ZONING ADMINISTRATOR MEETING AGENDA

4:00 PM - Wednesday, May 15, 2024

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to **ZAPublicComment@losaltosca.gov**.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

https://tinyurl.com/yepe4e2k

Telephone: 1-253-215-8782 / Webinar ID: 818 1268 4637 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to **ZAPublicComment@losaltosca.gov**.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. The Zoning Administrator will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Zoning Administrator.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of April 3, 2024.

PUBLIC HEARING

2. **SC23-0018 - Joanna Li - 131 San Juan Court**
   Design review for a new 3,502 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") of the California Environmental Quality Act (CEQA). *Project Planner: Gallegos*

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at *http://losaltosca.gov/meetings*.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.

ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM - Wednesday, April 3, 2024

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT: Zoning Administrator Zornes and Development Services Deputy Director Williams

STAFF: Senior Planner Gallegos, Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of March 20, 2024.

Action: Zoning Administrator Zornes approved the meeting minutes for regular meeting of March 20, 2024.
The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

PUBLIC HEARING

2. **SC24-0001 – Steven Collom – 284 Alvarado Avenue**
   Design Review for a new 3,540 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") of the California Environmental Quality Act (CEQA). *Project Planner: Gallegos* ***THIS ITEM HAS BEEN CONTINUED FROM THE MARCH 20, 2024 ZONING ADMINISTRATOR MEETING***

STAFF PRESENTATION
Senior Planner Gallegos presented the staff report recommending approval of design review application SC24-0001 subject to the listed findings and conditions.

PUBLIC COMMENT
Project applicant Steven Collum spoke to the project. Jaime Cheng provided public comment.

Action: Zoning Administrator Zornes approved design review application SC23-0017 per the staff report findings and conditions with the following list of conditions:

- trees #5 and #6 are to be looked at by a certified arborist who will prepare a report on the current and predicted health of the tree for consideration of removal.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

3. **SC23-0016 – Marta Andersson – 1358 Montclaire Way**
   Design Review for the construction of a residential addition including a 30 square-foot addition at the first story and a 700 square-foot addition at the second story. This project is categorically exempt pursuant to Section 15301 ("Existing Facilities") of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

STAFF PRESENTATION
Associate Planner Liu presented the staff report recommending approval of design review application SC23-0012 subject to the listed findings and conditions.

Action: Zoning Administrator Zornes approved design review application SC23-0016 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

4. **SC23-0019 - Yingxi Chen - 16 Otis Way**
   Design review for a new 3,638 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") of the California Environmental Quality Act (CEQA). *Project Planner: Gallegos*

STAFF PRESENTATION
Senior Planner Gallegos presented the staff report recommending approval of design review application SC23-0019 subject to the listed findings and conditions.

PUBLIC COMMENT
Werner Schmidt provided public comments.

Action: Zoning Administrator Zornes approved design review application SC23-0019 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

POTENTIAL FUTURE AGENDA ITEMS
None.

ADJOURNMENT

Zoning Administrator Zornes adjourned the meeting at 4:21 PM.

_____
Nick Zornes
Zoning Administrator

TO: Nick Zornes, Zoning Administrator

FROM: Sean Gallegos, Senior Planner

SUBJECT: SC23-0018 – 131 San Juan Court

RECOMMENDATION

Approve design review application SC23-0018 for the construction of a new 3,502 square foot, two-story house subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures").

BACKGROUND

Project Description

- Project Location: 131 San Juan Court, located on the east side of San Juan Court, north of Jordan Avenue.
- Lot Size: 10,013 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story house

The proposed project includes the demolition of the existing one-story house and replacement with a new 3,502 square-foot two-story house (see Attachment A – Project Plans). An 849 square foot attached accessory dwelling unit is also proposed but is not subject to design review and will be reviewed under a separate Building Permit application.

The new residence is designed in a neo-eclectic architectural style that combines various decorative techniques from different house styles with exterior materials that include a standing seam metal roof, stucco exterior and stone veneer finish with wood trims, aluminum framed windows, and wood doors.

The subject property is an interior lot, and it does not have a uniform rectangular shape. The proposed construction involves maintaining a footprint similar to that of the original house and the proposed site improvements include a new driveway to the attached garage along the southern side of the property and new hardscape and softscape throughout the property.

On the subject site, there is a single protected Crape Myrtle tree, measuring 18 inches in diameter, located in the front yard. An arborist's evaluation determined that the tree's health is fair and that it would not withstand the development due to its five-foot distance from the new house. The decision to remove the tree adheres to the criteria outlined in the Tree Protection Regulations, specifically criterion No. 5, which permits removal for reasons related to the impact of preserving the tree

impeding the use of real property and no reasonable or feasible alternative existing to preserve the tree in the current location.

ANALYSIS

Design Review

The proposed house complies with the R1-10 district development standards found in Los Altos Municipal Code (LAMC) Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	2,204 square feet	2,762 square feet	3,003 square feet
FLOOR AREA: 1st Floor 2nd Floor Total	 2,204 square feet - 2,204 square feet	 1,990 square feet 1,512 square feet 3,502 square feet	 3,505 square feet
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	 25.08 feet 43.75 feet 10 feet/- 11.66 feet/-	 25.08 feet 27.5 feet 10 feet/20.3 feet 10.2 feet/ 20.6 feet	 25 feet 25 feet 10 feet/17.5 feet 10 feet/17.5 feet
HEIGHT:	18.6 feet	24.8 feet	27 feet

Per Chapter 14.76 of the LAMC, new two-story residences must comply with the Single-Family Residential Design Guidelines. The surrounding neighborhood is considered a Diverse Character Neighborhood according to the Design Guidelines. In a Diverse Character neighborhood, the guidelines advise integrating existing design elements, materials, and scales while maintaining distinctiveness. The immediate neighborhood is comprised of one-story and two-story houses. Homes in the neighborhood exhibit similar massing, a combination of simple and complex roof forms, and distinctive front setback patterns due to the cul-de-sac, resulting in irregular front yards. The horizontal eave lines at the first story typically range from approximately eight to nine feet in height. The homes in the neighborhood feature attached garages in the front yard facing the street.

The design of the new residence adopts a neo-eclectic architectural style, blending various decorative techniques from different house styles. It incorporates elements of a traditional two-story layout, such as simple massing and a projecting front porch, alongside contemporary features like simplified forms, open floor plans, and flat roof and mansard roof forms. Notably, the inclusion of flat roof forms along the front elevation contributes to a modern aesthetic, while hipped mansard elements along the sides and rear maintain a traditional appearance. This balanced fusion of styles results in a cohesive design that respects both tradition and modernity. Externally, carefully chosen materials, including standing seam metal roof, stucco exterior, stone veneer finish with wood trims, aluminum-framed windows, and wood doors, ensure compatibility with the surrounding area.

The design guidelines and review findings emphasize the importance of minimizing the structure's bulk. In line with these requirements, the design effectively breaks down the massing and enhances the visual interest of the facade. The low-pitched roof and roof form play a crucial role in reducing the perceived bulk of the structure. The first-story roof form and horizontal eave line create visual breaks in the wall plane, while the articulation and roof forms of the first and second story further break down the massing into smaller sections, resulting in an aesthetically appealing and less bulky appearance. Additionally, the second story, recessed and centrally positioned over the first, contributes to a softened appearance.

Moreover, the proposed height of the 24.8-foot-tall house aligns with the scale of neighboring houses in the area considering that the neighborhood consists of one-story houses ranging from 14 to 17 feet in height, as well as two-story houses ranging from 22 to 25 feet. This ensures that the building blends in harmoniously with the overall character of the neighborhood, avoiding any visual discrepancies or disruptions to the character of the neighborhood.

The design incorporates a single balcony facing the rear yard, though its depth exceeds the recommendation outlined in the Single-Family Residential Design Guidelines. While the guidelines suggest a maximum depth of four feet, the proposed balcony extends to five feet in depth. To mitigate potential privacy concerns, the proposal includes a five-foot-tall screening wall along the right side elevation and landscaping with evergreen trees along the side and rear property lines. However, to align with Single-Family Residential Design Guidelines, staff recommends two conditions: Condition No. 4a, which mandates reducing the balcony depth to a maximum of four feet, and Condition No. 4b, requiring the landscape plan be revised to show evergreen screening plants along the unscreened portions of the side and rear property lines.

The proposed landscaping includes one new Chinese Pistache tree in the front yard, one new Water Gum tree in the rear yard, and evergreen screening vegetation along the left property line which will be integrated with existing vegetation to remain. The landscaping plan will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, ensuring compatibility with neighboring structures, reducing perceived bulk, and prioritizing the preservation of existing trees.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property, mailed to property owners within 300 feet of the subject site, and published in the Town Crier newspaper. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements.

The applicant sent out emails to nine neighbors in the immediate area. As of the drafting of this report, staff has received no comment letters from neighbors.

Attachment:

A. Project Plans

Cc: Joanna Li, Applicant
Jackie Terrell, Designer
Aditya Kuruganti and Jolly Diya Trustees, Owners

FINDINGS

SC23-0018 - 131 San Juan Court

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

A. The proposed residence complies with all provision of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.

B. The height, elevations and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed house maintains a similar finished floor elevation and complies with the allowable floor area, lot coverage, height maximums, and daylight plane requirement pursuant to LAMC Chapter 14.06.

C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized because the trees on the property protected by city ordinance are proposed to remain and there will not be any substantial grade changes nor soil removal to construct the residence. A total of one protected tree in the front yard is set for removal. The proposed landscaping including a new Chinese Pistache tree, shrubs, and ground cover will be in compliance with the Water Efficient Landscape Ordinance.

D. The orientation of the proposed new house in relation to the immediate neighborhood will minimize excessive bulk because the proposed structure incorporates architectural design features first-story roof form and horizontal eave line create visual breaks in the wall plane, while the articulation and roof forms of the second story further break down the massing into smaller sections, and the proposed design utilizes stucco and board and batten siding along segments of the first story and second story visually break down the massing and minimize excessive bulk.

E. General architectural considerations, including the size and scale, the architectural relationship with the site and new house, building materials and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings on the same project site. The proposed house meets the floor area, lot coverage, and height limitations specified in LAMC Chapter 14.06, and its size and scale harmonize with the neighborhood. This is achieved through a combination of a low-pitched roof and flat roof forms, horizontal eave lines on both the first and second stories, segmented massing, and a height that avoids excessive bulkiness.

F. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimal impervious cover, and maximum erosion protection because the because the site is relatively flat and has incorporated softscape and hardscape surfaces into the plan and proposes a drainage plan to minimize off-site stormwater drainage.

CONDITIONS OF APPROVAL

SC23-0018 - 131 San Juan Court

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on May 15, 2024, unless prior to the date of expiration, a building permit is issued or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.

2. **Approved Plans:** The approval is based on the plans and materials received on April 9, 2024, except as modified by these conditions as specified below.

3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the overall approvals may be approved by the Development Services Director.

4. **Building Design/Plan Modifications:** The following modifications shall be made to the architectural design and landscaping, and/or other site or building design details and shall be shown on building permit drawings:

   a. The project plans shall be revised to reduce the balcony depth to a maximum of four feet.
   b. The landscape plan be revised to show evergreen screening plants along the unscreened portions of the side and rear property lines.

5. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

6. **ADU/JADU Not Reviewed:** The proposed ADU/JADU included in the plan set is not part of this design review application. Prior to commencement of the ADU/JADU construction, a separate building permit issued by the Building Division shall be obtained.

7. **Tree Removal Approved:** The 18-inch Crape Myrtle tree shown to be removed on plan Sheet A0.4 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after the issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Development Services Director upon submitting written justification.

8. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the

dripline(s). Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

9. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

10. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.

11. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment and demonstrate compliance with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

12. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.

14. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

15. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division prior to issuance of a building permit. Payments shall be made directly to the school districts.

16. **Change of Address:** A "Request for Address Assignment or Change" form must be submitted to the Building Division to correlate with the addition of a new dwelling unit on the existing property or reorientation of the front of the home to a different street.

17. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

18. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

19. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

20. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

21. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

22. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday, or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

23. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

24. **Storm Water Management:** Show how the project is in compliance with the Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.

25. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the Traffic Engineer.

26. **Grading and Drainage Plan:** The building permit submittal shall include on-site grading and drainage plans that include (i.e. drain swale, drain inlets, rough pad elevations, building envelopes, drip lines of major trees, elevations at property lines, all trees and screening to be saved) for approval by the City Engineer. No grading or building pads are allowed within two-thirds of the drip line of trees unless authorized by a certified arborist and the Planning Department.

27. **Public Infrastructure Repairs**: The Applicant shall repair any damaged right-of-way infrastructures and otherwise displaced curb, gutter, and City's storm drain inlet shall be removed and replaced as directed by the City Engineer or his designee.

28. **Americans with Disabilities Act:** All improvements shall comply with the latest version of Americans with Disabilities Act (ADA). The latest edition of Caltrans ADA requirements shall apply to all improvements in the public right-of-way.

29. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed.

30. **Sewer Cleanout**: The building permit submittal shall show the relocation of the existing sewer cleanout from the public right-of-way to private property within 5' from the property line.

FIRE DEPARTMENT

31. **Applicable Codes and Review**: The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

32. **Violations**: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming

to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

33. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

34. **Required Fire Flow:** The minimum required fire flow for this project is 875 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.

35. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

36. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

37. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

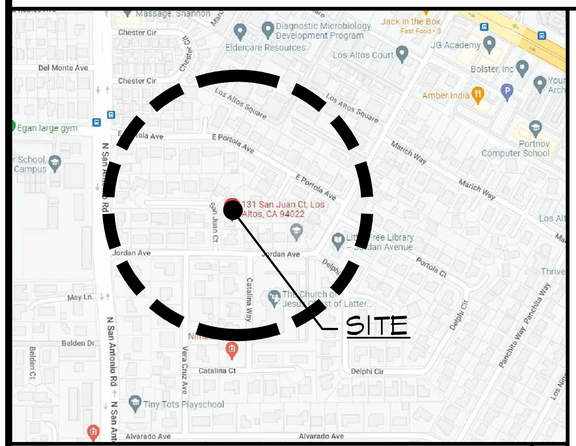
38. **Fire Sprinklers Required.** (As Noted on Sheet A0.1) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. 1.An automatic sprinkler system shall be provided

throughout all new buildings and structures, other than Group R occupancies, except as follows: a. Buildings and structures not located in any Wildland-Urban Interface and not exceeding 1,200 square feet of fire area. b. Buildings and structures located in any Wildland-Urban Interface Fire Area and not exceeding 500 square feet of fire area. c. Canopies, constructed in accordance with CBC 406.7.2, used exclusively for weather protection of vehicle fueling pads per CBC 406.7.1 and not exceeding 5,000 square feet of fire area. d. Group S-2 or U occupancies, including photovoltaic support structures, used exclusively for vehicle parking which meet all of the following: i. Noncombustible construction. ii. Maximum 5,000 square feet in not less than three (3) sides nor 75% of structure perimeter. iv. Minimum of 10 feet separation from existing buildings, or similar structures, unless area is separated by fire walls complying with California Building Code 706. 2. An automatic sprinkler system shall be installed throughout all new buildings with a Group R fire area. Exception: Detached Accessory Dwelling Unit, provided that all of the following are met: a. The unit meets the definition of an Accessory Dwelling Unit as defined in the Government Code Section 65852.2. b. The existing primary residence does not have automatic fire sprinklers. c. The accessory detached dwelling unit does not exceed 1,200 square feet in size. d. The unit is on the same lot as the primary residence. e. The unit meets all apparatus access and water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code. An approved automatic fire sprinkler system shall be installed in new manufactured homes (as defined in California Health and Safety Code Sections 18007 and 18009) and multifamily manufactured homes with two dwelling units (as defined in California Health and Safety Code Section 18008.7) in accordance with Title 25 of the California Code of Regulations.4. An approved automatic sprinkler system shall be provided throughout all existing buildings, when additions are made that exceed fifty (50) percent and/or seven hundred and fifty (750) square feet of existing floor areas (area calculations shall not include existing basement floor areas). 5. An approved automatic sprinkler system shall be provided throughout all new basements regardless of size and throughout existing basements that are expanded by more than 50%. 6. An approved automatic sprinkler system shall be provided throughout existing buildings and structures when alterations or additions are made that create conditions described in Sections 903.2.1 through 903.2.18. 7. Any change in the character of occupancy or in use of any building with a fire area equal to or greater than 3,600 square feet which, in the opinion of the fire code official or building official, would place the building into a more hazardous division of the same occupancy group or into a different group of occupancies and constitutes a greater degree of life safety 1 or increased fire risk 2 , shall require the installation of an approved fire automatic fire sprinkler system. 8. The obligation to provide compliance with these fire sprinkler regulations may not be evaded by performing a series of small additions and/or alterations undertaken over a three-year period and/or two code cycles. The permit issuance dates of past additions and/or alterations where these regulations were in effect shall be used for determining compliance. a. Any submittal for building permits which exceed fifty (50) percent and/or seven hundred and fifty (750) square feet of existing floor areas (area calculations shall not include existing basement floor areas and any non-habitable floor areas i.e., garages) during the three-year period shall comply with fire sprinkler regulations.

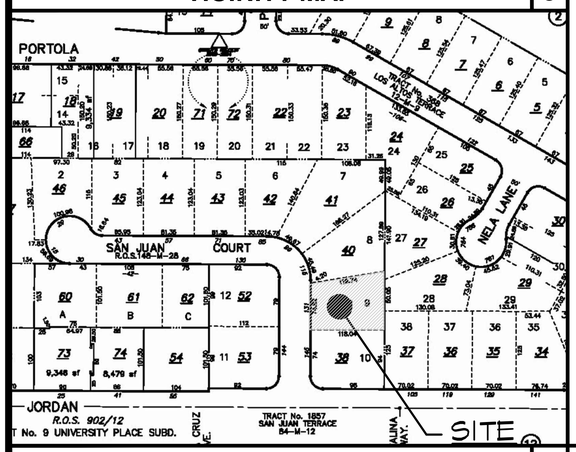
KURUGANTI RESIDENCE

LOS ALTOS, CALIFORNIA

PROPOSED FRONT ELEVATION VIEW (FOR REFERENCE ONLY) — 2



VICINITY MAP — 6



PARCEL MAP — 5

CONSULTANTS — 4

LANDSCAPE ARCHITECT
BONNIE BROCK LANDSCAPE DESIGN
948 CLARA DRIVE
PALO ALTO, CA 94303
TEL: (650) 465-9073
ATTN: BONNIE BROCK
bonnie@bbrockdesign.com

SOILS ENGINEER
ROMIG ENGINEERS
1390 EL CAMINO REAL, 2nd FLOOR
SAN CARLOS CA, 94070
TEL: (650) 591-5224
ATTN: COLEMAN K. NG

CIVIL ENGINEER
GREEN CIVIL ENGINEER
1900 SOUTH NORFOLK ST., SUITE 350
SAN MATEO, CA 94403
TEL: (650) 931-2514
ATTN: AMBROSE WONG
green-eng@hotmail.com

INTERIOR DESIGNER
BJORN DESIGN
151 VERMONT STREET, SUITE 6
SAN FRANCISCO, CA 94103
TEL: (415) 915-8228
ATTN: DAVID BJØRNGAARD
info@bjorndesign.net

ARCHITECT
YOUNG AND BORLIK ARCHITECTS, INC.
4962 EL CAMINO REAL, SUITE 218
LOS ALTOS, CA 94022
TEL: (650) 688-1950
ATTN: JACKIE TERRELL
jackie@ybarchitects.com

SURVEYOR
LEA & BRAZE ENGINEERING INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
TEL: (510) 887-4086
ATTN: PETE CARLINO
pcarlino@leabraze.com

ARBORIST
URBAN TREE MANAGEMENT
PO BOX 971
LOS GATOS CA 95031
TEL: (650) 321-0202
office@urbantreemanagement.com

DEFERRED SUBMITAL

POOL UNDER SEPARATE PERMIT

INTERIOR CUSTOM BUILT STAIRS. STAIR MANUFACTURER TO SUBMIT SHOP DRAWING TO ARCHITECT, ENGINEER, & BUILDING DEPARTMENT

NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT. PROVIDE FULL SPRINKLER COVERAGE IN THE ATTIC.

STREET WORK IN THE PUBLIC R.O.W. UNDER SEPARATE PERMIT.

PROJECT DESIGN DATA:

2022 CALIFORNIA BUILDING CODE - VOL. 1&2
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE (CalGreen)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

SHEET INDEX — 3

ARCHITECTURAL
A0.1 COVER SHEET, VICINITY MAP, CONSULTANTS, SHEET INDEX, PROJECT SUMMARY
A0.1.1 3D RENDERING
A0.3.1 NEIGHBORHOOD CONTEXT SITE PLAN
A0.3.2 SECOND FLOOR PRIVACY STUDY WITH SCREENING
A0.4 EXISTING SITE PLAN
A0.5 PROPOSED SITE PLAN
A0.6 AREA CALCULATIONS
A2.1.1 PROPOSED FIRST FLOOR PLAN
A2.2.1 PROPOSED SECOND FLOOR PLAN
A2.3 ROOF PLAN
A3.1 PROPOSED FRONT & REAR ELEVATIONS
A3.2 PROPOSED LEFT & RIGHT SIDE ELEVATIONS
A4.1 PROPOSED SECTION
A4.2 PROPOSED SECTION
A6.1 ARCHITECTURAL SPECIFICATIONS
A6.2 ARCHITECTURAL SPECIFICATIONS
A8.1 ARCHITECTURAL DETAIL
SURVEY
SU-1 TOPOGRAPHIC SURVEY PLAN
CIVIL
C1 GRADING AND DRAINAGE PLAN
C2 UTILITY PLAN
C3 EROSION CONTROL PLAN
C4 DETAILS
C5 DETAILS
C6 CONSTRUCTION BMPS
LANDSCAPE
A-1 HARDSCAPE PLAN
A-2 LANDSCAPE PLAN
A-3 WATER BUDGET
A-4 IRRIGATION PLAN

PROJECT SUMMARY — 1

SCOPE:
NEW 2 STORY 3502.2 SF HOME WITH ATTACHED 848.8 SF ADU.

APN#:	170-13-039
OWNER:	ADITYA KURUGANTI & DIYA JOLLY
PROJECT ADDRESS:	131 SAN JUAN COURT LOS ALTOS, CA 94022
BUILDING OCCUPANCY:	R-3/ U
TYPE OF CONSTRUCTION:	V-B
ZONING:	R-1 10
LOT SIZE:	10,013 sf (.23 ACRE)
HISTORIC STATUS:	NO
FLOOD ZONE:	X
STORIES:	2
ACCESSORY STRUCTURE:	NO
FIRE SPRINKLERS:	YES
ALLOWABLE LOT COVERAGE:	3,504.5 sf
ALLOWABLE F.A.R:	3,504.5 sf

ZONING COMPLIANCE	Existing	Proposed	Allowed/Required
LOT COVERAGE: *(Land area covered by all structures that are over 6 feet in height*	2,204 sq. ft.	2,762.1 sqft	3,003.9 sq. ft.
FLOOR AREA: *Measured to the outside surface of exterior walls*	1st Flr: 2,002 sq ft Total: 2,002 sqft	1st Flr: 1,989.9 2nd Flr: 1,512.3 sqft Total: 3,502.2 + 848.9 sq ft	3,504.5 .Sqft
SETBACKS:			
Front	25'-1"	25'-1"	25 feet
Rear	43'-9"	27'-6"	25 feet
Right Side (1st/2nd)	11'-9"	10'-0" / 21'-4"	10 feet / 17.5 feet
Left Side (1st/2nd)	10'	4'-11" / 20'-7"	20 feet / 17.5 feet
HEIGHT:	18'-6"	24'-10"	27 feet

SQUARE FOOTAGE BREAKDOWN	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: *include habitable basement area*	1,602 sq. ft.	1,382 sq. ft.	2,984 sq. ft.
NON-HABITABLE AREA: *Does not include covered porches or open structures*	400 sq. ft.	118.2 sq. ft.	518.2 sq. ft.

LOT CALCULATIONS			
NET LOT AREA:		10,013 sq ft	
FRONT YARD HARDSCAPE AREA: *Harscape area in the front yard setback shall not exceed 50%*	N/A	877 sqft	46%
LANDSCAPING BREAKDOWN:	otal hardscape area (existing and proposed Existing softscape (undisturbed area): Sum of all three should equal the site's net lot area		5,510 sq ft 4,503 sq ft 10,013 sq ft

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 (1)
PLANNING REVS. APR. 09, 2024 (2)

LICENSED ARCHITECT ANDREW S. BORLIK C-21679 REN. 4.30.25 STATE OF CALIFORNIA

Young & Borlik Architects
4962 EL CAMINO REAL, STE 218
LOS ALTOS, CALIFORNIA 94022
650-688-1950 | YBarchitects.com

Y&B

NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

CHECKED	DRAWN
JT	TP, JL

DATE OCT. 05. 2023

JOB # KURUGANTI - JOLLY

A0.1

SW 9541
White Snow
Interior / Exterior

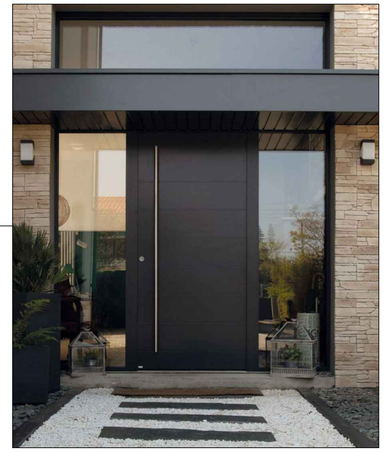
PROPOSED CEMENT PLASTER STUCCO FINISH PAINTED WHITE SNOW - SW 9541 BY SHERWIN-WILLIAMS OR EQUAL

PROPOSED EXTERIOR STONE FINISH - COTTONWOOD LIMESTONE OR EQUAL

Black
SR-25.00 E-.85 SRI-23

PROPOSED METAL SEAM ROOF - BLACK COLOR FROM CUSTOM BUILT METAL OR EQUAL. SEE SPEC ON SHEET A6.1

1



PROPOSED FRONT DOOR OR EQUAL

PROPOSED KOLBE VISTA LUX WINDOWS AND DOORS OR EQUAL. SEE SPEC ON SHEET A6.1

PROPOSED FRONT & REAR ELEVATION 3D RENDERING (FOR REFERENCE ONLY) w/ MATERIAL BOARD 1

ISSUE LOG
PLANNING SUBMITTAL
OCT. 23, 2023
PLANNING REVS.
MAR 01, 2024 1

LICENSED ARCHITECT ★ ERIC E. BORLIK ★ C-21675 ★ REN. 4.30.25 ★ STATE OF CALIFORNIA

Young & Borlik Architects
4962 EL CAMINO REAL, STE 218
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Y&B

NEW RESIDENCE :
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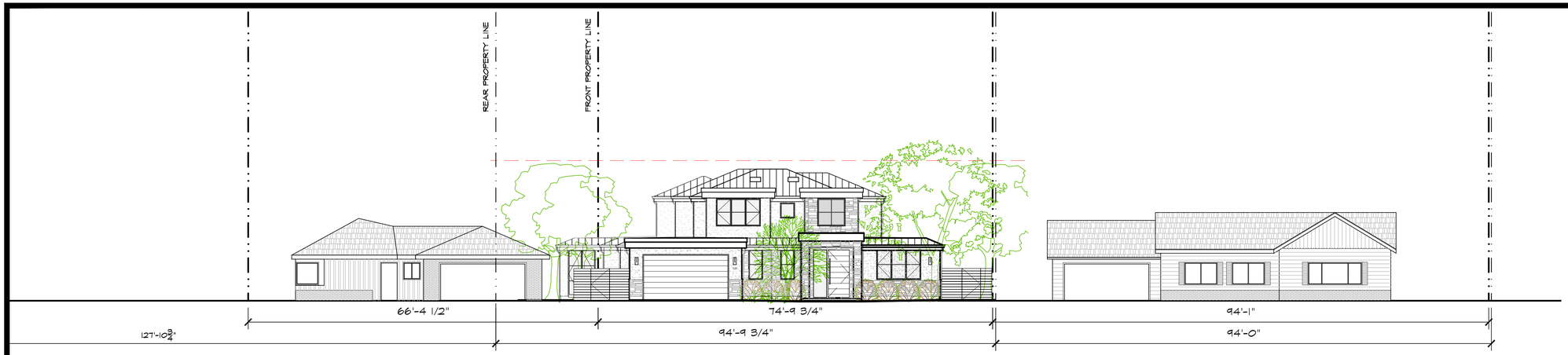
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

CHECKED	DRAWN
JT	TP, JL

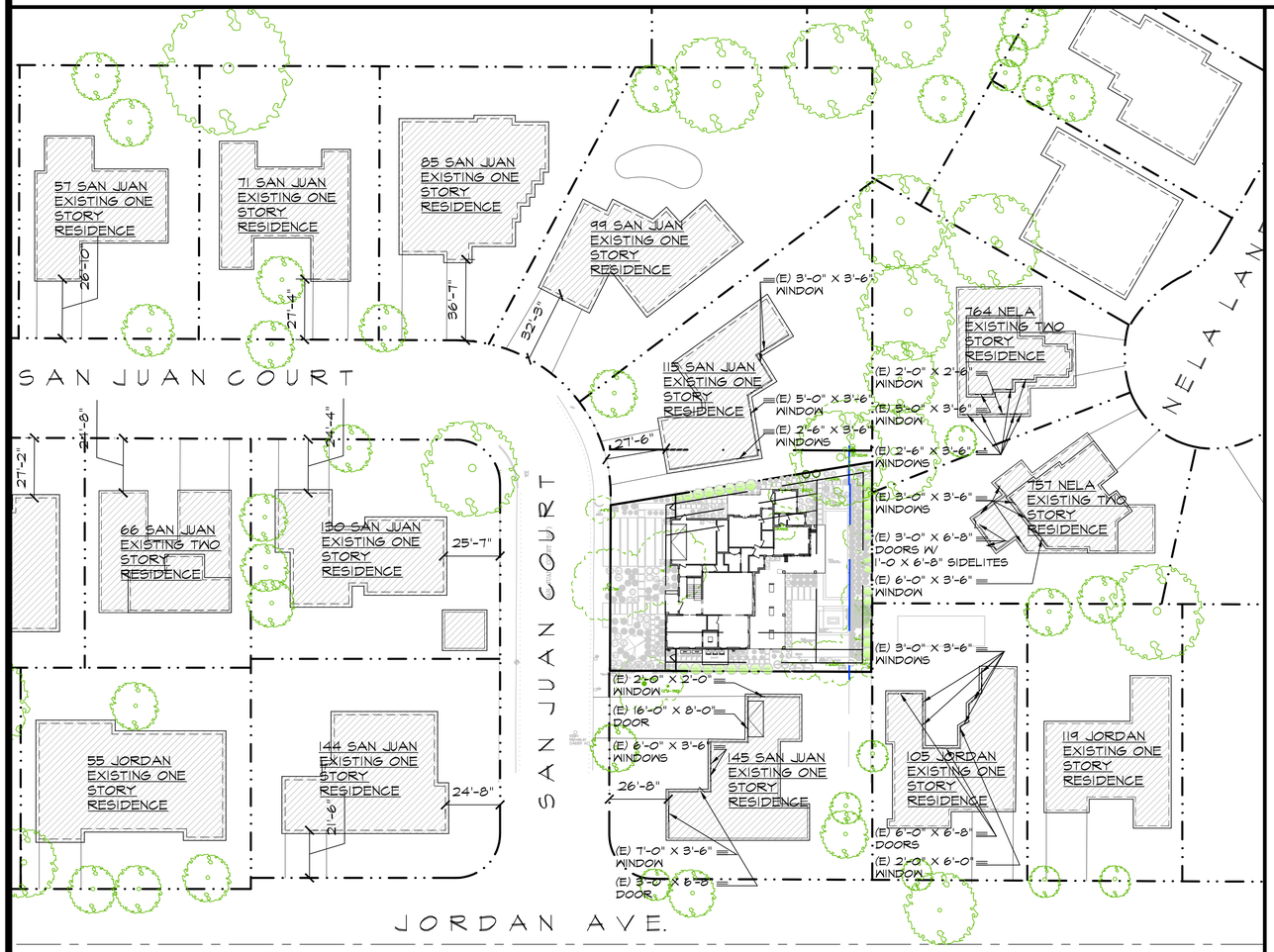
DATE: OCT. 05. 2023
JOB #: KURUGANTI - JOLLY

A0.1.1



CONTEXTUAL NEIGHBORHOOD FRONT ELEVATIONS

3/32" = 1'-0" | 3



NEIGHBORHOOD CONTEXT - SITE PLAN

1/32 " = 1'-0" | 1

115 SAN JUAN

145 SAN JUAN

130 SAN JUAN

144 SAN JUAN

99 SAN JUAN

85 SAN JUAN

NEIGHBORHOOD PHOTOS

N.T.S. | 1

ISSUE LOG

PLANNING SUBMITTAL	OCT. 23, 2023
PLANNING REVS.	MAR 01, 2024 / 1

LICENSED ARCHITECT ANDREW JAMES BORLIK C-21675 REN. 4.30.25 STATE OF CALIFORNIA

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Y&B

NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

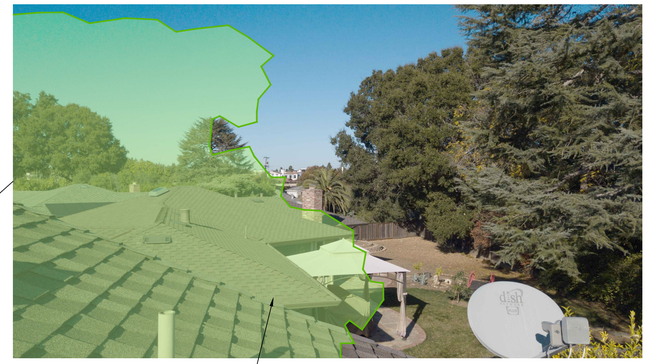
A.P.N. 170-33-039

CHECKED	DRAWN
JT	TP, JL

DATE: OCT. 05. 2023

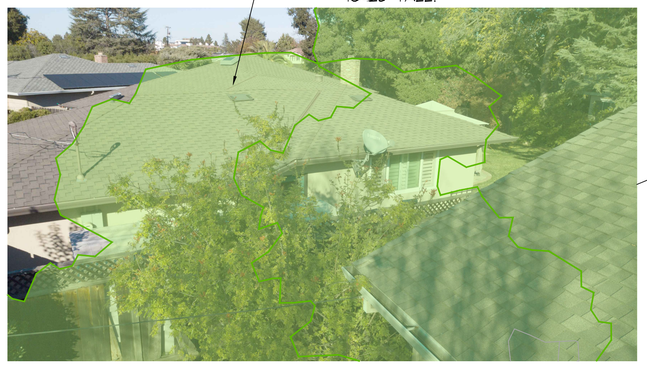
JOB #: KURUGANTI - JOLLY

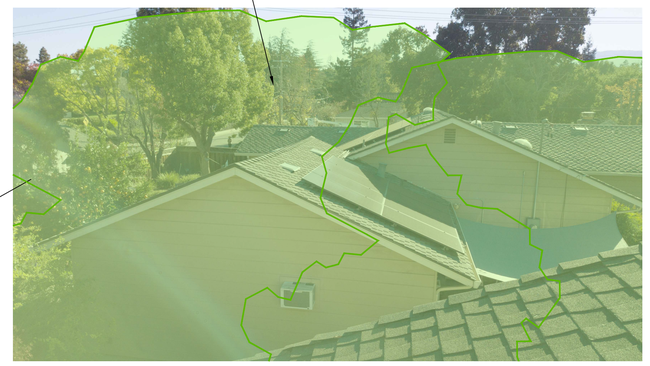
A0.3.1

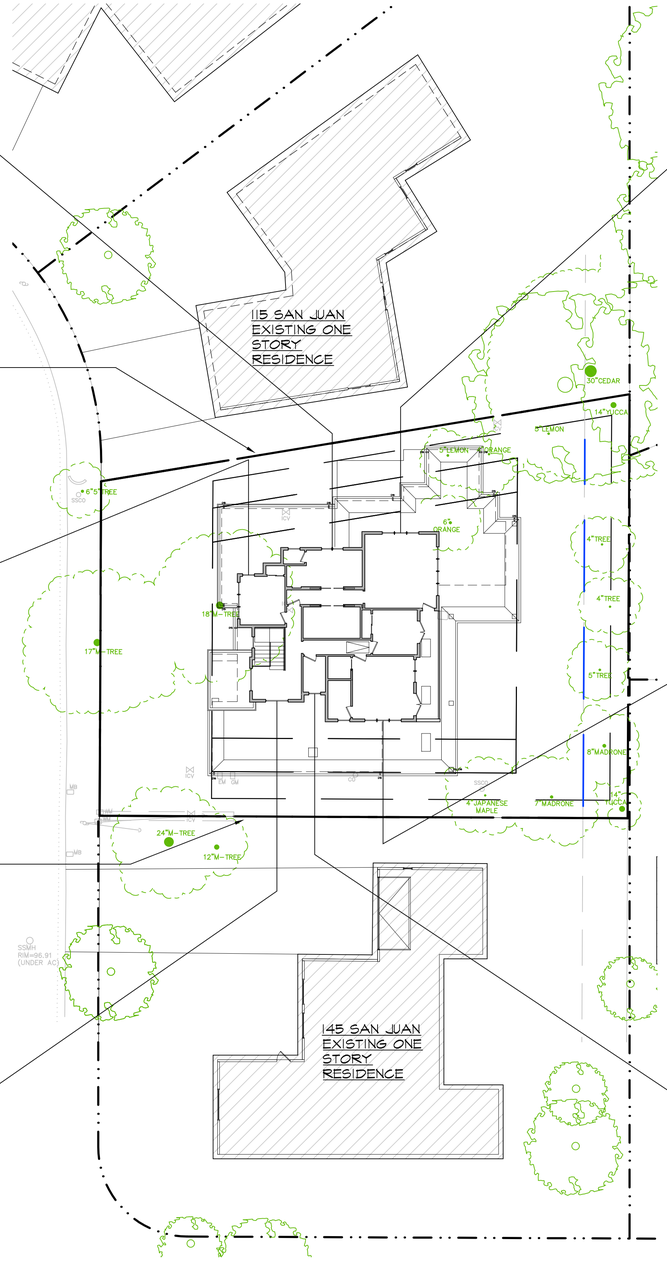


SCREENING SHADED

CAROLINA CHERRY LAUREL TREES LINED ALONG SIDES OF PROPERTY TO PROVIDE SCREENING. SEE LANDSCAPE PLANS. AT MATURITY, TREES WILL BE 10-25' TALL.







CARONLIA CHERRY LAUREL TREES LINED ALONG SIDES OF PROPERTY TO PROVIDE SCREENING. SEE LANDSCAPE PLANS. AT MATURITY, TREES WILL BE 10-25' TALL.

SCREENING SHADED

SECOND FLOOR PRIVACY STUDY WITH SCREENING

N.T.S. | 1

ISSUE LOG

PLANNING SUBMITTAL	OCT. 23, 2023
PLANNING REVS.	MAR 01, 2024 / 1

LICENSED ARCHITECT ANDREW S. BORLIK C-21675 REN. 4.30.25 STATE OF CALIFORNIA

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Y&B

NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

CHECKED	DRAWN
JT	TP, JL

DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A0.3.2 / 1

ARBORIST REPORT

Assignment

It was our assignment to physically inspect one crape myrtle on the property and assess the feasibility of removing it on a proposed demolition and rebuild site. We recommend removal due to poor structure, tree being well out of native range, and proximity to proposed new construction and lack of feasibility of retention.

Summary

There is one (1) protected Crape myrtle (*Lagerstroemia sp.*) that was deemed to merit removal due to poor structure, being well out of native range, and being under five (5) feet of proximity to proposed new construction, resulting in lack of feasible retention options. Please refer to the discussion section below for details.

Discussion

The tree was examined and then rated based on its individual health and structure according to the following table:

Rating	Health	Structure
Good	excellent/vigorous	flawless
Fair/good	no significant health concerns	very stable
Fair	showing initial or temporary disease, pests, or lack of vitality. measures should be taken to improve health and appearance.	routine maintenance needed such as pruning or end weight reduction as tree grows
Fair/poor	in decline, significant health issues	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
Poor	dead or near dead	hazard

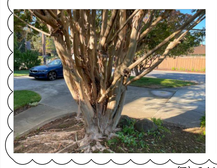
The tree is a crape myrtle (*Lagerstroemia* sp.) with a DBH of 61.5", height of approximately 32', and canopy spread of approximately 30'. This tree received a "fair" rating for health and a "fair/poor" rating for structure. All of its stems are codominant with weak attachments originating from a single point at or just above the base. While not hazardous at this time due to small diameter of the stems and fairly short fall distance of falling parts, this poor structure

would likely eventually result in failure, which will become increasingly hazardous as the tree increases in size.

The tree was given a health rating of "fair" due to moderate vigor, slight leaf chlorosis, and presence of sooty mold on inspection of the leaves.

Furthermore, this tree is well out of its native range of East Asia.

Finally, the proposed development is less than 5 feet from the trunk of this tree, and would likely result in serious impacts to or death of the tree. Options for retention would involve serious re-designs that are not financially feasible or reasonable.



ARBORIST REPORT

Local Regulations Governing Trees

As outlined in the City's Tree Protection Ordinance (LAMC Chapter 11.08), all trees, regardless of species, that are 48-inches or larger in circumference (approx. 15-inches in diameter) are protected and require a Tree Removal Permit before they can be removed.

PROTECTED TREES
The following list of trees are protected and require City approval before removal and/or significant pruning can occur:

- Any tree that is 48-inches (four feet) or greater in circumference when measured at 48-inches above the ground.
- Any tree designated by the Historical Commission as a Heritage Tree or any tree under official consideration by the Historical Commission for a Heritage Tree designation.
- Any tree which was required to be either saved or planted in conjunction with a development review approval (i.e. new two-story house).
- Any tree located within a public right-of-way.
- Any tree located on property zoned other than single-family residential.

TREE REMOVAL CRITERIA
In order to evaluate a tree removal permit, evidence is required to document at least one of the following situations exist:

ARBORIST REPORT

- The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.
- The necessity to remove the tree for economic or other enjoyment of the property.
- The topography of the land and the effect of the tree removal upon erosion, soil retention and the diversion or increased flow of surface waters.
- The number, species, size and location of existing trees in the area and the effect the removal would have upon shade, privacy impact, scenic beauty, property values and any established standards of the area.
- The number of healthy trees the property is able to support according to good forestry practices.
- The approximate age of the tree compared with average life span for that species.

EXISTING SITE PLAN

1/8" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 1

LICENSED ARCHITECT JOHN TYLER YOUNG C-21675 REN. 4-30-25 STATE OF CALIFORNIA

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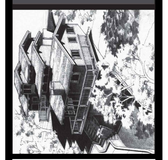
650-688-1950 | YBarchitects.com



NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

CHECKED	DRAWN
JT	TP, JL

DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A0.4

GENERAL NOTES:

ALL GRADING, EARTHWORK, FOUNDATION PREPARATION, AND DRAINAGE SUBJECT TO RECOMMENDATIONS IN THE SOILS REPORT BY ROMIG ENGINEERS (REPORT DATE JUNE 2, 2022.)

SEE GEOTECHNICAL INVESTIGATION REPORT BY "ROMIG ENGINEERS", DATED JUNE 2022, FOR SOILS CONDITIONS & ANALYSIS WITH RECOMMENDATIONS FOR SUBSURFACE PREPARATION, STRUCTURAL DESIGN, & DRAINAGE.

SOILS ENGINEER SHALL OBSERVE AND TEST GRADING INCLUDING SUB GRADE PREPARATION TO VERIFY THAT THE CONTRACTOR MEETS THE RECOMMENDED MATERIAL QUALITY, MOISTURE CONDITIONING, AND COMPACTION REQUIREMENTS. SOIL ENGINEER SHALL OBSERVE THE FOOTING EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING STEEL TO CONFIRM THAT THE FOUNDATIONS ARE FOUNDED IN UNDISTURBED, FIRM NATURAL SOILS AND AT THE MINIMUM DEPTH OR DEEPER.

SEE CIVIL DRAWINGS FOR ALL GRADING & DRAINAGE WORK, UTILITY CONNECTIONS & DETAILS. VERIFY ALL HARDSCAPE & SITE FINISH MATERIALS & SELECTIONS W/ OWNER PRIOR TO CONSTRUCTION. SEE LANDSCAPE PLANS FOR ALL NEW PLANTING & IRRIGATION SYSTEMS.

MAINTAIN MIN. 5% SLOPE AWAY FROM FOUNDATION AT LANDSCAPE AREAS, MIN. 2% SLOPE AWAY AT PAVED AREAS, WITHIN 5' OF STRUCTURE.

GENERAL NOTES:

SETBACK VERIFICATION WILL BE REQUIRED BY A LICENSED SURVEYOR OR CIVIL ENGINEER TO VERIFY THE LOCATION OF STRUCTURES ON THE PROPERTY AND DOCUMENTATION SHALL BE SUBMITTED TO THE CITY BUILDING DEPARTMENT PRIOR TO FOUNDATION INSPECTION.

VERIFY SEPARATE ENCROACHMENT PERMIT APPROVALS PER CITY FOR ANY WORK WITHIN THE RIGHT OF WAY.

SEE LANDSCAPE PLANS FOR ALL FINISHED SURFACES, PLANTING LAYOUTS & SELECTIONS, AND IRRIGATION DESIGN. VERIFY ALL HARDSCAPE & SITE FINISH MATERIALS & SELECTIONS W/ OWNER PRIOR TO CONSTRUCTION.

GENERAL NOTES:

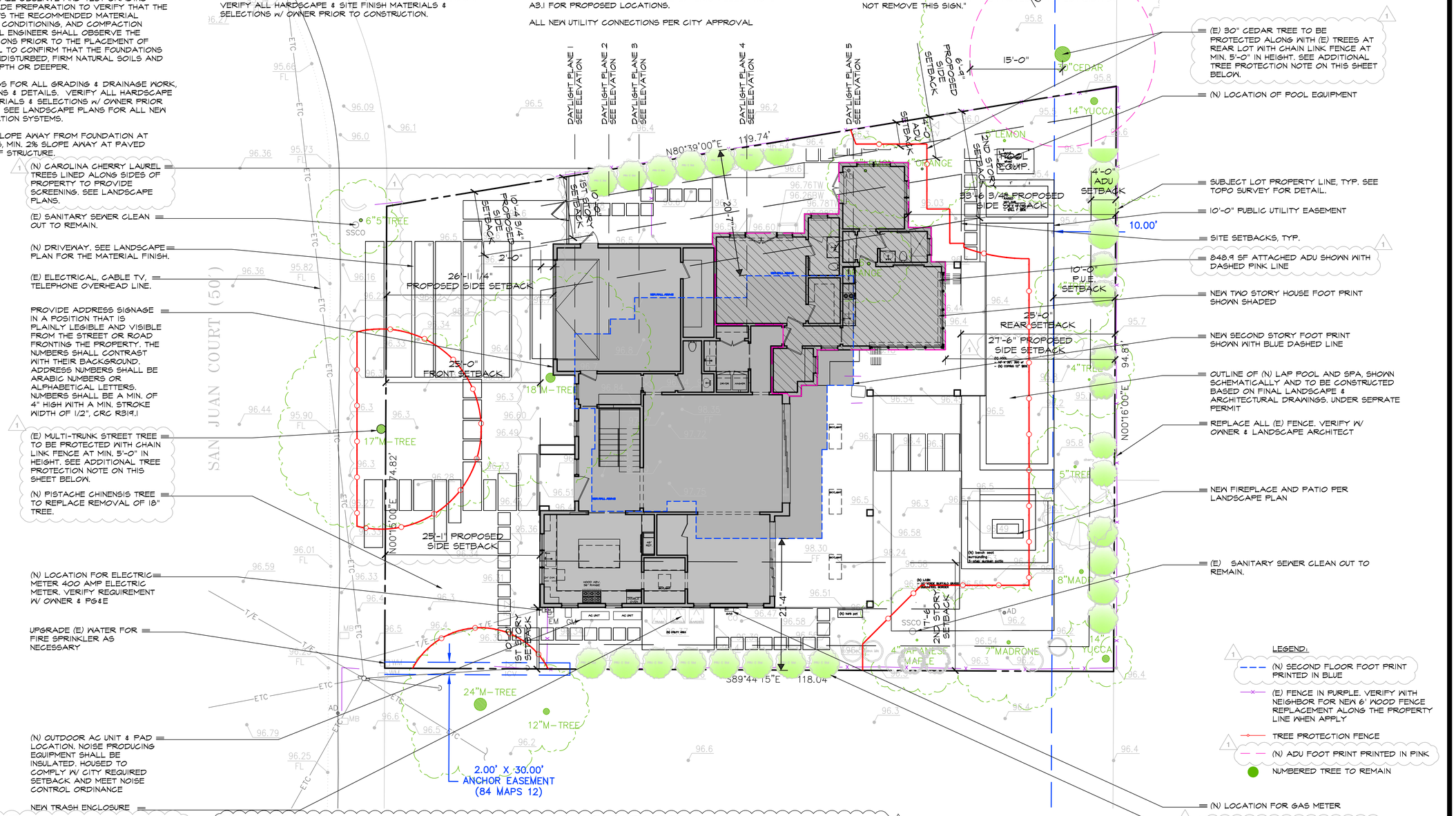
APPROVED ADDRESS NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBER OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4 INCHES HIGH WITH A MIN. STROKE WIDTH OF 1/2" WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC AY, A MONUMENT, POLE OR TOGETHER SIGNS OR MEAN SHALL BE USED TO IDENTIFY THE STRUCTURES. PER CRC R319. SEE EXTERIOR ELEVATIONS A3.1 FOR PROPOSED LOCATIONS.

ALL NEW UTILITY CONNECTIONS PER CITY APPROVAL

CRC SECTION 313.3.7
AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."

"ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS."

"ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED."



(N) CAROLINA CHERRY LAUREL TREES LINED ALONG SIDES OF PROPERTY TO PROVIDE SCREENING. SEE LANDSCAPE PLANS.

(E) SANITARY SEWER CLEAN OUT TO REMAIN.

(N) DRIVEWAY. SEE LANDSCAPE PLAN FOR THE MATERIAL FINISH.

(E) ELECTRICAL, CABLE TV, TELEPHONE OVERHEAD LINE.

PROVIDE ADDRESS SIGNAGE IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2", CRC R319.1

(E) MULTI-TRUNK STREET TREE TO BE PROTECTED WITH CHAIN LINK FENCE AT MIN. 5'-0" IN HEIGHT. SEE ADDITIONAL TREE PROTECTION NOTE ON THIS SHEET BELOW.

(N) PISTACHE CHINENSIS TREE TO REPLACE REMOVAL OF 18" TREE.

(N) LOCATION FOR ELECTRIC METER 400 AMP ELECTRIC METER. VERIFY REQUIREMENT W/ OWNER & PG&E

UPGRADE (E) WATER FOR FIRE SPRINKLER AS NECESSARY

(N) OUTDOOR AC UNIT & PAD LOCATION. NOISE PRODUCING EQUIPMENT SHALL BE INSULATED. HOUSED TO COMPLY W/ CITY REQUIRED SETBACK AND MEET NOISE CONTROL ORDINANCE

NEW TRASH ENCLOSURE

(N) CAROLINA CHERRY LAUREL TREES LINED ALONG SIDES OF PROPERTY TO PROVIDE SCREENING. SEE LANDSCAPE PLANS.

(E) 30" CEDAR TREE TO BE PROTECTED ALONG WITH (E) TREES AT REAR LOT WITH CHAIN LINK FENCE AT MIN. 5'-0" IN HEIGHT. SEE ADDITIONAL TREE PROTECTION NOTE ON THIS SHEET BELOW.

(N) LOCATION OF POOL EQUIPMENT

SUBJECT LOT PROPERTY LINE, TYP. SEE TOPO SURVEY FOR DETAIL.

10'-0" PUBLIC UTILITY EASEMENT

SITE SETBACKS, TYP.

848.9 SF ATTACHED ADU SHOWN WITH DASHED PINK LINE

NEW TWO STORY HOUSE FOOT PRINT SHOWN SHADED

NEW SECOND STORY FOOT PRINT SHOWN WITH BLUE DASHED LINE

OUTLINE OF (N) LAP POOL AND SPA, SHOWN SCHEMATICALLY AND TO BE CONSTRUCTED BASED ON FINAL LANDSCAPE & ARCHITECTURAL DRAWINGS. UNDER SEPRATE PERMIT

REPLACE ALL (E) FENCE. VERIFY W/ OWNER & LANDSCAPE ARCHITECT

NEW FIREPLACE AND PATIO PER LANDSCAPE PLAN

(E) SANITARY SEWER CLEAN OUT TO REMAIN.

(N) LOCATION FOR GAS METER

LEGEND:

(N) SECOND FLOOR FOOT PRINT PRINTED IN BLUE

(E) FENCE IN PURPLE. VERIFY WITH NEIGHBOR FOR NEW 6' WOOD FENCE REPLACEMENT ALONG THE PROPERTY LINE WHEN APPLY

TREE PROTECTION FENCE

(N) ADU FOOT PRINT PRINTED IN PINK

NUMBERED TREE TO REMAIN

1 TREE PROTECTION NOTE:

THE TREE PROTECTION FENCING SHOULD BE PLACED AT THE DRIPLINES OF ALL TREES TO BE PRESERVED ON-SITE AND OFF-SITE OR NO LESS THAN 2/3'S OF THE DRIPLINE AREA IF PROTECTING THE COMPLETE DRIPLINE AREA IS NOT POSSIBLE. THE TREE PROTECTION FENCING SHALL BE A MINIMUM OF 5 FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.

FIRE DEPARTMENT NOTES:

CONSTRUCTION SITE FIRE SAFETY:

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

2 FIRE DEPARTMENT NOTES CONT'D:

WATER SUPPLY REQUIREMENTS:

POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

N

0' 1' 2' 5' 10'

PROPOSED SITE PLAN

1/8" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 / 1
PLANNING REVS. APR. 09, 2024 / 2

LICENSED ARCHITECT JOHN TSUNG-HSIEN YOUNG C-21679 REN. 4.30.2025 STATE OF CALIFORNIA

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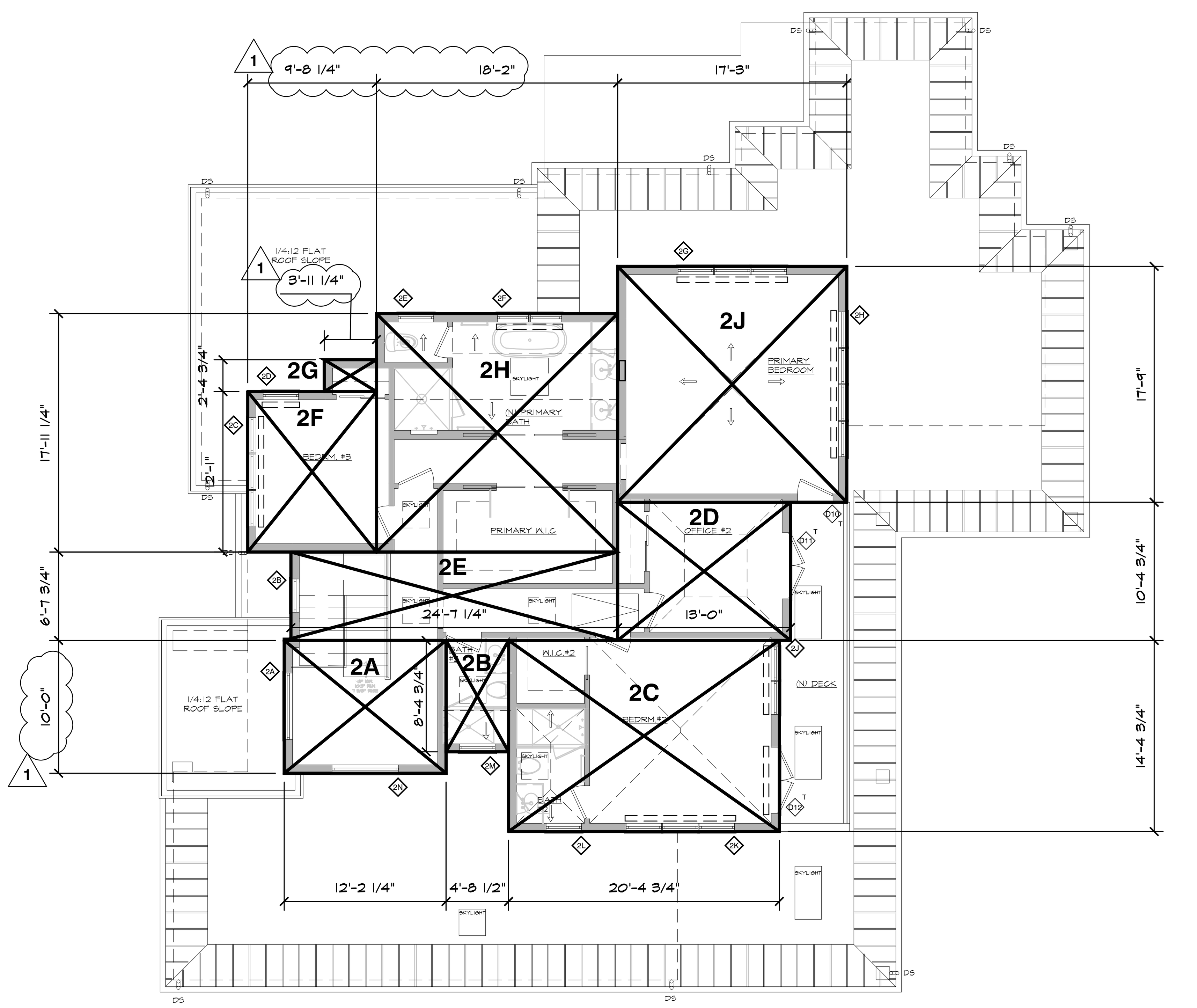
JT	TP, JL

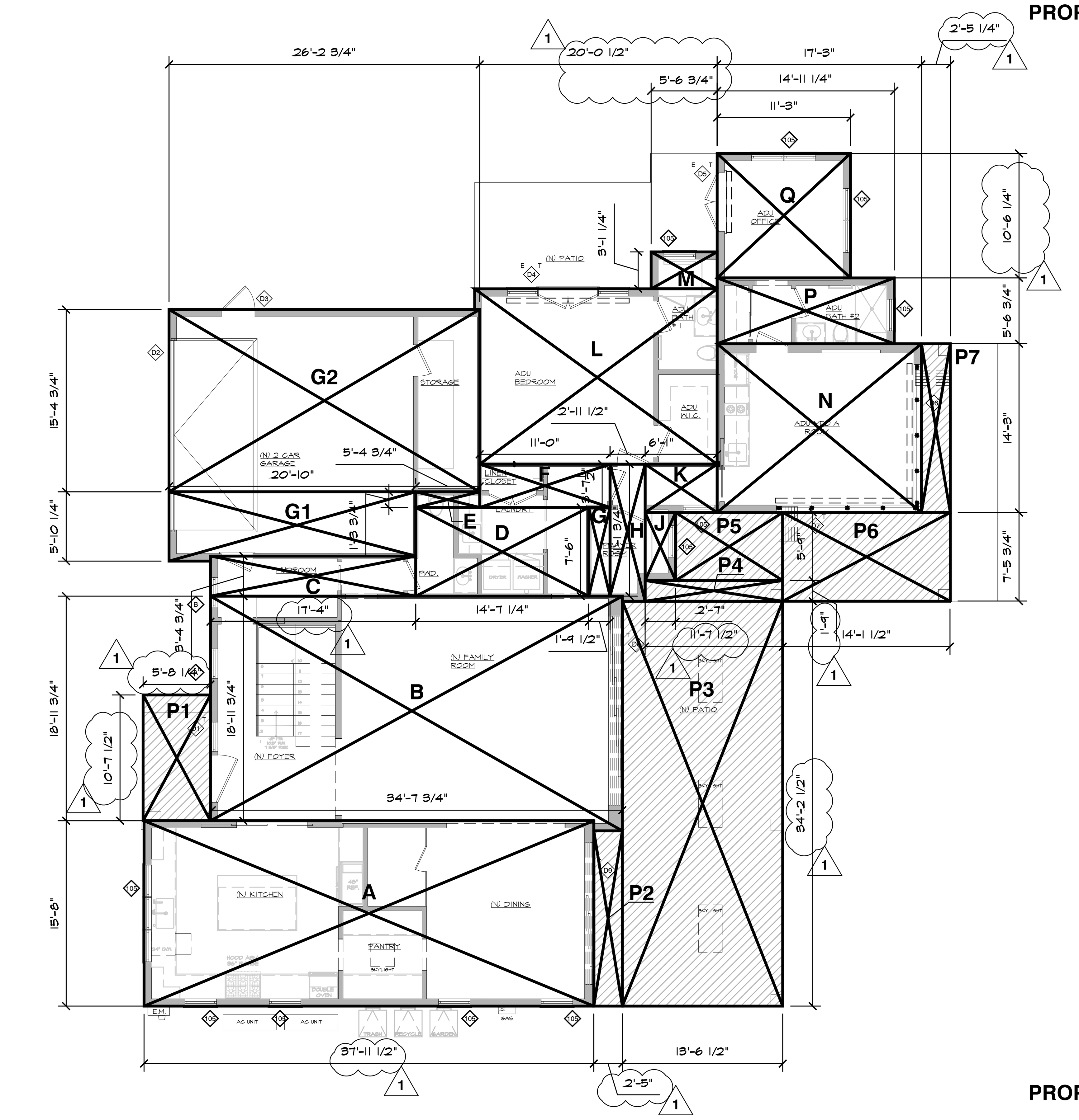
DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A0.5



PROPOSED SECOND FLOOR



PROPOSED FIRST FLOOR

AREA CALCULATIONS

1/8" = 1'-0" | 1

CALCULATIONS		
PROPOSED FIRST FLOOR CALCULATIONS (CONDITIONED)		
BOX	Area (SF)	NOTES
A	594.6	
B	661.6	
C	58.8	
D	109.5	
E	7.1	
F	40.1	
G	13.4 ADU	
H	33.8 ADU	
J	14.8 ADU	
K	24.8 ADU	
L	297.8 ADU	
M	17.3 ADU	
N	245.6 ADU	
P	83.1 ADU	
Q	118.3 ADU	
TOTAL PROPOSED ADU	848.9	
PROPOSED MAIN HOUSE FIRST FLOOR CONDITIONED AREA	1471.7	
PROPOSED GARAGE		
BOX	Area (SF)	NOTES
G1	114.3	
G2	403.9	
PROPOSED MAIN HOUSE GARAGE	518.2	
PROPOSED MAIN HOUSE FIRST FLOOR AREA (SF)	1,989.9	
PROPOSED COVERED PATIO		
BOX	Area (SF)	NOTES
P1	60.3	
P2	35.7	
P3	463.1	
P4	20.3	
P5	52.0	
P6	106.0	
P7	34.8	
PROPOSED COVERED PORCH FLOOR AREA (SF)	772.2	
PROPOSED SECOND FLOOR CALCULATIONS (CONDITIONED)		
BOX	Area (SF)	NOTES
2A	121.9	
2B	39.5	
2C	293.5	
2D	135.2	
2E	163.6	
2F	117.1	
2G	9.4	
2H	326.0	
2J	306.1	
PROPOSED MAIN HOUSE SECOND FLOOR CONDITIONED AREA (SF)	1,512.3	
TOTAL PROPOSED ADU SQUARE FOOTAGE	848.9	
TOTAL PROPOSED MAIN HOUSE SQUARE FOOTAGE	3,502.2	< 3,504.5 SF MAX
TOTAL PROPOSED LOT COVERAGE (SF)	3,611.0	<3,504.5 SF MAX ALLOWABLE + 850 SF ADU

LEGEND

COVERED PORCH OR LIGHTWELL

0' 2' 5' 10' 20'

N

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023

PLANNING REVS. MAR 01, 2024 1

LICENSED ARCHITECT ERNLE ANDREW YOUNG C-21679 REN. 4-30-25 STATE OF CALIFORNIA

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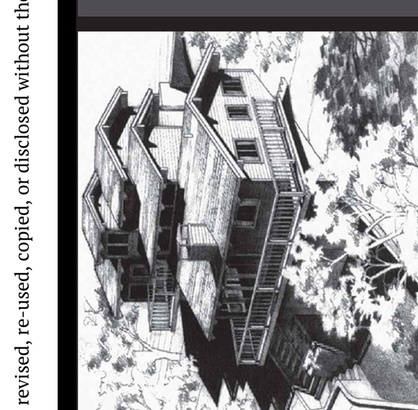

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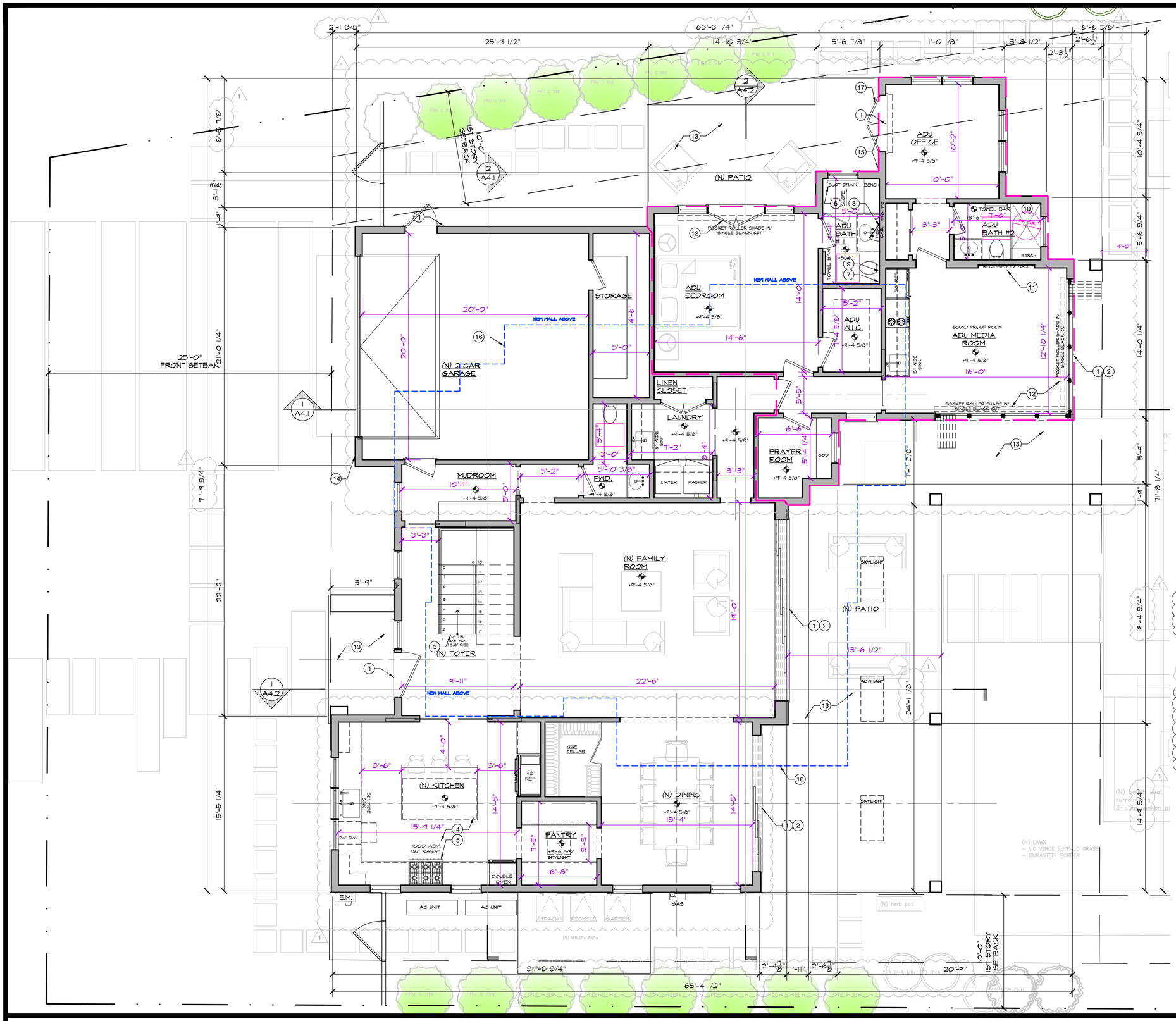
JOB # KURUGANTI - JOLLY	

A0.6



KEYNOTES

1. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL, WITH A MAXIMUM 1/4" PER FOOT SLOPE. LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD, EXCEPT, WHEN PROVIDING THE DOOR DOES NOT NOT SWING OVER THE LANDING OR FLOOR, A 7-3/4" ELEVATION CHANGE FROM THE TOP OF THE THRESHOLD IS PERMITTED. R311.3. THERE SHALL BE 1/4" SLOPE AWAY FROM THE BUILDING AT ALL PORCHES AND FLATWORK.

2. FLEETWOOD SLIDING DOOR SYSTEM AT DINING, LIVING ROOM AND ADU MEDIA ROOM. VERIFY WITH OWNER PRIOR TO ORDER

3. CUSTOM GLASS RAILING AND WOOD STAIR. VERIFY MANUFACTURE AND DESIGN WITH INTERIOR DESIGNER, ARCHITECT AND OWNER

4. (N) KITCHEN CABINETS, COUNTERS, APPLIANCES, ACCESSORIES & FINISHES PER OWNER, TYPICAL, PROVIDE SHOP DRAWINGS FOR APPROVAL. PROVIDE APPLIANCE DIMENSIONS, SPECIFICATIONS, CUT-OUTS, ELECTRICAL & GAS REQUIREMENTS, ETC. TO FRAMERS & CABINET MAKERS PRIOR TO CONSTRUCTION. PROVIDE BUILT-IN RECYCLING CENTER NEXT TO TRASH COMPACTOR.

5. 36" ELECTRIC RANGE AND WALL HOOD. KITCHEN EXHAUST FAN SHALL BE MIN. 100CFM, WITH A MIN. 5" SMOOTH DUCT, NO LONGER THAN 85' OF DUCT RUN. SUBTRACT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW. PROPOSE EXHAUST DUCT TERMINATED AT WALL. PROVIDE BACKDRAFT DAMPER ON KITCHEN RANGE HOOD. VERIFY SELECTION WITH OWNER AND INTERIOR DESIGNER

6. CURBLESS SHOWER AND INFINITE DRAIN IN ADU BATH #1. VERIFY INTERIOR DESIGNER, OWNER AND ARCHITECT. SEE STRUCTURAL FOR THE FRAMING SIZES.

7. PROVIDE DRAIN NEAR TOILET TO ACCOMMODATE BIDET. VERIFY INTERIOR DESIGNER, OWNER AND ARCHITECT. SEE STRUCTURAL FOR THE FRAMING SIZES.

8. PROVIDE MEDICINE CABINET AT ADU BATH #1

9. PROVIDE WALL MOUNTED BATHROOM TOILET.

10. CURB SHOWER IN ADU BATH #2.

11. PROVIDE RECESSED TV WALL IN MEDIA ROOM. VERIFY TV SIZE AND DESIGN WITH OWNER, INTERIOR DESIGNER AND ARCHITECT PRIOR TO CONSTRUCTION

12. ROLLER POCKET SHADE W/ SINGLE BLACK OUT IN ADU BEDROOM AND MEDIA ROOM. VERIFY MANUFACTURE AND SELECTION WITH OWNER AND INTERIOR DESIGNER.

13. ALL FLATWORK TO SLOPE 1/4" PER 1'-0" TO DRAIN. VERIFY WITH CONTRACTOR IN FIELD.

14. PROVIDE ADDRESS SIGN IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2". CRC R319.1.

15. MAGENTA LINE OF REQUIRED 1-HOUR FIRE & SOUND RATED SEPARATION ASSEMBLY BETWEEN A.D.U. & MAIN HOUSE SHOWN DASHED. PROVIDE INTER-CONNECTED SMOKE DETECTORS BETWEEN MAIN HOUSE AND ATTACHED A.D.U. REFER TO DETAIL A8.1 FOR SPECIFICATIONS.

16. FLOOR LINE ABOVE - BLUE DASHED MEASURED TO FINISH

17. ADU REQUIRED EGRESS DOORS TO HAVE KEYPAD-LOCKSET.

18. DOORS WHERE ADU CONNECTS TO PRIMARY RESIDENCE SHALL BE DUAL LOCKING AND LOCKABLE FROM THE INSIDE AND OUTSIDE. THE ADU AND MAIN RESIDENCE SHALL BE A 45-MINUTE FIRE-RATED DOOR.

19. PENETRATIONS AT THE FIRE-RESISTANCE RATED ASSEMBLIES SHALL COMPLY WITH CRC R302.4.

20. PROVIDE SINK, RANGE, PREP COUNTER AND STORAGE FOR ADU. VERIFY SELECTION WITH OWNER & INTERIOR DESIGNER.

KEY TO SYMBOLS:

- PROPOSED WALL
- (11) FLOOR PLAN KEY NOTES
- (A) E/T WINDOW UNIT SYMBOL, SEE SHEET A9.1 "E" FOR EGRESS "T" FOR TEMPERED
- (1) DOOR UNIT SYMBOL, SEE SHEET A9.1

0' 1' 2' 5' 10'

PROPOSED FIRST FLOOR PLAN — 1/4" = 1'-0" — 1

ISSUE LOG

PLANNING SUBMITTAL	OCT. 23, 2023
PLANNING REVS.	MAR 01, 2024 / 1
PLANNING REVS.	APR. 09, 2024 / 2

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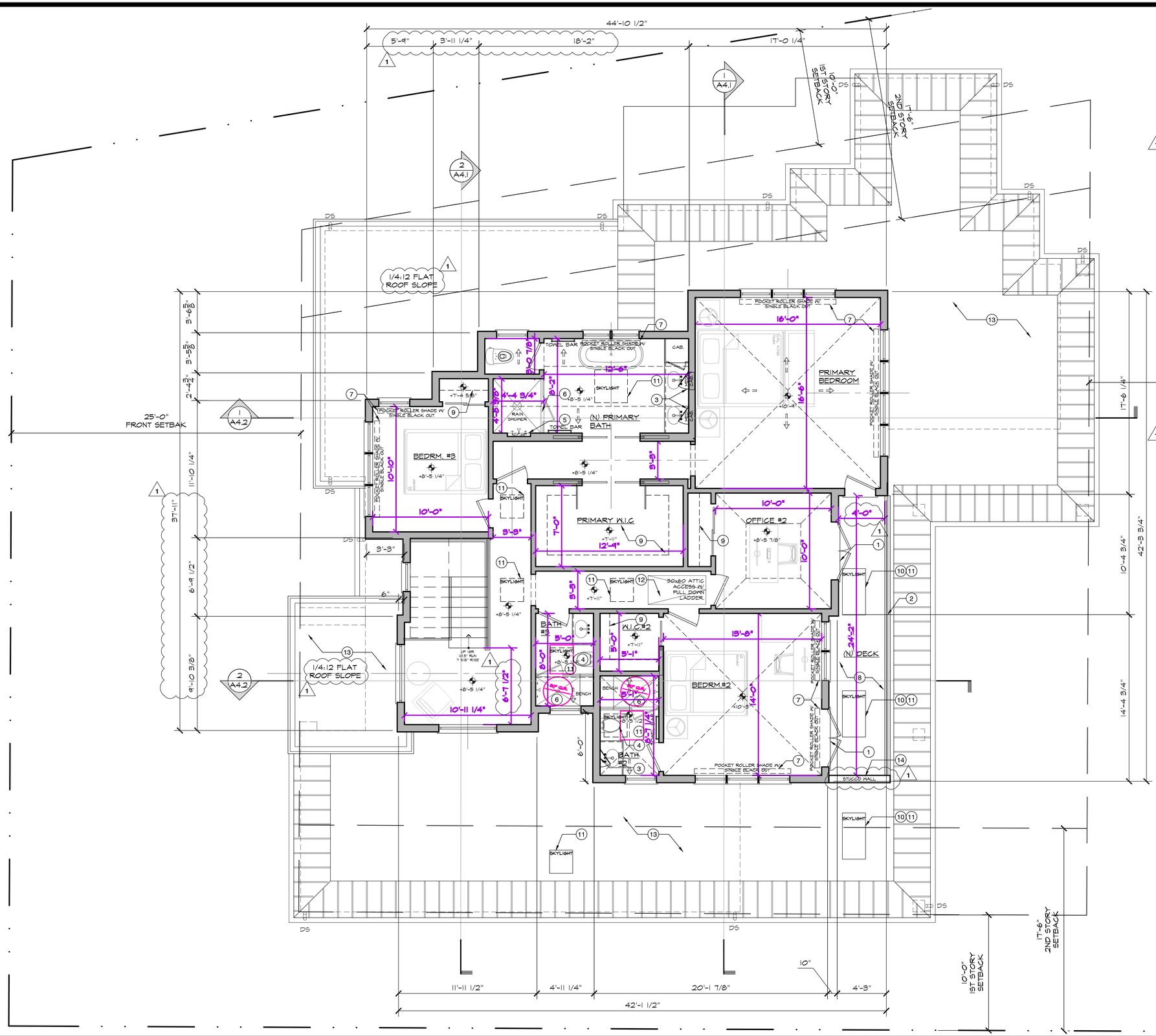
A2.1.1



KEYNOTES

1. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL, WITH A MAXIMUM 1/4" PER FOOT SLOPE. LANDING OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD, EXCEPT, WHEN PROVIDING THE DOOR DOES NOT NOT SWING OVER THE LANDING OR FLOOR, A 7-3/4" ELEVATION CHANGE FROM THE TOP OF THE THRESHOLD IS PERMITTED. R311.3. THERE SHALL BE 1/4" SLOPE AWAY FROM THE BUILDING AT ALL PORCHES AND FLATWORK.

1 2. GLASS RAILING AT REAR SIDE OF (N) DECK. VERIFY MANUFACTURE AND DESIGN WITH INTERIOR DESIGNER, ARCHITECT AND OWNER.

3. PROVIDE MEDICINE CABINETS AT PRIMARY BATH.

4. PROVIDE WALL MOUNTED BATHROOM TOILET.

5. PROVIDE NICHE IN PRIMARY BATHROOM. VERIFY SIZE AND DESIGN WITH OWNER, INTERIOR DESIGNER, AND ARCHITECT PRIOR TO CONSTRUCTION

6. CURB SHOWER IN PRIMARY BATH, BATH #2, AND BATH #3.

7. ROLLER POCKET SHADE W/ SINGLE BLACK OUT IN PRIMARY BEDROOM, PRIMARY BATH, BEDRM. #2, AND BEDRM. #3. VERIFY MANUFACTURE AND SELECTION WITH OWNER AND INTERIOR DESIGNER.

8. ALL FLATWORK TO SLOPE 1/4" PER 1'-0" TO DRAIN. VERIFY WITH CONTRACTOR IN FIELD.

9. PROVIDE CLOSET POLE AND SHELF AS SHOWN. VERIFY W/ OWNER AND INTERIOR DESIGNER FOR SELECTION.

10. (N) WALKABOUT SKYLIGHTS AT (N) DECK. VERIFY SIZE AND SELECTION WITH OWNER AND ARCHITECT.

11. (N) SKYLIGHTS. SEE ROOF PLAN.

12. (N) ATTIC ACCESS. VERIFY DOOR SIZE AND SELECTION WITH OWNER AND ARCHITECT.

13. FLAT ROOF SLOPE - 1/4" PER 12".

1 14. (N) 5'-0 STUCCO WALL AT SIDE OF (N) DECK FOR PRIVACY.

KEY TO SYMBOLS:

- PROPOSED WALL
- (11) FLOOR PLAN KEY NOTES
- (A) E/T WINDOW UNIT SYMBOL, SEE SHEET A9.1 "E" FOR EGRESS "T" FOR TEMPERED
- (1) DOOR UNIT SYMBOL, SEE SHEET A9.1

0' 1' 2' 5' 10'

PROPOSED SECOND FLOOR PLAN — 1/4" = 1'-0" — 1

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 / 1

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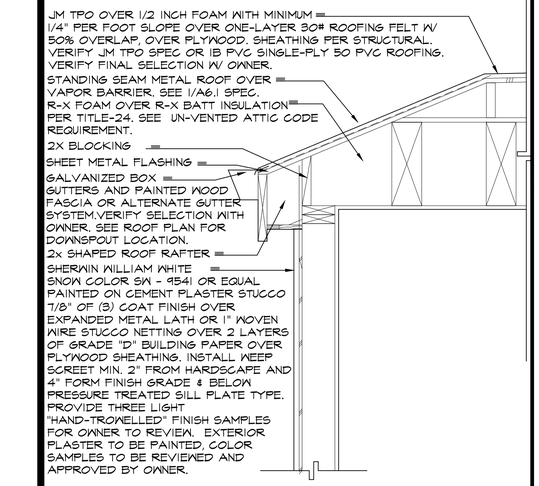
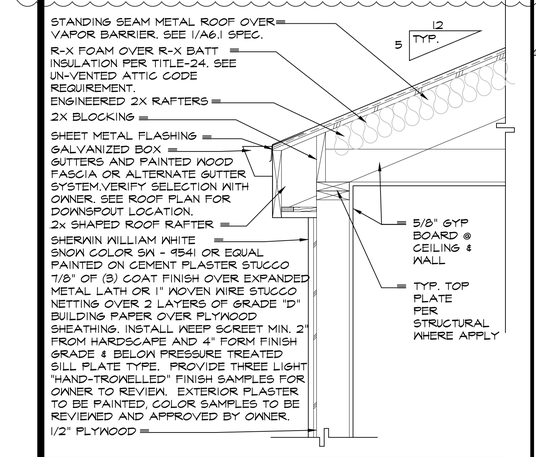
DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

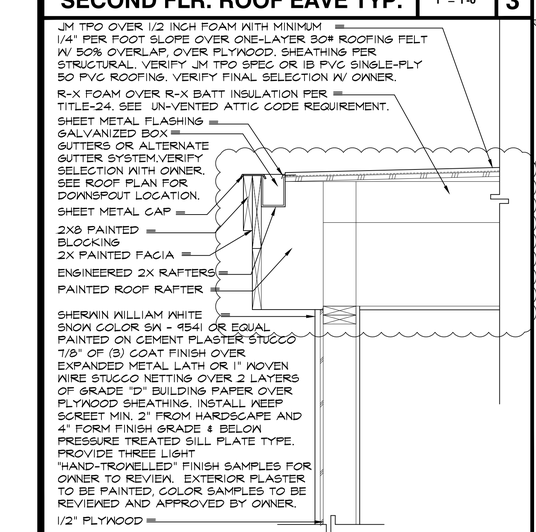
A2.2.1



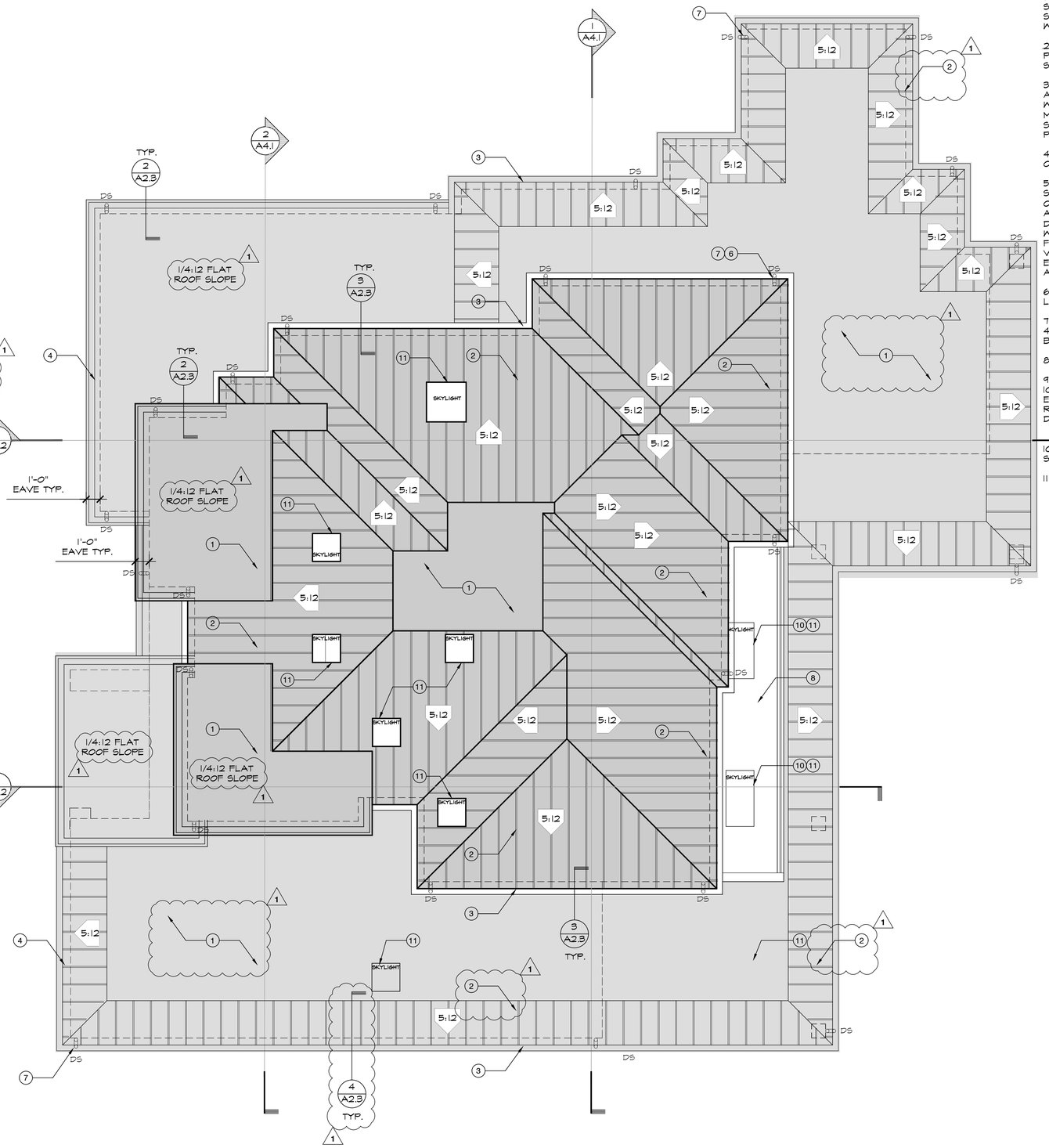
FIRST FLR. ROOF EAVE TYP. | 1" = 1'-0" | 4



SECOND FLR. ROOF EAVE TYP. | 1" = 1'-0" | 3



FLAT ROOF EAVE TYP. | 1" = 1'-0" | 2



ROOF PLAN | 1/4" = 1'-0" | 1

KEYNOTES:

1. JM TPO OVER 1/2 INCH FOAM WITH MINIMUM 1/4" PER FOOT SLOPE OVER ONE-LAYER 30# ROOFING FELT W/ 50% OVERLAP, OVER PLYWOOD. SHEATHING PER STRUCTURAL. SEE JM TPO SPEC CUT SHEETS OR IB PVC SINGLE-PLY 50 PVC ROOFING. VERIFY FINAL SELECTION W/ OWNER.

2. STANDING SEAM METAL ROOF OVER 30# FELT OVER PLYWOOD SHEATHING OVER 2X ROOF RAFTER PER STRUCTURAL.

3. BOX GUTTERS W/ GUTTER GUARD TO PREVENT ACCUMULATION OF LEAVES & DEBRIS, VERIFY SELECTION W/ OWNER. GUTTERS ARE TO BE OF NON-COMBUSTIBLE MATERIAL (I.E. SHEET METAL) WITH RAL DISCHARGE TO SUB-DRAIN TIGHT LINE OR TO SPLASH CONCRETE BLOCK PER CIVIL.

4. NO PLUMBING OR FURNACE VENTS AT FRONT ELEVATION OF HOUSE.

5. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 10 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH, AND UTILITY FANS, ETC. MUST BE 10 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). WHERE SPACE LIMITATION ABSOLUTELY PREVENTS A 10 FEET HORIZONTAL SEPARATION FROM AN AIR INTAKE, A VERTICAL SEPARATION SHALL BE PERMITTED, WITH THE EXHAUST OUTLET BEING A MINIMUM OF 3 FEET ABOVE ANY AIR INTAKE LOCATED WITHIN TEN FEET HORIZONTAL

6. RAIN WATER LEADER AT UPPER ROOF DISCHARGE TO LOWER ROOF, TYP.

7. RAIN WATER LEADER AT LOWER ROOF DISCHARGE TO 4" PVC SUBDRAIN TIGHTLINE OR CONCRETE SPLASH BLOCK PER CIVIL PLANS.

8. BALCONY AT SECOND FLOOR W/ PEDESTAL SYSTEM.

9. SANITARY SEWER VENTS SHALL TERMINATE AT LEAST 10'-0" AWAY FROM, OR AT LEAST 3' ABOVE ANY ENVIRONMENTAL AIR DUCTS OR OPERABLE SKYLIGHTS. REVIEW MEP PLANS FOR SUGGESTED ENVIRONMENTAL AIR DUCTS TERMINATION LOCATION.

10. WALKABOUT SKYLIGHTS AT (N) DECK. VERIFY SIZE AND SELECTION WITH OWNER AND ARCHITECT.

11. (N) SKYLIGHTS.

0' 1' 2' 5' 10'

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
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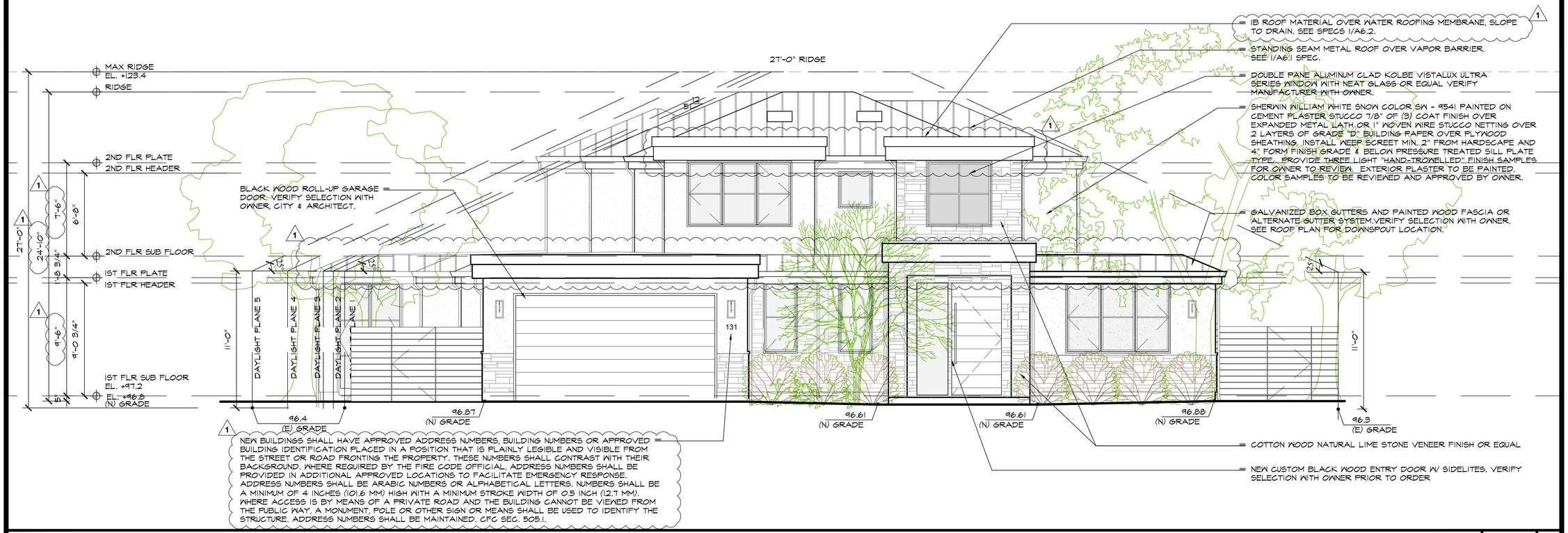
DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A2.3



PROPOSED FRONT ELEVATION

1/4" = 1'-0" | 2

PROPOSED REAR ELEVATION

1/4" = 1'-0" | 1

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A.P.N. 170-33-039

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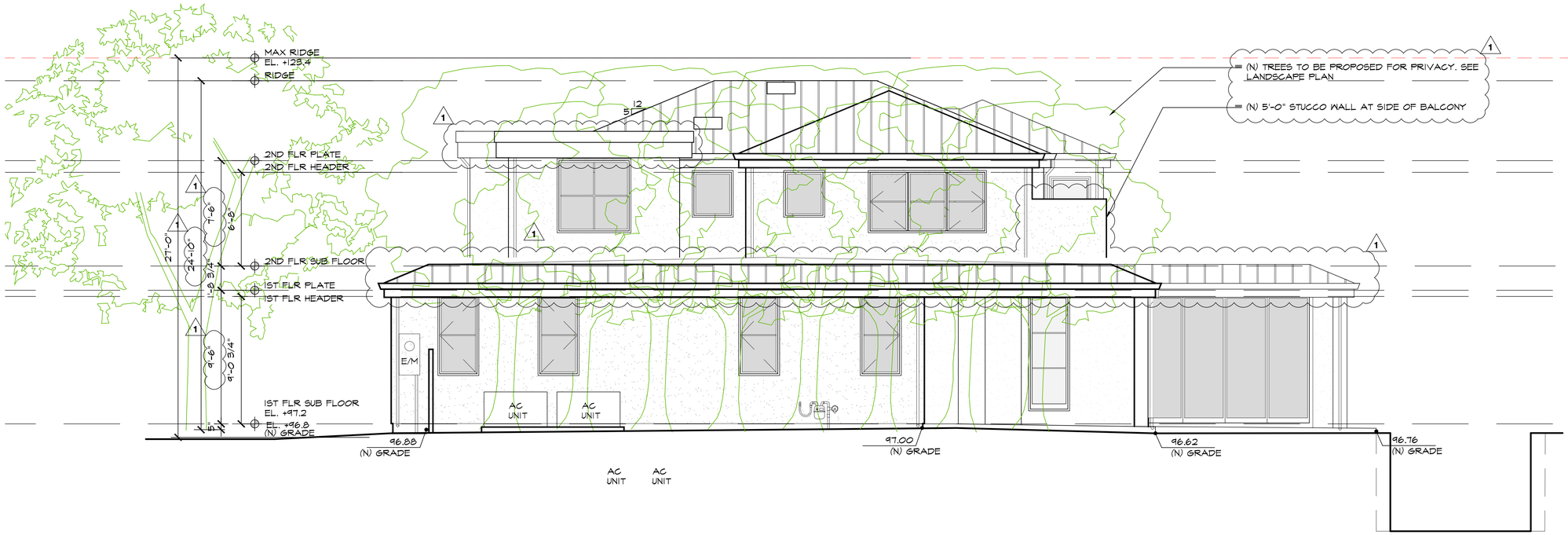
JT	TP, JL

DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A3.1



PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0" | 2

SEE MATERIAL NOTES ON SHEET 2/A3.1

PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 1

LICENSED ARCHITECT ANDREW BORLIK C-21678 REN. 4.30.25 STATE OF CALIFORNIA

Young & Borlik Architects
4962 EL CAMINO REAL, STE 218
LOS ALTOS, CALIFORNIA 94022
650-688-1950 | YBarchitects.com

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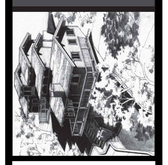

NEW RESIDENCE :
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131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

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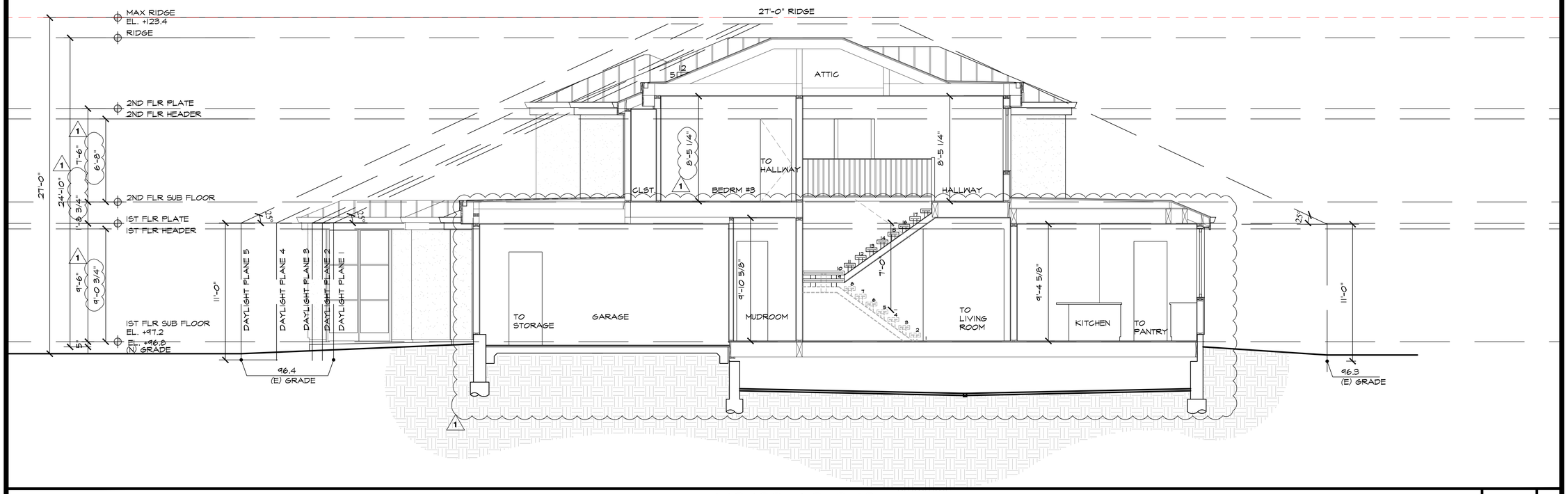
DATE: OCT. 05. 2023

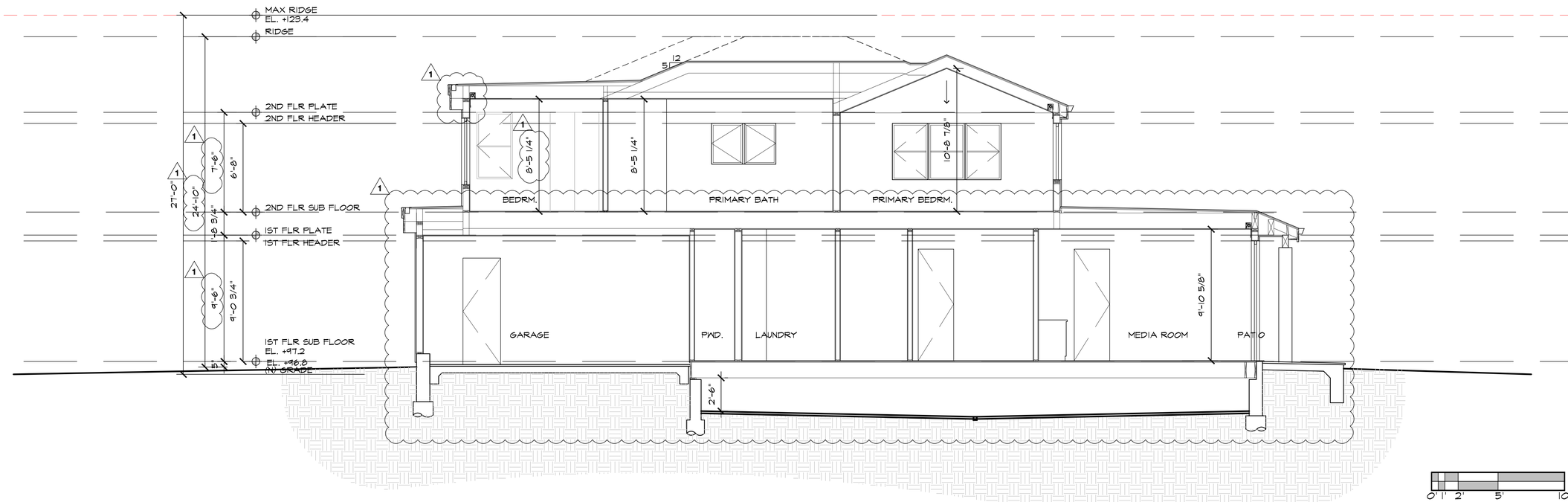
JOB #: KURUGANTI - JOLLY

A3.2



PROPOSED SECTION

1/4" = 1'-0" | 2



PROPOSED SECTION

1/4" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL	OCT. 23, 2023
PLANNING REVS.	MAR 01, 2024 / 1

LICENSED ARCHITECT ★ CALIFORNIA ★ ANDREW YOUNG ★ C-21675 ★ REN. 4.30.25 ★ STATE OF CALIFORNIA

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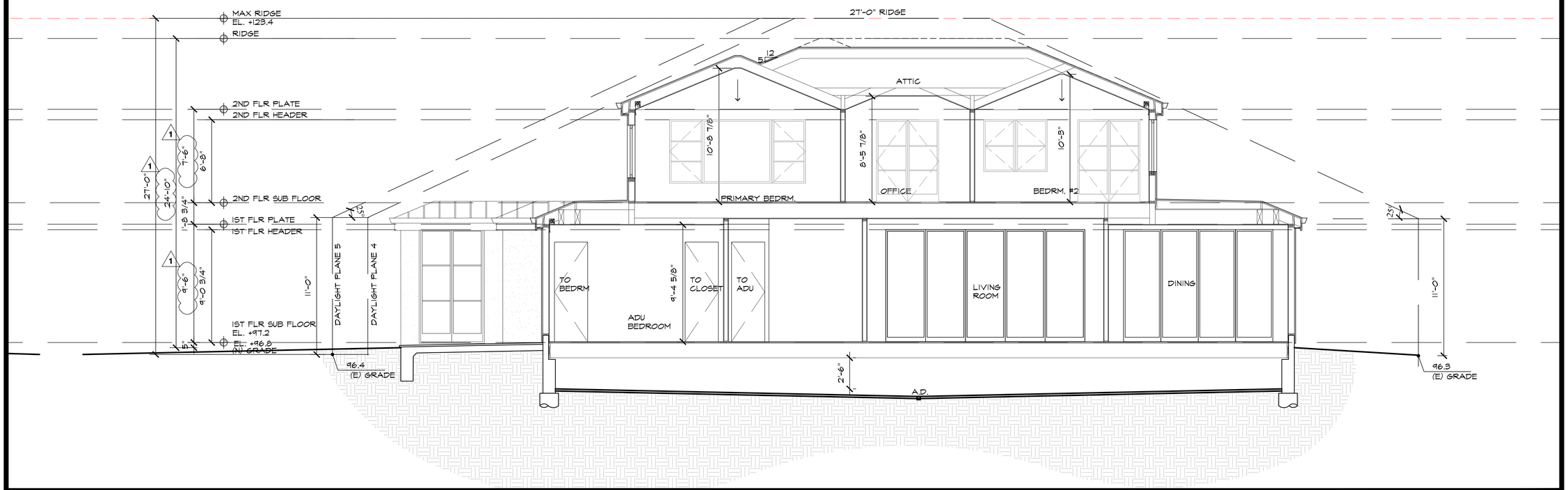
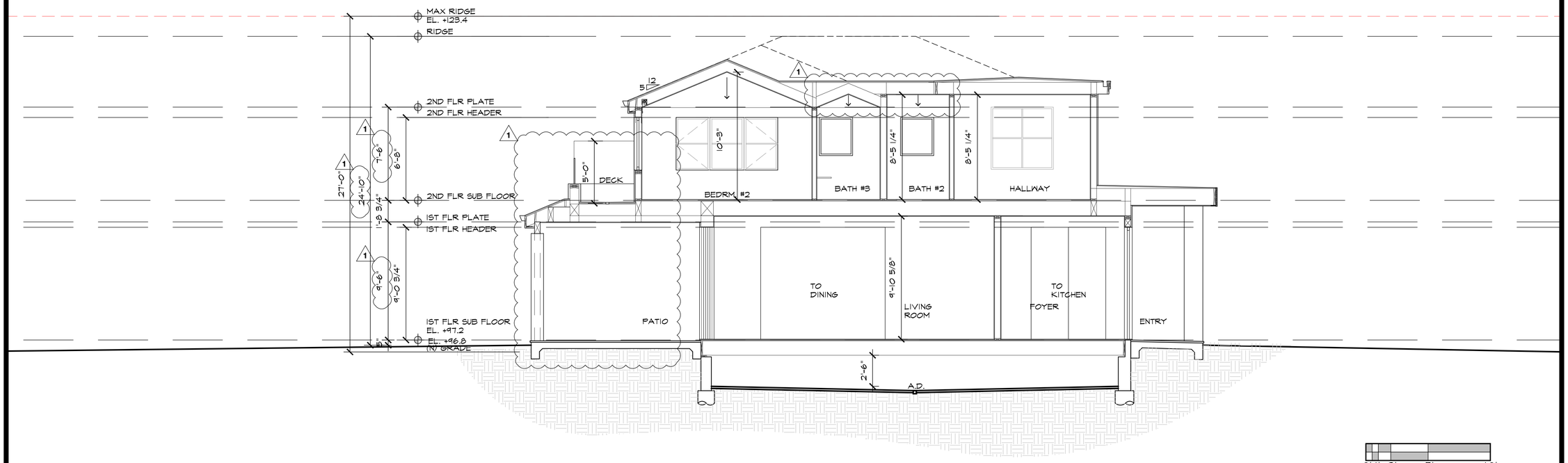
A4.1



PROPOSED SECTION

1/4" = 1'-0" | 2



PROPOSED SECTION

1/4" = 1'-0" | 1

ISSUE LOG

PLANNING SUBMITTAL
OCT. 23, 2023

PLANNING REVS.
MAR 01, 2024 (1)

LICENSED ARCHITECT ANDREW BORLIK C-21673 REN. 4.30.25 STATE OF CALIFORNIA

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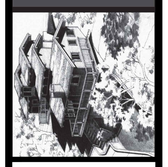

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ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039

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DATE: OCT. 05. 2023

JOB #: KURUGANTI - JOLLY

A4.2

Energy Efficiency

Kolbe participates in ENERGY STAR® and WDMA Hallmark Certification programs to ensure that our products are tested to industry standards, in order to meet or exceed today's strict building codes.

Many Ultra Series products can also meet California's Title 24 Building Energy Efficiency Standards, as well as PHIUS verification.

See kolbewindows.com/solutions/energy-efficiency for energy performance data and climate zone maps

Impact Performance

Specially designed with the strength and durability to withstand hurricane force winds and flying debris, Kolbe's Ultra Series impact performance products are independently teste d for coastal regions. There are no unsightly rods or extra locks to fasten, so Kolbe's impact-certified products offer the same beautiful appearance as non-impact products.

See our Impact Performance brochure for our full listing of products for coastal areas.

Sustainability & Resilient Design

Whether building a new house or updating an existing one, thoughtful choices create enduring homes that are beautiful, comfortable and instill peace of mind. Our wood species are renewable resources sourced from managed forests, and our standard glass contains 25-30% recycled content. We can also provide The Forest Stewardship Council® (FSC®)-certified wood species for many products. (FSC® license code FSC®-C019541).

Professional Tools

Kolbe prides itself on offering the tools and resources architects, builders and other industry professionals need to complete their projects. From product specifications and 3D models to continuing education courses and webinars, Kolbe supports all of your project needs.

Scan the QR code to learn more about our tools & resources for professionals.

kolbewindows.com/resources

Architect Library
Kolbe's Architect Library is the main resource for specifying Ultra Series windows and doors. Search detailed product information, including:
- Cross section drawings
- Elevation charts
- 3D Revit® models
- CSI specifications
- Installation instructions

Additional resources include:
- Door configurations
- Clear openings
- Care & maintenance guide
- Acoustic data
- Energy performance
- Performance class & grade
- Product brochures
- Color & design samples
- Warranties

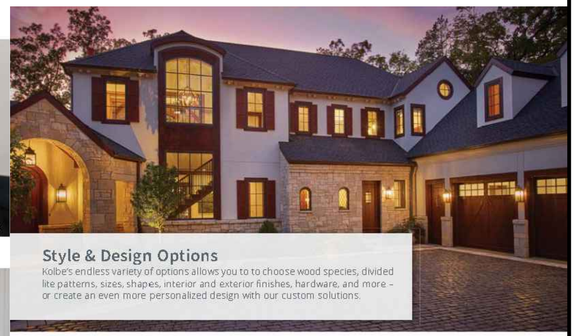
AIA/CES Courses
As a Registered AIA Continuing Education Services (CES) provider, Kolbe provides AIA Learning Units (LU) and/or Health, Safety & Welfare (HSW) credits as required per state and/or professional memberships to meet yearly requirements.

Virtual Showroom
Explore numerous displays from Kolbe's VistaLuxe® Collection, Ultra Series & Forgent® Series product lines.

kolbewindows.com/virtual-showroom

Inspiration Gallery
Browse through photos, videos, project profiles and custom solutions.

kolbewindows.com/gallery



Style & Design Options

Kolbe's endless variety of options allows you to to choose wood species, divided lite patterns, sizes, shapes, interior and exterior finishes, hardware, and more – or create an even more personalized design with our custom solutions.

Scan the QR code to explore our full selection of Ultra Series products & endless options.

kolbewindows.com/ultra

Windows
- Casements* (crank-out, push-out, XL)
- Awnings (crank-out*, push-out, XL*)
- Double hungs* (Sterling, XL Sterling)
- Sliding (single, double, triple, quad)
- Folding
- Direct sets* (ogee, beveled, geometric, radius)
- Corner direct sets

Doors
- Sliding patio*
- Multi-slide
- TerraSpan® lift & slide*
- Folding*
- Swinging patio*
- Entrance*
- Pivot
- Commercial*

Glass
- Double pane; Insulated glass
- Triple pane; Insulated glass
- Various Low-E coatings
- Specialty & privacy glass

Divided Lites
- Performance divided lites (beveled, ovolo & square profiles)

Hardware
Kolbe's Ultra Series windows and doors are available with numerous styles and finishes to complement your décor and match the aesthetic of your design.

Universal Design & Automation
When it comes to accessible spaces for individuals of diverse physical ability levels, Kolbe offers options for a variety of windows and doors. For ease of use, Kolbe integrates advanced technology or specialized hardware into select products, putting the control at your fingertips – with remotes, keypads, touch screens, and other devices.

Exterior Trim
- Brickmoulds
- Casings

Insect Screens
- BetterVue® mesh
- UltraVue® mesh
- Aluminum mesh
- Retractable
- WaterShed™ Technology

*Ultra Series products with impact performance capabilities. See your Kolbe dealer for details

Product Sizes

We're pushing the limits of Ultra Series windows and doors, with large sizes for generous openings. The chart below features at-a-glance maximum dimensions for some of these versatile products.

Sizes listed below provide a quick overview of maximum size capabilities. For exact dimensions, detailed limitations and product options, contact your Kolbe window and door expert to discuss our full capabilities and custom solutions.

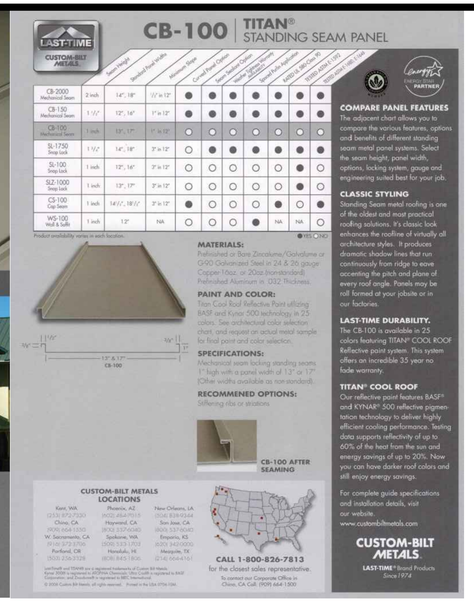
Window Product	Net Frame Size	
	Largest Size with Maximum Width (WxH)	Largest Size with Maximum Height (WxH)
Crank-out Casement Operable	42" x 77"	33" x 96"
Crank-out XL Casement Operable	48" x 84"	42" x 96"
Push-out Casement Operable	36" x 90"	33" x 96"
Crank-out & Push-out Casement Picture	147" x 86"	86" x 147"
Crank-out Awning Operable	72" x 36"	54" x 48"
Crank-out XL Awning Operable	78" x 64"	60" x 84"
Push-out Awning Operable	72" x 24"	41" x 42"
Crank-out & Push-out Awning Picture	147" x 86"	86" x 147"
Sterling Double Hung	53-1/2" x 80-7/16"	41" x 104-7/16"
XL Sterling Double Hung	60" x 92"	46-1/2" x 120"
Sterling Double Hung Studio Picture	119" x 89"	83" x 149"
Beveled Direct Set	144" x 95"	95" x 144"
Single/Double Sliding Window	95-1/2" x 71-1/2"	
Triple Sliding Window	119-1/2" x 71-1/2"	
Quad Sliding Window	167-1/2" x 71-1/2"	
90° Corner Direct Set	96" (&R sides combined) x 96"	
Folding Window (up to 16 panels with a 42" max. panel width)	576" x 72"	

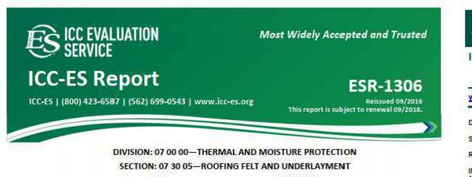
Door Product	Nominal Maximum Panel Size (WxH)	Maximum Net Frame Size (WxH)
Inswing Door (Single)	4-0 x 10-0	49-13/16" x 122-23/32"
Inswing Door (Double)	3-6 x 10-0	86-3/16" x 122-23/32"
Inswing Door Sidelite Fixed Sash	6-0 x 12-0	74-3/16" x 146-23/32"
Inswing Door Venting Sidelite	3-0 x 10-0	37-5/8" x 122-23/32"
Outswing Door (Single)	4-0 x 10-0	50-13/32" x 122-19/32"
Outswing Door (Double)	3-6 x 10-0	86-7/8" x 122-19/32"
Outswing Door Sidelite Fixed Sash	6-0 x 12-0	74-7/8" x 146-19/32"
Outswing Door Venting Sidelite	3-0 x 10-0	38-13/32" x 122-19/32"
Pivot Door	5-0 x 10-0	62-3/8" x 122-5/16"
Folding Door (up to 16 panels)	3-6 x 10-0	576" x 125-1/8"
Sliding Patio Door (2 panels)	5-0 x 10-0	120" x 122-7/16"
Sliding Patio Door (3 panels)	5-0 x 10-0	182-1/2" x 122-7/16"
Sliding Patio Door (4 panel Bi-Parting)	5-0 x 10-0	238-9/16" x 122-7/16"
Multi-Slide Door (up to 10 panels)	5-0 x 10-0	558" x 122-7/16"

Door Product	Largest Panel Size with Maximum Width (WxH)	Largest Panel Size with Maximum Height (WxH)	Maximum Net Frame Size (WxH)
Lift & Slide Door (up to 10 panels)	89" x 121"	72" x 149"	720" x 151-13/16"

NOTE Not all Ultra Series products are represented

KOLBE VISTA LUX WINDOWS AND DOORS OR EQUAL | 2





BLACK METAL ROOF - TITAN STANDING SEAM METAL ROOFING PANEL OR EQUAL | 1

ISSUE LOG
PLANNING SUBMITTAL OCT. 23, 2023
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LICENSED ARCHITECT BERNE J. BORLIK No. C-21675 RENEWAL 4-30-25 STATE OF CALIFORNIA

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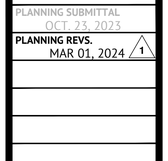


NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039
CHECKED JT | DRAWN TP, JL
DATE OCT. 05. 2023
JOB # KURUGANTI - JOLLY

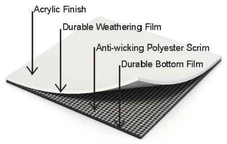
A6.1

Technical Data Sheet

IB PVC Single-Ply 50

IB Roof Systems™

Product Description:
IB PVC Single-Ply 50 is a polyester scrim reinforced, compounded pvc resin based sheet with plasticizers, stabilizers, fillers, pigments and other proprietary materials meeting ASTM D4434, Type III. Rolls are manufactured in a nominal 50 mil thickness and use an anti-wicking scrim for added strength, tear resistance and enhanced moisture resistance.



Packaging:

Size	Sq. Ft. / Weight per roll (approx.)
6' x 90'	540 sq. ft. / 175 lbs.
3' x 90'	270 sq. ft. / 90 lbs.

Features:
- Meets and exceeds ASTM D 4434-12, Type III Thermoplastic Membrane
- 15-Year Limited Material Warranty
- Excellent flexibility in all climates
- Highly reflective IB PVC Single-Ply can help to reduce heat transfer through the roof into the building's interior
- Thick, heavy duty 24 mil top ply weathering film
- Thermally welded seams provide superior seam strength
- Exceeds Energy Star™ and California Title 24 requirements for Solar Reflectance and Emissivity (White, Cool Sand)

Use:
IB PVC Single-Ply 50 can be installed in new, recover, and re-roof constructions as the primary field membrane and base flashing at all roof to wall transitions. It can be mechanically attached or fully adhered to a properly prepared substrate with approved fasteners and membrane plates or approved membrane adhesive.

Warranties:
IB PVC Single-Ply 50 has a 15-Year Limited Material Warranty and is available for 'Warranty Plus' and 'Total Systems' warranties for IB Roof Systems Authorized Applicators.

Available Colors:
White, tan, gray and brown.

Approvals:
IB PVC membranes are listed with various component assemblies at UL and Factory Mutual (F.M. Global) for fire, wind uplift and impact resistance. Visit our website for links to these agencies and listings at: www.ibroof.com.

Solar Reflectance / Thermal Emittance / Calculated SRI Values

Membrane Color	Solar Reflectance	Thermal Emittance	SRI Value Initial	SRI Value 3-Year Aged	LRV
White	0.870	0.88	110	91	94.3
Tan	0.366	0.87	39	N/A	39.2
Gray	0.163	0.88	13	N/A	18.1
Brown	0.079	0.87	2	N/A	7.2

Property	Method	Requirement	50 Mil
Overall thickness of PVC sheet, min. (in.)	ASTM D751	0.045	0.050 nom.
Breaking strength, min. (lbf/in.)	ASTM D751	200 x 200	332 x 256
Elongation at the break, min. %	ASTM D751	15ª x 15ª	34 x 29
Retention of properties after heat aging (min. % of original):	ASTM D3045		
Breaking strength	ASTM D751	90	Pass
Elongation	ASTM D751	90	Pass
Tearing strength, min. (lbf)	ASTM D751	45.0	54 x 68
Low temperature bend	ASTM D2136	-40ºF	Pass
Accelerated weathering test:	ASTM G154		
Cracking (7x magnification)		None	None
Crazing (7x magnification)		None	None
Linear dimension change, max%	ASTM D1204	+/- 0.5	-0.30 MD 0.02 XMD
Change in weight after immersion in water, max %	ASTM D570	+/- 3.0	1.1
Static puncture resistance	ASTM D5602	Pass	Pass
Dynamic puncture resistance	ASTM 5635	Pass	Pass

ª For reinforcing fabric only, elongation of PVC material shall be 250% MD and 220% XMD

The table presents typical properties of IB PVC membranes. Requirements are taken from ASTM D4434-12.

Recycle Content	
Pre Consumer	20%

IB ROOF MATERIAL OR EQUAL 1

ISSUE LOG
PLANNING SUBMITTAL
OCT. 23, 2023
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MAR 01, 2024 1

LICENSED ARCHITECT ANDREW T. YOUNG C-21675 RENEWAL 2025 STATE OF CALIFORNIA

Young & Borlik Architects
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NEW RESIDENCE :
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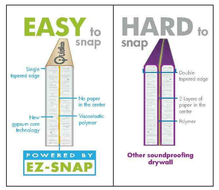
JOB #
KURUGANTI - JOLLY

A6.2

QuietRock® ES POWERED BY EZ-SNAP

Low cost, true score and snap with EZ-SNAP® technology

QuietRock® ES is the first sound reducing drywall that easily scores and snaps using breakthrough EZ-SNAP™ technology. QuietRock® ES has no paper and no metal on the inside of the panel yet delivers acoustical ratings on single stud construction. This patented product is easier to install and is less expensive than any other sound reducing drywall and is ideal for residential and commercial construction.



QuietRock ES Benefits

- Powered by EZ-SNAP™ for true score and snap
- Easier to snap than other acoustical drywall
- Installs quickly for increased productivity and lower labor costs
- Maximizes usable floor space by using just a single layer
- Outperforms other sound isolation methods, including soundboard and resilient channel
- High reliability: unlike resilient channel, cannot be easily short circuited
- Abrasion resistant paper

QuietRock® ES POWERED BY EZ-SNAP

Type X , 5/8"sound damping gypsum panel without paper or metal in the core. Cuts and installs similar to regular gypsum panel products. QuietRock® ES is the professional's choice for acoustic walls in residential and commercial applications.

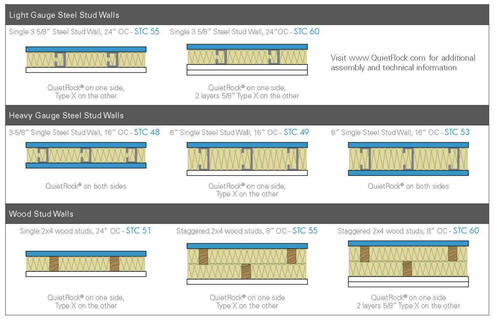
Product Specifications:

Thickness: 5/8" (15.9mm), tapered edges
Width: 4' (1220mm)
Lengths: 8' (2438mm), 9' (2743mm), 10' (3048mm)
Weight: 2.6 lbs/sqft
STC-rated Assemblies (per ASTM E 90): 48-60
Fire-rated (per ASTM E 119, UL263): 1 hour, Type X
Flame Spread (per ASTM E 84): Class A
Product Standards: ASTM C 1396
Installation Standards: ASTM C 840; GA-214, GA-216

UL Assembly:

Approved for use in many one and two hour fire-rated assemblies including U305, U309, U340, U341, U378, U386, U425, U465, V419, V463, V464, W313, W312, W459, and W460. Go to www.QuietRock.com for additional information on fire-rated assemblies. QuietRock® ES can be incorporated in several one and two-hour fire-rated UL designs. However, it is not intended as a direct substitute for a UL Classified Gypsum Board in all fire assemblies. Refer to the specific UL designs for assembly details.

Common Wall Assemblies:



The information contained in this document is for general purposes only. Features and specifications are subject to change. The diagrams and stated STC ratings are intended to serve as a guide. Construction practices have an influence on final STC ratings. PABCO® Gypsum cannot guarantee actual STC ratings. Flanking sound patterns, the integrity of the wall, and construction methods factor in effective sound control. Exposure to excessive or continuous moisture and extreme temperatures of 120°F (50°C) or more should be avoided. QuietRock® should be stored flat in a dry area, under cover, on supported risers to prevent damage to product. Proper care should be taken while transporting, storing, applying and maintaining QuietRock.

PABCO® Gypsum | 37651 Cherry Street, Newark, CA 94560 | 1.800.7937859 | www.PabcoGypsum.com | www.QuietRock.com | PN: 101-00045-042514

714.4.2 Membrane penetrations. Membrane penetrations shall comply with Section 714.4.1. Where walls or partitions are required to have a fire-resistance rating, recessed fixtures shall be installed such that the required fire resistance will not be reduced.

Exceptions:

1. Membrane penetrations of maximum 2-hour fire-resistance-rated walls and partitions by steel electrical boxes that do not exceed 16 square inches (0.0 103 m^2) in area, provided that the aggregate area of the openings through the membrane does not exceed 100 square inches (0.0645 m^2) in any 100 square feet (9.29 m^2) of wall area. The annular space between the wall membrane and the box shall not exceed $^1/_8$ inch (3.2 mm). Such boxes on opposite sides of the wall or partition shall be separated by one of the following:
   1.1. By a horizontal distance of not less than 24 inches (610 mm) where the wall or partition is constructed with individual noncommunicating stud cavities.
   1.2. By a horizontal distance of not less than the depth of the wall cavity where the wall cavity is filled with cellulose loose-fill, rockwool or slag mineral wool insulation.
   1.3. By solid fireblocking in accordance with Section 718.2.1.
   1.4. By protecting both outlet boxes with listed putty pads.
   1.5. By other listed materials and methods.
2. Membrane penetrations by listed electrical boxes of any material, provided that such boxes have been tested for use in fire-resistance-rated assemblies and are installed in accordance with the instructions included in the listing. The annular space between the wall membrane and the box shall not exceed $^1/_8$ inch (3.2 mm) unless listed

SpecSeal SSP

SSP Putty & Putty Pads

SpecSeal SSP Firestop Putty excels at sealing cabling penetrations and outlet boxes. SSP Putty is non-hardening and easily hand works around grouped cabling penetrations forming a re-enterable seal allowing for future work. When applied with outlet boxes, SSP Putty easily works into voids and seams forming a continuous seal against fire and the products of combustion.

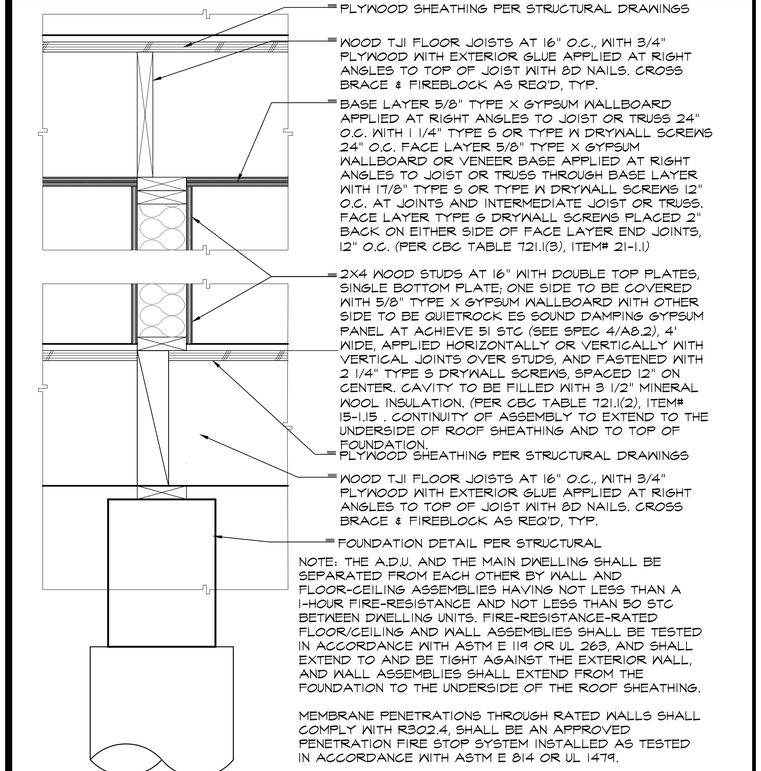
Product Data Sheets | Safety Data Sheets | Installation Sheet
Watch Videos | BIM Object | 3D Model | Product Brochure

Test Standards
ASTM E814 (UL1479)
CAN/ULC-S115
UL263 (ASTM E119, NFPA 251)

Third Party Approvals

Applications: Cables, Electrical Box, Metal Pipe
Properties: Intumescent, Low VOC, No Expiration, Re-Enterable, Smoke Barrier, STC Rating

CBC 714 PENETRATIONS IN FIRE WALL & CEILINGS



NOTE: THE A.D.U. AND THE MAIN DWELLING SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR-CEILING ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE AND NOT LESS THAN 50 STC BETWEEN DWELLING UNITS. FIRE-RESISTANCE-RATED FLOOR/CEILING AND WALL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263, AND SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.

MEMBRANE PENETRATIONS THROUGH RATED WALLS SHALL COMPLY WITH R302.4, SHALL BE AN APPROVED PENETRATION FIRE STOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479.

Physical Properties

Property	Value
Color	Red
Odor	None
Density	1.45 kg/L (12.08 lb/gal)
Solids Content	100%
Mold & Fungus Growth Rating (ASTM G21)	1
Volume Expansion	Greater than 500% (free expansion)
Expansion Begins	230°F (110°C)
In Service Temperature	10°F (-23°C) to 120°F (49°C)
Installation Temperature	Less than 100°F (38°C)
Storage Temperature	Less than 100°F (38°C)
STC Rating (ASTM E 90-04/ASTM C919)	62 (Relates to Specific Construction)
VOC	0 g/L*
Shelf Life	No Limit

*Per SCAQMD Rule 1168 (EPA Method 24)

SpecSeal SSP

SSP Putty & Putty Pads

SpecSeal SSP Firestop Putty excels at sealing cabling penetrations and outlet boxes. SSP Putty is non-hardening and easily hand works around grouped cabling penetrations forming a re-enterable seal allowing for future work. When applied with outlet boxes, SSP Putty easily works into voids and seams forming a continuous seal against fire and the products of combustion.

Product Data Sheets | Safety Data Sheets | Installation Sheet
Watch Videos | BIM Object | 3D Model | Product Brochure

Test Standards
ASTM E814 (UL1479)
CAN/ULC-S115
UL263 (ASTM E119, NFPA 251)

Third Party Approvals

Applications: Cables, Electrical Box, Metal Pipe
Properties: Intumescent, Low VOC, No Expiration, Re-Enterable, Smoke Barrier, STC Rating

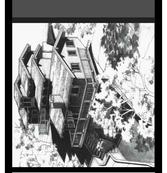
QUIETROCK ES PANELS SPEC OR EQUAL	6
1-HR. FIRE-RATED WALL DETAIL	N.T.S. 5
FIRE WALL & CEILINGS	4
SSP FIRE PUTTY (OR APROVED EQUAL) SPEC 2	N.T.S. 3
SSP FIRE PUTTY (OR APROVED EQUAL) DETAIL	N.T.S. 2
SSP FIRE PUTTY (OR APROVED EQUAL) SPEC 1	N.T.S. 1

ISSUE LOG
PLANNING SUBMITTAL OCT. 23, 2023
PLANNING REVS. MAR 01, 2024 1
PLANNING REVS. APR. 09, 2024 2

LICENSED ARCHITECT JAMES TOSCANO TIMOTHY C-21675 RENEWAL 08/31/2025 STATE OF CALIFORNIA

Young & Borlik Architects
4962 EL CAMINO REAL, STE 218
LOS ALTOS, CALIFORNIA 94022
650-688-1950 | YBarchitects.com

Y&B



NEW RESIDENCE :
ADITYA KURUGANTI & DIYA JOLLY
131 SAN JUAN COURT
LOS ALTOS, CA 94022

A.P.N. 170-33-039
CHECKED JT | DRAWN TP, JL
DATE OCT. 05. 2023
JOB # KURUGANTI - JOLLY
2
A8.1

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA) PER CURRENT FLOOD INSURANCE RATE MAP.

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT, ISSUED BY CHICAGO TITLE COMPANY, ORDER NO 13–99906898–KMB, DATED AUGUST 7, 2013.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

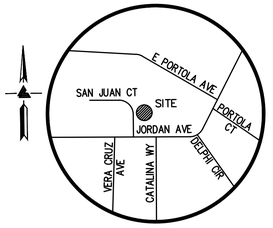
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 10,013± SQUARE FEET / 0.23± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.



VICINITY MAP

NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- CATV — CABLE TV OVERHEAD LINE
- T/E — TELEPHONE/ELECTRICAL OVERHEAD LINE
- ETC — ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- EASEMENT
- x — FENCE LINE
- FLOW LINE
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE
- A/C — AIR CONDITIONING UNIT
- AD — AREA DRAIN
- BFP — BACK FLOW PREVENTER
- BENCHMARK
- BW — BOTTOM RETAINING WALL
- COLUMN/POST
- CO — CLEAN–OUT BOX
- EB — ELECTRICAL BOX
- EM — ELECTRICAL METER
- FF — FINISH FLOOR
- FIRE HYDRANT
- FL — FLOW LINE
- GM — GAS METER
- GV — GAS VALVE
- GUY ANCHOR
- INV — INVERT
- ICV — IRRIGATION CONTROL VALVE
- JOINT POLE
- M– — MULTI–TRUNK TREE
- RP — ROOF PEAK
- SSCO — SANITARY SEWER CLEAN–OUT
- SSMH — SANITARY SEWER MAINTENANCE HOLE
- TC — TOP OF CURB
- TW — TOP OF RETAINING WALL
- TOS — TOP OF SLAB
- WM — WATER METER
- WV — WATER VALVE
- XXX.XX — SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- PAVERS

BENCHMARK

CITY OF LOS ALTOS BENCHMARK 06.
TOP OF CURB ⊕NOSE OF CENTER LINE MEDIAN
⊕ SAN ANTONIO ⊕ JORDAN, SOUTH END OF NORTH MEDIAN.
ELEVATION = 100.79'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
CUT CROSS IN CONCRETE
ELEVATION = 96.39'
(NAVD 88 DATUM)

0 5 10 20

SCALE: 1" = 10'

LICENSED LAND SURVEYOR
GREGORY F. BRAZE
No. 7823
STATE OF CALIFORNIA

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS I LAND SURVEYORS
MAIN OFFICE: 2495 INDUSTRIAL PKWY WEST HAYWARD, CALIFORNIA 94545 (510) 887–4086
REGIONAL OFFICES: ROSEVILLE DUBLIN SAN JOSE
WWW.LEABRAZE.COM

131 SAN JUAN COURT
LOS ALTOS CALIFORNIA

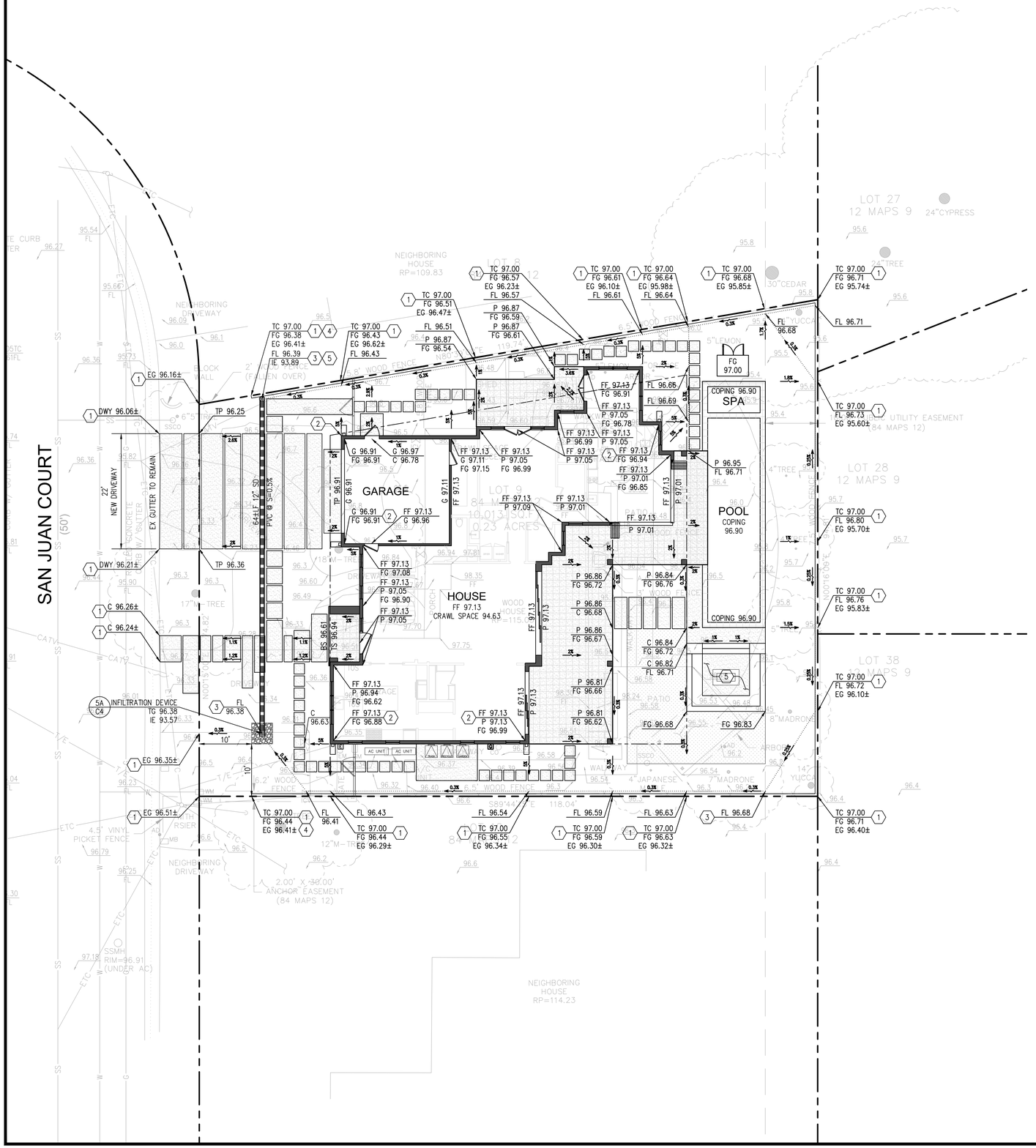
APN: 170–13–039

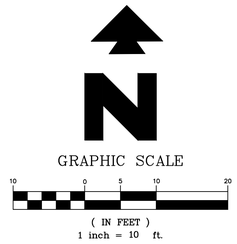
SANTA CLARA COUNTY

TOPOGRAPHIC SURVEY

–	–
–	–
–	–
TREE UPDATE 2–9–24	DB
REVISIONS	BY
JOB NO:	2220635
DATE:	5–23–22
SCALE:	1"=10'
BNDY BY:	DN
FIELD BY:	BC
DRAWN BY:	SM
SHEET NO:	SU1

1 OF 1 SHEETS





PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:		
AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	10,013 SF	10,013 SF
	0.230 ACRE	0.230 ACRE
HOUSE (ROOF)	2,189	3,792*
SHED/POOL EQUIPMENT	77	24
PATIO/HARDSCAPE/PAVEMENT	964	1,184
DRIVEWAY	1,053	508
TOTAL IMPERVIOUS AREA	4,283	5,508
NET IMPERVIOUS AREA INCREASED:		1,225
GRAVEL/FIREPIT	187	15
POOL	N/A	564
PERVIOUS AREA	5,543	3,926
TOTAL PERVIOUS AREA	5,730	4,505

* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:

(INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	20
COMPACTION RATE: 15%	20 x 0.15 = 3
TOTAL FILL	23
CUT	110
TOTAL EARTHWORK	87 (HAUL OFF)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN
INTENSITY = 10 YEAR = 2.57 IN/HR
IMPERVIOUS AREA INCREASED = 1,225 SF = 0.028 ACRE

PRE-CONDITION
Q=CIA C=0.35
Q=0.35 X 2.57 X 0.028
Q=0.025 CFS

VOLUME REQUIRED:
V=1.5(Q POST - Q PRE) X 10 MIN
Q=1.5(0.065 - 0.025) X 600
Q=36 CF

POST-CONDITION
Q=CIA
Q=0.90 X 2.57 X 0.028
Q=0.065 CFS

VOLUME PROVIDED:
V=64 LF X 12"ø STORAGE PIPE
V=50.3 CF (TOTAL)

SITE BENCHMARK

CITY OF LOS ALTOS BENCHMARK 06.TOP OF CURB @NOSE OF CENTER LINE MEDIAN @ SAN ANTONIO @ JORDAN, SOUTH END OF NORTH MEDIAN.
ELEVATION = 100.79'
(NAVD 88 DATUM)

PROJECT BENCHMARK

SURVEY CONTROL POINT CUT CROSS IN CONCRETE ELEVATION = 96.39' (NAVD 88 DATUM)

GENERAL NOTES:

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
5. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASSES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
9. CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
10. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
11. GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
12. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

LEGEND

- = PROPERTY LINE
- = STREET CENTER LINE
- = EX. ROLLED CURB
- 50.0 = EX. SPOT ELEVATION
- 1% = FLOW DIRECTION
- = GRADE BREAK
- = FLOW LINE
- = CONCRETE SPLASH PAD
- = INFILTRATION DEVICE
- = AREA INLET
- = STORM DRAIN PIPE

ABBREVIATIONS:

BS	= BOTTOM OF STEP	FL	= FLOW LINE	R.O.W.	= RIGHT-OF-WAY
BOW	= BACK OF WALK	G	= GARAGE	S	= SLOPE
BW	= BOTTOM OF WALL	GB	= GRADE BREAK	SD	= STORM DRAIN
C	= CONCRETE	IE	= INVERT ELEVATION	SR	= STRAW ROLL
DWY	= DRIVEWAY	L	= LAWN	TC	= TOP OF CURB
EG	= EXISTING GRADE	LF	= LINEAL FOOT	TG	= TOP OF GRATE
EX	= EXISTING	LP	= LOW POINT	TP	= TOP OF PAVEMENT
EP	= EDGE OF PAVEMENT	N	= NEW	TS	= TOP OF STEP
FF	= FINISHED FLOOR	P	= PATIO OR PORCH	TW	= TOP OF WALL
FG	= FINISHED GRADE	PG	= PERGOLA	TYP	= TYPICAL

GRADING NOTES

1. MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
2. DOWNSPOUT WITH CONCRETE SPLASH PAD PER DETAIL #1A/C4
3. BEGIN/END SWALE PER DETAIL #2A/C4
4. BEGIN/END DEEPENED CURB PER DETAIL #20/C4
5. DRAIN INLET PER DETAIL #3A/C4
6. FIRE PIT WITH SEATING (SEE LANDSCAPE PLANS)

REV.	DATE	DESCRIPTION

GRADING AND DRAINAGE PLAN
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

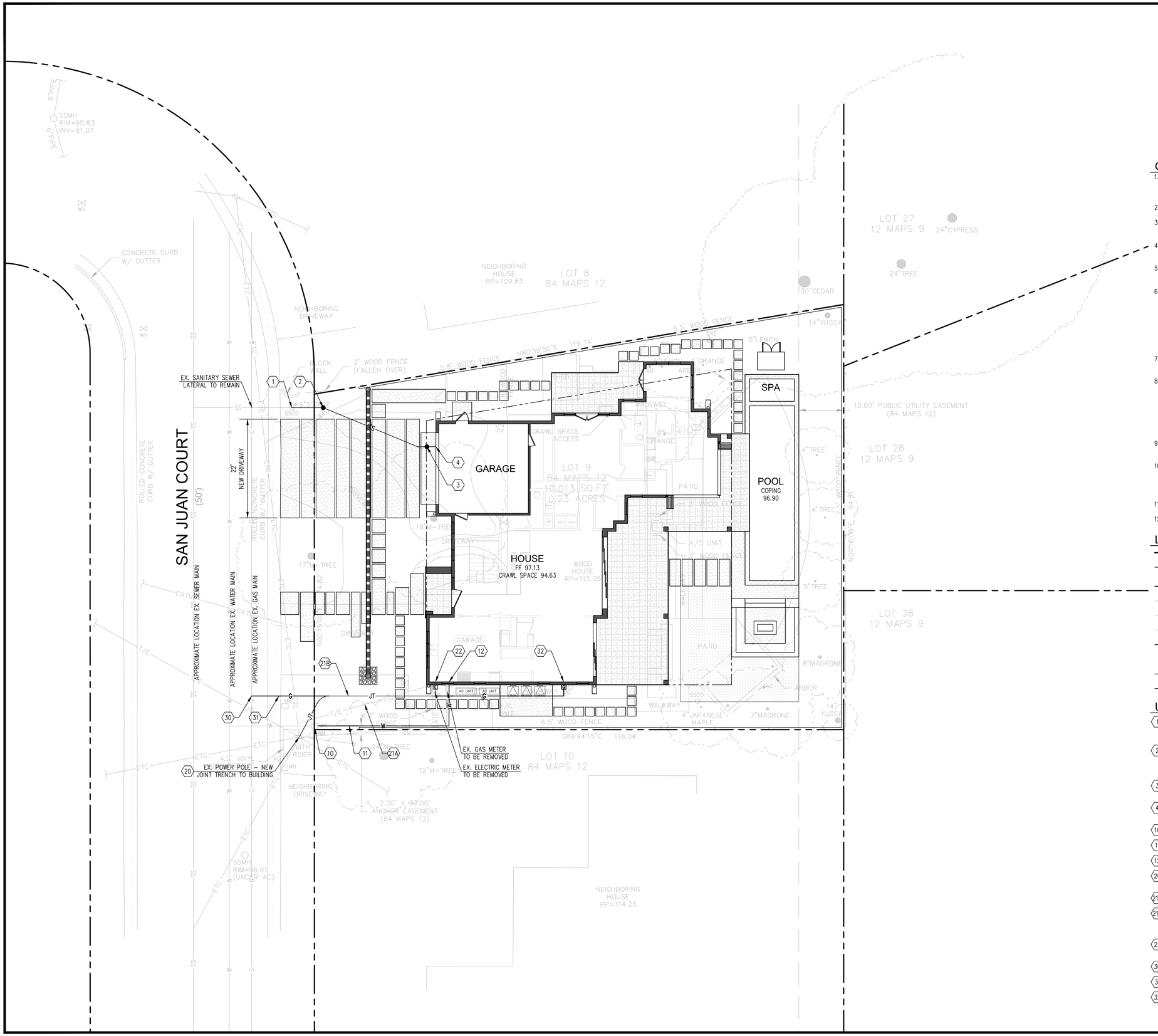
GREEN
CIVIL ENGINEERING, INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
CHUN HANG WONG
No. 72668
Exp. 12/31/2024
CIVIL
STATE OF CALIFORNIA

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE:	07/17/2023
DESIGNED:	HCL
DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20230035

SHEET
C1
1 OF 6 SHEETS



GRAPHIC SCALE

10 0 5 10 20

(IN FEET)
1 inch = 10 ft.

GENERAL NOTES:

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3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
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11. GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
12. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT–OF–WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

LEGEND

- PROPERTY LINE
- E — UNDERGROUND ELECTRICAL LINE
- G — GAS LINE
- G — EX. GAS LINE
- SS — EX. SEWER LINE
- W — EX. WATER LINE
- W — NEW WATER LINE
- ● SANITARY SEWER CLEANOUT
- JT — PROPOSED JOINT TRENCH
- SS — NEW 4" SEWER LATERAL

ABBREVIATIONS:
EX = EXISTING
LF = LINEAL FOOT
S = SLOPE

UTILITY NOTES

1. CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING SEWER LATERAL ALONG UTILITY EASEMENT BEFORE ANY CONSTRUCTION/PIPE LAYING. CONNECT NEW 4" SANITARY SEWER LATERAL WITH 2% MINIMUM SLOPE TO EXISTING SEWER CLEANOUT.
2. INSTALL A NEW SANITARY SEWER CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAILS **#SS–6/C4**. CLEANOUT PLACEMENT SHALL BE WITHIN 5' OF PROPERTY LINE. CONTRACTOR SHALL FIELD VERIFY THE EXACT SEWER LOCATION AND INVERT ELEVATION PRIOR TO INSTALLATION.
3. INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE. PLACE CLEANOUT 2' OUTSIDE OF BUILDING FOUNDATION.
4. SANITARY SEWER SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR EXACT LOCATION AND LINE CONTINUATION TO BUILDING
10. EXISTING WATER METER TO REMAIN
11. PROVIDE NEW WATER LINE FROM EXISTING WATER METER TO NEW BUILDING
12. NEW WATER SERVICE ENTRY
20. CONNECTION TO EXISTING UTILITY POLE. CONTRACTOR SHALL COORDINATE WITH PG&E PRIOR TO ANY CONSTRUCTION
21A. EXISTING OVERHEAD ELECTRICAL, TELECOMMUNICATION TO BE REMOVED
21B. REMOVE EXISTING OVERHEAD ELECTRICAL, TELECOMMUNICATION AND CABLE TV SERVICE LINE AND INSTALL NEW UNDERGROUND JOINT TRENCH (ELECTRICAL, TELECOMMUNICATION AND CABLE TV) LINE TO BUILDING. COORDINATE WITH PG&E FOR LINE RELOCATION.
22. NEW ELECTRICAL METER AND ELECTRICAL SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR EXACT LOCAION
30. SERVICE CONNECTION AT EXISTING GAS MAIN
31. PROVIDE NEW GAS LATERAL FROM EXISTING GAS MAIN TO BUILDING
32. NEW GAS METER LOCATION AND GAS SERVICE ENTRY TO BUILDING. SEE ARCH. PLANS FOR EXACT LOCATION

REV.	DATE	DESCRIPTION

UTILITY PLAN
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

GREEN
CIVIL ENGINEERING,INC
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403
INFO@GREEN-CE.COM

REGISTERED PROFESSIONAL ENGINEER
CHEN HANG CHOU
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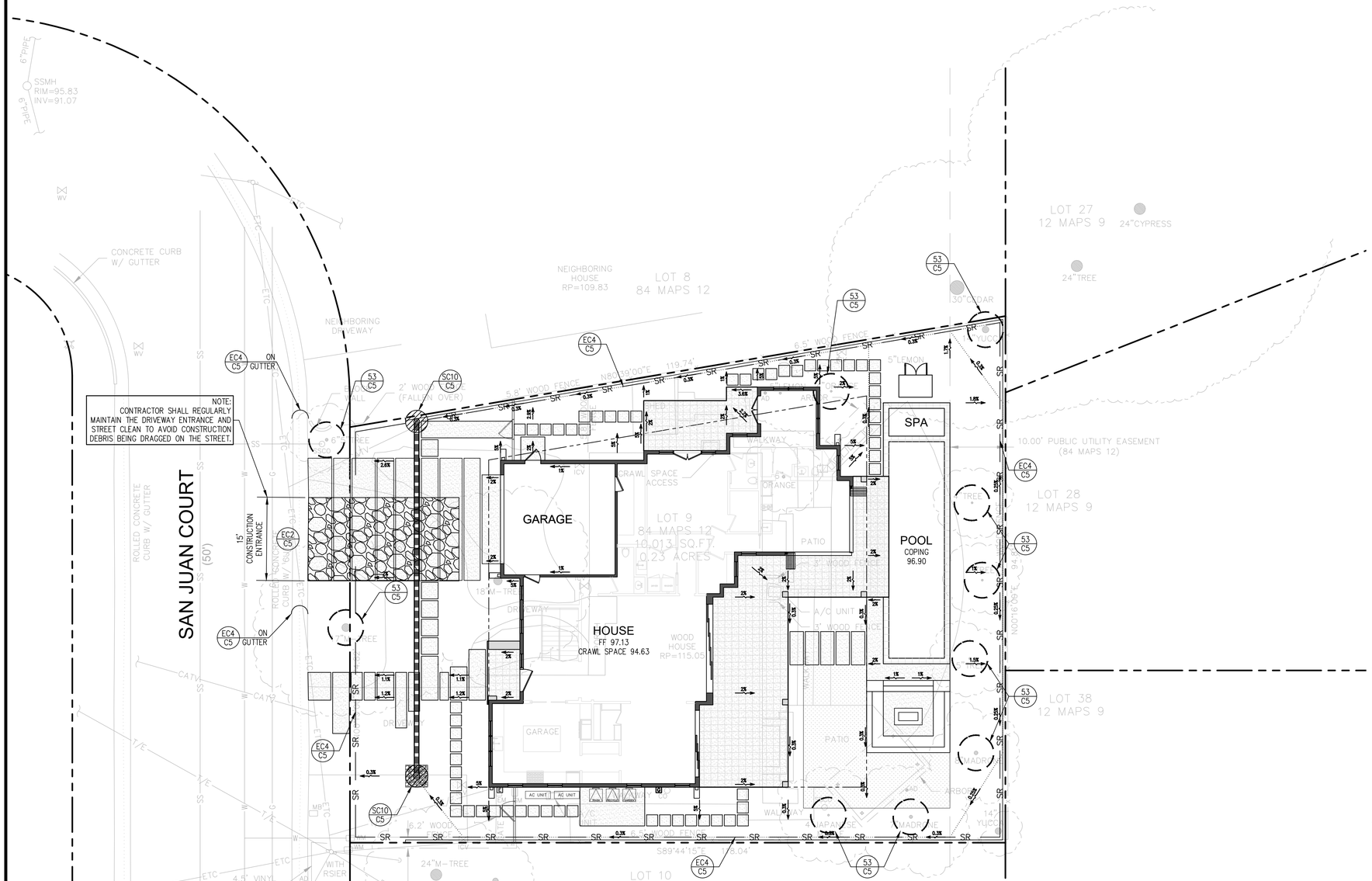
SHEET
C2
2 OF 6 SHEETS



EROSION AND SEDIMENT CONTROL NOTES & MEASURES:

1. GRADING WORK BETWEEN OCTOBER 1 AND APRIL 30 IS AT THE DISCRETION OF THE **LOS ALTOS** GRADING OFFICIAL. REFER TO CITY'S STANDARD GUIDELINES FOR ADDITIONAL CONDITIONS.

   A. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGH OUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN **SANTA CLARA COUNTY** ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FALLING INTO THE SAN MATEO COUNTY ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMPS) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WE USED MATERIALS, AND SEDIMENT, CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ANCHORING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT TO BE LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD FACILITIES:

      i. REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM CONSTRUCTION SITE AND CONTRACTOR'S MATERIAL AND EQUIPMENT/STAGING AREAS.
      ii. PREVENTION OF TRACKING MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
      III. PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY.

   B. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAY DOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE **SANTA CLARA COUNTY** ROAD RIGHT OF WAY AND ANY PORTION OF THIS SITE WHERE STORM WATER RUN-OFF IS CORRECTLY FOLLOWING INTO **SANTA CLARA COUNTY** ROAD RIGHT OF WAY.

2. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
3. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER.
4. IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT CITY OF **LOS ALTOS** FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
5. DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FORM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
8. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
10. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
11. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
12. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
13. DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
14. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
15. WITH THE APPROVAL OF THE CITY INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
   A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
   B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
   C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
   D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
   E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
   F. RILLS AND GULLIES MUST BE REPAIRED.

DEMOLITION NOTES:

1. EXISTING BUILDING TO BE REMOVED.
2. LOCATE AND MARK ALL UNDERGROUND UTILITIES. THE UTILITIES SHALL BE TREATED AS FOLLOWS:

WATER SERVICE

A. EXISTING WATER SHALL BE CAPPED AND REMOVED IF NECESSARY FOR NEW CONSTRUCTION.

GAS SERVICE

A. GAS LINE SHALL BE PROTECTED IN PLACE.

LEGEND

= GRAVEL STABILIZED ENTRANCE (EC2 C5)

SR = STRAW ROLL (EC4 C5)

= TREE PROTECTION (53 C5)

= INLET PROTECTION (SC10 C5)

GRAPHIC SCALE

10 0 5 10 20

(IN FEET)
1 inch = 10 ft.

EROSION CONTROL POINT OF CONTACT:
NAME: CHIN HANG WONG
TITLE/QUALIFICATION: PE, QSD
PHONE: (650) 931-2514
PHONE:
E-MAIL: cwong@green-ce.com

REV.	DATE	DESCRIPTION

EROSION CONTROL PLAN
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

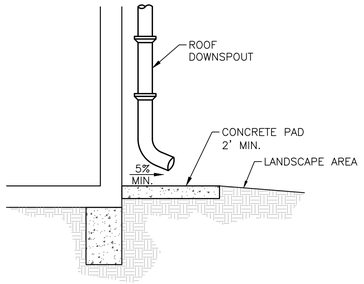
GREEN
CIVIL ENGINEERING,INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
CHIN HANG WONG
No. 73568
Exp. 12/31/2024
CIVIL
STATE OF CALIFORNIA

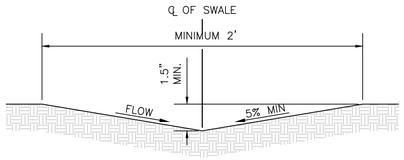
SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE:	07/17/2023
DESIGNED:	HCL
DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20230035

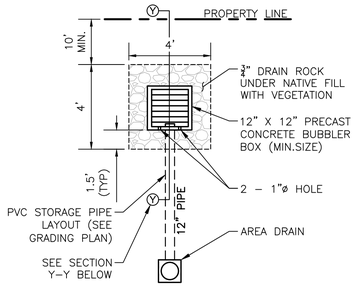
SHEET
C3
3 OF 6 SHEETS



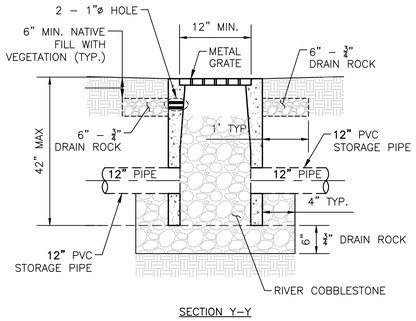
1A | CONCRETE SPLASH PAD | N.T.S.



2A | TYPICAL VEGETATED SWALE | N.T.S.

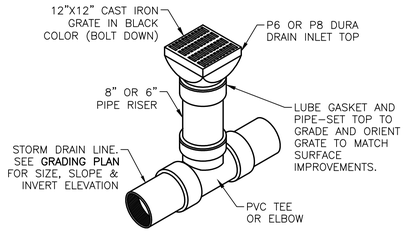


PLAN

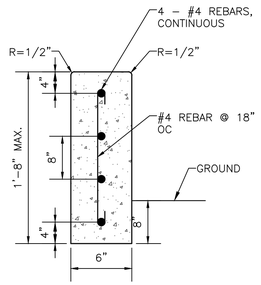


SECTION Y–Y

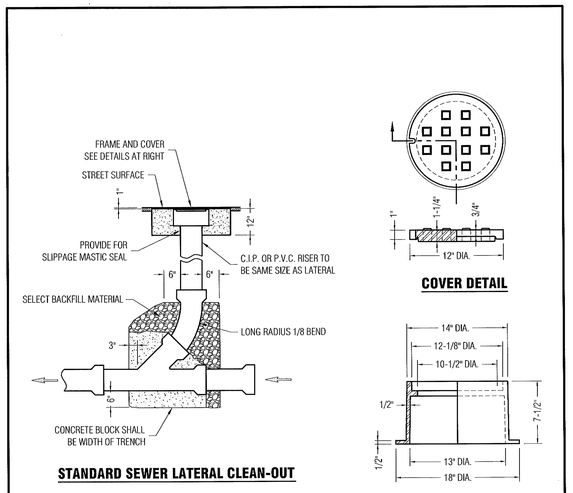
5A | INFILTRATION DEVICE | N.T.S.



3A | 12"X12" LANDSCAPE AREA DRAIN | N.T.S.



20 | DEEPENED CURB | N.T.S.



STANDARD SEWER LATERAL CLEAN-OUT

COVER DETAIL

FRAME DETAIL

Approved: _____ City Engineer 1/4/10 Date

CITY OF LOS ALTOS, CALIFORNIA — INCORPORATED DECEMBER 1952

REVISION	
Description	Date
Changed Detail Title	02/16/12

ENGINEERING DIVISION

SEWER LATERAL CLEAN-OUT | **SS-6**

STANDARD DETAILS MAY 2010

REV.	DESCRIPTION	DATE

DETAIL SHEET
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

GREEN
CIVIL ENGINEERING, INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER — CHIN HANG (HOWARD) CHEUNG — No. 73068 — Exp. 12/31/2024 — CIVIL — STATE OF CALIFORNIA

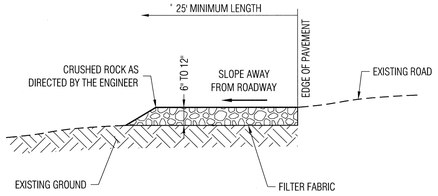
SCALE

VERTICAL: 1"= AS SHOWN

HORIZONTAL: 1"= AS SHOWN

DATE:	07/17/2023
DESIGNED:	HCL
DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20230035

SHEET
C4
4 OF 6 SHEETS



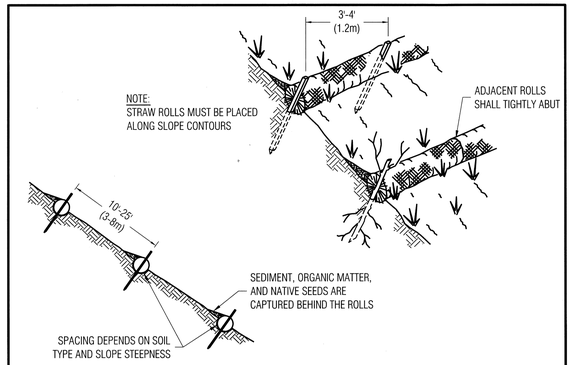
NOTES:
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET

2. INSTALL STABILZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: _____ City Engineer _____ 1/4/10 Date

CITY OF LOS ALTOS, CALIFORNIA	REVISION		ENGINEERING DIVISION	
	Description	Date	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

STANDARD DETAILS MAY 2010



NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3"-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL

2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
   1:1 SLOPES = 10 FEET APART
   2:1 SLOPES = 20 FEET APART
   3:1 SLOPES = 30 FEET APART
   4:1 SLOPES = 40 FEET APART
   <4:1 SLOPE = ONE ROW AT LOW POINT

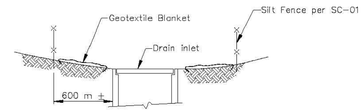
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: _____ City Engineer _____ 1/4/10 Date

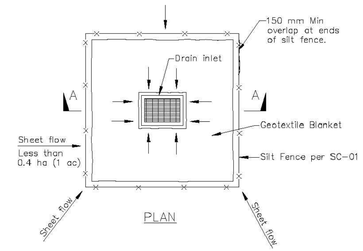
CITY OF LOS ALTOS, CALIFORNIA	REVISION		ENGINEERING DIVISION	
	Description	Date	STRAW ROLLS	EC-4

STANDARD DETAILS MAY 2010

Storm Drain Inlet Protection — SC-10



SECTION A–A



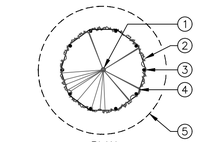
PLAN

DI PROTECTION TYPE 1
NOT TO SCALE

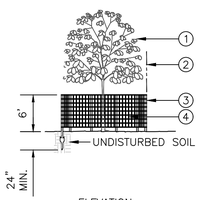
NOTES:
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
2. Not applicable in paved areas.
3. Not applicable with concentrated flows.

LEGEND:

1. SEE ARBORIST REPORT FOR TREES TO BE PROTECTED FOR THIS DEMOLITION PROJECT.
2. TREE DRIP LINE.
3. STEEL T–POST. 6' O.C. MAX. DRIVE POST INTO UNDISTURBED SOIL, AVOIDING MAJOR ROOTS AS MUCH AS POSSIBLE.
4. CHAIN LINK FENCING, 6' TALL.
5. EXTEND FENCING 50% BEYOND DRIPLINE OF SIGNIFICANT MATURE SPECIMEN TREES WHERE POSSIBLE, UNLESS OTHERWISE SHOWN ON PLAN.



PLAN



ELEVATION

53	TREE PROTECTION FENCING	N.T.S.

REV.	DESCRIPTION	DATE

DETAIL SHEET
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

GREEN
CIVIL ENGINEERING,INC
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SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
CHIN HANG LOUIE
NO. 73668
Exp. 12/31/2024
CIVIL
STATE OF CALIFORNIA

SCALE
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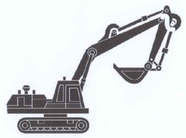
SHEET
C5
5 OF 6 SHEETS

Heavy Equipment Operation

Best Management Practices for the Construction Industry



Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

Doing the Job Right

Site Planning and Preventive Vehicle Maintenance

- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- ☐ If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- ☐ Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- ☐ Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.

Storm water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible

Spill Cleanup

- ☐ Clean up spills immediately when they happen.
- ☐ Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills to the appropriate local spill response agencies immediately.
- ☐ If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services

Roadwork and Paving

Best Management Practices for the Construction Industry

Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- ☐ Develop and implement erosion/sediment control plans for roadway embankments.
- ☐ Schedule excavation and grading work during dry weather.
- ☐ Check for and repair leaking equipment.
- ☐ Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- ☐ When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- ☐ Do not use diesel oil to lubricate equipment parts or clean equipment.
- ☐ Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

During Construction

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- ☐ Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

- ☐ Never wash excess material from exposed- aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- ☐ Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- ☐ Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- ☐ Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up, remove, and properly dispose of contaminated soil.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- ☐ Avoid over-application by water trucks for dust control.

Asphalt/Concrete Removal

- ☐ Avoid creating excess dust when breaking asphalt or concrete.
- ☐ After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- ☐ When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- ☐ Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains.

Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry

Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

Doing The Job Right

General Business Practices

- ☐ Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- ☐ Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- ☐ Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- ☐ Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- ☐ Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

During Construction

- ☐ Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- ☐ Set up and operate small mixers on tarps or heavy plastic drop cloths.
- ☐ When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- ☐ Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- ☐ When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a landfill.
- ☐ Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- ☐ Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. TO comply with this program, contractors must comply with the practices described this drawing sheet.

Spill Response Agencies

DIAL 9-1-1

State Office of Emergency Services Warning Center (24 hours): **800-852-7550**

Santa Clara County Environmental Health Services: (408) 299-6930

Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195

County of Santa Clara Integrated Waste Management Program: (408) 441-1198

County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS

Santa Clara County Recycling Hotline: 1-800-533-8414

Santa Clara Valley Water District: (408) 265-2600

Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151

Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300

Palo Alto Regional Water Quality Control Plant: (650) 329-2598
Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos

Building Department: (650) 947-2752

Engineering Department: (650) 947-2780

Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry

Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

Doing The Right Job

General Business Practices

- ☐ Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- ☐ Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- ☐ Schedule grading and excavation projects during dry weather.
- ☐ Use temporary check dams or ditches to divert runoff away from storm drains.
- ☐ Protect storm drains with sandbags or other sediment controls.
- ☐ Re-vegetation is an excellent form of erosion control for any site.

Landscaping/Garden Maintenance

- ☐ Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
- ☐ Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- ☐ In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

Storm Drain Pollution From Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

- ☐ Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders, unless you are piling them for recycling (allowed by San Jose and unincorporated County only). Sweep up any leaves, litter or residue in gutters or on street.
- ☐ In San Jose, leave yard waste for curbside recycling pickup in piles in the street, 18 inches from the curb and completely out of the flow line to any storm drain.

Pool/Fountain/Spa Maintenance

Draining Pools Or Spas

When it's time to drain a pool, spa, or fountain, please be sure to call your local wastewater treatment plant before you start for further guidance on flow rate restrictions, backflow prevention, and handling special cleaning waste (such as acid wash). Discharge flows shall not exceed 100 gallon per minute.

- ☐ Never discharge pool or spa water to a street or storm drain; discharge to a sanitary sewer cleanout.
- ☐ If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/reuse water by draining it gradually onto a landscaped area.
- ☐ Do not use copper-based algaecides. Control algae with chlorine or other alternatives, such as sodium bromide.

Filter Cleaning

- ☐ Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.
- ☐ If there is no suitable dirt area, call your local wastewater treatment plant for instructions on discharging filter backwash or rinse water to the sanitary sewer.

Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry

Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Doing The Job Right

Handling Paint Products

- ☐ **Keep all liquid paint products and wastes away from the gutter, street, and storm drains.** Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- ☐ When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- ☐ Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.
- ☐ If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

Painting Cleanup

- ☐ **Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.**
- ☐ For **water-based paints**, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For **oil-based paints**, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

Paint Removal

- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor.
- ☐ When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its decision.

Recycle/Reuse Leftover Paints Whenever Possible

- ☐ Recycle or donate excess **water-based (latex) paint,** or return to supplier.
- ☐ Reuse leftover **oil-based paint.** Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste.
- ☐ Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

Los Altos Municipal Code Requirements

Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

A. Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.

B. Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

A. A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

B. A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

C. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.

D. No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Criminal and judicial penalties can be assessed for non-compliance.

General Construction And Site Supervision

Best Management Practices For Construction

Best Management Practices for the

- General contractors
- Site supervisors
- Inspectors
- Home builders
- Developers

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay.

As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Doing The Job Right

General Principals

- ☐ Keep an orderly site and ensure good housekeeping practices are used.
- ☐ Maintain equipment properly.
- ☐ Cover materials when they are not in use.
- ☐ Keep materials away from streets, storm drains and drainage channels.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- ☐ Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the *Erosion and Sediment Control Manual*, available from the Regional Water Quality Control Board, as a reference.
- ☐ Control the amount of runoff crossing your site (especially during excavation!) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water runoff velocities by constructing temporary check dams or berms where appropriate.
- ☐ Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

Good Housekeeping Practices

- ☐ Designate **one area of the site** for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, bermed if necessary. Make major repairs off site.
- ☐ Keep materials out of the rain – prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- ☐ Keep pollutants off exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.
- ☐ Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Set portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.

Materials/Waste Handling

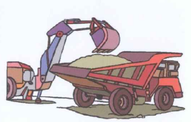
- ☐ Practice Source Reduction -- minimize waste when you order materials. Order only the amount you need to finish the job.
- ☐ Use **recyclable materials whenever** possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- ☐ Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

Permits

- ☐ In addition to local building permits, you will need to obtain coverage under the State's General Construction Activity Storm water Permit if your construction site disturbs one acre or more. Obtain information from the Regional Water Quality Control Board.

Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



Best Management Practices for the

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- ☐ Schedule excavation and grading work during dry weather.
- ☐ Perform major equipment repairs away from the job site.
- ☐ When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- ☐ Do not use diesel oil to lubricate equipment parts, or clean equipment.

Practices During Construction

- ☐ Remove existing vegetation only when absolutely necessary. Plant *temporary* vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's *Erosion and Sediment Control Field Manual* for proper erosion and sediment control measures.

Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site *and* slow the flow with check dams or roughened ground surfaces.

Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation.

Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

- ☐ Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

Dewatering Operations

1. *Check for Toxic Pollutants*

- ☐ Check for odors, discoloration, or an oily sheen on groundwater.
- ☐ Call your local wastewater treatment agency and ask whether the groundwater must be tested.
- ☐ If contamination is suspected, have the water tested by a certified laboratory.
- ☐ Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility.

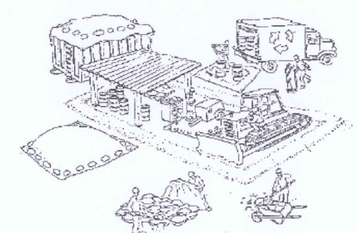
2. *Check for Sediment Levels*

- ☐ If the water is clear, the pumping time is less than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain.
- ☐ If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for guidance.
- ☐ If the water is not clear, solids must be filtered or settled out by pumping to a settling tank prior to discharge. Options for filtering include:
  - Pumping through a perforated pipe sunk part way into a small pit filled with gravel;
  - Pumping from a bucket placed below water level using a submersible pump;
  - Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.
- ☐ When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Best Management Practices for the Construction Industry



Santa Clara Urban Runoff Pollution Prevention Program

DESIGNED BY: LARRY LIND	APPROVED BY: CITY OF LOS ALTOS		DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHIN	CITY ENGINEER	48056 R.C.E.	SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET OF SHEETS		DRAWING NO:

REV.	DATE	DESCRIPTION

CONSTRUCTION BMPS
ADITYA & JOLLY RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

GREEN
CIVIL ENGINEERING, INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
CHIN HANG VICTOR
No. 72068
Exp. 12/31/2024
CIVIL
STATE OF CALIFORNIA

SCALE

VERTICAL: 1"= AS SHOWN

HORIZONTAL: 1"= AS SHOWN

DATE:	07/17/2023
DESIGNED:	HCL
DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20230035

SHEET
C6
6 OF 6 SHEETS

1

ROLLED CONCRETE CURB W/ GUTTER

BASKETBALL HOOP

3'-0"

GARDEN

3'-0"

GARDEN

EQ.

9"

9"

(N) DRIVEWAY
- 4" GAPS WITH PEBBLES
- PADS 3' WIDE, 4'-4" WIDE AS SHOWN
- SIZE PAD AT GARAGE DOOR TO FIT

(N) PATH
- 2' x 2' PADS,
4" GAPS

(N) LANDING

N TREE

9'-0"

(N) PATH
- 2' x 2' PADS,
4" GAPS

(N) PATIO

EQ.

EQ.

EQ.

GARDEN

22'-0"

EQ

3'-0"

GARDEN

E
17" CRAPE MYRTLE

(N) PATH
- 4" GAPS
- PADS 3' WIDE AND 2' WIDE

(N) LANDING

(N) PATH
- 2' x 2' PADS,
4" GAPS

GARDEN

N TREE

MB

WM

AC

AC

GARDEN

11'-8"
REF.

(N) UTILITY AREA

GARDEN

(N) HEATERS
- SUSPENDED
FROM BEAMS

(N) RAISED PATIO

8'-0"

SKYLIGHT

(N) PATH
- 4' GAPS
- EQ. PADS, 2'-5", NOM.

8'-0"

SKYLIGHT

SKYLIGHT

(N) HERB POT

GARDEN

LEGEND

SLEEVE PVC
4" DIA, TYP

15'-0"
FROM OUTSIDE OF CEDAR TRUNK

7'-2"

N TREE

POOL
EQUIPMENT
SHED
- 4' x 6'

13'-3"

12'-0"
ACCESSORY STRUCTURE SETBACK

10'-0"

1'-0"

1'-0"

(N)
RAISED
HOT TUB
- 5' X 10': 50 SF
- WALL 1' WIDE

GARDEN

(N) PATH
- 2' x 2' PADS,
4" GAPS

EQ

EQ

CHERRY
E

10'-0"

10'-0"

(N) POOL
- 10' X 39': 390 SF
- (N) COPING 12" WIDE

11'-0"

E
CHERRY

E
CHERRY

(N) BUILT-IN FIREPIT
- 5' X 3'

11'-4"
REF.

1'-0", TYP.

N TREE

2'-0"

(N) BENCH SEAT
SURROUNDING
3-STEP SUNKEN PATIO

E
ARBUTUS
'MARINA'

(N) LAWN
- UC VERDE BUFFALO GRASS
- DURASTEEL BORDER

10'-0"

E
JAPANESE
MAPLE

E
ARBUTUS
'MARINA'

N

REVISIONS

1 PLANNING REVS 11.27.23

BONNIE BROCK
LANDSCAPE DESIGN
948 CLARA DRIVE
PALO ALTO, CA 94303
PHONE: 650 465-9073
EMAIL: BONNIE@BBROCKDESIGN.COM

JOLLY KURUGANTI RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

DRAWN	MBD
CHECKED	
DATE	08.09.23
SCALE	1/4"=1'-0"
HARDSCAPE PLAN	
SHEET	A-1
OF	SHEETS

CHECKLIST OF DOCUMENTS IN LANDSCAPE DOCUMENTATION PACKAGE:
A-2. Landscape Plan with Project Information
A-3. Water Budget Plan
A-4. Irrigation Plan

PROJECT INFORMATION
Total Landscape Area: 4354 Sq.Ft.
Water Supply Type: Potable

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan.

Bonnie Brock, CLIA #84840

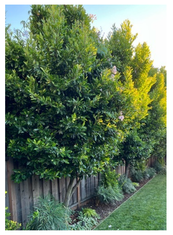
I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

applicant and/or owner

NOTES:
1. Compost at a rate of a minimum of 4 cubic yards per 1000 sq.ft. of permeable area shall be incorporated to a depth of 6" into the soil.
2. A minimum of 3" of mulch, comparable to Lyngso Small Fir Bark Mulch, shall be applied to all planting beds.

ID	Qty	Latin Name	Common Name	Scheduled Size	WUCOLS
ACE S	1	Acer palmatum 'Seiryu'	'Seiryu' Japanese Maple	15 gal.	Moderate
AGA CG	9	Agave 'Color Guard'	Agave 'Color Guard'	1 gal.	Low
AGA V	12	Agave desmetiana 'Variegata'	Agave 'Variegata'	1 gal.	Low
CHO TEC	8	Chondropetalum tectorum	Small Cape Rush	5 gal.	Low
DIA	40	Dianella 'Variegata'	Variegated Flax Lily	1 gal.	Moderate
LEU SS	6	Leucadendron 'Safari Sunset'	Leucadendron 'Safari Sunset'	5 gal.	Low
LOM B	106	Lomandra 'Breeze'	Lomandra 'Breeze'	1 gal.	Low
PHO RW	4	Phormium tenax 'Rainbow Warrior'	'Rainbow Warrior' Flax	5 gal.	Low
PIS KD	1	Pistache chinensis 'Keith Davey'	Pistache chinensis 'Keith Davey'	24" box	Low
PRU C Std	16	Prunus caroliniana 'Compacta'- Std	Standard Carolina Cherry Laurel	24" box	Low
SES G	62	Sesleria 'Greenlee'	Sesleria 'Greenlee'	1 gal.	Moderate
TRI E	2	Tristaniopsis laurina 'Elegant'	Water Gum	24" box	Moderate

THE BACK (2) SCREENING TREES:
TRISTANIOPSIS LAURINA "ELEGANT"
COMMON NAME - ELEGANT WATER GUM
GROWTH RATE - 12IN/YEAR
AT MATURITY - 35' HIGH X 15'-25' WIDE
FOLIAGE: EVERGREEN



SIDE YARD SCREENING TREES:
PRUNUS CAROLINIANA "COMPACTA"
COMMON NAME - COMPACT CAROLINA CHERRY LAUREL
GROWTH RATE - 12IN/YEAR
AT MATURITY - 10' - 25' HIGH X 8'- 10' WIDTH
FOLIAGE: EVERGREEN

LEGEND
SLEEVE PVC 4" DIA, TYP

948 CLARA DRIVE
PALO ALTO, CA 94303
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BONNIE BROCK
LANDSCAPE DESIGN

JOLLY KURUGANTI RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

REVISIONS
2 PLANNING REVS 4.2.24

DRAWN MBD
CHECKED
DATE 08.09.23
SCALE 1/4"=1'-0"
LANDSCAPE PLAN
SHEET A-2
OF SHEETS

REVISIONS

946 CLARA DRIVE
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BONNIE BROCK LANDSCAPE DESIGN

JOLLY KURUGANTI RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

California MWELO Water Budget

Reference Evapotranspiration (ETo) 43.0

* = For the ETo in your area, consult the California Department of Water Resources' Reference Evapotranspiration Table.

Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)
Regular Landscape Areas								
1- Front Trees	Trees	0.2	Drip	0.81	0.247	78	19	513
2- Front Shrubs	Shrubs	0.5	Drip	0.81	0.617	1,173	724	19,297
3- Rear Buffalo Grass	Turf Grass	0.27	Drip	0.81	0.333	445	148	3,958
4- Rear Fenceline Existing Shrubs	Shrubs	0.2	Drip	0.81	0.247	580	143	3,816
5- Rear & Right-side Shrubs	Shrubs	0.5	Drip	0.81	0.617	788	486	12,968
6- Rear Right-side Trees	Trees	0.5	Drip	0.81	0.617	178	110	2,928
7- Rear Right-side Hedge	Shrubs	0.2	Drip	0.81	0.247	121	30	795
8- Rear Left-side Shrubs	Shrubs	0.5	Drip	0.81	0.617	374	231	6,161
9- Rear Left-side Trees	Trees	0.5	Drip	0.81	0.617	60	37	987
10- Rear Left-side Hedge	Shrubs	0.2	Drip	0.81	0.247	117	29	771
W1- Pool	Pool or Water Feature	0.9	Unspecified	1	0.9	390	351	9,358
W2- Spa	Pool or Water Feature	0.9	Unspecified	1	0.9	50	45	1,200
					Totals:	**4,354**	**2,354**	**62,752**
Special Landscape Areas*								
					Totals:	**0**	**0**	**0**
							ETWU Total:	**62,752 gal/yr**
						Maximum Applied Water Allowance (MAWA):		**63,841 gal/yr**

* = Includes public recreational areas, water features using recycled water, areas dedicated to edible plants, and areas irrigated with recycled water.

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area:	2,354
Total Area:	4,354
Average ETAF*:	0.54
All Landscape Areas	
Total ETAF x Area:	2,354
Total Area:	4,354
Sitewide ETAF:	0.54

* = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.

LEGEND
SLEEVE PVC 4" DIA, TYP

DRAWN	MBD
CHECKED	
DATE	08.09.23
SCALE	1/4"=1'-0"
	WATER BUDGET
SHEET	A-3
OF	SHEETS

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

BONNIE BROCK, CLIA #84840

LEGEND

- SLEEVE PVC, 4" DIA, TYP
- IR — IRRIGATION CONTROLLER: WEATHERMATIC 1600
- WS — WEATHER STATION: WEATHERMATIC SLW5
- WM — WATER METER
- BF — BACK FLOW FOR FEBCO 825Y 1"
- M — MANUAL SHUT-OFF
- 1" VALVE INSTALL 1" RAINBIRD PRESSURE-REGULATING FILTER AT EACH VALVE DESIGNATED FOR DRIP: 30 PSI
- B — BUBBLERS, 40 PSI
- HEAVY SOLID LINE: WATER MAIN, 1" PVC
- SOLID LINES: LATERALS
- DASHED LINES: DRIP LINES

Valve	Plant Type	Irrigation Method	Drip Line Details	Design Operating Pressure, PSI	Flow Rate, GPM	Application Rate, in/hr
1- Front Trees	Trees	Drip / Bubbler	NA	40	0.67	0.8
2- Front Shrubs	Shrubs	Drip	Agrifim, 0.6 GPH emitters, 6" spacing	30	2.88	0.24
3- Rear Buffalo Grass	Turf Grass	Drip	Netafim, 0.6 GPH emitters, 18" spacing, rows 18" O.C.	30	1.98	0.43
4- Rear Fenceline Existing Shrubs	Shrubs	Drip	Netafim, 0.6 GPH emitters, 12" spacing, 2 rows	30	3.22	12.8
5- Rear & Right-side Shrubs	Shrubs	Drip	Agrifim, 0.6 GPH emitters, 6" spacing	30	3.3	0.4
6- Rear Right-side Trees	Trees	Drip / Bubbler	NA	40	1.50	0.8
7- Rear Right-side Hedge	Shrubs	Drip	Netafim, 0.6 GPH emitters, 12" spacing, 2 rows	30	0.88	16.8
8- Rear Left-side Shrubs	Shrubs	Drip	Agrifim, 0.6 GPH emitters, 6" spacing	30	1.53	0.39
9- Rear Left-side Trees	Trees	Drip / Bubbler	NA	40	0.67	1.07
10- Rear Left-side Hedge	Shrubs	Drip	Netafim, 0.6 GPH emitters, 12" spacing, 2 rows	30	0.74	14.6

STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY= 67 PSI

POC

BASKETBALL HOOP

(N) PATIO

(N) LANDING

(N) UTILITY AREA

(N) PATH - 2' x 2' PADS, 4" GAPS

POOL EQUIPMENT SHED - 4' X 6'

(N) RAISED HOT TUB - 5' X 10': 50 SF - WALL 1' WIDE

(N) POOL - 10' X 39': 390 SF - (N) COPING 12" WIDE

(N) BUILT-IN FIREPIT - 5' X 3'

(N) BENCH SEAT SURROUNDING 3-STEP SUNKEN PATIO

(N) LAWN - UC VERDE BUFFALO GRASS - DURASTEEL BORDER

ACCESSORY STRUCTURE SETBACK

ROLLED CONCRETE CURB W/ GUTTER

BONNIE BROCK
LANDSCAPE DESIGN
948 CLARA DRIVE
PALO ALTO, CA 94303
PHONE: 650 465-9073
EMAIL: BONNIE@BBROCKDESIGN.COM

JOLLY KURUGANTI RESIDENCE
131 SAN JUAN COURT
LOS ALTOS, CA 94022

REVISIONS

DRAWN	MBD
CHECKED	
DATE	08.09.23
SCALE	1/4"=1'-0"
	IRRIGATION PLAN
SHEET	A-4
OF	SHEETS

Yvonne Dupont

From: James Tringali <james.tringali@gmail.com>
Sent: Tuesday, May 14, 2024 6:08 PM
To: Public Comment - ZA
Cc: Sean Gallegos; Theresa Tringali
Subject: Public comment for zoning administrator meeting 5/15/2024
Attachments: san_juan_court_siteline.jpg

To whom it may concern,

Our property at 105 Jordan Ave, is directly adjacent to the proposed building at 131 San Juan Court. As you can see from the attached photograph the proposed second story, large windows and rear balcony will have a significant visual impact to our property. The photo shows our current view of the property in question from our kitchen/family room dining area. This portion of our house is where we spend 90% of our waking hours. It is also a nexus for guests when entertaining.

Fortunately, the plan packet shared online this week seems to include provisions for mitigating this sightline issue between our properties. Specifically we are referring to the tree designated, "TRI E" on page 42, near the southern end of their property. We would like the city to attach a provision to this plan approval to make sure this screening tree (Tristaniopsis laurina 'Elegant') is installed and that it be as mature as possible at the time of planting. We also want to make sure all the existing foliage, including the Arbutus 'Marina', are preserved. Thank you.

Regards,
James & Theresa Tringali
105 Jordan Ave.
Los Altos, CA 94022
650-949-3957