



HISTORICAL COMMISSION MEETING AGENDA

7:00 PM - Monday, January 22, 2024

*Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA*

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to HCPublicComment@losaltosca.gov.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

<http://tinyurl.com/26unkz4a>

Telephone: 1-253-215-8782 / Webinar ID: 826 0886 3948 / Passcode: 870937

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to HCPublicComment@losaltosca.gov.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Historical Commission packet.

AGENDA

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. The Commission Chair will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Planning Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes

to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. Historical Commission Minutes

Approve the minutes of the regular meeting of December 11, 2023.

DISCUSSION

2. Preparation for Work Plan and Joint Meeting

Review the work plan and discuss possible topics for the joint meeting with the Council.

3. H23-0002 – Heather Youngquist– 41 Hawthorne Avenue

Request for Historic Advisory Review for a new 400 square-foot detached accessory structure (garage). This project is categorically exempt from environmental review under Section 15303 (“New Construction or Conversion of Small Structures”) and Section 15331 (“Historical Resource Restoration/Rehabilitation”) of the California Environmental Quality Act (CEQA). *Project Planner: Gallegos*

INFORMATIONAL ITEMS

COMMISSIONERS' REPORTS AND COMMENTS

POTENTIAL FUTURE AGENDA ITEMS

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Planning Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

Decisions of the Historical Commission are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.

**MINUTES OF THE SPECIAL MEETING OF THE HISTORICAL COMMISSION OF
THE CITY OF LOS ALTOS, HELD ON MONDAY, DECEMBER 11, 2023, AT 7:00 P.M
AT LOS ALTOS CITY HALL, ONE NORTH SAN ANTONIO ROAD, LOS ALTOS,
CALIFORNIA**

ESTABLISH QUORUM

PRESENT: Commissioners Adams, Bartlett, Coe, and Lang

ABSENT: Commissioner Paige

PUBLIC COMMENTS

No public comments.

ITEMS FOR CONSIDERATION/ACTION

1. Election of Chair and Vice-Chair
Nominate and elect members to serve as Chair and Vice Chair

Public Comment

No public comment.

Action: Upon a motion by Commissioner Adams, the Commission moved to elect Commissioner Adams as the new Historical Commission Chair for a term ending on the first meeting of September 2024.

AYES: Adams, Bartlett, Coe, and Lang; NOES: None; ABSENT: Paige; ABSTAIN: None

Action: Upon a motion by Commissioner Coe, the Commission moved to elect Commissioner Coe as the new Historical Commission Vice-Chair for a term ending on the first meeting of September 2024.

AYES: Adams, Bartlett, Coe, and Lang; NOES: None; ABSENT: Paige; ABSTAIN: None

CONSENT CALENDAR

2. Historical Commission Minutes
Approve minutes of the regular meeting of April 19, 2023, April 24, 2023 and September 25, 2023

Action: Upon a motion by Commissioner Lang, seconded by Commissioner Adams, the Commission moved to approve the minutes of April 19, 2023, April 24, 2023 and September 25, 2023 with two corrections to the September 25, 2023 minutes 1) the minutes should be corrected to state that “Chair Lang stated for the record that the Historical Commission urges the City Council to have an open mind and to give consideration to facilitating the need to work with the existing structure and preserve its historic status. for January 23, 2023” and 2) The permit number

referenced in the motion should be HPA23-001.

AYES: Adams, Bartlett, Coe, and Lang; NOES: None; ABSENT: Paige; ABSTAIN: None

DISCUSSION

3. Consider the Historical Commission Schedule for 2024

Public Comment:

None

The Commission discussed the Schedule for 2024.

Action: Upon a motion by Commissioner Lang, seconded by Commissioner Coe, the Commission moved to approve a meeting schedule with meeting dates occurring on January 22, 2024, April 15, 2024, August 19, 2024, and October 28, 2024.

AYES: Adams, Bartlett, Coe, and Lang; NOES: None; ABSENT: Paige; ABSTAIN: None

4. Preparation for Work Plan and Joint Meeting

Review the work plan and discuss possible topics for the joint meeting with the Council.

Public Comment:

No public comments.

The Commission discussed the nomination.

Action: Upon a motion by Commissioner Coe, seconded by Commissioner Adams, the Commission moved to approve the work plan with the following comments and revisions:

- 1) For Goal 1 (Administer the annual Margaret Thompson Essay Contest), the work plan shall be revised to show Commissioner Lang is assigned to oversee the work plan item.
- 2) For Goal 2 (Implement the Historic Plaque Program), Commissioner Lang will work with the History Museum for a tentative date in May 2024 for an event for the Historic Plaque program at the History Museum.
- 3) For Goal 3 (Administer the preservation and interpretation of the Historic Landmark Apricot Orchard), the goal is modified to “Review Ongoing Efforts to preserve the Historic Landmark Apricot Orchard” with the Commission’s assignment to “coordinate informational reports and presentations from the Los Altos History Museum Orchard Commons Committee on the status of rehabilitation efforts of Historic Apricot Orchard.”
- 4) For Goal 4 (Provide oversight for the ongoing effort to preserve the Halsey House, a City Historic Landmark), the goal is deleted from the work plan.
- 5) For Goal 6 (Review the ongoing staff efforts to ensure the Mills Act is advancing the preservation of historic properties in Los Altos), an assignment shall be added for staff to provide annual report to the Historical Commission on October 28, 2024.
- 6) A new goal was added to “Provide a venue for public engagement regarding the city's heritage by safeguarding historic resources.”
- 7) The overall work plan shall be revised to correct typographical errors in the document.

- 8) The commission determined their topics of discussion at the Council joint meeting will be the work plan and also a discussion of historic nature of reports and properties, and how the town came about.

AYES: Adams, Bartlett, Coe, Lang, and Paige; NOES: None; ABSENT: None.

INFORMATIONAL ITEMS

5. Commission Handbook and Commission Power and Duties

Presentation regarding the final Commission Handbook, and the edited version of the Powers and Duties for the Commission.

Staff provided updates on the final Commission Handbook, and the edited version of the Powers and Duties for the Commission.

6. Monthly Staff Report

Staff provided updates on the next regular meeting, the staff liaison, the Margaret Thompson Essay Contest.

COMMISSIONERS' REPORTS AND COMMENTS

None

ADJOURNMENT

Chair Adams adjourned the meeting at 8:49 p.m.

Sean Gallegos
Staff Liaison



ITEM #2

HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: January 22, 2024

Subject: Preparation for Work Plan and Joint Meeting

Prepared by: Sean Gallegos, Senior Planner

Attachment: A. Draft 2023/2024 Work Plan

Staff Recommendation

Review the revised work plan and finalize possible topics for the joint meeting with Council.

Environmental Review:

Not applicable

Summary/Project Description:

In preparation for the February 2024 Joint Meeting with City Council, the Commission will go over items for discussion.

Fiscal Impact:

None

Discussion/Analysis

Commission approved the work plan on December 11, 2023, with the following comments and revisions:

- 1) For Goal 1 (Administer the annual Margaret Thompson Essay Contest), the work plan shall be revised to show Commissioner Lang is assigned to oversee the work plan item.
- 2) For Goal 2 (Implement the Historic Plaque Program), Commissioner Lang will work with the History Museum for a tentative date in May 2024 for an event for the Historic Plaque program at the History Museum.
- 3) For Goal 3 (Administer the preservation and interpretation of the Historic Landmark Apricot Orchard), the goal is modified to “Review Ongoing Efforts to preserve the Historic Landmark Apricot Orchard” with the Commission’s assignment to “coordinate informational reports and presentations from the Los Altos History Museum Orchard Commons Committee on the status of rehabilitation efforts of Historic Apricot Orchard.”
- 4) For Goal 4 (Provide oversight for the ongoing effort to preserve the Halsey House, a City Historic Landmark), the goal is deleted from the work plan.
- 5) For Goal 6 (Review the ongoing staff efforts to ensure the Mills Act is advancing the preservation of historic properties in Los Altos), an assignment shall be added for staff to provide annual report to the Historical Commission on October 28, 2024.

- 6) A new goal was added to “Provide a venue for public engagement regarding the city's heritage by safeguarding historic resources.”
- 7) The overall work plan shall be revised to correct typographical errors in the document.

Staff requests the Commission's review of the updated draft work plan and discussion topics intended for the upcoming joint meeting with the Council scheduled for February 2024. Detailed revisions to the overall work plan can be found in Attachment A.

HISTORICAL COMMISSION
2023/2024 Work Plan

Goal	Projects	Assignments	Target Date	City Related Priority	Status
<p>1) Administer the annual Margaret Thompson Essay Contest</p>	<p>Administer the essay contest and coordinate with the Los Altos History Museum’s Education Committee</p>	<ul style="list-style-type: none"> • Coordinate outreach to Los Altos schools once an essay topic is established (Commissioner Zoufonoun) • Receive and judge essay entries, and determine winners for each grade (LA History Museum) • Prepare the award certificates (staff) • Administer the Ice Cream Social to recognize winners (Commissioner Zoufonoun) <p>Implementation:</p> <ul style="list-style-type: none"> • Update the city website to post the documents provided from the Museum • Contact the sends a press release to the Los Altos Town Crier announcing the contest • Share the Contest information with the Historical Commission in January; Chair should participate in the judge of the contest? 	<ul style="list-style-type: none"> • Begins in December each year • Ends in May each year 	<p>The priority is related to the Historic Commission’s purpose to encourage public knowledge, understanding, and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City’s historic resources.</p>	<p>The Historical Commission is currently administering the project.</p>

<p>2) Implement the Historic Plaque Program</p>	<p>Administer the Historic Plaque program and coordinate with the Los Altos History Museum</p>	<ul style="list-style-type: none"> • Coordinate outreach to historic resource property owners to solicit interest in receiving a historic plaque (Commissioner Horn) • Coordinate the ordering of plaques for historic resource properties (Commissioner Horn) • Administer and coordinate a recognition ceremony for plaque recipients with the Los Altos History Museum (Commissioner Horn) • Administer and Coordinate with the Los Altos History Implementation: <ul style="list-style-type: none"> • Contact with Yvonne if she can generate the mailing lists to the historic property owners who have not had the historic Plaque. • Mail out the letter to the homeowners • If received any interests, confirm with the homeowner for the construction date of the historic resource • Contact with the vender for the order of the plaques. The plaques shall have the 	<ul style="list-style-type: none"> • Begins in February each year • Ends in May each year 	<p>The priority is related to City Council Resolution No. 2013-05 and the Historic Commission’s purpose to encourage public knowledge, understanding, and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources.</p>	<p>The Historical Commission is currently administering the project.</p>
---	--	--	---	---	--

		<p>actual construction year in the middle of the plaques.</p> <ul style="list-style-type: none"> • Contact with Jon Maginot if we should have an event at the Historic Museum for the plaque award presentation • Report to the HC for the plaque program update of 2022; if there would be an event, let the HC know • If there is an event, contact the historic museum and HC for the event details. 			
Goal	Projects	Assignments	Target Date	City Related Priority	Status
		<ul style="list-style-type: none"> • Museum the installation of historic landmark plaques in the City’s Historic Landmark Orchard 			
3) Administer the preservation and interpretation of the Historic Landmark Apricot Orchard	Administer the Historic Plaque program and coordinate with the Los Altos History Museum	<ul style="list-style-type: none"> • Oversee the placement and installation of historic landmark plaques and interpretive signage in the City’s Historic Landmark Apricot Orchard (Commissioner Horn) 	Ongoing - To be determined	The priority is related to City Council Resolution No. 2013-05 and the Historic Commission’s purpose to encourage public knowledge, understanding, and appreciation of the City's past, and foster civic and neighborhood pride and sense of	The Historical Commission is currently administering the project.

				identity based the City's historic resources.	
4) Provide oversight for the ongoing effort to preserve the Halsey House, a City Historic Landmark	<ul style="list-style-type: none"> • Provide oversight regarding the restoration of the Halsey House • Coordinate with the Los Altos History Museum and Public Works for a grant 	<ul style="list-style-type: none"> • Historical Commission Subcommittee shall provide oversight regarding the preservation and restoration of the Halsey House (Commissioners Lang, Moore and Trapnell) • Actively pursue grant opportunities for the preservation of the Halsey House 	Ongoing - To be determined	The priority is related to City Council Ordinance No. 2011-363 and the Historic Commission's purpose to support the preservation, maintenance, and appropriate rehabilitation of the	The Historical Commission is currently administering the project.
Goal	Projects	Assignments	Target Date	City Related Priority	Status
		(Commissioners Lang, Moore and Trapnell)			

<p>5) Administer the annual Historic Preservation Award</p>	<p>Review nominations, hear testimony, and hold a vote to determine the award recipient</p>	<ul style="list-style-type: none"> • Coordinate outreach by publicizing the historic preservation award (staff) • Review nominations and vote on the historic preservation award recipient (All Commissioners) <p>Implementation:</p> <ol style="list-style-type: none"> 1. Update the <u>Los Altos Historic Preservation Award Website</u> including the flyer and the nomination form if needed. 2. Working with the assigned commissioner and send a notification to the Town Crier for public interest. The notification shall include a link to the nomination form. 3. Agendize it to the April Regulation HC Meeting for the award. 4. The Proclamation should be scheduled in a City Council Meeting in May. Work with the City Clerk Office to put it on the agenda (and ensure it will be on the agenda!) 	<ul style="list-style-type: none"> • Begins in February each year • Ends in May each year 	<p>The priority is related to City Council Resolution No. 2013-05 and the Historic Commission’s purpose to encourage public knowledge, understanding and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City’s historic resources.</p>	<p>The Historical Commission is actively administering the project.</p>
---	---	---	---	--	---

<p>5. Review the ongoing staff efforts to ensure the Mills Act is advancing the preservation of historic properties in Los Altos</p>	<p>Review Mills Act agreements for compliance.</p>	<ul style="list-style-type: none"> Review staff’s ongoing efforts on Mills Act compliance (Commissioner Lang) 	<ul style="list-style-type: none"> Begins in September each year Ends in November each year Annual report and review by the Historical Commission in Summer. 	<p>The priority is related to City Council Ordinance No. 2011-363 and the Historic Commission’s purpose to support the preservation, maintenance, and appropriate rehabilitation of the City's historic resources.</p>	<p>The Historical Commission is initiating its administration of the project.</p>
<p>Goal</p>	<p>Projects</p>	<p>Assignments</p>	<p>Target Date</p>	<p>City Related Priority</p>	<p>Status</p>
<p>6. Maintain the City’s Certified Local Government Status</p>	<p>Review and approve the annual CLG report that is submitted to the State Office of Historic Preservation</p>	<ul style="list-style-type: none"> Coordinate the preparation of the Certified Local Government (CLG) annual report (Commission Chair) Historical Commission reviews and approves CLG annual report (All Commissioners) 	<p>The Historical Commission approves the CLG in January.</p>	<p>The Certified Local Government Program encourages the direct participation of local governments in the identification, evaluation, registration, and preservation of historic properties. The priority is consistent with Goal 6 of the Community Design & Historic Resource Element of the General Plan.</p>	<p>The Historical Commission is actively administering the project.</p>
	<p>Seek historic education and training opportunities, with a focus on the local community activities and</p>	<ul style="list-style-type: none"> Actively pursue historic education and training opportunities (All Commissioners) 	<ul style="list-style-type: none"> Begins in October Ends in September 		

	educational opportunities				
7. Foster Partnership with Los Altos History Museum	Hold an annual joint meeting with the Museum Board of Directors	<ul style="list-style-type: none"> Coordinate the annual joint meeting with the Museum Board of Directors (Commissioner Lang) 	Summer each year	The priority is related to the Historic Commission's purpose to encourage public knowledge, understanding and appreciation of the.	The joint meeting will occur in the fall.
Goal	Projects	Assignments	Target Date	City Related Priority	Status
	Seek opportunities to partner with the Museum on historic education and outreach	<ul style="list-style-type: none"> Actively coordinate with the Los Altos History Museum on current and future education and outreach programs (Commissioner Lang) Coordinate with the Los Altos History Museum the establishment of an Apricot Orchard Festival. 	Year-round	City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources.	The Historical Commission is currently collaborating with the Los Altos History Museum on the Margaret Thompson Essay Contest, the Historic Preservation Award and the Historic

					Plaque program.
8. Update the Historical Commission Website	Provide information on structures participating in the Historic Plaque program	<ul style="list-style-type: none"> Coordinate a Historical Commission website update to add structures participating in the Historic Plaque program (All Commissioners) 	Ongoing - To be determined.	The priority is related to the Historic Commission’s purpose to encourage public knowledge, understanding and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources.	The Historical Commission is initiating its administration of the project.
	Provide additional information regarding the Historic Resource Inventory and Historic Plaque program	<ul style="list-style-type: none"> Coordinate a Historical Commission website update to add the Historic Resource and Historic Landmark inventory surveys (All Commissioners) 	Ongoing – To be determined		The Historical Commission is overseeing updates of the project.
Goal	Projects	Assignments	Target Date	City Related Priority	Status
9. Update the submittal requirements handout for projects reviewed by the Historical Commission	Review staff’s ongoing effort to update the procedures and submittal requirements handout.	<ul style="list-style-type: none"> Review staff’s ongoing effort revise to the submittal requirements handout (Commissioner Lang and staff) 	<ul style="list-style-type: none"> Begin in November End in January 	The <u>priority is to gather sufficient</u> information to permit the Historical Commission to make a decision to safeguard the heritage of the City by providing for the protection of irreplaceable historic resources representing significant elements of its history.	The Historical Commission is initiating its administration of the project.

<p>10. Brochure for Historical Plaque Program Houses</p>	<p>Create a Historical Plaque Program brochure to publicize the program and recipients</p>	<ul style="list-style-type: none"> Develop a brochure for the Historical Plaque program houses and orchard in coordination with the Los Altos History Museum (All Commissioners) 	<ul style="list-style-type: none"> Begin in November End in January 	<p>The City priority is related to the Historic Commission’s purpose to encourage public knowledge, understanding and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources.</p>	<p>Pending</p>
<p>Goal</p>	<p>Projects</p>	<p>Assignments</p>	<p>Target Date</p>	<p>City Related Priority</p>	<p>Status</p>
<p>11. Advocate for good stewardship of city-owned historic properties</p>	<p>Evaluate the current status of city-owned historic properties.</p>	<ul style="list-style-type: none"> Evaluate the current status of city-owned historic properties. 	<p>Ongoing - (All Commissioners)</p>	<p>The priority is related to City Council Ordinance No. 2011-363 and the Historic Commission’s purpose to support the preservation, maintenance, and appropriate rehabilitation of the City's historic resources.</p>	<p>Ongoing</p>



HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: January 22, 2024

Subject: Historic Advisory Review for a detached accessory structure (garage) at 41 Hawthorne Avenue

Prepared by: Sean Gallegos, Senior Planner

Initiated by: Heather Youngquist, Applicant

Attachments:

- A. Historic Evaluation and Secretary of the Interior Standards for the Treatment of Historic Properties Review and Department Parks and Recreation Record, Stacey De Shazo
- B. Project Plans

Recommendations

Approve the requested Historic Advisory Review (H23-0002) application per the recommended findings and conditions of approval; and find the project is also exempt pursuant to CEQA Guidelines Section 15331 (Historical Resource Restoration/Rehabilitation) in that the project is consistent with the Secretary of the Interior’s Standards for Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, or Reconstructing Historic Buildings (the “Secretary’s Guidelines”). Additionally, none of the circumstances under CEQA Guidelines Section pursuant to Section 15303 (“New Construction or Conversion of Small Structures”).

Summary

The application seeks advisory review for a 400 square-foot detached two-car garage. The property is a Historic Resource, and the new accessory structure would constitute an alteration to the historic site and therefore requires review and approval from the Historical Commission. The project also includes a detached Accessory Dwelling Unit (ADU); but it is not part of the historic advisory review application. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act.

Background

The 1926 house is associated with the Tudor Revival architecture style, popular throughout the U.S. from 1890 to 1940. The 1926 house demonstrates the essential elements of the Tudor Revival style with many character-defining features associated with the style, including the steeply pitched and sloping multi-gable roofs, the exposed half-timber elements, the two “three-centered” arches along the front porch, the in-kind replacement picture windows with central square, fixed single-light

windows between three-over-one with mullions, original double-hung wood windows within lugs, stucco walls, and the asymmetrical floorplan. The 1926 house is a good example of Tudor Revival architecture from 1926.

As outlined in the Historic Resource Evaluation and Secretary of the Interior's Standards for the Treatment of Historic Properties Review prepared by Stacey De Shazo with Evans & De Shazo, Inc. (Attachment A, respectively), the Historic Evaluation Report assessed the existing historic resource and a proposed future rehabilitation project. The report by the project historian made the following determinations:

1. The California Register of Historic Places and the Los Altos Historic Preservation Ordinance established that a resource 50 years of age or older may qualify for listing in CRHP or the Los Altos Historic Resource Inventory. The 1926 house meets this threshold.
2. The 1926 house is historically significant and appears individually eligible for listing in the CRHPs under Criterion 3 for its association with Tudor Revival architecture and under Criterion C3 under Section 12.44.040 of the Historic Preservation Ordinance.
3. The existing historic resource with its Tudor Revival architectural style retains all seven aspects of integrity; and therefore, the existing house is a qualified historic property under CRHP and the Los Altos Historic Preservation Ordinance and eligible for the Mills Act.
4. Furthermore, it found that the future proposed rehabilitation project meets the Secretary of Interior's Standards for Rehabilitation. Therefore, the proposed rehabilitation will not impact the integrity of the historic resource and still make the house eligible for the Mills Act.

Analysis

As discussed previously, the historic character of the Tudor Revival architecture style building is found in its steeply pitched and sloping multi-gable roofs, the exposed half-timber elements, the two "three-centered" arches along the front porch, the in-kind replacement picture windows with central square, fixed single-light windows between three-over-one with mullions, original double-hung wood windows within lugs, stucco walls, and the asymmetrical floorplan.

In order for the Historical Commission to complete its review and issue a decision, it must find that the work complies with the Historic Preservation Ordinance, does not adversely affect the physical integrity or the historic significance and is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Attachment A).

Secretary of the Interior's Standards for the Treatment of Historic Structures Evaluation

Historical professional Stacey De Shazo with Evans & De Shazo, Inc. reviewed the project to ensure consistency with the Secretary of the Interior's Standards for the Treatment of Historic Structures, with the report included as Attachment A. The historical professional's evaluation found the plan to expand the existing home and other exterior modifications will not degrade the character of the original design. The historical professional's evaluation based on the Secretary of the Interior's Standards for the Treatment of Historic Structures found the following:

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

January 22, 2024

H23-0002 – 41 Hawthorne Avenue

Page 2

The 1926 house will continue to be for residential use.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The current Project will retain and preserve the building’s original historic character associated with the Tudor Revival design, including the steeply pitched and sloping multi-gable roofs, the exposed half-timber, the original double-hung wood with lugs and divided light upper window sashes, and the asymmetrical design.

Standard 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

There are no proposed changes to the 1926 house that would create a false sense of history.

Standard 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

There are no proposed changes to the 1926 house that have become “significant in their own right.”

Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The current preliminary Project proposes to preserve the original 1926 Tudor Revival features and finishes that are examples of craftsmanship that characterize the house, including steeply pitched and sloping multi-gable roofs, the exposed half-timber, the two “three-centered” arches along the front porch, the original double-hung wood windows with lugs and divided light upper sashes.

Standard 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

There are no proposed changes to deteriorated features.

Standard 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

There are no proposed chemical or physical treatments to the historic resource.

Standard 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

The project consists of the addition of a new detached accessory structure (garage). The chance to affect significant archeological resources is unlikely; however, if such archeological resources were found during construction, as conditioned in the staff report, a professional and qualified archaeologist shall assess further and provide mitigation measures accordingly.

Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The new exterior of the 1926 house includes the addition of solar panels and the potential change to exterior siding.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new detached garage with the front-facing gable shows the new garage located along the current driveway and within a portion of the current lawn. The building will be situated on a concrete slab foundation.

The new two-car garage is a single-story front-facing gable form constructed of steel framing and clad in three-coat stucco. The stucco will match the material and texture (aka style) of the stucco cladding on the 1926 house. The roof of the new garage will be clad in a composite shingle. The building will have an automatic roll-up garage door along the front façade (south elevation) and will consist of a simple design so as not to detract visually from the character of the 1926 house (Figure 45). The roll-up garage door is constructed of metal and has a row of fixed light narrow windows along the top section of the door. It consists of decorative metal details that conform with the design of the 1926 house.

The new detached garage does not create a false sense of history. In addition, if the detached garage is removed in the future, it will not adversely affect the integrity of the 1926 house. As such, the new detached garage complies with Standard 10.

The proposed new garage does not adversely affect the physical integrity or the historic significance of the property and is consistent with the Secretary of the Interior’s Standards. The proposed new garage will be compatible with the design of the historic house but not create a false sense of historical development. As referenced above by historical professional’s, the project will comply with the Secretary of the Interior’s Standards for the Treatment of Historic Structure.

In order for the Historical Commission to make the findings to approve the permit, the Commission must find that the work complies with the Historic Preservation Ordinance, does not

adversely affect the physical integrity or the historic significance and is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Attachment A). Once the Commission provides a recommendation, the project will be forwarded to the Development Services Director for consideration of the Design Review application.

Environmental Review

The project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") and Section 15331 ("Historical Resource Restoration/Rehabilitation") of the California Environmental Quality Act (CEQA) Guidelines because it involves an alteration and addition to an existing single-family dwelling in a residential zone within the allowable size limitations, and rehabilitation and preservation of a historic resource consistent with the Secretary of the Interior's Standards.

Public Notification and Community Outreach

A public meeting notice was posted on the property, mailed to property owners within a 300' radius, and published in the Town Crier. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements.

FINDINGS

H23-0002 – 41 Hawthorne Avenue

With regard to the Advisory Review, the Historical Commission finds the following in accordance with Section 12.44.140 of the Municipal Code:

1. The project complies with all provisions of the Historic Preservation Ordinance (Chapter 12.44) due to the project not adversely affecting the physical integrity or the historic significance of the subject property, and the project being in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and
2. The project does not adversely affect the physical integrity or the historic significance of the subject property. The 1926 house is associated with the Tudor Revival architecture style, and it still retains enough historic fabric to be considered as having integrity. The house is significant as a Tudor Revival style, and it retains the aspects of location, design, setting, feeling, workmanship and association to convey the historical importance of the building. The new detached garage does not create a false sense of history. In addition, if the detached garage is removed in the future, it will not adversely affect the integrity of the 1926 house.

CONDITIONS

H23-0002 – 41 Hawthorne Avenue

GENERAL

1. Expiration

The Historical Commission Advisory Review approval will expire on January 22, 2026, unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on January 2, 2024, except as may be modified by these conditions.

3. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

4. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.

5. Archaeological Resources

In the event of any archaeological resources are encountered during excavation and/or grading of the site, all activity within a 50-foot radius of the find will be stopped, the Development Services Director will be notified, and a qualified archaeologist will examine the find and make appropriate recommendations.

PRIOR TO BUILDING PERMIT SUBMITTAL

6. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.



EVANS & DE SHAZO

ARCHAEOLOGY HISTORIC PRESERVATION

**HISTORIC RESOURCE EVALUATION AND
SECRETARY OF INTERIOR'S STANDARDS FOR THE
TREATMENT OF HISTORIC PROPERTIES REVIEW
OF THE PROPERTY LOCATED
AT 41 HAWTHORNE AVENUE, LOS ALTOS, SANTA
CLARA COUNTY, CALIFORNIA**

SUBMITTED TO:

Sreenivas and Isabel Tallam
sreen.tallam@gmail.com
isabeltallam@gmail.com

SUBMITTED BY:

Stacey De Shazo, M.A.
Principal Architectural Historian
stacey@evans-deshazo.com
with
Nicole LaRochelle, M.S., Architectural Historian
and Bee Thao, M.A.

updated November 29, 2023

Evans & De Shazo, Inc
1141 Gravenstein Highway South,
Sebastopol, CA 95472
707-823-7400
www.evans-deshazo.com



TABLE OF CONTENTS

INTRODUCTION 1

PROPERTY LOCATION..... 1

REGULATORY SETTING 3

 CALIFORNIA ENVIRONMENTAL QUALITY ACT3

STANDARDS REVIEW..... 4

METHODS 5

 CULTURAL RESOURCE INVENTORIES6

 ONLINE RESEARCH6

 REPOSITORIES.....6

HISTORICAL SETTING..... 7

 MEXICAN PERIOD (1822 – 1846)7

 EARLY AMERICAN PERIOD (1848 - 1851)8

 HISTORY OF LOS ALTOS (1850 – 1960s)8

 PROPERTY HISTORY17

ARCHITECTURAL CONTEXT31

 TUDOR REVIVAL (1890 – 1940)31

BUILDER: PURL NATHANIEL DOYLE32

HISTORIC ARCHITECTURAL SURVEY34

 1926 HOUSE34

 CA. 1950 DETACHED GARAGE41

 CA. 1980 STORAGE SHED42

 ASSOCIATED LANDSCAPE43

PREVIOUS ALTERATIONS: 1926 HOUSE44

EVALUATION OF HISTORICAL SIGNIFICANCE45

 CALIFORNIA REGISTER OF HISTORICAL RESOURCES.....45

 CRHR EVALUATION.....46

 INTEGRITY.....47

STANDARDS REVIEW.....49

CONCLUSION55

BIBLIOGRAPHY.....57

ATTACHMENTS: Department of Parks and Recreation (DPR) 523 forms (Appendix A); New Detached Garage by Roof and Realm Manufacturing (Appendix B)



INTRODUCTION

Evans & De Shazo, Inc. (EDS) completed a Historic Resource Evaluation (HRE) and a Secretary of Interior’s Standards for the Treatment of Historic Properties (Standards) review for the proposed project at 41 Hawthorne Avenue, Los Altos, Santa Clara County, California, within the 0.344-acre Assessor Parcel Number (APN) 170-41-036 (Property). The Property includes a 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape. The current “preliminary” project is in the design phase but includes the demolition of the ca. 1950 detached garage and removal of the ca. 1980 storage shed, the restoration of the original front entry and solar panels installed on the roof of the 1926 house, and the construction of a new detached garage and a single-story Accessory Dwelling Unit (ADU) (Project).¹ The 1926 house within the Property is currently listed on the Office of Historic Preservation’s (OHP) Built Environment Resources Directory (BERD) (P-43-002069), and the City of Los Altos Historic Inventory (2013); therefore, the 1926 house is considered a Historical Resource as defined in Section 15064.5 of the California Code of Regulations (CCR) . However, it does not appear that the built environment resources have been evaluated for listing on the California Register of Historical Resources (CRHR). Therefore, in compliance with the California Environment Quality Act (CEQA), the City of Los Altos recommended the completion of an HRE to determine if the Property is eligible for listing on the CRHR. Due to its local listing status as a historical resource, EDS also completed a Standards review to provide additional guidance and recommendations related to the current preliminary Project and assess potential impacts to the 1926 house.

The HRE follows specific guidelines and evaluation criteria of the CRHR (Code of California Regulations [CCR], Title 14, Section (§) 15064.5 and Public Resources Code [PRC] § 21084.1) and the Standards review follows the Department of Interior Standards for the Treatment of Historic Properties (36 CFR Part 67). The HRE was completed by EDS Principal Architectural Historian Stacey De Shazo, M.A., architectural historian Nicole La Rochelle, M.S., who both exceed the Secretary of Interior’s qualification standards in Architectural History and History, and research Bee Thao, M.A. and the Standards review was completed by Ms. De Shazo. The results of the HRE and Standards review are presented herein.

PROPERTY LOCATION

The Property is located within the 0.344-acre APN 170-41-036 at 41 Hawthorne Avenue, Los Altos, Santa Clara County, California (Figure 1). The Property is on the north side of Hawthorne Avenue, approximately 0.2 miles west of Eleanor Avenue, and approximately 200 feet east of South San Antonio Road in the City of Los Altos.

¹ Upon completion of an architectural drawing set, including changes to the 1926 house, new detached garage, and ADU, EDS will update the Standards Review in the report to reflect the “proposed” project.

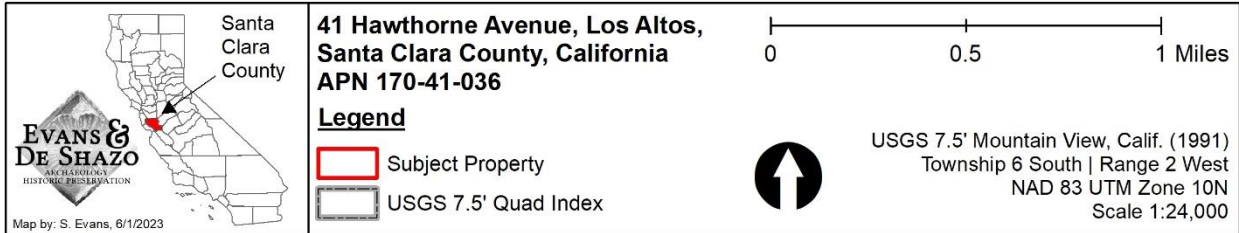


Figure 1. Location Map



REGULATORY SETTING

The CEQA regulations, as they pertain to cultural resources, and the Standards guidelines are outlined below.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

CEQA and the Guidelines for Implementing CEQA (State CEQA Guidelines § 15064.5) give direction and guidance for evaluating properties and the preparation of Initial Studies, Categorical Exemptions, Negative Declarations, and Environmental Impact Reports. Under California State law, the City of Los Altos is legally responsible and accountable for determining the environmental impact of any land use proposal it approves. Cultural resources are aspects of the environment that require identification and assessment for potential significance under CEQA (14 CCR § 15064.5 and PRC § 21084.1).

There are five classes of cultural resources defined by the State OHP. These are:

- **Building:** A structure created principally to shelter or assist in carrying out any form of human activity. A “building” may also be used to refer to a historically and functionally related unit, such as a courthouse and jail or a house and barn.
- **Structure:** A construction made for a functional purpose rather than creating human shelter. Examples include mines, bridges, and tunnels.
- **Object:** Construction is primarily artistic in nature or relatively small in scale and simply constructed. It may be movable by nature or design or made for a specific setting or environment. Objects should be in a setting appropriate to their significant historic use or character. Examples include fountains, monuments, maritime resources, sculptures, and boundary markers.
- **Site:** The location of a significant event. A prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself possesses historic, cultural, or archaeological value regardless of the value of any existing building, structure, or object. A site need not be marked by physical remains if it is the location of a prehistoric or historic event and if no buildings, structures, or objects marked it at that time. Examples include trails, designed landscapes, battlefields, habitation sites, Native American ceremonial areas, petroglyphs, and pictographs.
- **Historic District:** Unified geographic entities which contain a concentration of historic buildings, structures, or sites united historically, culturally, or architecturally.

According to CCR § 15064.5, cultural resources are historically significant if they are:

- (1) A resource listed in or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources (PRC §5024.1, 14 CCR § 4850 et seq.).
- (2) A resource included in a local register of historical resources, as defined in PRC § 5020.1(k) or identified as significant in a historical resource survey meeting the requirements PRC § 5024.1(g), shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of the evidence demonstrates that it is not



historically or culturally significant.

- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be a historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (PRC § 5024.1, 14 CCR § 4852), including the following:
 - (A) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
 - (B) Is associated with the lives of persons important in our past;
 - (C) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - (D) Has yielded, or may be likely to yield, information important in prehistory or history.
- (4) The fact that a resource is not listed in or determined to be eligible for listing in the CRHR, not included in a local register of historical resources pursuant to PRC § 5020.1(k), or identified in a historical resources survey meeting the criteria in PRC § 5024.1(g) does not preclude a lead agency from determining that the resource may be a historical resource as defined in PRC § 5020.1(j) or § 5024.1.

STANDARDS REVIEW

The Secretary of Interior Standards for Rehabilitation

The Standards (codified as 36 CFR 67) defines "Rehabilitation" as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features.

The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy, and encompass the exterior and the interior, related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.



4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

METHODS

The methods used to complete the HRE included a database search conducted by the Northwest Information Center (NWIC) of the California Historical Information Systems (CHRIS) (NWIC File #22-1558) to determine if the Property has been previously evaluated or documented. Based on the record search, the 1926 house within the Property is currently listed on the OHP BERD and the City of Los Altos Historic Inventory (2013) and has been previously documented on Department of Parks and Recreation (DPR) forms and assigned the number P-43-002069. EDS also conducted extensive online and in-person research including the Santa Clara County Assessor/Recorder Office records, the Los Altos History Museum, Martin Luther King Library - California Room, and the City of Los Altos, and reviewed digital documents on file with EDS, such as historical maps, Sanborn Fire Insurance maps, historical aerial photographs, and other primary source documents. In addition, the current owners provided EDS with a permit history obtained from the City of Los Altos (detailed in the section below). The purpose of the research was to understand the Property history and the history of the surrounding area to assist in developing a historical context in which to evaluate the historical significance of the built environment within the Property. EDS Principal Architectural Historian Stacey De Shazo, M.A. also completed a historic architectural survey to identify the age, any known architectural style or form, character-defining features, materials, and alterations to the built environment resources, at least 45 years in age, within the Property. Updated DPR 523 forms were also completed for the Property (Appendix A).



The methods used to complete the Standards review included a review of the preliminary plans and details provided by the Property owners. The Standards review was completed by EDS Principal Architectural Historian, who worked directly with the owners to identify and address potential adverse impacts on the 1926 house and ensure the current scope of work complies with the Standards for Rehabilitation. However, since the plans are in the preliminary phase, EDS will need to update the Standards Review once any submittal Project plans are available.

CULTURAL RESOURCE INVENTORIES

As part of the record search, the following inventories were reviewed:

- National Register of Historic Places (NRHP)
- California Register of Historical Resources (CRHR)
- California Historical Landmarks (CHL)
- California Points of Historical Interest (CPHI)
- California Inventory of Historic Resources
- California Office of Historic Preservation (OHP) Built Environment Resources Directory (BERD) for Santa Clara County, California (2020)
- City of Los Altos Historic Inventory and Historic Landmarks

ONLINE RESEARCH

Online research was conducted utilizing the following sources:

- www.newspapers.com
- www.ancestry.com
- www.calisphere.org (University of California)
- <http://www.library.ca.gov/> (California State Library)
- <https://cdnc.ucr.edu/> (California Digital Newspaper Collection)
- <http://pcad.lib.washington.edu> (Pacific Coast Architecture Database [PCAD])
- <https://aiahistoricaldirectory.atlassian.net> (American Architects Directory)

REPOSITORIES

- NWIC Record Search
 - On April 06, 2023, the NWIC completed a database search (NWIC File #22-1558) of the Property. The record search found that the 1926 House has been previously documented on DPR 523 forms (P-43-0002069); however, the Property was not evaluated for listing on the CRHR.



- Santa Clara County Assessor/Recorder Office:
 - EDS conducted research at the Santa Clara County Assessor and Recorder Office on April 11, 2023, to gather information regarding the ownership history of the Property.
- Los Altos History Museum
 - EDS emailed the Los Alto History Museum on April 14, 2023, regarding additional information about Hawthorne Avenue and P.N. Doyles. EDS has not received a reply from the Los Alto History Museum.
- Martin Luther King Library, California Room
 - On April 18, 2023, EDS conducted in-person research at the California Room to find additional information about Los Altos and the Hawthorne Avenue area.
- City of Los Altos
 - On April 14, 2023, the current owner requested the permit history from the City of Los Altos, which was provided to EDS.

The results of the research and literature review are within the Historical Setting section below.

HISTORICAL SETTING

The following section provides a brief history of the City of Los Altos and a specific history of the Property. The purpose of this section is to provide an understanding of the development of the area and the specific context within which the built environment resources within the Property were evaluated for historical significance.

MEXICAN PERIOD (1822 – 1846)

In 1821, Mexico declared its independence from Spain and took possession of “Alta California,”² marking the end of the Spanish period (1769 – 1821) and the beginning of the Mexican period, also referred to as the “rancho” period, in Alta California. Beginning in 1833, the Spanish missions in California were secularized by the Mexican government, and mission-owned land was dissolved. During this time, extraordinary changes occurred throughout Alta California, as the Mexican government lacked the strong oversight and military rule previously imposed by the Spanish, and as such, there were new opportunities for trade when foreign ships that had previously been held off by Spanish guarded military ports could dock and provide a variety of provisions to local settlers throughout California. These new provisions, including tea, coffee, sugars, spices, and spirits, as well as a variety of manufactured goods, soon made their way into the region, and the taxes on these imported goods became the main source of revenue for the Mexican government in Alta California. Likewise, products produced in Alta California were exported, which bolstered the hide and tallow trade that became the primary business activity in Alta California during this time. During this time, the Mexican colonial

² Alta California was a polity of New Spain founded in 1769 and became a territory of Mexico after the Mexican War of Independence in 1821.



authorities encouraged the settlement of Alta California by providing large land grants called ranchos to politically prominent persons that were loyal to the Mexican government and permitting foreigners to settle the land. As a result, the 20 or so ranchos in Alta California, during the Spanish period increased to roughly 800 ranchos that varied from 10,000 to 20,000 acres during the Mexican era.

In 1846, the Property was within unclaimed lands of the Mexican government.

EARLY AMERICAN PERIOD (1848 - 1851)

The beginning of the American Period in California is marked by the end of the Mexican American War (1846-1848), when the United States (U.S.) took possession of Mexican territories, including California, New Mexico, Texas, and Arizona, in the signing of the Treaty of Guadalupe Hidalgo on February 2, 1848. The Treaty of Guadalupe Hidalgo provided resident Mexicans their American citizenship and guaranteed title to ranchos obtained during the Mexican period. However, less than two weeks before the treaty's signing, on January 24, 1848, James Marshall discovered gold at Sutter's Mill, which marked the start of California's Gold Rush (1848 to 1855). Soon, the excitement of the Gold Rush and the promise of fertile and abundant land brought between 150,000 and 200,000 new settlers to California from all over the U.S. and Scotland, Ireland, England, Germany, and France.³ During this time, many new settlers squatted on land, including Mexican rancho and unclaimed land. To quickly resolve Mexican rancho land disputes, the U.S. Congress passed the California Land Act of 1851, establishing a three-member Public Land Commission (Commission) to determine the validity of prior Spanish and Mexican land grants.⁴ The act required landowners who claimed title under the former Mexican government to file a claim with the Commission within two years. Although the Commission eventually confirmed most of the original Mexican land grants, the burden was on landowners to prove their title. The cost of litigation forced many rancho owners to sell off their land to newly arriving settlers, including some who had illegally squatted on their land, as well as land speculators and the lawyers hired to defend their land claims in court.⁵

In 1850, the Property was within the Fremont township of Santa Clara County within 640 acres of public land surveyed under the Public Land Survey System (PLSS) in the 1850s and made available to new settlers.

HISTORY OF LOS ALTOS (1850 – 1960S)

The following history of the City of Los Altos was taken in part from the 2012 City of Los Altos Historic Resource Inventory (HRI),⁶ prepared by CIRCA Preservation Consulting, with additional research conducted by EDS. The context below provides an overview of the development of the City of Los Altos.

In 1850, the present-day City of Los Altos comprised approximately 100 residents, mostly living on large

³ Karen Clay, *Property Rights and Institutions: Congress and the California Land Act 1851*, The Journal of Economic History, Cambridge University Press, 59(01):122-142, March 1999.

⁴ The Spanish government-controlled California land from approximately 1770 to 1821 and the Mexican government-controlled California land from 1821 to 1846.

⁵ Nancy Olmsted. *Vanished Waters: A History of San Francisco's Mission Bay*, Mission Creek Conservancy, San Francisco, 1986.

⁶ CIRCA Preservation Consulting, "City of Los Altos Historic Resources Inventory", Prepared for the City of Los Altos, 2012.



parcels of land for wheat farming and cattle ranching. During this time, the Property was located within 640 acres of public land covered in dense chamisal,⁷ and it was surrounded by several Mexican era ranchos, including La Purísima Concepción to the west, San Antonio to the south, Rincon de San Francisquito to the north, and Pastoria de las Boregas to the north/northeast. At this time, the largest landowner within present-day Los Altos was Juana Briones de Miranda's (Figure 2), who purchased the 4,439-acre Rancho La Purísima Concepción in 1844 from José Gorgonio and his son José Ramon, Ohlone Indians, who were granted the Rancho by then Mexican Governor Juan Alvarado in 1840. Juana, a single mother with eight children, was a medical practitioner and a well-known San Francisco merchant. Juana moved to the rancho in 1847 and built an adobe house within the northern portion of the land. Following the California Land Act of 1851, Juana filed a claim to the Commission for the rancho land, and with the help of her attorney Henry Wager Halleck, she fought to retain her land.⁸ However, by the early 1860s, Juana had to sell portions of her land to support her family. In 1857, she sold approximately 2,000 acres to Martin Murphy, who had arrived in California in 1844 in the Stephens-Townsend-Murphy Party, the first wagon train to cross the Sierra Nevada into California.⁹ Martin paid Juana \$7,000 for the land, adding to his approximately 4,800-acre land holdings in the present-day City of Sunnyvale, known then as Bay View Ranch.¹⁰ In the early 1860s, Juana sold 2,000 acres to Joseph P. Hale, establishing the largest cattle ranch and wheat farm in Los Altos. Along with four other families (names unknown), Hale lived within the ranch, known as Hale Ranch, located west of the Property. In 1862, John Snyder arrived in the Los Altos area, where he purchased land and planted grain within what became known as the Snyder Ranch, which comprised 700 acres, of which some acreage was purchased from Juana. When Juana's land claim was finally patented on August 15, 1871,¹¹ most of the Rancho La Purísima Concepción had been sold to Euro-American settlers or granted to Juana's children.

In the 1850s and 1860s, Santa Clara Valley's primary crops were wheat and grain. During this time, farmers living in Los Altos loaded their crops onto wagons, hauling them to the Mountain View Station stage stop, located along the San Francisco-San Jose Stage Road, known today as El Camino Real. In 1864, the Southern Pacific Railroad established a rail line within present-day Mountain View, approximately one mile north of the Mountain View Station stage stop. In 1865, the City of Mountain View was officially laid out. Due to its proximity to the developing City of Mountain View and the new railroad stop, the small community of Los Altos began to grow. In the 1870s, Los Altos consisted of small and large farms planted with grain and fruit crops. By the 1880s, fruit crops began to replace wheat and grain as the dominant agricultural crop in Santa Clara Valley, and by 1890, many of the larger farms and cattle ranches were subdivided and sold as small farms. During this time, the small farms produced "much as 200 dollars per acre from prunes, apricots,

⁷ Chamisal is a Mexican word that means overgrowth of chamiso, an evergreen shrub.

⁸ CIRCA Preservation Consulting, "City of Los Altos Historic Resources Inventory", Prepared for the City of Los Altos, 2012.

⁹ Gordon Richards, "Stephens-Townsend-Murphy Party", Truckee Donner Historical Society, <https://www.truckeehistory.org/the-first-pioneer-wagons-crossed-the-sierra-over-160-years-ago.html>, (accessed 5/22/2023).

¹⁰ Los Altos Hills, "Lost Altos Hills History Anthology (1956-2016)", 2016.

¹¹ Sacramento State Office, "Report of the Surveyor-General of the State of California from August 1, 1898 – August 1, 1898." 1886.



peaches, cherries, pears, and other fruits.”¹² By 1900, the land where the Property is located was planted with fruit trees.

In the early 1900s, land development and transportation companies began buying land in Los Altos for future development. During this time, the area of present-day Los Altos saw large tracts of undeveloped land, including where the Property is located, subdivided as part of planned transit development. In Los Altos, Southern Pacific Railroad President, Paul Shoup, and his brother, Guy Shoup, an attorney for the Southern Pacific, purchased a right-of-way from Palo Alto to Los Altos to run a connecting line through Los Gatos and points south. This coincided with Paul Shoup’s founding of the Altos Land Company in 1906. Paul, who is known as the father of Los Altos, proposed to link the cities of Palo Alto and Los Gatos with a new rail line through present-day Los Altos; however, the route where the rail line was proposed to be located within two adjoining parcels owned by rifle heiress Sarah Winchester, who did not want the railway line to split the two adjacent parcels (Figure 3). On October 19, 1907, the Altos Land Company was incorporated, with Paul Shoup as its director. Soon after its incorporation, the Southern Pacific Railroad acquired the company as the newly formed subsidiary, Peninsular Railway. Although the Altos Land Company failed to purchase the right-of-way through Sarah Winchester’s property, they offered to buy both lots from her instead. She accepted the offer, which allowed the Altos Land Company to move ahead with its plan to develop the small community. The Altos Land Company kicked off its development plans by sponsoring outdoor land sales events, which coincided with the construction of the new Southern Pacific route from Palo Alto to Los Altos to provide train service through Los Altos. On April 19, 1908, the Southern Pacific train service opened in Los Altos with five trains per day along the route of the present-day Foothill Expressway.

During the early 1900s, the Altos Land Company continued its marketing campaign to sell lots for development to support its new rail line by promoting Los Altos as “the loveliest place on the peninsula” (Figure 4 and). As part of their marketing efforts, residents of San Francisco were offered free railroad excursions in the country for a day, with complimentary picnics alongside the tracks where lot sales were being sold. By 1911, there were 50 new houses constructed within Los Altos, as well as several office buildings and stores along Main Street (Figure 6). The 10-acre lots were priced from \$400 to \$650, and homes could be built from \$2,000 to \$4,000. The 10-acre lots were also laid out to support small family-owned fruit farmers, including the lots along Hawthorne Avenue. Shoup then laid out the town of Los Altos, and the first business to open in downtown Los Altos was Eschenbruecher’s Hardware Store at 316 Main Street, which also housed the post office. The Los Altos Water Company, Los Altos Building and Loan, University Land Company, and the railroad company also occupied offices in downtown Los Altos. In 1909, the two-story Shoup Building was constructed at Main and Second streets, which housed a grocery store downstairs, managed by Paul Shoup’s brother-in-law, Al Robinson, while the second floor was used as a school, where one teacher taught first through eighth grade. In 1914, the Southern Pacific constructed a new train depot in Los Altos (Figure 7). During this time, the railroad and, in particular, the electric streetcar, were vital in opening the suburbs to lower and middle-income residents. Between 1910 and 1930, Los Altos prospered as a small town supported by small family-owned orchards and working-class residents who commuted to areas such as San Jose and San Francisco. During this time, small subdivisions developed, and new roads were constructed; however,

¹² Jose Salameda, *Memories of Los Altos*, publisher Joe Salameda (January 1, 1982).



housing construction within the new subdivisions was slow.

During the early 1900s, Los Altos residents were mainly of European or American descent. According to the 1910 U.S. Federal Census, no African Americans were living in Los Altos and there was only one Japanese family and three single Japanese men working as servants, gardeners, or cooks.¹³ By the 1920s, the number of Japanese residing in Los Altos had increased, making up approximately 22% of Los Altos' population; however, there were very few Chinese and only three African Americans residing in Los Altos. During the 1920s, many Japanese American and Japanese immigrants found work on the numerous fruit orchard farms throughout Santa Clara Valley, including Los Altos. Most Japanese leased land due to the restrictive and discriminatory land legislation under the California Alien Land Law of 1913, making it difficult for the Japanese to own property. However, some Japanese Americans found a way to purchase property, such as George Furuichi and his family. They moved to Los Altos in 1918 and purchased five acres of land on Hawthorne Avenue, 0.2 miles southeast of the Property, where they planted fruit trees. During this time, the Furuichi family appeared to have been the only Japanese family that owned property within Los Altos. By the late 1920s, Los Altos had remained a small town with 10-acre lots slowly being developed with housing.

By the mid-1930s, the nation was emerging from the Great Depression (1929 – 1933), which had created a surge of bank closures, resulting in decreased available capital that impacted agriculture and reduced market prices. In 1933, five days after taking the oath of office, Roosevelt called a conference with the secretaries of Agriculture, Interior, and War and several others to discuss his ideas for recruiting 500,000 men to work in the nation's forests and eroded farmlands. Roosevelt's vision was to provide work opportunities, primarily for young men, to repair the land from decades of poor management and over-use, which became known as the "New Deal." As part of the New Deal, on March 31, 1933, the Emergency Conservation Work (ECW) Act was established under Executive Order No. 6101 and created the Civilian Conservation Corps (CCC) and the Works Progress Administration (WPA). The CCC and the WPA were established to create work opportunities that would not interfere with regular employment. As such, they were explicitly directed toward the conservation of natural resources. The Public Works Administration (PWA) was established six years later, in 1939, and was created by the National Industrial Recovery Act of 1933 (NIRA). The PWA projects included extensive improvements and growth to the Santa Clara Valley and Los Altos road system.

The 1940s brought significant change to the U.S. when on December 7, 1941, Japan bombed Pearl Harbor, Hawaii, and the U.S. declared war on Japan, marking the entrance of the U.S. into World War II (WWII). Suspecting potential spies within the Japanese American population, the U.S. government quickly enacted a series of measures to restrict the travel of Japanese Americans and Japanese immigrants to the U.S. and Hawaii. On February 19, 1942, President Roosevelt signed Executive Order 1066, which authorized the internment of 120,000 people of Japanese descent, including Nisei, who were Japanese Americans born to Japanese parents, and Issei, who were the first generation of Japanese to immigrate to the U.S., in 11 camps located across seven states. In March 1942, the Japanese American communities throughout San Jose were told to "relocate" to military areas. Many of them were sent to the assembly center at Tanforan for

¹³ CIRCA Preservation Consulting, "City of Los Altos Historic Resources Inventory", Prepared for the City of Los Altos, 2012.



assignment to internment camps. In 1942, George Furuichi and his family were sent to the Heart Mountain Relocation Center in northwest Wyoming. In 1943, George was recruited by the U.S. Army during his internment, and he served as part of the famed U.S.-Japanese “Go for Broke” 442 Regimental Combat Team.

The end of WWII also saw the return of U.S. soldiers and returning Japanese residents who were released from internment camps. The War Relocation Authority (WRA) gave each Japanese residents \$25 in cash and a train or bus ticket back to their hometowns. Some Japanese residents returning home found their belongings stored by churches or trusted neighbors. In contrast, others discovered their homes and businesses in disarray, and their things were often stolen or broken.¹⁴ Unlike many Japanese Americans who lost everything during their internment, George Furuichi and his family retained their land, which was maintained and protected by close friends. In 1947, George, his sister Helen, and his cousin Tom, who also interned during WWII, opened the Los Altos Nursery, which the Furuichi family owned until it was sold in 2018.

During the late 1940s, Los Altos and Santa Clara County experienced tremendous job growth related to new industries, including the electronic and defense industries, resulting in a manufacturing boom (Figure 9). The town of Los Altos, like many other cities throughout the U.S., saw a housing boom with the return of soldiers after WWII. As the City grew, the now 7,922 residents, feared that either Palo Alto or Mountain View would annex the growing town. In 1952, the citizens voted to incorporate the City of Los Altos, becoming the eleventh City in Santa Clara County. By 1960, with the economy booming and new residential housing constructed, the population of Los Altos reached 19,696. By this time, the automobile had replaced the train, and in 1964 the Southern Pacific Railroad ceased operations in Los Altos. During the 1970s, the technology industry was beginning to grow, and downtown Los Altos consisted of commercial buildings, restaurants, and a movie theater (Figure 10). In 1976, Apple co-founders Steve Jobs and Steve Wozniak built the first 50 “Apple I” computer in Jobs’ parents’ garage in Los Altos.

¹⁴ James C Williams, and Kent Seavey. “Gilroy Yamato Hot Springs National Register of Historic Places Nomination”, (NR#95000996), Washington, DC: National Park Service, 1995.



Figure 2. undated photograph of Juana Briones de Miranda (courtesy of the NPS).

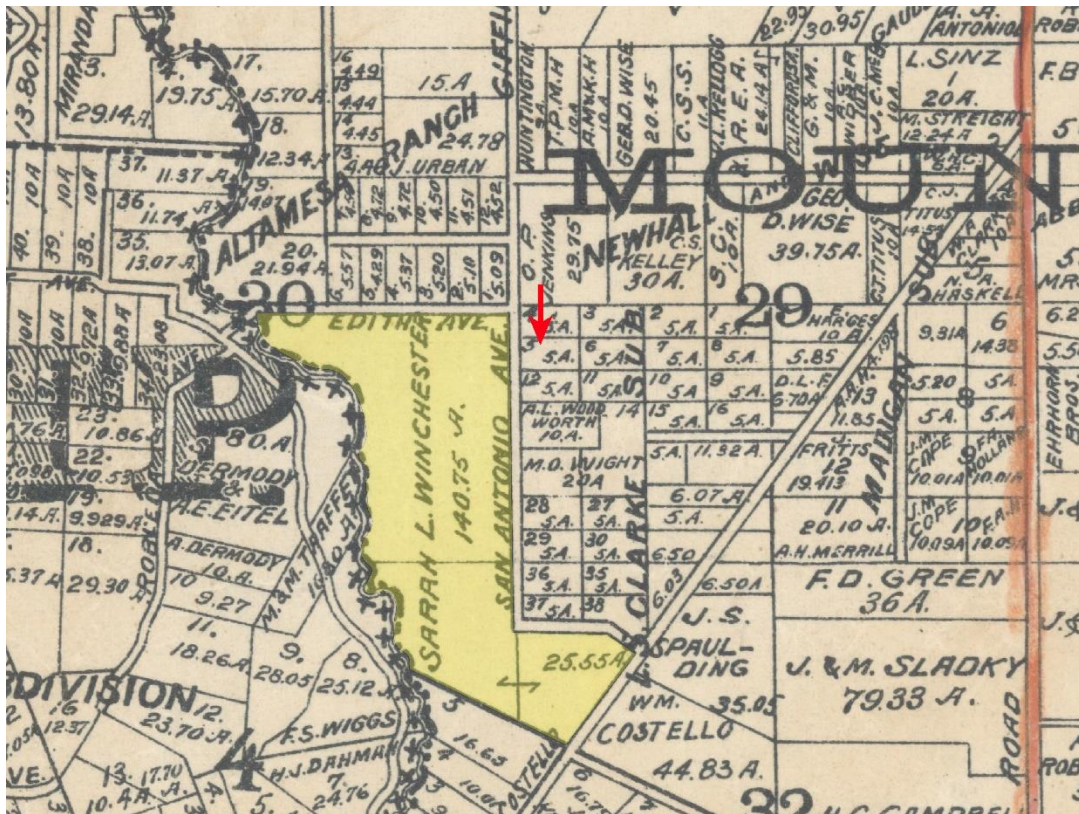


Figure 3. A 1906 tract map is showing the Property (red arrow) concerning the Sarah Winchester parcel (highlight center parcel) that was sold to the Altos Land Company and later became the townsite for Los Altos (courtesy of the Los Altos History House Museum Archives).

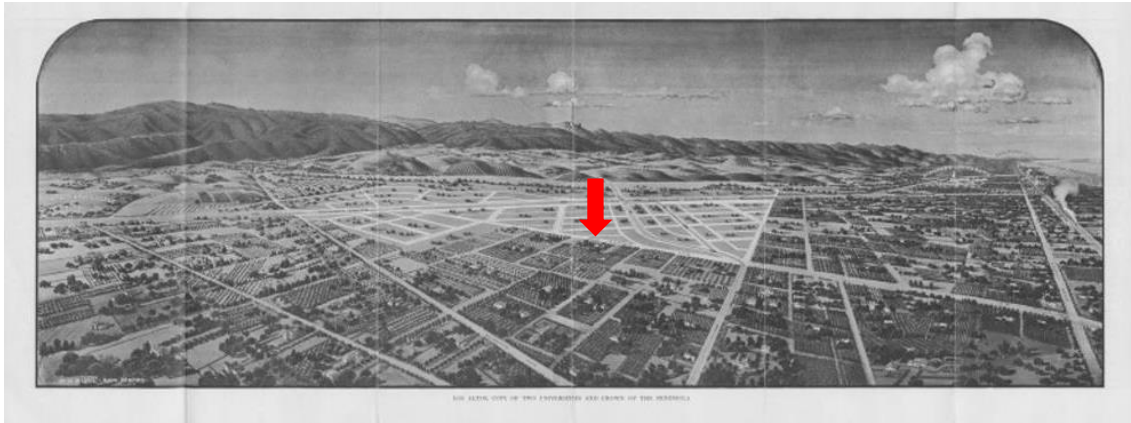


Figure 4. ca. 1907 bird's eye view drawing of the developing community of Los Altos (courtesy of the Los Altos History House Museum Archives).



Figure 5. A marketing brochure from the Altos Land Company advertising the Los Altos as the loveliest place on the peninsula (courtesy of the Los Altos History House Museum Archives).

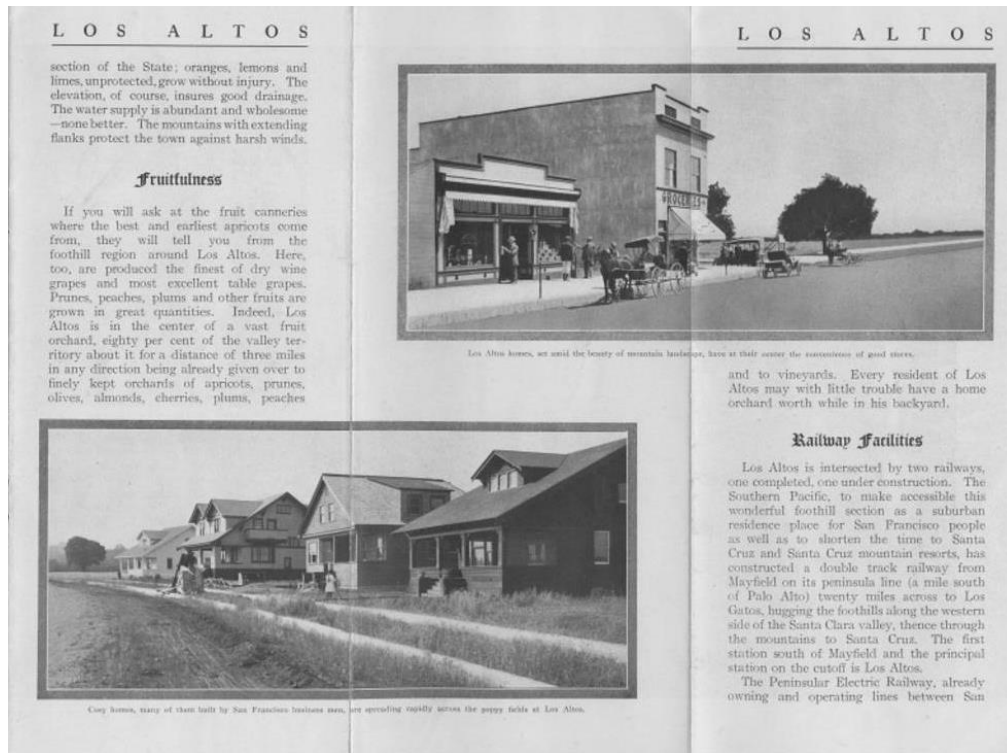


Figure 6. Advertisement from the Altos Land Company, advertising Los Altos as the loveliest place on the peninsula (courtesy of the Los Altos History House Museum Archives).



Figure 7. ca. 1920 photograph of the 1913 Southern Pacific Railroad depot in Los Altos (courtesy of the Los Altos History House Museum Archives).



Figure 8. ca. 1930 photograph of George Furuichi (third from the right) and other Japanese workers. The location may have been within his property on Hawthorne Avenue (courtesy of the Los Altos History House Museum Archives).



Figure 9. 1944 aerial photograph of downtown Los Altos (courtesy of Don McDonald).



Figure 10. 1970s photograph of downtown Los Altos (courtesy of the Los Altos History Museum).

PROPERTY HISTORY

In the late 1840s, the Property was part of unclaimed public land acquired by the U.S. government in 1848. By 1865, the Property was surveyed under the PLSS and became part of a 640-acre property covered with chamisal, a term for the overgrowth of chamiso, an evergreen shrub (Figure 11). By 1873, the 640-acre property was divided into two parcels, one belonging to “Graham” and the other belonging to “Bailey” (Figure 12). During this time, the Property was within the Fremont Township in Santa Clara County, and the land where the Property is located was still covered in chamisal. By 1876, the property was divided into smaller parcels, and the subject Property became part of a 40-acre property belonging to T & J.P. Dillon (Figure 13). During this time, there were two private roads within the 40-acre property, one of which became South San Antonio Road, located west of the Property, and the other was South El Monte Avenue.

By 1890, the 40-acre property was part of the L.S. Clarke Subdivision that consisted of 48 10-acre lots, with the Property located within Lot 12 (Figure 14). Although the Property was part of an early subdivision, housing within this area was slow to develop. According to the 1897 USGS 15' Palo Alto quadrangle map, no houses were within Lot 12 during this time (Figure 15). By 1910, new roads were constructed within the subdivision, including Hawthorne Avenue, within what was now known as the Altos Acres Tract residential subdivision. The Property was part of a 0.70-acre property known as Lot 15 (Figure 16); however, it was not until 1926 that the Property was developed.

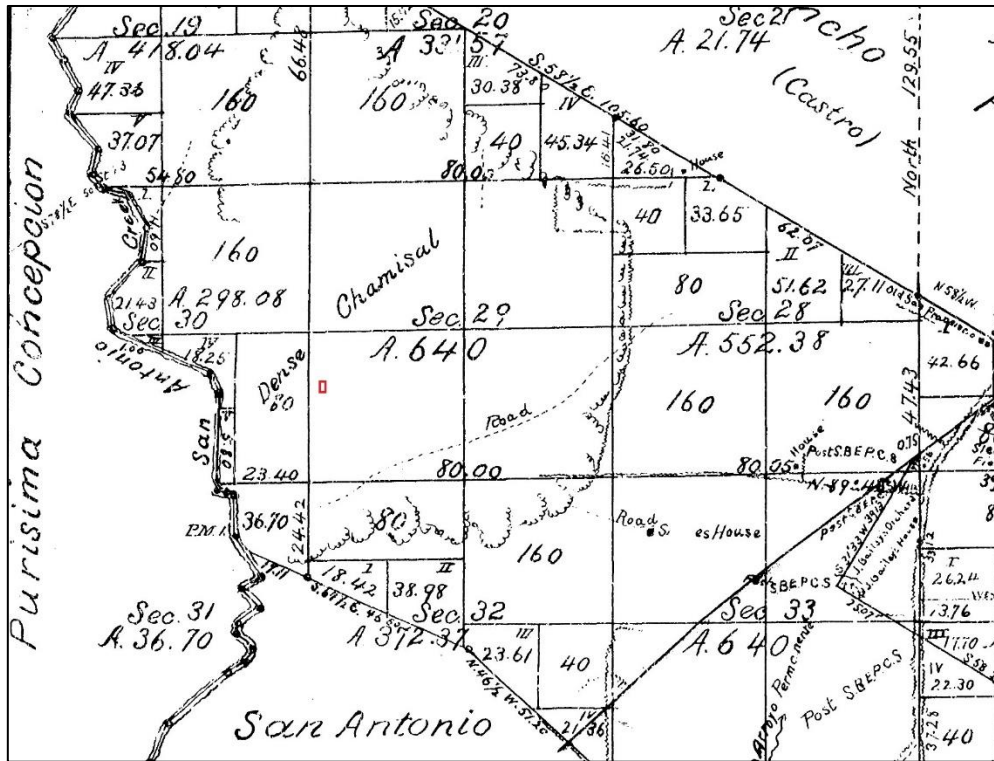


Figure 11. 1865 Government Land Office (GLO) map showing the Property (in red) within "Dense Chamisal."

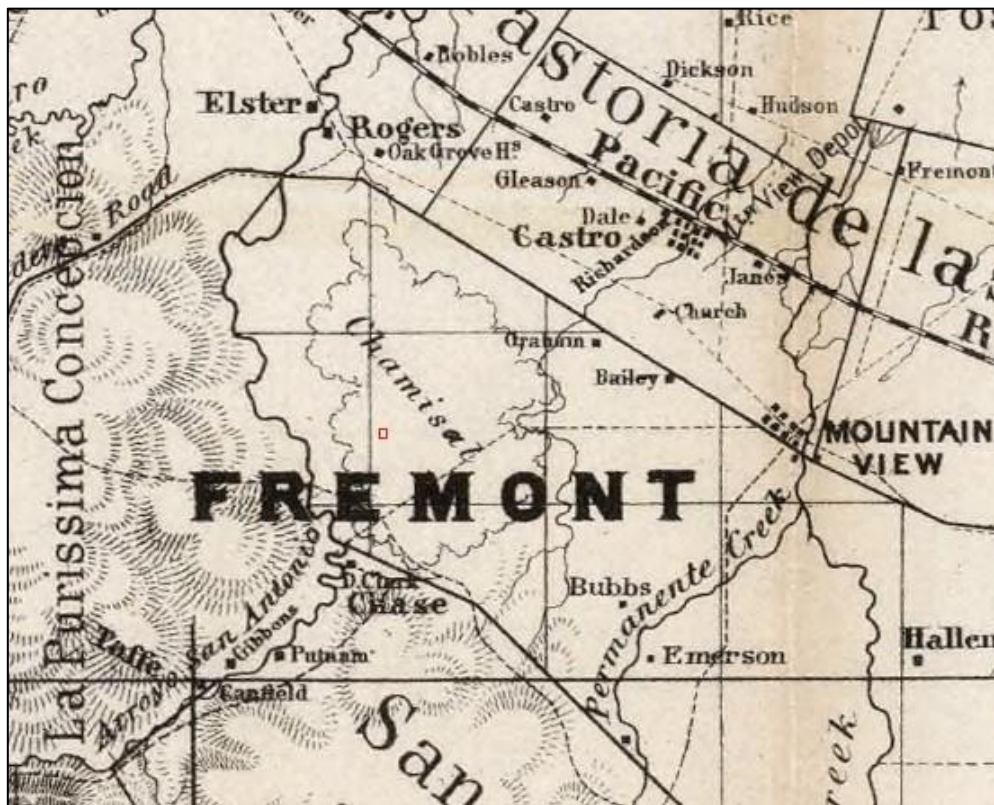


Figure 12. 1873 Hoffman and Whitney map showing the Property (in red) within an area covered in chamisal.

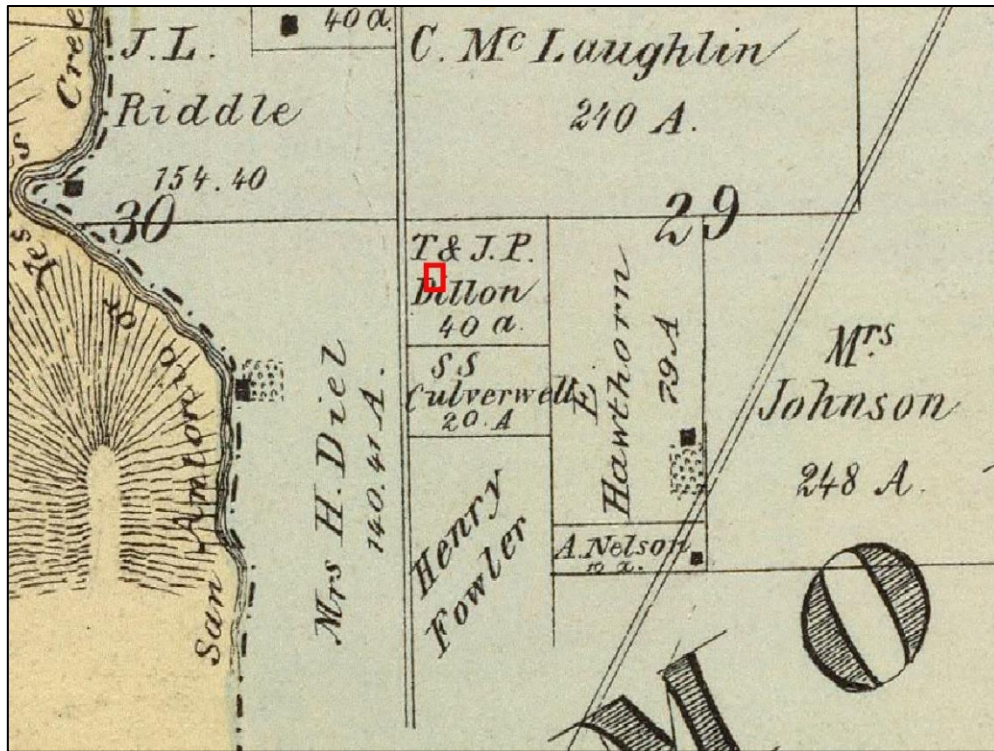


Figure 13. 1876 Thompson and West map showing the Property (in red) within T & J.P. Dillon’s 40-acre property.

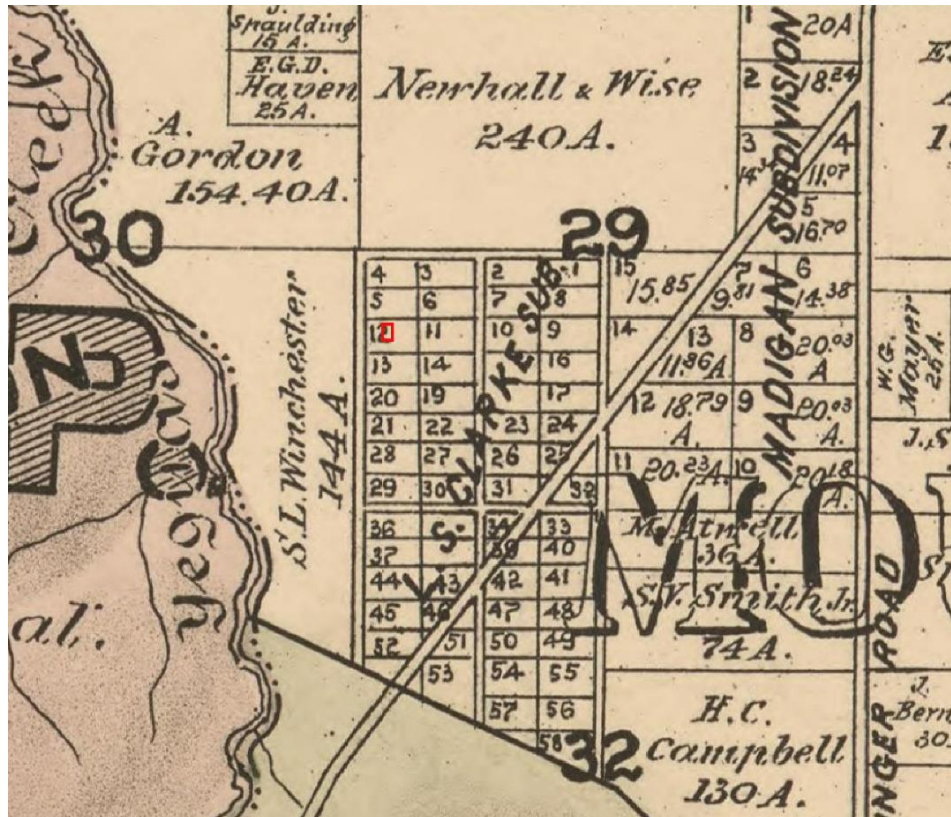


Figure 14. 1890 Hermann Bros. map shows the Property within lot 12 of the L.S. Clarke Subdivision.

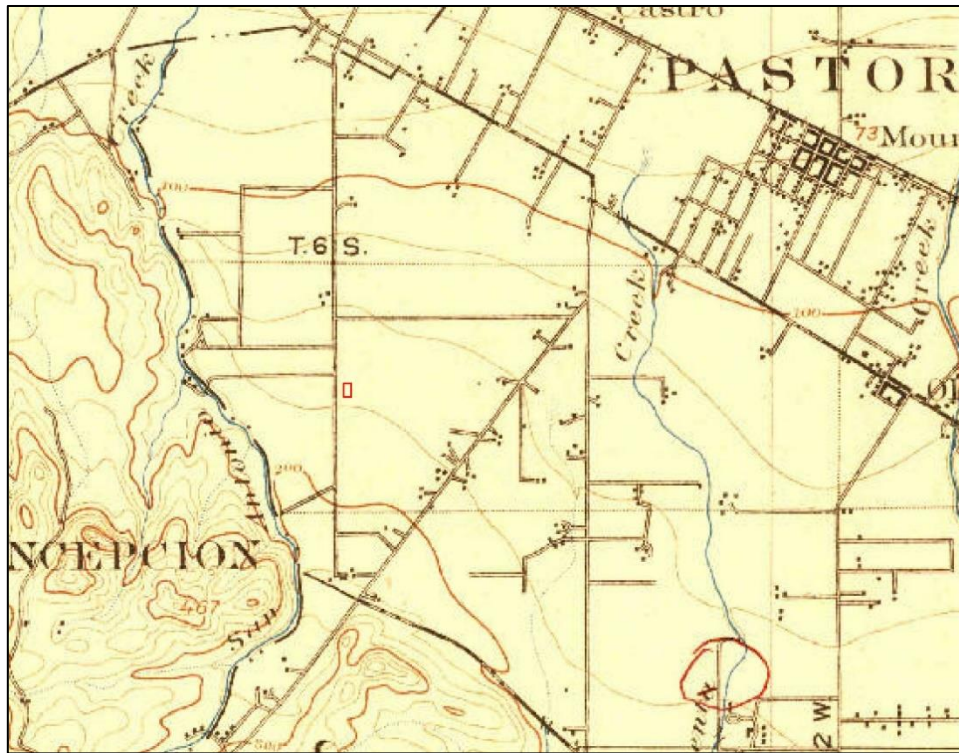


Figure 15. 1897 USGS 15' Palo Alto Quadrangle showing the Property.

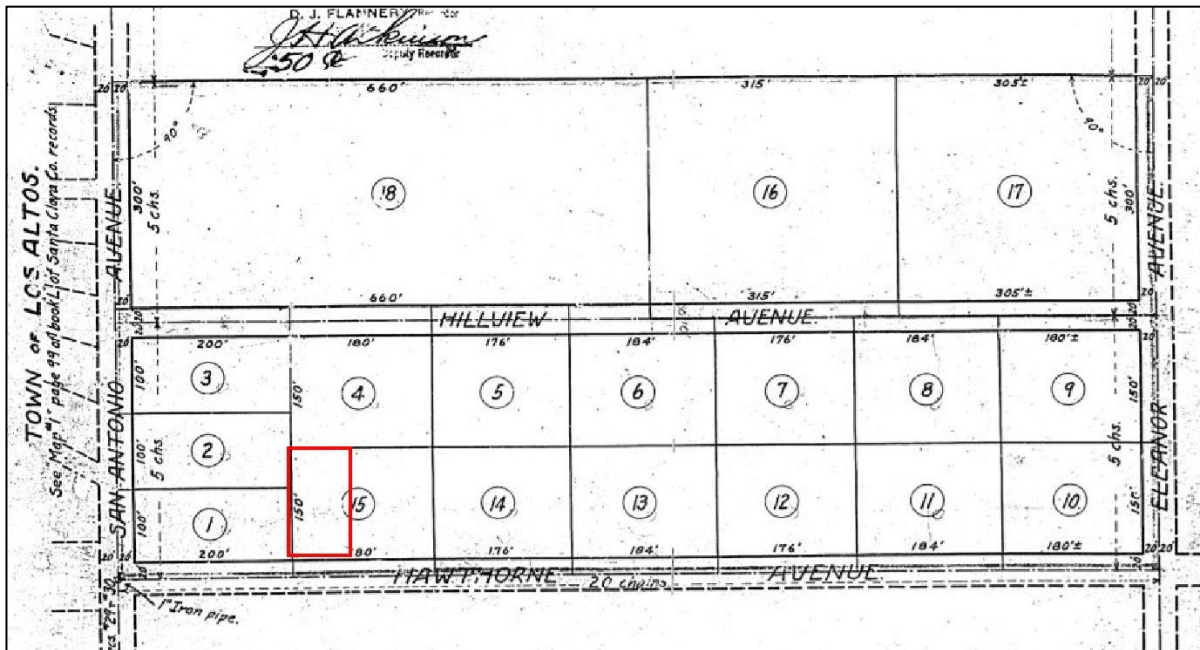


Figure 16. A 1910 Subdivision Map of the Alto Acres Tract, showing the location of the Property (outlined in red; courtesy of Santa Clara County).



Table 1. Owner and Occupant History

1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape		
Year	Owners/Occupants	Details
1926-1946	Owners: Carrie H. Willey Payson and Holland Searles Payson	<ul style="list-style-type: none"> • The first owners of the property were Carrie and Holland Payson. During this time, the Property was part of a larger 0.7-acre parcel known as Lot 15 that extended east. • Carrie and Holland purchased the property from Purl Nathaniel (P.N.) Doyle. Doyle designed and constructed the 1926 house as a development project (Figure 17).¹⁵ According to an advertisement in <i>The Daily Palo Alto Times</i>, the 1926 house was constructed with “materials and millworks furnished by the D. and S. Lumber Company in Mountain View,”¹⁶ and the 1926 house “contained seven rooms on the first floor and two rooms on the second floor with a Modern-Way Furnace.”¹⁷ A rectangular-shaped detached garage (no longer extant) was constructed at the rear of the property. • During the 1930s, orchard trees surrounded the property, and the neighborhood consisted of only a few houses (Figure 18, Figure 19, and Figure 20). In 1940, the address was P.O. Box 253 (Figure 21), and in 1945, the property’s address was changed to P.O. Box 301.¹⁸ • Carrie was born in San Francisco in 1881, and Holland was born in San Francisco in 1879. Carrie and Holland married in 1905. They had two children, Roberta and Stephen. The family lived in Berkeley, where Holland worked as an engineer.¹⁹ Before purchasing the then 0.7-acre Property from Doyle in 1926, Carrie and Holland lived in Mountain View.²⁰ During Carrie and Holland’s property ownership, Holland worked for the California State Highway as an engineer. However, he also served in the military during WWII (Figure 22),²¹ and Carrie kept house. In 1940, Carrie and Holland’s son Stephen and his wife Mauren also lived in the 1926 house. • Holland died in 1942,²² and Carrie died in 1970.²³
1946-1950	Owner: Andrew C. Blake and Katherine Elizabeth “Betty” Perot Blake	<ul style="list-style-type: none"> • The subsequent owners of the property were Andrew C. and Katherine Blake. Andrew and Katherine purchased the 0.7-acre property for

¹⁵ Purl Nathaniel Doyle is not listed on the PCAD as an architect or builder.
¹⁶ Newspapers.com, “Beautiful Los Altos Homes Built by P.N. Doyle”, *The Daily Palo Alto Times*, December 2, 1927.
¹⁷ Ibid.
¹⁸ Dr. Martin Luther King Junior Library, California Room, 1940 City Directory.
¹⁹ Newspapers.com, “Midpeninsula Death”, *The Peninsula Times Tribune*, June 12, 1970.
²⁰ Newspapers.com, “Midpeninsula Death”, *The Peninsula Times Tribune*, June 12, 1970.
²¹ Ancestry.com. U.S., World War II Draft Registration Cards, 1942
²² Newspapers.com, “Holland S. Payson is Claimed by Death”, *The Peninsula Times Tribune*, December 26, 1942.
²³ Newspapers.com, “Midpeninsula Death”, *The Peninsula Times Tribune*, June 12, 1970.



1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape		
Year	Owners/Occupants	Details
	Doolittle	<p>\$18,500.²⁴ By 1950, the property’s address was 121 Hawthorne Avenue.²⁵ During the Blake’s ownership of the property it was subdivided, and the lot where the 1926 house is located was reduced to its current 0.344-acre size. It appears that when the lot was split the address may have been changed to 41 Hawthorne Avenue.</p> <ul style="list-style-type: none"> • Andrew was born in 1907 in Colorado, and Katherine was born in 1914 in New York. Andrew and Katherine married in 1934 in New York City, and they had four children, Edward, Peter, Fred, and Andrew Jr. Andrew worked for the Shell Oil Company and Katherine kept house. • During the 1940s, the original detached garage was demolished, and in the 1950s, the current ca. 1950 detached garage was constructed (Figure 23 and Figure 24). • Andrew died in 1950.²⁶ This same year, Katherine married Duane Dolittle,²⁷ and sometime in the early 1950s, they sold the 0.344-acre Property and moved to New York, where Duane taught at Syracuse University.²⁸
1950s-1956	Owners: Nelson D. Gustin and Pauline Waters Gustin	<ul style="list-style-type: none"> • The next owners of the Property were Nelson and Pauline Gustin. However, Nelson and Pauline did not live in the 1926 house; instead, they resided at 2054 Euclid Avenue in Palo Alto. • Nelson was born in 1904 in Pennsylvania, and Pauline was born in 1902 in Pennsylvania. Pauline and Nelson married in 1929 and had one child, Nelson Jr. During Pauline and Nelson’s ownership of the Property; they owned and operated Gustin’s drive-in restaurant at 1520 Bayshore Highway in Palo Alto.²⁹ • In 1956, Pauline and Nelson sold the Property to Kenneth and Miriam Patton.
1956-1965	Owners: Kenneth F. Patton and Miriam F. Derr Patton Occupants: unknown	<ul style="list-style-type: none"> • The subsequent owners of the Property were Kenneth and Miriam Patton. Kenneth and Miriam do not appear to have lived within the 1926 house. Instead, they lived at 942 Van Auken Circle in Palo Alto.³⁰ In the 1950s, an awning roof (no longer extant) was attached to the southeast corner of the 1926 house, and a fabric porch awning was located along the primary facade (Figure 25 and Figure 26). • Kenneth was born in 1918 in California and Miriam was born in 1918 in

²⁴ Newspapers.com, “Noted Engineer and Family Moving Into Los Altos Home”, The Peninsula Times and Tribune, May 14, 1946.

²⁵ Ancestry.com. 1950 United States Federal Census.

²⁶ Ancestry.com. California, U.S., Death Index, 1940-1997.

²⁷ Ancestry.com. California, U.S., Marriage Index, 1949-1959.

²⁸ Newspapers.com, “Katherine E. “Betty” Doolittle”, The Bangor Daily News, September 17, 2000.

²⁹ Ancestry.com. U.S., City Directories, 1822-1995.

³⁰ Ancestry.com. U.S., City Directories, 1822-1995.



1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape		
Year	Owners/Occupants	Details
		<p>California. In 1941, Miriam graduated from University of California San Francisco School of Nursing and in December of that year, Miriam and Kenneth married in San Jose at the ages of 24 and 22, respectively.³¹ Kenneth and Miriam had four children, Sally, Judith, Danice, and David. During Miriam and Kenneth’s ownership of the Property, Kenneth worked as a photographer for Ampex Corporation in Redwood City,³² and Miriam kept house.</p> <ul style="list-style-type: none"> • The Finley Realty company managed the rental of the Property for Kenneth and Miriam. In 1956, a permit (no. A2440) was issued to Finley Realty to repair termite damage to the 1926 house for \$280. • No information about the occupants of the 1926 house was found.
1965-1968	Owners: George Russell Otto and Cora Ann Hart Otto	<ul style="list-style-type: none"> • The next owners of the Property were George and Cora Otto. During Cora and George’s ownership of the Property, they did not live in the 1926 house. Instead, they lived at 1007 Judson in Mountain View while George worked as a psychologist for the Palo Alto Unified School District.³³ • George was born in 1930, and Cora was born in 1937. Cora and George married in 1955 in San Luis Obispo when he was 25 and Cora was 18. At the time, Cora had recently graduated from Arroyo Grande Union High School, and George was enlisted in the Army, where he was stationed at Fort Sill in Oklahoma.³⁴ After George finished his service, he went into the ministry and worked as a student pastor for the Presbyterian Church in Summerland. • Cora and George had three children together, John, Greg, and Robles. • Cora died in 1999.³⁵ • No additional information about George or Cora was found.
1968-1974	Owners: Wayne Miller, Roland P. Boutin, and Dorothea Tibbs	<ul style="list-style-type: none"> • The subsequent owners of the Property were Wayne Miller, Roland Boutin, and Dorothea Tibbs. The three owners did not live in the 1926 house. Instead, Roland lived in Palo Alto at 580 Arastradero Road.³⁶ Dorothea and Wayne’s addresses during their ownership were not found. During this time, orchards near the Property were removed and the surrounding neighborhood developed with more residential and commercial buildings, though the Property remained surrounded by

³¹ Newspapers.com, “Marriage Licenses”, The Peninsula Times Tribune, December 17, 1941.

³² NCS Import, “Kenneth Patton”, The Union, May 21, 2002, https://www.theunion.com/news/kenneth-patton/article_b9c0c0fa-ac40-5efb-abaf-af38152ba8b1.html, (accessed 04/12/2023).

³³ Ancestry.com. U.S., City Directories, 1822-1995.

³⁴ Newspapers.com, “Miss Cora Hart Becomes Bride of G. Otta at Arroyo Grande”, The Tribune, July 22, 1955.

³⁵ Newspapers.com, “Cora Ann Otto”, The Tribune, October 07, 1999.

³⁶ Ancestry.com. U.S., City Directories, 1822-1995.



1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape		
Year	Owners/Occupants	Details
		<p>trees (Figure 27).</p> <ul style="list-style-type: none"> Wayne owned and operated Miller Properties Inc. and was a shareholder of Small Holder Associated Real Estates Inc. (SHARE), a small company created in 1963. During their ownership, Dorothea worked for Wayne at SHARE. At this time, Roland owned and operated Paramount Tax Service. In 1970, Wayne and Roland established Miller Boutin Investment Management Company.³⁷ No additional information about Roland was found. Wayne was born in 1929 in Manito, Illinois. He attended Bradley University and graduated in 1952 before enlisting in the Navy. After graduating, Wayne attended Stanford University School of Business, earning his M.B.A., and created Miller Properties in 1957. Wayne married Lois Trussell Krebs and they had two children together, David, and Jared, and also raised Lois' child, Whitney, from a previous marriage. Wayne retired in 1995 and died in 2002.³⁸ Dorothea was born in 1919 in California. Dorothea and Thomas Tibbs married (date unknown) and together they had two children, Thomas Jr. and Richard.³⁹ Dorothea died in 2008.⁴⁰
1974	Owners: Hyman Mitchner and Myrna E. Toban Mitchner	<ul style="list-style-type: none"> The next owner of the Property was Hyman and Myrna Mitchner, who briefly owned the Property in 1974. During Hyman and Myrna's ownership of the Property, Hyman worked as one of three vice presidents of Syntex Laboratory.⁴¹ Hyman was born in 1930 in Vancouver, Canada, and Myrna was born in 1933 in Vancouver. Myrna and Hyman married in 1955 in Canada and immigrated to the U.S. this same year.⁴² They had four children, Leslie, Seth, Laura, and Zale. Hyman was a member of the Gideon Hausner School in Palo Alto and raised money for Technion University in Israel.⁴³ Myrna died in 2019,⁴⁴ and Hyman died in 2021.⁴⁵

³⁷ Newspapers.com, "Real Estate Investment Trust Form", The Peninsula Times Tribune, July 08, 1970.

³⁸ Newspapers.com, "Wayne Henry Miller", Ventura County Star, July 10, 2002.

³⁹ Ancestry.com. 1950 United States Federal Census.

⁴⁰ Ancestry.com. U.S., Social Security Death Index, 1935-2014.

⁴¹ Newspapers.com, "San Jose men charge in confidence swindle", Peninsula Times Tribune, March 21, 1984.

⁴² Newspapers.com, "Wisconsin Home for Couple Married at Sunday Service", The Vancouver Sun, June 28, 1955.

⁴³ Los Altos Town Crier Report, "Hyman Mitchner", Mary 26, 2021, https://www.losaltosonline.com/people/obituaries/hyman-mitchner/article_c38eb3e4-be41-11eb-9e8e-cf312185caa7.html, accessed 04/12/2023.

⁴⁴ Los Altos Town Crier, Myrna Toban Mitchner, April 13, 2019, https://www.losaltosonline.com/people/obituaries/myrna-toban-mitchner/article_2c9480fc-a9d2-5e3c-a014-1500e6a9f512.html, accessed 04/12/2023.

⁴⁵ California Digital Newspaper Collection, Hyman Mitchner, The Jewish News of Northern California, June 11, 2021.



1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape		
Year	Owners/Occupants	Details
1974-2000	Owners: Derek Bray and Rosamond Bray	<ul style="list-style-type: none"> • The subsequent owners of the Property were Derek and Rosamond Bray. • In 1976, Derek and Rosamond added a 24-foot-wide by 20-foot-tall second-story addition to the 1926 house at a total cost of \$16,800 (permit no. A14468). In 1979, Derek and Rosemond re-roofed the 1926 house (permit no. A16717), added a ca. 1980 storage shed, and repaired the fireplace chimney in 1996 (permit no. 1996-629231). • Derek was born in 1934 in Yorkshire, England. In 1961, Derek and Rosemond had two children, Alexander and Victoria, and in 1963, Derek and Rosemond and their two children immigrated to the U.S. from England.⁴⁶ • No additional information about Derek or Rosemond was found.
2000-2022	Owner: Anne C. M. Wilson	<ul style="list-style-type: none"> • The subsequent owner of the Property was Anne C. M. Wilson. In 2000, Anne removed one layer of shake roof and added Celotex,⁴⁷ and one-half-foot of plywood to the 1926 house and ca. 1950 garage (permit no. 2000-637161). In 2002, Anne made additional changes to the 1926 house, including a second-floor bathroom, adding a furnace to the attic, replacing the pipes with copper pipes, replacing the water heater, and installing an electronic pump and panels (permit no. 67218). • No additional information about Anne was found.

⁴⁶ Ancestry.com. California, U.S., Federal Naturalization Records, 1843-1999.

⁴⁷ A roofing material made of fiberboard from sugar cane waste.

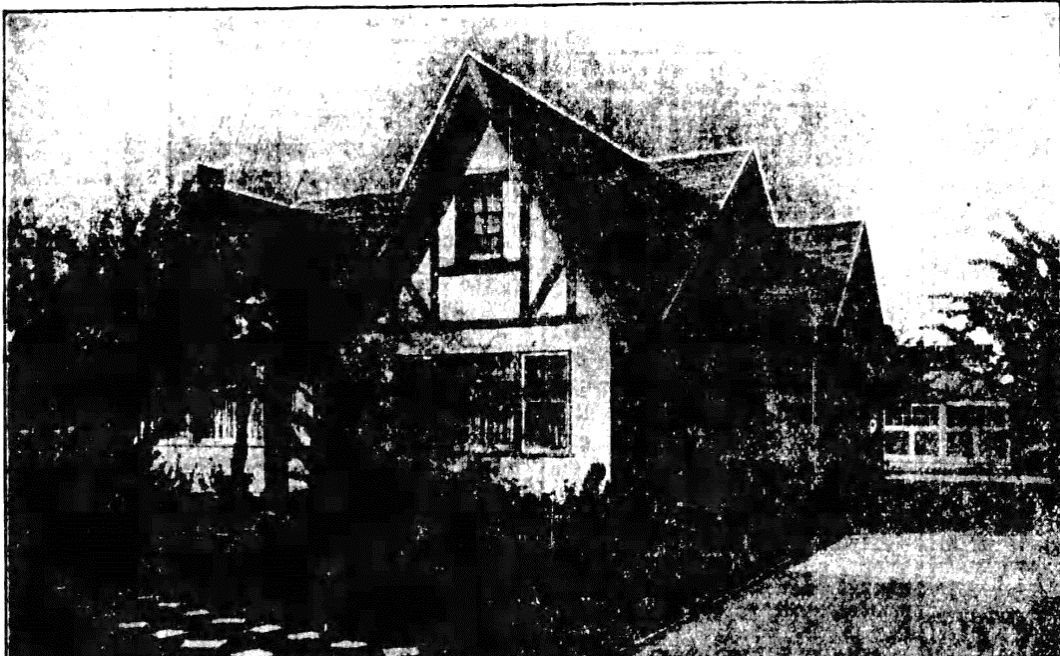


Figure 17. A 1927 newspaper photograph of the 1926 house with the rectangular detached garage (no longer extant) at the rear of the property (courtesy of Newspapers.com, The Daily Palo Alto times, December 3, 1927).



Figure 18. 1930 aerial photograph showing the Property (courtesy of the University of Santa Barbara Library).



Figure 19. 1939 aerial photograph showing the Property (courtesy of the University of Santa Barbara Library).



Figure 20. 1941 aerial photograph showing the Property's location surrounded by some houses, but mainly orchards (courtesy of University of Santa Barbara Library).

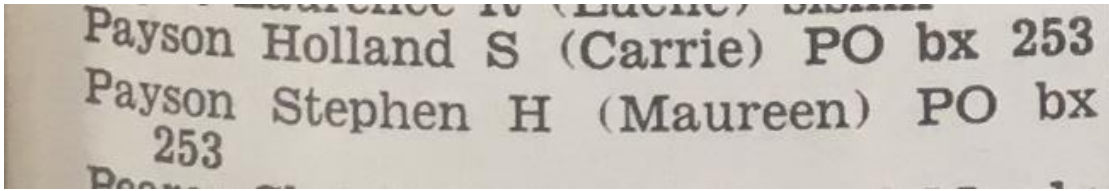


Figure 21. 1940 Polk Directory for San Jose, showing the Property with the address of PO Box 253 (courtesy of the San Jose State University, California Room).

REGISTRATION CARD—(Men born on or after April 28, 1877 and on or before February 16, 1897)

SERIAL NUMBER U 174	1. NAME (Print) Holland Searles Payson <small>(First) (Middle) (Last)</small>		ORDER NUMBER
2. PLACE OF RESIDENCE (Print) Hawthorn Ave Los Altos Santa Clara, Calif. <small>(Number and street) (Town, township, village, or city) (County) (State)</small>			
3. MAILING ADDRESS P.O. Box 301 - Los Altos, Calif. <small>(Mailing address if other than place indicated on line 2. If same insert word same)</small>			
4. TELEPHONE 2241 <small>(Exchange) (Number)</small>	5. AGE IN YEARS 62	6. PLACE OF BIRTH San Francisco Calif - <small>(Town or county) (State or country)</small>	
7. NAME AND ADDRESS OF PERSON WHO WILL ALWAYS KNOW YOUR ADDRESS Carrie H. Payson - P.O. Box 301, Los Altos, Calif -			
8. EMPLOYER'S NAME AND ADDRESS State of California Division of Highways - 2001 Van Ness Ave, Calif			
9. PLACE OF EMPLOYMENT OR BUSINESS 2001 Van Ness Ave San Francisco Calif <small>(Number and street or R. F. D. number) (Town) (County) (State)</small>			
I AFFIRM THAT I HAVE VERIFIED ABOVE ANSWERS AND THAT THEY ARE TRUE.			
D. S. S. Form 1 (Revised 4-1-42)		16-21630-2 <i>S. Payson</i> <small>(Registrant's signature)</small>	

Figure 22. Holland's WWII Registration Card showing the address of the Property (courtesy of Ancestry.com).



Figure 23. 1948 aerial photograph showing the 1926 house and the now extant ca. 1926 detached garage at the rear of the Property (courtesy of the University of Santa Barbara Library).



Figure 24. 1956 aerial photograph showing the Property and ca. 1950 detached garage (extant) (courtesy of the University of Santa Barbara Library).



Figure 25. 1959 photograph of the 1926 house showing the porch awning (no longer extant) (courtesy of the Sreenivas and Isabel Tallam).



Figure 26. A photograph of the 1926 house taken in February 1962 showing the corner awning roof (no longer extant) and parking adjacent to the front yard (courtesy of the Sreenivas and Isabel Tallam).



Figure 27. 1968 aerial photograph of the Property with increased residential development around it (courtesy of the University of Santa Barbara Library).

ARCHITECTURAL CONTEXT

The following section briefly describes the Tudor Revival architectural style that is associated with the 1926 house within the Property.

TUDOR REVIVAL (1890 – 1940)

The following is taken from the Pennsylvania Historical & Museum Collection,⁴⁸ which describes the Tudor Revival Architectural style.

“The Tudor style is an eclectic mixture of early and Medieval English building traditions to create a picturesque, traditional appearance. Tudor is somewhat of a misnomer since the style does not closely follow the building patterns of the English Tudor era of the early 16th century. Instead, it is an amalgam of late medieval English-inspired building elements. The earliest examples of this style were architect-designed and more closely followed original English models of the Elizabethan and Jacobean eras. These early, ornate buildings are sometimes called Jacobethan style rather than Tudor. In the early part of the 20th century, less ornate versions of this medieval English style became very popular for the design of homes, spreading across the country through pattern books, builders' guides, and mail-order catalogs.

Tudor buildings are easily identified by their steeply pitched roofs, often with front-facing gables or multiple gables and half-timbered wall surfaces. Not all Tudor buildings have half-timbering, but all share similar massing and Medieval English decorative details. These details

⁴⁸ Pennsylvania Architectural Field Guide, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/tudor-revival.html>, (accessed 5/16/2023).



might include an overhanging gable or second story, decorative front or side chimney, diamond-shaped casement windows, or a round-arched board and baton front entry door. Tudor houses are almost always made of stucco, masonry, or masonry-veneered construction, often with ornamental stonework or brickwork. In some Tudor buildings, the roofs curve over the eaves to imitate medieval thatching, or the roof line curves from peak to cornice to suggest a medieval cottage. Often picturesque and charming, Tudor style buildings, mansions, and more common houses can be found throughout the state.”⁴⁹

Character-defining features of Tudor Revival architecture often include:

- Steeply pitched roofs with wooden or slate shingles
- Intersecting gables
- Stacked chimneys or chimney pots
- Half-timbering
- Casement windows with leaded glass and six-over-one double-hung windows
- Oriels and one- or two-story bay windows
- Multiple materials, including stucco, rubblework masonry, patterned stonework or brickwork, clapboards
- Vertical plank doors
- Asymmetrical floor plan

BUILDER: PURL NATHANIEL DOYLE

The designer and builder of the 1926 house was Purl Nathaniel (P.N.) Doyle (Figure 28). Purl was born in 1874 in Illinois. In 1896, Purl and Hattie E. Harrison married in Colorado and they had one child, Clarence.⁵⁰ In 1896, Hattie died in Colorado, and sometime between 1896 and 1900, Purl moved to California, leaving Clarence to be raised by Purl’s parents, William and Emily Doyle, in Illinois.⁵¹ By 1905, Purl lived in San Francisco and worked as a carpenter.⁵² In 1906, Purl and Ethel Baxter married in Berkeley, California, when he was 31 years old and she was 22.⁵³ Purl and Ethel had one child, Clifford. In 1910, during a time of growth in Los Altos, Purl and Ethel purchased a 50 foot by 142 foot lot on Second Street and constructed a five-bedroom house.⁵⁴ In 1914, Purl and Ethel sold their Los Altos house, and by 1920, Purl and Ethel settled permanently in Mountain

⁴⁹ Pennsylvania Architectural Field Guide, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/tudor-revival.html>, (accessed 5/16/2023).

⁵⁰ Ancestry.com. Colorado, County Marriage Records and State Index, 1862-2006.

⁵¹ Ancestry.com. 1900 United States Federal Census.

⁵² Ancestry.com. U.S., City Directories, 1822-1995.

⁵³ Newspapers.com, “Marriage Licenses”, The San Francisco Call, July 18, 1906.

⁵⁴ Newspapers.com, “Los Altos Enjoys Wonderful Boom”, The San Francisco Examiner, April 17, 1910.



View, where Purl continued working as a carpenter.^{55 56}

By the 1920s, Purl was a well-known local builder in Santa Clara County, focusing mainly on remodeling buildings, including a warehouse behind the Eschenbruecher’s Hardware Store at 316 Main Street.^{57 58} In 1942, Purl’s wife, Ethel, died. In 1948, Purl was elected secretary and treasurer for the Palo Alto Carpenter Local 688. He was also a member of Mountain View Carpenters Union Local 1280 and Woodmen of the World. Purl died in 1950.⁵⁹

Although locally known, Purl is not listed as a builder or designer in PCAD and is not considered a master builder or known for any design type or development style.

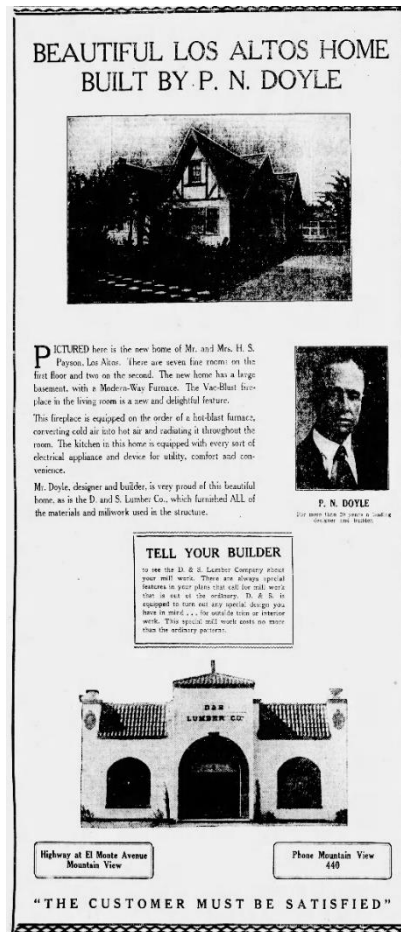


Figure 28. Advertisement in The Daily Palo Alto Times, December 3, 1927 (Newspapers.com).

⁵⁵ Ancestry.com. 1920 United States Federal Census.

⁵⁶ Newspapers.com, “Los Alto Real Estate”, The San Francisco Examiner, July 04, 1914.

⁵⁷ Newspapers.com, “Building Permits” The Daily Palo Alto Times, May 8, 1921.

⁵⁸ Newspapers.com, “Los Altos Business Block Sold; Will be Entirely Renovated”, The Daily Palo Alto Times, March 16, 1921.

⁵⁹ Newspapers.com, “Carpenters Union Agent Succumbs”, Daily Palo Alto Times and Palo Alto News and Palo Alto Shopping Review, July 2, 1950.



HISTORIC ARCHITECTURAL SURVEY

On April 5, 2023, EDS Principal Architectural Historian Stacey De Shazo, M.A., completed a historic architectural survey of the property, including the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape. The results of the historic architectural survey are documented in the following section.

1926 HOUSE

The 1926 house is associated with the Tudor Revival architectural style and was designed and constructed by builder Purl Nathaniel Doyle. Alterations to the 1926 house occurred in 1976, 1979, 1996, and 2002, detailed in this section and the “Previous Alterations” section below. The two-story house has a raised foundation with decorative cast-iron vents along the perimeter, with metal mesh vents along the foundation perimeter at the 1976 addition. The house has a side-facing gable form, with two cross-gables on the south elevation and a single, central cross-gable off the north elevation. The peaks of the roof gables at the south elevation are set below the ridge of the side gable, while the north elevation is above the ridgeline of the side gable. The roof is clad with composite shingles, while the house is finished with stucco and exposed half-timbering. At the roof’s peak is a small, stucco-finished chimney. As the house is on a raised foundation, the north elevation has a raised deck connecting the original house eave to the 1976 gable addition.

South Elevation (Primary Facade)

The south elevation consists of two front-facing gables with steep multi-gable roofs (Figure 29). The western gable is flush with the eaves of the side roof gable, while the eastern gable projects forward from the eave, and the east roof curves down and across an open, central portico (Figure 30). The central porch has two three-centered arches, one to the south and one to the west. These arches are supported by a stucco column to the southwest and the house walls to the north and east. A single wood door is within the portico, on the west wall. There are two in-kind replacement picture windows, consisting of a central, square, fixed single-light window in between two three-over-one, double-hung wood windows; between each of these three windows is a thick wood mullion (Figure 31). Although not original, these windows were replaced in-kind in material and style. Each window is located at the first-story level and centered below the roof gable. Within each gable, there is a three-over-one, double-hung wood window. At the south peak of the 1976 addition, there is a small, square vent.



Figure 29. South elevation, facing north.



Figure 30. South elevation, facing northeast.



Figure 31. Picture window on south elevation, facing north.

East Elevation

The east elevation consists of a double gable and eave section of the 1976 addition (Figure 32). The east elevation includes ten windows, of which four are new, and six are original. Three new windows appear to be in-kind replacements, and two are new to the elevation. The five windows on the first story of the eastern projecting gable consist of a pair of three-over-one, double-hung wood windows with a thick wood mullion, to the south of a three-over-one, double-hung wood window with horned stiles and a four-over-one, double hung wood window, with horned stiles (Figure 33). Below the peak and set between the exposed timber is a three-over-one, double-hung wood window. The gable between this projecting gable consists of a four-over-one, double-hung wood window at the southern section of the first story and a four-over-one, double-hung wood window with horn stiles at the north section. On the second story and off-center is a four-over-one, double-hung wood window. Directly below this peak, there is a small, square vent. The eave section of the 1976 addition has a sliding glass door at the first story and a pair of three-over-one, double-hung wood windows with a thick wood mullion between them (Figure 34).



Figure 32. East elevation, facing west.



Figure 33. Three-over-one windows with horned stiles (aka lugs) on the east elevation, facing west.



Figure 34. East elevation, facing southwest.

North Elevation

The north elevation consists of three eave sections of the original 1926 house and the gable section of the 1976 addition (Figure 35). The north elevation includes six windows, one fixed window and one casement window that appear to have been repurposed from the original north façade. The easternmost eave consists of a three-over-one, double-hung wood window with horn stiles beside a wood door with six square slights along the top of the paneled door. Along the first story of the gabled section, there is a single wood panel door with six square lights along the top of the door beside a square, four-light-hinged window; these two are between two three-over-one, double-hung wood windows (Figure 36). There are two three-over-one, double-hung wood windows at the second-story level. A square, fixed four-light window below the peak is set between the exposed timbers. Two vents are built into the stucco on either side of the window. A contemporary deck is accessed via two brick steps. The deck wraps around from the east elevation north and extends past the rear entry door within the 1976 gable addition. The west eave section of the addition includes a single wood panel door with six square lights along the top, opening onto a paver stoop.



Figure 35. North elevation, facing south.



Figure 36. North elevation, facing south.

West Elevation

The west elevation consists of the original side gable of the 1926 house and an eave end of the 1976 north-facing gable addition (Figure 37). The gable section includes exposed half-timber framing and stucco. Along the first story are two pairs of three-over-one, double-hung wood windows with thick wood mullions between them. The windows of the second story consist of two, three-over-three, double-hung wood windows set between the exposed timbers. There are three vents on either side of the windows and above, directly below



the gable peak. An original cast-iron crawl-space vent is along the house's foundation (Figure 38). The eave section of the 1976 addition consists of a four-over-one, double-hung wood window at the second-story level.



Figure 37. West elevation, facing southeast.



Figure 38. Cast-iron vent cover at the foundation.



CA. 1950 DETACHED GARAGE

The ca. 1950 detached garage is not associated with any architectural style or form. The one-story detached garage has a front-facing gable form and a concrete slab foundation (Figure 39). The walls are clad with clapboard siding, while the moderately pitched roof is clad with asphalt shingles. Surrounding the windows and doors and around the perimeter of the roof is a simple, thick trim. The south elevation is the primary façade and consists of an off-center, two-car aluminum garage door. The gable vent consists of vertical boards along the peak. The east elevation consists of the eave of the garage and has a centered, projecting metal and glass greenhouse window. The north elevation was not visible during the survey. The west elevation consists of a central, single metal door between a fixed, square window and a small vertical, rectangular window (Figure 40). This elevation opens to a walkway that is covered by a wood trellis.



Figure 39. South elevation of detached garage, facing north.



Figure 40. West elevation and trellis-covered walkway, facing east.

CA. 1980 STORAGE SHED

The ca. 1980 storage shed is not associated with any architectural style or form. The one-story shed has no foundation, as it was placed directly on the soil. The shed has a front-facing, gambrel roof form with half-timbered elements. The shed is constructed of vertical wood, which also operates as the exterior finish, and the roof is clad with composite shingles. The southwest elevation is the primary façade, consisting of double-entry wood doors (Figure 41). The remaining elevations do not have any fenestration.



Figure 41. Photograph showing the double-entry doors along the southwest elevation (primary façade) of the ca. 1980 storage shed, facing north.

ASSOCIATED LANDSCAPE

The associated landscape includes paths for pedestrians and cars, a lawn, a covered trellis with wisteria, and a designed brick patio with flower boxes. The front yard, south of the house, consists of three paths from the street to and around the house. The fence along the front yard's perimeter consists of brick posts supporting two horizontal rails (Figure 42). Between the paths is a sundial built upon a brick pedestal surrounded by bushes and trees. Along the east perimeter of the Property, there is a concrete driveway that extends westward toward the ca. 1950 garage. The wisteria-covered wood trellis runs from the garage to the deck north of the house (Figure 43). Between the house and the driveway is a patio with brick pavers in a design with concrete. Amongst the brick pavers, there are bushes and flowers. The northwest corner of the property consists of a lawn.



Figure 42. Fence with brick posts and wood rails along southern perimeter of the Property.



Figure 43. Wood trellis with wisteria, facing south.

PREVIOUS ALTERATIONS: 1926 HOUSE

Although the alterations are thoroughly documented in this report's Property History section and the Historical Architectural Survey section, the following section breaks out the most significant alterations to the 1926 house as a bulleted list.

- **Rear addition** – 1976, Permit no. A14468: A 24 feet wide by 20 feet tall second-story rear addition



was added to the 1926 house at a total cost of \$16,800.

- **Windows** - There are twenty-seven windows, of which nine are original to the design of the 1926 house, and the remaining are wood replacement windows, some of which are in-kind replacement and others, along the 1979 addition, are single-hung wood windows that mimic the style and material of the original windows.
- **New roof** –1979, Permit no. A16717,2000, Permit No. 2000-637161.
- **Removal/Repair of the Chimney** – 1996, Permit No. 1996-629231.
- **Kitchen and Bathroom Remodel and New Addition** – In 2002, Permit No. 67218 was issued for remodeling the “upper bathrooms” and updates to the electrical and plumbing.

EVALUATION OF HISTORICAL SIGNIFICANCE

The Property, including the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape, was evaluated to determine individual eligibility for listing on the CRHR. The 1926 house was evaluated for its association with Tudor Revival architecture with a period of significance of 1926, when the house was constructed. The ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape are not associated with any known architectural style, form, or architectural landscape design or landscape planning.

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The CRHR is an inventory of significant architectural, archaeological, and historical resources in California. Resources can be listed in the CRHR through several methods. State Historical Landmarks and NRHP listed properties are automatically listed in the CRHR. Properties can also be nominated to the CRHR by local governments, private organizations, or citizens. The CRHR follows *similar* guidelines to those used for the NRHP.⁶⁰ One difference is that the CRHR identifies the Criteria for Evaluation numerically instead of alphabetically. Another difference, according to the OHP is that “It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the NRHP, but they may still be eligible for listing in the California Register. A resource that has lost its historical character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data”.⁶¹

A property must possess significance under one of the four criteria and have historic integrity to qualify for listing in the CRHR. Determining integrity consists of evaluating seven variables or aspects that include location, design, setting, materials, workmanship, feeling, and association. According to the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*, these seven characteristics are defined as follows:

- **Location** is the place where the historic property was constructed.

⁶⁰ California Code of Regulations, Title 14, Chapter 11.5, Section 4850 et seq

⁶¹ California Office of Historic Preservation Technical Assistance Series #6 California Register and National Register: A Comparison (for purposes of determining eligibility for the California Register).



- **Design** is the combination of elements that create the form, plans, space, structure, and style of the property.
- **Setting** addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building(s).
- **Materials** refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.
- **Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history.
- **Feeling** is the property's expression of the aesthetic or historic sense of a particular period of time.
- **Association** is the direct link between an important historical event or person and a historic property.

The following section examines the eligibility of the Property containing the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape.

CRHR EVALUATION

1. **(Event): Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.**

The Property containing the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape was developed within a planned subdivision in a prosperous time in Los Altos; however, the development of the Property is not associated with any housing boom or any event that made a significant contribution to the broad patterns of California's history or cultural heritage. As such, the Property containing the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape does not appear eligible for listing on the CRHR.

Therefore, the Property does not appear individually eligible for listing in the CRHR under Criterion 1.

2. **(Person): Is associated with the lives of persons important in our past.**

A thorough literature search and review of the Property owners and occupants was completed; however, the research did not reveal any person associated with the Property that is important to our past.

Therefore, the Property does not appear individually eligible for listing in the CRHR under Criterion 2.

3. **(Construction/Architecture): Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.**

Builder: The 1926 house was designed and constructed by Purl Nathaniel (P.N.) Doyle, who was a builder in the Los Altos area; however, Doyle is not an architect, is not considered a master builder, and does not have a known design style or vernacular that is associated with his work. Therefore, the 1926 house is not eligible for listing on the CRHR in association with P.N. Doyle.



Architecture: The 1926 house is associated with the Tudor Revival architecture style, popular throughout the U.S. from 1890 to 1940. The 1926 house demonstrates the essential elements of the Tudor Revival style with many character-defining features associated with the style, including the steeply pitched and sloping multi-gable roofs, the exposed half-timber elements, the two “three-centered” arches along the front porch, the in-kind replacement picture windows with a central square, fixed single-light windows between three-over-one with mullions, original double-hung wood windows within lugs, stucco walls, and the asymmetrical floorplan. The 1926 house is a good example of Tudor Revival architecture from 1926. As such, the 1926 house appears eligible for listing on the CRHR under Criterion 3.

The ca. 1950 garage and ca. 1980 shed and associated landscape are not associated with any known architectural style or form, landscape architectural style, or landscape planning design.

Therefore, the 1926 house within the Property appears individually eligible for listing in the CRHR under Criterion 3 for its association with Tudor Revival architecture.

4. (Information potential): Has yielded, or may be likely to yield, information important in prehistory or history.

Criterion 4 most commonly applies to resources that contain or are likely to contain information bearing on an important archaeological research question. While most often applied to archaeological sites, Criterion 4 can also apply to built environment resources that contain important information. For a building to be eligible under Criterion 4, it must be a principal source of important information, such as exhibiting a local variation on a standard design or construction technique can be eligible if a study can yield important information, such as how local availability of materials or construction expertise affected the evolution of local building development.

The 1926 house does not appear to be able to convey important information about Tudor Revival architecture. As such, none of the built environment resources within the Property are eligible for listing in the CRHR under Criterion 4.

INTEGRITY

A Property must possess significance under one or more of the above-listed criteria and have historic integrity to qualify for listing in the CRHR. There are seven variables, or aspects, used to judge historic integrity, including location, design, setting, materials, workmanship, feeling, and association.⁶² A resource must possess the aspects of integrity that relate to the historical theme(s) and period of significance identified for the built-environment resources. National Register Bulletin 15 explains, “only after significance is fully established can you proceed to the issue of integrity.”

The 1926 house within the Property was found to be eligible for listing on the CRHR under Criterion 3 for its association with Tudor Revival architecture; as such, an integrity analysis was completed.

⁶² National Park Service, *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Washington, D.C.: United States Department of the Interior, 1997).



- **Location.** The 1926 house remains at its original location where it was constructed.

Therefore, the 1926 house retains integrity of location.

- **Design.** The Tudor Revival design elements of the house, for the most part, remain the same as 1926 design, including the asymmetrical form, the steeply pitched and sloping multi-gable roofs, the stucco cladding and timber material, and the original wood windows with lugs and surrounds. Although there are changes to the north gable that extends from the side gable is an addition that changes the footprint of the house, these changes to the 1926 house are not visible from the public right-of-way and do not detract from the original design, allowing the house to retain its integrity of design from 1926. Overall, the 1926 house retains its Tudor Revival design, particularly from the front-facing gables along Hawthorne Avenue. In addition, the original half-timber elements are visible along each elevation.

Therefore, the 1926 house retains integrity of design from 1926.

- **Setting.** The area surrounding the 1926 house has changed since its initial construction, including the Property itself, which was subdivided in the late 1940s/early 1950s, when the Property was surrounded by trees and the houses nearby were few. Initially, the house was situated within an 0.7-acre parcel, eventually becoming a 0.344-acre parcel. However, the neighborhood was intended for residential development and though development was slow, the area still retains a neighborhood setting with large lots and unique houses built during different decades as the lots were developed.

Therefore, the 1926 house retains integrity of setting.

- **Materials.** The 1926 house retains integrity of materials from its original date of construction. The 1926 house materials include original double-hung wood windows with lugs, exposed half-timbering and stucco, and stucco chimney. Although the house had an extensive rear addition in 1976, the addition is not visible from the public right-of-way and incorporates the use of historical and like materials in its construction.

Therefore, the 1926 house retains integrity of materials.

- **Workmanship.** Workmanship is evidenced by skill or craft from a particular period or region. The 1926 house retains workmanship regarding the knowledge and application of materials associated with woodworking.

Therefore, the 1926 house retains integrity of workmanship.

- **Feeling.** Integrity of feeling is the quality that a property has in evoking the aesthetic or historical sense of a past period. The 1926 house evokes the feeling of the Tudor Revival architecture, including the steeply pitched and sloping multi-gable roofs, wood windows with lugs, half-timbering, and stucco walls.

Therefore, the 1926 house retains integrity of feeling.

- **Association.** The 1926 house retains association with Tudor Revival architecture from its date of construction and as a residential house within an older neighborhood.



Therefore, the 1926 house retains integrity of association.

An assessment of integrity found that the 1926 house retains all seven aspects of integrity.

STANDARDS REVIEW

Based on the current Project, a Standards review was conducted to ensure compliance with CEQA and the City of Los Altos historic preservation ordinances, addressing the current preliminary Project's potential impacts on the 1926 house, which was determined to be eligible for listing on the CRHR. The Standards review utilized preliminary details provided by the owner regarding the restoration of the 1926 house, including the restoration of the original front door opening, the addition of solar panels, and a new ADU within the Property that should be used as general guidance and not Project specific (required by CEQA) to meet the Standards. On October 24, 2023, *Roof and Realm Manufacturing* provided EDS with architectural drawings (Appendix B) for the construction of the new detached garage, allowing EDS to update the Standards review, which is reflected in the section below (primarily within Standard 10).

Secretary of Interior Standards for Rehabilitation Review

The following section addresses the current "preliminary" Project within the context of the Secretary of the Interior's Standards for Rehabilitation. **Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.** When repair and replacement of deteriorated features are necessary, when alterations or additions to the property are planned for a new or continued use, and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment.

According to the Standards, "some exterior and interior alterations to a historic building are generally needed as part of a Rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include changes to the site or setting, such as the selective removal of buildings or other features of the building site or setting that are intrusive, not character-defining or outside the building's period of significance."

The Standards and EDS' analysis of the current preliminary Project as it relates to the Standards is presented below. The Project was reviewed using the Project description provided by the architect, which was applied to each of the Standards. The results of the Standards analysis are presented below with an "EDS Response" and an "EDS Analysis" that identifies if the Project conforms with Standards. "EDS Recommendations" are also provided, if warranted.

The following Standards review assesses potential impacts on the CRHR-eligible 1926 house and provides guidance to the city in compliance with the owner's Mills Act application.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

The 1926 house will continue to be for residential use.

EDS Analysis: The current preliminary Project complies with Standard 1.



2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The current Project will retain and preserve the building's original historic character associated with the Tudor Revival design, including the steeply pitched and sloping multi-gable roofs, the exposed half-timber, the original double-hung wood with lugs and divided light upper window sashes, and the asymmetrical design.

Door Location Restoration: The current preliminary Project consists of restoring the location of the front door to its original centered location – along the primary façade – facing Hawthorne Avenue, based on photographic and physical evidence. This will restore the original front door opening facing south towards Hawthorne Avenue, which was where the door was located when it was constructed in 1926.

Solar Panels: The addition of solar panels along the east, west, or south-facing slopes of the side gable form of the 1926 house will not alter the historic character of the house. In addition, the installation will not call for the removal of any historic materials or alteration of features and spaces that characterize the 1926 house. The panels could also be placed on the roof of the new detached garage or ADU.

Rehabilitation: Potential Stucco Removal and Replacement with Appropriate Material

Currently, the 1926 house retains the original exterior stucco; however, if during the rehabilitation, exploratory, or construction work, the stucco is determined to be beyond repair, based on photographic evidence and reviewed by a qualified individual, the following section provides an acceptable alternative to the stucco, meeting the Standards for Rehabilitation.

The 1926 house is clad in stucco applied in a pebble-dash finish, used on Tudor Revival houses in the 1920s. During this time, other exterior finishes applied to Tudor Revival design included plaster, brick, river rock, and stone, as well as decorative half-timbering with stucco or plaster infill, which is present within the roof eaves of the 1926 house. If the stucco is determined to be beyond repair, an appropriate replacement material meeting the Standards for Rehabilitation would be stucco, plaster, brick, river rock, or stone.

EDS Analysis: The current preliminary Project restores and retains the original form and design elements that characterize the 1926 house; therefore, the current preliminary Project complies with Standard 2. However, if the exterior stucco is removed, the replacement material must be either stucco, plaster, brick, river rock or stone to meet the Standards.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

There are no proposed changes to the 1926 house that would create a false sense of history.



EDS Analysis: The current preliminary Project complies with Standard 3.

- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

There are no proposed changes to the 1926 house that have become “significant in their own right.”

EDS Analysis: The current preliminary Project complies with Standard 4.

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**

The current preliminary Project proposes to preserve the original 1926 Tudor Revival features and finishes that are examples of craftsmanship that characterize the house, including steeply pitched and sloping multi-gable roofs, the exposed half-timber, the two “three-centered” arches along the front porch, the original double-hung wood windows with lugs and divided light upper sashes.

EDS Analysis: The current preliminary Project complies with Standard 5.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

There are no proposed changes to deteriorated features.

EDS Analysis: As such, Standard 6 does not appear to apply.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

EDS Analysis: Not applicable to the Project.

- 8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

EDS Analysis: Not applicable to the HRE, as a professional archaeologist would need to make this determination.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

New Exterior Alternations

The new exterior of the 1926 house includes the addition of solar panels and the potential change to exterior siding.

Solar Panels



The installation and placement of the solar panels on the 1926 house considers the overall goal to preserve the character-defining features and historic fabric of the building, while also accommodating the need for solar. To conform with the Standards, the solar panels should be low-profile panels and installed flat. The panels should also be easily removable and should not destroy any original roof trussing or timber framing. The panels could also be placed on the new detached garage or ADU.

Exterior Cladding

If it is determined that the existing stucco needs to be replaced (addressed in Standards 2), EDS recommends the replacement material meeting the Standards for Rehabilitation would be stucco, plaster, brick, river rock or stone. In this case, the stucco material is a character-defining feature and must be replaced with an appropriate material found in Tudor Revival architecture.

EDS Analysis: The current preliminary Project to add solar panels to the 1926 house complies with Standard 9 if the panels are placed on the side gable form, are low-profile, and installed flat. In addition, if the exterior stucco is replaced, to meet Standard 9, the new material must be either stucco, plaster, brick, river rock, or stone.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Project proposes two new ancillary buildings, including a new detached garage - detailed below, and a new ADU, still in the design phase but a general description is included in the section below.

New Detached Garage

The following review is based on the drawings for constructing the new detached garage provided to EDS by *Roof and Realm Manufacturing* (dated 10/24/2023). The new detached garage (two options, front-facing gable [A3.5; Option 1] or side-facing gable [A.3.6; Option 2]). Each of these plans, show the new garage located along the current driveway and within a portion of the current lawn. The building will be situated on a concrete slab foundation.

Option 1: For the **front-facing gable** [A3.5] plan the west elevation of the garage will be approximately 8 feet east of the east elevation of the 1926 house and set back about 10.09+ feet north of the front elevation of the house (Figure 44). The new two-car garage is a single-story front-facing gable form constructed of steel framing and clad in three-coat stucco. The stucco will match the material and texture (aka style) of the stucco cladding on the 1926 house. The roof of the new garage will be clad in a composite shingle. The building will have an automatic roll-up garage door along the front façade (south elevation) and will consist of a simple design so as not to detract visually from the character of the 1926 house (Figure 45). The roll-up garage door is constructed of metal and has a row of fixed-light narrow windows along the top section of the door. It consists of decorative metal details that conform with the design of the 1926 house.

Option 2: For the **side-facing gable** [A3.6] plan the west elevation of the garage will be approximately 8 feet east of the east elevation of the 1926 house and set back about 10.09+ feet north of the front



elevation of the house (Figure 46). The new two-car garage is a single-story side-facing gable form constructed of steel framing and clad in three-coat stucco. The stucco will match the material and texture (aka style) of the stucco cladding on the 1926 house. The roof of the new garage will be clad in a composite shingle. The building will have an automatic roll-up garage door along the front façade (east elevation) and will consist of a simple design so as not to detract visually from the character of the 1926 house (Figure 47). The roll-up garage door is constructed of metal and has a row of fixed-light narrow windows along the top section of the door; however, it will not be visible from the street. It consists of decorative metal details that conform with the design of the 1926 house.



Figure 44. Option 1 - front-facing gable plan by Roof and Realm, dated 10/24/2023.

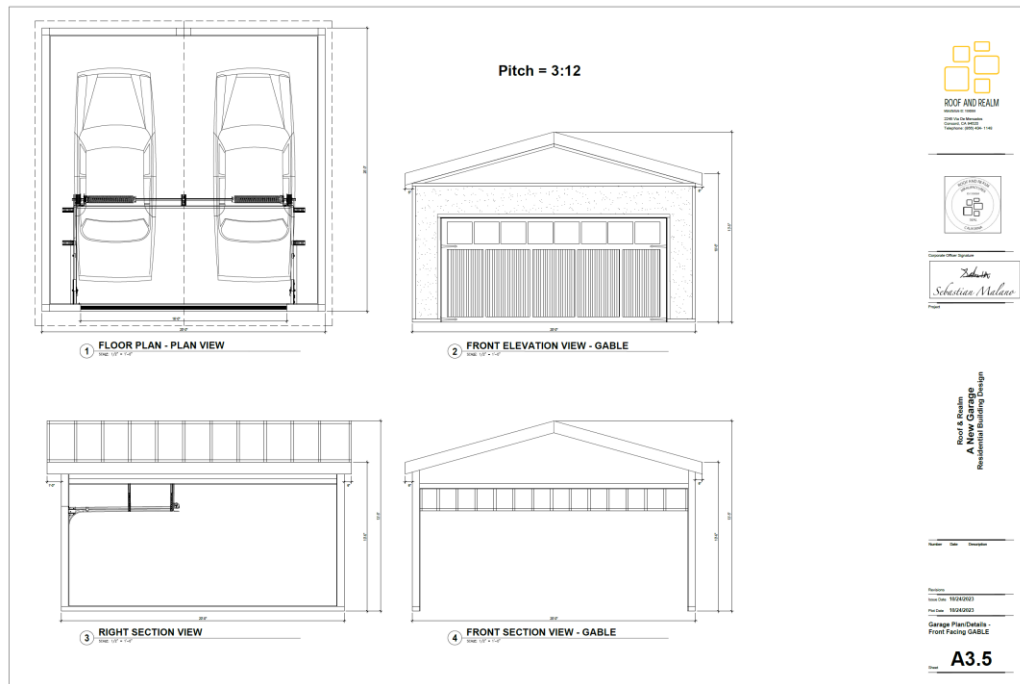


Figure 45. Option 1 – front-facing gable plan by Roof and Realm, dated 10/24/2023.



Figure 46. Option 2 – side-facing gable plan by Roof and Realm, dated 10/24/2023.

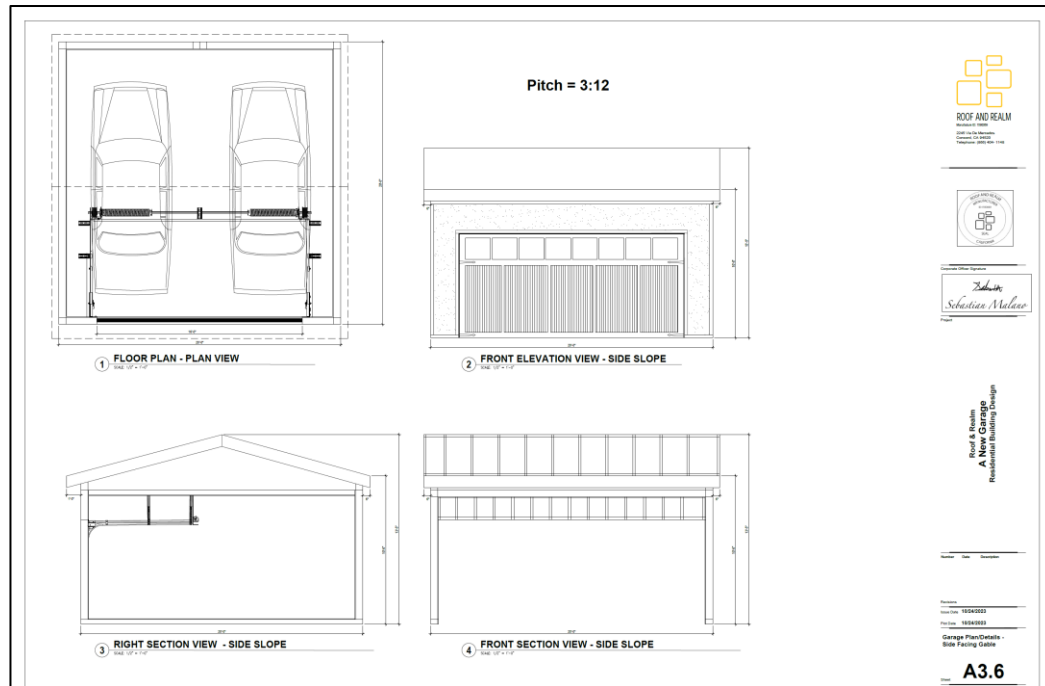


Figure 47. Option 2 – side-facing gable plan by Roof and Realm, dated 10/24/2023.

EDS Analysis: The following analysis applies to options 1 and 2. The new detached garage does not create a false sense of history. In addition, if the detached garage is removed in the future, it will not adversely affect the integrity of the 1926 house. As such, the new detached garage complies with Standard 10.

New ADU

The new ADU has not yet been designed; however, the following information is provided as guidance to meet the Standards.

The new ADU should be a simple single-story design, and the massing, including the size, scale, and form, and the roof height should be set below and subordinated to the 1926 house. The exterior cladding for the ADU can be wood or wood-like material, stucco, plaster, brick, river rock, or stone. The wood cladding is appropriate for this building as it will not be visible from Hawthorne Avenue. In addition, the location of the ADU is important, EDS recommends the new building is situated at the rear of the Property, and if possible not visible from the public right-of-way.

EDS Recommendations: After the ADU is designed, it is recommended that this Standards review is updated to ensure compliance with the Standards, as well as ensuring the new building meets the local requirements of the City of Los Altos as part of the Mills Act agreement.

CONCLUSION

In accordance with CEQA regulations and guidelines, EDS completed an HRE for the Property at 41 Hawthorne Avenue, Los Altos, Santa Clara County, California, within the 0.344-acre (APN 170-41-036) that includes a 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape to determine if the



Property or any of the built environment resources within the Property are eligible for listing on the CRHR. The methods used to complete the HRE included extensive research and an intensive level historic architectural survey conducted by EDS Principal Architectural Historian Stacey De Shazo, M.A., who exceeds the Secretary of the Interior's qualification standards in Architectural History and History. The HRE was completed following CEQA regulations (PRC § 21000) and the Guidelines for Implementing CEQA (14 CCR § 15000 et seq.).

The 1926 house is listed on the OHP's BERD (P-43-002069) and within the City of Los Altos Historic Inventory (2013); therefore, the 1926 house is considered a Historical Resource as defined in CCR Section 15064.5. Furthermore, the HRE determined that the 1926 house appears individually eligible for listing on the CRHR under Criterion 3 for its association with Tudor Revival architecture with a period of significance of 1926 and retains all seven aspects of integrity. Therefore, due to potential impacts to the historical resource, a Standards review was completed to determine if the current preliminary Project would impact the integrity of the 1926 house.

Based on the current drawings completed by Roof and Realm (dated 10/24/2023) for the new detached garage (options 1 or 2), and detailed within the Standards review section of this report, EDS has determined that the new garage will not impact the integrity of the 1926 house. As such, the Project will not impact the integrity of the 1926 house within the Property, and the house will remain eligible for listing on the CRHR and for the Mills Act tax program.



BIBLIOGRAPHY

American Architects Directory, Published by R.R. Bowker for the American Institute of Architects, 1956, 1962, 1970.

Ancestry.com

U.S., World War II Draft Registration Cards, 1942

1950 United States Federal Census.

U.S., City Directories, 1822-1995.

California, U.S., Death Index, 1940-1997.

California, U.S., Marriage Index, 1949-1959.

California, U.S., Federal Naturalization Records, 1843-1999.

U.S., City Directories, 1822-1995.

U.S., City Directories, 1822-1995.

U.S., City Directories, 1822-1995.

U.S., Social Security Death Index, 1935-2014.

Bancroft, Hubert Howe. *History of California: 1801 – 1924*. A.L. Bancroft, 1885.

CIRCA Preservation Consulting, "City of Los Altos Historic Resources Inventory," Prepared for the City of Los Altos, 2012.

Clay, Karen, *Property Rights and Institutions: Congress and the California Land Act 1851*, The Journal of Economic History, Cambridge University Press, 59(01):122-142, March 1999.

Kenneth T. Jackson, *Crabgrass Frontier: The Suburbanization of the United States*, Oxford University Press, 1985.

Los Altos Hills, "Lost Altos Hills History Anthology (1956-2016)", 2016.

McAlester, Virginia, and Lee McAlester, *A Field Guild to American Houses*. New York, Alfred A. Knopf. Munro-Fraser, J.P. 2018.

National Park Service, *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*. Washington, D.C.: United States Department of the Interior. 1990, revised 1997.

Newspapers.com

"Beautiful Los Altos Homes Built by P.N. Doyle," The Daily Palo Alto Times, December 2, 1927

"Midpeninsula Death", The Peninsula Times Tribune, June 12, 1970.

"Midpeninsula Death", The Peninsula Times Tribune, June 12, 1970.

Holland S. Payson is Claimed by Death", The Peninsula Times Tribune, December 26, 1942.

"Midpeninsula Death", The Peninsula Times Tribune, June 12, 1970.

"Noted Engineer and Family Moving Into Los Altos Home," The Peninsula Times and Tribune, May 14, 1946.



- Katherine E. "Betty" Doolittle", The Bangor Daily News, September 17, 2000.
- "Marriage Licenses", The Peninsula Times Tribune, December 17, 1941.
- "Miss Cora Hart Becomes Bride of G. Otta at Arroyo Grande," The Tribune, July 22, 1955.
- "Cora Ann Otto", The Tribune, October 07, 1999.
- "Real Estate Investment Trust Form", The Peninsula Times Tribune, July 08, 1970.
- "Wayne Henry Miller", Ventura County Star, July 10, 2002.
- "San Jose men charge in confidence swindle," Peninsula Times Tribune, March 21, 1984.
- "Wisconsin Home for Couple Married at Sunday Service," The Vancouver Sun, June 28, 1955.
- Olmsted, Nancy, *Vanished Waters: A History of San Francisco's Mission Bay*, Mission Creek Conservancy, San Francisco, 1986.
- Pennsylvania Architectural Field Guide,
<http://www.phmc.state.pa.us/portal/communities/architecture/styles/tudor-revival.html>, (accessed 5/16/2023).
- Richards Gordon, "Stephens-Townsend-Murphy Party," Truckee Donner Historical Society,
<https://www.truckeehistory.org/the-first-pioneer-wagons-crossed-the-sierra-over-160-years-ago.html>, (accessed 5/22/2023),.
- Sacramento State Office, "Report of the Surveyor-General of the State of California from August 1, 1898 – August 1, 1898." 1886.
- Salameda, Jose, *Memories of Los Altos*, publisher Joe Salameda (January 1, 1982).
- Tyler, Norman, Ted Ligibel, and Ilene R. Tyler, *Historic Preservation: An Introduction to Its History, Principles, and Practice*, New York: W.W. Norton & Co., 2009.
- Williams, James C, and Kent Seavey. "Gilroy Yamato Hot Springs National Register of Historic Places Nomination," (NR#95000996), Washington, DC: National Park Service, 1995.



Appendix A:

DPR Forms

State of California The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 43-002069
HRI #
Trinomial
NRHP Status Code

Other Listings: _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 15 *Resource Name or #: 41 Hawthorne Avenue

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County Santa Clara and

*b. USGS 7.5' Quad Mountain View Date 1991 T 6S ; R 2W ; of of Sec un ; MD B.M.

c. Address 41 Hawthorne Avenue City Los Altos Zip 94022

d. UTM: Zone 10, 578492 mE/ 4137275 mN

e. Other Locational Data: The resource is located within the 0.3-acre Accessor's Parcel Number (APN) 170-41-036 in the City of Los Altos. The Property is bounded by Hawthorne Avenue on the south, single-family houses on the east and west, and a commercial building on the north.

*P3a. Description: The resource includes a 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape. The 1926 house is associated with Tudor Revival Architecture. The ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape are not associated with any architectural style or planned architectural landscape. (Continued on Continuation Sheet, Page 2)

P5a. Photograph or Drawing



*P3b. Resource Attributes: HP2. Single family property (1926 house); HP4. Ancillary buildings (ca. 1950 detached garage, ca. 1980 storage shed).

*P4. Resources Present:
Building Structure Object Site
District Element of District Other (Isolates, etc.)

P5b. Description of Photo 1926 house,
facing north

*P6. Date Constructed/Age and Source:
 Historic Prehistoric Both 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape

*P7. Owner and Address:
Name withheld by Owner

*P8. Recorded by: Stacey De Shazo, M.A.; Evans & De Shazo, Inc., 1141 Gravenstein Highway S, Sebastopol, CA 95472

*P9. Date Recorded: 04/05/2023

*P10. Survey Type: Intensive

*P11. Report Citation: Stacey De Shazo, M.A., Nicolle LaRochelle, and M.S, Bee Thao, M.A. (2023): Historic Resource Evaluation and Secretary of Interior's Standards for the Treatment of Historic Properties Review of the Property at 41 Hawthorne Avenue, Los Altos, Santa Clara County, California

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 2 of 15

(Continue from Primary Record, Page 1)

Alterations to the 1926 house occurred in 1976, 1979, 1996, and 2002, detailed in this section and the "Previous Alterations" section below. The two-story house has a raised foundation with decorative cast-iron vents along the perimeter, with metal mesh vents along the foundation perimeter at the 1976 addition. The house has a side-facing gable form, with two cross-gables on the south elevation and a single, central cross-gable off the north elevation. The peaks of the roof gables at the south elevation are set below the ridge of the side gable, while the north elevation is above the ridgeline of the side gable. The roof is clad with composite shingles, while the house is finished with stucco and exposed half-timbering. At the roof's peak is a small, stucco-finished chimney. As the house is on a raised foundation, the north elevation has a raised deck connecting the original house eave to the 1976 gable addition.

South Elevation (Primary Facade)

The south elevation consists of two front-facing gables with steep multi-gable roofs (Figure 1). The western gable is flush with the eaves of the side roof gable, while the eastern gable projects forward from the eave, and the east roof curves down and across an open, central portico (Figure 2). The central porch has two three-centered arches, one to the south and one to the west. These arches are supported by a stucco column to the southwest and the house walls to the north and east. A single wood door is within the portico, on the west wall. There are two picture windows, consisting of a central, square, fixed single-light window in between two three-over-one, double-hung wood windows; between each of these three windows is a thick wood mullion (Figure 3). Although not original, these windows were replaced in-kind in material and style. Each window is located at the first-story level and centered below the roof gable. Within each gable, there is a three-over-one, double-hung wood window. At the south peak of the 1976 addition, there is a small, square

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 3 of 15

vent.



Figure 1. South elevation, facing north.



Figure 2. South elevation, facing northeast.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 4 of 15



Figure 3. Picture window on south elevation, facing north.

East Elevation

The east elevation consists of a double gable and eave section of the 1976 addition (Figure 4). The east elevation includes ten windows, of which four are new, and six are original. Three new windows appear to be in-kind replacements, and two are new to the elevation. The five windows on the first story of the eastern projecting gable consist of a pair of three-over-one, double-hung wood windows with a thick wood mullion, to the south of a three-over-one, double-hung wood window with horned stiles and a four-over-one, double hung wood window, with horned stiles (Figure 5). Below the peak and set between the exposed timber is a three-over-one, double-hung wood window. The gable between this projecting gable consists of a four-over-one, double-hung wood window at the southern section of the first story and a four-over-one, double-hung wood window with horn stiles at the north section. On the second story and off-center is a four-over-one, double-hung wood window. Directly below this peak, there is a small, square vent. The eave section of the 1976 addition has a sliding glass door at the first story and a pair of three-over-one, double-hung wood windows with a thick wood mullion between them (Figure 6).

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 5 of 15



Figure 4. East elevation, facing west.



Figure 5. Three-over-one windows with horned stiles (aka lugs) on the east elevation, facing west.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 6 of 15



Figure 6. East elevation, facing southwest.

North Elevation

The north elevation consists of three eave sections of the original 1926 house and the gable section of the 1976 addition (Figure 7). The north elevation includes six windows, of which two appear to be original to the house and were repurposed along this elevation. The easternmost eave consists of a three-over-one, double-hung wood window with horn stiles beside a wood door with six square slights along the top of the paneled door. Along the first story of the gabled section, there is a single wood panel door with six square lights along the top of the door beside a square, four-light-hinged window; these two are between two three-over-one, double-hung wood windows (Figure 8). There are two three-over-one, double-hung wood windows at the second-story level. A square, fixed four-light window below the peak is set between the exposed timbers. Two vents are built into the stucco on either side of the window. A contemporary deck is accessed via two brick steps. The deck wraps around from the east elevation north and extends past the rear entry door within the 1976 gable addition. The west eave section of the addition includes a single wood panel door with six square lights along the top, opening onto a paver stoop.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 7 of 15



Figure 7. North elevation, facing south.



Figure 8. North elevation, facing south.

West Elevation

The west elevation consists of the original side gable of the 1926 house and an eave end of the 1976 north-facing gable addition (Figure 9). The gable section includes exposed half-timber framing and stucco.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 8 of 15

Along the first story are two pairs of three-over-one, double-hung wood windows with thick wood mullions between them. The windows of the second story consist of two, three-over-three, double-hung wood windows set between the exposed timbers. Three vents are on either side of the windows and above, directly below the gable peak. An original cast-iron crawl-space vent is along the house foundation (Figure 10). The eave section of the 1976 addition consists of a four-over-one, double-hung wood window at the second-story level.



Figure 9. West elevation, facing southeast.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 9 of 15



Figure 10. A cast-iron vent cover, along the foundation wall.

ca. 1950 Detached Garage

The ca. 1950 detached garage is not associated with any architectural style or form. The one-story detached garage has a front-facing gable form and a concrete slab foundation (Figure 11). The walls are clad with clapboard siding, while the moderately pitched roof is clad with asphalt shingles. Surrounding the windows and doors and around the perimeter of the roof is a simple, thick trim. The south elevation is the primary façade and consists of an off-center, two-car aluminum garage door. The gable vent consists of vertical boards along the peak. The east elevation consists of the eave of the garage and has a centered, projecting metal and glass greenhouse window. The north elevation was not visible during the survey. The west elevation consists of a central, single metal door between a fixed, square window and a small vertical, rectangular window (Figure 12). This elevation opens to a walkway that is covered by a wood trellis.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 10 of 15



Figure 11. South elevation of detached garage, facing north.



Figure 12. West elevation and trellis-covered walkway, facing east.

ca. 1980 Storage Shed

The ca. 1980 storage shed is not associated with an architectural style or form. The one-story shed has no

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 11 of 15

foundation, as it was placed directly on the soil. The shed has a front-facing, gambrel roof form with half-timbered elements. The shed is constructed of vertical wood, which also operates as the exterior finish, and the roof is clad with composite shingles. The southwest elevation is the primary façade, consisting of double-entry wood doors (Figure 13). The remaining elevations do not have any fenestration.



Figure 13. Photograph showing the double-entry doors along the southwest elevation (primary façade) of the ca. 1980 storage shed, facing north.

Associated Landscape

The associated landscape includes paths for pedestrians and cars, a lawn, a covered trellis with wisteria, and a designed brick patio with flower boxes. The front yard, south of the house, consists of three paths from the street to and around the house. The fence along the front yard's perimeter consists of brick posts supporting two horizontal rails (Figure 14). Between the paths is a sundial built upon a brick pedestal surrounded by bushes and trees. Along the east perimeter of the property, there is a concrete driveway that extends westward toward the ca. 1950 garage. The wisteria-covered wood trellis runs from the garage to the deck north of the house (Figure 15). Between the house and the driveway is a patio with brick pavers in a design with concrete. Amongst the brick pavers, there are bushes and flowers. The northwest corner of the property consists of a lawn.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 12 of 15



Figure 14. Fence with brick posts and wood rails along southern perimeter of the property.



Figure 15. Wood trellis with wisteria, facing south.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 13 of 15

California Register of Historic Resources (CRHR) Evaluation

- 1. (Event): Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage.**

The property containing the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape was developed within a planned subdivision in a prosperous time in Los Altos; however, the development of the property is not associated with any housing boom or any event that made a significant contribution to the broad patterns of California’s history or cultural heritage. As such, the property containing the 1926 house, ca. 1950 detached garage, ca. 1980 storage shed, and associated landscape does not appear eligible for listing on the CRHR.

Therefore, the property does not appear individually eligible for listing in the CRHR under Criterion 1.

- 2. (Person): Is associated with the lives of persons important in our past.**

A thorough literature search and review of the property owners and occupants was completed; however, the research did not reveal any person associated with the property that is important to our past.

Therefore, the property does not appear individually eligible for listing in the CRHR under Criterion 2.

- 3. (Construction/Architecture): Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.**

Builder: The 1926 house was designed and constructed by Purl Nathaniel (P.N.) Doyle, who was a builder in the Los Altos area; however, Doyle is not an architect, is not considered a master builder, and does not have a known design style or vernacular that is associated with his work. Therefore, the 1926 house is not eligible for listing on the CRHR in association with Doyle.

Architecture: The 1926 house is associated with the Tudor Revival architecture style, popular throughout the U.S. from 1890 to 1940. The 1926 house demonstrates the essential elements of the Tudor Revival style with many character-defining features associated with the style, including the steeply pitched and sloping multi-gable roofs, the exposed half-timber elements, the two “three-centered” arches along the front porch, the picture windows with central square, fixed single-light windows between three-over-one with mullions, double-hung wood windows, stucco walls, and the asymmetrical floorplan. The 1926 house is a good example of Tudor Revival architecture from 1926. As such, the 1926 house appears eligible for listing on the CRHR, under Criterion 3.

CONTINUATION SHEET

Property Name: 41 Hawthorne Avenue

Page 14 of 15

The ca. 1950 garage and ca. 1980 shed and associated landscape are not associated with any known architectural style or form, landscape architectural style, or landscape planning design.

Therefore, the 1926 house within the property appears individually eligible for listing in the CRHR under Criterion 3 for its association with Tudor Revival architecture.

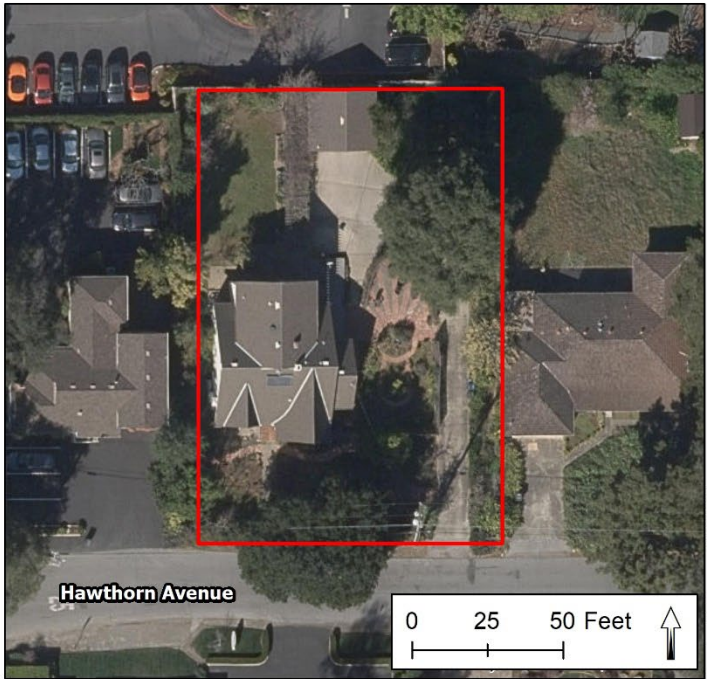
4. (Information potential): Has yielded, or may be likely to yield, information important in prehistory or history.

Criterion 4 most commonly applies to resources that contain or are likely to contain information bearing on an important archaeological research question. While most often applied to archaeological sites, Criterion 4 can also apply to built environment resources that contain important information. For a building to be eligible under Criterion 4, it must be a principal source of important information, such as exhibiting a local variation on a standard design or construction technique can be eligible if a study can yield important information, such as how local availability of materials or construction expertise affected the evolution of local building development.

The 1926 house does not appear to be able to convey important information about Tudor Revival architecture. As such, none of the built environment resources within the property are eligible for listing in the CRHR under Criterion 4.

Integrity

An assessment of integrity found that the 1926 house retains all seven aspects of integrity.




Map by S. Evans, 6/17/2023

Resource Location Map

1926 House, ca. 1950 Detached
Garage, ca. 1980 Storage Shed,
and Associated Landscape.

Legend

 Resource Area





Appendix B: Roof and Realm Drawings



CITY OF LOS ALTOS
GENERAL PLANNING APPLICATION

Type of Review Requested: *(Check all boxes that apply)*

<input checked="" type="checkbox"/>	Design Review - One-Story	<input type="checkbox"/>	Lot-Line Adjustment	<input type="checkbox"/>	Tentative Map/Division of Land
<input type="checkbox"/>	Design Review - Two-Story	<input type="checkbox"/>	Outdoor Display Permit	<input type="checkbox"/>	Tree Removal Permit
<input type="checkbox"/>	Design Review-Comm/Multi-Fam	<input type="checkbox"/>	PC Study Session	<input type="checkbox"/>	Use Permit
<input type="checkbox"/>	Accessory Dwelling Unit	<input type="checkbox"/>	Preliminary Project Review	<input type="checkbox"/>	Variance/Extension
<input type="checkbox"/>	General Plan/Code Amendment	<input type="checkbox"/>	SB9	<input type="checkbox"/>	Zoning Verification Letter
<input checked="" type="checkbox"/>	Historic Review	<input type="checkbox"/>	Sign Permit	<input type="checkbox"/>	Other:

Project Address/Location: 41 Hawthorne Ave. Los Altos, CA 94022

Assessor Parcel Number(s): 17041036 Zoning District(s): R1

Project Description: ADDING A 400 SQ FT GARAGE TO THE PROPERTY

Applicant's Name: HEATHER YOUNGQUIST

Telephone No.: 925-849-6390 Email Address: PERMITS@ROOFANDREALM.COM

Mailing Address: 2245 VIA DE MERCADOS

City/State/Zip Code: CONCORD CA 94520

Property Owner's Name: SREENIVAS TALLAM

Telephone No.: 408-930-2688 Email Address: sreen.tallam@gmail.com

Mailing Address: 41 Hawthorne Ave.

City/State/Zip Code: Los Altos, CA 94022

Architect/Designer's Name: RORE MANAGEMENT- SEBASTIAN MALANO

Telephone No.: 925-849-6390 Email Address: DESIGN@ROOFANDREALM.COM

Mailing Address: 2245 VIA DE MERCADOS

City/State/Zip Code: CONCORD CA 94520

HOLD HARMLESS AGREEMENT

For good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, applicant hereby expressly agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

REQUIRED SIGNATURES

I (we) declare, under penalty of perjury, that in securing this permit, I am (we are) the owner of this property(ies) and the information stated on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my (our) knowledge. It is my (our) responsibility to inform the City, through the assigned project planner, of any changes to information represented in these submittals.

If an authorized agent is signing on behalf of the property owner, written documentation evidencing authority to sign on behalf of the property owner must be provided with this form.

Sreenivas Tallam

Signature of Property Owner

10 / 20 / 2023

Date

Signature of Property Owner

Date

Hyl

Signature of Applicant (If different from the Property Owner)

10 / 20 / 2023

Date

Title	Y120 TALLAM- GENERAL Planning Application
File name	general_application.pdf
Document ID	0286ec1b337b581b57a7b1d2f986a26690522a35
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History



SENT

10 / 20 / 2023
21:16:11 UTC

Sent for signature to SREEN TALLAM (sreen.tallam@gmail.com) and Heather Youngquist (permits@roofandrealm.com) from sales@roofandrealm.com
IP: 73.231.121.104



VIEWED

10 / 20 / 2023
21:20:36 UTC

Viewed by SREEN TALLAM (sreen.tallam@gmail.com)
IP: 163.114.132.130



SIGNED

10 / 20 / 2023
21:21:42 UTC

Signed by SREEN TALLAM (sreen.tallam@gmail.com)
IP: 163.114.132.130



VIEWED

10 / 20 / 2023
21:23:12 UTC

Viewed by Heather Youngquist (permits@roofandrealm.com)
IP: 73.231.121.104



SIGNED

10 / 20 / 2023
21:23:24 UTC

Signed by Heather Youngquist (permits@roofandrealm.com)
IP: 73.231.121.104



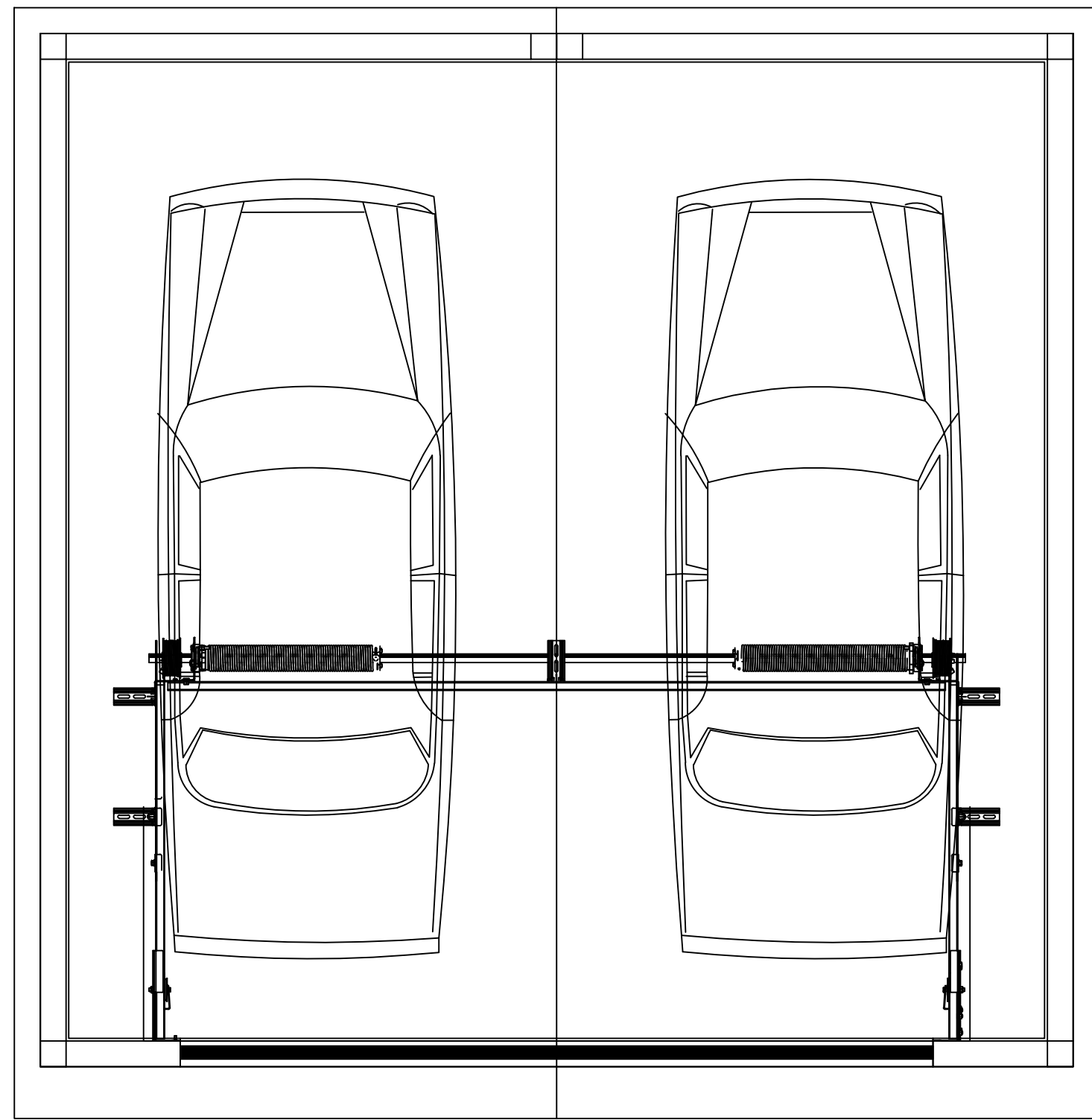
COMPLETED

10 / 20 / 2023
21:23:24 UTC

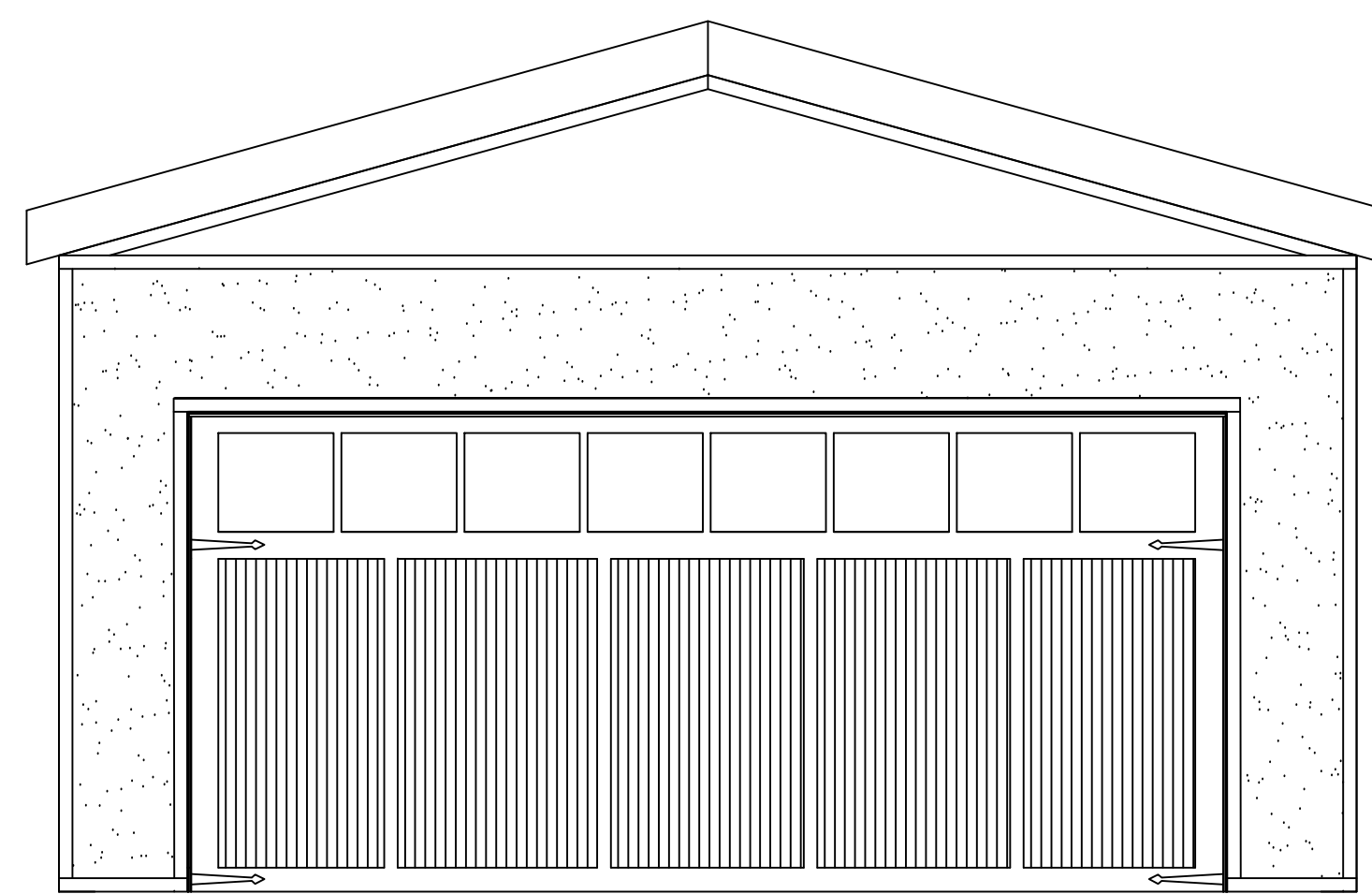
The document has been completed.

Attachment A Project Summary Table Template

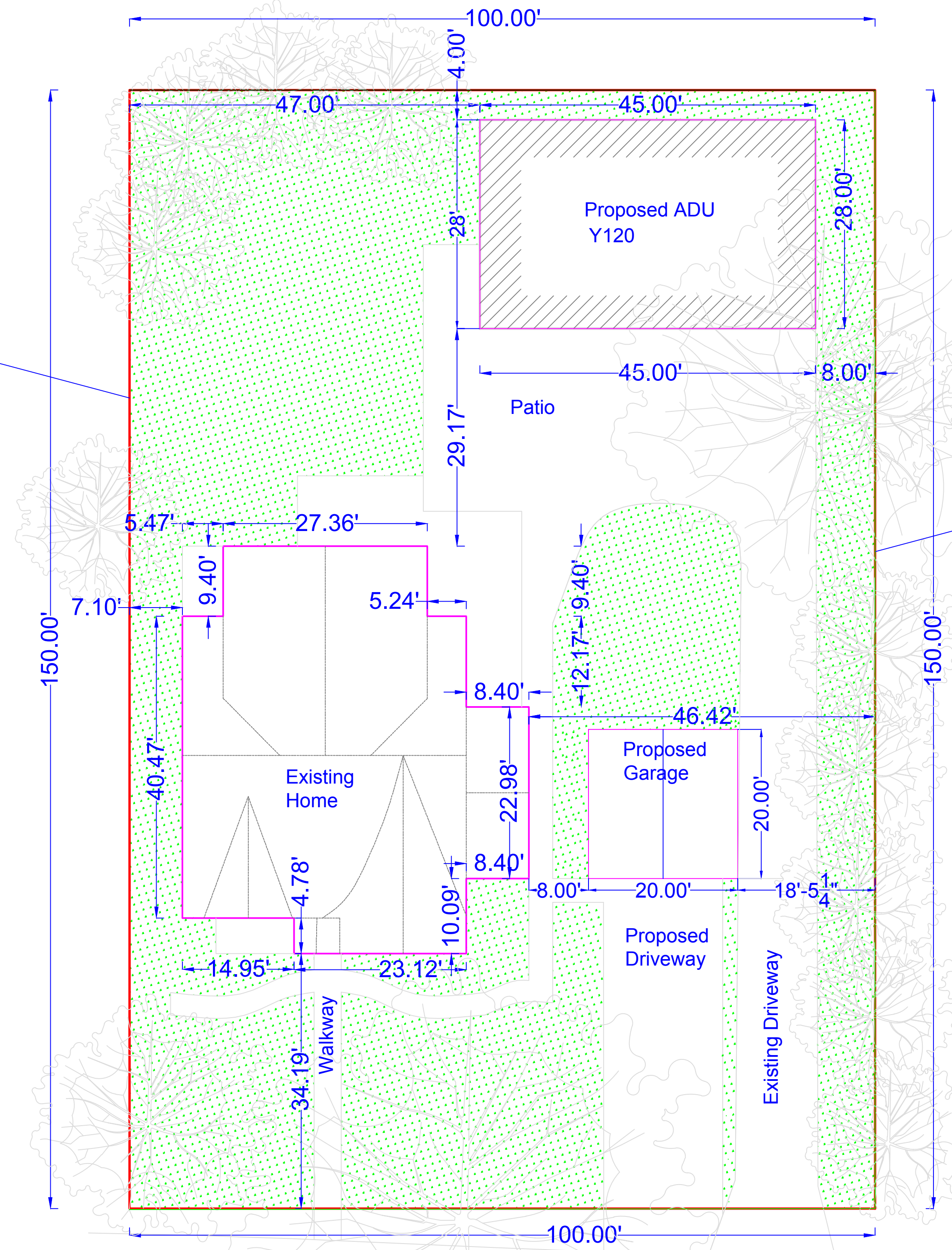
ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	<u>3174</u> square feet (___ %))	<u>400</u> square feet (___ %))	<u>3574</u> square feet (<u>24</u> %))
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: <u>3,174</u> sq ft 2nd Flr: _____ sq ft Total: _____ sq ft (___ %))	1st Flr: <u>400</u> sq ft 2nd Flr: _____ sq ft Total: _____ sq ft (___ %))	_____ square feet (___ %))
SETBACKS: Front Rear Right side (1 st /2 nd) Left side (1 st /2 nd)	<u>38.97</u> feet <u>61.17</u> feet <u>54.82</u> feet/___feet <u>7.10</u> feet/___feet	<u>39</u> feet <u>78.74</u> feet <u>26.42</u> feet/___feet <u>8.40</u> feet/___feet	_____feet _____feet _____feet/___feet _____feet/___feet
HEIGHT:	_____feet	_____feet	_____feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	<u>3174</u> square feet	_____square feet	_____square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	_____square feet	<u>400</u> square feet	_____square feet
LOT CALCULATIONS			
NET LOT AREA:		<u>14810.40</u> square feet	
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>		_____square feet (___%))	
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): <u>45</u> sq ft Existing softscape (undisturbed) area: <u>55</u> sq ft New softscape (new or replaced landscaping) area: <u>0</u> sq ft <i>Sum of all three should equal the site's net lot area</i>		



3 FLOOR PLAN - PLAN VIEW
SCALE: 3/8" = 1'-0"



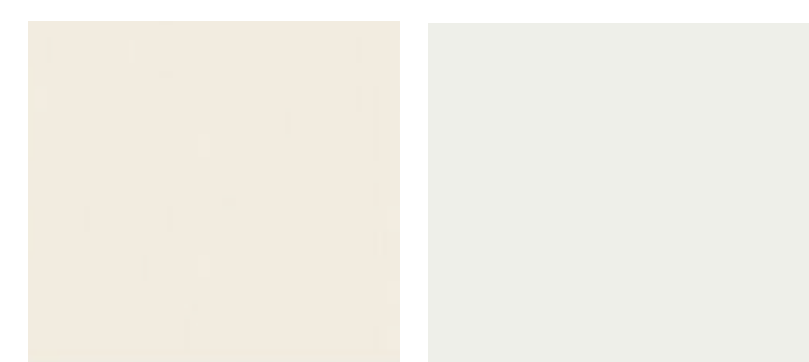
2 FRONT EXTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



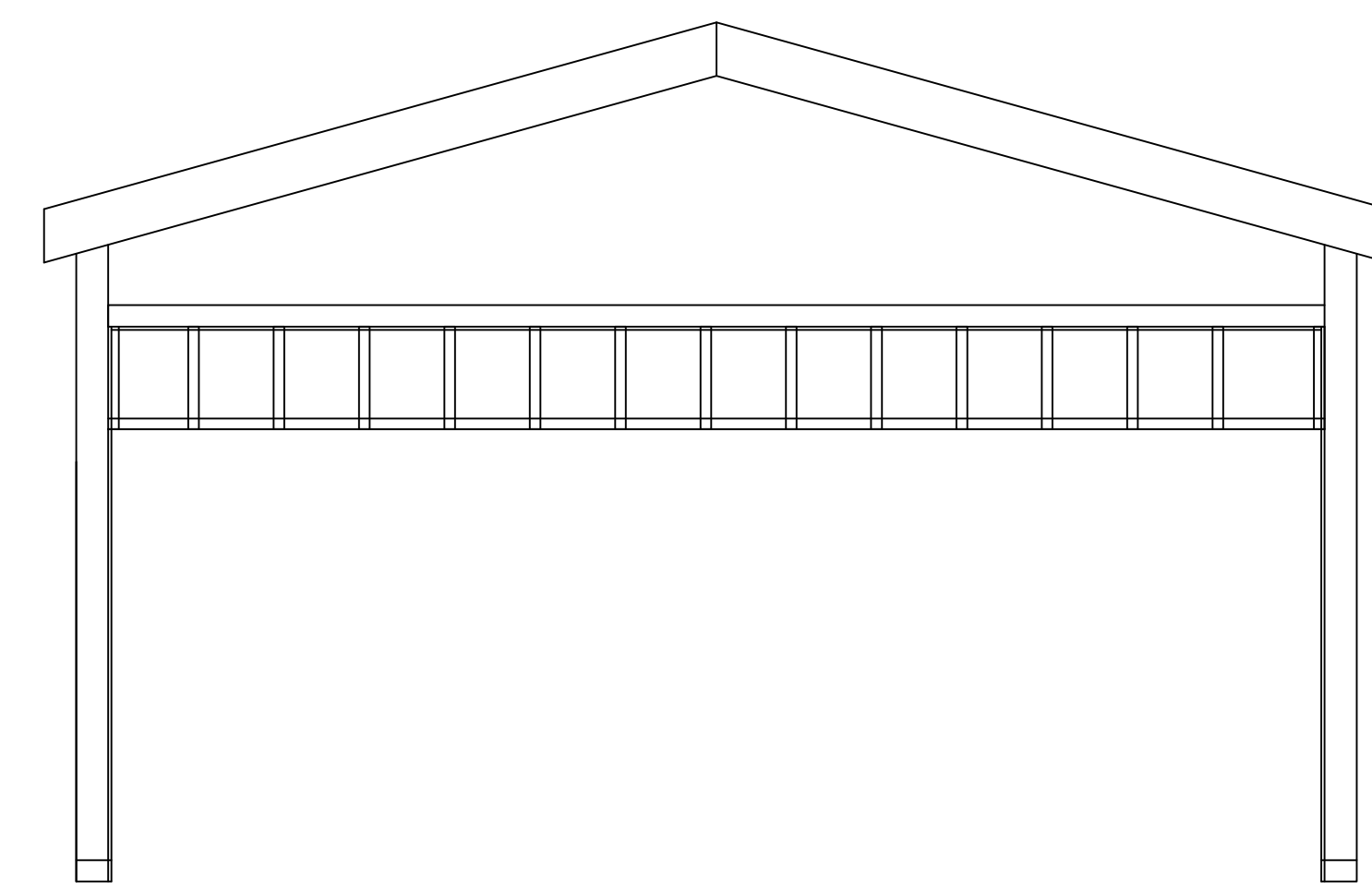
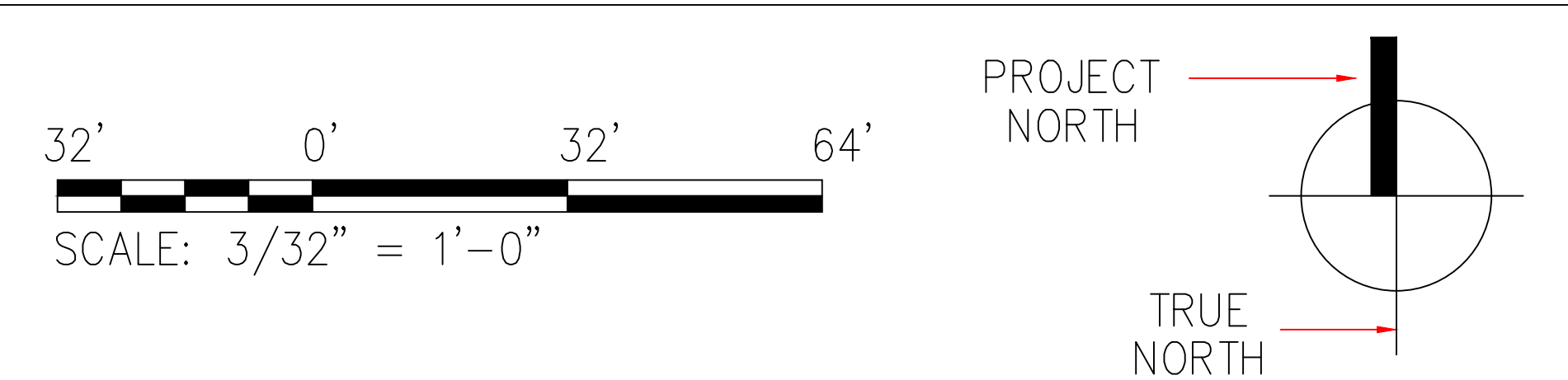
Hawthorne Ave

1 SITE PLAN
SCALE: 3/32" = 1'-0"

PAINT TO MATCH THE EXSITING HOUSE



ADDRESS:
41 Hawthorne Ave
Los Altos, Ca 94022



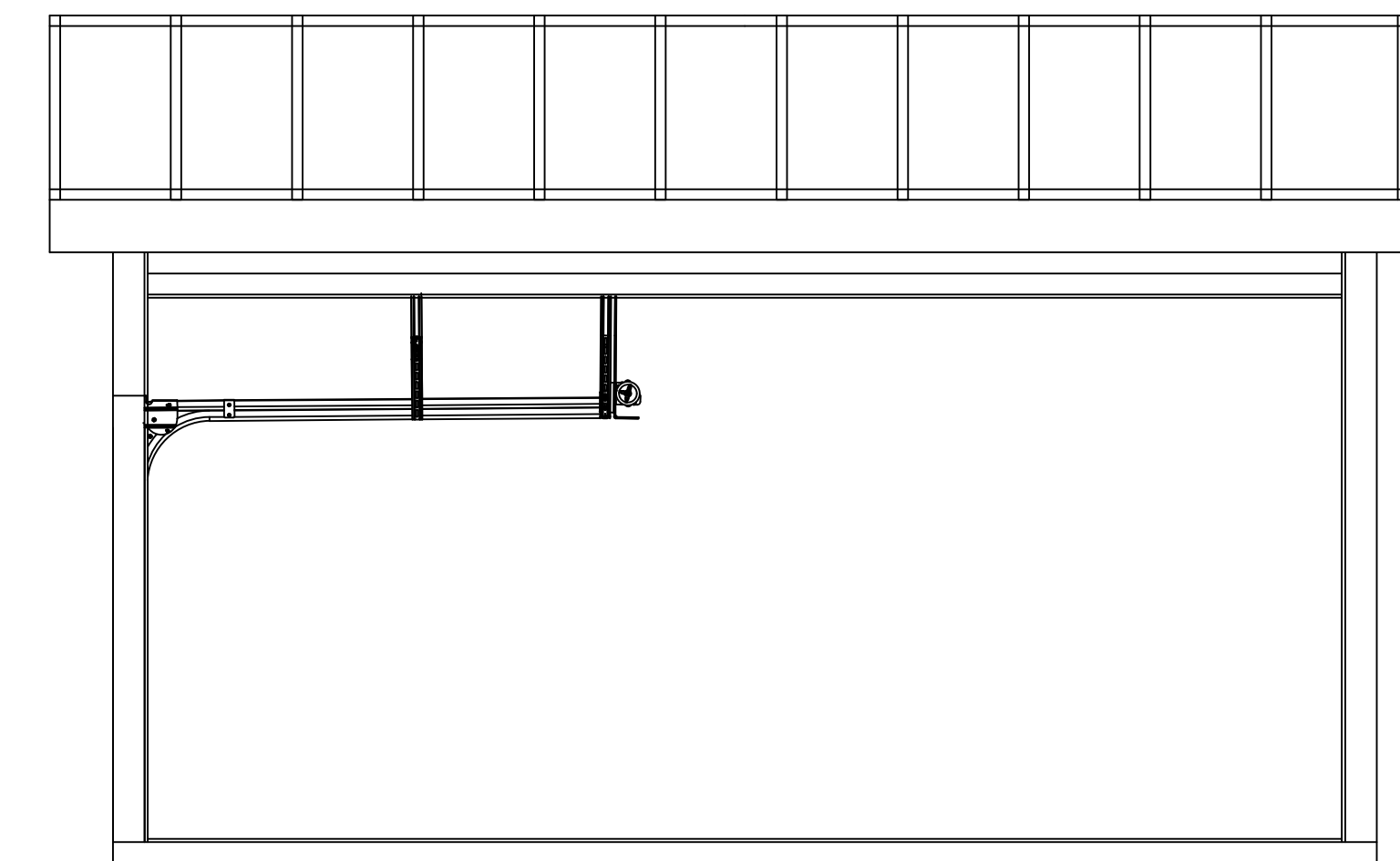
4 BUILDING SECTION - FRONT VIEW
SCALE: 3/8" = 1'-0"

Garage Materials:

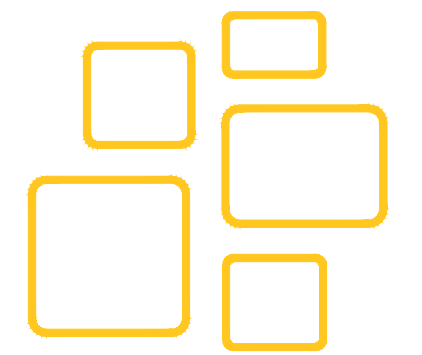
Siding- Client request 3 coat cement stucco

Roof- Composite Shingle

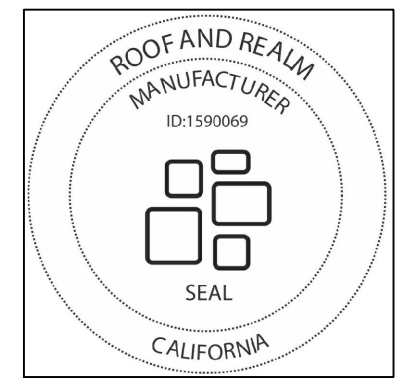
Paint Match to Trim designated by Owner | Builder



5 BUILDING SECTION - SIDE VIEW
SCALE: 3/8" = 1'-0"



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano

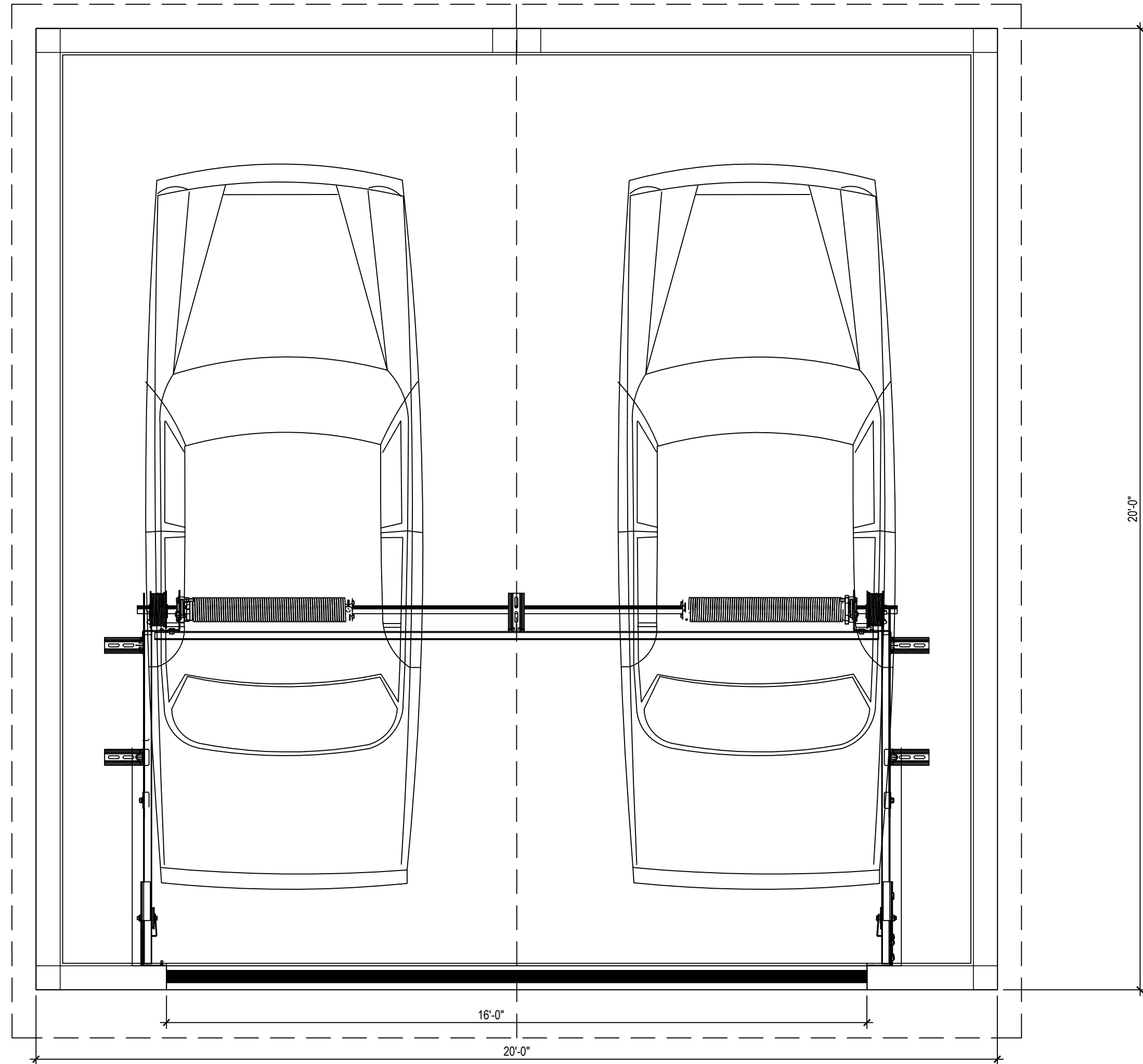
Project

Roof & Realm
A New Garage
Residential Building Design

Number	Date	Description
--------	------	-------------

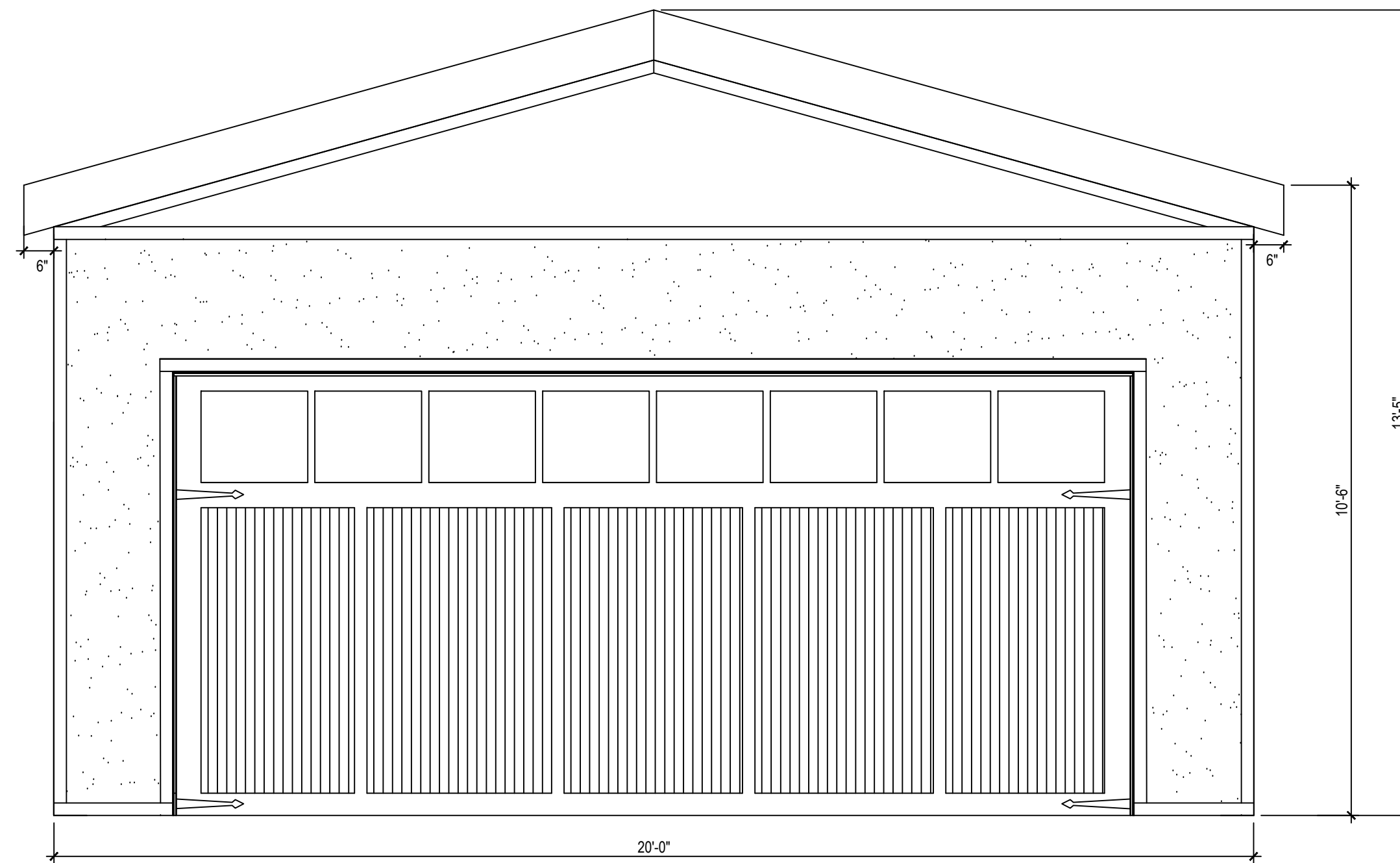
Revisions	
Issue Date	10/24/2023
Plot Date	10/24/2023

Sheet

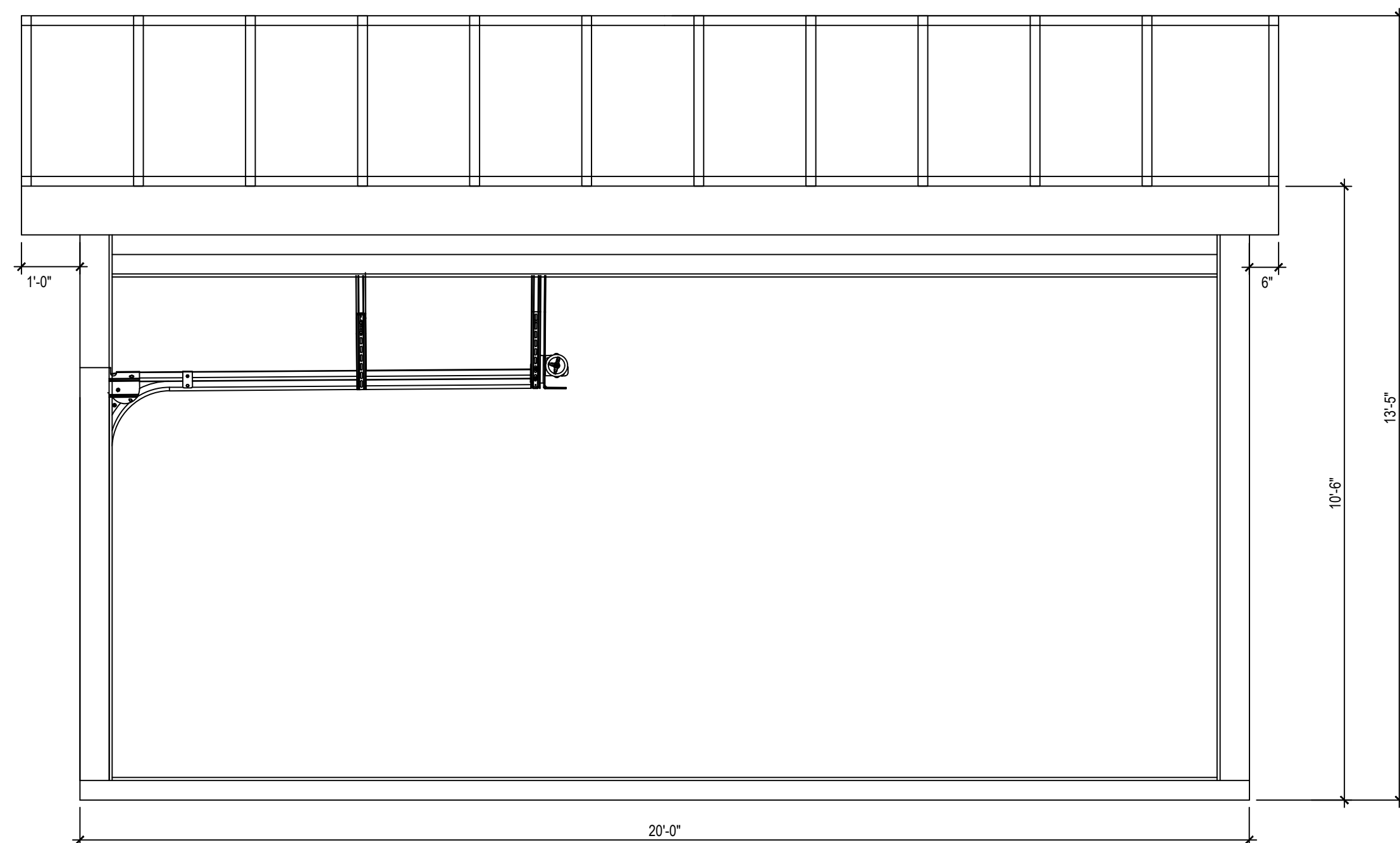


1 FLOOR PLAN - PLAN VIEW
SCALE: 1/2" = 1'-0"

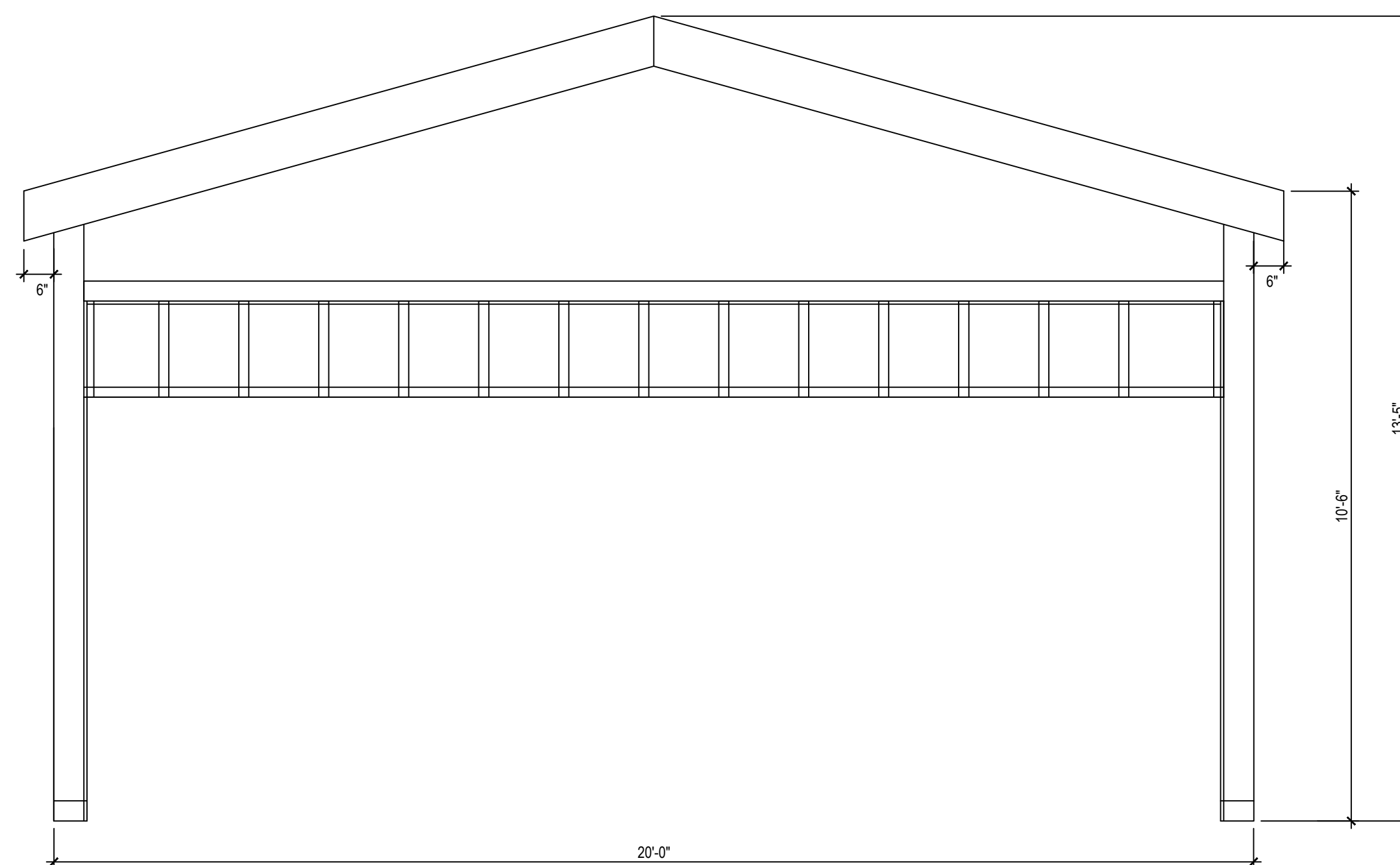
Pitch = 3:12



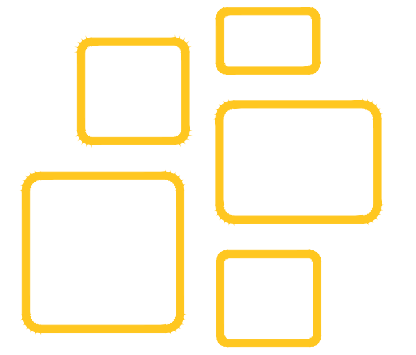
2 FRONT ELEVATION VIEW - GABLE
SCALE: 1/2" = 1'-0"



3 RIGHT SECTION VIEW
SCALE: 1/2" = 1'-0"

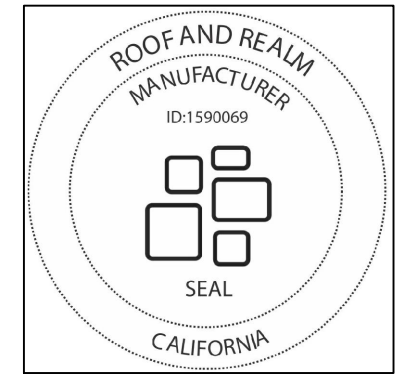


4 FRONT SECTION VIEW - GABLE
SCALE: 1/2" = 1'-0"



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
A New Garage
Residential Building Design

Number	Date	Description

Revisions

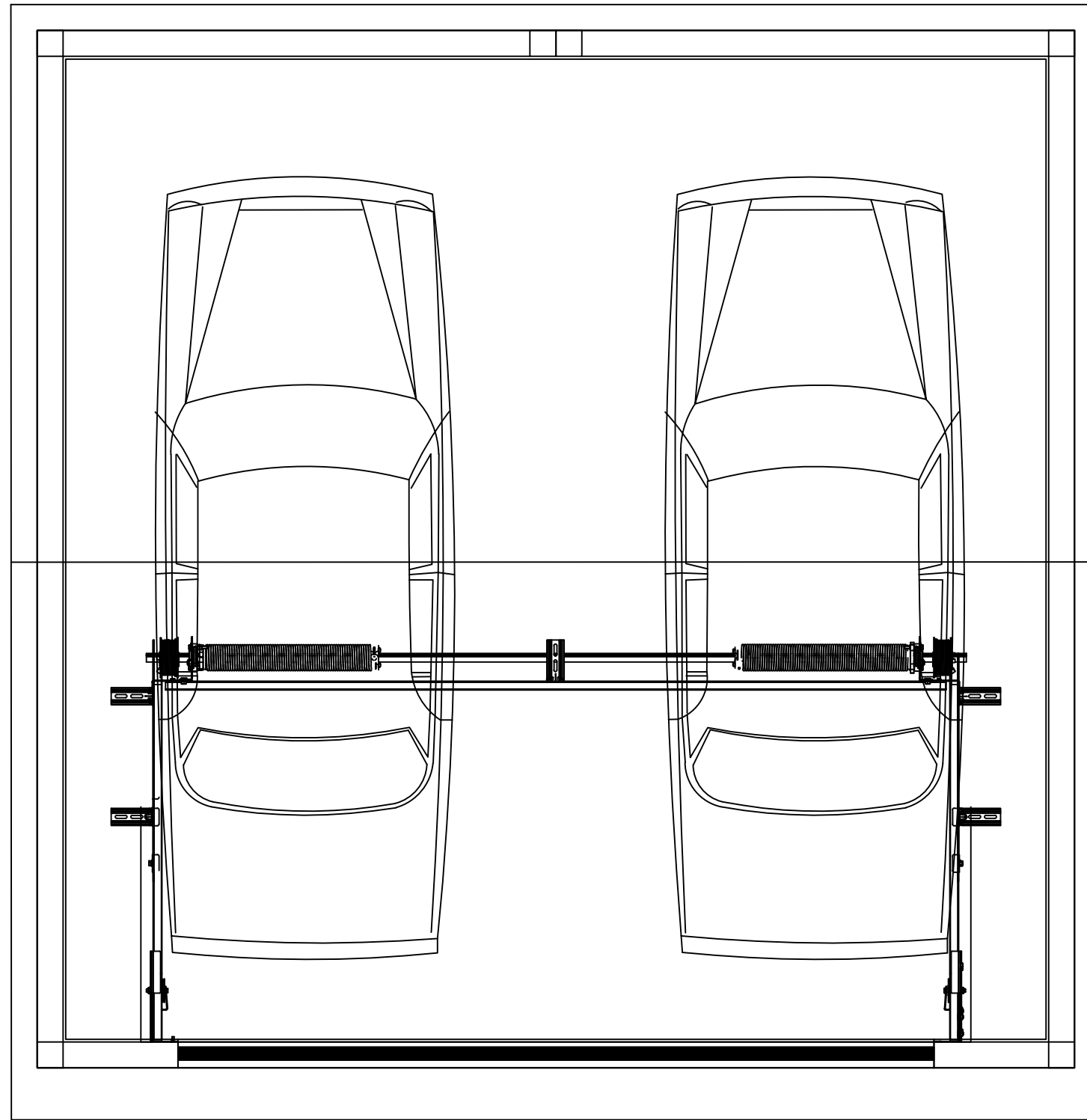
Issue Date **10/24/2023**

Plot Date **10/24/2023**

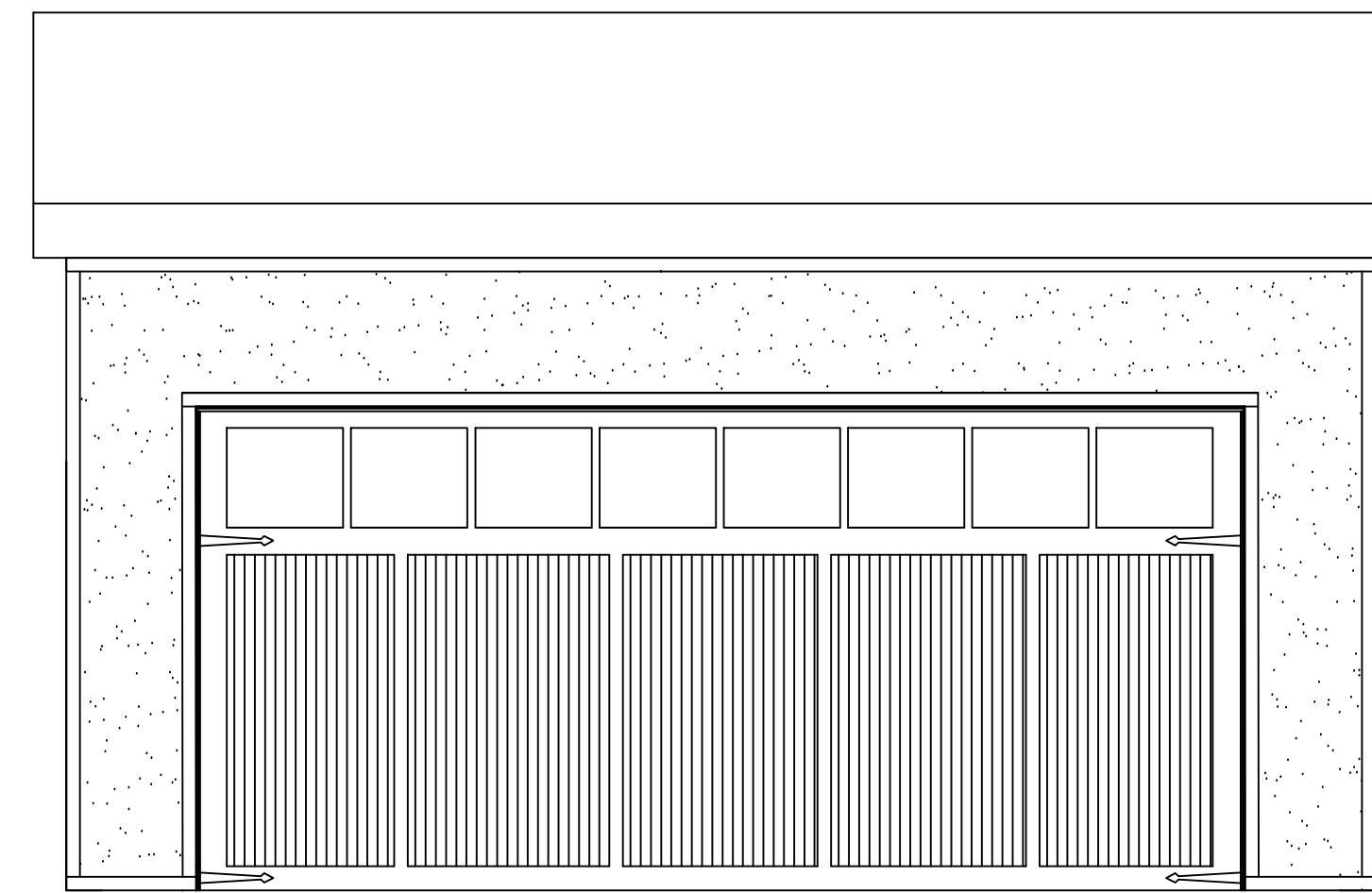
Garage Plan/Details -
Front Facing GABLE

A3.5

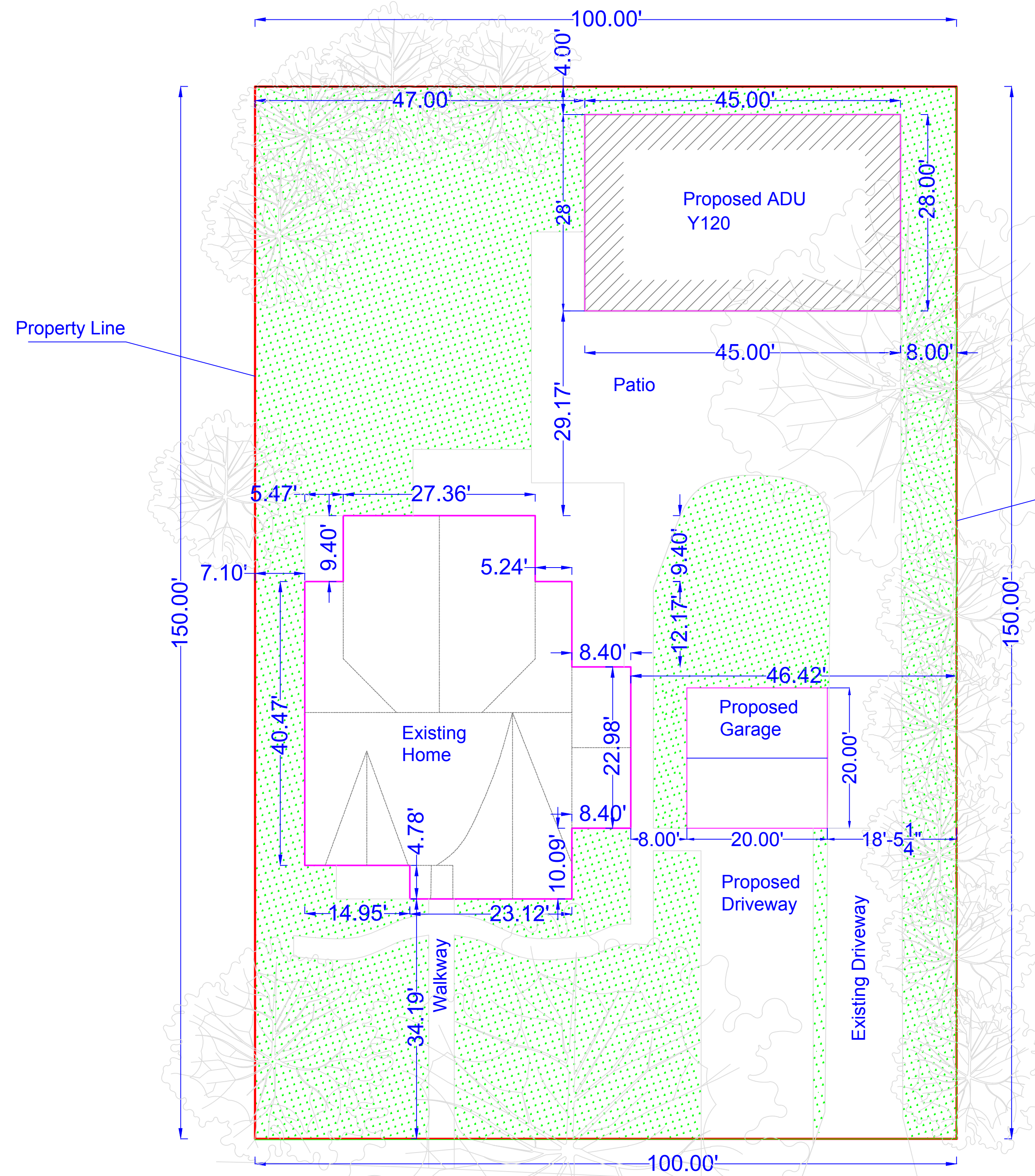
Sheet



3 FLOOR PLAN - PLAN VIEW
SCALE: 3/8" = 1'-0"



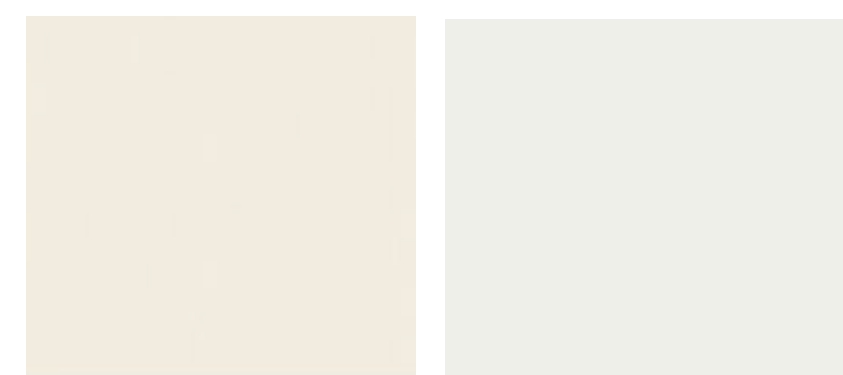
2 FRONT EXTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



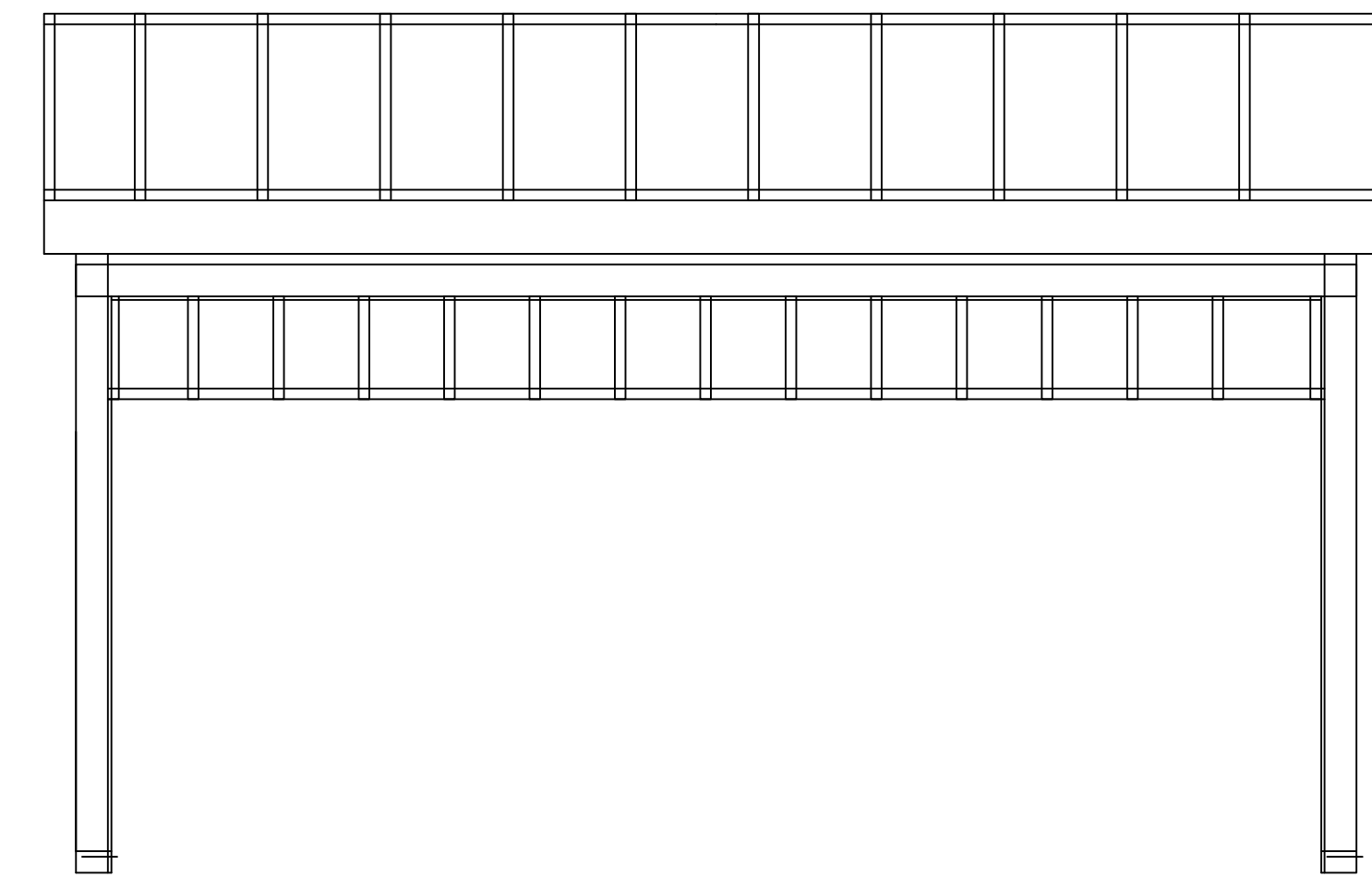
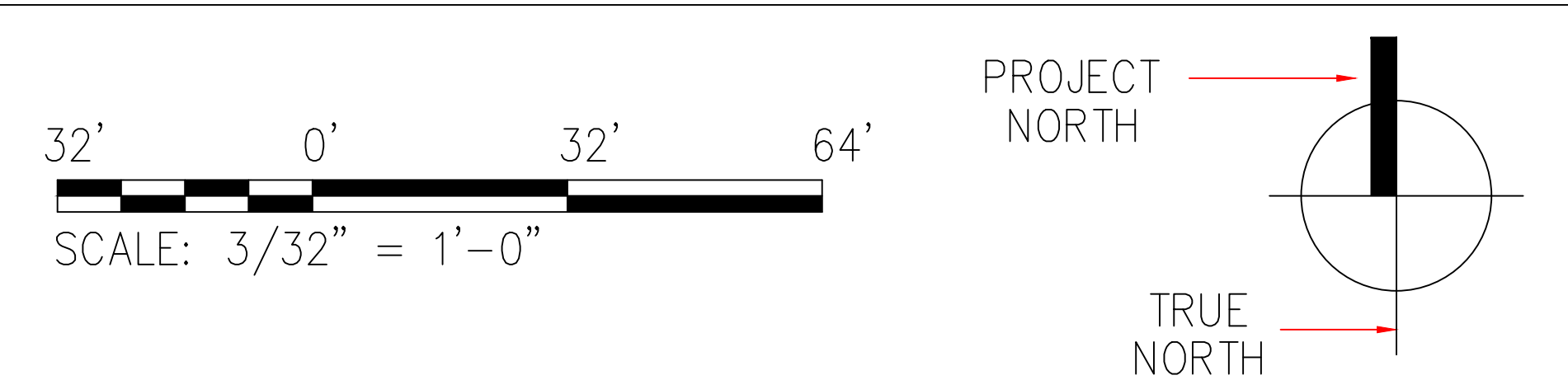
Hawthorne Ave

1 SITE PLAN
SCALE: 3/32" = 1'-0"

PAINT TO MATCH THE EXSITING HOUSE

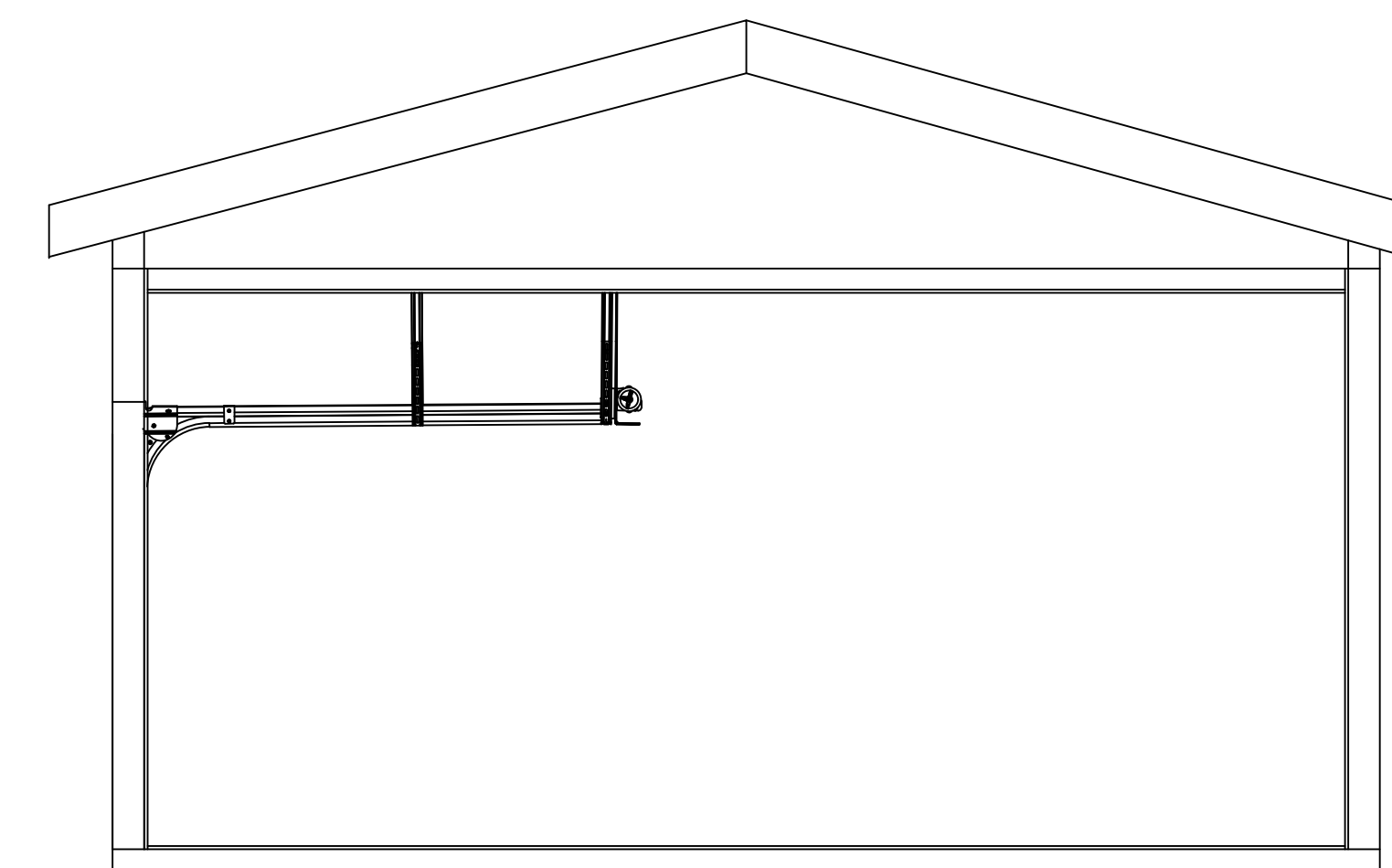


ADDRESS:
41 Hawthorne Ave
Los Altos, Ca 94022

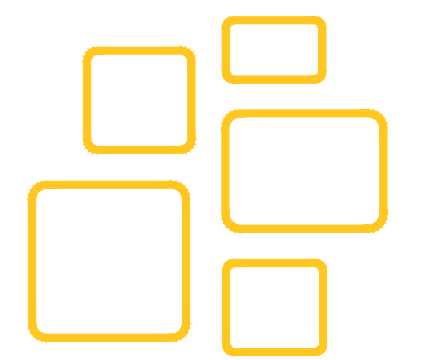


4 BUILDING SECTION - FRONT VIEW
SCALE: 3/8" = 1'-0"

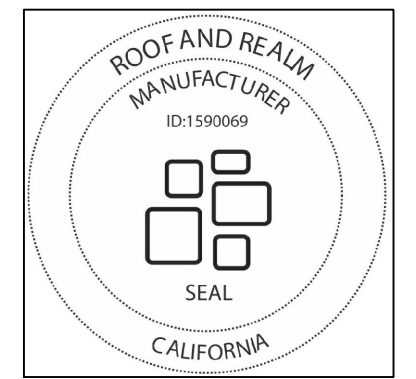
Garage Materials:
Siding- Client request 3 coat cement stucco
Roof- Composite Shingle
Paint Match to Trim designated by Owner | Builder



5 BUILDING SECTION - SIDE VIEW
SCALE: 3/8" = 1'-0"



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New Garage
Residential Building Design

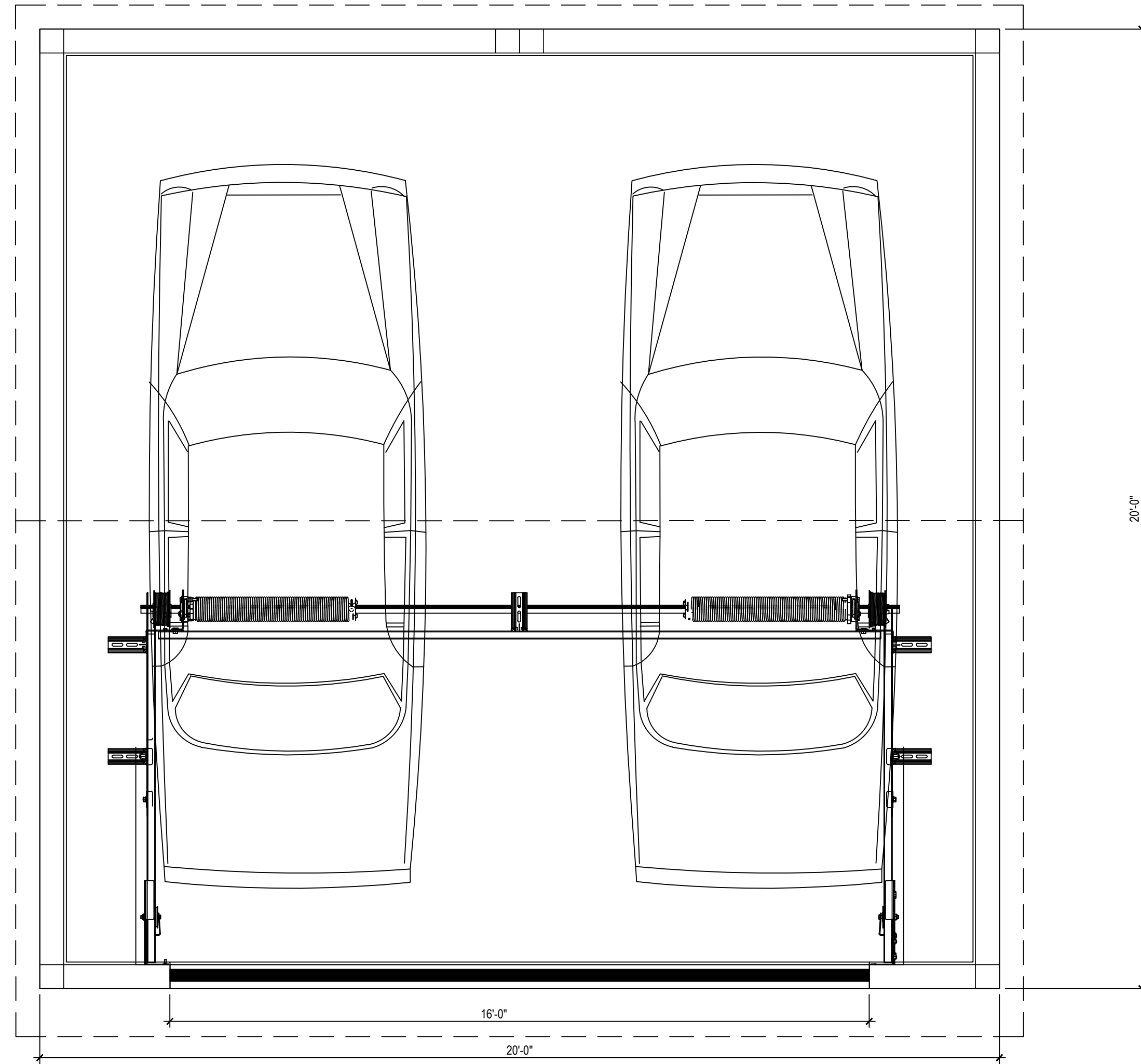
Number	Date	Description

Revisions

Issue Date **10/24/2023**

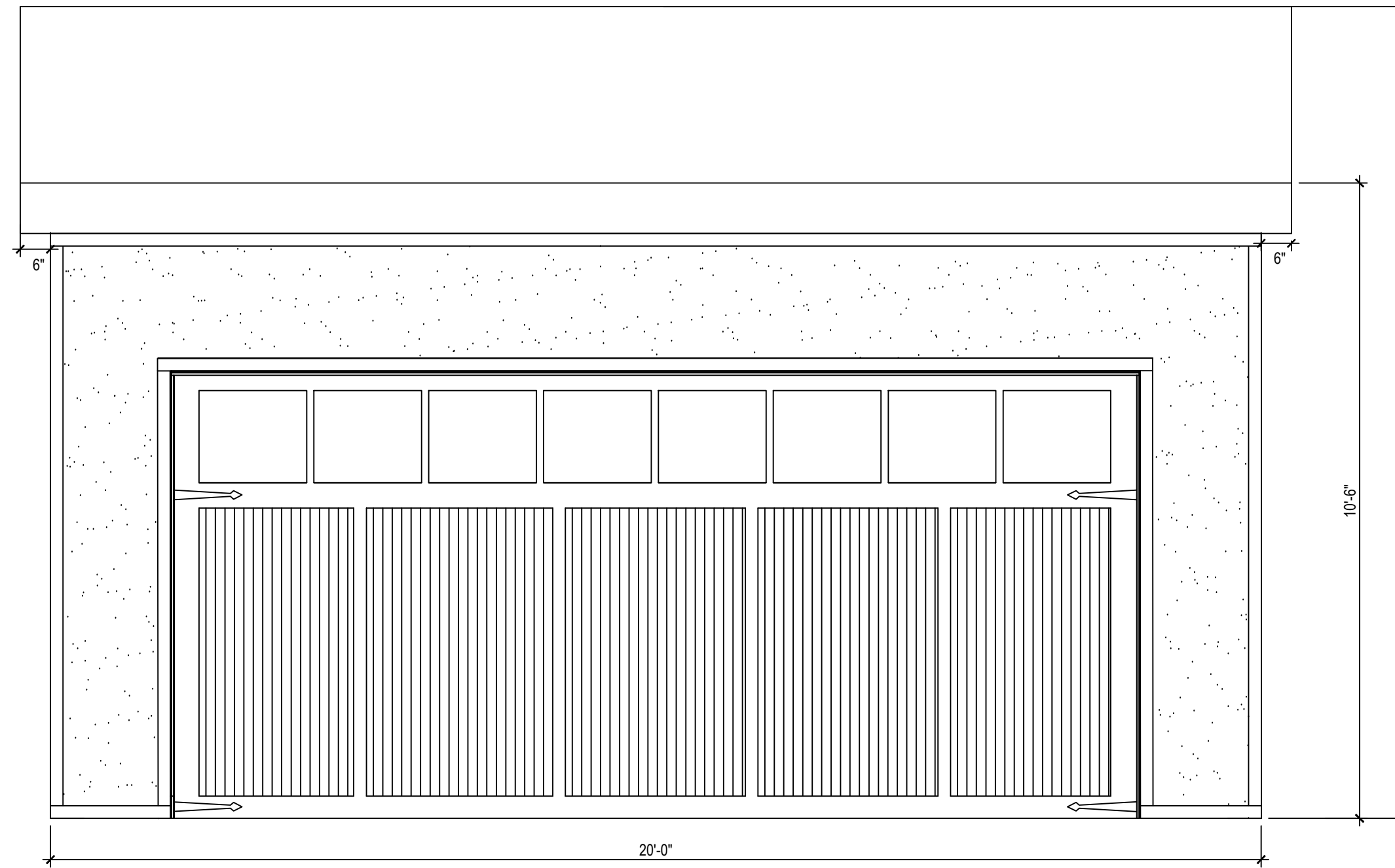
Plot Date **10/24/2023**

Sheet

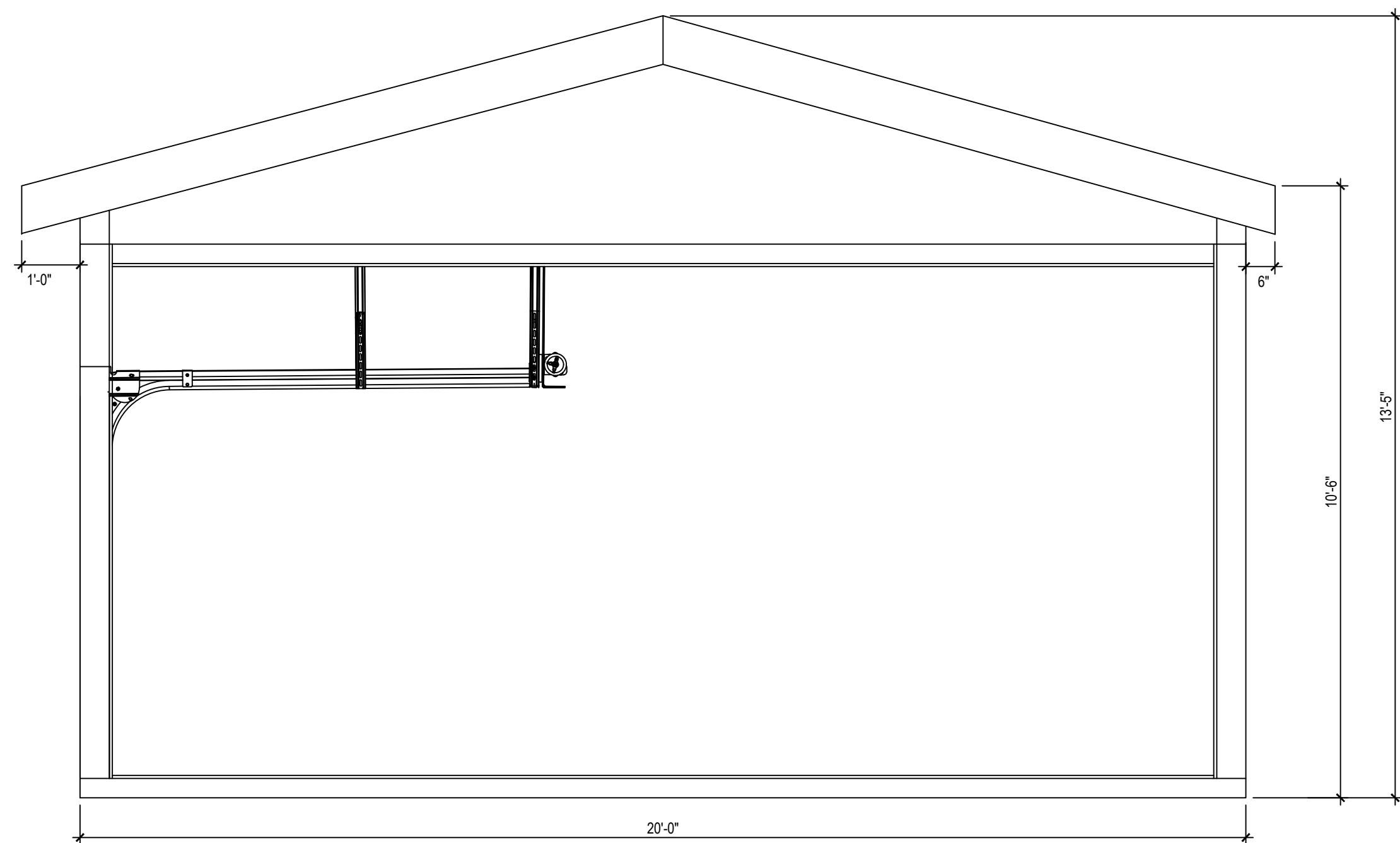


1 FLOOR PLAN - PLAN VIEW
SCALE: 1/2" = 1'-0"

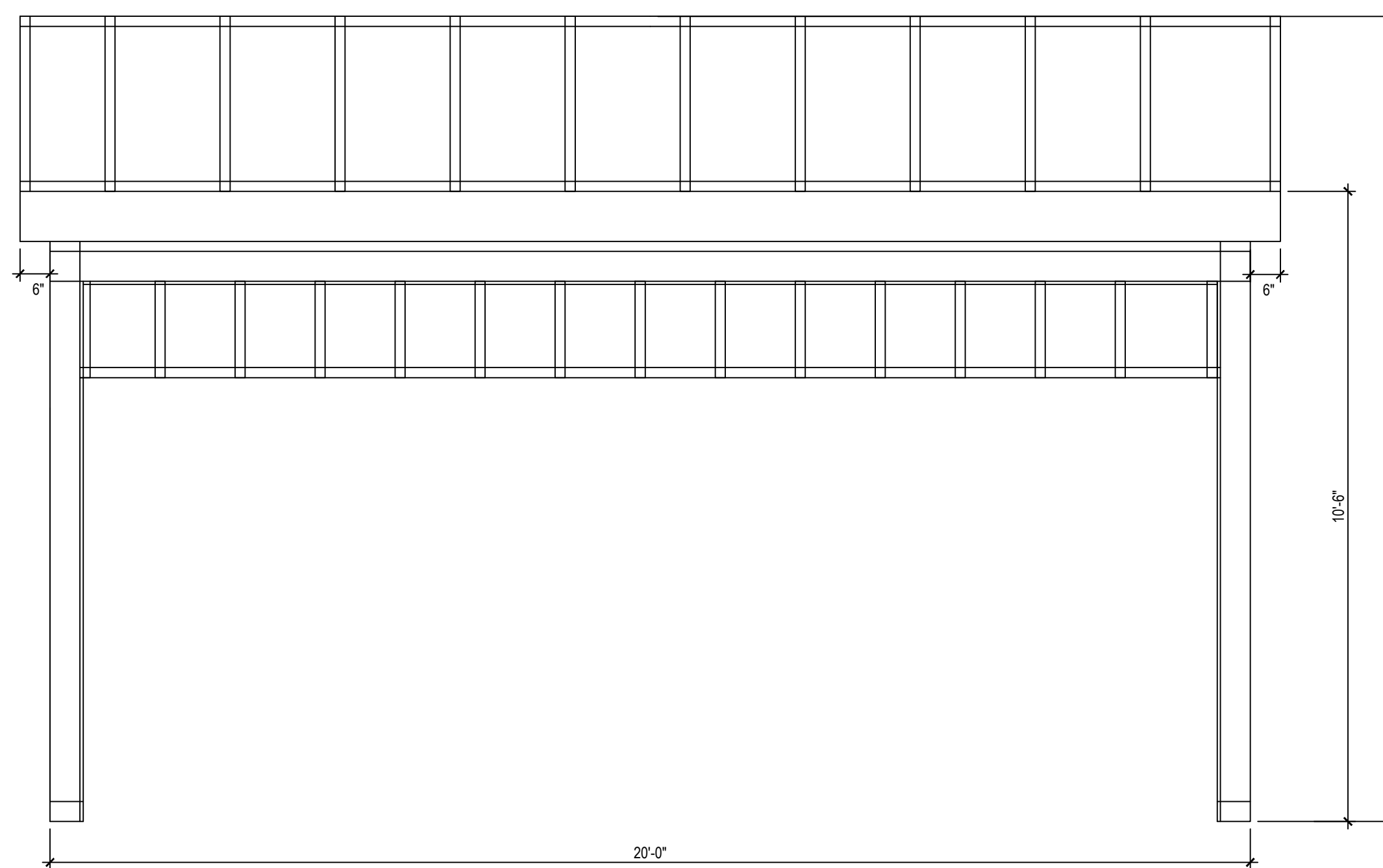
Pitch = 3:12



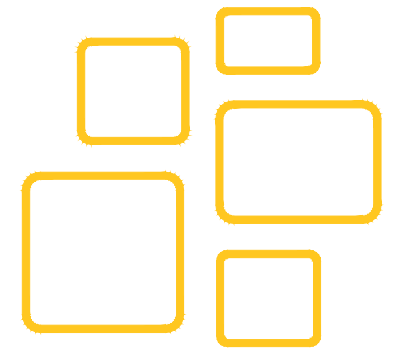
2 FRONT ELEVATION VIEW - SIDE SLOPE
SCALE: 1/2" = 1'-0"



3 RIGHT SECTION VIEW - SIDE SLOPE
SCALE: 1/2" = 1'-0"

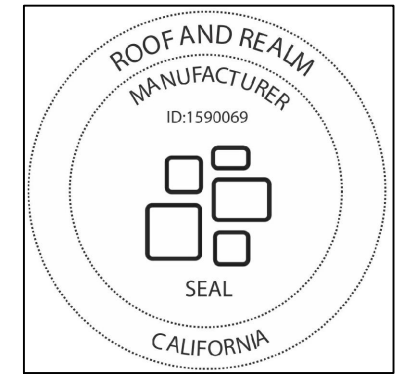


4 FRONT SECTION VIEW - SIDE SLOPE
SCALE: 1/2" = 1'-0"



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
A New Garage
Residential Building Design

Number	Date	Description

Revisions

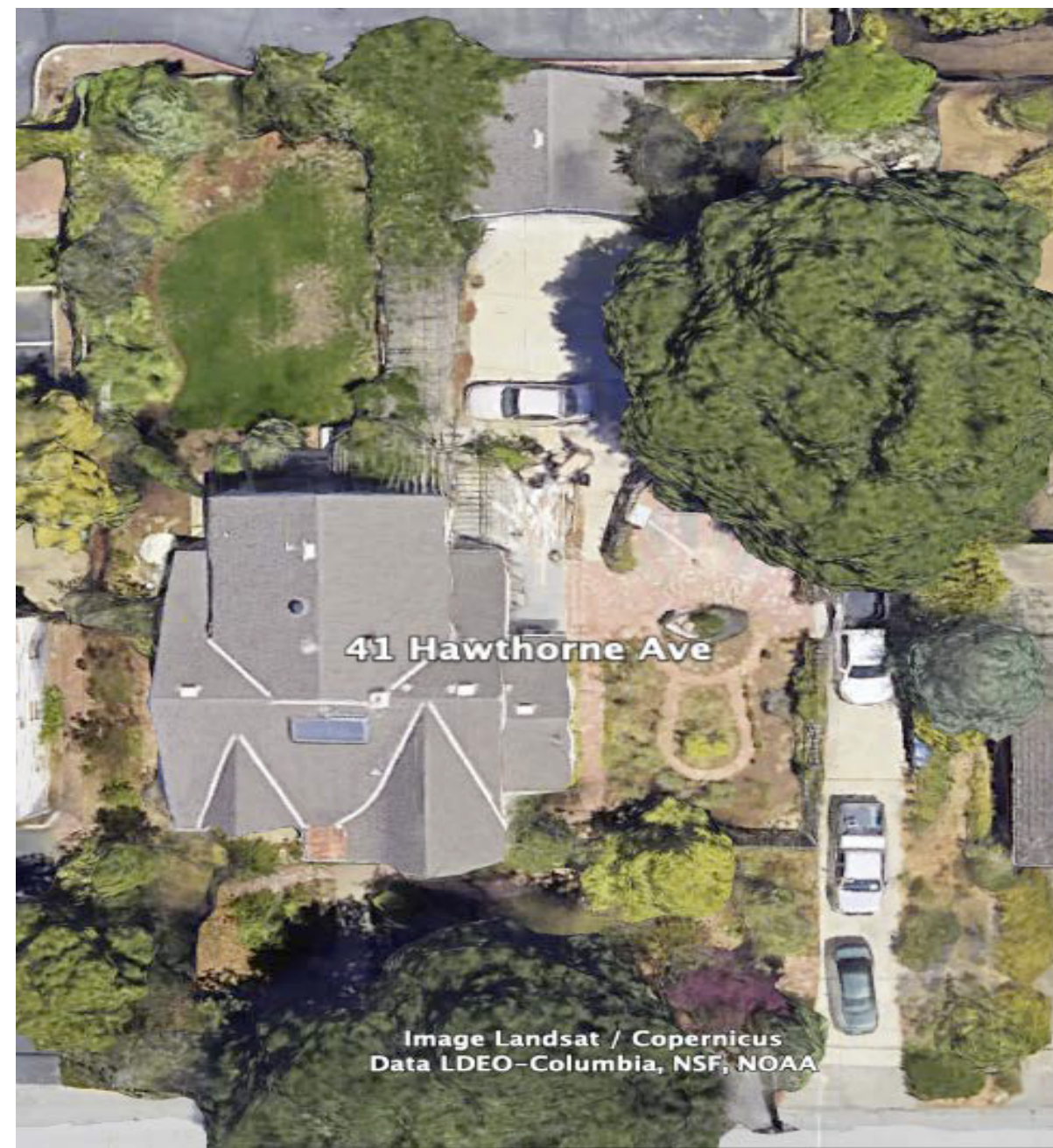
Issue Date **10/24/2023**

Plot Date **10/24/2023**

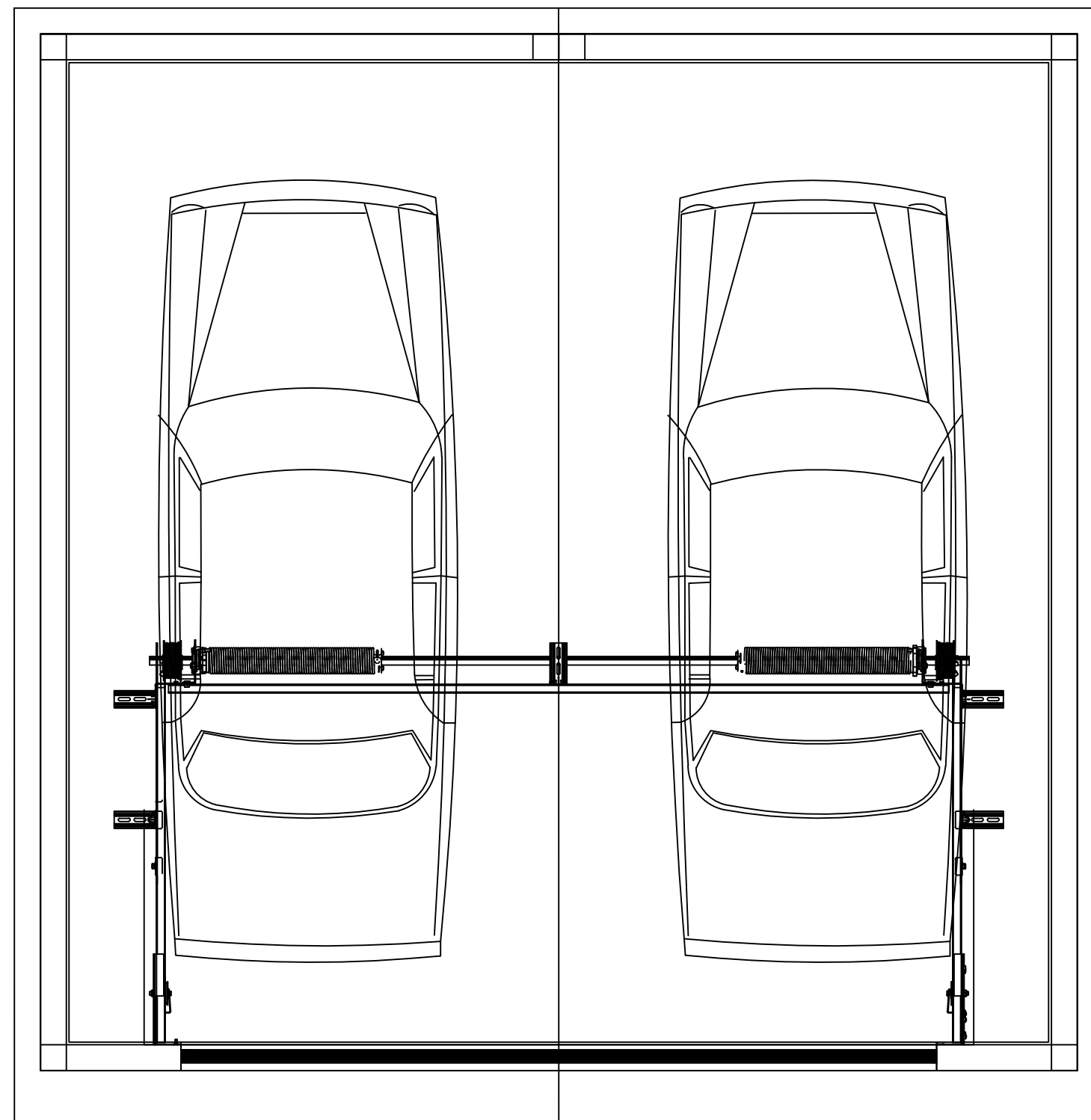
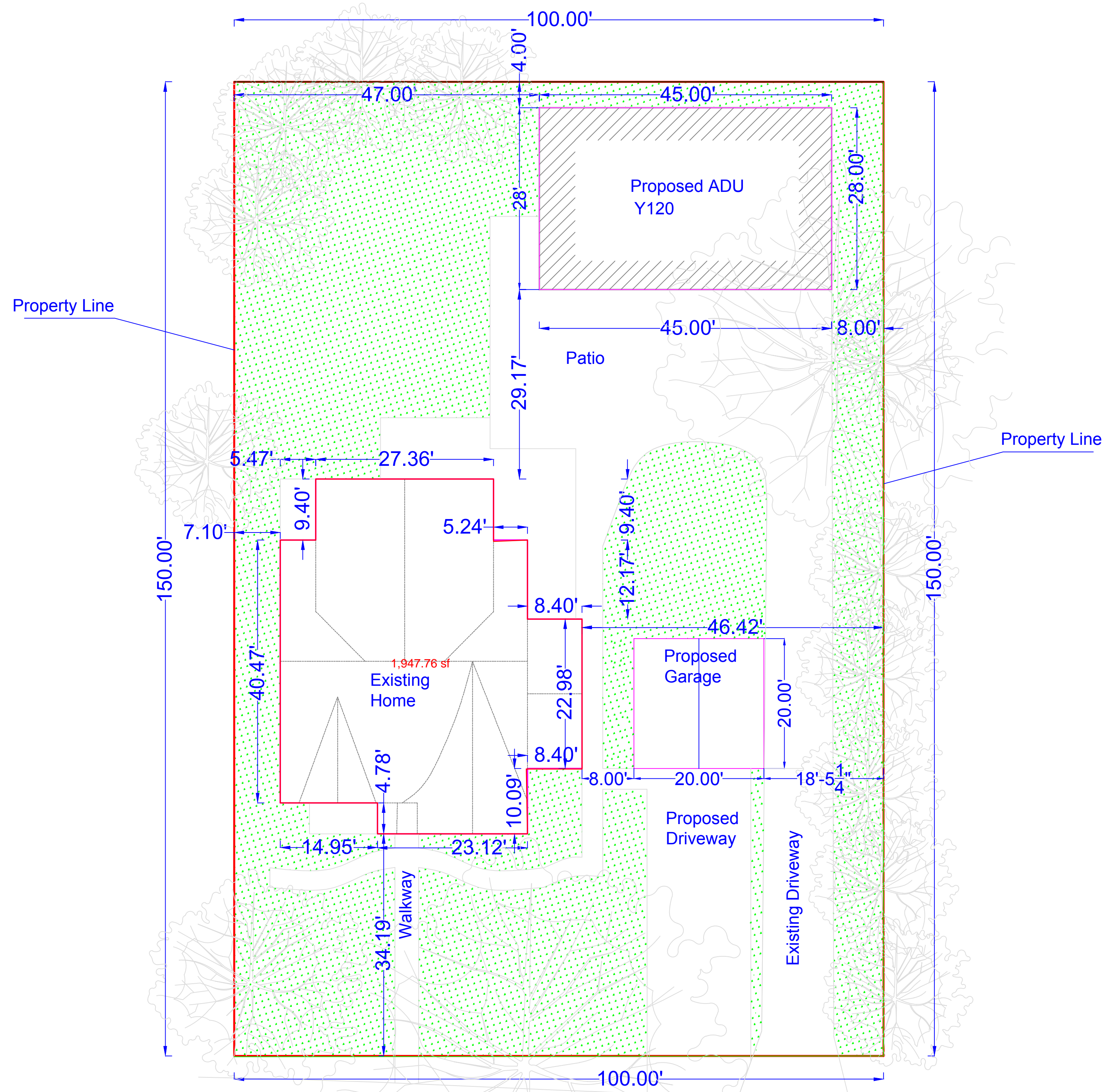
Garage Plan/Details - Side Facing Gable

A3.6

Sheet



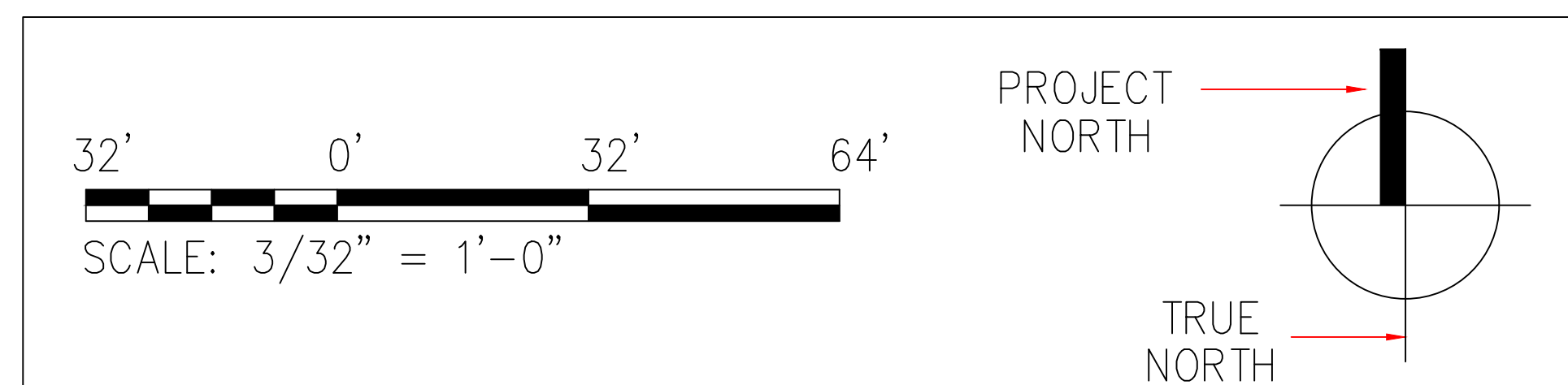
Adding a factory built Garage to the property.



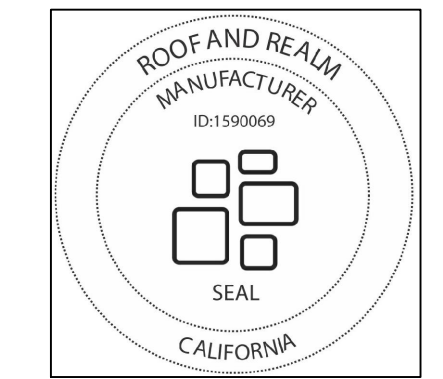
3 FLOOR PLAN - PLAN VIEW

Hawthorne Ave

1 SITE PLAN
SCALE: 3/32" = 1'-0"



ROOF AND REALM
 Manufacture ID: 1590069
 2245 Via De Mercados
 Concord, CA 94520
 Telephone: (866) 404-1148



Corporate Officer Signature

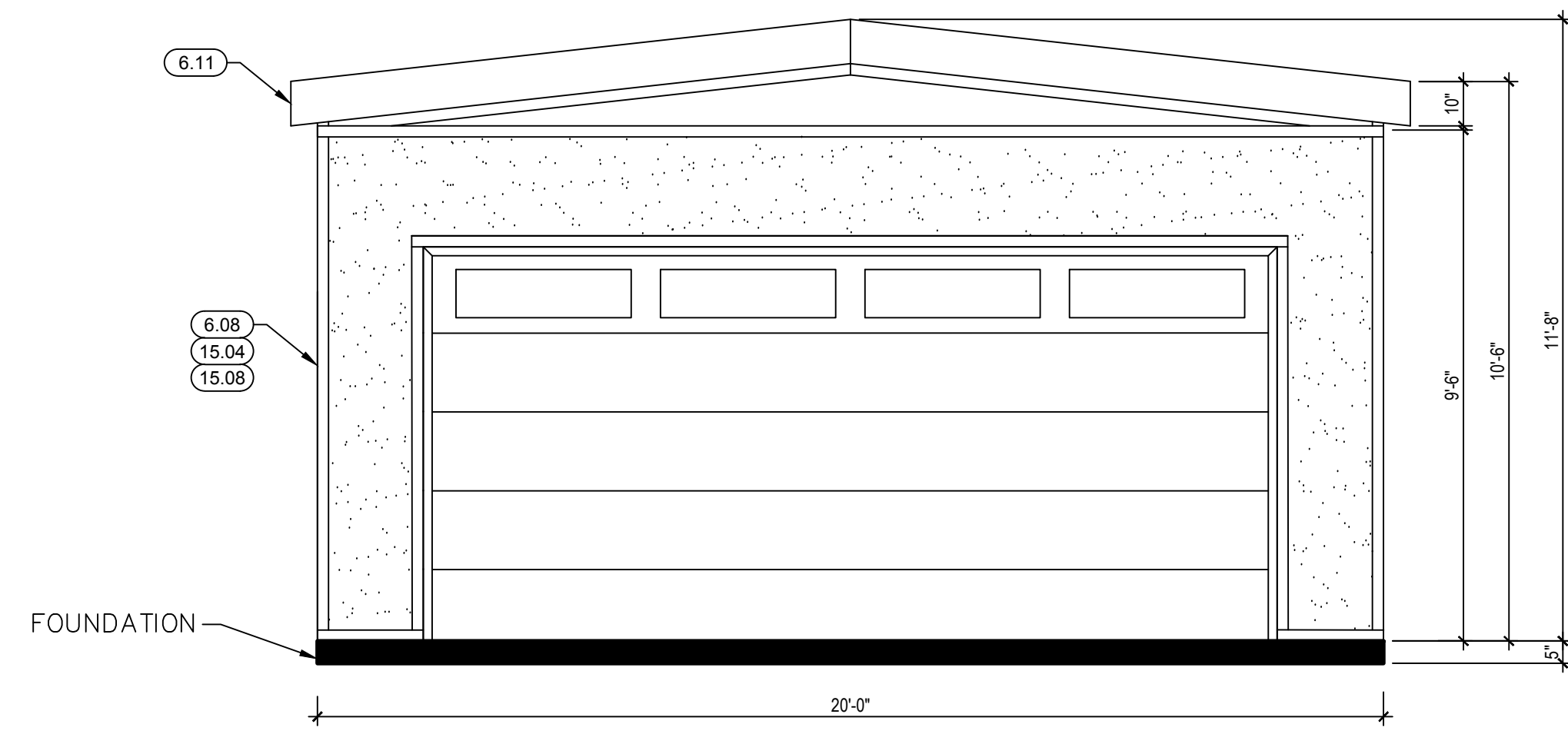
Sebastian Malano

Project

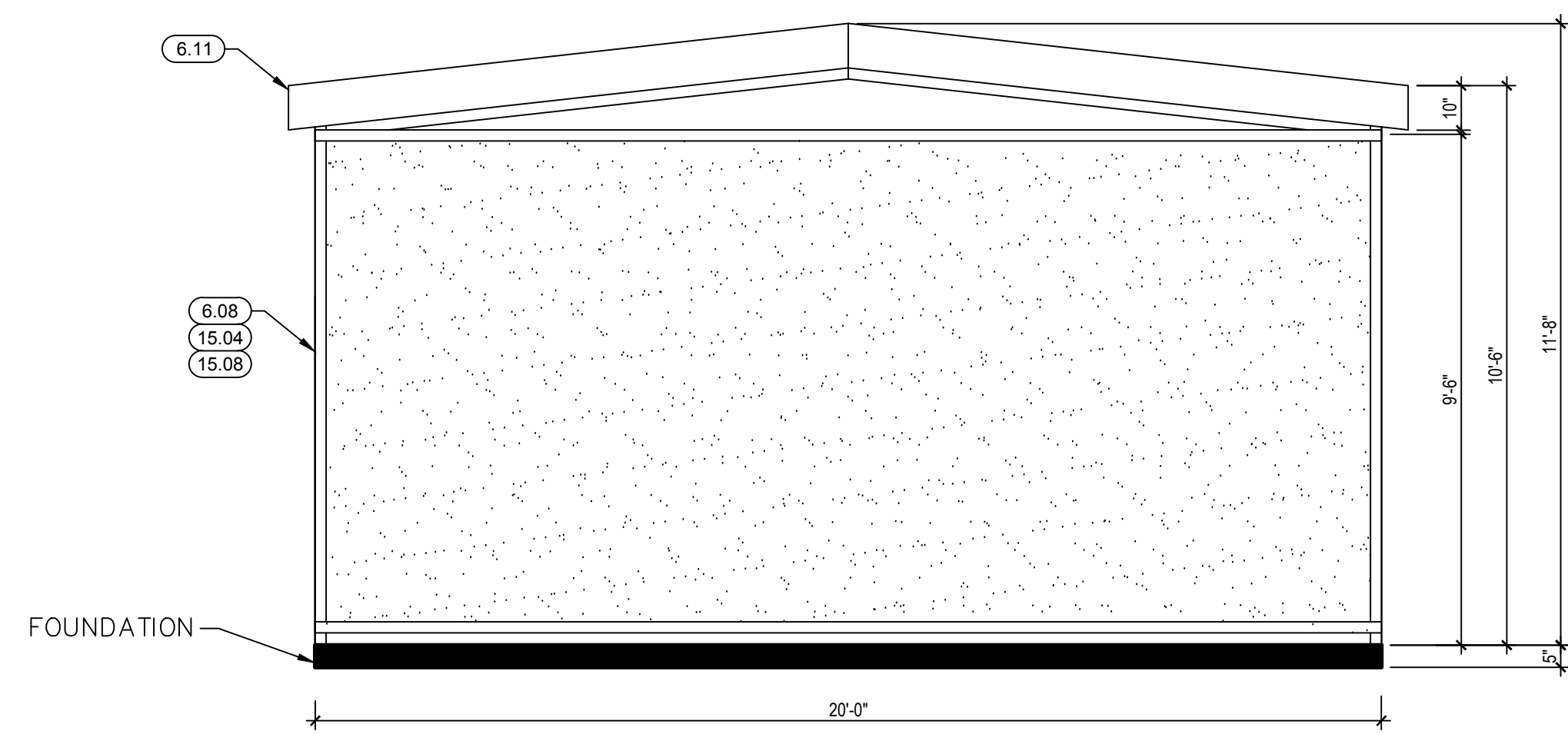
Roof & Realm
**A New Garage for
 The Tallam Family**
 41 Hawthorne Ave Los
 Altos, Ca 94022
 APN: 17041036
 Zoning: R1

Number	Date	Description
Revisions		
Issue Date	10/24/2023	
Plot Date	10/24/2023	

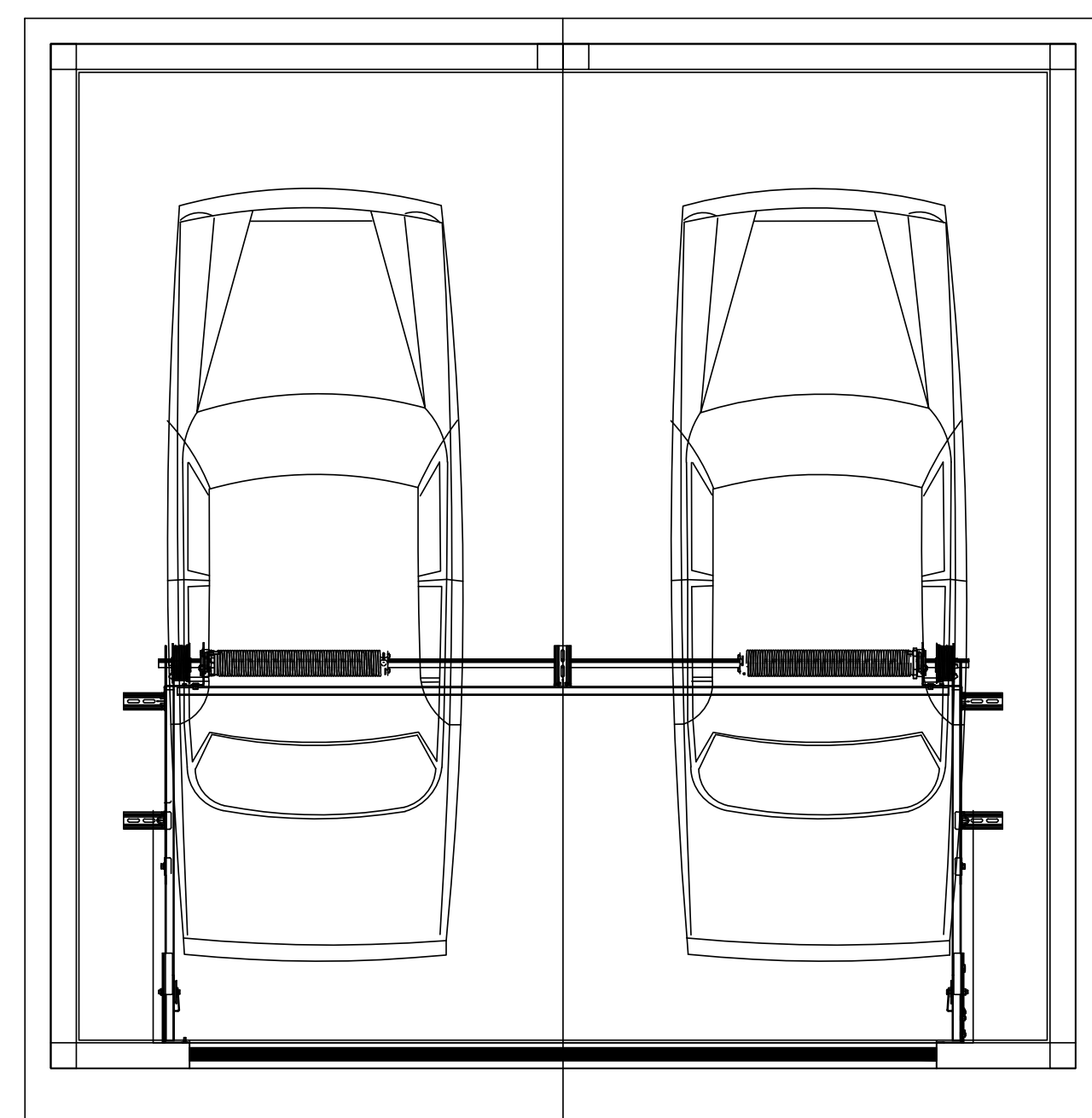
Sheet **A1**



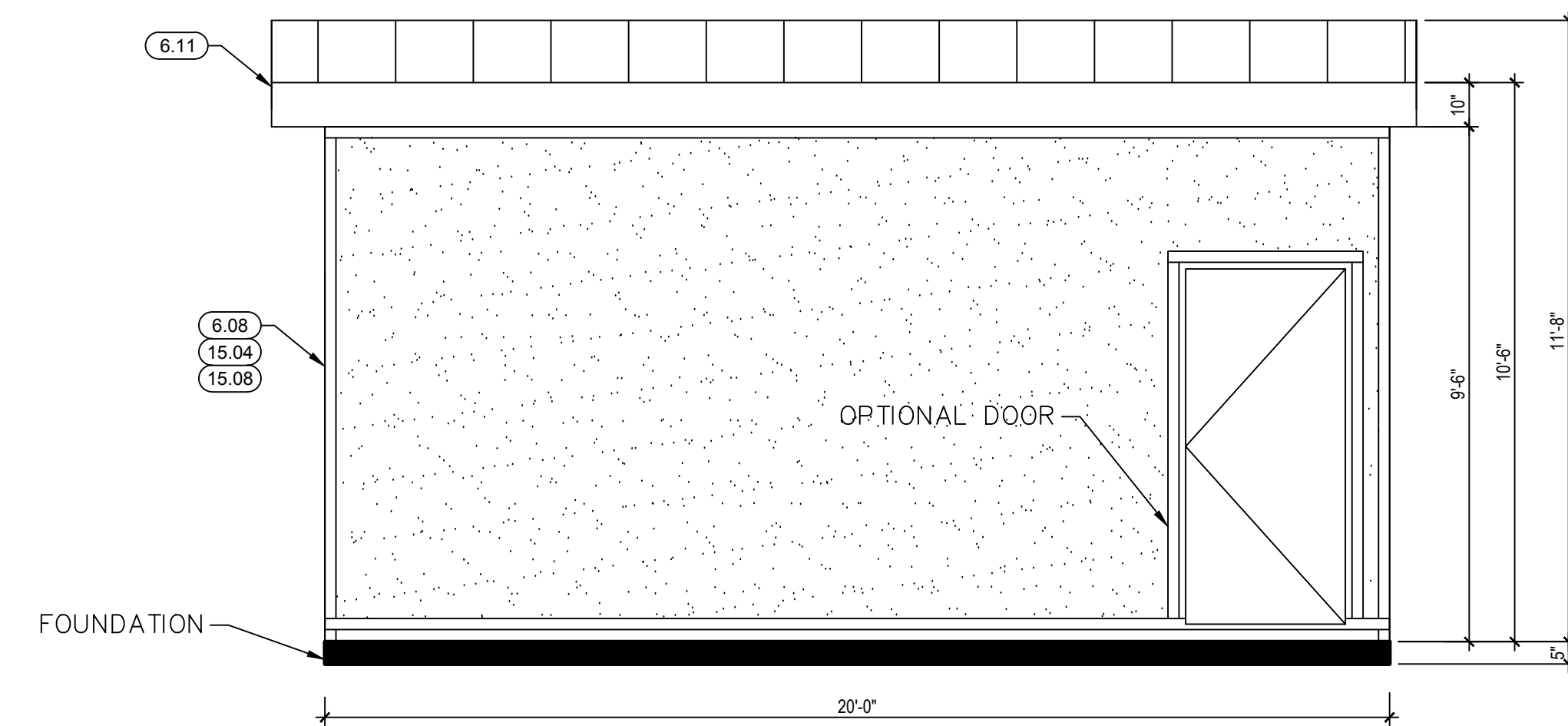
1 FRONT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



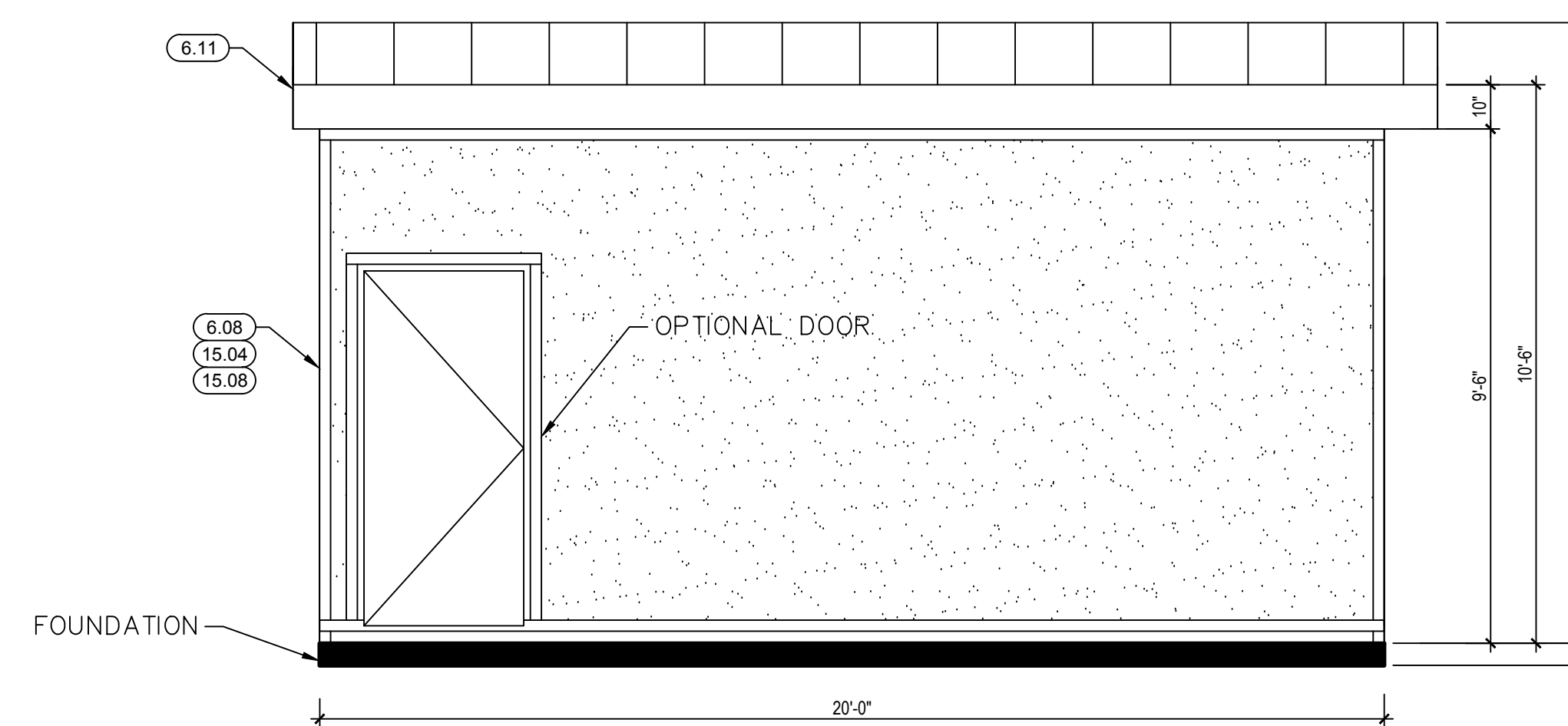
3 REAR ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



3 FLOOR PLAN - PLAN VIEW



2 LEFT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



4 RIGHT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"

Garage Materials:

Siding- Client request
3 coat cement stucco



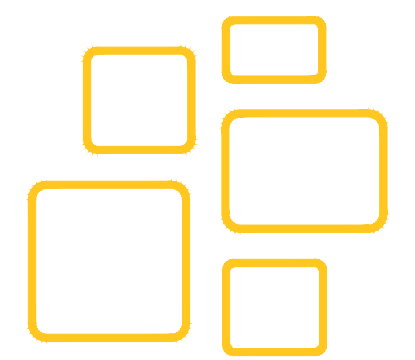
Roof- Composite Shingle



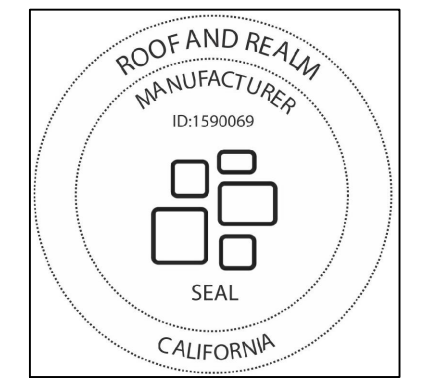
Paint to match existing house &
trim designated by Owner | Builder



Garage door (or similar to the below)



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
A New Garage for
The Tallam Family
41 Hawthorne Ave Los
Altos, Ca 94022
APN: 17041036
Zoning: R1

Number	Date	Description
Revisions		
Issue Date	10/24/2023	
Plot Date	10/24/2023	

Revisions
Issue Date 10/24/2023
Plot Date 10/24/2023

A1.1

Sheet

A New Garage for The Tallam Family 41 Hawthorne Ave Los Altos, CA 94022 APN: 17041036 Zoning: R1

MODEL G-40 - RESIDENTIAL BUILDING DESIGN FOR **ROOF AND REALM**

**2245 Via De Mercados
Concord, CA 94520**

Attachment A
Project Summary Table Template

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2308 square feet (15.6 %)	2348 square feet (15.9 %)	4443 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2308 sq ft 2nd Flr: 1365.85 sq ft Total: 3673.85 sq ft (23 %)	1st Flr: 2348 sq ft 2nd Flr: 1365.85 sq ft Total: 3713.85 sq ft (25 %)	4231 square feet (28.5 %)
SETBACKS:			
Front	38.97 feet	39 feet	25 feet
Rear	61.17 feet	78.74 feet	25 feet
Right side (1 st /2 nd)	54.82 feet/ feet	26.42 feet/ feet	10 feet/ feet
Left side (1 st /2 nd)	7.10 feet/ feet	8.40 feet/ feet	10 feet/ feet
HEIGHT:	feet	12 feet	12 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	3313.85 square feet	3313.85 square feet	3313.85 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	360 square feet	400 square feet	400 square feet
LOT CALCULATIONS			
NET LOT AREA:	14810.40 square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	square feet (%) our project does not change the existing front yard hard scape		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): _____ sq ft. Existing softscape (undisturbed) area: _____ sq ft. New softscape (new or replaced landscaping) area: _____ sq ft. <i>Sum of all three should equal the site's net lot area</i>		

GENERAL NOTE:
HANDRAILS TO BE 42" MINIMUM HEIGHT, WITH CALIFORNIA BUILDING STANDARDS CODE-COMPLIANT GLASS PANELS IN LIEU OF RAILS, SUCH THAT ANY GAP BETWEEN PANELS AND/OR POSTS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.
STAIR PLACEMENT SHALL COMPLY WITH EGRESS REQUIREMENTS, AND IS SUBJECT TO CHANGE PER SITE PLAN. SITE STAIRS AND ATTACHMENT TO DECK SHALL BE SUBJECT TO APPROVAL BY LOCAL JURISDICTION.

- NOTES:**
- This building shall comply with Wildland Urban Interface (WUI) requirements. WUI compliance is detailed on W1.
 - This building shall comply with fire separation distance requirements closer than 5 feet from property lines.
 - The Structural Engineer-of-Record shall complete and submit the site/City specific special Inspection Form for review.
 - Roof, Floor, Wall Assemblies shall be inspected by HERS Inspector and shall comply to T24 Report insulation requirements.

BY-OTHERS SCOPE OF WORK
The following pages, details and construction shall be performed on Site Specific building sites under the local City/County Building dept. jurisdiction, submitted by Roof and Realm:

Additional Information:
-Site Plan, Grading Plan, Setbacks, Utility Connections,
-Exterior Hardscape, Landscape, Exterior Electrical and Lighting.
-Structural package and pages shall include site specific foundation design, calculations and plan. Foundation details.

Utility Connections:
-Duct layout to be finished and connected on-site.
-Electrical to be finished and connected on-site.
-Rough Gas layout to be finished and connected on-site.
-Rough Plumbing layout to be finished and connected on-site.
-Rough Waste layout to be finished and connected on-site.

PROJECT OWNER: Roof and Realm
2245 Via De Mercados
Concord, CA 94520
408-610-8748

PROJECT SCOPE: New Modular Residential Building Design.
Model No: G-40

DESIGNER: Roof & Realm
Sebastian Malano, Lead Designer
2245 Via De Mercados
Concord, CA 94520
866-404-1148
operations@roofandrealm.com

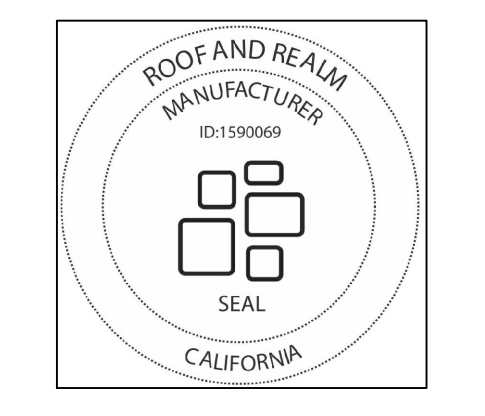
STRUCTURAL CONSULTANTS:

M.E.P. CONSULTANT:

PROJECT CODE NOTES: 2022 CBC, CEC, CMC, CPC
2022 California Green Building Code
2022 California Residential Code
2022 T24 B.E.E.S. (Energy)
All other state and local code and ordinances.

SHEET INDEX:

No.	Description
A1	Site Plan
CS	Cover Sheet
A2.0	Notes & Specifications
A2.1	Notes & Specifications
A3.0	Modular Substructure Assumption
A3.1	Floor Plan
A3.2	Lighting Plan
A4.0	Cube Elevations
A4.1	Low Slope Elevations
A4.2	Gable Elevations
A5.0	Building Sections
A6.0	Wall Details
A6.1	Wall Details
A7.0	Roof Details
A8.0	Window & Door Details
A9.0	Exterior Details



Corporate Officer Signature
Sebastian Malano

Project

**Roof & Realm
A New ADU - G40
Residential Building Design**

Number	Date	Description
1	1/2/24	REVISION

Revisions
Issue Date **1/2/2024**
Plot Date **1/2/2024**

Cover Sheet

CS

Sheet

Notes and Specifications:

1 Design Criteria

- 1.01 Refer to structural for the design criteria.
- 1.02 Refer to Title 24 Energy Analysis for Climate Zone Criteria.
- 1.03 Refer to WUI guidelines as needed

2 Applicable Codes

2.01	Administrative	2022 California Administrative Code
2.02	Building Code	2022 California Building Code Part 1 & 2
2.03	Residential Code	2022 California Residential Code
2.04	Electrical	2022 California Electrical Code
2.05	Mechanical	2022 California Mechanical Code
2.06	Plumbing	2022 California Plumbing Code
2.07	Energy	2022 California Energy Code
2.08	Fire	2022 California Fire Code
2.09	Green Building	2022 California Green Building Code
2.10	Reference Standards	2022 California Reference Standards Code & California Title 24
2.11	Local Amendments	Applicable to site specific application.
2.12	Solar Equipment	Solar as per mandate

3 General Notes

3.01	Construction Type	Steel Volumetric Modular Building.
3.02	Module Size	See Drawings
3.03	Shop Drawings	All shop drawings shall meet the included Product Guide and ensure Manufacturer Designs are achieved, substitutions require signature and approval by Manufacturer.
3.04	Material Installation	All Installations shall be consistent with the plans and applicable to the applicable Building Code of California, any variation from the Product Guide requires approval.
3.05	Work Performed	All work performed must be performed in tradesman like fashion and conform to industries best standards and practices and code compliance.
3.06	Dimensions and Conversion	All printed dimension shall take precedence over scaled plan dimensions all conversions must meet or exceed client specification
3.07	Submittals	All Finish materials shall be approved, and samples are to be provided to Manufacturer.
3.08	Third-party	All plans and modular units are to be reviewed, inspected, and approved by a third-party agency that is authorized to inspected on behalf of the State of California or local building department of units installation.
3.09	City Inspections	City shall inspect work completed on-site including foundation, connection points where modules meet or where Sewer is connected from ground to module.
3.10	Utility Connections and Drainage	All site-specific utility connections and drainage should be coordinated with site and be identified and ready for connection. Additionally, Engineers and Architects shall ensure all connection points are simple for manufacturing to site connection for modular design.
3.11	Material Certifications	All materials and fixtures are to be listed and approved by CBC in the IRC recognize quality control agencies.
3.12	Material Sources	All material sources and approvals must be provided to Designer in writing.
3.13	Appliances	Electrical appliances (standard)/Optional gas appliances

4 Architectural

4.01	Exterior Wall Boarding	Water and Mold Resistive $\frac{5}{8}$ " material with Air and Water Membrane.
4.02	Interior Wall Boarding Material	Gypsum wallboard, $\frac{5}{8}$ " where required by (CBC) California Building Code.
4.03	Interior Bathroom Wall Boarding Material	$\frac{5}{8}$ " moisture and mold resistant gypsum wallboard.
4.04	Door Offset	A minimum of 3 inches from center of jam to face of finish exterior wall.
4.05	Baseboard Trim	Baseboard trim shall be $\frac{3}{2}$ " min 4-3/4" Height Trim
4.06	Bathroom Cabinets	Shaker Cabinet Design - Owner Builder. To be placed in interiors
4.07	Door, Window Jam & Sills	Nominal 1x3 MDF
4.08	Door Plinth	Nominal 1x3 MDF
4.09	Door & Window Header Casing	Nominal 1x3 MDF
4.10	Window Header Height	Match doors so the trim aligns.
4.11	Door Height	6'-8" Interior/ Exterior as per plan
4.12	Interior Wall Corners	Caulk after baseboard with miter cuts
4.13	Door Material	Shaker Cabinet Design - Modular Kits
4.14	Cabinet Carcass Material	Shaker Cabinet Design - Modular Kits
4.15	Cabinet Door Hinges	Shaker Cabinet Design - Modular Kits
4.16	Cabinet Drawer Glides	Shaker Cabinet Design - Modular Kits
4.17	Cabinet Door & Drawer Bumpers	Shaker Cabinet Design - Modular Kits
4.18	Countertop	Quartz SLAB with 1.5" square edge. Color TBD. See product Guide. Client will specify with coordinating grout
4.19	Backsplash	Quartz SLAB 4" high, optional full height under cabinet. Color TBD . See product Guide. Client will specify with coordinating grout
4.20	Surrounds	Quartz TILE or optional SLAB full height. Color TBD . See product Guide. Client will specify with coordinating grout. Shampoo Niches Standard in each Shower (14"w x 24"h x 5"d)
4.21	Water Heater Door	Louvered when required(See Manufacturer Specifications)
4.22	Cabinet Hardware Finish	To match other hardware selected. See client specification Nickel, Black, or (Gold Optional)
4.23	Cabinet Interior Finish	Per client specification.
4.24	Roof Pitch	Refer to structural and client selected change order.
4.25	Roof Finish	Refer to client selected change order or product guide.

4.27	Base Bathroom Cabinet	Shaker Bathroom Cabinet 21" Deep
4.28	Medicine Cabinet	Mirror inset. One location

5 Interior Finish

5.01	Interior Swinging Door Styles	Square edge style interior hollow-core doors to open with handle to match hardware color selection.
5.02	Interior Barn Door Style	Square edge hollow core flat panel barn door with rail hardware and handle to match.
5.03	Interior Swinging Door Finish	Primed & painted Client Selected Colors to match trim color
5.04	Interior Swinging Door Handle Type	Knobs or Handle option Manufacture Selected and designated. . See client specification
5.05	Interior Door Hardware Finish	Knobs and Handles option Manufacture Selected and designated. . See client specification
5.06	Interior Wall Texture	Interior Walls Orange peel finish.
5.07	Interior Wall Finish	Primed & Painted, off-white "Swiss Coffee". See Client's specification
5.08	Interior Ceiling Texture	Interior Walls Orange peel finish.
5.09	Interior Ceiling Finish	Primed & Painted, Same as trim. See Client's specification.
5.10	Kitchen Flooring	See Client's specification
5.11	Living Room Flooring	See Client's specification
5.12	Family Room Flooring	See Client's specification
5.13	Hallway Flooring	See Client's specification
5.14	Bedroom Flooring	See Client's specification
5.15	Closet Flooring	See Client's specification
5.16	Bathroom Flooring	See Client's specification
5.17	Entry Flooring	See Client's specification
5.18	Closet Shelves	Wire and Rod
5.19	Closet Rod	Steel 1 1/4" diameter with steel supports, Color - White.
5.20	Kitchen Sink	490SF & Below - Under-mount sink see Product Guide 19" or as available 490SF & Above - Under-mount sink see Product Guide 24" or as available
5.21	Bathroom Sink	Under-mount sink see Product Guide
5.22	Tub & Shower Surrounds	Quartz Slab or Marble Slab, color,TBD. Tub only in SFH units or by options. Shower should match kitchen unless otherwise specified
5.23	Shower Head Height	Shower head shall be placed 80" above shower pan.
5.24	Bathroom Mirrors	Non Standard when installed shall match hardware.
5.25	Shower Niches	Builder selected minimum 14"w x 24"h x 5"d.
5.26	Toilet Paper Holder	Wall mounted toilet paper holder. See Client's specification.

6 Exterior Finish

6.01	Windows	Dual pane, Low-E, Argon filled glazing. Colors-White interior, Bronze exterior. See Title 24 requirements. See Client's specification
6.02A	Standard Sliding Door System	Standard Sliding Door System
6.02B	Pocket or Bi Fold Option	Optional System Manufacturer Selected.
6.03	Siding-01	HardiePanelTM Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane. (Board and Batten). See Client's specification. WUI Listing No. 8140-2026.0005
6.04	Siding-02	4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seem to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026.0501
6.05	Siding-03	HardiePlankTM Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026.0005
6.06	Siding-04	"AZEK Deck" - Composite deck board, all colors $\frac{3}{8}$ " Thick x 5.5 Width - 1" Thick x 3.5" Width or 5.5" Width, Class B Frame Spread Rating WUI Listing No. 8110-2042.0500, 8110-2044.0001 Refer to manufacturer's installation instructions and product data sheets
6.07	Siding -05	Metal Siding or Cladding
6.08	Exterior Wall Assembly	1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier building wrap or equal. Refer to customer order for selected exterior finish material.
6.09	Roofing-01/ All slope roof conditions	Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.
6.10	Roofing-02 all flat roof conditions	Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.
6.11	Fascia/Corner/Joint	Metal clad. Cladding to be Paint Match to Trim designated by Owner Builder with on-sight clamping system designed to fit and adhere quickly. Color-Dark Gray or Black.
6.12	Entry Door	Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1 $\frac{1}{2}$ " inches (38 mm) lower than the top of the threshold.)
6.13	Soffit	Flat metal clad to match metal clad fascia.
6.14	Exterior Utility Access	Builder selected or client change order.
6.15	Panelize Shower Screen-01	Builder selected or client change order.
6.16	Panelize Shower Deck	Builder selected or client change order.
6.17	Panelize Deck	Builder selected or client change order.
6.18	Entertainer Door	Builder selected or client change order.
6.19	Trim-01	3" fiber cement trim. Color TBD.
6.20	Trim-02	Flat metal clad, snap screw track mechanism in place.
6.21	Trim-03	1 x 2 trim board, pin at top. Caulk bottom joint.

6.22	Bottom of Modular Unit	Galvanized Steel
6.23	Sheathing Material	All exterior walls and top of roof will have Densglass - OSB sheathing for Roof material.

7 Site

7.01	Grade	See site specific foundation or grading plans for factory built housing.
------	-------	--

8 Foundation

8.01	Raised Spread Footing	Traditional stem-wall with modular, welded in place. See site specific foundation plans
8.02	Flat Slab on Grade	Refer to structural foundation plans and details for design. See site specific foundation plans
8.03	Vapor Barrier	Minimum of 6 mil poly vapor barrier to be installed. See Foundation Plans
8.04	Below Floor Ventilation	Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
8.05	Stem Wall Footing	Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
8.06	Slab Footing	Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
8.07	NOT APPLICABLE	
8.08	Crib Wall	Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
8.09	Hardscape	3' x 3' x 4" thick minimum stoop at landings. See client specification. (Opening width)
8.10	Inset Form	Inset Form that is left in place for Sewer and Vent connections under subfloor when available

9 Structural

9.01	Hardware	All hardware to be Simpson hardware installed per manufacturers instructions to achieve the highest listed load values or similar approved by Structural Engineer.
9.02	Fire Blocking	Fire blocking in interior and exterior walls as required by the California Building Code (CBC).
9.03	Floor Decking	Minimum of 3/4 or 23/32 thickness and meets or exceeds PS2 Standards.
9.04	Blocking	All elements fastened to the walls including toilet paper holders, towel bars, mirrors, robe hooks, shelves, closet rods, cabinets, etc. must be securely anchored to the solid blocking, sufficient to prevent pull out.
9.05	Exterior Wall Assembly	Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
9.06	Interior Wall Assembly	Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
9.07	Interior Plumbing Wall Assembly	Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
9.08	Ceiling Assembly	Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
9.09	Floor Assembly	Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
9.10	Roof Assembly	Assumed as per manufacture specs, to be approved by R&R via shop plan review, light gauge steel frame structure as per structural plans with 1/2" radiant barrier sheathing on the exterior side and 5/8" gypsum wallboard on the ceiling side. Thickness should allow for concealment of structural container elements including beams and posts. Roof Section assembly shall be shipped seperately.
9.11	Vaulted and Transom Walls	Vaulted walls to be light gauge steel framing as per structural plans with boarding and finishes to match walls below as per plan.
9.12	Roof assembly- flat roof	Gypsum Board as per T24
9.13	Roof assembly- flat roof	TPO roofing membrane, 0.45 mil, 10 foot width. Class "A" rated. Water Proof
9.14	NOT APPLICABLE	
9.15	Interior Transom Wall	Soffit Shelf.
9.16	Upper Deck Handrail	Handrail assembly with 1/4" tempered glass pr metal rail per client Specifications refer to structural for design and specifications.
9.17	Stair Assembly	Refer to structural plans for staircase assembly as per code
9.18	Floor Joist	See Structural.
9.19	Wall Framing	See Structural.
9.20	Roof Rafters	See Structural.
9.21	Ceiling Joists	See Structural.
10.01	Bathroom	All bathrooms shall be mechanically vented as per California Building Code (CBC).
10.02	Laundry Space	Laundry space to have provisions for make-up air for gas burning appliances when selected.
10.03	Water Heater Door	Heatpump or Tankless when allowed per Code
10.04	HRV/ERV	As required.
10.05	NOT APPLICABLE	
10.06	Heating	As Per T24
10.07	Cooling	As Per T24
10.08	Mechanical forced air system	As Per T24

11 Electrical

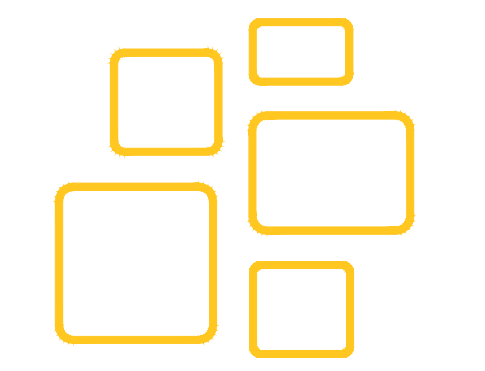
11.01	Solar Equipment	Refer to electrical plan for Solar ready requirements, provide required roof load as required. Chasers, PV panel sizing and conduit as per PV plans.
11.02	NOT APPLICABLE	
11.03	Kitchen Ceiling lights	Recessed LED
11.04	NOT APPLICABLE	
11.05	Lights	Recessed LED
11.06	Walk-in Closet Lights	Recessed LED
11.07	Master Bedroom Lights	Recessed LED
11.08	Bedroom Lights	Recessed LED
11.09	Bathroom Lights	Recessed LED
11.10	NOT APPLICABLE	
11.11	NOT APPLICABLE	
11.12	Door Lights	Recessed LED
11.13	Integrated USB Receptacles	Optional
11.14	Switches	Decora style, Color: White on the walls.
11.15	Receptacles	Decora style, Color: White on the walls and backsplashes.
11.16	Electrical Meter	As per MEP
11.17	Exterior Wall Light	As per plan
11.18	General Lighting	As per plan
11.19	Ceiling Fan	Fan with light. Prep as per Plan
11.20	Breaker Panel	To meet California Electrical Code Requirement. See electrical plan for details.
12.01	DWV System	As per plan.
12.02	Water System	As per plan.
12.03	Toilets	Elongated
12.04	Master Bath Toilet	Elongated
12.05	Outdoor Shower	Optional Outdoor Shower behind existing plumbing.
12.06	Hosebibbs	As per plan.
12.07	Refrigerator	As per plan.
13.01	WUI Compliance	Client shall specify in writing if home is WUI compliant. Otherwise rigid foamboard insulation shall be installed and be considered combustible
15.01	Radiant Barrier	Roof - refer to client order specifications.
15.02	NOT APPLICABLE	
15.03	Ceiling Insulation	Refer to Title 24 Doc for specifications.
15.04	Wall Insulation	Refer to Title 24 Doc for specifications.
15.05	Floor Insulation	Refer to Title 24 Doc for specifications.
15.06	Roof Insulation	Refer to Title 24 Doc for specifications.
15.07	Rain Screen	Water drainage system must be installed between siding and sheathing per manufacturer recommendations
15.07	Building Wrap	Water resistant air barrier membrane compound fluid or membrane
15.08	Window Flashing	Match building wrap tape system and add additional pan flashing at head of each window if windows do not come with drip flashing.
15.09	Door Flashing	Match building wrap tape system and add additional of each window if windows do not come with drip flashing.

12 Plumbing

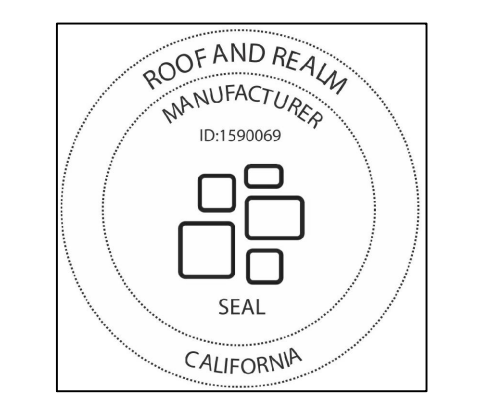
13 Fire Suppression (Not Applicable)

14 Wildland Urban Interface (WUI Compliance)

15 Thermal



ROOF AND REALM
 Manufacture ID: 1590069
 2245 Via De Mercados
 Concord, CA 94520
 Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions		
Issue Date	1/2/2024	
Plot Date	1/2/2024	

Notes & Specifications

A2.0

Sheet

Scope of Work Matrix 2 Module Unit

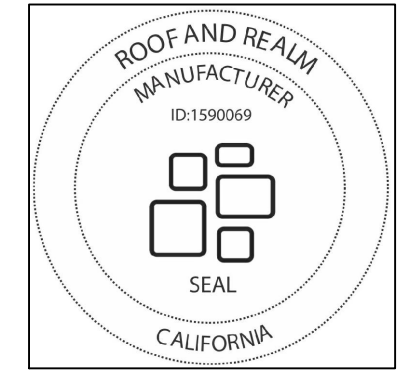
16 Appliances & Equipment

16.01 Dishwasher	Standard 18" or Drawer product as required for space
16.02 Range	Cook-Top as per Product Guide
16.03 Range Hood	Range hood as per Product Guide or Client selected Option.
16.04 Clothes Washer	Ventless. See client specification
16.05 Clothes Dryer	Ventless. See client specification
16.06 Stackable Washer and Dryer	Ventless. See client specification
16.07 Garbage Disposal	Standard.
16.08 Appliance Color	Option stainless steel, Black or Similar.
16.09 Refrigerator	See Product Guide
16.10 Microwave	Micro Range Hood as needed
16.11 Sink	18" Sink with disposal

17 Smart Home & Entertainment

17.01 Internet Connectivity	Optional
17.02 Cameras	Optional
17.03 Audio Video	Optional
17.04 Carbon Monoxide Detectors	Standard Wire
17.05 Tech Package Dual Outlets	Optional
17.06 Smart Hub	Optional

	Item #	Description	HCD Review	In-Factory Inspections	AHJ Review	On-Site Inspections
Main Frame	Structural					
	1	Concrete Foundation and Structural Connections			X	X
	2	Imbed Plates	X	X		
	3	Structural Steel Frame	X	X		
	4	Welding Rust Inhibitor	X	X		
	5	Metal Frame(Walls, Floor, Ceiling, and Roof)	X	X		
	6	Sub-floor Sheathing	X	X		
	8	Structural Steel Frame(Bolting, Welding of Seams)	X			X
Exterior Com	Architectural					
	1	Interior Drywall (Installation, Tape and Mud)	X	X		
	2	Insulation (Subfloor, Wall, and Ceiling	X	X		
	3	Windows and Exterior Doors	X	X		
	4	Counters/Vanity	X	X		
	5	Finish Trim	X	X		
	6	Interior Drywall (at Seams of Pods)	X			X
	7	Exterior Insulation	X	X		
	8	Exterior Sheathing	X	X		
	9	Water Resistive Barrier	X	X		
	10	Flooring Underlayment	X			X
	11	Exterior Cladding	X	X		
	12	Exterior Cladding - Modern Cladding	X	X		
	13	Exterior Cladding - Skirting Trim	X			
14	Shower Pan Connection to Sewer	X			X	
Mechanical	1	Hood Vent Install	X	X		
	2	Hood Vent Connection at Roof	X			X
	3	Bathroom Fan Installs	X	X		
	4	Bathroom Fan Connections at Roof	X			X
	5	Mini Split Rough	X	X		
	6	Mini Split Connection Start Up	X			X
Electrical	1	Rough Connections and J Box		X		
	2	Electrical Panel Install w Circuits	X	X		
	3	Electrical Fixtures	X	X		
	4	Electrical Feeder Line			X	X
	5	Electrical Panel Start Up and Circuits	X			X
	6	J Box Connections	X			X
Plumbing	1	Rough Water Supply System	X	X		
	2	Water Supply System - Connection to Public System			X	X
	3	Rough Drain - Waste - Vent	X	X		
	4	Drain-Waste - Connection to Public System			X	X
	5	Plumbing Fixtures (Toilet, lavatory, Sink, Faucets	X	X		
	6	Water Heater	X	X		
	7	Laundry - Dryer - Rough	X	X		
	8	Water Pressure Test		X		
	9	Sewer Connection			X	X
	10	Water Heater Rough Connections/Plumbings	X	X		
	11	Water Heater Start Up				X
Fire	IF APPLICABLE					
	1	Fire Sprinkler System - Rough Pipe Installation	X			
	2	Fire Sprinkler System - Inspection and Test		X		
Roofing	3	Fire Alarm System		X		
	1	Sheathing	X	X		
	2	Sheathing Seam	X			X
	3	Membrane	X			X
	4	Roof Finish Material	X			X
	5	Downspouts	X			X
T-24's	6	Rain Gutters	X	X		
	1	T24	X	X		
	2	QII		X		
	3	HERS				X



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
 A New ADU - G40
 Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

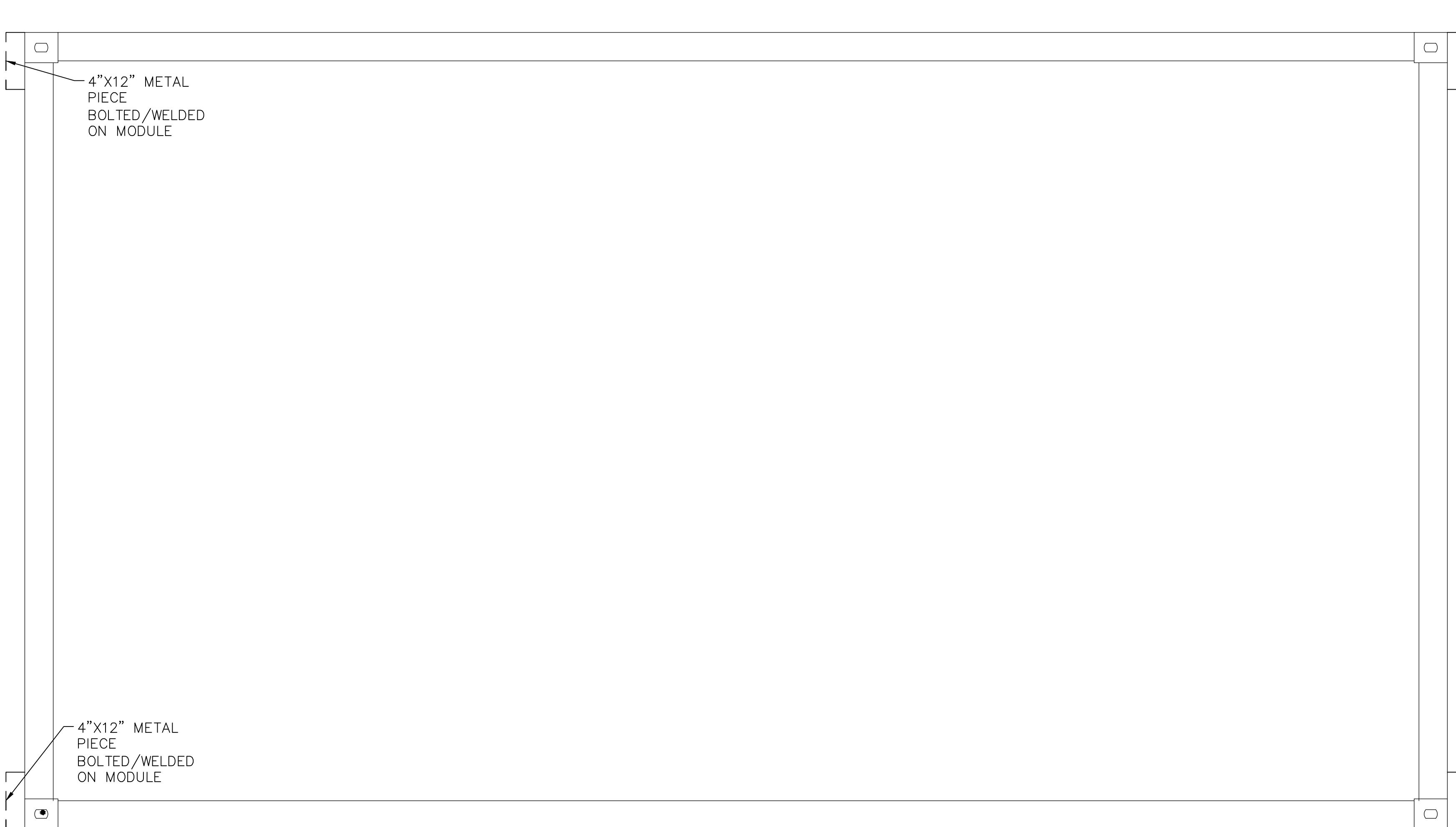
Issue Date **1/2/2024**

Plot Date **1/2/2024**

Notes & Specifications

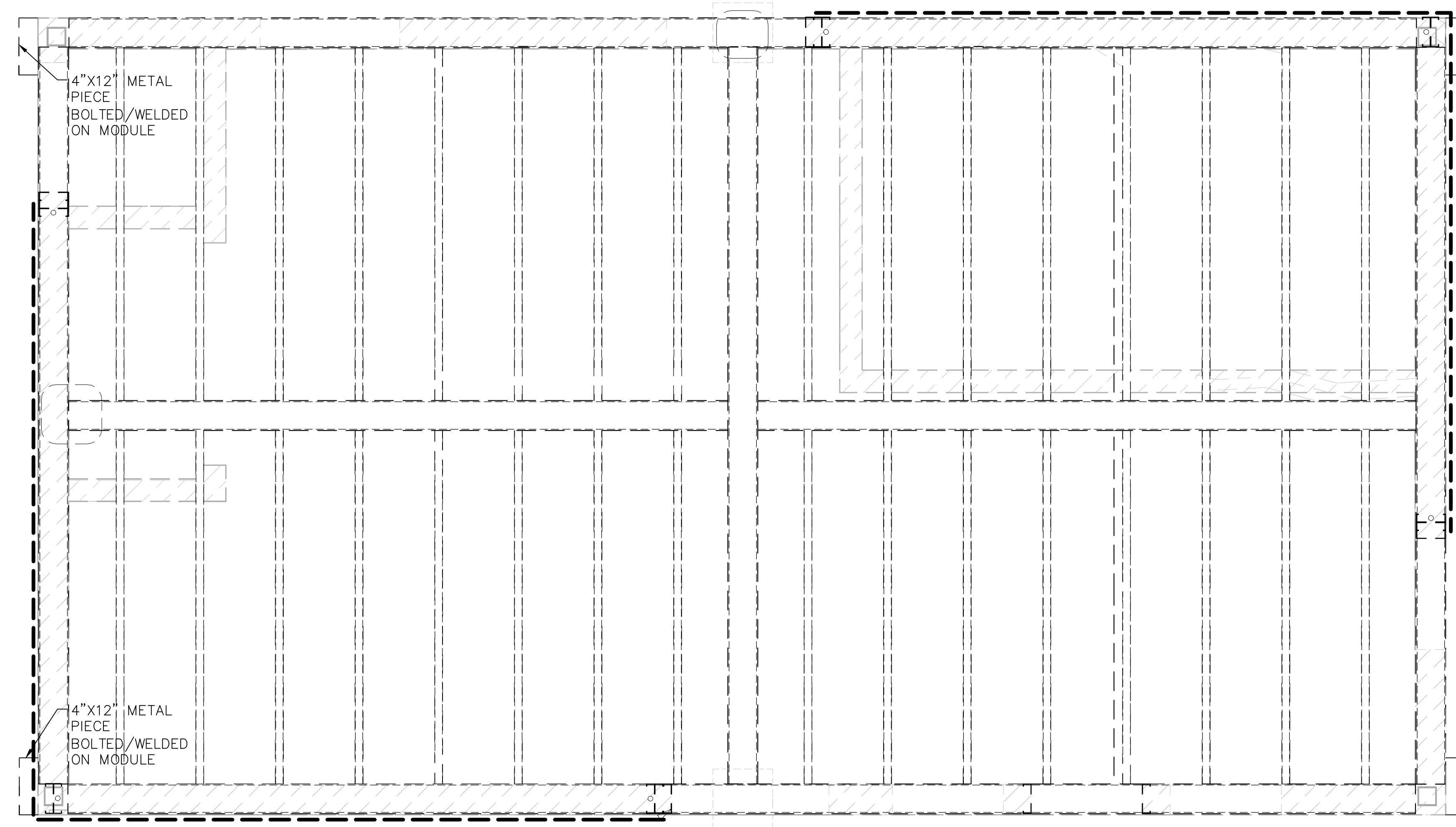
A2.1

Sheet



MODULE PLAN VIEW

SCALE : 3/4" = 1'-0"



FLOOR PLAN VIEW

SCALE : 3/4" = 1'-0"

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

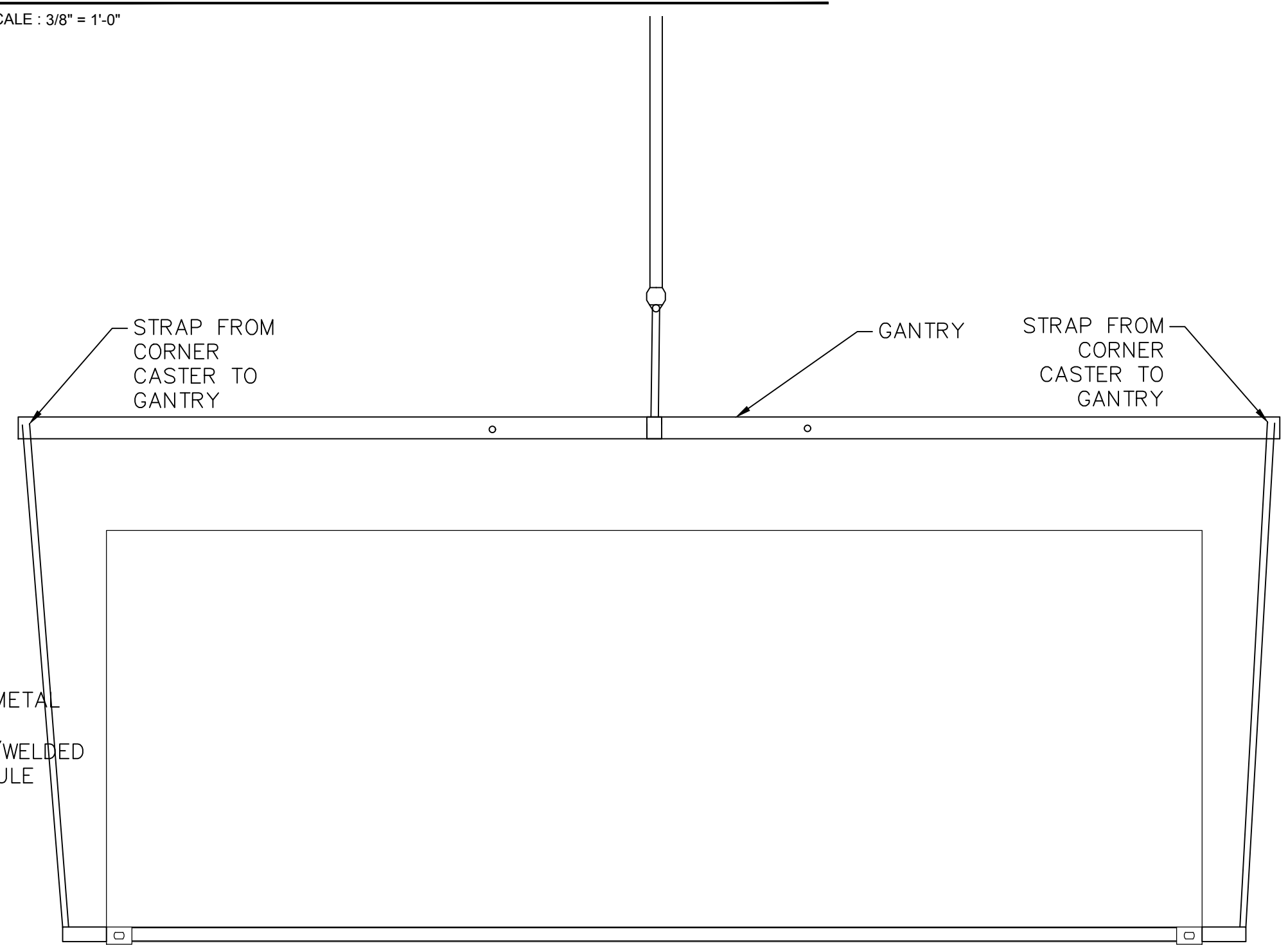
4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE



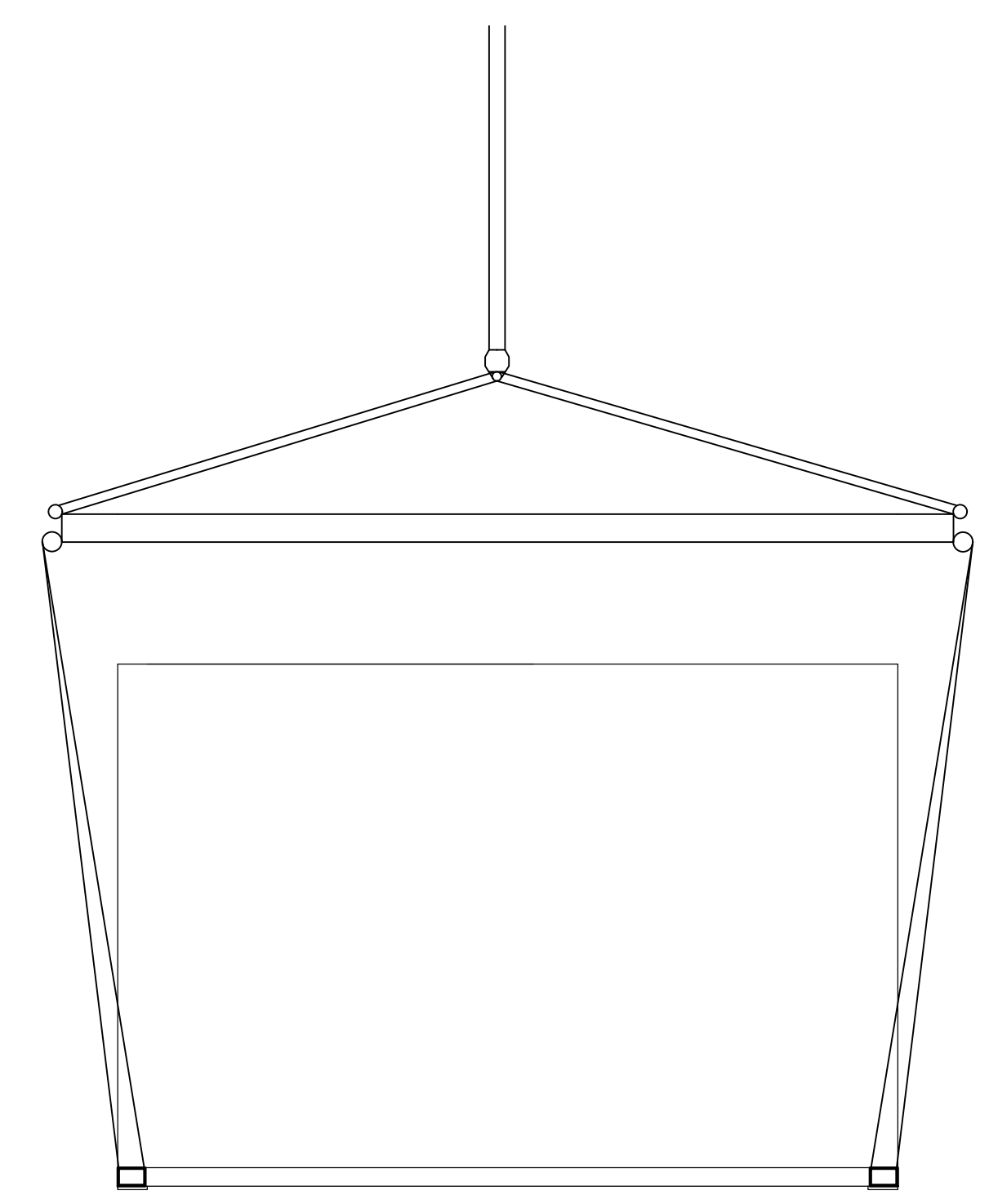
SIDE ELEVATION

SCALE : 3/8" = 1'-0"



SIDE ELEVATION CRANE

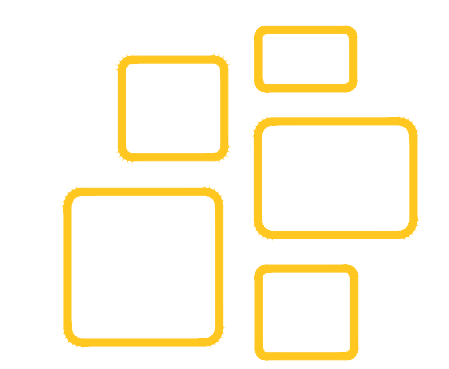
SCALE : 3/8" = 1'-0"



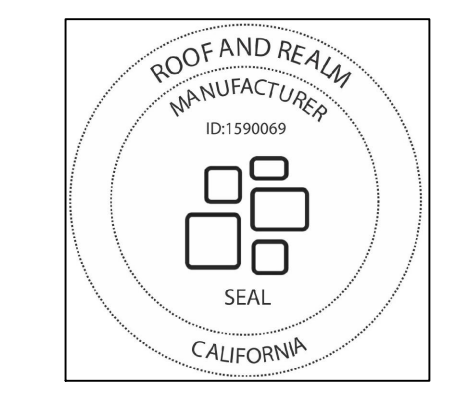
FRONT ELEVATION CRANE

SCALE : 3/8" = 1'-0"

PICKUP POINTS
FOR WIRE



ROOF AND REALM
 Manufacture ID: 1590069
 2245 Via De Mercados
 Concord, CA 94520
 Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano
 Sebastian Malano

Project

Roof & Realm
A New ADU - G40
 Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

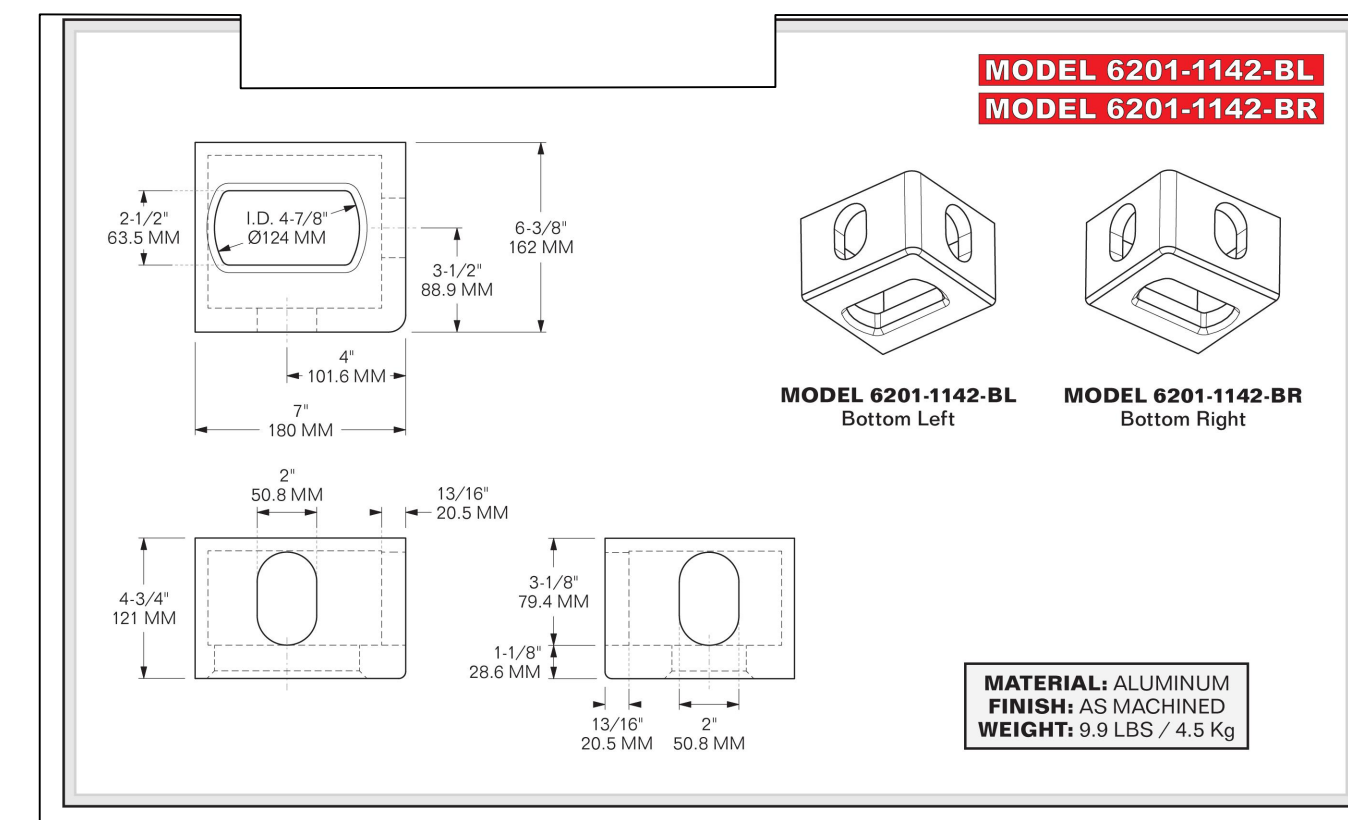
Issue Date **1/2/2024**

Plot Date **1/2/2024**

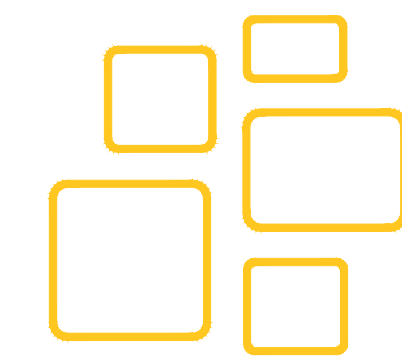
Pick Plan

A2.2

Sheet



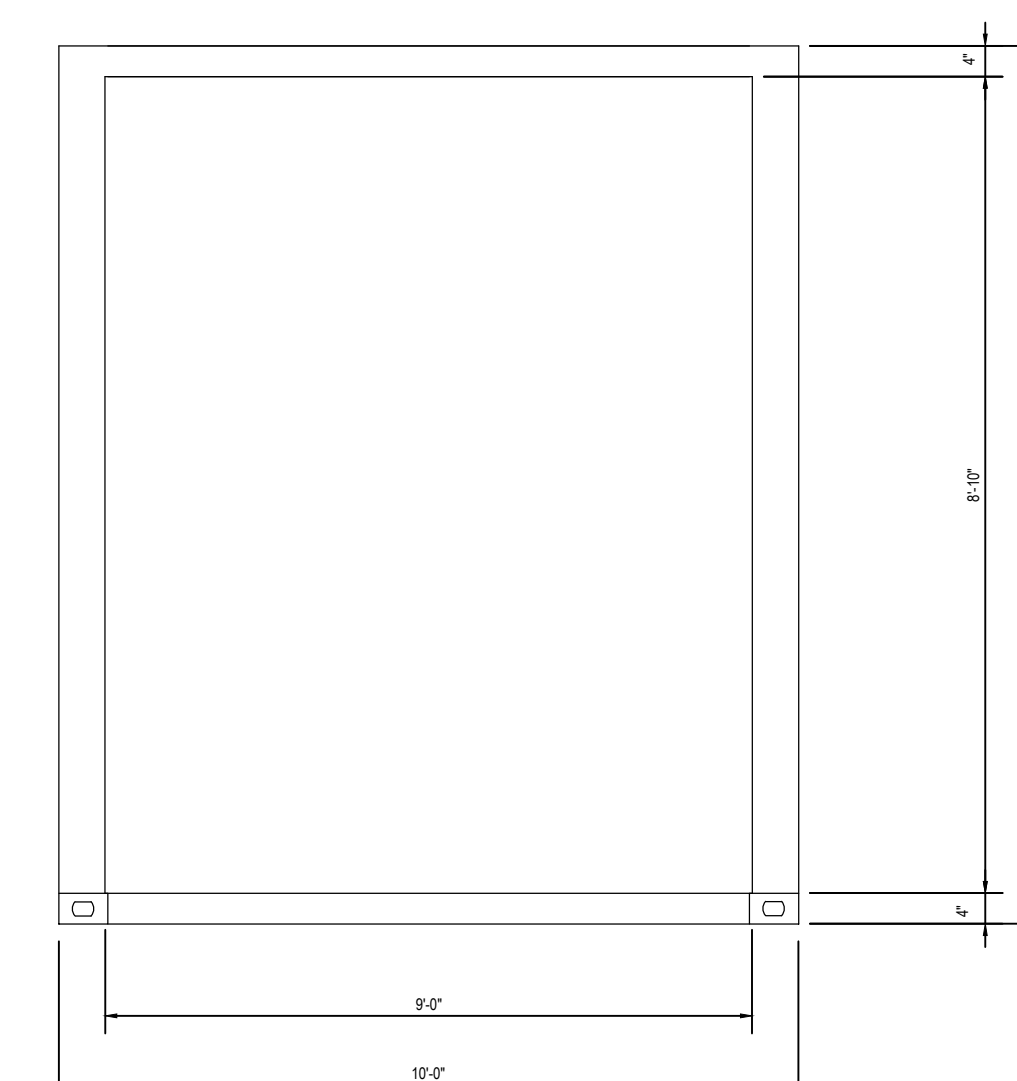
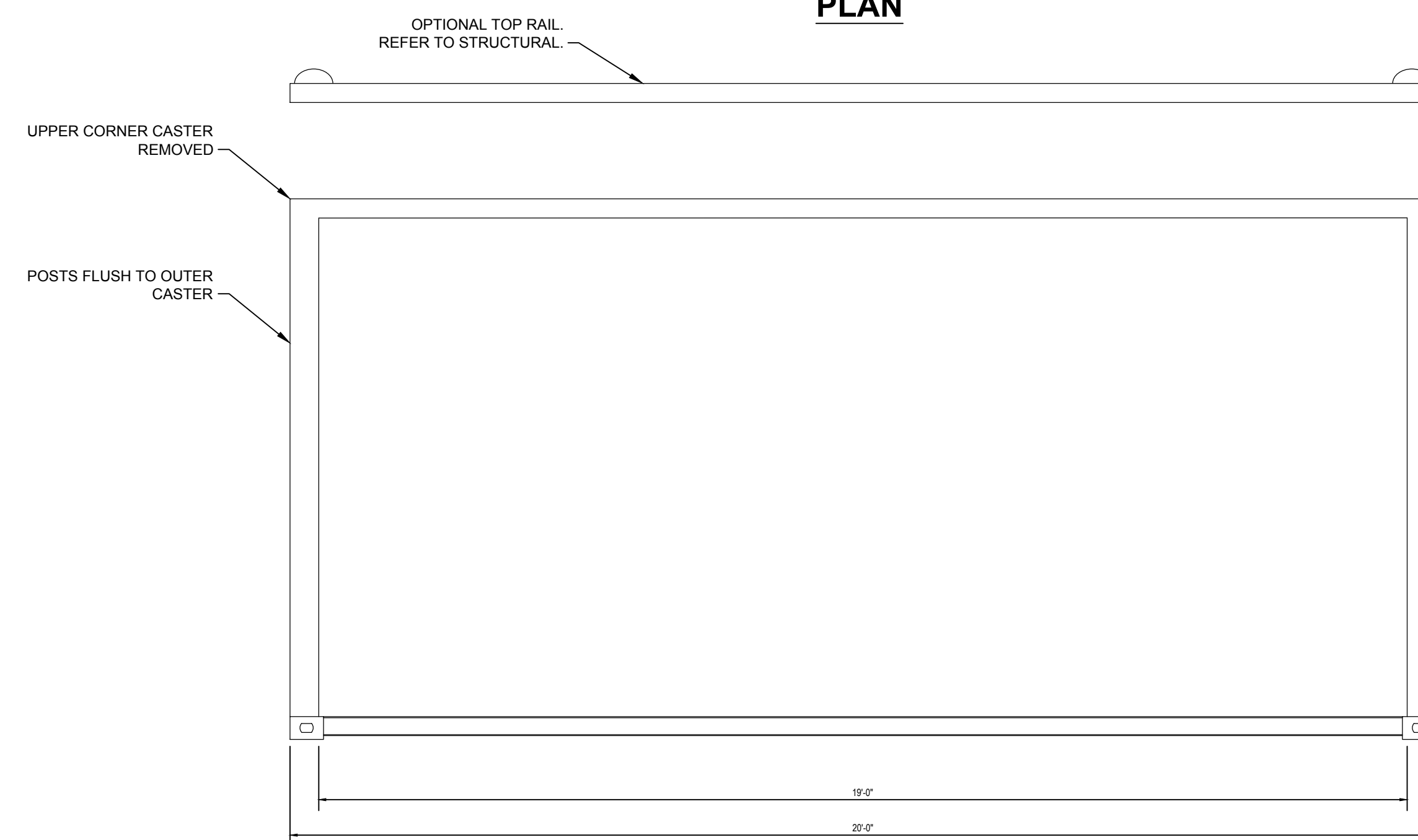
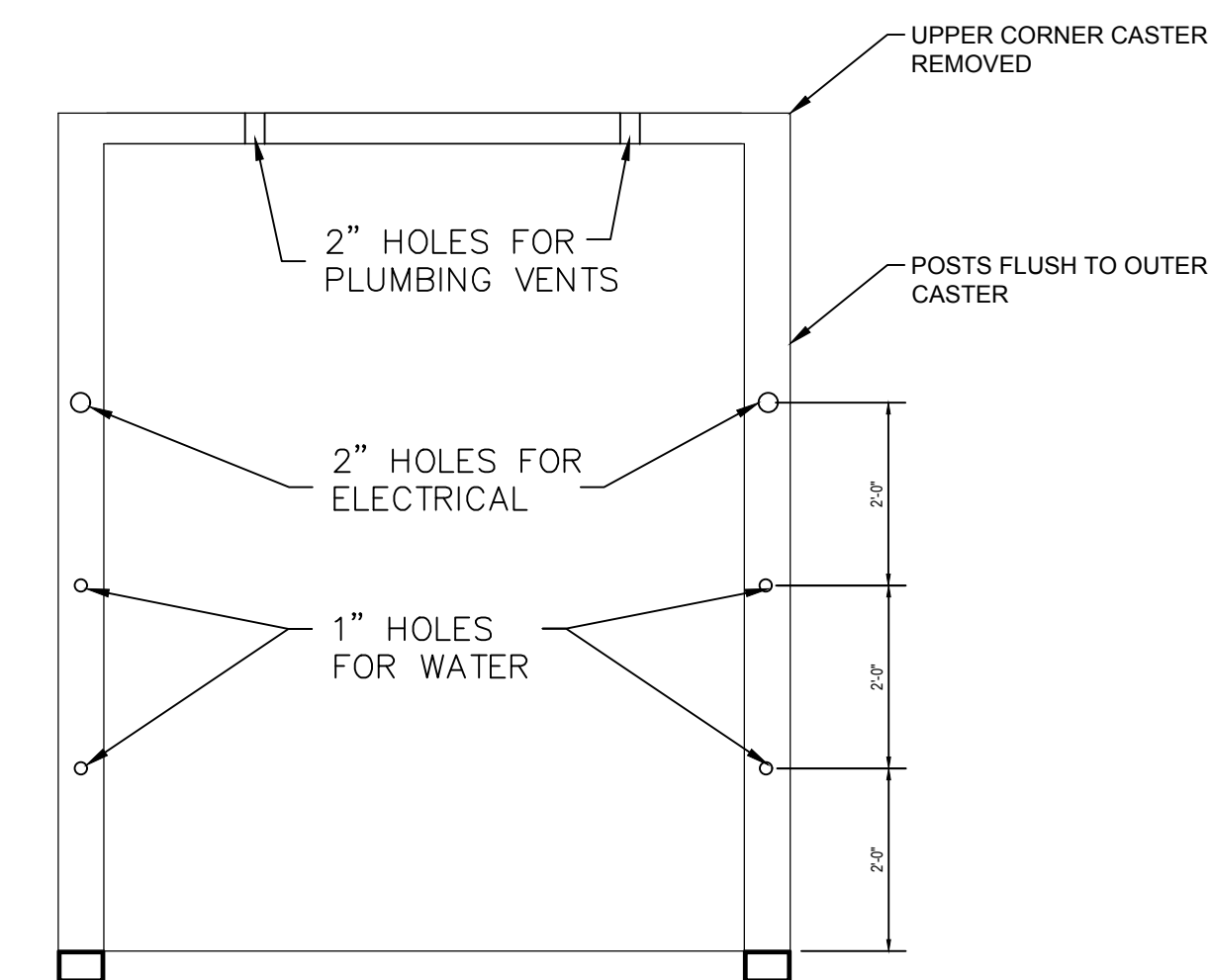
NOTE:
EXTERIOR DIMENSIONS ARE TO THE FACE OF STRUCTURAL COLUMN BASED ON TYPICAL ISO 20'-0" HIGH CUBE SHIPPING CONTAINER LAYOUT AND DO NOT INCLUDE EXTERIOR FINISHES.



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148

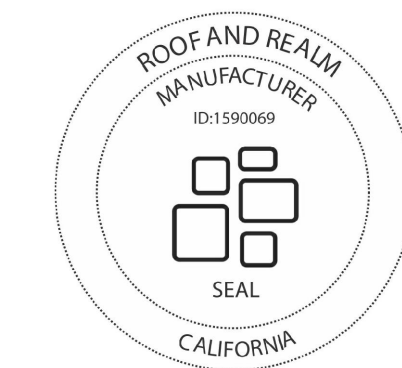
1 ISO BOTTOM CORNER FITTING
SCALE : NOT TO SCALE



END ELEVATION

SIDE ELEVATION

20'-0" LONG MODULAR HIGH CUBE
SCALE : 1/2" = 1'-0"



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

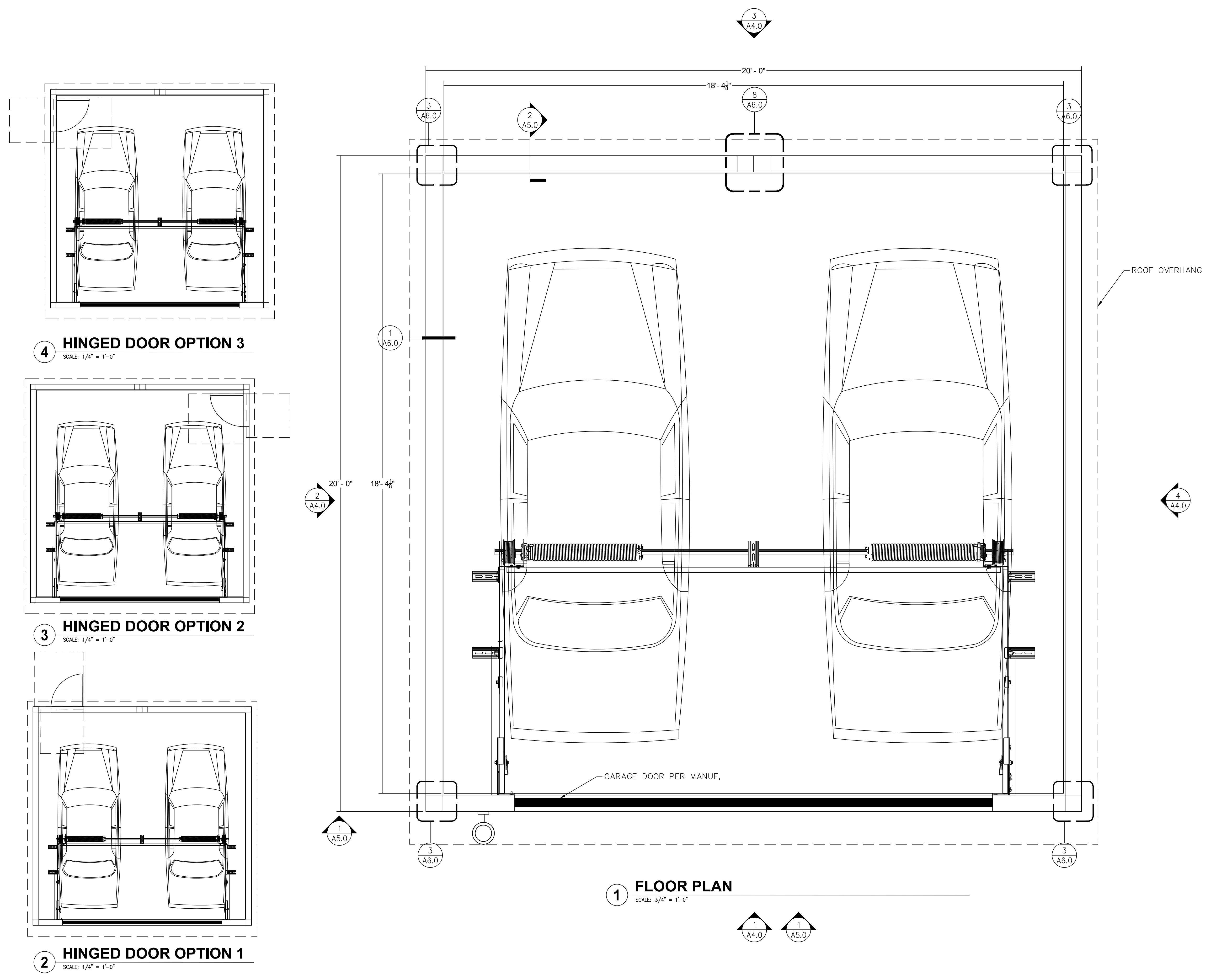
Issue Date **1/2/2024**

Plot Date **1/2/2024**

Modular Substructure Assumption

A3.0

Sheet



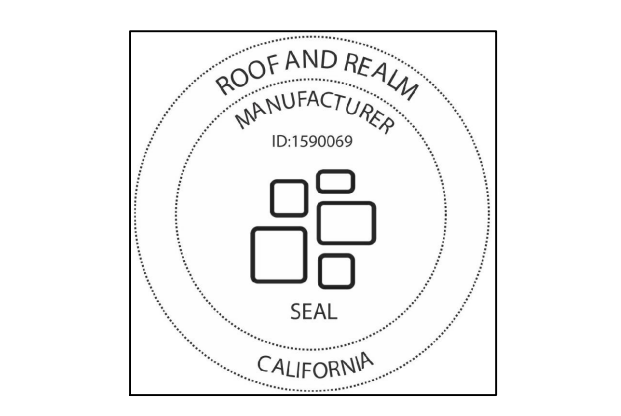
1 FLOOR PLAN
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Area Specification Symbol:
The area specification calls out applicable notes & description for that area. See specification list below.

General Specifications	
Section 9	Structural
Section 13	Fire
Section 14	Thermal
Section 16	Smart Home
Manufacturers to refer to sections 9-16 of specification sheet for general notes and specifications.	
Living Area / Bedrooms Specifications	
Section 4	4.01 Wall Boarding Material 4.02 Wall Boarding Material Wet Areas 4.04 Baseboard Trim 4.06 Door, Window Jam & Sills 4.07 Door Plinth 4.08 Door & Window Header Casing
4.09	Windows: Minimum net clear opening of 24 inches Minimum net clear opening of 20 inches Bottom of the clear opening not greater than 44 inches above the floor
4.10	Doors: Operational from inside of the room without the use of keys, tools, or special knowledge Minimum net clear opening of 5.7 square feet (5 square feet permitted for grade floor openings)
4.11	Interior Wall Corners
Section 5	5.09 Interior Ceiling Texture 5.10 Interior Ceiling Finish 5.19 Closet Shelves 5.20 Closet Rod
Section 10	10.05 Not Applicable 10.06 Hybrid Electric 40-50gal Water Heater 20' - 22' 10.07 Cooling 10.09 Thermostats
Section 11	11.12 Door Lights 11.13 Integrated USB Receptacles 11.14 Switches 11.15 Receptacles 11.18 General Lighting 11.19 Ceiling Fan Prep 11.20 Breaker Panel 11.21 2-Port HDMI Power Outlet
Kitchenette Area Specifications	
Section 4	4.01 Wall Boarding Material 4.02 Wall Boarding Material Wet Areas 4.04 Baseboard Trim 4.12 Door Material 4.13 Cabinet Carcass Material 4.14 Cabinet Door Hinges 4.15 Cabinet Drawer Glides 4.16 Cabinet Door & Drawer Bumpers 4.17 Countertop 4.18 Backsplash 4.21 Water Connection for Fridge 4.22 Vented Louver Door and venting for Hybrid Heat Pump
Section 5	5.07 Interior Wall Texture 5.08 Interior Wall Finish 5.10 Interior Ceiling Finish 5.21 Kitchen Sink 19"
Section 11	11.03 Kitchen Ceiling lights 11.13 Integrated USB Receptacles 11.14 Switches 11.15 Receptacles
Section 15	15.03 Range 15.04 Range Hood 15.05 Micro hood over Range 15.08 Garbage Disposal 15.09 Appliance Color 15.10 Refrigerator (Optional Water line) 15.11 2 Top Stove Burner 3.38"x11.88"x19.7" 15.12 18" Dishwasher
Bathroom Area Specifications	
Section 4	4.02 Wall Boarding Material Wet Areas 4.05 Bathroom Cabinets 4.06 Door, Window Jam & Sills 4.07 Door Plinth 4.08 Door & Window Header Casing 4.18 Backsplash 4.19 Cabinet Door & Drawer Style 4.20 Cabinet Door & Drawer Pulls 4.29 Medicine Cabinet RO 13" x 24"
Section 5	5.07 Interior Wall Texture 5.08 Interior Wall Finish 5.09 Interior Ceiling Texture 5.10 Interior Ceiling Finish 5.22 Bathroom Sink 16" - 24" 5.23 Tub & Shower Surrounds 5.24 Shower Head Height 5.25 Bathroom Mirrors 5.26 Shower Niches 16"W x 24"H x 6" D 5.27 Toilet Paper Holder 5.28 Shower Bench 21"H Width varies 5.29 Shower Door 7' Height Width varies Shower Curb 2-3/4" Width with Tile ready Shower Pan 4' Width Otherwise 3 1/2" Height
Section 10	10.01 Bathroom 10.02 Laundry Space 10.03 Washer & Dryer Vented 25"x23" (Stackable & Ventless Option)
Section 11	11.09 Bathroom Lights 11.14 Switches
Section 12	12.03 Elongated Toilet 12.04 Master Bath Toilet 12.08 Access Panel - Water In 12.09 Access Panel - Plumbing Access
Flooring Specifications	
Section 5	5.11 Kitchen Flooring 5.12 Living Room Flooring 5.13 Family Room Flooring 5.14 Hallway Flooring 5.15 Bedroom Flooring 5.16 Closet Flooring 5.17 Bathroom Flooring 5.18 Entry Flooring
Miscellaneous Specifications	
Section 11	11.01 Junction Box 11.02 Access Panel 11.20 Breaker Panel
Section 12	12.02 Water System 12.06 Hosebibs

ROOF AND REALM
MANUFACTURER
ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature
Sebastian Malano
Project

Project

Roof & Realm
A New ADU - G40
Residential Building Design

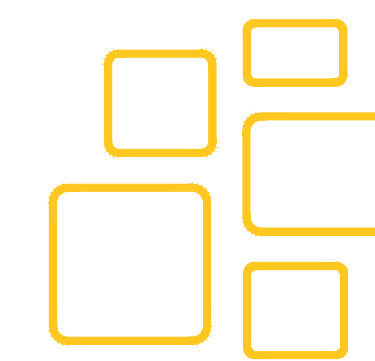
Number	Date	Description
1	1/2/24	REVISION

Revisions
Issue Date **1/2/2024**

Plot Date **1/2/2024**

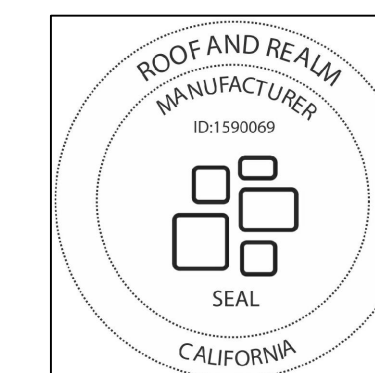
Floor Plan Option

A3.1
Sheet



ROOF AND REALM

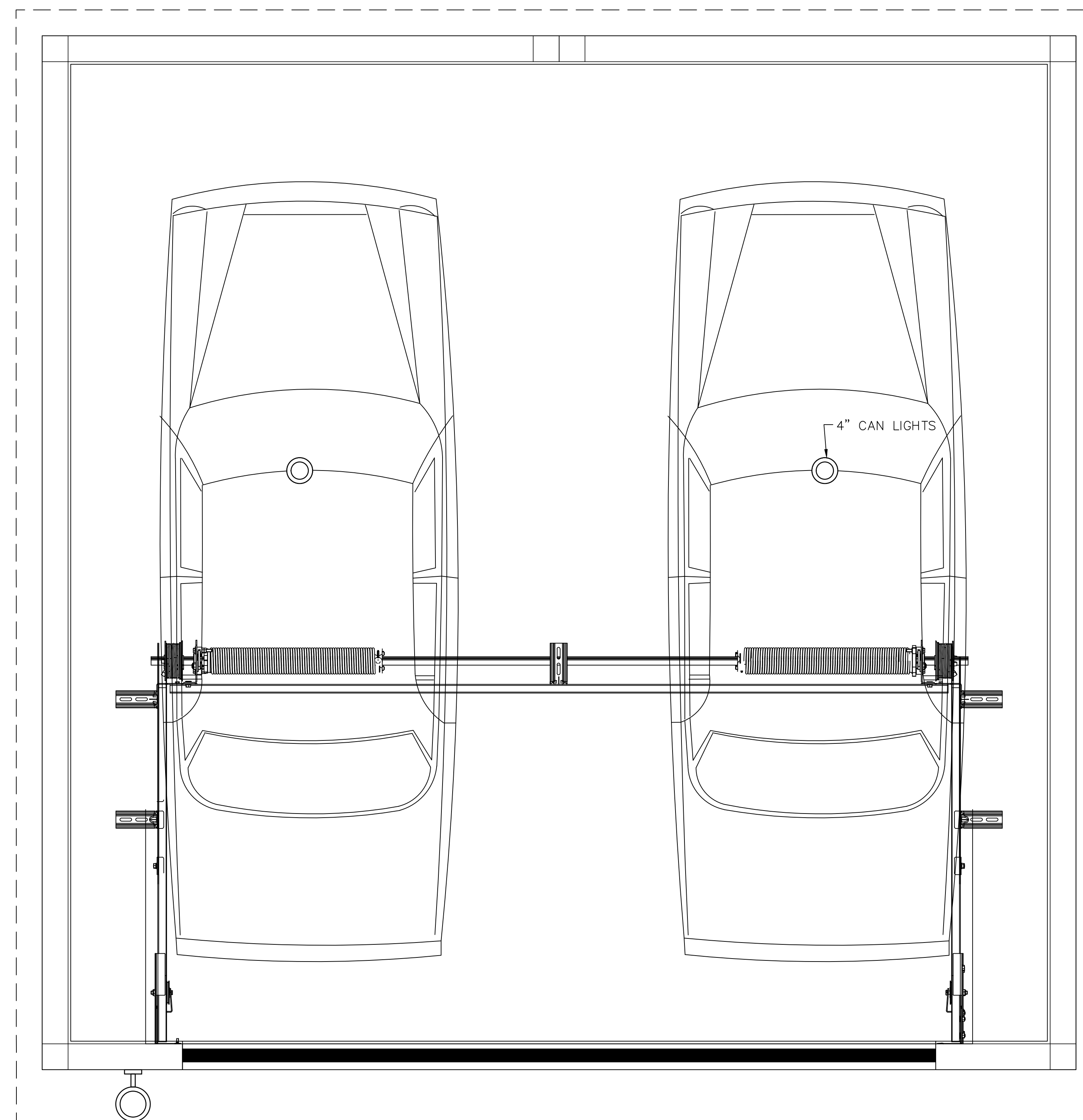
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project



ROOF LINE

SCONCES OPTIONAL

1 FLOOR PLAN
SCALE: 3/4" = 1'-0"

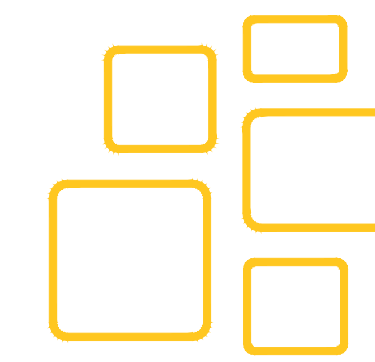
Number	Date	Description
1	1/2/24	REVISION

Revisions
Issue Date **1/2/2024**
Plot Date **1/2/2024**

Lighting Plan

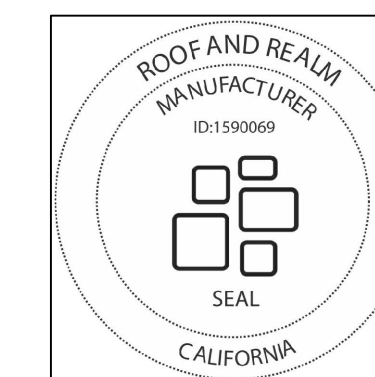
A3.2

Sheet



ROOF AND REALM

Manufacture ID: 1590069
 2245 Via De Mercados
 Concord, CA 94520
 Telephone: (866) 404- 1148

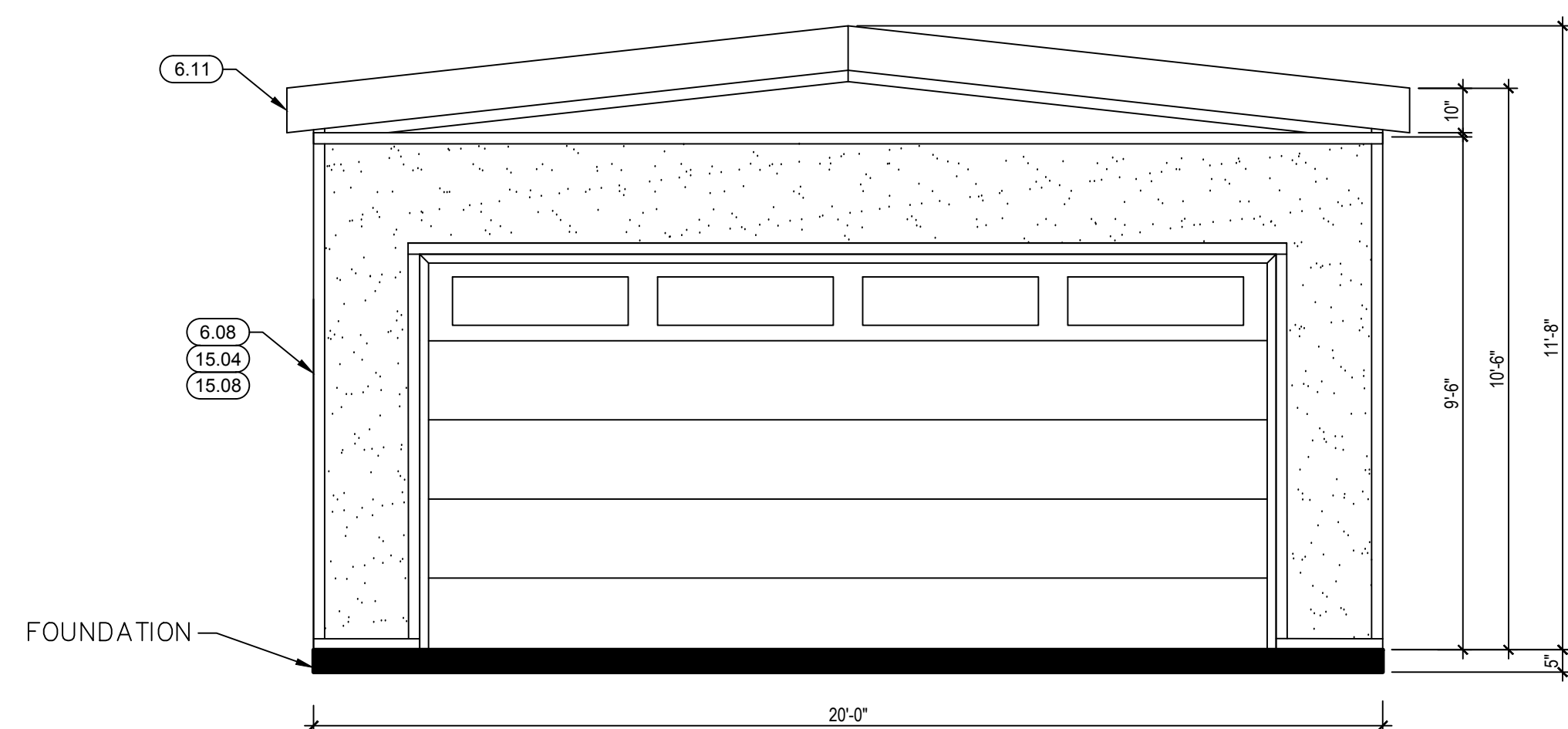


Corporate Officer Signature

Sebastian Malano

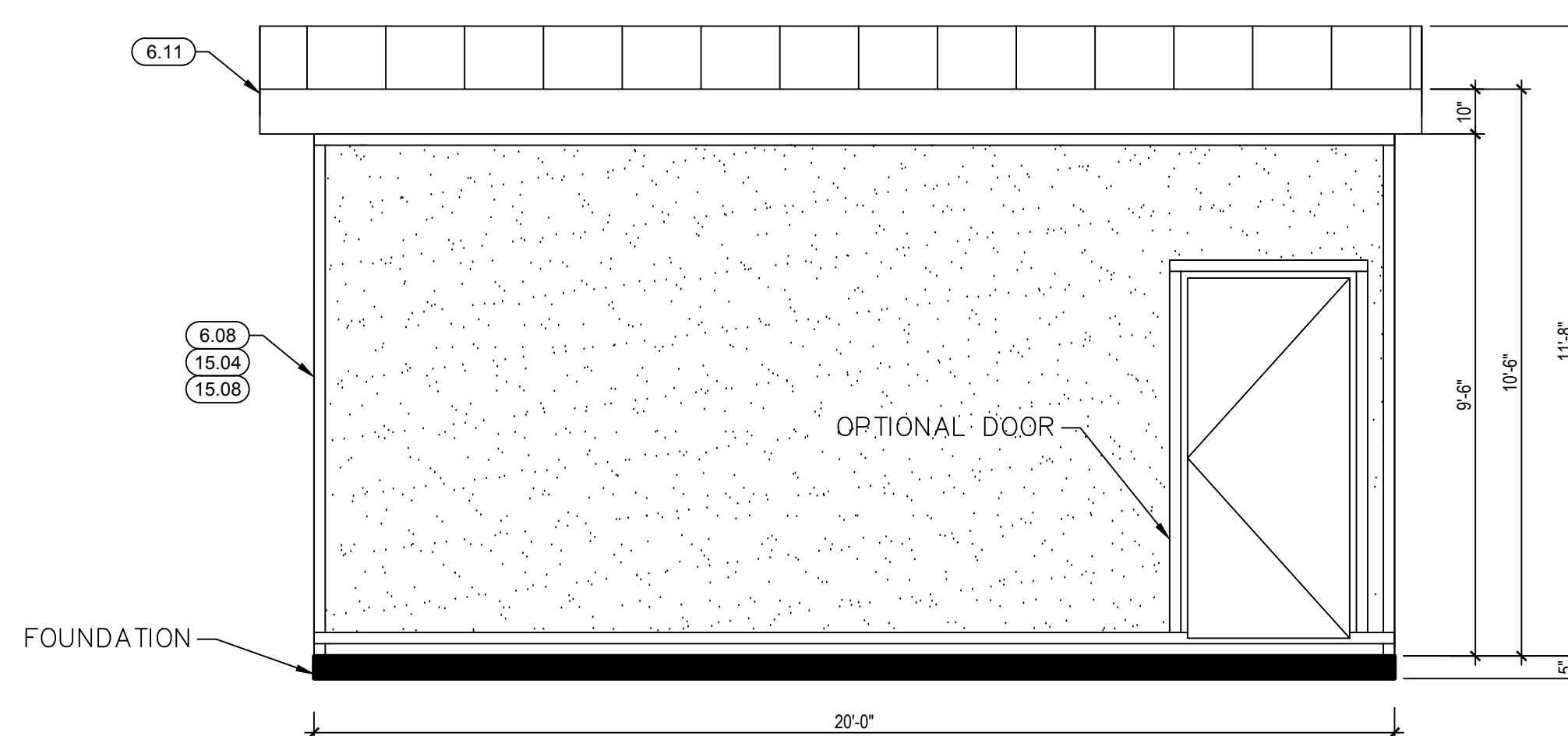
Project

Roof & Realm
A New ADU - G40
Residential Building Design



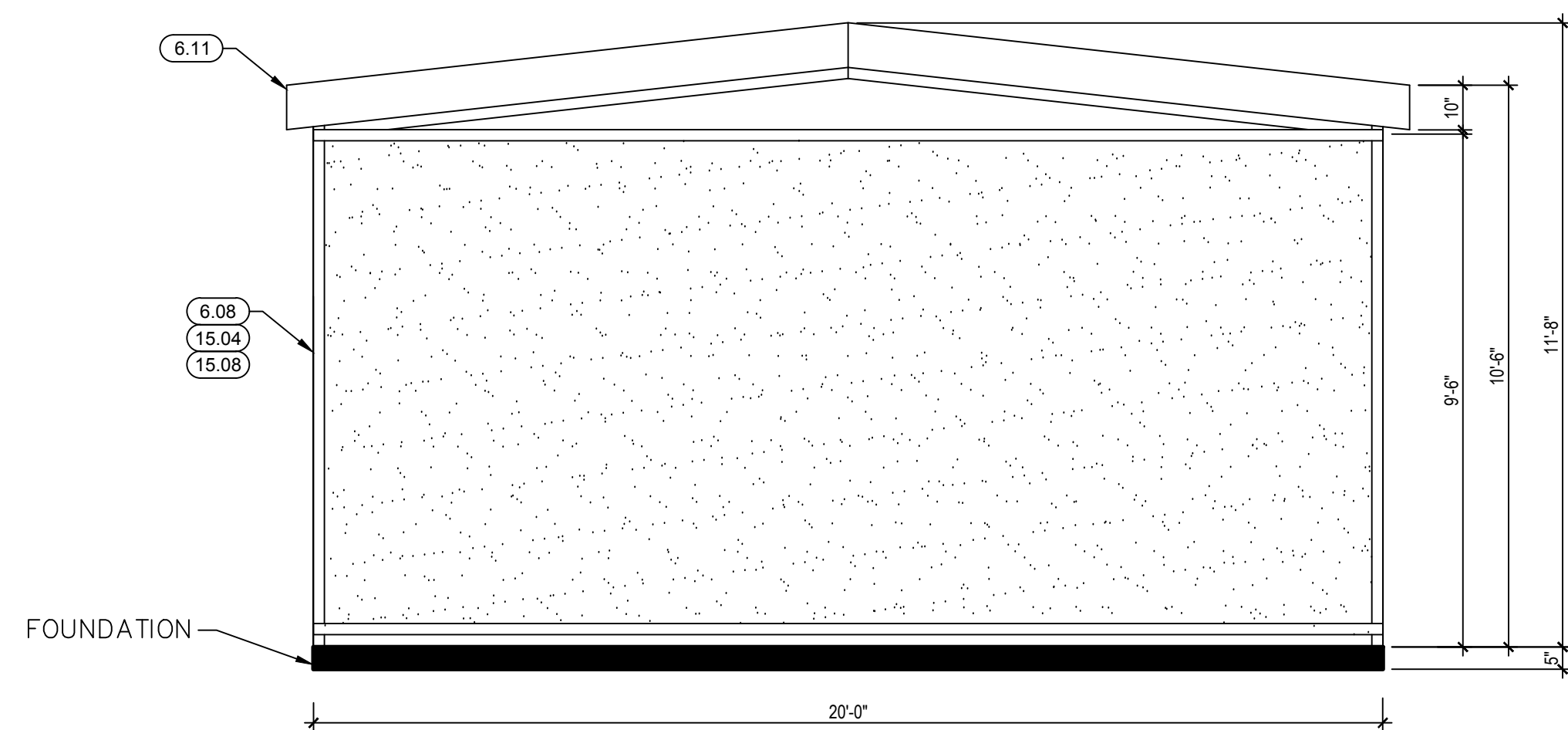
1 FRONT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



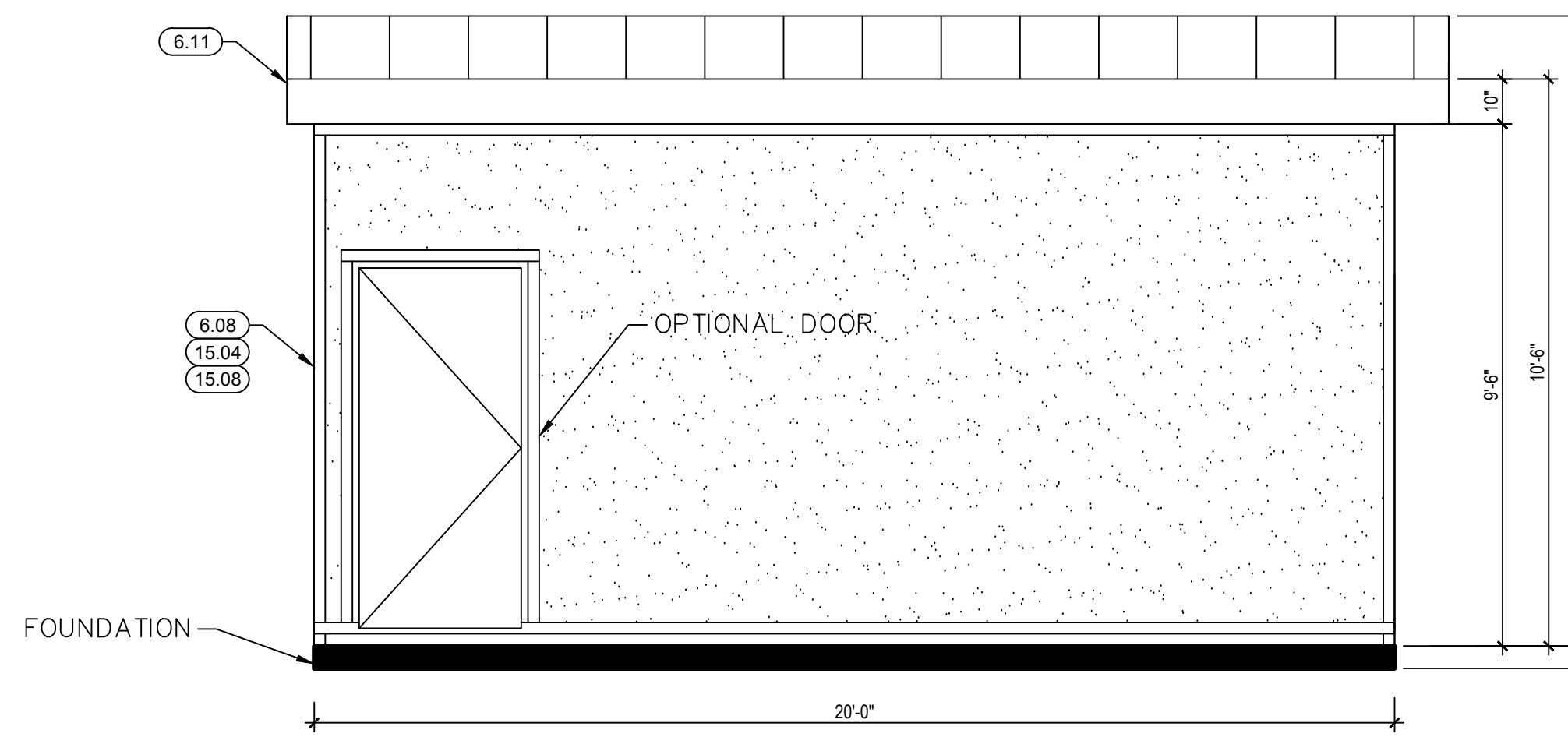
2 LEFT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



3 REAR ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



4 RIGHT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"

6 Exterior Finish

- 6.01 Windows Dual pane, Low-E, Argon filled glazing. Colors-White interior, Bronze exterior. See Title 24 requirements. See Client's specification
- 6.02A Standard Sliding Door System Standard Sliding Door System
- 6.02B Pocket or Bi Fold Option Optional System Manufacturer Selected.
- 6.03 Siding-01 HardiePanel™ Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane. (Board and Batten). See Client's specification. WUI Listing No. 8140-2026.0005
- 6.04 Siding-02 4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seem to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026.0501
- 6.05 Siding-03 HardiePlank™ Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026.0005
- 6.06 Siding-04 *AZEK Deck* - Composite deck board, all colors 1/2" Thick x 5.5 Width - 1" Thick x 3.5" Width or 5.5" Width. Class B Frame Spread Rating WUI Listing No. 8110-2042.0500, 8110-2044.0001 Refer to manufacturer's installation instructions and product data sheets
- 6.07 Siding -05 Metal Siding or Cladding
- 6.08 Exterior Wall Assembly 1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier building wrap or equal. Refer to customer order for selected exterior finish material.
- 6.09 Roofing-01/ All slope roof conditions Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.
- 6.10 Roofing-02 all flat roof conditions Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.
- 6.11 Fascia/Corner/Join Metal clad. Cladding to be Paint Match to Trim designated by Owner | Builder with on-sight clamping system designed to fit and adhere quickly. Color-Dark Gray or Black.
- 6.12 Entry Door Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1/2" inches (38 mm) lower than the top of the threshold.)
- 6.13 Soffit Flat metal clad to match metal clad fascia.
- 6.14 Exterior Utility Access Builder selected or client change order.
- 6.15 Panelize Shower Screen-01 Builder selected or client change order.
- 6.16 Panelize Shower Deck Builder selected or client change order.
- 6.17 Panelize Deck Builder selected or client change order.
- 6.18 Entertainer Door Builder selected or client change order.
- 6.19 Trim-01 3" fiber cement trim. Color TBD.
- 6.20 Trim-02 Flat metal clad, snap screw track mechanism in place.
- 6.21 Trim-03 1 x 2 trim board, pin at top. Caulk bottom joint.

13 Fire Suppression (Not Applicable)

14 Wildland Urban Interface (WUI Compliance)

- 14.01 WUI Compliance Client shall specify in writing if home is WUI compliant. Otherwise rigid foambord insulation shall be installed and be considered combustible

15 Thermal

- 15.01 Radiant Barrier Roof - refer to client order specifications.
- 15.02 NOT APPLICABLE
- 15.03 Ceiling Insulation Refer to Title 24 Doc for specifications.
- 15.04 Wall Insulation Refer to Title 24 Doc for specifications.
- 15.05 Floor Insulation Refer to Title 24 Doc for specifications.
- 15.06 Roof Insulation Refer to Title 24 Doc for specifications.
- 15.07 Rain Screen Water drainage system must be installed between siding and sheathing per manufacturer recommendations
- 15.07 Building Wrap Water resistant air barrier membrane compound fluid or membrane
- 15.08 Window Flashing Match building wrap tape system and add additional pan flashing at head of each window if windows do not come with drip flashing.
- 15.09 Door Flashing Match building wrap tape system and add additional of each window if windows do not come with drip flashing.

Number	Date	Description
1	1/2/24	REVISION

Revisions

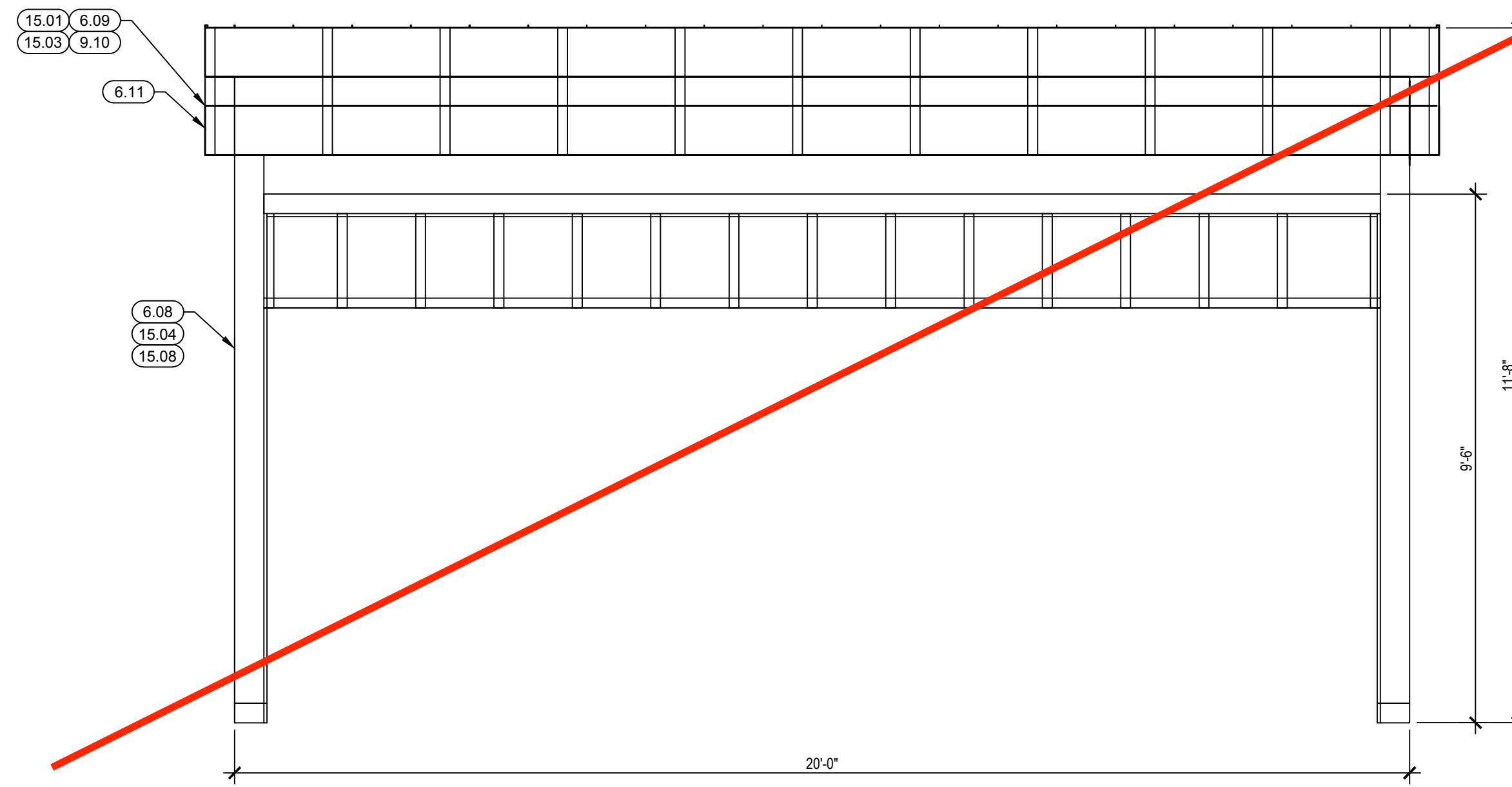
Issue Date **1/2/2024**

Plot Date **1/2/2024**

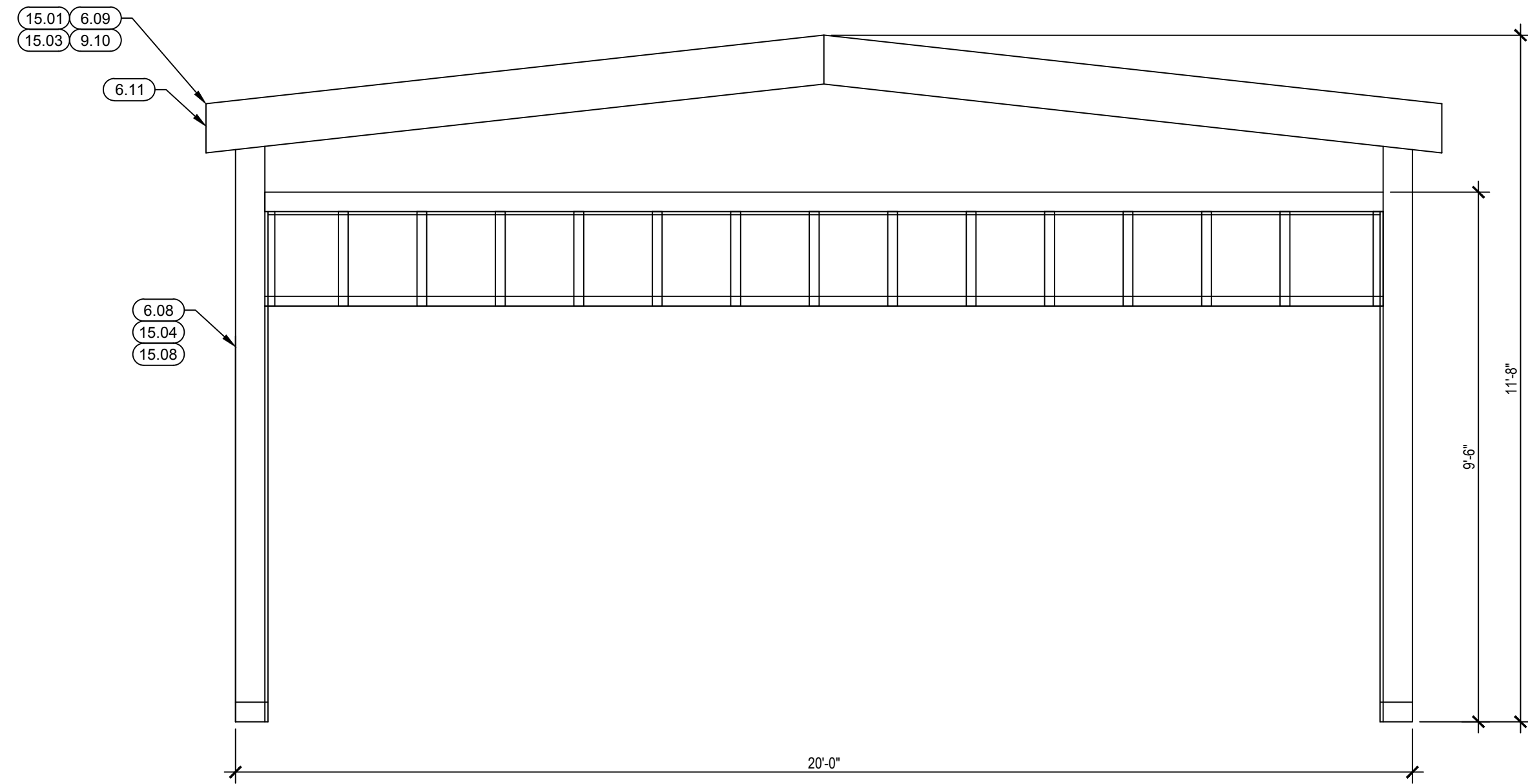
Gable Elevation

A4.2

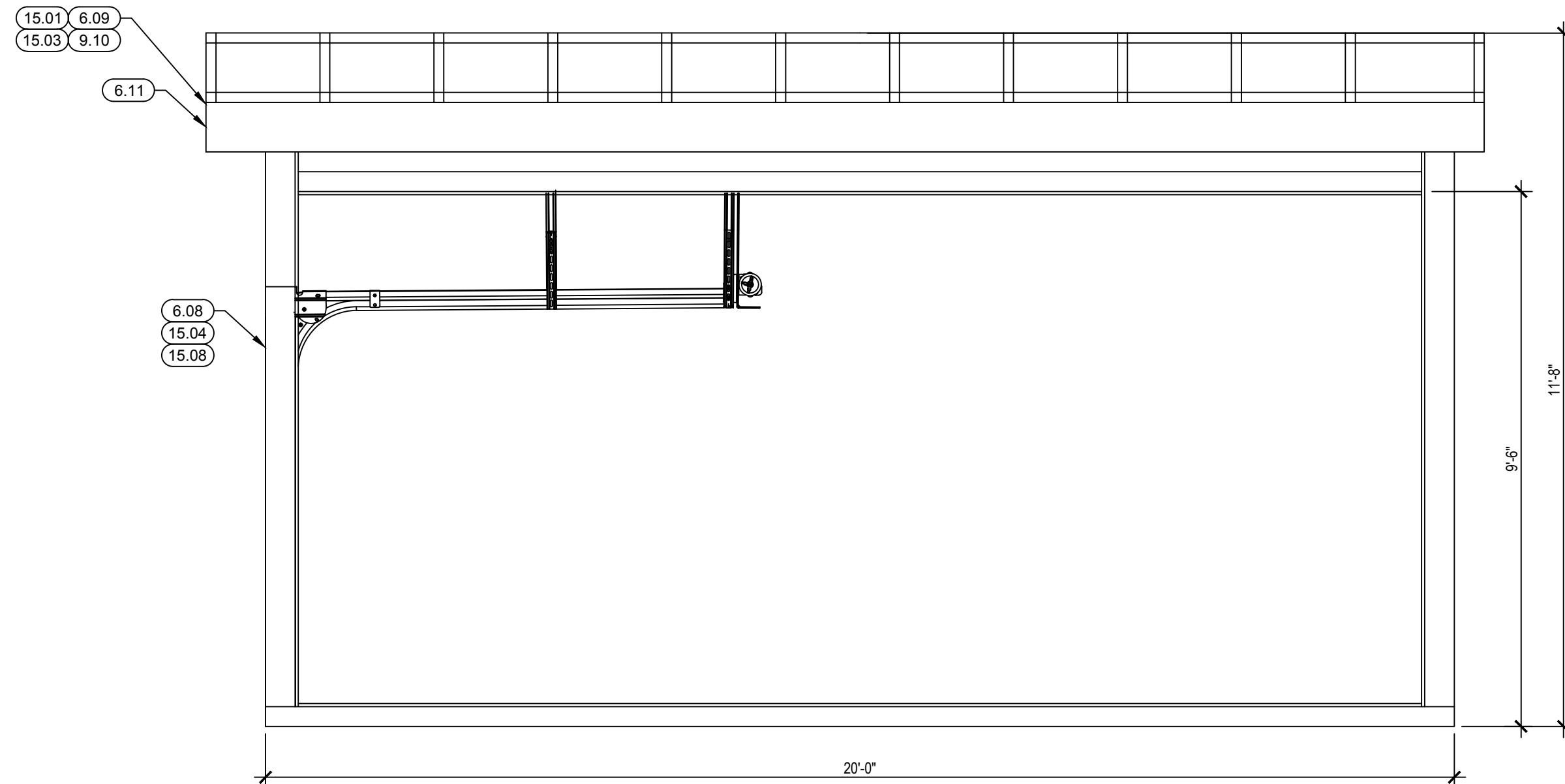
Sheet



3 FRONT SECTION VIEW - LOW SLOPE
SCALE: 1/2" = 1'-0"

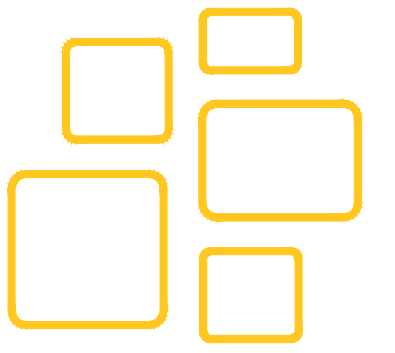


2 FRONT SECTION VIEW - GABLE
SCALE: 1/2" = 1'-0"

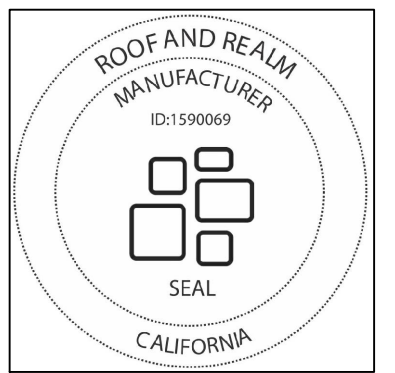


1 SIDE SECTION VIEW - GABLE
SCALE: 1/2" = 1'-0"

3.13 Appliances	Electrical appliances (standard)/Optional gas appliances	9.01 Hardware	All hardware to be Simpson hardware installed per manufacturers instructions to achieve the highest listed load values or similar approved by Structural Engineer.
4 Architectural		9.02 Fire Blocking	Fire blocking in interior and exterior walls as required by the California Building Code (CBC).
4.01 Exterior Wall Boarding	Water and Mold Resistant 5/8" material with Air and Water Membrane.	9.03 Floor Decking	Minimum of 3/4 or 23/32 thickness and meets or exceeds PS2 Standards.
4.02 Interior Wall Boarding Material	Gypsum wallboard, 5/8" where required by (CBC) California Building Code.	9.04 Blocking	All elements fastened to the walls including toilet paper holders, towel bars, mirrors, robe hooks, shelves, closet rods, cabinets, etc. must be securely anchored to the solid blocking, sufficient to prevent pull out.
4.03 Interior Bathroom Wall Boarding Material	5/8" moisture and mold resistant gypsum wallboard.	9.05 Exterior Wall Assembly	Per manufacturer specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
4.04 Door Offset	A minimum of 3 inches from center of jam to face of finish exterior wall.	9.06 Interior Wall Assembly	Per manufacturer specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
4.05 Baseboard Trim	Baseboard trim shall be 7/16" min 4-3/4" Height Trim	9.07 Interior Plumbing Wall Assembly	Per manufacturer specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
4.06 Bathroom Cabinets	Shaker Cabinet Design - Owner Builder. To be placed in interiors	9.08 Ceiling Assembly	Per manufacturer specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
4.07 Door, Window Jam & Sills	Nominal 1x3 MDF	9.09 Floor Assembly	Per manufacturer specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
4.08 Door Plinth	Nominal 1x3 MDF	9.10 Roof Assembly	Assumed as per manufacturer specs, to be approved by R&R via shop plan review, light gauge steel frame structure as per structural plans with 1/2" radiant barrier sheathing on the exterior side and 5/8" gypsum wallboard on the ceiling side. Thickness should allow for concealment of structural container elements including beams and posts. Roof Section assembly shall be shipped separately.
4.09 Door & Window Header Casing	Nominal 1x3 MDF	9.11 Vaulted and Transom Walls	Vaulted walls to be light gauge steel framing as per structural plans with boarding and finishes to match walls below as per plan.
4.10 Window Header Height	Match doors to the trim aligns.	9.12 Roof assembly- flat roof	Gypsum Board as per T24
4.11 Door Height	6'-8" Interior/ Exterior as per plan	9.13 Roof assembly- flat roof	TPO roofing membrane, 0.45 mil, 10 foot width, Class "A" rated, Water Proof
4.12 Interior Wall Corners	Caulk after baseboard with miter cuts	9.14 NOT APPLICABLE	
4.13 Door Material	Shaker Cabinet Design - Modular Kits	9.15 Interior Transom Wall	Softie Shelf.
4.14 Cabinet Carcass Material	Shaker Cabinet Design - Modular Kits	9.16 Upper Deck Handrail	Handrail assembly with 1/4" tempered glass pr metal rail per client Specifications refer to structural for design and specifications.
4.15 Cabinet Door Hinges	Shaker Cabinet Design - Modular Kits	9.17 Stair Assembly	Refer to structural plans for staircase assembly as per code
4.16 Cabinet Drawer Glides	Shaker Cabinet Design - Modular Kits		
4.17 Cabinet Door & Drawer Bumpers	Shaker Cabinet Design - Modular Kits		
4.18 Countertop	Quartz SLAB with 1.5" square edge. Color TBD. See product Guide. Client will specify with coordinating grout.	12 Plumbing	
4.19 Backsplash	Quartz SLAB 4" high, optional full height under cabinet. Color TBD. See product Guide. Client will specify with coordinating grout.	12.01 DWV System	As per plan.
4.20 Surrounds	Quartz TILE or optional SLAB full height. Color TBD. See product Guide. Client will specify with coordinating grout. Shampoo Niches Standard in each Shower (14"w x 24"h x 5'd)	12.02 Water System	As per plan.
4.21 Water Heater Door	Louvered when required(See Manufacturer Specifications)	12.03 Toilets	Elongated
4.22 Cabinet Hardware Finish	To match other hardware selected. See client specification Nickel, Black, or (Gold Optional)	12.04 Master Bath Toilet	Elongated
4.23 Cabinet Interior Finish	Per client specification.	12.05 Outdoor Shower	Optional Outdoor Shower behind existing plumbing.
4.24 Roof Pitch	Refer to structural and client selected change order.	12.06 Hosebibbs	As per plan.
4.25 Roof Finish	Refer to client selected change order or product guide.	12.07 Refrigerator	As per plan.
		13 Fire Suppression (Not Applicable)	
5 Interior Finish		14 Wildland Urban Interface (WUI Compliance)	
5.01 Interior Swinging Door Styles	Square edge style interior hollow-core doors to open with handle to match hardware color selection.	14.01 WUI Compliance	Client shall specify in writing if home is WUI compliant. Otherwise rigid foambord insulation shall be installed and be considered combustible
5.02 Interior Barn Door Style	Square edge hollow core flat panel barn door with rail hardware and handle to match.		
5.03 Interior Swinging Door Finish	Primed & painted Client Selected Colors to match trim color	15 Thermal	
5.04 Interior Swinging Door Handle Type	Knobs or Handle option Manufacture Selected and designated. See client specification	15.01 Radiant Barrier	Roof - refer to client order specifications.
5.05 Interior Door Hardware Finish	Knobs and Handles option Manufacture Selected and designated. See client specification	15.02 NOT APPLICABLE	
5.06 Interior Wall Texture	Interior Walls Orange peel finish.	15.03 Ceiling Insulation	Refer to Title 24 Doc for specifications.
5.07 Interior Wall Finish	Primed & Painted, off-white "Swiss Coffee". See Client's specification	15.04 Wall Insulation	Refer to Title 24 Doc for specifications.
5.08 Interior Ceiling Texture	Interior Walls Orange peel finish.	15.05 Floor Insulation	Refer to Title 24 Doc for specifications.
5.09 Interior Ceiling Finish	Primed & Painted, Same as trim. See Client's specification.	15.06 Roof Insulation	Refer to Title 24 Doc for specifications.
5.10 Kitchen Flooring	See Client's specification	15.07 Rain Screen	Water drainage system must be installed between siding and sheathing per manufacturer recommendations
5.11 Living Room Flooring	See Client's specification	15.07 Building Wrap	Water resistant air barrier membrane compound fluid or membrane
5.12 Family Room Flooring	See Client's specification	15.08 Window Flashing	Match building wrap tape system and add additional pan flashing at head of each window if windows do not come with drip flashing.
5.13 Hallway Flooring	See Client's specification	15.09 Door Flashing	Match building wrap tape system and add additional of each window if windows do not come with drip flashing.
5.14 Bedroom Flooring	See Client's specification		
5.15 Closet Flooring	See Client's specification		
5.16 Bathroom Flooring	See Client's specification		
5.17 Entry Flooring	See Client's specification		
5.18 Closet Shelves	Wire and Rod		
5.19 Closet Rod	Steel 1 1/4" diameter with steel supports, Color - White.		
5.20 Kitchen Sink	490SF & Below - Under-mount sink see Product Guide 19" or as available 490SF & Above - Under-mount sink see Product Guide 24" or as available		
5.21 Bathroom Sink	Under-mount sink see Product Guide		
5.22 Tub & Shower Surrounds	Quartz Slab or Marble Slab, Color,TBD. Tub only in SFH units or by option. Shower should match kitchen unless otherwise specified		
5.23 Shower Head Height	Shower head shall be placed 80" above shower pan.		
5.24 Bathroom Mirrors	Non Standard when installed shall match hardware.		
5.25 Shower Niches	Builder selected minimum 14"w x 24"h x 5'd.		
5.26 Toilet Paper Holder	Wall mounted toilet paper holder. See Client's specification.		
6 Exterior Finish			
6.01 Windows	Dual pane, Low-E, Argon filled glazing. Colors-White interior, Bronze exterior. See Title 24 requirements. See Client's specification		
6.02A Standard Sliding Door System	Standard Sliding Door System		
6.02B Pocket or Bi Fold Option	Optional System Manufacturer Selected.		
6.03 Siding-01	HardiePanel™ Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane (Board and Batten). See Client's specification. WUI Listing No. 8140-2026-0005		
6.04 Siding-02	4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seams to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026-0501		
6.05 Siding-03	HardiePlank™ Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026-0005		
6.06 Siding-04	"AZEK Deck" - Composite deck board, all colors 1/2" Thick x 5.5 Width - 1" Thick x 3.9" Width or 5.9" Width. Class B Frame Spread Rating WUI Listing No. 8110-2042-0500, 8110-2044-0001 Refer to manufacturer's installation instructions and product data sheets		
6.07 Siding-05	Metal Siding or Cladding		
6.08 Exterior Wall Assembly	1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier, building wrap or equal. Refer to customer order for selected exterior finish material.		
6.09 Roofing-01 All slope roof conditions	Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.		
6.10 Roofing-02 all flat roof conditions	Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.		
6.11 Fascia/Corner/Joint	Metal clad. Cladding to be Paint Match to Trim designated by Owner Builder with on-sight cladding system designed to fit and adhere quickly. Color-Dark Gray or Black.		
6.12 Entry Door	Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1 1/2" inches (38 mm) lower than the top of the threshold.)		
6.13 Soffit	Flat metal clad to match metal clad fascia.		
6.14 Exterior Utility Access	Builder selected or client change order.		
6.15 Panelize Shower Screen-01	Builder selected or client change order.		
6.16 Panelize Shower Deck	Builder selected or client change order.		
6.17 Panelize Deck	Builder selected or client change order.		



ROOF AND REALM
Manufacture ID: 1990069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

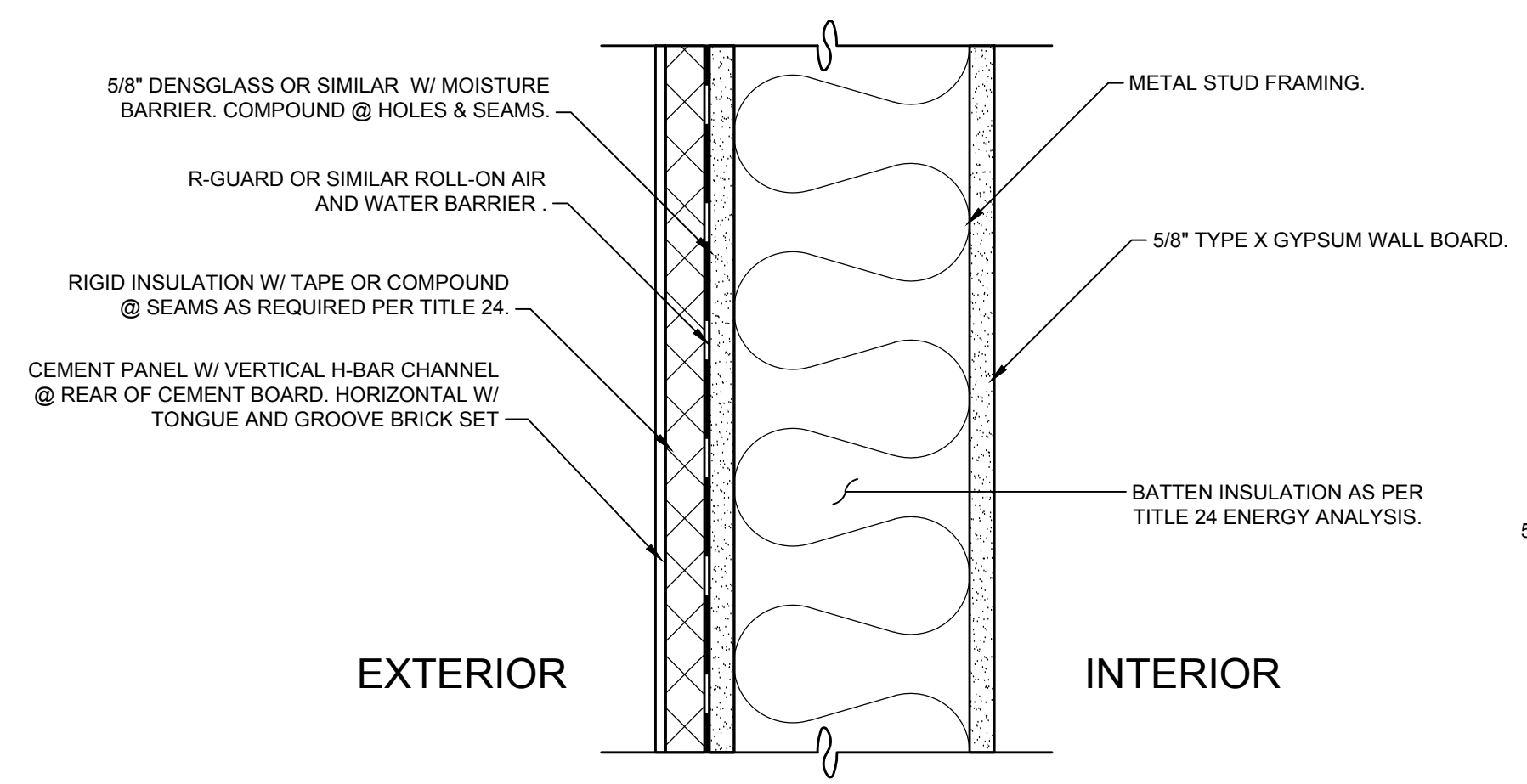
Issue Date 1/2/2024

Plot Date 1/2/2024

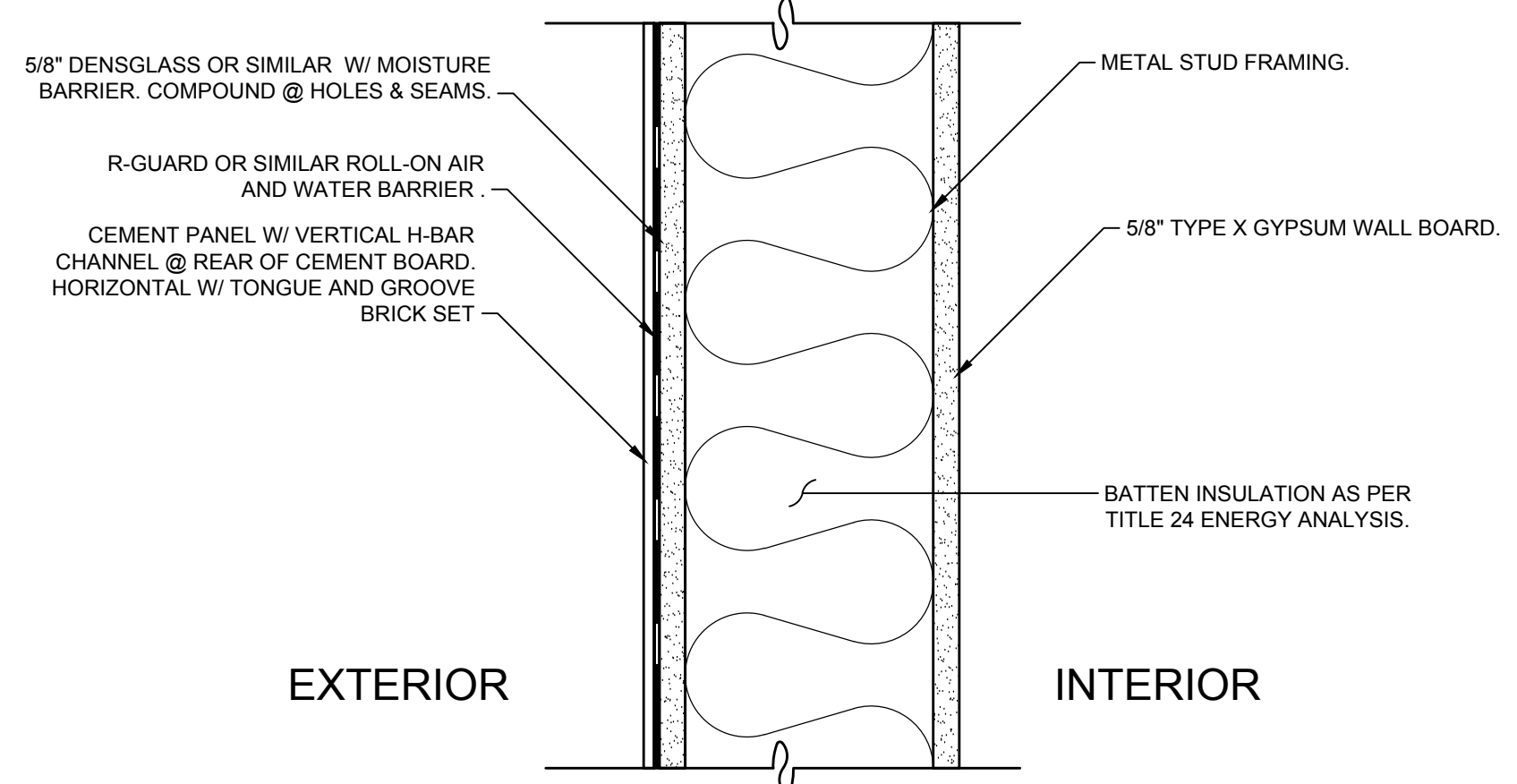
Building Sections

A5.0

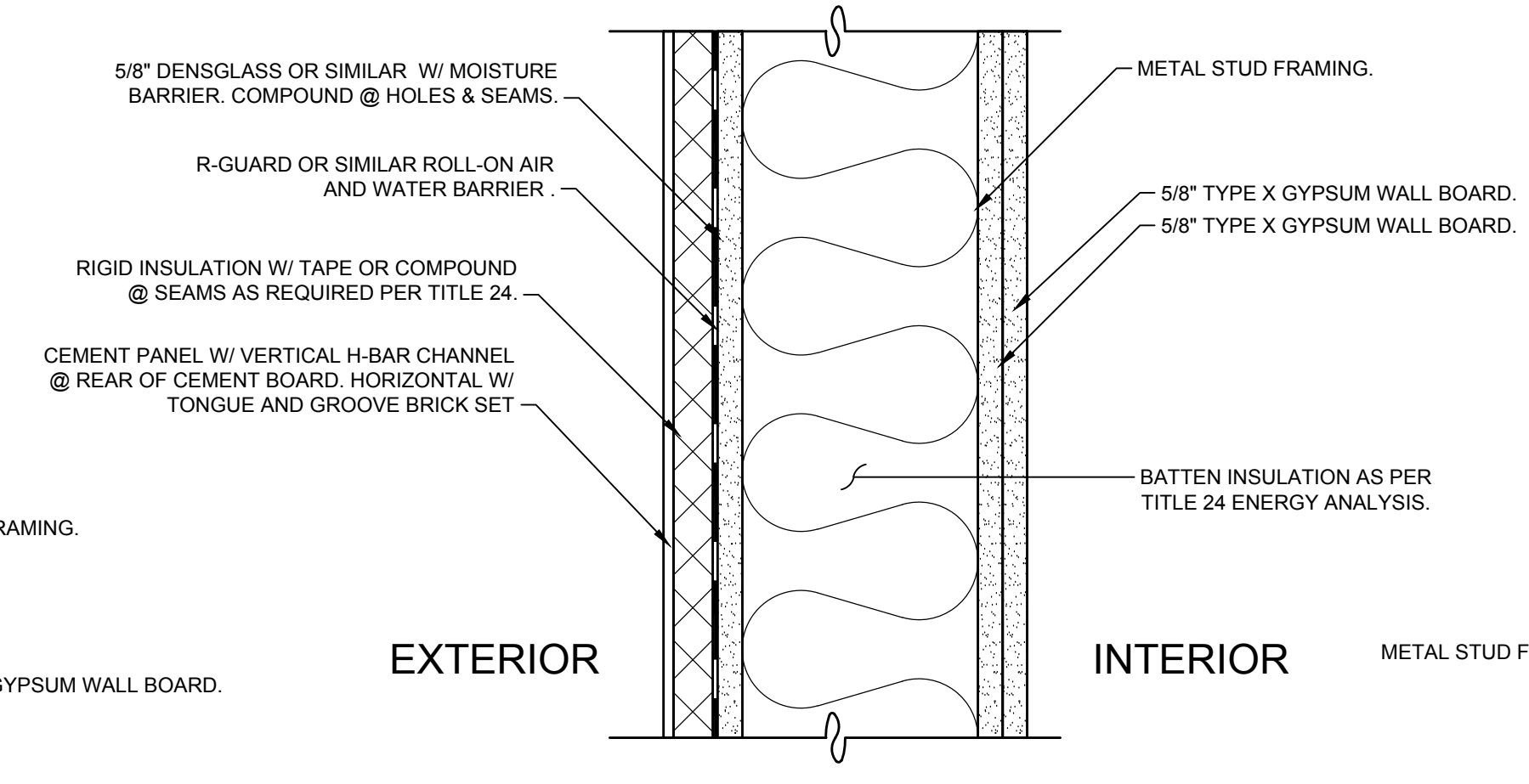
Sheet



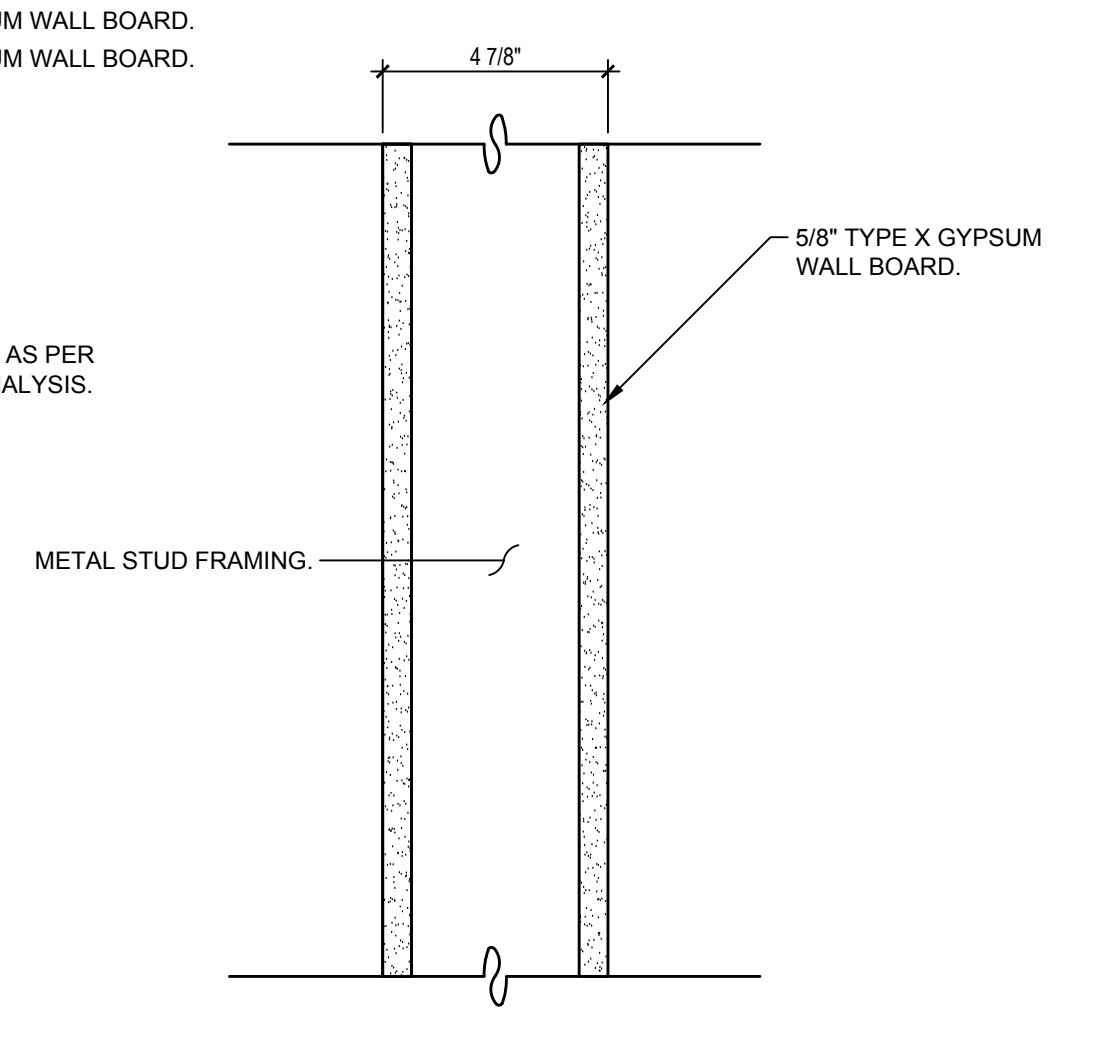
1 EXTERIOR WALL ASSEMBLY 1 HOUR
SCALE : 3" = 1'-0"



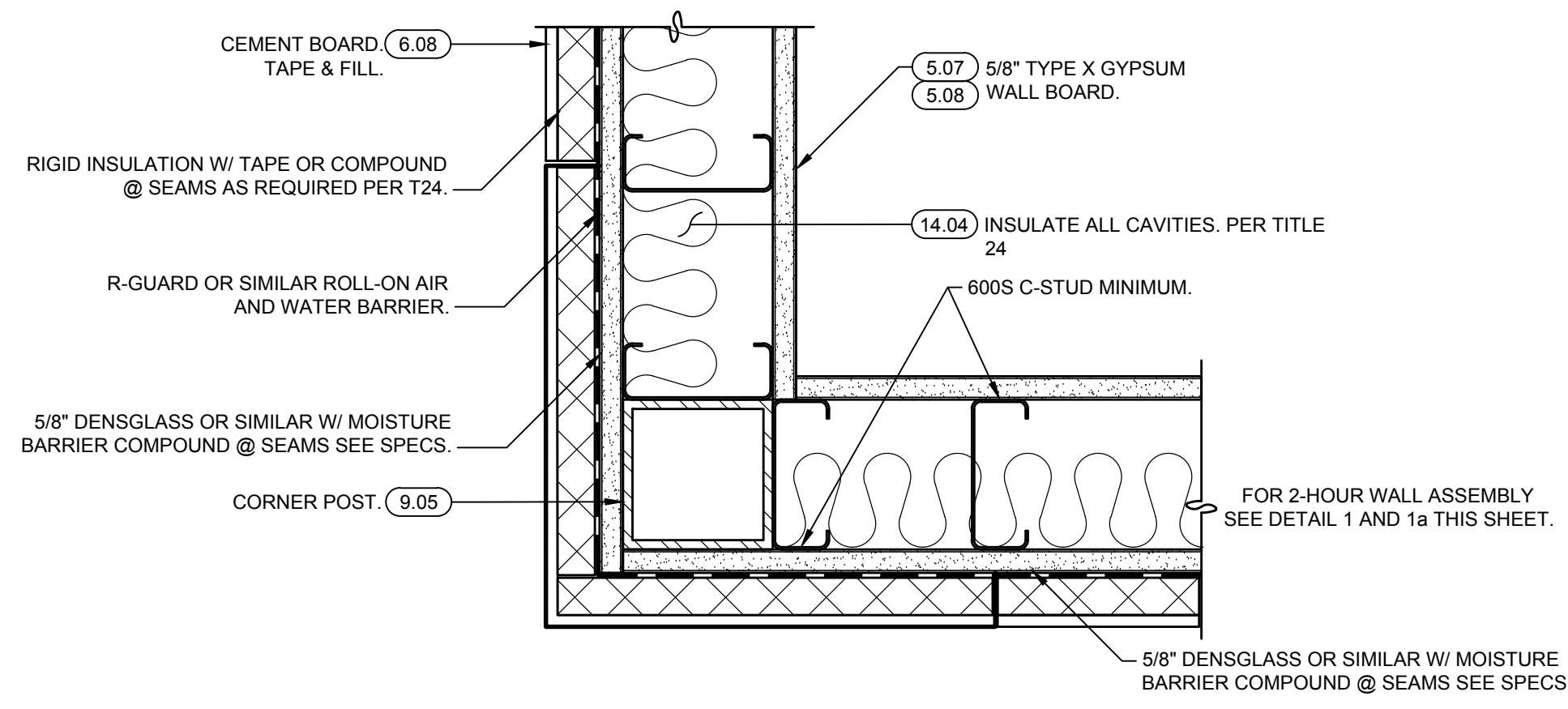
1a EXTERIOR WALL ASSEMBLY / NO RIGID INSULATION
SCALE : 3" = 1'-0"



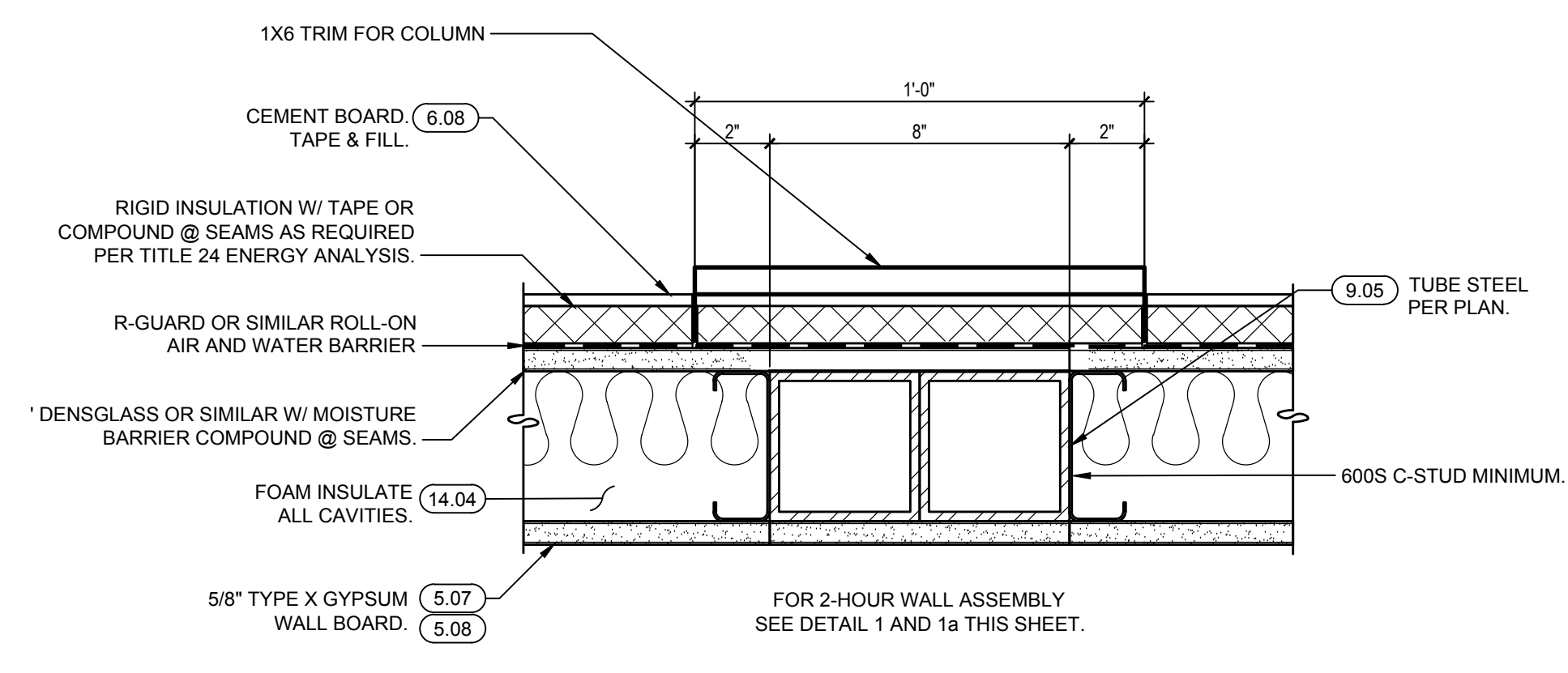
1b EXTERIOR WALL ASSEMBLY 2 HOUR
SCALE : 3" = 1'-0"



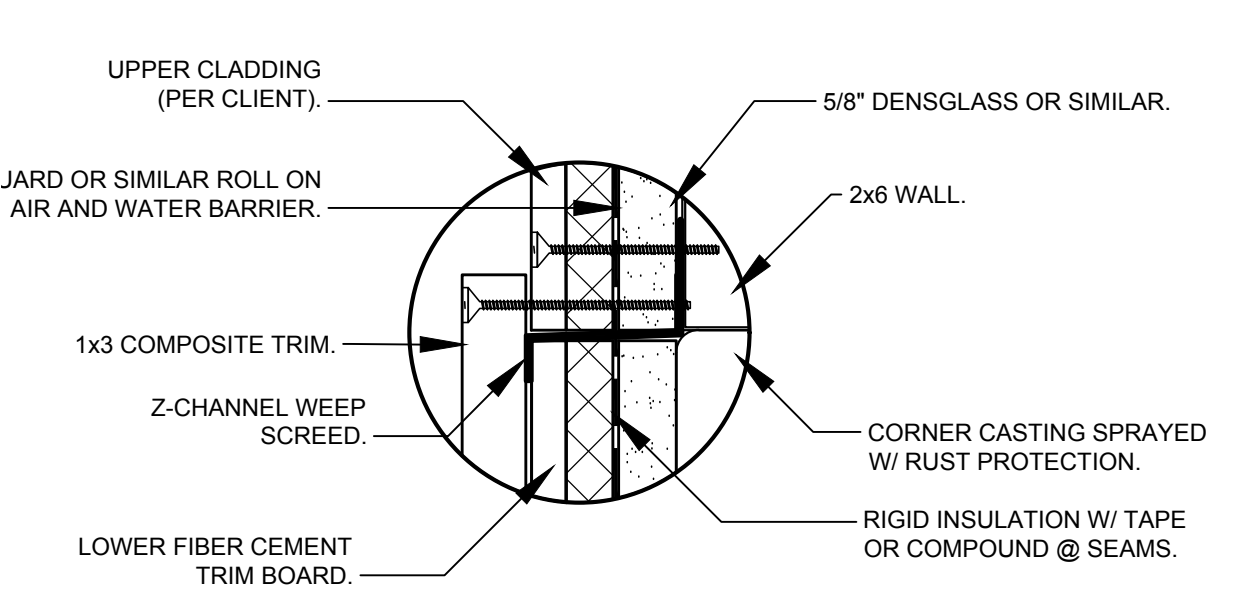
2 INTERIOR WALL ASSEMBLY / DOOR JAMB WIDTH
SCALE : 3" = 1'-0"



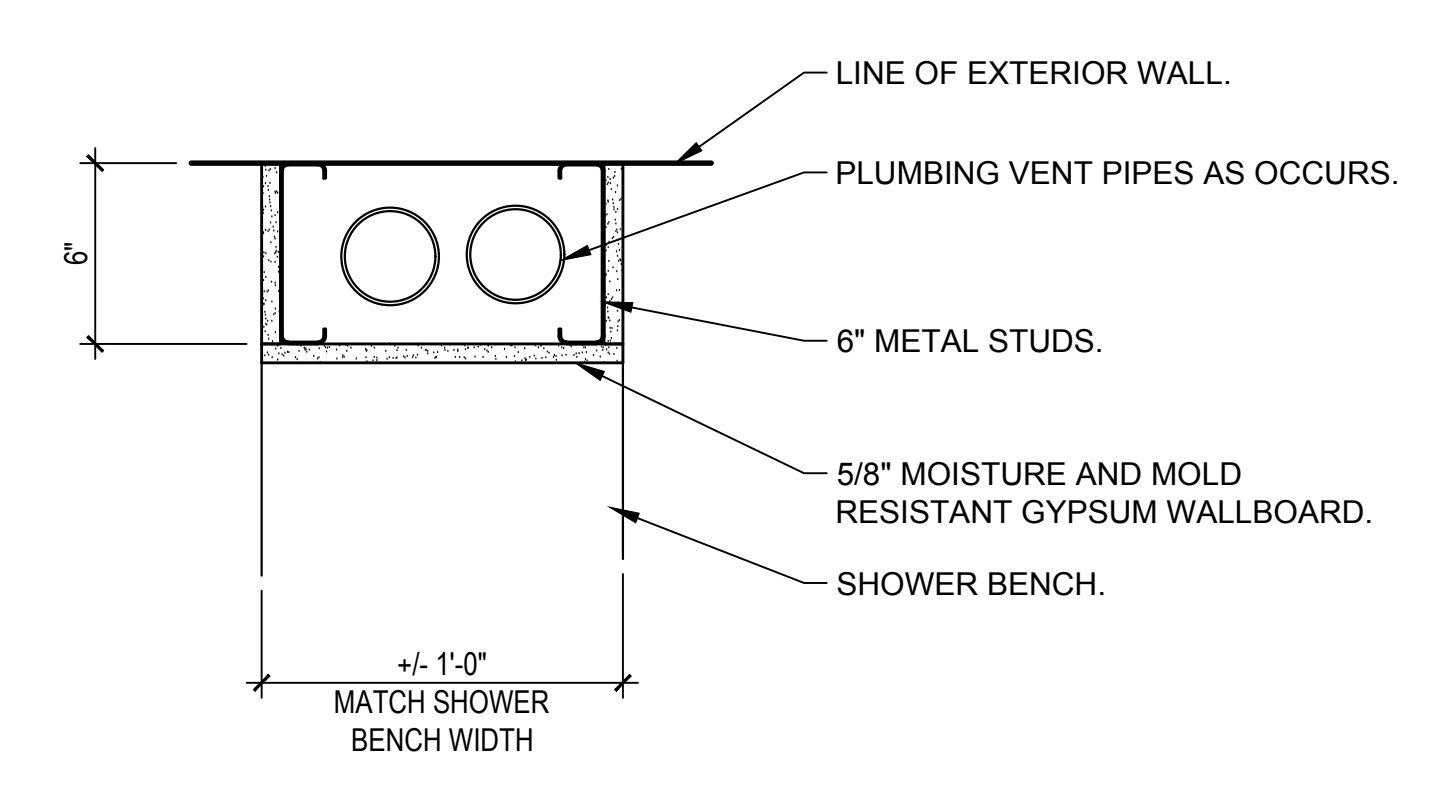
3 TYPICAL CORNER POST (PLAN VIEW)
SCALE : 3" = 1'-0"



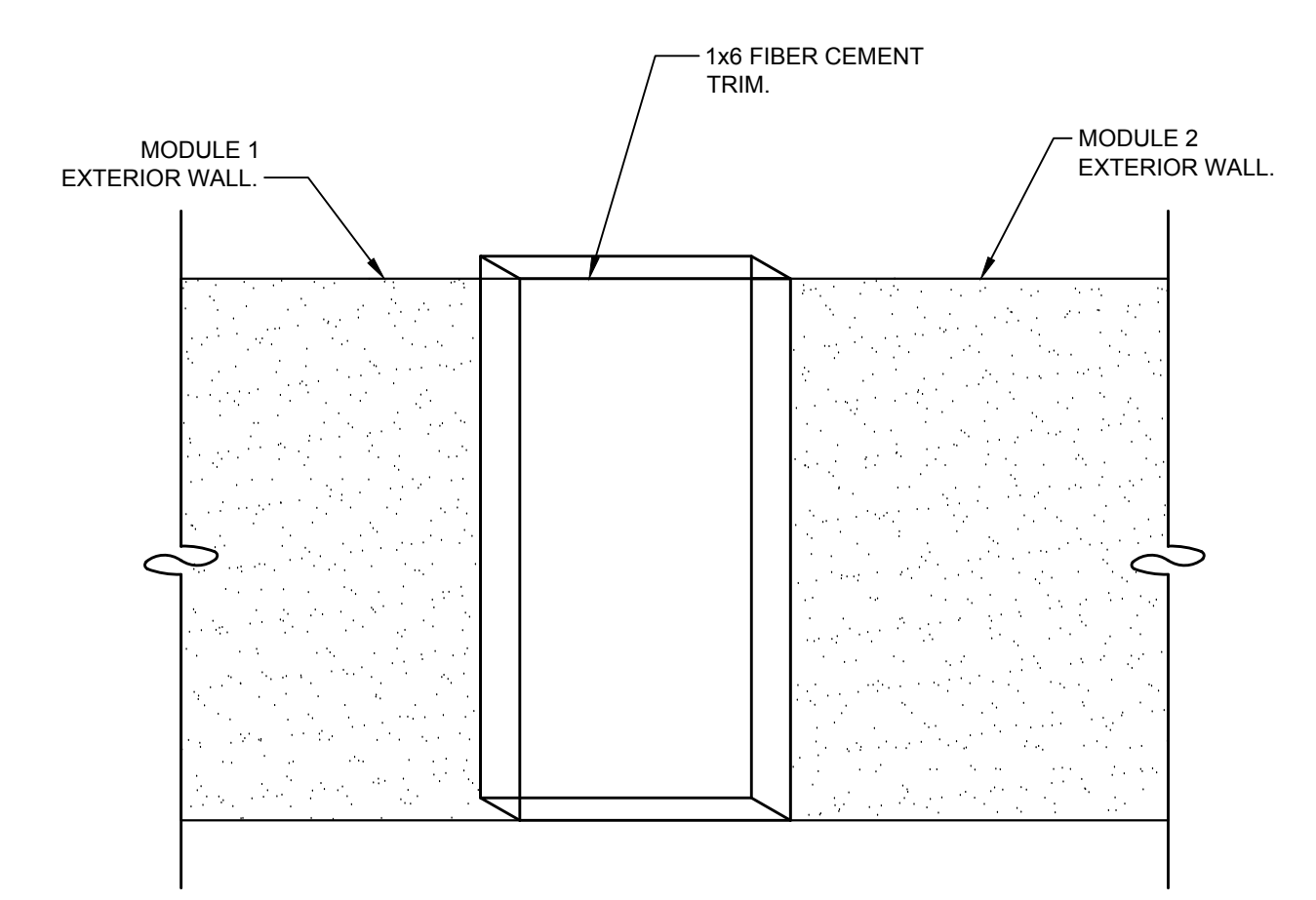
4 TYPICAL INTERMEDIATE POST (PLAN VIEW)
SCALE : 3" = 1'-0"



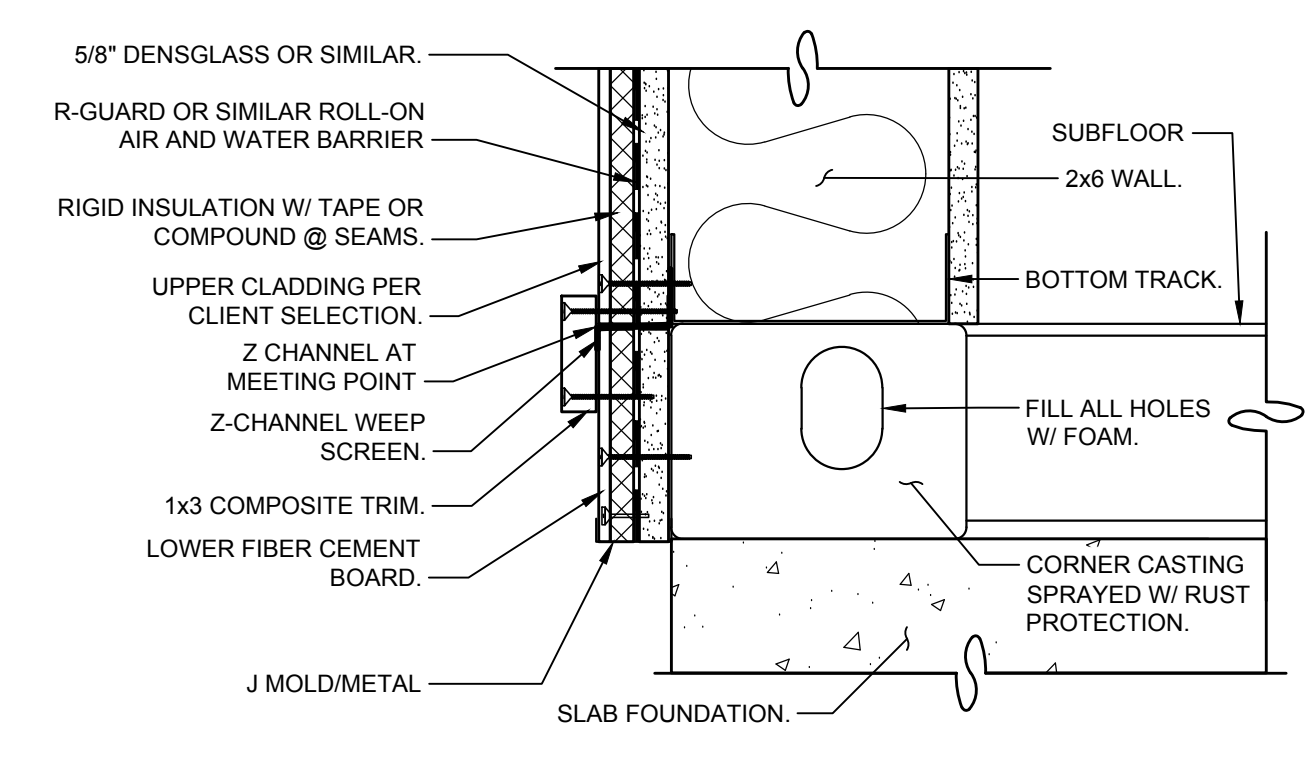
5a SKIRTING ATTACHMENT
SCALE : 3" = 1'-0"



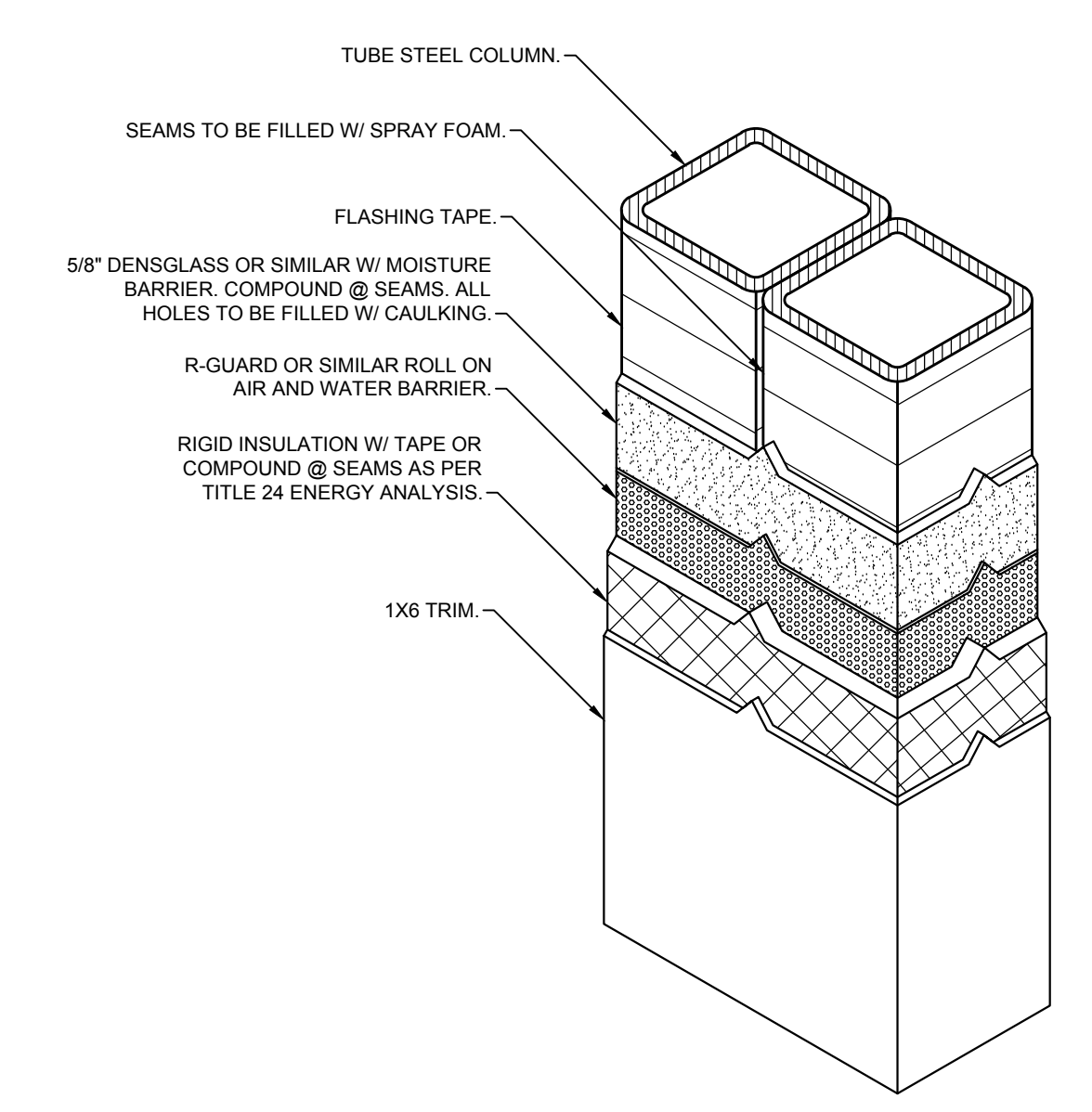
6 PLUMBING VENT CHASE
SCALE : 2" = 1'-0"



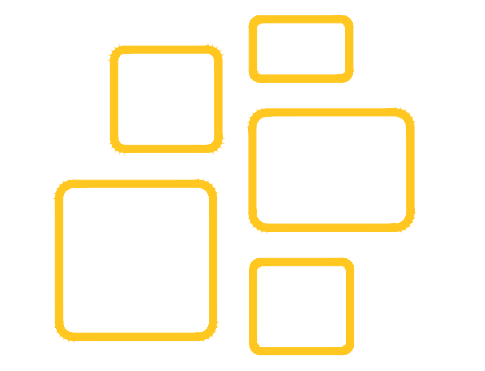
7 COLUMN CLADDING
SCALE : 3" = 1'-0"



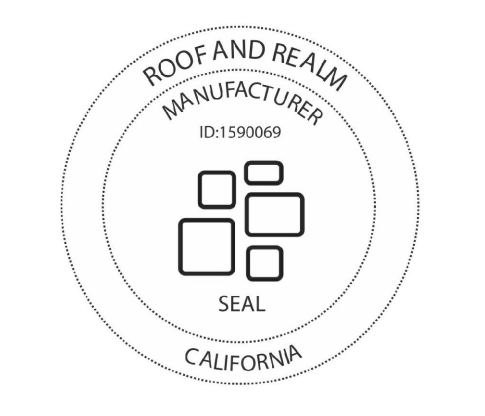
5 SKIRTING
SCALE : 3" = 1'-0"



8 COLUMN SEAM
SCALE : 2" = 1'-0"



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano

Project

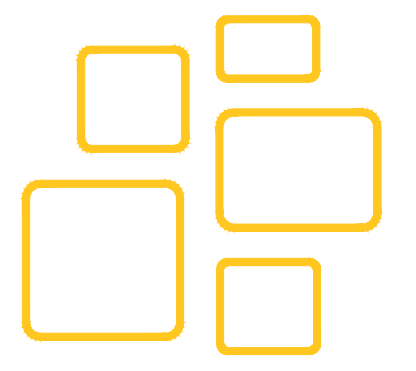
Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions
Issue Date **1/2/2024**
Plot Date **1/2/2024**

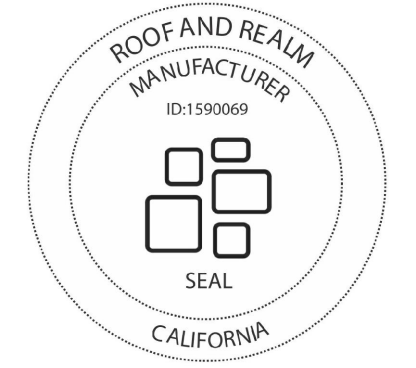
Wall Details

A6.0
Sheet



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

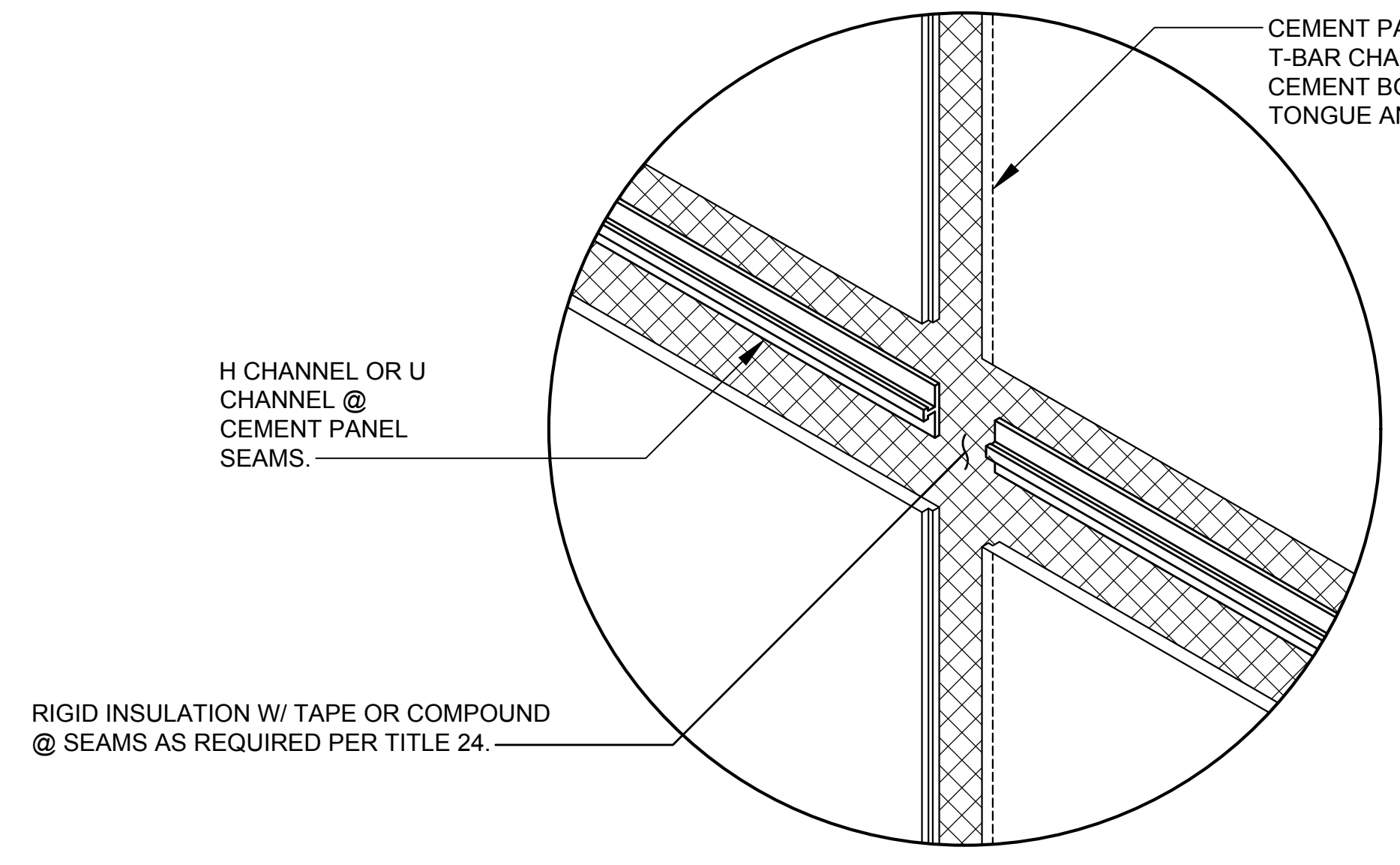
Number	Date	Description
1	1/2/24	REVISION

Revisions	
Issue Date	1/2/2024
Plot Date	1/2/2024

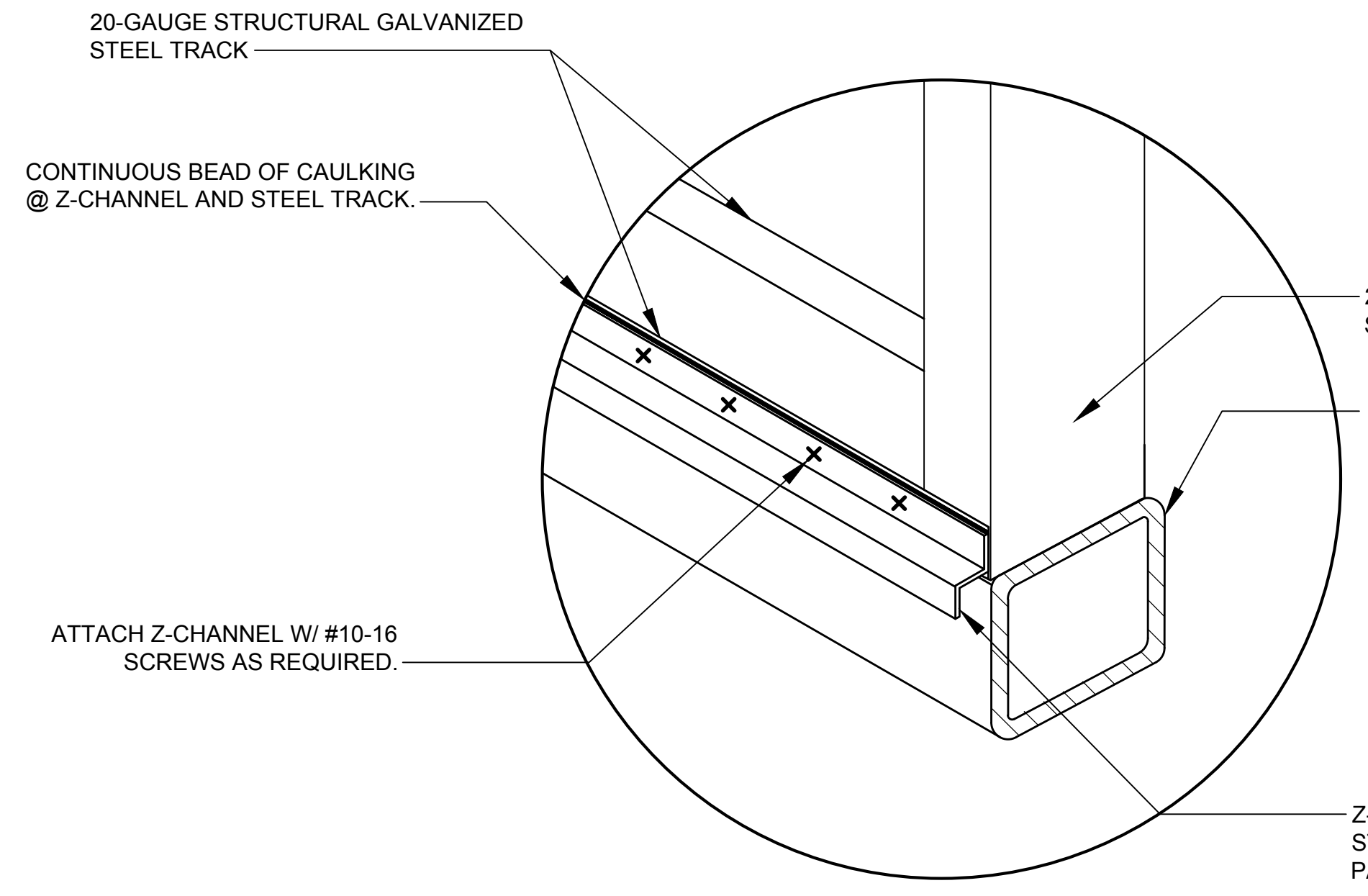
Wall Details

A6.1

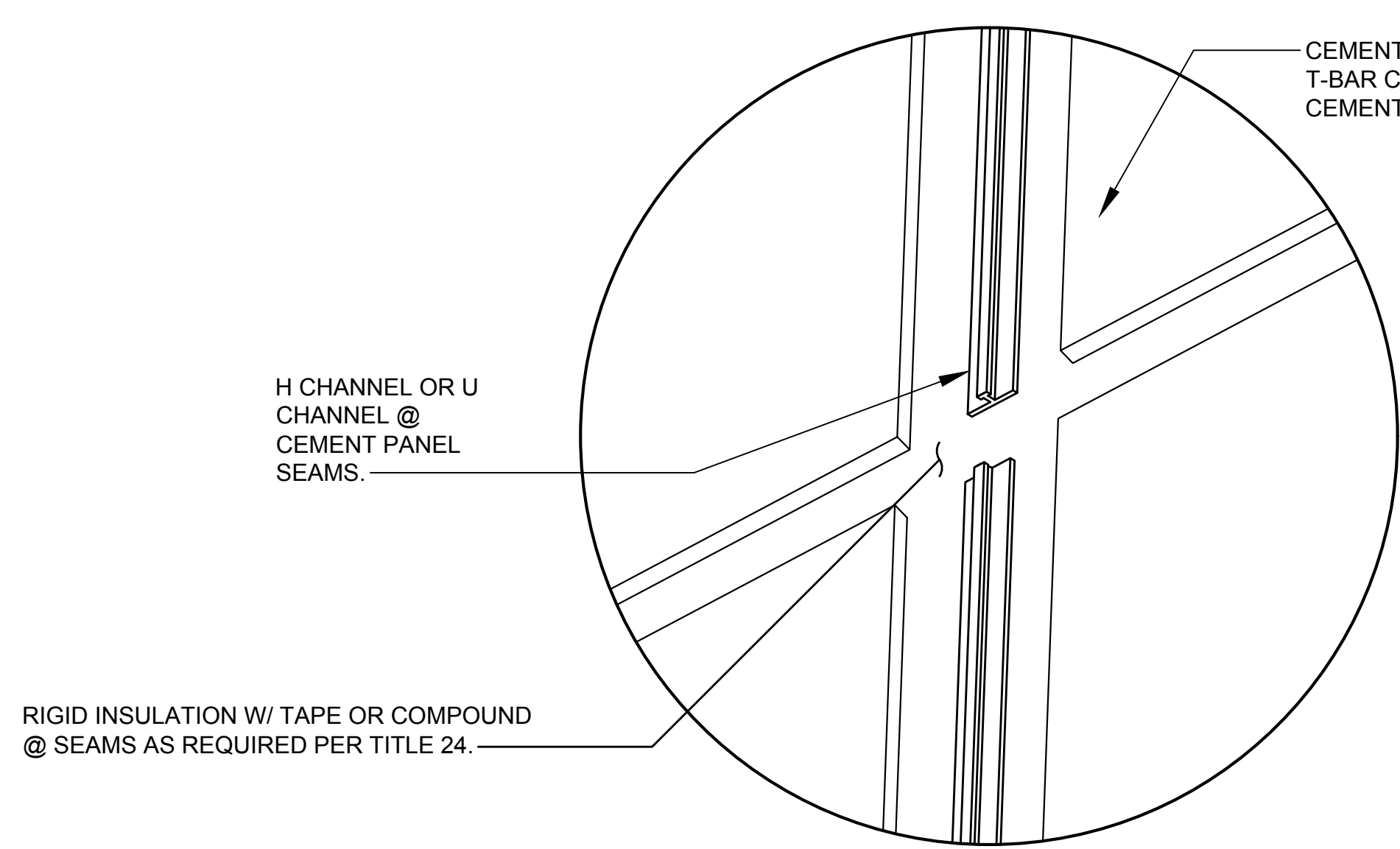
Sheet



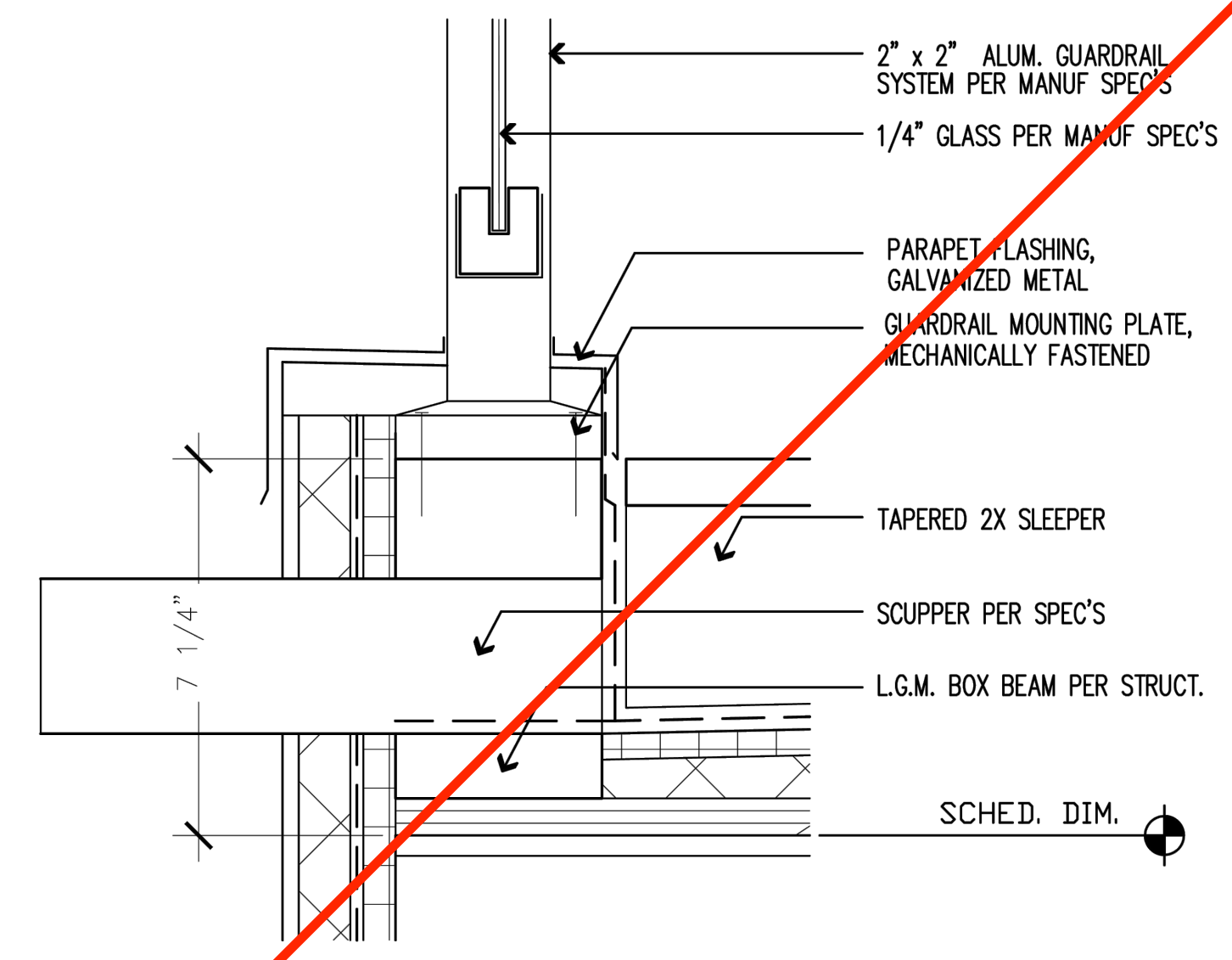
1 H-CHANNEL @ CEMENT PANEL SEAMS(STUCCO)
SCALE : 2" = 1'-0"



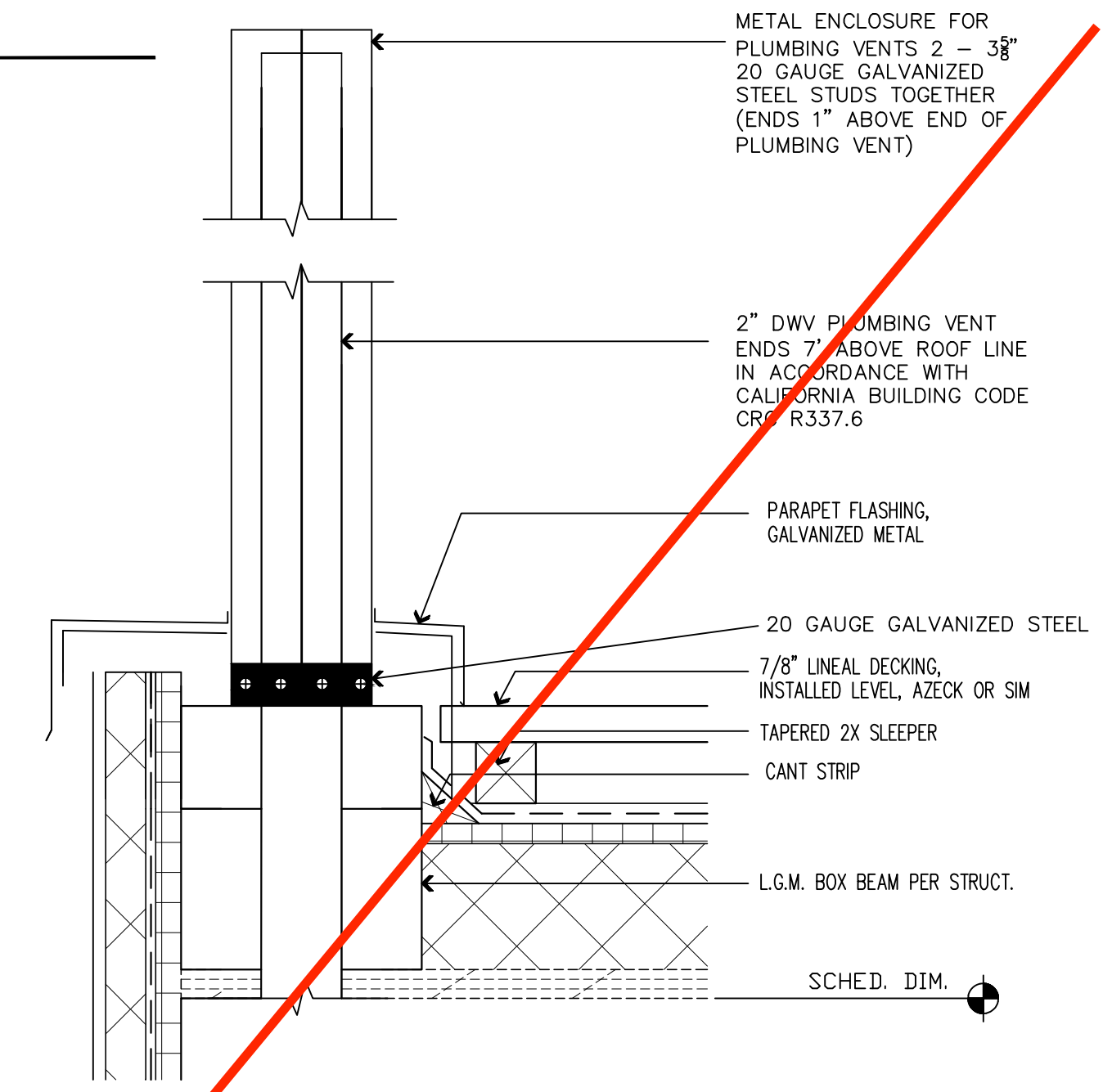
2 Z-CHANNEL @ BOTTOM OF CEMENT PANEL
SCALE : 2" = 1'-0"



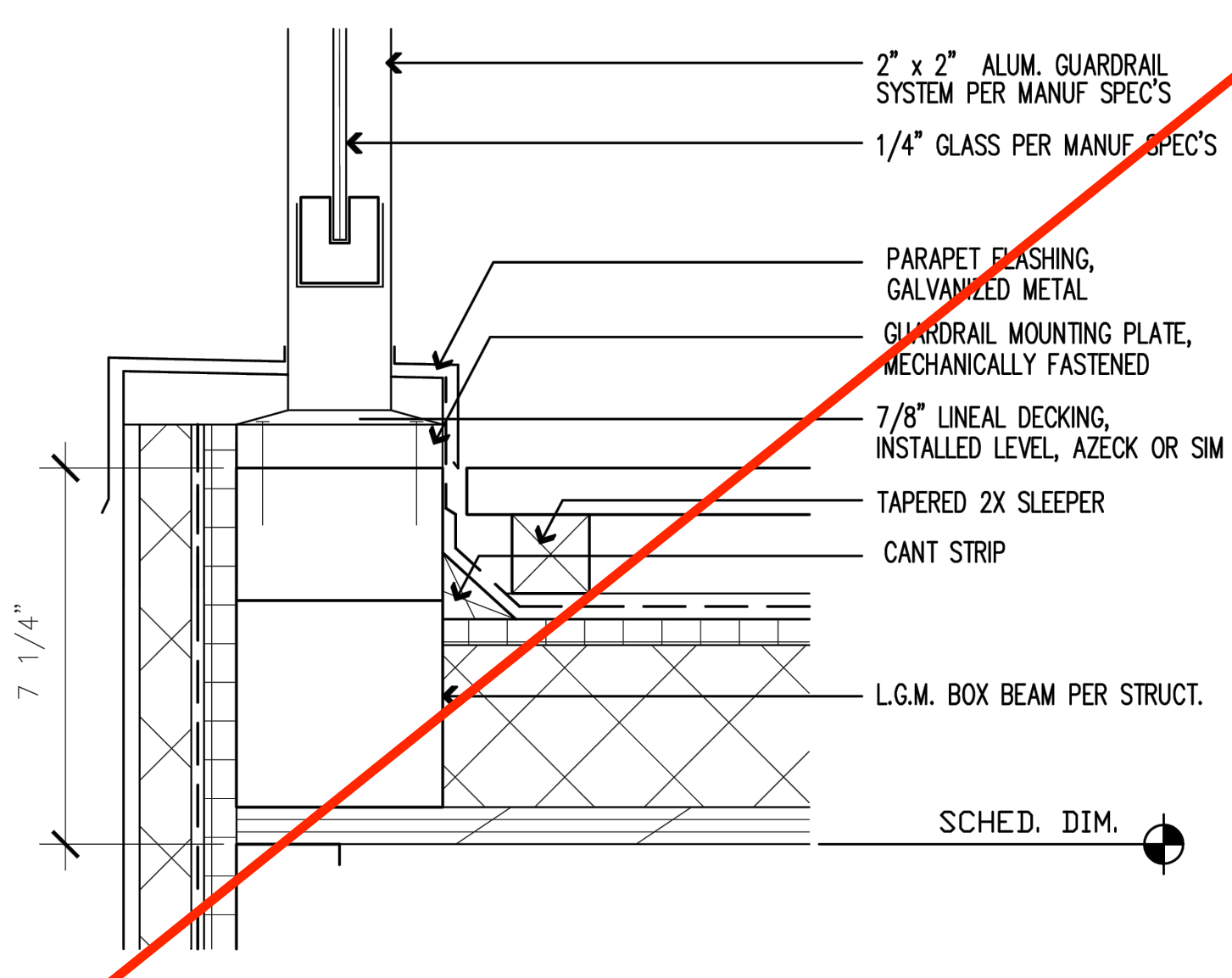
3 H-CHANNEL @ CEMENT PANEL SEAMS (SMOOTH)
SCALE : 2" = 1'-0"



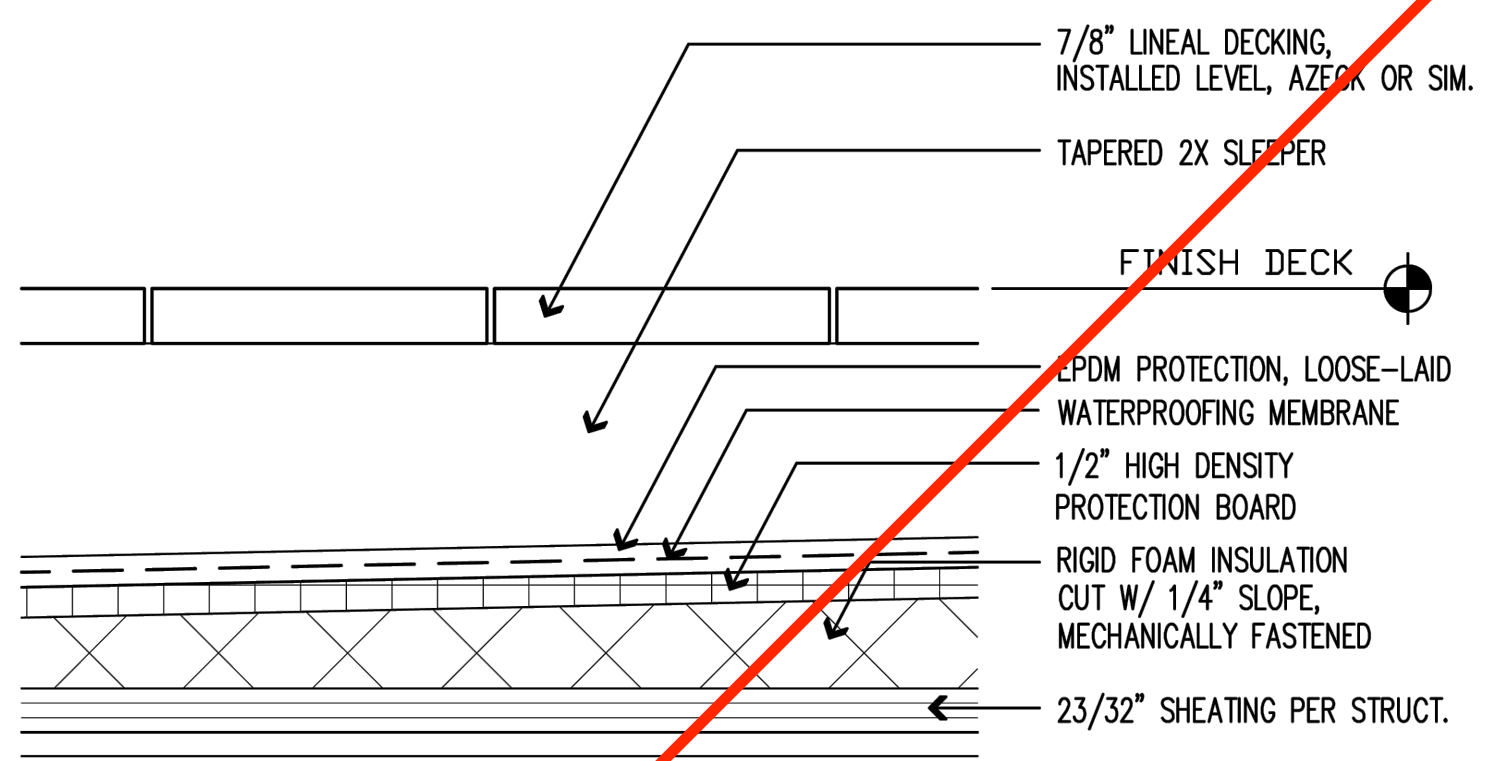
4 ROOF DECK DETAIL - GAURDRAIL
SCALE : 2" = 1'-0"



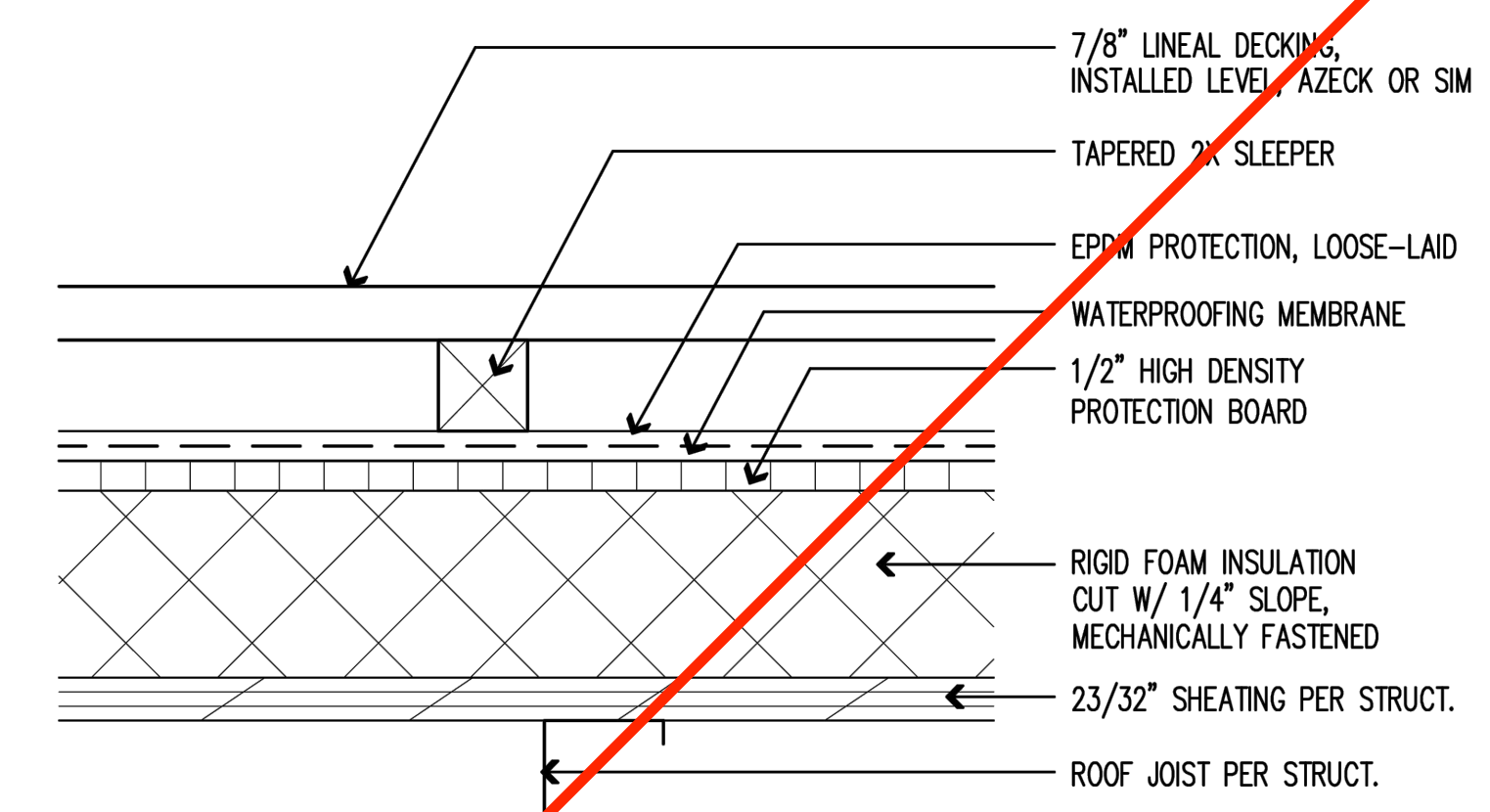
5 ROOF DECK DETAIL - PLUMBING VENTS
SCALE : 2" = 1'-0"



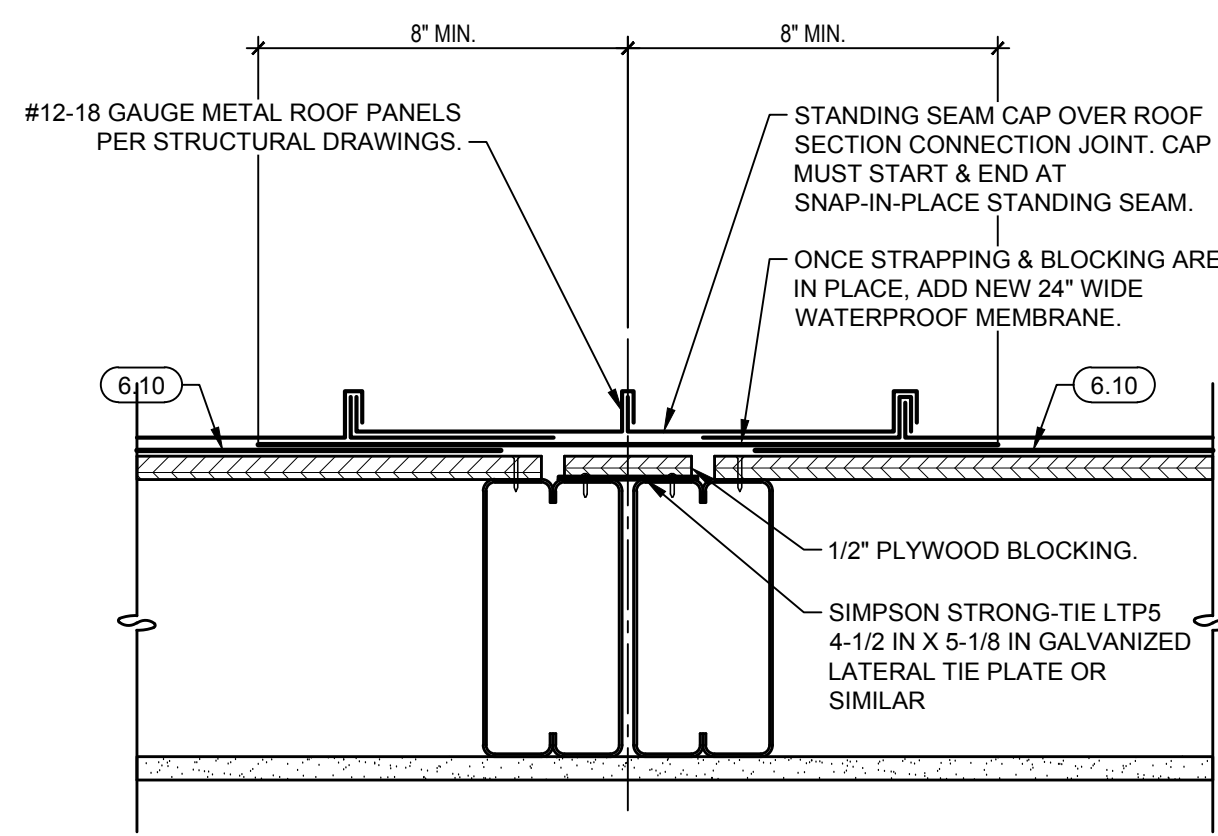
6 ROOF DECK DETAIL - GAURDRAIL
SCALE : 2" = 1'-0"



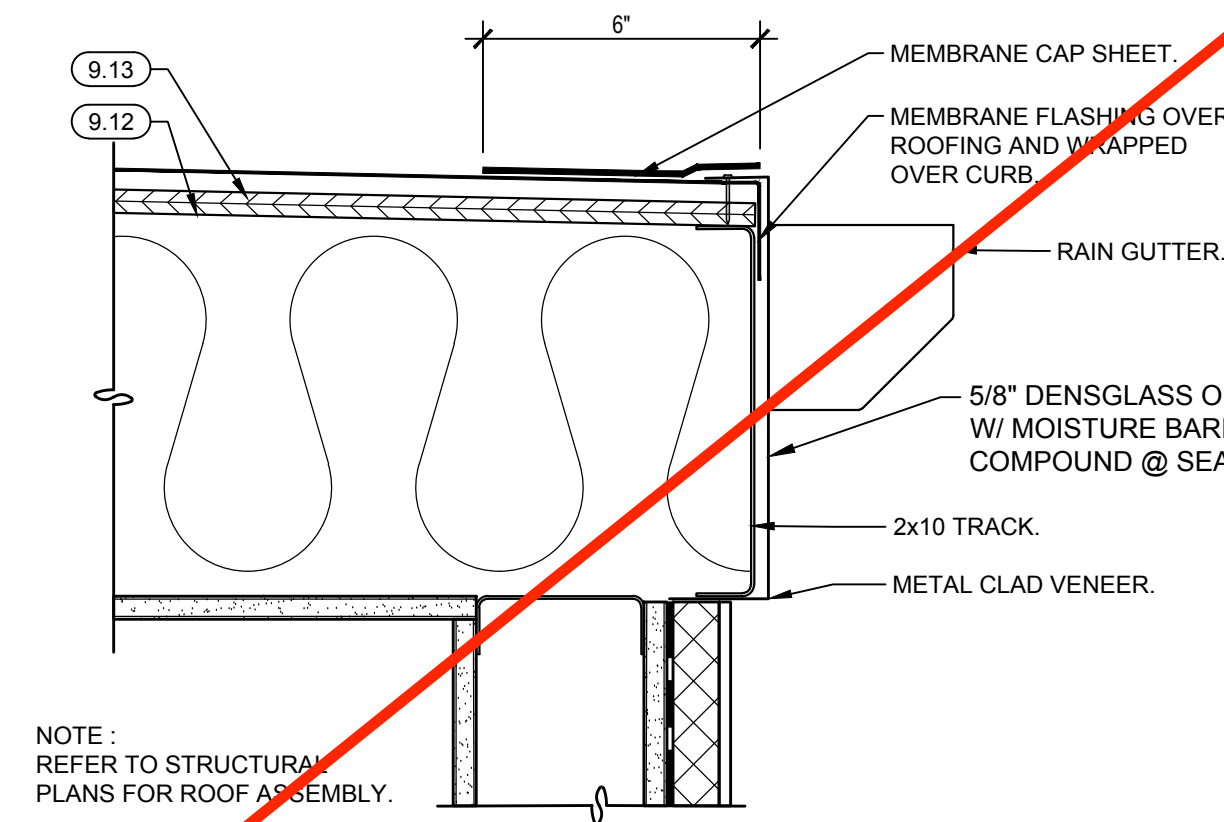
7 ROOF DECK DETAIL - MATERIAL
SCALE : 2" = 1'-0"



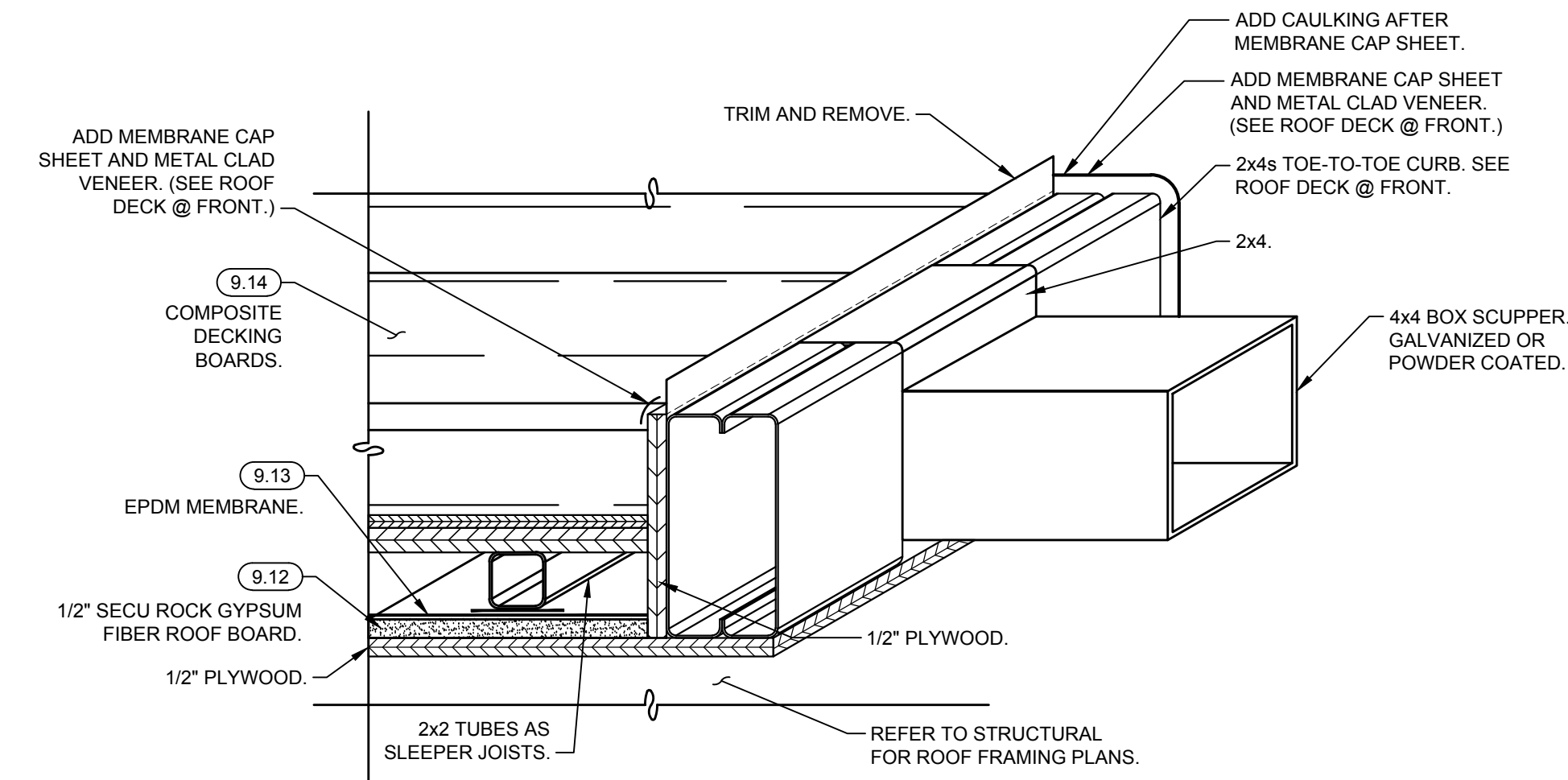
8 ROOF DECK DETAIL - MATERIAL
SCALE : 2" = 1'-0"



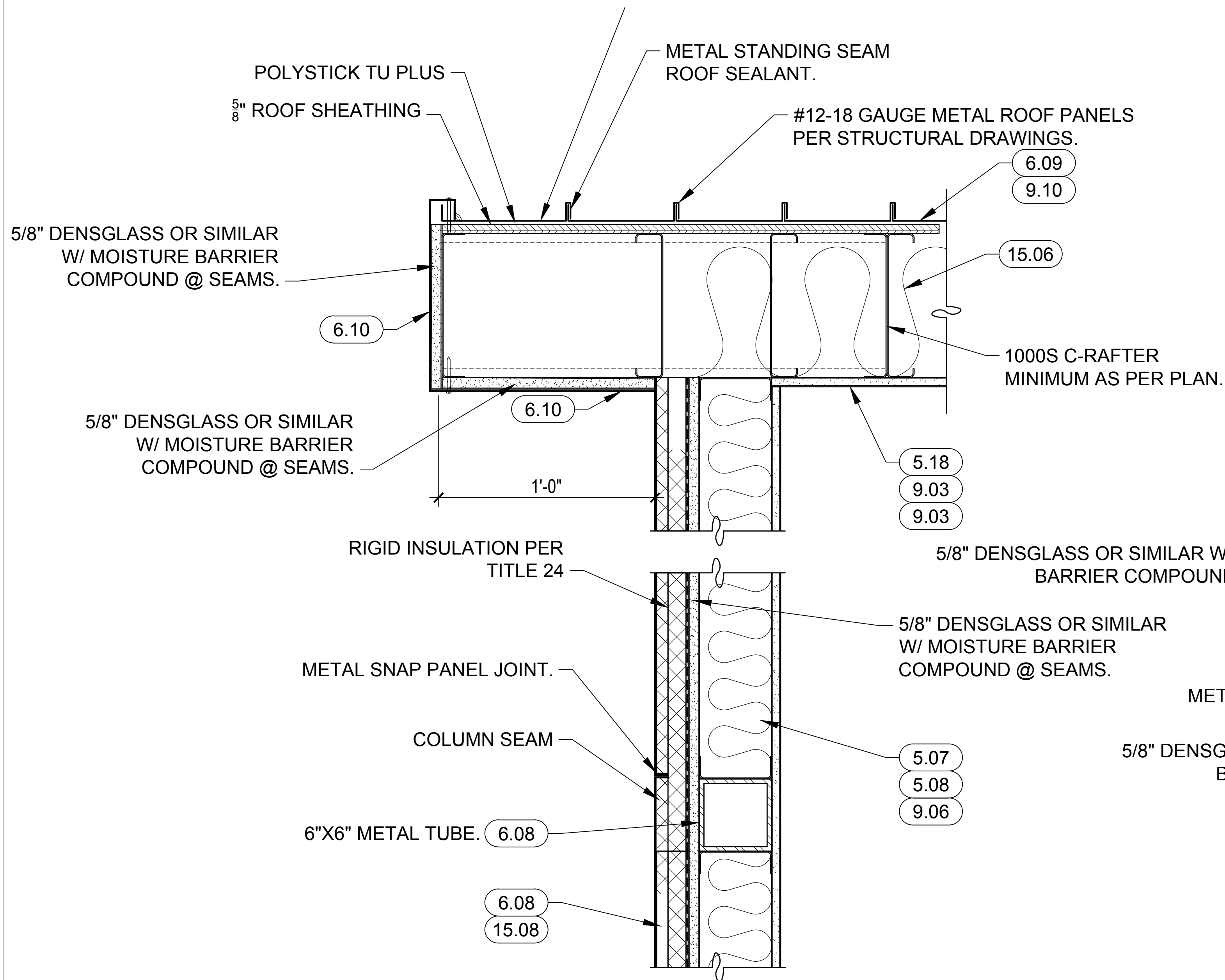
1 STANDING SEAM ROOF JOINT
SCALE : 3" = 1'-0"



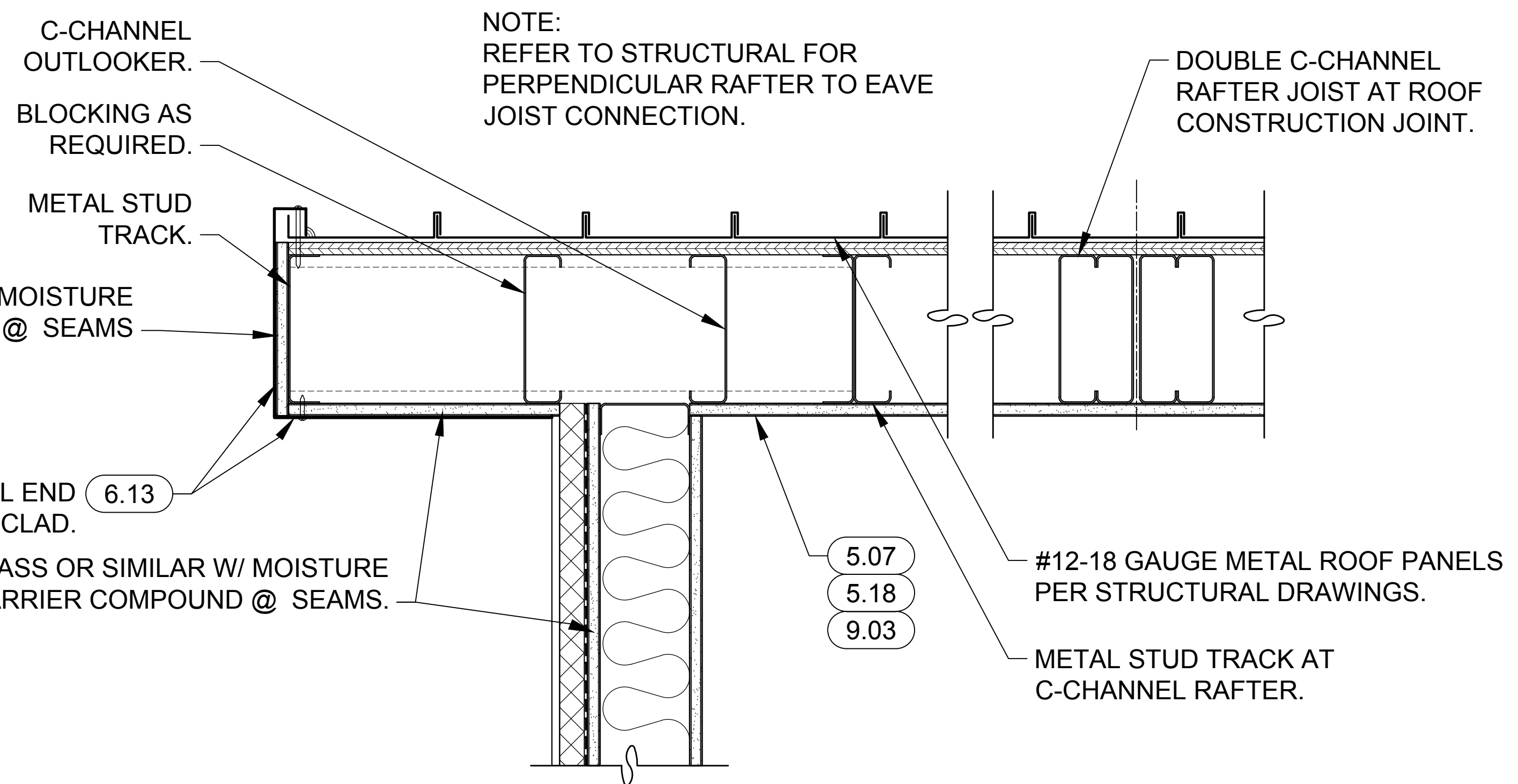
2 CUBE ROOF AT REAR
SCALE : 3" = 1'-0"



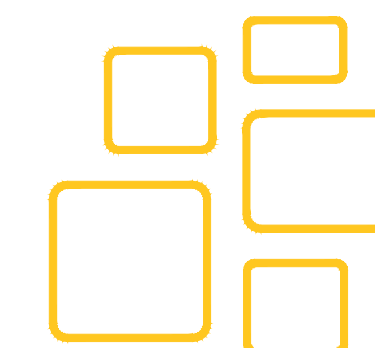
3 TYPICAL SCUPPER
SCALE : 3" = 1'-0"



4 SLOPE ROOF TO WALL CONNECTION
SCALE : 3" = 1'-0"

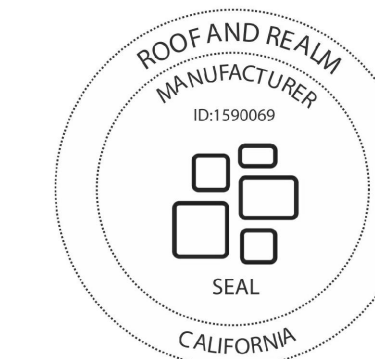


5 END ROOF SECTION
SCALE : 3" = 1'-0"



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

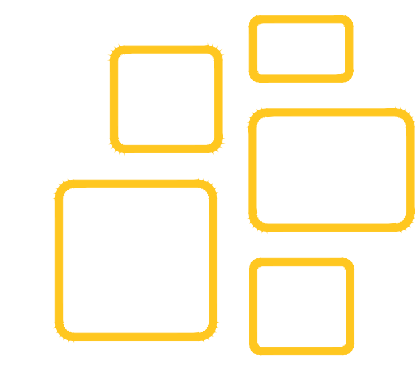
Issue Date 1/2/2024

Plot Date 1/2/2024

Roof Details

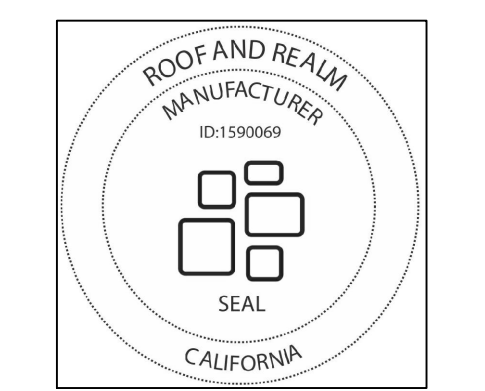
A8.0

Sheet



ROOF AND REALM

Manufacture ID: 1590069
 2245 Via De Mercedos
 Concord, CA 94520
 Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano

Project

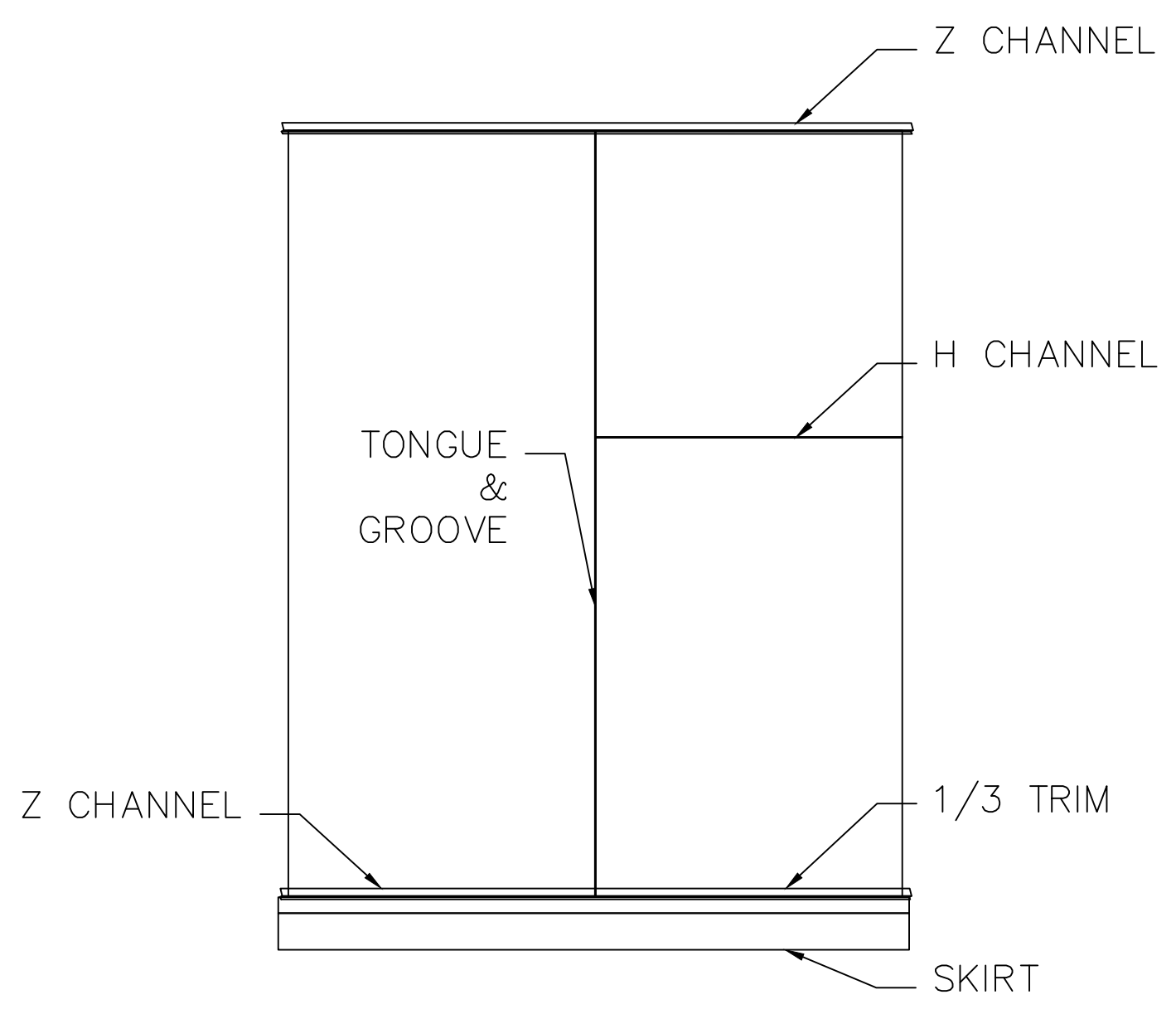
Roof & Realm
A New ADU - G40
 Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

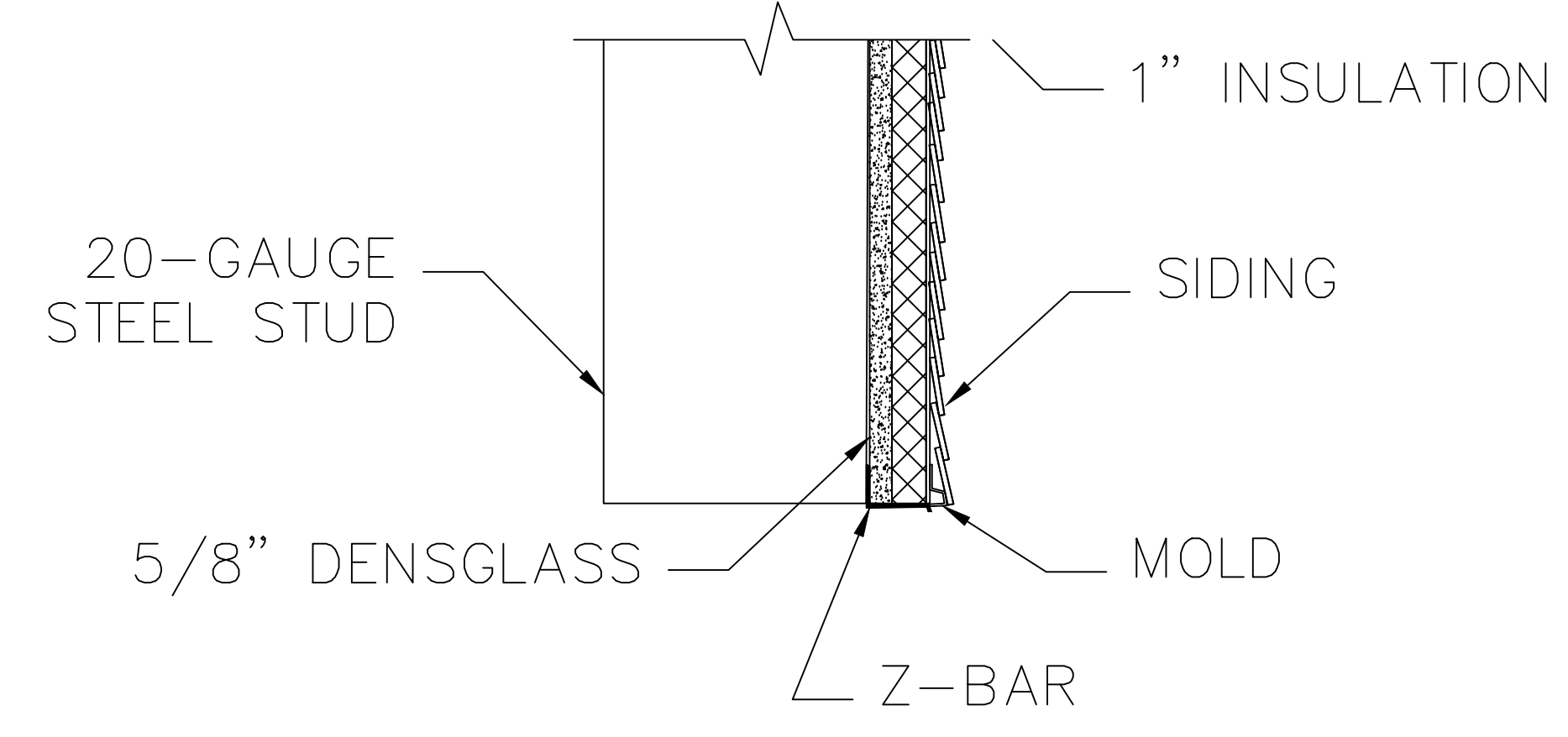
Revisions
 Issue Date **1/2/2024**
 Plot Date **1/2/2024**

Exterior Details

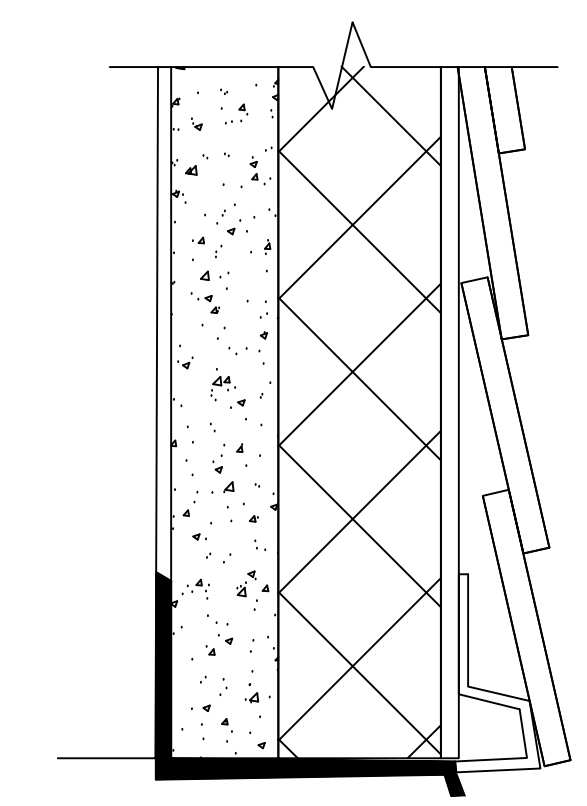
A9.0
 Sheet



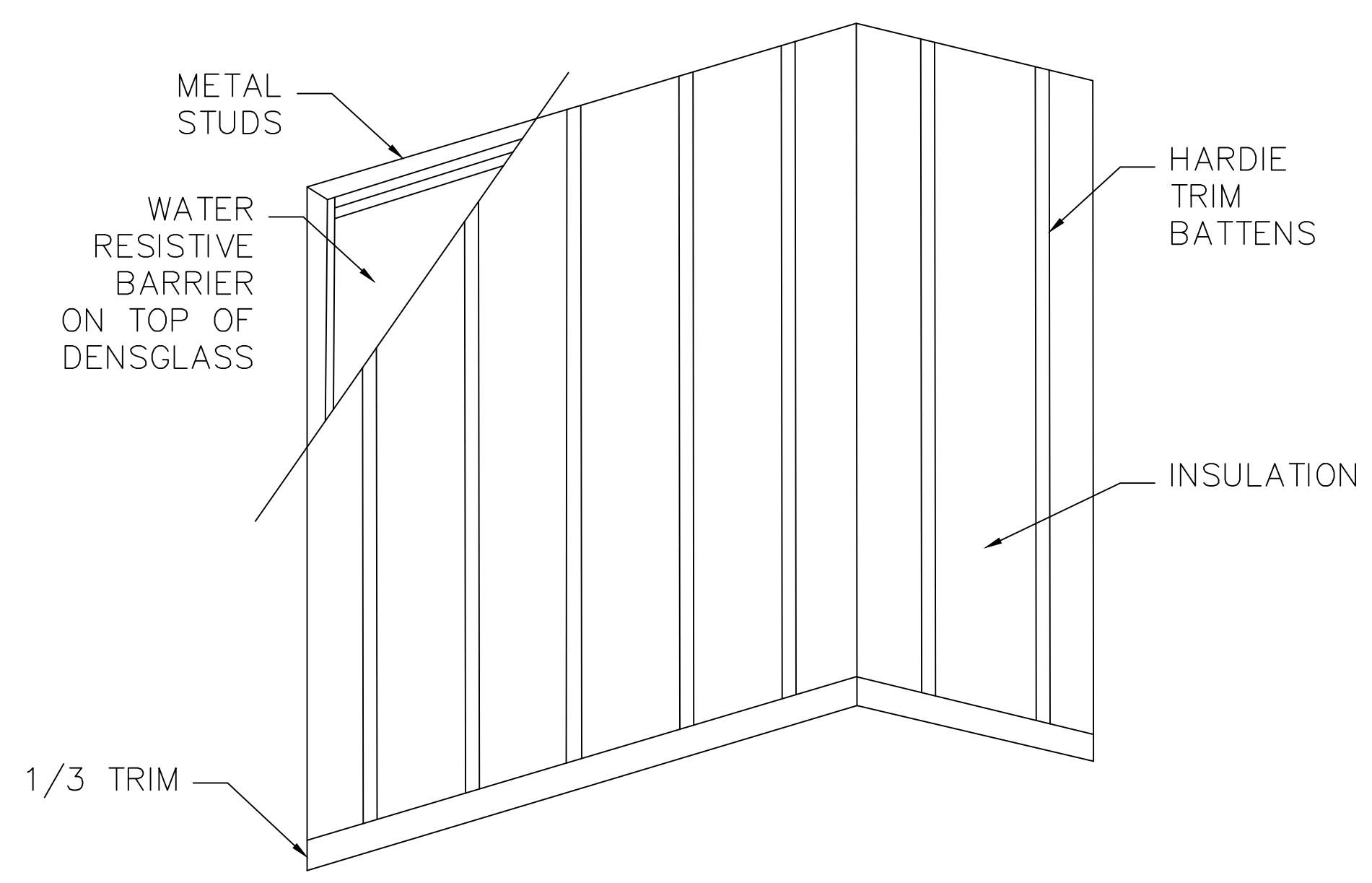
1 STUCCO BOARD
 SCALE : 1/2" = 1'-0"



2 LAP SIDING
 SCALE : 1/2" = 1'-0"



2a LAP SIDING ENLARGED
 SCALE : 3" = 1'-0"



3 BOARD & BATTEN
 SCALE : 1/2" = 1'-0"