



ZONING ADMINISTRATOR MEETING AGENDA

4:00 PM - Wednesday, October 04, 2023

***Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA***

Members of the Public may call (253) 215-8782 to participate in the conference call (Webinar ID: 821 7664 4896 or via the web at <https://tinyurl.com/2zbrkadh> with Passcode: 701956). Members of the Public may only comment during times allotted for public comments and public testimony will be taken at the direction of the Zoning Administrator. Members of the public are also encouraged to submit written testimony prior to the meeting at ZAPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of September 20, 2023

PUBLIC HEARING

2. SC23-0015 – Yun Li – 628 Cuesta Drive

Design Review for the modifications to an approved residential addition (SC21-0046) from a two-story house with 2,065 square feet at the first story and 1,120 square feet at the second story to a two-story house with 2,257 square feet at the first story and 1,077 square feet at the second story. This project is categorically exempt from environmental review under 15301 of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

INFORMATIONAL ITEMS

COMMISSIONERS' REPORTS AND COMMENTS**POTENTIAL FUTURE AGENDA ITEMS****ADJOURNMENT**SPECIAL NOTICES TO PUBLIC

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Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.



ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM - Wednesday, September 20, 2023

*Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA*

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT: Zoning Administrator Zornes

STAFF: Planning Manager Williams and Associate Planner Healy

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**

Approval of the DRAFT minutes of the regular meeting of September 6, 2023.

Action: Zoning Administrator Zornes approved the meeting minutes for regular meeting of September 6, 2023.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

PUBLIC HEARING

2. **SC23-0007 – Wanchen Cai – 226 Solana Drive**

Design review for a new approximately 4,103 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Healy*

STAFF PRESENTATION

Associate Planner Healy presented the staff report recommending approval of design review application SC23-0007 subject to the listed findings and conditions.

PUBLIC COMMENT

The project architect Wanchen Cai made a presentation and made himself available for any questions.

Resident Bruce Busby provided public comment.

Zoning Administrator Zornes closed the public comment period.

Action: Zoning Administrator Zornes approved design review application SC23-0007 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

3. SC23-0010 – Jim Maliksi – 746 Casa Bonita Court

Design review for a new approximately 3,721 square-foot two-story single-family residence.

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Healy*

STAFF PRESENTATION

Associate Planner Healy presented the staff report recommending approval of design review application SC23-0010 subject to the listed findings and conditions.

PUBLIC COMMENT

The property owner made himself available for any questions.

Zoning Administrator Zornes closed the public comment period.

Action: Zoning Administrator Zornes approved design review application SC23-0010 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

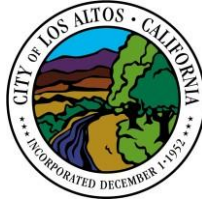
POTENTIAL FUTURE AGENDA ITEMS

None.

ADJOURNMENT

Zoning Administrator Zornes adjourned the meeting at 4:16 PM.

Nick Zornes
Zoning Administrator



TO: Nick Zornes, Zoning Administrator

FROM: Jia Liu, Associate Planner

SUBJECT: SC23-0015 – 628 Cuesta Drive

RECOMMENDATION

Approve design review application SC23-0015 for modifications to an approved residential addition project (file No. SC21-0046) to allow a 2,257 square foot first floor addition and 1,077 square foot second floor addition to an existing home; subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15301 (“Existing Facilities”).

BACKGROUND

Project Description

- Project Location: 628 Cuesta Drive, located on south side of Cuesta Drive between Springer Road and Campbell Avenue
- Lot Size: 11,850 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: Under construction with the existing second story demolished.

On May 4, 2022, the Design Review Commission (DRC) approved design review application (SC21-0046) for a 26 square-foot first floor addition and 542 square-foot second floor addition to an existing two-story home. The Design Review SC21-0046 agenda package for the May 4, 2022 DRC meeting is provided in Attachment A. The proposed addition on the second floor was designed to connect to the existing second floor which was granted a variance in 1964 (64-V-184) for a five-foot, second-floor side setback reduction to the required 15-foot setback. A building permit (BLD22-01535) was issued on May 12, 2023, for the construction of the approved project.

On July 19, 2023, a Stop Work Order was issued by the Building Division because portions of the original first floor and entire second floor which were shown to remain on the approved plans were demolished down to the foundation. Since the demolition removed the original second floor, the allowance of the reduced second floor setback granted by the variance was nullified and the second floor must be rebuilt to comply with current development standards, including the current second floor setback. Additionally, because the home no longer contains a second floor, the rebuilding of the second floor requires review by the Zoning Administrator at a public hearing per Section 14.76.040.

Zoning Administrator
SC23-0015 – 628 Cuesta Drive
October 4, 2023

The applicant has modified the project scope to accommodate the current development standards which includes the following modifications:

- Demolition of the original 578 square-foot second floor.
- Redesign of the second-story addition with a side setback of 18.96 feet and a total area size of 1,077 square feet.
- Addition of 172 square feet to the first floor to support the redesign of the second floor.
- Corresponding exterior changes at both the first and second floor.

ANALYSIS

Design Review

The modified project complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	2,039 square feet	2,257 square feet	3,555 square feet
FLOOR AREA: First floor Second floor Total	2,039 square feet 578 square feet 2,039 square feet	2,257 square feet 1,077 square feet 3,334 square feet	3,935 square feet
SETBACKS: Front Rear Right side (1 st /2 nd) Left side (1 st /2 nd)	25 feet 52.83 feet 21.17 feet/-- feet 10 feet/-- feet	25 feet 25.00 feet 20.17 feet/ 58.08 feet 10 feet/18.96 feet	25 feet 25 feet 10 feet/17.5 feet 10 feet/17.5 feet
HEIGHT:	19.67 feet	22.96 feet	27 feet

The modified project continues to comply with the Single-Family Residential Design Guidelines because it exhibits an appropriate design with elements, materials, scale, and landscaping that are consistent with the neighborhood.

The surrounding neighborhood is considered a Consistent Character Neighborhood after the original two-story house was demolished according to the Design Guidelines. The immediate neighborhood is comprised of one-story houses with mostly ranch styles. The homes in the neighborhood exhibit similar front setback patterns, massing, and a combination of simple and complex roof forms due to past renovations and upgrades. The horizontal eave lines at the first story typically range from approximately eight to nine feet in height. Many of the homes feature attached garages in the front yard facing the street.

The front elevation of the proposed two-story house is designed in a modern ranch architectural style to be compatible with the surrounding neighborhood, incorporating hipped roof forms, articulated architectural massing on both the first and second floors, a horizontal eave line, and a four-foot and 10-inch projected entry porch with high-quality materials that are integrated into the overall architectural

design of the residence. The project was also found to minimize bulk by maintaining the same plate heights as approved in SC21-0046 including the first story plate heights of eight feet and nine feet and second-story plate height of eight feet and two inches.

The applicant will maintain all the existing evergreen screen vegetation and trees onsite as illustrated on Sheet A-1.3 of project plans (Attachment B).

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and preserves existing trees.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15301 (“Existing Facilities”) of the California Environmental Quality Act because it involves an addition to an existing single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was posted on the property, mailed to property owners within a 300-foot radius, and published in the Town Crier newspaper. The applicant also posted the public notice sign (24” x 36”) in conformance with the Planning Division posting requirements.

The applicant contacted nine neighbors in the immediate area for the community outreach. No comments from neighbors have been received by staff as of the writing of this report.

Attachment:

- A. SC21-0046 Agenda Package for the May 4, 2022 DRC Meeting
- B. Project Plans

Cc: Yun Li, Applicant and Property Owner

FINDINGS

SC23-0015 – 628 Cuesta Drive

With regard to the proposed second-story residential addition, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

- A. The proposed residential addition at both first and second floor complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home maintains a similar finished floor elevation and orientation on the lot as the existing home and complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06.
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized because the existing site is relatively level and does not require substantial grading and does not involve the removal of soil. No existing protected trees will be removed as part of the project.
- D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because the proposed structure incorporates architectural design features such as moderate scale, horizontal eave lines, building articulation, and roof forms that break up the massing and minimize excessive bulk.
- E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings on the same project site. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including composition shingle roofing, fiber cement siding exterior finish with fiber cement trims, fiber glass framed windows and doors.
- F. The proposed residential addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the because the site is relatively flat and has incorporated softscape and hardscape surfaces into the plan and proposes a drainage plan to minimize off-site stormwater drainage.

CONDITIONS OF APPROVAL

SC23-0015 – 628 Cuesta Drive

GENERAL

1. **Expiration**

The Design Review Approval will expire on October 4, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

The approval is based on the plans and materials received on August 30, 2023, except as may be modified by these conditions.

3. **SC21-0046 Conditions of Approval**

Otherwise modified by this design review approval, the Design Review Application SC21-0046 Conditions of Approval shall remain in full effect and valid for the life of the project.

4. **Building Permit**

Prior to continuation of the construction, the applicant shall apply for a revision to the issued building permit to the Building Division and obtain the approval of the revision.

5. **Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

7. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

8. **Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.

9. **Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

10. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO FINAL INSPECTION**11. Landscaping Installation and Verification**

All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package.

12. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).



DATE: May 4, 2022

AGENDA ITEM #3

TO: Design Review Commission

FROM: Jia Liu, Associate Planner

SUBJECT: SC21-0046 – 628 Cuesta Drive

RECOMMENDATION:

Approve design review application SC21-0046 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for residential additions to an existing two-story single-family residence. The project includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. The project is categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Residential

ZONING: R1-10

PARCEL SIZE: 11,850 square feet

MATERIALS: Composite shingles, fiber cement siding, fiberglass window frame with fiber cement trims

	Existing	Proposed	Allowed/Required
COVERAGE:	2,039 square feet	2,113 square feet	3,555 square feet
FLOOR AREA:			
First floor	2,039 square feet	2,065 square feet	3,935 square feet
Second floor	578 square feet	1,120 square feet	
Total	2,617 square feet	3,185 square feet	
SETBACKS:			
Front	25.83 feet	25.83 feet	25 feet
Rear	43.75 feet	43.75 feet	25 feet
Left side (1 st /2 nd)	10 feet/10 feet	10 feet/18.96 feet	10 feet/17.5 feet
Right side (1 st /2 nd)	20.17 feet/65.42 feet	20.17 feet/57.3 feet	10 feet/17.5 feet
HEIGHT:	19.67 feet	21.25 feet	27 feet

It should be noted that the applicant did not include the new porch into the proposed site coverage. As a condition of approval, the applicant shall include the proposed porch into the lot coverage in the construction drawings.

BACKGROUND

On March 2, 2022, the Design Review Commission held a public meeting to consider the proposed project. Following a presentation by staff and input from the applicant and public comments, the Commission discussed the proposed project and voted unanimously (3-0), with Commissioner Blockhus recusal and Commissioner Harding absent, to continue the project with the following direction:

- Provide documentation of conversations with the neighbors at the rear showing they have reviewed the plans, their concerns about privacy impacts have been addressed, and are in agreement with the proposed design;
- There are discrepancies between the depicted existing elevations and the actual building elevations. Applicant shall revise the existing elevation plans to reflect the actual conditions;
- A better materials board shall be prepared to present the exterior materials upgrades;
- Applicant shall review Section 5.4 of the Residential Design Guidelines and use appropriate design mitigations including but not limited to roof eave lines, distinct exterior materials, and incorporation of a projected covered porch to reduce the perception of the bulk and massing;
- Applicant shall reconsider the rear facing windows to reduce the visual impact as well as light impact to the rear neighbors fronting Arboleda Drive; and
- A full landscaping plan shall be provided and included.

DISCUSSION

Design Revisions

According to the Design Review Commissioner's direction, the following revisions and efforts have been completed by the applicant and incorporated into the package as presented in the meeting package.

1. The applicant communicated with the adjacent neighbors and provided a support letter and email responses from the adjacent neighbors to document the agreement of the current design.
2. The existing front elevation was updated to reflect the real conditions.
3. The materials board on Sheet A-6 was updated with more details.
4. Following the Section 5.4 of the Residential Design Guidelines, the applicant made the following modifications to mitigate the bulk and massing:
 - Added architectural elements including a porch to the existing entrance and roof projections between the first story and existing second story;
 - Applied distinct exterior materials including horizontal siding at the first floor with stone veneer wainscoting at the garage and vertical siding at the second floor; and
 - Centered the garage door and made the existing garage and second-story element symmetric.

5. The master bedroom window at the second story was changed from six feet in width by five feet in height with two-foot, six-inch windowsill height to five feet in width by four feet in height with three-foot, six-inch sill height to reduce the privacy and light impact.
6. A full landscaping plan was updated and included in the plan set.

The applicant's revised plan (Attachment H) includes the revisions and items addressed above. The applicant's response letter is also provided as Attachment C.

Environmental Review

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves the construction of an addition to an existing single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Cuesta Drive and Arboleda Drive. The applicant has also updated the Notice of Development Proposal (Attachment D) with the current design to avoid confusion. The latest design and plans for clarifying the privacy mitigation have also been presented to the adjacent neighbors by the applicant as directed by the Design Review Commission. Upon the communications, adjacent neighbors provided support letter or positive email correspondences (Attachment E) showing no objections with the current design.

Cc: Yun Li, Property Owner and Applicant
Jenny Zhao, Designer

Attachments:

- A. Design Review Commission Minutes, March 2, 2021
- B. Design Review Commission Agenda Report, March 2, 2021
- C. Applicant Response Letter
- D. Proof of Public Notice
- E. Public Correspondence
- F. Material Boards
- G. Design Review Commission Project Plans, March 2, 2022
- H. Design Review Commission Project Plans, May 4, 2022

FINDINGS

SC21-0046 – 628 Cuesta Drive

With regard to design review for the two-story addition to an existing two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC21-0046 – 628 Cuesta Drive

GENERAL

1. Expiration

The Design Review Approval will expire on May 4, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on April 21, 2022, except as may be modified by these conditions.

3. Plan Revisions

Update the construction drawing on Sheet A-1, the “Proposed Lot Coverage” shall be revised from 2,066 square feet to 2,113 square feet to include the proposed porch.

4. Protected Trees

Trees Nos. 1-8, 16-21, and 25 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. Landscaping

The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City’s Model Water Efficient Landscape Ordinance.

6. Wainscoting Return

The proposed wainscoting with stone veneer at the exterior wall of the garage shall have the left (east)-side return along the left (east)-side elevation that end at least where the fence will be installed.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

11. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

12. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the driplines of trees Nos. 1-8, 16-21, and 25 as shown on the Tree Protection Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction

has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

19. Landscaping Installation

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

20. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

21. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).



A-1	COVER SHEET
A-1.1	EXISTING / PROPOSED SITE PLAN
A-1.2	SITE CONTEXT
A-1.3	TREE PROTECTION PLAN
A-2.1	EXISTING + DEMO FLOOR PLAN - LEVEL 1
A-2.2	PROPOSED FLOOR PLAN - LEVEL 1
A-2.3	EXISTING + DEMO FLOOR PLAN - LEVEL 2
A-2.4	PROPOSED FLOOR PLAN - LEVEL 2
A-2.5	EXISTING + DEMO / PROPOSED FLOOR PLAN - ROOF
A-3.1	EXISTING / PROPOSED ELEVATIONS
A-3.2	EXISTING / PROPOSED ELEVATIONS
A-3.3	EXISTING / PROPOSED ELEVATIONS
A-3.4	EXISTING / PROPOSED ELEVATIONS
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS
A-4.3	EXTERIOR BOARD
A-6.1	RENDERING

INDEX

1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
2. BEFORE STARTING ANY PORTION OF WORK, THE CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS AGAINST THE ACTUAL EXISTING CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER THE WORK HAS STARTED ANY DISCREPANCIES, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE DESIGNER, AT NO EXTRA COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL OR STATE CODES AND REGULATIONS.
5. ALL MATERIAL, EQUIPMENT AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.
6. ALL DIMENSIONS ARE ROUGH UNLESS OTHERWISE NOTED. ALL CABINETS, TILE AND THE LIKE NEED TO BE FIELD VERIFIED PRIOR TO INSTALLATION.
7. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AS SOON AS THEY ARE DISCOVERED.
8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES OR FAILURE OF THE CONTRACTOR TO VERIFY LOCATIONS AND MEASUREMENTS ON THE JOB.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING, OR OTHER PERMITS AS MAY BE REQUIRED BY THE LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE STRUCTURAL ENGINEER FOR ANY SITE VISITS OR SPECIAL TESTING AS NEEDED TO COMPLETE ALL STRUCTURAL WORK AS DIRECTED BY THE STRUCTURAL ENGINEER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING ALL SHOP DRAWINGS TO THE DESIGNER FOR REVIEW AND APPROVAL. NO FABRICATION SHALL COMMENCE UNTIL BOTH DESIGNER AND OWNER HAVE REVIEWED AND APPROVED BY SIGNATURE ALL SHOP DRAWINGS.

GENERAL NOTES

1. INDOOR WATER USE: 1.28 GAL/FLUSH AT WATER CLOSETS, 1.8 GPM AT SHOWER HEAD @ 80PSI, 1.2 GPM AT LAVATORY FAUCET @ 60PSI, AND 1.8 GPM AT KITCHEN FAUCET @ 60PSI.
2. SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. (4.303.1.4)
3. FAUCETS: RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI. (4.303.1.4)
4. STANDARDS FOR PLUMBING FIXTURES AND FITTINGS: PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE. (4.303.2)
5. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS: RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). (4.304.1)
6. RECYCLED WATER SUPPLY SYSTEMS: NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED. (4.305.1)
7. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (4.406.1)
8. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
9. MOISTURE CONTENT OF BUILDING MATERIALS: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. (4.503.3)
10. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION: DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. (4.504.1)
11. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.1)
12. FINISH MATERIAL POLLUTANT CONTROL.
 - ADHESIVES, SEALANTS AND CAULKS: ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
 - PAINTS AND COATINGS: PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 - AEROSOL PAINTS AND COATINGS: AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (4.504.2)
13. CARPET SYSTEMS: ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
 - NSF ANSI 140 AT THE GOLD LEVEL.
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 - CARPET CUSHION: ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.
14. RESILIENT FLOORING SYSTEMS: WHERE RESILIENT FLOORING IS STALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). (4.504.4)
15. COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONT. ROL MEASURE FOR COMPOSITE WOOD (17 CFR 93.20 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTION S, AS SHOWN IN TABLE 4.504.5. (4.504.5)
16. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)
17. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)
18. HEATING AND AIR-CONDITIONING SYSTEM DESIGN: DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 5-2014 OR EQUIVALENT. (4.507.2)
19. INSTALLER TRAINING: HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (702.1)
20. INSPECTOR SHALL VERIFY THE DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED.
21. SPECIAL INSPECTION: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING (702.2)
22. DOCUMENTATION: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (703.1)
23. SCOPE: FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS. (4.201.1)
24. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1.

CALGREEN RESIDENTIAL MANDATORY NOTES

LI RESIDENCE ADDITION PROJECT

628 CUESTA DR, LOS ALTOS, CA 94024

PROJECT ADDRESS= 628 CUESTA DR, LOS ALTOS, CA 94024
A.P.N.= 189-39-052
LOT AREA 11850 SF
ZONING = R1-10
CONSTRUCTION TYPE= V-B

SETBACKS: **MAIN HOUSE**
FRONT: 25'
SIDE: 10'(FIRST LEVEL), 17.5'(SECOND LEVEL)
REAR: 25'

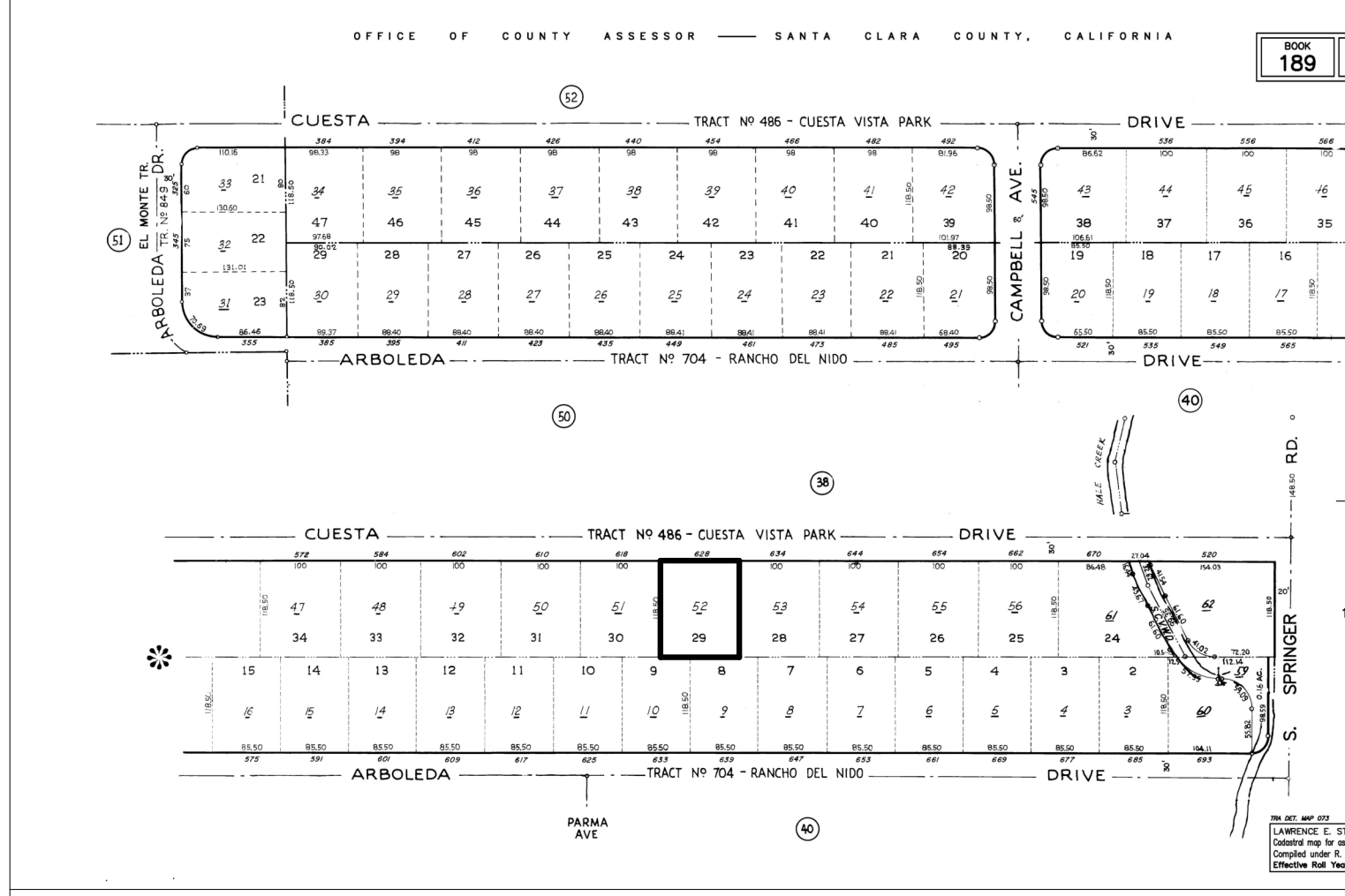
HOME FACTS:	EXISTING	PROPOSED
BEDROOMS:	5	5
BATHROOMS:	2	3.5
STORIES:	2	2

PROJECT DATA

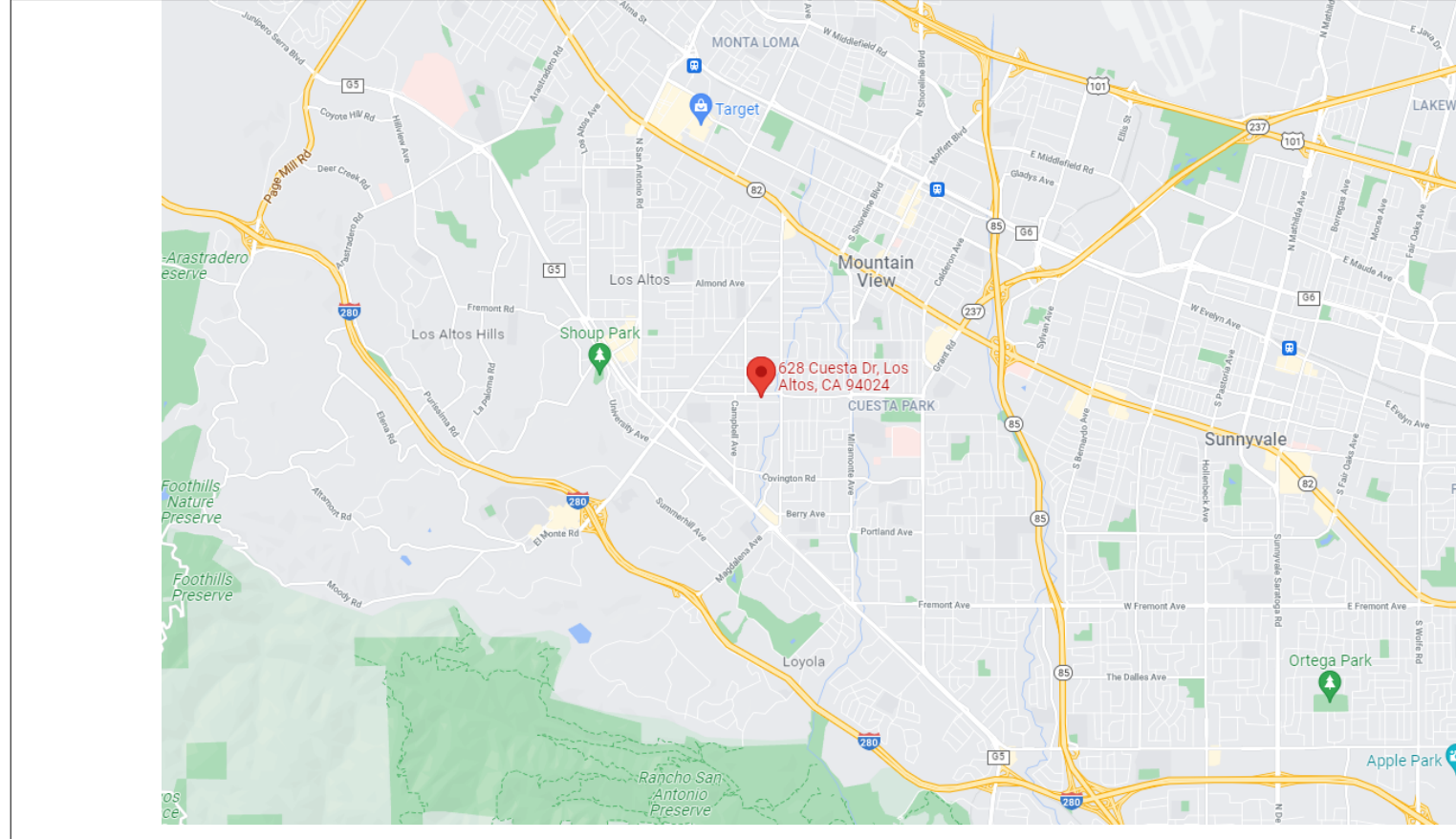
- SCOPE OF WORKS:**
 This project includes:
 1. Redesign living room / kitchen / family room layout.
 2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
 3. Change two one-car garage doors to a two-car garage door.
 4. Convert existing flat roof on level 1 to truss roof system.
 4. Upgrade existing 100A electric panel to 200A.
 5. Install a new AC unit. Replace the existing furnace.
- CODES USED:**
 The following codes are currently in effect:
 2019 California Building Code
 2019 California Residential Code
 2019 California Plumbing Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Energy Code
 2019 California Fire Code
 2019 California Existing Building Code
 2018 International Existing Building Code
 Calif. Building Energy Efficiency Standards

GENERAL NOTES

PROJECT INFORMATION



PARCEL MAP



VICINITY MAP

PROJECT SUMMARY TABLES	1" = 40'-0"	1
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DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
C	PLANNING PERMIT RESUBMITTAL #3	2/20/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

COVER SHEET

Project Number	12125
Date	4/5/2022

A-1

Scale	As indicated
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DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
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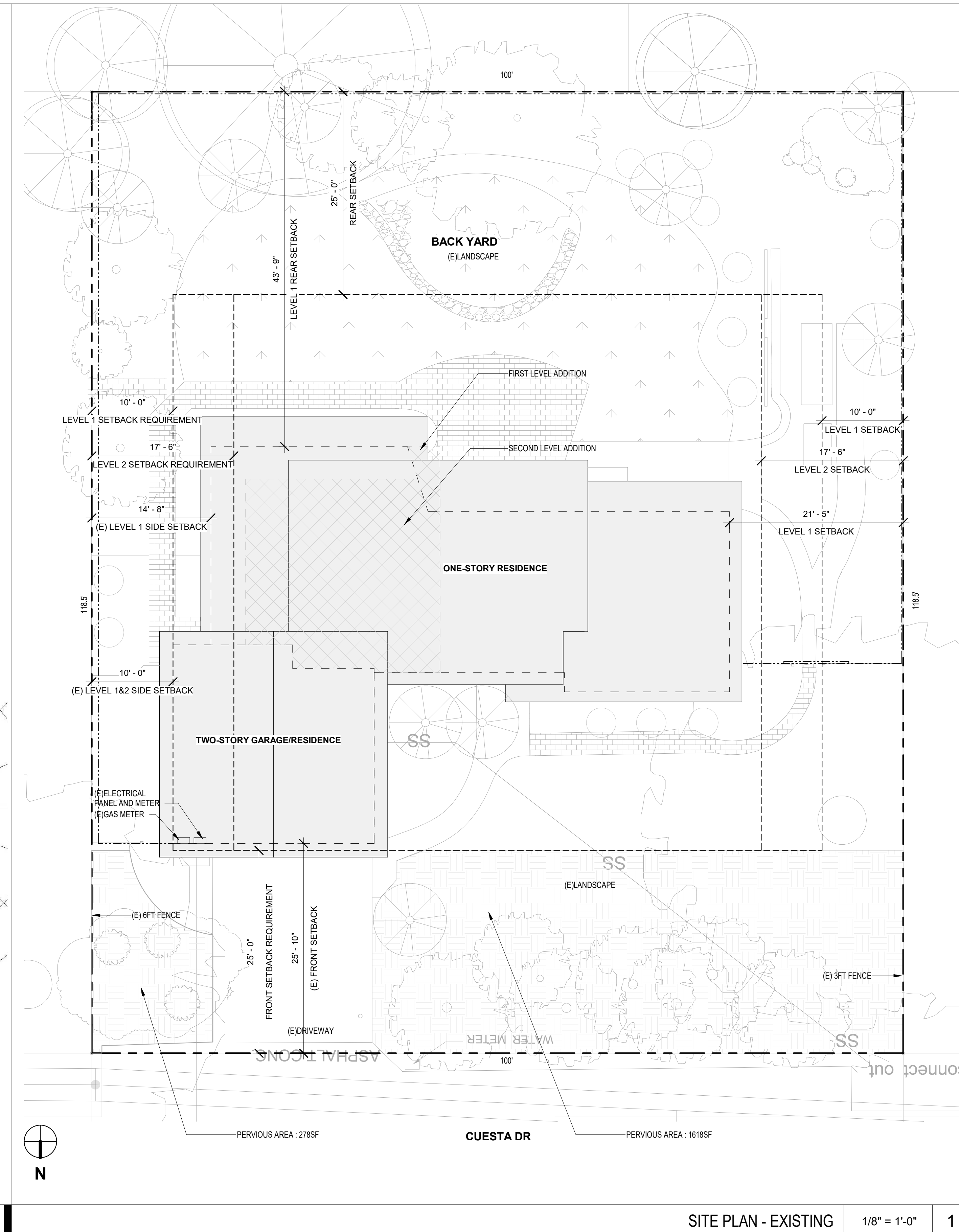
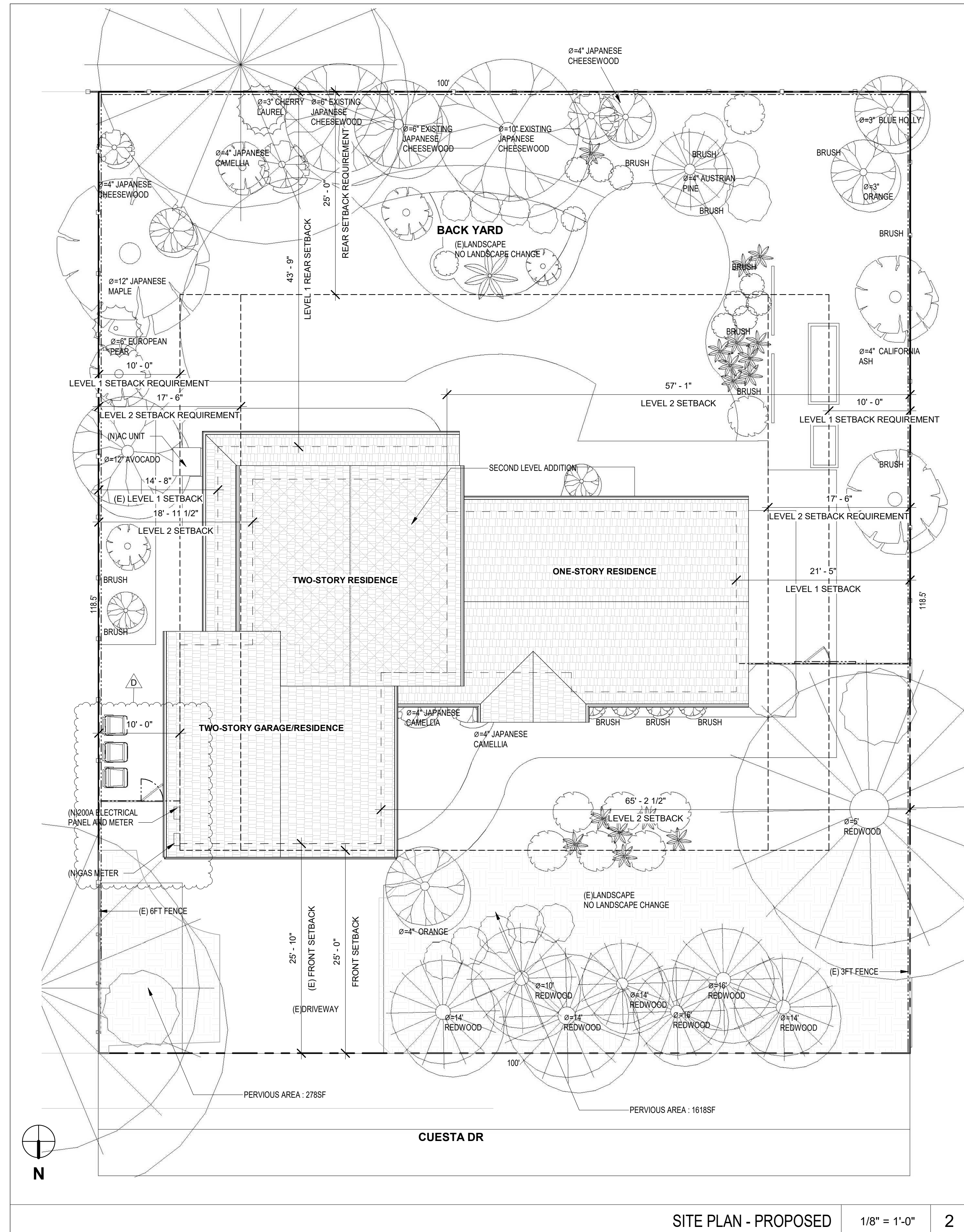
No.	Description	Date
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A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**EXISTING /
 PROPOSED
 SITE PLAN**

Project Number 12125
 Date 4/5/2022

A-1.1

Scale As indicated



SITE PLAN NOTES:

1. THE SITE IS BASICALLY FLAT. EXISTING TOPOGRAPHY, SITE FEATURES, & PROPERTY LINE BOUNDARY INFORMATION IS BASED ON INFORMATION FROM LAND SURVEYS
2. PROJECT REQUIRES MINIMAL GRADING
3. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
4. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL NEW EAVES. DOWNSPOUTS TO GO TO NEW OR EXISTING DRAINS.
5. PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.
6. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
7. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
8. TREE PROTECTION SHALL BE NO LESS THAN 5'-0" HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQ'D.
9. CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.
10. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING
11. LANDING LENGTH NEED NOT EXCEED 36" CBC 1008.1.6, WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.

12. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. NUMBERS SHALL CONTRAST BACKGROUND COLOR, BE ARABIC NUMBERS ALPHABETICAL LETTERS, MIN. 4-INCHES HIGH, 1/2-INCH WIDE, WHEN ACCESS IS BY MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE PER CFC SEC 505.1
13. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
14. CGBSC 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
15. CGBSC 4.304.1 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.



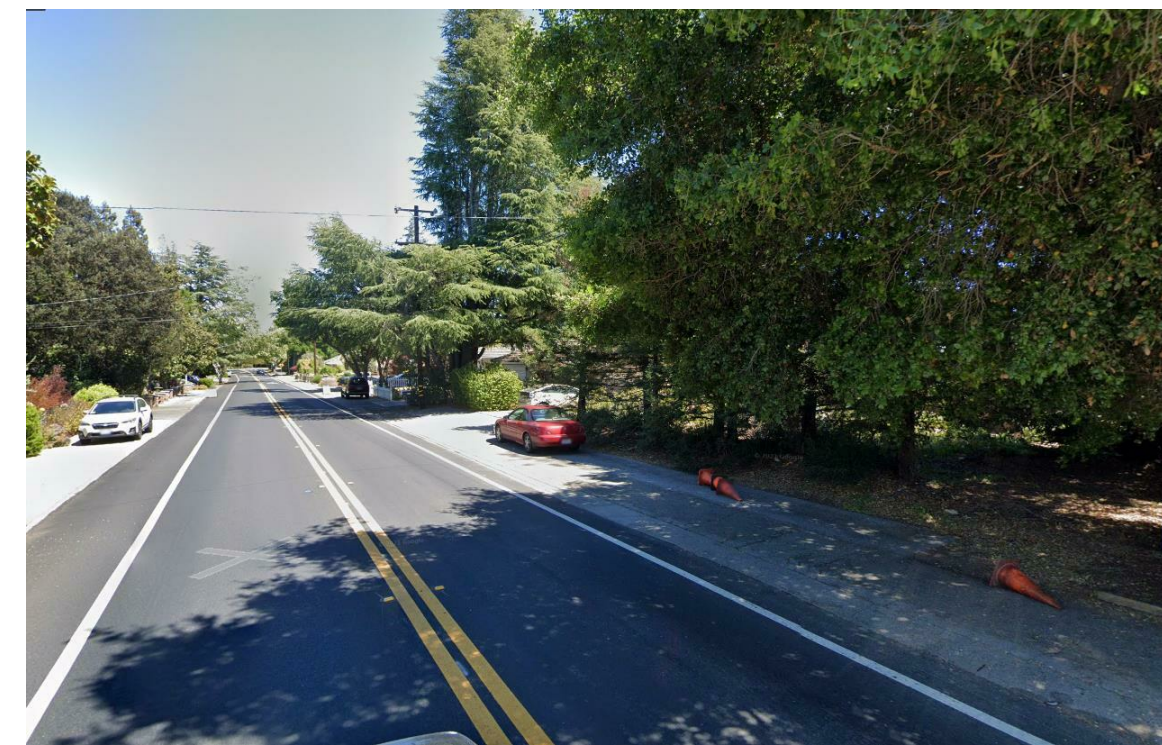
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B



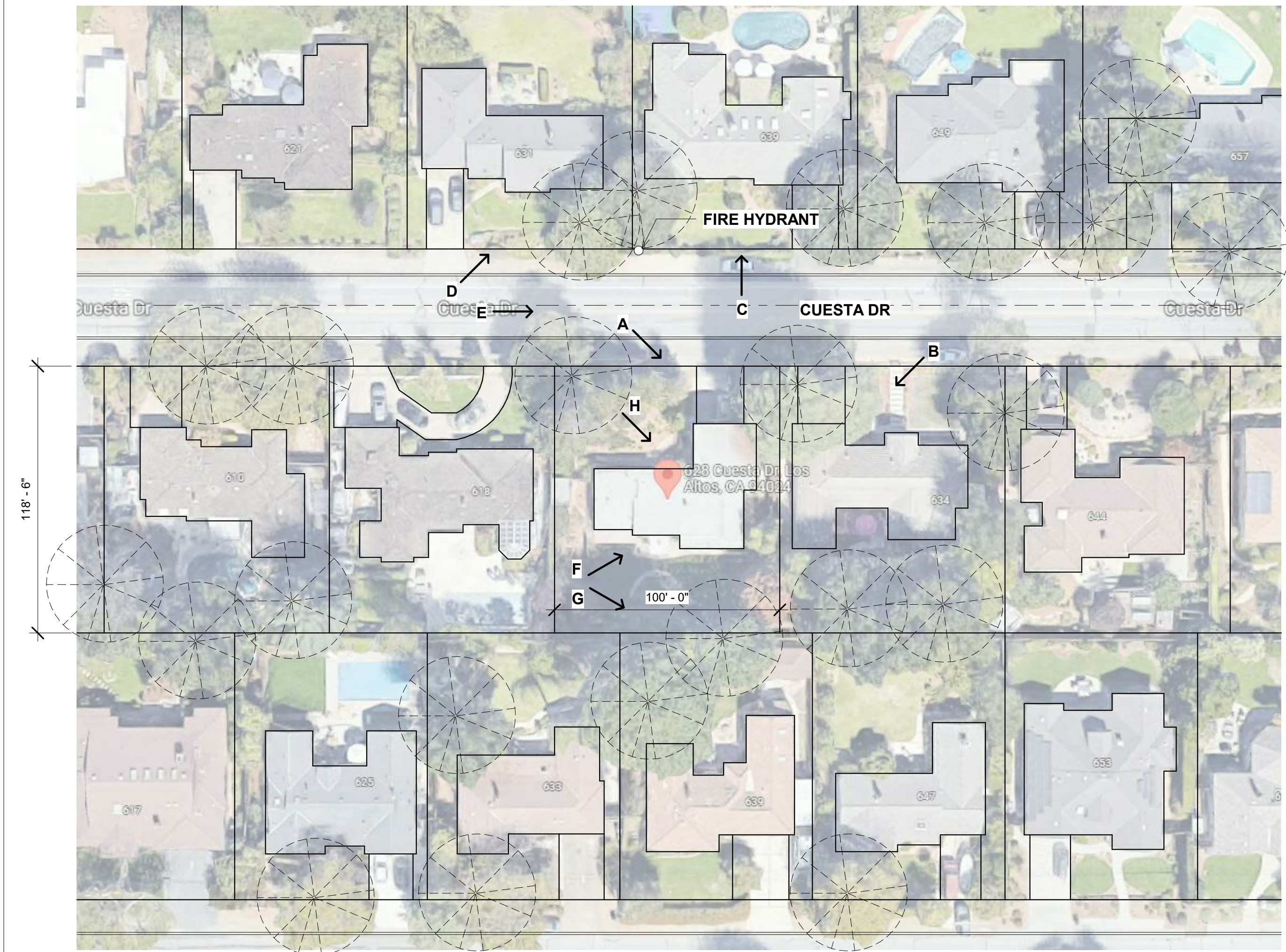
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F



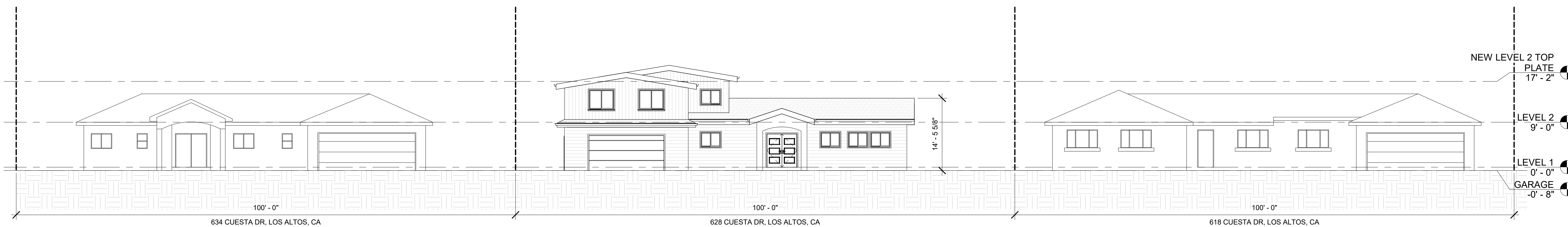
HEIGHBORHOOD CONTEXT MAP 1" = 40'-0" 1



G



H



LANDSCAPE PLAN 1

STREET SCAPE 3/32" = 1'-0" 2

DIZIGN Studio

DRAFER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA 95055
JENNYLI7945@GMAIL.COM
408-669-7945

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FOR CITY APPROVAL STAMP

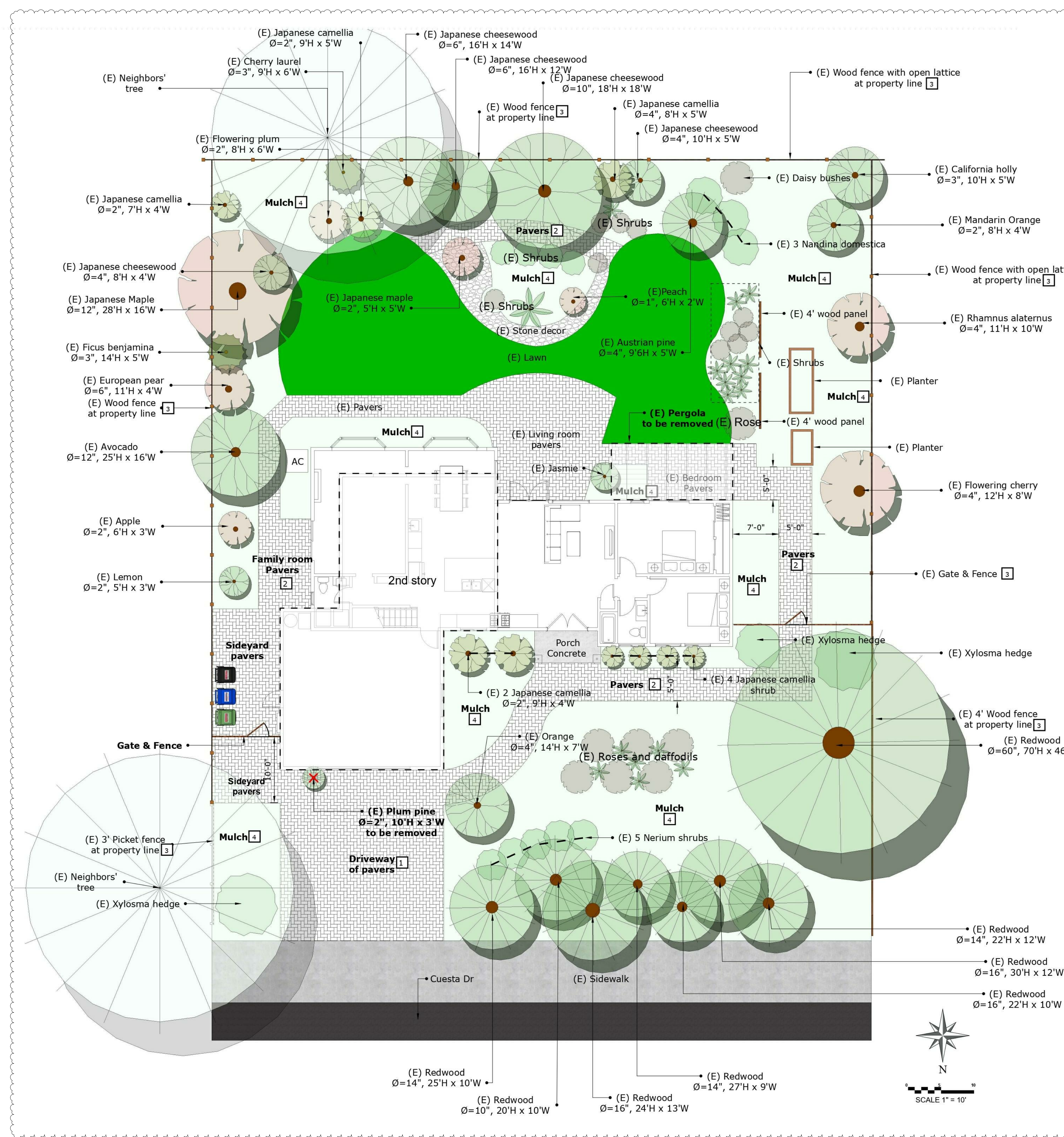
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021

SITE CONTEXT

Project Number 12125
Date 4/5/2022

A-1.2

Scale As indicated












GENERAL LEGEND

- 1 NEW DRIVEWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVER STYLE.
- 2 NEW WALKWAY PAVERS AND FAMILY ROOM PAVERS TO MATCH EXISTING LIVING ROOM PAVER STYLE.
- 3 EXISTING FENCE AND GATES TO REMAIN.
- 4 MULCH TO COVER PLANTING AREA.
- (E) EXISTING LANDSCAPING FEATURES.

LANDSCAPE SCOPE OF WORK

1. NO CHANGE TO EXISTING LAWN AND TREES EXCEPT THE PLUM PINE TREE TO BE REMOVED IN FRONTYARD.
2. NO CHANGE TO EXISTING IRRIGATION SYSTEM.
3. NO CHANGE TO EXISTING ROSES AND SHRUBS.
4. HARDSCAPE WORK INCLUDING NEW DRIVEWAY PAVERS, NEW FAMILY ROOM PAVERS AND NEW WALKWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVERS STYLE.
5. REMOVE EXISTING BACKYARD PERGOLA.
6. REPAIR BROKEN FENCES AND GATES.

EXISTING SCREENING TREES DETAILS

		
Redwood	Japanese cheesewood	Austrian pine
8 in frontyard to remain	5 in backyard to remain 20'H x 18'W at maturity Growth rate: 1-2'/year	1 in backyard to remain 50'H x 30'W at maturity Growth rate: 1-1.5'/year
		
Cherry laurel	Avocado	Ficus benjamina
1 in backyard to remain 20'H x 18'W at maturity Growth rate: 2'/year	1 in backyard to remain 25'H x 18'W at maturity Growth rate: 2'/year	1 in backyard to remain 30'H x 16'W at maturity Growth rate: 2'/year
		
Japanese camellia	Orange	California holly
2 in frontyard and 3 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'/year	1 in frontyard and 1 in backyard to remain 25'H x 18'W at maturity Growth rate: 1'/year	1 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'6'/year

SURFACE CHART

FRONTYARD HARDSCAPE (PAVERS, PORCH)	1,114 + 48 = 1,162 SF
FRONTYARD PLANTING AREA	2,859 SF
LAWN	1,264 SF
BACKYARD HARDSCAPE AREA (PAVERS, STONE DECOR)	1,229 + 120 = 1,349 SF
BACKYARD PLANTING AREA	3,041 SF

DIZIGN Studio

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1050 KIELY #3571, SANTA CLARA, CA 95055
JENNYLI7945@GMAIL.COM
408-669-7945

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ADDITION- 628
CUESTA DR**

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

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A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**TREE
PROTECTION
PLAN**

Project Number 12125
Date 4/5/2022

A-1.3

Scale

DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA
 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

NOT FOR CONSTRUCTION

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 ADDITION- 628
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OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

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No.	Description	Date
	PLANNING PERMIT	10/6/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**EXISTING +
 DEMO FLOOR
 PLAN - LEVEL 1**

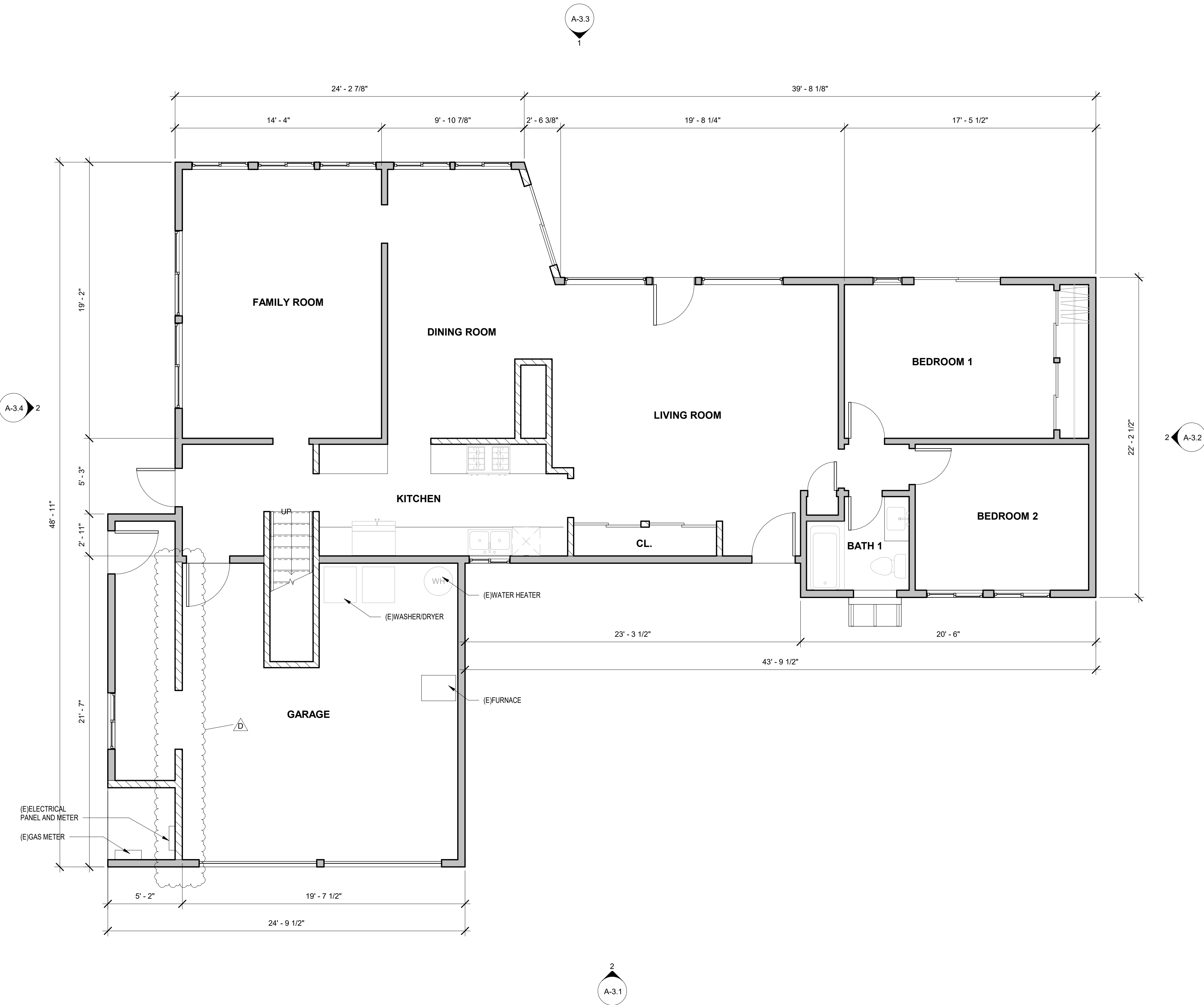
Project Number 12125
 Date 4/5/2022

A-2.1

Scale 1/4" = 1'-0"

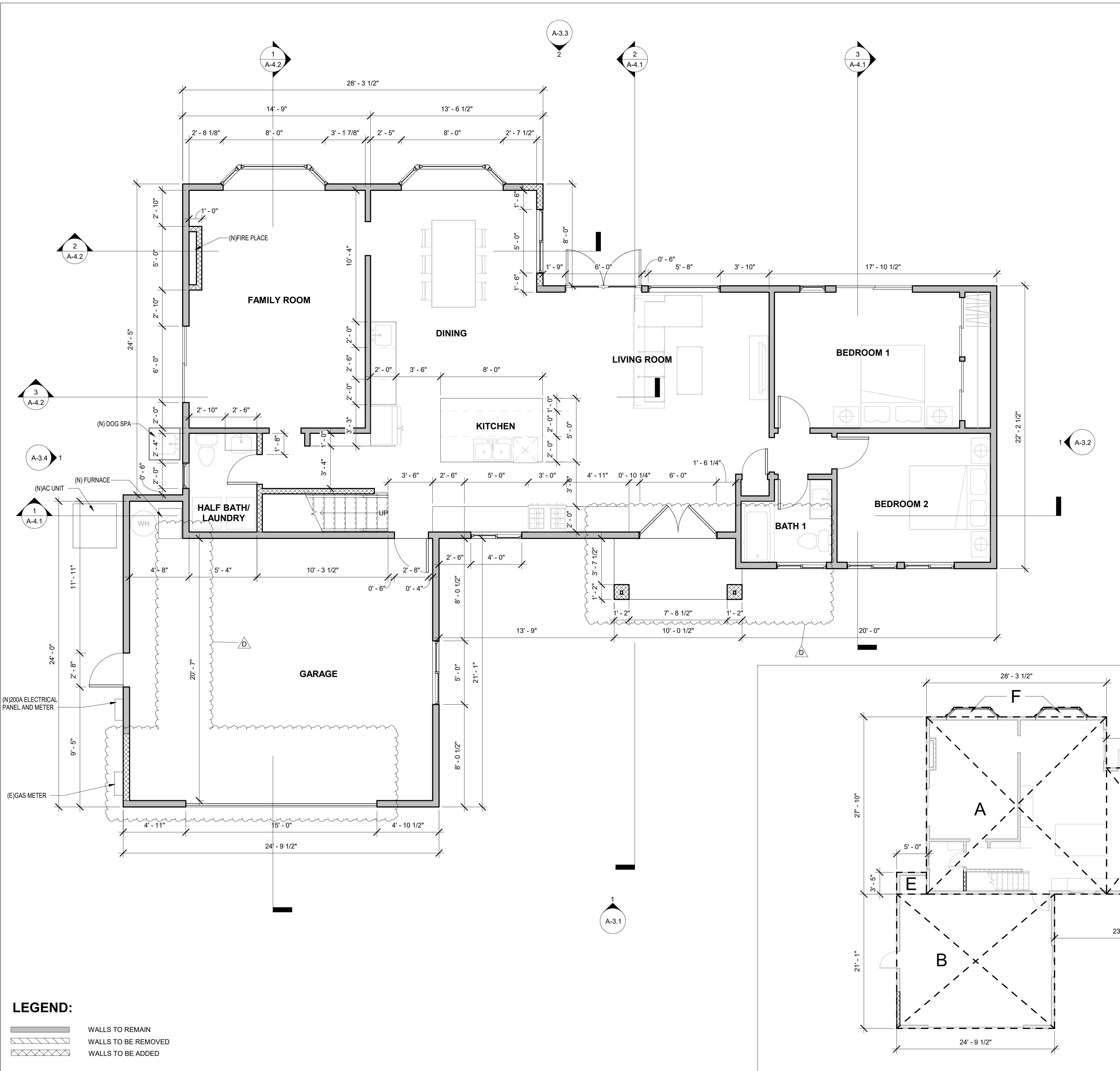
DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR URINALS
- 2.5 GPM FOR SHOWERHEAD
- 2.2 GPM FOR ANY INTERIOR FAUCETS



LEGEND:
 [Solid Line] WALLS TO REMAIN
 [Dashed Line] WALLS TO BE REMOVED
 [Cross-hatched] WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 1 1/4" = 1'-0" 1

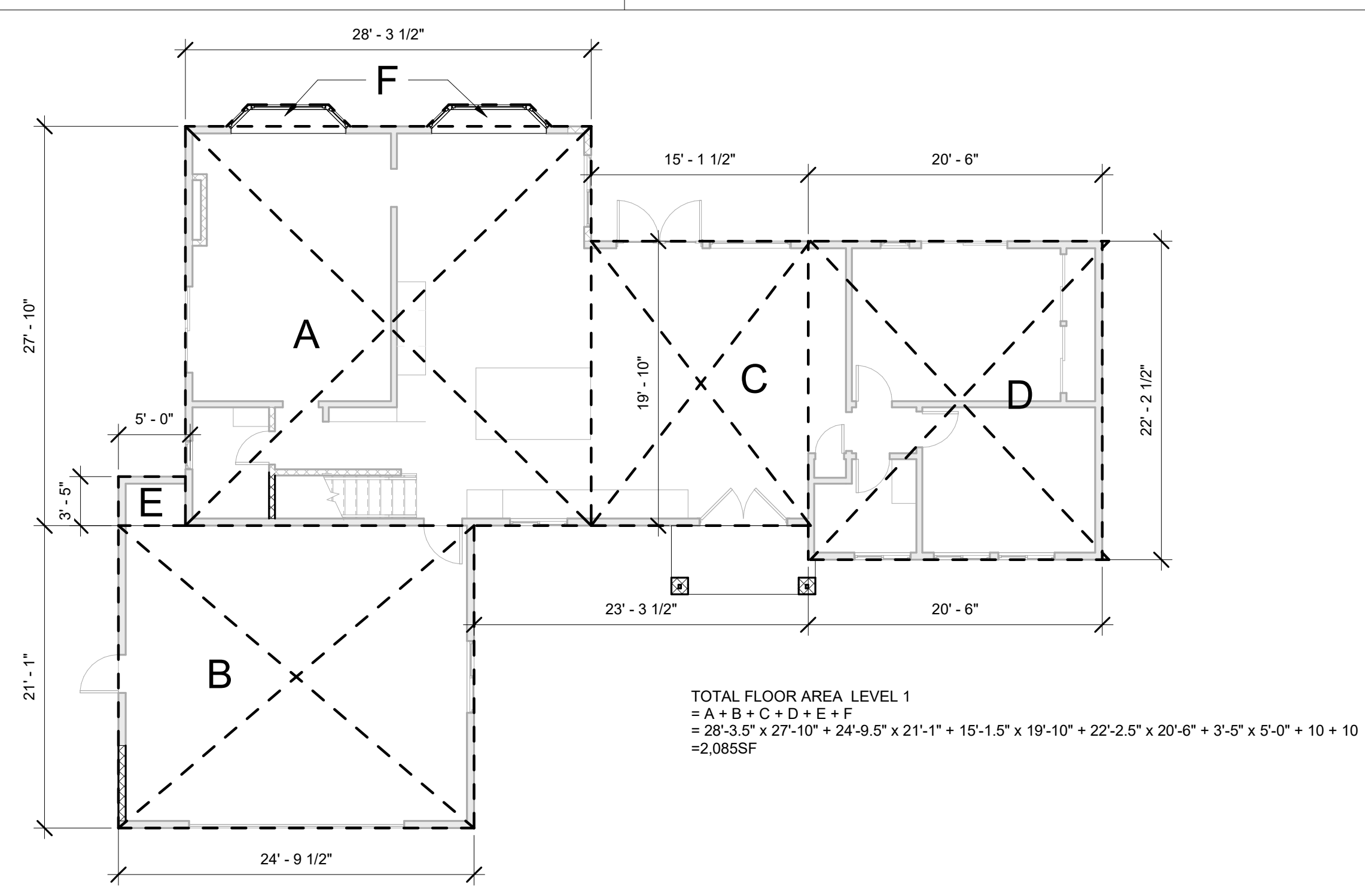


PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH/TUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOR-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1" AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

NOT FOR CONSTRUCTION

**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**PROPOSED
 FLOOR PLAN -
 LEVEL 1**

Project Number 12125
 Date 4/5/2022

A-2.2

Scale As indicated

PROPOSED FLOOR PLAN - LEVEL 1 1/4" = 1'-0" 1

PROPOSED LEVEL 1 FLOOR AREA 1/8" = 1'-0" 2

DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
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- 2.2 GPM FOR ANY INTERIOR FAUCETS

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ADDITION- 628
CUESTA DR**

OWNER : Yun Li

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FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

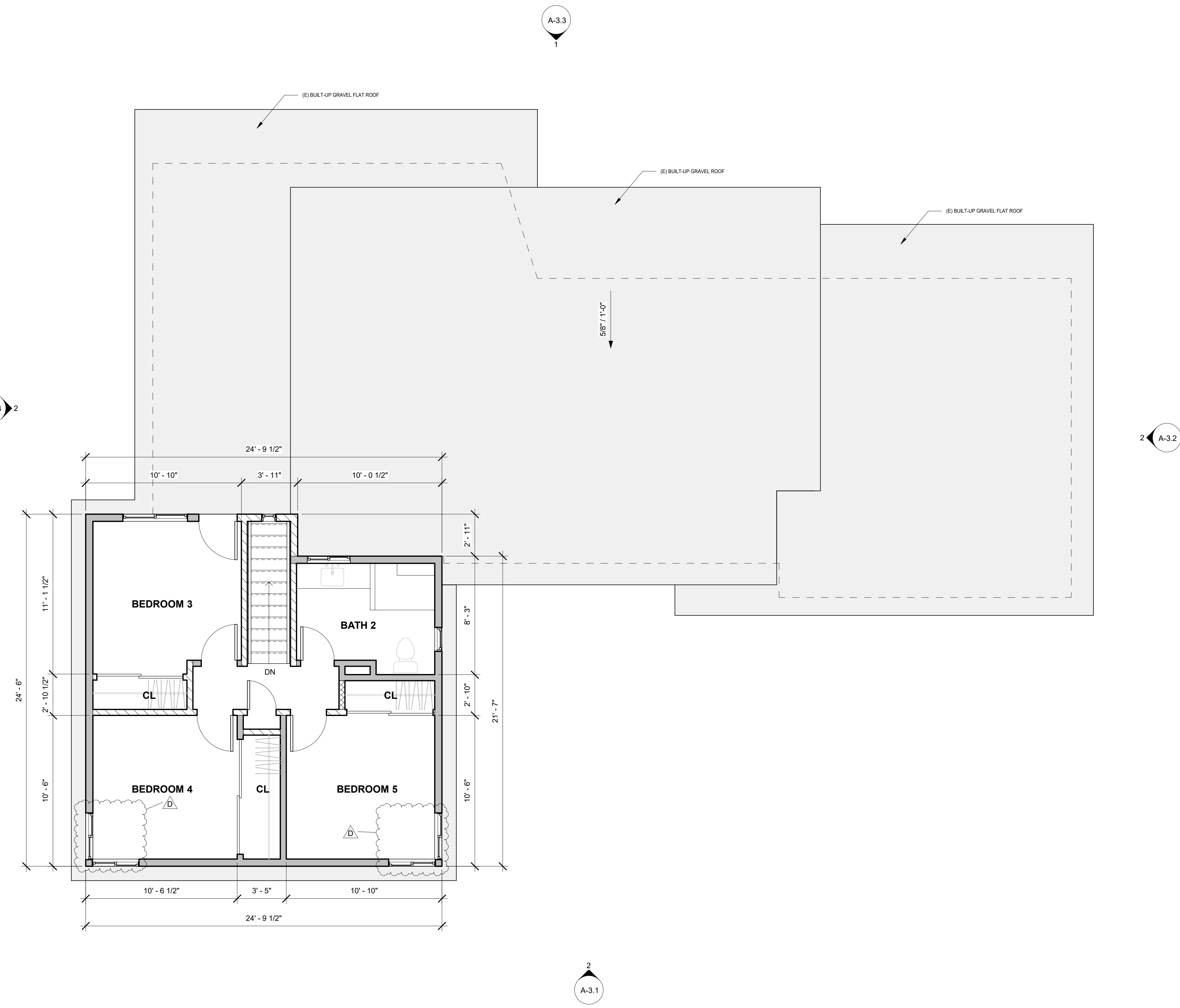
**EXISTING +
DEMO FLOOR
PLAN - LEVEL 2**

Project Number 12125

Date 4/5/2022

A-2.3

Scale 1/4" = 1'-0"



LEGEND:

- WALLS TO REMAIN
- WALLS TO BE REMOVED
- WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1

DIZIGN Studio

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FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**PROPOSED
 FLOOR PLAN -
 LEVEL 2**

Project Number 12125
 Date 4/5/2022

A-2.4

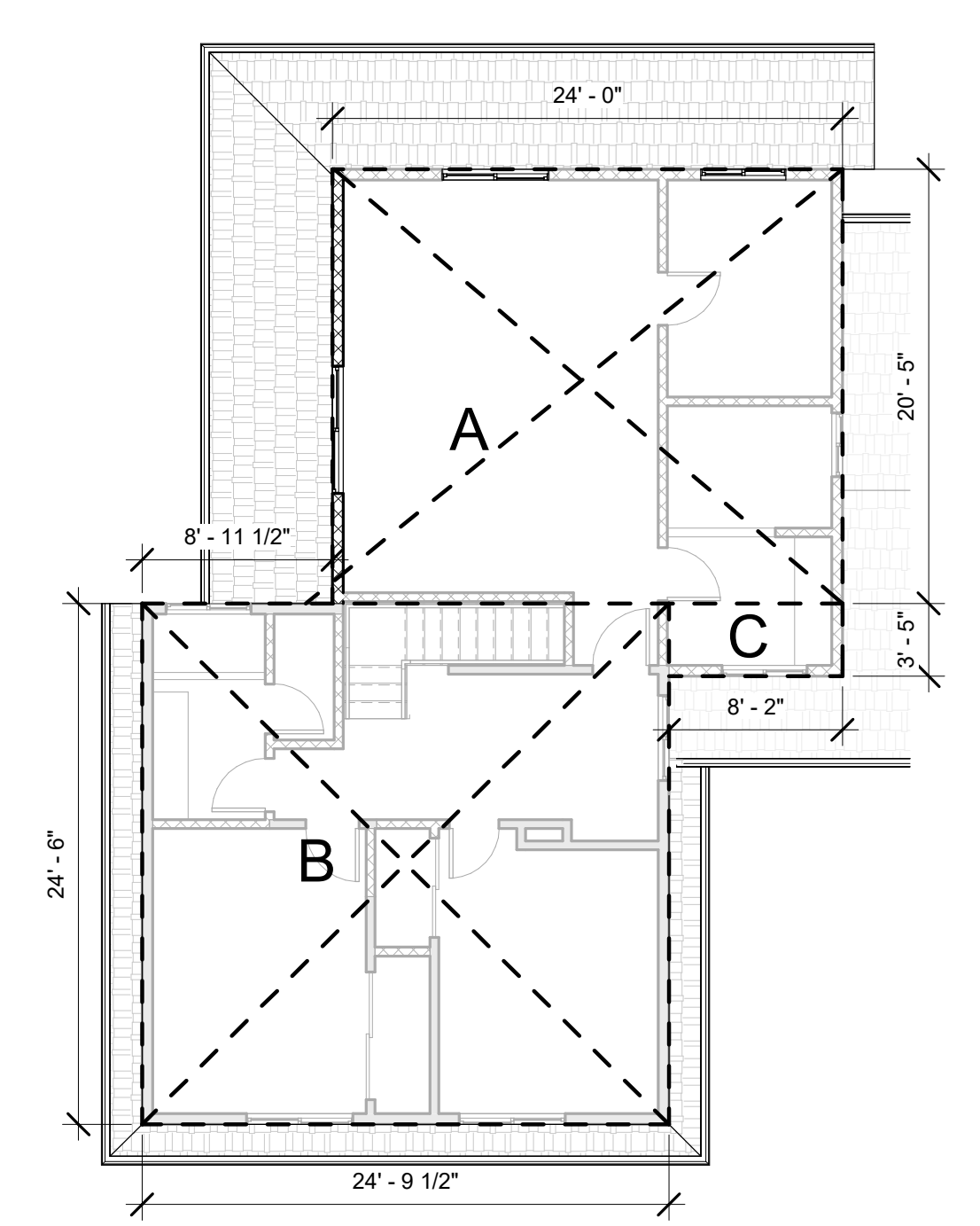
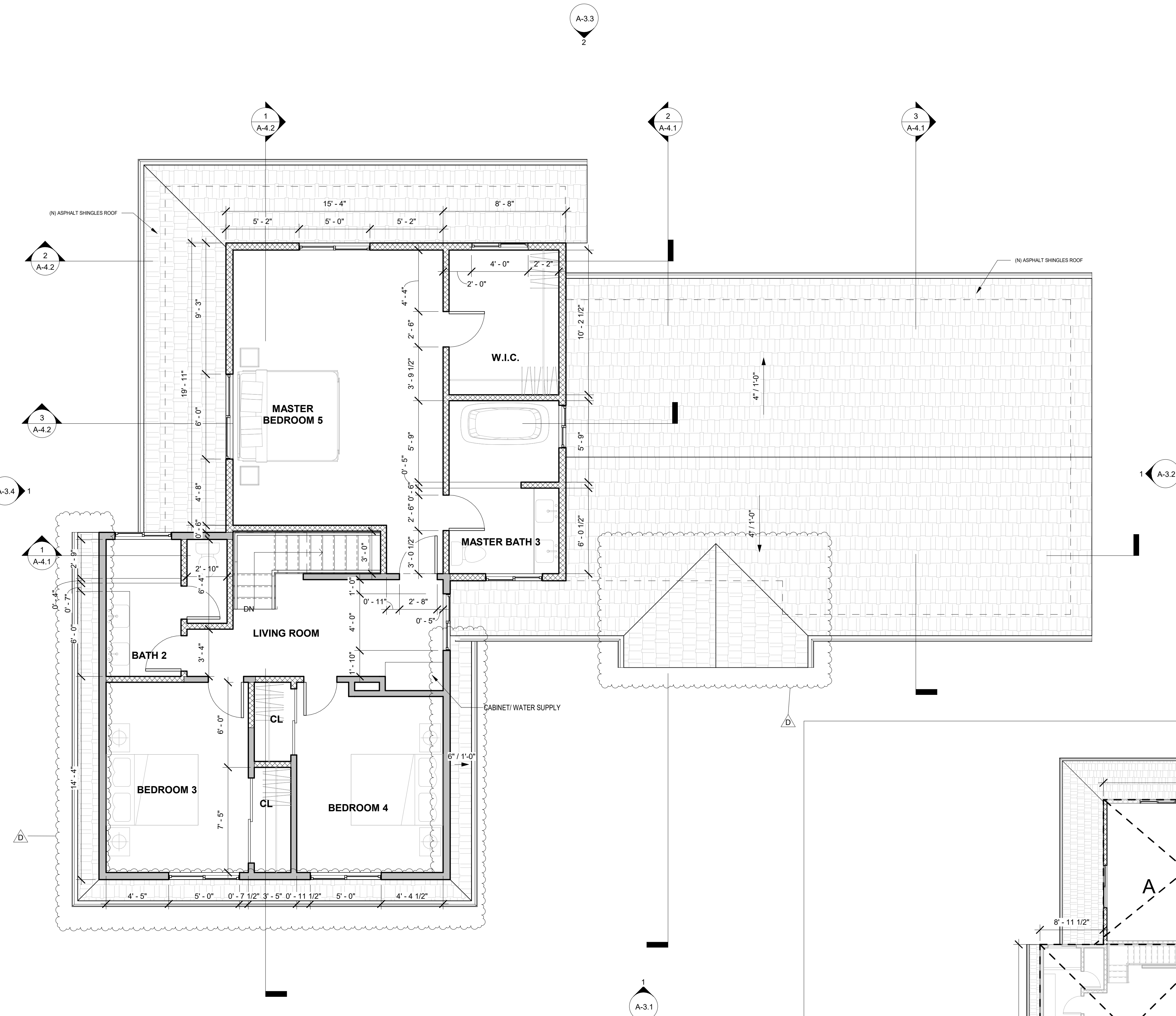
Scale As indicated

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DOOR & WINDOW NOTES:

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2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
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 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
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11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



TOTAL FLOOR AREA LEVEL 2
 = A + B + C
 = 24' x 20'-5" + 24'-9.5" x 24'-6" + 3'-5" x 8'-2"
 = 1,120SF

LEGEND:

 WALLS TO REMAIN
 WALLS TO BE REMOVED
 WALLS TO BE ADDED

PROPOSED FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1

PROPOSED LEVEL 2 FLOOR AREA 1/8" = 1'-0" 2

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FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

**EXISTING +
 DEMO /
 PROPOSED
 FLOOR PLAN -
 ROOF**

Project Number 12125
 Date 4/5/2022

A-2.5

Scale 1/4" = 1'-0"

DEMOLITION NOTES:

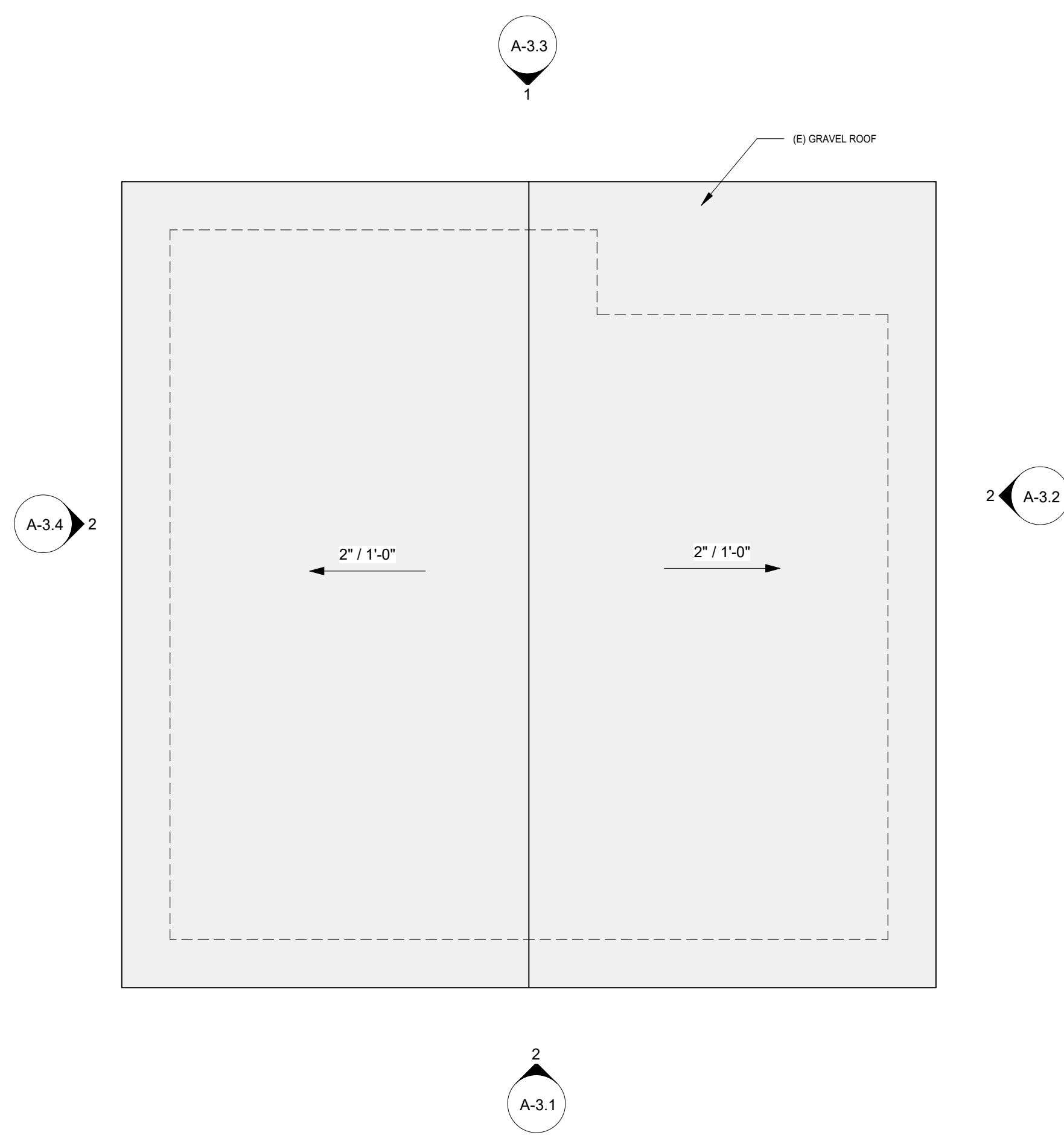
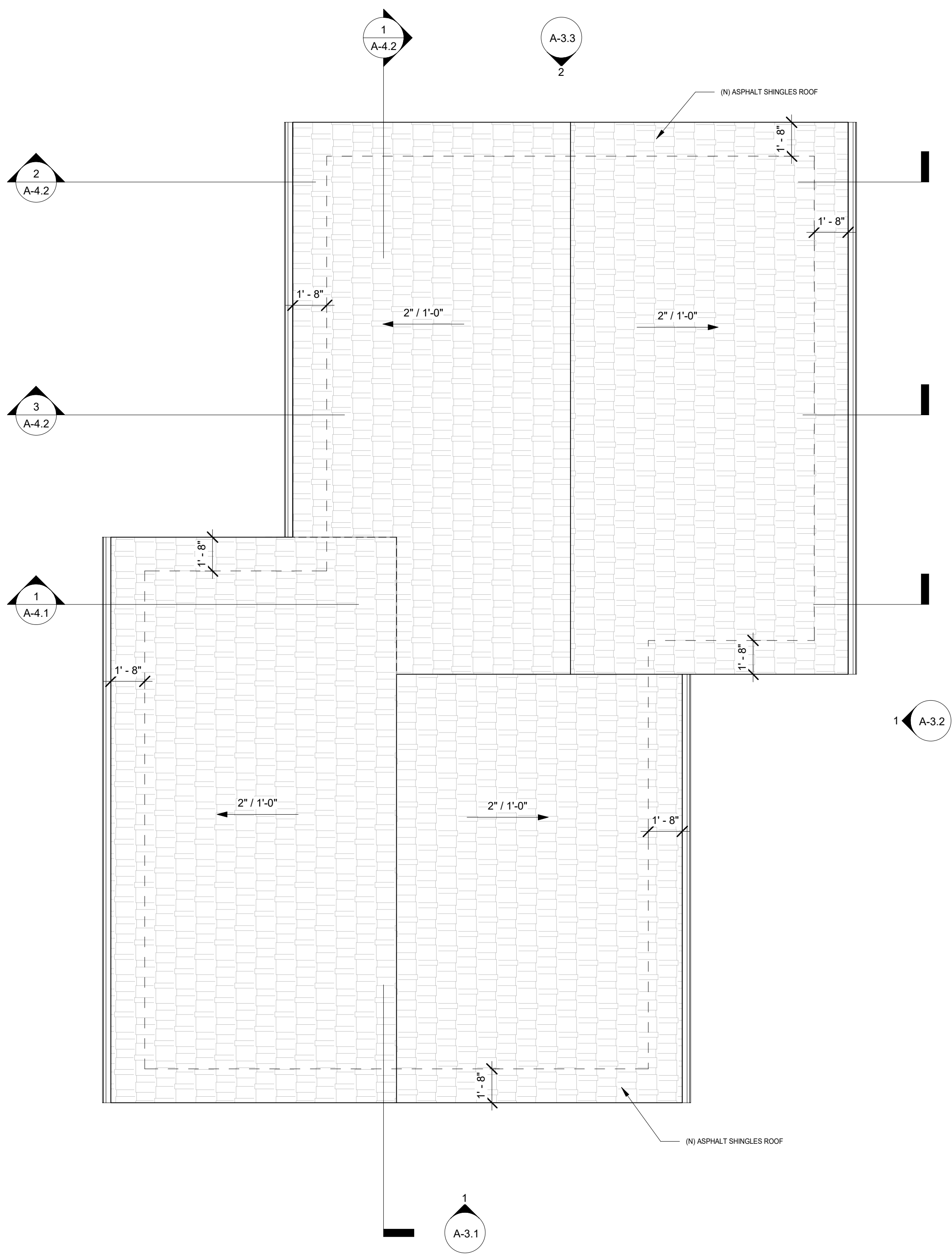
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PROPOSED FLOOR PLAN GENERAL NOTES:

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8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGSBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 A. ALL INGRESS AND EGRESS DOORS.
 B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION
 F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



EXISTING FLOOR PLAN - ROOF 1/4" = 1'-0" 1

PROPOSED FLOOR PLAN - ROOF 1/4" = 1'-0" 2

DIZIGN Studio

DRAFTER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA 95055
JENNYLI7945@GMAIL.COM
408-669-7945

NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

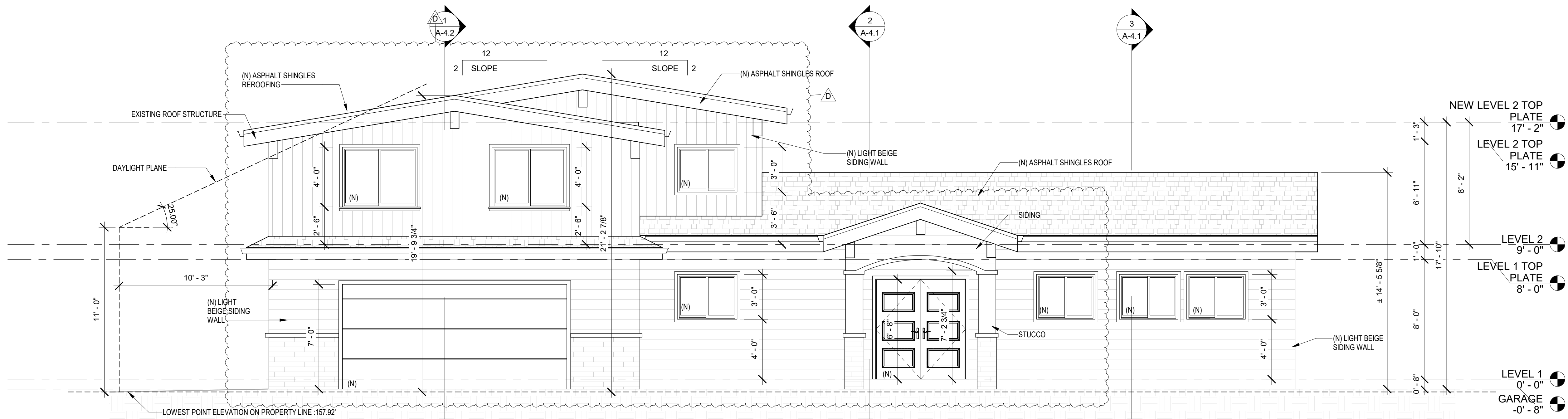
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING / PROPOSED ELEVATIONS

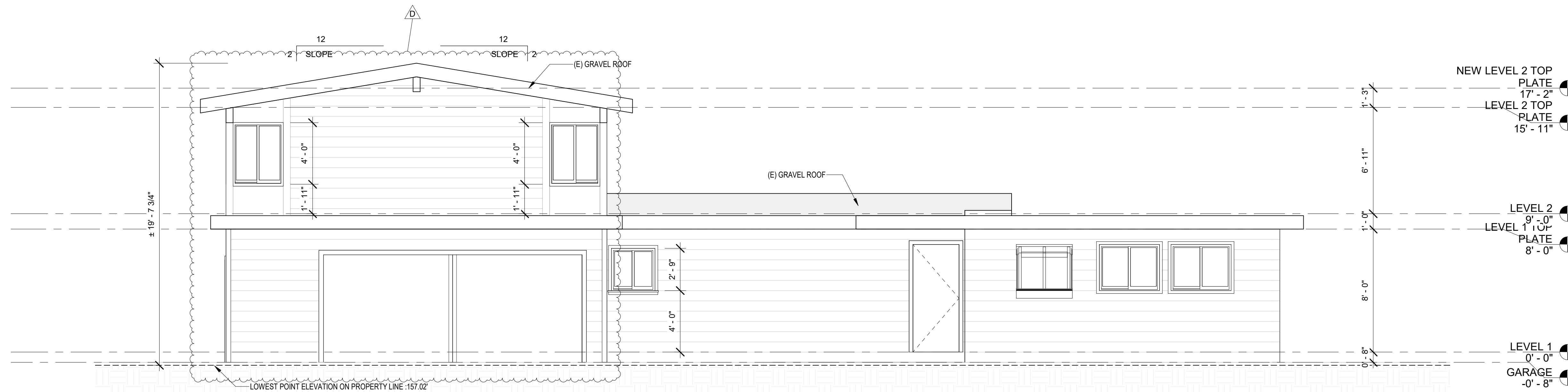
Project Number 12125
Date 4/5/2022

A-3.1

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- NORTH 1/4" = 1'-0" 1



EXISTING ELEVATION- NORTH 1/4" = 1'-0" 2

GENERAL NOTES:

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3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 (SPCB)
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
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9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
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12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

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**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

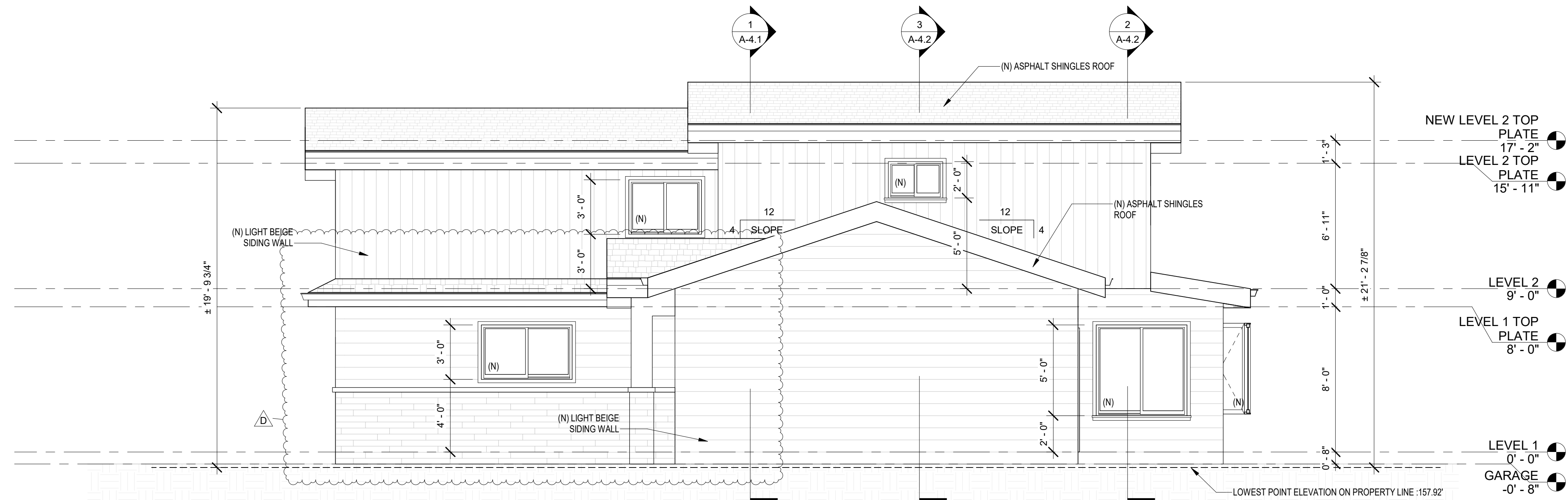
**EXISTING /
PROPOSED
ELEVATIONS**

Project Number 12125

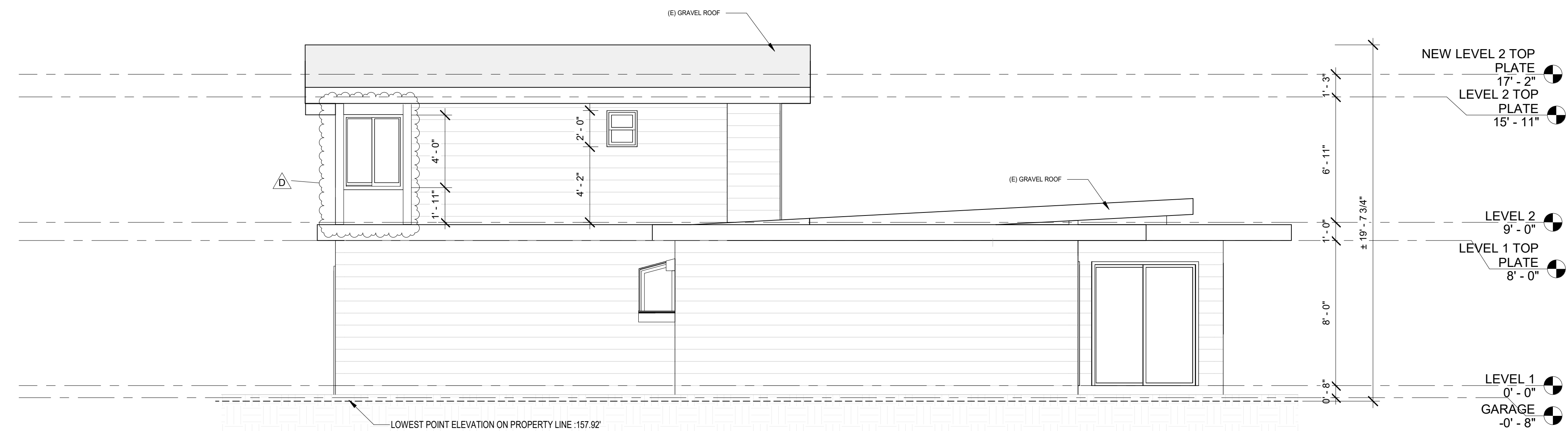
Date 4/5/2022

A-3.2

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- WEST 1/4" = 1'-0" 1



EXISTING ELEVATION- WEST 1/4" = 1'-0" 2

GENERAL NOTES:

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3. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
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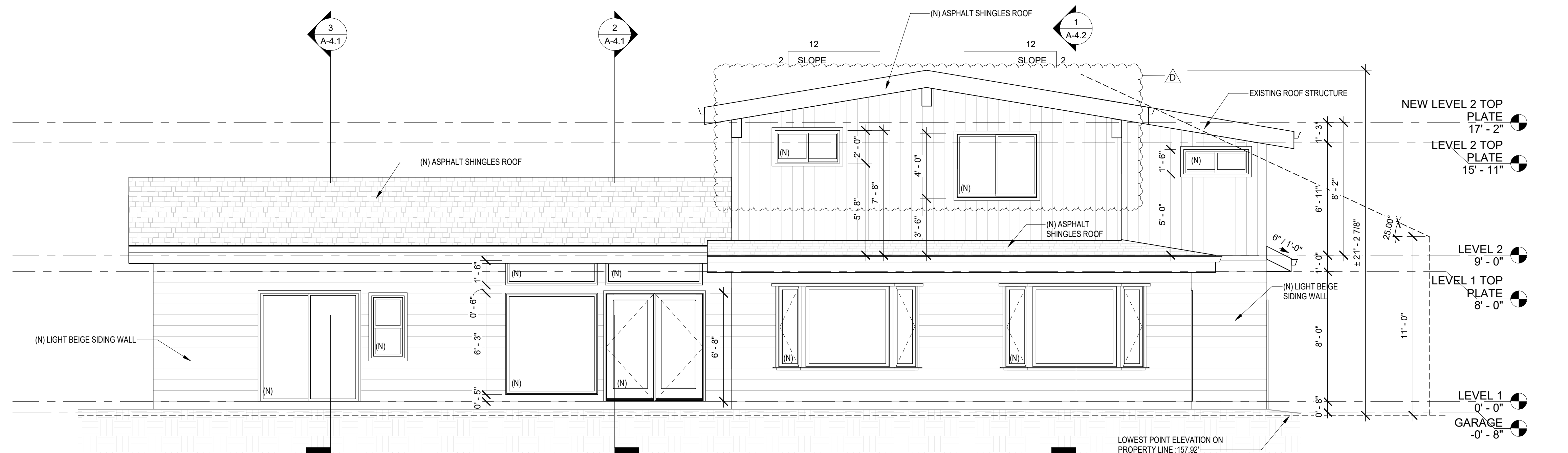
No.	Description	Date
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D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING /
PROPOSED
ELEVATIONS

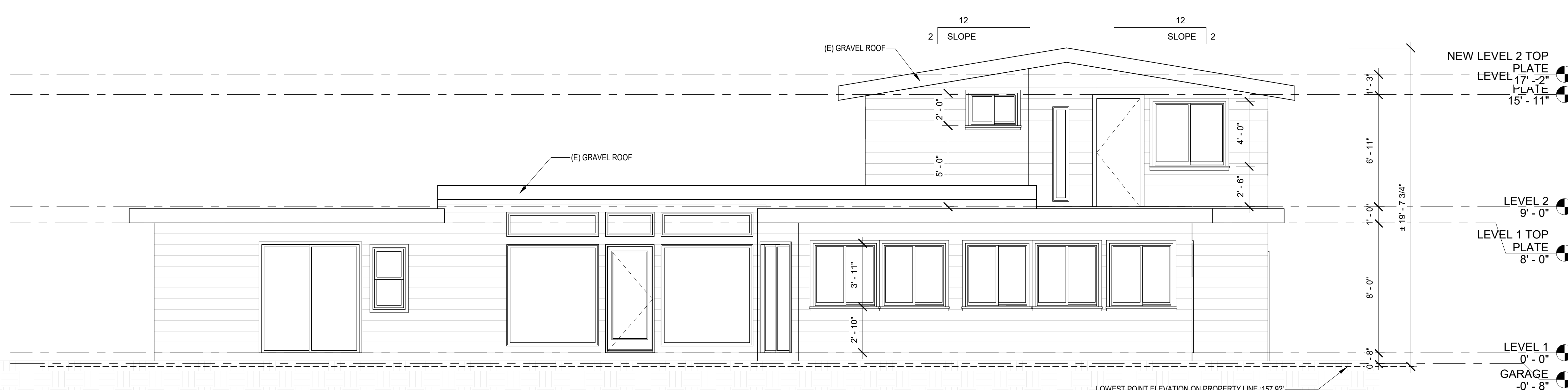
Project Number	12125
Date	4/5/2022

A-3.3

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- SOUTH 1/4" = 1'-0" 2



EXISTING ELEVATION- SOUTH 1/4" = 1'-0" 1

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6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
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11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA
 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

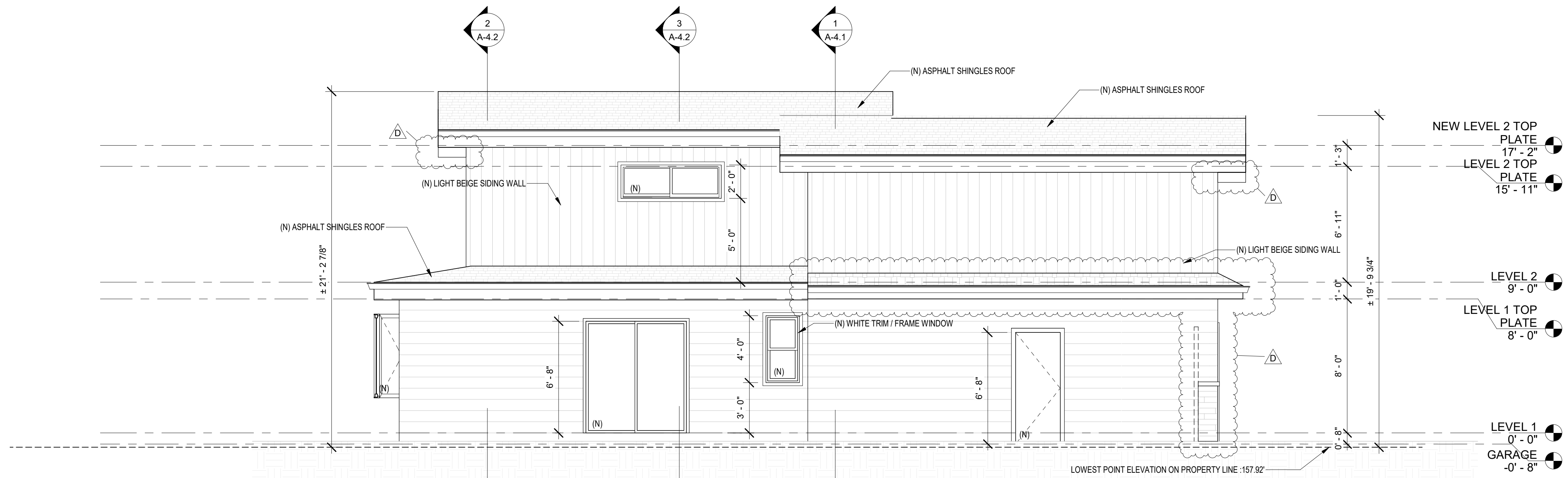
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING / PROPOSED ELEVATIONS

Project Number 12125
 Date 4/5/2022

A-3.4

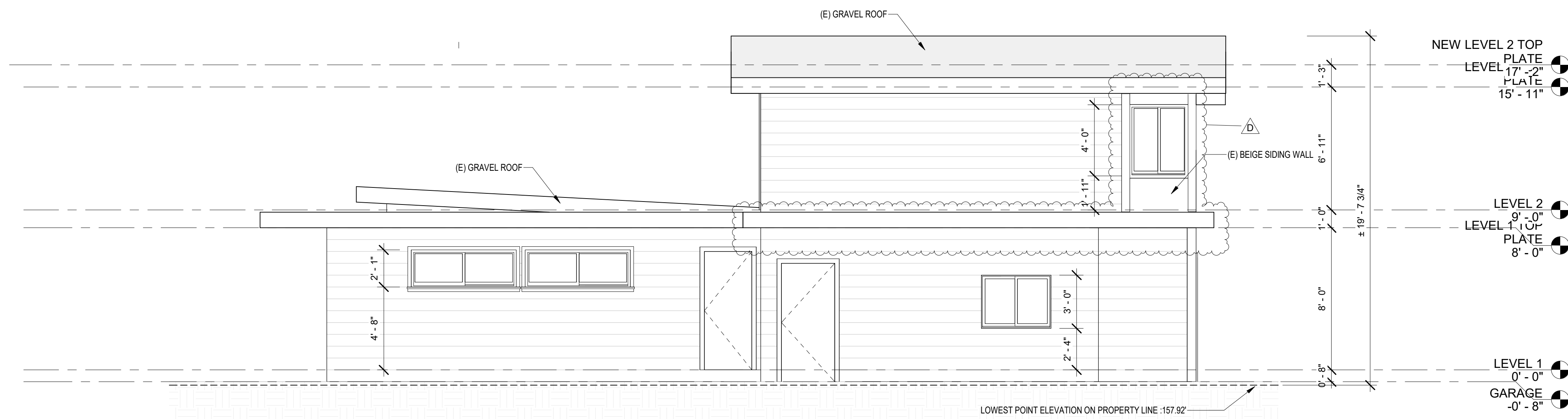
Scale 1/4" = 1'-0"



PROPOSED ELEVATION- EAST

1/4" = 1'-0"

1



EXISTING ELEVATION- EAST

1/4" = 1'-0"

2

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALCS: OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

1. ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES. MINIMUM FIRE RATED CLASS A
2. ALL FLASHING TO BE 22 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
3. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
4. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
5. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
6. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING FOR ALL EXTERIOR WALLS.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW E DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
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**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

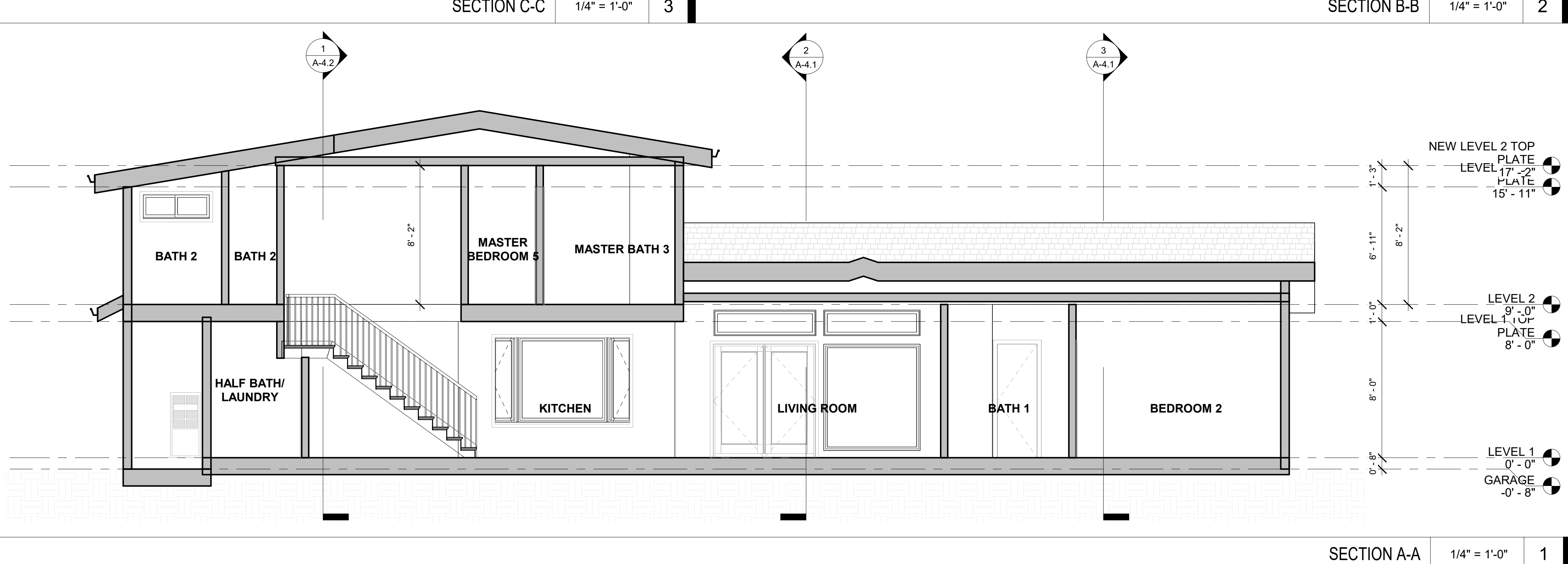
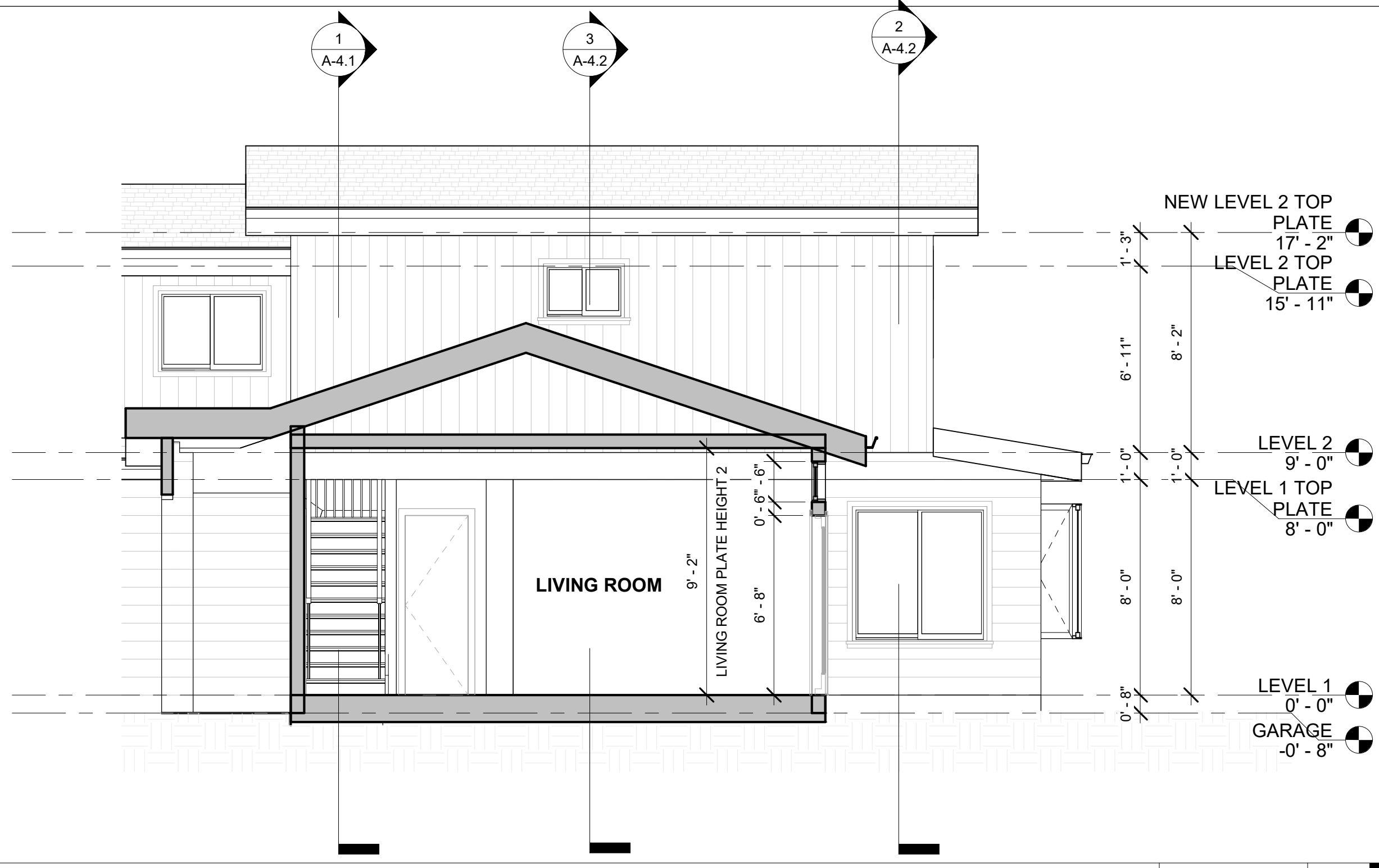
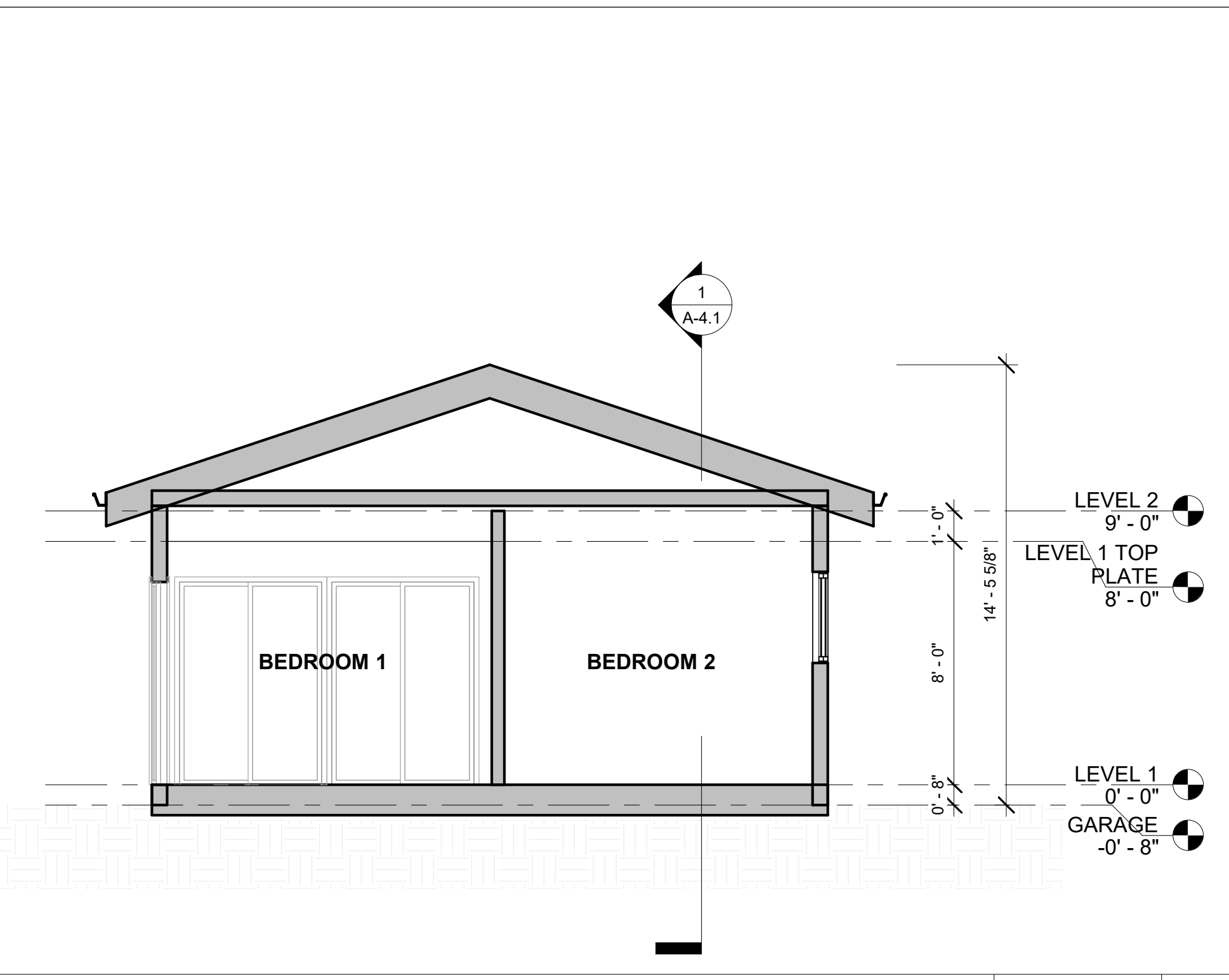
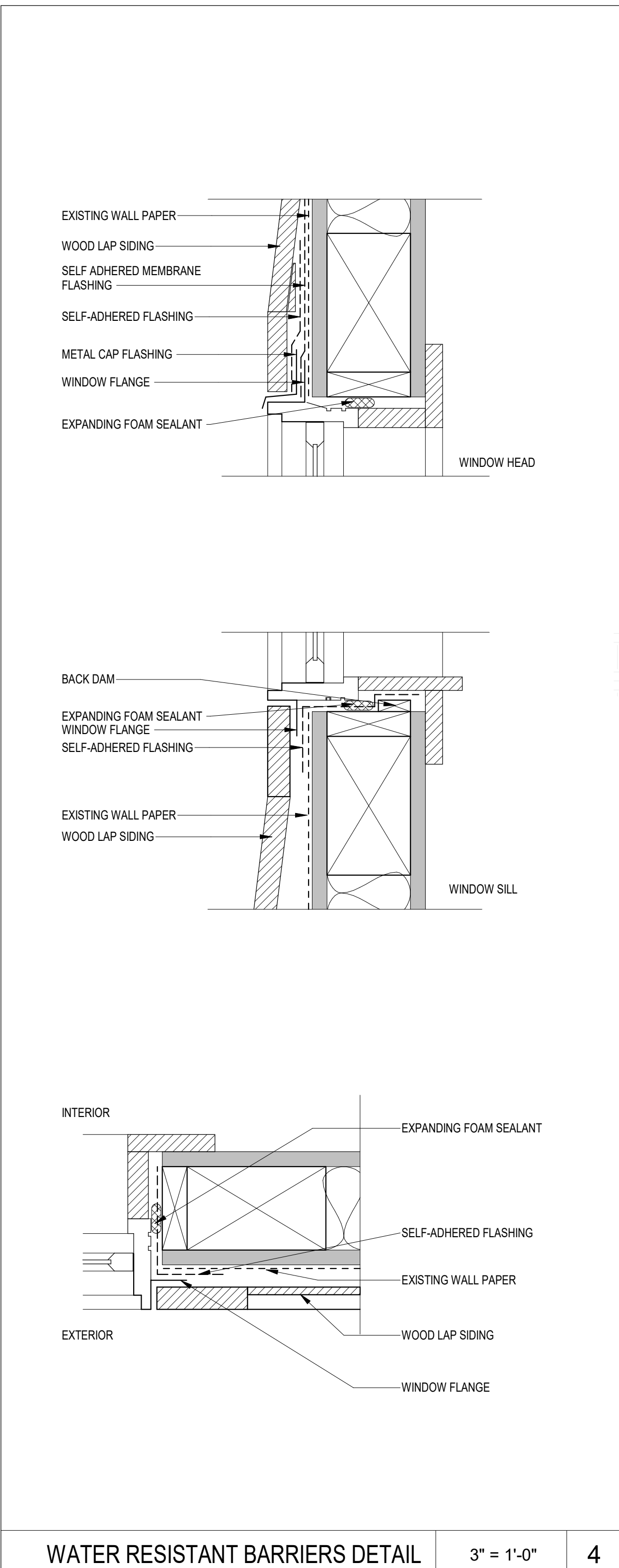
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

**BUILDING
 SECTIONS**

Project Number 12125
 Date 4/5/2022

A-4.1

Scale As indicated



- GENERAL NOTES:**
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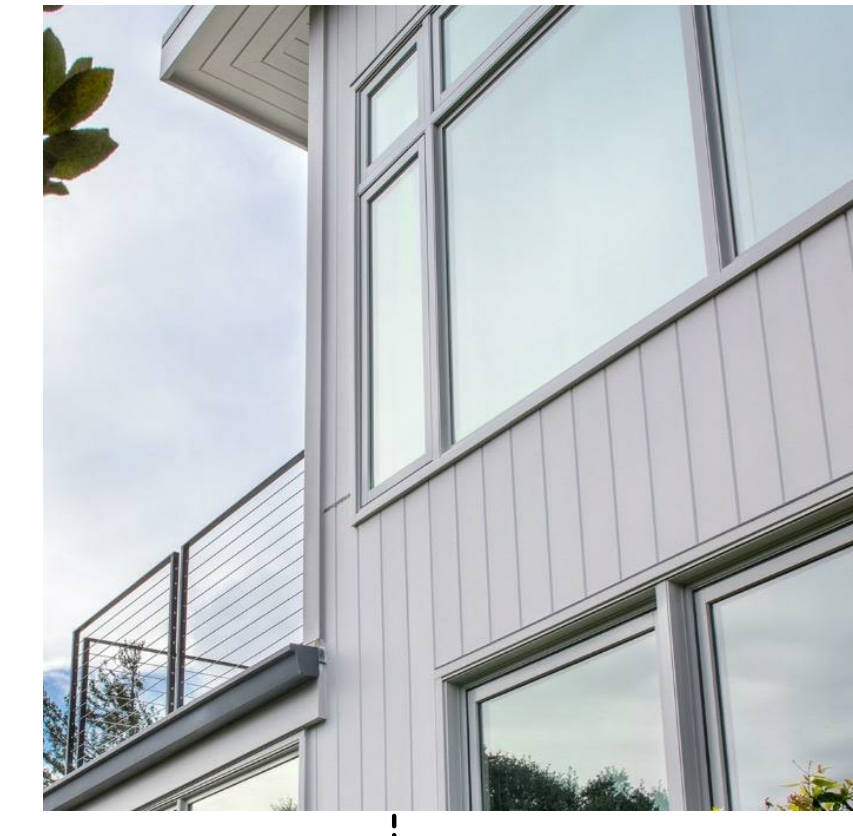
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

MATERIAL BOARD

Project Number 12125
 Date 4/5/2022

A-6

Scale



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window
Material	Fiber cement	Fiber cement	Fiberglass Asphalt Shingles	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White
Manufacturer / Brand	James Hardie Artisan V-Groove siding	James Hardie	G.A.F Timberline HDZ Shingles	Milgard Ultra™ Series C650
Product specifications	8.25-inch width, 7-inch exposure	3.5-inch/4.6-inch width		
Color board				

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardie	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorative Primed Steel Prehung Front Door on 6-9/16 in. Frame	Long bead board design with Moonlite windows
Color board				

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OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

↑

RENDERING

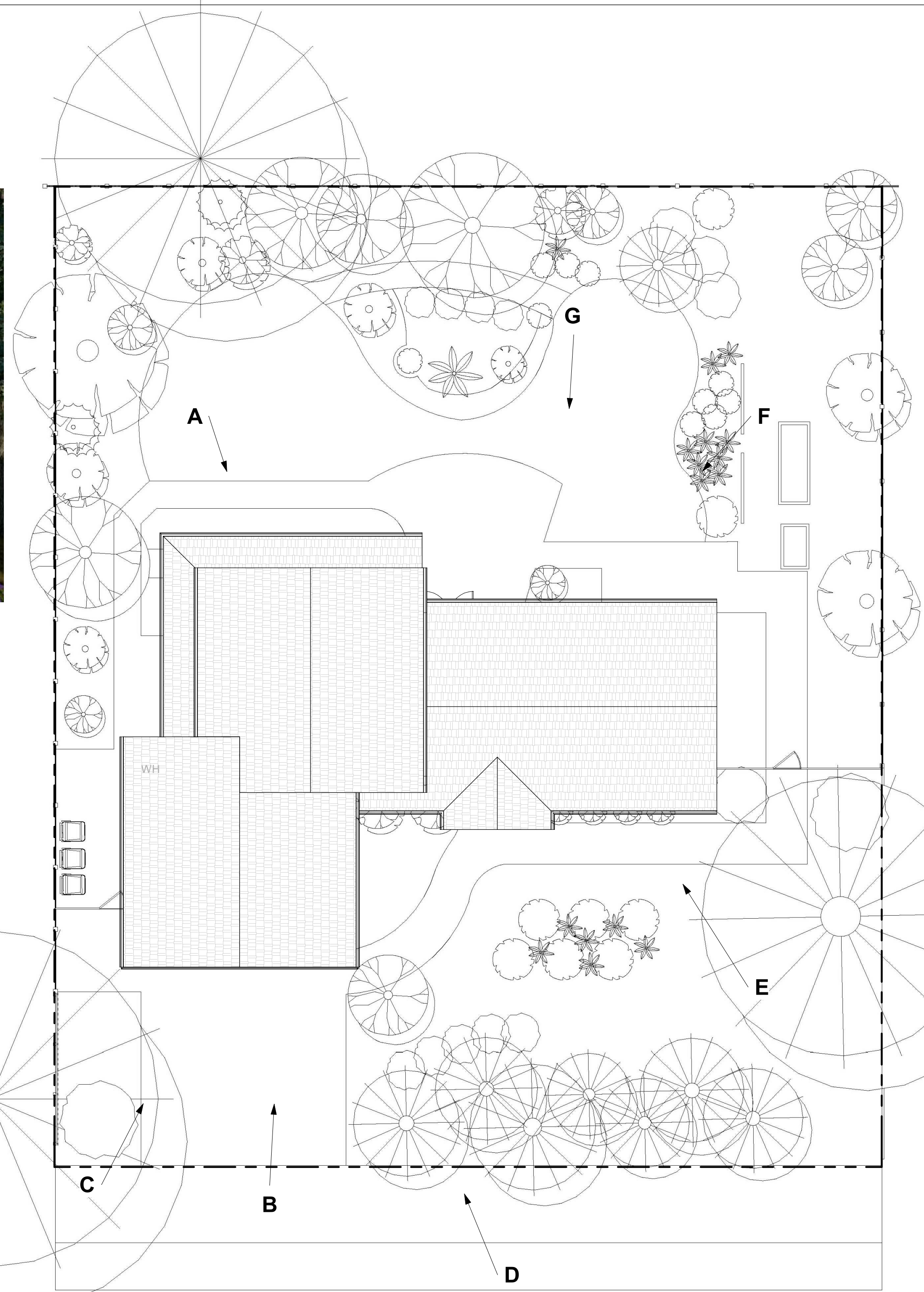
Project Number 12125
Date 4/5/2022

A-6.1

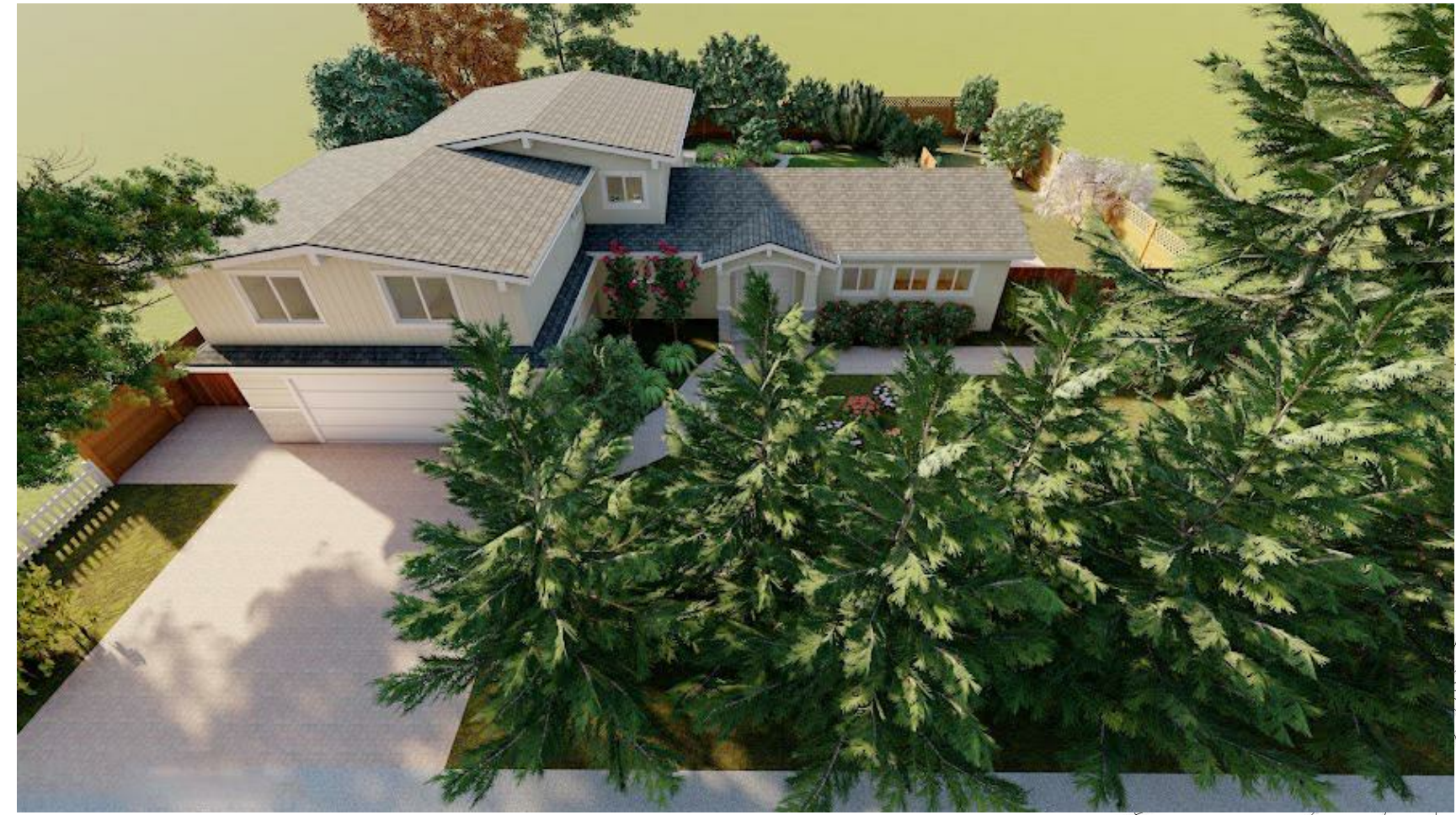
Scale 1" = 10'-0"



A



G



B



F



C



D



E



A-1	COVER SHEET
A-1.1	EXISTING / PROPOSED SITE PLAN
A-1.2	SITE CONTEXT
A-1.3	TREE PROTECTION PLAN
A-2.1	EXISTING + DEMO FLOOR PLAN - LEVEL 1
A-2.2	PROPOSED FLOOR PLAN - LEVEL 1
A-2.3	EXISTING + DEMO FLOOR PLAN - LEVEL 2
A-2.4	PROPOSED FLOOR PLAN - LEVEL 2
A-2.5	EXISTING + DEMO / PROPOSED FLOOR PLAN - FLOOR
A-3.1	EXISTING / PROPOSED ELEVATIONS
A-3.2	EXISTING / PROPOSED ELEVATIONS
A-3.3	EXISTING / PROPOSED ELEVATIONS
A-3.4	EXISTING / PROPOSED ELEVATIONS
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS
A-5	EXTERIOR BOARD
A-6.1	RENDERING
T	BOUNDARY AND TOPOGRAPHIC SURVEY

RECEIVED

Date: 8/30/2023

CITY OF LOS ALTOS
PLANNING

LI RESIDENCE ADDITION PROJECT

628 CUESTA DR, LOS ALTOS, CA 94024

PROJECT ADDRESS= 628 CUESTA DR, LOS ALTOS, CA 94024
A.P.N.= 189-39-052
LOT AREA 11850 SF
ZONING = R1-10
CONSTRUCTION TYPE= V-B
OCCUPANCY= R-3/ U
FLOOD= WITHIN THE X FLOOD ZONE PER ORDINANCE 12.60.140 LAMC.

SETBACKS:	MAIN HOUSE
FRONT:	25'
SIDE:	10'(FIRST LEVEL), 17.5'(SECOND LEVEL)
REAR:	25'

HOME FACTS:	EXISTING	PROPOSED
BEDROOMS:	5	6
BATHROOMS:	2	3.5
STORIES:	2	2

DIZIGN Studio

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INDEX

1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.

2. BEFORE STARTING ANY PORTION OF WORK, THE CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS AGAINST THE ACTUAL EXISTING CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER THE WORK HAS STARTED ANY DISCREPANCIES, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE DESIGNER, AT NO EXTRA COST TO THE OWNER.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.

4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL OR STATE CODES AND REGULATIONS.

5. ALL MATERIAL, EQUIPMENT AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.

6. ALL DIMENSIONS ARE ROUGH UNLESS OTHERWISE NOTED. ALL CABINERY, TILE AND THE LIKE NEED TO BE FIELD VERIFIED PRIOR TO INSTALLATION.

7. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AS SOON AS THEY ARE DISCOVERED.

8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES OR FAILURE OF THE CONTRACTOR TO VERIFY LOCATIONS AND MEASUREMENTS ON THE JOB.

9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING, OR OTHER PERMITS AS MAY BE REQUIRED BY THE LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE STRUCTURAL ENGINEER FOR ANY SITE VISITS OR SPECIAL TESTING AS NEEDED TO COMPLETE ALL STRUCTURAL WORK AS DIRECTED BY THE STRUCTURAL ENGINEER.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING ALL SHOP DRAWINGS TO THE DESIGNER FOR REVIEW AND APPROVAL. NO FABRICATION SHALL COMMENCE UNTIL BOTH DESIGNER AND OWNER HAVE REVIEWED AND APPROVED BY SIGNATURE ALL SHOP DRAWINGS.

PROJECT DATA

SCOPE OF WORKS:
 This project includes:
 1. Redesign living room / kitchen / family room layout.
 2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
 3. Change two one-car garage doors to a two-car garage door.
 4. Convert existing flat roof on level 1 to truss roof system.
 4. Upgrade existing 100A electric panel to 200A.
 5. Install a new AC unit. Replace the existing furnace.

REVISION SCOPE OF WORKS:
 1. Add a laundry room and an office on level 1.
 2. Add a closet in bedroom 2 and replace the window with lower sill height.
 3. Demolish the existing bedroom 3 and bedroom 4 on level 2 and redesign the second layout.

CODES USED:
 The following codes are currently in effect:
 2019 California Building Code
 2019 California Residential Code
 2019 California Plumbing Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Energy Code
 2019 California Fire Code
 2019 California Existing Building Code
 2018 International Existing Building Code
 Calif. Building Energy Efficiency Standards
 2019 California Green Building Standards Code

LI RESIDENCE ADDITION- 628 CUESTA DR

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GENERAL NOTES

1. INDOOR WATER USE: 1.28 GAL/FLUSH AT WATER CLOSETS, 1.8 GPM AT SHOWER HEAD @ 80PSI, 1.2 GPM AT LAVATORY FAUCET @ 60PSI, AND 1.8 GPM AT KITCHEN FAUCET @ 60PSI.

2. SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. (4.303.1.4)

3. FAUCETS. RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI. (4.303.1.4)

4. STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE. (4.303.2)

5. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). (4.304.1)

6. RECYCLED WATER SUPPLY SYSTEMS. NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED. (4.305.1)

7. RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (4.406.1)

8. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)

9. MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. (4.503.3)

10. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. (4.504.1)

11. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.1)

12. FINISH MATERIAL POLLUTANT CONTROL.

-ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

-PAINTS AND COATINGS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.

-AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. VERIFICATION DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (4.504.2)

13. CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
 - NSF ANSI 140 AT THE GOLD LEVEL.
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 - CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

14. RESILIENT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). (4.504.4)

15. COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ABB'S AIR TOXICS CONT'ROL MEASURE FOR COMPOSITE WOOD (17 CCR 9320 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTION S, AS SHOWN IN TABLE 4.504.5. (4.504.5)

16. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)

17. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)

18. HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 5-2014 OR EQUIVALENT. (4.507.2)

19. INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (702.1)

20. INSPECTOR SHALL VERIFY THE DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED.

21. SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING (702.2)

22. DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (703.1)

23. SCOPE. FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS. (4.201.1)

24. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1.

GENERAL NOTES

ZONING COMPLIANCE

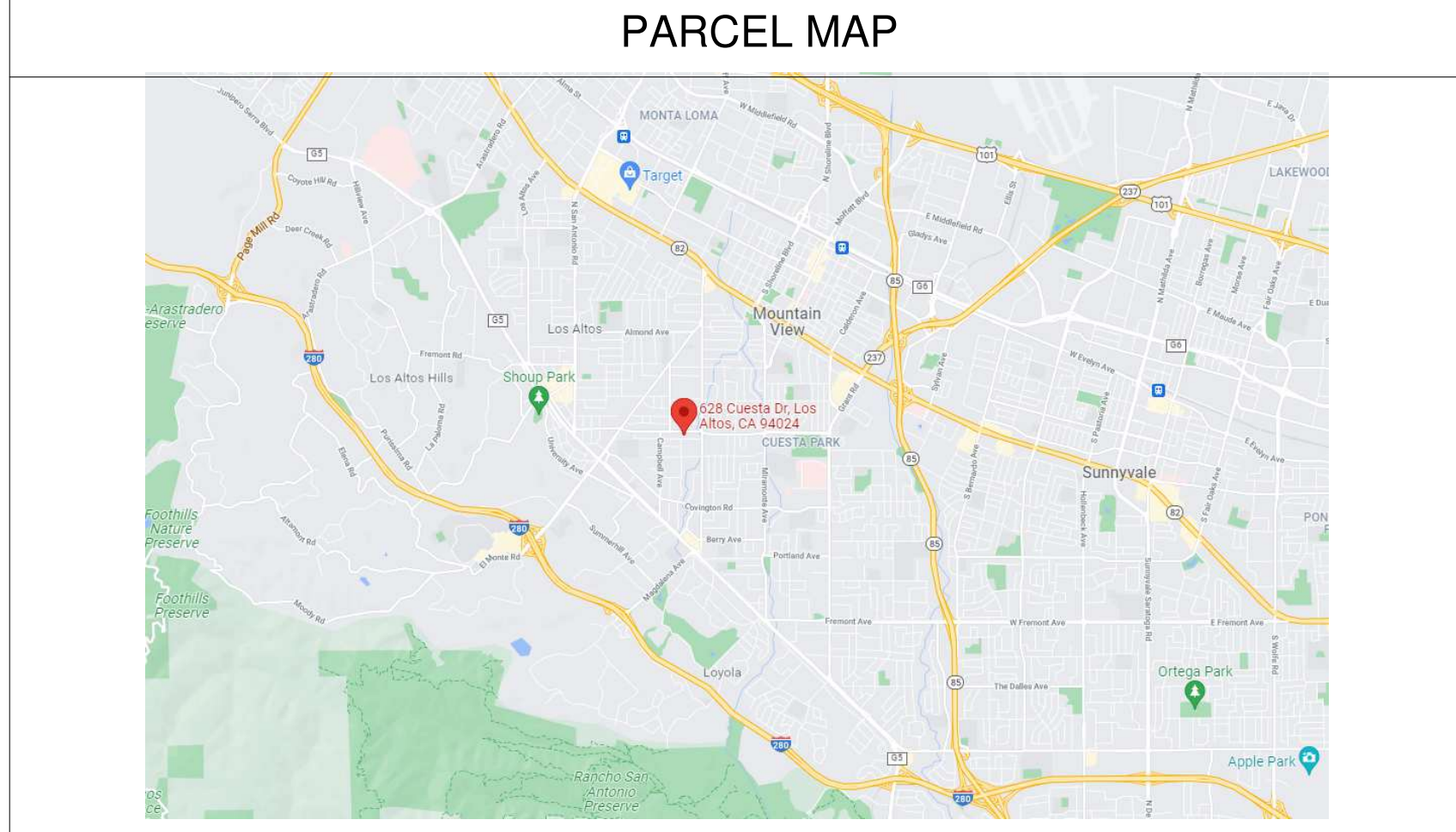
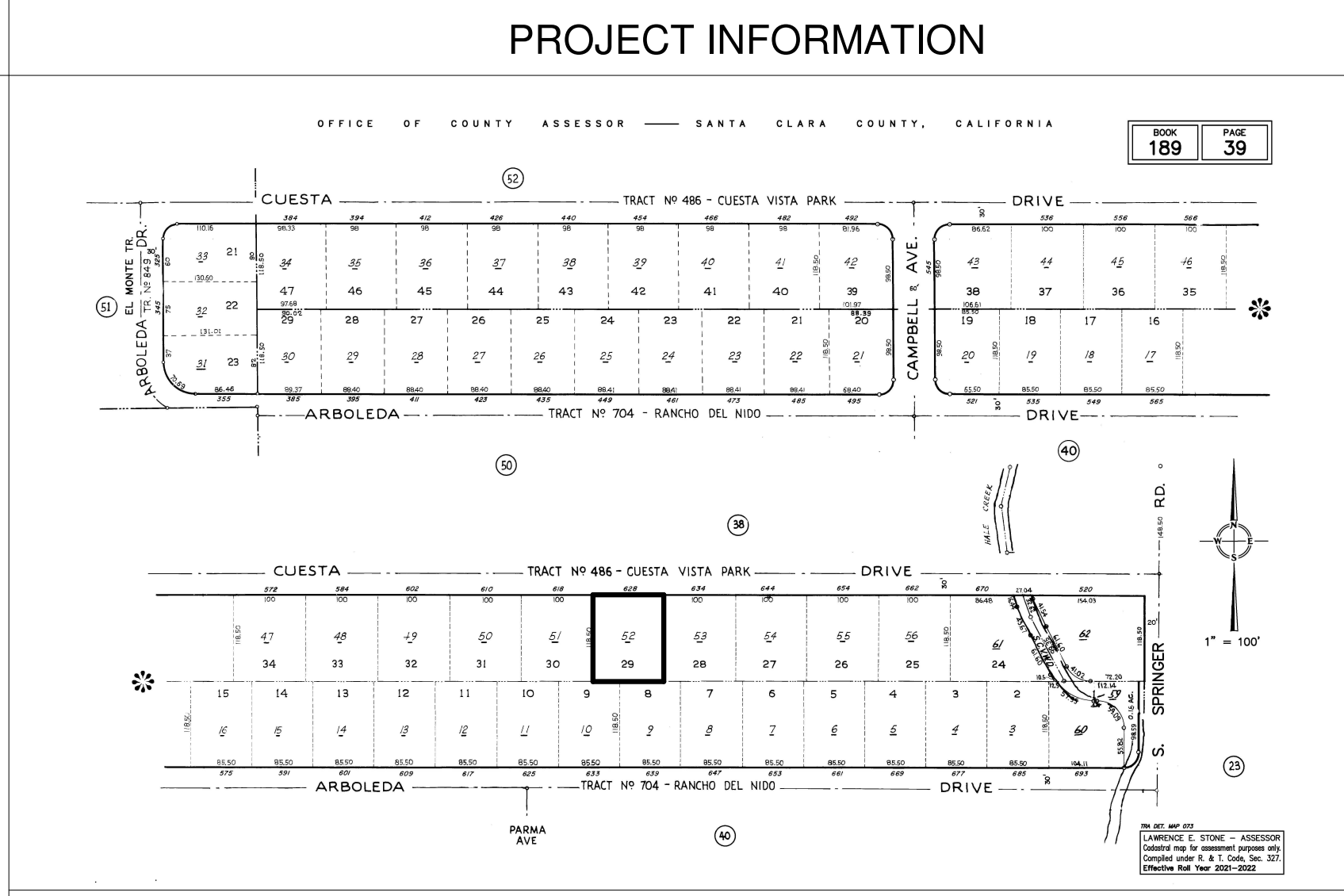
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,039 square feet (17 %)	2,257 square feet (19 %)	3,555 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2,039 sq ft 2nd Flr. 578 sq ft Total: 2,617 sq ft (22 %)	1st Flr. 2,257 sq ft 2nd Flr. 1,077 sq ft Total: 3,334 sq ft (28.1 %)	3,935 square feet (33 %)
SETBACKS:			
Front	25' 10" feet	25' 10" feet	25 feet
Rear	43' 9" feet	43' 9" feet	25 feet
Right side (1st/2nd)	21' 2" feet/65' 5" feet	21' 2" feet/58' 1" feet	10 feet/17.5 feet
Left side (1st/2nd)	10' feet/14' 5" feet	10' feet/18' 11.5" feet	10 feet/17.5 feet
HEIGHT:	19'-8" feet	22'-11.5" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,104 square feet	717 square feet	2,795 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	513 square feet	26 square feet	539 square feet

LOT CALCULATIONS

NET LOT AREA:	11,850 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	734 square feet (29 %)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	4,858 sq ft
Existing softscape (undisturbed) area:	6,992 sq ft
New softscape (new or replaced landscaping) area:	0 sq ft
<i>Sum of all three should equal the site's net lot area</i>	



COVER SHEET

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
C	PLANNING PERMIT RESUBMITTAL #3	2/20/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022
1	BUILDING PERMIT RESUBMITTAL	9/19/2022
R1	PLANNING PERMIT REVISION	10/19/2022
		8/28/2023

A-1

Project Number: 12125
 Date: 8/28/2023

Scale: As indicated

DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

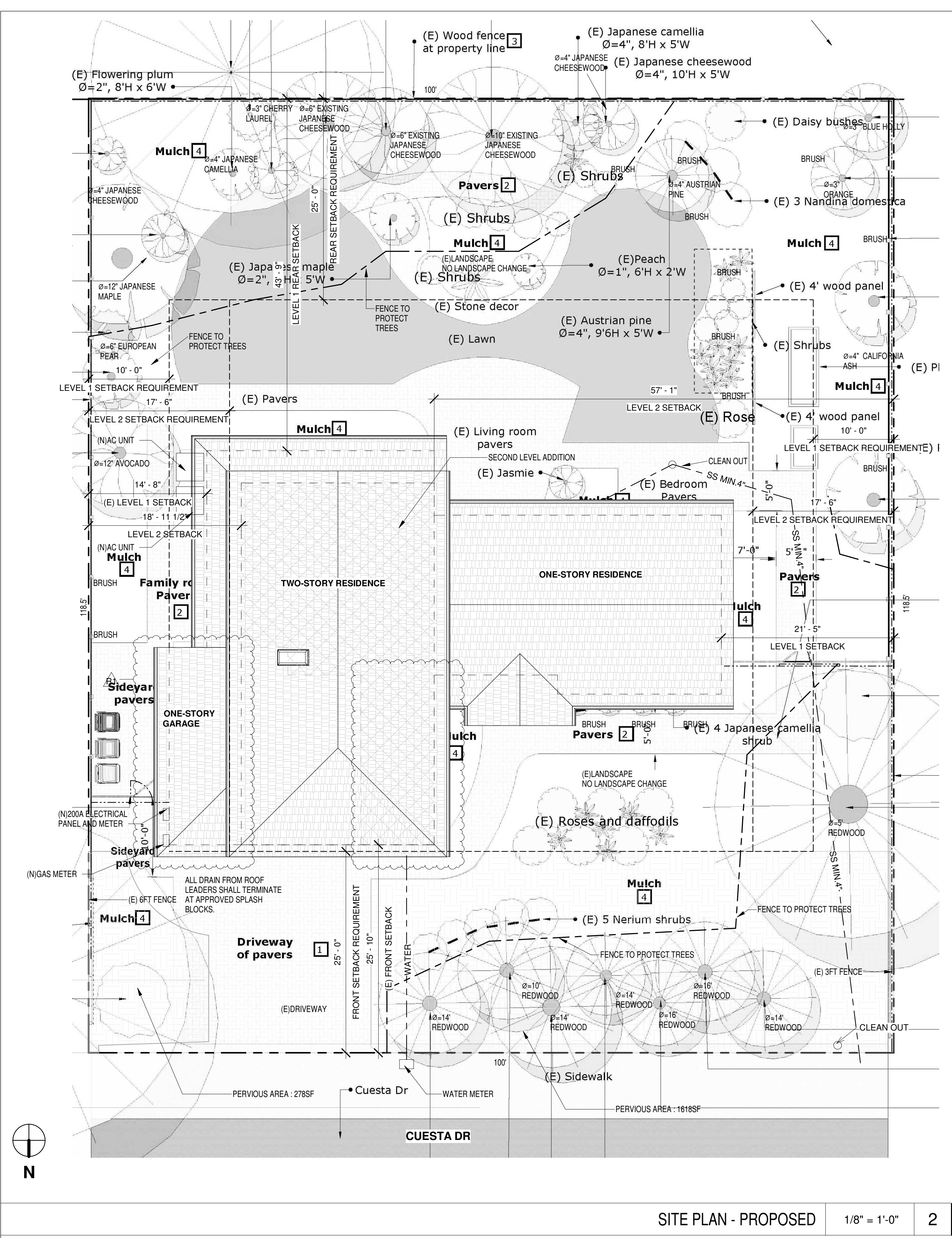
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EXISTING / PROPOSED SITE PLAN

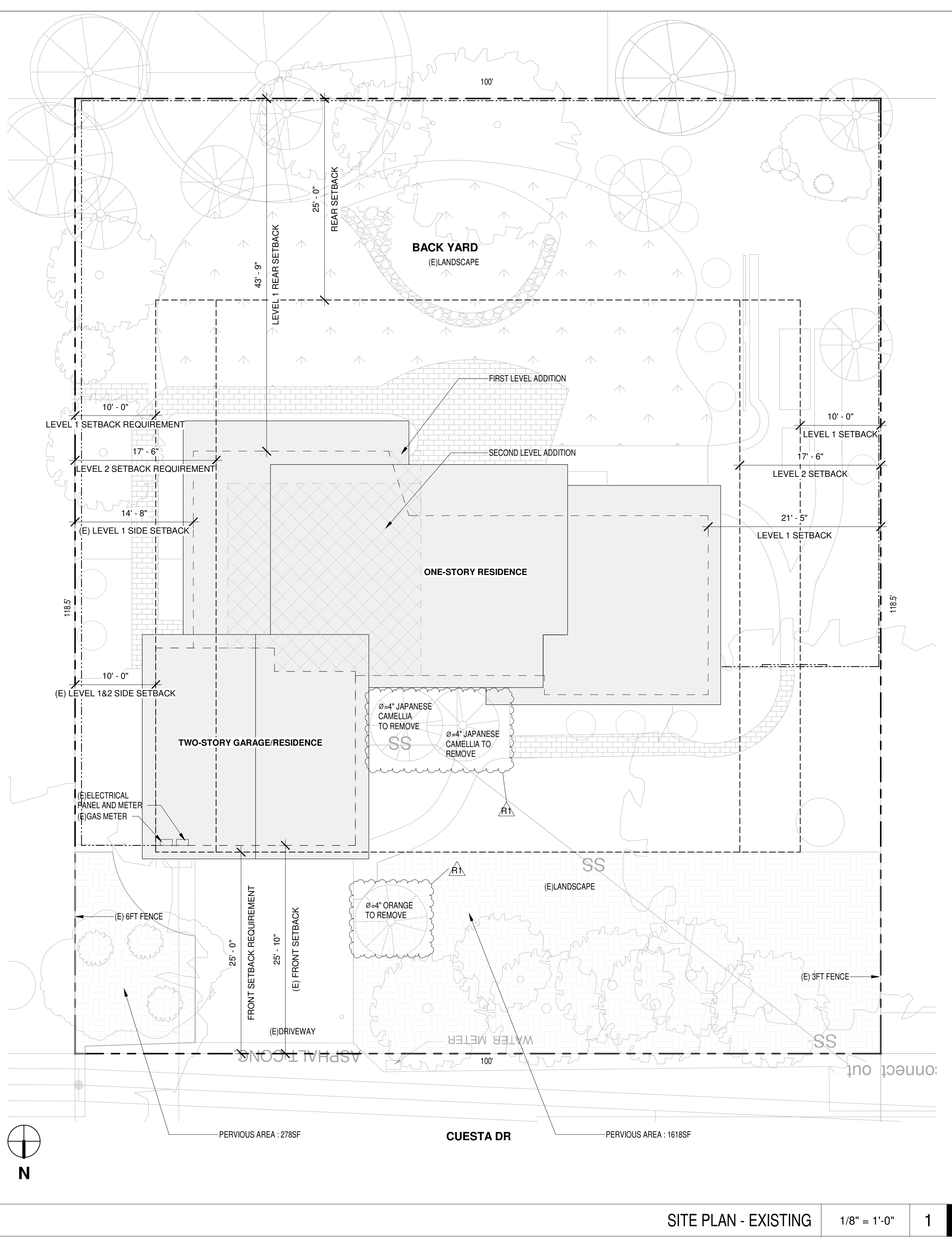
Project Number 12125
 Date 8/28/2023

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Scale As indicated



SITE PLAN - PROPOSED 1/8" = 1'-0" 2



SITE PLAN - EXISTING 1/8" = 1'-0" 1

- SITE PLAN NOTES:**
- THE SITE IS BASICALLY FLAT. EXISTING TOPOGRAPHY, SITE FEATURES, & PROPERTY LINE BOUNDARY INFORMATION IS BASED ON INFORMATION FROM LAND SURVEYS
 - PROJECT REQUIRES MINIMAL GRADING.
 - UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
 - FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL NEW EAVES. DOWNSPOUTS TO GO TO NEW OR EXISTING DRAINS.
 - PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
 - ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
 - TREE PROTECTION SHALL BE NO LESS THAN 5'-0" HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQ'D.
 - CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.
 - THE LANDING SHALL NOT BE MORE THAN 7'-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1'-1/2" AT DOORS SWINGING OVER THE LANDING.
 - LANDING LENGTH NEED NOT EXCEED 36" CGBC 1008.1.6, WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.

- ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. NUMBERS SHALL CONTRAST BACKGROUND COLOR, BE ARABIC NUMBERS ALPHABETICAL LETTERS, MIN. 4-INCHES HIGH, 1/2-INCH WIDE. WHEN ACCESS IS BY MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE PER CFC SEC 505.1
- ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
- CGBSC 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
- CGBSC 4.304.1 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA
 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
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B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
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	BUILDING PERMIT	9/19/2022
R1	PLANNING PERMIT REVISION	8/28/2023

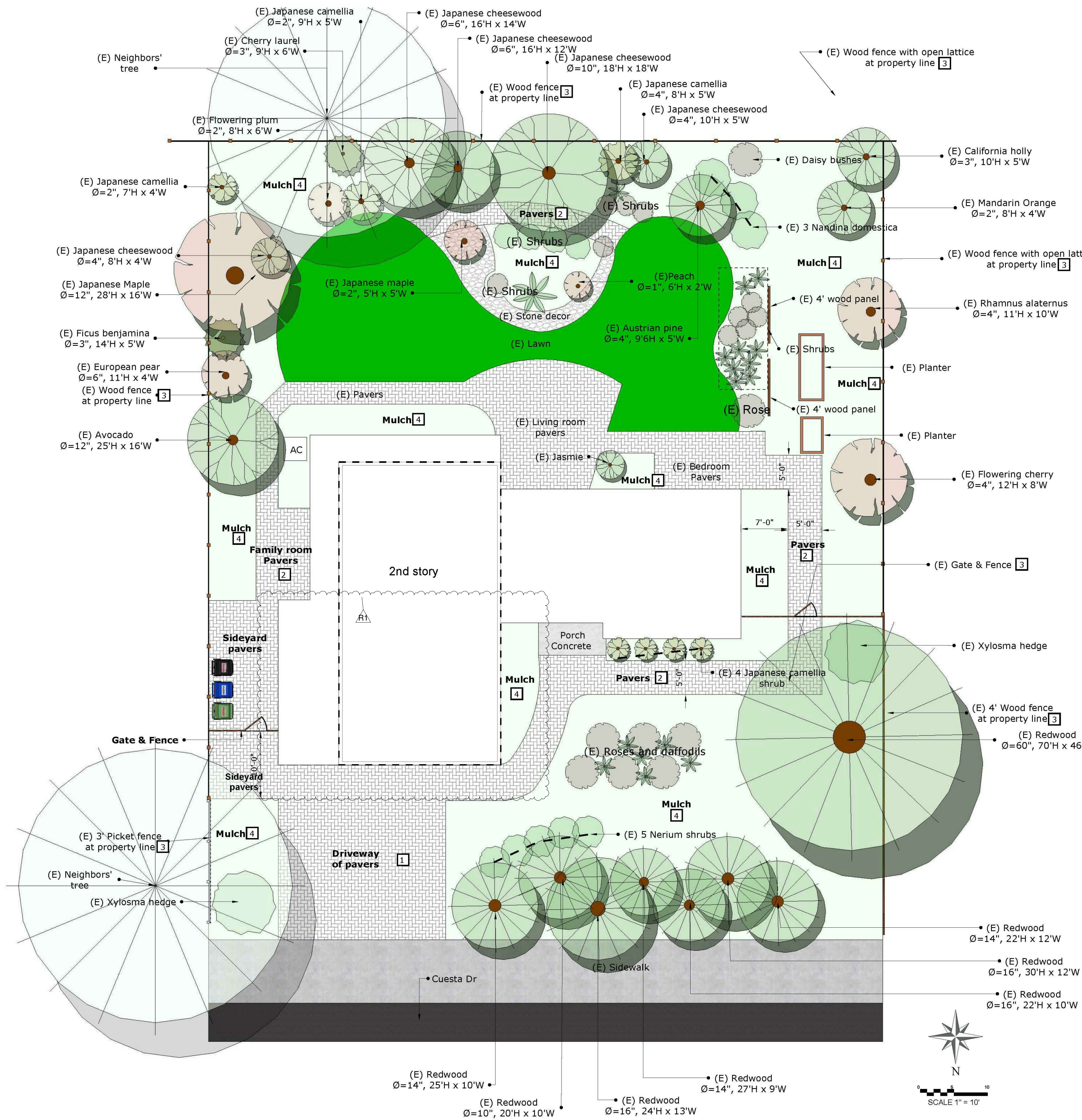
**TREE
 PROTECTION
 PLAN**

Project Number 12125
 Date 8/28/2023

A-1.3

Scale

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GENERAL LEGEND

- 1 NEW DRIVEWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVER STYLE.
- 2 NEW WALKWAY PAVERS AND FAMILY ROOM PAVERS TO MATCH EXISTING LIVING ROOM PAVER STYLE.
- 3 EXISTING FENCE AND GATES TO REMAIN.
- 4 MULCH TO COVER PLANTING AREA.
- (E) EXISTING LANDSCAPING FEATURES.

LANDSCAPE SCOPE OF WORK

1. NO CHANGE TO EXISTING LAWN AND TREES EXCEPT THE PLUM PINE TREE TO BE REMOVED IN FRONTYARD.
2. NO CHANGE TO EXISTING IRRIGATION SYSTEM.
3. NO CHANGE TO EXISTING ROSES AND SHRUBS.
4. HARDSCAPE WORK INCLUDING NEW DRIVEWAY PAVERS, NEW FAMILY ROOM PAVERS AND NEW WALKWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVERS STYLE.
5. REPAIR BROKEN FENCES AND GATES.

EXISTING SCREENING TREES DETAILS

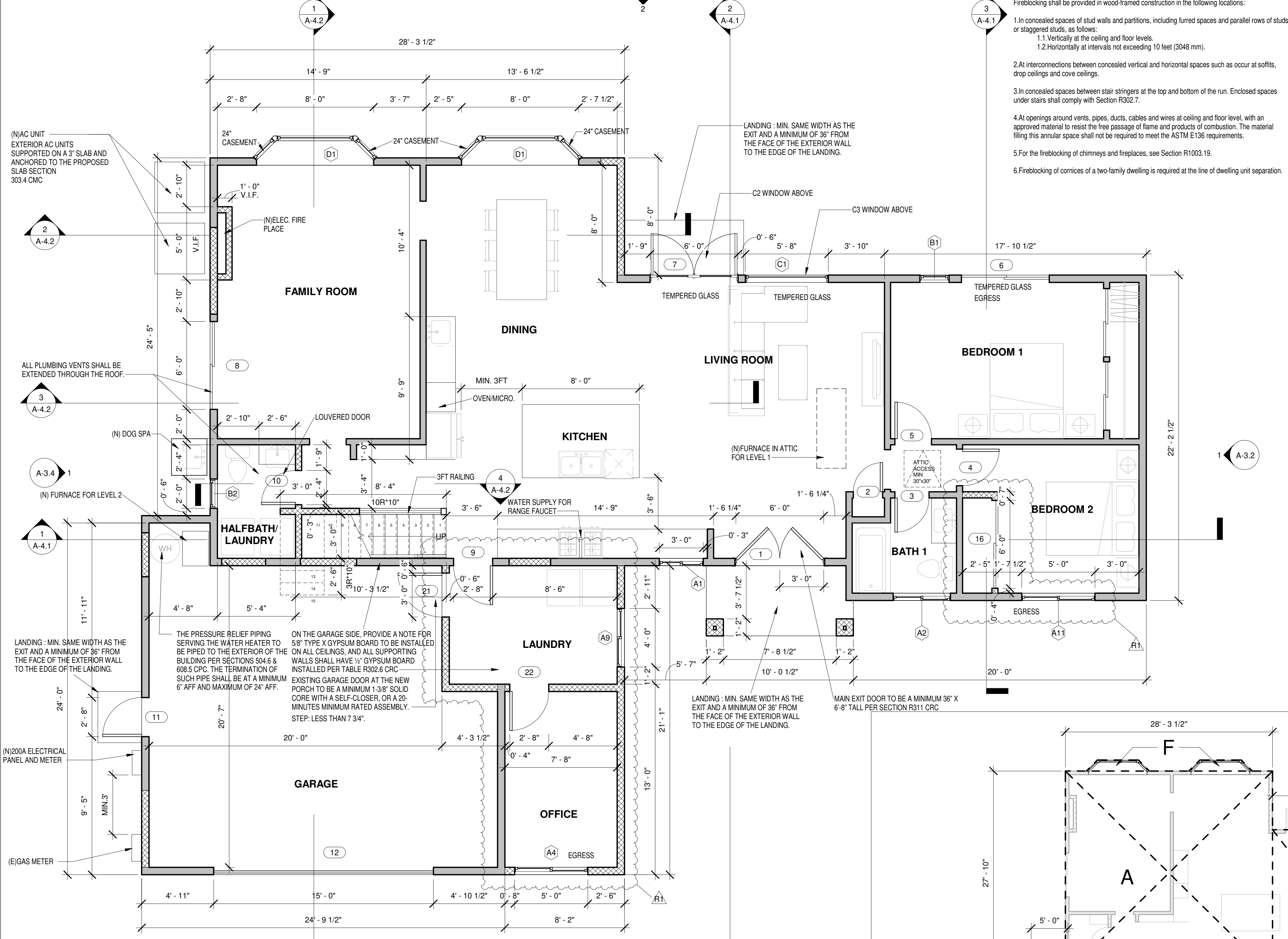
		
Redwood 8 in frontyard to remain	Japanese cheesewood 5 in backyard to remain 20'H x 18'W at maturity Growth rate: 1-2'/year	Austrian pine 1 in backyard to remain 50'H x 30'W at maturity Growth rate: 1-1.5'/year
		
Cherry laurel 1 in backyard to remain 20'H x 18'W at maturity Growth rate: 2'/year	Avocado 1 in backyard to remain 25'H x 18'W at maturity Growth rate: 2'/year	Ficus benjamina 1 in backyard to remain 30'H x 16'W at maturity Growth rate: 2'/year
		
Japanese camellia 3 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'/year	California holly 1 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'6'/year	

SURFACE CHART

FRONTYARD HARDSCAPE (PAVERS, PORCH)	1,127 + 48 = 1,175 SF
FRONTYARD PLANTING AREA	2,637 SF
LAWN	1,264 SF
BACKYARD HARDSCAPE AREA (PAVERS, STONE DECOR)	1,229 + 120 = 1,349 SF
BACKYARD PLANTING AREA	3,041 SF

Trees Nos. 1-8, 16-21, and 25 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

CLEANOUTS NOTE PER SECTIONS 707 & 719 CPC:
 A) INSTALL CLEAN-OUT AT THE KITCHEN SINKS.
 B) INSTALL A CLEAN-OUT WITHIN 2' OF THE BUILDING FOUNDATION ON THE EXTERIOR OF THE BUILDING.
 C) INSTALL A CLEAN-OUTS TO BE AT THE UPPER TERMINAL OF THE PIPE AND ANY CHANGE OF DIRECTION OF 135DEGREES OR MORE.
 D) PROVIDE CLEANOUTS 5' OR MORE OFF THE MAIN BUILDING DRAIN.



Window Schedule

Type Mark	Width	Height	Count	Mark
A1	3'-0"	3'-0"	1	SLIDER
A2	3'-11"	3'-0"	1	SLIDER
A5	5'-0"	4'-0"	3	SLIDER
A6	4'-0"	2'-0"	1	SLIDER
A7	6'-0"	2'-0"	2	SLIDER
A9	4'-0"	3'-0"	1	SLIDER
A10	3'-0"	2'-0"	1	SLIDER
A11	5'-0"	3'-9"	1	SLIDER
B1	2'-0"	3'-10"	1	SINGLE HUNG
B2	2'-0"	4'-0"	1	SINGLE HUNG
C1	5'-8"	6'-3"	1	FIXED
C2	6'-0"	1'-6"	1	FIXED
C3	5'-8"	1'-6"	1	FIXED
D1	8'-0"	5'-0"	2	BAY WINDOW
S1	1'-10 5/16"	3'-11 1/4"	1	SKYLIGHT

LEGEND:
 [Solid Line] WALLS TO KEEP
 [Dashed Line] WALLS TO BE REMOVED
 [Cross-hatch] WALLS TO BE ADDED

3) REPLACEMENT WINDOWS (R310.2.5)
 Replacement windows installed in building meeting the scope of this code shall be exempt from the maximum sill height requirements of Sections R310.1 and R310.2.1 and R310.2.2, provided the replacement window meets the following conditions:
 The replacement window is the manufacturer's largest standard size window that will fit within the existing frame or existing rough opening. The replacement window is of the same operating style as the existing window or a style that provides for an equal or greater window opening area than the existing window.

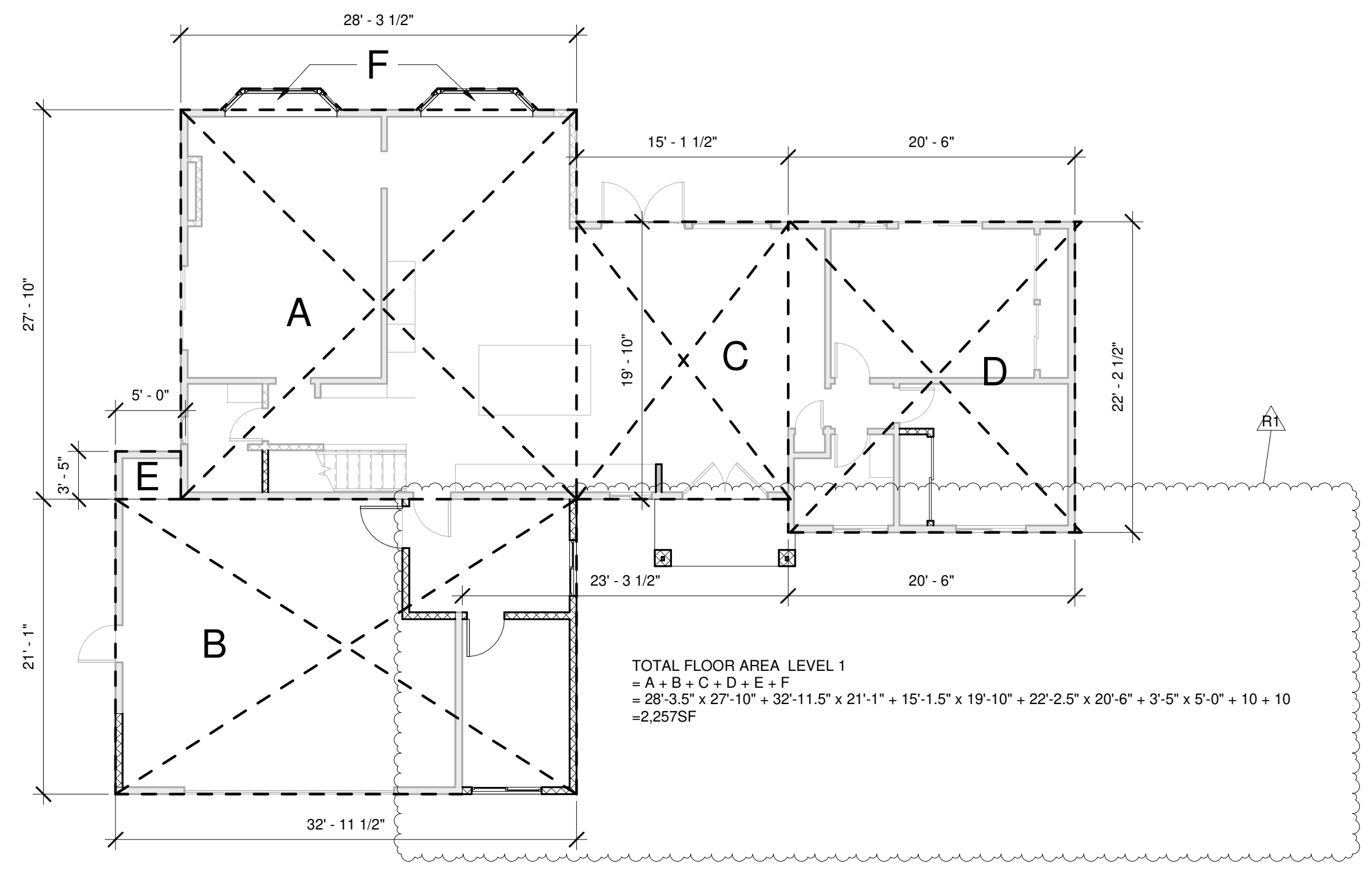
FIREBLOCKING:
 In combustible construction, fire-blocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.
 Fireblocking shall be provided in wood-framed construction in the following locations:
 1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 1.1. Vertically at the ceiling and floor levels.
 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
 2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.
 5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
 6. Fireblocking of corners of a two-family dwelling is required at the line of dwelling unit separation.

PROPOSED FLOOR PLAN GENERAL NOTES:

- THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
- FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB COMPARTMENTS, CPC SECTIONS R307.2 AND R702.3.8
- ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
- FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOR LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
- FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1" AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
- GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
- U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
- A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
- ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
- CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5- FEET, AND REQUIRED INSULATION ARE INSTALLED
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBCS SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

- ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
- ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
- PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQUIRED PER CRC:
 A. ALL INGRESS AND EGRESS DOORS.
 B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
- VERIFY ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
- UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
- VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
- VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
- SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
- TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
- THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
- ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



DIZIGN Studio
 DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

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R1	PLANNING PERMIT REVISION	8/28/2023

PROPOSED FLOOR PLAN - LEVEL 1

Project Number 12125
 Date 8/28/2023

A-2.2

Scale As indicated

DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR URINALS
- 2.5 GPM FOR SHOWERHEAD
- 2.2 GPM FOR ANY INTERIOR FAUCETS

DIZIGN Studio

DRAFTER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA 95055
JENNYLI7945@GMAIL.COM
408-669-7945

**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

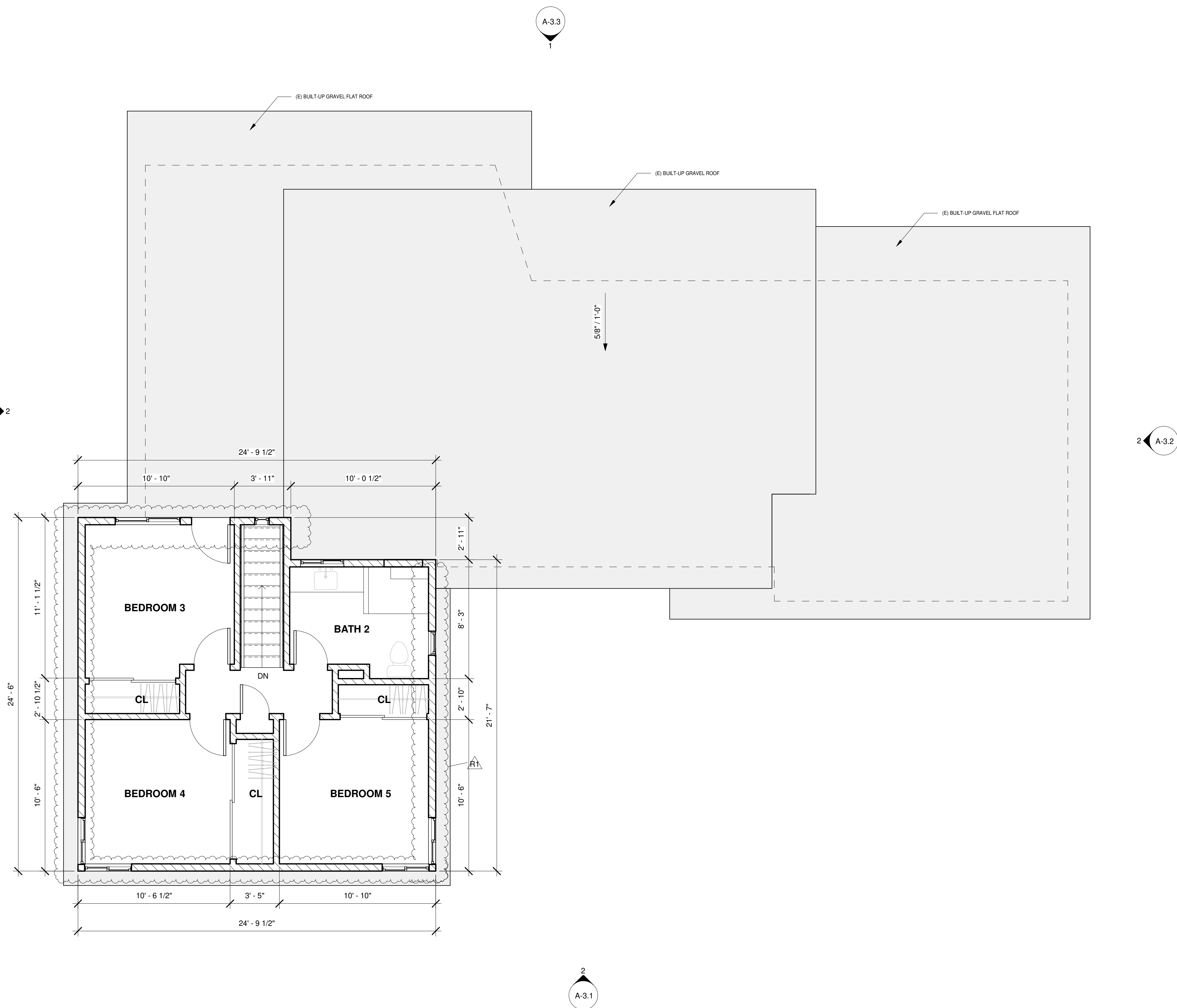
No.	Description	Date
	PLANNING PERMIT	10/6/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022
	BUILDING PERMIT	9/19/2022
1	BUILDING PERMIT RESUBMITTAL	10/19/2022
R1	PIANNING PERMIT REVISION	8/28/2023

**EXISTING +
DEMO FLOOR
PLAN - LEVEL 2**

Project Number 12125
Date 8/28/2023

A-2.3

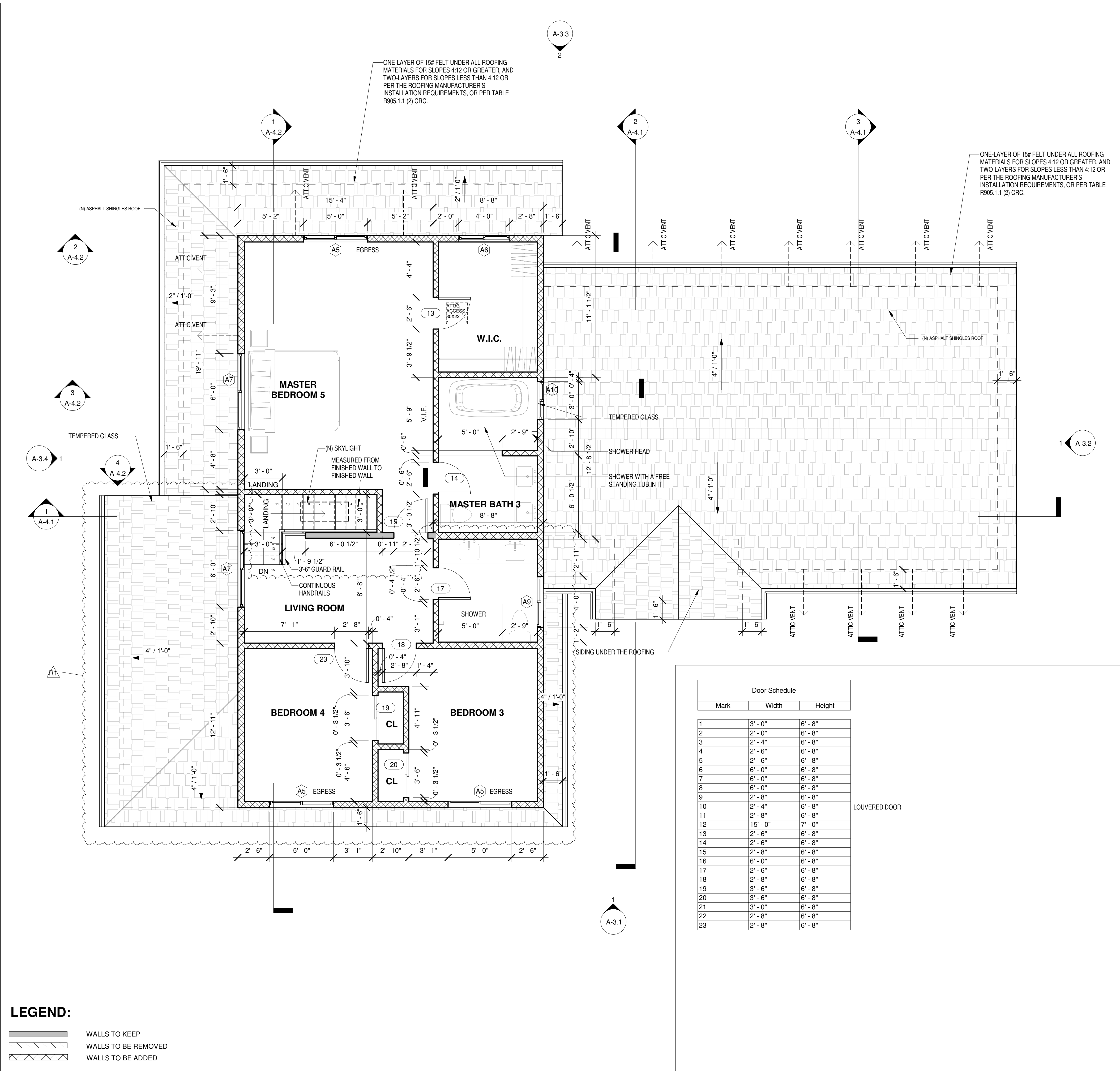
Scale 1/4" = 1'-0"



LEGEND:

- WALLS TO KEEP
- WALLS TO BE REMOVED
- WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1



PROPOSED FLOOR PLAN GENERAL NOTES:

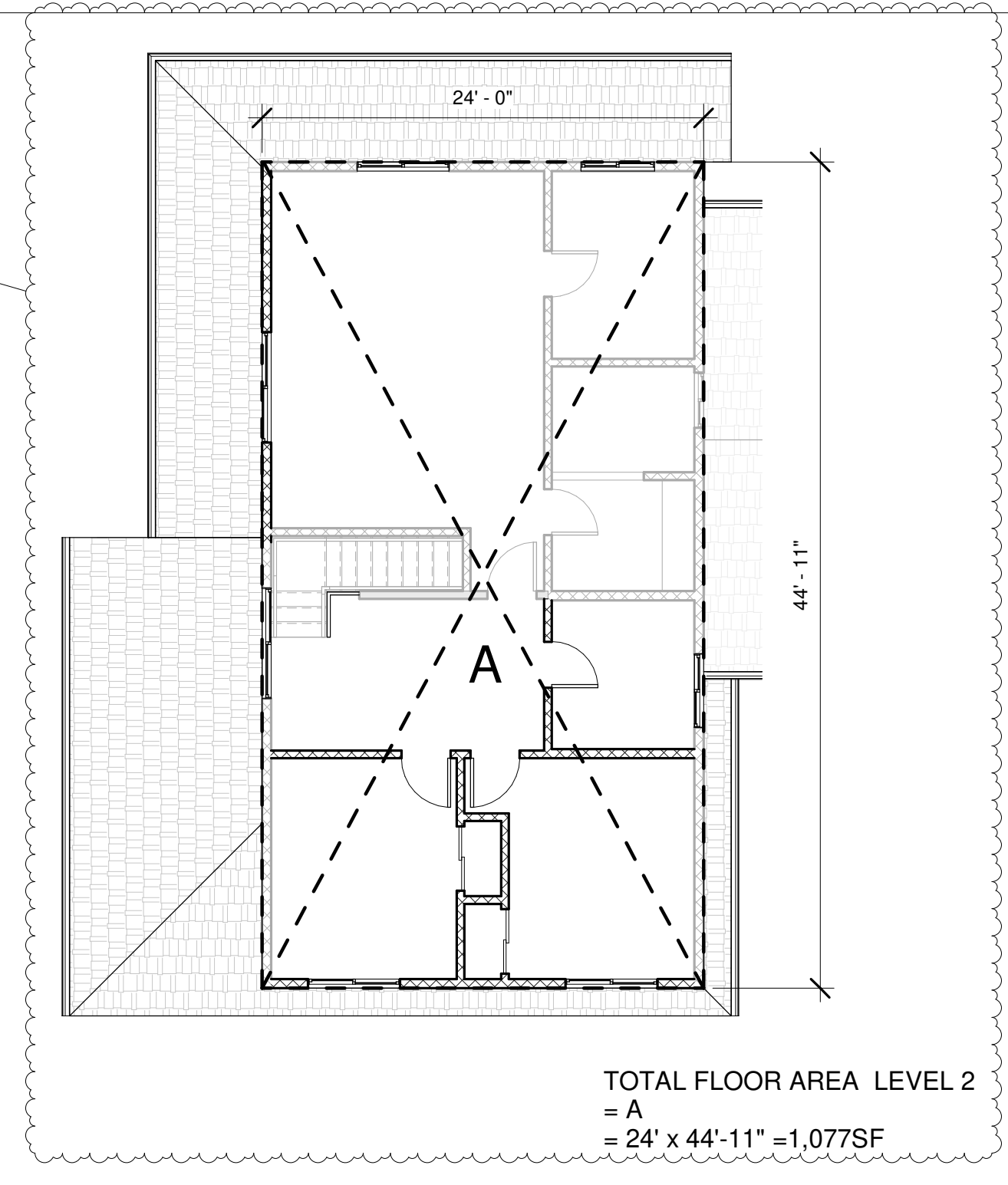
1. THE LANDING SHALL NOT BE MORE THAN 7'-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1'-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOR-LEVEL RIM OF THE FIXTURE SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1' AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGSBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED. INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH WEATHER STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

Door Schedule		
Mark	Width	Height
1	3'-0"	6'-8"
2	2'-0"	6'-8"
3	2'-4"	6'-8"
4	2'-6"	6'-8"
5	2'-6"	6'-8"
6	6'-0"	6'-8"
7	6'-0"	6'-8"
8	6'-0"	6'-8"
9	2'-8"	6'-8"
10	2'-4"	6'-8"
11	2'-8"	6'-8"
12	15'-0"	7'-0"
13	2'-6"	6'-8"
14	2'-6"	6'-8"
15	2'-8"	6'-8"
16	6'-0"	6'-8"
17	2'-6"	6'-8"
18	2'-8"	6'-8"
19	3'-6"	6'-8"
20	3'-6"	6'-8"
21	3'-0"	6'-8"
22	2'-8"	6'-8"
23	2'-8"	6'-8"

LOUVERED DOOR



DIZIGN Studio

DRAFTER: JENNY ZHAO
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 ADDITION- 628
 CUESTA DR**

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 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
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1	BUILDING PERMIT RESUBMITTAL	10/19/2022
R1	PLANNING PERMIT REVISION	8/28/2023

PROPOSED FLOOR PLAN - LEVEL 2

Project Number 12125
 Date 8/28/2023

A-2.4

Scale As indicated

PROPOSED FLOOR PLAN - LEVEL 2

1/4" = 1'-0"

1

PROPOSED LEVEL 2 FLOOR AREA

1/8" = 1'-0"

2

ATTIC VENTILATION NOTES:

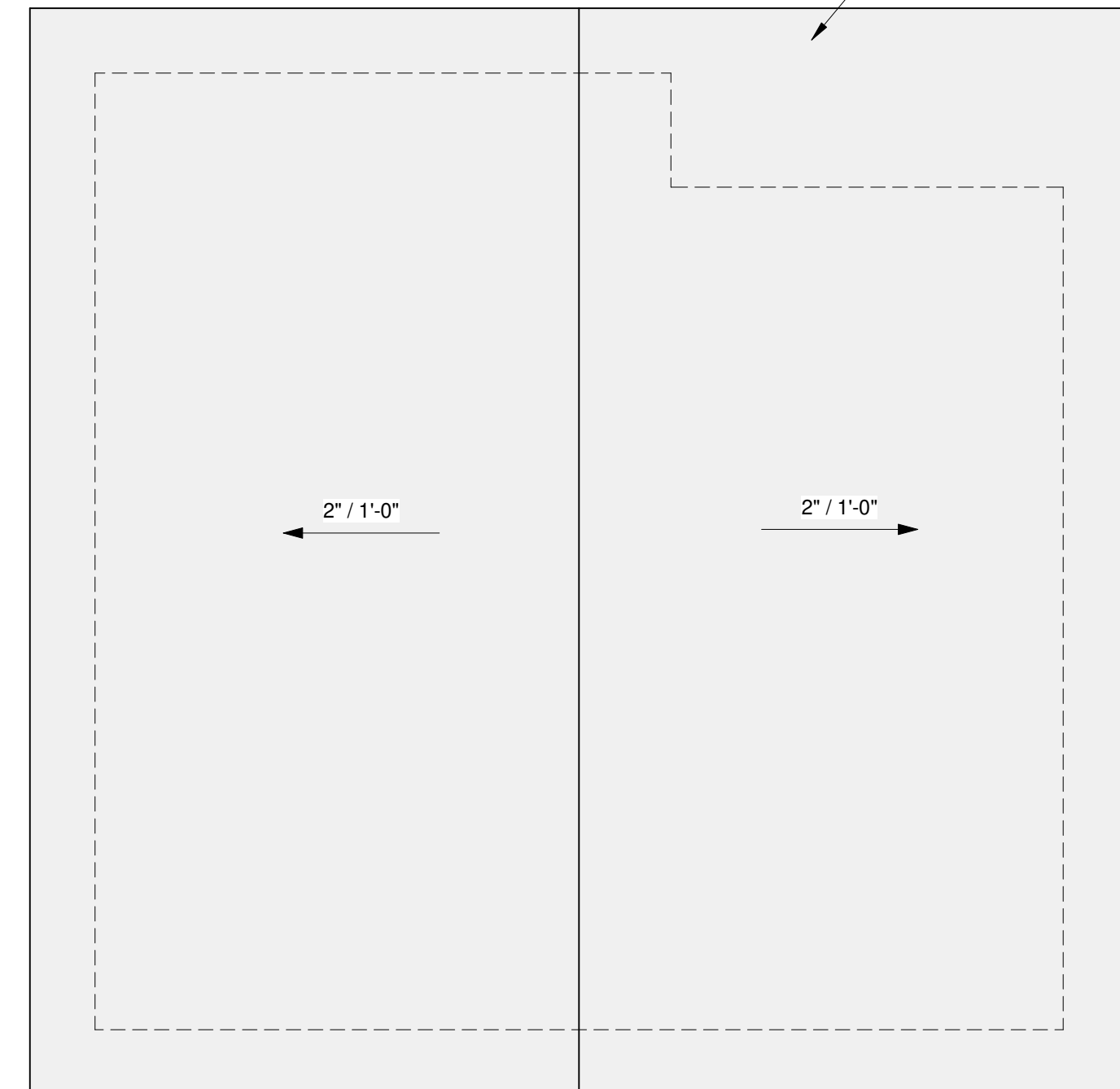
CONTRACTOR TO PROVIDE & INSTALL RECD NET FREE VENTILATION:
IF USING 22.25IN x 3.5IN EAVE SOFFIT VENT, APPROX. 55 SQ.IN. NET FREE AIR.

ATTIC AREA AT LEVEL 1(LIVING + BEDROOM):
750 SF / 150 = 5 SF
750 SQ-IN / 55 = 14

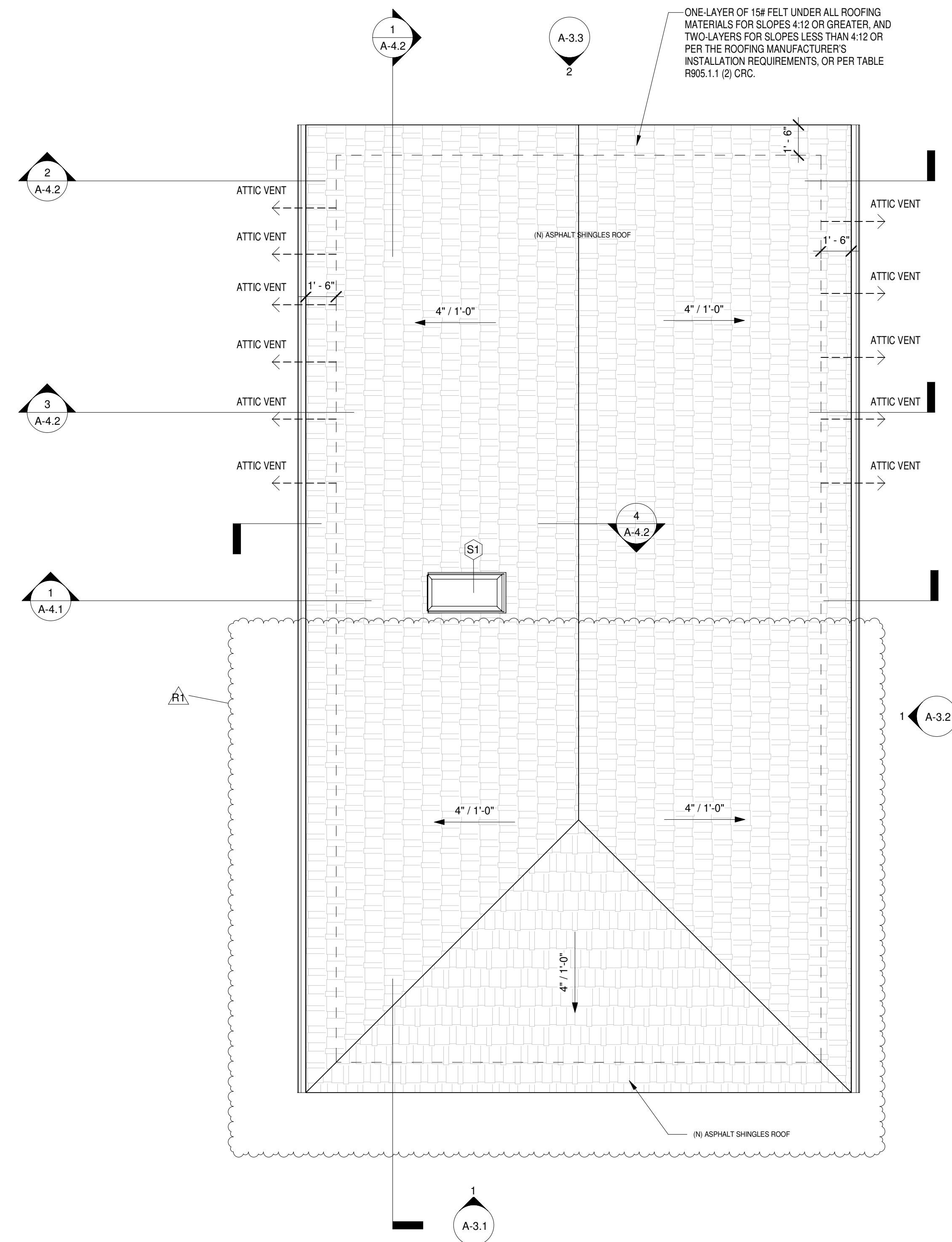
ATTIC AREA AT LEVEL 1(FAMILY ROOM)
200 SF / 150 = 2.8 SF
200 SQ-IN / 55 = 4

ATTIC AREA AT LEVEL 2 (NON VAULTED CEILING):
572 SF / 150 = 3.9 SF
572 SQ-IN / 55 = 11

ATTIC VENTILATION NOTES 1/4" = 1'-0"



EXISTING FLOOR PLAN - ROOF 1/4" = 1'-0" 1



PROPOSED FLOOR PLAN - ROOF 1/4" = 1'-0" 2

DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
1.6 GALLONS PER FLUSH FOR TOILETS
1.0 GALLONS PER FLUSH FOR URINALS
2.2 GPM FOR SHOWERHEAD
2.2 GPM FOR ANY INTERIOR FAUCETS

PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1' AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2' OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGSBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
A. ALL INGRESS AND EGRESS DOORS.
B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC..
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

DRAFER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA
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**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
	BUILDING PERMIT	9/19/2022
1	BUILDING PERMIT RESUBMITTAL	10/19/2022
R1	PLANNING PERMIT REVISION	8/28/2023

**EXISTING +
DEMO /
PROPOSED
FLOOR PLAN -
ROOF**

Project Number 12125
Date 8/28/2023

A-2.5

Scale 1/4" = 1'-0"

DIZIGN Studio

DRAFTER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA 95055
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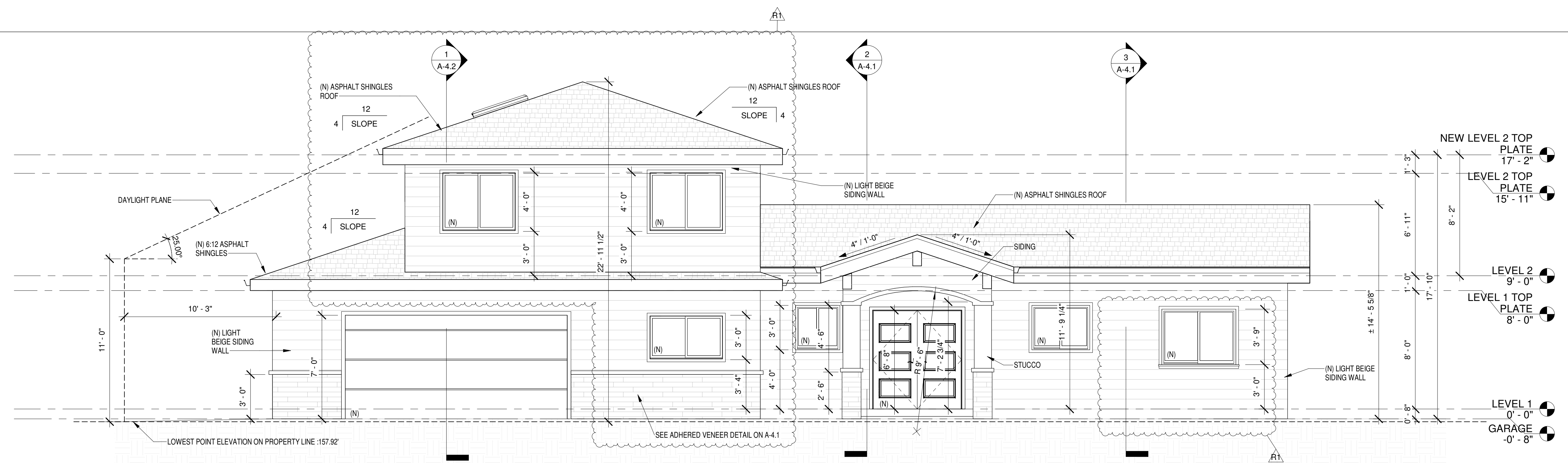
**EXISTING /
PROPOSED
ELEVATIONS**

Project Number 12125
Date 8/28/2023

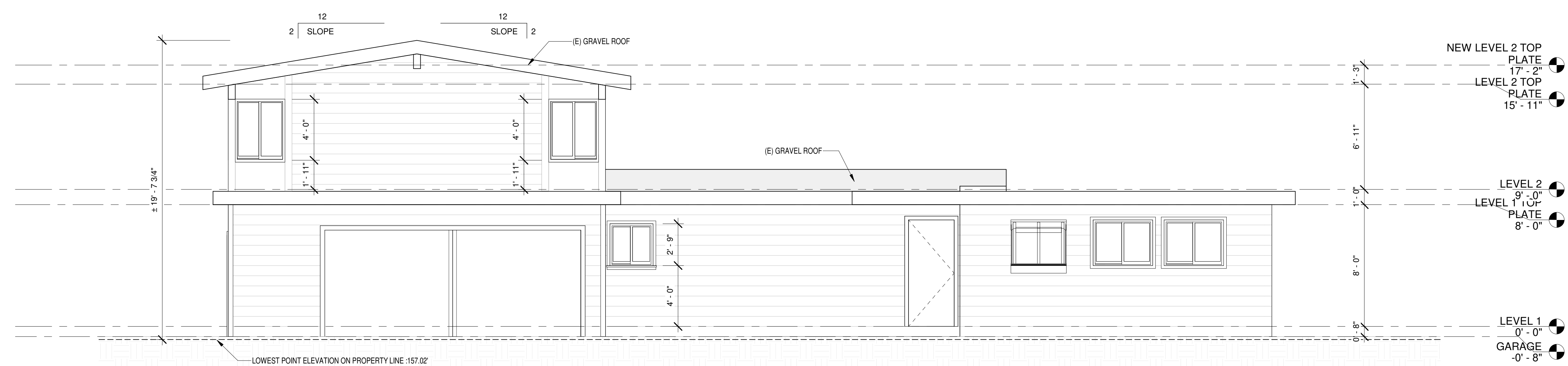
A-3.1

Scale 1/4" = 1'-0"

8/28/2023 9:29:01 PM



PROPOSED ELEVATION- NORTH 1/4" = 1'-0" 1



EXISTING ELEVATION- NORTH 1/4" = 1'-0" 2

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALCS: OPENINGS FOR UNDER-FLOOR VENTILATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

1. ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES. MINIMUM FIRE RATED CLASS A
2. ALL FLASHING TO BE 22 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
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3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQUIRED PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOORS' VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
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**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
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R1	PLANNING PERMIT REVISION	8/28/2023

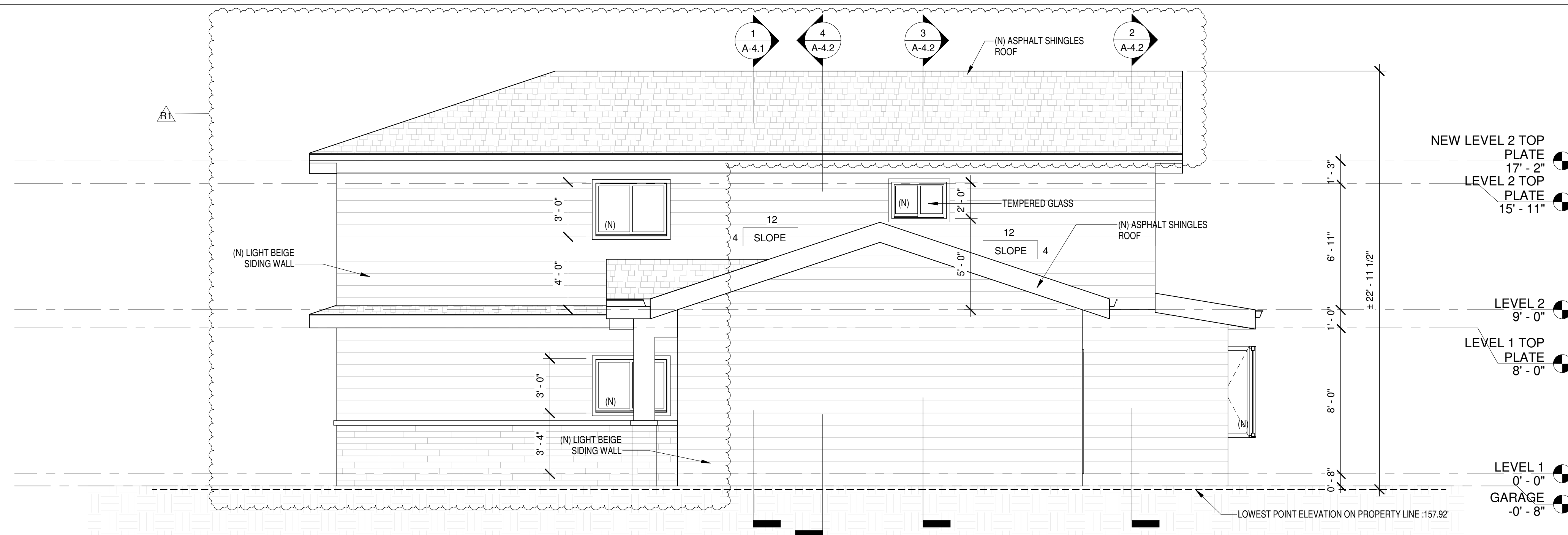
**EXISTING /
PROPOSED
ELEVATIONS**

Project Number 12125

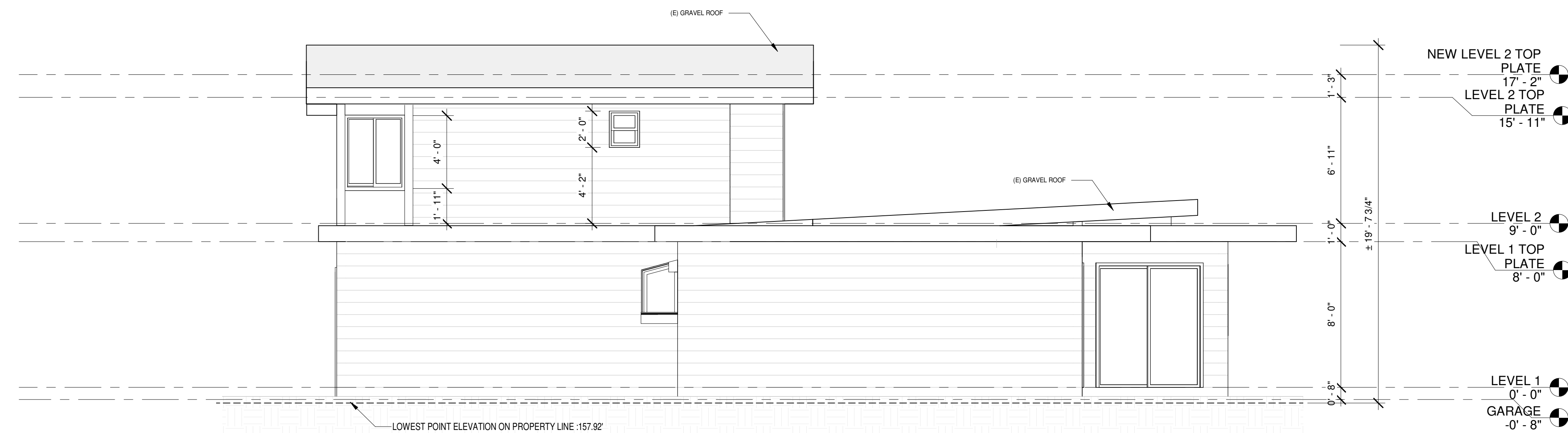
Date 8/28/2023

A-3.2

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- WEST 1/4" = 1'-0" 1



EXISTING ELEVATION- WEST 1/4" = 1'-0" 2

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3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
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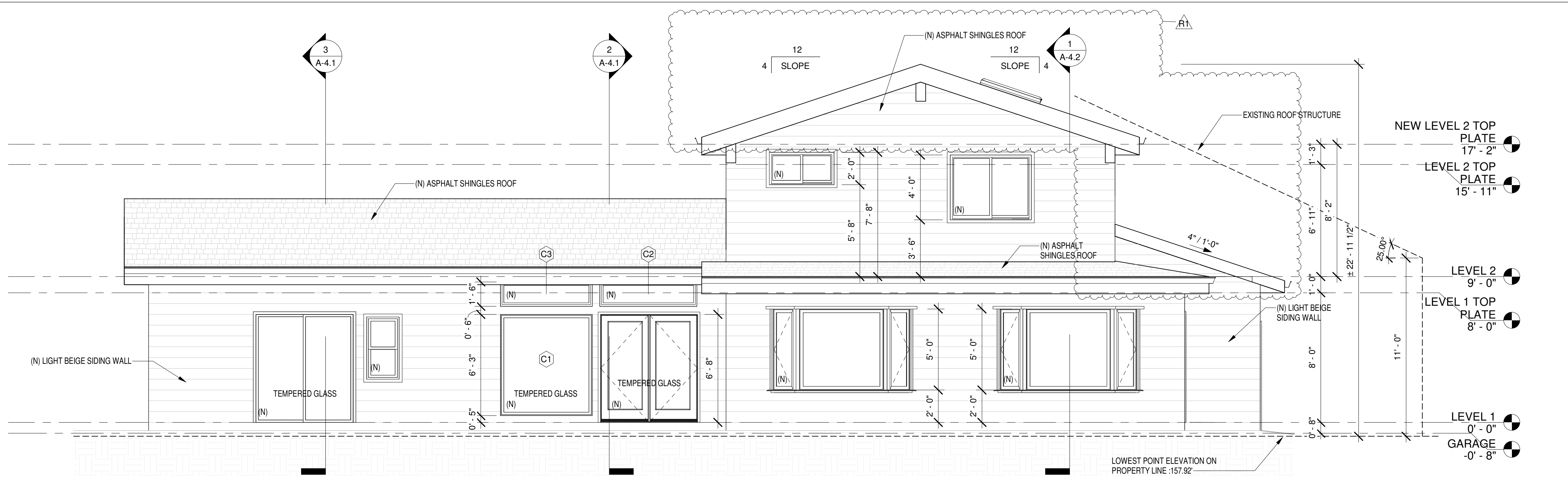
No.	Description	Date
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R1	PLANNING PERMIT REVISION	8/28/2023

**EXISTING /
PROPOSED
ELEVATIONS**

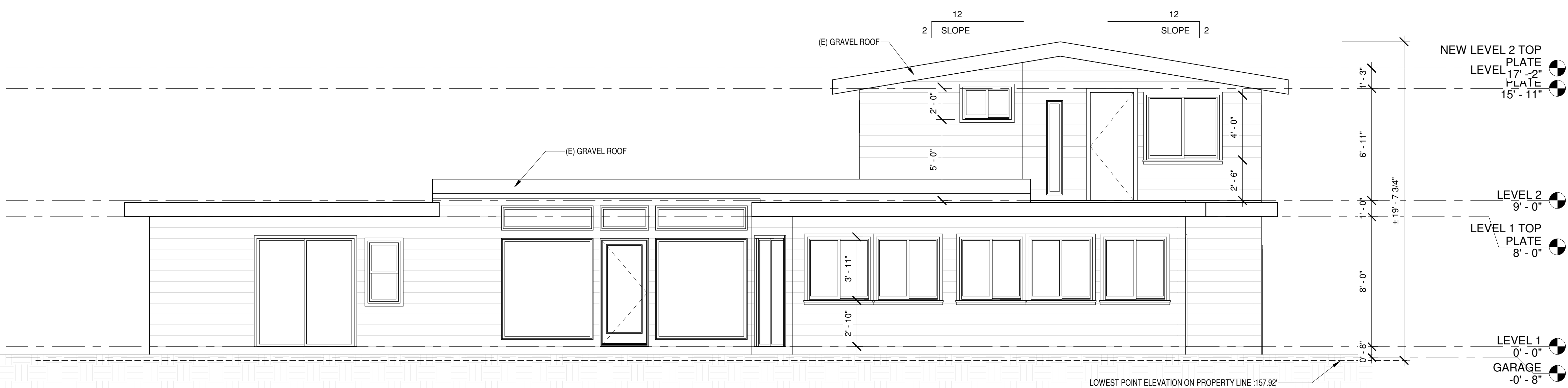
Project Number 12125
Date 8/28/2023

A-3.3

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- SOUTH 1/4" = 1'-0" 2



EXISTING ELEVATION- SOUTH 1/4" = 1'-0" 1

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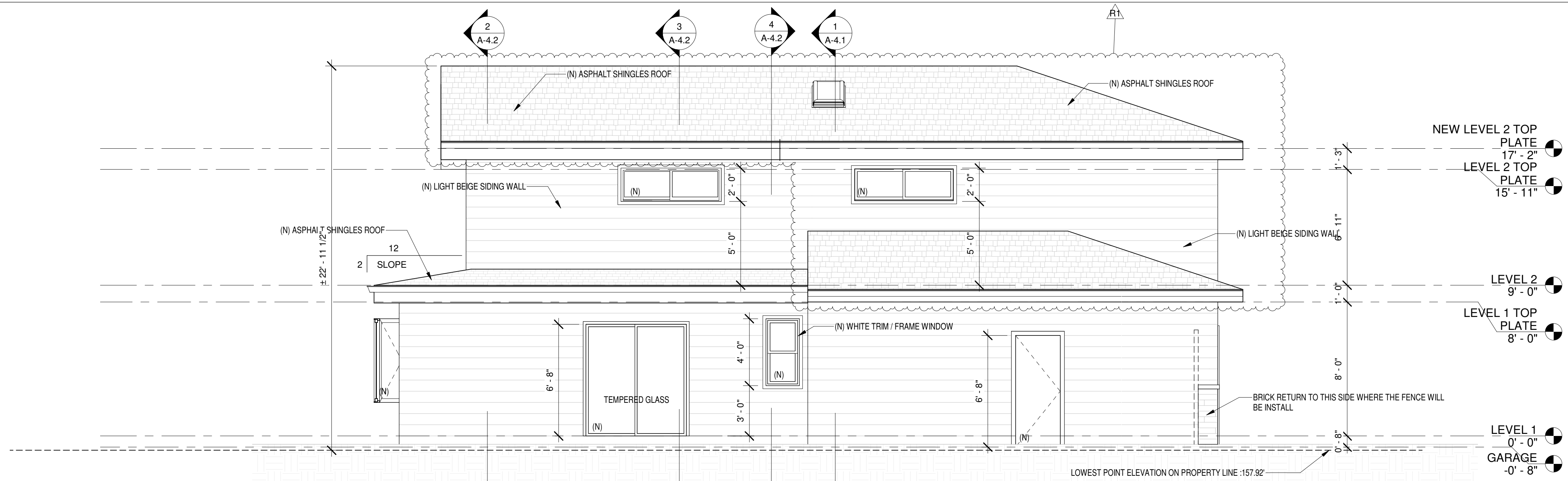
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**EXISTING /
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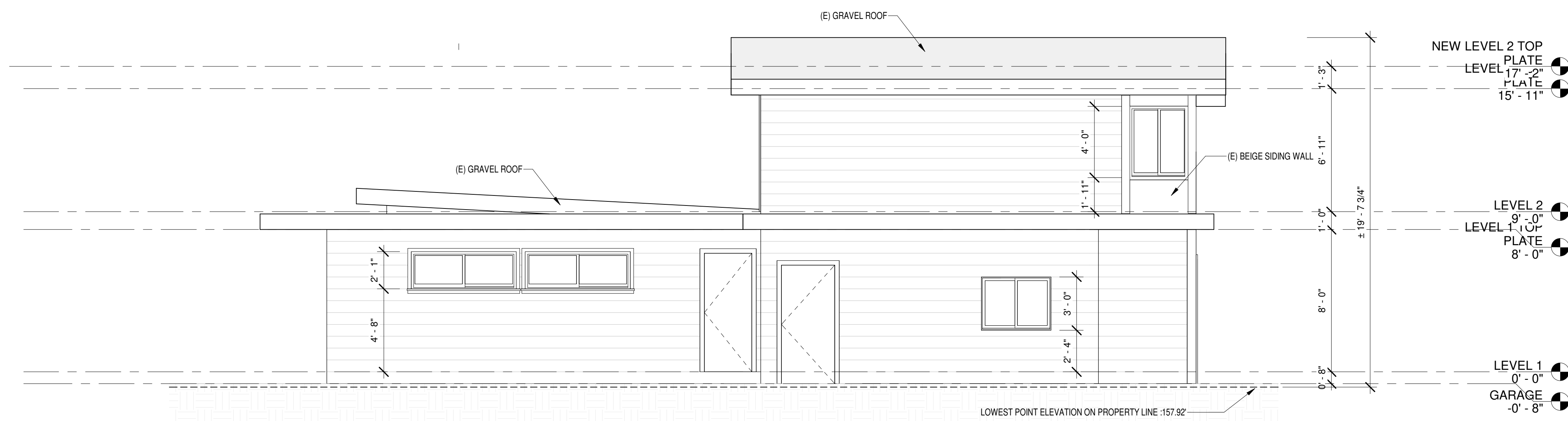
Project Number 12125
Date 8/28/2023

A-3.4

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- EAST 1/4" = 1'-0" 1



EXISTING ELEVATION- EAST 1/4" = 1'-0" 2

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 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

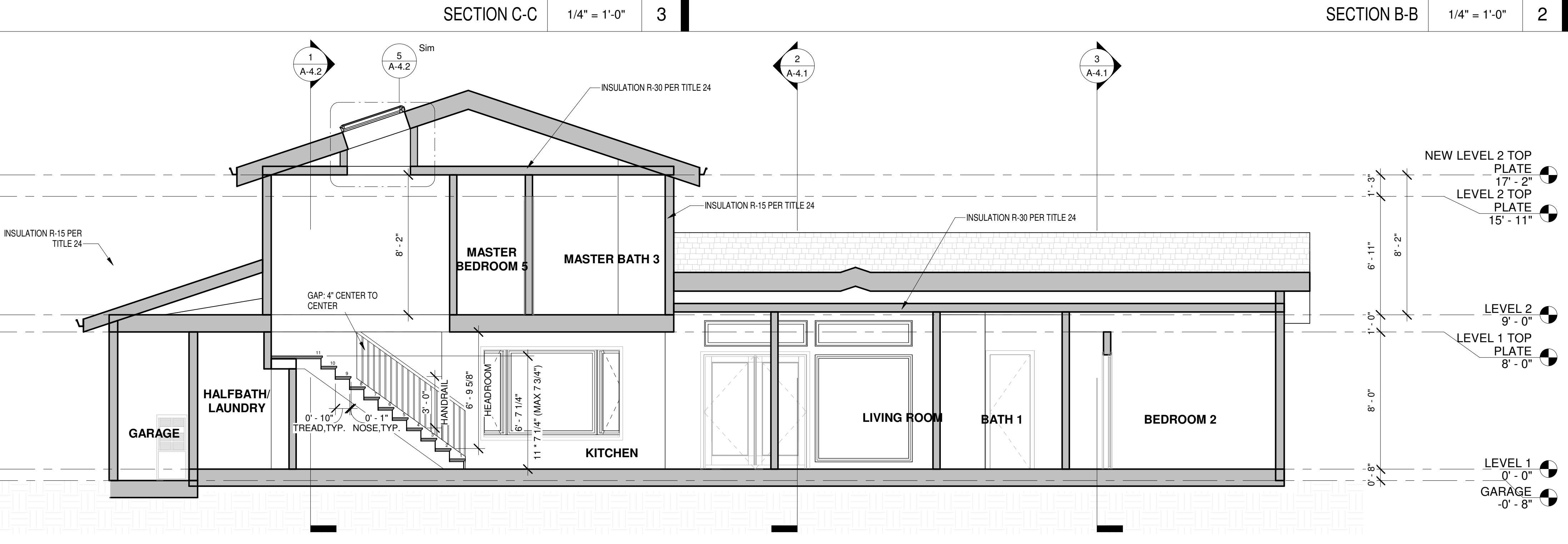
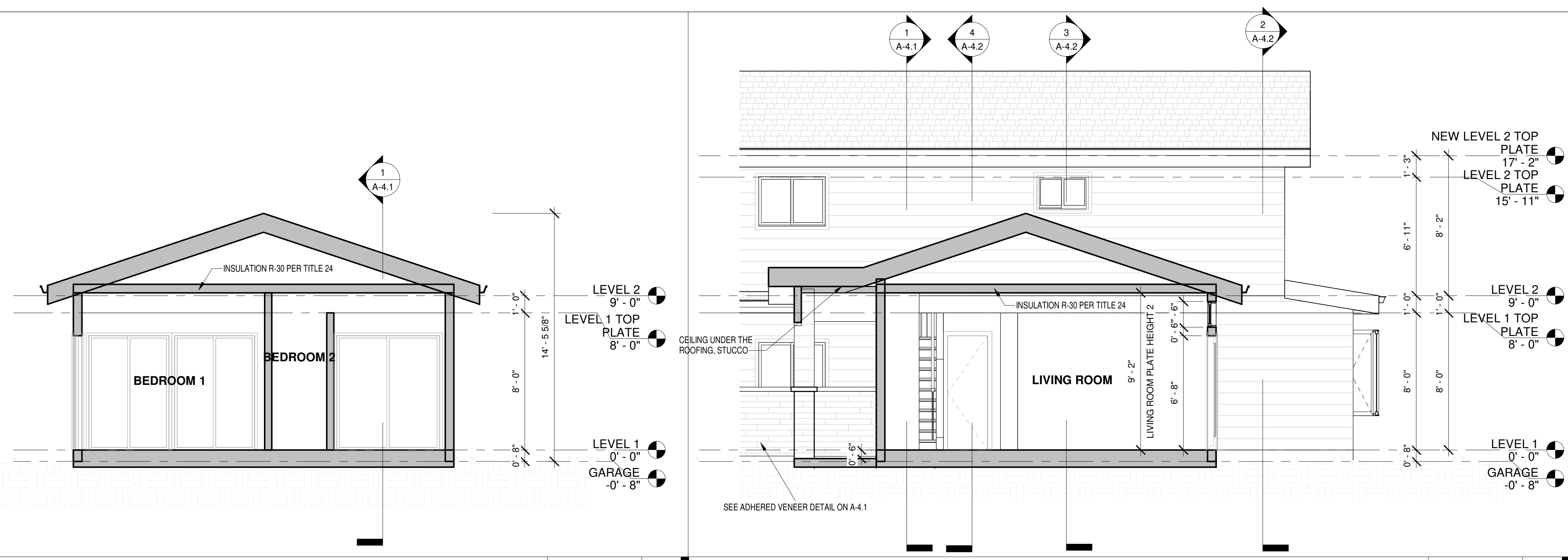
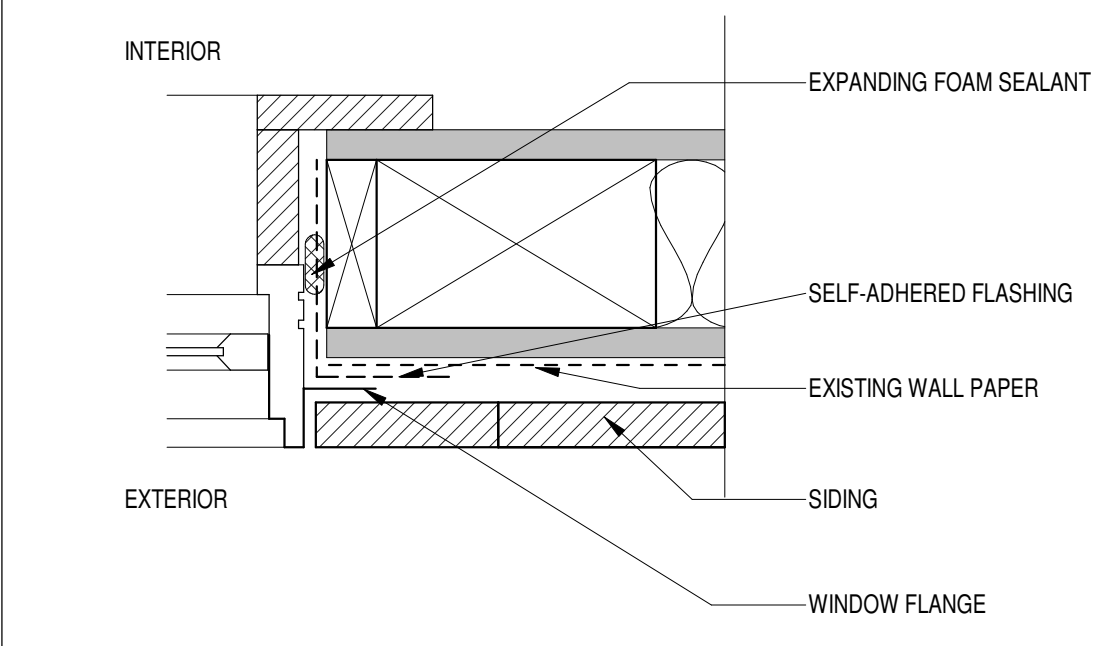
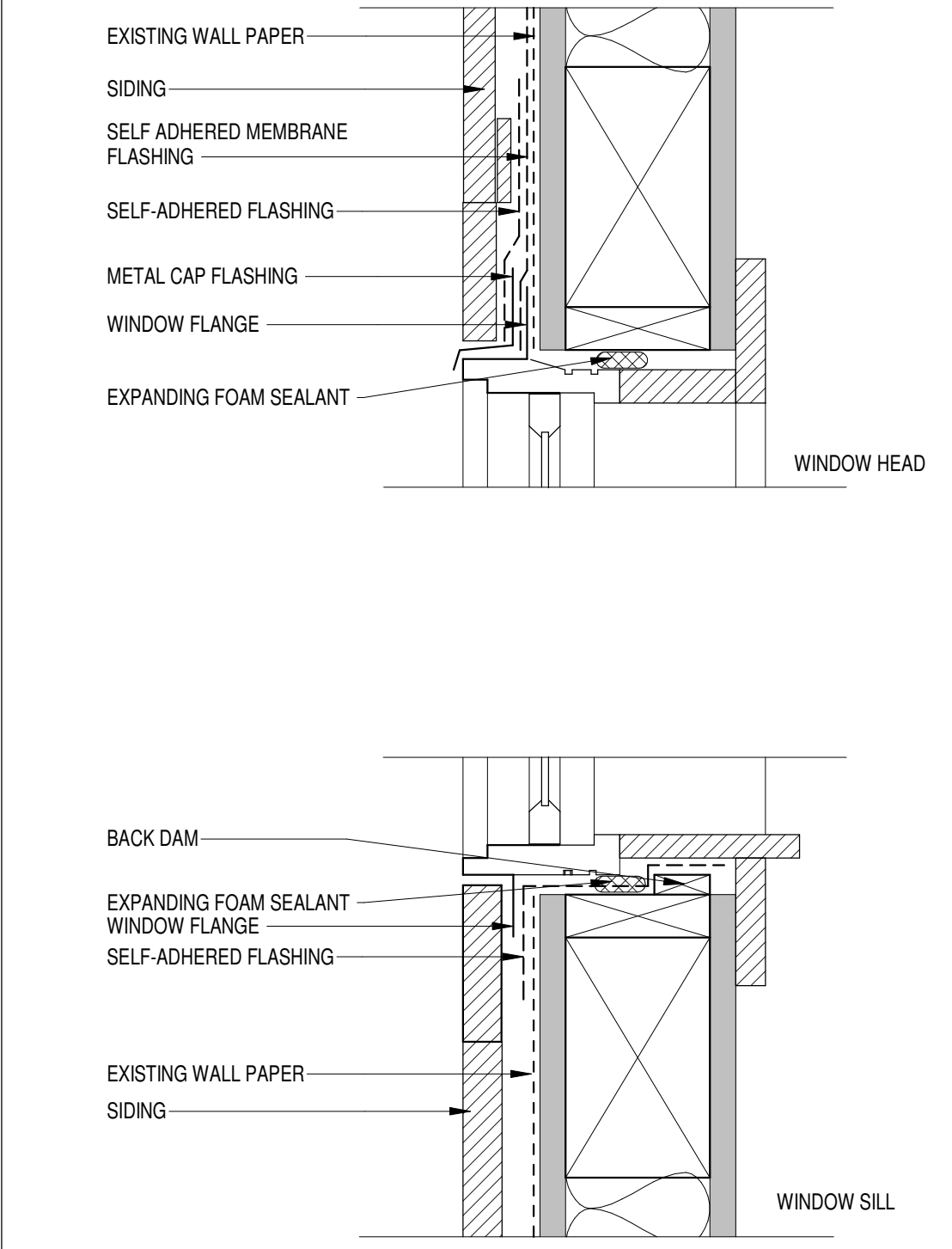
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
1	BUILDING PERMIT	9/19/2022
	BUILDING PERMIT RESUBMITTAL	10/19/2022

BUILDING SECTIONS

Project Number 12125
 Date 8/28/2023

A-4.1

Scale As indicated

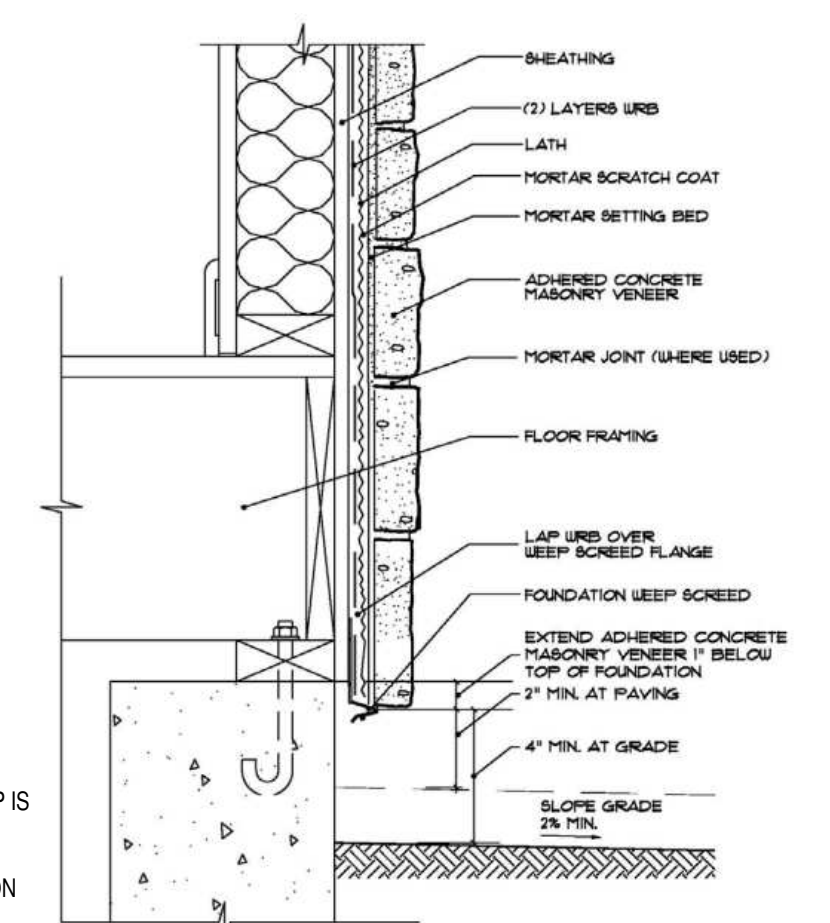
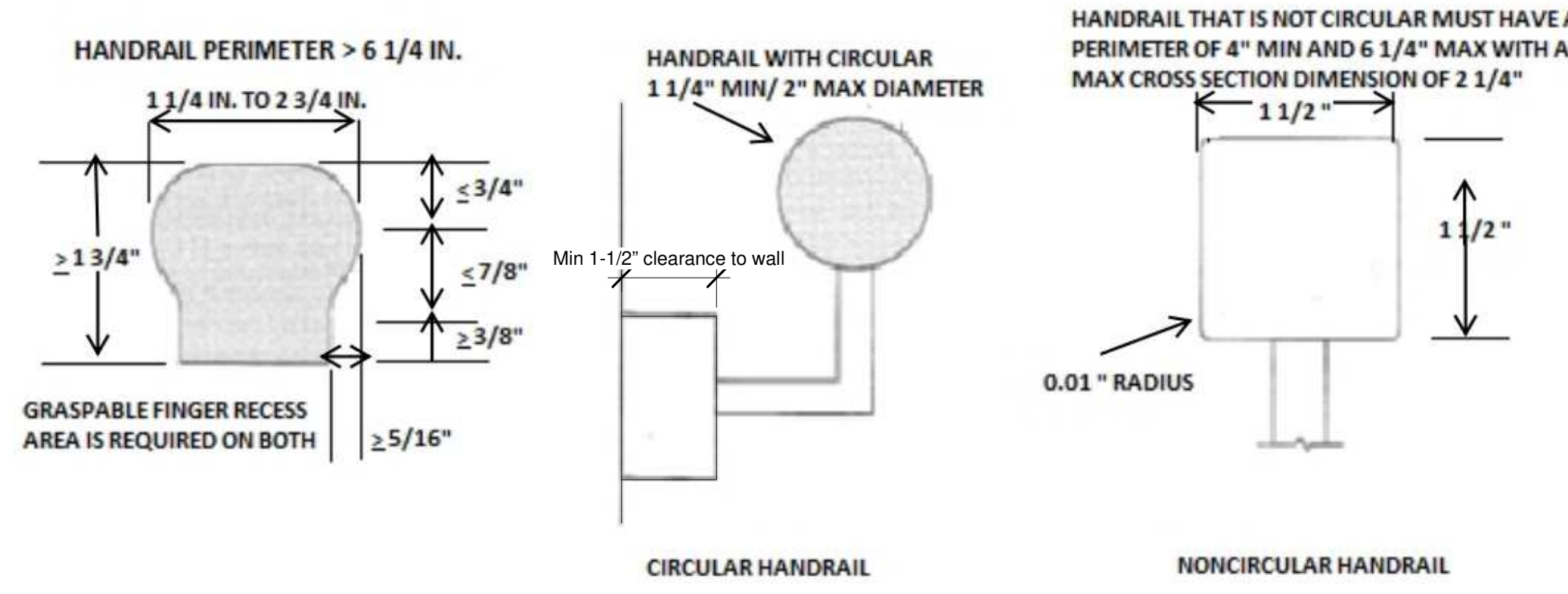


WATER RESISTANT BARRIERS DETAIL 3" = 1'-0" 4

SECTION A-A 1/4" = 1'-0" 1

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALC. OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM), CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 (SPCB)
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.



A MINIMUM OF A FOUR INCH GAP IS REQUIRED AT THE BASE OF THE WALL FOR PROPER DRAINAGE AND TO AVOID WATER INTRUSION INTO THE ASSEMBLY.

DIZIGN Studio

DRAFTER: JENNY ZHAO
 1050 KIELY #3571, SANTA CLARA, CA
 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

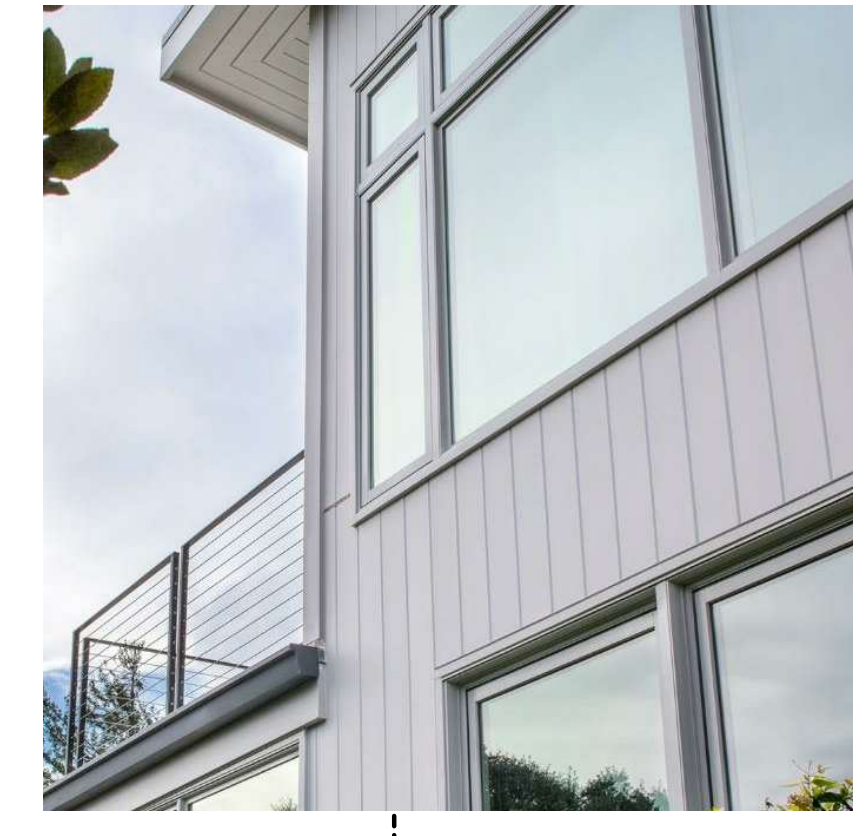
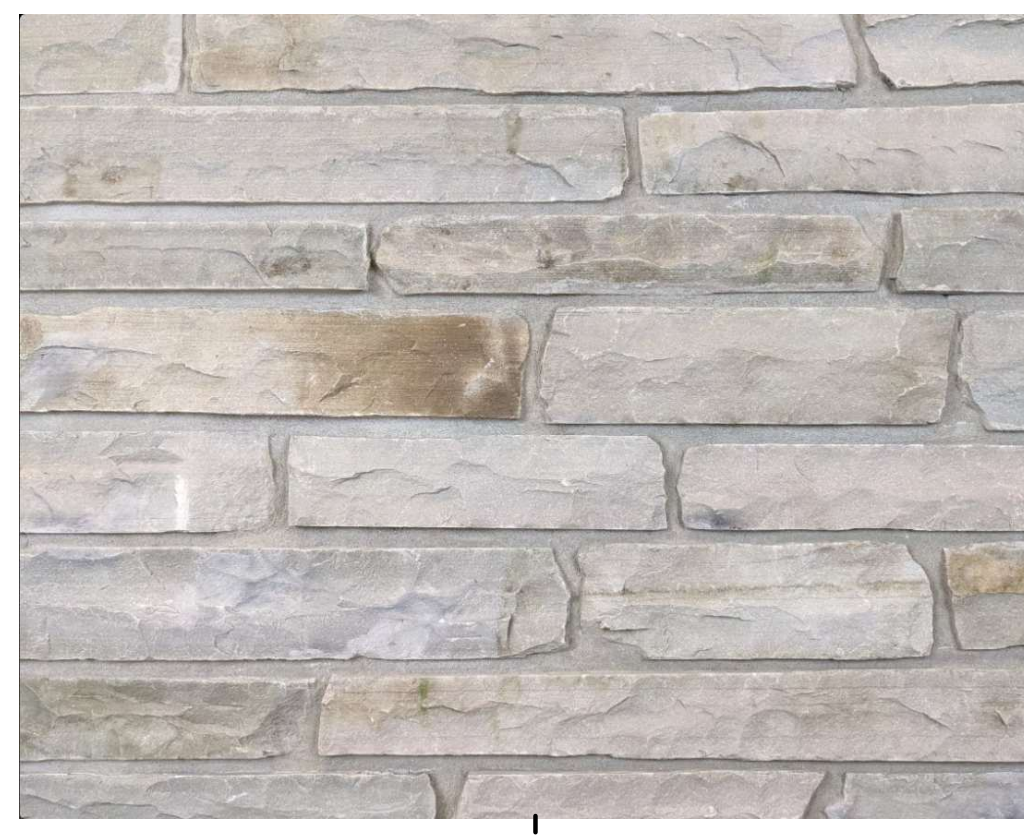
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022
R1	PLANNING PERMIT REVISION	8/28/2023

MATERIAL BOARD

Project Number 12125
 Date 8/28/2023

A-6

Scale



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window
Material	Fiber cement	Fiber cement	Fiberglass Asphalt Shingles	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White
Manufacturer / Brand	James Hardie Artisan V-Groove siding	James Hardie	G.A.F Timberline HDZ Shingles	Milgard Ultra™ Series C650
Product specifications	8.25-inch width, 7-inch exposure	3.5-inch/4.6-inch width		
Color board				

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardie	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorative Primed Steel Prehung Front Door on 6-9/16 in. Frame	Long bead board design with Moonlite windows
Color board				

DIZIGN Studio

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1050 KIELY #3571, SANTA CLARA, CA
95055
JENNYLI7945@GMAIL.COM
408-669-7945

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OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022
R1	PLANNING PERMIT REVISION	8/28/2023

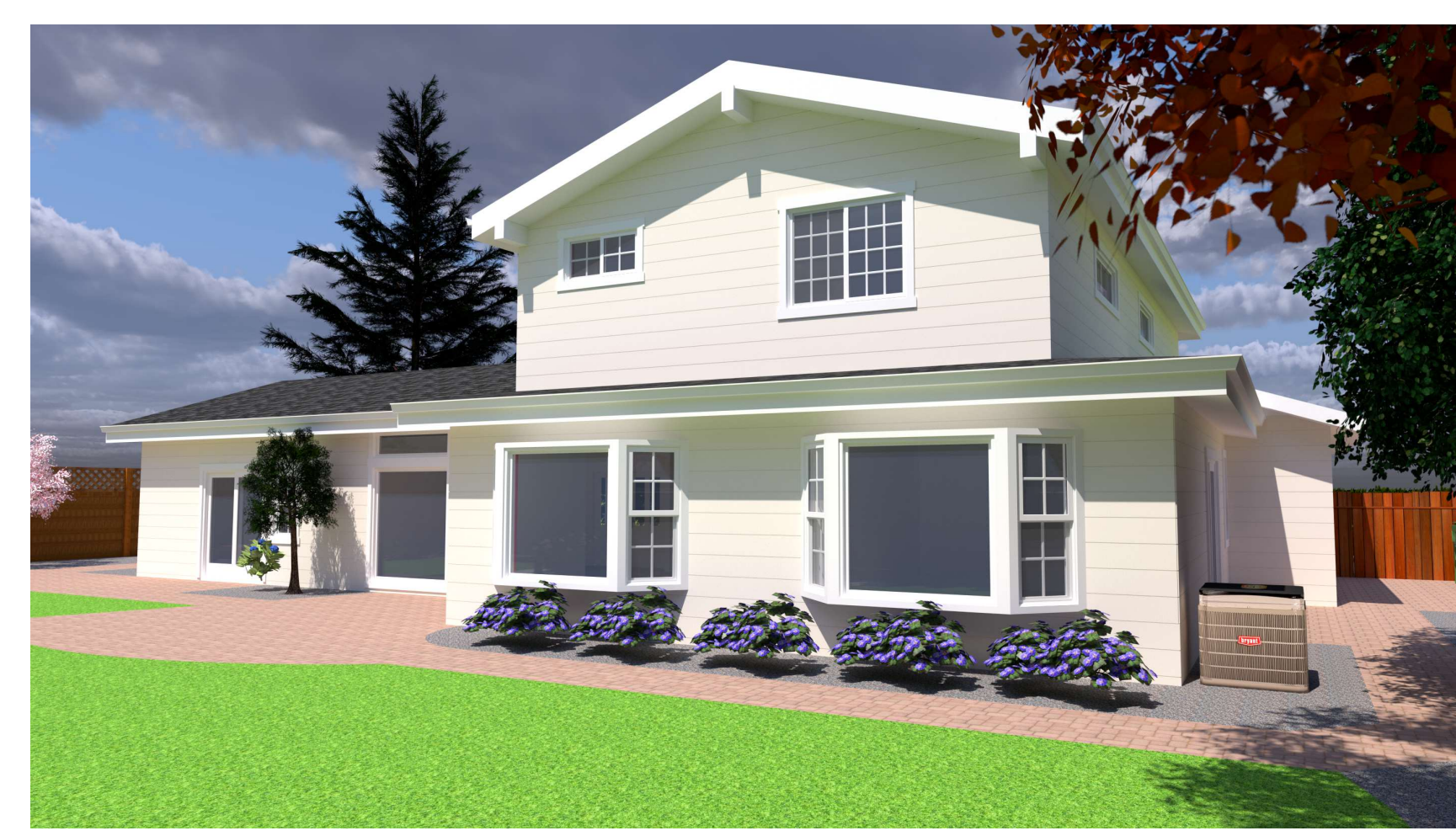
RENDERING

Project Number 12125
Date 8/28/2023

A-6.1

Scale 1" = 10'-0"

8/28/2023 9:29:05 PM



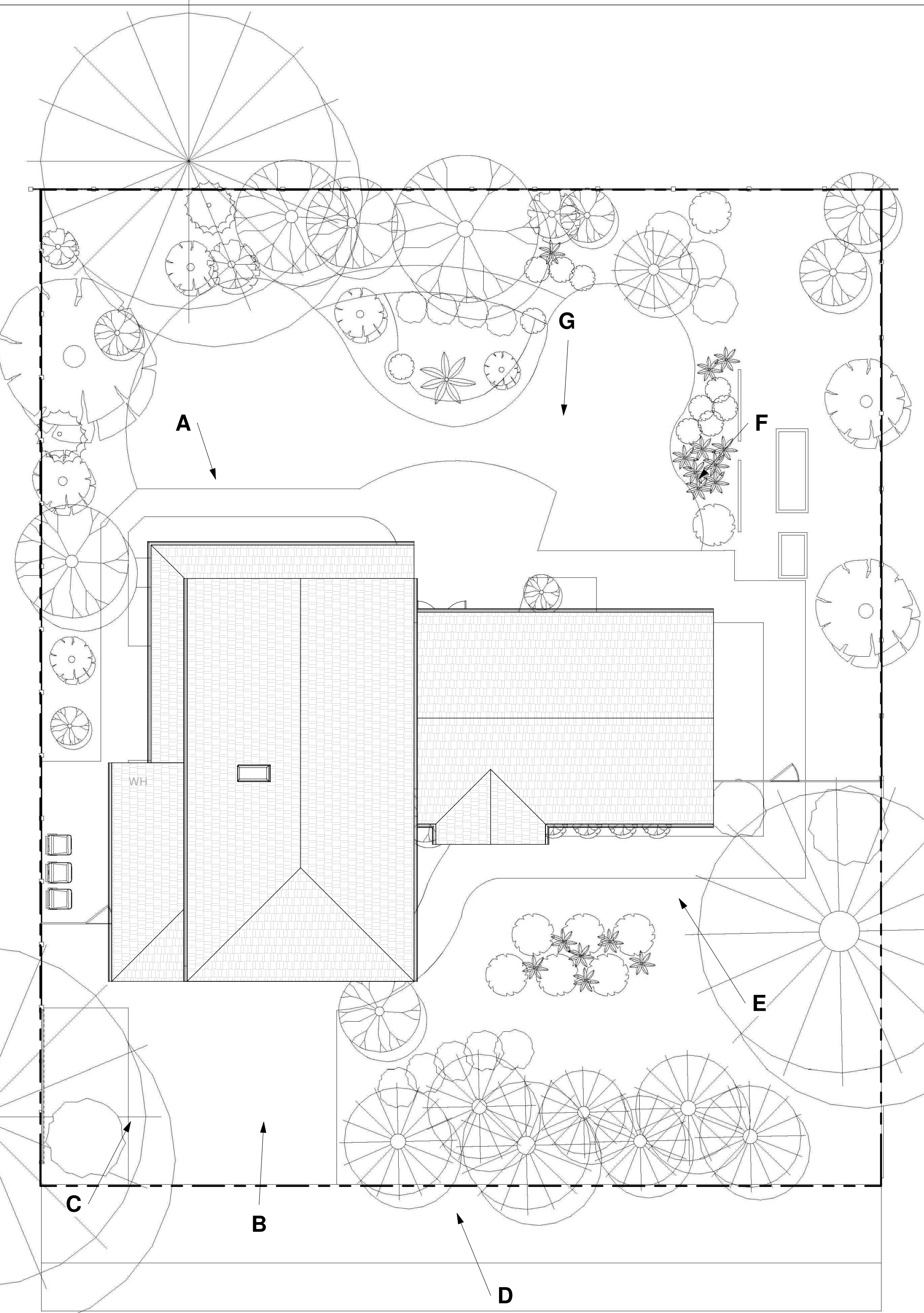
A



B



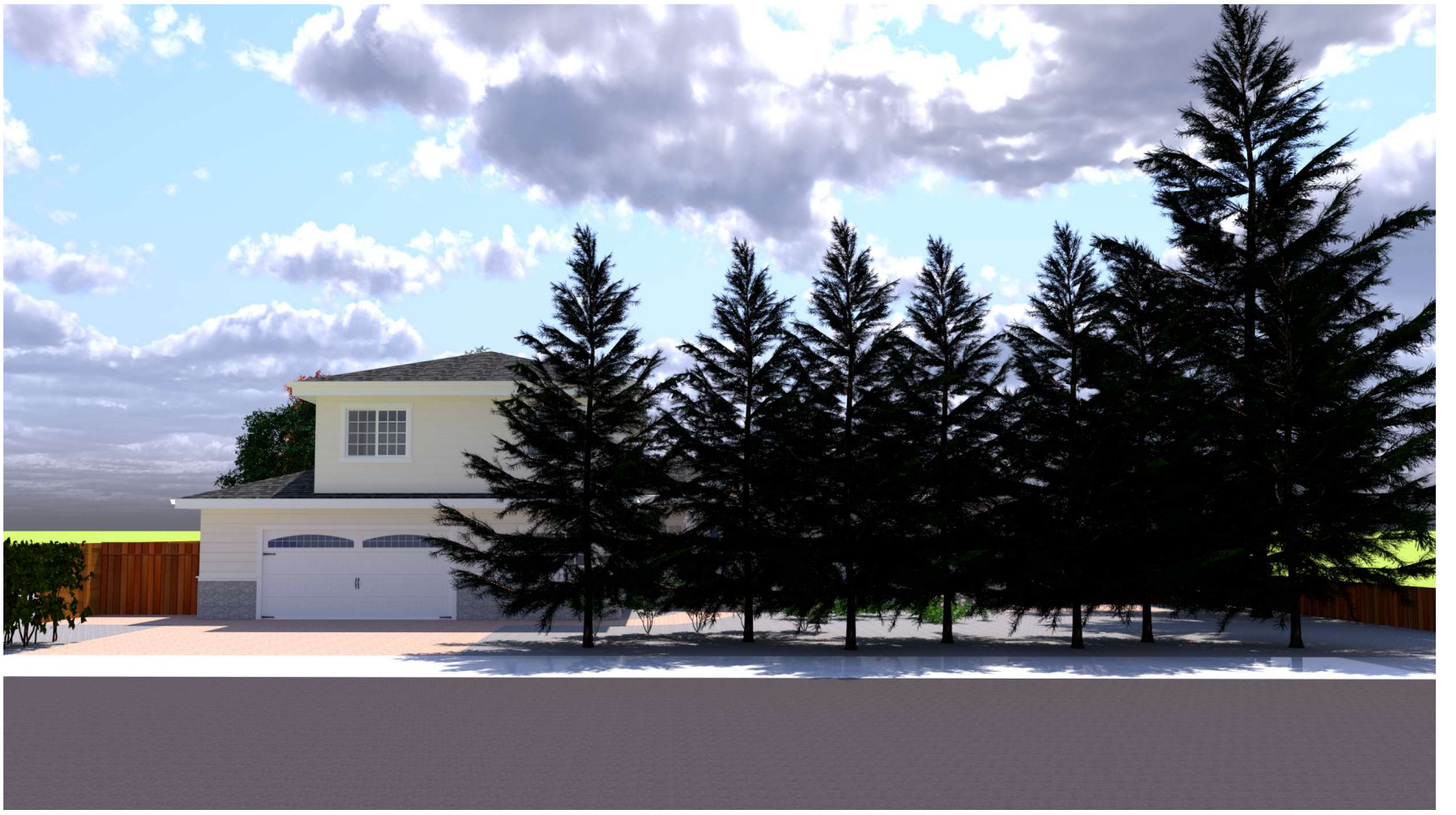
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G



F



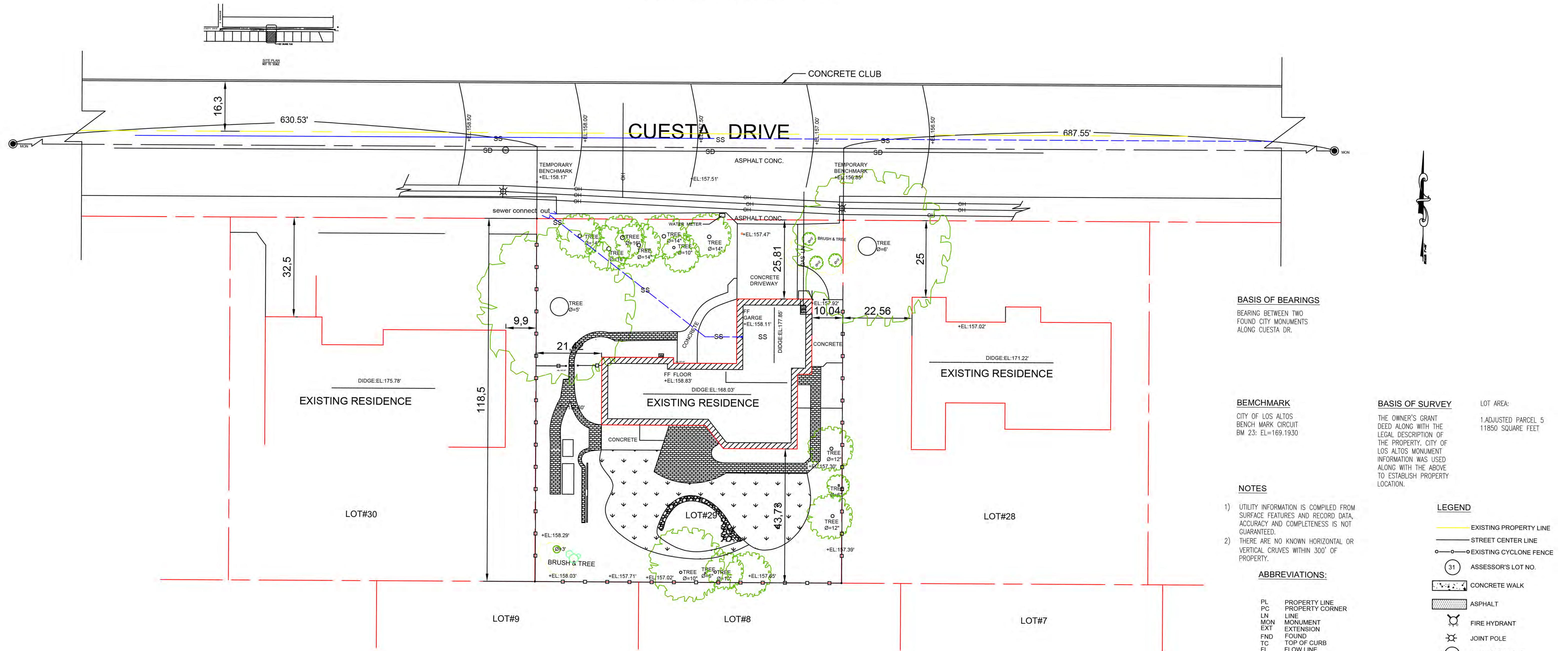
D



E

BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS ESCROW NO.:0623016782 AS SAID LOTS ARE SHOWN ON THE MAP OF VACANT INDUSTRIAL LAND LOCATED IN THE CITY OF LOS ALTOS OF SANTA CLARA COUNTY CALIFORNIA, IDENTIFIED AS APN :189-39-052



BASIS OF BEARINGS
BEARING BETWEEN TWO FOUND CITY MONUMENTS ALONG CUESTA DR.

BENCHMARK
CITY OF LOS ALTOS
BENCH MARK CIRCUIT
BM 23: EL=169.1930

BASIS OF SURVEY
THE OWNER'S GRANT DEED ALONG WITH THE LEGAL DESCRIPTION OF THE PROPERTY, CITY OF LOS ALTOS MONUMENT INFORMATION WAS USED ALONG WITH THE ABOVE TO ESTABLISH PROPERTY LOCATION.

LOT AREA:
1. ADJUSTED PARCEL 5
11850 SQUARE FEET

- NOTES**
- UTILITY INFORMATION IS COMPILED FROM SURFACE FEATURES AND RECORD DATA, ACCURACY AND COMPLETENESS IS NOT GUARANTEED.
 - THERE ARE NO KNOWN HORIZONTAL OR VERTICAL CURVES WITHIN 300' OF PROPERTY.

ABBREVIATIONS:

- | | |
|-------|------------------------|
| PL | PROPERTY LINE |
| PC | PROPERTY CORNER |
| LN | LINE |
| MON | MONUMENT |
| EXT | EXTENSION |
| FND | FOUND |
| TC | TOP OF CURB |
| FL | FLOW LINE |
| SS | SANITARY SEWER |
| SD | STORM DRAIN |
| MH | MAN HOLE |
| (r) | RECORD INFORMATION |
| OHE | OVERHEAD ELECTRIC |
| FNC | FENCE |
| INTNL | INTERNATIONAL AVE. |
| AC | ASPHALT CONCRETE |
| FC | FIRE HYDRANT |
| SM | STORM DRAIN MANHOLE |
| SSM | SANITARY SEWER MANHOLE |
| SI | STORM DRAIN INLET |
| GP | GAS PIPE |
| EP | EDGE OF PAVEMENT |
| CONC | CONCRETE |
| SSCO | SEWER CLEAN OUT |
| FF | FINISH FLOOR |
| SFNF | SEARCH FOR NOT FOUND |

- LEGEND**
- EXISTING PROPERTY LINE
 - STREET CENTER LINE
 - EXISTING CYCLONE FENCE
 - 31 ASSESSOR'S LOT NO.
 - CONCRETE WALK
 - ASPHALT
 - FIRE HYDRANT
 - JOINT POLE
 - SEWER MANHOLE
 - FOUND CITY MONUMENT
 - CATCH BASIN
 - SET 3/4" RB. RCE 22573
 - LOT#29 SUBDIV. LOT NO.
 - SIGN
 - ELECTRICITY METER
 - GAS METER BOX
 - WATER METER BOX
 - SURVEY MONUMENT
 - BOUNDARY LINE
 - MONUMENT LINE
 - OLD LOT LINE
 - EASEMENT LINE
 - WOODEN FENCE LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - GAS LINE
 - OVERHEAD ELECTRICAL LINE
 - STORM DRAIN LINE
 - TREE (TYPE NOT SPECIFIED)
 - TREE LOSS
 - POWER POLE
 - STREET LIGHTING

PUBLIC ADVISORY

THE MAP WAS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF LOS ALTOS AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF LOS ALTOS THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

REFERENCE

- MAP OF THE RESUBDIVISION SANTA CLARA COUNTY ASSESSOR'S MAP
- CITY OF LOS ALTOS MONUMENT MAP
- CITY OF LOS ALTOS SEWER MAP

SURVEYOR'S STATEMENT

THIS MAP WAS REPRESENTS BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCES AT THE REQUEST OF YUN LI IN SEPTEMBER, 2021.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH AND THAT THE GRADES SHOWN HEREON ARE BASED ON PROJECT BM ON CITY OF LOS ALTOS DATUM.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON THAT CERTAIN DEED IN THE OFFICIAL RECORDED, SANTA CLARA COUNTY DOC#25040239

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYORS THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY BE FILED.

