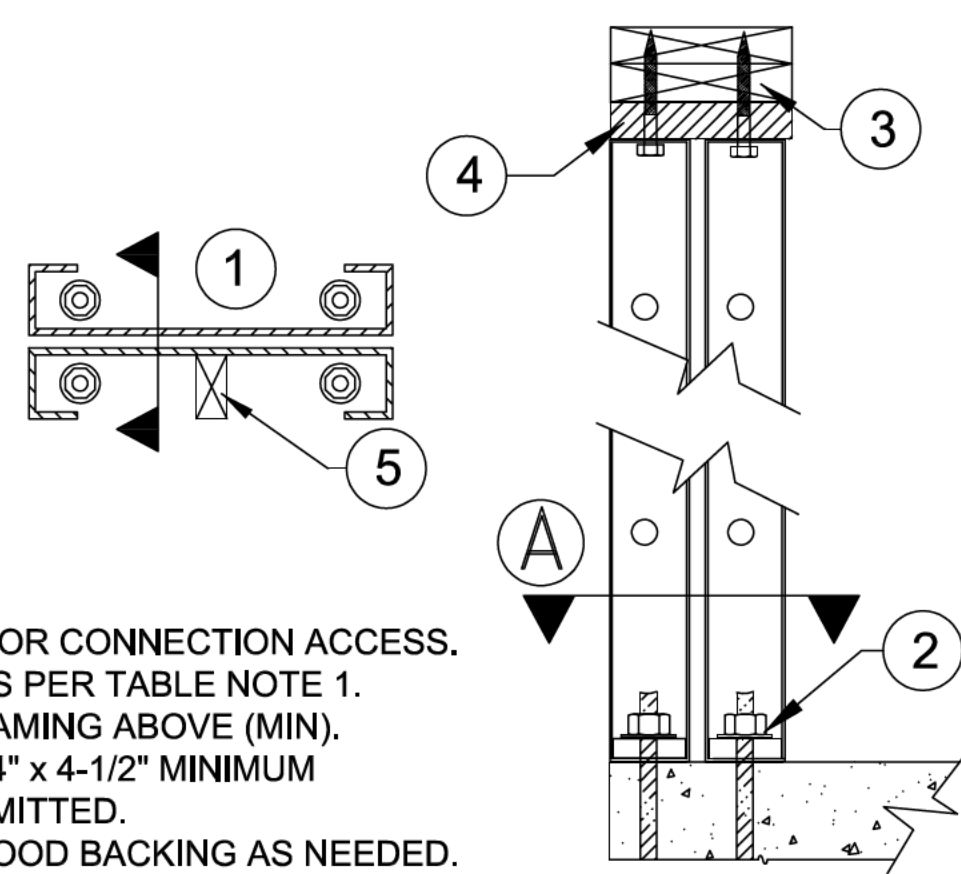
HARDY FRAME SHEAR WALL SYSTEMS
16023 SWINGLEY RIDGE RD
CHESTERFIELD, MO 63017
(800) 325-8075
WWW.HARDYFRAME.COM



DATE:
1-1-2023

HFX1

SECTION A

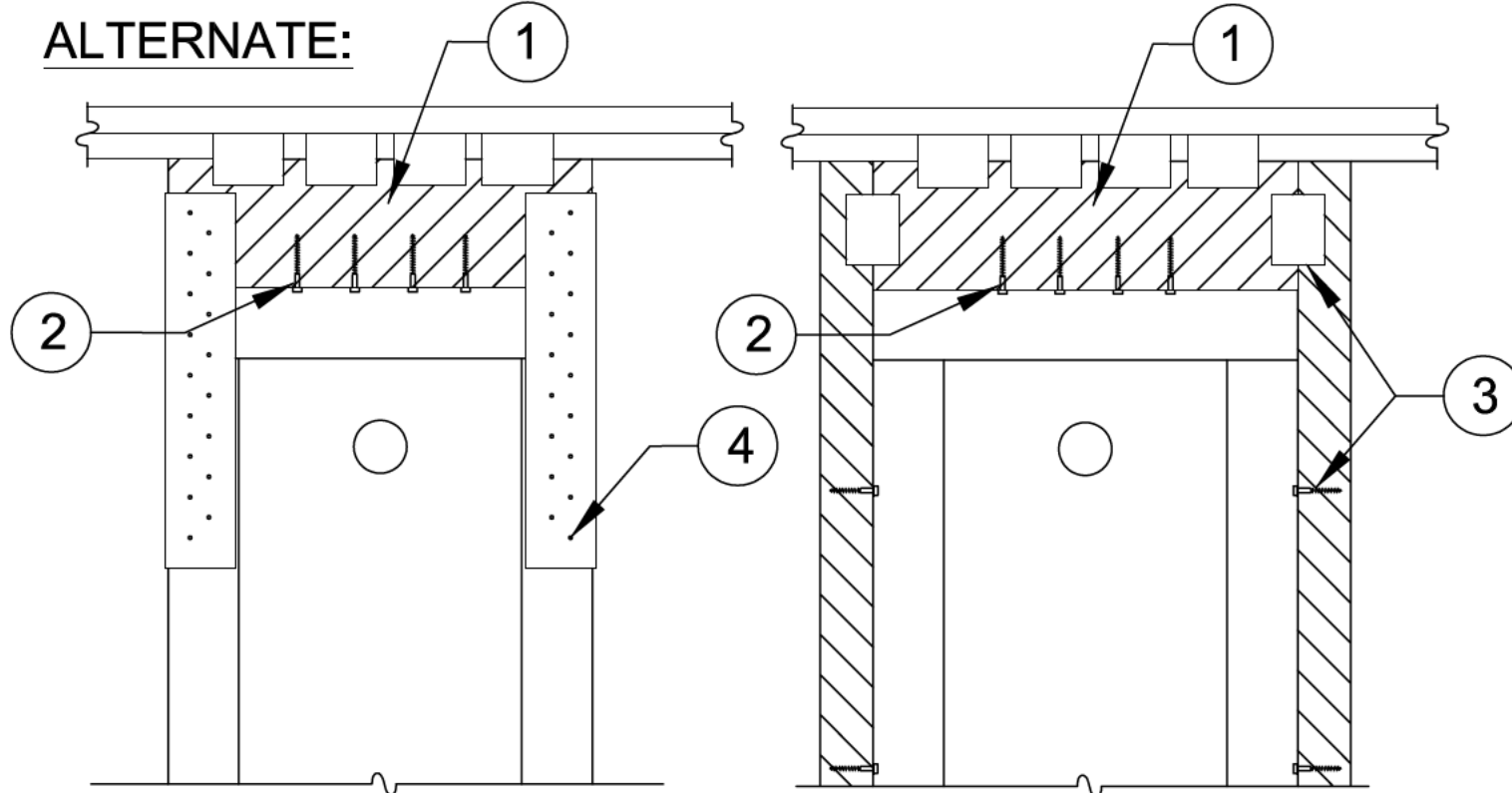


1. CAVITY ORIENTED FOR CONNECTION ACCESS.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. NOMINAL 8 INCH FRAMING ABOVE (MIN).
4. A 2x FILLER WITH 1/4" x 4-1/2" MINIMUM WS SCREWS IS PERMITTED.
5. FIELD INSTALLED WOOD BACKING AS NEEDED.

BACK TO BACK INSTALLATION

3

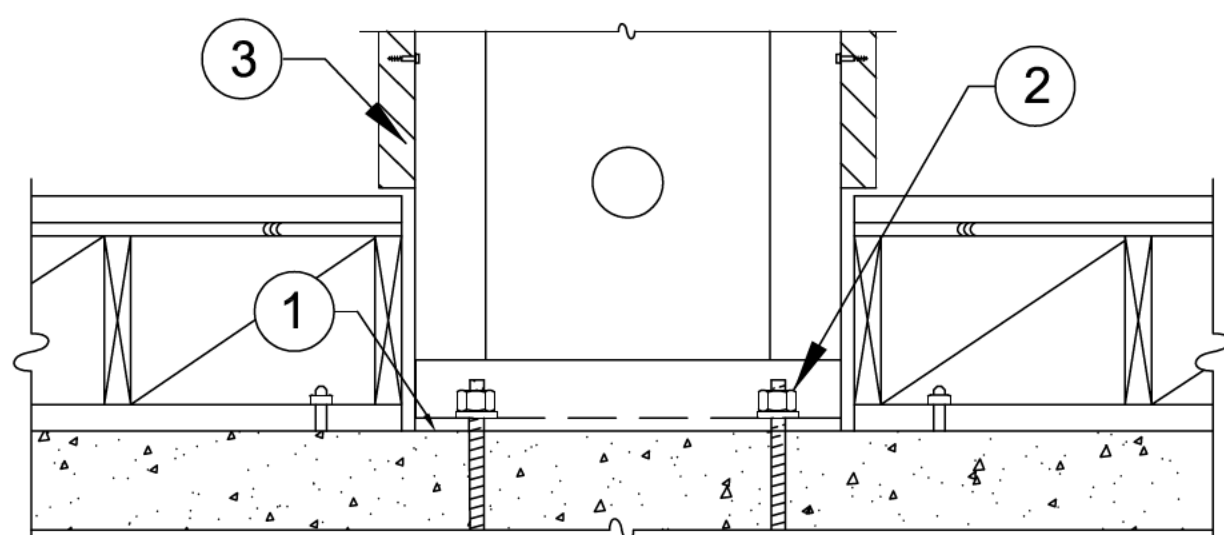
ALTERNATE:



1. WOOD FILLER (13 1/2" MAX DEPTH) WITH USP MP4F CONNECTORS BOTH SIDES, QUANTITY BY BUILDING DESIGN PROFESSIONAL.
2. 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED THROUGH PRE-PUNCHED HOLES IN PANEL EDGES REQ'D WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE TO BRACE OUT-OF-PLANE HINGE OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.
4. MITEK HFFB FILLER BRACE WITH 1/4" x 1-1/2" WS SCREWS TO FILLER (FILL ALL HOLES) AND 1/4" SELF-TAPPING SCREWS TO PANEL (5 MIN. EACH FACE) REQ'D WHEN INSTALLING A FILLER GREATER THAN 3-1/4" ABOVE TO BRACE OUT-OF-PLANE HINGE OR WHEN SPECIFIED BY THE BUILDING DESIGN PROFESSIONAL.

FILLER GREATER THAN 1-1/2 IN.

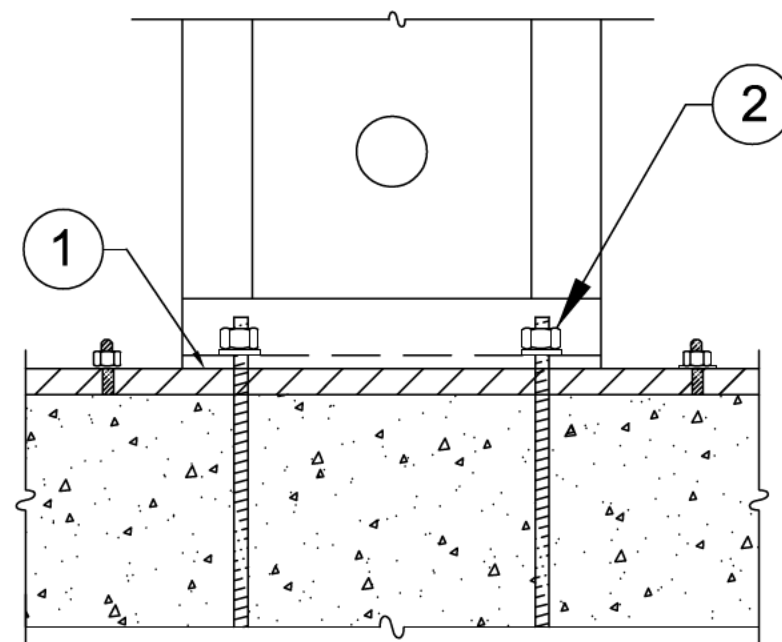
6



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED AT THE PANEL EDGES WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE OR WHEN SPECIFIED BY DESIGN PROFESSIONAL.

RAISED FLOOR HEAD-OUT

8

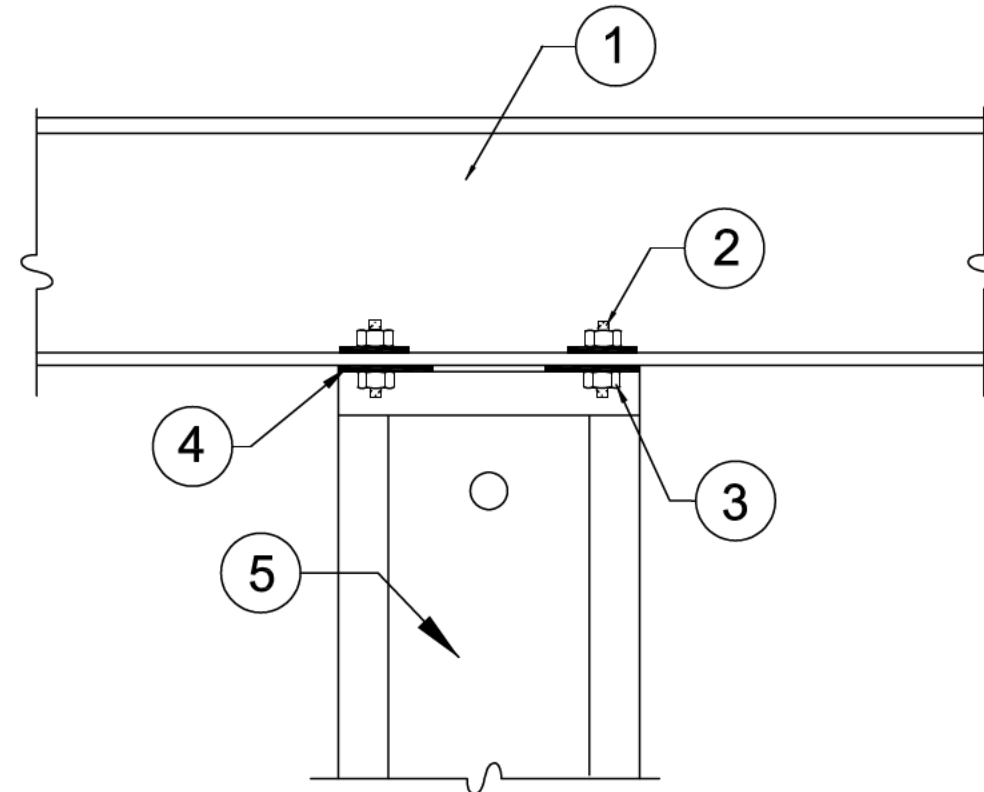


ALLOWABLE VALUES ON 2x PLATE ARE LESS THAN INSTALLATION ON CONCRETE

1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND TREATED PLATE.
2. NUTS AND WASHERS PER TABLE NOTE 1.

INSTALLATION ON 2x PLATE

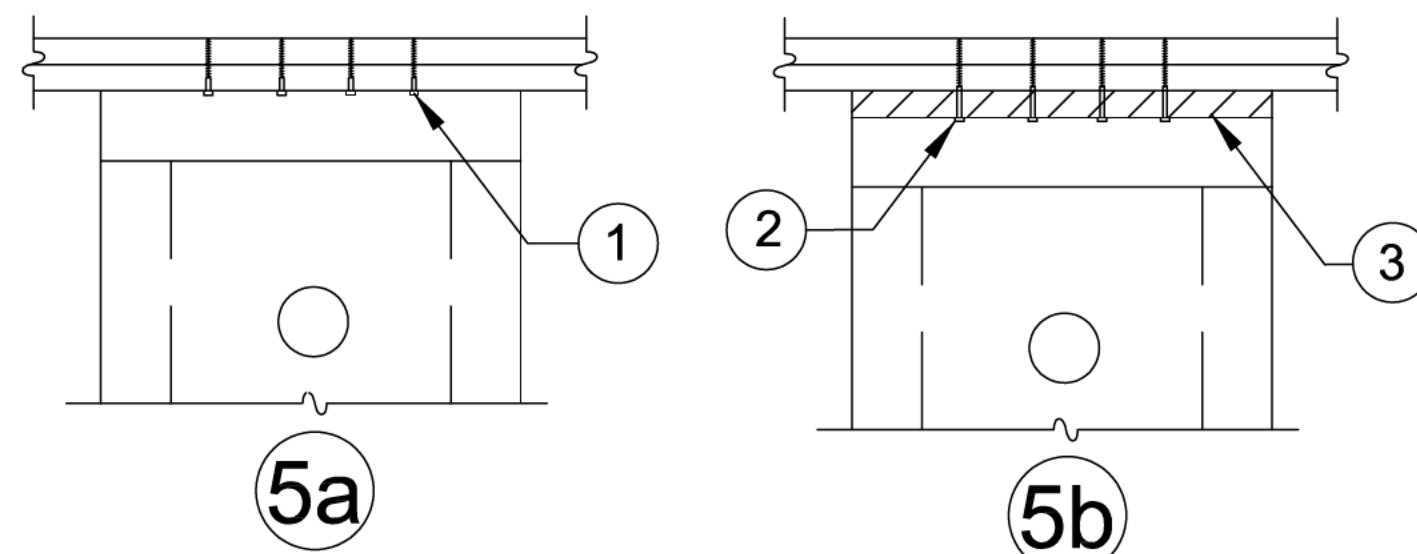
11



1. STEEL BEAM PER PLANS
2. ALL THREAD RODS THRU-BOLTED TO STEEL BEAM BY BUILDING DESIGN PROFESSIONAL.
3. NUTS AND WASHERS PER TABLE NOTE 1.
4. HARDY FRAME® STACKING WASHERS (HFSW) REQUIRED TO BE WELDED INSIDE TOP CHANNEL OF LOWER PANEL.
5. HARDY FRAME® "STK" PANEL WITH STACKING WASHERS WELDED INSIDE THE TOP CHANNEL BY MANUFACTURER.

STEEL BEAM ABOVE THRU-BOLT

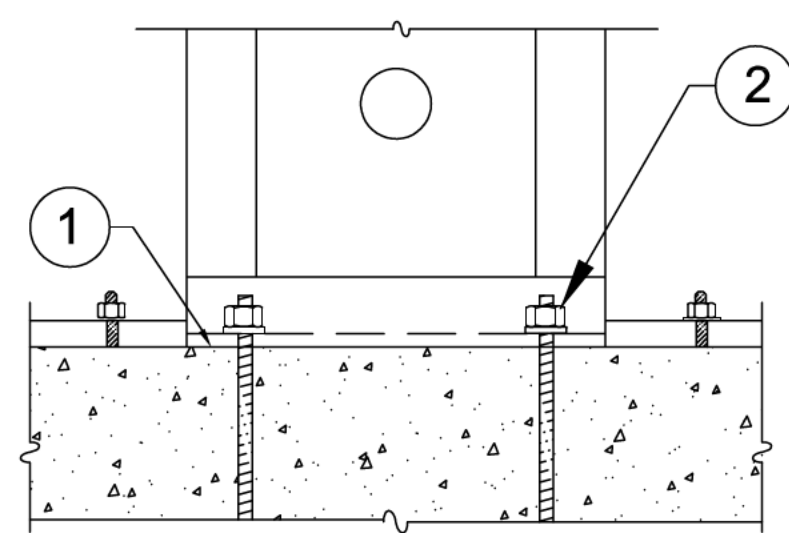
2



1. 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
2. 1/4" x 4-1/2" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
3. 2x WOOD FILLER.

TOP PLATE CONNECTIONS

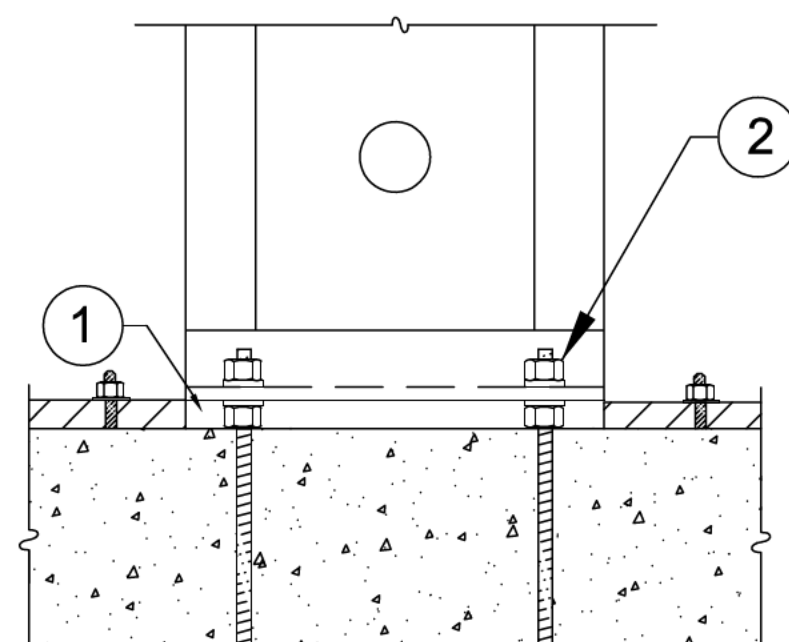
5



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.

INSTALLATION ON CONCRETE

7



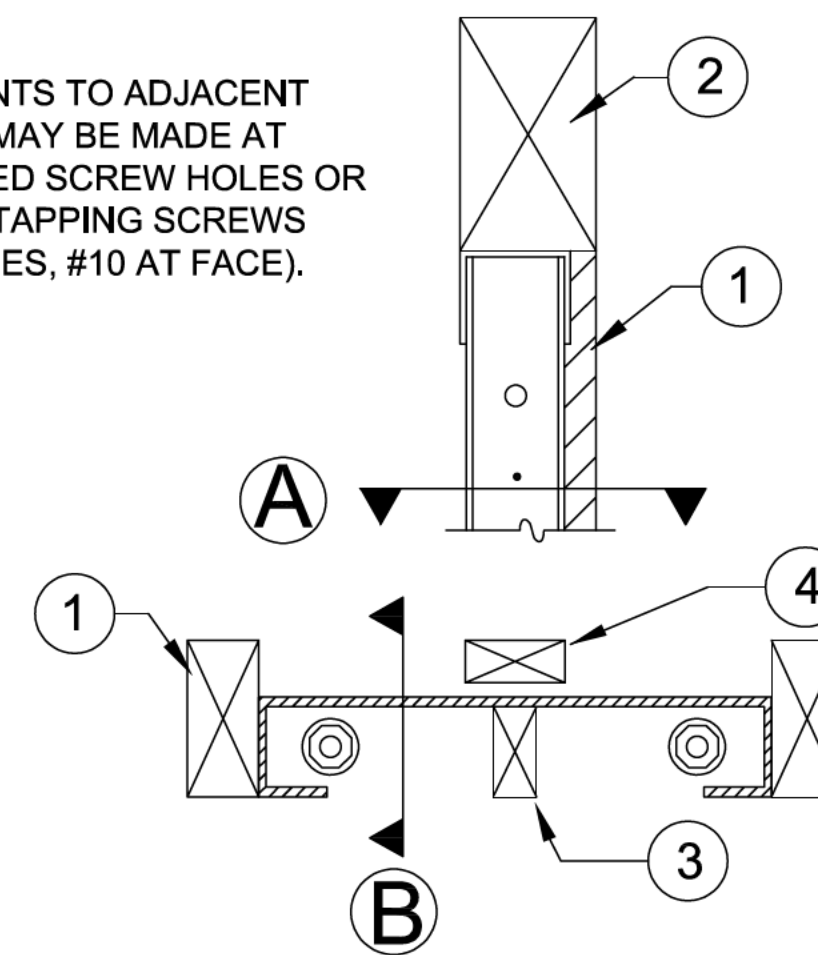
ALLOWABLE VALUES ON N&W ARE LESS THAN INSTALLATION ON CONCRETE

1. PLUS OR MINUS 1-1/2" GAP TO BE FILLED WITH 5,000 PSI NON-SHRINK GROUT (MINIMUM).
2. NUT AND WASHER GRADES PER TABLE NOTE 1.

INSTALLATION ON NUTS & WASHERS

10

NOTE:
ATTACHMENTS TO ADJACENT TRIMMERS MAY BE MADE AT PREPUNCHED SCREW HOLES OR WITH SELF TAPPING SCREWS (#12 AT EDGES, #10 AT FACE).



SECTION B

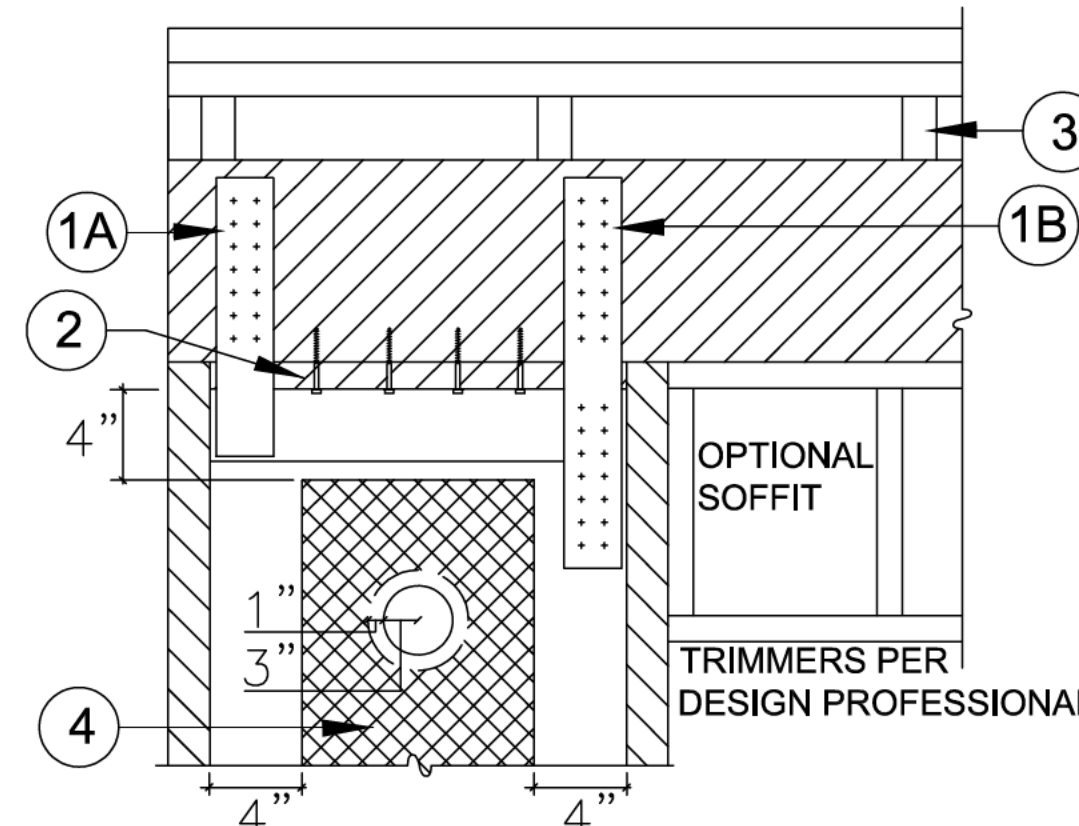
SECTION A

1. TRIMMERS PROVIDE FULL BEARING FOR HEADER ABOVE, DESIGN AND CONNECTIONS BY BUILDING DESIGN PROFESSIONAL.
2. 6x HEADER.
3. WOOD MEMBERS FOR BACKING MAY BE INSERTED VERTICALLY OR HORIZONTALLY IN THE PANEL CAVITY AS NEEDED.
4. WOOD MEMBER FLUSH TO FACE OF WALL FOR BACKING AS NEEDED.

6x HEADER ABOVE-SECTIONS

1

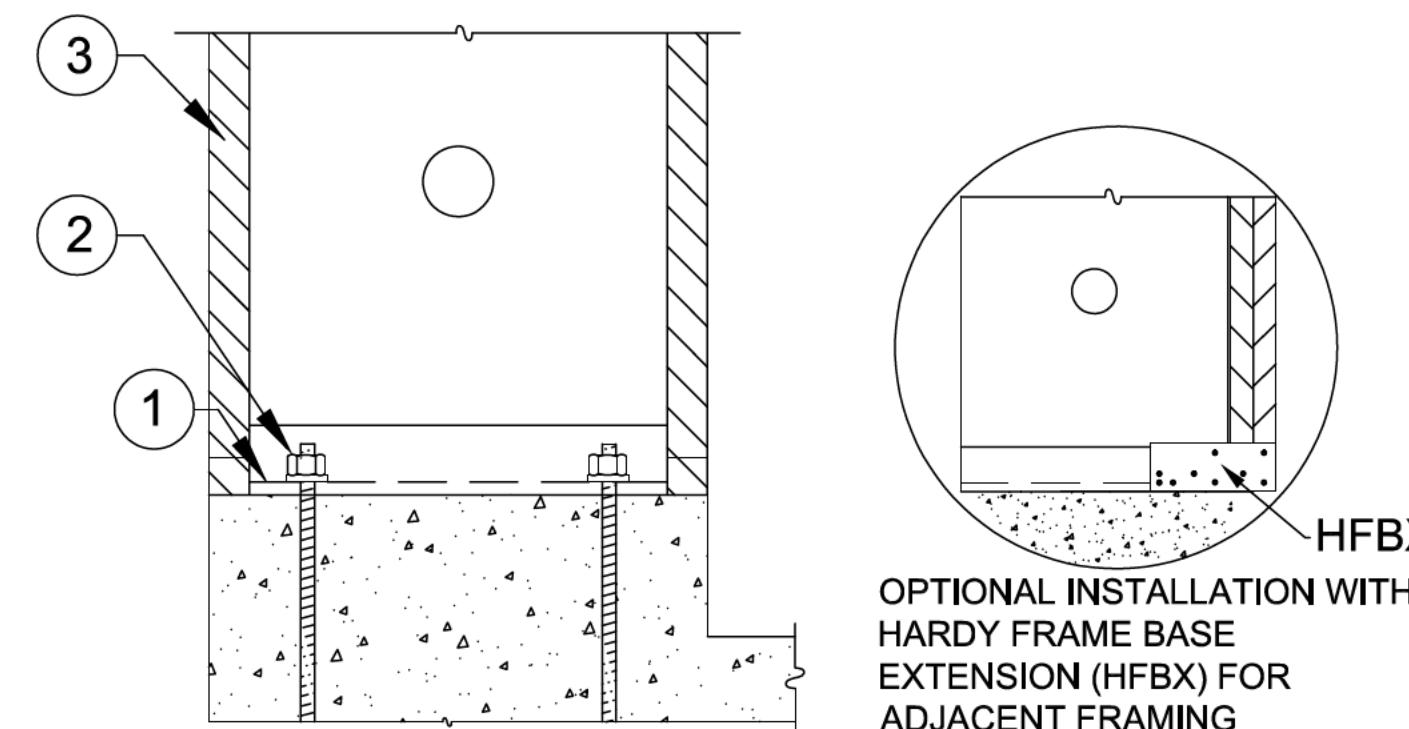
NOTE:
TO PREVENT DRILLING ADDITIONAL HOLES ORIENT THE PANEL CAVITY TOWARD THE FIXTURE BEING INSTALLED.



1. (A) PRE-WELDED STRAPS ARE PROVIDED ON 78" AND 79-1/2" PANEL HEIGHTS. THEY ARE AVAILABLE FOR OTHER HEIGHTS UPON REQUEST. (B) FIELD INSTALLED STRAPS WITH SELF TAPPING SCREWS ARE PERMITTED. THE DESIGN AND CONNECTION IS BY THE DESIGN PROFESSIONAL.
2. A 2x WOOD FILLER WITH 1/4"x4-1/2" (MIN.) WS SCREWS IS PERMITTED.
3. WHEN CRIPPLE STUDS OCCUR, SHEAR TRANSFER DESIGN TO BE PER THE BUILDING DESIGN PROFESSIONAL.
4. A 1" DIA. HOLE MAY BE ADDED IN THE PANEL FACE WHEN IT IS LOCATED IN THE UPPER HALF OF THE PANEL HEIGHT AND IS 4" MINIMUM FROM ANY EDGE. FOR PANELS MORE THAN 12" WIDE, ADDITIONAL HOLES MUST BE OFFSET 1" MINIMUM FROM THE 3" DIA. PREPUNCHED HOLE. FOR HOLES LARGER THAN 1" DIAMETER OR TO ADD MORE THAN ONE HOLE CONTACT MITEK HARDY FRAME TECHNICAL SUPPORT AT (800) 754-3030.

TOP CONNECTION TO HEADER

4



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. ADJACENT FRAMING OPTIONAL U.N.O. BY BUILDING DESIGN PROFESSIONAL.

INSTALLATION ON CURB

9

HFX PANELS 78 IN. THROUGH NOMINAL 13 FEET

Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Top Screw Qty ² (ea)	Screw Qty Available at Edges (ea) ³
HFX-12,15,18,21 & 24x78	78	3-1/2	1-1/8	9" Width = 5	4
HFX-9x79.5	79-1/2			12" Width = 6	
HFX-12,15,18,21 & 24x8	92-1/4			15" Width = 8	
HFX-9x8	93-3/4			18" Width = 10	5
HFX-12,15,18,21 & 24x9	104-1/4			21" Width = 12	
HFX-12,15,18,21 & 24x10	116-1/4			24" Width = 14	
HFX-15,18,21 & 24x11	128-1/4	3-1/2	1-1/8	15" Width = 8	6
HFX-15,18,21 & 24x12	140-1/4			18" Width = 10	
HFX-15,18,21 & 24x13	152-1/4			21" Width = 12	
				24" Width = 14	8

BALLOON PANELS 14 FEET THROUGH 20 FEET

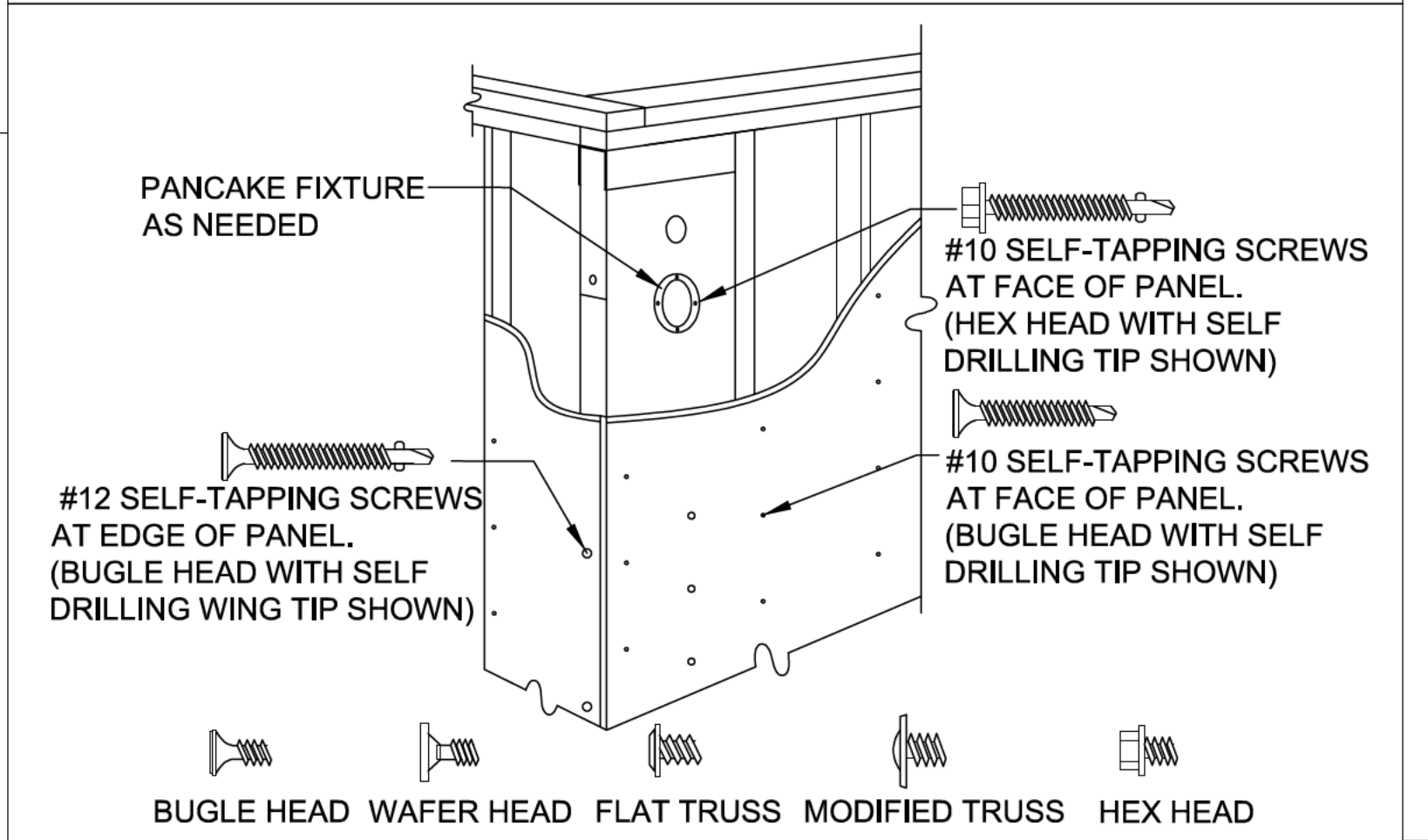
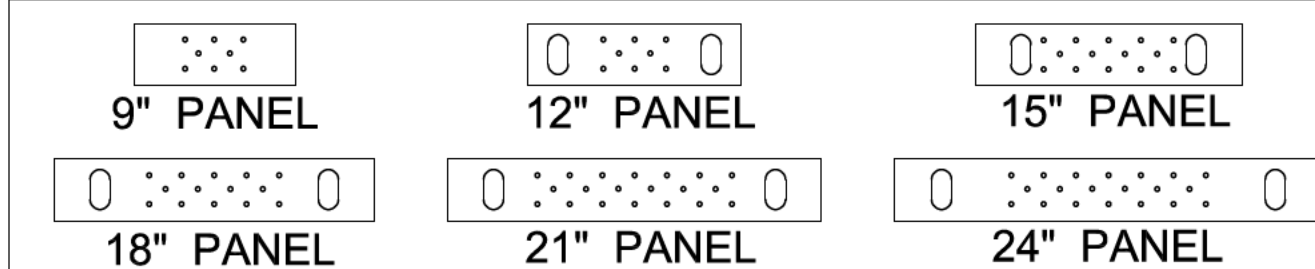
Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Top Screw Qty ² (ea)	Screw Qty Available at Edges (ea) ³
HFX-15,18,21 & 24x14	164-1/4	3-1/2	1-1/8	15" Width = 8	6
HFX-15,18,21 & 24x15	176-1/4			18" Width = 10	
HFX-15,18,21 & 24x16	188-1/4			21" Width = 12	
HFX-15,18,21 & 24x17	200-1/4			24" Width = 14	7
HFX-15,18,21 & 24x18	212-1/4				
HFX-15,18,21 & 24x19	224-1/4				
HFX-15,18,21 & 24x20	236-1/4			8	

TABLE NOTES

1. FOR STD OR HS GRADE HOLD DOWN ANCHOR BOLTS CONNECT TO THE PANEL BASE WITH HARDENED ROUND WASHERS BELOW GRADE 8 NUTS. ALTERNATE WASHERS ARE (2 EA) ROUND-FLAT OR (2 EA) SAE WASHERS ON EACH BOLT. ALTERNATE NUTS ARE 2H HEAVY HEX.
2. 1/4" DIAMETER MITEK® PRO SERIES™ WS SCREWS. LENGTH IS 3" (MINIMUM) WHEN ATTACHED DIRECTLY TO THE COLLECTOR AND 4-1/2" (MINIMUM) WHEN INSTALLING A 2x FILLER ABOVE THE PANEL.
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS IS REQUIRED AT THE PANEL EDGES WHEN INSTALLING A FILLER ABOVE THE TOP CHANNEL THAT IS GREATER THAN 1-1/2" OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.

INSTALLATION INSTRUCTIONS

1. WHEN INSTALLING ON CONCRETE CONNECT WITH (1 EA) HARDENED ROUND WASHER BELOW (1 EA) GRADE 8 NUT, SECURE WITH A DEEP SOCKET (RECOMMENDED) UNTIL SNUG TIGHT. ALTERNATE WASHERS AND NUTS ARE PROVIDED IN TABLE NOTE 1.
2. INSTALLATION ON CONCRETE PROVIDES THE HIGHEST ALLOWABLE VALUES. CONFIRM WITH THE DESIGN PROFESSIONAL BEFORE INSTALLING ON OTHER SUPPORTING SURFACES.
3. USE 1/4"x4-1/2" MITEK® PRO SERIES™ WS SCREWS AT TOP CONNECTIONS WITH A 2x FILLER. IF THE TOP OF PANEL IS IN DIRECT CONTACT WITH THE COLLECTOR ABOVE (TOP PLATES, HEADER, BEAM, ETC.) USE 1/4" x 3" (MIN)
4. FOR INSTALLATIONS WITH A FILLER GREATER THAN 1-1/2" ABOVE, OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL, ADJACENT KING POSTS TO BRACE THE OUT-OF-PLANE HINGE CAN BE CONNECTED WITH 1/4" DIA. SCREWS THROUGH PRE-PUNCHED HOLES AT THE PANEL EDGES.



NOTES:

1. SURFACE FINISHES, CONNECTORS AND FIXTURES ARE ATTACHED TO THE PANEL FACE WITH # 10 SELF-TAPPING SCREWS SPACED NO LESS THAN 2-1/4" OC.
2. ATTACHMENTS TO THE PANEL EDGES ARE MADE WITH # 12 SELF-TAPPING SCREWS.
3. STRUCTURAL CONNECTIONS ARE TO BE DESIGNED BY THE DESIGN PROFESSIONAL.
4. STRUCTURAL HARDWARE USED TO TRANSFER LOADS SHOULD NOT EXCEED 12 GAUGE.

REVISIONS DATE

FRAMING DETAILS - HFX PANELS

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH MITEK® HARDY FRAME® PRODUCTS

HARDY FRAME SHEAR WALL SYSTEMS
16023 SWINGLEY RIDGE RD
CHESTERFIELD, MO 63017
(800) 325-8075
WWW.HARDYFRAME.COM

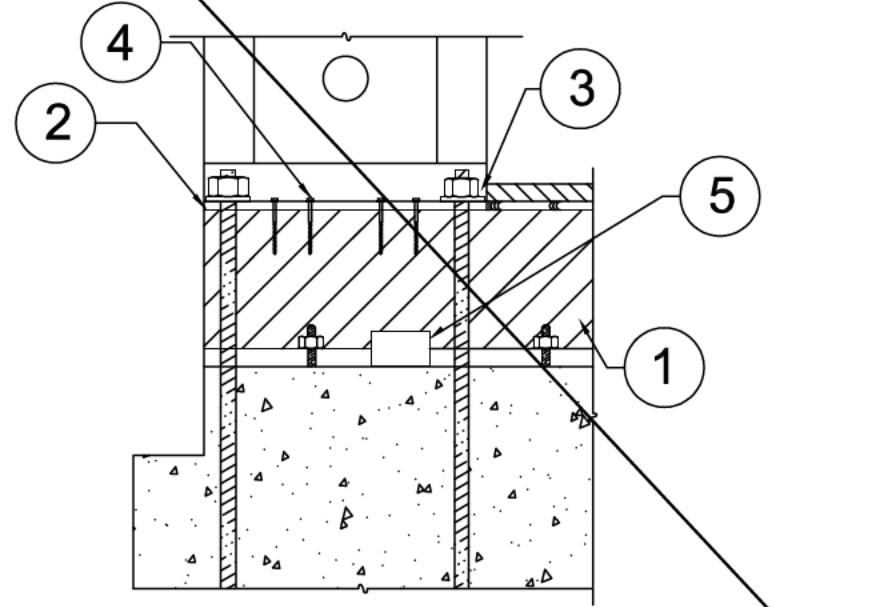
Mitek

DATE:
1-1-2023

HFX2

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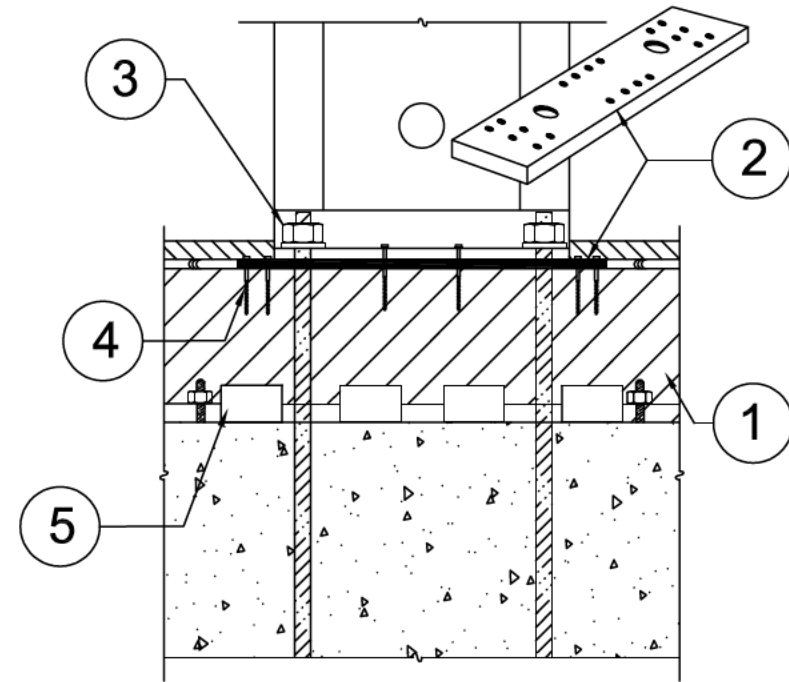
- NOTES:**
- INSTALLATION WITHOUT **HARDY FRAME**® BEARING PLATE (HFXBP) MAY INCREASE DEFLECTION AND RESULT IN A DECREASE OF ALLOWABLE SHEAR VALUE. BUILDING DESIGN PROFESSIONAL MUST ANALYZE EFFECTS
 - COUPLERS MAY BE USED WHEN THREADED ROD IS SUBJECT TO TENSION LOADS ONLY.



- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® PANEL DIRECTLY ON RIM.
- NUTS AND WASHERS PER TABLE NOTE 1.
- 1/4" x 4-1/2" (MINIMUM) WS SCREWS THROUGH BOTTOM OF PANEL MINIMUM QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

RAISED-OS CORNER ④

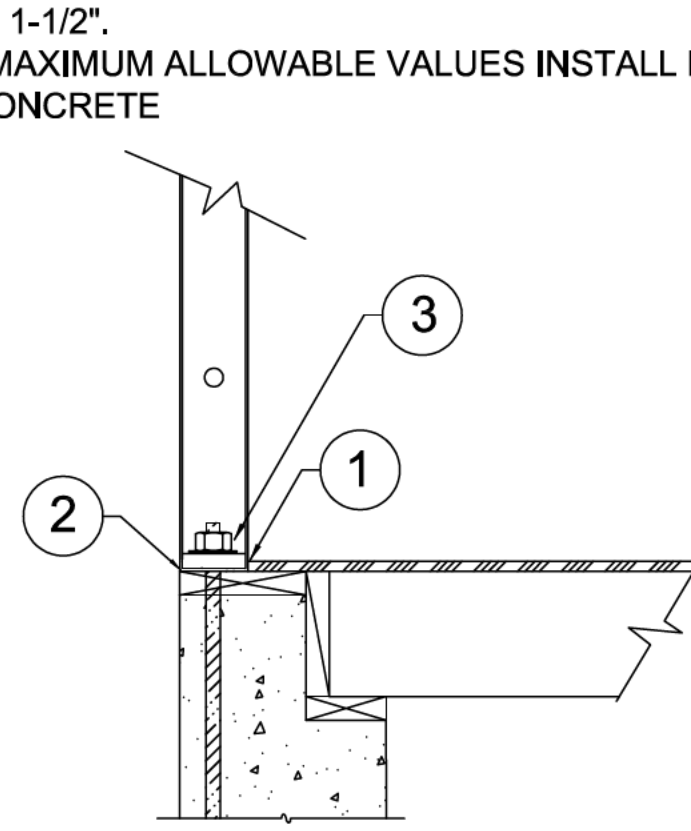
- NOTE:**
- COUPLERS MAY BE USED WHEN THREADED ROD IS SUBJECT TO TENSION LOADS ONLY.



- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- NUTS AND WASHERS PER TABLE NOTE 1.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

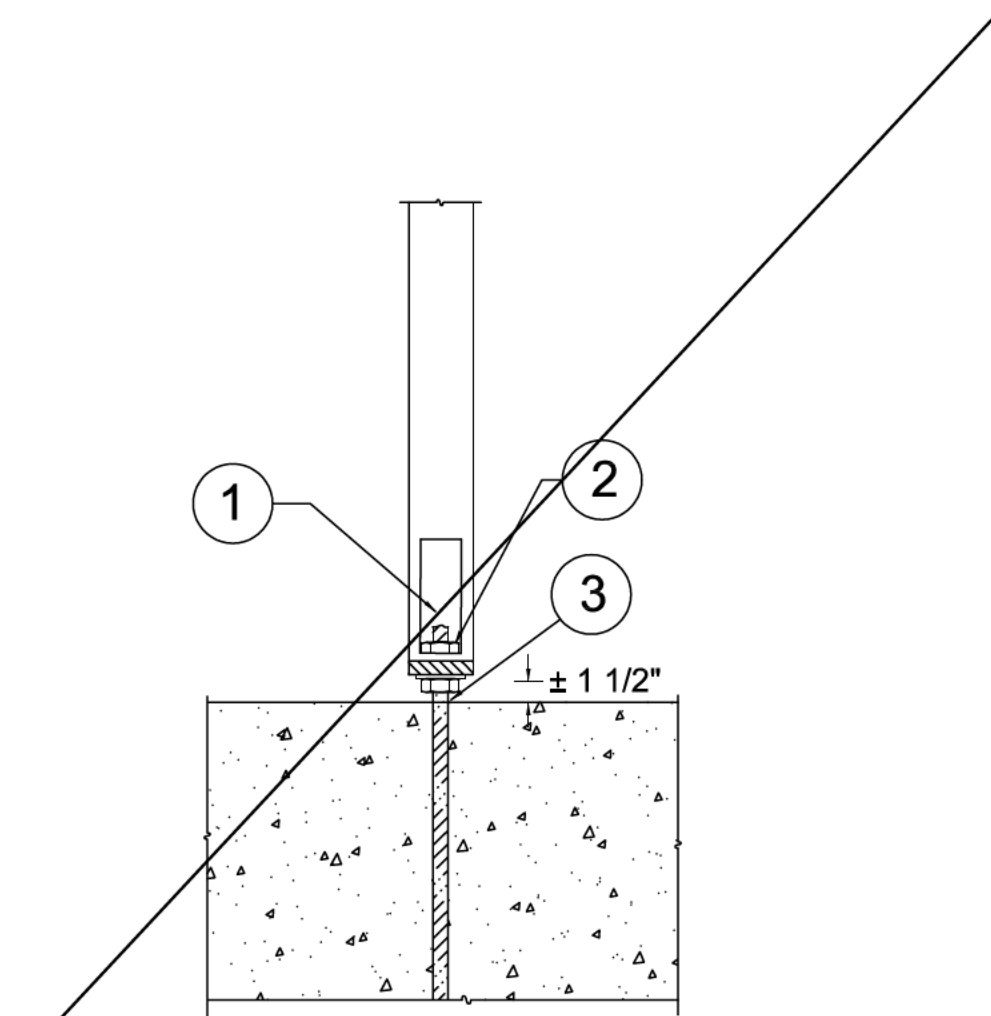
RAISED BEARING PLATE ③

- NOTES:**
- CHECK WALL HEIGHT, **HARDY FRAME**® BEARING PLATES BELOW THE PANEL BASE OR CUSTOM HEIGHT PANELS ARE AVAILABLE TO AVOID FILLERS GREATER THAN 1-1/2".
 - FOR MAXIMUM ALLOWABLE VALUES INSTALL PANEL ON CONCRETE



- FLOOR SHEATHING NOTCHED, INSTALL PANEL ON WOOD PLATE.
- 15# FELT OR EQUIVALENT RECOMMENDED BETWEEN PANEL BASE AND TREATED MUDSILL.
- NUTS AND WASHERS PER TABLE NOTE 1.

RAISED STEM WALL ②



- ACCESS HOLE LOCATED AT EDGE OF POST.
- NUTS AND WASHERS PER TABLE NOTE 1.
- PLUS OR MINUS 1-1/2" GAP TO BE FILLED WITH 5,000 PSI STRENGTH NON-SHRINK GROUT (MIN).

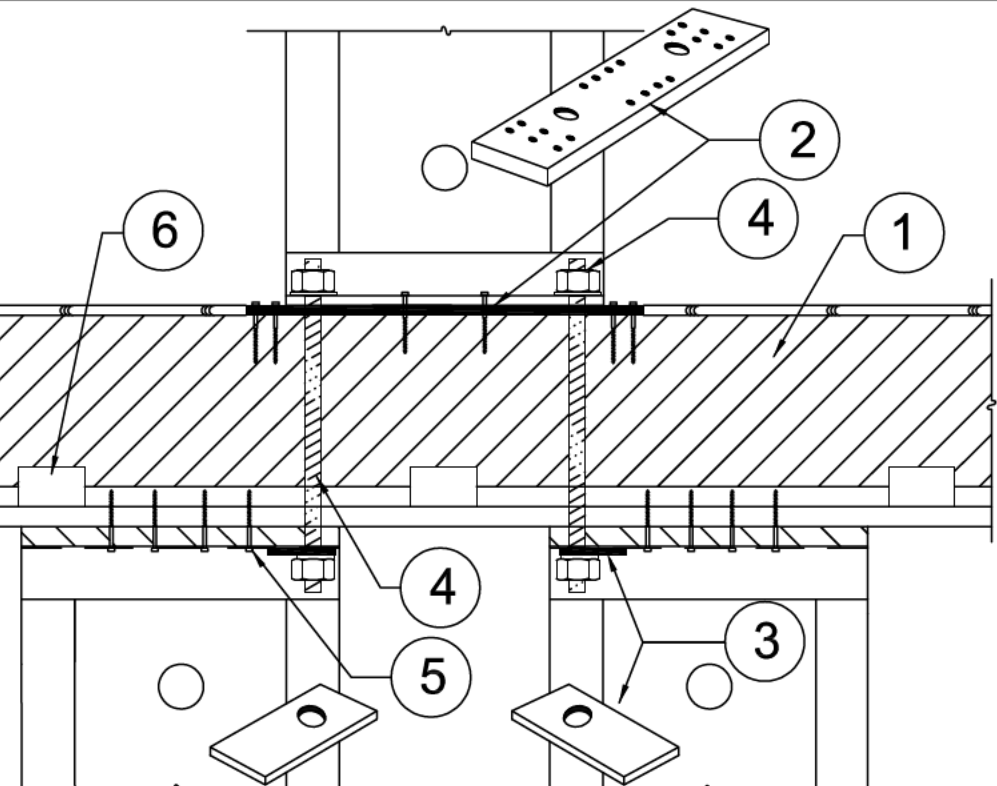
POST ON N&W ①

Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Screw Quantity			Screw Qty ⁴ Available at Edges (ea)
				Panel	Top ² (ea)	Bottom ³ (ea)	
HFX-12,15,18,21 & 24x8	92-1/4	3-1/2	1-1/8	12" Width	6	6	4
HFX-12,15,18,21 & 24x9	104-1/4			15" Width	8	8	
HFX-12,15,18,21 & 24x10	116-1/4			18" Width	10	10	5
HFX-15,18,21 & 24x11	128-1/4			21" Width	12	12	
HFX-15,18,21 & 24x12	140-1/4			24" Width	14	14	6
HFX-15,18,21 & 24x13	152-1/4						

NOTE: **HARDY FRAME**® STACKING WASHERS (HFSW) ARE REQUIRED IN THE TOP OF PANELS WHEN CONNECTING TO TENSION ANCHORS FROM ABOVE. **HARDY FRAME**® "STK PANELS" INCLUDE HFSW WASHERS PRE-WELDED IN THE TOP CHANNEL.

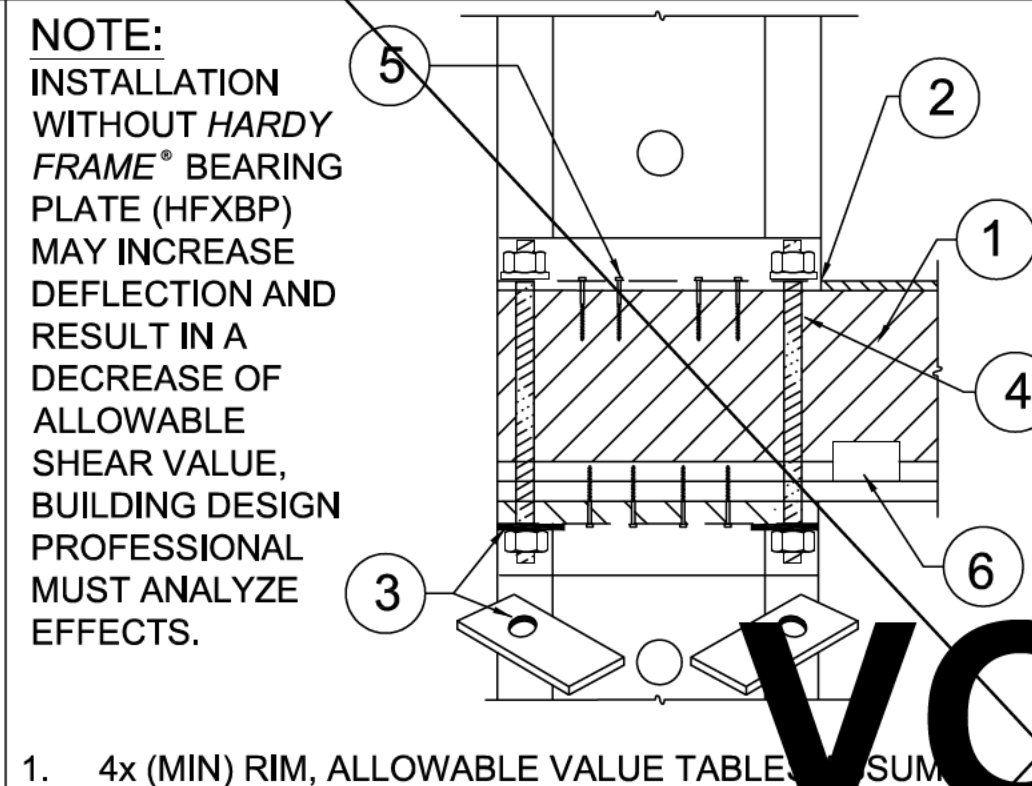
- HOLD DOWN TENSION ANCHORS SPECIFIED AS STANDARD GRADE (STD) MUST COMPLY WITH ASTM F1554 GRADE 36 (OR EQUAL). HOLD DOWN TENSION ANCHORS SPECIFIED AS HIGH STRENGTH (HS) MUST COMPLY WITH ASTM A 193 GRADE B7 (OR EQUAL). TENSION ANCHORS (BOTH GRADES) CONNECT TO THE UPPER AND LOWER PANELS WITH HARDENED ROUND WASHERS AND GRADE 8 NUTS. A **HARDY FRAME**® HFSW STACKING WASHER IS REQUIRED IN THE TOP CHANNEL OF THE LOWER PANEL (AVAILABLE PRE-WELDED IN A **HARDY FRAME**® "STK" PANEL). ALTERNATE WASHERS ARE (2 EA) ROUND-FLAT OR (2 EA) SAE WASHERS AT EACH ANCHOR CONNECTION. ALTERNATE NUTS ARE 2H HEAVY HEX.
- 1/4" DIAMETER MITEK® PRO SERIES™ WS SCREWS. LENGTH IS 3" (MINIMUM) WHEN ATTACHING DIRECTLY TO THE COLLECTOR AND 4-1/2" (MINIMUM) WHEN INSTALLING A 2x FILLER ABOVE THE PANEL.
- 1/4" DIAMETER MITEK® PRO SERIES™ WS SCREWS. LENGTH IS 4-1/2" (MINIMUM) AT CONNECTIONS TO FLOOR SYSTEMS AND BEAMS BELOW.
- 1/4" DIAMETER SCREWS ARE REQUIRED AT THE EDGES WHEN INSTALLING A FILLER GREATER THAN 1-1/2" INCH ABOVE OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.

A



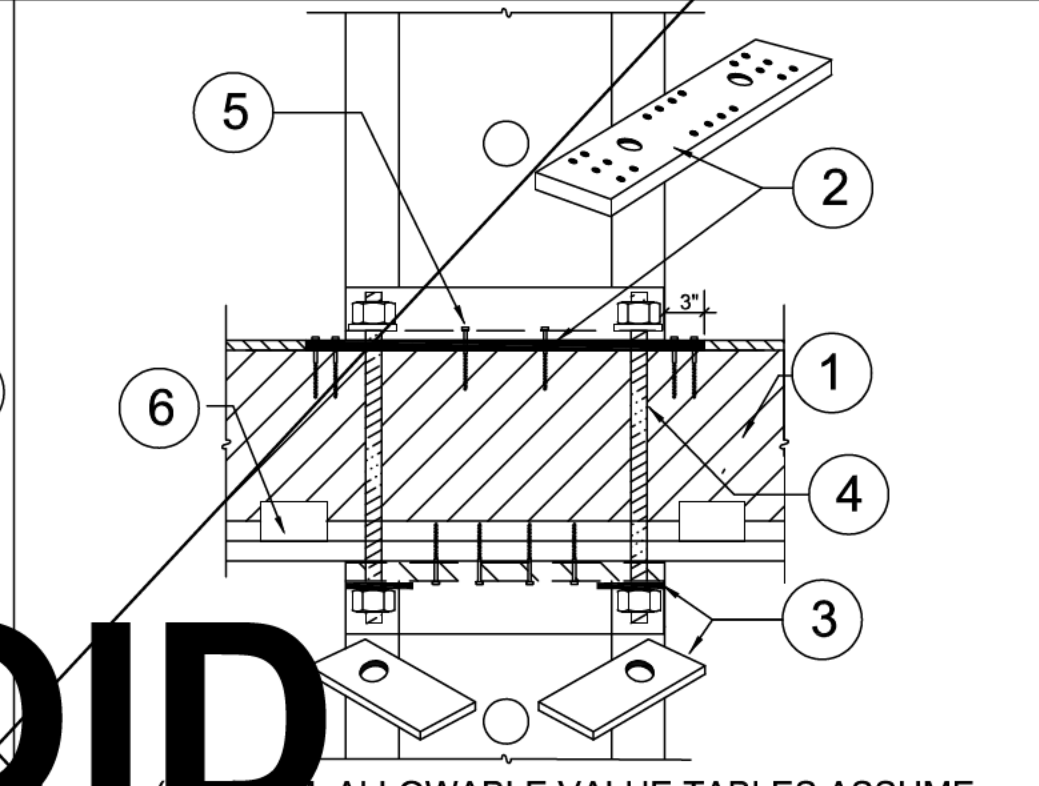
- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® STACKING WASHER (HFSW) AT TOP OF PANEL REQUIRED WHEN CONNECTING TO TENSION ANCHOR FROM ABOVE.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

PYRAMID STACK ⑧



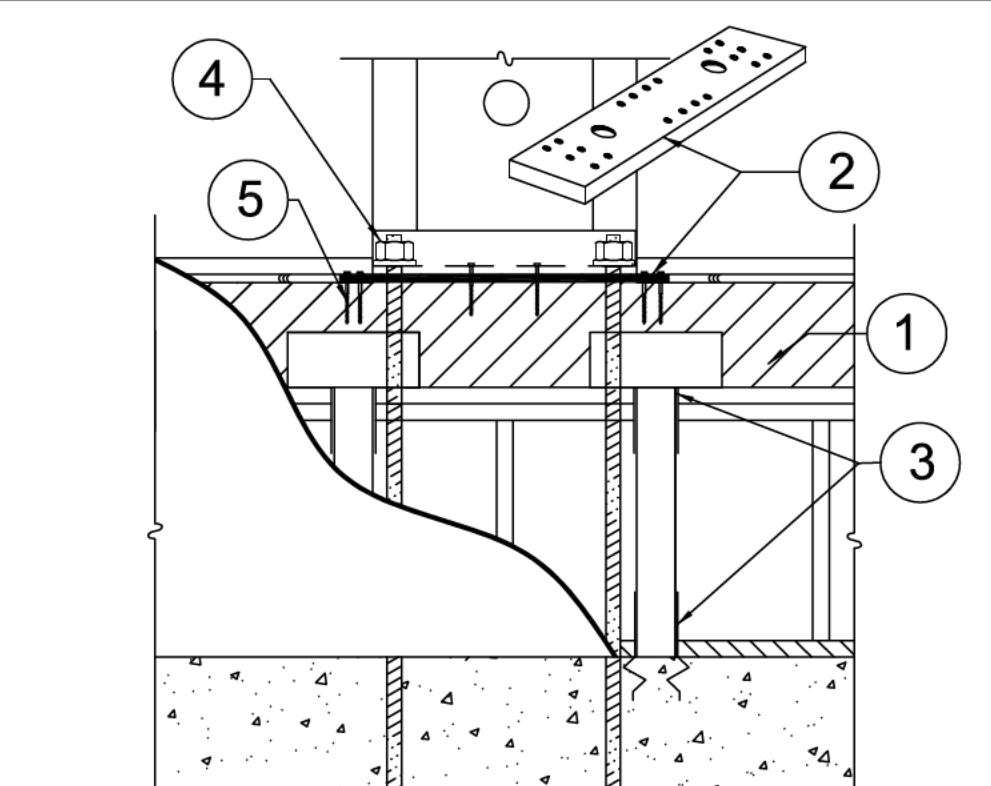
- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® PANEL DIRECTLY ON RIM.
- HARDY FRAME**® STACKING WASHER (HFSW) AT TOP OF PANEL REQUIRED WHEN CONNECTING TO TENSION ANCHOR FROM ABOVE.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

STACK @ OS CORNER ⑦



- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® STACKING WASHER (HFSW) AT TOP OF PANEL REQUIRED WHEN CONNECTING TO TENSION ANCHOR FROM ABOVE.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

STRAIGHT STACK ⑥



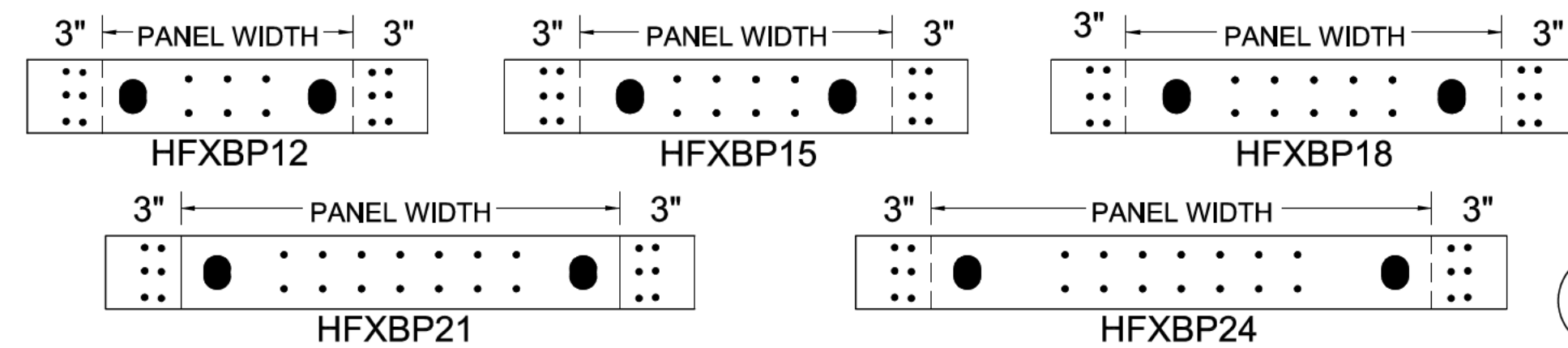
- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- USP POST CAP AND POST BASE BY THE BUILDING DESIGN PROFESSIONAL.
- NUTS AND WASHERS PER TABLE NOTE 1.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.

CRIPPLE WALL ⑤

- INSTALLATION ON FLOOR SYSTEMS WITH **HARDY FRAME**® BEARING PLATE (HFXBP)
- WITH HOLES PRE-DRILLED FOR 1-1/8" DIA. TENSION ANCHORS, INSTALL A SOLID 4x (MINIMUM) RIM IN FLOOR SYSTEM AT PANEL LOCATION. ALLOWABLE VALUE TABLES ASSUME THE RIM IS ENGINEERED WOOD PRODUCT (EWP).
 - NOTCH FLOOR SHEATHING THEN INSTALL HFXBP ON RIM WITH 6 EACH 1/4"x4-1/2" (MIN) "WS" SCREWS AT EACH END.
 - PLACE PANEL ON HFXBP.
 - WHEN STACKING PANELS, INSTALL "HFSW" STACKING WASHERS IN THE TOP CHANNEL OF THE LOWER PANEL. CONNECT LOWER TO UPPER PANELS WITH TENSION ANCHORS (GRADE PER PLANS) AND SECURE AT BOTH ENDS WITH HARDENED ROUND WASHERS AND GRADE 8 NUTS TO BE SNUG TIGHT. **HARDY FRAME**® "STK" PANELS THAT INCLUDE "HFSW" STACKING WASHERS PRE-WELDED IN THE TOP CHANNEL ARE AVAILABLE.
 - WHEN MORE THAN 12 SCREWS ARE REQUIRED FOR THE BOTTOM CONNECTION OR JOINTS IN FRAMING MEMBERS OCCUR AT SCREW LOCATIONS, INSTALL ADDITIONAL 1/4"x4-1/2" WS SCREWS THROUGH THE BASE OF PANEL WHERE THEY ALIGN WITH HOLES IN THE HFXBP.
 - FOR STANDARD WALL HEIGHTS, INSTALL A 2x FILLER ABOVE PANEL (DTL 5/HFX2). FOR FILLERS GREATER THAN 1-1/2" IN. SEE DETAIL 6/HFX2.

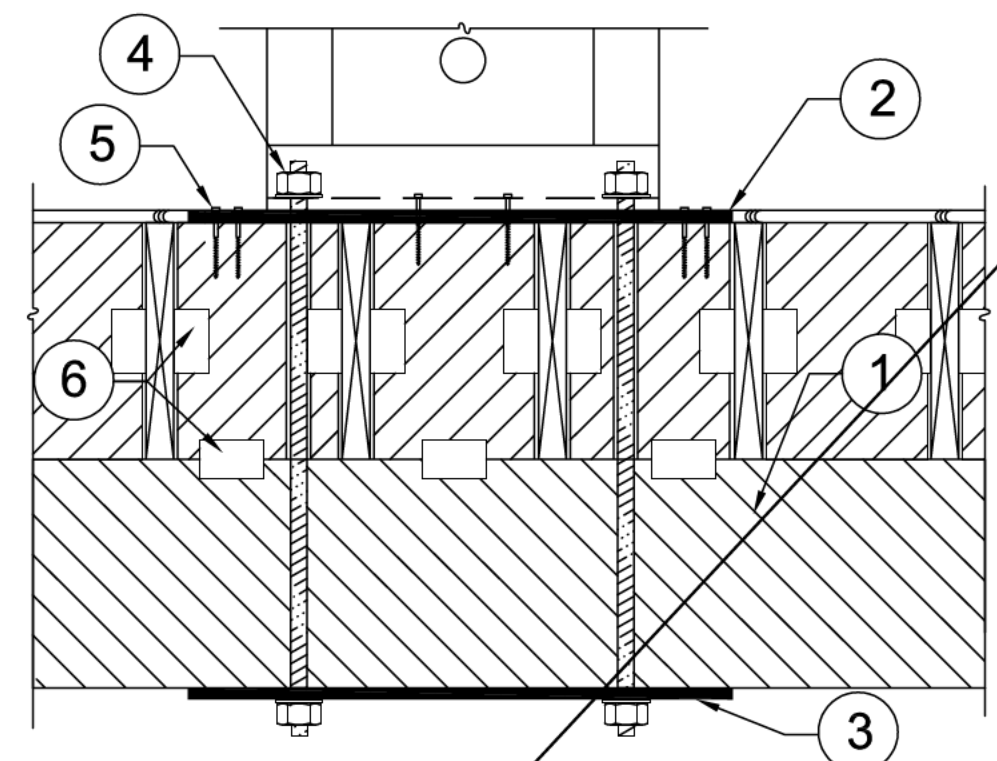
NOTE: INSTALLATIONS MAY VARY WITH JOB SPECIFIC CONDITIONS AND/OR SPECIFICATIONS BY THE BUILDING DESIGN PROFESSIONAL.

B



C

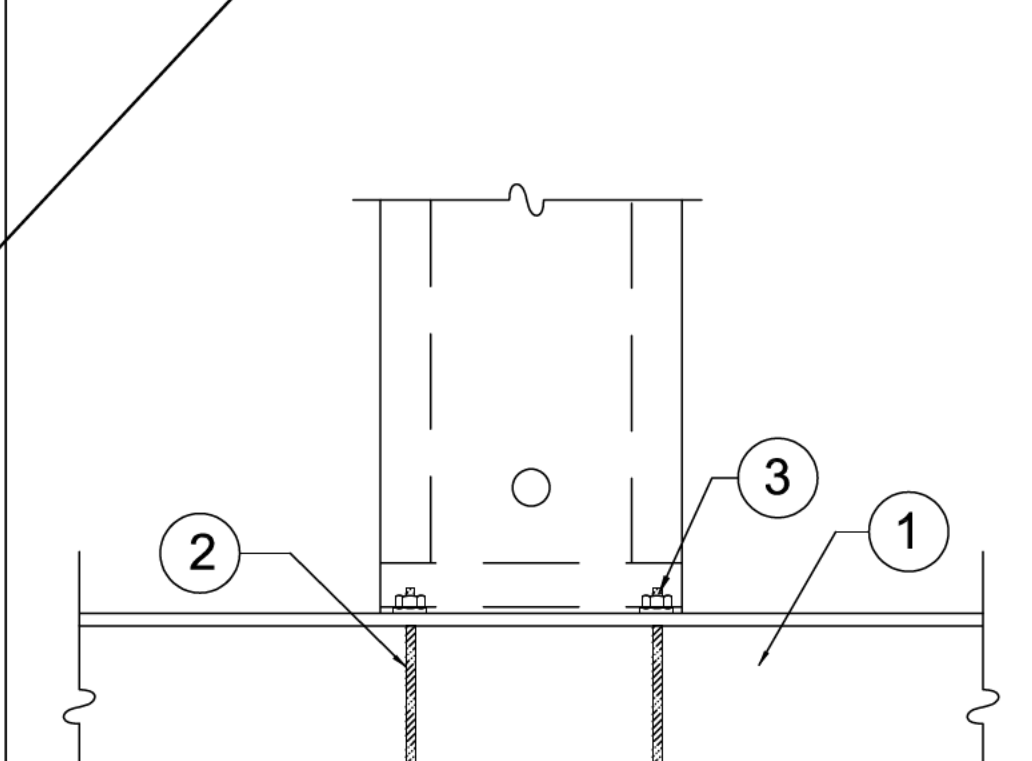
LOAD PATH FROM BEAM TO FOUNDATION AND CHECK THAT PANEL DRIFT IS WITHIN CODE LIMIT BY BUILDING DESIGN PROFESSIONAL.



- DROP BEAM WITH FLOOR JOIST ABOVE PER PLAN.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® BEARING PLATE (HFXBP) OR BEARING PLATE WASHER AT UNDERSIDE OF BEAM SIZED PER BUILDING DESIGN PROFESSIONAL TO LIMIT CRUSHING FROM TENSION ANCHOR FORCES.
- NUTS AND WASHERS PER TABLE NOTE 1.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP CONNECTORS BY DESIGN PROFESSIONAL

ROP BM - FL SYSTEM ⑭

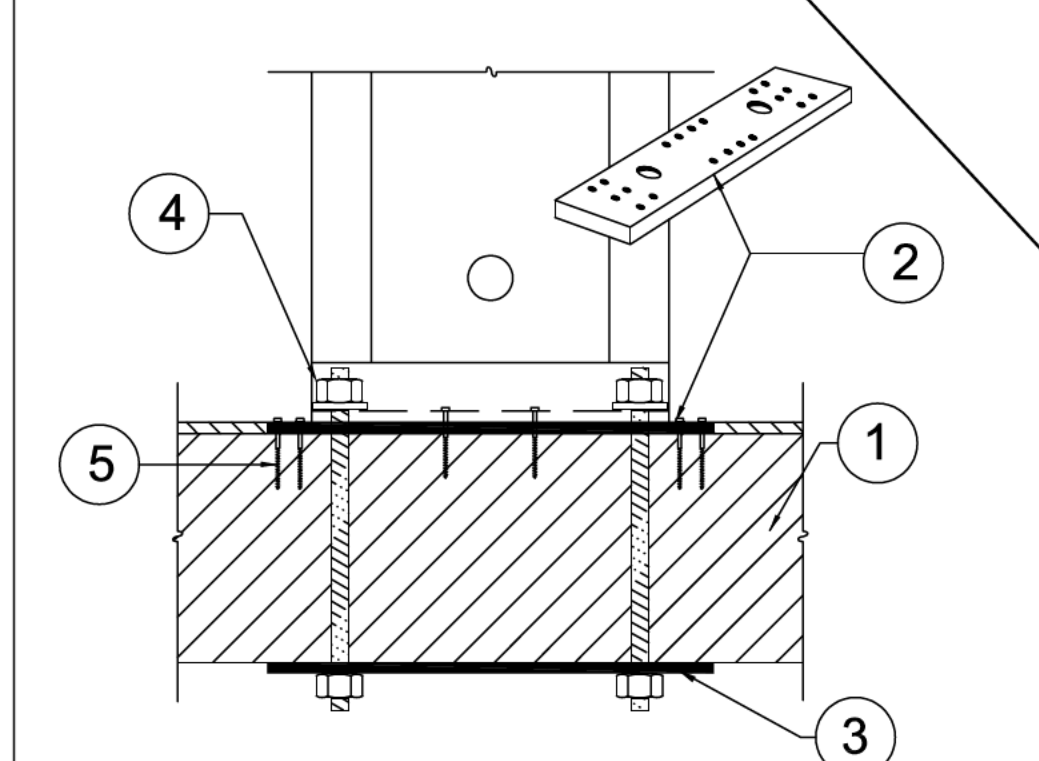
LOAD PATH FROM BEAM TO FOUNDATION AND CHECK THAT PANEL DRIFT IS WITHIN CODE LIMIT BY BUILDING DESIGN PROFESSIONAL.



- STEEL BEAM PER PLANS
- HOLD DOWN ALL THREAD RODS THRU-BOLTED TO BOTTOM FLANGE OF STEEL BEAM BY BUILDING DESIGN PROFESSIONAL.
- NUTS AND WASHERS AT PANEL BASE PER TABLE NOTE 1

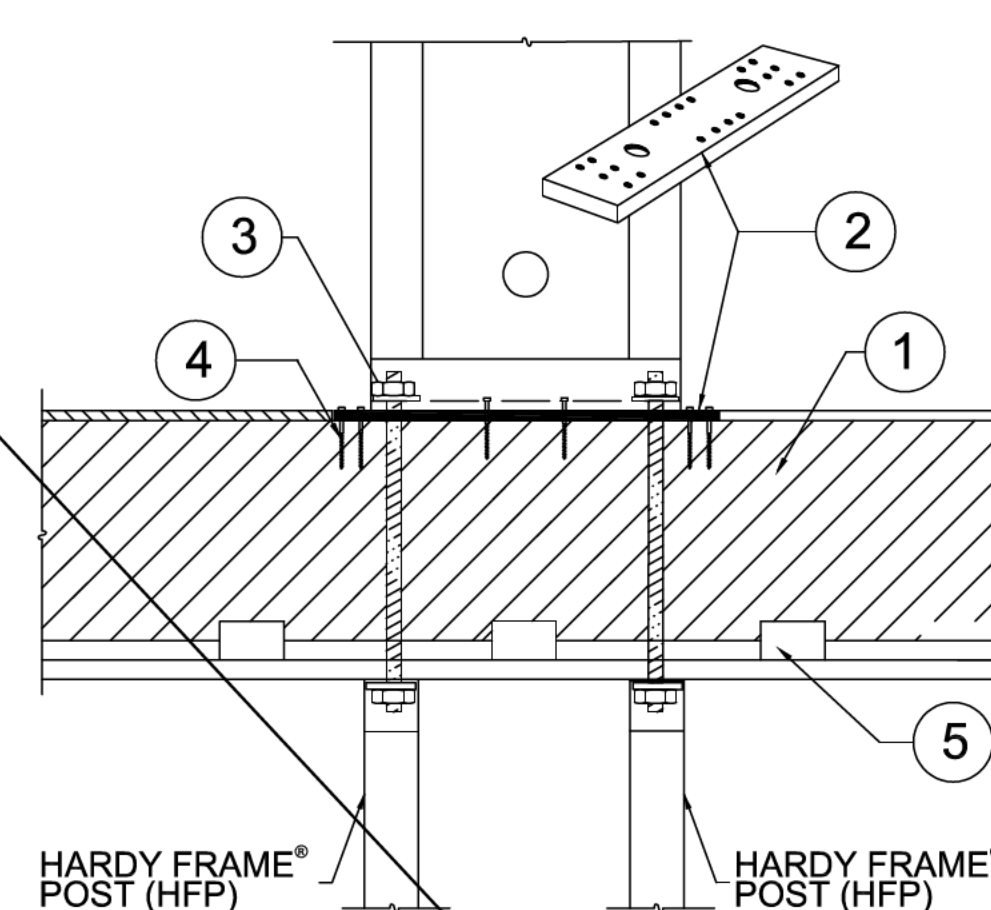
STEEL BM THRU-BOLT ⑬

LOAD PATH FROM BEAM TO FOUNDATION AND CHECK THAT PANEL DRIFT IS WITHIN CODE LIMIT BY BUILDING DESIGN PROFESSIONAL.



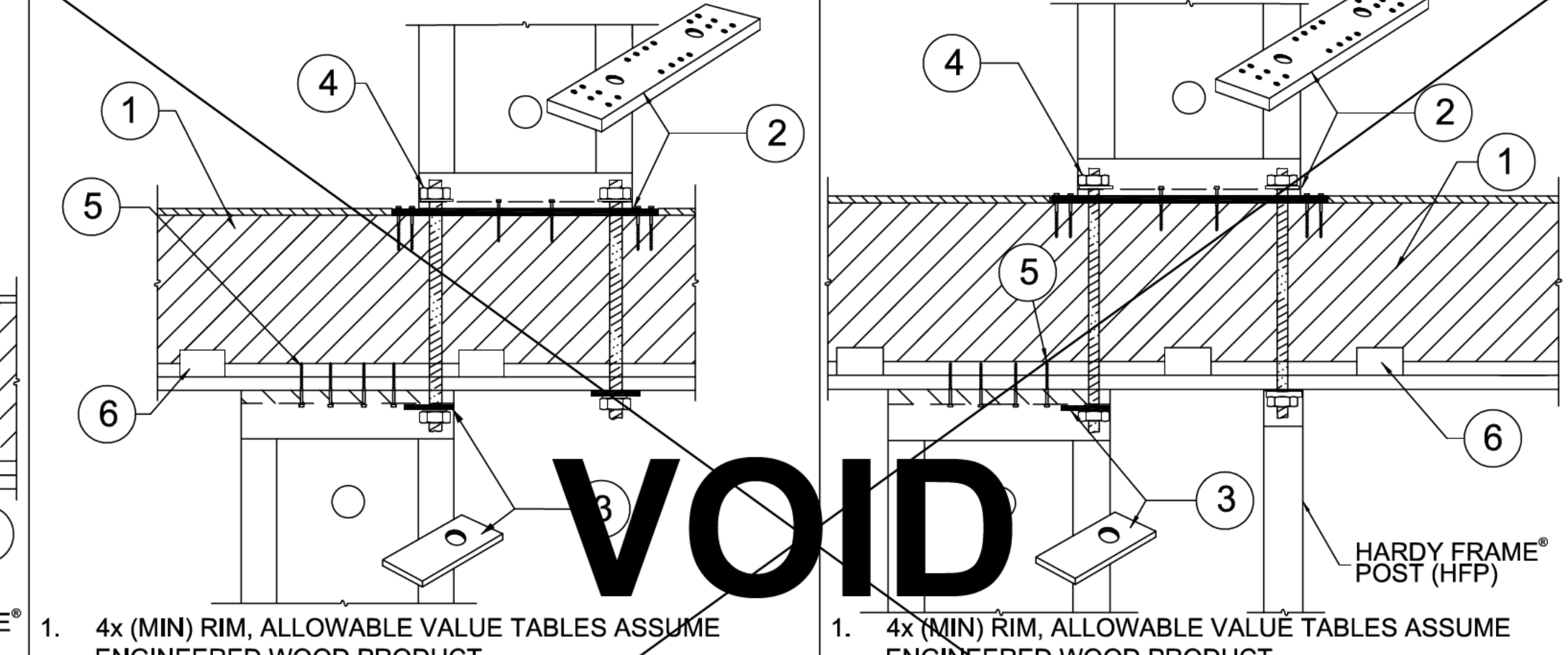
- WOOD BEAM PER PLAN.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® BEARING PLATE (HFXBP) OR BEARING PLATE WASHER AT UNDERSIDE OF BEAM SIZED PER BUILDING DESIGN PROFESSIONAL TO LIMIT CRUSHING FROM TENSION ANCHOR FORCES.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.

WOOD BM THRU-BOLT ⑫



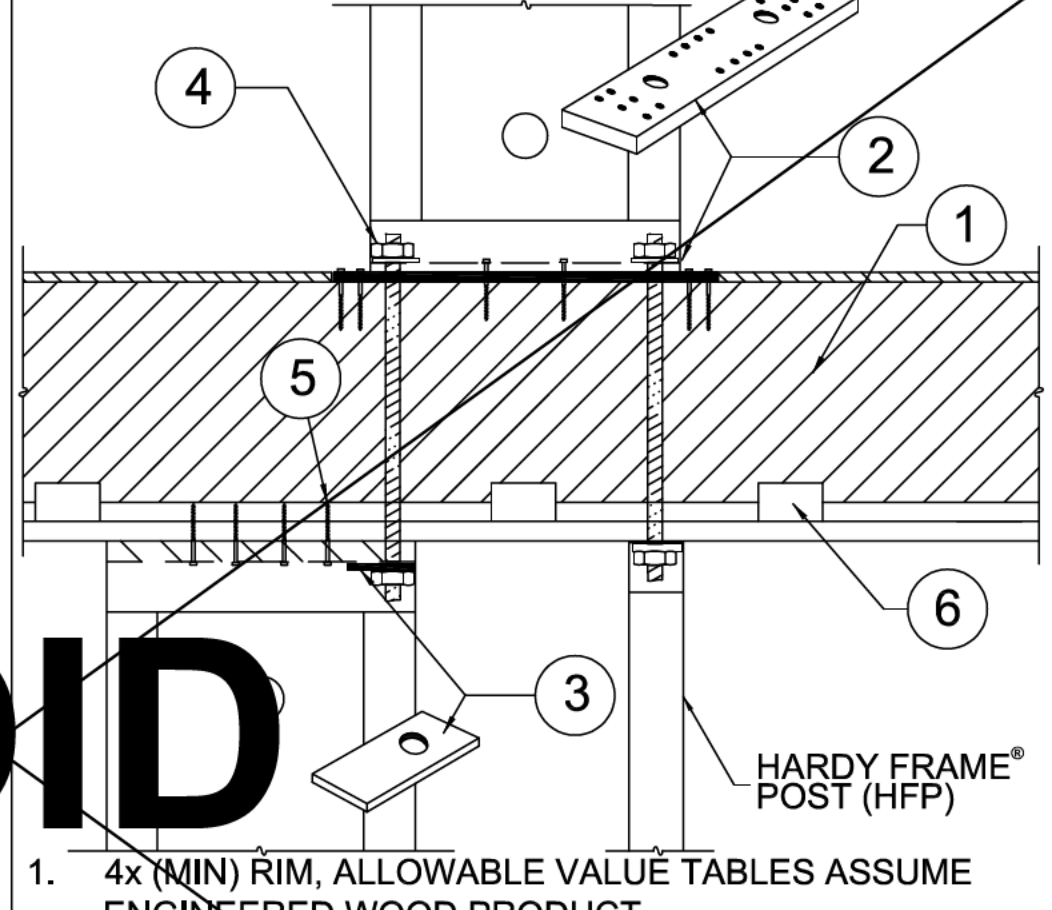
- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

HFP POSTS BELOW ⑪



- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® STACKING WASHER (HFSW) AT TOP OF PANEL REQUIRED WHEN CONNECTING TO TENSION ANCHOR FROM ABOVE.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

STAGGERED THRU-BOLT ⑩



- 4x (MIN) RIM, ALLOWABLE VALUE TABLES ASSUME ENGINEERED WOOD PRODUCT.
- NOTCH FLOOR SHEATHING THEN INSTALL **HARDY FRAME**® BEARING PLATE (HFXBP) AND PANEL PER INSTALLATION NOTES 3-6, DETAIL B/HFX3.
- HARDY FRAME**® STACKING WASHER (HFSW) AT TOP OF PANEL REQUIRED WHEN CONNECTING TO TENSION ANCHOR FROM ABOVE.
- 1-1/8" DIA. HOLD DOWN, HFSW AND N&W PER TABLE NOTE 1 ARE PROVIDED IN **HARDY FRAME**® HFTC KIT.
- 1/4" x 4-1/2" (MIN) WS SCREWS, QUANTITY PER TABLE.
- USP MP4F CONNECTORS, QUANTITY BY BUILDING DESIGN PROFESSIONAL.

STAGGERED-HFP POST ⑨

REVISIONS DATE

FLOOR SYSTEM DETAILS - HFX PANELS

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH MITEK® **HARDY FRAME**® PRODUCTS

HARDY FRAME SHEAR WALL SYSTEMS
16023 SWINGLEY RIDGE RD
CHESTERFIELD, MO 63017
(800) 325-8075
WWW.HARDYFRAME.COM

Mitek

DATE:
1-1-2023

HFX3

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 1 of 13)

GENERAL INFORMATION table with columns for Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Fuel Type, Standards Version, Software Version, Front Orientation, Number of Dwelling Units, Number of Bedrooms, Number of Stories, Fenestration Average U-factor, Glazing Percentage, ADU Conditioned Floor Area, No Dwelling Unit.

COMPLIANCE RESULTS table with 3 rows: 01 Building Complies with Computer Performance, 02 Building does not require field testing or HERS verification, 03 This building incorporates one or more Special Features shown below.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 2 of 13)

ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Source Energy (EDR1), Standard Design TDV Energy (EDR2), Proposed Design Source Energy (EDR1), Proposed Design TDV Energy (EDR2), Compliance Margin (EDR1), Compliance Margin (EDR2). Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, Efficiency Compliance Total, Photovoltaics, Battery, Flexibility, Indoor Lighting, Appl. & Cooking, Plug Loads, Outdoor Lighting, TOTAL COMPLIANCE.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 4 of 13)

OPAQUE SURFACES table with 11 columns: Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exemptions, Status, Verified Existing Condition. Rows include various surface types like JC AK AAA, AAGK AAA, DAAK AAA, etc.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 5 of 13)

ATTIC table with 10 columns: Name, Construction, Type, Roof Rise, Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof, Status, Verified Existing Condition. Rows include AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG.

FENESTRATION / GLAZING table with 16 columns: Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition. Rows include various window types like K AA I AA, K AA I AH, etc.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 7 of 13)

FENESTRATION / GLAZING table with 16 columns: Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition. Rows include various window types like K AA I AH, K AA I AI, etc.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 8 of 13)

FENESTRATION / GLAZING table with 16 columns: Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition. Rows include various window types like K AA I AH, K AA I AI, etc.

OPAQUE DOORS table with 6 columns: Name, Side of Building, Area, U-factor, Status, Verified Existing Condition. Rows include EC, EC A, EC I.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 9 of 13)

ENERGY USE INTENSITY table with columns for Standard Design (EDR1), Proposed Design (EDR2), Compliance Margin (EDR1), Margin Percentage. Rows include Gross EUI, Net EUI.

E A AE EDEFC GAHE EDEFC GAHE EDEFC GAHE EDEFC GAHE EDEFC GAHE

REQUIRED SPECIAL FEATURES AA AA I AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

HERS FEATURE SUMMARY table with columns for Project Name, Conditioned Floor Area, Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

BUILDING - FEATURES INFORMATION table with 7 columns: Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System, Status. Rows include AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: A AA AA AAAAA
Calculation Description: AA AAA A AA AEAE

Calculation Date/Time: AA AAGGEGHGHG I B CGHGH
Input File Name: A AA AA AAAAA BCGCCCPDAD

CF1R-PRF-01-E

(Page 9 of 13)

FENESTRATION / GLAZING table with 16 columns: Name, Type, Surface, Orientation, Azimuth, Width, Height, Mult., Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition. Rows include various window types like K AA I AH, K AA I AI, etc.

GHGHHH EEE DAE GHGHHH EAREAAAE EDEFC GAHE GHGHHH EAREAAAE AAAGGAA DA QREEMAGAE AAAGGAA DA DAAABAAE HAAG

Carstairs Energy Inc. logo and contact information: 9238 Bayview Heights Drive, Suite E, Los Osos, CA 94026, 805-904-9048, hite24@yahoo.com, www.carstairsenergy.com. Bonnie Lane Addition vertical text.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Calculation Date/Time: 11/03/2024 10:30:00 AM CFIR-PRF-01-E (Page 10 of 13)

Project Name: A AA AA AAAAA Calculation Description: AAAAAA AAAAAE Input File Name: A AA AA AAAAA BIAAACCOPALD

Table with 8 columns: O1, O2, O3, O4, O5, O6, O7, O8. Rows include Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior/Exterior Continuous R-value, U-factor, and Assembly Layers.

Table with 5 columns: O1, O2, O3, O4, O5. Rows include Quality Insulation Installation (QII) and Building Envelope Air Leakage.

Table with 12 columns: O1, O2, O3, O4, O5, O6, O7, O8, O9, O10, O11, O12. Rows include Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (#), Status, Verified Existing Condition, Existing Water Heating System.

Table with 15 columns: O1, O2, O3, O4, O5, O6, O7, O8, O9, O10, O11, O12, O13, O14, O15. Rows include Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value, Standby Loss or Recovery Eff, 1st Hc. Flow Rate, Tank Location, Status, Verified Existing Condition.

Timothy Carstairs, CEA, HERS, GPR. 2238 Bayview Heights Drive, Suite E, Los Osos, CA 93402. 805-904-9048.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Calculation Date/Time: 11/03/2024 10:30:00 AM CFIR-PRF-01-E (Page 11 of 13)

Project Name: A AA AA AAAAA Calculation Description: AAAAAA AAAAAE Input File Name: A AA AA AAAAA BIAAACCOPALD

Table with 7 columns: O1, O2, O3, O4, O5, O6, O7. Rows include Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery.

Table with 12 columns: O1, O2, O3, O4, O5, O6, O7, O8, O9, O10, O11, O12. Rows include Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Existing HVAC System.

Table with 5 columns: O1, O2, O3, O4, O5. Rows include Name, System Type, Number of Units, Heating Efficiency, Heating Unit Brand.

Table with 9 columns: O1, O2, O3, O4, O5, O6, O7, O8, O9. Rows include Name, System Type, Number of Units, Efficiency Metric, Efficiency SEER/SEER2, Zonally Controlled, Multi-speed Compressor, HERS Verification.

Timothy Carstairs, CEA, HERS, GPR. 2238 Bayview Heights Drive, Suite E, Los Osos, CA 93402. 805-904-9048.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Calculation Date/Time: 11/03/2024 10:30:00 AM CFIR-PRF-01-E (Page 12 of 13)

Project Name: A AA AA AAAAA Calculation Description: AAAAAA AAAAAE Input File Name: A AA AA AAAAA BIAAACCOPALD

Table with 16 columns: O1, O2, O3, O4, O5, O6, O7, O8, O9, O10, O11, O12, O13, O14, O15, O16. Rows include Name, Type, Design Type, Suppl Y, Return, Suppl Y, Return, Surface Area, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution system, New Ducts >= 25 ft.

Table with 4 columns: O1, O2, O3, O4. Rows include Name, Type, Fan Power (Watts/CFM), Name.

Table with 3 columns: O1, O2, O3. Rows include Name, Verified Fan Watt Draw, Required Fan Efficacy (Watts/CFM).

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Calculation Date/Time: 11/03/2024 10:30:00 AM CFIR-PRF-01-E (Page 13 of 13)

Project Name: A AA AA AAAAA Calculation Description: AAAAAA AAAAAE Input File Name: A AA AA AAAAA BIAAACCOPALD

Table with 2 columns: O1, O2. Rows include Construction Type, Cavity, Area, Special Features, Status.

Table with 2 columns: O1, O2. Rows include Orientation Area, U-Fac, SHGC, Overhang, Sides, Exterior Shades, Status.

Table with 5 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status. Rows include HVAC SYSTEMS, HVAC DISTRIBUTION, WATER HEATING.

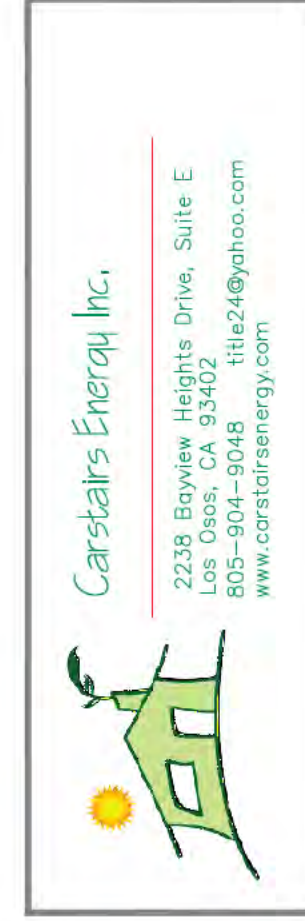
Timothy Carstairs, CEA, HERS, GPR. 2238 Bayview Heights Drive, Suite E, Los Osos, CA 93402. 805-904-9048.

RESIDENTIAL MEASURES SUMMARY RMS-1. Table with 7 columns: Construction Type, Cavity, Area, Special Features, Status. Includes sections for INSULATION, FENESTRATION, HVAC SYSTEMS, HVAC DISTRIBUTION, WATER HEATING.

RESIDENTIAL MEASURES SUMMARY RMS-1. Table with 7 columns: Construction Type, Cavity, Area, Special Features, Status. Includes sections for INSULATION, FENESTRATION, HVAC SYSTEMS, HVAC DISTRIBUTION, WATER HEATING.

2022 Single-Family Residential Mandatory Requirements Summary. Table with 5 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status. Includes sections for HVAC SYSTEMS, HVAC DISTRIBUTION, WATER HEATING.

2022 Single-Family Residential Mandatory Requirements Summary. Table with 5 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status. Includes sections for HVAC SYSTEMS, HVAC DISTRIBUTION, WATER HEATING.



Bonnie Lane Addition

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT**

MEETING DATE: 3/26/2024

ITEM NO: 5

DATE: March 21 , 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. **Located at 16401 Englewood Avenue.** APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002. Property Owner/Applicant: Christine Garwood. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:20 located at 16401 Englewood Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1939 per County Assessor
2. Town of Los Gatos Historic Status Code: N/A
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The applicant is requesting approval to remove the pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1939. The property is not included in the 1990 Anne Bloomfield Survey or Sanborn Fire Insurance Maps. The Town does not have records for the subject property as it was annexed into the Town in 2019.

PREPARED BY: Ryan Safty
Associate Planner

The applicant has provided a letter justifying the requested removal (Attachment 1), historic aerial imagery of the property (Attachment 2), Santa Clara County Residential Unit Property Record (Attachment 3), project plans from 2012 showing a remodel and new second-story addition (Attachment 4), and pictures of the current residence (Attachment 5). Based on the research provided, the applicant believes that the required findings for removal from the Historic Resources Inventory can be made for this property as the residence is not in its original condition and there is nothing noted about the property that is significant to the Town's history.

The aerial images in Attachment 2 show that the subject property was undeveloped in August of 1939, and it appears that a structure is shown on the subject property in May of 1948.

The Santa Clara County Residential Unit Property Record in Attachment 3 is from 1974, which was the oldest record available. As noted in the Applicant's letter (Attachment 1), the 1974 record was conducted after a 1973 remodel which included an enlarged garage and addition of two bedrooms and a bathroom. An image of the front of the house from 1974 is included in this report.

The property was sold to the current owners in 2011. In 2012, the owners obtained permits for a full remodel, second-story addition, and new covered porch with the County (Attachment 4). The approved elevations, as well as the current property pictures in Attachment 5, show a substantially different house than what existed in the 1974 Santa Clara County Residential Unit Property Record.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, a recommendation of approval of the request to remove the property from the Historic Resources Inventory would be forwarded to the Community Development Director. Once approved by the Director, any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

_____ In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

PAGE 3 OF 4

SUBJECT: 16401 Englewood Avenue/PHST-25-002

DATE: March 21, 2025

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. Request for Review Letter
2. Historic Aerials
3. Santa Clara County Residential Unit Property Record
4. 2012 Approved Plans
5. Property Pictures

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Historic Preservation Committee Request for Review Regarding the Property at:

16401 Englewood Avenue
Los Gatos CA 95032
APN 532-05-010

I request that the above property be removed from Historic Resources Inventory for the following reasons. The structure is not associated with events that have made a significant contribution to the Town; No Significant persons are associated with the site; There are no distinctive characteristics of type, period or method of construction or representation of work of a master; The structure does not yield information on the Town's history; The integrity has been compromised such that the structure no longer has the potential to convey significance.

In researching the history of this property I found no mention of this property in either the Sanborn Maps, 1941 Tax Assessment, 1989 Bloomfield Historic Resource Survey, Polk's Directories, Telephone Directories or General History Files. A very helpful librarian, Michael Lara, in the San Jose Public Library's California Room did help me find the attached aerial images of the property. The image dated 8-1-39 shows no structure on the property at that time (orange arrow denotes property). The image dated 5-14-48 does show a structure on the property. Therefore the structure was built sometime during that time period. It is unlikely that the structure was built in 1939 as stated in public records.

This property was, for most of its history, unincorporated and under the jurisdiction of Santa Clara County. It was recently annexed into the Town of Los Gatos as a result of an entire neighborhood annexation.

The Santa Clara County Residential Unit Property Record (attached) from 1974 is the oldest record available. It contains an image of the property in 1974 when it was accessed after a remodel. That remodel was permitted in 1973 and SCC Planning Department does have a record of the permit (BP 17730 - Enlarge Garage, Add 2 Bedrooms, Bath). However, no plans or other documents associated with the permit are available.

My husband and I purchased the property in 2011. In 2012 we did a full remodel and added a 2nd story and covered porch. This was permitted through SCC (BP 49975). Please note that the remodel did not trigger annexation at that time. As part of the 2nd story addition and remodel we replaced all siding, windows, and roof and therefore the elevations of the structure completely changed. Please see attached elevations from that permitted work and images of the home.

I do not believe the structure had historic significance when we purchased it in 2011 but after the 2012 remodel the integrity would have been compromised such that the structure no longer has the potential to convey significance. For these reasons, we ask the committee to remove this property from Historic Resources Inventory.

ATTACHMENT 1

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08/01/1939



05/14/1948



SANTA CLARA COUNTY RESIDENTIAL UNIT PROPERTY RECORD

ADDRESS: **16401 Englewood Ave** DISTRICT No. **16401** TRACT No. **2844** LOT **23** BLOCK **1**

RECORD DATA

DESCRIPTION OF BUILDING											
1	ROOF	8	FIREPLACE	12	ROOM AND FINISH DETAIL						
H	M	L	NUMBER	ROOMS	FLOORS	ROOM FINISH	INTERIOR FINISH				
FLAT			MULTY. OPENINGS	0	1	2	MATERIAL	GR	WALLS	CEILING	REMARKS
CABLE			BARBEQUE	ALL							
HIP			RAISED HEARTH	ENT. HALL							
SHED			METAL BRICK	LIVING		HW					
CUT-UP			STONE MARBLE	DINING		QUARRY TILE					
BOX EAVES			FREE STANDING	FAMILY							
SHINGLE				KITCHEN		LINO					
SHAKE				BREAKFAST							
COMPO-SHINGLE			9 HEATING	BEDROOM	4	CARP (1 BRICK)					
COMPO-ROLL			FORCED CENTRAL								
TAR AND GRAVEL			WALL PERIM.	UTILITY							
TILE			FLOOR								
CONCRETE			ELEC. CEILING	13	KITCHEN DETAIL						
CONCRETE TILE			RADIANT	BSBD.	KITCHEN CAB.	METAL	O.P.	H.W.	GR.	WALL CAB.	E
ROCK			THERM.	DR. DR. ACABTOP	TILE	MICA	LIND.	SPLASH	BASE CAB.	E	FT
GUTTERS	PAV		X ENGR.	ECONO.	14	BATH DETAIL					
2 EXTERIOR											
STUCCO	SHEAHT.	REFRIG.	CENTRAL	1-2	VIN	2	3	2			
SIDING	SHINGLE	EVAP.	WALL								
SHAKE	ADMBROS.	ENGINE	ECONO.								
B & B	ALUM.										
B.R. VEN.	STONE V.										
3 STRUCT. WALLS											
FRAME	CONC. BLK.	MANT.	GOOD								
BRICK	ADDOBE	REC. FIX.	220								
STEEL	CONC.										
4 FOUNDATION											
CONCRETE BASED	ITEM	FACT.	AREA	UNIT COST	COST	UNIT COST	COST	UNIT COST	COST		
CONCRETE SLAB	FIRST FLOOR		1738	120	20856	120	21850				
CONCRETE BLOCK	SECOND FLOOR										
ROCKENT PROOF	THIRD FLOOR										
5 GARAGE	GARAGE	40	476	4.70	2237	400	2330				
DOORS	WALLS	25	90	3.00	270						
AUTOGON	S.W. WALL										
ATTACHED	FIREPLACE		224	2.00	448		450				
DETACHED	HEATING-A/C		1738		600		878				
ROOM OVER	FLATWORK				400		400				
LOFT OVER	ADDITION										
CARPORT	EXTRA KITCH.										
	EXTRA PLUMB.										
6 WINDOWS											
D.N.L.	WOOD	BSMT.									
CSMT.	STEEL	POOL	512				10	5120			
SLIDE	ALUM.	HILL CONST.									
LVRES	TINT	MISC.									
f	A	X	G								
SLIDING GLASS DR											
7 BUILT-INS											
BARBEQUE	TOTAL R.C.N.										
KITCHEN FAN	NORMAL % GOOD										
HOOD	R.C.N.D.										
OVEN											
DOUBLE OVENS											
ELECTRONIC OVEN											
DROP-IN R & D											
SLIDE-IN R & D											
GARBAGE DISPOSAL											
DISHWASHER	18	REMARKS									
REFRIGERATOR											
INTERCOM											
BREAKFAST BAR		DNE - kitchen detail from appraisal sheet, plans on addition + overhauls.									
VACUUM CLEANER		1974 ADD. REC. - QUALITY CUR. OF BEST TO N/A. H.O. = SERRA LOMA VILLA									
WET BAR		1981 CHECK WITH CHRG. 7/8/79									
WATER SOFTENER											
WTR. HTR. GAL	40										
T.R. COMPACT											

A.P.N. **532-05-010**

LAND VALUE COMPUTATIONS

YEAR	UNIT VALUE	FRONT FT. VALUE	SITE VALUE	VALUE
1974			12680	12680

TOTAL PROPERTY SUMMARY

ASSESSMENT YEAR	1974	1975	1976	1977
APPRaiser	6W	6W	6W	6W
MONTH-DAY-YEAR	3-1-74	4-1-75	4-1-76	4-1-77
R.C.N.	27292	28500	28500	28500
R.C.N.D.	19377	12000	12000	12000
LAND VALUE	12680	12000	12000	12000
SUMMATION	32057	36500	36500	36500
DATE OF SALE				
INDICATED SALE PRICE				
LISTED SALE PRICE				
MARKET DATA INDICATOR				

TOTAL PROPERTY

TOTAL PROPERTY VALUE	32000	36500	41000	
LAND VALUE	12680	12000	13200	
IMPROVEMENT VALUE	19320	24500	27800	
PERSONAL PROP. VALUE				

TOPOGRAPHY

228	LOW	EVEN	X	HIGH
229	SELECT ONE			
	LEVEL			1 X
	HILLY			2
	SLOPE			3
	BANK			4
	OTHER			5

NEIGHBORHOOD

230	OWNER OCCUPIED	NO	YES
231	TREND	1	2 3
232	CITY SERVICES (TYPE)	1	2 3
233	TAX RATE	1	2 3
234	PLANNING	1	2 3
235	MARKET DEMAND	1	2 3
236	RESIDENTIAL AREA	NO	YES
237	SINGLE FAMILY	NO	YES

TOTAL PROPERTY

240	ARCHITECTURAL ATTRACT	1	2	3
241	UNIT CONFORMITY	1	2	3
242	LOT UTILIZATION	1	2	3
243	IMPROVEMENT	1	2	3
244	TEMPORARY VALUE	NO	YES	

CALCULATIONS

$6 \times 14 = 84$
 $13 \times 33 = 429$
 $16 \times 39 = 624$
 $4 \times 37 = 148$
 $6 \times 10 = 60$
 $18 \times 24 = 432$
 1738 ft^2

DEDUCT
 $5 \times 22 = 110$
 $6 \times 8 = 48$
 224

$6 \times 9 = 54$
 $10 \times 23 = 230$
 $10 \times 21 = 210$
 476 ft^2

PLAT OF BUILDING
 SCALE
 YEAR LAND IMP.

REMARKS
 3-74 completed around 4-1-74
 Nearly completed in 3-1-74

Original house was 1140 sq ft w/ 360 sq ft garage
 7th Addition + garage 1600 sq ft + new garage.

SHEET 05 OF 010

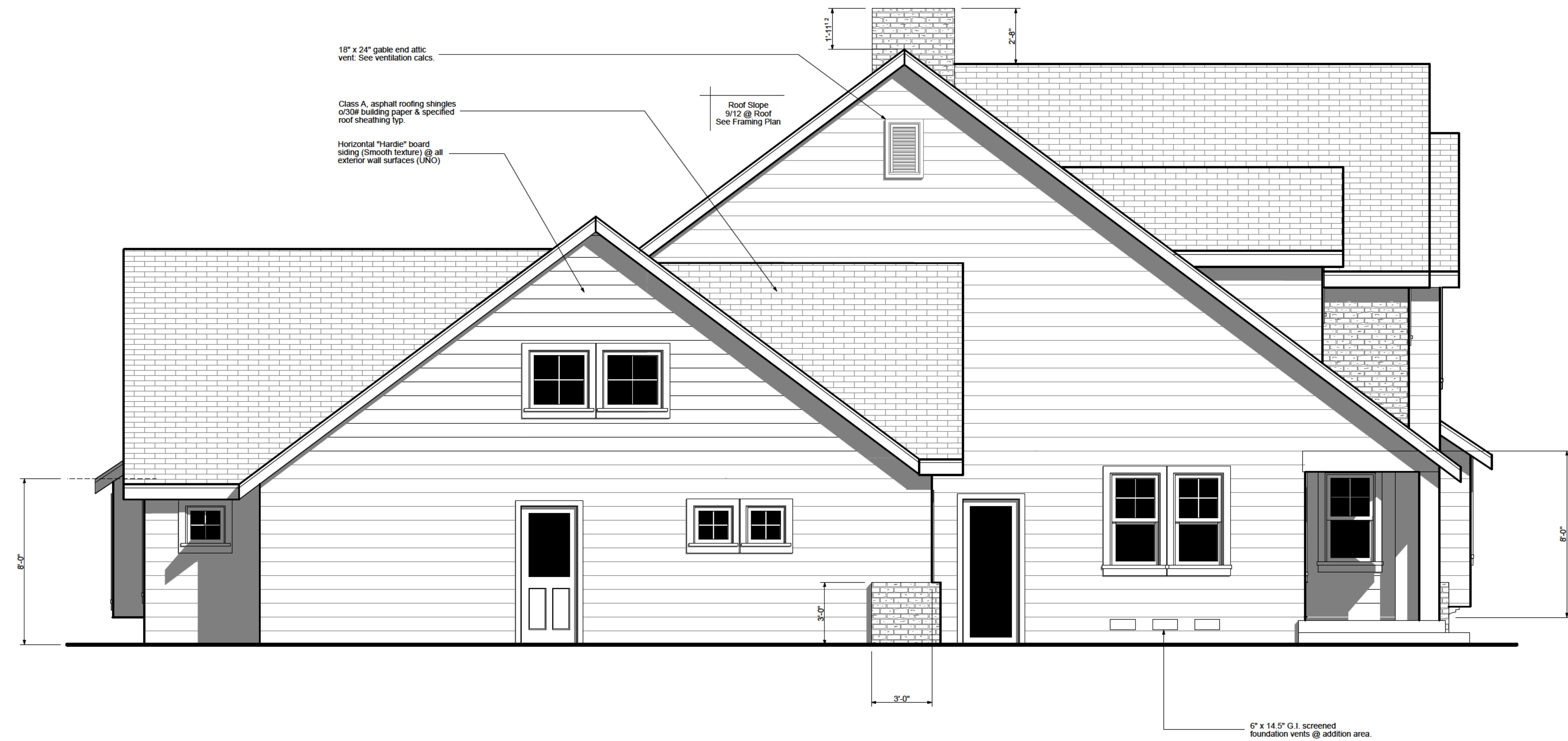
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EXTERIOR FINISH NOTES	
ROOFING:	
Class A, asphalt roofing shingles (40 year) o/minimum 30# building paper o/CDX plywood roof sheathing. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheathing may be used in lieu of standard plywood upon receiving approval from the engineer of record. Where roof slopes are less than 4/12, use (2) layers of roofing underlayment. CRC R905.2.2 & R905.7.2. Use "Radiant Barrier Sheathing" where required by T24.	
SIDING:	
Exterior Walls: 8"-10" Hardie Board horizontal siding o/30# building paper or equal, o/CDX plywood wall sheathing, nailed @ 6/12 minimum. See engineer's "Shear Wall Schedule" for specified plywood thickness and minimum nailing requirements. OSB wall sheathing may be used in lieu of plywood with engineer of record's approval.	
Non Shear Walls: Provide a minimum of 3/8" CDX plywood wall sheathing, "Full Wrap". Nail w/8d @ 6/12 minimum. For remodel projects, only new walls shall receive full wrap sheathing (UNO).	
Wall Base: Siding shall have a minimum of 8" clear to grade per CRC.	
DOORS & WINDOWS:	
All exterior doors (with glass) & windows shall be constructed with dual paned, low "E" glazing. Tempered glazing shall be required per CRC Sections R308, R311 & R612. Door & window manufacturer shall be selected & approved by the property owner. See Sheet DW.1 for additional door & window notes & schedules.	
ACCENTS:	
See Exterior Elevations for additional wall & roof details & specifications.	



FRONT ELEVATION (EAST)

1/4" = 1'-0"



LEFT SIDE ELEVATION (SOUTH)

1/4" = 1'-0"

REVISIONS:	#

BR

Britt • Rowe
 108 N. Santa Cruz Ave.
 Los Gatos, CA 95030

408.354.6224 (office)
 408.354.6514 (fax)
 www.britt-rowe.com

Britt Rowe shall retain all rights and ownership to all drawings and documents. No portion of these drawings may be used in whole or in part, without expressed written consent given by Britt Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these codes.

RESIDENCE

16401 ENGLEWOOD AVENUE
 LOS GATOS, CA 95032

DRAWING:	Exterior Elevations
DATE:	8/10/12
SCALE:	Noted
DRAWN BY:	MAR

A5.1

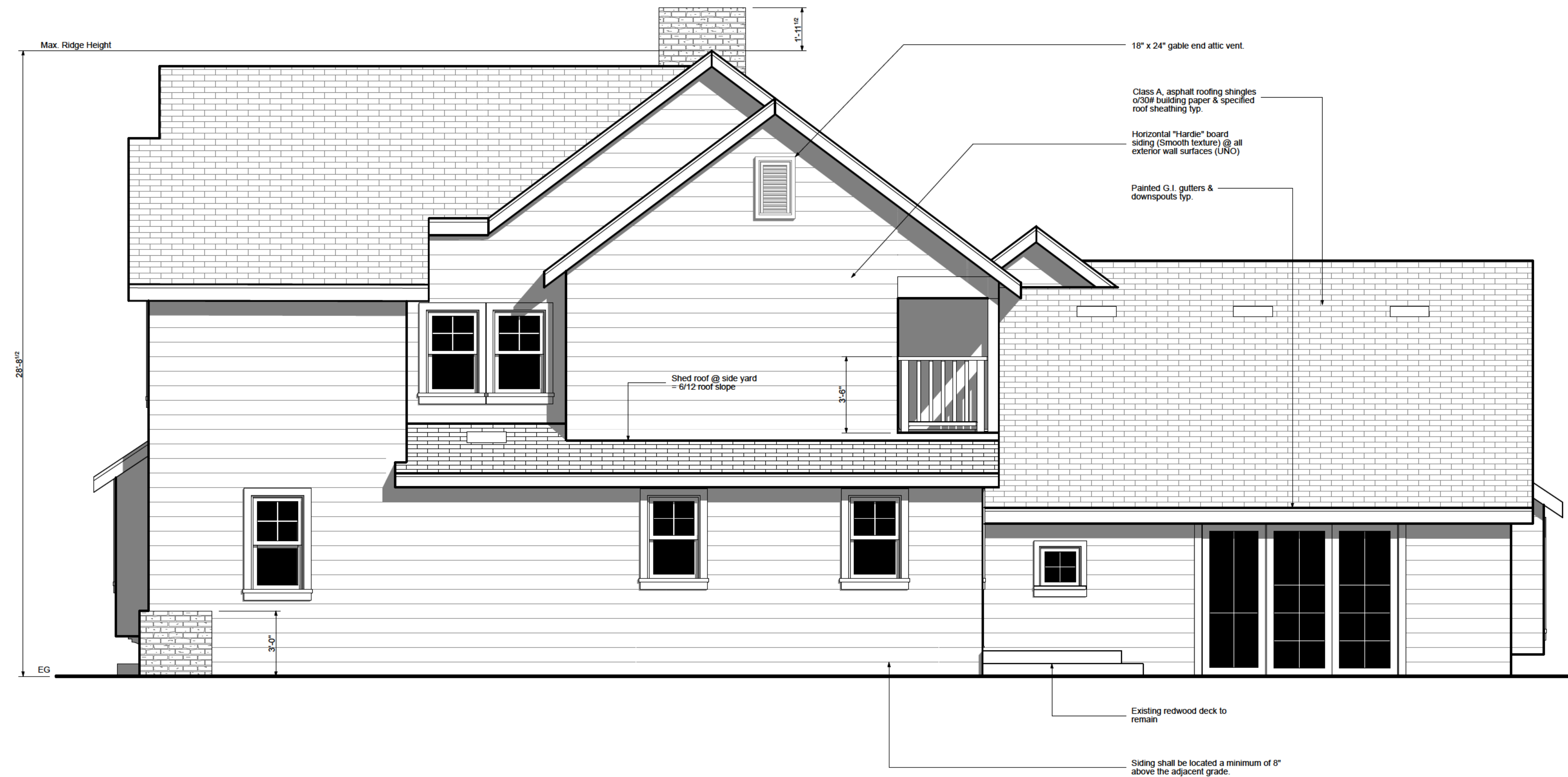
EXTERIOR FINISH NOTES

ROOFING:
Class A, asphalt roofing shingles (40 year) o/m n mum 30# building paper, o/CDX plywood roof sheathing. Roof material colors and/or manufacturers shall be selected and approved by the property owner. OSB plywood sheathing may be used in lieu of standard plywood upon receiving approval from the engineer of record. Where roof slopes are less than 4/12, use (2) layers of roofing underlayment. CRC R905.2.2 & R905.7.2. Use "Radiant Barrier Sheathing" where required by T24.
SIDING:
Exterior Walls: 8"-10" Hardie Board horizontal siding o/30# building paper or equal, o/CDX plywood wall sheathing, nailed @ 6/12 minimum. See engineer's "Shear Wall Schedule" for specified plywood thickness and minimum nailing requirements. OSB wall sheathing may be used in lieu of plywood with engineer of record's approval.
Non Shear Walls: Provide a minimum of 3/8" CDX plywood wall sheathing, "Full Wrap". Nail w/8d @ 6/12 minimum. For remodel projects, only new walls shall receive full wrap sheathing (UNO).
Wall Base: Siding shall have a minimum of 8" clear to grade per CRC.
DOORS & WINDOWS:
All exterior doors (with glass) & windows shall be constructed with dual paned, low "E" glazing. Tempered glazing shall be required per CRC Sections R308, R311 & R612. Door & window manufacturer shall be selected & approved by the property owner. See Sheet DW.1 for additional door & window notes & schedules.
ACCENTS:
See Exterior Elevations for additional wall & roof details & specifications.



REAR ELEVATION (WEST)

1/4" = 1'-0"



RIGHT SIDE ELEVATION (NORTH)

1/4" = 1'-0"

REVISIONS:	#

BR

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RESIDENCE
 16401 ENGLEWOOD AVENUE
 LOS GATOS, CA 95032

DRAWING:	Exterior Elevations
DATE:	8/10/12
SCALE:	Noted
DRAWN BY:	MAR

A5.2

16401 Englewood Ave
Los Gatos, California











**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 11/20/2024

ITEM NO: 6

DATE: March 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Preliminary Review to Construct an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 333 Los Gatos Boulevard.** APN 529-22-021. Exempt Pursuant to CEQA Section 15301: Existing Facilities. Request for Review Application PHST-25-004. Property Owner/Applicant: Nichola Palmer. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for preliminary review to construct an addition to an existing pre-1941 single-family residence on property zoned R-1D, located at 333 Los Gatos Boulevard.

PROPERTY DETAILS:

1. Date primary structure was built: 1912 (effective year built 1922) per County Assessor's Database
2. Town of Los Gatos Historic Status Code: +, historic and intact, worthy of special note
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The subject property is located on the west side of Los Gatos Boulevard near the intersection with Harding Avenue. The County Assessor reports that the residence was constructed in 1912, with an effective year built of 1922. The Anne Bloomfield survey provides an estimated construction date of the 1900s and assigns a preliminary rating of "+" or historic and intact, worthy of special note (Attachment 1).

PREPARED BY: Sean Mullin, AICP
Planning Manager

The Sanborn Fire Insurance Maps do not provide coverage for the property until 1928. The footprint of the residence remains consistent between the 1928 and the 1956 maps (Attachment 2). Town records include a permit to repair earthquake damage to the fireplace in 1990.

DISCUSSION:

The applicant provided a Letter of Justification for the proposed project (Attachment 3). The applicant is requesting preliminary review of a proposal to construct an addition and exterior alterations to the existing residence (Attachment 5). The addition would be constructed on the left side of the front elevation, within a portion of the existing covered porch. The approximately 65-square foot addition would accommodate a new bathroom for the residence. The addition includes wood siding to match the existing, as well as two new windows. An eight-over-one divided lite window would be located on the front elevation and a four-over-one divided lite window would be located on the left side elevation. The proposed divided lite patterns would be consistent with other existing windows on the residence. Information regarding window materials and trim profiles were not provided for this preliminary review.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

CONCLUSION:

Consider a request for preliminary review of a proposal to construct an addition to an existing pre-1941 single-family residence on property zoned R-1D, located at 333 Los Gatos Boulevard. It appears that the project could be accomplished under a Building Permit. Once the process is

PAGE 3 OF 3

SUBJECT: 333 Los Gatos Boulevard/PHST-25-004

DATE: March 21, 2025

confirmed, this application would return to the Committee for a recommendation to be forwarded to the Community Development Director.

ATTACHMENTS:

1. Anne Bloomfield Survey
2. Sanborn Fire Insurance Maps Exhibit
3. Letter of Justification
4. Section 3.9, Residential Design Guidelines
5. Development Plans

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LOS GATOS HISTORIC RESOURCES INVENTORY
EVALUATION SHEET

Building or District Name Rasmussen, George & Loretta, House
Address(es) 333 Los Gatos Blvd.

<u>Criterion</u>	<u>This Building</u>	<u>Ratings</u>
A. ARCHITECTURE		
1. Building type	<u>1-st residence</u>	E VG <u>G</u> FP
2. Construction	<u>wood frame</u>	E VG <u>G</u> FP
3. Style	<u>Craftsman - ex. example of many</u>	E <u>VG</u> G FP
4. Architect	<u>Unk</u>	E VG G <u>FP</u>
5. Design	<u>horizontalness of long front porch</u>	E <u>VG</u> G FP
6. Interior		E VG G <u>FP</u>
B. HISTORY		
7. Age	<u>1910 (Tax Ass.)</u>	E VG <u>G</u> F P
8. Person(s)	^(imp. intim. conn.) <u>George Rasmussen, stationer, news delivery</u> _{businessman's}	E VG <u>G</u> FP
9. Event		E VG G <u>FP</u>
10. Patterns	^{fairly early} <u>residential development spreads out</u> <u>main arteries</u>	E <u>VG</u> G FP
C. ENVIRONMENT		
11. Scale/Massing	<u>maintains resid. character</u>	E VG <u>G</u> FP
12. Setting	<u>deep front yard, landscaped</u>	E <u>VG</u> G FP
13. Landmark		E VG G <u>FP</u>
D. INTEGRITY		
14. Alterations	<u>None apparent</u>	E <u>VG</u> G FP

CUMULATIVE RATING: 3 ___ Appears eligible for National Register.
4 ___ May become eligible for National Register.
5 S Appears eligible for local designation.



Name of District _____
6 ___ Appears ineligible for designation, but older than 1942.
7 ___ Appears ineligible for designation because newer than 1941.

(S=single listing. D=District contributor. B=Both. N=Non-contributor to district.)

Evaluated by: B Date 29-12-90
Reviewed by: _____ Date _____
Reviewed by: _____ Date _____
Reviewed by: _____ Date _____

LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Rasmussen Ho.

Address(es) 333 LGB

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	2	0	Type		
10	5	2	0	Construction		
10	5	2	0	Style		
8	4	2	0	Architect		
25	12	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	<u>0</u>	Interior	—	<u>21</u>
	17	4		ARCHITECTURE		(Max. 50)
10	5	2	1/0	Age		
15	8	4	0	Person		
10	5	2	0	Event		
<u>15</u>	<u>8</u>	<u>4</u>	<u>0</u>	Patterns	—	<u>14</u>
	4	6		HISTORY		(Max. 25)
25	12	6	0	Scale/Massing		
8	4	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	<u>0</u>	Landmark	—	<u>10</u>
				ENVIRONMENT		(Max. 25)
<u>0</u>	-6	-12	125	INTEGRITY	—	<u>-0</u>

Cumulative Rating:

CUMULATIVE TOTAL

45

- 60+ = 3 (appears eligible for National Register)
- 40-59 = 5 (appears eligible for local listing)
- 23-59 = D (contributor to district rated one of the above)
- 22- = 6 or 7 (ineligible) or non-contributor

NO?

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

500 e

File address 333 Los G Blvd

PARCEL MAP INFORMATION

Parcel # 529-22-021 Lot size: 64 front ft. x 5.170 ft. deep
Lot shape: Rectangle off L Rectangle with small rear jog Other _____
Location: N ___ S ___ E ___ W / side of LG St ___ Ave ___ Other Blvd
distance to cross st: 4.600 ft. N ___ S / E ___ W ___ from Caldwell
at NE ___ NW ___ SE ___ SW ___ corner of _____

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Stanley Sub Old Block # _____ Old lot # 1

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1900s Style Craftsman # stories _____
Alterations rear garage w. unit (new)
Other _____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date _____

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944	Blk 40	333 S J Stanley Sub lot 1	64x175	Loretta Rasmussen

MISCELLANEOUS

National Register listed date _____
County Inventory 1979 _____
Town of Los Gatos: Designation _____ Recognition _____
District Name _____
Previous Survey _____
Gebhard: page # _____ illustration page # _____
Butler/Junior League _____

PHOTOS: Roll/frame # 021/4 Date 4 Jan 90



Anne Bloomfield
ARCHITECTURAL/CULTURAL SURVEY
NAME RESEARCH

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Name (person, building, organization, etc) _____

Addresses associated with Name 333 LGB

Relevant dates: construction _____ birth _____ death _____ other _____

I. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
5/1924	LSD	San Jose, 333	Rasmussen, Geo P (Claretta) Ino occ. h 533 SS
1912	SD	Rasmussen, Geo P	stationery E Main & San Jose Av. + Marie dk GPR + Peter
1905	"	" " " "	" " " " " " + ϕ
1902	"	" " " "	ϕ [only P. Market]

II. BIOGRAPHICAL SEARCH, indexes & other alphabetical listings. Mark 'X' (info or 'B' (nothing found) at each source you try. List findings below.

- | | |
|---|---|
| Los Gatos Library: | California History Center, De Anza College: |
| <input type="checkbox"/> City directories (name & street index) | <input type="checkbox"/> Biographical file |
| <input checked="" type="checkbox"/> Historic Collection Index (green boxes) | <input type="checkbox"/> Photo collection |
| <input type="checkbox"/> Thompson & West, 1876 (bio index) | |
| <input type="checkbox"/> Pen Pictures, 1988 (bio index) | |
| <input type="checkbox"/> Sunshine Fruit & Flowers, 1895 (bio index) | |
| <input type="checkbox"/> Guinn, 1904 (bio index) | San Jose Historical Museum: |
| <input type="checkbox"/> Sawyer, 1922 (bio index) | <input type="checkbox"/> Great Registers (of voters) |
| <input type="checkbox"/> Bruntz, Hist'y of LG, 1971 (bio index) | <input type="checkbox"/> Indexes |
| <input checked="" type="checkbox"/> Extended index to Bruntz | <input type="checkbox"/> Photo collection |
| <input type="checkbox"/> Bio index of Munroe Frazer, 1881 (Survey box) | Other sources: |
| <input type="checkbox"/> Photo collection (2 boxes) | <input type="checkbox"/> Indexes, California Historical Quarterly |
| Los Gatos Museum (Forbes Mill): | <input type="checkbox"/> State Library Information Index (fiche) |
| <input type="checkbox"/> Death records by year | <input type="checkbox"/> State Library-S.F. Newspaper Index (") |
| <input type="checkbox"/> Funeral records (index cards to big books) | |
| <input type="checkbox"/> Photo collection | |

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).
Bruntz, 92 - in 1919 Henry C Crall (21 N. Sta. Cruz) "bought out Geo. Rasmussen who not only had a book store but operated all the newspaper routes in Los G." "

Anne Oomfield
 ARCHITECTURAL SURVEY
 BUILDING RESEARCH

File address 333LGB

PUBLISHED ANNOUNCEMENTS

Source: A&E Bulletin CA&BN Call Chron DPB Ed AB EK News PCA Other
 Volume Date Page
 Nature of announcement: Contract notice Notice of completion BP issued Photo Elev/sketch/rend'g Floor plan Arch't/cont'r pub Real est.
 Copy exactly: Owner Builder/Contractor Architect/Engineer Location Nature of work Cost

Initials Date

BUILDING PERMITS

Address requested

Source: Permit Register, Press-Dem., or . . . Application Number Date Location Cost Use/No. of Units Owner & address Builder/contr. & address Arch't/engin'r & address Description of work Bldg's width/depth/height Exterior Materials

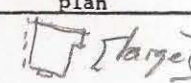
Initials date

OTHER SOURCE (specify thoroughly)

141 Survey - bldg 1919 - 1-st, 7 rms, wood frame, 1920 #

Initials Date

SANBORN MAPS

Date	Vol/ page	Vac. or dif. bldg	Address	Color: yel, pnk, orange, blu, gry green	Use	Patches Yes/ No	No. of stories	Height (ft.)	No. of bay windows	Porch	Misc.	Date of constr.	Describe or sketch plan
1944	27	This	333 469 SJAV		D	#3 NE cor	1	-	1 N	Whole front			 [Tower]
1928	"	"	"		"	N	"	"	"	"			
1908	no exp.												

Initials

Anne Lombomfield

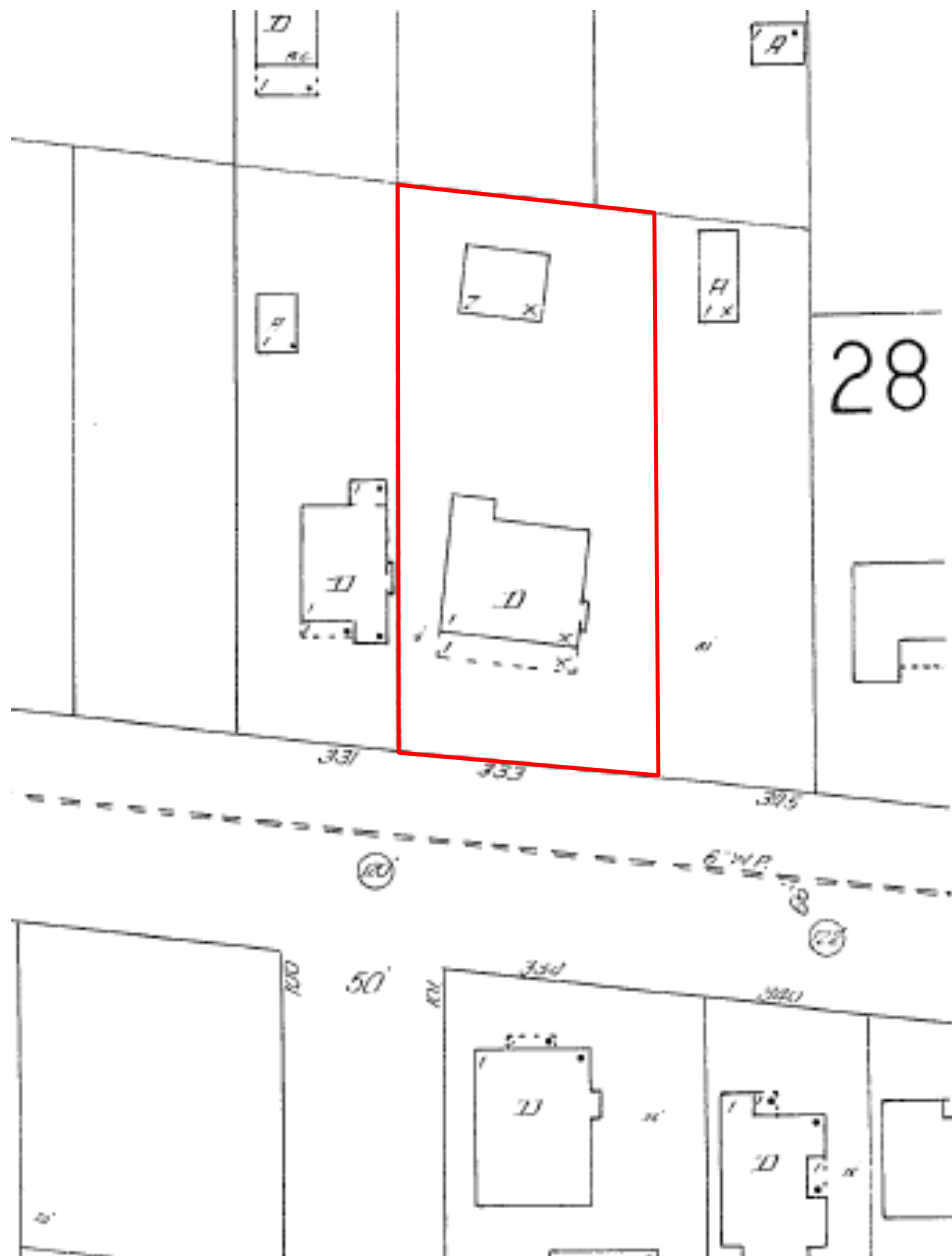
ARCHITECTURAL SURVEY
ASSESSMENT ROLL RESEARCH

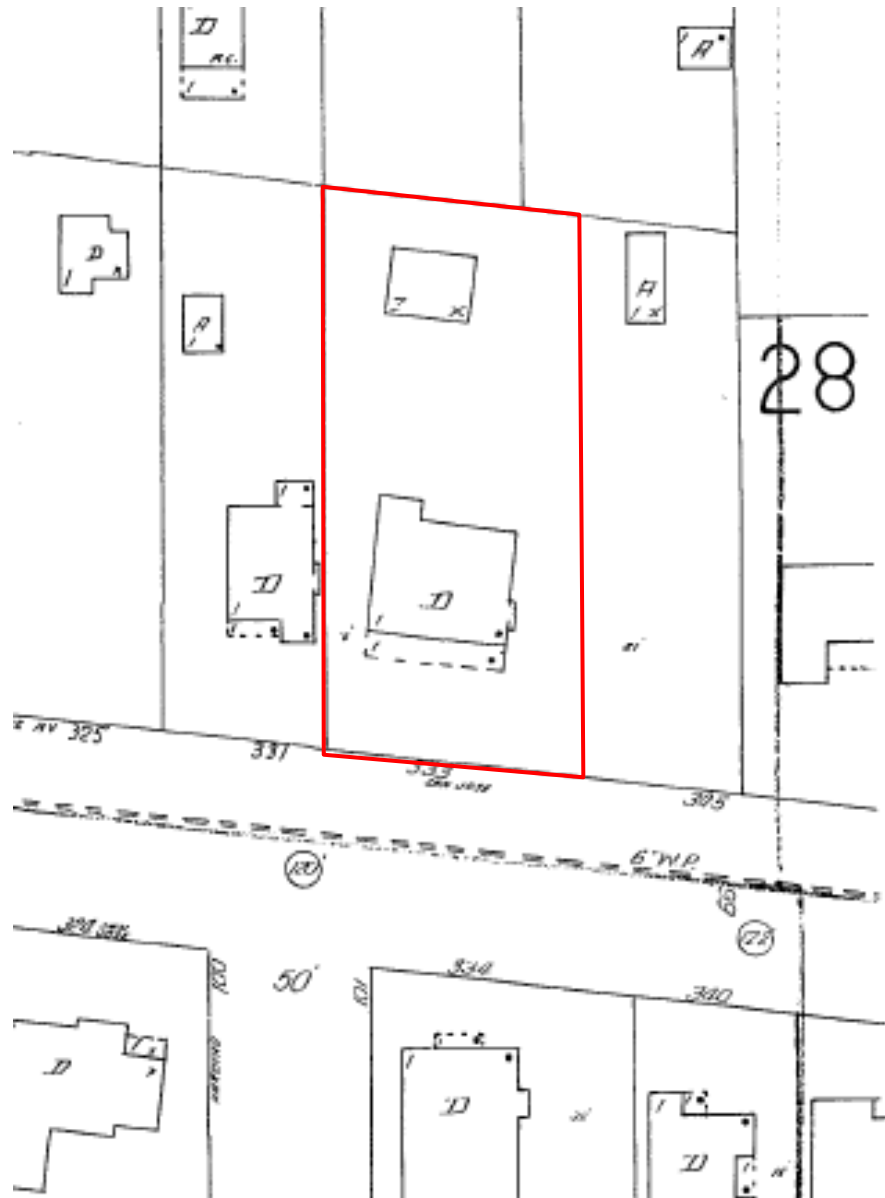
File Address 333 LGB

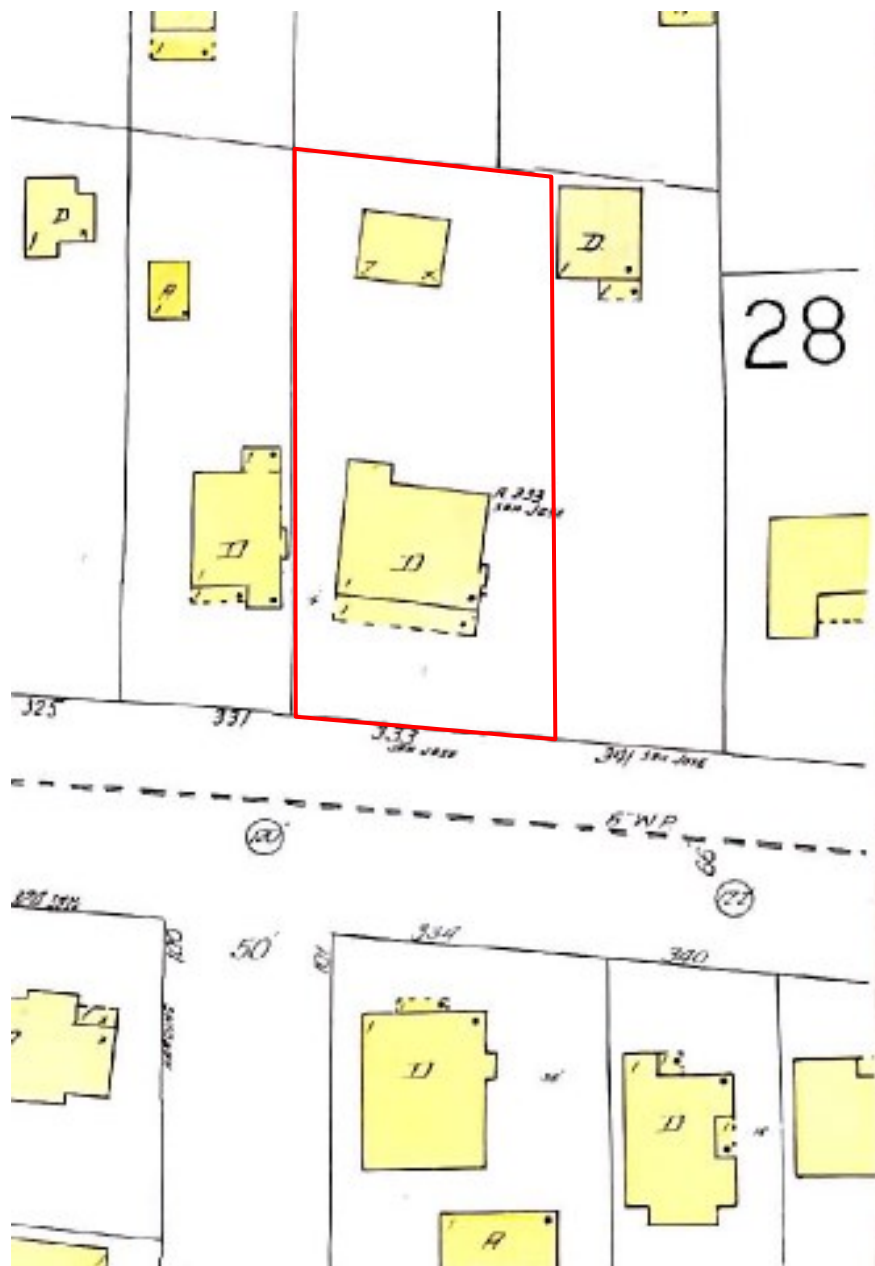
Tract/Block/Lot _____

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or more. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

Date	Page	Name	-----Lot Identification/Boundaries-----					--Assessment for--		Other Info.
			Tract/ Acres	N Bdy	Block/ E Bdy	Lot/ S Bdy	W Bdy	Land	Improve- ments	
1912	73	Rasmussen, Geo P	Stanley Sub			1		\$ 500	\$ 1680	
		" "		164'	Lundyle	Main	Town	200 1500	550	\$450 PP goods
only - 1906	70	" "	34'	"	"	"	"	1200	"	350 "
n 1910	63	" "	"	"	"	"	"			
1911	68	" "	"	"	"	"	"			
" "	"	" "	Stanley Sub			1		500	1680	
1914		" "	"			" 64' front		640 (penit) 2000 320 (pen) 1680		
"		" "	68x175 Erwin	SJ Av		Self		640 350		
1916	86	" "	both same as 1914							
1909	63	" "	only on Main St							







28

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January 29, 2025

RE: Pre-Planning Application, Scope of Work.
APN 529-22-021

The purpose of this pre-planning application is to discuss/review the details of our intended project with the Historic Preservation Committee (HPC), prior to incurring substantial design costs. We fully understand that a complete submittal with MEP's, Structural Review...etc. will be required prior to permit. The drawings and photos uploaded are simply intended to show intent.

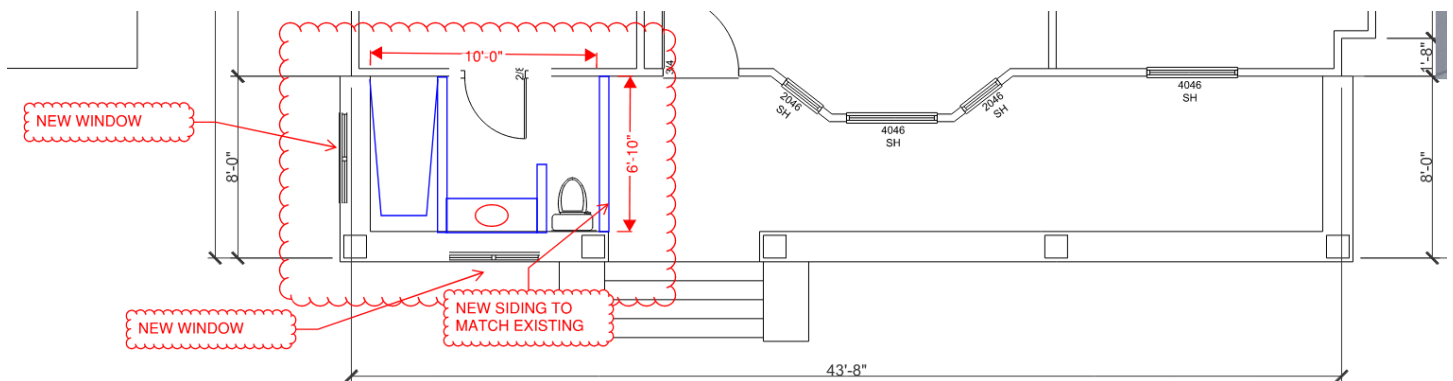
Below is a description of the intended work, along with a summary of finishes and reference photos.

Scope Of Work

Add approximately 65 sf of enclosed space on the existing patio to the left of the entry door when facing the property from the street. Existing roofline to remain as is, no modifications to be made. Bathroom will be approximately 10'-0" x 6'-10", therefore falling below the 25% threshold per Section 29.10.020 of the Los Gatos Town Code when it comes to removal of existing walls facing a public street. To enclose this section of the existing patio, we will use wood siding to match existing, along with installing two new windows, one facing the street and the second facing the driveway. Covered patio to the right of entry door to remain as is, no modifications. Once scope of work is complete, our intent is that it looks and feels as though it was part of the original structure when the home was build in 1912.



Photo 1: Existing property, front patio. Added bathroom would enclose section to left of entry door, between the first two white columns.



Drawing 1: Snapshot from plan document, showing location and size of enclosed patio, along with critical dimensions.



Photo 2: Proposed bathroom would enclose this section of the patio, starting approximately 6"-12" from existing entry door trim (see red line above). No modifications to be made to entry door/trim.



Photo 3: Existing window (street facing) to be removed, replaced with door to new bathroom.



Photo 4: Reference image of **255 Los Gatos Blvd.** showing partially enclosed patio (right side). With two new windows. Proposed modification to subject property (333 Los gatos Blvd) would be a single window with additional wood siding to match existing.



Photo 5: Reference image of **241 Los Gatos Blvd.** showing partially enclosed patio (right side). With three new windows. Proposed modification to subject property (333 Los gatos Blvd) would be a single window with additional wood siding to match existing.

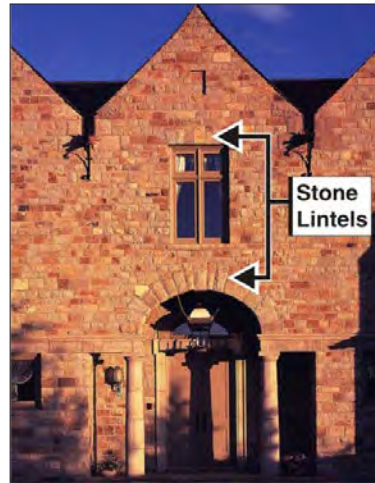
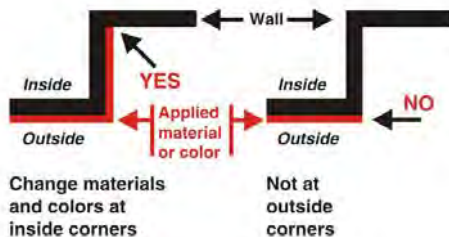
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3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g, avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

AN ADDITION FOR:

333 Los Gatos Blvd. Los Gatos, CA 95032



VICINITY MAP

NOTE:

- THIS PROJECT IS SUBJECT TO CIVIL CODE SECTION 1101.1-1101.8 THAT REQUIRES ALL RESIDENTIAL BUILDINGS UNDERGOING PERMIT ALTERATION, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE EXISTING NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. AS A RESULT, PLEASE PROVIDE THE FOLLOWING:
 - VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8. SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
 - THE MAXIMUM ALLOWED REDUCED FLOW RATES FOR EXISTING TO REMAIN PLUMBING FIXTURES REQUIRED TO COMPLY WITH CIVIL CODE SECTION 1101.1-1101.8, AS FOLLOWS:
 - 1.6 GALLONS PER FLUSH FOR TOILETS
 - 1.0 GALLONS PER FLUSH FOR URINALS
 - 2.5 GPM FOR SHOWERHEAD
 - 2.2 GPM FOR ANY INTERIOR FAUCETS
 - ADVISORY: ABOVE COMMENT APPLIES TO EXISTING PLUMBING FIXTURES ONLY. ALL NEW PLUMBING FIXTURES MUST COMPLY WITH THE REDUCED FLOW RATES AS CURRENTLY SPECIFIED ON SHEET A0.1 OF THE PLANS.
- COMPLETED CF2R-LTG-01-E FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. 2019 CA ENERGY CODE SECTION 150(K) FOR LIGHTING
- DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.5
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.
- CALGREEN ENVIRONMENTAL QUALITY REQUIREMENTS
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4
- PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.7
- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT. CGBSC SECTION 4.505.3

INDEX OF PAGES:

GENERAL (0 PAGES)	
A0.0	COVERSHEET
A0.1	GENERAL ARCHITECTURAL NOTES
	BLUE PRINT FOR A-CLEAN BAY
ARCHITECTURAL	
A1.0	SITE PLAN & SITE DEMO PLAN
A1.1	EXISTING FIRST FLOOR AND BASEMENT DEMO PLAN
A2.0	PROPOSED FIRST FLOOR PLAN
A3.0	WINDOW/DOOR SCHEDULES
A4.0	EXISTING ELEVATIONS
A4.1	PROPOSED ELEVATIONS
A5.0	SECTION & DETAILS
PLUMBING/ELECTRICAL/MECHANICAL DESIGNS	
PEM	PROPOSED FIRST FLOOR PLAN
TITLE 24	
T24-1	TITLE 24
T24-2	TITLE 24
T24-3	TITLE 24
STRUCTURAL	
S1.1	GENERAL NOTES
S1.2	TYPICAL WOOD DETAILS
S2.1	FOUNDATION AND ROOF FRAMING PLANS
S3.1	FOUNDATION AND ROOF FRAMING DETAILS

ABBREVIATIONS:

WINDOW ABBREVIATIONS:			
3030	-	3'-0" X 3'-0"	
CT	-	CIRCLE TOP	
SLDR	-	HORIZONTAL SLIDER	
CSMT	-	CASEMENT	
FIX	-	FIXED	
SL	-	SIDELIGHT	
TEMP	-	TEMPERED GLASS	
HC	-	HALF CIRCLE	
SH	-	SINGLE HUNG	
DH	-	DOUBLE HUNG	
ARCH	-	ARCHED	
EGRESS	-	EGRESSABLE WINDOW	
DOOR ABBREVIATIONS:			
2/0	-	2'-0" WIDE X 6'-8" TALL	
		UNLESS OTHERWISE NOTED	
3080	-	3'-0" WIDE X 8'-0" TALL	
3070	-	3'-0" WIDE X 7'-0" TALL	
3068	-	3'-0" WIDE X 6'-8" TALL	
<	-	CENTERLINE	MAX. - MAXIMUM
DIM	-	DIMENSION	MIN. - MINIMUM
EL	-	ELEVATION	MISC. - MISCELLANEOUS
(E)	-	EXISTING	(N) - NEW
F.A.	-	FINISH FLOOR	NO. OR # - NUMBER
G.C.	-	GENERAL CONTRACTOR	N.T.S. - NOT TO SCALE
(N)	-	NEW	O/ - OVER
N.T.S.	-	NOT TO SCALE	O.C. - ON CENTER
R.O.	-	ROUGH OPENING	PLYWD - PLYWOOD
T.O.S.	-	TOP OF SLAB	P.T.D.F. - PRESSURE TREATED DOUGLAS FIRE
TYP.	-	TYPICAL	REF - REFERENCE
U.N.O.	-	UNLESS NOTED OTHERWISE	RWD - REDWOOD
V.I.F.	-	VERIFY IN FIELD	SCHED - SCHEDULE
&	-	AND	S.D. - SMOKE DETECTOR
@	-	AT	STD - STANDARD
Ø	-	DIAMETER OR ROUND	TV - TELEVISION
ADJ	-	ADJUSTABLE	TYP. - TYPICAL
E.Q.	-	EQUAL	W/ - WITH
GYP.BD	-	GYPSUM BOARD	W.H. - WATER HEATER
GYP	-	GYPSUM	WP. - WATERPROOF

SCOPE OF WORK:

ADD 89 SF OF BATHROOM.

PROJECT DESCRIPTION:

BUILDING OCCUPANCY	: GROUP R3/U
TYPE OF CONSTRUCTION	: V-B
ZONING	: RM512
STORIES	: 1+ BASEMENT
YEAR BUILT/EFF	: 1912
LOT SIZE	: 14,191 SF
AUTOMATIC FIRE-SPRINKLER	: NO
APN	: 529-22-021

BUILDING DATA:

(E) HOUSE	: 1,504 SF
(E) BASEMENT	: 318 SF
(E) GARAGE	: 720 SF
(E) SECOND DWELLING UNIT	: 1,100 SF
(E) SHED	: 100 SF
(N) ADDITION	: 336 SF
TOTAL	: 4,078 SF

FLOOR AREA:

(E) HOUSE	: 1,504 SF
(E) FRONT PORCH	: 355 SF
(E) SECOND DWELLING UNIT	: 1,100 SF
(E) SHED	: 100 SF
(N) ADDITION	: 336 SF
TOTAL	: 3,395 SF
3,395/ 14,191	: 0.23(23%)

LEGEND:

	WALL LEGEND
	- EXISTING WALL TO REMAIN
	- EXISTING WALL REMOVED
	- NEW WALL CONSTRUCTION
	- NORTH ARROW
	- FIXTURE OR MATERIAL TO BE REMOVED
	- REVISION NUMBER "CLOUD" INDICATES REVISED AREA OF DRAWING
	- DETAIL SHEET NUMBER
	- PROPERTY LINE
	- ROOF PITCH
	- SECTION CUT SECTION NAME SECTION PAGE
	- DIMENSIONAL REFERENCE /ELEVATION
	- DOOR SCHEDULE
	- WINDOW SCHEDULE
	- KEYNOTE SEE LEGEND ON DRAWINGS FOR EXPLANATION OF EACH NOTE
	- INTERIOR ELEVATION ELEVATION NUMBER SHEET WHERE ELEVATION IS DRAWING
	- DIMENSION AT FACE OF STUD MASONRY OR FRAMING

GENERAL NOTES:

- THE PROPOSED RESIDENCE IS TO BE CONSTRUCTED BY A CONTRACTOR AND THE ARCHITECTURAL PLANS ARE BASED ON SITE PLANS, EXTERIOR ELEVATIONS, SCALED FLOOR PLANS AND MATERIAL CONSTRUCTION SPECIFICATIONS APPROVED BY THE OWNER. THE ARCHITECTURAL PLANS ARE NOT INTENDED TO BE COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS TO NOTIFY THE CONTRACTOR OF ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS.
- ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO ALL APPLICABLE LOCAL CODES AND/OR LEGISLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER OF ANY UNUSUAL OR UNFORESEEN FOUNDATION CONDITIONS, DISCREPANCIES OF OMISSIONS WITHIN THE PLANS OR ANY DEVIATIONS OR CHANGES FROM THE PLANS BEFORE PROCEEDING WITH THE WORK INVOLVED OTHERWISE THEY WILL BE CONSIDERED ADEQUATE FOR PROPER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS.
- ADEQUATE SUPERVISION AND PERIODIC INSPECTION DURING THE CONSTRUCTION PHASE ARE RECOMMENDED. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THIS INSPECTION AND SUPERVISION AREA PROVIDED BY QUALIFIED PERSONS.
- THESE PLANS SHALL NOT BE CONSIDERED COMPLETE AND READY FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
- IN ALL CASES WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- LARGER SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- LAY OUT ALL STRUCTURAL WORK BY REFERRING TO DIMENSIONS AND ELEVATION NOTES ON THE ARCHITECTURAL PLANS. DO NOT SCALE STRUCTURAL DRAWINGS WORK DETAIL DIMENSIONS FROM CONTROLLING SURFACE POINTS AND ACTUAL MATERIAL DIMENSIONS.
- SLOPE FINISH EXTERIOR SURFACE AWAY FROM FOUNDATION.

NOTE:

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

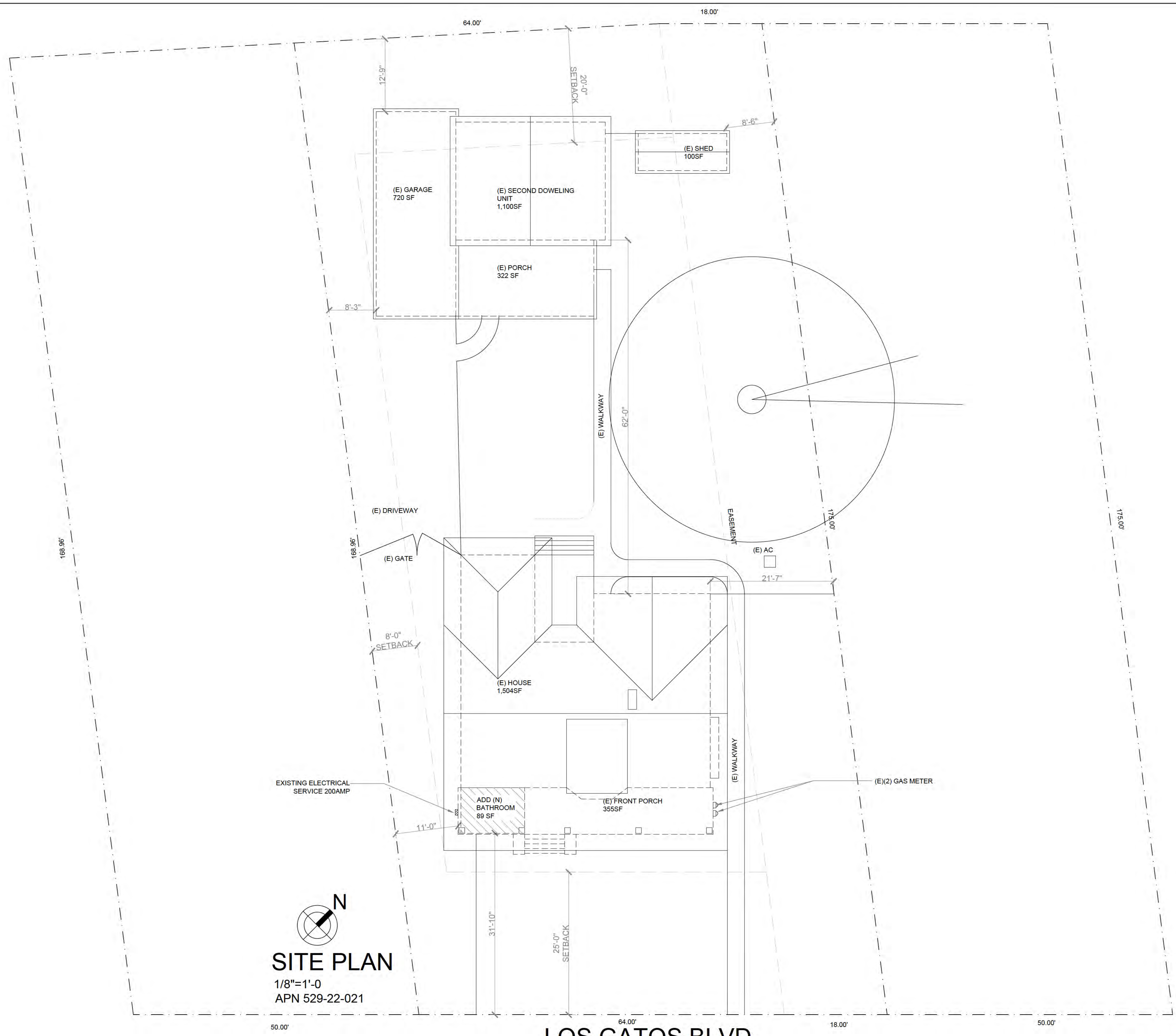
CBC	2022	CALIFORNIA BUILDING CODE
CRBC	2022	CALIFORNIA RESIDENTIAL BUILDING CODE
CGBC	2022	CALIFORNIA GREEN BUILDING CODE
CEC	2022	CALIFORNIA ELECTRICAL CODE
CPC	2022	CALIFORNIA PLUMBING CODE
CMC	2022	CALIFORNIA MECHANICAL CODE
CEC	2022	CALIFORNIA ENERGY CODE
CRC	2022	CALIFORNIA RESIDENTIAL CODE CALIFORNIA ENERGY EFFICIENCY STANDARDS

Revision	BY

Ammirato
CONSTRUCTION.com
Building Design and Planning
1330 White Oak Road,
Campbell, CA 95008
Phone: 408-248-3869
Email: John@ammiratoconstruction.com

An addition for:
333 Los Gatos Blvd.
Los Gatos, CA 95032

Date	02/11/2025
Scale	NOTED
Drawn	SZ
Sheets	A0.0




SITE PLAN
 1/8"=1'-0"
 APN 529-22-021

LOS GATOS BLVD


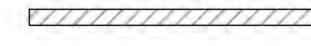


Revision	BY

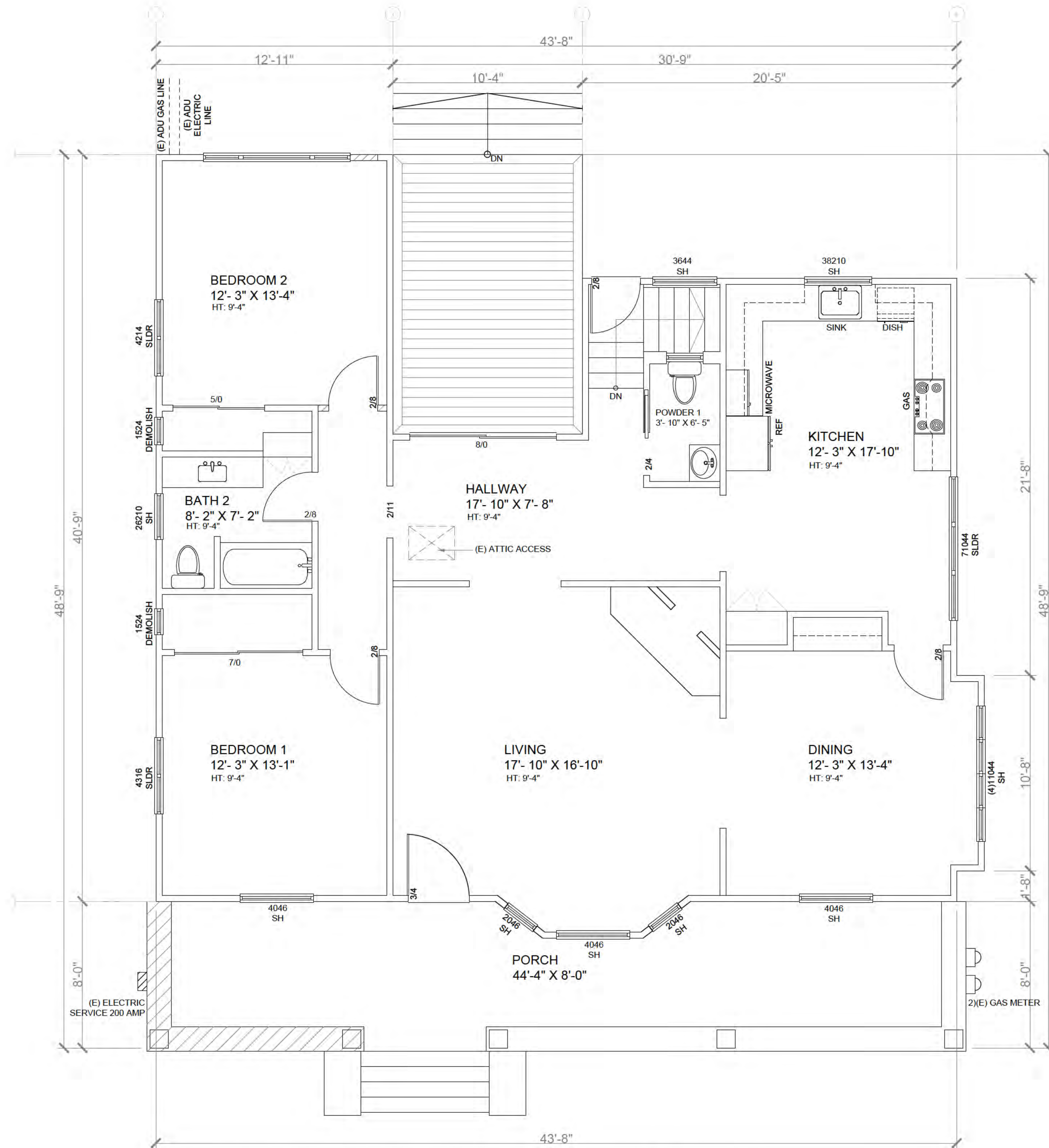

Ammirato
 CONSTRUCTION.com
 Building Design and Planning
 1330 White Oak Road,
 Campbell, CA 95008
 Phone: 408-249-3869
 Email: John@ammiratoconstruction.com

An addition for:
 333 Los Gatos Blvd.
 Los Gatos, CA 95032

Date	02/07/2025
Scale	NOTED
Drawn	SZ
Sheets	A1.0

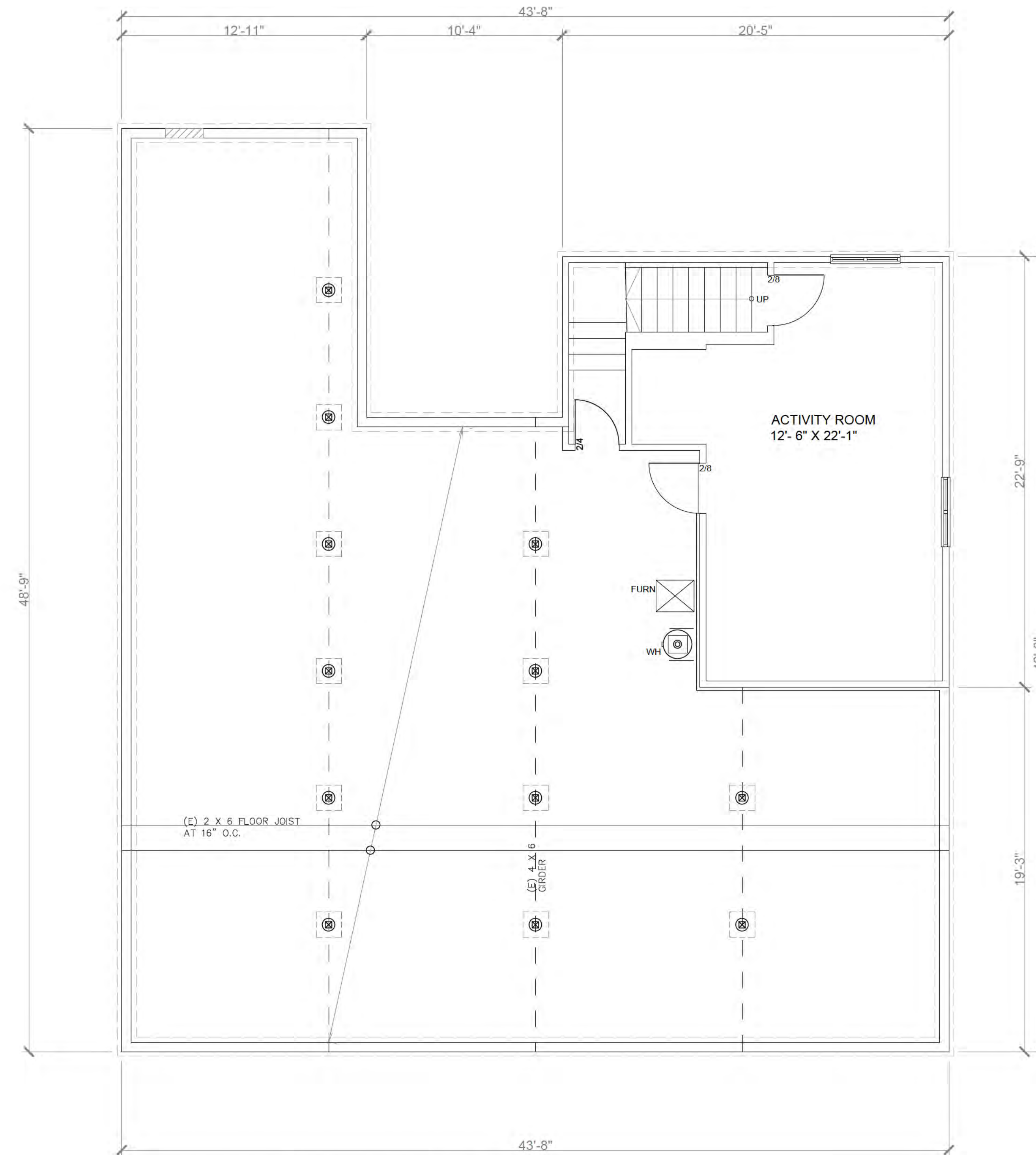
LEGEND:

- WALL LEGEND**
-  - EXISTING WALL TO REMAIN
 -  - EXISTING WALL REMOVED
 -  - NEW WALL CONSTRUCTION
 -  - REMODELED AREA



EXISTING FIRST FLOOR AND DEMO PLAN

1/4" = 1'-0"



EXISTING BASEMENT PLAN

1/4" = 1'-0"

Revision	BY

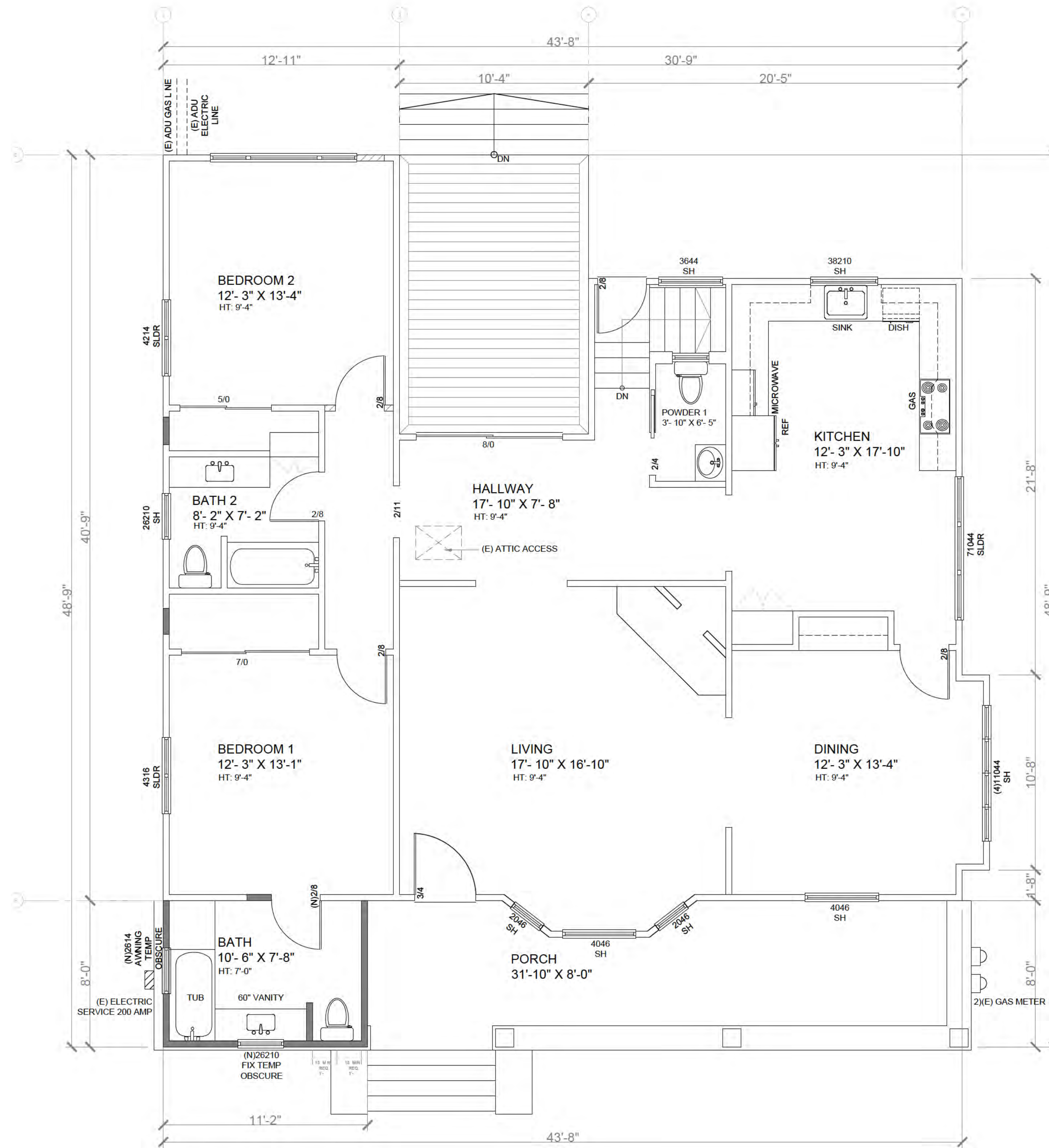
Ammirato
CONSTRUCTION.com
 Building Design and Planning
 1330 White Oak Road,
 Campbell, CA 95008
 Phone: 408-248-3869
 Email: John@ammiratoconstruction.com

An addition for:
 333 Los Gatos Blvd.
 Los Gatos, CA 95032

Date	02/11/2025
Scale	NOTED
Drawn	SZ
Sheets	A1.1

LEGEND:

- WALL LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING WALL REMOVED
 - NEW WALL CONSTRUCTION
 - REMODELED AREA



PROPOSED FIRST FLOOR AND DEMO PLAN

1/4" = 1'-0"

NOTES:

Revision	BY

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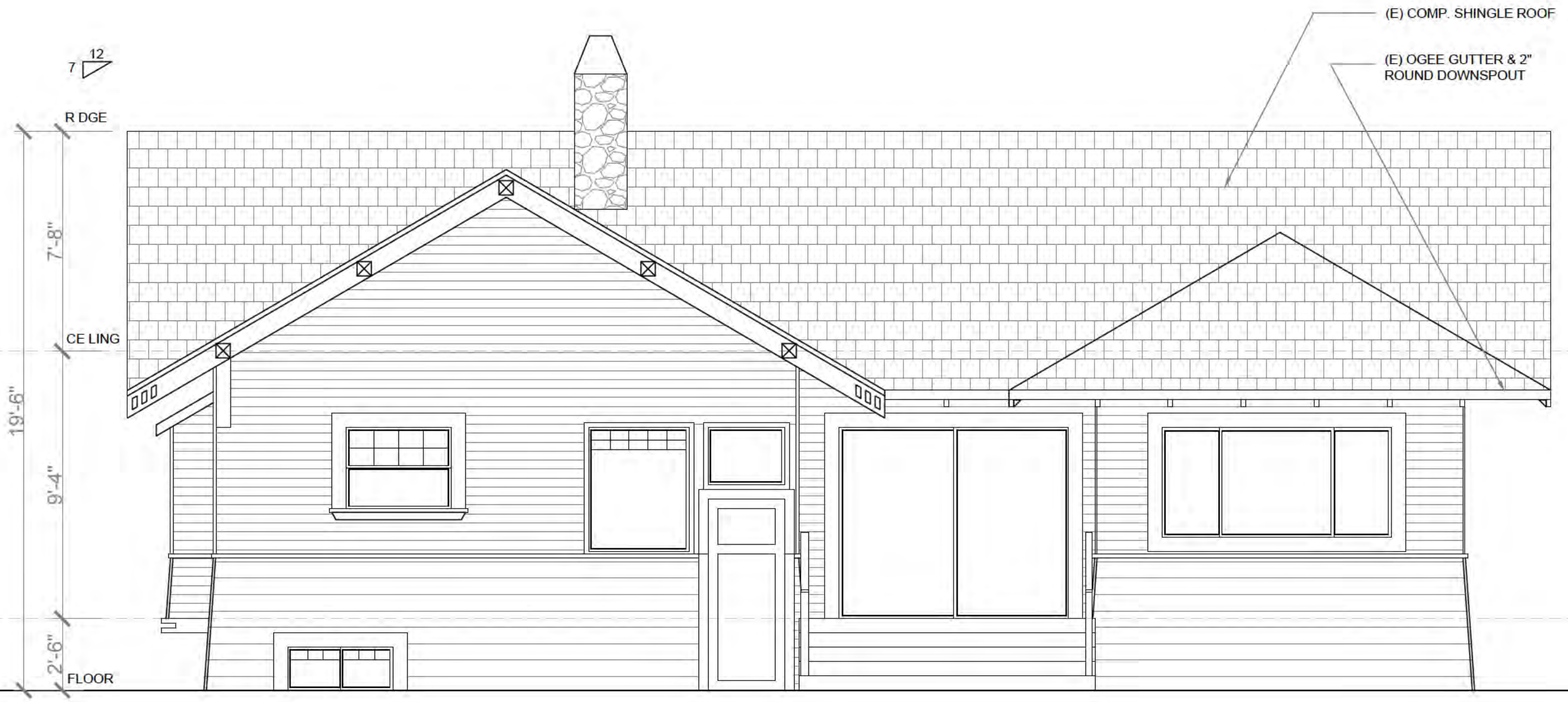
An addition for:
 333 Los Gatos Blvd.
 Los Gatos, CA 95032

Date	02/11/2025
Scale	NOTED
Drawn	SZ
Sheets	A2.0

Revision	BY



EXISTING FRONT ELEVATION
1/4" = 1'-0"



EXISTING REAR-SIDE ELEVATION
1/4" = 1'-0"

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EXISTING LEFT-SIDE ELEVATION
1/4" = 1'-0"



EXISTING RIGHT-SIDE ELEVATION
1/4" = 1'-0"

An addition for:
333 Los Gatos Blvd.
Los Gatos, CA 95032

Date	02/11/2025
Scale	NOTED
Drawn	SZ

A4.0
Sheets

Revision	BY



PROPOSED FRONT ELEVATION

1/4" = 1'-0"



EXISTING REAR-SIDE ELEVATION

1/4" = 1'-0"

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PROPOSED LEFT-SIDE ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT-SIDE ELEVATION

1/4" = 1'-0"

An addition for:
 333 Los Gatos Blvd.
 Los Gatos, CA 95032

Date	02/11/2025
Scale	NOTED
Drawn	SZ
A4.1	
Sheets	



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT**

MEETING DATE: 3/26/2025

ITEM NO: 7

DATE: March 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Committee Conduct and Procedures

BACKGROUND:

At the meeting of February 26, 2025, it was requested that staff agendaize a discussion of the Committee's Conduct and Procedures. Staff has provided the attached documents to aid in the discussion.

Received with this Staff Report:

1. Resolution 2024-012: Amending the Enabling Resolution of the Historic Preservation Committee and Rescinding Resolution 2021-043
2. Council Policy 2-04: Town Council Code of Conduct
3. Effective and Efficient Meetings Document

PREPARED BY: Sean Mullin
Planning Manager

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RESOLUTION 2024-012

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING THE ENABLING RESOLUTION OF THE HISTORIC PRESERVATION COMMITTEE AND RESCINDING RESOLUTION 2021-043

WHEREAS, the Town Council of the Town of Los Gatos established the Historic Preservation Committee;

WHEREAS, the Committee is advisory to the Planning Commission and operates in the manner hereinafter prescribed; and

WHEREAS, the Planning Commission at its meeting on February 14, 2024, reviewed the proposed amendments to the Enabling Resolution of the Historic Preservation Committee, held a public hearing, and forwarded a recommendation of approval to the Town Council; and

WHEREAS, this matter was regularly noticed in conformance with State and Town law and came before the Town Council for public hearing on March 19, 2024; and

WHEREAS, on March 19, 2024, the Town Council accepted the report of the Planning Commission's recommendation of approval for the proposed amendments, held a public hearing, and voted to approve the amendments to the Enabling Resolution of the Historic Preservation Committee.

WHEREAS, the Town Council of the Town of Los Gatos hereby amends the qualifications of members and the duties of the Historic Preservation Committee.

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES HEREBY RESOLVE that the terms and conditions for appointment and conduct of the Historic Preservation Committee are hereby established as follows:

1. Membership - Organization
 - a. The Committee shall consist of five (5) voting members. Two (2) members shall be Planning Commissioners and three (3) members shall be residents of the Town.
 - b. The terms of appointment shall be at the discretion of the Chair of Planning Commission for Planning Commission members.
 - c. The resident members shall be appointed by a majority vote of the Town Council and shall serve a term of four (4) years.
 - d. The Town Council and Planning Commission Chair shall appoint professional and lay members with demonstrated interest, competence, or knowledge in historic preservation.
 - e. The Town Council and Planning Commission Chair shall seek professional Committee

members from among the disciplines of architecture, history, architectural history, planning, archeology, or other historic preservation related disciplines such as urban planning, American studies, American civilization, cultural geography, or cultural anthropology to the extent that such professionals are available in the community.

- f. Except as necessary to appoint qualified historic preservation professionals in the community, the Committee members should be residents of the Town.
 - g. The removal of public members and the absence of members shall be governed in accordance with all current Town Resolutions and Policies. Vacancies shall be filled by appointment by a majority vote of the Town Council and shall be for the unexpired term of the office vacated.
 - h. The Committee shall hold regular meetings at least once a month and such other meetings as it deems necessary or expedient. Special meetings shall be held by the Committee to avoid any delay of an application being considered by the Planning Commission. The Committee shall call and conduct its meetings in compliance with the Ralph M. Brown Act (Government Code Sections 54950 and following).
 - i. A majority of the total number of seats filled on the Committee shall constitute a quorum for the purpose of transacting the business of the Committee.
 - j. The Committee shall elect a chair and vice-chair, both of whom shall serve at the pleasure of the Committee. Terms of office shall be for one year and shall begin on February 1 and end of January 31 of the following year.
 - k. Minutes of the actions taken during its meetings shall be kept permanently and shall be a public record.
2. Powers and Duties
- a. The Committee oversees all development on properties that the Town considers historic.
 - b. The Committee is composed of residents with demonstrated interest, competence, or knowledge in historic preservation.
 - c. The duties of the Committee shall be to report to, consult with, and provide assistance, and make recommendations to the Planning Commission and Planning Director as provided in Chapter 29, Article VIII, Division 3 of the Town Code.
 - d. The Committee must report to the Planning Commission prior to any Commission meeting scheduled to discuss an application for a historic structure which requires Planning Commission approval, or a proposal to designate a landmark or a historic district.

3. Resolution Not to Affect Powers of Town Council or Planning Commission

Nothing in this resolution shall be construed as restricting or curtailing any of the powers of the Town Council or Planning Commission, or as a delegation to the Committee of any of the authority or discretionary powers vested and imposed by law in such bodies.

BE IT FURTHER RESOLVED that this Resolution rescinds Resolution 2021-043.

PASSED AND ADOPTED at a regular meeting of the Town Council of the Town of Los Gatos, California, held on the 19th day of March 2024, by the following vote:

COUNCIL MEMBERS:

AYES: Rob Moore, Rob Rennie, Maria Ristow

NAYS: Matthew Hudes, Mayor Mary Badame

ABSENT: None

ABSTAIN: None

SIGNED:



MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: 03/20/2024

ATTEST:



TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: 3/20/2024

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TITLE: Town Council Code of Conduct

POLICY NUMBER: 2-04

EFFECTIVE DATE: 5/3/2004

PAGES: 8

ENABLING ACTIONS: 2004-059; 2006-111; 2021-047

REVISED DATES: 12/17/2012; 3/3/2015; 12/17/2019; 11/2/2021; 10/4/2022

APPROVED:

I. Preamble

The legal responsibilities of the Los Gatos Town Council are set forth by applicable state and federal laws. In addition, the Town Council has adopted regulations, including this Code of Conduct Policy, that hold Council Members to standards of conduct above and beyond what is required by law. This Policy is written with the assumption that Council Members, through training, are aware of their legal and ethical responsibilities as elected officials. These expectations of conduct also apply to all members of the Town’s Boards, Committees, and Commissions.

II. Form of Government

The Town of Los Gatos operates under a Council-Manager form of government as prescribed by Town Code, Section 2.30.305. Accordingly, members of the Council are elected at-large, provide legislative direction, set Town policy, and ultimately answer to the public. The Town Manager serves as the Town’s chief administrative officer and is responsible for directing the day-to-day operations of the Town and implementing policy direction.

III. Town Council Roles and Responsibilities

The role of the Town Council is to act as a legislative and quasi-judicial body. Through its legislative and policy authority, the Council is responsible for assessing and achieving the community’s desire for its present and future and for establishing policy direction to achieve its desired outcomes. All members of the Town Council, including those who serve as Mayor and Vice Mayor, have equal votes.

Members of the Town Council fulfill their role and responsibilities through the relationships they have with each other and the public. Town Council Members should approach their work, each other, and the public in a manner that reflects ethical behavior, honesty and integrity. The commitment of Town Council Members to their work is characterized by open constructive communication, innovation, and creative problem solving.

TITLE: Town Council Code of Conduct	PAGE: 2 of 9	POLICY NUMBER: 2-04
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IV. Mayoral and Vice Mayoral Selection Process

Per Town Municipal Code, Section 2.20.035, the selection of the Mayor and Vice Mayor occurs annually at a special meeting in December by majority vote of the Town Council. The Mayor and Vice Mayor serve at the pleasure of the Town Council and may be replaced by a majority vote of the Council.

V. Mayoral and Vice Mayoral Roles, Responsibilities, Relationships

The following outlines some of the key roles, responsibilities, and relationships as they relate to the positions of Mayor and Vice Mayor:

Mayor

- A. The Mayor is the presiding officer of the Town Council. In this capacity, the Mayor is responsible for developing Council agendas in cooperation with the Town Manager and leading Council meetings.
- B. The Mayor recommends various standing committee appointments to the Council for approval.¹ This will be done at a Council meeting in December of each year. When making committee recommendations, the Mayor should attempt to balance shared responsibilities and opportunities among Council Members. The Mayor may also appoint citizens to committees not established by Town ordinance or resolution as s/he deems appropriate.
- C. The title of Mayor carries with it the responsibility of communicating with the Town Council, Town Manager, members of the public, and the media regarding decisions made by a majority of the Town Council. The Mayor also represents the Council at official and ceremonial occasions.
- D. The Mayor performs special duties consistent with the Mayoral office, including, but not limited to: signing of documents on behalf of the Town, issuing proclamations, serving as the official voting delegate for various municipal advocacy groups, and delivering the State of the Town Address at his or her discretion.² The Town Council will determine any additional authority or duties that the Mayor shall perform.
- E. Special duties consistent with the Mayoral office may be delegated to the Vice Mayor or any other member of the Town Council.
- F. In the event that one or more members of a Town Board, Commission, or Committee acts in a manner contrary to approved Board/Commission policies and procedures, the Mayor may counsel those members about the rules set forth in the Town Commissioner Handbook.³

¹ Council Agenda Format and Rules Policy

² Council Commendation and Proclamation Policy

³ Resolution 1999-167

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Vice Mayor

- A. In the Mayor’s absence, the Vice Mayor shall perform the formal duties of the Mayor.⁴
- B. When the Vice Mayor performs the duties of the Mayor in his/her absence, the Vice Mayor also carries the responsibility of communicating with the Town Manager, Town Council, and members of the public.

VI. Council Conduct in Public Meetings

To ensure the highest standards of respect and integrity during public meetings, Council Members should:

- A. *Use formal titles.* The Council should refer to one another formally during Council meetings such as Mayor, Vice Mayor or Council Member or Mr., Mrs., or Ms., followed by the individual’s last name.
- B. *Practice civility and decorum in discussions and debate.* Difficult questions, tough challenges to a particular point of view, and criticism of ideas and information are legitimate elements of free democracy in action. During public discussions, Council Members should be respectful of others and diverse opinions and allow for the debate of issues.
- C. *Honor the role of the presiding officer in maintaining order and equity.* Respect the Mayor/Chair's efforts to focus discussion on current agenda items.
- D. *Council decisions should be reserved until all applicable information has been presented.*
- E. *Conduct during public hearings.* During public testimony, Council Members should refrain from engaging the speaker in dialogue. Speakers at public meetings will be asked to provide their full name and to state whether they are a resident of the Town of Los Gatos. This information is optional but not required. For purposes of clarification, Council Members may ask the speaker questions. Council comment and discussion should commence upon the conclusion of all public testimony

VII. Maintaining Civility at Council Meetings

The public is welcome to participate at Town Council meetings and the Mayor should remind the public of the Town’s expectations for civility in order for the business of the Town to be completed efficiently and effectively. These expectations include and are not limited to:

- A. For the benefit of the entire community, the Town of Los Gatos asks that all speakers follow the Town’s meeting guidelines by treating everyone with respect and dignity. This is done by following meeting guidelines set forth in State law, in the Town Code, and on the cover sheet of the Council agenda.
- B. The Town embraces diversity and strongly condemns hate speech and offensive, hateful language or racial intolerance of any kind at Council Meetings.

⁴Council Agenda Format and Rules Policy

- C. Town Council and staff are well aware of the public's right to disagree with their professional opinion on various Town issues. However, anti-social behavior, slander, hatred, and bigotry statements are completely unacceptable and will not be tolerated in any way, shape or form at Town Council meetings.
- D. All public comments at the Town Council meeting must pertain to items within the subject matter jurisdiction of the Town and shall not contain slanderous statements, hatred, and bigotry against non-public officials.
- E. The Town will go through the following steps if a disturbance results from a member of the public not following these rules:
 - 1. If participating remotely, Town staff may mute the individual with an explanation for the record of why muting occurred consistent with this Policy.
 - 2. If participating in-person, the Mayor may call a recess for violation of this Policy, resulting in the immediate cessation of the audio and video recording and the Council exiting the Chamber. Staff will determine if the individual should be removed or if all members of the public should leave depending on the extent of the disturbance. In the event that all public members exit, only the press would be allowed back in the meeting. Once the individual(s) leave, the Council would return to the Chamber and the Mayor would resume the meeting.
 - 3. Persons disrupting a Council meeting may be cited for violation of the California Penal Code Section 403.

VIII. Legal Requirements

The Town Council operates under a series of laws that regulate its operations as well as the conduct of its members. The Town Attorney serves as the Town's legal officer and is available to advise the Council on these matters.

A. Training

Biannual training in the following areas shall be provided by staff to Council Members:

- 1. The Ralph M. Brown Act
- 2. Town / CA State Law on Conflict of Interest (AB 1234)
- 3. Government Section 1090
- 4. Incompatible Offices
- 5. The Fair Political Practices Commission Forms
- 6. Bias
- 7. Town / CA State Law on Harassment (SB 1343)

B. Procurement

Unless authorized by the Town Council, Council Members shall not become involved in administrative processes for acquiring goods and services.

C. Land Use Applications

The merits of an application shall only be evaluated on information included in the public record. Council Members shall disclose ex parte communication and any information obtained outside of the public record that may influence his/her decision on a matter pending before the Town Council. Council disclosure shall occur after the Public Hearing section of the agenda, and before Council deliberations.

D. Code of Conduct Policy

Newly elected Council Members are strongly encouraged to sign a statement affirming they have read and understand the Town of Los Gatos Council Code of Conduct Policy.

E. Non-Profit Organizations

Council Members may not sit on boards of directors of non-profit organizations which receive funding or in-kind contributions from the Town, unless the role serves a legitimate Town purpose, such as the League of California Cities, and the participation is approved by the full Council.

IX. Council Participation in Boards, Commissions and Committees, and Reporting Requirements

There are several committees that Town Council Members have been appointed to or have an interest in, including but not limited to: Town Council standing and ad hoc committees, Town boards and commissions, regional boards and commissions, and community-generated committees.

Primary Council representatives should update the Council about board, commission, and committee activities. When serving as the primary Council representative on any board, commission, or committee, Council Members should periodically provide updated reports to the Council during the "Council Matters" opportunity on the Council meeting agenda.

Recommended actions by Council Committees should be reported to the Council. When serving on a Council Committee, whether standing or ad hoc, all work undertaken by the Committee must be directed by the Council, and all recommended actions of a Council Committee shall be reported to the Council.

X. Council Relationship with Town Staff

The Town Council has adopted a Council-Manager form of government. The Town Manager's powers and duties are outlined in the Town Code, Section 2.30.295.

Council Conduct and Communication with Town Staff

To enhance its working relationship with staff, Council should be mindful of the support and resources needed to accomplish Council goals. When communicating and working with staff, Council should follow these guidelines:

- A. *Council Members should treat staff as professionals.* Clear, honest communication that respects the abilities, experience, and dignity of each individual is expected. As with Council colleagues, practice civility and decorum in all interactions with Town staff.
- B. *Council Members should direct questions about policy, budget, or professional opinion to the Town Manager, Town Attorney or Department Directors.* Council Members can direct questions and inquiries to any staff for information that is readily available to the general public or easily retrievable by staff.
- C. *The Town Manager and staff are responsible for implementing Town policy and/or Council action.* The processing of Council policy and decisions takes place with the Town Manager and staff. Council should not direct policy/program administrative functions and implementation; rather it should provide policy guidance to the Town Manager.
- D. *Council Members should attempt to communicate questions, corrections, and/or clarifications about reports requiring official action to staff prior to Council meetings.* Early feedback will enable staff to address Council questions and incorporate minor corrections or changes to a Council report, resulting in a more efficient Council meeting discussion; however, this does not preclude Council Members from asking questions at Council Meetings.
- E. *Council Members should not direct the Town Manager to initiate any action, change a course of action, or prepare any report without the approval of Council.* The Town Manager's responsibility is to advise on resources available and required for a particular course of action as it relates to the direction of the majority of the Council.
- F. *Council Members should not attend department staff meetings unless requested by the Town Manager.*
- G. *All Council Members should have the same information with which to make decisions.* Information requested by one Council Member will be shared with all members of the Council.
- H. *Concerns related to the behavior or work of a Town employee should be directed to the Town Manager.* Council Members should not reprimand employees.
- I. *Per California Government Code, Sections 3201-3209, Council Members should not solicit financial contributions from Town staff or use promises or threats regarding future employment.* Although Town staff may, as private citizens with constitutional rights, support political candidates, such activities cannot take place during work hours, at the workplace, or in uniform.

XI. Council Communication with the Public and other Council Members

The Public has a reasonable expectation that it may engage its Council Members on matters of community concern. In response, Council Members may express a preliminary opinion on general issues or policies that are in the development phase. Any such preliminary statement shall not indicate that a decision has been reached before the public hearing or create a presumption of bias on any quasi-adjudicatory decision such as a land use approval. In addition, Council Members may from time to time express opinions regarding broad policy matters which may be in conflict with currently adopted Council policies or explain an individual vote. Such

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statements are permissible if clearly characterized as personal opinion or policy change objectives rather than the opinion of the full Town Council.

XII. Enforcement

A. Purpose

The Council Code of Conduct Policy establishes guiding principles for appropriate conduct and behavior and sets forth the expectations of Council Members. The purpose of the policy language is to establish a process and procedure that:

1. Allows the public, Town Council, and Town employees to report Code of Conduct policy violations or other misconduct.
2. Provides guidelines to evaluate Code of Conduct policy violations or other misconduct and implement appropriate disciplinary action when necessary.

B. Procedures

1. Reporting of Complaints

The following section outlines the process for reporting Council Member Code of Conduct Policy violations or other misconduct:

- a. Complaints made by members of the public, the Town Manager, and Town Attorney should be reported to the Mayor. If a complaint involves the Mayor, it should be reported to the Vice Mayor.
- b. Complaints made by Council Members should be reported to the Town Manager or Town Attorney to adhere to Brown Act requirements.
- c. Complaints made by Town employees should be reported to the Town Manager, who will direct them to the Mayor or Vice Mayor.

2. Evaluation of Complaints Alleging Violations

Upon report of a written complaint, the Town Manager and Town Attorney will join the Mayor or Vice Mayor as an evaluation committee to determine the validity of the complaint and, if appropriate, an initial course of action as discussed below. If the Town Manager or Town Attorney is the complainant, the longest serving uninvolved Council Member will replace the Town Manager or Town Attorney on the evaluation committee.

Within seventy-two (72) hours of receipt of the complaint by the Mayor or Vice Mayor, the Council Member in question shall be notified of the reported complaint by the Mayor or his/her designee. The notification shall include a copy of the written complaint and supporting documentation, if any, the identity of the complainant and nature of the complaint.

3. Unsubstantiated or Minor Violations

If the majority of the Committee agrees that the reported violation is without substance, no further action will be taken. If the reported violation is deemed valid but minor in nature, the Mayor or Vice Mayor shall counsel and, if appropriate, admonish the Council Member privately to resolve the matter. Admonishment is considered to be a reproof or warning directed to a Council Member about a particular type of behavior that violates Town policy.

4. Allegations of Major Violations

If the reported violation is considered to be serious in nature, the matter shall be referred to outside legal counsel selected by the Committee for the purpose of conducting an initial interview with the subject Council Member. The outside counsel shall report his/her initial findings back to the Committee.

If the Committee then determines that an investigation is warranted, the Committee shall direct the outside legal counsel to conduct an investigation. The investigation process would include, but is not limited to, the ascertainment of facts relevant to the complaint through interviews and the examination of any documented materials.

5. Report of Findings

At the conclusion of the investigation, outside legal counsel shall report back to the Committee in writing. The report shall either (1) recommend that the Council Member be exonerated based on a finding that the investigation did not reveal evidence of a serious violation of the Code of Conduct, or (2) recommend disciplinary proceedings based on findings that one or more provisions of the Code of Conduct or other Town policies have been violated. In the latter event, the report shall specify the provisions violated along with the facts and evidence supporting each finding.

The Committee shall review the report and its recommendations. If the consensus of the Committee is to accept the report and recommendations, the Committee shall implement the recommendations. Where the recommendation is exoneration, no further action shall be taken. Where the recommendation is to initiate disciplinary proceedings, the matter shall be referred to the Council. Where there is no consensus of the Committee regarding the recommendations, the matter shall be referred to the Council.

The subject Council Member shall be notified in writing of the Committee's decision within 72 hours. Where the decision is to refer the matter to the Council, a copy of the full report, including documents relied on by the investigator shall be provided with the notification, and a copy of both shall be provided to the whole Council.

6. Proceedings

Investigative findings and recommended proceedings and disciplinary action that are brought forward to Council as a result of a significant policy violation shall be considered at a public hearing. The public hearing should be set far enough in advance to allow the Council Member in question reasonable sufficient time to prepare a response.

Investigative findings shall be presented to the Town Council at a public hearing. The rules of evidence do not apply to the public hearing. It shall not be conducted as an adversarial proceeding.

C. Disciplinary Action

1. Considerations in Determining Disciplinary Action

Disciplinary action may be imposed by Council upon Council Members who have violated the Council Code of Conduct Policy. Disciplinary action or sanctions are considered when a serious violation of Town policy has occurred by a Council Member. In determining the type of sanction imposed, the following factors may be considered:

- a. Nature of the violation
- b. Prior violations by the same individual
- c. Other factors which bear upon the seriousness of the violation

2. Types of Sanctions

At the discretion of the Council, sanctions may be imposed for violating the Code of Conduct or engaging in other misconduct. These actions may be applied individually or in combination. They include, but are not limited to:

- a. *Public Admonishment* – A reproof or warning directed to a Council Member about a particular type of behavior that violates Town policy.
- b. *Revocation of Special Privileges* – A revocation of a Council Member’s Council Committee assignments, including standing and ad hoc committees, regional boards and commissions, and community-generated board/committee appointments. Other revocations may include temporary suspension of official travel, conference participation, and ceremonial titles.
- c. *Censure* – A formal statement or resolution by the Council officially reprimanding a Council Member.

APPROVED AS TO FORM:



Gabrielle Whelan, Town Attorney

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Effective and Efficient Meetings and Membership

Effective meetings occur when two things happen: a clear and reasonable agenda is determined and individuals come to the meeting prepared to discuss items on the agenda and take appropriate actions. In this way, it is the responsibility of every member to make each meeting as efficient and effective as possible.

An effective meeting will:

- Start on time.
- Follow an agenda.
- Adhere to parliamentary procedure.
- Demonstrate respect for everyone in attendance and their points of view.
- Keep discussions focused and on point.
- Encourage participation and an open exchange of ideas and information.
- Make use of staff expertise and experience.

Working with Town Staff

To work well with the Board, Commission, or Committee staff liaison, or Town employee, the Commission member can be more effective if they:

- **Ask questions.**
You need as much information as possible in order to understand an issue before you cast your vote. It is the job of Town staff to study and understand complex situations. Ask for clarification if you need it.
- **Inform staff liaison of meeting absences in advance.**
If you know you will need to miss a meeting because of a schedule conflict, let the staff liaison know about it as far in advance as possible. This allows meetings to be rescheduled if it is clear there will not be a quorum.
- Treat all staff as professionals.
- Communicate clearly, honestly, and directly.
- Build a relationship based on mutual trust and respect.
- Don't ask Town staff to perform tasks or share information outside the role as liaison.

Making the Public Feel Welcome

Making the public feel welcome is an important part of the democratic process and every effort should be made to be fair and impartial in listening to public testimony. There should be no sign of partiality, prejudice, or disrespect shown by a member of a Town Board, Commission, or Committee towards anyone participating in a public forum.

The public will feel most comfortable if they:

- Are treated with politeness and respect.
- Have a fair and equitable opportunity to share their points of view.
- Feel that members of the Board, Commission, or Committee are really listening, with an open mind, to what they have to say.
- Are asked questions and are not argued with or criticized.
- Never hear or feel a personal attack of any kind.

Role of the Chair in welcoming the public.

- Ask speakers to identify themselves for the record.
- Enforce time limits so that all speakers have an equal opportunity to convey their views.
- Don't allow verbal exchanges to break out between speakers and opponents in the audience, or between speakers and members of the Board, Commission, or Committee, or between speakers and staff.
- Soothe tempers and quiet emotions among everyone in attendance by adhering to meeting procedures and insisting that discussion stay orderly, focused, and impersonal.

Public Conduct at Meetings

The Town strongly encourages active participation in the public process. If a member of the public wishes to speak to an item either on or off the agenda, it may be addressed during the "Verbal Communications" period. A time limit may be allocated to all speakers to better facilitate the meeting.

The purpose of a Town Board, Commission, or Committee meeting is to conduct the business of the community in an effective and efficient manner. This is done by following meeting guidelines set forth in State law and in the Town Code. Conduct which is considered disruptive during Town Council and/or Town Commission meetings include, but is not limited to:

- Addressing the Commission without first being recognized.
- Interrupting speakers, Commissioners, or staff.
- Continuing to speak after the allotted time has expired.
- Failing to relinquish the podium when directed to do so.
- Repetitiously addressing the same subject.

For the benefit of the community, the Town asks that the Town's meeting guidelines are followed and that everyone is treated with respect and dignity.

Effective Members

To participate effectively, each member of a Board, Commission, or Committee needs to:

- **Understand the purpose of the Board, Commission or Committee.**
Be clear on your role and responsibilities and how this particular Board, Commission, or Committee fits into the governance of the Town of Los Gatos.
- **Prepare for each meeting in advance.**
Read through the agenda and know what will be discussed at each meeting. Read through staff reports or other background materials or visit sites, as appropriate.
- **Bring an open mind to each meeting.**
You are representing the entire community in your role as a member of a Town Commission, so it is important to put aside personal opinions and be open to new ideas, information, and points of view.
- **Treat everyone with respect and dignity.**
You are playing an important part in the democratic process which guarantees access and fair treatment to all. Your behavior and attitudes are in the spotlight and should reflect the highest standards of the community.

Tips for New Members

- Attend meetings of the Board, Commission, or Committee before applying for the position.
- Read through minutes of previous meetings of the Commission to become familiar with the current issues under discussion. These are available online in the Agenda and Minutes Center at <http://www.losgatosca.gov/13/Agendas-Minutes>.
- Ask the staff liaison if there is background material that may be helpful for you to read and study, such as the General Plan.
- Become familiar with the basic rules of parliamentary procedure <http://robertsrules.com>.
- Attend or watch online at least one or two Town Council meetings to better understand how the role of the individual Board, Commission or Committee fits into the overall governance of the Town.

Enforcement

- If a member of a Town Board, Commission, or Committee does not follow the Commissioner's Handbook, the Mayor or his/her designee will counsel that member regarding the rules and their importance to the Council and the Town (see Resolution 1999-167 and Town Council Code of Conduct Policy).

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT**

MEETING DATE: 3/26/2025

ITEM NO: 8

DATE: March 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Annual Certified Local Government Report 2023-24

PREPARED BY: Sean Mullin
Planning Manager

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Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

INSTRUCTIONS: This a Word form with expanding text fields and check boxes. It will probably open as Read-Only. Save it to your computer before you begin entering data. This form can be saved and reopened.

Because this is a WORD form, it will behave generally like a regular Word document except that the font, size, and color are set by the text field.

- Start typing where indicated to provide the requested information.
- Click on the check box to mark either yes or no.
- To enter more than one item in a particular text box, just insert an extra line (Enter) between the items.

Save completed form and email as an attachment to Lucinda.Woodward@parks.ca.gov. You can also convert it to a PDF and send as an email attachment. Use the Acrobat tab in WORD and select Create and Attach to Email. You can then attach the required documents to that email. If the attachments are too large (greater than 10mb total), you will need to send them in a second or third email.

Name of CLG

Town of Los Gatos

Report Prepared by: Sean Mullin

Date of commission/board review: October 2023 – September 2024

MINIMUM REQUIREMENTS FOR CERTIFICATION

I. Enforce Appropriate State or Local Legislation for the Designation and Protection of Historic Properties.

A. Preservation Laws

1. What amendments or revisions, if any, are you considering to the certified ordinance? Please forward drafts or proposals.

REMINDER: Pursuant to the CLG Agreement, OHP must have the opportunity to review and comment on ordinance changes prior to adoption. Changes that do not meet the CLG requirements could affect certification status.

None.

2. Provide an electronic link to your ordinance or appropriate section(s) of the municipal/zoning code.

https://library.municode.com/ca/los_gatos/codes/code_of_ordinances?nodeId=CO_CH29ZORE_ARTVIIIIOVZOHIPR

B. New Local Landmark Designations (Comprehensive list of properties/districts designated under local ordinance, HPOZ, etc.)

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

1. During the reporting period, October 1, 2023 – September 30, 2024, what properties/districts have been locally designated?

Property Name/Address	Date Designated	If a district, number of contributors	Date Recorded by County Recorder
Type here.	Type here.	Type here.	Type here.

REMINDER: Pursuant to California Government Code § 27288.2, “the county recorder shall record a certified resolution establishing an historical resources designation issued by the State Historical Resources Commission or a local agency, or unit thereof.”

2. What properties/districts have been de-designated this past year? For districts, include the total number of resource contributors?

Property Name/Address	Date Removed	Reason
14340 Browns Lane	9/25/2024	Presumptive Historic pre-1941 properties found to have no historic significance.
15116 Blossom Hill Road	9/11/2024	
32 Euclid Avenue	6/26/2024	
48 Chestnut Avenue	4/24/2024	
14184 Shannon Road	3/20/2024	
14335 La Rinconada Drive (Parcel 1)	2/28/2024	
18 Oak Hill Way	2/28/2024	

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

C. Historic Preservation Element/Plan

1. Do you address historic preservation in your general plan? No
 Yes, in a separate historic preservation element. Yes, it is included in another element.

Provide an electronic link to the historic preservation section(s) of the General Plan or to the separate historic preservation element. <https://www.losgatosca.gov/2138/General-Plan>

D. Review Responsibilities

1. Who takes responsibility for design review or Certificates of Appropriateness?

All projects subject to design review go the commission.

Some projects are reviewed at the staff level without committee review. What is the threshold between staff-only review and full-commission review? Work on listed historic resources properties, including properties in historic districts, is required by ordinance to be reviewed by the Historic Preservation Committee (HPC). Pre-1941 structures are presumptive historic resources unless determined not to be significant. Proposed demolitions of presumptive and listed historic resources are reviewed by the HPC. Exterior alterations to presumptive historic resources are reviewed by staff and referred to the HPC for comment on a discretionary basis.

2. California Environmental Quality Act

- What is the role of the staff and commission in *providing input* to CEQA documents prepared for or by the local government? HPC reviews proposed demolition and/or potentially adverse alterations to listed and presumptive historic resources to provide input to CEQA documents prepared for the Town.

What is the role of the staff and commission in *reviewing* CEQA documents for projects that are proposed within the jurisdiction of the local government? Staff reviews CEQA documents based on designation or input from the HPC.

3. Section 106 of the National Historic Preservation Act

- What is the role of the staff and commission in *providing input* to Section 106 documents prepared for or by; the local government? Staff would provide input and forward to HPC to provide input to Town officials when applicable.

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

- What is the role of the staff and commission in *reviewing* Section 106 documents for projects that are proposed within the jurisdiction of the local government? HPC would provide input to Town officials when applicable.

II. Establish an Adequate and Qualified Historic Preservation Review Commission by State or Local Legislation.

A. Commission Membership

Name	Professional Discipline	Date Appointed	Date Term Ends	Email Address
Jeffrey Barnett	Attorney, Planning Commissioner	January 2024	December 2024	[REDACTED]
Susan Burnett	Masters in Nursing, Planning Commissioner	July 2022	December 2025	[REDACTED]
Barry Cheskin	Retired CEO	January 2021	December 2024	[REDACTED]
Adam Mayer	Architect	January 2024	July 2024	[REDACTED]
Martha Queiroz	Interior Designer	January 2023	December 2026	[REDACTED]
Lee Quintana	Planner, City of San Jose (retired) Former Los Gatos Planning Commissioner	June 2023	December 2027	[REDACTED]
Steven Raspe	Attorney, Planning Commissioner	January 2020	December 2025	[REDACTED]

Attach resumes and Statement of Qualifications forms for all members.

1. If you do not have two qualified professionals on your commission, explain why the professional qualifications not been met and how professional expertise is otherwise being provided. *N/A*
2. If all positions are not currently filled, why is there a vacancy, and when will the position will be filled? *N/A*.

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

B. Staff to the Commission/CLG staff

1. Is the staff to your commission the same as your CLG coordinator? Yes No If not, who serves as staff? [Click or tap here to enter text.](#)
2. If the position(s) is not currently filled, why is there a vacancy? N/A

Attach resumes and Statement of Qualifications forms for staff.

Name/Title	Discipline	Dept. Affiliation	Email Address
Jennifer Armer, AICP, Planning Manager	BA Computer Science and Architecture; Masters in City and Regional Planning	Community Development Department (CDD)	jarmer@losgatosca.gov
Sean Mullin, MUP, AICP, Senior Planner	BA Geography; Masters in Urban Planning	Community Development Department (CDD)	smullin@losgatosca.gov
Erin Walters Senior Planner	BS, Landscape Architecture Masters, Urban Planning	Community Development Department (CDD)	ewalters@losgatosca.gov

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

C. Attendance Record

Please complete attendance chart for each commissioner and staff member. Commissions are required to meet four times a year, at a minimum. If you haven't met at least four times, explain why not.

Commissioner/Staff	2023			2024										
	Oct	Nov	Dec	Jan	Feb	Mar 13	Mar 27	Apr	May	Jun	Jul	Aug	Sep 11	Sep 25
Planning Commissioner, Jeffery Barnett				C						C		C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Planning Commissioner, Vice Chair Susan Burnett	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Chair Barry Cheskin	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Planning Commissioner Adam Mayer				C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C		
Committeemember Marth Queiroz	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Committeemember Lee Quintana	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Planning Commissioner Steve Raspe	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C						C		C		
Jennifer Armer, Planning Manager	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Sean Mullin, Senior Planner	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Erin Walters, Senior Planner				C						C		C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Certified Local Government Program -- 2023-2024 Annual Report

(Reporting period is from October 1, 2023 through September 30, 2024)

D. Training Received

Indicate what training each commissioner and staff member has received. Remember it is a CLG requirement is that all commissioners and staff to the commission attend at least one training program relevant to your commission each year. It is up to the CLG to determine the relevancy of the training.

Commissioner/Staff Name	Training Title & Description (including method presentation, e.g., webinar, workshop)	Duration of Training	Training Provider	Date
Sean Mullin	A New Era of Downtown Opportunity: The Intersection of Housing and Innovation	1 hour	Planetizen	Oct 2023
Type here.	Type here.	Type here.	Type here.	Type here.

III. Maintain a System for the Survey and Inventory of Properties that Furthers the Purposes of the National Historic Preservation Act

A. Historical Contexts: initiated, researched, or developed in the reporting year (excluding those funded by OHP)

NOTE: California CLG procedures require CLGs to submit survey results, including historic contexts, to OHP. (If you have not done so, submit an electronic copy or link if available online with this report.)

Context Name	Description	How it is Being Used	Date Submitted to OHP
N/A	Click or tap here to enter text.	Click or tap here to enter text.	Click or tap here to enter text.

Certified Local Government Program -- 2023-2024 Annual Report

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B. New Surveys or Survey Updates (excluding those funded by OHP)

NOTE: The evaluation of a single property is not a survey. Also, material changes to a property that is included in a survey, is not a change to the survey and should not be reported here.

Survey Area	Context Based-yes/no	Level: Reconnaissance or Intensive	Acreage	# of Properties Surveyed	Date Completed	Date Submitted to OHP
N/A	Type here.	Type here.	Type here.	Type here.	Type here.	Type here.

How are you using the survey data? N/A

IV. Provide for Adequate Public Participation in the Local Historic Preservation Program

A. Public Education

What public outreach, training, or publications programs has the CLG undertaken? How were the commissioners and staff involved? Please provide an electronic link to all publications or other products not previously provided to OHP.

Item or Event	Description	Date
Town of Los Gatos website	Town history: http://www.losgatosca.gov/index.aspx?NID=1822	On-going
Hooked on Los Gatos	Historic Preservation: http://www.losgatosca.gov/index.aspx?NID=190 The Los Gatos Library and History Museum of Los Gatos maintain a web-site that provides digitized images of over 5,000 photographs, maps, death records, minutes, letters, advertisements, postcards and family archives. https://www.losgatosca.gov/1471/Local-History	On-going

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ADDITIONAL INFORMATION FOR NATIONAL PARK SERVICE ANNUAL PRODUCTS REPORTS FOR CLGS

NOTE: OHP will forward this information to NPS on your behalf. Please read “Guidance for completing the Annual Products Report for CLGs” located at http://www.nps.gov/clg/2015CLG_GPRA/FY2013_BaselineQuestionnaireGuidance-May2015.docx.

A. CLG Inventory Program

During the reporting period (October 1, 2023-September 30, 2024) how many historic properties did your local government **add** to the CLG inventory? This is the total number of historic properties and contributors to districts (or your best estimate of the number) added to your inventory **from all programs**, local, state, and Federal, during the reporting year. These might include National Register, California Register, California Historic Landmarks, locally funded surveys, CLG surveys, and local designations.

Program area	Number of Properties added

B. Local Register (i.e., Local Landmarks and Historic Districts) Program

1. During the reporting period (October 1, 2023-September 30, 2024) did you have a local register program to create local landmarks and/or local districts (or a similar list of designations) created by local law? Yes No
2. If the answer is yes, then how many properties have been added to your register or designated from October 1, 2023-September 30, 2024? 1 (see A.)

C. Local Tax Incentives Program

1. During the reporting period (October 1, 2023-September 30, 2024) did you have a Local Tax Incentives Program, such as the Mills Act? Yes No

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(Reporting period is from October 1, 2023 through September 30, 2024)

2. If the answer is yes, how many properties have been added to this program from October 1, 2023-September 30, 2024? N/A

Name of Program	Number of Properties Added During 2023-2024	Total Number of Properties Benefiting From Program
Type here.	Type here.	<i>Click or tap here to enter text.</i>

D. Local “bricks and mortar” grants/loan program

1. Duuring the reporting period (October 1, 2023 - September 30, 2024) did you have a local government historic preservation grant and/or loan program for rehabilitating/restoring historic properties? Yes No
2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2023-September 30, 2024? N/A

Name of Program	Number of Properties that have Benefited
Type here.	Type here.

E. Design Review/Local Regulatory Program

1. During the reporting period (October 1, 2023-September 30, 2024) did your local government have a historic preservation regulatory law(s) (e.g., an ordinance) authorizing Commission and/or staff review of local government projects or impacts on historic properties? Yes No
2. If the answer is yes, how many historic properties did your local government review for compliance with your local government’s historic preservation regulatory law(s) from October 1, 2023-September 30, 2024? 34

F. Local Property Acquisition Program

1. During the reporting period (October 1, 2023-September 30, 2024) did you have a local program to acquire (or help to acquire) historic properties in whole or in part through purchase, donation, or other means? Yes No

Certified Local Government Program -- 2023-2024 Annual Report

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2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2023-September 30, 2024?

Name of Program	Number of Properties that have Benefited
N/A	Type here.

IN ADDITION TO THE MINIMUM CLG REQUIREMENTS, OHP IS INTERESTED IN A SUMMARY OF LOCAL PRESERVATION PROGRAMS

- A. What are your most critical preservation planning issues? Preservation, rehabilitation, and re-use of historic resources.
- B. What is the single accomplishment of your local government this year that has done the most to further preservation in your community?
 Providing preservation input to the General Plan Update Advisory Committee regarding revisions to the Environment and Sustainability, Land Use, and Community Design Elements of the Draft General Plan 2040. Providing useful direction regarding rehabilitation and re-use of historic resources.
- C. What recognition are you providing for successful preservation projects or programs? None at this time.
- D. What are your local historic preservation goals for 2022-2023? To continue to provide useful direction regarding rehabilitation and re-use of historic resources; Discuss contributing structures; Consider review of Los Gatos Preservation/Rehabilitation Guidelines.
- E. So that we may better serve you in the future, are there specific areas and/or issues with which you could use technical assistance from OHP? Type here.

Certified Local Government Program -- 2023-2024 Annual Report

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F. In what subject areas would you like to see training provided by the OHP? How you like would to see the training delivered (workshops, online, technical assistance bulletins, etc.)?

Training Needed or Desired	Desired Delivery Format
	Type here.

G. Would you be willing to host a training working workshop in cooperation with OHP? Yes No

H. Is there anything else you would like to share with OHP? *Click or tap here to enter text.*

XII Attachments (electronic)

- Resumes and Statement of Qualifications forms for **all** commission members/alternatives and staff
- Minutes from commission meetings
- Drafts of proposed changes to the ordinance
- Drafts of proposed changes to the General Plan
- Public outreach publications

Email to Lucinda.Woodward@parks.ca.gov