ZONING ADMINISTRATOR MEETING AGENDA

4:00 PM - Wednesday, June 04, 2025

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to **ZAPublicComment@losaltosca.gov**.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

https://tinyurl.com/bdd2brf8

Telephone: 1-253-215-8782 / Webinar ID: 979 7657 8995 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to **ZAPublicComment@losaltosca.gov**.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. The Zoning Administrator will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Zoning Administrator.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of May 21, 2025.

PUBLIC HEARING

2. **SC24-0006 – Narinder Paul – 1501 Oakley Drive**
   Request for Design Review to construct a new approximately 4,061 square-foot two-story single-family home. The project site is located at the northwest corner of Oakley Drive and Newcastle Drive. This project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Existing Structures) of the California Environmental Quality Act (CEQA).

3. **SC24-0009 – Shlomi Caspi – 1140 Diamond Court**
   Request for Design Review to construct a new 724 square foot first-story addition and 254 square-foot second-story addition to an existing one-story single-family home. The project site is located on the west side of Diamond Court, between Berry Avenue and the terminus of Diamond Court. This project is categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA).

4. **SC24-0018 – Mike Ma – 1053 Echo Drive**
   Request for Design Review to construct a new approximately 3,932 square-foot two-story single-family home. The project site is located on the east side of Echo Drive, between Covington Road and Foothill Boulevard. This project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Existing Structures) of the California Environmental Quality Act (CEQA).

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at *https://www.losaltosca.gov/calendar*.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.

ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, May 21, 2025

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT:	Zoning Administrator Zornes and Development Services Deputy Director Williams
STAFF:	Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of May 7, 2025.

Action: Zoning Administrator Zornes approved the meeting minutes for the regular meeting of May 7, 2025.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

PUBLIC HEARING

2. **SC25-0005 – Bahi Oreizy – 709 Los Ninos Way**
   Request for Design Review for the construction of a new 3,566 square foot, two-story home. The property is located on the east side of Los Ninos Way, between Marich Way and Alvarado Avenue. This project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

STAFF PRESENTATION
Associate Planner Liu presented the staff report recommending approval of design review application SC25-0005 subject to the listed findings and conditions of approval.

PUBLIC COMMENT
None.

Action: Zoning Administrator Zornes approved design review application SC25-0005 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

ADJOURNMENT

Zoning Administrator Zornes adjourned the meeting at 4:06 PM.

_____
Nick Zornes
Zoning Administrator

ZONING ADMINISTRATOR
AGENDA REPORT

TO: Nick Zornes, Zoning Administrator

FROM: Naz Healy, Associate Planner

SUBJECT: SC24-0006 – 1501 Oakley Drive

RECOMMENDATION

Approve Design Review application SC24-0006 for the construction of a new 4,061 square-foot two-story single-family home subject to the listed findings and conditions of approval; and find the project categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Existing Structures) of the California Environmental Quality Act (CEQA).

BACKGROUND

Project Description

- Project Location: 1501 Oakley Drive, located at the northwest corner of Oakley Drive and Newcastle Drive
- Lot Size: 13,645 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story home

The proposed project includes the demolition of an existing one-story home and replacement with a new two-story home (see Attachment 1 – Project Plans). An 840 square-foot attached accessory dwelling unit is also shown on the plans but is not subject to design review and therefore not part of this application. The proposed home incorporates hipped and gabled roof forms and exterior materials that include stucco walls, concrete tile roofing, and stone veneer accents. The proposed home is situated on the lot similarly to the existing home but reorients the garage entrance to Oakley Drive. The proposed site improvements include a new front driveway, walkways, and rear yard deck. Two protected trees are proposed for removal due to poor health.

ANALYSIS

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE*:	2,638 square feet	2,502 square feet	4,093.5 square feet
FLOOR AREA*: First floor Second floor Total	 2,453 square feet ---- 2,453 square feet	 2,452 square feet 1,609 square feet 4,061 square feet	 4,114.5 square feet
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	 37.8 feet 21.5 feet 20.8 feet/0 feet 24.5 feet/0 feet	 27.2 feet 25.8 feet 32.2 feet/37.3 feet 38.3 feet/49.2 feet	 25 feet 25 feet 10 feet/17.5 feet 10 feet/17.5 feet
HEIGHT:	14.0 feet	24.9 feet	27 feet

** The project includes an attached ADU, which will be reviewed ministerially as part of the building permit. Pursuant to Los Altos Municipal Code (LAMC) Section 14.14.060, the ADU has not been included in the floor area or lot coverage calculations for the site.*

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The original design was modified significantly in response to recommendations from staff and comments from neighbors, as depicted below. The proposed home minimizes bulk by insetting the second floor, incorporating greater setbacks than required and proposing a lower height than the maximum allowed. The revised design locates larger second floor windows facing the front and exterior side yards with a balcony facing the front yard. Smaller bedroom windows and bathroom windows are facing the rear and interior side yard.

Original Design

Proposed Design

The project site contains eight protected trees. Two protected Ash trees in the front yard are proposed for removal due to poor health and replacement with two Japanese Maple and two Flowering Cherry trees. The six other protected trees will be preserved. The landscaping plan proposes shrubs, groundcovers, and synthetic turf throughout the site and will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and preserves existing trees.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted a public notice sign on the property in conformance with the Planning Division posting requirements.

The applicant contacted ten neighbors in the immediate area by providing a letter with hard copies of the project plans. Staff received public comments from two neighbors as of the writing of this report (see Attachment 2 – Public Correspondence).

Attachment:

1. Project Plans
2. Public Correspondence

Cc: Narinder Paul, Applicant
Perminder Jhangra, Property Owner

FINDINGS

SC24-0006 – 1501 Oakley Drive

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.

B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home complies with the allowable floor area ratio, lot coverage, setbacks, maximum height, and daylight plane requirements pursuant to LAMC Chapter 14.06.

C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal. Grade changes shall be minimized because the existing site is relatively level and does not require substantial grading except for the excavation necessary for the basement and six protected trees will be preserved.

D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize excessive bulk because the proposed design insets the second story, incorporates greater setbacks than required, and proposes a lower height than the maximum allowed.

E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to ensure the compatibility of the development with its design concept and the character of adjacent buildings. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including stucco walls, concrete tile roofing, and stone veneer accents.

F. The proposed home has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the proposed grading provides for drainage away from the home and away from adjacent properties and conforms to existing grades along property lines.

CONDITIONS OF APPROVAL

SC24-0006 – 1501 Oakley Drive

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on June 4, 2027 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.

2. **Approved Plans:** The approval is based on the plans and materials received on April 10, 2025, except as modified by these conditions as specified below.

3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.

4. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

6. **Building Design/Plan Modifications:** The following modifications shall be made to the architectural design, building materials, colors, landscaping, and/or other site or building design details and shall be shown on the building permit drawings:
    a. On C-4.0-C-4.2 remove or correct the scale bars indicating 10 scale.
    b. On the Basement Site Plan add dimensions to indicate the basement exterior facade lengths and demonstrate light well widths comply or revise the plans as necessary to reduce the width for compliance.
    c. On the Elevation Drawings:
        i. Correct the labels for the side elevations to indicate Right Elevation for the ADU entry/street side and Left Elevation for the garage side.
        ii. Revise the wainscoting depicted on the elevations to match the Cover Sheet rendering.

d. On the Cover Sheet Zoning Compliance Table:
    i. Correct the habitable and nonhabitable square footages by switching the Change In and Total Proposed areas.
    ii. Revise the proposed and required setbacks to provide consistency with the approved plans.

7. **ADU Not Reviewed:** The proposed ADU included in the plan set is not part of this design review application. Prior to commencement of the ADU construction, a separate building permit issued by the Building Division shall be obtained.

8. **Protected Trees:** Tree Nos. 1, 2, 6-8, and 11 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.

9. **Tree Removal Approved:** Tree No. 3 and 4 shown to be removed on plan Sheet C-2.0 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after the issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Development Services Director upon submitting written justification.

10. **Replacement Trees:** The applicant shall offset the loss of each protected tree with a minimum of one replacement tree. Each replacement tree shall be no smaller than a 24" box and shall be noted on the landscape plan as a replacement tree.

11. **Tree Protection Fencing:** The site plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the driplines, or as required by the project arborist, of Tree Nos. 1, 2, 6-8, and 11. Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

12. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

13. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.

14. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

15. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

16. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.

17. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

18. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

19. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.

20. **New Fireplaces:** Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

21. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

22. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

23. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature

from the project's Qualified Green Building Professional Designer/Architect and property owner.

24. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

25. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

26. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

27. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

28. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.

29. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.

30. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.

31. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.

32. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.

33. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

34. **Applicable Codes and Review**: The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

35. **Violations**: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

36. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

37. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in accordance with National Fire Protection Association's (NFPA) Standard 13D in all new one and two-family dwellings. Sprinklers notes on Sheet A1.0.

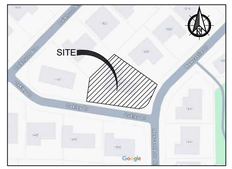
38. **Required Fire Flow:** The minimum required fire flow for this project is 1,000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.

39. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection system, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the

water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

40. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

SUBMITTAL OF PLANNING APPROVAL FOR
PAUL RESIDENCE
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN:318-10-025



VICINITY MAP

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING CONSTRUCTION. CROSS CHECK ALL DETAILS AND DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN IN THE PLANS OR SPECIFICATIONS, ALL PHASES OF WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2022 CRC CODE, LATEST ADDITION, AS WELL AS ALL APPLICABLE STATE AND LOCAL ORDINANCES AS ADOPTED BY THE CONTROLLING JURISDICTION.
3. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN THE COMPLETED FORM. GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES INCLUDE, BUT ARE NOT LIMITED TO; BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, AND SHORING FOR THE STRUCTURE.
4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS AND / OR DETAILS. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO PROCEEDING. ANY WORK INSTALLED PRIOR TO AND / OR IN CONFLICT WITH SUCH CLARIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO OWNER.
5. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, INTERIOR AND EXTERIOR WALLS SHALL BE DETERMINED FROM THE ARCHITECTURAL DRAWINGS. OTHER FLOOR, WALL AND ROOF OPENINGS AS REQUIRED FOR MECHANICAL, ELECTRICAL AND / OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, ETC. AS REQUIRED.
6. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND / OR CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
7. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER DRAWINGS, AND ALL OTHER REALTED DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK, INCLUDING THAT OF THE SUB TRADES.
8. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS INCLUDED IN THE SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ENGINEER OF RECORD SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
9. ALL MATERIALS SHALL BE FURNISHED AS SHOWN HEREIN UNLESS ALTERNATIVES ARE APPROVED IN WRITING BY THE OWNER AND THE ENGINEER OF RECORD.
10. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND / OR HIS SUBCONTRACTOR OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFICATION.
11. WHERE A DETAIL, SECTION OR NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO LIKE CASES OF CONSTRUCTION.
12. CONNECTIONS OF ALL ITEMS SUPPORTED BY THE STRUCTURE ARE THE RESPONSIBILITY OF THE DISCIPLINES WHO MAKE THESE ATTACHMENTS. REVIEW AND COORDINATE ALL THE REQUIREMENTS IN THE ARCHITECTS PROJECT SPECIFICATION AS APPLICABLE.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER INDICATED ON THE CONTRACT DRAWING OR NOT, AND TO PROTECT THEM FROM DAMAGE. REPAIR AND REPLACEMENT OF SAID WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
14. VIBRATIONAL EFFECTS OF MECHANICAL AND / OR ANY OTHER EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER OF RECORD.
15. UNLESS NOTED OTHERWISE, ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO THE TOP OF BEAMS AND FOUNDATIONS. BEAMS DENOTED AS "DROP" HAVE THE TOP OF BEAM AT THE HEIGHT OF THE TOP PLATE. BEAMS DENOTED AS "FLUSH" HAVE THE BOTTOM OF BEAM AT THE HEIGHT OF THE TOP PLATE, U.N.O.
16. THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE CONTRACTORS, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, IN METHODS USED IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS OR THE LACK THERE OF TAKEN AT THE PROJECT SITE.

PROJECT INFORMATION

ASSESSORS PARCEL NO.	318-10-025
OWNER NAME	NARINDER PAUL
ZONING	R1-10
LOT AREA	13,645 SQFT
TYPE OF CONSTRUCTION	V-B
FIRE SPRINKLER	SPRINKLER SYSTEM IS REQUIRED FOR A NEW SINGLE FAMILY HOME AS PER 2022 CRS. DIFFERED SUBMITTAL
SOLAR PANEL	SOLAR PANELS ARE REQUIRED TO COMPLY WITH 2022 ENERGY AS PER CITY OF LOS ALTOS REQUIREMENTS. DIFFERED SUBMITTAL.

SCOPE OF WORK

NEW CONSTRUCTION OF NEW SINGLE FAMILY DWELLING WITH BASEMENT AND ATTACHED ACCESSORY DWELLING UNIT

PROJECT DIRECTORY

OWNER

NARINDER PAUL
Address: 1480 Samedra St.
Sunnyvale CA 94087
Phone : --------
Email : npaul_sgyahoo.com

ENGINEER/ARCHITECT

IENGCO
MANJIT SAINI, PE
Phone:(408) 313-5400
Email: manjit.saini@iengco.com

FLOOR AREA RATIO CALCULATION

ZONING COMPLIANCE

	Existing (Demolished)	Proposed	Allowed/Required
LOT COVERAGE: *Land area covered by all structures that are over 6 feet in height*	2,637.7 square feet (19.33 %)	2,502.35 square feet (18.34 %)	4,093.5 square feet (30.0 %)
FLOOR AREA: *Measured to the outside surfaces of exterior walls*	1st Flr: 2,453 sq ft 2nd Flr: 0 sq ft **Total: 2,453sq ft** (17.98 %)	1st Flr: 2,451.75 sq ft 2nd Flr: 1,609 sq ft **Total: 4,060.75 sq ft** (29.76 %)	4,114.5 square feet (30.15 %)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	 37.75 feet 21.5 feet 20 feet/ 0 feet 24.5 feet/ 0 feet	 27.2 feet 25.8 feet 32.2 feet/ 37.25 feet 38.3 feet/ 49.2 feet	 25 feet 25 feet 10 feet/17.5 feet 10 feet/17.5 feet
HEIGHT:	14 feet	24.9 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: *Includes habitable basement areas*	2,022 square feet	4591.0 square feet	2569.0 square feet
NON- HABITABLE AREA: *Does not include covered porches or open structures*	431 square feet	9.75 square feet	440.75 square feet

LOT CALCULATIONS

NET LOT AREA:	13,645 square feet
FRONT YARD HARDSCAPE AREA: *Hardscape area in the front yard setback shall not exceed 50%*	1,517 square feet (11.12 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 1,537 sq ft Existing softscape (undisturbed) area: N.A sq ft New softscape (new or replaced landscaping) area: 9105 sq ft *Sum of all three should equal the site's net lot area*

CODES

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA REFERENCE STANDARDS CODE (CRSC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODES (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)

HABITABLE AREA CALCULATION

1.	BASEMENT FLOOR HABITABLE AREA	= 971.0 SQ.FT
2.	FIRST FLOOR HABITABLE AREA	= 2,011.0 SQ.FT
3.	SECOND FLOOR HABITABLE AREA	= 1,609.0 SQ.FT
	TOTAL HABITABLE AREA	**= 4,591.0 SQ.FT**

NON-HABITABLE AREA CALCULATION

1.	BASEMENT FLOOR NON-HABITABLE AREA	= 0.0 SQ.FT
2.	FIRST FLOOR NON-HABITABLE AREA (GARAGE ONLY)	= 440.75 SQ.FT
3.	SECOND FLOOR NON- HABITABLE AREA	= 0.0 SQ.FT
	TOTAL NON-HABITABLE AREA	**= 440.75 SQ.FT**

SHEET INDEX

ARCHITECTURAL

SHEET INDEX

LANDSCAPE

IENGCO
CONSTRUCTION
CONSULTATION
ENGINEERING
ARCHITECTURE

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

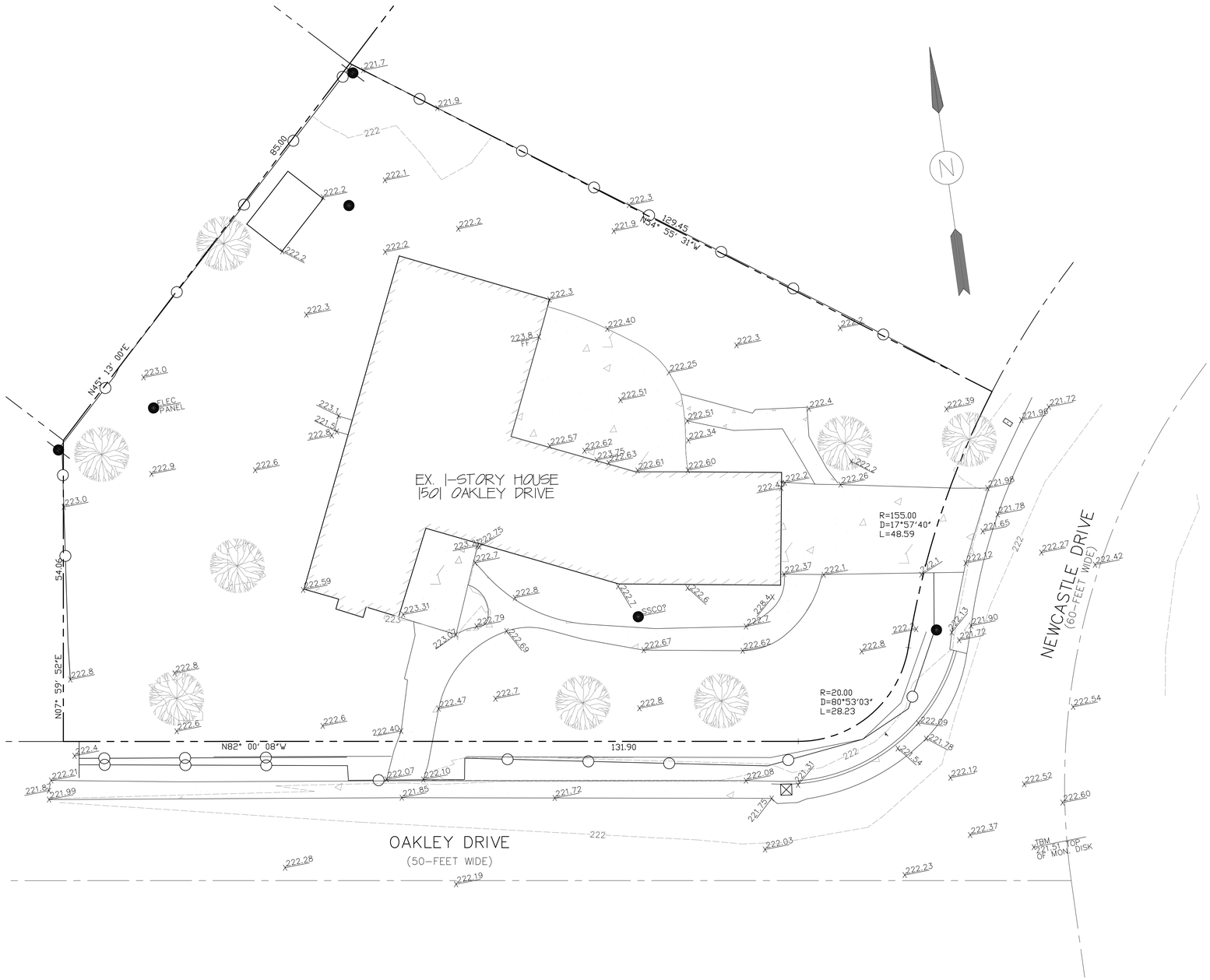
REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

COVER SHEET

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
1	ISSUED FOR REVIEW	4/10/2025	M. SAINI	K. KUMAR	M. SAINI	M. SAINI
2	ISSUED FOR REVIEW					

CS-1.0

TOPOGRAPHIC SURVEY
PERMINDER/NARINDER TRUST
1501 OAKLEY DRIVE
LOS ALTOS, CALIFORNIA
MAY 2024



LEGEND

- PROPERTY LINE
- 90 MAJOR CONTOUR
- MINOR CONTOUR
- HOUSE
- EASEMENT
- EDGE OF CONCRETE
- EDGE OF ASPHALT
- WALL
- FENCE
- TREE
- 166.6 SPOT ELEVATION
- GUY WIRE
- STREET LIGHT
- FIRE HYDRANT
- WATER METER
- CONCRETE
- ASPHALT
- DRAIN
- POWER POLE
- SIGN

NOTES:

1. FIELD SURVEY CONDUCTED ON JUNE 1, 2024
2. CONTOUR INTERVAL = 1-FOOT
3. PROPERTY LINES SHOWN HEREON HAVE BEEN COMPILED FROM RECORD INFORMATION. A BOUNDARY SURVEY WAS NOT PERFOMED.

BASIS OF BEARINGS:

BEARINGS BASED UPON THE TRACT 1897 FILED ON MAY 9, 1957 IN BOOK 81 OF MAPS AT PAGE 31, SANTA CLARA COUNTY RECORDS..

BASIS OF ELEVATIONS:

GPS DERIVED ELEVATIONS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1983(NGVD '83). SEE TEMPORARY BENCHMARK(TBM) PLOTTED HEREON.

10' 0' 5' 10' 20' 40'
1" = 10'

SHEET NO.
C-0.0

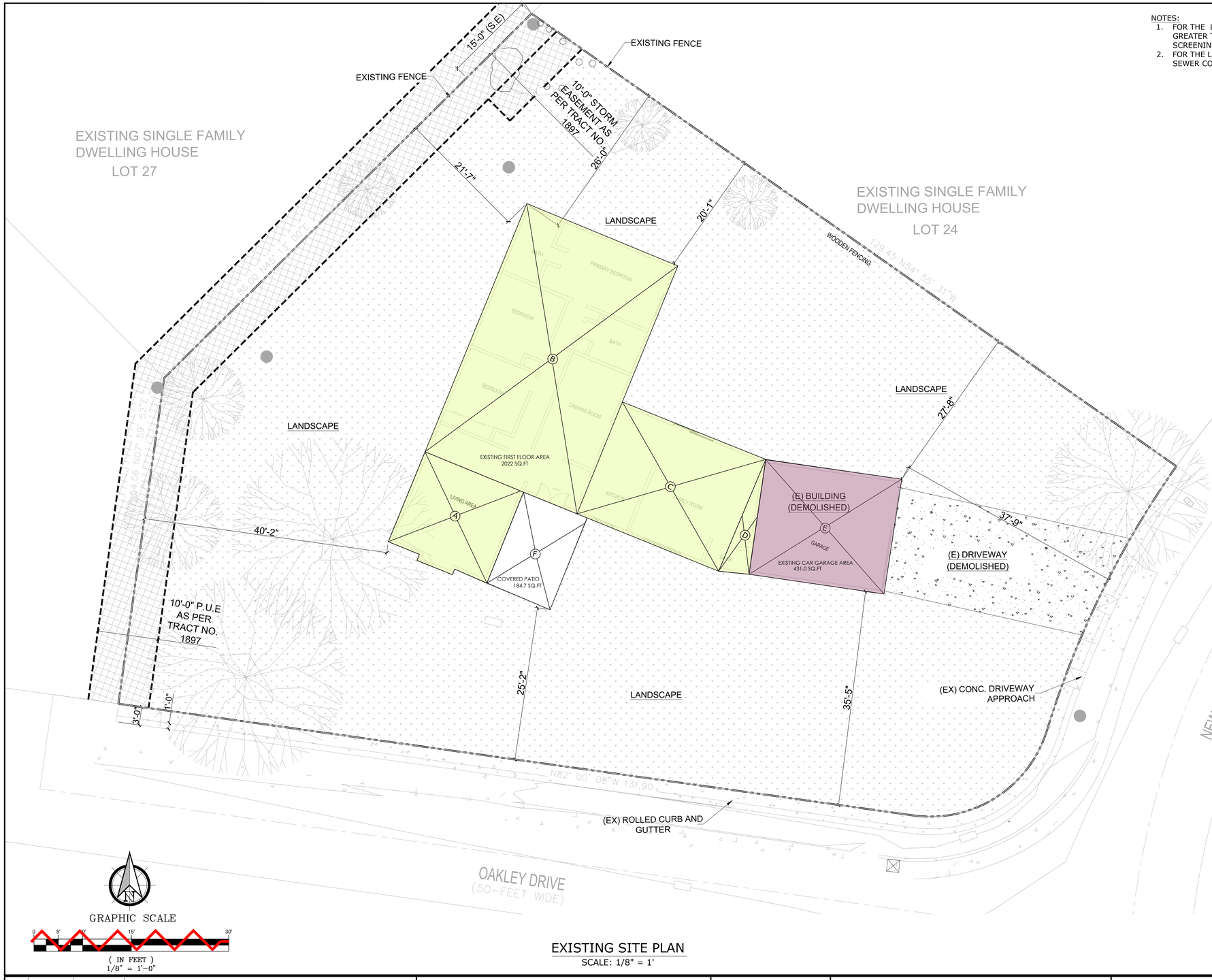
LICENCED LAND SURVEYOR DAVID BAUMANN 7309 STATE OF CALIFORNIA

BAUMANN LAND SURVEYING
1800 LAGUNA STREET #20
CONCORD, CA 94520
(925) 787-5146
david@baumannlandsurveying.com

DESIGNED:	D.B.
DRAWN:	D.B.
CHECKED:	M.S.
APPROVED:	D.G.
DATE:	6/3/2024

NOTES:
1. FOR THE LOCATION, SIZE, TYPE, AND DRIP-LINE OF ALL EXISTING TREES GREATER THAN 4" IN DIAMETER AND ALL EXISTING LANDSCAPE SCREENING, REFER TO SHEET C-2.0.
2. FOR THE LOCATION AND TYPE OF ALL UTILITIES (E.G. ELECTRIC PANEL, SEWER CONNECTION, WATER METER), REFER TO SHEET C-3.0

LEGEND	
PROPERTY LINE	
WOODEN FENCE	
CONCRETE	
LANDSCAPE	
EXISTING TREE	



GRAPHIC SCALE
0 5' 10' 15' 30'
(IN FEET)
1/8" = 1'-0"

EXISTING SITE PLAN
SCALE: 1/8" = 1'

FLOOR AREA AND COVERAGE CALCULATIONS FOR EXISTING HOUSE

SECTION	DIMENSIONS		AREA (SQ.FT)	SECTION	DIMENSIONS		AREA (SQ.FT)
Existing First Floor (Demolished)							
A	17.58	16.17	286.8	B	26.833	44.08	1182.9
C	25.42	19.833	504.1	D	Triangle Shape		47.9
TOTAL			790.9	TOTAL			1230.8
TOTAL (Sq. ft.)			2022				
Existing Garage (Demolished)							
E	22.58	19.1	431				
Total (Sq. ft.)			431				
Existing Covered Porch (Demolished)							
F	11.25	16.42	184.7				
Total (Sq. ft.)			184.7				

EXISTING HABITABLE AREA							
A	17.58	16.17	286.8	B	26.833	44.08	1182.9
C	25.42	19.833	504.1	D	Triangle Shape		47.9
TOTAL			790.9	TOTAL			1230.8
TOTAL (Sq. ft.)			2022				
EXISTING NON-HABITABLE AREA							
E	22.58	19.1	431				
Total (Sq. ft.)			431				
TOTAL FLOOR AREA (EXISTING HOUSE)			2,453 SQFT				

NOTE:

EXISTING HOUSE WAS SINGLE STORY HOUSE WITH NO BASEMENT.
EXISTING HOUSE ALREADY DEMOLISHED UNDER SEPARATE BUILDING. PERMIT

NO.	BY	DATE	REVISIONS
2			ISSUED FOR REVIEW
1			ISSUED FOR REVIEW

IENGCO

1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

EXISTING SITE PLAN AND FLOOR PLAN

DATE:	4/10/2025
DESIGNED BY:	K.KUMAR
DRAWN BY:	K. KUMAR
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.
C-1.0

● ARCHITECTURE ● ENGINEERING ● CONSULTATION ● CONSTRUCTION

LEGEND

- PROPERTY BOUNDARY
- WOODEN FENCE
- (N) BUILDING
- CONCRETE
- LANDSCAPE AREA
- PAVERS
- DEPRESSED AREA
- EX TREE
- SS — EX SEWER LINE
- W — EX WETER LINE
- SD — EX STORM LINE
- 2.0% — SLOPE AND DIRECTION OF FLOW
- 222.22 — NEW ELEVATION

BASIS OF ELEVATIONS:

GPS DERIVED ELEVATIONS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1983(NGVD '83). SEE TEMPORARY BENCHMARK(TBM) PLOTTED HEREON.

A	TOTAL (NET) LOT AREA	13,645 SQFT
NEW (DESIGN) LIVING AREA		
B	FIRST FLOOR LIVING AREA	2,011.0 SQ.FT
C	GARAGE AREA	440.75 SQ.FT
D	**TOTAL PROPOSED DESIGN FLOOR AREA (F+G)**	**2,451.75 SQ.FT**
ADDITIONAL FLOOR AREA IN MAIN HOUSE		
E	PORCH	50.6 SQ.FT
F	**TOTAL AREA**	**2,502.35 SQ.FT**
LOT COVERAGE		
G	**LOT COVERAGE %AGE = (2,502.35/13,645X100)**	**18.34 %**

2

NO.	BY	DATE	
2			ISSUED FOR REVIEW
1			ISSUED FOR REVIEW

PREPARED BY:

ENGCO

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61948 CIVIL STATE OF CALIFORNIA

Manjit Saini

PREPARED FOR:

1501 OAKLEY DR
LOS ALTOS, CA 94024
APN : 318-10-025

TITLE:

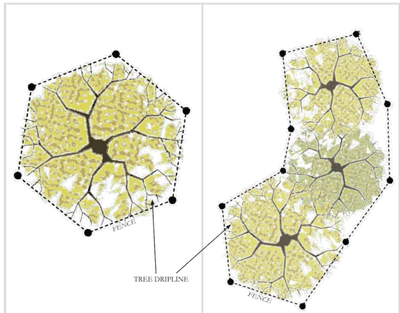
FUTURE SITE & FLOOR PLAN W/ LOT COVERAGE

2

DATE: 4/10/2025
DESIGNED BY: N.GORAYA
DRAWN BY: P. SEKHON
CHECKED BY: M. SAINI
APPROVED BY: M. SAINI

SHEET NO. 2

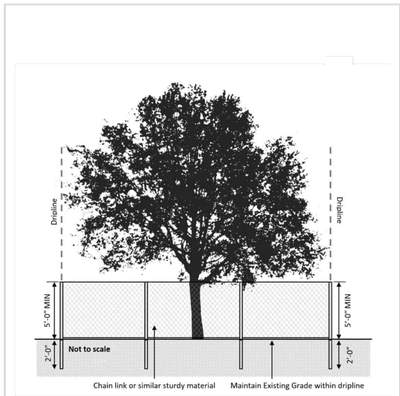
C-1.1



Notes per Section 11.08.120 of the Municipal Code:

1. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
2. The fence shall be chain link and a minimum of five feet in height. Fence shall be supported by vertical posts driven 2 feet (min) into the ground.
3. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. No signs, wires, or any other object shall be attached to the tree.
4. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods

TREE PROTECTION FENCE DETAIL
PLAN VIEW



TREE PROTECTION FENCE DETAIL
ELEVATION VIEW

LEGEND

- PROPERTY BOUNDARY
- EX BUILDING TO BE REMOVED
- EX CONCRETE TO BE REMOVED
- TREE TO BE REMOVED
- PREVIOUSLY REMOVED TREE
- TREE TO REMAIN
- TREE PROTECTION FENCE. SEE DETAIL ON THIS SHEET
- EX FENCE
- 166.6 SPOT ELEVATION
- EX STREET LIGHT
- EX FIRE HYDRANT
- EX WATER METER
- EX DRAIN
- EX POWER POLE
- EX SIGN

SCOPE OF DEMOLITION

1. INSTALL TEMPORARY TREE PROTECTION FENCE AS PER CITY OF LOS ALTOS. SEE DETAIL ON THIS SHEET.

KEY PLAN NOTES

1. (N) BUILDING.
2. (N) GARAGE.
3. (N) CONCRETE DRIVEWAY.

TREE IDENTIFYING TABLE

TREE NO	SPECIES	SIZE	RETAIN / REMOVE	PREVIOUSLY REMOVED
T1	QUERCUS AGRIFOLIA	26" DBH	RETAIN	_
T2	QUERCUS AGRIFOLIA	33" DBH	RETAIN	_
T3	FRAXINUS VELUTINA	23" DBH	REMOVE	_
T4	FRAXINUS VELUTINA	23" DBH	REMOVE	_
T5	APPLE TREE	8" DBH	RETAIN	_
T6	LEMON TREE	17" DBH	RETAIN	_
T7	KUMQUAT TREE	12" DBH	RETAIN	_
T8	CHINES PISTACHE TREE	26"DBH	RETAIN	_
T9	CRAPE MYRTLE	_	_	PREVIOUSLY REMOVED
T10	OLIVE	8"DBH	RETAIN	_
T11	LIQUIDAMBAR	16"DBH	RETAIN	_
A	UNKNOWN	LESS THAN 4"	_	PREVIOUSLY REMOVED

1

N

0 10' 20'

SCALE: 1" = 10'

NO.	BY	DATE	
1			ISSUED FOR REVIEW

PREPARED BY:

IENGCO

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

Manjit Saini

PREPARED FOR:

1501 OAKLEY DR
LOS ALTOS, CA 94024
APN : 318-10-025

TITLE:

TREE PROTECTION PLAN

DATE:	1/20/2025
DESIGNED BY:	N.GORAYA
DRAWN BY:	P. SEKHON
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.

C-2.0

LEGEND

- PROPERTY BOUNDARY
- WOODEN FENCE
- (N) BUILDING
- CONCRETE
- LANDSCAPE AREA
- PAVERS
- DEPRESSED AREA
- EX TREE
- SS — EX SEWER LINE
- W — EX WETER LINE
- SD — EX STORM LINE
- 2.0% — SLOPE AND DIRECTION OF FLOW
- 222.22 — NEW ELEVATION

BASIS OF ELEVATIONS:

GPS DERIVED ELEVATIONS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1983(NGVD '83). SEE TEMPORARY BENCHMARK(TBM) PLOTTED HEREON.

EARTH WORK QUANTITIES

CUT: 231 CY
FILL: 223 CY

EXPORT: 8 CY
IMPORT: — CY

NOTE:
EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

IMPERVIOUS AREA CALCULATIONS

EX IMPERIOUS AREA=4482 SQ.FT
(N) IMPERIOUS AREA=4763 SQ.FT

TOTAL INCREASE IMPERIOUS AREA=281 SQ.FT

NO.	BY	DATE	

PREPARED BY:

IENGCO

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

Manjit Saini

PREPARED FOR:

1501 OAKLEY DR
LOS ALTOS, CA 94024
APN : 318-10-025

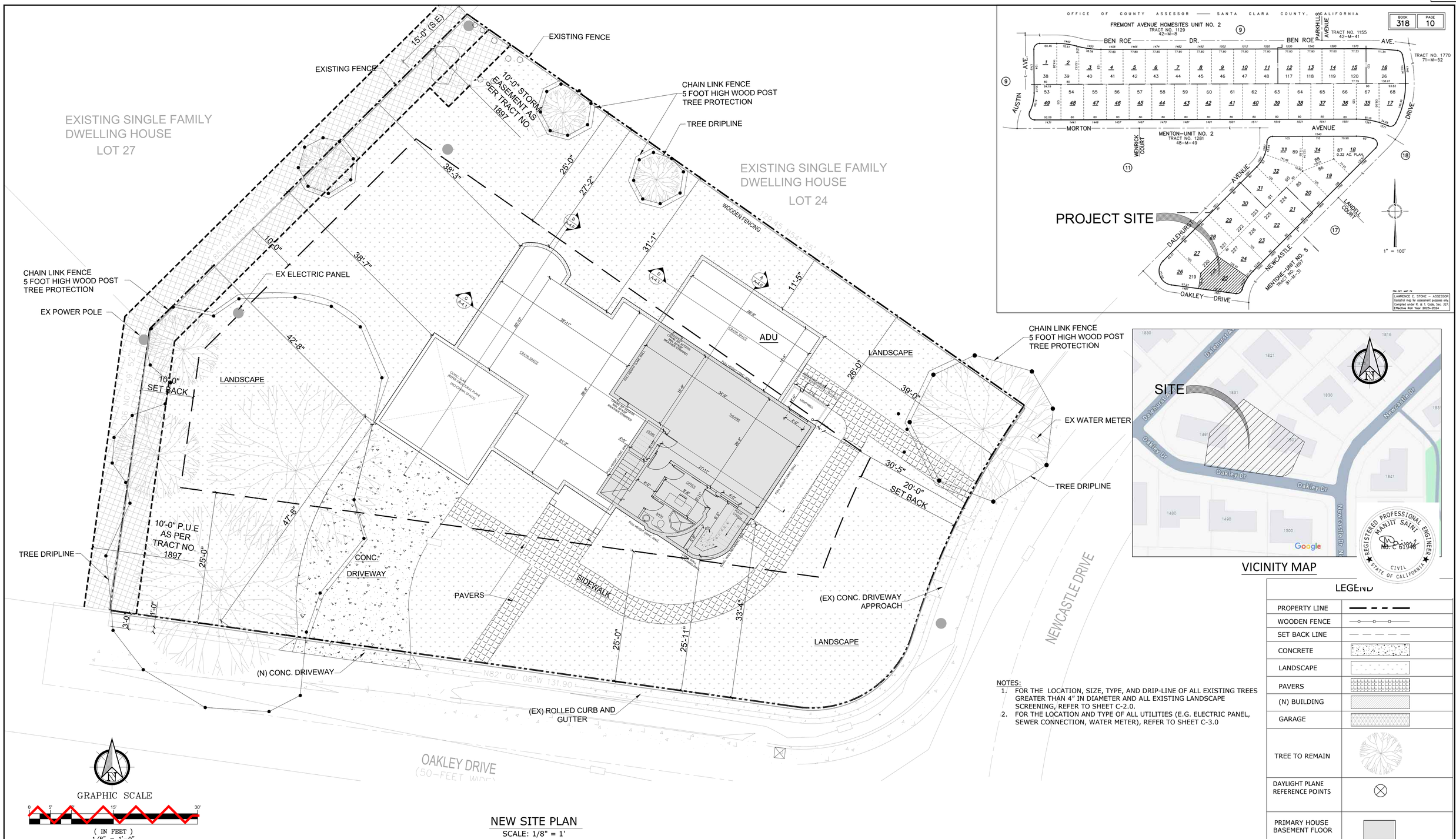
TITLE:

CONCEPTUAL GRADING AND DRAINAGE PLAN

DATE:	1/21/2025
DESIGNED BY:	N.GORAYA
DRAWN BY:	P. SEKHON
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.

C-3.0



NEW SITE PLAN
SCALE: 1/8" = 1'

LEGEND

PROPERTY LINE	
WOODEN FENCE	
SET BACK LINE	
CONCRETE	
LANDSCAPE	
PAVERS	
(N) BUILDING	
GARAGE	
TREE TO REMAIN	
DAYLIGHT PLANE REFERENCE POINTS	
PRIMARY HOUSE BASEMENT FLOOR	

NOTES:
1. FOR THE LOCATION, SIZE, TYPE, AND DRIP-LINE OF ALL EXISTING TREES GREATER THAN 4" IN DIAMETER AND ALL EXISTING LANDSCAPE SCREENING, REFER TO SHEET C-2.0.
2. FOR THE LOCATION AND TYPE OF ALL UTILITIES (E.G. ELECTRIC PANEL, SEWER CONNECTION, WATER METER), REFER TO SHEET C-3.0

NO.	BY	DATE	REVISIONS

ENGCO

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61948 CIVIL STATE OF CALIFORNIA

1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

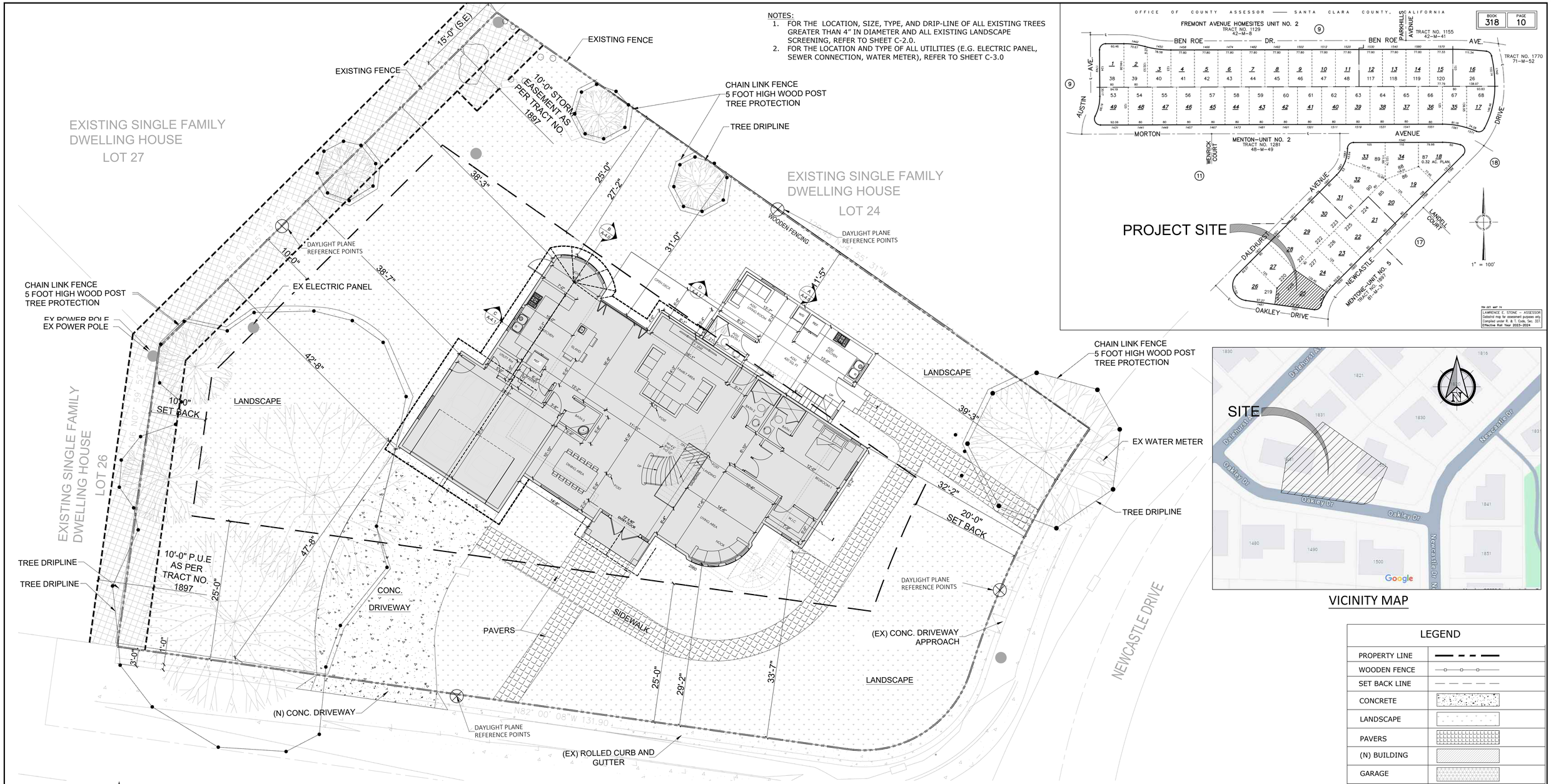
NEW SITE PLAN WITH BASEMENT FLOOR

DATE:	4/10/2025
DESIGNED BY:	K.KUMAR
DRAWN BY:	K. KUMAR
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.
C-4.0

● ARCHITECTURE ● ENGINEERING ● CONSULTATION ● CONSTRUCTION

NOTES:
1. FOR THE LOCATION, SIZE, TYPE, AND DRIP-LINE OF ALL EXISTING TREES GREATER THAN 4" IN DIAMETER AND ALL EXISTING LANDSCAPE SCREENING, REFER TO SHEET C-2.0.
2. FOR THE LOCATION AND TYPE OF ALL UTILITIES (E.G. ELECTRIC PANEL, SEWER CONNECTION, WATER METER), REFER TO SHEET C-3.0



VICINITY MAP

LEGEND	
PROPERTY LINE	
WOODEN FENCE	
SET BACK LINE	
CONCRETE	
LANDSCAPE	
PAVERS	
(N) BUILDING	
GARAGE	
TREE TO REMAIN	
DAYLIGHT PLANE REFERENCE POINTS	
PRIMARY HOUSE FIRST FLOOR	

GRAPHIC SCALE
0 5' 10' 15' 30'
(IN FEET)
1/8" = 1'–0"

NEW SITE PLAN
SCALE: 1/8" = 1'

NO.	BY	DATE	REVISIONS

ENGCO

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61948 CIVIL STATE OF CALIFORNIA

1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

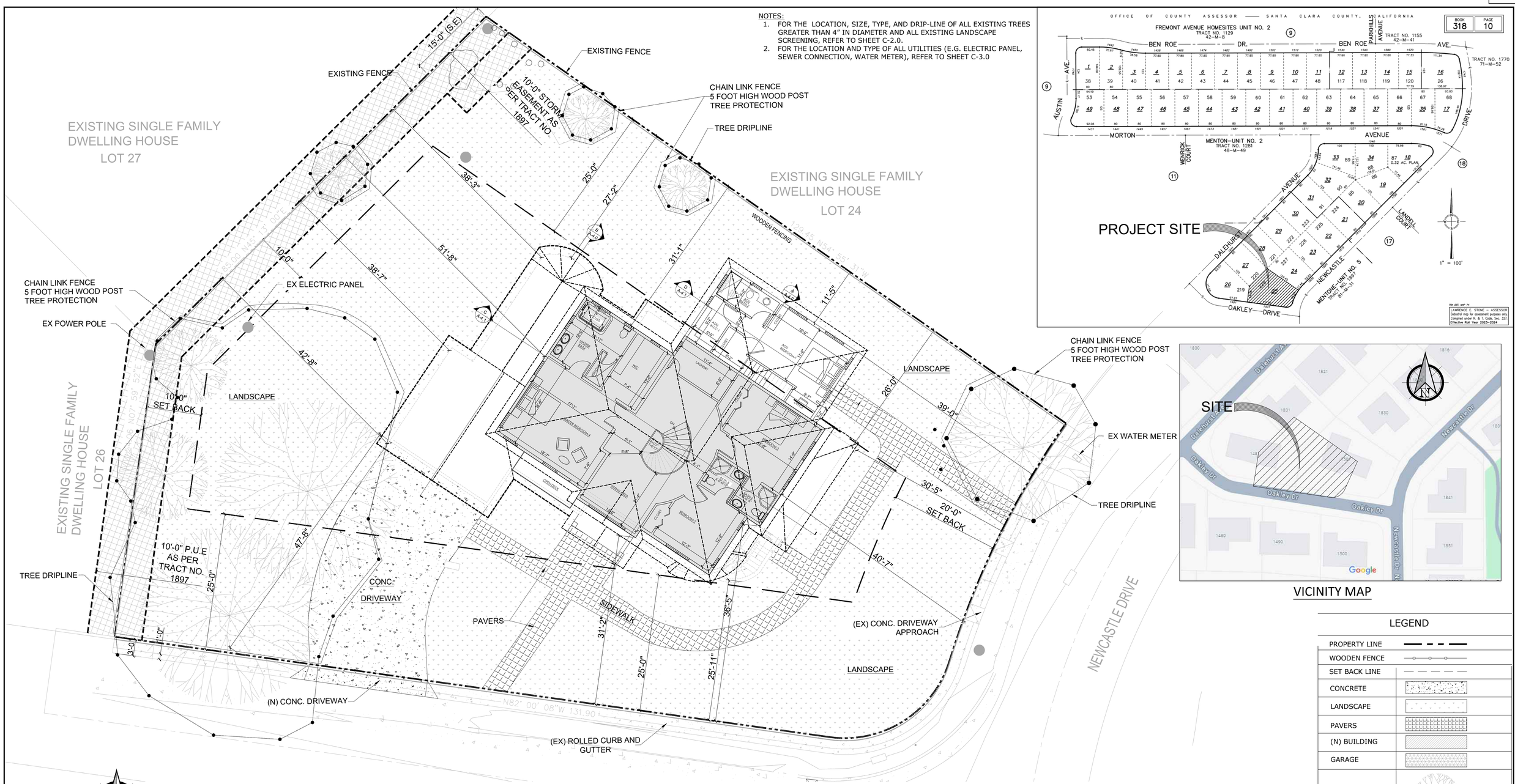
NEW SITE PLAN WITH FIRST FLOOR

DATE:	4/10/2025
DESIGNED BY:	K.KUMAR
DRAWN BY:	K. KUMAR
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.
C-4.1

● ARCHITECTURE ● ENGINEERING ● CONSULTATION ● CONSTRUCTION

NOTES:
1. FOR THE LOCATION, SIZE, TYPE, AND DRIP-LINE OF ALL EXISTING TREES GREATER THAN 4" IN DIAMETER AND ALL EXISTING LANDSCAPE SCREENING, REFER TO SHEET C-2.0.
2. FOR THE LOCATION AND TYPE OF ALL UTILITIES (E.G. ELECTRIC PANEL, SEWER CONNECTION, WATER METER), REFER TO SHEET C-3.0



VICINITY MAP

GRAPHIC SCALE
0' 5' 10' 15' 30'
(IN FEET)
1/8" = 1'-0"

NEW SITE PLAN
SCALE: 1/8" = 1'

LEGEND

PROPERTY LINE	
WOODEN FENCE	
SET BACK LINE	
CONCRETE	
LANDSCAPE	
PAVERS	
(N) BUILDING	
GARAGE	
TREE TO REMAIN	
DAYLIGHT PLANE REFERENCE POINTS	
PRIMARY HOUSE SECOND FLOOR	

NO.	BY	DATE	REVISIONS

IENGCO

REGISTERED PROFESSIONAL ENGINEER — MANJIT SAINI — No. C 61948 — CIVIL — STATE OF CALIFORNIA

1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

NEW SITE PLAN WITH SECOND FLOOR

DATE:	4/10/2025
DESIGNED BY:	K.KUMAR
DRAWN BY:	K. KUMAR
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

SHEET NO.
C-4.2

● ARCHITECTURE ● ENGINEERING ● CONSULTATION ● CONSTRUCTION

GENERAL NOTES:

1. ALL WINDOWS, PATIO DOORS, AND ENTRY DOORS TO BE MANUFACTURED BY “JELD” WIN COMPANY.
2. WINDOWS AND PATIO DOORS TO BE “VINYL HORIZONTAL SLIDING” , WHITE COLOR WITH “ENERGY SAVER” OPTION. LOCATIONS SHOWN ON THE FLOOR PLAN.
3. FRONT ENTRY DOORS TO BE “SMOOTH - PRO FIBERGLASS GLASS PANEL EXTERIOR DOORS”
4. ALL INTERIOR WALL TO BE ½” GYPSUM WALL BOARD TYP.
5. PROVIDE 22” x 30” MINIMUM ATTIC ACCESS THAT NONE OF THE ATTIC SPACE SHALL BE 30” OR GREATER IN CLEAR HEIGHT OR LONGER THAN 30 - SQ. FT. PER CRC R807.1.
6. ALL SUPPORTING CONSTRUCTION SHALL BE PROVIDED WITH ½” GYPSUM MINIMUM.
7. LANDING SHALL BE NOT MORE THAN 7 - 3 / 4 INCHES LOWER THAN THE THRESHOLD FOR IN - SWING / SLIDING DOORS. CRC R 311.3.1.
8. LANDING SHALL BE NOT MORE THAN 1 - 1 / 2 INCHES LOWER THAN THE THRESHOLD FOR OUT - SWING DOORS. CRC R 311.3.1.
9. EXHAUST DUCTS SHALL EXHAUST 3” - 0” FROM PROPERTY LINE AND 3” - 0” FROM OPENING INTO THE BUILDING.
10. HANDRAIL AND GUARD RAIL TO BE DESIGNED FOR A LIVE LOAD OF 20 POUNDS / LINEAR FOOT APPLIED EITHER HORIZONTAL OR VERTICAL DOWNWARD AT THE TOP RAIL.
11. EACH BEDROOM WINDOW IS PROVIDED WITH AN EGRESS WINDOW WITH A MAXIMUM SILL HEIGHT OF 44” FROM THE FINISHED FLOOR. CRC R 310.2.2
12. WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24” ABOVE THE FINISHED FLOOR AND GREATER THAN 72” ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL BE PROVDIED WITH FALL PROTECTION IN ACCORDANCE WITH CRC R312.2.1.
13. DOOR LEADING FROM GARAGE TO THE OFFICE SHALL BE SELF - CLOSING AND SELF - LATCHING CRC R302.5.1
14. THE STAIRS SHALL HAVE A MINIMUM RISE OF 7.75” AND MINIMUM TREAD OF 10” CRC R311.7.5.
15. PROVIDE COMBUSTION AIR (i.e. LOUVERED DOOR) FOR THE UTILITY ROOM PER CMC 701.0.
16. SPECIFY TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENING INTO THE BUILDING (i.e., dryers, bath and utility fans, etc.) MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, PENNING SKYLIGHTS, OR ATTIC VENTS [CMC502.2.1]
17. FOR THE NEW FURNACE LOCATED IN THE ATTIC PROVIDE THE FOLLOWING:
    A. SPECIFY 30-INCHx30-INCH MINIMUM ATTIC ACCESS OR PROVIDE MINIMUM 22-INCHX30-INCH ATTIC ACCESS, AS LONG AS THE FURNACE CAN BE REMOVED THROUGH THE PENNING. CMC 904.11.1
    B. PROVIDE 30-INCHx30-INCH MINIMUM WORKING SPACE IN FRONT OF FURNACE. CMC 904.11.4
    C. PROVIDE A SOLID 24-INCH WIDE PLATFORM PATH FROM THE ACCESS PENNING TO THE FURNACE. CMC 904.11.3
    D. PROVIDE A LIGHT FIXTURE AND A PERMANENT CONVENIENCE OUTLET AT THE FURNACE LOCATE THE LIGHT SWITCH AT THE ACCESS OPENING. CMC 904.11.5
    E. SPECIFY SIZE, METHOD, AND SOURCE OF COMBUSTION AIR FOR THE GAS FURNACE. CMC 170.0
18. PROVIDE PROTECTION METHOD TO CONDENSATE OVERFLOW DISCHARGES AT POINT IS READILY OBSERVED. CMC 310.2.
19. THE STAIRS SHALL HAVE A MINIMUM RISE OF 7.75” AND MINIMUM TREAD OF 10” CRC R311.7.5.
20. ALL SUPPORTING CONSTRUCTION SHALL BE PROVIDED WITH ½” GYPSUM MINIMUM.
21. SPECIFY ON FIELD A MINIMUM 15 INCHES DIMENSION FROM CENTER LINE OF THE WATER CLOSETS TO WALL OR BARRIER EACH SIDE, AND PROVIDE A CLEAR SPACE OF NOT LESS THAN 24 INCHES IN FRONT OF EACH WATER CLOSET. (CPC 402.5)
22. 1.28 GAL/FLUSH TOILETS, TEMPERED GLASS AT BATH ENCLOSURES, SHOWER AND BATH TUBS. WALLS TO BE HARD, NON - ABSRSENT, SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, GLASS MAT GYPSUM) TO A HEIGHT OF 72”ABOVE DRAIN INLET. SHOWERHEAD TO HAVE A MAX. FLOW OF 2.0 GPM, AND FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM.
23. PROVIDE 5/8” TYPE “X” GYPSUM BOARD AT THE GARAGE CEILING ADJOINING THE DWELLING. ALL SUPPORTING CONSTRUCTION SHALL BE PROVIDED WITH ½” GYPSUM BOARD. (CRC R302.6).
24. HEIGHT OF THE GUARDS TO BE 42” MINIMUM CRC R312.1.2.
25. THE SPACING OF THE OPENINGS AT THE GUARDS TO BE SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH CR R312.1.3.
26. DUCT PENETRATING THE WALL SEPARATING THE DWELLING STRUCTURE FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. 26 GAGE SHEET STEEL OF OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING IN TO THE GARAGE. CRC R302.5.2.
27. SAFETY GLAZING PER CRC R308.4 REQUIREMENTS FOR THE FOLLOWING HAZARDOUS LOCATION ON THE PLAN.
28. A 36-INCH LANDNG OR FLOOR ON EACH SIDE OF EXTERIOR DOOR SHALL BE PROVIDED. THE SLOP AT THE EXTERIOR LANDING SHALL NOT EXCEED ¼” UNITE VERTICAL IN 12 UNITS HORIZONTAL (2%SLOPE). CRC R311.3.IE. OUTSIDE OF BATHROOM #1.
29. PROVIDE OPENING PROTECTION BETWEEN THE DWELLING AND THE GARAGE. SOLID WOOD DOOR NOT LESS THAN 1 - 3/8” THICK, SELF - CLOSING AND SELF - LATCHING. (CRC R305.5.1).
30. PROVIDE 18”x24” MINIMUM UNDER - FLOOR / CRAWLDSPACE. ACCESS SHALL BE PROVIDED THROUGHOUT THE UNDER- FLOOR SPACE. CRC R408.4.
31. GAS BURN APPLIANCES ARE NOT ALLOWED BY THE CITY OF SAN JOSE FOR 2019 CODE AND EVERY UNIT SHOULD BE ELECTRICAL. ENERGY CALCS SHOWS NATURAL GAS WHICH IS NOT ALLOWED. CHARG ALL UNIT TO ELECTRICAL SOLAR PANELS ARE REQUIRED FOR COMPLIANCE. REVISE THE ENERGY CALCS.
32. SOLAR PANEL ARE REQUIRED TO COMPLY WITH 2019 ENERGY CODE AS PER CITY OF SAN JOSE REQUIREMENTS. SHOW LOCATION OF SOLAR PANELS ON ROOF WITH PROPER AT RIDGE AT EAVE & THEIR CONFECTION TO ROOF STRUCTURE IF INSTALLED ON ROOF OR AT ANY OTHER LOCATION.

BATHROOMS REQUIREMENTS:

1. PROVIDE A NEW FAN IN ALL BATHROOMS. BATH FANS SHALL PROVIDE A MINIMUM OF 50 CUBIC FEET PER MINUTE MECHANICAL VENTILATION, AND SHALL BE VENTED TO THE EXTERIOR (AT LEAST 3 FEET AWAY FROM ANY AIR INTAKE INTO THE BUILDING)
2. GFCI PROTECTION SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS. AT LEAST ONE OUTLET SHALL BE PROVIDED ADJACENT TO EACH SINK.
3. SHOWER WALL NON - ABSORBANT FINISH (TILE OR OTHER IMPERVIOUS MATERIAL) SHALL EXTEND A MIN OF 72” ABOVE THE DRAIN.
4. SHOWER COMPARTMENTS, SHALL HAVE A MINIMUM FINSIHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 - INCH CIRCLE.
5. PROVIDE SAFETY GLAZING IS REQUIRED FOR TUB AND SHOWER ENCLOSURES, PANELS, AND DOORS.
6. APPROVED PRESSURE - BALANCED VALVES OR THERMOSTATIC MIXING TYPE ADJUSTED TO 120*F MAX.
7. BASE MATERIAL BENEATH SHOWER PAN SHALL BE SLOPE ¼” INCH PER FOOT MIN. TO A 2 INCH DRAIN.
8. SHOWER FIXTURES SHALL NOT DIRECTLY FACE/ DISCHARGE TOWARDS THE SHOWER ENCLOSURE DOOR.
9. PROVIDE MINIMUM 15 INCHES DIMENSION FROM CENTER LINE OF THE WATER CLOSETS TO WALL OR BARRIER EACH SIDE, AND PROVIDE A CLEAR SPACE OF NOT LESS THAN 24 INCHES IN FRONT OF EACH WATER CLOSET. (CPC 402.5)
10. VENT THE DRYER TO THE EXTERIOR OF THE BUILDING AND MAINTAIN A 36” TO OPENINGS INTO THE BUILDING. THE VENT (EXHAUST DUCT) OF DOMESTIC CLOTHES DRYERS MUST MEET THE FOLLOWING REQUIREMENTS: MAXIMUM LENGTH (COMBINED HORIZONTAL AND VERTICAL AND INCLUDING ANY ELBOWS): 14 FEET MAXIMUM 90 DEGREES ELBOWS: 2 IF MORE THAN TWO 90 - DEGREE ELBOWS, DEDUCT 2 FEET FROM ALLOWED VENT LENGTH FOR EACH ADDITIONAL ELBOW. FOLLOW THE MANUFACTURER INSTALLATION INSTRUCTIONS NOTE: THE USE OF BOOSTER FANS TO INCREASE THE ALLOWABLE VENT LENGTH IS NOT PERMITTED.
11. OPENING TO THE SHOWER TO BE 22 - INCHES MINIMUM WITH A 22 - INCHES x 22 INCHES LANDING ON BOTH SIDE OF THE PENNING.

WATER CONSERVING PLUMBING FIXTURES TABLE PER 2022 CALIFORNIA MECHANICAL CODE

FIXTURES TYPE	NON-COMPLIANT PLUMBING	COMPLIANT PLUMBING FIXTURE
WATER CLOSET	EXCEED 1.6 GALLONS/FLUSH	SINGLE FLUSH TOILETS 1.28 GALLONS/FLUSH
SHOWER HEAD	EXCEED 1.8 GALLONS/FLUSH	1.8 GALLONS/MINUTE @ 80 PSI ALSO CERTIFIED TO THE PERFORMANCE CRITERIA OF U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS
FAUCETS, LAVATORY	EXCEED 2.2 GALLONS/FLUSH	1.2 GALLONS/MINUTE @ 60 PSI
KITCHEN	EXCEED 2.2 GALLONS/FLUSH	1.8 GALLONS/MINUTE @ 60 PSI MAY TEMPORARILY INCRESE UP TO 2.2 GALLONS/MINUTE @ 60 PSI

NOTES:

1. "HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT PROVIDE EVIDENCE THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTORS, PRIOR TO FINAL INSPECTION".

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

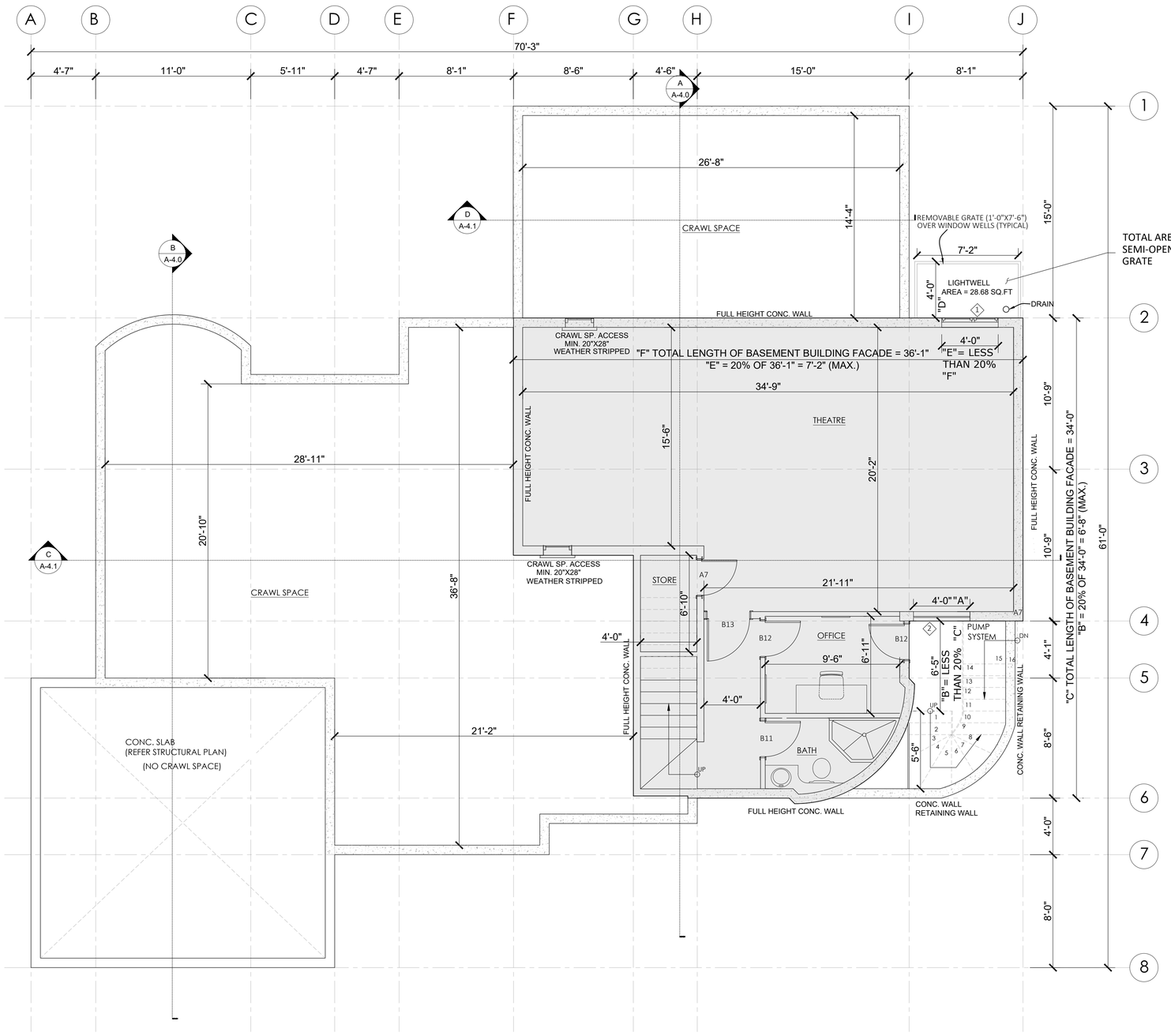
ARCHITECTURE NOTES

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
		9/23/2024	M. SAINI	K. KUMAR	M. SAINI	M. SAINI

A-1.0

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO A-4.0 SHEETS FOR BUILDING SECTIONS.
3. REFER TO A-5.0 SHEETS FOR TYPICAL DETAILS.
4. GARAGE WALLS AND CEILING TO BE FINISHED WITH $^{5}/_{8}$ INCH TYPE X GYPSUM BOARD ON GARAGE INTERIOR SIDE (CRC R302.6)
5. AT GAS METER, INSTALL EXCESS-FLOW OR SEISMIC ACTUATED GAS SHUT-OFF DEVICE, PER A.C.O. SECTION 15.16.140-1211
6. ALL PLUMBING WALLS TO BE MIN. 2x6
7. PLUMBING FIXTURES
   a. WATER CLOSETS - 1 .28 GALLONS PER FLUSH, MAXIMUM . CGBC 4.303.1 .1.
   b. SHOWERHEADS -2.0 GALLONS PER MINUTE, MAXIMUM. CGBC 4.303.1.3.
   c. LAVATORY FAUCETS - 1.2 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1.4.
   d. KITCHEN FAUCETS - 1 .8 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1 .4.4.
8. SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 41 8.0

LIGHT WELL OPENING TO AIR CALCULATIONS:

TOTAL AREA = 4 FT × 7.17 FT = 28.68 SQUARE FEET

MINIMUM OPEN AREA REQUIRED = 28.68 × 75% = 21.51 SQ. FT

MAXIMUM OBSTRUCTION ALLOWED = 30 × 25% = 6.67 SQ.FT

TOTAL AREA OF OBSTRUCTIONS = **2.10** SQ.FT < **6.67** SQ.FT (SEE CALC. BELOW)

STEEL GRATE SPECIFICATIONS

PLAIN FLAT WELDED BAR TYPE STEEL GRATING IS WIDELY USED IN THE PLATFORM, CORRIDOR, BRIDGE, WELL COVERS

PLAIN STEEL GRATING TYPES:
WELDED PLAIN STEEL GRATING
SWAGE-LOCKED PLAIN STEEL GRATING
PRESS-LOCKED PLAIN STEEL GRATING

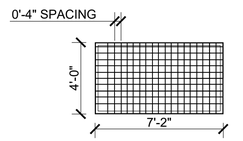
SIZE RANGE:
TYPE OF BEARING BAR: 100 X 6MM
PITCH OF BEARING BAR: 12.
DESIGN AND MANUFACTURE STANDARD STEEL GRATINGAND IN CUSTOMIZED SHAPES PER CLIENT REQUIREMENTS)
PITCH OF CROSS BAR: 38, 76, 50, 100
MATERIAL: MILD STEEL OR STAINLESS STEEL
FINISH: HOT DIP GALVANIZING, PAINTED, UNTREATED
STEEL GRATING STANDARDS:

1) USA: ANSI / NAAMM (MBG531 -)

CALCULATION:

OBSTRUCTIONS AREA:
THICKNESS OF 1 BAR = .25 INCHES = 0.0209 FT
DEPTH OF 1 BAR = 4 INCHES = 0.333 FT
NUMBER OF BARS PROVIDED = 9 BOTH DIRECTIONS

TOTAL AREA OF OBSTRUCTIONS
= 0.0209X9X4 =0.7525 SQ.FT
= 0.0209X9X7.17 =1.35 SQ.FT
= **2.10** SQ.FT < **6.67** SQ.FT



TYPICAL PLAN OF STEEL GRATE

2

LEGEND:

PRIMARY HOUSE (BASEMENT FLOOR)

AREA STATEMENT

1.	BASEMENT	= 971.0
	TOTAL AREA	= 971.0 SQFT.

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

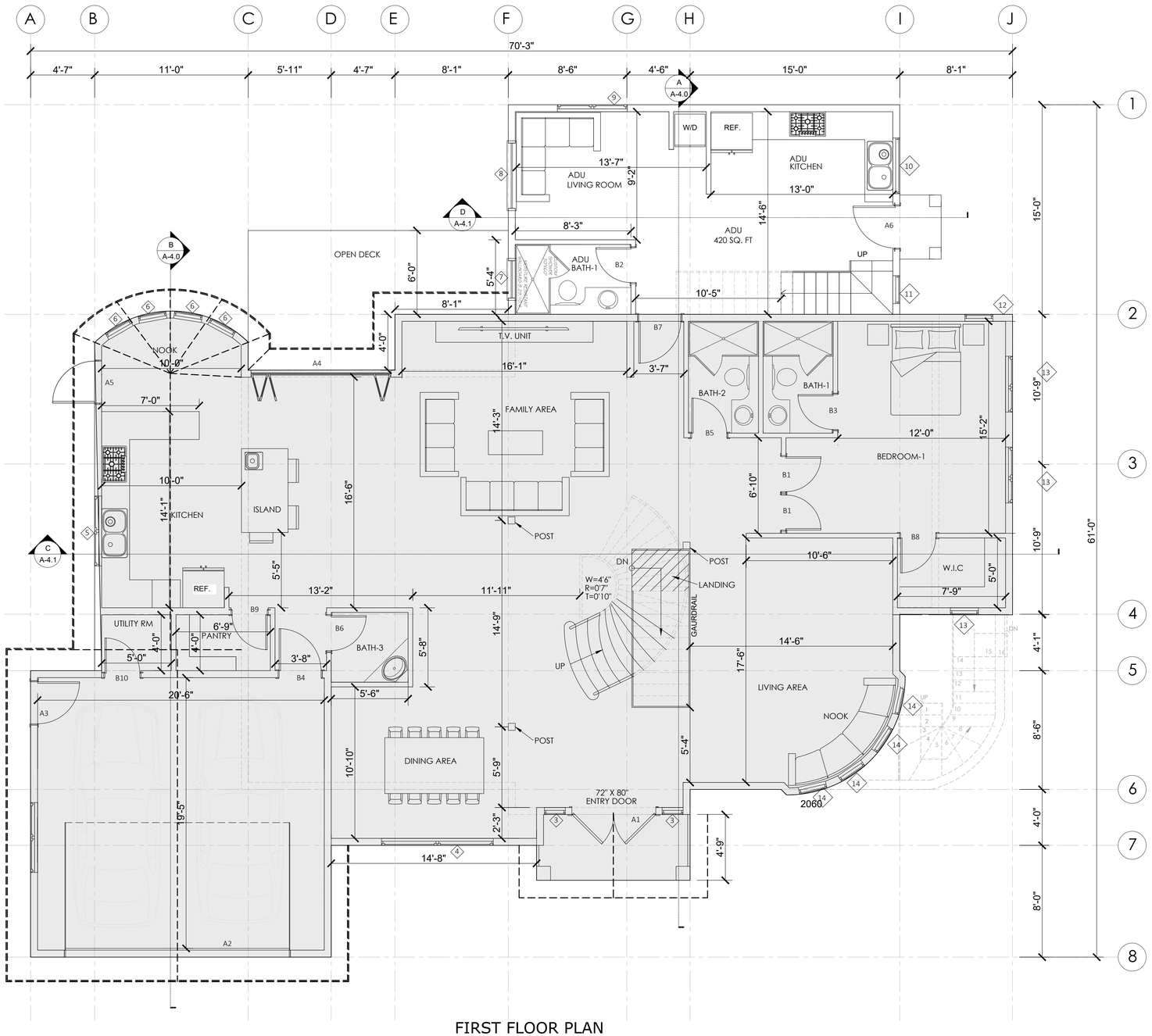
BASEMENT FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
1	ISSUED FOR REVIEW	4/10/2025	M. SAINI	K. KUMAR	M. SAINI	M. SAINI
2	ISSUED FOR REVIEW					

A-2.0

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO A-4.0 SHEETS FOR BUILDING SECTIONS.
3. REFER TO A-5.0 SHEETS FOR TYPICAL DETAILS.
4. GARAGE WALLS AND CEILING TO BE FINISHED WITH $^{5}/_{8}$ INCH TYPE X GYPSUM BOARD ON GARAGE INTERIOR SIDE (CRC R302.6)
5. AT GAS METER, INSTALL EXCESS-FLOW OR SEISMIC ACTUATED GAS SHUT-OFF DEVICE, PER A.C.O. SECTION 15.16.140-1211
6. ALL PLUMBING WALLS TO BE MIN. 2x6
7. PLUMBING FIXTURES
   a. WATER CLOSETS - 1 .28 GALLONS PER FLUSH, MAXIMUM . CGBC 4.303.1 .1.
   b. SHOWERHEADS -2.0 GALLONS PER MINUTE, MAXIMUM. CGBC 4.303.1.3.
   c. LAVATORY FAUCETS - 1.2 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1.4.
   d. KITCHEN FAUCETS - 1 .8 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1 .4.4.
8. SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 41 8.0

LEGEND:

PRIMARY HOUSE
(FIRST FLOOR)

A	TOTAL (NET) LOT AREA	13,645 SQFT	
PERMITTED LIVING AREA FOR LOT GREATER THAN 11,000 SQ FT PER R1-10			
B	MAX FLOOR AREA FOR 11,000 SQ FT AREA	3,850.0	SQ.FT
C	ADDITIONAL LOT AREA GREATER THAN 11,000 SQ FT	2,645.0	SQ.FT
D	ADDITIONAL FLOOR AREA (10% OF) ADDITIONAL 2,645 SQ FT LOT	264.5	SQ.FT
E	**TOTAL PERMITTED LIVING FLOOR AREA (B+D)**	**4,114.5**	**SQ.FT**
NEW (DESIGN) LIVING AREA			
F	FIRST FLOOR LIVING AREA	2,011.0	SQ.FT
G	GARAGE AREA	440.75	SQ.FT
H	**TOTAL PROPOSED DESIGN FLOOR AREA (F+G)**	**2,451.75**	**SQ.FT**
ADDITIONAL FLOOR AREA IN MAIN HOUSE			
I	PORCH	50.6	SQ.FT
J	**TOTAL AREA**	**2,502.35**	**SQ.FT**

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

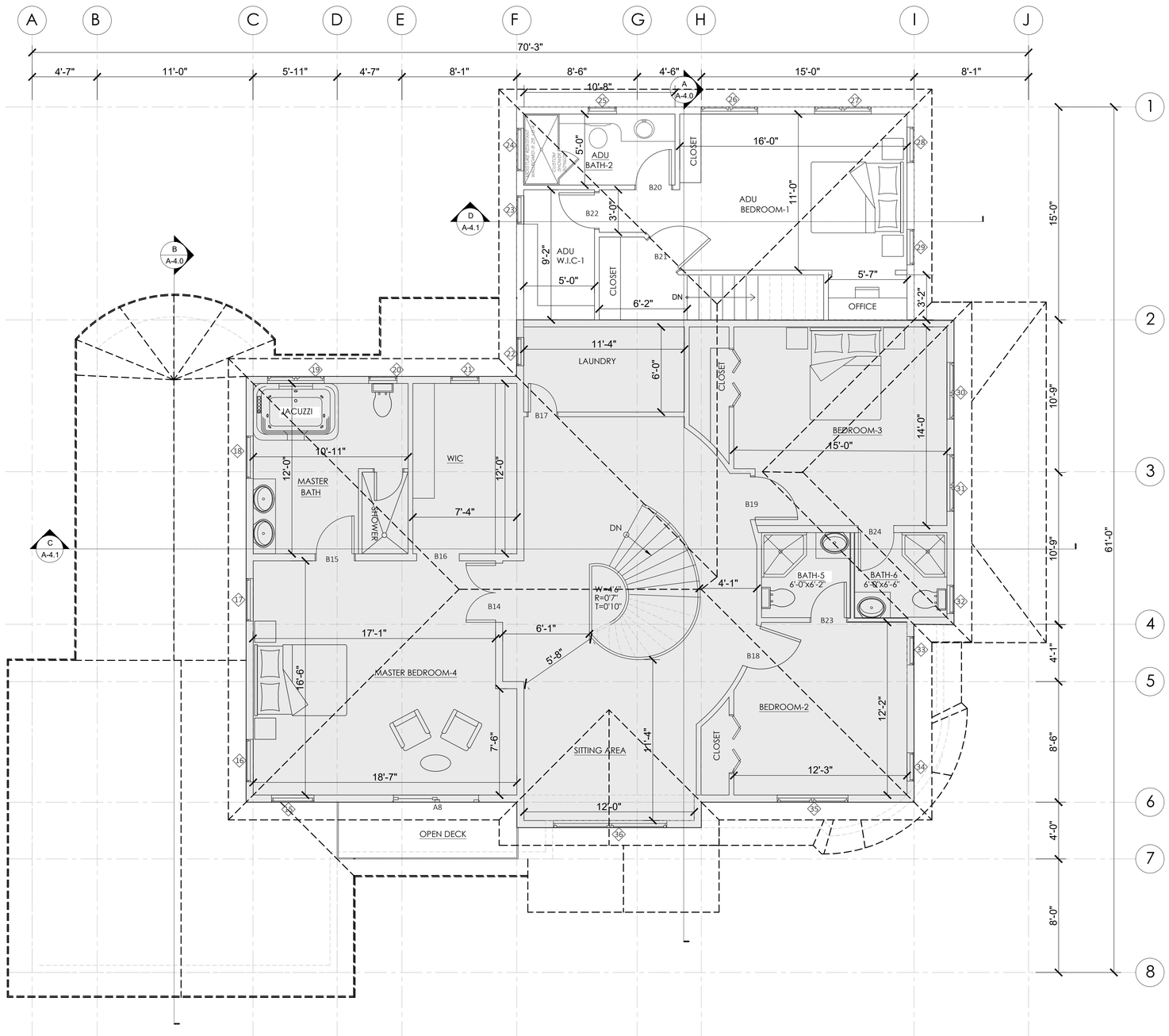
FIRST FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	
1	ISSUED FOR REVIEW	4/10/2025	DESIGNED BY: M. SAINI
2	ISSUED FOR REVIEW		DRAWN BY: K. KUMAR
			CHECKED BY: M. SAINI
			APPROVED BY: M. SAINI

A-2.1

● CONSTRUCTION
● CONSULTATION
● ARCHITECTURE
● ENGINEERING



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO A-4.0 SHEETS FOR BUILDING SECTIONS.
3. REFER TO A-5.0 SHEETS FOR TYPICAL DETAILS.
4. GARAGE WALLS AND CEILING TO BE FINISHED WITH $^{5}/_{8}$ INCH TYPE X GYPSUM BOARD ON GARAGE INTERIOR SIDE (CRC R302.6)
5. AT GAS METER, INSTALL EXCESS-FLOW OR SEISMIC ACTUATED GAS SHUT-OFF DEVICE, PER A.C.O. SECTION 15.16.140-1211
6. ALL PLUMBING WALLS TO BE MIN. 2x6
7. PLUMBING FIXTURES
   a. WATER CLOSETS - 1 .28 GALLONS PER FLUSH, MAXIMUM . CGBC 4.303.1 .1.
   b. SHOWERHEADS -2.0 GALLONS PER MINUTE, MAXIMUM. CGBC 4.303.1.3.
   c. LAVATORY FAUCETS - 1.2 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1.4.
   d. KITCHEN FAUCETS - 1 .8 GALLONS PER MINUTE, MAXIMUM . CGBC 4.303.1 .4.4.
8. SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. CPC 41 8.0

LEGEND:

PRIMARY HOUSE (SECOND FLOOR)

AREA STATEMENT

1.	SECOND FLOOR	= 1,609 SQFT
	ADDITIONAL AREA	
2.	OPEN DECK	= 50.7 SQFT
3.	**TOTAL (1+2)**	**= 1,659.7 SQFT**

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

SECOND FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
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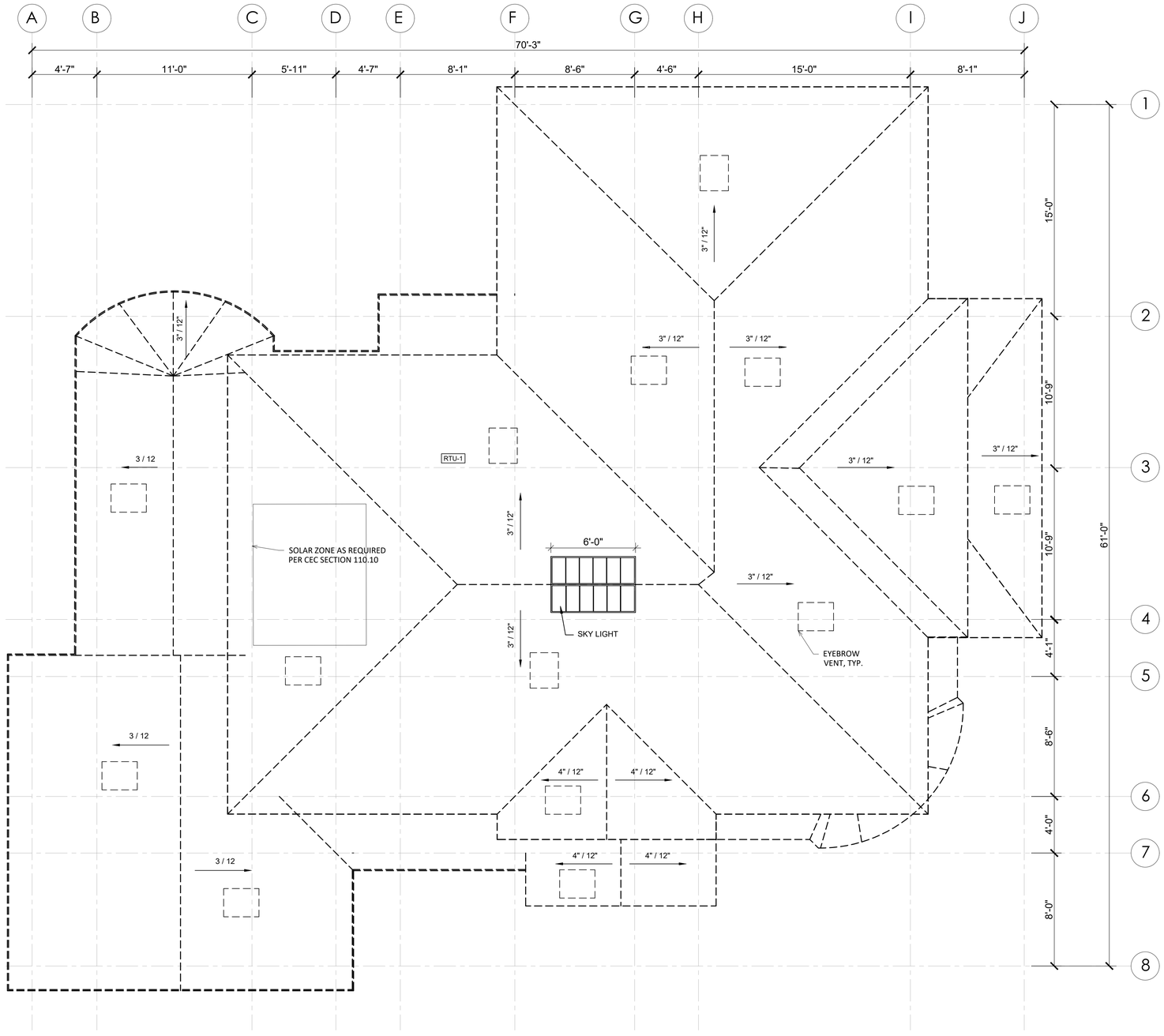
NO.	REVISIONS	DATE:	4/10/2025
1	ISSUED FOR REVIEW	DESIGNED BY:	M. SAINI
2	ISSUED FOR REVIEW	DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-2.2

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE



ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. TYPICAL ROOF PITCH IS 3:12 UNLESS OTHERWISE NOTED.

THESE NOTES ARE FOR THIS SHEET AND OTHER APPLICABLE SHEETS.

1. ROOFING TYPE - CONCRETE TILE ROOF.
2. ALL CONC. TILE SHALL COMPLY WITH C.B.C STANDARDS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. VERIFY ALL WITH CURRENT TILE ROOFING ASSOCIATIONS SPECS.
3. RIDGES, VALLEYS, HIP, EAVES AND RAKES SHALL BE CONSTRUCTED PER THE ROOFING MANUFACTURERS SPECIFICATIONS , MIN.
4. AT HE JUNCTURE OF ROOF AND VERTICAL SURFACES, FLASHING AND COUNTER FLASHING SHALL BE PROVIDED PER THE ROOFING MANUFACTURER'S INSTRUCTIONS MIN. AND HALL BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL AS PER C.B.C SECTION 1509.
5. ALL FLOOR, WALL , AND ROOF INSULATION SHALL MEET THE REQUIREMENTS OF C.B.C SECTION 707. SEE INSULATION SCHEDULE ON TITLE 24 ENERGY CALCULATION.
6. LOCATE ROOF VENTS AND OTHER ROOF PENETRATIONS IN AREA AWAY FROM ROOF HIPS. VALLEYS, RIDGES AND WALLS, VERIFY LOCATIONS WITH ARCHITECT.
7. FRAMER SHALL COORDINATE VENT OPENING WITH THE STRUCTURAL FRAMING, FIRE BLOCKING. DRAFT STOPPING AND WRAP BACK.
8. ALL ROOF AND WALL VENTS SHALL BE SEALED AND FLASHED, MIN.

ATTIC VENTILATION CALCULATIONS

1ST FLOOR ATTIC (ABOVE GARAGE & KITCHEN)
ATTIC AREA: 1,100 SQ. FT.

REQUIRED VENTILATION (PER CRC SECTION R806.2 EXCEPTION CONDITION 2):
1100 x $\frac{1}{300}$ = 3.67 SQ. FT. = 528.48 SQ. IN.

PROVIDED VENTILATION:
UPPER VENTILATION
(4) LOW PROFILE EYEBROW VENTS
FREE AIR SPACE = 70 SQ. IN. EACH
4 x 70 SQ. IN. = 280 SQ. IN.

EAVE VENTILATION
(27) VENTED FRIEZE BLOCKS EACH WITH (3) 2" Ø HOLES W/ CORROSION RESISTANT METAL MESH
FREE AIR SPACE = 9.42 SQ. IN. EACH
27 x 9.42 SQ. IN. = 254.34 SQ. IN.

TOTAL PROVIDED
EYEBROW VENTS 280 SQ. IN. (52%)
EAVE VENTS 254 SQ. IN. (48%)
TOTAL PROVIDED = 534 SQ. IN

2ND FLOOR ATTIC
ATTIC AREA: 2,564 SQ. FT.

REQUIRED VENTILATION (PER CRC SECTION R806.2 EXCEPTION CONDITION 2):
2,564 x $\frac{1}{300}$ = 8.55 SQ. FT. = 1230.72 SQ. IN.

PROVIDED VENTILATION:
UPPER VENTILATION
(10) LOW PROFILE EYEBROW VENTS
FREE AIR SPACE = 70 SQ. IN. EACH
10 x 70 SQ. IN. = 700 SQ. IN.

EAVE VENTILATION
(60) VENTED FRIEZE BLOCKS EACH WITH (3) 2" Ø HOLES W/ CORROSION RESISTANT METAL MESH
FREE AIR SPACE = 9.42 SQ. IN. EACH
60 x 9.42 SQ. IN. = 565 SQ. IN.

TOTAL PROVIDED
EYEBROW VENTS 700 SQ. IN. (55%)
EAVE VENTS 565 SQ. IN. (45%)
TOTAL PROVIDED = 1265 SQ. IN

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

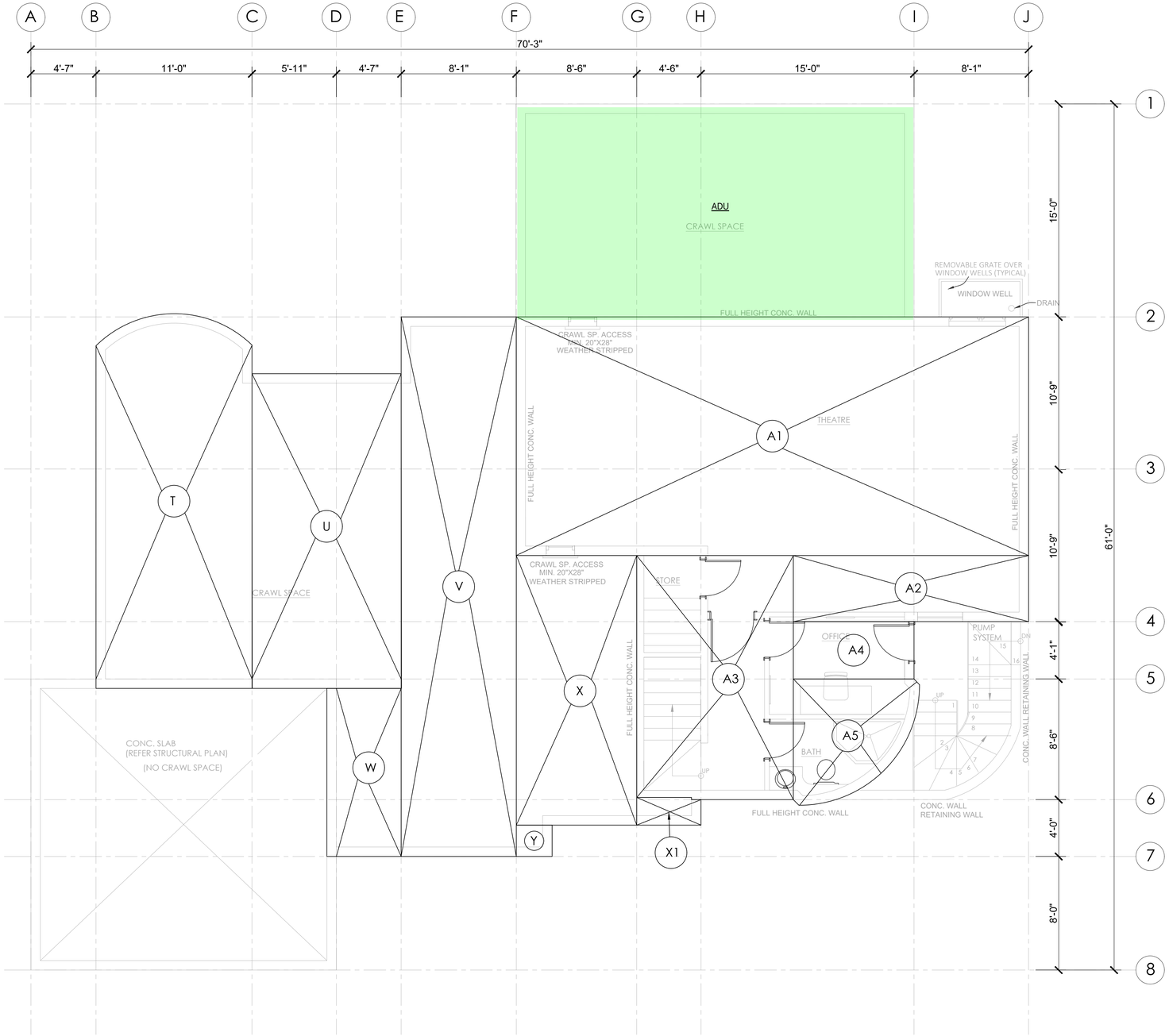
ROOF PLAN

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/10/2025
		DESIGNED BY:	M. SAINI
		DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-2.3

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE

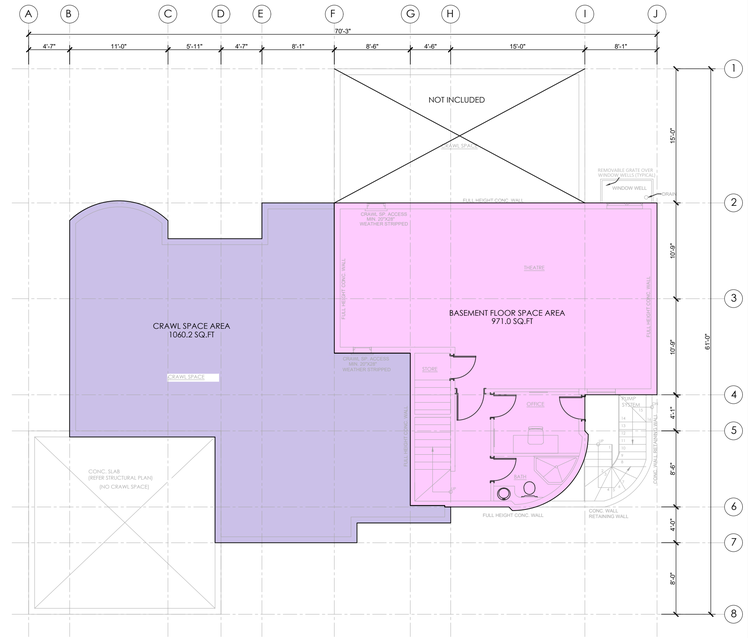


BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA AND COVERAGE CALCULATIONS							
SECTION	DIMENSIONS		AREA (SQ.FT)	SECTION	DIMENSIONS		AREA (SQ.FT)
BASEMENT							
T	24.2	11	282.1	U	10.5	22.2	232.8
V	8.1	38	307.8	W	5.167	11.8	61.146278
X	8.5	19	161.50	Y	2.52	2.22	5.6
				X1	4.6	1.92	8.8
TOTAL			751.40	TOTAL			308.33
Total (Sq. ft.)				1060			
BASEMENT LIVING AREA							
A1	36.18	16.75	606.0	A2	16.5	4.67	77.0
A3	11	17.23	189.5	A4	4	9	34.2
A5	Curve in shape		63.5				
TOTAL			859.05	TOTAL			111.18
Basement Living Area (Sq. Ft.)				971.0			

HABITABLE AREA							
A1	36.18	16.75	606.0	A2	16.5	4.67	77.0
A3	11	17.23	189.5	A4	4	9	34.2
A5	Curve in shape		63.5				
TOTAL			859.05	TOTAL			111.18
Basement Habitable Area (Sq. Ft.)				971.0			
CRAWL SPACE AREA							
T	24.2	11	282.1	U	10.5	22.2	232.8
V	8.1	38	307.8	W	5.167	11.8	61.146278
X	8.5	19	161.50	Y	2.52	2.22	5.6
				X1	4.6	1.92	8.8
TOTAL			751.40	TOTAL			308.33
Basement Non-Habitable Area (Sq. Ft.)				1060.0			



BASEMENT FLOOR KEY PLAN

SCALE: 1/8" = 1'-0"

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

CONSTRUCTION
CONSULTATION
ENGINEERING
ARCHITECTURE

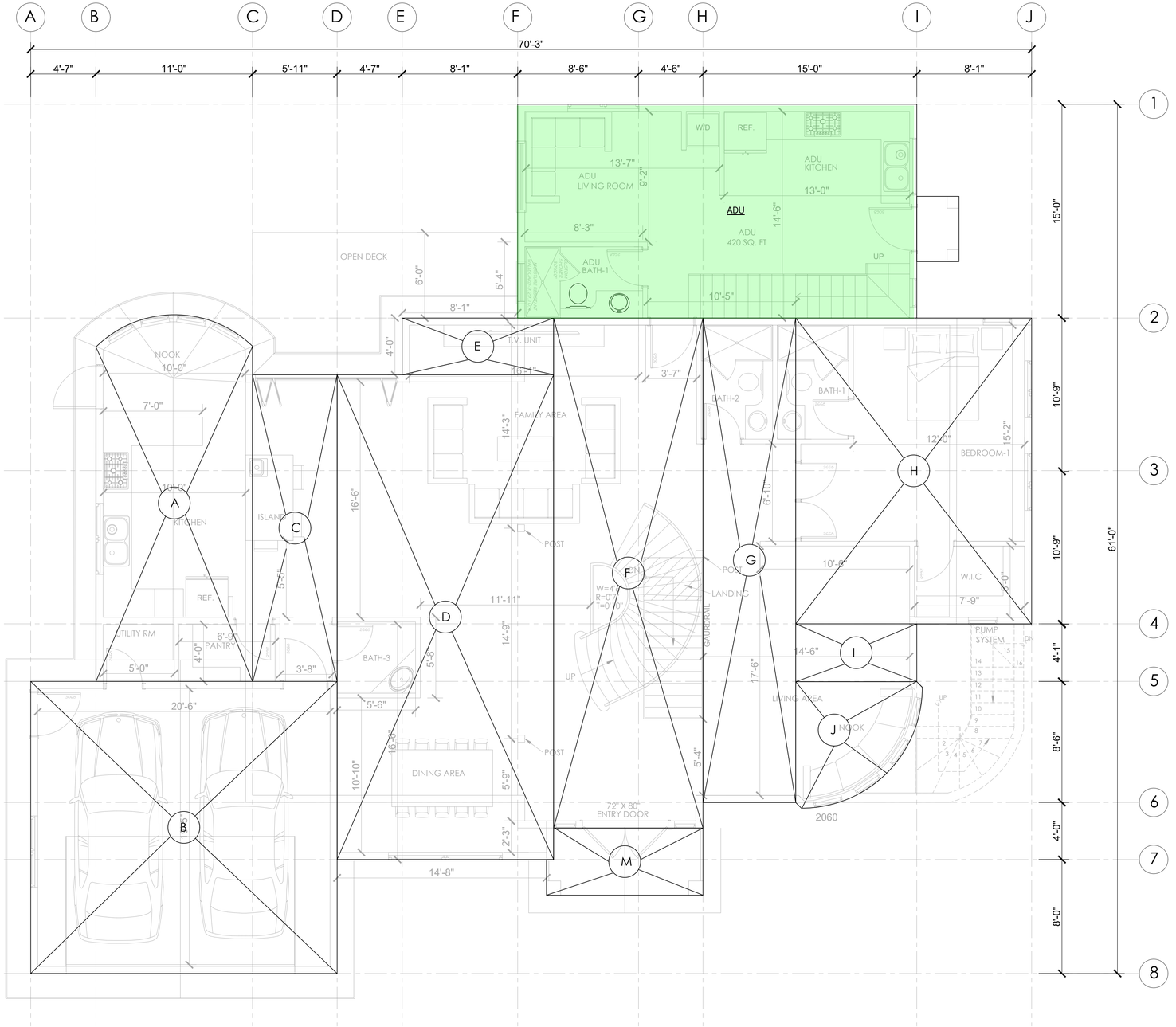
PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

BASEMENT FLOOR PLAN
&
AREA CALCULATIONS

REGISTERED PROFESSIONAL ENGINEER
ANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
1	ISSUED FOR REVIEW	DESIGNED BY:	M. SAINI
2	ISSUED FOR REVIEW	DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-2.4.



FIRST FLOOR PLAN

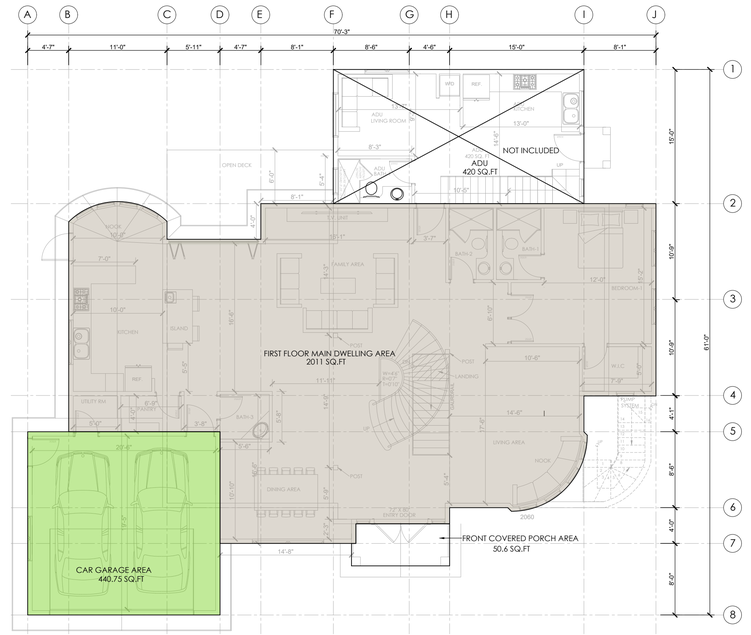
SCALE: 1/4" = 1'-0"

FLOOR AREA AND COVERAGE CALCULATIONS

SECTION	DIMENSIONS		AREA (SQ.FT)	SECTION	DIMENSIONS		AREA (SQ.FT)
First Floor							
A	23.5	11	274.8	C	5.9417	21.5	127.7
D	15.19	34	516.5	E	3.992	10.6	42.3
F	10.48	35.79	375.1	G	6.5	34.1	221.3
H	16.56	21.45	355.2	I	4.06	8.5	34.5
J	Curve in shape		63.4				
TOTAL			1585.0	TOTAL			425.9
TOTAL (Sq. ft.)				2011			
Garage							
B	21.5	20.5	440.75				
Total (Sq. ft.)				440.75			
Covered Porch							
M	10.7	4.725	50.6				
Total (Sq. ft.)				50.6			

HABITABLE AREA							
A	23.5	11	274.8	C	5.9417	21.5	127.7
D	15.19	34	516.5	E	3.992	10.6	42.3
F	10.48	35.79	375.1	G	6.5	34.1	221.3
H	16.56	21.45	355.2	I	4.06	8.5	34.5
J	Curve in shape		63.4				
TOTAL			1585.0	TOTAL			425.9
TOTAL (Sq. ft.)				2011			
NON-HABITABLE AREA							
B	21.5	20.5	440.75				
Total (Sq. ft.)				440.75			

2



FIRST FLOOR KEY PLAN

SCALE: 1/8" = 1'-0"

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

CONSTRUCTION
CONSULTATION
ENGINEERING
ARCHITECTURE

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

FIRST FLOOR PLAN
&
AREA CALCULATIONS

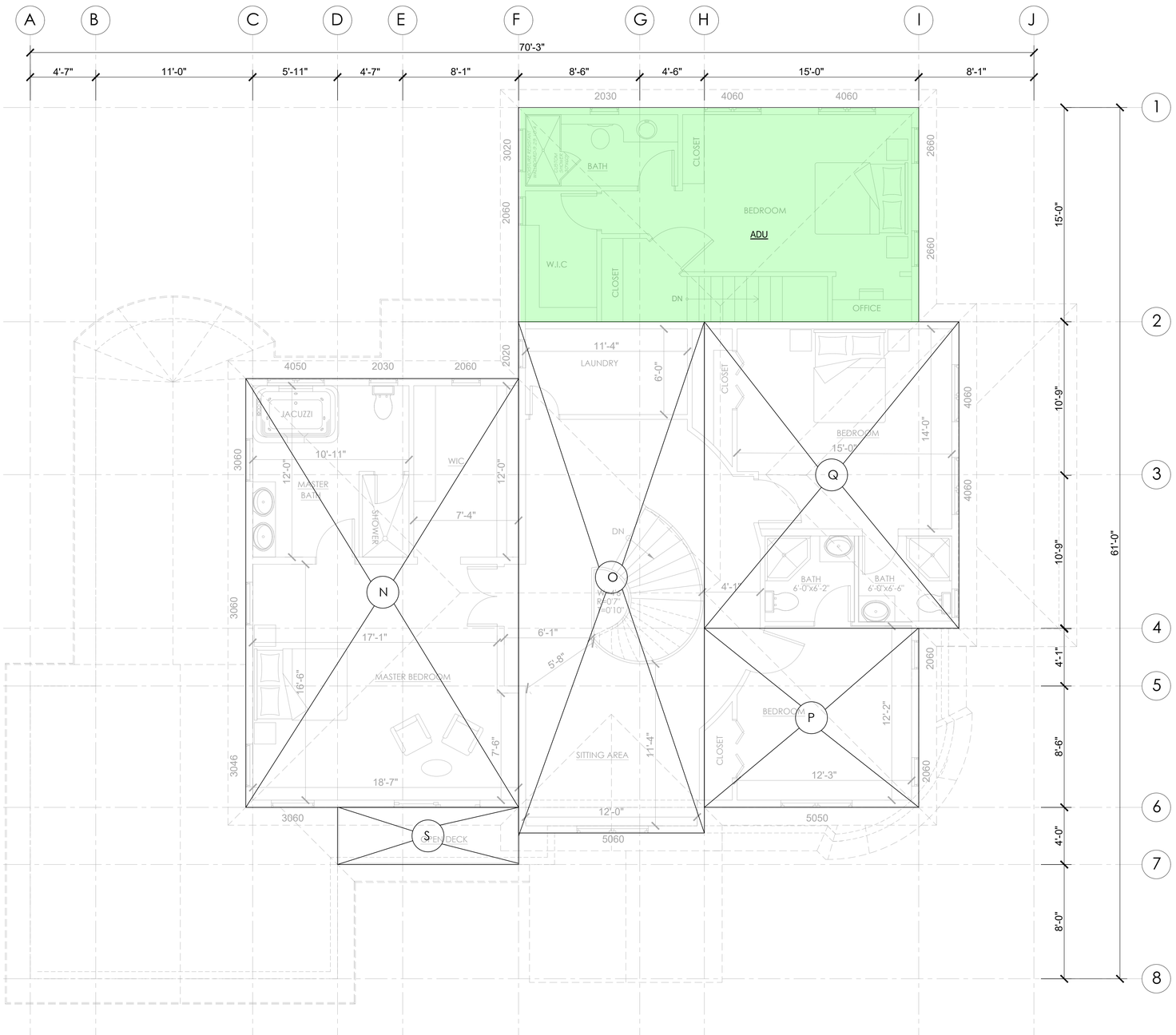
REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
1	ISSUED FOR REVIEW	DESIGNED BY:	M. SAINI
2	ISSUED FOR REVIEW	DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-2.5.

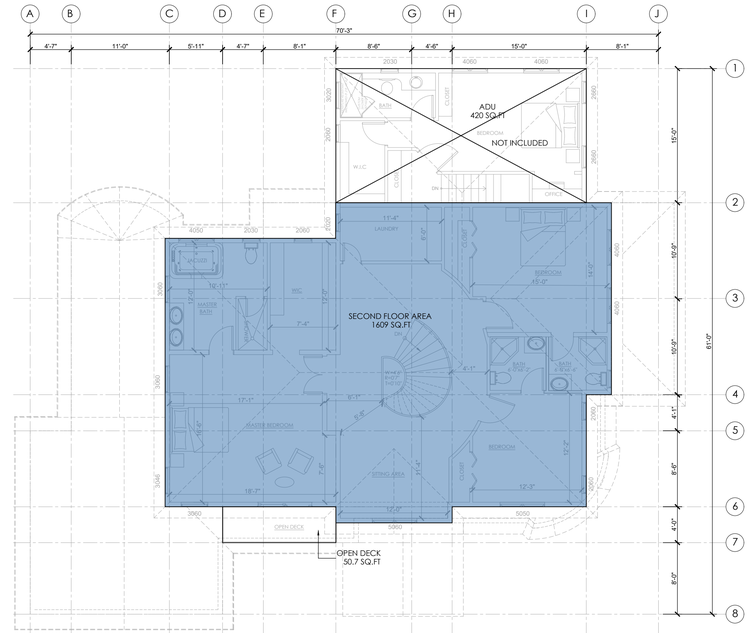
FLOOR AREA AND COVERAGE CALCULATIONS							
SECTION	DIMENSIONS		AREA (SQ.FT)	SECTION	DIMENSIONS		AREA (SQ.FT)
Second Floor							
N	19.07	30.025	572.6	O	13	35.8	465.4
P	15.1	12.45	188.0	Q	21.5	17.8	382.1
TOTAL			760.6	TOTAL			847
Total (Sq. ft.)				1609			
OPEN DECK							
S	12.67	4	50.7				
HABITABLE AREA							
Second Floor							
N	19.07	30.025	572.6	O	13	35.8	465.4
P	15.1	12.45	188.0	Q	21.5	17.8	382.1
TOTAL			760.6	TOTAL			847
Total (Sq. ft.)				1609			
Second Floor Habitable Living Area (Sq. Ft.)				1609			

2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR KEY PLAN

SCALE: 1/8" = 1'-0"

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

SECOND FLOOR PLAN
&
AREA CALCULATIONS

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
1	ISSUED FOR REVIEW	DESIGNED BY:	M. SAINI
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		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

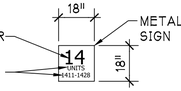
A-2.6

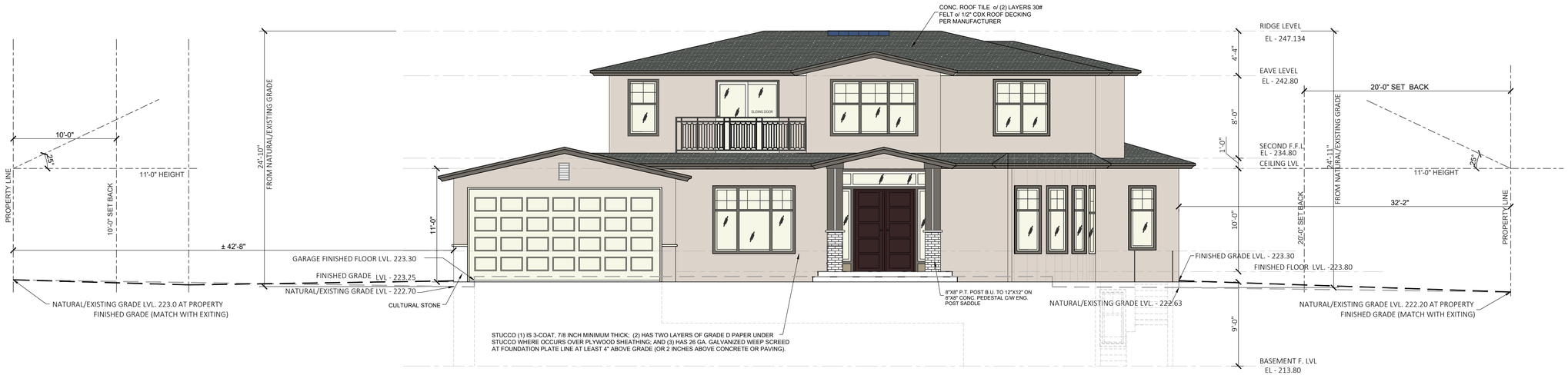
● CONSTRUCTION
● CONSULTATION
● ENGINEERING
● ARCHITECTURE

BUILDING ADDRESS SIGN:

12 INCH BLDG. ADDRESS NUMBER CONTRAST COLOR

4 INCH WITH ½" STROKE UNIT ADDRESS NUMBER CONTRAST COLOR





FRONT ELEVATION

SCALE: 3/16" = 1'-0"

SHEET NOTES:

THESE NOTES ARE FOR THE BUILDING EXTERIOR ELEVATIONS, PAINT COLOR REFLECT COLOR SCHEME BELOW.

1. CEMENT PLASTER FINISH - BODY COLOR 1 → (1)
2. CEMENT PLASTER FINISH - TRIM COLOR 1 → (2)
3. CONC. TILE ROOF OVER ROOF FELT → COLOR (3)
4. PAINTED METAL GUARDRAIL → COLOR (4)
5. GSM GUTTER OVER 2X WOOD FASCIA TRIM.
6. CULTURAL STONE → COLOR (5)

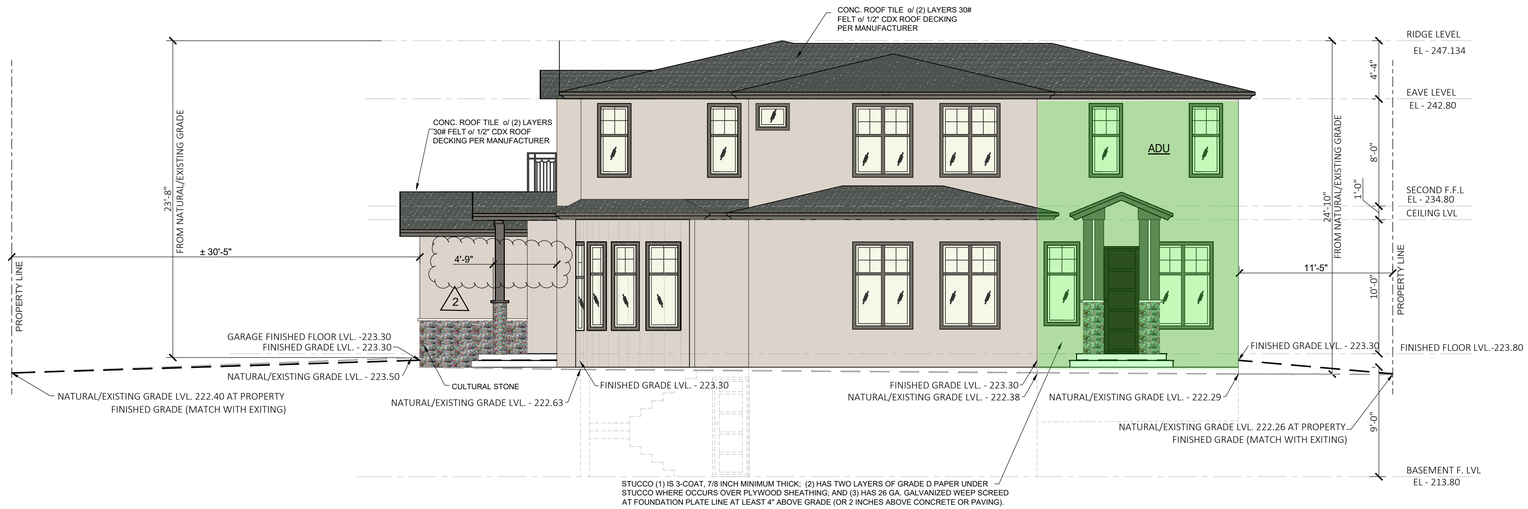
SPECIFICATIONS

1. ROOF
   - CONCRETE ROOF TILE OVER FELT UNDERLAY
   - 1/2" PLYWOOD EXT.
   - ENGINEERED ROOF TRUSSES @24"O/C
2. CEILING
   - R-51 BLOWN CELLULOSE
   - 6MIL. POLY VAPOUR BARRIER
   - 20X28 ATTIC ACCESS
   - VENT 1/300
   - 5/8" CEILING GYP.
   - R28 BATT OR R28 RIGID INSULATION
3. FASCIA/SOFFIT
   - EAVE PROTECTION
   - 4"X5" ALUM.GUTTER TYP
   - 2"X10" FASCIA BOARD
   - VENTED PLASTIC SOFFITS
4. EXT.WALL
   - STUCCO 1.5" WITH MIN.19MM STRAPPING
   - 1X3 P.T WOOD STRAPPING @ 16 O.C. VENT AIRSPACE) 30MM-2 LAYERS OF BUILDING PAPER
   - 1/2" PLYWOOD 2X6 STUDS @ 16" O.C
   - R-24 HIGH-DENSITY BATT INSULATION
   - 6MILL POLY VAPOUR BARRIER 1/2"" GYPROC
5. INTERIOR PARTION
   - 1/2" GPROC EACH SIDE
   - 2X4/6 STUDS @ 16 O.C.
6. SECOND FLOOR
   - 5/8 " T&G PLYWOOD SUBFLOOR
   - 1-1/2" CONC. SLAB
   - 11-7/8"FLOOR JOISTS AS PER. ENGINEERS SPECS
   - 2X2 DIAGONAL CROSS BRIDGING @ 7 O.C.
   - 5/8 " CEILING GYPROC
7. FLOOR SLAB
   - 5.5" CONCRETE FLOOR SLAB
   - 6MIL POLY VAPOUR BARRIER
   - R12 RIGID INSULATION UNDER SLAB
   - MIN. 5" GRANULAR FILL ON COMPACT
   - MAX.18 LAYERS
   - R28 HIGH DENSITY BATT
8. EXTERIOR FOUNDATION
   - DRAINAGE MATT
   - 2 COATS ASHPAULT EMULSION
   - 5/8"DIA. ANCHOR BOLTS @ 4 O.C.
   - 8" CONCRETE FOUNDATION WALL
   - R14
   - R12 RIGID UNDER SLAB
   - 2X4 @16" OC STUDS
   - 1/2"GYPROC
   - 24"X8 CONT. CONC. STRIP FOOTINGS
   - ON FIRM UNDISTURBED SOIL

COLOR SCHEME

(1)	BODY COLOR 1 BENJAMIN MOORE KITTEN WHISKERS 1003	
(2)	TRIM 1 BENJAMIN MOORE WINDY CITY CSP-150	
(3)	ROOF EAGLE ROOFING DARK CHARCOAL 4595 CONCRETE TILE	
(4)	RAILINGS BENJAMIN MOORE BLACK HC-190	
(5)	STONE CULTURAL STONE OLD COUNTRY FIELDSTONE ECO RIDE	

NOTE:
PAINT COLORS FOR EACH LOCATION SHOWN ARE THE SAME THROUGHOUT THE ENTIRE ELEVATION



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

● CONSTRUCTION
● CONSULTATION
● ENGINEERING
● ARCHITECTURE

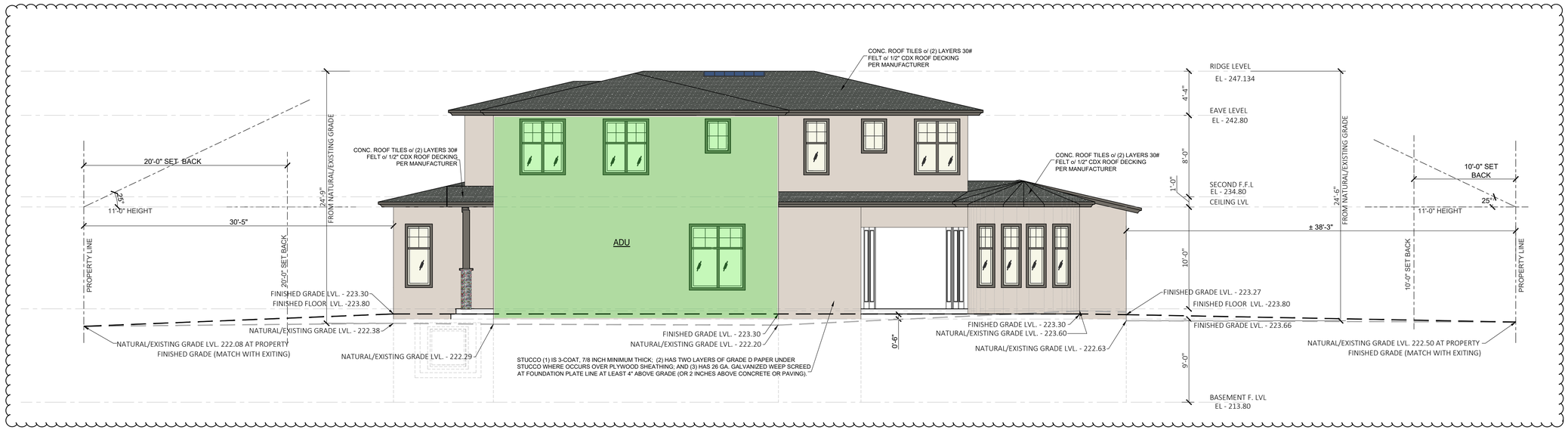
PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

FRONT AND LEFT ELEVATIONS

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
1	ISSUED FOR REVIEW	DESIGNED BY:	M. SAINI
2	ISSUED FOR REVIEW	DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-3.0



REAR ELEVATION

SCALE: 3/16" = 1'-0"

SHEET NOTES:

THESE NOTES ARE FOR THE BUILDING EXTERIOR ELEVATIONS, PAINT COLOR REFLECT COLOR SCHEME BELOW.

1. CEMENT PLASTER FINISH - BODY COLOR 1 → 1
2. CEMENT PLASTER FINISH - TRIM COLOR 1 → 2
3. CONC. TILE ROOF OVER ROOF FELT → COLOR 3
4. PAINTED METAL GUARDRAIL → COLOR 4
5. GSM GUTTER OVER 2X WOOD FASCIA TRIM.
6. CULTURAL STONE → COLOR 5

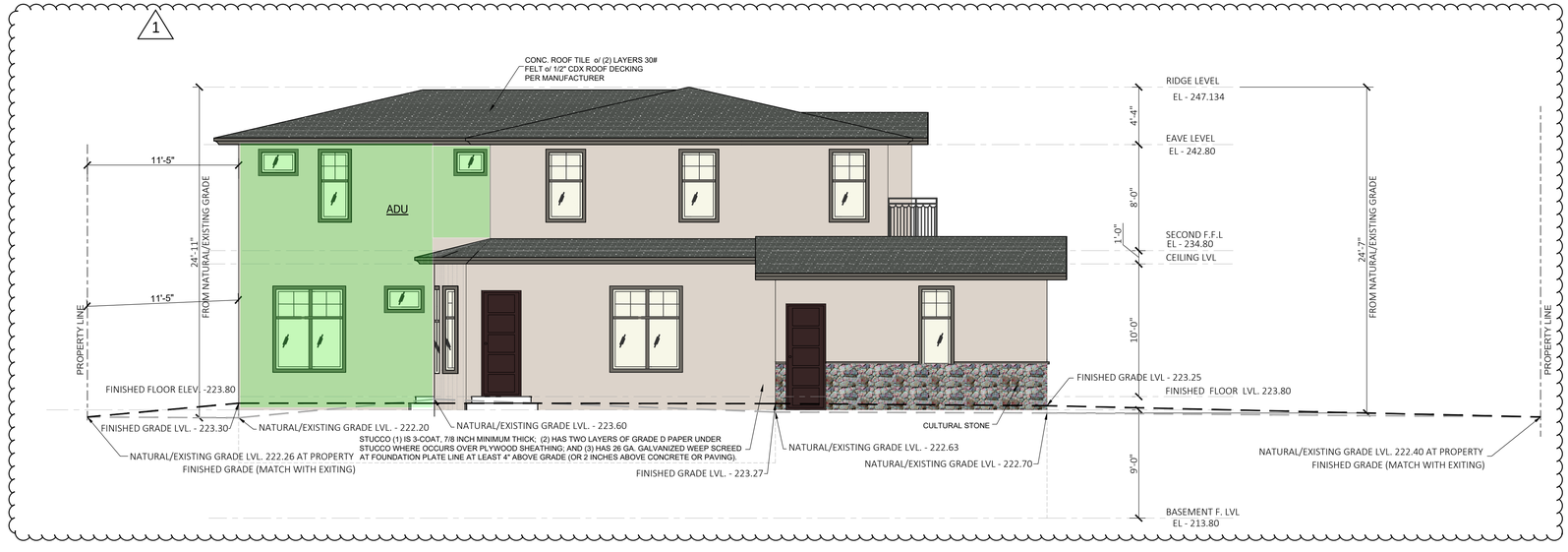
SPECIFICATIONS

1. ROOF
   - CONCRETE ROOF TILE OVER FELT UNDERLAY
   - 1/2" PLYWOOD EXT.
   - ENGINEERED ROOF TRUSSES @24"O/C
2. CEILING
   - R-51 BLOWN CELLULOSE
   - 6MIL. POLY VAPOUR BARRIER
   - 20X28 ATTIC ACCESS
   - VENT 1/300
   - 5/8" CEILING GYP.
   - R28 BATT OR R28 RIGID INSULATION
3. FASCIA/SOFFIT
   - EAVE PROTECTION
   - 4"X5" ALUM.GUTTER TYP
   - 2"X10" FASCIA BOARD
   - VENTED PLASTIC SOFFITS
4. EXT.WALL
   - STUCCO 1.5" WITH MIN.19MM STRAPPING
   - 1X3 P.T WOOD STRAPPING @ 16 O.C. VENT AIRSPACE) 30MM-2 LAYERS OF BUILDING PAPER
   - 1/2" PLYWOOD 2X6 STUDS @ 16" O.C
   - R-24 HIGH-DENSITY BATT INSULATION
   - 6MILL POLY VAPOUR BARRIER 1/2"' GYPROC
5. INTERIOR PARTION
   - 1/2" GPROC EACH SIDE
   - 2X4/6 STUDS @ 16 O.C.
6. SECOND FLOOR
   - 5/8 " T&G PLYWOOD SUBFLOOR
   - 1-1/2" CONC. SLAB
   - 11-7/8"FLOOR JOISTS AS PER. ENGINEERS SPECS
   - 2X2 DIAGONAL CROSS BRIDGING @ 7 O.C.
   - 5/8 " CEILING GYPROC
7. FLOOR SLAB
   - 5.5" CONCRETE FLOOR SLAB
   - 6MIL POLY VAPOUR BARRIER
   - R12 RIGID INSULATION UNDER SLAB
   - MIN. 5" GRANULAR FILL ON COMPACT
   - MAX.18 LAYERS
   - R28 HIGH DENSITY BATT
8. EXTERIOR FOUNDATION
   - DRAINAGE MATT
   - 2 COATS ASHPAULT EMULSION
   - 5/8"DIA. ANCHOR BOLTS @ 4 O.C.
   - 8" CONCRETE FOUNDATION WALL
   - R14
   - R12 RIGID UNDER SLAB
   - 2X4 @16" OC STUDS
   - 1/2"GYPROC
   - 24"X8 CONT. CONC. STRIP FOOTINGS
   - ON FIRM UNDISTURBED SOIL

COLOR SCHEME

1	BODY COLOR 1 BENJAMIN MOORE KITTEN WHISKERS 1003	
2	TRIM 1 BENJAMIN MOORE WINDY CITY CSP-150	
3	ROOF EAGLE ROOFING DARK CHARCOAL 4595 CONCRETE TILE	
4	RAILINGS BENJAMIN MOORE BLACK HC-190	
5	STONE CULTURAL STONE OLD COUNTRY FIELDSTONE ECO RIDE	

NOTE:
PAINT COLORS FOR EACH LOCATION SHOWN ARE THE SAME THROUGHOUT THE ENTIRE ELEVATION



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

CONSTRUCTION

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE,
LOS ALTOS, CA 94024
APN- 318-10-025

CONSULTATION

REAR AND RIGHT ELEVATIONS

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

ENGINEERING

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
1	ISSUED FOR REVIEW	1/21/2025	M. SAINI	K. KUMAR	M. SAINI	M. SAINI

ARCHITECTURE

A-3.1

SECTION A
SCALE: 1/4" = 1' A-2.1

SECTION B
SCALE: 1/4" = 1' A-2.1

SHEET NOTES:

THESE NOTES ARE FOR THE BUILDING EXTERIOR ELEVATIONS, PAINT COLOR REFLECT COLOR SCHEME BELOW.

1. CEMENT PLASTER FINISH - BODY COLOR 1 → 1
2. CEMENT PLASTER FINISH - TRIM COLOR 1 → 2
3. CONC. TILE ROOF OVER ROOF FELT → COLOR 3
4. PAINTED METAL GUARDRAIL → COLOR 4
5. GSM GUTTER OVER 2X WOOD FASCIA TRIM.
6. CULTURAL STONE → COLOR 5

SPECIFICATIONS

1. ROOF
   - CONCRETE ROOF TILE OVER FELT UNDERLAY
   - 1/2" PLYWOOD EXT.
   - ENGINEERED ROOF TRUSSES @24"O/C
2. CEILING
   - R-51 BLOWN CELLULOSE
   - 6MIL. POLY VAPOUR BARRIER
   - 20X28 ATTIC ACCESS
   - VENT 1/300
   - 5/8" CEILING GYP.
   - R28 BATT OR R28 RIGID INSULATION
3. FASCIA/SOFFIT
   - EAVE PROTECTION
   - 4"X5" ALUM.GUTTER TYP
   - 2"X10" FASCIA BOARD
   - VENTED PLASTIC SOFFITS
4. EXT.WALL
   - STUCCO 1.5" WITH MIN.19MM STRAPPING
   - 1X3 P.T WOOD STRAPPING @ 16 O.C. VENT AIRSPACE) 30MM-2 LAYERS OF BUILDING PAPER
   - 1/2" PLYWOOD 2X6 STUDS @ 16" O.C
   - R-24 HIGH-DENSITY BATT INSULATION
   - 6MILL POLY VAPOUR BARRIER 1/2'" GYPROC
5. INTERIOR PARTION
   - 1/2" GPROC EACH SIDE
   - 2X4/6 STUDS @ 16 O.C.
6. SECOND FLOOR
   - 5/8 " T&G PLYWOOD SUBFLOOR
   - 1-1/2" CONC. SLAB
   - 11-7/8"FLOOR JOISTS AS PER. ENGINEERS SPECS
   - 2X2 DIAGONAL CROSS BRIDGING @ 7 O.C.
   - 5/8 " CEILING GYPROC
7. FLOOR SLAB
   - 5.5" CONCRETE FLOOR SLAB
   - 6MIL POLY VAPOUR BARRIER
   - R12 RIGID INSULATION UNDER SLAB
   - MIN. 5" GRANULAR FILL ON COMPACT
   - MAX.18 LAYERS
   - R28 HIGH DENSITY BATT
8. EXTERIOR FOUNDATION
   - DRAINAGE MATT
   - 2 COATS ASHPAULT EMULSION
   - 5/8"DIA. ANCHOR BOLTS @ 4 O.C.
   - 8" CONCRETE FOUNDATION WALL
   - R14
   - R12 RIGID UNDER SLAB
   - 2X4 @16" OC STUDS
   - 1/2"GYPROC
   - 24"X8 CONT. CONC. STRIP FOOTINGS ON FIRM UNDISTURBED SOIL

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

CROSS SECTIONS

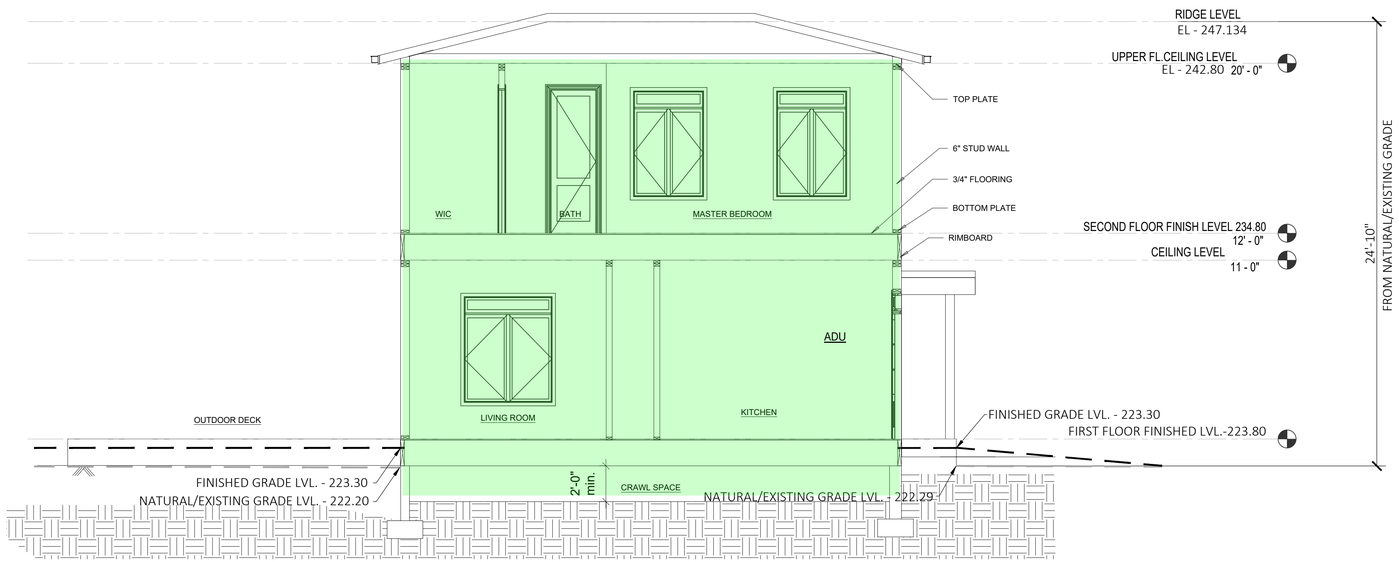
REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
		DESIGNED BY:	M. SAINI
		DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-4.0

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE

SECTION C
SCALE: 1/4" = 1' A-2.1



SECTION D
SCALE: 1/4" = 1' A-2.1

SHEET NOTES:

THESE NOTES ARE FOR THE BUILDING EXTERIOR ELEVATIONS, PAINT COLOR REFLECT COLOR SCHEME BELOW.

1. CEMENT PLASTER FINISH - BODY COLOR 1 → 1
2. CEMENT PLASTER FINISH - TRIM COLOR 1 → 2
3. CONC. TILE ROOF OVER ROOF FELT → COLOR 3
4. PAINTED METAL GUARDRAIL → COLOR 4
5. GSM GUTTER OVER 2X WOOD FASCIA TRIM.
6. CULTURAL STONE → COLOR 5

SPECIFICATIONS

1. ROOF
   - CONCRETE ROOF TILE OVER FELT UNDERLAY
   - 1/2" PLYWOOD EXT.
   - ENGINEERED ROOF TRUSSES @24"O/C

2. CEILING
   - R-51 BLOWN CELLULOSE
   - 6MIL. POLY VAPOUR BARRIER
   - 20X28 ATTIC ACCESS
   - VENT 1/300
   - 5/8" CEILING GYP.
   - R28 BATT OR R28 RIGID INSULATION

3. FASCIA/SOFFIT
   - EAVE PROTECTION
   - 4"X5" ALUM.GUTTER TYP
   - 2"X10" FASCIA BOARD
   - VENTED PLASTIC SOFFITS

4. EXT.WALL
   - STUCCO 1.5" WITH MIN.19MM STRAPPING
   - 1X3 P.T WOOD STRAPPING @ 16 O.C. VENT
   - AIRSPACE) 30MM-2 LAYERS OF BUILDING PAPER
   - 1/2" PLYWOOD 2X6 STUDS @ 16" O.C
   - R-24 HIGH-DENSITY BATT INSULATION
   - 6MILL POLY VAPOUR BARRIER 1/2"" GYPROC

5. INTERIOR PARTION
   - 1/2" GPROC EACH SIDE
   - 2X4/6 STUDS @ 16 O.C.

6. SECOND FLOOR
   - 5/8 " T&G PLYWOOD SUBFLOOR
   - 1-1/2" CONC. SLAB
   - 11-7/8"FLOOR JOISTS AS PER. ENGINEERS SPECS
   - 2X2 DIAGONAL CROSS BRIDGING @ 7 O.C.
   - 5/8 " CEILING GYPROC

7. FLOOR SLAB
   - 5.5" CONCRETE FLOOR SLAB
   - 6MIL POLY VAPOUR BARRIER
   - R12 RIGID INSULATION UNDER SLAB
   - MIN. 5" GRANULAR FILL ON COMPACT
   - MAX.18 LAYERS
   - R28 HIGH DENSITY BATT

8. EXTERIOR FOUNDATION

   DRAINAGE MATT
   2 COATS ASHPAULT EMULSION
   5/8"DIA. ANCHOR BOLTS @ 4.O.C.
   8" CONCRETE FOUNDATION WALL
   R14
   R12 RIGID UNDER SLAB
   2X4 @16" OC STUDS
   1/2"GYPROC
   24"X8 CONT. CONC. STRIP FOOTINGS
   ON FIRM UNDISTURBED SOIL

LEGEND:

ADU
(NOT INCLUDED)

ENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

CROSS SECTIONS

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61946
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	4/7/2025
		DESIGNED BY:	M. SAINI
		DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A-4.1

● CONSTRUCTION ● CONSULTATION ● ENGINEERING ● ARCHITECTURE

GENERAL SPECIFICATIONS

SITE CONSTRUCTION
1. REFER TO CIVIL AND LANDSCAPE ARCHITECTURAL DRAWINGS AND SPECIFICATION FOR MORE INFORMTAION.

2. FINAL GRADE SHALL BE SMOOTHED AND LEVELED.

3. EXTERIOR STAIRWAY CONSTRUCTION SHALL COMPLY WITH CBC SECTION 606.4, AND SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS OR WOOD NOT LESS THAN 2" NOMINAL THICKNESS.

WOOD
1. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

2. ALL INTERIOR NON-LOAD BEARING PARTITIONS TO BE 2x4, UNLESS OTHERWISE NOTED.

3. BRACE PARTITIONS TO ROOF STRUCTURE ABOVE AS REQUIRED.

4. GENERAL PARTITIONS SHALL EXTEND TO ABOVE FINISH CEILING

MECHANICAL, ELECTRICAL, PLUMBING
1. CONCEPTUAL MEP PLANS ARE FOR GENERAL LOCATIONS ONLY. CONTRACTOR SHALL DETERMINE FINAL DESIGN, FOLLOW ALL REGULATIONS, AND OBTAIN ALL PERMITS.

2. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOORS, ETC.

3. CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORKS.

4. CONTRACTOR SHALL PROVIDE REQUIRED PLUMBING AND MECHANICAL VENTS AND EXHAUST.

5. SMOKE ALARMS SHALL COMPLY WITH CBC SECTION 310 REQUIREMENTS

310.9.1.3 POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE RQUIRED FOR OVER-CURRENT PROTECTION.

310.9.1.4 LOCATION WITHIN DWELLING UNITS: IN DWELLING UNITS, A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A SMOKE ALARM SHALL BE INSTALLED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, THE SMOKE ALARMS SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. SMOKE ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

FINISHES
1. ALL EXPOSED SURFACES TO BE FINISHED.

2. UNLESS NOTED OTHERWISE, ALL SURFACES TO BE PAINTED SHALL RECEIVE A MINIMUM OF THREE COATS.

CEMENT PLASTER
1. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND MINIMUM REQUIREMENTS BELOW.

2. PORTLAND CEMENT: CONFORM TO STANDARD SPECIFICATIONS FOR PORTLAND CEMENT ASTM DESIGNATION C 150-53 TYPE I OR II FEDERAL SPECIFICATIONS NO. SS-3-351. MIX CEMENT IN ACCORDANCE WITH CBC TABLE 25-F.

3. METAL LATH: GALVANIZED METAL LATH 3.4#/SQ. YD. OR HEAVIER SELF FURRED GROOVED DIAMOND MESH.

4. BUILDING PAPER: ALL WATER PROOFED PAPER TO COMPLY WITH FEDERAL SPECIFICATIONS FOR GRADE D 60 MINUTES PAPER BACKING. APPLY TWO LAYERS OF BUILDING PAPER ON ALL EXTERIOR SURFACES TO BE PLASTERED.

5. ALL CEMENT PLASTER ACCESSORIES (IE EXPANSION CONTROL JOINTS, CASING BEADS, ETC) SHALL BE OF ZINC ALLOY, UNLESS OTHERWISE NOTED.)

6. CONTROL JOINTS: INSTALL AT LOCATIONS INDICATED ON ELEVATIONS, AND AT LOCATIONS COMPLYING WITH THE FOLLOWING CRITERIA AND APPROVED BY THE ARCHITECT:
   1) WHERE AN EXPANSION OR CONTROL JOINT OCCURS IN THE SURFACE OF CONSTRUCTION DIRECTLY BEHIND THE PLASTER MEMBRANE.
   2) THE DISTANCE BETWEEN THE CONTROL JOINTS IS NOT TO EXCEED 18 FEET IN ANY DIRECTION OR A LENGTH TO WIDTH RATIO OF 2½ TO 1.
   3) MAXIMUM 144 SQ. FT. OF WALL AREA.
   4) NOT MORE THAN 100 SQ. FT. IN AREA FOR HORIZONTAL SURFACES.

FOAM TRIM
1. BY BAYFOAM INC., 510-786-9663 OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

GYPSYM BOARD
2. USE LEVEL 5 FINISH FOR ALL WALLS, UNLESS OTHERWISE NOTED.

3. PROVIDE USG DUROCK OR DENSGLASS SHIELD BACKING BOARD FOR ALL CERAMIC TILE. MOISTURE RESISTANT GYPSUM BOARD IS NOT ACCEPTABLE.

4. PROVIDE 1-HR WALL AND CEILING BETWEEN GARAGE AND MAIN HOUSE. INSTALL ⅝" TYPE 'X' GYPSUM BOARD WITH TAPERED EDGES AT INTERIOR OF GARAGE WALLS, CEILING, AND STRUCTURAL MEMBERS.

5. INSTALL ⅝" TYPE 'X' GYPSUM BOARD WITH TAPERED EDGES AT EXPOSED SPACE OF WALLS AND SOFFITS UNDER INTERIOR STAIRS.

6. INSTALL ⅝" TYPE 'X' GYPSUM BOARD WITH TAPERED EDGES AT SHAFT WALLS. OPENINGS INTO A SHAFT ENCLOSURE SHALL BE PROTECTED AS REQUIRED BY THE BUILDING AND MECHANICAL CODE.

7. INSTALL CONTROL JOINTS AT SPACING AND LOCATIONS REQUIRED BY REFERENCED GYPSUM BOARD APPLICATION AND FINISH STANDARD, AND APPROVED BY THE ARCHITECT FOR VISUAL EFFECT.

8. PROVIDE ½" FURRING STRIPS AND VAPOR BARRIER WHERE GYPSUM BOARD IS TO BE INSTALLED OVER CONCRETE BELOW GRADE.

THERMAL & MOISTURE PROTECTION
1. MAINTAIN MINIMUM 18" CLEARANCE BETWEEN BOTTOM OF FLOOR JOISTS AND TOP OF FINISH GRADE IN ALL CRAWL SPACE AREAS, MIN. 12" CLEARANCE BETWEEN GRADE AND ALL OTHER HORIZONTAL FRAMING MEMBERS.

2. CONCRETE ROOF TILES BY EAGLE TILES ER-4660, OR APPROVED EQUAL.

3. INSTALLATION OF ROOF TILES AND FLASHINGS SHALL COMPLY WITH ICBO ER-6034P AND AS RECOMMENDED BY THE ROOF TILE INSTITUTE (WWW.ROOFTILE.ORG) AND THE ROOF MANUFACTURER.

4. PROVIDE MINIMUM NO. 30 FELT, ASTM D226 TYPE II BUILDING PAPER UNDERLAYMENT, UNLESS OTHERWISE NOTED, OR AS RECOMMENDED BY MANUFACTURER, WHICHEVER IS GREATER.

5. ALL METAL FLASHING SHALL BE OF MINIMUM NO. 26 GAUGE GALVANIZED STEEL SHEET METAL, UNLESS OTHERWISE NOTED, OR AS RECOMMENDED BY MANUFACTURER, WHICHEVER IS GREATER.

6. ALL METAL FLASHINGS THAT EXTEND BELOW GRADE OR ANY CONCRETE SLAB SHALL BE OF MINIMUM NO. 26 GAUGE STAINLESS STEEL.

7. ALL METAL FLASHINGS SHALL BE SEPARATED FROM WOOD BUILDING MATERIALS BY MINIMUM OF 20 LAYERS GRADE-D BUILDING PAPER OR 1 LAYER SELF-ADHERED WATERPROOF MEMBRANE.

8. ALL FLASHING FASTENERS SHALL BE MADE FROM COMPATIBLE MATERIALS WITH THE FLASHING TO AVOID GALVANIC CORROSION.

9. DISSIMILAR METALS SHALL BE SEPARATED BY MINIMUM 1 LAYER SELF-ADHERED WATERPROOF MEMBRANE.

10. ALL TUB/SHOWER WALLS TO BE OF NON-ABSORBANT MATERIALS

PIPING SCHEDULE

PIPE	SIZE	JOINING METHOD	NOTES
SANITARY WASTE BELOW GRADE	ALL	SOLVENT	ABS
SANITARY WASTE ABOVE GRADE	ALL	SOLVENT	ABS
SANITARY VENT	ALL	SOLVENT	ABS
CONDENSATE PIPING	ALL	SOLVENT	PVC
GAS PIPING	ALL	THREADED	GALVANIZED STEEL
DOMESTIC WATER	ALL	LEAD-FREE 95/5 SOLDER	TYPE L OR K COPPER
ROOF DRAIN	ALL	SOLVENT	SCHEDULE 40 ABS DWV

APPLIANCE & FIXTURE SCHEDULE

MARK	DESCRIPTION
M	BUILT-IN MICROWAVE CABINET
R/O	30" WIDE COOKTOP & OVEN
REF	REFRIGERATOR, SHOWN FOR LOCATION REFERENCE ONLY
DW	DISHWASHER BELOW
W	CLOTHES WASHER, SHOWN FOR LOCATION REFERENCE ONLY
D	DRYER, SHOWN FOR LOCATION REFERENCE ONLY
SH	SHOWER WITH PAN, CERAMIC TILE SURROUND AND TEMPERED GLASS ENCLOSURE
T/S	SHOWER/TUB WITH CERAMIC TILE SURROUND ASSEMBLY AND CURTAIN ROD.

EQUIPMENT SCHEDULE

MARK	DESCRIPTION
WH	GAS-FIRED TANKLESS WATER HEATER STATE GTS-240-NIH DIRECT VENT OR EQUIVALENT ENERGY FACTOR .94 GAS INPUT 160,000 BTUH
FAU	GAS-FIRED FURNACE TRANE XL95 TUH2D120A960VA OR EQUIVALENT MINIMUM AFUE 95 MINIMUM OUTPUT 75,000 BTUH
AC	AIR CONDITIONING UNIT TRANE XL16i 4TTX6024J OR EQUVALENT MINIMUM SEER RATING 14 MINIMUM COOLING CAPACITY 24,000 BTUH
H	KITCHEN EXHAUST FAN / RANGE HOOD GE JVX5300SJSS OR EQUVALENT VENTING 310 CFM DUCTING 7" ROUND
G	BATHROOM EXHAUST FAN W/ LED LIGHT PANASONIC FV-05-11VKL1 MINIMUM CFM 70

INSULATION SCHEDULE

LOCATION	DESCRIPTION
EXTERIOR WALLS	R-19, AS REQUIRED BY TITLE 24 ENERGY ANALYSIS
CEILING / ROOF	R-30, AS REQUIRED BY TITLE 24 ENERGY ANALYSIS
DUCT	R-6
INTERIOR WALLS	R-19, AS REQUIRED BY TITLE 24 ENERGY ANALYSIS
INTERIOR FLOORS	R-19, AS REQUIRED BY TITLE 24 ENERGY ANALYSIS & AS NEEDED FOR SOUND ATTENUATION.

FINISH SCHEDULE (TYP. ALL UNITS)

LOCATION	FLOOR	BASE	WALLS	CEILING	REMARKS
GARAGE	CONC		GYP1	GYP1	2
KITCHEN	ST	WD	GYP2	GYP2	
LAUNDRY	ST	WD	GYP2	GYP2	
POWDER ROOM	ST	WD	GYP2	GYP2	
LIVING	HW	WD	GYP1	GYP1	
DINING	HW	WD	GYP1	GYP1	
STAIRS	CPT	WD	GYP1	GYP1	
HALLWAY	CPT	WD	GYP1	GYP1	
BEDROOM 1 THRU 5	CPT	WD	GYP1	GYP1	1
BATH 1 THRU 4	ST	WD	GYP2	GYP2	3

REMARKS

1. CLOSET AND WALK IN CLOSETS (W.I.C.) TO MATCH FINISHES OF CORRESPONDING ROOMS.

2. LEVEL OF FINISH/PAINT NOT REQUIRED. TAPE AND SEAL EDGES TO ACHIEVE 1-HOUR FIRE RATING.

3. WALLS OF THE SHOWERS AND BATH TUBS MUST HAVE MINIMUM 72" HIGH NON - ABSORBENT FINISH

LEGEND

	MARK	DESCRIPTION
FLOOR	ST	STONE TILE
	CPT	CARPET
	HW	HARDWOOD FLOORING
BASE	WD	3 1/2" WOOD BOARD
WALLS	GYP1	GYPSUM BOARD, PAINTED, FLAT
	GYP2	GYPSUM BOARD, PAINTED, GLOSSY
CEILING	GYP1	GYPSUM BOARD, PAINTED, FLAT
	GYP2	GYPSUM BOARD, PAINTED, GLOSSY

ENGCO
CONSTRUCTION
CONSULTATION
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NARINDER PAUL
1501 OAKLEY DRIVE,
LOS ALTOS, CA 94024
APN- 318-10-025

FINISHED AND FIXTURES SCHEDULE

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

NO.	REVISIONS	DATE: 11/25/2024
		DESIGNED BY: M. SAINI
		DRAWN BY: K. KUMAR
		CHECKED BY: M. SAINI
		APPROVED BY: M. SAINI

A-4.2

DOOR SCHEDULE

MARK	LOCATION	SIZE	TYPE	MATERIAL	NOTES	HARDWARE GROUP	GLAZING
EXTERIOR DOORS							
A1	ENTRY	6'-0" x 8'-0"	2	SOLID CORE WOOD	DIMENSION IS FOR PAIR	E	
A2	GARAGE	16'-0" x 7'-0"	8	ALUMINUM		N/A	TEMPERED
A3	GARAGE	3'-0" x 8'-0"	5	SOLID CORE WOOD		E	
A4	DINING	10'-0" x 8'-0"	4	ALUMINUM	DIMENSION IS FOR PAIR	D	TEMPERED
A5	NOOK	3'-0" x 8'-0"	5	SOLID CORE WOOD		E	TEMPERED
A6	KITCHEN	3'-0" x 8'-0"	5	SOLID CORE WOOD		E	
A7	THEATER	2'-6" x 6'-8"	1	SOLID CORE WOOD		E	
A8	MSTR. BDRM.	5'-0" x 6'-8"	4	ALUMINUM	DIMENSION IS FOR PAIR	D	
INTERIOR DOORS							
B1	BDRM.-1	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B2	ADU BATH-1	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B3	BATH-1	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B4	GARAGE	3'-0" x 6'-8"	1	SOLID CORE WOOD	20 MIN. FIRE DOOR ASSEMBLY. SELF-CLOSING & SELF-LATCHING	A	
B5	BATH-2	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B6	BATH-3	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B7	STORAGE	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B8	W.I.C.	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		C	
B9	PANTRY	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B10	UTILITY RM	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B11	BATH-5	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B12	OFFICE	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B13	THEATER	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B14	MSTR. BDRM.	5'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B15	MSTR. BATH	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B16	MSTR. W.I.C.	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		C	
B17	LAUNDRY	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		C	
B18	BDRM.-2	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B19	BDRM.-3	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B20	ADU BATH-1	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B21	ADU BDRM.-1	3'-0" x 6'-8"	1	HOLLOW CORE WOOD		B	
B22	ADU W.I.C -1	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		C	
B23	BATH-7	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	
B24	BATH-8	2'-6" x 6'-8"	1	HOLLOW CORE WOOD		B	

HARDWARE GROUPS

A. OCCUPANCY SEPARATION DOOR (U-1 TO R-3)
- KEYED ENTRY MORTISE BOLT
- ENTRY LOCK SET
- FULL MORTISE HINGES
- WEATHER STRIPPING
- TOP JAMB MOUNTED AUTOMATIC CLOSER

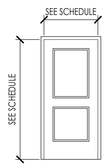
B. PRIVACY DOORS
- PRIVACY LOCK SET
- FULL MORTISE HINGES

C. PASSAGE DOORS
- PASSAGE LATCH SET
- FULL MORTISE HINGES

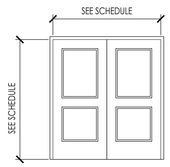
D. SLIDING CLOSET DOORS
- FINGER SLOT PUSH/PULL
- SLIDING TRACK MECHANISM

E. EXTERIOR DOORS
- KEYED ENTRY MORTISE BOLT
- ENTRY LOCK SET
- FULL MORTISE HINGES
- WEATHER STRIPPING

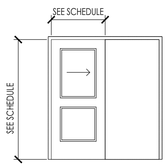
INTERIOR DOOR TYPES



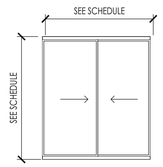
TYPE 1
2 PANELS
INTERIOR WOOD PANEL DOOR AND WOOD FRAME



TYPE 2
2 PANELS
PAIR INTERIOR WOOD PANEL DOORS AND WOOD FRAME



TYPE 3
2 PANELS
INTERIOR WOOD PANEL POCKET DOOR AND FRAME ASSEMBLY

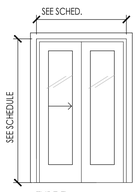


TYPE 4
INTERIOR ALUMINUM W/ TEMPERED MIRROR SLIDING DOORS AND TOP/BOTTOM TRACKS

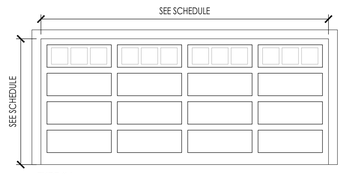
EXTERIOR DOOR TYPES

TYPE 5
EXTERIOR SOLID CORE WOOD PANEL DOUBLE DOOR AND FRAME

TYPE 6
EXTERIOR FRENCH DOOR AND FRAME W/ TEMPERED VISION LITE. MATERIAL TO MATCH WINDOWS.



TYPE 7
EXTERIOR SLIDING DOOR AND FRAME W/ TEMPERED VISION LITE. MATERIAL TO MATCH WINDOWS.



TYPE 8A
SECTIONAL GARAGE DOOR WITH WINDOWS. PAINTED TO MATCH BUILDING COLOR. SEE COLOR EXHIBIT.

WINDOW SCHEDULE

MARK	LOCATION	SIZE	HEADER HEIGHT	REMARKS
1	OFFICE	3'-0" x 3'-6"	8'-0"	1
2	THEATER	4'-0" x 3'-6"	8'-0"	
3	ENTRY	1'-6" x 6'-8"	8'-0"	
4	DINNING	6'-0" x 6'-0"	8'-0"	
5	KITCHEN	4'-0" x 4'-0"	8'-0"	
6	NOOK	2'-0" x 6'-0"	8'-0"	
7	ADU BATH-1	3'-0" x 2'-0"	7'-0"	1
8	ADU LIVING	6'-0" x 6'-0"	8'-0"	
9	ADU LIVING	5'-0" x 6'-0"	8'-0"	
10	ADU KITCHEN	4'-0" x 4'-0"	8'-0"	1
11	ADU STAIR	2'-0" x 2'-0"	15'-0"	1
12	BDRM.-1	2'-0" x 4'-0"	7'-0"	
13	W.I.C.	2'-0" x 2'-0"	7'-0"	
14	LIVING	2'-0" x 6'-0"	8'-0"	
15	MSTR. BDRM.	3'-0" x 5'-0"	7'-0"	1,2
16	MSTR. BDRM.	3'-0" x 5'-0"	7'-0"	1,2
17	MSTR. BDRM.	3'-0" x 5'-0"	7'-0"	1,2
18	MSTR. BATH	3'-0" x 5'-0"	7'-0"	1,2
19	MSTR. BATH	4'-0" x 5'-0"	7'-0"	
20	MSTR. BATH	2'-0" x 2'-0"	7'-0"	
21	MSTR. W.I.C	2'-0" x 5'-0"	7'-0"	
22	LAUNDRY	2'-0" x 2'-0"	7'-0"	
23	ADU W.I.C -1	2'-0" x 5'-0"	7'-0"	
24	ADU BATH-2	3'-0" x 2'-0"	7'-0"	
25	ADU BATH-2	3'-0" x 2'-0"	7'-0"	
26	ADU BDRM.-1	4'-0" x 5'-0"	7'-0"	
27	ADU BDRM.-1	4'-0" x 5'-0"	7'-0"	
28	ADU BDRM.-1	2'-0" x 5'-0"	7'-0"	
29	ADU BDRM.-1	2'-0" x 5-0"	7'-0"	
30	BDRM.-3	4'-0" x 5'-0"	7'-0"	
31	BDRM.-3	4'-0" x 5'-0"	7'-0"	
32	BATH-6	3'-0" x 2'-0"	7'-0"	
33	BDRM.-2	2'-0" x 5'-0"	7'-0"	
34	BDRM.-2	2'-0" x 5'-0"	7'-0"	
35	BDRM.-2	5'-0" x 5'-0"	7'-0"	
36	SITTING AREA	8'-0" x 5'-0"	7'-0"	
37	BASEMNT BATH	2'-6" x 3'-6"	8'-0"	

SCHEDULE REMARKS

1. TEMPERED GLAZING SEE GENERAL NOTES 1,2,3 FOR LOCATIONS OF TEMPERED GLAZING, SEE 8/A5.04.
2. WINDOW MUST MEET EGRESS REQUIREMENTS PER REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. VERIFY WITH WINDOW MANUFACTURER FOR ACTUAL CLEAR OPENING., SEE 3/A7.02

GENERAL NOTES

1. PROVIDE TEMPERED GLAZING AT ALL BATHTUB AND MASTER BATHTUB LOCATIONS.
2. PROVIDE TEMPERED GLAZING WHERE WINDOW IS WITHIN 18" OF ANY FLOOR OR GRADE.
3. PROVIDE TEMPERED GLAZING WHERE WINDOW IS WITHIN 24" FROM ANY DOORS.
4. ALL WINDOWS ARE TO BE LOW E DOUBLE PANE GLAZING, AND AS RECOMMENDED BY THE TITLE 24 ENERGY ANALYSIS.
5. ALL WINDOW FRAMES ARE TO BE VINYL FRAMES. SEE FRONT ELEVATIONS FOR COLOR.
6. INSTALL WINDOW PLUMB, STRAIGHT, IN TRUE ALIGNMENTS AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
7. INSTALL WINDOW PLUMB, STRAIGHT, IN TRUE ALIGNMENTS AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
8. ALL WINDOW FRAMES SHALL BE CAULKED WITH RESILIENT SEALANT TO PROVIDE AN AIRTIGHT SEAL. A BEAD OF RESILIENT CAULKING SHALL BE APPLIED TO ALL WINDOW CASINGS BEFORE INSTALLATION.
9. SEE SHEET A5.4 FOR FLASHING DETAILS.

TITLE 24 ENERGY REQUIREMENTS

TITLE 24 ENERGY ARE BASED ON THE FOLLOWING WINDOWS:

1. FRAMES: NON-METALLIC
2. U-FACTOR: 0.40 OR BETTER
3. SHGC RATING: 0.35 OR BETTER.

GENERAL NOTES

1. ALL DOORS SHALL COMPLY WITH THE MINIMUM STANDARDS SET FORTH IN THE PROJECT SPECIFICATIONS.
2. INSTALL DOORS AND FRAMES PLUMB, STRAIGHT, IN TRUE ALIGNMENT AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
3. FOR INTERIOR WOOD DOORS, PROVIDE HONEYCOMB CORE, TYP. UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE NOTED, LOCATE DOOR CENTERED TO WALL; OR LOCATE THE HINGE SIDE OF THE DOOR LEAF AT 6" (4" MINIMUM) FROM ADJACENT WALL OR OBSTRUCTION.
5. ALL HARDWARE LOCKING DEVICES MUST BE A TYPE WHICH ARE READILY DISTINGUISHABLE AS LOCKED. CBC 1008.1.8.3.
6. PROVIDE ALL EXTERIOR DOORS w/ALUMINUM THRESHOLDS AND JAMB WEATHER STRIPPING U.N.O. (THRESHOLD HEIGHT SHALL BE MAXIMUM 1/2").
7. SLIDING GLASS DOORS MUST HAVE SECONDARY DEAD BOLTS.
8. SAFETY GLASS FOR WINDOWS WILL BE PROVIDED WHEN 1). WINDOWS ARE ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF A DOOR. 2) WINDOWS ARE WITHIN 60" ABOVE A BATH TUB/SHOWER STANDING SURFACE. 3) WINDOWS GREATER THAN 9-SQ. FT. AND CLOSER THAN 18" TO THE FLOOR, TOP EDGE GREATER THAN 36" A.F.F. & WALKING SURFACE WITHIN 36" HORIZONTALLY OF GLAZING PLANE.
9. AT MAIN ENTRY PROVIDE STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE AND BELOW WITH 2-#8 BY 2" SCREWS.
10. COORDINATE AUTOMATIC ROLL-UP DOOR MECHANISM AND TRACKS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

ENGCO

● CONSTRUCTION

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE,
LOS ALTOS, CA 94024
APN- 318-10-025

● CONSULTATION

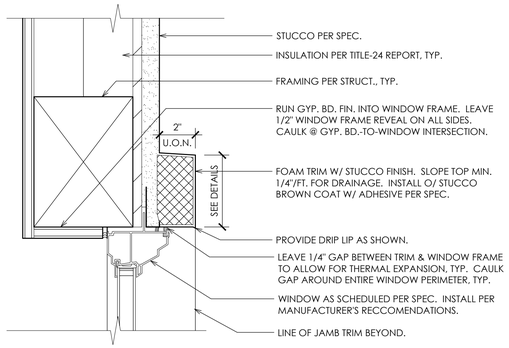
DOOR AND WINDOW SCHEDULE'S

REGISTERED PROFESSIONAL ENGINEER
MANJIT SAINI
No. C 61948
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
		11/25/2024	M. SAINI	K. KUMAR	M. SAINI	M. SAINI

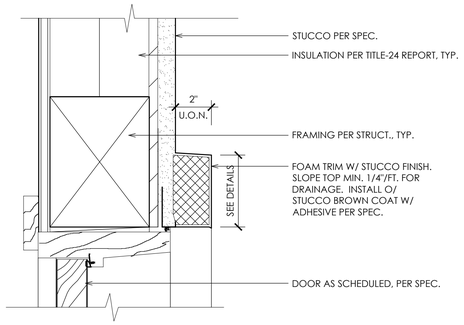
● ARCHITECTURE ● ENGINEERING

A-4.3



WINDOW HEAD (JAMB SIM.) — 12

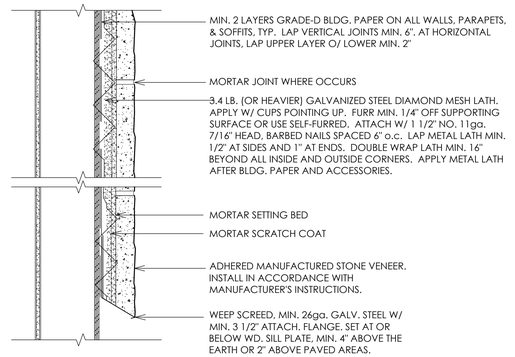
3"=1'-0"



DOOR HEAD — 11

3"=1'-0"

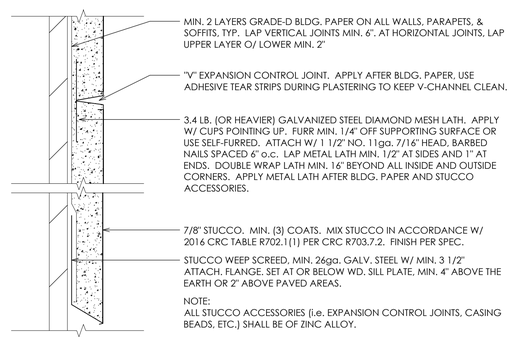
NOTE: STONE VENEER TO MATCH COLORS & STYLES AS SHOWN ON APPROVED COLOR BOARDS.



CULTURED STONE VENEER — 10

1-1/2" = 1'-0"

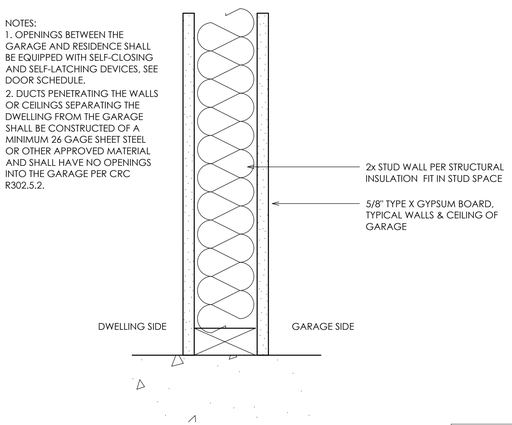
NOTE: STUCCO SHALL BE 7/8" THICK TO PROVIDE RATING OF OITC 37/STC 46.



NOTE:
ALL STUCCO ACCESSORIES (i.e. EXPANSION CONTROL JOINTS, CASING BEADS, ETC.) SHALL BE OF ZINC ALLOY.

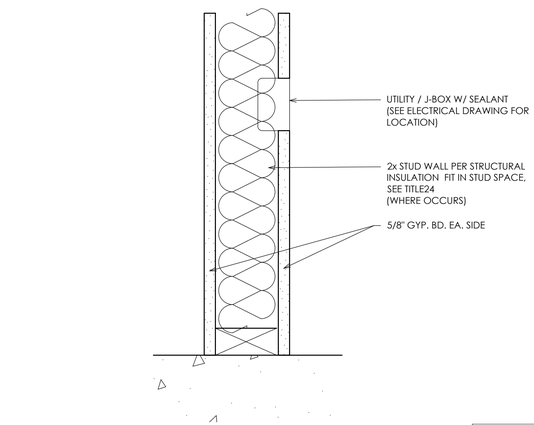
TYPICAL STUCCO — 9

6"=1'-0"



WINDOW SILL — 8

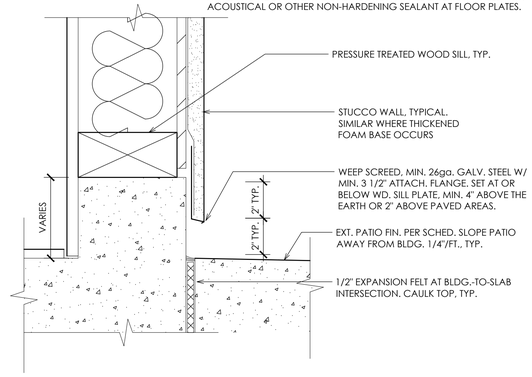
3"=1'-0"



DOOR @ THRESHOLD — 7

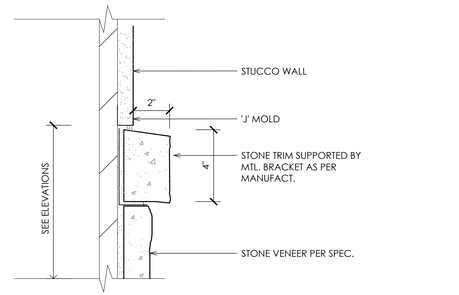
3"=1'-0"

NOTE: PROVIDE AIRTIGHT CONSTRUCTION AT ALL EXTERIOR WALLS WITH ACOUSTICAL OR OTHER NON-HARDENING SEALANT AT FLOOR PLATES.



EXTERIOR WALL @ WALK — 6

3"=1'-0"



STONE WATER TABLE — 5

3"=1'-0"

NOTES:
1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. SEE DOOR SCHEDULE.
2. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CRC R302.5.2.

DWELLING-GARAGE SEPARATION — 4

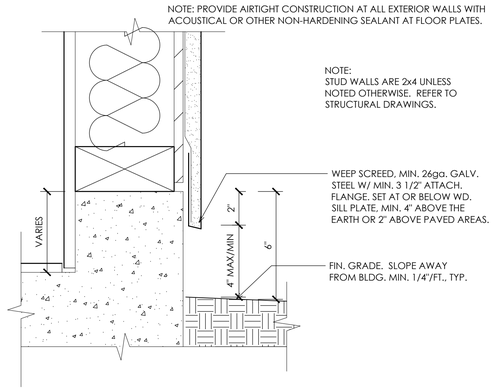
3"=1'-0"

TYPICAL NON-RATED INTERIOR WALL — 3

3"=1'-0"

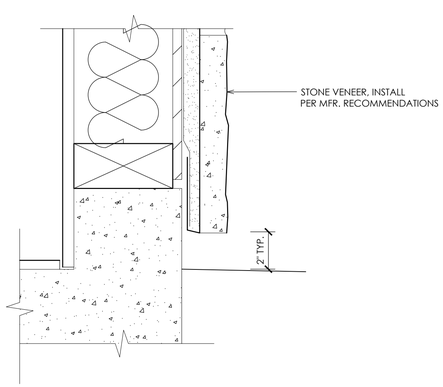
NOTE: PROVIDE AIRTIGHT CONSTRUCTION AT ALL EXTERIOR WALLS WITH ACOUSTICAL OR OTHER NON-HARDENING SEALANT AT FLOOR PLATES.

NOTE:
STUD WALLS ARE 2x4 UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS.



EXTERIOR WALL @ GRADE — 2

3"=1'-0"



VENEER WALL @ BASE — 1

3"=1'-0"

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LOS ALTOS, CA 94024
APN- 318-10-025

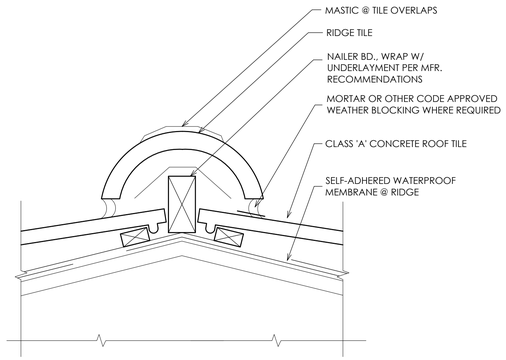
TYPICAL DETAILS-1

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

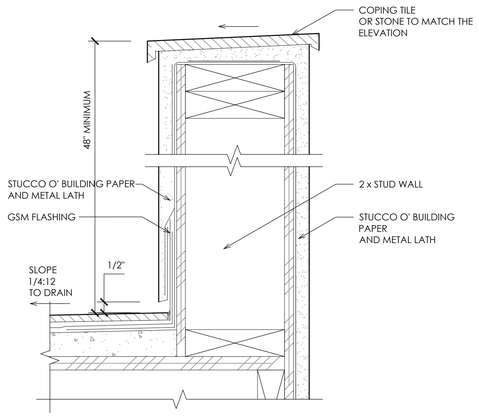
NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
		9/23/2024	M. SAINI	K. KUMAR	M. SAINI	M. SAINI

ENGINEERING
ARCHITECTURE

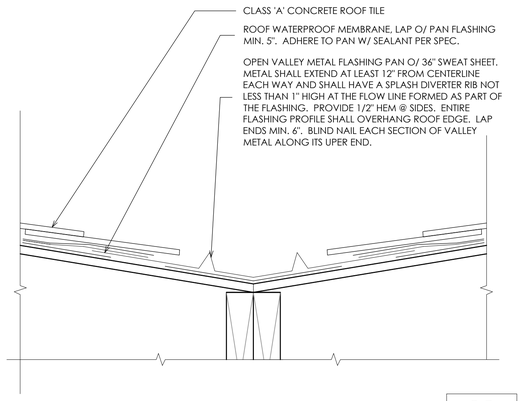
A5.0



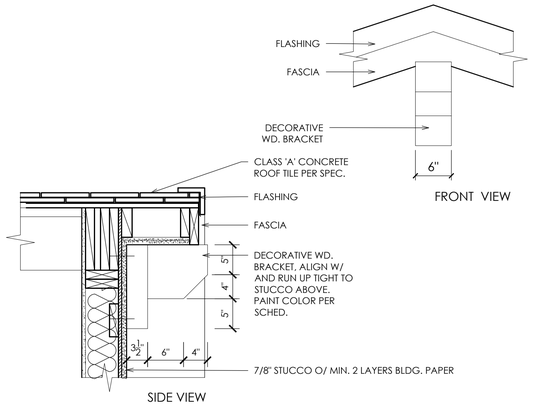
ROOF @ RIDGE — 12
3"=1'-0"



BALCONY PARAPET WALL — 11
NOT TO SCALE



ROOF @ VALLEY — 10
3"=1'-0"



DECORATIVE BRACKET — 9
1"=1'-0"

DOOR @ BALCONY — 8
1 1/2"=1'-0"

CRICKET @ ROOF — 7
3"=1'-0"

RAIN WATER LEADER — 6
3"=1'-0"

ROOF @ SIDEWALL — 5
3"=1'-0"

WALL @ BALCONY — 4
1 1/2"=1'-0"

ROOF @ FRIEZE — 3
3"=1'-0"

ROOF @ EAVE — 2
3"=1'-0"

TYP. ROOF /WALL FLASHING — 1
3"=1'-0"

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1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

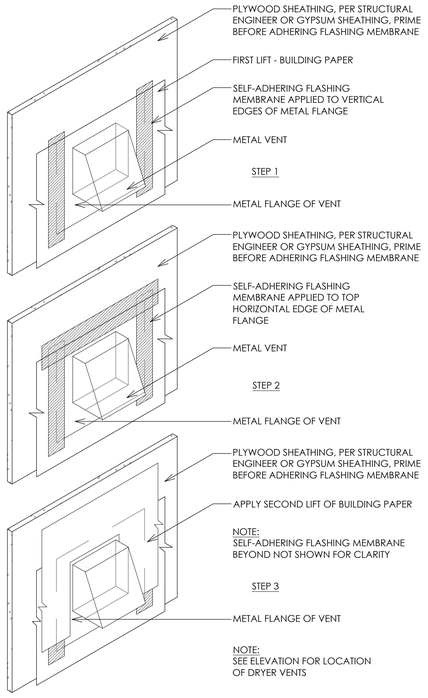
TYPICAL DETAILS-2

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
		9/23/2024	M. SAINI	K. KUMAR	M. SAINI	M. SAINI

ARCHITECTURE ENGINEERING

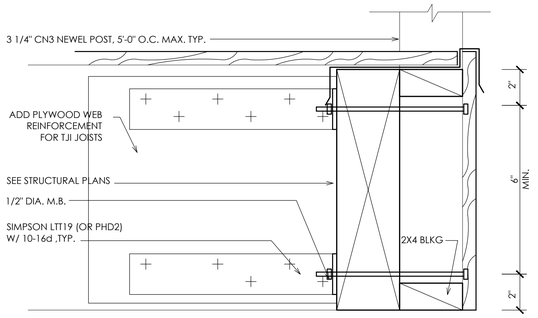
A5.1



DRYER VENT FLASHING 8

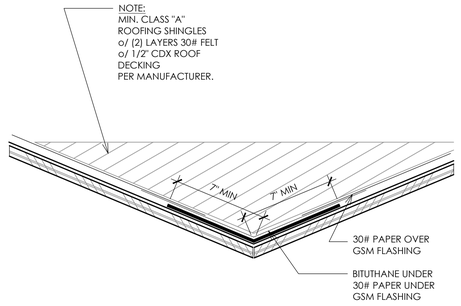
1 1/2"=1'-0"

NOTE:
ALL RAILING MEMBERS INCLUDING POSTS SHALL BE REDWOOD OR SIMILAR WEATHER RESISTING MATERIAL. GUARDRAIL CONSTRUCTION SHALL BE CAPABLE OF RESISTING A 50 PLF HORIZONTAL LOAD PERPENDICULAR TO THE TOP, UBC 509 AND TABLE 16B



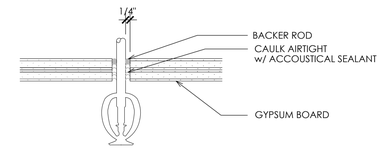
BALCONY GUARDRAIL BASE 11

3"=1'-0"



ROOFING AND FLASHING 10

1 1/2"=1'-0"



SPRINKLER PIPE PENETRATION 12

1 1/2"=1'-0"

GENERAL:

1. REFER ALSO TO VENTILATION NOTES LOCATED AT ATTIC AND/OR CRAWL SPACE VENTILATION CALCULATIONS. RE: ELEVATION SHEETS.

2. INSTALL FLASHING AT ALL TRANSITIONS OF ROOF PLANE SURFACES PER CRC RE: COVER SHEET "PROJECT DATA".

3. ALL MECHANICAL/PLUMBING VENTS SHALL PENETRATE THE ROOF AT REAR-FACING SLOPES WHERE POSSIBLE OR SIDE-FACING SLOPES AS AN ALTERNATE. ALL ROOF MOUNTED METAL VENTS OR COMPONENITS SHALL BE PAINTED TO MATCH ROOF COLOR. RE: WALL & ROOF VENT FLASHING DETAILS.

4. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED (MINIMUM) AT CONDTIIONED SPACE.

5. ALL DOORS AND WINDOWS EXPOSED TO AMBIENT CONDITIONS & UNCONDITIONIED SPACES SUCH AS GARAGES AND CLOSETS CONTAINING FURNACES USING OUTSIDE AIR FOR COMBUSTION SHALL BE WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION, PER TITLE 24 SECTION 2-5317. DOORS AND WINDOWS ARE TO BE CERTIFIED AND WEATHER STRIPPED. ALL JOINTS AND PENETRATIONS ARE TO BE CAULKED & SEALED.

6. PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUCCO STUD WALLS.

DECKS & EXTERIOR WOOD:

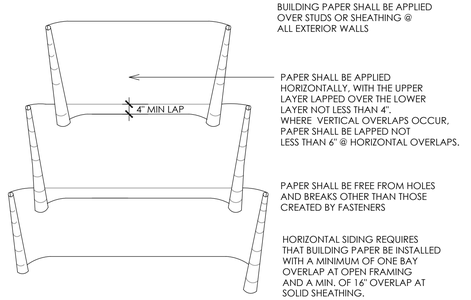
7. REFERENCE STRUCTURAL DRAWINGS FOR WOOD SIZES, GRADES, AND CONNECTOR SPECIFICATIONS.

8. EXPOSED STRUCTURAL FRAMING MEMBERS SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY, TREATED WOOD, PAINTED OR SEALED, OR PROTECTED TO PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS, WHEN SUCH MEMBERS ARE EXPOSED TO THE WEATHER, PER C.B.C, SECTION 2306.

9. ALL PLATES, SILLS, SLEEPERS, AND SUPPORT POSTS SHALL BE PRESSURE TREATED WOOD.

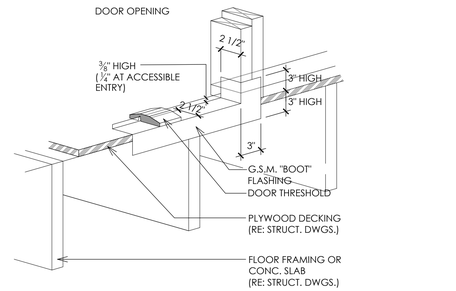
10. EXTERIOR GRADE PAINT SHALL BE APPLIED TO ALL EXTERIOR WOOD TRIM & DECK COMPONENTS, (ie: POSTS, BEAMS, JOISTS, LEDGERS, STRINGERS, HANDRAILS AND GUARDRAILS). VERIFY PAINT COLORS WITH OWNER PRIOR TO APPLICATION.

MOISTURE RESISTANCE 7



BUILDING PAPER @ LAPPED SIDING 6

1 1/2"=1'-0"



FOR USE AT EXTERIOR DOORS AT WOOD FRAMED FLOORS OR MAY BE USED AT CONC. SLAB CONDITIONS.

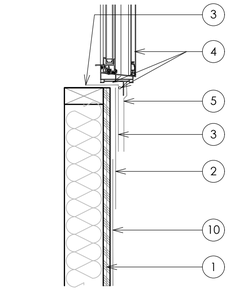
GSM DOOR BOOT FLASHING 5

1 1/2"=1'-0"

WINDOWS:

INSTALL "WINDOW WRAP" AND BUILDING PAPER IN THE FOLLOWING ORDER

1. SHEATH WALL.
2. INSTALL BUILDING PAPER FROM TOP OF SILL DOWN WALL 18" MIN. PER DETAIL "A".
3. 1ST LAYER WINDOW WRAP AT SILL, THEN JAMBS, THEN HEAD WITH 9" "WINDOW WRAP" PER DETAIL"B".
4. INSTALL THE WINDOW PER DETAIL "C", APPLY A CONTINUOUS BEAD OF SEALANT TO UNDERSIDE OF WINDOW NAILING FIN. APPLY A CONTINUOUS BEAD OF EXPANDED FOAM IN SHIM SPACE AROUND PERIMETER OF WINDOW.
5. 2ND LAYER OF "WINDOW WRAP" OVER NAILING FLANGE AT SILL PER DETAIL "D".
6. 2ND LAYER OF "WINDOW WRAP" OVER NAILING FLANGE AT JAMBS PER DETAIL "D".
7. 2ND LAYER OF "WINDOW WRAP" OVER NAILING FLANGE AT HEAD PER DETAIL "D".
8. (AT WINDOWS WITH WOOD TRIM ONLY: INSTALL 26 GAUGE GALV. STEEL FLASHING OVER WOOD TRIM AT HEAD, EXTEND TO WIDTH OF TRIM PER DETAIL "D").
9. OVERLAP ALL CORNERS MINIMUM 6" PER DETAIL "D".
10. INSTALL BUILDING PAPER UNDER SILL FLAP CREATED IN STEP #2 PER DETAIL "E".
11. INSTALL BUILDING PAPER SHINGLE FASHION WITH 4" VERTICAL OVERLAPS AND 6" HORIZONTAL OVERLAPS PER DETAIL "E".
12. BUILDING PAPER TO OVERLAP "WINDOW WRAP" AND FLANGE PER DETAIL "E".



NOTES:

WINDOW WRAP TO BE 9" WIDE, BITUTHANE, VICOR-V40, OR EQUAL.

DOORS:

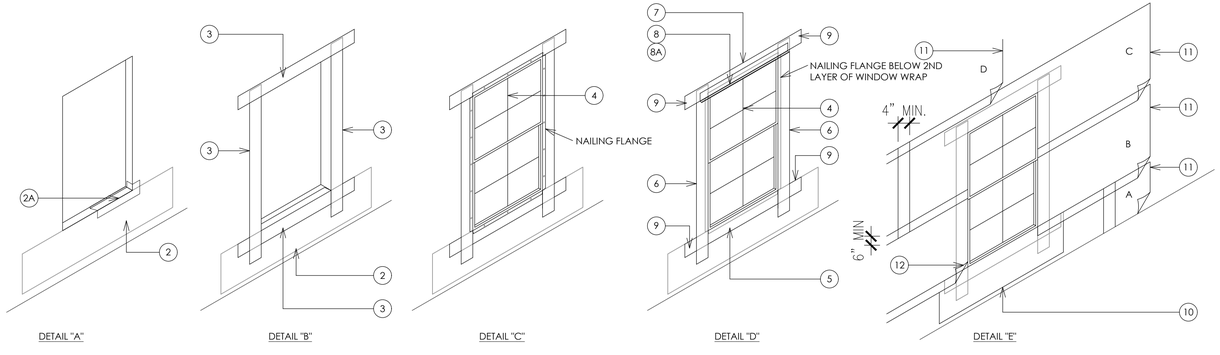
INSTALL "WINDOW WRAP" AND BUILDING PAPER IN THE FOLLOWING ORDER AT DOOR LOCATIONS

NOTE: THE INSTALLATION OF FLASHING PAPERS @ THE DOOR SILL DOES NOT APPLY WHEN THE DOOR IS INSTALLED ON A CONCRETE SLAB.

1. SHEATH WALL.
2. WRAP BUILDING PAPER FROM TOP OF SILL DOWN WALL 18" MIN. PER DETAIL "A".

2A. ADD BOOT FLASHING TO SILL PER DETAIL

3. 1ST LAYER WRAP SILL, THEN JAMBS, THEN HEAD WITH 9" "WINDOW WRAP" SIMILAR TO DETAIL "B".
4. INSTALL THE DOOR SIMILAR TO DETAIL "C", APPLY A CONTINUOUS BEAD OF EXPANDED FOAM IN SHIM SPACE AROUND PERIMETER OF DOOR.
5. 2ND LAYER OF "WINDOW WRAP" OVER DOOR FRAME AT SILL SIMILAR TO DETAIL "D".
6. 2ND LAYER OF "WINDOW WRAP" OVER DOOR FRAME AT JAMBS SIMILAR TO DETAIL "D".
7. 2ND LAYER OF "WINDOW WRAP" OVER DOOR FRAME AT HEAD PER DETAIL "D").
8. (AT DOORS WITH WOOD TRIM ONLY: INSTALL 26 GAUGE GALV. STEEL FLASHING OVER WOOD TRIM AT HEAD, EXTEND TO WIDTH OF TRIM PER DETAIL "D"). OVERLAP ALL CORNERS MINIMUM 6" PER DETAIL "D".
9. INSTALL BUILDING PAPER UNDER SILL FLAP CREATED IN STEP #2 PER DETAIL "E".
10. INSTALL BUILDING PAPER SHINGLE FASHION WITH 4" VERTICAL OVERLAPS AND 6" HORIZONTAL OVERLAPS PER DETAIL "E".
12. BUILDING PAPER TO OVERLAP WINDOW WRAP DETAIL "E".



DETAIL "A" DETAIL "B" DETAIL "C" DETAIL "D" DETAIL "E"

FLASHING WINDOW - DOOR 1

1 1/2"=1'-0"

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1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

TYPICAL DETAILS -3

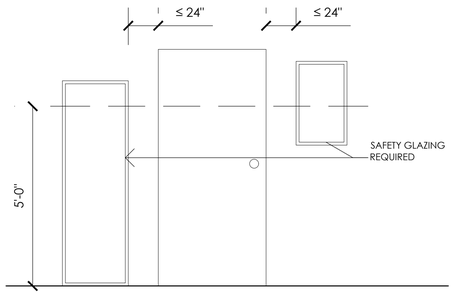
REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	9/23/2024
		DESIGNED BY:	M. SAINI
		DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

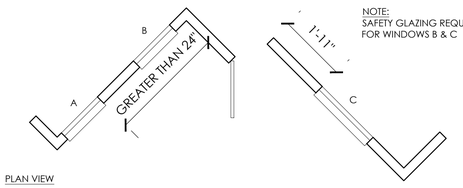
ARCHITECTURE ENGINEERING

A5.2

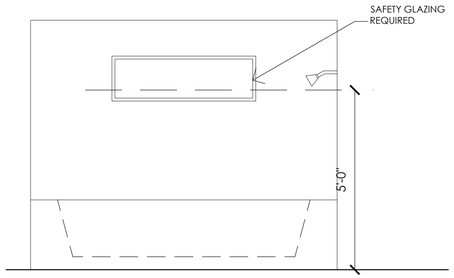
WHEN SAFETY GLASS IS REQUIRED



GLASS IN SIDELITES - ELEVTION

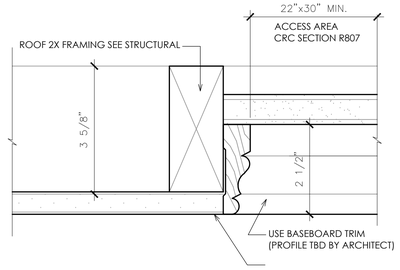


PLAN VIEW

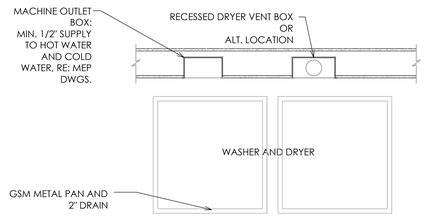


GLASS WITHIN SHOWER WALLS

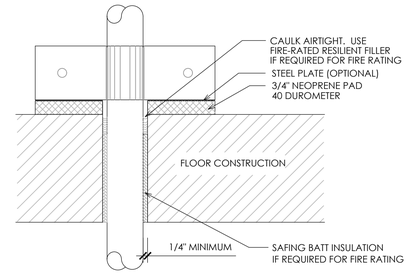
TEMPERED GLASS 8
1/2"=1'-0"



ATTIC ACCESS DOOR 11
3"=1'-0"



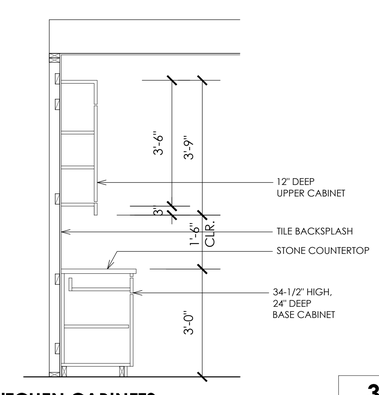
LAUNDRY CABINET 10
3"=1'-0"



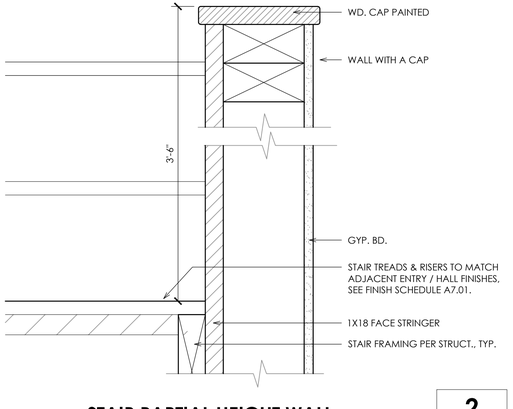
NOTE: IF PIPE IS SUSPENDED FROM OR DIRECTLY ATTACHED TO STRUCTURE OR OTHER BUILDING ELEMENTS, USE 1/2" THICK, 40 DUROMETER NEOPRENE AS SLEEVE BETWEEN PIPE AND PIPE COLLAR

PIPE ISOLATION FOR WASTE & SUPPLY WATER PIPES GREATER THAN 1" DIAMETER

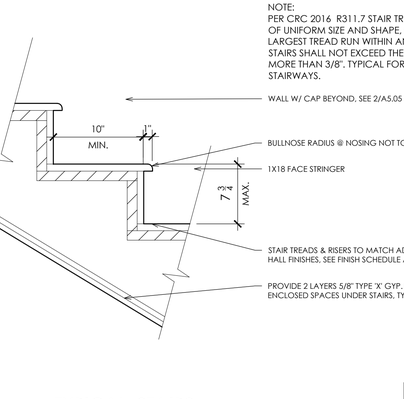
PIPE INSOLATION 9
3"=1'-0"



LAVATORY/VANITY CABINET 7
1/2"=1'-0"



TILE TUB/SHOWER SURROUND 6
6"=1'-0"



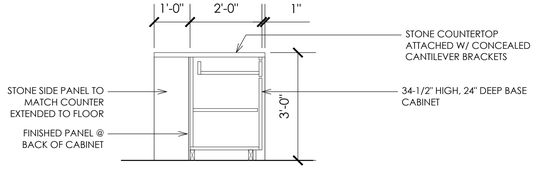
NOTES:

ALL HANDRAILS SHALL COMPLY WITH CRC 2016
ALL STAIRS WITH FOUR OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL.

ALL HANDRAILS SHALL BE CONTINUOUS THROUGH THE FULL LENGTH OF THE STAIRS.

TYPICAL HANDRAIL 5
3"=1'-0"

NOTE: SEE FLOOR PLANS FOR OVERALL DIMENSIONS



KITCHEN ISLAND 4
1/2"=1'-0"

KITCHEN CABINETS 3
1/2"=1'-0"

STAIR PARTIAL HEIGHT WALL 2
3"=1'-0"

NOTE:
PER CRC 2016 R311.7 STAIR TREADS SHALL BE OF UNIFORM SIZE AND SHAPE, EXCEPT THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8", TYPICAL FOR ALL STAIRWAYS.

TYPICAL STAIRS 1
1 1/2"=1'-0"

ENGCO

● CONSTRUCTION
● CONSULTATION
● ENGINEERING
● ARCHITECTURE

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

TYPICAL DETAILS-4

REGISTERED PROFESSIONAL ENGINEER MANJIT SAINI No. C 61946 CIVIL STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	9/23/2024
		DESIGNED BY:	M. SAINI
		DRAWN BY:	K. KUMAR
		CHECKED BY:	M. SAINI
		APPROVED BY:	M. SAINI

A5.3

PROJECT INFORMATION

Date:	10-2-24
Project applicant:	IENGCO
Project address	1501 OAKLEY DRIVE, LOS ALTOS
Total landscape area (square feet)	5,926 SF
Project type	Private
Water supply type	Potable
Water Agency	California Water Service Co. 9494 B Street, Los Altos, CA
Project applicant contact	Manjit Saini IENGCO manjit.saini@iengco.com

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package".

Landscape Architect: Rodney Scaccalosi Rod Scaccalosi #4452
Date: 10-2-24

EXISTING TREE TABLE (See Demolition Plan)

#	TYPE	NATIVE	TRUNK DIA.	ACTION
T1	LIVE OAK	Y	26"	RETAIN
T2	LIVE OAK	Y	33"	RETAIN
T3	VELVET ASH	N	23"	REMOVE (CONSTRUCTION)
T4	VELVET ASH	N	23"	REMOVE (CONSTRUCTION)
T5	APPLE	N	8"	RETAIN
T6	LEMON	N	17"	RETAIN
T7	KUMQUAT	N	12"	RETAIN
T8	CHINESE PISTACHE	N	26"	RETAIN
T9	CRAPE MYRTLE	N	8"	PREVIOUSLY REMOVED
T10	OLIVE	N	5"	RETAIN
T11	SWEET GUM	N	16"	RETAIN
A	UNKNOWN	N	LESS THAN 4"	PREVIOUSLY REMOVED

TREE REPLACEMENT TABLE

#	TYPE	TRUNK DIA.	REPLACEMENT
T3	VELVET ASH	23"	2 -24" BOX
T4	VELVET ASH	23"	2 -24" BOX
T9	CRAPE MYRTLE	8"	1-24" BOX
A	UNKNOWN	4"	1 -24" BOX

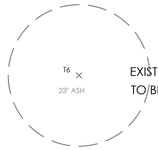
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
TREES				
	3	Acer palmatum 'Osakazuki' / Osakazuki Japanese Maple standard form	24" box	Moderate
	3	Prunus pendula 'Pendula Rosea' / Weeping Cherry standard form	24" box	Moderate
SHRUBS				
	4	Agave americana 'Marginata' / Variegated Century Plant	5 gal.	Low
	20	Agave x `Blue Glow` / Blue Glow Agave	5 gal	Low
	15	Aloe arborescens mzimnyati / Dwarf Torch Aloe	5 gal.	Low
	28	Anigozanthos x 'Bush Tango' / Bush Tango Kangaroo Paw	5 gal.	Low
	39	Callistemon viminalis `Little John` / Dwarf Weeping Bottlebrush	5 gal.	Low
	19	Ceanothus x `Dark Star` / California Lilac	5 gal.	Low
	27	Lantana montevidensis / Trailing Lantana	1 gal.	Low
	130	Lomandra longifolia 'Baby Breeze' / Dwarf Mat Rush	1 gal.	Low
	7	Myrica californica 'Buxifolia' / Pacific Wax Myrtle	5 gal.	Low
	30	Phormium x 'Dark Delight' / Dark Delight Purple Flax	5 gal.	Low
	37	Salvia microphylla x greggii 'Heatwave Breeze' / Heatwave Breeze Sage	1 gal.	Low
	17	Westringia fruticosa 'Blue Gem' / Blue Gem Coast Rosemary	5 gal.	Low

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
GROUND COVERS					
	37	Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea	1 gal.	Low	42" o.c.
	27	Rosa x 'Meisentmil' TM / Lemon Drift Rose	1 gal.	Low	36" o.c.
	1,422 sf	Turf synthetic / Type by owner	15' wide roll	No Water Use	

EXISTING PLANT LEGEND

EXISTING TREE TO REMAIN



EXISTING TREE TO BE REMOVED

GENERAL NOTES

1. Contractor shall submit soil samples to the laboratory for analysis and recommendations. Soil sampling shall be conducted in accordance with laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.

   Soil analysis may include:

   a. Soil texture;
   b. Infiltration rate determined by laboratory test or soil infiltration rate table;
   c. pH;
   d. Total soluble salts;
   e. Sodium;
   f. Percent organic matter; and
   g. Recommendations.

   Contractor shall submit the soil analysis report to the City as part of the certificate of completion.

2. The Contractor shall submit documentation to the City verifying implementation of soil analysis report recommendations to the City with certificate of completion.

3. All landscape planting areas shall receive a minimum 3" layer of organic wood chip mulch top dressing.

4. All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller , weather sensor, etc.and shall meet City of Los Altos Water Efficient standards/regulations.

5. Existing trees (to remain) shall be protected during construction with temporary fencing. Refer to Arborist Report (By Vasquez Arbor and Tree Protection Plan (By IENGCO) for additional information regarding tree preservation, tree removals, etc.

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CONTACT 811 BEFORE YOU DIG 811 SAFE DIGGING PARTNER

IENGCO

PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

PLANTING PLAN

REGISTERED LANDSCAPE ARCHITECT
Rodney L. Scaccalosi
No. 4452
Exp. 05/31/26
STATE OF CALIFORNIA

NO.	REVISIONS	DATE: 1/17/2025
1.	11-19-24 PLAN CHECK REVISIONS	DESIGNED BY: -
2	1-17-25 PLAN CHECK REVISIONS	DRAWN BY: -
		CHECKED BY: -
		APPROVED BY: -

L1

CONSTRUCTION
CONSULTATION
ENGINEERING
ARCHITECTURE

CRITICAL ANALYSIS

Generated: 2024-10-01 22:50

P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Point of Connection Size: 1"
Flow Available 19.62 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 60 PSI
Pressure Available: 60 PSI

DESIGN ANALYSIS
Maximum Station Flow: 7.97 GPM
Flow Available at POC: 19.62 GPM
Residual Flow Available: 11.65 GPM

Critical Station: 1
Design Pressure: 20 PSI
Friction Loss: 1.56 PSI
Fittings Loss: 0.08 PSI
Elevation Loss: 0 PSI
Loss through Valve: 3.5 PSI
Pressure Req. at Critical Station: 25.1 PSI
Loss for Fittings: 0.01 PSI
Loss for Main Line: 0.06 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 0 PSI
Critical Station Pressure at POC: 25.2 PSI
Pressure Available: 60 PSI
Residual Pressure Available: 34.8 PSI

COMPLIANCE STATEMENT

I have complied with the criteria of the Water Use Ordinance and applied them accordingly for the efficient use of water in the landscape Irrigation plan.

Rodney Scaccalosi 10-1-24

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
SHRUBS, GC-LOW	0.3	DRIP	0.81	0.37	4,329	1,603	42745
TREES-MODERATE	0.5	BUBBLERS	0.81	0.62	160	99	2633
				TOTALS	4,489	1,702	45378

ETAF Calculations

Total ETAF x Area	1,702
Total Area	4,489
Average ETAF	38%

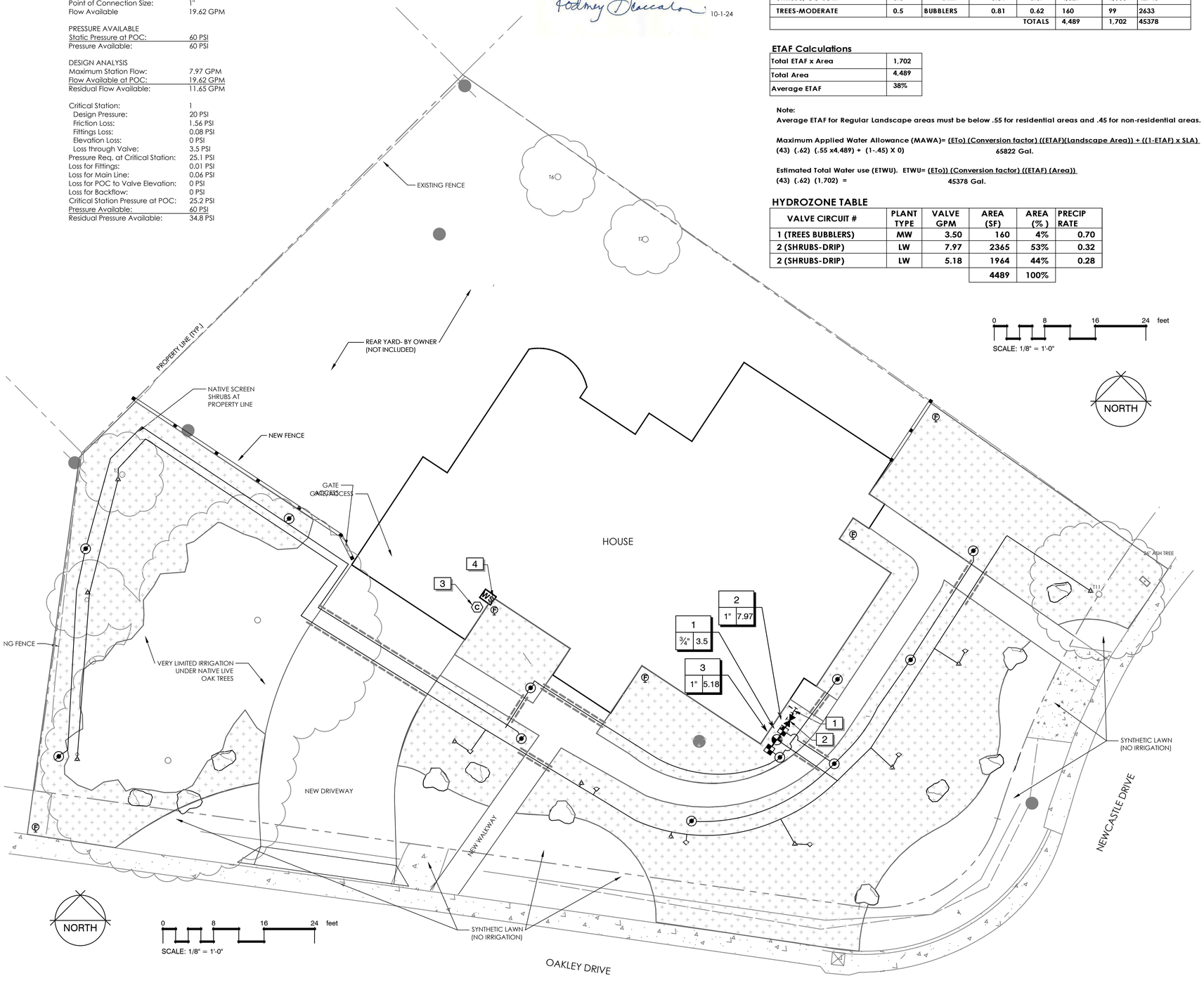
Note:
Average ETAF for Regular Landscape areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA)= (ETo) (Conversion factor) ((ETAF)(Landscape Area)) + ((1-ETAF) x SLA)
(43) (.62) (.55 x4,489) + (1-.45) X 0) 65822 Gal.

Estimated Total Water use (ETWU). ETWU= (ETo)) (Conversion factor) ((ETAF) (Area))
(43) (.62) (1,702) = 45378 Gal.

HYDROZONE TABLE

VALVE CIRCUIT #	PLANT TYPE	VALVE GPM	AREA (SF)	AREA (%)	PRECIP RATE
1 (TREES BUBBLERS)	MW	3.50	160	4%	0.70
2 (SHRUBS-DRIP)	LW	7.97	2365	53%	0.32
2 (SHRUBS-DRIP)	LW	5.18	1964	44%	0.28
			4489	100%	



0 8 16 24 feet
SCALE: 1/8" = 1'-0"
NORTH

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1401 1402 1404 1408	Rain Bird 1800-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full circle bubbler, 1/2" FIPT, On a flex riser	9	20
1401 1402	Rain Bird RWS-M-B-C 1400 Series Mini Root Watering System with 4in. diameter x 18in. long with locking grate, semi-rigid mesh tube and Rain Bird 1401 0.25 GPM or 1402 0.5 GPM bubbler as indicated. With Check Valve.	5	20

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird XACZ-100-PRF Medium Flow Drip Control Kit, 1in. Anti-Siphon Valve Filter, 1in. RBY Filter, and 40psi pressure regulator, for above grade installation. 3 GPM-15 GPM.	2	
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6in. drip box.	11	
P	Flush Valve	5	
	Area to Receive Drip Emitters Netafim SPCV Single Outlet Pressure Compensating Drip Emitter, 1.5psi Internal Check Valve, with Self-Piercing Barb, Blue= 0.5gph, Black= 1.0gph, Red= 2.0gph. 1/4" tubing lenght shall not exceed 12" in length. Emitter Notes: 1.0 GPH emitters (2 assigned to each 1 gal. plant) 1.0 GPH emitters (2 assigned to each 5 gal. plant)	4,489 s.f. 512 280	10

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird ASVF Electric Remote Control Valve, with Atmospheric Backflow Preventer. 3/4in., 1in. Available.	1
	Landscape Products Inc. BBV 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in., 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	1
WS	Hunter X2-400-WAND 4-Station Controller, Residential Use. Plastic Cabinet, Indoor, with 3 Independent Programs, and Wi-Fi Module Kit. 120 VAC.	1
C	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	1
XX H	Point of Connection 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4" unless otherwise noted on plan. 12" minmum depth	588.5 l.f.
— — —	Irrigation Mainline: PVC Schedule 40 1" unless otherwise noted on plan. 18" minimum depth	7.3 l.f.
========	Pipe Sleeve: PVC Schedule 40 2x the diameter of pipes served and 1" for control wires. Minimum depth of 24"	58.5 l.f.

Valve Callout

GENERAL NOTES

1. Locate all irrigation equipment in landscape planters. equipment shown in pavement is for clarity only. All valve boxes shall be located at least 1' from any pavement.
2. No trenching shall be allowed under existing tree canopies. If trenching is necessary under tree canopies only hand trenching is allowed : No roots larger than 1" dia. shall be removed.
3. Drip irrigation lateral line layout as shown on plan is conceptual: Actual layout shall be determined in the field .
4. Irrigation sleeves as indicated on legend shall be installed at all pavement/hardscape crossings.
5. Contact USA North (811) prior to commencing construction to verify existing underground utilities.
6. Certificate of completion shall be fully executed by the Project Owner /Representative and/or Owner's Landscape Architect. Water Audit to be perform~~ed by a 3rd party~~ I.A. certified company/individual.

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	Point of connection (POC) @ provided dedicated 1" Irrigation Stub (provided by others). Coordinate connection with General Contractor or Client Representative. Irrigation demand at POC shall be 8 GPM and a static pressure of 30 PSI. If minimum requirements are not met contact Landscape Architect. Install pressure regulating device if pressure readings exceed 70 psi at this locaiton.
2	Install in-line isolation/shut off valve in valve box (if not already installed) at POC location.
3	Install irrigation controller at interior wall location or per client representative. 110 Power to be provided by others. Coordinate actual location with client representative or General Contractor prior to beginning irrigation work.
4	Install wireless weather sensor within distance as specified by manufacturer. Rain sensor location shall be free from overhead obstructions.

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ARCHITECTURE

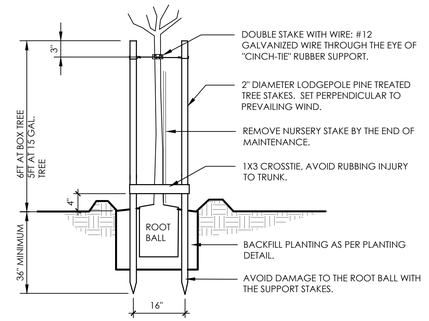
PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

IRRIGATION PLAN

Rodney L. Scaccalosi
No. 4452
Exp. 05/31/26
STATE OF CALIFORNIA
CERTIFIED LANDSCAPE ARCHITECT

NO.	REVISIONS	DATE: 1/17/2025
1.	11-19-24 PLAN CHECK REVISIONS	DESIGNED BY: -
2	1-17-25 PLAN CHECK REVISIONS	DRAWN BY: -
		CHECKED BY: -
		APPROVED BY: -

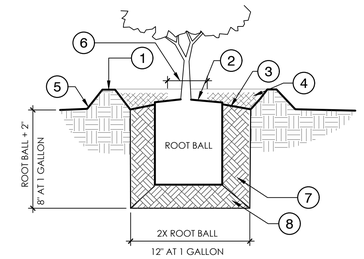
L2



STAKING DETAIL

1 TREE PLANTING DOUBLE STAKE

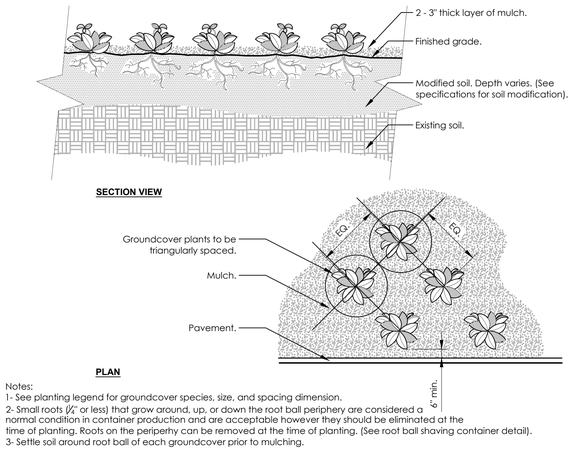
1" = 1'-0" FX-PL-FX-TREE-10



1. 4" HIGH WATER WELL.
2. SET ROOT BALL CROWN 1" HIGHER THAN SURROUNDING FINISHED GRADE.
3. SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOT BALL.
4. MULCH TO 3" DEPTH AT WATER WELL.
5. FINISHED GRADE.
6. KEEP MULCH FREE FROM A 6" RADIUS AT THE PLANT TRUNK.
7. BACKFILL WITH NATIVE SOILD WITHOUT ANY SOIL AMENDMENT.
8. NATIVE SOIL MIX FIRMLY COMPACTED.

2 SHRUB PLANTING

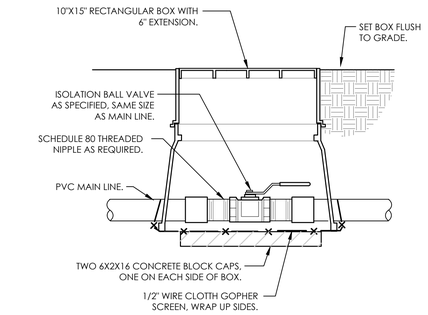
1" = 1'-0" FX-IR-FX-CONT-06



Notes:
1- See planting legend for groundcover species, size, and spacing dimension.
2- Small roots (¼" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).
3- Settle soil around root ball of each groundcover prior to mulching.

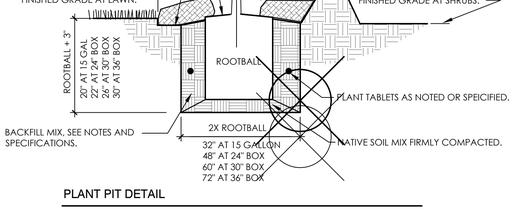
3 GROUNDCOVER

3/4" = 1'-0" FX-IR-FX-CONT-06



4 BRASS BALL ISOLATION VALVE

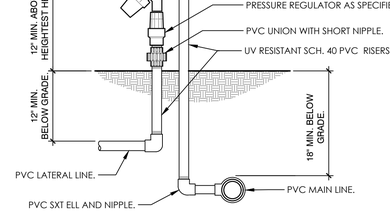
1 1/2" = 1'-0" FX-IR-FX-ISOV-02



PLANT PIT DETAIL

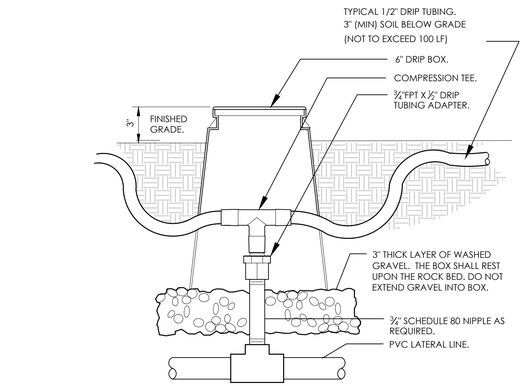
8 DRIP FLUSH CAP ASSEMBLY

1 1/2" = 1'-0" FX-IR-FX-DRIP-04



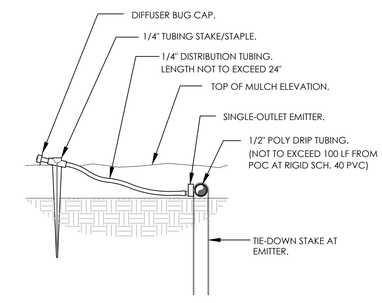
5 DRIP RCV/AVB/FILTER/REG ABOVE GRADE

1 1/2" = 1'-0" FX-IR-FX-CONT-06



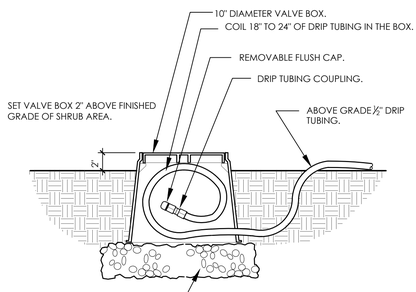
6 ZONE CONTROL

3" = 1'-0" DETAIL-FILE



7 DRIP EMITTER AT 1/4" TUBING

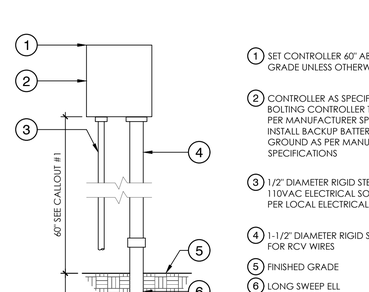
3" = 1'-0" DETAIL-FILE



1. LOCATE FLASH CAP ASSEMBLY AT THE END OF EACH DRIP LINE.
2. ENSURE THAT THE COILED DRIP TUBING IS OF SUFFICIENT LENGTH TO COMPLETELY EXTEND OUT OF THE VALVE BOX WHEN FLUSHING.

8 DRIP FLUSH CAP ASSEMBLY

1 1/2" = 1'-0" FX-IR-FX-DRIP-04



1. SET CONTROLLER 60" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED
2. CONTROLLER AS SPECIFIED. SECURELY BOLTING CONTROLLER TO WALL OR AS PER MANUFACTURER SPECIFICATIONS. INSTALL BACKUP BATTERIES AS REQUIRED. GROUND AS PER MANUFACTURER SPECIFICATIONS
3. 1/2" DIAMETER RIGID STEEL CONDUIT FOR 110VAC ELECTRICAL SOURCE. INSTALL AS PER LOCAL ELECTRICAL CODES
4. 1-1/2" DIAMETER RIGID STEEL CONDUIT FOR RCV WIRES
5. FINISHED GRADE
6. LONG SWEEP ELL
7. USE PVC SCH. 40 BELOW GRADE

9 WALL MOUNT CONTROLLER

1" = 1'-0" FX-IR-FX-CONT-06

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APN- 318-10-025

LANDSCAPE DETAILS

REGISTERED LANDSCAPE ARCHITECT
Rodney L. Scaccalosi
No. 4452
Exp. 05/31/26
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	1/17/2025
1.	11-19-24 PLAN CHECK REVISIONS	DESIGNED BY:	RLS
2	1-17-25 PLAN CHECK REVISIONS	DRAWN BY:	-
		CHECKED BY:	
		APPROVED BY:	

L3

PLANTING SPECIFICATIONS

DESCRIPTION OF WORK
Clearing, grubbing, and removal of debris as required for installation of the specified planting. Planting of trees, shrubs, vines, and groundcovers, stock piling of top soil, mixing of amendments and fertilizer as required. All planting to be done by people familiar with the type of work involved and under the direction of a licensed Landscape Contractor.

1. WORK INCLUDED This section includes site clearing, grubbing and removal of weeds, soil preparation, planting of trees, shrubs, vines and groundcovers. Topdress with bark or mulch, and erosion control materials.

2. SOIL ANALYSIS Soils fertility test shall be completed by a certified soils laboratory. Collect soil sample after rough has been completed. Soil amendments, as specified in report, shall be completed by landscape contractor. The recommended amendments will be added to the existing soil and used as the back fill mix during planting.

3. SAMPLES / SUBMITTALS A mulch product submittal shall be reviewed by Landscape Architect.

4. SITE CONDITIONS Existing conditions all rough grading, underground utilities and site improvements should be completed prior to commencement of planting. Soil conditions must be deemed workable and favorable for good plant growth prior to the start of planting.

5. SUBSTITUTIONS If specified materials are not available substitutions may be made with prior approval from the Landscape Architect or the owner's representative. Samples or equivalents must be presented for approval prior to installation. If changes are made without approval they may be deemed unacceptable and will need to be replaced at the cost of the installer.

6. WARRANTY The contractor is responsible for the quality of all materials and workmanship for a minimum period of 90 days. The contractor is responsible for successful growth and viability of all plant material, as well as competition from invasive weeds for a period of 90 days. Any plant material that has not survived the 90 day period will need to be replaced at the expense of the contractor.

7. GROWING MEDIA Growing media will be the existing soil mixed with the specified planting backfill mix. No other amendments should be added to the backfill mix. The soil back fill mix should be free of debris such as rocks, sticks and noxious weeds to ensure a suitable root growing area for plant establishment.

8. PLANT MATERIAL All plant material must be the type and variety specified. Quality and size of plant material should conform to the California Grading Code of Nursery Stock, No. 1 grade. This requires that stock, when sold, should not be dead or in a dying condition, frozen, or damaged, and should not show evidence of having had root restriction in previous containers or be abnormally pot bound. All plants should be of a reasonably uniform and standard size for each species, well formed, and in a healthy, fully rooted, thriving condition. All plants should be typical of their species and variety and should have normal habit and growth. Container grown plants should be sufficiently established so that a minimum of 75% of each root ball stays intact during planting.

8.1 PLANTING PROCEDURES

A. Soil amendments and fertilizers shall have been incorporated into the soil (per soils report) prior to tree and shrub planting. For bidding purposes organic compost shall be tilled into all all landscape areas at a minimum depth of 8" and at a rate of 5 CY/ 1000 sf. Planting pits are to be 2 times the diameter of the rootball and dug as detailed.

B. After pits are dug scarify the sides of the planting holes to open the wall of pit for good root growth.

C. Percolation Test: All planting holes shall be tested for sufficient planting region) on the site to test for general site subgrade drainage conditions. Holes will be dug by the landscape contractor upon award of contract. Individual plant pits will be tested again for sufficient drainage prior to planting. The contractor shall fill plant pits with water, to see if subsoil conditions will cause retention of water in planting pits overnight. if standing water is observed over 12 hours the Landscape Architect or owners representative must be notified.

D. Planting Backfill Mix: Per Soils report recommendations. Default mix is as follows:

1/4 cubic yard	Nitrogen and Iron fortified organic amendment
3/4 cubic yard	Site soil
1.5lbs	6-20-20 Best's crop maker fertilizer per cubic yard
2.5 lb.	0-25-0 Super-phosphate per cubic yard
1.5 lb.	Iron sulfate per cubic yard

E. Fertile plants at time of planting with Best slow release fertilizer packets 20 -10-5: 1 per 1 gallon plant, 2 per 5 gallon plant, 4 per 15 gallon.

F. Plants shall be erect after planting and staked as detailed. Nursery stakes will be removed.

G. All plants will be watered in with the use of a watering tube to create settling of backfill mix and to ensure there won't be any future settling. Watering will be completed a maximum of two hours after planting to prevent wilting.

H. Plants should be removed from containers in a manner to minimize the disturbance of the root ball. Circling roots at the periphery of the root ball should be pulled outward or pruned to prevent future girdling.

I. Each plant should be placed in the hole at such a depth that, after the soil has settled, the top of the root ball will be slightly above the surrounding soil, to avoid the accumulation at the crown of the plant. Backfill should be placed around the root ball, using the backfill material from the plant hole preparation.

J. Basins should be constructed to allow two inches minimum of water over the top of the root ball. Slope plantings may not require up-slope berms, but will require higher down slope berms. See detail on sheet L3 for shrub planting.

K. Trees should be staked or guyed as necessary, to keep them in an upright position and hold them erect, while allowing the tops and trunks to flex with the wind. When single staking, stakes should be placed on the upwind side of the trees. Tree trunks and lateral branches should be protected from unnecessary abrasion from stakes and ties. Tree stakes should not be bound up against the tree trunks. Stakes must no pass through the root ball of the tree when staking. All stakes should be placed on parallel to each other on the site. See detail L3-A for planting, staking, and guying of trees.

9.0 MULCH / BARK / TOPDRESS
Planting areas should be mulched to help keep the soil and young plant roots at a desirable temperature, maintain moisture, and reduce weed growth. Mulch must be applied in an even and smooth layer over the planting area after final grading is complete and after the application of an appropriate herbicide. All planting areas will receive an organic wood chip mulch 3"-4"thick. Pre-emergent herbicide will be applied to all planting areas by a licensed applicator according to the manufacturer's specifications.

10. MAINTENANCE
The landscape contractor is responsible for maintaining the plant material and associated site work for a period of 90 days, starting on the day of final acceptance. Final acceptance of the construction phase will be determined at the final walk through by the landscape contractor with Landscape Architect or the owner's representative. At this time the 90 day maintenance and the warranty periods will begin. The project will not be deemed complete until the end of the 90 day maintenance period.

A. Maintenance will include any pruning or trimming needed for proper plant growth and viability. The landscape contractor is responsible for control of weed growth within the planting areas. All leaf litter, debris, dead heading and associated clean up is the responsibility of the landscape contractor. The site must be kept clean and free of weeds, leaf litter, and debris.

B. Maintenance and monitoring of the irrigation system is the responsibility of the landscape contractor. All plant material is to receive the appropriate amount of irrigation weekly. Any repairs or associated problems with the irrigation system are to be repaired at no cost to the owner. Breaks or damage caused by an outside source other than that of faulty workmanship or factory defect is the responsibility of the landscape contractor.

IRRIGATION SPECIFICATIONS

1.0 WORK TO INCLUDE
The installation, operation, management and warranty of an irrigation system as described and specified on the plans and in the specifications. This includes but is not limited to the installation of all piping; chases, mainline, laterals, and drip tubing as well as backflow prevention devices, remote control valves, filters, pressure regulators, valve boxes, quick coupling valves, controllers, wiring, as well as other associated materials. The contractor is responsible for all trenching back filling, watering of trenches and compacting. Any associated meetings, deadlines, submittals, or permits associated with the irrigation system is the responsibility of the landscape contractor. All equipment required but not specified on the plans shall be provided by the irrigation contractor to ensure a complete and functional system. Install all equipment per local codes, manufacturer's specification and as indicated on the plans. Notify the Landscape Architect, prior to installation, of any area or grade differences or obstructions not indicated on the plans for further instruction.

2.0 SUBMITTALS

A. The contractor will furnish an accurate as built drawing of the installation of the irrigation system at the time of final completion. The as built drawings will depict any alteration made to the plans during the construction of the system. The drawings will be drawn to the same scale as the construction documents and will be drawn accurately and completely.

B. It is the contractor's responsibility to furnish the owner's representative with a typed sheet of instructions for the operation and maintenance of all irrigation equipment.

C. The contractor will also furnish a copy of the controller schedule indicating water zone/station requirements.

3.0 EXISTING CONDITIONS
Any existing paving, utilities, structures, or trees must not be disturbed during the installation of the irrigation system. Anything damaged or broken must be repaired by the landscape contractor at no cost to the owner. This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas. Avoid conflicts between the irrigation system, planting, and architectural features. Prior to trenching, the contractor shall locate all cables, conduits, sewers, and other utilities or other architectural features that are commonly encountered underground and take proper precautions not to damage or disturb such improvements. Any items damaged prior to the start of work should be documented by the landscape contractor and brought to the attention of the owner's representative.

4.0 SCHEDULING
It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, etc. He shall coordinate his work with the general contractor and other subcontractors for the location and installation of all pipe sleeves. If sleeving is not installed at the time of site preparation they will need to be installed at the landscape contractors expense.

5.0 WARRANTY
Upon final completion of the planting, the contractor will start the warranty period of one year. The warranty will cover against faulty workmanship or manufacturer's defects.

6.0 POINT OF CONNECTION
The point of connection for the irrigation system will be as shown on plans. The irrigation system is designed for a minimum of 7 G.P.M. with a minimum static pressure of 30 P.S.I. at the point of connection. If there are any discrepancies in pressure or low flow condtions the contractor is to notify the Landscape Architect prior to the installation.

8.0 PRESSURE REGULATORS / VALVES / VALVE BOXES

A. Pressure regulators will be installed according to the details and manufacturer's recommendations. Pressure gauges will be installed both up stream and down stream to enable proper pressure adjustment.

B. Ball Valves are to be installed as per plans and specifications. Valves shall be bronze or brass with threaded connections. Valves will be installed on the main line in a Brooks model 1100 plastic valve box with bolt. Boxes will be placed no closer than 12" from sidewalks or structures.

C. Quick coupling valves will be brass quick couplers with locking tops and rubber covers. All quick couplers will be installed per the details.

D. Remote control valves are to be installed as per plans and specifications. Valves will be placed in an appropriately sized valve box to enable easy access for future repair or cleaning. No changes to valve size or brand without written permission from the Landscape Architect.

E. Valve boxes are to be Carson / Brooks or an approved equal complete with bolt. All corners of the valve boxes must be supported with masonry blocks. Install valve boxes 12" from and perpendicular to walk, curb, lawn edges. Short side of valve box shall be parallel to walk, curb, lawn edge.

9.0 TRENCHING All trenching depths are to be at the minimum depth provided in the piping section. No staking of pipe is permitted. Pipes shall be installed parallel to each other when the sharing of trenches is necessary or possible.

10.0 BACK FILLING All back filling material shall be free of rocks, clods, and other extraneous materials. Water in and compact back fill to original density of soil.

11. CONTROLLER Install controllers where indicated on the plans. Connect 120 volt electrical supply provided into secondary pull box in immediate vicinity by others. Make final 120 volt electrical connection (by electrician). Use thin wall metal conduit above grade. Use waterproof connections for outdoor installation. Program controller so valve run times do not over lap. Install separate common wire for controller. Controllers shall be properly grounded per article 250 of the National Electric Code and conform to local regulations. Seal all conduit holes with silicone or equal water tight sealer. The irrigation contractor shall program controllers to irrigate slopes using multiple repeat cycles of an appropriate duration to prevent any run off. A reduced copy of the irrigation plan shall be placed in the controller with the areas irrigated by each station color coded.

12.0 WIRING All valve control wire shall be a 14 AWG copper UL for direct burial. Connect wire per manufacture's specifications. Each controller will have an extra wire run to each valve location or grouping for potential expansion. Each wire shall have a 24" coil of wire at every connection located in the valve box. Splicing of wires will not be permitted except in valve or splice boxes. Leave 24" coil of excess wire at each splice and 10 feet on center along wire run. Tape wire bundles at 10' intervals. No taping permitted in sleeving. Use waterproof connections on all valve connections or splicing.

13.0 CONVENTIONAL DRIP

A. All drip emitters must be pressure compensating. Poly-tubing line shall be buried 3" below finish grad (not including mulch depth). $\frac{1}{4}$" drip tubing lengths shall not exceed 24" .

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PREPARED FOR:
NARINDER PAUL
1501 OAKLEY DRIVE
LOS ALTOS, CA 94024
APN- 318-10-025

LANDSCAPE SPECIFICATIONS

LICENSED LANDSCAPE ARCHITECT
Rodney L. Scaccalosi
No. 4452
Exp. 05/31/26
STATE OF CALIFORNIA

NO.	REVISIONS	DATE:	1/17/2025
1.	11-19-24 PLAN CHECK REVISIONS	DESIGNED BY:	RLS
		DRAWN BY:	-
		CHECKED BY:	
		APPROVED BY:	

L4

From: Deepa Dhar
To: Nazaneen Healy
Subject: Re: New residence at 1501 Oakley Drive
Date: Friday, September 20, 2024 5:09:40 PM

Hi Nazaneen,

Thanks for the detailed information and apologies it has taken me a while to respond. Could you please let me know if a revised application has been submitted and if it is under review?

Our neighborhood is primarily single story ranch style homes and after seeing preliminary proposed plans for this house, several neighbors- immediately adjacent and others- have expressed dismay. We have had quite a few new houses built in recent years, and all have been single story, contemporary but tastefully done with sensitivity to the contextual characteristics of the neighborhood.

It is very obvious the initial plans were by a developer to maximize the coverage vs an independent Owner building for their own personal needs. Of particular concern is the ADU originally proposed as a 2 story structure with a 4" setback!

One of my neighbors visited the City & probably met with you personally as well. The current Municipal Code still has provisions for daylight planes, which would disallow a 2 story structure so close to the property line. I have though heard that our Council has passed some changes to the Code that will be detrimental to this. Is there a timeline when the Codes are typically or in this case expected to be updated?

Please advise on what our options are to ensure this is a harmonious addition to our neighborhood & not an eye-sore. Appreciate your feedback and assistance in working through this and protecting our neighborhood.

Thanks

Deepa Dhar AIA, LEED AP
[redacted]

Questions regarding construction project at 1501 Oakley Dr LOS ALTOS from the resident at 1830 Newcastle Dr LOS ALTOS

When I saw my neighbor's project construction at 1501 Oakley Dr I couldn't believe my eyes.
So many windows on two floors looking my way seem incredible to me.
I went to the City Hall and asked where can I find the most accurate version of the building code.
The person I met told me to go to the official website, which I did.
On cote 14.06.100 daylight plane (R1-10)A I noticed something interesting which I marked on the plan with a red line.
Then I continued my research and found out the height of an ADU cannot exceed 16 feet.
I marked on the plan with a blue line.
So it seems that my neighbor's project does not comply with the rules.
I haven't seen the site map.
However, I wonder about the logic that prevailed in planting the widest part of the construction of the narrowest part of the land.
The land being large enough to permit further development unless there is an intention to build multiple dwellings.
It would be wise to know now.
Did they submit a landscaping project ?

Attached parts
Code of ordinances 14.06.100
Building code ADU
Right and left elevation plan
Los Altos 08/30/2024

F. On a lot less than one hundred (100) feet in depth, the rear yard shall be twenty-five (2 of the depth of the site or twenty (20) feet, whichever is greater.

G. When a structure legally constructed according to existing yard and setback regulations at the time of construction encroaches upon currently required setbacks, the city planner may approve one encroaching setback to be extended by no more than twenty (20) feet or fifty (50) percent, whichever is less, along its existing building line without a variance, subject to the following provisions:

1. The extension may only be applied to the first story;
2. Only one such administrative extension may be permitted for the life of the building. Other extensions may be considered, subject to the filing of a variance application;
3. Extensions are only permitted for the main structure and cannot result in a further encroachment into any required setback area.

H. With the exception of the provisions of Section 14.66.080 of this title, when a structure has an existing nonconforming setback and fifty (50) percent or more of the floor area of that structure is voluntarily being eliminated or replaced, the entire structure shall be brought into conformance with current setback requirements. (Amended during 2/06 supplement; Ord. 05-285 § 2 (part); Ord. 05-278 § 1 (part): Ord. 04-267 § 2 (part))

(Ord. No. 2012-375, § 4, 1-24-2012; Ord. No. 2015-414, § 2, 9-8-2015)

14.06.090 - Height of structures (R1-10).

No structure shall exceed two stories or twenty-seven (27) feet in height from the natural grade. On flag lots the height of structures shall be limited to one story and twenty (20) feet in height. Basements shall not be considered a story. When the lot coverage exceeds or is proposed to exceed thirty (30) percent, the maximum height of structures shall be twenty (20) feet.

(Ord. 04-267 § 2 (part))

14.06.100 - Daylight plane (R1-10).

No structure shall extend above or beyond a daylight plane as follows:

A. For lots seventy (70) feet or greater in width, the daylight plane starts at a height of eleven (11) feet at each side property line and at an angle of twenty-five (25) degrees from the horizontal;

B. On a lot, which is less seventy (70) feet in width for its entire length, the plane starts at a height of nineteen (19) feet at each second story setback line and proceeds inward at an angle of twenty-five (25) degrees;

C.

On a site where the grade slopes greater than ten (10) percent from side property line to side pr line, the daylight plane at the lower side property line shall be measured from a point equal to the average elevation of the site and proceed inward at an angle of twenty-five (25) degrees;

D. An extension of an existing gable roof may project over or beyond the daylight plane when it is determined by the city planner that such projection is necessary to maintain the architectural integrity of the structure;

E. Television and radio antennas, chimneys, and other similar appurtenances may project above the daylight plane as provided for in Section 14.66.250.

(Ord. 07-312 § 5 (part); Ord. 04-267 § 2 (part))

14.06.110 - Basements (R1-10).

Basements shall be regulated as follows:

A. Basements shall not extend beyond the floor area of the first floor of the main or accessory structure above;

B. Light wells, ingress and egress wells, patio wells, and other similar elements shall not be permitted within a required front or exterior side yard setback. These elements may be permitted within an interior side or rear yard setback, but in no event closer than five feet to a property line;

C. Light wells, ingress and egress wells, patio wells, and other similar elements shall utilize vertical retaining walls. Contour graded slopes, which expose the basement as a story, are prohibited.

D. Light wells, ingress and egress wells, patio wells, and other similar elements shall be at least seventy-five (75) percent open in area to light and air above.

(Ord. 04-267 § 2 (part))

(Ord. No. 10-348, § 3, 4-13-2010; Ord. No. 2015-414, § 3, 9-8-2015)

14.06.120 - Outdoor kitchens, barbeques, fireplaces and swimming pools.

A. Outdoor kitchens, barbeques, fireplaces, and similar structures shall be allowed in the main structure's building envelope, and in the required rear yard setback with a minimum setback of five feet from any property line. Said structures shall not be located in the required front or side yard setback areas.

B. Swimming pools, hot tubs, and spas shall be allowed within the main structure's building envelope, and the required rear yard setback with a minimum setback of five feet from any property line. Said structures shall not be located in a required front or side yard setback area.

1. The setback shall be measured from the outside edge of the pool structure.

2.

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AI Overview Learn more

The City of Los Altos, California has many building codes for Accessory Dwelling Units (ADUs), including:

Size

ADUs can be up to 800 sq ft and are exempt from a lot's maximum development area (MDA) and maximum floor area (MFA). Attached ADUs can't be more than 50% of the floor area of the main residence, but ADUs of 850 sq ft or smaller can't be denied.

Setbacks

ADUs must have a minimum 40 ft setback from the street, and a minimum 4 ft setback from the side and rear lot lines. ADUs with 30 ft side and rear setbacks may be eligible for more floor area and height. Conversion ADUs and junior ADUs must be set back enough to ensure fire safety.

Height

ADUs can't be more than 16 ft tall.

Parking

Attached and detached ADUs need one parking space, unless they qualify for an exemption. Conversion ADUs and junior ADUs usually don't need parking.

Kitchens

JADUs must have an efficiency kitchen with a cooking top, sink, and food preparation counter. Attached and detached ADUs need a 10 cubic ft refrigerator, sink, oven with a cooking top, and storage cabinets and preparation counters.

The City of Los Altos has partnered with other Santa Clara County cities to create a resource for property owners interested in building an ADU. This resource includes information on regulations, permits, design plans, cost, and rent.

Generative AI is experimental.

Accessory Dwelling Units (ADUs) | City of Los Altos California
Additional Resources. The City of Los Altos has partnered with other Santa Clara County cities to create a centralized resour…
City of Los Altos

Accessory Dwelling Units - Town of Los Altos Hills
Development Area and Floor Area. A new ADU, attached or detached, is allowed to be up to 800 square feet in size and i…
Town of Los Altos Hills

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Update to 2022 Energy Code and 2022 CA Green Building Standards Code. DOES apply when you: Construct a new…
City of Los Altos (.gov)

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Los Altos City Code: **ADU**/JADU Regulations · **Building Permit** Submittal Requirements ... **Los Altos**, **CA** 94022 | (650) 947-2700. a municode design · Home · Directory ...

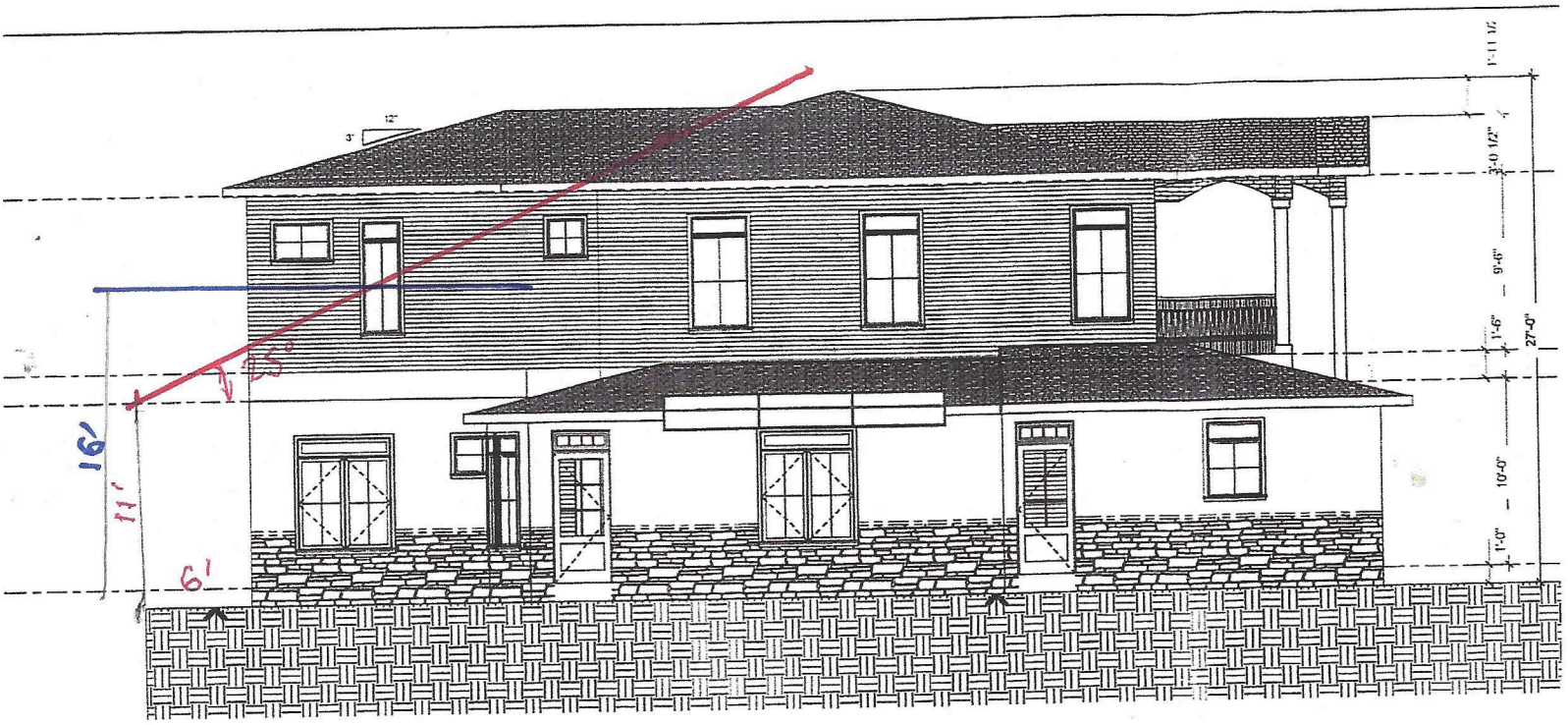
People also ask

What are the setbacks for a Los Altos ADU?

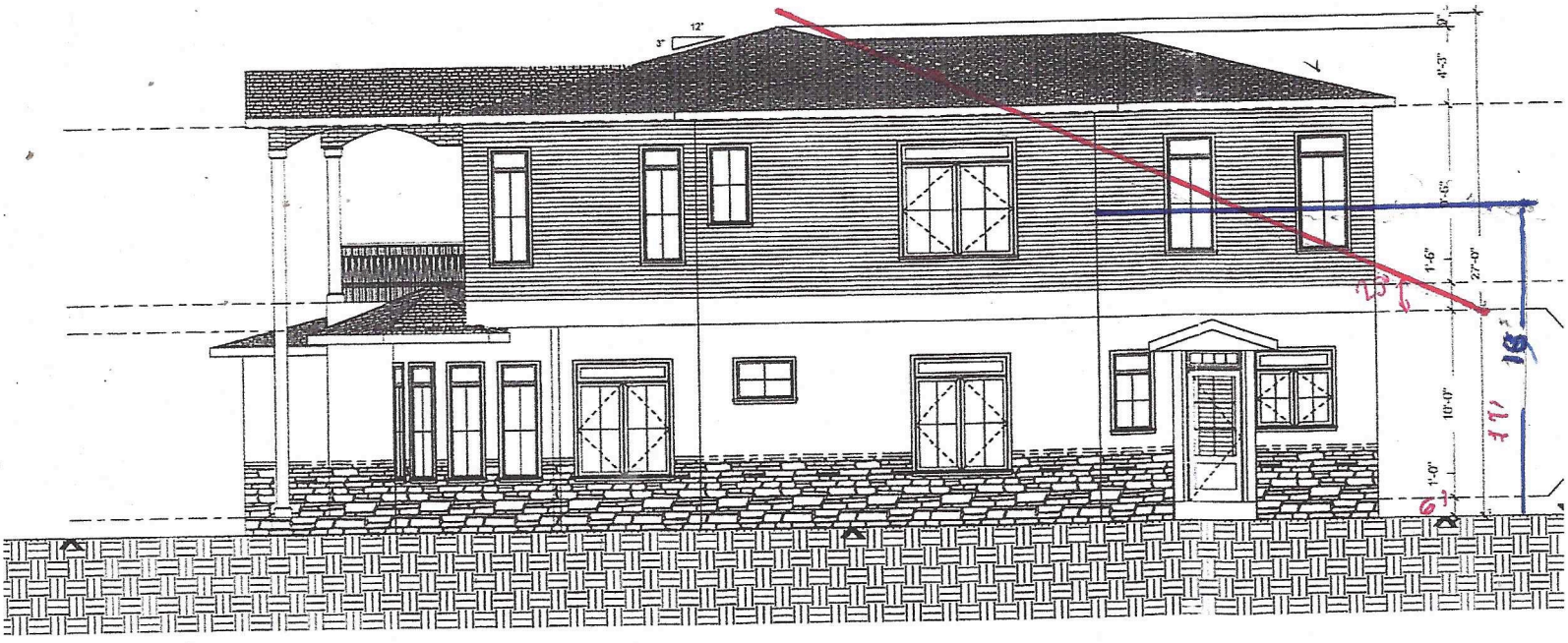
Are there any zoning restrictions for building an ADU in California?

What is the largest that a detached ADU could be?

How many bedrooms can an ADU have in California?



LEFT ELEVATION
SCALE: 1/4" = 1'



RIGHT ELEVATION
SCALE: 1/4" = 1'

ZONING ADMINISTRATOR
AGENDA REPORT

TO: Nick Zornes, Zoning Administrator

FROM: Naz Healy, Associate Planner

SUBJECT: SC24-0009 – 1140 Diamond Court

RECOMMENDATION

Approve Design Review application SC24-0009 for the construction of a new 724 square-foot first-story addition and 254 square-foot second-story addition to an existing one-story single-family home subject to the listed findings and conditions of approval; and find the project categorically exempt from environmental review under Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA).

BACKGROUND

Project Description

- Project Location: 1140 Diamond Court, located on the west side of Diamond Court between Berry Avenue and the terminus of Diamond Court
- Lot Size: 11,745 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story home

The proposed project includes a 724 square foot first-floor addition and remodel and 254 square-foot second-floor addition to an existing one-story home (see Attachment 1 – Project Plans). The proposed addition and remodel project incorporates shed and flat roof forms to the front of the home and exterior materials that include stucco, stained vertical wood siding, and stone veneer walls with composition shingle roofing (see Attachment 2 – Material Board). The proposed site improvements include reconfiguration of the front yard paving and placement of mulch. No protected trees are proposed for removal.

ANALYSIS

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	2,594 square feet	3,029 square feet	3,523 square feet
FLOOR AREA:			
First floor	2,383 square feet	3,107 square feet	
Second floor	----	29 square feet*	
Total	2,383 square feet	3,136 square feet	3,924.5 square feet
SETBACKS:			
Front	25.0 feet	25.0 feet	25 feet
Rear	62.6 feet	62.6 feet	25 feet
Right side (1st/2nd)	9.9 feet/0 feet	9.9 feet/36.5 feet	7.2 feet/14.7 feet
Left side (1st/2nd)	15.4 feet/0 feet	13.4 feet/19.0 feet	7.2 feet/14.7 feet
HEIGHT:	15.2 feet	17.7 feet	27 feet

**Pursuant to LAMC definitions, the proposed 254 square foot loft area is a new second-story, although only 29 square feet is included in the floor area based on the interior heights and configuration.*

Pursuant to Chapter 14.76 of the LAMC, second-story additions shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The proposed home minimizes bulk by proposing a lower height than the maximum and incorporating greater setbacks than required.

One unprotected tree in the front yard is proposed for removal to accommodate the addition and all other trees, including a protected rear yard Redwood and unprotected front yard Japanese Maple will be preserved. The project includes reconfiguration of the front yard paving and a portion will be replaced with mulch for compliance with the maximum front yard paving area.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and preserves existing trees.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) because it involves the construction of an addition to an existing single-family home.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted a public notice sign on the property in conformance with the Planning Division posting requirements.

The applicant contacted seven neighbors in the immediate area by providing a letter with a rendering of the front of the home. No public comments have been received as of the writing of this report.

Attachments:

1. Project Plans
2. Material Board

Cc: Shlomi Caspi, Applicant
Aiden Crook, Property Owner

FINDINGS

SC24-0009 – 1140 Diamond Court

With regard to the proposed addition to the existing residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

A. The proposed addition to the existing residence complies with all provisions of this chapter because the addition is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.

B. The height, elevations, and placement on the site of the proposed addition is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed addition complies with the allowable floor area ratio, lot coverage, setbacks, maximum height, and daylight plane requirements pursuant to LAMC Chapter 14.06.

C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal because the site is relatively level and therefore does not require substantial grading and no protected trees are proposed for removal.

D. The orientation of the proposed addition in relation to the immediate neighborhood will minimize excessive bulk because the proposed design proposes a lower height than the maximum and incorporates greater setbacks than required.

E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to ensure the compatibility of the development with its design concept and the character of adjacent buildings. The proposed addition complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the addition incorporates consistent and compatible features including stucco, stained vertical wood siding, and stone veneer walls with composition shingle roofing.

F. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the proposed project includes removal of a portion of the front yard paving and replacement with mulch for compliance with the maximum front yard paving area.

CONDITIONS OF APPROVAL

SC24-0009 – 1140 Diamond Court

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on June 4, 2027 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.

2. **Approved Plans:** The approval is based on the plans and materials received on April 8, 2025, except as modified by these conditions as specified below.

3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.

4. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

6. **Building Design/Plan Modifications:** The following modifications shall be made to the architectural design, building materials, colors, landscaping, and/or other site or building design details and shall be shown on the building permit drawings:
    a. On the Cover Sheet Zoning Compliance Table:
        i. Indicate the maximum lot coverage is 3523.5 square feet/30%.
        ii. Indicate the proposed floor area is 3136 square feet/25.7%.
    b. On the Sheet A0.3 Area Calculations:
        i. Indicate the proposed floor area is 3136.02 square feet.
        ii. Remove the notes indicating the loft area is not included in the floor area.
        iii. Indicate the maximum lot coverage is 3523.5 square feet/30%.

7. **Protected Trees:** Tree No. 1 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.

8. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the driplines, or as required by the project arborist, of Tree No. 1. Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

9. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.

10. **Landscaping Installation and Verification:** All landscaping materials provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.

11. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

12. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.

14. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

15. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the

established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

16. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.

17. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

18. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

19. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

20. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

21. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

22. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

23. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

24. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.

25. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.

26. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.

27. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.

28. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.

29. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

30. **Applicable Codes and Review**: The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

31. **Violations**: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

32. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

33. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection system, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

34. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

35. **Fire Sprinklers:** Clarify on sheet A0.1 whether or not the main house has sprinklers.

36. **Fire Department (Engine) Roadway Turnaround Required**:
    a. Provide signage indicating the presence & location of a Fire Department Turnaround/No parking.
    b. No obstruction within the turnaround at all time.
    c. A copy of the Alternate Means/Methods application form, with approval signature shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.
    d. A copy of this comment letter shall be made part of the building permit drawings.

CITY NOTES

1. ---
2. ---
3. ---

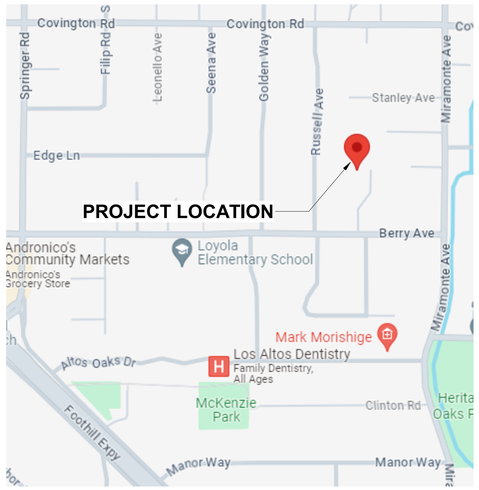
CROOK RESIDENCE ADDITION

1140 DIAMOND COURT

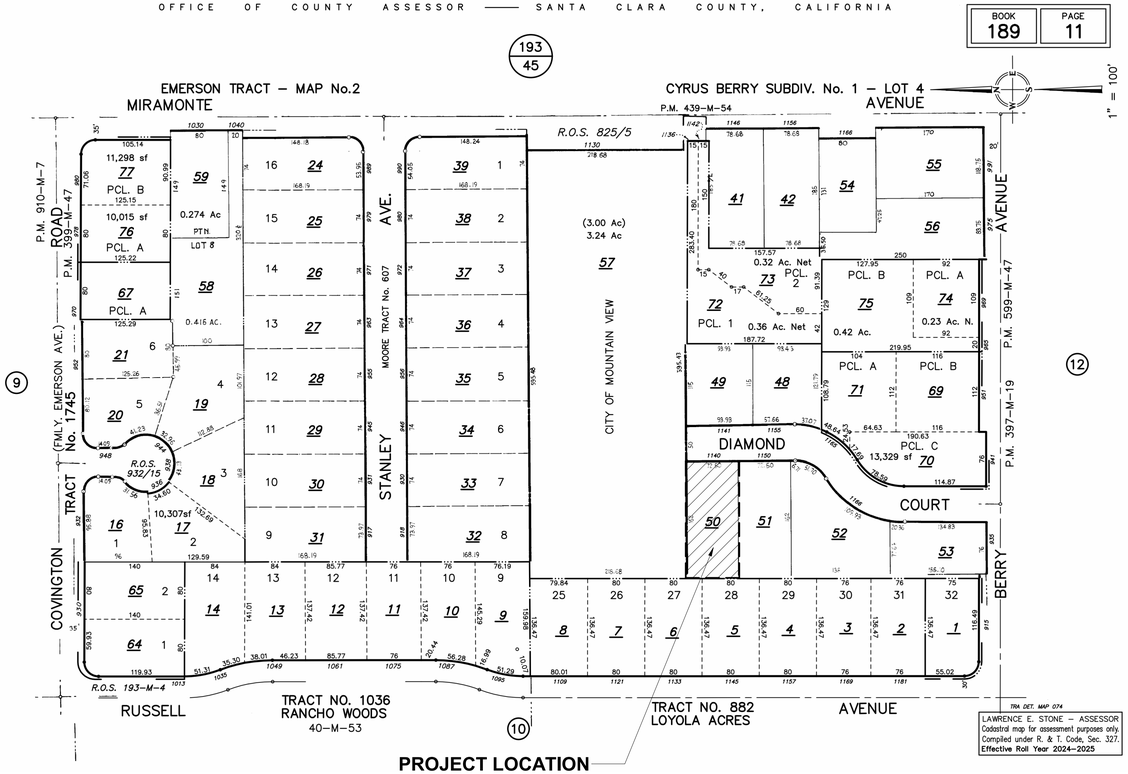
LOS ALTOS, CALIFORNIA

SHEET INDEX

		Planning Comments 10.09.2024				
A0.1	COVER SHEET	•				
A0.3	SITE PLAN - AREA CALCULATIONS	•				
A0.4	AREA PLAN - STREETSCAPE	•				
A0.5	LANDSCAPE PLAN - FIRE TRUCK TURNING POINT	•				
A0.6	DRAINAGE - ERROSION CONTROL - TREE PROTECTION PLAN	•				
-	SURVEY	•				
A1.1	FIRST FLOOR DEMOLITION PLAN	•				
A1.3	ROOF DEMOLITION PLAN	•				
A2.1	PROPOSED FLOOR PLANS	•				
A2.3	PROPOSED ROOF PLAN	•				
A3.1	EXISTING / PROPOSED FRONT AND REAR ELEVATIONS	•				
A3.2	EXISTING / PROPOSED SIDE ELEVATIONS	•				
A4.1	SECTIONS	•				
MB	MATERIAL BOARD	•				



VICINITY MAP



ASSESSOR MAP

PROJECT TEAM

OWNERS
AIDAN AND JENNIE CROOK
1140 DIAMOND COURT
LOS ALTOS, CA 94024
TEL: (650) 469-2890
aidan.crook@gmail.com

DESIGNERS
TIMELINE DESIGN AND BUILD
14401 BIG BASIN WAY
SARATOGA CA, 95070
TEL: (408) 761-4596
ATTN: SHLOMI CASPI
scaspi@tldesign.net

SURVEYOR
ABC SURVEYING & MAPPING
2464 EL CAMINO REAL Suite117
SATA CLARA CA, 95051
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ATTN: TIM TRAN
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STRUCTURAL
ROCA3 ENGINEERING
450 SOUTH ABEL ST, PO BOX 362100
MILPITAS, CA 95036
TEL: (408) 821-1335
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joey@roca3.com

TITLE-24
CALIFORNIA LIVING & ENERGY
CERES, CA 95037
TEL: (209) 618-4462
ATTN: JAMES HERNANDEZ
janes.hernandez@califliving.com

GENERAL PROJECT INFORMATION

Address: 1140 DIAMOND COURT, LOS ALTOS, CALIFORNIA, 94024

Zoning District: R-1-10

Occupancy Type: R3, U

Construction Type: V-B

For Code Compliance:
2022 CALIFORNIA CODES (CBC, CRC, CEC, CMC, CPC)
2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CALGreen)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
LOS ALTOS ORDINANCES

PROJECT DESCRIPTION

3

REMODEL AND ADDITION:

- ADD 735.42 SF OF HABITABLE SPACE FOR A TOTAL PROPOSED FLOOR AREA OF 3,118.73 SF.
- TOTAL PROPOSED AREAS INCLUDE 2,571.01 SF OF HABITALBE SPACE, 547.36 SF OF GARAGE SPACE.
- REVISE INTERIOR, CHANGE PLUBING FATURES OF EXISTING BATHROOMS.
- EXISTING HOUSE INCLUDES 3 BEDROOMS AND 2 BATHROOMS. PROPOSED HOUSE INCLUDES 3 BEDROOMS AND 3 BATHROOMS.

NOTE:
NO GRADING, DRAINAGE OR LANDSCAPING WORK IS PROPOSED.

ZONNING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE *Land area covered by all structures that are over 6 feet in height.*	*2,594.29 SF (22.09 %)*	*3,330.22 SF (28.35 %)*	3523.5 SF 30%
FLOOR AREA *Measured to the outside surfaces of exterior walls*	2,382.95 SF (20.29 %)	3136.0 SF 25.7%	3,924.50 SF (33.41 %)
SETBACKS *Front* *Rear* *Right side* *Left side*	*25.10 FT* *62.60 FT* *9.96 FT/..... FT* *15.40 FT/..... FT*	*25.10 FT* *62.60 FT* *9.96 FT/36.30 FT* *13.40 FT/30.85 FT*	*25 FT* *25 FT* *7.30 FT/ 17.50 FT* *7.30 FT/ 17.50 FT*
HEIGHT	*+/-15 FT - 2.25 IN*	*+/-17 FT - 8.25 IN*	*20 FT*

SQUARE FOOTAGE BREAKDOWN

3

	Existing	Total Proposed	Total
HABITABLE LIVING AREA	*1,835.59 FT*	*735.42 FT*	*2,571.01 FT*
NON- HABITABLE AREA	*547.36 FT*	*0 FT*	*547.36 FT*

SQUARE FOOTAGE BREAKDOWN

NET LOT AREA	*11,745.00 SF*	3
FRONT YARD HARDSCAPE AREA *Hardscape area in the front yard setback shall not exceed 50%.*	*635.60 SF*	
LANDSCAPING BREAKDOWN	*Total existing hardscape area : 5,123.26 sq ft* *Total proposed hardscape area : 5,761.09 sq ft* *Existing softscape (undisturbed) area : 6,621.74 sq ft* *New softscape (new or replaced landscaping) area : 637.83 sq ft*	

APPROVED

Any changes to the drawings or scope of work, including moving, adding or deleting items, may incur a change order.

Designer_____
Client X _____
Client X _____
Date _____

Revisions		
No.	Description	Date
3	Revision 3	4/8/25

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

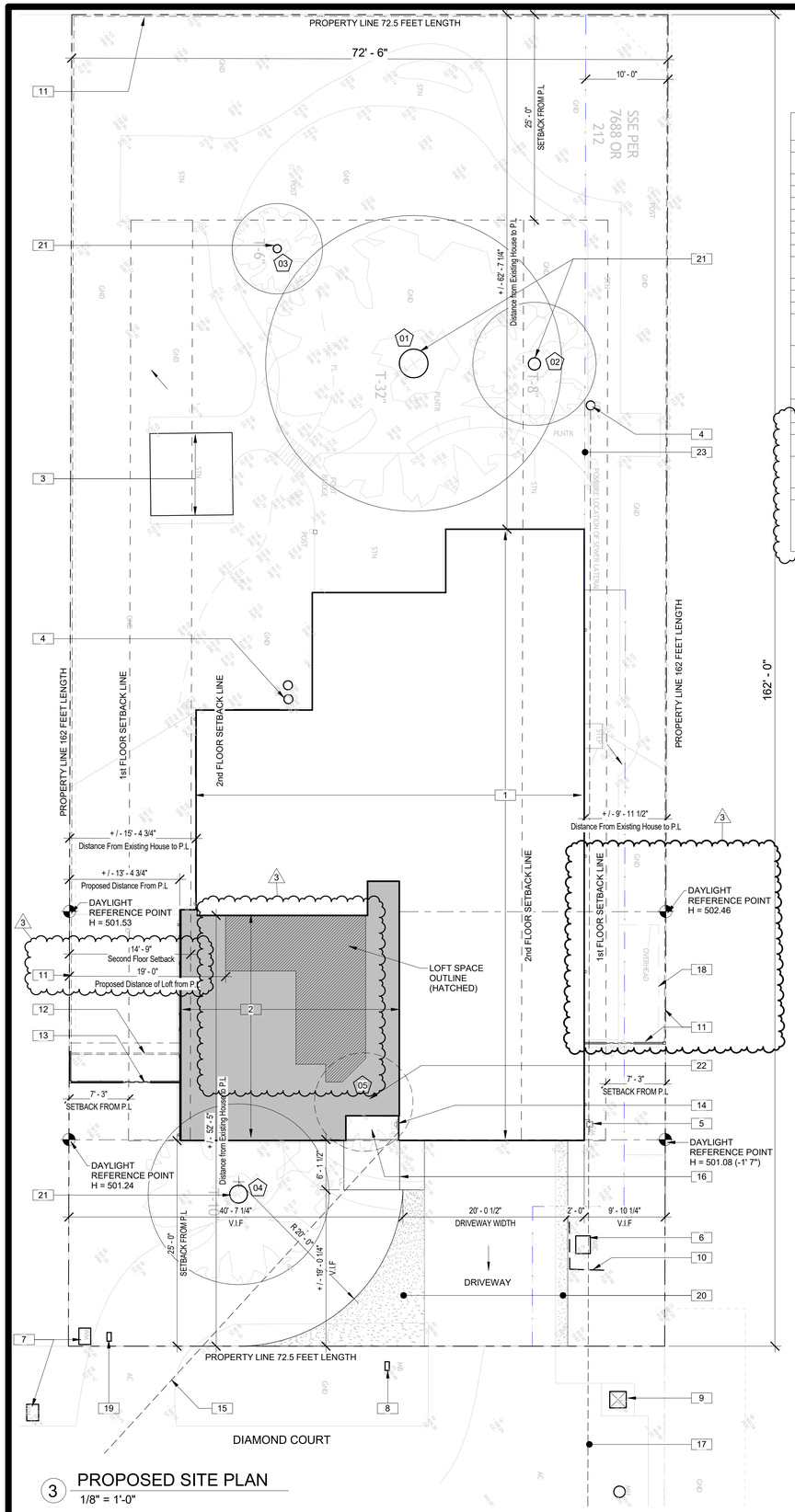
A.P.N. 189-11-050

SCALE: As indicated
DRAWN BY: DTN
APPROVED BY: BF
DATE: 04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A0.1

COVER SHEET



3 PROPOSED SITE PLAN
1/8" = 1'-0"

KEYNOTES

1	EXISTING HOUSE TO REMAIN
2	SHADE INDICATES ADDITION AREA, REMOVE EXISTING LANDSCAPE, TREES, HARDSCAPE
3	EXISTING GAZEBO STRUCTURE TO REMAIN
4	SANITARY SEWER CLEAN OUT TO REMAIN
5	EXISTING GAS METER TO REMAIN
6	EXISTING A/C OUT DOOR UNIT TO REMAIN
7	EXISTING WATER METER TO REMAIN
8	EXISTING MAIL BOX TO BE RELOCATED
9	EXISTING STORM WATER DRAINAGE TO REMAIN
10	EXISTING 3' WOOD FENCE PROTECT A/C UNIT, TO BE REPAIRED WHEN JOB DONE.
11	EXISTING WOOD FENCE AND GATE TO REMAIN
12	EXISTING FENCE TO BE REMOVED, TYPICAL
13	NEW FENCE WITH GATE TO BE INSTALLED, TYPICAL
14	EXISTING ELECTRICAL PANEL 200A WITH OVERHEAD FEED TO REMAIN; PROVIDE NEW FLASHING AROUND IT
15	EXISTING OVERHEAD ELECTRICAL FEED LINE TO REMAIN
16	NEW CONCRETE STEPS AND LANDING, SLOPE 1/4" AWAY FROM BUILDING, NO POINT HIGHER 6" TO THE GRADE LEVEL.
17	EXISTING SEWER LATERAL TO REMAIN
18	EXISTING OVERHEAD STRUCTURE TO REMOVE
19	NEW LOCATION OF MAIL BOX
20	PATTERN INDICATES AREA TO BE CONVERTED AND ADDED TO EXISTING DRIVEWAY AS SHOWN.
21	EXISTING TREES TO REMAIN, PROVIDE PROTECTION FENCE, REFER TO A0.6 FOR ADDITIONAL INFORMATION
22	EXISTING TREES TO BE REMOVED
23	BLUE DASH DOT LINE INDICATES AN EASEMENT FOR SANITARY SEWER FACILITIES, INCLUDING TEMPORARY CONSTRUCTION, CONSTRUCTION, INSTALLATION, AND MAINTENANCE AMD INCIDENTAL PURPOSES, SHOWN IN THE TITLE REPORT

TREE SCHEDULE

No.	SPECIES	TRUNK SIZE	STATUS
01	REDWOOD	32.0"ø	RETAIN
02	ORANGE	8.0"ø	RETAIN
03	ORAGE	6.5"ø	RETAIN
04	MAPLE JAPANESE	10"ø	RETAIN
05	CHINESE PISTACHE	8.0"ø	REMOVE

NATURAL AVERAGE GRADE CALCULATIONS

FLOOR LEVEL AT HABITABLE AREA:		502.66 = 0.00
LOWEST GRADE POINT AT HOUSE:		500.97 = - 1 - 8 1/4"
HIGHEST GRADE POINT AT HOUSE:		501.65 = - 1 - 0 1/8"
AVERAGE NATURAL GRADE:		501.31 = - 1 - 4 3/16"
LOWEST GRADE AT NORTH	:	500.97 = - 1 - 8 1/4"
HIGHEST GRADE AT NORTH	:	501.65 = - 1 - 0 1/8"
AVERAGE NATURAL GRADE AT NORTH SETBACK	:	501.31 = - 1 - 5 5/8"
LOWEST GRADE AT SOUTH	:	501.19 = - 1 - 3 1/4"
HIGHEST GRADE AT SOUTH	:	501.59 = - 1 - 0 1/16"
AVERAGE NATURAL GRADE AT SOUTH SETBACK	:	501.39 = -1 - 3 1/4"

CRAWLSPACE VENTILATION CALCULATIONS

TYPICAL CRAWLSPACE VENT:
Gibraltar Building Products
Galvanized Steel 2-Way Reversible Vent 14" x 6" = 52.00 Sq.In.

VENTILATION REQUIRED:

PROPOSED ADDITION AREA (T3.1 - L1) = 724.73 Sq.Ft.

TOTAL VENTILATION REQUIRED:
724.73 / 150 x 144 = **694.74 Sq.In.**

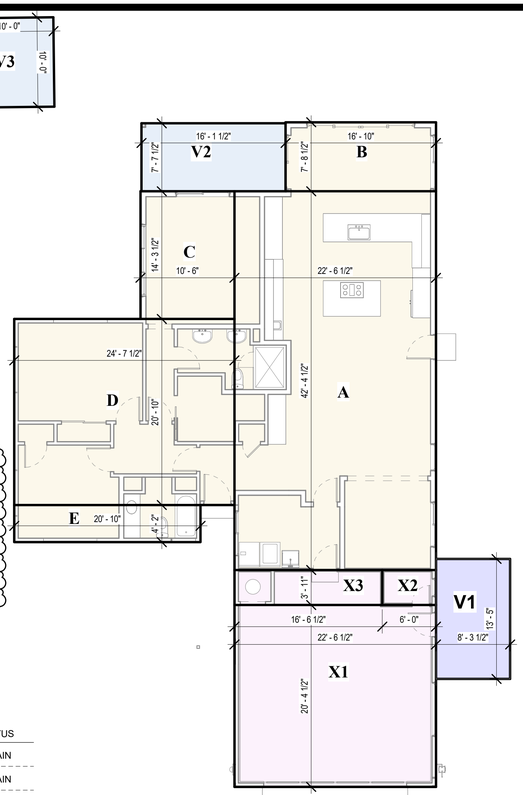
VENTILATION PROVIDED:

(17) NEW VENTS PROVIDED
(3) EXISTING VENTS ABANDONED
ADDITIONAL VENTILATION: (14) x 52 = 728.00 Sq.In.

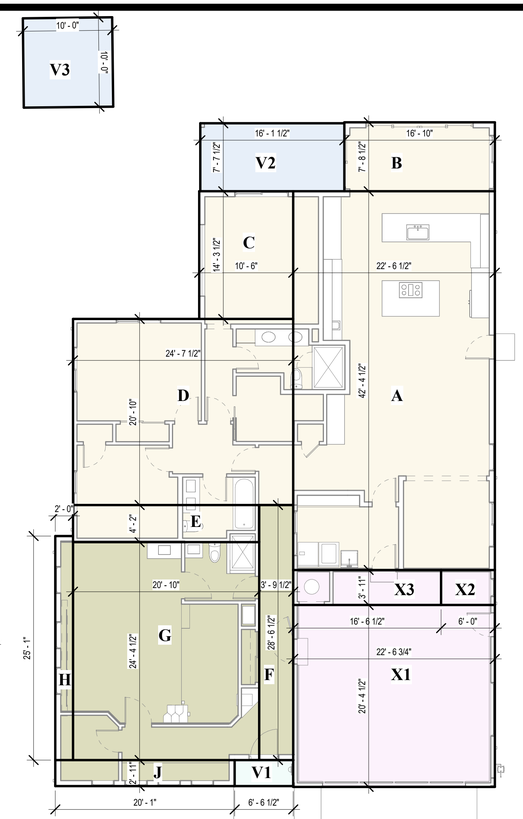
TOTAL VENTILATION PROVIDED: **728.00 Sq.In**

REFER TO DETAIL 10/A8.2 FOR CRAWLSPACE VENT @ SIDING

FOR NEW CRAWLSPAVE VENT LOCATIONS REFER TO:
FRONT ELEVATION (x6) **1/A3.1**
SIDE ELEVATION (x8) **3/A3.2**
SECTION (x1) **1, 2, 3 4/A4.1**



1 AREA DIAGRAM - EXISTING
1/8" = 1'-0"



2 AREA DIAGRAM - PROPOSED 1st FLOOR
1/8" = 1'-0"

(T1) EXISTING HABITABLE FLOOR AREA TO REMAIN

#	Length		Width	Area
A	22' - 6 1/2"	x	42' - 4 1/2"	955.88 SF
B	7' - 8 1/2"	x	16' - 10"	129.93 SF
C	10' - 6"	x	14' - 3 1/2"	150.21 SF
D	20' - 10"	x	24' - 7 1/2"	512.98 SF
E	4' - 2"	x	20' - 10"	86.59 SF
Total Existing Habitable Area To Remain (T1)				1835.59 SF

(T2) EXISTING NON-HABITABLE FLOOR AREA TO REMAIN

#	Length		Width	Area
X1	20' - 4 1/2"	x	22' - 6 1/2"	459.03 SF
X2	3' - 11"	x	6' - 0"	23.54 SF
X3	3' - 11"	x	16' - 6 1/2"	64.79 SF
Total Existing Non-Habitable Area To Remain (T2)				547.36 SF

(T3.1) NEW HABITABLE SPACE (1st AND LOFT FLOOR)

#	Length		Width	Area
F	3' - 9 1/2"	x	28' - 6 1/2"	108.50 SF
G	20' - 10"	x	24' - 4 1/2"	507.95 SF
H	2' - 0"	x	25' - 1"	49.74 SF
J	2' - 11"	x	20' - 1"	58.53 SF
L1	2' - 0"	x	5' - 4"	10.69 SF
Total Additional Habitable Area (T3.1)				735.42 SF

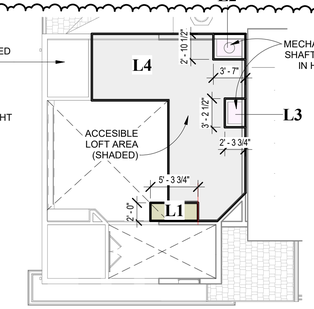
EXISTING-TO-REMAIN HABITABLE AREA (T1)	:	1,835.59 SF
NEW HABITABLE AREA (T3.1)	:	735.42 SF
TOTAL PROPOSED HABITABLE SPACE (T1+T3.1)	:	**2,571.01 SF**
EXISTING NON-HABITALE FLOOR AREA TO REMAIN (T2)	:	547.36 SF
TOTAL PROPOSED FLOOR AREA (T1+T2+T3.1) +17.65	:	3136.02 **SF**

(T3.2) LOFT AREA ~~(NOT INCLUDED IN FLOOR AREA)~~

#	Length		Width	Area
L1	2' - 0"	x	5' - 4"	10.69 SF
L2	2' - 10 1/2"	x	3' - 7"	10.26 SF
L3	2' - 3 1/2"	x	3' - 2 1/2"	7.39 SF
L4	6' - 6"	x	32' - 11 1/2"	214.87 SF
Total Loft Area ~~(Not Included in Floor Area) (T3.2)~~				243.21 SF

(T4) COVERAGE AREA

#	Length		Width	Area
V2	7' - 7 1/2"		16' - 1 1/2"	122.54 SF
V3	10' - 0"		10' - 0"	100.00 SF
Total Coverage Area (T4)				222.54 SF



NOTE: ALL AREAS OF ACCESSIBLE LOFT ARE UNDER 5'-0" HEAD HEIGHT

4 AREA DIAGRAM - PROPOSED LOFT LEVEL
1/8" = 1'-0"

FAL CALCULATIONS

LOT SIZE	:	11,745 SF
LENGTH	:	162.0 FT
WIDTH	:	72.5 FT
FLOOR AREA LIMIT [3,850 + 10%x(11,745 - 11,000)]	:	**3,924.5 SF**
TOTAL EXISTING FLOOR AREA TO REMAIN (T1+T2)	:	2,382.95 SF
NEW FLOOR AREA (T3.1)	:	735.42 SF
TOTAL PROPOSED FLOOR AREA (T1+T2+T3.1)	:	**3,118.37 SF**

LOT COVERAGE CALCULATIONS

LOT SIZE	:	11,745 SF
LENGTH	:	162.0 FT
WIDTH	:	72.5 FT
MAX. ALLOWABLE BUILDING COVERAGE 30% **of Lot Size)**	:	3523.5 **SF**
TOTAL EXISTING FLOOR AREA TO REMAIN (T1+T2)	:	2,382.95 SF
NEW 01st FLOOR AREA (T3.1 - L1)	:	724.73 SF
TOTAL COVERED AREA (T4)	:	222.54 SF
TOTAL PROPOSED COVERAGE	:	**3,330.22 SF**

N

Revisions		
No.	Description	Date
3	Revision 3	4/8/25

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

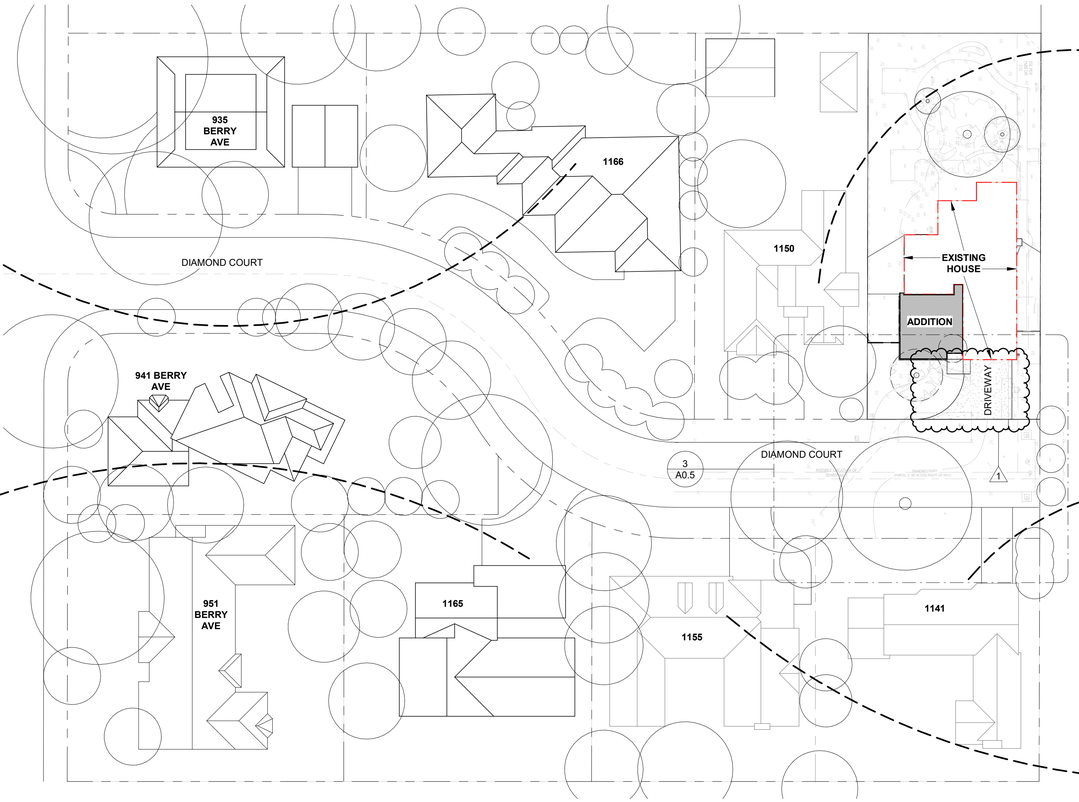
A.P.N. 189-11-050

SCALE: As indicated
DRAWN BY: DTN
APROVED BY: BF
DATE: 04/08/25

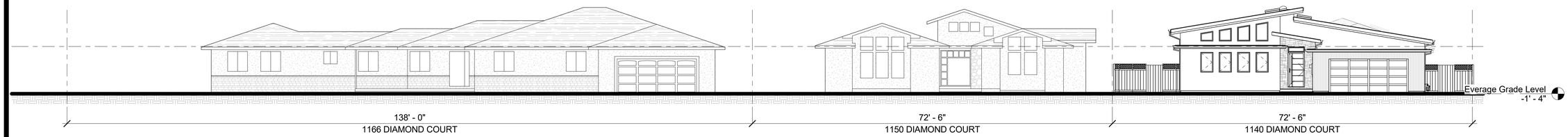
TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A0.3

SITE PLAN - AREA CALCULATIONS



1 AREA PLAN - NEIGHBOR FACILITIES
1" = 30'-0"



2 PROPOSED FRONT ELEVATION (EAST)
1" = 10'-0"

N

Revisions		
No.	Description	Date
1	Revision 1	Date 1

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

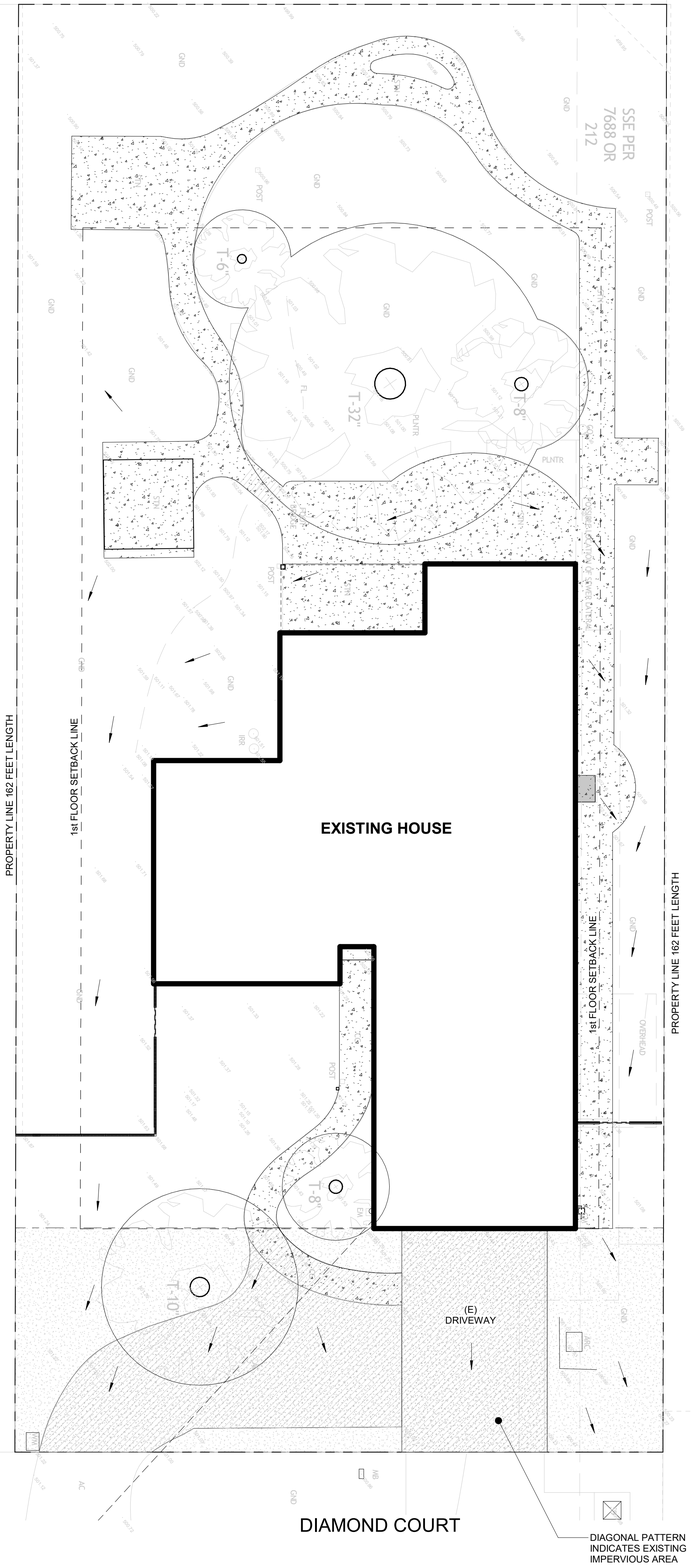
A.P.N. 189-11-050

SCALE:	As indicated
DRAWN BY:	DTN
APPROVED BY:	BF
DATE:	04/08/25

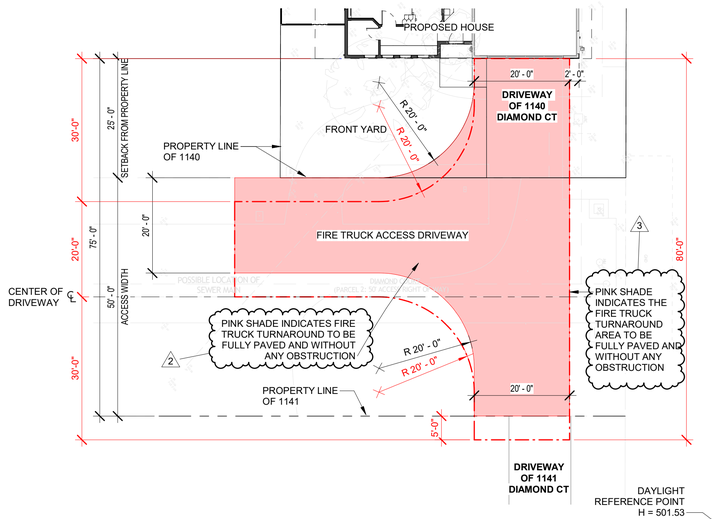
TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A0.4

AREA PLAN - STREETSCAPE



1 EXISTING FRONT YARD LANDSCAPE PLAN
1/8" = 1'-0"



3 FIRE TRUCK TURN POINT DIMENSIONS
1 : 180

EXISTING FRONT YARD HARDSCAPE BEYOND SETBACK AREA

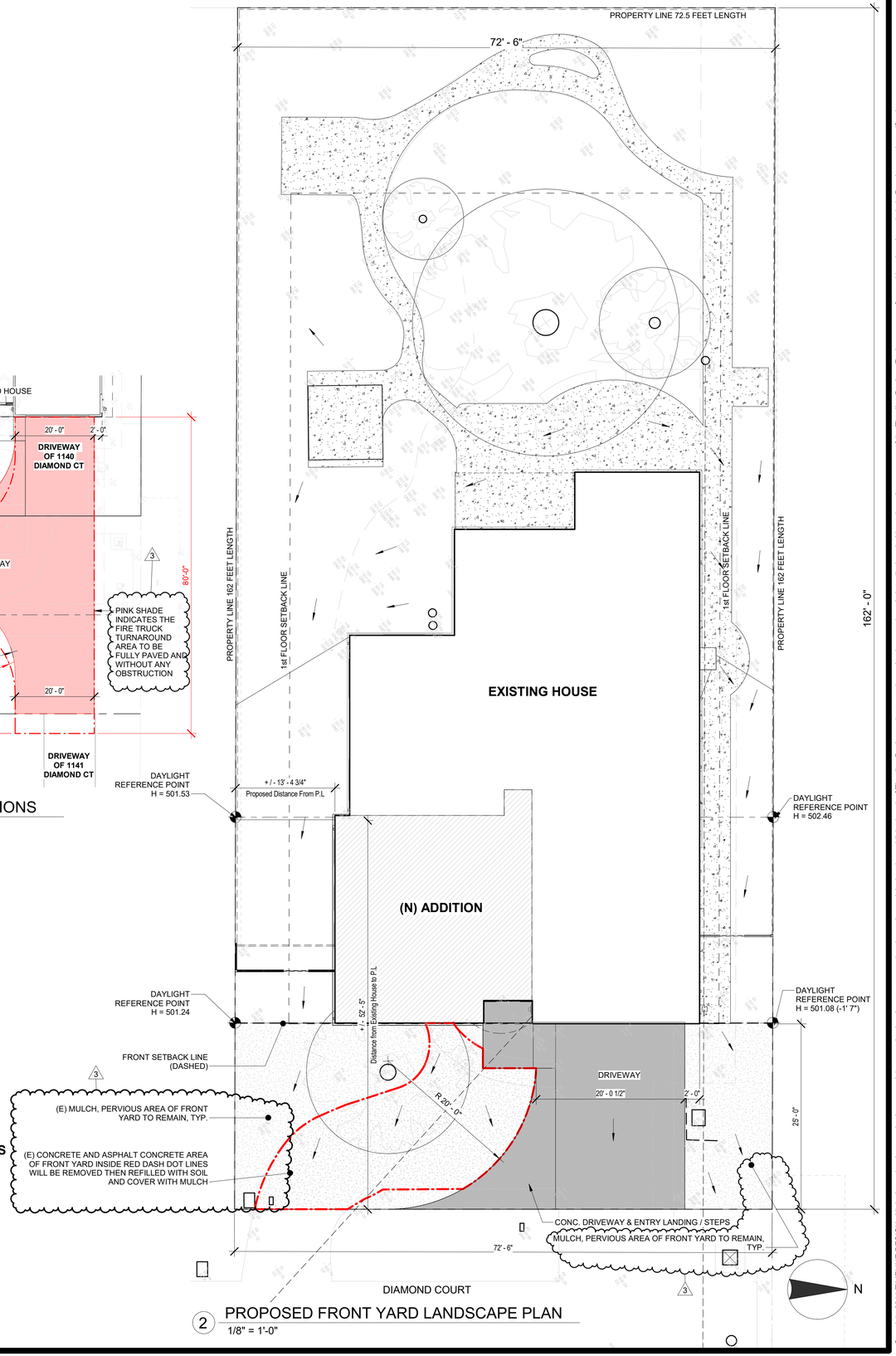
1. EXISTING IMPERVIOUS AREA : 1,014.03 SF.
2. FRONT YARD AREA BEYOND SETBACK : 1,820.43 SF.

PROPOSED FRONT YARD HARDSCAPE BEYOND SETBACK AREA

1. EXISTING IMPERVIOUS AREA BEFORE CONSTRUCTION : 1,014.03 SF.
2. (E) PERVIOUS AREA TO BE CONVERTED TO IMPERVIOUS : 136.95 SF.
3. (E) IMPERVIOUS AREA TO BE CONVERTED TO PERVIOUS : - 501.73 SF.
4. TOTAL HARDSCAPE AREA AFTER CONSTRUCTION : 649.25 SF
5. FRONT YARD AREA BEYOND SETBACK : 1,820.43 SF
6. RATIO : 35.67 %.

FRONT YARD PERVIOUS / IMPERVIOUS CALCULATIONS

EXISTING FRONT YARD (25'-0" x 72'-6")	1,812.5 SF
50% OF FRONT YARD	906.25 SF
PROPOSED PERVIOUS AREA	655 SF (251.25 SF UNDER)



2 PROPOSED FRONT YARD LANDSCAPE PLAN
1/8" = 1'-0"

Revisions		
No.	Description	Date
2	Revision 2	1/7/25
3	Revision 3	4/8/25

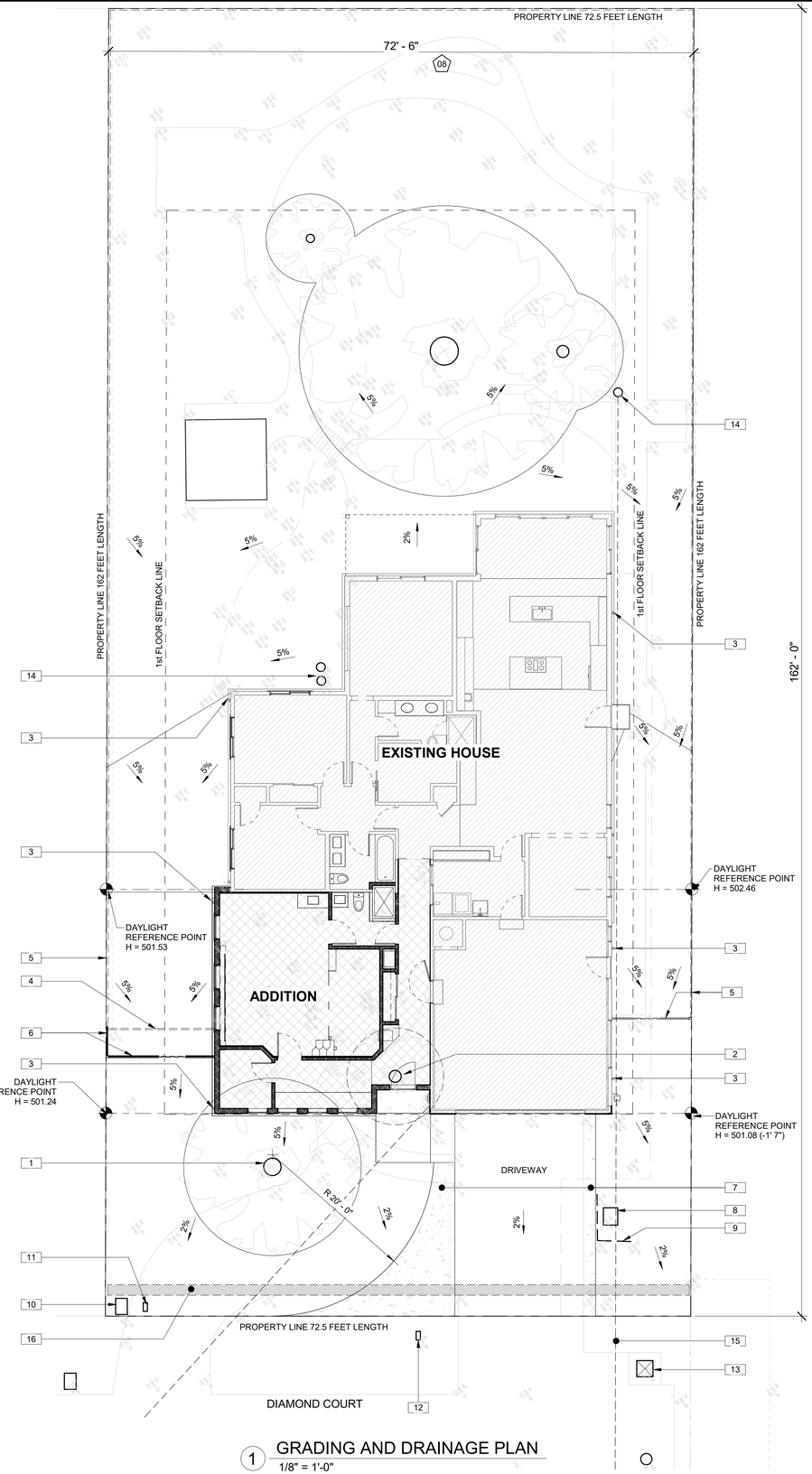
ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

A.P.N. 189-11-050

SCALE: As indicated
DRAWN BY: DTN
APROVED BY: BF
DATE: 04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A0.5
LANDSCAPE PLAN - FIRE TRUCK TURNING POINT



1 GRADING AND DRAINAGE PLAN
1/8" = 1'-0"

KEYNOTES	
1	EXISTING TREES TO REMAIN, PROVIDE PROTECTION FENCE, REFER TO A0.6 FOR ADDITIONAL INFORMATION
2	EXISTING TREES TO BE REMOVED
3	DOWNSPOUT, DISCHARGE ONTO SPLASH BLOCKS
4	EXISTING FENCE TO BE REMOVED, TYPICAL
5	EXISTING FENCE TO REMAIN, NO CHANGES
6	NEW FENCE WITH GATE TO BE INSTALLED, TYPICAL
7	PATTERN INDICATES AREA OF 6" CONCRETE SLAB ADDED TO EXISTING DRIVEWAY
8	EXISTING A/C OUT DOOR UNIT TO REMAIN
9	EXISTING 3' WOOD FENCE PROTECT A/C UNIT, TO BE REPAIRED WHEN JOB DONE.
10	EXISTING WATER METER TO REMAIN
11	NEW LOCATION OF MAIL BOX
12	EXISTING MAIL BOX TO BE RELOCATED
13	EXISTING STORM WATER DRAINAGE TO REMAIN
14	SANITARY SEWER CLEAN OUT TO REMAIN
15	EXISTING SEWER LATERAL TO REMAIN
16	EROSION-CONTROL STRAW WATTLES DURING CONSTRUCTION
17	BLUE PATTERN INDICATES PROTECTED LANDSCAPED AREA; COVER EXPOSED LANDSCAPE WITH 4" THICK LAYER OF MULCH OR PLYWOOD
18	TREE-PROTECTION FENCE; PROVIDE A 5' TALL CHAIN-LINK FENCING MOUNTED ON 6' TALL, 2" DIAMETER GALVANIZED POSTS, DRIVEN 24" INTO THE GROUND AND SPACED NO MORE THAN 10' APART
19	EXISTING GAS METER TO REMAIN
20	SHADE INDICATES ADDITION AREA, REMOVE EXISTING LANDSCAPE, TREES, HARDSCAPE

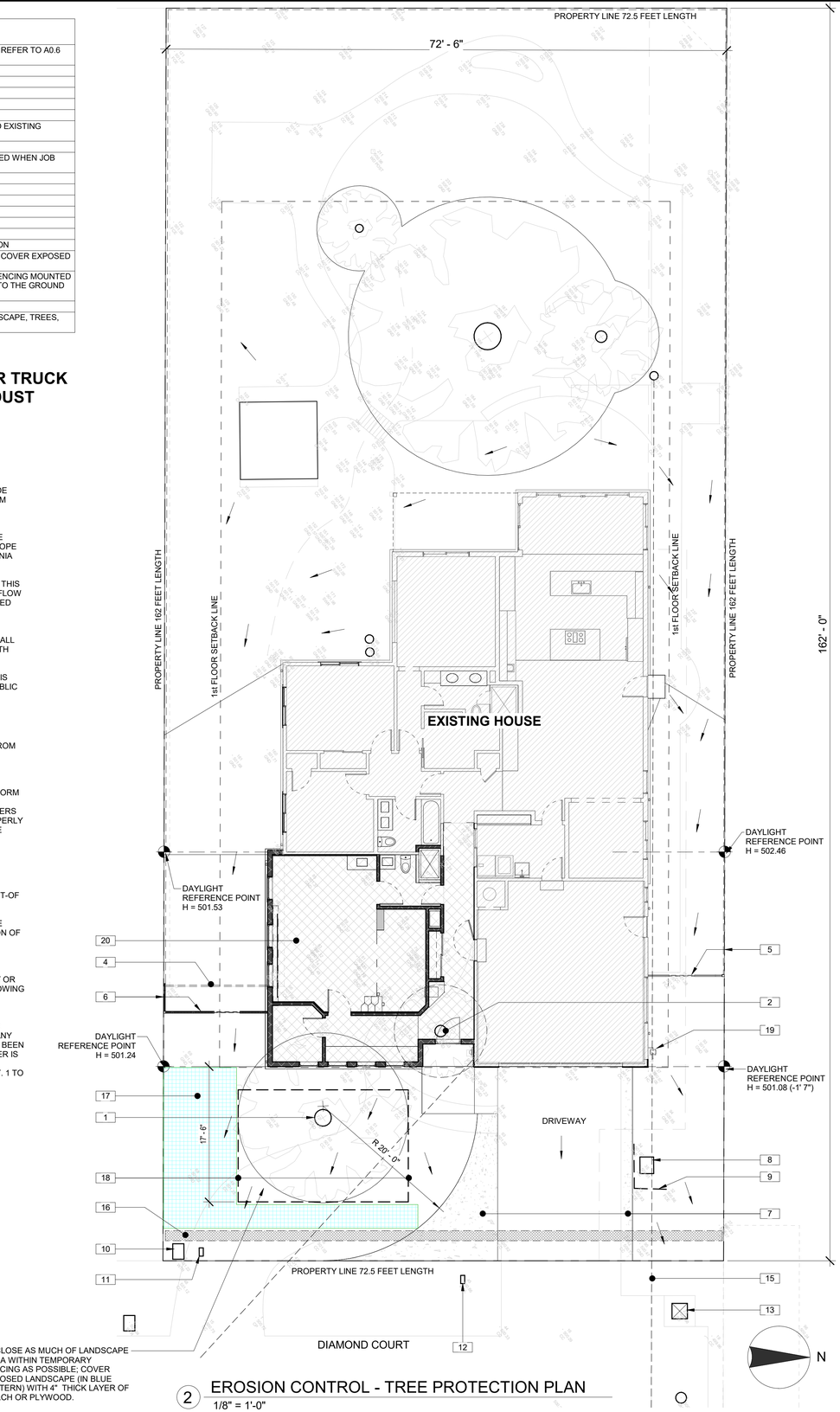
NOTE:
A WORKING HOSE BIB OR A WATER TRUCK SHALL BE ON SITE TO CONTROL DUST DURING DEMOLITION

GRADING AND DRAINAGE NOTES

1. SPOT ELEVATIONS ON GRADING AND DRAINAGE PLAN INDICATE EXISTING CONDITIONS PER THE TOPOGRAPHIC SURVEY. PROVIDE FINE ADJUSTMENTS AS REQUIRED TO SLOPE GRADE AWAY FROM BUILDING AND FROM NEIGHBORING PROPERTIES ONTO LANDSCAPING AREAS.
2. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER SECTION 1804 OF THE CALIFORNIA BUILDING CODE (CBC).
3. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEET FLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.
4. ALL EXISTING CRACKED OR DAMAGED PUBLIC IMPROVEMENTS ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BEIN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
5. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY.

EROSION CONTROL NOTES

1. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
2. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
4. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY
5. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THEOUTLET PIPES OF ANY BLOCKAGE.
6. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON (FROM OCT. 1 TO APR. 30).



2 EROSION CONTROL - TREE PROTECTION PLAN
1/8" = 1'-0"

Revisions		
No.	Description	Date

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

A.P.N. 189-11-050

SCALE:	As indicated		
DRAWN BY:	DTN	APROVED BY:	BF
		DATE:	04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A0.6
DRAINAGE - ERROSION CONTROL - TREE PROTECTION PLAN

BOUNDARY & TOPOGRAPHICAL LAND SURVEY

BEING A SURVEY OF THE LANDS OF CROOK, ET UX
PER THAT CERTAIN DOC#23538226 FILED 12/20/2016
COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 189-11-050 OCTOBER 14, 2024

CONSISTING OF ONE SHEET

LEGEND

	PROPERTY LINE
	WOOD FENCE
AC	ASPHALT
AD	AREA DRAIN
ADU	ADDITIONAL DWELLING UNIT
ARC	AIRCONDITIONER
BSBL	BUILDING SETBACK LINE
CATV	CABLE TELEVSION
CO	SANITARY SEWER CLEAN OUT
CONC	CONCRETE
DW	DRIVE WAY
EM	ELECTRIC METER
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
GA	GUY ANCHOR
GM	GAS METER
GND	GROUND
IRR	IRREIGATION CONTROL
JP	JOINT POLE
MB	MAIL BOX
MH	MANHOLE
OH	OVERHEAD
PLNTR	PLANTER
PSDE	PRIVATE STORM DRAIN EASEMENT
RW	BLOCK RETAINING WALL
SD	STORM DRAIN
SL	STREET LIGHT
SSE	SANITARY SEWER EASMENT
SS	SANITARY SEWER
STN	STONE
TEL	TELEPHONE
T-8	TREE-WIDTH IN INCHES
UB	UTILITY BOX
VG	CONC VALLY GUTTER
WV	WATER VALVE
WM	WATER METER

NOTES

1. SITE: 1140 DIAMOND COURT, LOS ALTOS, CA 94024
2. APN: 189-11-050
3. TOTAL ACREAGE: 11,745 SQ. FT., 0.270 AC.
4. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF. THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS MAP, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
5. SPECIES OF TREES TO BE DETERMINED/VERIFIED BY AN ARBORIST.
6. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS BEEN EXAMINED BY ABC. NO OTHER EASEMENTS OF RECORD EXIST THAT ARE NOT SHOWN ON THIS MAP.
7. BSBL TO BE DETERMINED/VERIFIED BY THE CITY.

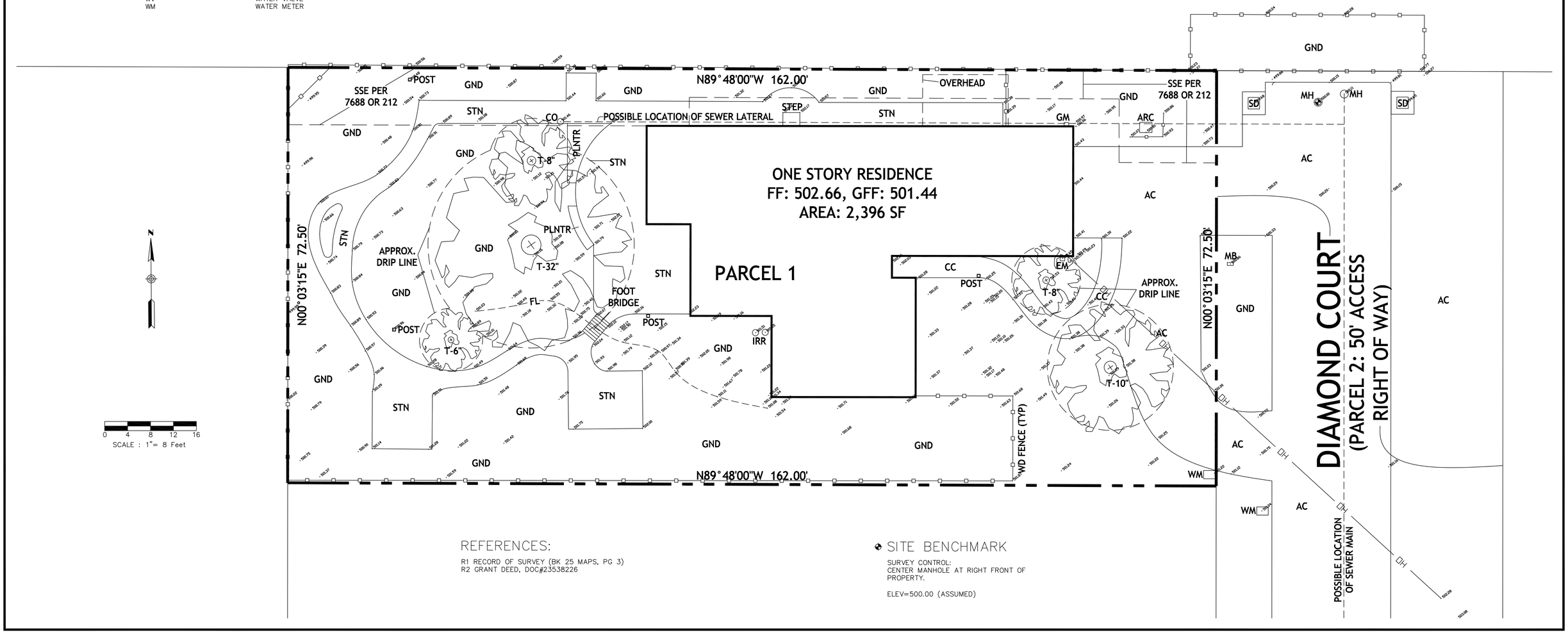
SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING AT THE REQUEST OF TIMELINE CONSTRUCTION IN APRIL 2023.

DANIEL HOAGLAND
No. 8621
PROFESSIONAL LAND SURVEYOR
STATE OF CALIFORNIA

BASIS OF BEARINGS:

THE MONUMENT LINE IN DIAMOND COURT AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, (BK 25 MAPS, PG 3) AND TAKEN AS NORTH 0°03'15" EAST WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.



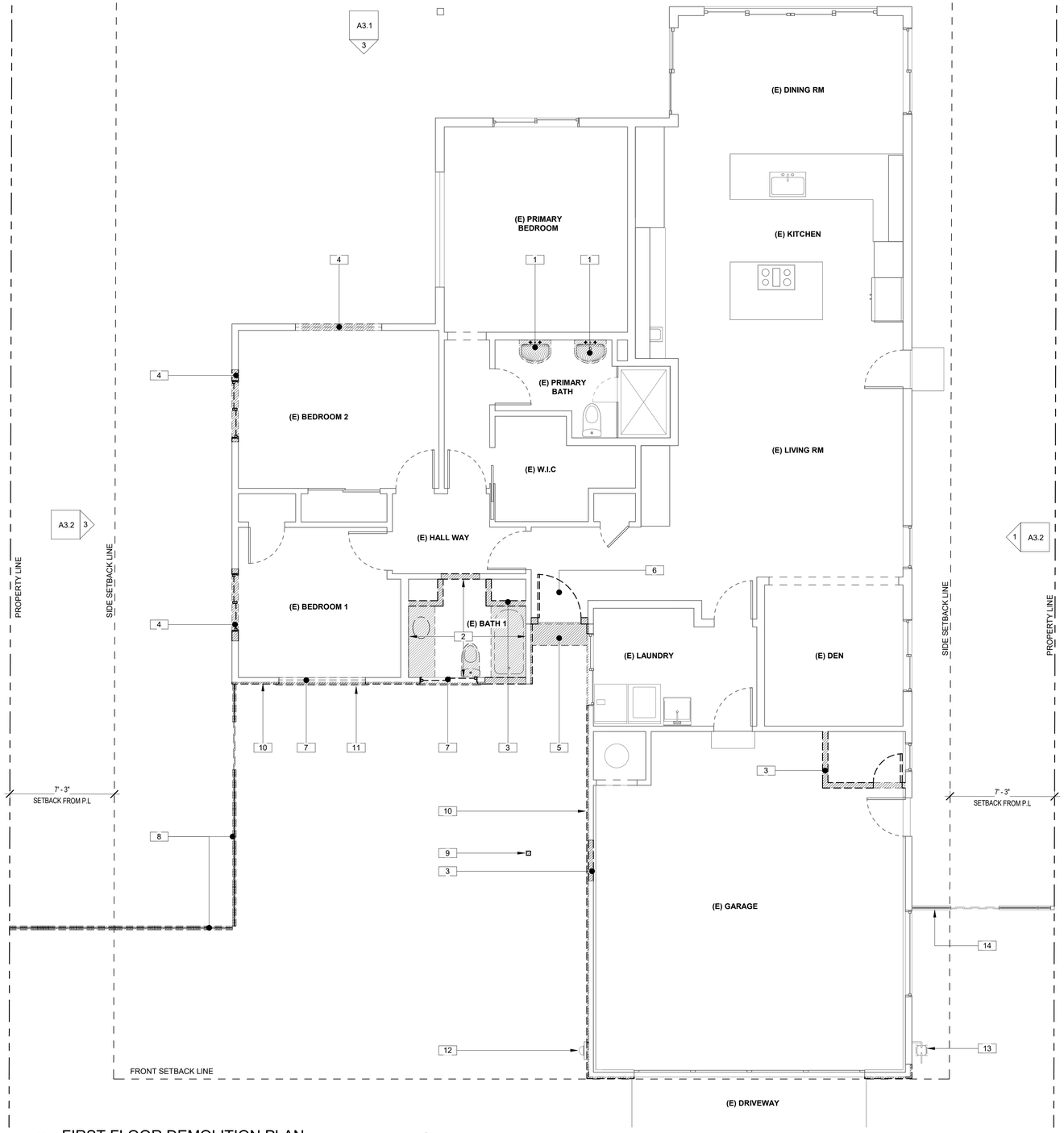
REFERENCES:

R1 RECORD OF SURVEY (BK 25 MAPS, PG 3)
R2 GRANT DEED, DOC#23538226

SITE BENCHMARK

SURVEY CONTROL:
CENTER MANHOLE AT RIGHT FRONT OF PROPERTY.

ELEV=500.00 (ASSUMED)



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

KEYNOTES	
1	REMOVE EXISTING VANITIES, FIXTURES AND RELATED ITEMS.
2	BATHROOM DEMOLITION; REMOVE EXISTING CABINETS, FIXTURES, FINISHES AND RELATED ITEMS
3	WALLS WITH PATTERN INDICATES THE ONES TO BE REMOVED
4	REMOVE WINDOWS AND CUT EXISTING WALL FOR NEW OPENING, REFER TO PROPOSED FLOOR PLAN FOR DIMENSIONAL REQUIREMENTS
5	REMOVE EXISTING CONCRETE DECK / PAVING
6	REMOVE MAIN DOOR
7	REMOVE WINDOW, FILL WALL ALIGN FINISHES TO THE EXSITING.
8	EXISTING FENCE TO BE REMOVED, TYPICAL
9	WOOD POST TO BE REMOVED
10	REMOVE EXTERIOR FINISHES, REPAIR SHEATHING WHERE NEEDED
11	REMOVE WINDOW TRIM
12	EXISTING ELECTRICAL PANEL 200A WITH OVERHEAD FEED TO REMAIN; PROVIDE NEW FLASHING AROUND IT
13	EXISTING GAS METER TO REMAIN
14	EXISTING WOOD FENCE AND GATE TO REMAIN

N

Revisions		
No.	Description	Date

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

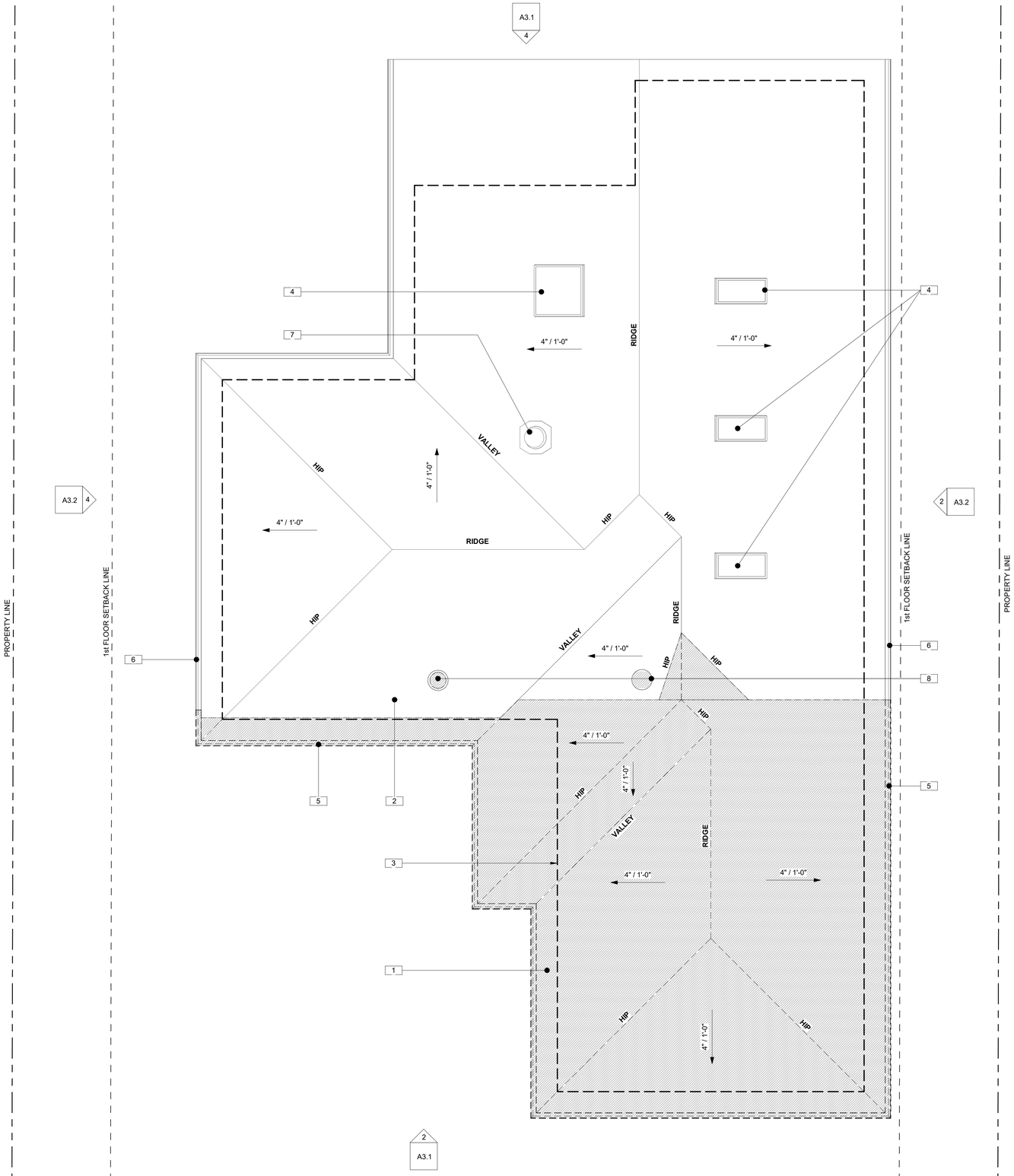
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"
DRAWN BY:	DTN
APROVED BY:	BF
DATE:	04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A1.1

FIRST FLOOR DEMOLITION PLAN



1 ROOF DEMOLITION PLAN
1/4" = 1'-0"

KEYNOTES	
1	GREY DIAGONAL PATTERN INDICATES ROOF DEMOLITION WORK
2	PATTTERN INDICATE EXISTING ROOF TO REMAIN, DON'T REMOVE THE EXISTING ROOF TILES AND UNDERLAYMENT
3	EXTERIOR WALL BELOW, LINE INDICATES EXTERIOR FACE OF WALL FRAMES.
4	EXISTING SKYLIGHTS TO REMAIN
5	GUTTER AND DOWNSPOUT TO BE REMOVED
6	GUTTER AND DOWNSPOUT TO REMAIN
7	EXISTING SUN TUNEL TO REMAIN
8	CUT ROOF FOR NEW SKYLIGHT, REFER TO ROOF PROPOSED PLAN FOR ADDITIONAL INFORMATION

N

Revisions		
No.	Description	Date

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

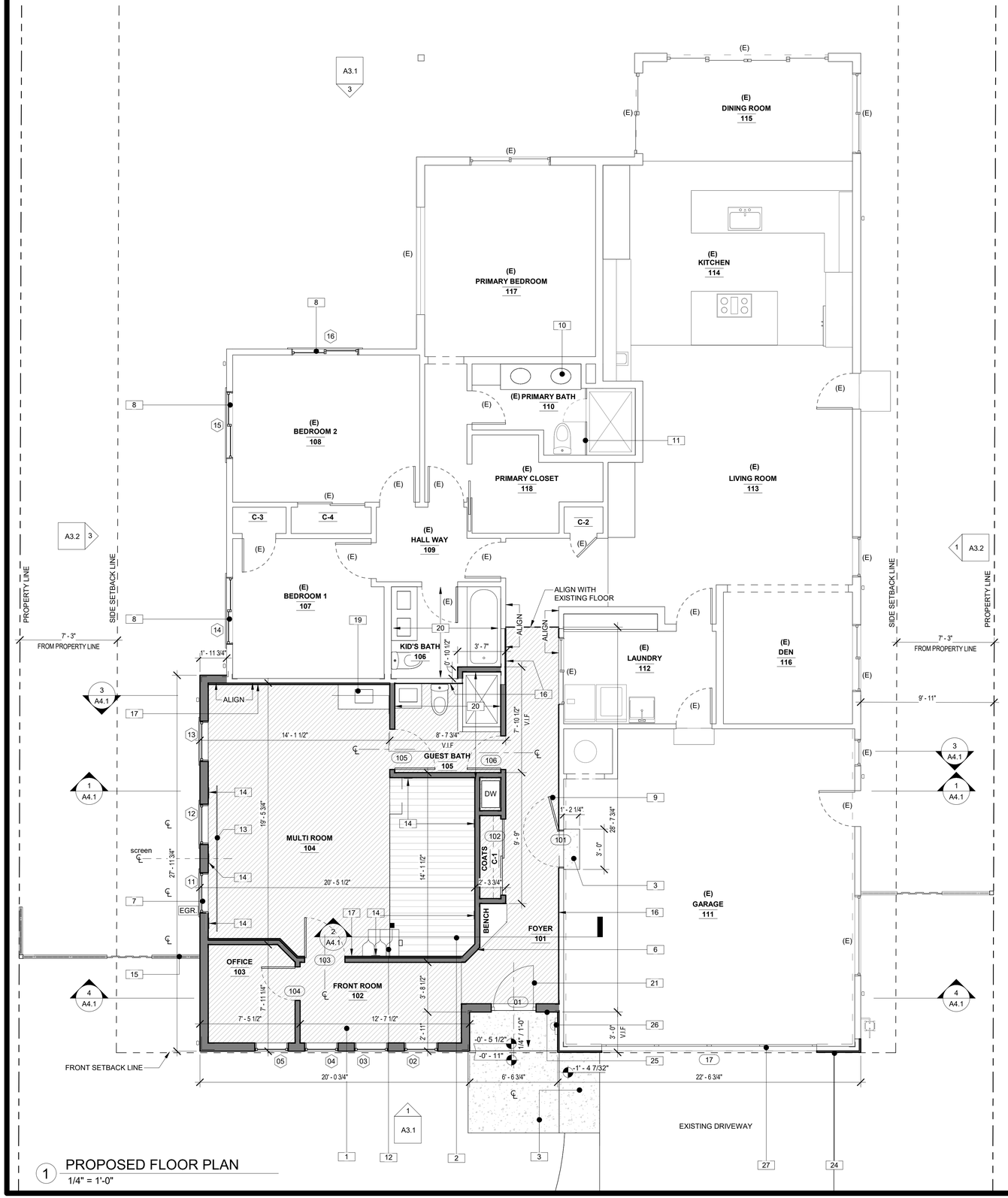
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"
DRAWN BY:	DTN
APROVED BY:	BF
DATE:	04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

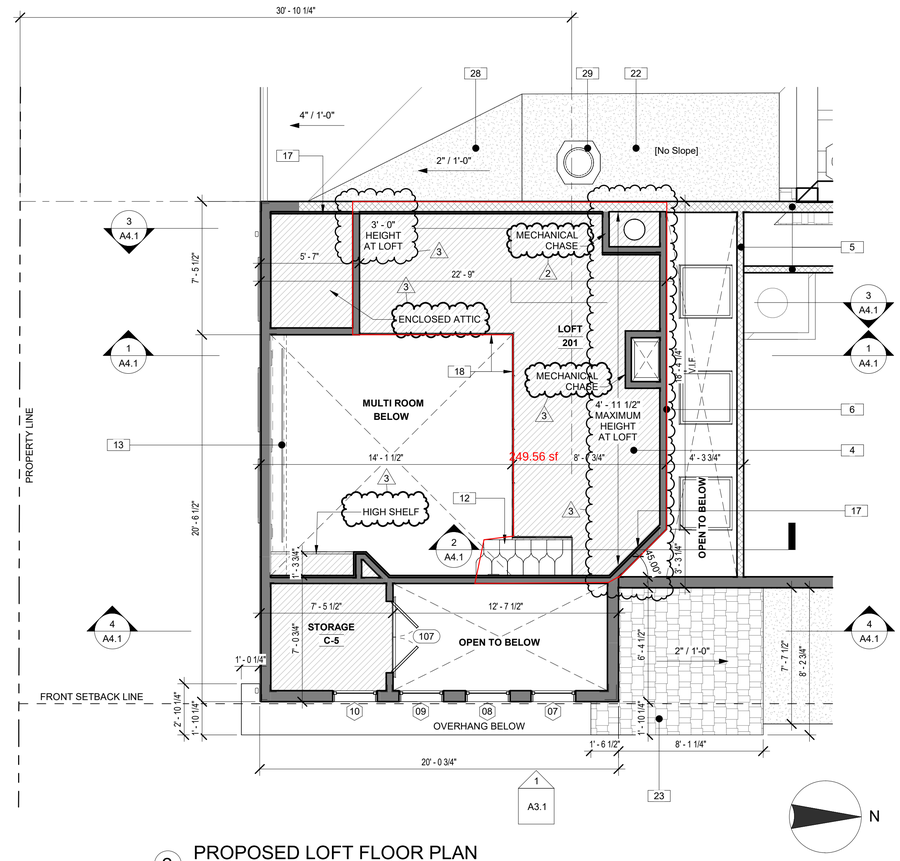
A1.3

ROOF DEMOLITION PLAN



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

KEYNOTES	
1	PATTERN INDICATES AREA OF ADDITION; PROVIDE NEW ROOF AND FOUNDATION AS SHOWN
2	PATTERN INDICATES NEW DECK ON FRAMING WITH HARDWOOD FLOOR FINISHED
3	NEW CONCRETE STEP/LANDING, SLOPE 1/4" AWAY FROM BUILDING, NO POINT 6" HIGHER THAN ADJACENT GRADE LEVEL.
4	PATTERN INDICATES NEW FLOOR ON FRAMING, REFER TO INTERIOR DESIGN FOR FLOOR FINISHED
5	NEW WALL BUILT UPON EXISTING WALL
6	NEW WALL, TYPICAL
7	NEW WINDOWS ON NEW WALL.
8	NEW WINDOWS TO BE INSTALLED IN NEW OPENINGS ON EXSISTING WALLS
9	NEW INTERIOR DOORS ON EXISTING WALL, TO MATCH WITH EXISTING INTERIOR ONES
10	PROVIDE NEW DOUBLE FLOATING VANITY, FIXTURES, FINISHES AND RELATED ITEMS
11	PROVIDE NEW GLASS SHOWER DOOR
12	PROVIDE NEW ALTERNATING STEPS LADDER AND RELATED ITEMS, PRODUCT IS AS CLIENT CHOICE
13	SOLOSCREEN 3 INDOOR FLUSH MOUNT 133", INSTALLED BY OTHERS
14	KLIPSCH HOME THEATRE SYSTEM, INSTALLED BY OTHERS
15	NEW FENCE WITH GATE TO BE INSTALLED, TYPICAL
16	INTERIOR FINISH LAYER ON EXISTING FRAME, ALIGN WITH THE EXISTING.
17	QUIETROCK 545 GYPSUM WALL BOARD FINISH, UP TO CEILING
18	GLASS PANEL RAILING, REFER TO INTERIOR DESIGN FOR ADDITIONAL INFORMATION
19	PROVIDE NEW CABINET WITH VANITY, FIXTURES, FINISHES AND RELATED ITEMS
20	PROVIDE BATHROOM FINISHES, FIXTURES AND RELATED ITEMS. REFER TO INTERIOR DESIGN FOR ADDITIONAL INFORMATION
21	NEW MAIN DOORS ON NEW WALL
22	FLAT ROOF WITH IB ROOFING AND TAPPERED INSULATION, REFER TO ROOF ASSEMBLY DETAIL 2/A8.1(B) AND DETAILS 3, 4/A8.2 FOR ADDITIONAL INFORMATION
23	PATTERN INDICATES NEW ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
24	NEW WOOD THERMORY BENCHMARK ASH CLADDING C72, VERTICAL DIRECTION, STAIN NATURAL COLOR
25	NEW CHATEAUX CREAM LIMESTONE VENEER FINISH, LIGHT CREAM COLOR,
26	EXISTING ELECTRICAL PANEL 200A WITH OVERHEAD FEED TO REMAIN; PROVIDE NEW FLASHING AROUND IT
27	REPLACE GARAGE DOOR WITH NEW ONE, PRODUCT PICKED BY THE CLIENT
28	IB ROOFING OVER SLOPED ROOF, REFER TO ROOF ASSEMBLY DETAIL 2/A8.1(B) AND DETAILS 3, 4/A8.2 FOR ADDITIONAL INFORMATION
29	NEW SUN TUNEL, REFER TO SKYLIGHT SCHEDULE



2 PROPOSED LOFT FLOOR PLAN
1/4" = 1'-0"

Revisions		
No.	Description	Date
2	Revision 2	1/7/25
3	Revision 3	4/8/25

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

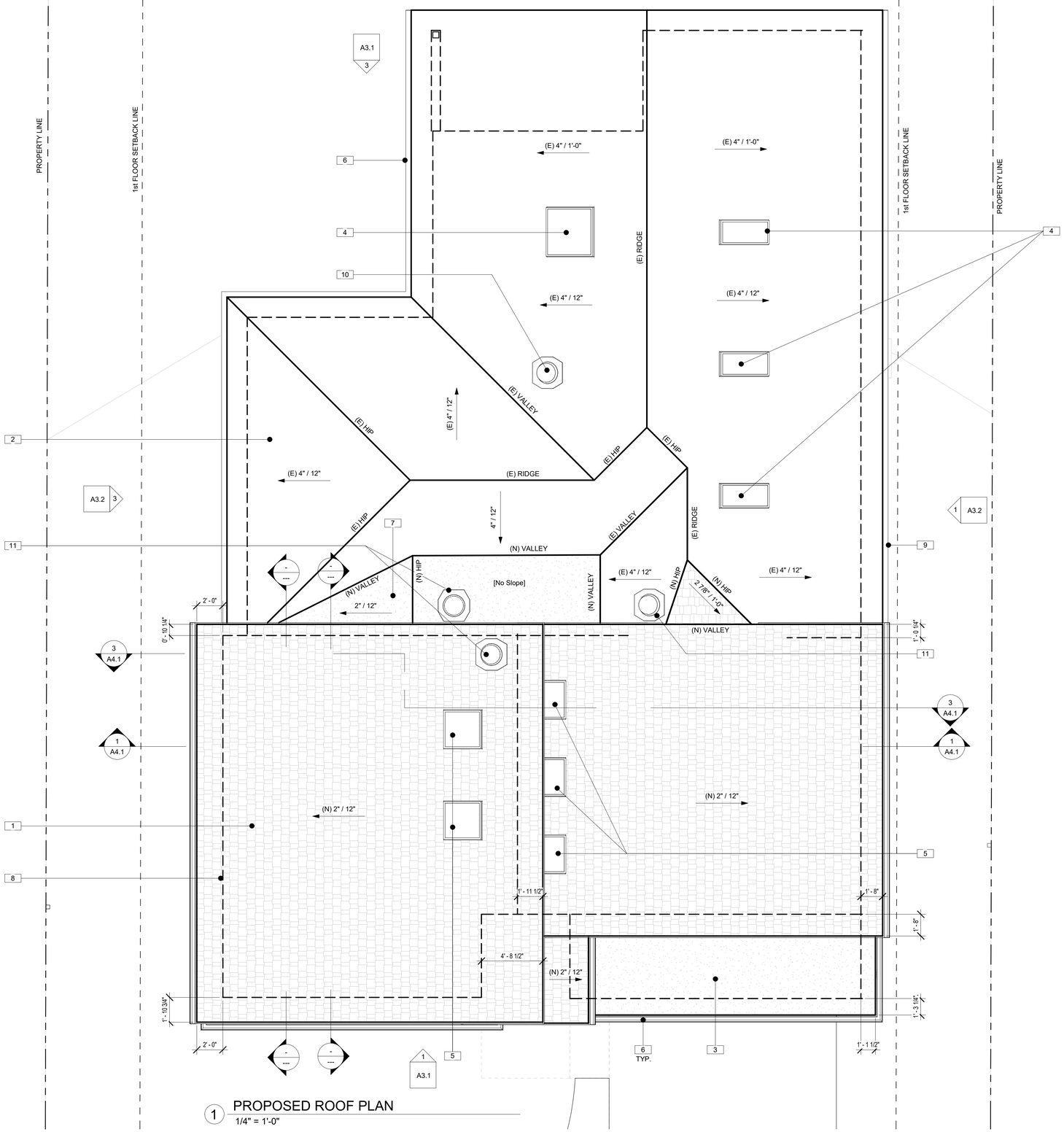
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"
DRAWN BY:	DTN
APROVED BY:	BF
DATE:	04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A2.1

PROPOSED FLOOR PLANS



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

		MANUFACTURER	STYLE	COLOR	MATERIAL
ROOFING MATERIAL	COMPOSITION SHINGLE ROOF	TBD	TBD	TBD	TBD
	FLAT ROOFING	IB ROOFING	N/A	DARK GREY	PVC
GUTTERS AND DOWNSPOUTS	GUTTERS	TBD	5 1/2" HALF ROUND	DARK GREY	COPPER
	RAIN WATER LEADERS	TBD	3" ROUND	N/A	COPPER

TYPICAL EAVE DETAIL: 5/A8.2

ROOFING ASSEMBLY DETAIL: 2/A8.1

SPECIFICATION SHEETS: ---

KEYNOTES

1	PATTERN INDICATES NEW ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
2	PATTTERN INDICATE EXISTING ROOF TO REMAIN, DON'T REMOVE THE EXISTING ROOF TILES AND UNDERLAYMENT
3	FLAT ROOF WITH IB ROOFING AND TAPPERED INSULATION, REFER TO ROOF ASSEMBLY DETAIL 2/A8.1(B) AND DETAILS 3, 4/A8.2 FOR ADDITIONAL INFORMATION
4	EXISTING SKYLIGHTS TO REMAIN
5	NEW SKYLIGHT WITH FLARED SHAFT AS SHOWN, TYPICAL, REFER TO SKYLIGHT SCHEDULE.
6	NEW GUTTER, DOWNSPOUT AND RELATED ITEMS, REFER TO TABLE A2.3 FOR ADDITIONAL INFORMATION
7	IB ROOFING OVER SLOPED ROOF, REFER TO ROOF ASSEMBLY DETAIL 2/A8.1(B) AND DETAILS 3, 4/A8.2 FOR ADDITIONAL INFORMATION
8	EXTERIOR WALL BELOW, LINE INDICATES EXTERIOR FACE OF WALL FRAMES.
9	GUTTER AND DOWNSPOUT TO REMAIN
10	EXISTING SUN TUNEL TO REMAIN
11	NEW SUN TUNEL, REFER TO SKYLIGHT SCHEDULE

N

Revisions

No.	Description	Date

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CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

A.P.N. 189-11-050

SCALE: 1/4" = 1'-0"
DRAWN BY: DTN
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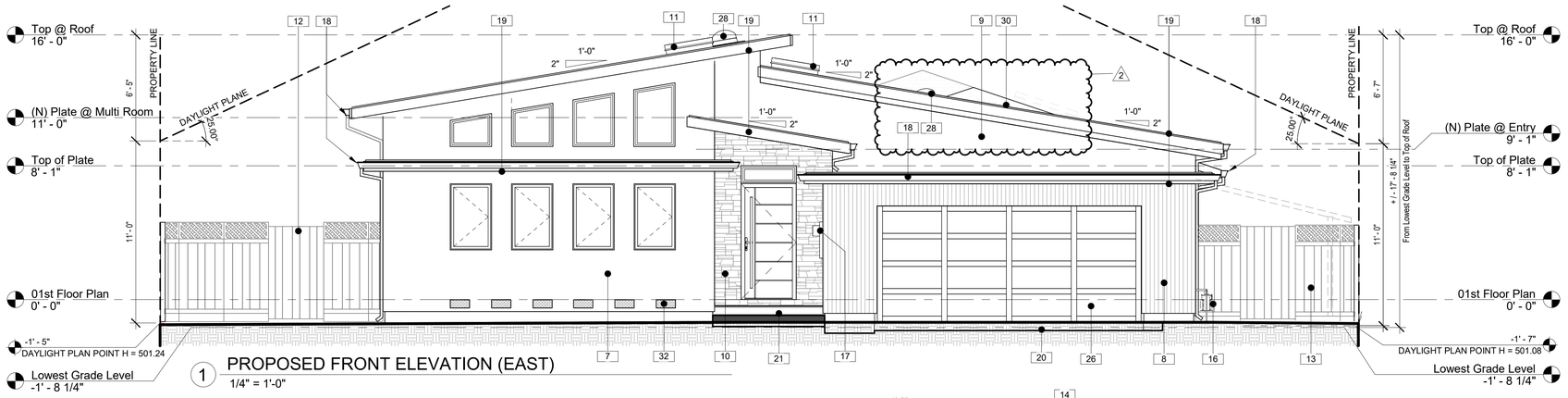
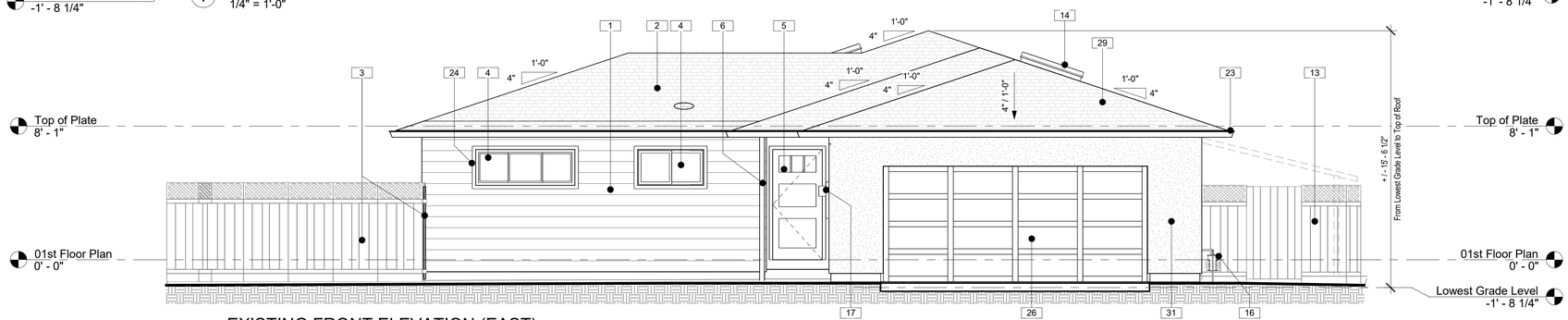
A2.3

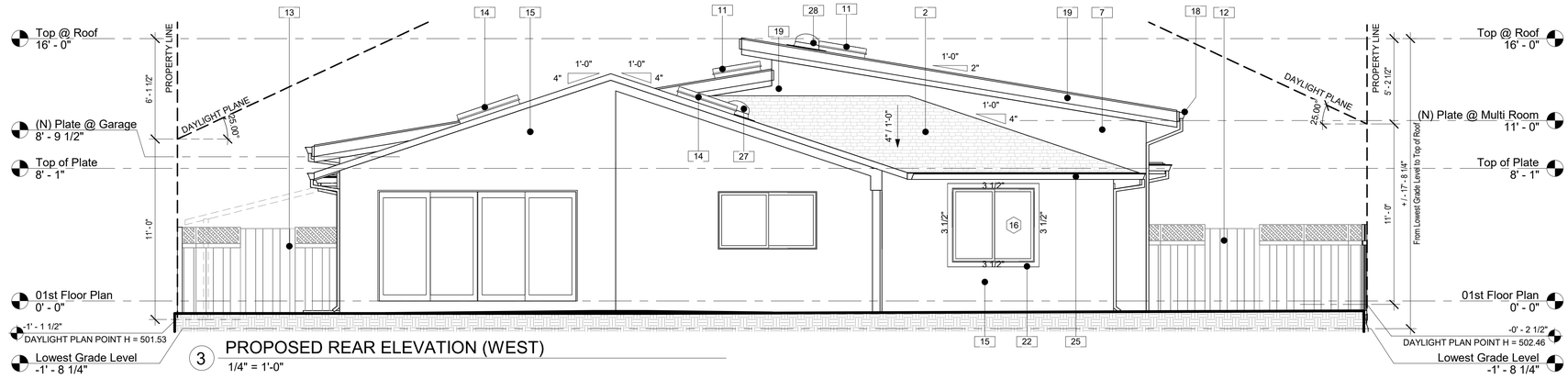
PROPOSED ROOF PLAN



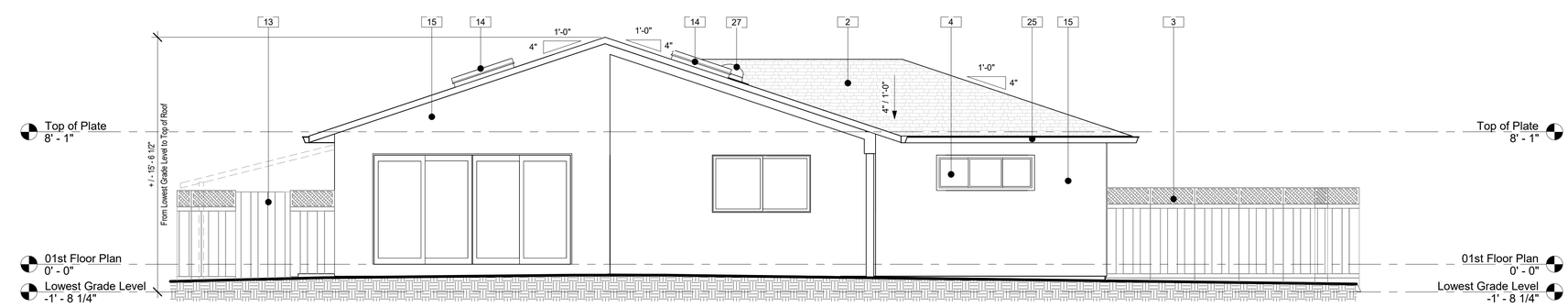
1 PROPOSED FRONT ELEVATION (EAST)
1/4" = 1'-0"



2 EXISTING FRONT ELEVATION (EAST)
1/4" = 1'-0"



3 PROPOSED REAR ELEVATION (WEST)
1/4" = 1'-0"



4 EXISTING REAR ELEVATION (WEST)
1/4" = 1'-0"

KEYNOTES

1	REMOVE EXISTING SIDING
2	PATTTERN INDICATE EXISTING ROOF TO REMAIN, DON'T REMOVE THE EXISTING ROOF TILES AND UNDERLAYMENT
3	EXISTING FENCE TO BE REMOVED, TYPICAL
4	REMOVE WINDOWS AND CUT EXISTING WALL FOR NEW OPENING, REFER TO PROPOSED FLOOR PLAN FOR DIMENSIONAL REQUIREMENTS
5	REMOVE MAIN DOOR
6	WOOD POST TO BE REMOVED
7	NEW STUCCO, OFF-WHITE COLOR TO MATCH THE EXISTING WALLS
8	NEW WOOD THERMORY BENCHMARK ASH CLADDING C72, VERTICAL DIRECTION, STAIN NATURAL COLOR
9	NEW STUCCO, TO PAINT DARK GREY COLOR
10	NEW CHATEAUX CREAM LIMESTONE VENEER FINISH, LIGHT CREAM COLOR,
11	NEW SKYLIGHT WITH FLARED SHAFT AS SHOWN, TYPICAL, REFER TO SKYLIGHT SCHEDULE.
12	NEW FENCE WITH GATE TO BE INSTALLED, TYPICAL
13	EXISTING WOOD FENCE AND GATE TO REMAIN
14	EXISTING SKYLIGHTS TO REMAIN
15	EXISTING WALL FINISH TO REMAIN
16	EXISTING GAS METER TO REMAIN
17	EXISTING ELECTRICAL PANEL 200A WITH OVERHEAD FEED TO REMAIN; PROVIDE NEW FLASHING AROUND IT
18	NEW GUTTER, DOWNSPOUT AND RELATED ITEMS, REFER TO TABLE A2.3 FOR ADDITIONAL INFORMATION
19	WOOD FASCIA 2x8 TO PAINT FINISH, REFER TO ROOF ASSEMBLY DETAILS
20	PATTERN INDICATES EXISTING DRIVEWAY
21	NEW CONCRETE STEPS AND LANDING, SLOPE 1/4" AWAY FROM BUILDING, NO POINT HIGHER 6" TO THE GRADE LEVEL.
22	1x4 WINDOW TRIM TO PAINT FINISH
23	GUTTER AND DOWNSPOUT TO BE REMOVED
24	REMOVE WINDOW TRIM
25	GUTTER AND DOWNSPOUT TO REMAIN
26	REPLACE GARAGE DOOR WITH NEW ONE, PRODUCT PICKED BY THE CLIENT
27	EXISTING SUN TUNEL TO REMAIN
28	NEW SUN TUNEL, REFER TO SKYLIGHT SCHEDULE
29	GREY DIAGONAL PATTERN INDICATES ROOF DEMOLITION WORK
30	PATTERN INDICATES NEW ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
31	REMOVE EXISTING STUCCO
32	CRAWLSPACE VENT, REFER TO DETAIL 10/A8.2 FOR ADDITIONAL INFORMAION

Revisions		
No.	Description	Date
2	Revision 2	1/7/25

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

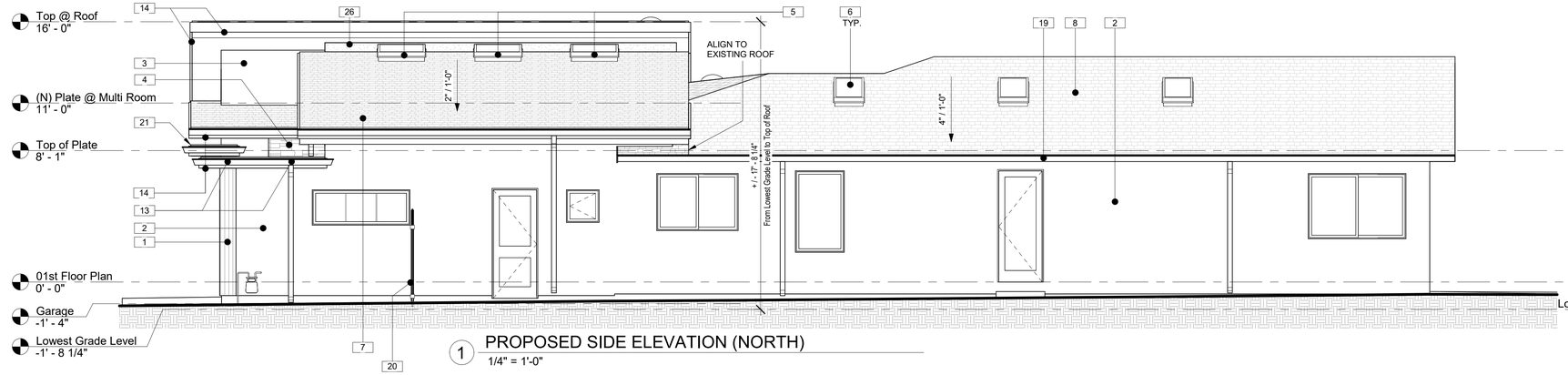
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"		
DRAWN BY:	DTN	APROVED BY:	BF
		DATE:	04/08/25

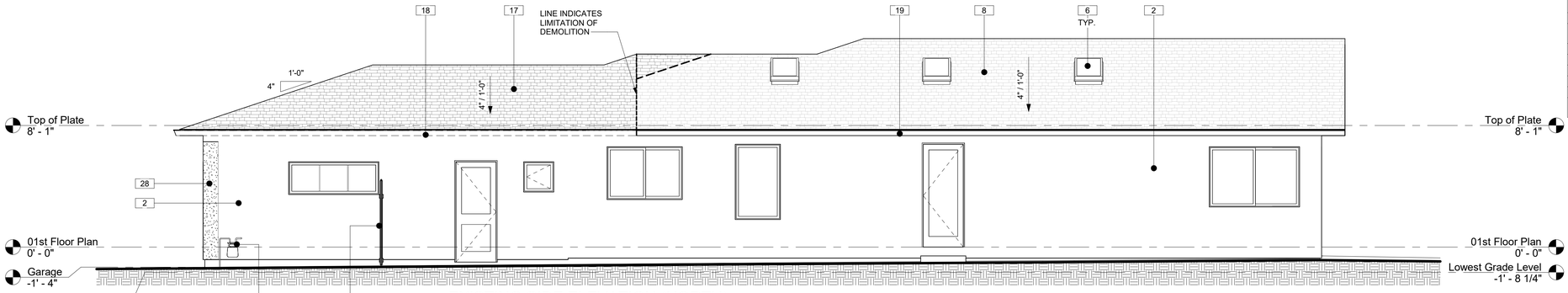
TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A3.1

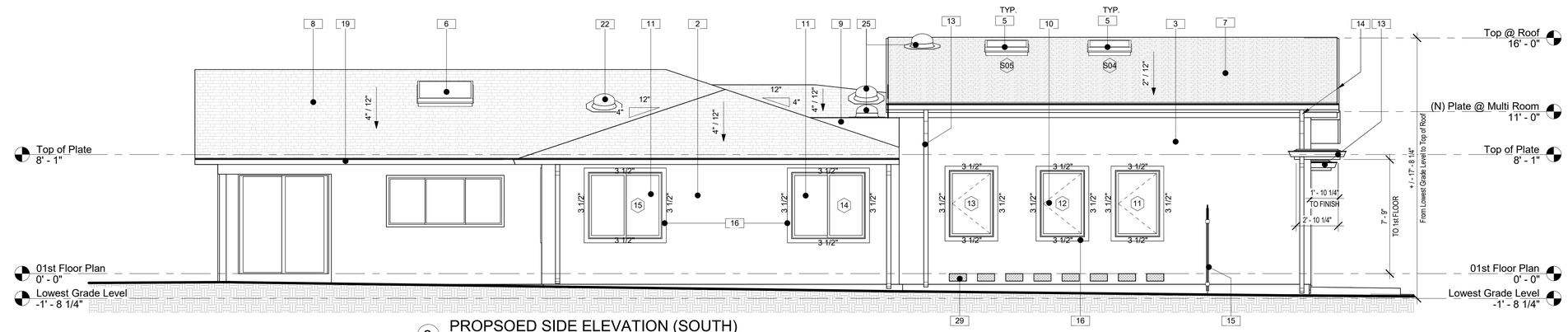
EXISTING / PROPOSED FRONT AND REAR ELEVATIONS



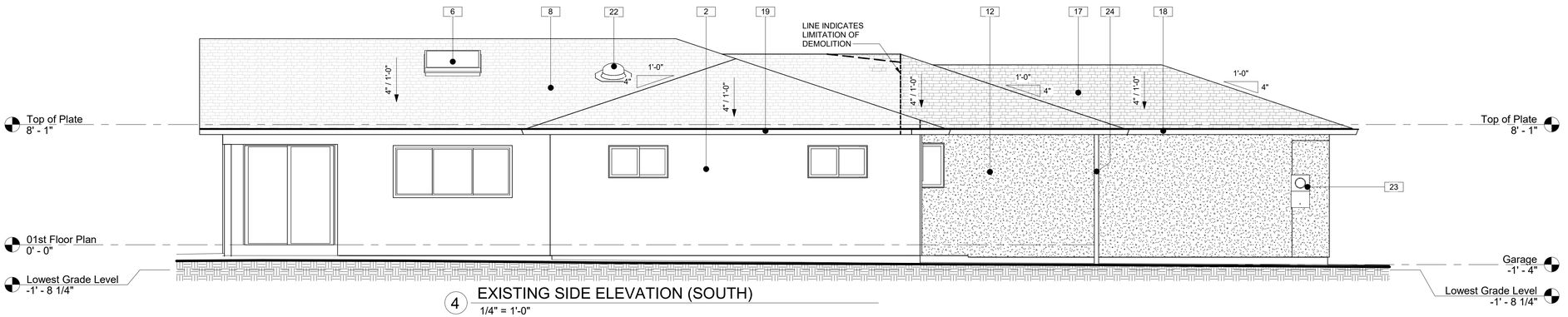
1 PROPOSED SIDE ELEVATION (NORTH)
1/4" = 1'-0"



2 EXISTING SIDE ELEVATION (NORTH)
1/4" = 1'-0"



3 PROPSOED SIDE ELEVATION (SOUTH)
1/4" = 1'-0"



4 EXISTING SIDE ELEVATION (SOUTH)
1/4" = 1'-0"

KEYNOTES

1	NEW WOOD THERMORY BENCHMARK ASH CLADDING C72, VERTICAL DIRECTION, STAIN NATURAL COLOR
2	EXISTING WALL FINISH TO REMAIN
3	NEW STUCCO, OFF-WHITE COLOR TO MATCH THE EXISTING WALLS
4	NEW CHATEAUX CREAM LIMESTONE VENEER FINISH, LIGHT CREAM COLOR,
5	NEW SKYLIGHT WITH FLARED SHAFT AS SHOWN, TYPICAL, REFER TO SKYLIGHT SCHEDULE.
6	EXISTING SKYLIGHTS TO REMAIN
7	PATTERN INDICATES NEW ASPHALT SHINGLE ROOFING, CLASS "C" MINIMUM, TO MATCH WITH THE EXISTING ROOF
8	PATTTERN INDICATE EXISTING ROOF TO REMAIN, DON'T REMOVE THE EXISTING ROOF TILES AND UNDERLAYMENT
9	FLAT ROOF WITH IB ROOFING AND TAPPERED INSULATION, REFER TO ROOF ASSEMBLY DETAIL 2/A8.1(B) AND DETAILS 3, 4/A8.2 FOR ADDITIONAL INFORMATION
10	NEW WINDOWS ON NEW WALL.
11	NEW WINDOWS TO BE INSTALLED IN NEW OPENINGS ON EXSISTING WALLS
12	REMOVE EXISTING STUCCO
13	NEW GUTTER, DOWNSPOUT AND RELATED ITEMS, REFER TO TABLE A2.3 FOR ADDITIONAL INFORMATION
14	WOOD FASCIA 2x8 TO PAINT FINISH, REFER TO ROOF ASSEMBLY DETAILS
15	NEW FENCE WITH GATE TO BE INSTALLED, TYPICAL
16	1x4 WINDOW TRIM TO PAINT FINISH
17	GREY DIAGONAL PATTERN INDICATES ROOF DEMOLITION WORK
18	GUTTER AND DOWNSPOUT TO BE REMOVED
19	GUTTER AND DOWNSPOUT TO REMAIN
20	EXISTING WOOD FENCE AND GATE TO REMAIN
21	WOOD STRUCTURE OVERHANG, REFER TO STRUCTURE DRAWINGS FOR ADDITIONAL INFORMATION.
22	EXISTING SUN TUNEL TO REMAIN
23	EXISTING ELECTRICAL PANEL 200A WITH OVERHEAD FEED TO REMAIN; PROVIDE NEW FLASHING AROUND IT
24	WOOD POST TO BE REMOVED
25	NEW SUN TUNEL, REFER TO SKYLIGHT SCHEDULE
26	NEW STUCCO, TO PAINT DARK GREY COLOR
27	EXISTING GAS METER TO REMAIN
28	WALLS WITH PATTERN INDICATES THE ONES TO BE REMOVED
29	CRAWLSPACE VENT, REFER TO DETAIL 10/A8.2 FOR ADDITIONAL INFORMAION

Revisions		
No.	Description	Date

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

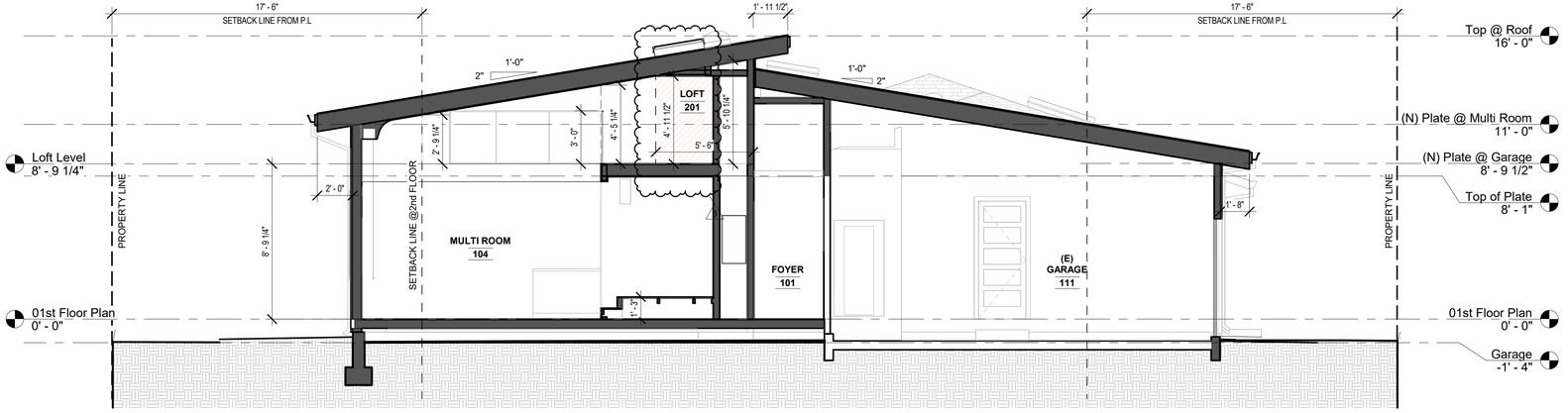
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"		
DRAWN BY:	DTN	APROVED BY:	BF
		DATE:	04/08/25

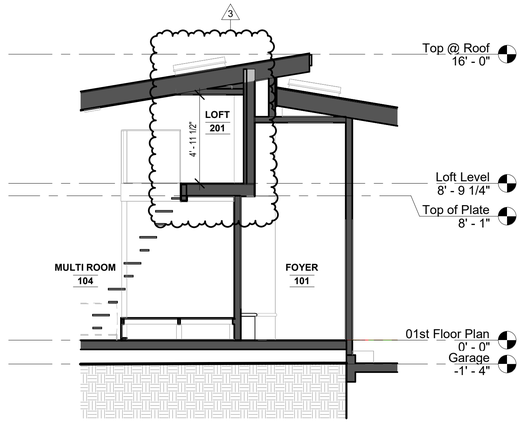
TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A3.2

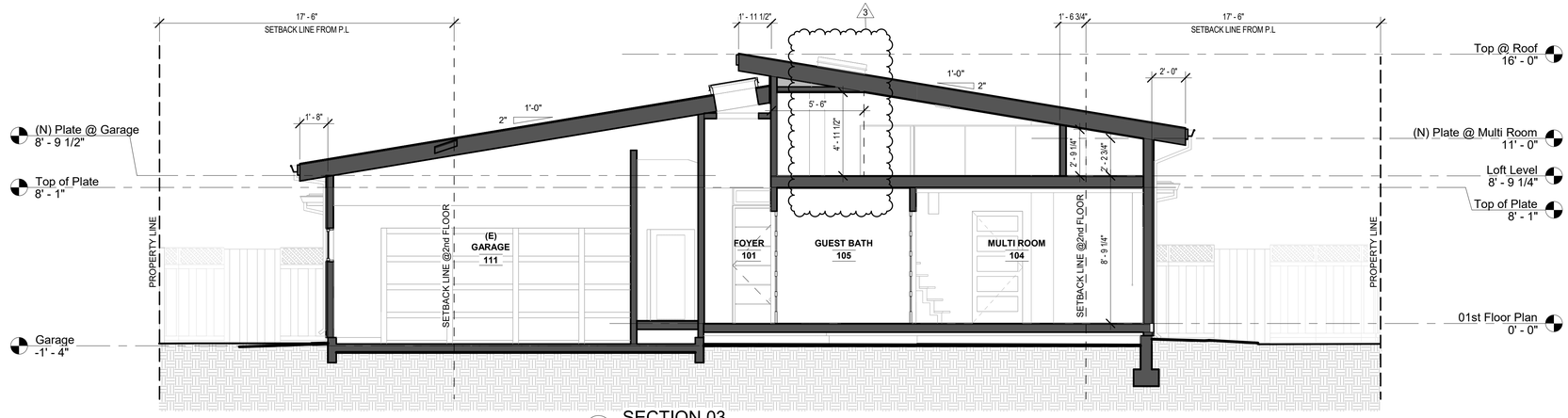
EXISTING / PROPOSED SIDE ELEVATIONS



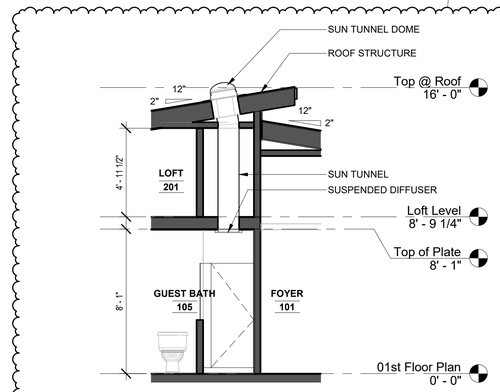
1 SECTION 01
1/4" = 1'-0"



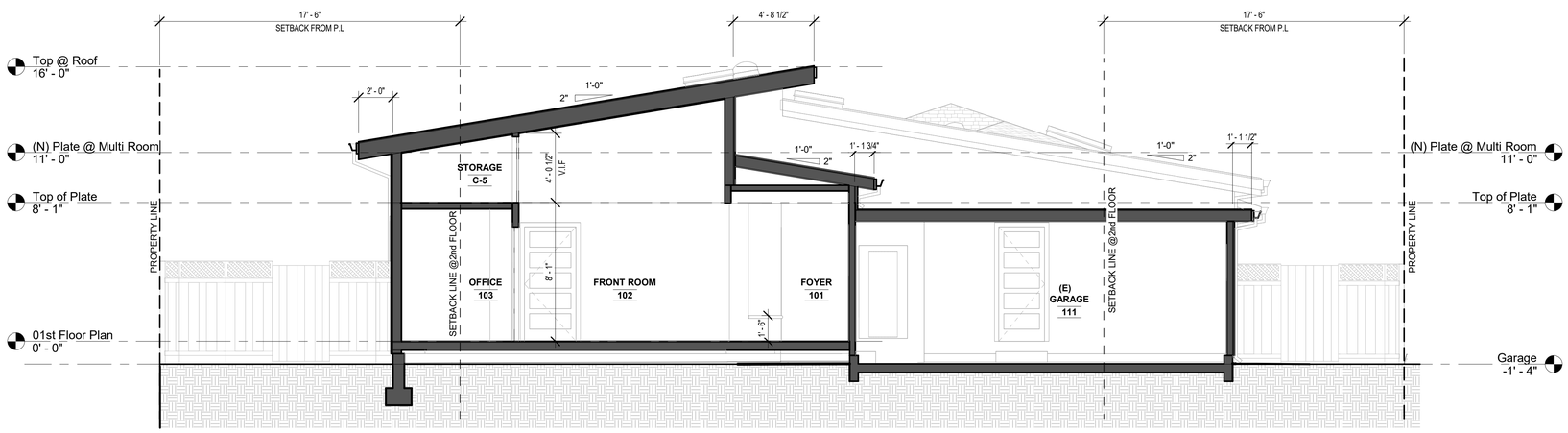
2 SECTION AT LADDER
1/4" = 1'-0"



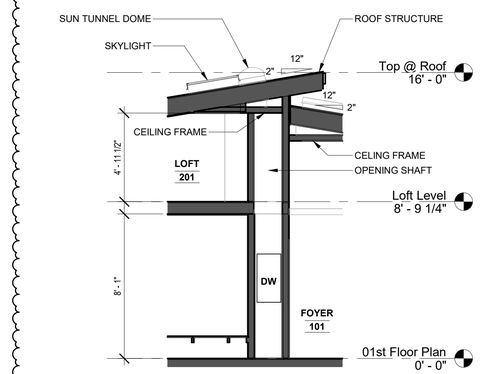
3 SECTION 03
1/4" = 1'-0"



5 SECTION THROUGH SUN TUNNEL
1/4" = 1'-0"



4 SECTION 04
1/4" = 1'-0"



6 SECTION THROUGH DUMP WAITER HOISTWAY
1/4" = 1'-0"

Revisions		
No.	Description	Date
3	Revision 3	4/8/25

ADDITION:
CROOK RESIDENCE
1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

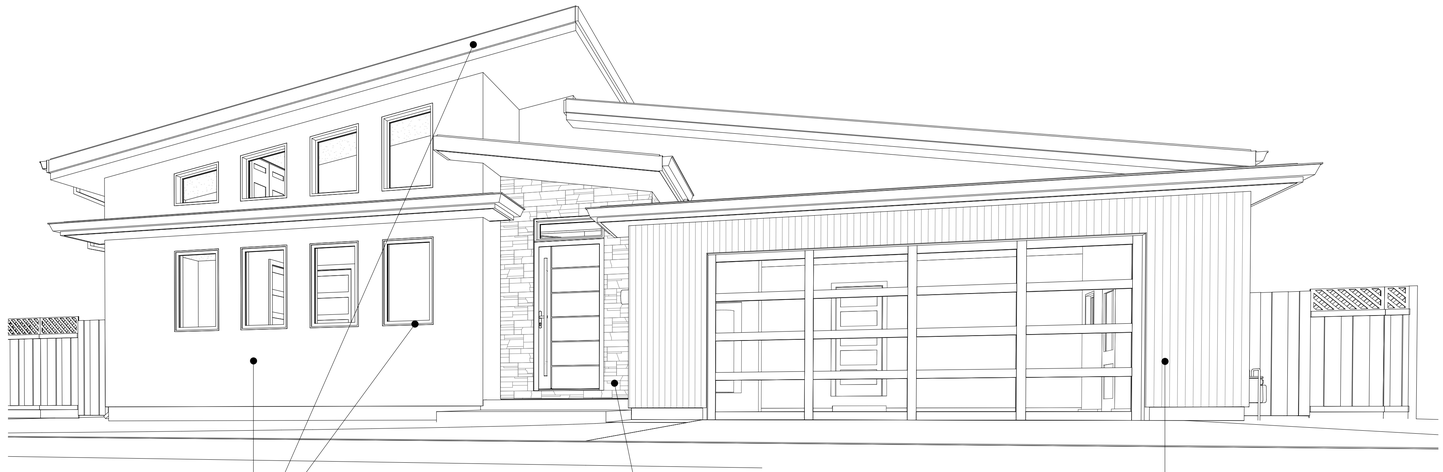
A.P.N. 189-11-050

SCALE:	1/4" = 1'-0"
DRAWN BY:	DTN
APPROVED BY:	BF
DATE:	04/08/25

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

A4.1

SECTIONS



OFF-WHITE STUCCO WALLS
BLACK METAL WINDOW FRAMES
DARK GREY FASCIA BOARD

STONE VENEER, GREY COLOR

VERTICAL WOOD SIDING, STAINED

OFF-WHITE STUCCO WALLS
BLACK METAL WINDOW FRAMES
DARK GREY FASCIA BOARD

STONE VENEER, GREY COLOR

VERTICAL WOOD SIDING, STAINED

N

Revisions		
No.	Description	Date

ADDITION:

CROOK RESIDENCE

1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

A.P.N. 189-11-050

SCALE:
DRAWN BY: DTN
APROVED BY: BF
DATE: 04/08/25

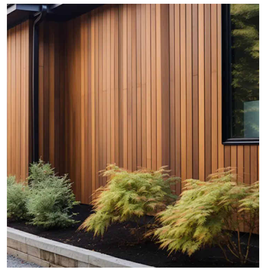
TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

MB

MATERIAL BOARD

OFF-WHITE STUCCO WALLS
BLACK METAL WINDOW FRAMES
DARK GREY FASCIA BOARD

STONE VENEER, GREY COLOR



VERTICAL WOOD SIDING, STAINED

PRINT DATE / TIME: 10/22/2024 4:35:48 PM

N

Revisions

No.	Description	Date

ADDITION:

CROOK RESIDENCE

1140 DIAMOND CT., LOS ALTOS, CALIFORNIA, 94024

A.P.N. 189-11-050

SCALE:

DRAWN BY: DTN

APROVED BY: BF

DATE: 10/18/24

TIMELINE
DESIGN+BUILD
14401 BIG BASIN WAY
SARATOGA, CALIFORNIA 95070
PHONE: 408.741.3000 FAX: 408.317.1708

MB

MATERIAL BOARD

ZONING ADMINISTRATOR
AGENDA REPORT

TO: Nick Zornes, Zoning Administrator

FROM: Naz Healy, Associate Planner

SUBJECT: SC24-0018 – 1053 Echo Drive

RECOMMENDATION

Approve Design Review application SC24-0018 for the construction of a new 3,933 square-foot two-story single-family home subject to the listed findings and conditions of approval; and find the project categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Existing Structures) of the California Environmental Quality Act (CEQA).

BACKGROUND

Project Description

- Project Location: 1053 Echo Drive, located on the east side of Echo Drive, between Foothill Expressway and Covington Road
- Lot Size: 11,834 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story home

The proposed project includes the demolition of an existing one-story home and replacement with a new two-story home (see Attachment 1 – Project Plans). A 1,021 square-foot attached accessory dwelling unit is also shown on the plans but is not subject to design review and therefore not part of this application. The proposed home incorporates hipped roof forms with a flat entry porch and exterior materials that include stucco walls, standing seam metal roofing, and stained horizontal wood siding accents (see Attachment 2 – Material Board). The proposed home is situated on the lot similarly to the existing home and the proposed site improvements include a new front driveway, walkways, and rear yard deck. Two protected trees are proposed for removal due to poor health and to accommodate the new home.

ANALYSIS

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE*:	2,673 square feet	3,029 square feet	3,550 square feet
FLOOR AREA*:			
First floor	2,612 square feet	2,396 square feet	
Second floor	----	1,537 square feet	
Total	2,612 square feet	3,933 square feet	3,933 square feet
SETBACKS:			
Front	32.3 feet	25.0 feet	25 feet
Rear	44.0 feet	49.1 feet	25 feet
Right side (1st/2nd)	9.8 feet/0 feet	10.2 feet/25.5 feet	10 feet/17.5 feet
Left side (1st/2nd)	13.8 feet/0 feet	10.8 feet/24.0 feet	10 feet/17.5 feet
HEIGHT:	14.5 feet	26.9 feet	27 feet

** The project includes an attached ADU, which will be reviewed ministerially as part of the building permit. Pursuant to Los Altos Municipal Code (LAMC) Section 14.14.060, the ADU has not been included in the floor area or lot coverage calculations for the site.*

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The proposed home minimizes bulk by insetting the second story and incorporating greater setbacks than required. The design locates second floor egress windows facing the front and rear yards and existing trees along the side and rear provide screening for the rear balcony.

The project site contains nine protected trees. One protected juniper tree in the front yard and one photinia tree in the side yard are proposed for removal and replacement with one ginkgo tree and one jacaranda tree, both in 24-inch box size. The seven other protected trees will be preserved. The landscaping plan proposes shrubs, groundcovers, and turf throughout the site and will comply with the Water Efficient Landscape Ordinance, which requires water-efficient landscaping for new residences with landscaping over 500 square feet.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and preserves existing trees.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA)

because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted a public notice sign on the property in conformance with the Planning Division posting requirements.

The applicant contacted 16 neighbors in the immediate area by providing a letter with hard copies of the project plans. Staff received public comments from one neighbor opposed to the project and signatures of four neighbors in support of the project, as of the writing of this report (see Attachment 3 – Public Correspondence).

Attachment:

1. Project Plans
2. Material Board
3. Public Correspondence

Cc: Mike Ma, Applicant
Di Wu and Gaoxiang Liu, Property Owner

FINDINGS

SC24-0018 – 1053 Echo Drive

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.

B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home complies with the allowable floor area ratio, lot coverage, setbacks, maximum height, and daylight plane requirements pursuant to LAMC Chapter 14.06.

C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal because the site is relatively level and therefore does not require substantial grading and seven protected trees will be preserved.

D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize excessive bulk because the proposed design insets the second story and incorporates greater setbacks than required.

E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to ensure the compatibility of the development with its design concept and the character of adjacent buildings. The proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates consistent and compatible features including stucco walls, standing seam metal roofing, and stained horizontal wood siding accents.

F. The proposed home has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the proposed grading provides for drainage away from the home and away from adjacent properties and conforms to existing grades along property lines.

CONDITIONS OF APPROVAL

SC24-0018 – 1053 Echo Drive

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on June 4, 2027 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.

2. **Approved Plans:** The approval is based on the plans and materials received on April 21, 2025, except as modified by these conditions as specified below.

3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.

4. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

6. **ADU Not Reviewed:** The proposed ADU included in the plan set is not part of this design review application. Prior to commencement of the ADU construction, a separate building permit issued by the Building Division shall be obtained.

7. **Protected Trees:** Tree Nos. 2, 10, and 12-16 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.

8. **Tree Removal Approved:** Tree No. 1 and 17 shown to be removed on plan Sheet A1.1 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after the issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Development Services Director upon submitting written justification.

9. **Replacement Trees:** The applicant shall offset the loss of each protected tree with a minimum of one replacement tree. Each replacement tree shall be no smaller than a 24" box and shall be noted on the landscape plan as a replacement tree.

10. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the driplines, or as required by the project arborist, of Tree Nos. 2, 10, and 12-16. Verification of installation of the fencing shall be submitted to the City prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

11. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.

13. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

14. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

15. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.

16. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

17. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

18. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.

19. **Swimming Pool:** The proposed pool and associated equipment require a separate building permit and are subject to the City's standards pursuant to Section 14.06.120 and Chapter 14.15.

20. **New Fireplaces:** Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

21. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

22. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

23. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

24. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

25. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

26. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

27. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

28. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.

29. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.

30. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.

31. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.

32. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.

33. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

34. **Applicable Codes and Review**: The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing

any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

35. **Violations**: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

36. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

37. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in accordance with National Fire Protection Association's (NFPA) Standard 13D in all new one and two-family dwellings. Sprinklers notes on Sheet A1.0.

38. **Required Fire Flow:** The minimum required fire flow for this project is 1,000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.

39. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection system, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

40. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU

1053 ECHO DRIVE
LOS ALTOS, CA 94024
APN: 189-46-020

FIRE DEPT. NOTES

1. AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE NEW HOUSE & ATTACHED GARAGE. A PERMIT WILL BE APPLIED AS A DEFERRED ITEM. THE OWNER(S) AND CONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION & APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK.

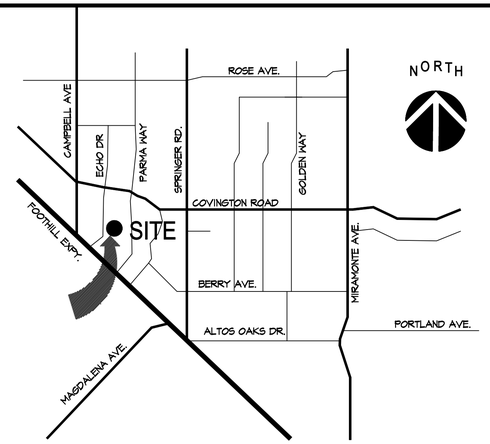
2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR SOTRAGE CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT.

3. PROVIDE AN APPROVED ADDRESS NUMBER PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM 6 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH.

   WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROMT HE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBER SHALL BE MAINTAINED.

4. ALL CONSTRUCTION SITE MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7.

LOCATION MAP



PROJECT CONTACT

PROPERTY OWNER
DI WU & GAOXIANG LIU
1053 ECHO DRIVE
LOS ALTOS, CA 94024
(650) 732-8466
EMAIL: wudi1989@gmail.com

ARCHITECT
MARCH DESIGN
569 CLYDE AVENUE, UNIT 520
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EMAIL: mma.ala@gmail.com

CIVIL ENGINEER
WEC & ASSOCIATES
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Y2 DESIGN STUDIO
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ARBORIST
ADVANCED TREE CARE
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EMAIL: rweather@pacbell.net

GREEN BUILDING CONSULTANT
JBRGY LLC
P.O. BOX 60192
PALO ALTO, CA 94306
(408) 671-6588
EMAIL: richardyyang@yahoo.com

PROJECT SUMMARY TABLE

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/ REQUIRED
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,673 S.F. (22.6%)	3,024 S.F. (25.6%)	3,550 S.F. (30.0%)
FLOOR AREA : MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	2,612 S.F. (22.1%)	3,932 S.F. (33.0%)	3,933 S.F. (33.0%X11,000+10%X834)
SETBACKS:		GRD. FLR./ 2ND FLR.	GRD. FLR./ 2ND FLR.
FRONT	32'-3"	25'-0" / 33'-0 1/2"	25'-0"
REAR	44'-0"	44'-1" / 51'-8"	25'-0"
RIGHT SIDE	9'-4"	10'-2 1/2" / 23'-5 1/2"	10'-0" / 17'-6"
LEFT SIDE	13'-10"	10'-10" / 24'-0"	10'-0" / 17'-6"
HEIGHT:	14'-6"	26'-11 1/2"	27'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	2,238 S.F.	1268.1 S.F.	3506.1 S.F.
NON-HABITABLE AREA: (DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)	374 S.F.	52.2 S.F.	426.2 S.F.

LOT CALCULATION		
NET LOT AREA	11,834 S.F.	
FRONT YARD HARDSCAPE AREA HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	847.9 S.F. (57.3%)	
LANDSCAPING BREAKDOWN	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	3429.6 S.F.
	EXISTING SOFTSCAPE (UNDISTURBED) AREA:	4,811 S.F.
	NEW SOFTSCAPE AREA:	1,083.3 S.F.
	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	

DRAWING INDEX

PROJECT SUMMARY

APN:	189-46-020
USE:	SINGLE FAMILY RESIDENCE
ZONING DISTRICT:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R3/ U
SIZE OF LOT:	+/-11,834 S.F.
ALLOWABLE LOT COVERAGE	3,550 S.F.
PROPOSED LOT COVERAGE:	3,024 S.F.
MAX. ALLOWABLE FLOOR AREA: (11,000 S.F. X 35%+ 834 S.F. X10%)	3,933 S.F.
FLOOR AREAS OF STRUCTURE	
ATTACHED GARAGE	426.2 S.F.
GROUND FLOOR AREA	1,969.3 S.F.
2ND FLOOR AREA:	1,536.8 S.F.
TOTAL FLOOR AREA:	3,932.3 S.F.
ATTACHED ADU:	1021 S.F.
MAXIMUM BUILDING HEIGHT:	27'-0"
PROPOSED BUILDING HEIGHT:	26'-11 1/2"
REQUIRED PARKING:	2
PARKING PROVIDED:	2

DEFERRED SUBMITTAL/ APPROVAL

ALL FIRE SPRINKLER PLANS SHALL BE SUBMITTED DIRECTLY TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A LICENSED C-16 FIRE SPRINKLER CONTRACTOR.

PROJECT SCOPE

1. DEMOLISH EXISTING ATTACHED GARAGE 374 S.F., EXISTING SINGLE STORY HOUSE, 2238 S.F.

2. NEW CONSTRUCTION OF A 3932 S.F. SINGLE STORY HOUSE (INCLUDING AN ATTACHED 2-CAR GARAGE), AND AN ATTACHED 1021 S.F ADU. MAIN EXTERIOR BUILDING MATERIALS ARE CEMENT PLASTER & WOOD SIDING FINISH, AND METAL ROOF.

APPLICABLE CODES

2022 CRC, CBC (FOR STRUCTURAL), CPC, CMC, CEC, CALIFORNIA ENERGY CODE AND CITY OF LOS ALTOS ORDINANCES

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REVISIONS

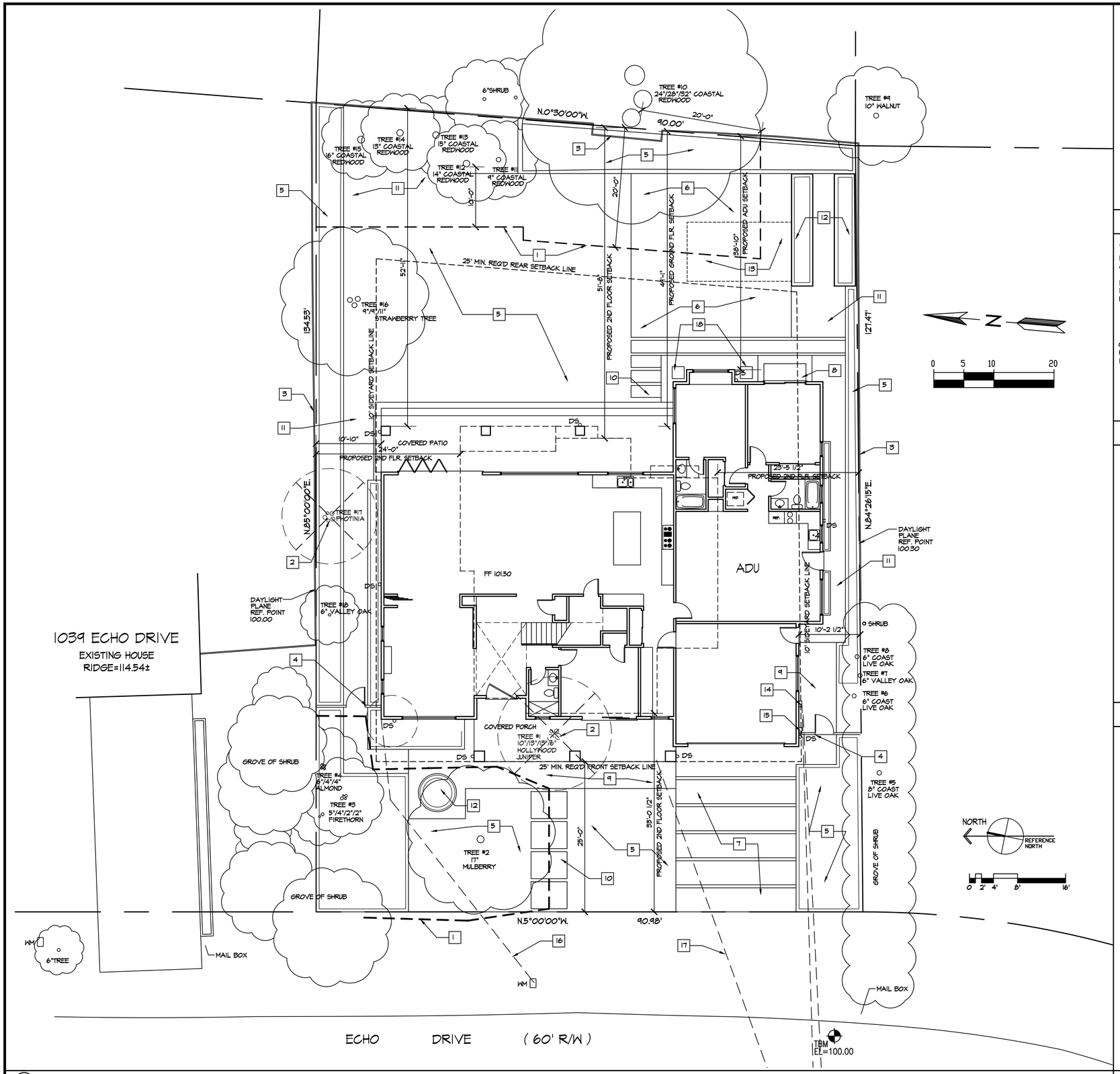
FIRE DEPT. COMMENTS
APRIL 21, 2025

LIU RESIDENCE
NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU
1053 ECHO DRIVE
LOS ALTOS, CA 94024
APN: 189-46-020

DATE 03/17/25
CHECKED
DRAWN MM
JOB NO.

TITLE SHEET

A1.0



1 PROPOSED SITE PLAN

1/8"=1'-0"

PROPERTY LINE

TREE PROTECTION FENCING (MIN. 5 FT. TALL W/ POSTS DRIVEN TO GROUND)

(E) TREE TO REMAIN

(N) TREES & PLANTS SEE LANDSCAPE DRAWINGS

(E) TREE TO BE REMOVED SEE TREE TABLE & ARBORIST REPORT

EM (N) ELEC. METER/ PANEL (400 AMP)

GM (N) GAS METER

(N) SSCO (N) SANITARY SEWER CLEAN OUT

DS (N) DOWNSPOUT LOCATION W/ SPLASH BLOCK SEE CIVIL DRAWING

LEGEND

A. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED, VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSED
D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED
E. SEE SOIL REPORT FOR SITE & FOUNDATION COMPACTION & GRADING REQUIREMENTS.
F. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF WORK." APPLY FOR THIS PERMIT AT THE PUBLIC WORKS ENGINEERING (PWE) DIVISION. **THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY."**
G. REFER TO SHT. C-1 FOR DOWNSPOUT/ SPLASH BLOCK LOCATIONS.
H. REMOVE ALL (E) ONSITE SUBGRADE SEWER LINE & REPLACE WITH NEW.
I. HARDSCAPE WITH MORE THAN SIX-FOOT ENCROACHMENT INTO THE REQUIRED REAR YARD SHALL BE NO GREATER THAN SIX INCHES IN HEIGHT.

GENERAL NOTES

1. PROVIDE TYPE 1 TREE PROTECTION PER CITY STANDARDS. SEE ARBORIST REPORT.
2. REMOVE (E) NON-PROTECTED TREE AND SHRUBS.
3. (E) 6' HT. WD. FENCE TO REMAIN.
4. (N) 6' HT. WD. FENCE & GATES
5. (N) LANDSCAPING. SEE LANDSCAPING PLANS.
6. (N) WOOD DECK.
7. (N) CONC. DRIVEWAY
8. (N) CONC. LANDING & STEP
9. (N) CONC. WALKWAY & PATIO
10. (N) CONC. STEPPING STONE
11. DECOMPOSED GRANITE (D.G.)
12. (N) PLANTER. SEE LANDSCAPE DRAWINGS.
13. FUTURE POOL LOCATION. SEPARATE PERMIT.
14. (N) ELEC. METER. COORDINATE WITH PG & E.
15. (N) GAS METER. COORDINATE WITH PG & E.
16. NEW WATER METER & 2" WATER LINE. COORDINATE WITH WATER COMPANY.
17. NEW 4" SANITARY SEWER LINE.
18. NEW HEAT PUMP UNIT (1 FOR MAIN HOUSE & 1 FOR ADU)

KEYNOTES

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REVISIONS

LIU RESIDENCE
NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU

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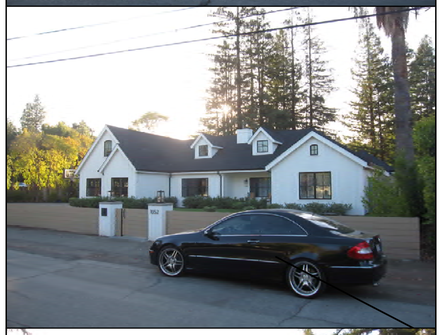
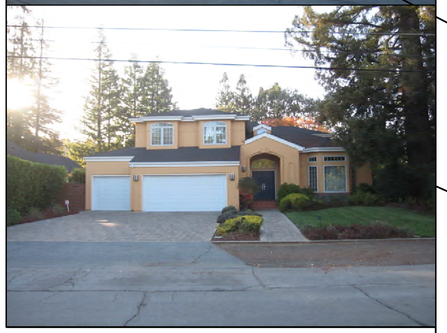
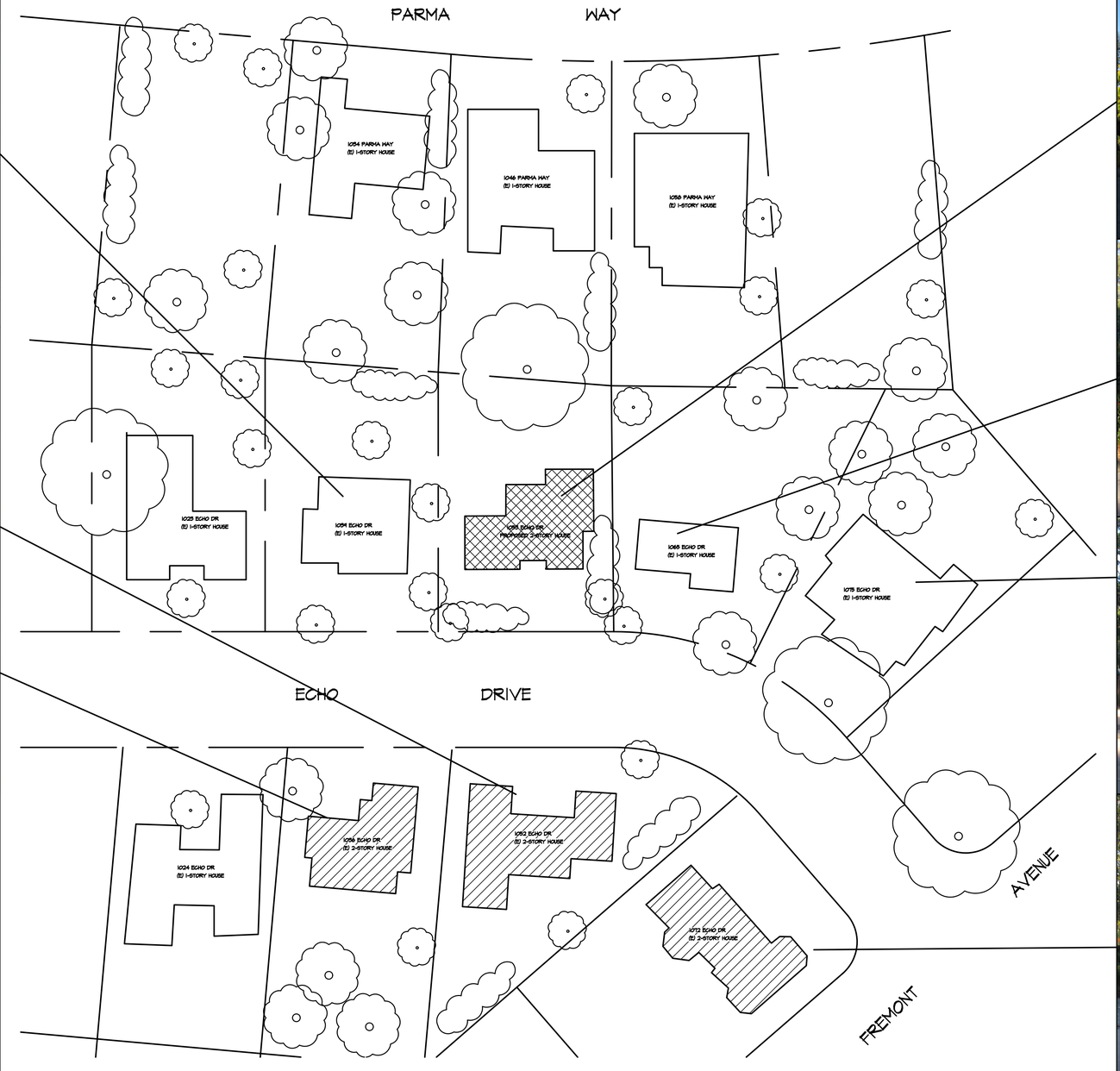
PROPOSED SITE PLAN

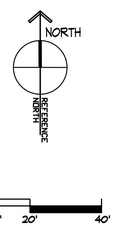
A1.1







1 SITE CONTEXT 1/20"=1'-0"



LEGEND

(E) 1-STORY HOUSE

(E) 2-STORY HOUSE

PROPOSED 2-STORY HOUSE

PROPERTY LINE

(E) TREE TO REMAIN

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SITE CONTEXT

A1.2

1 3D RENDERING– FRONT VIEW

2 3D RENDERING– REAR VIEW

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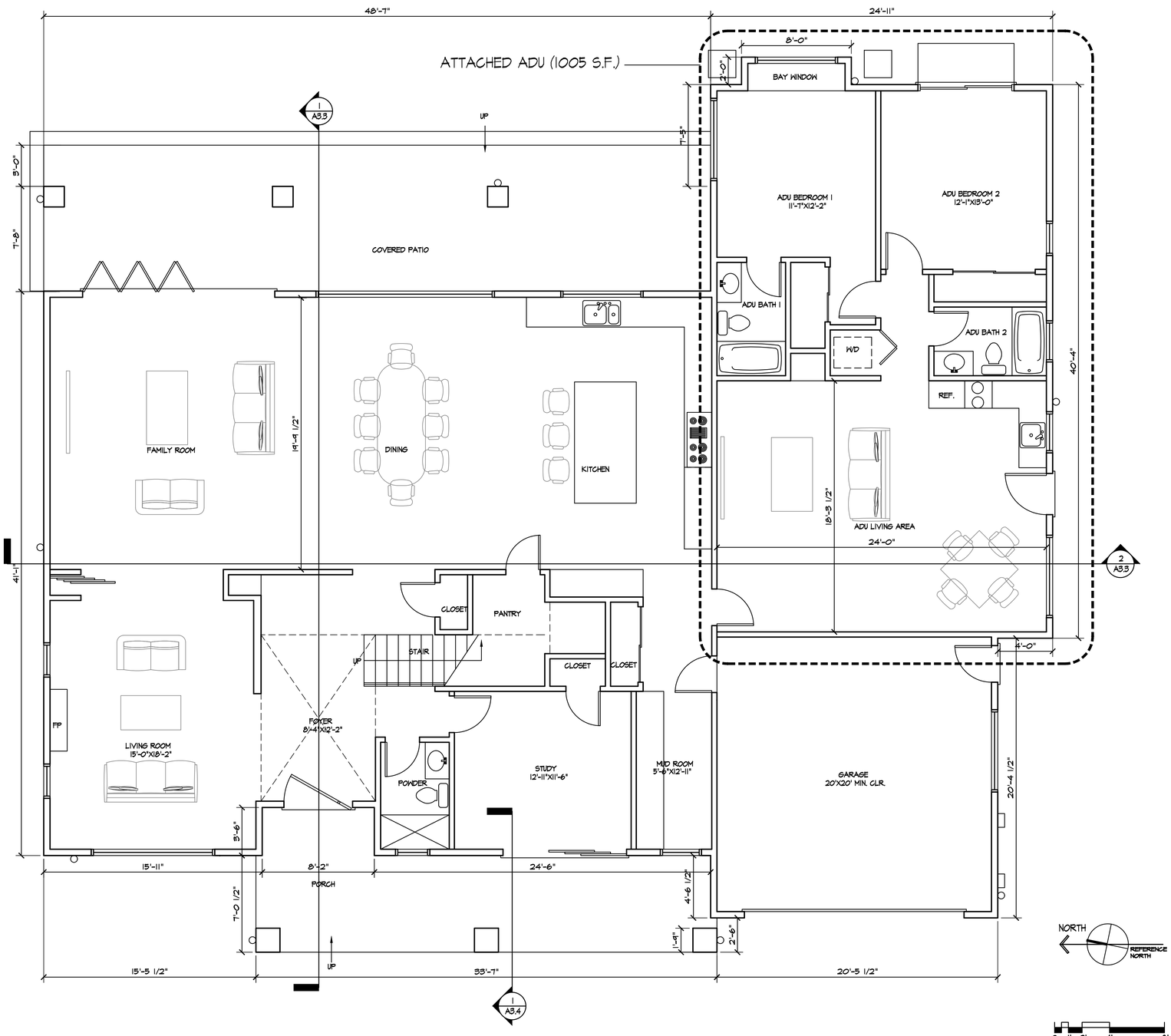
3D RENDERINGS

A1.3



1 PROPOSED GROUND FLOOR PLAN

1/4" = 1'-0"

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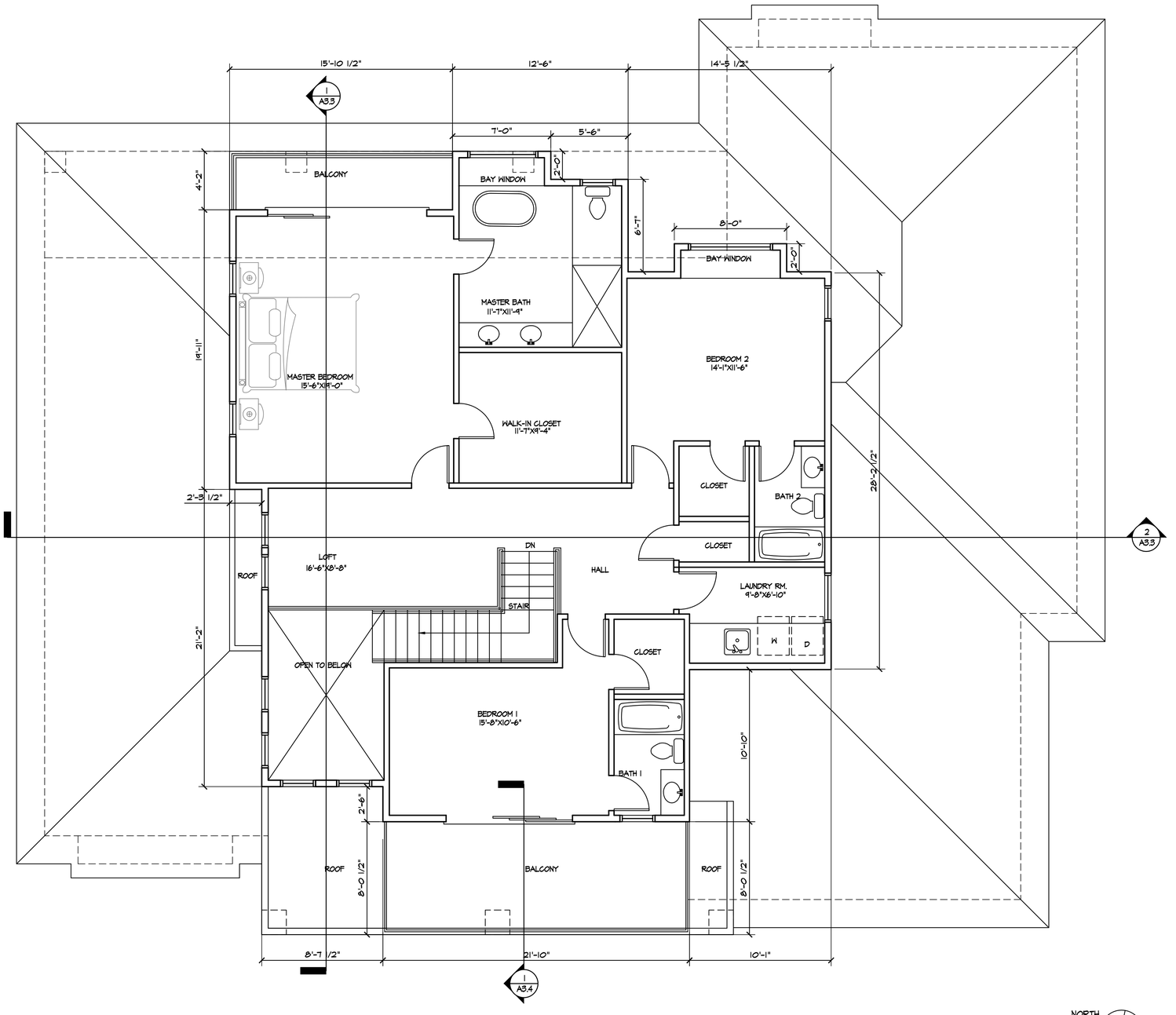
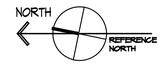
PROPOSED GROUND FLOOR PLAN

A2.1





1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

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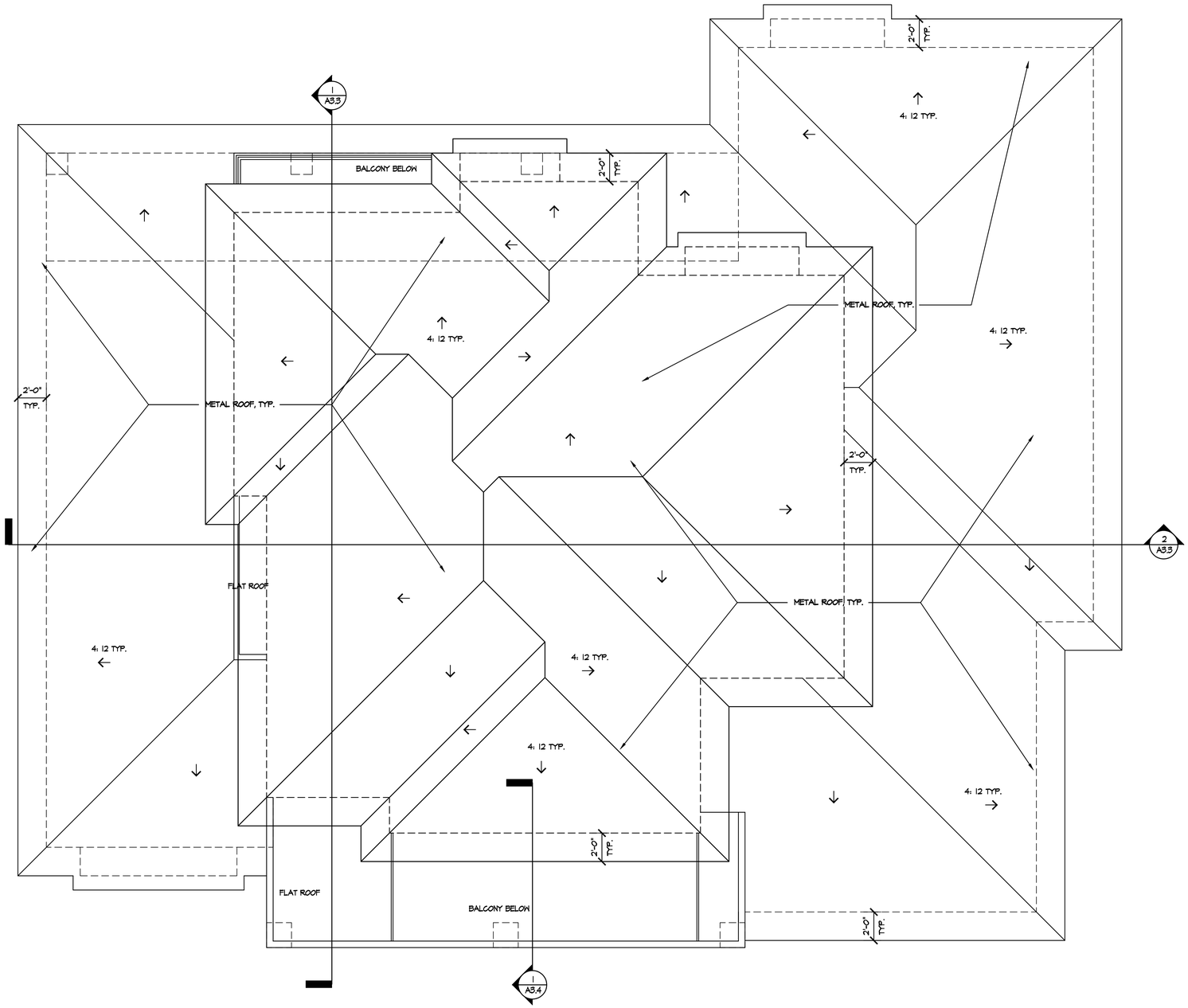
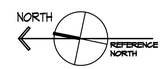
JOB NO.

PROPOSED SECOND FLOOR PLAN

A2.2





1 PROPOSED ROOF PLAN

1/4" = 1'-0"

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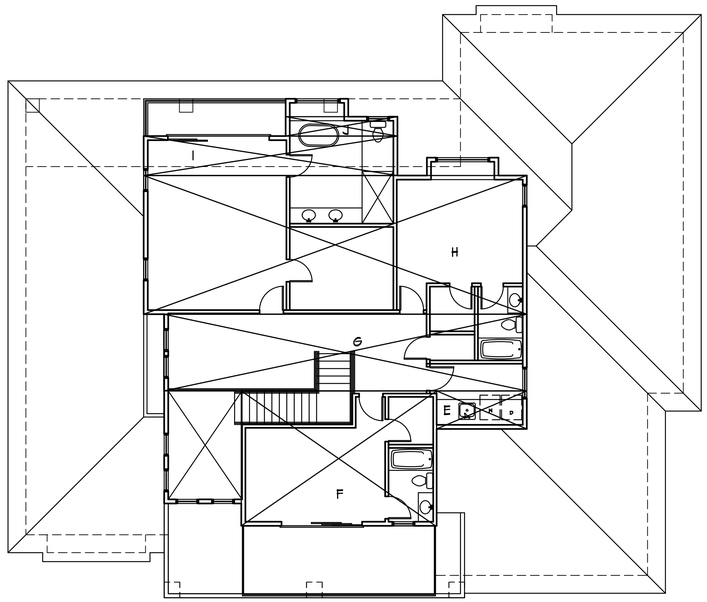
PROPOSED ROOF PLAN

A2.3



① SECOND FLOOR AREA CALCULATION

1/8"=1'-0"

FLOOR AREA CALCULATION

FIRST FLOOR

SECTION	DIMENSIONS	AREA
A	20'-11" X 20'-4 1/2"	426.2
B	24'-6" X 3'-6"	85.7
C	15'-11" X 3'-6"	55.7
D	48'-7" X 37'-7 1/2"	1827.9
SUBTOTAL		2345.5

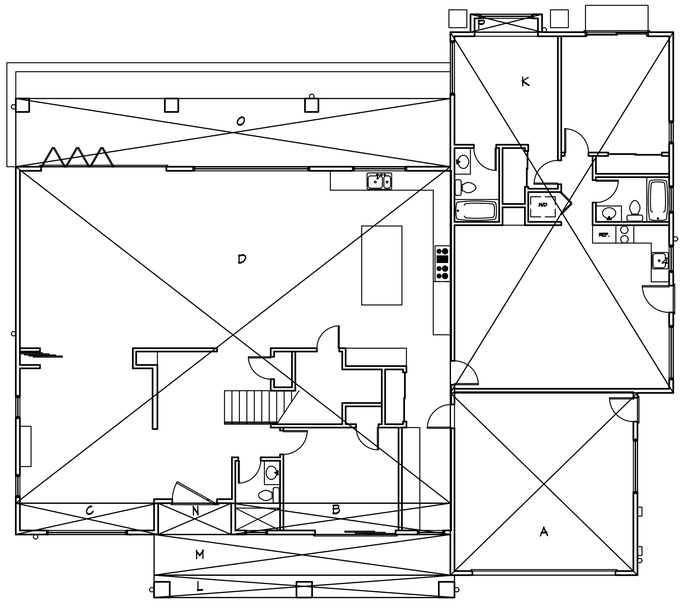
SECOND FLOOR

SECTION	DIMENSIONS	
E	10'-1" X 4'-3"	42.9
F	21'-10" X 15'-1"	329.3
G	40'-7" X 8'-7"	348.3
H	42'-10" X 15'-6"	663.9
I	28'-4 1/2" X 4'-5"	125.3
J	12'-6" X 2'-2"	27.1
SUBTOTAL		1536.8

TOTAL FLOOR AREA	3932.3 SF < 3933 SF

ATTACHED ADU

SECTION	DIMENSIONS	
K	24'-11" X 40'-4"	1005.0
P	8'-0" X 2'-0"	16.0
SUBTOTAL		1021.0



② GROUND FLOOR AREA CALCULATION

1/8"=1'-0"

FLOOR COVERAGE CALCULATION

SECTION	DIMENSIONS	AREA
GROUND FLOOR AREA		
L	33'-1" X 2'-6"	84.0
M	33'-1 1/2" X 4'-6 1/2"	150.4
N	8'-2" X 3'-6"	28.6
O	48'-7" X 7'-7 1/2"	370.4
TOTAL		633.4

TOTAL COVERAGE	3028.9 SF < 3550 SF

ATTACHED ADU

SECTION	DIMENSIONS	
K	24'-11" X 40'-4"	1005.0
P	8'-0" X 2'-0"	16.0
SUBTOTAL		1021.0

ADU COVERAGE	1021.0 SF

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LIU RESIDENCE
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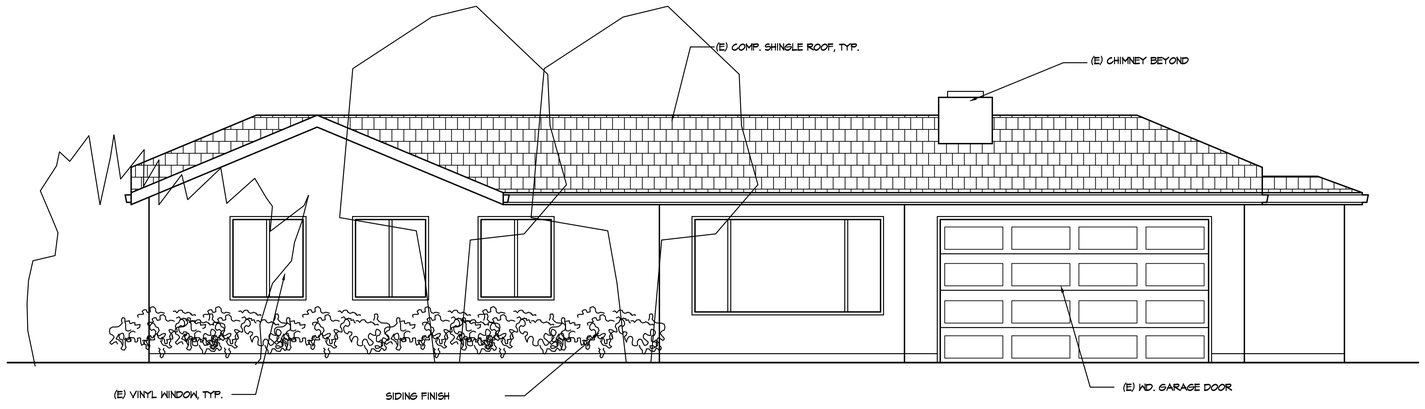
FLOOR & COVERAGE AREA CALCULATIONS

A2.4



0 1' 2' 4' 8'

1 EXISTING STREET ELEVATION (WEST)

1/4" = 1'-0"

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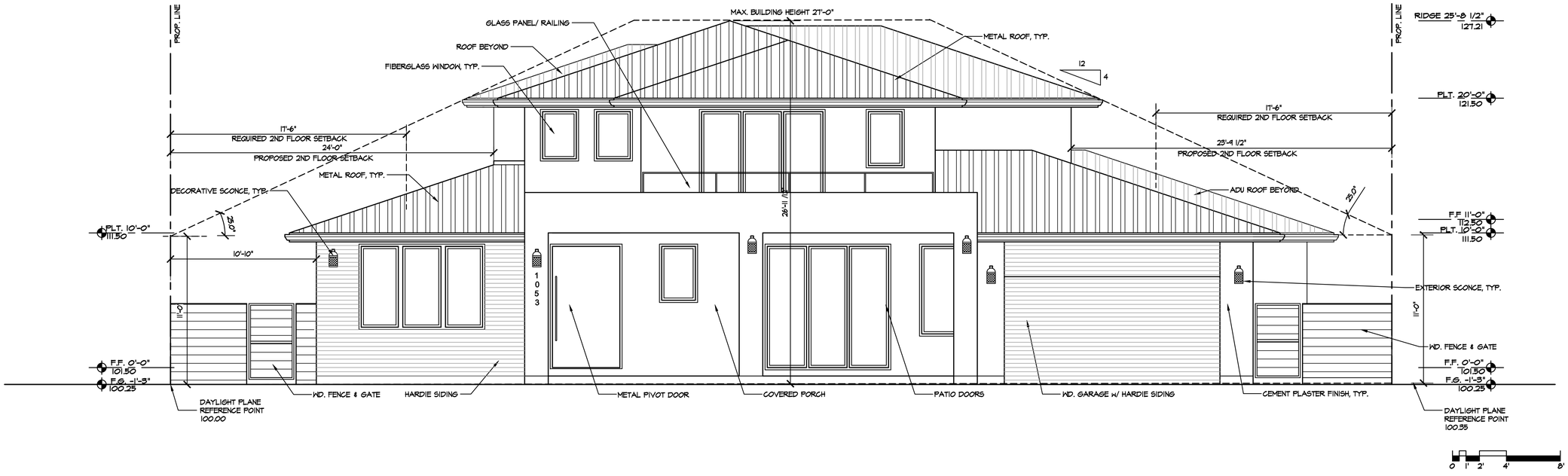
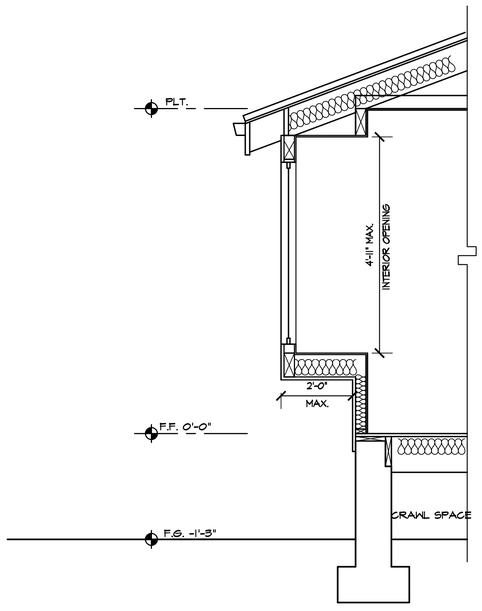
EXISTING STREET ELEVATION

A3.0



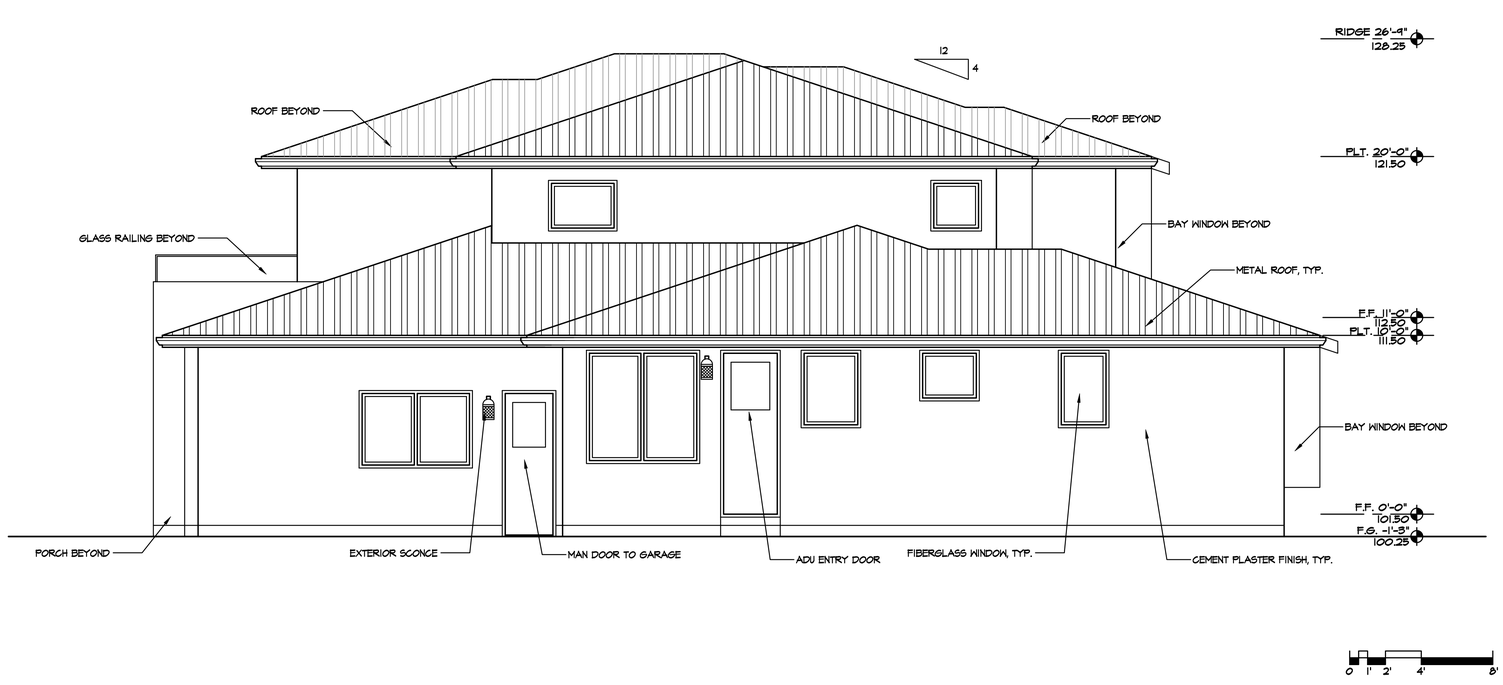
(1) PROPOSED STREET ELEVATION (WEST)

1/4" = 1'-0"



(3) BAY WINDOW SECTION

1/2" = 1'-0"



(2) PROPOSED RIGHT SIDE ELEVATION (SOUTH)

1/4" = 1'-0"

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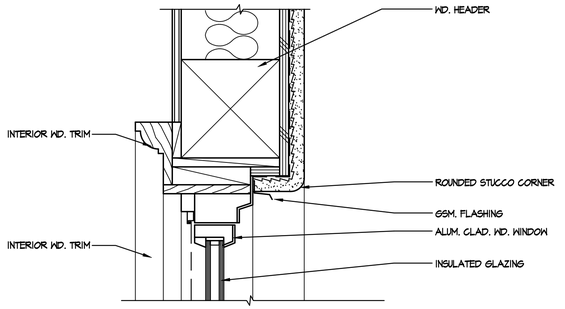
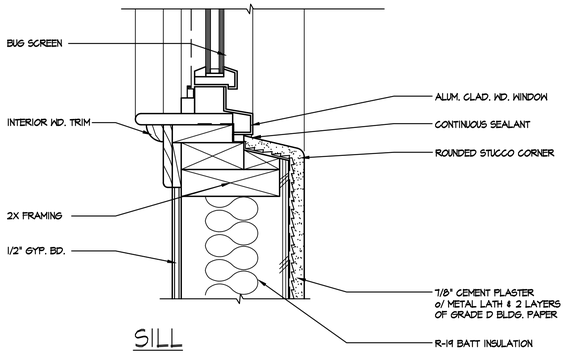
PROPOSED EXTERIOR ELEVATIONS

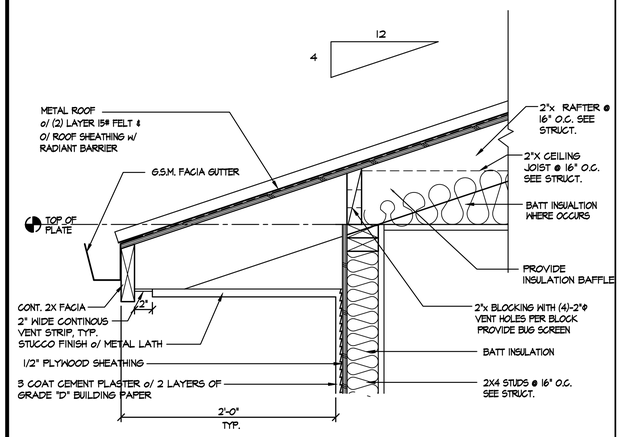
A3.1



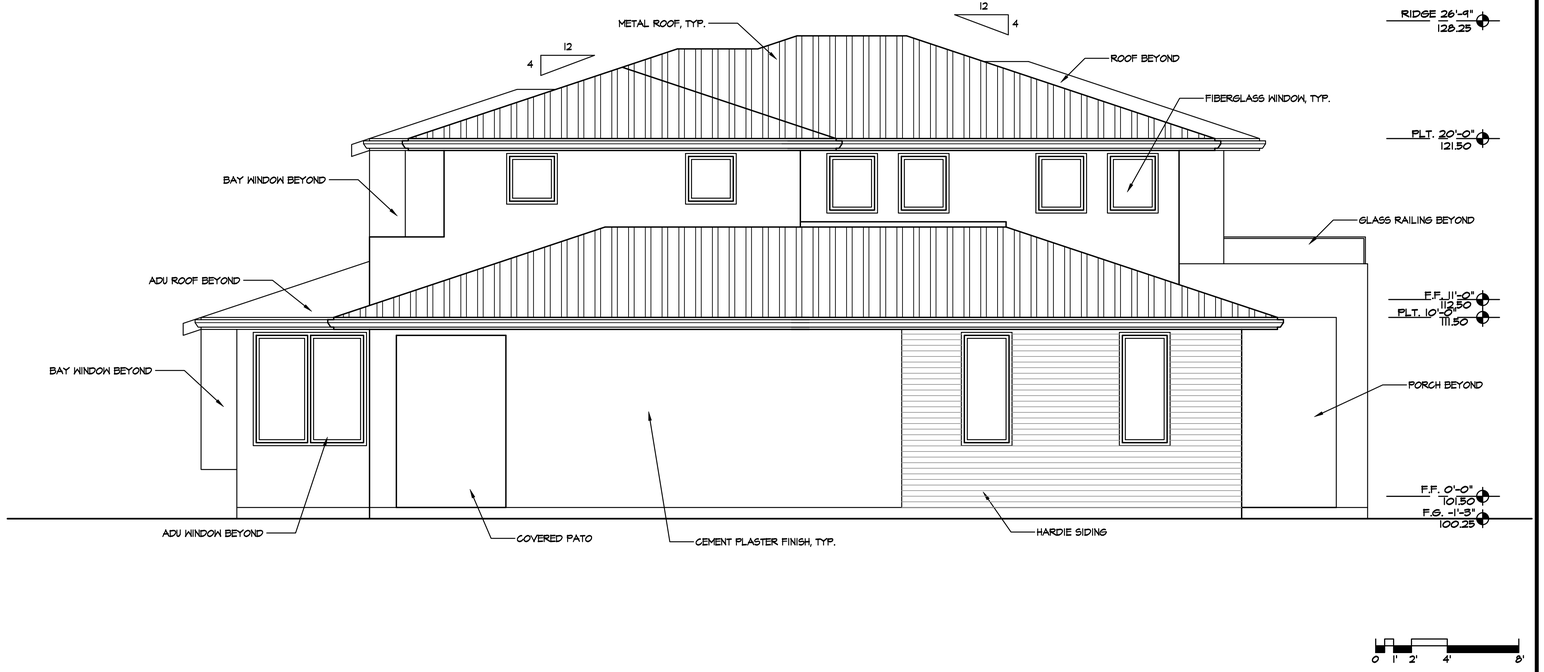


3 TYPICAL RECESSED WINDOW DETAIL 3" = 1'-0"

1 PROPOSED REAR ELEVATION (EAST) 1/4" = 1'-0"



4 TYPICAL EAVE DETAIL 1 1/2" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION (NORTH) 1/4" = 1'-0"

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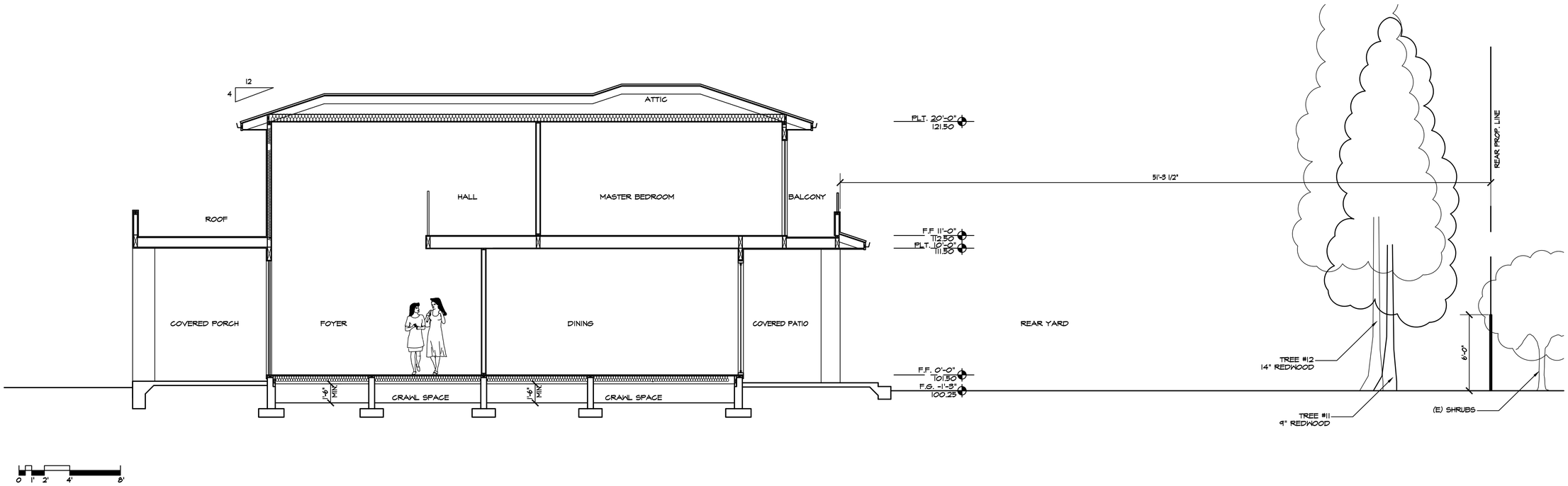
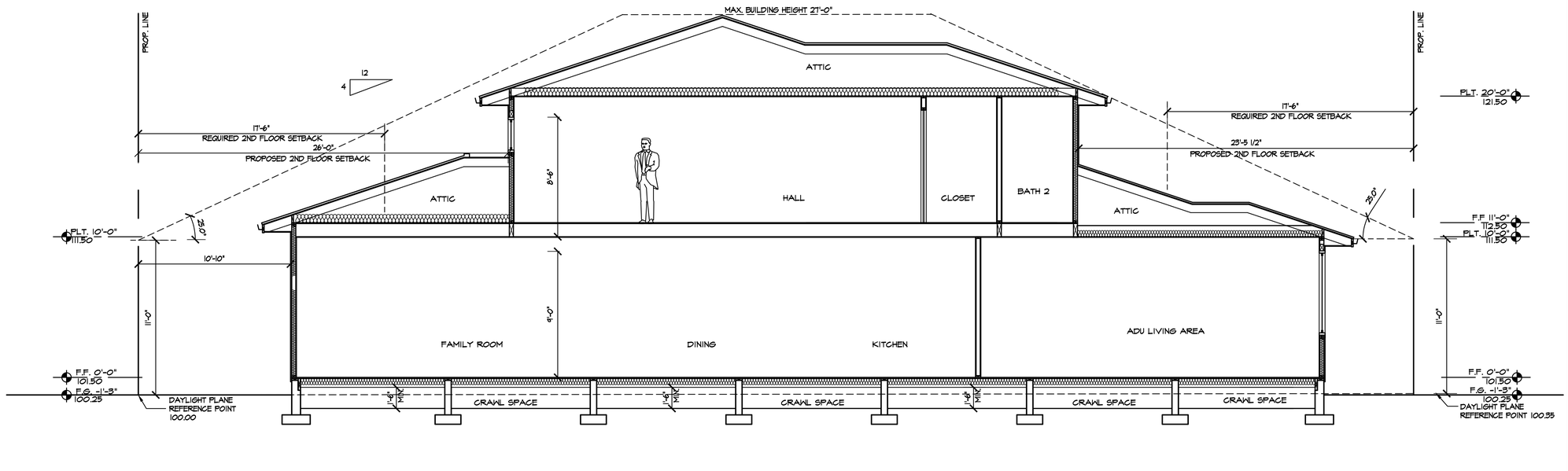
PROPOSED EXTERIOR ELEVATIONS

A3.2



1 SECTION 1/4" = 1'-0"



2 SECTION 1/4" = 1'-0"

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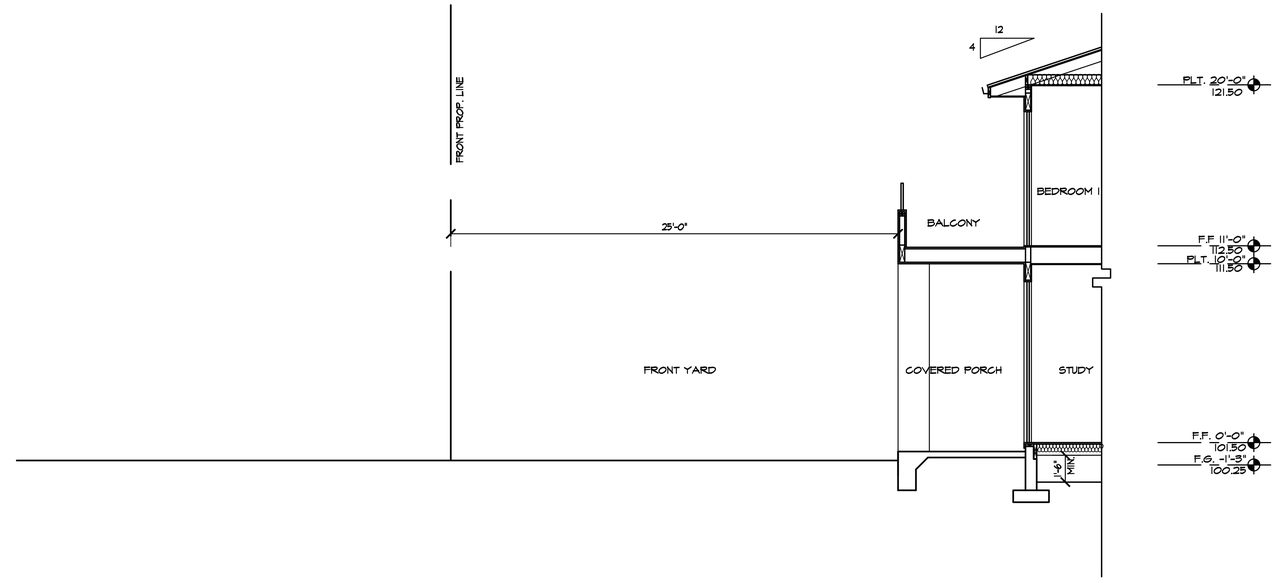
BUILDING SECTIONS

A3.3



0 1' 2' 4' 8'

1 SECTION

1/4" = 1'-0"

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BUILDING SECTION

A3.4

2022 CALIFORNIA GREEN BUILDING RESIDENTIAL STANDARD CODE MADATORY MESURES

CALGREEN BUILDING NOTE

4.106.2 Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.1.) Retention basins of sufficient size shall be utilized to retain storm water on the site. 2.) Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3.) Compliance with a lawfully enacted storm water management ordinance. **Note:** Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterbaords.ca.gov/water_issues/programs/storwater/construction.html)

4.106.3. Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1.) Swales 2.) Water collection and disposal systems 3.) French drains 4.) Water retention gardens 5.) Other water measures which keep surface water away from buildings and aid in groundwater recharge. **Exception:** Additions and alterations not altering the drainage path.

4.106.4.1 New one- and two-family dwellings and town- houses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. **Exemption:** A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with Sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a non compliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets. **Note:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.
4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. **Note:** A hand-held shower shall be considered a showerhead.

4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. **Note**: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

4.304.1 Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. **Notes:** The Model Water Efficient Landscape Ordinance (MWELO) is located in California Code of Regulation, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov.

4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. **Exceptions:** 1.) Excavated soil and land-clearing debris. 2.) Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3.) The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 Construction waste management plan. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1) Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2.) Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream). 3.) Identify diversion facilities where the construction and demolition waste material will be taken. 4.) Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5.) Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 Waste management company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. **Note:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.5 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. **Note:** 1.) Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at http://www.hcd.ca.gov/building-standard/calgreen/cal-green-form.html may be used to assist in documentation compliance with this section. 2.) Mixed construction and demolition debris (C&D) processors can be located at California Department of Resources Recycling and Recovery (CalRecycle).

4.410.1 Operation and maintenance manual. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1.) Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2) Operation and maintenance instructions for the following: a.) Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b.) Roof and yard drainage, including gutters and downspouts. c.) Space conditioning systems, including condensers and air filters. d.) Landscape irrigation systems. e.) Water reuse systems. 3.) Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4) Public transportation and/or carpool options available in the area. 5.) Educational material on the positive impacts of an interior relative humidity between 30–60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6) Information about water-conserving landscape and irrigation design and controllers which conserve water. 7) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8.) Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9) Information about state solar energy and incentive programs available. 10.) A copy of all special inspection verifications required by the enforcing agency or this code. 11.) Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12.) Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

4.503.1 Fireplace. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.

4.504.2 Finish material pollutant control. Finish materials shall comply with this section.

Table 4.504.2 Sealant VOC Limit
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine Deck	760
Nonmembrane Roof	300
Roadway	250
Single-Ply Roof Membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Non Porous	250
Porous	775
Modified Bituminous	500
Marine Deck	760
Other	750

4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1.) Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below. 2.) Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

Table 4.504.1 Adhesive VOC Limit [1, 2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor Carpet Adhesives	50
Carpet Pad Adhesives	50
Outdoor Carpet Adhesives	150
Wood Flooring Adhesive	100
Rubber Floor Adhesives	60
Subfloor Adhesives	50
Ceramic Tile Adhesives	65
VCT and Asphalt Tile Adhesives	50
Drywall and Panel Adhesives	50
Cove Base Adhesives	50
Multipurpose Construction Adhesives	70
Structural Glazing Adhesives	100
Single-Ply Roof Membrane Adhesives	250
Other Adhesive not specifically listed	50
SPECIALTY APPLICATIONS	
PVC Welding	510
CPVC Welding	490
ABS Welding	325
Plastic Cement Welding	250
Adhesive Primer for Plastic	550
Contact Adhesive	80
Special Purpose Contact Adhesive	250
Structural Wood Member Adhesive	140
Top and Trim Adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to Metal	30
Plastic Foams	50
Porous Material (except wood)	50
Wood	30
Fiberglass	80

4.504.2.2 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

Table 4.504.3 VOC Content Limits For Architectural Coatings [2, 3]
(Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)

COATING CATEGORY	G/L
Flat coatings	50
Nonflat coatings	100
Nonflat - high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings1	120
Magnesite cement coatings	450
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers, and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1.) Manufacturer's product specification. 2.) Field verification of on-site product containers.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx..

4.504.4 Resilient flooring systems. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx..

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

Table 4.504.5 Formaldehyde Limits[1]
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard[2]	0.13

4.505.2 Concrete slab foundations. Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code , Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following: 1.) A 4-inch (101.6 mm) thick base of ½ inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2.) Other equivalent methods approved by the enforcing agency. 3.) A slab design specified by a licensed design professional.

4.505.3 Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1.) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.2.) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified. 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following: 1.) Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2.) Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a.) Humidity controls shall be capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment. b.)A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).**Notes:** 1.) For the purposes of this section, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. 2.) Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods: 1.)The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J—2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2.)Duct systems are sized according to ANSI/ACCA 1 Manual D—2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.3.)Select heating and cooling equipment according to ANSI/ACCA 3 Manual S—2014 (Residential Equipment Selection) or other equivalent design software or methods. **Exception**: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

702.1 Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems, including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include, but are not limited to the following: 1.) State certified apprenticeship programs. 2.) Public utility training programs. 3.) Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4.) Programs sponsored by manufacturing organizations. 5.) Other programs acceptable to the enforcing agency.

702.2 Special inspection. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or the duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualification acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector. 1.) Certification by a national or regional green building program or standard publisher. 2) Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3) Successful completion of a third party apprentice training program in the appropriate trade. 4.) Other programs acceptable to the enforcing agency.

703.1 Documentation. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified in the application checklist.

Richard Yang
GreenPoint Rater
Rater ID# 2009-367
Expires: 11/4/2026

PROJECT: 1053 Echo Drive, Los Altos, CA 94024
APN: 189-46-020

SHEET NO.

CG

2022 RESIDENTIAL CALGREEN NOTES

CALGREEN SIGNATURE DECLARATIONS

Project Name: Liu Residence

Project Address: 1053 Echo Drive Los Altos

Project Description: New 2-Story Single Family Home + attached ADU

SECTION 1 – DESIGN VERIFICATION

Complete all lines of Section 1 – "Design Verification" and **SUBMIT THE ENTIRE CHECKLIST (COLUMNS 2 AND 3) WITH THE PLANS AND BUILDING PERMIT APPLICATION TO THE BUILDING DEPARTMENT.**

The design professional responsible for compliance with Cal Green Standards has reviewed the plans and certifies that the items checked above are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the **2022 California Green Building Standards Code** as adopted by the City of Los Altos.

Design Professional's Signature — Date: 11/13/24

Mike Ma
Design Professional's Name (Please Print)

Signature of Green Point Rater/Certified ICC Cal Green Special Inspector/Consulting Group — Date: 11/12/2024

Richard Yang
Name of Green Point Rater/Inspector (Please Print) — Phone No.: (408) 677-6588

richard@jbrcyllc.com
Email Address — License No.: GPR2009-301,ICC8786778

SECTION 2 – IMPLEMENTATION VERIFICATION

Complete, sign and submit the completed checklist, including column 3, together with all original signatures on Section 2 to the Building Department **PRIOR TO BUILDING DEPARTMENT FINAL INSPECTION**.

I have inspected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with this Green Building Checklist and in accordance with the requirements of the **2022 California Green Building Standards Code** as adopted by the City of Los Altos.

Signature of Licensed Green Point Rater/Certified ICC CalGreen Special Inspector/ Consulting Group — Date

Name of Green Point Rater/Inspector (Please Print) — Phone No.

Email address — License No.

Environmental Quality		
Fireplaces		
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.	N/A	
Pollutant Control		
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	☐	
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	☐	
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	☐	
4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	N/A	
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	☐	
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	☐	
4.504.4 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.	☐	
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	☐	
Interior Moisture Control		
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.	☐	
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	☐	
Indoor Air Quality and Exhaust		
4.506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside of the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent	☐	
Environmental Comfort		
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.	☐	
Installer and Special Inspector Qualifications		
Qualifications		
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	☐	
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	☐	
Verifications		
703.1 Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	☐	

1. Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7
2. Required prerequisite for this Tier.
3. These measures are currently required elsewhere in statute or in regulation

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES CHECKLIST Version 1_12_2023

DEVELOPMENT SERVICES DEPARTMENT – BUILDING DIVISION
VERONICA TINOCO, BUILDING OFFICIAL
BLDPERMIT@LOSALTOSCA.GOV • WWW.LOSALTOSCA.GOV

PURPOSE:

The 2022 Cal Green Code applies to all newly constructed hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregate residences, employee housing, factory-built housing, and other types of dwellings with sleeping accommodations and new accessory buildings associated with such uses. This section also applies to additions and alterations where there is an increase in conditioned space and specifies that these requirements only apply to the specific area of the addition or alteration. Existing site and landscaping improvements that are not otherwise disturbed are not subject to the requirements of Cal Green.

Project Name: Liu Residence

Project Address: 1053 Echo Drive Los Altos

Project Description: New 2-Story Single Family Home + attached ADU

Instructions (for projects of 300 sq. ft. or more):

1. The owner or owner's agent shall employ a licensed qualified green-point rater (www.buildgreen.org) experienced with the 2022 California Green Building Standards Codes to verify and assure that all required work described herein is properly planned and implemented in the project.
2. The green-point rater, in collaboration with the design professional shall review **Column 2** of this checklist, and initial all applicable measures, sign and date **Section 1 –Design Verification** at the end of this checklist., this form shall be incorporated into the plans.
   PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT, the Green-Point Rater shall complete Column 3 and sign and Date **Section 2 – Implementation Verification** at the end of this checklist and submit the completed form to the Building Department.

MANDATORY FEATURE OR MEASURE	COLUMN 2 **Project Requirements** Rater to initial applicable measures prior to submitting forms	COLUMN 3 **Verification** Rater to verify during construction as applicable to project
Planning and Design		
Site Development		
4.106.2 A plan is developed and implemented to manage storm water drainage during construction	☐	
4.106.3 Construction plans shall indicate how site grading, or a drainage system will manage all surface water flows to keep water from entering buildings.	☐	
4.106.4 Provide capability for electric vehicle charging for one- and two-family dwellings; townhouses with attached private garages; multifamily dwellings; and hotels/motels in accordance with Section 4.106.4.1 or 4.106.4.2	☐	
Energy Efficiency		
General		
4.201.1 Building meets or exceeds the requirements of the *California Building Energy Efficiency Standards*[3].	☐	
Water Efficiency and Conservation		
Indoor Water Use		
4.303.1. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	☐	
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the *California Plumbing Code* and shall meet the applicable referenced standards.	☐	
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.	N/A	
Outdoor Water Use		
4.304.1 Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	☐	
Material Conservation and Resource Efficiency		
Enhanced Durability and Reduced Maintenance		
4.406.1 Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.	☐	
Construction Waste Reduction, Disposal and Recycling		
4.408.1 Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance, or 2. A construction waste management plan per Section 4.408.2, or 3. A waste management company per Section 4.408.3, or 4. The waste stream reduction alternative per Section 4.408.4	☐	
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	☐	
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. See exception for rural jurisdictions	N/A	

March DESIGN
ARCHITECTURE | INTERIOR | PLANNING
569 CLYDE AVENUE, UNIT 520
MOUNTAIN VIEW, CA 94043
650. 302. 1987
mike@march.design

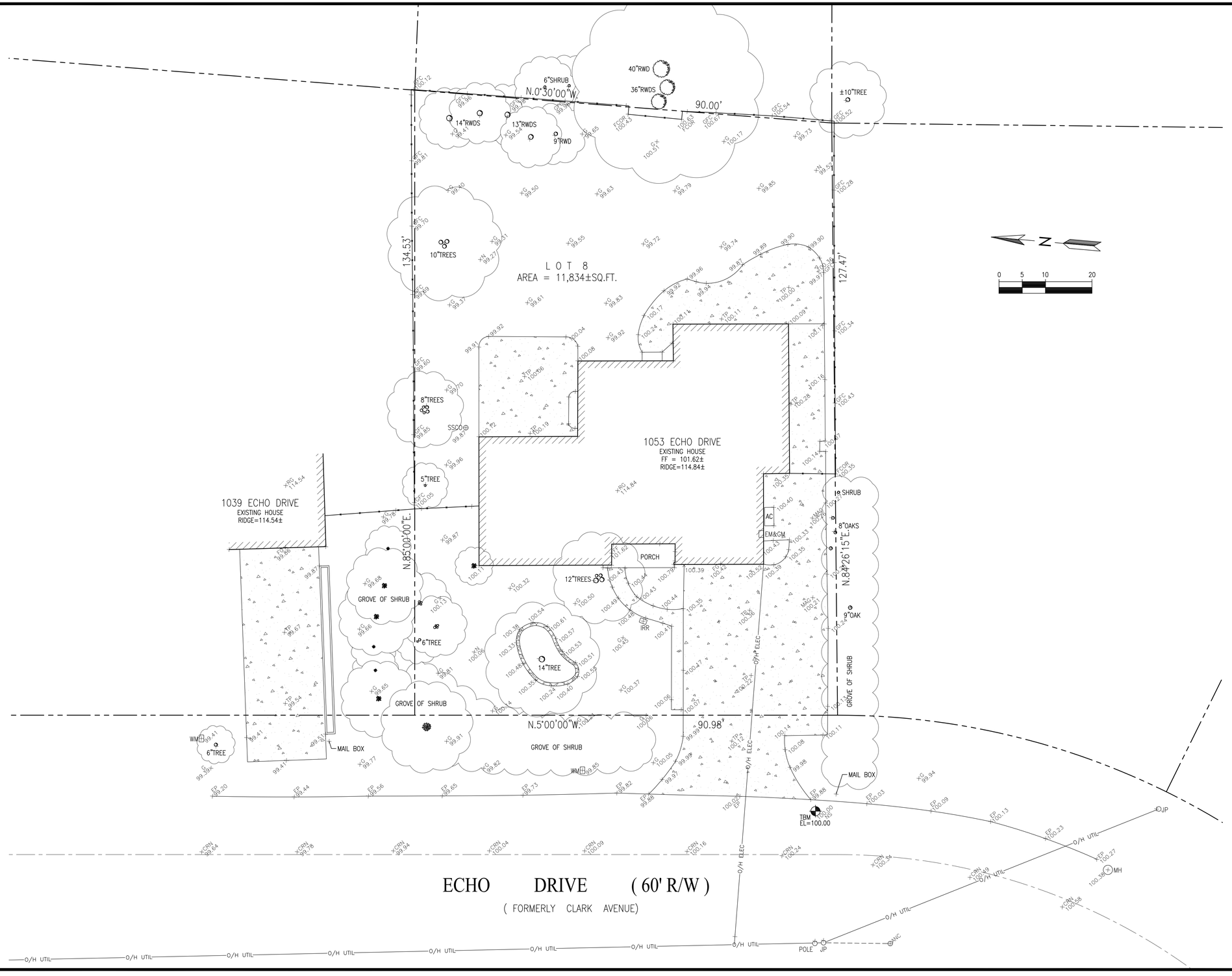
REVISIONS

LIU RESIDENCE
NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU
1053 ECHO DRIVE
LOS ALTOS, CA 94024
APN: 189-46-020

DATE 03/17/25
CHECKED
DRAWN MM
JOB NO.

2022 CALGREEN MANDATORY CHECKLIST

CG.1



LEGEND:

AC	ASPHALT CONCRETE
BC	BUILDING CORNER
BW	BACK OF WALK
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CRN	CROWN
DW	DRIVEWAY
EC	EDGE OF CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FCOR	FENCE CORNER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
FH	FIRE HYDRANT
FW	FRONT OF WALK
G	GROUND
GC	GARAGE CORNER
GF	GARAGE FACE/FRONT
GFC	GROUND AT FENCE
GM	GAS METER
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LG	LIP OF GUTTER
O/H	OVERHEAD
PC	PROPERTY CORNER
RW	RETAINING WALL
SL	STREET LIGHT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
TBC	TOP BACK ROLLED CURB
TC	TOP OF CURB
TOB	TOP OF BANK
TOE	TOE OF BANK
TP	TOP OF PAVEMENT
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

BASIS OF BEARINGS:

THE BEARING, N46°00'00"W, OF THE MONUMENT LINE OF FREMONT AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 12 OF MAPS AT PAGE 41, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES. SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:

LOT 8, BLOCK 4, MAP REF: BOOK 12 PAGES 40 AND 41

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

WU RESIDENCE

1053 ECHO DRIVE
LOS ALTOS, CA
APN: 189-46-020

WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE

LICENSED LAND SURVEYOR
YI-RAN HUANG
EXP 12/31/25
L. 8235
STATE OF CALIFORNIA

ISSUED

No.	Description	Date

DATE: JUNE 12, 2024
SCALE: 1"=10'
DRAWN: BG
JOB: 10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.

2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.

3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.

4. AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT OF WAY IN THE CITY OF LOS ALTOS. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.

5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES | 5

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BW	BOTTOM OF WALL
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTER LINE
CONC	CONCRETE
CS	CRAWL SPACE ELEV.
DD	DECK DRAIN
DIP	DUCT IRON PIPE
DS	DOWNSPOUT
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADING
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR ELEVATION
FG	FINISHED GROUND ELEV.
FP	FINISHED PAVEMENT
FS	FINISH SURFACE ELEV
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
(N)	NEW
RIM	RIM ELEVATION
S	SLOPE
SD	STORM DRAIN LINE
SDCO	STORM DRAIN CLEANOUT
SDFM	STORM DRAIN FORCED MAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
W	DOMESTIC WATER LINE
WM	WATER METER

ABBREVIATION | 4

SS	SANITARY SEWER
E	ELECTRIC
TV	TV/CABLE TV
FS	FIRE SERVICE
W	DOMESTIC WATER
T	TELEPHONE
G	NATURAL GAS
FM	FORCE MAIN
SL	STREET LIGHT
IRR	IRRIGATION
X	FENCE
JT	JOINT TRENCH
O/H	OVERHEAD WIRES
×16.07	(E) SPOT ELEVATION
×16.07 FS	(N) SPOT ELEVATION

DS — SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG. DOWNSPOUT

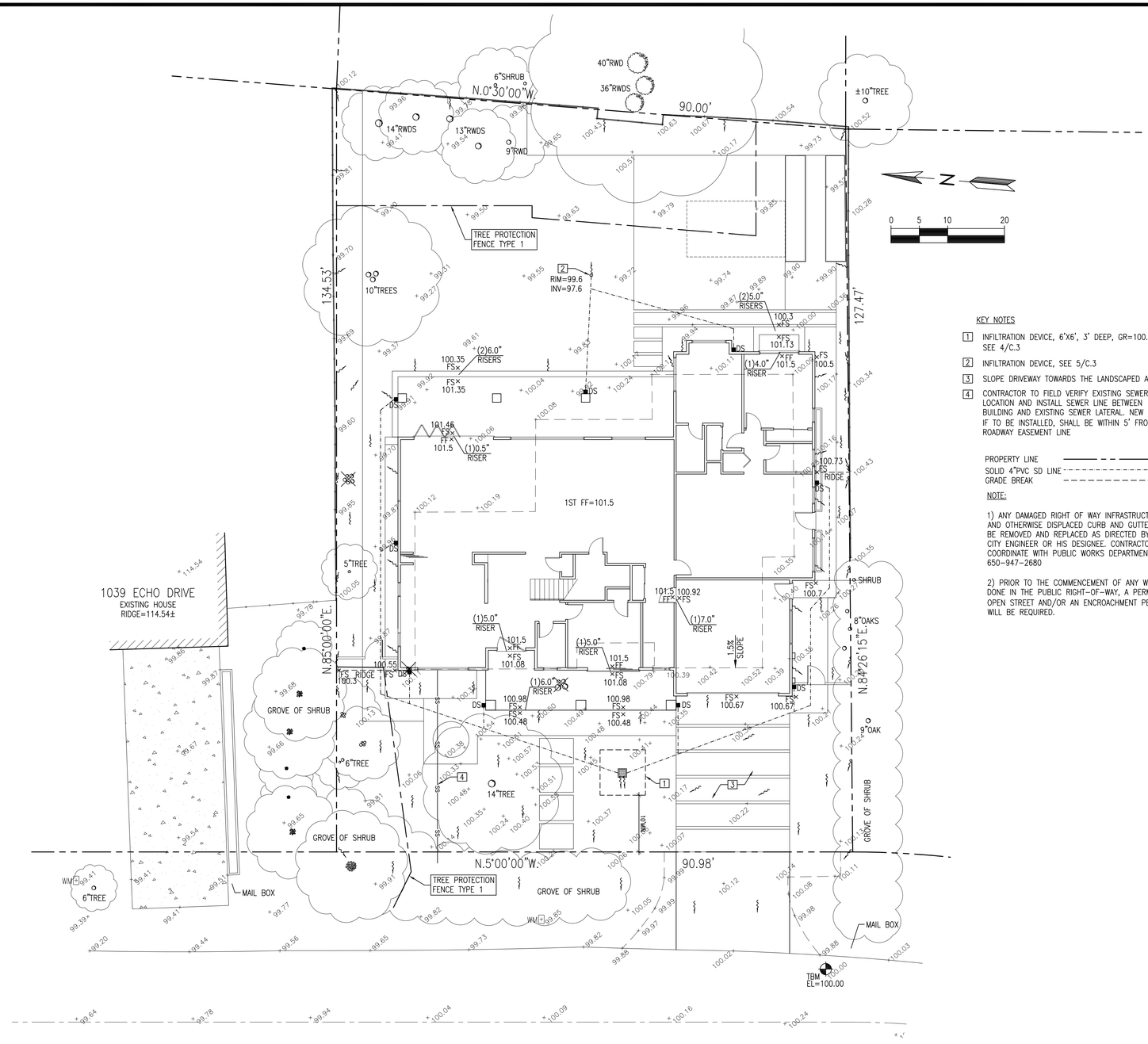
LEGEND | 3

EATHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST. | 2



GRADING AND DRAINAGE PLAN SCALE: 1"=10' | 1

0 5 10 20

KEY NOTES

1. INFILTRATION DEVICE, 6'X6', 3' DEEP, GR=100.3 SEE 4/C.3
2. INFILTRATION DEVICE, SEE 5/C.3
3. SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
4. CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM ROADWAY EASEMENT LINE

PROPERTY LINE
SOLID 4"PVC SD LINE
GRADE BREAK

NOTE:

1) ANY DAMAGED RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT 650-947-2680

2) PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

WU RESIDENCE

1053 ECHO DRIVE
LOS ALTOS, CA
APN: 189-46-020

WEC & ASSOCIATES
AEC
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE

REGISTERED PROFESSIONAL ENGINEER
YI-RAN WU
069334
EXP. 6/30/25
CIVIL
STATE OF CALIFORNIA

ISSUED

No.	Description	Date

DATE: NOV 5, 2024
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.

C.1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.

3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.

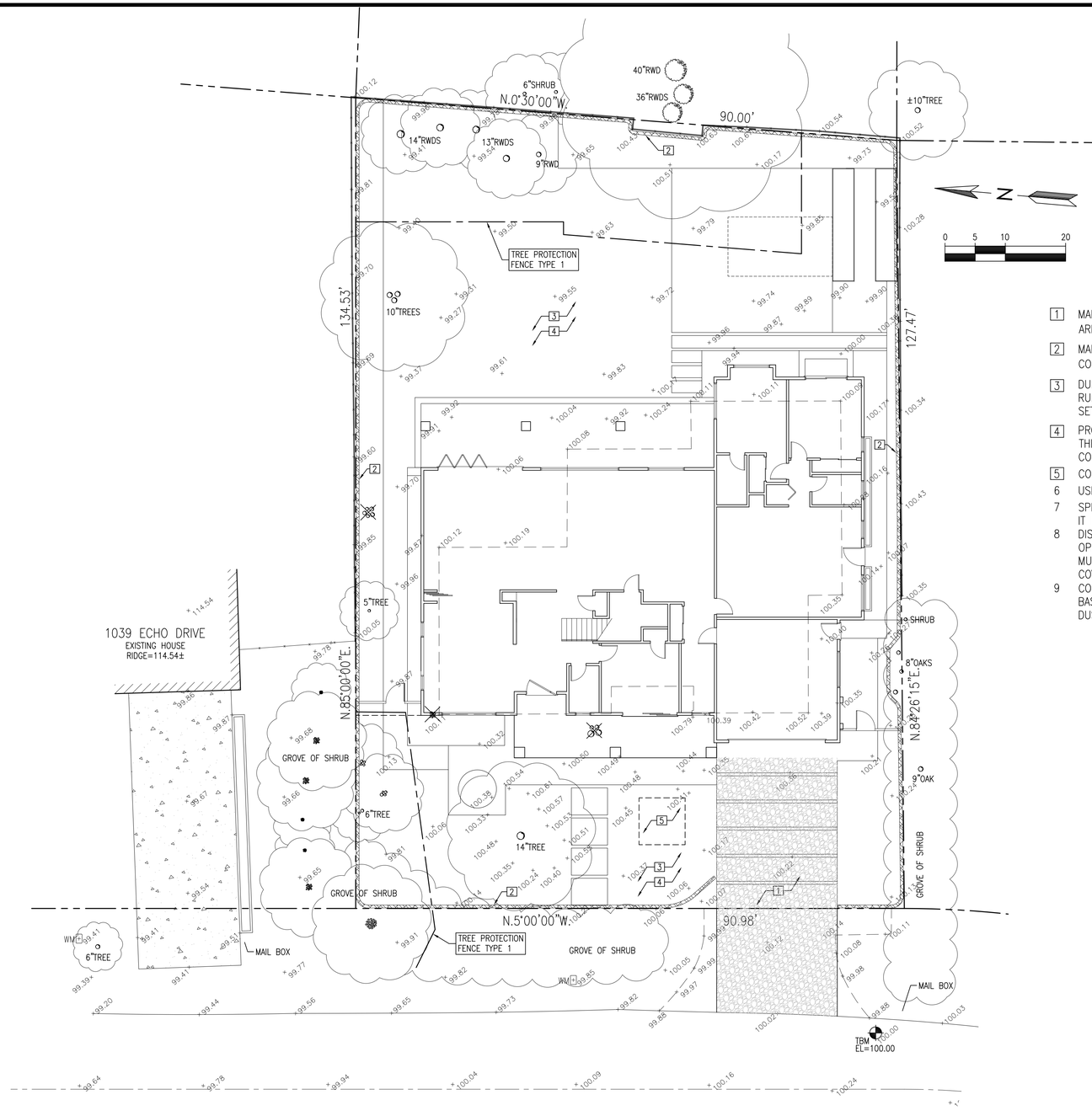
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.

5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.

6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.

7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES | 2



ECHO DRIVE (60' R/W)

(FORMERLY CLARK AVENUE)

1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3

2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3

3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE

4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES

5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3

6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.

7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.

8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER.

9 CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

EROSION CONTROL PLAN SCALE: 1"=10' | 1

WU RESIDENCE

1053 ECHO DRIVE
LOS ALTOS, CA
APN: 189-46-020

WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE

REGISTERED PROFESSIONAL ENGINEER
YI-RAN WU
069334
EXP: 6/30/25
CIVIL
STATE OF CALIFORNIA

ISSUED

No.	Description	Date

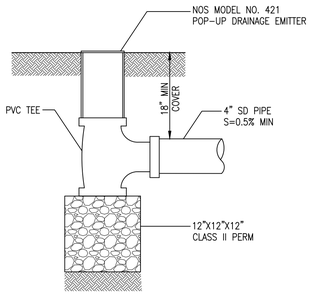
DATE: NOV 5, 2024
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

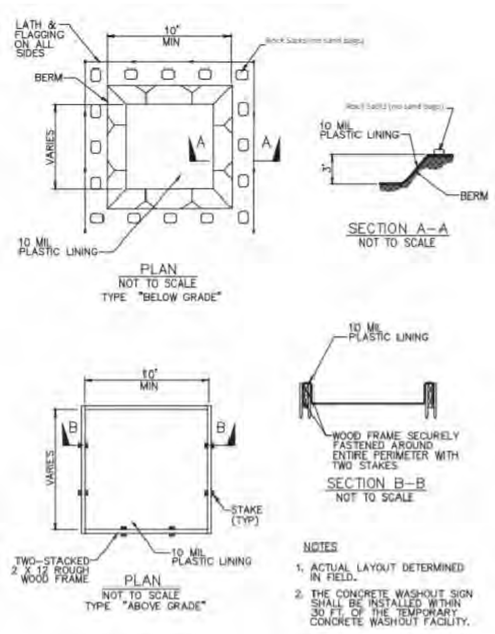
EROSION CONTROL PLAN

SHEET NO.

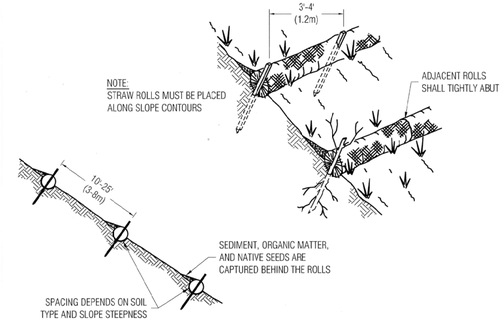
C.2



INFILTRATION DEVICE N.T.S. | 5



CONCRETE WASHOUT AREA | 3



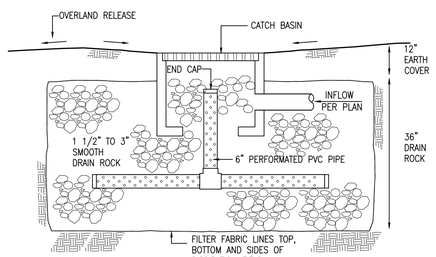
NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3"-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
   1:1 SLOPES = 10 FEET APART
   2:1 SLOPES = 20 FEET APART
   3:1 SLOPES = 30 FEET APART
   4:1 SLOPES = 40 FEET APART
   <4:1 SLOPE = ONE ROW AT LOW POINT
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: _____ City Engineer 1/4/10 Date

CITY OF LOS ALTOS, CALIFORNIA INCORPORATED DECEMBER 1952

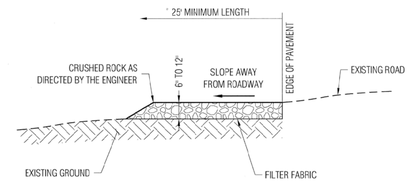
REVISION		ENGINEERING DIVISION	
Description	Date	STRAW ROLLS	EC-4

FIBER ROLL DETAIL | 1



SEE PLAN FOR DIMENSIONS

INFILTRATION DEVICE SCALE: N.T.S. | 4



NOTES:
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: _____ City Engineer 1/4/10 Date

CITY OF LOS ALTOS, CALIFORNIA INCORPORATED DECEMBER 1952

REVISION		ENGINEERING DIVISION	
Description	Date	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

STABILIZED CONTRUCTION ENTRANCE | 2

WU RESIDENCE

1053 ECHO DRIVE
LOS ALTOS, CA
APN: 189-46-020

WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE

REGISTERED PROFESSIONAL ENGINEER
YI-RAN WU
069334
EXP. 6/30/25
CIVIL
STATE OF CALIFORNIA

ISSUED

No.	Description	Date

DATE: NOV 5, 2024
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

DETAILS

SHEET NO.

C.3

WELO
Water Budget and Water Use Calculator

INSTRUCTIONS:

1. Enable macros.
2. Enter values in blue cells. Gray cells will automatically fill.
3. For Eto, refer to Appendix A of the ordinance, available here: https://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency
4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.

Date:	3/16/2025
Project Name:	ECHO DRIVE RESIDENCE
Project Contact:	Jing Zhang
Project Contact Email:	jzhang307@gmail.com

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
	Residential	43.0	0.55	170	4,095	**62,090**

MAWA =(ETo) * (0.62) *[(ETAF*LA) + ((1-ETAF) * SLA)].

Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)
	43.0	1,726	170	**50,553**

ETWU =(ETo) * (0.62) *[(PF*SF/IE) + SLA]

Difference between MAWA and ETWU **11,538**

Project meets water budget.

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	LOW WATER SHRUB	Drip	825	0.30	0.81	306
	2	LOW WATER GRASS	Drip	1,997	0.30	0.81	740
	3	MED WATER TREE	Drip	528	0.50	0.81	326
	4	MED WATER SHRUB	Drip	575	0.50	0.81	355
	Landscape area (not including SLA)			**3,925**			**1,726**

ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area	0	1.0	-
	Multi-use and sports field turf area	0	1.0	-
	Area irrigated with recycled water	0	1.0	-
	Pool	170	1.0	170
	Total SLA	**170**		**0**

Total Landscape Area (including SLA) from ETWU Calculation	**4,095**

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

1. PROJECT INFORMATION
   - A. DATE – 03/16/2025
   - B. APPLICANT – JING ZHANG, LANDSCAPE ARCHITECT
   - C. PROJECT ADDRESS – 1053 ECHO DRIVE, LOS ALTOS, CA 94024
   - D. TOTAL LANDSCAPE AREA – 8,807 SF
   - E. TYPE OF PROJECT – SINGLE FAMILY RESIDENCE
   - F. CHECKLIST OF ALL DOCUMENTS IN PACKAGE – SEE L0.0
   - G. CONTACTS OF APPLICANT – EMAIL: JINGZHANG307@GMAIL.COM
     PHONE: 760–960–8220
   - H. "I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

Jing Zhang 03/16/2025

APPLICANT'S SIGNATURE DATE

2. APPENDIX B – WATER EFFICIENT LANDSCAPE WORKSHEET – SEE SHEET L0.0
3. APPENDIX C – LANDSCAPE PLAN – SEE SHEET L1.0, L4.0 AND L4.1
   IRRIGATION PLAN – SEE SHEET L5.0–L5.4
   GRADING PLAN – SEE CIVIL GRADING AND DRAINAGE PLANS BY CIVIL ENGINEER.

THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE DIRECTOR OF COMMUNITY DEVELOPMENT WHEN A LANDSCAPE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THIS CHAPTER, PRIOR TO FINAL INSPECTION.

- A. CERTIFICATE OF COMPLETION
- B. CERTIFICATE OF INSTALLATION, FOLLOWING INSTALLATION OF LANDSCAPING
- C. IRRIGATION SCHEDULE
- D. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
- E. IRRIGATION AUDIT REPORT

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
Signature
09/30/2025
Renewal Date
09/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

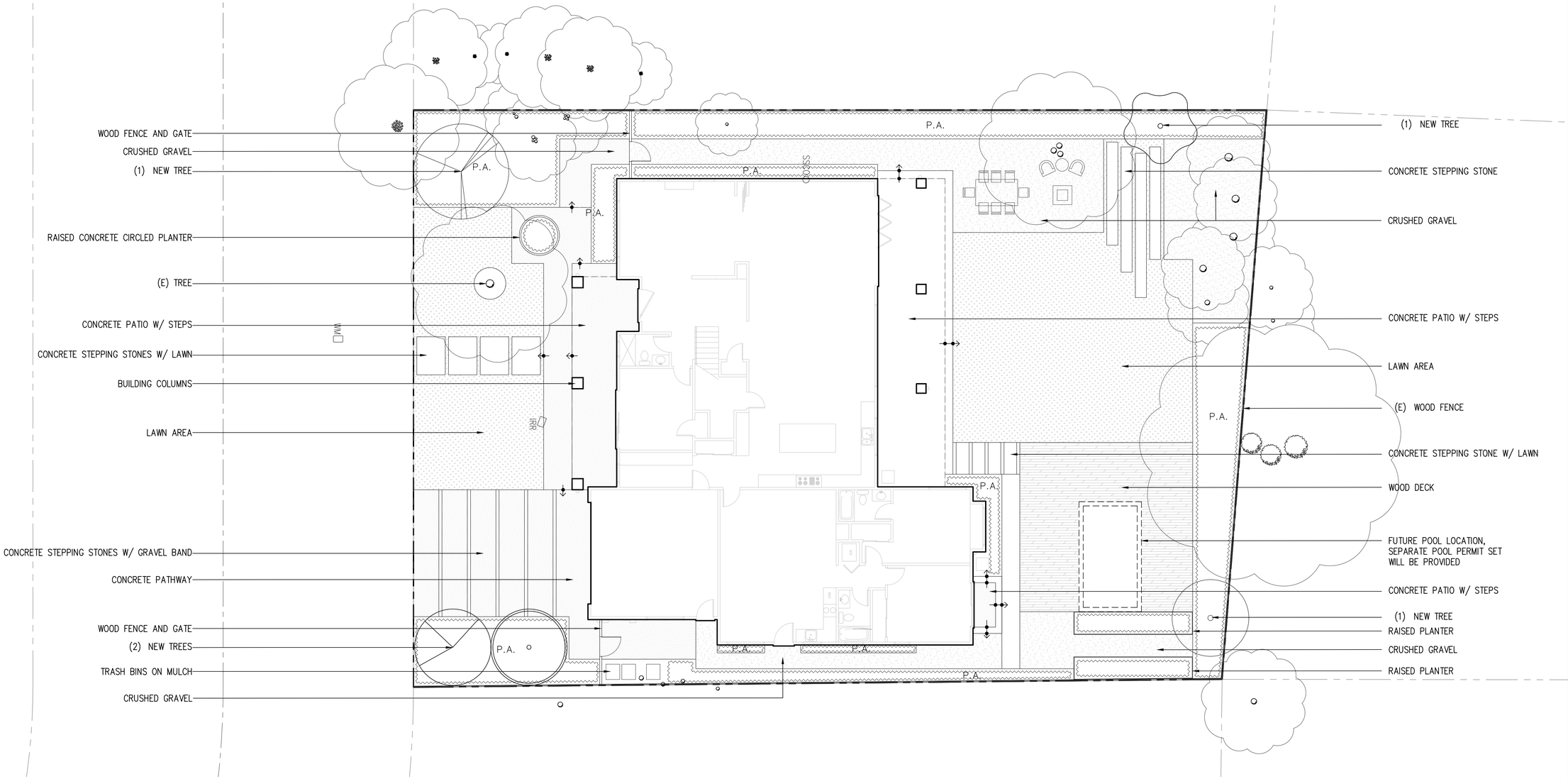
REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
LANDSCAPE DOCUMEN-TATION

PROJECT NO: 007
SCALE: AS SHOWN
DRAWN BY: JZ/YG
REVIEWED BY:
ISSUE DATE:

DRAWING NO:
L0.0



MATERIAL SCHEDULE

DETAIL	DESCRIPTION
	CONCRETE PAVING_PATHWAY AND PATIO LIGHT GRAY W/ LIGHT SAND FINISH
	CONCRETE STEPPING STONE_DRIVEWAY LIGHT GRAY W/ LIGHT SAND FINISH
	CRUSHED GRAVEL 1/8" TO 1/4" GOLD CLEAN/WASHED CRUSHED STONE
	CONCRETE STEPS ON LAWN SIZE T.B.D. LIGHT GRAY W/ LIGHT SAND FINISH
	CONCRETE STEPS ON CRUSHED GRAVEL SIZE T.B.D. LIGHT GRAY W/ LIGHT SAND FINISH
	RAISED CONCRETE PLANTER SIZE T.B.D. LIGHT GRAY W/ LIGHT SAND FINISH
	WOOD DECK TIMBER WOOD, SIZE AND COLOR T.B.D.
	RAISED VEGETABLE PLANTER LIGHT GRAY W/ LIGHT SAND FINISH
	WOOD FENCE AND GATE SIZE AND MATERIAL T.B.D.

GENERAL NOTES

1. VERIFY EXISTING SITE INFORMATION, INCLUDING STREET GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS, AND NOTIFY THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.

2. PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.

3. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

MATERIAL NOTES

1. USE LOCAL AND REGIONAL MATERIALS, AND USE RECYCLED AND SALVAGED MATERIALS WHENEVER POSSIBLE. ALL MATERIALS TO COME FROM MAX. 500 MILES FROM SITE.

2. USE MATERIALS WITH A LONG LIFE SPAN.

3. ALL CONCRETE TO CONTAIN 30-50% FLYASH OR OTHER POST CONSUMER EQUIVALENT. ALL COLOR PIGMENTS TO BE NATURAL.

4. RECYCLE UNUSED CONSTRUCTION MATERIALS BY DROPPING AT LOCAL SALVAGE YARDS. AVOID LANDFILL DEPOSITS AS MUCH AS POSSIBLE. ASK LANDSCAPE ARCHITECT FOR LIST OF SALVAGE DROP PLACES.

5. GRIND ALL HEALTHY WOODY SHRUBS AND TREES THAT HAVE BEEN REMOVED FROM SITE; AND NON PRESSURE TREATED WOOD SCRAPS FOR PLANTING MULCH. GRIND ON SITE.

6. ALL PAINTS AND STAINS TO BE WATER BASED AND FREE OF HARMFUL CHEMICALS OR OFF GASES WHEN APPLIED. SUBMIT PRODUCT CUT SHEETS PRIOR TO INSTALLATION.

LEGEND

SYMBOL	DESCRIPTION
———	PROPERTY LINE
(E)	EXISTING
PA	PLANTING AREA

0 8'

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
Signature
09/30/2025
Renewal Date
09/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
LAYOUT AND MATERIAL PLAN

PROJECT NO:
007

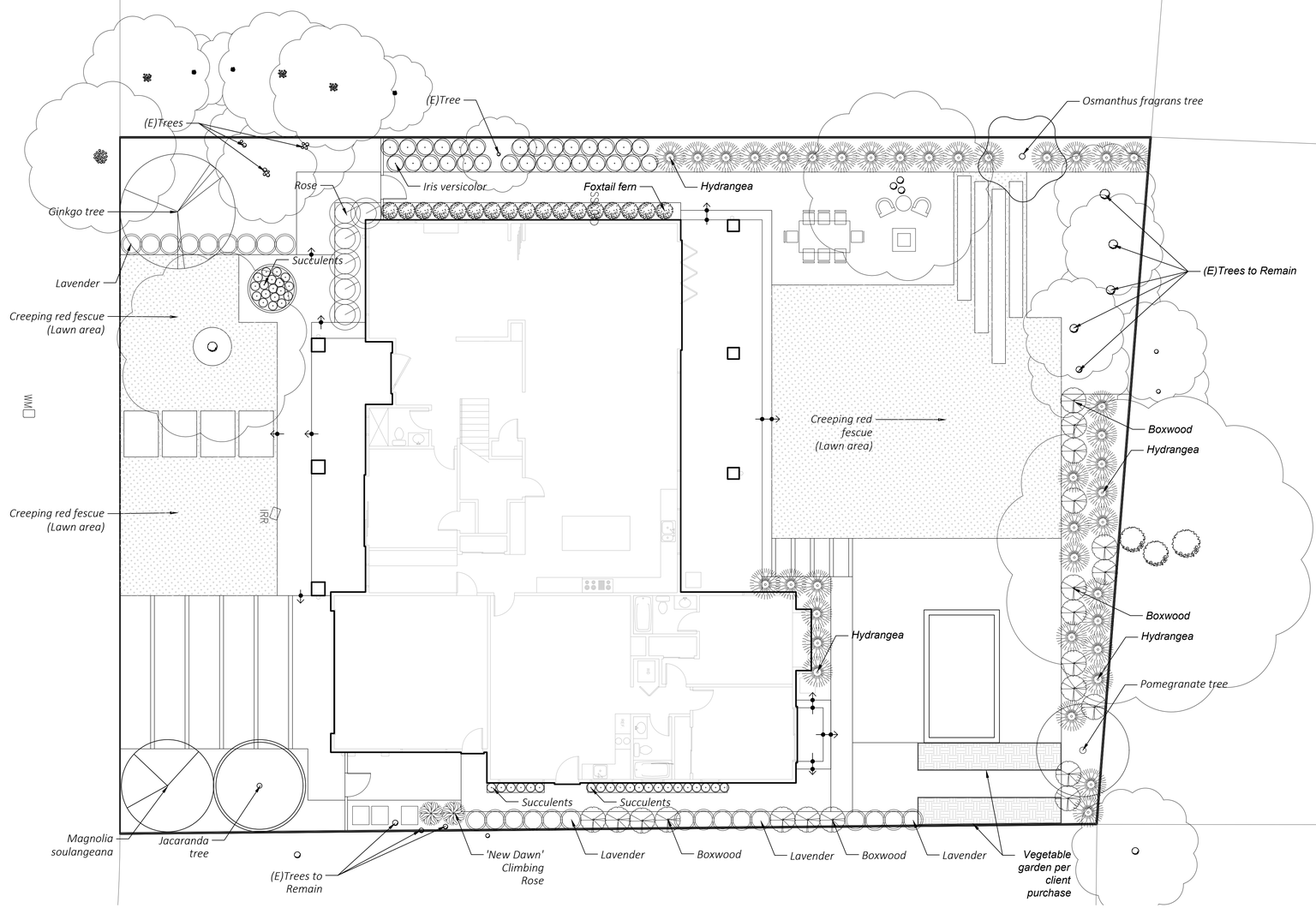
SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L1.0



PLANTING NOTES

1. ALL PLANTING AREAS SHALL BE FREE OF ALL DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING. USE NO CHEMICALS.

2. ALL PLANT LOCATIONS SHALL BE CONFIRMED IN THE FIELD BY THE LANDSCAPE ARCHITECT. COORDINATE THE LOCATIONS OF ALL PLANTING WITH EXISTING AND PROPOSED SITE FEATURES, I.E., UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, LIGHT FIXTURES, ETC. ANY CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3. ALL PLANT QUANTITIES AND SIZES OF PLANT AREAS TO BE CONFIRMED IN FIELD BY CONTRACTOR.

4. PLANTS SHALL BE SUFFICIENTLY ROOTED TO THE EDGE OF THE CONTAINER AND TO AN EXTENT SUFFICIENT TO HOLD THE ROOTBALL INTACT WHEN REMOVED FROM THE CONTAINER.

5. PLANTS SHALL BE FREE FROM ALL PESTS AND DISEASES. NO PLANTS SHALL BE ACCEPTABLE THAT SHOW SIGNS OF CIRCLING OR GIRDLING OF ROOTS, OR ANY OTHER ROOT–BOUND CONDITION. PLANTS SHALL BE UNDAMAGED AND HAVE PROPER BRANCH STRUCTURE.

6. ALL NEW LAWN AREAS AND PLANTING BEDS TO RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL. RIP SUBSOIL TO 8 INCH DEPTH PRIOR TO PLACING TOPSOIL. PLACE TOPSOIL IN 3 INCH MAXIMUM LIFTS AND ROTOTILL INTO UNDERLYING MATERIAL TO ELIMINATE INTERFACE.

7. ALL PLANTING AREAS TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED. TO PREPARE PLANTING BEDS, CULTIVATE INTO TOP 8 INCHES OF SOIL, 6 CUBIC YARDS OF NITROLIZED REDWOOD SAWDUST PER 1000 SQUARE FEET, 10 LBS HIGH QUALITY COMPOST PER CUBIC YARD, AND SPREAD "PRE–PLANT PLUS 7–5–7" FERTILIZER AT THE RATE OF 20 POUNDS PER 1000 SQUARE FEET.

8. EXCAVATE PLANTING PITS AS FOLLOWS:
TREES: BALL WIDTH + 24 INCHES, SHRUBS AND VINES: BALL WIDTH +12 INCHES, 6 INCH GROUNDCOVER BEDS: AS REQUIRED

9. LOOSEN SUBGRADE IN PITS TO DEPTH OF BALL +3 INCHES AT PERIMETER OF PIT. PREPARE PLANTING PIT BACKFILL MATERIAL BY USING 3 PARTS EXISTING SOIL (OR APPROVED TOPSOIL) TO 1 PART NITROLIZED FIR SHAVINGS OR NITROLIZED ½ INCH MINUS FIR BARK. USE "PRE–PLANT PLUS 7–5–7" FERTILIZER, BY CALIFORNIA ORGANIC FERTILIZERS, INC., AT THE RATE OF 10–15 POUNDS PER CUBIC YARD, THOROUGHLY MIXING THIS COMBINATION BEFORE BACKFILLING.

10. FOR PLANTING, PLACE "SUPER N 1200", BY CALIFORNIA ORGANIC FERTILIZERS, INC., AT BOTTOM OF PLANTING HOLE. BEFORE PLACING PLANT IN HOLE BACKFILL WITH SOIL MIX ALLOWING 2 INCH BUFFER BETWEEN FERTILIZER AND PLANT ROOT BALL. DO NOT PLACE ROOT BALL DIRECTLY ON FERTILIZER.
APPLY AT FOLLOWING RATE: 1 GALLON CAN, 1/2–1 CUP PER HOLE; 5 GALLON CAN, 1–2 CUPS PER HOLE; 15 GALLON CAN, 3–4 CUPS PER HOLE. SET PLANT PLUMP IN PLANTING PIT AND BRACE RIGIDLY IN POSITION, TAMPING BACKFILL MIX SOLIDLY AROUND THE BALL AND ROOTS, UNTIL PITS ARE APPROXIMATELY 2/3 FULL. WATER THOROUGHLY, SATURATING ROOTBALL. ADD REMAINING BACKFILL MIX TO TOP OF HOLE, ELIMINATING ALL AIR POCKETS.

11. ALL PLANTS SENSITIVE TO WATER BORNE FUNGI SHALL BE PLACED 3 INCHES ABOVE FINISHED GRADE. ALL OTHER PLANTS SHALL BE PLANTED 1 INCH ABOVE FINISHED GRADE. MOUND UP SOIL TO KEEP ROOTS FROM DRYING OUT.

12. FORM WATERING BASINS AT ALL TREES AND SHRUBS AND WATER ALL NEW PLANTINGS DEEPLY AND THOROUGHLY.

13. ALL TREES TO BE GUYED AND STAKED AS REQUIRED.

14. AFTER PLANTING, APPLY "SUPER N 1200", BY CALIFORNIA ORGANIC FERTILIZERS, INC., AT THE RATE OF 10 POUNDS PER 1000 FEET TO ALL PLANTING AREAS. LIGHTLY RAKE IN FERTILIZER TO INCORPORATE INTO SOIL.

15. ALL PLANTING AREAS WITH GROUNDCOVER AND SHRUBS SHALL RECEIVE A 3 INCH LAYER OF RE–GROUND BARK MULCH OR GRAVEL. KEEP 3 INCHES AWAY FROM STEM OR TRUNK. A MULCH SAMPLES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO MULCH DELIVERY TO SITE.

IRRIGATION PERFORMANCE NOTES

1. ALL PLANTS TO RECEIVE WATER CONSERVING DRIP EMITTERS AND TREE BUBBLERS FOR TREES. THERE ARE TO BE SUFFICIENT VALVES TO ACCOMMODATE THE DIFFERENT WATER REQUIREMENTS FOR PLANTS WITH DIFFERENT EXPOSURES AND PLANT TYPES.

2. DRIP SYSTEM TO BE INSTALLED WITH A PRESSURE–REDUCING DEVICE.

3. DRIP EMITTERS TO BE OF THE PRESSURE COMPENSATING TYPE.

4. ALL MAIN LINE PRESSURIZED PIPING SHALL BE SCHEDULE 40 PVC AND BURIED TO A DEPTH OF 12".

5. IRRIGATION SYSTEM SHALL BE COMPRISED OF AUTOMATICALLY CONTROLLED VALVES ON AN AUTOMATIC CONTROL SYSTEM. CONTROLLER TO BE A WATER CONSERVING E.T. CONTROLLER WITH RAIN SHUT OFF DEVICE: WEATHERTRAK MODEL # WTPLS–09 BY HYDROPOINT 800.362.8774

6. ALL EQUIPMENT REQUIRED SHALL BE PROVIDED TO INSURE A COMPLETE AND FUNCTIONAL SYSTEM. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING OR ARCHITECTURAL FEATURES.

7. PLACE VALVE BOXES IN DESCREET LOCATIONS, AWAY FROM PATIOS. FINAL LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

8. DOMESTIC WATER SUPPLY TO BE PROTECTED FROM THE IRRIGATION SYSTEM CONNECTION VIA A DOUBLE CHECK ANTI–SIPHON VALVE PER CITY AND STATE REQUIREMENTS.

9. FLUSH MAINLINES BEFORE INSTALLING REMOTE CONTROL VALVES. FLUSH LATERAL LINES BEFORE INSTALLING DRIP VALVES. VISUALLY INSPECT MAINLINE FOR LEAKS UNDER FULL OPERATING PRESSURE BEFORE BACKFILLING.

10. LAWN WILL BE WATERED WITH SPRINKLERS. USE WATER SAVING MP ROTATOR SPRINKLERS.

0 8'

LICENSED LANDSCAPE ARCHITECT
JING ZHANG LA 6047
Signature
09/30/2025
Renewal Date
09/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
PLANTING PLAN

PROJECT NO:
007

SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L4.0

PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	HEIGHT	WATER USE(based on WUCOLS IV)	COUNTS
TREE							
	Ginkgo biloba	Ginkgo	24" BOX	15-30 ft	15-40 ft	MODERATE	1
	Jacaranda mimosifolia	Jacaranda Tree	24" BOX	15-30 ft	20-30 ft	MODERATE	1
	Magnolia X soulangeana	Magnolia soulangeana	24" BOX	10-20 ft	10-15 ft	MODERATE	1
	Osmanthus fragrans	Sweet Osmanthus	24" BOX	10-15 ft	10-20 ft	MODERATE	1
	Punica granatum	Pomegranate tree	24" BOX	6-12 ft	8-12 ft	MODERATE	1
SHRUB AND GROUNDCOVER							
	Buxus 'Green Velvet'	Great Velvet Boxwood	5 GAL	2-4 ft	2-4 ft	LOW	20
	Hydrangea macrophylla 'Bailmer'	Reblooming Hydrangea	5 GAL	4-6 ft	3-4 ft	MODERATE	38
	Rosa floribunda 'St. Tropez'	St. Tropez Rose Tree	5 GAL	2-3 ft	4-5 ft	LOW	6
	Lavandula angustifolia	English lavender	1 GAL	1 ft	1 ft	LOW	24
	Iris versicolor L.	Large Blue Iris	1 GAL	1 ft	2 ft	LOW	29
	Asparagus aethiopicus	Foxtail Fern	1 GAL	2 ft	2 ft	LOW	17
	Echeveria 'Blue Setosa'	Blue Setosa	1 GAL	6 in	6 in	LOW	38
	Festuca rubra	Creeping red fescue	1 GAL	1-2 ft	1-2 ft	LOW	2,200 sf

Agenda Item 4.

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
Signature
09/30/2025
Renewal Date
08/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
PLANTING LEGEND

PROJECT NO:
007

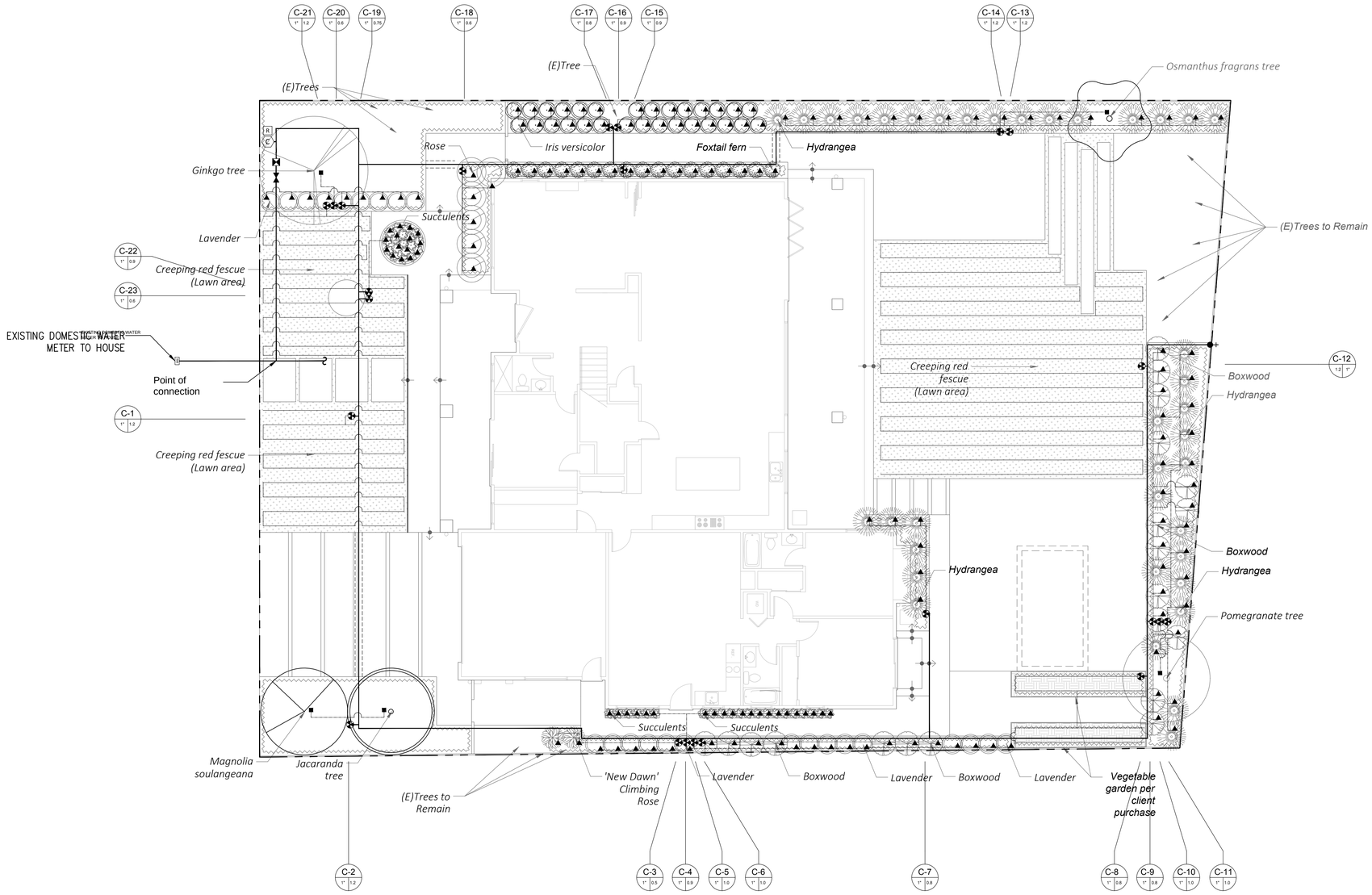
SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L4.1



0 8'

LICENSED LANDSCAPE ARCHITECT
JING ZHANG LA 6047
Signature
09/30/2025
Renewal Date
09/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
IRRIGATION PLAN

PROJECT NO:
007

SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L5.0

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	FLOW RATE (GPM)	MAX. RADIUS	MAX. SPACING	DETAIL #
▲	HEB-40	HUNTER PRESSURE COMPENSATING DRIP BUBBLER INSTALL ONE BUBBLER PER SHRUB	40	4 GPH (.07 GPM)			L5.2/11
■	HEB-60	HUNTER PRESSURE COMPENSATING DRIP BUBBLER INSTALL TWO BUBBLERS PER TREE	40	6 GPH (.1 GPM)			L5.2/10
NOT SHOWN	HE-10-B, HE-050-B	HUNTER SINGLE OUTLET EMITTER	40	1 GPH, 1/2 GPH			L5.2/17-18
●	-	COMPRESSION FITTING STUB-OUT FROM PVC RIGID PIPE TO POLY TUBING					L5.2/19
	ICV-AS-ADJ SERIES/LT-T SERIES	HUNTER REMOTE CONTROL VALVE WITH PRESSURE REGULATION / NDS PVC BALL VALVE					L5.2/3
	ICZ-101-LF-25 / LT-1000-T	HUNTER DRIP ZONE VALVE KIT - INCL. REMOTE CONTROL VALVE, WYE FILTER WITH 150 MESH SCREEN, AND PRESET PRESSURE REGULATOR / NDS PVC BALL VALVE (.5-5 GPM)					L5.2/4
	363LF	ARROWHEAD-CHAMPION LEAD-FREE NO-KINK HOSE BIB WITH INTEGRAL VACUUM BREAKER					L5.2/9
	T-113-LF	NIBCO LEAD FREE GATE VALVE (LINE SIZE)					L5.2/8
	975XL2-1"	WILKINS LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER					L5.2/1
R	WSS-SEN	HUNTER SOLAR SYNC WIRELESS WEATHER SENSOR					L5.2/13
C	IC-600-PL ROAM-KIT	HUNTER I-CORE MODULAR CONTROLLER (6 STATIONS) - WALL MOUNT HUNTER MAINTENANCE REMOTE					L5.2/2
C-1 1" 15		CONTROLLER AND STATION NUMBER APPROXIMATE GALLONS PER MINUTE REMOTE CONTROL VALVE SIZE					
		MAIN LINE: 1120-SCHEDULE 40 PVC SOLVENT WELD PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.					L5.2/6
		LATERAL LINE: 1120-CLASS 200 PSI PVC SOLVENT WELD PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.					L5.2/6
		SUB-SURFACE DRIPLINE: ECO-MAT FLEECE-WRAPED DRIPLINE.					L5.2/16
		DRIP TUBING: TORO T-EHD1645 BLUE STRIPE HOSE WITH TORO LOC-EZE FITTINGS. 6" COVER. DISTRIBUTION TUBING: TORO EHW0437-010 1/4" HOSE.					L5.2/14-16
		SLEEVE (SL): 1120-CLASS 200 PVC PLASTIC PIPE. 24" COVER.					L5.2/6

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
Signature
09/30/2025
Renewal Date
08/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
IRRIGATION NOTES AND LEGEND

PROJECT NO:
007

SCALE:
AS SHOWN

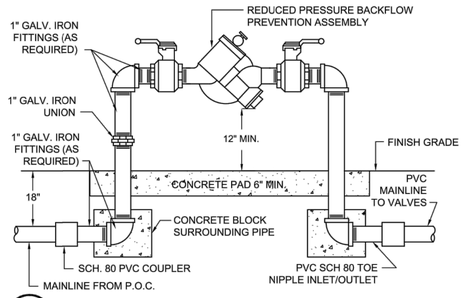
DRAWN BY:
JZ/YG

REVIEWED BY:

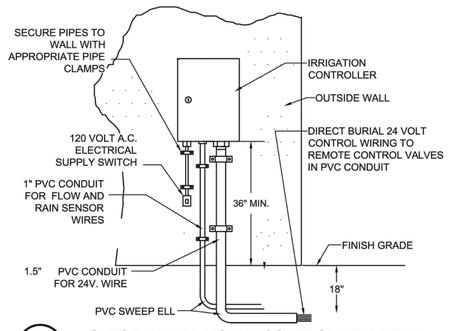
ISSUE DATE:

DRAWING NO:
L5.1

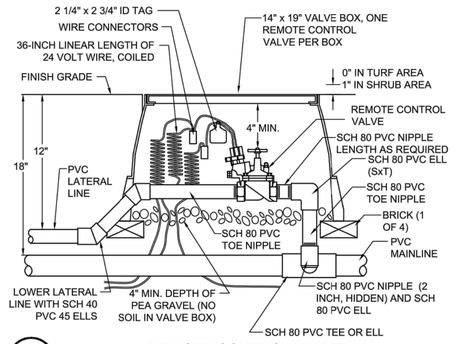
NOTE: EVENLY COAT METAL FITTINGS EXPOSED TO SOIL AND CONCRETE WITH 3M SCOTCHRAP PIPE PRIMER AND THEN WRAP WITH 3M SCOTCHRAP NO. 51 BLACK TAPE (3/4" OVERLAP). USE DIELECTRIC FITTINGS WHERE DISSIMILAR METALS COME INTO CONTACT.



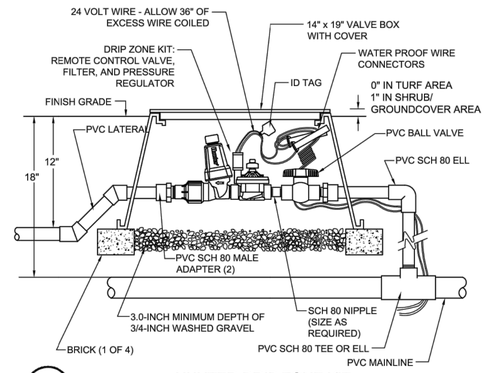
1 REDUCED PRESSURE BACKFLOW ASSEMBLY
NOT TO SCALE



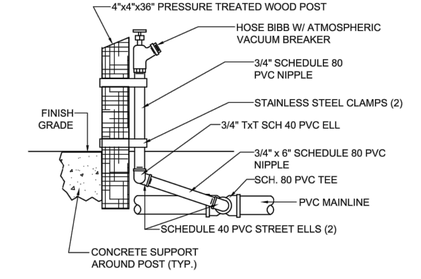
2 OUTSIDE WALL MOUNT CONTROLLER DETAIL
NOT TO SCALE



3 REMOTE CONTROL VALVE
NOT TO SCALE

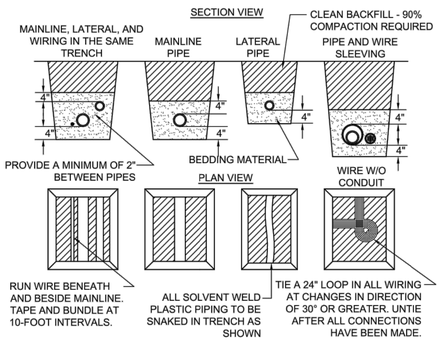


4 HUNTER DRIP ZONE KIT
NOT TO SCALE



NOTES:
1. CENTER BOX OVER VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN AREA ONLY IF GROUND COVER/SHRUB AREA DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOX EDGES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. VALVE BOXES SHALL HAVE BOLT DOWN LIDS WITH BOLTS INSTALLED.
7. VALVE BOXES SHALL BE BY NDS, CARSON, OR EQUAL.

5 VALVE BOX INSTALLATION DETAIL
NOT TO SCALE



NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SPECIFIED PVC PIPE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS REFER TO IRRIGATION LEGEND AND SPECIFICATIONS.

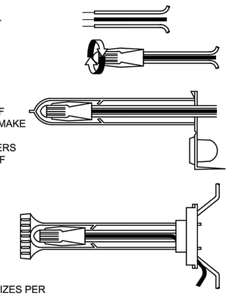
6 PIPE AND WIRE TRENCHING
NOT TO SCALE

STEP 1: STRIP WIRES 1/2" FROM ENDS.

STEP 2: APPLY SCOTCHLOK Y SPRING CONNECTOR IN A CLOCKWISE DIRECTION.

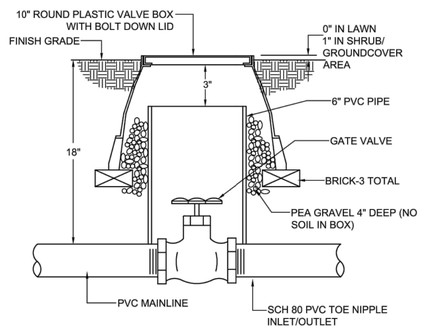
STEP 3: INSERT SPLICE TO BOTTOM OF GEL-FILLED TUBE. CHECK TO MAKE SURE CONNECTOR HAS BEEN PUSHED PAST LOCKING FINGERS AND IS SEATED AT BOTTOM OF TUBE.

STEP 4: POSITION WIRES IN WIRE CHANNELS AND CLOSE INSULATOR TUBE COVER.



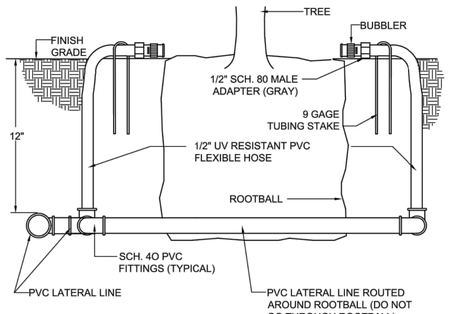
NOTE: MAXIMUM WIRE SIZES PER CONNECTOR ARE THREE # 14'S OR TWO #12'S.

7 WIRE CONNECTION DETAIL
NOT TO SCALE



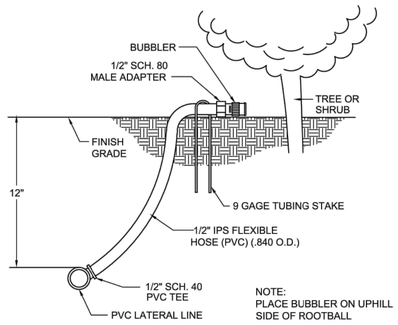
8 GATE VALVE DETAIL - 2" & SMALLER
NOT TO SCALE

9 HOSE BIBB DETAIL
NOT TO SCALE



NOTES:
1. INSTALL BUBBLERS BETWEEN THE ROOT BALL AND THE NATIVE SOIL . WATER SHOULD NOT BE HITTING THE TRUNK OF THE TREE.
2. USE WELD-ON 795 FOR ALL FLEXIBLE HOSE CONNECTIONS.
3. NUMBER OF BUBBLERS PER TREE SIZE:
   a. 15G - 24" BOX = 2 BUBBLERS
   b. 36" - 48" BOX = 4 BUBBLERS
   c. 60" - 72" BOX = 6 BUBBLERS

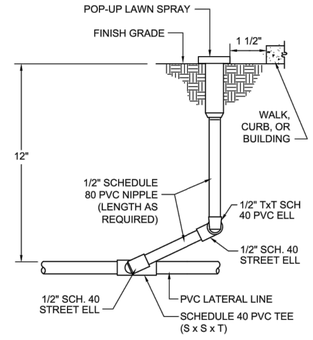
10 TREE BUBBLER DETAIL
NOT TO SCALE



NOTE: PLACE BUBBLER ON UPHILL SIDE OF ROOTBALL

NOTE:
1. USE WELD-ON 795 FOR ALL FLEXIBLE HOSE CONNECTIONS.

11 BUBBLER ON FLEX HOSE DETAIL
NOT TO SCALE



NOTE:
PRE-FABRICATED SWING JOINTS MAY BE USED. SWING JOINTS SHALL BE BY LASCO, RAINBIRD, OR EQUAL

12 LAWN POP-UP INSTALLATION DETAIL
NOT TO SCALE

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JING ZHANG
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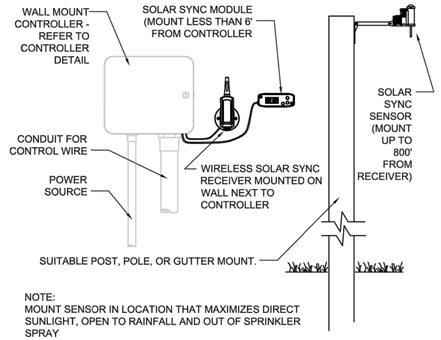
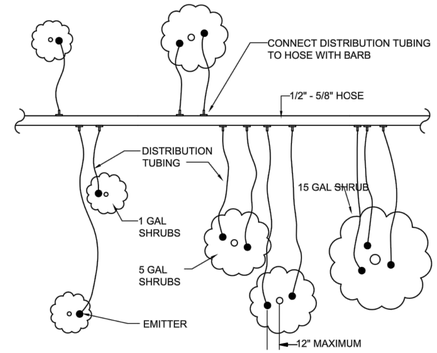
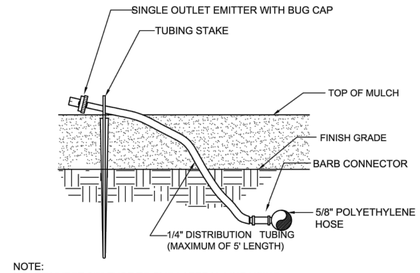


13 HUNTER SOLAR SYNC WEATHER SENSOR
NOT TO SCALE

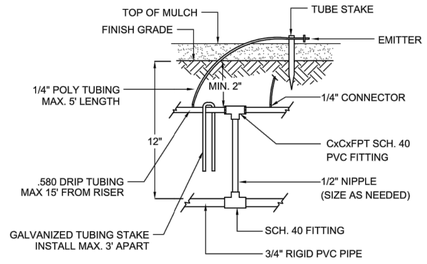


14 TYPICAL DRIP EMITTER LAYOUT
NOT TO SCALE



NOTE:
1. CONNECT 5/8" TUBE TO PVC LATERAL LINE USING COMPRESSION FITTINGS.
2. 5/8" HOSE SHALL NOT RUN LONGER THAN 20' FROM PVC LATERAL LINE.

15 SINGLE OUTLET EMITTER DETAIL
NOT TO SCALE



16 RISER TO DRIP TUBING DETAIL
NOT TO SCALE

1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
2) Dig hole at least 2" less deep than the container and 3 times wider than the diameter of the container the plants were delivered in.
3) Gouge holes in the side of the plant pit - 2 holes per sq. ft. of wall surface
4) Remove rootball carefully from container with support from below. Sever any circling roots (3/16"dia. or greater) with sharp knife. Do not pull roots apart. The severing of large roots will encourage new roots at the cuts. Install enough backfill under root ball so top of rootball ends up 2" above grade of surrounding soil when it settles. Install some of fertilizer packets under root ball.
5) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball
6) Put Agriform Plant Tablet fertilizer at this level adjacent to rootball and at bottom of hole (5 tablets per 15 gal. or 5 tablets per 1 inch of caliper width. Fill the remainder of the hole with backfill and pack it.
7) Water tree thoroughly by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
8) Install stakes such that the stakes and the tree ties won't damage the tree and the stakes won't lean toward each other. Cut off tops of stakes if necessary to lower below branches that could be rubbed by stakes. Install stakes so they are straight up and don't lean in to each other

17 TREE PLANTING
NOT TO SCALE

1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
2) Dig the plant hole at least 3 times the dia. and 2 times the depth of the plant container.
3) Replace this mixture in bottom half of hole and walk on it. The level of it should be such that when the plant is installed and settled it will be slightly above grade of existing soil. Fill hole with water .
4) Remove rootball carefully from container by tapping out, not pulling out by the stem. Scarify rootball walls in 3 vertical cuts and bottom to 1/2" deep, or by cutting roots of 1/2" or larger with shears. Do not pull roots apart.
5) Install fertilizer packets under rootball of plant. Set rootball on prepared surface and fill hole to 1/2 the depth, tamping soil around rootball. Fill hole with water.
6) Fill the remainder of the hole with backfill and pack it but do not tamp rootball.
7) Make the water basin.
8) Water shrub thoroughly within 1 hour of planting by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
9) Install mulch

18 SHRUB PLANTING
NOT TO SCALE

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JZ/YG

REVIEWED BY:

ISSUE DATE:

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L5.3

GENERAL CONDITIONS – SOIL PREPARATION, PLANTING, AND IRRIGATION

1.1 QUALITY ASSURANCE:
A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this section.
B. It is the Contractor's responsibility to verify all information contained in the plans and specifications and to notify the Architect of any discrepancy prior to ordering products or commencing with the work.
C. Check and verify dimensions, reporting any variations to the Architect before proceeding with the work.

1.2 CONTRACTOR COORDINATION
A. It is the responsibility of the Landscape Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc., and to coordinate work with the General Contractor.

1.3 DIMENSIONS AND SCALE
A. Dimensions are to take precedence over scale at all times. Large scale details are to take precedence over those at small scale. Dimensions shown on plans shall be adhered to insofar as it is possible, and no deviation from such dimensions shall be made except with the consent of the Architect. The Contractor shall verify all dimensions at the site and shall be solely responsible for same or deviations from same.

1.4 LAWS AND REGULATIONS
A. The Contractor shall conform to and abide by all city, county, state and federal building, labor and sanitary laws, ordinances, rules, and regulations.

1.5 LICENSES AND PERMITS
A. The Contractor shall give all notices and procure and pay for all permits and licenses that may be required to complete the work.

1.6 SUBMITTALS
A. At the request of the owner or the Landscape Architect, submit manufacturer's and/or supplier's specifications and other data needed to prove compliance with the specified requirements including certificates stating quantity, type, composition, weight, and origin of all amendments, chemicals, import soil, planter mix, plants, and irrigation equipment used on the site.

1.7 PRODUCT SUBSTITUTIONS
A. Any product substitutions shall be requested in writing. The Landscape Architect must approve or refuse any substitutions in writing. Lack of written approval will mean the substitution is not approved. Any difference in cost to the Contractor of a less expensive substitution shall be credited to the Owner's

1.8 ERRORS AND OMISSIONS
A. The Contractor shall not take advantage of any unintentional error or omission in the drawings or specifications. He will be expected to furnish all necessary materials and labor that are necessary to make a complete job to the true intent and meaning of these specifications. Should there be discrepancies in the drawings or specifications, the contractor shall immediately call the attention of the Architect to same and shall receive the complete instructions in writing.

1.9 INSPECTIONS/REVIEWS DEFINITION
A. Inspection or observation as used in these specifications means visual observation of materials, equipment, or construction work on an intermittent basis to determine that the work is in substantial conformance with the contract documents and the design intent. Such inspection or observation does not constitute acceptance of the work nor shall it be construed to relieve the contractor in any way from his responsibility for the means and methods of construction or for safety on the construction site. Inspection or observation will be done by the Landscape Architect only if requested by the owner in writing. This service will require a written contract for additional fees.

LANDSCAPE IRRIGATION

PART 1 – GENERAL

1.1 WORK INCLUDED

A. The work includes but is not necessarily limited to the furnishing of all materials, equipments, and labor required to install a complete irrigation system.

1.2 GUARANTEE. The entire sprinkler system shall be guaranteed by the Contractor in writing to be free from defects in material and workmanship for a period of one year from acceptance of the work. The guarantee shall include repair of any trench settlement occurring within the guarantee period, including related damage to paving, landscaping, or improvements of any kind.

1.3 REVIEWS
A. Request the following reviews prior to progressing with the work: (1) Layout of system (2) Depth of lines prior to backfilling (3) Coverage adjustment of all heads, valve boxes and operation of system.

1.4 WATER PRESSURE
A. Verify the existence of the minimum acceptable volume of water at the minimum acceptable dynamic pressure as per plan at the point of connection at the earliest opportunity, reporting insufficient volume and/or pressure to the Landscape Architect. Contractor is responsible for cost of installation of pressure regulator if pressure exceeds 80 psi.

1.5 UTILITIES
A. Verify the location of all existing utilities and services in the line of work before excavating. Take all precautionary measures necessary to avoid damaging

1.6 ELECTRICAL CONNECTION
A. Verify existence of 110 Volt 20 Amp. circuit for irrigation controller (by others) at location noted on plan for installation of controller.

PART 2 – PRODUCTS

2.1 PIPE
A. Plastic pipe is to be polyvinyl chloride, marked 1120–1220, and bearing the seal of the National Sanitation Foundation. Use Schedule 40 polyvinyl chloride, type I–II fittings bearing the seal of the National Sanitation Foundation, and complying with ASTM D2466 for pressure line and also for any water lines under asphalt paving. Use Sch 40 PVC for lateral lines in planting areas unless stronger pipe is specified in the irrigation legend. For joining, use a solvent complying with ASTM D2466 and recommended by the manufacturer of the approved pipe. Pipe is to be continuously and permanently marked with the manufacturer's name, pipe size, schedule number, type of material, and code number.
B. Galvanized steel pipe is to comply with ASTM A120 or ASTM A53, galvanized, Schedule 40, threaded, coupled, and hot–dip galvanized. Use 150 lb. rated galvanized malleable iron, banded pattern fittings. Wrap all galvanized pipe below grade with 2" wide, 10 mil. plastic wrapping tape (#50 Scotch wrap or equal).
C. Drip tubing is to be as noted on plans. Use compression fittings.

2.2 CONTROL WIRE
A. Use type UF direct burial wire minimum size #14, copper, U.L. approved for irrigation control use for runs of 1000 feet or less. For longer runs consult with Landscape Architect. Use 3M DBY Direct Bury Wire Splice Kits or dry splice type wire connectors at splices. No underground splices will be allowed without a splice box.

2.3 OTHER MATERIALS
A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS
A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 EXCAVATION
A. Trenches may be excavated either by hand or machine, but shall not be wider than is necessary to lay the pipes. Care should be taken to avoid damage to existing water lines, utility lines, and roots of plants to be saved.
B. Minimum depth of cover for buried pipelines shall be: 1. Eighteen (18) inches for mainline pressure piping. 2. Eighteen (18) inches for 24 volt wiring from controllers to remote control valves. 3. Twelve (12) inches for lateral distribution lines. 4. Twenty–four (24) inches, minimum cover, with 6" sand bedding and 6" sand cover for any pipe or wire sleeve under A.C. paving.
C. Under existing paving, piping may be installed by jacking, boring, or hydraulic driving except that no hydraulic driving will be permitted under asphalt concrete pavement (most pipes and sleeves under A.C. paving are to be installed prior to installation of the paving). Where cutting or breaking of existing pavement is necessary, secure permission from the Architect before cutting or breaking the pavement, and then make necessary repairs and replacements to the approval of the Architect and at no additional cost to the Owner.

3.3 INSTALLATION OF PIPE
A. Handling and assembly of pipe, fittings, and accessories shall be by skilled tradesmen using methods and tools approved by the manufacturers of the pipe and equipment and exercising care to prevent damage to the materials or equipment.
B. Metal pipe threads shall be sound, clean cut, and cored to full inside diameter. Threaded joints shall be made up with the best quality pure joint compound carefully and smoothly placed on the male threads only throughout the system.
C. On plastic threaded connections use the sealer recommended by the manufacturer of the plastic valve or fitting. Do not use paste sealer products on plastic valves. Tighten plastic threaded connections with light wrench pressure only.
D. Connections and controls shall be functionally as shown on the drawings, but physically shall be the most direct and convenient method while imposing the least hydraulic friction. Install lines in planting areas whenever possible.
E. Thread male PVC connections into metal female connections rather than the opposite.
F. Interior of pipe fittings, and accessories shall be kept clean at all times, and all openings in piping runs shall be closed at the end of each day's work or otherwise as necessary to prevent the entry of foreign materials. Bending of galvanized steel pipe will not be permitted. Install plastic pipe with the markings turned up to be seen from above until the pipe is buried. "Snake" the pipe in the trenches so that there will be a small amount of excess length in the line to compensate for contraction and expansion of the pipe.
G. Place backfill in 6" layers such that there will be no settling. The top 6" of soil is to be the top soil and soil amendment mixture. All backfill shall be free of rock and debris. Test pipe for leaks prior to backfilling joints. Obtain approval of the owner's representative before backfilling joints.

3.4 INSTALLATION OF EQUIPMENT
A. Flush lines clean prior to installation of valves, sprinkler heads, or hose bibs. Install valves, sprinkler heads, controllers, backflow preventors, hose bibs, and other equipment as per the Irrigation Plan and details.

3.5 ELECTRICAL WORK
A. The line voltage work shall consist of connecting the controller to the nearest available 115 volt supply. The line voltage connection shall be in conduit, in accordance with local electrical code. Controllers mounted inside buildings can be plugged into outlets. The low voltage work shall include all necessary wiring from the controller to the automatic sprinkler valves, installed in accordance with the manufacturer's recommendations. A loop of extra wire, a minimum of eighteen (18) inches long shall be provided at each automatic valve. Appropriate expansion loops shall be provided throughout the system to assure that no wiring will be under stress.
B. All splices and connections on the 24 volt system shall be made using 3M DBY Direct Bury Splice Kits, Rain Bird Pentite connector, or equal.
C. Wiring, wherever possible, shall be placed in the same trench with, and alongside of, the irrigation main water line. Tape and bundle wire every ten feet. All wiring placed under paving shall be put in adequately sized Sch 40 PVC pipe sleeves prior to paving operations.
D. Wire for 24 volt control lines shall be size #14 UF direct burial irrigation wire. Unless noted differently on the plan, common grounds shall be white, size #14 UF direct burial wire. For wire runs over 1000 feet consult with Landscape Architect for wire size. Under no circumstances, on multiple controller installations, will a single common ground, shared by each controller, be permitted. Each controller shall have its own separate common ground wire.

3.6 TESTING
A. All testing shall be done in the presence of the Owner's Representative. Center–load all pipelines with clean soil approximately every four feet to resist hydraulic pressures, but leave fittings exposed for inspection. Piping under paving shall be tested before paving is in place. Install a 0 to 160 P.S.I. gauge on lines to be tested. All valves shown on Plans shall be in place and shall be in the closed position. Mains shall be tested at 100 P.S.I., and laterals at 65 P.S.I. If available static water pressure is under 100 P.S.I., provide suitable pump for tests. Fill pipelines slowly to avoid pipe damage, and bleed all air from lines as they are being filled. After closing valve at water source, mains shall hold 100 P.S.I. gauge pressure for two hours with no leaks. Laterals are expected to have minor seepage at multiple swing joint assemblies. Major leaks are not acceptable. Laterals shall be tested for one hour at 65 P.S.I. solely to reveal any piping or assembly flaws. The laterals are not expected to hold gauge pressure. For testing laterals, cap risers or turn adjusting screws on nozzles to the "off" position, as appropriate. Repair any flaws discovered in mains or laterals, then retest in same fashion as outlined in presence of the Landscape Architect until all lines have been approved. Provide required testing equipment and personnel.

3.7 SYSTEM ADJUSTMENT
A. The entire sprinkler system shall be properly adjusted before final acceptance. Adjustments shall include but not necessarily be limited to: (1) Adjustment of arc and distance control devices on sprinklers, including changing nozzle sizes if necessary to assure proper coverage of planted areas. (2) Relocation or addition of sprinkler heads if necessary to properly cover planted areas, without causing excessive water to be thrown onto building, walks, paving, etc. (3) Throttling of automatic valves as necessary to operate sprinklers at manufacturer's recommended pressure. (4) Adjustment and testing of all automatic control devices to assure their proper function, both automatically and manually. (5) Installation of pop–up heads anywhere there is a chance of pedestrians or vehicles hitting heads even if pop–ups are not shown on the plan. (6) Installation of check valves to keep sprinkler head drainage from eroding landscape areas, wasting water, or creating soggy spots in the landscaping.

3.8 AS–BUILT DRAWINGS AND INSTRUCTION
A. Regularly update a print of the system noting any changes which are made by dimensioning features below grade from surface features with at least two dimensions. Prior to final approval, give the Owner 2 copies of clean blueprints marked to show changes during construction. The most important features to mark on the plan are valves, pressure lines, wires, and hose bibs.
B. After the system has been completed, inspected, and approved, instruct the Owner's maintenance personnel in the operation and maintenance of the system. Give the Owner completed warranty cards for the irrigation equipment and keys to controllers and hose bibs.

SOIL PREPARATION AND PLANTING

PART 1 – GENERAL

1.1 DESCRIPTION
A. The work includes, but is not necessarily limited to, the furnishing of all materials, equipment, and labor required to do the installation and complete placement of topsoil, fine grading, soil conditioning, and planting.

1.2 QUALITY ASSURANCE
A. Plant Identification and Quality
1. Plants are to be true to name, with one of each bundle or lot tagged with the name of the plants in accordance with standards of practice of the American Association of Nurserymen. In all cases, botanical names take precedence over common names.
2. Plants shall be vigorous, of normal growth habit, free of diseases, insects, eggs, larvae, excessive abrasions, sun scalds, or other objectionable disfigurements, and shall conform to the standards as outlined by the California Association of Nurserymen. Tree trunks shall be sturdy and well "hardened off". All plants shall have normal well developed branch system, and vigorous, fibrous root systems which are not root bound. Ground cover plants (rooted cuttings) shall have well developed root systems and be kept moist prior to and during installation. Plants shall be nursery grown and of size indicated on Drawings. All plants not conforming to those requirements will be considered defective, removed from the site and replaced with acceptable new plants at the Contractor's expense.
3. Sod shall have a well developed root system. Yellowing, brown, diseased, dried, or pest infested sod shall be rejected. Sod is to be cleanly mowed within 72 hours of delivery to the site. Sod is to be delivered to the site within 24 hours after being harvested and installed immediately after being delivered. Sod shall not be stored on the site overnight. Any sod delivered to the site that cannot be installed the same day shall be removed and not used on the site.
4. Ground cover is to have well developed roots and foliage. It is to be grown in and delivered to the site in flats.

1.3 SUBMITTALS
A. Provide the results of lab tests done on representative samples of existing soils and imported soils to be used for the top 12" or more of landscape area. Tests are to be done by a reputable soils lab (i.e., Perry Lab, Watsonville or Santa Clara Soil and Plant Lab). Samples to be tested are to be collected by lab personnel. Soil samples are to be tested for:
1. Particle size distribution (clay, silt, sand).
2. Agricultural suitability including any excess problems; i.e., salinity (calcium, magnesium), boron, sodium, pH level.
3. Fertility – amounts of available nitrogen, potassium, phosphorous, iron, magnesium, copper, zinc, and boron.
4. Chemicals and/or poisons that would hinder plant growth. The owner is to decide if tests for poisons will be done since there is a small chance that any exist and the cost of testing for them is expensive and difficult.
An interpretation of the test results and their affect on plant performance done by the lab staff or an approved horticultural consultant should be included in the report. The Owner is responsible for the cost of initial testing and for any additional chemicals and amendments that are required that are not already included in the Specifications or Drawings. Soils tests must be done as soon as possible and prior to ordering or installing soil amendments or plant materials. Plant selections and soil amendment specifications are subject to change depending on the results of the soil tests.
5. If bidding is done prior to soil fertility tests, bid 6 cu yds. of nitrolized RWD sawdust and 16 lbs. of 12–12–12 fertilizer per 1000 sq.ft. tilled or dug into the top 6" to 8" of soil in all planting areas for bidding purposes only. Revise bid when results of soil fertility tests are obtained.

1.4 GUARANTEE
A. Trees shall be guaranteed 1 year – all other plant material 120 days following final acceptance. Any plant material needing replacement because of weakness or probability of dying will be replaced with material of similar type and size to that of the surrounding area. The replacement plants will have the same guarantee as the original plants or trees, starting the day of their replacement. The Contractor is not responsible for losses due to vandalism if he has taken reasonable measures for protection of the plants.

1.5 PRODUCT HANDLING
A. Protect plants before and during installation, maintaining them in a healthy condition. Application(s) of anti–desiccant may be required to minimize damage. The Contractor is responsible for vandalism, theft, or damage to plant material until commencement of the maintenance period.

1.6 REVIEWS
A. Request the following reviews by the Owner's Representative at least three (3) days in advance (in writing): (1) Rough grading (of landscape area) (2) Soil test (3) Verification of incorporation depths (4) Finish grade (5) Plant material quality approval (6) Plant material layout (7) Plant pit sizes (prior to planting plants) (8) Preliminary inspection (9) Final inspection (5 day advance notice required)

PART 2 – PRODUCTS

2.1 TOPSOIL
A. Native topsoil or import landscape soil

2.2 NATIVE TOPSOIL
A. Native soil on site without admixture of subsoil, free from rocks over two cubic inches, debris, and other deleterious material. Native topsoil is to be stripped, stockpiled, and reinstalled.

2.3 IMPORT LANDSCAPE SOIL
A. Import landscape soil must be tested and meet the following specification:
1. TEXTURE:
Sandy loam to loam
2. GRADING:

SEIVE SIZE	PERCENT PASSING SIEVE
25.4 mm (1")	95 – 100
9.51 mm (3/8")	85 – 100
53 Micron (270 mesh)	10 – 30

3. CHEMISTRY – SUITABILITY CONSIDERATIONS:
a. Salinity: Saturation Extract Conductivity (ECe x 103 @ 25 degree C.) Less than 4.0
b. Sodium: Sodium Adsorption Ration (SAR) Less than 9.0
c. Boron: Saturation Extract Concentration Less than 1.0 PPM
d. Reaction: pH of Saturated Paste: 5.5 – 7.5
e. Lime: less than 3% by weight
4. PESTS:
a. The population of any single species of plant pathogenic nematode: fewer than 500 per pint of soil.
5. ORGANIC MATTER
a. Soil is to have 5% to 10% organic matter at below 18 inches in depth.
Soil is to have less than 30% organic matter at 0 to 18 inches in depth
Organic matter to be less than 1" dia. Do not use mushroom compost.
No noxious weeds are allowed.
6. FERTILITY CONSIDERATIONS:
a. Soil is to contain sufficient quantities of available nitrogen, phosphorous, potassium, calcium, and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials to overcome inadequacies prior to planting.
7. COMPACTION
a. Compact the soil enough so it doesn't settle more when walked on and not significantly over time where the flow of drainage will be affected or soil needs to be added. Don't over compact or work soil when it has too much moisture.
Dig bottom layer of import soil into existing soil. Compact in 6 inch lifts.

2.4 ORGANIC SOIL AMENDMENT
A. Redwood sawdust, 0–1/4" in diameter, that is nitrogen stabilized by the supplier, and contains a wetting agent. Also see note on planting plan

2.5 ORGANIC MULCH
A. See Planting Plan

2.6 PLANTER SOIL MIX
A. See Planting Plan and Details.

2.7 BACKFILL FOR PLANT PITS
A. For native soils with 50% or more clay content – 75% topsoil and 25% organic amendment thoroughly mixed and incorporated together with no topsoil clods larger than 1/2" diameter. In heavy clay soils or other soils with large clods this will require mixing the backfill in a stockpile at the site or at the supplier. For soils with less clay content amend only the top 8" of the plant pit backfill as per the soils lab recommendations.

2.8 FERTILIZER
A. Fertilizer needs and amounts will be based on the results of the soil test

B. Sod lawn areas (there is no lawn on the plan)

2.9 PLANT MATERIAL SUBSTITUTES
A. Substitutes will not be permitted except when proof is submitted that plants specified are not available and then only upon approval of the Landscape Architect and Owner.

2.10 OTHER MATERIALS
A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Landscape Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS
A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.
B. Weed and Debris Removal – All ground areas to be planted shall be cleaned of all weeds and debris prior to any soil preparation or grading work. Weeds and debris shall be disposed of off the site.
C. Contaminated Soil – Do not perform any soil preparation work in areas where soil is contaminated with cement, plaster, paint or other construction debris. Bring such areas to the attention of the Owner's Representative and do not proceed until the contaminated soil is removed and replaced.
D. Moisture Content – Soil shall not be worked when moisture content is so great that excessive compaction will occur, nor when it is so dry that dust will form in the air or that clods will not break readily. Water shall be applied, if necessary, to bring soil to an optimum moisture content for tilling and planting.

3.2 ROUGH GRADING AND TOPSOIL PLACEMENT
A. Request a review by the Owner's Representative to verify specified limits and grades of work completed to date before starting soil preparation work. Place topsoil as required to obtain an 12" minimum depth of topsoil or as noted otherwise on the Plans. (Topsoil may already exist in the planting areas). Integrate topsoil layer into subsoil or existing compacted topsoil layer by ripping. Complete rough grading as necessary to round top and toe of all slopes, providing naturalized contouring to integrate newly graded area with the existing topography. Verify that rough grading is completed in accordance with civil engineering drawings and/or any landscape grading drawings. Break through any compacted layers of subgrade material (sometimes left from building or paving pad compaction) that will not allow water in planting areas to percolate through, causing a boggy, over saturated soil condition. You may have to use a backhoe or rotohammers to break up and turn soil to a minimum depth of 12". If proposed planters are in areas of existing paving or baserock, remove at least 12" of material and bring in top soil up to grade required by grading plan. Rough grading in planting areas is to be such that when amendment is incorporated and the mulch is installed, the grade will be +– 1" to finish grade.
B. Soil Preparation: (1) Distribute soil (organic) amendment and fertilizer in the amounts recommended by the soils lab over all planting areas unless noted otherwise on the Plans. (2) Rip and/or till the amendment and fertilizer into the top 6" to 8" of soil until they are thoroughly mixed in. Hand work areas inaccessible to mechanical equipment. (3) Moisten to uniform depth for settlement and regrade to establish elevations and slopes indicated on Drawings.

3.3 FINISH GRADING
A. The Contractor shall make himself familiar with the site and grading plans and do finished grading in conformance with said Plans and as herein specified.
B. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given or between points established by walks, paving, curbs, or catch basins. Finish grades shall be smooth, even, and on a uniform plane with no abrupt changes of surface. Minor adjustments of finish grades shall be made at the direction of the Landscape Architect, if required.
C. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

3.5 MULCHING
A. Recultivate soils compacted by planting or other operations and smooth the soil areas prior to applying mulch. Mulch all planting areas to a depth as noted on plans. This depth should be as per the plans even after being settled and stepped on 30 days after installation. Water lightly to settle mulch. Do not bury ground cover with mulch. Place and settle mulch in such a way that it does not get washed onto paving or block drain swales or inlets.

3.6 WEED CONTROL
A. The Contractor is responsible for pre–emergent weed control. Follow the manufacturer's directions. The Contractor is responsible for the replacement of any plants (other than weeds) that are hurt or killed due to the misuse of weed control products or use of the wrong product. Clay soils can increase the affect of certain pre–emergents. Adjust the application rate accordingly. Some owners may prefer hand weeding to chemical weed control although it is usually more expensive.

3.7 MAINTENANCE
A. Maintenance shall begin immediately after each plant is installed.
B. Maintenance will include:
1. Continuous operations of watering, weeding, cultivating, fertilizing, spraying, insect, pest, fungus, and rodent control, and any other operations to assure good normal growth.
2. Fertilizing: In addition to fertilizing of trees, shrubs and ground covers, herein specified, furnish and apply any additional fertilizers necessary to maintain plantings in a healthy, green vigorous growing condition during the maintenance period.
3. Weeding, Cultivating and Clean Up: Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at no more than 10–day intervals.
4. Insect, Pest and Disease Control: Insects and diseases shall be controlled by the use of approved insecticides and fungicides. Moles, gophers, and other rodents shall be controlled by traps, approved pellets inserted by probe gun, or other approved means.
5. Protection: Work under this Section shall include complete responsibility for maintaining adequate protection for all areas. Any damaged areas shall be repaired at no additional expense to the Owner.
6. Replacements: Immediately replace any plant materials that die or are damaged. Replacements shall be made to the Specifications as required for original plantings.
7. Hand Watering: Even when planting areas are watered with automatic irrigation, the soil surrounding the plant pits can be moist while the sawdust/sand root ball is dry. This can cause the plants to deteriorate or not grow (even during the winter). The plants will do best (especially during the hot season) if they are hand watered deeply until their roots grow out into the surrounding soil.

3.8 PRELIMINARY INSPECTION
A. As soon as all the planting is installed, the Contractor will request the Owner's Representative (in writing) to make a preliminary inspection. The 30 calendar day maintenance period will start when the work is approved. Replacement and/or repairs may be required for approval. The Contractor is to notify the Owner and the Owner's Representative in writing when the 30 day maintenance period begins.

3.9 FINAL INSPECTION
A. At least 5 days prior to the anticipated end of the maintenance period, the Contractor shall submit a written request for final inspection. The planting areas shall be weeded, neat and clean. The work shall be accepted by the Owner exclusive of the plant materials upon written approval of the work by the Owner's Representative.

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
LA 5040
Signature
06/30/2025
Renewal Date
09/15/2023
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
LANDSCAPE NOTES

PROJECT NO:
007

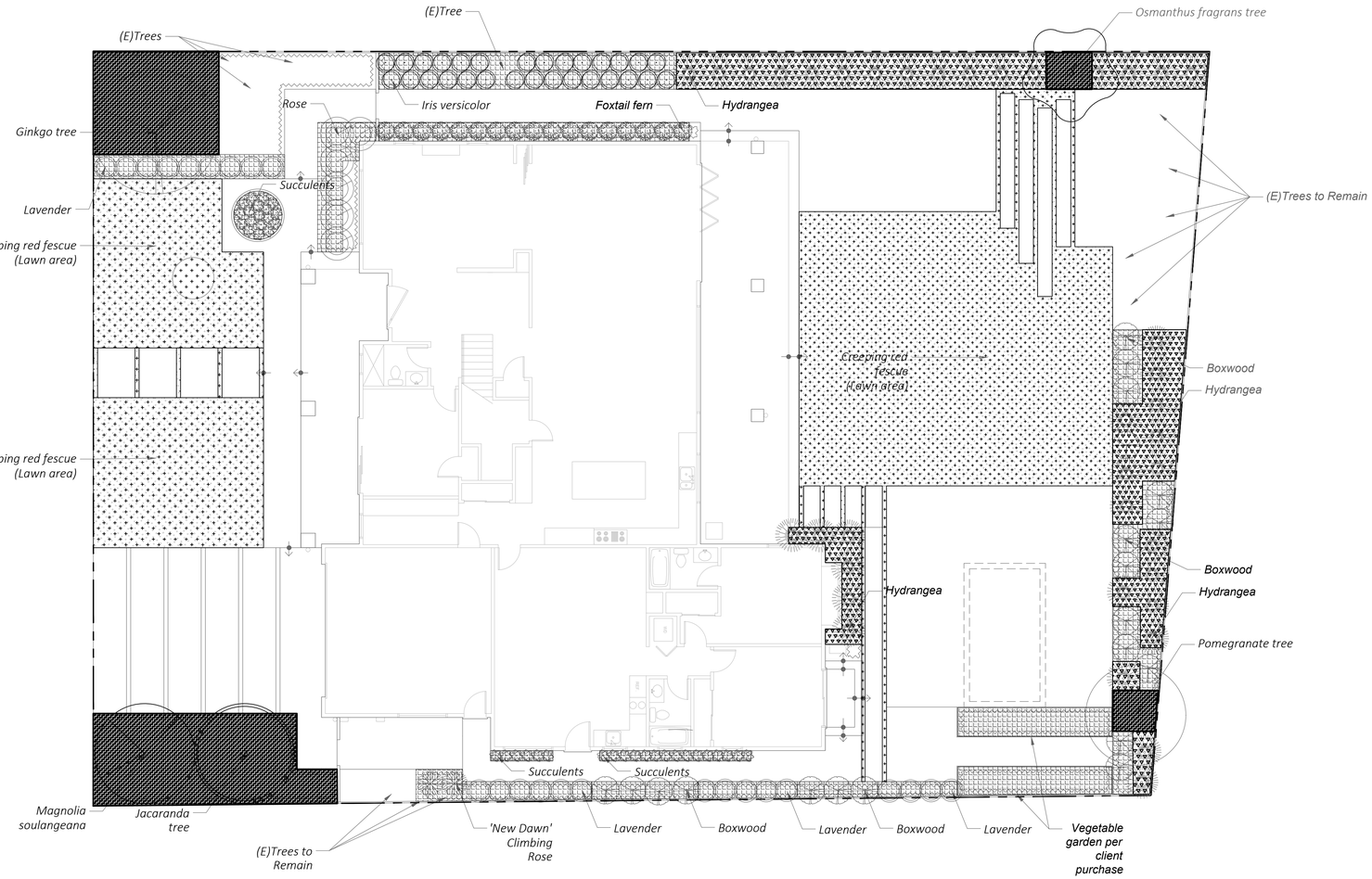
SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L5.4



HYDROZONE SUMMARY

HYDROZONE–DESCRIPTION VALVES		SQ.FT.	% OF TOTAL
3,4,5,6,8,9,15,16,17,18,19,22	DRIP, LOW WATER SHRUB	825.4	21.0%
1,12,21	DRIP, LOW WATER GRASS	1996.6	51.0%
2,10,14,20,23	DRIP, MED WATER TREE	527.5	13.4%
7,11,13	DRIP, MED WATER SHRUB	574.5	14.6%

0 8'

LICENSED LANDSCAPE ARCHITECT
JING ZHANG
Signature
09/30/2025
Renewal Date
09/16/2025
Date
STATE OF CALIFORNIA

PROJECT:
WU&LIU RESIDENCE
1053 ECHO DRIVE
LOS ALTOS, CA 94024

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
HYDROZONE PLAN

PROJECT NO:
007

SCALE:
AS SHOWN

DRAWN BY:
JZ/YG

REVIEWED BY:

ISSUE DATE:

DRAWING NO:
L6.0

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Angela Wu
1053 Echo Dr.,
Los Altos, CA 94024

Site: 1053 Echo Dr., Los Altos

Dear Angela,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home is proposed for this property, prompting the need for this tree protection report.

Method:
A protected tree is any of the following:

A. Any tree that is thirty-eight (38) inches in circumference (12 inches in diameter) measured at forty-eight (48) inches (4-feet) above grade;

B. Any tree of a native species that is ten (10) inches in diameter or greater measured at forty-eight (48) inches above grade;

CB. Any tree designated by the historical commission as a heritage tree or any tree under official consideration by the historical commission for heritage tree designation;

C. Any tree which was required by the city to be either saved or planted in conjunction with a development review application. (Ord. 07-314 § 2 (part); prior code § 10-2.26504).

Los Altos requests that all trees within the property or within 8 feet of the property lines be included on the report if the trunk diameter at standard height is greater than 6 inches.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 48 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

A summary of the trees and their suitability for preservation can be found in a Table in the Appendix.

A landscape plan for replanting is provided in the Appendix.

If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill
Certified Arborist WE 1936A

Advanced Tree Care

965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Hollywood juniper *Juniperas 'Hollywood'*	10.1"/12.5"/12.9"/6.0"	18/18	60	Good health and condition, multi at grade, **Regulated**
2	Mulberry *Morus spp*	17.3"	18/25	60	Good health and condition, heavily pruned, **Regulated**
3	Firethorn *Pyracantha spp*	5.1"/3.8"/2.0"/2.0"	10/10	30	Poor health and condition **Not Regulated**
4	Almond *Prunus dulcis*	5.5"/4.2"/3.5"	12/8	40	Poor health and condition **Not Regulated**
5	Coast live oak *Quercus agrifolia*	8"est	12/6	20	Good health, poor condition, topped at 10', **Not Regulated**
6	Coast live oak *Quercus agrifolia*	6"est	12/8	20	Good health, poor condition, topped at 10', **Not Regulated**
7	Valley oak *Quercus lobata*	6"est	12/5	20	Good health, poor condition, topped at 10', **Not Regulated**
8	Coast live oak *Quercus agrifolia*	6"est	14/6	20	Good health, poor condition, topped at 10', **Not Regulated**
9	Walnut *Juglans nigra*	10"est	20/15	40	Poor health and condition, neighbor's tree, **Not Regulated**
10	Coastal redwood *Sequoia sempervirens*	24"/28"/32"est	60/30	55	Good health, fair condition, topped at 50', neighbor's tree, **Regulated**
11	Coastal redwood *Sequoia sempervirens*	9.4"	30/5	60	Good health and condition, suppressed by #10 and 12, **Not Regulated**
12	Coastal redwood *Sequoia sempervirens*	13.6"	40/6	70	Good health and condition **Regulated**
13	Coastal redwood *Sequoia sempervirens*	15.1"	45/8	70	Good health and condition **Regulated**
14	Coastal redwood *Sequoia sempervirens*	13.0"	35/5	70	Good health and condition **Regulated**
15	Coastal redwood *Sequoia sempervirens*	15.5"	35/6	70	Good health and condition **Regulated**
16	Strawberry tree *Arbutus unedo*	9.0"/10.5"/8.8"	18/25	70	Good health and condition, multi at grade, **Regulated**
17	Photinia *Photinia fraseri*	9.1"/5.2"/8.6"/5.7"/5.2"	25/18	45	Poor health and condition **Regulated**
18	Valley oak *Quercus lobata*	5.8"	20/8	80	Good health and condition **Not Regulated**

Advanced Tree Care

965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Summary:

There are 18 trees on this property with trunk diameters greater than 6 inches.

Tree #s 1, 2, 10, 12, 13, 14, 15, 16, 17 are Regulated trees

Tree # 1 has been requested for removal to accommodate the new home and landscape. Preservation of the tree will impede the use of real property and no reasonable or feasible alternative (as determined by the Development Services Director) exists to preserve the trees in the current location. Los Altos Municipal Code 11.08.100.A5 See Appendix for Photos.

Tree # 17 has been requested for removal The tree is in poor health which cannot be mitigated through sound arboricultural practices. Los Altos Municipal Code 11.08.100.A1 See Appendix for Photos

Tree #s 2, 10, 12, 13, 14, 15 and 16 should be protected during construction.

All other trees are not protected and can be removed if desired.

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1½" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 2: TPZ should be at 15 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 10: TPZ should be at 20 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 12: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 13: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 14: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 15: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

Tree # 16: TPZ should be at 15 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) .

IMAGE 2.15-1
Tree Protection Fence at the Dripline

IMAGE 2.15-2
Tree Protection Fence at the Dripline

• **Type I Tree Protection**
The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Any pruning and maintenance of the trees shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel**. No limbs greater than 4" in diameter shall be removed.

3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.[(2)]

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.[(2)]

5. **Do Not**:.[(4)]

a. Allow run off or spillage of damaging materials into the area below any tree canopy.
b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
d. Allow fires under any adjacent trees.
e. Discharge exhaust into foliage.
f. Secure cable, chain or rope to trees or shrubs.
g. Apply soil sterilants under pavement near existing trees.

6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.(4)

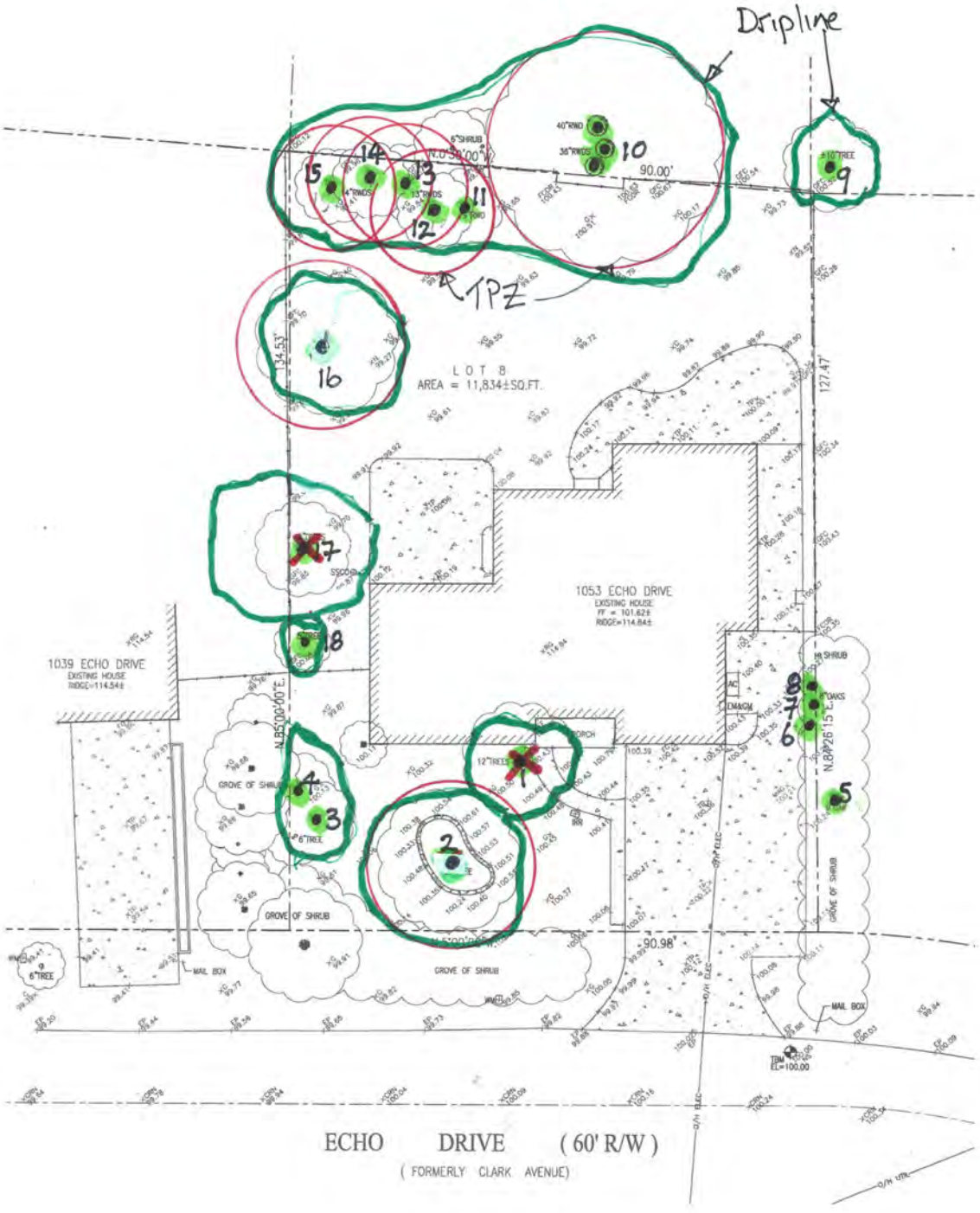
7. Route pipes into alternate locations to avoid conflict with roots.(4)

8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering “feeder” roots.(4)

9. Compaction of the soil within the dripline shall be kept to a minimum.(2) If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4” of wood chip overlayed with plywood.

10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.

11. Ensure upon completion of the project that the original ground level is restored



Location of existing home, trees requested for removal, protected trees, their driplines and their Tree Protection Zones

Glossary

Canopy The part of the crown composed of leaves and small twigs.(2)

Cavities An open wound, characterized by the presence of extensive decay and resulting in a hollow.(1)

Decay Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin(1)

Dripline The width of the crown as measured by the lateral extent of the foliage.(1)

Genus A classification of plants showing similar characteristics.

Root crown The point at which the trunk flares out at the base of the tree to become the root system.

Species A Classification that identifies a particular plant.

Standard height Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture,1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

***Certification of Performance*[3]**

I, Robert Weatherill certify:

* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;

* That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;

* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;

* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed

Robert Weatherill
Certified Arborist WE 1936a
Date: 3/14/25

Terms and Conditions(3)
The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

Appendix

Summary of Trees on Site

	Summary of Trees at 1053 Echo Dr, Los Altos. Date: 1/14/25					
Tree #	**Species**	**DBH inches**	**Condition Rating**	**Regulated y/n**	**Suitability for Preservation**	
1	*Juniperus 'Hollywood'*	10/12/2012	60	y	Remove	
2	*Morus alba*	17.3	60	y	Preserve	
3	*Pyracantha*	5/4/2/2	30	n		
4	*Prunus duclis*	5/4/3/	40	n		
5	*Quercus agrifolia*	8	20	n		
6	*Quercus agrifolia*	6	20	n		
7	*Ligustrum lucidum*	6	20	n		
8	*Quercus agrifolia*	10	20	n		
9	*Juglans nigra*	24/28/32	40	n		
10	*Sequoia sempervirens*	9	55	y	Preserve	
11	*Sequoia sempervirens*	13	60	n		
12	*Sequoia sempervirens*	15	70	y	Preserve	
13	*Sequoia sempervirens*	13	70	y	Preserve	
14	*Sequoia sempervirens*	15	70	y	Preserve	
15	*Sequoia sempervirens*	15.5/	70	y	Preserve	
16	*Arbutus unedo*	9/5/8/5	70	y	Preserve	
17	*Photinia*	9/5/8/5	45	y	Remove	
18	*Quercus lobata*	6	80	n		

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Photos of trees requested for removal

Tree # 1

Tree # 17

Advanced Tree Care

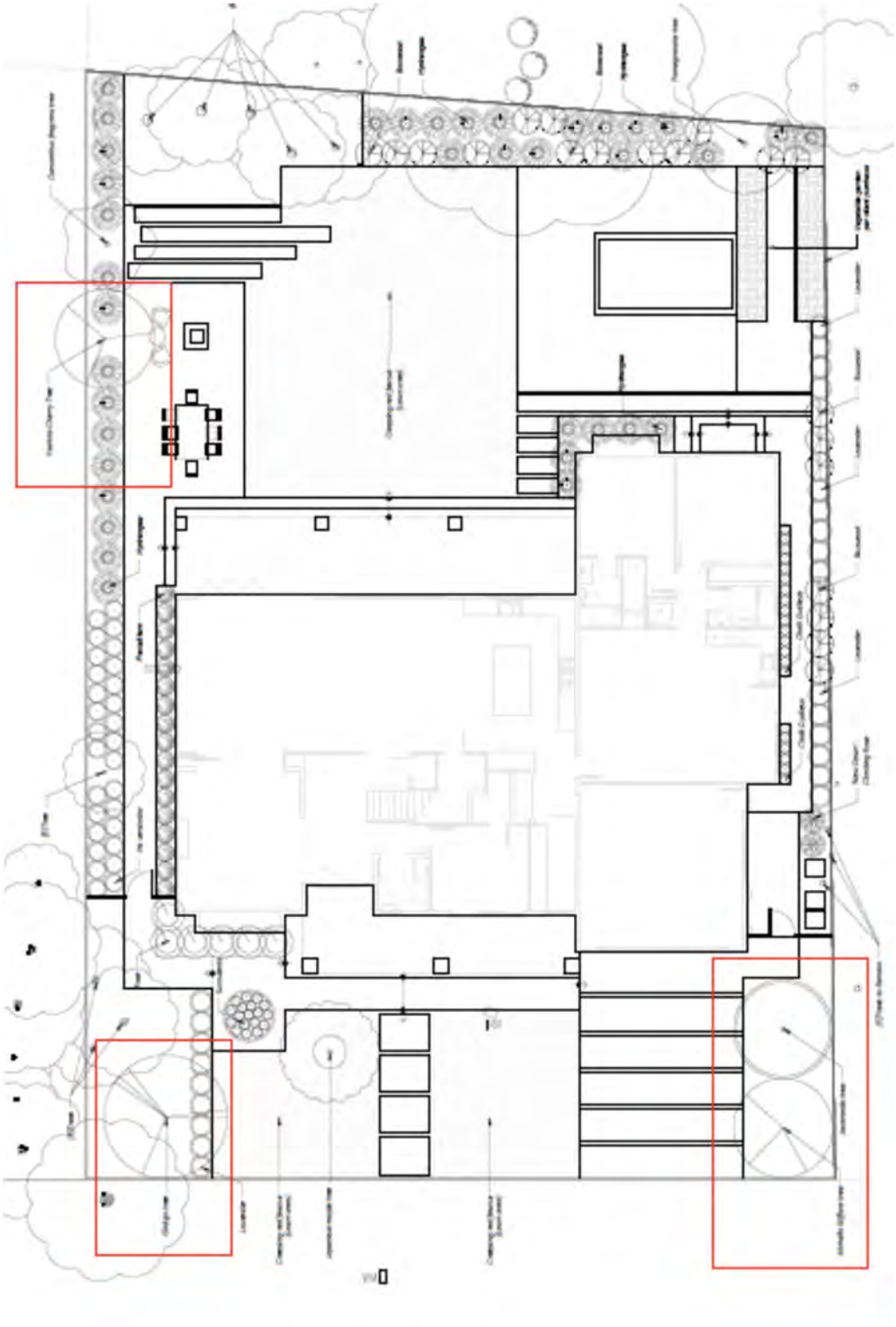
965 East San Carlos Ave, San Carlos

1053 Echo Dr., Los Altos
March 14, 2025

Landscape Plan showing replacement trees

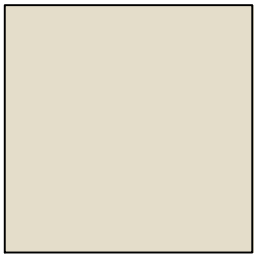
PLANTING SCHEDULE							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	HEIGHT	WATER USE(based on WUCOLS IV)	COUNTS
TREE							
	Ginkgo biloba	Ginkgo	24" BOX	15-30 ft	15-40 ft	MODERATE	1
	Jacaranda mimosifolia	Jacaranda Tree	24" BOX	15-30 ft	20-30 ft	MODERATE	1
	Prunus x yedoensis	Cherry blossom	24" BOX	10-30 ft	15-40 ft	MODERATE	1
	Magnolia liliiflora	Lily magnolia	24" BOX	10-20 ft	10-15 ft	MODERATE	1
	Osmanthus fragrans	Sweet Osmanthus	24" BOX	10-15 ft	10-20 ft	MODERATE	1
	Punica granatum	Pomegranate tree	24" BOX	6-12 ft	8-12 ft	MODERATE	1
	Acer palmatum	Japanese maple	15 GAL	10-15 ft	10-20 ft	MODERATE	1
SHRUB AND GROUNDCOVER							
	Buxus 'Green Velvet'	Great Velvet Boxwood	5 GAL	2-4 ft	2-4 ft	LOW	20
	Hydrangea macrophylla 'Bailmer'	Reblooming Hydrangea	5 GAL	4-6 ft	3-4 ft	MODERATE	38
	Rosa floribunda 'St. Tropez'	St. Tropez Rose Tree	5 GAL	2-3 ft	4-5 ft	LOW	6
	Lavandula angustifolia	English lavender	1 GAL	1 ft	1 ft	LOW	24
	Iris versicolor L.	Large Blue Iris	1 GAL	1 ft	2 ft	LOW	29
	Asparagus aethiopicus	Foxtail Fern	1 GAL	2 ft	2 ft	LOW	17
	Festuca rubra	Creeping red fescue	1 GAL	1-2 ft	1-2 ft	LOW	2,200 sf

Planting Schedule

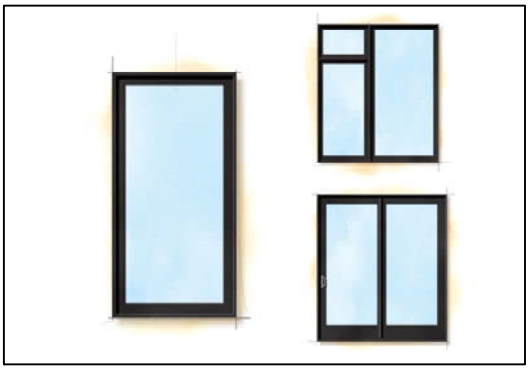


Planting Plan

METAL ROOF



SMOOTH FINISH CEMENT PLASTER



FIBERGLASS FRAME WINDOW

FRONT ENTRY DOOR (METAL PIVOT DOOR)

GARAGE DOOR w/ HARDIE PANEL

COMPOSITE SIDING (HARDIE PANEL)

MATERIALS

LIU RESIDENCE

1053 ECHO AVENUE

LOS ALTOS, CA 94024

From: Stacy Guo
To: Nazaneen Healy
Cc: Albert Guo
Subject: comments on 1053 Echo Dr. new construction
Date: Monday, March 3, 2025 7:11:16 AM

Hi Naz,

The Echo Dr. neighborhood had been building fire Defensible Space due to the close vicinity of the orange risk area (and reminders from County of Santa Clara to build Defensible Space) in the latest release of the fire hazard map: https://calfire-forestry.maps.arcgis.com/apps/webappviewer/index.html?id=988d431a42b242b29d89597ab693d008
Nearby Summerhill region had sufficient height and fuel to spread embers to surrounding area during fire storms as the swirling winds from the last CZU fire incident had taught the neighborhood. We would like to remind that new, massive construction at 1053 Echo Dr. to follow the safest guideline of setback (6+ feet from the side fences?) and fire Defensible Space from the
State: https://www.fire.ca.gov/dspace#:~:text=The%20first%20five%20feet%20from,are%20ignited%20by%20flying%20embers.

Since we (1065 Echo Dr.) and other neighbors have swimming pools at the backyard, the large bedroom design at the 2nd level provides opportunity for remodeling into with wide and tall windows (by later owners) viewing our backyard pool and other neighbors' backyards after neighbors' trimming on trees down to the fence height (photos to be provided). Moving the bathrooms, utility rooms, closets with horizontally shaped venting windows at the 2nd level to be alongside the fence lines would greatly reduce the potential privacy intrusion into neighbors' backyards.

A single-level design would blend into the tranquil feel of the neighborhood, continue time-proven terrain to the neighborhood and reduce the chance of catching flying embers...

We request a careful review on the new 2-story construction plan with a greater perspective imposed by nearby Summerhill terrain, power and utility hubs structures.

We appreciate the prompt attention to neighbors' concerns.

Sincerely,
Stacy and Albert
[redacted]

From: Stacy Guo
To: Nazaneen Healy
Cc: Albert Guo
Subject: Re: comments on 1053 Echo Dr. new construction
Date: Saturday, April 19, 2025 12:43:39 PM

Hi Naz,

About two weeks ago, someone dropped an envelope at our front door as shown below.

We would like to re-iterate our stance on the new two-story construction project at 1053 Echo Dr. as following:

1. The new construction project on 1053 Echo Dr. should comply with the city guidelines on setbacks to minimize fire risk as our neighborhood was adjacent to the high-risk fire zone as posted by County of Santa Clara's fire hazard map: https://calfire-forestry.maps.arcgis.com/apps/webappviewer/index.html?id=988d431a42b242b29d89597ab693d008
2. The design of the new construction project on 1053 Echo Dr. should focus on single-story structure(s) to respect privacy of surrounding neighbors; especially adjacent backyard swimming pools. Originally, the owner of 1053 Echo Dr. had bought into the single-story neighborhood. Maintaining coherence of surrounding building style will preserve and increase the overall values for the entire neighborhood.
3. We encourage direct dialogue between the owner of 1053 Echo Dr. and city staff along with the planning commissioners to appreciate the overall planning for the neighborhood. The owners at 1053 Echo Dr. should direct all communications to the city and not disturbing neighbors at random time in any form.

The original envelope and its content were enclosed in the hard-copy of this mail sent to the city for reference.

Best Regards,

Stacy and Albert

[redacted]

On Sunday, March 23, 2025 at 11:35:19 AM PDT, Stacy Guo <[redacted]> wrote:

Hi Naz,

Yes, please include our comments PLUS following additional information in the project for the Zoning review:

- on week of Mar. 19, the owners of 1075 Echo Dr. notified us that they had contracted a tree specialist to trim back the oak trees shared along our fences. This will increase the visibility from nearby 2nd story into the backyard of 1075 Echo Dr.

As neighbors are busy creating defensible space against nearby red fire hazard zones, we would like to request the new project at 1053 Echo Dr. to follow the strictest standards of building setbacks and lowering the massiveness of the new structure for neighborhood fire insurability and protecting neighbors' privacy.

Thank you for the prompt attention to neighbors' concerns.

Best,

Stacy and Albert

Dear Neighbor,

Hello!

We are your neighbors at **1053 Echo Drive**, and we are planning to build a brand-new home on our property. The project includes a two-story main residence (approximately 3,932 square feet of interior space) and a one-story ADU (Accessory Dwelling Unit) of about 1,021 square feet. The design fully complies with the City of Los Altos building and green code standards, and has been submitted for review.

This new home will improve our own living conditions while fitting harmoniously with the character of the neighborhood. We also believe that a thoughtfully designed **brand-new two-story home can help increase property values on our street**. In fact, over the past 20 years, several new two-story homes have been built on our street, and they have contributed significantly to increasing the desirability and home values in our neighborhood.

As part of the public hearing process, we are reaching out to ask for your support. If you are in favor of our project, we would greatly appreciate your signature below to show support for the project's approval.

We would also be happy to speak with you in person if you have any questions.

Thank you so much for your support!

Warm regards,
Wu & Liu Family
1053 Echo Drive, Los Altos, CA 94024
Phone:650-732-8466
Email: wud1989@gmail.com

I support the Wu & Liu family's proposed two-story main residence and ADU project at 1053 Echo Drive and support its progress through the city hearing.

Signature: Jiyang Wang
Name : JIYANG WANG
Address : 994 Echo Dr, LOS ALTOS, CA 94024
Date: 04/06/2025

Dear Neighbor,

Hello!

We are your neighbors at **1053 Echo Drive**, and we are planning to build a brand-new home on our property. The project includes a two-story main residence (approximately 3,932 square feet of interior space) and a one-story ADU (Accessory Dwelling Unit) of about 1,021 square feet. The design fully complies with the City of Los Altos building and green code standards, and has been submitted for review.

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Thank you so much for your support!

Warm regards,
Wu & Liu Family
1053 Echo Drive, Los Altos, CA 94024
Phone:650-732-8466
Email: wud1989@gmail.com

I support the Wu & Liu family's proposed two-story main residence and ADU project at 1053 Echo Drive and support its progress through the city hearing.

Signature: L. Vadasz
Name : Les Vadasz
Address : 991 Echo Dr
Date: 4/6/2025

Dear Neighbor,

Hello!

We are your neighbors at **1053 Echo Drive**, and we are planning to build a brand-new home on our property. The project includes a two-story main residence (approximately 3,932 square feet of interior space) and a one-story ADU (Accessory Dwelling Unit) of about 1,021 square feet. The design fully complies with the City of Los Altos building and green code standards, and has been submitted for review.

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We would also be happy to speak with you in person if you have any questions.

Thank you so much for your support!

Warm regards,

Wu & Liu Family
1053 Echo Drive, Los Altos, CA 94024
Phone: [Insert your phone number] 650 281 6714
Email: [Insert your email address] ERIC@LJVENTURES.COM

I support the Wu & Liu family's proposed home rebuild and ADU project at 1053 Echo Drive and support its progress through the city hearing.

Signature: _____
Name (optional): ERIC CHEN
Address (optional): 1009 ECHO DR LOS ALTOS, CA 94024
Date: 4/5/25

Dear Neighbor,

Hello!

We are your neighbors at 1053 Echo Drive, and we are planning to build a brand-new home on our property. The project includes a two-story main residence (approximately 3,932 square feet of interior space) and a one-story ADU (Accessory Dwelling Unit) of about 1,021 square feet. The design fully complies with the City of Los Altos building and green code standards, and has been submitted for review.

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We would also be happy to speak with you in person if you have any questions.

Thank you so much for your support!

Warm regards,
Wu & Liu Family
1053 Echo Drive, Los Altos, CA 94024
Phone: 650-732-8466
Email: wud1989@gmail.com

I support the Wu & Liu family's proposed two-story main residence and ADU project at 1053 Echo Drive and support its progress through the city hearing.

Signature: Ying Wang
Name: Ying Wang
Address: 1039 Echo drive. Los altos
Date: 04/13/2025