



## **ZONING ADMINISTRATOR MEETING AGENDA**

**4:00 PM - Wednesday, September 20, 2023**

***Community Meeting Chambers, Los Altos City Hall  
1 North San Antonio Road, Los Altos, CA***

**Members of the Public may call (253) 215-8782 to participate in the conference call (Webinar ID: 876 6369 8791) or via the web at <https://tinyurl.com/3ke4kzt3> with Passcode: 701956). Members of the Public may only comment during times allotted for public comments and public testimony will be taken at the direction of the Zoning Administrator. Members of the public are also encouraged to submit written testimony prior to the meeting at [ZAPublicComment@losaltosca.gov](mailto:ZAPublicComment@losaltosca.gov). Emails received prior to the meeting will be included in the public record.**

### **ESTABLISH QUORUM**

#### **PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA**

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

### **ITEMS FOR CONSIDERATION/ACTION**

#### **CONSENT CALENDAR**

**These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.**

**1. Zoning Administrator Meeting Minutes**

Approval of the DRAFT minutes of the regular meeting of September 6, 2023.

### **PUBLIC HEARING**

**2. SC23-0007 – Wanchen Cai – 226 Solana Drive**

Design review for a new approximately 4,103 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Healy*

**3. SC23-0010 – Jim Maliksi – 746 Casa Bonita Court**

Design review for a new approximately 3,721 square-foot two-story single-family residence. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Healy*

**INFORMATIONAL ITEMS****COMMISSIONERS' REPORTS AND COMMENTS****POTENTIAL FUTURE AGENDA ITEMS****ADJOURNMENT****SPECIAL NOTICES TO PUBLIC**

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Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.



# ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM - Wednesday, September 6, 2023

*Community Meeting Chambers, Los Altos City Hall  
1 North San Antonio Road, Los Altos, CA*

## CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

## ESTABLISH QUORUM

PRESENT: Zoning Administrator Zornes

STAFF: Planning Manager Williams and Associate Planner Liu

## PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

## ITEMS FOR CONSIDERATION/ACTION

### CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**

Approval of the FINAL minutes of the regular meeting of July 19, 2023.

Action: Zoning Administrator Zornes approved meeting minutes for regular meeting of July 19, 2023.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

## PUBLIC HEARING

2. **SC23-0004 – J. Steve Collom – 630 Arboleda Drive**

Design Review for the construction of a new two-story house including 2,695 square feet at the first story and 878 square feet at the second story. An 804 square-foot attached accessory dwelling unit is also proposed, but not subject to design review. This project is categorically exempt from environmental review under 15303 of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

## STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC2-0004 subject to the listed findings and conditions.

PUBLIC COMMENT

The property owner Andrew Mo made a presentation and made himself available for any questions.

Resident Ravi Kaw and John Maneatis provided public comment.

Zoning Administrator Zornes closed the public comment period.

Action: Zoning Administrator Zornes approved design review application SC23-0004 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:

AYES: Zornes

NOES: None

**POTENTIAL FUTURE AGENDA ITEMS**

None.

**ADJOURNMENT**

Zoning Administrator Zornes adjourned the meeting at 4:20 PM.

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Nick Zornes  
Zoning Administrator



**TO:** Nick Zornes, Zoning Administrator

**FROM:** Nazaneen Healy, Associate Planner

**SUBJECT:** SC23-0007 – 226 Solana Drive

## RECOMMENDATION

Approve design review application SC23-0007 for the construction of a new approximately 4,103 square foot, two-story home subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (“New Construction or Conversion of Small Structures”).

## BACKGROUND

### Project Description

- Project Location: 226 Solana Drive, located on the west side of Solana Drive between Almond Avenue and Jardin Drive
- Lot Size: 13,912 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story home

The proposed project includes the demolition of the existing one-story home and replacement with a new two-story home (see Attachment A – Project Plans). The proposed home incorporates traditional hipped roof forms and exterior materials that include a standing seam metal roof, stucco exterior finish with stone veneer, and painted wood trim. The proposed home is situated on the lot similar to the existing home and the proposed site improvements include a new driveway to the attached garage and new landscaping throughout the property. Ten existing protected trees and several smaller trees and shrubs are proposed for removal as part of the project due to their poor condition.

## ANALYSIS

### Design Review

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,300 square feet	3,151 square feet	3,189 square feet
<b>FLOOR AREA:</b>			
First floor	2,152 square feet	2,694 square feet	4,051 square feet
Second floor	-- square feet	1,409 square feet	
Total	2,152 square feet	4,103 square feet	
<b>SETBACKS:</b>			
Front	29.9 feet	25.4 feet	25 feet
Rear	64.1 feet	38.2 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	20.1 feet/-- feet	10.3 feet/19.1 feet	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	16.1 feet/-- feet	10.3 feet/27.8 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	16.3 feet	25.6 feet	27 feet

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The proposed home minimizes bulk by inseting portions of the second story, incorporates greater side setbacks than required, and proposes a lower height than the maximum. In addition, to minimize potential privacy impacts, the second-story egress windows face the street except for one window facing the south side yard and a balcony facing the rear yard, which will be screened with evergreen trees planted along the property lines.

Seven new trees will be planted in the front and rear yards and three existing trees in the public right-of-way, one small oak tree in the front yard, and a group of existing shrubs in the rear yard will remain. The landscaping plan will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and minimizes potential privacy impacts.

**ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 (“New Construction or Conversion of Small Structures”) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

**PUBLIC NOTIFICATION AND COMMUNITY OUTREACH**

A public meeting notice was posted on the property, mailed to property owners within a 300-foot radius, and published in the Town Crier newspaper. The applicant also posted the public notice sign (24” x 36”) in conformance with the Planning Division posting requirements.

The applicant also contacted 10 neighbors in the immediate area. No comments from neighbors have been

received by staff as of the writing of this report.

Attachment:

A. Project Plans

Cc: Wanchen Cai, Applicant  
Ana Bertran and Roberto Angulo, Property Owner

## FINDINGS

SC23-0007 – 226 Solana Dr

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

- A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home is situated on the lot similar to the existing home and complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06.
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized because the existing site is relatively level and does not require substantial grading or removal of soil. Ten existing protected trees and several smaller trees and shrubs are proposed for removal due to their poor condition. Seven new trees will be planted in the front and rear yards and three existing trees in the public right-of-way, one small oak tree in the front yard, and a group of existing shrubs in the rear yard will remain.
- D. The orientation of the proposed new house in relation to the immediate neighborhood will minimize excessive bulk because the proposed design insets portions of the second story, incorporates greater side setbacks than required, and proposes a lower height than the maximum.
- E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including standing seam metal roofing, stucco exterior finish with stone veneer, and painted wood trim.
- F. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the proposed grading provides for drainage away from the home and away from adjacent properties and conforms to existing grades along the property lines.



## CONDITIONS OF APPROVAL

SC23-0007 – 226 Solana Dr

### GENERAL

**1. Expiration**

The Design Review Approval will expire on September 20, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

**2. Approved Plans**

The approval is based on the plans and materials received on August 11, 2023, except as may be modified by these conditions.

**3. Plan Revisions**

The building permit application shall include the following plan revisions:

- a. Correct the North Arrow orientation on the architectural plans to match the survey.

**4. Protected Trees**

Tree Nos. 3, 5-7, 9, 17, and 36 (row of oleanders), shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Department or Public Works Department.

**5. Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

**6. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public right-of-way shall be in compliance with the City's Shoulder Paving Policy.

**7. Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if 500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed.

**8. Underground Utility and Fire Sprinkler Requirements**

New residences and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

**9. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

**INCLUDED WITH THE BUILDING PERMIT SUBMITTAL****10. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.

**11. Tree Protection Note**

On the grading plan and site plan, show tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

**12. Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

**13. Reach Codes**

Building Permit Applications submitted on or after January 1, 2023 shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

**14. California Water Service Upgrades**

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

**15. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

**16. Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

**17. Outdoor Condensing Units**

Show the location of any outdoor condensing unit(s) on the site plan including the model number of the unit(s), nominal size (i.e. tonnage) of the unit, and setback to the nearest property line. Provide the manufacturer's specifications showing the sound rating for each unit. The condensing unit(s) must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

**18. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for

the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

## **PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

### **19. Tree Protection**

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of Tree Nos. 3, 5-7, 9, 17, and 36 (row of oleanders) and the existing trees on neighboring properties that overhang the subject property as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

### **20. School Fee Payment**

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

## **PRIOR TO FINAL INSPECTION**

### **21. Landscaping Installation and Verification**

All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package.

### **22. Green Building Verification**

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

# Bertran-Angulo Residence

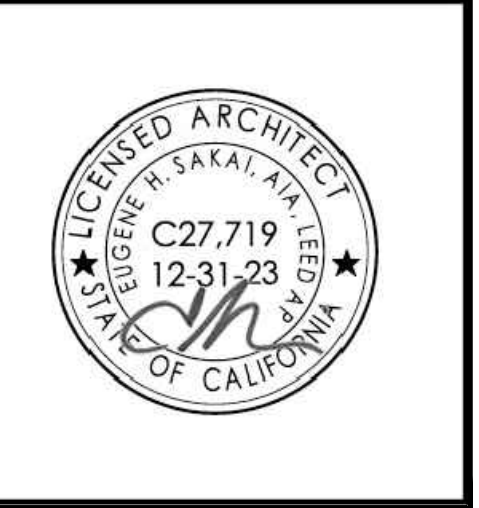
## NEW SINGLE FAMILY RESIDENCE

226 Solana Drive, Los Altos, CA 94022



1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

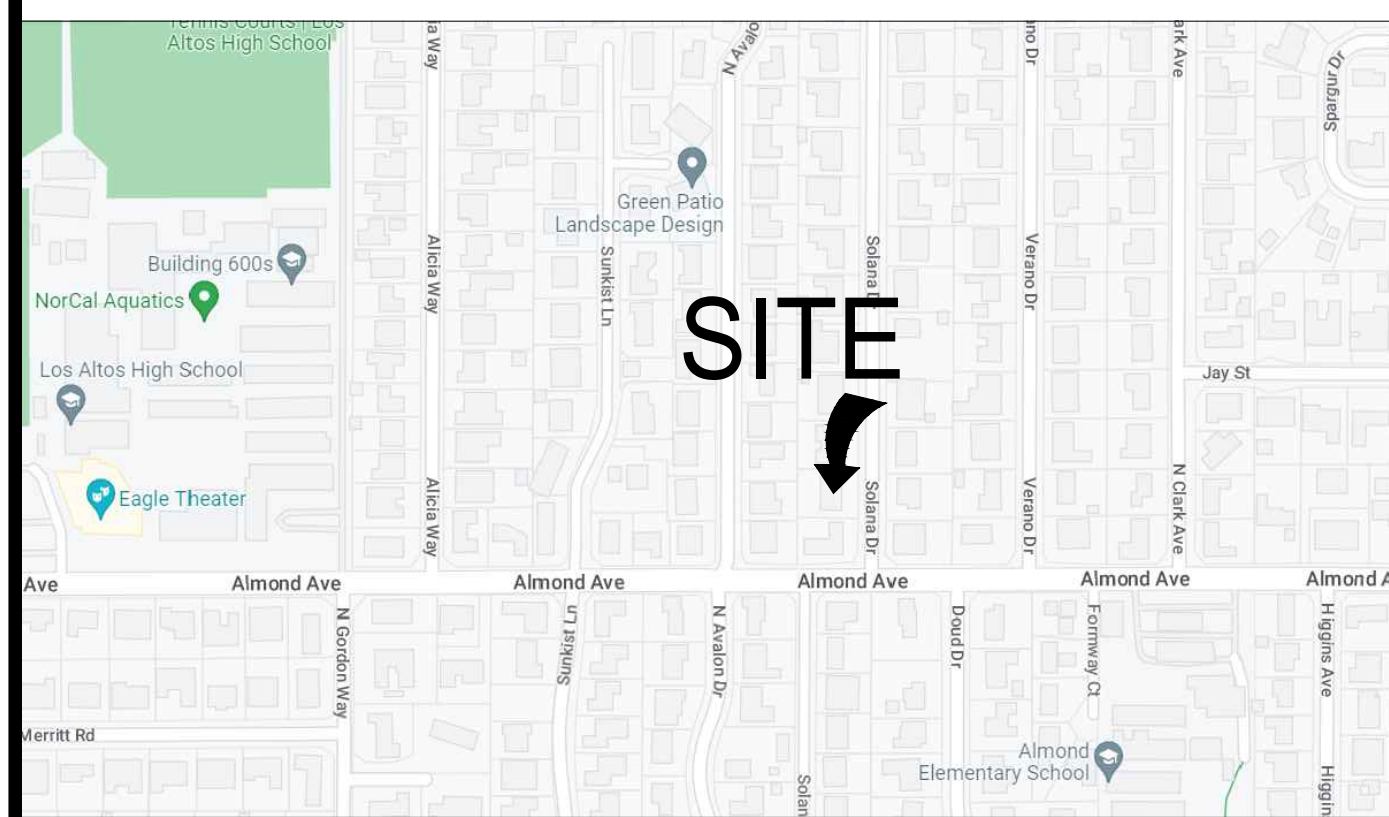
22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo



PROJECT NO.	REVISION	DATE	DESCRIPTION
22025			
	2023.03.31		DESIGN REVIEW PACKAGE
	2023.07.10		DESIGN PACKAGE RESUBMITTAL #1
	2023.08.11		DESIGN PACKAGE RESUBMITTAL #2

FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

### LOCATION MAP



### SCOPE OF WORK

DEMOLISH OF AN EXISTING HOUSE ON A 13,912 S.F. LOT, AND BUILD A NEW 2 STORY 4 BR AND 4 BA SINGLE FAMILY RESIDENCE WITH 3,651.4 LIVING S.F. , 451.1 S.F. GARAGE, TOTALING 4,102.5 S.F.

### PROJECT SUMMARY

Assessor's Parcel No.	170-21-025
Zoning:	R1
Jurisdiction:	City of Los Altos
Type of Construction:	TYPE V-B, SPRINKLERED (NPPA 13D)
Building Occ. Groups:	R-3/U (SINGLE FAMILY RESIDENTIAL)

LOT CALCULATIONS		13,912.00 S.F.
NET LOT AREA:		13,912.00 S.F.
FRONT YARD HARDSCAPE AREA:		478.30
TOTAL AREA AT FRONT YARD		2,625.00
LANDSCAPE BREAKDOWN:		
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):		7,199
EXISTING SOFTSCAPE AREA (UNDISTURBED) AREA:		0.0
NEW SOFTSCAPE AREA:		6,717
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		10,631.0 S.F.

### ZONING COMPLIANCE

LOT COVERAGE:	EXISTING (%)	PROPOSED	ALLOWED/REQUIRED
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,300.96 S.F. 16.54%	3,727.40 S.F. 26.79%	4,173.40 S.F. 30.00%
FLOOR AREA:	2,152.00 S.F.	4,102.50 S.F.	4,141.20 S.F.
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1st Flr: 2,152 S.F.	1st Flr: 2,775.6 S.F.	
		2nd Flr: 1,346.6 S.F.	
	15.47%	29.49%	29.77%
SETBACKS:			
FRONT (1ST/2ND)	2'29" - 10' 1/2"	25'-5" / 28'-8 1/2"	25'
REAR (1ST/2ND)	2'64" - 1' 1/2"	38'-2" / 60'-3"	25'
LEFT SIDE (1ST/2ND)	5'16" - 1"	10'-3" / 27'-9 1/2"	10' / 17'-4"
RIGHT SIDE (1ST/2ND)	5'20" - 1"	10'-3" / 18'-3"	10' / 17'-4"
HEIGHT:	5'16" - 3' 3/4"	25'-7 1/2"	27'-0"

### SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA:			
INCLUDES HABITABLE BASEMENT AREAS	2,152.00 S.F.	1,499.40 S.F.	3,651.40 S.F.
NON- HABITABLE AREA:			
DOES NOT INCLUDE COVERED PORCHES	148.96 S.F.	302.14 S.F.	451.10 S.F.

### DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT
- ROOF TRUSSES--TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL

### REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- STAIR AND RAIL SHOP DRAWINGS
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

### REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

### APPLICABLE CODES

- APPLICABLE CODES (with City of Los Altos Amendments)
- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
  - 2022 CALIFORNIA BUILDING CODE, CBC
  - 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
  - 2022 CALIFORNIA ELECTRICAL CODE, CEC
  - 2022 CALIFORNIA MECHANICAL CODE, CMC
  - 2022 CALIFORNIA PLUMBING CODE, CPC
  - 2022 CALIFORNIA ENERGY CODE, Cenc
  - 2022 CALIFORNIA HISTORICAL CODE, CHC
  - 2022 CALIFORNIA FIRE CODE, CFC
  - 2022 CALIFORNIA EXISTING BUILDING CODE
  - 2022 CALIFORNIA GREEN BUILDING STANDARDS
  - 2022 CALIFORNIA REFERENCED STANDARDS

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A1.0b	DEMOLITION SITE PLAN
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C.2	EROSION CONTROL PLAN
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L.2	IRRIGATION PLAN
ARBORIST	
AR1.0	ARBORIST REPORT
AR2.0	ARBORIST REPORT

### PROJECT TEAM

**OWNER**  
Ana Bertran and Roberto Angulo  
226 Solana Drive, Los Altos  
ph: 6503466713  
email: nuskab2007@gmail.com  
rangulo@gmail.com

**ARCHITECT**  
Studio S Squared Architecture, Inc.  
1000 S Winchester Blvd  
San Jose, CA 95128  
attn: Wanchen Cai  
ph: 998 0983 x 8  
email: wanchen@studios2arch.com

**STRUCTURAL ENGINEER**  
BCA Structural Engineering  
attn: Geoff Clifford  
ph: 650 508 2500 x 2301  
email: geoff@bBCAeng.net

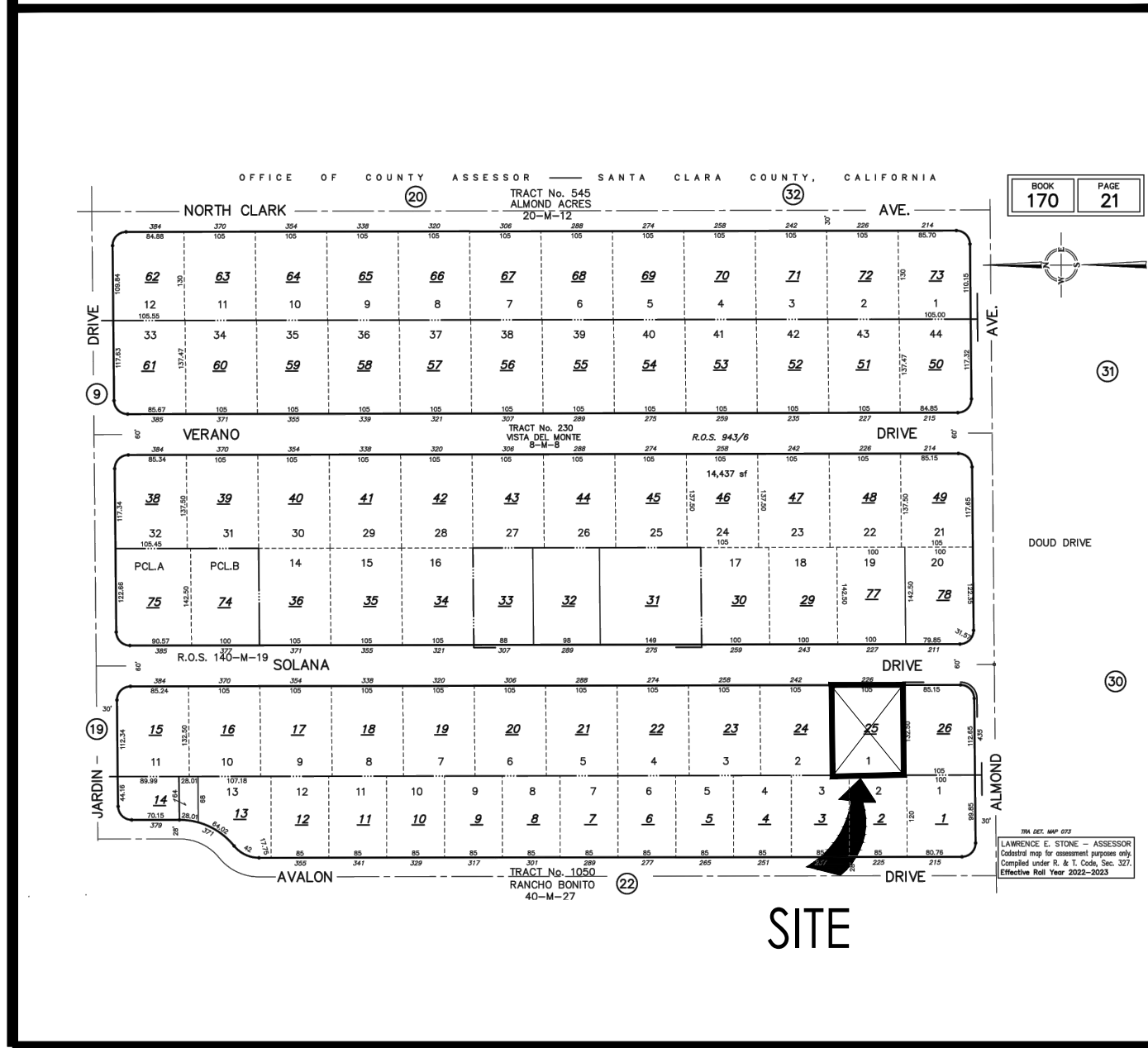
**GEOTECHNICAL ENGINEER**  
Romig Engineers, Inc.  
attn: Lucas Ottoboni  
ph: 650 591 5224  
email: lucas@romigengineers.com

**CIVIL ENGINEER**  
WEC & Associates  
attn: Ed Wu  
email: ed@weceng.com

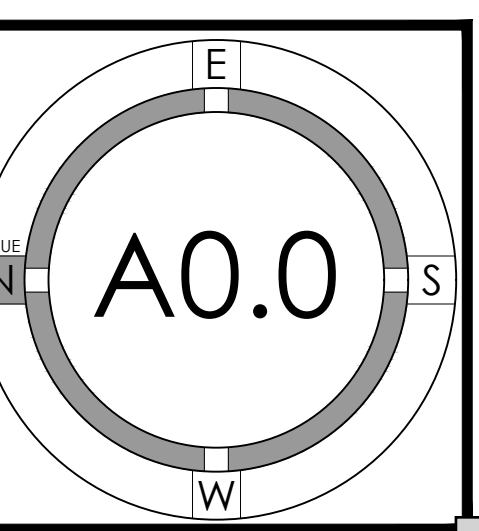
**LANDSCAPE ARCHITECT**  
Studio S Squared Architecture, Inc.  
1000 S Winchester Blvd  
San Jose, CA 95128  
attn: Greg Ing  
email: greg@studios2arch.com

**ARBORIST**  
Kiefty Certified Arborist  
attn: David Beckham  
email: davidkieftyarborist@gmail.com

### ASSESSOR'S PARCEL MAP



### COVER SHEET





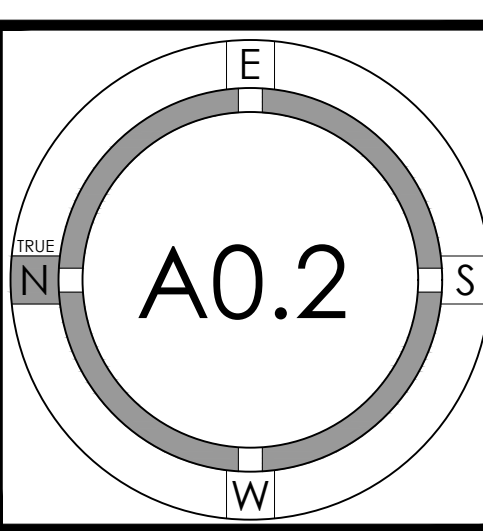
1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo

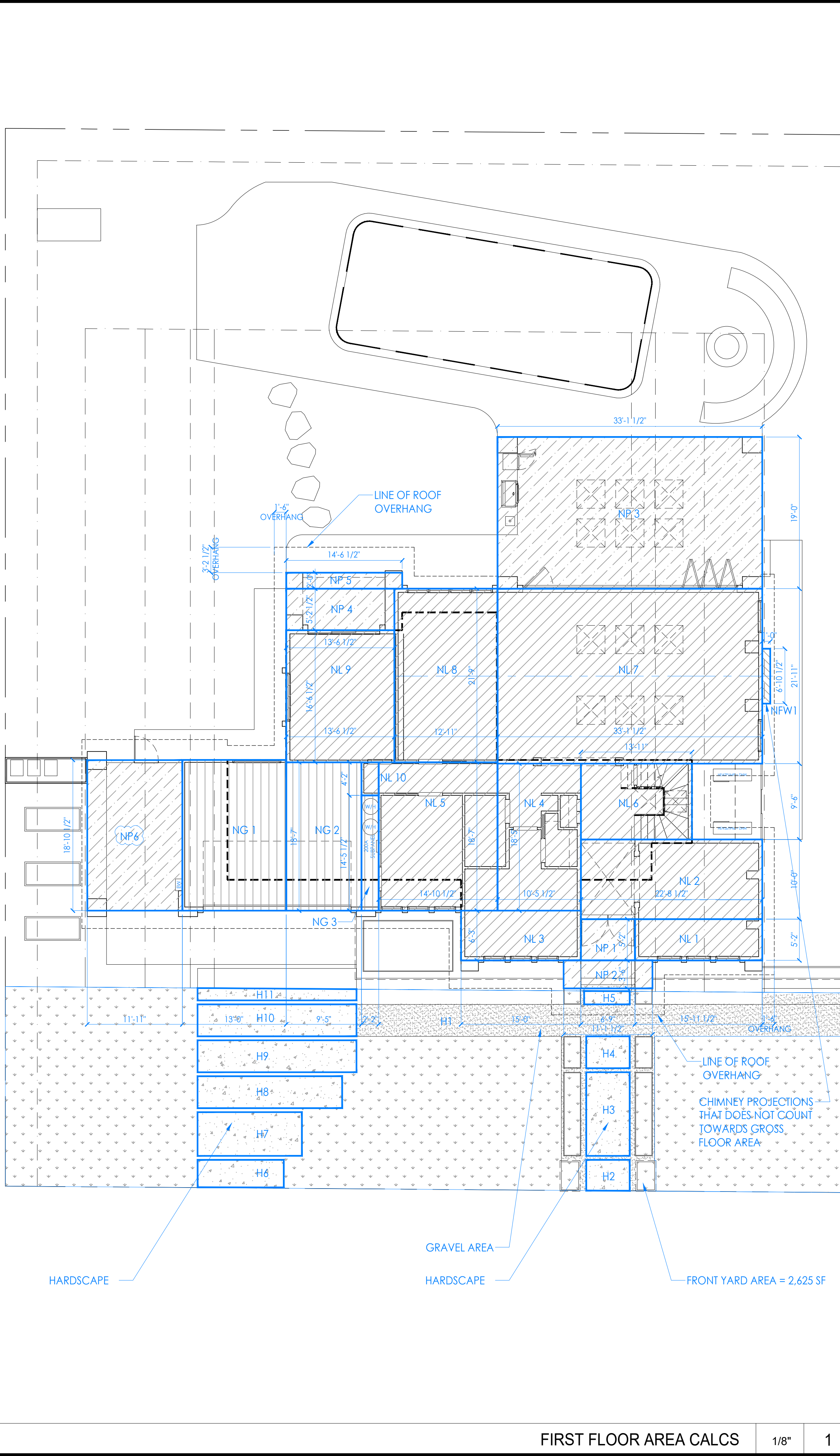
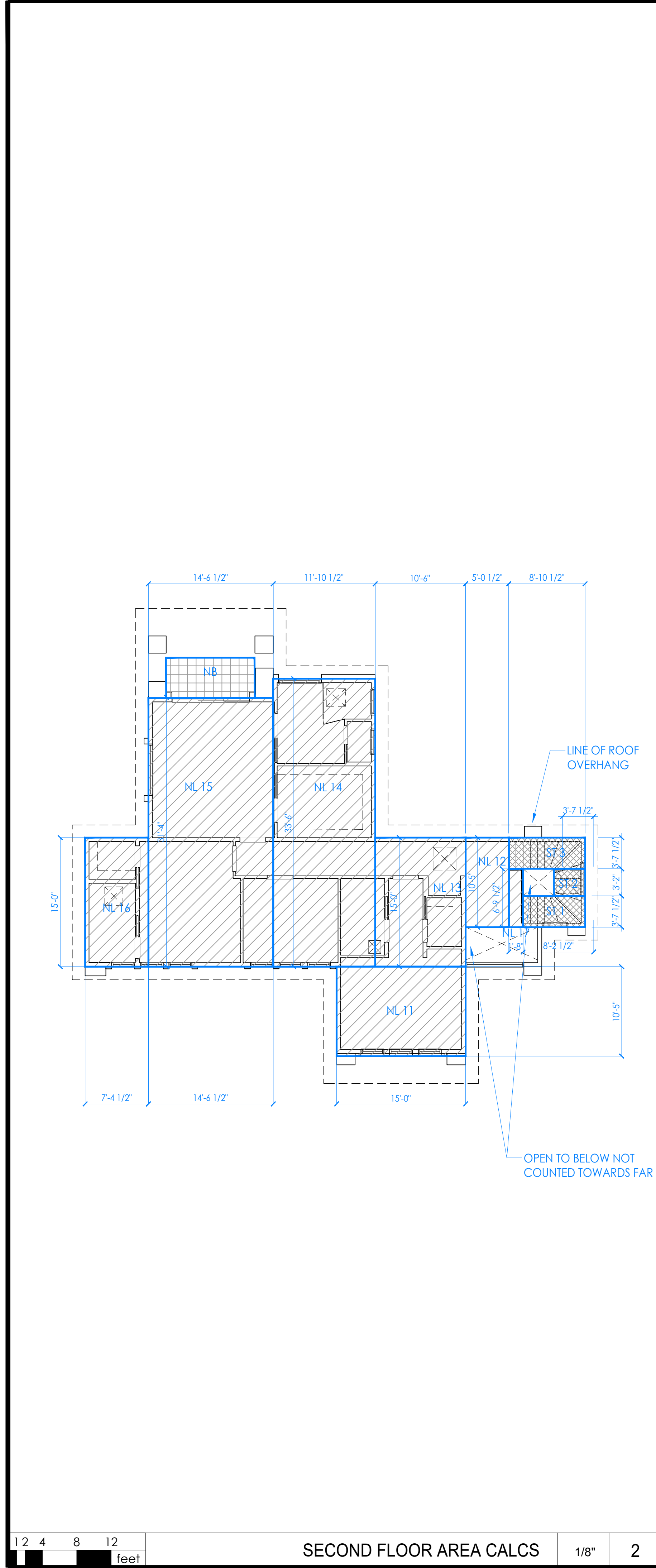


PROJECT NO.	DATE	DESCRIPTION
22025	2023.03.31	DESIGN REVIEW PACKAGE
	2023.07.10	DESIGN PACKAGE RESUBMITTAL
	2023.08.11	DESIGN PACKAGE RESUBMITTAL #2

FLOOR AREA CALCULATION



FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION



Section	Dimensions	Area (s.f.)
<b>New First Floor Living Area</b>		
NL1	15'-1 1/2" x 5'-2"	82.2
NL2	22'-8 1/2" x 10'-0"	228.5
NL3	15'-0" x 5'-3"	79.4
NL4	10'-5 1/2" x 10'-5"	192.2
NL5	14'-10 1/2" x 18'-7"	276.4
NL6	13'-11" x 9'-4"	130.0
NL7	33'-1 1/2" x 21'-11"	726.2
NL8	12'-4" x 21'-2"	260.3
NL9	13'-6 1/2" x 16'-6 1/2"	224.0
NL10	2'-7" x 4'-2"	8.9
<b>NL Total</b>		<b>2,242.7</b>
<b>New Second Floor Living Area</b>		
NL11	15'-0" x 10'-5"	156.1
NL12	5'-0 1/2" x 10'-5"	52.3
NL13	10'-4" x 15'-4"	159.8
NL14	11'-10 1/2" x 33'-6"	397.1
NL15	14'-6 1/2" x 31'-4"	453.8
NL16	7'-4 1/2" x 15'-0"	110.4
NL17	1'-8" x 6'-9 1/2"	11.3
<b>NL Total</b>		<b>1,338.9</b>
<b>New Garage Area</b>		
NG1	13'-0" x 18'-10 1/2"	245.0
NG2	9'-5" x 18'-7"	175.0
NG3	2'-2" x 14'-5 1/2"	31.1
<b>NG Total</b>		<b>451.1</b>
<b>New Patio/Porch Area (Not counted towards FAR, counts toward Lot Coverage)</b>		
NP1	6'-9" x 5'-9"	34.9
NP2	11'-1 1/2" x 5'-4"	39.0
NP3	33'-1 1/2" x 19'-0"	629.5
NP4	13'-4 1/2" x 5'-2 1/2"	70.5
NP5	14'-6 1/2" x 2'-0"	29.0
NP6	11'-11" x 18'-10 1/2"	224.8
<b>NP Total</b>		<b>1,026.9</b>
<b>Stairway &gt; 17' above first floor (Counted Towards FAR)</b>		
ST1	8'-2 1/2" x 3'-7 1/2"	26.1
ST2	3'-7 1/2" x 3'-2"	11.5
ST3	8'-10 1/2" x 3'-7 1/2"	32.2
<b>ST Total</b>		<b>69.8</b>
<b>Hardscape-Front Yard 1st Floor</b>		
H1	Gravel Area	304.0
H2		20.9
H3		57.0
H4		21.7
H5		9.5
H6		37.0
H7		71.5
H8		72.4
H9		79.3
H10		79.3
H11		29.3
<b>Total</b>		<b>478.3</b>
<b>Balcony</b>		
NB1		64.1
<b>NB Total</b>		<b>64.1</b>
<b>New Feature Wall</b>		
NFW1	1'-0" x 6'-10 1/2"	6.9
<b>NFW Total</b>		<b>6.9</b>
<b>LA Lot Area</b>		
LA		13,912.0
<b>Total New Living Area</b>		
NL		451.1
<b>Total New Garage Area</b>		
NG		3,651.4
<b>Total New Residence</b>		
NR		4,102.5 (<4,141.2) (OK)
<b>Total New Residence</b>		
NR		4,102.5
<b>FAR Percentage</b>		
NR/LA		29.5%
<b>FAR Max Allowed</b>		
NR/LA		4.1412
<b>Max Coverage Allowed</b>		
NR/LA		4.1754
<b>Proposed Lot Coverage Ratio</b>		
NR/LA		3.7214
<b>Lot Coverage Percentage</b>		
NR/LA		26.8% (<30%) (OK)
<b>Front Yard Hardscape Area</b>		
H		478.3
<b>Front Yard Setback Area</b>		
FS		2,625.0
<b>Front Yard Perimeter Hardscape Area</b>		
PHA		304.0
<b>Front Yard Hardscape Percent</b>		
H/FS		18.2% (<30%) (OK)

- NL# = NEW LIVING AREA
- NG# = NEW GARAGE AREA
- NP# = NEW PATIO/PORCH AREA (NOT COUNTED TOWARDS FAR, COUNTS TOWARD LOT COVERAGE)
- ST# = STAIRWAY >17' ABOVE FIRST FLOOR (COUNT AS FAR)
- H# = HARDSCAPE
- NB# = NEW BALCONY AREA
- NFW# = NEW FEATURED WALL, NOT COUNTED TOWARDS GROSS FLOOR AREA
- GRAVEL AREA
- LANDSCAPE AREA



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 San Jose, CA 95128  
 P : (408) 998 - 0983



435 ALMOND AVE

226 SOLANA DR

242 SOLANA DR

PROPOSED CONTEXT ELEVATION 3/32" 1



226 SOLANA DR

225 N AVALON DR

PROPOSED CONTEXT ELEVATION 3/32" 2



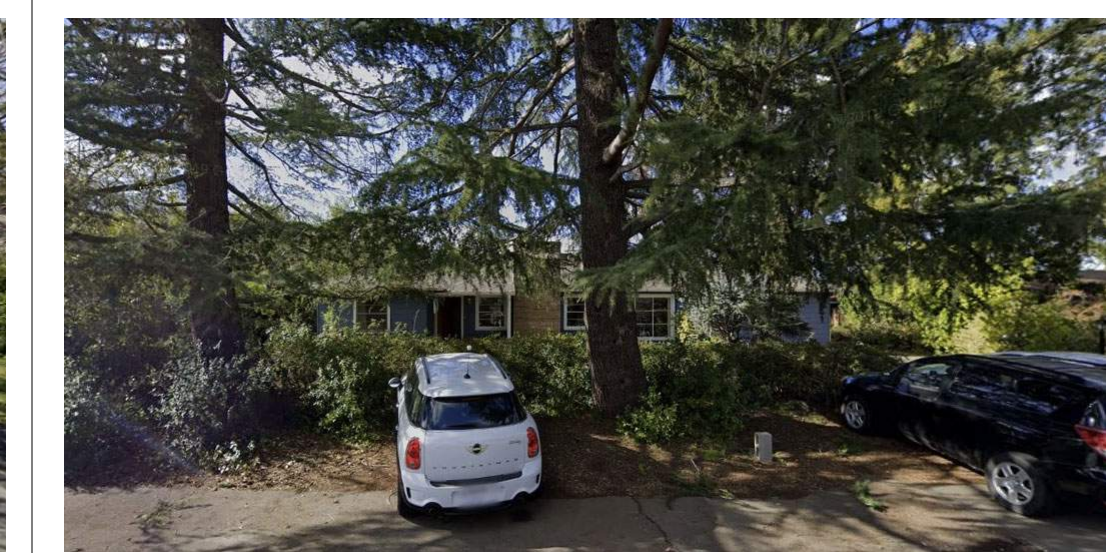
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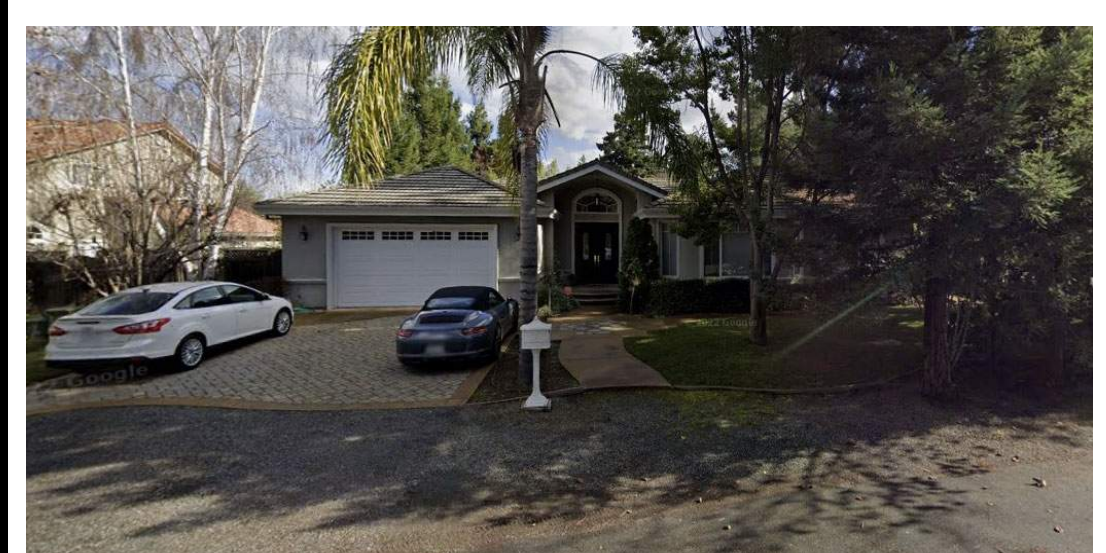
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242 SOLANA DR



258 SOLANA DR



211 SOLANA DR



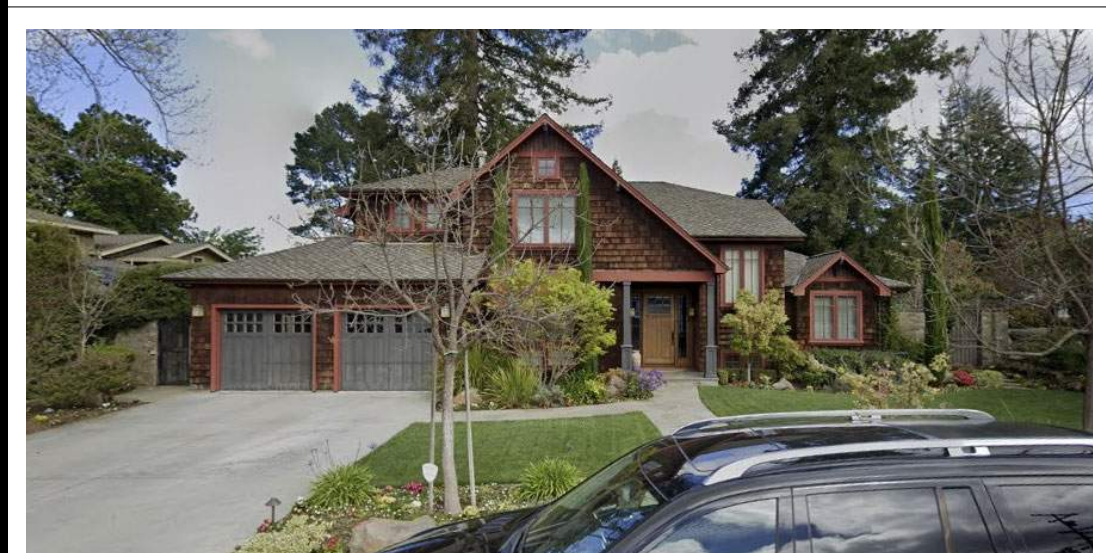
227 SOLANA DR



243 SOLANA DR



259 SOLANA DR



215 N AVALON DR



225 N AVALON DR



237 N AVALON DR



251 N AVALON DR



SITE MAP - 3

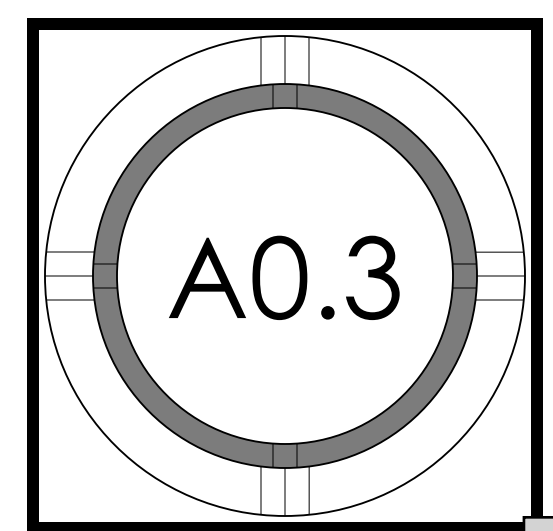
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 NEW SINGLE FAMILY HOUSE  
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 Ana Bertran and Roberto Angulo



REVISION	DATE	DESCRIPTION	DESIGNER	ES/WC	ES/WC/MBD
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	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL			
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2			

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STREETSCAPE





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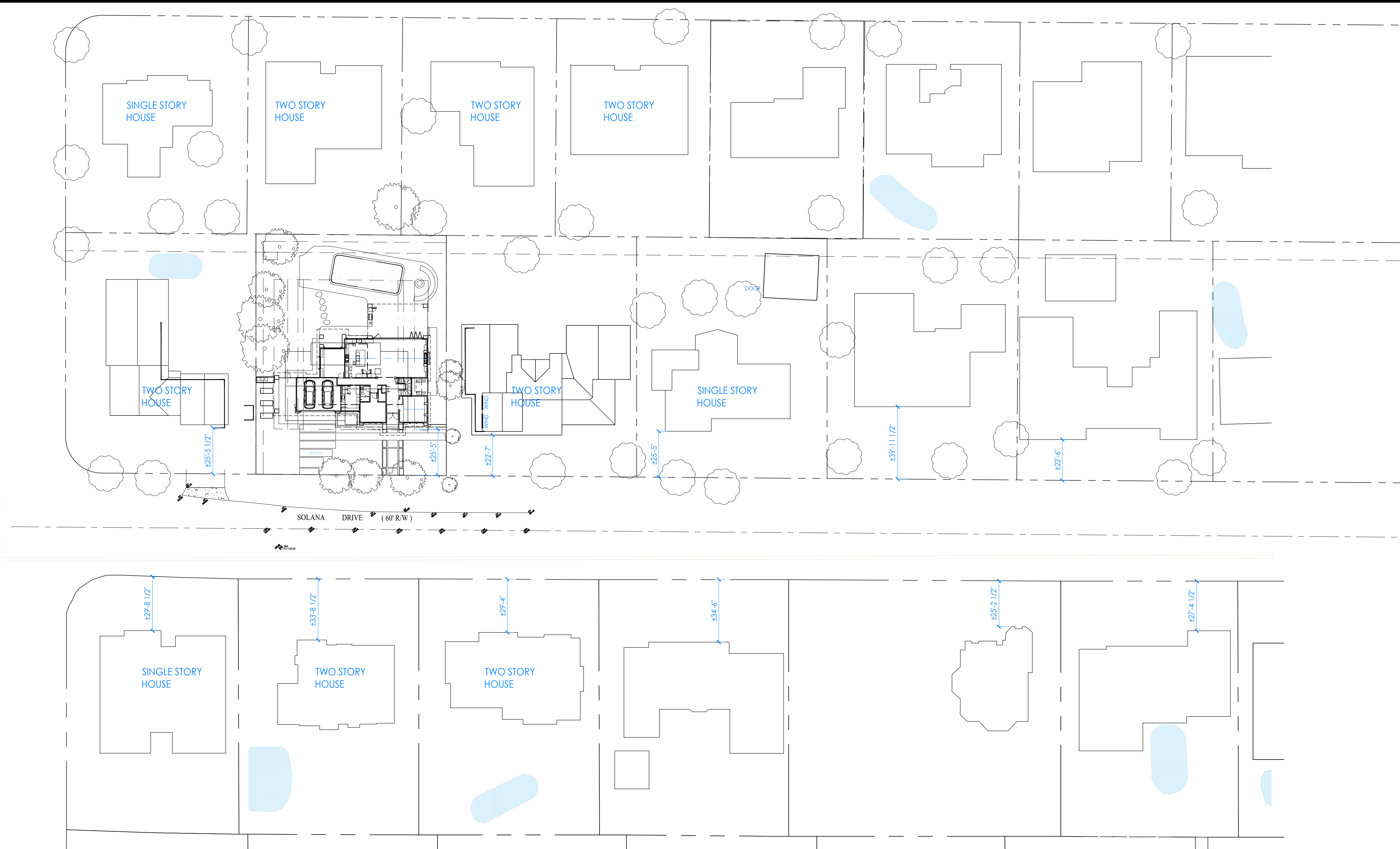
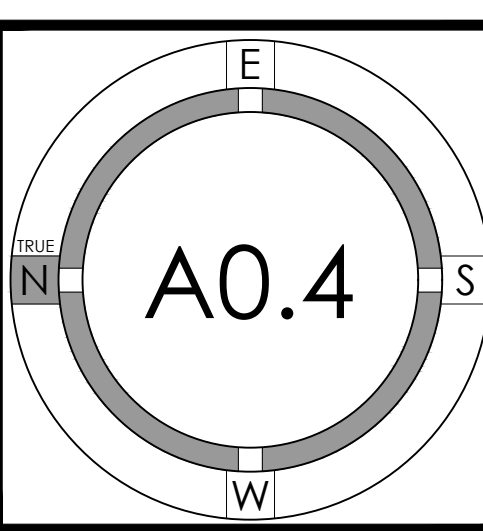
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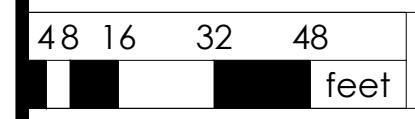
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITTAL	ES/WC / JMB

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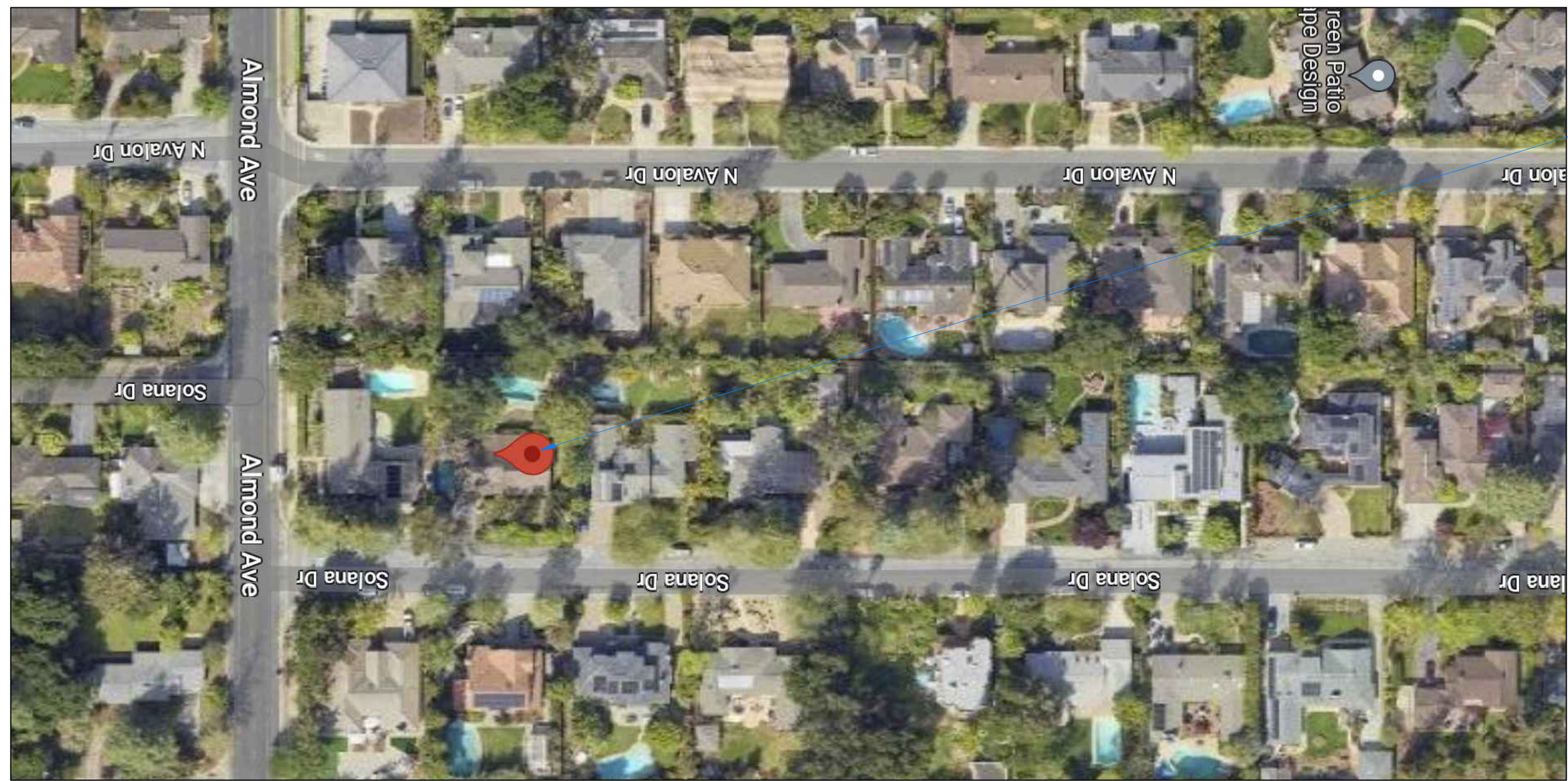
NEIGHBORHOOD CONTEXT



NOTE : ALL FRONT SETBACK DIMENSIONS APPROXIMATED FROM GOOGLE EARTH



NEIGHBORHOOD PRIVACY DIAGRAM - 1ST FLOOR 1



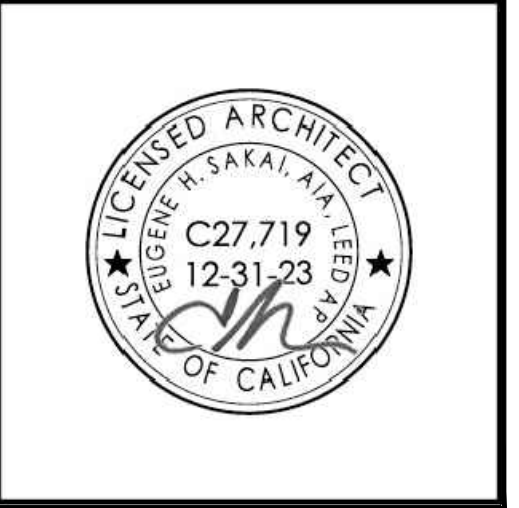
PROPERTY LINE

LEGEND 2



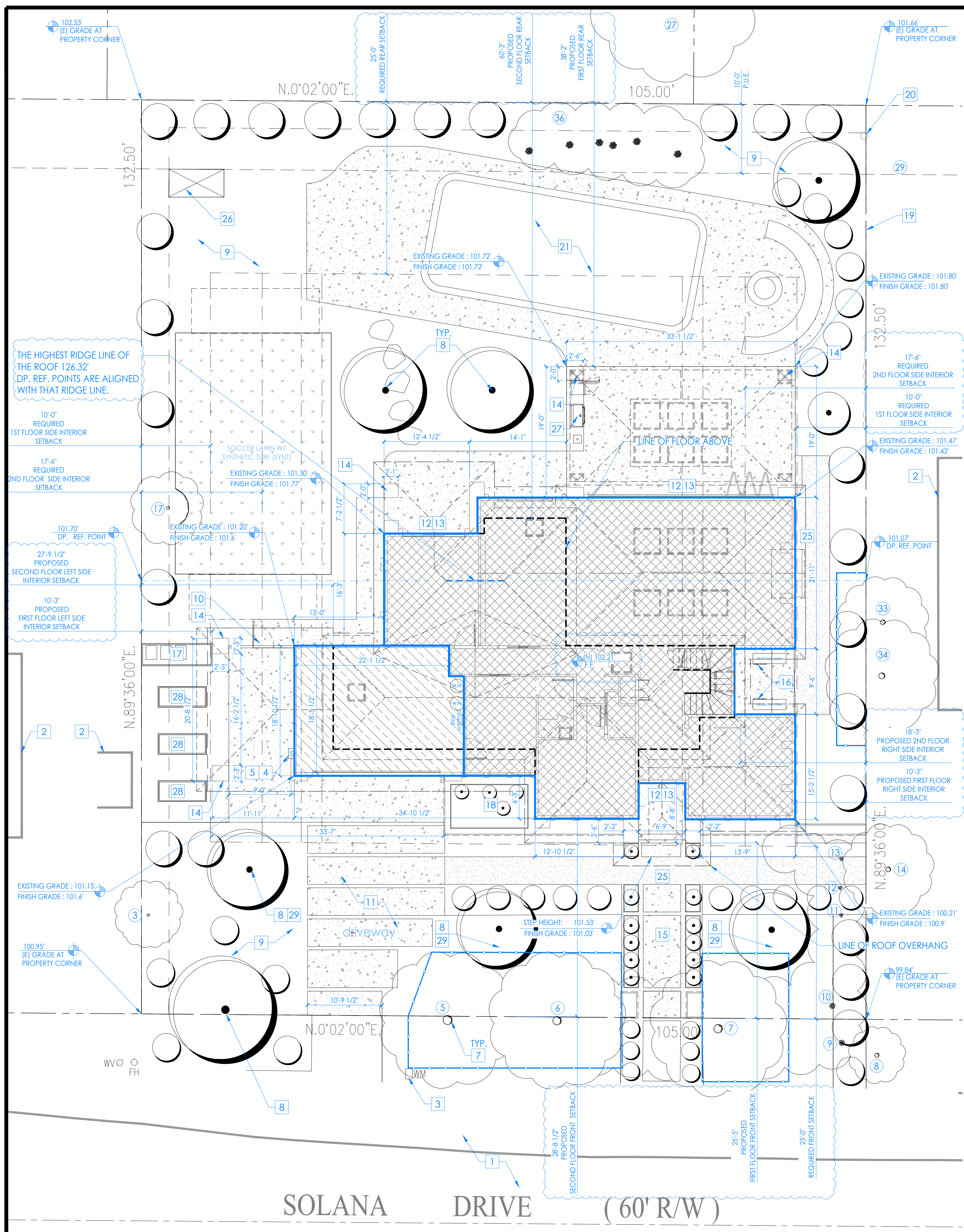
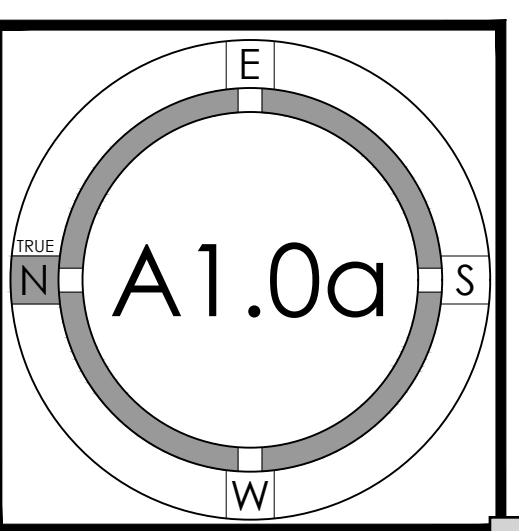
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		2023.08.11	DESIGN PACKAGE RESUBMITTAL #2	ES/WC

SITE PLAN



12 4 8 12 feet

**EXISTING TREES** (Refer to Arborist report)

Survey Key:  
DBH-Diameter at breast height (54" above grade)  
CON-Condition rating from A-Excellent to F-Very Poor  
HT/SP-Tree height/canopy spread  
\*Indicates neighbor's trees  
P-Indicates protected tree by city ordinance  
R-Indicates proposed tree removal

Tree#	Species	DBH	CON	HT/SP	Comments
1P/R	Monterey Pine (Pinus radiata)	38	D	75/45	Poor vigor, poor structure, dead limbs, history of limb loss, canker disease, end of natural lifespan, bark beetles.
2P/R	Monterey Pine (Pinus radiata)	17.8	D	25/20	Fair vigor, poor structure, suppressed, grows horizontally.
3	Coast Live Oak (Quercus agrifolia)	3.6	B	10/10	Fair vigor, fair structure, suppressed.
4	Leyland Cypress (Cupressus leylandii)	5.7	D	10/6	Poor vigor, poor structure, topped, suppressed, in decline.
5P	Liquidambar (Liquidambar styraciflua)	16.1	D	35/20	Fair to poor vigor, poor structure, topped. Street tree.
6P	Liquidambar (Liquidambar styraciflua)	14.5	C	35/20	Fair vigor, fair structure. Street tree.
7P	Liquidambar (Liquidambar styraciflua)	13.7	C	35/20	Fair vigor, fair structure. Street tree.
8*P	Queen Palm (Syagrus romanzoffiana)	8est	A	15/8	Good vigor, good structure. Street tree.
9P	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned. Street tree.
10	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned.
11	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
12	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
13	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
14*	African Fern Pine (Afrocarpus falcatus)	8est	B	18/12	Good vigor, good structure.
15P/R	Silver Dollar Euc. (Eucalyptus polyanthemos)	18.0	D	45/20	Fair vigor, poor structure, topped in past at 25', heartwood decay on trunk at grade, hazard.
16	Hollywood Juniper (Juniperus chinensis)	4.3	C	15/10	Fair vigor, fair form, poor location against home.
17	Pittosporum (Pittosporum tobira)	5.0	C	12/10	Fair vigor, fair structure.
18P/R	Silk Oak (Grevillea robusta)	21.8	F	40/20	Poor vigor, poor structure, topped in past at 25', heartwood decay on trunk at grade, hazard.
19	Green Ash (Fraxinus uhdei)	9.2	D	30/15	Fair vigor, poor structure, suppressed, no room for tree.
20P/R	Canary Island Pine (Pinus canariensis)	17.3	F	20/15	Poor vigor, poor structure, topped for utilities, hazard.
21P/R	Monterey Pine (Pinus radiata)	21.0	F	20/15	Poor vigor, poor structure, topped for utilities, hazard.
22	Privet (Ligustrum japonicum)	7.4	D	20/15	Fair vigor, poor structure, topped for utilities.
23P/R	Monterey Pine (Pinus radiata)	36.2	C	75/50	Fair vigor, fair structure, at end of natural lifespan.
24	Black Pine (Pinus thunbergii)	12.1	D	30/20	Fair vigor, poor structure, suppressed.
25	Mulberry (Morus alba)	9.5	F	20/20	Poor vigor, poor structure, severe heartwooddecay, hazard.
26P/R	Liquidambar (Liquidambar styraciflua)	15.5	D	40/35	Fair vigor, poor structure, suppressed, decay at root crown.
27*P	Coast Live Oak (Quercus agrifolia)	28est	B	45/45	Fair vigor, fair structure, limited visual inspection.
28	Mulberry (Morus alba)	9.0	F	15/15	Poor vigor, poor structure, topped for utilities, in decline, nearly dead.
29*P	Black Acacia (Acacia melanoxylon)	15est	D	20/25	Poor vigor, poor structure, topped for utilities, in decline.
30P/R	African Fern Pine (Afrocarpus falcatus)	23.0	D	50/45	Fair vigor, poor structure, codominant at 12' with poor union.
31P/R	Magnolia (Magnolia grandiflora)	17.5	D	40/40	Poor vigor, poor structure, suppressed, drought stressed, in decline.
32	Cherry Laurel (Prunus caroliniana)	3.0	C	12/6	Fair to poor vigor, fair structure, in decline, drought stressed.
33*	Green Ash (Fraxinus uhdei)	8est	D	30/20	Fair vigor, poor structure, topped.
34	Green Ash (Fraxinus uhdei)	10est	D	30/20	Fair vigor, poor structure, topped.
35	Orange (Citrus sinensis)	9.8	D	15/12	Poor vigor, poor structure, in decline, topped.
36	Oleander hedge (Nerium oleander)	1"x10	C	12/10	Fair vigor poor structure, codominant at GRADE.

- # = NUMBER TO KEY NOTE BELOW
- 1. EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
- 2. APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
- 3. (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
- 4. (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
- 5. UFER GROUND CONNECTION PER CEC 250-52
- 6. (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE, WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
- 7. (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
- 8. (N) TREE(S)--SEE LANDSCAPE PLAN FOR MORE INFO.
- 9. (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
- 10. (N) FENCE AND GATE -- VERIFY FINAL DESIGN AND FINISH WITH LANDSCAPE ARCHITECT--NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS. GATES SHALL PROVIDE A MINIMUM OPENING WIDTH AT LEAST 32" FOR EGRESS. PLEASE SEE CRC R311.2 FOR REQUIREMENTS
- 11. (N) DRIVEWAY, PERMEABLE CONCRETE PAVERS -- TECO-BLOC, MODEL: BLU 80 POLISHED - CHESTNUT BROWN, OVER AT LEAST 4" OF CLASS 2 AGGREGATE BASE PER GEOTECH REPORT--SEE LANDSCAPE AND CIVIL PLANS FOR ADDITIONAL INFO.
- 12. (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
- 13. (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
- 14. (N) PORCH COLUMNS
- 15. (N) WALKWAY -- CONCRETE PADS W/ GRAVEL INFILL
- 16. (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE--SEE HVAC PLANS
- 17. (N) TRASH BIN STORAGE
- 18. (N) PLANTER--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
- 19. (E) PERIMETER FENCE TO REMAIN
- 20. (E) JOINT POLE
- 21. (E) POOL TO REMAIN
- 22. (N) SANITARY SEWER LINE , SEE CIVIL PLANS FOR MORE INFO
- 23. (N) JOINT TRENCH FOR ELECTRICAL, CABLE, TEL, ETC. COORDINATE WITH PG&E FOR DETAILS. SEE CIVIL PLANS FOR MORE INFO
- 24. (N) WATER LINE . SEE CIVIL PLANS FOR MORE INFO
- 25. GRAVEL AREA
- 26. (N) POOL EQUIPMENT
- 27. (N) OUTDOOR KITCHEN WITH BUILT IN GRILL
- 28. (N) RAISED VEGETABLE BEDS--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
- 29. (N) CATEGORY II REPLACEMENT TREES--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.

SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- - - REQUIRED YARD SETBACK/EASEMENT
- - - TREE PROTECTION FENCING -- TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION. SEE ARBORIST PLANS FOR ADDITIONAL INFO.
- [Hatched Box] NEW BUILDING AREA
- [Dotted Box] NEW GARAGE AREA
- [Stippled Box] NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO
- [Cross-hatched Box] GRAVEL AREA--SEE LANDSCAPE PLAN FOR MORE INFO
- ⊕ x.x.xx' SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
- ① TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

- NOTES:
- 1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
  - 2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
  - 3. SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS--CO-ORDINATE WITH CIVL & GEOTECH. REQUIREMENTS
  - 4. ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.
  - 5. ALL NEW UTILITY SERVICES ON LOT ARE PLACED UNDERGROUND FROM THE POLE DESIGNATED BY PG&E

SITE PLAN 1/8" 1

SITE PLAN LEGEND





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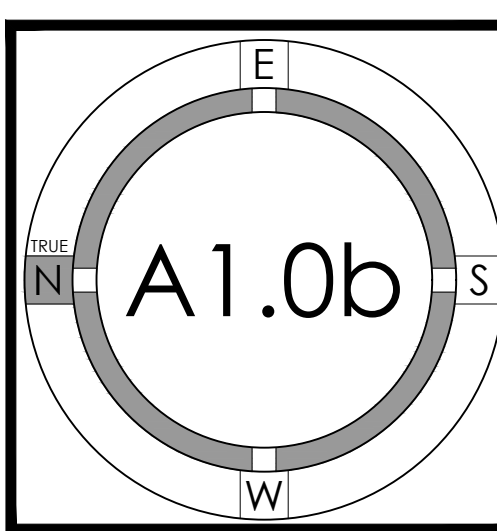
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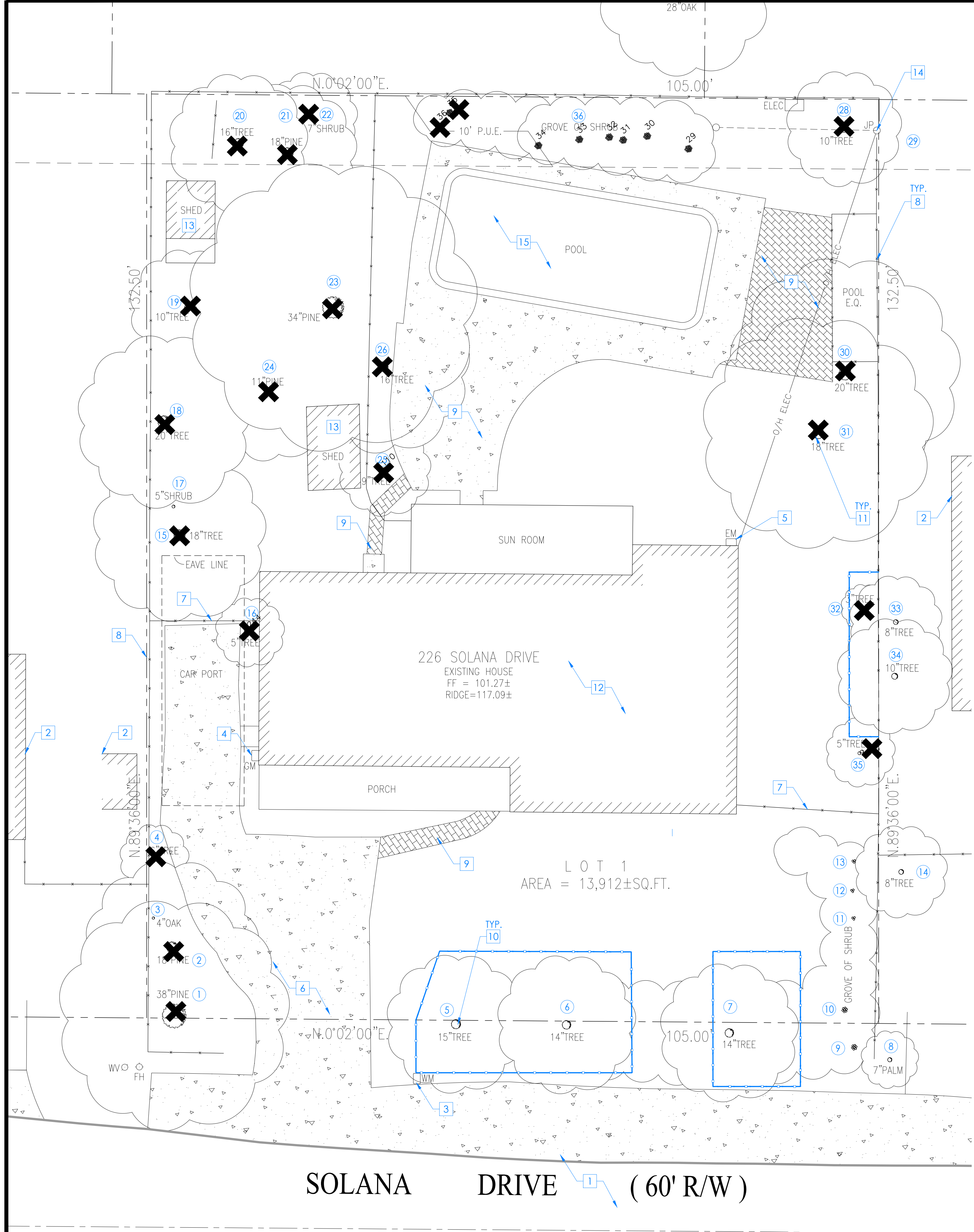
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DRAWN BY	ES/WC
ES/WC	
DATE	12-31-23
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DEMO SITE PLAN



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  - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
  - (E) GAS METER TO BE REMOVED
  - (E) ELECTRICAL PANEL TO BE REMOVED
  - (E) DRIVEWAY TO BE REMOVED
  - (E) FENCE TO BE REMOVED
  - (E) PERIMETER FENCE TO REMAIN IF IN GOOD CONDITION
  - (E)HARDSCAPE TO BE REMOVED
  - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
  - (E) TREE(S) TO BE REMOVED
  - (E) HOUSE TO BE REMOVED
  - (E) SHED TO BE REMOVED
  - (E) JOINT POLE
  - (E) POOL TO REMAIN



EXISTING TREES (refer to Arborist report)

Survey Key:  
 DBH-Diameter at breast height (54" above grade)  
 CON- Condition rating (from A -Excellent to F-Very Poor)  
 HT/SP- Tree height/ canopy spread  
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11	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
12	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
13	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.
14*	African Fern Pine (Afrocarpus falcatus)	8est	B	18/12	Good vigor, good structure.
15P/R	Silver Dollar Euc (Eucalyptus polyanthemos)	18.0	D	45/20	Fair vigor, poor structure, topped in past at 20'
16	Hollywood Juniper (Juniperus chinensis)	4.3	C	15/10	Fair vigor, fair form, poor location against home
17	Pittosporum (Pittosporum tobira)	5.0	C	12/10	Fair vigor, fair structure.
18P/R	Silk Oak (Grevillea robusta)	21.8	F	40/20	Poor vigor, poor structure, topped in past at 25', heartwood decay on trunk at grade, hazard.
19	Green Ash (Fraxinus uhdei)	9.2	D	30/15	Fair vigor, poor structure, suppressed, no room for tree
20P/R	Canary Island Pine (Pinus canariensis)	17.3	F	20/15	Poor vigor, poor structure, topped for utilities, hazard
21P/R	Monterey Pine (Pinus radiata)	21.0	F	20/15	Poor vigor, poor structure, topped for utilities, hazard
22	Privet (Ligustrum japonicum)	7-4	D	20/15	Fair vigor, poor structure, topped for utilities
23P/R	Monterey Pine (Pinus radiata)	36.2	C	75/50	Fair vigor, fair structure, at end of natural lifespan.
24	Black Pine (Pinus thunbergii)	12.1	D	30/20	Fair vigor, poor structure, suppressed.
25	Mulberry (Morus alba)	9.5	F	20/20	Poor vigor, poor structure, severe heartwood decay, hazard.
26P/R	Liquidambar (Liquidambar styraciflua)	15.5	D	40/35	Fair vigor, poor structure, suppressed, decay at root crown.
27*P	Coast Live Oak (Quercus agrifolia)	28est	B	45/45	Fair vigor, fair structure, limited visual inspection.
28	Mulberry (Morus alba)	9.0	F	15/15	Poor vigor, poor structure, topped for utilities, in decline, nearly dead.
29P/R	Black Acacia (Acacia melanoxylon)	15est	D	20/25	Poor vigor, poor structure, topped for utilities, in decline.
30P/R	African Fern Pine (Afrocarpus falcatus)	23.0	D	50/45	Fair vigor, poor structure, codominant at 12' with poor union.
31P/R	Magnolia (Magnolia grandiflora)	17.5	D	40/40	Poor vigor, poor structure, suppressed, drought stressed, in decline.
32	Cherry Laurel (Prunus caroliniana)	3.0	C	12/6	Fair to poor vigor, fair structure, in decline, drought stressed.
33*	Green Ash (Fraxinus uhdei)	8est	D	30/20	Fair vigor, poor structure, topped.
34	Green Ash (Fraxinus uhdei)	10est	D	30/20	Fair vigor, poor structure, topped.
35	Orange (Citrus sinensis)	9.8	D	15/12	Poor vigor, poor structure, in decline, topped
36	Oleander hedge (Nerium oleander)	1"x10	C	12/10	Fair vigor poor structure, codominant at GRADE

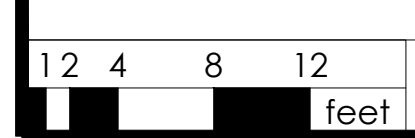
DEMO SITE PLAN 1/8" 1

DEMO SITE PLAN KEYNOTES

	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
	REQUIRED YARD SETBACK
	TREE PROTECTION FENCING -- TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION. SEE ARBORIST PLANS FOR ADDITIONAL INFO.

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
  - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
- SPOT ELEVATION. SEE CIVIL DRAWINGS FOR MORE INFO  
 TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO  
 TREE TO BE REMOVED

DEMO SITE PLAN LEGEND





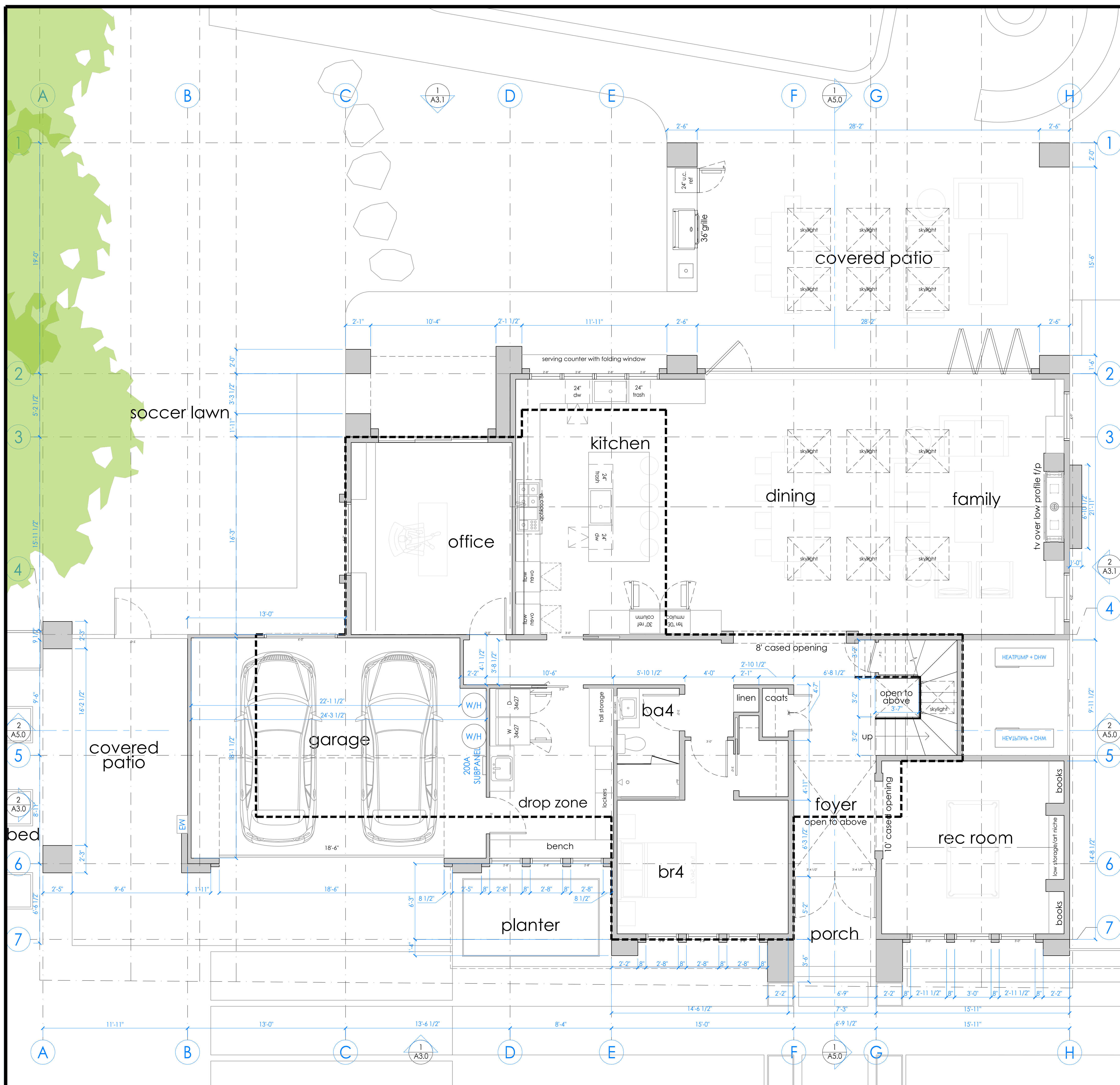
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22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITTAL #1	ES/WC
	2023.08.11	DESIGN PACKAGE RESUBMITTAL #2	ES/WC

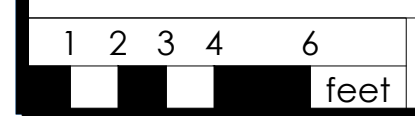
FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION



- NOTE:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

FLOOR PLAN KEYNOTES

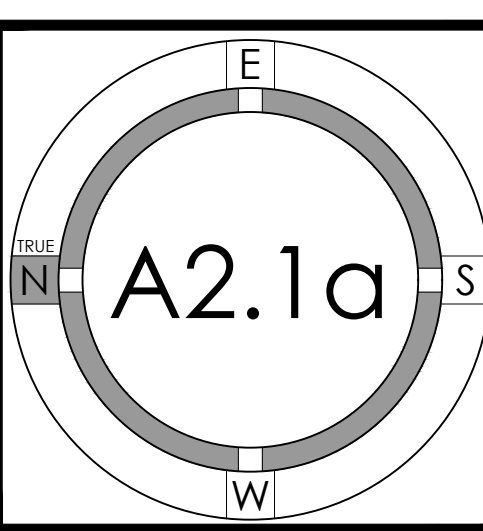
(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD



1ST FLOOR PLAN 1/4" 1

1ST

FLOOR PLAN





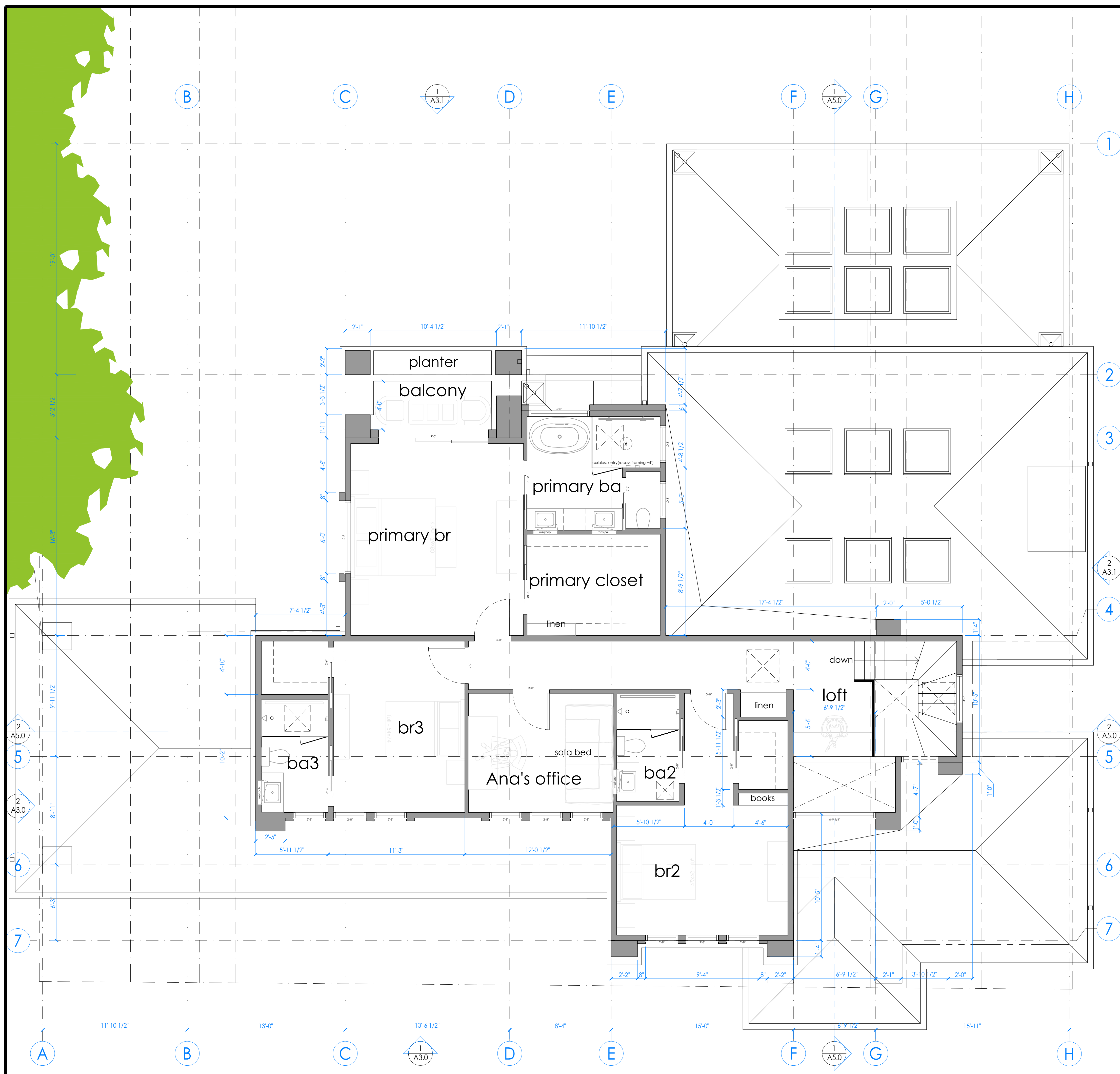
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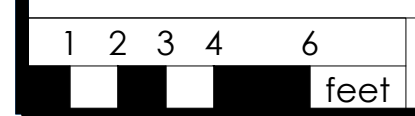
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FLOOR PLAN KEYNOTES

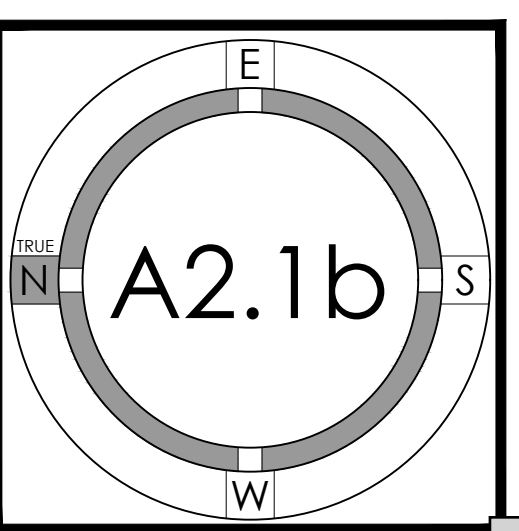
(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD



2ND FLOOR PLAN 1/4" 1

2ND

FLOOR PLAN





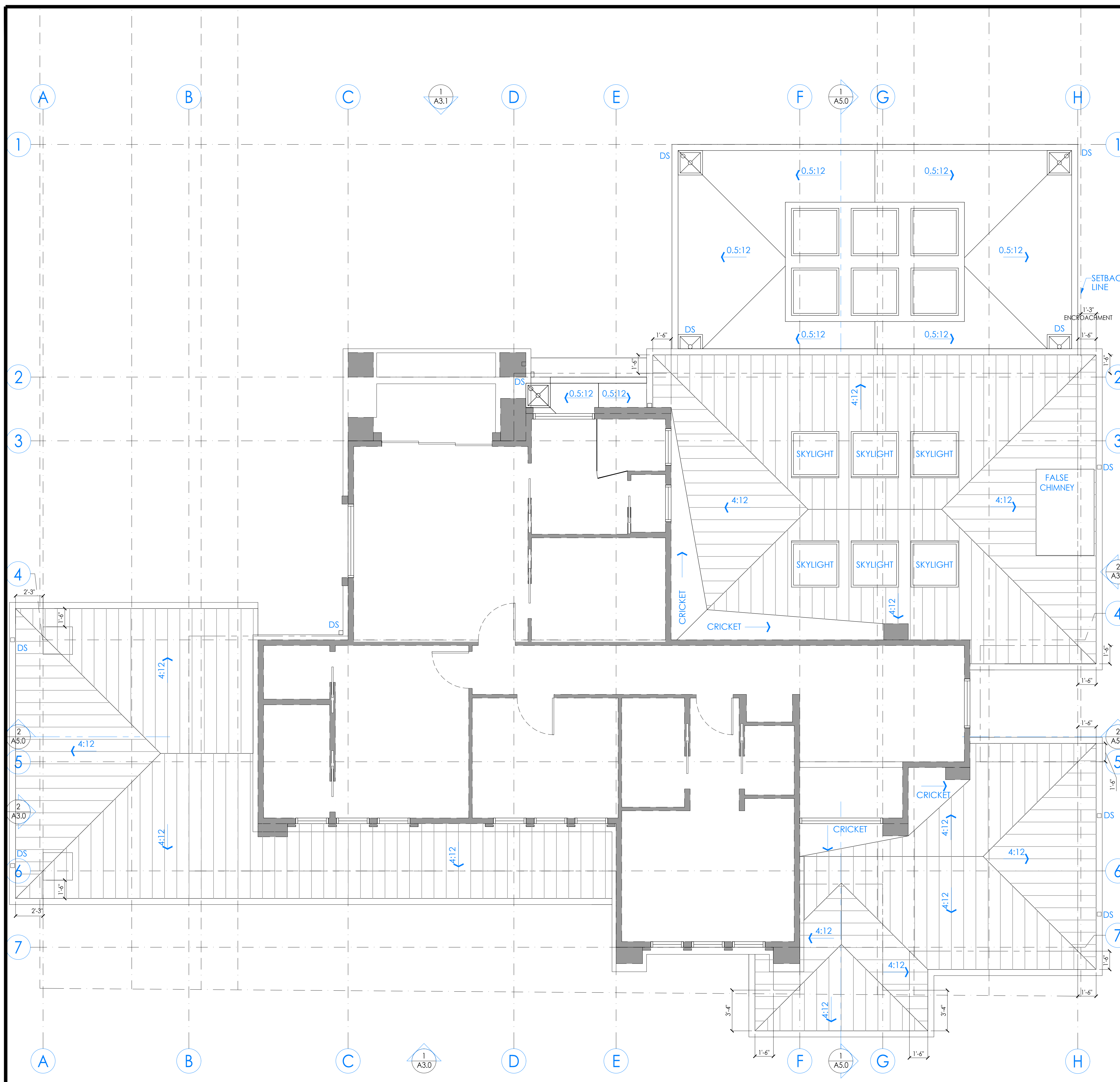
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  - SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

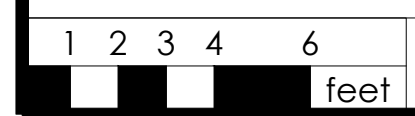
SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

[STANDING SEAM/CORRUGATED] METAL ROOF, MIN CLASS [X]--MANUF: [AEP SPAN]; STYLE: [SELECT SEAM]{staff must check applicable roof slopes at manuf. website}; COVERAGE: [16"]; GAUGE: [22]; COLOR: [COLOR]--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND [UES EVALUATION REPORT #0309]

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

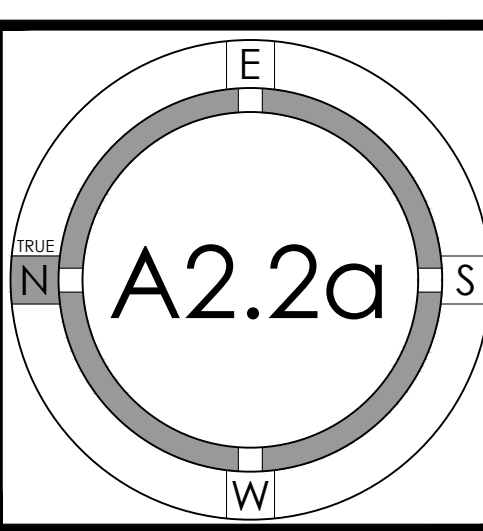
— LINE OF BLDG. BELOW



LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND

LOWER ROOF PLAN



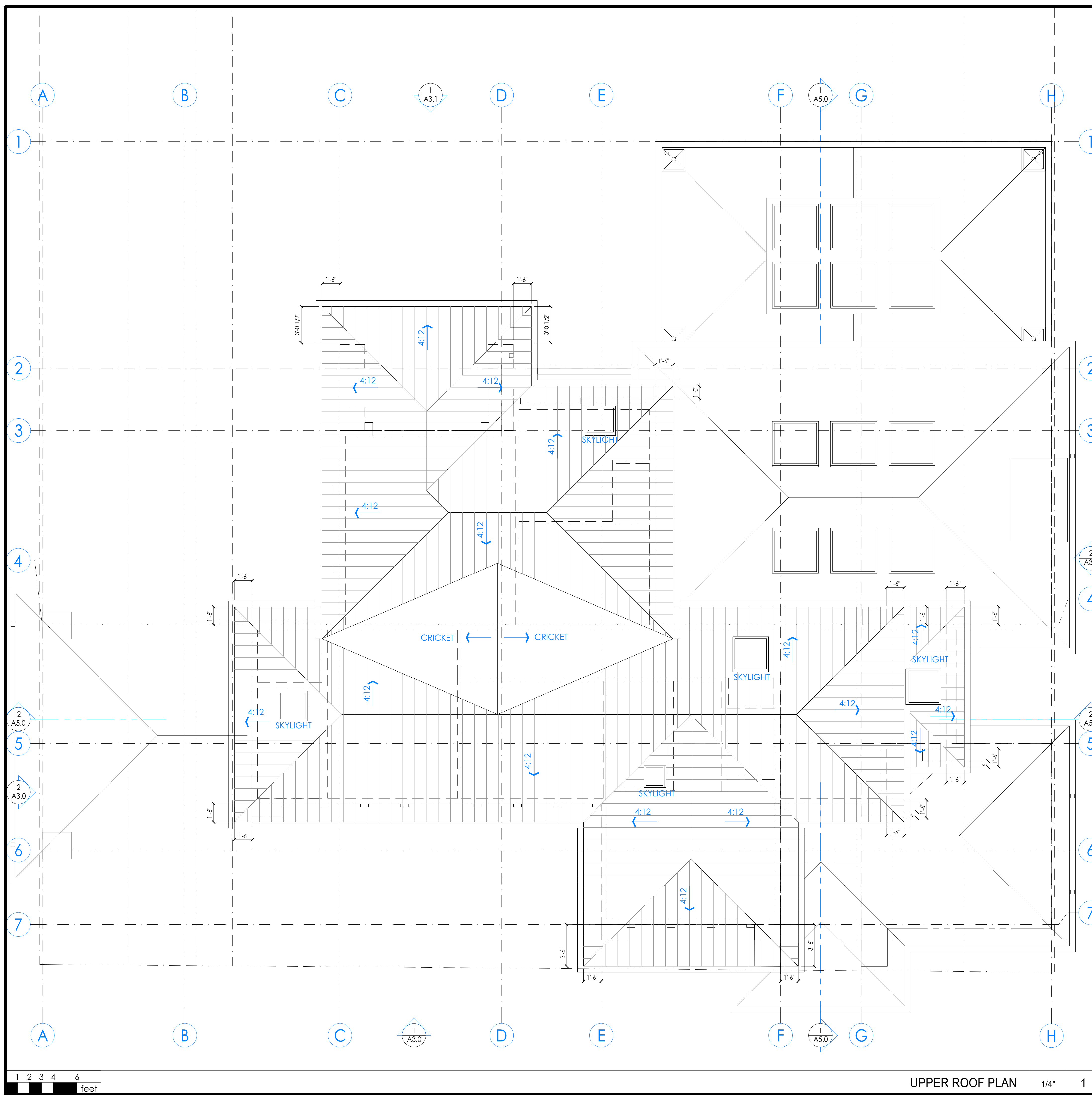


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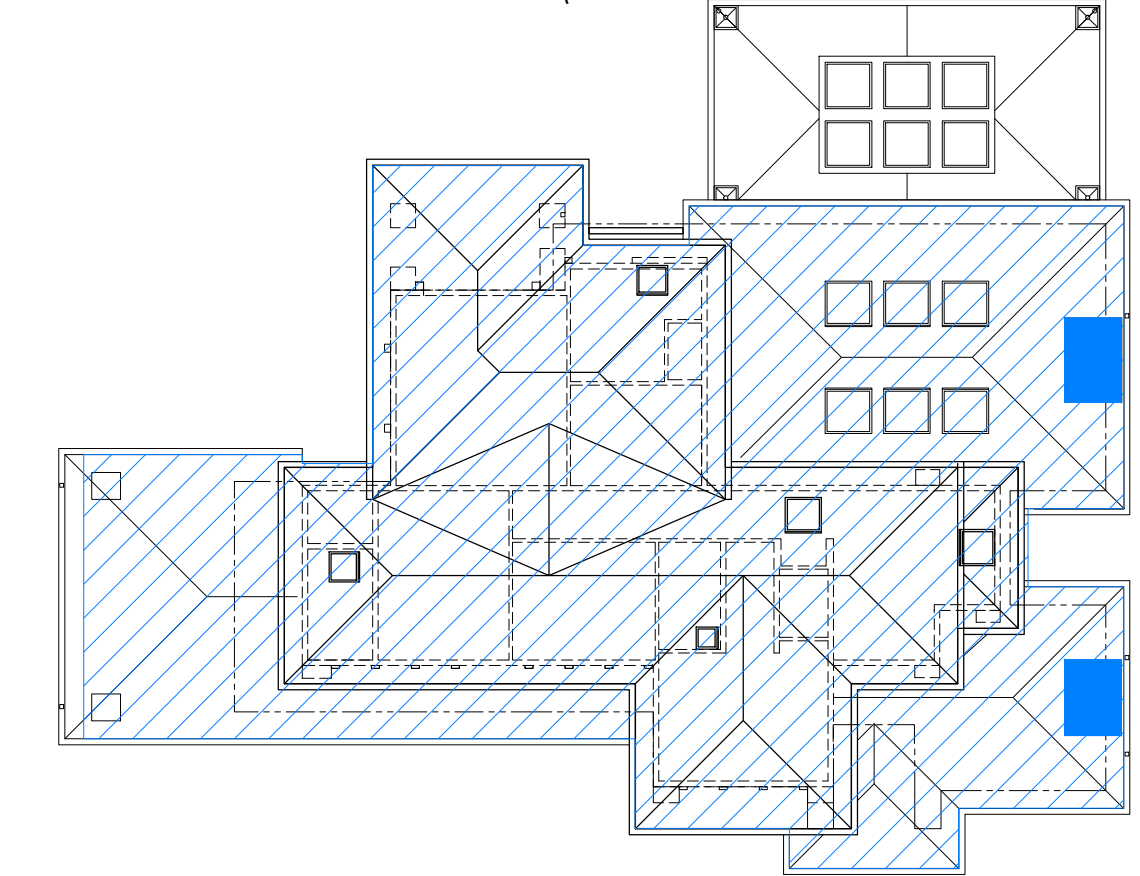
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  - SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
  - SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

ROOF GENERAL NOTES

GROSS AREA OF THE BUILDING ROOF : 3650 S.F.  
 CHIMNEYS : 63 S.F.  
 63 S.F. < 4% X 3650 = 146 S.F. (4% OF THE GROSS AREA OF THE BUILDING ROOF)



ATTIC VENTILATION CALCULATIONS AND NOTES

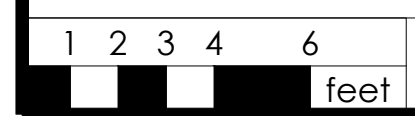
SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

[STANDING SEAM/CORRUGATED] METAL ROOF, MIN CLASS [X]--MANUF: [AEP SPAN]; STYLE: [SELECT SEAM]{staff must check applicable roof slopes at manuf. website}; COVERAGE: [16"]; GAUGE: [22]; COLOR: [COLOR]--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND [UES EVALUATION REPORT #0309]

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

— LINE OF BLDG. BELOW



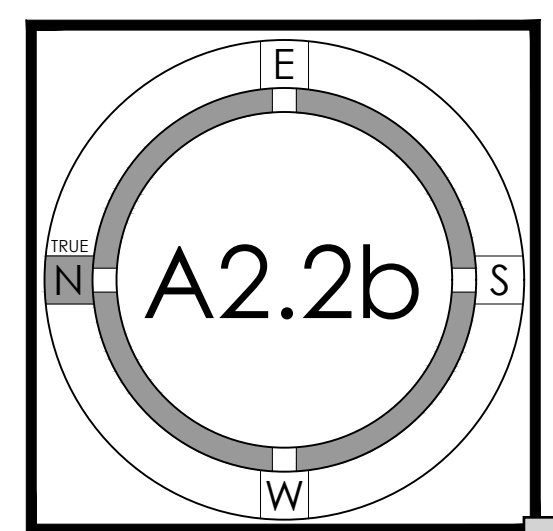
UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND

PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITAL	ES/WC
	2023.08.11	DESIGN PACKAGE RESUBMITAL #2	ES/WC

UPPER

ROOF PLAN





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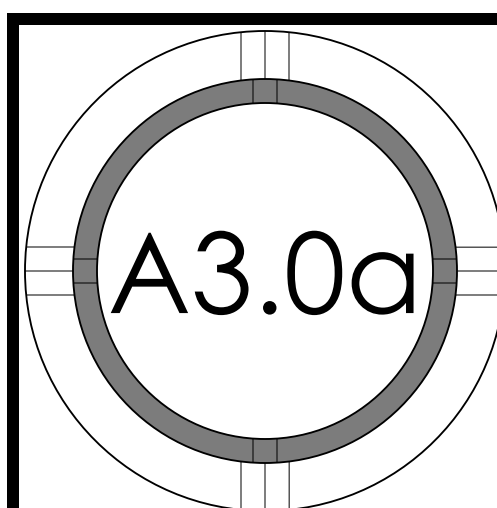
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Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 2226 Solana Drive  
Ana Bertran and Roberto Angulo



REVISION	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	
	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	

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EXTERIOR ELEVATIONS



WEST ELEVATION (FRONT) 1/4" 1

1 2 3 4 6 feet



SOUTH ELEVATION (RIGHT) 1/4" 2

1 2 3 4 6 feet

# = NUMBER OF KEYNOTE BELOW

- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
- 2 SEAM METAL ROOFING--SEE ROOF PLAN FOR MORE INFO
- 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
- 4 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--SEE DETAILS [XX/XX]--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
- 5 PAINTED REDWOOD TRIM
- 6 WOOD FRAMED "FALSE" CHIMNEY WITH 8" TALL PRECAST STONE CORNICE CAP-- www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
- 7 ARCHITECTURAL LINEAR SERIES BRICK WASHED - MAHAGONY -- DIMENSIONS : 2-1/4" x RANDOM (LIP TO 23-5/8") L x 3-3/4" D; COLOR: MAHAGONY-- www.artiscraft.com/?s=architectural-linear+series
- 8 PAINTED REDWOOD TRIM--2x8 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
- 9 FACTORY-FINISHED ALUMINUM GARAGE DOOR--SEE DOOR SCHEDULE FOR MORE INFO
- 10 WINDOW/DOOR OPENING--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
- 11 ONE PIECE STRAIGHT FIBER GLASS COLUMN, 2'-0" X 2'-6" BASE , 7'-0" OVERALL HEIGHT
- 12 EXTERIOR LIGHT, OWNER PROVIDE SPECS.
- 13 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET-- HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED-- www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
- 14 WOOD EXTERIOR DOOR: W15H GLASS PANEL-- https://www.jeld-wen.com/en-us/products/exterior-doors/wp-wood/w15h-glass-panel

NOTES:

- 1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
- 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
- 3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
- 4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
- 5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3g FOR 3D MODEL VIEWS

KEYNOTES	-	-

ELEVATION GRID LINE KEY

- A NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'
- B 1ST FLOOR FINISH FLOOR ELEVATION= 102.21'
- C 1ST FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 111.54'
- D 2ND FLOOR FINISH FLOOR ELEVATION(U.N.O.) = 112.79'
- E KITCHEN/FAMILY ROOM CEILING HEIGHT = 115.38'
- F 2ND FLOOR CEILING HEIGHT, I.O. PLATE (U.N.O.) = 121.38'
- G PROPOSED BUILDING HEIGHT = 25'-7 1/2" 126.32'
- H MAX BUILDING HEIGHT ALLOWED = 27'-0" 128.64'

ELEVATION GRID LINE KEY - -



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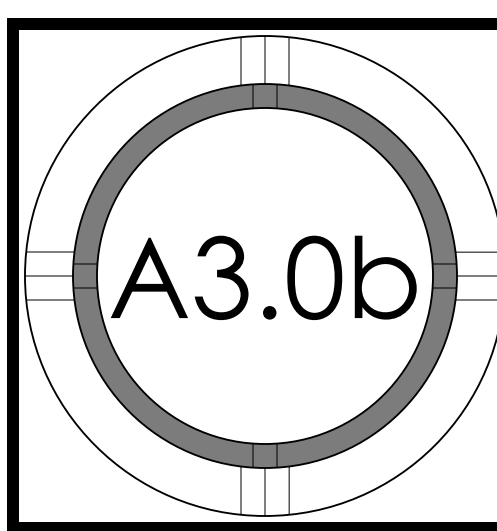
22025 Bertran-Angulo  
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Ana Bertran and Roberto Angulo



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		2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	ES/WC
		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL #1	ES/WC/MBD	ES/WC/MBD
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	ES/WC/MBD

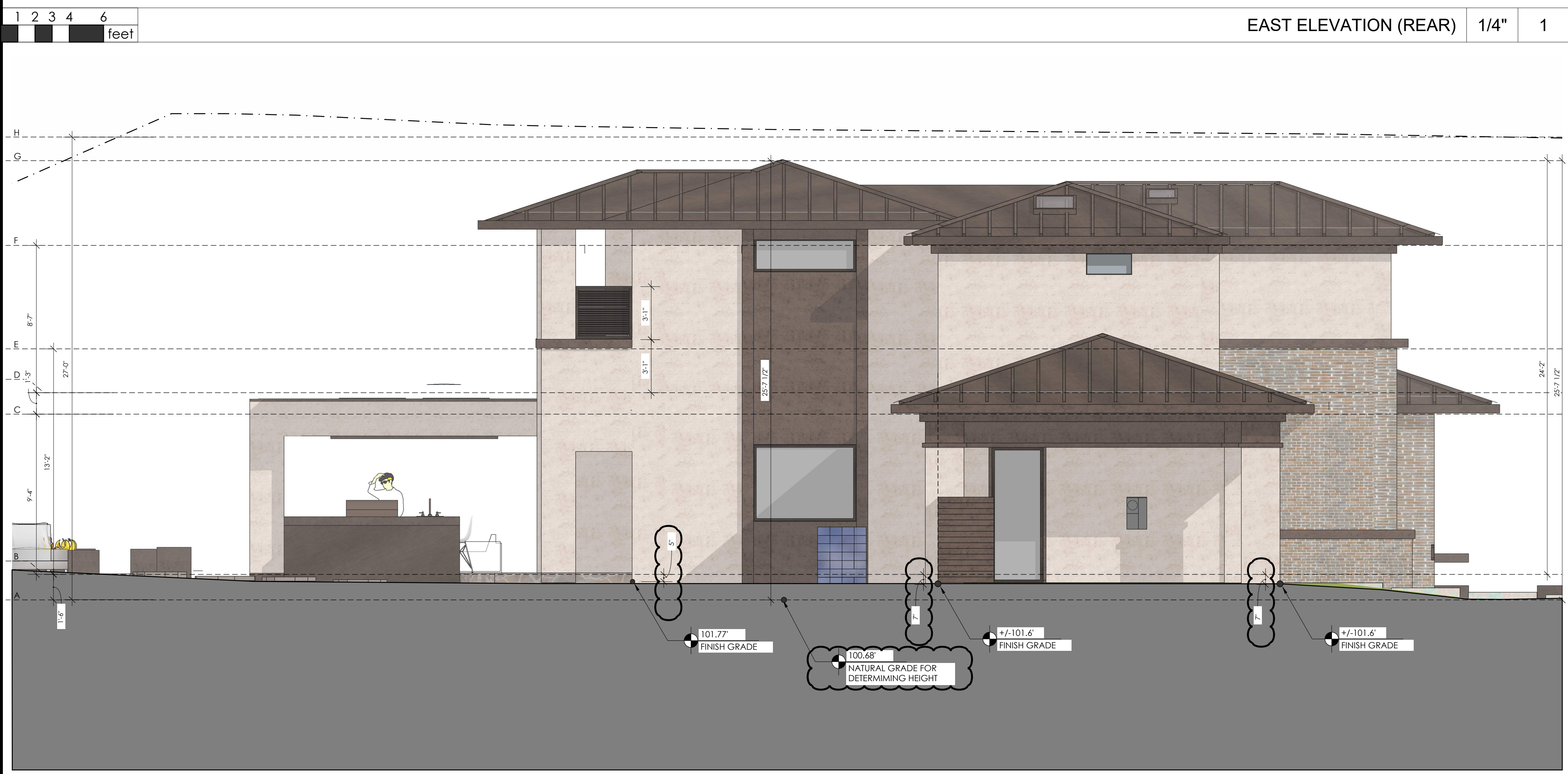
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EXTERIOR ELEVATIONS



EAST ELEVATION (REAR) 1/4" 1

- # = NUMBER OF KEYNOTE BELOW
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- 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
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NORTH ELEVATION (LEFT) 1/4" 2

- NOTES:
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  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3g FOR 3D MODEL VIEWS

KEYNOTES	-	-

ELEVATION GRID LINE KEY

A	NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'
B	1ST FLOOR FINISH FLOOR ELEVATION = 102.21'
C	1ST FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 111.54'
D	2ND FLOOR FINISH FLOOR ELEVATION (U.N.O.) = 112.79'
E	KITCHEN/FAMILY ROOM CEILING HEIGHT = 115.38'
F	2ND FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 121.38'
G	PROPOSED BUILDING HEIGHT = 25'-7 1/2" 126.32'
H	MAX BUILDING HEIGHT ALLOWED = 27'-0" 128.64'

ELEVATION GRID LINE KEY	-	-



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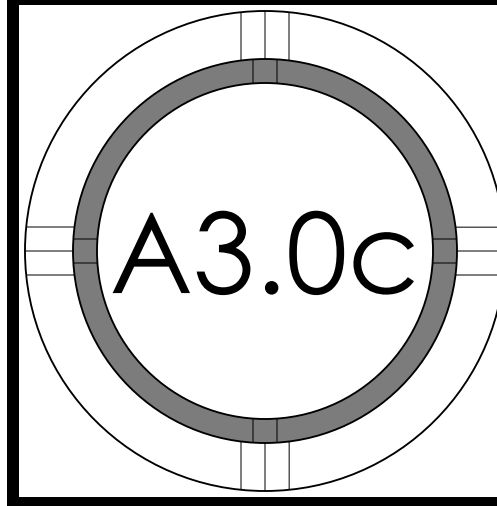
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Los Altos, 2226 Solana Drive  
Ana Bertran and Roberto Angulo



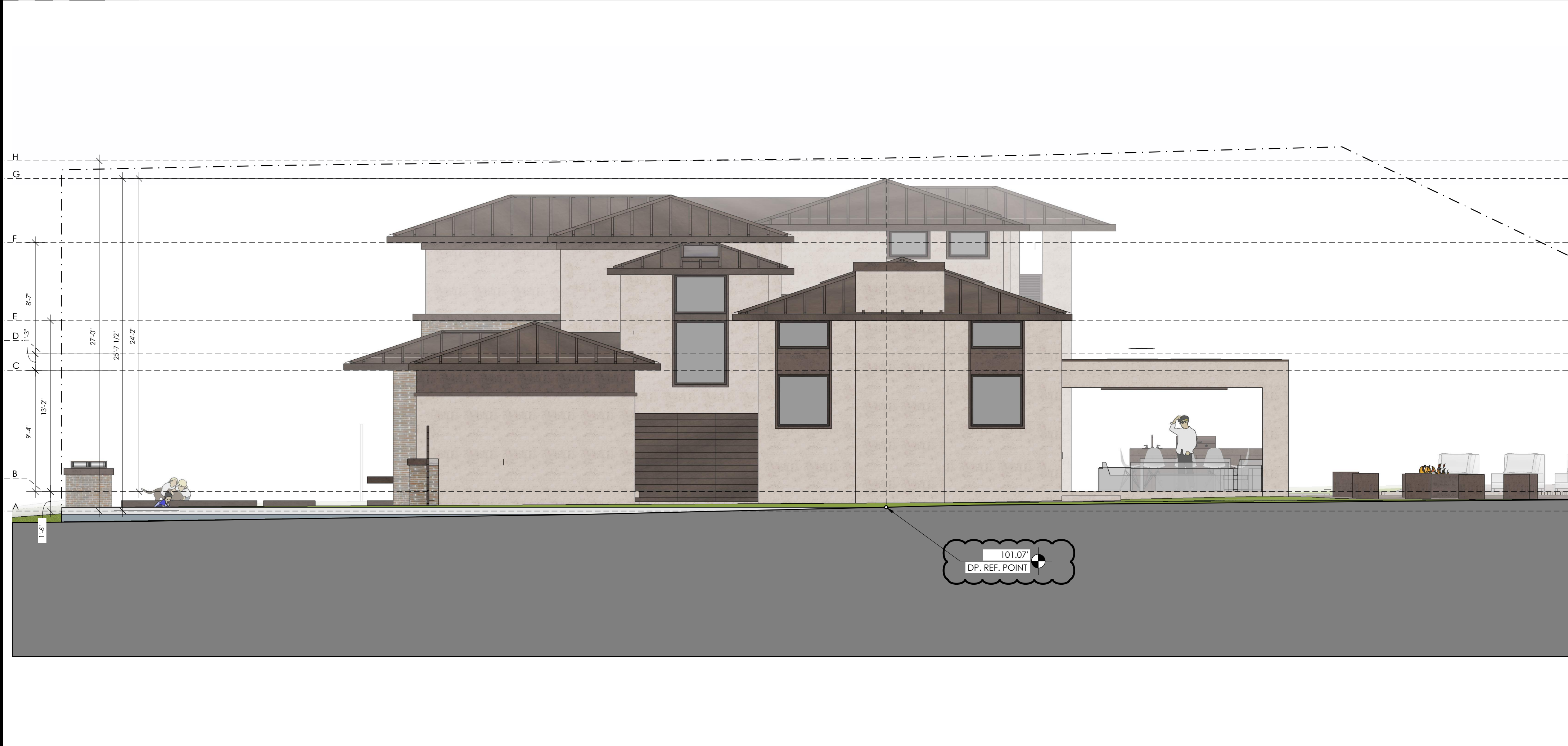
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	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	
	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	

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DAYLIGHT  
PLANE  
ELEVATIONS



FRONT-REAR DAYLIGHT PLANE ELEVATION 3/16" 1



SIDE YARD DAYLIGHT PLANE ELEVATION 3/16" 2

# = NUMBER OF KEYNOTE BELOW  
1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

KEYNOTES	-	-

ELEVATION GRID LINE KEY

A	NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'
B	1ST FLOOR FINISH FLOOR ELEVATION = 102.21'
C	1ST FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 111.54'
D	2ND FLOOR FINISH FLOOR ELEVATION (U.N.O.) = 112.79'
E	KITCHEN/FAMILY ROOM CEILING HEIGHT = 115.38'
F	2ND FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 121.38'
G	PROPOSED BUILDING HEIGHT = 25'-7 1/2" 126.32'
H	MAX BUILDING HEIGHT ALLOWED = 27'-0" 128.64'

ELEVATION GRID LINE KEY	-	-





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San Jose, CA 95128  
P : (408) 998 - 0983

22025 Bertran-Angulo  
Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 2226 Solana Drive  
Ana Bertran and Roberto Angulo



PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
		2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	
		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	
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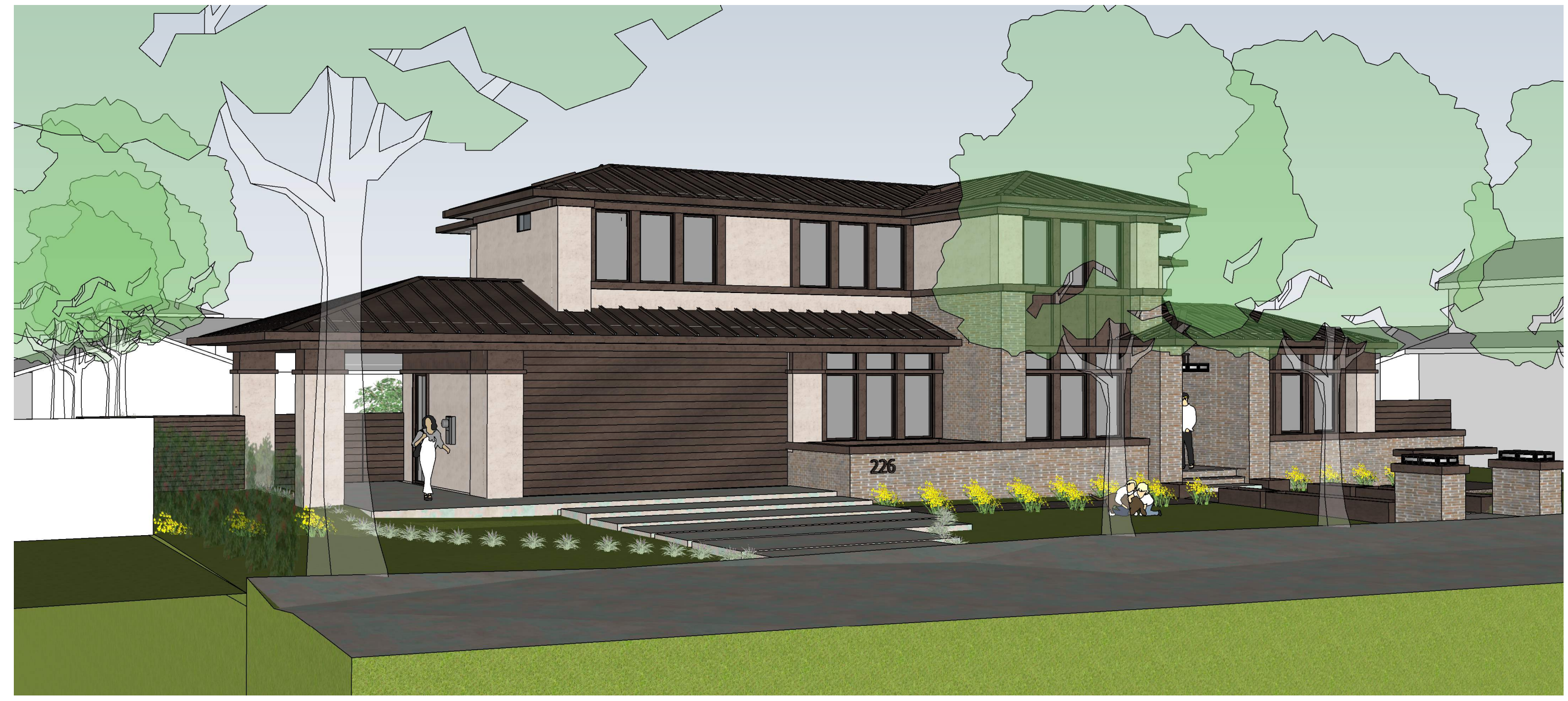
PERSPECTIVE EXTERIOR REAR RIGHT - 4



PERSPECTIVE EXTERIOR FRONT RIGHT - 1



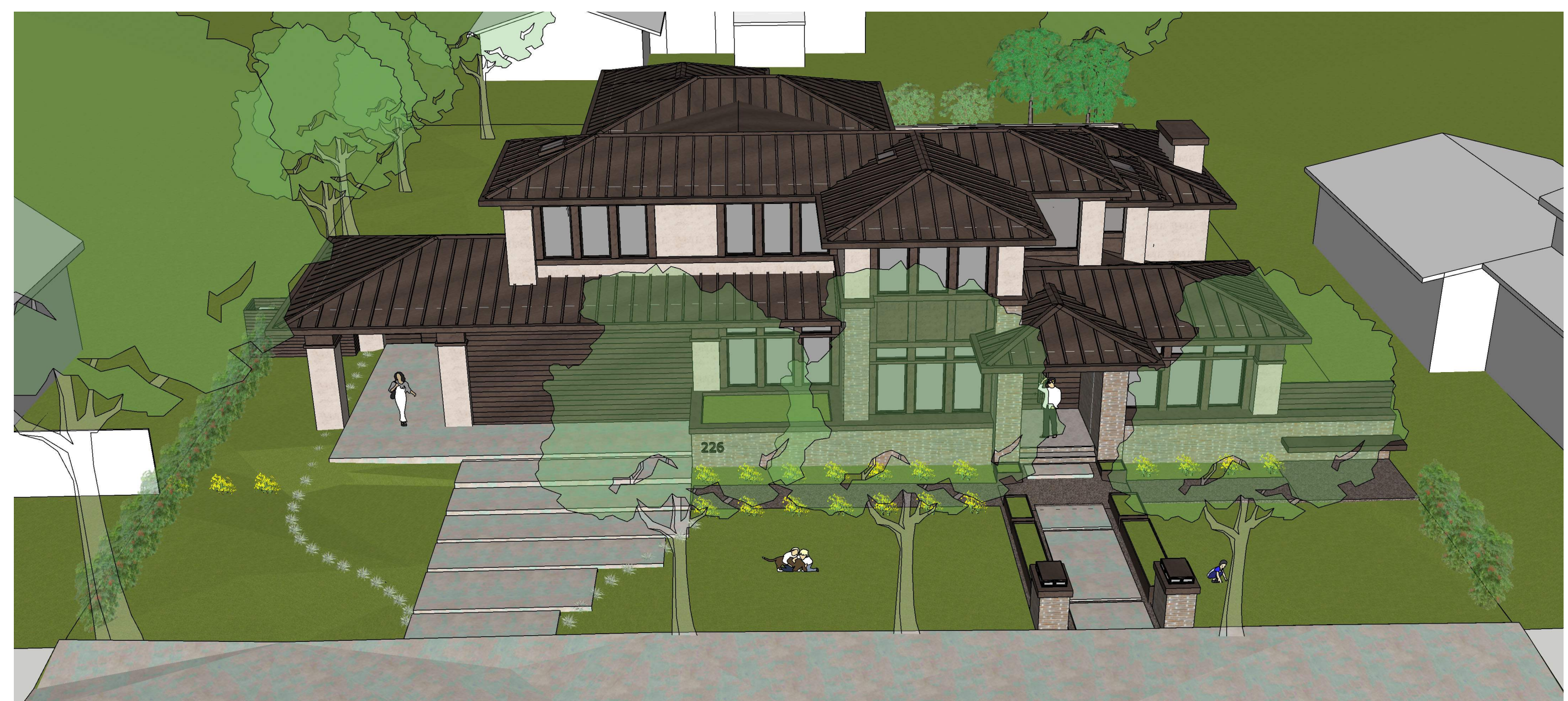
PERSPECTIVE EXTERIOR REAR LEFT - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2

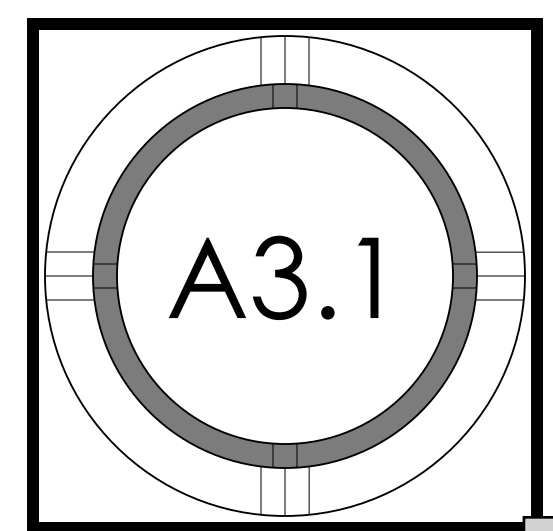


PERSPECTIVE EXTERIOR REAR HIGH - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3

EXTERIOR PERSPECTIVES





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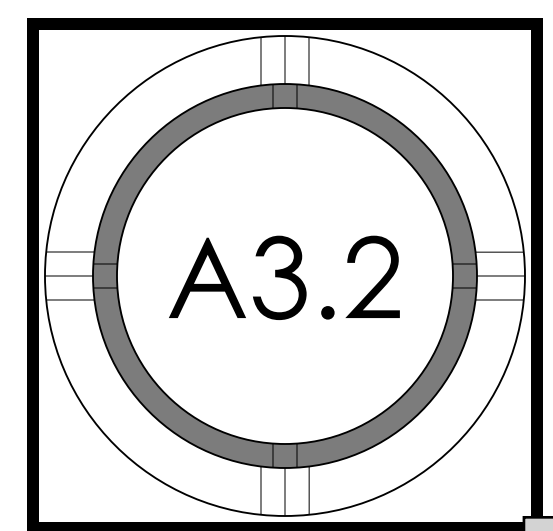
22025 Bertran-Angulo  
Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 2226 Solana Drive  
Ana Bertran and Roberto Angulo



REVISION	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY	MATCH/CAD FILE BLOCK
	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	ES/WC	
	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	ES/WC/MBD	
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	ES/WC/MBD	

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EXTERIOR PERSPECTIVES



PERSPECTIVE EXTERIOR REAR BALCONY - 4



PERSPECTIVE EXTERIOR FRONT ENTRY - 1



PERSPECTIVE EXTERIOR LEFT - 5



PERSPECTIVE EXTERIOR REAR PATIO - 2



PERSPECTIVE EXTERIOR FRONT TOWER - 6



PERSPECTIVE EXTERIOR REAR - 3



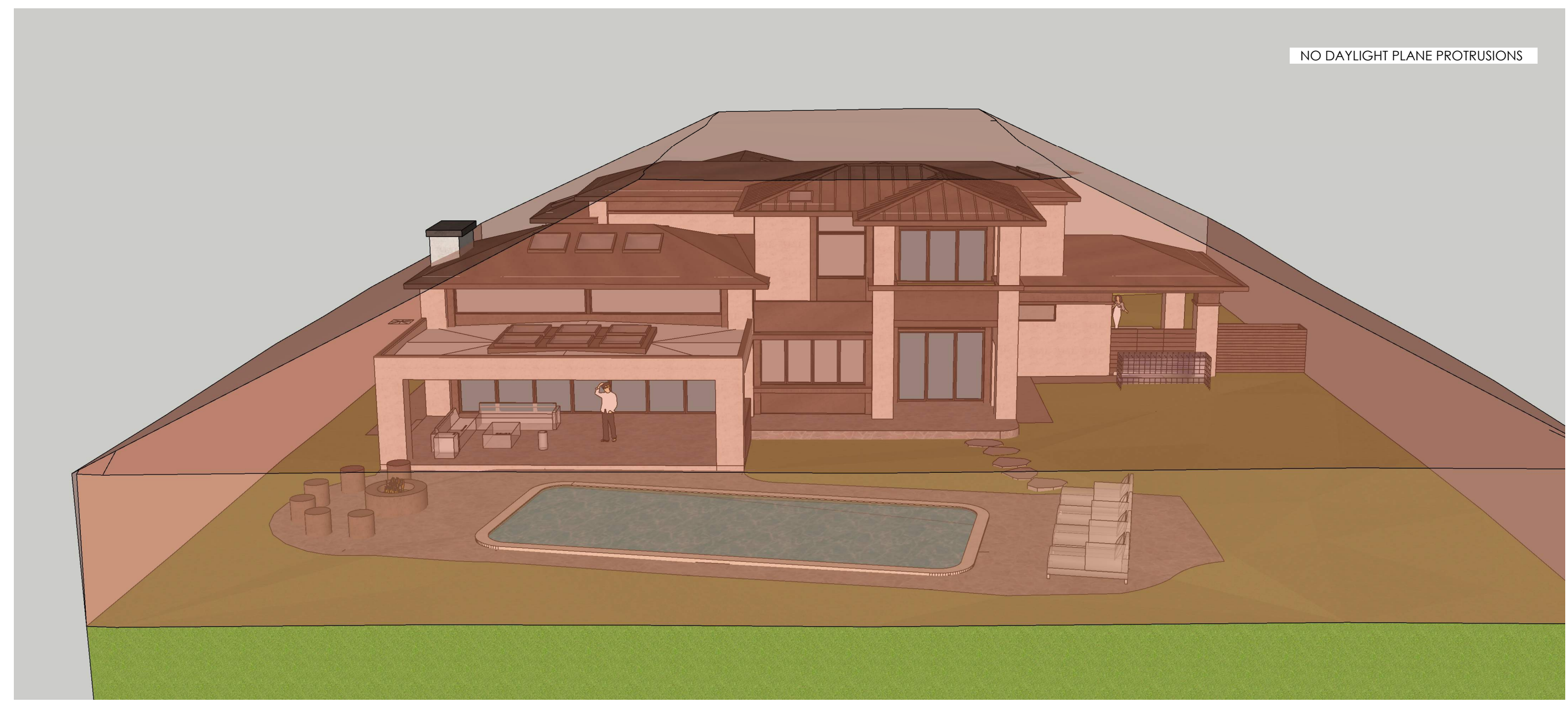
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22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 2226 Solana Drive  
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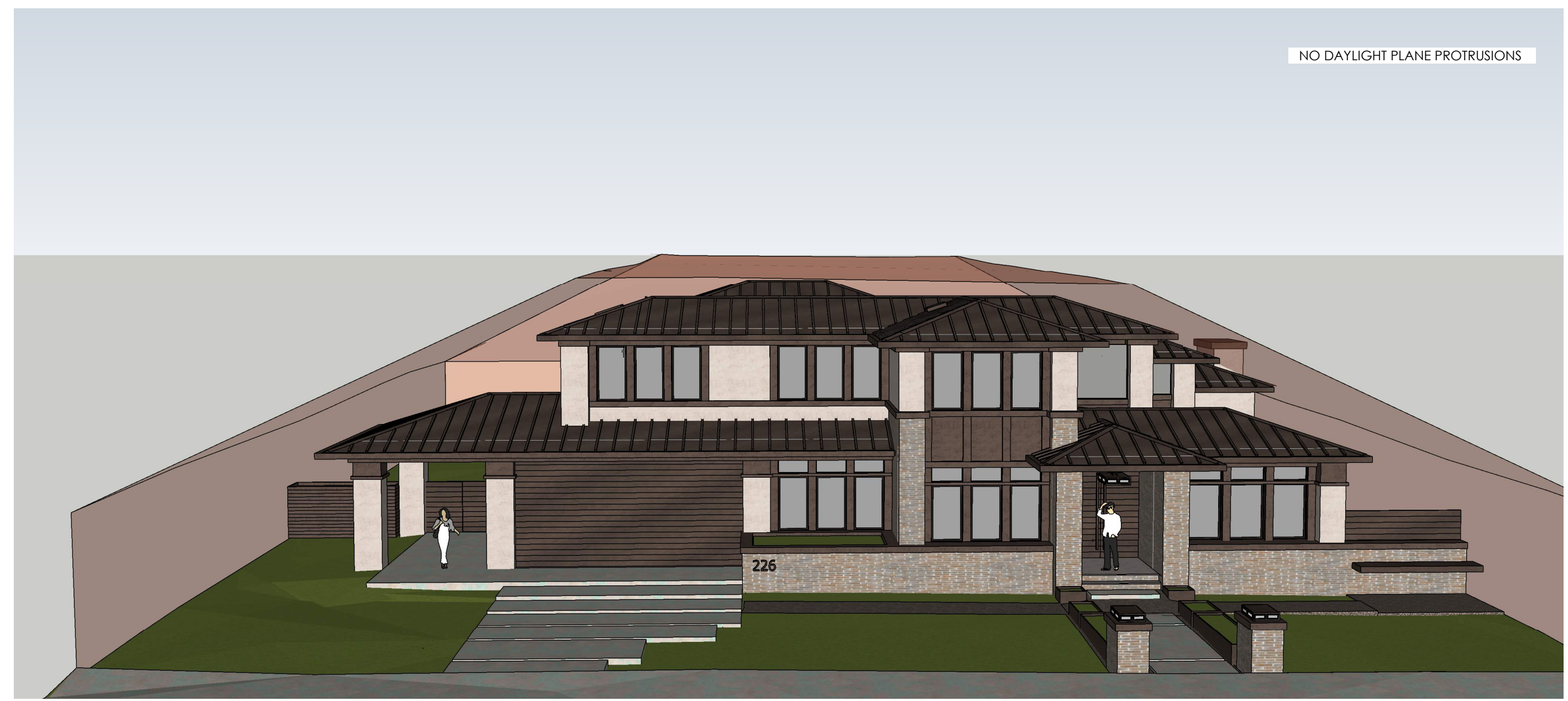


PROJECT NO.	REVISION	DATE	DESCRIPTION	PROJECT NO.
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		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL#2	

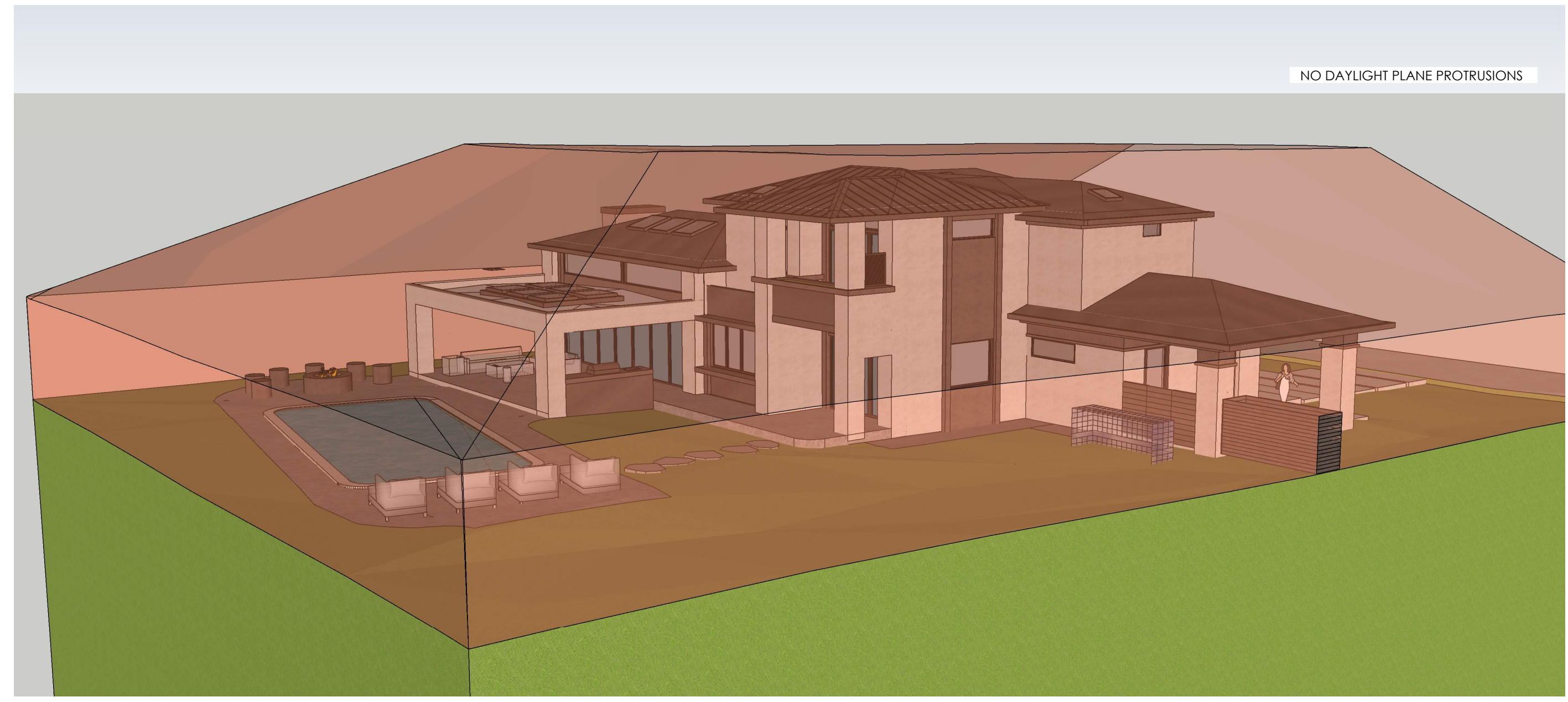
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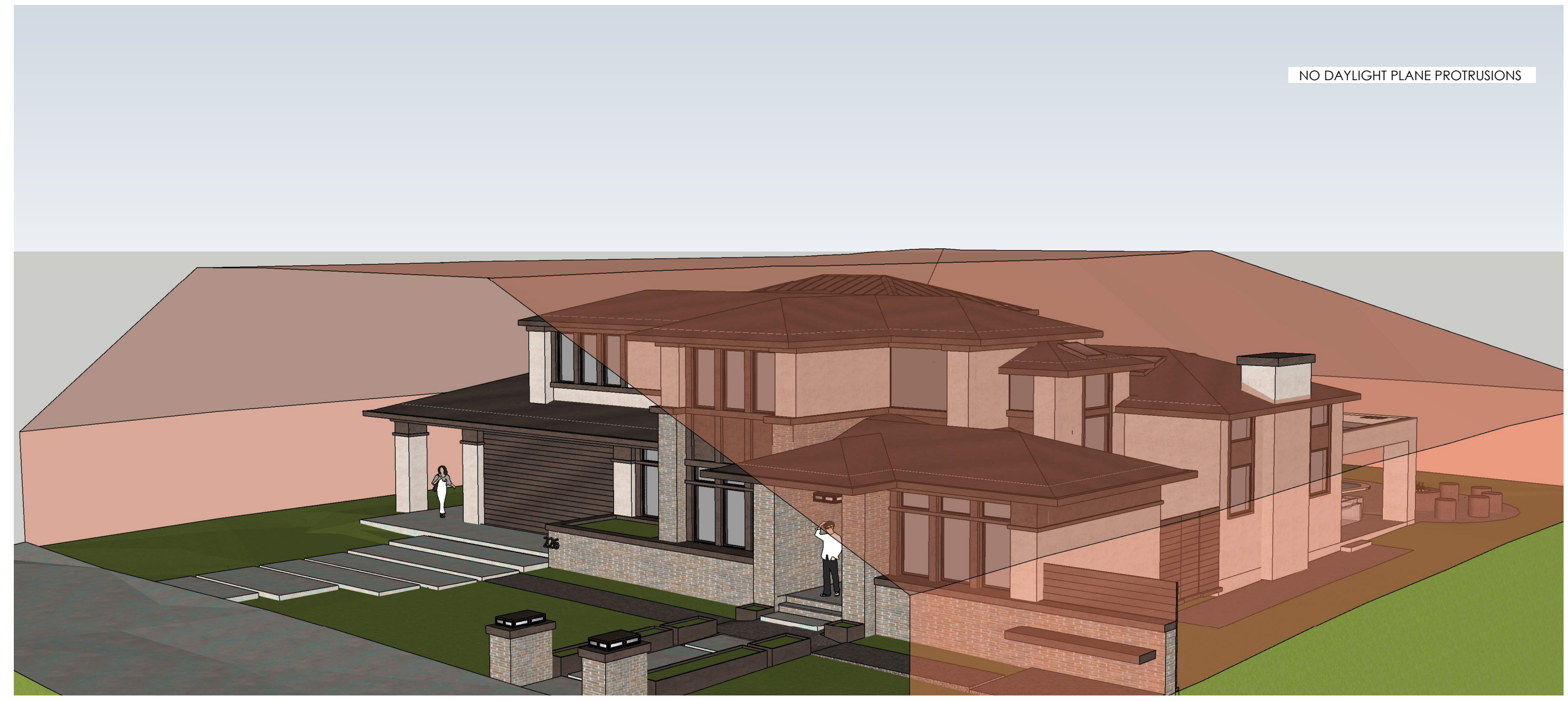
DAYLIGHT PLANE - 4



DAYLIGHT PLANE - 1



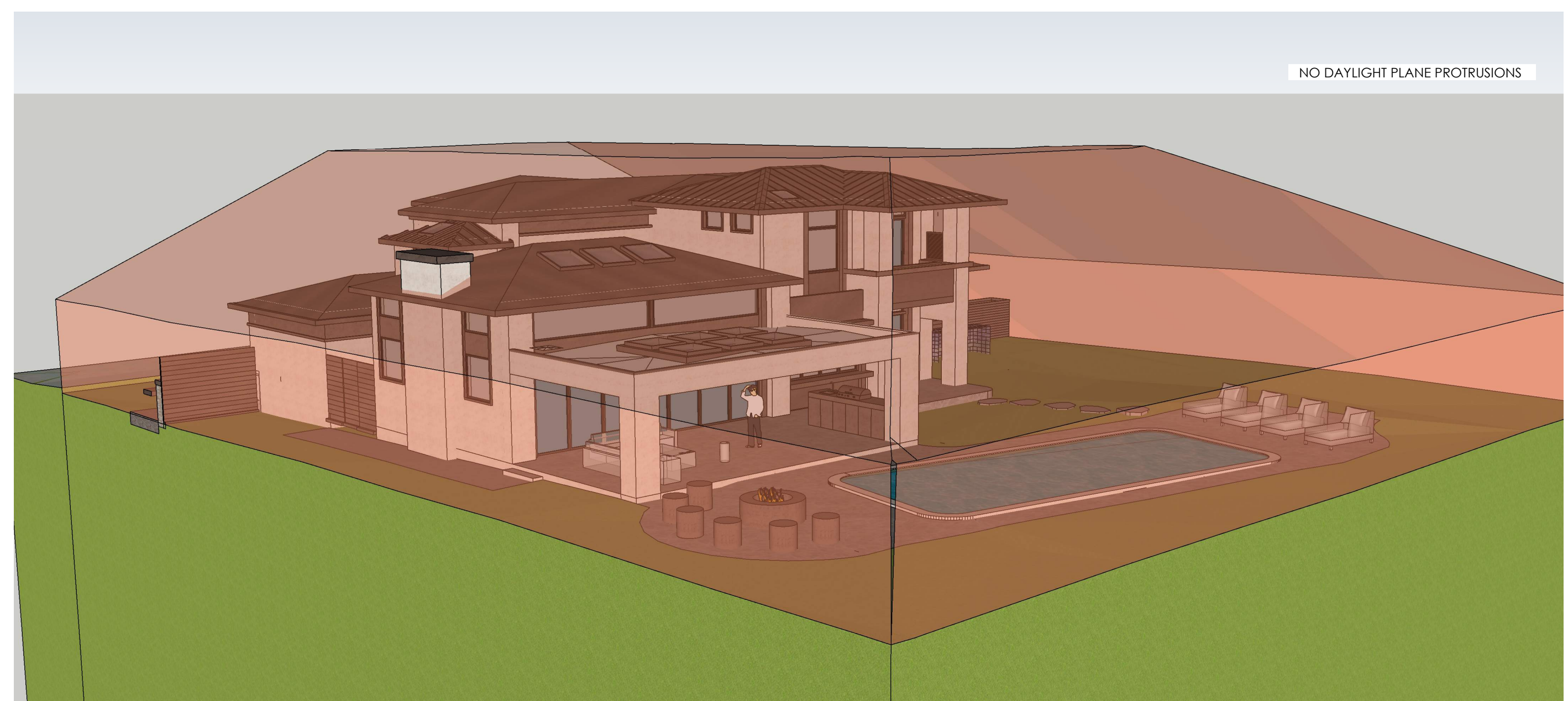
DAYLIGHT PLANE - 5



DAYLIGHT PLANE - 2

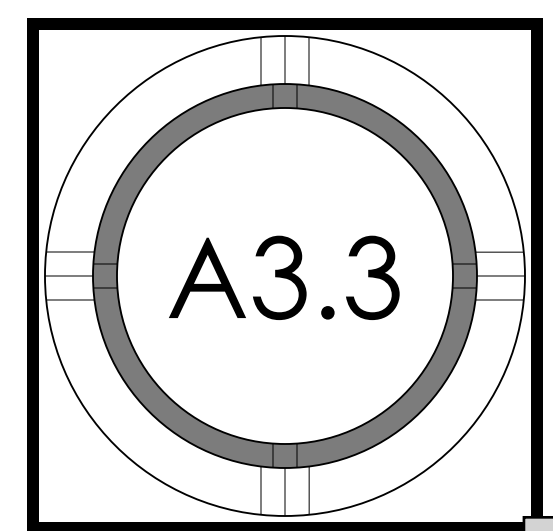


DAYLIGHT PLANE - 6



DAYLIGHT PLANE - 3

DAYLIGHT PLANE



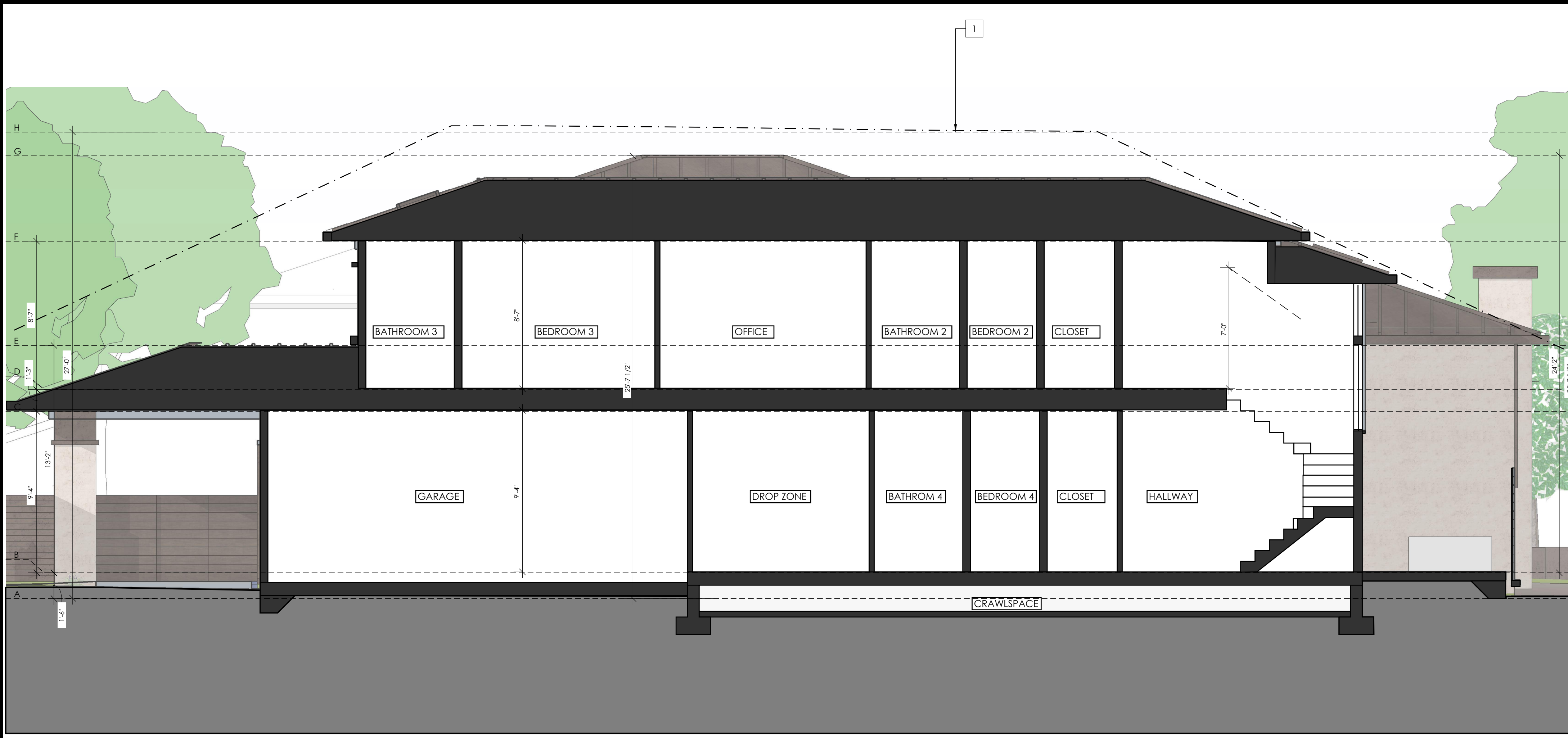


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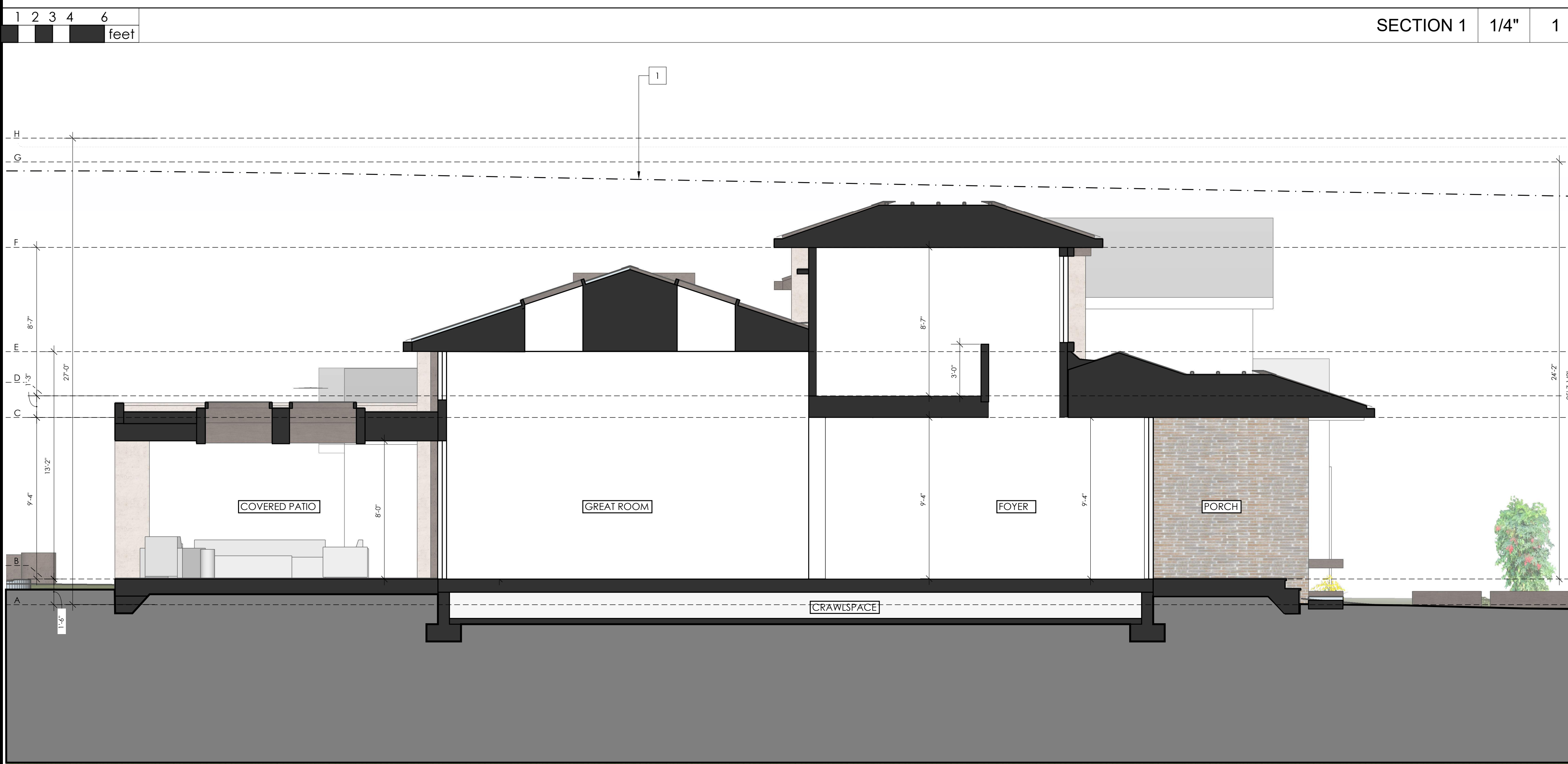
22025 Bertran-Angulo  
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		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD



SECTION 1 1/4" 1



SECTION 2 1/4" 2

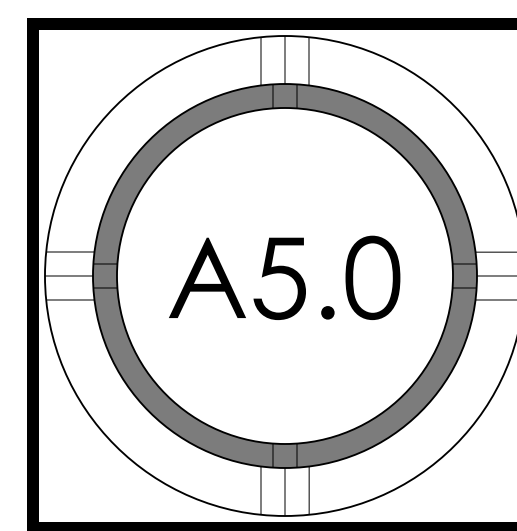
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1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

- NOTES:
- SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  - SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  - SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  - SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  - SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-
SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY		
ELEVATION GRID LINE KEY	-	-

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SECTIONS





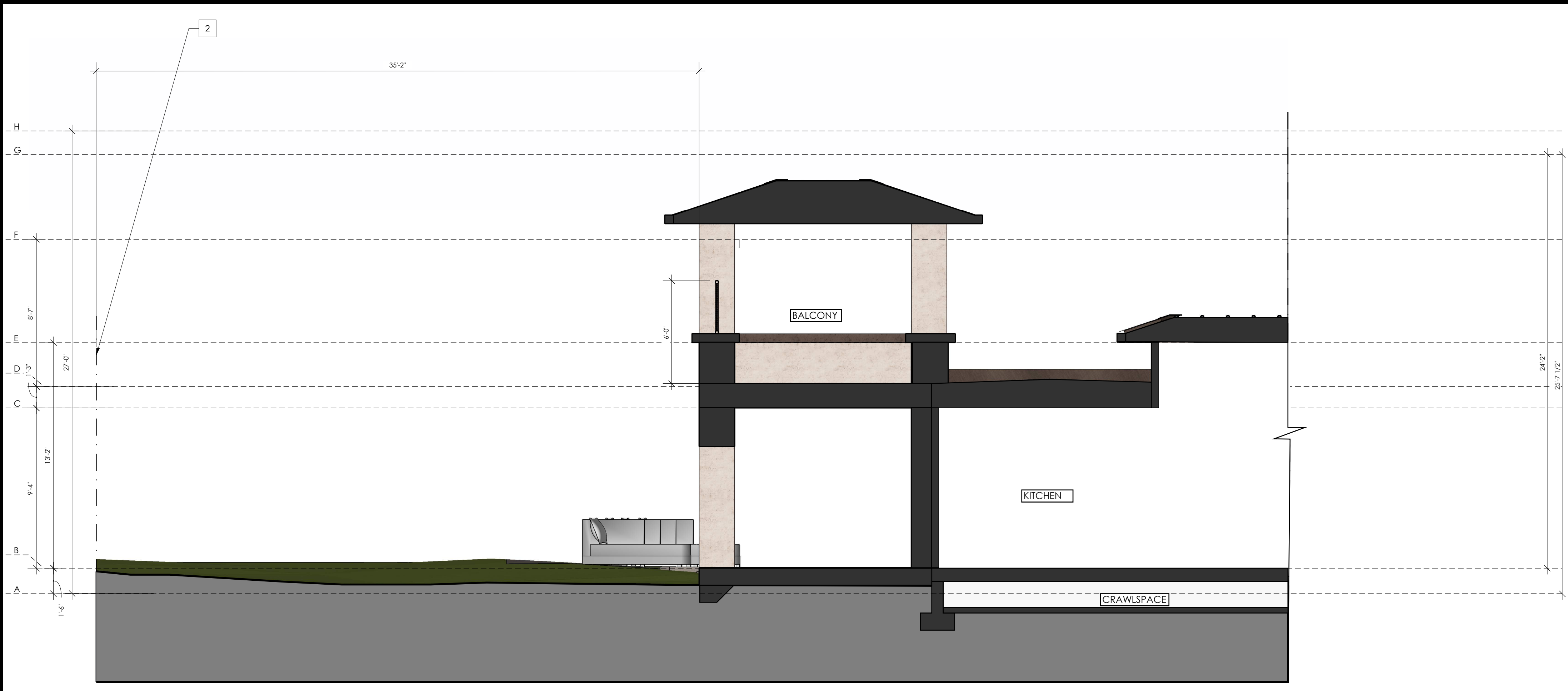
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22025 Bertran-Angulo  
Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo

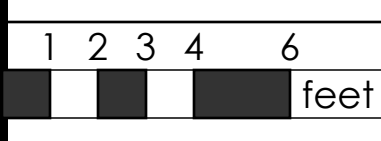


PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNER	DRAWN BY
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		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	ES/WC/MBD
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	ES/WC/MBD

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- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
  - 2 PROPERTY LINE



SECTION THROUGH THE BALCONY 3 1/4" 1

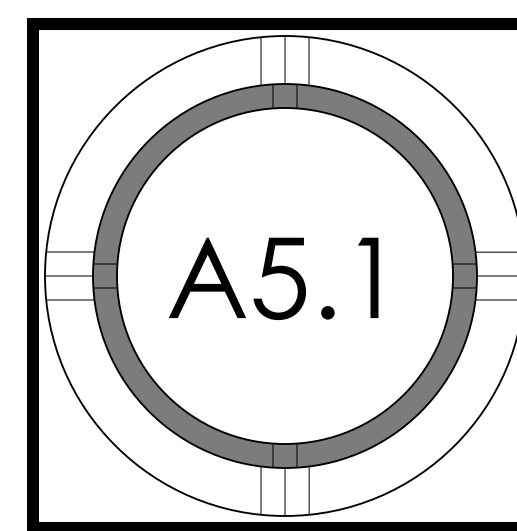
- NOTES:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
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KEYNOTES	-	-

SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY

ELEVATION GRID LINE KEY	-	-

SECTIONS





1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

Kiely Arborist Services LLC
Certified Arborist WE#10724A TRAQ Qualified
P.O. Box 6187
San Mateo, CA 94403
650-532-4418

January 30th, 2023

Ana Beltran & Roberto Angulo

Site: 226 Solana Drive, Los Altos CA

Dear Ana Beltran & Roberto Angulo,

As requested on Wednesday, November 9th, 2022, Kiely Arborist Services LLC visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. A new home is proposed for this site, and as needed an Arborist Report is required when submitting plans to the city of Los Altos. Site plans A1.0 through A2.1b dated 10/26/22, were reviewed for writing this report. This Tree Inventory Report/Tree protection plan is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan unless stated otherwise.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. No plant tissue analysis or root crown inspections were done. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition ratings are based on 50 percent vitality and 50 percent form, using the following scale.

- F- Very Poor
D- Poor
C- Fair
B- Good
A- Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:

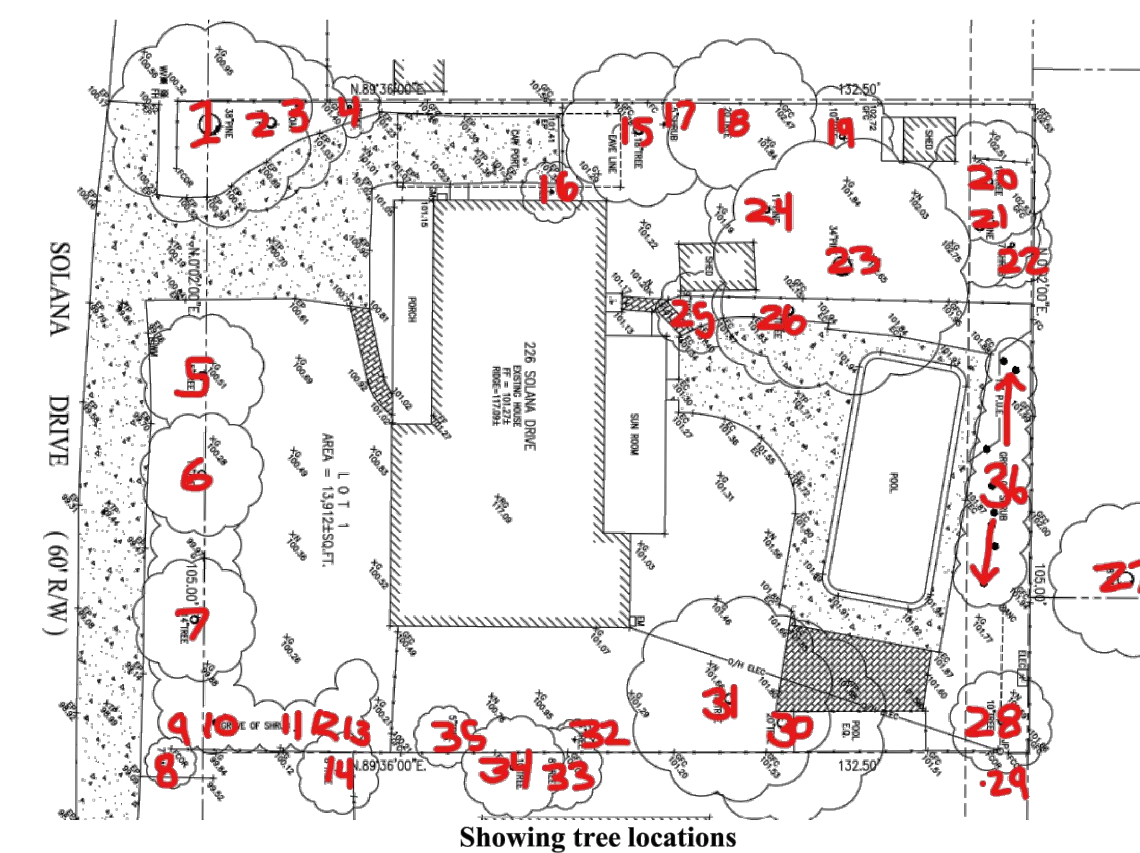
- DBH-Diameter at breast height (48" above grade)
CON- Condition rating (1-100)
HT/SP- Tree height/ canopy spread
\*indicates neighbor's trees
P-Indicates protected tree by city ordinance
R-Indicates proposed tree removal

Table with 5 columns: Tree# Species, DBH, CON, HT/SP, Comments. Contains 11 rows of tree data for site 226 Solana (2).

Table with 5 columns: Tree# Species, DBH, CON, HT/SP, Comments. Contains 12 rows of tree data for site 226 Solana (3).

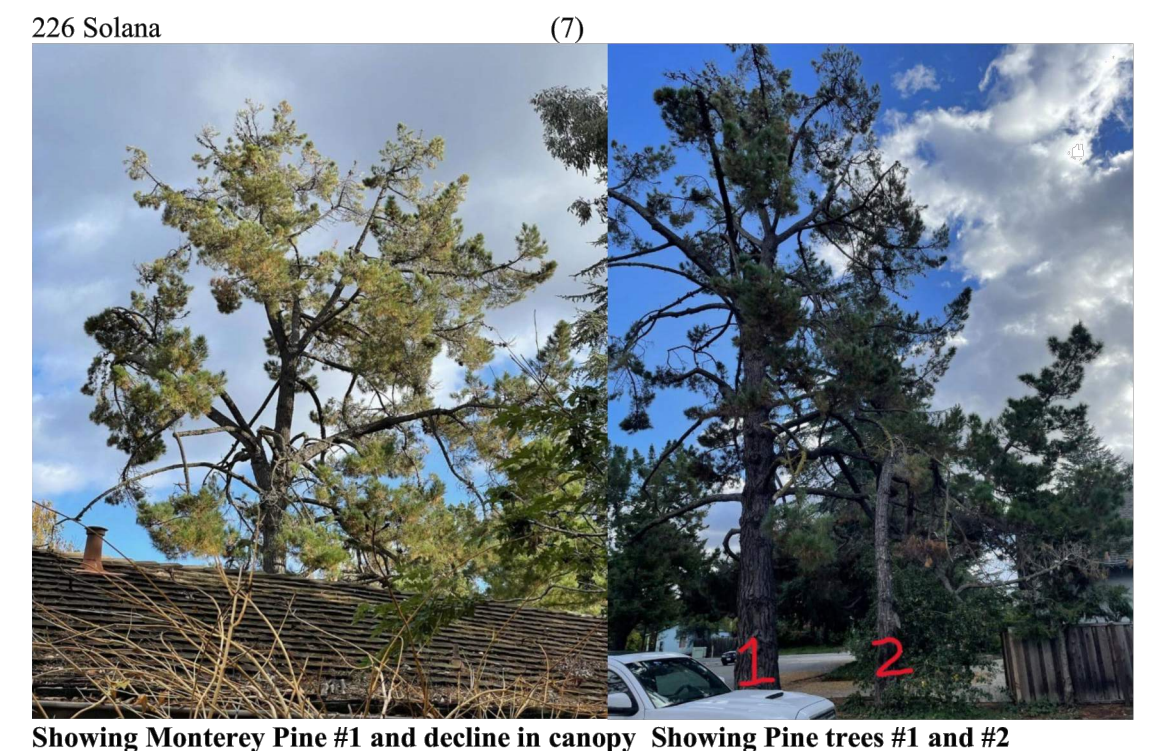
Table with 5 columns: Tree# Species, DBH, CON, HT/SP, Comments. Contains 13 rows of tree data for site 226 Solana (4).

Table with 5 columns: Tree# Species, DBH, CON, HT/SP, Comments. Contains 3 rows of tree data for site 226 Solana (5).



Showing tree locations

Site Observations: The landscape at 226 Solana Drive is in poor condition. The site looks to be in disrepair and a large percentage of trees are in decline. Discussion on protected trees proposed for removal: Four large, protected Monterey pine trees were observed on site (trees #1, 2, 21, and 23).

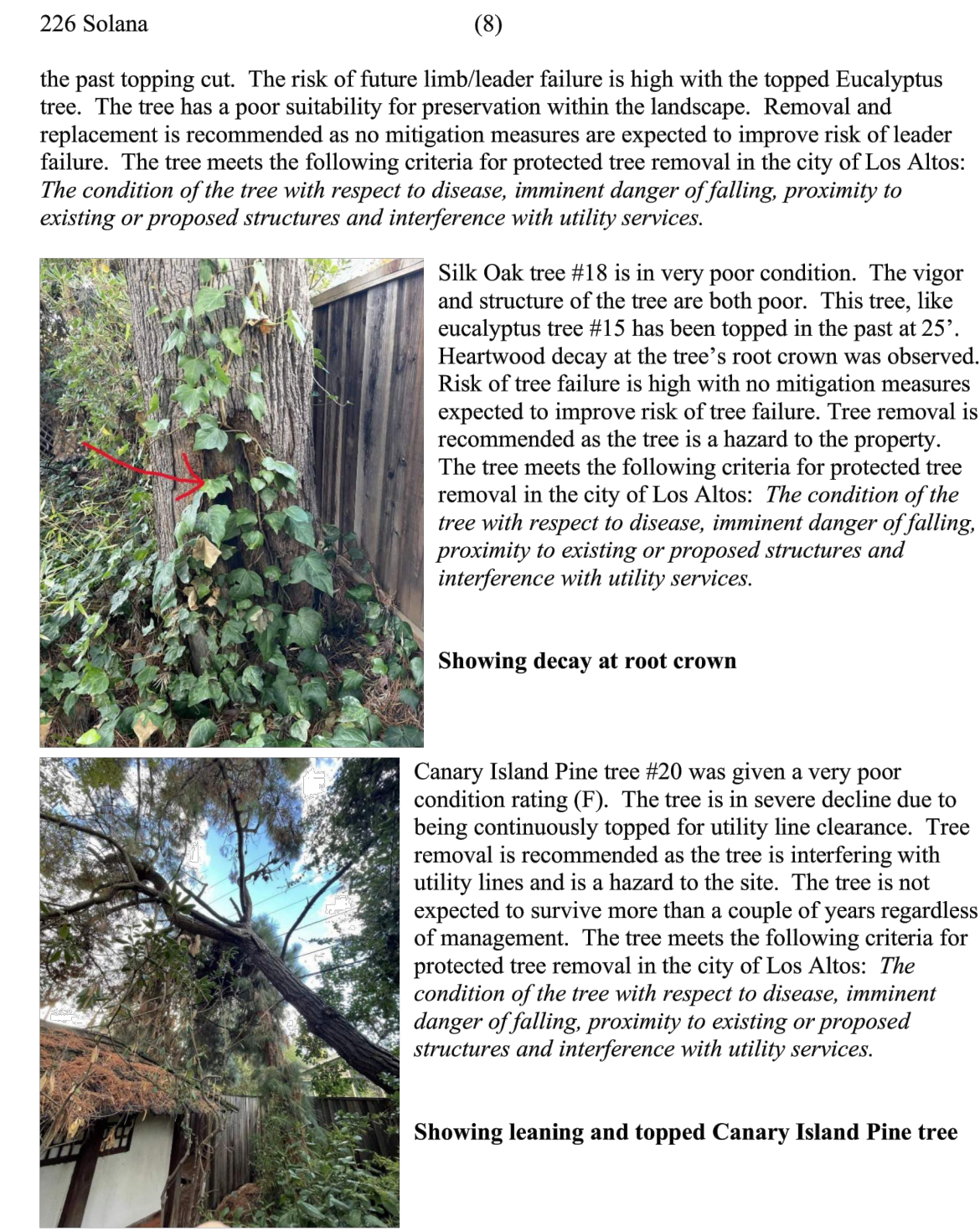


Showing Monterey Pine #1 and decline in canopy Showing Pine trees #1 and #2



Showing topped eucalyptus tree

Silver Dollar Eucalyptus tree #15 is in poor condition. The vigor of the tree is fair, but the structure is poor. The tree has been topped in the past at 20' and now has multiple codominant trunks with poor aspect ratios.



Showing decay at root crown

Showing leaning and topped Canary Island Pine tree

the past topping cut. The risk of future limb/leader failure is high with the topped Eucalyptus tree. The tree has a poor suitability for preservation within the landscape. Removal and replacement is recommended as no mitigation measures are expected to improve risk of leader failure.

Silk Oak tree #18 is in very poor condition. The vigor and structure of the tree are both poor. This tree, like eucalyptus tree #15 has been topped in the past at 25'. Heartwood decay at the tree's root crown was observed.

Canary Island Pine tree #20 was given a very poor condition rating (F). The tree is in severe decline due to being continuously topped for utility line clearance. Tree removal is recommended as the tree is interfering with utility lines and is a hazard to the site.

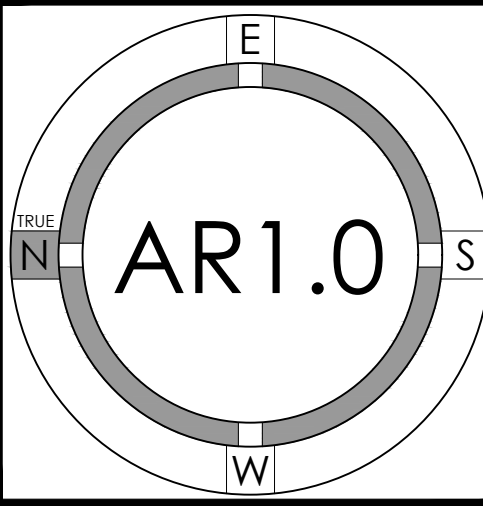
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22025 Bertran-Angulo Residence
NEW SINGLE FAMILY HOUSE
Los Altos, 226 Solana Drive
Ana Beltran and Roberto Angulo

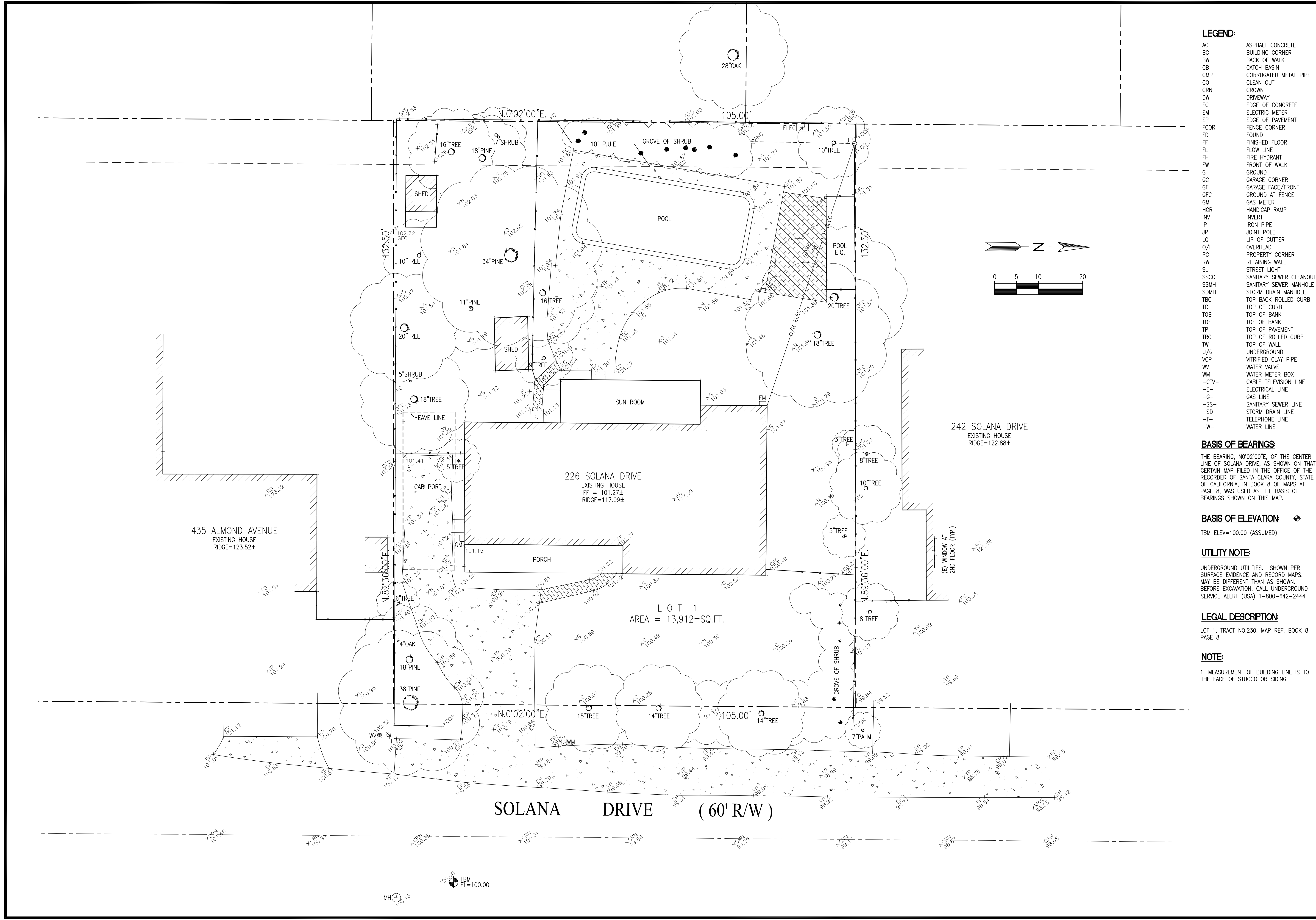


Table with 4 columns: PROJECT NO., DATE, DESCRIPTION, DRAWN BY. Contains project details for 22025.

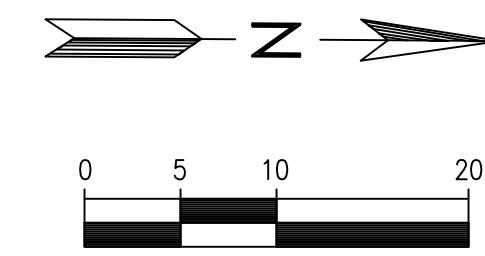
ARBORIST REPORT







- LEGEND:**
- AC ASPHALT CONCRETE
  - BC BUILDING CORNER
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CMP CORRUGATED METAL PIPE
  - CO CLEAN OUT
  - CRN CROWN
  - DW DRIVEWAY
  - EC EDGE OF CONCRETE
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - FCOR FENCE CORNER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FH FIRE HYDRANT
  - FW FRONT OF WALK
  - G GROUND
  - GC GARAGE CORNER
  - GF GARAGE FACE/FRONT
  - GFC GROUND AT FENCE
  - GM GAS METER
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - PC PROPERTY CORNER
  - RW RETAINING WALL
  - SL STREET LIGHT
  - SSCO SANITARY SEWER CLEANOUT
  - SSMH SANITARY SEWER MANHOLE
  - SDM STORM DRAIN MANHOLE
  - TBC TOP BACK ROLLED CURB
  - TC TOP OF CURB
  - TOB TOP OF BANK
  - TOE TOE OF BANK
  - TP TOP OF PAVEMENT
  - TRC TOP OF ROLLED CURB
  - TW TOP OF WALL
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - SS- SANITARY SEWER LINE
  - SD- STORM DRAIN LINE
  - T- TELEPHONE LINE
  - W- WATER LINE



**NEW RESIDENCE**

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

**BASIS OF BEARINGS:**  
THE BEARING, N0°02'00"E, OF THE CENTER LINE OF SOLANA DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 8, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**  
TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**  
UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**LEGAL DESCRIPTION:**  
LOT 1, TRACT NO.230, MAP REF: BOOK 8 PAGE 8

**NOTE:**  
1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	10/12/2022
SCALE:	1"=10'
DRAWN:	BG
JOB:	10078

SHEET TITLE:

**TOPOGRAPHIC SURVEY**

SHEET NO.

**C.0**



**GRADING AND DRAINAGE NOTES:**

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

**GENERAL NOTES** 5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

**ABBREVIATION** 4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	× 16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG. DOWNSPOUT		

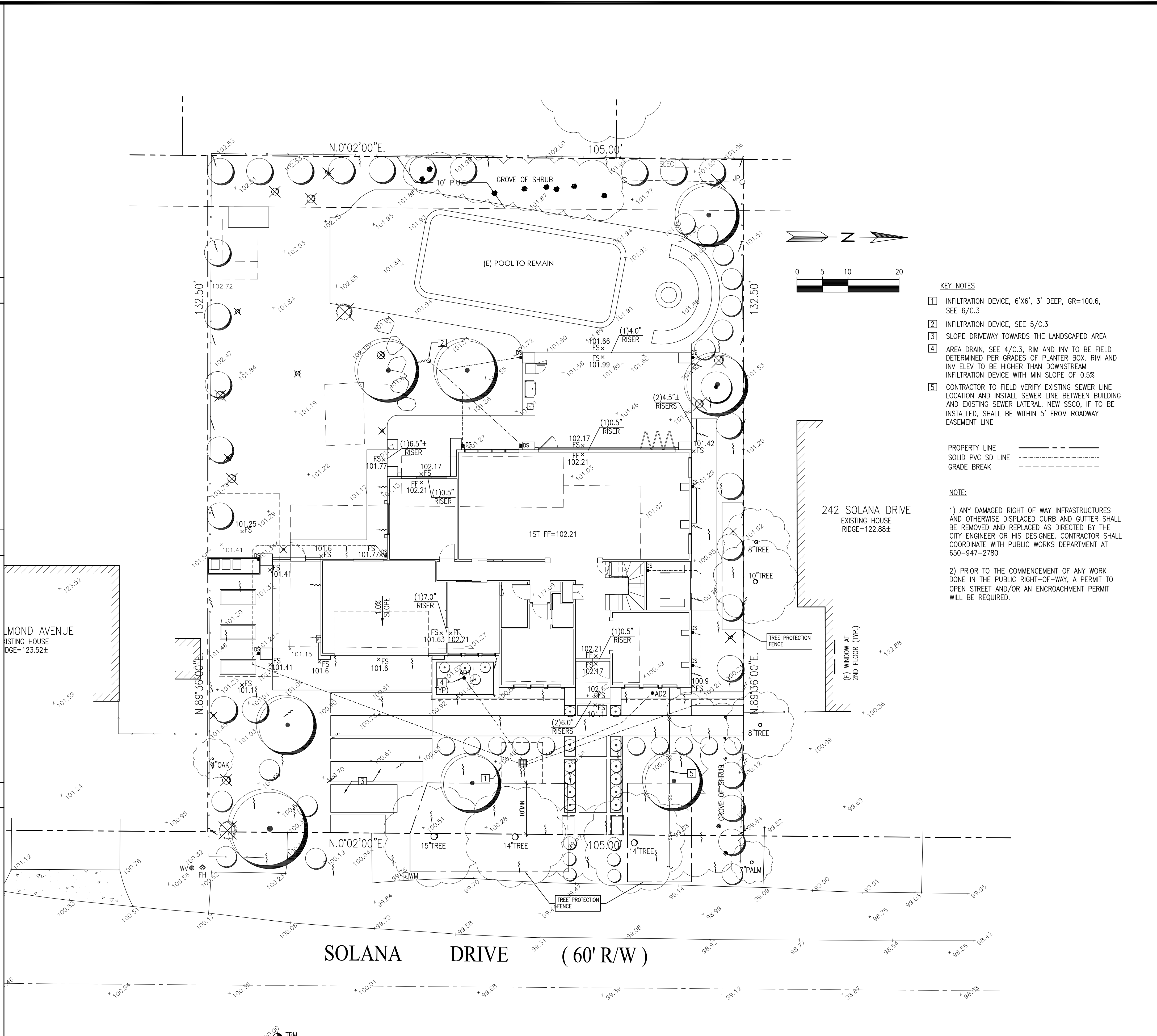
**LEGEND** 3

**EARTHWORK QUANTITIES:**

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

**CUT AND FILL EST.** 2



**KEY NOTES**

- INFILTRATION DEVICE, 6'X6', 3' DEEP, GR=100.6, SEE 6/C.3
- INFILTRATION DEVICE, SEE 5/C.3
- SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
- AREA DRAIN, SEE 4/C.3, RIM AND INV TO BE FIELD DETERMINED PER GRADES OF PLANTER BOX. RIM AND INV ELEV TO BE HIGHER THAN DOWNSTREAM INFILTRATION DEVICE WITH MIN SLOPE OF 0.5%
- CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM ROADWAY EASEMENT LINE

PROPERTY LINE ———  
 SOLID PVC SD LINE ———  
 GRADE BREAK - - - - -

**NOTE:**

- ANY DAMAGED RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT 650-947-2780
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

**NEW RESIDENCE**

226 SOLANA DRIVE  
 LOS ALTOS, CA  
 APN: 170-21-025



2625 MIDDLEFIELD RD #658  
 PALO ALTO, CA 94306  
 TEL: (650) 823-6466  
 FAX: (650) 887-1294

**LICENSE STAMPS AND SIGNATURE**



**ISSUED**

No.	Description	Date

DATE: APR 26, 2023  
 SCALE: AS SHOWN  
 DRAWN: J  
 JOB: 10078

**GRADING & DRAINAGE PLAN**

SHEET NO.

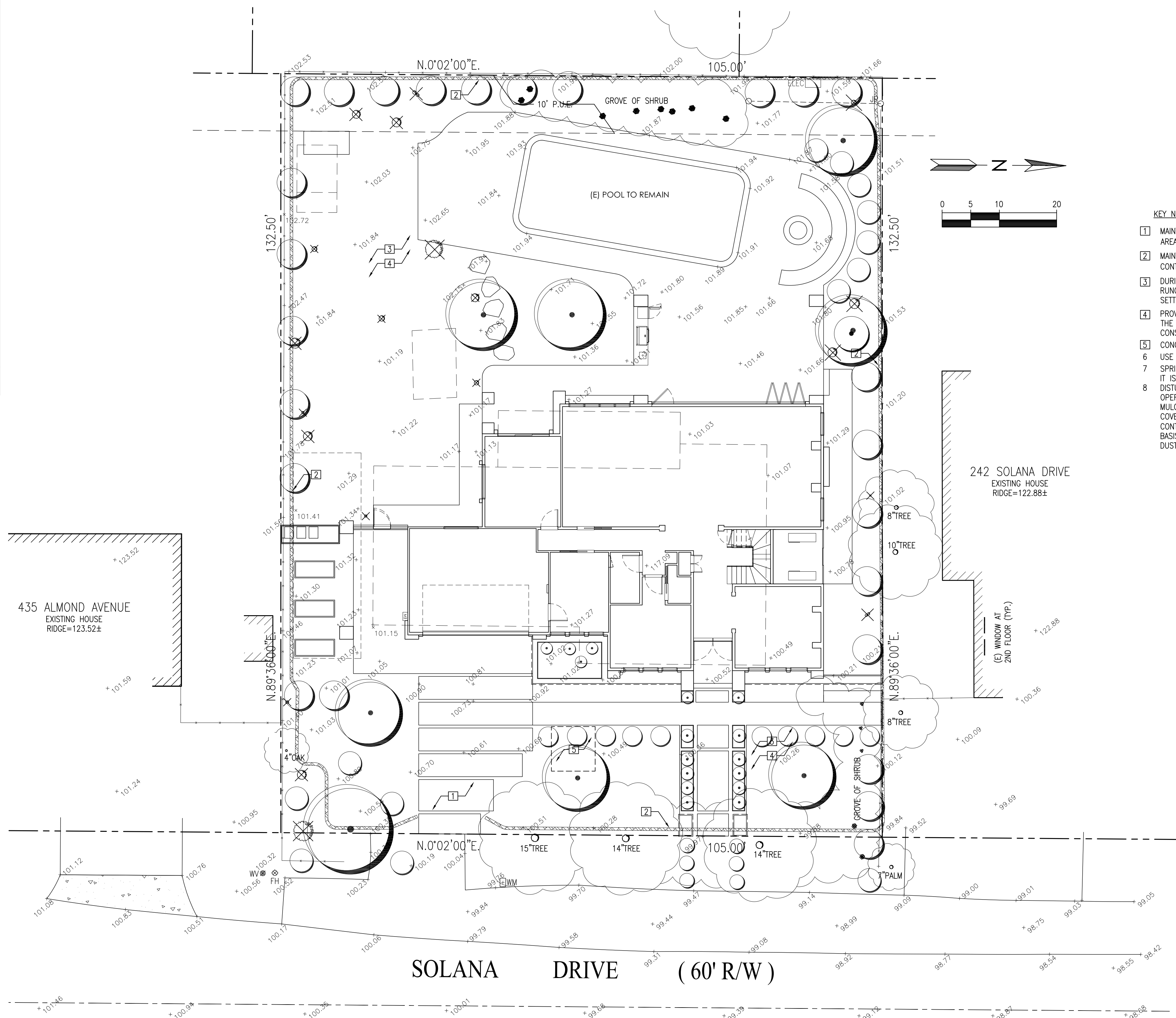
**C.1**

**EROSION CONTROL AND BEST MANAGEMENT PRACTICE:**

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

**GENERAL NOTES**

2



**KEY NOTES**

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER.  
CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

**NEW RESIDENCE**

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

**LICENSE STAMPS AND SIGNATURE**



**ISSUED**

No.	Description	Date

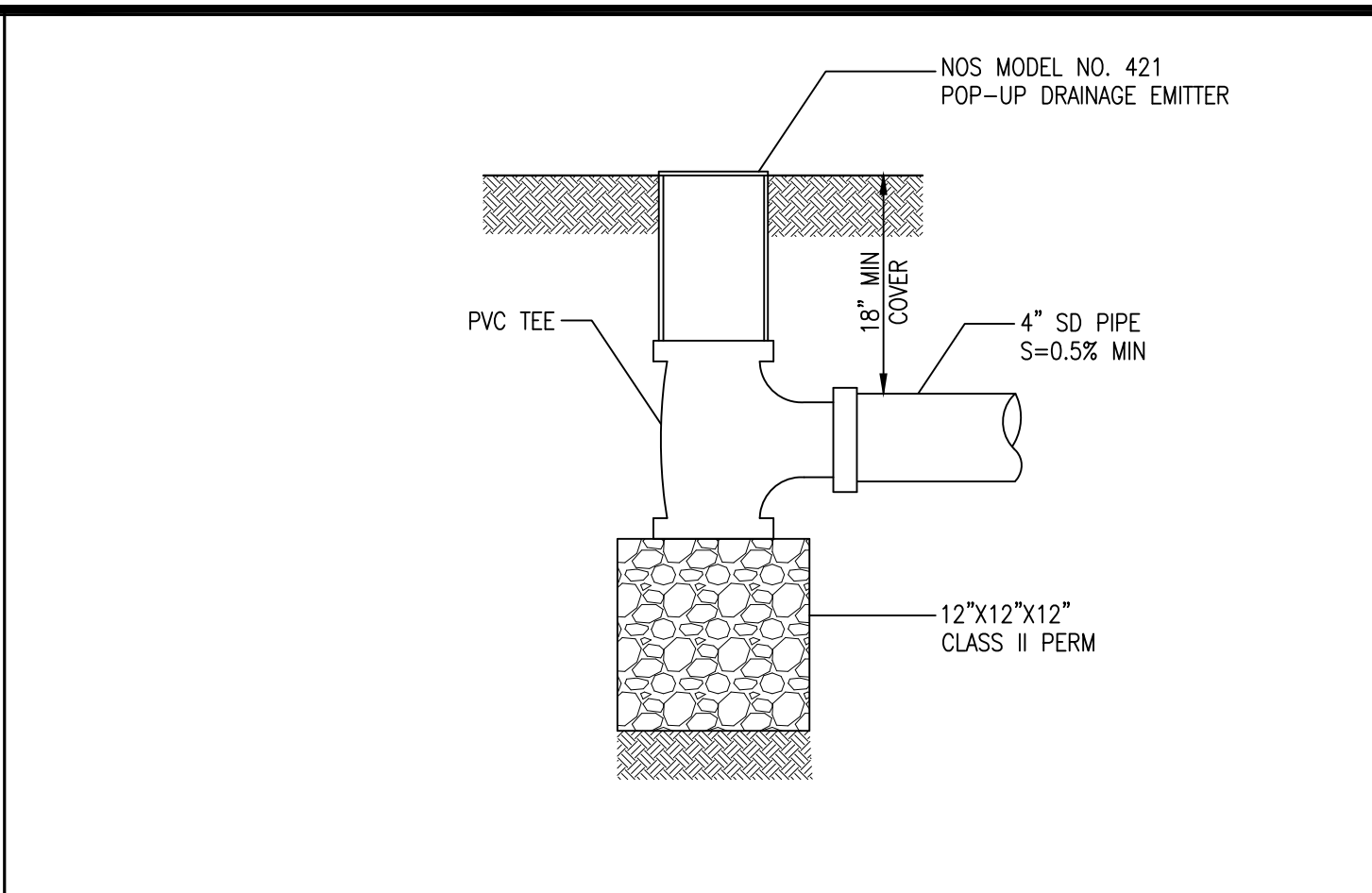
DATE: APR 26, 2023  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

**SHEET TITLE:**

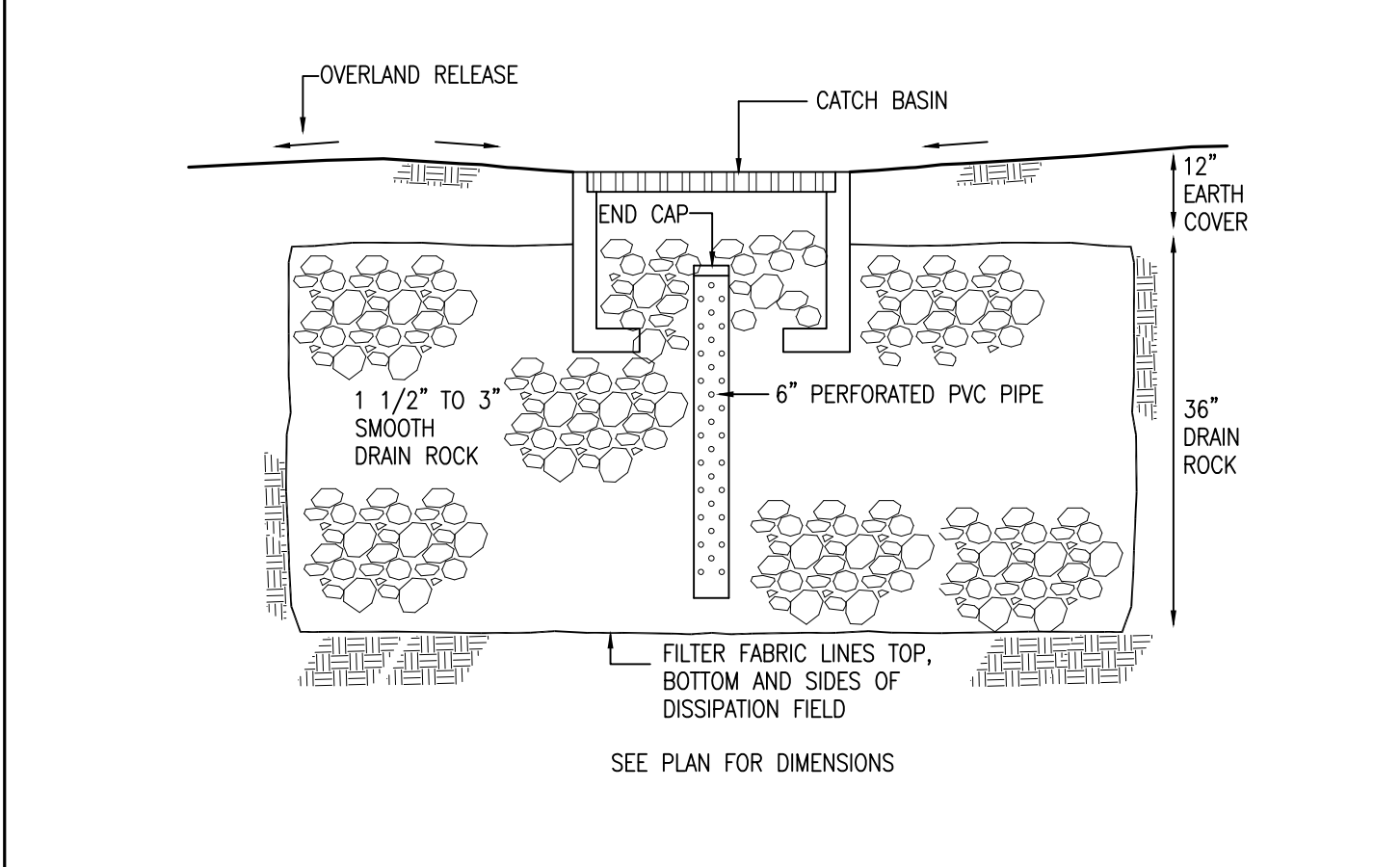
**EROSION CONTROL PLAN**

SHEET NO.

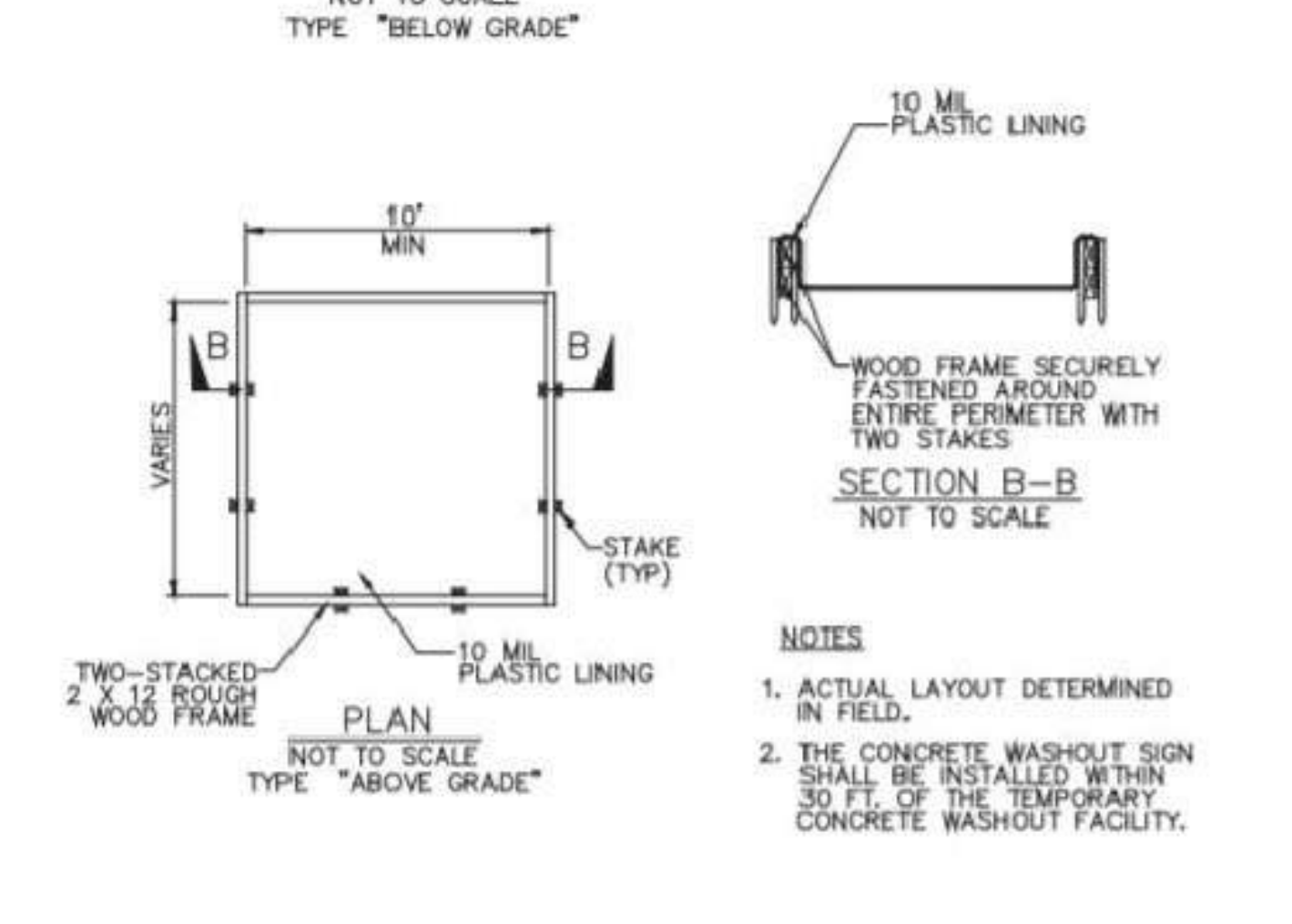
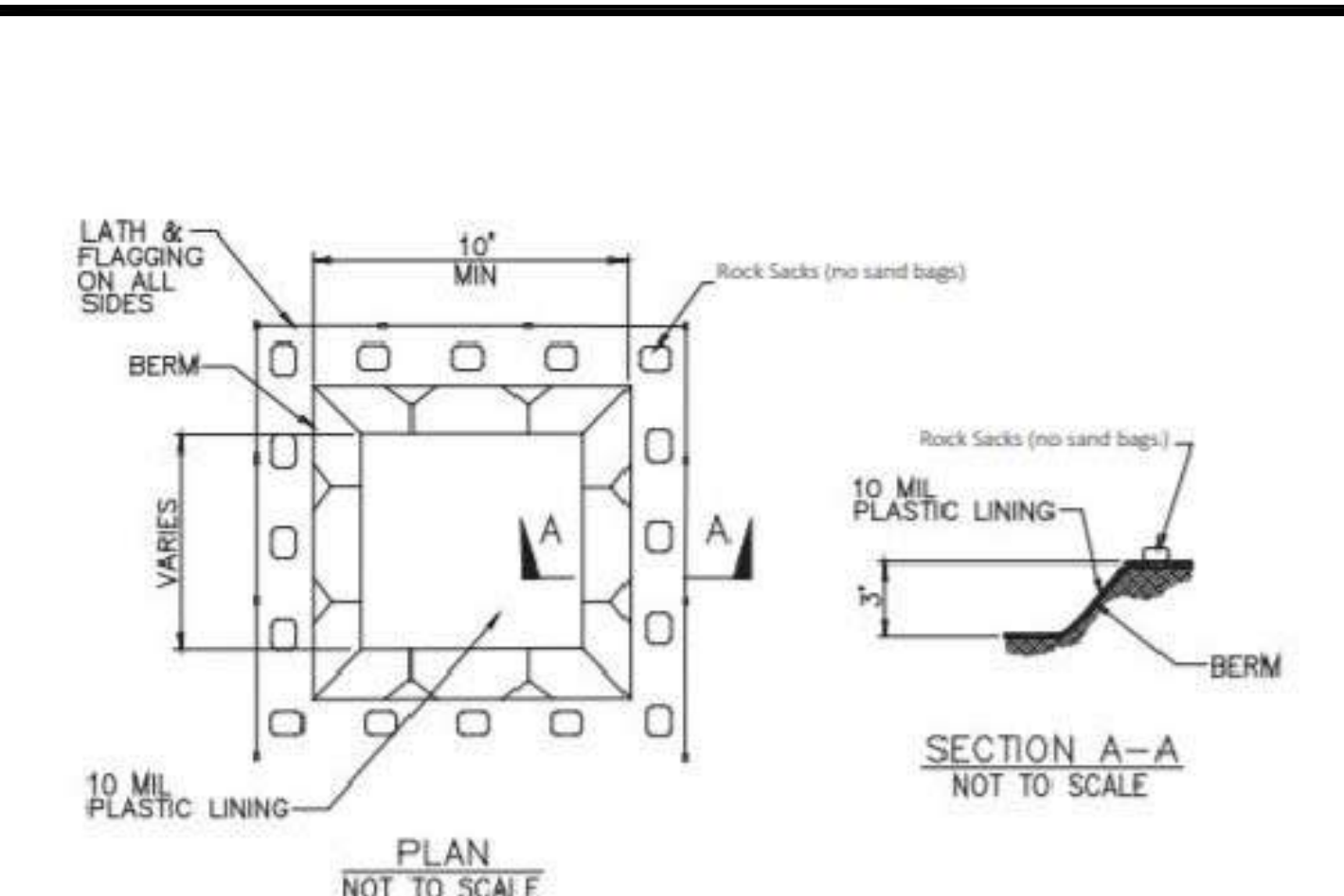
**C.2**



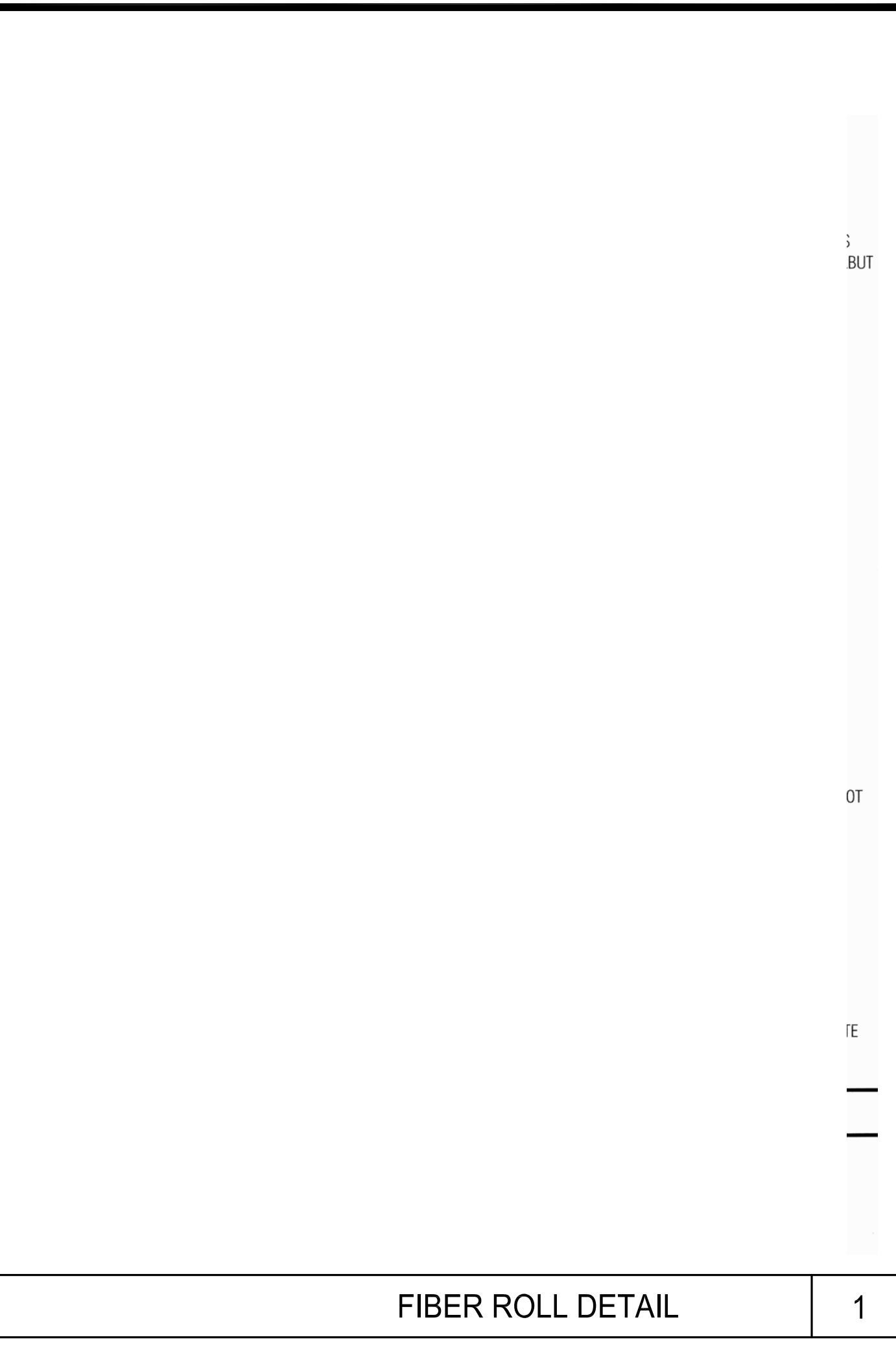
INFILTRATION DEVICE N.T.S. 5



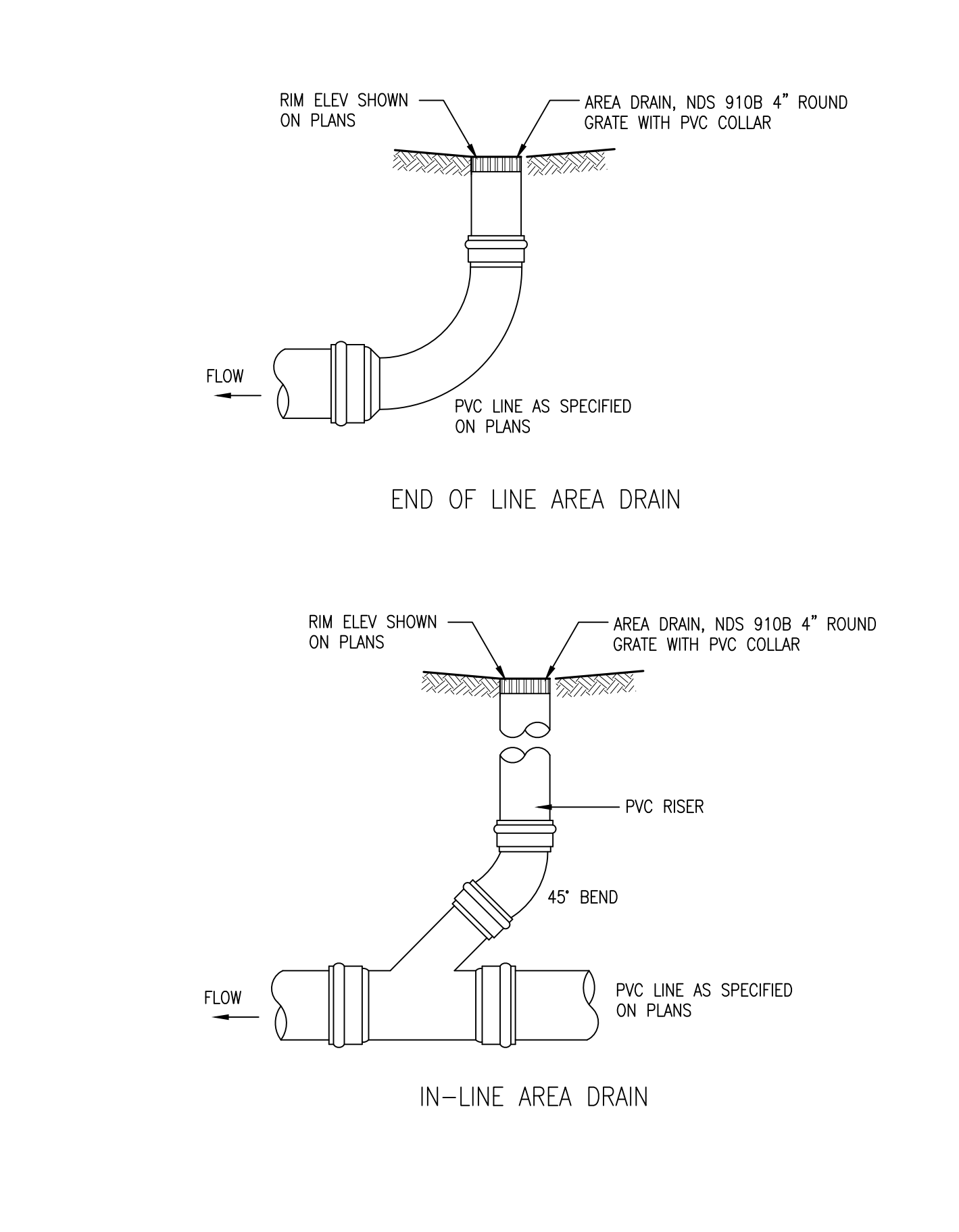
INFILTRATION DEVICE N.T.S. 6



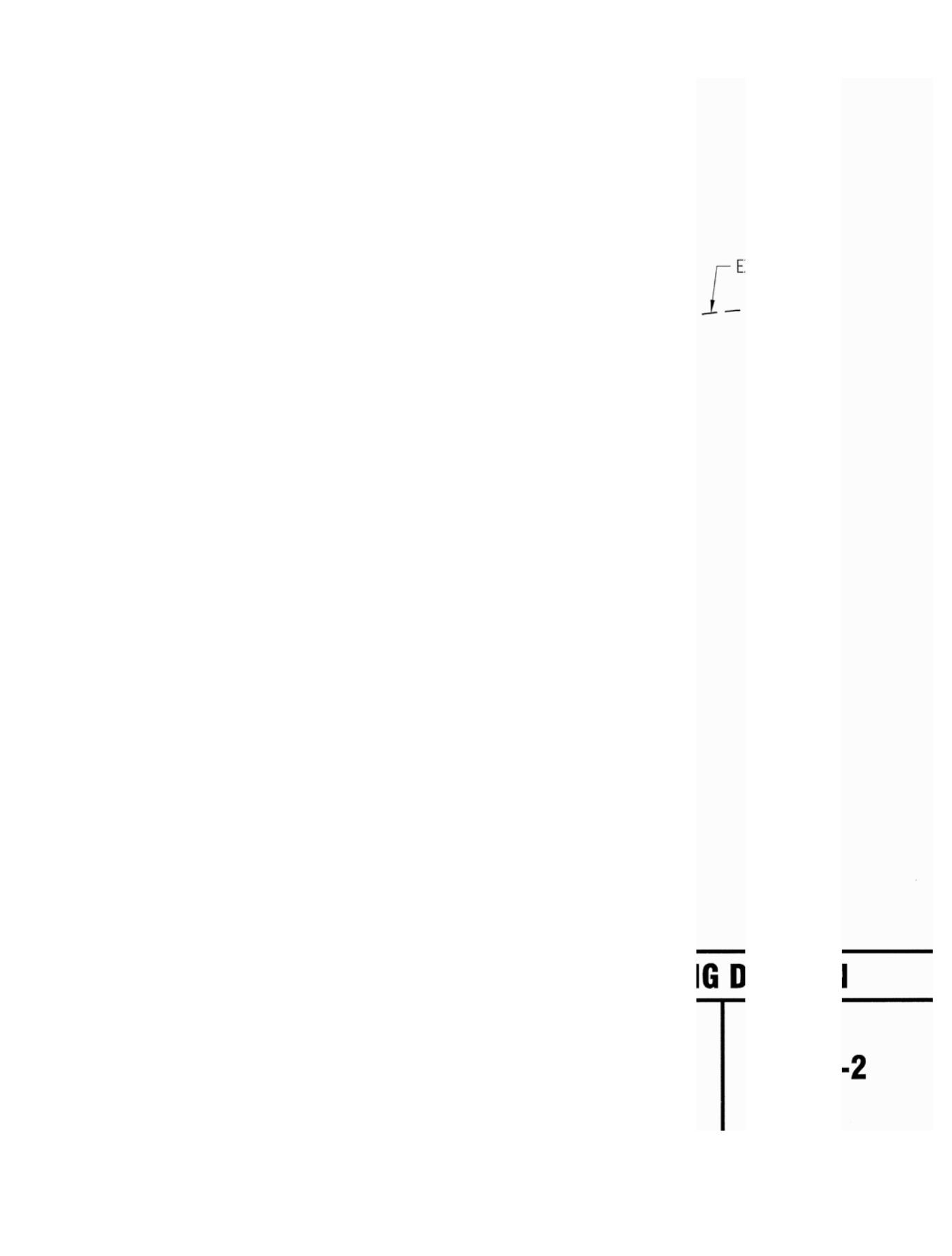
CONCRETE WASHOUT AREA 3



FIBER ROLL DETAIL 1



AREA DRAIN DETAILS SCALE: N.T.S. 4



STABILIZED CONSTRUCTION ENTRANCE 2

NEW RESIDENCE

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
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LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: APR 26, 2023  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

SHEET TITLE:

DETAILS

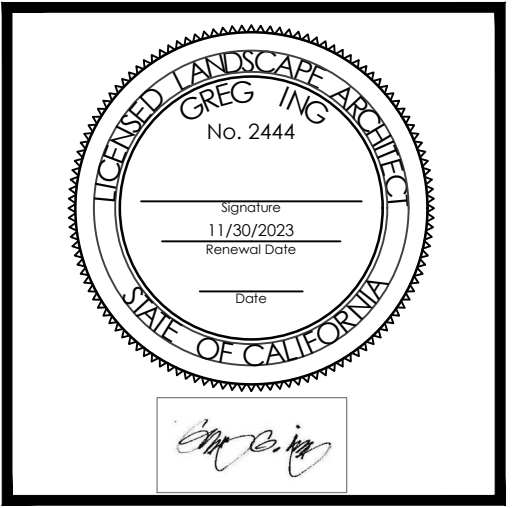
SHEET NO.

C.3



1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

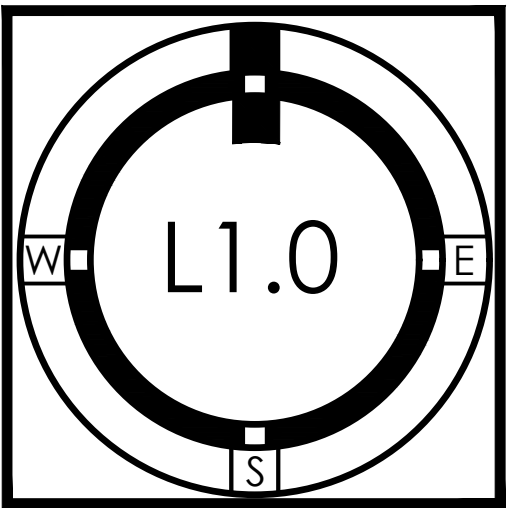
**22025 Bertran-Angulo Residence**  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo



FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	05.01.2023	PLANNING SUBMITTAL	GI
	06.09.2023	PLANNING SUBMITTAL	GI
	07.12.2023	PLANNING SUBMITTAL	GI
	08.08.2023	PLANNING SUBMITTAL	GI

**LANDSCAPE PLANTING PLAN**



**PLANT LEGEND**

SYM.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WATER USE
AV	5 gal		Avocado	Avocado	Owner to determine variety	med
FT	5 gal		Fruit tree	Fruit tree	Owner to determine variety	med
PU	24" box		Pittosporum undulatum std.	Victorian Box	Tree form. Dbl. staked	low
<b>PRIVACY SHRUBS</b>						
Do	15 gal		Dodonea v. 'Purpurea' std.	Purple Hopseed Bush	Tree form	low
Pm	15 gal		Podocarpus macrophylla	Yew Pine		med
Pt	24" box		Pittosporum tenuifolium std.	Kohuhu	Tree form	med
Rje	15 gal		Rhamnus a. 'John Edwards' std.	John Edwards Buckthorn	Tree form	low
<b>SHRUBS &amp; PERENNIALS</b>						
Ad	15 gal		Acer dissectum 'Red Dragon'	Red Dragon Laceleaf Maple		med
Am	5 gal		Asparagus 'Meyer'	Meyer's Asparagus Fern	Owner to determine variety	med
Cit	5 gal		Citrus	Citrus		
Dv	5 gal		Dietes v. 'variegata'	White Variegated Fortnight Lily		low
Lcp	5 gal		Loropetalum c. 'Pixie'	Pixie Fringe Flower		low
Lpb	5 gal		Lomandra 'Platinum Beauty'	Platinum Beauty Mat Rush		low
Lv	5 gal		Lavendula a. 'Hidcote'	Hidcote English Lavender		low
Rc	5 gal		Rhamnus c. 'Mound San Bruno'	MSB Coffeeberry		low
Sfr	5 gal		Salvia gregii 'Furman's Red'	Furman's Red Autumn Sage		low
Sl	5 gal		Salvia leucantha 'Santa Barbara'	S.B. Mexican Sage		low
<b>Succulents in Raised Planter</b>						
Ag	5 gal		Agave 'Blue Glow'	Blue Glow Agave		low
Cs	5 gal		Calandrinia spectabilis	Rock Purslane		low
Sbc	1 gal		Senecio mandraliscae	Blue Chalksticks	24" o.c. spacing	low
<b>Groundcovers</b>						
Cx	1 gal		Carex divulsa	California Sedge	24" o.c. spacing	low

SynT		'Evernatural Premium'	Evernatural Prem. Synthetic Turf	Available thru Watersavers.com	n.o.
------	--	-----------------------	----------------------------------	--------------------------------	------

NOTE: NO SUBSTITUTIONS OF PLANT SPECIES OR VARIETIES WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT LANDSCAPE ARCHITECT.

- 2" layer of 1/2" dia. crushed gravel @ raised vegetable beds.
- Cx: Carex diversa. See Planting Legend
- SynT: Synthetic turf. See Planting Legend

**GENERAL NOTES**

- ALL MEASUREMENTS SHOULD BE CONFIRMED PRIOR TO ANY WORK. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL '811 UNDERGROUND SERVICE ALERT' PRIOR TO ANY WORK.

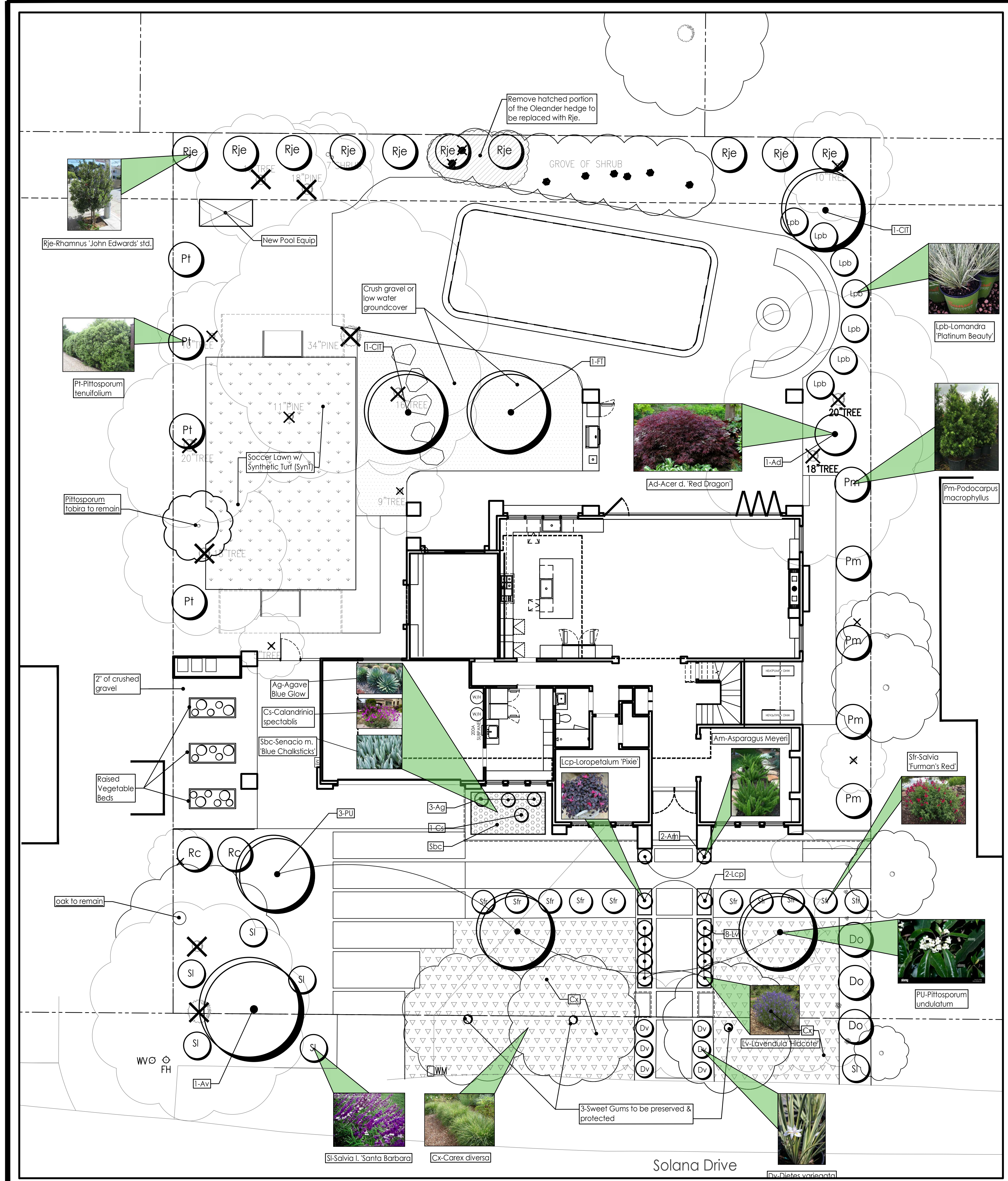
**PLANTING NOTES**

- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL '811 UNDERGROUND SERVICE ALERT' PRIOR TO ANY WORK.
- EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
- DON'T PUT PLANTS IN BOTTOM OF SWALES.
- DON'T MULCH FLOW LINES OF SWALES SUCH THAT MULCH BLOCKS FLOW OF WATER.
- USE 3" DEEP MULCH IN ALL PLANTING AREAS WITH MAHOGONY 'PRO CHIP' RECYCLED WOOD MULCH. 'GORILLA HAIR' WILL NOT BE ACCEPTED. PROVIDE 3" OF DEEP MULCH UNDER EXISTING TREES.
- ANY PLANTS WITH BUBBLERS MUST HAVE PERMANENTLY MAINTAINED WATERING BASINS 4" HIGH.
- INSTALL PLANTS FOR ALL PLANT CIRCLES SHOWN ON THE PLAN EVEN IF THEY AREN'T LABELED. CALL FOR CLARIFICATION. PLANT QUANTITIES IN THE LEGEND ARE TO BE VERIFIED BY CONTRACTOR.
- THE PLAN IS SCHEMATIC. DON'T INSTALL PLANTS CLOSE TO EDGES OF PAVING OR BUILDINGS. BE SURE PLANTS ARE NOT BLOCKING SPRINKLER SPRAY EXCESSIVELY.
- FINE GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. INSURE ADEQUATE WATER FLOW AWAY FROM BUILDING WALLS, TO DRAINS, AND THROUGH SWALES. PROVIDE WATER WASHED COBBLES / PEBBLES AT ENDS OF DRAIN SPOUTS TO PREVENT SOIL EROSION.
- CONTRACTOR TO INVESTIGATE EXISTING SOIL CONDITIONS AND BE RESPONSIBLE FOR PROPER SOIL PREPARATION AND AMENDING TO INSURE VIGOROUS PLANT GROWTH. SUBMIT SAMPLES FOR A 1P-3 PACKAGE AT SUNLAND ANALYTICAL, RANCHO CORDOVA, CA. OR APPROVED EQUAL. [www.sunland-analytical.com](http://www.sunland-analytical.com)
- PESTICIDES/FERTILIZER REDUCTION: IF FERTILIZERS AND PESTICIDES ARE USED DURING THE CONSTRUCTION PHASE, CONTRACTOR MUST PROPERLY DISPOSE OF EXCESS OR SPILLED FERTILIZERS AND PESTICIDES. CONTRACTOR MUST NOT WASH SPILLED FERTILIZERS OR PESTICIDES DOWN THE STORM DRAINS OR BURY THEM IN THE SOIL. CONTRACTORS MUST DISPOSE OF EXCESS FERTILIZERS OR PESTICIDES BY RECYCLING THEM, REUSING THEM OR DISPOSING OF THEM AS HAZARDOUS WASTE.
- NO GRADING, PLANTING, IRRIGATION, TRENCHING, UTILITIES, MATERIAL STORAGE, EQUIPMENT TRAVEL UNDER THE DRIP LINES OF EXISTING TREES, IF POSSIBLE (OR OTHERWISE NOTED).
- SPRINGING NOTE: ALLOW ALL PLANTS TO GROW INTO THEIR NATURAL GROWTH FORM. DO NOT SHEAR ANY PLANTS INTO BALLS, FLAT TOPPED OR TOPIARY, ETC. WAYWARD BRANCHES MAY BE CUT BACK OR PLANT BRANCHES OR FOLIAGE MAY BE CUT BACK INDIVIDUALLY FOR WALKWAY ACCESS, IF NEED BE. EXCEPTIONS: ornamental grasses in winter can be cut neatly to the ground. REMOVE SPENT FLOWERS (DEAD HEAD) 1-2 TIMES A YEAR AS NEEDED.

**WATER EFFICIENT LANDSCAPE ORDINANCE STATEMENT**

"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

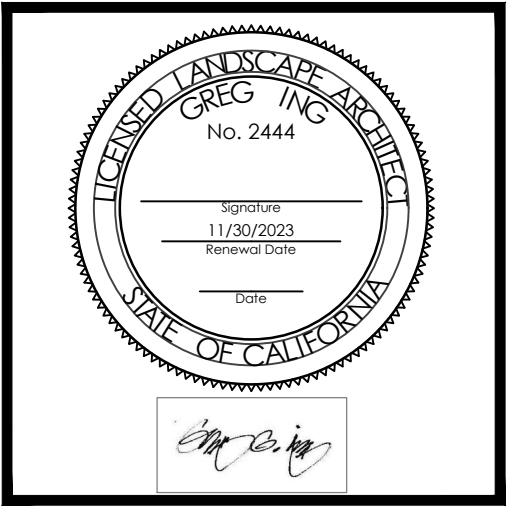
GREG G. ING, PROJECT LANDSCAPE ARCHITECT





1000 S Winchester Blvd  
 San Jose, CA 95128  
 P : (408) 998 - 0983

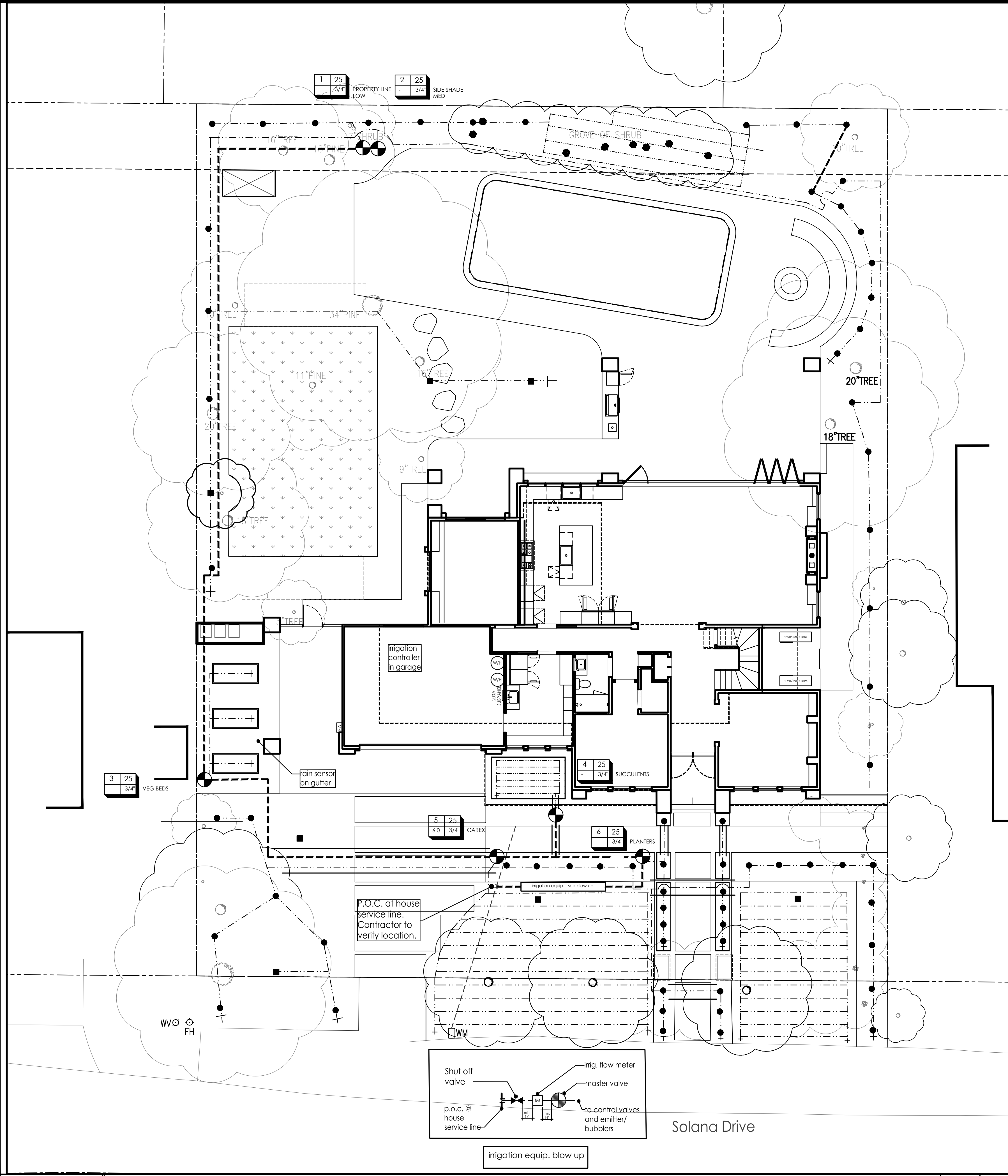
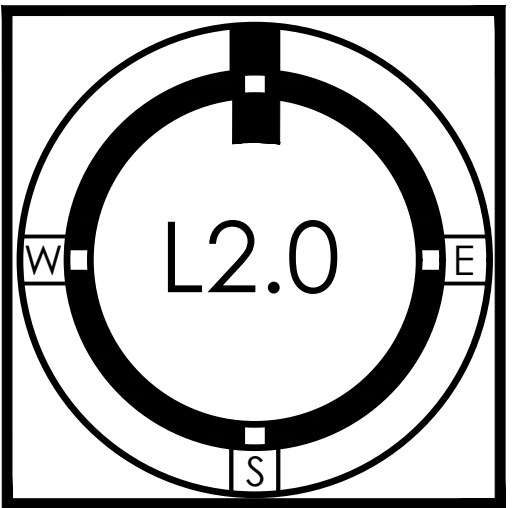
**22025 Bertran-Angulo Residence**  
 NEW SINGLE FAMILY HOUSE  
 Los Altos, 226 Solana Drive  
 Ana Bertran and Roberto Angulo



PROJECT NO.	DESCRIPTION	DATE	REVISION	DRAWN BY
22025	PLANNING SUBMITTAL	05.01.2023		GI
	PLANNING SUBMITTAL	06.09.2023		GI
	PLANNING SUBMITTAL	08.08.2023		GI

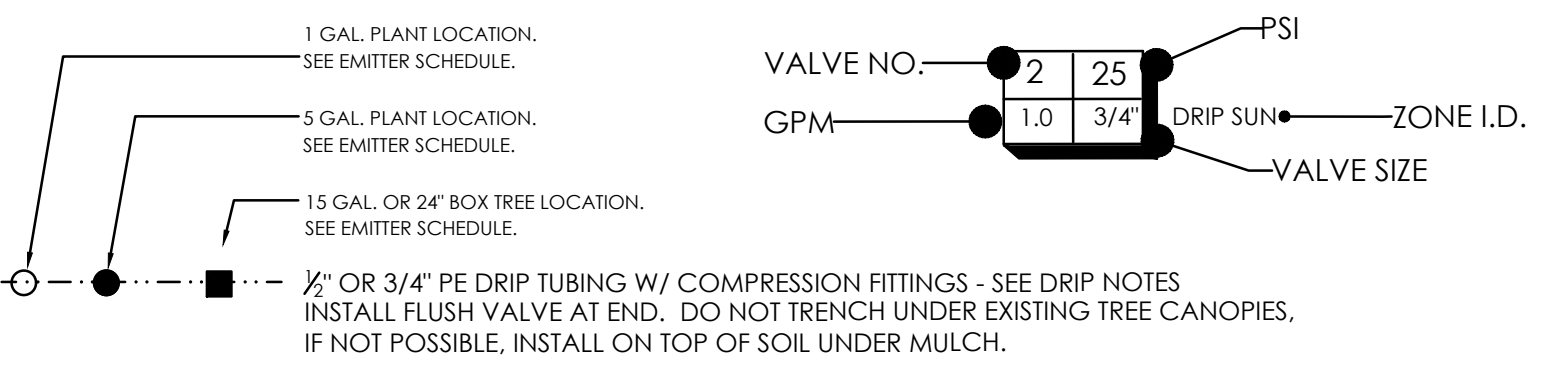
FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

IRRIGATION PLAN



IRRIGATION LEGEND

KEY	MANUF.	MODEL NO.	DESCRIPTION
⊕	AGRIFIM	PC PLUS	PRESSURE COMPENSATING EMITTER. SEE EMITTER SCHEDULE.
⊕	WEATHERMATIC	SILVER BULLET SERIES	1" ELECTRIC VALVE FOR SPRAY IRRIGATION. INSTALL BELOW GRADE IN A VALVE BOX.
⊕	RAINBIRD	XCZ-075-PRF SERIES	3/4" CONTROL ZONE KIT FOR DRIP IRRIGATION. LOW FLOW ELECTRIC VALVE W/ PRESS. REG AND FILTER. INSTALL BELOW GRADE IN A VALVE BOX.
⊕	RAINBIRD	HV SERIES	1" MASTER SHUT OFF VALVE AT POINT OF CONNECTION. INSTALL BELOW GRADE IN A VALVE BOX.
⊕	-	-	1" BRASS SHUT OFF VALVE - SAME SIZE AS MAINLINE. INSTALL BELOW GRADE IN A VALVE BOX.
⊕	HUNTER	PHC-12	PRO-HC WIFI - 12 STATION OUTDOOR HYDRAWISE CONTROLLER. SEE NOTE #11.
⊕	HUNTER	WR-CLIK	WIRELESS RAIN CLIK
⊕	HUNTER	HC-100-FLOW	FLOW METER. INSTALL BELOW GRADE IN VALVE/METER BOX.
⊕	-	-	3/4" HOSE BIB ON HOUSE WALL OR IN VEGETABLE GARDEN.
⊕	-	-	AUTOMATIC FLUSH VALVE AT ENDS OF DRIP IRRIGATION PE TUBING.



1/2" EMITTER TUBING W/ COMPRESSION FITTINGS - 24" EMITTER SPACING AND 18"-24" ROW SPACING. 1 GALLON PER HR. EMITTER. "RAINBIRD XFS SUBSURFACE DRIFLINE" OR APPROVED EQUAL. SEE DRIP NOTES. INSTALL AUTOMATIC FLUSH VALVE AT END. DO NOT TRENCH UNDER EXISTING TREE CANOPIES. INSTALL ON TOP OF SOIL UNDER MULCH.

NON PRESSURE LINE - CLASS 200 PVC - 3/4" UNLESS OTHERWISE LABELED

PRESSURE LINE - SCH. 40 PVC

ALL PIPING 24" UNDER PAVING:  
 PRESSURE LINE, NONPRESSURE LINE, CONTROL WIRE SLEEVE, OR EXTRA LINE FOR FUTURE USE - MIN 2" OR LARGER AS NOTED.  
 CLASS 315 PVC. TWICE THE SIZE OF THE PIPE INSIDE.  
 INSTALL A 2" SCH. 40 PVC GREY ELECTRICAL CONDUIT AT ALL PRESSURE LINE PAVING CROSSINGS.

EMITTER SCHEDULE:

PLANT SIZE	NO. OF EMITTERS	EMITTER SIZE	PLANT DESCRIPTION	EMITTER LOCATION
1 GAL.	1	1 GPH	SMALL SHRUBS	AT PLANT
5 GAL.	2	1 GPH	MEDIUM SHRUBS	6"-12"
15 GAL.	2	2 GPH	TREES	1' FROM TREE
24" BOX	3	2 GPH	TREES	2' APART

**From:** Diane Glazer <[dianeglazer@gmail.com](mailto:dianeglazer@gmail.com)>  
**Sent:** Wednesday, September 20, 2023 8:31 AM  
**To:** Nazaneen Healy <[nhealy@losaltosca.gov](mailto:nhealy@losaltosca.gov)>  
**Subject:** Home Project 226 Solana Drive

To: Naz Healy

Roberto and Ana have shared their plans with me and they appear to be thoughtful and fit in with the neighborhood aesthetic. Yes, the home is a two story and generous in size, but it appears it will enhance the neighborhood as well as serve their family needs well.

I strongly urge you to allow their application to be approved and to include, if necessary, any modifications suggested by their most immediate neighbors for privacy purposes.

Thank you.  
Diane Glazer  
259 Solana Dr, Los Altos, Ca 94022



**TO:** Nick Zornes, Zoning Administrator

**FROM:** Nazaneen Healy, Associate Planner

**SUBJECT:** SC23-0010 – 746 Casa Bonita Court

## RECOMMENDATION

Approve design review application SC23-0010 for the construction of a new approximately 3,721 square foot, two-story home subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (“New Construction or Conversion of Small Structures”).

## BACKGROUND

### Project Description

- Project Location: 746 Casa Bonita Court, located on the west side of Casa Bonita Court.
- Lot Size: 10,632 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story home

The proposed project includes the demolition of the existing one-story home and replacement with a new two-story home with a basement (see Attachment A – Project Plans). The proposed home incorporates traditional gabled and hipped roof forms and exterior materials that include a standing seam metal roof, stucco exterior finish with stone veneer, metal trellises, and wood garage doors. The proposed home is situated on the lot similar to the existing home and the proposed site improvements include a new driveway to the attached garage and new landscaping throughout the property. There are no protected trees on the subject site.

## ANALYSIS

### Design Review

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,654 square feet	3,151 square feet	3,189 square feet
<b>FLOOR AREA:</b>			
First floor	2,453 square feet	2,482 square feet	3,721 square feet
Second floor	-- square feet	1,239 square feet	
Total	2,453 square feet	3,721 square feet	
<b>SETBACKS:</b>			
Front	24.3 feet	25.3 feet	25 feet
Rear	31.9 feet	25.1 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	9.9 feet/-- feet	13.6 feet/21.1 feet	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	9.5 feet/-- feet	12 feet/19.6 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	15 feet	24.8 feet	27 feet

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The proposed home minimizes bulk by inseting the second story, minimizes two-story features, and proposes a lower height than the maximum. In addition, the design places two second-story egress windows facing the street except and one facing the rear yard, which will be screened with evergreen trees to minimize potential privacy impacts.

Nine new trees will be planted in the front and rear yards and one existing tree in the public right-of-way will remain. The landscaping plan will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and minimizes potential privacy impacts.

**ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 (“New Construction or Conversion of Small Structures”) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

**PUBLIC NOTIFICATION AND COMMUNITY OUTREACH**

A public meeting notice was posted on the property, mailed to property owners within a 300-foot radius, and published in the Town Crier newspaper. The applicant also posted the public notice sign (24” x 36”) in conformance with the Planning Division posting requirements.

The applicant also contacted eight neighbors in the immediate area via email and hosted two informal meetings regarding the proposed project. No comments from neighbors have been received by staff as of the writing of this report.



Attachment:

A. Project Plans

Cc: Jim Maliksi, Applicant  
Namrita and Suku Chettiar, Property Owner

## FINDINGS

SC23-0010 – 746 Casa Bonita Ct

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

- A. The proposed residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home maintains a similar finished floor elevation and orientation on the lot as the existing home and complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06.
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized because the existing site is relatively level and does not require substantial grading except for the basement. There are no protected trees on the subject site. Nine new trees will be planted in the front and rear yards and one existing tree in the public right-of-way will remain.
- D. The orientation of the proposed new house in relation to the immediate neighborhood will minimize excessive bulk because the proposed design insets the second story, minimizes two-story features, and proposes a lower height than the maximum.
- E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings on the same project site. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including standing seam metal roofing, stucco exterior finish with stone veneer, metal trellises and wood doors.
- F. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the proposed grading provides for drainage away from the home and away from adjacent properties and conforms to existing grades along the property lines.

## CONDITIONS OF APPROVAL

SC23-0010 – 746 Casa Bonita Ct

### GENERAL

**1. Expiration**

The Design Review Approval will expire on September 20, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

**2. Approved Plans**

The approval is based on the plans and materials received on August 7, 2023, except as may be modified by these conditions.

**3. Protected Trees**

Existing Tree Nos. 1-7 in the public right-of-way and on the adjacent properties, and the new trees shall be protected under this application and require permits from the Development Services Department or Public Works Department to remove.

**4. Arborist Report**

Amend the December 16, 2022 Arborist Report or provide a new report from a certified arborist confirming the proposed retaining wall replacement will not compromise the health of Tree No. 7 (the Redwood tree) and/or providing construction methods necessary to protect the tree.

**5. Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

**6. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public right-of-way shall be in compliance with the City's Shoulder Paving Policy.

**7. Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if 500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed.

**8. Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

**9. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay

all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

## **INCLUDED WITH THE BUILDING PERMIT SUBMITTAL**

### **10. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.

### **11. Tree Protection Note**

On the grading plan and the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

### **12. Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

### **13. Reach Codes**

Building Permit Applications submitted on or after January 1, 2023 shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

### **14. California Water Service Upgrades**

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

### **15. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

### **16. Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

### **17. Outdoor Condensing Units**

Show the location of any outdoor condensing unit(s) on the site plan including the model number of the unit(s), nominal size (i.e. tonnage) of the unit, and setback to the nearest property line. Provide the manufacturer's specifications showing the sound rating for each unit. The condensing unit(s) must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

### **18. Off-Haul Excavated Soil**

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing

the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

**19. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

**PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

**20. Tree Protection**

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of the existing tree in the public right-of-way and the existing trees on neighboring properties that overhang the subject property as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

**21. School Fee Payment**

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

**PRIOR TO FINAL INSPECTION**

**22. Landscaping Installation and Verification**

All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package.

**23. Green Building Verification**

Submit verification that the house was built in compliance with the City’s Green Building Ordinance (Chapter 12.26 of the Municipal Code).



## NEW RESIDENCE FOR NAMRITA & SUKU CHETTIAR

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**CIVIL**

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**PROJECT TITLE & LOCATION**

## NEW RESIDENCE FOR SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

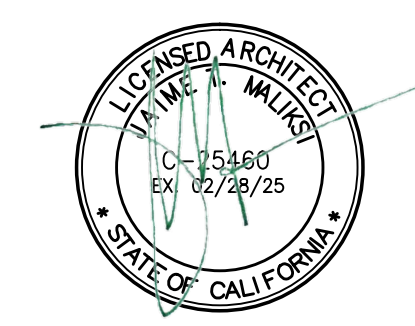
**REVISION**

- △
- △
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**J MALIKSI & ASSOC.**  
ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



**CONTACT INFO:**

<p>Jim Maliksi, AIA J Maliksi &amp; Associates 675 Menlo Avenue Menlo Park, CA 94025 (650) 323-2902</p> <p>Dan MacLeod MacLeod and Associates, Inc. 965 Center Street San Carlos, CA 94070 (650) 593-8580</p> <p>Lucas Ottoboni, P.E. Romig Engineers Inc. 1390 El Camino Real Second Floor San Carlos, CA 94070 (650) 591-5224</p> <p>Jeromey Ingalls Mayne Tree Expert Company Inc. 535 Bragato Road Suite A San Carlos, CA 94070 (650) 593-4400</p>	<p>Courtney Cameron California Horticulture 753 Camden Avenue Campbell, CA 95008 (408) 364-3190</p>
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**SCOPE OF WORK**

**PROJECT INCLUDES:**

DEMOLITION OF EXISTING 1 STORY RESIDENCE, (B) PATIOS & HARDSCAPE SURFACES TO BE REMOVED.

(N) 2 STORY RESIDENCE WITH BASEMENT, NEW COVERED SIDE PATIO, DRIVEWAY, WALKWAYS, LANDSCAPING AND OTHER HARDSCAPE SURFACES.

**PROJECT DATA**

**OWNERS:** NAMRITA & SUKU CHETTIAR  
**ADDRESS:** 746 CASA BONITA COURT  
 LOS ALTOS, CA 94024  
**A.P.N.#:** 189-41-085  
**ZONE:** RI-10

**LOT AREA :** 10,632 S.F.  
**MAXIMUM LOT COVERAGE** = (30%) Lot Area = 3,189.6 S.F.  
**MAXIMUM FLOOR AREA** = MAXIMUM FLOOR AREA ... FOR LOTS = 3,721.2 S.F.  
 WITH A NET SITE AREA NOT EXCEEDING 11,000 SQUARE FEET, THE MAXIMUM FLOOR AREA SHALL BE THIRTY-FIVE (35) PERCENT OF THE LOT AREA.

**GENERAL INFORMATION**

**OCCUPANCY GROUP:** R-3/U  
**TYPE OF CONSTRUCTION:** TYPE V-B (PER SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT, INSTALL NFPA 13D FIRE SPRINKLERS)  
**STORIES:** 2  
**FIRE SPRINKLERS:** -YES -NO

**BASEMENT:** 1,557.9 S.F.  
**GROUND FLOOR (HABITABLE):** 2,026.4 S.F.  
**GARAGE:** 455.3 S.F.  
**SECOND FLOOR:** 1,239.4 S.F.  
**TOTAL BUILDING AREA:** 5,279.0 S.F.

**DEFERRED SUBMITTALS**

1. NFPA 13D FIRE SPRINKLER DESIGN & SUBMITTAL UNDER SEPARATE PERMIT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED DIRECTLY TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A CALIFORNIA LICENSED C-16 FIRE SPRINKLER CONTRACTOR.

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <small>Land area covered by all structures that are over 6 feet in height</small>	2,654.1 square feet (25.0%)	3150.7 square feet (29.6%)	3,189.6 square feet (30.0%)
<b>FLOOR AREA:</b> <small>Measured to the outside surfaces of exterior walls</small>	2,452.9 square feet (18.2%)	3721.2 square feet (35.0%)	3,721.2 square feet (35.0%)
<b>SETBACKS:</b>			
Front	24.38 feet 31.88 feet	25.3 feet 25.13 feet	25 feet 25 feet
Right side (1 1/2 x 2 x 5)	9.88 feet / feet	13.63 feet / 21.13 feet	10 feet / 17.5 feet
Left side (1 1/2 x 2 x 5)	9.5 feet / feet	12.0 feet / 19.63 feet	10 feet / 17.5 feet
<b>HEIGHT:</b>	15.0 feet	24.8 feet	27 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <small>Includes habitable basement areas</small>	1,975.1 square feet	-2,848.6 square feet	4,823.7 square feet
<b>NON-HABITABLE AREA:</b> <small>Does not include covered porches or open structures</small>	477.8 square feet	-22.5 square feet	455.3 square feet
LOT CALCULATIONS			
<b>NET LOT AREA:</b>	10,632 square feet		
<b>FRONT YARD HARDSCAPE AREA:</b> <small>Hardscape area in the front yard setback shall not exceed 50%</small>	984.3 square feet (31%)		
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): 5,917.0 sq ft Existing softscape (unshrubbed) area: 0 sq ft New softscape (new or replaced landscaping) area: 4,715.0 sq ft <small>Sum of all three should equal the site's net lot area</small>		

NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-19-23	FOR DESIGN REVIEW

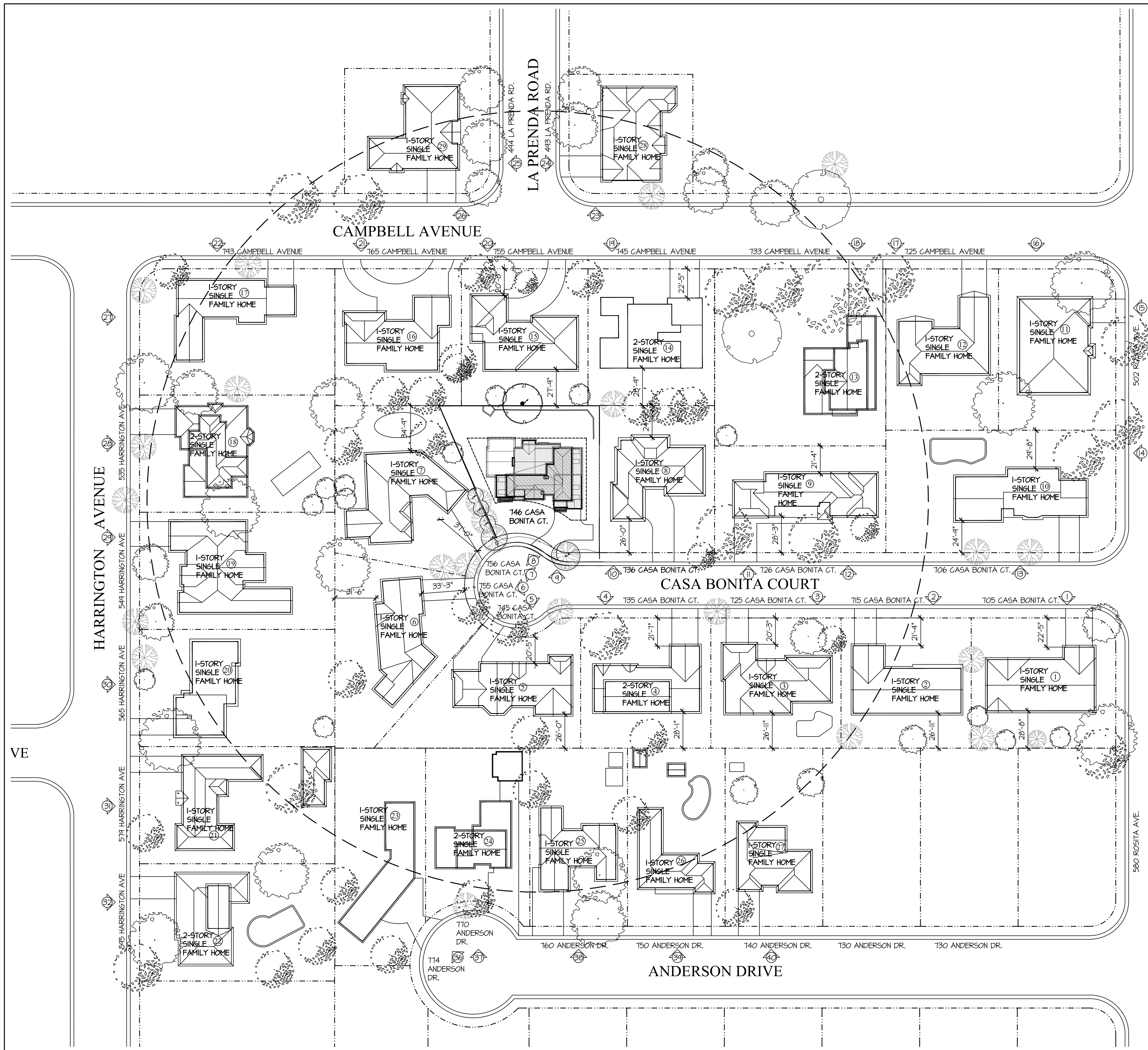
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(S) 2023 JLM made a revision

**DRAWING TITLE**

### COVER SHEET, SHEET INDEX, PROJECT DATA, ZONING COMPLIANCE

**SCALE:** 1/8" = 1'-0"  
**PROJECT NAME:** CHETTIAR  
**CADD FILE NO.:**  
**DRAWING NO.:**

# A-0.1



**NEIGHBORHOOD CONTEXT MAP**  
 0' 1' 2' 3' 4' 6' 1"=40'

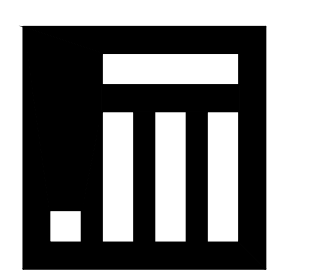
**PROJECT TITLE & LOCATION**

**NEW RESIDENCE  
 FOR  
 SUKU  
 & NAMRITA  
 CHETTIAR**

746 CASA BONITA COURT  
 LOS ALTOS, CA 94024

**REVISION**

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**J MALIKSI & ASSOC.**  
 ARCHITECTURE + INTERIOR DESIGN

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 TEL. NO. 650 323 2902  
 FAX NO. 650 323 6433



NO.	DATE	ISSUE
6TM	7-14-23	FOR DESIGN REVIEW
6TM	5-11-23	FOR DESIGN REVIEW

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DRAWING TITLE

**NEIGHBORHOOD  
 CONTEXT MAP**

SCALE: AS SHOWN  
 PROJECT NAME: CHETTIAR  
 CADD FILE NO.  
 DRAWING NO.

**A-0.2**



① 705 CASA BONITA COURT



② 715 CASA BONITA COURT



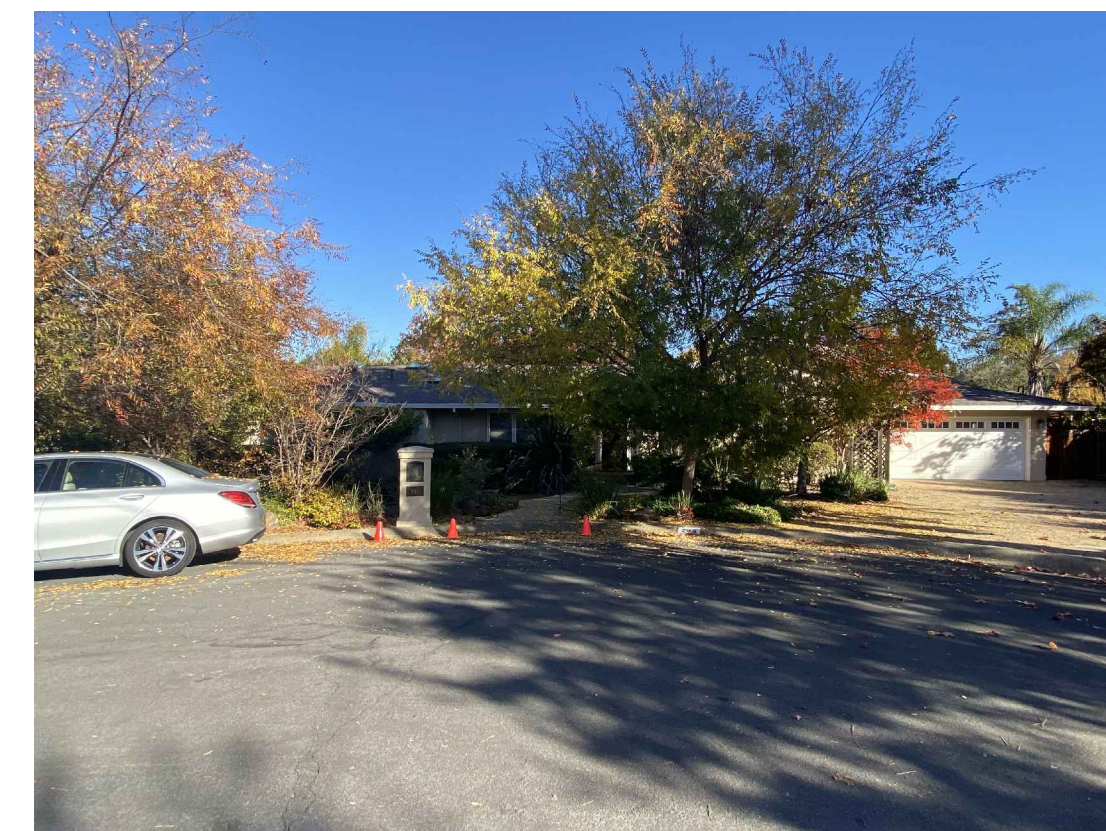
③ 725 CASA BONITA COURT



④ 735 CASA BONITA COURT



⑤ 745 CASA BONITA COURT



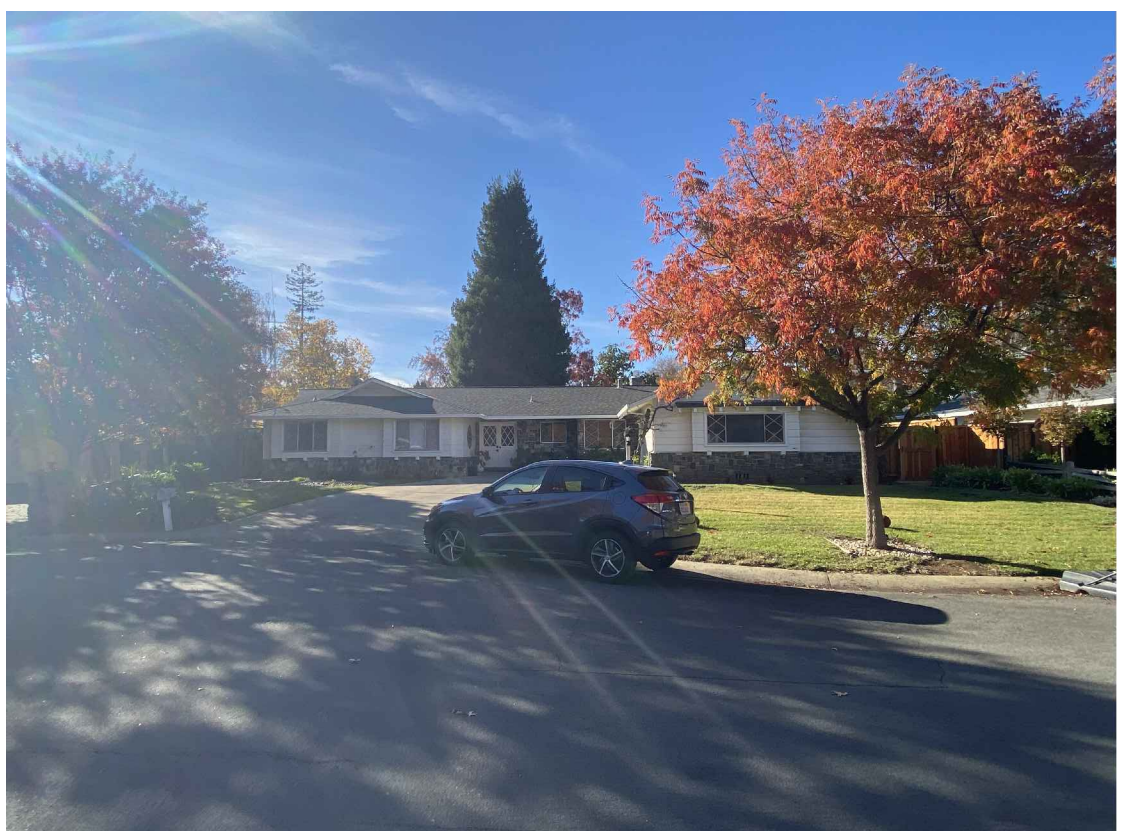
⑥ 745 CASA BONITA COURT



⑦ 755 CASA BONITA COURT



⑧ 756 CASA BONITA COURT



⑨ 746 CASA BONITA COURT



⑩ 736 CASA BONITA COURT



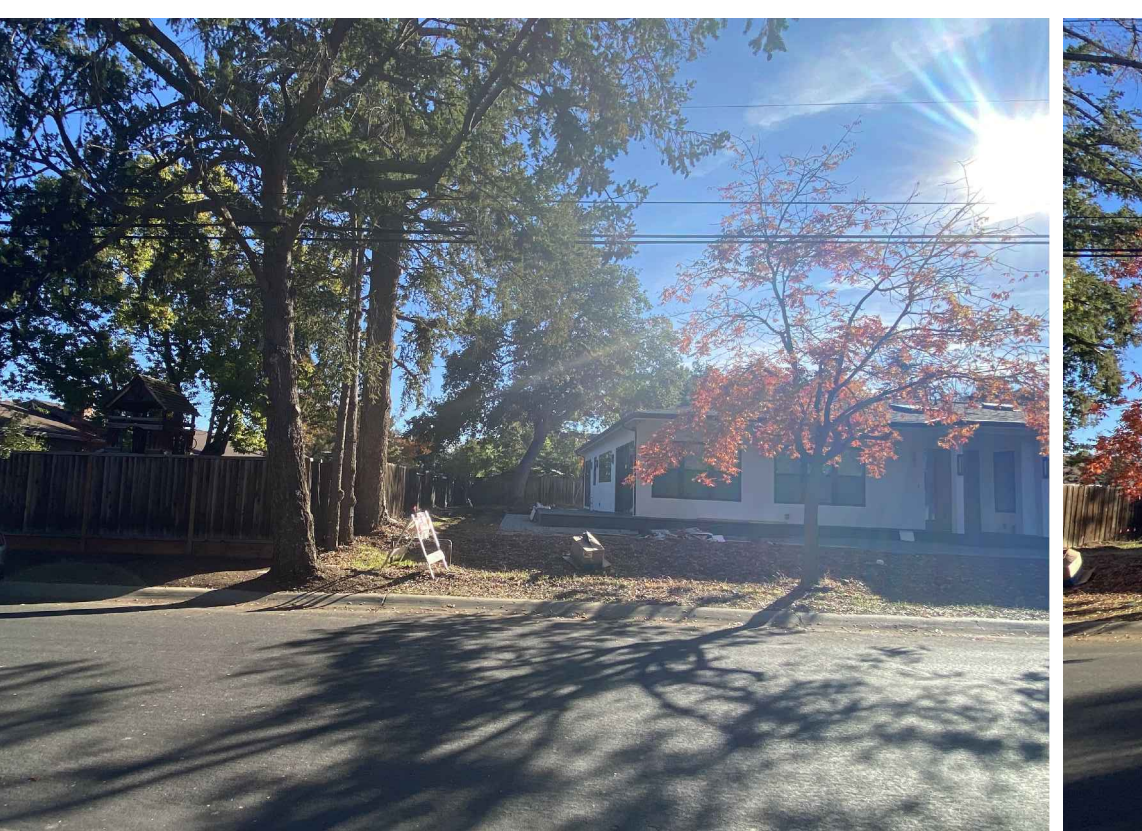
⑪ 726 CASA BONITA COURT



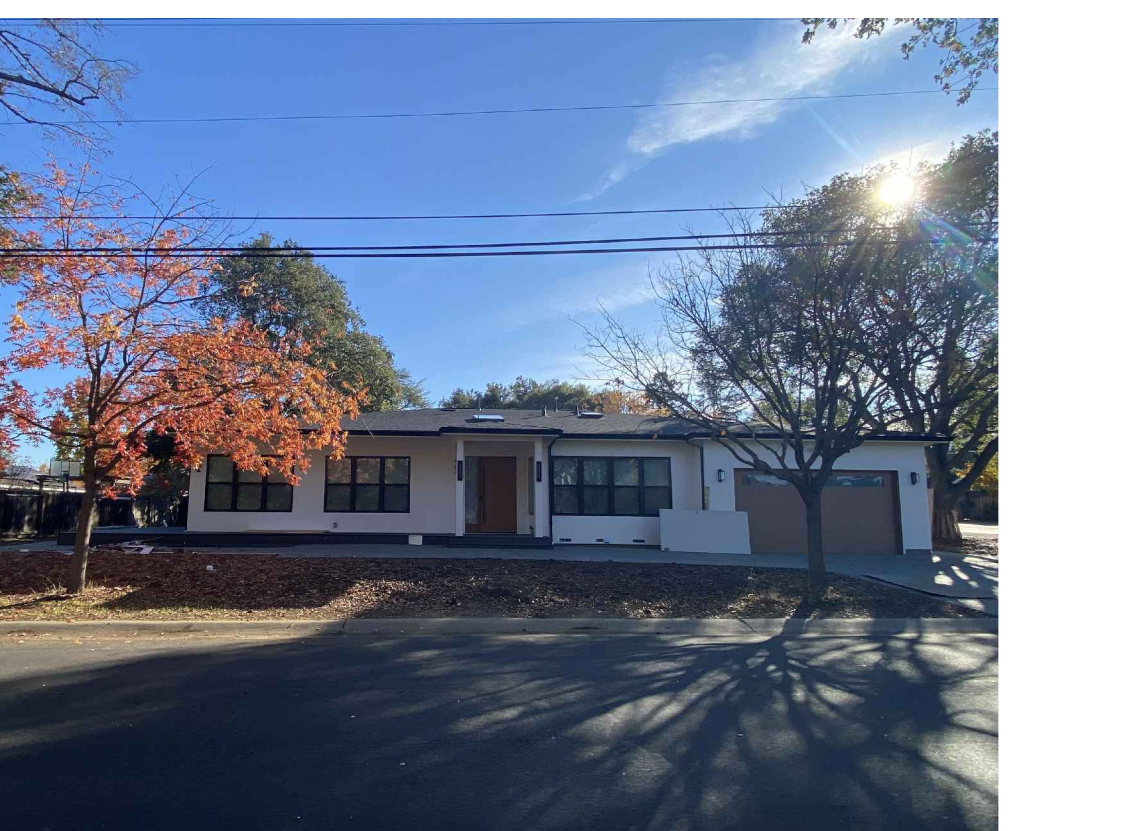
⑫ 726 CASA BONITA COURT



⑬ 706 CASA BONITA COURT



⑭ 502 ROSITA AVENUE



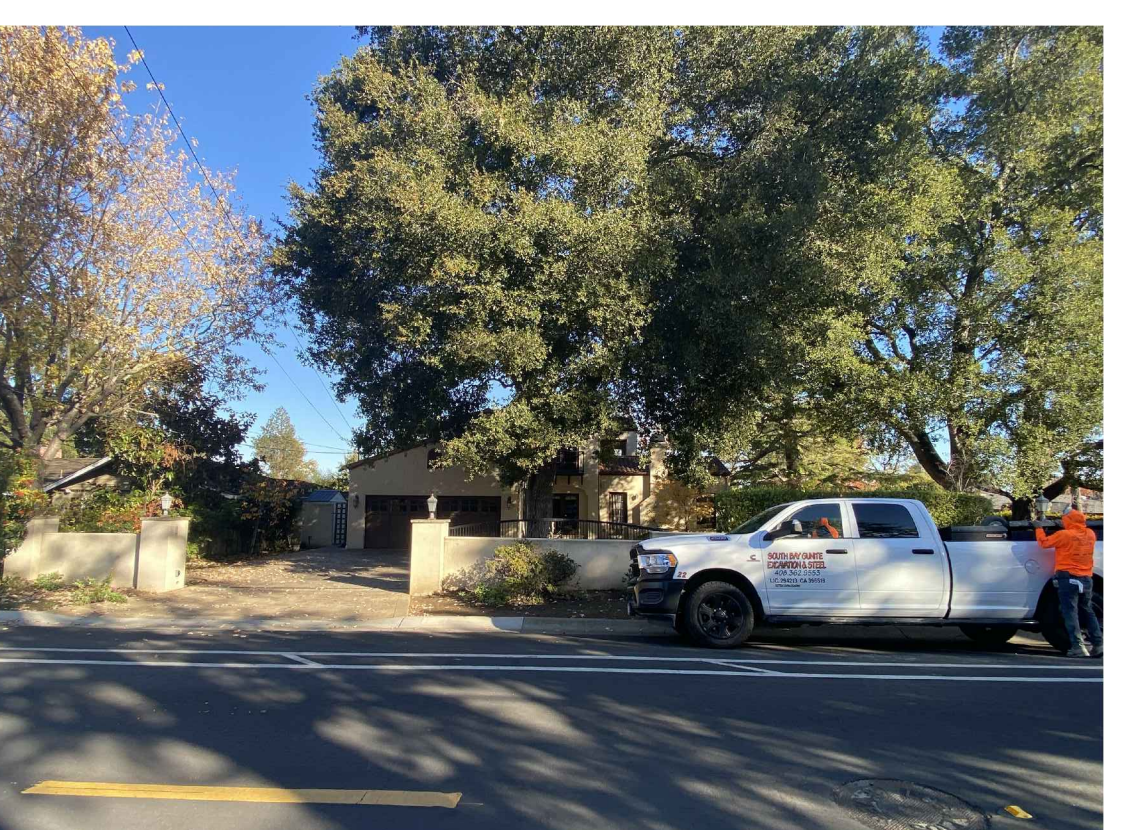
⑮ 502 ROSITA AVENUE



⑯ 502 ROSITA AVENUE



⑰ 725 CAMPBELL AVENUE



⑱ 733 CAMPBELL AVENUE



⑲ 745 CAMPBELL AVENUE



⑳ 755 CAMPBELL AVENUE

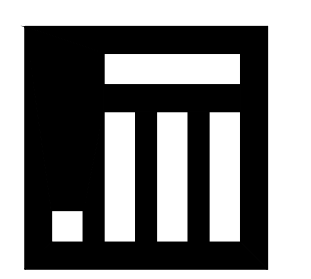
PROJECT TITLE & LOCATION

NEW RESIDENCE FOR  
SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

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FAX NO. 650 323 6433



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6TH	1-18-23	

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NEIGHBORHOOD CONTEXT PHOTOS

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-0.3





21 765 CAMPBELL AVENUE



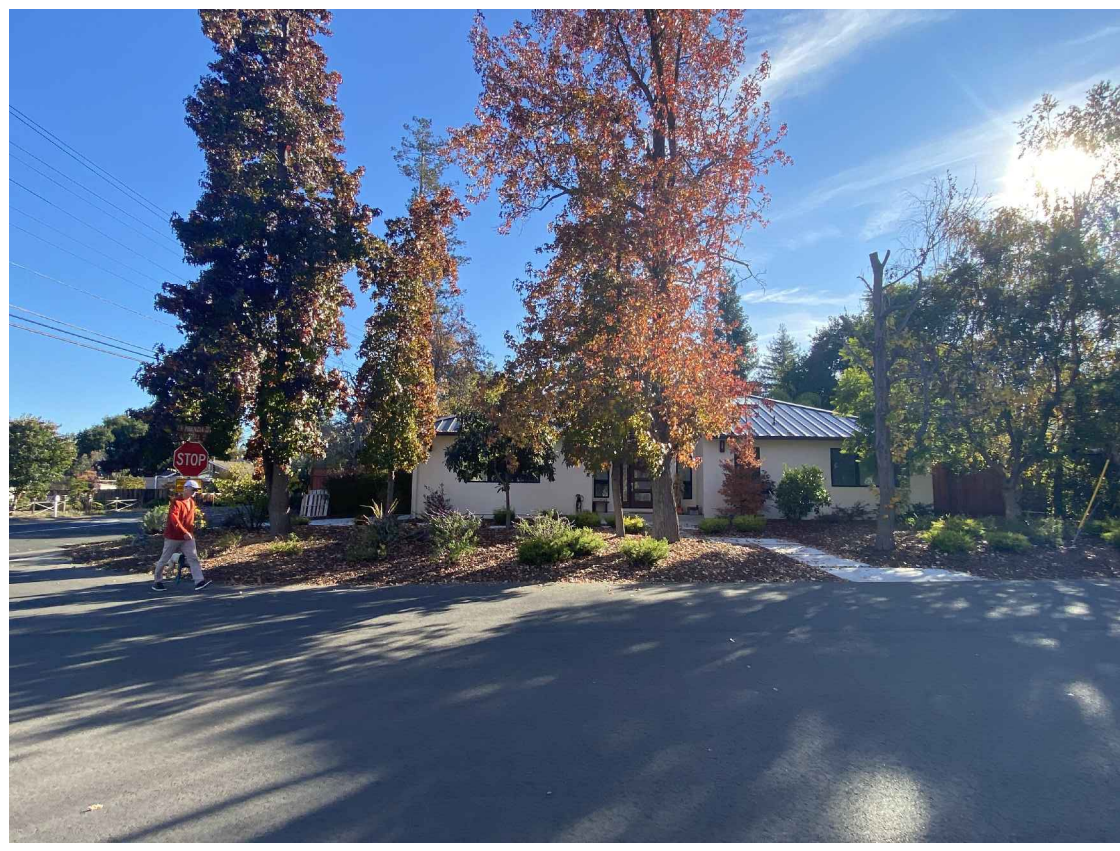
22 793 CAMPBELL AVENUE



23 493 LA PRENDA ROAD



24 493 LA PRENDA ROAD



25 494 LA PRENDA ROAD



26 494 LA PRENDA ROAD



27 793 CAMPBELL AVENUE



28 535 HARRINGTON AVENUE



29 549 HARRINGTON AVENUE



30 565 HARRINGTON AVENUE



31 579 HARRINGTON AVENUE



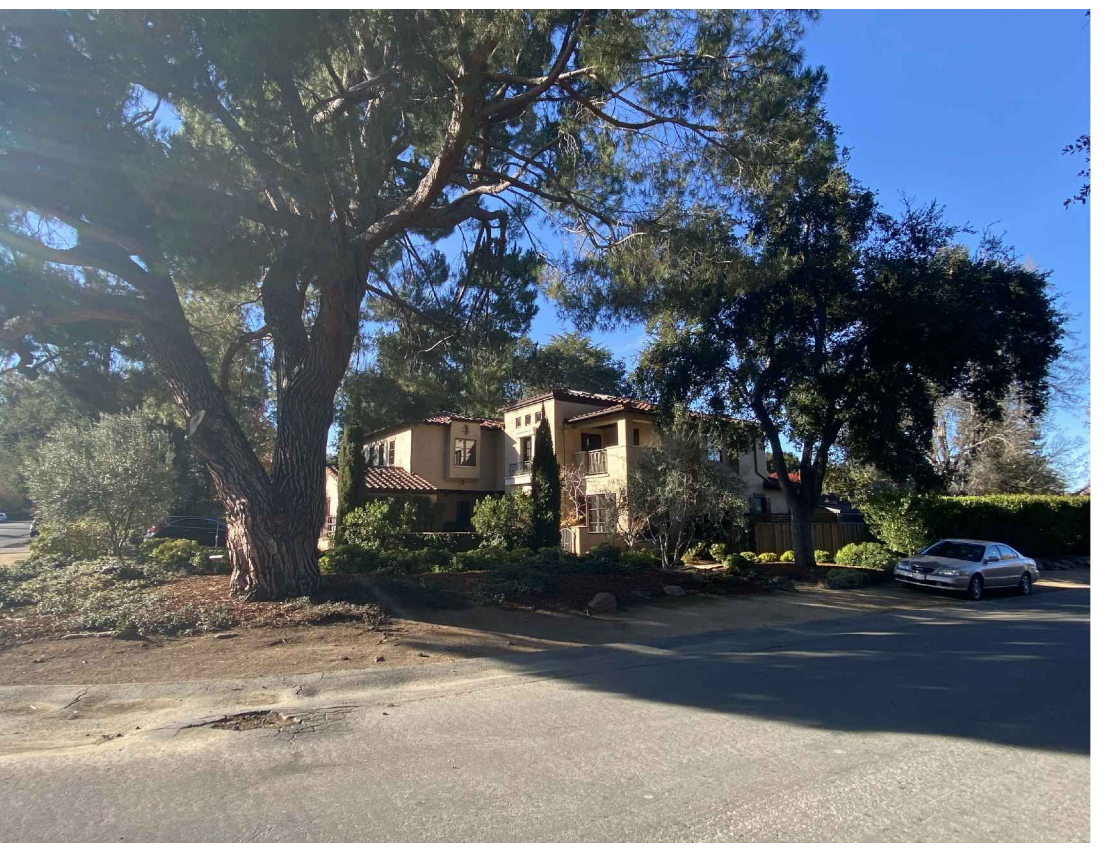
32 595 HARRINGTON AVENUE



33 605 HARRINGTON AVENUE



34 613 HARRINGTON AVENUE



35 621 HARRINGTON AVENUE



36 774 ANDERSON DRIVE



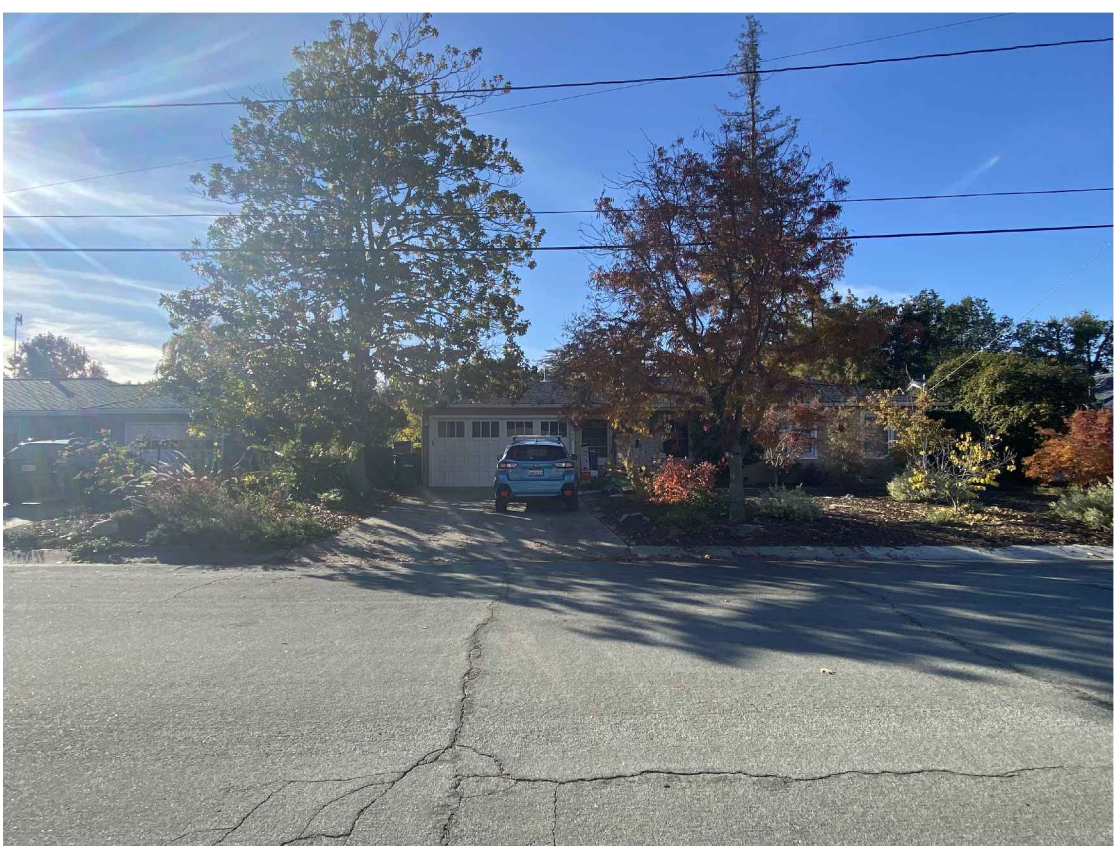
37 770 ANDERSON DRIVE



38 760 ANDERSON DRIVE



39 750 ANDERSON DRIVE



40 740 ANDERSON DRIVE

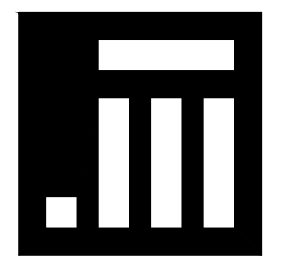
PROJECT TITLE & LOCATION

NEW RESIDENCE FOR  
SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

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6TM	1-18-23	

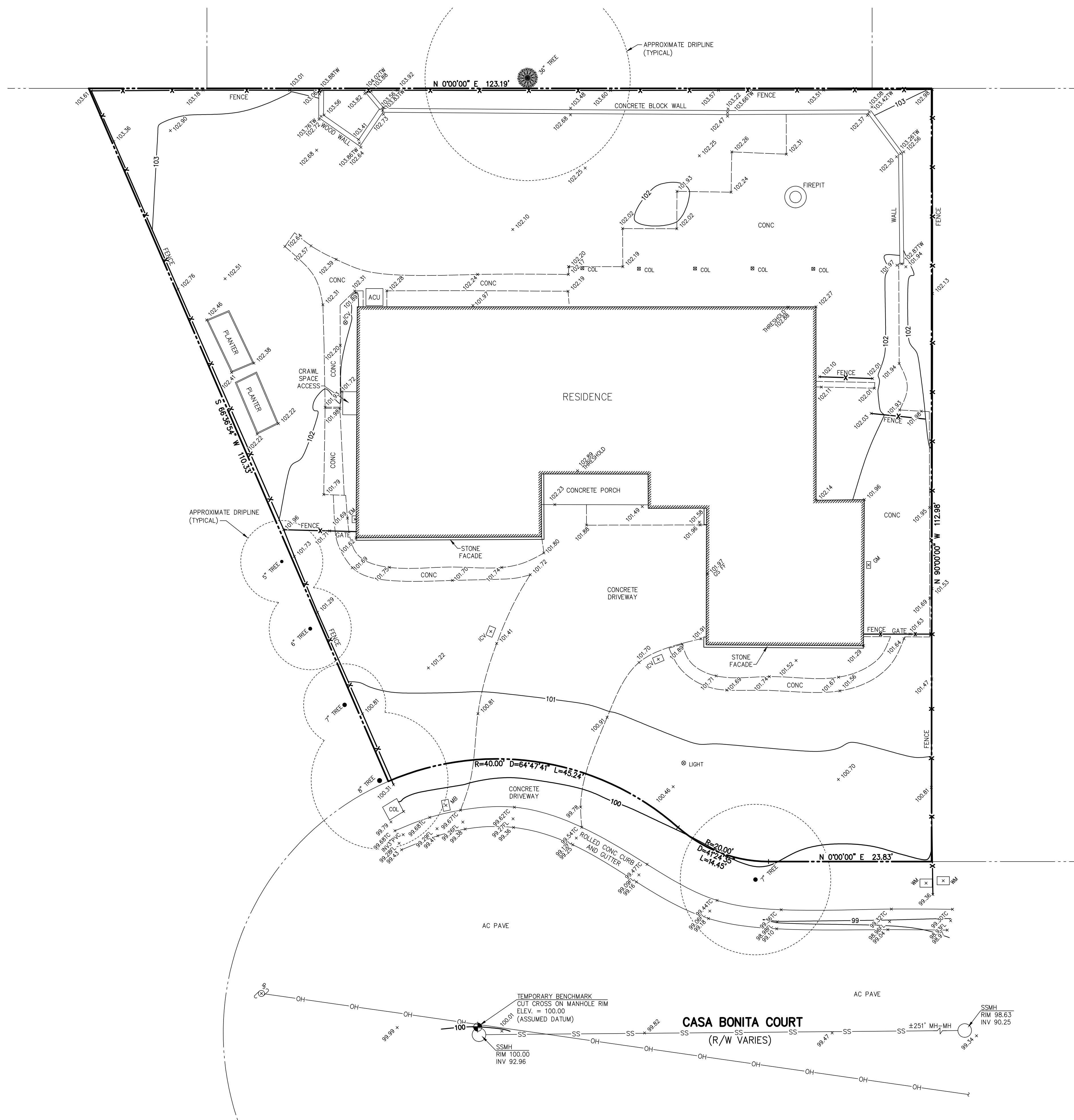
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NEIGHBORHOOD  
CONTEXT PHOTOS

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-0.4



**LEGEND**

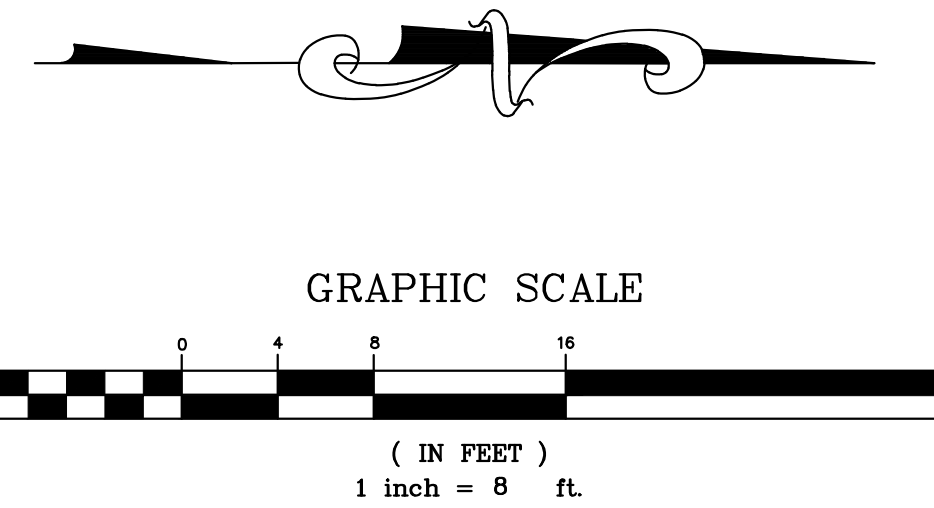
- PROPERTY LINE
- AC PAVE ASPHALT CONCRETE PAVEMENT
- COL COLUMN
- CONC CONCRETE
- EM ELECTRIC METER
- FL FLOWLINE
- GM GAS METER
- GS FF GARAGE SLAB FINISH FLOOR
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- JP JOINT UTILITY POLE
- MB MAILBOX
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TW TOP OF WALL
- WM WATER METER
- 12" TREE TREE W/ SIZE
- FENCE
- OH OVERHEAD UTILITY LINE
- SS SANITARY SEWER LINE

**LOT AREA:**

= 10,632 SQ. FT. ±  
= 0.244 ACRES ±

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



REV.	DESCRIPTION	BY:	DATE:



**MACLEOD AND ASSOCIATES**  
CIVIL ENGINEERING • LAND SURVEYING  
965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8560

PREPARED FOR:  
NAMRITA AND SUKU  
CHETTIAR

**TOPOGRAPHIC SURVEY PLAN**  
746 CASA BONITA COURT  
A.P.N. 189-41-085  
LOT 5, 18 MAPS 101  
SANTA CLARA COUNTY CALIFORNIA  
LOS ALTOS

DRAWN BY: EM/MDL  
DESIGNED BY: ---  
CHECKED BY: DGM  
SCALE: 1"=8'  
DATE: 06-10-22  
DRAWING NO. 5263-TOPO  
SHEET 1 OF 3

**C-1**

**GENERAL NOTES:**

- ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS AND STANDARDS OF THE CITY OF LOS ALTOS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) PRIOR TO START OF CONSTRUCTION. PHONE (800) 227-2600.
- UNLESS OTHERWISE SPECIFIED, ALL ON-SITE AREA DRAINS SHALL BE CHRISTY-TYPE PRECAST CONCRETE OR APPROVED EQUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY AND BUILDING PADS TO REQUIRED GRADE.
- UTILITIES AND UNDERGROUND FACILITIES INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE CITY OR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE UTILITIES AND UNDERGROUND FACILITIES INDICATED WILL BE THE UTILITIES AND UNDERGROUND FACILITIES ENCOUNTERED.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC., AND TO AVOID ABRUPT OR APPARENT CHANGES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR ALL WORK SHOWN ON THIS PLAN.
- UNLESS OTHERWISE SPECIFIED, ALL STORM DRAIN PIPES SHALL BE P.V.C. PER ASTM D-3034 SDR 35 BELL AND SPIGOT RUBBER GASKET JOINTS OR BETTER.
- UNLESS OTHERWISE SPECIFIED, ALL SANITARY SEWER GRAVITY PIPES SHALL BE PVC SDR 26 WITH BELL AND SPIGOT RUBBER GASKET JOINTS OR BETTER.
- UNLESS OTHERWISE SPECIFIED ALL FORCEMAIN LINES (SEWER EJECTOR PIPES) SHALL BE HDPE DR 11 OR BETTER.
- STORM DRAIN AND SANITARY SEWER INSTALLATIONS SHALL BEGIN FROM THE DOWNSTREAM POINT OF CONNECTION.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

**LEGEND:**

AC PAVE	ASPHALT CONCRETE PAVEMENT
BS	BOTTOM OF STEP
BFP	BACKFLOW PREVENTER
CONC	CONCRETE
COL	COLUMN
COTG	CLEANOUT TO FINISH GRADE
EM	ELECTRIC METER
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FL	FLOWLINE
FP	FINISH PAVEMENT
FG	FINISH GRADE
GS FF	GARAGE SLAB FINISH FLOOR
G.B.	GRADE BREAK
GM	GAS METER
H.P.	HIGH POINT
INV	INVERT
ICV	IRRIGATION CONTROL VALVE
JP	JOINT UTILITY POLE
MB	MAILBOX
P.A.	PLANTING AREA
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL
TH	TOP OF HEADER
WM	WATER METER
---	PROPERTY LINE
-X-X-	FENCE
-OH-	OVERHEAD UTILITY LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-W-	NEW STORM DRAIN LINE
-FM-	WATER LINE
-JT-	FORCE MAIN
[101]	WATER LINE
[101]	NEW CONTOUR
DS	SWALE
DS	SHEET FLOW DIRECTION
12" TREE	DOWNSPOUT WITH PRECAST CONCRETE SPLASH BLOCK
101.0	TREE W/ SIZE
	EXISTING GRADE

**UTILITY NOTE:**

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**GEOTECHNICAL ENGINEER NOTES:**

EARTHWORK, BASEMENT SUBGRADE PREPARATION, PIER DRILLING, SUB-SLAB DRAINAGE, BASEMENT RETAINING WALL DRAINAGE AND BACKFILL, FOUNDATION CONSTRUCTION, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION, UTILITY TRENCH BACKFILLING, PAVEMENT CONSTRUCTION, AND SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED MARCH 14, 2023. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK OR FOUNDATION CONSTRUCTION AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 5 DAYS PRIOR TO EARTHWORK, TRENCH BACKFILL AND SUBGRADE PREPARATION WORK TO ALLOW TIME FOR SAMPLING OF ON-SITE SOIL AND LABORATORY COMPACTION CURVE TESTING TO BE PERFORMED PRIOR TO ON-SITE COMPACTION DENSITY TESTING.

DATE:	05/17/23
BY:	VPG
DESCRIPTION:	PER PLANNING COMMENTS
REV:	

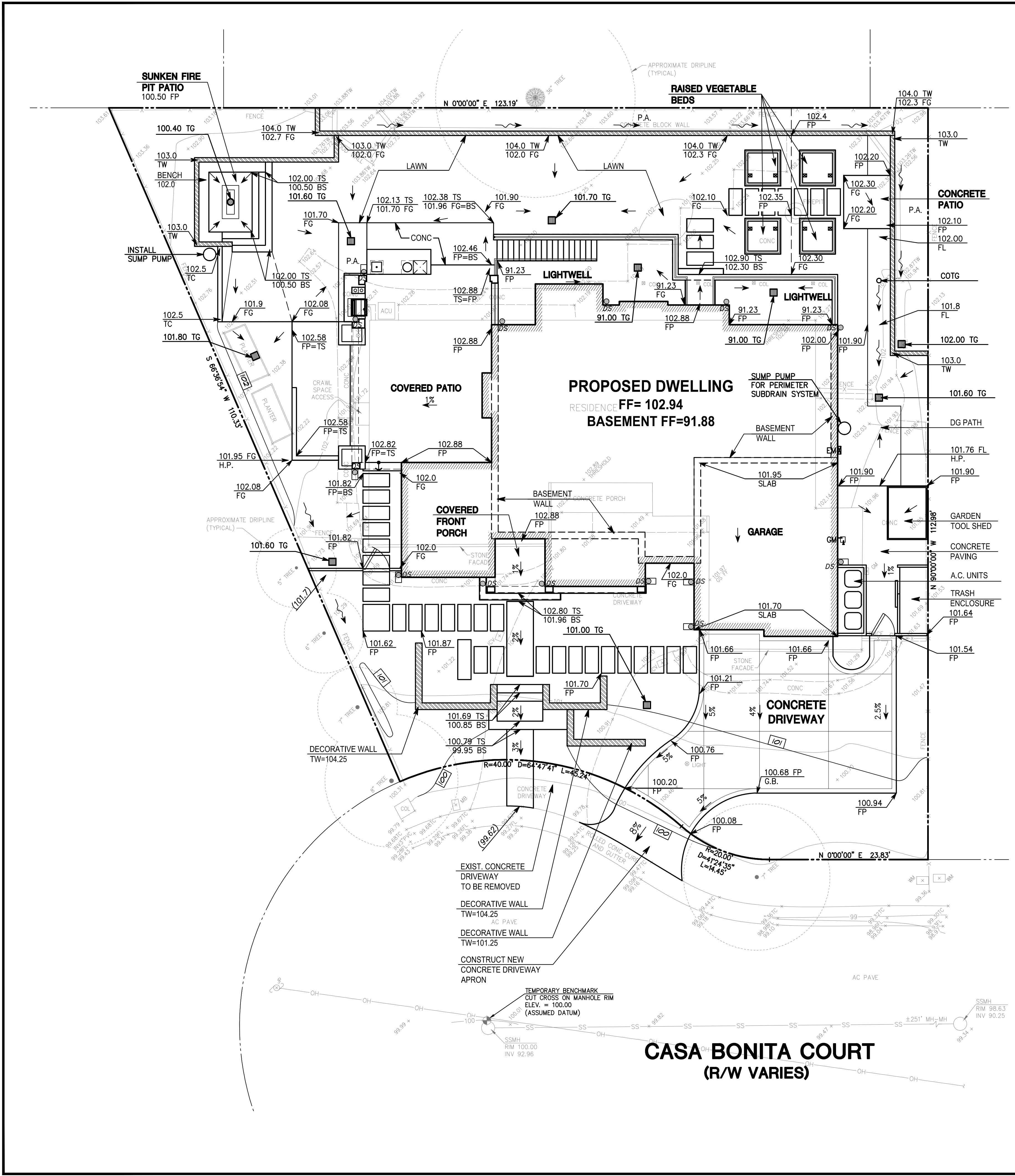
REGISTERED PROFESSIONAL ENGINEER  
 No. 35048  
 CIVIL  
 STATE OF CALIFORNIA

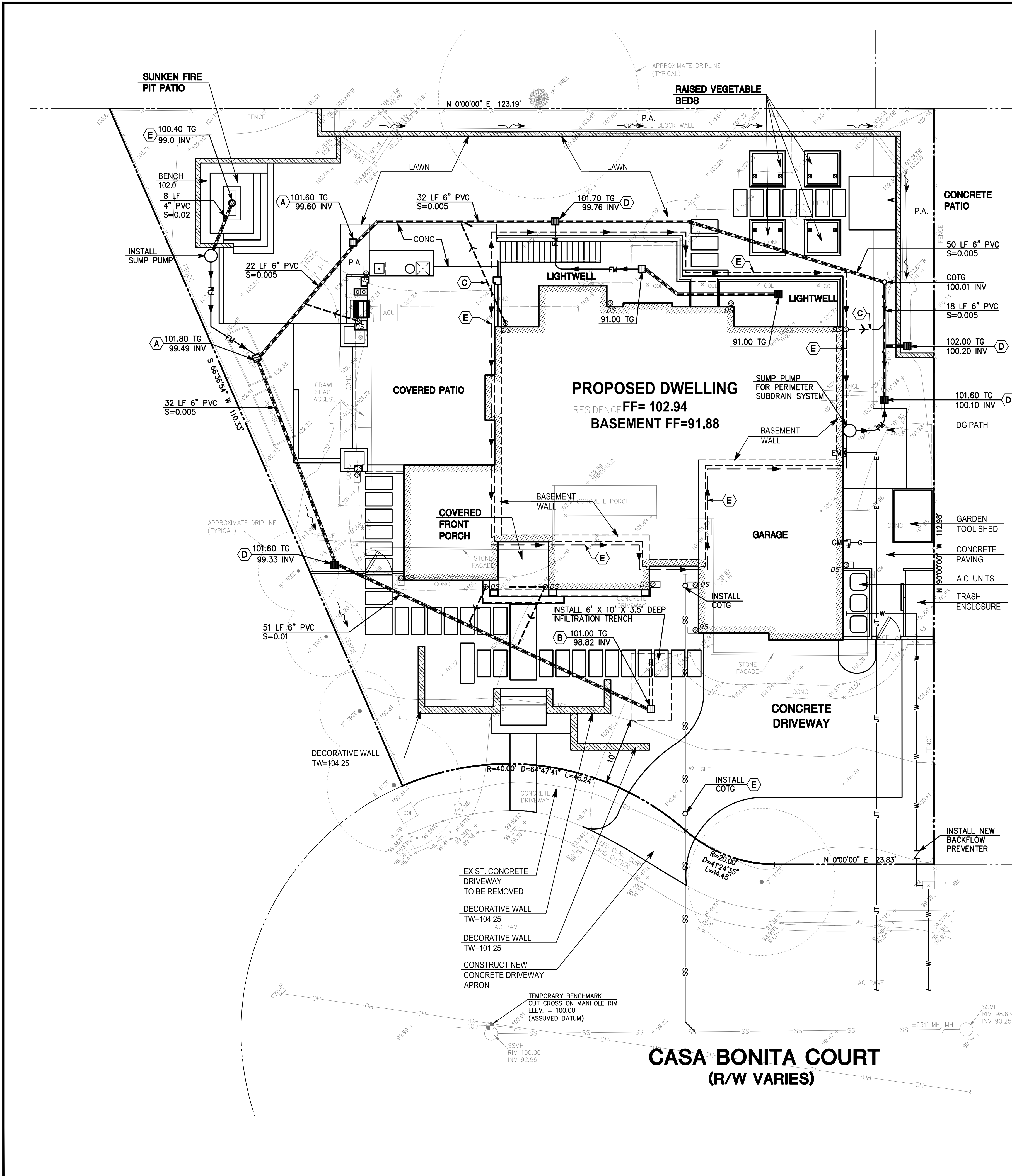
**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR:  
 NAMRITA AND SUKU  
 CHETTIAR

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
 746 CASA BONITA COURT  
 LOS ALTOS SANTA CLARA COUNTY CALIFORNIA

DRAWN BY: AAP  
 DESIGNED BY: VPG  
 CHECKED BY: DGM  
 SCALE: 1"=8'  
 DATE: 05/17/23  
 DRAWING NO. 5263-GRAD  
 SHEET 2 OF 3





**CONSTRUCTION NOTES:**

- (A)** INSTALL 12" X 12" PRECAST CONCRETE DRAIN BOX WITH GRATE COVER COVER BY HARDCASTLE CONCRETE OR APPROVED EQUAL.
- (B)** INSTALL BOTTOMLESS 16" X 16" PRECAST CONCRETE DRAIN BOX WITH GRATE COVER BY CHRISTY OR APPROVED EQUAL.
- (C)** CONNECT DOWNSPOUT WITH 4" PVC AT 1% MIN. SLOPE
- (D)** INSTALL 12" X 12" PLASTIC DRAIN BOX WITH GRATE COVER COVER BY NDS OR APPROVED EQUAL.
- (E)** INSTALL 4" PVC SUBDRAIN PIPE AT 1% MIN. SLOPE

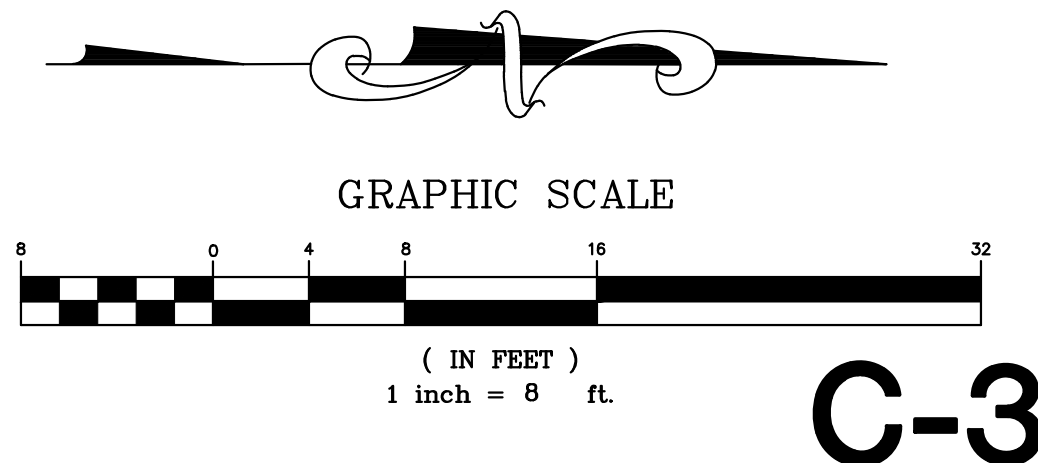
**LEGEND:**

AC PAVE	ASPHALT CONCRETE PAVEMENT
BS	BOTTOM OF STEP
BFP	BACKFLOW PREVENTER
CONC	CONCRETE
COL	COLUMN
COTG	CLEANOUT TO FINISH GRADE
EM	ELECTRIC METER
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FL	FLOWLINE
FP	FINISH PAVEMENT
FG	FINISH GRADE
GS FF	GARAGE SLAB FINISH FLOOR
G.B.	GRADE BREAK
GM	GAS METER
H.P.	HIGH POINT
INV	INVERT
ICV	IRRIGATION CONTROL VALVE
JP	JOINT UTILITY POLE
MB	MAILBOX
P.A.	PLANTING AREA
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL
TH	TOP OF HEADER
WM	WATER METER
	PROPERTY LINE
-X-X-	FENCE
OH	OVERHEAD UTILITY LINE
SS	SANITARY SEWER LINE
SD	STORM DRAIN LINE
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DS	DOWNSPOUT WITH PRECAST CONCRETE SPLASH BLOCK
12" TREE	TREE W/ SIZE
(101.0)	EXISTING GRADE

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	<p><b>MACLEOD AND ASSOCIATES</b> CIVIL ENGINEERING • LAND SURVEYING 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560</p>			
<p>PREPARED FOR: NAMRITA AND SUKU CHETTIAR</p>	<p><b>PRELIMINARY UTILITY PLAN</b> 746 CASA BONITA COURT SANTA CLARA COUNTY CALIFORNIA</p>			
<p>DRAWN BY: AAP</p>	<p>DRAWN BY: AAP</p>			
<p>DESIGNED BY: VPG</p>	<p>DESIGNED BY: VPG</p>			
<p>CHECKED BY: DGM</p>	<p>CHECKED BY: DGM</p>			
<p>SCALE: 1"=8'</p>	<p>SCALE: 1"=8'</p>			
<p>DATE: 05/17/23</p>	<p>DATE: 05/17/23</p>			
<p>DRAWING NO. 5263-UTIL</p>	<p>DRAWING NO. 5263-UTIL</p>			
<p>SHEET 3 OF 3</p>	<p>SHEET 3 OF 3</p>			



**C-3**



**California Horticulture**

LANDSCAPE CONSTRUCTION INCORPORATED

753 Camden Avenue  
Campbell, CA 95008

Phone 408-364-3199  
FAX 408-364-3199

Contractors License  
B & C-27 & C-53  
641851

# Chettiar Residence

746 Casa Bonita Court, Los Altos, CA 94024

## SITE DATA

APN: 189-41-025  
 ADDRESS: 746 CASA BONITA COURT, LOS ALTOS, CA 94024  
 ZONING DISTRICT: R1-10  
 OCCUPANCY USE: SINGLE FAMILY RESIDENTIAL  
 LOT AREA: 10,632 S.F.  
 MAXIMUM FLOOR AREA 30%: 3,189.6 S.F.  
 PROPOSED FLOOR AREA: 3,135 S.F.  
 FRONT, REAR, SIDE SETBACKS: 25'-0" FRONT AND REAR, 10'-0" SIDES  
 FRONT YARD IMPERVIOUS COVERAGE: 934.18 SF (42%)  
 FRONT YARD ALLOWABLE IMPERVIOUS COVERAGE: TOTAL 2,212 SF (50%)= 1,106 SF

## PROJECT DIRECTORY

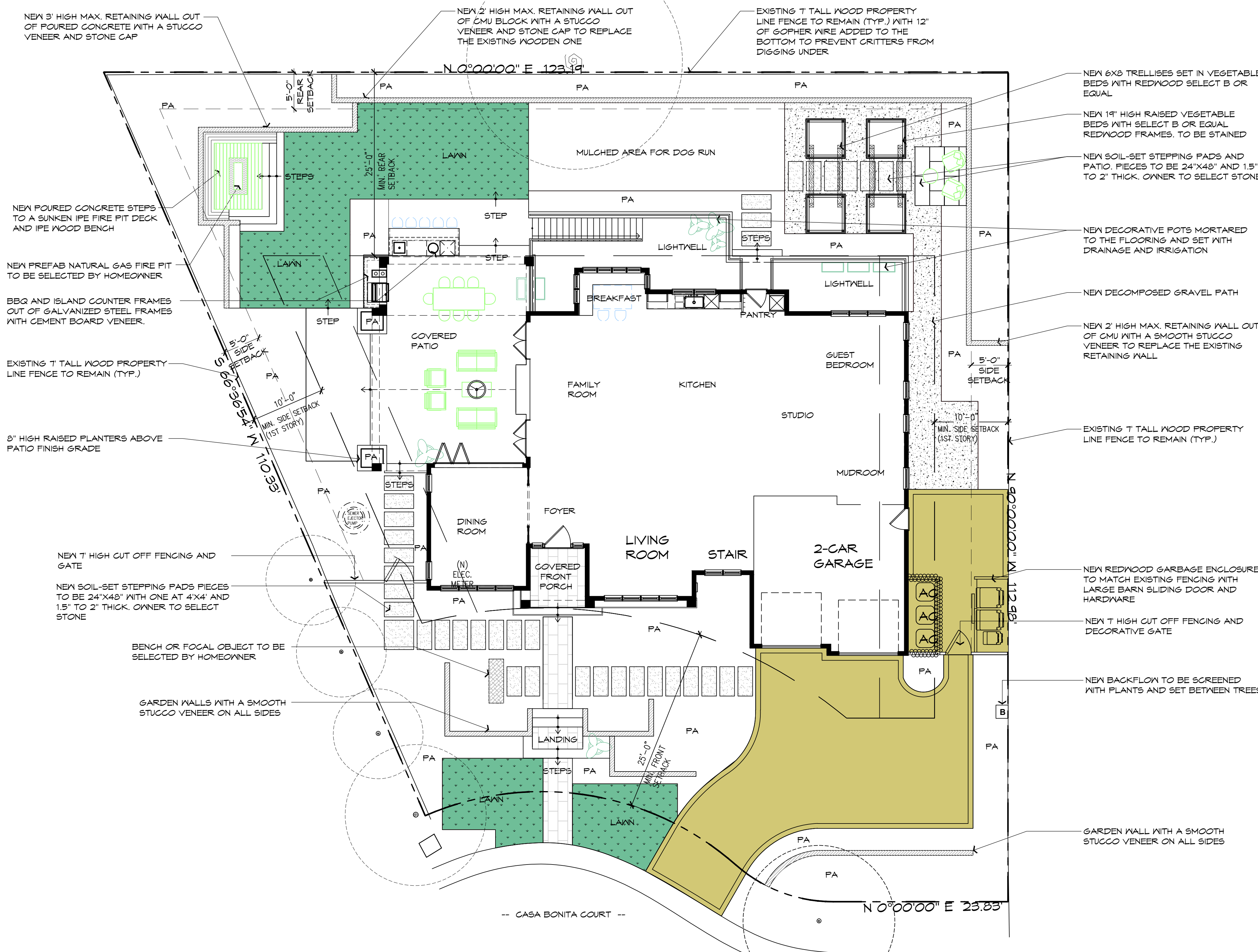
OWNERS: SUKU AND NAMARITA GHETTIAR  
 746 CASA BONITA CT., LOS ALTOS, CA 94024  
 PH: (408) 761-8678  
 APPLICANT: COURTNEY CAMERON  
 CALIFORNIA HORTICULTURE LANDSCAPE CONSTRUCTION INC.  
 753 CAMDEN AVENUE, CAMPBELL, CA 95008  
 CA LIC. #641851  
 PH: (408) 364-3199

## PROJECT DESCRIPTION

SCOPE OF WORK INDICATED IN THESE LANDSCAPE DRAWINGS INCLUDES:  
 CARPENTRY ITEMS: VEGETABLE BEDS, CUT OFF FENCING AT SIDE YARDS WITH GATES, IPE WOOD BENCH, SUNKEN FIRE PIT, IPE DECK AND REDWOOD TRELLISES FOR CLIMBING VEGETABLES.  
 LANDSCAPE HARDSCAPE ITEMS: CMU WALLS 3' MAX HIGH WITH STUCCO VENEER, STONE VENEER STEPS AND WALKWAYS, STEPPING PADS AND POURED COLORED CONCRETE DRIVEWAY AND SIDE YARD PATH.  
 LANDSCAPE STRUCTURE ITEMS: OUTDOOR KITCHEN AND DECORATIVE POTS.

## LEGEND

- DRIVEWAY PAVING: 6" THICK POURED COLORED CONCRETE SET OVER 6" DEPTH CLASS II BASEROCK COMPACTED TO 95%.
- PEDESTRIAN PAVING: 4" MIN. THICK CONCRETE W/ #3 REBAR @ 18" O.C.B.W. OVER 4" DEPTH CLASS II BASEROCK COMPACTED TO 95%. THIN STONE VENEER MORTAR SET TO BE SELECTED BY HOME OWNER.
- LAWN: GRASS FROM DELTA BLUEGRASS TO BE SELECTED BY OWNER.
- DECOMPOSED GRAVEL PAVING: 1" DEPTH WITH BINDER AS SELECTED BY OWNER OVER 4" DEPTH CLASS II BASEROCK COMPACTED TO 95%.
- GARDEN WALLS: VARY IN HEIGHT NOT TO EXCEED 3' HIGH MAX, OUT OF CMU BLOCK WITH A SMOOTH STUCCO VENEER ON ALL SIDES.
- HEADER BOARD: BLACK STEEL HEADERBOARD 4 STAKES. INSTALL BETWEEN GRAVEL AREAS 4 LAWN 4 PLANTING AREAS LOCATIONS PER PLAN.
- PLANTING AREA: AMENDED NATIVE SOIL WITH NEW PLANTING PER PLANTING PLAN.



## CODE COMPLIANCE

ALL WORK SHALL CONFORM TO LOCAL CODES & ORDINANCES INCLUDING THE FOLLOWING:  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CEG ELECTRICAL CODE  
 2022 ENERGY CODE  
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN RESIDENTIAL CHECKLIST)

## WELO STATEMENTS:

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan."  
 "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

SHEET  
**Lo**

SCREENING LEGEND

QUANTITY	LATIN NAME
SIZE	COMMON NAME



**California Horticulture**

LANDSCAPE CONSTRUCTION INCORPORATED  
 753 Camden Avenue  
 Campbell, CA 95008  
 Phone 408-364-3199  
 FAX 408-364-3199  
 Contractors License B & C-29 & C-53 641851

**Chettiar Residence**  
 746 Casa Bonita Court, Los Altos, CA 94024



SCREENING AND PRIVACY TREES/SHRUBS

SYM	COMMON NAME	BOTANICAL NAME	SIZE	QTY	ANTICIPATED HEIGHT & SPREAD	AVERAGE RATE OF GROWTH PER YEAR
MA	MAGNOLIA ALEXANDER	MAGNOLIA X SOULANGIANA	36" BOX	1	20 TO 25 H/S	MODERATE
OM	MAJESTIC BEAUTY OLIVE MULTI TRUNK	OLEA EUROPA MONHER FRUITLESS	36" BOX	3	25 TO 30 H/S	SLOW TO MODERATE
BC	BRUSH CHERRY COLUMN FORM	EUGENIA MYRTIFOLIA MONTEREY BAY	24" BOX	8	15-20 H 8-10 S	MODERATE
ST	STRAWBERRY ARBUTUS	ARBUTUS X MARINA - STANDARD FORM	24" BOX	5	20 TO 30 H/S	MODERATE
CB	CORAL BARK MAPLE	ACER PALMATUM SANGO KAKU	24" BOX	1	15 TO 25 H/S	MODERATE
SB	DWARF STRAWBERRY TREE	ARBUTUS UNEDO COMPACTA MULTI TRUNK	15 GAL	4	6-8 H 5-6 S	MODERATE
OC	KEEPING ORNAMENTAL CHERRY	PRUNUS X SNOFOZAM SNOW FOUNTAINS	15 GAL	1	12-15 H 10-12 S	SLOW
LG	LOQUAT GOLD NUGGET	ERIOBOTRYA JAPONICA	15 GAL	1	10 TO 25 H/S	FAST

EXISTING TREES TO REMAIN

#	COMMON NAME	BOTANICAL NAME	DBH	QTY
1	CHINESE PISTACHE	PISTAGIA CHINENSIS	8.2"	1
2	GRAPE MYRTLE	LAGERSTROEMIA INDICA	9"	1
3	GRAPE MYRTLE	LAGERSTROEMIA INDICA	8"	1
4	GRAPE MYRTLE	LAGERSTROEMIA INDICA	7"	1
5	GRAPE MYRTLE	LAGERSTROEMIA INDICA	6.5"	1
6	WHITE BIRCH TREE	BETULA PENDULA	10"	1
7	REDWOOD TREE	SEQUOIA REDWOOD	38"	1

Scale: 1/8" = 1' - 0"

Sheet: Screening Plan

Date: 5-5-2023

Drawn by: CC

Revisions: 7\_26\_23

SHEET

**L1**



California Horticulture

LANDSCAPE CONSTRUCTION INCORPORATED

753 Camden Avenue Campbell, CA 95008

Phone 408-364-3199 FAX 408-364-3199

Contractors License B & C-97 & C-53 641851

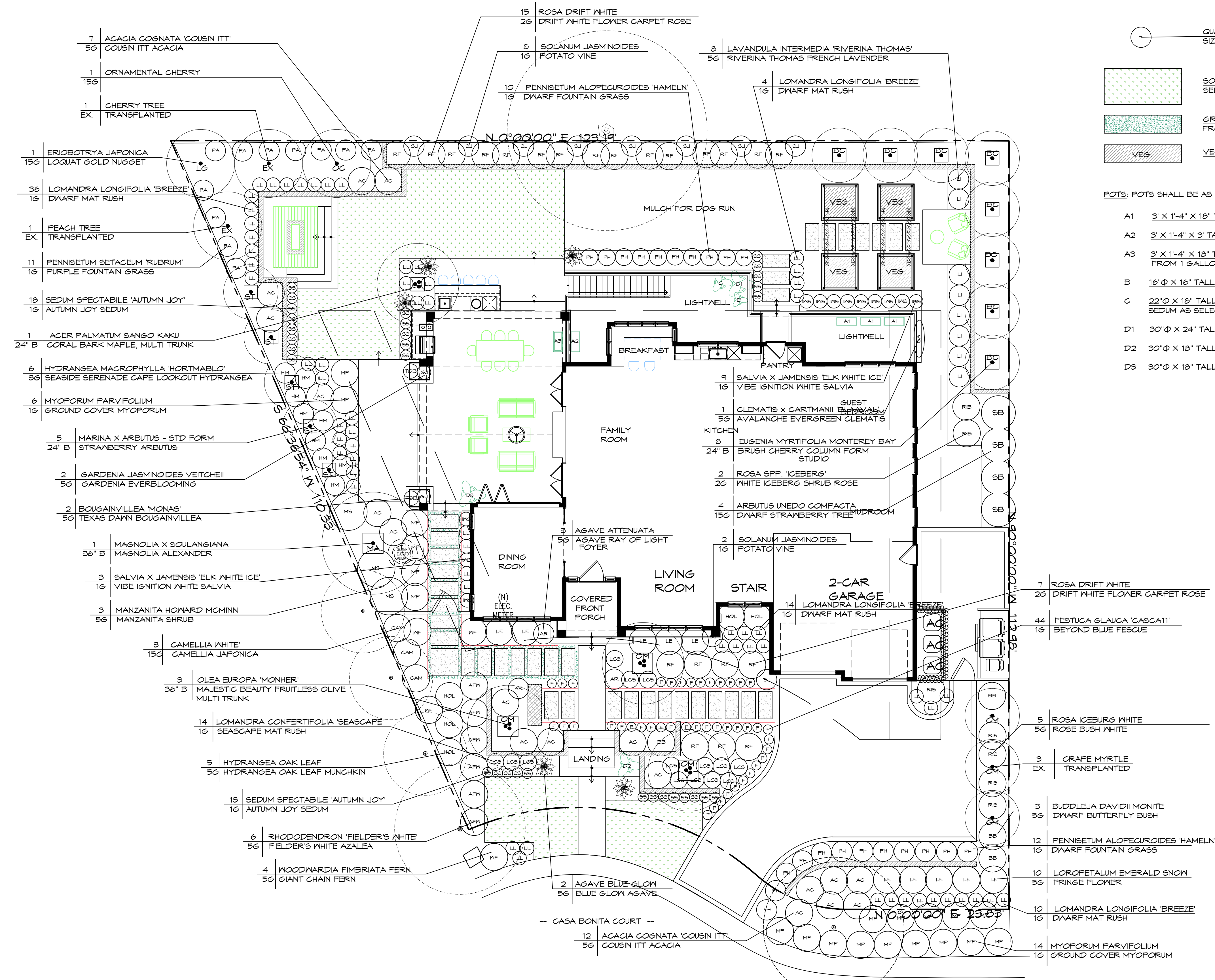
Chettiar Residence  
746 Casa Bonita Court, Los Altos, CA 94024

PLANTING LEGEND

QUANTITY	LATIN NAME
SIZE	COMMON NAME
	SOD LAWN: VARIETY TO CONTAIN NO LESS THAN 90% DWARF FESCUE. TYPE AS SELECTED BY OWNER, FROM DELTA SOD LAWN
	GROUND COVER: INSTALL BETWEEN STEP PADS. THYMUS SERPHYLLUM 'ELFIN' @ 8" O.C. FROM FLATS
	VEG. VEGETABLE GARDEN: VEGETABLE VARIETIES AS SELECTED BY OWNER FROM 4" POTS

POTS: POTS SHALL BE AS SELECTED BY OWNER. GENERAL SIZES NOTED.

- A1 3' X 1'-4" X 18" TALL: PLANT W/ (2) CAST IRON ASPIDISTRA ELATIOR 1 GALLON
- A2 3' X 1'-4" X 3' TALL: PLANT WITH (1) SOLANUM JASMINOIDES FROM 5 GALLON CAN
- A3 3' X 1'-4" X 18" TALL: PLANT WITH (2) LIRIOPE MUSCARI AND (1) CLIVIA MINIATA FROM 1 GALLON CANS
- B 16"Ø X 16" TALL: PLANT WITH SUCCULENTS AS SELECTED BY OWNER
- C 22"Ø X 18" TALL: PLANT WITH (1) ALOE NOBILIS FROM 1 GALLON CAN AND TRAILING SEDUM AS SELECTED BY OWNER
- D1 30"Ø X 24" TALL: PLANT WITH (1) ALOE VERA FROM 5 GALLON CAN
- D2 30"Ø X 18" TALL: PLANT W/ (1) ALOE VERA FROM 5 GALLON CAN
- D3 30"Ø X 18" TALL: PLANT W/ SUCCULENTS AS SELECTED BY OWNER



Scale: 1/8" = 1' - 0"

Sheet: Planting Plan

Date: 5-5-2023

Drawn by: CC/WB

Revisions: 7\_26\_23

SHEET

L2



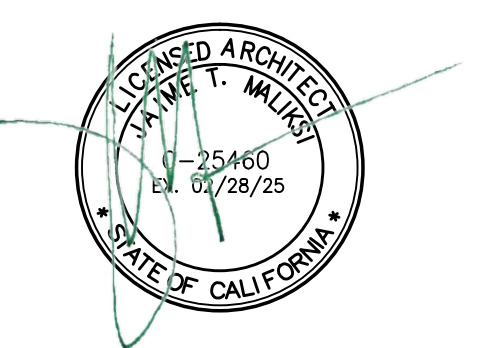


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J MALIKSI & ASSOC.  
ARCHITECTURE - INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-14-23	FOR DESIGN REVIEW

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(S) 2023 J.M. MALIKSI & ASSOCIATES

DRAWING TITLE

SITE DEMO & TREE PROTECTION PLAN

SCALE: 1/8" = 1'-0"  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-1.1

EXISTING TREE TO REMAIN	EXISTING TREE PROPOSED TO BE REMOVED	Tree Survey					Comments	
		Tree #	Species Common (Scientific)	Diameter (inches)	Condition (percent)	Height (feet)		Spread (feet)
		1	Chinese Pistache	8.2	65	20	18	Root crown covered, multi-stem near 6 feet, good vigor and fair form.
		2	Crape Myrtle	9.0	65	25	18	No tag, located on the neighboring property; root crown covered, multi-stem at 5 feet, good vigor and fair form.
		1	Crape Myrtle	8.0 (est.)	65	25	18	No tag, located on the neighboring property; root crown covered, multi-stem attachment at 6 feet, good vigor and fair form.
		4	Crape Myrtle	7.0 (est.)	65	20	15	No tag, located on the neighboring property; root crown covered, multi-stem attachment at 5 feet, good vigor, and fair form.
		5	Crape Myrtle	6.5 (est.)	60	18	15	No tag, located on the neighboring property; multi-stem attachment at 8 feet, overhangs neighbor's roof and fence.
		6	White Birch	10.0	55	35	21	No tag, located on the neighboring property, behind a 7-foot fence; fair vigor and form.
		7	Redwood	38.0 (est.)	75	45	24	No tag, located on rear neighboring property behind a 7-foot fence; codominant attachment with included bark at 15 feet, good vigor, and poor form.

TREE PROTECTION NOTES

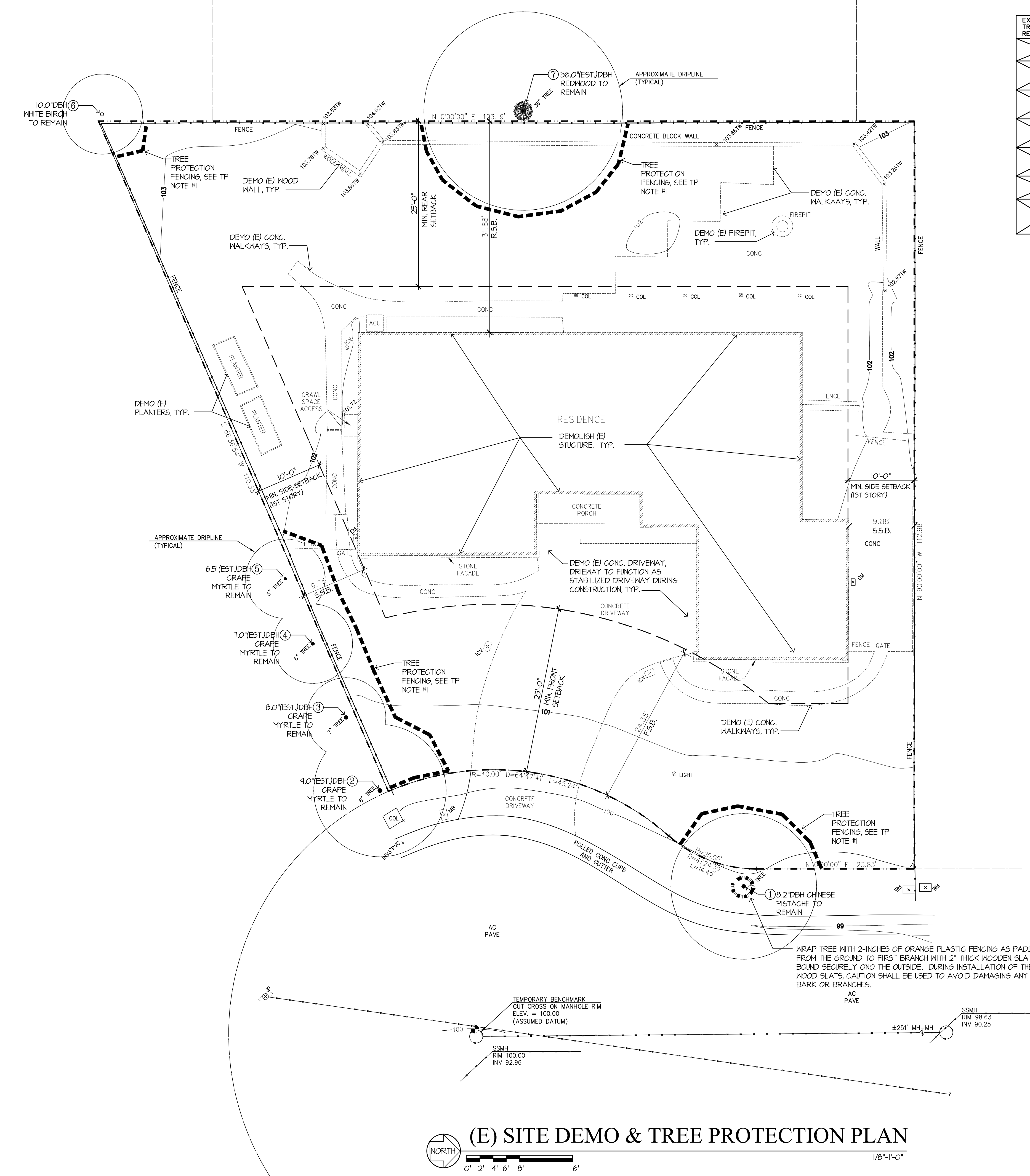
TREE PROTECTION SPECIFICATIONS

- Establish a perimeter around the protected trees that follow the trees' driplines as closely as possible. This perimeter should consist of 6-foot tall chain link fencing supported by 1 1/2- to 2-inch diameter metal pipes. These support pipes shall be no more than 10 feet apart. This enclosed area is the Tree Protection Zone (TPZ) and should be off-limits to workers, construction debris, and construction activities.
- Temporary movable barriers, such as chain link fencing panels that are supported by cement blocks, can be used in place of fixed fencing in certain situations. Permission to use such panels will need to be discussed with the project arborist prior to installation. Once the location of these panels is established, they should not be moved closer to the tree without the consent of the Project Arborist or City Arborist.
- To protect the health, structural integrity, and vigor of the protected trees and their roots.
  - a. Allow runoff or spillage of damaging materials into the area below any tree canopy.
  - b. Store materials, stockpile soil, or park or drive vehicles within the TPZ.
  - c. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
  - d. Allow fires under and adjacent to trees.
  - e. Discharge exhaust into the foliage.
  - f. Secure cable, chain, or rope to trees or shrubs.
  - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the trees without first obtaining authorization from the City Arborist.
  - h. Apply soil sterilants under pavement near existing trees.
- When work is being completed within the dripline of any protected tree it is important to minimize the disturbance to the roots of the tree. Therefore, any excavations within the dripline of any protected tree should be accomplished by hand digging or the use of compressed air tools.
- All roots less than 2 inches in diameter that are exposed during any excavation should be cut cleanly with hand pruners or loppers back to the wall of excavation nearest to the tree. Any roots found that are larger than 2 inches in diameter should be left uncut and intact; the site arborist shall be contacted immediately. The roots in this area should be left untouched until the site arborist can identify, inspect, document, and make a final decision as to the root's fate.
- Trenches should be filled as soon as possible to minimize the drying out of any exposed roots of the protected trees. If any trenches are to be left open for longer than 24 hours, then the wall of excavation that is closest to the protected trees shall be lined with 3 to 4 layers of burlap. These burlap layers shall be kept moist throughout the duration of the trench being open.
- When possible, any pipes or utility lines shall be kept outside the dripline of the protected trees or at least 10 times the trunk diameter of the protected trees. Tunneling or directional boring under the trees is an option but should take place at least three feet below the surface of the ground.
- Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
- An ISA Certified Arborist or ASCA Registered Consulting Arborist may be required by the city to be retained as the Project Arborist to monitor the tree protection specifications. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist.
- Violation of any of the above provisions may result in sanctions or other disciplinary action.

MONTHLY INSPECTIONS

Monthly inspections of the site, if required, should take place at intervals of approximately once every four weeks. At the time of each inspection, the site arborist shall complete a write-up that:

- Describes the effectiveness of the protective measures.
- Identifies any problems with the tree protection zones.
- Provides any recommendations to promote general tree health.



(E) SITE DEMO & TREE PROTECTION PLAN

WRAP TREE WITH 2-INCHES OF ORANGE PLASTIC FENCING AS PADDING FROM THE GROUND TO FIRST BRANCH WITH 2" THICK WOODEN SLATS BOUND SECURELY ON THE OUTSIDE. DURING INSTALLATION OF THE WOOD SLATS, CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.

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**J MALIKSI & ASSOC.**  
ARCHITECTURE - INTERIOR DESIGN  
675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-14-23	FOR DESIGN REVIEW
6TM	12-22-22	
6TM	11-23-22	

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(S) 2023 J.M. MALIKSI & ASSOCIATES

DRAWING TITLE

SITE PLAN

SCALE: 1/8" = 1'-0"  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-1.2

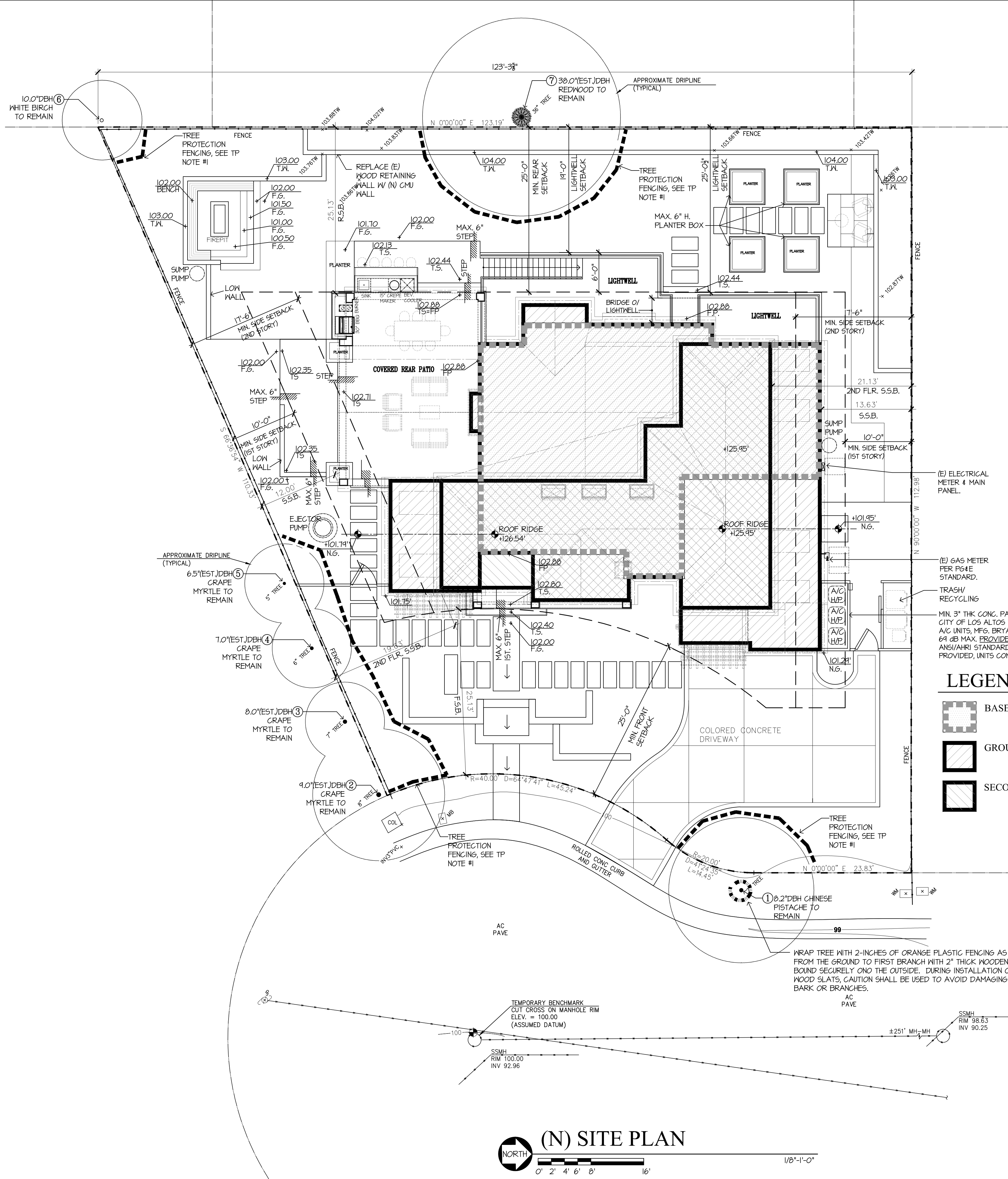
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TREE PROTECTION NOTES

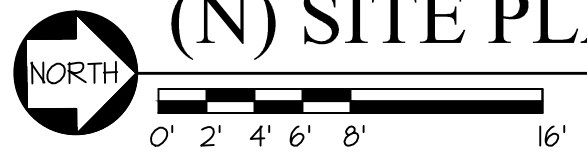
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  - To protect the health, structural integrity, and vigor of the protected trees and their roots.
    - DO NOT:
      - Allow runoff or spillage of damaging materials into the area below any tree canopy.
      - Store materials, stockpile soil, or park or drive vehicles within the TPZ.
      - Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
      - Allow fires under and adjacent to trees.
      - Discharge exhaust into the foliage.
      - Secure cable, chain, or rope to trees or shrubs.
      - Trench, dig, or otherwise excavate within the dripline or TPZ of the trees without first obtaining authorization from the City Arborist.
      - Apply soil sterilants under pavement near existing trees.
  - When work is being completed within the dripline of any protected tree it is important to minimize the disturbance to the roots of the tree. Therefore, any excavations within the dripline of any protected tree should be accomplished by hand digging or the use of compressed air tools.
    - All roots less than 2 inches in diameter that are exposed during any excavation should be cut cleanly with hand pruners or loppers back to the wall of excavation nearest to the tree. Any roots found that are larger than 2 inches in diameter should be left uncut and intact; the site arborist shall be contacted immediately. The roots in this area should be left untouched until the site arborist can identify, inspect, document, and make a final decision as to the roots' fate.
    - Trenches should be filled as soon as possible to minimize the drying out of any exposed roots of the protected trees. If any trenches are to be left open for longer than 24 hours, then the wall of excavation that is closest to the protected trees shall be lined with 3 to 4 layers of burlap. These burlap layers shall be kept moist throughout the duration of the trench being open.
  - When possible, any pipes or utility lines shall be kept outside the dripline of the protected trees or at least 10 times the trunk diameter of the protected trees. Turning or directional boring under the trees is an option but should take place at least three feet below the surface of the ground.
  - Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
  - An ISA Certified Arborist or ASCA Registered Consulting Arborist may be required by the city to be retained as the Project Arborist to monitor the tree protection specifications. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist.
  - Violation of any of the above provisions may result in sanctions or other disciplinary action.
- MONTHLY INSPECTIONS**
- Monthly inspections of the site, if required, should take place at intervals of approximately once every four weeks. At the time of each inspection, the site arborist shall complete a write-up that:
- Describes the effectiveness of the protective measures.
  - Identifies any problems with the tree protection zones.
  - Provides any recommendations to promote general tree health.

LEGEND

- BASEMENT
- GROUND FLOOR
- SECOND FLOOR



(N) SITE PLAN



Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

PROJECT TITLE & LOCATION

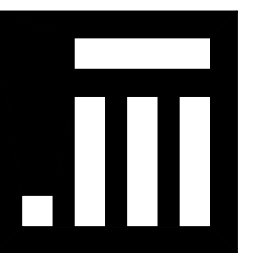
NEW RESIDENCE FOR

SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

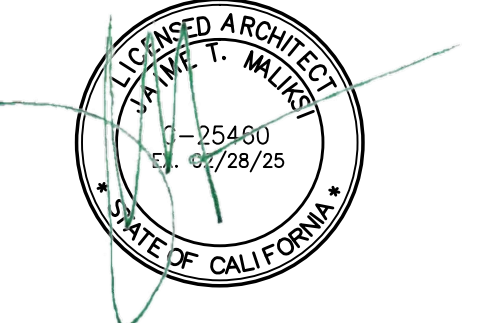
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6TM	5-14-23	FOR DESIGN REVIEW
6TM	1-14-23	

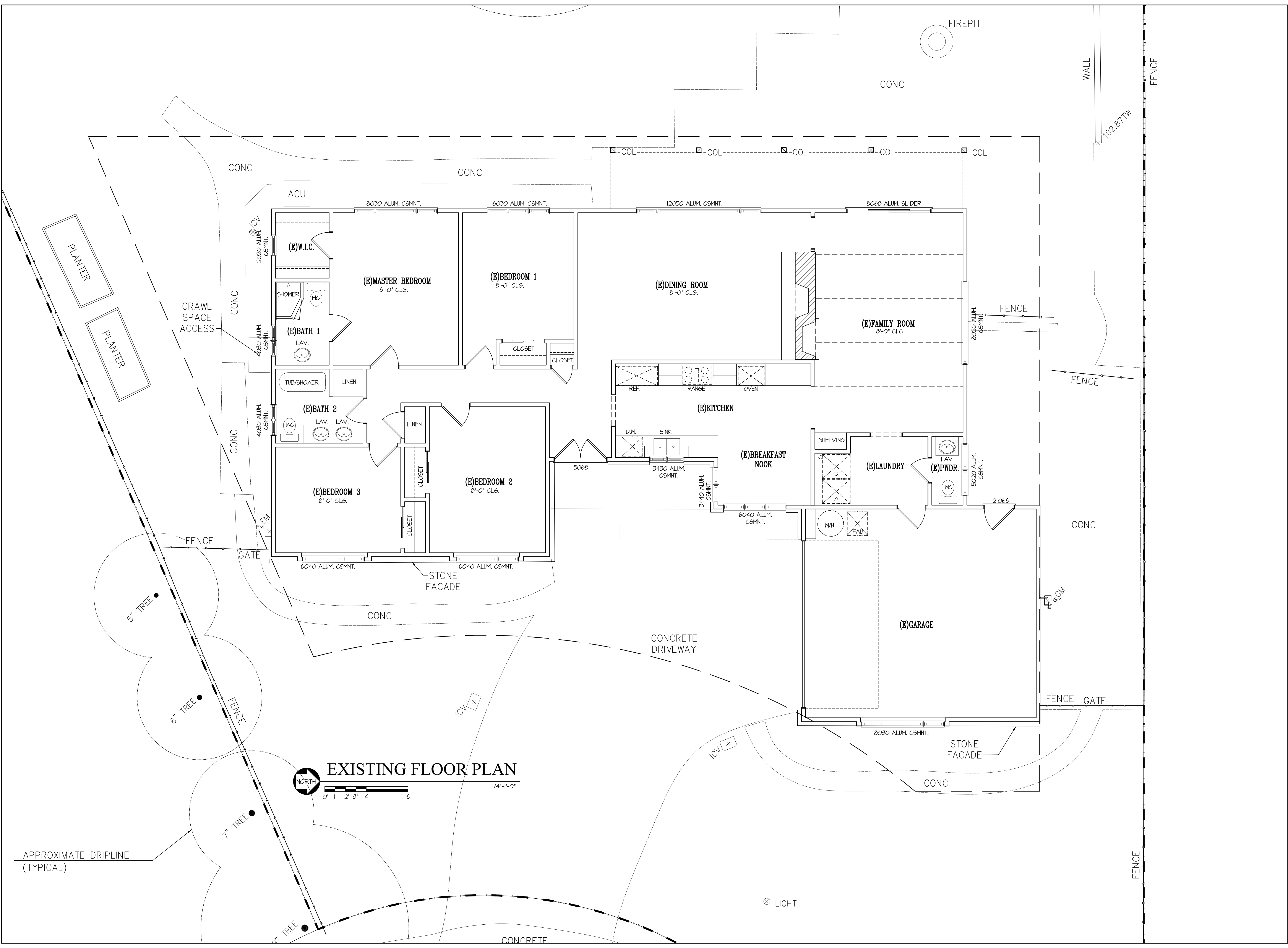
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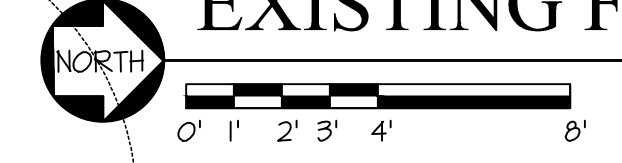
EXISTING FLOOR PLAN

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-1.3



EXISTING FLOOR PLAN



1/4"=1'-0"

APPROXIMATE DRIPLINE (TYPICAL)

⊗ LIGHT

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

SUKU  
& NAMRITA  
CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

REVISION

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6TM	1-14-23	

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DRAWING TITLE

EXISTING ROOF  
PLAN

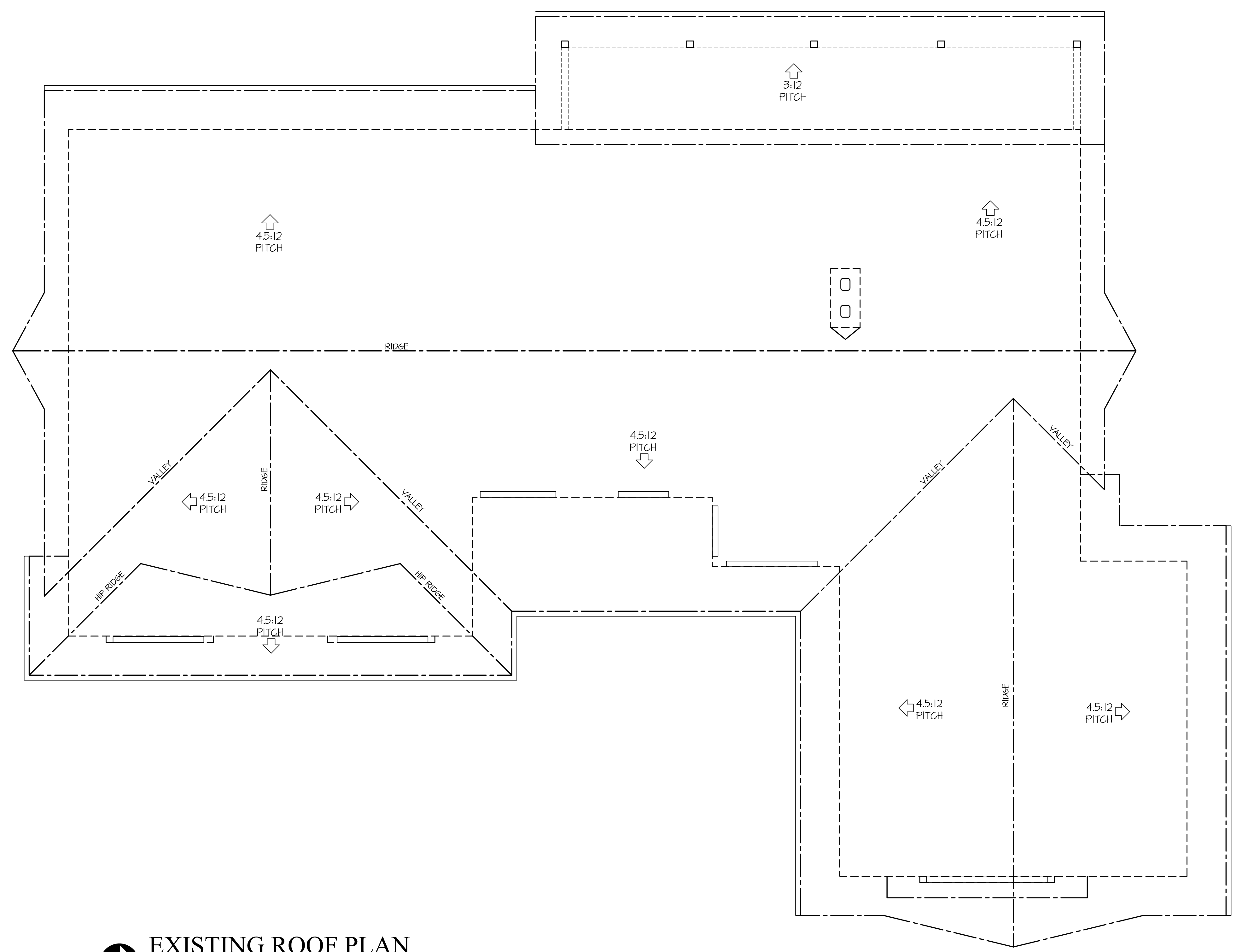
SCALE: \_\_\_\_\_ N.T.S.

PROJECT NAME: CHETTIAR

CADD FILE NO. \_\_\_\_\_

DRAWING NO. \_\_\_\_\_

A-1.4



**EXISTING ROOF PLAN**

1/4"=1'-0"

0' 1' 2' 3' 4' 8'

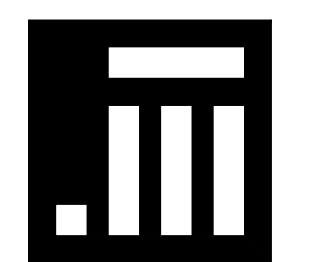
NORTH

# NEW RESIDENCE FOR SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

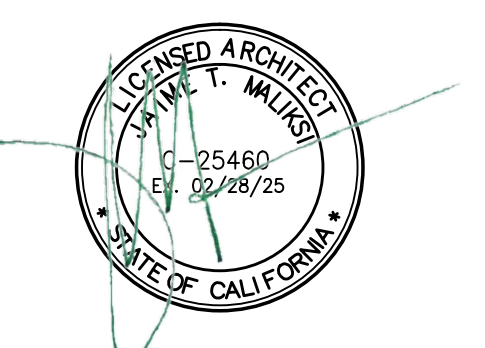
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6TM	1-14-23	

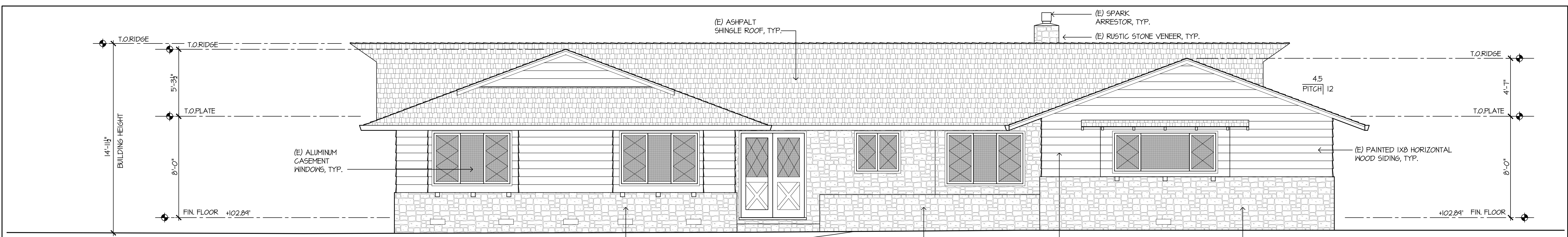
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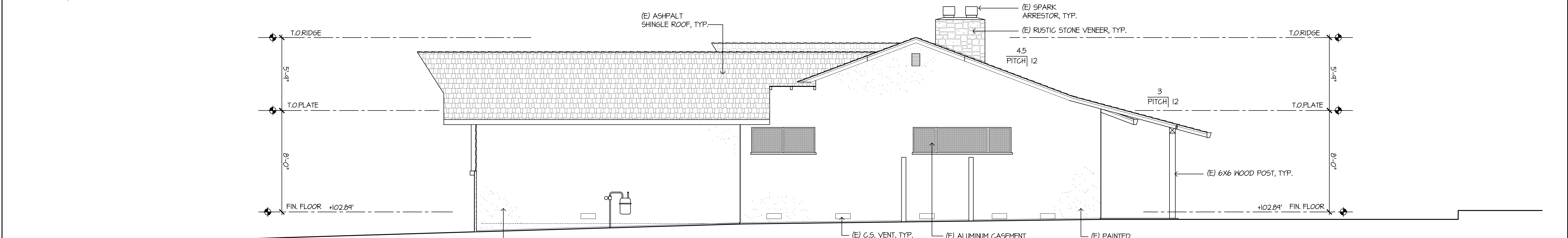
## EXISTING FRONT, RIGHT SIDE, REAR, & LEFT SIDE ELEVATIONS

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

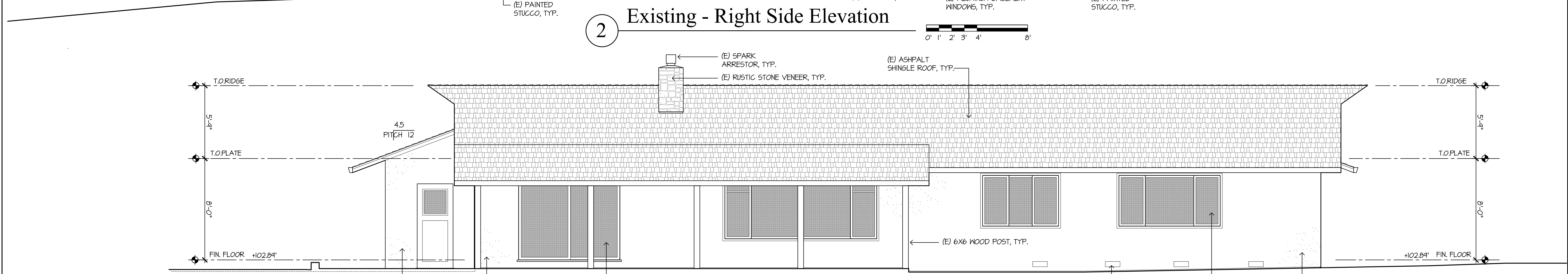
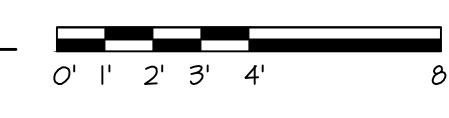
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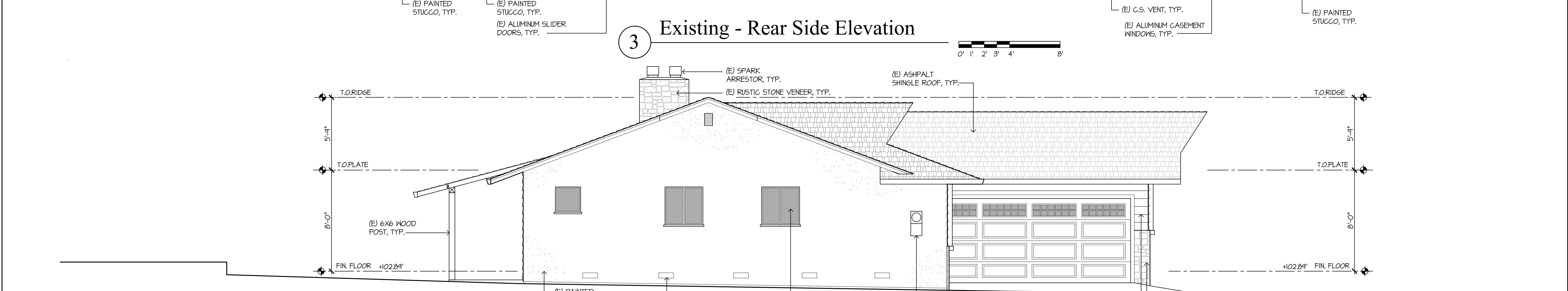
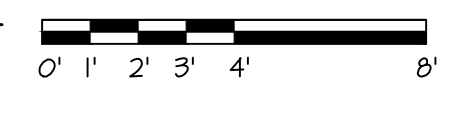
### 1 Existing - Front Elevation



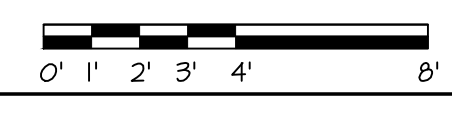
### 2 Existing - Right Side Elevation



### 3 Existing - Rear Side Elevation



### 4 Existing - Left Side Elevation



# AREA CALCULATIONS

## (FAR) FLOOR AREA RATIO CALCULATIONS

SECTION	AREA
<b>BASEMENT (DOES NOT COUNT TOWARDS FAR)</b>	
1	6'-7" X 32'-2" 211.8 S.F.
2	15'-6" X 35'-1 1/2" 544.4 S.F.
3	13'-8" X 23'-9" 324.5 S.F.
4	16'-3 1/2" X 20'-9 1/2" 338.7 S.F.
5	9'-2 1/2" X 15'-0 1/2" 138.5 S.F.
<b>TOTAL BASEMENT FLOOR AREA :</b>	<b>1557.9 S.F.</b>

## (FAR) FLOOR AREA RATIO CALCULATIONS

SECTION	AREA
<b>GROUND FLOOR</b>	
6	10'-2" X 5'-11" 60.1 S.F.
7	16'-9" X 20'-8 1/2" 346.9 S.F.
8	1'-5" X 6'-9" 9.6 S.F.
9	13'-8 1/2" X 23'-8" 324.4 S.F.
10	5'-3 1/2" X 27'-8 1/2" 146.6 S.F.
11	6'-11 1/2" X 24'-9" 172.2 S.F.
12	9'-4" X 25'-11" 242.0 S.F.
13	14'-1" X 17'-3" 242.9 S.F.
14	7'-6" X 11'-5 1/2" 85.9 S.F.
15	15'-1" X 18'-7 1/2" 280.9 S.F.
16	7'-4 1/2" X 15'-1 1/2" 110.9 S.F.
17	10'-6" X 21'-1" 221.4 S.F.
18	9'-4" X 20'-11" 195.3 S.F.
19	1'-9" X 22'-1" 38.6 S.F.
20	7'-3 1/2" X 0'-6 1/2" 4.0 S.F.
<b>TOTAL GROUND FLOOR AREA</b>	<b>2481.7 S.F.</b>

<b>SECOND FLOOR</b>	
21	16'-9" X 13'-10 1/2" 232.4 S.F.
22	15'-1" X 18'-7 1/2" 280.9 S.F.
23	7'-4" X 15'-1 1/2" 110.9 S.F.
24	5'-4 1/2" X 8'-4" 44.8 S.F.
25	14'-0 1/2" X 40'-6" 570.4 S.F.
<b>TOTAL SECOND FLOOR AREA</b>	<b>1239.4 S.F.</b>

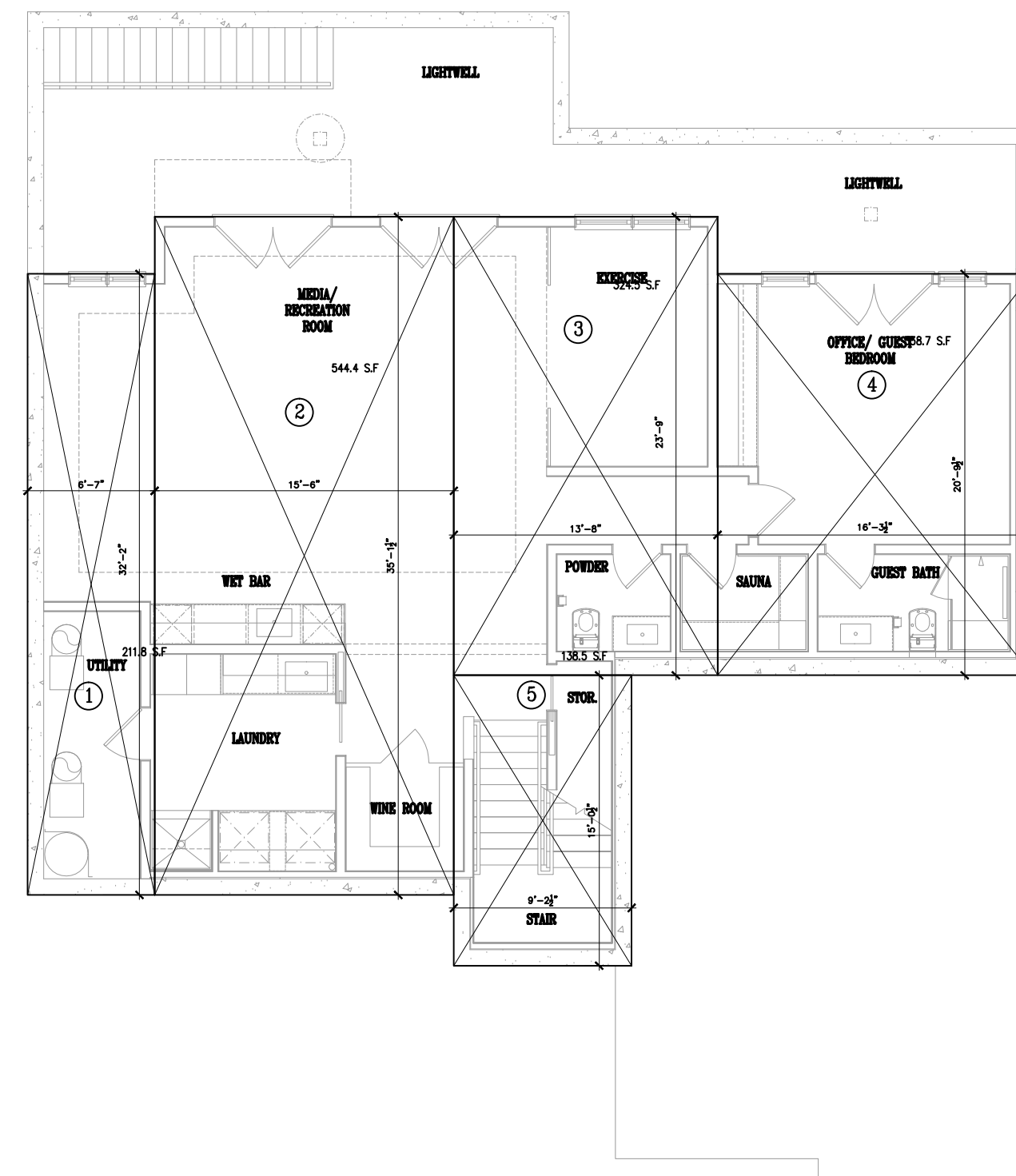
<b>TOTAL FLOOR AREA :</b>	<b>3721.1 S.F.</b>
<b>ALLOWABLE FLOOR AREA</b>	<b>3721.2 S.F.</b>
	<b>35.0%</b>

<b>LOT COVERAGE</b>	<b>35.0%</b>
<b>MAIN HOUSE FOOTPRINT</b>	<b>2481.7 S.F.</b>

<b>COVERED PORCH/ PATIOS</b> (DOES NOT COUNT TOWARDS FAR (FLOOR AREA RATIO))	
26	7'-6" X 5'-9 1/2" 43.4 S.F.
27	23'-10" X 1'-0" 23.8 S.F.
28	8'-9" X 1'-4 1/2" 12.0 S.F.
29	6'-5" X 7'-0" 45.2 S.F.
30	13'-6 1/2" X 8'-0" 108.3 S.F.
31	1'-0" X 7'-5 1/2" 7.5 S.F.
32	7'-5 1/2" X 22'-2" 165.4 S.F.
33	13'-6 1/2" X 6'-8 1/2" 90.8 S.F.
34	12'-1 1/2" X 6'-9" 81.8 S.F.
35	13'-6 1/2" X 6'-8 1/2" 90.8 S.F.
<b>TOTAL COVERED PORCH/ PATIOS</b>	<b>669.0 S.F.</b>

<b>TOTAL LOT COVERAGE</b>	<b>3150.7 S.F.</b>
	<b>29.6%</b>
<b>ALLOWABLE LOT COVERAGE</b>	<b>3189.6 S.F.</b>
	<b>30.0%</b>

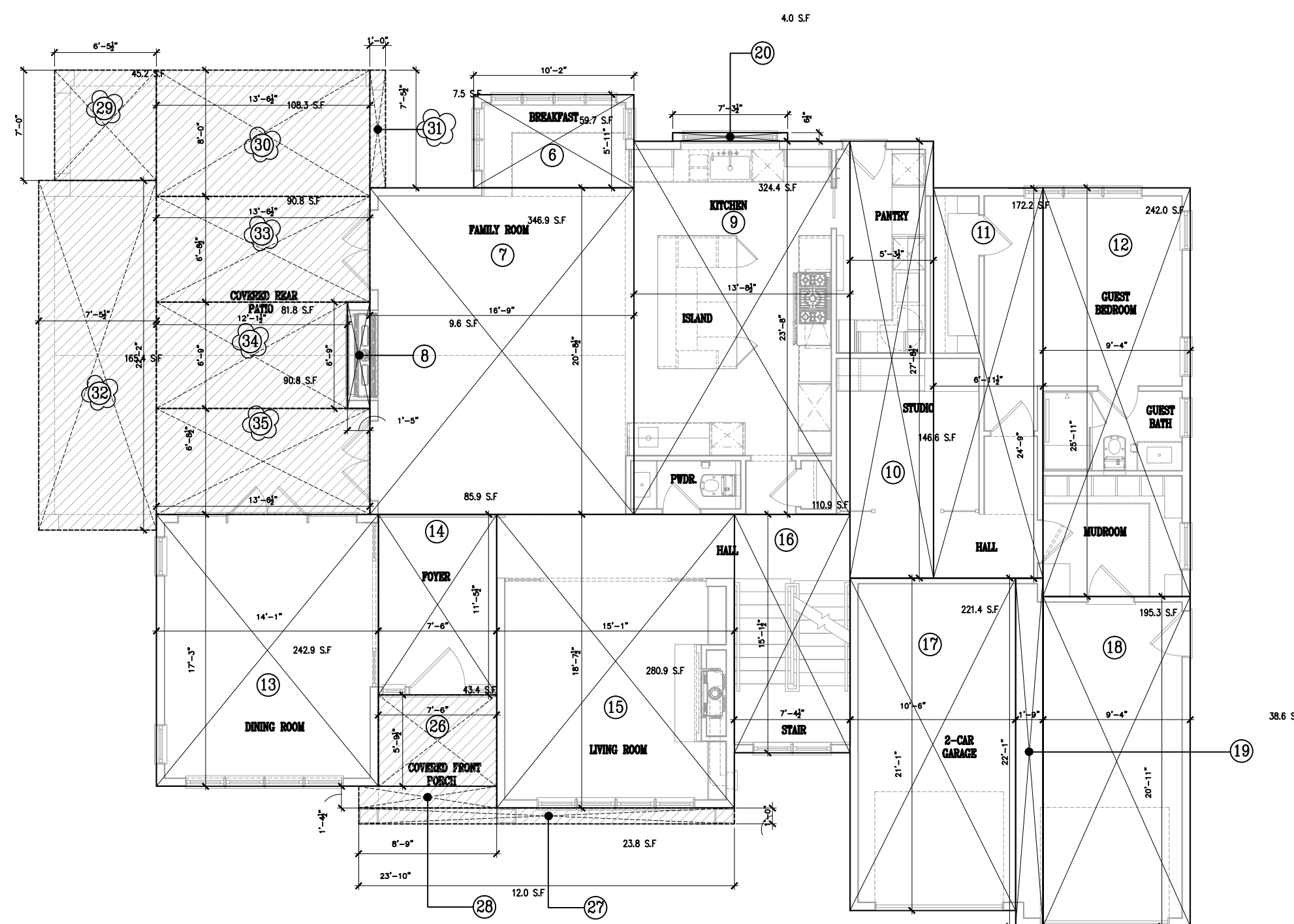
<b>SITE AREA</b>	<b>10632.0 S.F.</b>
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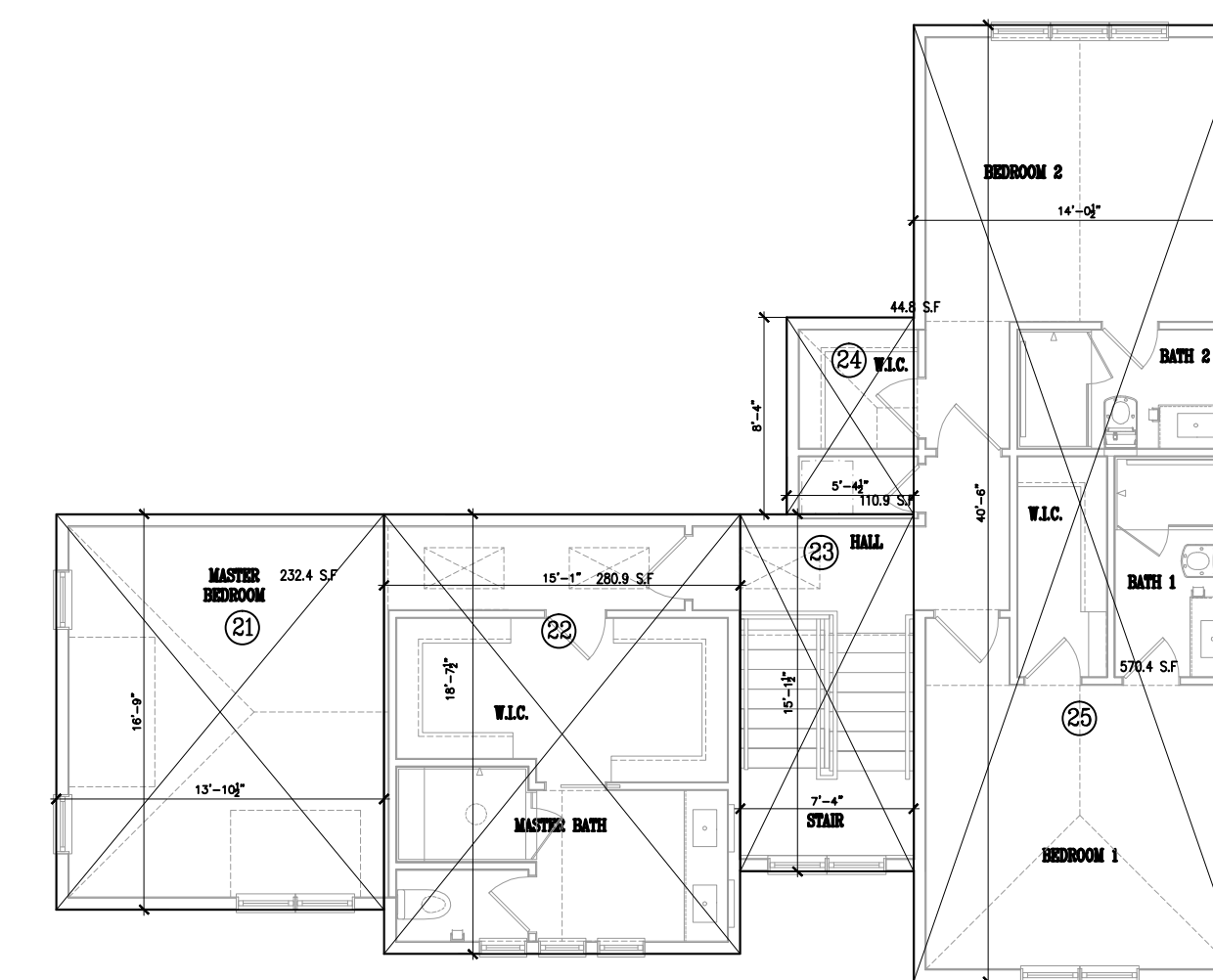
**BASEMENT AREA DIAGRAM**  
1/8"=1'-0"  
0' 2' 4' 6' 12' 16'

## LEGEND

COVERED PORCH & PATIOS (DOES NOT COUNT TOWARDS FLOOR AREA)



**GROUND FLOOR AREA DIAGRAM**  
1/8"=1'-0"  
0' 2' 4' 6' 12' 16'



**SECOND FLOOR AREA DIAGRAM**  
1/8"=1'-0"  
0' 2' 4' 6' 12' 16'

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

**SUKU  
& NAMRITA  
CHETTIAR**

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

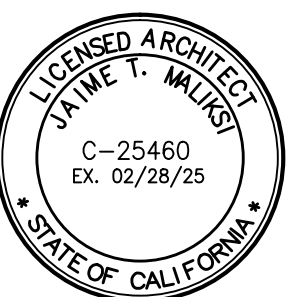
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**(N) FLOOR AREA  
DIAGRAM & AREA  
CALCULATIONS**

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

**A-1.6**

PROJECT TITLE & LOCATION

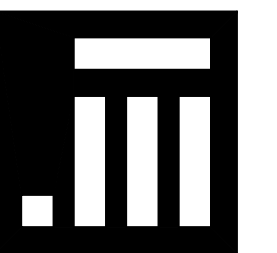
NEW RESIDENCE FOR

SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

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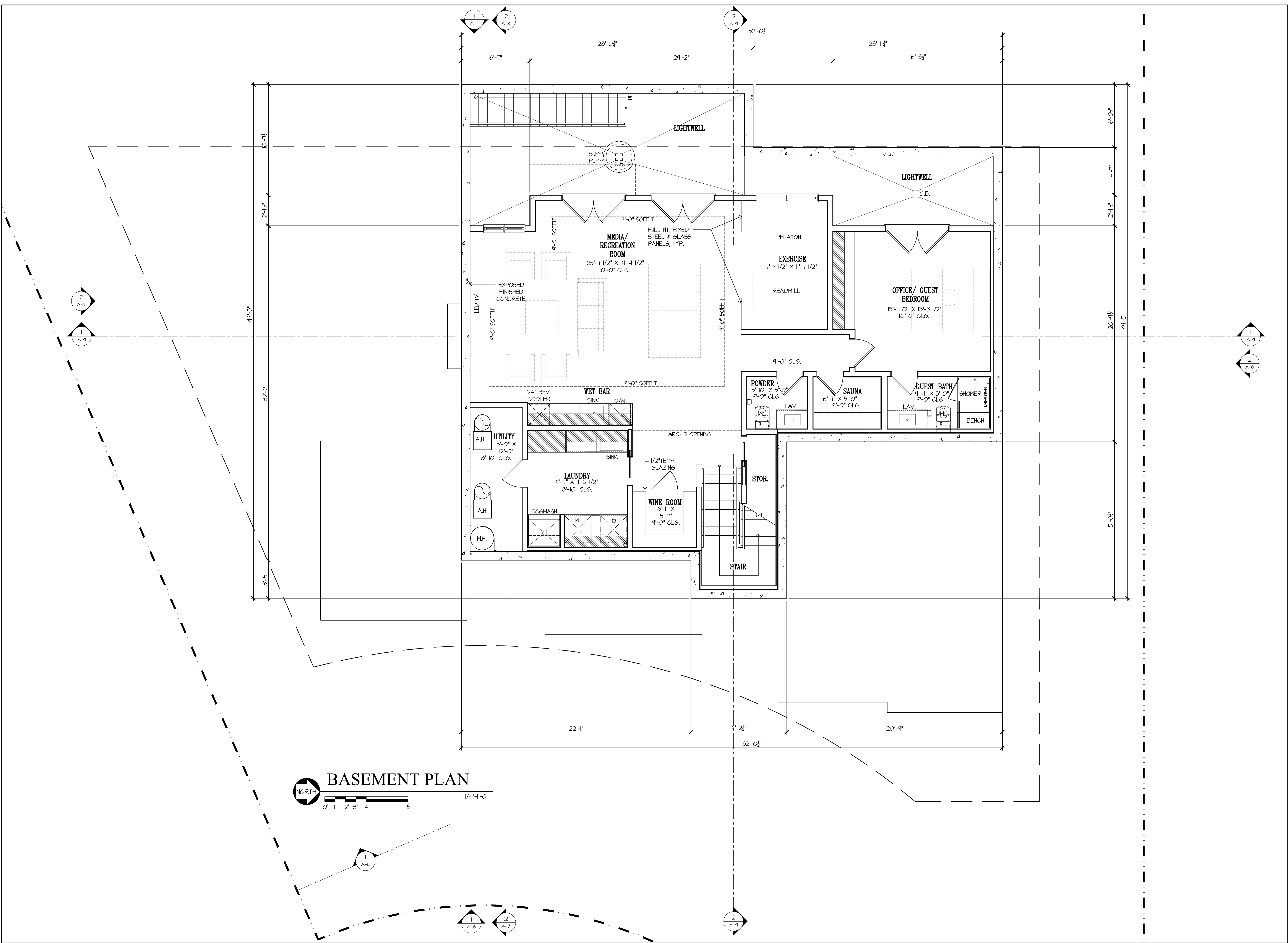
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DRAWING TITLE

BASEMENT PLAN

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-2



PROJECT TITLE & LOCATION

NEW RESIDENCE FOR  
SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

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6TM	3-8-23	
6TM	12-22-22	

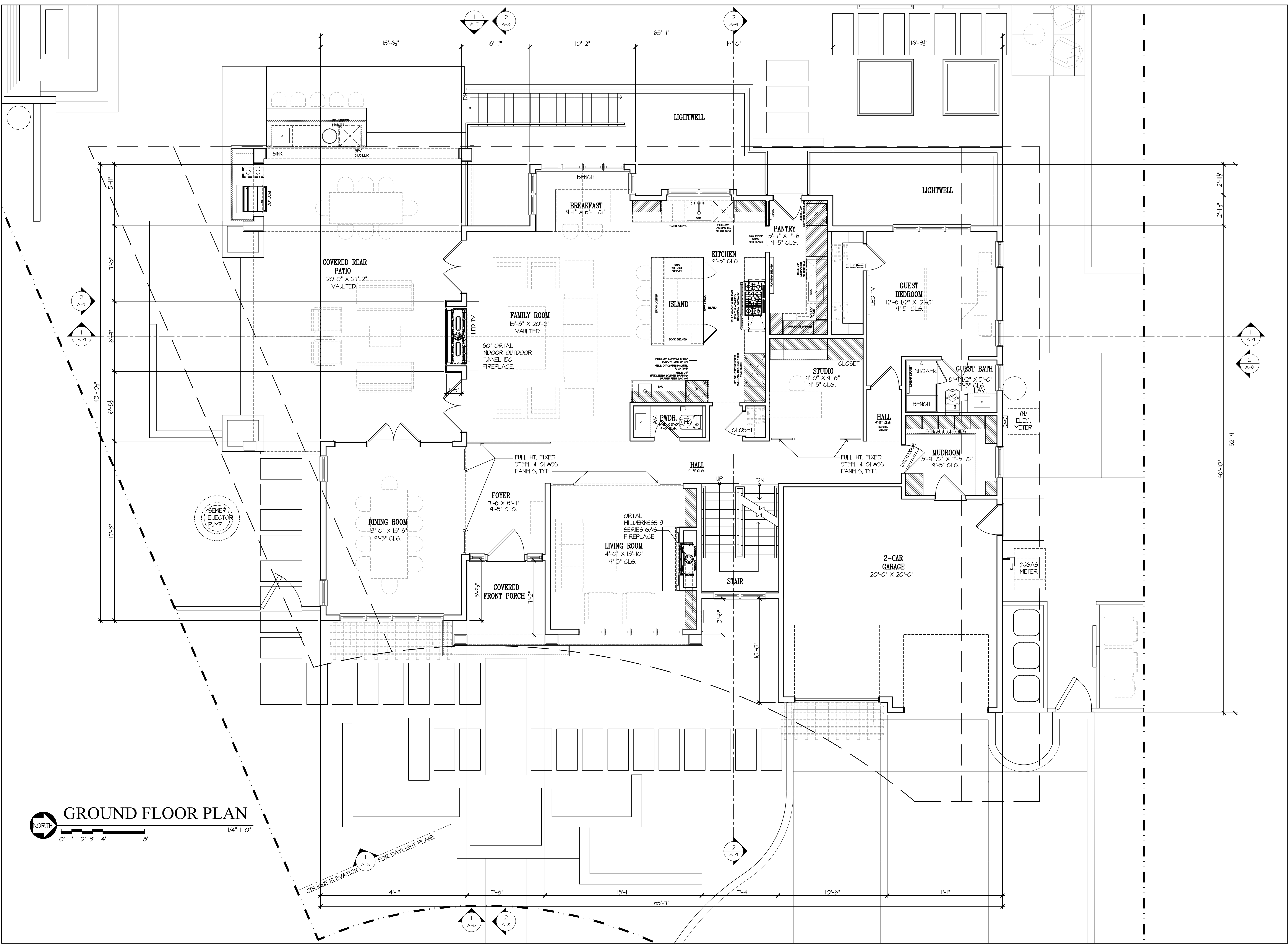
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GROUND FLOOR PLAN

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-3



GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"  
NORTH

OBLIQUE ELEVATION FOR DAYLIGHT PLANE



PROJECT TITLE & LOCATION

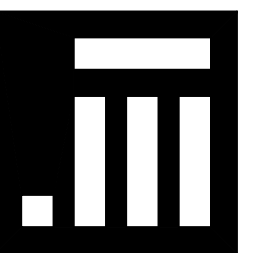
NEW RESIDENCE FOR

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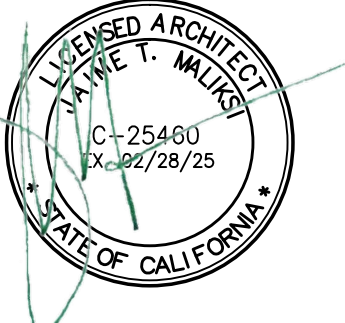
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6TM	3-8-23	
6TM	12-22-22	

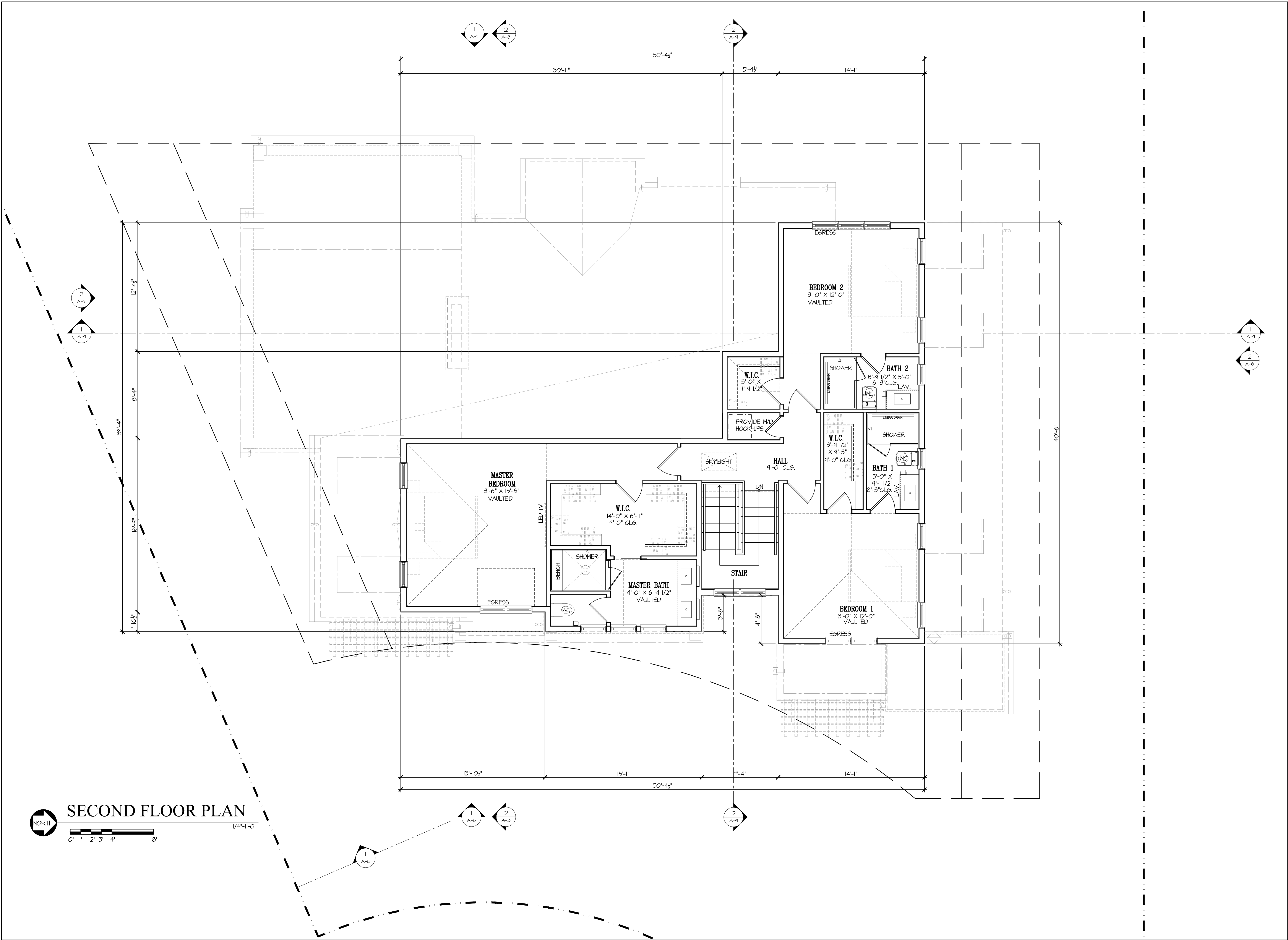
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SECOND FLOOR PLAN

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-4



**SECOND FLOOR PLAN**  
1/4"=1'-0"  
0' 1' 2' 3' 4' 8'

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

SUKU  
& NAMRITA  
CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

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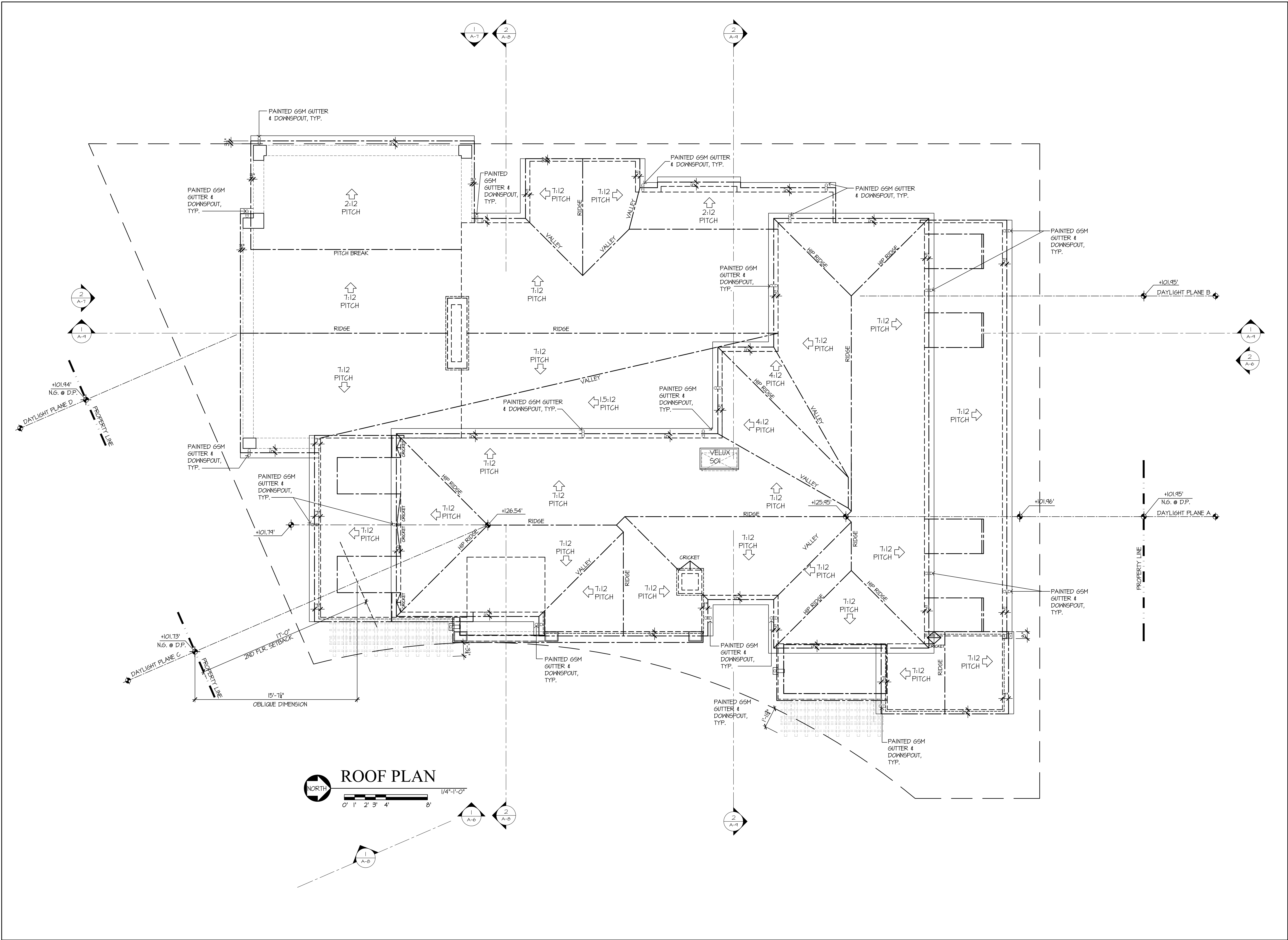
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ROOF PLAN

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

A-5



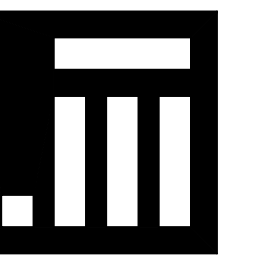
NEW RESIDENCE FOR

SUKU & NAMRITA CHETTIAR

746 CASA BONITA COURT  
LOS ALTOS, CA 94024

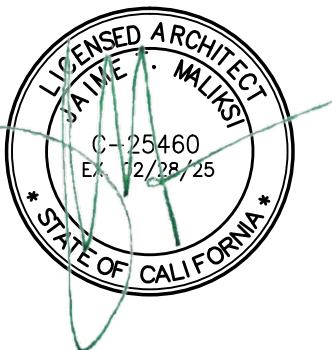
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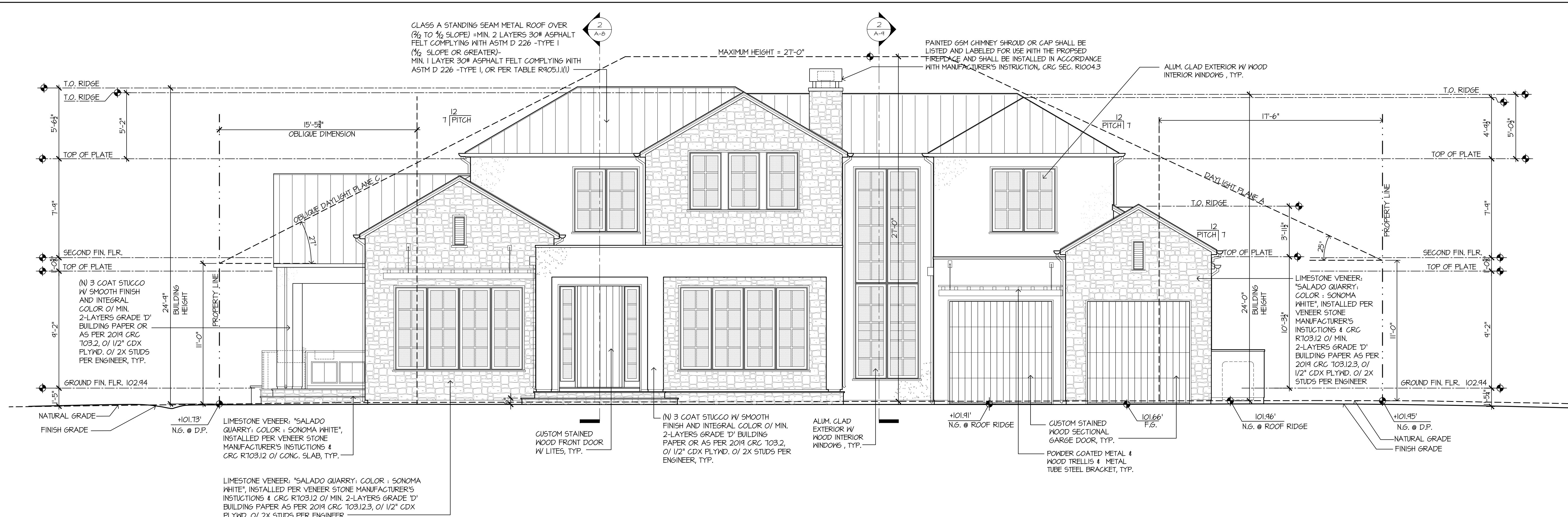
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6TM	3-8-23	

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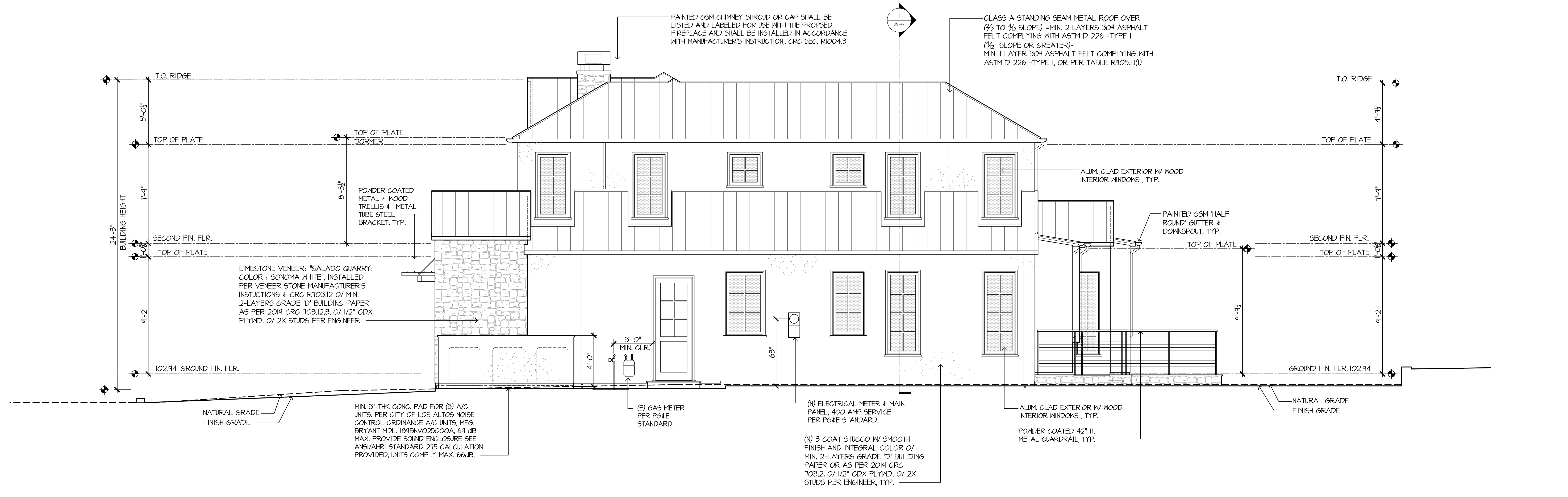
DRAWING TITLE

FRONT ELEVATION & RIGHT SIDE ELEVATION

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.



1 FRONT ELEVATION  
1/4"=1'-0"  
0' 1' 2' 3' 4' 8'

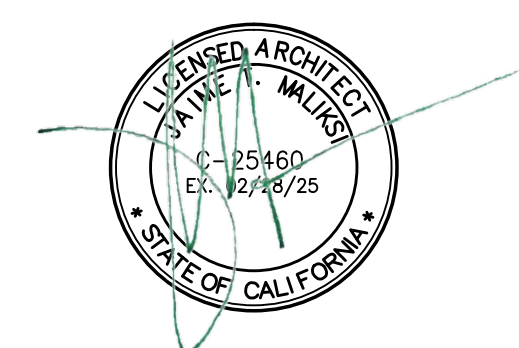


2 RIGHT SIDE ELEVATION  
1/4"=1'-0"  
0' 1' 2' 3' 4' 8'

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- △
- △
- △
- △



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NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-14-23	FOR DESIGN REVIEW
6TM	3-8-23	

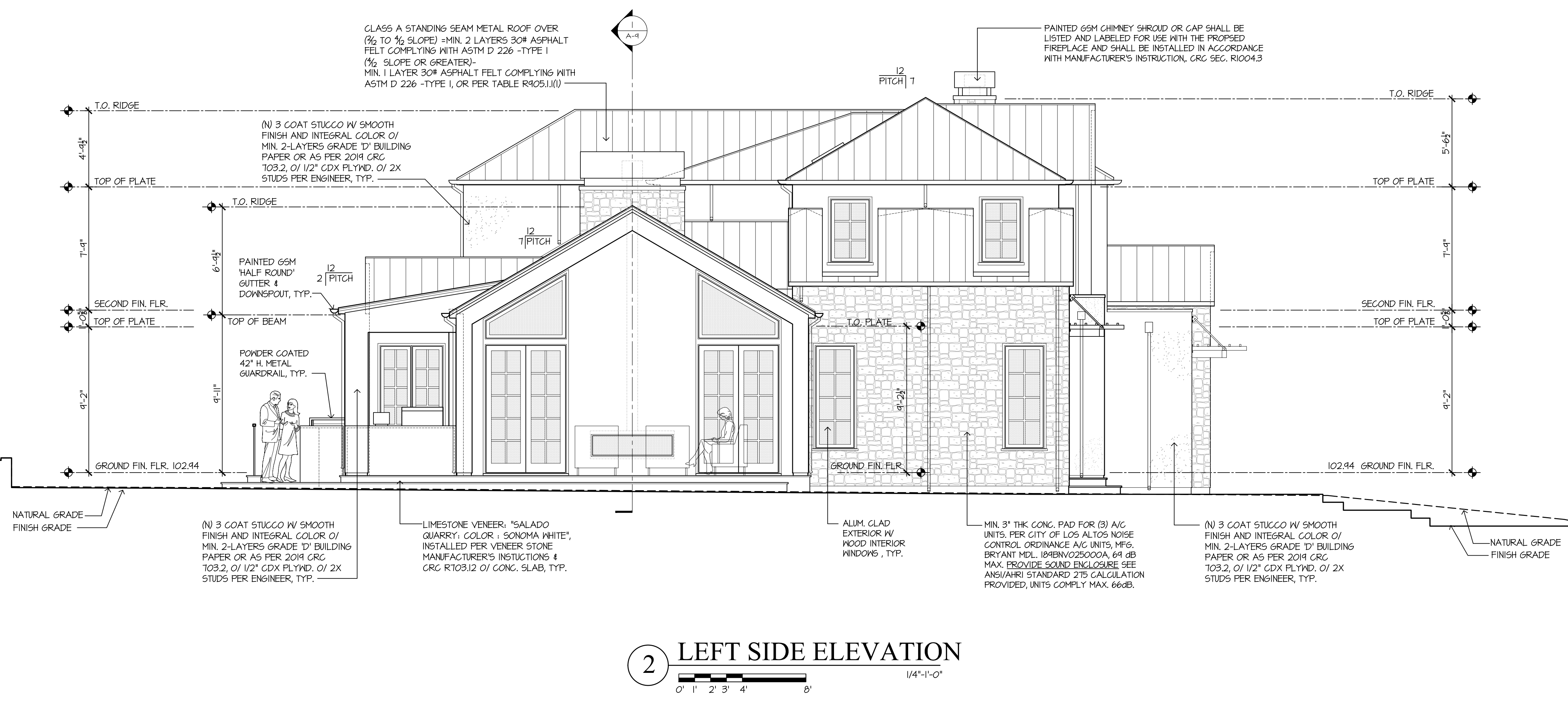
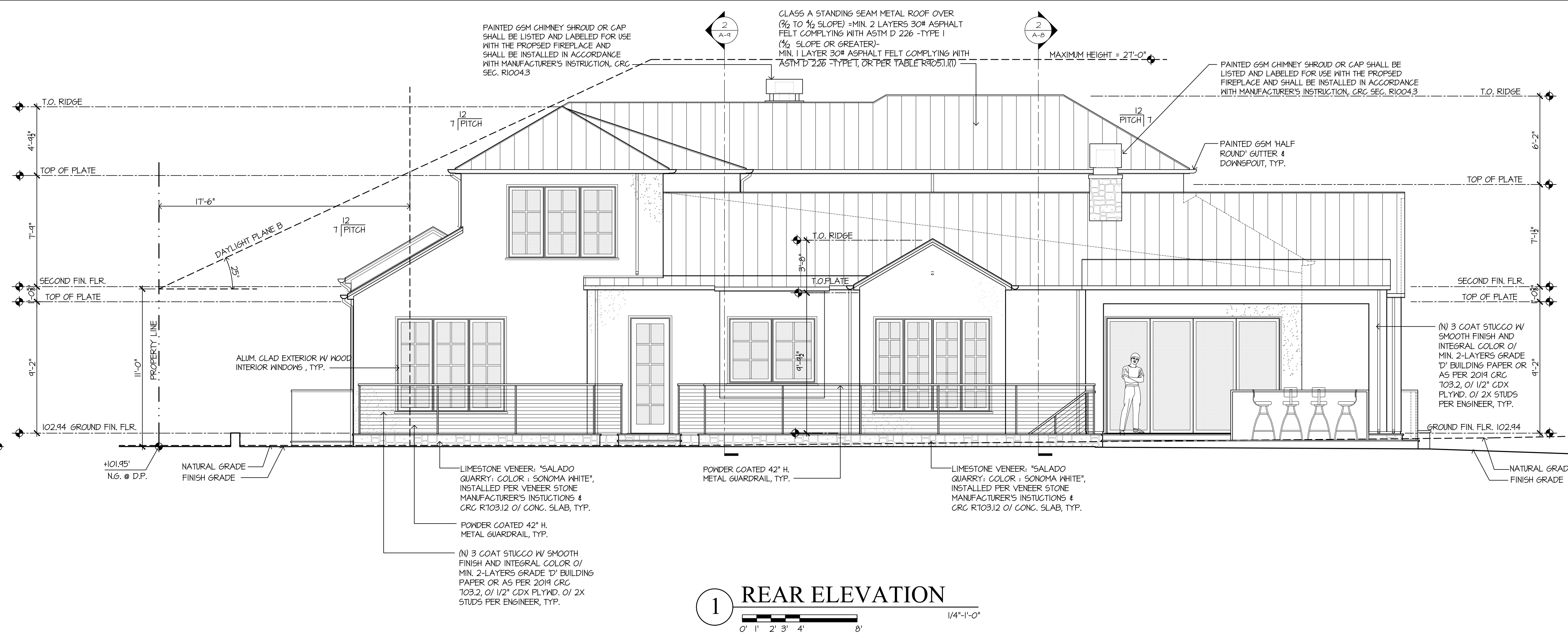
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DRAWING TITLE

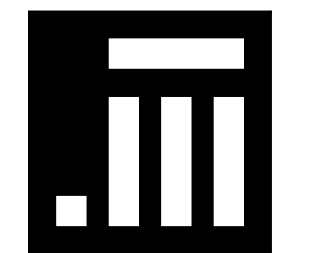
**REAR ELEVATION & LEFT SIDE ELEVATION**

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.

**A-7**

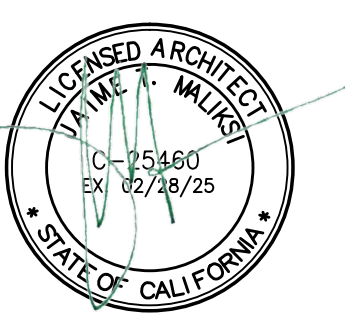


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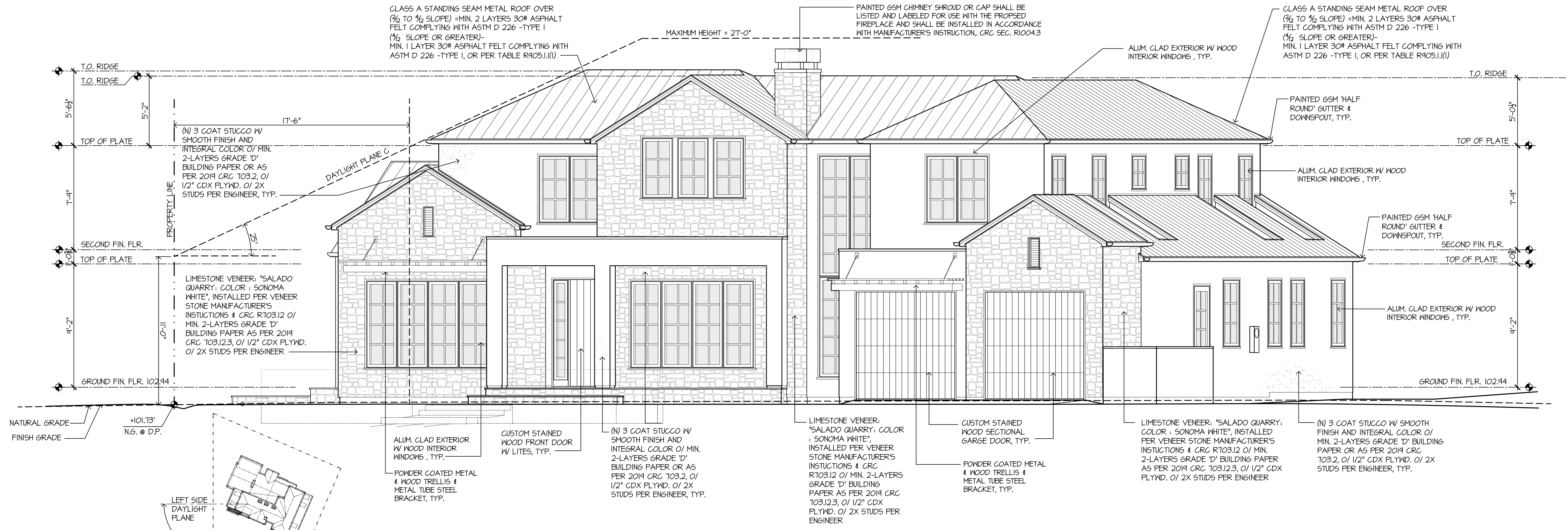
NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-19-23	FOR DESIGN REVIEW

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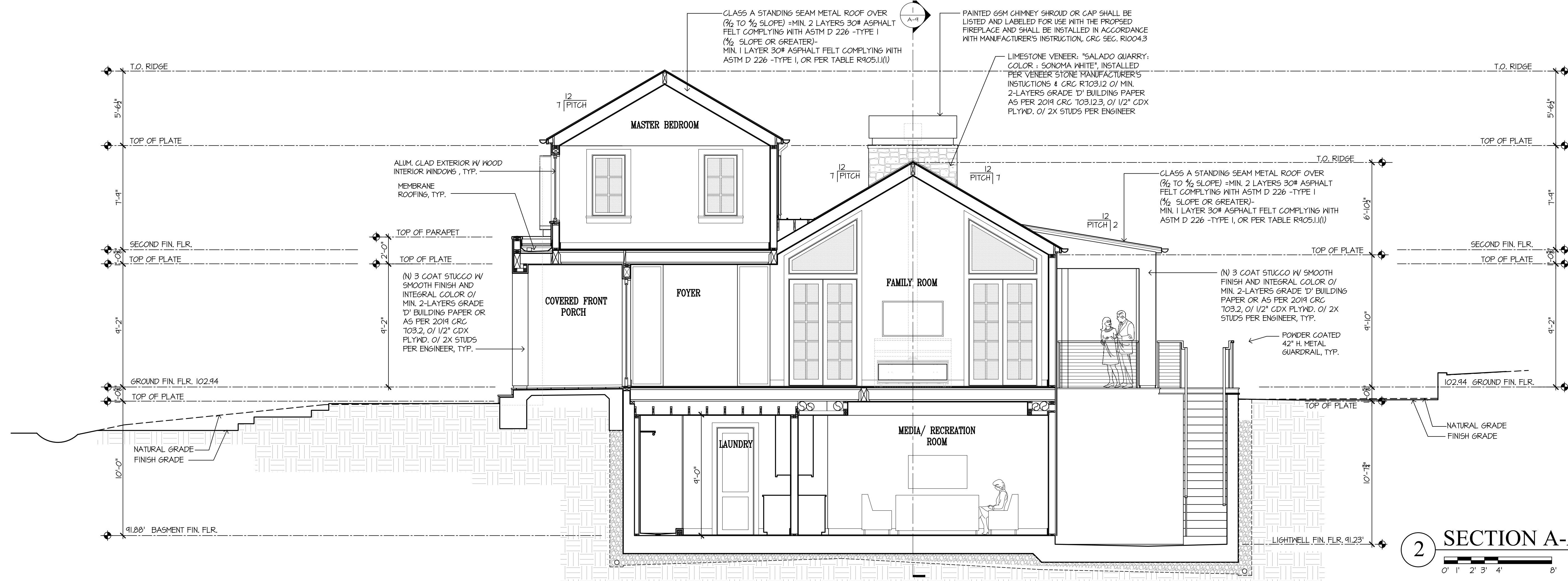
DRAWING TITLE

OBLIQUE FRONT & RIGHT SIDE ELEVATION FOR DAYLIGHT PLANE & SECTION A-A

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.



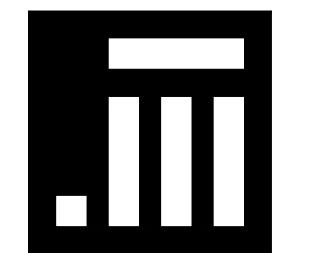
1 OBLIQUE ELEVATION FOR LEFT SIDE DAYLIGHT PLANE  
1/4"=1'-0"



2 SECTION A-A  
1/4"=1'-0"

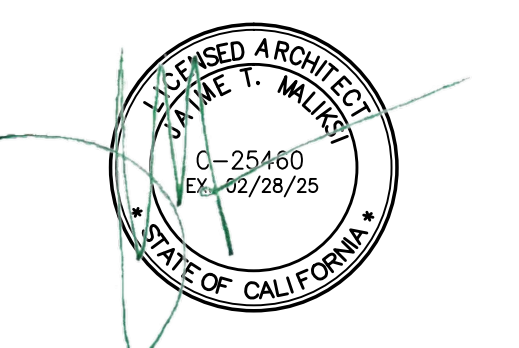
REVISION

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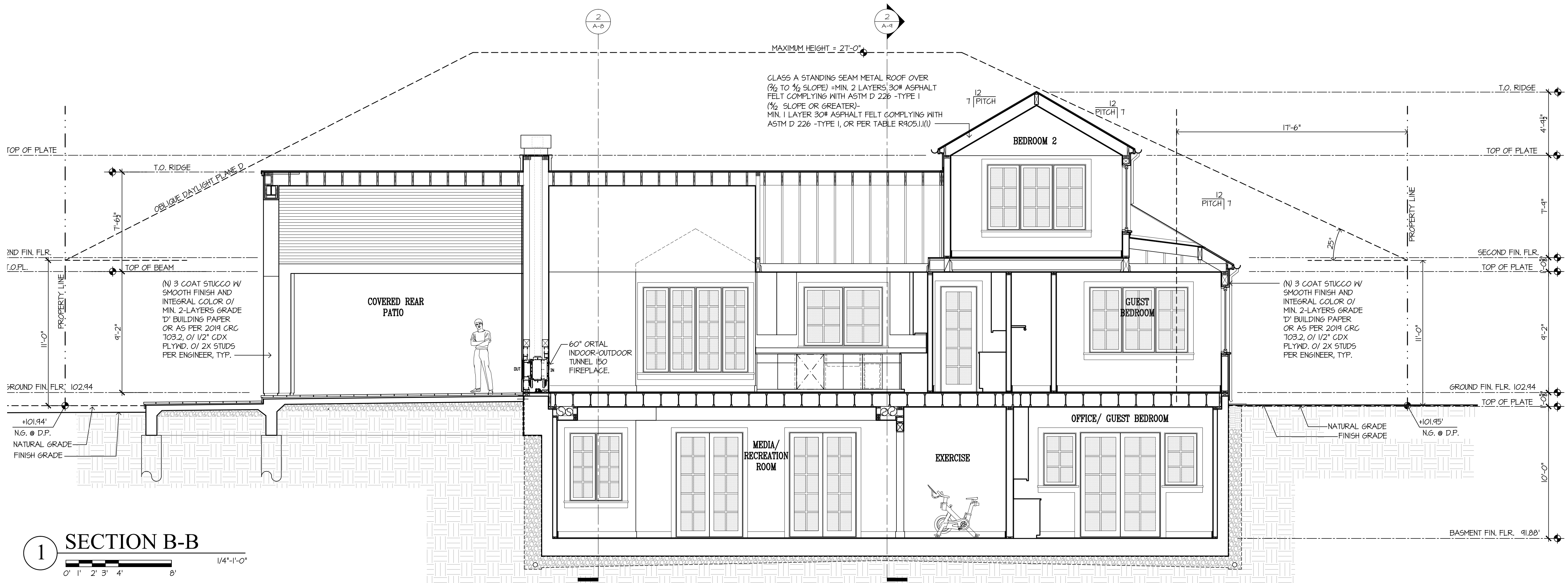
NO.	DATE	ISSUE
6TM	1-14-23	FOR DESIGN REVIEW
6TM	5-14-23	FOR DESIGN REVIEW

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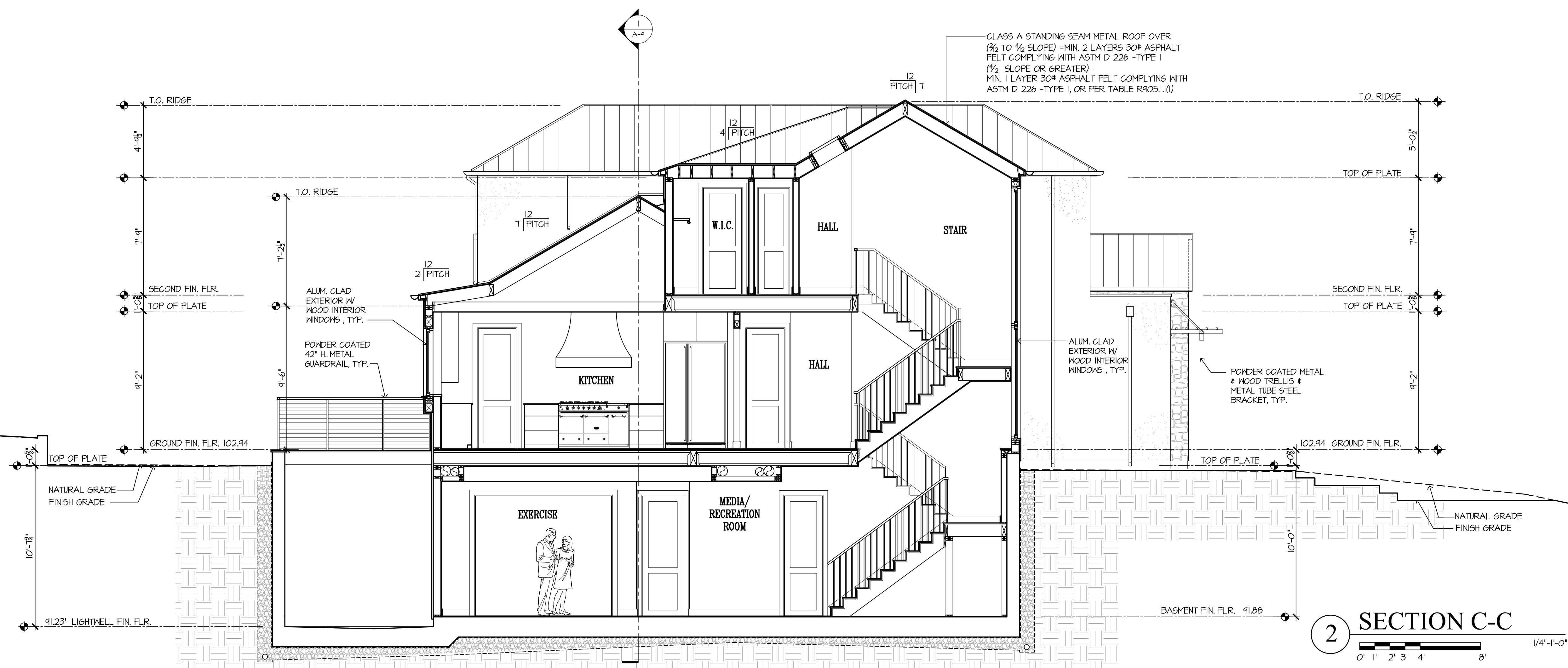
DRAWING TITLE

SECTION B-B &  
SECTION C-C

SCALE: N.T.S.  
PROJECT NAME: CHETTIAR  
CADD FILE NO.  
DRAWING NO.



**1 SECTION B-B**  
1/4"=1'-0"  
0' 1' 2' 3' 4' 8'



**2 SECTION C-C**  
1/4"=1'-0"  
0' 1' 2' 3' 4' 8'