



ZONING ADMINISTRATOR MEETING AGENDA

4:00 PM - Wednesday, May 07, 2025

***Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA***

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to **ZAPublicComment@losaltosca.gov**.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

<https://tinyurl.com/3yjaezvh>

Telephone: 1-253-215-8782 / Webinar ID: 998 8806 9830 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to **ZAPublicComment@losaltosca.gov**.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. The Zoning Administrator will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Zoning Administrator.

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of April 16, 2025.

PUBLIC HEARING**2. SC25-0004 – Sam Lee – 677 Linden Avenue**

Request for Design Review for the construction of a new 3,945 square foot, two-story home. The property is located on the east side of Linden Avenue between Pine Lane and West Portola Avenue. This project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). Project Planner: Whitehill

ADJOURNMENT**SPECIAL NOTICES TO PUBLIC**

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.



ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, April 16, 2025

***Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA***

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT: Zoning Administrator Zornes and Development Services Deputy Director Williams

STAFF: Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of April 2, 2025.

Action: Zoning Administrator Zornes approved the meeting minutes for the regular meeting of April 2, 2025.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

PUBLIC HEARING

2. SC24-0016 – Jing Quan – 717 Panchita Way

Request for Design Review for the construction of a new 3,567 square foot, two-story home. The property is located on the east side of Panchita Way, between Marich Way and Alvarado Avenue. This project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC24-0016 subject to the listed findings and conditions of approval.

PUBLIC COMMENT

None.

Action: Zoning Administrator Zornes approved design review application SC24-0016 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:

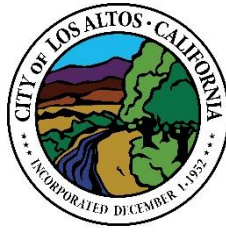
AYES: Zornes

NOES: None

ADJOURNMENT

Zoning Administrator Zornes adjourned the meeting at 4:04 PM.

Nick Zornes
Zoning Administrator



ZONING ADMINISTRATOR AGENDA REPORT

TO: Nick Zornes, Zoning Administrator

FROM: Brittany Whitehill, Senior Planner

SUBJECT: SC25-0004 – 677 Linden Ave

RECOMMENDATION

Approve design review application SC25-0004 for the construction of a new 3,945 square-foot two-story residence subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures).

BACKGROUND

Project Description

- Project Location: Located on the east side of Linden Avenue between Pine Lane and West Portola Avenue
- Lot Size: 12,000 square feet
- General Plan Designation: SF4 (Single-Family - 4 dwelling units/net acre)
- Zoning Designation: R1-10
- Current Site Conditions: One-story house

The subject property is located on the east side of Linden Avenue, in front of a flag lot that fronts onto Linden Avenue via a private driveway. Across the private driveway there are two additional lots with a similar configuration (see Figure 1). The proposed two-story home will be situated on the lot in a similar location to the existing home, and the new home's primary entrance will remain fronting onto Linden Avenue.



Figure 1: Lot Configuration

The project includes the demolition of the existing one-story house and construction of a new two-story house (see Attachment 1 – Project Plans). The new house will feature an attached garage and an attached accessory dwelling unit, which will be reviewed ministerially as part of the building permit submittal. The new house is designed in a contemporary farmhouse architectural style, incorporating high quality materials including a composition shingle with hip and gable roof forms, vertical and horizontal composite siding in dark, muted colors, natural stained wood garage and front doors, and wood-clad windows with black frames. The primary entrance will be accented with a covered porch.

ANALYSIS

Design Review

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	25.5%	24.0% *	30%
FLOOR AREA:			
First floor	2,710 sq. ft.	2,284 sq. ft.	-
Second floor	-	1,661 sq. ft.	-
Total	2,710 sq. ft. (22.6%)	3,945 sq. ft. (33%)*	3,950 sq. ft.
SETBACKS:			
Front	23.5 ft.	25 ft.	25 ft.
Rear	34 ft.	44 ft.	25 ft.
Right Side (1 st /2 nd)	10.5 ft.	23.33 ft./29 ft. (ADU 4 ft.)*	10 ft./17.5 ft.
Left Side (1 st /2 nd)	9 ft.	10 ft./20ft.	10 ft./17.5 ft.
HEIGHT:	18 ft.	26.75 ft.	27 ft.

* The project proposes an attached ADU, which will be reviewed ministerially as part of the building permit. Pursuant to Los Altos Municipal Code (LAMC) Section 14.14.060, the ADU has not been included in the floor area or lot coverage calculations for the site.

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines (Design Guidelines). The immediate neighborhood has both one- and two-story homes in a variety of architectural styles, plate heights, and sizes, and is characterized as a “Diverse Character Neighborhood” per the Design Guidelines. The proposed house has relatively simple gable and hip roof forms which is characteristic of the proposed farmhouse style, and compatible with the homes in the surrounding neighborhood. The home utilizes modest plate heights (approximately 10’ at the first floor, and 8’ at the second floor) and significant second-story step backs which reduce the perceived massing and create a design that is of appropriate scale when compared to neighboring homes.

An arborist report was prepared for the project by Robert Apolinar of San Jose Tree Service which evaluated the trees on site. The project site currently has seven trees and significant tree canopy coverage, primarily from the mature California White Oak tree at the front of the property (Tree No. 1), and two mature Coast Live Oaks at the rear of the property (Trees No. 6 and 7). The project has been designed to retain these three trees, as well as a protected Roble Negro tree toward the front of the property (Tree No. 2). Three protected Coast Live Oak trees (Trees No. 3, 4, and 5) in the side yard of the proposed home are proposed to be removed. Based on the arborist report, Trees No. 3 and 4 have

experienced canopy crowding due to their constrained location and close proximity to each other. Additionally, Tree No. 5 has experienced improper pruning to provide clearance from the neighbor's home. Trees No. 3, 4, and 5 are immediately adjacent to the proposed foundation and will be substantially impacted by the construction; therefore, their removal is proposed as part of the project.

Since the initial application submittal, staff and the project applicant have worked diligently and conducted several site visits to evaluate the existing trees onsite with the goal of maximizing tree preservation. As a result, the plan was revised to retain two additional trees (Trees No. 7 and 2). Additionally, the design was revised to incorporate enhanced landscape screening along the northern property line, to address privacy concerns from neighbors at 689 Linden Avenue. In addition to the existing trees which will remain onsite, the landscape plan includes nine new trees: five 24" box Water Gum trees, three 15-gallon Heart of Gold Redbud Trees and one 15-gallon Japanese maple. Additionally, a variety of shrubs, vines, and groundcover plants are proposed. The proposed landscaping complies with the Water Efficient Landscape Ordinance (WELO).

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, preserves healthy existing trees, and enhances onsite landscaping. Therefore, staff recommends the Zoning Administrator approve the Design Review application, subject to the attached findings and conditions of approval.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the Palo Alto Daily Post. The applicant also posted the project site with the public notice sign in conformance with the Planning Division posting requirements.

The applicant reached out to nine neighbors in person or by email in the immediate area for the community outreach. Staff has received two public comment letters as of the writing of this report which are included as Attachment 2.

Attachment:

1. Project Plans
2. Public Comment Letters

Cc: Sam Lee (Applicant/Property Owner)

FINDINGS

SC25-0004 – 677 Linden Avenue

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

- A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home maintains a similar finished floor elevation and orientation on the lot as the existing home and complies with the allowable floor area, lot coverage, maximum height, and daylight plane requirement pursuant to Los Altos Municipal Code Chapter 14.06.
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal because the project has been designed to preserve four protected trees onsite (two Coast Live Oaks, one Roble Negro and one California White Oak). Additionally, the finished floor of the proposed home will be at a comparable elevation to the existing home, and no substantial grading is proposed with the project.
- D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because the moderate wall plate heights and second-story step backs, and roof form all serve to visually break up the vertical massing of the building.
- E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings because the proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates high quality materials including a composition shingle with hip and gable roof forms, vertical and horizontal composite siding in dark, muted colors, natural stained wood garage and front doors, and wood-clad windows with black frames.
- F. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the site is relatively flat, and the plan incorporates ample softscape surfaces and a drainage plan to minimize off-site stormwater drainage.

CONDITIONS OF APPROVAL

SC25-0004 – 677 Linden Avenue

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on May 7, 2027 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.
2. **Approved Plans:** The approval is based on the plans and materials received on April 15, 2025 except as modified by these conditions as specified below.
3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.
4. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.
5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions
6. **ADU Not Reviewed:** The proposed ADU included in the plan set is not part of this design review application. Prior to commencement of the ADU construction, a separate building permit issued by the Building Division shall be obtained.
7. **Protected Trees:** Trees Nos. 1, 2, 6, and 7 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.
8. **Tree Removal Approved:** Trees Nos. 3, 4, and 5 shown to be removed on plan Sheet LC.1 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after the issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Development Services Director upon submitting written justification.

9. **Replacement Trees:** The applicant shall offset the loss of each protected/street tree with one replacement trees, for a total of three replacement trees. Each replacement tree shall be no smaller than a 24" box and shall be noted on the landscape plan as a replacement tree.
10. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the driplines of Trees Nos. 1, 2, 6, and 7. Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.
11. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.
12. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.
13. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

14. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
15. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.
16. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
17. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the

established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

18. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.
19. **Swimming Pools, Water Features, and Outdoor Kitchens:** The proposed pool and associated equipment, water feature, and/or outdoor kitchen require a separate building permit and are subject to the City's standards pursuant to Section 14.06.120 and Chapter 14.15.
20. **New Fireplaces:** Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.
21. **Change of Address:** A "Request for Address Assignment or Change" form must be submitted to the Building Division to correlate with the addition of a new dwelling unit on the existing property or reorientation of the front of the home to a different street.
22. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.
23. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.
24. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.
25. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).
26. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.
27. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise

subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

28. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.
29. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.
30. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.
31. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.
32. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.
33. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.
34. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

35. **Applicable Codes and Review:** The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing

any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

36. **Violations:** This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].
37. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.
38. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in accordance with National Fire Protection Association's (NFPA) Standard 13D in all new one and two-family dwellings.
39. **Required Fire Flow:** The minimum required fire flow for this project is 1,000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 1,000 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.
40. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
41. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
42. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

GENERAL NOTES

1. These drawings were prepared by SHL ARCHITECTURE. The Architect assumes no responsibility for unauthorized use of these drawings.
2. The work included under this contract consists of all labor, materials transportation, tools, and equipment necessary for the construction of the project, leaving all work ready for use.
3. These drawings alone, represent the Construction Documents.
4. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intention of the drawings is included regardless of whether shown on the drawings or mentioned in the notes.
5. Any errors, omissions, or conflicts found in the various parts of the Construction Documents shall be brought to the attention of the Architect and the Owner immediately for clarification before proceeding with the work.
6. The General Contractor shall maintain a current and complete set of Construction Documents on the job site during all phases of construction for use by all trades, and shall provide all sub-contractors with current Construction Documents as required.
7. The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from such examination.
8. Written dimensions take precedence. DO NOT SCALE FROM DRAWINGS.
9. All dimensions when shown in plan are to face of exterior wall stud, face of CMU, or face of interior stud, unless otherwise noted.
10. All dimensions are to top of subfloor in section or elevation, unless otherwise noted.
11. The General Contractor shall review all building dimensions for accuracy prior to laying out any buildings on site, and shall notify the Architect well in advance of any discrepancies or errors.
12. Details shown are typical. Similar details apply in similar conditions.
13. Verify all architectural details with the structural drawings before the ordering of, or installation of, any item of work.
14. Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed @ min. three stud widths from adjacent wall as indicated on the drawings.
15. All changes in floor materials occur at centerline of door or framed opening, unless otherwise indicated on the drawings.
16. Install all equipment and materials per manufacturer's recommendations.
17. Verify clearances before any construction, ordering of, or installation of any item of work.
18. Follow manufacturer's installation recommendations, standard industry, and building practices for installation of all sealant, caulking, flashing, etc.
19. The General Contractor shall remove all rubbish and waste materials on a regular basis of all sub-contractors and trades, and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting, in any way, finished areas inside or outside the job site.
20. The General Contractor shall provide solid blocking as required for the installation of all equipment, casework, cabinets, wood trim, accessories, handrails, etc.
21. The General Contractor must adhere to CITY OF LOS ALTOS Construction and Builder Regulations.
22. Plumbing contractor shall provide an indirect connection to sewer system for all equipments which produce liquid waste.
23. All interior materials and equipment to be directed by Owner unless otherwise stated.
24. Equipment contractors shall provide Electrical and Plumbing data and exact rough in to electrical and plumbing contractor. electrical and Plumbing permit to be supplied by electrical and plumbing contractor.
25. Plumbing and Electrical contractor shall verify all utility location with all equipment and requirements and shall be responsible for their work. All of their works must comply with local codes and approved by area inspector.
26. Contractor shall adequately shore and support existing structure if found necessary during construction.
27. All new walls at property line shall be one hr. construction.
28. Contractor must conform to local codes and ordinances before construction or fabrication.

1. DEMOLISH EXISTING 1 STORY HOME AND BUILD NEW 2 STORY STRUCTURE WITH AN ATTACHED 2 CAR GARAGE WITH A DETACHED AND ATTACHED ADU (UNDER SEPARATE PERMIT)

APN: 167-023-078
CONSTRUCTION TYPE: V-B (NON RATED)
NO. OF BLDG STORY: 2
COVERED PARKING SPACE: 2
~~UNCOVERED PARKING SPACE: 3~~
OCCUPANCY GROUP: R-3 & U
SPRINKLER REQUIRED: YES
ZONING DESIGNATION: R1-10
LOT SIZE: 12,000 sf
~~FAR ALLOWED: 3,950 sf~~
FAR PROPOSED: 3,945 sf (refer to FAR table)

GENERAL PLAN DESIGNATION: (SF4)
FEMA MAPS ZONE X

1

1. FIRE SPRINKLER SYSTEM TO BE UNDER SEPARATE PERMIT (DEFERRED SUBMITTAL). – THE MAIN HOUSE WILL BE REQUIRED TO HAVE SPRINKLERS UNDER NFPA 13D.
2. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MIN. 4" HIGH AND $\frac{3}{8}$ " THICK.
3. Solar system shall be deferred and specify the 3.59kWdc system will be installed under separate permit.
4. Electric vehicle chargers require separate permit per City of Los Altos submittal requirement.
5. Refer to CFC Ch 33 and standard detail and specification S1-7 for site condition during construction.

	Existing	Proposed	Allowed / Required
Lot Coverage: <i>Land area covered by all structures that are over 6 feet in height</i>	<u>3063</u> square feet (25.5 %)	<u>2882</u> square feet (24.0 %)	<u>3,600</u> square feet (30 %)
Floor Area: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr.: <u>2710</u> sq ft 2nd Flr.: <u>0</u> sq ft Total: <u>2710</u> sq ft (22.6 %)	1st Flr.: <u>2284</u> sq ft 2nd Flr.: <u>1661</u> sq ft Total: <u>3945</u> sq ft (33 %)	<u>3,950</u> square feet (35 % x 11000) (+ 100 sf)
Setbacks: Front Rear Right side (1st/2nd) Left Side (1st/2nd)	<u>23.5</u> feet <u>34</u> feet <u>10.5</u> feet / <u>0</u> feet <u>8.2</u> feet / <u>0</u> feet	<u>25</u> feet <u>44</u> feet <u>23.3</u> feet / <u>29</u> feet <u>10</u> feet / <u>20</u> feet	<u>25</u> feet <u>25</u> feet <u>10</u> feet / <u>17.5</u> feet <u>10</u> feet / <u>17.5</u> feet
Height:	<u>21</u> feet	<u>26.75</u> feet	<u>27</u> feet

	Existing	Change in	Total Proposed
Habitable Living Area: <i>Includes habitable basement areas</i>	<u>2274</u> square feet	<u>1179</u> square feet	<u>3453</u> square feet
Non-Habitable Area: <i>Does not include covered porches or open structures</i>	<u>436</u> square feet	<u>56</u> square feet	<u>492</u> square feet

Net Lot Area:	12,000	square feet
Front Yard Hardscape Area: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1200	square feet (48 %)
Landscaping Breakdown:	Total hardscape area (existing and proposed):	5635 sq ft
	Existing softscape (undisturbed) area:	3075 sq ft
	New softscape (new or replaced landscaping) area:	3290 sq ft
	Sum of all three should equal the site's net lot area	

RESERVED FOR CONDITIONS OF APPROVAL

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN CODE
202 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
MUNICIPAL CODE OF LOS ALTOS

1

A1.01 - COVER SHEET AND INFORMATION
 A1.02 - SITE PLAN
 A1.02A - FAR EXHIBIT
 A1.03 - NEIGHBORHOOD CONTEXT
 C1 - NOTES AND LEGEND
 C2 - SITE SURVEY
 C3 - GRADING AND DRAINAGE PLAN
 C3 - EROSION CONTROL PLAN
 LC.1 - PRELIMINARY SITE PLAN
 LC.2 - IMAGES AND DETAILS
 LI.1 - PRELIMINARY IRRIGATION PLAN
 LP.1 - PRELIMINARY PLANTING PLAN
 LI.1 - PRELIMINARY TREE PROTECTION PLAN
 LP.1 - PLANT IMAGERY

2

A2.01 - PROPOSED FIRST FLOOR PLAN
 A2.02 - PROPOSED SECOND FLOOR PLAN
 A2.03 - PROPOSED ROOF PLAN
 A2.04 - ADU FLOOR AND ROOF PLAN
 A3.01 - EXTERIOR ELEVATIONS & MAT. BD.
 A3.02 - EXTERIOR ELEVATIONS
 A3.03 - SECTIONS
 A3.04 - ADU ELEVATIONS AND SECTIONS

3



CONCEPTUAL RENDERING

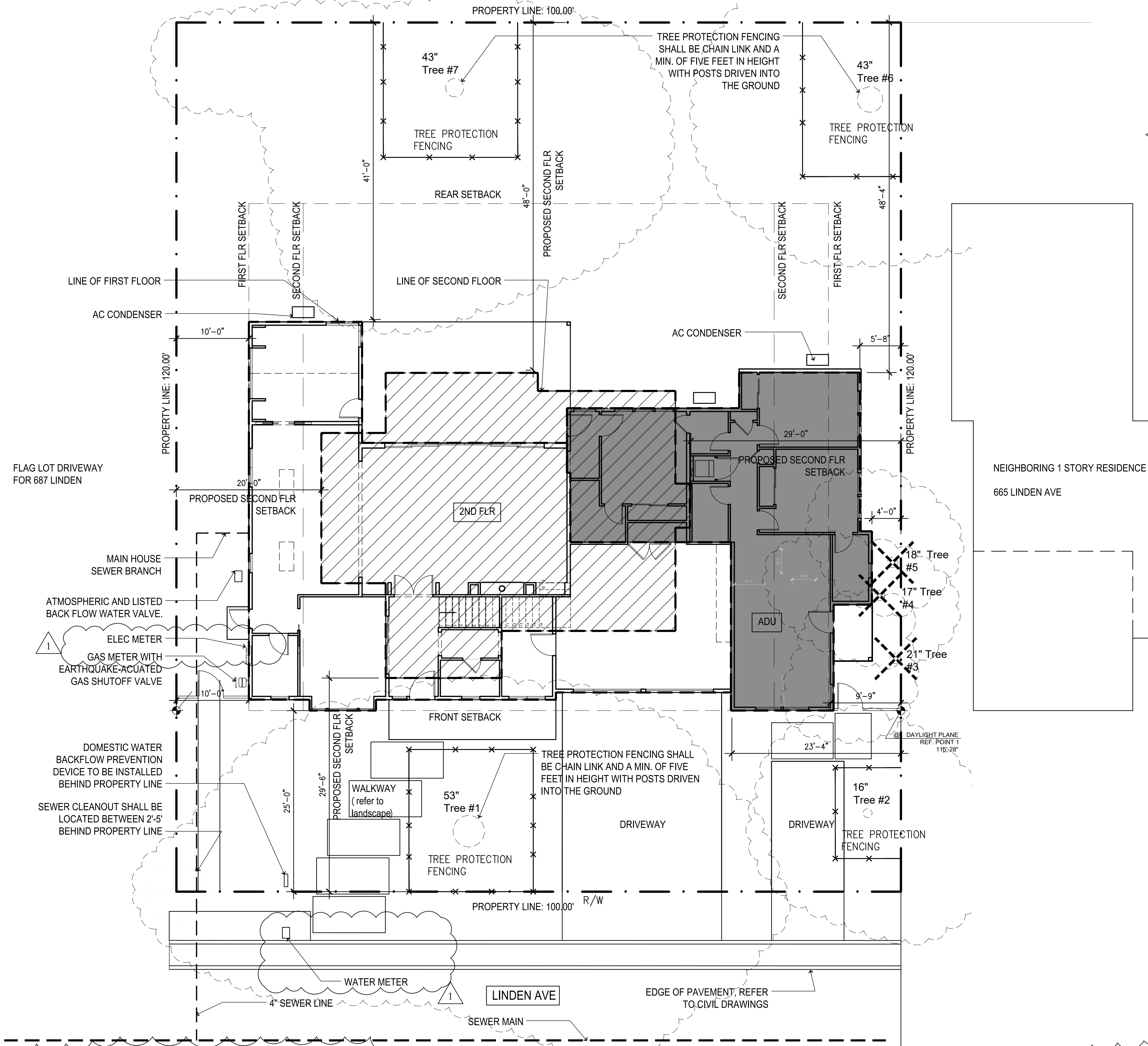
PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL

PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

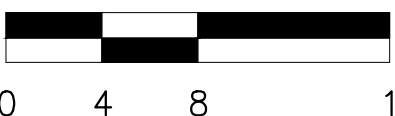
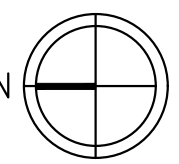
SHEET TITLE:
SITE PLAN
SHEET NUMBER:

A1.02



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

REFERENCE



Outdoor Unit	MCA	A	17.9
	MCA2	A	21
	Fan Motor Full Load Amperage	A	1
	Fan Motor Output	W	60
	Refill Oil (oz)	CFM	2000/100
	Refrigerant Corros	LEV	
	Defrost Method	Reverse Cycle	
	Coil/Refr. Heat Exchanger	Heat Exchanger	
	Sound Pressure Level: Cooling	dB(A)	55
	Sound Pressure Level: Heating	dB(A)	55
	Compressor Type	DC INVERTER + Twin Rotary	
Outdoor Unit Operating Temperature Range	Compressor Name	SHELLQUEST QUANT1	
	Compressor Rated Load Amps	A	15.9
	Compressor Locked Rotor Amps	A	16.9
	Compressor Oil Type / Charge	Oil	PA68 / 17.5
	External Fresh Charge	Icyro Murotel 371 7.8/1	
	Base Part Name	Optional	
	Unit Dimensions	33-1/8 in L x 34-3/8 in W x 330 x 860	
	Package Dimensions (L x W x H)	33-1/8 in L x 35-1/8 in W x 289 in x 430 x 996	
	Unit Weight	kg	129.1kg
	Packages Weight	kg	142.8kg
	Cooling Air Temp. Maximum / Minimum	°F	115/54 (41/13)
Refrigerant	Cooling Thermal Load / Reheat Temperature**	°F	11.5
	Heating Thermal Load / Re-heat Temperature**	°F	10.1
	Type	R410A	
	Charge	Unit, oz	4.14.8
	Chargings Piping Length	ft. (m)	23.0 (7.0)
	Additional Refrigerant Charge Per Additional Piping Length	oz./ft. (g./m)	0.25 (7.6)
	Gas Pipe Size (D. (Flare))	in (mm)	1/2 (12.7)
	Low Side Pipe Size (D. (Flare))	in (mm)	5/8 (15.9)
	Maximum Piping Length	ft. (m)	100 (30.5)
	Maximum Height Difference	ft. (m)	100 (30.5)
	Maximum Number of Bends	ft. (m)	12

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

The diagram illustrates the floor area calculation for a property, divided into two main sections: the 1st floor (main house) and the 2nd floor. The 1st floor plan shows various rooms labeled A through F, with dimensions and area calculations provided. The 2nd floor plan shows rooms labeled AA through FF, also with dimensions and area calculations. A table on the right summarizes the area calculations for both floors, including porches and the attached ADU (Accessory Dwelling Unit).

FLOOR AREA CALCULATION

LABEL	DIMENSIONS	AREA
1ST FLR - MAIN HOUSE		
A	8'-4 1/2" X 21'-9"	182 sqft
B	9'-2" X 23'-3"	213 sqft
C	24'-10" X 21'-9"	530 sqft
D	44'-4 1/2" X 9'-7"	425 sqft
E	43'-11" X 4'-1 1/2"	181 sqft
F	15'-7 1/2" X 16'-8 1/2"	261 sqft
GARAGE		
G	24'-2" X 20'-9"	492 sqft
ADU - ATTACHED		
H	22'-2" X 9'-7"	212 sqft
I	22'-7 1/2" X 8'-11"	202 sqft
J	16'-9 1/2" X 5'-5"	91 sqft
K	41'-9" X 14'-2"	572 sqft
L	3'-9 1/2" X 17'-0"	64 sqft
M	5'-3 1/2" X 7'-9"	54 sqft
PORCHES		
AAA	23'-0 1/2" X 5'-6"	126 sqft
BBB	28'-3 1/2" X 16'-8 1/2"	472 sqft
CCC	5'-3 1/2" X 7'-9"	41 sqft
2ND FLR		
AA	8'-10 1/2" X 20'-9"	184 sqft
BB	16'-0" X 34'-5"	550 sqft
CC	21'-0" X 8'-3 1/2"	161 sqft
DD	18'-11 1/2" X 5'-2"	99 sqft
EE	23'-11 1/2" X 27'-11"	655 sqft
FF	2'-0" X 6'-1"	12 sqft
AREA TOTALS		
FIRST FLR		2284 sqft
SECOND FLR		1661 sqft
TOTAL		3945 sqft
PORCHES (NOT INCLUDED)		
ADU - ATTACHED		1,195 sqft
FLOOR AREA RATIO		
LOT SIZE		12,000 sqft
MAX FAR	3,850+100 sf	(3,950 sqft)
PROPOSED FAR		(3,945 sqft)
LOT COVERAGE		
MAX LOT COVERAGE	30%	(3,600 sqft)
PROPOSED LOT COVERAGE		(2882 sqft)

6

1



677 LINDEN AVE
ALTOS, CA. 94022

PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

SHEET NUMBER:

A1.02A



689 LINDEN



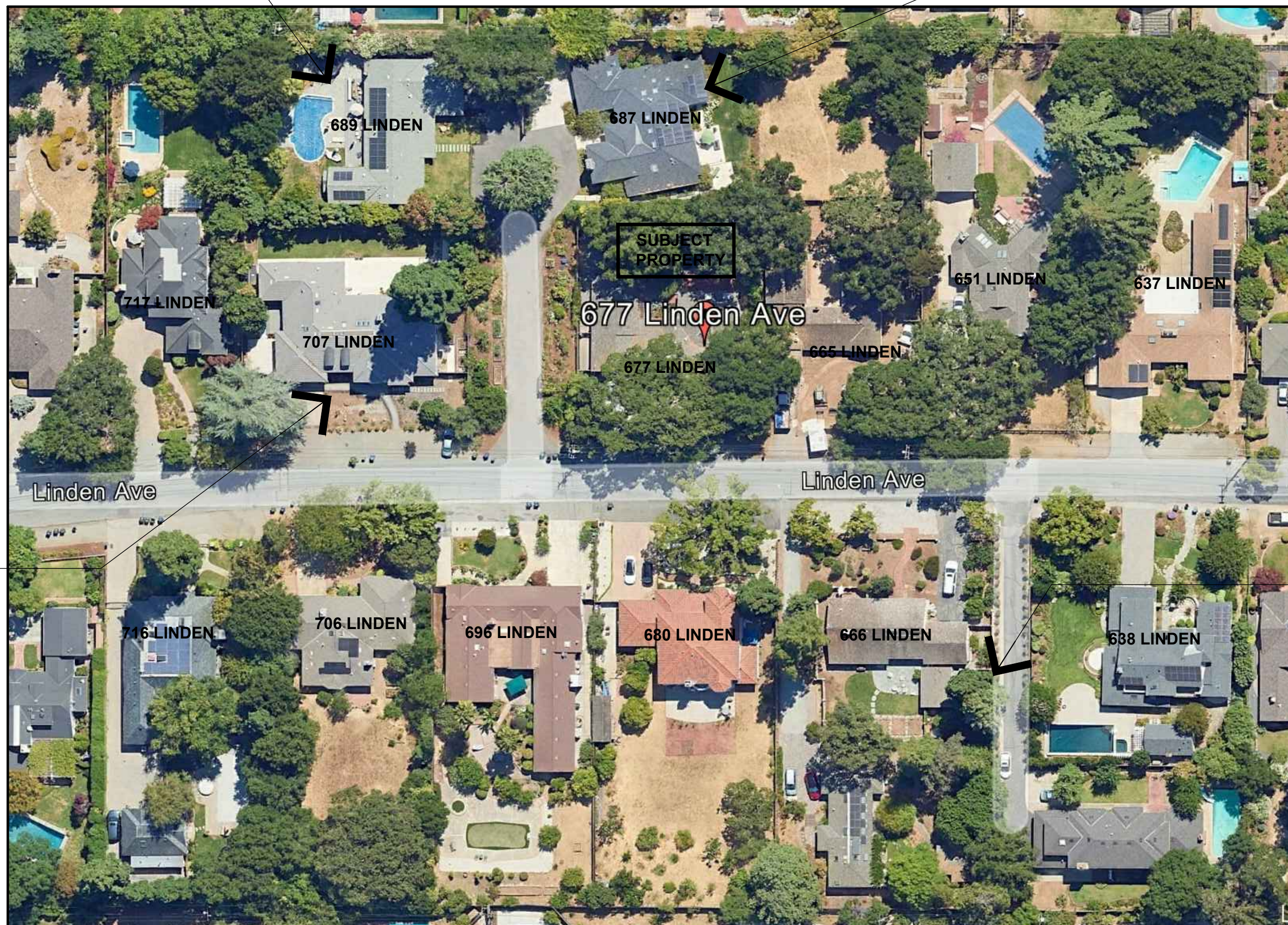
SUBJECT PROPERTY - 677 LINDEN AVE



687 LINDEN



717 LINDEN



665 LINDEN



707 LINDEN



651 LINDEN



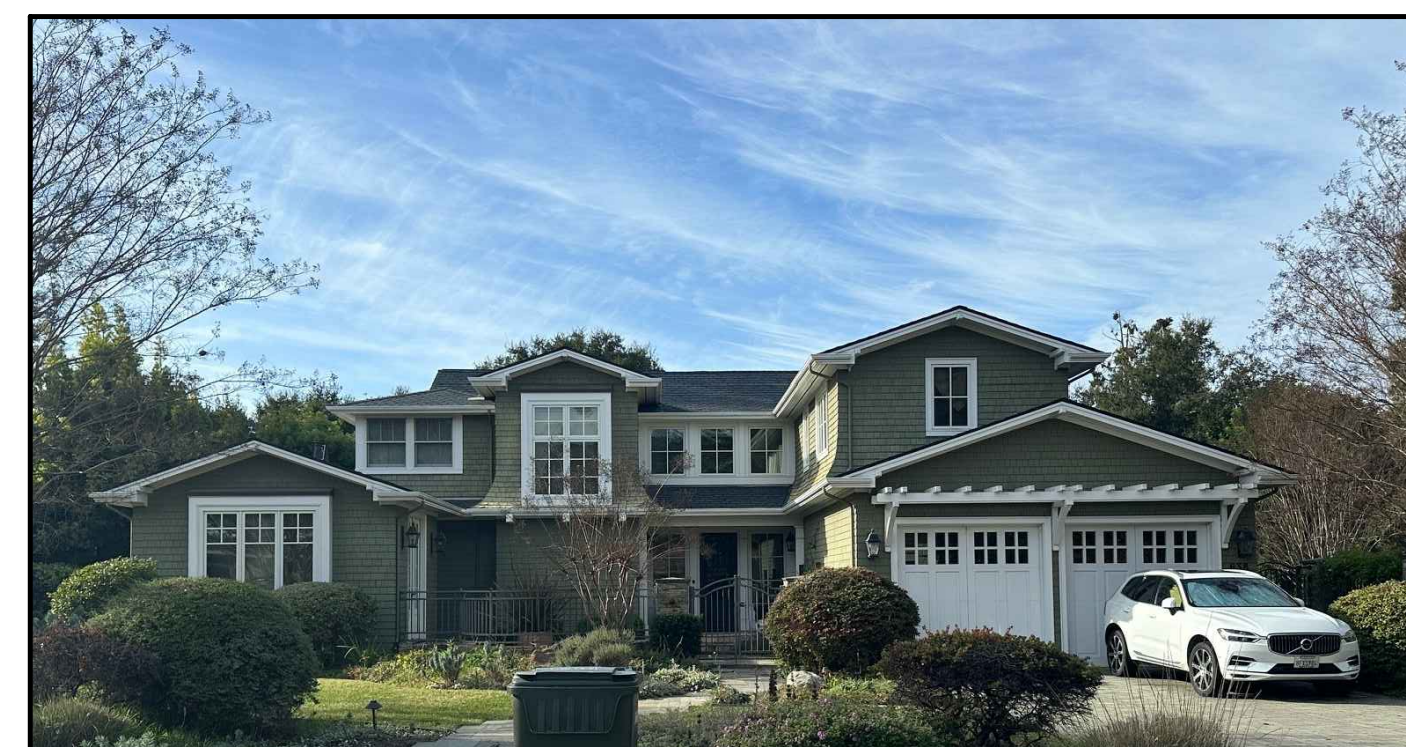
696 LINDEN



680 LINDEN



666 LINDEN

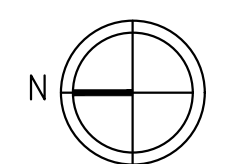


638 LINDEN

REFERENCE

NEIGHBORHOOD CONTEXT MAP

SCALE: 1" = 40'



PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL
PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

SITE CONTEXT

NOTES

- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- DATE OF SURVEY: 11-25-2024
- THE BEARING OF N 89°59'00" E BETWEEN FOUND MOUNUMENTS ON THE MOUNUMENT LINE OF PINE LANE AS SHOWN ON THE PARCEL MAP RECORDED IN BOOK 962 OF MAPS AT PAGES 18-19, SANTA CLARA COUNTY RECORDS, WAS USED AS BASIS OF BEARINGS HEREON.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 2660 TO ARRANGE FOR DISTRICT OBSERVATION OF ALL WELL ABANDONMENTS.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER.
- ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
- PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.
- BENCHMARK: III-41
BRONZE DISK CITY OF LOS ALTOS "BM08" TOP OF CURB @ NE RETURN PINE LN & LOS ALTOS AVE, 1 FT SOUTH OF SOUTH EDGE OF HC RAMP. ELEVATION=122.892 DATUM: NAVD 1988
- LOT AREA=12,000± SF

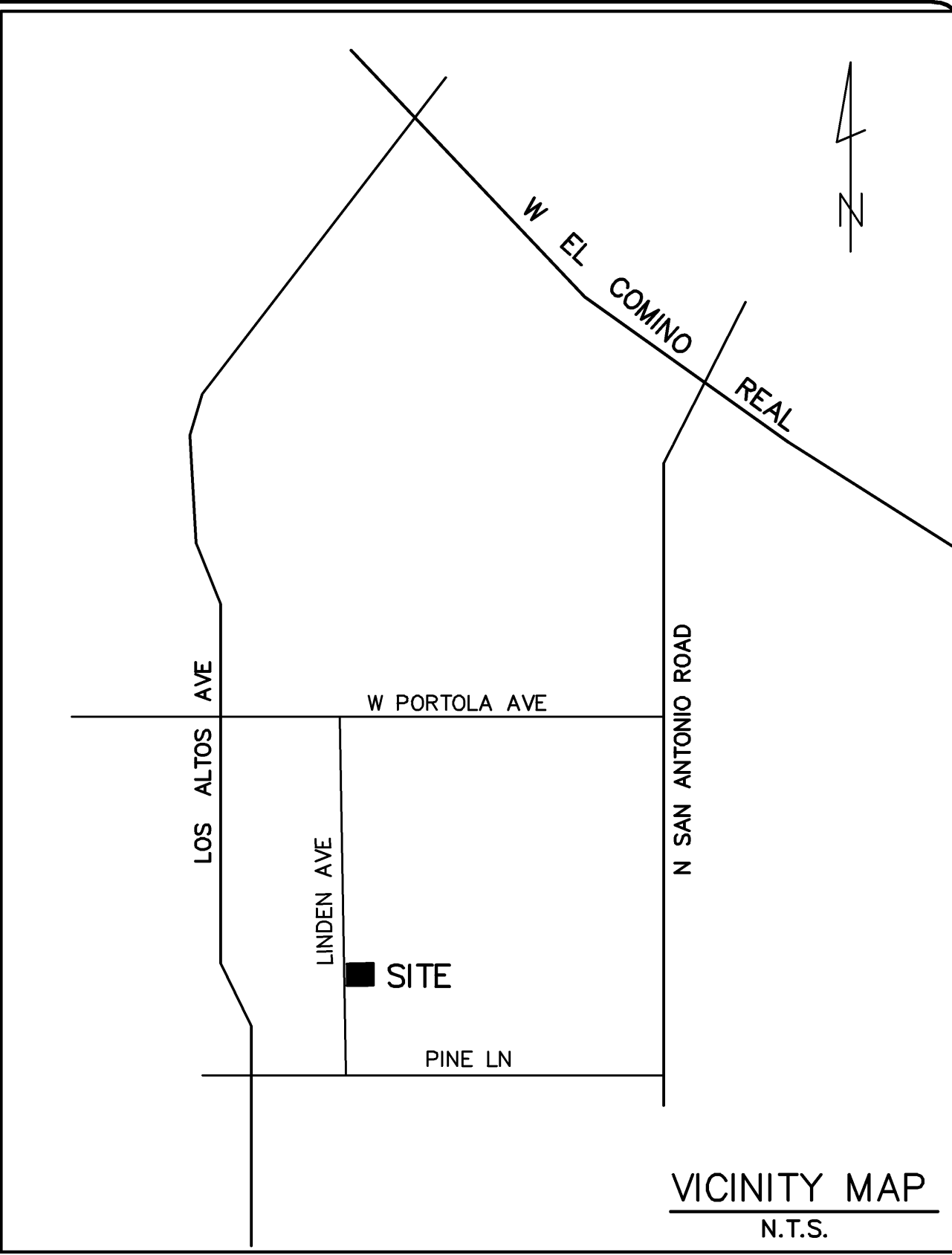
GRADING & DRAINAGE P L A N
APN 167-23-078
677 LINDEN AVENUE
LOS ALTOS, CA

ABBREVIATIONS

BOC	BACK OF CURB
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DS	DOWN SPOUT
DWY	DRIVEWAY
EL	ELECTROLIER
EM	ELECTRIC METER
FC	FACE OF CURB
FH	FIRE HYDRANT
FL	FLOW LINE
GM	GAS METER
GV	GAS VALVE
IRR	IRRIGATION
MON	MONUMENT
PP	POWER POLE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
W	WATER
WCR	WHEEL CHAIR RAMP
WM	WATER METER
WV	WATER VALVE

LEGEND:

EXISTING	(Symbol Size May Vary)	PROPOSED
---		Property Boundary
- - -		Centerline
====		Curb & Gutter
---SD---		Storm Drain
---SS---		Sanitary Sewer
---W---		Water
---G---		Gas
---E---		Electric
---X---		Fence
⊕		Electrolier
⊗		Swale
⊗		Water Valve
⊗		Field Inlet / Flat Grate Inlet
⊗		Sanitary Sewer
⊗		Storm Manhole
+ 102.89		Point Elevation as Noted
→		Direction of Surface Drainage
→		Overland Release
10		Contour
R		Ridge Line
Concrete		Concrete



PRELIMINARY

NOTES & LEGEND
APN 167-23-078
677 LINDEN AVENUE
IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS	
DATE	BY CHK'D DESCRIPTION

SCALE	N/A
DATE	03-19-25
DWN	SS ME30
CHK'D	
JOB NO.	24068
DWG. NO.	L15313

SHEET
C1
OF 4 SHEETS

EARTH WORK QUANTITIES

CUT: 40 C.Y.
FILL: 40 C.Y.
EXPORT: 0 C.Y.
IMPORT: 0 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

SHEET INDEX

C1 NOTES & LEGEND
C2 SITE SURVEY
C3 GRADING & DRAINAGE PLAN
C4 EROSION CONTROL PLAN

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-26 U.S. 9212-EXPIRES 09-30-25

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

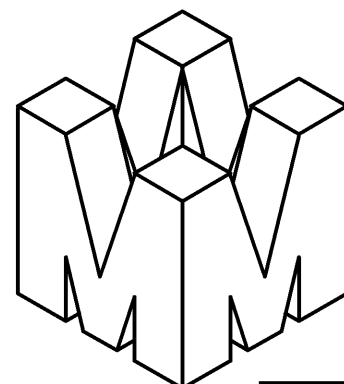
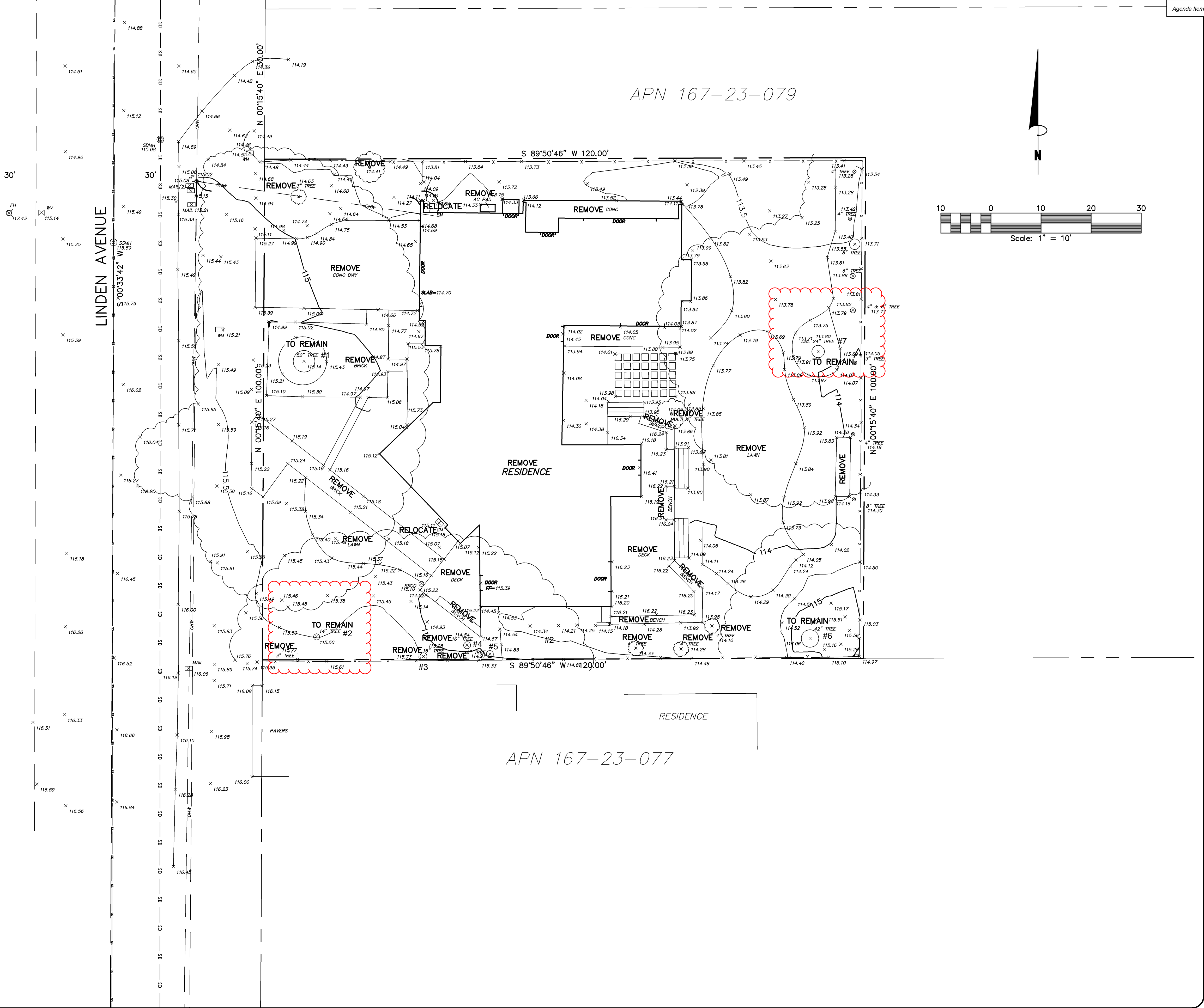
MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

Agenda Item 2.

NOTES

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3. DATE OF SURVEY: 11-25-24
4. BASIS OF BEARINGS:
THE BEARING OF N 89°59'00" E BETWEEN FOUND MOUNUMENTS ON THE MOUNUMENT LINE OF PINE LANE AS SHOWN ON THE PARCEL MAP RECORDED IN BOOK 962 OF MAPS AT PAGES 18-19, SANTA CLARA COUNTY RECORDS, WAS USED AS BASIS OF BEARINGS HEREON.
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6. LOT AREA=12,000± SF



DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-26 L.S. 9212-EXPIRES 09-30-25

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Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY
SITE SURVEY
APN 167-23-078
677 LINDEN AVE.
IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CH'KD

SCALE: 1"=10'

DATE: 03-19-25

DWN: SS ME30

CHKD:

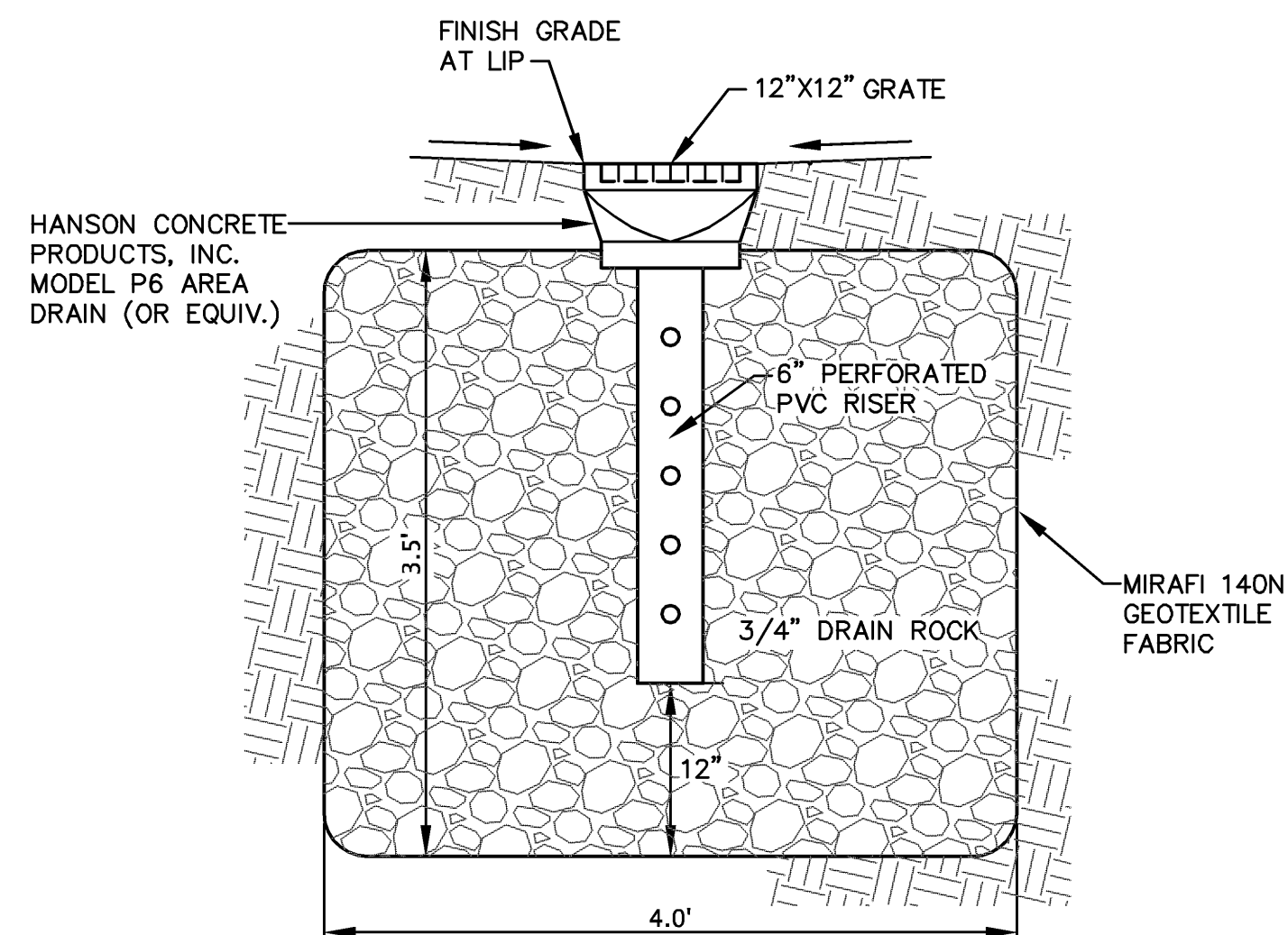
JOB NO. 24068

DWG NO. L15313

SHEET

C2

OF 4 SHEETS



PERCOLATION TEST TO BE CONDUCTED TO VERIFY SIZE.

30'

PH
117.43

WV
115.14

LINDEN AVENUE

S 00°33'42" W

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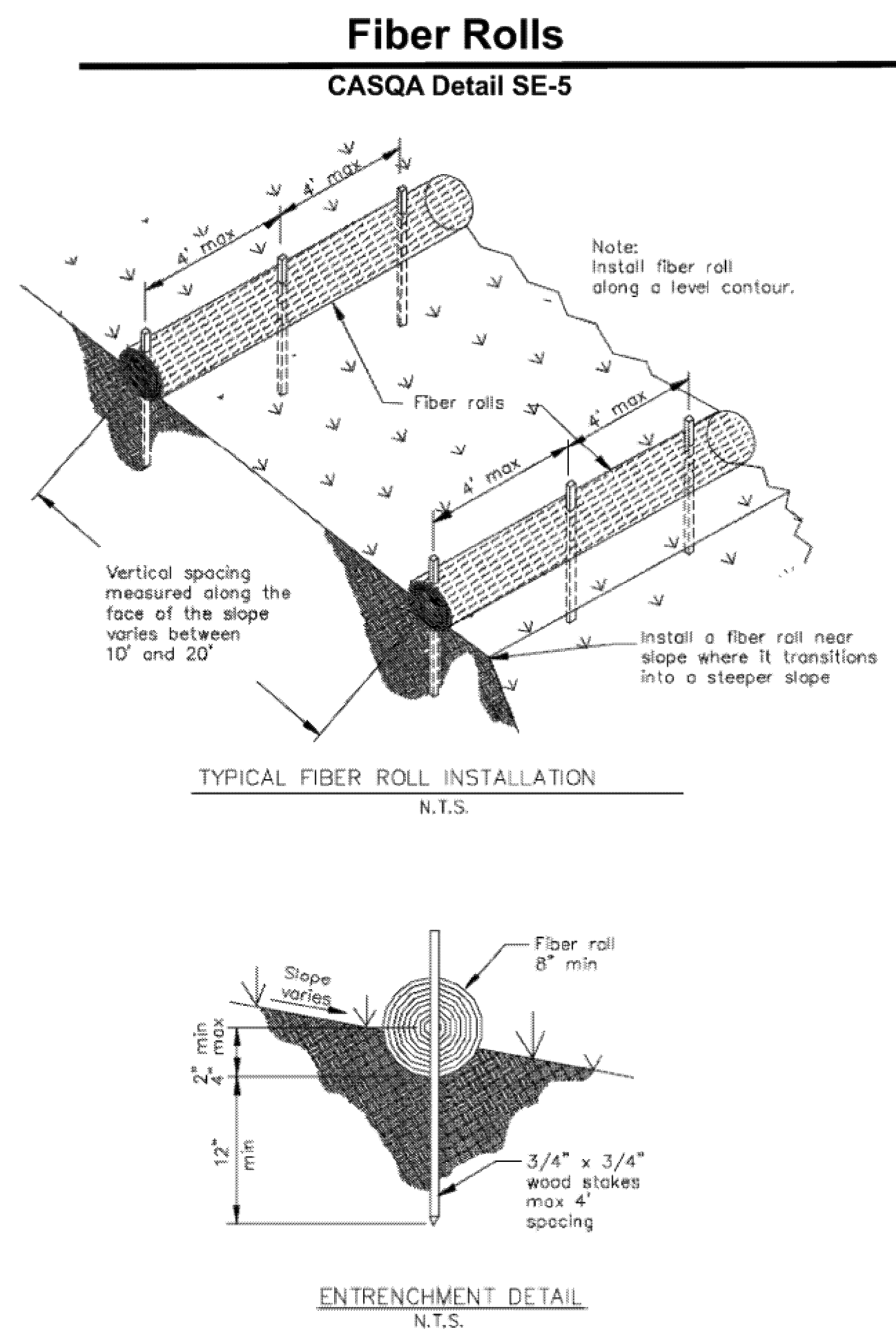
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LINDEN AVENUE

STABILIZED CONSTRUCTION
ENTRANCE/EXIT

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PRELIMINARY

EROSION CONTROL PLAN

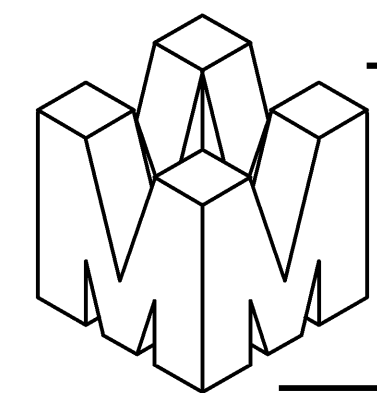
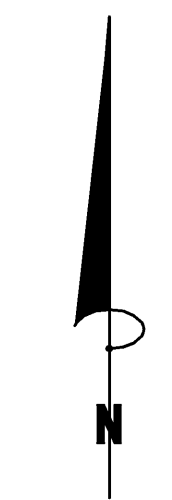
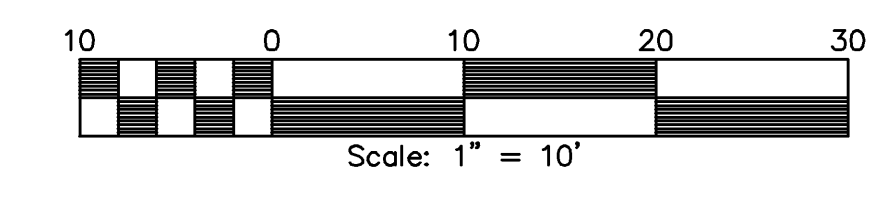
APN 167-23-078

677 LINDEN AVE.

IN THE CITY OF LOS ALTOS, CALIFORNIA

APN 167-23-079

APN 167-23-077



DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-26 L.S. 9212-EXPIRES 09-30-25

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2355 De La Cruz Blvd. Santa Clara, California 95050

Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

SCALE: 1"=10'

DATE: 03-19-25

DWN: SS ME30

CHKD:

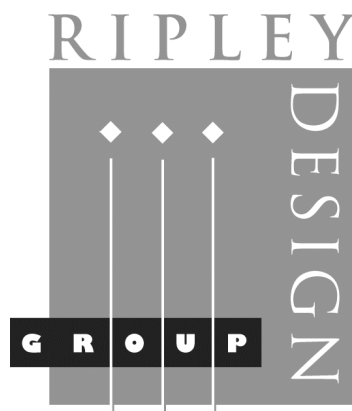
JOB NO. 24068

DWG NO. L15313

SHEET

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OF 4 SHEETS



RIPLEY DESIGN GROUP, INC.
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CLIENT:

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94022

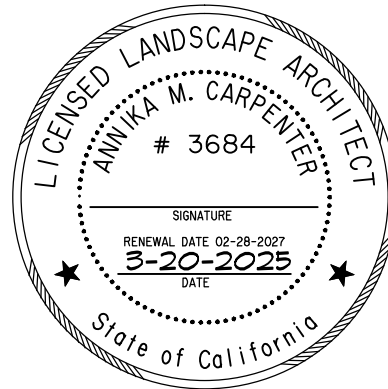
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PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

PRELIMINARY
SITE PLAN



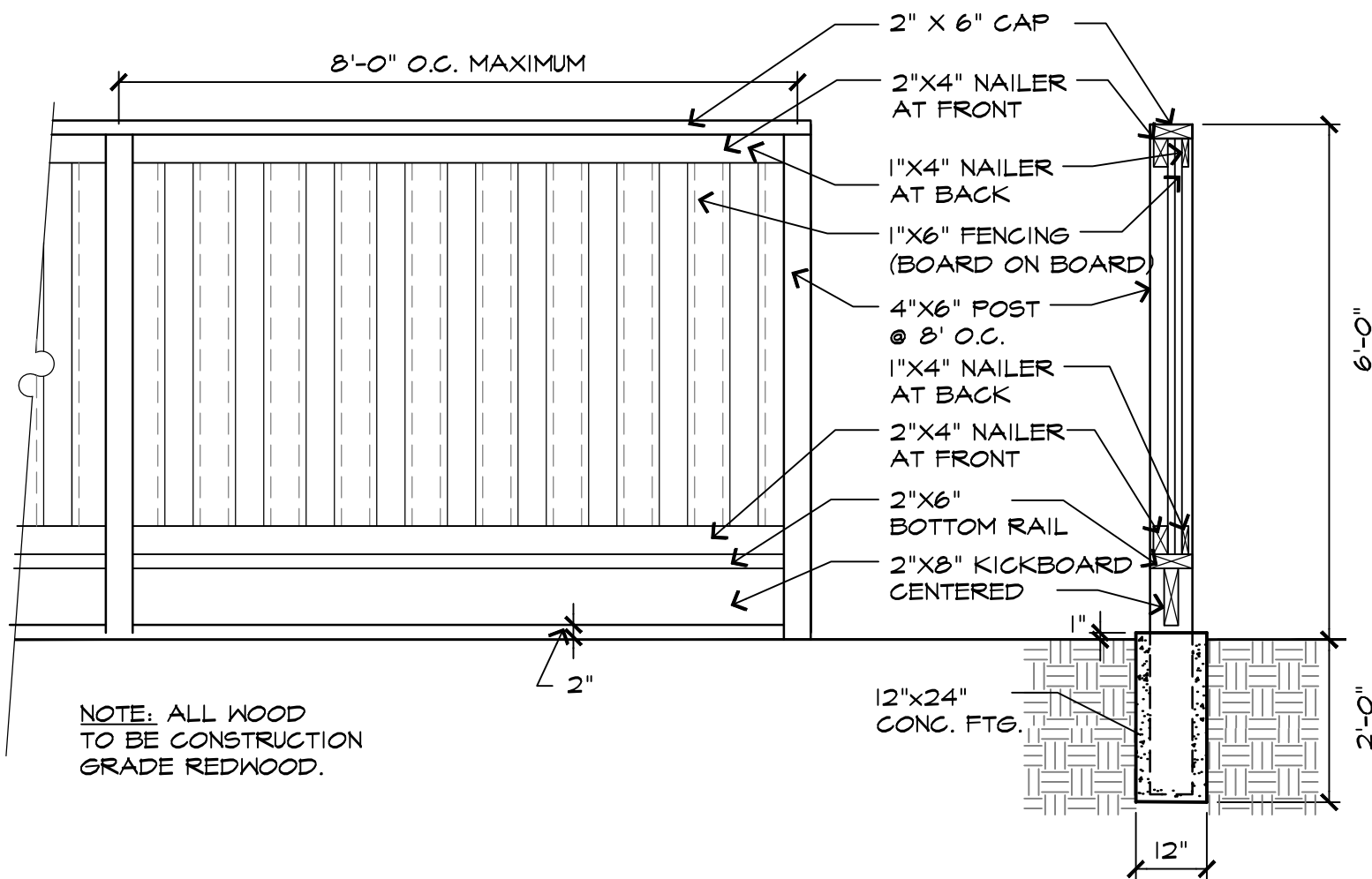
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DATE: MAR. 20, 2025
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DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

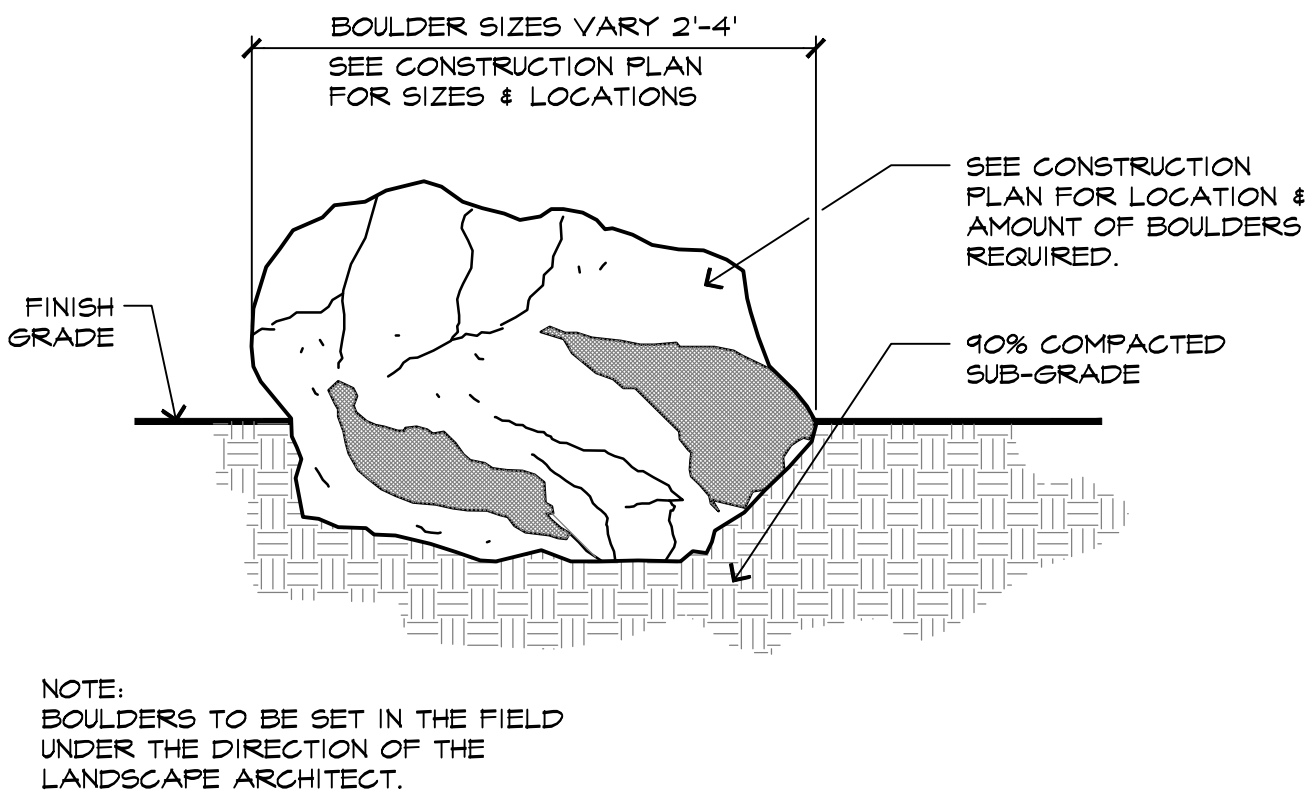
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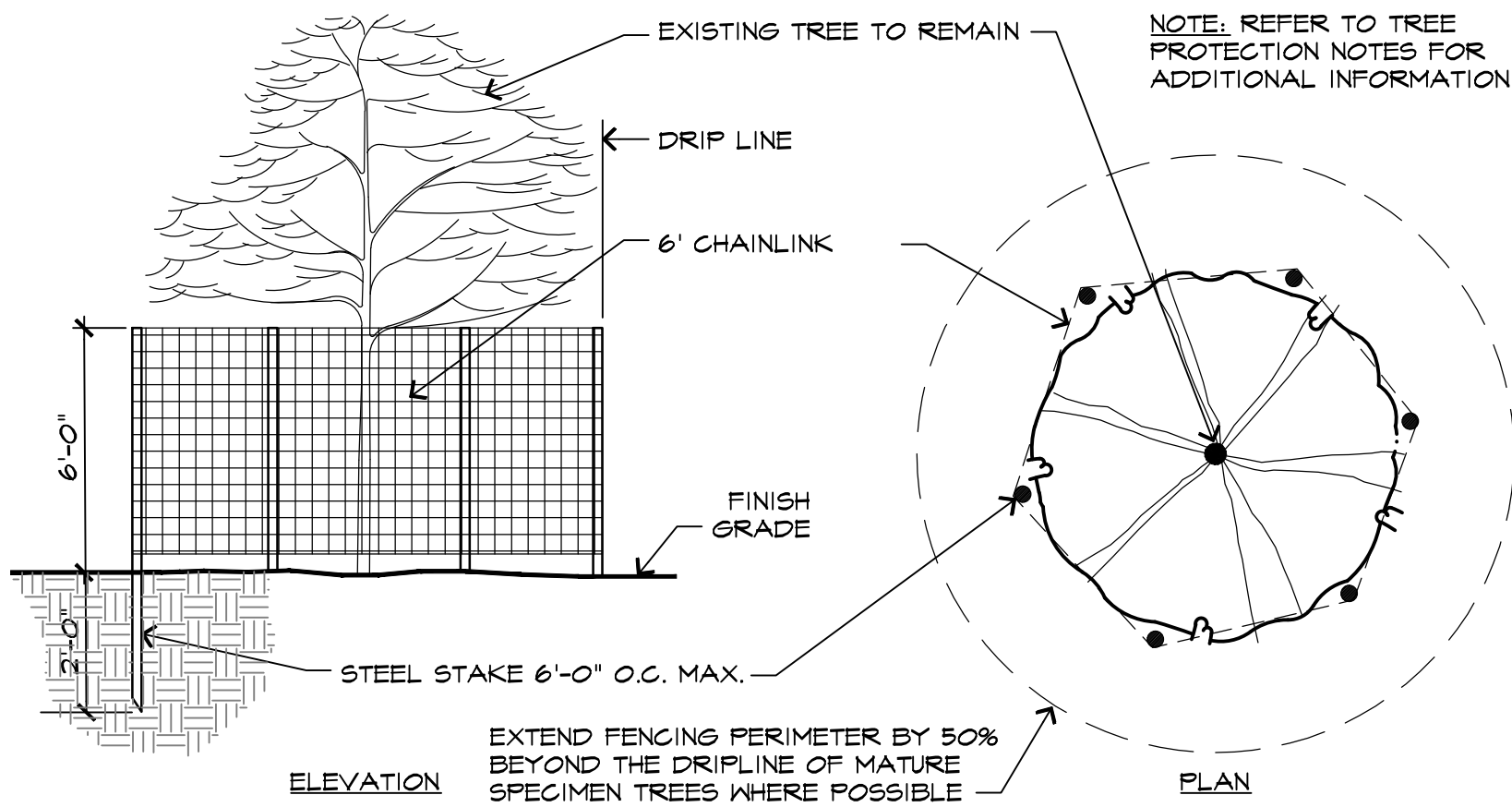
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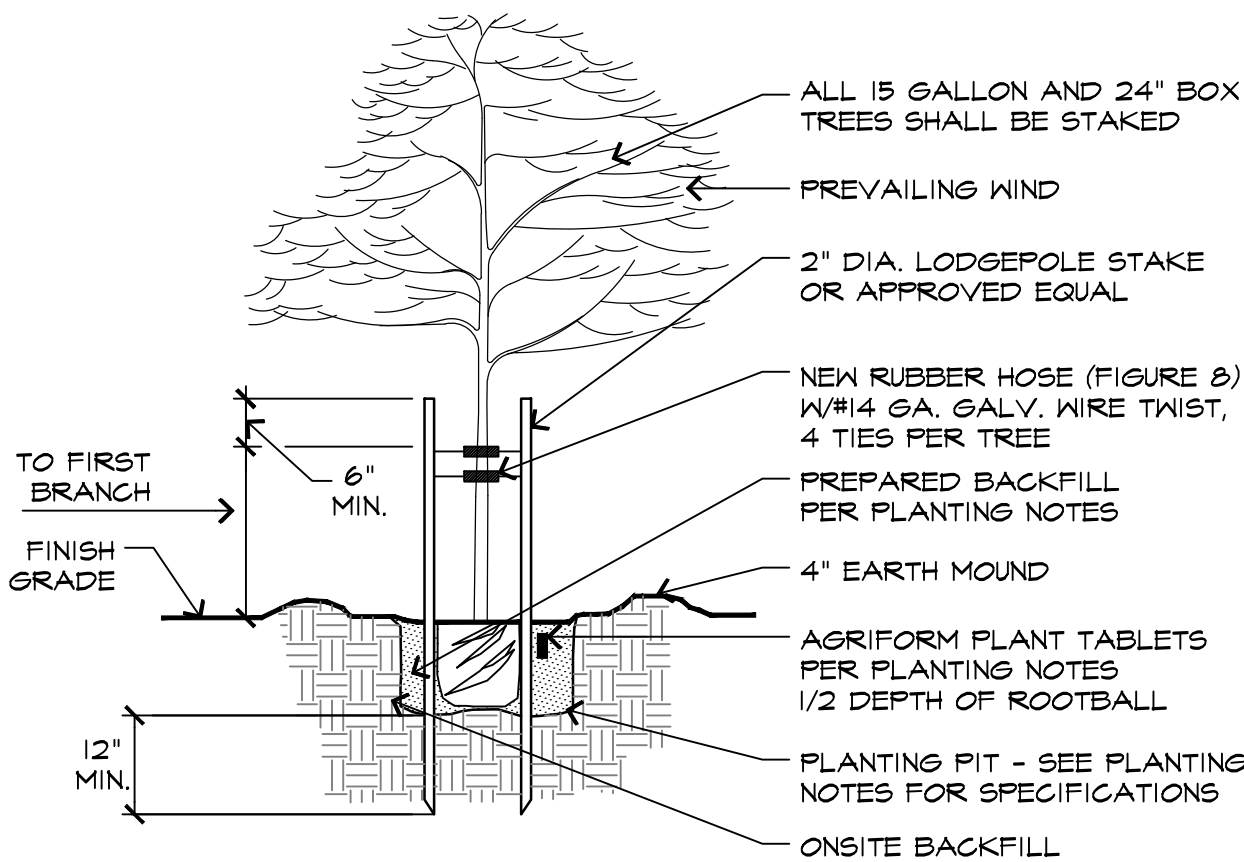
WOOD FENCE W/KICKERBOARD SCALE: 1/2" = 1'-0"
024 - Fencing



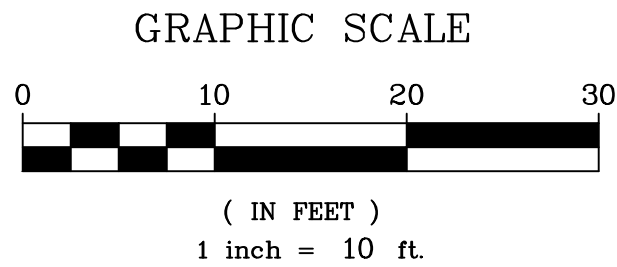
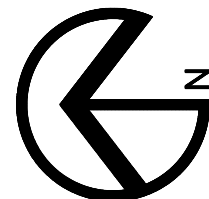
BOULDER INSET FINISHED GRADE N.T.S.
000 - Bldg



TREE PROTECTION FENCING DETAIL SCALE: N.T.S.
024 - TreeFencing



TREE PLANTING AND STAKING DETAIL SCALE: 1/2" = 1'-0"
024 - TreeSPing





PROPOSED IRRIGATION EQUIPMENT

SYMBOL	DESCRIPTION	SPECIFICATION	NOZZLE GPM	OPERATING PSI
	1" COMMON AREA WATER METER	-BY OTHER SECTION OF CONTRACT		
	1" IRRIGATION WATER SUBMETER	-RAINBIRD FM-100-B		
	1" FLOW SENSOR	-HUNTER HC SERIES, OR EQUAL		
	1" MASTER VALVE	-HUNTER PGV SERIES, OR EQUAL		
	ELECTRIC CONTROLLER (12 STA)	-HUNTER-I-CORE-IC600PL W/ ICM-600 (ET-BASED)		
	REMOTE CONTROL VALVES	-RAINBIRD PEB SERIES- PRS DIAL OR EQUAL		
	REMOTE CONTROL VALVES	-RAINBIRD PEB SERIES- PRS DIAL W/ REGULATOR & FILTER OR EQUAL		
	BALL VALVE	-NIBCO-T-560-BR-20-IRR-LINE SIZE		
	FLUSH VALVE	-NETAFIM TECHLINE OR EQUAL		
	BACKFLOW PREVENTOR	-3/4" WILKINS 975XL		
	PRESSURE REGULATOR	-ZURN WILKINS NR3XL OR EQUAL		
	TREE EMITTER TUBING CIRCUIT (REPRESENTS COVERAGE AREA)	-RAINBIRD XFD ON-SURFACE DRIPLINE OR EQUAL (0.6 GPH, 18" SPACING BOTH WAYS)	.19	
	SHRUB BUBBLER	-PEPCO-OCTA-BUBBLER (2 gph)	.27	30
	4" POP-UP TURF SPRAY HEADS	-HUNTER-MP800SR-ORANGE-90-8'R,10'R,12'R	0.16,0.23,0.28	30
	4" POP-UP TURF SPRAY HEADS	-HUNTER-MP800SR-ORANGE-180-8'R,10'R,12'R	0.32,0.42,0.50	30
	4" POP-UP TURF SPRAY HEADS	-HUNTER-MP800SR-ORANGE-210-8'R,10'R,12'R	0.37,0.49,0.58	30
	4" POP-UP TURF SPRAY HEADS	-HUNTER-MP800SR-GREEN-360-8'R,10'R,12'R,	0.63,0.78,0.98	30
	IRRIGATION SUPPLYLINE - 1-1/2"	-1120/SCHEDULE 40 PVC PIPE	-18" COVER	
	IRRIGATION SPRINKLERLINE	-1120/CLASS 200 PVC PIPE	-12" COVER	
	ELECTRICAL CONDUIT	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
	SLEEVING	-1120/SCHEDULE 80 PVC PIPE	-24" COVER	
	CONTROLLER STATION NUMBER			
	GALLONS PER MINUTE THROUGH VALVE			
	CONTROL VALVE SIZE (INCHES)			

WATER BUDGET CALCULATIONS:

LOW WATER USE PLANTING AREA = 2,639 SF
MEDIUM WATER USE PLANTING AREA = 40 SF
TOTAL PLANTING AREA = 2,679 SF

ESTIMATED TOTAL WATER USE:

ETWU (LOW WATER USE) = (45.4) X (0.62) X $\frac{(0.2 \times 2,639)}{0.71}$ = 20,925 GAL/YR

ETWU (MEDIUM WATER USE) = (45.4) X (0.62) X $\frac{(0.4 \times 40)}{0.71}$ = 634 GAL/YR

TOTAL ETWU = 21,559 GAL/YR

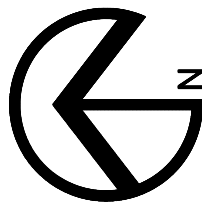
MAXIMUM APPLIED WATER ALLOWANCE:

MAWA (TOTAL LANDSCAPED AREA) = (45.4) X (0.62) X (0.45 X 2,679) = 33,934 GAL/YR

LANDSCAPE HYDROZONE LEGEND

ZONE A:
PARTIAL TO FULL SUN, DROUGHT
TOLERANT PLANTING AND TREES
WITH DRIP EMITTERS. LOW WATER
USE.

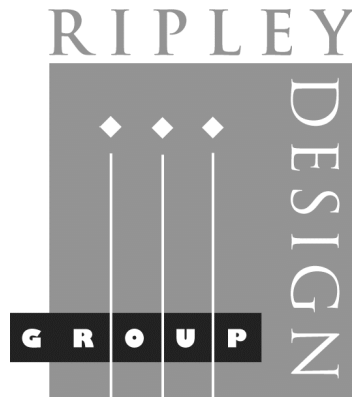
ZONE B:
MODERATE WATER USE TREES AND
ACCENT TREES WITH IN LINE DRIP
(NOT SHOWN) MODERATE WATER
USE. EXISTING OAK TREES NOT TO
BE IRRIGATED.



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



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CLIENT:

SAM LEE

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LOS ALTOS, CA
94022

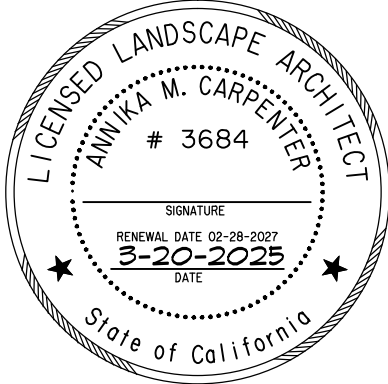
TEL: (408) 761-2221

PROJECT:

677 LINDEN
AVENUE

LOS ALTOS,
CALIFORNIA

PRELIMINARY
IRRIGATION
PLAN



PROJECT #:

DATE: MAR. 20, 2025

SCALE: 1"=10'

DRAWN BY: WPG

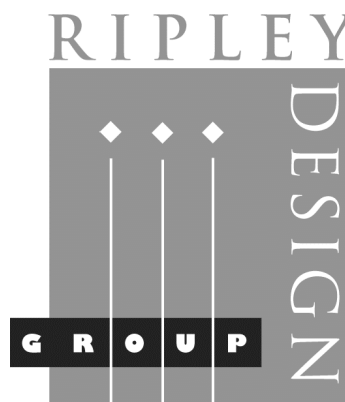
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REVISIONS:

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OF 1 SHEET



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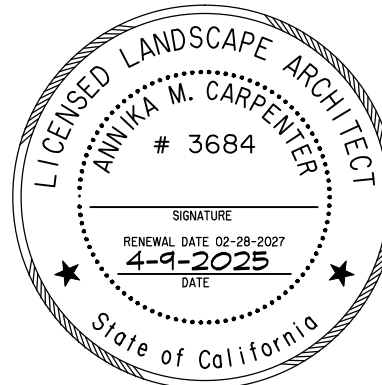
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

PRELIMINARY
PLANTING
PLAN



PROJECT #:
DATE: APR. 9, 2025
SCALE: 1"=10'
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

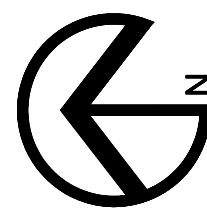
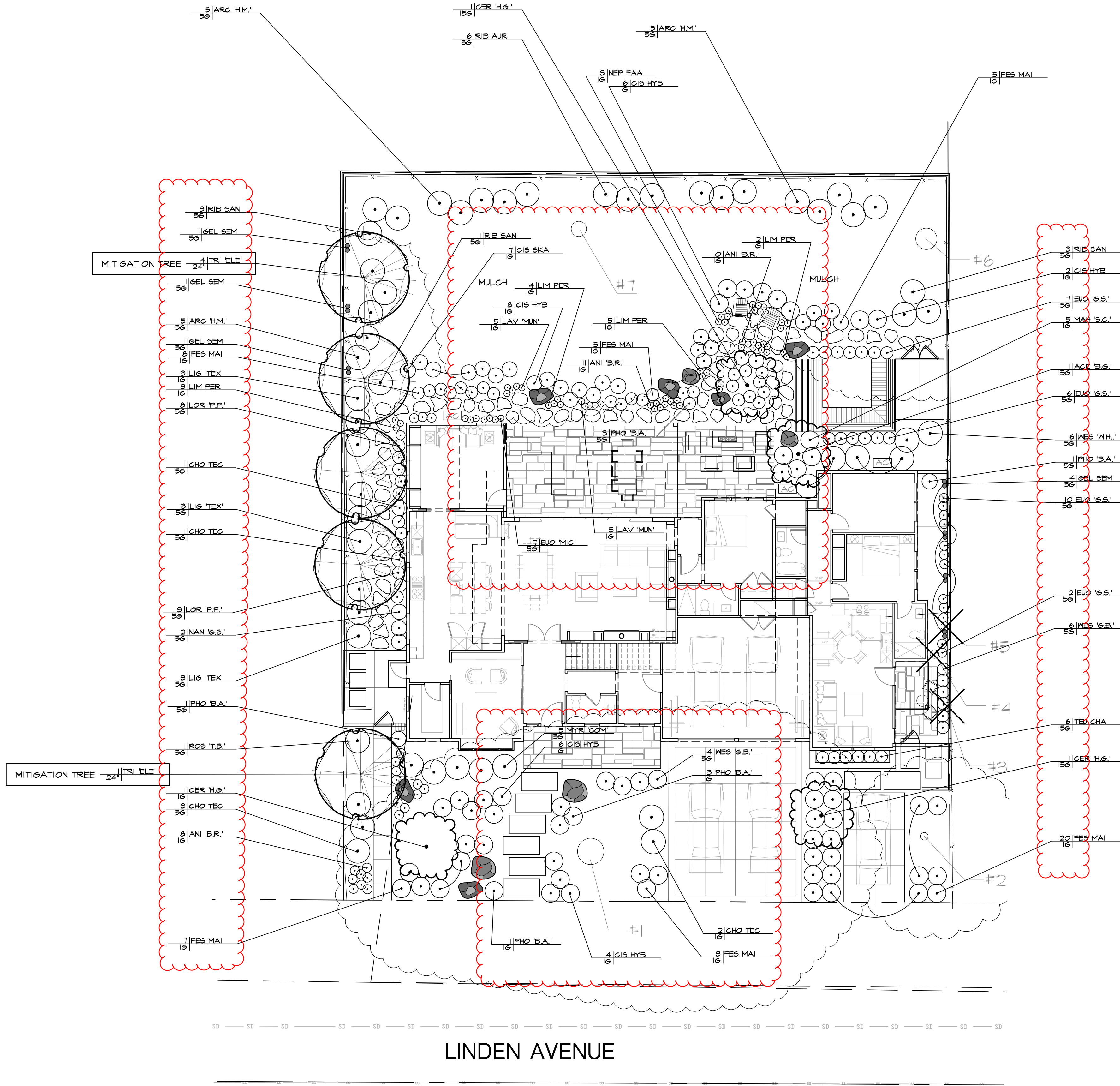
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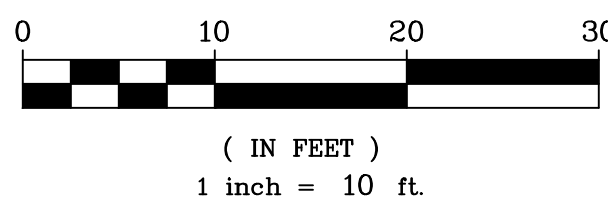
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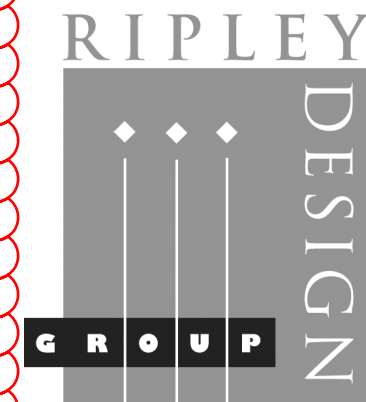
PROPOSED PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER	WATER	SIZE	SPACE
TREES						
ACE 'B.G.'	ACER PALMATUM 'BLOOD GOOD'	JAPANESE MAPLE	15 GALLON	MED	15' X 15'	15'
CER 'H.G.'	CERIS C. 'HEARTS OF GOLD'	HEARTS OF GOLD REDBUD	15 GALLON	LOW	15' X 15'	15'
TRI 'ELE'	TRISTANIA LAURINA 'ELEGANT'	WATER GUM	24" BOX	MED	15' X 40'	15'
SHRUBS						
ANI 'B.R.'	ANIGOZANTHOS 'BUSH RANGER'	KANGAROO PAW	1 GALLON	LOW	3' X 2'	2'
ARC 'H.M.'	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GALLON	LOW	5' X 4'	4'
CHO 'TEC'	CHONDRPETALUM TECTORUM	CAPE RUSH	5 GALLON	LOW	4' X 4'	3.5'
CIS 'HYB'	CISTUS HYBRIDUS	ROCKROSE	5 GALLON	LOW	5' X 2'	4'
DAP 'AUR'	DAPHNE O. 'AUROMARGINATA'	WINTER FLOWERING DAPHNE	5 GALLON	LOW	4' X 4'	3.5'
EUD 'G.S.'	EUONYMUS J. 'GREEN SPIRES'	GREEN SPIRES EUONYMUS	5 GALLON	LOW	2' X 5'	1.5'
FES 'MAI'	FESTUCA MAIREI	ATLAS FESCUE	5 GALLON	LOW	2' X 2'	2'
LAV 'MUN'	LAVANDULA A. 'MUNSTEAD'	ENGLISH LAVANDER	5 GALLON	LOW	1.5X1.5'	1.5'
LIG 'TEX'	LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GALLON	LOW	5' X 10'	4'
LIM 'PER'	LIMONIUM PEREZII	SEA LAVENDER, STATICE	5 GALLON	LOW	2'X1.5'	1.5'
LOR 'P.P.'	LOROPATALUM C. 'PURPLE PIXIE'	DWF PURPLE FRINGE FLWR	5 GALLON	LOW	2' X 2'	2'
MYR 'COM'	MYRTUS C. 'COMPACTA'	DWARF MYRTLE	5 GALLON	LOW	3.5X3'	3.5'
NAN 'COM'	NANDINA D. 'COMPACTA'	DWARF HEAVENLY BAMBOO	5 GALLON	LOW	2.5X2.5'	2.5'
NAN 'G.S.'	NANDINA D. 'GULF STREAM'	GULF STREAM BAMBOO	5 GALLON	LOW	2.5X2.5'	2.5'
NEP 'FAA'	NEPETA FAASSENNII	CATMINT	5 GALLON	LOW	2' X 1'	1.5'
PHO 'B.A.'	PHORMIUM T. 'BLACK ADDER'	NEW ZEALAND FLAX	5 GALLON	LOW	2.5'X4'	2.5'
RHA 'L.S.'	RHAMNUS CAL. 'LITTLE SUR'	DWARF COFFEEBERRY	5 GALLON	LOW	2.5' X 4'	2.5'
RHA 'MSB'	RHAMNUS CAL. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GALLON	LOW	5' X 6'	5'
RIB 'AUR'	RIBES AUREUM	GOLDEN CURRANT	5 GALLON	LOW	5' X 5'	5'
RIB 'SAN'	RIBES SANGUINEUM	RED FLOWERING CURRANT	5 GALLON	LOW	5' X 5'	5'
ROS 'T.B.'	ROSMARINUS O. 'TUSCAN BLUE'	ROSEMARY	5 GALLON	LOW	4' X 4'	3.5'
TEU 'CHA'	TEUCRIUM CHAMAEDRYS	WALL GERMANDER	5 GALLON	LOW	1.5X1.5'	1.5'
WES 'W.H.'	WESTRINGIA F. 'WYNYABBIE HIGHLIGHT'	COAST ROSEMARY	5 GALLON	LOW	3.5X3.5'	3.5'
WES 'G.B.'	WESTRINGIA F. 'GREY BOX'	DWARF COAST ROSEMARY	5 GALLON	LOW	2.5X2.5'	2.5'
VINES						
FIC 'MIN'	FICUS P. 'MINIMA'	CREeping FIG	5 GALLON	LOW	10X20'	10'
GEL 'SEM'	GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GALLON	LOW	20X20'	10'
ROS 'BAN'	ROSA BANKSAI	LADY BANKS ROSE	5 GALLON	LOW	15'X15'	10'



GRAPHIC SCALE





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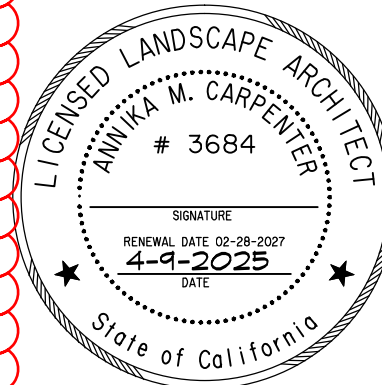
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

**LOS ALTOS,
CALIFORNIA**

**PRELIMINARY
TREE
PROTECTION
PLAN**



PROJECT #:
DATE: APR. 9, 2025
SCALE: 1"=10'
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

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OF 1 SHEET

PRESERVATION PLAN & TREE PROTECTION FENCING REQUIREMENTS:

THE TREES LOCATED ON THE NEIGHBORING PROPERTIES WILL BE PRESERVED AND PROTECTION MEASURES WILL NEED TO BE SET IN PLACE TO ENSURE THEY SURVIVE THE CONSTRUCTION. THE FOLLOWING ARE RECOMMENDED FOR ALL TREES DESIGNATED FOR PRESERVATION.

1. TREE PROTECTION FENCING:
THE PROTECTIVE FENCING REQUIREMENTS ARE THE FOLLOWING:
- SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON EIGHT-FOOT TALL, 2-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART.
 - POSTED WITH SIGNS SAYING "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST -"
 - THE CITY REQUIRES THAT TREE PROTECTION FENCING BE INSTALLED BEFORE ANY EQUIPMENT COMES ON SITE AND INSPECTED BY THE CITY ARBORIST BEFORE ISSUANCE OF PERMITS.
 - **TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.**

TREE PROTECTION ZONE: THE TREE PROTECTION ZONE IS THE DISTANCE FROM THE TRUNK TO A POINT THAT IS FIVE FEET BEYOND THE CANOPY OF A TREE PROTECTED BY CITY CODE. TREE PROTECTION FENCING SHALL BE LOCATED AS CLOSE TO THIS LOCATION AS POSSIBLE WHILE ALLOWING ROOM FOR CONSTRUCTION TO OCCUR.

"TREE PROTECTION LOCATIONS WILL BE MARKED ON THE SITE PLAN IN RED".

2. ROOT PRUNING:
WHEN PERFORMING ANY DIGGING OR TRENCHING WITHIN THE DRIP LINES OF EACH TREE, EXTREME CAUTION MUST BE TAKEN NOT TO DAMAGE THE TREE ROOTS OR PARTS. THE FOLLOWING CAN BE DONE TO ENSURE THE RESERVATION OF THE TREES:
- ALL EXCAVATION PERFORMED WITHIN THE DRIP LINE OF EACH TREE MUST BE PERFORMED UNDER THE SUPERVISION OF THE SITE ARBORIST AND ONLY BY HAND DIGGING.
 - NO HEAVY EQUIPMENT SHOULD ENTER THE DRIP LINES OF TREES TO PREVENT COMPACTION OR ROOT DAMAGE.
 - ROOTS OVER 2" IN DIAMETER SHOULD NOT BE PRUNED WITHOUT THE SUPERVISION OF THE SITE ARBORIST. ROOTS SHOULD BE CUT CLEAN AND NOT TORN TO PROVIDE MAXIMUM POTENTIAL FOR HEALING.
 - ROOTS SHOULD BE COVERED WITH BURLAP OR SOIL AFTER PRUNING TO PROTECT FROM HEAT AND SUNLIGHT.

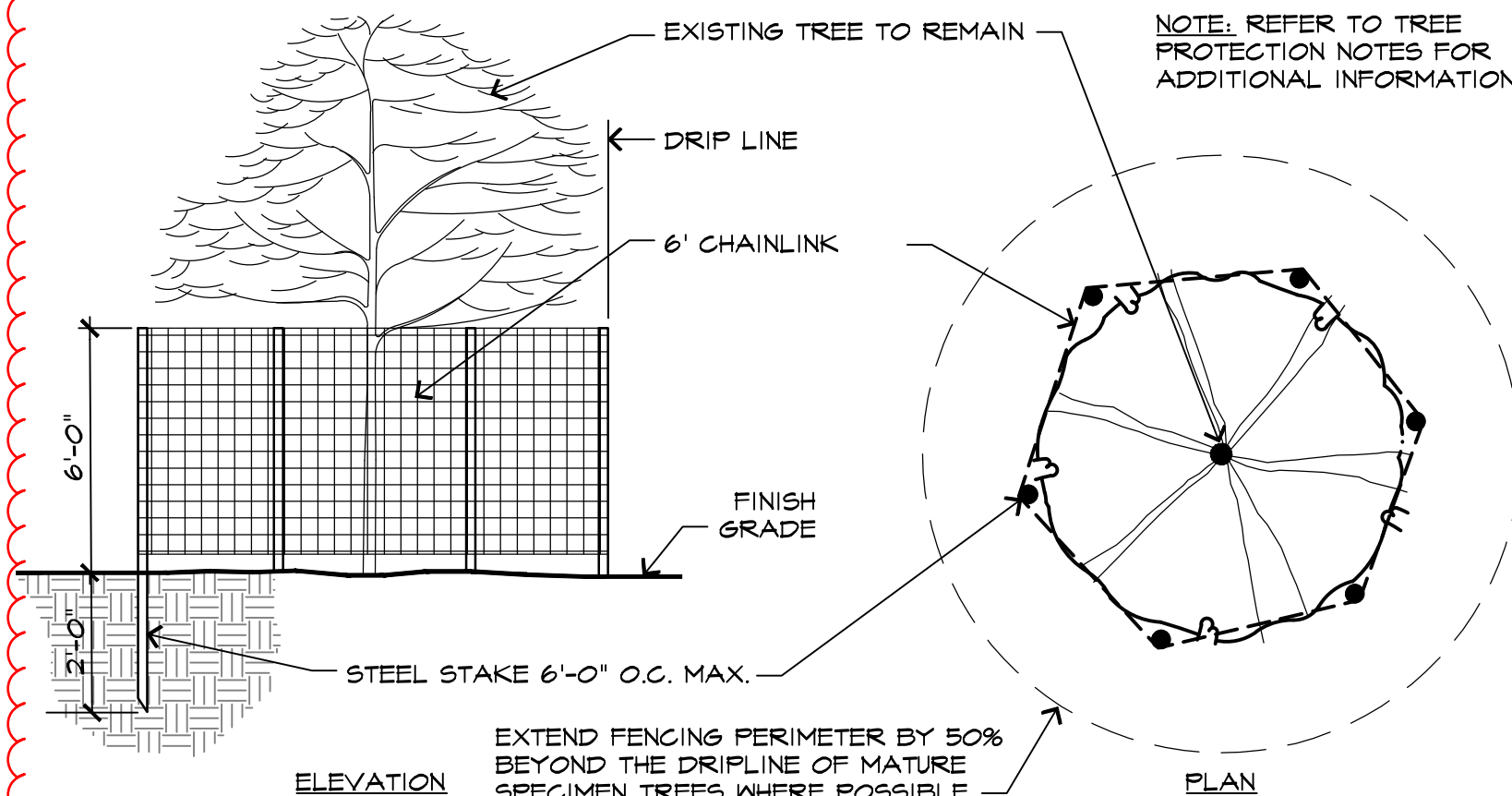
TREE HEALTH MANAGEMENT
THE TREES ON SITE ARE IN GOOD HEALTH AND LITTLE NEEDS TO BE DONE TO MAINTAIN THEIR CONDITION.

- WATERING: TREES SHOULD NOT NEED ANY ADDITIONAL WATER OTHER THAN WINTER WATERING AND THE WATER THEY RECEIVE FROM THE SURROUNDING SYSTEMS. CAUTION TO AVOID HEAVY WATERING IN SUMMER WILL HELP PREVENT ROOT ROT.
- MULCHING: ADDING MULCH WITHIN THE DRIP LINE OF CANOPIES WILL HELP SOIL RETAIN MOISTURE AND ALSO PREVENT COMPACTION FROM FOOT TRAFFIC. USE NATURAL MULCH AT A DEPTH OF 3-4 INCHES. KEEP MULCH A MINIMUM OF 12" AWAY FROM TRUNK AND ROOT CROWNS.
- PRUNING: PRUNING TREES WILL HELP PREVENT RISK SHOULD A BRANCH FAIL. IT WILL ALSO MAINTAIN STRUCTURAL INTEGRITY AND BALANCE. PRUNE IN WINTER IS BEST. THE TREES WERE RECENTLY PRUNED AND SHOULD NOT NEED IT FOR A FEW YEARS. SOME TREES WERE POORLY PRUNED TO PROVIDE CLEARANCE FROM THE NEIGHBORING PROPERTIES AND MAY REQUIRE ADDITIONAL PRUNING TO BALANCE THE CANOPIES.
- FERTILIZATION: FERTILIZING TREES IN FALL AND SPRING ALONG WITH WATERING WILL HELP IMPROVE HEALTH AND VIGOR. SPECIFIC QUANTITIES AND TYPES CAN BE DISCUSSED WITH ONSITE ARBORIST.

PRUNING
TREES RECOMMENDED FOR PRUNING SHOULD BE PRUNED IN COMPLIANCE WITH ANSI A-300 STANDARDS, IN ACCORDANCE WITH THE CITY OF LOS ALTOS SPECIFICATIONS, AND BY A COMPANY WITH A CERTIFIED ARBORIST ON STAFF.
PRUNING HAS THE POTENTIAL TO REDUCE RISK, IMPROVE STRUCTURAL INTEGRITY, IMPROVE THE TREES BALANCE, AND PROVIDE CLEARANCE FOR CONSTRUCTION ACTIVITY.

677 Linden Avenue
Tree Data:
Arborist report prepared by San Jose Tree Service, INC.

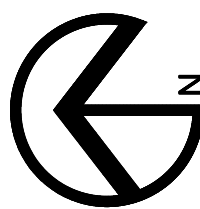
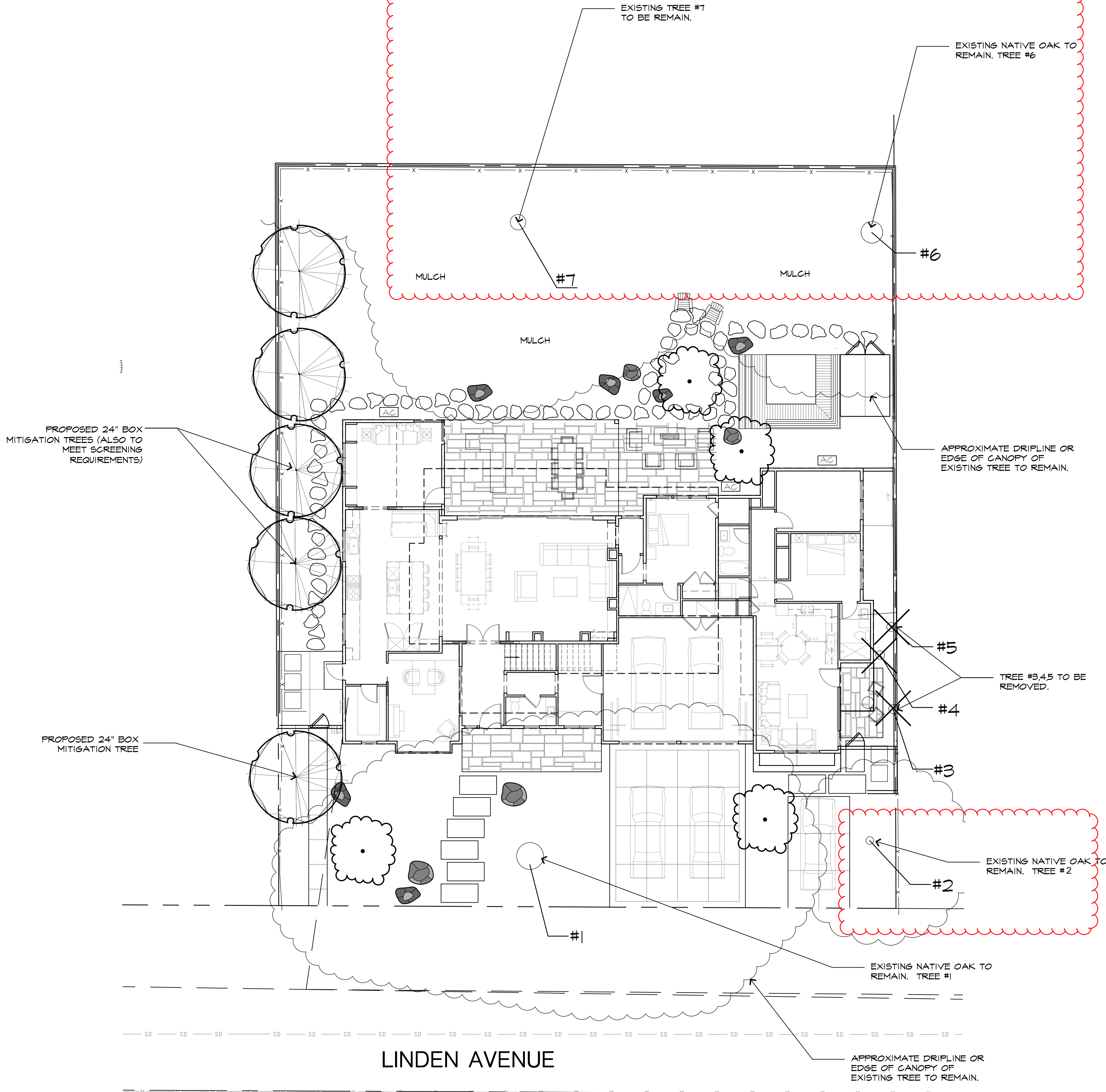
Tree Number	Botanical Name	Common Name	DBH	Height	Protected Tree Y/N	Remove or Retain
1	<i>Quercus lobata</i>	California White Oak	53"	50'	Y	Retain
2	<i>Quercus ilex</i> ²	Roble negro	12"	25'	Y	Retain
3	<i>Quercus agrifolia</i>	Coastal Live Oak	16"	40'	Y	Remove
4	<i>Quercus agrifolia</i>	Coastal Live Oak	21"	40'	Y	Remove
5	<i>Quercus agrifolia</i>	Coastal Live Oak	17"	40'	Y	Remove
6	<i>Quercus agrifolia</i>	Coastal Live Oak	18"	45'	Y	Retain
7	<i>Quercus agrifolia</i>	Coastal Live Oak	43"	60'	Y	Retain



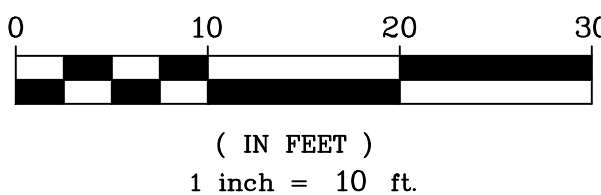
TREE PROTECTION FENCING DETAIL

SCALE : N.T.S.

024 - TreeFencing



GRAPHIC SCALE

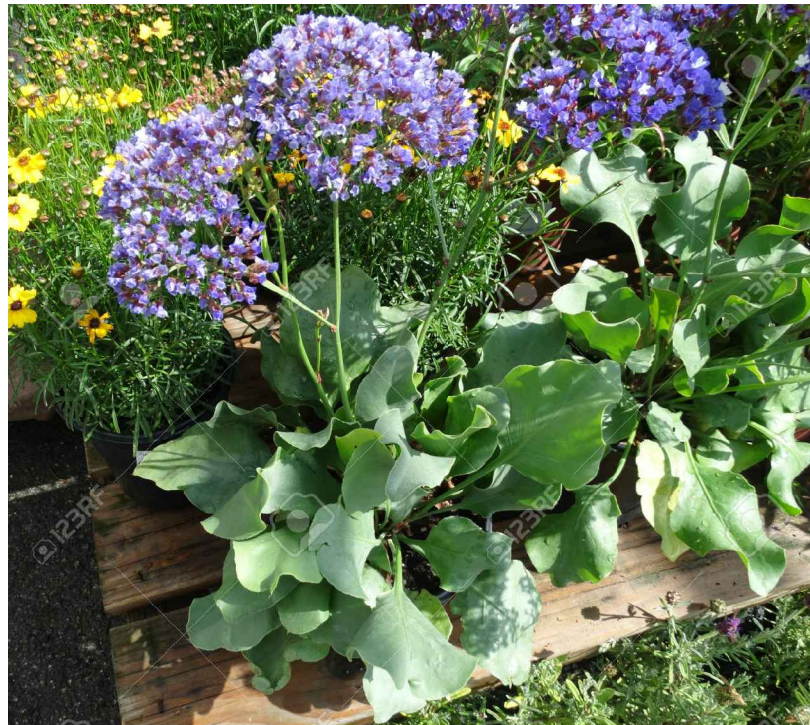




LAGERSTROEMIA NANCHEZ
WHITE CRAPE MYRTLE



ACER PALMATUM 'BLOODGOOD'
JAPANESE MAPLE



LIMONIUM PREZII
SEA LAVENDER



LAVATERA MARITIMA
TREE MALLOW



HYPERICUM MOSERIANUM
GOLD FLOWER



ESPALIER FRUIT TREE



CERCIS CANADENSIS
EASTERN REDBUD



GELSEMIUM SEMPERVIRENS
CAROLINA JESSAMINE



ANIGOZANTHOS FLAVIDUS
KANGAROO PAW



RHAPHIOLEPIS 'UMBELLATA'
DWARF YEDDO HAWTHORN



STACHYS BYZANTINA
LAMBS EAR



BOUTELLOUA G. 'BLONDE AMBITION'
GRAMA GRASS



EUONYMUS J. 'MICROPHYLLUS'
BOXLEAF EUONYMUS



LOROPETALUM CHINENSE
FRINGE FLOWER



JUNCUS PATENS 'ELK BLUE'
CALIFORNIA GREY RUSH



FESTUCA MAIREI
MAIRE'S FESCUE



CISTUS SKANBERGII
ROCKROSE



RHAMNUS CALIFORNICA
COFFEEBERRY



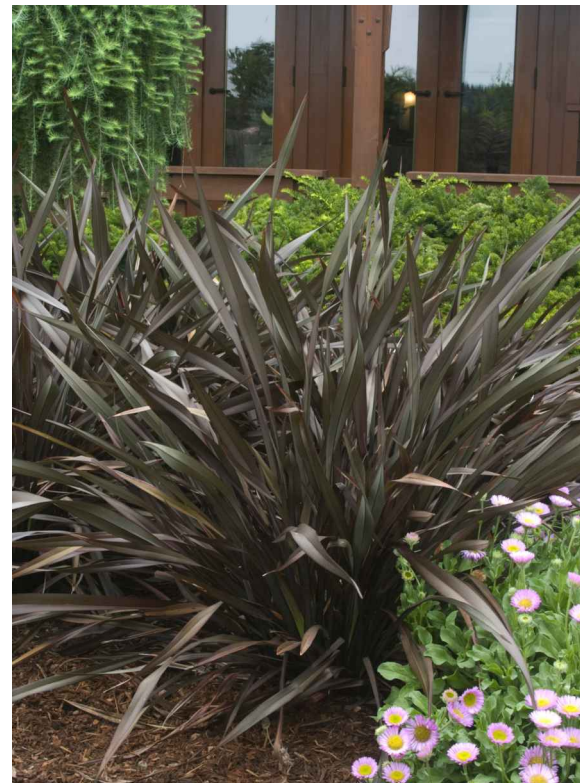
ACACIA 'COUSIN ITT'
LITTLE RIVER WATTLE



PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
BLUE BEDDER PENSTEMON



DIETES BICOLOR 'MORAEA'
FORTNIGHT LILY



PHORMIUM TENAX 'HYD'
NEW ZEALAND FLAX



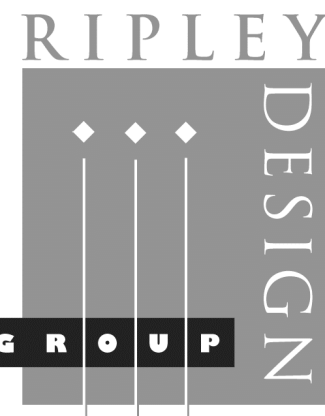
CHONDROPETALUM TECTORUM
CAPE REED



PACIFIC COAST IRIS
IRIS PACIFIC COAST HYBRID



NEPETA FAASSENNII
CATMINT



RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377
Fax 925.938.7436

CLIENT:

SAM LEE

677 LINDEN AVE.
LOS ALTOS, CA
94022

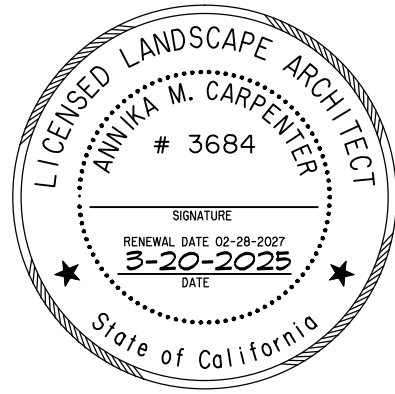
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

**PLANT
IMAGERY**



PROJECT #:
DATE: MAR. 20, 2025
SCALE: NO SCALE
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

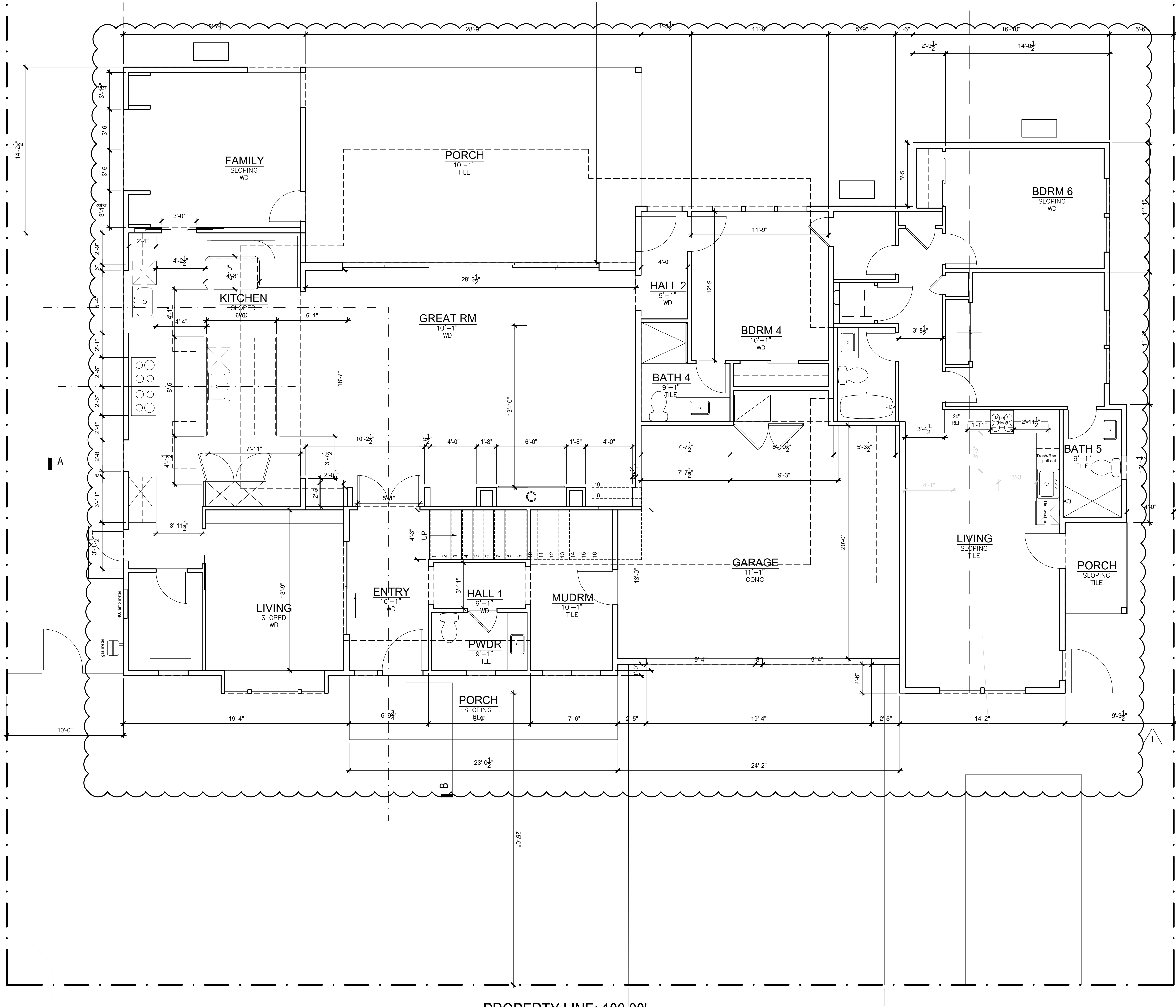
SHEET

LP.2

OF 1 SHEET

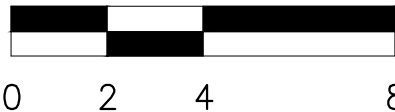
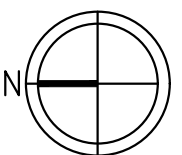
CAL GREEN PLAN NOTES:

1. The contractor shall comply with the CalGreen Code and the local construction waste management plan requirements. This includes tracking and documenting that 65% of construction waste must be recycled in accordance with the CalGreen Code and local requirements. Turnover documentation and verification of compliance to the inspector at the completion of the project.
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5. The shower head flow rate shall be 1.8 gpm maximum at 80 psi.
6. The bathroom sink faucets flow rate shall be 1.2 gpm maximum at 60 psi.
7. The kitchen faucets flow rate shall be 1.8 gpm maximum at 60 psi.
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11. Gas fireplace shall be a direct-vent sealed-combustion type.
12. Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar methods acceptable to the enforcing agency.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFERENCE



SHEET TITLE:
FIRST FLOOR
PLAN

SHEET NUMBER:

A2.01

27

PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL

PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

Agenda Item 2.

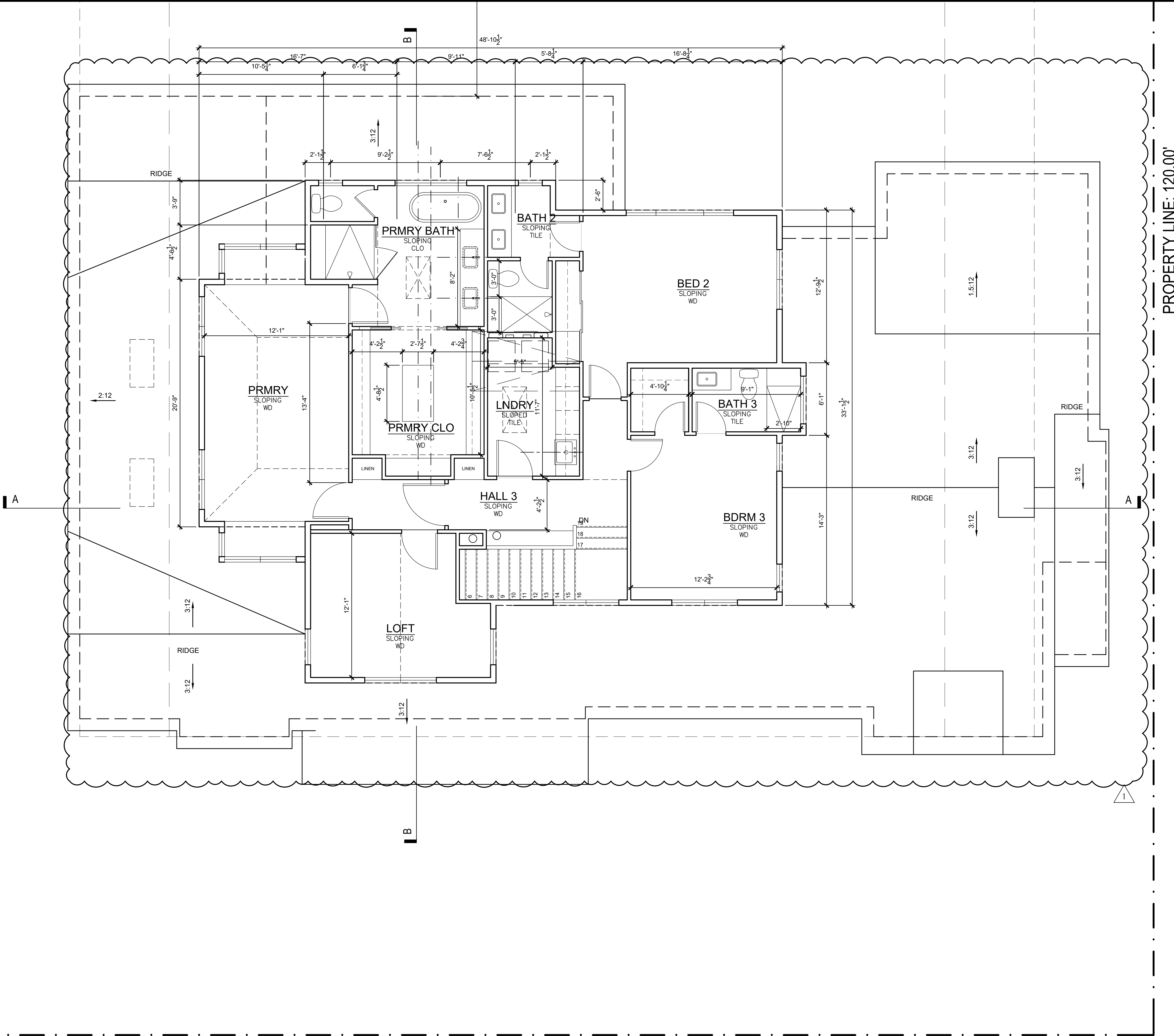
S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
PO BOX 669
MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER:
CALIFORNIA: C-29476

SAMUEL H. LEE
LICENSED
PROFESSIONAL
ARCHITECT
NO. C-29476
CA., U.S.A.
EXP: 04-30-2025

CAL GREEN PLAN NOTES:

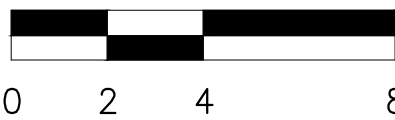
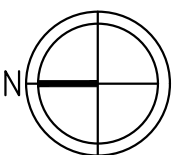
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PROPERTY LINE: 100.00'

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFERENCE



SHEET TITLE:

SECOND FLOOR
PLAN

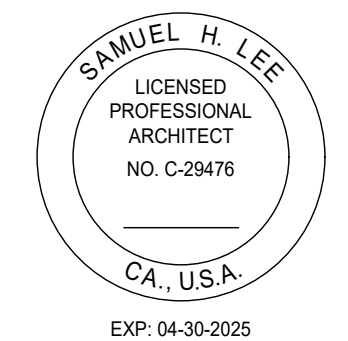
SHEET NUMBER:

A2.02

28

Agenda Item 2.
S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
PO BOX 669
MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER
CALIFORNIA: C-29476



PRIVATE RESIDENCE

677 LINDEN AVE
ALTOS, CA. 94022

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL

PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

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A

B

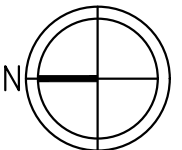
PROPERTY LINE: 100.00'

PROPERTY LINE: 120.00'

PROPERTY LINE: 120.00'

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

REFERENCE



**RADIANT BARRIER TO BE
INSTALLED AT ROOF SHEATHING
PER ENERGY REPORT

**FINISHED ROOFING MATERIAL
SHALL BE INSTALLED AND
COMPLETED PRIOR TO FRAME
INSPECTION. LAMC 12.08.020
AMENDMENTS

**PROVIDE 1" AIR GAP BETWEEN
THE ROOF SHEETING AND THE
INSULATION AT VENTED AREAS.

Agenda Item 2.

S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
PO BOX 669
MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER:
CALIFORNIA: C-29476

SAMUEL H. LEE
LICENSED
PROFESSIONAL
ARCHITECT
NO. C-29476
CA, USA
EXP: 04-30-2025

PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL
PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

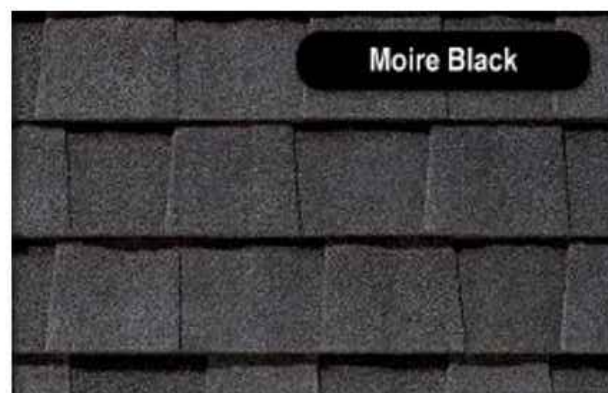
SHEET TITLE:
ROOF PLAN
PLAN

SHEET NUMBER:

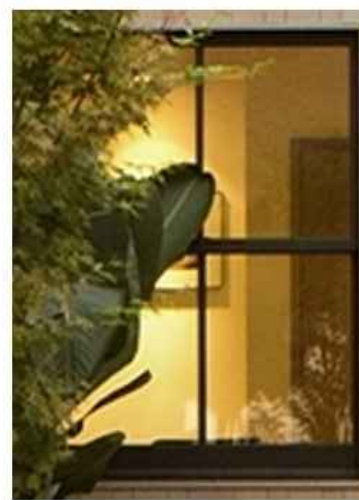
A2.03

DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL
PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

Materials Board – 677 Linden Ave



Roof Material Main– Composition
Roof. Color – Moire Black



Wood clad window – w/dark black exterior



Stained garage and front door



Wall color – dark paint



Wall Material #1 –
Alternating width composi vertical siding



Wall Material #2 –
composite horizontal siding

2ND FLR PL @
PRMRY BATH
136.74'

2ND FLR PL
135.49'

2ND FLR
127.41'

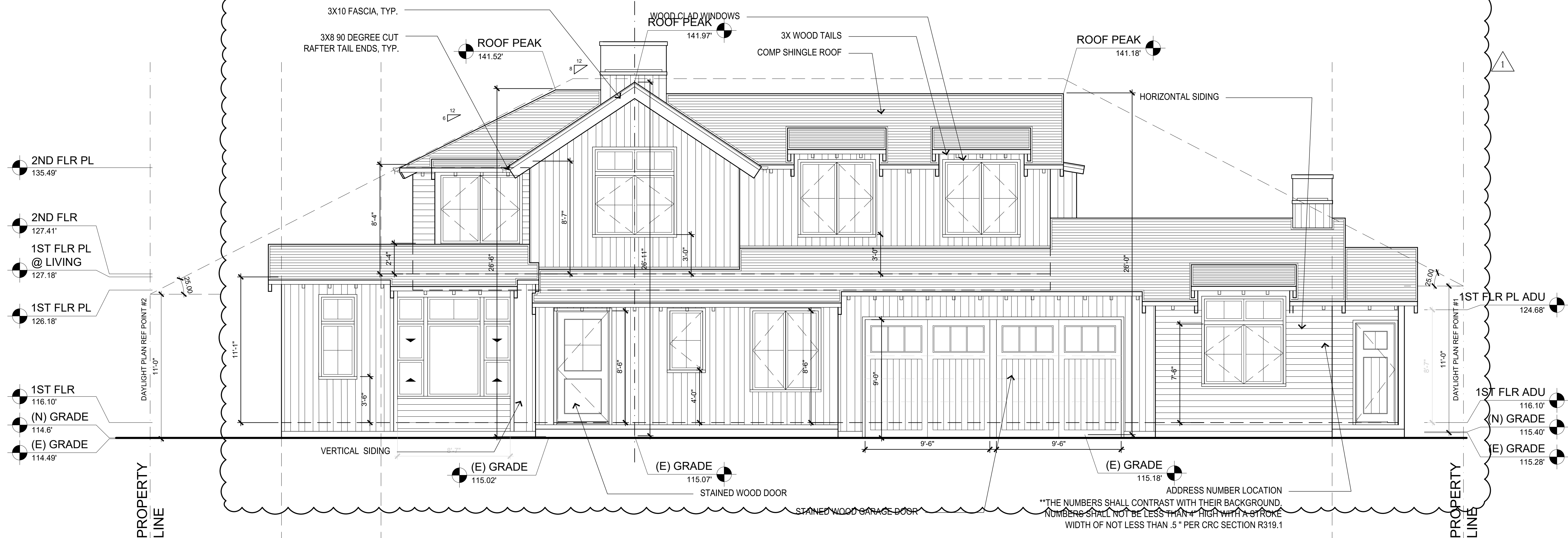
1ST FLR PL
126.18'

1ST FLR
116.10'

2 NORTH (LEFT) ELEVATION

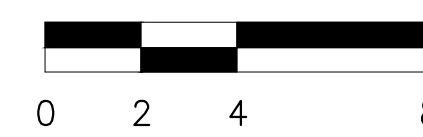
SCALE: 1/4" = 1'-0"

MATERIALS BOARD



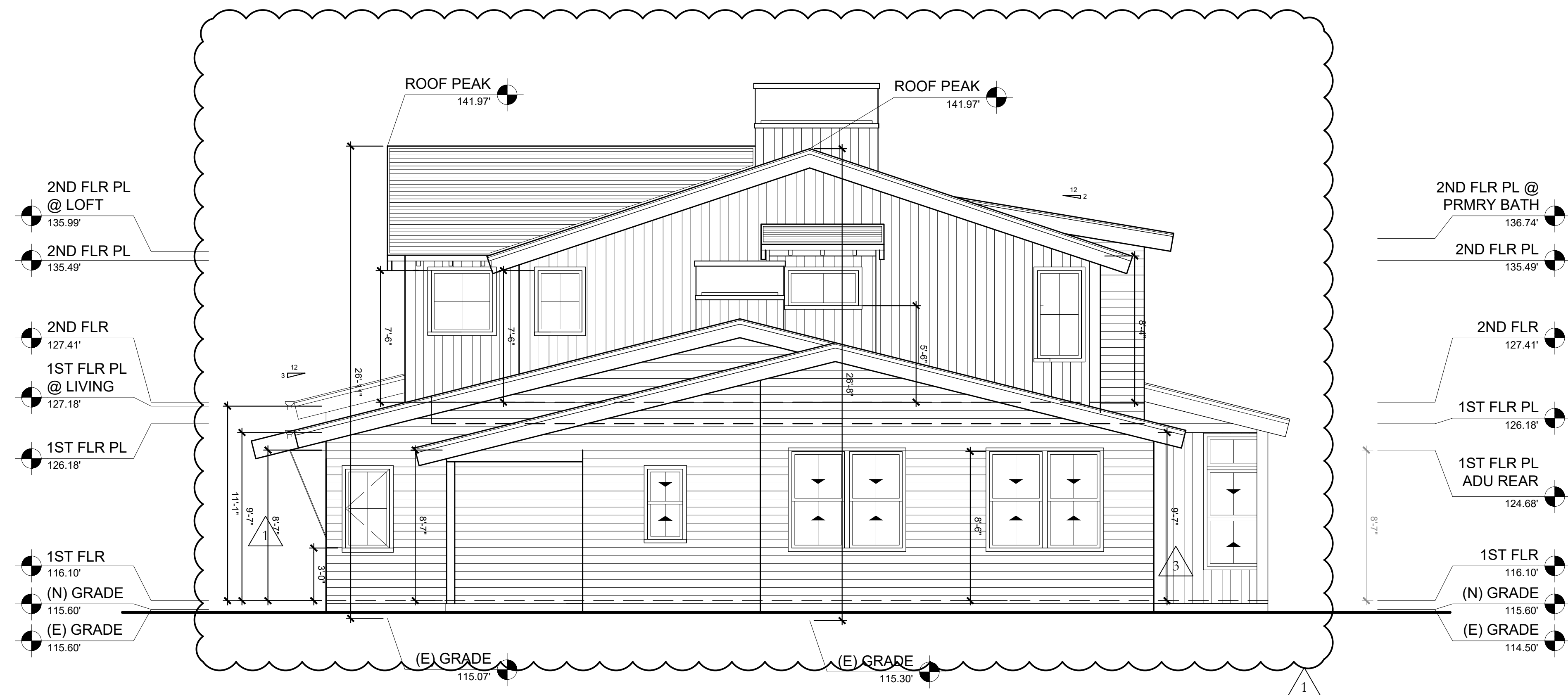
1 WEST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL

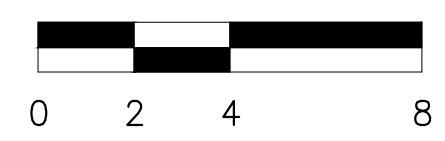
PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS



2 SOUTH (RIGHT) ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



PRIVATE RESIDENCE

677 LINDEN AVE
ALTOS, CA. 94022

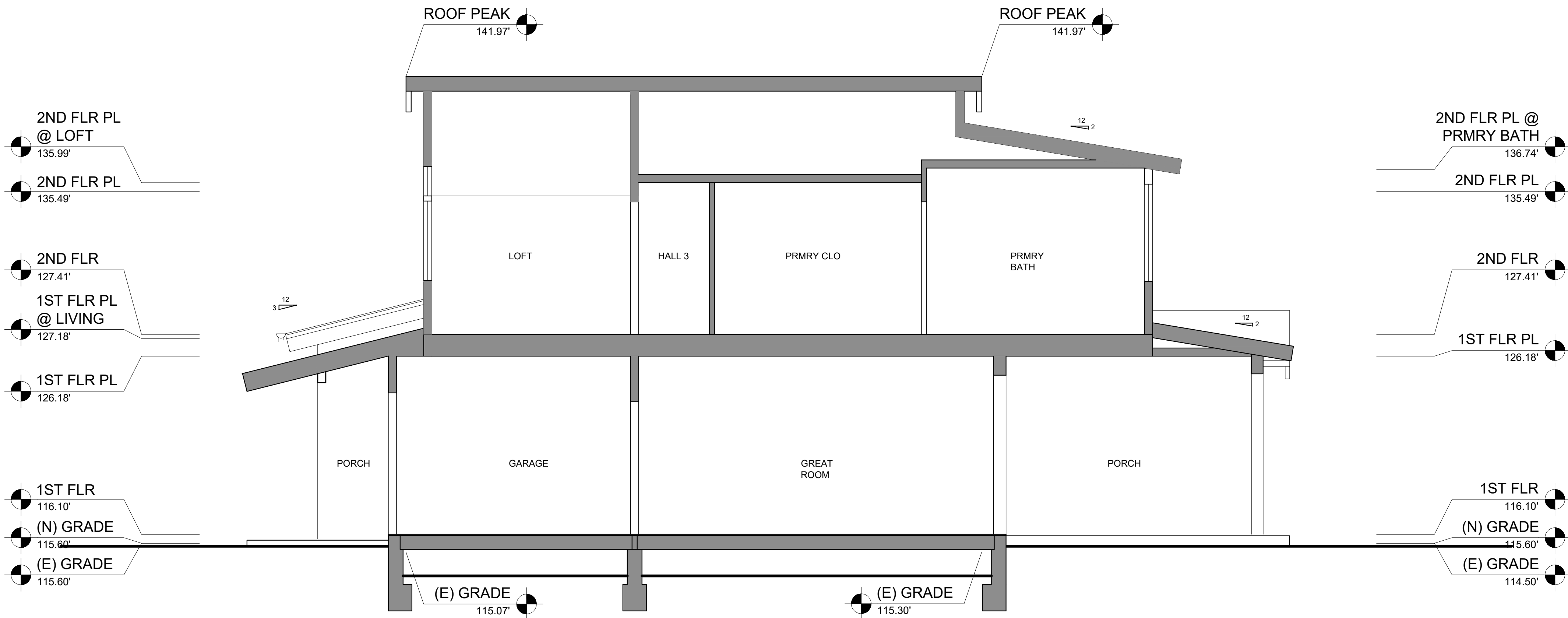
DATE	ISSUE
01/15/25	PLANNING DEPT. SUBMITTAL
03/19/25	PLANNING DEPT. RE-SUBMITTAL
PROJECT #:	25-02
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:

SECTIONS

SHEET NUMBER:

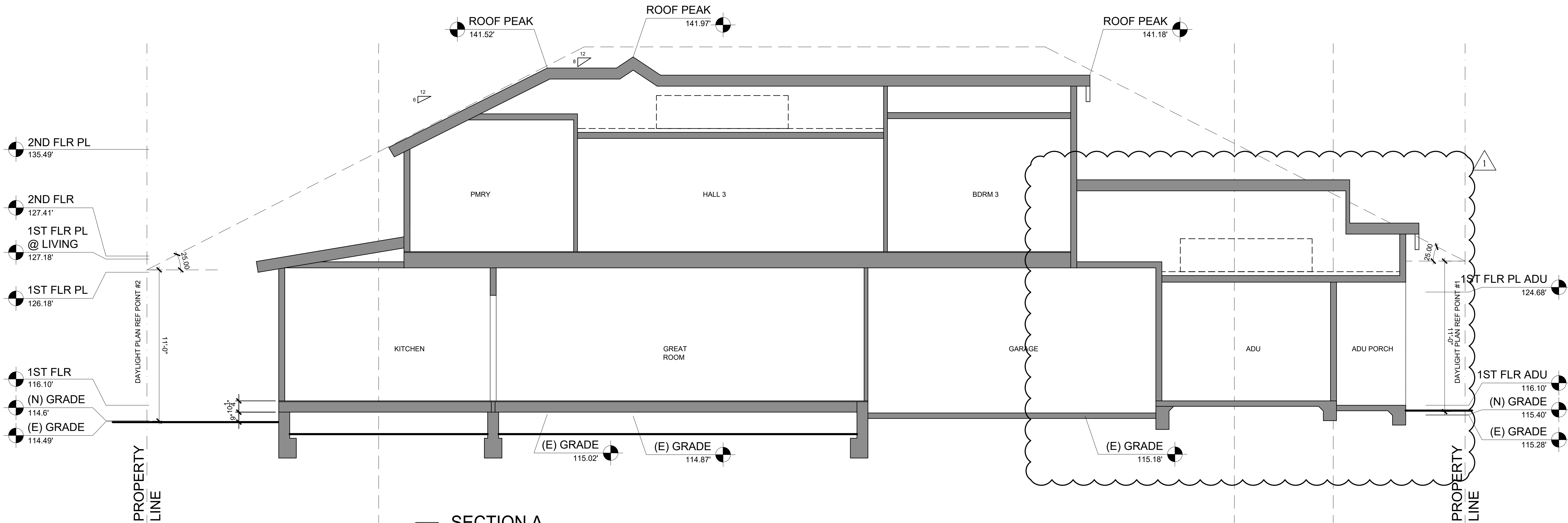
A3.03



2

SECTION B

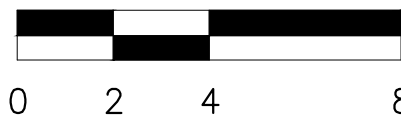
SCALE: 1/4" = 1'-0"



1

SECTION A

SCALE: 1/4" = 1'-0"



Dear Brittany

Thank you for meeting with me Thursday February 20th. It was nice to meet you and it was informative to discuss the proposed 2 story home renovation and 2 ADUs (one attached and the other detached) on 677 Linden.

I have been living at 689 Linden for 14 years and I have many friends who remark about the beauty of Linden Ave for the number of mature trees in the neighborhood. Our pride and joy is the majestic hundreds of year old knotted Oak tree at 677 Linden Ave. It's a favorite to many in the neighborhood and quite remarkable.

Aesthetically, in the skyline of the entrance to our home 689 Linden Ave and our neighbor 687 Linden Ave, is a very tall cedar tree at the center with oak trees to the left and right sides of it. These tall oak trees at the right of 677 Linden Ave balance the look of the skyline. See Photo 1 below.

I can understand removing trees that are old and diseased, but I reject the view that the 677 Linden trees should be removed. The 677 Linden backyard trees are healthy large oak trees and provide beauty and functionality of shade in a globally warming environment. Large trees are part of the character for Linden Ave. Oak trees as I understand are protected in Los Altos and I believe these oak trees meet the criteria due to the trunk circumference. See Photo 2 below.

Also, I am surprised by the proposed plans for a 2-story home on a small plot with 2 ADUs. The character of our area near us has been single story homes. The proposed 2 story building would look down into our garden area where we meet friends and where children play-- this is not just a driveway. There is no screening currently to protect us-- privacy is certainly a major concern for us. 677 Linden being a 2 story on a property that has 2 flaglots (behind and adjacent) impacts the privacy of the properties. We as flaglot property owners are restricted to one story due to privacy reasons, and our concern is the same privacy reason if 677 Linden builds a 2 story-- it will look directly into our property, not onto our roofs because we are flaglots. Thus, I also encourage the planning agency to reject the 2-story plan. See Photo 3, 4, 5 below.

If the 2 story building plan and ADUs are accepted by the planning department, I would ask that the planning department urge the developer to place fast growing tall screening trees (in the largest containers) for the 2 story windows and ADUs that are close to the fence for privacy reasons. This would provide some privacy for us. A potential fast growing tree to consider is the Podocarpus gracilior which grows 2-3 feet every year and can grow to 40 feet in height.

Honestly, this is the worst case scenerio for neighbors to have such a building near us- a 2 story building with 2 ADUs in a small plot of land in an area where single story homes have historically been established with plans to remove large heritage oak trees in the backyard to protect our privacy. Truly horrible situation for us neighbors.

Please consider, the neighborhood aesthetics by denying the proposed plans for the 2-story home and please leave the heritage oak trees as they are - they are thriving and the oak trees are a protected tree in Los Altos. Also please urge the developer to ensure the privacy that we deem of most importance with proper screening using fast growing trees.

Best
Donna Wing and Syed Adnan Asar
689 Linden Ave

Photo 1:

Skyline as you enter 689 Linden and 687 Linden. Note the oak trees to the left and right of the tall Cedar tree at the center which divide the 689 and 687 Linden properties. The tall oak trees to the right of the cedar tree is the 677 Linden oak trees which the developer wants to cut down. As you can see they are tall thriving oak trees and are as tall and possibly taller than the oak trees on our 689 Linden property.



Photo 2:

The majestic front heritage oak tree in the front of 677 Linden is as tall as the backyard oak trees at 677 Linden.



Photo 3 and 4: I took this picture from our front yard looking out to 677 Linden. This proposed 2 story home will look directly down to our property -our front yard, our garden area and driveway. There is currently no privacy screening. Imagine a 2 story home here in the first photo. Then look at the last 2 photos- that is our yard space with no privacy screening.





Photo 5:

Picture from our front yard looking at 677 Linden. You can imagine how a 2 story home would be looking down at our property. There would be no privacy.



From: [Adnan A](#)
To: [Brittany Whitehill](#)
Cc: [Donna Wing](#)
Subject: our letter to Sam Lee. 677 Linden Ave, Los Altos
Date: Sunday, March 2, 2025 8:10:57 PM

Hi Brittany,

My name is Adnan Asar (spouse of Donna Wing). We live on 689 Linden Avenue, diagonally behind 677 Linden Avenue (Sam Lee's proposed two story plan with 2 ADUs). I am sending you a copy of my letter to Sam below for your records. Sent on 03/02/25. I have also met Sam once before and had expressed the same concerns verbally. He texted me asking if we had additional questions and/or concerns. So I sent him the response below reiterating what our concerns are.

Hi Sam, Sorry for the late response as I was traveling. Welcome to the neighborhood. My wife and I would love to meet you and your wife and welcome you to the neighborhood. Let me know when would be a good time for you and your wife to come by?

As we discussed, we have two main concerns:

1. Our front of the home, lawn and driveway are in direct view of any planned window overlooking the second story planned home. Our front lawn and driveway would be in plain view of a two-story structure. We generally close the gate for kids to play and privacy there is important to us as well as our neighbour who lives right behind your home. In the 30 years, from what we know about this area, there has not been a single two-story structure built adjoining a flag lot. The few two-story houses that have been built during this time are all on large, deep lots or grandfathered in from prior years. So privacy is a big concern for us as we discussed when we met.
2. We also care greatly about the huge, mature oak trees on the lot on your property that have been there for many years. These trees provide privacy, shade, and aesthetic character to the neighborhood in line with the rest of the neighborhood. These are beautiful trees that have been growing and thriving for the past 50 years or more. We would ask that you preserve the oak trees inline with the natural landscape of the neighborhood. We also believe that the proposed ADU that you plan to build cannot be within the critical root zone of an oak tree per city regulations. Can you clarify if that is not the case?

It is important to us that you resolve these two issues with us and also our neighbours Greg and Jaleh. Privacy concerns due to the two story home and the preservation of the oak trees as outlined above are important to us. We strongly ask that you consider placing large podocarpus trees along the driveway fence to offer privacy for both you and us as we discussed when we met.

Adnan and Donna

From: [Brittany Whitehill](#)
To: [Brittany Whitehill](#)
Subject: FW: Request for Conditions on House Plan Approval for 677 Linden Avenue – Preservation of Oak Trees & Privacy Screening
Date: Wednesday, April 30, 2025 2:53:00 PM

From: Adnan A
Sent: Sunday, March 9, 2025 10:11 PM
To: Brittany Whitehill <BWhitehill@losaltosca.gov>
Cc: Donna Wing ; Adnan A
Subject: Request for Conditions on House Plan Approval for 677 Linden Avenue – Preservation of Oak Trees & Privacy Screening

Dear Brittany and the City Planning Division,

Sam, the owner and developer, sent me a message today saying that he has confirmed with you (Brittany) that he has pulled the detached ADU from the application to give him more time for alternate studies. He also said that he/Sam is working with an arborist for recommendations for potential preservation. However, Sam added that "this is not to say that we plan to keep the tree 100% but we need more time to see if it's possible."

Regardless of whether the detached ADU is included in the development plans or not, our concerns remain unchanged and require formal consideration as outlined below. We hereby request that the approval of the house plans be expressly conditioned upon the following:

1. **Privacy Screening Requirement:** The approved plans shall explicitly mandate to install mature, evergreen, fast-growing screeners (such as Podocarpus) along the property lines, specifically on the right side of the house facing out along the 687 Linden Ave driveway, to ensure adequate privacy for all impacted neighboring properties. The plans shall specify the minimum height, density, and planting specifications to ensure adequate privacy shielding from the proposed two-story development, for all affected parties.
2. **Preservation of Mature Oak Trees:** The house plans must mandate the preservation of the three large oak trees on the property to safeguard the privacy, shade, environmental benefits, and aesthetic character of the surrounding neighborhood.

Accordingly, we are formally requesting that the Planning Division enforce the following conditions:

1. **Tree Preservation Before Permit Issuance:** Prior to issuing a building permit,

the Planning Division shall verify and confirm that the above condition (#2 – preservation of the three large oak trees) is met. Additionally, this condition shall be explicitly incorporated into the title page of the approved building plans to ensure compliance throughout the construction process. Prior to the issuance of a building permit, a certified arborist's report, detailing the health and preservation plan for the oak trees, shall be submitted and approved by the City Planning Division. Any alteration to the landscape that may harm the trees is prohibited.

2. **Mandatory Privacy Screening for Final Inspection Approval:** Prior to the final inspection, mature, fast-growing evergreen screeners (e.g., Podocarpus) shall be installed and planted as required by the Planning Division. The final inspection shall not be approved or granted until the Planning Division confirms full compliance with this requirement. Prior to the issuance of a Certificate of Occupancy, a certified arborist shall verify, in writing, the proper installation and viability of the mandated screeners based on the specs in the plan. Final inspection approval shall be contingent upon the successful completion and verification of this condition.
3. **Condition for Future Sale:** We formally request that the property owner and developer, Sam, be legally obligated to include the preservation of the three oak trees and the maintenance of privacy screeners as binding conditions in any future sale agreement. These conditions shall be explicitly stated in the sale contract and legally enforceable upon any future buyer to ensure continued compliance with the city's planning and environmental preservation standards.

These conditions are essential to maintaining the character, privacy, and environmental integrity of the neighborhood. We appreciate the Planning Division's enforcement of these requirements and expect them to be non-negotiable as part of the house plan approval process. We look forward to your confirmation that these conditions will be incorporated into the formal approval process. Please keep us informed of any necessary steps to ensure compliance.

Sincerely,

Adnan and Donna
689 Linden Avenue

Brittany Whitehill

From: Gregory Burns
Sent: Sunday, February 23, 2025 3:05 PM
To: Brittany Whitehill
Cc: Gregory Burns; Jaleh Morshed
Subject: Concerns regarding building proposal for 677 Linden Ave

Good morning Brittany,

Thank you again for meeting with the two of us regarding the plans for 677 Linden Ave. We appreciate your time and effort, as well as the challenges the city faces with balancing new two story developments and existing adjacent houses; however we are a flag lot and we aren't able to mitigate a two story house overlooking ours. As neighbors living directly behind 677 Linden Avenue, we are very concerned about the proposal to build a two-story structure on that lot and consider it to have an unreasonable impact on our privacy. Our main living area is 10 feet from the adjoining property line, and it would be in plain view of a two-story structure. The proposed house also overlooks a garden and driveway we share with our neighbor on another flag lot at 689 Linden Ave. We generally close the gate for kids to play and privacy there is important to both of our families.

In the 30 years we have lived on this street, there has not been a single two-story structure built adjoining a flag lot. The few two-story houses that have been built during this time are all on large, deep lots. We request that you consider the nature and location of the residences on the lots adjacent to 677 Linden and deny the request to build a two-story house on this property. If you are not willing to consider this, then the builder should be required to provide sufficiently large screening shrubs or trees along the back and side yards of their property; in order to reasonably protect our privacy, and the privacy of the other neighboring residential properties.

We also care greatly about the three huge, mature oak trees on the lot of 677 Linden Ave; two of which are directly along the shared property line with our house. These trees provide privacy, shade, and aesthetic character to our lot and the neighborhood. We request that the natural landscape and privacy of our lot and the neighborhood be preserved and the application to remove any of these three huge oak trees be denied.

Thank you for your consideration,

Jaleh Morshed and Gregory Burns
 687 Linden Avenue

From: [Brittany Whitehill](#)
To: [Brittany Whitehill](#)
Subject: FW: Concerns regarding building proposal for 677 Linden Ave
Date: Wednesday, April 30, 2025 2:59:44 PM

From: Gregory Burns
Sent: Sunday, March 9, 2025 7:51 PM
To: Brittany Whitehill <BWhitehill@losaltosca.gov>
Cc: Gregory Burns Jaleh Morshed
Subject: Re: Concerns regarding building proposal for 677 Linden Ave

Hello Brittany,

Thank you for your work on the planning review for 677 Linden Ave.

Sam, the owner and developer, reached out to us this weekend saying that he was pulling his detached ADU from the house planning submittal for now.

Regardless of whether the detached ADU is in the plan; our concerns remain about preserving the privacy, shade, and aesthetic character of our lot. We request that approval of his house plans require the three large oak trees on the property to be preserved, and require evergreen screeners along the property lines sufficient to provide privacy from the two story development.

We recognize that you have been working with the developer on this, and appreciate your time and diligence.

Best regards,
Greg and Jaleh
687 Linden Ave