TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
JANUARY 14, 2026
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
7:00 PM

Emily Thomas, Chair
Kendra Burch, Vice Chair
Jeffrey Barnett, Commissioner
Susan Burnett, Commissioner
Adam Mayer, Commissioner
Joe Sordi, Commissioner
Rob Stump, Commissioner

IMPORTANT NOTICE

This is a hybrid/in-person meeting and will be held in-person at the Town Council Chambers at 110 E. Main Street and virtually through the Zoom webinar application (log-in information provided below). Members of the public may provide public comments for agenda items in-person or virtually through the Zoom webinar by following the instructions at the end of this agenda. The live stream of the meeting may be viewed on television and/or online at www.LosGatosCA.gov/TownYouTube.

HOW TO PARTICIPATE

The public is welcome to provide oral comments in real-time during the meeting in three ways:

- **Zoom webinar (Online)**: Join from a PC, Mac, iPad, iPhone or Android device: Please click this URL to join: https://losgatosca-gov.zoom.us/j/88436489094?pwd=EsA5rW7LuC5mDayk1uQf1SJm1orUDw.1.
  Passcode: 011614. You can also type in 884 3648 9094 in the "Join a Meeting" page on the Zoom website at https://zoom.us/join and use passcode 011614.
  - When the Chair announces the item for which you wish to speak, click the "raise hand" feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand.

- **Telephone:** Please dial 855-758-1310 US Toll-free or 408-961-3927 US. (Webinar ID: 884 3648 9094). If you are participating by calling in, press #2 on your telephone keypad to raise your hand.

- **In-Person**: Please complete a "speaker's card" located on the back of the Chamber benches and return it to the Vice Chair before the meeting or when the Chair announces the item for which you wish to speak.

NOTES: (1) Comments will be limited to three (3) minutes or less at the Chair's discretion.
(2) If you are unable to participate in real-time, you may email to planning@losgatosca.gov the subject line "Public Comment Item #__" (insert the item number relevant to your comment) or "Verbal Communications – Non-Agenda Item." All comments received will become part of the record.
(3) Deadlines to submit written public comments are:

- 11:00 a.m. the Friday before the Planning Commission meeting for inclusion in the agenda packet.
- 11:00 a.m. the Tuesday before the Planning Commission meeting for inclusion in an addendum.
- 11:00 a.m. on the day of the Planning Commission meeting for inclusion in a desk item.

MEETING CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on matters not listed on the agenda and are within the subject matter jurisdiction of the Commission. During special meetings, members of the public are welcome to address the Commission only on items listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Before the Planning Commission acts on the consent agenda, any member of the Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda.)*

1. Approve the Draft Minutes of the December 10, 2025, Planning Commission Meeting
2. Approve the Draft Minutes of the December 17, 2025, Planning Commission Special Meeting

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

3. Consider an Appeal of the Community Development Director Determination of Demolition on Property Zoned R-1:8. **Located at 14340 Browns Lane**. APN 409-14-010. Building Permit B25-0171. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner/Applicant/Appellant: Cathleen Vadasz. Project Planner: Sean Mullin.

4. Consider a Request for Approval to Modify Planned Development Ordinance 2281 to Allow for Lot Line Adjustments and Zone Change on Properties Zoned HR-2½:PD and HR-1. **Located at 16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court**. APNs 527-12-003, 527-12-004, and 527-15-002. Planned Development Application PD-25-004, Lot Line Adjustment Application M-25-006, and Zone Change Application Z-25-001. The Request for Modification of a Planned Development Ordinance is not Considered a Project Pursuant to the California Environmental Quality Act (CEQA). The Request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a Ministerial Approval in Accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The Request for a Zone Change is Exempt Pursuant to CEQA Section 15061 (b)(3). Property Owners: 16300 Greenridge Terrace and 240 La Terra Court - Greenridge Terrace Development, LLC; 16084 Greenridge Terrace - Richard Luu. Applicant: Hanna Brunetti. Project Planner: Sean Mullin.

5. Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 140 Oakmont Way.** APN 424-18-023. Architecture and Site Application S-25-052. Categorically Exempt pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities. Property Owners: **Marc and Marie Tagne.** Applicant: Salar Safaei. Project Planner: Suray Nathan.

OTHER BUSINESS

6. Select a Chair and Vice Chair.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time.)*

ADA NOTICE In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Notification at least two (2) business days prior to the meeting date will enable the Town to make reasonable arrangements to ensure accessibility to this meeting [28 CFR §35.102-35.104].

NOTICE REGARDING SUPPLEMENTAL MATERIALS Materials related to an item on this agenda submitted to the Planning Commission after initial distribution of the agenda packets are available for public inspection at Town Hall, 110 E. Main Street, Los Gatos and on the Town's website at www.losgatosca.gov. Planning Commission agendas and related materials can be viewed online at https://losgatos-ca.municodemeetings.com/.

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
www.LosGatosCA.gov/TownYouTube

This Page
Intentionally
Left Blank

DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
DECEMBER 10, 2025

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, December 10, 2025, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Chair Emily Thomas, Vice Chair Kendra Burch, Commissioner Jeffrey Barnett, Commissioner Susan Burnett, Commissioner Steve Raspe, Commissioner Joseph Sordi
Absent: Commissioner Rob Stump

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. **Approval of Minutes** – October 29, 2025
2. **Approval of Minutes** – November 12, 2025
3. **Annual Review of an Approved Conditional Use Permit** for an existing Private School (Hillbrook School) on property zoned HR-1. Located at 300 Marchmont Drive. APNs 532-10-001 and 532-11-011. Conditional Use Permit Application U-12-002. Applicant/Property Owner: Mark Silver/Hillbrook School. Project Planner: Jocelyn Shoopman.
4. **Planning Commission 2026 Meeting Schedule**

Commissioners Sordi and Barnett indicated that they would recuse themselves from voting on Item 3 due to residence proximity to the subject site.

MOTION: **Motion** by **Commissioner Burnett** to approve adoption of the Consent Calendar. **Seconded** by **Commissioner Raspe.**

VOTE: **Motion passed unanimously with Commissioners Sordi and Barnett recused from Item 3.**

PUBLIC HEARINGS

5. **620 Blossom Hill Road**
   Architecture and Site Application S-25-026
   APN 529-16-041
   Applicant: Ali Yoosofi
   Property Owner: SHP-MINGMING, LLC
   Project Planner: Ryan Safty

   Consider a request for approval for renovation and expansion of an existing automotive dealership (Los Gatos Luxury Cars) on property zoned CH:HEOZ. Categorically exempt pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Ramin Naimi (Applicant)
- I am the vice president of the organization. Rolls-Royce wants to expand their showroom by 894 square feet. It will be behind the building, and it is going to create an area for the customers and a congregation area. The remodel would be a huge improvement to the building, and the exterior will look very nice.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion** by **Commissioner Raspe** to approve an Architecture and Site Application for 620 Blossom Hill Road. **Seconded** by **Vice Chair Burch.**

VOTE: **Motion passed unanimously.**

6. **4 Tait Avenue**
   Zone Change Application Z-25-002
   General Plan Amendment Application G-25-002
   APN 510-44-054
   Property Owner/Applicant: Town of Los Gatos
   Project Planner: Sean Mullin

   Consider a request for approval for a Zone Change from C-2:LHP (Central Business District with a Landmark and Historic Preservation Overlay) to R-1D:LHP (Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay) and a General Plan amendment to change the Land Use designation from Central Business

District to Medium Density Residential. Categorically exempt pursuant to the adopted guidelines for the implementation of the California Environmental Quality Act, Section 15061(b)(3).

Sean Mullin, Planning Manager, presented the staff report.

Opened Public Comment.

Steve McGrath

- My family lives at 305 West Main Street, directly across from the subject property. I strongly support the zone change, as it would preserve the history of the neighborhood. Many areas of Los Gatos are changing quickly and we feel that this is a positive influence to maintain the unique character of our Town, and we feel strongly that this property should match the surrounding neighborhood. The single-family residential is appropriate in this area due to the adjacency of the nursery and elementary schools, and because it is surrounded on three sides by residential; anything other than that would be a significant change to the character of this historic area. Noise, traffic, and parking are already challenging in this area, and anything other than single-family residential would certainly generate more noise, traffic, and parking issues.

Sergei Graff

- My wife, Irina, and I are Los Gatos residents. We are also part of the St. Mary School and parish community. We request the Commission pause the zoning decision for 4 Tait Avenue so we can present an alternative, that this building be used to establish a children's art museum that St. Mary's kids and Gatos kids and teenagers can attend. We propose to fully preserve the architecture and design of this building. St. Mary fully supports the opportunity to collaborate with the art center. We are asking for a 30- or 60-day pause on the zone change proposal so we can create a full plan for funding our idea.

Irina Graff

- We have a concept of this art space as a combination between art innovation and technology, and we would like to serve our community with new technology from Netflix, Google, etc. Also, we have a lot of representatives from our community who have had cancer, and art therapy supports them.

Kat Battaglia

- My husband and I live at 300 West Main Street, on the other corner of West Main and Tait. We support reverting back to the original and historic zoning for the property for similar reasons as my neighbors. The character of that property is very residential and has never appeared to be a commercial style building, so the blend with the neighborhood seems to be a better fit. There are a lot of challenges for parking in the area, and Tait is really difficult. A commercial business there would exacerbate the problem and change the entire flavor of the neighborhood. It's very much more residential feeling after a certain time, particularly in the evening, and that would completely change. There is also concern for

emergency response when we have these gridlocked areas. Residential is just calmer, and I think it keeps in the flavor of the area and that particular building.

Mike Wasserman

- I live at 303 West Main Street, and I think that the recommendation before you tonight is appropriate. To the north, west, and south of the property are single-family residential homes, and that's important. The house faces Tait Avenue, a residential street, and to put commercial use out there is not appropriate, because it's residential and residential fits there. There is a salon and such to the east, and that's the line where commercial stops and residential continues from there. There is also a traffic issue there, and at my house I hear horns every day. Single-family residential use is a lot less intensive as far as parking or noise. Whether it's one home or a duplex, parking can be off the street. In that area, Tait has parking only on one side, because St. Mary is down there. If it's a commercial use, where are they going to park? It has to be in front of homes. If it's a single-family, there's enough space for a single-family or a duplex there with off-street parking, and noise would be less.

Alexey Malykh

- I understand it is pretty sensitive for the community, but I strongly believes in a long-term benefit of what will be the best usage of this space. I vote for changing the zoning, number one. Number two, from the perspective of education and contributing to the community, bringing in something as a value will, in my opinion, definitely bring a more positive long-term effect from a historical perspective and from today's standpoint. As a Town, I think we will maintain better historical preservation for Los Gatos as compared to transitioning to the residential project.

Natalia

- I went through cancer in 2017, and I would have been so happy at that time to have such a center as the Graff's presented today, to leave my kids there. I'm really happy to have the Graff's here, because they organized an amazing St. Mary's Carnival in the autumn, and they're going to organize an art festival in the spring. Irina also has an amazing marketing background, and her husband Sergei is an amazing architect and designer, and I think it's great to allow them to organize such kind of center in Los Gatos. This art immersive center with after-school programs would be great for the community, especially because kids are mostly within walking distance, so it's not huge traffic for downtown. I think it's great also to preserve the spirit of the fire station we used to have as a historical landmark.

Suzanne Fiore

- I live at 5 Tait Avenue, directly across the street from the subject site. I am strongly in favor of returning to the initial zoning of residential with historic for all the reasons the other speakers have mentioned. Parking is very difficult with only one side of the street, and our street is quite narrow and is not a place to be adding more traffic. My concern is noise if the site stays commercial, as this is a quiet neighborhood. As some of the other speakers

said, that property is three sides residential, and it suits the neighborhood. I agree with the speaker who said the building style suits the residential and historic nature of this neighborhood.

Lisa Mammel

- I live at 33 Tait Avenue, six houses from the subject site, and have lived on Tait for over 30 years. I strongly support reverting back to the Single-Family Residential District with Landmark Historic Preservation status. There is difficulty with ingress and egress of cars coming in and out of St. Mary. I live across the street from their parking lot, and at times I have had to park a block or two away. The addition of something commercial would only add to this traffic issue. This happened when the site was an art museum and had showings; we couldn't access our own homes. Add the summer beach traffic, and this is a jammed street. We have also worried about emergency vehicles. There was a failed attempt to get a commercial tenant into this building, and now the building has gone into disrepair. We have an obvious housing shortage in Los Gatos, and this is an opportunity to chip away at some of that. Tait Avenue is a neighborhood, not a commercial district.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion** by **Commissioner Barnett** to recommend Town Council approval of a Zone Change Application and General Plan Amendment for 4 Tait Avenue. **Seconded** by **Vice Chair Burch.**

VOTE: **Motion passed unanimously.**

REPORT FROM THE COMMUNITY DEVELOPMENT DIRECTOR

Joel Paulson, Community Development Director

- The Town Council held interviews for Planning Commission positions on November 24, 2025. Commissioner Barnett was reappointed, and former Planning Commissioner Adam Mayer, who will begin his duties in early 2026, was appointed to replace departing Commissioner Raspe.
- The Planning Commission will hear the Twin Oaks project at a special meeting on December 17, 2025.
- The Town Council will hold a special meeting on January 13, 2026 regarding the North Forty Phase 2 project, to begin at 5:00 p.m. rather than the typical 7:00 p.m.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

None.

ADJOURNMENT
The meeting adjourned at 8:02 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
December 10, 2025 meeting as approved by the
Planning Commission.

_____
/s/ Vicki Blandin

DRAFT
MINUTES OF THE SPECIAL PLANNING COMMISSION MEETING
DECEMBER 17, 2025

The Planning Commission of the Town of Los Gatos conducted a Special Meeting on Wednesday, December 17, 2025, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Chair Emily Thomas, Vice Chair Kendra Burch, Commissioner Susan Burnett, Commissioner Steve Raspe, Commissioner Joseph Sordi
Absent: Commissioner Jeffrey Barnett (recused), Commissioner Rob Stump

Chair Thomas indicated that Commissioner Barnett was recused from participation in the public hearing regarding Item 1, 178 Twin Oak Drive, due to his residence's proximity to the subject site.

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

Anonymous
Touched on potential legal issues pertaining to projects on the hillside.

PUBLIC HEARINGS

1. **<u>178 Twin Oaks Drive</u>**
   Architecture and Site Applications S-24-023 through -032, and S-24-059
   Vesting Tentative Map Application M-24-013
   Mitigated Negative Declaration Application ND-25-001
   APN 532-16-006
   Property Owner/Applicant: Larry Dodge
   Project Planner: Erin Walters

   Consider a request for approval for the subdivision of one lot into twelve lots with a Vesting Tentative Map, construction of a new single-family residence on each lot, site work requiring a Grading permit, and removal of large, protected trees under Senate Bill

330 (SB 330) on vacant property zoned RC. An Initial Study and Mitigated Negative Declaration have been prepared.

Chair Thomas disclosed that she is familiar with the area and has friends who live in the neighborhood, but it would not prevent her from making an impartial decision on the matter.

Erin Walters, Senior Planner, presented the staff report.

Gabrielle Whelen, Town Attorney, provided a presentation on the regulatory framework.

Opened Public Comment.

Jim Foley

- A similar project came before the Town Council in 2018 that was denied because the property was in the Williamson Act, but that expired in January 2025 and the project is now before the Planning Commission. This project would bring some of the first new affordable units for sale to Los Gatos since Bellaterra at North Forty, and every unit counts toward Los Gatos' Housing Element. We could have proposed a much denser project and abused the Builder's Remedy, but that is not the Dodge family's intent. We have strived to comply with as many of the various potentially applicable development standards that could have been in place for the project zoning. We also considered many public comments including road alignment, home orientation, headlight pollution, etc. There was tremendous additional study and updating of the technical reports and studies that added to the anticipated application preparation time.

Cindy Clark

- I live at 16326 West La Chiquita Avenue. I will make two points in opposition to the development plans: 1) Builder's Remedy and SB 330 are about building more housing, yet the developer is asking to use 17 acres of rare, wooded land to build three token below market homes, and nine giant homes. These are homes for the very rich to be used as second or third homes and an investment opportunity; and 2) If the development proceeds, the Town should deny permits to remove the 223 protected trees that are not at all replaceable, are considered keystone species, and are vital to a healthy ecosystem in Los Gatos.

Gus Who

- The public would want a road connected, because there is a lot of traffic, so it would be better to have a loop in the two roads instead of the one. Another thing was when I built, I designed a 3,500-square foot house and it was too small for the neighborhood and I had to double it. You can probably limit the size of the house. It's 14 acres, so you can probably up it a couple houses, but a loop around there for safety reasons would be the most important thing. Even if nobody builds there, you should have a road connecting that high up, to try

to work a deal with the builders. A road between the two for safety issues is my biggest concern.

John Witkin

- I live at 188 Twin Oaks Drive, next door to the development. That hillside, with an oak forest and a Ross Creek feeder stream at the base, is not feasible for a subdivision for multiple home tracts. Similar developments in California have all had issues, because when we cut down 250 trees, move 200 loads of dirt, and pave over a riparian corridor, what can we anticipate? Last year the hillside was recategorized as a high fire danger zone, and eventually we will have a flood, earthquake, or fire and these altered landscapes will fail and we will experience landslides, massive property damage, and a major safety hazard. It is not safe to build these structures and it will not reduce any of the housing crisis in California. We need existing open space to remain in order to keep Los Gatos beautiful.

Bill Meleyco

- I live at 189 Longmeadow Drive, adjacent to the proposed project at the border with Hillbrook School. Our major concern is privacy, trees, noise, and the drainage. These new homes would look down into our backyard and windows. There is a discrepancy between the applicant's rendering that shows 35 new trees being installed, but the plans show them installing only seven trees. They are removing six protected trees along the properly line with Hillbrook that do not interfere with the construction, or anything. From a privacy standpoint, we request the Planning Commission to require the developer to add these 35 trees. Hillbrook's noise studies, done for it to receive a CUP, stated the sound level at our home was at the threshold of unacceptable. The cumulative effect of Hillbrook and the proposed houses would put the sound above an unacceptable level. This hillside drains entirely towards our property, and the catch basin at the corner will overflow with the drainage created by the project.

Monica Herzi

- I live at 185 Longmeadow Drive, three houses from the proposed development and facing Twin Oaks Drive. Proposals like this one tend to keep people from retiring here. From my home I have seen owls, coyotes, deer, rabbits, foxes, turkeys, hawks, etc., and that will all go away with this project. California needs affordable housing, but I agree with the former speakers who asked if these houses will be second homes. Will they produce ADUs on each site, or will they be subdivided and sold as individual lots? I also worry about safety and the limited access to the site.

Jill Fordyce

- I live at 191 Longmeadow Drive. When we bought our property in 1999 the Town staff told us the subject site was resource conservation space that would not likely be developed in our lifetimes. Now we face a new reality, it is no long resource conservation space, there are Builder's Remedy laws, and loss of the Williamson Act protection. I request the project be denied, because it would result in adverse impacts such as wildfire and evacuation;

erosion causing mudslides and landslides on the project site; and flooding, water quality degradation and pollution; and harms associated with the proposed bioretention plan. These risks are acknowledged in the Negative Declaration, but the mitigation of each is vague, uncertain, deferred, and potentially unenforceable.

Craig Fordyce

- I also live at 191 Longmeadow Drive. In our opinion, an EIR is required, as we have not been given necessary information to understand the environmental impact of the proposed development. The Mitigated Negative Declaration approach suggests environmental review is secondary to entitlement, which is legally incorrect. The MND relies on an outdated, uncertified EIR from 2017. The proposal is not the same as the one considered in 2018, with a key difference being the 13 percent increase of the scope of development, as well as different lots, number of homes, home sites, and ingress and egress. An uncertified EIR cannot legally be relied upon for the adoption of an MND. The Sierra Club, the Santa Clara Valley Bird Alliance, and the San Francisco Regional Bay Regional Water Control Board each site multiple issues not addressed by the MND that may have significant environmental impacts.

Chris Bayoric

- I live at 120 Clover Way near the proposed development. My main concern is the development exceeds the drainage capability of that land. The mitigating requests are to build at least three bioretention basins, basically wetlands, or ponds, to catch the effluence from that drainage of that property, and ponds are a health concern with the presence of West Nile Virus in our community and the fact that ponds breed mosquitos that transfer the virus. My second concern is the proposal is vague regarding who is going to be responsible for maintaining those wetlands, the Town or owner. The scope of this development must be downsized to avoid dependence on these wetlands.

Lee Quintana

- I am here not to speak on the project, but to speak on the environmental review, relying on 15 years of experience working for the City of San Jose doing environmental review. Two things paramount in project review: 1) Provide decision makers with information to make informed decisions as to significant impacts and mitigation to those impacts; and 2) Make documents bulletproof, meaning to achieve the first purpose and provide all the studies and information before a document is released. In this case, there is an incompleteness in those studies, deferred mitigation, and lack of consultation with agencies having jurisdiction over Los Gatos lands. Conducting studies and consultations after approving a project limits what can be done, and full mitigation may not be achieved, so it is important to have those studies up front, and for that reason I would not support approving the Mitigated Negative Declaration.

Jan Schwartz

- I live at 15966 Cerro Vista Drive on the other side of the hill. We will have one or two houses on our side, more will be on the other side, and I am concerned for my neighbors regarding flooding, landslides, and mosquitos, which are significant risks. My concern is also for the abundant wildlife we have here that will disappear. I love Los Gatos, but I know progress moves on with the North Forty and other developments, but I hope we can maintain the wildlife and riparian corridor near the property that we have right now.

Anne Griffin

- I have had the back yard of my home flooded by Ross Creek twice, and I live up the road from the subject site. My concern is safety. Twin Oaks Drive, Clover Way, and Blueberry Hill Drive travel onto Longmeadow to exit. We would be adding two cars to every home, most of which will go through Longmeadow. During the day there are service trucks and cars parked on the street, as well kids riding bikes, and people walking dogs. I am concerned about safety because I would like an emergency vehicle to be able to come to my home if I should need it.

Jim Foley

- There is extensive language in the conditions of approval regarding best practices for safety, access during construction, etc. The bioretention areas are engineered and widely accepted, have all gone through the process. There are many requirements in the conditions of approval for who is going to manage CC&Rs, ongoing access review, and proactive reporting to the Town, so how we created that and the drainage for the neighborhood was well thought out. Regarding wildlife concerns, we still have the ephemeral swale through the site. It is the main feature where you will find wildlife and protected areas, and there is still a lot of that being preserved with this project. A lot of effort went into the EIR. Raney Planning Management took prior and new information, updated, and ensured all the technical studies were adequate.

Reopened Public Comment

Question to applicant followed.

Reclosed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion** by **Vice Chair Burch** to continue the public hearing for 178 Twin Oaks Drive to a date uncertain. **Seconded** by **Commissioner Raspe.**

VOTE: **Motion passed unanimously.**

ADJOURNMENT
The meeting adjourned at 10:42 p.m.

This is to certify that the foregoing is a true
and correct copy of the minutes of the
December 17, 2025 meeting as approved by the
Planning Commission.

_____
/s/ Vicki Blandin

TOWN OF LOS GATOS

PLANNING COMMISSION REPORT

MEETING DATE: 01/14/2026

ITEM NO: 3

DATE: January 9, 2026

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider an Appeal of the Community Development Director Determination of Demolition on Property Zoned R-1:8. **Located at 14340 Browns Lane**. APN 409-14-010. Building Permit B25-0171. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner/Applicant/Appellant: Cathleen Vadasz. Project Planner: Sean Mullin.

RECOMMENDATION:

Deny the appeal of the Community Development Director determination of demolition on property zone R-1:8, located at 14340 Browns Lane.

BACKGROUND:

The subject property is located on the east side of Browns Lane approximately 130 feet north of the intersection with Wedgewood Avenue (Exhibit 1). The property is developed with an existing single-family residence currently under renovation.

On September 25, 2025, Building Permit B25-0171 was issued for interior and exterior modifications and a 499-square foot single-story addition to the residence. The Town defines a technical demolition of a non-historic residence as removal of more than 50 percent of the exterior wall framing. The project included a demolition plan and calculation that did not trigger a technical demolition by limiting demolition of the exterior wall framing to 48.3 percent (Exhibit 2, Sheet G6.0). As required by Town Code, the property owner, architect, civil engineer, and contractor signed a Demolition Affidavit acknowledging their understanding of the Town's demolition requirements (Exhibit 3).

On September 29, 2025, a Town Building Inspector conducted a scheduled progress inspection, during which they discussed options to address a roof framing issue with the contractor. The inspector indicated that any changes from the approved plans required approval of a revision to the Building Permit.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Town Attorney and Community Development Director

On November 10, 2025, a Town Building Inspector conducting a scheduled progress inspection noted that all the existing framing had been removed and replaced in-kind and that the contractor should contact the Planning Division. This work was not included in the approved project plans, nor was a revision applied for by the applicant. The Building Inspector contacted Planning for follow up.

The Community Development Director and Building Official reviewed photos of the state of the residence, confirming that the work resulted in an unlawful technical demolition. On November 14, 2025, a Stop Work notice was issued to the property owner (Exhibit 4). On November 21, 2025, a Notice of Unlawful Demolition from the Community Development Director was sent to the property owner (Exhibit 5).

On November 26, 2025, the decision of the Community Development Director was appealed by the property owner (Exhibit 6). Pursuant to Town Code Section 29.20.255, any interested person as defined in Section 29.10.020 may appeal any decision of the Planning Director including "(4) Determination of an unlawful demolition and/or the penalty and the cost assessment for the unlawful demolition."

Pursuant to Town Code Section 29.20.260, the appellant must file a written notice of appeal with the Community Development Director not more than 10 days after the date of mailing of written notification of the Community Development Director's decision. The notice shall state clearly the reasons why the appeal ought to be granted. Pursuant to Town Code Section 29.20.265, the appeal should be heard by the Planning Commission.

DISCUSSION:

A. Project Summary

The property is developed with an existing single-family residence currently under construction. On September 25, 2025, Building Permit B25-0171 was issued for interior and exterior modifications and a 499-square foot single-story addition to the residence. During the building permit process, the Town requested a Demolition Affidavit requiring all parties of the project to review the Town's Demolition Code requirements (Exhibit 3). Town Code Section 29.10.020 states that the demolition of a nonhistoric structure means:

> *Demolition (nonhistoric structure)*: Removal of more than 50 percent of the exterior walls. The following is exempt from this definition:
>
> *a.* *Repair*. The removal and replacement if in kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

As required by Town Code, the property owner, architect, civil engineer, and contractor submitted a signed Demolition Affidavit acknowledging their understanding of the Town's demolition requirements (Exhibit 3).

The Town Code requires the Demolition Affidavit when the proposed project would result in demolition of more than 40 percent of the existing exterior walls. Even for projects with less than 40 percent demolition, staff often requests the Demolition Affidavit be signed to ensure all parties understand the demolition requirements in the event additional demolition may be required beyond what is shown on the plans. The Town stamps a notice on the building permit plans noting the plans have been approved as shown and that any modification may require separate approval.

The approved Building Permit plans included a demolition plan showing that less than 50 percent of the exterior wall framing would be removed (Exhibit 2, Sheet G6.0). The approved demolition plan adequately accommodated the proposed renovation and addition while complying with the Town's demolition rules. Therefore, the project did not constitute a technical demolition and was not scoped or processed as construction of a new residence.

On September 29, 2025, a Town Building Inspector conducted a scheduled progress inspection, during which they discussed options to address a roof framing issue with the contractor. The inspector indicated that any changes from the approved plans required approval of a revision to the Building Permit.

On November 10, 2025, a Town Building Inspector conducting a scheduled progress inspection noted that all the existing framing had been removed and replaced in-kind and advised that the contractor should contact the Planning Division. This work was not included in the approved project plans, nor was a revision applied for by the applicant. The Building Inspector contacted Planning for follow up.

B. <u>Community Development Director Determination of Demolition</u>

The Community Development Director and Building Official reviewed photos showing the state of the residence, confirming that the work resulted in an unlawful technical demolition. On November 14, 2025, a Stop Work notice was issued to the property owner (Exhibit 4). On November 21, 2025, a Notice of Unlawful Demolition from the Community Development Director was sent to the property owner (Exhibit 5). The notice included the following requirements:

i. Penalties for Unlawful Demolition

Pursuant to Town Code Section 29.10.09030 (g), a property owner who unlawfully demolishes a structure is required to file all applicable Planning and Building Department applications and pay the associated fees and penalties, as established by resolution, for any new applications and for work performed unlawfully. Pursuant to the Town's Comprehensive Fee Schedule, which is adopted by resolution, applications for work unlawfully complete are subject to a penalty of double the current application fees.

ii. Architecture and Site Application

Pursuant to Town Code Section 29.10.145, Architecture and Site approval is required for demolition of an existing single-family residence and construction of a new single-family residence. The Town's Comprehensive Fee Schedule requires double application fees for work unlawfully completed; for an Architecture and Site application, this equates to $22,568.18 x 2 = $45,136.36.

iii. Future Building and Engineering Applications associated with the Architecture and Site Application

Per the Town's Comprehensive Fee Schedule, double application fees are required for work unlawfully completed, which will be determined through the Architecture and Site Application process.

iv. Appeal Rights

Pursuant to Town Code Section 29.20.255, any interested person as defined in Section 29.10.020 may appeal any decision of the Planning Director including "(4) Determination of an unlawful demolition and/or the penalty and the cost assessment for the unlawful demolition."

Pursuant to Town Code Section 29.20.255, any interested person as defined in section 29.10.020 may appeal to the Planning Commission any decision of the Community Development Director. The appeal must be received not more than ten (10) days after the date of mailing of written notification of the Community Development Director's decision.

C. Appeal to Planning Commission

On November 26, 2025, the decision of the Community Development Director was appealed by the property owner, Cathy Vadasz (Exhibit 6). On the appeal form, the

appellant provided three reasons why the appeal should be granted. Additionally, supplemental materials were provided supporting their appeal (Exhibit 7). Below are the appellant's reasons supporting the appeal in **bold**, followed staff's response.

1. **Owner and contractor did not intentionally demolish the structure – intent was to keep existing.**

   Staff Response: The appellant asserts that there was no intent to demolish the structure and that the intent was to retain the existing structure. This is consistent with the work that was performed beyond the scope of the approved plans. Damaged framing was replaced in the same location with no change in floor area, massing, or appearance to the structure; however, this work was not approved by the Town through the revision process. As the work was carried out without engaging the Town, staff had no opportunity to conduct a specific inspection to determine that the work was necessary and met the requirements for an exemption from the demolition calculation under the repair clause. Additionally, the signed Demolition Affidavit (Exhibit 3) clearly outlines the process necessary when unexpected situations arise during construction:

   - Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
   - If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.

2. **Owner and contractor have meticulously followed the plans and replaced existing damaged structure like-for-like.**

   Staff Response: While damaged framing was replaced in the same location with no change in floor area, massing, or appearance to the structure, this work was not approved by the Town through the revision process. As stated in detail above, staff had no opportunity to conduct a specific inspection to determine that the work was necessary and met the requirements for an exemption from the demolition calculation under the repair clause.

3. **Owner and contractor unintentionally missed one step. Had this one step been done, there would be no change to the project.**

   Staff Response: Staff agrees that a step was missed; however, the missed step is not inconsequential in the context of the Town's demolition requirements. If the process dictated in the Demolition Affidavit was adhered to, staff would have had the

opportunity to conduct a specific inspection to determine if the work was necessary and met the requirements for an exemption from the demolition calculation under the repair clause. If the work was consistent with the repair clause, a revision would have been processed and the reframing of existing damaged walls would not have resulted in a technical demolition.

The following issues are provided in the appellant's supplement that provides detailed information supporting their appeal (Exhibit 7).

4. **Project timeline.**
   Staff Response: The timeline provides the dates of progress inspections conducted by Town Building Inspectors. Staff contends that the summary of the inspection occurring on September 27, 2025, is not accurate. The Building Inspector who conducted the inspection recalls that the discussion revolved around what was needed to address roof framing issues. The inspector advised the contractor of different options available and that any deviations from the approved plans would require a revision to the building permit to be submitted and approved. The appellant asserts that a misunderstanding came from this conversation that resulted in the reframing work being carried out without the necessary revision in place and without following the process dictated in the Demolition Affidavit.

5. **Meticulous adherence to plans.**
   Staff Response: While damaged framing was replaced in the same location with no change in floor area, massing, or appearance to the structure, this work was not approved by the Town through the revision process. As stated in detail above, staff had no opportunity to conduct a specific inspection to determine that the work was necessary and met the requirements for an exemption from the demolition calculation under the repair clause.

6. **The circumstantial changes.**
   Staff Response: It is common for unanticipated issues to arise once construction begins. As walls are opened up, damaged framing and other issues become clear. The Town anticipates this scenario by providing for an exemption from the demolition calculation for in-kind repair of damaged framing. Because the process clearly outlined on the Demolition Affidavit was not followed, staff had no opportunity to conduct a specific inspection to determine that the work was necessary and met the requirements for an exemption from the demolition calculation under the repair clause and the work resulted in a technical demolition of the structure.

7. **The process and misunderstanding.**
   Staff Response: The Building Inspector who conducted the inspection recalls that the discussion revolved around what was needed to address roof framing issues. The

inspector advised the contractor of different options available and that any deviations from the approved plans would require that a revision to the building permit be submitted and approved. A revision was not filed prior to commencement of the repair work. If a revision had been filed ahead of the work, Planning staff could recognize the potential of the proposed work to result in a technical demolition. Staff could then contact the applicant to discuss the situation and pursue the required inspections to consider an exemption under the repair clause.

8. **The disconnect.**
   Staff Response: Damaged framing was replaced in the same location with no change in floor area, massing, or appearance to the structure. This work could have been considered for an exemption from the demolition requirements if the process were followed.

9. **Our goal: An equitable solution.**
   Staff Response: The appellant requests an open discussion of the matter and that the Planning Commission grant the appeal to classify the project as a remodel/addition while removing the penalty. Staff notes that since the applicable application penalty fee is adopted by resolution through the Comprehensive Fee Schedule, the Planning Commission may not reduce the amount of the penalty pursuant to Town Code Section 29.20.265 (b)(6). The Planning Commission is required to make finding (5) in order to grant the appeal as requested by the appellant.

D. Required Findings

Pursuant to Town Code Section 29.20.265 the appeal should be heard by the Planning Commission who shall do the following for hearings dealing with an appeal of an unlawful demolition and/or the penalty fee for the lawful demolition:

(1) The Planning Commission shall consider any written or oral evidence consistent with its rules and procedures regarding the violation, compliance by the violator or by the real property owner, and the amount of the penalty.
(2) The Planning Commission shall make the findings and issue its determination regarding:
    a. The existence of the violation; and
    b. The appropriateness of the amount of the penalty fee.
(3) The Planning Commission shall issue written findings of each violation. The findings shall be supported by evidence received at the hearing.
(4) If the Planning Commission finds by the evidence provided that a violation has occurred, the Planning Commission shall affirm the decision of the Planning Director.
(5) If the Planning Commission finds that no violation has occurred, the Planning Commission shall state a finding of those facts.

(6) The Planning Commission may approve or reduce the amount of the penalty, but not the application penalty fee which is established by resolution.

PUBLIC COMMENTS:

Written notice of the Planning Commission hearing was sent to property owners and tenants within 300 feet of the subject property. At the time of this report's preparation, the Town has not received any public comment.

CONCLUSION:

A. Recommendation

For the reasons stated in this report, it is recommended that the Planning Commission deny the appeal, finding by the evidence provided that a violation has occurred, and uphold the Community Development Director's determination of demolition.

B. Alternatives

Alternatively, the Planning Commission could:

1. Grant the appeal finding that no violation has occurred and stating a finding of those facts in the motion; or
2. Continue the application to a date certain with specific direction.

ENVIRONMENTAL ASSESSMENT:

The project is Categorically Exempt pursuant to CEQA Guidelines Section 15301: Existing Facilities.

ATTACHMENTS:

1. Location Map
2. Approved Building Permit Plans, B25-0171
3. Signed Demolition Affidavit
4. Stop Work Notice
5. Notice of Unlawful Demolition
6. Appeal of the Community Development Director Decision
7. Supplemental Information Provided by the Appellant

14340 Browns Lane

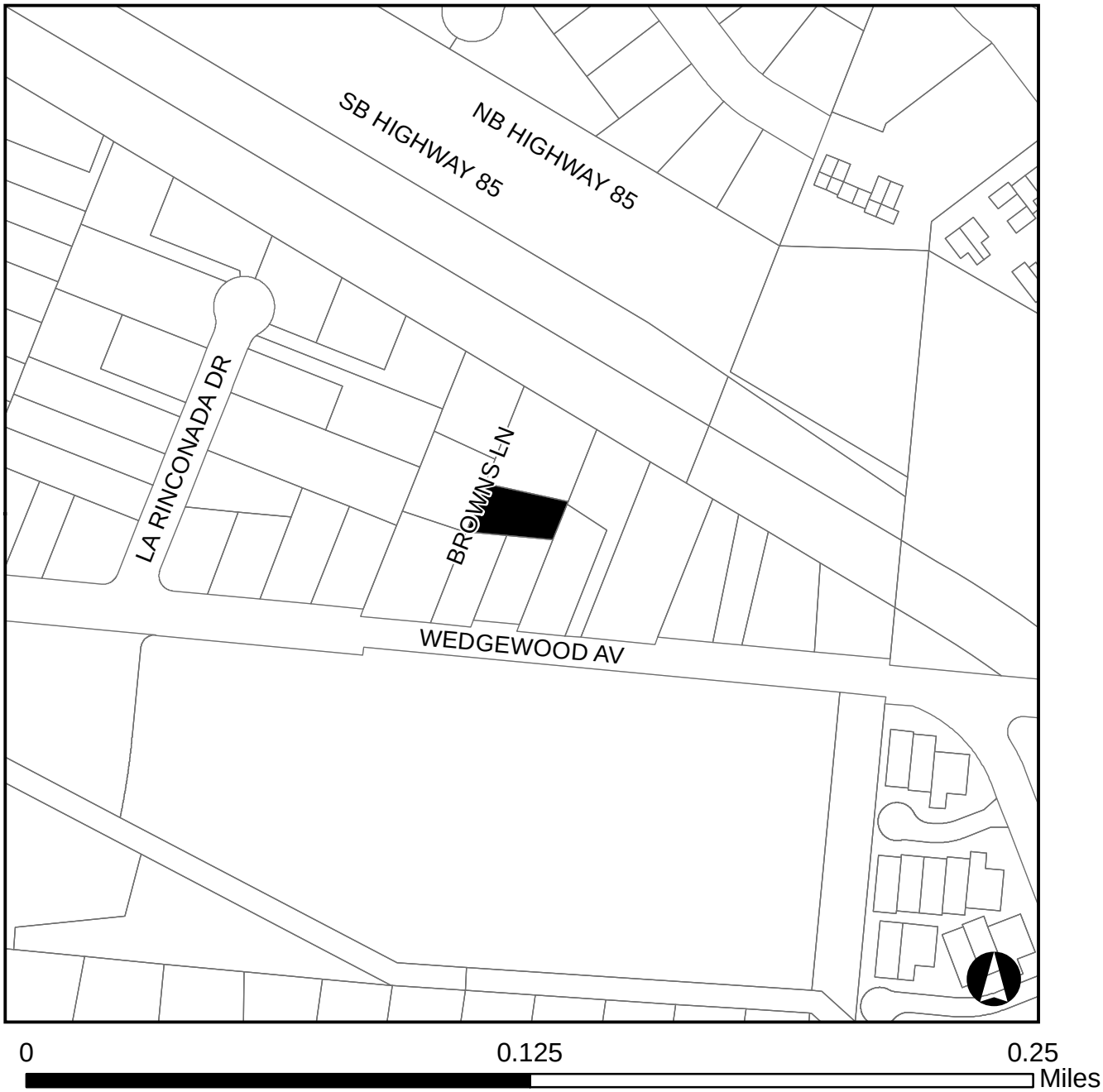


EXHIBIT 1

This Page
Intentionally
Left Blank

VADASZ & NOLAND RESIDENCE

LOS GATOS — CALIFORNIA

SCOPE OF WORK

(P) REAR/ FRONT ADDITION (499 SF)
-REMODEL PORTION OF (E) HOME INTO A 2- CAR GARAGE, 486 SF

PROJECT DIRECTORY

OWNER:	CATHERINE VADASZ & LAMAR NOLAND 14340 BROWNS LN, LOS GATOS, CA 95032 [redacted]
ARCHITECT:	GKW ARCHITECTS INC. 710 E. MCGLINCY LN. STE 109, CAMPBELL CA 95008 (408) 315-2125 | GORDONKWONG@GKWARCHITECTS.COM
STRUCTURAL ENGINEER:	A.S. ASSOCIATES | ARMEN SHAMAMIAN 88 E 6TH STREET SUITE 404, PITTSBURG, CA 94565 (408) 666-6933 | ARMEN.ASASSOCIATES@GMAIL.COM
CONTRACTOR:	MORELAND GENERAL CONSTRUCTION INC | LAMAR NOLAN 500 W HAMILTON AVE #112005 CAMPBELL, CA 95008 (408) 8306164 | LAMARNOLAND@OUTLOOK.COM
T24 ENERGY REPORT:	CARSTAIRS ENERGY INC. | TIMOTHY CARSTAIRS 2238 BAYVIEW HEIGHTS DRIVE SUITE E, LOS OSOS, CA 93402 (805) 904-9048 | TITLE24@YAHOO.COM

PROJECT INFORMATION

PROJECT LOCATION:	14340 BROWNS LN, LOS GATOS, CA 95032
APN:	409-14-010
ZONING:	R-1-8
OCCUPANCY:	R-3 (MAIN DWELLING), U (GARAGE)
GENERAL PLAN:	LOW DENSITY RESIDENTIAL
FLOOD ZONE:	D
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
LOT SIZE:	6,893 SF
CONSTRUCTION TYPE:	VB - UNSPRINKLERED
HISTORICAL PRESERVATION COMMITTEE OF LOS GATOS:	PHST-24-019- APPROVED & REMOVED PROPERTY FROM THE HISTORIC RESOURCES INVENTORY (PROJECT PLANNER: ERIN WALTERS)
MAX. HEIGHT:	30 FT
MAX. LOT COVERAGE: (P) LOT COVERAGE:	40% = 2,757.2 / 6,893 SF **26.5%** = 1,826 SF / 6,893 SF - 40% (OK)
MAX. F.A.R.:	0.31 FOR RESIDENCE (PER LOS GATOS MUNI CODE SEC. 29.40.075) 0.087 FOR GARAGE (PER SEC. 29.40.075)
SETBACKS:	
FRONT:	25 FT
REAR:	20 FT
SIDE:	8 FT

FLOOR AREA BREAKDOWN:

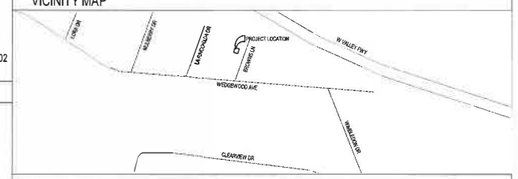
EXISTING (SINGLE STORY)			
(E) MAIN DWELLING:			841 SF
(E) GARAGE:			486 SF
(P) ADDITION:			499 SF
FAR CALCULATIONS			
MAX FAR, PRIMARY HOUSE	= 0.31 x 6,893	=	2,136.83 SF
MAX FAR, GARAGE	= 0.087 x 6,893	=	599.69 SF
(E) PRIMARY HOUSE		=	**841 SF** < 2,274.69 SF (OK)
(P) PRIMARY HOUSE		=	**1,340 SF** < 2,274.69 SF (OK)
(E) GARAGE		=	**486 SF** < 652.76 SF (OK)

PUBLIC WORKS AND SITE PLAN NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
2. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
3. CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
4. CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF SAN JOSE
5. OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER C.M.C. SECTION 17.20.540
6. PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
7. ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER CBC SECTION 3403.2.
8. CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/ OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
9. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
10. PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
11. PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

3D MODEL

VICINITY MAP

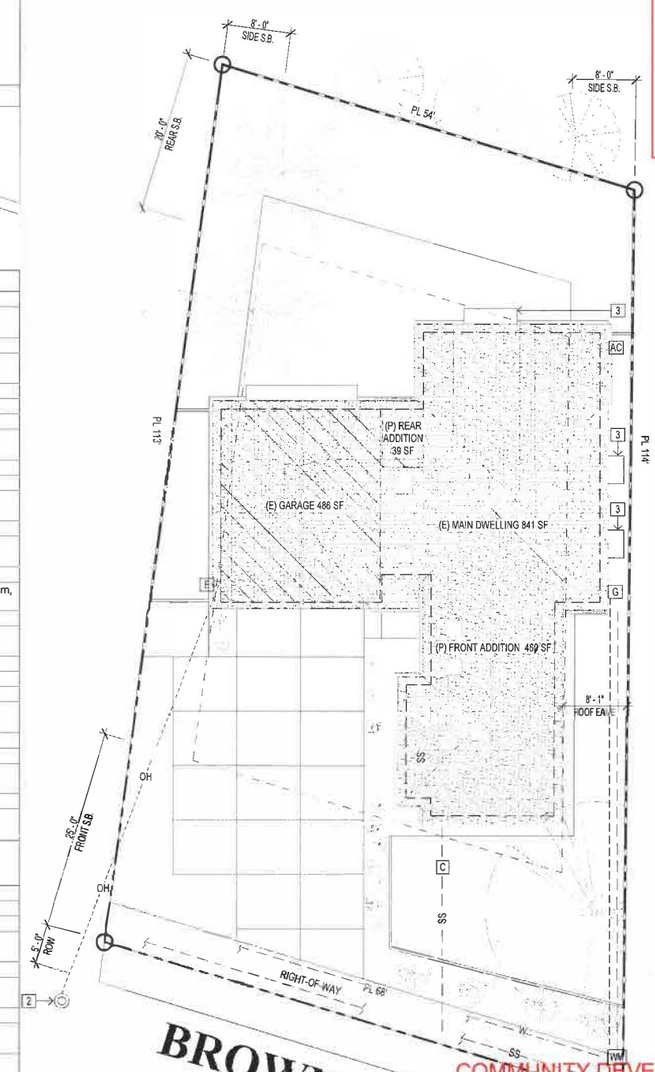


SHEET INDEX

Sheet Number	Sheet Name
General	
G0.0	General, Info & Site Plan, Proposed
G1.0	General, Notes/ Symbols & Site Plan, Existing Demolition/ Utilities
G2.0	General, Historical Report & Los Gatos Approval Letter
G2.1	General, Historical Report & Los Gatos Approval Letter
G2.2	General, Historical Report & Los Gatos Approval Letter
G3.0	General, Green Building Checklist 1
G3.1	General, Green Building Checklist 2
G4.0	General, BMP's
G5.0	General, Streetscape & Shadow / Sun Study
G6.0	General, Technical Demolition Diagram
Topographic	
T-1	Surveyor, Boundary And Topography
Architectural	
A100	Architectural, 1st Level, Existing
A101	Architectural, 1st Level, Proposed, Wall Schedule & Floor Area Diagram, Proposed
A102	Architectural, Roof Plan, Existing & Proposed
A200	Architectural, Elevations, Existing & Proposed
A300	Architectural, Section, Proposed
A400	Architectural, Window, Door & Details
A500	3-D VIEWS
A600	Architectural, Skylight Specification
Structural	
S-0	Structural, General Notes & Specifications
S-1	Structural, Foundation & Wall Framing
S-2	Structural, Cieling Framing Plan
S-3	Structural, Roof Framing Plan
SD-1	Structural, Foundation Section & Details
SD-2	Structural, Roof Framing Details
SD-3	Structural, Shear Wall Schedule, Sections & Details
SD-5	Structural, Typical Framing Details
WSWH1	
S-4	Structural, Simpson Strong Wall Typ. Details
WSWH2	
S-5	Structural, Simpson Strong Wall Typ. Framing Detials
Electrical	
E1	Electrical
Mechanical	
M1	Mechanical & Plumbing
Title 24	
T.24-1	Title 24 Energy Report
T.24-2	Title 24 Energy Report

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF LOS GATOS MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS



1 Site Plan, Proposed
1/8" = 1'-0"

SITE PLAN, PROPOSED, KEYNOTES

1. (E) PRIMARY RESIDENCE
2. UTILITY POLE
3. 6" CONCRETE LANDING
AC. AIR CONDITIONING
G. GAS METER 3/4"
E. (N) 200 AMP ELECTRICAL PANEL
W. WATER METER

SITE PLAN, PROPOSED, LEGEND:

- PROPERTY LINE
- BUILDING FOOTPRINT
- SETBACK
- CENTERLINE
- OH — OVERHEAD ELECTRICAL
- W — (E) WATER MAIN
- G — (E) GAS MAIN
- SS — (E) SANITARY SEWER

NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF WORK.
IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.

FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR AT LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.4

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7

REVIEWED FOR CODE COMPLIANCE
USING THE FOLLOWING CODES:
- ☑ 2022 CALIFORNIA RESIDENTIAL CODE
- ☐ 2022 CALIFORNIA BUILDING CODE
- ☑ 2022 CALIFORNIA ELECTRICAL CODE
- ☑ 2022 CALIFORNIA PLUMBING CODE
- ☑ 2022 CALIFORNIA MECHANICAL CODE
- ☑ 2022 CALIFORNIA ENERGY CODE
- ☑ 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- ☑ 2022 CALIFORNIA BUILDING CODE - STRUCTURAL DESIGN PROVISIONS ONLY
- ☐ 2022 CALIFORNIA FIRE CODE
- ☐ OTHER:

COMPLETION OF THIS REVIEW DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE OR LOCAL REGULATIONS.
BY: AnthonyEbster DATE: 07/25/2025
INTERWEST CONSULTING GROUP

SCHEDULE FINAL INSPECTIONS PLEASE CONTACT THE FOLLOWING DEPARTMENTS SEVEN (7) DAYS IN ADVANCE OF FINAL BUILDING INSPECTION:
- ☐ PLANNING DIVISION: (408) 354-6874
- ☐ ENGINEERING/PUBLIC WORKS: (408) 399-5771
- ☑ SANTA CLARA COUNTY FIRE DISTRICT: (408) 378-4010
- ☑ WEST VALLEY SANITATION DISTRICT: (408) 378-2407
- ☐ SANTA CLARA CO. ENVIR. HEALTH: (408) 918-3400

ENCROACHMENT PERMIT IS REQUIRED WHEN WORKING IN THE PUBLIC RIGHT-OF-WAY

ENGINEERING DEPARTMENT
41 MILES AVENUE, LOS GATOS
(408) 399-5771

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025
HENRY READ

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

Town of Los Gatos
BUILDING DIVISION
PLAN APPROVED
BY Robert Gray DATE 07/31/2025
Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

LICENSED ARCHITECT
GORDON K WONG
C-34645
RENEWAL 06/30/2025
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710 E. MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1846

GORDON K WONG, ARCHITECT
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95008
(408) 796-1846 LIC# 34645
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

General, Info & Site Plan, Proposed

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
1	Building Revision 1	2025.04.16
2	Building Revision 2	2025.06.13
3	Building Revision 3	2025.07.01

General, Info & Site Plan, Proposed
G0.0
SCALE AS NOTED
7/10/2025 3:09:26 PM

EXHIBIT 2

ABBREVIATIONS

A	
ABV	ABOVE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADDL	ADDITIONAL
AFF	ABOVE FINISH FLOOR
ASPH	ASPHALT
B	
BITUM	BITUMINOUS
BKG	BACKING
BLDG	BUILDING
BM	BEAM
BR	BACKER ROD
BUR	BUILT-UP-ROOF
BDR	BEDROOM
BW	BOTTOM OF WALL
C	
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FEET
CJ	CONTROL JOINT
CL	CLOSET
CTL	CENTERLINE
CLG	CEILING
CONC	CONCRETE
CPT	CARPET
D	
D	DECK
DR	DRAIN
E	
(E)	EXISTING
E	EAST
ELEC	ELECTRICAL
EP	ELECTRICAL PANEL
EXT	EXTERIOR
F	
FDN	FOUNDATION
FH	FIRE HYDRANT
FIN	FINISH
FF	FINISH FLOOR
FL	FLOW LINE
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FR	FIRE RATED
FS	FLOOR SINK
FSL	FIRE SPRINKLER
FTG	FOOTING
FURR	FURRING
G	
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GND	GROUND
GWB	GYPSUM WALL BOARD
GYP	GYSUM
H	
HDBD	HARDBOARD
HDR	HEADER
HDWR	HARDWARE
HDWD	HARDWOOD
HTR	HEATER
HVAC	HEATING, VENT. & A.C.
I	
IN	INCH
INCAND	INCANDESCENT
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
J	
JST	JOIST
JT	JOINT
K	
K	KIPS
KIT	KITCHEN
KP	KICK PLATE
L	
LOC	LOCATION
LT	LIGHT
M	
MB	MACHINE BOLT
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEMB	MEMBRANE
MET	METAL
MH	MANHOLE
MSC	MISCELLANEOUS
MTD	MOUNTED
MTL	METAL

N	
(N)	NEW
N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NP	NO PARKING
NR	NON-RATED
NTS	NOT TO SCALE
O	
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER/ DIMENSION
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALL
P	
PENN	PENETRATION
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE
PL	PROPERTY LINE
PLAS	PLASTER
PLBG	PLUMBING
PLWD	PLYWOOD
PNL	PANEL
POC	POINT OF CONNECTION
PP	PERMEABLE PAVERS
PREFAB	PREFABRICATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PTD	PAINTED
PTR	PRESSURE TREATED
PTRWDQ	PRESSURE TREATED WOOD
Q	
QTY	QUANTITY
R	
R	REVEAL OR RISER
RAD	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
REF	REFERENCE
REFL	REFLECTED
REFR	REFRIGERATOR
RET	RETAINING OR RETARDANT
REG	REGISTER
RO	ROUGH OPENING
S	
SCD	SEE CIVIL DRAWINGS
SCHD	SCHEDULE
SD	STORM DRAIN
SECT	SECTION
SED	SEE ELECTRICAL DRAWINGS
SF	SQUARE FOOT OR FEET
SHR	SHOWER
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SJ	SEISMIC JOINT
SL	SEALANT
SLD	SEE LANDSCAPE DRAWINGS
SM	SHEET METAL
SMD	SEE MECHANICAL DRAWINGS
SOF	SOFFIT
SOG	SLAB ON GRADE
SPD	SEE PLUMBING DRAWINGS
SPEC/S	SPECIFICATION
SQ	SQUARE
SS	SANITARY SEWER
SSD	SEE STRUCTURAL DRAWINGS
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRL	STRUCTURAL
SY	SQUARE YARD
T	
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TC	TOP OF CURB
TOC	TOP OF CONCRETE
TOP	TOP OF PAVING
TOS	TOP OF STEEL
TRD	TREAD
TW	TOP OF WALL
U	
UL	UNDERWRITERS LABORATORIES
UTIL	UTILITIES
V	
VCP	VITREOUS CLAY PIPE
VERT	VERTICAL
VTR	VENT THROUGH ROOF
W	
W	WEST OR WIDTH
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
W/O	WITHOUT
WP	WATER PROOF
WPT	WORKING POINT
WR	WATER RESISTANT

GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR;S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
3. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME. SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
4. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
5. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
6. ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
8. ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
10. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
11. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
13. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
14. OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS -- GORDON WONG, ARCHITECT, THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
15. LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
16. ANY EXISTING TO REMAIN SHALL BE IN GOOD CONDITION PRIOR TO THE PLANNING FINAL INSPECTION.
17. NEW LANDSCAPING SHALL COMPLY WITH STATE WATER EFFICIENCY STANDARDS.

GRAPHIC SYMBOLS

CONCRETE PAD

BUILDING SECTION

DETAIL REFERENCE

APPROXIMATE LINE OF WORK

A00 INTERIOR ELEVATION

WINDOW TYPE

WALL TYPE

1 REVISION

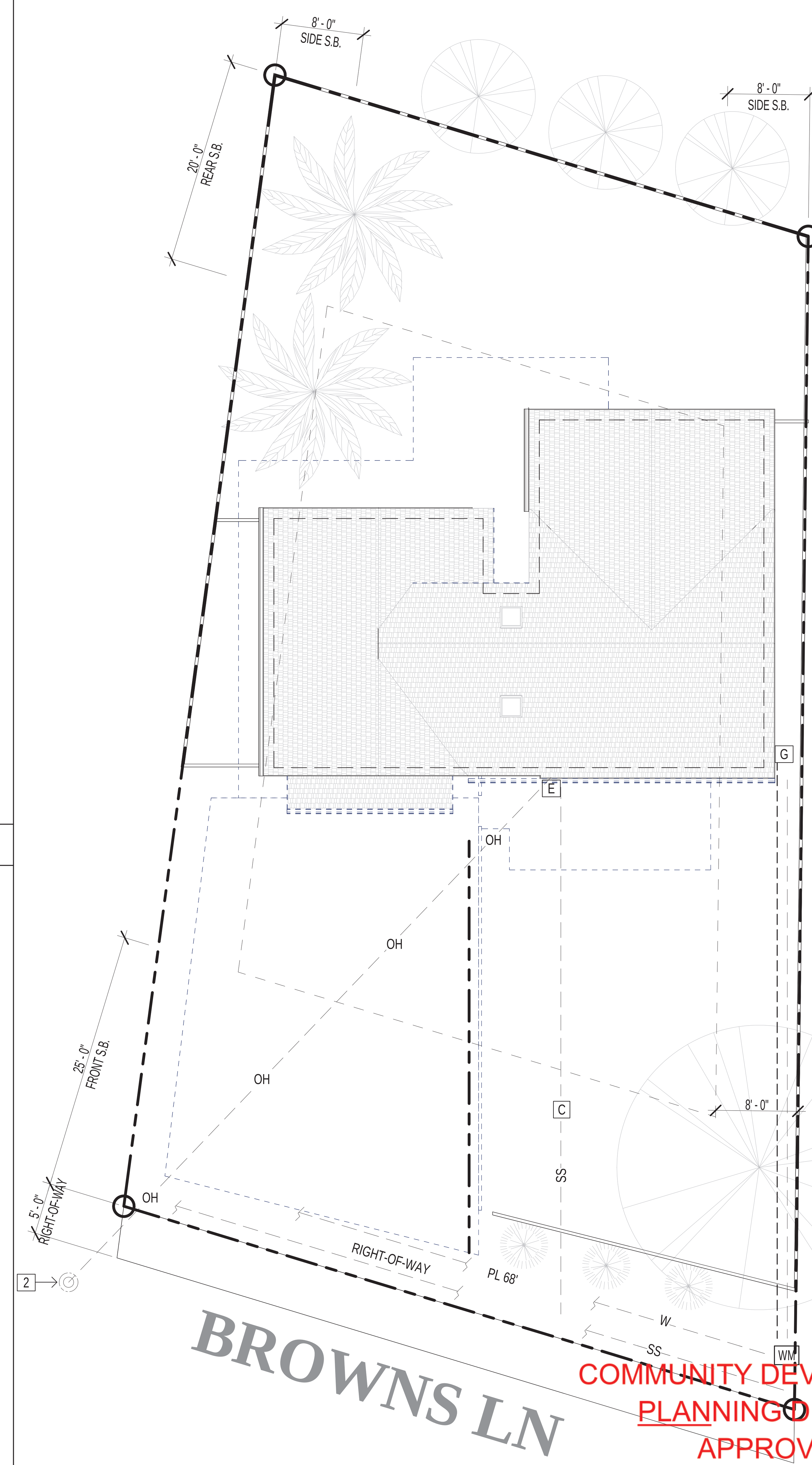
X# OR # KEY NOTE

Name Elevation DATUM REFERENCE

101A DOOR TYPE

REMOVE

1.00 ROOM TAG



1 Site Plan, Existing
1/8" = 1'-0"

0' 2' 4' 8' 16'

North

SITE PLAN, EXISTING, KEYNOTES

- 1 PRIMARY RESIDENCE
- 2 UTILITY POLE
- G GAS METER 3/4"
- E 100 AMP ELECTRICAL PANEL
- W WATER METER
- C CLEAN OUT

SITE PLAN, EXISTING, LEGEND:

- PROPERTY LINE
- BUILDING FOOTPRINT
- SETBACK
- CENTERLINE
- OH — OVERHEAD ELECTRICAL
- W — WATER MAIN
- G — GAS MAIN
- SS — SANITARY SEWER

NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF WORK.
IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.

FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR AT LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.4

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

General, Notes/ Symbols & Site Plan, Existing Demolition/ Utilities

LICENSED ARCHITECT
GORDON K WONG
RENEWAL 08/31/2025
C-34045
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
1	Building Revision 1	2025.04.16

General, Notes/ Symbols & Site Plan, Existing Demolition/ Utilities

G1.0

SCALE AS INDICATED

7/1/2025 3:51:53 PM

History of 14340 Browns Lane, Los Gatos, CA 95032
APN 409-14-010

Bonnie Montgomery, Historical Consultant
421 N 5th St
San Jose, CA 95112
bayandvalleybooks@gmail.com
408-439-9073

The parcel 409-14-010 was in unincorporated Santa Clara County until it came under the jurisdiction of the Town of Los Gatos on February 23, 1979, with the Wedgewood No. 9 annexation. Only two County documents were available upon request: (1) the Assessor's Residential Unit Property Record, which documented changes from 1966 to 1998, and (2) a single county building permit from 1974 for a new water heater. A search of Town of Los Gatos building department microfiche yielded documents from 1979 to 1998. These documents will be described in the chronology that follows.

Being so recently annexed into the Town of Los Gatos, this parcel did not appear during a search at the Los Gatos Public Library on the Los Gatos Sanborn maps available between 1884 and 1944. Likewise, it is absent from the 1941 Tax Assessment. The property does not appear on the 1989 Anne Bloomfield Historic Resource Survey forms.

The history prepared here relies on Polk's directory listings, county assessor's records, county official records, recorded maps, aerial photographs, newspaper articles, Town of Los Gatos and County of Santa Clara building permits, and genealogical resources as referenced in the footnotes and attached to this history as figures.

The property's legal description places it in a portion of Lot 10 of the Wedgewood Subdivision of the Maud E. Parr Tract, surveyed in February 1889 (Figure 1).[1] In 1903, the San Jose-Los Gatos Interurban Railway Company purchased the right-of-way across the Wedgewood Subdivision, creating a triangle of land bounded by Smith Creek on the west, the railroad to the north, and Wedgewood Avenue on the south, as shown on the 1929 McMillan and McMillian Official Map of Santa Clara County (Figure 2).[2]

The Santa Clara County Assessor gives 1936 as the build date for this property, but an aerial photograph taken on August 1, 1939, shows that this parcel was still orchard land (Figure 3).[3] To the west of this parcel was a recently surveyed cul-de-sac, La Rinconada Drive, as shown on the subdivision map of Tract No. 106, La Rinconada Acres (Figure 4).[4] Mrs. E. I. Barron subdivided this tract, and she also owned the portions of Lots 10 and 11 east of this subdivision. On December 20, 1939, Ethel I. Barron and her husband William S. Barron sold 10 acres of Lots 8, 9,

[1] Santa Clara County [hereafter SCC] Recorded Maps Book E, Page 73.
[2] SCC Deeds Book 348, Page 270; McMillan and McMillan, *Official Map of Santa Clara County, California* (San Francisco: Walk-Up Map Company, 1929), https://archive.org/details/map_santaclaracounty_1929.
[3] UC Santa Barbara Geospatial Collection, August 1, 1939, aerial photograph, Flight C_5750, Frame 286-19, https://mil.library.ucsb.edu/ap_indexes/FrameFinder/. Photograph superimposed on Santa Clara County Surveyor Record Index map, https://sccplanning.maps.arcgis.com/apps/webappviewer/index.html?id=bc21a94958074696cb7139386996978.
[4] SCC Recorded Maps Book 3, Page 58, May 15, 1939.

10, and 11 of the Wedgewood Subdivision, including the subject parcel, to the San Jose Abstract and Title Insurance Company.[5]

The parcel appears to have been exclusively a rental property and difficult to trace through official recorded documents from 1939 to 1978. Aerial photographs, census records, directory listings, and newspaper articles suggest that at least some part of the dwelling had been built by 1955.

On an aerial photograph taken on April 25, 1948 (Figure 5), Browns Lane and some neighboring houses are visible, but the resolution is not adequate to determine whether trees or structures are on the parcel.[6] On the 1950 census, John W. Brown, his wife Mary Vera, and their six daughters are living on a rural route along Wedgewood Avenue. One of their neighbors is Bedford Forrest and his family. Like John W. Brown, Bedford was a carpenter born in Texas. The Bedford Forrest family was reported living at 14340 Browns Lane in a blurb published in the July 7, 1955, issue of the *Los Gatos Times-Saratoga Observer*, which announced their son Olon's service in the Navy.[7]

A June 9, 1956, aerial photograph also has poor resolution (Figure 6). A May 15, 1965, aerial photograph clearly shows the house to the south and the garage to the north (Figure 7). The house was advertised for rent as a three-bedroom unfurnished house in the March 24, 1961, issue of the San Jose *Evening News*. Starting with the 1962 Los Gatos city directory, the property is listed in the reverse Los Gatos city directory. The tenants were: in 1962, Pierre and Gaby Leidelmeyer; in 1964, Willy F. and Mira A. Ferns; in 1965, "no return"; and in 1967, Richard Dalton. The address is listed in the Los Gatos section of the San Jose Suburban city directory between 1968 and 1974. The tenants were: in 1968, 1969, and 1970, Wesley E. Chambers, a carpenter, and his wife Sharon; in 1971, 1972, and 1974, Kenneth Watrous, an employee for the Coca-Cola Bottling Company, and his wife Bonnie.

In 1966, the County Assessor visited the parcel, measured the buildings on the site, and took a photo of the front elevation. According to the Residential Unit Property Record (Figure 8), the house was 748 square feet with a living room, kitchen, bathroom, and two bedrooms. It was of wood-frame construction on a raised concrete foundation. It had a side-gable roof with a front porch under the eaves. The detached garage was 440 square feet with a garage door along the full width of the front elevation and a front-facing gable roof. A shed or garage in the backyard was not measured, because no tax was assessed (NTA).

On October 16, 1974, then-owner Francisco Diaz received a building permit from the County of Santa Clara (No. 20204) for a new water heater. That is the only building permit in the records of the Santa Clara County Planning Department. On January 6, 1978, Francisco and Zulima Diaz granted the parcel to Louis C. and Marilyn D. Franckx.[8] Mr. and Mrs. Franckx lived in Saratoga, and this property continued as a rental property.

[5] SCC Official Records [hereafter OR] Book 962, Page 313.
[6] UC Santa Barbara Geospatial Collection, April 25, 1948, aerial photograph, Flight CDF5, Frame 4-44, https://mil.library.ucsb.edu/ap_indexes/FrameFinder/.
[7] Browns Lane is along the southeast property line of parcels 409-14-035 (14331 Browns Lane) and 409-14-013 (17291 Wedgewood Avenue). This parcel and its neighbors have an easement for ingress and egress along Browns Lane.
[8] SCC OR Book D390, Page 221, January 6, 1978.

On February 23, 1979, the Wedgewood No. 9 annexation placed this parcel under the jurisdiction of the Town of Los Gatos. Soon afterward, the tenants complained to the Town of Los Gatos about the condition of the property. The building department inspected the property on March 21, 1979. The inspector described a one-story wood-frame dwelling with at least two rear additions. The garage had been converted to a separate living unit around March 1978, not long after the Franckx became the new landlords. The space between the dwelling and garage had been filled in with a kitchen. The structure in the backyard labeled a "shed, garage" on the assessor's Residential Unit Property Record was described by the inspector as a "large wood frame metal roof patio cover…with open gas barbecue." The 21 code deficiencies and violations observed are listed in Figure 9. Mr. and Mrs. Franckx received an electrical permit on September 13, 1990 (No. E 18124) for outlets, appliances, and service equipment (Figure 10). Mr. Franckx died on September 5, 1994, in San Francisco. On August 3, 1995, Marilyn D. Franckx sold the property to Peter Miklos Vadasz and Cathleen Joyce Vadasz.[9]

On March 11, 1998, Peter and Cathleen Vadasz received Permit No. B98-00206 to "repair & replace sheetrock, insulate exterior wall (Figure 11); Permit No. E98-000103 for "electrical for rewiring" (Figure 12); Permit No. P98-000105 for "plumbing to remodel furnace, replace old plumbing (Figure 13); and Permit No. M98-00075 for "mechanical for furnace" (Figure 14). A hand-drawn floor plan was also approved, presumably to show how the interior spaces would be reconfigured with new sheetrock. The extensive remodel did not entirely match the plans; for example, the front entry is in the space between the original house and the garage instead of from the kitchen. On August 7, 2019, Peter Miklos Vadasz granted the parcel to the current owner, Cathleen Joyce Vadasz, as her sole and separate property.[10]

[9] SCC OR Book N946, Page 1279, August 3, 1995.
[10] SCC OR Doc. No. 24248124, August 7, 2019.

FIGURES

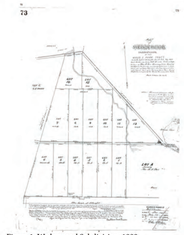


Figure 1. Wedgewood Subdivision, 1889.

Figure 2. Wedgewood Subdivision, 1929.

Figure 3. August 1, 1939, aerial photograph superimposed on Santa Clara County Surveyor Record Index map. Parcel is highlighted in red.

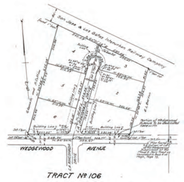


Figure 4. La Rinconada Acres tract map, just west of parcel, subdivided in 1939.

Figure 5. April 25, 1948, aerial photograph with parcel highlighted in red.

Figure 6. June 9, 1956, aerial photograph with parcel highlighted in red.

Figure 7. May 15, 1965, aerial photograph with parcel highlighted in red.

Figure 8. Page 1

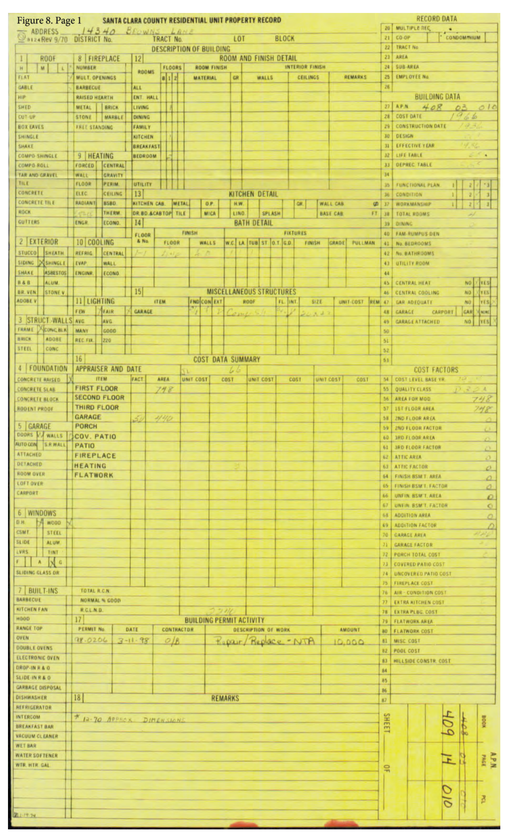


Figure 8. Page 2

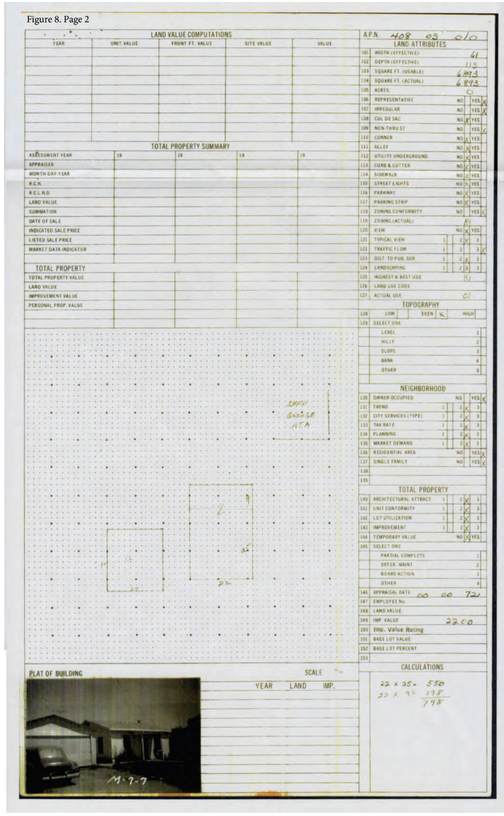


Figure 9. Page 1

Inspection Report March 21, 1979
14340 Browns Lane A. Watson

Inspected property in response to complaint from occupants Yates and Van Roey. Interior inspection made of right side unit only.

Building Description
One story wood frame - original dwelling added to at least twice at the rear. Garage converted to living unit (approximately March, 1978); kitchen added to side between original dwelling. Large wood frame metal roof patio cover at rear with open gas barbecue.

Code Deficiencies and Violation Observed

1. Bedrooms, living room and kitchen lack sufficient electrical outlets causing extensive use of extension cords.
2. Light fixture in rear bedroom energized by using zip cord wire.
3. Rear bedroom, bathroom and utility room not provided required ceiling height.
4. Electrical receptical not provided with cover plate and not properly secured.
5. Modification to electric service and wiring installed does not comply with electrical code.
6. Electric main service inadequate to serve two units.
7. Circuits to unit not provided with proper overcurrent protection.
8. Wiring at service, south side of building and patio area is exposed - open conductors, open splices, unprotected.
9. Roof leak in living room.
10. 4" vent from toilet in utility room damaged and of unapproved material.
11. Sink in bathroom is not vented, connected improperly and outside plumbing of unapproved material.
12. Wall and roof framing of original dwelling infected and deteriorated in numberous locations by dryrot and termites.
13. Roof and wall framing of rear utility room structurally unsound.
14. Roof framing of patio roof structure is structurally unsound.
15. Open barbecue under patio roof is fire hazard.
16. Gas line to barbecue area of unapproved material for underground gas line.
17. Garage converted to living unit without permit or inspection.
18. Gas vent from garage improperly installed.

--continued--

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7126 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7126 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

General, Historical Report & Los Gatos Approval Letter

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date

General, Historical Report & Los Gatos Approval Letter

G2.0

SCALE AS INDICATED

6/12/2025 5:45:37 PM

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

Figure 9. Page 2

Inspection Report - 14340 Browns Lane

-2-

19. Electric circuit to garage unit is not provided required overcurrent protection.
20. Plumbing at rear of garage unit from bathroom is of unapproved material.
21. Use of property for two living units is in violation of county and town zoning regulations.

Figure 10.

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 354-6878
INSPECTION REQUESTS PHONE 354-6877

E 18124

ITEM	NO. OF ITEMS	AMOUNT	$ FEE
OUTDOOR LIGHTS		.75 EA	
INDOOR LIGHTS		.75 EA	
SWITCHES		.75 EA	
RECEPTACLES, OUTLETS	3	.75 EA	2.25
RESIDENTIAL: OVEN, COOK TOP, RANGE, WALL AIR-COND, SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER, WASHING MACH, CLOTHES DRYERS, OTHER SMALL APPLIANCES, 1 KW OR LESS	2	3.00 EA	6.00
COMMERCIAL: MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, ILLUMINATED SHOW CASES, DRINK FOUNTAINS, VENDING MACH, LAUNDRY MACH, OTHER SMALL APPLIANCES 1 KW OR LESS		3.00 EA	
LARGE APPLIANCES, POWER APPARATUS, HEATING & AIR COND. EQUIP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES & APPARATUS OVER 1 KW		7.50 EA	
OVER 10 KW		15.00 EA	
OVER 50 KW		30.00 EA	
OVER 100 KW		45.00 EA	
BUSWAY (PER 100 FEET)		4.50 EA	
SIGNS		15.00 EA	
SERVICE EQUIP. NOT OVER 200 AMPS	1	18.50 EA	18.50
SERVICE EQUIP. OVER 200 AMPS	2	37.50 EA	
SERVICE EQUIP. OVER 600 VOLTS		75.00 EA	
SUBPANEL		11.00 EA	
MISC. APPARATUS CONDUITS & CONDUCTORS		11.00 EA	
TEMPORARY POWER POLE		15.00 EA	
TEMPORARY LIGHTING SYSTEM		7.50 EA	
SWIMMING POOL SYSTEM		30.00 EA	
NEW RESIDENTIAL CONST. ___ SQ FT X $.035 =			
ELECTRICAL PLAN CHECK FEE			
ISSUANCE OF PERMIT			15.00
TOTAL FEES $			41.75

BUILDING ADDRESS: 14340 Browns Lane
USE OF BUILDING: Residential
OWNER: Branckx PHONE: 415-921-3401
MAIL ADDRESS: 2750 Greenwich St
CITY: San Francisco ZIP: 94123
CONTRACTOR: Almaden Electric PHONE: 370-7545
MAIL ADDRESS: 190 Dillon Ave Unit F
CITY: Campbell, CA ZIP: 95008
STATE LICENSE: 431788 C-10 TOWN LICENSE: 1382

NOTICE:
1. SIGNS ARE REGULATED, SEE PLANNING DEPT.
2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, AND PUBLIC RIGHT-OF-WAYS SHOESTRING LIGHTING NOT PERMITTED.

GROUP | USE ZONE | PROCESSED BY

INSPECTION RECORD

CONTRACTORS DECLARATION
I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW
SIGNATURE X [signature]

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION
A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OR A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.
SIGNATURE X [signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.
SIGNATURE X

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.
SIGNATURE X [signature]

VALIDATION
5310A111 09/13/90TOTAL 41.75
16:01

APPROVALS

	DATE	INSPECTOR'S SIG
CONDUIT		
ROUGH WIRING	9/14/90	[initials]
SERVICE EQUIP.	9/14/90	[initials]
FIXTURES		
GROUNDING	9/14/90	[initials]
UTILITY CO. NOTIFIED	9/14/90	[initials]
FINAL	9/14/90	[initials]

Figure 11.

TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B98-000206

Work Description: REPAIR & REPLACE SHEETROCK, INSULATE EXTERIOR WALL

Building Address: 14340 BROWNS LN
Owner...........: VADASZ PETER MIKLOS & CATHLEEN
Address.......: 14340 BROWNS LN
City..........: LOS GATOS CA
Contractor......: OWNER/BUILDER
License.......: 000000
Address.......: SAME
City..........:
Business Lic..:
Arch\Eng\Design.:
License.......:
Address.......:
City..........:
Valuation.......: 10,000.00
Total Sq.Ft.....: Livable Sq.Ft.:
Class Code......: 434 Bldg Count: 001 Unit Count: 000

Status..: ISSUED
Applied.: 03/11/1998
Approved: 03/11/1998
Issued..: 03/11/1998
Expires.: 09/07/1998

****************************** PERMIT FEES ******************************

Permit Issuance.:	25.00	Park Tax.........:	.00
Building Permit.:	163.00	Planning Plan Ck.:	.00
Title-24........:	.00	Micro Planning...:	.00
Seismic Tax.....:	1.00	Storm Drain Eng..:	.00
Plan Check......:	105.95	Road Impact Fee..:	36.99
Micro Building..:	.00	Computer Services:	6.52
Construction Tax:	.00	Electrical Fee...:	
Utility Tax.....:	.00	Plumbing Fee.....:	
Gen Pln Updt....:	.00	Mechanical Fee...:	

Total Calculated Fees: 301.47
Total Additional Fees: .00
Total Fees Due.......: 301.47
Total Payments.......: .00
BALANCE DUE..........: 301.47

CONTRACTORS DECLARATION
I certify that I am properly licensed by the State of California Contractors License Law.
Signature X
COMPLETE A or B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X Cathy Vadasz
CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X Cathy Vadasz

Figure 12.

Permit Number: E98-000103

Work Description: ELEC FOR REWIRING

Building Address: 14340 BROWNS LN
Owner...........: VADASZ PETER MIKLOS & CATHLEEN
Address.......: 14340 BROWNS LN
City..........: LOS GATOS CA
Zip...........: 95030
Contractor......: OWNER/BUILDER
License.......: 000000
Address.......: SAME
City..........:
Zip...........:
Business Lic..:

Status..: ISSUED
Applied.: 03/11/1998
Approved:
Issued..: 03/11/1998
Expires.: 09/07/1998

--Square Footage--
New Residence: Remodel: Commercial:

****************************** PERMIT FEES ******************************
Permit Issuance......: 25.00
Plan Check Fee.......: 16.81
New Resident.........: .00
Remodel..............: .00
Commercial...........: .00
Detail Electrical Fee: 67.25
****
Total Calculated Fees: 109.06
Total Additional Fees: .00
Total Fees Due.......: 109.06
Total Payments.......: .00
BALANCE DUE..........: 109.06

CONTRACTORS DECLARATION
I certify that I am properly licensed by the State of California Contractors License Law.
Signature X
COMPLETE A or B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X Cathy Vadasz
CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X Cathy Vadasz

NOTICE:
1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.

Figure 13.

Permit Number: P98-000105

Work Description: PLUM TO REMODEL FURNACE REPLACE OLD PLUM

Building Address: 14340 BROWNS LN
Owner...........: VADASZ PETER MIKLOS & CATHLEEN
Address.......: 14340 BROWNS LN
City..........: LOS GATOS CA
Zip...........: 95030
Contractor......: OWNER/BUILDER
License.......: 000000
Address.......: SAME
City..........:
Zip...........:
Business Lic..:

Status..: ISSUED
Applied.: 03/11/1998
Approved: 03/11/1998
Issued..: 03/11/1998
Expires.: 09/07/1998

--Square Footage--
New Residence: Remodel: Commercial:

****************************** PERMIT FEES ******************************
Permit Issuance......: 25.00
Plan Check Fee.......: 13.00
New Residential......: .00
Remodel..............: .00
Commercial...........: .00
Detail Plumbing Fee..: 52.00
****
Total Calculated Fees: 90.00
Total Additional Fees: .00
Total Fees Due.......: 90.00
Total Payments.......: .00
BALANCE DUE..........: 90.00

CONTRACTORS DECLARATION
I certify that I am properly licensed by the State of California Contractors License Law.
Signature X
COMPLETE A or B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X Cathy Vadasz
CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X Cathy Vadasz

Figure 14.

Permit Number: M98-000075

Work Description: MECH FOR FURNANCE

Building Address: 14340 BROWNS LN
Owner...........: VADASZ PETER MIKLOS & CATHLEEN
Address.......: 14340 BROWNS LN
City..........: LOS GATOS CA
Zip...........: 95030
Contractor......: OWNER/BUILDER
License.......: 000000
Address.......: SAME
City..........:
Zip...........:
Business Lic..:

Status..: ISSUED
Applied.: 03/11/1998
Approved: 03/11/1998
Issued..: 03/11/1998
Expires.: 09/07/1998

--Square Footage--
New Residence: Remodel: Commercial:

****************************** PERMIT FEES ******************************
Permit Issuance......: 25.00
Plan Check Fee.......: 10.25
New Residential......: .00
Remodel..............: .00
Commercial...........: .00
Detail Mechanical Fee: 41.00
****
Total Calculated Fees: 76.25
Total Additional Fees: .00
Total Fees Due.......: 76.25
Total Payments.......: .00
BALANCE DUE..........: 76.25

CONTRACTORS DECLARATION
I certify that I am properly licensed by the State of California Contractors License Law.
Signature X
COMPLETE A or B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X Cathy Vadasz
CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X Cathy Vadasz

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town of Los Gatos Code.

TOWN OF LOS GATOS

OWNER-BUILDER VERIFICATION

ATTENTION OWNER-BUILDERS!

IF YOU PLAN TO IMPROVE YOUR PROPERTY AND EMPLOY PERSONS OTHER THAN YOUR IMMEDIATE FAMILY, THE FOLLOWING INFORMATION WILL BE OF BENEFIT TO YOU. STATE AND FEDERAL LAWS REQUIRE THAT YOU:

1. REGISTER WITH THE STATE AND FEDERAL GOVERNMENTS AS AN EMPLOYER.
2. WITHHOLD AND REMIT INCOME TAX FOR EACH EMPLOYEE.
3. PAY SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
4. WITHHOLD AND REMIT SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
5. PAY WORKER'S COMPENSATION INSURANCE COSTS ON EACH EMPLOYEE.
6. WITHHOLD AND REMIT DISABILITY INSURANCE COSTS FOR EACH EMPLOYEE.
7. PAY UNEMPLOYMENT INSURANCE COSTS ON EACH EMPLOYEE.

YOU MAY CONSTRUCT IMPROVEMENTS FOR SALE ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY CONSTRUCT IMPROVEMENTS FOR RENTAL-OCCUPANCY ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY SUBCONTRACT PORTIONS OF THE CONSTRUCTION TO ANY PERSON OR FIRM, BUT THEY MUST BE LICENSED BY THE STATE OF CALIFORNIA.

INFORMATION ABOUT INSURANCE, LIEN LAWS, AND OTHER CONSTRUCTION MATTERS MAY BE OBTAINED FROM THE CONTRACTORS STATE LICENSE BOARD AND VARIOUS BUSINESS AND TRADE ASSOCIATIONS.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your Building Permit.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement: ✓ (yes) or ___ (no).

2. I have signed an application for a Building permit for the proposed work: ✓ (yes) or ___ (no).

I AGREE TO CHECK THAT EACH SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN WORK. (YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT 354-6835).

Cathy Vadasz (SIGNATURE) 3·11·98 (DATE)

Property Owner: Vadasz
Address: 14340 Brown (Of job site)

BLD1:FORMS\OWNERVER

B98-000206 P98-000105
E98-000103 M98-000075

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

General, Historical Report & Los Gatos Approval Letter

LICENSED ARCHITECT
GORDON K WONG
RENEWAL 08/31/2025
C-34045
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date

General, Historical Report & Los Gatos Approval Letter

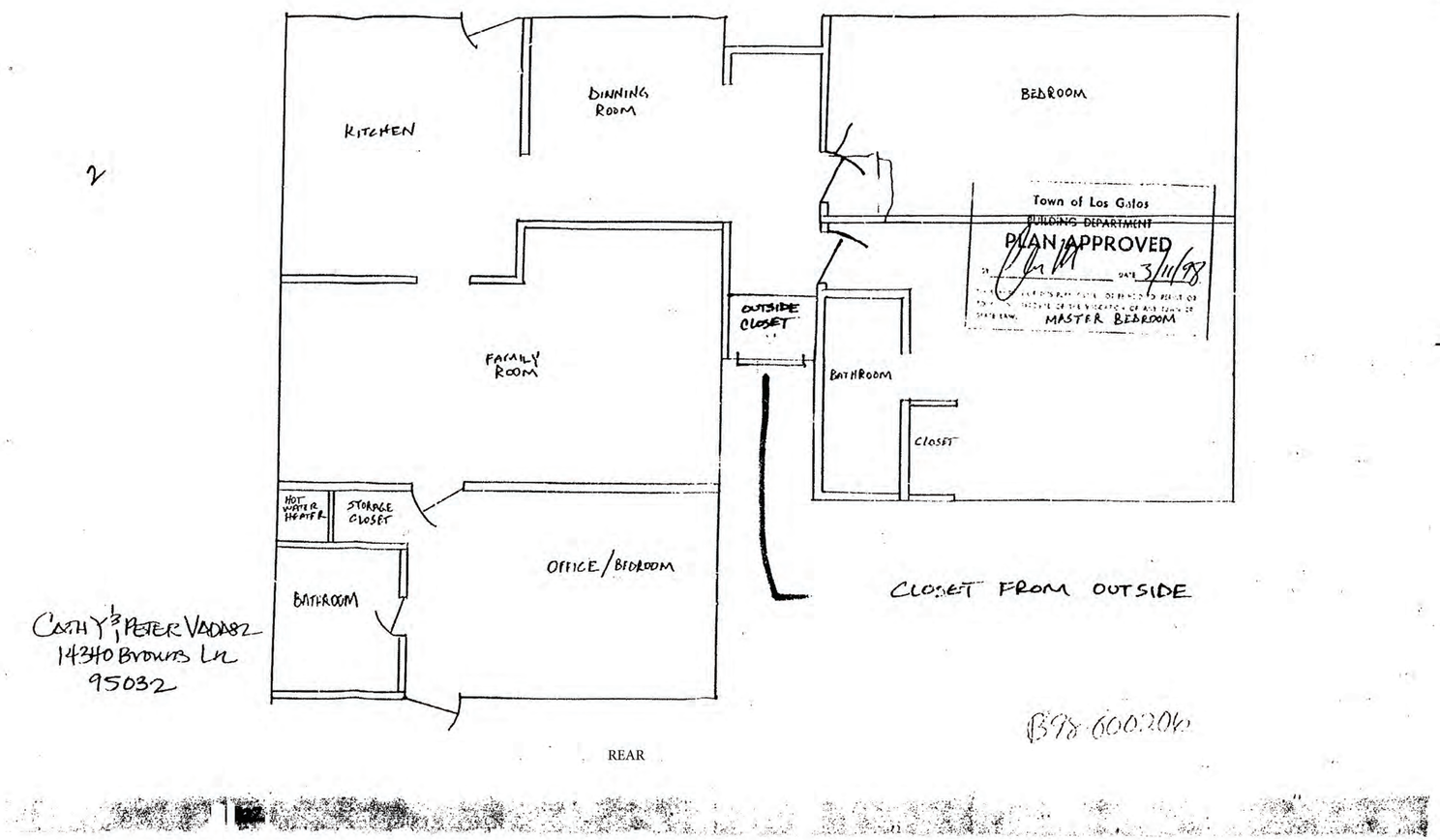
G2.1

SCALE AS INDICATED

6/12/2025 5:45:56 PM

Figure 15.

FRONT



REAR

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

September 26, 2024

Gordon K Wong
710 E McGlincy Lane Suite 109
Campbell, CA 95032
Via email

RE: 14340 Browns Lane
Request for Review PHST-24-019

Requesting Approval to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 409-14-010. Exempt Pursuant to CEQA Guidelines, Section 15061(b)(3).
Property Owner: Cathleen Joyce Vadasz
Applicant: Gordon K. Wong
Project Planner: Erin Walters

On September 24, 2024, the Los Gatos Historic Preservation Committee recommended approval of the above request to the Community Development Director. The request was approved by the Community Development Director on September 26, 2024.

PLEASE NOTE: Pursuant to Sections 29.20.255 and 29.20.260 of the Town Code, this decision may be appealed to the Planning Commission by any interested person as defined by Town Code Section 29.10.020 within 10 days on forms available online with fees paid. Final deadline is 4:00 p.m. on that 10th day. Therefore, this action should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, please contact project planner Erin Walters by phone at (408) 354-6867 or by email at EWalters@losgatosca.gov.

Best regards,

Sean Mullin, AICP on behalf of
Erin Walters
Associate Planner

cc: Cathleen Joyce Vadasz, via email

N:\DEV\HISTORIC PRESERVATION\HPC Action Letters\2024\Browns Lane, 14340 - 09-26-24 - HPC Action Letter.docx

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

General, Historical Report & Los Gatos Approval Letter

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710 E. MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date

General, Historical Report & Los Gatos Approval Letter

G2.2

SCALE AS INDICATED

6/12/2025 5:46:06 PM

AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of *CAL*Green, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code,* Article 625*.*

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations,* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

DISCLAIMER: *THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.*

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[1,2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

Santa Clara Valley Urban Runoff Pollution Prevention Program

Construction Best Management Practices (BMPs)

West Valley Clean Water Authority
Campbell • Los Gatos • Monte Sereno • Saratoga

Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- ❑ Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

Non-Hazardous Materials and Dust Control

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- ❑ Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- ❑ Use captured water from other activities (e.g., testing fire lines) for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

Waste Management

- ❑ Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
- ❑ Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- ❑ Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Equipment Management & Spill Control

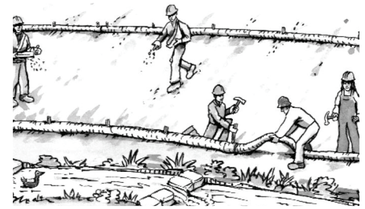
Vehicle and Equipment Maintenance

- ❑ Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ❑ Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- ❑ Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- ❑ Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.

Ensure all subcontractors working onsite are implementing appropriate BMPs.

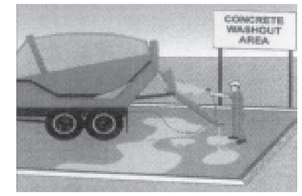
Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- ❑ Store materials onsite, not in the street.

Concrete Management & Dewatering



Concrete Management

- ❑ Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- ❑ Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- ❑ Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- ❑ Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- ❑ Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- ❑ Divert water originating from offsite away from all onsite disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- ❑ For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work

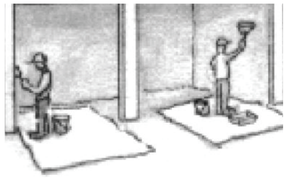
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ When construction is complete, remove all covers from storm drain inlets and manholes.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ When making saw cuts, use as little water as possible.
- ❑ Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- ❑ Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
- ❑ If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- ❑ For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- ❑ For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead- based paint removal requires a state-certified contractor.

Copper Architectural Features

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains:

During Installation

- ❑ If possible, purchase copper materials that have been pre-patinated at the factory.
- ❑ If patination done on site, implement one or more of the following BMPs:
  1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
  2. Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
  3. Collect the rinse water in a tank and haul off-site for proper disposal.
- ❑ Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

During Maintenance such as, power washing roof, re-patination, or re-application of impervious coating:

- ❑ Block storm drain inlets as needed to prevent runoff from entering storm drains.
- ❑ Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07 31 2025
TOWN OF LOS GATOS
BUILDING DIVISION

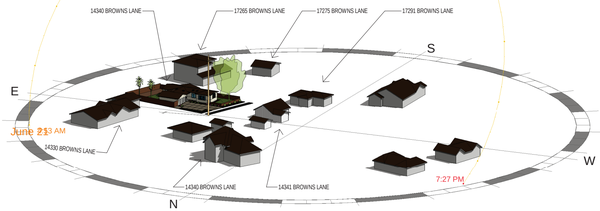
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

Storm drain polluters may be liable for fines of up to $10,000 per day!

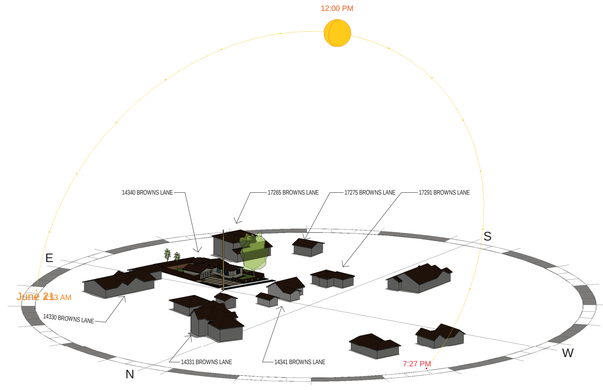
February 2024, WVCWA 4/24

G3.

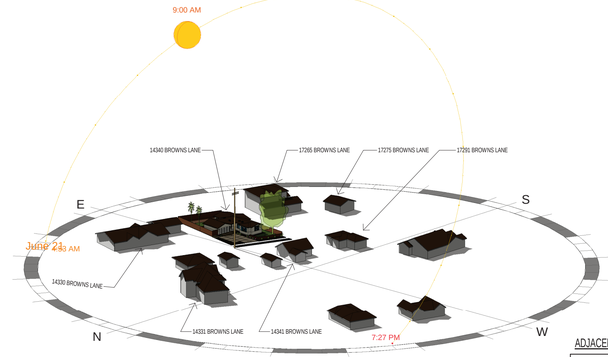
G4.0



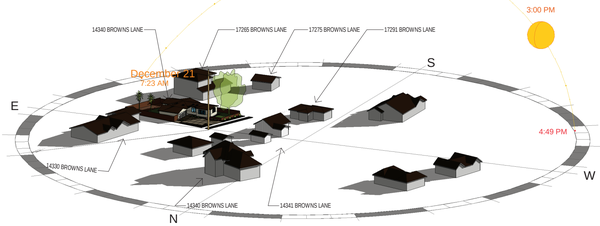
3 Summer Solstice Study, 3 PM



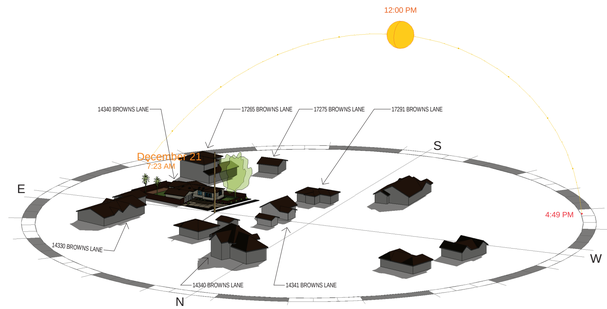
2 Summer Solstice Study, 12 PM



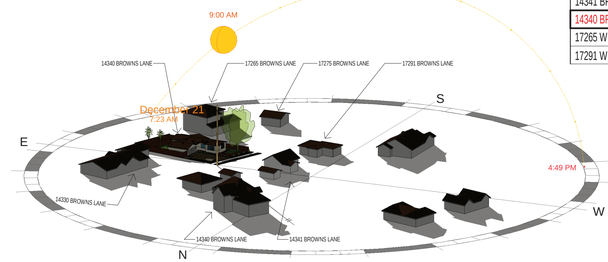
1 Summer Solstice Study, 9 AM



6 Winter Solstice Study, 3 PM



5 Winter Solstice Study, 12 PM

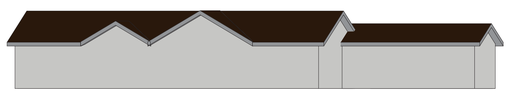


4 Winter Solstice Study, 9 AM

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

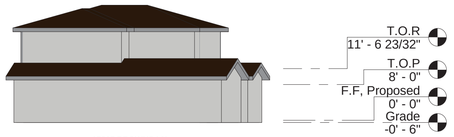
ADJACENT NEIGHBORHOOD ANALYSIS

ADDRESS	BUILDING HEIGHT (FT)	# OF STORIES	COMMENTS
14330 BROWNS	17 FT	1	
14331 BROWNS	16 FT	1	
14341 BROWNS	29.75 FT	2	
14340 BROWNS	12 FT	1	
17265 WEDGEWOOD	26.5 FT	2	
17291 WEDGEWOOD	28 FT	2	



14330 BROWNS LN

14340 BROWNS LN



17265 BROWNS LN

7 Streetscape, Across Subject Property, West
1/16" = 1'-0"

17291 WEDGEWOOD AVE (TAKEN FROM BROWNS LN)

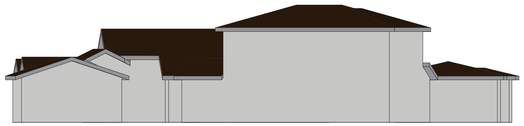
14361 BROWNS LN

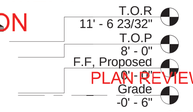
14331 BROWNS LN

14330 BROWNS LN

14341 BROWNS LN

17275 WEDGEWOOD AVE (TAKEN FROM WEDGEWOOD)





8 Streetscape, Across Subject Property, East
1/16" = 1'-0"

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

TOWN OF LOS GATOS
BUILDING DIVISION

General, Streetscape & Shadow / Sun Study

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

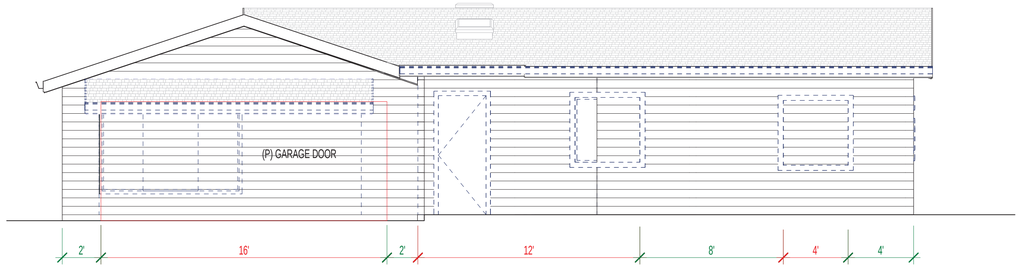
Number	Description	Date

General, Streetscape & Shadow / Sun Study

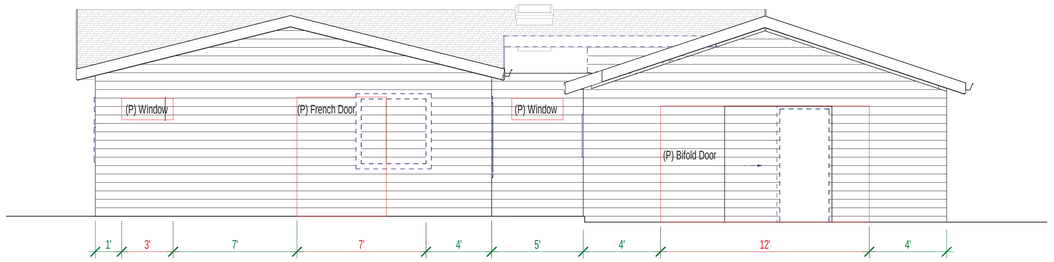
G5.0

SCALE AS INDICATED

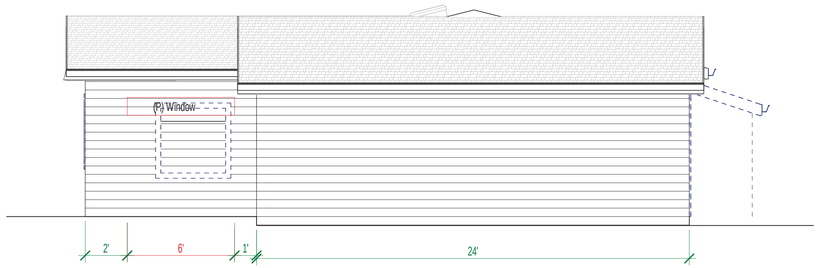
6/12/2025 5:46:26 PM



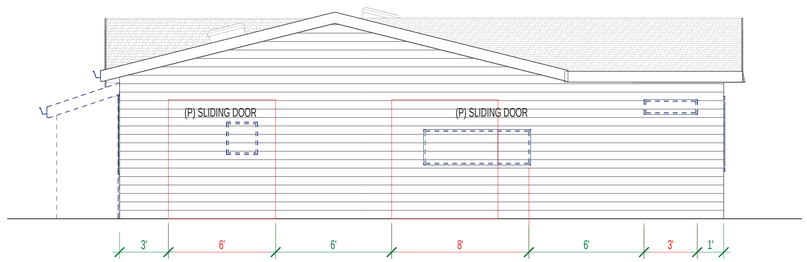
2 Front Side, West Demolition Elevation
1/4" = 1'-0"



3 Rear Side, East Demolition Elevation
1/4" = 1'-0"



4 Left Side, North Demolition Elevation
1/4" = 1'-0"

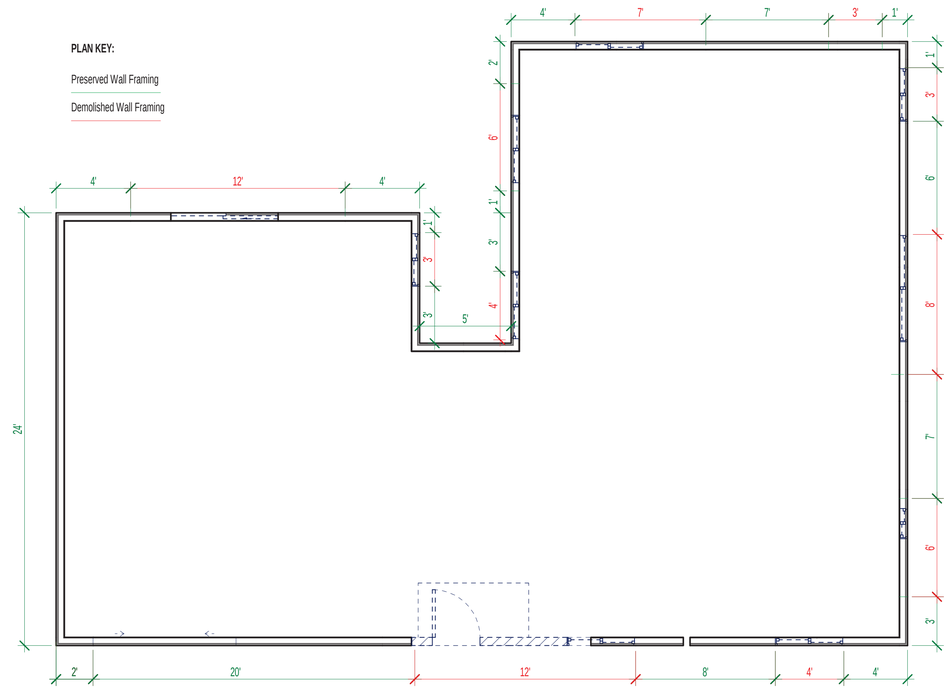


5 Right Side, South Demolition Elevation
1/4" = 1'-0"

PLAN KEY:

Preserved Wall Framing

Demolished Wall Framing



1 F.F, Technical Demolition Diagram
1/4" = 1'-0"

TECHNICAL DEMOLITION ANALYSIS

	EXISTING FOOTPRINT (FT)	WIDTH OF PRESERVED WALL FRAMING IN LINEAR FEET (INCLUDING EXISTING OPENINGS)	WIDTH OF DEMOLISHED WALL FRAMING IN LINEAR FEET (INCLUDING NW AND ENLARGED OPENINGS)
1ST FLOOR	174 FT	92 FT	84 FT
TOTAL:	174 FT	92 FT	84 FT

SINCE 92' IS GREATER THAN 84', THEN NO TECH DEMO

North

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/30/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

General, Technical Demolition Diagram

Revision Schedule

Number	Description	Date

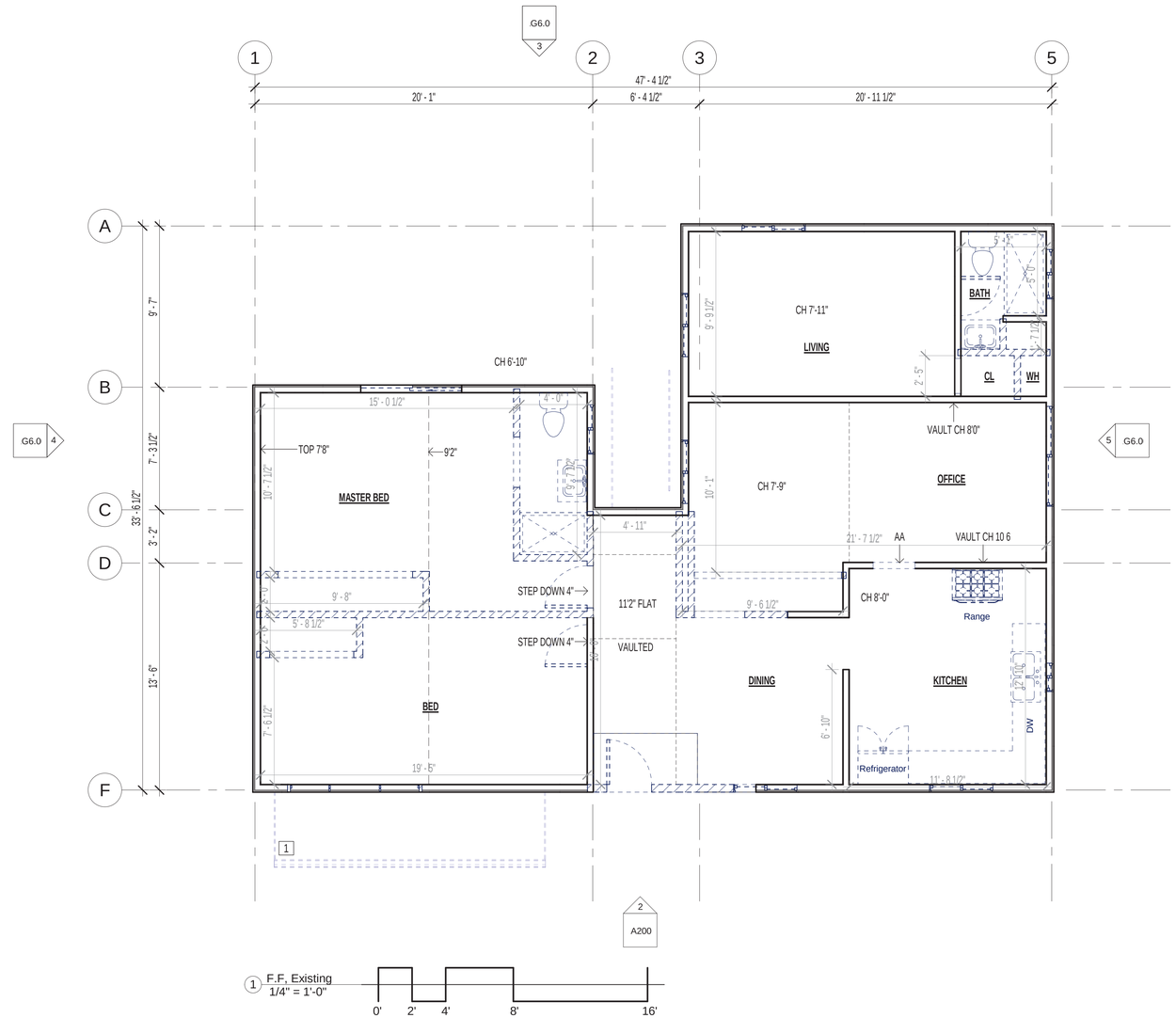
General, Technical Demolition Diagram

G6.0

SCALE AS INDICATED

6/12/2025 5:46:29 PM

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP



1 F.F, Existing
1/4" = 1'-0"

0' 2' 4' 8' 16'

FLOOR PLAN, EXISTING, KEYNOTES:

1 DEMOLISH ROOF OVERHANG

FLOOR PLAN, EXISTING, LEGEND:

AA ATTIC ACCESS

UA UNDERFLOOR ACCESS

(T) TEMPERED

(EG) EGRESS

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

Architectural, 1st Level, Existing

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

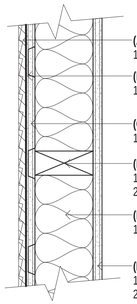
Number	Description	Date

Architectural, 1st Level, Existing

A100

SCALE AS INDICATED

7/1/2025 3:51:56 PM



(A) EXTERIOR FINISH
1. HARDIE BOARD HORIZONTAL SIDING

(B) W.P. MEMBRANE
1. GRADE "D" BLDG. PAPER (2 LAYERS)

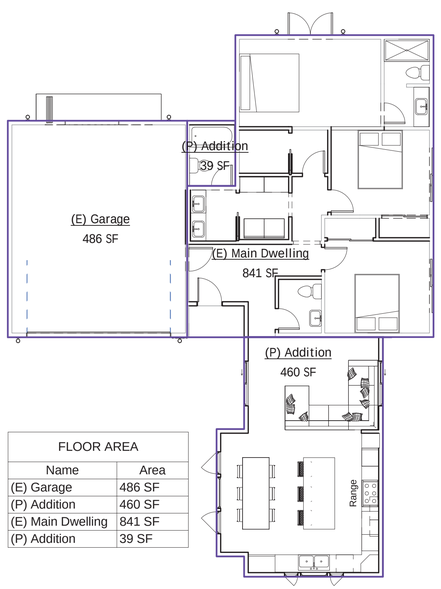
(C) PLYWD. SHEATHING
1. 1/2" CDXPLYWOOD

(D) FRAMING/ STUD
1. 2X4 WOOD
2. 2x6 WOOD

(E) INSULATION
1. WALL INSULATION, SEE T 24

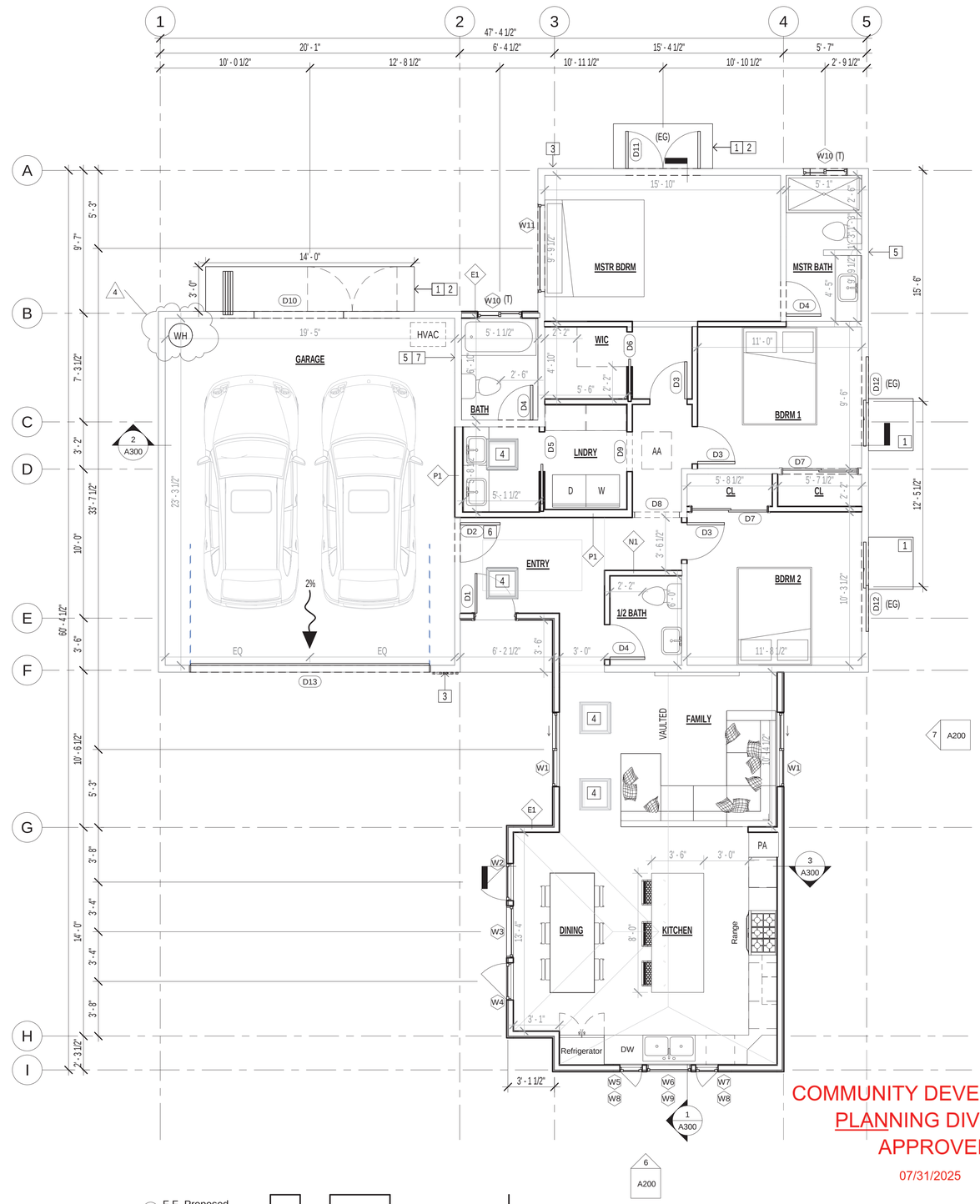
(F) DRYWALL
1. 1/2" GYP. BD.
2. 5/8" GYP BRD, TYPE X

WALL TYPES:	WALL ASSEMBLY:
E1	(A1, B1, C1, D1, E1, F1)
N1	(F1,D1,F1)
P1	(F1, D2, F1)



FLOOR AREA	
Name	Area
(E) Garage	486 SF
(P) Addition	460 SF
(E) Main Dwelling	841 SF
(P) Addition	39 SF

2 F.F. Proposed
1/8" = 1'-0"



1 F.F. Proposed
1/4" = 1'-0"

0' 2' 4' 8' 16'

FLOOR PLAN, PROPOSED, KEYNOTES:

1. LANDING MINIMUM 36" DEEP LANDING AND NOT MORE THAN 1 1/2" LOWER THAN THRESHOLD FOR OUTSWINGING DOORS
2. 6" CONCRETE STEP
3. HOSE BIB
4. SKYLIGHT
5. FURRED OUT PLUMBING WALL
6. CRC R302.5.1 1 3/8" SOLID WOOD (CLOSING & SELF LATCHING)
7. CMC 305.1.1 PROVIDE APPLIANCE PROTECTION POST (WATER HEATER)

FLOOR PLAN, PROPOSED, LEGEND:

- AA — ATTIC ACCESS
- UA — UNDERFLOOR ACCESS
- (T) — TEMPERED
- (EG) — EGRESS

NOTES:

1. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC SECTION R308.4.5
2. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.4
3. GRAY ELEMENTS TO REPRESENT EXISTING AND BLACK ELEMENTS TO REPRESENT PROPOSED
4. PER 2022 CPC 408
   1. A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES.
   2. CAPABLE OF ENCOMPASSING 30-INCH CIRCLE.
   3. THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT.
   4. SHOWERS AND TUB/SHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.
   5. SHOWER AND TUB/ SHOWER WALLS HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER AN APPROVED MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET PER 2022 CRC.
   6. PROPOSED WINDOWS TO MATCH EXISTING WOOD WINDOWS/ WOOD TRIM 3 1/2 MIN. (NOTE: VINYL CLAD WOOD ALLOWED)- TO BE DETERMINED BY OWNER
   7. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

LICENSED ARCHITECT
GORDON K WONG
C-34045
STATE OF CALIFORNIA
RENEWAL 2013/2026

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

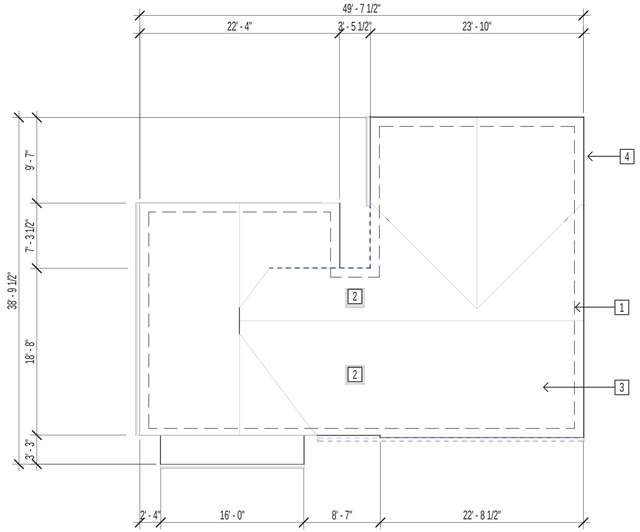
Number	Description	Date
1	Building Revision 1	2025.04.16
2	Building Revision 2	2025.06.12
4	Building Revision 4	2025.07.22

Architectural, 1st Level, Proposed, Wall Schedule & Floor Area Diagram, Proposed

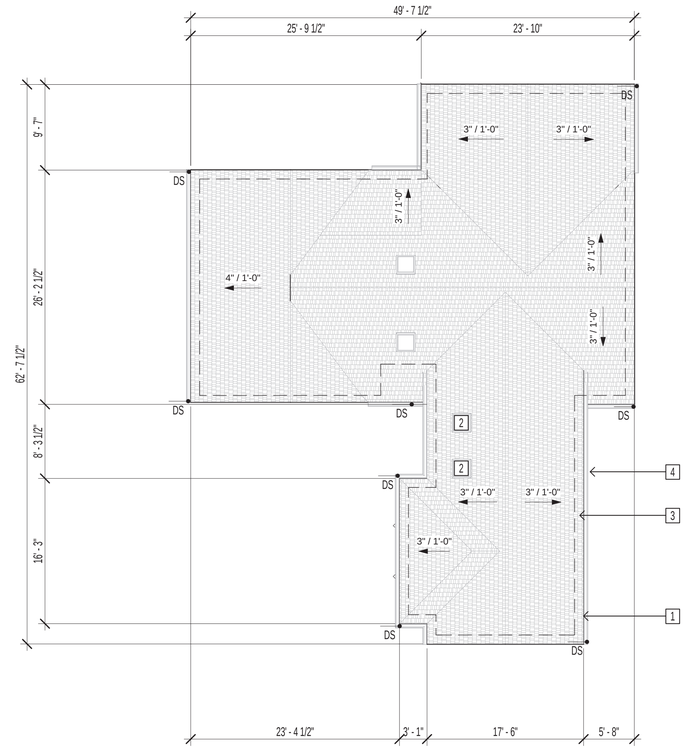
A101

SCALE AS INDICATED

7/22/2025 2:31:55 PM



3 Roof Plan, Existing
1/8" = 1'-0"



2 Roof Plan, Proposed
1/8" = 1'-0"

ROOF PLAN, EXISTING, KEYNOTES

1. BUILDING OUTLINE
2. SKYLIGHTS
3. COMPOSITION ROOF SHINGLES
4. FASCIA & GUTTER

ROOF PLAN, EXISTING, NOTES

1. ELEMENTS IN BLUE DASH LINES ARE TO BE DEMOLISHED
2. ELEMENTS IN BLACK LINE ARE EXISTING TO REMAIN

ROOF PLAN, PROPOSED, KEYNOTES

1. BUILDING OUTLINE
2. SKYLIGHTS
3. COMPOSITION ROOF SHINGLES
4. FASCIA & GUTTER

PROPOSED ROOF PLAN LEGEND

DS	DOWNSPOUT
— — — —	BUILDING OUTLINE
SL	SKYLIGHT

NOTE:

1. PARTIAL ROOF IS VAULTED, SPRAY FOAM INSULATION APPLIED DIRECTLY TO UNDERSIDE ROOF FRAMING. PER CRC R806.5

ROOF PLAN, PROPOSED, KEYNOTES

- STATE LAW REQUIRES A FIRE RATING OF CLASS C OR BETTER
- ALL PROPOSED GUTTERS & DOWNSPOUTS TO BE GSM PAINTED
- D.S. INDICATES 2" X 3" G.A. DOWNSPOUTS LOCATED AS SHOWN

(P) ATTIC VENTILATION CALCULATIONS

(P) TOTAL ATTIC AREA =	37.33 SF
37.33 SF / 150 = .25 SF X 144 SI =	36 SI (REQ)
AREA ALLOCATED TO 3" DIA. VENT HOLES:	
N.F.A (3 X 3" DIAMETER VENT HOLES) =	21.2 SI
21.2 SI / 28.25 SI = .85	1 VENTS
21.2 X 1 =	21.2 SI
AREA ALLOCATED TO RIDGE VENT:	36 SI -157 SI = 121 SI (REQUIRED)
RIDGE VENT :	18 SI PER LINEAL FT
121 SI / 18 SI = 6.7	7 LINEAR FT
18 SI X 7 =	126 SI
(A) TOTAL VENTLATION PROVIDED =	21.2 SI + 126 SI = 147.2 > 36 SI (REQ) = (OK)

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/30/2026
STATE OF CALIFORNIA

Architectural, Roof Plan, Existing & Proposed

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7116 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7116 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

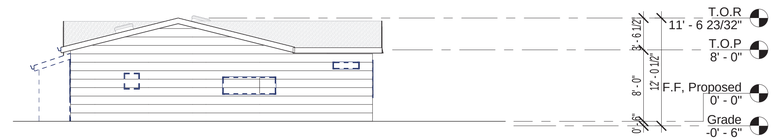
Number	Description	Date

Architectural, Roof Plan, Existing & Proposed

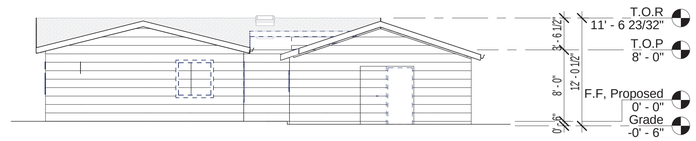
A102

SCALE AS INDICATED

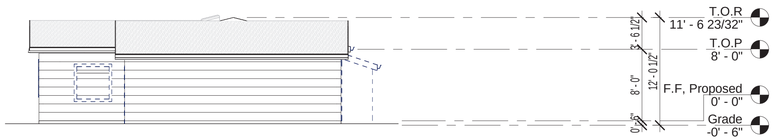
6/12/2025 5:44:41 PM



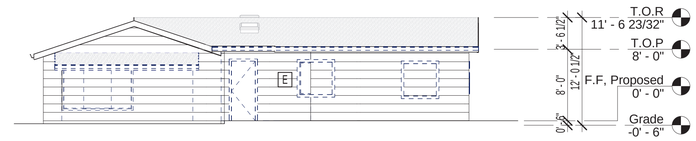
3 South
1/8" = 1'-0"
0' 4' 8' 16' 32'



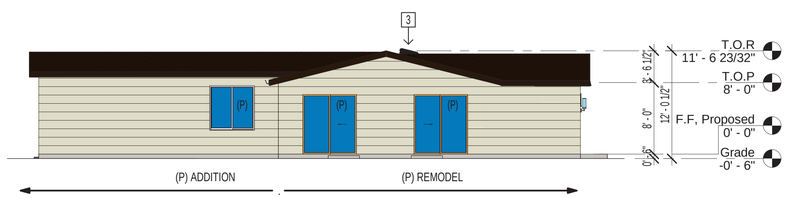
1 East
1/8" = 1'-0"
0' 4' 8' 16' 32'



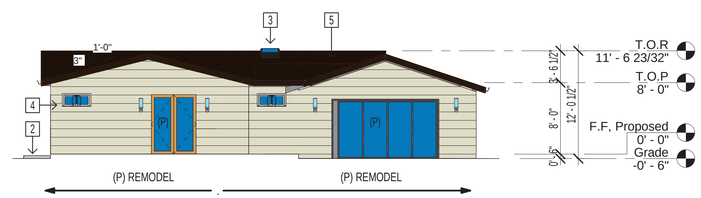
4 North
1/8" = 1'-0"
0' 4' 8' 16' 32'



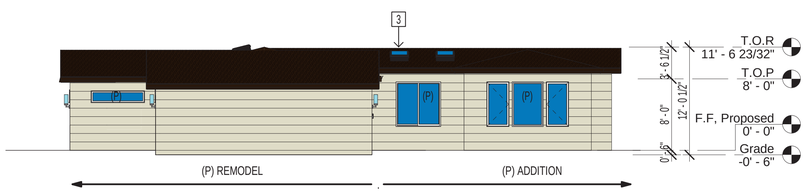
2 West
1/8" = 1'-0"
0' 4' 8' 16' 32'



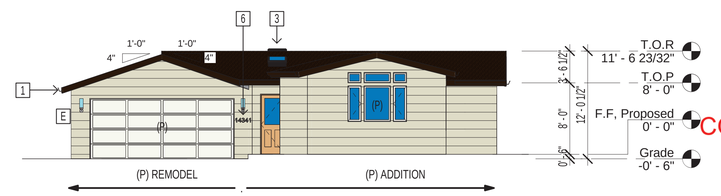
7 South, Proposed
1/8" = 1'-0"
0' 4' 8' 16' 32'



5 East, Proposed
1/8" = 1'-0"
0' 4' 8' 16' 32'



8 North, Proposed
1/8" = 1'-0"
0' 4' 8' 16' 32'



6 West, Proposed
1/8" = 1'-0"
0' 4' 8' 16' 32'

ELEVATION, EXISTING, KEYNOTES:

E	100 AMP ELECTRICAL PANEL
1	FASCIA BOARD & GUTTER
2	LANDING
(D)	DEMOLISHED
(P)	PROPOSED
(T)	TEMPERED
(E)	EXISTING

GENERAL NOTES:

1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, UTILTIES, STRUCTURES, AND DESIGN ON SITE.
2. BLUE DASHED ELEMENTS TO REPRESENT DEMOLISHED

ELEVATION, PROPOSED, KEYNOTES:

E	200 AMP ELECTRICAL PANEL
1	FASCIA BOARD & GUTTER
2	LANDING
3	SKYLIGHTS
4	HARDIE BOARD HORIZONTAL SIDING
5	ASPHALT SHINGLES
6	ADDRESS NUMBERS
(P)	PROPOSED
(T)	TEMPERED
(E)	EXISTING

ELEVATION, PROPOSED, NOTES

1. ELEMENTS IN GRAY LINES ARE EXISTING
2. ELEMENTS IN BLACK LINE ARE PROPOSED
3. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM)

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/30/2027
STATE OF CALIFORNIA

Architectural, Elevations, Existing & Proposed

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
711 E McCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
1	Building Revision 1	2025.04.16

Architectural, Elevations, Existing & Proposed

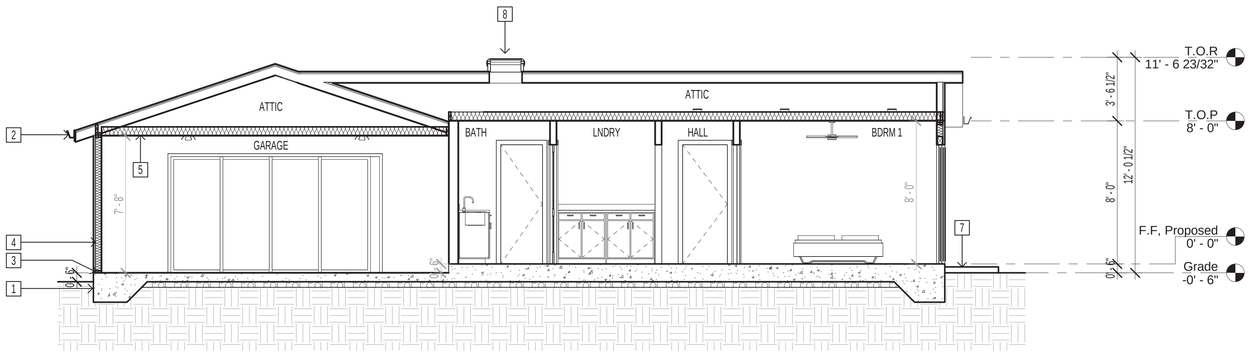
A200

SCALE AS INDICATED

6/12/2025 5:44:47 PM

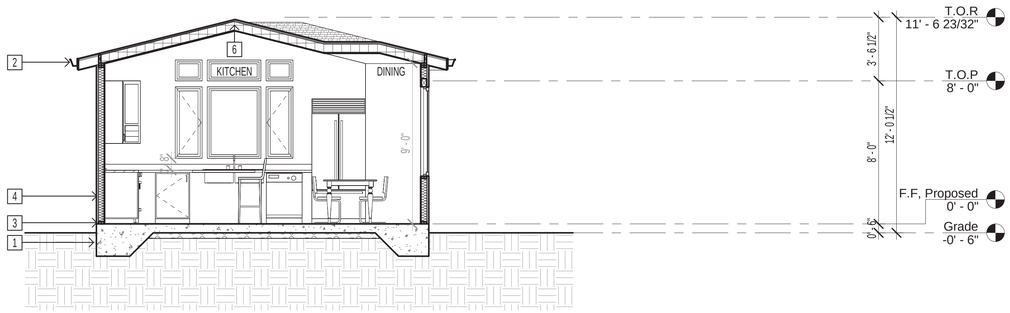
1 Section 8
1/4" = 1'-0"

0' 2' 4' 8' 16'



2 Section 9
1/4" = 1'-0"

0' 2' 4' 8' 16'



3 Section 11
1/4" = 1'-0"

0' 2' 4' 8' 16'

SECTION, PROPOSED, KEYNOTES:

1. FOUNDATION, S.S.D.
2. FASCIA AND GUTTER
3. P.T SILL PLATE , S.S.D.
4. EXTERIOR WALL INSULATION R-15, SEE TITLE-24
5. CEILING INSULATION R-11, SEE TITLE-24
6. R-38 RIGID INSULATION, SPRAY FOAM @ VAULT CIELING SEE TITLE-24
7. CONCRETE STEP 6"
8. SKY LIGHTS

NOTES:

1. LAYOUT IS SCHEMATIC ONLY-CONTRACTOR SHALL SIZE ALL NECESSARY EQUIPMENT TO FURNISH COMPLETE HEATING SYSTEM.
2. ALL MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS
3. SEE TITLE 24 COMPLIANCE NOTES ON SHEET "TITLE-24" FOR ADDITIONAL NOTES
4. ALL DUCT WORK SHALL BE INSULATED.
5. PROVIDE & INSTALL NEW COPPER PIPING SIZE IN ACCORDANCE W/ UPC.
6. INSTALL 5 1/2" BATT INSULATION IN OTHERWISE UNINSULATED STUD SPACES CONTAINING PLUMBING PIPING.
7. PROVIDE & INSTALL NEW COPPER PIPING SIZE IN ACCORDANCE W/ UPC (WHERE APPLICABLE)
8. HOSE BIB SHALL BE PROVIDED W/ APPROVED LISTED BACK FLOW PERVENTION DEVICES OF THE NON-REMOVABLE TYPE.
9. A GAS PIPING ISOMETRIC WILL BE VERIFIED IN THE FIELD. IT IS NOT REQUIRED AT A TIME OF PLAN CHECK.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTERED 08/31/2026
STATE OF CALIFORNIA

Architectural, Section, Proposed

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

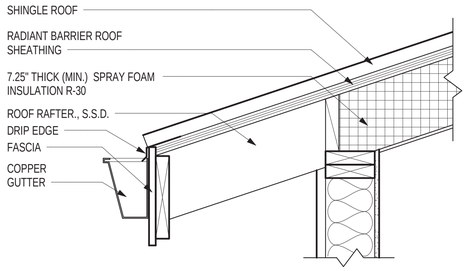
Number	Description	Date

Architectural, Section, Proposed

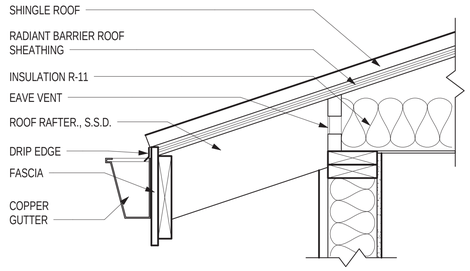
A300

SCALE AS INDICATED

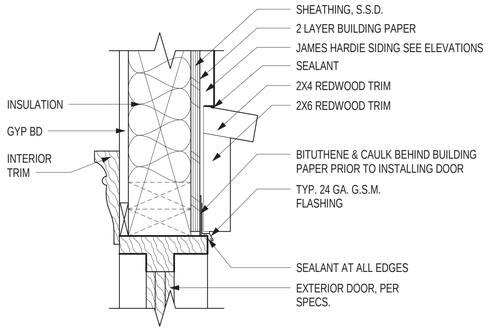
6/12/2025 5:44:50 PM



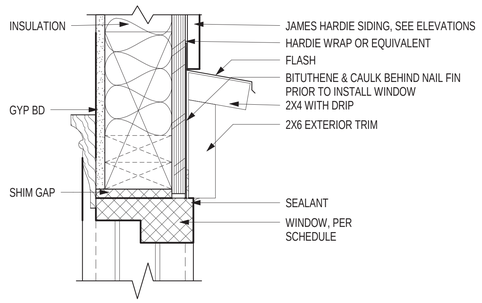
5 Roof Eave @ Vaulted Ceiling
1 1/2" = 1'-0"



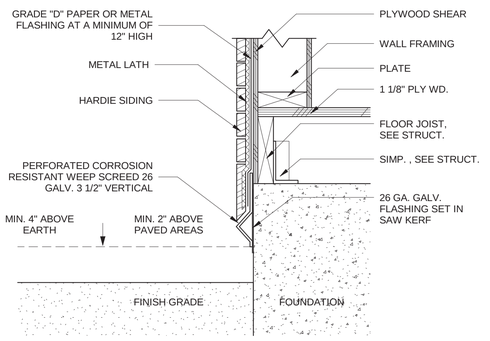
1 Roof Eave @ Flat Ceiling
1 1/2" = 1'-0"



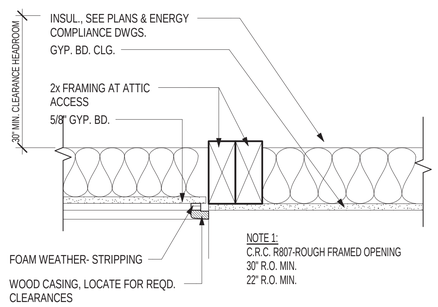
6 Exterior Door/Trim
3" = 1'-0"



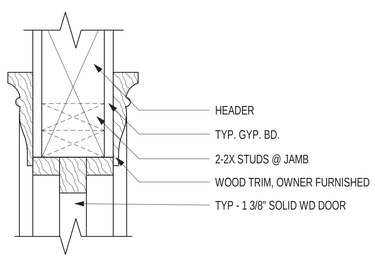
2 Window Head & Jamb / Trim
3" = 1'-0"



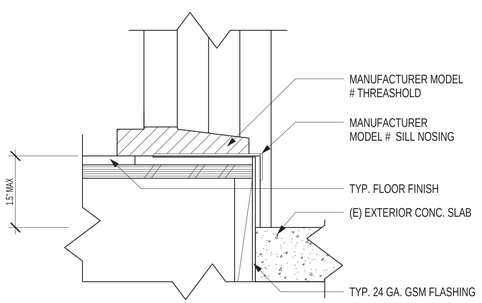
7 Hardie Weep Screed
1 1/2" = 1'-0"



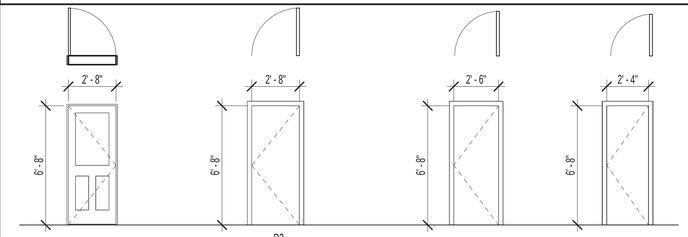
3 Attic Access
3" = 1'-0"



8 Interior Door/Trim
3" = 1'-0"



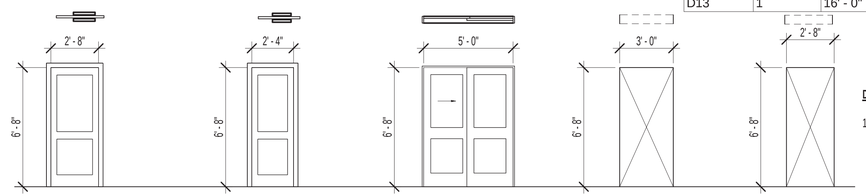
4 Exterior Door Sill
3" = 1'-0"



D1 ENTRY SINGLE FLUSH, 1/2 GLASS
D2 INTERIOR SINGLE FLUSH 1 3/8" SOLID WOOD (CLOSING & SELF LATCHING)
D3 INTERIOR SINGLE FLUSH
D4 INTERIOR SINGLE FLUSH

Door Schedule

Mark	Count	Width	Height	Tempered
D1	1	2' - 8"	6' - 8"	YES
D2	1	2' - 8"	6' - 8"	
D3	3	2' - 6"	6' - 8"	
D4	3	2' - 4"	6' - 8"	
D5	1	2' - 8"	6' - 8"	
D6	1	2' - 4"	6' - 8"	
D7	2	5' - 0"	6' - 8"	
D8	1	3' - 0"	6' - 8"	
D9	1	2' - 8"	6' - 8"	
D10	1	12' - 0"	6' - 8"	YES
D11	1	5' - 0"	6' - 8"	YES
D12	2	6' - 0"	6' - 8"	YES
D13	1	16' - 0"	6' - 8"	

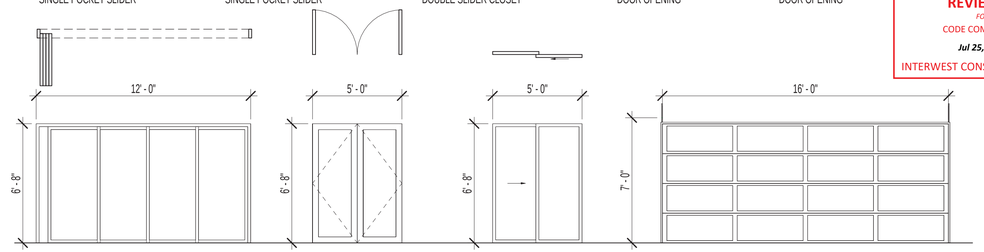


D5 SINGLE POCKET SLIDER
D6 SINGLE POCKET SLIDER
D7 DOUBLE SLIDER CLOSET
D8 DOOR OPENING
D9 DOOR OPENING

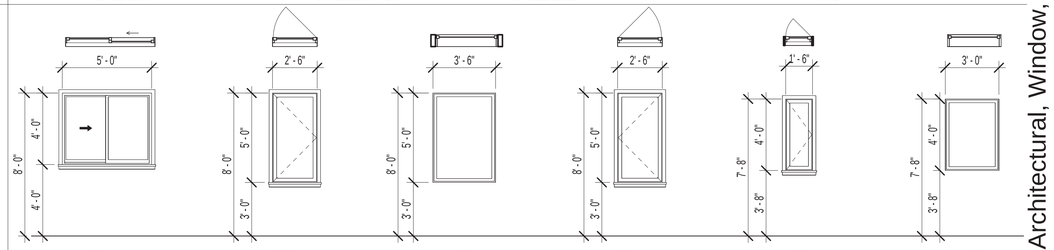
DOOR NOTES:

1. REQUIRED EGRESS DOORWAYS SHALL HAVE A MINIMUM 32" CLEAR WIDTH (MEASURED WITH DOOR OPEN 90º AND NOT LESS THAN 6'-6" CLEAR IN HEIGHT. CRC R311.2

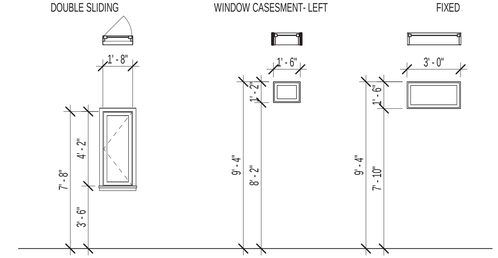
REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP



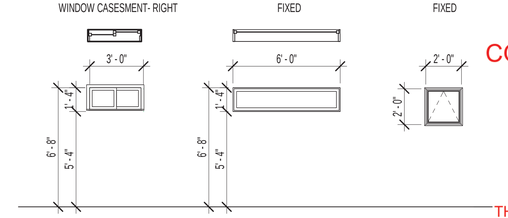
D10 BIFOLD DOOR
D11 DOUBLE DOOR GLASS
D12 DOUBLE SLIDER
D13 GARAGE



W1 DOUBLE SLIDING
W2 WINDOW CASESMENT- LEFT
W3 FIXED
W4 WINDOW CASESMENT- RIGHT
W5 WINDOW CASESMENT- LEFT
W6 FIXED



W7 WINDOW CASESMENT- RIGHT
W8 FIXED
W9 FIXED



W10 SINGLE SLIDER (T)
W11 FIXED
WS1 SKY LIGHT

WINDOW NOTES:

1. EVERY SLEEPING ROOM, HABITABLE ATTICS, AND BASEMENTS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EGRESS WINDOWS SHALL HAVE A MIN NET CLEAR OPENING AREA OF 5.7 SF, MIN NET CLEAR OPENING HEIGHT 24", MIN NET CLEAR OPENING WIDTH 20". EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FINISH FLOOR. EXCEPTION: GRADE FLOOR OPENINGS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SF.

Window Schedule

Type Mark	Count	Width	Height	Sill Height	Head Height	Tempered
W1	2	5' - 0"	5' - 0"	2' - 8"	7' - 8"	
W2	1	2' - 6"	5' - 0"	2' - 8"	7' - 8"	
W3	1	3' - 6"	5' - 0"	2' - 8"	7' - 8"	
W4	1	2' - 6"	5' - 0"	2' - 8"	7' - 8"	
W5	1	1' - 6"	4' - 0"	3' - 8"	7' - 8"	
W6	1	3' - 0"	4' - 0"	3' - 8"	7' - 8"	
W7	1	1' - 6"	4' - 0"	3' - 8"	7' - 8"	
W8	1	1' - 6"	1' - 2"	8' - 0"	9' - 2"	
W9	1	3' - 0"	1' - 2"	8' - 0"	9' - 2"	
W10	2	3' - 0"	1' - 4"	5' - 4"	6' - 8"	
W11	1	6' - 0"	1' - 4"	5' - 4"	6' - 8"	
WS1	2	2' - 0"	2' - 0"			

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07.31.2025

PLAN REVIEW APPROVAL
07.31.2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

TOWN OF LOS GATOS
BUILDING DIVISION

Architectural, Window, Door & Details

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

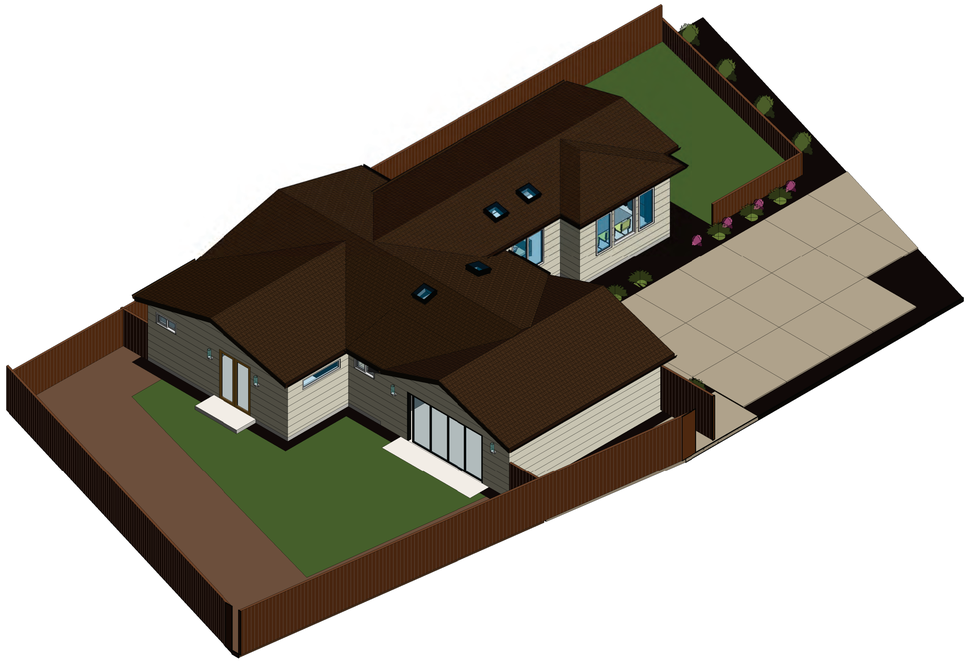
Number	Description	Date
1	Building Revision 1	2025.04.16

Architectural, Window, Door & Details

A400

SCALE AS INDICATED

6/12/2025 5:44:53 PM



REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

3-D VIEWS

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

LICENSED ARCHITECT
GORDON K WONG
C-34045
REN/RNL 09/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7126 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7126 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date

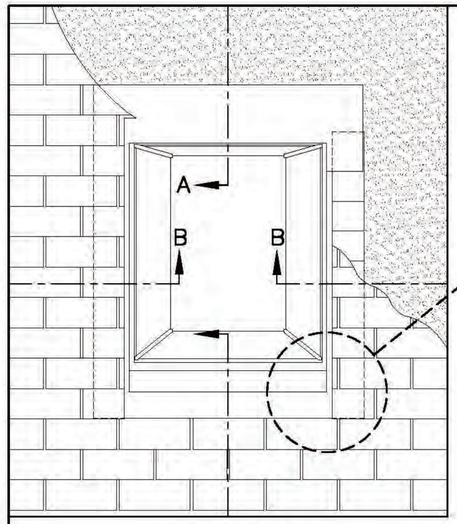
3-D VIEWS

A500

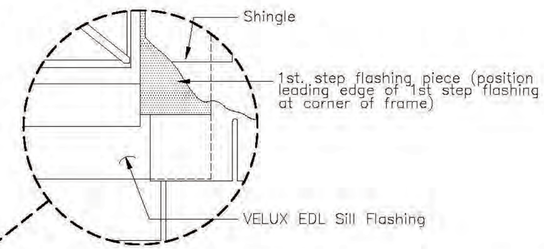
SCALE AS INDICATED

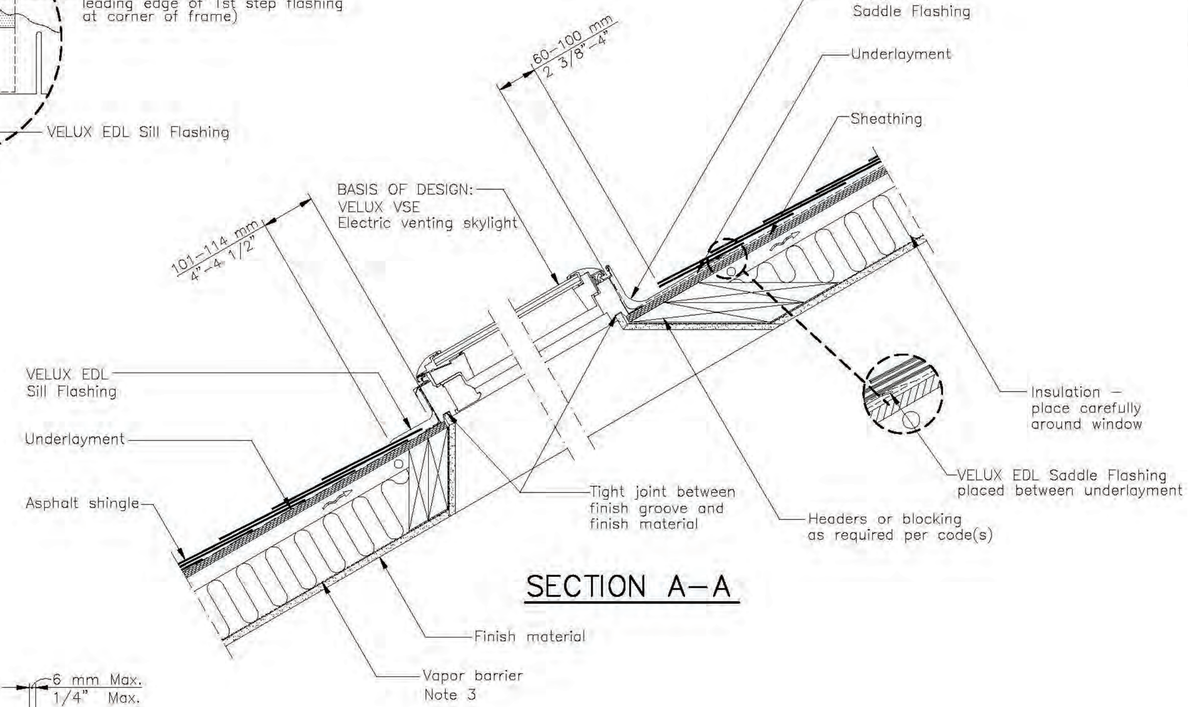
6/12/2025 5:45:00 PM

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

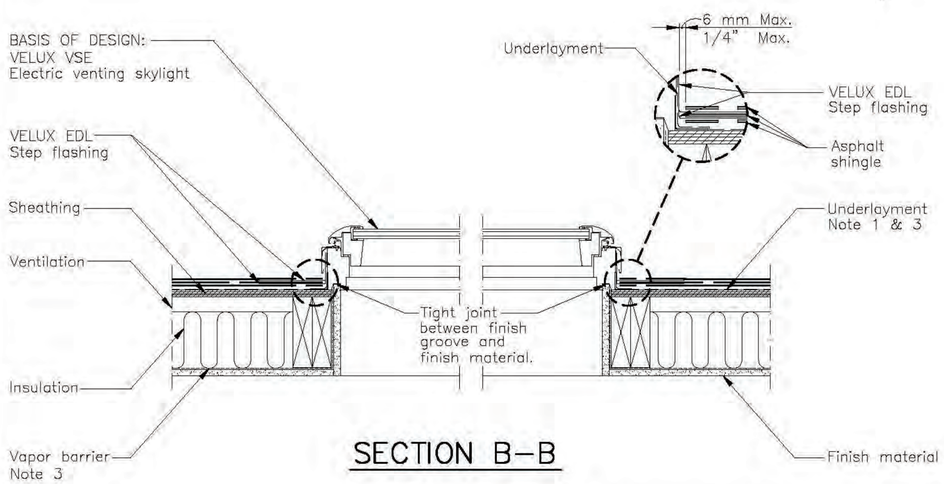


ELEVATION





SECTION A–A



SECTION B–B

GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment provided with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

VELUX
Sky–Product Management

VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1–800–88–VELUX
www.VELUXUSA.com

	Name	Date
Drawn by	JDH	Apr 10
Checked by	WQ, JL	Apr 10
Drawing No.		

VSE–Residential/Commercial
Roof Section (Cathedral Ceiling with Asphalt Shingles)

VSE–02–1208

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

This drawing is an instrument of service and is provided for informational use only.

© 2010 VELUX GROUP

® VELUX is a registered trademark

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTRATION EXPIRES 06/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Architectural, Skylight Specification

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

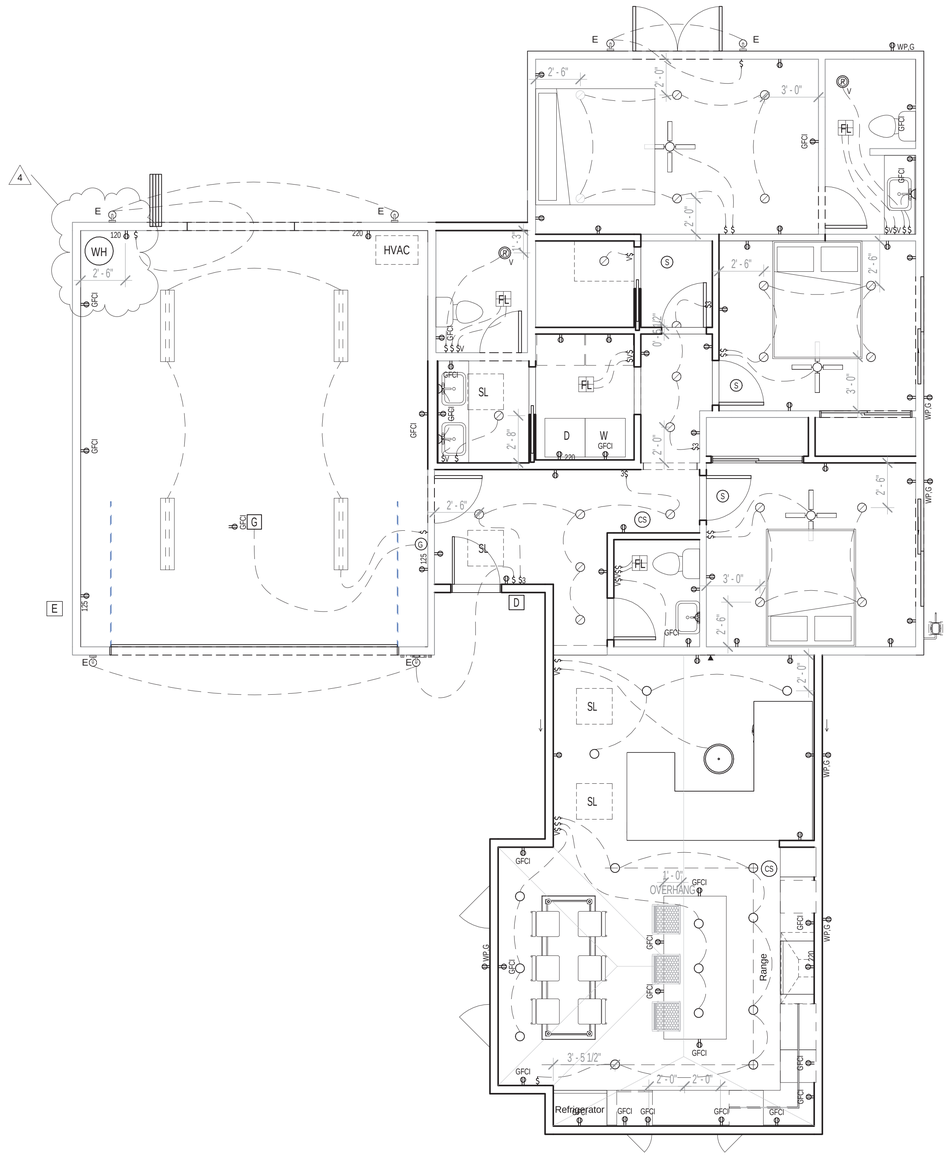
Number	Description	Date

Architectural, Skylight Specification

A600

SCALE AS INDICATED

6/12/2025 5:45:02 PM



2 F.F. Proposed
1/4" = 1'-0"

0' 2' 4' 8' 16'

ELECTRICAL & LIGHTING LEGEND

- RECESSED, 3" LED OR APPROVED EQUAL
- RECESSED, VAPOR PROOF, 3"
- FL — EXHAUST FAN W/ LIGHT, TO BE 50CFM MIN. FOR INTERMITTENT VENTILATION
- $ — SWITCH/ SINGLE POLE (ALL LIGHTING IN HABITABLE SPACES SHALL HAVE READILIY ACCESSIBLE WALL MOUNTED DIMMING CONTROLS)
- $3 — SWITCH/ THREE - WAY(ALL LIGHTING IN HABITABLE SPACES SHALL HAVE READILIY ACCESSIBLE WALL MOUNTED DIMMING CONTROLS)
- $V — SWITCH/ VACANCY SENSOR/ SINGLE POLE
- DATA
- LED SHOP LIGHTS
- PENDANT LIGHT (MEDIUM)
- PENDANT LIGHT (LARGE)
- PENDANT FAN/LIGHT
- WALL SCONCE
- E — WALL MOUNT EXTERIOR LIGHT, DOWNLIT
- S — SMOKE DETECTOR, HARDWIRED WITH A BATTERY BACK-UP PER CRC 314.6 SMOKE ALARMS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS PER CRC R314.4
- CS — SMOKE & CARBON MONOXIDE DETECTOR MIN 3'-0" AWAY FROM ENTRANCE OF BATHROOMS PER CRC R314.3
- AC CONDENSER
- E — ELECTRICAL PANEL, 200 AMP
- OUTLET, AFCI
- GFCI — OUTLET, GFCI
- DISP — OUTLET, FOOD DISPOSAL
- REF — OUTLET, REFRIGERATOR
- 120 — OUTLET, GFCI, 120 OUTLET
- 125 — OUTLET, GFCI, 125 OUTLET
- 220 — OUTLET, 220 OUTLET
- DW — OUTLET, DISHWASHER
- WP.G — OUTLET, GFCI, WATERPROOF
- D — DOORBELL, MOUNT HEIGHT SHALL NOT EXCEED 48 INCHES FROM THE TOP OF THE DOORBELL ASSEMBLY ABOVE ADJACENT EXTERIOR FLOOR/LANDING, PER CRC 327.1.4
- ADU HOOD — ADU-DEMAND CONTROLLED MECHANICAL EXHAUST SYSTEM MIN 300 CFM INTERMITTENT VENTILATION
- HOOD — MAIN RESIDENCE HOOD, HVI- OR AHAM- CERTIFIED, MIN 110 CFM PER CENC TABLE 150.0-G
- G — GARAGE LIFT MOTOR - GFCI PROTECTED
- UNDER CABINET LIGHTING
- HVAC — AIR MECH. UNIT, LOCATED IN THE GARAGE

RESIDENTIAL LIGHTING REQUIREMENTS CA ENERGY CODE SECTION 150(K)

1.A. LUMINAIRE REQUIREMENTS: LUMINAIRE EFFICACY - ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A. **1.C. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.** LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL THE FOLLOWING REQUIREMENTS SECTION 150(K)C.**1.F. LIGHTING INTEGRAL TO EXHAUST FANS.** LIGHTING INTEGRAL TO EXHAUST FANS SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 15O(K).

1.G. SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS: THE LUMINAIRES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND THE LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND THE INSTALLED LAMPS SHALL BE MARKED WITH "JA8-2016" OR "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.

1.H. ENCLOSED LUMINAIRES. LIGHT SOURCES THAT ARE NOT MARKED "JA8-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES.

1.I.TAMPER RESISTANT RECEPTACLES ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "TAMPER-RESISTANT RECEPTACLES. CEC ART. 406.12 **1.J.ARC-FAULT** ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

2.J.PLANS TO COMPLY WITH INTERIOR LIGHTING SWITCHING DEVICED AND CONTROLS. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR. **2.K.** DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.

EXCEPTION 1 TO SECTION 150.0(K)2K: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET.
EXCEPTION 2 TO SECTION 150.0(K)2K: LUMINAIRES IN HALLWAYS.

GENERAL NOTES

1. CONTRACTOR AND OWNER TO VERIFY ALL DESIGNS AND DIMENSIONS ON SITE.
2. OWNER MAY USE ALTERNATIVE COMPLIANT EQUIPMENT/FIXTURES
3. RECEPTACLE OUTLETS, SWITCHES, THEMOSTATS, AND CONTROLS UDED BY THE OCCUPANTS SHALL BE LOCATED A MINIMUM OF 15 INCHES MEASURED TO THE BOTTOM OF THE OUTLET BOX, AND MAXIMUM 48 INCHES MEASURED TO THE TOP OF THE OUTLET BOX, ABOVE FINISH FLOOR, PER CRC 327.1.2
4. PERMANENTLY MOUNTED OUTDOOR LIGHTING IS TO BE HIGH-EFFICACY, TO BE CONTROLLED BY AN ON/OFF SWITCH, AND INCLUDE ONE (1) OF THE FOLLOWING ADDITIONAL CONTROL TYPES PER CENC SECTION 150.0(K)3A:
   - A. PHOTOCELL AND MOTION SENSOR
   - B. PHOTOCELL AND AUTOMATIC TIME SWITCH CONTROL
   - C. ASTRONOMICAL TIME CLOCK CONTROL
   - D. ENERGY MANAGEMENT CONTROL SYSTEM
5. GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS (CEC 210.8(D)
6. RECEPTACLES ARE TO BE LOCATED NO MORE THAN 12" BELOW THE COUNTERTOP WHERE THE COUNTERTOP DOES NOT EXTEND MORE THAN 6" BEYOND ITS SUPPORT BASE (CEC 210.52(C)(2)
7. GFCI RECEPTACLES WITHIN 24" OF BOTH SIDES OF THE KITCHEN SINK. THE MAXIMUM SPACING BETWEEN RECEPTACLES ON THE SAME COUNTERTOP SPACE IS 4 FT. MEASURED ALONG THE WALL LINE.
8.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

LICENSED ARCHITECT
GORDON K WONG
C-34045
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
710E MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Electrical

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

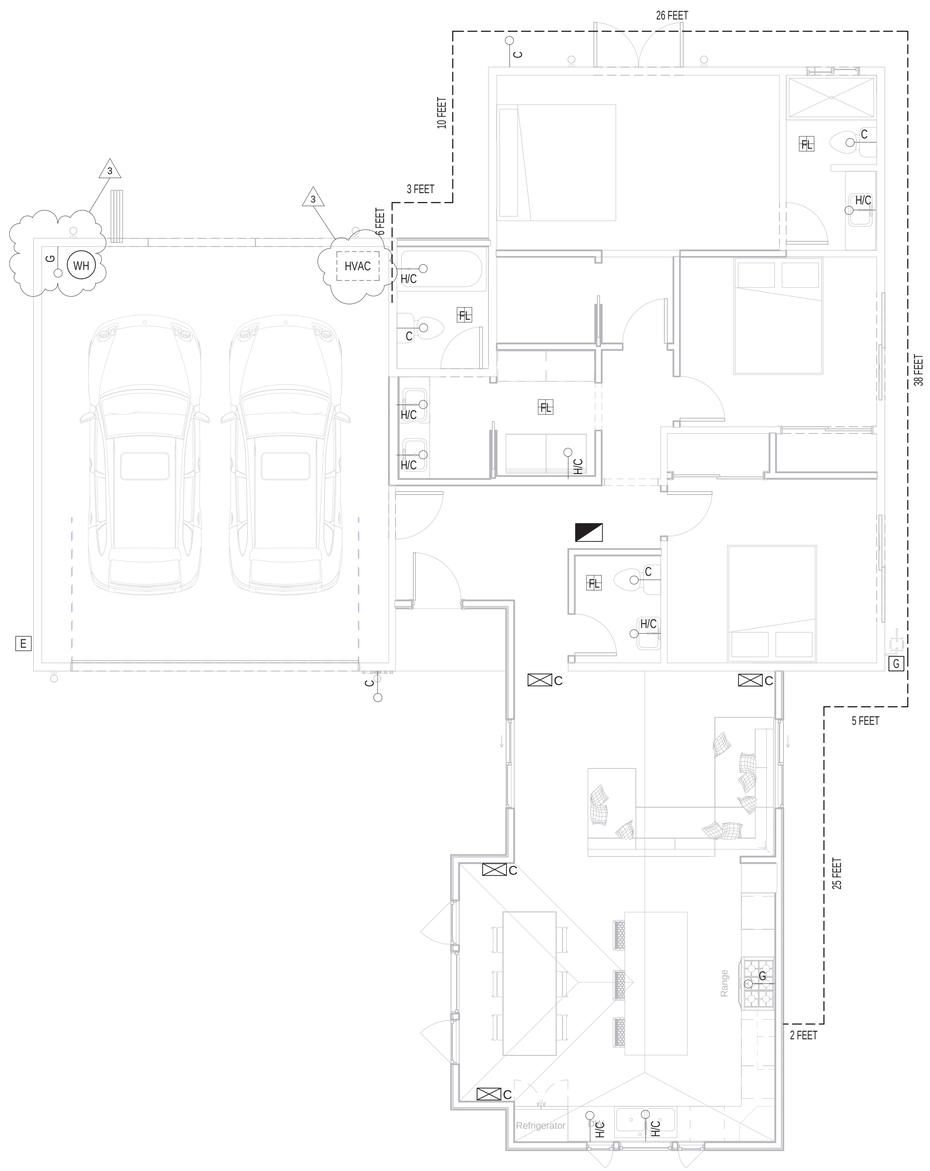
Number	Description	Date
1	Building Revision 1	2025.04.16
2	Building Revision 2	2025.06.12
3	Building Revision 3	2025.07.01 0
4	Building Revision 4	2025.07.22

Electrical

E1

SCALE AS INDICATED

7/22/2025 2:31:57 PM



1 Mechanical + Plumbing Plan, Proposed
1/4" = 1'-0"

0' 2' 4' 8' 16'

MECHANICAL / PLUMBING SYMBOLS

	AIR, RETURN	H/C	HOT & COLD WATER	G	GAS METER, 3/4"
C	AIR, DIFFUSER, CEILING	C	COLD WATER	UA	CRAWL SPACE ACCESS, 18" X 24" MIN.
AC	AIR CONDITIONER CONDENSER	G	GAS	AA	ATTIC ACCESS, 22" X 30" MIN.
V	UNDERFLOOR VENTS	WH	WATER HEATER TANKLESS, GAS	FL	EXHAUST FAN VENT
E	ELECTRICAL PANEL, 200 AMPS	HVAC	AIR MECH. UNIT, LOCATED IN THE GARAGE	HOOD	RANGE HOOD, 100 CFM
				G	GAS METER

PER CPC TABLE 1208.4.1 APPROXIMATE GAS INPUT FOR TYP. APPLIANCES

SIZING GAS PIPING SYSTEM, CPC 1215.0 & TABLE 1215.2(2)

(N) GAS LINE, NOMINAL	1 1/4"
LENGTH	115 FT
CAPACITY	400 CFH

MAIN HOUSE, GAS APPLIANCES	INPUT BTU		CF PER HR	
(1,100 BTU/CF = 1 CF/H FOR NATURAL GAS)				
RANGE	65,000	BTU	59	CFH
FURNACE	100,000	BTU	91	CFH
WATER HEATER	200,000	BTU	182	CFH
TOTAL	332 CFH < 400 CFH ALLOWED			

MECHANICAL & PLUMBING NOTES

1. SEE TITLE 24 COMPLICANCE NOTES ON SHEET "TITLE-24" FOR ADDITIONAL NOTES
2. INSTALL 5 1/2" BATT INSULATION IN OTHERWISE UNINSULATED STUD SPACES CONTAINING PLUMBING PIPING.
3. A GAS PIPING ISOMETRIC WILL BE VERIFIED IN THE FIELD. IT IS NOT REQUIRED AT A TIME OF PLAN CHECK.

GENERAL NOTES

1. ALL SYMBOLS IN GRAY ARE EXISTING. ALL SYMBOLS IN BLACK ARE PROPOSED
2. CONTRACTOR AND OWNER TO VERIFY ALL DESIGNS AND DIMENSIONS ON SITE.
3. OWNER MAY USE ALTERNATIVE COMPLIANT EQUIPMENT/FIXTURES
4. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBSC SECTION 4.406.1
5. LAYOUT IS SCHEMATIC ONLY-CONTRACTOR SHALL SIZE ALL NECESSARY EQUIPMENT TO FURNISH COMPLETE HEATING SYSTEM.
6. ALL MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.
7. ALL DUCT WORK SHALL BE INSULATED.
8. INSTALL 3 1/2" BATT INSULATION IN OTHERWISE UNINSULATED STUD SPACES CONTAINING PLUMBING PIPING.
9. PROVIDE & INSTALL NEW COPPER PIPING SIZE IN ACCORDANCE W/ UPC (WHERE APPLICABLE).
10. KITCHEN HOODS, BATHROOM FANS AND OTHER EXHAUST FAN DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK DRAFT DAMPER. WHEN THE EXHAUST FAN OPERATES CONTINUOUSLY A BACK DRAFT DAMPER IS NOT REQUIRED.CMC 504.1
11. DRYER EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERITCAL LENGTH OF 14' INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDICATED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. CMC 504.4.2.1
12. WATER HEATERS AND FURNACES INSTALLED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE BUT ARE NOT PART OF THE LIVING SPACE SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER IGNITIN DEVISED ARE LOCATED NOT LESS THAN 18" ABOVE THE FLORR UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. SUCH APPPLIANCES SHALL BE PROTECTS FROM AUTO IMPACT. CPC 507.13 & 507.13.1
13. CPC 1208.1
    A. LOCATION OF METER.
    B. TOTAL DEVELOPED LENGTH OF PIPING TO THE MOST REMOTE APPLIANCE ON THE LONGEST RUN OF PIPE.
    C. PIPING MATERIALS AND 2022 CPC TABLE USED FOR SIZING. IF PROPRIETARY MATERIALS ARE PROPOSED, THE LISTING FOR THE MATERIAL SHALL BE PROVIDED TO SHOW THE DESIGN COMPLIES WITH THE MANUFACTURER'S INSTALLATION AND LISTING.
    D. PIPE SIZING AND LENGTH FOR EACH PIPE SEGMENT. (NFPA USES 1,000 BTU/CU.FT.)
    E. ALL GAS APPLIANCES AND CORRESPONDING BTUS. (PER 2022 ENERGY CODE 150.0(N), PROVIDE A GAS SUPPLY LINE WITH THE CAPACITY TO PROVIDE A MINIMUM OF 200,000 BTU/HR. TO EACH WATER HEATER)
    F. APPLIANCE DEMAND IN BTUS FOR EACH PIPE SEGMENT AND TOTAL DEMAND AT METER.
    G. PROTECTION FROM WEATHER IF APPLICABLE.
11. 2022 CPC 408
    A. A MINIMUM INTERIOIR FLOOR AREA OF 1,024 SQUARE INCHES
    B. CAPABLE OF ENCOMPASSING 30-INCH CIRCLE
    C. THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT
    D. SHOWERS AND TUB/SHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS
    E. SHOWERS AND TUB/SHOWERS WALLS HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER AN APPROVED MOISUTRE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET PER 2022 CRC.

WATER EFFECIENCY AND CONSERVATION

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTING (FAUCET AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4303.1.1 THROUGH 4303.1.4.4.
WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GPF. TANK-TYPE WATER CLOSTES SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
SINGLE SHOWERHEADS. SHOWERHEADS SHALL HAVE A MAX FLOW RATE OF NOT MORE THAN 1.8 GPM AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
RESIDENTIAL LAVATORY FAUCETS. MAXIMUM FLOW RATE OF LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI (MINIMUM SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI). CGBSC SECTION 4.303.1.4.1
KITCHEN FAUCETS. THE MAX FLOW RATE OF KITCHEN FAUCET SHALL NOT EXCEED 1.8 GPM AT 60 PSI.
4.506 INDOOR ARE QUALITY AND EXHAUST. BATHROOM EXHAUST FANS BE ENERGY STAR DUCTED TO OUTSIDE. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM EXHAUST FANS MUST BE CONTROLLED BY A HUMIDISTAT CAPABLE OF A RELATIVE HUMIDITY RANGE OF 50% -80%.
4.507.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
1. ESTABLUSH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSIIACCA 2 MANUAL J-2011 OR EQUIVALENT
2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT

PER ASHRAE 62.2 & 2016 CEC
BATHROOM FANS SHALL HAVE A MINIMUM 50 CFM EXHAUST RATE, AND FAN TO HAVE BACKDRAFT DAMPER. IF FAN IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2, MAXIMUM SOUND RATING OF 3 SONES IS ALLOWED AT 100 CFM.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

Mechanical & Plumbing

LICENSED ARCHITECT
GORDON K WONG
C-34045
RENEWAL 08/31/2026
STATE OF CALIFORNIA

STEVEN RAMIREZ
PROJECT REPRESENTATIVES
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408)796-1845

GORDON K WONG, ARCHITECT
7106 MCCLINCY LANE SUITE 109
CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com

GKW ARCHITECTS
RESIDENTIAL/COMMERCIAL

Residential Remodel & Addition
14340 Browns Ln
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
1	Building Revision 1	2025.04.16
3	Building Revision 3	2025.07.01 0

Mechanical & Plumbing

M1

SCALE AS INDICATED

7/10/2025 3:09:31 PM

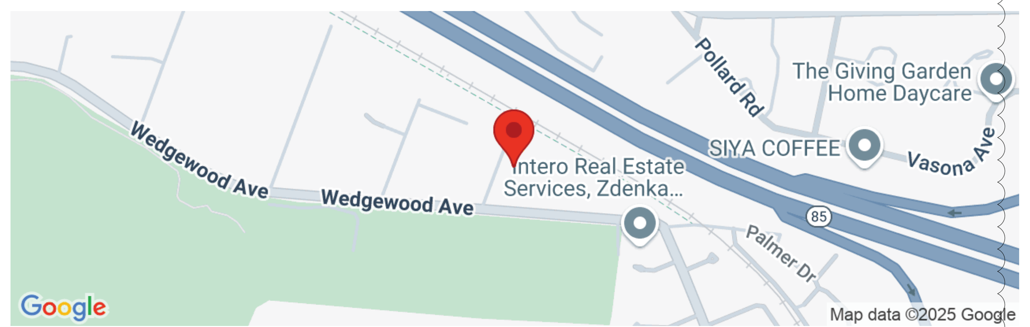
COVER SHEET

GENERAL NOTES AND SPECIFICATIONS

OSHPD

14340 Browns Ln, Los Gatos, CA 95032, USA

Latitude, Longitude: 37.2599198, -121.9719412



Date	5/18/2025, 3:56:33 PM
Design Code Reference Document	ASCE7-22
Risk Category	II
Site Class	Default

Type	Value	Description (Data)
S_S	2.45	The MCE_R spectral response acceleration at 0.2 seconds for Site Class BC, in units of g.
S_1	0.98	The MCE_R spectral response acceleration at 1 second for Site Class BC, in units of g.
S_{MS}	2.56	S_{MS} = 1.5 x S_{DS}, the Risk-Targeted Maximum Considered Earthquake (MCE_R) spectral response acceleration for short periods (of the two-period spectrum) and the user-specified Site Class.
S_{M1}	2.32	S_{M1} = 1.5 x S_{D1}, the MCE_R spectral response acceleration for 1 second (of the two-period spectrum) and the user-specified Site Class.
S_{DS}	1.7	The design spectral response acceleration for short periods (of the two-period spectrum) and the user-specified Site Class, in units of g.
S_{D1}	1.55	The design spectral response acceleration for 1 second (of the two-period spectrum) and the user-specified Site Class, in units of g

Type	Value	Description (Data Contd.)
SDC	E	Seismic design category
PGA_M	0.91	PGA_M, the Geometric-Mean Maximum Considered Earthquake (MCE_G) peak ground acceleration for the user-specified Site Class, in units of g
T_S	0.909	$T_S = S_{D1}/S_{DS}$, in seconds, for construction of the two-period design spectrum
T_0	0.182	T_0 = 0.2 x T_S, in seconds, for construction of the two-period design response spectrum
T_L	12	T_L, the long-period transition period, in seconds, for construction of the two-period design response spectrum

STRUCTURAL DESIGN CRITERIA - INFORMATION TO BE INCLUDED ON PLANS®

LOADING	Floor dead load(s) and live load(s) used in design including any live load reductions applied (itemize by area).	DL=12PSF LL=40PSF NO LIVE LOAD REDUCTION
	Roof dead and live loads	DL=15PSF LL=20PSF NO LIVE LOAD REDUCTION
	Guardrails	N/A

WIND	Ultimate design wind speeds:	95 mph for risk category II buildings & other structures.
	Wind exposure category	B
	Applicable internal pressure coefficient	0.18
	Components and cladding wind pressure (psf) Overhand	16.2

SEISMIC	Seismic importance factor	I
	Mapped spectral response accelerations, Ss & S1	S_S= 2.45, S_1=0.98
	Site class	D
	Spectral response coefficients, S_{DS} & S_{D1}	S_{DS}= 1.7, S_{D1}= 1.55
	Seismic design category: SDC	E S1>0.75
	Basic seismic force resisting system(s)	BEARING WALL SYSTEM Light frame (wood)walls sheathed w/wood structural panels rated for shear resistance
	Design base shear (kips)	15.08kips
	Seismic response coefficient(s), Cs	0.3015
	Response modification factor(s), R	R=6.5 Wo=3.0 Cd= 4.0
	Seismic analysis procedure used	The "Equivalent Lateral Force Procedure" According to the Provisions of ASCE 7-16 Section 12.8

b

PROJECT WIND DATA
WIND FORCE APPLICATION:
WIND PER SIMPLIFIED PROVISIONS FOR LOW RISE BUILDINGS
Section 16-9.6.4 main wind force resisting system
Section 1609 Wind Loads:
Basic Wind Speed (3-Seconds Gust), = 110mph
Wind Importance factor, I = 1.0
Wind Exposure = B
Minimum wind pressure: = 18.2psf

LIST OF STRUCTURAL OBSERVATION

SPECIAL INSPECTION FORM
1-SHEAR WALLS FOR TYPE 4 AND LESS
2- STEEL VELDS LARGER THAN 3/16" (CONTINOUS INSPECTIONS)
BOTTOM OF FOUTING (PERIODIC)
HOLDOWNS IN PLACE (PERIODIC)

SECTION: 1.0 - INDEX TO STRUCTURAL DRAWING:

DWG. NO.	TITLE
GENERAL NOTES & SPECIFICATIONS:	
S-0	COVER SHEET, GENERAL NOTES & SPECIFICATIONS
PLANS:	
S-1	PLAN-FND AND WALL FRAMING
S-2	PLAN - ROOF FRAMING
SD-1	FOUNDATION DETAILS
SD-2	ROOF FRAMING DETAILS
SD-3	SHEAR WALL SCHEDULE SECTIONS & DETAILS
SD-5	TYPICAL FRAMING DETAILS
WSWH1	SIMPSON STRONG WALL TYP DETAILS
WSWH2	SIMPSON STRONG WALL TYP. FRAMING DETAILS

b

1. **BUILDING CODES:**
CALIFORNIA BUILDING CODE CBC 2022

2. **SAFETY:**
DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES.

3. **EARTH WORK (IF USED):**
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES, INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, AND UTILITIES, IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES.

4. **SHOP DRAWINGS (WHEN REQUIRED):**
SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.

5. **DETAILS:**
DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS AND NOTES OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW BY THE ARCHITECT/ENGINEER.

6. **OPENINGS:**
OPENINGS IN SHEARWALLS NOT PERMITED UNLESS APROVED BY THE PROJECT ENGINEER IN WRITTING.

7. **MODIFICATIONS:**
ALL INFORMATION SHOWN ON THE DRAWINGS, RELATIVE TO EXISTING CONDITIOINS, IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT/ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

8. **SHORING:**
IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.

9. **BRACING:**
DO ALL TEMPORARY BRACING AS REQUIRED TO HOLD THE VARIOUS ELEMENTS IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.

10. **DRAWINGS AND SPECIFICATIONS:**
THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO, BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER, WHETHER OF MATERIAL OF WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALIITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

11. **TEMPORARY MATERIAL STORAGE:**
WHERE CONSTRUCTION MATERIALS ARE TEMPORARILY STORED ON FLOOR, THEY SHALL BE DISTRIBUTED SO THAT THE LOAD DOES NOT EXCEED DESIGN LIVE LOAD. ADEQUATE SHORING AND/OR BRACING SHALL BE PROVIDED WHERE STRUCTURAL MEMBERS HAVE NOT ATTAINED DESIGN STRENGTH.

12. **ASTM DESIGNATIONS:**
ASTM DESIGNATIONS AND ALL STANDARDS REFER TO THE LATEST AMENDMENTS.

13. **VERIFYING DIMENSIONS:**
THE CONTRACTOR SHALL TAKE ALL MEASUREMENTS AT THE BUILDING AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. SHOULD ANY VARIATION BE FOUND, THE MATTER SHALL BE REFERRED TO ENGINEER FOR JUDGMENT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FITTING OF HIS/HER WORK IN PLACE.

14. **DISCREPANCIES:**
IF, IN THE OPINION OF THE CONTRACTOR, ANY WORK IS SHOWN ON THE DRAWINGS OR DETAILS IN A MANNER AS WILL MAKE IT IMPOSSIBLE TO PRODUCE A FIRST QUALITY PIECE OF WORK, OR SHOULD DISCREPANCIES APPEAR BETWEEN THE DRAWINGS AND/OR DETAILS, HE/SHE SHALL REFER THE SAME TO THE ARCHITECT/ENGINEER FOR INTERPRETATION BEFORE PROCEEDING WITH THE WORK. IF THE CONTRACTOR FAILS TO MAKE SUCH REFERENCE TO THE ARCHITECT/ENGINEER, NO EXCUSE WILL THEREAFTER BE ENTERTAINED FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER, AS DIRECTED.

15. **ORDER OF PREFERENCE:**
FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE DIMENSIONS. DETAILS TAKE PREFERENCE OVER SMALLER DETAILS OR SCALE DRAWINGS.

16. **LOCATION OF PREFERENCE:**
UNLESS NOTED OTHERWISE, REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND LOCATION OF STRUCTURES.

17. **SCALING FROM STRUCTURAL DRAWINGS:**
SCALING FROM STRUCTURAL DRAWINGS IS NOT PERMITTED. FOR FIELD LAYOUT PURPOSES, DO NOT SCALE FROM STRUCTURAL DRAWINGS. MISPLACED WORK MAY BE SUBJECT TO REMOVAL OF COMPLETED WORK.

18. **COORDINATION OF WORK:**
CONTRACTOR SHALL VERIFY ALL STRUCTURAL PLANS AND DIMENSIONS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND SITE DRAWINGS. IN CASE OF DISCREPANCY, NOTIFY THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.

19. **CUTTING STRUCTURAL MEMBERS:**
CUTTING OR DRILLING OF HOLES IN STRUCTURAL MEMBERS TO FACILITATE CONSTRUCTION DETAILS, AS PER TRADITION OF CONTRACTOR'S PRACTIVE OR FOR OTHER TRADES TO PROCEED, SHALL BE DONE ONLY AFTER ENGINEER'S EXPRESS AUTHORIZATION.

20. **CONSTRUCTION DRAWINGS:**
THE CONTRACTOR SHALL KEEP AT THE SITE OF THE WORK ONE COPY OF PLANS AND SPECIFICATIONS SIGNED AND APPROVED BY THE BUILDING DEPARTMENT AND SHALL AT ALL TIMES GIVE THE ENGINEER AND OTHERS ACCESS THERETO. ANYTHING SHOWN ON THE PLANS AND NOT MENTIONED IN THE SPECIFICATIONS OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE PLANS SHALL HAVE THE SAME EFFECT AS IF SHOWN OR MENTIONED RESPECTIVELY IN BOTH. IN CASE OF ANY CONFLICT OR INCONSISTENCY BETWEEN THE PLANS, DETAILS OR SPECIFICATIONS, THE ONE REQUIRING GREATER QUANTITY OR SUPERIOR QUALITY SHALL PREVAIL, AS DECIDED BY THE ENGINEER. ANY DISCREPANCY BETWEEN FIGURES AND DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER, WHOSE DECISION THEREON SHALL BE CONCLUSIVE.

21. **CORRECTION OF WORK:**
ALL WORK, ALL MATERIALS, WHETHER INCORPORATED IN THE WORK OR NOT, ALL PROCESSES OR MANUFACTURE, AND ALL METHODS OF CONSTRUCTION, SHALL BE AT ALL TIMES AND PLACES, SUBJECT TO THE INSPECTION OF THE ENGINEER WHO SHALL BE THE FINAL JUDGE OF THE QUALITY AND SUITABILITY OF THE ENGINEERING WORK. SHOULD THEY FAIL TO MEET HIS APPROVAL, THEY SHALL BE FORTHWITH RECONSTRUCTED, MADE GOOD, REPLACED AND/OR CORRECTED AS THE CASE MAY BE, BY THE CONTRACTOR AT HIS OWN EXPENSE. ACCEPTANCE OF WORKMANSHIP AND MATERIALS BY THE OWNER SHALL NOT RELIEVE THE CONTRACTOR FROM LEGAL LIABILITIES PERTAINING TO THE STRUCTURAL INTEGRITY OF THE PROJECT.

22. **LUMBER FRAMING NOTES:**

PRESSURE TREATED LUMBER:
a) ALL SILL PLATES WHICH REST ON CONCRETE SLAB OR MASONRY, END OF WOOD GIRDERS, OR BEAMS HAVING CLEARANCE OF LESS THAN 1/2" ON TOP, SIDES, AND ENDS.
b) WOOD SIDING, SHEATHING, AND WALL FRAMING HAVING CLEARANCE OF LESS THAN 6" FROM GROUND.
c) ALL WOOD IN CONTACT WITH GROUND WHICH SUPPORTS PERMANENT STRUCTURE(S).
d) MEMBERS SUPPORTING BALCONIES, PORCHES, OR SIMILAR APPURTENACES WHEN EXPOSED TO THE WEATHER AND ELEMENTS.

23. **REMOVAL OF DEBRIS:**
THE UNDER-FLOOR GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIALS.

24. **DETAILS:**
FRAMING DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE FRAMED SIMILAR TO TYPICAL DETAIL AS SHOWN ON THE DRAWINGS.

25. **STRUCTURAL LUMBER GRADES:**
DF LARCH-DRY:
STRUCTURAL LUMBER SHALL CONFORM TO FOLLOWING WCLIB MINIMUM GRADES, UNLESS NOTED OTHERWISE:
a) HORIZONTAL 2x FRAMING..#2 OR BETTER
b) 4x BEAMS, HEADERS, SPECIAL MEMBERS..................#1
c) STUDS...#2 OR BETTER
d) 4x & 6x POSTS..#1

MAXIMUM MOISTURE CONTENT SHALL BE 19% AT TIME OF INSTALLATION. LUMBER OF 2 INCH AND LESS NOMINAL THICKNESS DRIED TO 15% MOISTURE CONTENT PRIOR TO DELIVERY TO SITE.

26. **NAILING:**
FOR SCHEDULE OF MINIMUM NAILING, SEE TABLE 2304.10.2 CBC OR DESIGN DRAWINGS. NAILING SHALL BE WITH COMMON WIRE NAILS, UNLESS NOTED OTHERWISE. MACHINE-DRIVEN MAY BE USED ONLY WITH PERMISSION OF THE ENGINEER.
NAILS AND FASTENERS FOR USE IN PRESSURE-TREATED LUMBER SHALL BE HOT-DIPPED (HDG 200) GALVANIZED PER ASTM A153 SPECIFICATIONS.

27. **FASTENERS:**
BOLTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE WASHERS. BOLTS IN CONNECTIONS SHALL BE RE-TIGHTENED JUST BEFORE CLOSING IN OF WALLS.

28. **EXTERIOR METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION WITH UNTREATED WOOD**
ALL EXTERIOR METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION OF UNTREATED WOOD SHALL BE GALVANIZED (G185) 1.85 OZ. OF ZINC PER SQUARE FOOT OF SURFACE(HOT-DIPPED GALVANIZED PER ASTM A653 TOTAL BOTH SIDES). FASTENERS USED WITH SUCH DEVICES SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153 SPECIFICATION

29. **METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION WITH TREATED WOOD**
ALL EXTERIOR METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION OF UNTREATED WOOD SHALL BE 14 GA. AND THICKER, WITH MINIMUM COATING WEIGHT OF 2.0 OZ. OF ZINC PER SQUARE FOOT OF SURFACE (HOT-DIPPED GALVANIZED PER ASTM A123 TOTAL BOTH SIDES). FASTENERS USED WITH SUCH DEVICES SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153 SPECIFICATION.

30. **PRESSURE TREATED WOOD:**
PRESSURE TREATED WOOD SHALL HAVE ACTUAL RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ AND MCQ AND 0.41 PSF FOR CBA-A OR 0.21 PCF FOR CA-B GROUND CONTACT LEVEL, CBC §2303.1.9 FOR PRESERVATIVE-TREATED WOOD: LUMBER, TIMBER, PLYWOOD, PILES AND POLES SUPPORTING PERMANENT STRUCTURES REQUIRED BY SECTION 2304.12 TO BE PRESERVATIVE TREATED SHALL CONFORM TO AWPA U1 AND M4.

31. BORATE TREATED WOODS SHALL NOT BE USED FOR OUTDOOR USE. TREATED WOOD HAVING EXCESS SURFACE CHEMICALS ARE CORROSIVE. STAINLESS STEEL FASTENERS AND HARDWARE SHALL BE USED IN CONJUNCTION WITH HIGHLY CORROSIVE WOOD ELEMENTS

32. **CONCRETE:**

33. **STRENGTH & QUALITY:**
CONCRETE STRENGTHS AT 28 DAYS SHALL BE f' c = 2500 PSI, OR AS INDICATED AS FOLLOWS:

CONCRETE QUALITY:

CONCRETE USE	STRENGTH	SLUMP	AGG. SIZE
STEPS & PATIOS	2500 PSI @ 28 DAYS	4 1/2"	3/4"
FOUNDATIONS	2500 PSI @ 28 DAYS	4 1/2"	3/4"
CONCRETE STOOPS	2500 PSI @ 28 DAYS	4 1/2"	3/4"
LEAN CONCRETE	2000 PSI @ 28 DAYS	4"	3/4"

34. **CEMENT:**
ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE II, UNLESS ALKALINE SOILS ARE PRESENT.

35. **AGGREGATES:**
ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE REGULAR WEIGHT HARD ROCK TYPE (150 #/PCF). AGGREGATES SHALL CONFORM TO ASTM C-33 WITH PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN .005. CONCRETE MIX SHALL CONTAIN UP TO 15% ASH.

36. **CURING:**
CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE (5) DAYS AFTER PLACEMENT. APPROVED CURING COMPOUNDS MAY BE USED IN LIEU OF MOIST CURING.

38. **STRENGTH TESTS:**
STRENGTH TESTS OF CONCRETE MAY BE REQUIRED AS PER CHAPTER 19 OF C.B.C. PLACEMENT OF CONCRETE AND REINFORCING STEEL SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA.

39. **KEYED CONSTRUCTION JOINTS:**
KEYED CONSTRUCTION JOINTS SHALL BE USED IN ALL CASES. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND ALL LITTER SHALL BE REMOVED. ALL VERTICAL JOINTS SHALL BE THOROUGHLY WETTED AND SLUSHED WITH A COAT OF NEAT CEMENT IMMEDIATELY BEFORE PLACING NEW CONCRETE.

40. **SLEEVES:**
SLEEVES NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE LOCATED BY THE TRADES INVOLVED AND SHALL BE CHECKED WITH ALL TRADES TO INSURE PROPER PLACEMENT OF OPENING, SLEEVES, CONDUITS, ETC., RELATING TO THE WORK.

41. **INSERTS:**
ALL ITEMS TO BE CAST IN CONCRETE, SUCH AS REINFORCING BARS, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING THE CONCRETE.

EXPANSION BOLTS FOR MUD SILL MAY BE USED IN LIEU OF EMBEDDED BOLTS , AS PER ENGINEER'S DIRECTION ONLY.

42. **SEGREGATION OF AGGREGATES:**
CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, OR TRUNKS OF VARYING LENGTHS SO THAT THE FREE, UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED FIVE FEET, AND A SUFFICIENT NUMBER SHALL BE USED TO ENSURE THE CONCRETE SHALL BE KEPT LEVEL AT ALL TIMES.

43. **DOWELING:**
ALL SLABS SHALL BE DOWELED INTO FOUNDATIONS WITH BARS OF THE SAME SIZE AND SPACING AS THE FOUNDATION BARS, EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE.

44. **SPLICES:**
SPLICES IN CONTINUOUS REINFORCEMENT AS USED, SHALL HAVE A LAP OF 30 BAR DIAMETERS BUT NOT LESS THAN 18 INCHES, AND THE SPLICES IN ADJACENT BARS SHALL NOT BE LESS THAN 5'-0" APART. ALL REINFORCING STEEL SHALL BE SECURELY WIRED AND PROPERLY SUPPORTED ABOVE GROUND AND AWAY FROM THE FORMS.

45. **CHAIRS:**
PROVIDE CONCRETE CHAIRS TO SUPPORT BOTTOM OR TOP BARS AND HOLD THE SAME IN SECURED POSITIONS.

46. **CONSTRUCTION JOINTS:**
CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN AGGREGATE SOLIDLY EMBEDDED. THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL FOR CONSTRUCTION JOINT LOCATION OTHER THAN DETAILED OR SPECIFIED IN ALL SLABS AND EQUIPMENT FOUNDATIONS.

47. **PIPES:**
PIPES, OTHER THAN ELECTRICAL CONDUITS, SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE, EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER.

48. **GROUT:**
GROUT, IF USED, SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT TO NOT MORE THAN TWO PARTS SAND. DRYPACKING OR NON-SHRINK GROUTING SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 5000 PSI @ 7 DAYS.

49. **MISCELLANEOUS ITEMS:**
REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR MISCELLANEOUS ITEMS TO BE CAST INTO CONCRETE. DO NOT CUT OR DEFORM PRIMARY REINFORCING BARS WITHOUT CONSENT OF THE ENGINEER.

50. **FINISH:**
EXPOSED EXTERIOR SLABS AND RAMPS ON GRADE SHALL HAVE A BROOMED FINISH. CONCRETE TO RECEIVE RESILIENT TILE OR DUSTPROOFING SHALL RECEIVE A STEEL TROWEL FINISH. INTERIOR SLAB EXPOSED TO VEHICULAR MOVEMENT SHALL BE THOROUGHLY CONSOLIDATED BY VIBRATING AND THE TOP OF THE CONCRETE SHALL BE BROUGHT TO PROPER ELEVATION BY SCREEDING, TAMPING, AND FLOATING. THE SURFACE SHALL BE TROWELLED UNTIL SMOOTH AND RELATIVELY FREE OF DEFECTS AND TROWELED MARKS.

51. **BOLTS:**
BOLTS EMBEDDED IN CONCRETE SHALL BE ASTM A-307, UNLESS NOTED OTHERWISE.

52. **VIBRATION:**
VIBRATION OF CONCRETE SHALL BE IN ACCORDANCE WITH THE GENERAL PROVISIONS OUTLINED IN PORTLAND CEMENT ASSOCIATION SPECIFICATIONS ST26. PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH THE ACI SPEC. 301.

53. **REBAR COVER:**
MINIMUM COVERAGE SHALL BE AS FOLLOWS:

3" WHERE CONCRETE IS DEPOSITED DIRECTLY AGAINST GROUND, EXCEPT SLABS ON GRADE.
2" WHERE CONCRETE IS EXPOSED TO GROUND BUT PLACED IN FORMS.
1 1/2" FOR MAIN BARS IN RETAINING WALLS
1 1/2" FOR BARS IN STEPS
1 1/2" FOR BARS IN SLABS ON GRADE.

54. **BOLTS IN CONCRETE OR CONCRETE SLAB:**
LENGTH OF EMBEDMENT OF ANCHOR BOLTS IN CONCRETE, OTHER THAN COLUMN ANCHOR BOLTS, SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED, OR UNLESS DETAILED OTHERWISE ON TEH STRUCTURALL DRAWINGS:

SIZE OF BOLT	LENTGH OF EMBEDMENT
5/8"	7"
3/4"	12"

55. **DRILLED AND DRYPACKED OR GROUTED BOLTS:**
DRILLED AND DRYPACKED OR GROUTED BOLTS SHALL HAVE 1" CLEAR FROM BOLT TO EDGE OF HOLE.

56. **CHAMFER:**
ALL EXPOSED CONCRETE CORNERS SHALL HAVE 3/4" CHAMFER UNLESS NOTED OTHERWISE.

57. **FORMS (IF USED):**
FORMS:
FORMS SHALL BE OF SUBSTANTIALLY BUILT AND OF SUFFICIENT STRENGTH AND RIGIDITY TO PROVIDE SAFE WORKING CONDITIONS AT ALL TIMES, AND TO PRODUCE FINISHED CONCRETE OF PRECISE SIZE AND SHAPE AS SHOWN ON DRAWINGS. THEIR ASSEMBLY SHALL PERMIT REMOVAL IN PROPER SEQUENCE WITHOUT DAMAGE TO CONCRETE. FORM WORK SHALL BE CLEAN AND FREE OF SAW DUST, PAPER, DIRT, AND DEBRIS WHEN CONCRETE IS PLACED THEREIN.

BEFORE CONCRETE IS PLACED:
BEFORE CONCRETE IS PLACED, ALL ELEMENTS TO BE BUILT IN FORMS SHALL BE CHECKED FOR COMPLETENESS, SIZE, AND LOCATION. FORMS SHALL BE CONSTRUCTED OF MATERIALS WHICH SHALL PRODUCE CONCRETE SURFACES SUITABLE AS INTENDED. JOINTS IN FORM WORK SHALL BE SUFFICIENTLY TIGHT, WELL-BACKED AND SHORED TO PREVENT THE LEAKAGE OF CEMENT PASTE AND TO PROVIDE SMOOTH SURFACE, FREE OF OBJECTIONABLE OFFSETS, FORM MARKS, AND PROJECTIONS. OBJECTIOINABLE PROJECTIONS REMAINING AFTER FORMS HAVE BEEN STRIPPED SHALL BE REMOVED BY MEANS OF MACHINE GRINDING.

FORM TIES:
FORM TIES, IF USED, SHALL HAVE REMOVABLE PLASTIC CONES.

58. **TOLERANCES:**
FORM WORK:
FORM WORK SHALL BE SET TO PRODUCE CONCRETE WHICH IS TRUE TO DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWINGS AND TO WITHIN THE FOLLOWING TOLERANCES:

FINISHED CONCRETE SURFACE:
FINISHED CONCRETE SURFACE SHALL NOT VARY FROM PLAN LOCATIONS SHOWN ON THE DRAWINGS BY MORE THAN 1/4 INCH IN ANY 10 FT.

VARIATIONS FOR CONCRETE STEPS:
VARIATIONS FOR CONCRETE STEPS SHALL NOT EXCEED 1/8 INCH AT TREAD AND RISERS.

59. **REINFORCEMENT:**
REINFORCEMENT BARS:
ALL REINFORCING STEEL SHALL BE GRADE 60 FOR #4 AND LARGER. ALL BARS SHALL BE NEW BILLET DEFORMED BARS AS PER ASTM-A615 SPECIFICATION.

60. **DEFERRED ITEMS**
MATERIAL CERTIFICATE SUBMITTALS:
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

61. **"OSB" PANELS:**
THE CONTRACTOR SHALL PROVIDE I.C.C. CERTIFICATES FOR THE CYCLIC LATERAL LOAD AND EQUIVALENCY CALCULATIONS FOR THE OSB PANELS TO THE ENGINEER FOR APPROVAL PRIOR TO SUPPLY AND INSTALLATION OF SUCH PANELS.

62. **NOTE:**
"OSB" SHALL NOT BE USED IN WET OR MOIST ENVIRONMENT.

63. OR EQUAL PRODUCTS

ALL STRUCTURAL COMPONENT EQUAL PRODUCTS SHALL BE SUBJECT TO ENGINEER'S WRITTEN APPROVAL PRIOR TO DELIVERY TO THE JOB SITE AND INSTALLATION.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

WOOD FRAME ENGINEERING OBSERVATION (CBC 2022 & NDS 2018)

1.0 GENERAL WALL AND FLOOR FRAMING:
1. All components must be in conformance with the size, spacing and arrangements as shown in the structural plans and wood framing standards
2. Specifically observe the wall corner details. Connection of the walls to the floor framing system
3. Size and spacing of the studs, and the floor beams/girders. joist and beam specifications
4. Length of the cantilevers, post to beam and post to floor connections, crush blocks
5. Roof framing member size (if roof framing is truss system, verify that truss size and spacing is in conformity with the approved plans and truss layout plans

2.0 OBSERVATION OF THE EXTERIOR WOOD SHEAR WALLS:
1. Check shear wall type:
2. Sill plate size
3. Anchor bolt spacing and edge distance
4. Size and proper installation of the holdowns
5. Size and spacing of the studs
6. Size of the shear wall boundary element
7. Type and thickness of the plywood
8. Shear wall perimeter and field nail size and spacing
9. Top plate size and splice details
10. Seismic clip connection of the top plate to the rim joist or blocking
11. Upper-level floor sole plate size and nailing
12. Upper-level floor shear wall type, thickness of the plywood
13. Upper-level floor shear wall nail size and spacing at the boundary, panel edges and field
14. Upper-level shear wall stud size and spacing
15. Size and proper installation of the floor-to-floor tiedown
16. Upper-level top plate size and splicing details
17. Seismic clip connection of the top plate to the rim joist or blocking

3.0 UPPER-LEVEL FLOOR
1. Diaphragm thickness, material specification
2. Diaphragm perimeter and field nail size and spacing
3. Connection of the diaphragm to the supporting framing
4. Spacing of the upper-level floor joists

4.0 ROOF DIAPHRAGM
1. Diaphragm thickness, material specification
2. Diaphragm perimeter and field nail size and spacing
3. Connection of the diaphragm to the supporting framing (truss or rafters, etc)
4. Spacing of the roof framing members
5. NOTE: all interior and exterior shear walls must be connected to the bottom of roof diaphragm

LIST OF SPECIAL INSPECTRIONS BY SPECIAL INSPECTION AGENCY
1. ALL SHEAR WALL AND ROOF DIAPHRAGM NAIL SPACING 4in ON CENTERS & LESS SHALL BE INPECTED BY A SPECIAL INSPECTION AGENCY

Special Inspection & Testing Agreement Page 2 of 6 Revision 08/2021

TOWN OF LOS GATOS
SPECIAL INSPECTION AND TESTING SCHEDULE

BROWNS REMODEL/ADDITION
Project Name

Building Application Number Date

14340 BROWNS LANE LOS GATOS, CA 95032
Project Address

Testing Inspection Agency or Special Inspector

REINFORCED CONCRETE, GUNITE, GROUT & MORTAR:

Concrete	Gunite	Grout	Mortar	
				Aggregate Tests
				Reinforcing Test
				Mix Designs
				Reinforcing Placement
				Batch Plant Inspection
				Inspect Placing
				Cast Specimens
				Pick-up Samples
				Compression Tests

PRECAST / PRESTRESSED CONCRETE:

Piles	Post-tens	Pre-tens	Cladding	
				Aggregate Tests
				Reinforcing Test/Samples
				Tendon Tests
				Mix Designs
				Reinforcing Placement
				Invert Placement
				Concrete Batching
				Concrete Placement
				Installation Inspection
				Cast Samples
				Pick-up Samples
				Compression Tests
				Stressing Inspection

MASONRY:
____ Special Inspection Stresses Used
____ Preliminary Acceptance Tests (Masonry Units, Wall Prisms)
____ Subsequent Tests (Mortar, Grout, Field Wall Prisms)
____ Placement Inspection of Units

STRUCTURAL WOOD:

	Inspection of Glu-Lam Fab. AITC Certificate
	Inspection of Truss Joist Fab, Manuf. Certificate
	Sample & Test Components
	Sample & Test
	List specific members below
	Shop Material Identification

PAVING/ASPHALT CONCRETE:

	Core/Test
	Field Inspection
	Field Report for Parking Lot
	Sub-grade compaction Report
	AC Compaction
	Rock Depth and Asphalt Thickness

STRUCTURAL STEEL/WELDING:

	Sample & Test
X	(List specific members below)
	Shop Material Identification
X	Welding Inspection _X_ Shop _X_ Field
	Ultrasonic Inspection ____ Shop ____ Field
	High Strength Bolting Inspection
	Type Bolts ___N___X___F
	Metal Deck Welding Inspection
	Reinforcing Steel Welding Inspection

FIREPROOFING:

	Placement Inspection
	Density Tests
	Thickness Test
	Inspect Batching

INSULATING CONCRETE:

	Sample & Test
	Placement Inspection
	Unit Weights

FILL MATERIAL:

	Acceptance Tests
	Placement Inspection
	Field Density
	Inspection of Pad & Trenches by
	Soils Engineer
	Compaction Report or Pad Certification
	Required prior to concrete pour

POXY BOLTING:
Type: DOWELS EPOXY IN PLACE

OTHER TESTS OR INSPECTIONS:
SHEARWALLS TYPE 4, TYPE 3, TYPE 2 & 2 SIDED SHEAR WALLS
SPECIAL INSPECTION OF STEEL FRAME WELDS 1/4 AND GREATER

Town of Los Gatos Community Development – Building Department 110 E. Main Street, Los Gatos, CA 95030 (408) 354-6874

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

TOWN OF LOS GATOS
BUILDING DIVISION

NOTE#1:
WORK STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS. DO NOT SCALE FROM STRUCTURAL DRAWINGS. FOR DIMENSIONS, REFER TO ARCHITECTURAL PLANS & DETAILS.

REGISTERED PROFESSIONAL ENGINEER
ARMEN SHAMAMIAN
CIVIL
C-022760
EXP. DATE 12-31-25
STATE OF CALIFORNIA

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE GOVERNMENTAL AGENCIES, HAVING JURISDICTION OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN WHOLE OR PARTIALLY, IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST 6TH STREET UNIT 404
PITTSBURG, CA. 94565
(408) 666-6933
armen.asassociates@gmail.com

NO.	DATE	REVISION
a	FEB-14-2025	ISSUED FOR COORDINATION
0	FEB 19-2025	ISSUED FOR PLAN REVIEW
1	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
b	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
3		

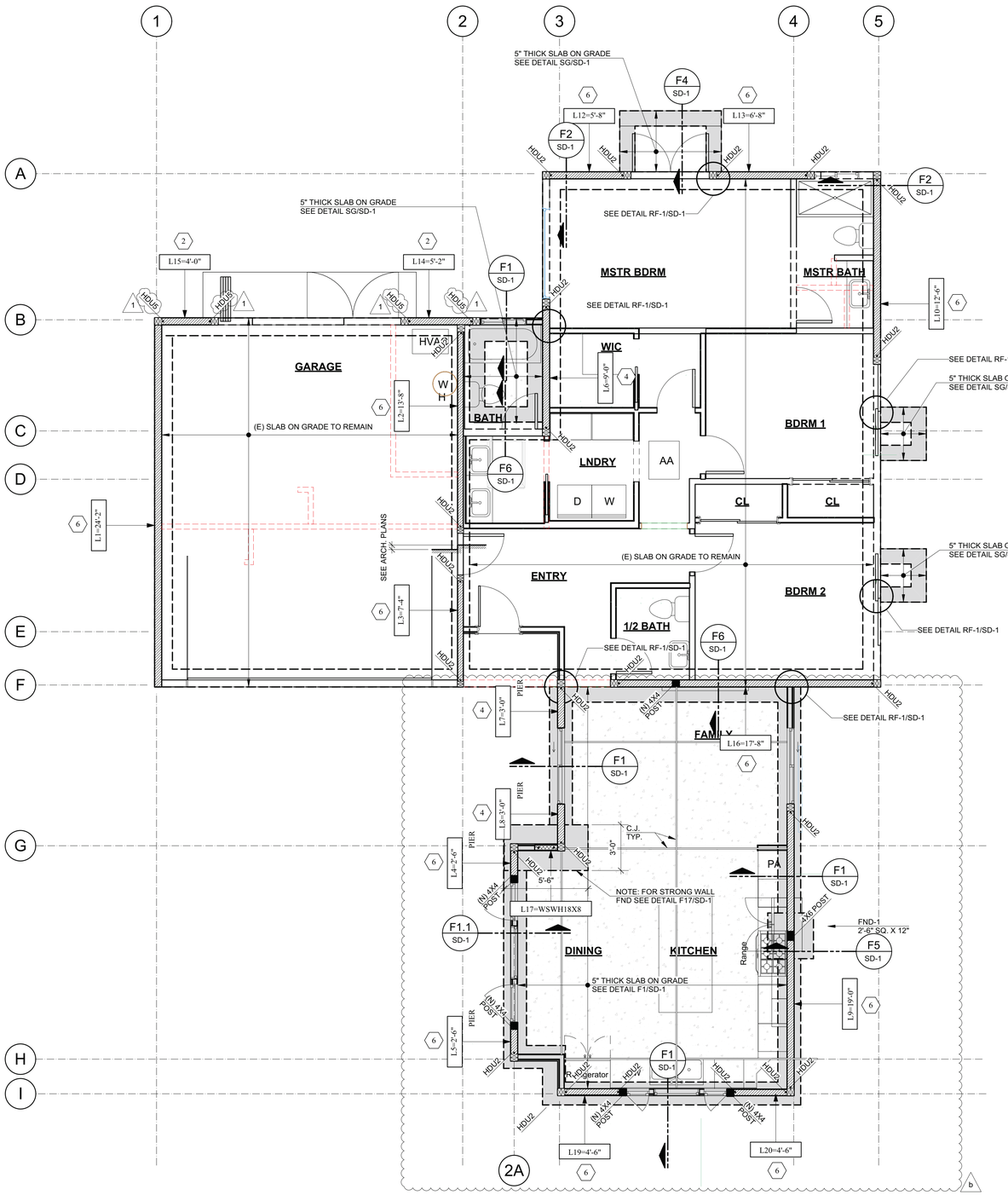
DRAWING TITLE: -

JOB TITLE:
MAC-NOLAD RESIDENCE
RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

PROJECT NO. 025046.45

DRAWING NO. S-0



PLAN - FOUNDATION & WALL FRAMING

0 10 20 FT

1. FASTENERS & CONNECTION HARDWARE:

BOLTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE WASHERS. BOLTS IN CONNECTIONS SHALL BE RE-TIGHTENED JUST BEFORE CLOSING IN OF WALLS.

2. **METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION WITH UNTREATED WOOD**
ALL EXTERIOR METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION WITH UNTREATED WOOD SHALL BE GALVANIZED (G185) 1.85 OZ. OF ZINC PER SQUARE FOOT OF SURFACE (HOT-DIPPED GALVANIZED ER ASTM 53 TOTAL BOTH SIDES). FASTENERS USED WITH SUCH DEVICES SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153 SPECIFICATION

3. **METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION WITH TREATED WOOD**
ALL EXTERIOR & INTERIOR METAL CONNECTORS AND HARDWARE USED IN CONJUNCTION TREATED WOOD SHALL BE 14 GA. AND THICKER, WITH MINIMUM COATING WEIGHT OF 2.0 OZ. OF ZINC PER SQUARE FOOT OF SURFACE (HOT- DIPPED GALVANIZED PER ASTM A123 TOTAL BOTH SIDES). FASTENERS USED WITH SUCH DEVICES SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153 SPECIFICATION.

4. **PRESSURE TREATED WOOD:**
PRESSURE TREATED WOOD SHALL HAVE ACTUAL RETENTION LEVELS GREATER THAN 0.40 PCF. FOR ACQ AND MCQ AND 0.41 PSF FOR CBA-A OR 0.21 PCF FOR CA-B GROUND CONTACT LEVEL. BORATE TREATED WOODS SHALL NOT BE USED FOR OUTDOOR USE. TREATED WOOD HAVING EXCESS SURFACE CHEMICALS ARE CORROSIVE. USE STAINLESS STEEL HARDWARE AND CONNECTORS IN CONJUNCTION WITH SUCH WOOD ELEMENTS

5. **ICC-ESR CURRENT REPORT**
a) ALL FASTENERS AND HARDWARE SHALL HAVE CURRENT ICC-ESR REPORT.
b) FASTENERS ARE DESIGNED BASED ON COMMON NAILS. USE OF NILS OTHER THAN AS SPECIFIED SHALL REQUIRE REDESIGN RECONSIDERATION OF THE NAILS SPACING AND LENGTH OF PENETRATION

GRID	WALL LENGTH & TOP PATE HEIGHT in ft	SHEAR WAL CONNECTORS	BASE SHEAR & SHEAR TYPE
1	**L1=24.1**	A35@16"OC 5/8" A.B @32 HD not required	Type 6
2	**L.2= 13.24 L.3= 7.33 Σ=20.57**	A35@16"OC 5/8" A.B @24" HDU2	Type 6
2A	**L.4=2.8' pier W=9 L.5=2.67 pier Σ= 14.47**	A35@16"OC 5/8" A.B @24" HDU2	Type 6
3	**L6=9.5', H=8' L.7=3, pier H=9 W=5' L.8=3' pier Σ= 20.5'**	A35@16"OC 5/8" A.B @24" HDU2	Type 4
4	**L.9=19, H=9**	A35@16"OC 5/8" A.B @32" HDU2	Type 6
5	**L.10=12.5', H=8' L.11= not used Σ=12.5'**	A35@16"OC 5/8" A.B @32" HDU2	Type 6
A	**L.12=5.67, H=8 L.13==6.67' Σ=12.33'**	A35@16"OC 5/8" A.B @16" HDU2	Type 6
B	**L.15=4' H=8 L.14=5.2' Σ=9.2'**	A35@16"OC 5/8" A.B @16" HDU5	Type 2
F	**L16=17.67, H=8**	A35@16"OC 5/8" A.B @32" HDU2	Type 6
G	**L17=2', H=9' WSWH24X9**		SEE FNDL17
I	**L18=4.5', H=9 L.19=4.5' Σ= 9.0'**	A35@16"OC 5/8" A.B @24" HDU2	Type 6

b

2.0TOP PLATE NOTES:
2.1ALL TOP PLATES SHALL BE MIN. TWO- 2X AND MATCH THE WIDTH OF STUD IT IS BEARING ON.
2.2ALL WALL STUDS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES.
2.3FOR TOP PLATE SPLICE DETAIL SEE DWG "TYPICAL SECTIONS & DETAILS" DWG. SD-5

CORNER REINFORCING STRAPS:
2. 4 ALL BUILDING EXTERIOR CORNERS SHALL BE REINFORCED AT TOP PLATES LEVEL PER "TYPICAL PLATE @ CORNERS & INTERSECTIONS" SHOWN ON "TYPICAL SECTIONS & DETAILS" DWG. SD-5
3.0STUD NOTES:
3.1ALL EXTERIOR STUDS SHALL BE 2X4 AT 16" O.C., UNLESS NOTED OTHERWISE ON THE PLANS.
LISTED HEIGHTS ARE DISTANCES BETWEEN POINTS OF LATERAL SUPPORTS PLACED PERPENDICULAR TO THE PLANE OF WALL. "HINGED" STUDS ARE NOT PERMITTED.

3.2GABLE WALL STUD NOTE:
GABLE STUDS SHALL BE CONTINUOUS FROM TOP OF FLOOR SOLE PLATE TO THE BOTTOM OF THE TOP PLATES. ALL GABLE WALL TOP PLATES SHALL BE LATERALLY SUPPORTED. HINGING OF THE STUDS IS NOT PERMITTED. TYPICAL.

NOTE #6
FOR SAWN LUMBER JOIST HANGER SEE DWG SD-5.
NOTE #7
FOR NOTCHING WOOD STUDS, SOLE PLATES, TOP PLATES AND PIPES IN WALL SEE DETAILS ON DWG SD-5.
NOTE # 8
1.0 HEADER NOTES:
1.1 ALL OPENINGS SHALL BE FRAMED WITH A HEADER. HEADER SIZE SHALL BE PER "HEADER" SHOWN ON THE ROOF FRAMING PLAN.
1.2 MIN. HEADER WIDTH DIMENSION SHALL BE THE SAME AS THE WALL STUD.
2.0 TOP PLATE NOTES:
2.1 ALL TOP PLATES SHALL BE MIN. TWO- 2X 4 AND MATCH THE WIDTH OF STUD IT IS BEARING ON.
2.2 ALL WALL STUDS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES.
2.3 FOR TOP PLATE SPLICE DETAIL SEE DWG "TYPICAL SECTIONS & DETAILS" DWG. SD-5

NOTE#9

CORNER REINFORCING STRAPS:
2. 4 ALL BUILDING EXTERIOR CORNERS SHALL BE REINFORCED AT TOP PLATES LEVEL PER "TYPICAL PLATE @ CORNERS & INTERSECTIONS" SHOWN ON "TYPICAL SECTIONS & DETAILS" DWG. SD-5
3.0 STUD NOTES:
3.1 ALL EXTERIOR STUDS SHALL BE 2X4 AT 24" O.C., UNLESS NOTED OTHERWISE ON THE PLANS.
LISTED HEIGHTS ARE DISTANCES BETWEEN POINTS OF LATERAL SUPPORTS PLACED PERPENDICULAR TO THE PLANE OF WALL. "HINGED" STUDS ARE NOT PERMITTED.
3.2 GABLE WALL STUD NOTE:
GABLE STUDS SHALL BE CONTINUOUS FROM TOP OF FLOOR SOLE PLATE TO THE BOTTOM OF THE TOP PLATES. ALL GABLE WALL TOP PLATES SHALL BE LATERALLY SUPPORTED. HINGING OF THE STUDS IS NOT PERMITTED. TYPICAL.

NOTE #10
ADU SLAB ON GRADE
1 5" THICK CONCRETE SLAB W/ # 4 REINF. BARS @ 12 - INCH ON CENTERS EACH WAY.
PLACE 1--#4 CONTINUOUS. BAR AT ALL SLAB EDGES AND AT THE VICINITY OF THE CONTINUOUS. JOINTS. TYPICAL.

2. ALL CONT. JOINTS SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM START OF PLACING OF CONCRETE.

3. SLAB ON GRADE SHALL NOT BE CONNECTED TO THE FOUNDATIONS U.N.O. ON THE PLANS. SEE "DETAIL SG" ON DWG SD-1.

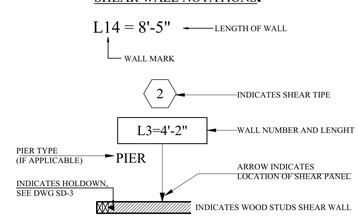
5. SUB-BASE SHALL BE CRUSHED STONE 3/4" MAX. & 5" THICK PLACED ON COMPACTED SOIL WITH 2" WASHED SAND & E.P.D.M. MEMBRANE WATERPROOFING OR ENGINEER APPROVED EQUAL

NOTE
WOOD FOUNDATION OF ANY SORT IS NOT PERMITTED FOR THIS PROJECT

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LEGEND

SHEAR WALL NOTATIONS:



NOTE:

⬡ INDICATES TYPE OF SHEAR WALL INCLUDING

CONNECTION OF:
a. BLOCKING TO TOP PLATES
b. BLOCKING TO SILL OR SOLE PLATE
c. SILL PLATE ANCHOR BOLT SPACING
d. SIZE OF SILL PLATE
e. SOLE PLATE NAILING
f. SHEAR PLYWOOD NAILING
g. SOLE PLATE NAILING
h. ALL OTHER REQUIREMENTS PERTAINING TO SHEAR WALL AS NOTED IN SHEAR WALL SCHEDULE SHOWN ON DWG **SD-3**. WORK THIS SYMBOL ⬡ WITH "SHEAR WALL TABLE 1.0" SCHEDULE SHOWN ON DWG **SD-3**.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

WORK STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS. DO NOT SCALE FROM STRUCTURAL DRAWINGS. FOR DIMENSIONS, REFER TO ARCHITECTURAL PLANS & DETAILS.

PLAN REVIEW APPROVAL
TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

FND & WALL
FRAMING PLAN

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE PERSONS AND ENTITIES WHO HAVE A NEED TO KNOW OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICIAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED TO ANY THIRD PARTY WITHOUT WRITTEN CONSENT, FOR WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST ETA ST REET UNIT 104
PITTSBURG, CA 94565
(408) 696-6933
ameen.asassociates@gmail.com

NO.	DATE	REVISION
A	FEB-14-2025	ISSUED FOR COORDINATION
A	FEB 19-2025	ISSUED FOR PLAN REVIEW
A	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
A	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES

DRAWING TITLE: -

JOB TITLE:
MAC-NOLAD RESIDENCE
RESIDENTIAL REMODEL
143:40 BROWNS LANE
LOS GATOS, CA 95032

REGISTERED PROFESSIONAL ENGINEER
ARMEN SHAMAMIAN
CIVIL
C-022760
EXP. DATE
12. 31. 25
STATE OF CALIFORNIA

DATE:	SCALE:	DRAWN BY:	CHECKED BY:
FEB 1-2025	AS NOTED	H.S.	A. S.

PROJECT NO. 025046.45

DRAWING NO. S-1

PLAN - CEILING FRAMING

0 10 20 FT

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE CONTRACTORS, AGENCIES, AND INDIVIDUALS INVOLVED OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICIAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN WHOLE OR IN PART, IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST 6TH STREET UNIT 104
PITTSBURG, CA. 94565
(408) 696-6933
ameen.asassociates@gmail.com

NO.	DATE	REVISION
A	FEB-14-2025	ISSUED FOR COORDINATION
B	FEB 19-2025	ISSUED FOR PLAN REVIEW
1	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
A	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
2		
3		

DRAWING TITLE: -

JOB TITLE: MAC-NOLAD RESIDENCE
RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

REGISTERED PROFESSIONAL ENGINEER
ASHISH SHAMAMAN
CIVIL
C-022760
EXP. DATE 12-31-25
STATE OF CALIFORNIA

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

WORK STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS. DO NOT SCALE FROM STRUCTURAL DRAWINGS. FOR DIMENSIONS, REFER TO ARCHITECTURAL PLANS & DETAILS.

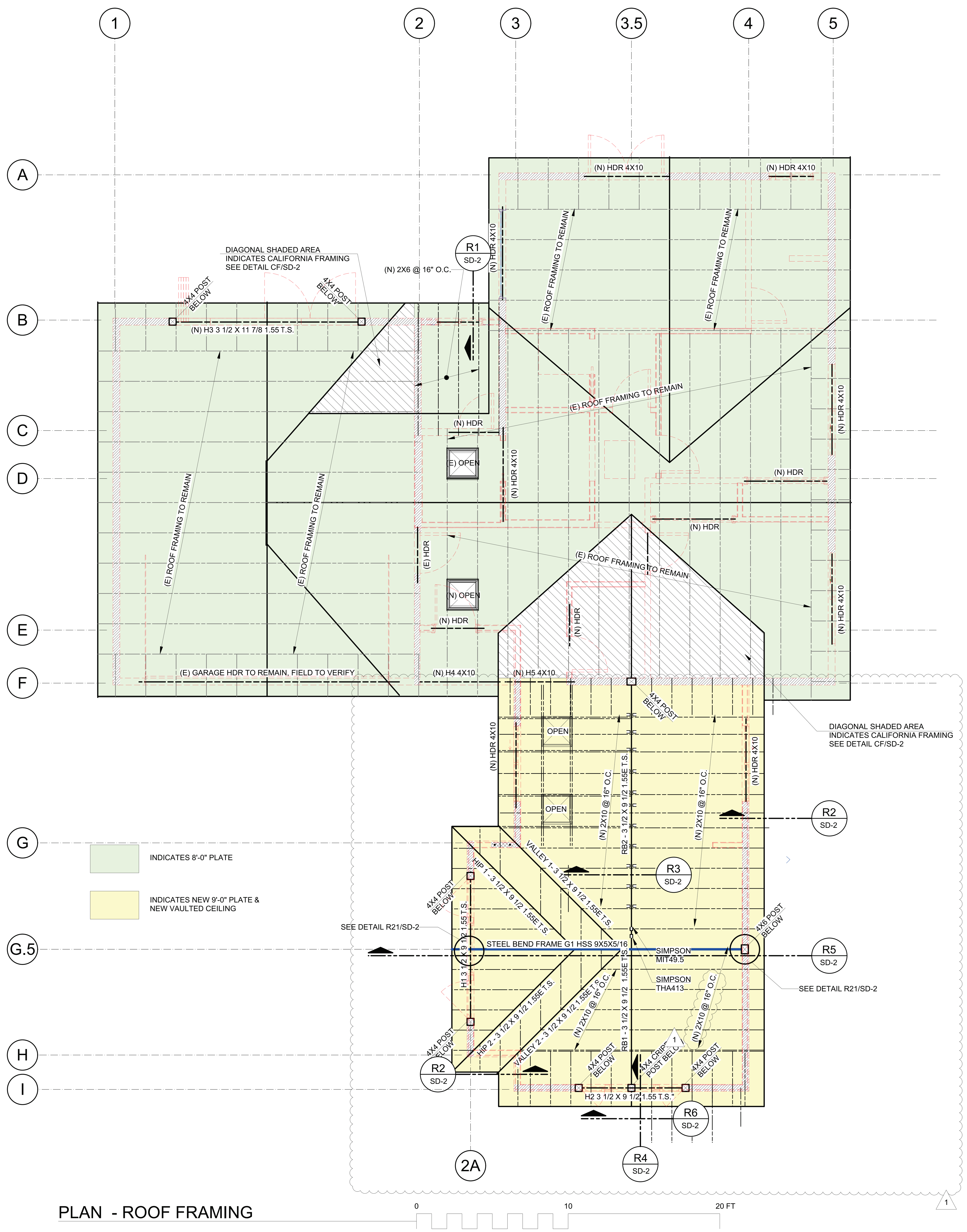
PLAN REVIEW APPROVAL
07/31/2025
TOWN OF LOS GATOS
BUILDING DIVISION

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

PROJECT NO. 025046.45

DRAWING NO. S-2

STRUCTURAL
CEILING FRAMING PLAN



PLAN - ROOF FRAMING

STRUCTURAL STEEL SPECIFICATIONS

1.0 ASTM DESIGNATION:

1.1 DESIGNATIONS, DIMENSIONS & PROPERTIES OF HOT ROLLED SHAPES SPECIFIED HEREIN ARE PUBLISHED IN ASTM SPECIFICATION A6/A6M, STANDARD SPECIFICATION FOR GENERAL REQUIREMENTS FOR ROLLED STEEL PLATES, SHAPES, SHEET PILING AND BARS FOR STRUCTURAL USE.

1.2 HOT ROLLED SHAPES: WIDE FLANGES, CHANNELS, ANGLES ST SECTIONS SHALL CONFORM TO ASTM A992 FY=50-60, FU=65 GR50 UNLESS NOTED OTHERWISE.

1.3 ROUND, RECTANGULAR, & SQUARE STRUCTURAL STEEL TUBING (TS) SHALL CONFORM TO ASTM A500, GRADE "B" (FY = 50 KSI) SPECIFICATION.

1.4 BASE PLATES SHALL CONFORM TO ASTM A36.

1.5 BASE PLATE ANCHOR BOLTS SHALL CONFORM TO ASTM A36.

1.6 STIFF & GUSSET PLATES SHALL CONFORM TO ASTM A36.

2.0 WORKMANSHIP:

1.7 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CURRENT ISSUE OF THE A.I.S.C. SPECIFICATIONS.

1.8 ALL SHOP CONNECTIONS SHALL BE WELDED. WELDING SHALL BE DONE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE AMERICAN WELDING SOCIETY SPECIFICATIONS AND RECOMMENDATIONS.

1.9 ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS & SUBJECT TO "SPECIAL INSPECTION" BY AN AUTHORIZED SPECIAL INSPECTION AGENCY.

1.10 THE INSPECTION OF WELDING SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROVISIONS OF SECTION 6 OF THE AWS STRUCTURAL WELDING CODE - STEEL, D1.1.

1.11 BURNING FOR ENLARGEMENT OF HOLES IN CONNECTIONS AND BASE PLATES IS NOT PERMITTED.

3.0 SUBMITTALS:

1.12 SUBMIT SHOP DRAWINGS & MATERIAL CERTIFICATES, IN TRIPLICATES, TO THE ENGINEER OF THE RECORD FOR REVIEW AND ACCEPTANCE PRIOR TO FABRICATION.

4.0 WELDING NOTES:

1. WELDING & INSPECTION SHALL BE IN ACCORDANCE WITH AWSND1.1, LATEST EDITION.
2. WELDING FILLER METAL SHALL HAVE A MINIMUM V-NOTCH TOUGHNESS OF 20FT-LB AT 00 F (USE OF E70T-4 OR NS-3M IS NOT PERMITTED).
3. ALL WELDS SHALL BE STARTED AND ENDED WITH A MINIMUM LENGTH OF ONE (1) INCH ON WELD TABS ("RUN OFF" TABS) EXCEPT AT ACCESS HOLES IN BEAM/GIRDER WEBS. ALL WELD TABS SHALL BE REMOVED, THE AFFECTED AREA GROUND SMOOTH AND MAGNETIC PARTICLE TESTED FOR DEFECTS.
4. IF BACKING BARS ARE USED UNDER THE BOTTOM BEAM FLANGE TO COLUMN FLANGE CGP GROOVE WELD, THE BACKING BAR SHALL BE REMOVED, THE REMOVED AREA GROUND TO SOUND, BRIGHT METAL AND THE AREA MAGNETIC PARTICLE TESTED FOR DEFECTS. A REINFORCING FILLET WELD, AT LEAST ¼ OF THE BOTTOM FLANGE THICKNESS BUT NOT GREATER THAN 3/8", SHALL BE PLACED IN THIS LOCATION.
5. IF BACKING BAR IS USED UNDER THE TOP TO BEAM FLANGE TO COLUMN CGP (CENTRAL GAUGING/OR GROUNDING POINT) GROOVE WELD, AND IS NOT REMOVED, THE BACKING BAR SHALL BE ATTACHED TO THE COLUMN AND BEAM FLANGES BY EITHER A FILLET WELD ALONG THE COMPLETE BAR LENGTH OF THE UNDER SIDE OF THE BAR, OR BY A PARTIAL PENETRATION WELD FROM THE UNDERSIDE OF THE BAR, FOR THE FULL LENGTH OF THE BAR.
6. "WELD DAMS" ARE NOT PERMITTED.
7. ALL GROOVE WELDS SHALL BE ULTRASONICALLY (UT) EXAMINED FOR THE FULL LENGTH. BACKING BAR REMOVAL AREAS AND FILLET WELDS ON CONTINUITY PLATES SHALL BE EXAMINED FOR THE FULL LENGTH BY THE MAGNETIC PARTICLE TESTING (MPT) METHOD.
8. SUBMIT STEEL "SHOP DRAWINGS" & COMPLETE WELDING PROCEDURE TO THE ENGINEER OF THE RECORD AND THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO ANY WELDING IS COMMENCED.

CHEDULE OF ROOF/CEILING RAFTERS & HANGERS

JOIST / RAFTER SIZE	SIMPSON – FACE MOUNT HANGER FOR SOILID SAWN D/F LUMBER ONLY	NOTES
2X6	LU26	
2-2X6	LU26-2	
2X8	LU26	
2-2X8	HU28-2	
2X10	LU210	
2-2X10	U210-2	
2X12	LU210	
4X6	U46	
4X8	HU48	
4X10	HU410	
4X12	HU412	

NOTES:

1. See plans where slopped/ hangers are required
2. For specification of slopped/skewed hangers see structural plans
3. FILL ALL ROUND & TRIANGULAR NAIL HOLES
4. All steel connectors shall be Simpson product. For use of other product written approval of the engineer of the record is required.

SCHEDULE OF CEILING AND ROOF BEAMS AND RELATED STEEL HARDWARE

LOCATION	MEMBER SIZE	RELATED HARDWARE	NOTES
ROOF	RAFTER: 2X10	LU28	
ROOF	RB1: 3 ½ X 9 ½ , 1.55E TIMBERSTAND LSL	MIT49.5	
ROOF	BB2: 3 ½ X 9 ½ , 2.2E PARALLAM PSL	THA413	
ROOF	VALLEY 1: 3 1/2X 9 ½ 1.55E, TS, PSL	LSSR410Z	
ROOF	VALLEY 2 : 3 1/2X 9 ½ 1.55E, TS, PSL	LSSR410Z	
ROOF	HIP1: 3 1/2X 9 ½ 1.55E, TS, PSL	LSSR410Z	
ROOF	HIP2: 3 1/2X 9 ½ 1.55E, TS, PSL	LSSR410Z	
ROOF	GIRDER G1: HSS9X5X5/16	WELDED STEEL PLATE	SUPPORTED BY POSTS

SCHEDULE OF THE HEADERS

MEMBER	HEADER NUMBER & SIZE	SUPPORT	NOTES
HEADER	H1: 3 1/2X11 7/8 1.55E TS LSL	4X4 POSTS	GRID LINE 3.7
HEADER	H2: 3 1/2X9 1/2 1.55E TS LSL	4X4 POST	GID LINE 1
HEADER	H3: 3 1/2X9 1/2 1.55E TS LSL	4X4 POST	GRID LINE B
HEADER	H4 & H5: 4X10 DF No. 1	2-2X4 TRIMMER	GRID LINE E

ROOF DIAPHRAGM SPECIFICATION:

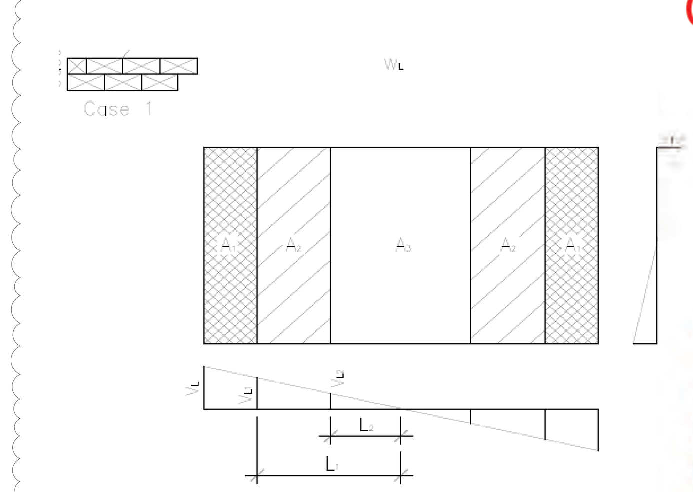
ROOF DIAPHRAGM SPECIFICATION:

ROOF DIAPHRAGM SHALL BE **UNBLOCKED**, (UNLESS NOTED OTHERWISE ON THE ROOF FRAMING PLAN) DOC SP-1 OR SP-2 (APA OR TECO PERFORMANCE RATED, 15/32-INCH THICK, STRUCTURAL C-DX, PLYWOOD PANEL RATING 48/16, WITH 8d COMMON NAILS WITH MIN.1 5/8" PENETRATION, SPACED AT 6" O.C. AT DIAPHRAGM BOUNDARIES, ROOF SHEAR COLLECTOR MEMBERS & AT CONTINUOUS PANEL EDGES, & 6" O.C. NAIL SPACING AT OTHER PLYWOOD EDGES & 12" O.C. @ FIELD.

PLYWOOD JOINTS SHALL OCCUR AT THE CENTER OF FRAMING MEMBERS OR BLOCKING. THE MINIMUM EDGE DISTANCE FOR NAILS IN RECEIVING MEMBERS AND PLYWOOD SHALL BE 3/8- INCH FOR 2-INCH NOMINAL RECEIVING MEMBERS & 1 1/2-INCH FOR 3-INCH NOMINAL RECEIVING MEMBERS.

FLAT BLOCKING RECEIVING 10d NAILS SHALL BE 3-INCH BY 4-INCH NOMINAL OR LARGER.

NO PANEL SHALL BE LESS THAN 24" IN WIDTH. PROVIDE 1/8" GAP BETWEEN ALL PLYWOOD EDGES. SEE DETAIL ON DWG SD-1



COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

LEGEND

INDICATES BEARING WALL BELLOW

INDICATES CS14 ROOF DRAG SEE DETAIL FD14/SD-3.1

REB	INDICATES ROOF EDGE BEAM
RB	INDICATES ROOF BEAM
B	INDICATES FLOOR BEAM
EB	EDGE BEAM (@ SECOND FLOOR & LOWER ROOF)
HDR	INDICATES HEADER, SEE HEADER SCHEDULE DWG SD-5 FOR SIZE

NOTE:

INDICATES TYPE OF SHEAR WALL INCLUDING CONNECTION OF:

a. BLOCKING TO TOP PLATES
b. BLOCKING TO SILL OR SOLE PLATE
c. SILL PLATE ANCHOR BOLT SPACING
d. SIZE OF SILL PLATE
e. SOLE PLATE NAILING
f. SHEAR PLYWOOD NAILING
g. SOLE PLATE NAILING

AND

h. ALL OTHER REQUIREMENTS PERTAINING TO SHEAR WALL AS NOTED IN SHEAR WALL SCHEDULE SHOWN ON DWG **SD-3**. WORK THIS SYMBOL WITH "SHEAR WALL TABLE 1.0" SCHEDULE SHOWN ON DWG SD-3.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE GOVERNMENTAL AGENCIES, HAVING JURISDICTION OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN WHOLE OR PARTIALLY, IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST 6TH STREET UNIT 404
PITTSBURG, CA. 94565
(408) 666-6933
armen.asassociates@gmail.com

NO.	DATE	REVISION
a	FEB-14-2025	ISSUED FOR COORDINATION
0	FEB 19-2025	ISSUED FOR PLAN REVIEW
1	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
b	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
3		

DRAWING TITLE: -

JOB TITLE: MAC-NOLAD RESIDENCE RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

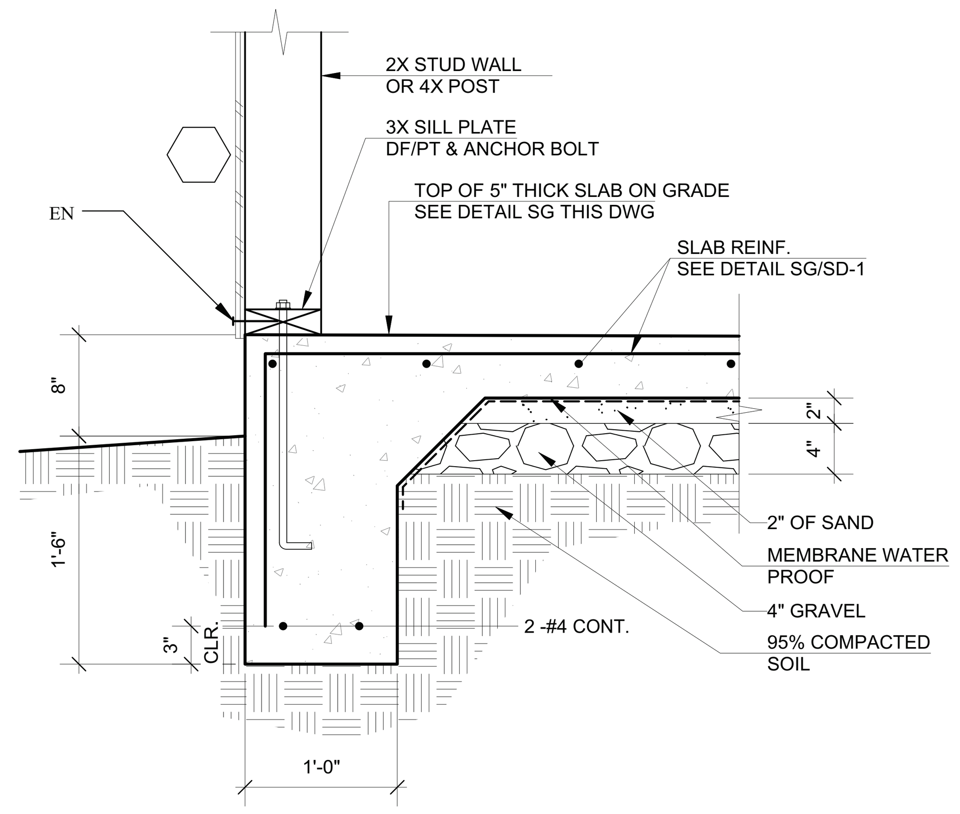
REGISTERED PROFESSIONAL ENGINEER ARMEN SHAMAMIAN CIVIL C-022760 EXP. DATE 12-31-25 STATE OF CALIFORNIA

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

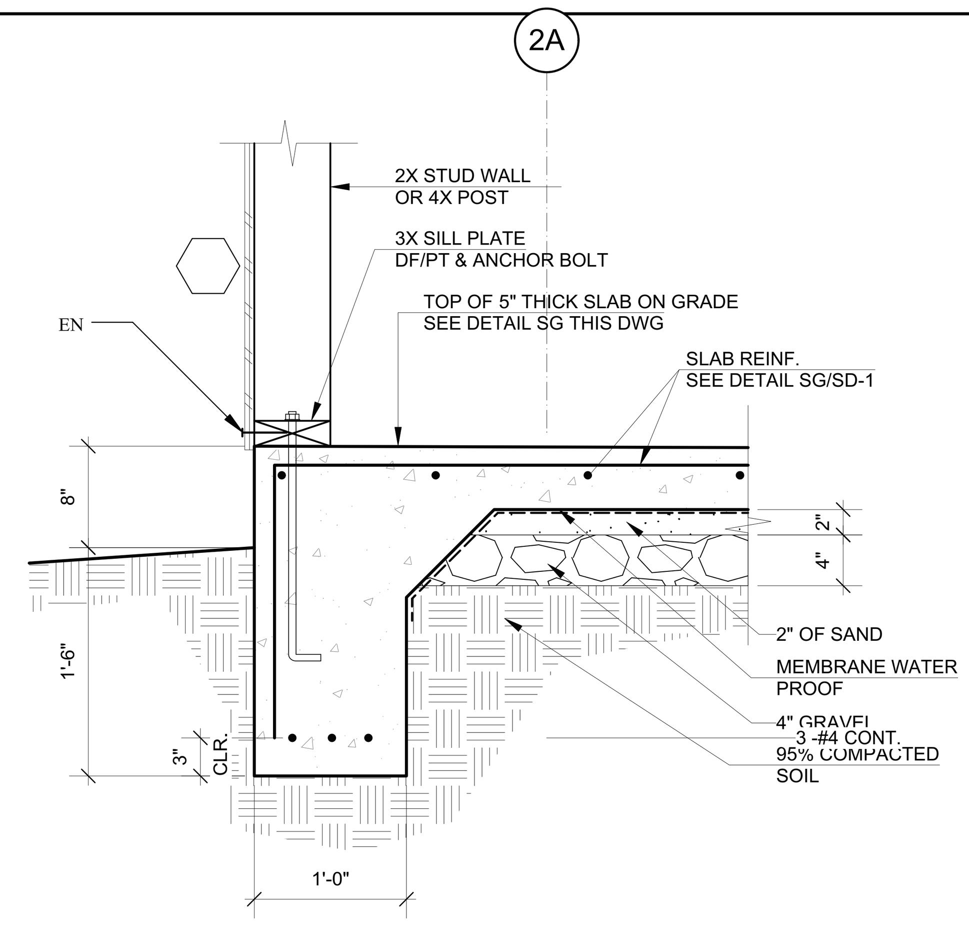
PROJECT NO. 025046.45

ROOF FRAMING PLAN

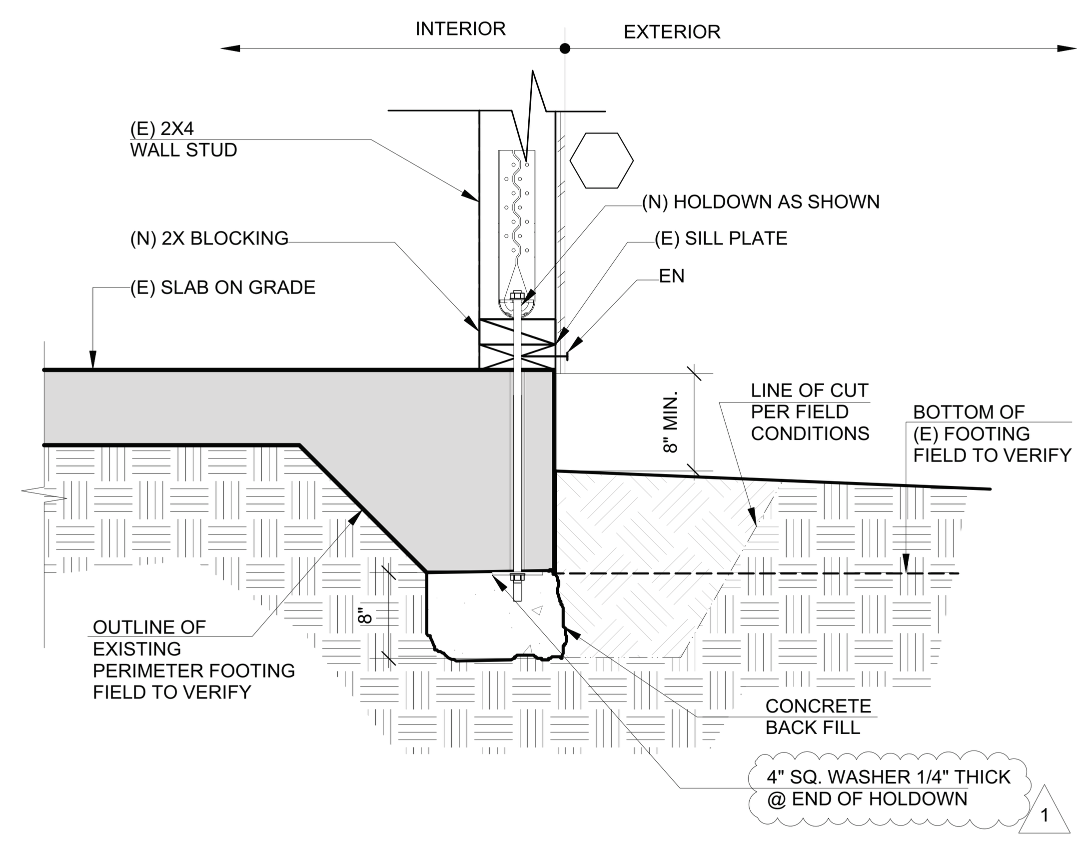
DRAWING NO. S-3



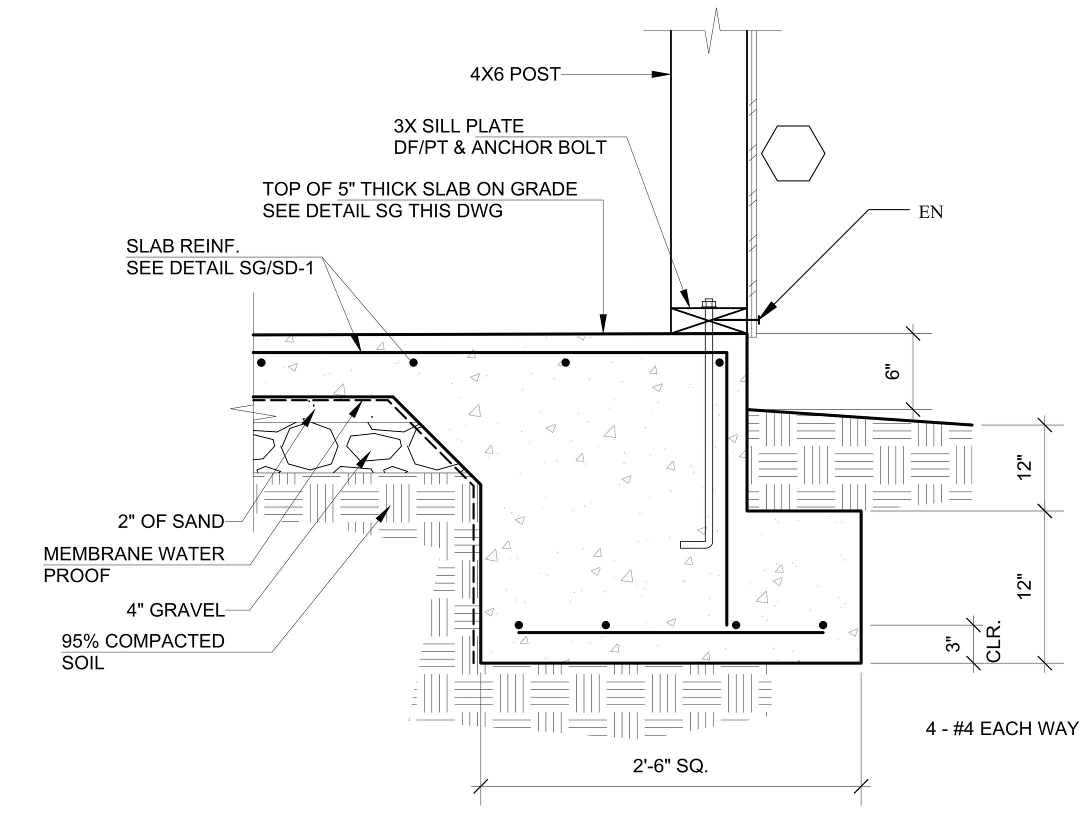
F1 SECTION
TYP. PERIMETER FOOTING



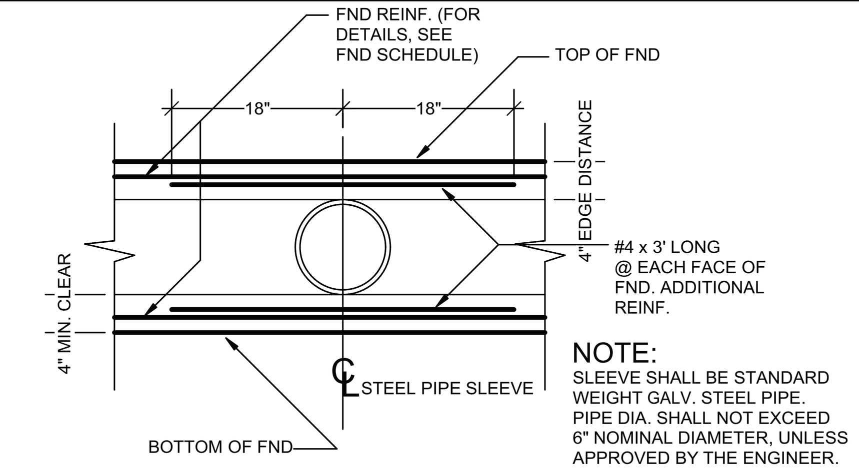
F1.1 SECTION
TYP. PERIMETER FOOTING



F2 SECTION
TYP. HOLDOWN ANCHORAGE @ EXISTING FND

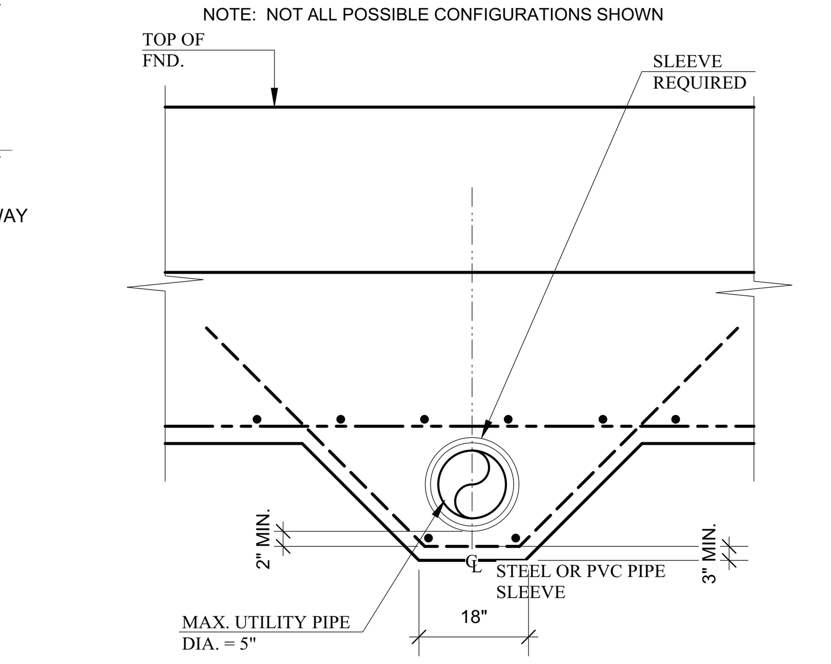


F5 SECTION
TYP. PERIMETER FOOTING



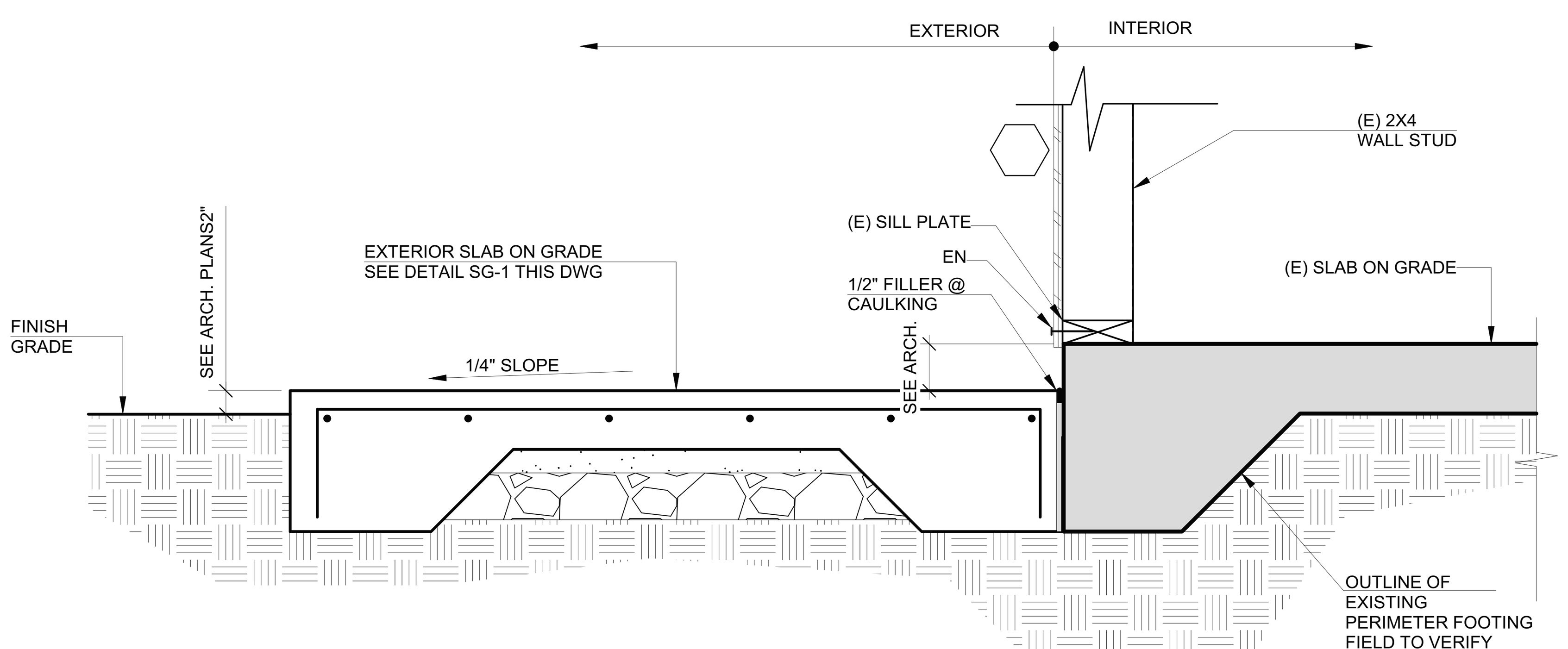
DETAIL SLV
TYP. ELEVATION OF STEEL PIPE SLEEVE THROUGH CONC. FOUNDATION OR CONC. WALL

NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN

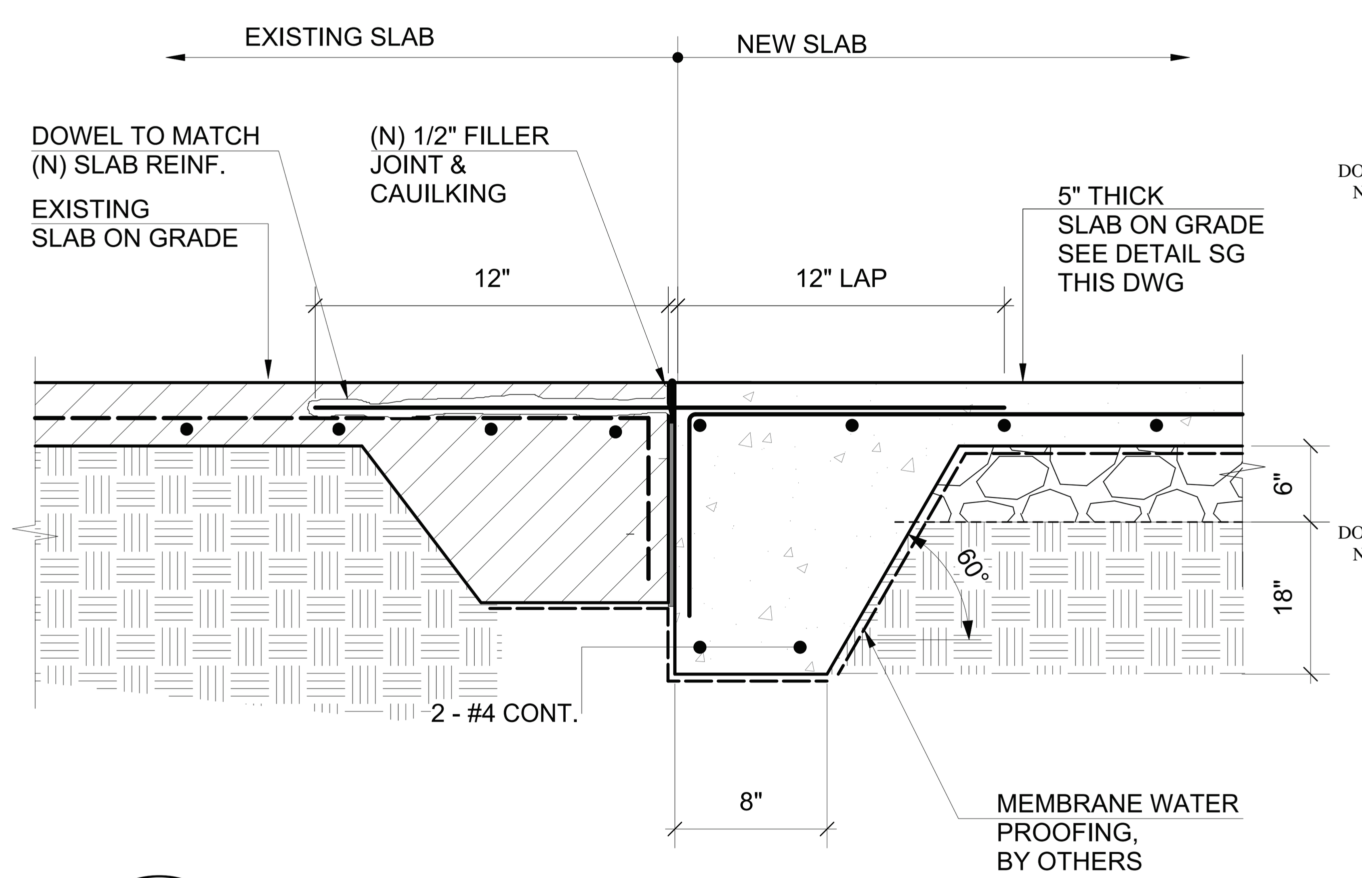


DETAIL SLV-1
TYP. ELEVATION OF STEEL PIPE UNDER CONCRETE FOOTING

NOTE: NOT ALL POSSIBLE CONFIGUARIONS SHOWN

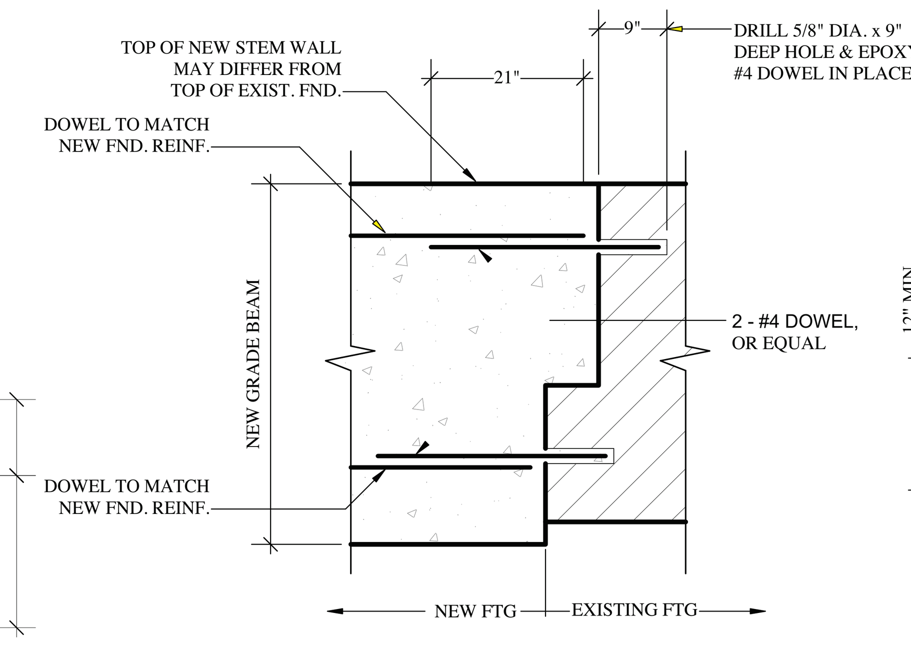


F4 SECTION
TYP. PERIMETER FOOTING @ EXTERIOR LANDING

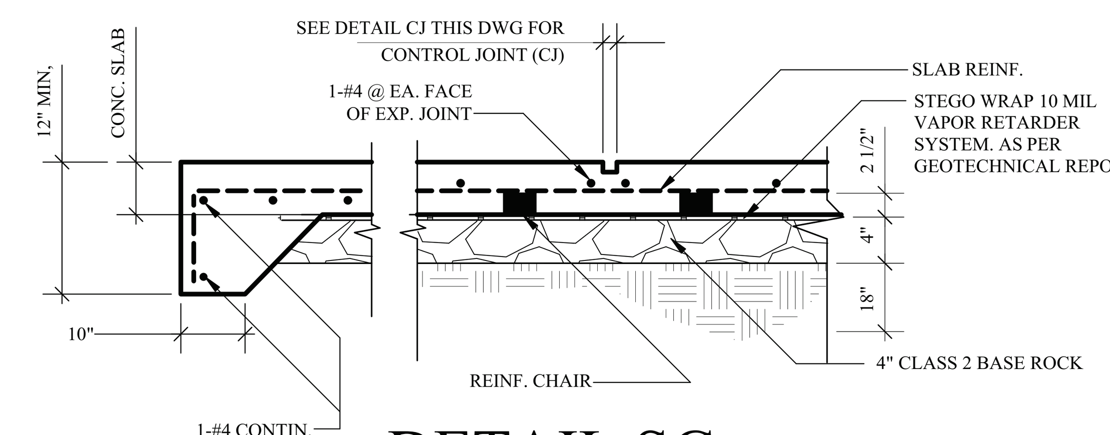


F6 / S-1 SECTION
TYP. SECTION THROUGH (E) PERIMETER FOOTING, HOLDOWN RETROFIT

@ EXISTING STEPED FOOTING WALL



DETAIL RF-1
TYP. DETAIL OF CONNECTING NEW FOUNDATION TO EXISTING FOUNDATION

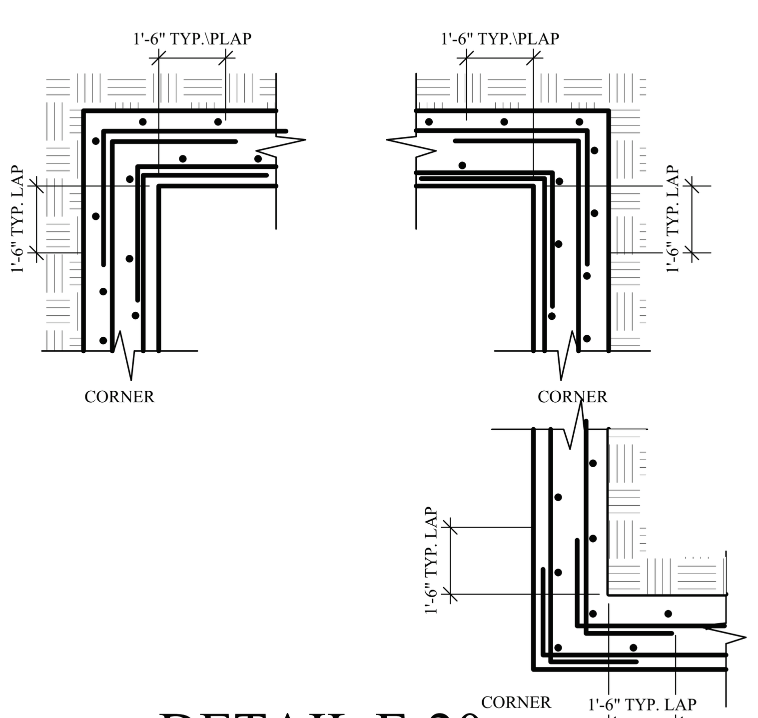


DETAIL SG
TYP. INTERIOR SLAB ON GRADE

INTERIOR SLAB ON GRADE

1. 5" CONCRETE SLAB WITH #4 REINF. BARS @ 12" O.C., EACH WAY.
2. PLACE 1- #4 CONTINUOUS BAR AT ALL SLAB EDGES AND AT THE VICINITY OF THE CONTINUOUS JOINTS. TYP.
3. ALL CONTROL JOINTS SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM START OF PLACING OF CONCRETE.
4. SUB-BASE SHALL BE COMPRISED BY VAPOR RETARDER OVER PERMEABLE MATERIAL SEE **"DETAIL SG," THIS DWG.**
5. SOIL COMPACTION AND SUB-BASE SHALL BE PREPARED UNDER SUPERVISION OF A GEOTECHNICAL ENGINEER.
6. SUBGRADE PREPARATION PER GEOTECHNICAL REPORT TIME 17, 18 & 19

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP



DETAIL F-20
TYP. FOUNDATION REINF.
STEM WALL REINF. DETAIL (SIMILAR)

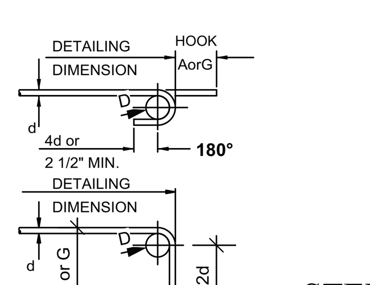
NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN

STANDARD HOOKS
ALL SPECIFIC SIZES RECOMMENDED BY CRSI BELOW MEET MINIMUM REQUIREMENTS OF ACI 318.

RECOMMENDED END HOOKS
ALL GRADES OF STEEL (MINIMUM YIELD STRENGTHS)

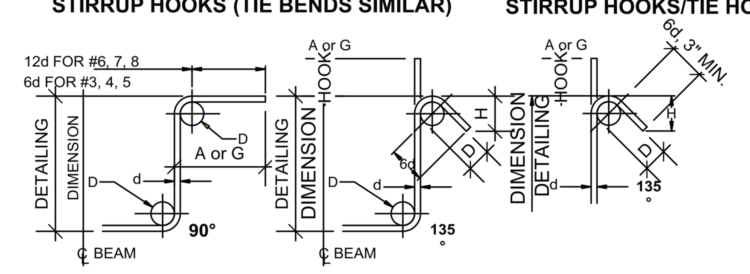
D = FINISHED INSIDE BEND DIAMETER
d = BAR DIAMETER

BAR SIZE	180° HOOKS			90° HOOKS
	D	A or G	J	A or G
#3	2 1/4"	5"	3"	6"
#4	3"	6"	4"	8"
#5	3 3/4"	7"	5"	10"



STIRRUP HOOKS (TIE BENDS SIMILAR)

STIRRUP HOOKS/TIE HOOKS



STIRRUPS (TIES SIMILAR)

STIRRUP AND TIE HOOK DIMENSIONS

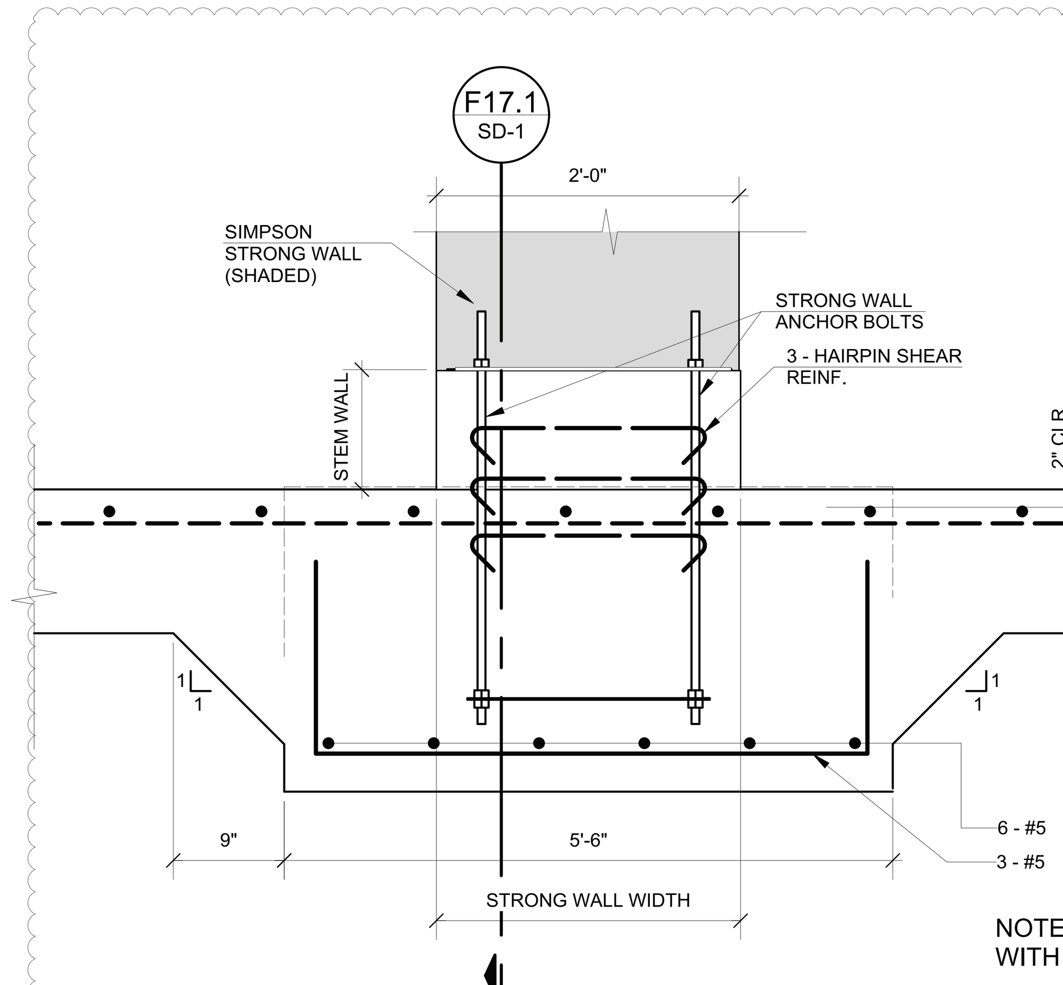
BAR SIZE	D	90° HOOK	135° HOOK	
		HOOK A or G	HOOK A or G	H* APPROX.
#3	1 1/2"	4"	4"	2 1/2"
#4	2"	4 1/2"	4 1/2"	3"
#5	2 1/2"	6"	5 1/2"	3 3/4"

*H DIMENSION IS APPROXIMATE

SEISMIC STIRRUP/ TIE HOOK DIMENSIONS

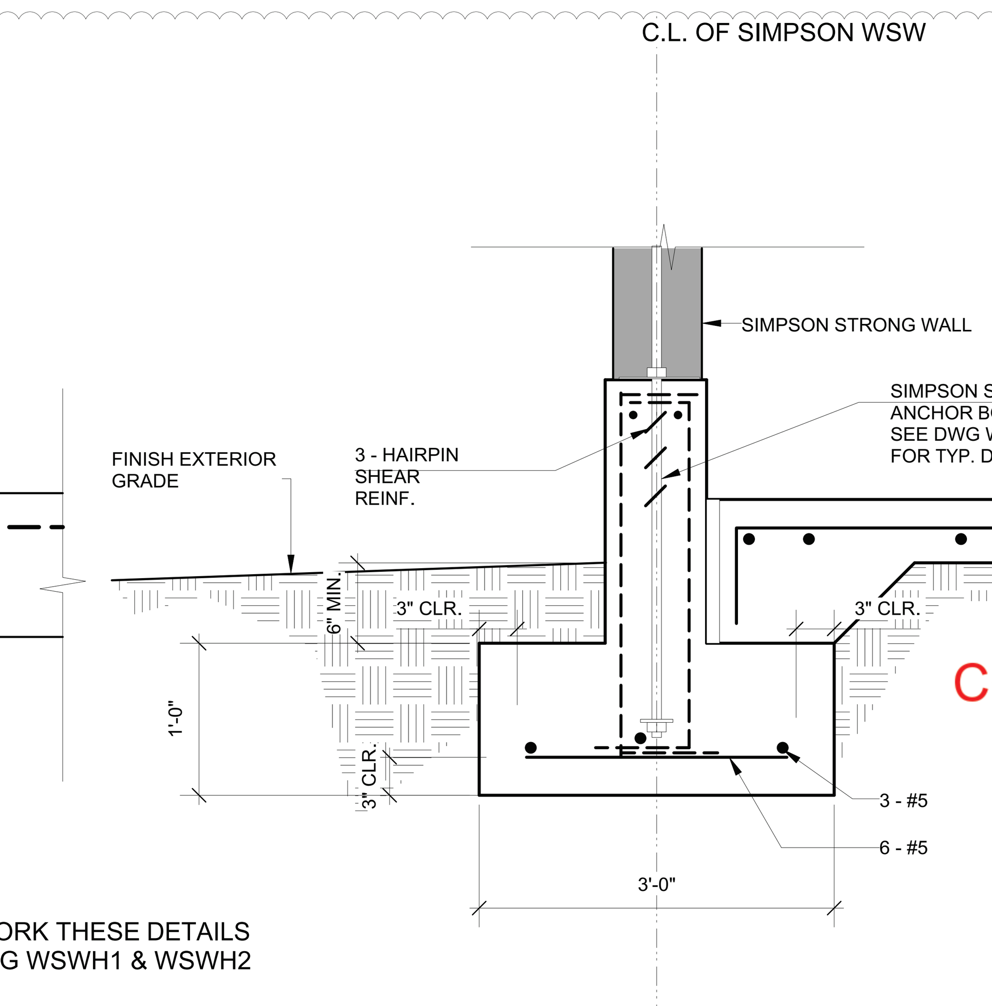
BAR SIZE	D	135° HOOK	
		HOOK A or G	H* APPROX.
#3	1 1/2"	4 1/4"	3"
#4	2"	4 1/2"	3"
#5	2 1/2"	5 1/2"	3 3/4"

*H DIMENSION IS APPROXIMATE

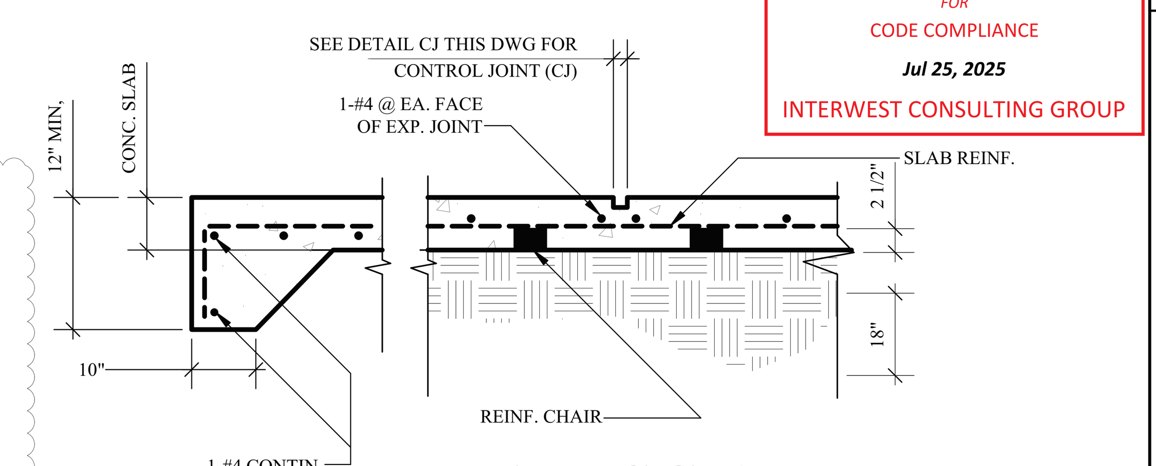


NOTE: WORK THESE DETAILS WITH DWG WSWH1 & WSWH2

SECTION F17
TYPICAL STRONG WALL FOOTING
NOT TO SCALE
NOT ALL POSSIBLE CONF. SHOWN



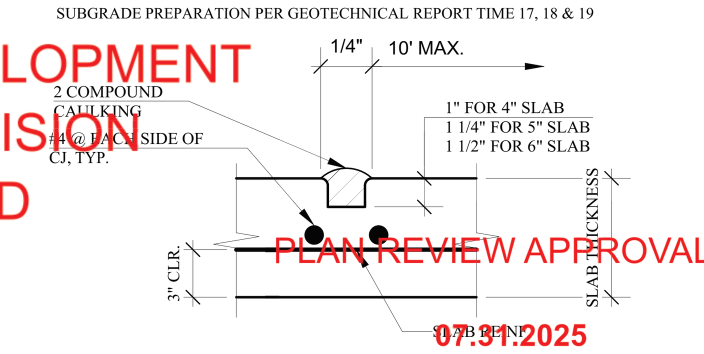
SECTION F17.1
TYPICAL STRONG WALL FOOTING @ EXTERIOR WALL
NOT TO SCALE
NOT ALL POSSIBLE CONF. SHOWN



DETAIL SG-1
TYP. EXTERIOR SLAB ON GRADE

EXTERIOR SLAB ON GRADE

1. 5" CONCRETE SLAB WITH #4 REINF. BARS @ 12" O.C., EACH WAY.
2. PLACE 1- #4 CONTINUOUS BAR AT ALL SLAB EDGES AND AT THE VICINITY OF THE CONTINUOUS JOINTS. TYP.
3. ALL CONTROL JOINTS SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM START OF PLACING OF CONCRETE.
4. SEE **"DETAIL SG-1," THIS DWG.**
5. SOIL COMPACTION AND SUB-BASE SHALL BE PREPARED UNDER SUPERVISION OF A GEOTECHNICAL ENGINEER.
SUBGRADE PREPARATION PER GEOTECHNICAL REPORT TIME 17, 18 & 19



C.J. DETAIL
TYPICAL CONTROL JOINT
NOT TO SCALE
WORK THIS DETAIL WITH DETAIL SG THIS DWG

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

FOUNDATION SECTIONS & DETAILS

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE GOVERNMENTAL AGENCIES, HAVING JURISDICTION OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN WHOLE OR PARTIALLY, IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST 6TH STREET UNIT 404
PITTSBURG, CA. 94565
(408) 666-6933
armen.asassociates@gmail.com

NO.	DATE	REVISION
a	FEB-14-2025	ISSUED FOR COORDINATION
0	FEB 19-2025	ISSUED FOR PLAN REVIEW
1	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
b	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
3		

DRAWING TITLE: -

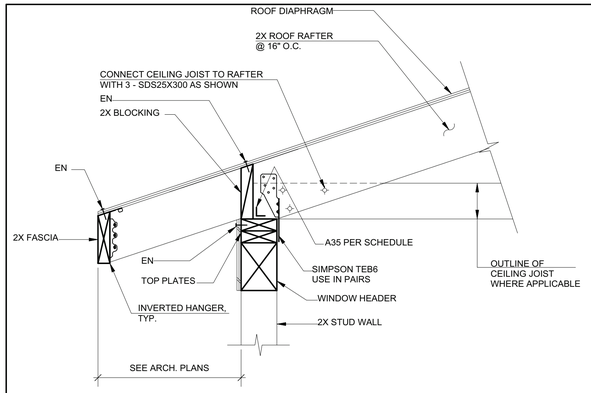
JOB TITLE: MAC-NOLAD RESIDENCE RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

REGISTERED PROFESSIONAL ENGINEER
ARMEN SHAMAMIAN
CIVIL
C-022760
EXP. DATE 12-31-25
STATE OF CALIFORNIA

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

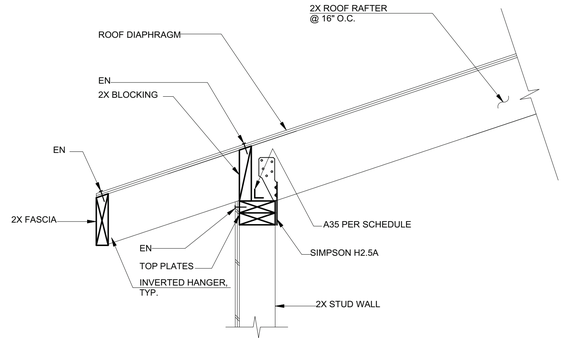
PROJECT NO. 025046.45

DRAWING NO. SD-1



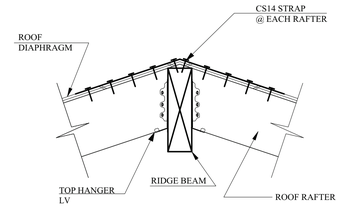
DETAIL R-1

ROOF EAVE @ FLAT CEILING
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE



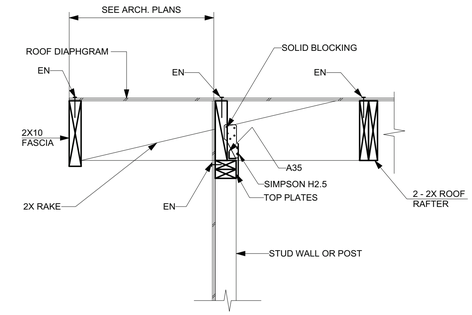
DETAIL R-2

ROOF EAVE @ VAULTED CEILING
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE



DETAIL R-3

RIDGE BEAM FRAMING
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE

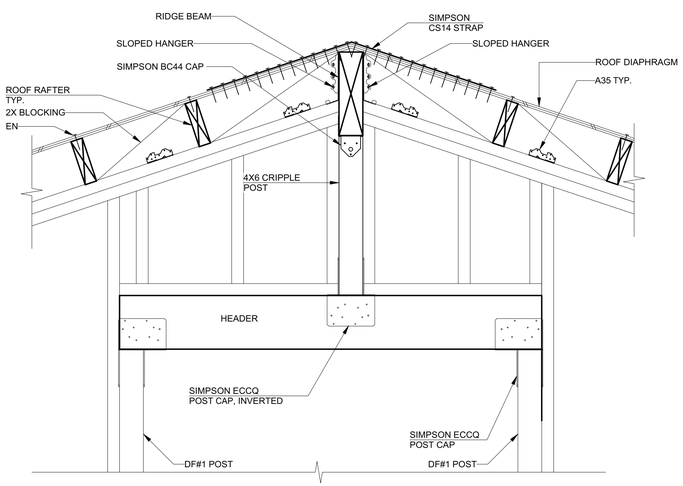


DETAIL R-4

TYP. RAKE DETAIL
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE

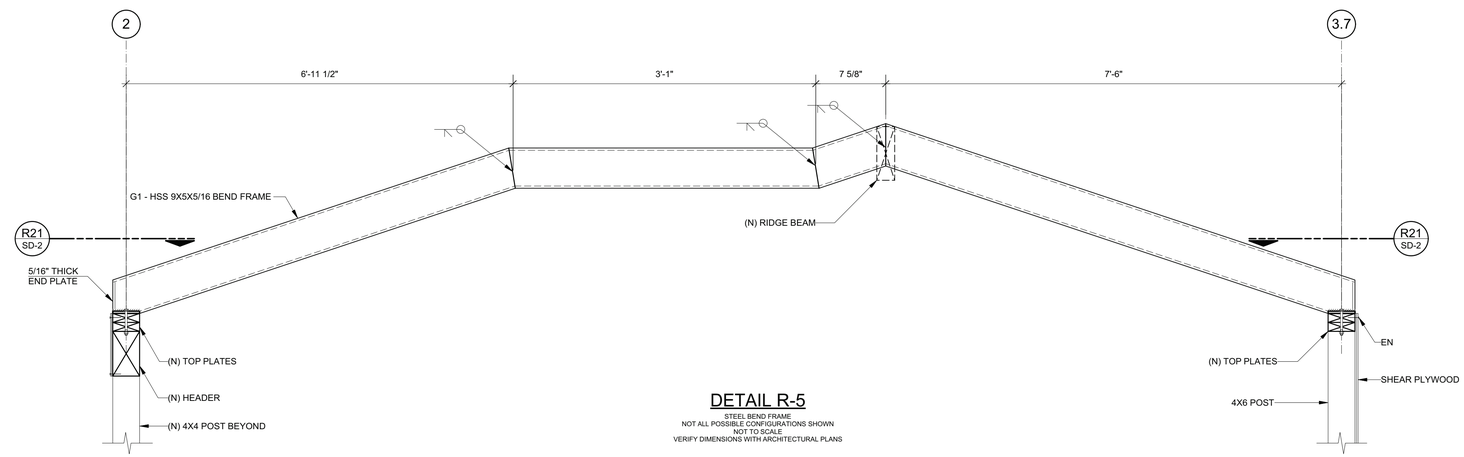
REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO OTHERS INVOLVED IN THE PROJECT FOR WHICH THE SERVICES WERE PERFORMED, WHO NEED THEM IN THE PERFORMANCE OF OFFICIAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED TO ANY THIRD PARTY IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.



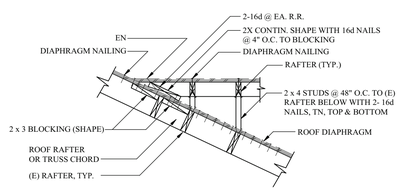
DETAIL R-6

TYPICAL CRIPPE POST OVER HEADER
NOT TO SCALE
NOT ALL POSSIBLE CONF. SHOWN



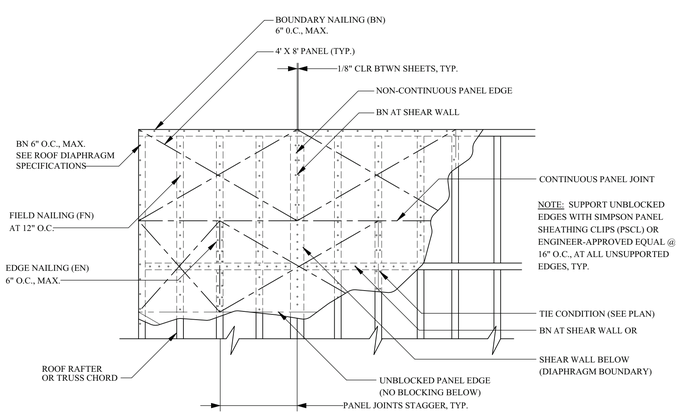
DETAIL R-5

STEEL BEND FRAME
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE
VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS



DETAIL CF

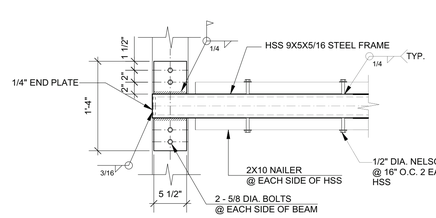
TYP. CALIFORNIA FRAMING DETAIL
NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN



DETAIL RD-1

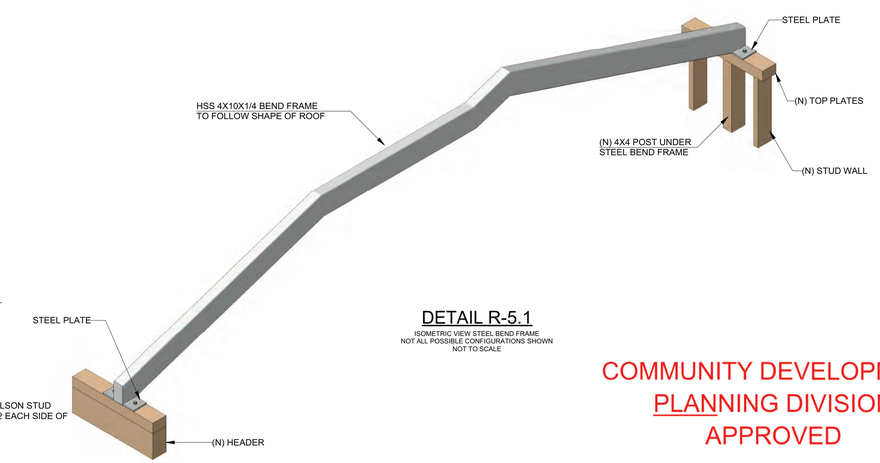
TYP. ROOF DIAPHRAGM LAYOUT

EN = EDGE NAILING
DN = DIAPHRAGM NAILING
BN = PANEL BOUNDARY NAILING
NOTE: NOT ALL POSSIBLE CONF. SHOWN



DETAIL R-21

STEEL FRAME CONNECTION TO
TOP PLATES @ GRIDLINE F.5
NOT TO SCALE
NOT ALL POSSIBLE CONF. SHOWN



DETAIL R-5.1

ISOMETRIC VIEW STEEL BEND FRAME
NOT ALL POSSIBLE CONFIGURATIONS SHOWN
NOT TO SCALE

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

A. S. Associates
ENGINEERS & PLANNERS
88 EAST ETA STREET UNIT 104
PITTSBURG, CA. 94565
(408) 696-6933
ameen.asassociates@gmail.com

NO.	DATE	REVISION
A	FEB-14-2025	ISSUED FOR COORDINATION
B	FEB 19-2025	ISSUED FOR PLAN REVIEW
C	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
D	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
E		
F		

DRAWING TITLE: -
JOB TITLE: MAC-NOLAD RESIDENCE RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

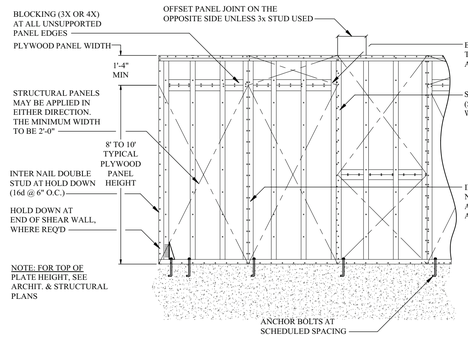
REGISTERED PROFESSIONAL ENGINEER
ARMIN SHAMAMIAN
CIVIL
C-022760
EXP. DATE 12-31-25
STATE OF CALIFORNIA

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

PROJECT NO. 025046.45
DRAWING NO. SD-2

SHEAR WALL NOTES:

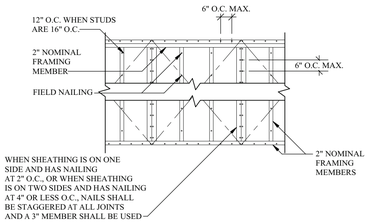
1. SHEAR WALL PLYWOOD PANEL GRADE: SHEAR WALL OR SHEAR PANEL SHALL BE EITHER PLYWOOD SHEATHING THICKNESS SHALL BE AS SHOWN IN THE SHEAR WALL SCHEDULE. SHEAR PLYWOOD SHALL BE C-DX, STRUCTURAL GRADE II, OR OSB ENGINEERED WOOD. OSB SHALL HAVE I.C.B.O. APPROVED TESTING FOR ***CYCLIC*** LATERAL FORCE. **OSB SHALL NOT BE USED IN WET SEASONS OR UNDER WET CONDITIONS.**
2. NAILS SHALL BE COMMON NAILS OR GALVANIZED COMMON NAILS
3. NAIL SIZE AND SPACING SHALL BE AS PER SHEAR WALL SCHEDULE. NAILING SHALL BE APPLIED TO ALL DIAPHRAGM BOUNDARIES AND PLYWOOD PANEL EDGES. NAIL SPACING AT INTERMEDIATE FRAMING MEMBERS SHALL BE AT 12" O.C. UNLESS NOTED OTHERWISE.
4. FLOOR DIAPHRAGM SHALL BE NAILED INDEPENDENT FROM SOLE PLATE NAILING.
5. PROVIDE (SEE SCHEDULE) NOMINAL OR WIDER BLOCKING AT ALL UNSUPPORTED PANEL EDGES OF SHEAR WALLS.
6. UNLESS NOTES OR SHOWN OTHERWISE ON THE PLANS, WALLS BETWEEN SHEAR WALLS OR SHEAR PANELS SHALL RECEIVE PLYWOOD (THICKNESS TO MATCH SHEAR PLYWOOD) WITH (SEE SCHEDULE) NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT FIELD.
7. WHERE 16d NAILS ARE USED AND SUCH NAIL SPACING IS 3" O.C. OR LESS USE 3-INCH NOMINAL.
8. NAIL HEAD SHALL NOT PENETRATE THE EXTREME FIBER OF PLYWOOD PANEL. (SEE DETAIL W-2)
9. IN HORIZ. PLYWOOD DIAPHRAGM NO PANEL LESS THAN 24" WIDE MAY BE USED.
10. SHEAR WALL MATERIAL SHALL EXTEND TO THE EDGE OF DOOR AND WINDOW OPENINGS. USE "C" CUT AT DOORWAY AND WINDOWS.
11. WHEN STUDS ARE DIRECTLY PLACED ON TOP OF SILL AND/OR SOLE PLATE AND THE SHEAR PANEL IS SHEARED AT EACH FACE, THE WIDTH OF THE SILL OR SOLE PLATE SHALL BE THE SAME AS THE STUD WIDTH.
12. SHEAR WALL PENETRATION SHALL BE SUBJECT TO OBTAINING PRIOR APPROVAL FROM ENGINEER. (FOR SMALL OPENINGS SEE DETAIL W-4)
13. SHEAR PANEL STUD SHALL BE 2X4 (MIN) SPACED @ 16" O.C., EXCEPT AS NOTED ON THE SHEAR WALL SCHEDULE.



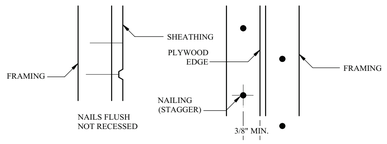
DETAIL W-1

TYP. SHEAR WALL ELEVATION

WORK THIS DETAIL WITH SHEAR WALL SCHEDULE

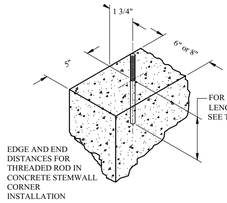


SHEARWALL ELEVATION



NAIL PENETRATION

PANEL EDGE NAILING



INSTALLATION:

- DRILL HOLE TO SPECIFIED DIAMETER AND DEPTH. REMOVE DUST FROM HOLE WITH OIL-FREE COMPRESSED AIR. CLEAN WITH NYLON BRUSH AND BLOW OUT REMAINING DUST. DUST LEFT IN HOLE WILL REDUCE EPOXY'S HOLDING CAPACITY.
- DISPENSE A BEAD OF EPOXY-TIE OFF TO THE SIDE TO CHECK FOR PROPER MIXTURE, SHOWN BY A UNIFORM GRAY COLOR BEFORE USING. FILL HOLE HALFWAY, STARTING FROM THE BOTTOM OF THE HOLE TO AVOID AIR POCKETS.
- WITHDRAW NOZZLE AS HOLE FILLS UP. ANCHORS MUST BE CLEAN AND OIL FREE. INSERT ANCHOR, TURNING SLOWLY UNTIL ANCHOR HITS THE BOTTOM OF THE HOLE. DO NOT DISTURB WHILE SETTING.

TABLE A

CURE TIME				
	40° F	60° F	80° F	100° F
SET	72 HRS	24 HRS	20 HRS	16 HRS

TABLE B

SILL PLATE SHEAR LOADS BASED ON CONCRETE STRENGTH						
STUD DIA.	DRILL BIT DIA.	MIN. EMBED.	EDGE DIST.	END DIST.	AVG. ULT. SHEAR LOAD	ALLOW. SHEAR LOAD f'c≥ 2000 psi
PARALLEL TO PLATE						
5/8	3/4	5	1 3/4	7 1/2	8000	2000
PERPENDICULAR TO PLATE						
5/8	3/4	5	1 3/4	7 1/2	2360	590

1. THE ALLOWABLE LOAD FOR THE CONNECTOR WILL BE THE LESSER OF THE WOOD BEARING CAPACITY OR CONCRETE STRENGTH.

TABLE C

TENSION LOADS FOR THREADED ROD ANCHORS IN CONCRETE FOUNDATION STEMWALL INSTALLATION								
STUD DIA.	DRILL BIT DIA.	MIN. EMBED.	MIN. WALL THICKNESS	MIN. EDGE DIST.	MIN. END DIST.	AVG. ULT. TENSION LOAD	ALLOW. SHEAR LOAD f'c≥ 2000 psi (100)	(133)
SET								
5/8	3/4	10	6	1 3/4	5	23000	5750	7665
7/8	1	15	8	1 3/4	5	33600	8400	11200

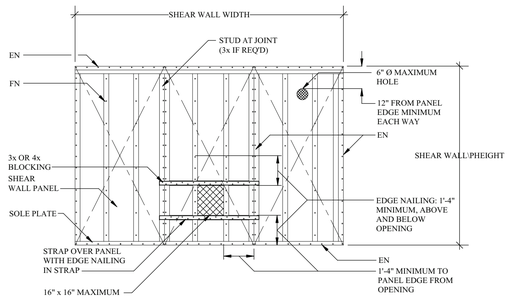
REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

TYPICAL SHEAR WALL TABLE 2-6 (SCHEDULE OF FASTENERS)

Shear wall designation	Type 6	Type 4	Type 3	Type 2	NOTES
Shear value per foot of wall	260 plf (panels applied directly to framing)	380 plf (panels applied directly to framing)	490 plf (panels applied directly to framing)	640 plf (panels applied directly to framing)	
Panel grade (LAYER PLY WOOD) Use of OSB is subject to express approval of the Engineer.	Structural Panels sheathing	Structural Panels sheathing	Structural Panels sheathing	Structural Panels sheathing	SHEAR WALL PANEL SHALL BE 5 PLY PLYWOOD, BLOCKED, DOC SP-1 OR SP-2 (APA OR TECO PERFORMANCE RATED, 15/32 -INCH THICK STRUCTURAL C-0X, PLYWOOD PANEL RATING 42/16. OSB shall not be used IN MOIST CONDITIONS
Panel thickness	15/32"	15/32"	15/32"	15/32"	
Panel nailing	8d (2 1/2"x0.131 common) 2 ½"x0.113" galvanized box) @ 6"/12" (min fastener penetration 1 3/8")	8d (2 1/2"x0.131 common) 3"x0.148" galvanized box) @ 4"/12" (min fastener penetration 1 1/2")	8d (2 1/2"x0.131 common) 3"x0.128" galvanized box) @ 3"/12" (min fastener penetration 1 1/2")	8d (2 1/2"x0.131 common) 3"x0.128" galvanized box) @ 2"/12" (min fastener penetration 1 1/2")	RIM JOIST OR BLOCKING RECEIVING SIMPSON SDS 250X600 SCREWS SHALL BE (TJI) ENGINEERED WOOD 3/12" X THICK MINIMUM.
Sole plate size & fastener spaced at	2x with 16d @ 6" O/C	2x with 16d @ 6" O/C	2x with SDS25X500 @ 8" O/C	2x with SDS25X500 @ 6" O/C	Rim joist receiving SDS25X500 shall be a 3" x member
A35 seismic clip connection to top plate& / or sole/sill plate	20" O/C	16" O/C	12" O/C	10" O/C	
Sill plate size DF/PT) placed on concrete	2X	2X	3X (see note a)	3X (see note a)	3XSILL PLATE SHALL NOT BE LESS THAN A SINGLE 3X MEMBER
Panel boundary members (min. size)	2-2X	2-2X	3X	3X (see note a)	3XSILL PLATE SHALL NOT BE LESS THAN A SINGLE 3X MEMBER
Sill Plate Anchor bolt size, length & spacing	5/8" Øx10" @ 48" O/C	5/8"Øx10" @ 28" O/C	5/8"Øx12" @ 22" O/C	5/8"Ø x 12" @ 16" O/C	

NOTE: WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND FASTENERS SPACING IS LESS THAN 6" O/C , OM EITHER SIDE , PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3-INCH NOMINAL OR THICKER AT ADJOINING PANEL EDGES.

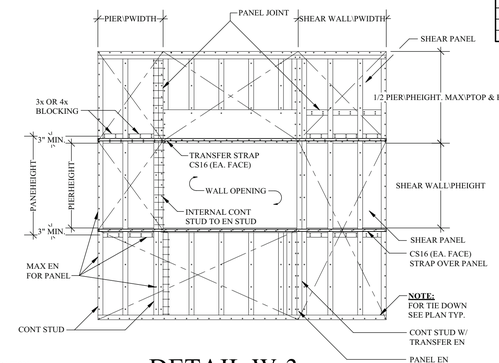
NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN



DETAIL W-4

SMALL SHEAR WALL OPENING

NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN



DETAIL W-3

(SEE PLAN)

WORK THIS DETAIL WITH SHEAR WALL SCHEDULE

NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN

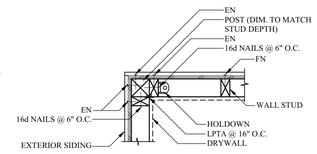
DETAIL RFB-1

TYP. INSTALLATION OF RETROFIT BOLTS FOR HOLDOWNS & SILL PLATE ANCHOR BOLTS

NOTE:
1. SPECIAL INSPECTION IS REQUIRED FOR ALL EPOXIED BOLTS.
2. USE SIMPSON HIGH STRENGTH EPOXY TYPE "SET," XP ICC-ES ESR 2508

NOTE: NOT ALL POSSIBLE CONFIGURATIONS ARE SHOWN

SD-07174a

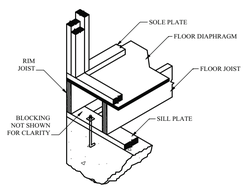


DETAIL WC-1

PLAN-SHEAR WALL CORNER

NOTE: NOT ALL POSSIBLE CONFIGURATIONS ARE SHOWN

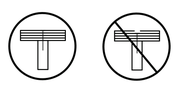
FRAMING NOTATIONS



FRAMING NOTATIONS

NOTE #1

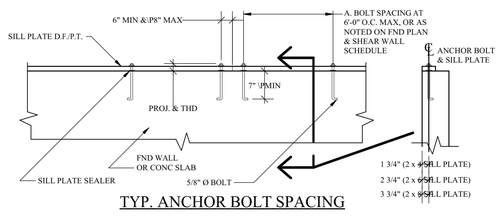
EXTERIOR PLYWOOD NOTE:
UNLESS NOTED OR SHOWN OTHERWISE ON THE PLANS, ALL EXTERIOR WALLS SHALL BE PLYWOOD SHEATHED. WALLS BETWEEN SHEAR WALLS, SHEAR PANELS, OR BEYOND SHEAR WALLS SHALL RECEIVE PLYWOOD (THICKNESS TO MATCH SHEAR PLYWOOD) WITH 8d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT FIELD.



LOAD-PATH FASTENERS:
DIAPHRAGM SHEATHIING NAILS OR OTHER APPROVED CONNECTORS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH SURFACE OF SHEATHING.

SILL PLATE SHALL BE 2 x 4 MIN. DF/PT (SEE SHEAR WALL (SCHEDULE). UNLESS NOTED OTHERWISE ON THE FOUNDATION PLAN. PLACE SILL PLATE AS FOLLOWS:
1. AT EXTERIOR STEM WALLS: PLACE LONGITUDINAL FACE OF THE SILL PLATE FLUSH WITH EXTERIOR FACE OF THE STEM WALL.
2. AT INTERIOR STEM WALLS: THE CENTERLINE OF THE SILL PLATE SHALL COINCIDE WITH THE CENTERLINE OF THE STEM WALL.
3. NAILS PENETRATING PRESSURE-TREATED (PT) SILL PLATE SHALL BE HOT DIPPED GALVANIZED(HDG200).

ANCHOR BOLTS SHALL BE 5/8" DIA. x 1'-0" LONG SPACED AT 6'-0" ON CENTERS. UNLESS OTHERWISE NOTED ON FND PLAN FOR SPECIAL ANCHOR BOLT SPACING UNDER THE SHEAR PANELS PLACE ANCHOR BOLTS AT THE CENTERLINE OF THE SILL PLATE. SILL PLATE WASHERS SHALL BE 3" x 3" x 0.229", HOT DIPPED GALV. (HDG200), UNLESS NOTED OTHERWISE ON THE PLANS.

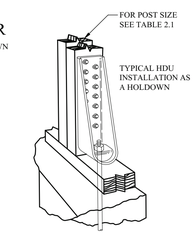


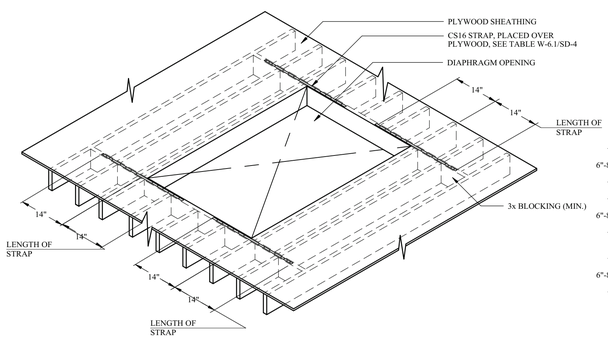
TYP. ANCHOR BOLT SPACING

HOLDOWN MODEL	STEMWALL WIDTH	SSTB DIA.	SDS SCREWS	MIN. WOOD MEMBER THICKNESS
HDU2	8"	5/8 SSTB20	6-SDS 1/4" X 2 1/2"	3"
HDU4	8"	5/8 SSTB20	10-SDS 1/4" X 2 1/2"	3"
HDU4	8"	5/8 SSTB24	14-SDS 1/4" X 2 1/2"	3"

NOTE:
1. LOCATE THE BOLT FOR THE CENTERLINE DISTANCE OFF THE FACE OF THE STUD (CL), AND THE APPROPRIATE LENGTH NEEDED TO CLEAR THE STAND OFF DISTANCE (SO).
2. STEMWALL FOUNDATION SHALL BE MONO POUR

TABLE 2.1

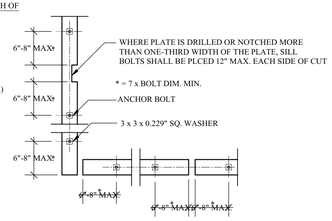




DETAIL W-5

TYP. OPENING DETAIL IN FLOOR AND ROOF DIAPHRAGM

NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN

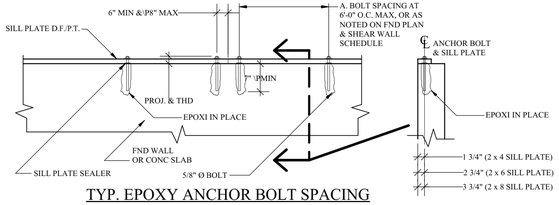


TYP. LAYOUT FOR SILL PLATES

DETAIL AB-1

SILL PLATE & ANCHOR BOLTS

NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN

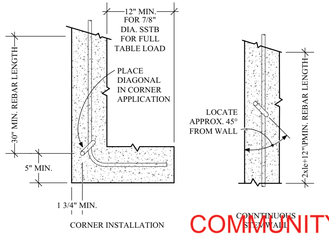


TYP. EPOXY ANCHOR BOLT SPACING

DETAIL AB-1

SILL PLATE & ANCHOR BOLTS

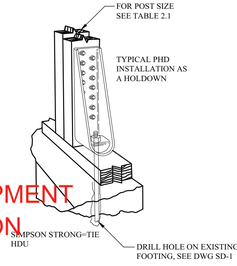
NOTE: NOT ALL POSSIBLE CONFIGURATIONS SHOWN



DETAIL HB-1

TYP. HOLDOWN ANCHOR BOLT INSTALLATION

NOTE: ALL HOLDOWN INSTALLATION AND PARTS THEREOF SHALL BE PER MANUFACTURER'S SPECIFICATIONS



COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL

07.31.2025

TOWN OF LOS GATOS
BUILDING DIVISION

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

SHEAR WALL SCHEDULE, SECTIONS & DETAILS

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICIAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR LOANED TO THE PUBLIC OR ANY OTHER PERSONS OR ORGANIZATIONS WHATSOever, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST ETH STREET UNIT 104
PITTSBURG, CA. 94565
(408) 696-6933
ameen.asassociates@gmail.com

NO.	DATE	REVISION
A	FEB-14-2025	ISSUED FOR COORDINATION
A	FEB 19-2025	ISSUED FOR PLAN REVIEW
A	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
A	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES

DRAWING TITLE: -

JOB TITLE: MAC-NOLAD RESIDENCE
RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

REGISTERED PROFESSIONAL ENGINEER ARASH SHAHZAMAN CIVIL C-022760 EXP. DATE 12-31-25 STATE OF CALIFORNIA

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A.S.

PROJECT NO. 025046.45

DRAWING NO. SD-3

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS				
ITEM	DECRITION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER [a,b,c]	SPACING OF FASTENERS	
Roof				
1	Blocking between joist or rafters to top plate, teo nail	3-8d (2 1/2 x 0.0113")		
2	Ceiling joist to plate, toe nail	3-8d (2 1/2 x 0.0113")		
3	Ceiling joist not attached to parallel rafter, laps over partitions, face nail	3-10d		
4	Collar tie rafter, face nail or 1 1/4" x 20 gage ridge strap	3-10d(3" x 0.128"		
5	Rafter to plate, toe nail	2-16d(3 1/2" x 0.135")		
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d(3 1/2" x 0.135") 3-16d(3 1/2" x 0.135")		
Wall				
7	Built-up corner tuds	10d(3" x 0.128"	24" o.c.	
8	Buit-up header, two pieces with 1/2" spacer	16d(3 1/2" x 0.135")	16" o.c. along each edge	
9	Continued header, two pieces	16d(3 1/2" x 0.135")	16" o.c. along each edge	
10	Continuous header to stud, toe nail	4-8d(2 1/2" x 0.113")		
11	Double studs, face nail	10d(3" x 0.128")	24" o.c.	
12	Double top plates, face nail	10d(3" x 0.128")	24" o.c.	
13	Double top plates, minimum 48" offset of end joints, face nail in lapped area	8-16d(3 1/2" x 0.135")		
14	Sole plate to joist or blocking, face nail	16d(3 1/2" x 0.135")	16" o.c.	
15	Sole plate to joist or blocking at braced wall panels	3-16d(3 1/2" x 0.135")	16" o.c.	
16	Stud to sole plate, toe nail	3-8d(2 1/2" x 0.113") or 2-16d(3 1/2" x 0.135")		
17	top or sole plate to stud, end nail	2-16d(3 1/2" x 0.135")		
18	top plates, laps at corners and intersections, face nail	2- 10d(3" x 0.128")		
19	1" brace to each stud plate, face nail	2-8d(2 1/2" x 0.113") 2 staples 1 3/4"		
20	1" x 6" sheathing to each bearing, face nail	2-8d(2 1/2" x 0.113") 2 staples 1 3/4"		
21	1" x 8" sheathing to each bearing, face nail	2-8d(2 1/2" x 0.113") 2 staples 1 3/4"		
22	Wider than 1" x 8" sheathing to each bearig, face nail	3-8d(2 1/2" x 0.113") 4 staples 1 3/4"		
Floor				
23	Joist to sill or girder, toe nail	3-8d(2 1/2" x 0.113")		
24		2-8d(2 1/2" x 0.113") 2 staples 1 3/4"		
25	1" x 6" subfloor or less to each joist, face nail	2-16d(3 1/2" x 0.135")		
26	Rim joist to top plate, toe nail (roof applications also)	8d(2 1/2" x 0.113")	6" o.c.	
27	2" planks (plank beam - floor & roof)	2-16d(3 1/2" x 0.135")	at each bearing	
28	Built-up girders and beams, 2" lumber layers	10d(3" x 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice	
29	Ledger strip supporting joist or rafters	3-16d(3 1/2" x 0.135")	At each joist or rafter	
30	3/8" - 1/2"	6D common (2" x 0.113") nail (subfloor wall) 8D common (2 1/2" x 0.131") nail (roof)	6	12[g]
31	5/16" - 1/2"	6D common (2" x 0.113") nail (subfloor wall) 8D common (2 1/2" x 0.131") nail (roof)	6	12[g]
32	19/32" - 1"	8D common (2 1/2" x 0.131") nail (roof)	6	12[g]
33	1 1/8" - 1 1/4"	10D common (3" x 0.148") nail or 8D common (2 1/2" x 0.131") deformed nail	6	12
Other wall sheathing[h]				
34	1/2" structural cellulosic fiberboard sheathing	1/2" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/4" long	3	6
35	25/32" structural cellulosic fiberboard sheathing	1 3/4" galv. roofing nail, 7/16" crown or 1" crown staple 16ga., 1 1/2" long	3	6
36	1/2" gypsum sheathing	1 1/2" galv. roofing nail; staple galv. 1 1/2" long; 1 1/4 screws. Type W or S	7	7
37	5/8" gypsum sheathing	1 3/4" galv. roofing nail; staple galv. 1 5/8" long; 1 5/8" screws. Type W or S	7	7
Wood structural panels, combination subfloor underlayment to framing				
38	3/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6	12
39	7/8" - 1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.120") nail	6	12
40	1 1/8" - 1 1/4"	10d common (3" x 0.148) nail or 8d detormed (2 1/2 x 0.120") nail	6	12

For SI: 1 inch = 24.4 mm., 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; lksi = 6.895 MPa.

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framig and sheathing connections shall have minimum average bending yield strenghts as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ski for sank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
b. Staples are 16 gage wire and have minimun 716 inch diameter crown wdth.
c. Nails shall be spaced at not more than 6" o.c. at all supports where spans are 48" or greater.
d. 4-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
e. Spacing of fasteners not included in this table shall be based on Table R602.3(2)
f. For regions having basic wind speed of 110 mph or greater, 8d deformed (2 1/2" x 0.120) nails shall be used for attaching plywood and wood stuctural panelroof sheathing to framing within minimum 48" distance from gable end walls, if mean roof height is more than 25' up to 35' max.
g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6" on center. When basic speed is greather than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6" o.c. for minimum 48" distance from ridges, eaves and gable end walls; and 4" o.c. to gable wall end framing.
h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM c 208
i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blockin. Blocking of roof or floor sheathing panel edges perpendicular to the framing memebers need not to be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing memebers or solid blocking.

HEADER SCHEDULE

(UNLESS OTHERWISE NOTED ON PLANS)

		MAX SPAN	HEADER SIZE	REMARKS	
SHEAR & BEARING WALLS	FIRST LEVEL	4'-0"	4x12	ON EDGE/	DOUBLE TRIMMER (SINGLE TRIMMER @ PART. WALL ONLY)
		6'-0"	4x12	ON EDGE/	DOUBLE TRIMMER
		8'-0"	4x12	ON EDGE/	DOUBLE TRIMMER
		10'-0"	4x14	ON EDGE/	DOUBLE TRIMMER

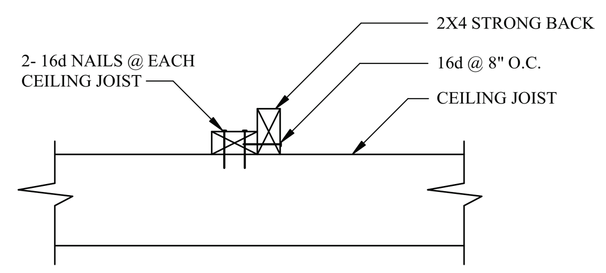
NOTE:
HEADERS SHALL BE 6x MEMBERS IN 2X6 STUD WALLS, TYP.

JOIST HANGER SCHEDULE

UNLESS NOTED OTHERWISE ON THE PLANS, JOIST AND BEAM HANGERS SHALL BE AS FOLLOWS:

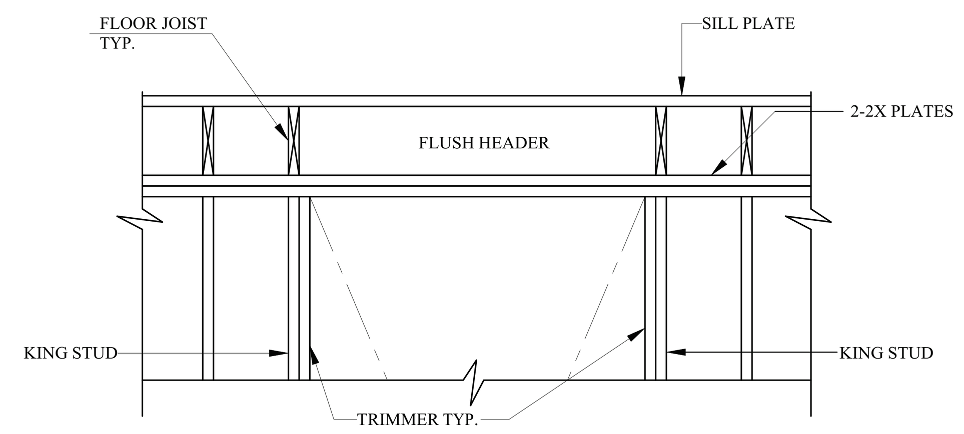
JOIST SIZE	JOIST HANGER MODEL NO.	FASTENERS HEADER	FASTENERS JOIST	REMARKS
2X4 2X6 2X8 2X10 2X12 2X14	U24 U26 U26 U210 U210 U214	4-16d 6-16d 6-16d 10-16d 10-16d 12-16d	2-10dx1 1/2 4-10dx1 1/2 4-10dx1 1/2 6-10dx1 1/2 6-10dx1 1/2 8-10dx1 1/2	JOIST NAILS MUST BE DRIVEN AT AN ANGLE THROUGH THE JOIST INTO HEADER.
4X8 4X10 4X12 4X14 4X16	HUS48 HUS410 HUS412 HUS412TF HUS414TF	6-16d 8-16d 10-16d 10-16d 12-16d	6-16d 8-16d 10-16d 8-16d 8-16d	JOIST NAILS MUST BE DRIVEN AT AN ANGLE THROUGH THE JOIST INTO HEADER.
6X6 6X8 6X10 6X12 6X14 6X16	HU66TF HU68TF HU610TF HU612TF HU614TF HU616TF	10-16d 12-16d 14-16d 16-16d 18-16d 20-16d	4-16d 4-16d 6-16d 6-16d 8-16d 8-16d	THE MINIMUM HEADER OR LEDGER SIZE SHALL BE 3x

NOTE: FOR ADDITIONAL INFORMATION & DETAILS, REFER TO SIMPSON STRONG-TIE CONNECTORS CATALOG.

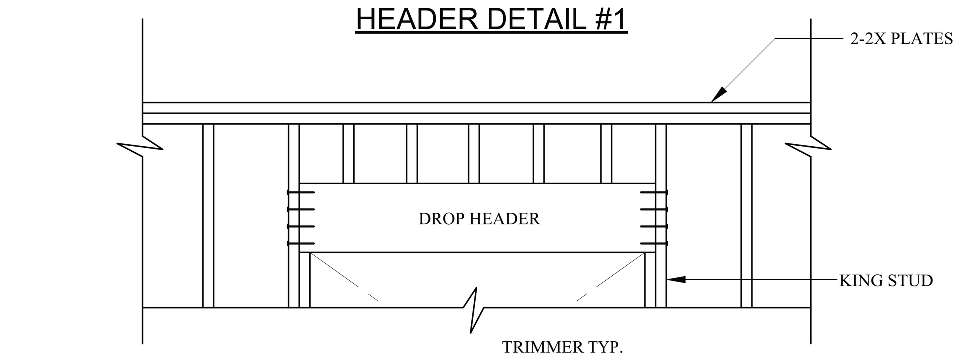


DETAIL SB
TYP. STRONG BACK DETAIL

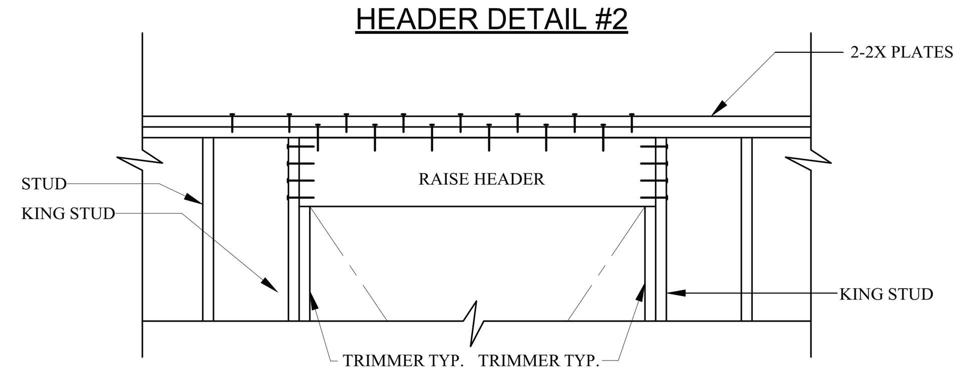
NOT ALL POSSIBLE CONFIGURATIONS SHOWN



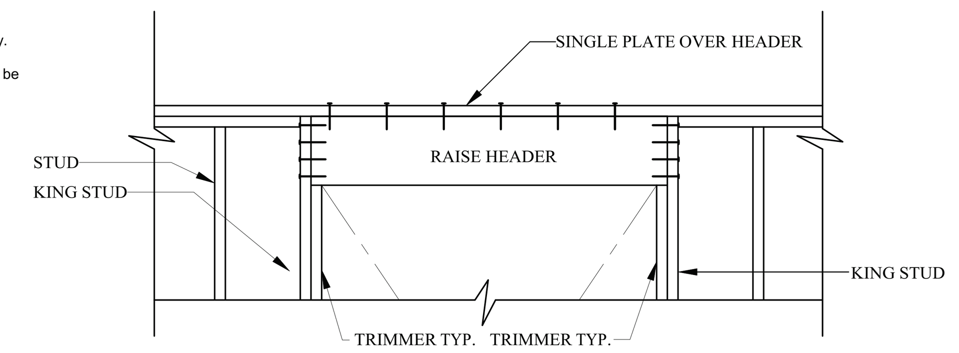
HEADER DETAIL #1



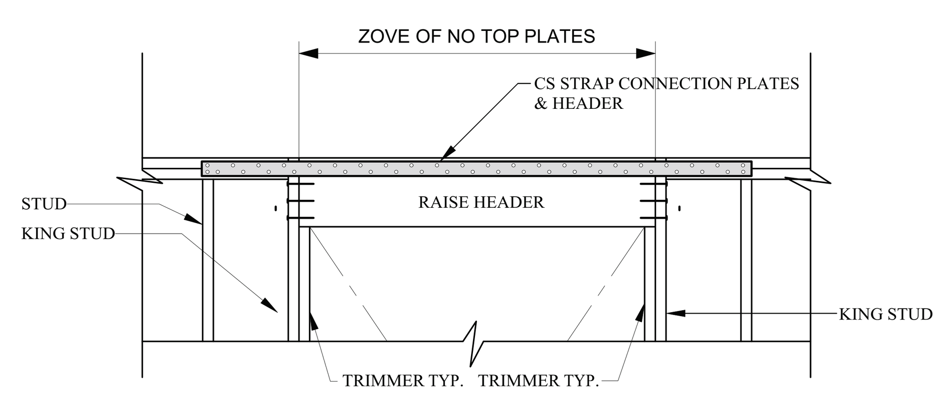
HEADER DETAIL #2



HEADER DETAIL #3



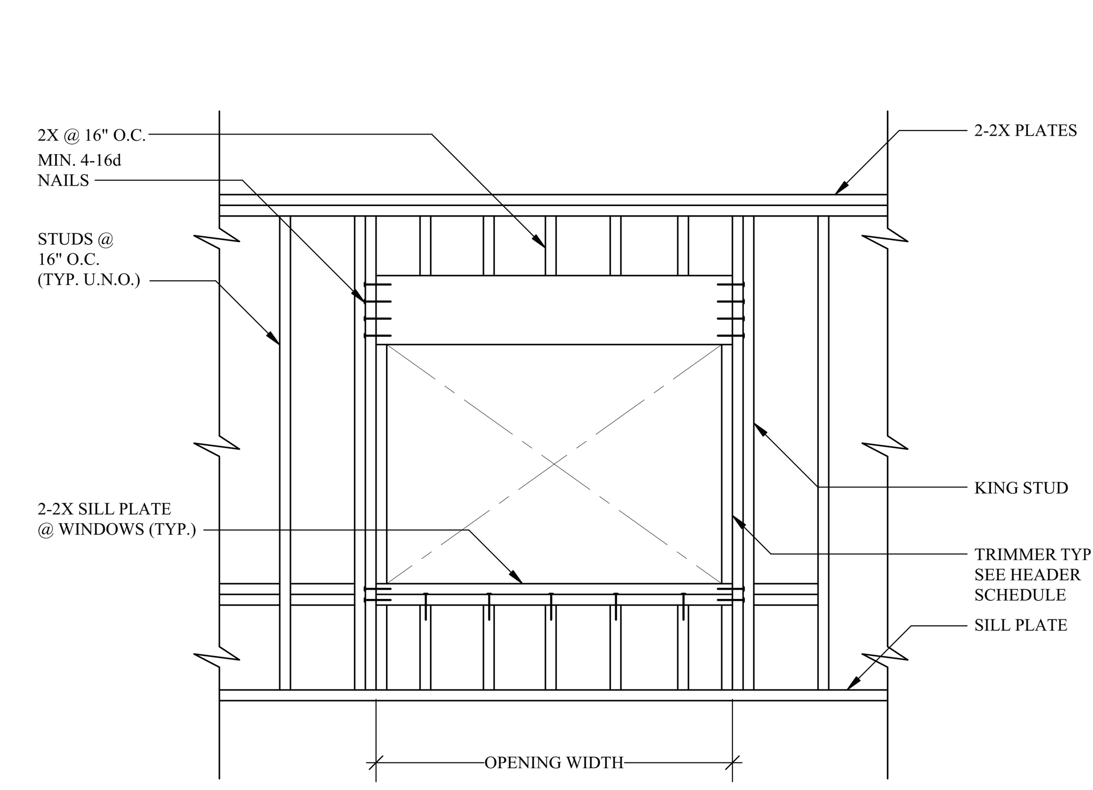
HEADER DETAIL #4



HEADER DETAIL #5

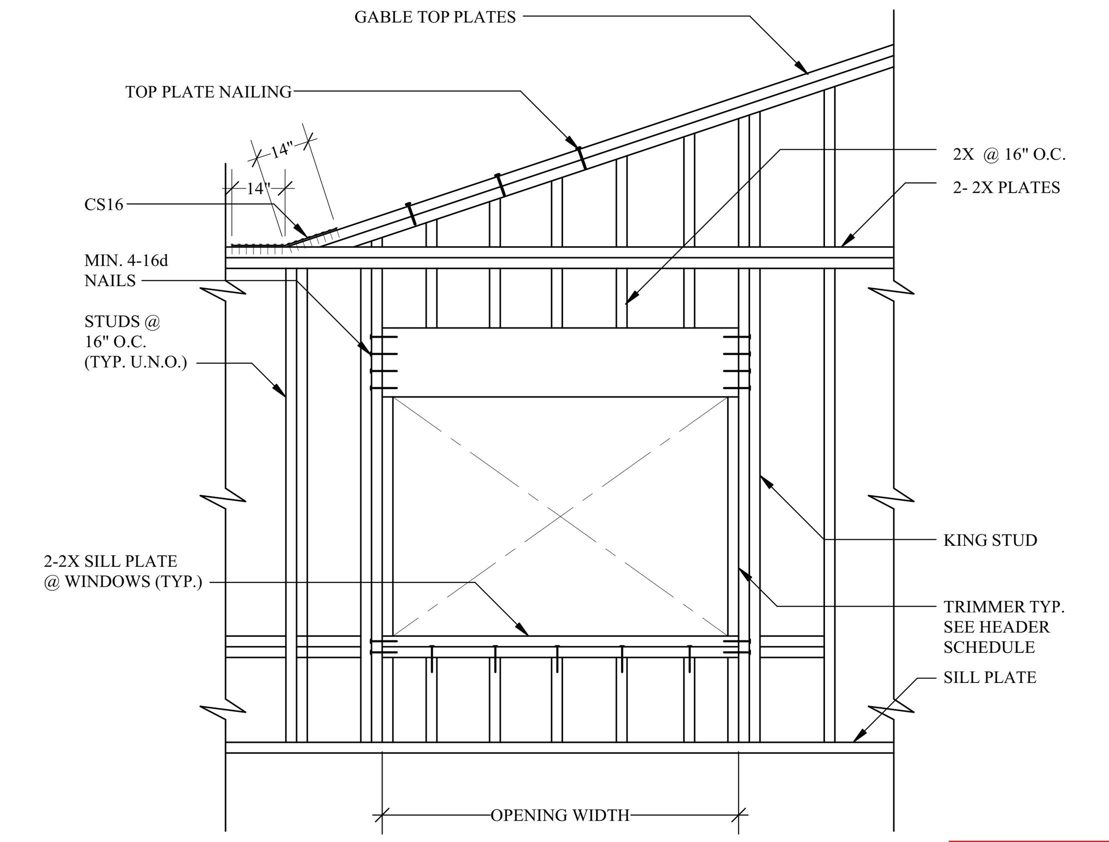
DETAIL HDR
TYPICAL HEADER CONDITIONS

TYPICAL INSTALLATION OF HEADERS OTHERWISE NOTED ON PLANS
WORK THIS DETAILS WITH HEADER SCHEDULE OR PLANS
NOT ALL POSSIBLE CONFIGURATIONS SHOWN



DETAIL WO
OPENING DETAILS IN PARTITION WALL

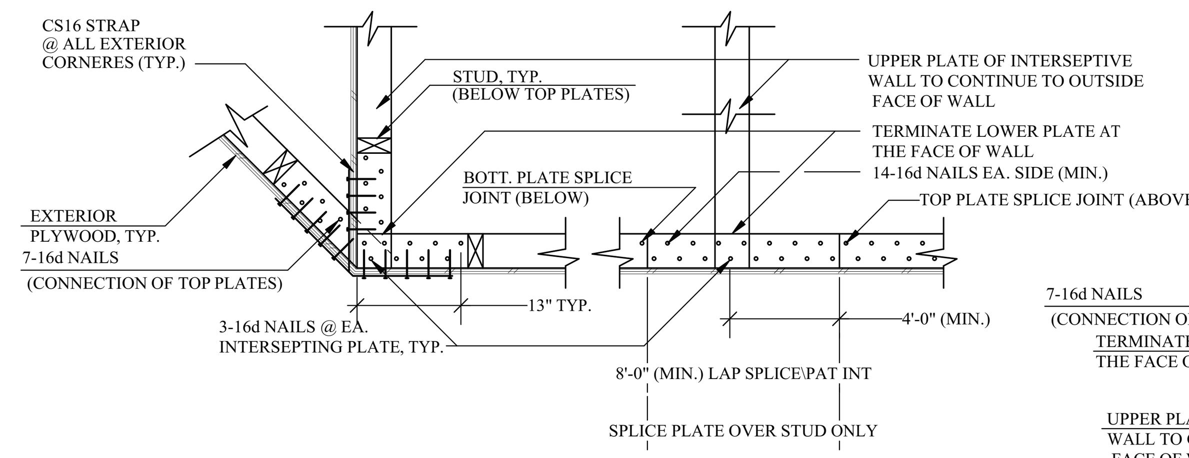
NOT ALL POSSIBLE CONFIGURATIONS SHOWN

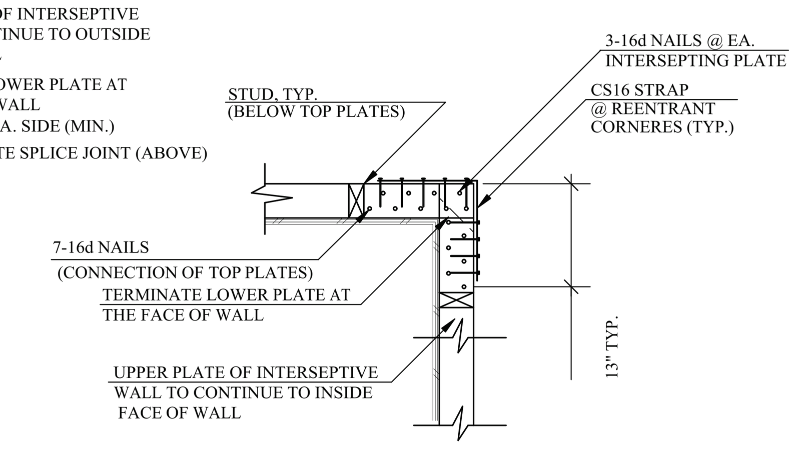


DETAIL WO-1
OPENING DETAILS IN GABLE WALL

NOT ALL POSSIBLE CONFIGURATIONS SHOWN

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP



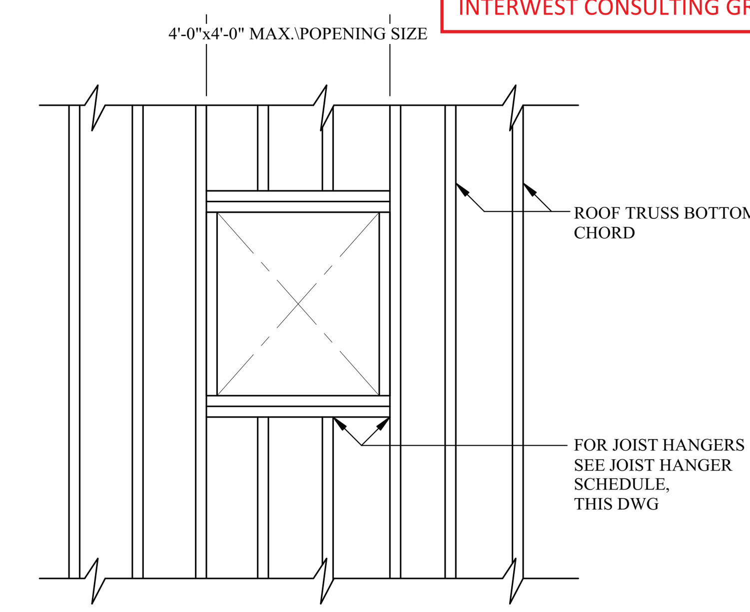


DETAIL CR
TYPICAL PLATE LAP @ CORNERS & INTERSECTIONS

NOT ALL POSSIBLE CONFIGURATIONS SHOWN

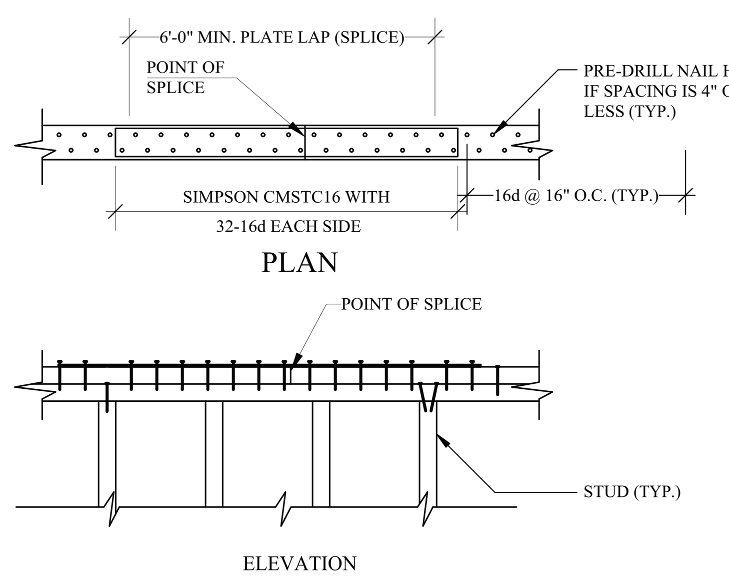
BUILDING EXTERIOR WALL REENTRANT CORNER

NOT ALL POSSIBLE CONFIGURATIONS SHOWN



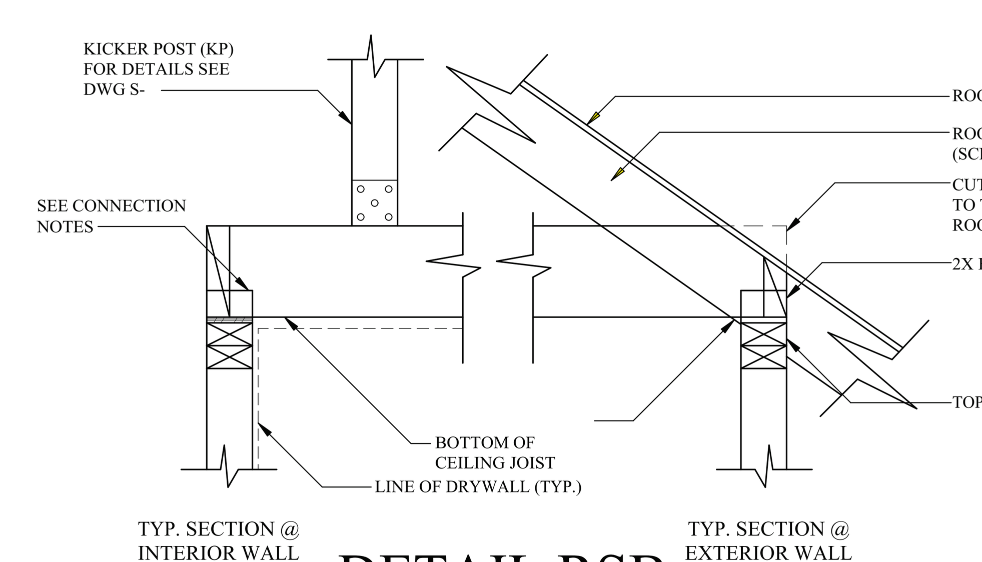
DETAIL CO
TYP. OPENING DETAIL IN CEILING FRAMING

NOT ALL POSSIBLE CONFIGURATIONS SHOWN

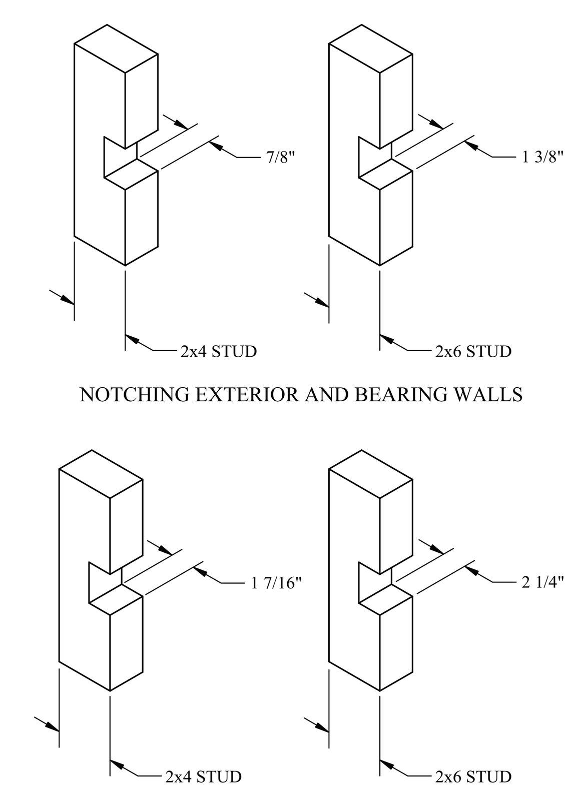


DETAIL TP-1
PLATE SPLICE DETAIL @ GRIDLINE "A"

NOT ALL POSSIBLE CONFIGURATIONS SHOWN

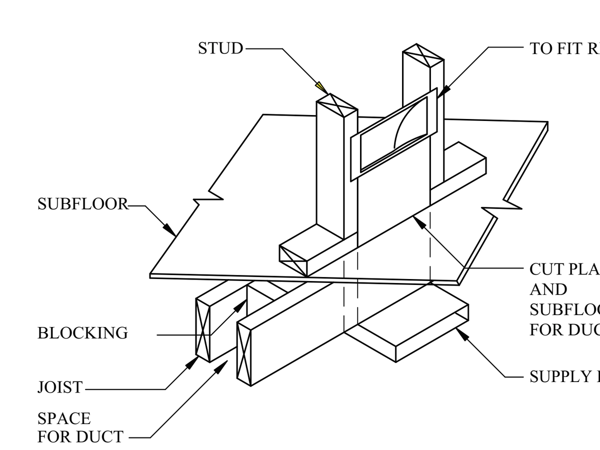


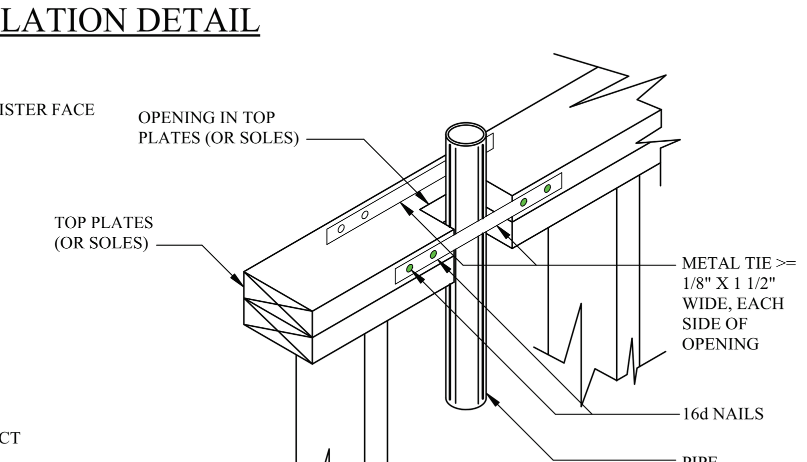
DETAIL RSB
TYP. ROOF SUPPORT BEAM INSTALLATION DETAIL

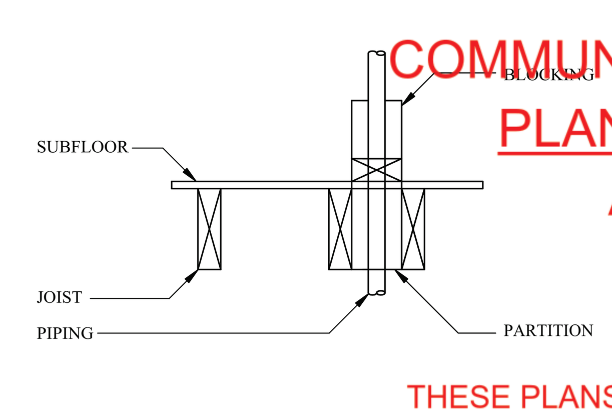


DETAIL WN
NOTCHING WOOD STUDS

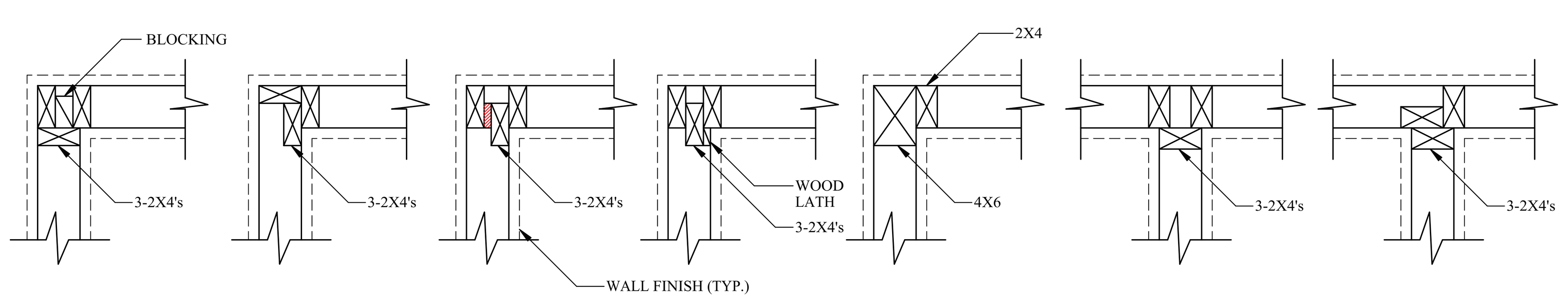
NOT ALL POSSIBLE CONFIGURATIONS SHOWN



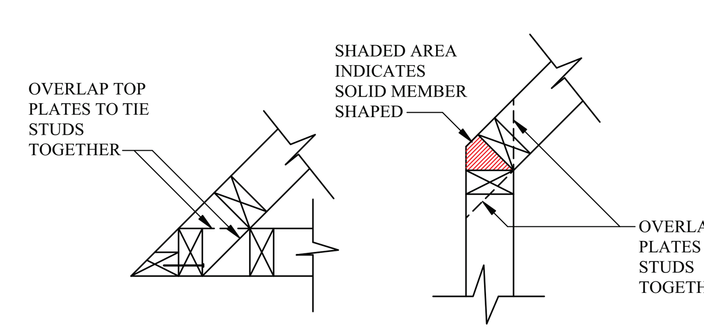




SIMPSON HSS @ STUD WITH PIPE PENETRATION (TYPICAL)



TYP. CORNER & INTERSECTING WALL FRAMING DETAIL (BEARING & PARTITION WALLS ONLY)



NON-RIGHT ANGLE WALL CORNERS

DETAIL CS

NOT ALL POSSIBLE CONFIGURATIONS SHOWN

PIPES IN WALLS:

STUD PARTITIONS CONTAINING HEATING, OR OTHER PIPES SHALL BE FRAMED AND THE JOINTS UNDERNEATH SO SPACED AS TO GIVE PROPER CLEARANCE FOR THE PIPING. WHERE A PARTITION CONTAINING SUCH PIPING RUNS PARALLEL TO THE FLOOR JOISTS, THE JOISTS UNDERNEATH SUCH PARTITIONS SHALL BE DOUBLED AND SPACED TO PERMIT THE PASSAGE OF SUCH PIPES AND SHALL BE BRIDGED. WHERE PLUMBING, HEATING, OR OTHER PIPES ARE PLACED IN OR PARTLY IN A PARTITION, NECESSITATING THE CUTTING OF THE SOLES OR PLATES, A METAL TIE NOT LESS THAN 1/8 INCH THICK AND 1-1/2 INCHES WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 16d NAILS.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025

TOWN OF LOS GATOS
BUILDING DIVISION

THIS DOCUMENT IS PROPERTY OF A.S. ASSOCIATES. THE TECHNICAL INFORMATION, IDEAS, AND DESIGN DETAILS HEREIN MAY BE DISCLOSED ONLY TO THOSE GOVERNMENTAL AGENCIES, HAVING JURISDICTION OVER THIS PROJECT, WHO NEED THEM IN THE PERFORMANCE OF OFFICAL DUTIES. THESE PLANS MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN WHOLE OR PARTIALLY, IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF A.S. ASSOCIATES.

A. S. Associates
ENGINEERS & PLANNERS
88 EAST 6TH STREET UNIT 404
PITTSBURG, CA. 94565
(408) 666-6933
armen.asassociates@gmail.com

NO.	DATE	REVISION
a	FEB-14-2025	ISSUED FOR COORDINATION
0	FEB 19-2025	ISSUED FOR PLAN REVIEW
1	APR 9-2025	ISSUED PER PLAN CHECK COMMENTS DATED 3-17-25
b	MAY 19-2025	ISSUED PER PLAN ARCHITECTURAL CHANGES
3		

DRAWING TITLE: -

JOB TITLE:
MAC-NOLAD RESIDENCE
RESIDENTIAL REMODEL
14340 BROWNS LANE
LOS GATOS, CA 95032

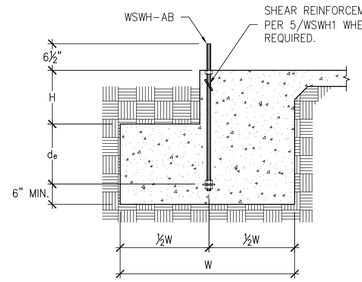
REGISTERED PROFESSIONAL ENGINEER
ARMEN SHAMAMIAN
CIVIL
C-022760
EXP. DATE 12-31-25
STATE OF CALIFORNIA

DATE: FEB 1-2025
SCALE: AS NOTED
DRAWN BY: H.S.
CHECKED BY: A. S.

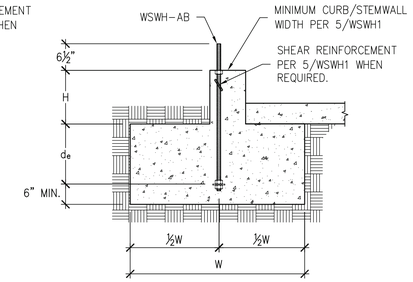
PROJECT NO. 025046.45

TYPICAL SECTIONS & DETAILS

DRAWING NO. SD-5



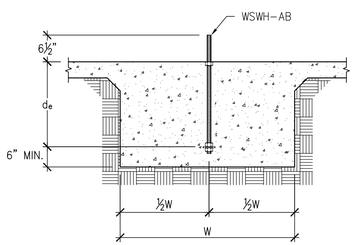
SLAB ON GRADE FOUNDATION



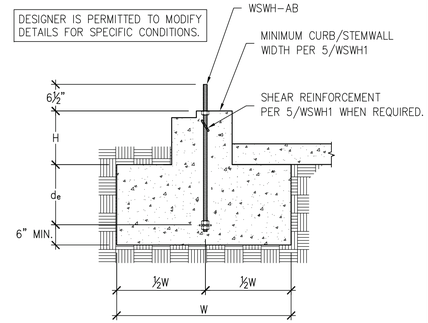
CURB OR STEMWALL FOUNDATION

NOTES :
1. SEE 2/WSWH1 FOR DIMENSIONS AND ADDITIONAL NOTES.
2. SEE 5/WSWH1 FOR SHEAR REINFORCEMENT WHEN REQUIRED.
3. MAXIMUM H = l_e–d_e. SEE 3/WSWH1 AND 4/WSWH1 FOR l_e.

DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

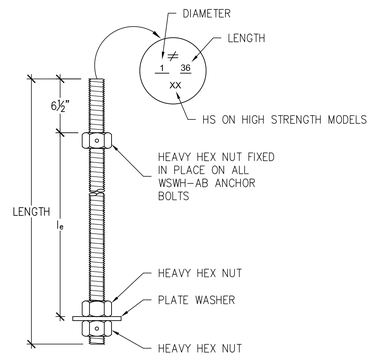


INTERIOR FOUNDATION



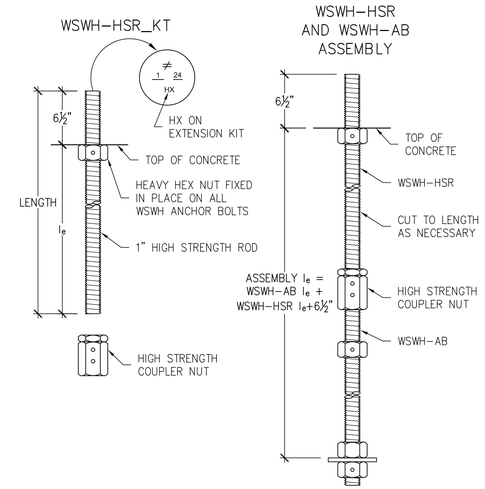
BRICK LEDGE FOUNDATION

STRONG-WALL® WSWH ANCHORAGE – TYPICAL SECTIONS | 1



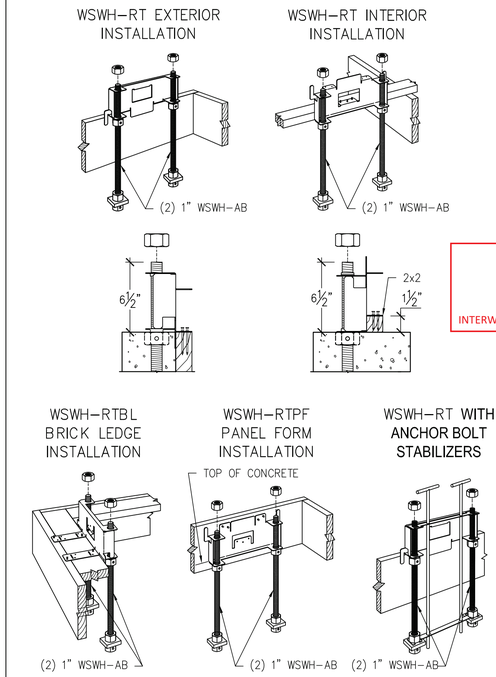
WSWH PANEL MODEL	MODEL NO.	DIAMETER	LENGTH	l_e
WSWH12, WSWH18 AND WSWH24	WSWH-AB1x24	1"	24"	15½"
	WSWH-AB1x24HS	1"	24"	15½"
	WSWH-AB1x30	1"	30"	21½"
	WSWH-AB1x30HS	1"	30"	21½"
	WSWH-AB1x36	1"	36"	27½"
	WSWH-AB1x36HS	1"	36"	27½"

WSWH ANCHOR BOLTS | 3

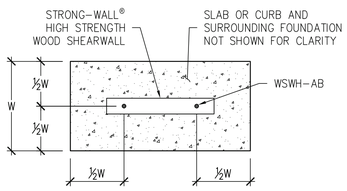


WSWH PANEL MODEL	MODEL NO.	DIAMETER	LENGTH	l_e
WSWH12, WSWH18 AND WSWH24	WSWH-HSR1x24KT	1"	24"	17½"
	WSWH-HSR1x36KT	1"	36"	29½"

WSWH ANCHOR BOLT EXTENSION | 4



WSWH ANCHOR BOLT TEMPLATES | 6



FOUNDATION PLAN VIEW

NOTES :
1. ANCHORAGE DESIGNS CONFORM TO ACI 318-11 APPENDIX D, ACI 318-14 CHAPTER 17 AND ACI 318-19 CHAPTER 17 WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.
2. ANCHOR STRENGTH INDICATES REQUIRED GRADE OF WSWH-AB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A193 GRADE B7).
3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C–F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-11 SECTION D.3.3.4.3, ACI 318-14 SECTION 17.2.3.4.3 AND ACI 318-19 SECTION 17.10.5.3.
4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.
5. FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE DESIGNER MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
6. REFER TO 1/WSWH1 FOR d_e.

WSWH ANCHORAGE SOLUTIONS FOR 2500 PSI CONCRETE

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSWH-AB1 ANCHOR BOLT ASD ALLOWABLE UPLIFT (lbs)	W (in)	d_e (in)
SEISMIC	CRACKED	STANDARD	16,000	33	11
			17,100	35	12
		HIGH STRENGTH	34,100	52	18
			36,800	55	19
	UNCRACKED	STANDARD	15,700	28	10
			17,100	30	10
		HIGH STRENGTH	33,500	45	15
			36,800	48	16
WIND	CRACKED	STANDARD	6,200	16	6
			11,400	24	8
			17,100	32	11
		HIGH STRENGTH	21,100	36	12
			27,300	42	14
			34,100	48	16
			36,800	51	17
	UNCRACKED	STANDARD	6,400	14	6
			12,500	22	8
			17,100	28	10
		HIGH STRENGTH	22,900	33	11
			26,400	36	12
			34,200	42	14
			36,800	44	15

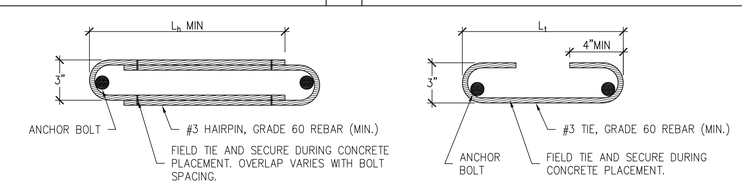
WSWH ANCHORAGE SOLUTIONS FOR 3000 PSI CONCRETE

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSWH-AB1 ANCHOR BOLT ASD ALLOWABLE UPLIFT (lbs)	W (in)	d_e (in)
SEISMIC	CRACKED	STANDARD	16,000	31	11
			17,100	33	11
		HIGH STRENGTH	33,900	49	17
			36,800	52	18
	UNCRACKED	STANDARD	16,300	27	9
			17,100	28	10
		HIGH STRENGTH	34,000	43	15
			36,800	46	16
WIND	CRACKED	STANDARD	5,600	14	6
			10,200	21	7
			17,100	30	10
		HIGH STRENGTH	20,000	33	11
			26,500	39	13
			33,600	45	15
			36,800	48	16
	UNCRACKED	STANDARD	6,200	13	6
			12,800	21	7
			17,100	26	9
		HIGH STRENGTH	21,800	30	10
			28,900	36	12
			33,100	39	13
			36,800	42	14

WSWH ANCHORAGE SOLUTIONS FOR 4500 PSI CONCRETE

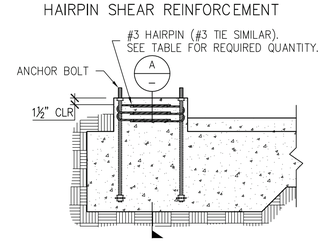
DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSWH-AB1 ANCHOR BOLT ASD ALLOWABLE UPLIFT (lbs)	W (in)	d_e (in)
SEISMIC	CRACKED	STANDARD	16,000	27	9
			17,100	29	10
		HIGH STRENGTH	34,700	44	15
			36,800	46	16
	UNCRACKED	STANDARD	15,700	23	8
			17,100	25	9
		HIGH STRENGTH	33,900	38	13
			36,800	40	14
WIND	CRACKED	STANDARD	6,800	14	6
			11,600	20	7
			17,100	26	9
		HIGH STRENGTH	21,400	30	10
			28,400	36	12
			32,400	39	13
			36,800	43	15
	UNCRACKED	STANDARD	6,800	12	6
			12,400	18	6
			17,100	23	8
		HIGH STRENGTH	22,800	27	9
			26,700	30	10
			30,700	33	11
			36,800	37	13

STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL TENSION ANCHORAGE SCHEDULE 2,500, 3,000 AND 4,500 PSI | 2



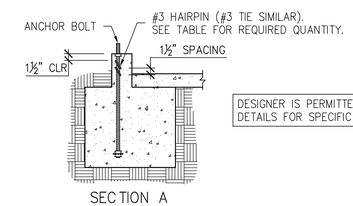
HAIRPIN SHEAR REINFORCEMENT

TIE SHEAR REINFORCEMENT



HAIRPIN INSTALLATION

(GARAGE CURB SHOWN. OTHER FOOTING TYPES SIMILAR.)



SECTION A

DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL SHEAR ANCHORAGE

MODEL	SEISMIC[3] L_t OR L_h (in.)	SEISMIC[3] SHEAR REINFORCEMENT	SEISMIC[3] MIN. CURB/STEMWALL WIDTH (in.)	WIND[4] SHEAR REINFORCEMENT	WIND[4] MIN. CURB/STEMWALL WIDTH (in.)	WIND[4] ASD ALLOWABLE SHEAR LOAD, V (lb.) UNCRACKED	WIND[4] ASD ALLOWABLE SHEAR LOAD, V (lb.) CRACKED
WSWH12	10¼	(1) #3 TIE	6	SEE NOTE 7	6	1,080	770
WSWH18	15	(2) #3 HAIRPINS[5,6]	6	(1) #3 HAIRPIN	6	HAIRPIN REINF. ACHIEVES MAX. ALLOW SHEAR LOAD OF THE WSWH	
WSWH24	19	(2) #3 HAIRPINS[5]	6	(2) #3 HAIRPINS[5]	6		

NOTES :
1. SHEAR ANCHORAGE DESIGNS CONFORM TO ACI 318-14 AND ACI 318-19 AND ASSUME MINIMUM 2,500 PSI CONCRETE.
2. SHEAR REINFORCEMENT IS NOT REQUIRED FOR INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE), OR BRACED WALL PANEL APPLICATIONS.
3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC SHEAR REINFORCEMENT DESIGNS CONFORM TO ACI 318-19, SECTION 17.10.6.3, ACI 318-14, SECTION 17.2.3.5.3
4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
5. ADDITIONAL TIES MAY BE REQUIRED AT GARAGE CURB OR STEMWALL INSTALLATIONS BELOW ANCHOR REINFORCEMENT PER DESIGNER.
6. USE (1) #3 HAIRPIN FOR WSWH18 WHEN STANDARD STRENGTH ANCHOR IS USED.
7. USE (1) #3 TIE FOR WSWH12 WHEN PANEL DESIGN SHEAR FORCE EXCEEDS TABULATED ANCHORAGE ALLOWABLE SHEAR LOAD.
8. #4 GRADE 40 SHEAR REINFORCEMENT MAY BE SUBSTITUTED FOR WSWH SHEAR ANCHORAGE SOLUTIONS.
9. CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH ACI 318-11 SECTION D.8.2, ACI 318-14 SECTION 17.7.2 AND ACI 318-19 SECTION D.8.2.
10. THE DESIGNER MAY SPECIFY ALTERNATE SHEAR ANCHORAGE.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025
PLAN REVIEW APPROVAL
07.31.2025
THE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.
TOWN OF PLACITAS
BUILDING DIVISION

STRONG-WALL® WSWH SHEAR ANCHORAGE SCHEDULE AND DETAILS | 5

NO.	DATE	REVISIONS
0	02-26-2021	FIRST RELEASE - 2018 IBC
1	03-16-2021	2021 IBC REVISIONS

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

SIMPSON Strong-Tie, Co. Inc.
• 5956 W. Las Positas Blvd. Pleasanton, CA 94588
• Tel: (800) 999-5099
• Website: www.strongtie.com

SIMPSON Strong-Tie THERE IS NO EQUAL.

STRONG-WALL® WSWH
ANCHORAGE DETAILS
ENGINEERED DESIGNS

SIMPSON Strong-Tie THERE IS NO EQUAL.

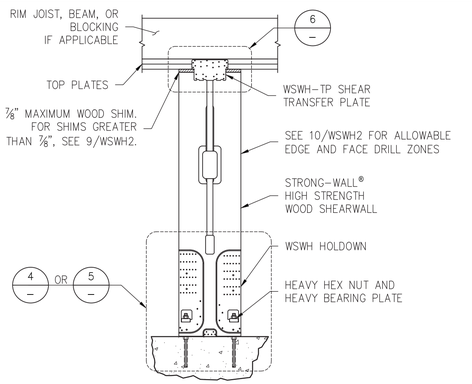
NAME
DATE 03-16-2021
SCALE N.T.S.
CHECKED
SHEET WSWH1
OF SHEETS
JOB NO.

STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL MODELS

MODEL NO.	W (in.)	H (in.)	ANCHOR BOLTS		TOTAL WALL WEIGHT (lb.)
			QUANTITY	DIA. (in.)	
WSWH12x7	12	84	2	1	105
WSWH18x7	18	84	2	1	155
WSWH12x8	12	96	2	1	120
WSWH18x8	18	96	2	1	175
WSWH24x8	24	96	2	1	225
WSWH12x9	12	108	2	1	130
WSWH18x9	18	108	2	1	195
WSWH24x9	24	108	2	1	250
WSWH12x10	12	120	2	1	145
WSWH18x10	18	120	2	1	210
WSWH24x10	24	120	2	1	275
WSWH12x12	12	144	2	1	165
WSWH18x12	18	144	2	1	245
WSWH24x12	24	144	2	1	325
WSWH18x14	18	168	2	1	285
WSWH24x14	24	168	2	1	370
WSWH24x16	24	192	2	1	420
WSWH18x20	18	240	2	1	390
WSWH24x20	24	240	2	1	520

NOTES :
1. FOR HEIGHTS NOT LISTED, ORDER THE NEXT TALLEST PANEL AND TRIM TO FIT. MINIMUM TRIMMED HEIGHT FOR ALL PANELS IS 74½".
2. ALL PANELS COME WITH PRE-ATTACHED HOLDOWNS, TWO HEAVY HEX NUTS, TWO HEAVY BEARING PLATES, ONE WSWH-TP TOP CONNECTION PLATE WITH REQUIRED FASTENERS AND INSTALLATION INSTRUCTIONS.
3. ALL PANELS ARE 3½" THICK.

STRONG-WALL® WSWH MODELS 1



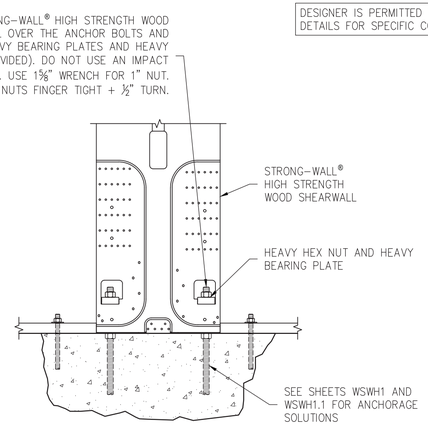
DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

ENSURE CONCRETE IS LEVEL AND SMOOTH BENEATH PANEL. GRIND OR FILL AS NECESSARY.

SINGLE STORY WSWH ON CONCRETE 2

STANDARD INSTALLATION BASE CONNECTION 4

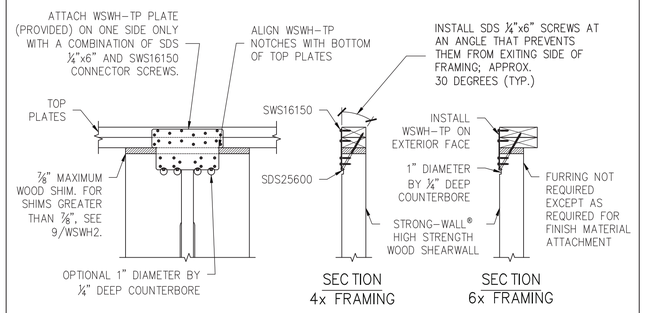
DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.



WOOD FLOOR SYSTEM BASE CONNECTION 5

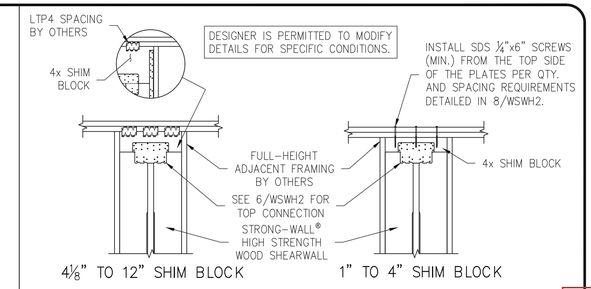
DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

WSWH-TP CONNECTION		
MODEL NO.	FASTENER QUANTITY	
	SWS16150	SDS25600
WSWH-TP12	14	2
WSWH-TP18	26	4
WSWH-TP24	46	8



TOP CONNECTION 6

DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

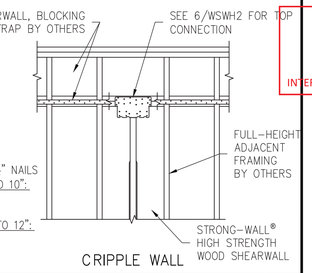


DESIGNER SHALL DESIGN AND DETAIL FOR:
1. SHEAR TRANSFER
2. OUT-OF-PLANE LOADING EFFECT
3. INCREASED OVERTURNING AND DRIFT DUE TO ADDITIONAL HEIGHT

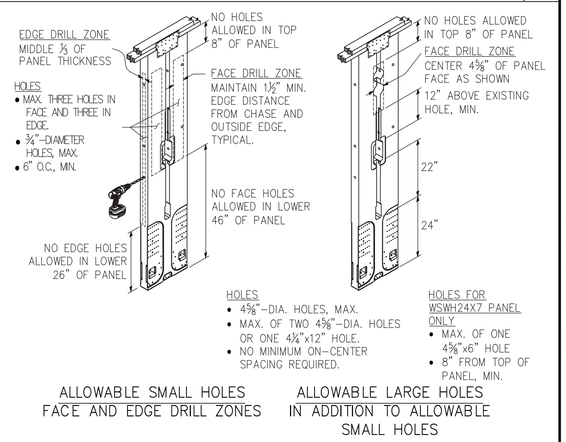
FOR 8" TO 12" BLOCK DEPTHS:
ATTACH SIMPSON STRONG-TIE® CS16 STRAPS AT EDGE OF WSWH PANEL (EACH SIDE) USING 10dx1½" NAILS

SHIM BLOCK HEIGHTS GREATER THAN 8" AND UP TO 10":
- 8 NAILS INTO BLOCK
- 8 NAILS INTO WSWH PANEL

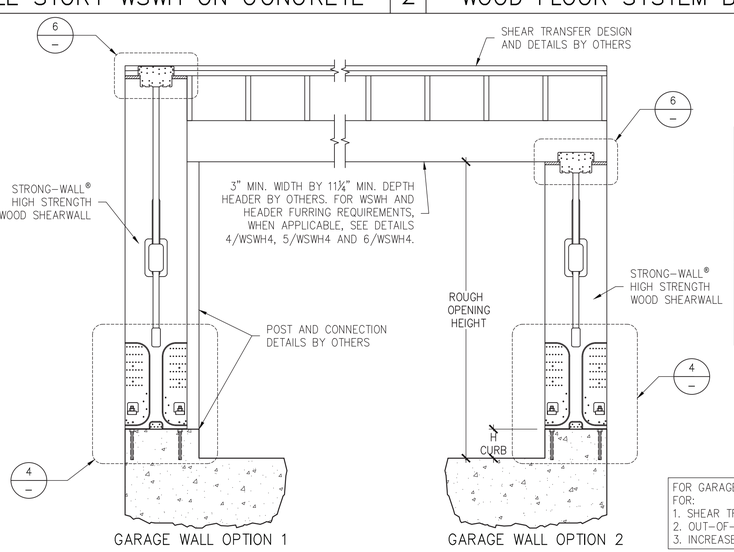
SHIM BLOCK HEIGHTS GREATER THAN 10" AND UP TO 12":
- 10 NAILS INTO BLOCK
- 10 NAILS INTO WSWH PANEL



TOP OF WALL HEIGHT ADJUSTMENTS 9



TRIM ZONE AND ALLOWABLE HOLES 10



DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

WHEN WSWH-PS STRAPS OMITTED, ALLOWABLE SHEAR VALUES FOR STANDARD PANEL APPLY.

GARAGE HEADER ROUGH OPENING HEIGHT

MODEL NO.	TRIMMED PANEL HEIGHT	H CURB	ROUGH OPENING HEIGHT
WSWH12x7 WSWH18x7 WSWH24x7	78"	5½"	6'-11½"
		6"	7'-0"
WSWH12x8 WSWH18x8 WSWH24x8	85½"	0"	7'-1½"
	93¼"	5½"	8'-2¾"
		6"	8'-3¼"

NOTES :
1. IF REQUIRED ROUGH OPENING HEIGHT EXCEEDS TABLE VALUE, SPECIFY NEXT TALLER PANEL AND TRIM AS NECESSARY. THE STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL MAY BE TRIMMED TO A MINIMUM HEIGHT OF 74½".
2. FURRING DOWN GARAGE HEADER MAY BE REQUIRED FOR CORRECT ROUGH OPENING HEIGHT.

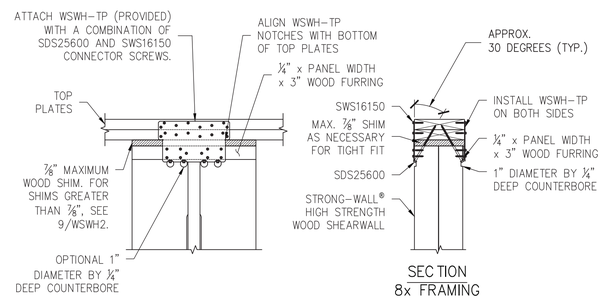
FOR GARAGE WALL OPTION 2, DESIGNER SHALL DESIGN AND DETAIL FOR:
1. SHEAR TRANSFER
2. OUT-OF-PLANE LOADING EFFECT
3. INCREASED OVERTURNING AND DRIFT DUE TO ADDITIONAL HEIGHT

ALTERNATE WSWH GARAGE FRONT OPTIONS 3

BACK-TO-BACK TOP CONNECTION 7

DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

WSWH-TP CONNECTION		
MODEL NO.	FASTENER QUANTITY	
	SWS16150	SDS25600
WSWH-TP12	28	4
WSWH-TP18	52	8
WSWH-TP24	92	16



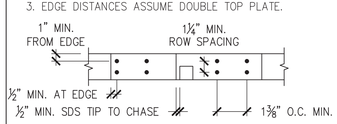
RAKE WALL 8

DESIGNER IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

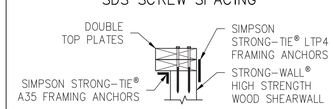
QTY. OF SDS¼"x6" SCREWS REQ'D.	
WSWH12	4
WSWH18	8
WSWH24	16

EDGE DISTANCE FOR SCREWS		
SLOPE	A (in.)	B (in.)
0:12-4:12	2	3
5:12-8:12	1½	4½
9:12-12:12	1½	5½

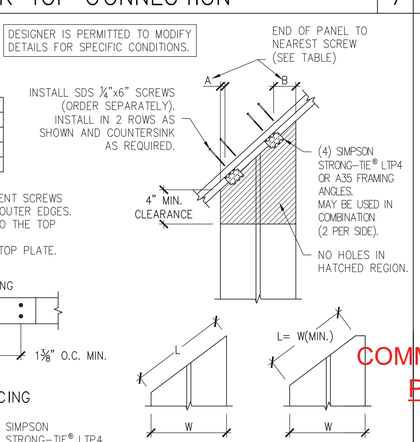
NOTES :
1. MAINTAIN END DISTANCES TO PREVENT SCREWS FROM PENETRATING THROUGH THE OUTER EDGES.
2. INSTALL SCREWS PERPENDICULAR TO THE TOP PLATE.
3. EDGE DISTANCES ASSUME DOUBLE TOP PLATE.



PLAN VIEW
SDS SCREW SPACING



SECTION VIEW
2X6 OR WIDER FRAMING



INSTALLATION NOTES :
1. ACTUAL CUT LENGTH (L) MUST BE GREATER THAN OR EQUAL TO PANEL WIDTH (W).
2. THIS DETAIL APPLICABLE FOR SLOPES UP TO 12:12.
3. PANELS TALLER THAN 12' MUST BE DESIGNED FOR THE APPLICATION.

GENERAL NOTES 11

1. STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL IS MANUFACTURED AND TRADEMARKED BY "SIMPSON STRONG-TIE COMPANY INC." HOME OFFICE: 5956 W. LAS POSITAS BLVD., PLEASANTON, CA 94588 TEL: (800) 999-5099, FAX: (925) 847-1597. "SIMPSON STRONG-TIE COMPANY INC." IS AN ISO 9001-2008 REGISTERED COMPANY.
2. USE OF THIS PRODUCT IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.
3. THIS PRODUCT IS PART OF THE OVERALL LATERAL FORCE RESISTING SYSTEM OF THE STRUCTURE. DESIGN OF THE BUILDING'S LATERAL FORCE RESISTING SYSTEM, INCLUDING THE LOAD PATH TO TRANSFER LATERAL FORCES FROM THE STRUCTURE TO THE GROUND, IS THE RESPONSIBILITY OF THE DESIGNER.
4. ENGINEER OF RECORD IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ELEVATIONS, ETC. PRIOR TO INSTALLATION OF ANY COMPONENTS FOR THE STRONG-WALL SB SYSTEM. IF ANY DISCREPANCIES ARE FOUND, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
6. INSTALLATION OF PRODUCT SHALL BE DONE IN CONFORMANCE TO THESE DRAWINGS. THE PERFORMANCE OF MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE DESIGNER.
7. SIMPSON STRONG-TIE COMPANY INC. RESERVES THE RIGHT TO CHANGE SPECIFICATIONS, DESIGNS, AND MODELS WITHOUT NOTICE OR LIABILITY FOR SUCH CHANGES.
8. ALL HARDWARE CALLED OUT IS SIMPSON STRONG-TIE.
9. SEE ICC-ES ESR-2652 OR CITY OF LOS ANGELES RR25730 AS APPLICABLE FOR ADDITIONAL INFORMATION.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

NO.	DATE	REVISIONS
0	11-20-2020	FIRST RELEASE - 2018 IBC
1	03-16-2021	2021 IBC REVISIONS

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

SIMPSON Strong-Tie, Co. Inc.
• 5956 W. Las Positas Blvd. Pleasanton, CA 94588
• Tel: (800) 999-5099
• Website: www.strongtie.com

SIMPSON Strong-Tie
THERE IS NO EQUAL

STRONG-WALL® WSWH
FRAMING DETAILS
ENGINEERED DESIGNS

SIMPSON Strong-Tie
THERE IS NO EQUAL

NAME
DATE 03-16-2021
SCALE N.T.S.
CHECKED
SHEET WSWH2
OF SHEETS
JOB NO.

GENERAL INFORMATION				
01	Project Name	Browns Lane Addition		
02	Run Title	Title 24 Analysis		
03	Project Location	14340 Browns Lane		
04	City	Los Gatos	05	Standards Version: 2022
06	Zip code	95032	07	Software Version: EnergyPro 9.4
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal): 270
10	Building Type	Single family	11	Number of Dwelling Units: 1
12	Project Scope	Addition and/or Alteration	13	Number of Bedrooms: 3
14	Addition Cond. Floor Area (ft^2)	499	15	Number of Stories: 1
16	Existing Cond. Floor Area (ft^2)	841	17	Fenestration Average U-factor: 0.3
18	Total Cond. Floor Area (ft^2)	1340	19	Glazing Percentage (%): 20.64%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area: n/a
22	Fuel Type	Natural gas	23	No Dwelling Unit: No

COMPLIANCE RESULTS	
01	**Building Complies with Computer Performance**
02	**Building does not require field testing or HERS verification**
03	**This building incorporates one or more Special Features shown below**

ENERGY USE SUMMARY

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft^2 -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft^2 -yr)	Margin (EDR1)	Margin (EDR2)
Space Heating	0	36.92	0	36.62	0	0.3
Space Cooling	0	49.55	0	48.93	0	0.62
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	49.14	0	49.14	0	0
Self Utilization/Flexibility Credit				0		0
Efficiency Compliance Total	**0**	**135.61**	**0**	**134.69**	**0**	**0.92**
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	8.3	0	8.3		
Appl. & Cooking	0	31.1	0	31.09		
Plug Loads	0	42.3	0	42.3		
Outdoor Lighting	0	1.75	0	1.75		
TOTAL COMPLIANCE	**0**	**219.06**	**0**	**218.13**		

ENERGY USE INTENSITY

	Standard Design (kBtu/ft^2 - yr)	Proposed Design (kBtu/ft^2 - yr)	Margin (kBtu/ft^2 - yr)	Margin Percentage
Gross EUI[1]	37.71	37.45	0.26	0.69
Net EUI[2]	37.71	37.45	0.26	0.69

Notes
1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- New ductwork added is less than 25 ft. in length

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft^2)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Browns Lane Addition	1340	1	3	2	0	1

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft^2)	Avg. Ceiling Height	Water Heating System 1	Status
Existing Living Area	Conditioned	HVAC System1	841	8	DHW Sys 1	Existing Unchanged
New Living Area	Conditioned	HVAC System1	499	9	DHW Sys 1	New

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft^2)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Existing Living Area	R-0 Wall	270	Front	40	0	90	none	Existing	No
Left Wall	Existing Living Area	R-0 Wall	0	Left	80	6	90	none	Existing	No
Rear Wall	Existing Living Area	R-0 Wall	90	Back	176	37.3	90	none	Existing	No
Right Wall	Existing Living Area	R-0 Wall	180	Right	272	80	90	none	Existing	No
Front Wall 2	New Living Area	R-15 Wall	270	Front	252	49.1	90	Extension	New	n/a
Left Wall 2	New Living Area	R-15 Wall	0	Left	297	65	90	Extension	New	n/a
Rear Wall 2	New Living Area	R-15 Wall	90	Back	99	4	90	Extension	New	n/a
Right Wall 2	New Living Area	R-15 Wall	180	Right	261	25	90	Extension	New	n/a
Interior Surface	Existing Living Area>>__Garage__	R-0 Wall1	n/a	n/a	136	17.8	n/a		Existing	No
Interior Surface 2	New Living Area>>__Garage__	R-15 Wall1	n/a	n/a	32	0	n/a		New	n/a
Interior Surface 3	New Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	320	0	n/a		New	n/a
Roof 4	Existing Living Area	R-11 Roof Attic	n/a	n/a	827	n/a	n/a		Existing	No
Front Wall 3	__Garage__	R-0 Wall	270	Front	160	0	90	none	Existing	No
Left Wall 3	__Garage__	R-0 Wall	0	Left	192	0	90	none	Existing	No
Rear Wall 3	__Garage__	R-0 Wall	90	Back	160	0	90	none	Existing	No
Right Wall 3	__Garage__	R-0 Wall	180	Right	192	0	90	none	Existing	No

OPAQUE SURFACES - CATHEDRAL CEILINGS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft^2)	Skylight Area (ft^2)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof	Existing Living Area	R-11 Roof Attic1	270	Front	14.1	14	3	0.1	0.85	No	Existing	No	
Roof 2	New Living Area	R-38 Roof No Attic	270	Front	499	14	3	0.1	0.85	No	New	n/a	
Roof 3	__Garage__	R-0 Roof No Attic	0	Left	486	0	3	0.1	0.85	No	Existing	No	

ATTIC

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing Living Area	Attic RoofExisting Living Area	Ventilated	3	0.1	0.85	No	No	Existing	No

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft^2)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
W12	Window	Left Wall	Left	0			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Door D11	Window	Rear Wall	Back	90			1	33.3	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
W11	Window	Rear Wall	Back	90			1	4	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Door D12	Window	Right Wall	Right	180			1	40	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Door D12 2	Window	Right Wall	Right	180			1	40	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
W7	Window	Front Wall 2	Front	270			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

FENESTRATION / GLAZING

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft^2)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
W8	Window	Front Wall 2	Front	270			1	2.3	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W9	Window	Front Wall 2	Front	270			1	4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W6	Window	Front Wall 2	Front	270			1	10.7	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W8 2	Window	Front Wall 2	Front	270			1	2.3	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W5	Window	Front Wall 2	Front	270			1	6	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W4	Window	Left Wall 2	Left	0			1	12.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W3	Window	Left Wall 2	Left	0			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W2	Window	Left Wall 2	Left	0			1	12.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W1	Window	Left Wall 2	Left	0			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W11 2	Window	Rear Wall 2	Back	90			1	4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W4 2	Window	Right Wall 2	Right	180			1	12.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
W2 2	Window	Right Wall 2	Right	180			1	12.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Skylight	Skylight	Roof	Front	270			1	7	1.19	Table 110.6-A	0.83	Table 110.6-B		Existing	No
Skylight 2	Skylight	Roof	Front	270			1	7	1.19	Table 110.6-A	0.83	Table 110.6-B		Existing	No
WS1	Skylight	Roof 2	Front	270			1	7	0.3	NFRC	0.23	NFRC		New	NA
WS1 2	Skylight	Roof 2	Front	270			1	7	0.3	NFRC	0.23	NFRC		New	NA

Carstairs Energy Inc.
2238 Bayview Heights Drive, Suite E
Los Osos, CA 93402
805-904-9048 title24@yahoo.com
www.carstairsenergy.com

Browns Lane Addition

OPAQUE DOORS

01	02	03	04	05	06
Name	Side of Building	Area (ft^2)	U-factor	Status	Verified Existing Condition
D1	Front Wall 2	17.8	0.2	New	n/a
D2	Interior Surface	17.8	0.2	Altered	No

SLAB FLOORS

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft^2)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	Existing Living Area	841	61	none	0	80%	No	Existing	No
Slab 2	New Living Area	499	101	none	0	100%	No	New	n/a
Slab 3	__Garage__	486	88	none	0	0%	No	Existing	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-0	None / None	0.484	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
R-11 Roof Attic1	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.085	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-11 / 2x4 Inside Finish: Gypsum Board
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-38	None / None	0.03	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 / 2x12 Inside Finish: Gypsum Board
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
R-15 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.086	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-11 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.081	Over Ceiling Joists: R-1.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Existing	No	

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	EF	0.53	Btu/Hr	75000	0	80	n/a		Existing	No

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

PLAN REVIEW APPROVAL
07.31.2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

TOWN OF LOS GATOS
BUILDING DIVISION

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Status	Verified Existing Condition	Existing HVAC System
HVAC System1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	Existing	No	

HVAC - HEATING UNIT TYPES

01	02	03	04	05
Name	System Type	Number of Units	Heating Efficiency	Heating Unit Brand
Heating Component 1	Central gas furnace	1	AFUE - 80	n/a

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Duct Ins. R-value		Duct Location		Surface Area		Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts >= 25 ft
			Supply	Return	Supply	Return	Supply	Return							
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hers-dist	Existing + New	No		No

HVAC - FAN SYSTEMS

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.58	n/a

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E
Project Name: Browns Lane Addition **Calculation Date/Time:** 2025-05-27T10:49:12-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Browns Lane Addition (14340) rev.ribd22x

HERS RATER VERIFICATION OF EXISTING CONDITIONS

OVERHANGS AND FINS - VERIFIED AND ALTERED

This section does not apply to this project.

Registration Number: Registration Date/Time: HERS Provider:
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2025-05-27 10:49:28

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01-E
Project Name: Browns Lane Addition **Calculation Date/Time:** 2025-05-27T10:49:12-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Browns Lane Addition (14340) rev.ribd22x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Timothy Carstairs, CEA, HERS, GPR	Documentation Author Signature:
Company: Carstairs Energy Inc.	Signature Date: 5/27/2025
Address: 2238 Bayview Heights Drive, Suite E	CEA/ HERS Certification Identification (If applicable): R19-06-30151
City/State/Zip: Los Osos, CA 93402	Phone: 805-904-9048

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Gordon K Wong	Responsible Designer Signature: DocuSigned by: GORDON WONG 2A1F6B37D5AC405...
Company: GKW Architects	Date Signed: 05/27/2025
Address: 710E McGlincy Ln Suite 109	License: C-34045
City/State/Zip: Campbell, CA 95121	Phone: 408-796-1845

REVIEWED
FOR
CODE COMPLIANCE
Jul 25, 2025
INTERWEST CONSULTING GROUP

Registration Number: Registration Date/Time: HERS Provider:
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 Report Generated: 2025-05-27 10:49:28

RESIDENTIAL MEASURES SUMMARY — RMS-1

Project Name	Building Type	Date
Browns Lane Addition	☑ Single Family ☐ Addition Alone ☐ Multi Family ☑ Existing+ Addition/Alteration	5/27/2025

Project Address	California Energy Climate Zone	Total Cond. Floor Area	Addition	# of Units
14340 Browns Lane Los Gatos	CA Climate Zone 04	1,340	499	1

INSULATION

Construction	Type	Cavity	Area (ft²)	Special Features	Status
Wall	Wood Framed	- no insulation	40		Existing
Wall	Wood Framed	- no insulation	74		Existing
Wall	Wood Framed	- no insulation	139		Existing
Wall	Wood Framed	- no insulation	192		Existing
Roof	Wood Framed Attic	R 11	827		Existing
Slab	Unheated Slab-on-Grade	- no insulation	841	Perim = 61'	Existing
Demising	Wood Framed	- no insulation	118		Existing
Wall	Wood Framed	R 15	203		New

FENESTRATION Total Area: 277 Glazing Percentage: 20.6% New/Altered Average U-Factor: 0.30

Orientation	Area(ft²)	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status
Left (N)	6.0	0.300	0.23	none	none	N/A	Altered
Rear (E)	37.3	0.300	0.23	none	none	N/A	Altered
Right (S)	80.0	0.300	0.23	none	none	N/A	Altered
Skylight	14.0	1.190	0.83	none	none	N/A	Existing
Front (W)	45.3	0.300	0.23	none	none	N/A	New
Left (N)	65.0	0.300	0.23	none	none	N/A	New
Rear (E)	4.0	0.300	0.23	none	none	N/A	New
Right (S)	25.0	0.300	0.23	none	none	N/A	New

HVAC SYSTEMS

Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status
1	Gas Central Furnace	80% AFUE	No Cooling	14.0 SEER	Setback	Existing

HVAC DISTRIBUTION

Location	Heating	Cooling	Duct Location	Duct R-Value	Status
HVAC System	Ducted	Ducted	n/a	n/a	Altered

WATER HEATING

Qty.	Type	Gallons	Min. Eff	Distribution	Status

RESIDENTIAL MEASURES SUMMARY — RMS-1

Project Name	Building Type	Date
Browns Lane Addition	☑ Single Family ☐ Addition Alone ☐ Multi Family ☑ Existing+ Addition/Alteration	5/27/2025

Project Address	California Energy Climate Zone	Total Cond. Floor Area	Addition	# of Units
14340 Browns Lane Los Gatos	CA Climate Zone 04	1,340	499	1

INSULATION

Construction	Type	Cavity	Area (ft²)	Special Features	Status
Door	Opaque Door	R-5	18		New
Wall	Wood Framed	R 15	232		New
Wall	Wood Framed	R 15	95		New
Wall	Wood Framed	R 15	236		New
Roof	Wood Framed Rafter	R 38	485		New
Slab	Unheated Slab-on-Grade	- no insulation	499	Perim = 101'	New
Demising	Wood Framed	R 15	32		New
Demising	Wood Framed	- no insulation	320		New

FENESTRATION Total Area: 277 Glazing Percentage: 20.6% New/Altered Average U-Factor: 0.30

Orientation	Area(ft²)	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status

HVAC SYSTEMS

Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status

HVAC DISTRIBUTION

Location	Heating	Cooling	Duct Location	Duct R-Value	Status

WATER HEATING

Qty.	Type	Gallons	Min. Eff	Distribution	Status

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.
(04/2022)

Building Envelope:

§ 110.6(a)1:	**Air Leakage.** Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	**Labeling.** Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	**Field fabricated exterior doors and fenestration** products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped. *
§ 110.7:	**Air Leakage.** All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	**Insulation Certification by Manufacturers.** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	**Insulation Requirements for Heated Slab Floors.** Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	**Roofing Products Solar Reflectance and Thermal Emittance.** The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	**Radiant Barrier.** When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	**Roof Deck, Ceiling and Rafter Roof Insulation.** Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. *
§ 150.0(b):	**Loose-fill Insulation.** Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	**Wall Insulation.** Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B. *
§ 150.0(d):	**Raised-floor Insulation.** Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *
§ 150.0(f):	**Slab Edge Insulation.** Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	**Vapor Retarder.** In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).
§ 150.0(g)2:	**Vapor Retarder.** In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	**Fenestration Products.** Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. *

Fireplaces, Decorative Gas Appliances, and Gas Log:

§ 110.5(e)	**Pilot Light.** Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	**Closable Doors.** Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	**Combustion Intake.** Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. *
§ 150.0(e)3:	**Flue Damper.** Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *

Space Conditioning, Water Heating, and Plumbing System:

§ 110.0-§ 110.3:	**Certification.** Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission. *
§ 110.2(a):	**HVAC Efficiency.** Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *
§ 110.2(b):	**Controls for Heat Pumps with Supplementary Electric Resistance Heaters.** Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. *
§ 110.2(c):	**Thermostats.** All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. *
§ 110.3(c)3:	**Insulation.** Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.
§ 110.3(c)6:	**Isolation Valves.** Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

5/6/22

2022 Single-Family Residential Mandatory Requirements Summary

§ 110.5:	**Pilot Lights.** Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters. *
§ 150.0(h)1:	**Building Cooling and Heating Loads.** Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	**Clearances.** Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	**Liquid Line Drier.** Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	**Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation.** All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2:	**Insulation Protection.** Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment` maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	**Gas or Propane Water Heating Systems.** Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	**Solar Water-heating Systems.** Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.

Ducts and Fans:

§ 110.8(d)3:	**Ducts.** Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	**CMC Compliance.** All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¼", If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in these spaces must not be compressed. *
§ 150.0(m)2:	**Factory-Fabricated Duct Systems.** Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	**Field-Fabricated Duct Systems.** Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	**Backdraft Damper.** Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	**Gravity Ventilation Dampers.** Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	**Protection of Insulation.** Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.
§ 150.0(m)10:	**Porous Inner Core Flex Duct.** Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.
§ 150.0(m)11:	**Duct System Sealing and Leakage Test.** When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.1.
§ 150.0(m)12:	**Air Filtration.** Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the filter. *

5/6/22

2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(m)13:	**Space Conditioning System Airflow Rate and Fan Efficacy.** Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

Ventilation and Indoor Air Quality:

§ 150.0(o)1:	**Requirements for Ventilation and Indoor Air Quality.** All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *
§ 150.0(o)1B:	**Central Fan Integrated (CFI) Ventilation Systems.** Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed andcontrolled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
§ 150.0(o)1C:	**Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses .** Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	**Local Mechanical Exhaust.** Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1H&I:	**Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems.** The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
§ 150.0(o)2:	**Field Verification and Diagnostic Testing.** Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G

Pool and Spa Systems and Equipment:

§ 110.4(a):	**Certification by Manufacturers.** Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
§ 110.4(b)1:	**Piping.** Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	**Covers.** Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	**Directional Inlets and Time Switches for Pools.** Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	**Pilot Light.** Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	**Pool Systems and Equipment Installation.** Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves. *

Lighting:

§ 110.9:	**Lighting Controls and Components.** All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9. *
§ 150.0(k)1A:	**Luminaire Efficacy.** All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.
§ 150.0(k)1B:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1C:	**Recessed Downlight Luminaires in Ceilings.** Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.
§ 150.0(k)1D:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1E:	**Blank Electrical Boxes.** The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control, low voltage wiring, or fan speed control.
§ 150.0(k)1F:	**Lighting Integral to Exhaust Fans.** Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k). *

5/6/22

2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(k)1G:	**Screw based luminaires.** Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1H:	**Light Sources in Enclosed or Recessed Luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	**Light Sources in Drawers, Cabinets, and Linen Closets.** Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	**Interior Switches and Controls.** All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	**Interior Switches and Controls.** Exhaust fans must be controlled separately from lighting systems. *
§ 150.0(k)2A:	**Accessible Controls.** Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	**Multiple Controls.** Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	**Mandatory Requirements.** Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	**Energy Management Control Systems.** An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	**Automatic Shutoff Controls.** In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	**Dimmers.** Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	**Independent controls.** Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	**Residential Outdoor Lighting.** For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	**Internally illuminated address signs.** Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	**Residential Garages for Eight or More Vehicles.** Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

Solar Readiness:

§ 110.10(a)1:	**Single-family Residences.** Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	**Minimum Solar Zone Area.** The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. *
§ 110.10(b)2:	**Azimuth.** All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	**Shading.** The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment. *
§ 110.10(b)3B:	**Shading.** Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. *
§ 110.10(b)4:	**Structural Design Loads on Construction Documents.** For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	**Interconnection Pathways.** The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	**Documentation.** A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(e)1:	**Main Electrical Service Panel.** The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	**Main Electrical Service Panel.** The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

Electric and Energy Storage Ready:

5/6/22

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
07/31/2025

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL
07.31.2025
TOWN OF LOS GATOS
BUILDING DIVISION

Carstairs Energy Inc.
2238 Bayview Heights Drive, Suite E
Los Osos, CA 93402
805-904-9048 title24@yahoo.com
www.carstairsenergy.com

Browns Lane Addition

T.24-2

Town of Los Gatos, CA

Town of Los Gatos
110 E. Main St.
Los Gatos, CA 95030
408-354-6834

Final Report - Approved

Application Number: B25-0171

Description : REAR/ FRONT ADDITION (499 SF) REMODEL PORTION OF (E) HOME INTO A 2- CAR GARAGE, 486 SF.
Address : BROWNS LN, LOS GATOS, CA, 95032
Record Type : Residential - Addition
Document Filename : DEMOLITION AFFIDAVIT B025-0171.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Hannah Menicucci	hmenicucci@losgatosca.gov	408-399-5711

General Comments

Corrections in the following table need to be applied before a permit can be issued

Page Ref	Annotation Type	Author : Department	Status	Page	Review Comments	Applicant Response Comments
1	Stamp	Hannah Menicucci : Building	Open	1	Plan Review Approval	
2	Stamp	Hannah Menicucci : Building	Open	2	Plan Review Approval	
3	Stamp	Hannah Menicucci : Building	Open	3	Plan Review Approval	
4	Stamp	Hannah Menicucci : Building	Open	4	Plan Review Approval	
5	Stamp	Hannah Menicucci : Building	Open	5	Plan Review Approval	
6	Stamp	Hannah Menicucci : Building	Open	6	Plan Review Approval	

EXHIBIT 3

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

DEMOLITION AFFIDAVIT

Historic Structures (Located in an historic district, on an historic site, or constructed prior to 1941) Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

***Demolition (historic structures)* means:**

- Removal of more than twenty-five (25) percent of the wall area facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) and/or fifty (50) percent of all exterior wall area; or
- Enclosure or alteration of more than twenty-five (25) percent of the wall area facing a public street and/or fifty (50) percent of the exterior wall area so that they no longer function as exterior walls.

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. There are exemptions for replacement, repair, or removal. Please see Section 29.10.020 for exemptions.

- Exterior wall covering means the exterior finished surface of an exterior wall (i.e. stucco, siding, or shingles).

NonHistoric Structures Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

***Demolition (nonhistoric structures)* means:**

- Removal of more than fifty (50) percent, as measured linearly, of all exterior walls.
- An exterior wall encompasses the total height and width of the studs/structural elements used in framing the side of the building.
- Measurement of existing exterior walls, for the purpose of demolition calculation, is a linear measurement of the perimeter of each floor of the building (the perimeter of the first floor plus the perimeter of the second floor).

There is an exemption for repair. Please see Section 29.10.020 for the exemption.

Additional Information:

- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- The installation of new doors or windows within existing door and window openings does not count as demolition.
- Existing exterior wall framing may not be removed from the existing wall plane, stored elsewhere, and/or replaced.
- Existing exterior wall framing must remain within the existing wall plane.
- The height of the existing wall framing may be increased to accommodate a taller plate height if kept within the existing wall plane.
- The existing top and bottom plate of the wall framing shall remain, and portions may not be removed. If cut, this section of wall framing will be counted as removed.
- Existing exterior wall framing may be lifted if kept within the existing wall plane to be attached to a new foundation or below-grade square footage.

PLAN REVIEW APPROVAL
08.12.2025
TOWN OF LOS GATOS
BUILDING DIVISION

I have read and understand all the information on this page:

8.12.2025

Property Owner (Sign & Date)

DocuSigned by: Armen Shamamian 34000DAD87074CD... 8/12/2025

Engineer of Record (Sign & Date)

DocuSigned by: GORDON WONG 2A1E6B37D5AC405... 8/12/2025

Architect of Record (Sig & Date)

8.12.25

Contractor of Record (Sign & Date)

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

DEMOLITION AFFIDAVIT (continued)

Read this entire page, initial by your title, sign, and date at the bottom.

_____ **Property Owner:** I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. Furthermore, I am ultimately responsible for all persons working on this project.

DS

GW _____ **Architect of Record:** I certify that I have reviewed the project demolition plan/colorized elevations and verify that it is accurate, does not propose a demolition as defined by the Town, and that the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

DS

AS _____ **Engineer of Record:** I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

_____ **Contractor of Record**: I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town.

I, Engineer of Record, Architect of Record, Property Owner, and Contractor of Record, hereby certify that I have read and fully understand Section 29.10.020 of the Town Code (attached) concerning the definition of an historic structure and the definition of a demolition and that I have read and fully understand Section 29.10.09030 (f) through (l) of the Town Code (attached) concerning penalties associated with unlawful demolition. I understand that if an unlawful demolition occurs, this application and permit will be subject to an additional development review process including a public hearing for which new requirements may be imposed and any existing nonconforming conditions will need to be addressed. New requirements may include undergrounding of electrical service, sidewalk improvements, and right-of-way dedication.

This property ☐ **is** ☑ **is not** **historic.**

14340 BROWNS LANE **PROJECT ADDRESS**	B25-0171 **Building Permit Number**
DocuSigned by: Armen Shamamian 34000DAD87074BD... Armen Shamamian 8/12/2025 **Engineer of Record (sign, print, and date)**	PLAN REVIEW APPROVAL Cathleen Vadasz 8.12.2025 **Property Owner (sign, print, and date)** 08.12.2025
DocuSigned by: GORDON WONG 2A1F6B37D5AC405... Gordon K Wong 8/12/2025 **Architect of Record (sign, print, and date)**	Lamar Noland 8.12.2025 **Contractor of Record (sign, print, and date)** TOWN OF LOS GATOS BUILDING DIVISION

The information contained in this application is considered part of the public record. Therefore, it will appear in both the public record file for the site address, which is available upon request, and on the permitting system on the official Town of Los Gatos website at www.losgatosca.gov. Rev. 4/25

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

Excerpts from Los Gatos Town Code
Chapter 29
Section 29.10.020

Demolition (historic structures) means:

(1) Removal of more than twenty-five (25) percent of the wall(s) facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of all exterior walls; or

(2) Enclosure or alteration (i.e.: new window and/or window relocation) of more than twenty-five percent of the walls facing a public street (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of the exterior walls so that they no longer function as exterior walls; or

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

a. Replacement. The exterior wall covering may be removed if the covering is not original to the structure.

b. Repair. The removal and replacement of in kind non-repairable exterior wall covering resulting in no change to its exterior appearance or historic character if approved by the deciding body.

c. Removal. The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

Demolition (non historic structures) means removal of more than fifty (50) percent of the exterior walls. The following is exempt from this definition:

a. Repair. The removal and replacement of in kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

Excerpts from Los Gatos Town Code
Chapter 29
Section 29.10.09030

Sec. 29.10.09030. Demolitions.

(a) Scope. Applications for demolition permits (Uniform Building Code section 3001(a), or any successor section) filed with the Building Department shall be submitted to the Planning Director for approval unless such permit is required as part of a code enforcement action by the Building Official, Council, or other authorized agency.

PLAN REVIEW APPROVAL
08.12.2025

(b) Approval of permits. The Planning Director may approve the demolition permit application if:

(1) It is accompanied by a building permit for a replacement structure which meets all town regulations and has received all required approvals, or

TOWN OF LOS GATOS
BUILDING DIVISION

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

(2) It is for demolition of an accessory building or structure.

(c) Demolition of historic structures. A demolition permit for a historic structure may only be approved if:

(1) The structure poses an imminent safety hazard; or

(2) The structure is determined not to have any special historical, architectural or aesthetic interest or value.

Any request to demolish an historic structure shall be reviewed by the Historic Preservation Committee. All applications to demolish an historic structure which has been identified as a contributor to an existing historic district, a potential historic district, or is eligible for local designation shall be accompanied by a detailed report describing all aspects of the structure's physical condition and shall incorporate pertinent information from the Town's Historic Resources Inventory describing the structure's historical and architectural characteristics. This report shall be prepared by a qualified person knowledgeable in historic preservation under contract with the Town at the applicant's expense. Applications for all other historic structures proposed for demolition shall be accompanied by a detailed report describing all aspects of the structure's physical condition prepared by an architect, licensed design professional or registered civil engineer at the applicant's expense.

(d) Architecture and site approval required. Issuance of a demolition permit requires architecture and site approval if:

(1) The conditions of subsection (b)(1) are not met, or

(2) An application is for demolition of an accessory building or structure and the Planning Director determines for any reason that the accessory building or structure ought not to be demolished.

(e) Findings. In architecture and site approval proceedings, the deciding body shall consider:

(1) Maintaining the Town's housing stock.

(2) Preservation of historically or architecturally significant buildings or structures.

(3) Property owner's desire or capacity to maintain the structure.

(4) Economic utility of the building or structure.

(f) Verification that work will not result in a demolition: Prior to issuance of a building permit and/or zoning approval for an addition where the work will result in the removal of over forty (40) percent of the exterior walls, the developer shall submit written verification from a registered structural engineer, certifying that the exterior walls shown to remain are structurally sound and will not be required to be removed for the addition. Prior to issuance of a building permit, the property owner and contractor shall sign an affidavit to the town that they are aware of the town's definition of a demolition and the penalties associated with an unlawful demolition.

PLAN REVIEW APPROVAL
08.12.2025
TOWN OF LOS GATOS
BUILDING DIVISION

(g) Penalties for unlawful demolition: A property owner who has unlawfully demolished a structure shall:

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

(1) File the required Planning and Building Department applications and pay the required fees as established by resolution for new applications and for work unlawfully completed.

(2) Be subject to the greater of the following penalties set by the Planning Director as an administration order:

a. If the structure has a Landmark Historic Preservation designation a fine equaling fifteen (15) percent of the building permit valuation at the time of demolition, as determined by the Planning Director; or

b. If the structure was an historic residence and does not have a Landmark Historic Preservation overlay zone, the fine shall be equal to ten (10) percent of the building permit valuation at the time of demolition, as determined by the Planning Director.
If no building permit was issued, the fine shall be assessed on the building permit filed for the replacement structure.

(3) In all cases, no changes to the previously approved plans may be made except as determined by the Planning Director to meet current zoning and building code requirements. No building permits for new construction at this site shall be approved until the required applications have been filed and approved and the required penalty fee has been paid.

(h) Collection of penalty fees. The Town may collect the assessed penalty fees by use of all legal means including the recordation of a lien.

(1) Whenever the amount on the penalty fee pursuant to this chapter has not been satisfied in full within ninety (90) days and/or has not been successfully challenged by a timely writ of mandate, this obligation may constitute a lien against the real property on which the violation has occurred.

(2) The lien provided herein shall have no force and effect until recorded with the county recorder. Once recorded, the administration order shall have the force and effect and priority of a judgment lien governed by the provisions of sections 697.340 of the Code of Civil Procedure and may be extended as provided in sections 683.110 to 683.220, inclusive, of the Code of Civil Procedure.

(3) Interest shall accrue on the principal amount of the judgment remaining unsatisfied pursuant to law.

(4) Prior to recording any such lien, the Planning Director shall prepare and file with the Town Clerk a report stating the amounts due and owing.

(5) The Town Clerk shall fix a time, date and place for hearing such report and any protests or objections thereto by Town Council.

PLAN REVIEW APPROVAL

(6) The Planning Director shall cause written notice to be served on the property owner not less than ten (10) days prior to the time set for the hearing.

08.12.2025

a. Demolition for Corrective Maintenance. If during the construction process for an approved construction the developer has determined that the structure is in a deteriorated condition that cannot be repaired, an architecture and site application can be filed requesting a demolition without a penalty provided the following conditions have been met:

TOWN OF LOS GATOS
BUILDING DIVISION

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

1. Construction work has ceased, and

2. The work completed prior to filing the application does not classify as a demolition, and

3. Documentation has been provided to justify the necessity of the demolition, and

4. No changes to the previously approved plans will be made except as determined by the Planning Director to meet current zoning and building code requirements. If a planning filing fee was paid for the original addition, this fee shall be credited to the architecture and site application fee. If the Development Review Committee determines that the application cannot be approved, the applicant shall pay the credited fee for the architecture and site application if the application is appealed to the Planning Commission.

(j) Salvage of Building Materials. When demolition of a structure is allowed, the town shall provide the developer of the structure to be demolished with information about the salvaging of building materials. At least ten (10) days prior to the date when the demolition is scheduled to commence, the developer shall provide the Planning Director with written notice, and an advertisement published in a newspaper of general circulation, of the availability of materials for salvage, including the name and telephone number of a contact person. Upon request, the Planning Director may make this information available to persons who may be interested in contacting the owner(s) to arrange for possible salvage of building materials. No salvaging of materials shall occur until a demolition permit has been approved by the Building Department.

(Ord. No. 1316, §§ 3.65.010--3.65.040, 6-7-76; Ord. No. 1375, 11-21-77; Ord. No. 1789, § V, 5-15-89; Ord. No. 1887, § I, 2-3-92; Ord. No. 2083, § I, 5-7-01; Ord. No. 2285, § I, 6-18-19; Ord. No. 2295, § I, 11-19-19)

PLAN REVIEW APPROVAL

08.12.2025

TOWN OF LOS GATOS
BUILDING DIVISION

This Page Intentionally Left Blank

TOWN OF LOS GATOS
STOP WORK NOTICE

November 14, 2025

Vadasz Cathleen
14340 Browns Ln
Los Gatos CA 95032

SUBJECT: **STOP WORK**
DESCRIPTION: **STOP WORK- REVISED DEMOLITION PLAN WITH CALCULATIONS IS REQUIRED PRIOR TO PROCEEDING WITH CONSTRUCTION. PLEASE SUBMIT THE UPDATED DOCUMENTS FOR REVIEW.**
SITE ADDRESS: 14340 Browns Ln **BV25-022**

Dear Vadasz Cathleen,

On November 14, 2025, a Town building inspector issued a stop work notice for a project under construction at the above address. A search of the Town's records revealed that proper plans and permits need to be revised, reviewed, approved and re-issued.

This work is in violation of the 2022 California Building Code Section 105.1 which states that permits are required for the remodel, alteration, repair or addition to any structure.

Please be advised that proper building permits for the work under construction need to be obtained immediately. Failure to correct this violation will cause the matter to be referred to Code Enforcement for legal action.

If you have any questions or need assistance in the application process, please contact me at (408) 354-6815.

Very truly yours,

Robert Gray, CBO
Chief Building Official

RG:KM:mb

★★★
FOR OFFICE USE ONLY

PERMITS	CONTACT	REFERRED	RESOLVED

N:/DEV/BuildingOfficial/StopWork/2025/BrownsLn.14340

STOP WORK NOTICE

Town of Los Gatos - Building Division

408-354-6876 • Building@LosGatosCA.gov

The Construction Work at...

[illegible]

Permit #: BCS-[illegible] Date Issued: 11/15/[illegible]

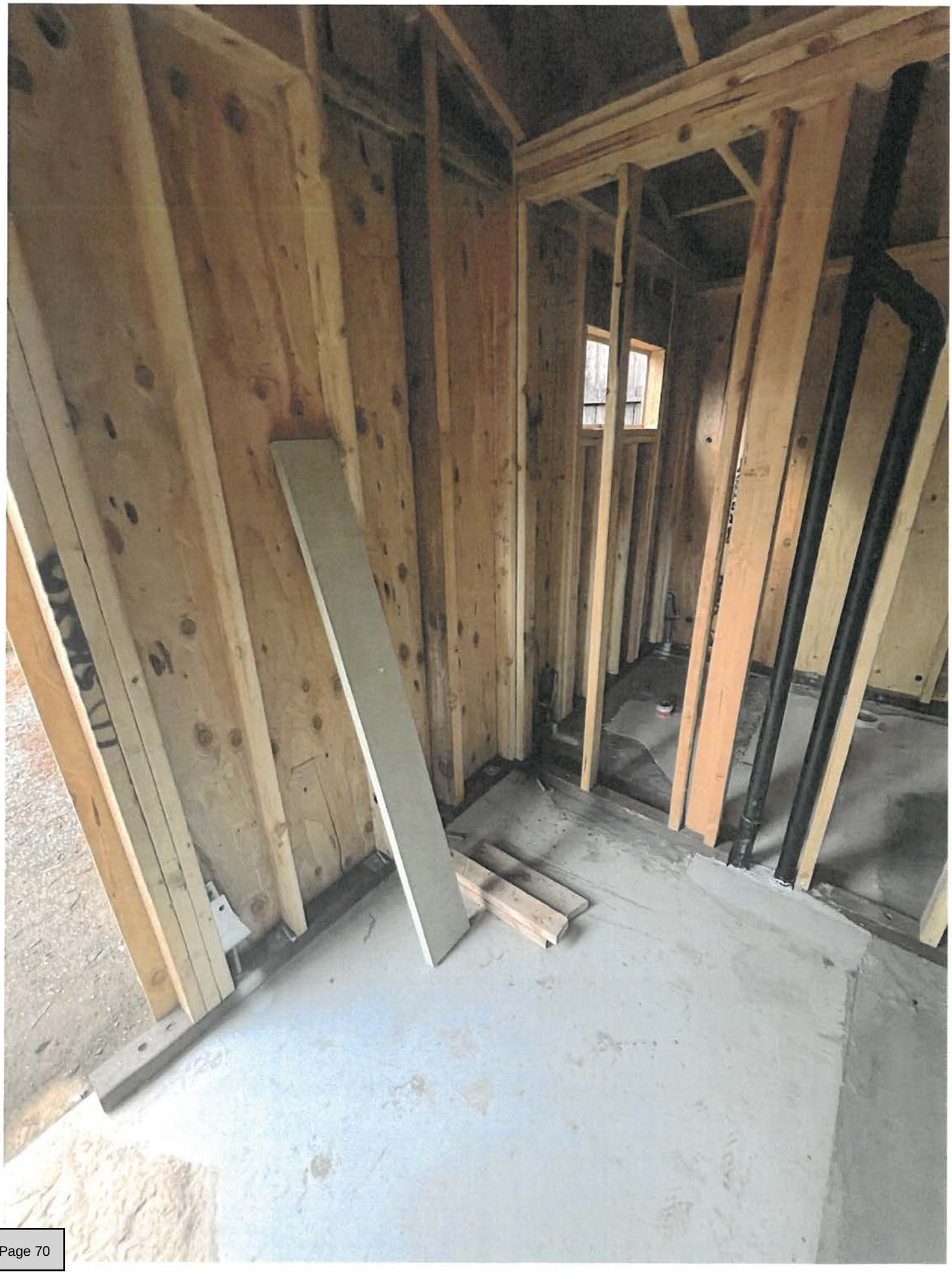
- ☐ Is in violation of California Building Code (CBC) Section 105.1, "Permits Required"
- ☐ Is in violation of CBC Section _____, "Work is being done contrary to the provisions of this code or other pertinent laws or ordinances..."

Please revised plan of existing demolition plan & calculations, new demolition plan & calculations of all exterior walls with sections showing [illegible] or cloud in the [illegible]

Inspector Name: Kyle Monke

Inspector Phone: (408) 354 6819

Date 11/15/25 ☐ Photo Taken



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

November 21, 2025

Gordon Wong, Architect
710 E. McGlincy Lane, Suite 109
Campbell, CA 95008
Via email

RE: <u>14340 Browns Lane Unlawful Demolition</u>
Building Permit B-25-0171

Dear Mr. Wong,

It has been brought to staff's attention that more than 50 percent of the existing exterior wall framing has been removed at 14340 Browns Ln (Building Permit B25-0171) without prior notification to the Planning Division. This activity constitutes an unlawful demolition pursuant to the Town Code and the executed Demolition Affidavit for non-historic structures. For reference, an exterior wall includes the full height and width of studs used in framing the sides of the building. A copy of the signed Demolition Affidavit is attached.

Penalties for Unlawful Demolition
Pursuant to Town Code Section 29.10.09030(g), a property owner who unlawfully demolishes a structure is required to file all applicable Planning and Building Department applications and pay the associated fees and penalties, as established by resolution, for any new applications and for work performed unlawfully.

Architecture and Site Application (Planning Application and Public Hearing Required)
As required by the Town Code, an Architecture and Site (A&S) Application must be submitted to request approval for demolition of the existing single-family residence and construction of a new single-family residence. This application will be processed as a new home and will require review by Planning, Engineering, Building, and Fire staff through the Staff Technical Review process.

Please be advised that additional improvements may be required, including undergrounding of utilities (Engineering Division) and providing fire apparatus turnaround (Santa Clara County Fire Department). As a result of the unlawful demolition, the project will be reviewed and regulated as new construction and must comply with all Zoning Code requirements applicable to the R-1:8 zone, including, but not limited to, minimum setback requirements.

Once the application has been deemed complete by all aforementioned reviewing parties, the application will be scheduled for a public hearing before either the Development Review Committee or Planning Commission. Link to Application:
https://www.losgatosca.gov/DocumentCenter/View/361/Development-Review-Application-Package-PDF?bidId=

See application and submittal requirements on pages 7 and 8.

- Submit a pre-application for Planning for an Architecture and Site Application via the Town's online permitting system. https://www.losgatosca.gov/897/Planning
- A project planner will review to determine if the application materials are complete.
- Fees will be collected by the project planner.
    - Fees: $22,568.18 x 2 = **$45,136.36** (Per Town Code, double application fees for work unlawfully completed)

Future Building and Engineering Application associated with the A&S:
Please note that, in accordance with the Town Code, double permit fees will apply to all future Building and Engineering applications associated with this project.

Existing Building Permit B25-0171:
A stop-work order has been placed on Building Permit B25-0171. For questions regarding the building permit, please contact Roy Alba, Senior Building Inspector.

Please let me know if you would like to discuss the A&S process in more detail or if you need any assistance with next steps.

Appeal Rights:
Pursuant to Town Code Section 29.20.255. - Appeals from the decision by the Community Development Director. Any interested person as defined in section 29.10.020 may appeal to the Planning Commission any decision of the Community Development Director: (4) Determination of an unlawful demolition and/or the penalty and the cost assessment for the unlawful demolition.

Pursuant to Town Code Section 29.20.260. - Notice of appeal. The appellant must file a written notice of appeal with the Planning Director not more than ten (10) days after the date of mailing of written notification of the Planning Director's decision. The appeal must be submitted in person with fees paid no later than 4:00 pm, Monday, December 1, 2025. Appeal filings may be submitted to the Community Development Department or the Town Clerk at 110 E. Main Street.

You are entitled to file future applications for the development of the property, subject to Town requirements, including payment of application fees and submission of supporting documentation. If you have any questions, I can be contacted by phone at (408) 354-6823 or by email at smullin@losgatosca.gov.

Sincerely,

Sean Mullin, AICP
Planning Manager

cc: Cathy Vadasz, via email

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

DEMOLITION AFFIDAVIT

Historic Structures (Located in an historic district, on an historic site, or constructed prior to 1941) Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

***Demolition (historic structures)* means:**

- Removal of more than twenty-five (25) percent of the wall area facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) and/or fifty (50) percent of all exterior wall area; or
- Enclosure or alteration of more than twenty-five (25) percent of the wall area facing a public street and/or fifty (50) percent of the exterior wall area so that they no longer function as exterior walls.

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. There are exemptions for replacement, repair, or removal. Please see Section 29.10.020 for exemptions.

- Exterior wall covering means the exterior finished surface of an exterior wall (i.e. stucco, siding, or shingles).

NonHistoric Structures Demolition: The definition of demolition as set forth in Section 29.10.020 of the Zoning Regulations is attached.

***Demolition (nonhistoric structures)* means:**

- Removal of more than fifty (50) percent, as measured linearly, of all exterior walls.
- An exterior wall encompasses the total height and width of the studs/structural elements used in framing the side of the building.
- Measurement of existing exterior walls, for the purpose of demolition calculation, is a linear measurement of the perimeter of each floor of the building (the perimeter of the first floor plus the perimeter of the second floor).

There is an exemption for repair. Please see Section 29.10.020 for the exemption.

Additional Information:

- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- If you encounter an unanticipated situation that changes the scope of work, **STOP WORK** and contact the Planning Division at (408) 354-6872 to discuss the changes **BEFORE YOU PROCEED**.
- The installation of new doors or windows within existing door and window openings does not count as demolition.
- Existing exterior wall framing may not be removed from the existing wall plane, stored elsewhere, and/or replaced.
- Existing exterior wall framing must remain within the existing wall plane.
- The height of the existing wall framing may be increased to accommodate a taller plate height if kept within the existing wall plane.
- The existing top and bottom plate of the wall framing shall remain, and portions may not be removed. If cut, this section of wall framing will be counted as removed.
- Existing exterior wall framing may be lifted if kept within the existing wall plane to be attached to a new foundation or below-grade square footage.

I have read and understand all the information on this page:

8.12.2025

Property Owner (Sign & Date)

DocuSigned by:
Armen Shamamian
34000DAD87074CD...
8/12/2025

Engineer of Record (Sign & Date)

DocuSigned by:
GORDON WONG
2A1E6B37D5AC405...
8/12/2025

Architect of Record (Sig & Date)

8.12.25

Contractor of Record (Sign & Date)

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

DEMOLITION AFFIDAVIT (continued)

Read this entire page, initial by your title, sign, and date at the bottom.

_____ **Property Owner:** I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. Furthermore, I am ultimately responsible for all persons working on this project.

GW DS

_____ **Architect of Record:** I certify that I have reviewed the project demolition plan/colorized elevations and verify that it is accurate, does not propose a demolition as defined by the Town, and that the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

AS DS

_____ **Engineer of Record:** I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town. This certification does not apply to work of any other consultant or contractor that is inconsistent with the plan that I have prepared or otherwise approved for this project.

_____ **Contractor of Record**: I certify that I have reviewed the proposed plans and understand all the implications of the proposed scope of work as it pertains to the demolition affidavit. I certify that I have reviewed the project demolition plan/colorized elevations, and the structural plans do not conflict with the demolition plans. I understand that an unlawful demolition will result in a stop work order, fee penalties, and additional review (as a new structure) as prescribed by the Town.

I, Engineer of Record, Architect of Record, Property Owner, and Contractor of Record, hereby certify that I have read and fully understand Section 29.10.020 of the Town Code (attached) concerning the definition of an historic structure and the definition of a demolition and that I have read and fully understand Section 29.10.09030 (f) through (l) of the Town Code (attached) concerning penalties associated with unlawful demolition. I understand that if an unlawful demolition occurs, this application and permit will be subject to an additional development review process including a public hearing for which new requirements may be imposed and any existing nonconforming conditions will need to be addressed. New requirements may include undergrounding of electrical service, sidewalk improvements, and right-of-way dedication.

This property ☐ **is** ☑ **is not** **historic.**

14340 BROWNS LANE **PROJECT ADDRESS**	B25-0171 **Building Permit Number**
DocuSigned by: Armen Shamamian 34000DAD87074BD... Armen Shamamian 8/12/2025 **Engineer of Record (sign, print, and date)**	Cathleen Vadasz 8.12.2025 **Property Owner (sign, print, and date)**
DocuSigned by: GORDON WONG 2A1F6B37D5AC405... Gordon K Wong 8/12/2025 **Architect of Record (sign, print, and date)**	Lamar Noland 8.12.2025 **Contractor of Record (sign, print, and date)**

The information contained in this application is considered part of the public record. Therefore, it will appear in both the public record file for the site address, which is available upon request, and on the permitting system on the official Town of Los Gatos website at www.losgatosca.gov. Rev. 4/25

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

Excerpts from Los Gatos Town Code
Chapter 29
Section 29.10.020

Demolition (historic structures) means:

(1) Removal of more than twenty-five (25) percent of the wall(s) facing a public street(s) (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of all exterior walls; or

(2) Enclosure or alteration (i.e.: new window and/or window relocation) of more than twenty-five percent of the walls facing a public street (or a street facing elevation if the parcel is a corridor lot or is landlocked) or fifty (50) percent of the exterior walls so that they no longer function as exterior walls; or

All remaining exterior walls must retain the existing exterior wall covering. No new exterior wall covering shall be permitted over the existing exterior wall covering. The following are exempt from this definition:

a. Replacement. The exterior wall covering may be removed if the covering is not original to the structure.

b. Repair. The removal and replacement of in kind non-repairable exterior wall covering resulting in no change to its exterior appearance or historic character if approved by the deciding body.

c. Removal. The removal of an addition(s) that is not part of the original structure and which has no historic significance, as determined by the Historic Preservation Committee. Demolition shall be determined by subsections (1) and (2) above for the original structure, where walls enclosed by additions shall be considered as exterior walls.

Demolition (non historic structures) means removal of more than fifty (50) percent of the exterior walls. The following is exempt from this definition:

a. Repair. The removal and replacement of in kind non-repairable wall resulting in no change to its exterior appearance or character if approved by the Community Development Director.

Excerpts from Los Gatos Town Code
Chapter 29
Section 29.10.09030

Sec. 29.10.09030. Demolitions.

(a) Scope. Applications for demolition permits (Uniform Building Code, section 301(a), or any successor section) filed with the Building Department shall be submitted to the Planning Director for approval unless such permit is required as part of a code enforcement action by the Building Official, Council, or other authorized agency.

(b) Approval of permits. The Planning Director may approve the demolition permit application if:

(1) It is accompanied by a building permit for a replacement structure which meets all town regulations and has received all required approvals, or

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

(2) It is for demolition of an accessory building or structure.

(c) Demolition of historic structures. A demolition permit for a historic structure may only be approved if:

(1) The structure poses an imminent safety hazard; or

(2) The structure is determined not to have any special historical, architectural or aesthetic interest or value.

Any request to demolish an historic structure shall be reviewed by the Historic Preservation Committee. All applications to demolish an historic structure which has been identified as a contributor to an existing historic district, a potential historic district, or is eligible for local designation shall be accompanied by a detailed report describing all aspects of the structure's physical condition and shall incorporate pertinent information from the Town's Historic Resources Inventory describing the structure's historical and architectural characteristics. This report shall be prepared by a qualified person knowledgeable in historic preservation under contract with the Town at the applicant's expense. Applications for all other historic structures proposed for demolition shall be accompanied by a detailed report describing all aspects of the structure's physical condition prepared by an architect, licensed design professional or registered civil engineer at the applicant's expense.

(d) Architecture and site approval required. Issuance of a demolition permit requires architecture and site approval if:

(1) The conditions of subsection (b)(1) are not met, or

(2) An application is for demolition of an accessory building or structure and the Planning Director determines for any reason that the accessory building or structure ought not to be demolished.

(e) Findings. In architecture and site approval proceedings, the deciding body shall consider:

(1) Maintaining the Town's housing stock.

(2) Preservation of historically or architecturally significant buildings or structures.

(3) Property owner's desire or capacity to maintain the structure.

(4) Economic utility of the building or structure.

(f) Verification that work will not result in a demolition: Prior to issuance of a building permit and/or zoning approval for an addition where the work will result in the removal of over forty (40) percent of the exterior walls, the developer shall submit written verification from a registered structural engineer, certifying that the exterior walls shown to remain are structurally sound and will not be required to be removed for the addition. Prior to issuance of a building permit, the property owner and contractor shall sign an affidavit to the town that they are aware of the town's definition of a demolition and the penalties associated with an unlawful demolition.

(g) Penalties for unlawful demolition: A property owner who has unlawfully demolished a structure shall:

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

(1) File the required Planning and Building Department applications and pay the required fees as established by resolution for new applications and for work unlawfully completed.

(2) Be subject to the greater of the following penalties set by the Planning Director as an administration order:

a. If the structure has a Landmark Historic Preservation designation a fine equaling fifteen (15) percent of the building permit valuation at the time of demolition, as determined by the Planning Director; or

b. If the structure was an historic residence and does not have a Landmark Historic Preservation overlay zone, the fine shall be equal to ten (10) percent of the building permit valuation at the time of demolition, as determined by the Planning Director.
If no building permit was issued, the fine shall be assessed on the building permit filed for the replacement structure.

(3) In all cases, no changes to the previously approved plans may be made except as determined by the Planning Director to meet current zoning and building code requirements. No building permits for new construction at this site shall be approved until the required applications have been filed and approved and the required penalty fee has been paid.

(h) Collection of penalty fees. The Town may collect the assessed penalty fees by use of all legal means including the recordation of a lien.

(1) Whenever the amount on the penalty fee pursuant to this chapter has not been satisfied in full within ninety (90) days and/or has not been successfully challenged by a timely writ of mandate, this obligation may constitute a lien against the real property on which the violation has occurred.

(2) The lien provided herein shall have no force and effect until recorded with the county recorder. Once recorded, the administration order shall have the force and effect and priority of a judgment lien governed by the provisions of sections 697.340 of the Code of Civil Procedure and may be extended as provided in sections 683.110 to 683.220, inclusive, of the Code of Civil Procedure.

(3) Interest shall accrue on the principal amount of the judgment remaining unsatisfied pursuant to law.

(4) Prior to recording any such lien, the Planning Director shall prepare and file with the Town Clerk a report stating the amounts due and owing.

(5) The Town Clerk shall fix a time, date and place for hearing such report and any protests or objections thereto by Town Council.

(6) The Planning Director shall cause written notice to be served on the property owner not less than ten (10) days prior to the time set for the hearing.

a. Demolition for Corrective Maintenance. If during the construction process for an approved construction the developer has determined that the structure is in a deteriorated condition that cannot be repaired, an architecture and site application can be filed requesting a demolition without a penalty provided the following conditions have been met:

Docusign Envelope ID: C68C950F-9DDD-41ED-9818-CC7A606450D4

1. Construction work has ceased, and

2. The work completed prior to filing the application does not classify as a demolition, and

3. Documentation has been provided to justify the necessity of the demolition, and

4. No changes to the previously approved plans will be made except as determined by the Planning Director to meet current zoning and building code requirements. If a planning filing fee was paid for the original addition, this fee shall be credited to the architecture and site application fee. If the Development Review Committee determines that the application cannot be approved, the applicant shall pay the credited fee for the architecture and site application if the application is appealed to the Planning Commission.

(j) Salvage of Building Materials. When demolition of a structure is allowed, the town shall provide the developer of the structure to be demolished with information about the salvaging of building materials. At least ten (10) days prior to the date when the demolition is scheduled to commence, the developer shall provide the Planning Director with written notice, and an advertisement published in a newspaper of general circulation, of the availability of materials for salvage, including the name and telephone number of a contact person. Upon request, the Planning Director may make this information available to persons who may be interested in contacting the owner(s) to arrange for possible salvage of building materials. No salvaging of materials shall occur until a demolition permit has been approved by the Building Department.

(Ord. No. 1316, §§ 3.65.010--3.65.040, 6-7-76; Ord. No. 1375, 11-21-77; Ord. No. 1789, § V, 5-15-89; Ord. No. 1887, § I, 2-3-92; Ord. No. 2083, § I, 5-7-01; Ord. No. 2285, § I, 6-18-19; Ord. No. 2295, § I, 11-19-19)

Town of Los Gatos
CDD
110 E Main St
Los Gatos, CA 95030
+1 (408) 354-6835
Town of Los Gatos

11/26/2025 12:15PM MBarrera
000413-0001 BPD-000001598
Payment effective date 11/26/2025

MISCELLANEOUS
APPEALS (PLAPPE)
2026 PLAPPE
1 @ $271.00 $271.00

$271.00

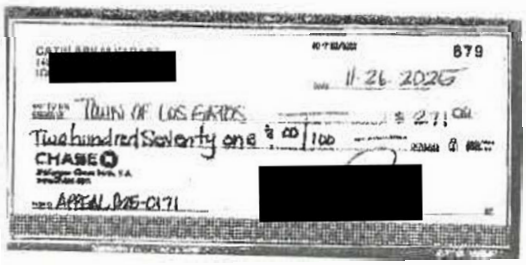
Subtotal $271.00
Total $271.00

CHECK $271.00
Check Number679

Change due $0.00

Paid by: CATHLEEN M VADASZ

Comments: PL APPEAL 14340 BROWNS LN



Thank you for your payment

Town of Los Gatos COPY
DUPLICATE RECEIPT

TOWN OF LOS GATOS
OMMUNITY DEVELOPMENT DEPARTMENT

110 E. Main Street
Los Gatos, CA 95030

BPD-1598

PAID
NOV 26 2025
TOWN OF LOS GATOS

APPEAL OF THE DECISION OF
IRECTOR OF COMMUNITY DEVELOPMENT

a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

21
ovember ~~26~~, 2025

uilding Permit B-25-0171 / Unlawful Demolition

4340 Browns Lane

rested person as defined in Section 29.10.020 may appeal to the Planning
ctor.

person or persons or entity or entities who own property or reside within
which a decision has been rendered, and can demonstrate that their property
on.

use projects. Any person or persons or entity or entities who can
perty will be injured by the decision.

DULD BE GRANTED:

h structure / intent was to keep existing.

plans and replaced existing damaged structure like-for-like.

. Had this 1 step been done there would be no change to the project.

ing Additional material & documentation to Support

than ten (10) days after the decision is rendered by the Director of Community
) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on
wing the tenth (10th) day. Appeals are due by 4:00 P.M. ***If an appeal is filed on a***
1 by 1:00 P.M.

first regular meeting of the Planning Commission which the business of the
it, more than five (5) days after the date of the filing of the appeal. The
the matter anew and render a new decision in the matter.
of the appeal date.
determine what material is required to be submitted for the public hearing.

EAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

adasz SIGNATURE: [signature]

25 ADDRESS: 14340 BROWNS LANE, LOS GATOS

8077 EMAIL: [redacted]

****

OFFICE USE ONLY

ARING:

DATE:
2. DATE:
3. DATE:

PLAPPEAL $ 271.00 Residential
PLAPPEAL $ 1081.00 Commercial
PLAPPEAL $ 110.00 Tree Appeals

N:\DEV\FORMS\Planning\2025-26 Forms (In Progress - Do not Use)\Appeals\Word Docs\Appeal - Director.docx
06/2025

EXHIBIT 6

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT

110 E. Main Street
Los Gatos, CA 95030

BPD - 1598

PAID
NOV 2 6 2025
TOWN OF LOS GATOS

APPEAL OF THE DECISION OF DIRECTOR OF COMMUNITY DEVELOPMENT

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

DATE OF DECISION: November ~~26~~ 21, 2025

PROJECT/APPLICATION: Building Permit B-25-0171 / Unlawful Demolition

LOCATION: 14340 Browns Lane

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Director.

Interested person means:

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

Owner & Contractor - Did not intentionally demolitish structure / intent was to keep existing.

Owner & Contractor - Have meticulously followe the plans and replaced existing damaged structure like-for-like.

Owner & Contractor - Unintentionally missed 1 step. Had this 1 step been done there would be no change to the project.

IMPORTANT: Will be providing Additional material & documentation to Support

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Director of Community Development. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day. Appeals are due by 4:00 P.M. ***If an appeal is filed on a Friday, they must be submitted by 1:00 P.M.***
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) days after the date of the filing of the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: Cathleen Vadasz SIGNATURE: [signature]

DATE: 11-26-2025 ADDRESS: 14340 BROWNS LANE, LOS GATOS

PHONE: [redacted] EMAIL: [redacted]

****

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____

COMMISSION ACTION:
1. _____ DATE: _____
2. _____ DATE: _____
3. _____ DATE: _____

PLAPPEAL $ 271.00 Residential
PLAPPEAL $ 1081.00 Commercial
PLAPPEAL $ 110.00 Tree Appeals

N:\DEV\FORMS\Planning\2025-26 Forms (In Progress - Do not Use)\Appeals\Word Docs\Appeal - Director.docx

06/2025

14340 Browns Lane

Permit #: B25-0717

Request for an Equitable Remedy to Maintain Remodel/Addition Status

EXHIBIT 7

Opening Statement

> *"As we all know, even the best of builders do not know the Planning rules."*
>
> — A humble request for understanding

Project Timeline

09/27/2025 Underground Floor or Slab Plumbing Inspection Approved.

Contractor notified and informed Inspector that the bottom plates of the wall were termite damaged and/or sitting on top of dirt. Inspector informed Contractor to replace in-kind as needed since it was non-repairable. Contractor misunderstood that building clearance was not a part of the planning clearance and proceeded with the work. The intent was not to skip any steps.

11/12/2025 (3) Inspections Approved

(1) Shear Wall
(2) Structural Roof Sheathing
(3) Transfer Connections (HD's, Straps/ Clips)

11/18/2025

Architect submits for a permit revision per the updated demolition calculations, noting existing condition was beyond repair

09/25/2025

Building Permit Approved for Remodel and Addition

10/02/2025 (3) Inspections Approved

(1) Footings/ Piers/ Steel
(2) Forms/ Bracing/ Steel
(3) Underground Electrical Conduit/UFER

11/13/2025

Inspector Informs Contractor to provide updated plans showing the demolition calculations.

Meticulous Adherence to Plans

The Contractor has followed the approved plans with **absolutely no changes** to the following:

Remodel
486 SF

Addition
499 SF

(1) Wall Height

Remains exactly as specified in the original approved drawings.

(2) Configuration

Room layout and structural footprint remain unchanged.

(3) Square Footage

No addition or reduction in the building's total area.

The "Circumstantial" Changes

Hidden Damage Discovered

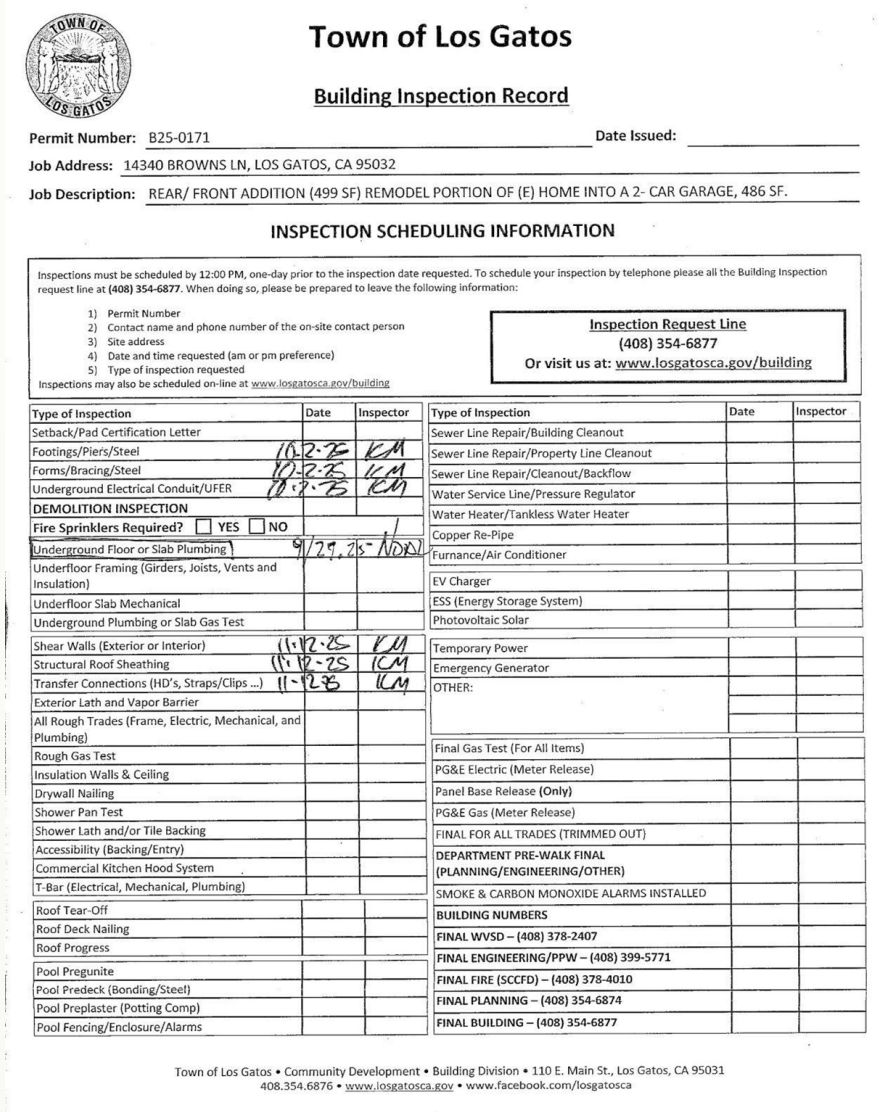
During the work, we uncovered non-existent, termite-damaged, and dry-rotted mudsills. The existing structural integrity was simply not safe.

Like-for-Like Repair

All repair work was "replaced-in-kind." We did not demolish sound structures; we replaced failed components to ensure safety.

The Process & Misunderstanding

- **Inspection Card:** All building inspections were performed accordingly up to framing.
- **Proactive Communication:** Builder discussed issues with the inspector as the project progressed.
- **Safety Sign-off:** The immediate danger was reviewed and signed off by the Building Dept.
- **The Gap:** The Contractor proceeded in good faith, believing this was a building safety issue, not realizing it triggered a Planning violation. Neither the owner nor architect was notified at that moment.



Town of Los Gatos

Building Inspection Record

Permit Number: B25-0171 **Date Issued:**

Job Address: 14340 BROWNS LN, LOS GATOS, CA 95032

Job Description: REAR/ FRONT ADDITION (499 SF) REMODEL PORTION OF (E) HOME INTO A 2- CAR GARAGE, 486 SF.

INSPECTION SCHEDULING INFORMATION

Inspections must be scheduled by 12:00 PM, one-day prior to the inspection date requested. To schedule your inspection by telephone please all the Building Inspection request line at **(408) 354-6877**. When doing so, please be prepared to leave the following information:

1) Permit Number
2) Contact name and phone number of the on-site contact person
3) Site address
4) Date and time requested (am or pm preference)
5) Type of inspection requested

Inspections may also be scheduled on-line at www.losgatosca.gov/building

Inspection Request Line
(408) 354-6877
Or visit us at: www.losgatosca.gov/building

Type of Inspection	Date	Inspector
Setback/Pad Certification Letter		
Footings/Piers/Steel	10-2-25	KM
Forms/Bracing/Steel	10-2-25	KM
Underground Electrical Conduit/UFER	10-2-25	KM
DEMOLITION INSPECTION		
Fire Sprinklers Required? ☐ YES ☐ NO		
Underground Floor or Slab Plumbing	9/29.25	NDN
Underfloor Framing (Girders, Joists, Vents and Insulation)		
Underfloor Slab Mechanical		
Underground Plumbing or Slab Gas Test		
Shear Walls (Exterior or Interior)	11-12-25	KM
Structural Roof Sheathing	11-12-25	KM
Transfer Connections (HD's, Straps/Clips ...)	11-12-25	KM
Exterior Lath and Vapor Barrier		
All Rough Trades (Frame, Electric, Mechanical, and Plumbing)		
Rough Gas Test		
Insulation Walls & Ceiling		
Drywall Nailing		
Shower Pan Test		
Shower Lath and/or Tile Backing		
Accessibility (Backing/Entry)		
Commercial Kitchen Hood System		
T-Bar (Electrical, Mechanical, Plumbing)		
Roof Tear-Off		
Roof Deck Nailing		
Roof Progress		
Pool Pregunite		
Pool Predeck (Bonding/Steel)		
Pool Preplaster (Potting Comp)		
Pool Fencing/Enclosure/Alarms		

Type of Inspection	Date	Inspector
Sewer Line Repair/Building Cleanout		
Sewer Line Repair/Property Line Cleanout		
Sewer Line Repair/Cleanout/Backflow		
Water Service Line/Pressure Regulator		
Water Heater/Tankless Water Heater		
Copper Re-Pipe		
Furnance/Air Conditioner		
EV Charger		
ESS (Energy Storage System)		
Photovoltaic Solar		
Temporary Power		
Emergency Generator		
OTHER:		
Final Gas Test (For All Items)		
PG&E Electric (Meter Release)		
Panel Base Release **(Only)**		
PG&E Gas (Meter Release)		
FINAL FOR ALL TRADES (TRIMMED OUT)		
DEPARTMENT PRE-WALK FINAL (PLANNING/ENGINEERING/OTHER)		
SMOKE & CARBON MONOXIDE ALARMS INSTALLED		
BUILDING NUMBERS		
FINAL WVSD – (408) 378-2407		
FINAL ENGINEERING/PPW – (408) 399-5771		
FINAL FIRE (SCCFD) – (408) 378-4010		
FINAL PLANNING – (408) 354-6874		
FINAL BUILDING – (408) 354-6877		

Town of Los Gatos • Community Development • Building Division • 110 E. Main St., Los Gatos, CA 95031
408.354.6876 • www.losgatosca.gov • www.facebook.com/losgatosca

The Disconnect

Three months into the project, a new inspector review switched the opinion on the field work.

Perspective	Interpretation	Impact
Construction	Minor "in-kind" repair of rotted wood.	Restores safety; no architectural change.
Planning	Major alteration / potential demolition.	Triggers penalties and "New Build" status.
Reality	Good faith effort to fix a safety hazard.	Innocent mistake caught between two interpretations.

Our Goal: An Equitable Solution

Open Discussion

We invite Planning to remedy the cause through open dialogue, acknowledging the honest intent.

Maintain Status

The project should remain classified as a "Remodel/Addition" given the preservation of all original dimensions.

Remove Penalty

We ask for the removal of penalties, as the work was done under Building Dept observation and good faith.

Thank You

We look forward to finding a resolution together.

This Page
Intentionally
Left Blank

TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT

MEETING DATE: 01/14/2026

ITEM NO: 4

DATE: January 9, 2026

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2281 to Allow for Lot Line Adjustments and Zone Change on Properties Zoned HR-2½:PD and HR-1. **Located at 16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court**. APNs 527-12-003, 527-12-004, and 527-15-002. Planned Development Application PD-25-004, Lot Line Adjustment Application M-25-006, and Zone Change Application Z-25-001. The Request for Modification of a Planned Development Ordinance is not Considered a Project Pursuant to the California Environmental Quality Act (CEQA). The Request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a Ministerial Approval in Accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The Request for a Zone Change is Exempt Pursuant to CEQA Section 15061 (b)(3). Property Owners: 16300 Greenridge Terrace and 240 La Terra Court - Greenridge Terrace Development, LLC; 16084 Greenridge Terrace - Richard Luu. Applicant: Hanna Brunetti. Project Planner: Sean Mullin.

RECOMMENDATION:

Forward a recommendation of approval to the Town Council on a request to modify Planned Development Ordinance 2281 to allow for a lot line adjustment and zone change on properties zoned HR-2½:PD and HR-1, located at 16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court.

PREPARED BY: Sean Mullin, AICP
Planning Manager

Reviewed by: Community Development Director and Town Attorney

PROJECT DATA:

Project Data			
	General Plan Designation	**Zoning Designation**	**Parcel Size**
16300 Greenridge Terrace	Hillside Residential	HR-2½:PD Hillside Residential (2½ to 10 acres/unit) with a Planned Development Overlay	7.75 acres (377,377 sf)
16084 Greenridge Terrace	Hillside Residential	HR-1 Hillside Residential (1 to 5 acres/unit)	1.00 acres (43,364 sf)
240 La Terra Ct	Hillside Residential	HR-2½:PD Hillside Residential (2½ to 10 acres/unit) with a Planned Development Overlay	5.17 acres (225,080 sf)
Applicable Plans and Standards	General Plan, Residential Design Guidelines, Hillside Development Standards and Guidelines		

Surrounding Area:

	Existing Land Use	**General Plan**	**Zoning**
North	Single-family residential	Hillside Residential	HR-1
South	Undeveloped	Hillside Residential	HR-2½:PD
East	Single-family residential	Agriculture	RC
West	Undeveloped	Hillside Residential	HR-1 and HR-2½:PD

CEQA:

The request to modify a planned development ordinance is not considered a project pursuant to the California Environmental Quality Act (CEQA). The request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The request for a zone change is exempt pursuant to CEQA Section 15061 (b)(3).

FINDINGS:

- The request to modify a planned development ordinance is not considered a project pursuant to the California Environmental Quality Act (CEQA). The request for a lot line adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The request for a zone change is exempt pursuant to CEQA Section 15061 (b)(3).
- As required by Section 29.80.095 of the Town Code for granting approval of an amendment to a Planned Development Overlay Zone.
- Required determinations for compliance with the Subdivision Map Act's provisions regarding lot line adjustments as set forth in Government Code Section 66412(d).
- The proposed zone change is consistent with the General Plan and its Elements in that the proposed zoning is consistent with the existing General Plan Land Use designation.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

ACTION:

Forward a recommendation regarding Planned Development application PD-25-004, Lot Line Adjustment application M-25-006, and Zone Change application Z-25-001 to the Town Council.

BACKGROUND:

The three subject properties are located south of Blossom Hill Road (Exhibit 1). Two properties are accessed from Blossom Hill Road via Greenridge Terrace: 16300 and 16084 Greenridge Terrace. The property located at 240 La Terra Court is accessed from the north side of La Terra Court. All three properties are undeveloped.

Planned Development (PD) Ordinance 2281 was adopted on April 16, 2019, and took effect on May 16, 2019 (Exhibit 4). The PD Ordinance allowed for the following:

1. Subdivision of one lot into eight lots.
2. Construction of eight market rate single-family detached residences.
3. Landscaping, private streets, trails, parking, and other improvements shown and required on the Official Development Plans.
4. Dedication of trail easements to the Town of Los Gatos as shown on the Official Development Plans.
5. Uses permitted are those specified in the HR-2½ zone.

The final subdivision map was recorded on May 6, 2021. Development of single-family residences is currently underway on several of the eight properties in the La Terra subdivision. The subject properties at 16300 Greenridge Terrace and 240 La Terra Court are currently

undeveloped.

The property located at 16084 Greenridge Terrace is not located in the La Terra subdivision and not subject to PD Ordinance 2281. This property is also undeveloped.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject properties are located south of Blossom Hill Road (Exhibit 1). Two properties are accessed from Blossom Hill Road via Greenridge Terrace: 16300 and 16084 Greenridge Terrace. The property located at 240 La Terra Court is accessed from the north side of La Terra Court. All three properties are undeveloped and are surrounded by single-family residential uses and undeveloped properties.

B. Project Summary

The applicant provided a Project Description and Letter of Justification detailing their request to modify Planned Development Ordinance 2281 to allow for a lot line adjustment and zone change on properties zoned HR-2½:PD and HR-1, located at 16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court (Exhibits 5 and 6). The proposed lot line adjustment between 16084 and 16300 Greenridge Terrace would relocate the common property line to the south, adding approximately 0.28 acres to 16084 Greenridge Terrace. The portion of land being added to 16084 Greenridge Terrace, which is zoned HR-1, would be rezoned from HR-2½:PD to HR-1.

The proposed lot line adjustment between 16300 Greenridge Terrace and 240 La Terra Court would reconfigure the existing common property line from its east-west configuration to an angled orientation that is more consistent with the contours of the hillside. This lot line adjustment would add approximately 0.01 acres to 240 La Terra Court. All existing trail, scenic, and open space easements would remain.

C. Zoning Compliance

The minimum lot size required in the HR zones is 40,000 square feet. The proposed lot line adjustments would result in properties that continue to meet this requirement. No development is proposed with this project. A summary of the existing and proposed sizes of each property is provided in the following table.

Summary of Property Sizes			
	16300 Greenridge Ter	**16084 Greenridge Ter**	**240 La Terra Ct**
Zoning	HR-2½:PD	HR-1	HR-2½:PD
Minimum Required Lot Size	0.92 acres 40,000 sf	0.92 acres 40,000 sf	0.92 acres 40,000 sf
Existing Lot Size	7.75 acres 337,377 sf	1.00 acre 43,364 sf	5.17 acres 225,080 sf
Proposed Lot Size	7.44 acres 324,339 sf	1.28 acres 55,562 sf	5.18 acres 225,843 sf
Lot Size Change	-0.31 acre -13,038 sf	+0.28 acre +12,198 sf	+0.01 acre +763 sf

DISCUSSION:

A. Planned Development

The applicant is requesting approval to modify PD Ordinance 2281 to allow for the lot line adjustment between the three properties. Two changes to the PD are needed to accomplish this request. First, language would be added to Section III allowing for the lot line adjustment between the three properties. Second, a new map of the properties with adjusted lot lines would be added as Exhibit C to the PD Ordinance. All other aspects of the existing PD Ordinance would remain unchanged. Exhibit 7 includes a draft modified PD Ordinance.

The proposed amendment to PD Ordinance 2281 is consistent with the required findings include in Town Code Section 29.80.095.

B. Lot Line Adjustment

Two lot line adjustments are proposed with this project. The first would relocate the common property line between 16084 and 16300 Greenridge Terrace to the south, adding approximately 0.28 acres to 16084 Greenridge Terrace. The second would reconfigure the common lot line between 16300 Greenridge Terrace and 240 La Terra Court from its existing its east-west configuration to an angled orientation that is more consistent with the contours of the hillside. This lot line adjustment would add approximately 0.01 acres to 240 La Terra Court. All existing trail, scenic, and open space easements would remain.

Government Code Section 66412 (d) describes a ministerial approval process, providing objective approval criteria that simply require the Town to make certain factual determinations for approval of a lot line adjustment. The following determinations prescribed by Government Code Section 66412 (d) can all be made for the proposed lot line adjustment:

1. That the lot line adjustment is between four or fewer existing adjoining parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not thereby created;
2. That the parcels resulting from the lot line adjustment will conform to the local general plan;
3. That the parcels resulting from the lot line adjustment will conform to any applicable specific plans;
4. That the parcels resulting from the lot line adjustment will conform to any applicable coastal plan; and
5. That the parcels resulting from the lot line adjustment will conform to zoning and building ordinances.

C. Zone Change

The properties at 16300 Greenridge Terrace and 16084 Greenridge Terrace are zoned HR-2½:PD and HR-1 respectively. The proposed lot line adjustment between these two properties would transfer a 0.28-acre portion of land from 16300 Greenridge Terrace to 16084 Greenridge Terrace. A zone change is required for the transferred portion of land to be consistent with the HR-1 zoning of 16084 Greenridge Terrace.

D. General Plan Goals/Policies/Strategies

Applicable General Plan goals and policies that can be used to evaluate the proposed project include, but are not limited to:

Land Use Goals

- LU-1 To preserve, promote, and protect the existing small-town character and quality of life within Los Gatos.
- LU-6 To preserve and enhance the existing character and sense of place in residential neighborhoods.

Land Use Policies

- LU-6.1 Protect existing residential areas from the impacts of nonresidential development.
- LU-6.4 Prohibit uses that may lead to the deterioration of residential neighborhoods, or adversely impact the public safety or the residential character of a residential neighborhood.
- LU-6.5 The type, density, and intensity of new land use shall be consistent with that of the immediate neighborhood.

Community Design Goals

- CD-14 To preserve the natural beauty and ecological integrity of the Santa Cruz Mountains and surrounding hillsides by regulating new homes.

Community Design Policies

- CD-14.1 Minimize development and preserve and enhance the rural atmosphere and natural plant and wildlife habitats in the hillsides.
- CD-14.2 Limit hillside development to that which can be safely accommodated by the Town's rural, two-lane roads.

E. CEQA Determination

The request to modify a planned development ordinance is not considered a project pursuant to the California Environmental Quality Act (CEQA). The request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The request for a zone change is exempt pursuant to CEQA Section 15061 (b)(3).

PUBLIC COMMENTS:

A project identification sign was installed on site consistent with Town policy and written notice was sent to property owners and occupants within 500 feet of the property. At the time of this report's preparation, the Town has not received any public comment.

CONCLUSION:

A. Summary

The applicant is requesting approval to modify Planned Development Ordinance 2281 to allow for a lot line adjustment and zone change on properties zoned HR-2½:PD and HR-1, located at 16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court. The proposed lot line adjustment between 16084 and 16300 Greenridge Terrace would relocate the common property line to the south, adding approximately 0.28 acres to 16084 Greenridge Terrace. The portion of land being added to 16084 Greenridge Terrace would be rezoned from HR-2½:PD to HR-1 to be consistent with the existing zoning of 16084 Greenridge Terrace.

The proposed lot line adjustment between 16300 Greenridge Terrace and 240 La Terra Court would reconfigure the existing common property line from its east-west configuration to an angled orientation that is more consistent with the contours of the hillside. This lot

line adjustment would add approximately 0.01 acres to 240 La Terra Court. All existing trail, scenic, and open space easements would remain.

B. Recommendation

If the Planning Commission finds merit with the proposed project, staff recommends the Commission take the following actions to forward the PD, Lot Line Adjustment, and Zone Change applications to the Town Council with a recommendation for approval of the proposed project, by recommending that the Town Council:

1. Make the required findings that the request to modify a planned development ordinance is not considered a project pursuant to the California Environmental Quality Act (CEQA). The request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The request for a zone change is exempt pursuant to CEQA Section 15061 (b)(3) (Exhibit 2).
2. Make the required finding that the amendment to the Planned Development Overlay Zone is consistent Town Code Section 29.80.095 (Exhibit 2);
3. Make the required determinations for compliance with the Subdivision Map Act's provisions regarding lot line adjustments as set forth in Government Code Section 66412 (d) (Exhibit 2);
4. Make the required finding that the proposed zone change is consistent with the General Plan and its Elements in that the proposed zoning is consistent with the proposed General Plan Land Use designation (Exhibit 2);
5. Make the finding that the project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2); and
6. Forward a recommendation of approval of Planned Development application PD-25-004, Lot Line Adjustment application M-25-006, and Zone Change application Z-25-001 to the Town Council.

C. Alternatives

Alternatively, the Planning Commission can:

1. Continue the matter to a date certain with specific direction;
2. Provide a recommendation for approval with modifications to the Town Council; or
3. Provide a recommendation for denial to the Town Council providing findings for denial.

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Planned Development Ordinance 2281
5. Project Description
6. Letter of Justification
7. Draft Planned Development Ordinance
8. Draft Zone Change Ordinance, with Exhibit A
9. Draft Resolution for Approval of the Lot Line Adjustment
10. Lot Line Adjustment Plans

This Page
Intentionally
Left Blank

16300 Greenridge Terrace, 16084 Greenridge Terrace, and 240 La Terra Court

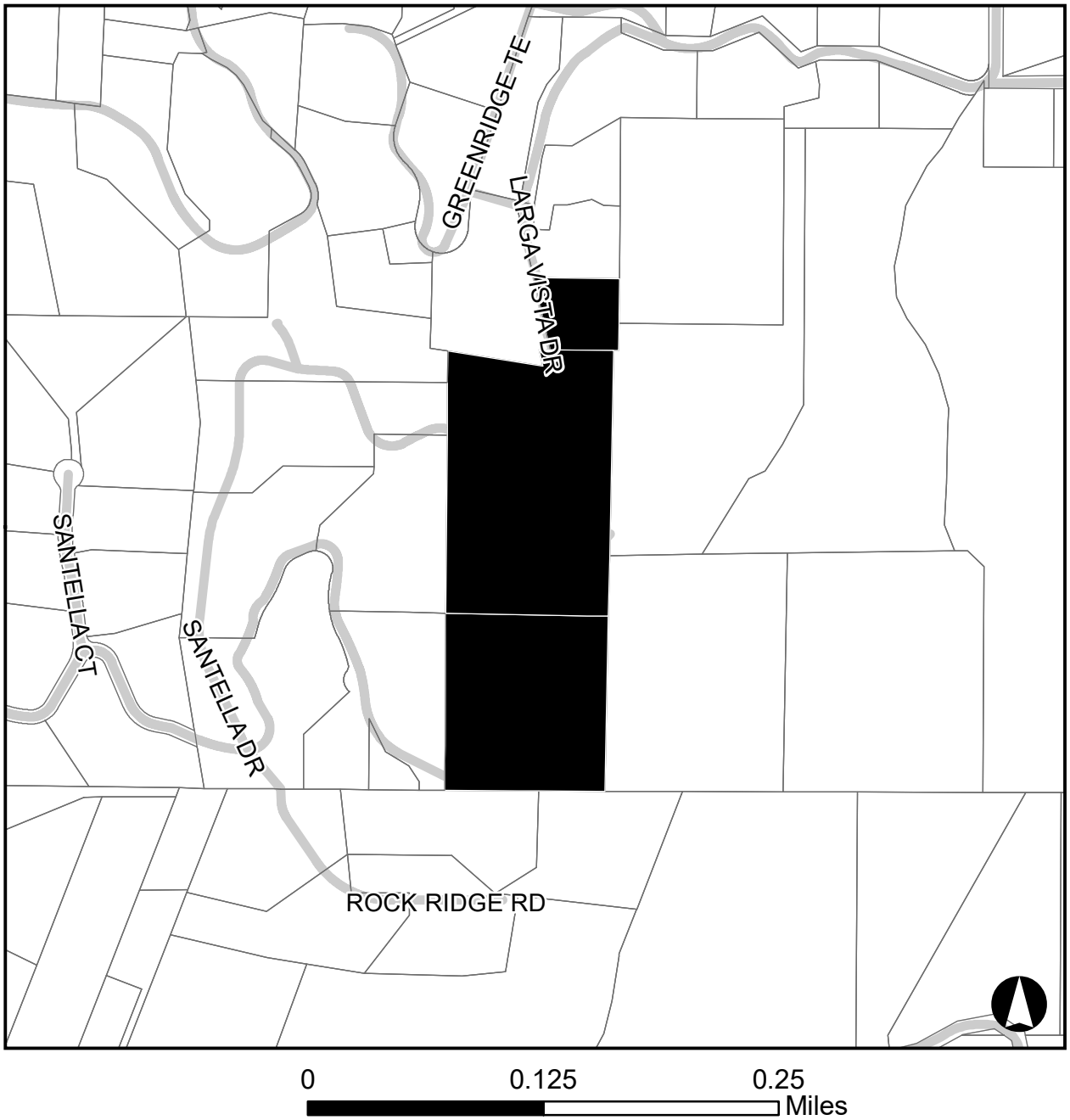


EXHIBIT 1

This Page Intentionally Left Blank

PLANNING COMMISSION – *January 14, 2026*
REQUIRED FINDINGS

<u>16300 and 16084 Greenridge Terrace and 240 La Terra Court</u>
Planned Development Application PD-25-004
Lot Line Adjustment Application M-25-006
Zone Change Application Z-25-001.

Consider a Request for Approval to Modify Planned Development Ordinance 2281 to Allow for Lot Line Adjustments and Zone Change on Properties Zoned HR-2½:PD and HR-1. APNs 527-12-003, 527-12-004, and 527-15-002. The Request for Modification of a Planned Development Ordinance is not Considered a Project Pursuant to the California Environmental Quality Act (CEQA). The Request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a Ministerial Approval in Accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The Request for a Zone Change is Exempt Pursuant to CEQA Section 15061 (b)(3).

Property Owners: 16300 Greenridge Terrace and 240 La Terra Court - Greenridge Terrace Development, LLC; 16084 Greenridge Terrace - Richard Luu.
Applicant: Hanna Brunetti.

FINDINGS:

Required finding for CEQA:

- The request to modify a planned development ordinance is not considered a project pursuant to the California Environmental Quality Act (CEQA). The request for a lot line adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The request for a zone change is exempt pursuant to CEQA Section 15061 (b)(3).

Required Findings for Amending a Planned Development:

- As required by Section 29.80.095 of the Town Code for granting a Planned Development Overlay Zone, the proposed amendment:

    1. The proposed PD amendment is consistent with Chapter 29, Article VIII, Division 2 of the Town Code in that it meets the purpose and intent of a Planned Development Overlay Zone;
    2. The proposed PD amendment is in conformance with the goals, policies, and applicable land use designations and standards of the Town's General Plan, including but not limited to Goals LU-1, LU-6, and CD-14, and Policies LU-6.1, LU-6.4, LU-6.5, CD-14.1, and CD-14.2;
    3. The proposed PD amendment is in conformance with all other applicable provisions of the Town Code; and

4. The proposed amendment allows for a lot line adjustment with the resulting lots with meeting the zoning requirements for size and remaining consistent with intent of the existing Planned Development Ordinance.

Required determinations for compliance with the Subdivision Map Act's provisions regarding lot line adjustments as set forth in Government Code Section 66412(d):

1. **That the lot line adjustment is between four or fewer existing adjoining parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not thereby created:**

   The lot line adjustment is between three adjoining parcels. The land taken from one parcel is being added to the adjoining parcel, and three parcels will remain as a result.

2. **That the parcels resulting from the lot line adjustment will conform to the local general plan:**

   The lot line adjustment is consistent with the existing goals and policies of the General Plan and its corresponding Elements, including but not limited to Goals LU-1, LU-6, and CD-14, and Policies LU-6.1, LU-6.4, LU-6.5, CD-14.1, and CD-14.2

3. **That the parcels resulting from the lot line adjustment will conform to any applicable specific plans:**

   The parcels resulting from the lot line adjustment will conform with the Hillside Specific Plan.

4. **That the parcels resulting from the lot line adjustment will conform to any applicable coastal plan:**

   The Town has no applicable coastal plan to which the lot line adjustment must conform.

5. **That the parcels resulting from the lot line adjustment will conform to zoning and building ordinances.**

   The three parcels resulting from the lot line adjustment will be in conformance with the Town's Zoning and Building Ordinances.

Required findings that the zone change is consistent with the Town's General Plan:

- That the proposed Zone Change is consistent with the General Plan and its Elements in that the proposed zoning is consistent with the proposed General Plan Land Use designation.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

N:\DEV\FINDINGS\2026\Greenridge Ter, 16300 and 16084, 240 La Terra - Findings - PC 01-14-26.docx

This Page
Intentionally
Left Blank

PLANNING COMMISSION – *January 14, 2026*
CONDITIONS OF APPROVAL

<u>16300 and 16084 Greenridge Terrace and 240 La Terra Court</u>
Planned Development Application PD-25-004
Lot Line Adjustment Application M-25-006
Zone Change Application Z-25-001.

Consider a Request for Approval to Modify Planned Development Ordinance 2281 to Allow for Lot Line Adjustments and Zone Change on Properties Zoned HR-2½:PD and HR-1. APNs 527-12-003, 527-12-004, and 527-15-002. The Request for Modification of a Planned Development Ordinance is not Considered a Project Pursuant to the California Environmental Quality Act (CEQA). The Request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a Ministerial Approval in Accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268. The Request for a Zone Change is Exempt Pursuant to CEQA Section 15061 (b)(3).

Property Owners: 16300 Greenridge Terrace and 240 La Terra Court - Greenridge Terrace Development, LLC; 16084 Greenridge Terrace - Richard Luu.
Applicant: Hanna Brunetti.

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.

C:\Users\MeetingsOfficeUser15\AppData\Local\Temp\tmpFD1C.tmp

7. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
10. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

    Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.
11. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

Engineering Division

12. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
13. GENERAL: The Owner, Applicant and/or Developer shall comply with all Town, County, State and Federal laws and regulations applicable to this land division. No other proposed development is included in this particular application of the Lot Line Adjustment. Issuance of a Lot Line Adjustment will acknowledge the Town's acceptance of the parcel as legally created in accordance with the Subdivision Map Act. Any subsequent development will be required to demonstrate compliance with the Town Development Standards and Codes.

14. CERTIFICATE OF LOT LINE ADJUSTMENT: A Certificate of Lot Line Adjustment shall be recorded. Legal descriptions for each new lot configuration, a plat map (8-½ in. X 11 in.) and a legal description of the land to be exchanged shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. The submittal shall include closure calculations, title reports for each parcel less than ninety (90) days old and the appropriate fee. The Town will prepare certificate upon approval and require its recordation prior to the issuance of any grading or building permits.
15. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. Access driveway shall be within the recorded access easement. A new private access easement shall be recorded, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to recordation of the Lot Line Adjustment.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

16. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
17. GENERAL: No Fire Department comments on lot line adjustment, all previous plan review comments and conditions of approval remain in effect.
18. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

This Page Intentionally Left Blank

ORDINANCE 2281

ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING THE TOWN CODE EFFECTING A ZONE CHANGE FROM HR-2½ TO HR-2½:PD FOR PROPERTY LOCATED AT 16100 GREENRIDGE TERRACE (APN: 527-12-002)

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

SECTION I

The Town Code of the Town of Los Gatos is hereby amended to change the zoning on property located at 16100 Greenridge Terrace (Santa Clara County Assessor Parcel Number 527-12-002) as shown on the map attached hereto as Exhibit A, and is part of this Ordinance, from HR-2½ (Hillside Residential, two and half to 10 acres for each dwelling unit) to HR-2½:PD (Hillside Residential, two and half to 10 acres for each dwelling unit, Planned Development).

SECTION II

With respect to compliance with the California Environmental Quality Act ("CEQA"), the Town Council finds as follows:

A. An Environmental Impact Report (EIR) was completed for the proposed development and no significant unmitigated impacts are associated with the application. The Findings of Fact are made and the Final Environmental Impact Report (EIR) and Mitigation Monitoring and Reporting Program are adopted.

SECTION III

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Subdivision of one lot into eight lots.
2. Construction of eight market rate single-family detached residences.
3. Landscaping, private streets, trails, parking and other improvements shown and required on the Official Development Plans.
4. Dedication of trail easements to the Town of Los Gatos as shown on the Official Development Plans.
5. Uses permitted are those specified in the HR-2½ (Hillside Residential, two and half to 10 acres for each dwelling unit) zone by Sections 29.40.235 (Permitted Uses), as it exists at the time of the adoption of this Ordinance, or as they may be amended in the future.

SECTION IV

COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS:

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION V

A Tentative Subdivision Map and Architecture and Site Approvals are required before construction of subdivision improvements or new residences, whether or not a permit is required for the work and before any permit for construction is issued. Construction permits shall only be in a manner complying with Section 29.80.130 (PD Ordinance) of the Town Code.

SECTION VI

The attached Exhibit A (Map), and Exhibit B (Official Development Plans), are part of the Official Development Plan. The following performance standards must be complied with before issuance of any grading, or construction permits (mitigation measures are so noted and are flagged with an asterisk):

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. OFFICIAL DEVELOPMENT PLANS. The Official Development Plans provided are conceptual in nature. Final building footprints and building designs shall be determined during the Architecture and Site approval process. Colors and building materials shown on the Official Development Plans are not approved and shall be reviewed during the Architecture and Site application approval process.
2. TOWN INDEMNITY. Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements, whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
3. SUBDIVISION REQUIRED. A Tentative Map application shall be approved for the project prior to the issuance of building permits. The Development Review Committee may be the deciding body of the Tentative Map.
4. ARCHITECTURE AND SITE APPROVAL REQUIRED. A separate Architecture and Site (A&S) application and approval is required for each of the new residences. The Architecture

and Site applications shall be reviewed by the Development Review Committee. Architectural details, including fencing and a project entry sign, shall be refined as part of this process with input from the Town's Consulting Architect.

5. FINAL LANDSCAPE PLAN. A final landscape plan shall be reviewed by the Town's Consulting Landscape Architect and approved as part of the Architecture and Site process. Minimum tree size at time of planting shall be 24-inch box.
6. WATER CONSERVATION ORDINANCE REQUIREMENT. The proposed landscaping shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review prior to the issuance of a building permit.
7. SETBACKS. The minimum setbacks are those specified by the HR-2½ zoning district or as otherwise shown on the Conceptual Development Plans.
8. FENCING. Fencing shall comply with the Town Code and Hillside Development Standards and Guidelines in place at the time of approval. Fence locations, design, and materials shall be reviewed and approved during the Architecture and Site review(s). The CC&R's for the project shall include a restriction prohibiting the home owners from replacing the fence type approved during the Architecture and Site review(s) without prior approval from the Town. The CC&R's shall prohibit fencing within the open space easement.
9. BUILDING HEIGHT. The maximum height of the new residences shall be the maximum height listed in the Hillside Development Standards and Guidelines. The maximum height of the new residences on lots 3, 4, 5, and 8 shall be limited to 18 feet due to visibility concerns.
10. BUILDING FLOOR AREA. The maximum floor area of the new residences shall be the maximum floor area listed in the Hillside Development Standards and Guidelines.
11. GRADING: Depths of cut and fill for the roadway and site improvements shall not exceed the maximums shown in the Official Development Plans (Exhibit B).
12. OUTDOOR LIGHTING. All exterior building and outdoor lighting shall be shielded and directed away from neighboring properties, to shine on the project site only. Lighting shall be the minimum needed for pedestrian safety and security. Lighting specifications shall be reviewed as part of the Architecture and Site process.
13. EXTERIOR COLORS: The exterior colors of all structures shall comply with the Hillside Development Standards and Guidelines.
14. DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all

exterior materials be maintained in conformance with the Town's Hillside Development Standards and Guidelines.

15. BELOW MARKET PRICE (BMP) IN-LIEU FEE. A Below Market Price (BMP) in-lieu fee shall be paid by the property owner/developer pursuant to Town Code Section 29.10.3025 and any applicable Town Resolutions. The fee amount shall be based upon the Town Council fee resolution in effect at the time a final or vesting tentative map is approved.

16. PROJECT CC&R's. CC&R's shall be provided with the Tentative Map application and shall address the following:
    a. Maintenance of private roadway
    b. Maintenance of landscaping adjacent to the private road
    c. Maintenance of storm drain system
    d. Maintenance of public open space
    e. Maintenance of public trail
    f. Landscape guidelines (shall be compliant with the Hillside Development Standards and Guidelines, EIR, and safe fire protocol).

17. FINAL CC&R's. Final CC&R's shall be approved by the Town Attorney prior to the recording of the Final Map. The CC&R's shall include provisions for traffic circulation, vehicle parking enforcement procedures, and landscaping, exterior lighting and fencing restrictions. The approved CC&R's shall become conditions of this Ordinance.

18. TREE PRESERVATION: All recommendations of the Town's Consulting Arborist shall be followed. Refer to the report and addendum report prepared by Richard Gessner, dated June 30, 2017 and June 20, 2018 for additional details. The Arborist Consultant shall reevaluate the plans for the new residences during Architecture and Site review.

19. TREE REMOVAL. Tree removal shall be limited to the scope of this PD and future approvals as follows:

Planned Development	No tree removal.
Subdivision	Tree removal limited to that required for site improvements related to installation of the roadway and shared driveway; installation of utilities; and construction of retaining walls for the roadway and shared driveway.
Architecture and Site	Tree removal required for construction of each single-family home and improvements.

20. DEED RESTRICTION: Prior to the issuance of building permits for each single-family residential development, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that identifies the on-site trees that were used to provide screening in the visibility analyses conducted under each Architecture and Site application and requires replacement screening in conformance with the Town's Hillside Development Standards and Guidelines and/or the Tree Protection Ordinance if the trees die or are removed.
21. MAINTENANCE AGREEMENT. Prior to the issuance of building permits for each single-family residential development, a five-year maintenance agreement shall be submitted for the preservation of the on-site trees that were used to provide screening in the visibility analyses conducted under each Architecture and Site application.
22. TREE REMOVAL PERMIT. A Tree Removal Permit shall be obtained for trees approved for removal prior to the issuance of demolition or grading permits.
23. REPLACEMENT TREES. New trees shall be planted to mitigate the loss of trees being removed. The number of trees shall be determined using the canopy replacement table in the Tree Protection Ordinance. New trees shall be double staked and shall be planted prior to final inspection and issuance of occupancy permits.
24. TREE FENCING. Protective tree fencing shall be placed at the drip line of existing trees and shall remain through all phases of construction. Refer to the report and addendum report prepared by Richard Gessner, dated June 30, 2017 and June 20, 2018 for requirements. Fencing shall be six-foot high cyclone attached to two-inch diameter steel posts drive 18 inches into the ground and spaced no further than 10 feet apart. Include a tree protection fencing plan with the construction plans.
25. FINAL UTILITY LOCATIONS. The applicant shall submit plans showing the final locations and screening of all exterior utilities, including but not limited to, backflow preventers, Fire Department connections, transformers, utility boxes and utility meters. Utility devices shall be screened to the satisfaction of the Director of Community Development. The plans shall be submitted for review and approval prior to issuance of building permits for new construction.
26. PLAN INCONSISTENCY. Any inconsistencies between sheets shall be limited to whichever is more restrictive.
27. GENERAL PROVISIONS. This Planned Development shall comply with provisions in Town Code Sections 29.40.015 through 29.40.070, and Article V, unless more restrictive provisions are required in other performance standards for the subject Planned Development.
28. <u>SCENIC EASEMENTS: Scenic easements shall be dedicated on the parcel map by separate</u>

instrument across portions of lots 1, 2, 3, and 5 connecting the area to be dedicated as open space on the north portions of lots 1 and 5 to the south property lines of lots 2 and 3. Easement language shall indicate that such land shall not be encroached into with fences, structures, landscaping, or improvements of any kind, and no work shall be performed within the Scenic Easement, including clearing, other than for wildland fire fuel management or weed abatement. Any and all maintenance within the scenic easements shall be the sole responsibility of the property owner.

29. *AIR QUALITY MITIGATION MEASURE AQ-1: The project contractor for subdivision improvements and residential lot development shall implement basic dust control measures at all on-site and off-site locations where grading or excavation takes place. The project contractor shall implement additional dust control measures at all on-site and off-site locations where grading or excavation takes place within 200 feet of residential properties.

Basic dust control measures:

a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day;
b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered;
c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited;
d. All vehicle speeds on unpaved roads shall be limited to 15 mph;
e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used; and
f. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations.
g. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph;
h. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established; and
i. Unpaved roads shall be treated with a three to six-inch compacted layer of wood chips, mulch, or gravel.

30. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-1: Focused plant surveys were conducted in spring 2018; if project development occurs more than five years after spring 2018, the surveys shall be repeated per below. To protect potentially occurring special-status plants, the presence/absence of fragrant fritillary, Hall's bush-mallow, Loma Prieta hoita, western leatherwood, and woodland woollythreads shall be determined within the development footprint and fire defensible space. A qualified biologist shall conduct focused botanical surveys for these five-target species in accordance with current California Department of Fish and Wildlife and California Native Plant Society rare plant survey protocols. Surveys shall occur during overlapping blooming periods for the target species (likely March and June). If the surveys conclude that the species are not present, no further mitigation is required. If any special-status plant species is present within the development footprint and fire defensible space, to compensate for loss or reduction of a special-status plant population, the project proponent shall retain a qualified biologist or native plant specialist to collect seed from all plant individuals and/or salvage plants within the development footprint at the optimal time prior to initiation of ground disturbance activities. The project proponent and the Town of Los Gatos shall oversee selection of an appropriate mitigation area, preferably on the project site, or in the immediate vicinity, that would not be disturbed in the future. After selection of the mitigation area and approval by the Town, a qualified biologist shall develop a Special-Status Plant Management Plan detailing optimal methods for seed collection/plant salvage from the impact area, preparation of the mitigation area, and seed/plant installation at the mitigation area. The plan shall also include maintenance measures to manage the rare plant occurrence for long-term protection and persistence at the mitigation area. Collected seeds/plants shall be installed at the mitigation area at the optimal time. Topsoil from the on-site occurrence location shall also be salvaged (if practical) for use in the mitigation area.

The Special-Status Plant Management Plan shall require at a minimum three years of annual monitoring by a qualified biologist during the plant's peak blooming period to ensure that mitigation was successful and that long-term maintenance procedures specified in the plan are creating conditions that support survival of the transplanted population. The initial focused surveys will identify how many plant individuals occur in the development footprint; this amount or more must occur in the mitigation area during each of the three years following installation. If this success criteria is not achieved, the project proponent shall coordinate with the Town to implement remedial mitigation through revision of the Special-Status Plant Management Plan, and then

collection of additional seed from a local population and repeated installation in the mitigation area, followed by another three years of annual monitoring. This process shall be extended as needed until all success criteria contained in the Special-Status Plant Management Plan are achieved.

31. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-2: Prior to the start of construction activities for the subdivision improvements and development of residential lots, a qualified biologist shall conduct pre-construction surveys of the grassland habitat on the site to identify any potential American badger burrows/dens. These surveys shall be conducted no more than 15 days prior to the start of construction. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. If a potential American badger burrow/den is found during the surveys, coordination with the California Department of Fish and Wildlife shall be undertaken in order to develop a suitable strategy to avoid impacts to American badger. With California Department of Fish and Wildlife approval, impacts to active American badger dens shall be avoided by establishing exclusion zones around all active badger dens, within which construction related activities shall be prohibited until denning activities are complete or the den is abandoned. A qualified biologist shall monitor each den once per week in order to track the status of the den and to determine when a den area has been cleared for construction.

32. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-3: A qualified biologist shall conduct pre-construction surveys for woodrat middens within the development footprints. These surveys shall be conducted no more than 15 days prior to the start of construction for the infrastructure improvements and development of the residential lots. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. All woodrat middens shall be flagged for avoidance of direct construction impacts where feasible. To avoid midden/nest disturbance, if active middens/nests are found, a 50-foot buffer will be established in which project activities will not occur. This buffer should be clearly marked. For all woodrat middens/nests that cannot be avoided by project activities, live trapping should be conducted by a qualified biologist to determine if the midden/nest is in use. Trapping should occur prior to April and after mid-July to avoid impacts to woodrats rearing young or to young woodrats. If a midden/nest is found to be unoccupied (none captured after two nights of trapping),

then it can be removed as described below. If woodrats are trapped, they may be kept in captivity by a qualified biologist until their middens/nests are immediately relocated. Each midden/nest should be dismantled by hand as described below, and the relocated midden/nest should be placed in suitable habitat a minimum of 50 feet from the construction area, no closer than 20 feet from existing woodrat middens/nests and other relocated woodrat middens/nests, and be reassembled under shrub or tree canopy that will receive some sunlight. The midden/nest should be rebuilt surrounding a log-based structure, an inverted wooden planter, or similar structure having at least one entrance and exit hole. Any cached food and nest material found during nest dismantling should be placed within the relocated midden/nest during rebuilding. The occupied trap should then be opened, placed tightly against the entrance to the artificial shelter, and the woodrat be allowed to enter the midden/nest on its own accord. After the individual enters, the entrance should promptly be covered with a loose plug of small sticks to encourage the individual to stay for the short-term. Where impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow any occupants to disperse.

33. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-4: Approximately 15 days prior to tree removal or other construction activities, the applicant shall retain a qualified biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and surrounding the water tank structures situated within 50 feet of disturbance activities by the project. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas.

If no roosting sites or bats are found, a letter report confirming absence shall be submitted by the biologist to the Town of Los Gatos and no further mitigation is required. If bats or roosting sites are found, a letter report and supplemental documents shall be provided by the biologist to the Town of Los Gatos prior to disturbance activities or grading permit issuance and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

a. If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within which no construction activities including tree removal or structure disturbance shall occur until after the nursery season.

b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

34. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-5: Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction occurs during the bird nesting season, then a qualified biologist shall conduct pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project activities. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), or if construction activities are suspended for at least 15 days and recommence during the nesting season, including the time period between the subdivision improvements and development activities at each respective residential lot, a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 15 days prior to the start of construction, with the second survey conducted within 48 hours prior to the start of construction. Appropriate minimum survey radii surrounding each work area are typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Locations off the site to which access is not available may be surveyed from within the site or from public areas. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist prior to initiation of construction activities. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize "normal" bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

35. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-6: Prior to issuance of a building permit or a grading permit for infrastructure improvement and each residential lot, developers shall retain a certified arborist to develop a site-specific tree protection plan

for retained trees, and supervise the implementation of all proposed tree preservation and protection measures during construction activities, including those measures specified in the 2017 project arborist report and 2018 project arborist report addendum. Also, in accordance with the Town's Tree Protection Ordinance, the project proponent shall obtain a tree removal permit for proposed tree removals on each development lot prior to tree removals and shall install replacement trees in accordance with all mitigation, maintenance, and monitoring requirements specified in the tree removal permit(s) or otherwise required by the Town for project approvals.

36. *GEOLOGIC HAZARDS MITIGATION MEASURE GEO-1: Prior to the approval of development applications for the project site, design-level studies for the roadways and infrastructure, and each of the proposed residential lots shall be prepared and shall address site specific geotechnical issues and provide lot-specific foundation and drainage recommendations. These design-level studies shall include an evaluation of expansive soil for each lot as well as an evaluation of local and global slope stability of each building area, concept, and access way. The design-level study for Lot 1 shall include an assessment of the potential hazards associated with alluvial infilling or debris flows along with geotechnical provisions for collecting and dispersing concentrated runoff flowing down the axis of the drainage towards the home site.

37. *GEOLOGIC HAZARDS MITIGATION MEASURE GEO-2: Prior to the approval of development applications for the individual lots, applicants shall be responsible for demonstrating to the satisfaction and approval of the Town Engineer that proposed design plans are in conformance with all current California Building Code standards and that all design measures and site preparation recommendations as suggested in the lot-specific geotechnical studies identified in mitigation measure GEO-1 have been incorporated into the project's final design.

Building Division

38. PERMITS REQUIRED: A separate Building Permit shall be required for each new single-family residence and each detached structure including retaining walls.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS and PUBLIC WORKS:

Engineering Division

39. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall

be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.

40. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.

41. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over $5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any grading or building permits.

42. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works prior to the issuance of any grading or building permits.

43. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.

44. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or

Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

45. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.

46. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.

47. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.

48. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any permits or recordation of the Final Map.

49. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.

50. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.

51. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos

(Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant/Developer's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

52. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading proposed will be charged accordingly.

53. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.

54. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.

55. CONSTRUCTION EASEMENT: Prior to the issuance of a grading permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.

56. DRAINAGE STUDY: Prior to the issuance of any grading permits, a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage

conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.

57. DRAINAGE IMPROVEMENT: Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading/improvement permits, whichever comes first, the Owner, Applicant and/or Developer shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.

58. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.

59. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
    a. Retaining wall: top of wall elevations and locations.
    b. Toe and top of cut and fill slopes.

60. RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.

61. GENERAL: The Owner, Applicant and/or Developer shall comply with all Town, County, State and Federal laws and regulations applicable to this land division. No other proposed development is included in this particular application of the Certificate of Compliance. Issuance of a Certificate of Compliance will acknowledge the Town's acceptance of the parcel as legally created in accordance with the Subdivision Map Act. Any subsequent development will be required to demonstrate compliance with the Town Development Standards and Codes.

62. CERTIFICATE OF COMPLIANCE: A Certificate of compliance shall be recorded. Two (2) copies of the legal description for each lot configuration, a plat map (8-½ in. X 11 in.) shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. The submittal shall include closure calculations, title reports less than ninety (90) days old and the appropriate fee. The certificate shall be recorded prior to the issuance of any permits.

63. FINAL / PARCEL MAP: A final/parcel map shall be recorded. Two (2) copies of the final/parcel map shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. Submittal shall include closure calculations, title reports and the appropriate fee. The map shall be recorded prior to the issuance of any grading or building permits. The Applicant/Subdivider shall provide the Engineering Division with an electronic copy (in PDF format) and two hardcopies of the signed recorded map along with a CAD drawing of the Parcel Map after it is recorded.

64. WEST VALLEY SANITATION DISTRICT: All sewer connection and treatment plant capacity fees shall be paid either immediately prior to the recordation of any subdivision or tract maps with respect to the subject property or properties or immediately prior to the issuance of a sewer connection permit, which ever event occurs first. Written confirmation of payment of these fees shall be provided prior to map recordation.

65. PRIVATE UTILITIES–STREET: Prior to the recordation of a subdivision map the Applicant/Developer/Subdivider shall place a note on the map, in a manner that meets the approval of the Town Engineer that states: "The private streets, utilities constructed within this map shall be owned, operated and maintained by the Developer, successors or assigns."

66. DESIGN-LEVEL REPORTS: One copy of a geotechnical and geologic report shall be submitted with the application of each approved lot. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

67. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner, Applicant and/or Developer's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Applicant's soils engineer and submitted to the Town before final release of any occupancy permit is granted.

68. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geologic and Geotechnical Feasibility Study by UPP Geotechnology, dated October 4, 2016, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's

consultant and costs shall be borne by the Owner, Applicant and/or Developer.

69. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

70. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.

71. UTILITY EASEMENTS: Deed restrictions shall be placed on lots containing utility easements. The deed restrictions shall specify that no trees, fences, structures or hardscape are allowed within the easement boundaries, and that maintenance access must be provided. The Town will prepare the deed language and the Owner, Applicant and/or Developer's surveyor shall prepare the legal description and plat. The Owner, Applicant and/or Developer shall pay any recordation costs. The documents shall be recorded before any grading or permits are issued.

72. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. Access driveway shall be within the recorded access easement. A new private access easement shall be recorded, and a copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of building permit or realigned access driveway shall be completed prior to the issuance of building permit.

73. QUITCLAIM OF EASEMENTS: The Owner, Applicant and/or Developer has/have indicated that 4 easement(s) will be abandoned. This abandonment shall be recorded, and a copy of the recorded quitclaim shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of building permit.

74. SIDEWALK REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti,

etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

75. CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

76. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.

77. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.

78. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.

79. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of a/any building/grading permit(s), the Owner/Applicant/Developer shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The fee shall be paid before issuance of a/any building permit(s). The final traffic impact mitigation fee for this project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time the building permit is issued, using a comparison between the existing and proposed uses.

80. PRECONSTRUCTION PAVEMENT SURVEY: Prior to issuance of a Grading Permit, the project applicant shall complete a pavement condition survey documenting the extent of existing pavement defects using a 35-mm, smartphone video (in Landscape orientation only) or digital video camera. The survey shall extend Santella Drive, Santella Court, Shady Lane, and Greenridge Terrace.

81. POSTCONSTRUCTION PAVEMENT SURVEY: The project applicant shall complete a pavement condition survey and pavement deflection analysis to determine whether road damage occurred as a result of project construction and whether there were changes in pavement strength. Rehabilitation improvements required to restore the pavement to pre-construction condition and strength shall be determined using State of California procedures for deflection analysis. The results shall be documented in a report and submitted to the Town for review and approval before a Certificate of Occupancy for any new building can be issued. The Applicant shall be responsible for completing any required road repairs prior to release of the faithful performance bond.

82. CONSTRUCTION VEHICLE PARKING: No construction vehicles, trucks, equipment and worker vehicles shall be allowed to park on the portion of any public (Town) streets without written approval from the Town Engineer.

83. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:

    a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.

    b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.

    c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.

    d. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.

e. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.

84. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of an encroachment, grading or building permit, the Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.

85. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.

86. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

87. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any encroachment, grading or building permits, the Developer's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.

88. SHARED PRIVATE STREET: The private street accessing the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.

89. EMERGENCY VEHICLE ACCESS: The Emergency Vehicle Access Easement that traverses the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.

90. EMERGENCY VEHICLE ACCESS EASEMENT: Prior to the issuance of any permits, the Owner, Applicant and/or Developer shall coordinate with the Santa Clara County Fire Department to ensure that any proposed modifications to the Emergency Vehicle Access Easement that traverses the Project Site are curvilinear, allows for the Department's equipment to travel across said easement, and meets all Department specifications. Plans shall be submitted to the Santa Clara County Fire Department for approval prior to construction.

91. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.

92. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.

93. STORMWATER MANAGEMENT: Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs one (1) acre or more which are part of a larger common plan of development which disturbs less than one (1) acre are required to obtain coverage under the construction general permit with the

State Water Resources Control Board. The Owner, Applicant and/or Developer is required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Town of Los Gatos Engineering Division of the Parks and Public Works Department and/or Building Department upon request.

94. BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

95. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
    a. Protect sensitive areas and minimize changes to the natural topography.
    b. Minimize impervious surface areas.
    c. Direct roof downspouts to vegetated areas.
    d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
    e. Use landscaping to treat stormwater.

96. STORMWATER DEVELOPMENT RUNOFF: All new development and redevelopment projects are subject to the stormwater development runoff requirements. Every Owner, Applicant and/or Developer or their design consultant shall submit a stormwater control plan and implement conditions of approval that reduce stormwater pollutant discharges through the construction, operation and maintenance of treatment measures and other appropriate source control and site design measures. Increases in runoff volume and flows shall be managed in accordance with the development runoff requirements.

97. BIORETENTION SYSTEM: The bioretention system shall be designed to have a surface area no smaller than what is required to accommodate a 5 inches/hour stormwater runoff surface loading rate, infiltrate runoff through bioretention soil media at a minimum of 5 inches per hour, and maximize infiltration to the native soil during the life of the project. The soil media for bioretention system shall be designed to sustain healthy, vigorous plant growth and maximize stormwater runoff retention and pollutant removal. Bioretention soil media that meets the minimum specifications set forth in Attachment L of Order No. R2-2009-0074, dated November 28, 2011, shall be used.

98. INFILTRATION TRENCHES: The following requirements apply to the proposed infiltration trenches:

a. Prior to completion of the Final Stormwater Control Plan, a geotechnical engineer shall review the design of the infiltration trenches and retaining walls along the portion of the road within the property boundary and determine whether additional structural supports are needed to ensure stability of the road and the adjacent hillside during the wet season.

b. The assumed infiltration rate of 1.33 in/hour shall be verified with actual site-specific soils data prior to the Final Stormwater Control Plan for the road and development on each lot, and if the infiltration rate is lower than 0.67 in/hour, a hydrologic analysis shall be conducted to ensure that the proposed trench sizes are adequate.

c. If the lots are to be developed individually, each lot shall provide infiltration trenches consistent with the final stormwater control plan for the project, sized based on the actual amount of impervious surface to be created on the lot.

d. The road and infiltration trenches shall be protected from sediment generated during construction of homes on the lots. The proposed source control measures shall be indicated on the project plans.

e. Maintenance of stormwater treatment and the infiltration trenches shall be the responsibility of the property owner and/or future property owners. A maintenance agreement shall be prepared establishing the property owner or owners' responsibility.

99. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.

100. LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D of the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3 Stormwater Handbook.

101. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and

stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

102. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

103. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:

a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.

b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.

c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.

d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.

e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.

f. All vehicle speeds on unpaved surfaces shall be limited to 15 mph.

g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.

h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph.

j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

104. DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.

105. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.

106. STORM WATER MANAGEMENT PLAN: A storm water management shall be included with the grading permit application for all Group 1 and Group 2 projects as defined in the amended provisions C.3 of the Municipal Regional Stormwater NPDES Permit, Order R2-2015-0049, NPDES Permit No. CAS612008. The plan shall delineate source control measures and BMPs together with the sizing calculations. The plan shall be certified by a professional pre-qualified by the Town. In the event that the storm water measures proposed on the Planning approval differ significantly from those certified on the Building/Grading Permit, the Town may require a modification of the Planning approval prior to release of the Building Permit. The Owner, Applicant and/or Developer may elect to have the Planning submittal certified to avoid this possibility.

107. STORM WATER MANAGEMENT PLAN NOTES: The following note shall be added to the storm water management plan: "The biotreatment soil mix used in all stormwater treatment landscapes shall comply with the specifications in Attachment L of the MRP. Proof of compliance shall be submitted by the Contractor to the Town of Los Gatos a minimum of thirty (30) days prior to delivery of the material to the job site using the Biotreatment Soil Mix Supplier Certification Statement."

108. STORM WATER MANAGEMENT PLAN CERTIFICATION: Certification from the biotreatment soils provider is required and shall be given to Engineering Division Inspection staff a minimum of thirty (30) days prior to delivery of the material to the job site. Additionally deliver tags from the soil mix shall also be provided to Engineering Division Inspection staff. Sample Certification can be found here: http://www.scvurppp-w2k.com/nd_wp.shtml?zoom_highlight=BIOTREATMENT+SOIL.

109. AGREEMENT FOR STORMWATER BEST MANAGEMENT PRACTICES INSPECTION AND MAINTENANCE OBLIGATIONS: The property owner/homeowner's association shall enter into an agreement with the Town for maintenance of the stormwater filtration devices required to be installed on this project by the Town's Stormwater Discharge Permit and all current amendments or modifications. The agreement shall specify that certain routine maintenance shall be performed by the property owner/homeowner's association and shall specify device maintenance reporting requirements. The agreement shall also specify routine inspection requirements, permits and payment of fees. The agreement shall be recorded, and a copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the release of any occupancy permits.

110. MAINTENANCE OF PRIVATE STREETS: It is the responsibility of the property owner(s)/homeowners association to implement a plan for street sweeping of paved private roads and cleaning of all storm drain inlets.

111. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

112. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Developer's expense.

113. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.

114. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

115. FUTURE STUDIES: Any post-project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the Applicant.

116. UTILITY COMPANY REVIEW: Letters from the electric, telephone, cable, and trash companies indicating that the proposed improvements and easements are acceptable shall be provided prior to the recordation of the final / parcel map.

117. ABOVE GROUND UTILITIES: The Owner, Applicant and/or Developer shall submit a seventy-five (75) percent progress printing to the Town for review of above ground utilities including backflow prevention devices, fire department connections, gas and water meters, off-street valve boxes, hydrants, site lighting, electrical/communication/cable boxes, transformers, and mail boxes. Above ground utilities shall be reviewed and approved by the Community Development Department prior to issuance of any permit.

118. PRIVATE EASEMENTS: Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the final / parcel map. A copy of the recorded agreement(s) shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any permit.

119. PUBLIC STREET LIGHTING: Public street lighting will not be required/allowed per General Plan update and Hillside designation. On-lot lighting shall be incorporated and promoted.

120. PERCOLATION TESTING: Onsite percolation testing should be performed during the design phase to validate the fractured bedrock infiltration rates and support the infiltration trench design.

121. STORMWATER FACILITY SIZING: The treatment and hydromodification management facility sizing should be confirmed during the design phase, including rerunning the BAHM model with appropriate parameters.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

122. FIRE APPARATUS (ENGINE) ACCESS ROAD REQUIRED: In all cases, the minimum requirements are found in the currently adopted edition of the California Fire Code Sec. 503, as amplified in the SCCFD SD&S A-1. All such roadways shall be a minimum of 20 feet in width, a minimum vertical clearance of 13'6", maximum grade of 15%, with a minimum circulating outside radius of 42'. All such roadways shall be capable of supporting a maximum imposed load of 75,000 pounds and where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17.

123. WILDLAND-URBAN INTERFACE: This project is located within the designated Wildland-Urban Interface Fire Area. The building construction shall comply with the provisions of Section R327 of the California Residential Code or the California Building Code (CBC) Chapter 7A., as applicable. Note that vegetation clearance shall be in compliance with CBC Section 701A.3.2.4 prior to project final approval. Check with the Planning Department for related landscape plan requirements.

124. FIRE HYDRANT(S) AVAILABLE: The number of fire hydrants available to a complex or subdivision shall not be less than that determined by spacing requirements listed in CFC Table C105.1 when applied to fire apparatus access roads and perimeter public streets from which fire operations could be conducted. Existing fire hydrants on public streets are allowed to be considered as available. The average spacing between fire hydrants shall not exceed that listed in Table C105. Hydrants shall be a maximum of 500 feet from each other, as measured along the curb line. Fire protection water supplies shall be subject to approval by the Santa Clara County Fire Department and shall comply with locally adopted Standards and CFC Sec. 507.

125. TURNING RADIUS (CUL-DE-SACS): The minimum outside turning radius is 36 feet. Use of cul-de-sacs is not acceptable where it is determined by the Fire Department that Ladder Truck access is required, unless greater turning radius is provided. Cul-de-sacs diameters shall be no less than 72 feet. CFC Sec. 503.

126. EMERGENCY ACCESS/DRIVEWAYS: The minimum clear width of fire department access roads shall be 20 feet. Modifications to the design or width of a fire access road, or additional access road(s) may be required when the Fire Code official determines that access to the site or a portion thereof may become compromised due to emergency operations or nearby natural or manmade hazards (floor prone areas, railway crossings, bridge failures, hazardous material-related incidents, etc.). The vertical clearance shall be in accordance with the Fire Code, 13 feet, 6 inches.

127. FIRE DEPARTMENT (ENGINE) DRIVEWAY TURNAROUND REQUIRED: Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. Maximum grade in any direction shall be a maximum of 5 percent. Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503.

128. CONSTRUCTION FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

SECTION VII

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the 2nd day of April 2019 and adopted by the following vote as an Ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on the 16th day of April 2019 and becomes effective 30 days after it is adopted. In lieu of publication of the full text of the Ordinance within fifteen (15) days after its passage, a summary of the Ordinance may be published at least five (5) days prior to and fifteen (15) days after adoption by the Town Council and a certified copy shall be posted in the office of the Town Clerk, pursuant to GC 36933(c)(1).

COUNCIL MEMBERS:

AYES: Marcia Jensen, Rob Rennie, Marico Sayoc, Barbara Spector, Mayor Steven Leonardis

NAYS: None

ABSENT: None.

ABSTAIN: None.

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: 6/28/19

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: 7/1/2019

This Page Intentionally Left Blank

HANNA-BRUNETTI
EST. 1910
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

Community Development Department
Town of Los Gatos
110 E Main St
Los Gatos, CA 95030

Re: Project Description for a Lot Line Adjustment between 240 La Terra Ct and 16300 Greenridge Terrace and 16084 Greenridge Terrace

The proposed LLA is between three lots, including 240 La Terra Ct, 16084 Greenridge Terrace, and 16300 Greenridge Terrace. There are two proposed adjustments. First, the LLA proposes an even land swap of the common lot line between 240 La Terra Ct and 16300 Greenridge terrace. Second, the LLA proposes to adjust the common lot line between 16084 Greenridge Terrace and 16300 Greenridge Terrace so that the westerly 0.28 acres of 16300 Greenridge is swapped with 16084 Greenridge .

EXHIBIT 5

This Page Intentionally Left Blank

HANNA-BRUNETTI
EST. 1910
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

Community Development Department
Town of Los Gatos
110 E Main St
Los Gatos, CA 95030

Re: Justification Letter for a Lot Line Adjustment between 240 La Terra Ct and 16300 Greenridge Terrace and 16084 Greenridge Terrace

The proposed LLA will adjust the lot lines between 240 La Terra Ct, 16048 Greenridge Terrace, and 16300 Greenridge Terrace. The LLA map proposes an even land swap of the common property line between 240 La Terra and 16300 Greenridge. The proposed LLA adjustment also proposes to adjust the common property line between 16084 Greenridge Terrace and 16300 Greenridge Terrace so that the 0.28 acres of 16300 Greenridge is swapped with 16084 Greenridge.

The original lot configuration was based on having straight property lines with as few neighbors as possible. As the project developed with open space easements, trail easement, and the town implementing the hillside fence ordinance the original alignment of the lot lines between the two lots was no longer needed.

Taking a fresh look at the development of the lots, the existing topography, and the easements, a realignment of the common property lines was needed. The proposed lot line will accomplish the following:

- Align the property line more closely with the trail easement – so the trail does not cut through the middle of 16300 Greenridge Terrace backyard.
- Align the property line with the topography of the land. This will give more usable space and privacy to each lot.
- The realigned lot line will align the backyards of each lot more closely to each building site.
- Extend the westerly line of lot 16300 Greenridge Terrace so that the westerly 0.28 acres is swapped with 16084 Greenridge Terrace

EXHIBIT 6

This Page Intentionally Left Blank

Draft Ordinance: subject to modification by Town Council based on deliberations and direction

ORDINANCE

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS REPEALING AND REPLACING PLANNED DEVELOPMENT ORDINANCE 2281 ESTABLISHING DEVELOPMENT STANDARDS AND ALLOWABLE USES FOR LOTS WITHIN THE PLANNED DEVELOPMENT OVERLAY ZONE FOR PROPERTY LOCATED AT 16100 GREENRIDGE TERRACE (APN: 527-12-002)

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

SECTION I

The Town Code of the Town of Los Gatos is hereby amended to change the zoning on property located at 16100 Greenridge Terrace (Santa Clara County Assessor Parcel Number 527-12-002) as shown on the map attached hereto as Exhibit A, and is part of this Ordinance, from HR-2½ (Hillside Residential, two and one-half to 10 acres for each dwelling unit) to HR-2½:PD (Hillside Residential, two and one-half to 10 acres for each dwelling unit, Planned Development). Ordinance number 2281, passed and adopted by the Town Council of Los Gatos on April 16, 2019, is hereby repealed and replaced with this Ordinance.

SECTION II

With respect to compliance with the California Environmental Quality Act ("CEQA"), the Town Council finds as follows:

A. An Environmental Impact Report (EIR) was completed for the proposed development and no significant unmitigated impacts are associated with the application. The Findings of Fact are made and the Final Environmental Impact Report (EIR) and Mitigation Monitoring and Reporting Program are adopted.

SECTION III

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Subdivision of one lot into eight lots.
2. Construction of eight market rate single-family detached residences.
3. Landscaping, private streets, trails, parking and other improvements shown and required on the Official Development Plans.
4. Dedication of trail easements to the Town of Los Gatos as shown on the Official Development Plans.

5. Uses permitted are those specified in the HR-2½ (Hillside Residential, two and half to 10 acres for each dwelling unit) zone by Sections 29.40.235 (Permitted Uses), as it exists at the time of the adoption of this Ordinance, or as they may be amended in the future.

6. As provided in Exhibit C and approved by the Town Council under Lot Line Adjustment application M-25-006, adjustment of the common lot line between Lot 1 (16300 Greenridge Terrace) and Lot 2 (240 La Terra Court); and adjustment of the common lot line between Lot 1 (16300 Greenridge Terrace) and 16084 Greenridge Terrace.

SECTION IV

COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS:

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION V

A Tentative Subdivision Map and Architecture and Site Approvals are required before construction of subdivision improvements or new residences, whether or not a permit is required for the work and before any permit for construction is issued. Construction permits shall only be in a manner complying with Section 29.80.130 (PD Ordinance) of the Town Code.

SECTION VI

The attached Exhibit A (Map), and Exhibit B (Official Development Plans), are part of the Official Development Plan. The following performance standards must be complied with before issuance of any grading, or construction permits (mitigation measures are so noted and are flagged with an asterisk):

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. OFFICIAL DEVELOPMENT PLANS: The Official Development Plans provided are conceptual in nature. Final building footprints and building designs shall be determined during the Architecture and Site approval process. Colors and building materials shown on the Official Development Plans are not approved and shall be reviewed during the Architecture and Site application approval process.
2. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third

party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.

3. SUBDIVISION REQUIRED: A Tentative Map application shall be approved for the project prior to the issuance of building permits. The Development Review Committee may be the deciding body of the Tentative Map.
4. ARCHITECTURE AND SITE APPROVAL REQUIRED: A separate Architecture and Site (A&S) application and approval is required for each of the new residences. The Architecture and Site applications shall be reviewed by the Development Review Committee. Architectural details, including fencing and a project entry sign, shall be refined as part of this process with input from the Town's Consulting Architect.
5. FINAL LANDSCAPE PLAN: A final landscape plan shall be reviewed by the Town's Consulting Landscape Architect and approved as part of the Architecture and Site process. Minimum tree size at time of planting shall be 24-inch box.
6. WATER CONSERVATION ORDINANCE REQUIREMENT: The proposed landscaping shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review prior to the issuance of a building permit.
7. SETBACKS: The minimum setbacks are those specified by the HR-2½ zoning district or as otherwise shown on the Conceptual Development Plans.
8. FENCING: Fencing shall comply with the Town Code and Hillside Development Standards and Guidelines in place at the time of approval. Fence locations, design, and materials shall be reviewed and approved during the Architecture and Site review(s). The CC&R's for the project shall include a restriction prohibiting the home owners from replacing the fence type approved during the Architecture and Site review(s) without prior approval from the Town. The CC&R's shall prohibit fencing within the open space easement.
9. BUILDING HEIGHT: The maximum height of the new residences shall be the maximum height listed in the Hillside Development Standards and Guidelines. The maximum height of the new residences on lots 3, 4, 5, and 8 shall be limited to 18 feet due to visibility concerns.
10. BUILDING FLOOR AREA: The maximum floor area of the new residences shall be the maximum floor area listed in the Hillside Development Standards and Guidelines.
11. GRADING: Depths of cut and fill for the roadway and site improvements shall not exceed the maximums shown in the Official Development Plans (Exhibit B).

12. OUTDOOR LIGHTING: All exterior building and outdoor lighting shall be shielded and directed away from neighboring properties, to shine on the project site only. Lighting shall be the minimum needed for pedestrian safety and security. Lighting specifications shall be reviewed as part of the Architecture and Site process.
13. EXTERIOR COLORS: The exterior colors of all structures shall comply with the Hillside Development Standards and Guidelines.
14. DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all exterior materials be maintained in conformance with the Town's Hillside Development Standards and Guidelines.
15. BELOW MARKET PRICE (BMP) IN-LIEU FEE: A Below Market Price (BMP) in-lieu fee shall be paid by the property owner/developer pursuant to Town Code Section 29.10.3025 and any applicable Town Resolutions. The fee amount shall be based upon the Town Council fee resolution in effect at the time a final or vesting tentative map is approved.
16. PROJECT CC&R's. CC&R's shall be provided with the Tentative Map application and shall address the following:
    a. Maintenance of private roadway
    b. Maintenance of landscaping adjacent to the private road
    c. Maintenance of storm drain system
    d. Maintenance of public open space
    e. Maintenance of public trail
    f. Landscape guidelines (shall be compliant with the Hillside Development Standards and Guidelines, EIR, and safe fire protocol).
17. FINAL CC&R's: Final CC&R's shall be approved by the Town Attorney prior to the recording of the Final Map. The CC&R's shall include provisions for traffic circulation, vehicle parking enforcement procedures, and landscaping, exterior lighting and fencing restrictions. The approved CC&R's shall become conditions of this Ordinance.
18. TREE PRESERVATION: All recommendations of the Town's Consulting Arborist shall be followed. Refer to the report and addendum report prepared by Richard Gessner, dated June 30, 2017 and June 20, 2018 for additional details. The Arborist Consultant shall reevaluate the plans for the new residences during Architecture and Site review.

19. TREE REMOVAL: Tree removal shall be limited to the scope of this PD and future approvals as follows:

Planned Development	No tree removal.
Subdivision	Tree removal limited to that required for site improvements related to installation of the roadway and shared driveway; installation of utilities; and construction of retaining walls for the roadway and shared driveway.
Architecture and Site	Tree removal required for construction of each single-family home and improvements.

20. DEED RESTRICTION: Prior to the issuance of building permits for each single-family residential development, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that identifies the on-site trees that were used to provide screening in the visibility analyses conducted under each Architecture and Site application and requires replacement screening in conformance with the Town's Hillside Development Standards and Guidelines and/or the Tree Protection Ordinance if the trees die or are removed.
21. MAINTENANCE AGREEMENT: Prior to the issuance of building permits for each single-family residential development, a five-year maintenance agreement shall be submitted for the preservation of the on-site trees that were used to provide screening in the visibility analyses conducted under each Architecture and Site application.
22. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for trees approved for removal prior to the issuance of demolition or grading permits.
23. REPLACEMENT TREES: New trees shall be planted to mitigate the loss of trees being removed. The number of trees shall be determined using the canopy replacement table in the Tree Protection Ordinance. New trees shall be double staked and shall be planted prior to final inspection and issuance of occupancy permits.
24. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees and shall remain through all phases of construction. Refer to the report and addendum report prepared by Richard Gessner, dated June 30, 2017 and June 20, 2018 for requirements. Fencing shall be six-foot high cyclone attached to two-inch diameter steel posts drive 18 inches into the ground and spaced no further than 10 feet apart. Include a tree protection fencing plan with the construction plans.
25. FINAL UTILITY LOCATIONS: The applicant shall submit plans showing the final locations

and screening of all exterior utilities, including but not limited to, backflow preventers, Fire Department connections, transformers, utility boxes and utility meters. Utility devices shall be screened to the satisfaction of the Director of Community Development. The plans shall be submitted for review and approval prior to issuance of building permits for new construction.

26. PLAN INCONSISTENCY: Any inconsistencies between sheets shall be limited to whichever is more restrictive.

27. GENERAL PROVISIONS: This Planned Development shall comply with provisions in Town Code Sections 29.40.015 through 29.40.070, and Article V, unless more restrictive provisions are required in other performance standards for the subject Planned Development.

28. SCENIC EASEMENTS: Scenic easements shall be dedicated on the parcel map by separate instrument across portions of lots 1, 2, 3, and 5 connecting the area to be dedicated as open space on the north portions of lots 1 and 5 to the south property lines of lots 2 and 3. Easement language shall indicate that such land shall not be encroached into with fences, structures, landscaping, or improvements of any kind, and no work shall be performed within the Scenic Easement, including clearing, other than for wildland fire fuel management or weed abatement. Any and all maintenance within the scenic easements shall be the sole responsibility of the property owner.

29. *AIR QUALITY MITIGATION MEASURE AQ-1: The project contractor for subdivision improvements and residential lot development shall implement basic dust control measures at all on-site and off-site locations where grading or excavation takes place. The project contractor shall implement additional dust control measures at all on-site and off-site locations where grading or excavation takes place within 200 feet of residential properties.

    Basic dust control measures:

    a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day;
    b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered;
    c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited;
    d. All vehicle speeds on unpaved roads shall be limited to 15 mph;
    e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding

or soil binders are used; and

f. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations.

g. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph;

h. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established; and

i. Unpaved roads shall be treated with a three to six-inch compacted layer of wood chips, mulch, or gravel.

30. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-1: Focused plant surveys were conducted in spring 2018; if project development occurs more than five years after spring 2018, the surveys shall be repeated per below. To protect potentially occurring special-status plants, the presence/absence of fragrant fritillary, Hall's bush-mallow, Loma Prieta hoita, western leatherwood, and woodland woollythreads shall be determined within the development footprint and fire defensible space. A qualified biologist shall conduct focused botanical surveys for these five-target species in accordance with current California Department of Fish and Wildlife and California Native Plant Society rare plant survey protocols. Surveys shall occur during overlapping blooming periods for the target species (likely March and June). If the surveys conclude that the species are not present, no further mitigation is required. If any special-status plant species is present within the development footprint and fire defensible space, to compensate for loss or reduction of a special-status plant population, the project proponent shall retain a qualified biologist or native plant specialist to collect seed from all plant individuals and/or salvage plants within the development footprint at the optimal time prior to initiation of ground disturbance activities. The project proponent and the Town of Los Gatos shall oversee selection of an appropriate mitigation area, preferably on the project site, or in the immediate vicinity, that would not be disturbed in the future. After selection of the mitigation area and approval by the Town, a qualified biologist shall develop a Special-Status Plant Management Plan detailing optimal methods for seed collection/plant salvage from the impact area, preparation of the mitigation area, and seed/plant installation at the mitigation area. The plan shall also include maintenance measures to manage the rare plant occurrence for long-term protection and persistence at the mitigation area. Collected seeds/plants shall be

installed at the mitigation area at the optimal time. Topsoil from the on-site occurrence location shall also be salvaged (if practical) for use in the mitigation area.

The Special-Status Plant Management Plan shall require at a minimum three years of annual monitoring by a qualified biologist during the plant's peak blooming period to ensure that mitigation was successful and that long-term maintenance procedures specified in the plan are creating conditions that support survival of the transplanted population. The initial focused surveys will identify how many plant individuals occur in the development footprint; this amount or more must occur in the mitigation area during each of the three years following installation. If this success criteria is not achieved, the project proponent shall coordinate with the Town to implement remedial mitigation through revision of the Special-Status Plant Management Plan, and then collection of additional seed from a local population and repeated installation in the mitigation area, followed by another three years of annual monitoring. This process shall be extended as needed until all success criteria contained in the Special-Status Plant Management Plan are achieved.

31. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-2: Prior to the start of construction activities for the subdivision improvements and development of residential lots, a qualified biologist shall conduct pre-construction surveys of the grassland habitat on the site to identify any potential American badger burrows/dens. These surveys shall be conducted no more than 15 days prior to the start of construction. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. If a potential American badger burrow/den is found during the surveys, coordination with the California Department of Fish and Wildlife shall be undertaken in order to develop a suitable strategy to avoid impacts to American badger. With California Department of Fish and Wildlife approval, impacts to active American badger dens shall be avoided by establishing exclusion zones around all active badger dens, within which construction related activities shall be prohibited until denning activities are complete or the den is abandoned. A qualified biologist shall monitor each den once per week in order to track the status of the den and to determine when a den area has been cleared for construction.

32. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-3: A qualified biologist shall conduct pre-construction surveys for woodrat middens within the development footprints. These surveys shall be conducted no more than 15 days prior to the start of

construction for the infrastructure improvements and development of the residential lots. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. All woodrat middens shall be flagged for avoidance of direct construction impacts where feasible. To avoid midden/nest disturbance, if active middens/nests are found, a 50-foot buffer will be established in which project activities will not occur. This buffer should be clearly marked. For all woodrat middens/nests that cannot be avoided by project activities, live trapping should be conducted by a qualified biologist to determine if the midden/nest is in use. Trapping should occur prior to April and after mid-July to avoid impacts to woodrats rearing young or to young woodrats. If a midden/nest is found to be unoccupied (none captured after two nights of trapping), then it can be removed as described below. If woodrats are trapped, they may be kept in captivity by a qualified biologist until their middens/nests are immediately relocated. Each midden/nest should be dismantled by hand as described below, and the relocated midden/nest should be placed in suitable habitat a minimum of 50 feet from the construction area, no closer than 20 feet from existing woodrat middens/nests and other relocated woodrat middens/nests, and be reassembled under shrub or tree canopy that will receive some sunlight. The midden/nest should be rebuilt surrounding a log-based structure, an inverted wooden planter, or similar structure having at least one entrance and exit hole. Any cached food and nest material found during nest dismantling should be placed within the relocated midden/nest during rebuilding. The occupied trap should then be opened, placed tightly against the entrance to the artificial shelter, and the woodrat be allowed to enter the midden/nest on its own accord. After the individual enters, the entrance should promptly be covered with a loose plug of small sticks to encourage the individual to stay for the short-term. Where impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow any occupants to disperse.

33. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-4: Approximately 15 days prior to tree removal or other construction activities, the applicant shall retain a qualified biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and surrounding the water tank structures situated within 50 feet of disturbance activities by the project. In

the event that construction activities are suspended for 15 consecutive days or longer, including the time period between the subdivision improvements and development activities at each respective residential lot, these surveys shall be recompleted. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas. If no roosting sites or bats are found, a letter report confirming absence shall be submitted by the biologist to the Town of Los Gatos and no further mitigation is required. If bats or roosting sites are found, a letter report and supplemental documents shall be provided by the biologist to the Town of Los Gatos prior to disturbance activities or grading permit issuance and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

a. If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within which no construction activities including tree removal or structure disturbance shall occur until after the nursery season.
b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be

installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

34. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-5: Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction occurs during the bird nesting season, then a qualified biologist shall conduct pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project activities. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), or if construction activities are suspended for at least 15 days and recommence during the nesting season, including the time period between the subdivision improvements and development activities at each respective residential lot, a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 15 days prior to the start of construction, with the second survey conducted within 48 hours prior to the start of construction. Appropriate minimum survey radii surrounding each work area are typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Locations off the site to which access is not available may be surveyed from within the site or from public areas. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist prior to initiation of construction activities. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to

construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize “normal” bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

35. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-6: Prior to issuance of a building permit or a grading permit for infrastructure improvement and each residential lot, developers shall retain a certified arborist to develop a site-specific tree protection plan for retained trees, and supervise the implementation of all proposed tree preservation and protection measures during construction activities, including those measures specified in the 2017 project arborist report and 2018 project arborist report addendum. Also, in accordance with the Town’s Tree Protection Ordinance, the project proponent shall obtain a tree removal permit for proposed tree removals on each development lot prior to tree removals, and shall install replacement trees in accordance with all mitigation, maintenance, and monitoring requirements specified in the tree removal permit(s) or otherwise required by the Town for project approvals.

36. *GEOLOGIC HAZARDS MITIGATION MEASURE GEO-1: Prior to the approval of development applications for the project site, design-level studies for the roadways and infrastructure, and each of the proposed residential lots shall be prepared and shall address site specific geotechnical issues and provide lot-specific foundation and drainage recommendations. These design-level studies shall include an evaluation of expansive soil for each lot as well as an evaluation of local and global slope stability of each building area, concept, and access way. The design-level study for Lot 1 shall include an assessment of the potential hazards associated with alluvial infilling or debris flows along with geotechnical provisions for collecting and dispersing concentrated runoff flowing down the axis of the drainage towards the home site.

37. *GEOLOGIC HAZARDS MITIGATION MEASURE GEO-2: Prior to the approval of development applications for the individual lots, applicants shall be responsible for demonstrating to the satisfaction and approval of the Town Engineer that proposed design plans are in conformance with all current California Building Code standards and that all design measures and site preparation recommendations as suggested in the lot-

specific geotechnical studies identified in mitigation measure GEO-1 have been incorporated into the project's final design.

Building Division

38. PERMITS REQUIRED: A separate Building Permit shall be required for each new single-family residence and each detached structure including retaining walls.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS and PUBLIC WORKS:

Engineering Division

39. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
40. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
41. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over $5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any grading or building permits.
42. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT):

The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works prior to the issuance of any grading or building permits.

43. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.

44. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

45. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.

46. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.

47. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.

48. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any permits or recordation of the Final Map.

49. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.

50. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.

51. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant/Developer's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

52. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading proposed will be charged accordingly.

53. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April

15), has ended.

54. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.

55. CONSTRUCTION EASEMENT: Prior to the issuance of a grading permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.

56. DRAINAGE STUDY: Prior to the issuance of any grading permits, a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.

57. DRAINAGE IMPROVEMENT: Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading/improvement permits, whichever comes first, the Owner, Applicant and/or Developer shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.

58. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.

59. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
    a. Retaining wall: top of wall elevations and locations.
    b. Toe and top of cut and fill slopes.

60. RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.

61. GENERAL: The Owner, Applicant and/or Developer shall comply with all Town, County, State and Federal laws and regulations applicable to this land division. No other proposed development is included in this particular application of the Certificate of Compliance. Issuance of a Certificate of Compliance will acknowledge the Town's acceptance of the parcel as legally created in accordance with the Subdivision Map Act. Any subsequent development will be required to demonstrate compliance with the Town Development Standards and Codes.

62. CERTIFICATE OF COMPLIANCE: A Certificate of compliance shall be recorded. Two (2) copies of the legal description for each lot configuration, a plat map (8-½ in. X 11 in.) shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. The submittal shall include closure calculations, title reports less than ninety (90) days old and the appropriate fee. The certificate shall be recorded prior to the issuance of any permits.

63. FINAL / PARCEL MAP: A final/parcel map shall be recorded. Two (2) copies of the final/parcel map shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. Submittal shall include closure calculations, title reports and the appropriate fee. The map shall be recorded prior to the issuance of any grading or building permits. The Applicant/Subdivider shall provide the Engineering Division with an electronic copy (in PDF format) and two hardcopies of the signed recorded map along with a CAD drawing of the Parcel Map after it is recorded.

64. WEST VALLEY SANITATION DISTRICT: All sewer connection and treatment plant capacity fees shall be paid either immediately prior to the recordation of any subdivision or tract maps with respect to the subject property or properties or immediately prior to the issuance of a sewer connection permit, which ever event occurs first. Written confirmation of payment of these fees shall be provided prior to map recordation.

65. PRIVATE UTILITIES–STREET: Prior to the recordation of a subdivision map the Applicant/Developer/Subdivider shall place a note on the map, in a manner that meets the approval of the Town Engineer that states: "The private streets, utilities constructed within this map shall be owned, operated and maintained by the Developer, successors or assigns."

66. DESIGN-LEVEL REPORTS: One copy of a geotechnical and geologic report shall be submitted with the application of each approved lot. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

67. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner, Applicant and/or Developer's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Applicant's soils engineer and submitted to the Town before final release of any occupancy permit is granted.

68. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geologic and Geotechnical Feasibility Study by UPP Geotechnology, dated October 4, 2016, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner, Applicant and/or Developer.

69. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

70. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.

71. UTILITY EASEMENTS: Deed restrictions shall be placed on lots containing utility easements. The deed restrictions shall specify that no trees, fences, structures or hardscape are allowed within the easement boundaries, and that maintenance access must be provided. The Town will prepare the deed language and the Owner, Applicant and/or Developer's surveyor shall prepare the legal description and plat. The Owner, Applicant and/or Developer shall pay any recordation costs. The documents shall be recorded before any grading or permits are issued.

72. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. Access driveway shall be within the recorded access easement. A new private access easement shall be

recorded, and a copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of building permit or realigned access driveway shall be completed prior to the issuance of building permit.

73. QUITCLAIM OF EASEMENTS: The Owner, Applicant and/or Developer has/have indicated that 4 easement(s) will be abandoned. This abandonment shall be recorded, and a copy of the recorded quitclaim shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of building permit.

74. SIDEWALK REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

75. CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

76. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.

77. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.

78. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will

need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.

79. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of a/any building/grading permit(s), the Owner/Applicant/Developer shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The fee shall be paid before issuance of a/any building permit(s). The final traffic impact mitigation fee for this project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time the building permit is issued, using a comparison between the existing and proposed uses.

80. PRECONSTRUCTION PAVEMENT SURVEY: Prior to issuance of a Grading Permit, the project applicant shall complete a pavement condition survey documenting the extent of existing pavement defects using a 35-mm, smartphone video (in Landscape orientation only) or digital video camera. The survey shall extend Santella Drive, Santella Court, Shady Lane, and Greenridge Terrace.

81. POSTCONSTRUCTION PAVEMENT SURVEY: The project applicant shall complete a pavement condition survey and pavement deflection analysis to determine whether road damage occurred as a result of project construction and whether there were changes in pavement strength. Rehabilitation improvements required to restore the pavement to pre-construction condition and strength shall be determined using State of California procedures for deflection analysis. The results shall be documented in a report and submitted to the Town for review and approval before a Certificate of Occupancy for any new building can be issued. The Applicant shall be responsible for completing any required road repairs prior to release of the faithful performance bond.

82. CONSTRUCTION VEHICLE PARKING: No construction vehicles, trucks, equipment and worker vehicles shall be allowed to park on the portion of any public (Town) streets without written approval from the Town Engineer.

83. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
    a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.

b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
d. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
e. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.

84. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of an encroachment, grading or building permit, the Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.

85. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.

86. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances

as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

87. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any encroachment, grading or building permits, the Developer's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.

88. SHARED PRIVATE STREET: The private street accessing the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.

89. EMERGENCY VEHICLE ACCESS: The Emergency Vehicle Access Easement that traverses the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.

90. EMERGENCY VEHICLE ACCESS EASEMENT: Prior to the issuance of any permits, the Owner, Applicant and/or Developer shall coordinate with the Santa Clara County Fire Department to ensure that any proposed modifications to the Emergency Vehicle Access Easement that traverses the Project Site are curvilinear, allows for the Department's equipment to travel across said easement, and meets all Department specifications. Plans shall be submitted to the Santa Clara County Fire Department for approval prior to construction.

91. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.

92. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town

shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.

93. STORMWATER MANAGEMENT: Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs one (1) acre or more which are part of a larger common plan of development which disturbs less than one (1) acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. The Owner, Applicant and/or Developer is required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Town of Los Gatos Engineering Division of the Parks and Public Works Department and/or Building Department upon request.

94. BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

95. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
    a. Protect sensitive areas and minimize changes to the natural topography.
    b. Minimize impervious surface areas.
    c. Direct roof downspouts to vegetated areas.
    d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
    e. Use landscaping to treat stormwater.

96. STORMWATER DEVELOPMENT RUNOFF: All new development and redevelopment projects are subject to the stormwater development runoff requirements. Every Owner, Applicant and/or Developer or their design consultant shall submit a stormwater control plan and implement conditions of approval that reduce stormwater pollutant discharges through the construction, operation and maintenance of treatment measures and other appropriate source control and site design measures. Increases in runoff volume and

flows shall be managed in accordance with the development runoff requirements.

97. BIORETENTION SYSTEM: The bioretention system shall be designed to have a surface area no smaller than what is required to accommodate a 5 inches/hour stormwater runoff surface loading rate, infiltrate runoff through bioretention soil media at a minimum of 5 inches per hour, and maximize infiltration to the native soil during the life of the project. The soil media for bioretention system shall be designed to sustain healthy, vigorous plant growth and maximize stormwater runoff retention and pollutant removal. Bioretention soil media that meets the minimum specifications set forth in Attachment L of Order No. R2-2009-0074, dated November 28, 2011, shall be used.

98. INFILTRATION TRENCHES: The following requirements apply to the proposed infiltration trenches:

    a. Prior to completion of the Final Stormwater Control Plan, a geotechnical engineer shall review the design of the infiltration trenches and retaining walls along the portion of the road within the property boundary and determine whether additional structural supports are needed to ensure stability of the road and the adjacent hillside during the wet season.
    b. The assumed infiltration rate of 1.33 in/hour shall be verified with actual site-specific soils data prior to the Final Stormwater Control Plan for the road and development on each lot, and if the infiltration rate is lower than 0.67 in/hour, a hydrologic analysis shall be conducted to ensure that the proposed trench sizes are adequate.
    c. If the lots are to be developed individually, each lot shall provide infiltration trenches consistent with the final stormwater control plan for the project, sized based on the actual amount of impervious surface to be created on the lot.
    d. The road and infiltration trenches shall be protected from sediment generated during construction of homes on the lots. The proposed source control measures shall be indicated on the project plans.
    e. Maintenance of stormwater treatment and the infiltration trenches shall be the responsibility of the property owner and/or future property owners. A maintenance agreement shall be prepared establishing the property owner or owners' responsibility.

99. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.

100. LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D of the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3 Stormwater Handbook.

101. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

102. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

103. AIR QUALITY: To limit the project’s construction-related dust and criteria pollutant

emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:

a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
f. All vehicle speeds on unpaved surfaces shall be limited to 15 mph.
g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph.
j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

104. DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works

Department, and approved for implementation.

105. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.

106. STORM WATER MANAGEMENT PLAN: A storm water management shall be included with the grading permit application for all Group 1 and Group 2 projects as defined in the amended provisions C.3 of the Municipal Regional Stormwater NPDES Permit, Order R2-2015-0049, NPDES Permit No. CAS612008. The plan shall delineate source control measures and BMPs together with the sizing calculations. The plan shall be certified by a professional pre-qualified by the Town. In the event that the storm water measures proposed on the Planning approval differ significantly from those certified on the Building/Grading Permit, the Town may require a modification of the Planning approval prior to release of the Building Permit. The Owner, Applicant and/or Developer may elect to have the Planning submittal certified to avoid this possibility.

107. STORM WATER MANAGEMENT PLAN NOTES: The following note shall be added to the storm water management plan: “The biotreatment soil mix used in all stormwater treatment landscapes shall comply with the specifications in Attachment L of the MRP. Proof of compliance shall be submitted by the Contractor to the Town of Los Gatos a minimum of thirty (30) days prior to delivery of the material to the job site using the Biotreatment Soil Mix Supplier Certification Statement.”

108. STORM WATER MANAGEMENT PLAN CERTIFICATION: Certification from the biotreatment soils provider is required and shall be given to Engineering Division Inspection staff a minimum of thirty (30) days prior to delivery of the material to the job site. Additionally deliver tags from the soil mix shall also be provided to Engineering Division Inspection staff. Sample Certification can be found here: http://www.scvurppp-w2k.com/nd_wp.shtml?zoom_highlight=BIOTREATMENT+SOIL.

109. AGREEMENT FOR STORMWATER BEST MANAGEMENT PRACTICES INSPECTION AND MAINTENANCE OBLIGATIONS: The property owner/homeowner’s association shall enter into an agreement with the Town for maintenance of the stormwater filtration devices required to be installed on this project by the Town’s Stormwater Discharge Permit and all current amendments or modifications. The agreement shall specify that certain routine maintenance shall be performed by the property owner/homeowner’s association and shall specify device maintenance reporting requirements. The agreement shall also specify routine inspection requirements, permits and payment of

fees. The agreement shall be recorded, and a copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the release of any occupancy permits.

110. MAINTENANCE OF PRIVATE STREETS: It is the responsibility of the property owner(s)/homeowners association to implement a plan for street sweeping of paved private roads and cleaning of all storm drain inlets.

111. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

112. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Developer's expense.

113. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.

114. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

115. FUTURE STUDIES: Any post-project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the Applicant.

116. UTILITY COMPANY REVIEW: Letters from the electric, telephone, cable, and trash companies indicating that the proposed improvements and easements are acceptable shall be provided prior to the recordation of the final / parcel map.

117. ABOVE GROUND UTILITIES: The Owner, Applicant and/or Developer shall submit a seventy-five (75) percent progress printing to the Town for review of above ground utilities including backflow prevention devices, fire department connections, gas and water meters, off-street valve boxes, hydrants, site lighting, electrical/communication/cable boxes, transformers, and mail boxes. Above ground utilities shall be reviewed and approved by the Community Development Department prior to issuance of any permit.

118. PRIVATE EASEMENTS: Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the final / parcel map. A copy of the

recorded agreement(s) shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any permit.

119. PUBLIC STREET LIGHTING: Public street lighting will not be required/allowed per General Plan update and Hillside designation. On-lot lighting shall be incorporated and promoted.

120. PERCOLATION TESTING: Onsite percolation testing should be performed during the design phase to validate the fractured bedrock infiltration rates and support the infiltration trench design.

121. STORMWATER FACILITY SIZING: The treatment and hydromodification management facility sizing should be confirmed during the design phase, including rerunning the BAHM model with appropriate parameters.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

122. FIRE APPARATUS (ENGINE) ACCESS ROAD REQUIRED: In all cases, the minimum requirements are found in the currently adopted edition of the California Fire Code Sec. 503, as amplified in the SCCFD SD&S A-1. All such roadways shall be a minimum of 20 feet in width, a minimum vertical clearance of 13’6”, maximum grade of 15%, with a minimum circulating outside radius of 42’. All such roadways shall be capable of supporting a maximum imposed load of 75,000 pounds and where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17.

123. WILDLAND-URBAN INTERFACE: This project is located within the designated Wildland-Urban Interface Fire Area. The building construction shall comply with the provisions of Section R327 of the California Residential Code or the California Building Code (CBC) Chapter 7A., as applicable. Note that vegetation clearance shall be in compliance with CBC Section 701A.3.2.4 prior to project final approval. Check with the Planning Department for related landscape plan requirements.

124. FIRE HYDRANT(S) AVAILABLE: The number of fire hydrants available to a complex or subdivision shall not be less than that determined by spacing requirements listed in CFC Table C105.1 when applied to fire apparatus access roads and perimeter public streets from which fire operations could be conducted. Existing fire hydrants on public streets are allowed to be considered as available. The average spacing between fire hydrants shall not exceed that listed in Table C105. Hydrants shall be a maximum of 500 feet from each other, as measured along the curb line. Fire protection water supplies shall be subject to approval by the Santa Clara County Fire Department and shall comply with

locally adopted Standards and CFC Sec. 507.

125. TURNING RADIUS (CUL-DE-SACS): The minimum outside turning radius is 36 feet. Use of cul-de-sacs is not acceptable where it is determined by the Fire Department that Ladder Truck access is required, unless greater turning radius is provided. Cul-de-sacs diameters shall be no less than 72 feet. CFC Sec. 503.

126. EMERGENCY ACCESS/DRIVEWAYS: The minimum clear width of fire department access roads shall be 20 feet. Modifications to the design or width of a fire access road, or additional access road(s) may be required when the Fire Code official determines that access to the site or a portion thereof may become compromised due to emergency operations or nearby natural or manmade hazards (floor prone areas, railway crossings, bridge failures, hazardous material-related incidents, etc.). The vertical clearance shall be in accordance with the Fire Code, 13 feet, 6 inches.

127. FIRE DEPARTMENT (ENGINE) DRIVEWAY TURNAROUND REQUIRED: Provide an approved fire department engine driveway turnaround with a minimum radius of 36 feet outside and 23 feet inside. Maximum grade in any direction shall be a maximum of 5 percent. Installations shall conform with Fire Department Standard Details and Specifications D-1. CFC Sec. 503.

128. CONSTRUCTION FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

SECTION VII

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the ___ day of _____ 2026, and adopted by the following vote as an Ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on the ___ day of _____ 2026, and becomes effective 30 days after it is adopted. In lieu of publication of the full text of the Ordinance within fifteen (15) days after its passage, a summary of the Ordinance may be published at least five (5) days prior to and fifteen (15) days after adoption by the Town Council and a certified copy shall be posted in the office of the Town Clerk, pursuant to GC 36933(c)(1).

COUNCIL MEMBERS:
AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: _____

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: _____

S:\PLANNING COMMISSION REPORTS\2026\01-14-2026\Item X - 16300 Greenridge Ter\Attachment X - Draft PD Ordinance.doc

This Page Intentionally Left Blank

Draft Ordinance: subject to modification by Town Council based on deliberations and direction

DRAFT ORDINANCE

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING THE ZONING CODE EFFECTING A ZONE CHANGE FROM HR-2½:PD (HILLSIDE RESIDENTIAL, TWO AND ONE-HALF TO 10 ACRES FOR EACH DWELLING UNIT, PLANNED DEVELOPMENT) TO HR-1 (HILLSIDE RESIDENTIAL, ONE TO FIVE ACRES FOR EACH DWELLING UNIT) FOR A PORTION OF PROPERTY LOCATED AT 16084 GREENRIDGE TERRACE.

WHEREAS, the applicant requests approval to change the zoning from HR-2½:PD (Hillside Residential, two and one-half to 10 acres for each dwelling unit, planned development) to HR-1 (Hillside Residential, one to five acres for each dwelling unit) for a portion of property being added to 16084 Greenridge Terrace through approval of Lot Line Adjustment application M-25-006 between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) as shown in Exhibit A; and

WHEREAS, the Planning Commission recommended approval of the zone change at its regularly noticed public hearing on January 14, 2026, finding that the HR-1 (Hillside Residential, one to five acres for each dwelling unit) zoning is consistent with the zoning of property at 16084 Greenridge Terrace and the neighboring properties; and

WHEREAS, this matter was regularly noticed in conformance with State and Town law and came before the Town Council for public hearing on _____, 2026; and

WHEREAS, the Town Council accepted the report of the Planning Commission's recommendation of approval for the proposed zone change; and

WHEREAS, the Town Council considered all facts and information related to a request to change the zoning from HR-2½:PD (Hillside Residential, two and one-half to 10 acres for each dwelling unit, planned development) to HR-1 (Hillside Residential, one to five acres for each dwelling unit) for a portion of property being added to 16084 Greenridge Terrace through approval of Lot Line Adjustment application M-25-006 between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) as shown on Exhibit A.

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES HEREBY ORDAIN AS FOLLOWS:

SECTION I. Legislative Findings.

A. With regard to CEQA, there is no possibility that this project will have a significant impact on the environment; therefore, the project is not subject to the California Environmental Quality Act, Section 15061 (b)(3), in that it can be seen with certainty that there is no possibility that the proposed zone change will have a significant effect on the environment, because the project does not include any physical development.

B. With regard to required consistency with the Town's General Plan, the zone change is consistent with the General Plan and its Elements, including but not limited to Goals LU-1, LU-6, and CD-14, and Policies LU-6.1, LU-6.4, LU-6.5, CD-14.1, and CD-14.2.

SECTION II. Zone Change.

The Town Code of the Town of Los Gatos is hereby amended to change the zoning from HR-2½:PD (Hillside Residential, two and one-half to 10 acres for each dwelling unit, planned development) to HR-1 (Hillside Residential, one to five acres for each dwelling unit) for a portion of property being added to 16084 Greenridge Terrace through approval of Lot Line Adjustment application M-25-006 between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) as shown on
Exhibit A.

SECTION III. Severability.

In the event that a court of competent jurisdiction holds any Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance unconstitutional, preempted, or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The Town hereby declares that it would have adopted each Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more Sections, subsections, paragraphs,

sentences, clauses, or phrases in this Ordinance might be declared unconstitutional, preempted, or otherwise invalid.

SECTION IV. Publication.

In accordance with Section 36937 of the Government Code of the State of California, this Ordinance takes effect 30 days from the date of its passage. The Town Council hereby directs the Town Clerk to cause this Ordinance or a summary thereof to be published or posted in accordance with Section 36933 of the Government Code of the State of California.

SECTION V. Effective Date.

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the ___ day of _____ 2026, and adopted by the Town Council of the Town of Los Gatos on the ____ day of _____ 2026, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

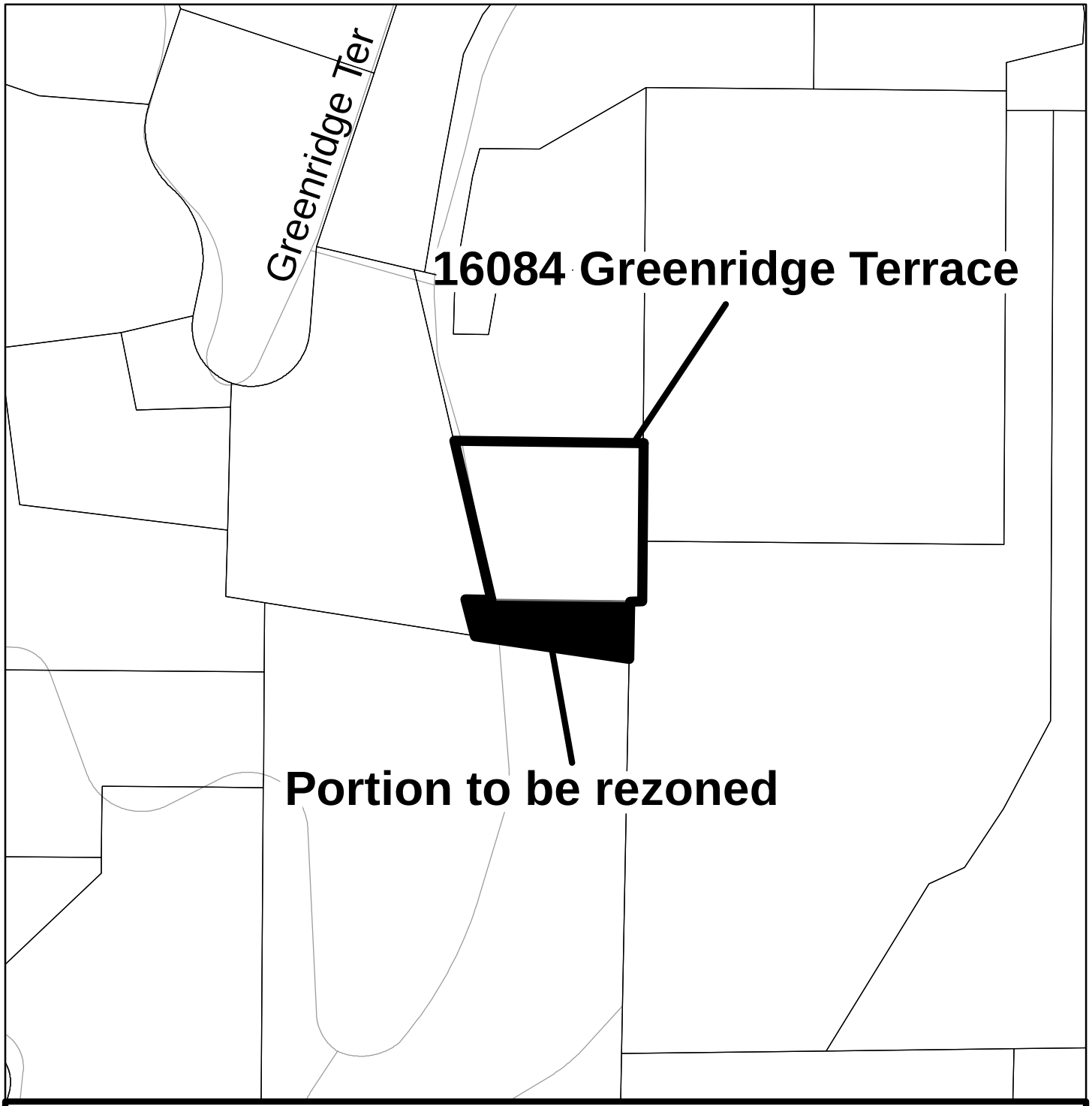
DATE: _____

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: _____

This Page
Intentionally
Left Blank



TOWN OF LOS GATOS

Application No. Z-25-001 **A.P.N. #** 527-12-004

Change of zoning map amending the Town Zoning Ordinance.

☒ **Zone Change** **From: HR2-1/2:PD** **To: HR-1**

☐ **Prezoning**

N

Forwarded by Planning Commission **Date:**

Approved by Town Council **Date:** **Ord:**

Clerk Administrator **Mayor**

EXHIBIT A

This Page Intentionally Left Blank

Draft Resolution to be modified by Town Council deliberations and direction.

RESOLUTION 2026-

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS APPROVING LOT LINE ADJUSTMENT APPLICATION M-25-006 TO ADJUST COMMON PROPERTY LINES BETWEEN 16300 GREENRIDGE TERRACE, 16084 GREENRIDGE TERRACE, AND 240 LA TERRA COURT.

WHEREAS, the applicant requests approval of Lot Line Adjustment application M-25-006 to adjust the common lot line between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) and to adjust the common lot line between 16300 Greenridge Terrace and 240 La Terra Court (Santa Clara County Assessor Parcel Numbers 527-12-003 and 527-12-004) as shown in Exhibit A; and

WHEREAS, the Planning Commission recommended approval of Lot Line Adjustment application M-25-006 at its regularly noticed public hearing on January 14, 2026, making the required findings and determinations; and

WHEREAS, this matter was regularly noticed in conformance with State and Town law and came before the Town Council for public hearing on _____, 2026; and

WHEREAS, the Town Council accepted the report of the Planning Commission's recommendation of approval for the proposed Lot Line Adjustment; and

WHEREAS, the Town Council considered all facts and information related to a request to adjust the common lot line between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) and to adjust the common lot line between 16300 Greenridge Terrace and 240 La Terra Court (Santa Clara County Assessor Parcel Numbers 527-12-003 and 527-12-004) as shown in Exhibit A.

NOW, THEREFORE, BE IT RESOLVED, that the Town Council hereby approves Lot Line Adjustment application M-25-006 to adjust the common lot line between 16084 and 16300 Greenridge Terrace (Santa Clara County Assessor Parcel Numbers 527-15-002 and 527-12-003) and to adjust the common lot line between 16300 Greenridge Terrace and 240 La Terra Court (Santa Clara County Assessor Parcel Numbers 527-12-003 and 527-12-004) as shown in Exhibit A.

Finding for the California Environmental Quality Act (CEQA):

1. The request for a Lot Line Adjustment is Statutorily Exempt from CEQA as a ministerial approval in accordance with Public Resources Code Section 21080 (b)(1) (CEQA Statute) and CEQA Guidelines Section 15268

Finding for Consistency with the Town's General Plan:

1. That the lot line adjustment is consistent with the existing goals and policies of the General Plan and its corresponding Elements, including but not limited to Goals LU-1, LU-6, and CD-14, and Policies LU-6.1, LU-6.4, LU-6.5, CD-14.1, and CD-14.2.

Determinations for compliance with the Subdivision Map Act's provisions regarding lot line adjustments as set forth in Government Code Section 66412 (d):

1. **That the lot line adjustment is between four or fewer existing adjoining parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not thereby created:**

   The lot line adjustment is between three adjoining parcels. The land taken from one parcel is being added to the adjoining parcel, and three parcels will remain as a result.

2. **That the parcels resulting from the lot line adjustment will conform to the local general plan:**

   The lot line adjustment is consistent with the existing goals and policies of the General Plan and its corresponding Elements, including but not limited to Goals LU-1, LU-6, and CD-14, and Policies LU-6.1, LU-6.4, LU-6.5, CD-14.1, and CD-14.2

3. **That the parcels resulting from the lot line adjustment will conform to any applicable specific plans:**

   The parcels resulting from the lot line adjustment will conform with the Hillside Specific Plan.

4. **That the parcels resulting from the lot line adjustment will conform to any applicable coastal plan:**

   The Town has no applicable coastal plan to which the lot line adjustment must conform.

5. **That the parcels resulting from the lot line adjustment will conform to zoning and building ordinances.**

   The three parcels resulting from the lot line adjustment will be in conformance with the Town's Zoning and Building Ordinances.

PASSED AND ADOPTED at a regular meeting of the Town Council of the Town of Los Gatos, California, held on the ___ day of _____, 2026, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

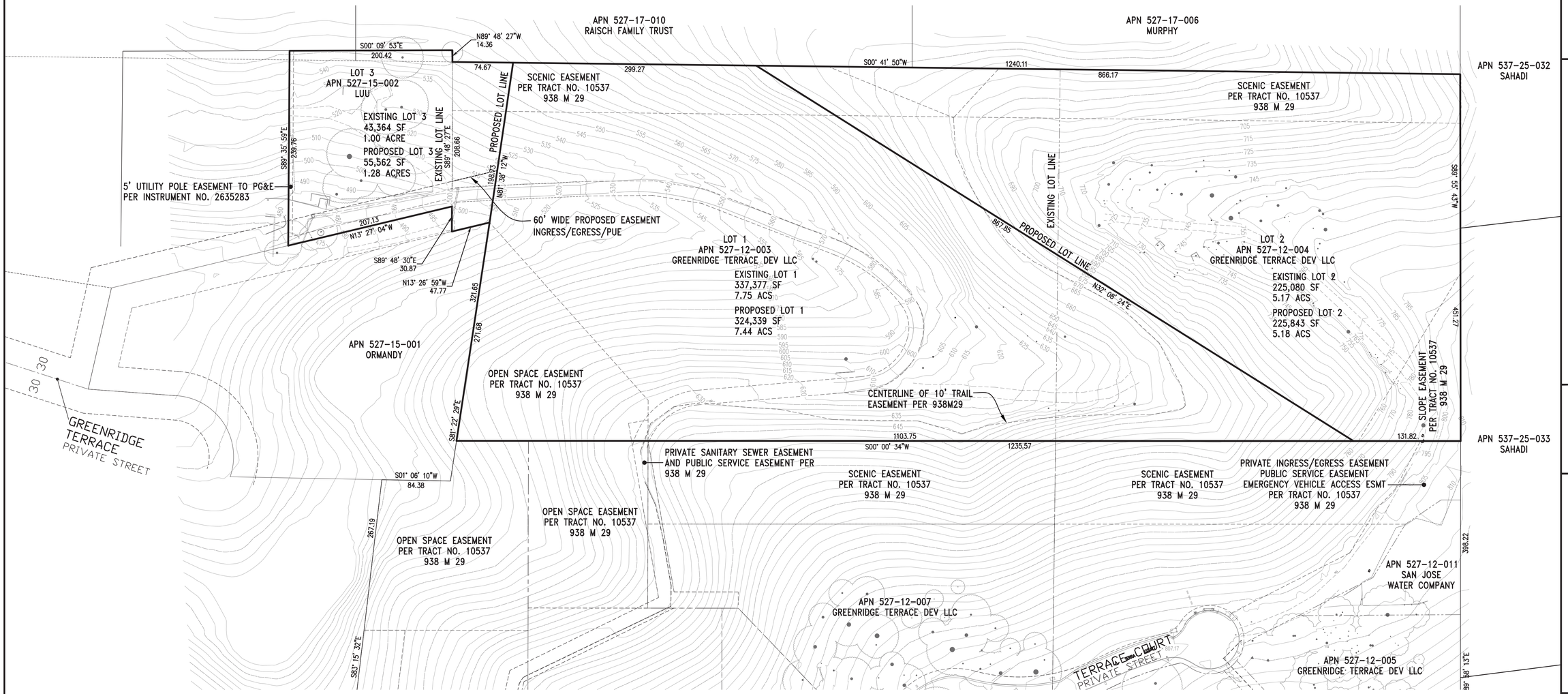
DATE: _____

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

DATE: _____

This Page Intentionally Left Blank



	EX GROSS SQ FT	NEW GROSS SQ FT	EX NET SQ FT	NEW NET SQ FT	EX AVERAGE SLOPE	NEW AVERAGE SLOPE	EX FLOOR AREA	NEW FLOOR AREA	ALLOWABLE FLOOR AREA
LOT 1	337,377	324,339	337,377	324,339	42.8%	45.2%	0	0	6,000
LOT 2	225,080	225,843	225,080	225,843	47.4%	45.4%	0	0	6,000
LOT 3	43,364	55,562	43,364	55,562	41.3%	39.4%	0	0	6,000

GRAPHIC SCALE

60 0 30 60 120 240

(IN FEET)
1 inch = 60 ft.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

DATE:	APRIL 2025
SCALE:	1"=60'
DESIGN:	XX
DRAWN:	XX
CHECK:	XX
ENGR:	XX
PROJECT NO.:	25014

LOT LINE ADJUSTMENT
LOT 1 - 16300 GREENRIDGE TERRACE
LOT 2 - 240 LA TERRA COURT
LOT 3 - 16084 GREENRIDGE TERRACE

TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

DATE	BY	REVISIONS

SHEET 1 OF 1

REV.: SEPT. 2016

EXHIBIT 10

This Page
Intentionally
Left Blank

TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT

MEETING DATE: 01/14/2026

ITEM NO: 5

DATE: January 9, 2026

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 140 Oakmont Way.** APN 424-18-023. Architecture and Site Application S-25-052. Categorically Exempt pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities. Property Owners: Marc and Marie Tagne. Applicant: Salar Safaei. Project Planner: Suray Nathan.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8 – Single-Family Residential (8,000 square feet minimum)
Applicable Plans & Standards: General Plan, Residential Design Guidelines
Parcel Size: 8,466 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential and Highway 17 right-of-way	Low Density Residential	R-1:8

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

PREPARED BY: Suray Nathan
Assistant Planner

Reviewed by: Planning Manager and Community Development Director

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations.
- The project is in compliance with the Residential Design Guidelines for single-family residences not located in the hillside area.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located in a cul-de-sac on the north side of Oakmont Way, approximately 100 feet west of Highland Oaks Drive (Exhibit 1). The 8,466-square foot property is developed with an existing 1,731-square foot single-story residence and a 740-square foot accessory dwelling unit (ADU) (Exhibit 9). Surrounding properties are developed with predominantly one-story single-family residences and a single two-story residence.

On January 14, 2025, the applicant submitted a Minor Residential Development application to construct a new second-story addition to an existing single-story residence. During the application review process, staff encouraged the applicant to reduce the floor area to avoid being the largest residence in the immediate neighborhood and to modify the exterior bulk and mass to better align with the Ranch-style residences in the cul-de-sac. In response, the applicant states in the letter of justification (Exhibit 4) that they are unable to reduce the floor area as they need the proposed square footage for their growing family.

The project meets all technical requirements of the Town Code, including height, floor area, building coverage, parking, and setbacks.

Pursuant to Section of the Town Code 29.20.480 (f) if the Planning Director determines that the application cannot be approved because it does not comply with the Town's Development Standards and the applicant is unwilling to revise the plans further, then the applicant may file an Architecture and Site application (including the required fee) and the application shall be considered by the Planning Commission. The project is being referred to the Planning Commission as an Architecture and Site application, as staff is unable to approve the proposed

residence due to concerns related to compatibility of the proposed size, bulk, and mass.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located in a cul-de-sac on the north side of Oakmont Way, approximately 100 feet west of Highland Oaks Drive (Exhibit 1). There is one existing two-story residence within the immediate neighborhood.

B. Project Summary

The applicant is proposing additions to the existing 1,731-square foot single-story residence: a 625-square foot second-story addition and a 279.6-square foot first-story addition to an existing 1,731-square foot single-story residence (Exhibit 9).

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The project meets the objective standards of the zoning code for height, floor area, building coverage, parking, and setbacks.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes to construct a new 625-square foot second-story addition to an existing one-story single-family residence. The project also includes a 279.6-square foot first-story addition to an existing 1,731-square foot single-story residence. The resulting two-story residence would be 2,636 square feet (Exhibit 9). The proposed project would comply with the Town's demolition calculation and would not be considered a new residence. Prior to this application, a 411-square foot garage was demolished and converted into a 740-square foot ADU, approved under a ministerial permit. A summary of the floor area for the proposed residence is included in the table below.

Floor Area Summary				
	Existing SF	**Addition SF**	**Proposed SF**	**Max Allowed SF**
First Floor	1,731.36	279.60	2,010.96	
Second Floor	--	625.03	625.03	
Total	**1,731.36**	**904.63**	**2,635.99**	**2,726**

The request is being considered by the Planning Commission due to concerns related to the proposed residence being the largest in the immediate neighborhood in terms of floor area and FAR, exceeding those of the next-largest residence by 327 square feet and FAR by 0.02. Additionally, while the proposed residence would not be the first two-story residence in the

immediate neighborhood, its bulk and mass is not consistent with those of the surrounding residences, as noted by the Town's Consulting Architect.

B. Neighborhood Compatibility

The immediate neighborhood consists predominantly of one-story single-family Ranch style residences. Based on Town and County records, the residences in the immediate area range in size from 1,136 to 2,309 square feet. The FAR ranges from 0.16 to 0.29. The proposed residence would be 2,636 square feet with a FAR of 0.31, making it the largest residence in the immediate neighborhood in both square footage and FAR. Pursuant to Town Code, the maximum allowable square footage for the 8,466-square foot lot is 2,726 square feet with a maximum FAR of 0.32. The table below reflects the current conditions of the immediate neighborhood:

Address	Zoning	Residence Floor Area	Garage Floor Area	Total Floor Area	Lot Size	Residence FAR	No. of Stories
140 Oakmont Way (E)	**R-1:8**	**1,731**	**0**	**1731**	**8,466**	**0.20**	**1**
140 Oakmont Way (P)	**R-1:8**	**2,636**	**0**	**2,636**	**8,466**	**0.31**	**2**
126 Highland Oak Way	R-1:8	1,695	455	445	10,800	0.16	1
130 Highland Oak Way	R-1:8	2,309	472	2,781	8,000	0.29	2
136 Oakmont Way	R-1:8	2,060	252	2,312	7,128	0.29	1
144 Oakmont Way	R-1:8	1,730	473	2,203	8,658	0.20	1
148 Oakmont Way	R-1:8	2,297	462	2,759	9,408	0.24	1
152 Oakmont Way	R-1:8	1,694	484	2,178	8,170	0.21	1
147 Highland Oak Way	R-1:8	1,136	462	1,598	6,120	0.19	1
143 Highland Oak Way	R-1:8	1,232	462	1,694	5,940	0.21	1
139 Highland Oak Way	R-1:8	1,136	462	1,598	5,940	0.19	1

The property owner's justification states that they require a larger residence for their family (Exhibit 4).

C. Building Design

The proposed residence is designed in a Spanish Modern architectural style, with an "S"-shaped Spanish-style tile roof, stucco siding, recessed windows, an arched entryway, and a wrought-iron railing at the second-story front balcony (Exhibit 9).

The Town's Consulting Architect initially reviewed the proposed residence on January 29, 2025, and was not generally supportive of the original design, stating that it did not meet many of the adopted design guidelines for neighborhood compatibility (Exhibit 5). The Consulting Architect recommended that the applicant reduce the plate and ridge height, eliminate the entry tower, and simplify the windows to meet Residential Design Guidelines 1.4, 2.1, and 2.3.

Following this review and discussion with staff, the applicant engaged a new design team and significantly redesigned the proposed residence.

The Consulting Architect provided a review of the redesigned residence on September 18, 2025 (Exhibit 6). The Consulting Architect noted that the applicant made several positive changes; however, the revised design conflicts with other residences in the immediate neighborhood.

The Consulting Architect made four recommendations to increase compatibility with the Residential Design Guidelines and the immediate neighborhood. The applicant implemented recommendations one and four; partially implemented recommendation three by recessing the window by two-inches, rather than the recommended six-inches or by applying wood trim; and did not implement recommendation two. The Consulting Architect's recommendations are provided below, followed by the applicant's response in *italics* (Exhibit 7).

1. Elimination of the two-story-tall entry form by changing the second-floor covered balcony to an open, uncovered space.

   We have modified the design of the balcony and have completely removed the roof of the balcony at the front of the residence – this will help reduce the mass. Please note we have added the Juliette Style balcony at the non-operable window above the stairs to add consistency to the style, break the mass, and ensure this wall does not appear as a two-story wall, along with the roof eaves shown below. At the proposed functional balcony as well as the Juliette balcony, we have also added curved wrought iron railings to break the mass.

2. Simplification and unification of the window forms with the addition of detail in the form of true or simulated divided panes on all windows.

   We have consulted our clients, and they prefer not to have windows that are simulated with separate windows. In order to have windows to qualify egress, we need to have separate windows that are casement style for the sleeping areas – grid lines are not added in order not to have the difficulty of cleaning these windows and maintaining a clean, seamless window installation.

3. A deep recess of all window frames from the outside face of the walls to be consistent with Residential Design Guideline 3.7.4.

   We have added recessed windows to comply. Owners do not wish to put trim around the windows.

4. Refinement and clarification of the eave details. They currently appear appropriate on the included front facade sketch, but overly bulky on the elevation drawings.

We will be installing the gutters and eaves per the design of the front façade provided – please note that there are software limitations of which we prepare the elevations with – which makes it look boxier than the intended design however, materials and installations are going to occur per the design provided in the rendering which is prepared in a more accurate aesthetic software with more accurate material representations.

D. Tree Impacts

The subject property does not contain any protected trees, and the proposed project does not impact any trees on adjacent properties.

E. Parking

Pursuant to Section 29.10.150(c)(1) of the Town Code, a single-family residence requires two on-site parking spaces. Prior to this application, the applicant converted an existing two-car garage into a 740-square-foot ADU, approved as a ministerial permit (Exhibit 9, Sheet A1.00). Pursuant to Section 29.10.320.(f)(1)(h) of the Town Code, when a garage is demolished in conjunction with the construction of an ADU or conversion to an ADU, any lost off-street parking spaces required for the primary dwelling shall not be required to be replaced. Additionally, there is no requirement to add the two required parking spaces because the proposed project complies with the Town's demolition calculation and is not considered a new residence.

F. Neighbor Outreach

The applicant has been in communication with the surrounding neighbors regarding the proposed project. A summary of their outreach efforts is included as Exhibit 8. At the time of preparation of this report, no public comment has been received.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

PUBLIC COMMENTS:

Story poles are not required for this project pursuant to the Town's Story Pole Policy (Resolution 2024-017), and project signage was installed on the subject property prior to the mailing of notices for the public hearing. Written notice was sent to property owners and residents within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for a new 625-square foot second-story addition and a 279.6-square foot first-story addition to an existing 1,731-square foot single-story residence (Exhibit 9). The project is consistent with the property's zoning and General Plan Land Use designation. The project complies with the objective standards of the Town Code related to allowable floor area, setbacks, building coverage, parking, and height. The proposed residence would be the largest residence in the immediate neighborhood in terms of floor area and FAR. The project was reviewed by the Town's Consulting Architect, who provided four recommendations to improve its consistency with the Residential Design Guidelines. The applicant responded to the Consulting Architect's feedback by implementing most of the recommendations, except for adding true or simulated divided lites and providing only two-inches of recess for all windows rather than six-inches or greater, as recommended. The project is referred to the Planning Commission due to concerns about neighborhood compatibility related to the size, bulk, and mass of the residence.

B. Recommendation

Based on the analysis above, staff recommends denial of the Architecture and Site application based on concerns related to size of the addition, neighborhood compatibility, and consistency with the Residential Design Guidelines, as discussed in this report.

C. Alternatives

Alternatively, the Commission can:

1. Approve the application by taking the following actions:
   a. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities (Exhibit 2);
   b. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
   c. Make the finding that the project complies with the Town's Residential Design Guidelines for single-family residences not located in the hillside area (Exhibit 2);
   d. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
   e. Approve Architecture and Site application S-25-052 with the conditions contained in Exhibit 3 and the development plans in Exhibit 9.
2. Approve the application with additional and/or modified conditions; or
3. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Letter of Justification
5. Consulting Architect’s Report, dated January 29, 2025
6. Consulting Architect's Report, dated September 18, 2025
7. Applicant’s Response to the Consulting Architect's Report, dated December 4, 2025
8. Summary of Applicant’s Neighborhood Outreach
9. Development Plans

140 Oakmont Way

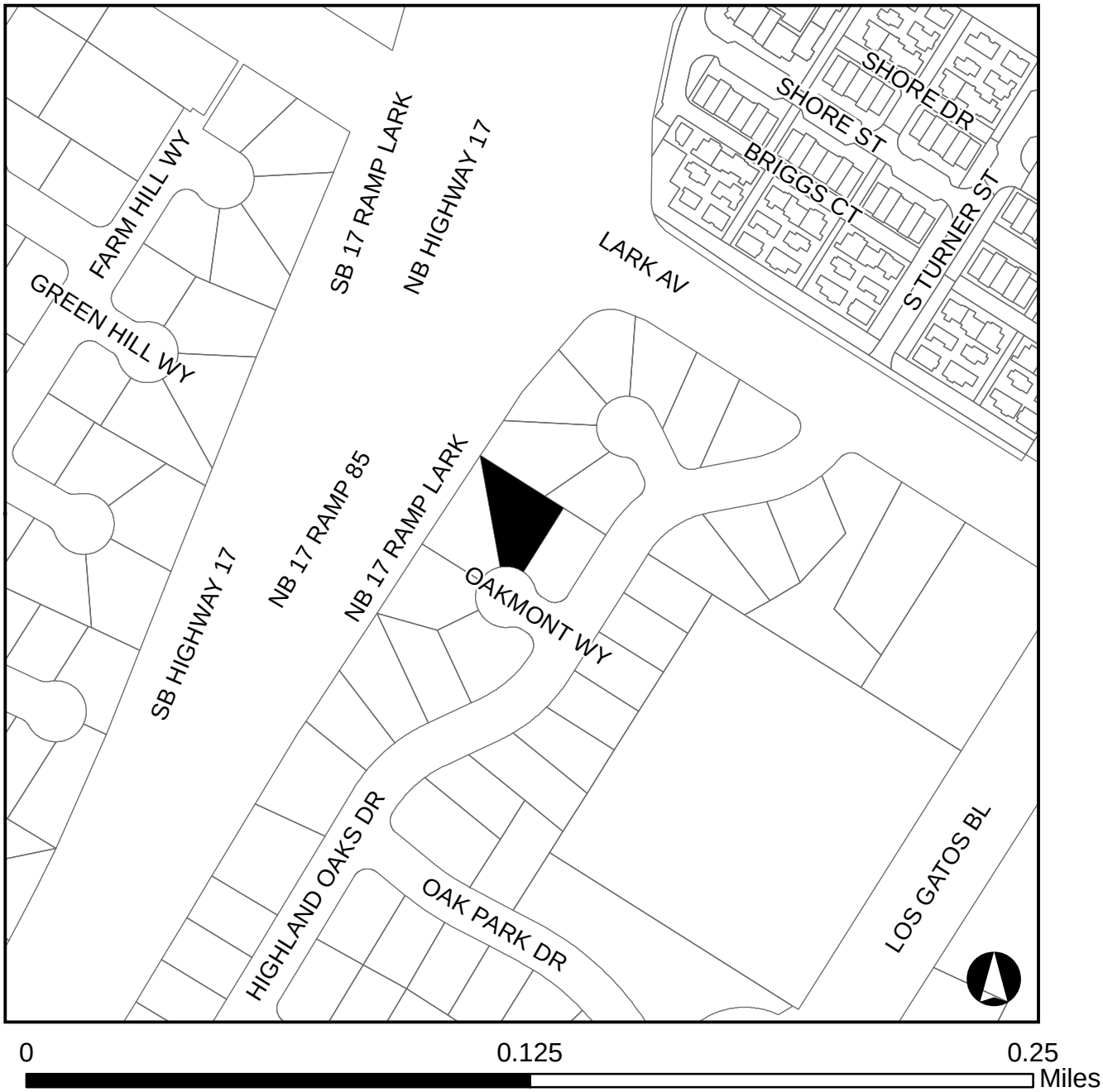


EXHIBIT 1

This Page Intentionally Left Blank

PLANNING COMMISSION – *January 14, 2026*
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

<u>140 Oakmont Way</u>
Architecture and Site Application S-25-052

Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. APN 424-18-023. Categorically Exempt Pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities.

Property Owners: Marc and Marie Tagne
Applicant: Salar Safaei

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

Required compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family residences not located in hillside areas.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

DRAFT

This Page Intentionally Left Blank

PLANNING COMMISSION – *January 14, 2026*
DRAFT CONDITIONS OF APPROVAL:

<u>140 Oakmont Way</u>
Architecture and Site Application S-25-052

Consider a Request for Approval to Construct a New Second-Story Addition to an Existing Single-Family Residence on Property Zoned R-1:8. APN 424-18-023. Categorically Exempt Pursuant to the California Environmental Quality Act, Section 15301: Existing Facilities.

Property Owners: Marc and Marie Tagne
Applicant: Salar Safaei
Project Planner: Suray Nathan

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, Development Review Committee, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. TREE FENCING: Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
8. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
9. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

DRAFT

10. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
11. DEMOLITION AFFIDAVIT: Prior to issuance of a building permit, a demolition affidavit must be submitted and signed by the property owner, project architect, project engineer and contractor.
12. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Minor Residential application.
13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

DRAFT

To the Members of the Town Planning Commission,

I am writing to respectfully request your approval for the expansion of my current home located at 140 Oakmont Way. Our family is seeking to increase the size of our residence from its current 1700 square feet to 2600 square feet. This expansion is essential to accommodate the evolving needs of our growing household.

Our family currently consists of four individuals, but our living situation is more complex than that number suggests. Our daughter is on the cusp of her teenage years, and our son will soon be ten. As children grow, their need for personal space and privacy increases significantly. Furthermore, both sets of our parents reside with us for the majority of the year, making our household effectively eight individuals for much of the time.

Our current home, with its three bedrooms and two bathrooms, is no longer adequate for the needs of our extended family. The proposed expansion would allow us to reconfigure our home to include four bedrooms and three bathrooms. This additional space will provide much-needed individual rooms for our children as they enter adolescence, as well as more comfortable and private living arrangements for our parents.

In addition to the need for personal space, my spouse and I are both working from home. This arrangement, while offering flexibility, also demands dedicated workspaces that are currently difficult to achieve in our confined living environment. The proposed expansion would allow us to create suitable home office spaces, improving our productivity and reducing disruption to family life.

We would also like to confirm that we have modified our initial plans to fully align with the recommendations provided by the Town Consulting Architect. Specifically, we have redesigned the front facade of the home to minimize bulkiness and visual impact, ensuring the expansion maintains the aesthetic integrity of our community.

We believe this expansion is a responsible and necessary step to ensure our family's comfort and well-being within our community. We are committed to ensuring that the design and construction of the expansion will be in harmony with the existing character of our neighborhood and comply with all town ordinances.

Thank you for your time and consideration of this important matter. We are available to discuss our plans further at your convenience.

Sincerely,

The Tagne Family

Person

EXHIBIT 4

This Page Intentionally Left Blank

CDG
CANNON
DESIGN
GROUP

ARCHITECTURE PLANNING URBAN DESIGN

January 29, 2025

Ms. Suray Nathan
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 140 Oakmont Way

Dear Suray:

I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

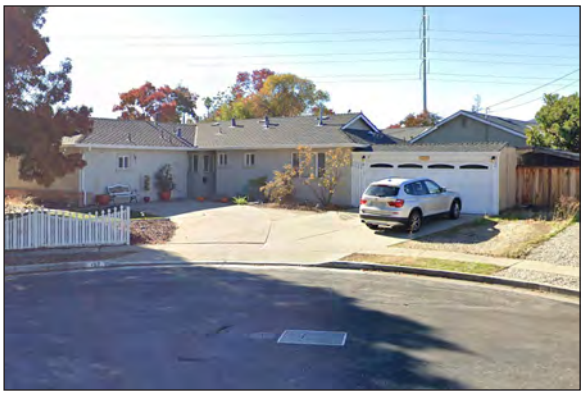
NEIGHBORHOOD CONTEXT
The site is located on a short cul-de-sac in an older neighborhood of traditional Ranch Style homes. Most nearby homes are one story in height but there are a couple of homes with partial second floors. Photos of the site and its surrounding neighborhood are shown on the following page.

6729 FAIRFIELD DRIVE
SANTA ROSA, CA 95409

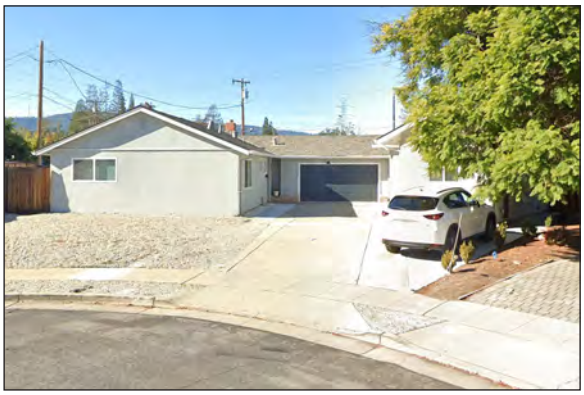
TEL: (707) 843-5747
CDGPLAN@PACBELL.NET

EXHIBIT 5

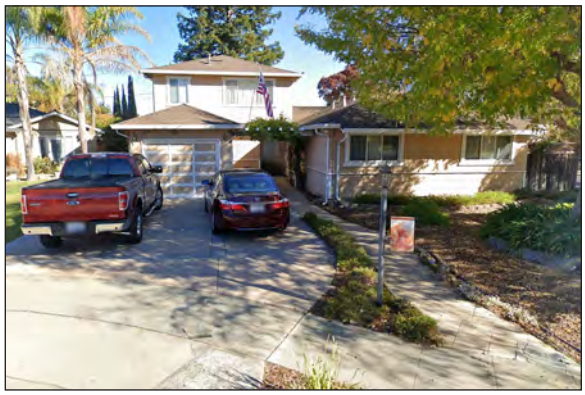
The site and existing house



Nearby home across Oakmont Way



House immediately to the left

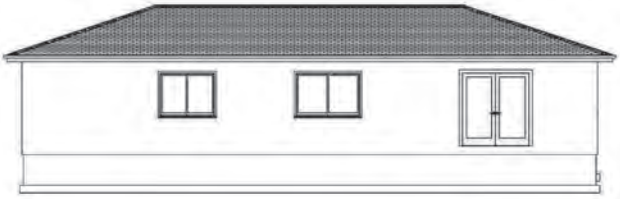


House immediately to the right

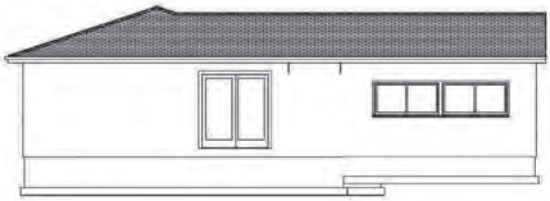
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

EXISTING HOUSE

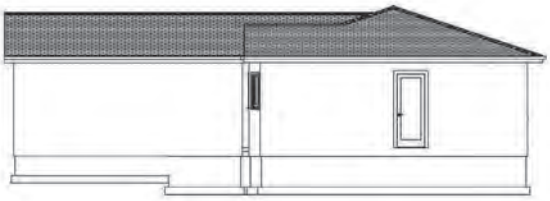
Front Elevation



Rear Elevation



Left Side Elevation

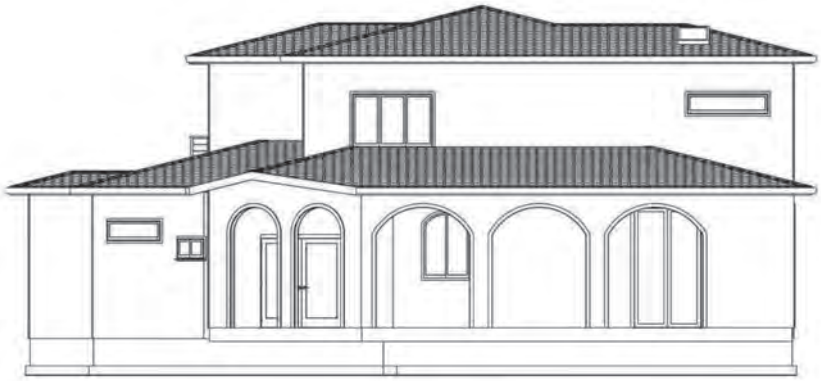


Right Side Elevation

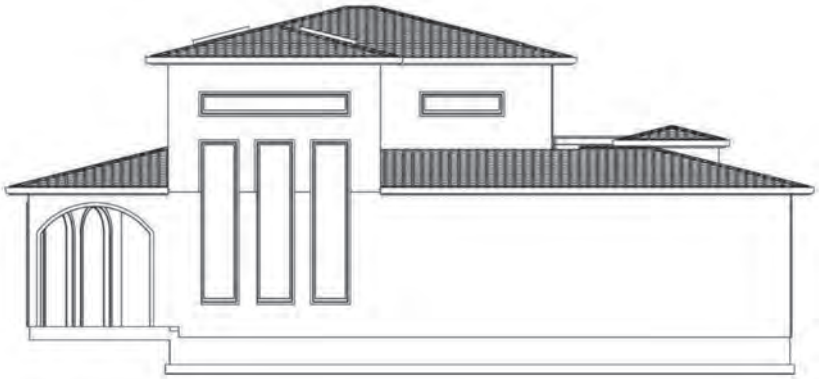
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

PROPOSED PROJECT

Front Elevation



Rear Elevation



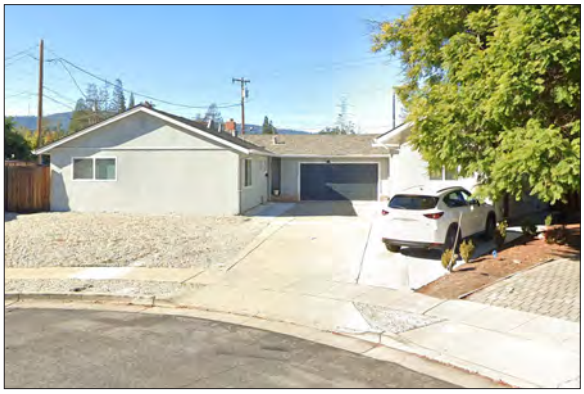
Left Side Elevation

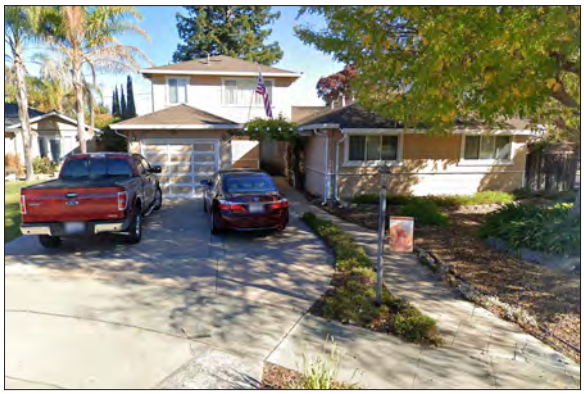
Right Side Elevation

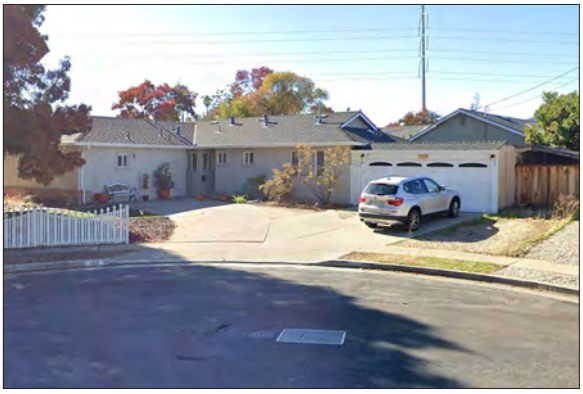
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

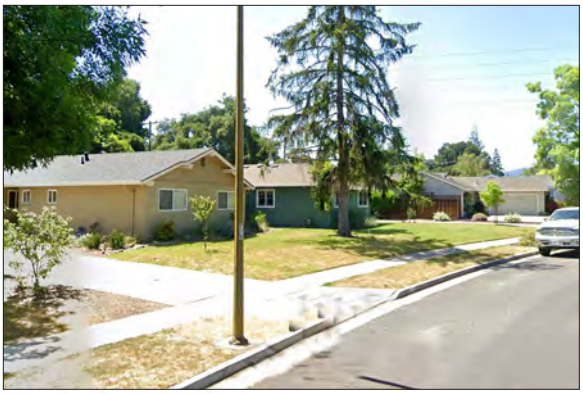
ISSUES AND CONCERNS

As noted the vast majority of nearby homes are one story in height. The proposed additions to this home would substantially transform its scale and character to one quite foreign to not only its immediate neighborhood but the extended neighborhood around it. The proposed front facade illustration and neighborhood photos below show the proposed design in comparison with nearby neighborhood homes.

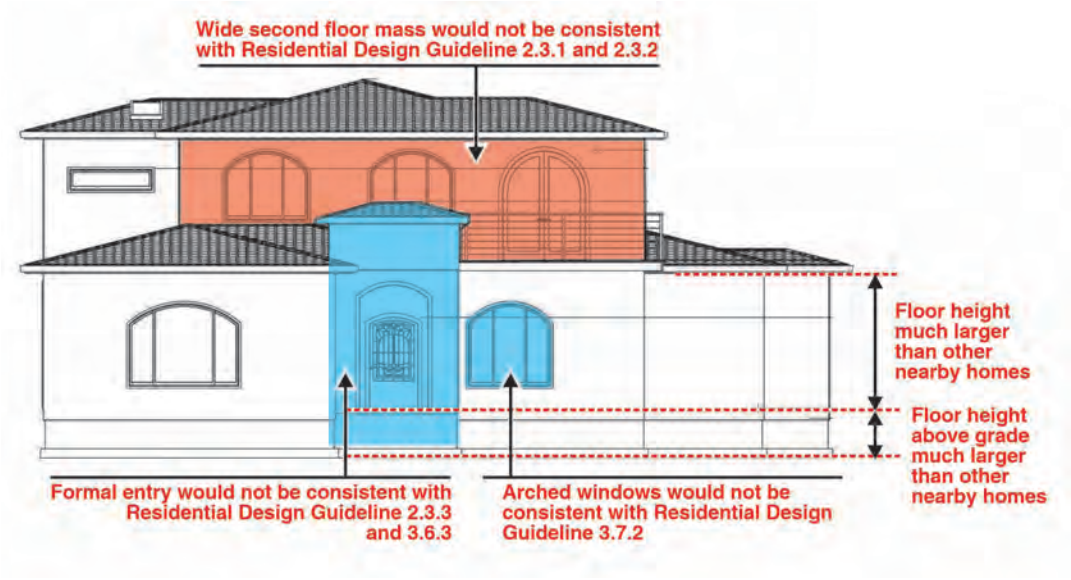








In evaluating this proposed project in the context of the town's Residential Design Guidelines, it would be difficult to conclude that it meets many of the adopted design guidelines.



Noted below are some of the guidelines where this proposed design appears to not be consistent with the Residential Design Guidelines.

1.4 COMMUNITY EXPECTATIONS

- *Homes will respect the scale and character of their immediate neighborhoods.*

GENERAL DESIGN PRINCIPLES

The following principles have been used in the development of these guidelines, and will be used by the Town to evaluate plans and designs that are not covered by a specific design guideline.

- *Design to blend into the neighborhood rather than stand out*
- *Reinforce prevailing neighborhood development patterns*
- *Relate a structure's size and bulk to those in the immediate neighborhood*

2.1 GENERAL NEIGHBORHOOD DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual Neighborhood Pattern Guidelines. In the event that the specific guidelines do not clearly address a given condition, these principles, along with the General Design Principles ... should be consulted for direction. The following principles will be used by the deciding body when evaluating projects, and when considering the acceptability of unique proposals that vary from the specific guidelines.

- *Residential development shall be similar in mass, bulk and scale to the immediate neighborhood. Consideration will be given to the existing FAR's, residential square footages and lot size in the neighborhood.*

2.3 FORM AND MASS

2.3.1 Design two story houses in predominantly one story neighborhoods to blend with the smaller homes.

2.3.2 Avoid structures with height and bulk at front and side setback lines which are significantly greater than those of the adjacent homes.

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

2.3.3 Design home entries that are sympathetic to others n the neighborhood

- *Avoid very formal entries in neighborhoods that are more informal (e.g., Ranch Style) in character.*
- *Avoid tall entries unless that is the predominant entry type in the neighborhood.*

3.1 GENERAL BUILDING DESIGN PRINCIPLES

Selected architectural styles shall be compatible with the surrounding neighborhood, acknowledging that some neighborhoods have a variety of architectural styles and that diversity contributes to the Town's unique character.

3.3.2 Height and bulk at front and side setbacks

- *Two story houses may not be appropriate for every neighborhood. For neighborhoods dominated by one story homes, an effort should be made to limit the house to one story in height or to accommodate second floor space within the roof form as is common in the Craftsman Style.*
- *Avoid eave lines and roof ridge lines that are substantially taller than the adjacent houses.*
- *Give special attention to adapting to the height and massing of adjacent homes. Avoid tall, unbroken front facades when other nearby homes have more articulated front facades with horizontal wall plane changes.*
- *Avoid monumental scaled forms (e.g., towers or turrets) that contrast with the neighborhood architectural forms.*

3.6.3 Design entries with sensitivity to the surrounding neighborhood

- *Avoid large and formal entries unless that is the norm for nearby houses. It is often best to start the design consideration with an entry type (e.g., projecting or under eave porch) that is similar to nearby homes.*

3.7.2 match window types and proportions to the architectural style and to the surrounding neighborhood

3.7.5 Special window shapes and styles should be used sparingly

- *Avoid Estate Home Style windows (e.g., tall arched windows) in neighborhoods where the homes are more modest and informal in character.*

3.7.4 Design the windows with attention to matching the traditional details of the architectural style

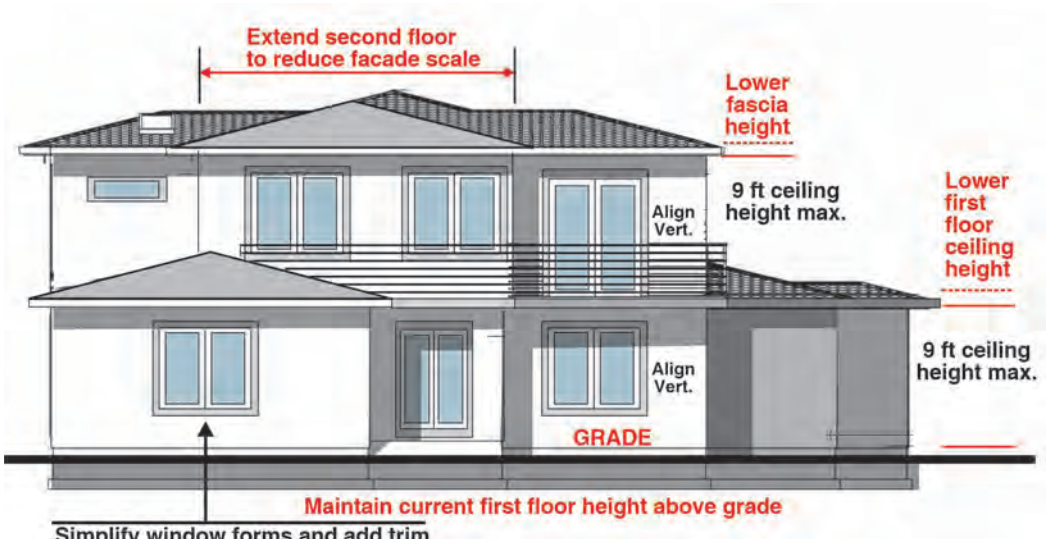
- *Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide.*
- *Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.*
- *Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.*

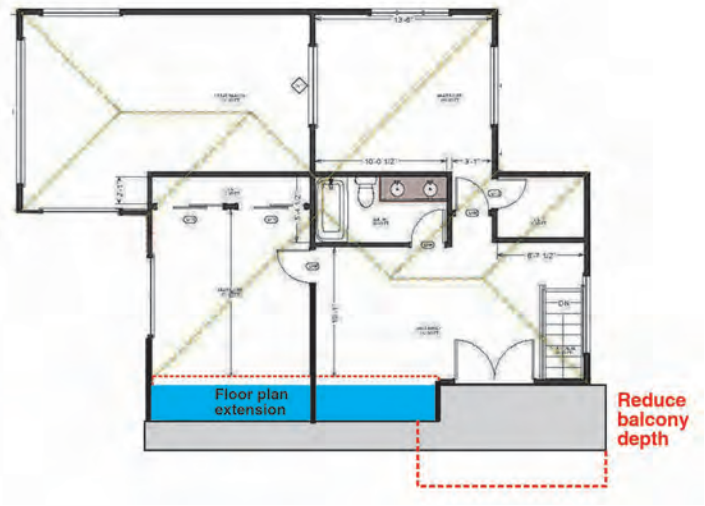
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

RECOMMENDATIONS

Building design refinements should focus on reducing the structure's scale and character to blend better with the other homes in its immediate neighborhood. Suggestions are shown below and include the following:

Currently Proposed Front Facade





CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

1. Adjust the first floor elevation related to the site grade. The drawing shown with an elevated first floor may be inaccurate since the existing house is being retained.
2. Reduce interior ceiling heights to lower eave heights.
3. Add articulation to the second floor front facade to reduce the visual scale of the second floor addition.
4. Eliminate the entry tower in favor of an entry form more similar to the nearby ranch style homes.
5. Extend balcony to enhance the entry.
6. Simplify the windows and add trim.

These suggestions may need further study and refinement by the applicant and review by staff.

Suray, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

Larry L. Cannon

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

This Page Intentionally Left Blank

CDG
CANNON
DESIGN
GROUP

ARCHITECTURE PLANNING URBAN DESIGN

September 18, 2025

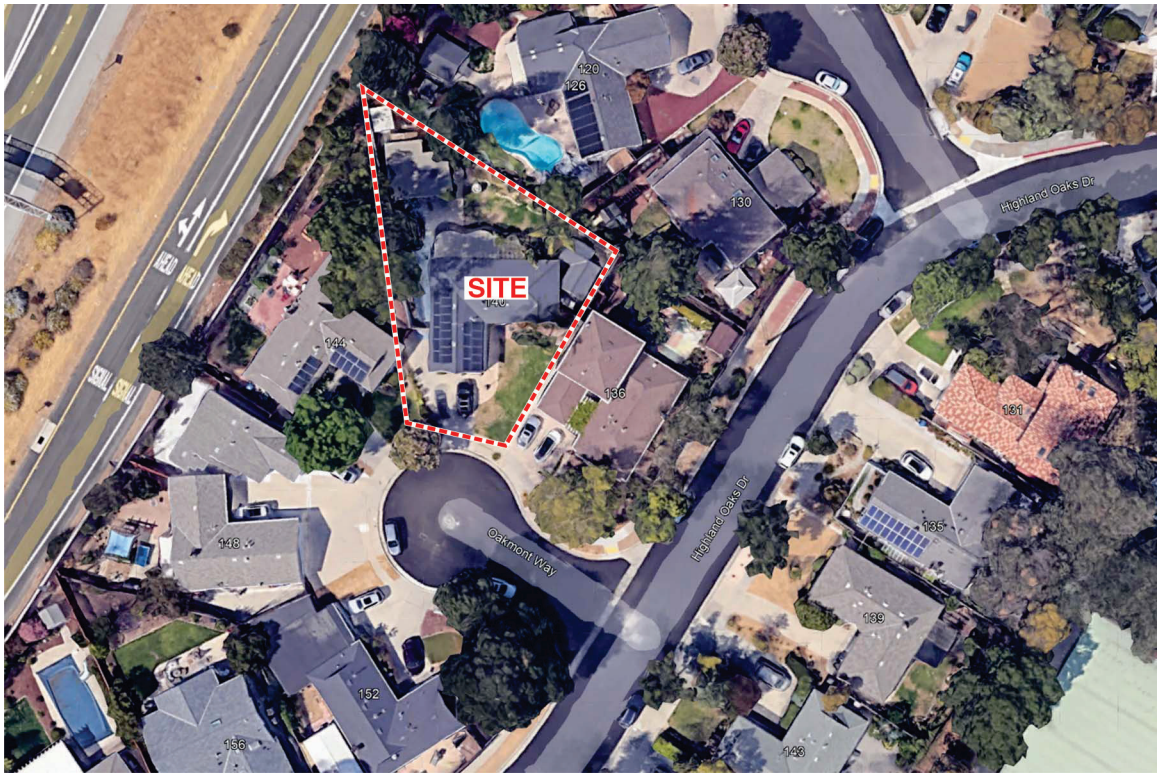
Ms. Suray Nathan
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 140 Oakmont Way

Dear Suray:

I reviewed the previous drawings, evaluated the neighborhood context and prepared a review letter in January. My comments and recommendations on the revised design are as follows:

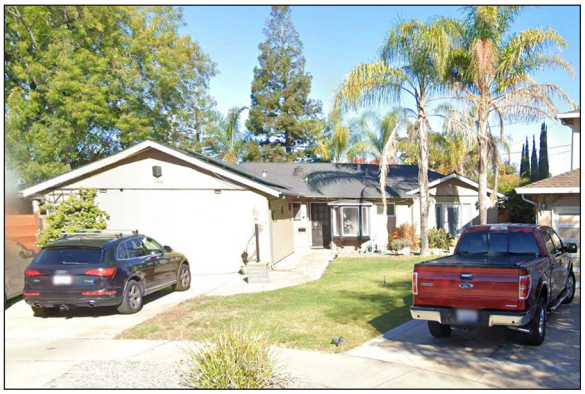
NEIGHBORHOOD CONTEXT
The site is located on a short cul-de-sac in an older neighborhood of traditional Ranch Style homes. Most nearby homes are one story in height but there are a couple of homes with partial second floors. Photos of the site and its surrounding neighborhood are shown on the following page.



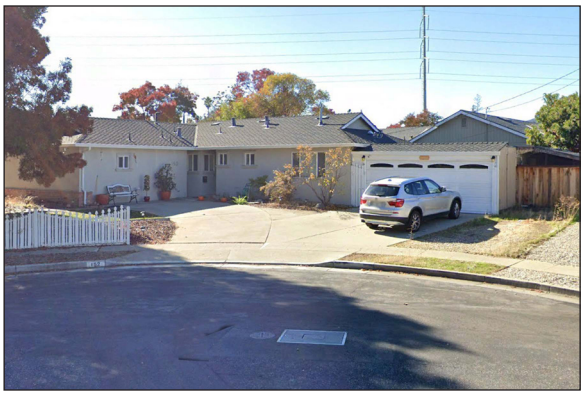
6729 FAIRFIELD DRIVE
SANTA ROSA, CA 95409

TEL: (707) 843-5747
CDGPLAN@PACBELL.NET

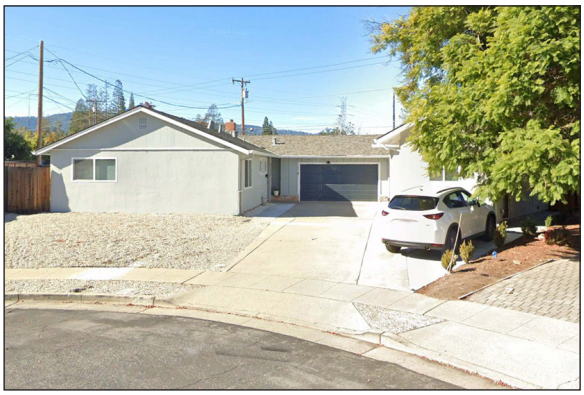
EXHIBIT 6



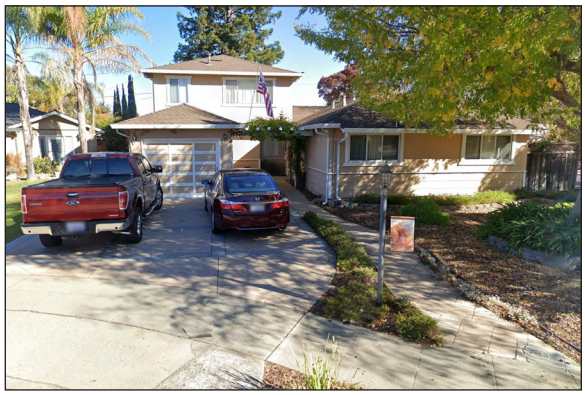
The site and existing house



Nearby home across Oakmont Way



House immediately to the left

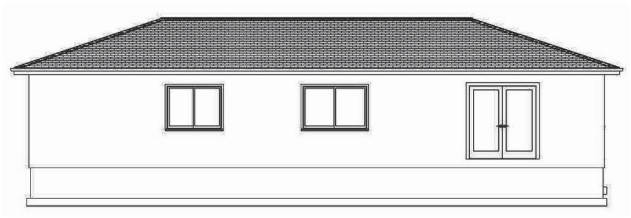


House immediately to the right

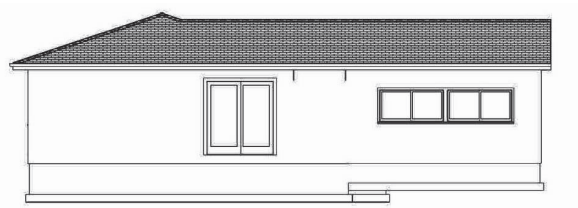
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

EXISTING HOUSE

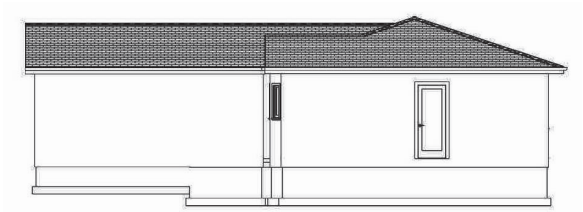
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

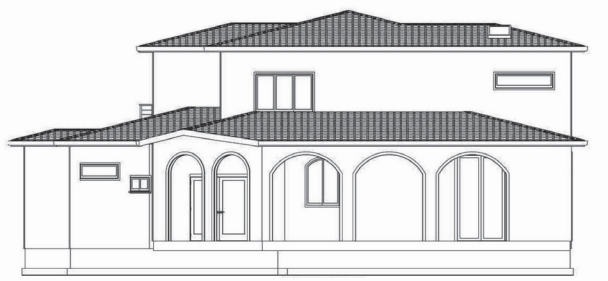
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

PROPOSED PROJECT

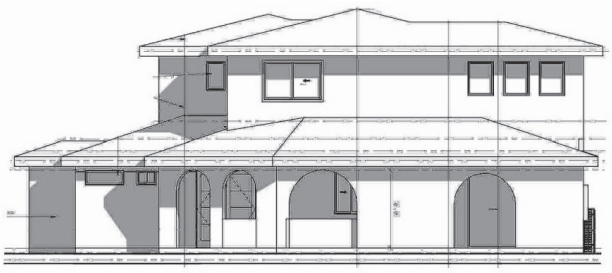
PREVIOUS DESIGN | **CURRENT DESIGN**

Front Elevation

Front Elevation



Rear Elevation

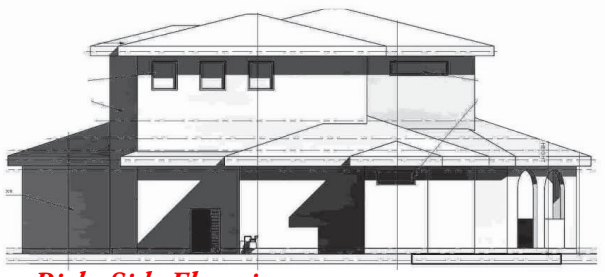


Rear Elevation

Left Side Elevation

Left Side Elevation

Right Side Elevation

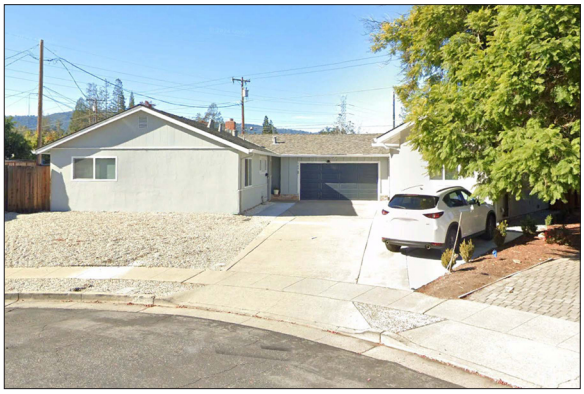


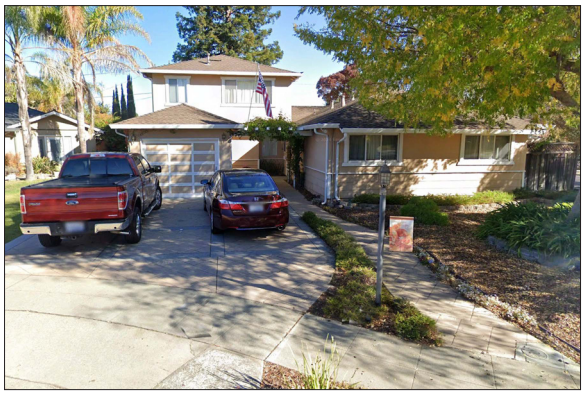
Right Side Elevation

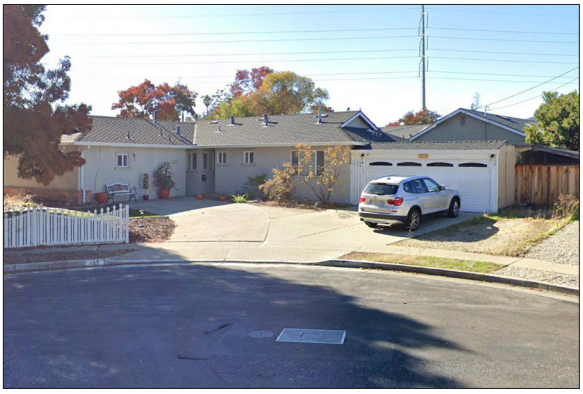
CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

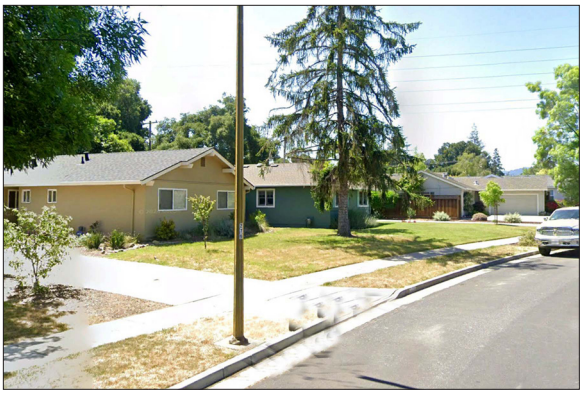
ISSUES AND CONCERNS

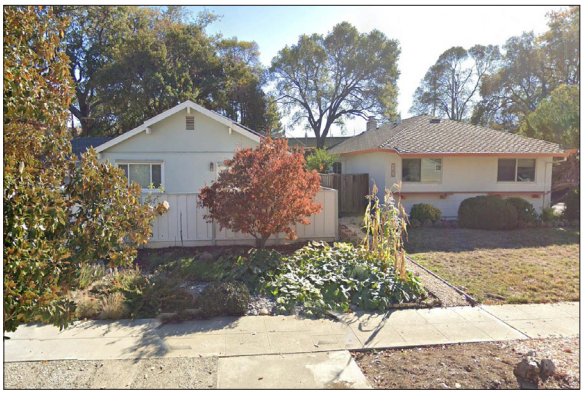
As noted the vast majority of nearby homes are one story in height. The proposed additions to this home would substantially increase its scale relative other homes in its immediate neighborhood and the extended neighborhood around it. The proposed front facade illustration and neighborhood photos below show the previous and current proposed design in comparison with nearby neighborhood homes.











In evaluating this proposed project in the context of the town's Residential Design Guidelines, it would be difficult to conclude that it fully meets the adopted design guidelines.
Noted below are some of the guidelines where this proposed design appears to not be consistent with the Residential Design Guidelines.

1.4 COMMUNITY EXPECTATIONS

- *Homes will respect the scale and character of their immediate neighborhoods.*

GENERAL DESIGN PRINCIPLES

The following principles have been used in the development of these guidelines, and will be used by the Town to evaluate plans and designs that are not covered by a specific design guideline.

- *Design to blend into the neighborhood rather than stand out*
- *Reinforce prevailing neighborhood development patterns*
- *Relate a structure's size and bulk to those in the immediate neighborhood*

2.1 GENERAL NEIGHBORHOOD DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual Neighborhood Pattern Guidelines. In the event that the specific guidelines do not clearly address a given condition, these principles, along with the General Design Principles ... should be consulted for direction. The following principles will be used by the deciding body when evaluating projects, and when considering the acceptability of unique proposals that vary from the specific guidelines.

- *Residential development shall be similar in mass, bulk and scale to the immediate neighborhood. Consideration will be given to the existing FAR's, residential square footages and lot size in the neighborhood.*

2.3 FORM AND MASS

2.3.1 Design two story houses in predominantly one story neighborhoods to blend with the smaller homes.
2.3.2 Avoid structures with height and bulk at front and side setback lines which are significantly greater than those of the adjacent homes.

2.3.3 Design home entries that are sympathetic to others in the neighborhood

- *Avoid very formal entries in neighborhoods that are more informal (e.g., Ranch Style) in character.*
- *Avoid tall entries unless that is the predominant entry type in the neighborhood.*

3.3.2 Height and bulk at front and side setbacks

- *Two story houses may not be appropriate for every neighborhood. For neighborhoods dominated by one story homes, an effort should be made to limit the house to one story in height or to accommodate second floor space within the roof form as is common in the Craftsman Style.*
- *Avoid eave lines and roof ridge lines that are substantially taller than the adjacent houses.*
- *Avoid monumental scaled forms (e.g., towers or turrets) that contrast with the neighborhood architectural forms.*

3.6.3 Design entries with sensitivity to the surrounding neighborhood

- *Avoid large and formal entries unless that is the norm for nearby houses. It is often best to start the design consideration with an entry type (e.g., projecting or under eave porch) that is similar to nearby homes.*

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

3.7.2 match window types and proportions to the architectural style and to the surrounding neighborhood

3.7.5 Special window shapes and styles should be used sparingly

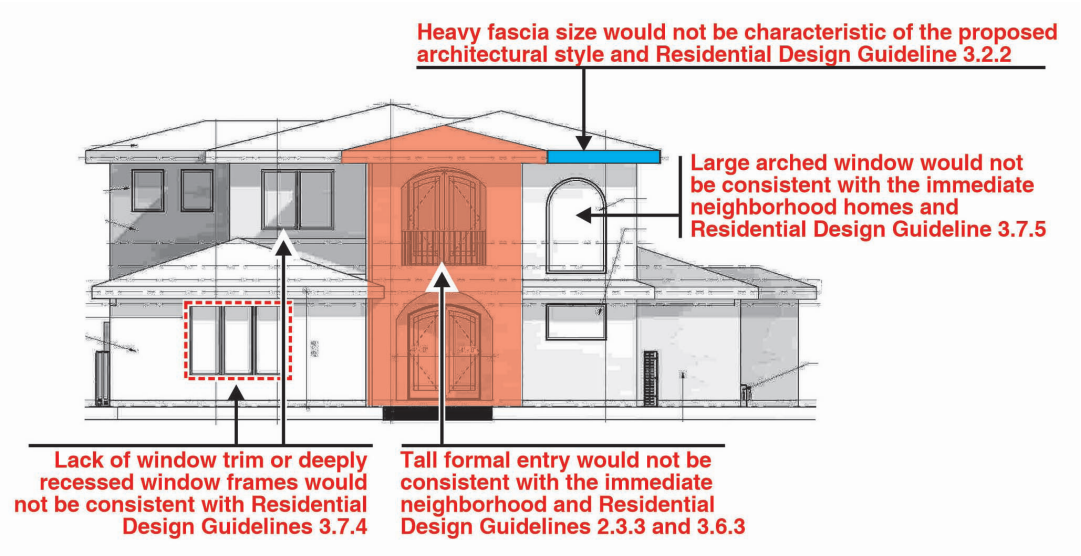
- *Avoid Estate Home Style windows (e.g., tall arched windows) in neighborhoods where the homes are more modest and informal in character.*

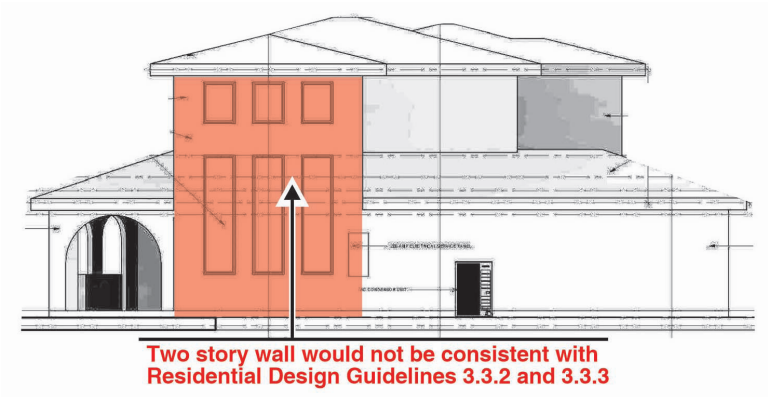
3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- *Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide.*
- *Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.*
- ***Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged. [Emphasis added].***

CHANGES MADE

Several positive changes have been made in response to the previous review letter and recommendations but there are a few specific design conditions which are still not consistent with the Town's Residential Design Guidelines.





CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

RECOMMENDATIONS

Building design refinements should focus on reducing the scale of the tall entry to blend better with the other homes in its immediate neighborhood, addressing other inconsistencies with the Residential Design Guidelines and refining the design details. I looked at a variety of refinements with the goal of maintaining the current floor plans and minimizing exterior form changes. Three possible refinements are shown on the following pages. They are basically the same with variations on the home entry.

All three facade alternatives include the following features:

1. Elimination of the two story tall entry form by changing the second floor covered balcony to an open uncovered space.
2. Simplification and unification of the window forms with the addition of detail in the form of true or simulated divided panes on all widows - see illustration below.

True
Divided Lites

Simulated
Divided Lites

3. A deep recess of all windows frames from the outside face of the walls to be consistent with Residential Design Guideline 3.7.4.

Windows recess example

4. Refinement and clarification of the eave details. They currently appear appropriate on the included front facade sketch but overly bulky on the elevation drawings.

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

These suggested alternative approached for review by the applicant and staff are as shown below.

Currently Proposed Facade

Alternative A

The second floor covered balcony portion of the entry is replaced by an open balcony as is common in this architectural style. It would retain the essence of the applicant's proposed entry while reducing its visual height and bulk.

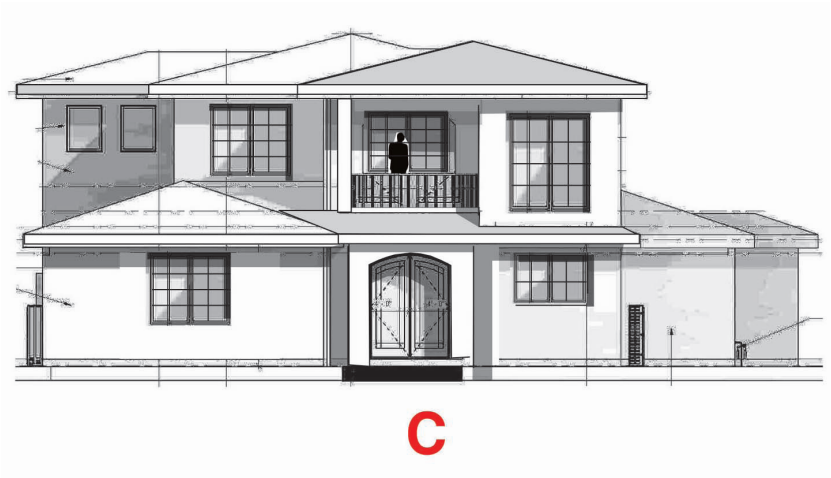
Alternative B

The second alternative would be similar to Alternaitve A by maintaining the basic design of the facade while extending the eave and roof over the entry in conformance with Residential Design Guideline 3.6.3. It would still provide an emphasis on the entry while simplifying its form to be more compatible with other homes in the immediate neighborhood.

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

Alternative C

This alternative provides an entry-under-the-eave as shown in Alternative B but retains the applicant's originally proposed arched entry opening.



Should the applicant wish to enhance the originally proposed Spanish Architectural Style of the home, consideration should be given to enhancing the detail of the second level balcony railing as is common with that architectural style - some examples are shown below.

Suray, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

Larry L. Cannon

CANNON DESIGN GROUP 6729 FAIRFIELD DRIVE SANTA ROSA, CA 95409

140 Oakmont Way – S-25-052

Architect Recommendation:

1. Elimination of the two-story-tall entry form by changing the second-floor covered balcony to an open, uncovered space.
   We have modified the design of the balcony and have completely removed the roof of the balcony at the front of the residence – this will help reduce the mass. Please note we have added kept the Julliette Style balcony at the non-operable window above the stairs to add consistency to the style, break the mass and ensure this wall does not appear as a two story wall along with the roof eaves shown below –
   At the proposed functional balcony as well as the Juliette balcony we have also added curved wrought iron railing to break the mass
2. Simplification and unification of the window forms with the addition of detail in the form of true or simulated divided panes on all windows.
   We have consulted our clients, and they prefer not to have windows that are simulated with separate windows. In order to have windows to qualify egress, we need to have separate windows that are casement style for the sleeping areas – grid lines are not added in order not to have the difficulty of cleaning these windows and maintaining a clean, seamless window installation.
3. A deep recess of all window frames from the outside face of the walls to be consistent with Residential Design Guideline 3.7.4.
   We have added recessed windows to comply. Owners do not wish to put trim around the windows.
4. Refinement and clarification of the eave details. They currently appear appropriate on the included front facade sketch, but overly bulky on the elevation drawings.
   Noted – we will be installing the gutters and eaves per the design of the front façade provided – please note that there are software limitations of which we prepare the elevations with – which makes it look boxier than the intended design however, materials and installations are going to occur per the design provided in the rendering which is prepared in a more accurate aesthetic software with more accurate material representations

EXHIBIT 7

This Page Intentionally Left Blank

140 Oakmont Way - Neighbor outreach

Gmail [redacted]

Re: 4230 - 140 Oakmont Way - MAIN HOUSE PLANS

[redacted] Fri, Apr 18, 2025 at 9:37 PM

Below is the memo from the conversation about the 140 Oakmont remodel :

140 Oakmont way remodel discussion. Per the city last comments, I led a discussion with the neighbors listed in the table below. During the discussion I highlighted the following 2 architectural elements of the plan :

- The arch doors and windows
- The 10' eaves

None of the neighbors objected or showed any concerns about these architectural elements.

Neighbors	***Address***	***Discussion***	***When***
Priyank and Shilpa Jain	[redacted]	Yes	9/2/2024
John Nikhil and Aranha CHeryl	[redacted]	Yes	9/2/2024
Kwan Kimberly Y/Paul	[redacted]	Yes	9/2/2024
Occupant (Kim/Paul)	[redacted]	Yes	9/2/2024
Vanam Kalyan	[redacted]	Yes	2/8/2025
Marc/MarieTagne	[redacted]	Yes	9/3/2024
Wang Soo Mei Maria/Chou Yuan Chun	[redacted]	Yes	2/8/2025
Zhang Jing / Zhu Peichao	[redacted]	Yes	2/8/2025
Occupant	[redacted]	Yes	2/8/2025
Kingsley Christopher & Wang YunWei	[redacted]	Yes	2/8/2025
Occupant	[redacted]	Yes	2/8/2025
Kennedy Judith Marie	[redacted]	Yes	2/8/2025
Ye Xiaodong & Fang Ziejie	[redacted]	Yes	2/8/2025

EXHIBIT 8

This Page Intentionally Left Blank

140 Oakmont Way, Los Gatos, CA 95032

140 OAKMONT WAY

BUILDING PERMIT APPLICATION

10.30.2025

EXHIBIT 9

3D PERSPECTIVE VIEW

CONCEPTUAL RENDERING

VICINITY MAP

ABBREVIATIONS

&	AND	M.D.F	MEDIUM DENSITY F BERBOARD
(E)	EXIST NG	MACH.	MACH NE
(N)	NEW	MAX.	MAX MUM
@	AT	MECH.	MECHANICAL
		MEZZ.	MEZZANINE
AC	A R CONDITIONING	MFG.	MANUFACTURER
ADD.	ADDENDUM	MGR.	MANAGER
AFF	ABOVE FINISHED FLOOR	MIN.	MIN MUM
ARCH.	ARCHITECT OR ARCHITECTURAL	MISC.	MISCELLANEOUS
		MTD.	MOUNTED METAL
BD	BOARD	MTL	METAL
BLDG.	BUILDING		
B.O.	BOTTOM OF	N	NORTH
B.O.H.	BACK OF HOUSE	N.T.S.	NOT TO SCALE
BULL.	BULLETIN	N/A	NOT APPLICABLE
		N/C	NOT IN CONTRACT
C.L.	CENTER LINE	O.C.	ON CENTER
C.O.	CLEAN OUT	O.D.	OUTS DE DIAMETER
CLG.	CEIL NG	O/	OVER
CLR.	CLEAR	OPP.	OPPOSITE
CMU.	CONCRETE MASONRY UNIT		
COL.	COLUMN	PART.	PARTITION
CONC.	CONCRETE	P.J	PROJECT
CONT.	CONT NUED OR CONT NUOUS	PLUMB.	PLUMBING
COORD.	COORDINATE	PLYWD.	PLYWOOD
CORR.	CORRIDOR		
CTR.	CENTER	R	RADIUS
		R.C.P.	REFLECTED CE LING PLAN
DEMO.	DEMOLITION	REF.	REFERENCE
DF	DR NKING FOUNTAIN	REQ'D	REQUIRED
DIA.	DIAMETER	REV.	REVISION
DIM.	DIMENSION	RM.	ROOM
DTL.	DETA L		
DR.	DOOR	S	SOUTH
DWG(S).	DRAWING(S)	S.C.	SUSPENDED CEILING
		S.F.	SQUARE FEET
E	EAST	S.S.	STA NLESS STEEL
ELEC.	ELECTRICAL	SCH.	SCHEDULE
ELEV.	ELEVATION	SECT.	SECTION
EQ.	EQUAL	SHT.	SHEET
ETC.	ETCETERA	SIM.	SIM LAR
		SPEC.	SPECIFICATION (S)
F.T.	F RE TREATED	SQ.	SQUARE
FF.	FLOOR FINISH	SSD	SEE STRUCTURAL DRAW NGS
F N.	F NISH OR F NISHED	STD.	STANDARD (S)
FIXT.	FIXTURE	STL.	STEEL
FLR.	FLOOR	STOR.	STORAGE
FT.	FOOT / FEET	STRUCT.	STRUCTURE OR STRUCTURAL
GA.	GAUGE	SUSP.	SUSPENDED
GALV.	GALVANIZED		
GEN.	GENERAL	T & G.	TONGUE AND GROOVE
G.W.B.	GYPSUM BOARD	TBD	TO BE DETERMINED
GYP.	GYPSUM	T.O.	TOP OF
		TEL.	TELEPHONE
H.C.	HANDICAPPED OR HOLLOW CORE	TEMP.	TEMPERED OR TEMPORARY
H.M.	HOLLOW METAL	TYP.	TYPICAL
H.V.A.C.	HEAT NG, VENT LATION & AIR COND.	U.B.C.	UN FORM BUILDING CODE
HDWR.	HARDWARE	U.S.	UNDER S DE
HR.	HOUR	UON	UNLESS OTHERWISE NOTED
HT.	HEIGHT	UC	UNDER COUNTER
IN.	INCH(ES)	VCT	VINYL COMPOSITION TILE
INT.	INTERIOR	VIF	VERIFY N F ELD
L.L.	LANDLORD OR LEASELINE	VEST.	VESTIBULE
LAV.	LAVATORY		
LBS.	POUNDS		

PROJECT DESCRIPTION

1.NEW 280.10 SQ FT 1ST FLOOR ADDITION
2.NEW 764.07 SQ FT 2ND FLOOR ADDITION (1113.51 SF WITH OPEN TO BELOW SPACE)
3.REMODEL EXISTING HOUSE
4.NEW ELECTRICAL, MECHANICAL & PLUMBING
5. NEW FRONT PORCH
6. NEW COVERED REAR PORCH

PROJECT DIRECTORY

OWNER
MARC TAGNE
140 OAKMONT WAY
[redacted] CA 95032
[redacted]

DESIGNER
SAFAEI DESIGN GROUP
SALAR SAFAEI
127 KELTON AVE
SAN CARLOS, CA 94070
T: 415[redacted]
E: SALAR@SAFAEIDESIGN.COM

GENERAL CONTRACTOR
BAY BUILDERS & REMODELING INC
800 CHARCOT AVE SUITE 100
SAN JOSE, CA 95131
(408) 216-7516
TAL@BAYBUILDERS.COM
LICENSE #: 1012789
CLASS: B
EXP: 04/30/2026

DRAWING INDEX

ARCHITECTURAL

A0	COVERSHEET
A0.01	PROJECT DATA
A0.03	NOTES
A1.00	SITE PLAN (E) AS BU LT
A1.01	SITE PLAN (P) PROPOSED
A1.02	SITE PLAN - AFFECTED SITES
A1.03	STREETSCAPE ELEVATION
A1.04	SITE PLAN / SHADOW STUDY
A1.05	SITE PLAN / AREA PLAN
A2.11	EXIST NG FLOOR PLAN (D)
A2.12	(D) FLOOR PLAN
A2.12.1	(D) TECHNICAL DEMOLITION
A2.13	(P) FLOOR PLAN
A2.14	(P) SECOND FLOOR PLAN
A2.15	(E) (P) OVERLAY
A2.16	FLOOR AREA DIAGRAM
A2.17	ROOF PLAN (P)
A3.01	(E) & (P) PROPOSED ELEVATIONS (FRONT)
A3.02	(E) & (P) PROPOSED ELEVATIONS (LEFT)
A3.03	(E) & (P) PROPOSED ELEVATIONS (RIGHT)
A3.04	(E) & (P) PROPOSED ELEVATIONS (REAR)
A3.10	PROPOSED SECTIONS
A3.11	PROPOSED SECTIONS
A3.12	PROPOSED SECTIONS
A4.0	REFLECTED CE LING PLANS
A5.1	DOORS & W NDOW SCHEDULE

PLOT PLAN

PROJECT DATA

LEGAL INFORMATION

ADDRESS:	Marc Tagne, 140 Oakmont Way, Los Gatos, CA 95032
PARCEL NUMBER:	424-18-023
ZON NG CODE	R-1 8
OCCUPANCY:	R-3/U
DESCRIPTION:	NEW 1ST & 2ND STORY ADDITION, WHOLE HOUSE REMODEL
APPLICABLE CODES 2022:	CBC, CFC, CPC, CMC CRC CEC CAL GREEN LOS GATOS MUNICIPAL CODE ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS MA N HOUSE AND ADU:	NO
YEAR BUILT	1957

APPLICABLE CODE
2022 CALIFORNIA RES DENTIAL CODE
2022 CALIFORNIA BU LD NG CODE
2022 CALIFORNIA PLUMB NG CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARD CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA ENERGY CODE & STANDARDS
2022 CALIFORNIA FIRE CODE
LOS GATOS MUNICIPAL CODE
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

UNDER SEPARATE PERMIT:

EXISTING

PARCEL:	8,466 SQ FT
1ST FLOOR:	1731.36 SQ FT
ADU:	740 SQ FT - ADU IS PROCESSED UNDER A SEPARATE PERMIT B24-0385
(E) LOT COVERAGE:	20.01%
(E) FAR:	20.01%
PARK NG SPACES:	2

PROPOSED

1ST FLOOR ADDITION:	279.60 SQ FT
2ND FLOOR ADDITION:	625.03 SQ FT
(P) F RST FLOOR TOTAL	2010.96 SF
(P) TOTAL BUILT AREA	2636.99 SF
REAR COVERED PORCH:	413.20 SF
FRONT COVERED PORCH:	37.10 SF.
TOTAL COVEREAGE:	2010.96+ 413.20 + 37.10 SF = 2,461.27 SF
(E) LOT COVERAGE:	(E) 29.07% NOTE: FAL & FAR DOES NOT INCLUDE EXISTING ADU
(P) FAR:	31.1%

NOTES

A.BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.

B.DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.4

C.ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4

D."PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504."

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: SDG
Checked By: SS

Scale
12" = 1'-0"

Sheet Title
PROJECT DATA

Sheet No.
A0.01

11/10/2025 11:40:02 PM

GENERAL NOTES

1. THE CONTRACTOR IS HEREBY SPECIFICALLY D RECTED AS A CONDITION OF THE CONTRACT TO ACQUA NT H MSELF/HERSELF WITH THE ARTICLES CONTA NED IN THE GENERAL NOTES AND TO NOT FY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PART ES OF THE CONTRACT OF, AND BIND THEM TO, ITS CONDITIONS.

2. DO NOT SCALE DRAW NGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS D MENSIONS AND TYPES. DOOR AND W NDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT/DESIGNER FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT/DESIGNER SUPERSEDES OTHER PLANS.

3. THE CONTRACTOR SHALL REV EW DOCUMENTS AND VERIFY D MENSIONS AND F ELD CONDITIONS. ANY CONFLICTS OR DISCREPANCIES SHALL BE REPORTED IN WRITING THREE (3) BUSINESS DAYS BEFORE RETURN OF BID. THE GENERAL CONTRACTOR WARRANTS, BY TENDERING HIS B D, THAT WORK IS BUILDABLE AS SHOWN.

4. DRAWINGS OF BASE BUILDING CONDITIONS ARE GENERATED FROM AS-BUILT DRAWINGS AND LIMITED F ELD OBSERVATION BY THE ARCHITECT/DESIGNER. ACTUAL CONDITIONS MAY D FFER FROM THOSE SHOWN.

5. THE CONTRACTOR SHALL FILE, OBTA N AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED NSPECTIONS, AND F NAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS ARE TO BE FORWARDED TO THE PROGRAM MANAGER AND BU LD NG MANAGEMENT PRIOR TO COMMENCING WORK.

6. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTA N CERT FICATE ON OCCUPANCY.

7. THE CONTRACTOR SHALL MAINTA N FOR THE ENT RE LENGTH OF HIS/HER CONTRACT EXITS EXIT LIGHT NG F RE PROTECTIVE DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQU REMENTS AND/OR OWNER REQUIREMENTS.

8. THE CONTRACTOR SHALL BE RESPONS BLE FOR ADEQUATELY BRACING AND PROTECTING WORK DUR NG CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

9. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERM NE THE STRUCTURAL INTEGRITY OF THE BUILDING.

10. THE CONTRACTOR SHALL VER FY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO CONSTRUCTION.

11. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, NSTALL, CONNECT, ERECT, CLEAN, AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT.

12. THE CONTRACTOR SHALL COORD NATE AND SCHEDULE WORK BY OUTS DE VENDORS NCLUDING BUT NOT LIMITED TO, TELEPHONE, DATA AND "OWNER'S FORCES" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTT NG, FITTING AND PATCH NG REQU RED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY MPLIED BY THE DRAW NGS AND SPECIFICATIONS.

13. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE F RE RETARDANT TREATED WHERE REQUIRED BY LOCAL BU LD NG AND BU LD NG OWNER'S REQUIREMENT'S.

14. THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQU RED BY LOCAL, STATE AND FEDERAL CODES.

15. WORK NOT PARTICULARLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIM LAR PARTS THAT ARE DETA LED, NOTED OR SPECIFIED.

16. IN THE EVENT OF NCONSISTENC ES AMONG THE CONTRACT DOCUMENTS THE ARCHITECT/DESIGNER SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE ARCHITECT/DESIGNER SHALL NOT BE RESPONS BLE FOR THE RESULTS OF SUCH NTERPRETATIONS MADE BY OTHERS.

17. THE GENERAL CHARACTER OF DETA L WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS.

18. DRAWINGS AND DIAGRAMS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY, NOT TO BE USED FOR ANY STRUCTURAL GU DANCE OR PHYSICAL LAYOUT. N CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECT'S DRAWING SHOW NG LOCATIONS FOR MECHANICAL AND ELECTRICAL ITEMS AND APPURTENANCES SHALL TAKE PRECEDENCE.

19. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQU PMENT, CASEWORK MECHANICAL ELECTRICAL AND S MILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY NSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE NCLUDED IN THE CONTRACTOR'S PROPOSAL.

20. NO DELIVERY OF CONSTRUCTION MATERIALS OR EQU PMENT WILL BE ALLOWED BETWEEN THE HOURS OF 6:OO PM TO 8:00 AM. DELIVERY OF LARGE ITEMS CAN BE MADE AT OTHER T MES ONLY AFTER OWNER HAS BEEN GIVEN NOTICE ONE DAY N ADVANCE. ALL DELIVERIES SHOULD CLEARLY IDENT FY PROJECT NAME.

21. MAINTAIN FIRE RATING OF ALL EXISTING COLUMNS.

22. DO NOT ALTER BUILDING STRUCTURE UNLESS SPECIFICALLY D RECTED TO DO SO BY ARCHITECT OR STRUCTURAL ENG NEER.

STANDARDS AND CODES

1. GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. F THE CONTRACTOR OBSERVES THAT THE DRAW NGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOT FY THE PROJECT MANAGER AND/OR ARCHITECT/DESIGNER. NECESSARY CHANGES SHALL BE MADE N ACCORDANCE WITH THE GENERAL CONDITIONS.

2. F THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS ORDINANCES CODES RULES AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE ALL CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARIS NG THEREFROM.

3. CONFLICTS: N CASE OF CONFLICTS N THE REQUIREMENTS OF AUTHORIT ES HAV NG JURISDICTION, THE MOST RESTRICTIVE REQU REMENTS SHALL GOVERN.

4. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO N VARIOUS SECTIONS OF THE SPEC FICATIONS. IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS F CITED HERE N.

5. REPAIR AND PATCH ALL PENETRATIONS AT THROUGH RATED ASSEMBLIES.

CONTRACTOR USE OF PREMISES

1. CONSTRUCTION OPERATIONS: L MITED TO AREAS NOTED ON DRAWINGS.

2. T ME RESTRICTIONS FOR PERFORMING WORK: VER FY WITH OWNER AND LOCAL JURISDICTION.

3. CONSTRUCTION WORK MAY BE SCHEDULED TO BE PERFORMED DURING NORMAL BUS NESS HOURS ONLY (UPON APPROVAL OF THE OWNER)

4. UT LITY OUTAGES AND SHUTDOWN SHALL BE COORDINATED WITH OWNER.

5. AT ALL T MES CONDUCT OPERATIONS TO INSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC AND COMPLY WITH APPLICABLE CODES AND ORDINANCES FOR SAFETY.

6. ASSUME FULL RESPONSIB LITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.

7. PERFORM DEMOLITION WORK AND SPRINKLER WORK, CONCRETE SAW CUTT NG, PA NTING AND SIM LAR WORK CAUSING EXCESSIVE NOISE, DUST OR ODORS DISTURBING BUILD NG OCCUPANTS, OR ANY WORK DISRUPTING TENANTS OR PUBLIC TRAFFIC WHEN OWNER WILL BE MIN MALLY IMPACTED OR AT T MES AND IN SUCH A MANNER AS OTHERWISE APPROVED BY OWNER.

8. COORDINATE USE OF PREMISES FOR WORK WITH THE OWNER.

9. L MIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPEC FIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER.

OWNER FURNISHED PRODUCTS

1. PRODUCTS TO BE FURNISHED AND PA D FOR BY THE OWNER AND NSTALLED BY THE CONTRACTOR ARE NDICATED AS "OWNER SUPPL ED" N THE DRAW NGS.

2. OWNER'S RESPONSIB LIT ES FOR OWNER FURNISHED PRODUCTS:

   A) SUPPLY CONTRACTOR WITH OWNER REVIEWED PRODUCT LITERATURE.

   B) PRODUCT DATA AND SAMPLES.

   C) PAY FOR PRODUCT DELIVERY TO SITE.

   D) REVIEW DAMAGED PRODUCTS PROMPTLY WITH CONTRACTOR.

   E) SUBMIT CLA MS FOR TRANSPORTATION DAMAGE. REPLACE DAMAGED, DEFECTIVE OR DEFICIENT ITEMS.

   F) ARRANGE FOR MANUFACTURER'S WARRANTIES, NSPECTIONS AND SERVICE.

3. CONTRACTOR'S RESPONSIBILITIES FOR OWNER FURNISHED PRODUCTS:

   A) REV EW SHOP DRAW NGS, PRODUCT DATA AND SAMPLE TO ADEQUATELY ACQUAINT HIMSELF/HERSELF WITH THE SCOPE IF WORK.

   B) REV EW THE ORDER, SCHEDULE DELIVERY, RECEIVE, UNLOAD AND STORE PRODUCTS AT SITE. NSPECT FOR COMPLETENESS OR DAMAGE. IF ITEMS ARE DAMAGED, GENERAL CONTRACTOR TO NOT FY PROGRAM MANAGER AND OWNER.

   C) INSTALL AND F NISH PRODUCTS.

   D) REPLACE ANY ITEMS DAMAGED AFTER RECEIPT.

DIMENSION NOTES

1. ALL ARCHITECTURAL DIMENSIONS ARE TO FACE OF FRAM NG OR CENTERL NE OF DOOR/W NDOW, U.O N.

2. D MENSIONS ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:

   A) TO FACE OF FRAMING

   B) TO CENTER OF DOORS AND OTHER OPEN NGS

   C) TO TOP OF F NISHED FLOORS

   D) TO BOTTOM OF FRAME AT CE LINGS

   E) TO OUTS DE FACE OF F NISHED M LLWORK

3. D MENSIONS SHOWN AS V.I F. SHALL BE VER F ED BY THE CONTRACTOR IN THE F ELD. CONTRACTOR SHALL NOT FY PROJECT MANAGER AND ARCHITECT OF ANY DISCREPANCIES IN D MENSIONS PRIOR TO PROCEED NG WITH THE WORK N THAT AREA.

PARTITION NOTES

1. PARTITIONS ARE D MENSIONED FROM F NISH MATERIAL TO F NISH MATERIAL, UNLESS OTHERWISE NOTED. D MENSIONS MARKED "CLEAR" SHALL BE MA NTA NED AND SHALL ALLOW FOR THICKNESS OF F NISHES INCLUDING CERAMIC TILE, VCT, ETC.

2. D MENSIONS MARKED "CLEAR" ARE TO BE WITH N 1/8" ALONG FULL HEIGHT AND FULL W DTH OF WALLS.

3. NEW GYPSUM BOARD CONSTRUCTION ADJO NING EXIST NG CONSTRUCTION N THE SAME PLACE SHALL BE FLUSH WITH NO VIS BLE JOINTS, UNLESS OTHERWISE NOTED.

4. FOR BU LT- N WORK SURROUNDED BY PARTITION, INCLUDING BUT NOT LIMITED TO APPLIANCES AND FILES, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" N 20'-0" (NON-CUMULATIVE). NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.

CONSTRUCTION STANDARDS

1. ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF RREGULARIT ES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.

2. REPAIR AND PREPARE EXIST NG SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES.

3. CONTRACTOR TO INSURE DELIVERY AND INSTALLATION OF CASEWORK AND F NISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK.

4. ALL CODE-REQUIRED LABELS SUCH AS "UL" FACTORY MUTUAL OR ANY EQU PMENT IDENT FICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PA NTED.

5. THE CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT N A MANNER SUITABLE TO RECEIVE FINISHES.

6. COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG EQUIPMENT.

7. REFER TO FINISH SCHEDULE FOR SPEC F ED FINISHES.

8. REFER TO NTERIOR ELEVATIONS FOR MOUNT NG HEIGHT REQUIREMENTS.

BUILDING STANDARDS

1. ALL WOOD FRAM NG TO BE DOUGLAS F R #2. MIN fs 1050 PSI.

2. STANDARD STRUCTURAL ABBREVIATIONS/ SPECIFICATIONS:

   A) TJI - TRUSSJOIST AS SPECIFIED

   B) LVL - TRUSSJOIST MICROLAM LVL 1 8 E. MULTIPLE MEMBERS NA LED.

   C) LSL - TRUSSJOIST TIMBERSTRAND R M JOIST AND HEADERS.

(ALL GUIDEL NES AND/OR REQU REMENTS FOR STRUCTURAL MEMBERS SHOWN ON STRUCTURAL DRAWINGS SHALL SUPERSEDE ANY GU DEL NES OR REQUIREMENTS N THESE NOTES.)

3. INSULATION: CEIL NG BATT INSULATION

(ALL GUIDEL NES AND/OR REQU REMENTS FOR ENERGY CALCULATION SHOWN ON TITLE 24 SHALL SUPERSEDE ANY GUIDELINES OR REQU REMENTS IN THESE NOTES.)

4. ALL WINDOWS TO BE WEATHER STR PPED, DOUBLE GLAZED. FLOOR LEVEL AND SHOWER DOORS TO BE TEMPERED GLASS.

5. TUB AND SHOWER ENCLOSURES TO HAVE 1/2" CEMENT BACKER BOARD OR DENS-SH ELD GYP. BD. WITH FIXTURE PENETRATIONS SEALED.

GREEN BUILDING STANDARDS (CGBS) NOTES

1. NDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE METHODS (EFFECTIVE DATE OF 07/01/2011).
   A) WATER SAV NG FIXTURES OR FLOW RESTRICTORS.
   B) A 20% REDUCTION IN BASEL NE WATER USE SHALL BE DOCUMENTED ON THE PLAN.
   C) WHEN US NG THE CALCULATION METHOD SPEC F ED N SECTION 4 303.2, MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES.
   D) PLUMB NG FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPEC F ED PERFORMANCE REQU REMENTS OF SECTION 4.303.3
2. ANNULAR SPACES AROUND P PES, ELECTRIC CABLES, CONDUITS, OR OTHER OPEN NGS N PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOS NG SUCH OPEN NGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIM LAR METHOD PER CGBS 4.406.
3. AT THE T ME OF F NAL INSPECTION AN OPERATION AND MA NTENANCE MANUAL, ACCEPTABLE TO THE ENFORC NG AGENC,Y SHALL BE PROV DED TO THE BU LDING OCCUPANT OR OWNER PER SECTION CGBS 4.410 .
4. DUCTED OPENING AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPEN NG SHALL BE COVERED DUR NG CONSTRUCTION PER SECTION CGBS 4 504.1
5. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND L MITS PER CGBS SECTION 4 504.
6. MOISTURE CONTENT OF BUILDING MATERIALS USED N WALLS AND FLOOR FAM NG IS TO BE CHECKED FOR THE THE M N MUM REQU REMENTS BEFORE ENCLOSURE.
7. BATHROOM EXHAUST FANS WHICH EXHAUST D RECTLY FROM BATHROOMS SHALL COMPLY WITH CGBS 4 506.

a. DEVELOP A PLAN TO MANAGE STORM WATER DRA NAGE CONSTRUCTION PER CALGREEN SECTION 4.106.2
b. PLAN AND DEVELOP GRADING AND PAV NG PLAN TO KEEP SURFACE WATER AWAY FROM BU LD NG PER CALGREEN SECTION 4.106.3
c. SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN SECTION (4.408.2) (OR N ACCORDANCE WITH THE LOCAL ORDINANCE). DIVERT A M NIMUM OF 60% OF CONSTRUCTION WASTE TO CITY RECOLOGY CENTER OR SALVAGE PER SECTION (4.408.1)
d. DUCT SYSTEMS ARE SIZED AND DESIGNED WITH EQUIPMENT SELECTED PER SECTION (4.507.2). HVAC SYSTEM NSTALLERS MUST BE TRA NED, AND CERT F ED, AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUAL F ED.
e. AT PROJECT COMPLETION, PROV DE A COPY OF THE OPERATIONS AND MA NTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESS NG ITEMS 1 THROUGH 10 IN SECTION 4.410.1
f. PROTECT ANNULAR SPACES AROUND P PES, ELECTRIC CABLES & CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
g. COVER DUCT OPENINGS AND OTHER RELATED A R DISTR BUTION COMPONENT OPENING DUR NG CONSTRUCTION (4.504.2.1).
h. ADHESIVES, SEALANTS, CAULKS AND OTHER TOXIC COMPOUNDS USED DURING CONSTRUCTION SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.1).
i. PAINTS, STA NS AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS (4 504 2 2).
j. AEROSOL PA NTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR L MITS FOR ROC AND TOXIC COMPOUNDS (4 504.2.3).
k. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC L MITS (4.504.3).
l. MIN MUM 80% OF FLOOR AREA RECEIVING RESIL ENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS PER SECTIONS (4.504.4).
m. PARTICLE BOARD, MEDIUM DENSITY F BERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTEIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
n. INSTALL CAPILLARY BREAK VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS. (4 505 2)
o. CHECK MOISTURE CONTENT OF BU LD NG MATERIALS USED IN WALL AND FLOORING BEFORE ENCLOSURE (4.505 3)

MECHANICAL, ELECTRIC & PLUMBING NOTES

1. ROOMS CONTAIN NG BATHTUBS, SHOWERS, SPAS AND S MILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTED AND THE M NIMUM REQU REMENTS OF ASHRA STANDARD 62.2 ARE REQU RED AND MAXIMUM SOUND RAT NG OF 3 SONE FOR NTERMITTENT OPERATION .

2. WHOLE BUILDING VENT LATION SUMMARY TO BE SUBMITTED UNDER SEPARATE MECHANICAL PERMIT .

3. MAXIMUM FLOW RATES FOR PLUMB NG FIXTURES, AS COMMISSION SHALL BE:

   A) WATER CLOSETS 1.28 GPM
   B) KITCHEN FAUCET 1 8 GPM
   C) SHOWER HEADS 1 8 GPM
   D) LAVATORY FAUCET 1.2 GPM

4. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR PER CRC R303.1 EXCEPTION 2.

5. STAIRWAYS WITH N DWELLING UNITS AND EXTERIOR STAIRWAYS SERV NG A DWELLING UNIT SHALL HAVE AN LLUM NATION LEVEL OF NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF THE TREADS AND LAND NGS PER CRC R303.6

6. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE NSTALLED WITH N AN INDIVIDUAL UNIT THE ALARM DEVICES SHALL BE NTERCONNECTED N SUCH A MANNER THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

7. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQU RED TO BE INSTALLED WITH N THE DWELL NG UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

8. CARBON MONOX DE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH BOTH SECTION R314 & R315, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LIST NG AND APPROVAL BY THE OFFICE OF THE STATE F RE MARSHAL, FOR SMOKE ALARMS.

KEY NOTES

1. BU LT-IN SHELV NG & CABINETRY, VER FY DESIGN WITH OWNER & ARCHITECT.
2. SUNKEN SUMP PUMP COLLECTION SYSTEM FOR EXTERIOR STORMWATER COLLECTION & DISCHARGE FROM LIGHTWELL SURFACE DRA NS UP TO SURFACE DRA NAGE AND RETENTION SYSTEM SEE ALSO CIVIL PLANS.
3. (N) BATHROOM FIXTURES & F NISHES, KOHLER OR EQUAL PLUMBING. CERAMIC TILE FLOOR NG & SHOWER ENCLOSURE. VER FY ALL SELECTIONS, F NISHES, ACCESSORIES, ETC. WITH OWNER.
4. AT ALL SHOWERS AND TUBS WITH SHOWERS:
   A. WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 80" ABOVE DRA N. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT.
   B. VER FY F NISH MATERIALS, SEE INTERIOR DESIGN PLANS.
   C. NSTALL HOT-MOP SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRA N PER 2109 CPC 411.8. VER FY DRAIN LOCATION W/ OWNER.
   D. TEMPERED GLASS @ W NDOW AND SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/8" GLASS, VER FY W/ OWNER.
   E. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROV DED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIX NG OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAX MUM.
   F. ALL SHOWER COMPARTMENTS SHALL HAVE A M N MUM FINISHED INTERIOR OF 1024 SQ IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING OF 30 NCH C RCLE.
5. LAUNDRY ROOM HOOK-UPS AND CONNECTIONS, CAB NETRY & COUNTERTOPS, VERIFY SELECTIONS, APPLIANCES SPECS, ETC. PER OWNER.
6. LOWERED CEILING AT HALLWAY AND SECONDARY SPACES, FOR MECHANICAL DUCTING PATHWAYS VERIFY FINAL FINISHED CEILING HEIGHTS TO COORDINATE WITH MECHANICAL DESIGN PRIOR TO CONSTRUCTION.
7. AT SOFFIT OF USABLE SPACES BELOW STAIRS PROVIDE 5/8" TYPE "X" GYP BD. FOR ONE-HOUR F RE PROTECTION.
8. NTERIOR AND EXTERIOR STEPST NOT TO EXCEED 7.75"

CALIFORNIA ENERGY CODE REQUIREMENTS FOR NEW HOMES:
PER CEC 150(O), PROVIDE CONTINUOUS MECHANICAL WHOLE HOUSE EXHAUST OR SUPPLY VENT LATION WITH OUTS DE A R PER M NIMUM LEVELS IN TABLE 4.1A OR EQUATION 4.1A, FOR COMPLIANCE WITH ASHRE STANDARD 62 2 FOR INDOOR AIR QUALITY N LOW RISE RESIDENTIAL.
NSTALL (2) PANASONIC WHISPER GREEN PICK-A-FLOW SPEED SELECTOR WITH TOP FLOW @ 75 CFM VENTILATION FAN AT TWO LOCATIONS. SET SPEED AT 75 CFM EACH AND HAVE THEM FULLTIME OPERATED AND TO PROVIDE A LABEL AT FAN CONTROL SWITCH READ NG: "FAN TO BE LEFT ON FOR NDOOR A R QUALITY".

GENERAL NOTES:

VERIFY ALL HARDSCAPE AT LANDSCAPE LAYOUTS AND F NISHES WITH OWNER.
EXTERIOR WALLS: PAINTED SMOOTH HARDY BACKER (BOARD AND BATTEN) WITH VERTICAL PAINTED SID NG (VERIFY SELECTIONS/OPTIONS W/ OWNER) 2X6 WALL FRAMING AT EXTERIOR NSULATED WALLS FOR R-21 ENVELOPE. SEE STRUCTURAL PLANS FOR SHEAR WALL AND HOLDDOWN LOCATIONS & NA L NG.
NTERIOR WALLS - 5/8" GYP. BD. ON 2X4 STUDS @ 16"O.C. U N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL AND HOLDDOWN LOCATIONS & NAIL NG. (2X6 M N. AT PLUMB NG WALLS). 5/8" TYPE 'X' GYPSUM BOARD AT ALL GARAGE SEPARATION WALLS & CEIL NG N ENCLOSED SPACE UNDER STAIRS.
ALL W NDOWS & FRENCH DOORS TO BE WOOD FRAME, ALUMINUM CLAD, DUAL-PANE, W/ DIVIDED LIGHTS AS SHOWN ON ELEVATIONS. PROV DE TEMPERED GLASS AT ALL GLAZED DOORS AND GLAZ NG WITH N 24" OF A DOOR OR WITH N 18" OF FINISHED FLOOR. PROVIDE TEMPERED GLAZ NG AT W NDOWS AT SHOWERS AND ABOVE BATHTUBS.
FRAM NG CONTRACTOR SHALL CAREFULLY REV EW ALL ELECTRICAL, MECHANICAL & STRUCTURAL PLANS AND CONS DER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CE LING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMB NG, MIN MIZE HEADING OFF, CENTER FLOOR REGISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC.

SEE ALSO D MENSION PLAN SHEETS. ALL D MENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW/DOOR, TYP. U N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAM NG. ANY CONFLICTS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO FURTHER PROGRESS. VERIFY F NISH SELECTIONS, BASEBOARD, CE L NG TRIM, AND DOOR & W NDOW CAS NGS W/ OWNER N F ELD. PROV DE BLOCKING AS NECESSARY. VER FY PAINT AND COLOR SECTIONS W/ OWNER IN FIELD. MECHANICAL CONTRACTOR TO VER FY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. WITH FRAMING CONTRACTOR DUR NG FOUNDATION WORK, PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS CRAWLSPACES ETC. ALL UNDERGROUND AND ABOVE-GROUND WATERPROOFING & FLASHING DETA LS PER WATERPROOFING SPECIALIST SUBCONTRACTOR.

- BU LD NG ADDRESSES FOR MAIN BU LIDING & ADU SHALL COMPLY WITH SECTION R319 CRC.
- REQU RED F RE BLOCK NG TO BE NSTALLED IN LOCATIONS PER R302.11CRC.
- ALL SHOWERS DOORS TO BE M N MUM 22" W DE, AND TO SW NG OUT OF THE SHOWER STALL.
- PROVIDE 1/2 GYPSUM ON ALL WALLS AND CEIL NGS FOR ENCLOSED USABLE SPACES UNDER-STAIRS.
- ALL GUARDRA LS TO HAVE A M N MUM HEIGHT OF 42"
- **TYVEK® HOMEWRAP® - PAPER TO BE USED UNDER ALL SIDING MATERIAL**
- THE MAX MUM SPAC NG OF PICKETS IS 4" ON CENTER. THE SPACE BETWEEN THE BOTTOM RA L OF THE GUARD SHALL NOT EXCEED 4".
- BASEMENT CONSTRUCTION: ALL WOOD IN CONTACT WITH BASEMENT WALLS ARE REQUIRED TO BE PRESSURE TREATED AND PROPERLY F RE BLOCKED

HERS RAT NG VER FICATION ITEMS:
- HVAC COOLING MIN MUM A RFLOW AND FAN EFFICIENCY
- HVAC DISTR BUTION SYSTEMS & DUCT SEAL NG
- BU LD NG IAQ MECHANICAL VENT LATION CONTRACTOR TO PROVIDE EV DENCE OF THIRD PARTY VER FICATION (HERS) TO BU LDING INSPECTOR PRIOR TO FINAL NSPECTION
+ GREEN BU LD NG CODE VERIFICATION:
THIS PROJECT IS SUBJECT TO THE MANDATORY MEASURE REQU REMENTS OF THE 2019 CAL FORNIA BUILDING CODE, SEE VER FICATION CHECKLIST ON SHEET A0.20 +A0.21 TH RD PARTY VERIFICATION REQU RED FOR IMPLEMENTATION OF ALL REQUIRED MEASURES, PRIOR TO FINAL INSPECTION.
+ CONSTRUCTION SITE F RE SAFETY:
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SPEC FICATION S -7

ADDITIONAL NOTES

1. REQU RED F RE BLOCK NG TO BE NSTALLED IN LOCATIONS PER R302.11CRC.
2. NEW ADDRESS TO BE PROV DED 606-A PACO DR. TO BE ASSIGNED TO THE ADU AND POSTED VIS BLY AND CLEARLY PRIOR TO FINAL NSPECTION AND REQU RED FOR F NAL OCCUPANCY OF THE UNIT.
3. THE ADU UNIT SHALL HAVE AN NDEPENDENT ELECTRICAL SUB-PANEL, SEWER, AND WATER SUPPLY.
4. ALL NEW EXTERIOR WALLS TO BE 2X6 FRAM NG TO ALLOW THE R-19 NSULATION PER ENERGY CALCULATIONS.
5. CONTRACTOR TO PROVIDE LAND NGS OUTSIDE OF ALL EXTERIOR DOORS WITH MIN MUM W DTH OF 36". MAXIMUM STEP OUTSIDE OF THE DOOR TO BE 7-¾".
6. CONTRACTOR TO PROVIDE ½" GYPSUM BOARD TO BE INSTALLED ON THE GARAGE SIDE EXTENDING TO THE UNDERS DE OF THE ROOF SHEATH NG PER TABLE R302 6 CRC.
7. THE GARAGE DOOR BETWEEN DWELL NG UNIT TO BE A MINIMUM 1-⅜" SOL D CORE WITH A SELF CLOSER OR A 20 MINUTES MIN MUM RATED ASSEMBLY.
8. EGRESS WINDOW & DOORS - CRC 310 NOTE:ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE:
   THE BOTTOM OF THE OPEN NG SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR.
   MIN MUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20 "
   MIN MUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5 0 AT GRADE LEVEL)
   NOTE: IN ORDER TO MEET THE MIN MUM CLEAR OPEN NG OF 5.7 SQUARE FEET, EITHER THE W DTH OR HEIGHT, OR BOTH, MUST EXCEED THE M NIMUM DIMENSION (SEE FIGURE BELOW). THE NET CLEAR OPENING D MENSIONS REQU RED SHALL BE OBTA NED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE NS DE.
9. ALL NEW STUCCO INSTALLATION TO BE A M N MUM 3-COAT SYSTEM WITH (2) LAYERS OF GRADE D PAPER AND A CONT NUOUS WEEP SCREED PER SECTION R703.7CRC.
10. ADHERED VENEER TO COMPLY WITH SECTION R703.12 CRC WITH REQUIRED FLASH NG PER SECTION R70312.2CRC.
11. COOL ROOF TO BE NSTALLED AS PER TITLE 24 CALCULATIONS.

BEFORE EXCAVATION CALL U.S.A.
CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VER FICATION OF ALL EXISTING UNDERGROUND UTILIT ES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE N THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOBSITE. LOCATION AND CHARACTER OF ANY UT LIT ES IF SHOWN HERON ARE APPROXIMATE AND TAKEN FROM A COMB NATION OF SURFACE STRUCTURAL OBSERVATION AND/OR RECORDS OF THE CONTROLL NG AGENCY. KAL DESIGN GROUP DOES NOT ASSUME RESPONSIB LITY FOR THE LOCATION OF ANY EX STING UT LITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

EGRESS W NDOW & DOORS - CRC 310 NOTE:
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE:
THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR.
MIN MUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20 "
MIN MUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5 0 AT GRADE LEVEL)
NOTE: IN ORDER TO MEET THE MINIMUM CLEAR OPEN NG OF 5.7 SQUARE FEET, EITHER THE W DTH OR HEIGHT, OR BOTH, MUST EXCEED THE M NIMUM D MENSION (SEE FIGURE BELOW). THE NET CLEAR OPENING DIMENSIONS REQU RED SHALL BE OBTA NED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INS DE.
- SHOWER WALLS TO BE PROTECTED UPTO 72" PER SECTION R307 CRC.
- SAFTY GLASS REQU RED W NDOWS AND DOORS TO BE LABELED WITH SG.
R311.7.1 W DTH. STA RWAYS SHALL BE NOT LESS THAN 36 NCHES (914 MM) N CLEAR W DTH AT ALL PO NTS ABOVE THE PER- MITTED HANDRAIL HEIGHT AND BELOW THE REQU RED HEADROOM HEIGHT. HANDRA LS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER S DE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STA RWAY AT AND BELOW THE HANDRA L HEIGHT, INCLUD NG TREADS AND LAND NGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS NSTALLED ON ONE S DE AND 27 NCHES (698 MM) WHERE HANDRAILS ARE PROV DED ON BOTH S DES.
R311.7.2 HEADROOM. THE HEADROOM IN STA RWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERT - CALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
ALL HANDRAILS TO BE CONTINUOUS FOR ALL STAIRS OR STEPS WITH 4 OR MORE RISERS
R13 WALLS - W NTER DES NG U VALUE 0.101 , 1" A R GAP BETWEEN 12" CONCRETE PARAMETER PROPERLY FIRE BLOCKED ANY WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

KEY NOTES:

1. PROVIDE LANDINGS AT ALL EXTERIOR DOORS MINIMUM 36" FROM THE FACE OF THE BU LD NG WALL TO THE EDGE OF THE LANDING. AT ALL EXTERIOR DOORS PROVIDE A LAND NG WITH MAX MUM STEP 7-¾".
2. ½" GYPSUM BOARD TO BE NSTALLED ON THE GARAGE SIDE EXTENDING TO THE UNDERS DE OF THE ROOF SHEATHING PER TABLE R302 6 CRC.
3. PROPOSED SHOWER DOORS TO BE A M N. 22" WIDE & SW NG OUT OF THE SHOWER STALL.
4. THE LOCATION OF FOUNDATION VENTS SHALL BE WITHIN 36" OF THE ENDS OF FOUNDATION.
5. UNDERFLOOR ACCESS SIZE OF 18"X24"
6. SIZE OF THE ATTIC ACCESS TO BE 22"X30".ENSURE THAT THE ACCESS IS LOCATED WHERE 30" HEADROOM CAN BE PROV DED D RECTLY ABOVE THE ACCESS HOLE
7. BU LD NG PAPER INSTALLED UNDER ALL WALL SIDINGS.
8. UNDERSIDE OF THE FRONT AND REAR PORCH TO HAVE CLOSED CEILINGS. MATERIAL F NISHING MATERIAL SHALL BE PAINT GRADE WOOD PLANKS, PA NTED AND SEALED. EXTERIOR PA NT TO BE USED.
9. 1" AIRSPACE FROM THE TOP OF THE ROOF INSULATION TO THE BOTTOM OF THE ROOF SHEATHING.

P P NG MATERIAL SCHEDULE:
1. WATER: PEX
2. WASTE: ABS
3. VENTS: ABS
4. WATER CONNECTION TO THE MAIN METER: 1 5"

Safaei Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall ver fy, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: Author
Checked By: Checker

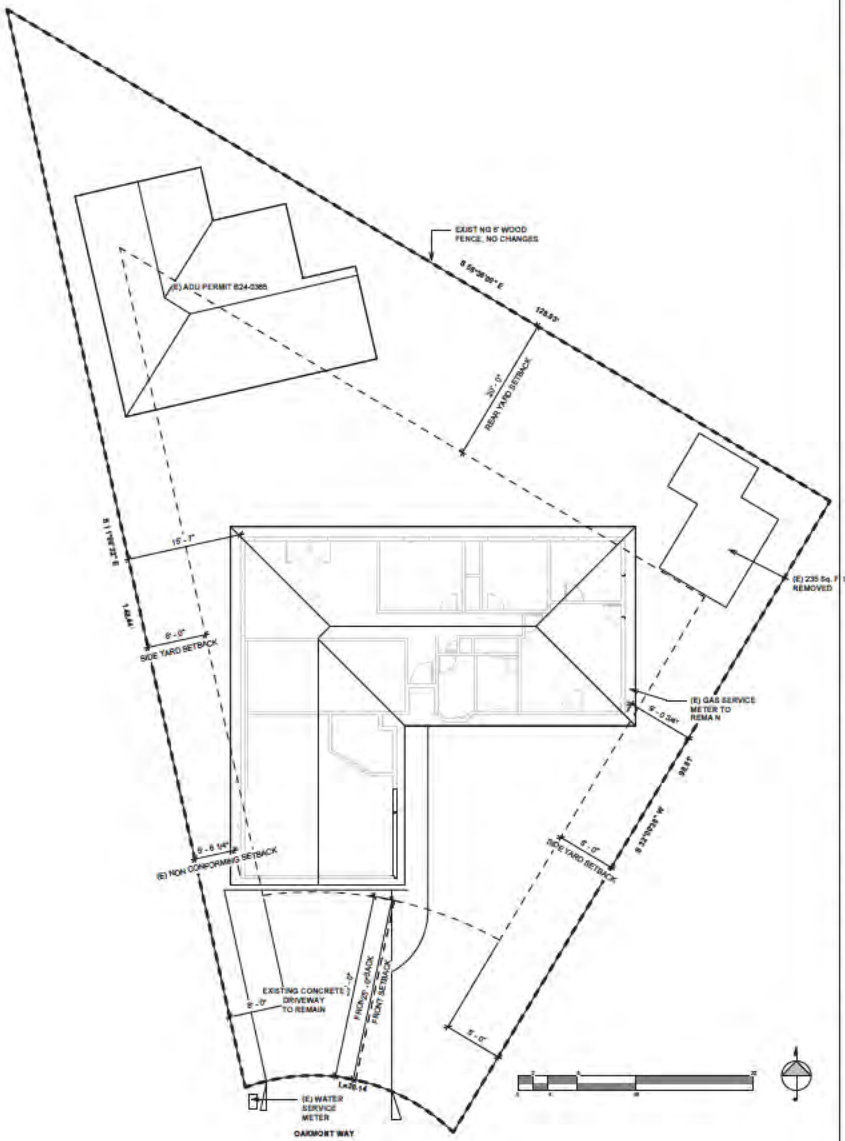
Scale

Sheet Title
NOTES

Sheet No.
A0.03

11/16/2025 11:40:03 PM

DEMOLITION CALCS			
	Existing Foot Print - (Linear Feet)	Preserved Walls	Demo Walls
1st Floor	180	112	68
2nd Floor			
Total	180	112	68
Since 112' is greater than 68', Then NO TECH DEMO			



1 SITE PLAN-(E)
1/8" = 1'-0"

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

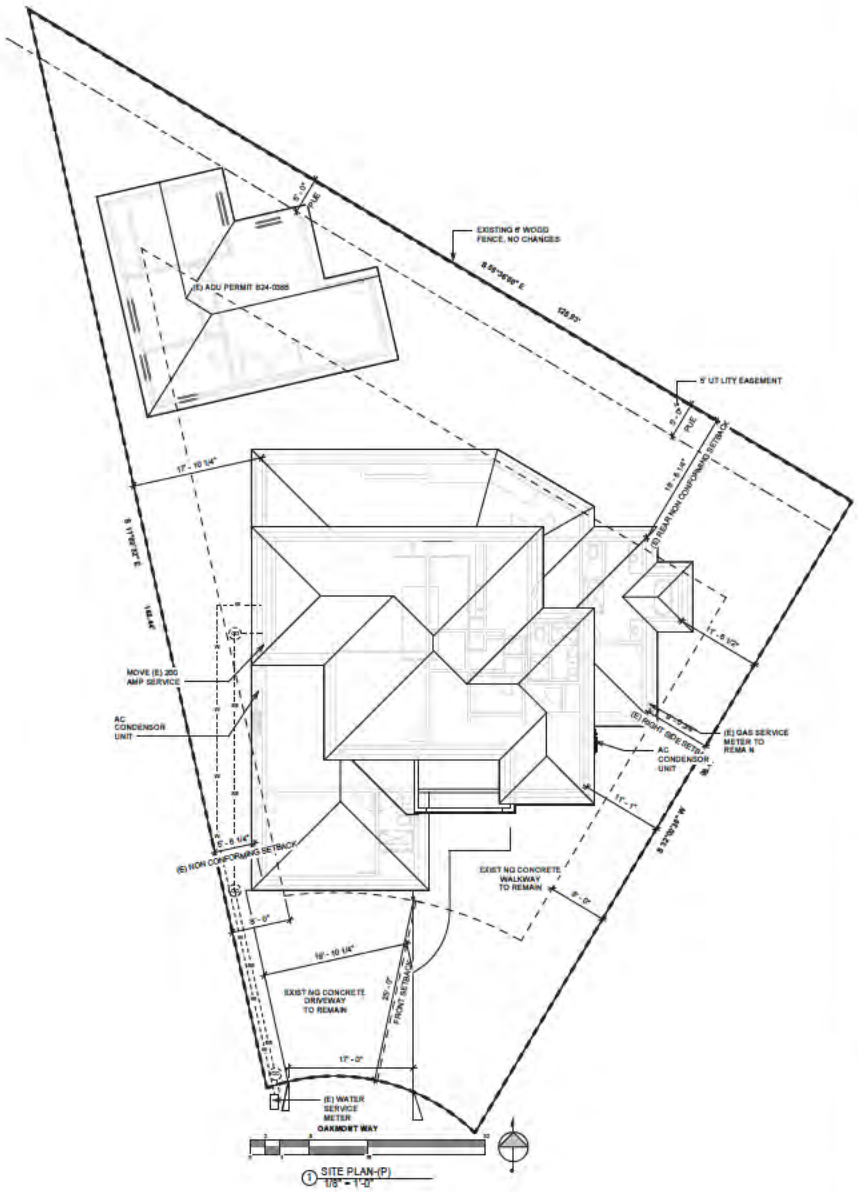
Drawn By: SDG
Checked By: SS

Scale
1/8" = 1'-0"

Sheet Title
SITE PLAN - AS BUILT

Sheet No.
A1.00

11/10/2025 11:40:04 PM



① SITE PLAN-(P)
1/8" = 1'-0"

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

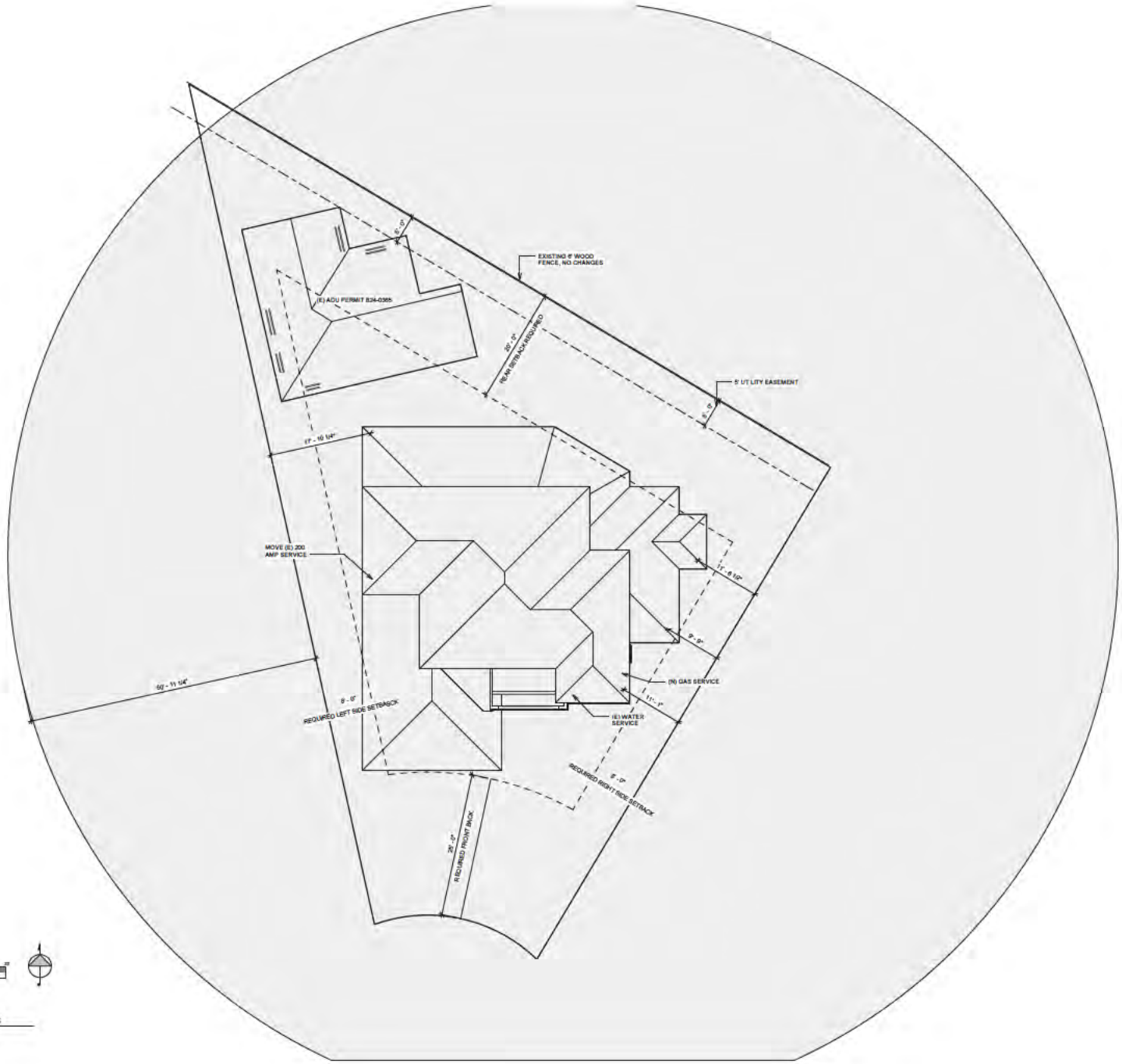
Drawn By: SDG
Checked By: SS

Scale
1/8" = 1'-0"

Sheet Title
SITE PLAN - PROPOSED

Sheet No.
A1.01

11/10/2025 11:40:05 PM



1 SITE PLAN-(P) AFFECTED PROPERTIES
1/8" = 1'-0"

11/10/2025 11:40:08 PM

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify and be responsible for all dimensions and conditions shown by these drawings. Any details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and only will be issued or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: SDG
Checked By: SS

Scale
1/8" = 1'-0"

Sheet Title
SITE PLAN - AFFECTED PROPERTIES

Sheet No.
A1.02

1 OVERLAY OF (E) HOUSE ON NEW
1/4" = 1'-0"

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No.		Date
1	Revision 2	Date 2

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Safaei Design Group and may not be issued or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: SDG
Checked By: SS

Scale
As indicated

Sheet Title
STREETSCAPE ELEVATION

Sheet No.
A1.03

11/10/2025 11:40:31 PM

JUNE 21 - 9AM

JUNE 21 - 12PM

JUNE 21 - 3PM

DECEMBER 21 - 9AM

DECEMBER 21 - 12PM

DECEMBER 21 - 3PM

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: SDG
Checked By: SS

Scale

Sheet Title
SITE PLAN - SHADOW STUDY

Sheet No.
A1.04

11/16/2025 11:40:37 PM

Safael Design Group
www.safaeldesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

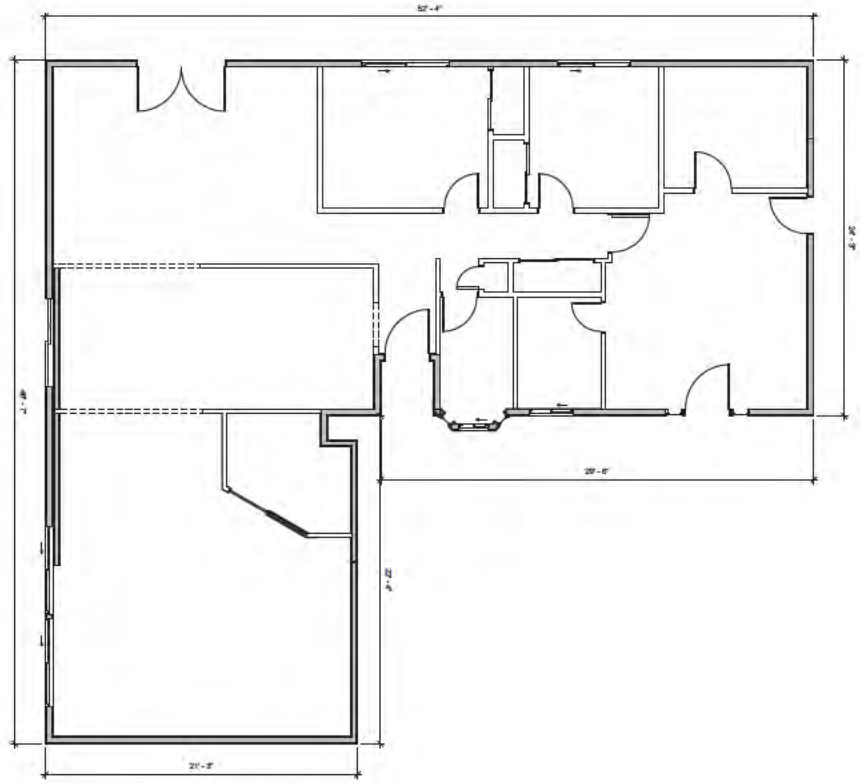
Drawn By: SDG
Checked By: SS

Scale
1/16" = 1'-0"

Sheet Title
AREA PLAN

Sheet No.
A1.05

11/10/2025 11:40:39 PM



FLOOR PLAN - AS-BUILT FIRST FLOOR (1)
1/4" = 1'-0"

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

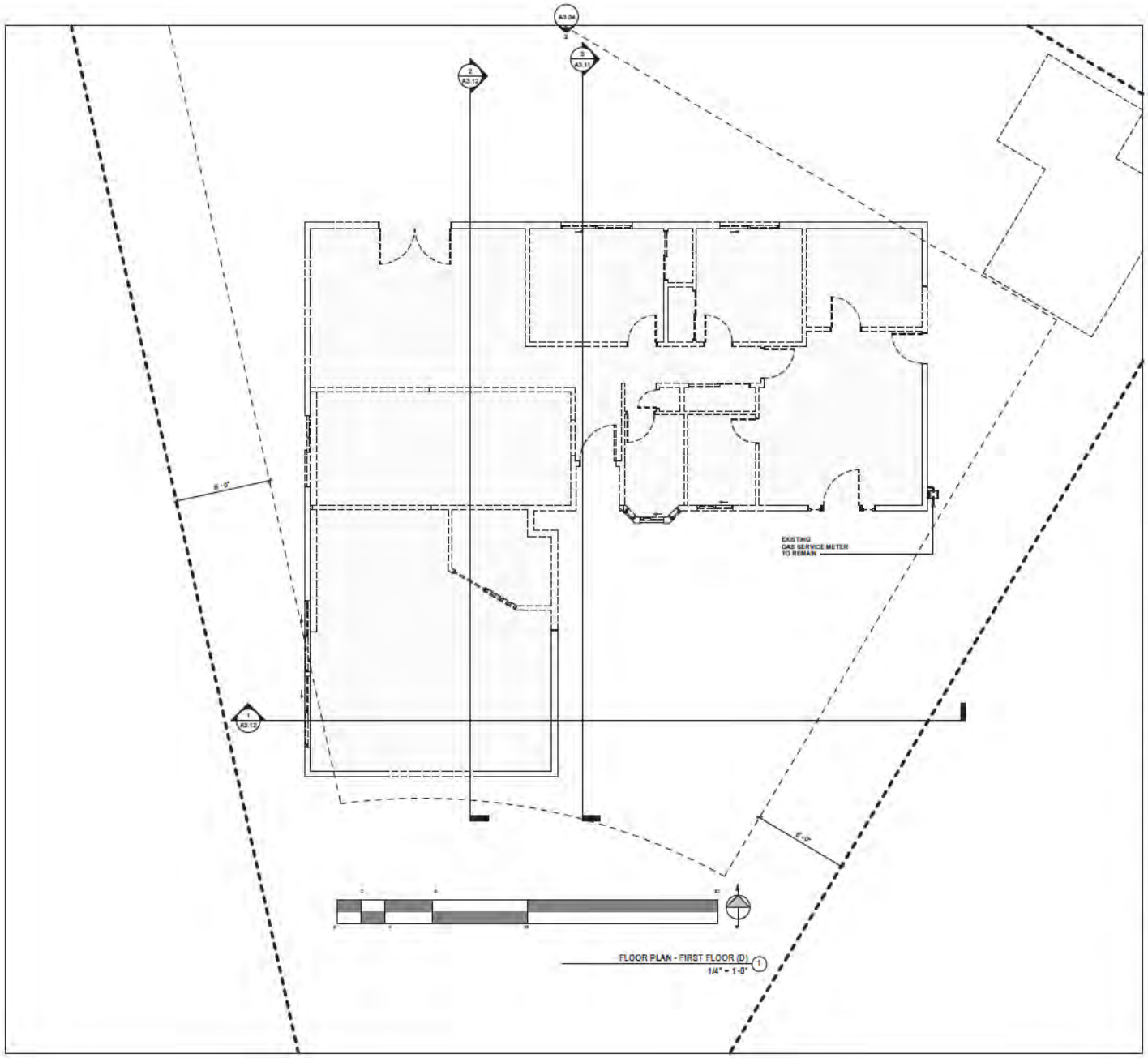
Drawn By: Author
Checked By: Checker

Scale
1/4" = 1'-0"

Sheet Title
EXISTING FLOOR PLAN (D)

Sheet No.
A2.11

11/10/2025 11:40:40 PM



Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify and be responsible for all dimensions and conditions shown by these drawings. Any errors must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: Checked By:
Author Checker

Scale
1/4" = 1'-0"

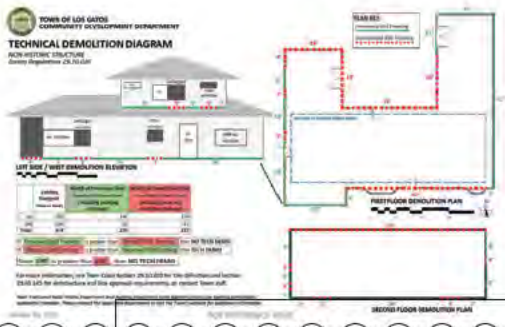
Sheet Title
(D) FLOOR PLAN

Sheet No.
A2.12

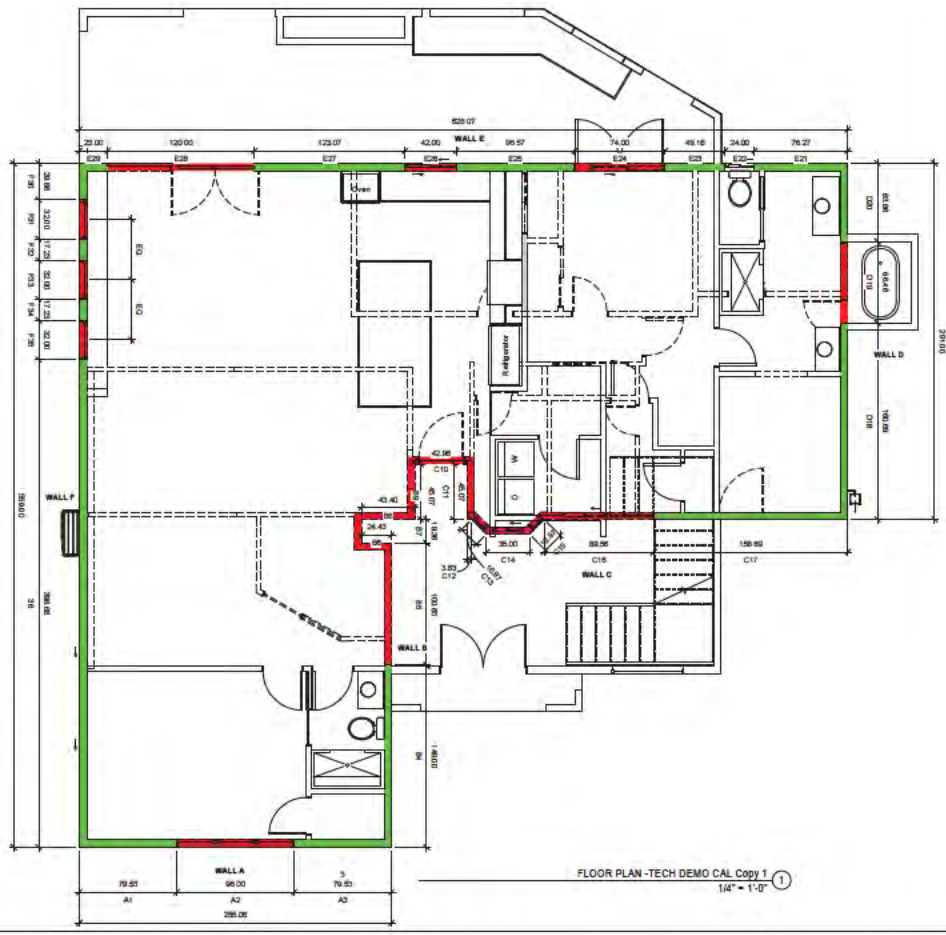
11/10/2025 11:40:41 PM

WALL LEGEND

- (E) +(N) WALLS TO REMAIN OR TO BE CONSTRUCTED
- (D) EXISTING WALLS TO BE DEMOLISHED
- (P) PROPOSED ADDITION: 759.61 SF.
- (P) PROPOSED EXTERIOR WALLS TO BE REMOVED + PROPOSED WINDOW/DOOR OPENINGS
- (E) EXTERIOR WALLS TO REMAIN



WALL	SEGMENT	EXISTING WALL TO REMAIN (IN)	EXISTING WALL TO BE REMOVED (IN)	TOTAL
WALL A	A1	79.51		
WALL A	A2		96	
WALL A	A3	79.51		
TOTAL WALL A		159.02	96	255.02
WALL B	B1	145		
WALL B	B2		110.66	
WALL B	B4		24.43	
WALL B	B7		19.58	
WALL B	B3		43.4	
WALL B	B6		45.07	
TOTAL WALL B		145	232.91	381.91
WALL C	C13		42.96	
WALL C	C11		45.07	
WALL C	C12		3.83	
WALL C	C10		16.97	
WALL C	C14		35	
WALL C	C15		16.97	
WALL C	C16		86.66	
WALL C	C17	158.66		
TOTAL WALL C		158.66	250.59	409.25
WALL D	D11	160.66		
WALL D	D10		85.46	
WALL D	D9	63.98		
TOTAL WALL D		224.64	85.46	291.51
WALL E	E21	76.27		
WALL E	E22		24	
WALL E	E23	49.16		
WALL E	E24		74	
WALL E	E25	96.57		
WALL E	E26		42	
WALL E	E27	123.07		
WALL E	E28		120	
WALL E	E29	23		
TOTAL WALL D		368.07	260	628.07
WALL F	F30	29.08		
WALL F	F31		32	
WALL F	F32	17.23		
WALL F	F33		32	
WALL F	F34	17.23		
WALL F	F35		32	
WALL F	F36	290.08		
TOTAL WALL F		363	96	459
TOTAL WALLS LINEAR INCHES				2524.1
TOTAL TO REMAIN		1522.37		
PERCENT TO REMAIN		60.31%		
TOTAL DEMOLISHED			1001.73	
PERCENT TO REMOVE			39.69%	



Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No.		Date
1	Revision 2	Date 2

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: Author
Checked By: Checker

Scale
1/4" = 1'-0"

Sheet Title
(D) TECHNICAL DEMOLITION CALCULATIONS

Sheet No.
A2.12.1

2022 CMC CODES

CMC 802.2.1 Environmental Air Ducts. Environmental air duct exhaust shall terminate not less than 3 feet (914 mm) from a property line, 10 feet (3048 mm) from a forced air inlet, 10 feet (3048 mm) above a public walkway and 3 feet (914 mm) from openings into the building. The discharge of environmental exhaust ducts shall not be directed onto a public walkway.

2022 CPC CODES

All new plumbing fixtures shall have the following maximum flow rates:
1) **CPC 407.2.2** Lavatory faucets shall have a maximum flow of 1.2 GPM.
2) **CPC 408.2** Shower heads shall have a maximum flow of 1.8 GPM.
3) **CPC 411.2** Toilets shall have a max. 1.28 gallons per flush.
4) **CPC 420.2.1** Kitchen faucets shall have a maximum flow rate of 1.8 GPM.

CPC 402.6 Setting. Fixtures shall be set level and in proper alignment with reference to adjacent walls. No water closet or bidet shall be set closer than 15 inches (381 mm) from its center to a side wall or obstruction or closer than 30 inches (762 mm) center to center to a similar fixture. The clear space in front of a water closet, lavatory, or bidet shall be not less than 24 inches (610 mm). No urinal shall be set closer than 12 inches (305 mm) from its center to a side wall or partition or closer than 24 inches (610 mm) center to center. Exception: The installation of paper dispensers or accessibility grab bars shall not be considered obstructions.

CPC 408.3 Individual Shower and Tub-Shower Combination Control Valves. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection for the rated flow rate of the installed showerhead. These valves shall be installed at the point of use and comply with ASSE 1016/ASME A112.1016/CSA B125.16 or ASME A112.18.1/CSA B125.1.

CPC 420.2.1 Kitchen Faucets [BSC-CG, DSA-SS & DSA-SS/CC]. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons (6.81 L) per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate but not to exceed 2.2 gallons (8.3 L) per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons (6.81 L) per minute at 60 psi in compliance with Chapter 5 Division 5.3 of the California Green Building Standards Code (CALGreen).

2022 CRC CODES

CRC R303.3.1 Bathroom exhaust fans. Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code, Chapter 4; and the California Green Building Standards Code, Chapter 4, Division 4.5, Note: Window operation is not a permissible method of providing bathroom exhaust for humidity control.

CRC R307.2 Bathtub and shower spaces. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

CRC R311.3.1 Floor elevations at the required egress doors. Landings or finished floors at the required egress door shall be not more than 1-1/2 inches (38 mm) lower than the top of the threshold. **Exception** The landing or floor on the exterior side shall be not more than 7-3/4 inches (196 mm) below the top of the threshold provided that the door does not swing over the landing or floor. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

CRC R314.3.3 (4). Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance or meet one of the exceptions.

CRC R319.1 & CFC 505.1 Address identification. Buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) in height with a stroke width of not less than 0.5 inch (12.7 mm). Where required by the fire code official address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

CRC R702.3.7 Water-resistant gypsum backing board. Gypsum board used as the base or backer for adhesive application of ceramic tile or other required nonabsorbent finish material shall conform to ASTM C1178, C1278 or C1396. Use of water-resistant gypsum backing board shall be permitted on ceilings. Water-resistant gypsum board shall not be installed over a Class I or II vapor retarder in a shower or tub compartment. Cut or exposed edges, including those at wall intersections, shall be sealed as recommended by the manufacturer.

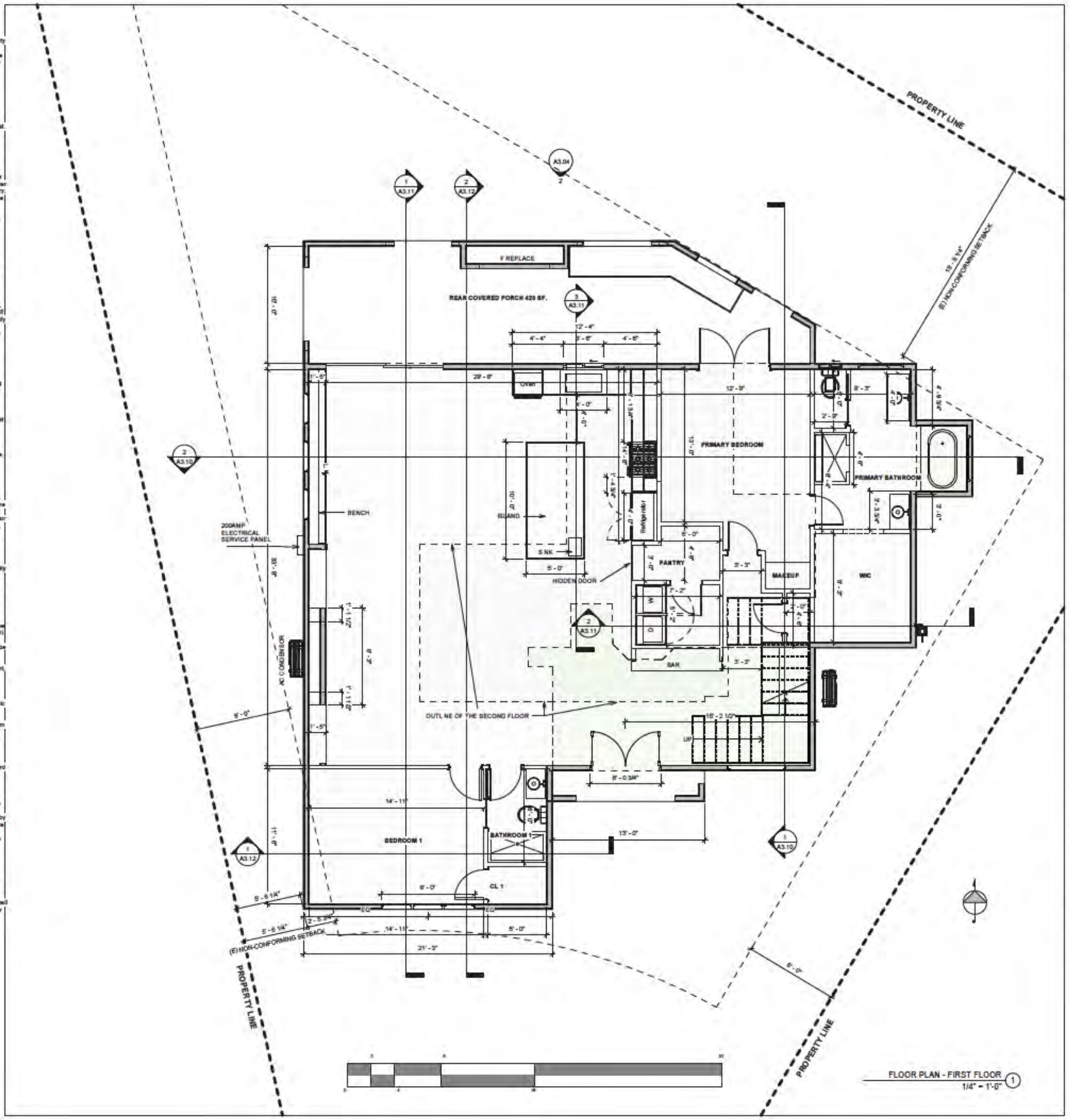
CRC R702.3.7.1 Limitations. Water-resistant gypsum backing board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity.

CRC R807.1 Attic Access. The rough-framed opening shall be not less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other location with ready access. Where located in a wall, the opening shall be not less than 22 inches wide by 30 inches high (559 mm wide by 762 mm high). Where the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches (762 mm) at some point above the access measured vertically from the bottom of ceiling framing members.

2022 CMC CODES

CMC 405.4.1 Exhaust Rate
For intermittent-controlled operations, the exhaust rate shall be not less than 100 ft3/min (0.047 m3/s) for range hoods or 300 ft3/min (0.141 m3/s) for mechanical exhaust fans including downdraft appliances. For continuous operated ventilation, the exhaust rate shall be not less than 5 air changes per hour based on kitchen volume for enclosed kitchens.

11/16/2025 11:40:43 PM



ENERGY & ELECTRICAL NOTES

2022 CEnergyC CODES

110.6(b) Exterior door to be caulked between the door and the building and be weather-stripped.

150.0(k)1 Luminaire requirements.
A. Luminaire efficacy. All installed luminaires shall meet the requirements in Table 150.0-A. Exception 1 to Section 150.0(k)1A: Integrated device lighting. Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers. Exception 2 to Section 150.0(k)1A: Navigation lighting such as night lights, step lights, and path lights less than 5 watts. Exception 3 to Section 150.0(k)1A: Cabinet lighting. Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater.
B. Screw-based luminaires. Screw-based luminaires shall contain lamps that comply with Reference Joint Appendix JA8.
C. Recessed downlight luminaires in ceilings. Luminaires recessed into ceilings shall meet all of the following requirements:
i. Shall not contain screw base lamp sockets; and
ii. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 cfm at 75 Pascals when tested in accordance with ASTM E283. An exhaust fan housing with integral light shall not be required to be certified airtight; and
iii. Be sealed with a gasket or caulk between the luminaire housing and ceiling, and have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk, or be installed per manufacturer's instructions to maintain airtightness between the luminaire housing and ceiling; and
iv. Meet the clearance and installation requirements of California Electrical Code Section 410.116 for recessed luminaires. Exception to Sections 150.0(k)1Ciii and_ iii: Recessed luminaires marked for use in fire-rated installations extruded into ceiling space and 2022 CALIFORNIA ENERGY CODE recessed luminaires installed in noninsulated ceilings.
D. Light sources in enclosed or recessed luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, shall not be installed in enclosed or recessed luminaires.
E. Blank electrical boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer vacancy sensor control, low voltage wiring or fan speed control.

150.0(k)2 Interior lighting controls.
A. Lighting shall have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF. Exception to Section 150.0(k)2A: Ceiling fans may provide control of integrated lighting via a remote control.
B. No controls shall bypass a dimmer occupant sensor or vacancy sensor function where that dimmer or sensor has been installed to comply with Section 150.0(k).
C. Lighting controls shall comply with the applicable requirements of Section 110.9.
D. An energy management control system (EMCS) or a multiscene programmable control may be used to comply with dimming occupancy and lighting control requirements in Section 150.0(k)2 if it provides the functionality of the specified controls in accordance with Section 110.9, and the physical controls specified in Section 150.0(k)2A.
E. Automatic-off controls. i. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire shall be controlled by an occupancy or vacancy sensor providing automatic-off functionality. ii. For lighting internal to drawers and cabinetry with opaque fronts or doors, controls that turn the light off when the drawer or door is closed shall be provided.
F. Dimming controls. Lighting in habitable spaces, including but not limited to living rooms, dining rooms, kitchens and bedrooms, shall have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces shall comply with NEMA SSL 7A. Exception 1 to Section 150.0(k)2F: Ceiling fans may provide control of integrated lighting via a remote control. Exception 2 to Section 150.0(k)2F: Luminaires connected to a circuit with controlled lighting power less than 20 watts or controlled by an occupancy or vacancy sensor providing automatic-off functionality. Exception 3 to Section 150.0(k)2F: Navigation lighting such as night lights, step lights, and path lights less than 5 watts, and lighting internal to drawers and cabinetry with opaque fronts or doors or with automatic-off controls.
G. Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. The following shall be controlled separately from ceiling-installed lighting such that one can be turned on without turning on the other: i. Undercabinet lighting. ii. Undershelf lighting. iii. Interior lighting of display cabinets. iv. Switched outlets.

150.0(k)3 Residential outdoor lighting.
A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building or to other buildings on the same lot shall meet the requirement in item i and the requirements in either item ii or item iii:
i. Controlled by a manual ON and OFF control switch that permits the automatic actions of items ii or iii below and
ii. Controlled by a photocell and either a motion sensor or an automatic time switch control; or
iii. Controlled by an astronomical time clock control. Controls that override to ON shall not be allowed unless the override automatically returns the automatic control to its normal operation within 6 hours. An energy management control system that provides the specified lighting control functionality and complies with all requirements applicable to the specified controls may be used to meet these requirements.

2022 CALIFORNIA ELECTRICAL CODE

210.8 Ground-Fault Circuit-Interrupter Protection for Personnel. Ground-fault circuit-interrupter protection for personnel shall be provided as required in 210.8(A) through (E). The ground-fault circuit interrupter shall be installed in a readily accessible location.

210.12 Arc-Fault Circuit-Interrupter Protection. Arc-fault circuit-interrupter protection shall be provided as required in 210.12(A), (B), and (C). The arc-fault circuit interrupter shall be installed in a readily accessible location.

(A) Dwelling Units. All 125-volt, single-phase, 15- and 20-ampere receptacles installed in the locations specified in 210.8(A)(1) through (10) shall have ground-fault circuit- interrupter protection for personnel.
(1) Bathrooms
(2) Garages, and also accessory buildings that have a floor located at or below grade level not intended as habitable rooms and limited to storage areas, work areas, and areas of similar use
(3) Outdoors
Exception to (3): Receptacles that are not readily accessible and are supplied by a branch circuit dedicated to electric snow-melting, deicing, or pipeline and vessel heating equipment shall be permitted to be installed in accordance with 426.28 or 427.22, as applicable.

Safaei Design Group
www. safaeidesign.com
t: +1 [415] 96 SALAR

Revision No. | Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: Author
Checked By: Checker

Scale
1/4" = 1'-0"

Sheet Title
(P) FLOOR PLAN

Sheet No.
A2.13

2022 CMC CODES

CMC 502.3.1 Environmental Air Ducts. Environmental air duct exhaust shall terminate not less than 3 feet (914 mm) from a property line, 10 feet (3048 mm) from a forced air inlet, 10 feet (3048 mm) above a public walkway and 3 feet (914 mm) from openings into the building. The discharge of environmental exhaust ducts shall not be directed onto a public walkway.

2022 CPC CODES

All new plumbing fixtures shall have the following maximum flow rates:
1) CPC 407.2.2 Lavatory faucets shall have a maximum flow of 1.2 GPM.
2) CPC 408.2 Shower heads shall have a maximum flow of 1.8 GPM.
3) CPC 411.2 Toilets shall have a max. 1.28 gallons per flush.
4) CPC 420.2.1 Kitchen faucets shall have a maximum flow rate of 1.8 GPM.

CPC 402.6 Setting. Fixtures shall be set level and in proper alignment with reference to adjacent walls. No water closet or bidet shall be set closer than 15 inches (381 mm) from its center to a side wall or obstruction or closer than 30 inches (762 mm) center to center to a similar fixture. The clear space in front of a water closet, lavatory, or bidet shall be not less than 24 inches (610 mm). No urinal shall be set closer than 12 inches (305 mm) from its center to a side wall or partition or closer than 24 inches (610 mm) center to center.
Exception: The installation of paper dispensers or accessibility grab bars shall not be considered obstructions.

CPC 408.3 Individual Shower and Tub-Shower Combination Control Valves. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection for the rated flow rate of the installed showerhead. These valves shall be installed at the point of use and comply with ASSE 1016/ASME A112.1016/CSA B125.16 or ASME A112.18.1/CSA B125.1.

CPC 420.2.1 Kitchen Faucets [BSC-CG, DSA-SS & DSA-SS/CC]. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons (6.81 L) per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate but not to exceed 2.2 gallons (8.3 L) per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons (6.81 L) per minute at 60 psi in compliance with Chapter 5 Division 5.3 of the California Green Building Standards Code (CALGreen).

2022 CRC CODES

CRC R303.3.1 Bathroom exhaust fans. Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code, Chapter 4 and the California Green Building Standards Code, Chapter 4, Division 4.5, Note: Window operation is not a permissible method of providing bathroom exhaust for humidity control.

CRC R307.2 Bathtub and shower spaces. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

CRC R311.3.1 Floor elevations at the required egress doors. Landings or finished floors at the required egress door shall be not more than 1-1/2 inches (38 mm) lower than the top of the threshold.
Exception: The landing or floor on the exterior side shall be not more than 7-3/4 inches (196 mm) below the top of the threshold provided that the door does not swing over the landing or floor. Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

CRC R314.3.3 (4). Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance or meet one of the exceptions.

CRC R319.1 & CFC 505.1 Address identification. Buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) in height with a stroke width of not less than 0.5 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

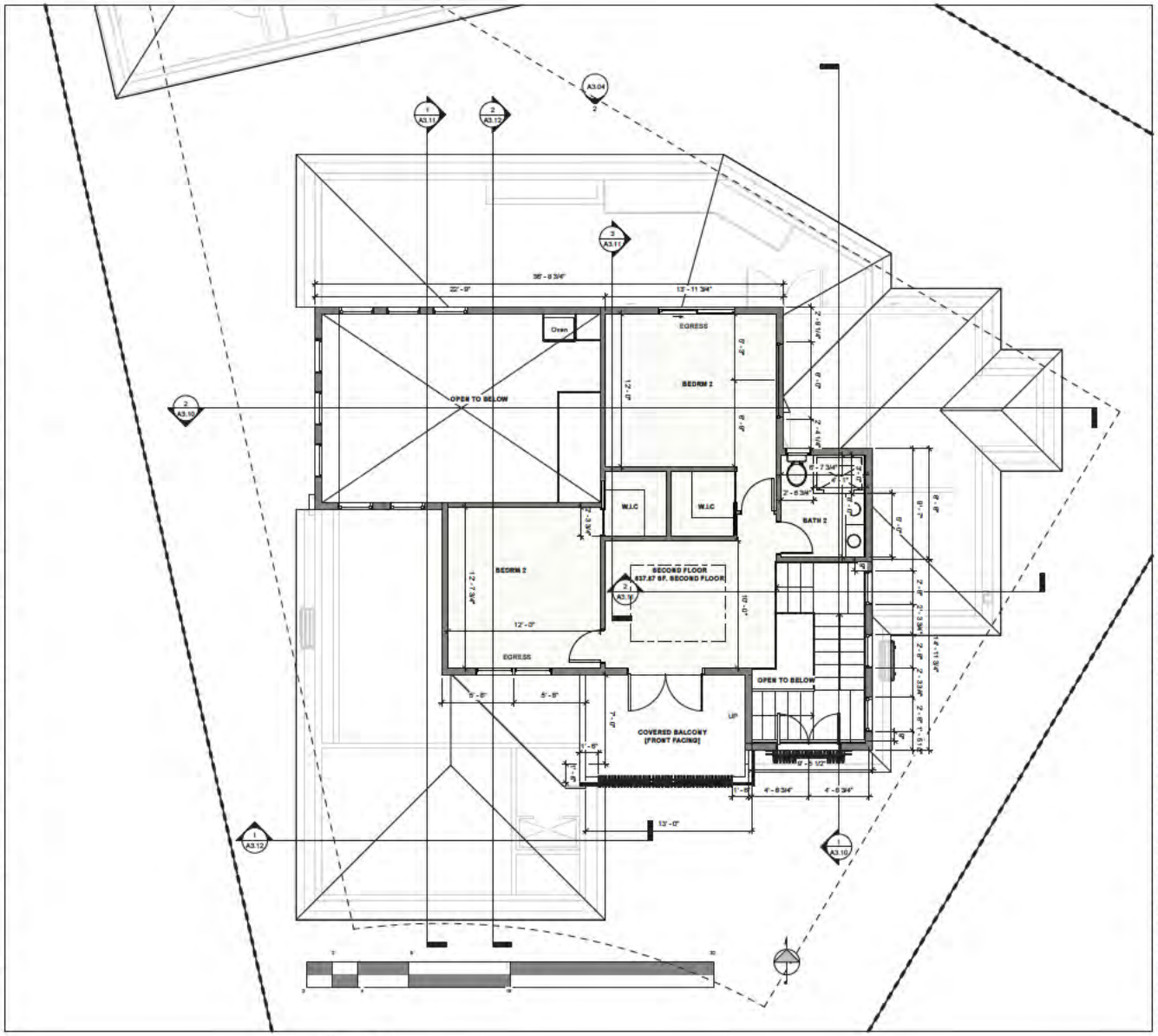
CRC R702.3.7 Water-resistant gypsum backing board. Gypsum board used as the base or backer for adhesive application of ceramic tile or other required nonabsorbent finish material shall conform to ASTM C1178, C1278 or C1396. Use of water-resistant gypsum backing board shall be permitted on ceilings. Water-resistant gypsum board shall not be installed over a Class I or II vapor retarder in a shower or tub compartment. Cut or exposed edges, including those at wall intersections, shall be sealed as recommended by the manufacturer.

CRC R702.3.7.1 Limitations. Water-resistant gypsum backing board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity.

CRC R807.1 Attic Access. The rough-framed opening shall be not less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other location with ready access. Where located in a wall, the opening shall be not less than 22 inches wide by 30 inches high (559 mm wide by 762 mm high). Where the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches (762 mm) at some point above the access measured vertically from the bottom of ceiling framing members.

2022 CMC CODES

CMC 406.4.1 Exhaust Rate
For intermittent-controlled operations, the exhaust rate shall be not less than 100 ft3/min (0.047 m3/s) for range hoods or 300 ft3/min (0.141 m3/s) for mechanical exhaust fans including downdraft appliances. For continuous operated ventilation, the exhaust rate shall be not less than 5 air changes per hour based on kitchen volume for enclosed kitchens.



1 (P) S.FLOOR.
1/4" = 1'-0"

ENERGY & ELECTRICAL NOTES

2022 CEnergyC CODES

110.6(b) Exterior door to be caulked between the door and the building and be weather-stripped.

150.0(k)1 Luminaire requirements.
A. Luminaire efficacy. All installed luminaires shall meet the requirements in Table 150.0-A. Exception 1 to Section 150.0(k)1A: Integrated device lighting. Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers. Exception 2 to Section 150.0(k)1A: Navigation lighting such as night lights, step lights, and path lights less than 5 watts. Exception 3 to Section 150.0(k)1A: Cabinet lighting. Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater.
B. Screw-based luminaires. Screw-based luminaires shall contain lamps that comply with Reference Joint Appendix JA8.
C. Recessed downlight luminaires in ceilings. Luminaires recessed into ceilings shall meet all of the following requirements:
i. Shall not contain screw base lamp sockets; and
ii. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 cfm at 75 Pascals when tested in accordance with ASTM E283. An exhaust fan housing with integral light shall not be required to be certified airtight; and
iii. Be sealed with a gasket or caulk between the luminaire housing and ceiling, and have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk, or be installed per manufacturer's instructions to maintain airtightness between the luminaire housing and ceiling; and
iv. Meet the clearance and installation requirements of California Electrical Code Section 410.116 for recessed luminaires. Exception to Sections 150.0(k)1Ci and_ iii: Recessed luminaires marked for use in fire-rated installations extruded into ceiling space and 2022 CALIFORNIA ENERGY CODE recessed luminaires installed in nonresidential
ceilings.
D. Light sources in enclosed or recessed luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, shall not be installed in enclosed or recessed luminaires.
E. Blank electrical boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer vacancy sensor control, low voltage wiring or fan speed control.

150.0(k)2 Interior lighting controls.
A. Lighting shall have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF. Exception to Section 150.0(k)2A: Ceiling fans may provide control of integrated lighting via a remote control.
B. No controls shall bypass a dimmer, occupant sensor or vacancy sensor function where that dimmer or sensor has been installed to comply with Section 150.0(k).
C. Lighting controls shall comply with the applicable requirements of Section 110.9.
D. An energy management control system (EMCS) or a multizone environmental control may be used to comply with dimming, occupancy and lighting control requirements in Section 150.0(k)2 if it provides the functionality of the specified controls in accordance with Section 110.9, and the physical controls specified in Section 150.0(k)2A.
E. Automatic-off controls. i. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire shall be controlled by an occupancy or vacancy sensor providing automatic-off functionality. ii. For lighting internal to drawers and cabinetry with opaque fronts or doors, controls that turn the light off when the drawer or door is closed shall be provided.
F. Dimming controls. Lighting in habitable spaces, including but not limited to living rooms, dining rooms, kitchens and bedrooms, shall have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces shall comply with NEMA SSL 7A. Exception 1 to Section 150.0(k)2F: Ceiling fans may provide control of integrated lighting via a remote control. Exception 2 to Section 150.0(k)2F: Luminaires connected to a circuit with controlled lighting power less than 20 watts or controlled by an occupancy or vacancy sensor providing automatic-off functionality. Exception 3 to Section 150.0(k)2F: Navigation lighting such as night lights, step lights, and path lights less than 5 watts, and lighting internal to drawers and cabinetry with opaque fronts or doors or with automatic-off controls.
G. Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. The following shall be controlled separately from ceiling-installed lighting such that one can be turned on without turning on the other: i. Undercabinet lighting. ii. Undershelf lighting. iii. Interior lighting of display cabinets. iv. Switched outlets.

150.0(k)3 Residential outdoor lighting.
A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building or to other buildings on the same lot shall meet the requirement in Item i and the requirements in either Item ii or Item iii:
i. Controlled by a manual ON and OFF control switch that permits the automatic actions of Items ii or iii below and
ii. Controlled by a photocell and either a motion sensor or an automatic time switch control; or
iii. Controlled by an astronomical time clock control. Controls that override to ON shall not be allowed unless the override automatically returns the automatic control to its normal operation within 6 hours. An energy management control system that provides the specified lighting control functionality and complies with all requirements applicable to the specified controls may be used to meet these requirements.

2022 CALIFORNIA ELECTRICAL CODE

210.8 Ground-Fault Circuit-Interrupter Protection for Personnel. Ground-fault circuit-interrupter protection for personnel shall be provided as required in 210.8(A) through (E). The ground-fault circuit interrupter shall be installed in a readily accessible location.

210.12 Arc-Fault Circuit-Interrupter Protection. Arc-fault circuit-interrupter protection shall be provided as required in 210.12(A), (B), and (C). The arc-fault circuit interrupter shall be installed in a readily accessible location.

(A) Dwelling Units. All 125-volt, single-phase, 15- and 20-ampere receptacles installed in the locations specified in 210.8(A)(1) through (10) shall have ground-fault circuit- interrupter protection for personnel.
(1) Bathrooms
(2) Garages, and also accessory buildings that have a floor located at or below grade level not intended as habitable rooms and limited to storage areas, work areas, and areas of similar use
(3) Outdoors
Exception to (3): Receptacles that are not readily accessible and are supplied by a branch circuit dedicated to electric snow-melting, deicing, or pipeline and vessel heating equipment shall be permitted to be installed in accordance with 426.28 or 427.22, as applicable.

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

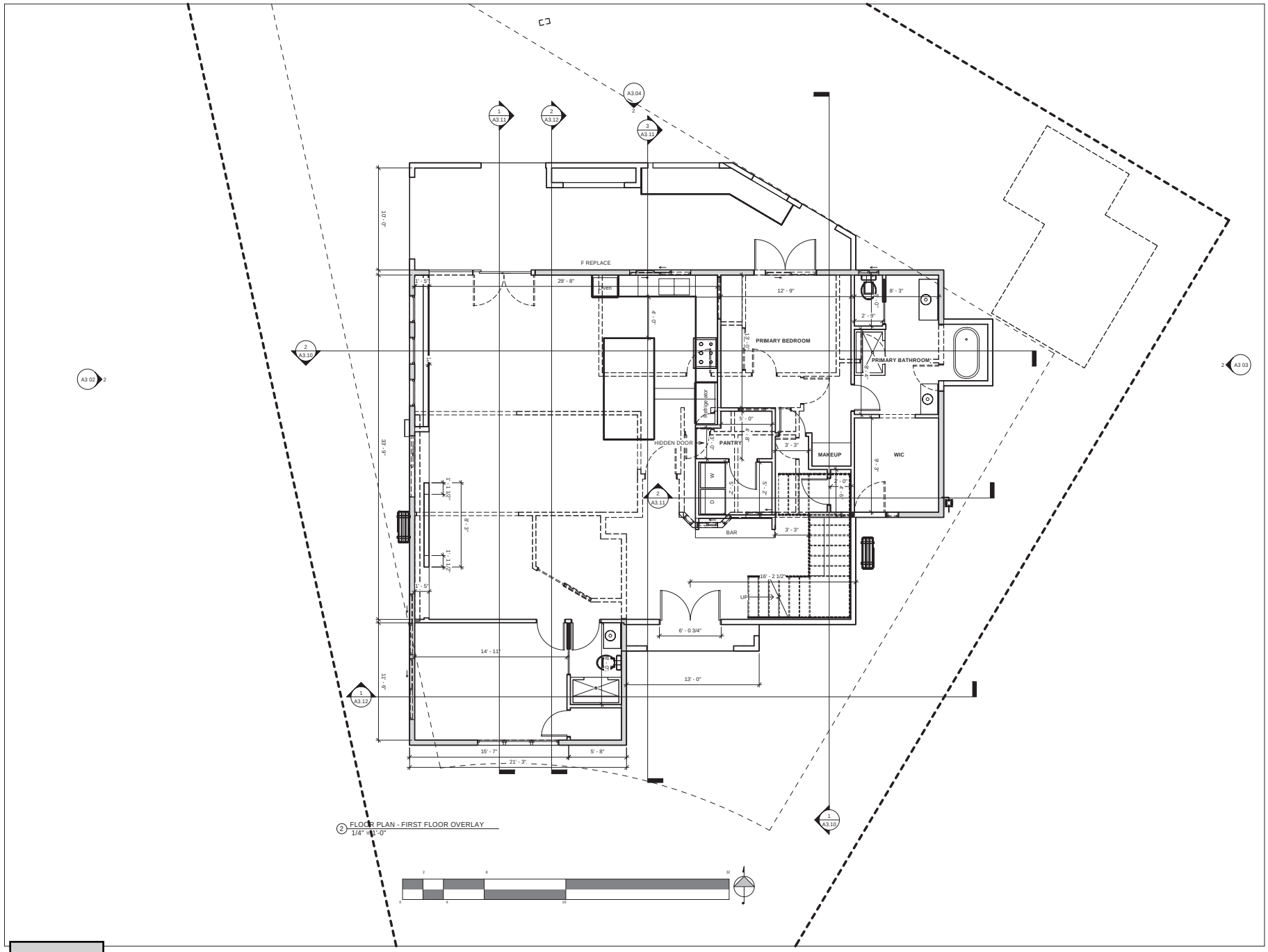
Drawn By: Checked By:
Author: Checker

Scale
1/4" = 1'-0"

Sheet Title
(P) 2ND FLOOR PLAN

Sheet No.
A2.14

11/10/2025 11:40:49 PM



2 FLOOR PLAN - FIRST FLOOR OVERLAY
1/4" = 1'-0"

11/16/2025 11:40:49 PM

Safaei Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

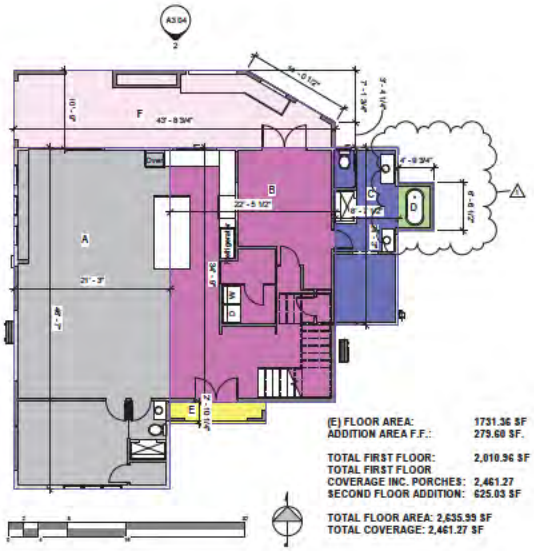
Job No.
140 OAKMONT WAY

Drawn By: Author
Checked By: Checker

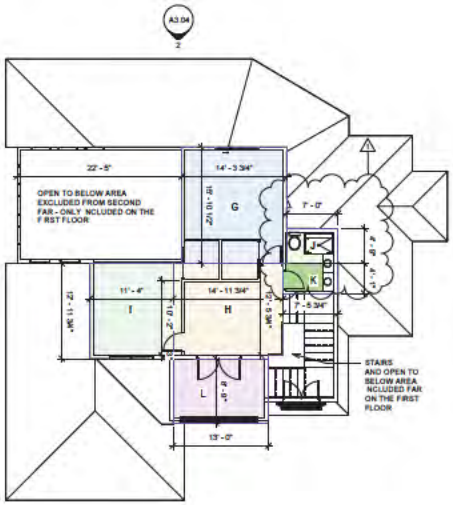
Scale
1/4" = 1'-0"

Sheet Title
(E) & (P) OVERLAY

Sheet No.
A2.15



1 FIRST FLOOR
1/8" = 1'-0"



2 (P) S.FLOOR.
1/8" = 1'-0"

	Area Name	#	Length (Feet)	Length (Inches)	Width (Feet)	#	Width (Inches)	#	Square Footage (sq ft)	COMMENTS
FIRST FLOOR	A		46	7	21		3		969.90	
	B		34	9	22		5.5		780.43	
	C		24	3	8		7.5		209.16	
	D		6	6.5	4		9.75		31.48	
	E		2	16.25	13		0		37.10	COVERAGE ONLY
	F		##	##	##		##		413.20	COVERAGE ONLY
	TOTAL FAR		##	##	##		##		2,010.96	
	TOTAL COVERAGE		##	##	##		##		2,461.27	

	Area Name	#	Length (Feet)	Length (Inches)	Width (Feet)	#	Width (Inches)	#	Square Footage (sq ft)	COMMENTS
SECOND FLOOR	G		15	10.5	14		3.75		227.21	
	H		12	5.79	14		11.75		189.83	
	I		12	11.75	11		4		147.10	
	J		7	0	4		9		33.25	
	K		4	1	7		5.75		30.54	
	L		8	9	13		0		113.75	BALCONY (EXCL. FROM FAR)
	TOTAL SECOND FLOOR FAR		##	##	##		##		625.03	

TOTAL FLOOR AREA			2,635.99
MAX FAR	LOT SIZE	8466 SF	31.1%
COVERAGE			2,461.27
COVERAGE %			29.07%

Safaei Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No.		Date
1	Revision 2	Date 2

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be issued or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

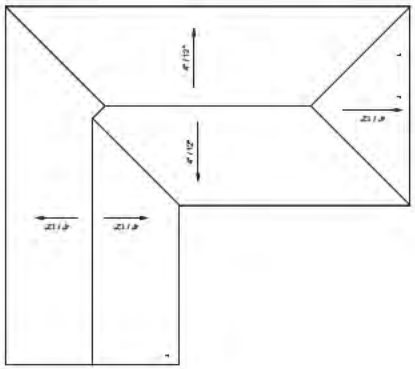
Drawn By: Author
Checked By: Checker

Scale
1/8" = 1'-0"

Sheet Title
FLOOR AREA DIAGRAM

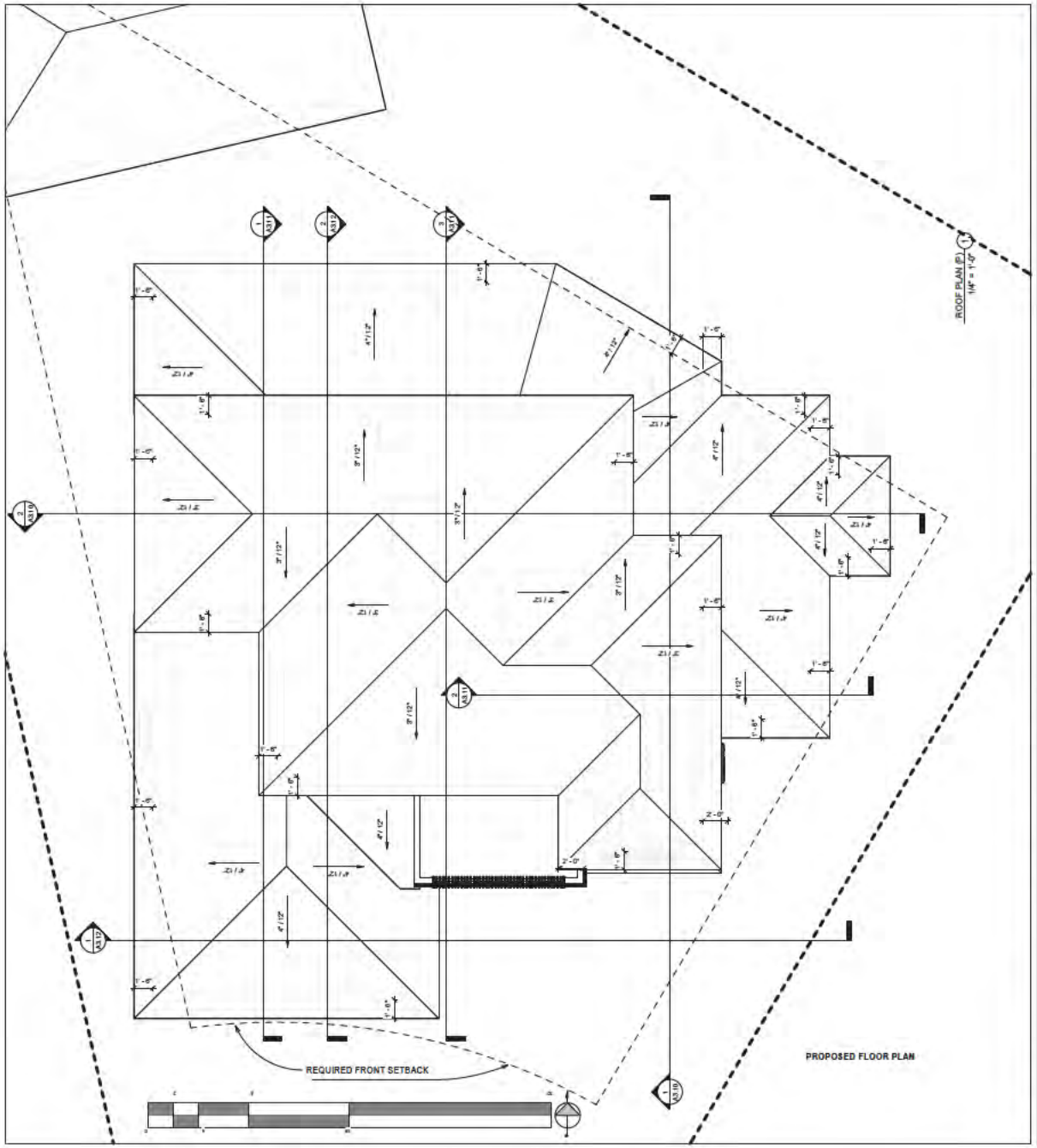
Sheet No.
A2.16

11/10/2025 11:40:51 PM



EXISTING ROOF PLAN

ROOF PLAN - AS-BUILT 2
1/8" = 1'-0"



PROPOSED FLOOR PLAN

ROOF PLAN (P) 1
1/4" = 1'-0"

Safaei Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

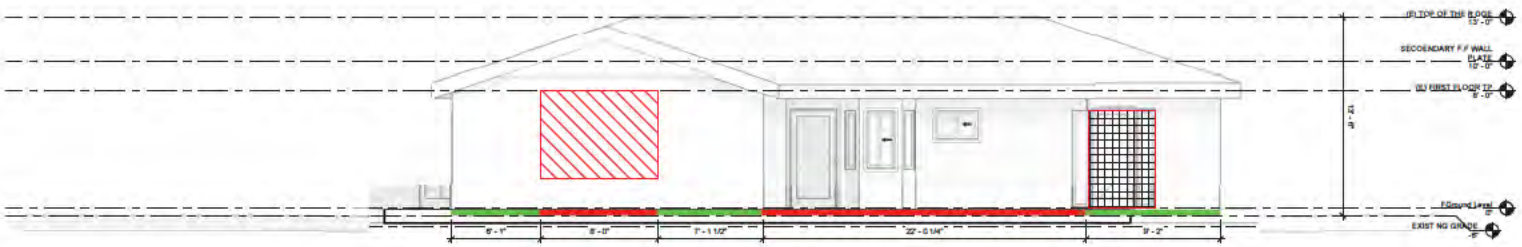
Drawn By: SDG
Checked By: SS

Scale
As indicated

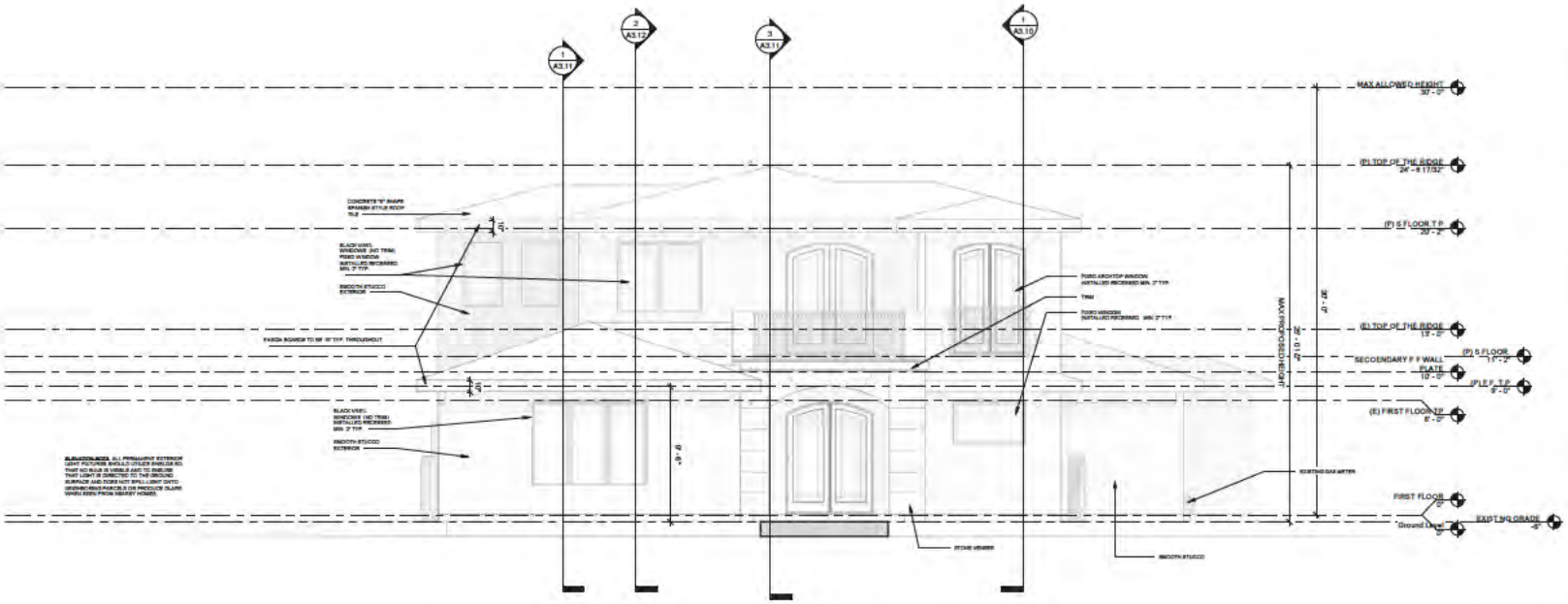
Sheet Title
ROOF PLAN (P)

Sheet No.
A2.17

11/10/2025 11:40:05 PM



1 (E) FRONT SIDE ELEVATION (NORTH)
1/4" = 1'-0"



2 (P) FRONT SIDE ELEVATION (NORTH)
1/4" = 1'-0"

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

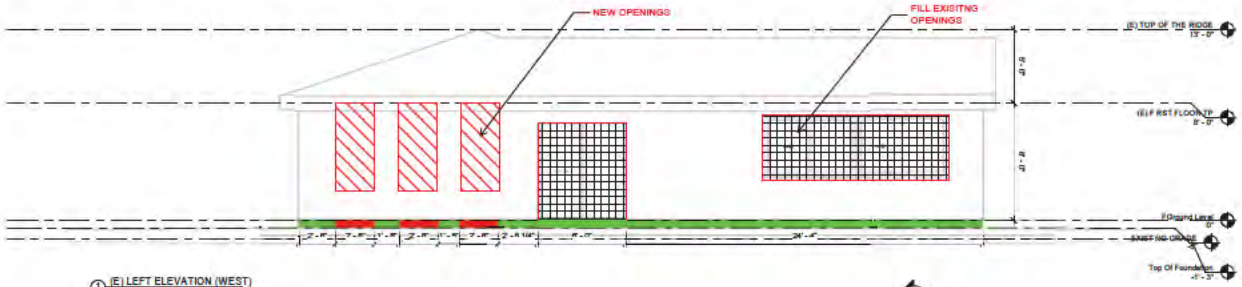
Drawn By: SDG
Checked By: SS

Scale
1/4" = 1'-0"

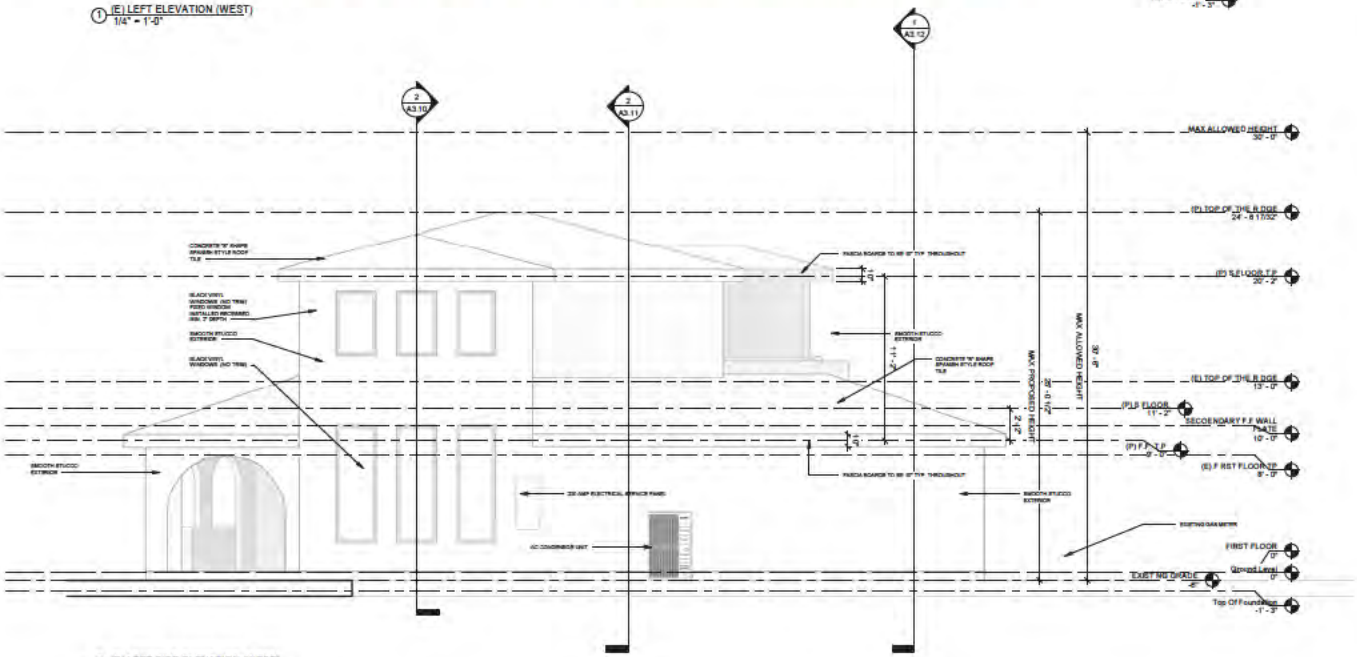
Sheet Title
EXTERIOR ELEVATIONS FRONT (NORTH)

Sheet No.
A3.01

11/10/2025 11:41:00 PM



① (E) LEFT ELEVATION (WEST)
1/4" = 1'-0"



② (P) LEFT SIDE ELEVATION (WEST)
1/4" = 1'-0"

FOUNDATION VENTILATION

IF NO "RAT SLAB" IS INSTALLED:
TOTAL RAISED FOUNDATION 3430.36 SF.

3430.36/150 = 22.87 SF. = 3293.14 M N. SQUARE INCHES OF VENTILATION REQUIRED
EACH FOUNDATION VENT : 14.5"x6"=87 SQUARE INCH PER FOUNDATION VENT
3293.14/87 = 37.8 MIN OF 38 FOUNDATION VENTS
TO BE PROV DED IN THE RAISED FLOOR AREAS
PROV DE 3 GARAGE SLAB VENTS
- FOUNDATION VENTS SHALL BE NSTALLED AT LEAST 3' AWAY FROM ALL CORNERS AND NOT INSTALLED D RECTLY UNDER SHEAR WALLS.

LEVEL 2 ATTIC VENTILATION

ATTIC AREA: 3430.36 SF
3430.36/150 SF =22.87 SF. M N
VENT LATION REQUIRED
22.87X144= 3293.14 SQUARE NCH OF VENT LATION REQU RED 1,646 57 SQ. N. OF LOW AND 1,646 57 SQ. N OF HIGH VENT LATION REQU RED.
EACH EAVE VENT BLOCKING VENT 2" HOLE = 3.14 SQ. N. OF VENTILATION FOUR 2" HOLES AT EVERY OTHER EAVE BAY = 12.56 SQ IN. BY EACH EAVE VENT.
O HAG N LOW-PROF LE MODEL FLAT **72** SQ. N NFVA M N. **23** VENTS HIGH -**23** VENTS LOW - **46** TOTAL (F REPLACED BY EAVE VENTS - M N **318** EAVES BAYS TO HAVE VENTILATION)

VENTILATION NOTES:

1 1 INCH MINIMUM SPACE BETWEEN THE BOTTOM OF THE ROOF SHEATHING AND THE INSULATION WHERE EAVE OR CORNICE VENTS ARE INSTALLED AT EAVES.
2 UNVENTED ATTIC OR UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES SHALL MEET CONDITION SET FORTH IN CRC R806.5
A PROVIDE THE UNVENTED ATTIC SPACE IS COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE
B. IF AN INTERIOR CLASS I VAPOR RETARDER IS INSTALLED THE ROOF DESIGN MUST COMPLY WITH CONDITION A.
C PROVIDE A 1-" MINIMUM VENTED AIRSPACE THAT SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHEATHING ENSURE COMPLIANCE WITH AIR PERMEABLE INSULATION OR AIR IMPERMEABLE INSULATION.
D

ILLUMINATION NOTES:

ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD BE SHIELDED OR FITTED WITH CUT OFF LENS TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PROVIDE GLARE WHEN SEEN FROM NEARBY HOMES.CH

11/10/2025 11:41:18 PM

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

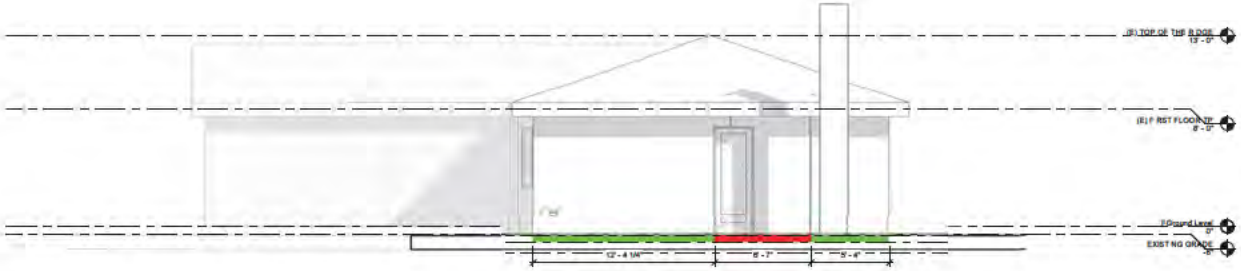
Job No.
140 OAKMONT WAY

Drawn By: SDG
Checked By: SS

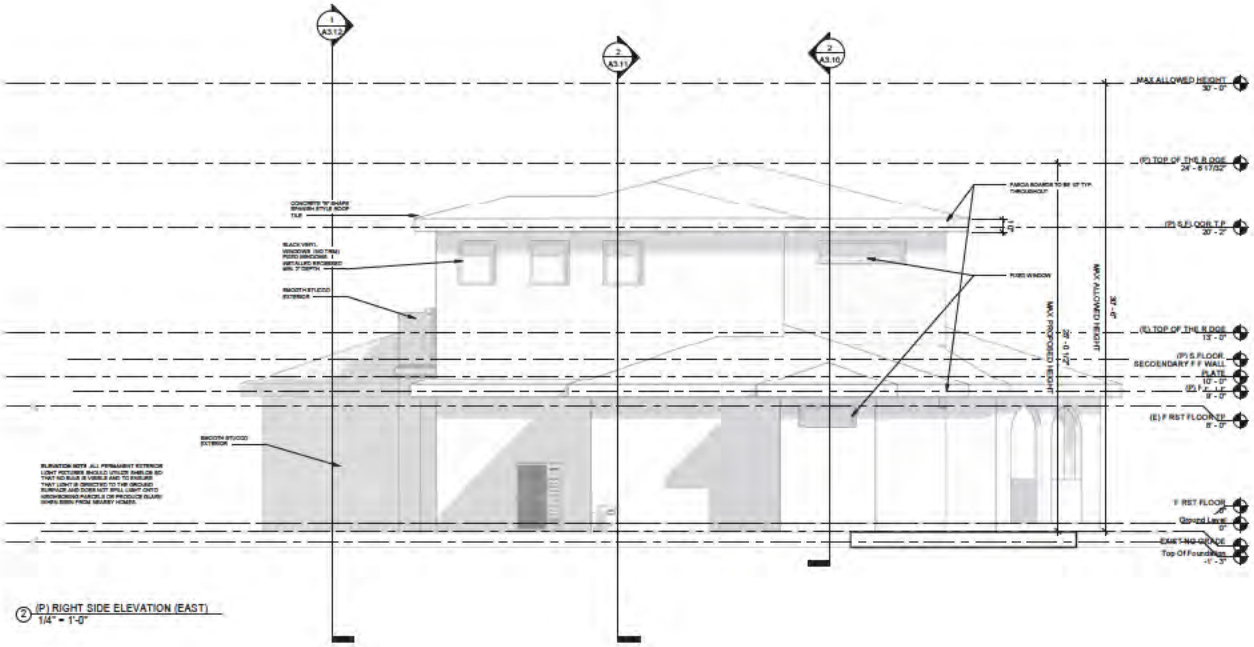
Scale
1/4" = 1'-0"

Sheet Title
EXTERIOR ELEVATIONS - LEFT (WEST)

Sheet No.
A3.02



① (E) RIGHT ELEVATION (EAST)
1/4" = 1'-0"



② (P) RIGHT SIDE ELEVATION (EAST)
1/4" = 1'-0"

11/10/2025 11:41:20 PM

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No.	Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safaei Design Group and may not be loaned or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

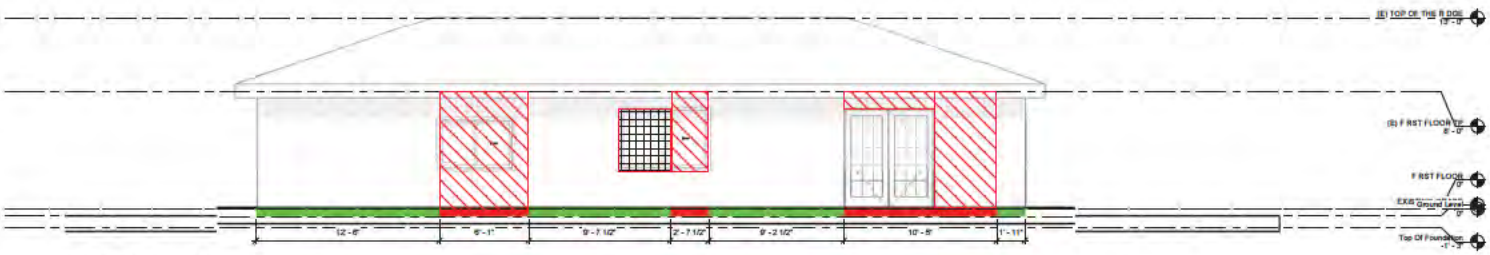
Job No.
140 OAKMONT WAY

Drawn By: Author
Checked By: Checker

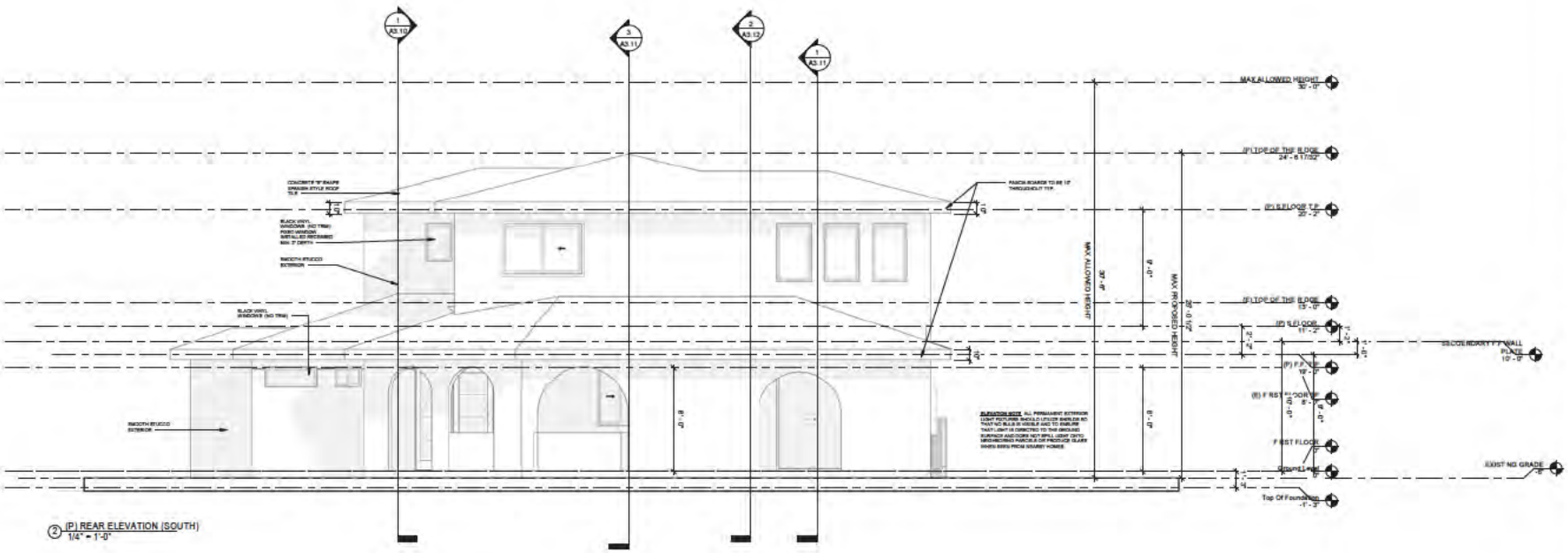
Scale
1/4" = 1'-0"

Sheet Title
EXTERIOR ELEVATIONS - RIGHT (EAST)

Sheet No.
A3.03



① (E) REAR ELEVATION (SOUTH)
1/4" = 1'-0"



② (P) REAR ELEVATION (SOUTH)
1/4" = 1'-0"

11/10/2025 11:41:33 PM

Safaei Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

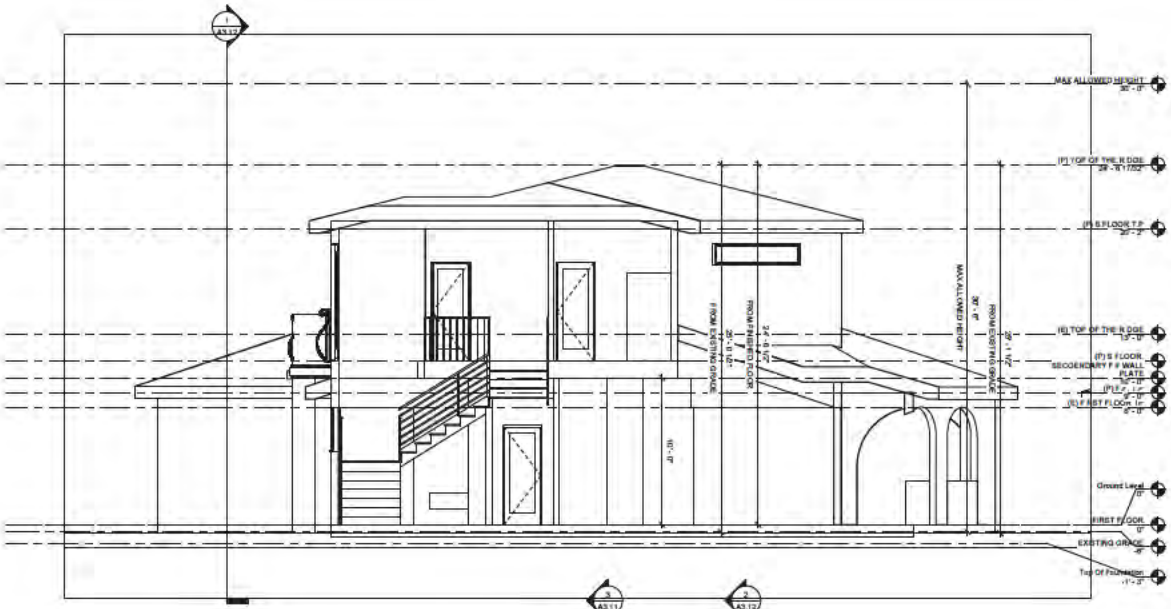
Job No.
140 OAKMONT WAY

Drawn By: Checked By:
Author Checker

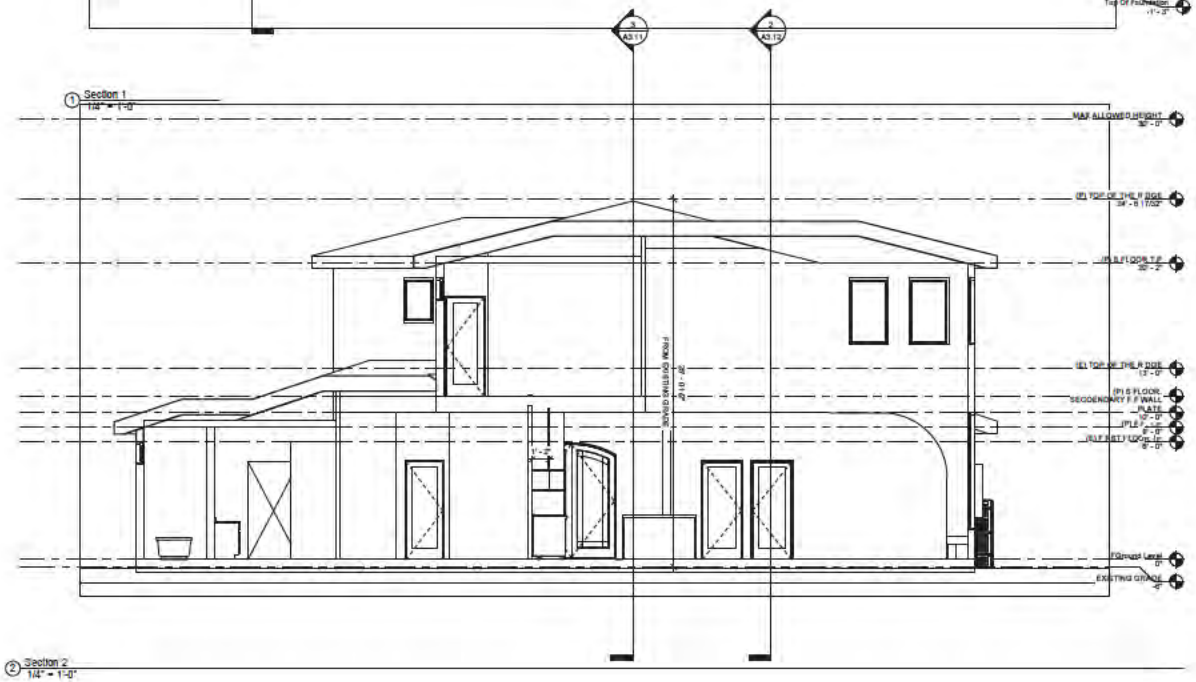
Scale
1/4" = 1'-0"

Sheet Title
EXTERIOR ELEVATIONS - REAR (SOUTH)

Sheet No.
A3.04



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

Safael Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

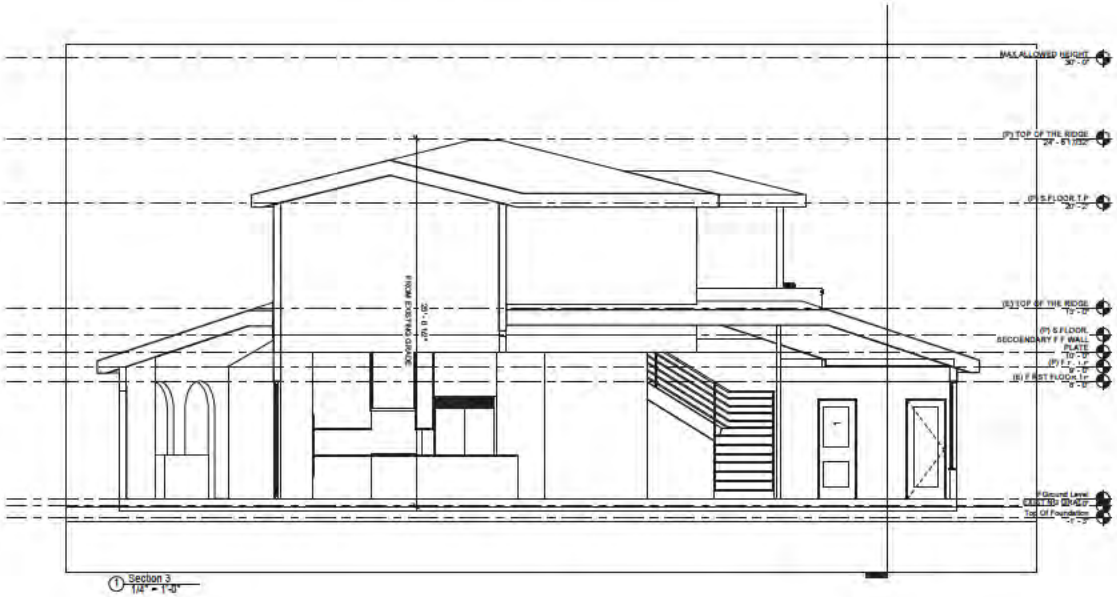
Drawn By: SGG
Checked By: SS

Scale
1/4" = 1'-0"

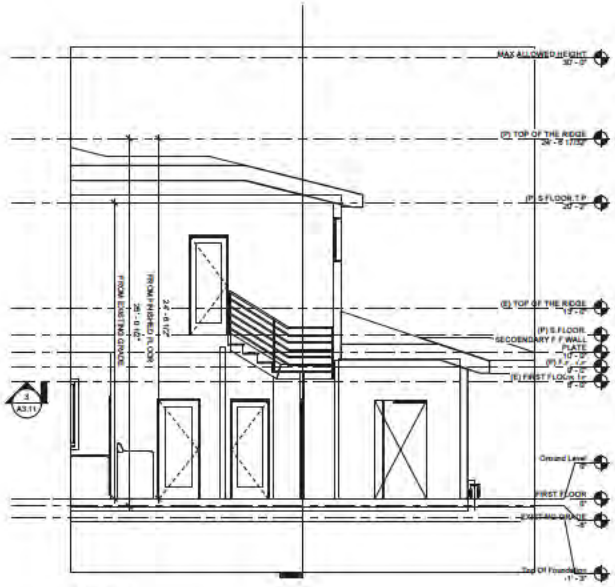
Sheet Title
(P) BUILDING SECTIONS

Sheet No.
A3.10

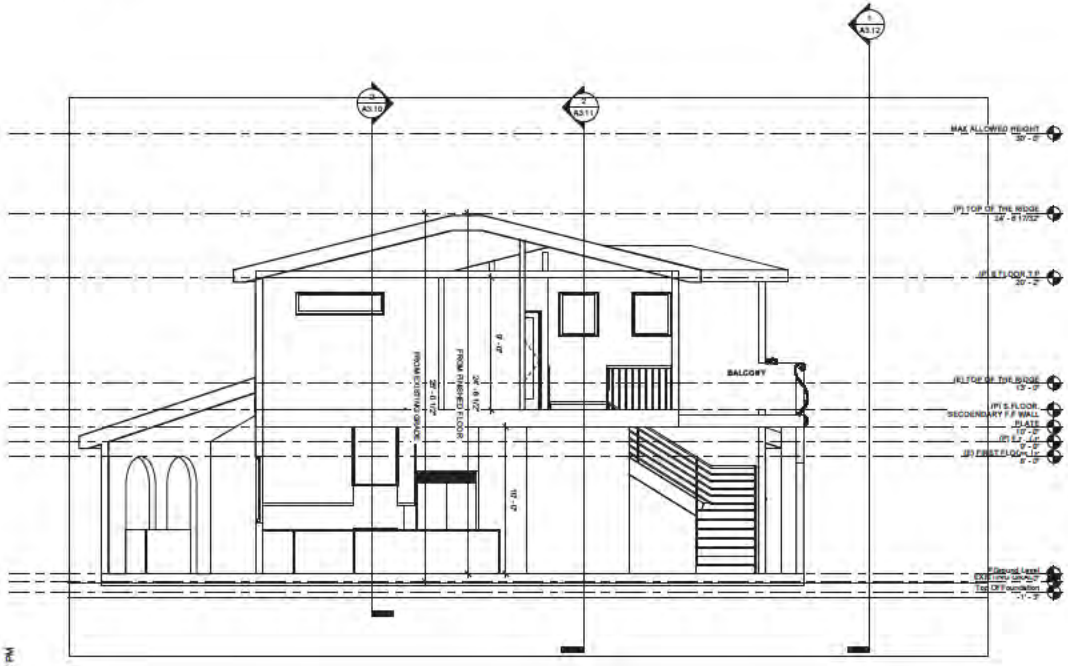
11/05/2025 11:41:35 PM



1 Section 3
1/4" = 1'-0"



2 Section 4
1/4" = 1'-0"



Section 7
1/4" = 1'-0"
3

11/10/2025 11:41:38 PM

Safael Design Group
www.safaeldesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractor shall verify and be responsible for all dimensions and conditions shown on these drawings. Any errors must be submitted to the office for approval before proceeding with fabrication. The drawings and their design content are the sole property of Safael Design Group and may not be reused or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

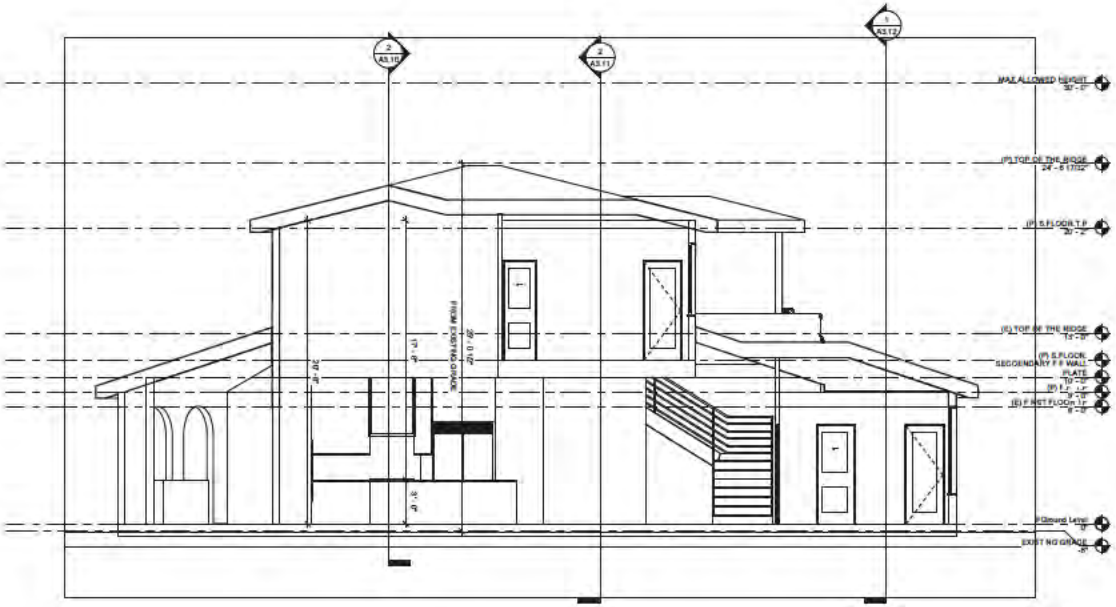
Job No.
140 OAKMONT WAY

Drawn By: Checked By:
Author Checker

Scale
1/4" = 1'-0"

Sheet Title
(P) BUILDING SECTIONS

Sheet No.
A3.11



Section 6
1/4" = 1'-0"

Section 5
1/4" = 1'-0"

Safael Design Group
www.safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

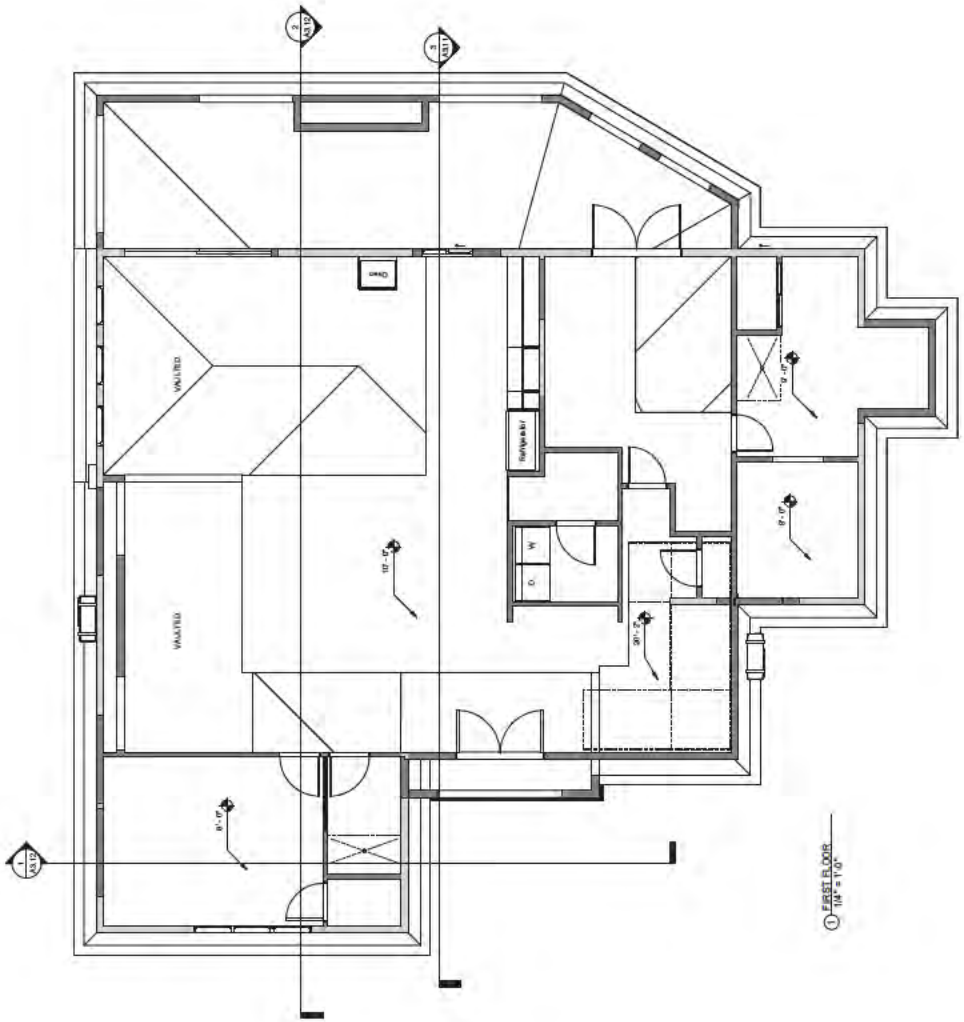
Drawn By: Checked By:
Author: Checker:

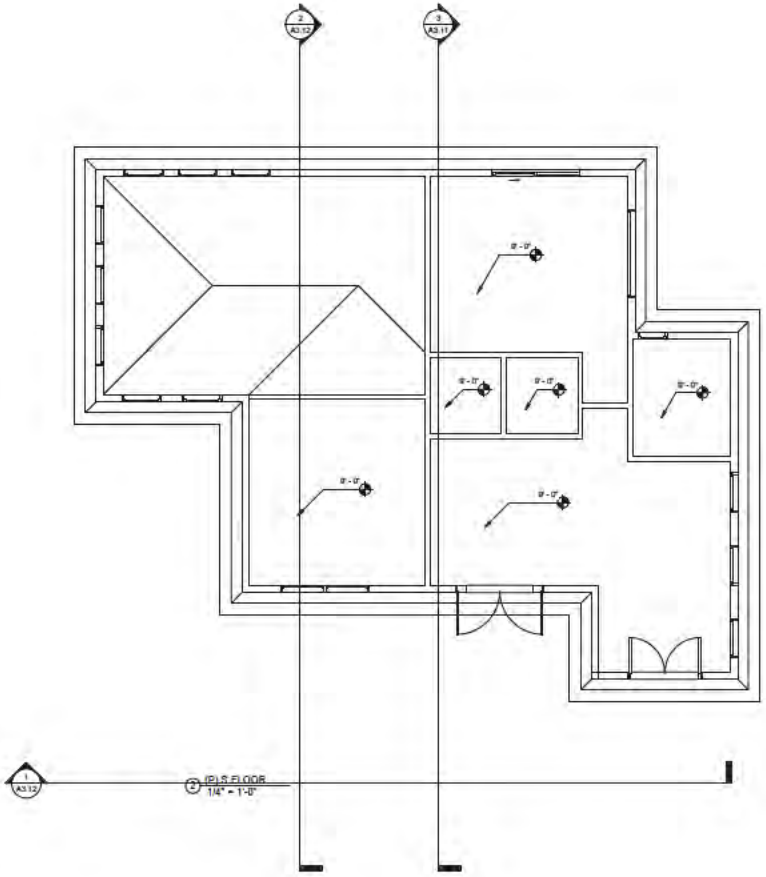
Scale
1/4" = 1'-0"

Sheet Title
(P) BUILDING SECTIONS

Sheet No.
A3.12

11/10/2025 11:41:40 PM





Safael Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

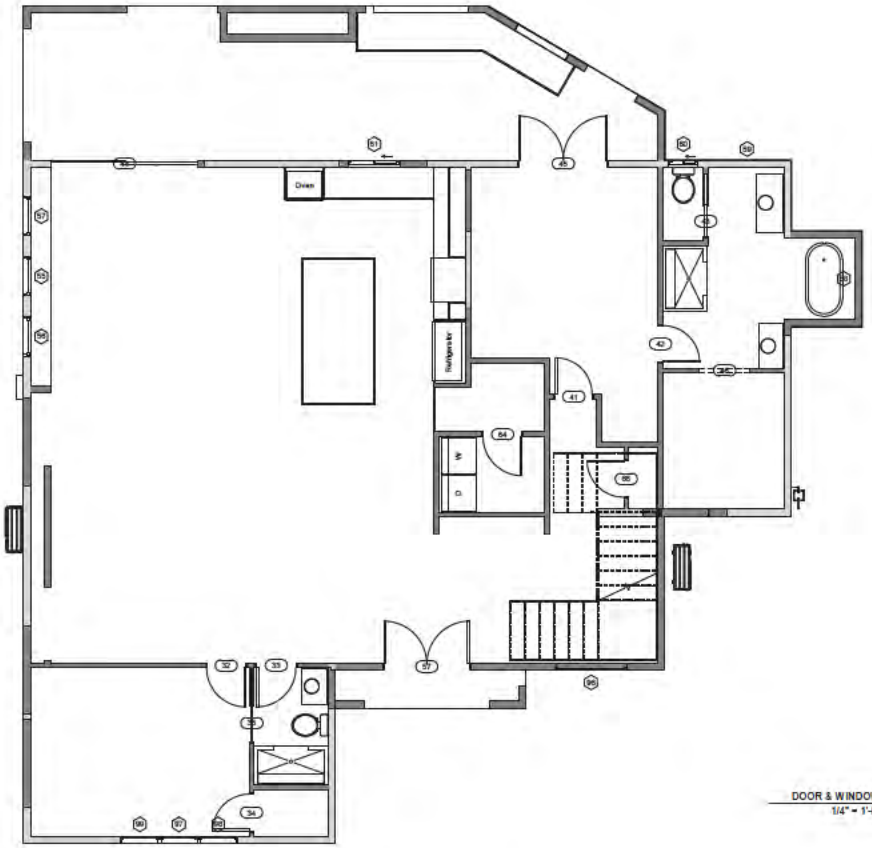
Drawn By: Checked By:
Author Checker

Scale
1/4" = 1'-0"

Sheet Title
RCP

Sheet No.
A4.0

11/10/2025 11:41:46 PM



DOOR & WINDOW 1
1/4" = 1'-0"

WINDOW SCHEDULE						
			SIZE			
NO.	TYPE	Level	W	H	Sill Height	HEAD HEIGHT
55	183	FIRST FLOOR	2' - 8"	8' - 0"	2' - 0"	10' - 0"
56	183	FIRST FLOOR	2' - 8"	8' - 0"	2' - 0"	10' - 0"
57	183	FIRST FLOOR	2' - 8"	8' - 0"	2' - 0"	10' - 0"
58	162	FIRST FLOOR	4' - 0"	1' - 6"	6' - 6"	8' - 0"
59	162	FIRST FLOOR	4' - 0"	1' - 6"	6' - 6"	8' - 0"
60	163	FIRST FLOOR	2' - 0"	1' - 6"	6' - 6"	8' - 0"
61	181	FIRST FLOOR	3' - 6"	4' - 6"	3' - 6"	8' - 0"
62	153	(P) S.FLOOR.	6' - 0"	4' - 0"	4' - 0"	8' - 0"
66	166	(P) S.FLOOR.	6' - 0"	1' - 6"	6' - 6"	8' - 0"
76	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
77	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
78	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
79	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
80	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
81	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
82	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
83	184	(P) S.FLOOR.	2' - 8"	4' - 6"	3' - 6"	8' - 0"
84	179	(P) S.FLOOR.	2' - 8"	3' - 0"	5' - 0"	8' - 0"
85	179	(P) S.FLOOR.	2' - 8"	3' - 0"	5' - 0"	8' - 0"
86	179	(P) S.FLOOR.	2' - 8"	3' - 0"	5' - 0"	8' - 0"
87	178	(P) S.FLOOR.	2' - 0"	3' - 0"	5' - 0"	8' - 0"
88	158	FIRST FLOOR	1' - 0"	4' - 0"	2' - 4"	6' - 4"
89	137	FIRST FLOOR	6' - 1"	2' - 6"	4' - 4"	6' - 10"
90	137	FIRST FLOOR	6' - 1"	2' - 6"	3' - 0"	5' - 6"
91	154	FIRST FLOOR	3' - 0"	2' - 0"	3' - 0"	5' - 0"
92	149	FIRST FLOOR	4' - 0"	3' - 10"	3' - 0"	6' - 10"
93	149	FIRST FLOOR	4' - 0"	3' - 10"	3' - 0"	6' - 10"
94	144	FIRST FLOOR	3' - 0"	3' - 10"	3' - 0"	6' - 10"
95	155	FIRST FLOOR	2' - 0"	4' - 0"	3' - 0"	7' - 0"
96	94	FIRST FLOOR	5' - 0"	3' - 0"	5' - 0"	8' - 0"
97	94	FIRST FLOOR	2' - 8"	6' - 0"	2' - 0"	8' - 0"
98	94	FIRST FLOOR	2' - 8"	6' - 0"	2' - 0"	8' - 0"
99	94	FIRST FLOOR	2' - 8"	6' - 0"	2' - 0"	8' - 0"
100	94	(P) S.FLOOR.	3' - 0"	5' - 0"	3' - 0"	8' - 0"
101	94	(P) S.FLOOR.	3' - 0"	5' - 0"	3' - 0"	8' - 0"

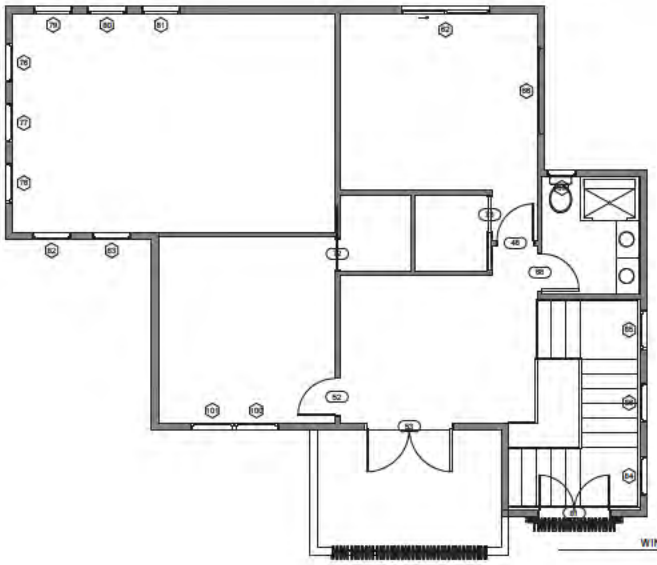
DOOR SCHEDULE			
	SIZE		
NO.	W	H	MATERIAL /DESCRIPTION
32	2' - 8"	6' - 8"	
33	2' - 8"	6' - 8"	
34	2' - 6"	6' - 8"	
35	2' - 6"	6' - 8"	
41	2' - 6"	6' - 8"	
42	2' - 6"	6' - 8"	
43	2' - 2"	6' - 8"	
44	10' - 0"	8' - 0"	
45	6' - 0"	8' - 0"	
46	0' - 0"	0' - 0"	
48	2' - 6"	6' - 8"	
52	2' - 6"	6' - 8"	
53	6' - 0 1/2"	7' - 11 1/2"	7284 AT FR DOOR
57	6' - 0 1/2"	7' - 11 1/2"	7284 AT FR DOOR
64	2' - 8"	6' - 8"	
66	2' - 6"	6' - 8"	
68	2' - 6"	6' - 8"	
72	2' - 2"	6' - 8"	
73	2' - 6"	6' - 8"	
74	2' - 6"	6' - 8"	
75	2' - 6"	6' - 8"	
76	2' - 6"	6' - 8"	
77	8' - 0"	8' - 0"	
78	5' - 0"	6' - 8"	
79	4' - 0"	6' - 8"	
80	4' - 0"	6' - 8"	
81	5' - 0 1/2"	7' - 11 1/2"	7284 AT FR DOOR

SAFETY GLAZING

A) WINDOWS WITH N 24" ARC OF THE DOORS' EDGE, IN A CLOSED POSITION, TO BE TEMPER GLAZ NG. CRC R308.4.2.
B) WINDOWS TO BE TEMPER GLAZ NG WHERE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR N A CLOSED POSITION AND WITHIN 24 NCHES OF THE H NGE SIDE OF AN IN-SWING NG DOOR. CRC R308.4.2(2).
C) W NDOWS THAT ARE NEXT TO STAIRS. SPEC FY WINDOWS TO HAVE SAFETY GLAZ NG WHERE THE GLAZ NG IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALK NG SURFACE OF THE STA RWAYS AND STA R LAND NGS. CRC R308.4.6.
D) W NDOWS SHALL BE TEMPER GLAZED WHERE WINDOWS ARE 60 NCHES OR LESS ABOVE THE TUB OR SHOWER FLOOR. CRC R308.4.5.

EGRESS WINDOW NOTE

1) I) THE NET CLEAR OPEN NG SHALL BE 5.7 SQUARE FEET MINIMUM (GRADE FLOOR OPENINGS MAY HAVE A NET CLEAR OPENING OF 5.0 SQUARE FEET M NIMUM).
II) THE NET CLEAR HEIGHT SHALL BE 24" MINIMUM.
III) THE NET CLEAR W DTH SHALL BE 20" MIN MUM
2) OPEN NGS SHALL HAVE THE BOTTOM OF THE CLEAR OPEN NG NOT GREATER THAN 44 INCHES, MEASURED FROM THE FLOOR.
3) EACH W NDOW REQUIRED TO COMPLY WITH CRC R310.1 WITH "EGRESS" NEXT TO IT. THIS HAS BEEN NDICATED BY ADJACENT TO W NDOW (Y)



WINDOWS & DOORS 2ND FL 2
1/4" = 1'-0"

Safaei Design Group
www. safaeidesign.com
t: +1 (415) 96 SALAR

Revision No. Date

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any details must be submitted to the office for approval before commencing with fabrication. The drawings and their design content are the sole property of Safaei Design Group and only will be issued or reproduced in any manner without our express written consent.

SIGNATURES

Job Title
140 Oakmont Way, Los Gatos, CA 95032

Job Address
702 MORE AVE.
LOS GATOS, CA

Date
10.30.2025

Issued For
BUILDING PERMIT APPLICATION

Job No.
140 OAKMONT WAY

Drawn By: Checked By:
Author Checker

Scale
1/4" = 1'-0"

Sheet Title
DOORS & WINDOWS

Sheet No.
A5.1

11/10/2025 11:41:45 PM

TOWN OF LOS GATOS
GENERAL PLAN COMMITTEE
REPORT

MEETING DATE: 01/14/2026

ITEM NO: 6

DATE: January 9, 2025

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Select a Chair and Vice Chair.

RECOMMENDATION:

Select a Chair and Vice Chair.

REMARKS:

Annually, a Town Commission appoints its Chair and Vice Chair for the upcoming year.

PREPARED BY: Alexa Nolder
Administrative Technician

Reviewed by: Planning Manager and Community Development Director

This Page Intentionally Left Blank