



## **ZONING ADMINISTRATOR MEETING AGENDA**

**4:00 PM - Wednesday, February 19, 2025**

***Community Meeting Chambers, Los Altos City Hall  
1 North San Antonio Road, Los Altos, CA***

**PARTICIPATION:** Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to [\*\*ZAPublicComment@losaltosca.gov\*\*](mailto:ZAPublicComment@losaltosca.gov).

**REMOTE MEETING OBSERVATION:** Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

**<https://tinyurl.com/5dj4n57a>**

**Telephone: 1-253-215-8782 / Webinar ID: 892 7753 8059 / Passcode: 701956**

**SUBMIT WRITTEN COMMENTS:** Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to [\*\*ZAPublicComment@losaltosca.gov\*\*](mailto:ZAPublicComment@losaltosca.gov).

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

### **AGENDA**

#### **CALL MEETING TO ORDER**

#### **PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA**

*Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. The Zoning Administrator will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.*

#### **ITEMS FOR CONSIDERATION/ACTION**

**CONSENT CALENDAR**

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Zoning Administrator.

**1. Zoning Administrator Meeting Minutes**

Approval of the DRAFT minutes of the regular meeting of December 18, 2024.

**PUBLIC HEARING****2. SC24-0015 – Ryan Morris – 380 Arboleda Drive**

Request for Design Review for the construction of a new 3,905 square-foot, two-story residence with a 1,211 square-foot basement and 320 square foot detached accessory structure. This project is categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures"). *Project Planner: Liu*

**ADJOURNMENT****SPECIAL NOTICES TO PUBLIC**

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.



# ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, December 18, 2024

*Community Meeting Chambers, Los Altos City Hall  
1 North San Antonio Road, Los Altos, CA*

## CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

## ESTABLISH QUORUM

PRESENT: Zoning Administrator Zornes and Development Services Deputy Director Williams

STAFF: Senior Planner Whitehill

## PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

## ITEMS FOR CONSIDERATION/ACTION

### CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**

Approval of the DRAFT minutes of the regular meeting of November 20, 2024.

Action: Zoning Administrator Zornes approved the meeting minutes for the regular meeting of November 20, 2024.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

## PUBLIC HEARING

2. **SC24-0010 – Jeff Guinta – 562 Palm Avenue**

Design Review to construct a 1,982-square foot two-story residence with a detached garage. The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). *Project Planner: Whitehill*

## STAFF PRESENTATION

Senior Planner Whitehill presented the staff report recommending approval of design review application SC24-0010 subject to the listed findings and conditions of approval.

PUBLIC COMMENT

Wendy Banks provided public comments.

Action: Zoning Administrator Zornes approved design review application SC24-0010 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:

AYES: Zornes

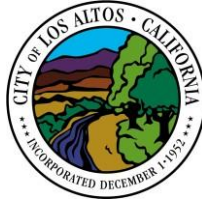
NOES: None

**ADJOURNMENT**

Zoning Administrator Zornes adjourned the meeting at 4:12 PM.

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Nick Zornes  
Zoning Administrator



## ZONING ADMINISTRATOR AGENDA REPORT

**TO:** Nick Zornes, Zoning Administrator

**FROM:** Jia Liu, Associate Planner

**SUBJECT:** SC24-0015 – 380 Arboleda Drive

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### RECOMMENDATION

Approve design review application SC24-0015 for the construction of a new 3,905 square-foot, two-story residence with a 1,211 square-foot basement, and 320 square-foot detached accessory structure; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (“New Construction or Conversion of Small Structures”).

### BACKGROUND

#### Project Description

- Project Location: 380 Arboleda Drive, located on the south side of Arboleda Drive.
- Lot Size: 14,757 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: Two-story house

The proposed project includes the demolition of an existing two-story house and replacement with a new two-story house with a basement and detached accessory structure (pool house) (see Attachment A – Project Plans). The proposed home will be situated on the subject lot similar to the existing home with vehicular access maintained from a driveway near the bend in Arboleda Drive. The home is designed in a modern farmhouse architectural style, incorporating high-quality materials including asphalt shingle roof, board and batten siding exterior finish, wood posts and rafters, and wood clad windows with wood trim.

There are 30 trees on the property, including 11 protected trees. Nine of the eleven protected trees are proposed for removal as part of the project.

**ANALYSIS**

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,174 square feet	3,456 square feet	4,427 square feet
<b>FLOOR AREA:</b>			
First floor	1,967 square feet	2,403 square feet	
Second floor	1,300 square feet	1,502 square feet	
Pool house	-----	320 square feet	
Total	3,267 square feet	4,225 square feet	4,226 square feet
<b>SETBACKS:</b>			
Front	27.17 feet	25.00 feet	25 feet
Rear	46.15 feet	32.00 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	10.92 feet/17.83 feet	11.52 feet/19.92 feet	10 feet/17.50 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	9.45 feet/19.20 feet	11.17 feet/19.10 feet	10 feet/17.50 feet
<b>HEIGHT:</b>	23.42 feet	26.33 feet	27 feet

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The surrounding neighborhood is considered a Consistent Character Neighborhood according to the Design Guidelines. The immediate neighborhood is comprised of one-story and two-story houses in a mixed architectural style including ranch and farmhouse. The homes in the neighborhood exhibit similar front setback patterns, massing, and a combination of simple and complex roof forms due to past renovations and upgrades. The horizontal eave lines at the first and second story typically range from approximately eight to nine feet in height. Many of the homes feature attached garages in the front yard facing the street.

The front elevation of the proposed two-story house is designed in a modern farmhouse architectural style, incorporating a primary 4.75:12 hipped and gable roof, complemented by a 3:12 roof over the front covered porch, aligned and balanced fenestrations on the facade, as well as traditional exterior finish materials including board and batten siding and architectural enhancement in wood materials such as wood brackets, wood trims, wood clad windows throughout the elevations on four sides. The detached pool house will maintain architectural consistency with the main residence, featuring a 4.75:12 gable roof with asphalt shingles, board and batten siding, as well as wood-clad windows and trims.

The massing of the proposed new residence is compatible with the immediate neighborhood. The first story features one uniformed plate height of 10 feet while the second story has two plate heights: seven feet for the rooms on either side and eight feet in the central section. All design considerations and alignments reflect a thoughtful approach to achieving a harmonious architectural composition within the neighborhood.

There are a total of 30 trees on the property, including 11 protected trees. Nine protected trees are proposed for removal and include eight Deodar Cedar trees and one queen palm tree which was removed without a permit in the recent past. According to the arborist report prepared for the project by Kurt Fouts, the eight Deodar Cedar trees proposed for removal are structurally unsound and cannot be mitigated. The two remaining protected trees will be preserved and protected during construction. To mitigate the loss of the nine protected trees proposed for removal, a tree replacement plan with a total of 12 new replacement trees is included in the landscaping plans.

The proposed landscaping includes 12 new trees and 14 evergreen screening bushes (Carolina Cherry Laurel) along the front and north side property lines of the site which will be integrated with existing vegetation to remain. A variety of ground covers and low shrubs will also be placed in the front yard. The rear yard will primarily feature hardscape around the pool house and swimming pool, with a small lawn area incorporated into the design. The landscaping plan will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, preserves existing trees, and enhances landscaping to the extent possible.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review pursuant to Section 15303 (“New Construction or Conversion of Small Structures”) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

## **PUBLIC NOTIFICATION AND COMMUNITY OUTREACH**

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted a public notice sign on the property in conformance with the Planning Division posting requirements.

The applicant reached out to ten neighbors in person in the immediate area and invited the neighbors for a community outreach meeting. No comments from the public have been received by staff as of the writing of this report.

### **Attachment:**

#### **A. Project Plans**

**Cc:** Ryan Morris, Morris Architecture, LLC, Applicant and Architect  
Lucymarie B. Modderman, Property Owner

## **FINDINGS**

SC24-0015 – 380 Arboleda Drive

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

- A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home maintains a similar finished floor elevation and orientation on the lot as the existing home and complies with the allowable floor area, lot coverage, maximum height, and daylight plane requirement pursuant to LAMC Chapter 14.06.
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal. Grade changes shall be minimized because the existing site is relatively level and does not require substantial grading. There are 30 trees on the property, including 11 protected trees. Nine protected trees will be removed and replaced with a minimum of nine new replacement trees.
- D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because the proposed structure incorporates architectural design features such as moderate scale, horizontal eave lines, building articulation, and roof forms that break up the massing and minimize excessive bulk.
- E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to ensure the compatibility of the development with its design concept and the character of adjacent buildings. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including asphalt shingle roof, board and batten exterior finish, wood posts, wood clad windows and doors with wood trims.
- F. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the because the site is relatively flat and has incorporated softscape and hardscape surfaces into the plan and proposes a drainage plan to minimize off-site stormwater drainage.



## CONDITIONS OF APPROVAL

SC24-0015 – 380 Arboleda Drive

### PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on February 19, 2027 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.
2. **Approved Plans:** The approval is based on the plans and materials received on January 23, 2025, except as modified by these conditions as specified below.
3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.
4. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.
5. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.
6. **Building Design/Plan Modifications:** The following modifications shall be made to the architectural design, building materials, colors, landscaping, and/or other site or building design details and shall be shown on building permit drawings:
  - a. The length of the lightwell shall be no more than 20 percent of the lineal footage of the exterior walls per each projected elevation. The length of the lightwell shall be revised and incorporated into the construction drawings.
7. **Protected Trees:** Trees Nos. T2 and T15 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.
8. **Tree Removal Approved:** Trees Nos T1-T6, T9, T10, and T21 shown to be removed on plan Sheet

A0.2 and T1 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after the issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Development Services Director upon submitting written justification.

9. **Replacement Trees:** The applicant shall offset the loss of nine protected trees with a minimum of nine replacement trees. Each replacement tree shall be no smaller than a 24” box and shall be noted on the landscape plan as a replacement tree.
10. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the dripline(s), or as required by the project arborist, of trees Nos. T2 and T5. Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.
11. **Landscaping:** The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.
12. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.
13. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

## **BUILDING DIVISION**

14. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
15. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.
16. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which

amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

17. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.
18. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.
19. **Swimming Pools, Water Features, and Outdoor Kitchens:** The proposed pool and associated equipment, water feature, and/or outdoor kitchen require a separate building permit and are subject to the City's standards pursuant to Section 14.06.120 and Chapter 14.15.
20. **New Fireplaces:** Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
21. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.
22. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.
23. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.
24. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).
25. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

26. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.
27. **Off-Haul Excavated Soil:** The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

### **ENGINEERING DIVISION**

28. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.
29. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.
30. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.
31. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.
32. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.
33. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.
34. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for

each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

## **FIRE DEPARTMENT**

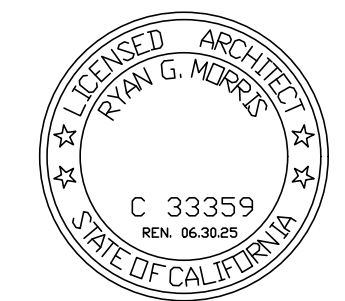
35. **Applicable Codes and Review:** The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.
36. **Violations:** This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].
37. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.
38. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in accordance with National Fire Protection Association's (NFPA) Standard 13D in all new one and two-family dwellings (Sprinklers noted on sheet A0.1).
39. **Required Fire Flow:** The minimum required fire flow for this project is 1000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 1000 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.
40. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection system, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

41. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.



12 COZZOLINO CT | MILLBRAE, CA 94030  
650.995.1360 | www.morris-arch.com

**MODDERMAN RESIDENCE**  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA 94024



All drawings and written materials contained herein constitute the original and unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.

△ PLNG SUBMITTAL	10.22.24
△ PLNG SUBMITTAL	12.20.24
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**TITLE SHEET**

JOB #: 2409

**A0.1**

**PROJECT DESCRIPTION**

- NEW 4 BD/3.5BA SINGLE FAMILY RESIDENCE ON FLAT LOT WITH ATTACHED THREE CAR GARAGE.
- NEW BASEMENT
- NEW FRONT AND BACK PORCH
- NEW DETACHED POOL HOUSE
- NEW POOL UNDER SEPARATE PERMIT
- NEW LANDSCAPING UNDER SEPARATE PERMIT

**PROJECT DATA**

APN #	189-051-066
ZONE	R1-10
OCCUPANCY	R-3 / U
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	YES - NEW
STORIES	2
SITE AREA - GROSS	15,948 SF
SITE AREA - NET (EXCLUDES ACCESS EASEMENT)	14,757 SF
FEMA FLOOD ZONE	X

**PROJECT SUMMARY TABLE**

SEE A0.4 FOR FLOOR AREA AND LOT COVERAGE DIAGRAMS

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	2,174 square feet (14.7%)	3,456 square feet (23.4%)	4,427.1 square feet (30.0%)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	1st Fir: 1,967 sq ft 2nd Fir: 1,300 sq ft <b>Total: 3,267 sq ft</b>	1st Fir: 2,403 sq ft 2nd Fir: 1,502 sq ft Pool House: 320 sq ft <b>Total: 4,225 sq ft</b>	4,225.7 square feet 3,850 + (10% net site area -11,000)
<b>SETBACKS:</b>			
Front	27'-2"	25'-0"	25 feet
Rear	48'-1 3/4"	32'-0 1/4"	25 feet
Right side (1st/2nd)	10'-11"	11'-6 1/4" / 19'-11"	10 feet/17.5 feet
Left side (1st/2nd)	9'-5 3/4"	19'-1 1/4" / 19'-1 1/4"	10 feet/17.5 feet
<b>HEIGHT:</b>	—feet	26'-4 1/2"	27 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes habitable basement areas</i>	2,172 square feet	2,068 square feet	4,800 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open structures</i>	535 square feet	102 square feet	637 square feet
LOT CALCULATIONS			
<b>NET LOT AREA:</b>	14,757 square feet		
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1,116 square feet (28%)		
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): Existing softscape (undisturbed) area: New softscape (new or replaced landscaping) area: <i>Sum of all three should equal the site's net lot area</i>		8,566 sq ft 3,175 sq ft 3,016 sq ft

**DEFERRED SUBMITTALS**

- FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PROVIDE MIN. 1" WATER METER BACKFLOW PREVENTION DEVICE/DOUBLE CHECK VALVE ASSEMBLY, AND ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPE AREAS.
- CONSTRUCTION WASTE MANAGEMENT PLAN ON SHEET GB.1
- NEW 2.96 KW MIN. PHOTOVOLTAIC SOLAR PANEL SYSTEM UNDER SEPARATE PERMIT PER SHEET EN.1

**PROJECT DIRECTORY**

**ARCHITECT:**  
MORRIS ARCHITECTURE LLC  
12 COZZOLINO CT.  
MILLBRAE, CA 94030  
T. 650.995.1360  
RYAN@MORRIS-ARCH.COM

**CIVIL ENGINEER:**  
MISSION ENGINEERS, INC.  
2355 DE LA CRUZ BLVD.  
SANTA CLARA, CA 95050  
T. 408.727.8262

**CONSULTING ARBORIST:**  
AESCELLUS  
211 HOPE ST. #391653  
MOUNTAIN VIEW, CA 94041  
T. 418.675.1729

**STRUCTURAL ENGINEER:**  
MORRIS SHAFFER  
ENGINEERING  
1300 INDUSTRIAL RD., STE 114  
SAN CARLOS, CA 94070  
T. 650.595.2973

**GEOTECHNICAL ENGINEER:**  
MICHELUCCI & ASSOCIATES  
1801 MURCHISON DR.  
SUITE 88  
BURLINGAME, CA 94010  
T. 650.692.0163

**SURVEYOR:**  
WILSON LAND SURVEYS, INC.  
261 CARLTON COURT  
LOS GATOS, CA 95032  
T. 408.540.7687

**TITLE 24 ENERGY & GREEN:**  
A PLUS GREEN ENERGY SERVICES  
41 C HANGAR WAY  
WATSONVILLE, CA 95076  
T. 408.310.0081

**ARBORIST:**  
KURT FOULTS  
825 MONTEREY AVE.  
CAPITOLA CA 95010  
T. 831.359.3607

**LANDSCAPE ARCHITECT:**  
JOHN DALRYMPLE LANDSCAPE ARCHITECTURE  
501 SEAPORT COURT, STE 103  
REDWOOD CITY, CA 94063  
T. 650.549.8707

**POOL SUBCONTRACTOR:**  
ADAMS POOL SOLUTIONS/ROYAL POOLS  
2258 CAMDEN AVE  
SAN JOSE, CA 95123  
T. 925.460.8662

**GENERAL NOTES**

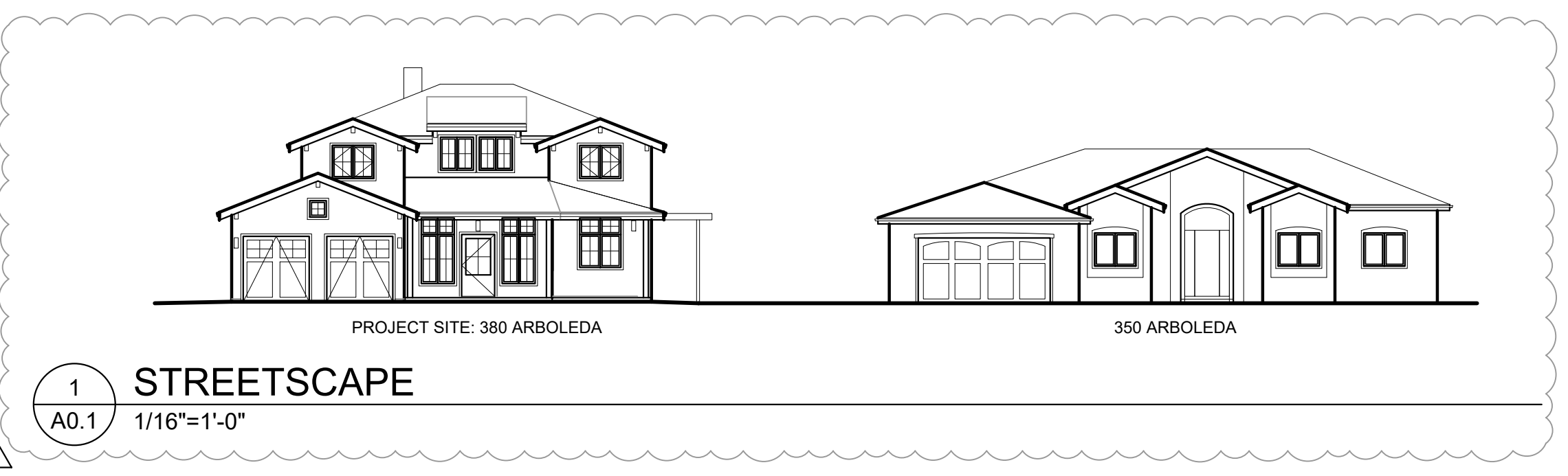
- CODES**  
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:  
PART 2 2022 CALIFORNIA BUILDING CODE  
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE  
PART 3 2022 CALIFORNIA ELECTRICAL CODE  
PART 4 2022 CALIFORNIA MECHANICAL CODE  
PART 5 2022 CALIFORNIA PLUMBING CODE  
PART 6 2022 CALIFORNIA ENERGY CODE  
PART 9 2022 CALIFORNIA FIRE CODE  
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
AND THE LOS ALTOS MUNICIPAL CODE
- DRAWINGS**  
1. **GENERAL CONDITIONS.** THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.  
2. **DIMENSIONS.** WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.  
3. **DIMENSIONS.** ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.  
4. **DIMENSIONS.** 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.  
5. **COMPLETION.** THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.
- GENERAL CONTRACTOR'S RESPONSIBILITIES**  
6. **PLANS ON SITE.** THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.  
7. **DISCREPANCIES.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.  
8. **SUBSTITUTIONS.** THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.  
9. **INSPECTIONS.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)  
10. **SAFETY.** THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.  
11. **DEFERRED SUBMITTALS.** DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.  
12. **WORKMANSHIP.** ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.  
13. **MANUFACTURER'S REQUIREMENTS.** THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.  
14. **BRACING AND SHORING.** DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
- GENERAL NOTES**  
15. **CAL GREEN.** SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS  
16. **HERS VERIFICATION.** SEE SHEET EN.1 FOR MANDATORY HERS VERIFICATION REQUIREMENTS
- FOUNDATION / SOILS (GEOTECH. REPORT)**  
17. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER.  
18. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS.

**ABBREVIATIONS**

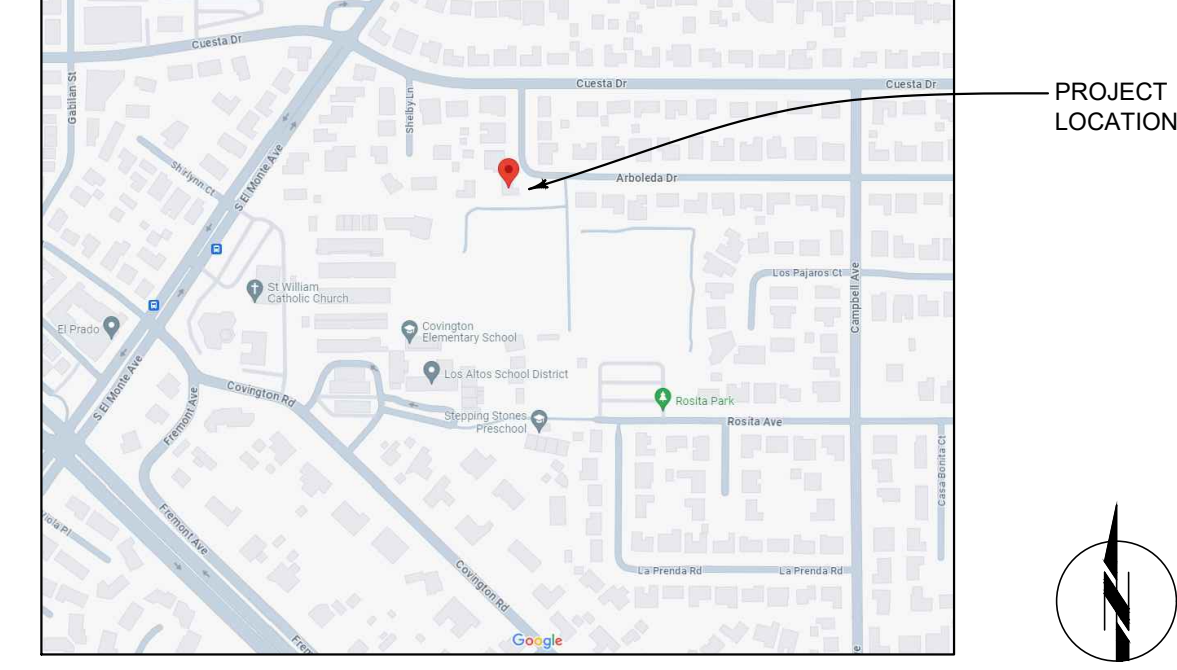
A.D.	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ.	ADJUSTABLE	GYP. BD.	GYPSUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT.	ALTERNATE	INCAN	INCANDESCENT
ALUM.	ALUMINUM	LT	LIGHT
ANOD.	ANODIZED	MAX	MAXIMUM
ARCH.	ARCHITECT/TURAL	MECH	MECHANICAL
BD.	BOARD	MFR	MANUFACTURER
BLD'G	BUILDING	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BM	BEAM	(N)	NEW
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O/	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG	CEILING	PTD	PAINTED
CLR	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC	CONCRETE	RDWD	REDWOOD
DIA	DIAMETER	REFR	REFRIGERATOR
DN	DOWN	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA	EACH	SHGT	SHEATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SKYLT	SKYLIGHT
EQ	EQUAL	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN	FINISH	ST. GR.	STAIN GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	V.I.C.	VERIFY IN FIELD
GALV	GALVANIZED	WH	WATER HEATER

**SHEET INDEX**

A0.1	TITLE SHEET
A0.2	EXISTING SITE PLAN
A0.3	PROPOSED SITE PLAN
A0.4	FLOOR AREA AND COVERAGE
--	TOPOGRAPHIC SURVEY
C1	CIVIL NOTES AND LEGEND
C2	TOPOGRAPHIC & DEMOLITION PLAN
C3	GRADING & DRAINAGE PLAN
C4	BEST MANAGEMENT PRACTICES
LP-1	LANDSCAPE DESIGN PLAN
LP-2	LANDSCAPE DESIGN PLAN
LP-3	IRRIGATION PLAN
LP-4	IRRIGATION PLAN
LP-5	IRRIGATION DETAILS
LP-6	PLANTING PLAN
LP-7	PLANTING PLAN
LP-8	FENCING PLAN
LP-9	FENCING PLAN
T1	TREE PROTECTION PLAN
T2	TREE PROTECTION PLAN
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A2.4	POOL HOUSE
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	EXTERIOR ELEVATIONS
A3.5	BUILDING SECTIONS

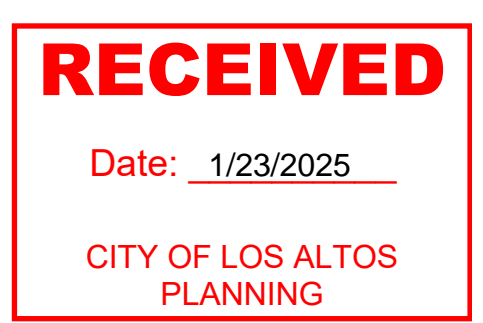


**VICINITY MAP**

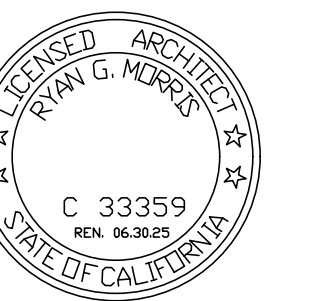


**STREETSCAPE**

1  
A0.1  
1/16"=1'-0"



MODDERMAN RESIDENCE  
380 ARBOLEDA DRIVE  
LOS ALTOS, CA 94024



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△ PLNG SUBMITTAL	10.22.24
△ PLNG SUBMITTAL	12.20.24
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EXISTING SITE PLAN

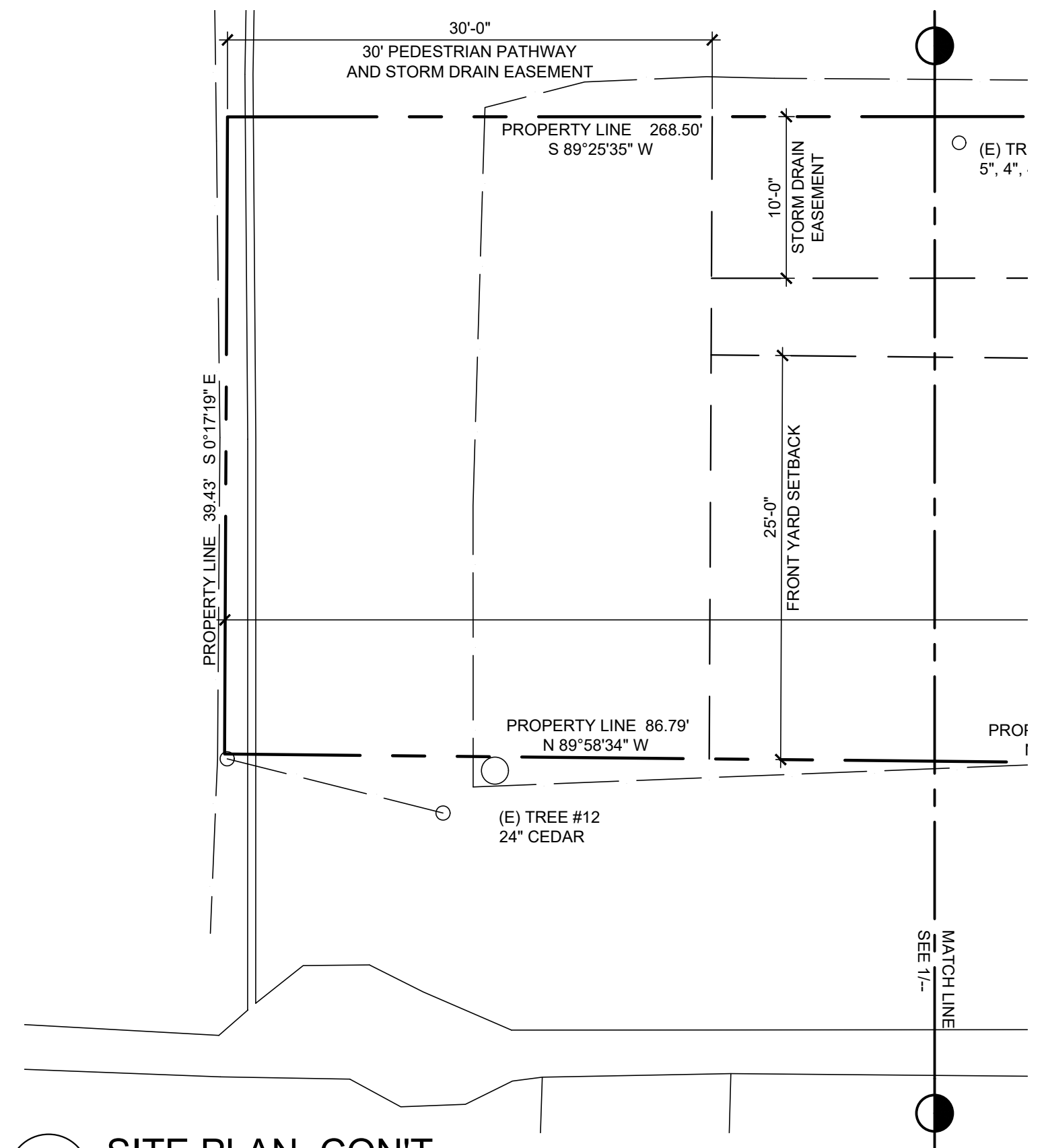
JOB #: 2409

A0.2

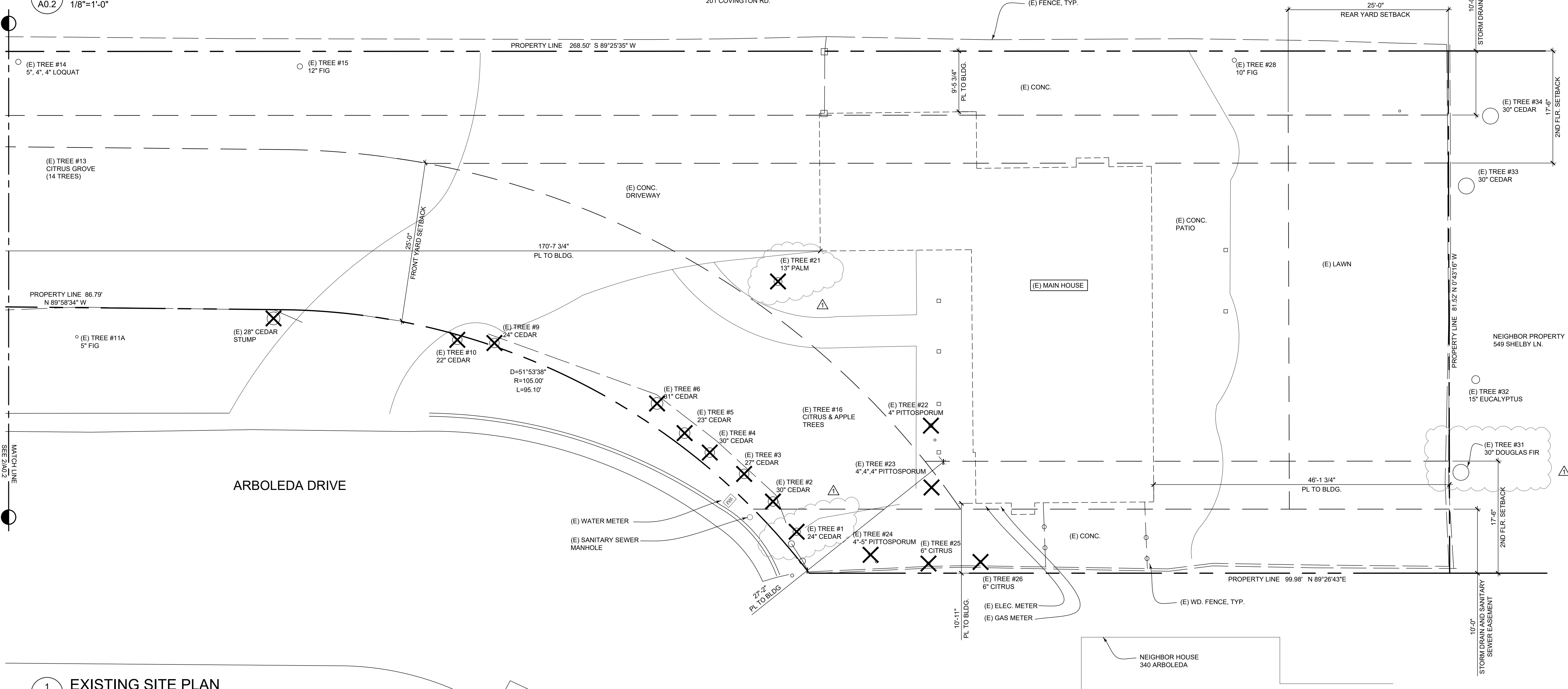
PROJECT KEYNOTES:  
1. SEE SHEETS T1 AND T2 FOR TREE PROTECTION PLAN

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  - BENCH MARK. SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
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  - CHIMNEYS. THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2" CRC R1004

- GRADING NOTES:
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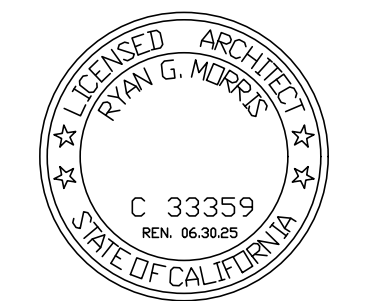
2 SITE PLAN, CON'T.  
A0.2 1/8"=1'-0"



1 EXISTING SITE PLAN  
A0.2 1/8"=1'-0"



MODDERMAN RESIDENCE  
380 ARBOLEDA DRIVE  
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PROPOSED SITE PLAN

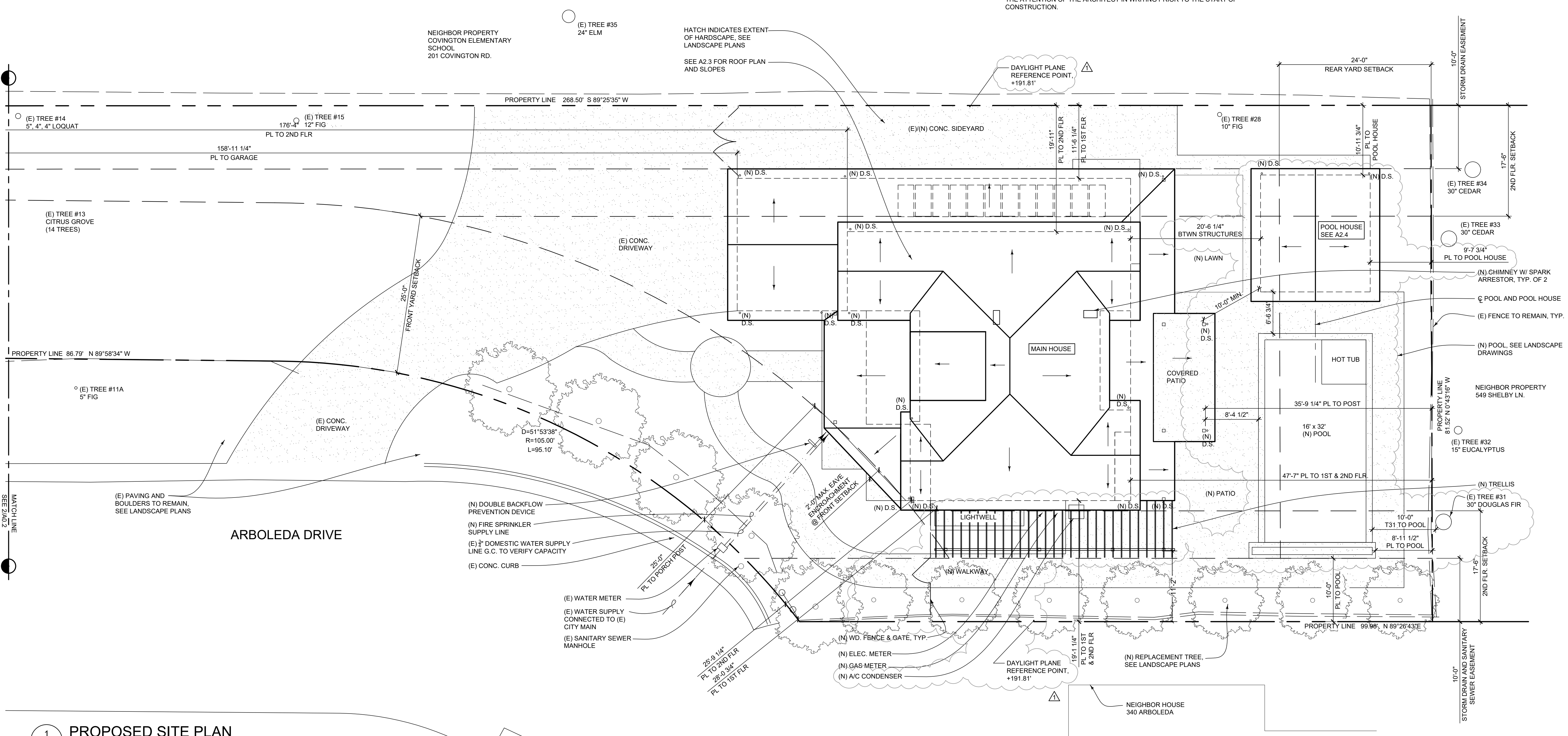
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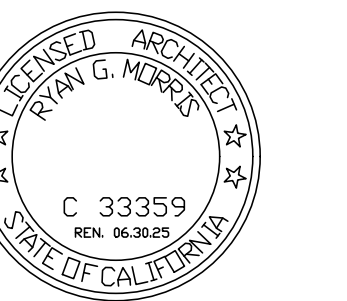
PROJECT KEYNOTES:  
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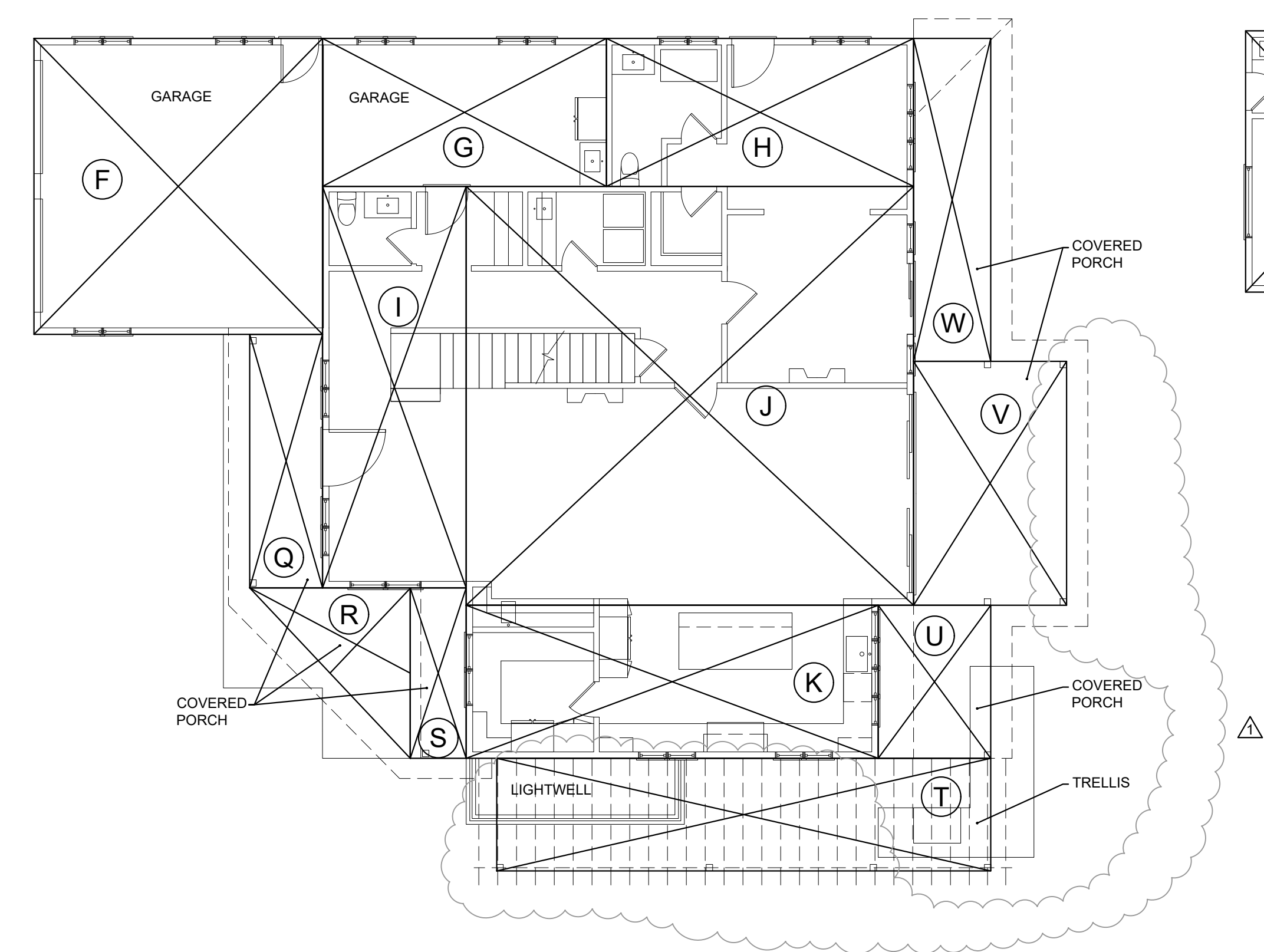


1 PROPOSED SITE PLAN  
A0.3 1/8"=1'-0"

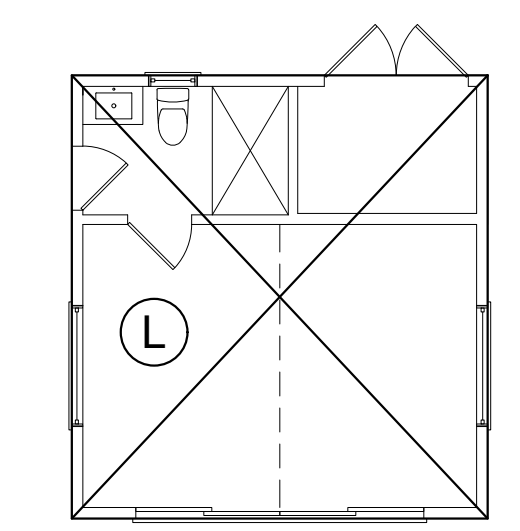


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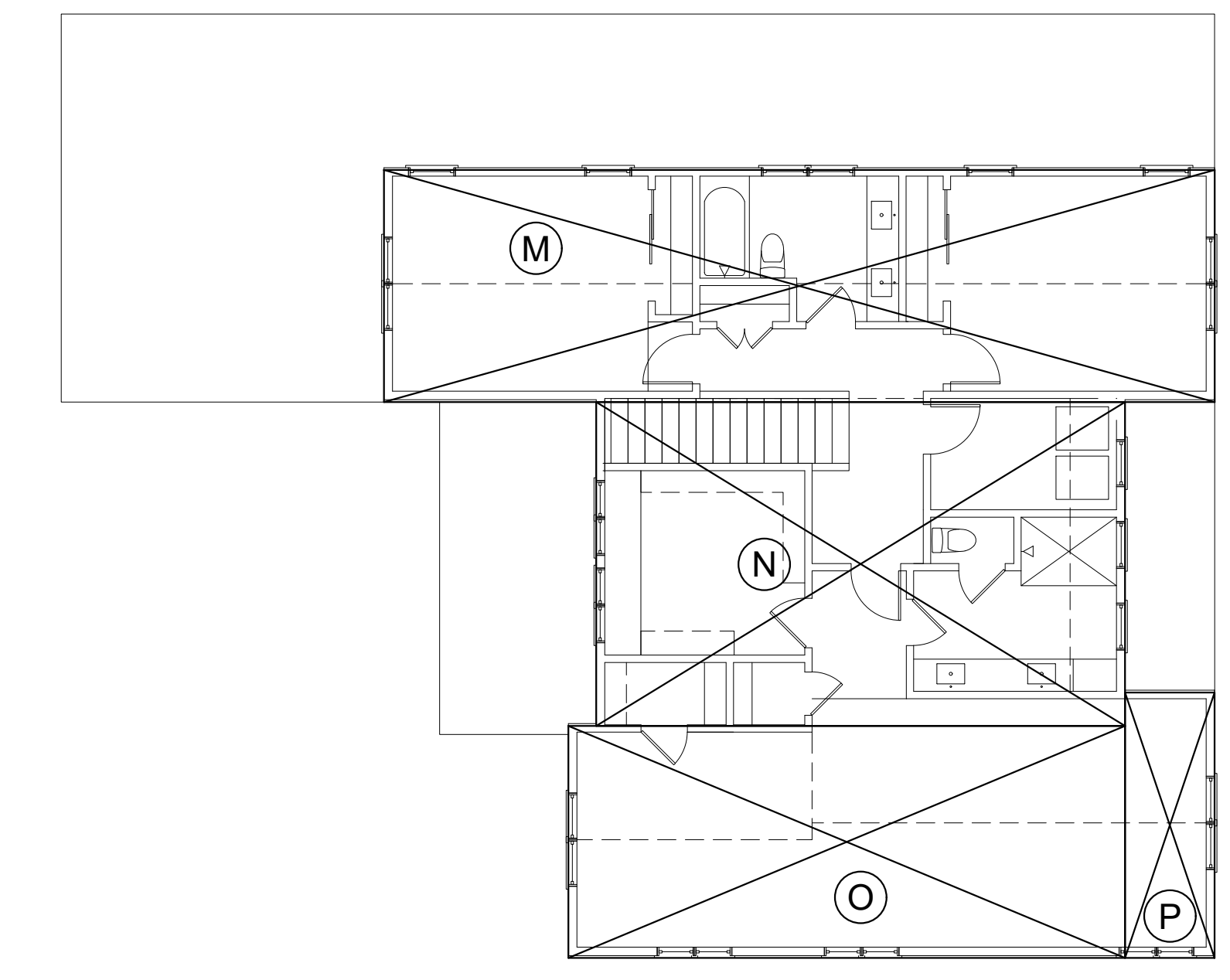
FIRST FLOOR



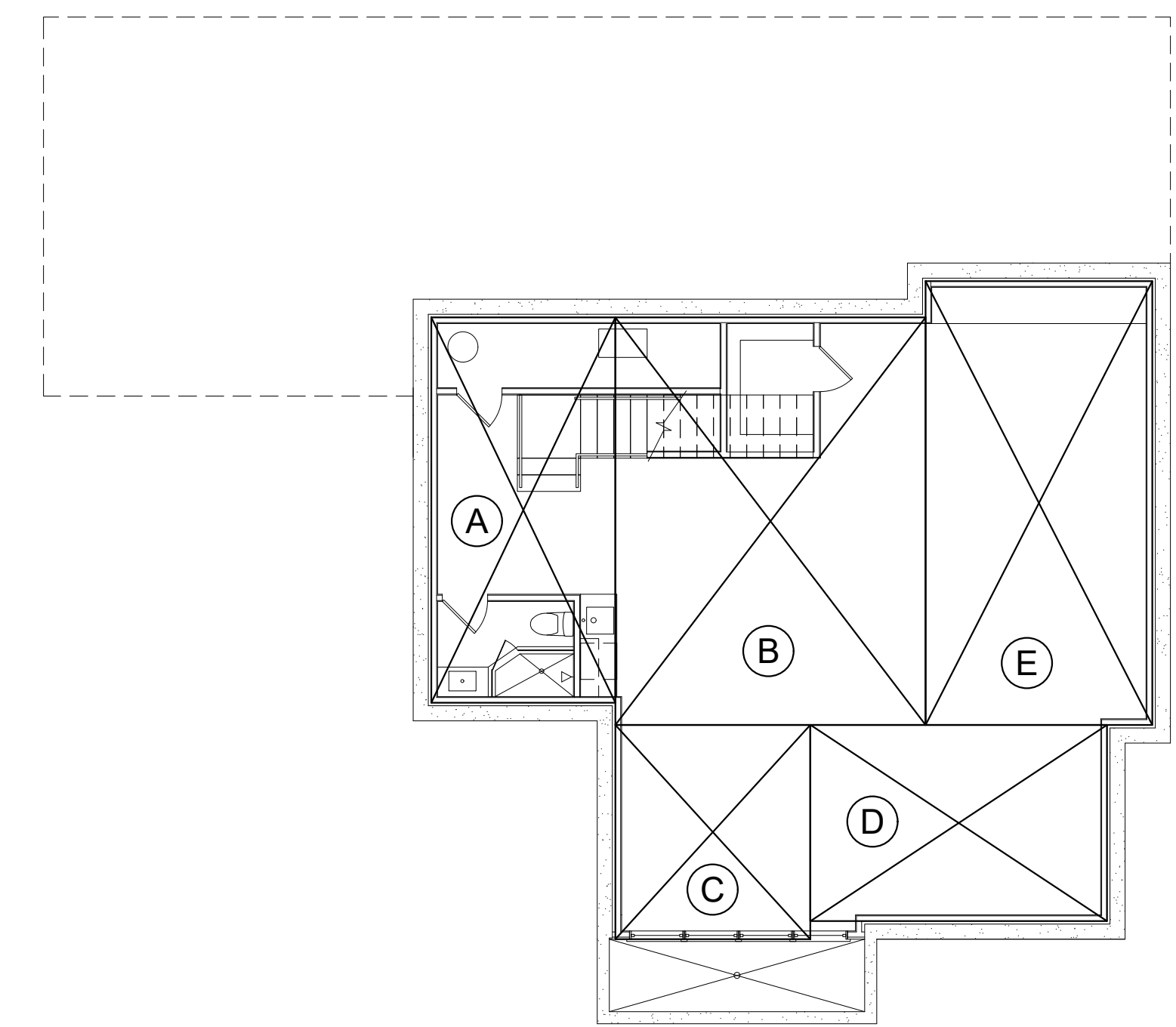
POOL HOUSE



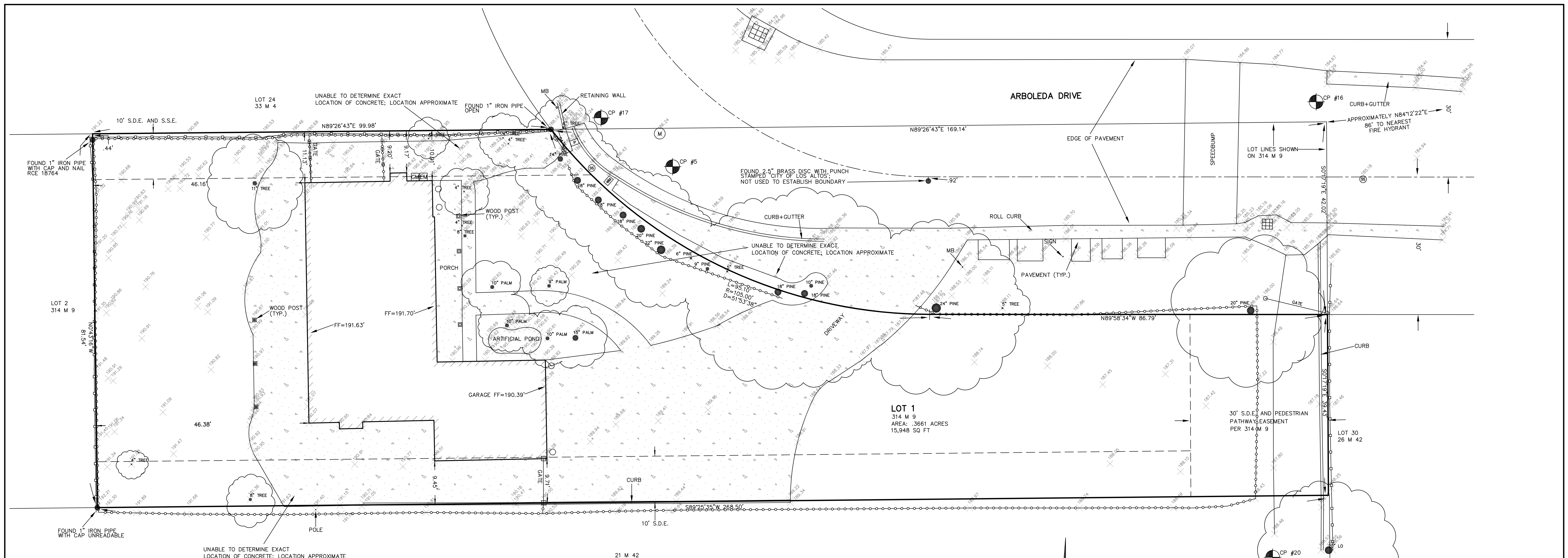
SECOND FLOOR



BASEMENT (NOT COUNTED)



PROPOSED DATA SHEET			
BASEMENT	DIMENSIONS	NOT COUNTED	AREA (SF)
A	10'-1 3/4" x 21'-3 1/4"	215.9	
B	17'-1 1/4" x 22'-5 7/8"	384.8	
C	10'-9 1/16" x 11'-9 7/8"	127.2	
D	16'-4 1/4" x 10'-9 7/8"	177.1	
E	12'-6" x 24'-5 7/8"	306.3	
<b>SUBTOTAL</b>		1211.3	0.0
1ST FLOOR	DIMENSIONS	NOT COUNTED	AREA (SF)
GARAGE F	20'-4 3/4" x 20'-11"		426.6
GARAGE G	20'-0 3/4" x 10'-5 1/2"		209.8
H	21'-8 1/2" x 10'-5 1/2"		227.0
I	10'-1 3/4" x 28'-4 1/2"		288.1
J	31'-7 3/8" x 29'-7 1/4"		936.1
K	29'-1 3/8" x 10'-9 7/8"		315.2
<b>SUBTOTAL</b>		0.0	<b>2402.8</b>
POOL HOUSE	DIMENSIONS	NOT COUNTED	AREA (SF)
L	17'-4" x 18'-5 1/2"		320.0
<b>SUBTOTAL</b>		0.0	<b>320.0</b>
2ND FLOOR	DIMENSIONS	NOT COUNTED	AREA (SF)
M	44'-9 1/4" x 12'-6 1/8"		560.0
N	28'-6" x 17'-5 1/2"		497.7
O	30'-0" x 12'-6 1/8"		375.2
P	4'-10" x 14'-3 3/4"		69.1
<b>SUBTOTAL</b>		0.0	<b>1502.0</b>
<b>TOTAL PROPOSED FLOOR AREA</b>			<b>4224.8</b>
MAX. FLOOR AREA			4225.7
SITE	DIMENSIONS	NOT COUNTED	SITE AREA (SF)
1ST FLOOR			2402.8
POOL HOUSE	SEE "K" ABOVE		320.0
Q	5'-1 3/4" x 17'-11"		92.2
R	11'-4 1/8" x 12'-0 5/8" ÷ 2		68.3
S	3'-11 1/2" x 12'-0 1/2"		47.7
T	34'-11" x 7'-11 1/2"		277.9
U	7'-11 1/2" x 10'-9 3/4"		86.1
V	10'-9 3/4" x 17'-3"		186.4
W	5'-5 1/2" x 22'-9 7/8"		124.6
<b>TOTAL PROPOSED LOT COVERAGE</b>			<b>3606.0</b>
MAX. LOT COVERAGE			4427.0



**SURVEYOR'S NOTE**

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

*Koen Wilson*  
1/5/2023  
KOEN T. WILSON LS 9440

**SITE BENCHMARK**

ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF LOS ALTOS BENCHMARK "BM 23", A BRASS DISC IN SOUTH EDGE OF CONCRETE COLLAR SURROUNDING DRAIN INLET @ NORTH SIDE OF CUESTA DRIVE AT CENTERLINE OF CAMPBELL AVE, HAVING AN ELEVATION OF 169.3910' PER NAVD88.

**GENERAL NOTES**

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ON-SITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

**UNDERGROUND UTILITY NOTE**

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

**TITLE REPORT NOTE**

A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY WHEN THE MAP WAS PREPARED. CAUTION SHOULD BE EXERCISED WHEN DESIGNING THE SITE. THERE MAY BE EXISTING EASEMENTS THAT IMPACT THE PROPERTY.

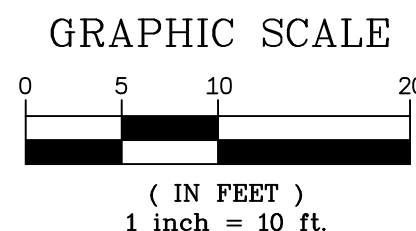
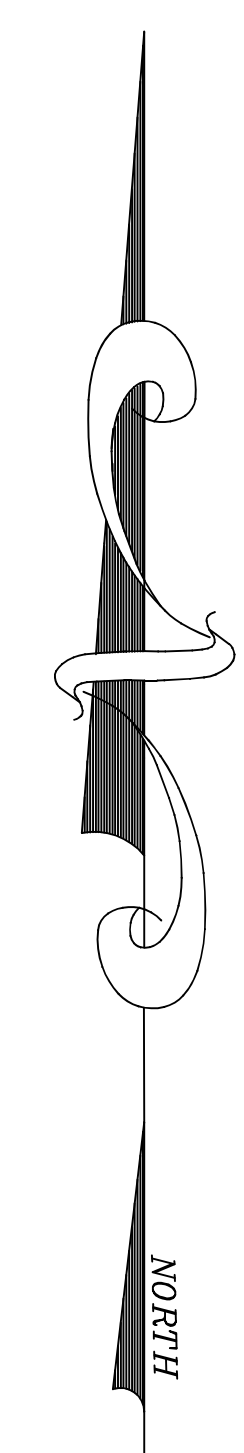
**SETBACK LINES NOTE**

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
5	4142.4502	6049.4427	186.4414	CP N+T
16	4156.5994	6189.7974	184.9279	CP N+T
17	4153.1142	6033.8257	186.2748	CP N+T

**LEGEND**

- FOUND AS NOTED
- SET 5/8" REBAR WITH PLASTIC CAP "WILSON L 9440"
- SET NAIL AND 1" BRASS TAG "WILSON L 9440" IN CONCRETE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ JOINT POLE
- ⊕ GUYWIRE
- W — BLUE PAINT, EVIDENCE OF UNDERGROUND WATER LINE
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ MONITORING WELL
- G — YELLOW PAINT, EVIDENCE OF UNDERGROUND GAS LINE
- ⊕ A/C AIR CONDITIONING UNIT
- P — EVIDENCE OF UNDERGROUND PHONE LINE
- ⊕ PHONE BOX
- OH — OVERHEAD LINE
- TV — EVIDENCE OF UNDERGROUND TV LINE
- ⊕ DROP INLET
- ⊕ MANHOLE
- ⊕ D STORM DRAIN MANHOLE
- ⊕ SS SEWER MANHOLE
- ⊕ SEWER CLEANOUT
- SS — GREEN PAINT, EVIDENCE OF UNDERGROUND SEWER LINE
- — SIGN
- ⊕ CONTROL POINT
- ⊕ LAMP POST
- ⊕ ELECTRIC BOX
- ⊕ WOOD FENCE
- ⊕ CONCRETE
- LO LIVE OAK
- WO WHITE OAK
- RW REDWOOD
- TYP. TYPICAL
- FF FINISH FLOOR ELEVATION
- — CHAIN LINK FENCE
- S.S.E. — SANITARY SEWER EASEMENT PER 314 M 9
- S.D.E. — STORM DRAIN EASEMENT PER 314 M 9
- ⊕ BRICKS
- ⊕ PAVERS
- ⊕ BUILDING
- — STREET CENTER LINE
- — PROPERTY LINE
- — EASEMENT LINE



This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Email: [koenw@wilsonlandsurveys.com](mailto:koenw@wilsonlandsurveys.com)  
[www.wilsonlandsurveys.com](http://www.wilsonlandsurveys.com)



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
AS REQUESTED BY:  
**LUCYMARIE MODDERMAN**

LEGAL DESCRIPTION: LOT 1 TRACT 5289 (314 M 9), CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 189-51-066  
DATE: DECEMBER 2022  
FILENAME: N-210 ARBOLEDA DRIVE TOPO  
SITE ADDRESS: 380 ARBOLEDA DRIVE LOS ALTOS, CA 94024

DRAWN BY: KTW	SCALE: 1"=10'	PROJECT: N-210	JOB NUMBER: N-210	SHEET: 1 OF 1
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# GRADING & DRAINAGE PLAN

APN 189-51-066  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA

**NOTES**

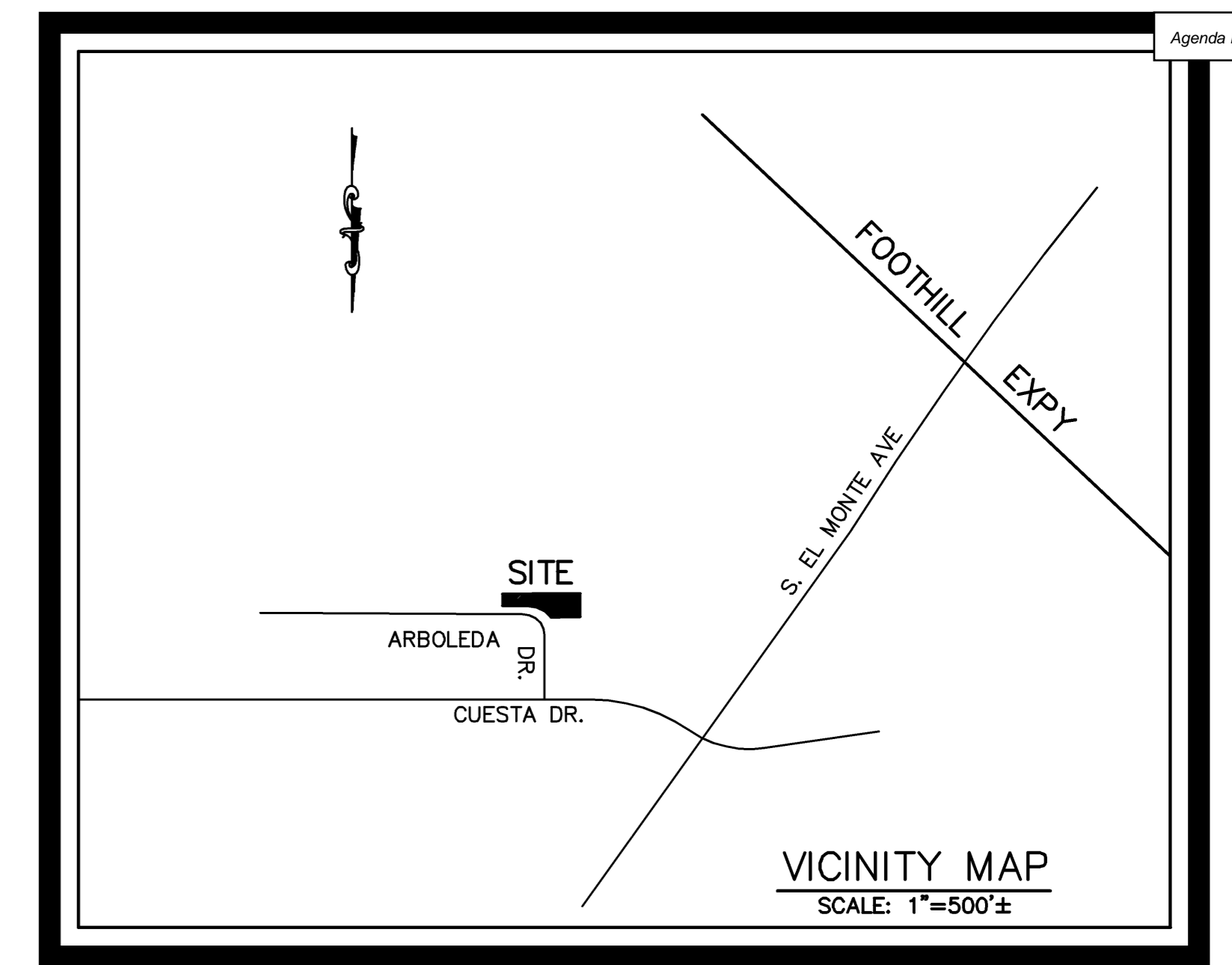
- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY WILSON LAND SURVEYS. PROJECT: N-210, JOB NUMBER N-210, DATE: DECEMBER 2022.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF LOS ALTOS BENCHMARK 'BM 23', A BRASS DISC IN SOUTH EDGE OF CONCRETE COLLAR SURROUNDING DRAIN INLET @ NORTH SIDE OF CUESTA DRIVE AT CENTERLINE OF CAMPBELL AVE, HAVING AN ELEVATION OF 169.3910' PER NAVD88.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 2660 TO ARRANGE FOR DISTRICT OBSERVATION OF ALL WELL ABANDONMENTS.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER.
- ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

**ABBREVIATIONS**

AC	AIR CONDITIONER
AD	AREA DRAIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DROP INLET
E PNL	ELECTRIC PANEL
EM	ELECTRIC METER
FF	FINISH FLOOR
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FNC	FENCE
FL	FLOW LINE
GM	GAS METER
HP	HIGH POINT
INV	INVERT
IRR	IRRIGATION
MON	MONUMENT
SDE	STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SSE	SANITARY SEWER EASEMENT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TBM	TEMPORARY BENCHMARK
TW	TOP OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE

**LEGEND:**

EXISTING	(Symbol Size May Vary)	PROPOSED
---		Property Boundary
---		Centerline
====		Curb & Gutter
---SD---		Storm Drain
---SS---		Sanitary Sewer
---W---		Water
---G---		Gas
---E---		Electric
---X---		Fence
⊕		Electrolier
⊗		Swale
⊠		Water Valve
○		Sanitary Sewer
⊕		Storm Manhole
+ 102.389		Point Elevation as Noted
→		Direction of Surface Drainage
→		Overland Release
~10~		Contour
—R—		Ridge Line
▢		Concrete



**EARTH WORK QUANTITIES**

CUT: 490 C.Y.

FILL: 0 C.Y.

EXPORT: 490 C.Y.

IMPORT: 0 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FROM CONTAINING THE ENGINEER'S SIGNATURE.

**SHEET INDEX**

- C1 NOTES & LEGEND
- C2 TOPOGRAPHIC/DEMOLITION PLAN
- C3 GRADING & DRAINAGE PLAN
- C4 BLUE PRINT FOR CLEAN BAY

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-24 L.S. 9212-EXPIRES 09-30-25

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

**MISSION ENGINEERS, INC.**

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd. Santa Clara, California 95050  
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY

NOTES & LEGEND

APN 189-51-066

380 ARBOLEDA DRIVE

IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

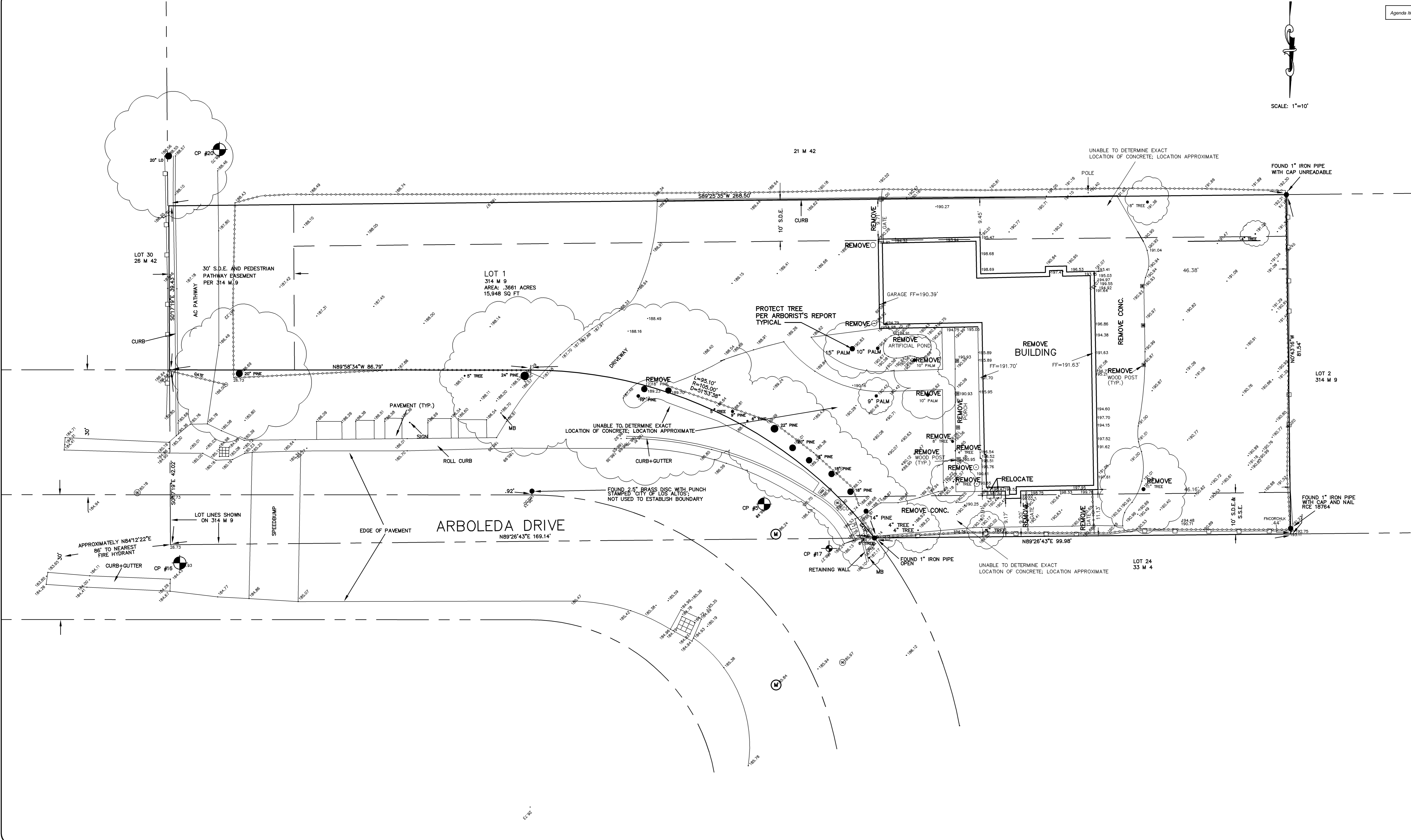
SCALE:	AS NOTED
DATE:	10-21-24
DWN:	SS ME30
CHKD:	
JOB NO.	24028
DWG NO.	L15293

SHEET

C1

OF 4 SHEETS

SCALE: 1"=10'



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SCALE: 1"=10'

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SHEET

C2

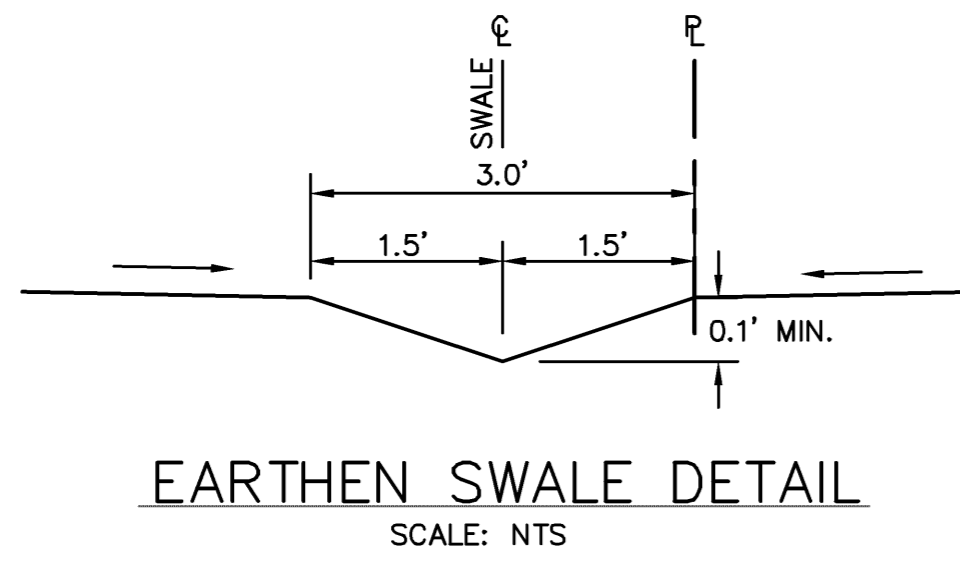
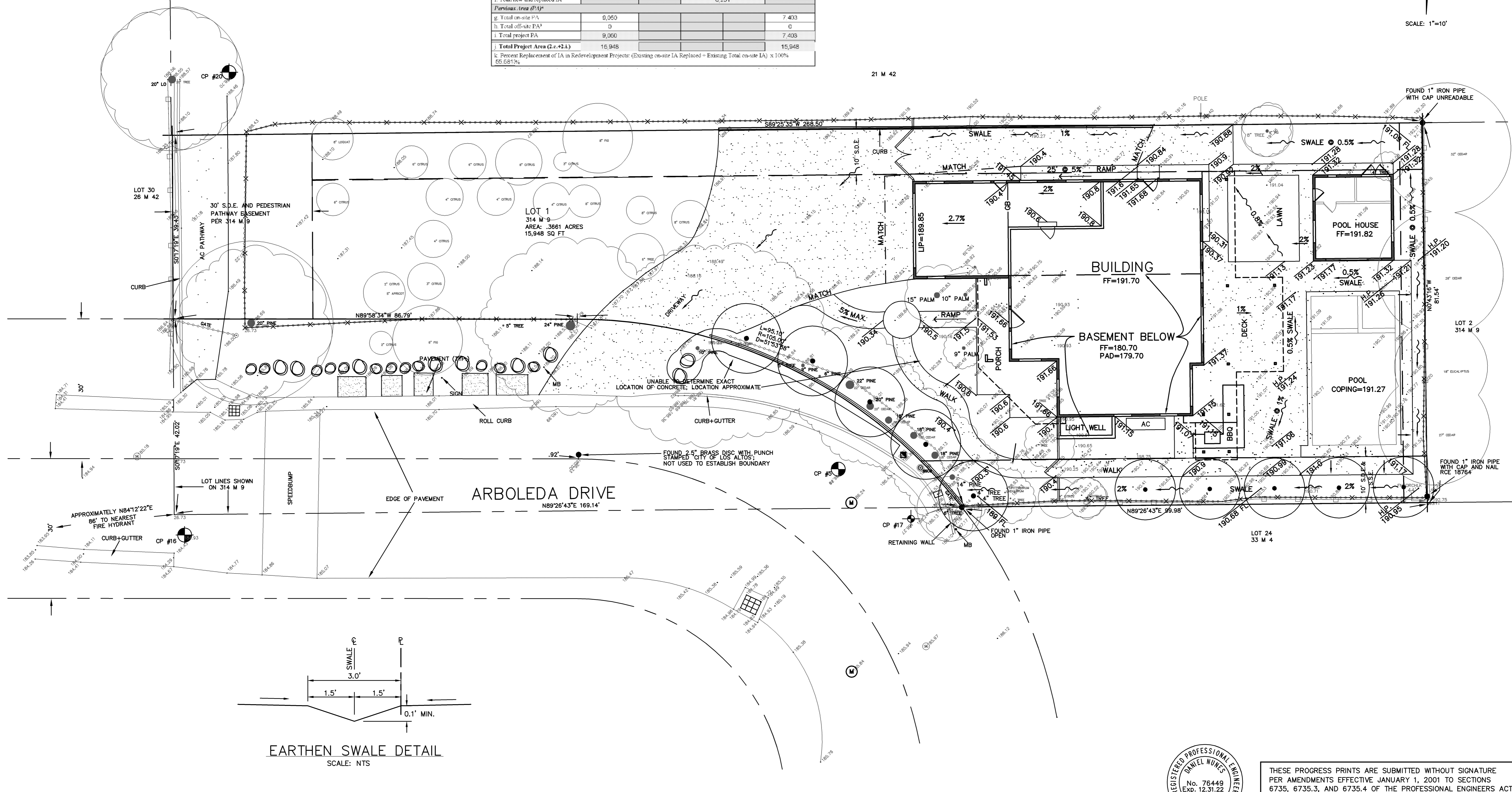
OF 4 SHEETS

IMPERVIOUS/PERVIOUS TABLE

a. Total Site Area: 15,948 (ft <sup>2</sup> )		b. Total Land Area Disturbed During Construction: 9,300 (ft <sup>2</sup> ) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft <sup>2</sup> )	Existing Area Retained (ft <sup>2</sup> )	Existing Area Replaced (ft <sup>2</sup> )	New Area Created (ft <sup>2</sup> )	Total Post-Project Area (ft <sup>2</sup> )
<b>Impervious Area (IA)</b>					
e. Total on-site IA	6,898	2,294	3,834	2,417	8,545
d. Total off-site IA <sup>1</sup>	0		0	0	0
c. Total project IA	6,898	2,294	3,834	2,417	8,545
f. Total new and replaced IA				6,251	
<b>PerVIOUS Area (PVA)</b>					
g. Total on-site PVA	9,050				7,403
h. Total off-site PVA <sup>2</sup>	0				0
i. Total project PVA	9,050				7,403
j. Total Project Area (c.e.+i.)	16,948				15,948
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced - Existing Total on-site IA) x 100% = 55.81%					

SCALE: 1"=10'

21 M 42



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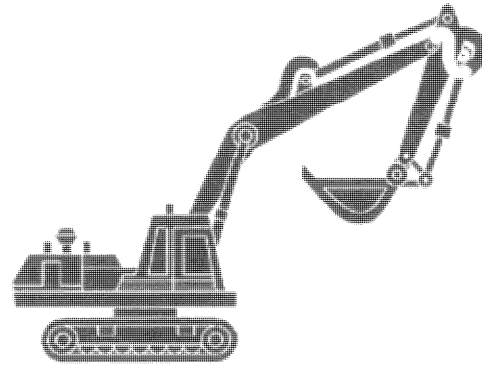
REVISIONS			
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DWN: SS ME30  
CHKD:  
JOB NO. 24028  
DWG NO. L15293

SHEET  
**C3**  
OF 4 SHEETS

### Heavy Equipment Operation

Best Management Practices for the Construction Industry



#### Doing the Job Right

##### Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.

##### Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

#### Storm water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

#### Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

### Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



#### Doing The Right Job

##### General Business Practices

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Revegetation is an excellent form of erosion control for any site.

##### Landscaping/Garden Maintenance

- Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product.
- Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that accepts yard waste. No curbside pick-up of yard waste is available for commercial properties.

#### Storm Drain Pollution From Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

#### Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

### Roadwork and Paving

Best Management Practices for the Construction Industry



#### Doing The Job Right

##### General Business Practices

- Develop and implement erosion/sediment control plans for roadwork embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

##### During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

#### Storm Drain Pollution from Roadwork

Road paving, surfacing and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

#### Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

### Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



#### Doing The Job Right

##### Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- Wash water from painted buildings constructed before 1978 can be used for cleaning, but even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead. Block storm drains. Empty, dry paint cans also may be recycled as metal.
- If there is a loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

##### Paint Removal

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (pump or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assess the wastewater treatment authority in making its decision.

#### Storm Drain Pollution from Paints, Solvents, and Adhesives

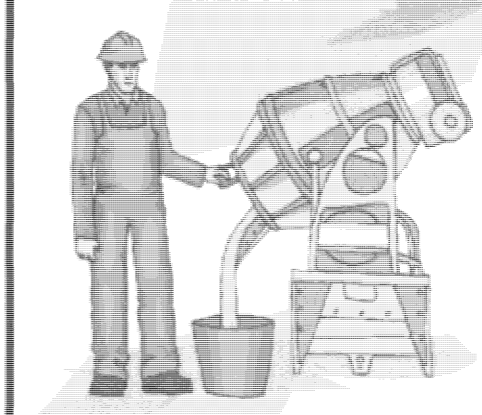
All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

#### Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

### Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



#### Doing The Job Right

##### General Business Practices

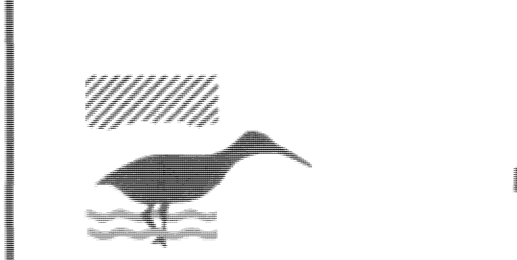
- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

#### Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

#### Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers



#### Los Altos Municipal Code Requirements

##### Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

- A. Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to: discharge from toilets; sinks; industrial processes; cooling systems, boilers, fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.
- B. Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

##### Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

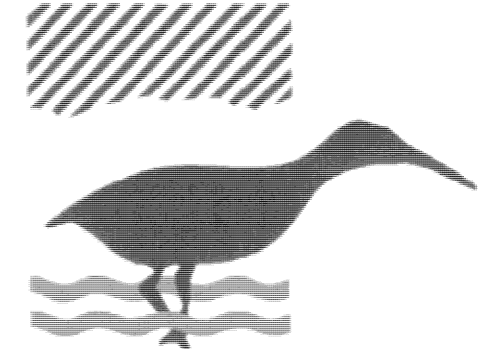
- A. A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.
- B. A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.
- C. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.
- D. No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system, nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-6.643)

Criminal and judicial penalties can be assessed for non-compliance.

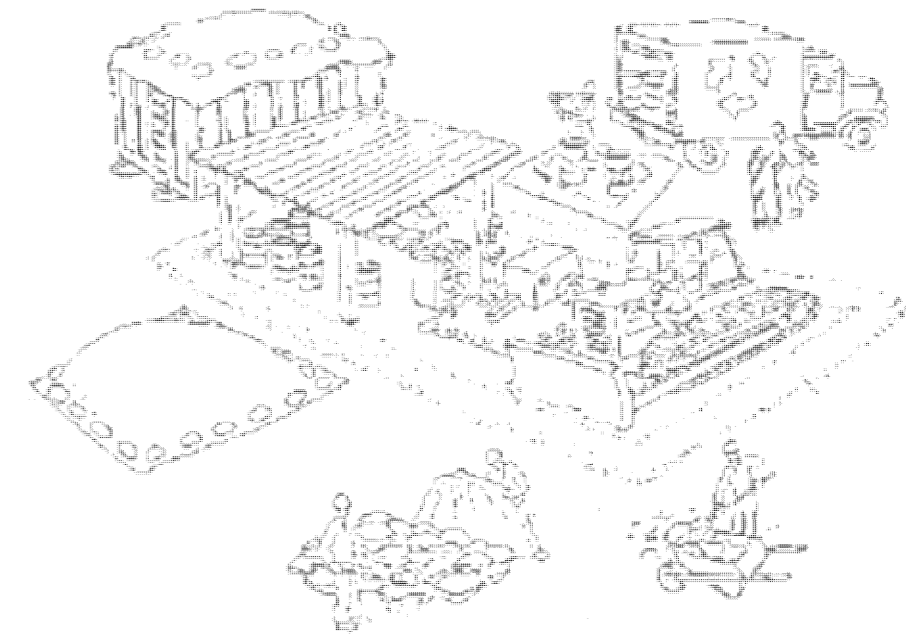
# Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

## Best Management Practices for the Construction Industry



### Santa Clara Urban Runoff Pollution Prevention Program



DESIGNED BY: LARRY LIND	APPROVED BY: 	CITY OF LOS ALTOS	DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHIEN	CITY ENGINEER	48056	SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET	OF SHEETS	DRAWING NO:

LANDSCAPE DOCUMENTATION INFORMATION

- 1. PROJECT INFORMATION
  - A. DATE: 10-22-24
  - B. PROJECT APPLICANT: RYAN MORRIS, MORRIS ARCHITECTURE, MILLBRAE, CA 94030 (650) 995-1360
  - C. PROJECT ADDRESS: 380 ARBOLEDA DRIVE, LOS ALTOS, CA 94024. APN: 189-51-066
  - D. TOTAL IRRIGATED LANDSCAPE AREA 1,996 SQ. FT. (LAWN: 228 SQ. FT.; PLANTING: 1,770 SQ. FT.) PRESCRIPTIVE COMPLIANCE OPTION
  - E. PROJECT TYPE: NEW RESIDENCE
  - F. WATER SUPPLY: POTABLE
  - G. WATER PURVEYOR: CALIFORNIA WATER SERVICE COMPANY. PROJECT CHECKLIST: SEE BELOW
  - H. PROJECT CONTACTS: RYAN MORRIS, ARCHITECT (650) 995-1360, JOHN DALRYMPLE, LANDSCAPE ARCHITECT (650) 549-8707.
  - I. LANDSCAPE DOCUMENTATION PACKAGE STATEMENTS:
    - \* I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE WATER EFFICIENT LANDSCAPE ORDINANCE.
    - \*\* ALL LANDSCAPE AREAS SHALL INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES.

10-22-24  
 JOHN DALRYMPLE LANDSCAPE ARCHITECTURE DATE  
 2. WATER EFFICIENT LANDSCAPE WORKSHEET  
 D. HYDROZONE INFORMATION TABLE - SEE SHEET LP-5  
 E. WATER BUDGET CALCULATIONS MAWU & ETWU - SEE SHEET LP-5

- 3. SOIL MANAGEMENT REPORT  
NOT REQUIRED FOR PRESCRIPTIVE COMPLIANCE.
- 4. LANDSCAPE DESIGN PLAN  
SEE SHEET LP-1, LP-2
- 5. IRRIGATION DESIGN PLAN  
SEE SHEETS LP-3, LP-4, LP-5
- 6. GRADING DESIGN PLAN  
SEE CIVIL ENGINEER PLANS C-3.

- LANDSCAPE DOCUMENTATION CHECKLIST
1. PROJECT INFORMATION - CHECK
  2. WATER EFFICIENT LANDSCAPE WORKSHEET - CHECK
  3. SOIL MANAGEMENT REPORT - NOT REQUIRED
  4. LANDSCAPE DESIGN PLAN - CHECK
  5. IRRIGATION DESIGN PLAN - CHECK
  6. GRADING DESIGN PLAN - CHECK

LANDSCAPE PLAN NOTES

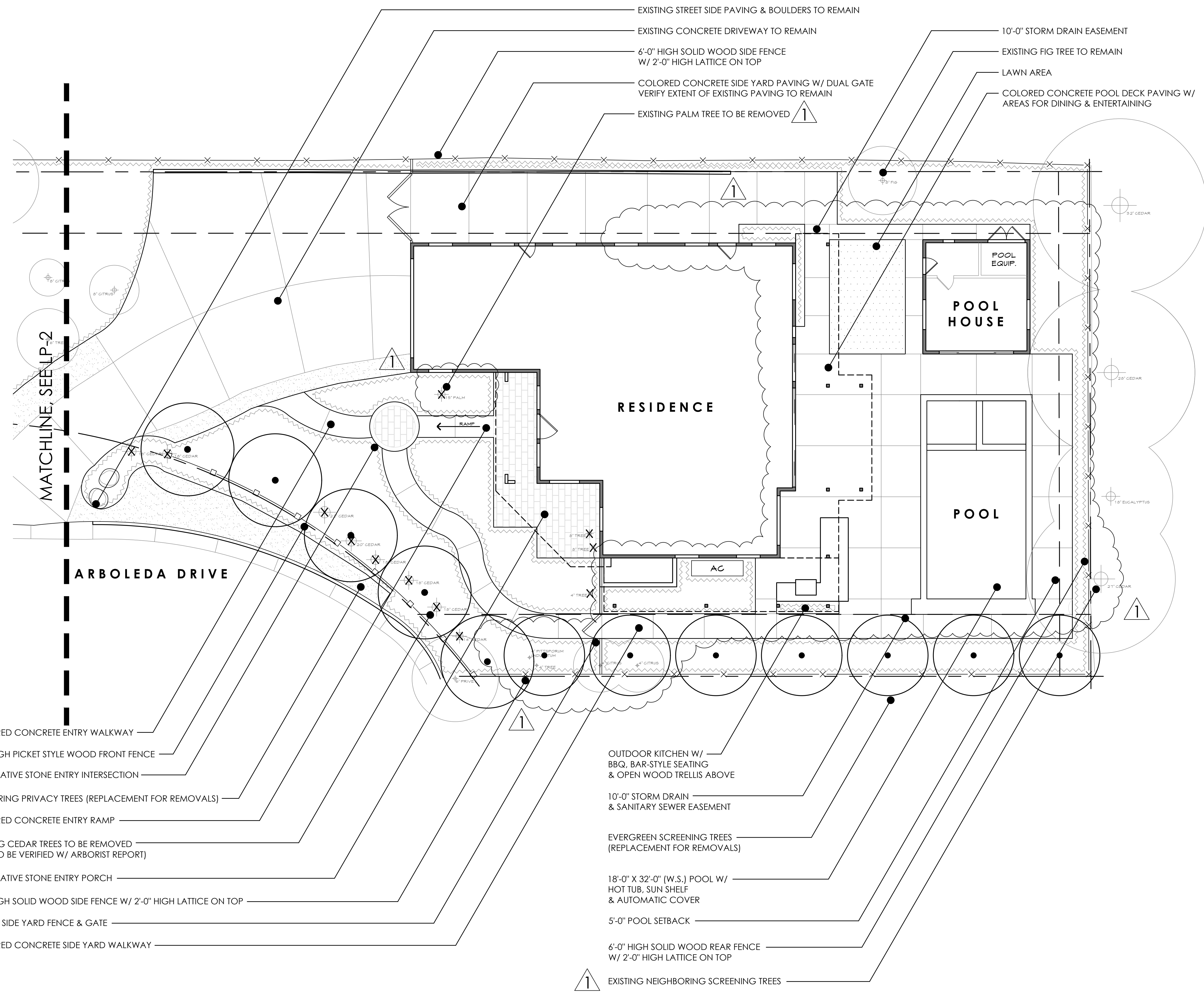
1. ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
2. CONTRACTOR TO FAMILIARIZE HIM / HERSELF WITH ALL ON SITE CONDITIONS PRIOR TO BIDDING PROJECT
3. THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD; ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY WORK.
4. CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER AND LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
5. VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGES TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICAL AND PLUMBING WORK
7. THE CONTRACTOR SHALL SECURE PERMITS FOR ALL WORK FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS, OR NEGLECT OF SUB-CONTRACTORS.
9. ALL PROPERTY AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
10. WRITTEN DIMENSIONS SHOWN ON DRAWINGS SHALL IN ALL CASES TAKE PRECEDENCE OVER SCALED DIMENSIONS.
11. ALL DIMENSIONS ARE FROM OUTSIDE THE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
12. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
13. CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY PLANTS DAMAGED OR DESTROYED DURING CONSTRUCTION AT CONTRACTOR'S OWN EXPENSE.
14. ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL ADDITIONAL PERMITS AND ALL INSPECTIONS REQUIRED.
15. CONTRACTOR SHALL GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
16. LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 5% MIN. OR AS SHOWN ON PLANS.
17. LANDSCAPE MOUNDS AND FILL AREAS SHALL BE SPREAD IN LOOSE LIFTS OF 6" OR LESS AND COMPACTED BY WATER SATURATION TO A DEGREE OF 95% OR GREATER.
18. EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE.
19. ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTOURS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
20. ALL MATTER OF DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED
21. THE CONTRACTOR SHALL STAKE THE LAYOUT FOR THE WALKWAYS, WALLS, FENCES, PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
22. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES, COLORS AND PAVING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
23. ALL CONCRETE FLATWORK LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
24. ALL WALLS AND WALKS SHALL HAVE A SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
25. THE CONTRACTOR SHALL PROVIDE SLEEVES UNDER WALKWAYS, WALLS, FENCES PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
26. ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MINI FIR BARK OR APPROVED EQUAL IN ALL NEWLY PLANTED AREAS. SUBMIT SAMPLE FOR APPROVAL. SITE INFORMATION WAS TAKEN FROM DRAWINGS PREPARED BY MORRIS ARCHITECTURE, MILLBRAE, CA 94030, (650) 995-1360, MARCH 2024. SURVEY BY WILSON LAND SURVEYORS, LOS GATOS, CA 95032, (408) 427-2279, DECEMBER 2022. CIVIL ENGINEERING DRAWINGS BY MISSION ENGINEERS, INC., SANTA CLARA, CA 95050, (408) 727-8282, OCTOBER 2024. FIELD MEASUREMENTS TAKEN BY JOHN DALRYMPLE LANDSCAPE ARCHITECTURE, REDWOOD CITY, CA 94063, (650) 549-8707, AUGUST 2024. BRING ANY DISCREPANCIES TO CONTRACTOR FOR A DECISION.

LANDSCAPE PLAN LEGEND

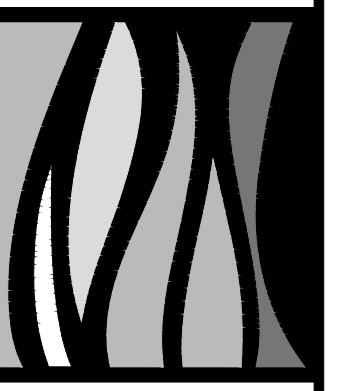
- INDICATES PLANTING AREA
- INDICATES SOD LAWN AREA
- INDICATES EXISTING TREES TO REMAIN
- INDICATES EXISTING TREES TO BE REMOVED

FENCING LEGEND

- INDICATES PROPOSED 6'-0" HIGH SOLID WOOD FENCE, W/ 2'-0" HIGH LATTICE ON TOP
- INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
- INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE

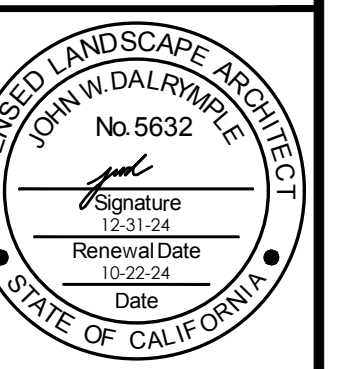


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 john@dalrymple.com  
 380 Arboleda Drive, Suite 110  
 Los Altos, CA 94024  
 www.johndalrymple.com



MODDERMAN  
 RESIDENCE  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA 94024

LANDSCAPE  
 DESIGN PLAN



DATE  
 10-22-24  
 REVISIONS  
 12-20-24  
 PLAN CHECK COMMENTS  
 1-24-25  
 PLAN CHECK COMMENTS

SCALE  
 1/8" = 1'-0"  
 NORTH

SHEET  
 LP - 1



10'-0" STORM DRAIN EASEMENT

6'-0" HIGH SOLID WOOD SIDE FENCE W/ 2'-0" HIGH LATTICE ON TOP

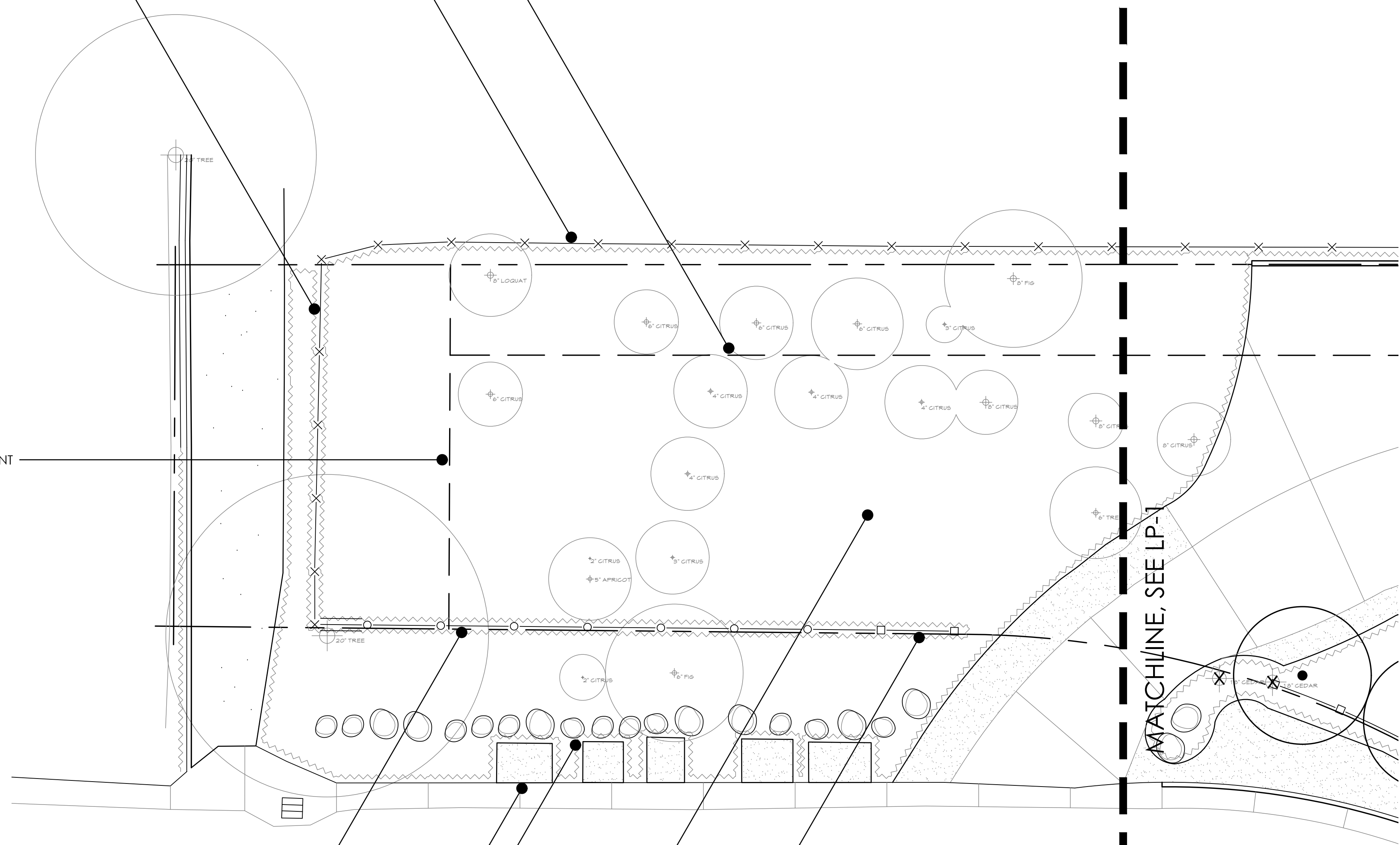
30'-0" STORM DRAIN & PEDESTRIAN PATHWAY EASEMENT

4'-0" HIGH SOLID WOOD FRONT FENCE

EXISTING STREET SIDE BOULDER & PAVING TO REMAIN

EXISTING ORCHARD TO REMAIN

8'-0" SECTION OF 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE



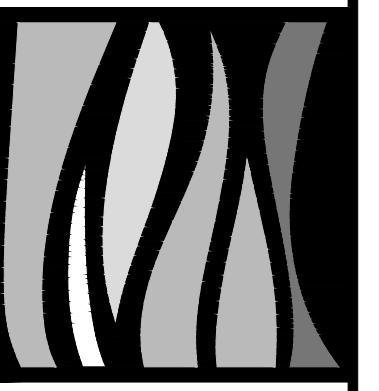
LANDSCAPE PLAN LEGEND

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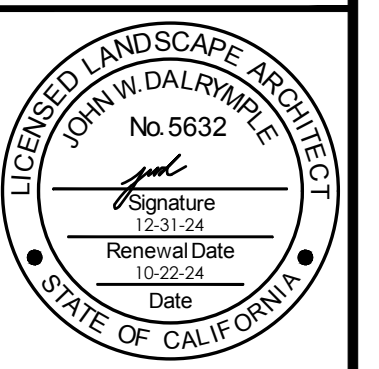
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- INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
- INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE

**JOHN DALRYMPLE**  
 LANDSCAPE ARCHITECTURE  
 603.949.8077  
 john@dalrymple.com  
 380 Arboleda Drive, Suite 110  
 Los Altos, CA 94024  
 www.dalrymple.com



**MODDERMAN**  
**RESIDENCE**  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA 94024

**LANDSCAPE**  
**DESIGN PLAN**



**DATE**  
 10-22-24  
**REVISIONS**  
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 PLAN CHECK COMMENTS  
 1-24-25  
 PLAN CHECK COMMENTS

**SCALE**  
 1/8" = 1'-0"

**NORTH**

**SHEET**  
**LP - 2**

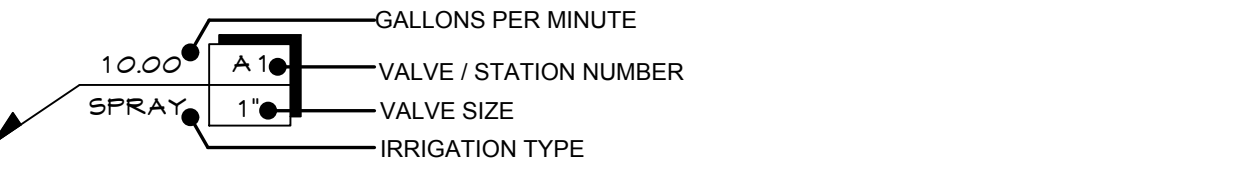
IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE REPAIRED BY THE CONTRACTOR IN AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITIES FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THEIR WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIREMENTS
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 60 PSI. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION AFTER THE BACK FLOW DEVICES IS 60 PSI. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 PSI WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 13 GPMs.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW LAYOUT PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE, SET 2" SAND BED CONTINUOUS AROUND ENTIRE SLEEVE, WITH MARKING TAPE AT EACH END. EXTEND PAST PAVING 6".
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINES UNDER STREETS AND DRIVE WAY TO BE 24" MINIMUM DEPTH.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. WHITE ON COLOR. WIRES TO BE MULTI-STRAND #18-8 REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS.
- REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WHITE NUMBERED VALVE STATIONS IN STENCILS.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION MIN. CONTRACTOR TO REPAIR SETTLED TRENCHES ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIUS (ARC IF APPLICABLE) TO OPTIMUM COVERAGE AND ELIMINATE SPRAYING INTO PAVEMENT, BUILDINGS AND WALLS. ADD HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR BUILDINGS.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH THE ACCEPTANCE AT THE FINAL SITE REVIEW.
- ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LANDSCAPE ARCHITECT AND OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITHIN TWO DAYS PRIOR TO NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
  - PRESSURE TEST TO MAINLINE PRIOR TO BACKFILLING TRENCHES.
  - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
  - FINAL WALK THROUGH OF ALL ASPECTS OF IRRIGATION SYSTEM.
- WATER JET ALL TRENCHES. TYPICAL.

IRRIGATION LEGEND

- WATER METER, VERIFY LOCATION, GPM & PRESSURE IN FIELD W/ JOB SUPERINTENDENT
- DEDICATED IRRIGATION WATER METER  
1" HUNTER HC FLOW METER (HC-100-FLOW)  
W/ 1" HUNTER MASTER VALVE  
NOTE: USE SHIELDED WIRE FOR CONTROLLER CONNECTION
- IRRIGATION POINT OF CONNECTION  
HUNTER HPC (PRO-C) HYDRAWISE WIFI CONTROLLER  
W/ PLASTIC BUILT IN REMOTE COMPATIBLE  
& WATER / WEATHER MANAGEMENT COMPATIBLE  
REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 825Y 1"
- WILKENS PRESSURE REDUCER ASSEMBLY; - IF REQUIRED  
IF PRESSURE EXCEEDS 70 P.S.I., SET TO 70 P.S.I.:  
LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- NIBCO BALL VALVE; LINE SIZE, LOCATED IN LABELED PLASTIC BOX - IF REQUIRED
- 1" HUNTER PGV-100G SERIES SPRAY REMOTE CONTROL VALVE OR EQ.  
W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- 1" HUNTER PCZ-101 SERIES DRIP REMOTE CONTROL VALVE ASSEMBLY  
W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION
- HUNTER MP ROTATOR - MP1000-360 (8'-15" RAD.) - 6" POP W/ CV - .84 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-180 (8'-15" RAD.) - 6" POP W/ CV - .42 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-90 (8'-15" RAD.) - 6" POP W/ CV - .21 GPM AT 40 PSI
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN
- IRRIGATION ZONES

- LAWN AREAS & GROUND COVER TO BE HUNTER MP ROTATORS
- MP1000-360 & 90-210 NOZZLES ON 8" POP UPS ON PPS40 BODY W/ CHECK VALVE
- HEADS TO BE PLACED TO ACHIEVE HEAD TO HEAD COVERAGE
- NOTE: NO-MOW LAWN AREAS TO HAVE 12" POP-UPS
- PLANTING AREAS TO BE DRIP IRRIGATION W/ NETAFIM INLINE DRIP LINES
- OR SALCO 1/2" AR DRIP TUBING MAINLINES & 1/2" TUBING TO PLANTS
- 1.0 GPH DRIP EMITTERS FOR G.C. / SHRUB AREAS AS FOLLOWS
- 1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM
- 5 GAL. - 3 EA. AT 8" FROM TRUNK / STEM
- 15 GAL. - 4 EA. AT 12" FROM TRUNK
- 24" BOX - 6 EA. AT 16" FROM TRUNK

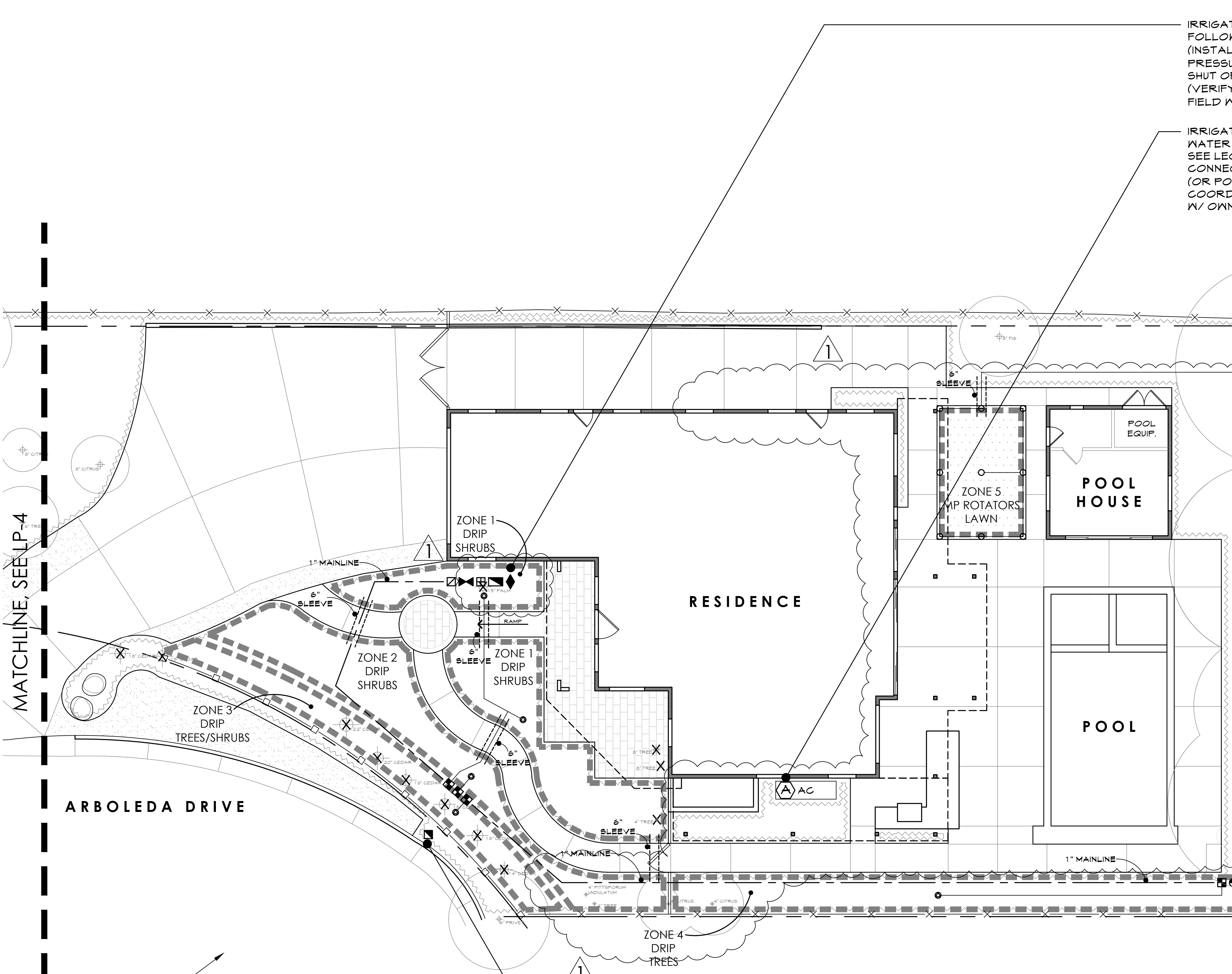


ADDITIONAL IRRIGATION NOTES

- SEE SHEET LP-5 FOR IRRIGATION DETAILS.
- SEE SHEET LP-5 FOR WATER EFFICIENT LANDSCAPE CALCULATIONS.
- PRESSURE REGULATING DEVICE ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 PM AND 10:00 AM UNLESS FAVORABLE WEATHER PREVENTS IT OR OTHERWISE RENDERS IRRIGATION UNNECESSARY.
- COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110 VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
- UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

IRRIGATION EFFICIENCY STATEMENT  
 "I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."  
 10-22-24  
 JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

SEE SHEET LP-5 FOR IRRIGATION DETAILS & WATER BUDGET CALCULATIONS



- A1 1.2 GPM (7.2 GPH) 1" DRIP
- A2 1.23 GPM (7.4 GPH) 1" DRIP
- A3 1.5 GPM (9.0 GPH) 1" DRIP
- A4 0.5 GPM (3.0 GPH) 1" DRIP
- A5 3.36 GPM (201.6 GPH) 1" MP ROTATORS

EX. WATER METER (TYP.)  
 VERIFY LOCATION, SIZE & PRESSURE IN FIELD  
 (NOTE: STATIC WATER PRESSURE T.B.D.)

MATCHLINE, SEE LP-4

ARBOLEDA DRIVE

RESIDENCE

POOL HOUSE

POOL

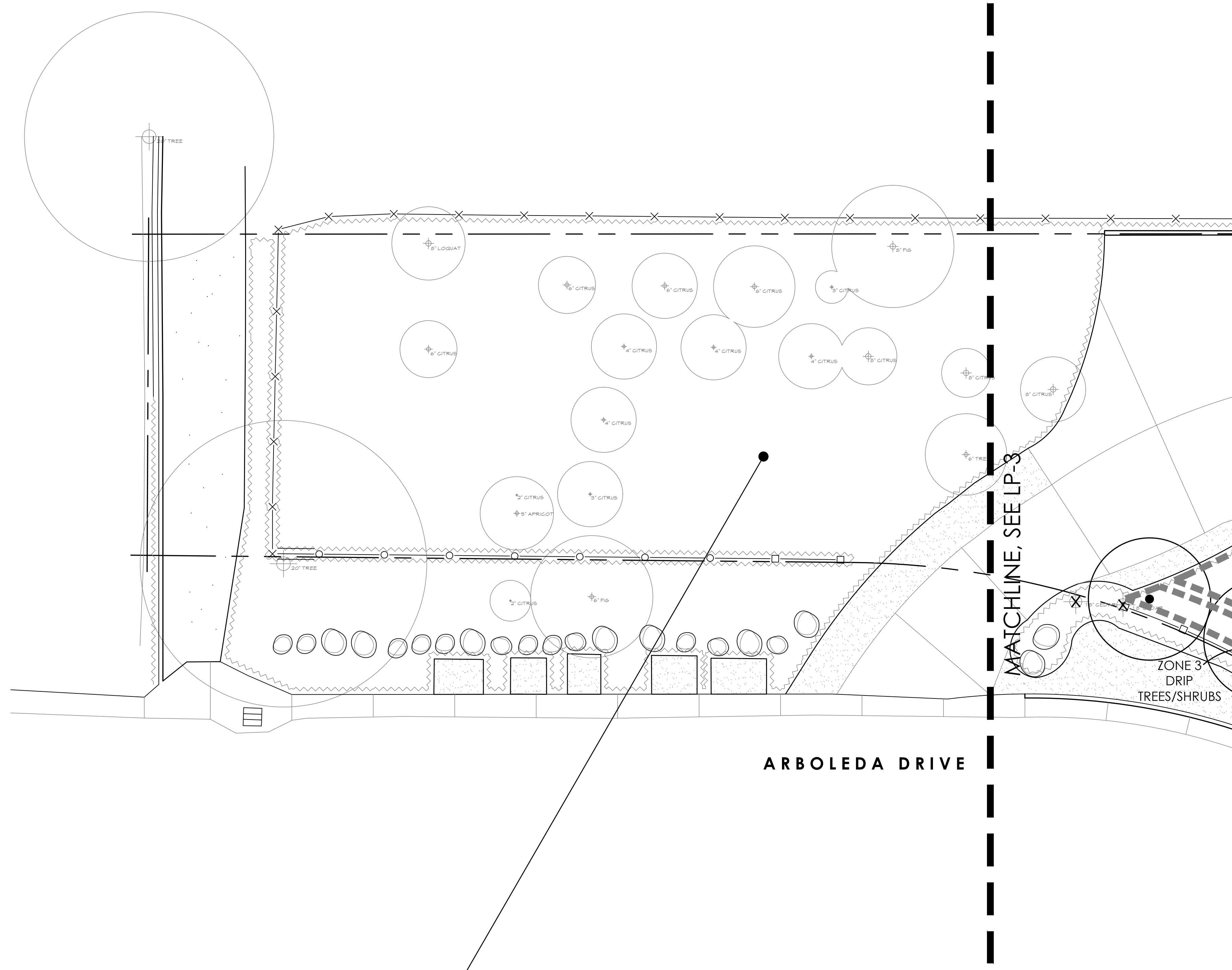
ZONE 5  
MP ROTATORS  
LAWN

ZONE 1  
DRIP  
SHRUBS

ZONE 2  
DRIP  
SHRUBS

ZONE 3  
DRIP  
TREES/SHRUBS

ZONE 4  
DRIP  
TREES



**IRRIGATION LEGEND**

- WATER METER, VERIFY LOCATION, GPM & PRESSURE IN FIELD W/ JOB SUPERINTENDENT
- DEDICATED IRRIGATION WATER METER  
1" HUNTER HC FLOW METER (HC-100-FLOW)  
W/ 1" HUNTER MASTER VALVE  
NOTE: USE SHIELDED WIRE FOR CONTROLLER CONNECTION
- ◆ IRRIGATION POINT OF CONNECTION
- ⬠ HUNTER HPC (PRO-C) HYDRAWISE WIFI CONTROLLER W/ PLASTIC CABINET, BUILT IN REMOTE COMPATIBLE & WATER / WEATHER MANAGEMENT COMPATIBLE
- ▣ REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 825Y 1"
- ▣ WILKENS PRESSURE REDUCER ASSEMBLY; - IF REQUIRED IF PRESSURE EXCEEDS 70 P.S.I., SET TO 70 P.S.I.; LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- ▣ NIBCO BALL VALVE; LINE SIZE, LOCATED IN LABELED PLASTIC BOX - IF REQUIRED
- ⊕ 1" HUNTER PGV-100G SERIES SPRAY REMOTE CONTROL VALVE OR EQ. W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- ⊕ 1" HUNTER PCZ-101 SERIES DRIP REMOTE CONTROL VALVE ASSEMBLY W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- PVC PIPE TO 3/2" DRIP TUBING POINT OF CONNECTION
- HUNTER MP ROTATOR - MP1000-360 (8'-15" RAD.) - 6" POP W/ CV - .84 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-180 (8'-15" RAD.) - 6" POP W/ CV - .42 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-90 (8'-15" RAD.) - 6" POP W/ CV - .21 GPM AT 40 PSI
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN
- IRRIGATION ZONES
- LAWN AREAS & GROUND COVER TO BE HUNTER MP ROTATORS MP1000-360 & 90-210 NOZZLES ON 6" POP-UPS ON PRS40 BODY W/ CHECK VALVE HEADS TO BE PLACED TO ACHIEVE HEAD TO HEAD COVERAGE  
NOTE: "NO-MOW" LAWN AREAS TO HAVE 12" POP-UPS  
PLANTING AREAS TO BE DRIP IRRIGATION W/ NETAFIM INLINE DRIP LINES OR SALCO 3/2" AR DRIP TUBING MAINLINES & 2" TUBING TO PLANTS  
1.0 GPH DRIP EMMITERS FOR G.C. / SHRUB AREAS AS FOLLOWS  
1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM  
5 GAL. - 3 EA. AT 8" FROM TRUNK / STEM  
15 GAL. - 4 EA. AT 12" FROM TRUNK  
24" BOX - 6 EA. AT 16" FROM TRUNK
- 10.00 GALLONS PER MINUTE
- ▲ VALVE / STATION NUMBER
- 1" VALVE SIZE
- SPRAY IRRIGATION TYPE

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**MODDERMAN**  
**RESIDENCE**  
380 ARBOLEDA DRIVE  
LOS ALTOS, CA 94024

**IRRIGATION PLAN**



**DATE**  
10-22-24  
**REVISIONS**  
12-20-24  
PLAN CHECK COMMENTS  
1-24-25  
PLAN CHECK COMMENTS

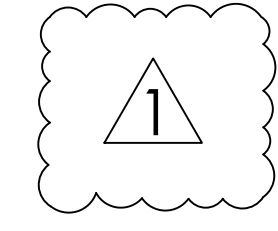
**SCALE**  
1/8" = 1'-0"  
**NORTH**

**SHEET**

**LP - 4**

SEE SHEET LP-5 FOR IRRIGATION DETAILS & WATER BUDGET CALCULATIONS

**DIG ALERT**  
-UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.



**WATER EFFICIENT LANDSCAPE CALCULATIONS**

HYDROZONE / PLANT USE WATER TYPE / IRRIGATION METHOD	ZONES / VALVES	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA % OF IRRIGATED LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
H-1 LOW WATER USE - SHRUBS DRIP	1, 2, 3, 4	0.3	DRIP	0.81	0.37	1,770 SF 86%	655	18,437
H-2 HIGH WATER USE - LAWN MP ROTATORS	5	0.7	MP ROTATOR	0.75	0.93	226 SF 14%	210	5,911
<b>TOTAL:</b>						1,996 SF	865	24,348
ESTIMATED ANNUAL GALLONS REQUIRED: $45.4 \times 0.62 \times (\text{ETAF} \times \text{AREA}) =$						ETWU TOTAL		24,348 GAL / YEAR (DESIGN CASE)
ESTIMATED ANNUAL GALLONS ALLOWED: $45.4 \times 0.62 \times ((\text{ETAF} \times \text{LA}) + ((1-\text{ETAF}) \times \text{SLA})) =$						MAWA TOTAL		39,901 GAL / YEAR (BASELINE CASE)

**CALCULATION REFERENCE**  
ETWU (ANNUAL GALLONS REQUIRED) (GALLONS PER YEAR)  $\text{ETWU} = \text{ETAF} \times \text{AREA}$   
ETAF: REFERENCE EVAPOTRANSPIRATION (45.4 INCHES PER YEAR IN LOS ALTOS)  
0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FOOT)  
ETAF (PLANT FACTOR / IRRIGATION EFFICIENCY)  
AREA: TOTAL LANDSCAPE AREA

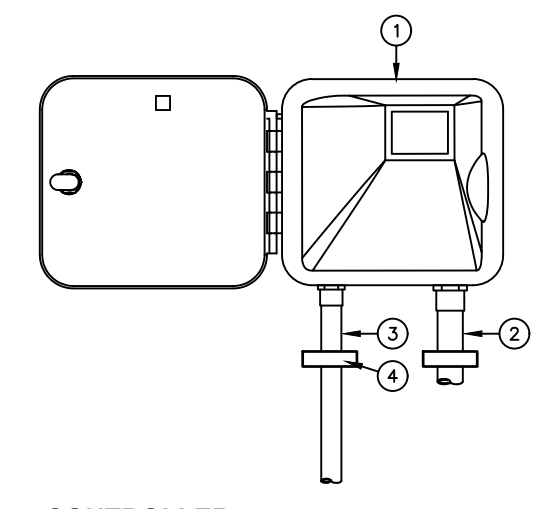
MAWA (ANNUAL GALLONS ALLOWED) (GALLONS PER YEAR)  $\text{MAWA} = \text{ETAF} \times \text{LA} + ((1-\text{ETAF}) \times \text{SLA})$   
ETAF: REFERENCE EVAPOTRANSPIRATION (45.4 INCHES PER YEAR IN LOS ALTOS)  
0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FOOT)  
ETAF (PLANT FACTOR / IRRIGATION EFFICIENCY) 55 FOR RESIDENTIAL AREAS  
LA: TOTAL LANDSCAPE AREA  
SLA: SPECIAL LANDSCAPE AREA (SQUARE FEET)

**IRRIGATION EFFICIENCY STATEMENT**  
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

10-22-24  
JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

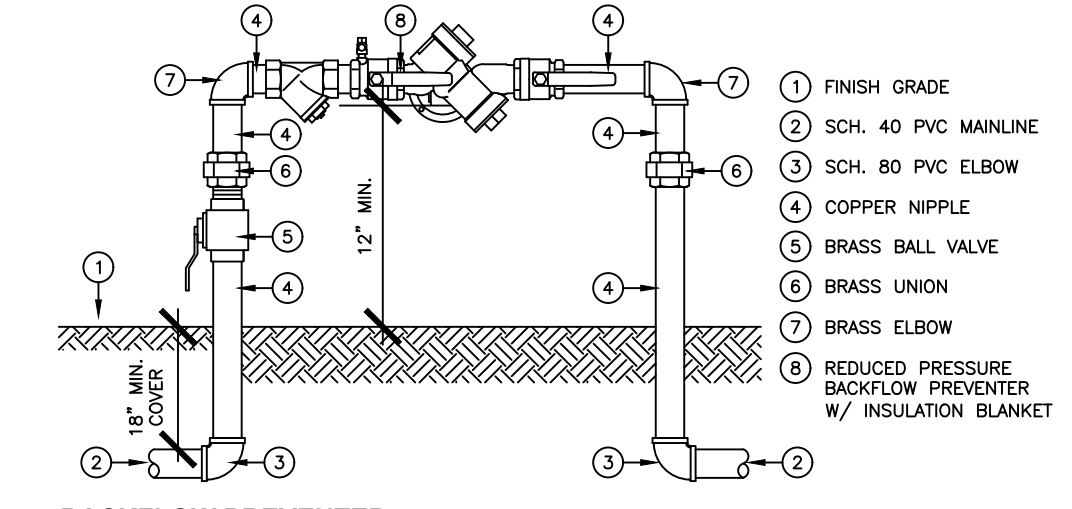
**ETAF CALCULATIONS** - ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS

REGULAR LANDSCAPE AREAS	ETAF
TOTAL ETAF X AREA	917
TOTAL AREA	2,053
AVERAGE ETAF	45

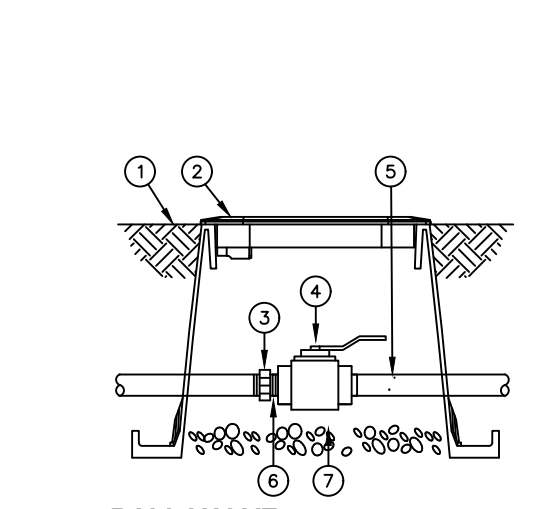


**CONTROLLER**  
NOT TO SCALE

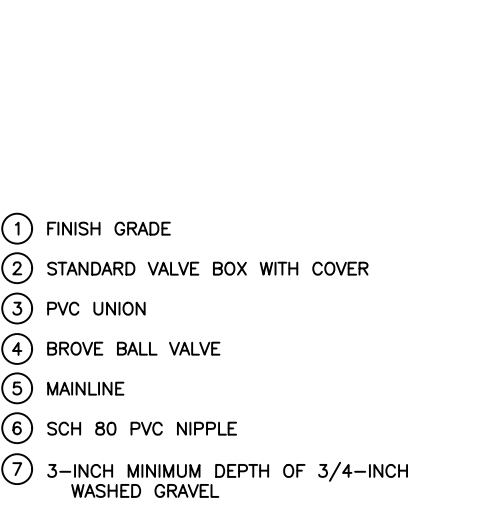
- CONTROLLER. VERIFY MOUNTING & LOCATION IN FIELD WITH OWNER OR JOB SUPERINTENDENT
  - CONTROL WIRE IN PVC CONDUIT FOR VALVE WIRES
  - ELECTRICAL SUPPLY CONDUIT. CONNECT TO POWER SOURCE. EXTERIOR PLUGS TO BE G.F.I.C. OUTLET
  - GALVANIZED STRAPS. WATERPROOF AS REQUIRED
- NOTE:  
INSTALL CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS AND PER ALL LOCAL CODES AND ORDINANCES



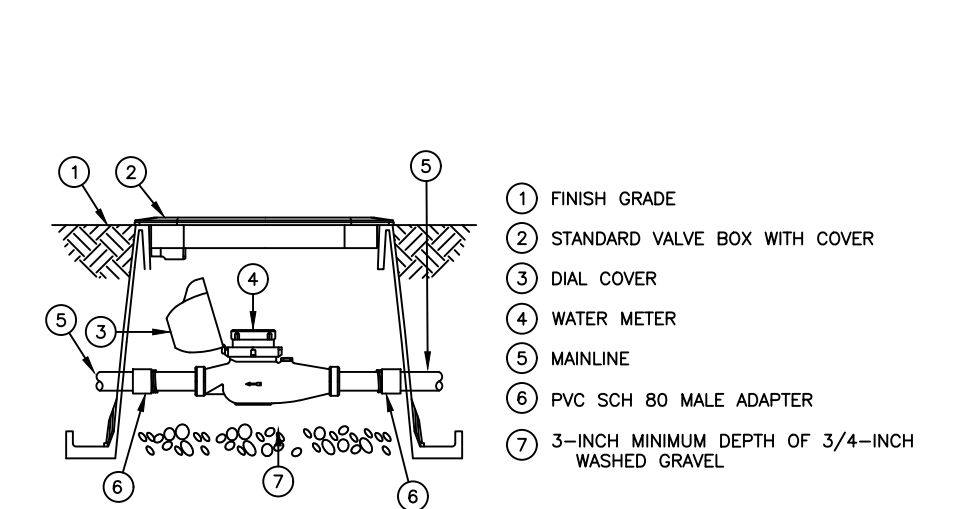
**BACKFLOW PREVENTER**  
NOT TO SCALE



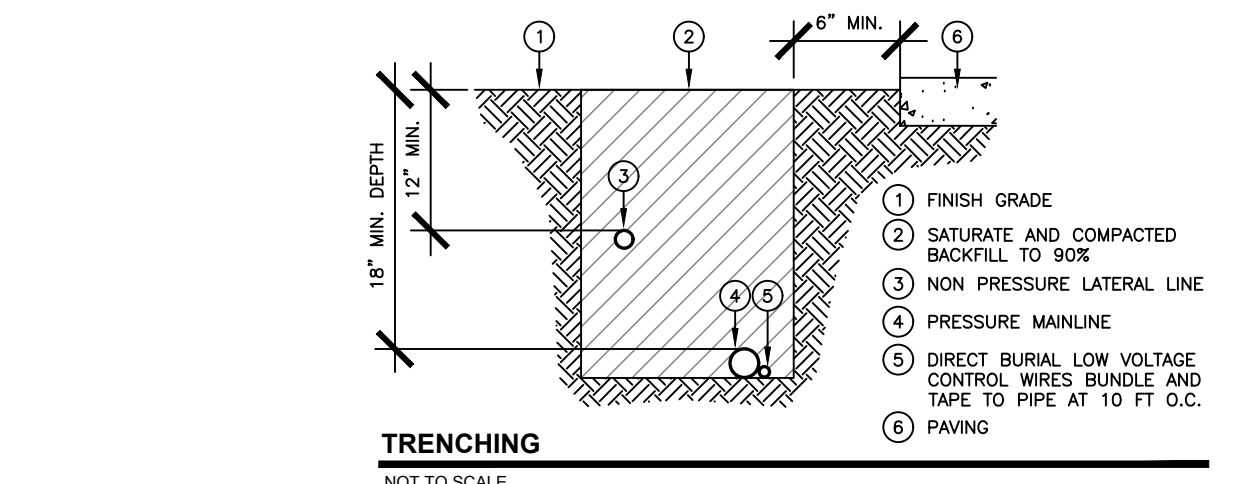
**BALL VALVE**  
NOT TO SCALE



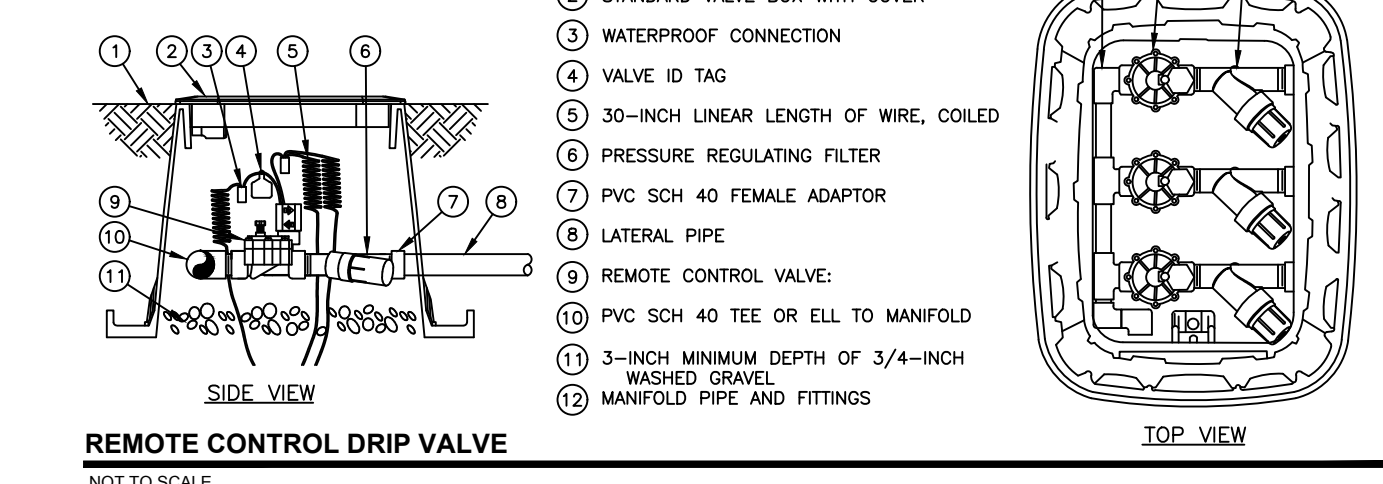
**WATER METER**  
NOT TO SCALE



**REMOTE CONTROL DRIP VALVE**  
NOT TO SCALE



**TRENCHING**  
NOT TO SCALE



**REMOTE CONTROL DRIP VALVE**  
NOT TO SCALE

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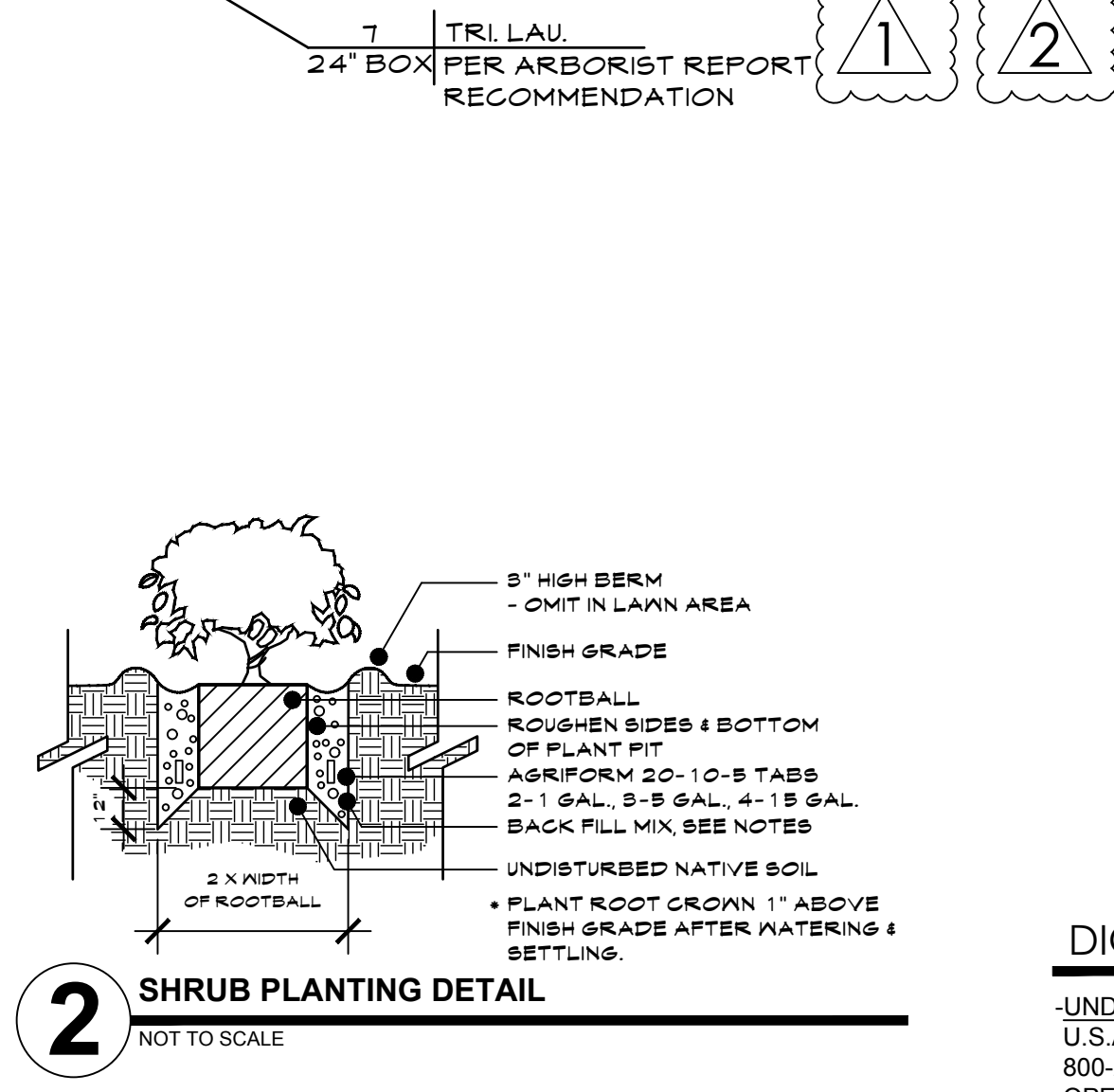
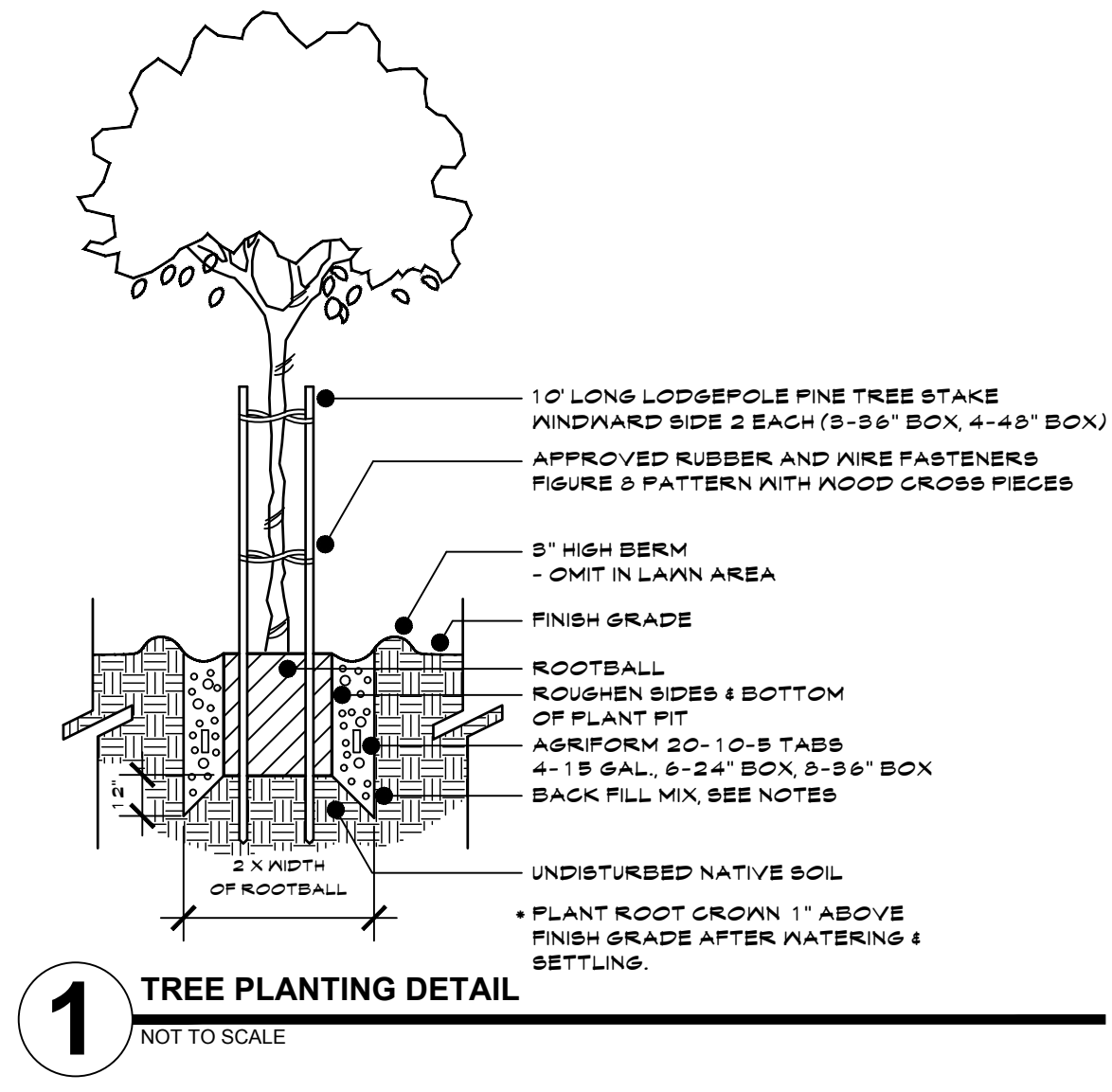
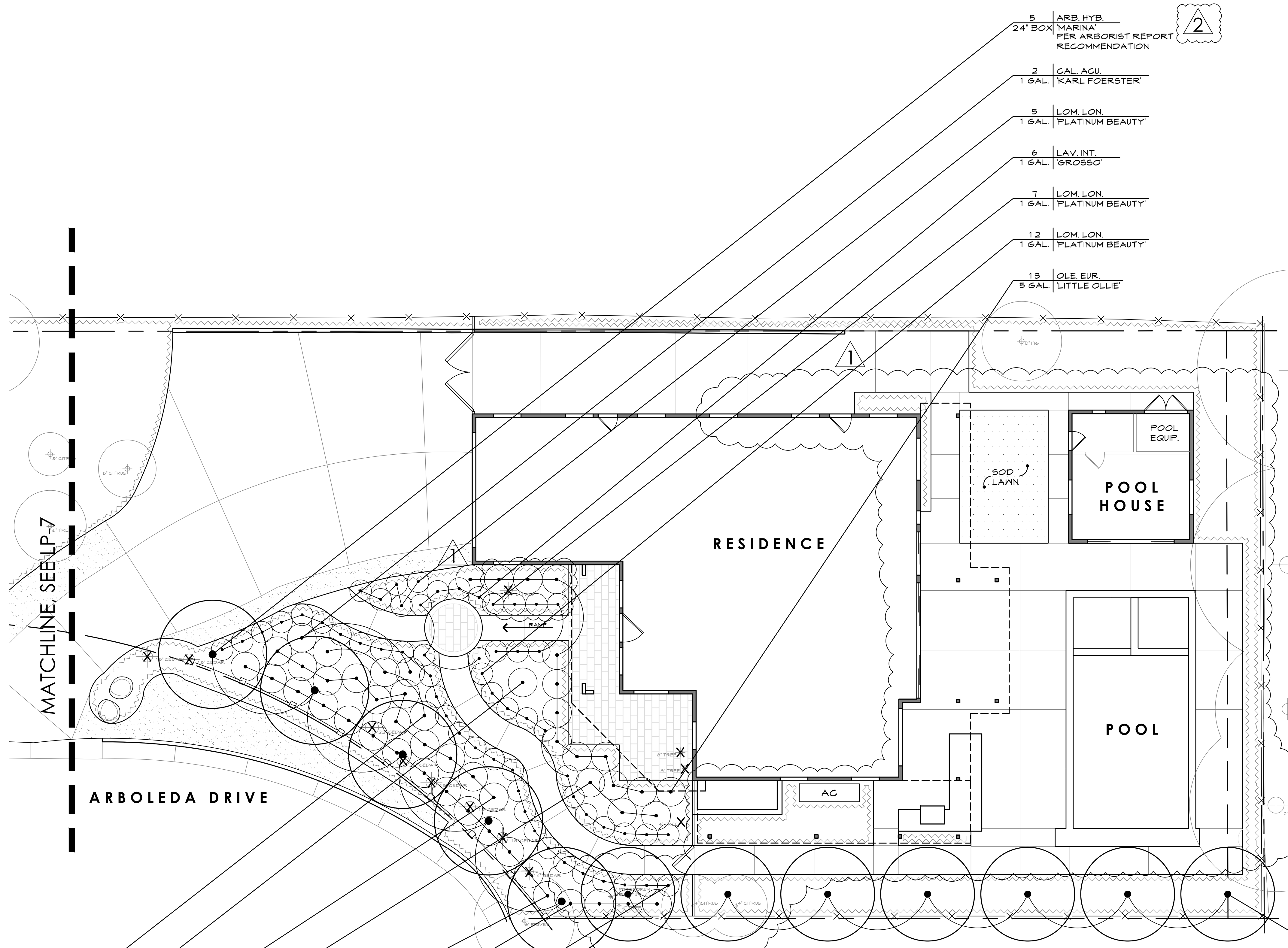
**2** PLANT LEGEND

TREES				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
ARB. HYB.	24" BOX	ARBUTUS HYBRID 'MARINA'	MARINA STRAWBERRY	LOW
TRI. LAU.	24" BOX	TRISTANIOPSIS LAURINA	WATER GUM	LOW
SHRUBS				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
CAL. ACU.	1 GAL.	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	LOW
LAV. INT.	1 GAL.	LAVANDULA INTERMEDIA 'GROSSO'	LAVENDER	LOW
LOM. LON.	1 GAL.	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	DWARF MAT RUSH	LOW
LOR. CHI.	5 GAL.	LOROPETALUM CHINENSE 'RAZZLEBERRY'	CHINESE FRINGE FLOWER	LOW
OLE. EUR.	5 GAL.	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	LOW
PRU. CAR.	15 GAL.	PRUNUS CAROLINIANA 'COMPACTA'	CAROLINA CHERRY LAUREL	LOW
SAL. LEU.	1 GAL.	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	LOW
GROUND COVER				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
	SOD	LAWN - 'DELTA BLUE GRASS'	BOLERO PLUS OR EQUAL	HIGH

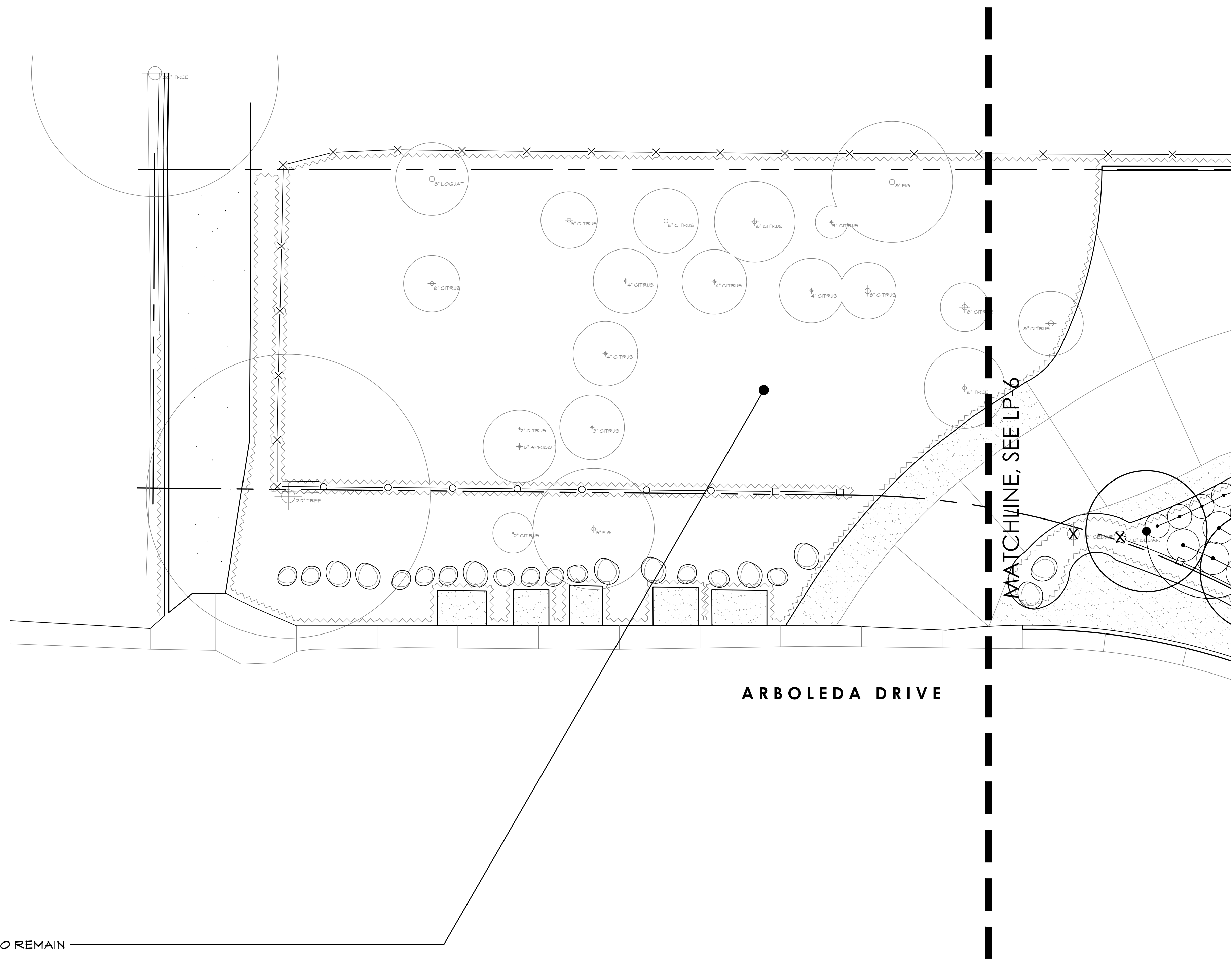
**NOTES:**  
-PLANTS TO BE GROUPED IN HYDROZONES ACCORDING TO WATER USES.  
-ALL WATER USE INFORMATION WAS TAKEN FROM THE 2014 EDITION OF WUCOLS III.  
-100% OF PROPOSED PLANTS ARE LOW WATER USE (75% REQUIRED)

**PLANTING NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, ARE DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE PLANTING OPERATION.
- SEE DETAILS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
- ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LANDSCAPE CONTRACTOR. LOCATION SHALL BE APPROVED PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED WITHIN .10 FOOT OF FINISHED GRADE. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE. FINAL GRADES SHALL BE ADJUSTED AS DIRECTED BY OWNER. ALL GRADING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- CONTRACTOR SHALL NOTIFY OWNER SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT SCHEDULES AS REQUIRED.
- AMEND THE TOP 6"-8" OF TOPSOIL WITH A 3" LAYER NITROGEN AND IRON STABILIZED REDWOOD SOIL CONDITIONER SUCH AS GROWER'S WONDER GROW OR EQUAL IN ALL AREAS. THE PLANT BACK FILL MIX FOR ALL TREES, SHRUBS AND 1 GALLON GROUND COVER PLANTS SHALL CONSIST OF 1 PART REDWOOD SOIL CONDITIONER AND 1 PART NATIVE SOIL. PLANT BACKFILL MIX AND THE TOPSOIL AMENDMENT SHALL CONTAIN PER CUBIC YARD:  
2.5 LBS. MIXTURE OF COMMERCIAL FERTILIZER (20-10-10 OR EQUAL)  
1.0 LBS. UREA FORMALDEHYDE (30-0-0)  
1.0 LBS. IRON SULFATE
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. PROTECTING EXISTING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIGGING AND TRENCHING PRIOR TO BEGINNING WORK WITH PROJECT SUPERVISOR FIRST.
- APPLY 'RONSTAR' OR 'ELANCO XL' PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- INSTALL 3" LAYER OF MINI FIR BARK MULCH, OR APPROVED EQUAL, IN ALL NEWLY PLANTED AREAS.



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U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE:  
800-227-2600. 48 HOURS BEFORE ALL PLANNED WORK  
OPERATIONS.



EX. UNPLANTED ORCHARD TO REMAIN

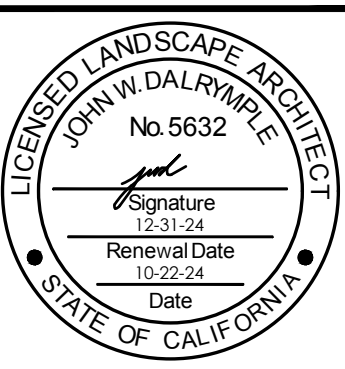
ARBOLEDA DRIVE

MATCHLINE, SEE LP-6

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 john@dalrymple.com  
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 San Jose, CA 95131  
 www.dalrymple.com

**MODDERMAN**  
**RESIDENCE**  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA 94024

**PLANTING PLAN**



**DATE**  
 10-22-24  
**REVISIONS**  
 12-20-24  
 PLAN CHECK COMMENTS  
 1-24-25  
 PLAN CHECK COMMENTS

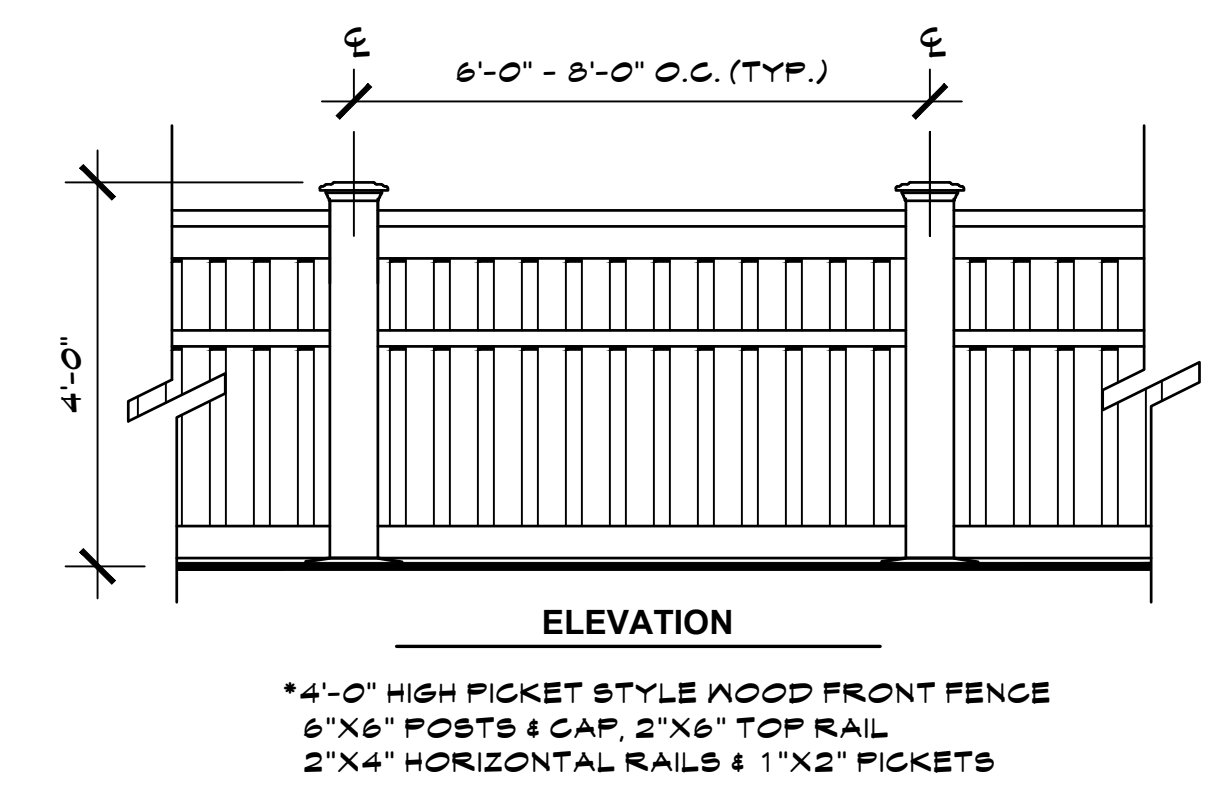
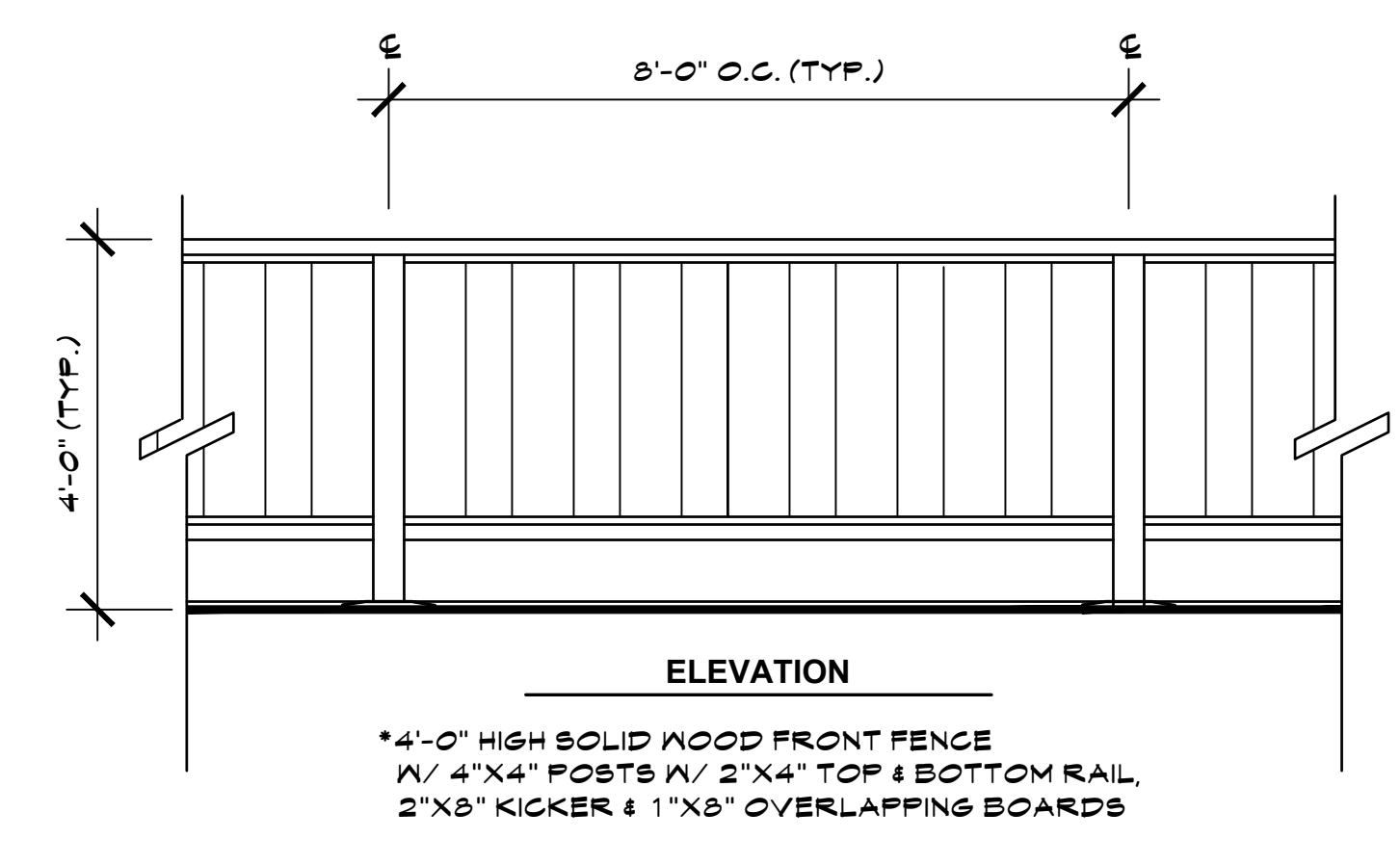
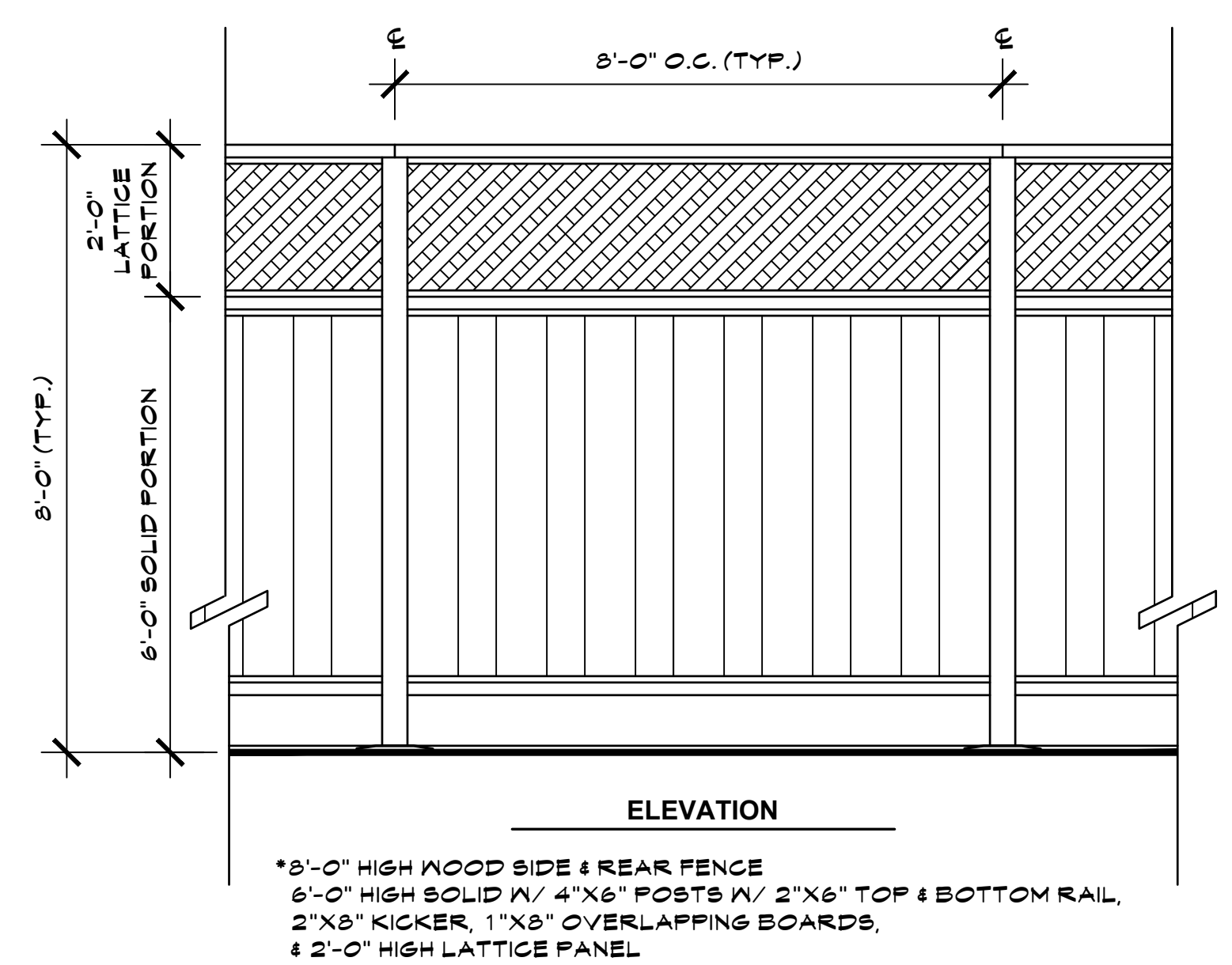
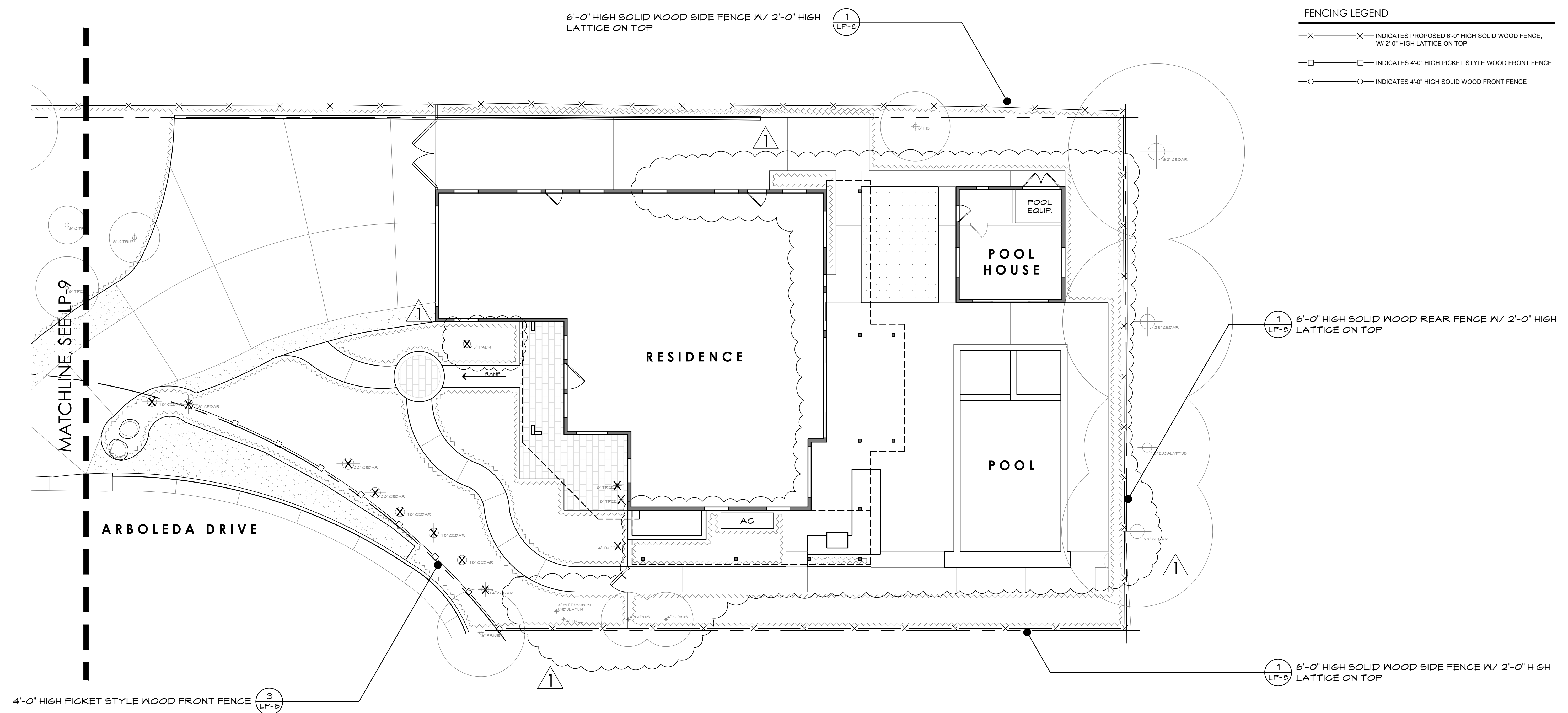
**SCALE**  
1/8" = 1'-0"



**SHEET**

**LP - 7**

**DIG ALERT**  
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 U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE:  
 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK  
 OPERATIONS.



**1** 6'-0" HIGH SOLID WOOD FENCE W/ 2'-0" HIGH LATTICE ON TOP  
SCALE: 3/8" = 1'-0"

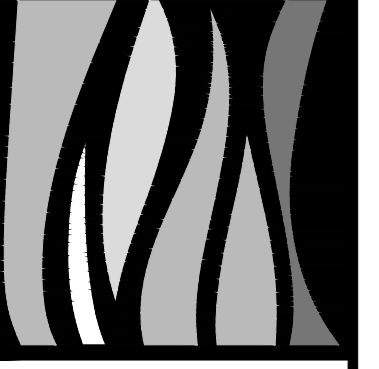
**2** 4'-0" HIGH SOLID WOOD FRONT FENCE  
SCALE: 3/8" = 1'-0"

**3** 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE  
SCALE: 3/8" = 1'-0"

**FENCING LEGEND**

- X-X- INDICATES PROPOSED 6'-0" HIGH SOLID WOOD FENCE, W/ 2'-0" HIGH LATTICE ON TOP
- INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
- INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE

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 www.johndalrymple.com



**MODDERMAN**  
**RESIDENCE**  
 380 ARBOLEDA DRIVE  
 LOS ALTOS, CA 94024

**FENCE PLAN**

LICENSED LANDSCAPE ARCHITECT  
 JOHN W. DALRYMPLE  
 No. 5632  
 Signature  
 12-31-24  
 Renewal Date  
 10-22-24  
 Date

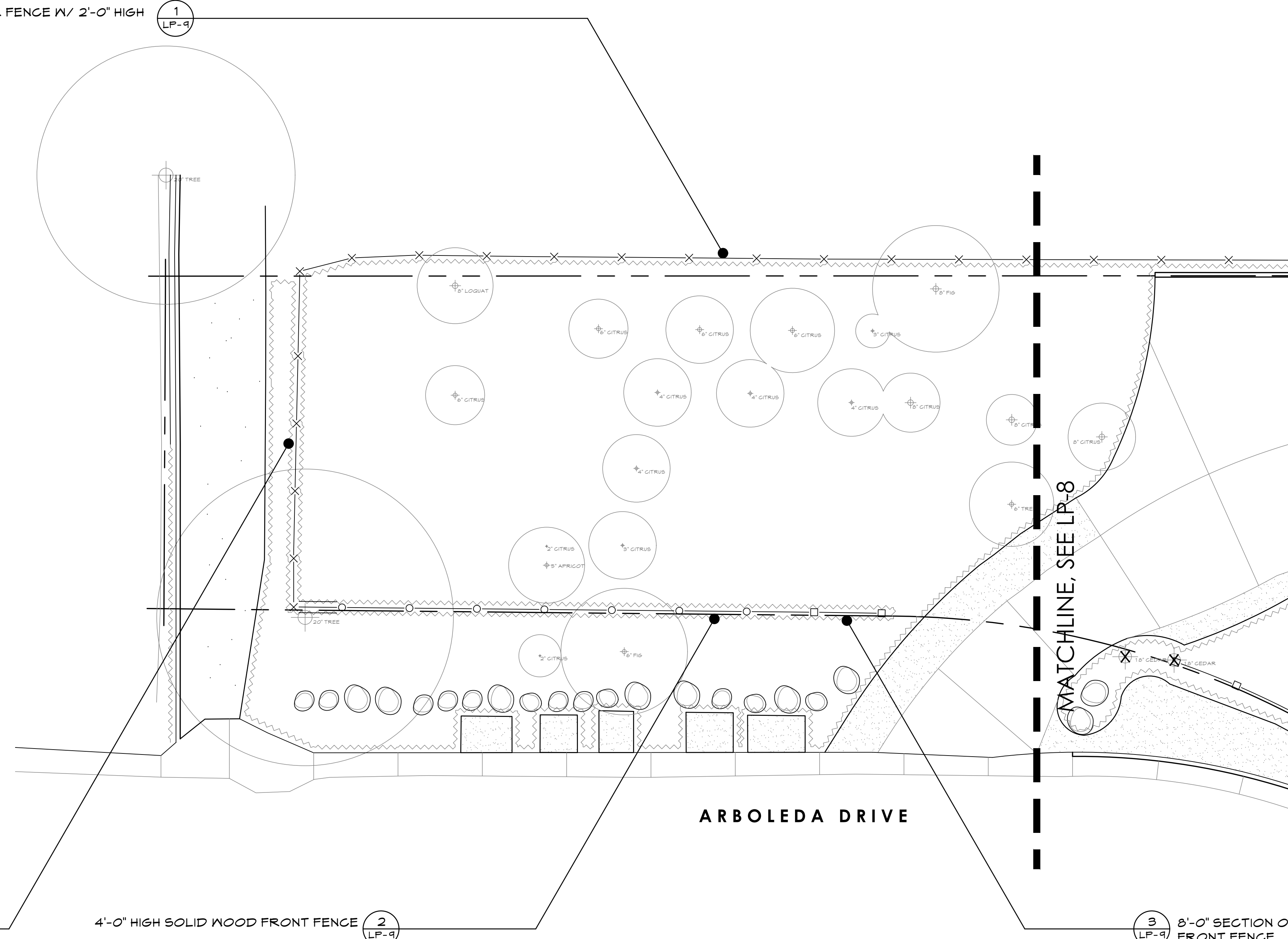
**DATE**  
 10-22-24  
**REVISIONS**  
 12-20-24  
 PLAN CHECK COMMENTS  
 1-24-25  
 PLAN CHECK COMMENTS

**SCALE**  
 1/8" = 1'-0"

**NORTH**

**SHEET**  
 LP - 9

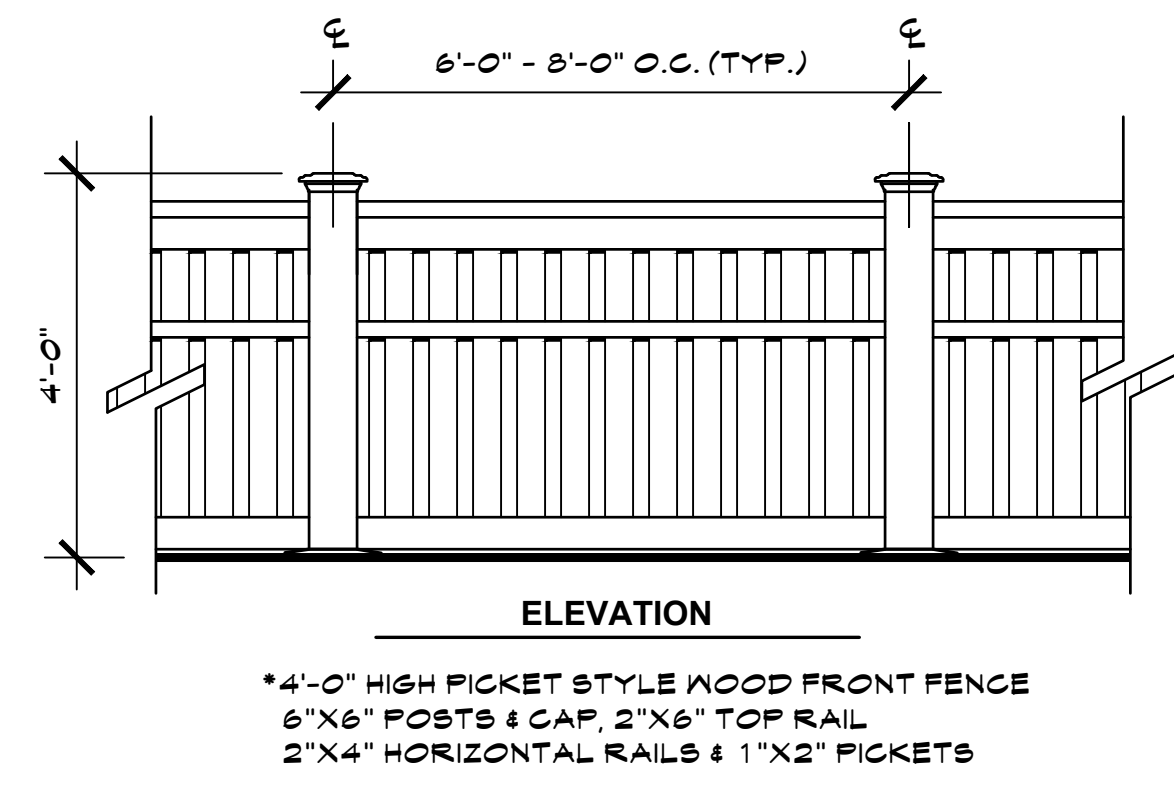
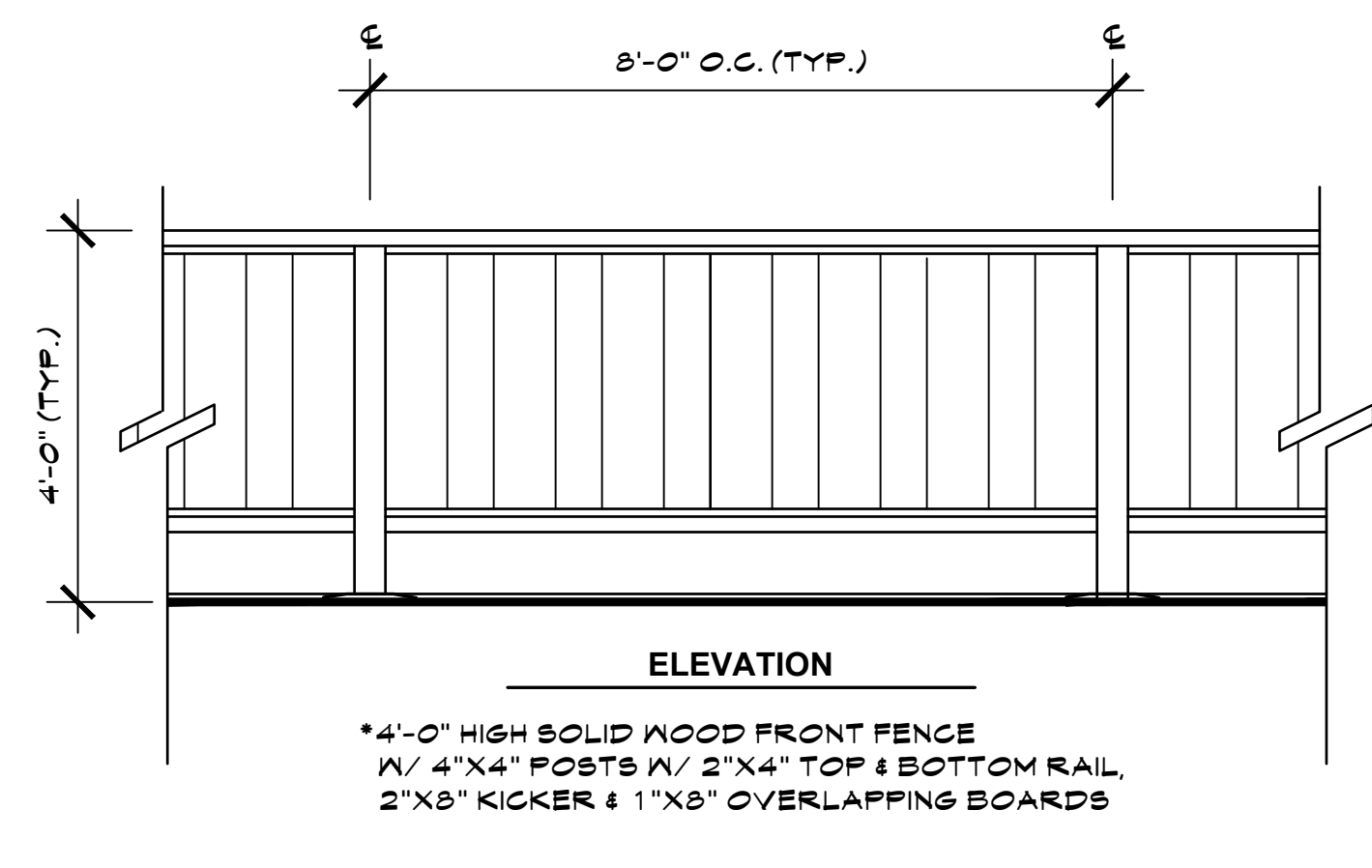
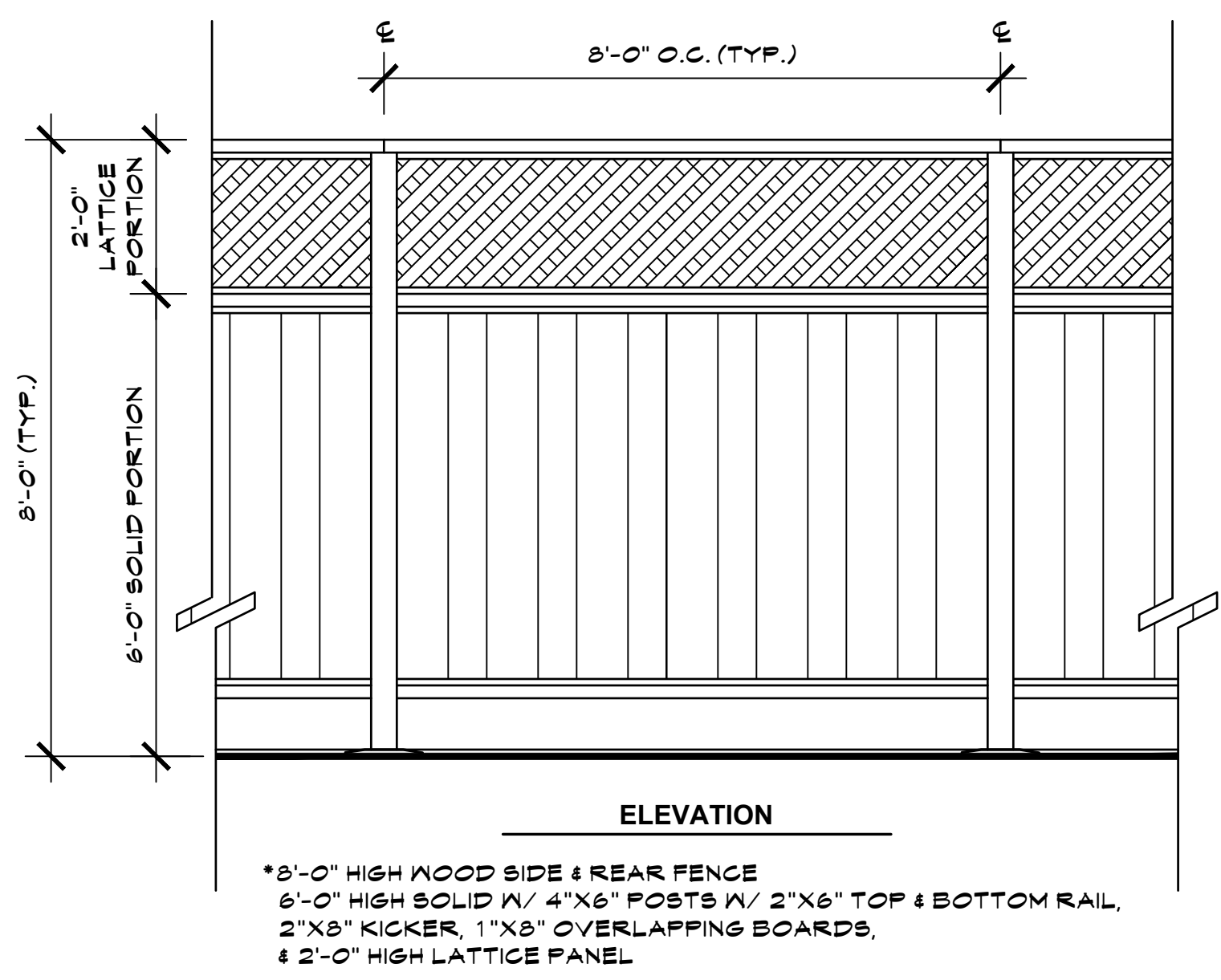
6'-0" HIGH SOLID WOOD REAR FENCE W/ 2'-0" HIGH LATTICE ON TOP



6'-0" HIGH SOLID WOOD SIDE FENCE W/ 2'-0" HIGH LATTICE ON TOP

4'-0" HIGH SOLID WOOD FRONT FENCE

8'-0" SECTION OF 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE



**1** 6'-0" HIGH SOLID WOOD FENCE W/ 2'-0" HIGH LATTICE ON TOP  
 SCALE: 1/8" = 1'-0"

**2** 4'-0" HIGH SOLID WOOD FRONT FENCE  
 SCALE: 1/8" = 1'-0"

**3** 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE  
 SCALE: 1/8" = 1'-0"



### Legend

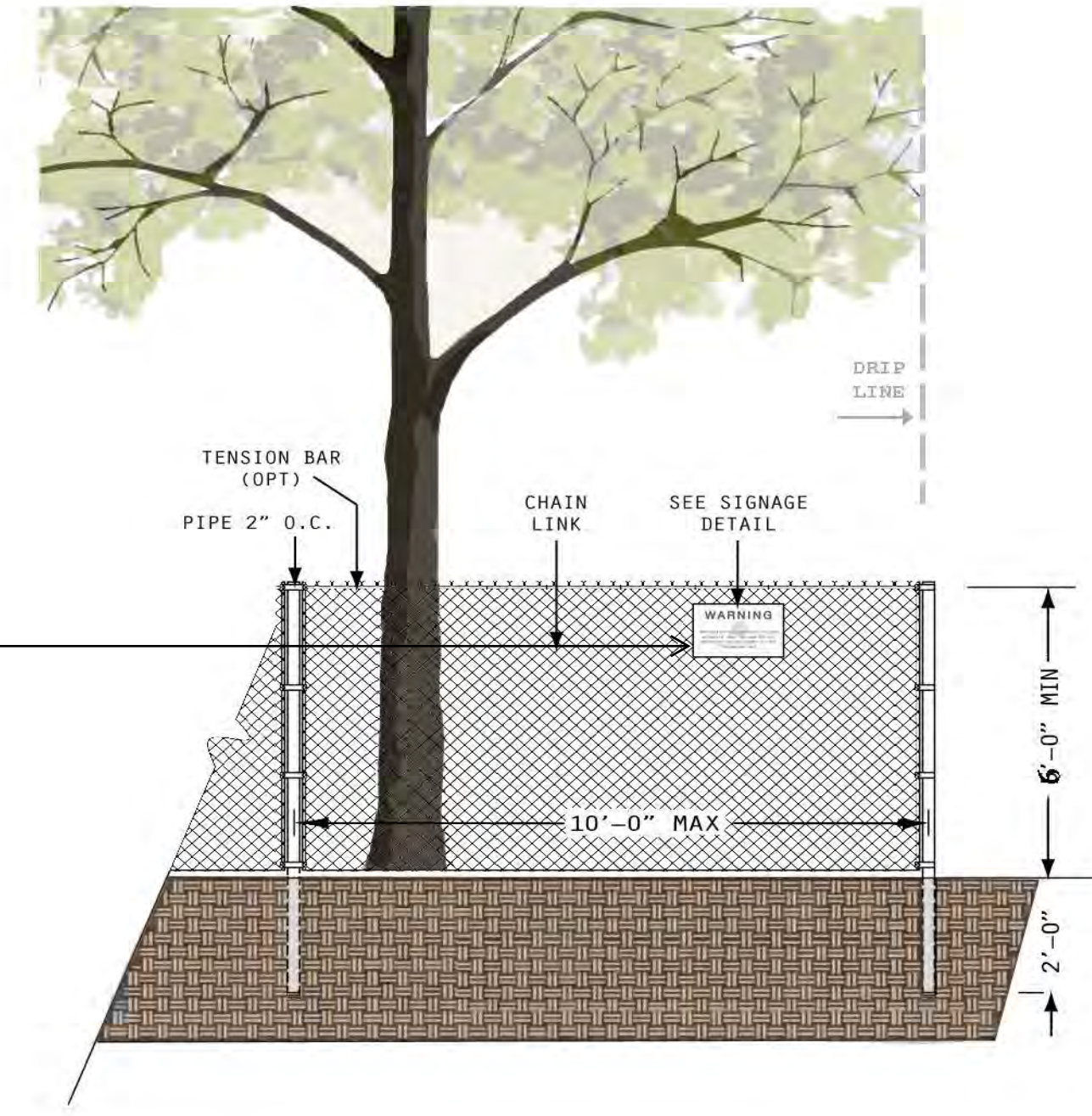
- Protected Tree Location ●
- Non-Protected Tree Location ●
- Tree Protection Fencing - - -
- Tree Canopy Extents ☁
- Hand Trenching & Root Pruning >>>>>>
- Remove Tree X

## Warning Tree Protection Zone Keep Out

NOTICE: PROTECTIVE FENCING IS REQUIRED ON THIS JOB SITE.  
NO STORAGE OF MATERIALS OF ANY TYPE IS ALLOWED WITHIN THE FENCED AREA.

This sign must be prominently displayed. Fencing may not be moved or removed without permission of the Project Arborist. Failure to comply with all precautions may result in a STOP WORK order being issued by the regulating agency.

No Entry without Project Arborist Authorization  
Kurt Fouts - Arborist Consultant - 831-359-3607



TREE PROTECTION FENCE DETAIL  
ELEVATION VIEW

### Tree Protection Specifications & Recommended Sequence

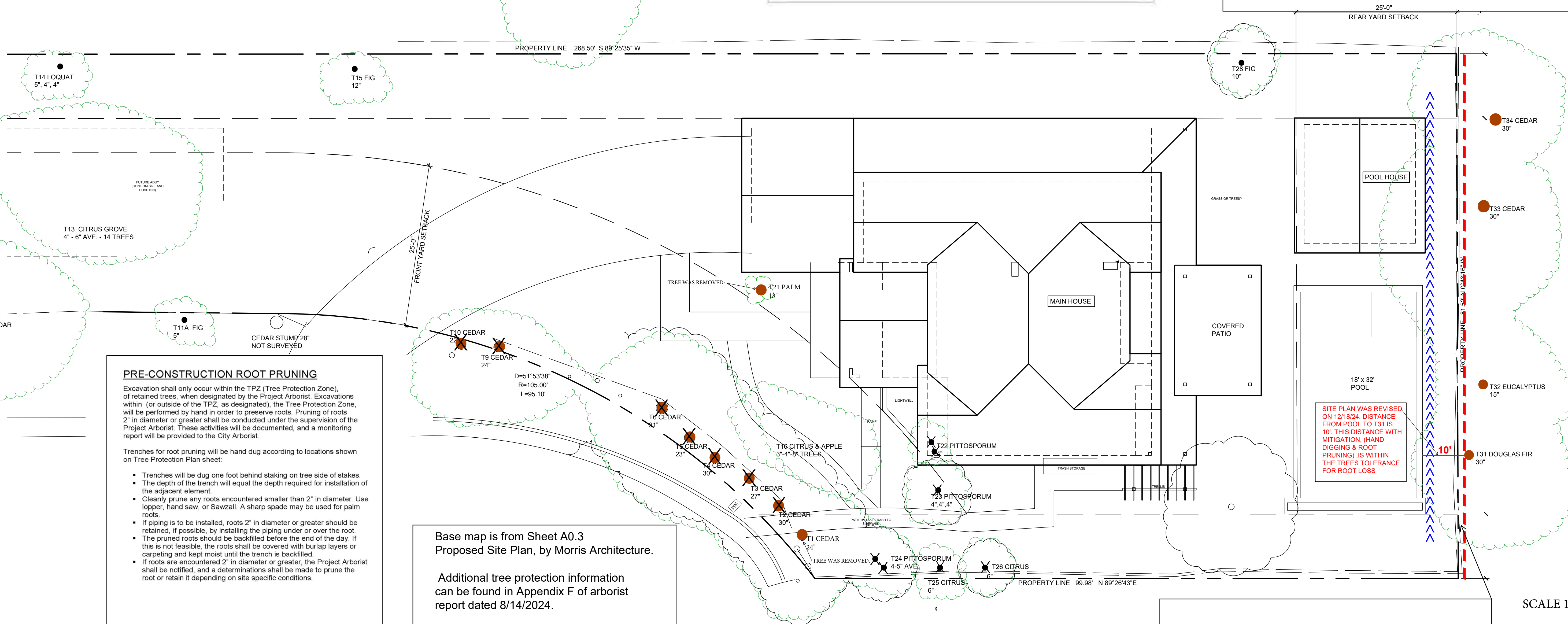
#### Pre-Construction Phase:

- Tree Removal** - Remove all trees marked for removal and approved for removal by approval authority. Stump grind trees. Removals shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA), and the American National Standards Institute, Safety Requirements in Arboriculture Operations ANSI Z133-2017. Contractor licensing and insurance coverage shall be verified.
- Tree Canopy Clearance Pruning** - Crown reduction and crown raising pruning of tree T34 deodar cedar, to achieve clearance from the pool house, if necessary, shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA), and the American National Standards Institute, Safety Requirements in Arboriculture Operations ANSI Z133-2017. Contractor licensing and insurance coverage shall be verified.
- Tree Protection Fencing** - Install Tree Protection Fencing, in location indicated on Tree Protection Plan Sheet T1, if back yard fencing is removed or replaced.

#### Construction Phase:

Work performed that impacts trees as described below shall be supervised by the Project Arborist. The Project Arborist shall be contacted a minimum of 72 hours prior to scheduled work. Work undertaken shall be documented in the form of a follow-up letter and submitted to the City Arborist.

- Utilities / Gas, Sewer, Water or Electrical** - Any excavation for a utility line that is within the canopy drip-line of a protected tree, shall be by hand methods. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, the root shall be retained with the root "bridging" the trench, and the pipe shall be installed under or over the root.
- Pool House Foundation** - Excavation for pool house foundation adjacent to tree T34, deodar cedar, shall be by hand methods. See Tree Protection Plan, sheet T1 for location. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, they shall be pruned under supervision of the Project Arborist. Roots shall be pruned by methods indicated on Tree Protection Plan sheet T1, **Pre-Construction Root Pruning**.
- Pool** - Excavation for pool adjacent to trees T31 and T33 cedar, T31 Douglas fir and T32 eucalyptus shall be by hand methods. Use of a ditch witch trencher is permissible if roots are recut after trenching. See Tree Protection Plan, sheet T1 for location. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, they shall be pruned under supervision of the Project Arborist. Roots shall be pruned by methods indicated on Tree Protection Plan sheet T1, **Pre-Construction Root Pruning**.



### PRE-CONSTRUCTION ROOT PRUNING

Excavation shall only occur within the TPZ (Tree Protection Zone), of retained trees, when designated by the Project Arborist. Excavations within (or outside of the TPZ, as designated), the Tree Protection Zone, will be performed by hand in order to preserve roots. Pruning of roots 2" in diameter or greater shall be conducted under the supervision of the Project Arborist. These activities will be documented, and a monitoring report will be provided to the City Arborist.

Trenches for root pruning will be hand dug according to locations shown on Tree Protection Plan sheet:

- Trenches will be dug one foot behind staking on tree side of stakes.
- The depth of the trench will equal the depth required for installation of the adjacent element.
- Cleanly prune any roots encountered smaller than 2" in diameter. Use lopper, hand saw, or Sawzall. A sharp spade may be used for palm roots.
- If piping is to be installed, roots 2" in diameter or greater should be retained, if possible, by installing the piping under or over the root.
- The pruned roots should be backfilled before the end of the day. If this is not feasible, the roots shall be covered with burlap layers or carpeting and kept moist until the trench is backfilled.
- If roots are encountered 2" in diameter or greater, the Project Arborist shall be notified, and a determination shall be made to prune the root or retain it depending on site specific conditions.

Base map is from Sheet A0.3  
Proposed Site Plan, by Morris Architecture.

Additional tree protection information  
can be found in Appendix F of arborist  
report dated 8/14/2024.

NOTE: THE EXISTING BACKYARD FENCE WILL SERVE AS THE TREE PROTECTION FENCING. IF THE BACKYARD FENCING IS REMOVED OR REPLACED TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ITS PLACE UNTIL COMPLETION OF PROJECT.

SCALE 1/8" = 1' 0"



380 Arboleda Drive, Los Altos  
Tree Assessment Chart - Appendix A

**Suitability for Preservation Ratings:**  
**Good:** Trees in good health and structural condition with potential for longevity on the site.  
**Fair:** Trees in fair health and/or with structural defects that may be reduced with treatment procedures.  
**Poor:** Trees in poor health and/or with poor structure that cannot be effectively abated with treatment.

**Retention or Removal Code:**  
**RT:** Retain Tree  
**R:** Remove Due to Construction Impacts  
**LM:** Impacts Can Be Mitigated With Pre-Construction Treatments  
**R.C.:** Remove Due to Condition  
**Protected Tree City of Los Altos:** Any tree 12 inches or greater in diameter measured at 4 feet above grade.

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T1	deodar cedar (Cedrus deodara)	24"	Yes	50'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T2	deodar cedar	30"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.



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380 Arboleda Drive, Los Altos  
Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T3	deodar cedar	27"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T4	deodar cedar	30"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T5	deodar cedar	23"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T6	deodar cedar	31"	Yes	50'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T7	deodar cedar	6"	No	35'X5'	Fair-Poor	Poor	Poor	10'	Low	R.C.	Minimal branching structure and live canopy.
T8	deodar cedar	6"	No	15'X1'	Poor	Poor	Poor	N/A	Low	R.C.	Dead
T9	deodar cedar	24"	Yes	45'X5'	Fair	Fair	Fair	20'	Low	R.C.	



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380 Arboleda Drive, Los Altos Tree  
Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T10	deodar cedar	22"	Yes	45'X10'	Fair	Poor	Poor	20'	Low	R.C.	
T11	deodar cedar	8"	No	40'X5'	Fair-Poor	Poor	Poor	10'	Low	R.C.	Minimal branching structure and live canopy.
T11A	fig (Ficus carica)	5"	No	15'X15'	Fair	Fair	Fair	10'	Low	R.T.	
T12	deodar cedar	24"	Yes	60'X25'	Good	Good	Good	20'	Low	R.T.	
T13	citrus (Citrus spp.)	4-6" ave.	No	10'X10' ave.	Good-Poor	Good-Poor	Good-Poor	10'	Low	R.T.	Grove of 14 mature citrus. Most in fair condition. A few in poor condition.
T14	loquat (Eriobotrya japonica)	5", 4", 4"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.T.	Minimal live canopy.
T15	fig	12"	Yes	10'X10'	Fair	Fair	Fair	10'	Low	R.T.	
T16	citrus (Citrus spp.) & apple (Malus spp.)	3-4"	No	10'X5' ave.	Poor	Poor	Poor	10'	Low	R.T.	Group of 8 citrus and 2 apple trees in poor condition.



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380 Arboleda Drive, Los Altos  
Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
T17	queen palm (Syagrus romanzoffiana)	10"	No	20'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T18	queen palm	10"	No	20'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T19	queen palm	10"	No	25'X10'	Fair	Poor	Poor	10'	High in porch footprint	R.I.	Unstable. Root mat 18" above grade. Trunk is poorly attached to soil.
T20	queen palm	11"	No	25'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T21	queen palm	13"	Yes	25'X10'	Fair	Fair	Fair	10'	Moderate (Root loss, excavation)	RT, JM	
T22	pittosporum (Pittosporum undulatum)	4"	No	15'X10'	Fair-Poor	Poor	Poor	10'	High (Root loss, excavation)	R.C., R.I.	
T23	pittosporum	4", 4", 4"	No	15'X15'	Fair-Poor	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	



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Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
T24	pittosporum	4-5" ave.	No	15'X5' ave.	Poor	Poor	Poor	10'	Low	R.C.	Row of 3 pittosporum. Minimal live canopy, trunk decay.
T25	citrus	6"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.C.	Minimal live canopy.
T26	citrus	5"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.C.	Minimal live canopy.
T27	citrus	3-6" ave.	No	10'X10' ave.	Good-Poor	Fair-Good	Fair	10'	High (within pool or pool house footprint)	R.I.	Group of 12 mature citrus in good to poor condition.
T28	fig	10"	No	10'X10'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	
T29	pittosporum	11.5"	No	20'X15'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	Bark separation in trunk.
T30	deodar cedar	6"	No	15'X10'	Poor	Poor	Poor	10'	High (within pool footprint)	R.I., R.C.	Fallen tree.



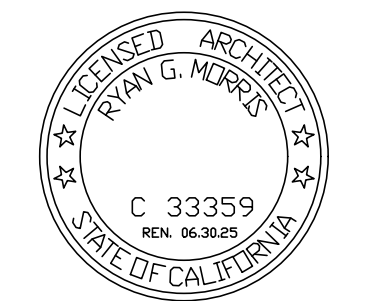
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Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 4.5'	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
Trees On Adjacent Properties											
T31	Douglas fir (Pseudotsuga menziesii)	30" (estimated)	Yes	80'X20'	Good	Good	Good	20'	Moderate (Root loss, excavation)	R.T., I.M.	<1' from property line.
T32	silver dollar gum (Eucalyptus palyanthermos)	15" (estimated)	Yes	35'X10'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.T., I.M.	<4' from property line. Trunk damaged by fallen limb from tree T33.
T33	deodar cedar	30" (estimated)	Yes	80'X20'	Fair	Fair-Poor	Fair	20'	Moderate (Root loss, excavation)	R.T., I.M.	<3' from property line. Topped at 40' above grade. Self corrected trunk lean. Failed 8" diameter limb.
T34	deodar cedar	30" (estimated)	Yes	80'X20'	Fair	Fair	Fair	20'	Moderate (Root loss, excavation)	R.T., I.M.	<5' from property line.
T35	elm (Ulmus spp.)	24" (estimated)	Yes	30'X20'	Good	Good	Good	15'	Moderate (Root loss, excavation)	R.T., I.M.	On adjacent public property.



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BASEMENT FLOOR PLAN

JOB #: 2409

A2.0

- FOUNDATION & CONCRETE NOTES:**
- PRESSURE TREATED OR NATURALLY DURABLE WOOD, FLOOR JOISTS WITH LESS THAN 18" TO EXPOSED GROUND, AND GIRDERS WITH LESS THAN 12" TO EXPOSED GROUND SHALL BE P.T. EXTERIOR WOOD FRAMING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. (SIDING 6" FROM EARTH) CRC R317.1
  - VERIFICATION, G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLDDOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
  - VERIFICATION, PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.

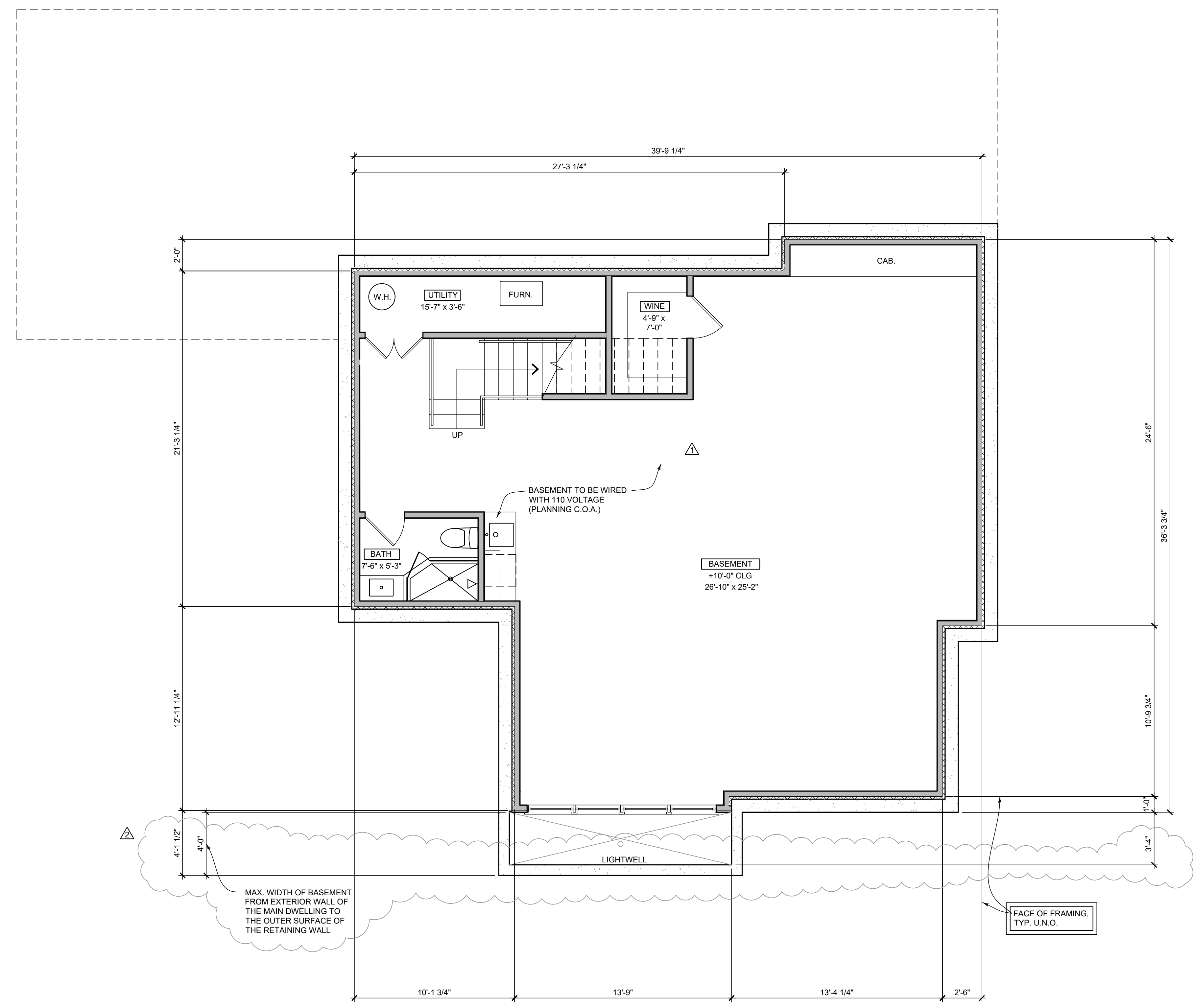
- FLOOR PLANS NOTES:**
- CAL GREEN, SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
  - DOORS & WINDOWS, SEE SHEET A6.1 AND A6.2 FOR DOOR AND WINDOW SCHEDULES
  - UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
  - DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/ CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
  - SHOWERS, SHOWER AND TUBSHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
  - INTERIOR WATERPROOFING, AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH
  - CONCEALED WORK, MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
  - ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
  - ATTIC ACCESS, PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

- INSULATION NOTES:**
- SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
  - INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
  - AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE

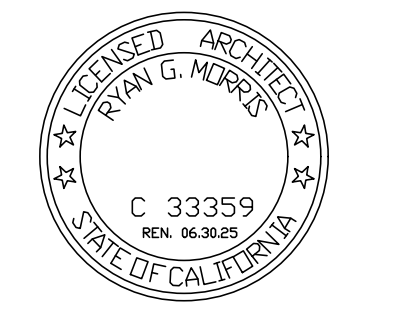
- PROJECT KEYNOTES:**
- FRAMING, ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
  - INSULATION, IN ADDITION TO REQUIRED ENVELOPE INSULATION, PROVIDE (N) ACOUSTIC INSULATION IN ALL INTERIOR WALLS WHERE WORK OCCURS SEPARATING BEDROOMS, BATHROOMS, LAUNDRY, KITCHEN, AND AS REQUESTED BY OWNER. PROVIDE (N) ACOUSTIC INSULATION IN ALL FLOOR ASSEMBLIES BETWEEN FLOORS
  - CONCRETE FOOTINGS, ROOF EAVES, ETC. ARE NOT ALLOW TO ENCR OACH INTO SITE EASEMENTS, SEE A0.3 SITE PLAN

**WALL LEGEND:**

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)/(N) 1 HR. RATED WALL
	(E)/(N) 2X6 WALL
	(N) DOOR SYMBOL
	(N) WINDOW SYMBOL



MODDERMAN RESIDENCE  
380 ARBOLEDA DRIVE  
LOS ALTOS, CA 94024



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FIRST FLOOR PLAN

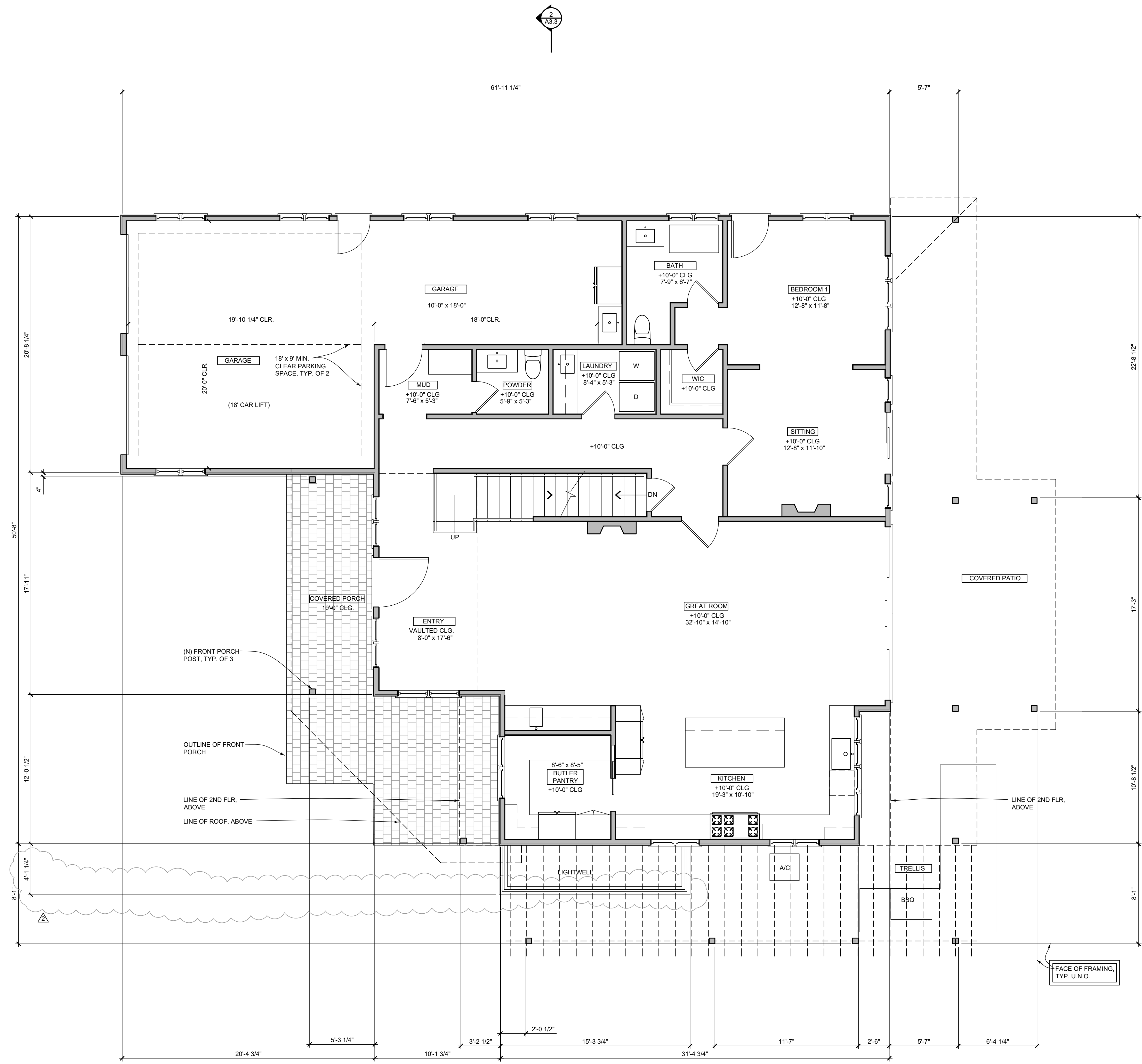
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A2.1

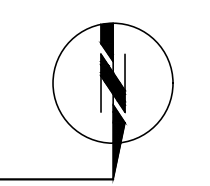
FLOOR PLAN NOTES:  
1. REFERENCE SEE SHEET A2.0 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

**WALL LEGEND:**

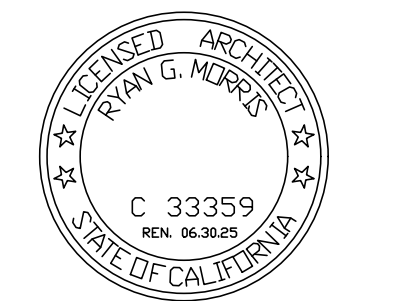
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- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



1 FIRST FLOOR PLAN  
A2.1 1/4"=1'-0"



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SECOND FLOOR PLAN

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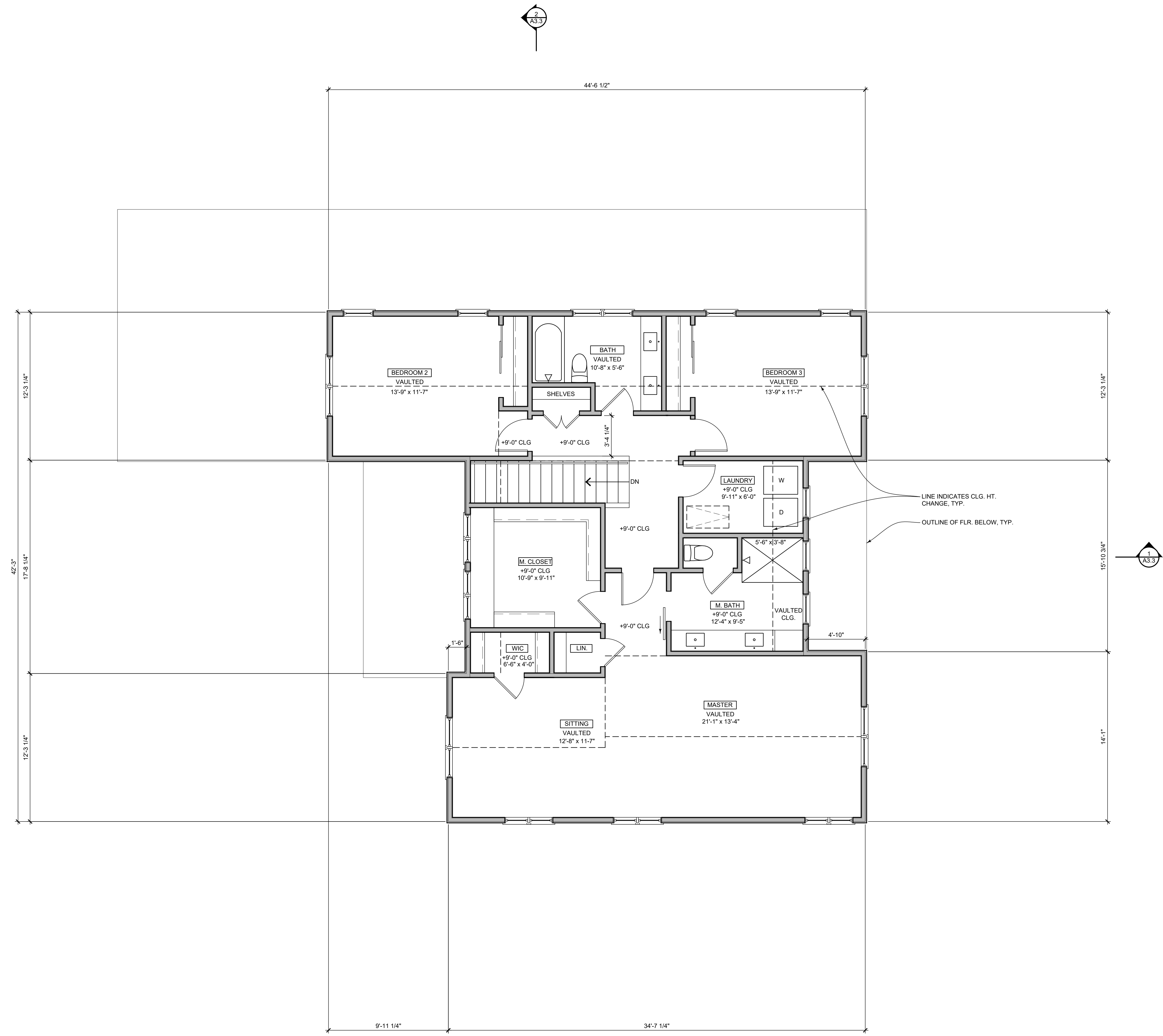
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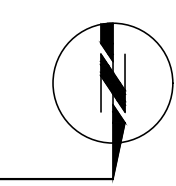
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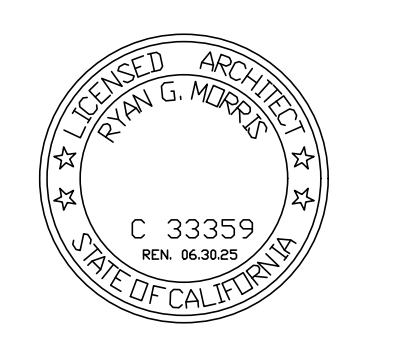
- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



1 SECOND FLOOR PLAN  
A2.2 1/4"=1'-0"



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ROOF PLAN

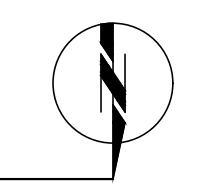
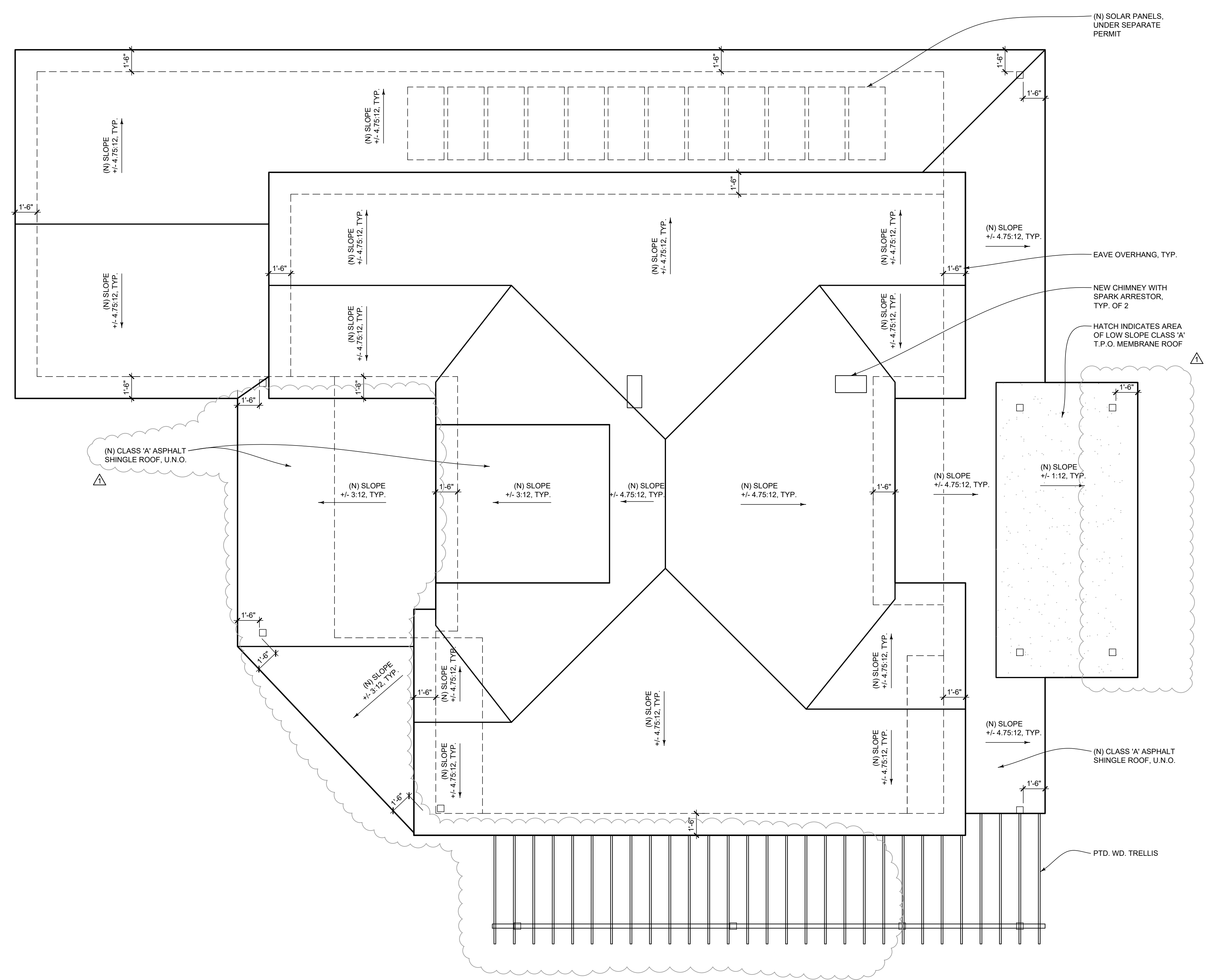
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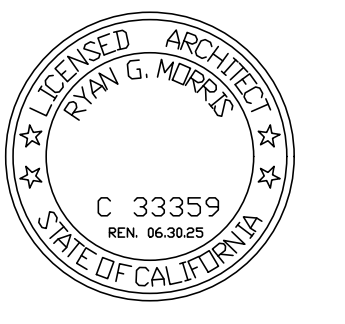
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- FLOOR PLAN NOTES:
- REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL





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**POOL HOUSE FLOOR PLAN**

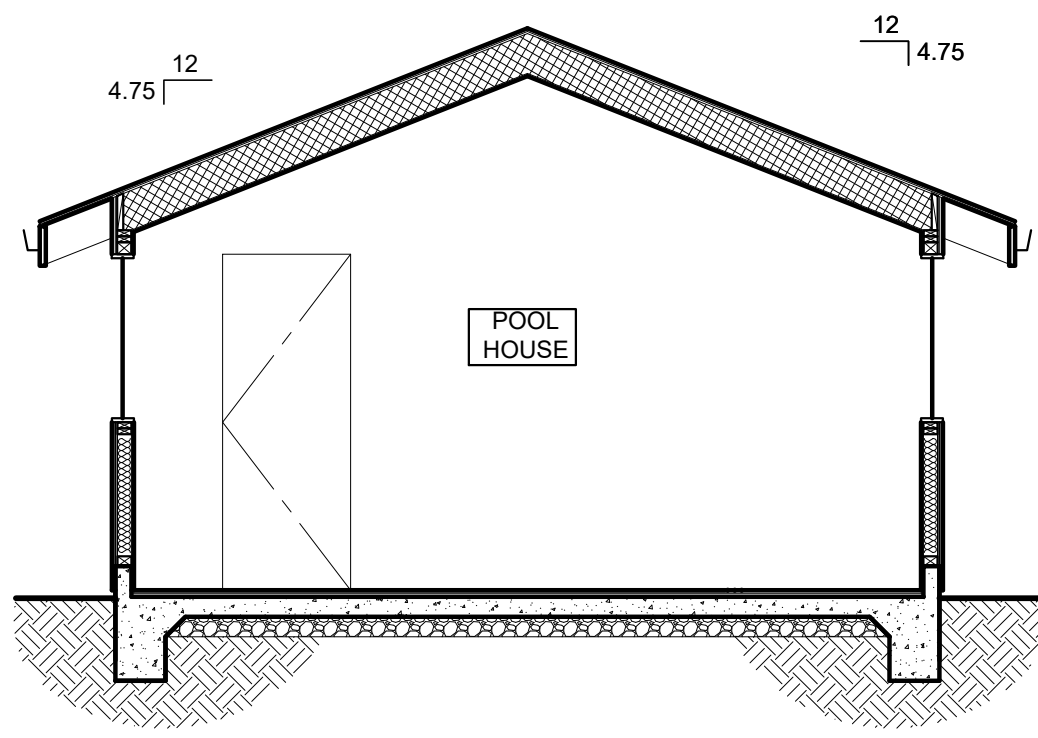
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**FLOOR PLAN NOTES:**

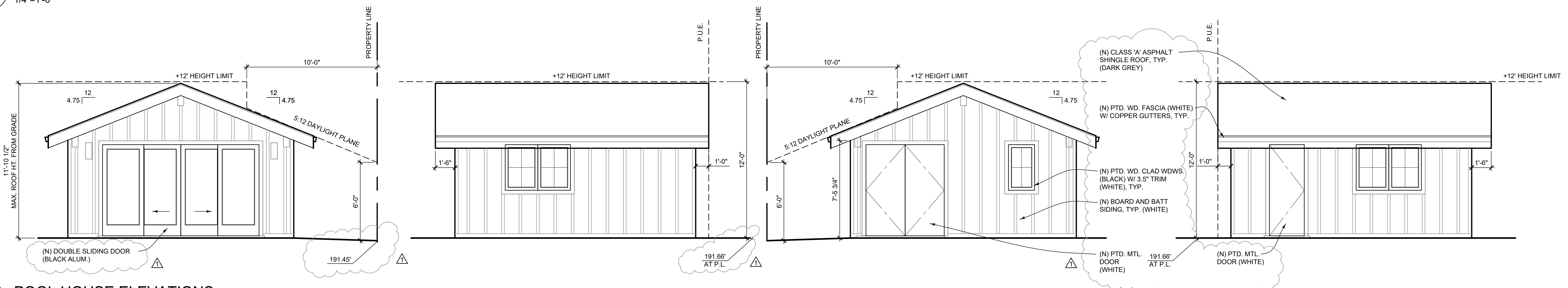
- REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES, SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

**WALL LEGEND:**

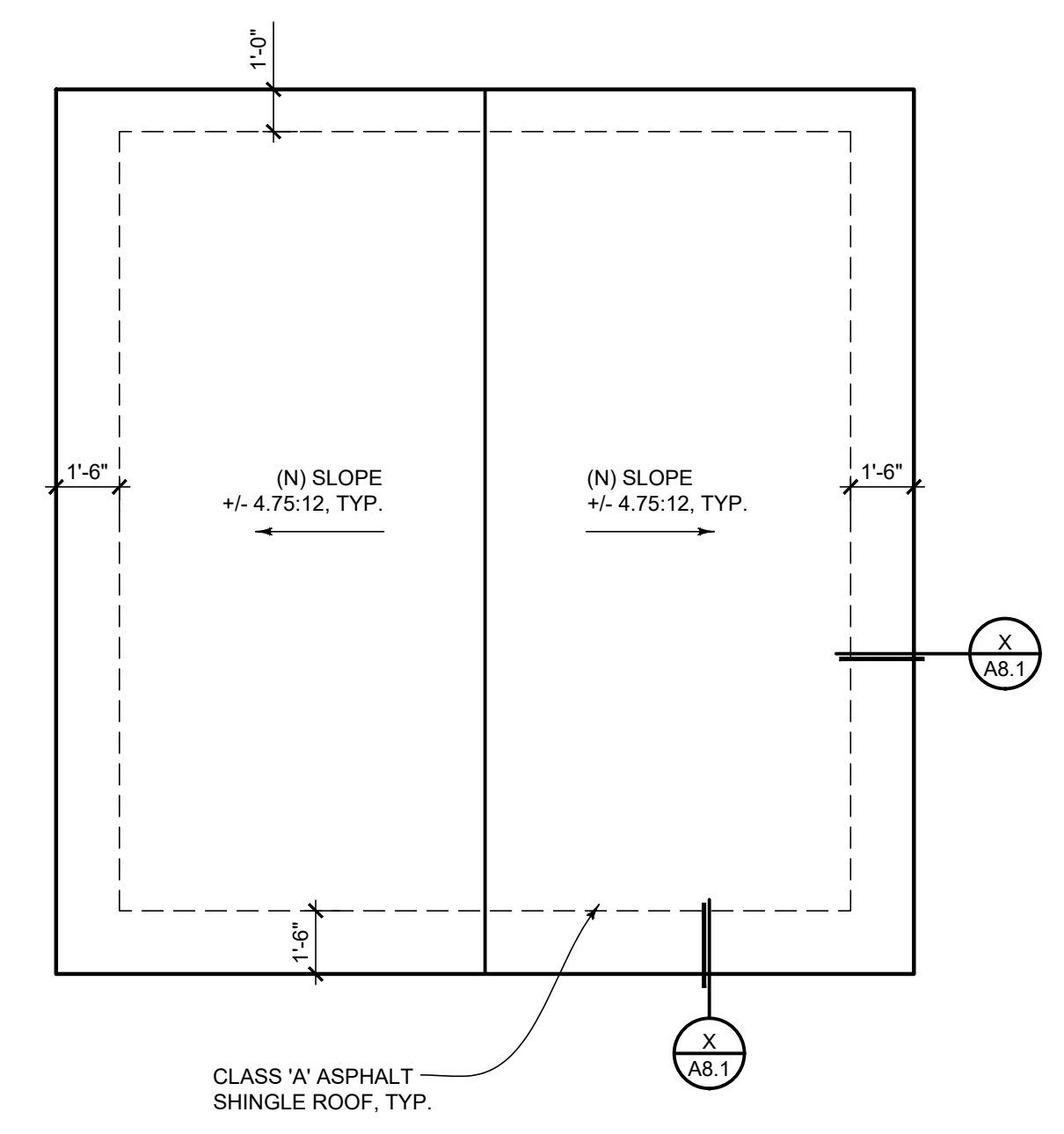
- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



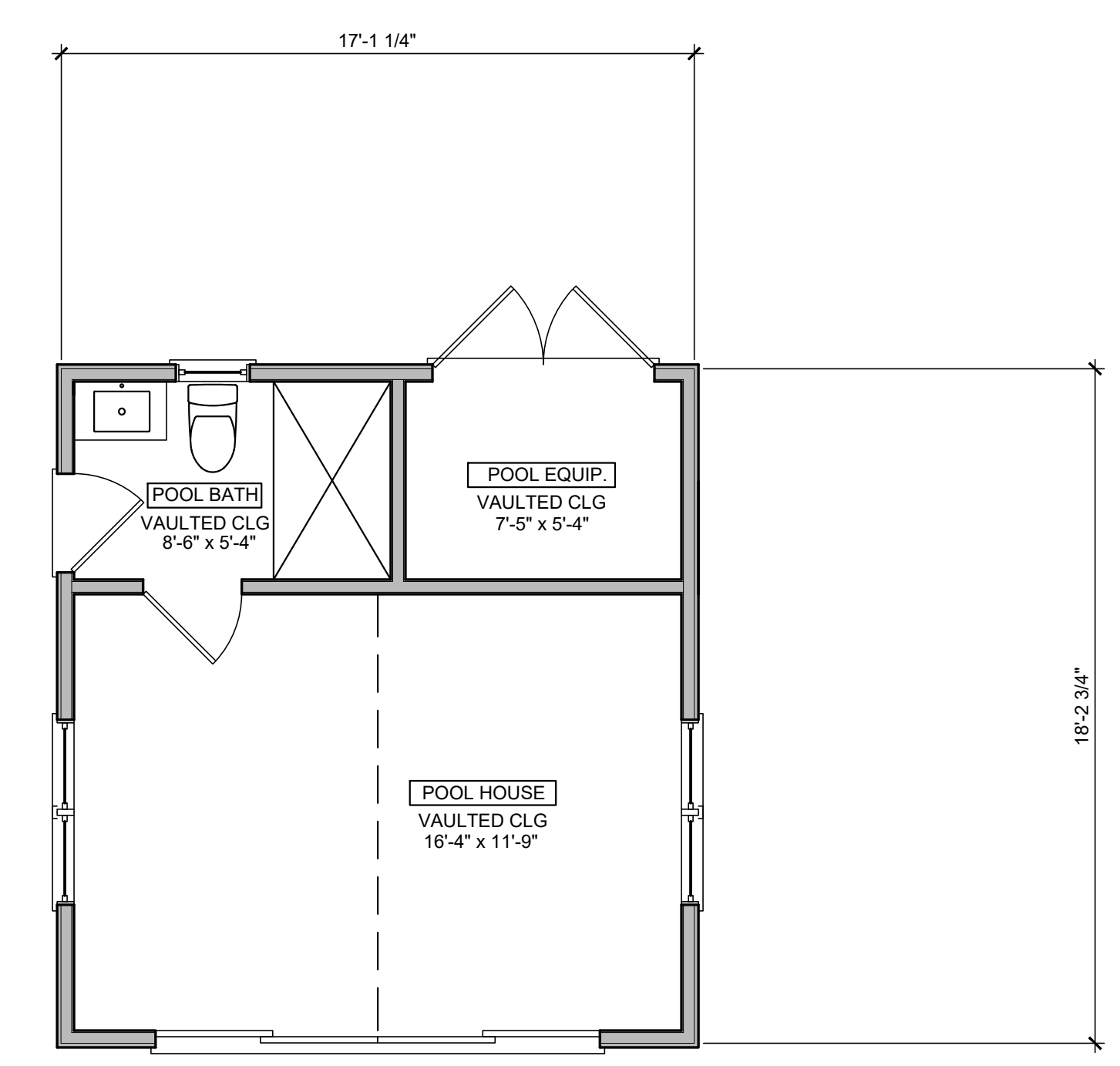
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**A2.4** **POOL HOUSE SECTION**  
1/4"=1'-0"



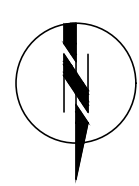
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**A2.4** **POOL HOUSE ELEVATIONS**  
1/4"=1'-0"



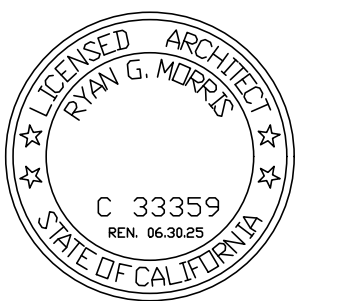
**2**  
**A2.4** **POOL HOUSE ROOF PLAN**  
1/4"=1'-0"



**1**  
**A2.4** **POOL HOUSE FLOOR PLAN**  
1/4"=1'-0"



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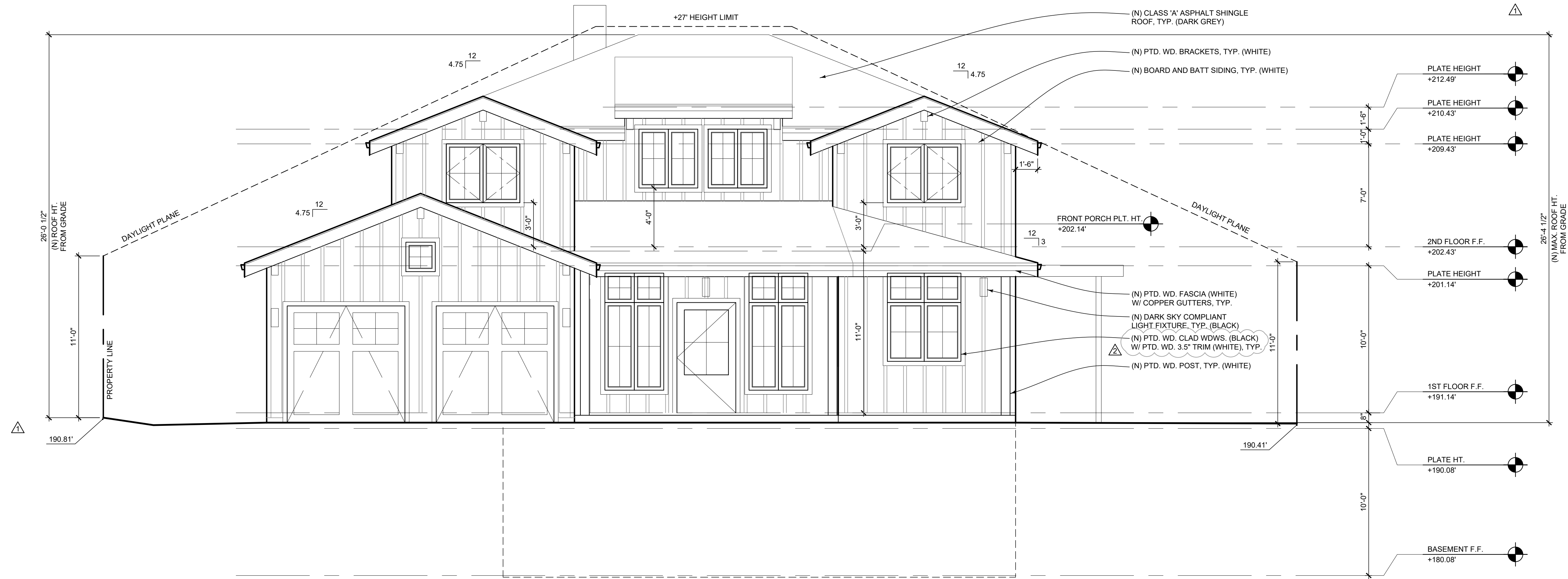
EXTERIOR ELEVATIONS

JOB #: 2409

A3.1



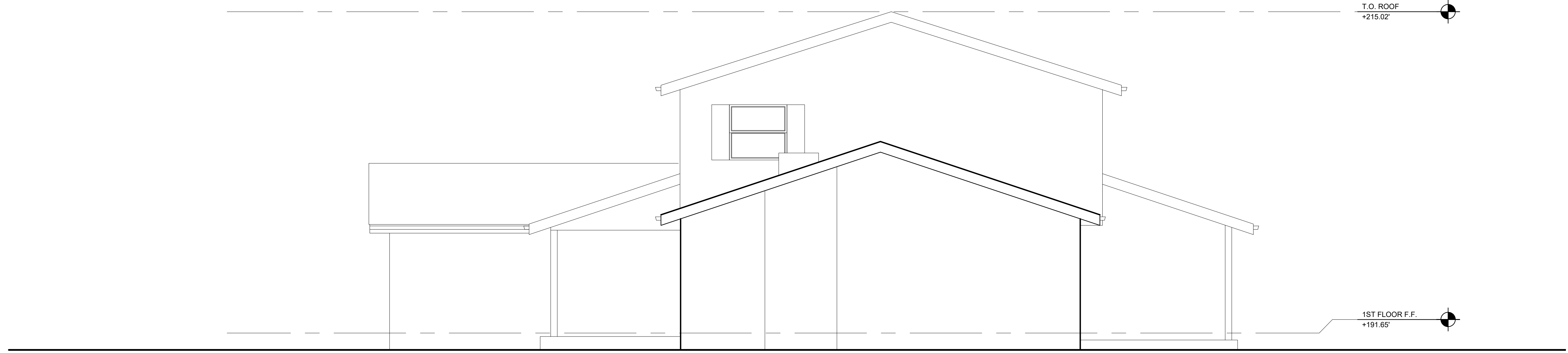
2 EXISTING FRONT (EAST) ELEVATION  
A3.1 1/4"=1'-0"



1 PROPOSED FRONT (EAST) ELEVATION  
A3.1 1/4"=1'-0"



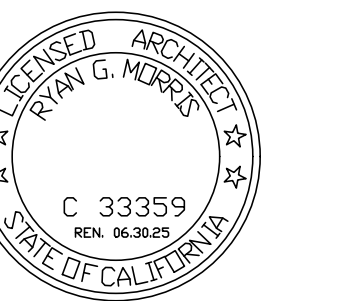
**MODDERMAN RESIDENCE**  
380 ARBOLEDA DRIVE  
LOS ALTOS, CA 94024



2 EXISTING RIGHT (NORTH) ELEVATION  
A3.2 1/4"=1'-0"



1 PROPOSED RIGHT (NORTH) ELEVATION  
A3.2 1/4"=1'-0"



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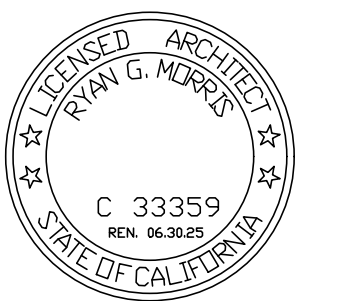
△	PLNG SUBMITTAL	10.22.24
△	PLNG SUBMITTAL	12.20.24
△	PLNG SUBMITTAL	01.24.25
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**EXTERIOR ELEVATIONS**

JOB #: 2409

**A3.2**

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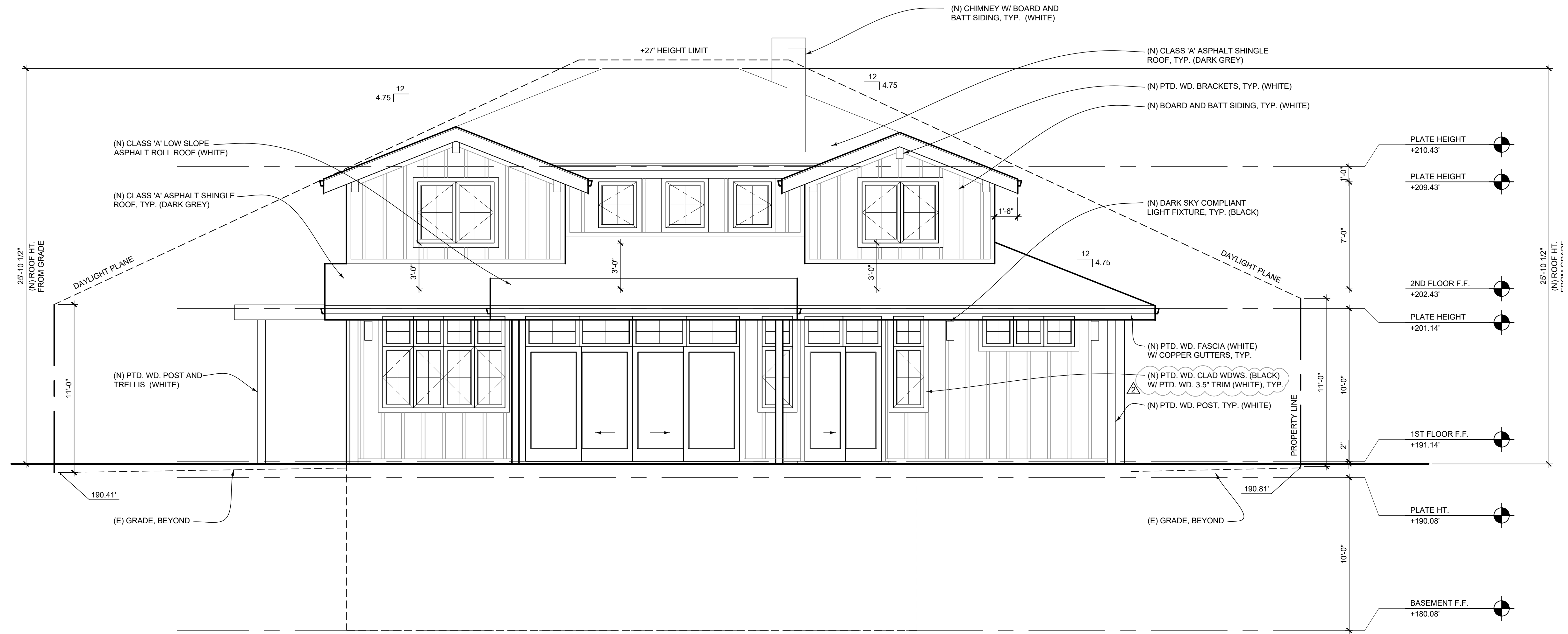
**EXTERIOR ELEVATIONS**

JOB #: 2409

**A3.3**

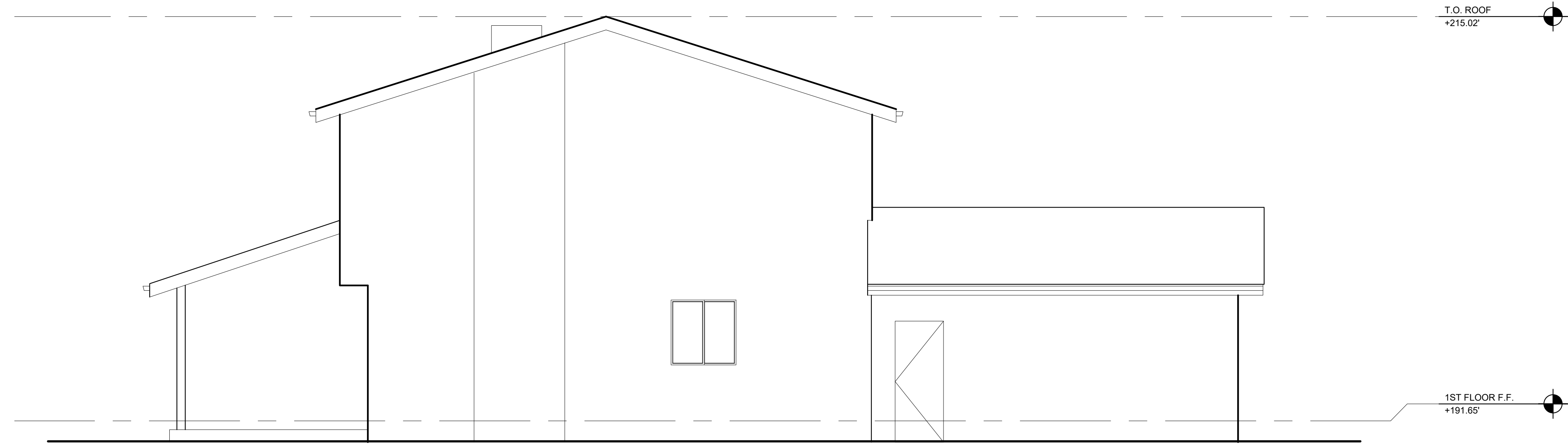


**2** EXISTING BACK (WEST) ELEVATION  
A3.3 1/4"=1'-0"

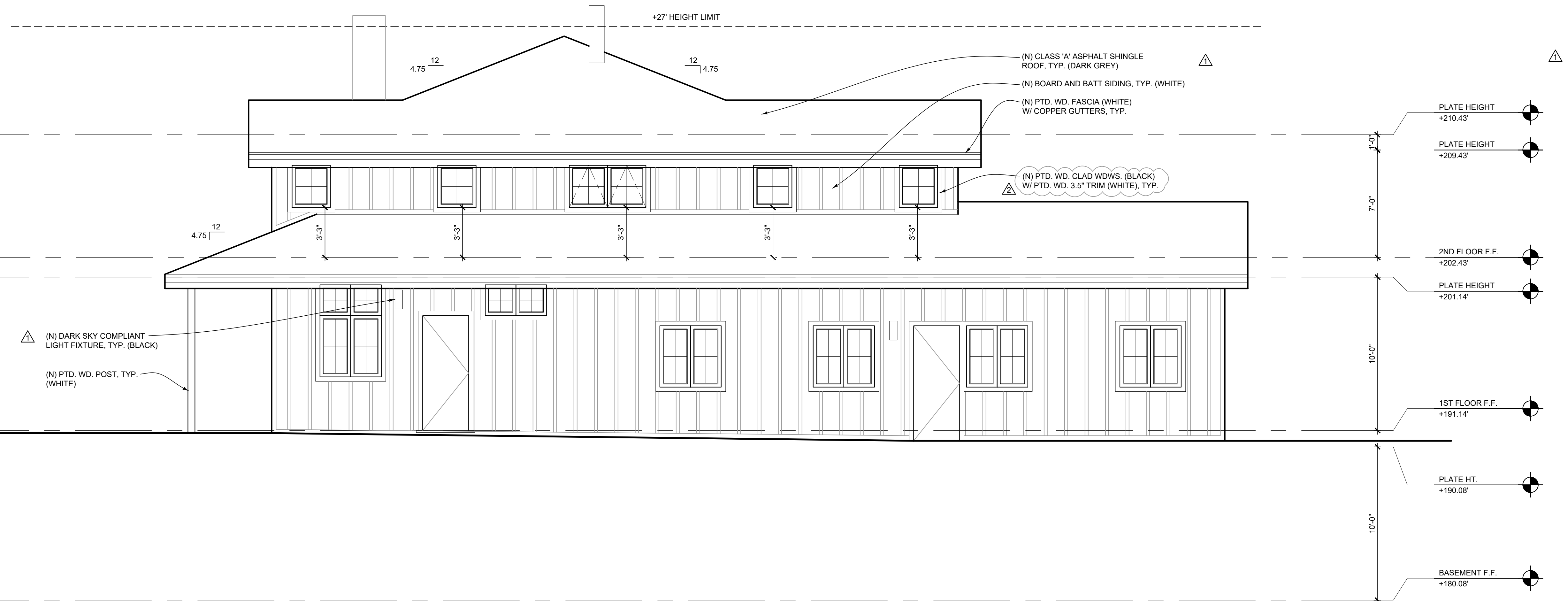


**1** PROPOSED BACK (WEST) ELEVATION  
A3.3 1/4"=1'-0"

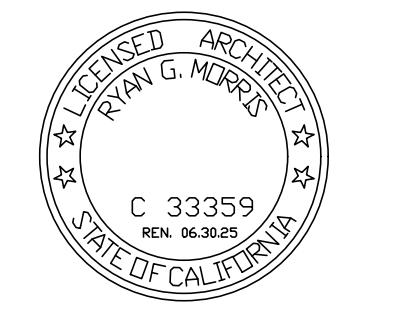
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**2** EXISTING LEFT (SOUTH) ELEVATION  
A3.4 1/4"=1'-0"



**1** PROPOSED LEFT (SOUTH) ELEVATION  
A3.4 1/4"=1'-0"



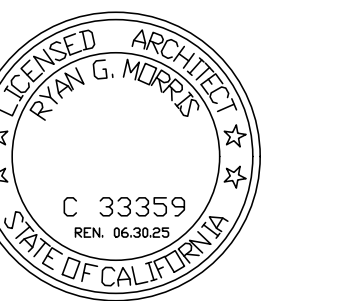
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**EXTERIOR ELEVATIONS**

JOB #: 2409

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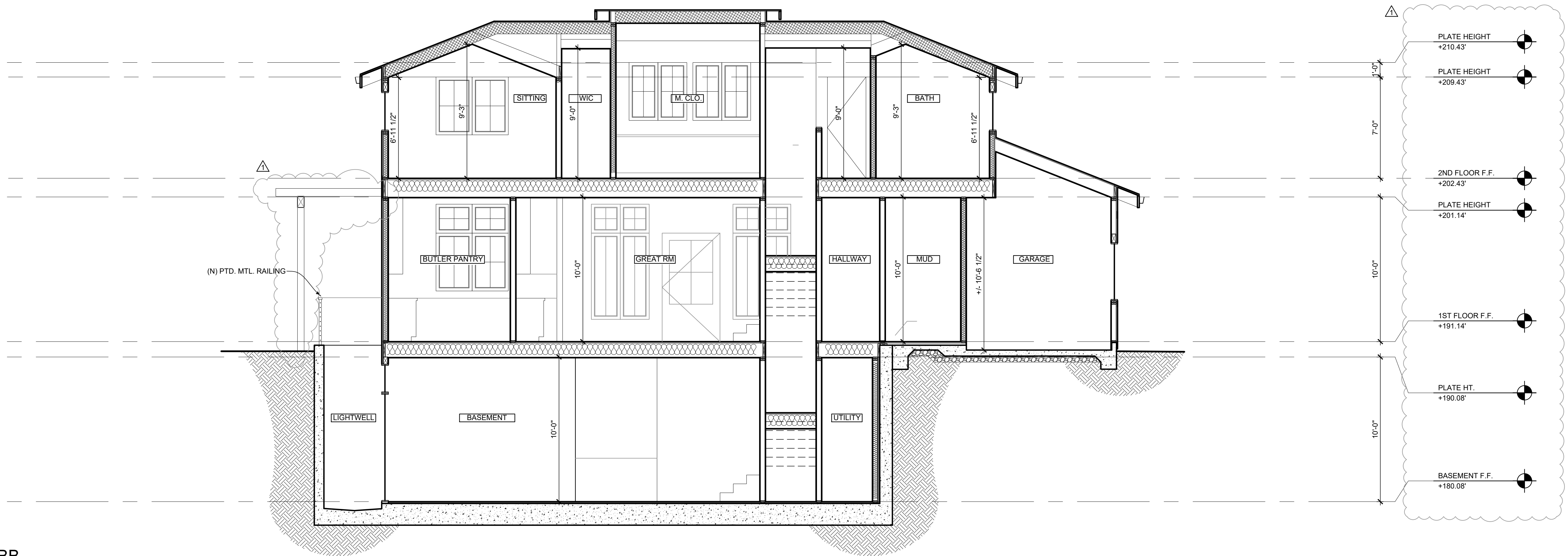
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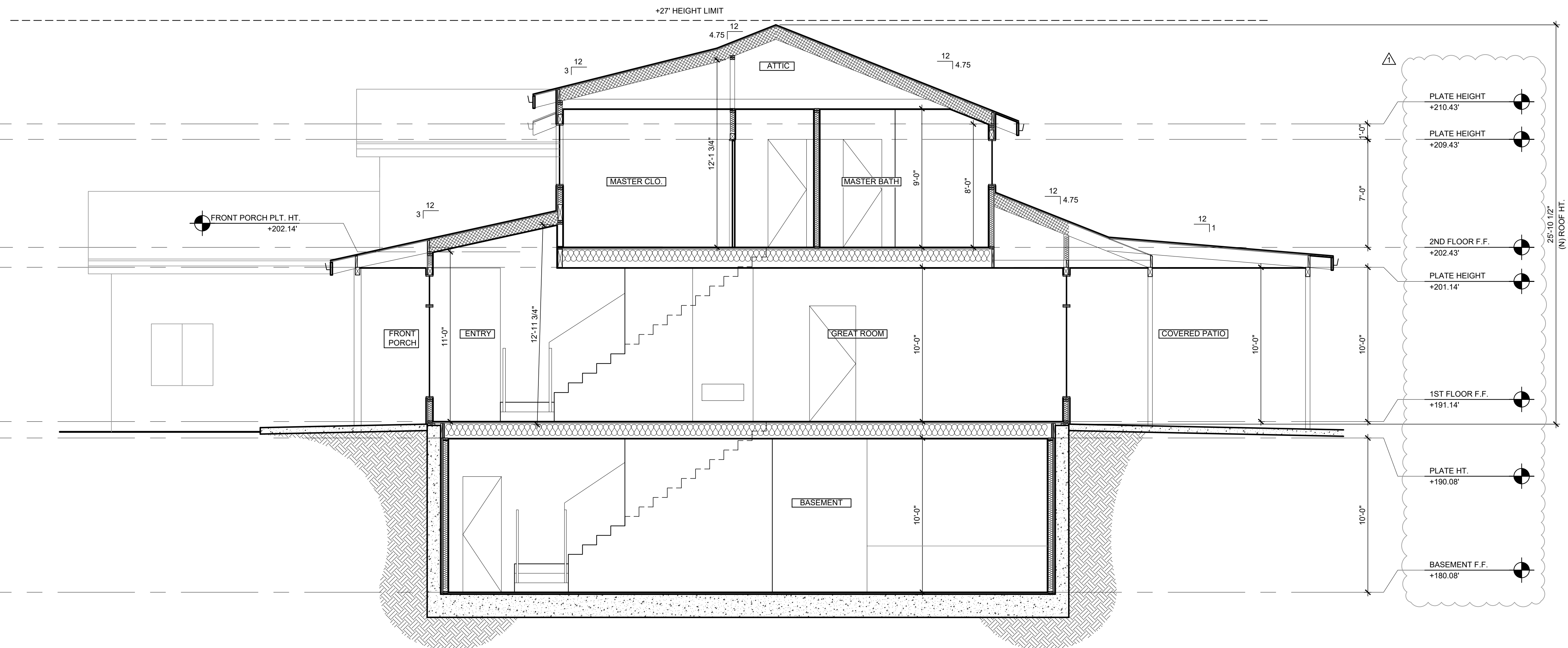
**BUILDING SECTIONS**

JOB #: 2409

**A3.5**



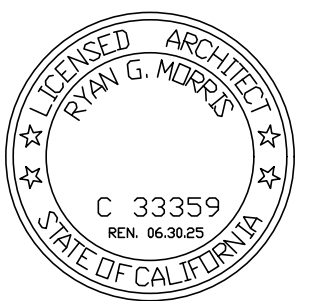
**2** BUILDING SECTION BB  
A3.5 1/4"=1'-0"



**1** BUILDING SECTION AA  
A3.5 1/4"=1'-0"



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**COVER SHEET**

JOB #: 2409