ZONING ADMINISTRATOR MEETING AGENDA

4:00 PM - Wednesday, December 18, 2024

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to **ZAPublicComment@losaltosca.gov**.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

https://tinyurl.com/36hjyu3t

Telephone: 1-253-215-8782 / Webinar ID: 895 3172 0129 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to **ZAPublicComment@losaltosca.gov**.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. The Zoning Administrator will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Zoning Administrator.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of November 20, 2024.

PUBLIC HEARING

2. **SC24-0010 – Jeff Guinta – 562 Palm Avenue**
   Design Review to construct a 1,982-square foot two-story residence with a detached garage. The project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). *Project Planner: Whitehill*

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at *http://losaltosca.gov/meetings*.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.

ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, November 20, 2024

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT:	Zoning Administrator Zornes and Development Services Deputy Director Williams
STAFF:	Associate Planner Healy and Senior Planner Whitehill

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. **Zoning Administrator Meeting Minutes**
   Approval of the DRAFT minutes of the regular meeting of August 7, 2024.

Action: Zoning Administrator Zornes approved the meeting minutes for the regular meeting of August 7, 2024.
The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

PUBLIC HEARING

2. **SC24-0007 - Chris Kummerer - 134 Marvin Avenue**
   Design Review application for a new 3,353 square-foot, two-story residence. This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures"). *Project Planner: Whitehill*

STAFF PRESENTATION
Senior Planner Whitehill presented the staff report recommending approval of design review application SC24-0007 subject to the listed findings and conditions of approval.

PUBLIC COMMENT
None.

Action: Zoning Administrator Zornes approved design review application SC24-0007 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

3. **MOD24-0004 - Chris Kummerer - 241 Sunkist Lane**
   Modification of the approved design review application SC23-0013 of a new 4,621 square-foot, two-story residence. This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures"). *Project Planner: Healy*

STAFF PRESENTATION
Associate Planner Healy presented the staff report recommending approval of design review application MOD24-0004 subject to the listed findings and conditions of approval.

PUBLIC COMMENT
None.

Action: Zoning Administrator Zornes approved design review application MOD24-0004 per the staff report findings and conditions.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

4. **SC24-0005 - Minerva Abad - 707 Benvenue Avenue**
   Design review application for the construction of a new 3,942 square-foot, two-story residence. This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures"). *Project Planner: Healy*

STAFF PRESENTATION
Associate Planner Healy presented the staff report recommending approval of design review application SC24-0005 subject to the listed findings and conditions of approval.

PUBLIC COMMENT
Residents Jim Fenton and Kevin Cheng provided public comments.

Action: Zoning Administrator Zornes approved design review application SC24-0005 per the staff report findings and conditions with the additional conditions to plant four (4) 24-inch box screening trees at the back property line.

The motion was approved (1-0) by the following vote:
AYES: Zornes
NOES: None

ADJOURNMENT

Zoning Administrator Zornes adjourned the meeting at 4:24 PM.

_____
Nick Zornes
Zoning Administrator

TO: Nick Zornes, Zoning Administrator

FROM: Brittany Whitehill, Senior Planner

SUBJECT: SC24-0010 – 562 Palm Avenue

RECOMMENDATION

Approve design review application SC24-0010 for the construction of a new approximately 1,982-square foot two-story residence with a detached garage subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 ("New Construction or Conversion of Small Structures").

BACKGROUND

Project Description

- Project Location: 562 Palm Avenue, located on the west side of Palm Avenue between Sheridan Street and Sherman Street
- Lot Size: 6,646 square feet
- General Plan Designation: Single-Family, Medium Lot (SF4)
- Zoning Designation: R1-10
- Current Site Conditions: One-story house with detached garage

The proposed project includes the demolition of the existing one-story house and construction of a new two-story house and detached garage (see Attachment A – Project Plans). A new detached accessory dwelling unit (ADU) is included in the design but is not part of the design review application and will be reviewed ministerially as part of the building permit submittal.

The proposed two-story home will be situated on the lot in a similar location to the existing home, and the new home's primary entrance will remain fronting onto Palm Avenue. The site will be improved with a pedestrian walkway from Palm Avenue and ample landscaping, including new trees and screening shrubs. No tree removal is proposed as part of the project.

The home is designed in a traditional architectural style, incorporating high quality materials including a composition shingle roof with gable roof forms, board and batten siding, wood trim, and casement windows. The primary entrance will be accented with a small, covered porch. The detached garage will be placed towards the rear of the property, screened from view from Palm Avenue. The garage will be accessed from the alley at the back of the property, which is consistent with the existing development pattern along Palm Avenue.

ANALYSIS

Design Review

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	~1,128 sq. ft. (16.9%)	~1,809 sq. ft. (27.2%)*	1,994 sq. ft. (30%)
FLOOR AREA:			
First Floor	1,128 sq. ft.	1,187.22 sq. ft.	-
Second Floor	-	794.88 sq. ft.	-
Detached Garage	-	343.3 sq. ft.*	-
Total	16.9%	2,325.4 sq. ft (34.9%)	2,326 sq. ft. (35%)
SETBACKS:			
Right side (1st/2nd)	26'-4"	25'	25'
Left side (1st/2nd)	33'-6"	25'	25'
	8'-1 ⅛"	4'(ADU)/18'-10 ½"	6'-7 ¼"/14'-1 ¼"
	13'-8"	6'-7 ¼" /22'-11 ¾"	6'-7 ¼"/14'-1 ¼"
Right side (1st/2nd)	~5'	7'2"/13'7"	5'/12'6"
Left side (1st/2nd)	~9'	6'1"/13'7"	5'/12'6"
Front	~20'	Ranges 25'-31'	25'
Rear	~73'	~64'	25'
SETBACKS (garage)			
Right side	-	8'2"	5'
Left side	-	4' (ADU) / 21' (garage)	5'
Front	-	99' (from Palm Ave)	25'
Rear	-	4' (ADU) / 18'8" (garage)	12'
HEIGHT:	~15'	27'	27'

* The project proposes an attached ADU, which will be reviewed ministerially as part of the building permit. Pursuant to Los Altos Municipal Code (LAMC) Section 14.14.060, the ADU has not been included in the floor area or lot coverage calculations for the site.

Pursuant to Chapter 14.76 of the LAMC, new two-story residences shall be consistent with policies and implementation techniques described in the Single-Family Residential Design Guidelines. The proposed home complies with the Single-Family Residential Design Guidelines because it exhibits an appropriate design with elements, materials, scale, and landscaping that are consistent with the neighborhood.

The immediate neighborhood is comprised of a combination of one-story and two-story houses. The homes in the neighborhood exhibit similar front setback patterns, massing, and generally feature simple hipped and gabled roof forms. The neighborhood does not have a singular, consistent architectural

style, however, most neighboring homes appear to be older, or designed in a more traditional resi style.

The proposed house has a relatively simple gable roof form, which is characteristic of the proposed traditional architectural style, and compatible with the surrounding neighborhood. The proposed plate heights (8'6" at the first-floor, 8' at the second floor) and significant second-story step backs reduce the perceived massing of the building, creating a design that is of appropriate scale when compared to neighboring homes. The home and detached garage comply with their respective daylight plane requirements.

The windows along the sides of the home at the second story level are relatively small to reduce impacts to privacy for neighbors. A small balcony is proposed at the rear of the house, off the master bedroom. Due to its minimal depth of three feet, it is not anticipated to create significant privacy impacts.

The proposed landscaping includes six new 24-inch box Grecian Laurel trees, 8 new Grecian Laurel screening shrubs, and various additional shrubs, vines and groundcover throughout the site. One neighbor along the left (south) side property line contacted the City expressing concern about potential privacy impacts associated with the proposed ADU. While the City discretion over ADUs is strictly limited by state law, the applicants voluntarily revised the landscape plan to add three additional Grecian Laurel screening trees to be installed along the south side property line, adjacent to the proposed ADU.

The proposed project meets the development standards in the R1-10 zoning district and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and enhances onsite landscaping.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 ("New Construction or Conversion of Small Structures") of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted the site with a public notice sign in conformance with the Planning Division posting requirements. The applicant reached out to fifteen neighbors in the immediate area to share their proposed plans. No written comments from neighbors have been received by staff as of the writing of this report.

Attachment:

A. Project Plans

Cc: Jeff Guinta, Architect
Wen Shiau and Pui Wong with Cypress Capitol Group, Property Owners

FINDINGS

SC24-0010 – 562 Palm Ave

With regard to the proposed new two-story residence, the Zoning Administrator finds the following in accordance with Section 14.76.060 of the Municipal Code:

A. The proposed new two-story residence complies with all provisions of this chapter because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.

B. The height, elevations, and placement on the site of the proposed new house is compatible when considered with reference to the nature and location of residential structures on adjacent lots, and will consider the topographic and geologic constraints imposed by particular building site conditions as the proposed home maintains a similar finished floor elevation and orientation on the lot as the existing home and complies with the allowable floor area, lot coverage, height maximums, and daylight plane requirement pursuant to Los Altos Municipal Code Chapter 14.06.

C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal because the project does not involve removal of trees, and due to the relatively flat lot and fact that the project does not include a basement, grading quantities for the project will be minimal.

D. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because the building massing incorporates moderate wall plate heights and second-story step backs, which serve to minimize the perceived mass and bulk of the home.

E. General architectural considerations, including the size and scale, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings because the proposed home complies with the allowable floor area, lot coverage, and height maximums as well as the daylight plane requirement pursuant to LAMC Chapter 14.06 and the design of the home incorporates high quality materials including a composition shingle roof, board and batten siding, wood trim, and casement windows, resulting in a design that is consistent with the neighborhood character, which generally features older homes and homes that are designed in a more traditional style.

F. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection because the site is relatively flat, and the plan incorporates ample softscape surfaces and a drainage plan to minimize off-site stormwater drainage.

CONDITIONS OF APPROVAL

SC24-0010 – 562 Palm Avenue

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on December 18, 2026, unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.

2. **Approved Plans:** The approval is based on the plans and materials received on December 11, 2024, except as modified by these conditions as specified below.

3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the overall approvals may be approved by the Development Services Director.

4. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

5. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

6. **ADU Not Reviewed:** The proposed ADU included in the plan set is not part of this design review application. Prior to commencement of the ADU construction, a separate building permit issued by the Building Division shall be obtained.

7. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

8. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be

installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.

9. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment and demonstrate compliance with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

10. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

11. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.

12. **Reach Codes:** Building permit applications submitted on or after January 1, 2023, shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division prior to issuance of a building permit. Payments shall be made directly to the school districts.

14. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees prior to issuance of a building permit, including but not limited to Transportation, Park and Recreation, Public Safety, and General Government impact fees as required by the City of Los Altos Municipal Code and current adopted fee schedule.

15. **Swimming Pools, Water Features, and Outdoor Kitchens:** The proposed pool and associated equipment, water feature, and/or outdoor kitchen require a separate building permit and are subject to the City's standards pursuant to Section 14.06.120 and Chapter 14.15.

16. **New Fireplaces:** Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

17. **Change of Address:** A "Request for Address Assignment or Change" form must be submitted to the Building Division to correlate with the addition of a new dwelling unit on the existing property or reorientation of the front of the home to a different street.

18. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

19. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

20. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

21. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

22. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

23. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

24. **Off-haul Excavated Soil:** The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

ENGINEERING DIVISION

25. **Encroachment Permit:** An encroachment permit, and/or an excavation permit shall be obtained prior to any work done within the public right-of-way including frontage work based on City Standard Detail SU-20 and it shall be in accordance with plans to be approved by the City Engineer.

26. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.

27. **Storm Water Management:** Show how the project is in compliance with the Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.

28. **Americans with Disabilities Act:** All improvements shall comply with the latest version of Americans with Disabilities Act (ADA). The latest edition of Caltrans ADA requirements shall apply to all improvements in the public right-of-way.

29. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed.

30. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. Applicant shall pay the applicable fees before the transportation permit can be issued by the Traffic Engineer

31. **Pollution Prevention:** The improvement plans shall include the "Blueprint for a Clean Bay" plan sheet in all plan submittals.

32. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit. No grading or building pads are allowed within two-thirds of the drip line of trees unless authorized by a certified arborist and the Planning Division

33. **Public Infrastructure Repairs:** Prior to final occupancy the applicant shall repair any damaged right-of-way infrastructures and otherwise displaced curb, gutter and/or sidewalks and City's storm drain inlet shall be removed and replaced as directed by the City Engineer or his designee.

FIRE DEPARTMENT

34. **Applicable Codes and Review**: The project shall comply with the California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the City of Los Altos Municipal Code (LAMC), California Code of Regulations (CCR) and Health & Safety Code Review of this developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make an application to, and receive from, the Building Department all applicable construction permits.

35. **Violations**: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

36. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chapter. 33.

37. **Fire Sprinklers Required:** Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations.

38. **Required Fire Flow:** The minimum required fire flow for this project is 1000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.1.3]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 1000 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corners of the structure is required. Contact your local water purveyor (California Water) for details on how to obtain the fire flow letter.

39. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

40. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

New Single-Family Residence with Detached ADU for:
The 562 Palm LP
562 Palm Ave.
Los Altos, CA. 94022

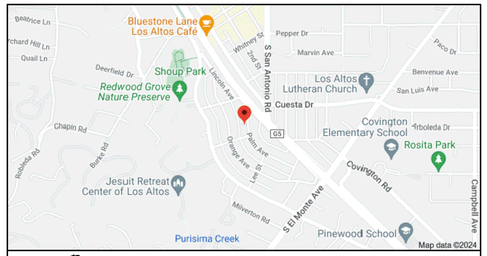
MAIN HOUSE PERSPECTIVE

ADU PERSPECTIVE

SCOPE OF WORK:

DEMOLISH EXISTING SINGLE-FAMILY 1 STORY RESIDENCE AND DETACHED GARAGE AND CONSTRUCT A NEW 2 STORY SINGLE-FAMILY RESIDENCE WITH DETACHED GARAGE AND DETACHED 2 STORY ADU,

INDEX OF PAGES:



VICINITY MAP

PROJECT DESCRIPTION:

ASSESSOR'S PARCEL NUMBER	: 175-16-008
BUILDING OCCUPANCY	: R3/U
TYPE OF CONSTRUCTION	: V-B
ZONING	: R1-10
STORIES	: 2
YEAR BUILT/EFF	: 2024
LOT AREA	: 6646 SF ±
BUILDING AREA:	
MAIN RESIDENCE	: 2,000 SF
COVERED PORCHES	: 274 SF
COVERED BALCONY	: 33 SF
TOTAL	: 2,307 SF
BUILDING AREA:	
DETACHED ADU	: 928 SF
COVERED PORCHES	: 70 SF
TOTAL	: 998 SF
BUILDING AREA:	
DETACHED GARAGE	: 343 SF
TOTAL BUILDING AREA	: 3,648 SF

GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.
- All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2022 California Building Code (CBC), 2022 California Mechanical Code (CMC), 2022 California Fire Code (CFC), 2022 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2022 California Plumbing Code (CPC) and all applicable local codes and/or legislation.
- The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work involved otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.
- Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.
- These plans shall not be considered complete and ready for construction until a building permit has been issued.
- In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.
- Larger scale details take precedence over smaller scale details.
- Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings work detail dimensions from controlling surface points and actual material dimensions.
- Slope finish exterior surface away from foundation.

GENERAL NOTES:

NOTE:

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

CBC	2022 California Building Code
CRBC	2022 California Residential Building Code
CGBC	2022 California Green Building Code
CEC	2022 California Electrical Code
CPC	2022 California Plumbing Code
CMC	2022 California Mechanical Code
CEC	2022 California Energy Code
CRC	2022 California Residential Code
	City of Los Altos Municipal Code

Revisions	By

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3550 Stevens creek Blvd, Ste 225
San Jose, CA 95117
Phone: (408) 985-1078 Fax: (408) 985-1343
E-Mail: inncpt@sbcglobal.net

A New Single-Family Residence for:
The 562 Palm LP
562 Palm Ave.
Los Altos, CA. 94022

Date 06/18/2024
Scale NOTED
Drawn GF
Job
Sheet 0
Of Sheets

570 562 554

PALM AVENUE

STREETSCAPE

3/16" = 1'-0

Revisions

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PROFESSIONAL BUILDING DESIGN AND PLANNING
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San Jose, CA 95117
Phone: (408) 985-1078 Fax: (408) 985-1343
E-Mail: inncpt@sbcglobal.net

A New Single-Family Residence for:
Wen Shiau
562 Palm Ave.
Los Altos, CA. 94022

Date 06/18/2024
Scale NOTED
Drawn GF
Job
Sheet 0.1
Of Sheets

LEGEND

- SSCO — CLEANOUT
- SSMH — MANHOLE
- —x— — FENCE LINE
- WV — WATER VALVE
- WM — WATER METER
- FH — FIRE HYDRANT
- JOINT POLE / SANITARY SEWER
- GUY ANCHOR / SANITARY SEWER
- XX" TREE — AS NOTED
- —G— — GAS LINE
- —W— — WATER LINE
- E — CONCRETE
- GM — GAS METER

ABBREVIATIONS

FL	FLOWLINE
TC	TOP OF CURB
EP	EDGE OF PAVEMENT
CONC	CONCRETE
LIP	LIP OF GUTTER
GS	GROUND SHOT
AD	AREA DRAIN
FF	FINISH FLOOR
BSL	BUILDING SETBACK LINE

SURVEYOR'S NOTE:

1. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
2. TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
3. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

BENCHMARK

SURVEY CONTROL POINT
SET MAG NAIL
ASSUMED ELEVATION=95.14'

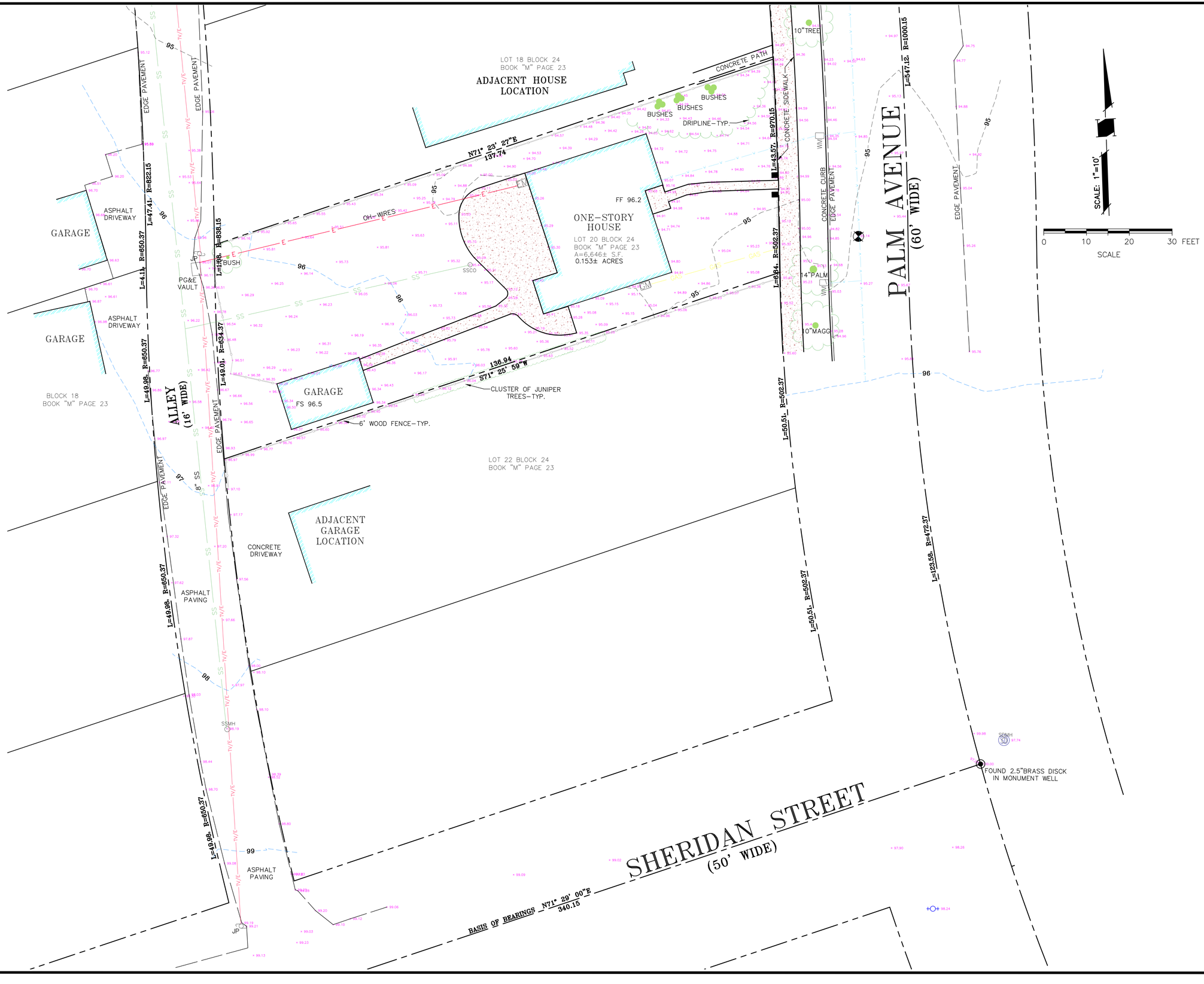
TITLE REPORT:

SURVEYORS STATEMENT:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR ACT

LICENSED LAND SURVEYOR — BRIAN L. STOCKINGER — NO. LS6995 — EXP. 09-30-25 — STATE OF CALIFORNIA

BRIAN L. STOCKINGER
PLS 6995
EXPIRES 9-30-25
dated: June 13, 2024



NNR ENGINEERING SERVICES CO.

BRIAN L. STOCKINGER PLS 6995
535 WEYBRIDGE DRIVE, SAN JOSE, CA 95123
(408) 348-7813
nnrengineering@yahoo.com

TOPOGRAPHICAL SURVEY

562 PALM AVENUE

APN: 175-16-008
SANTA CLARA COUNTY CALIFORNIA
LOS ALTOS

SCALE	1"=10'
DATE	6-11-2024
DRAWN	NNR
CHECKED	B. STOCKINGER
PROJ. MGR.	BLS

DATE	MK	SHEET REVISIONS	BY	CK

SHEET NO. 1 OF 1 SHEETS

JOB NO. PALM AVE

CAD FILE:

CONCEPTUAL GRADING AND DRAINAGE PLAN

562 PALM AVE
LOS ALTOS CA 94022

APN 167-36-008

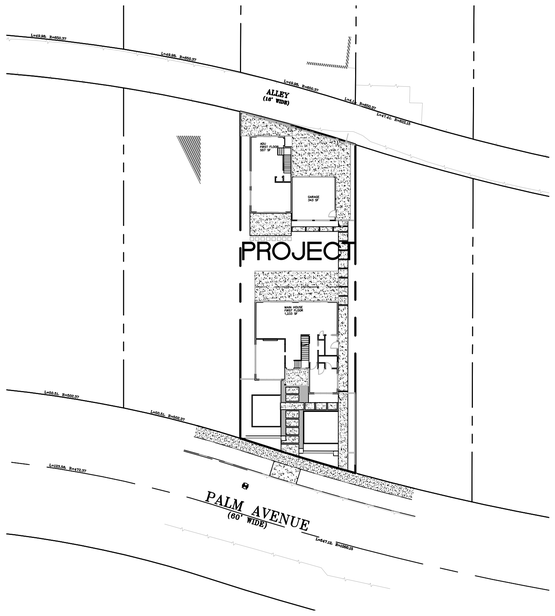
GRADING & DRAINAGE NOTES:

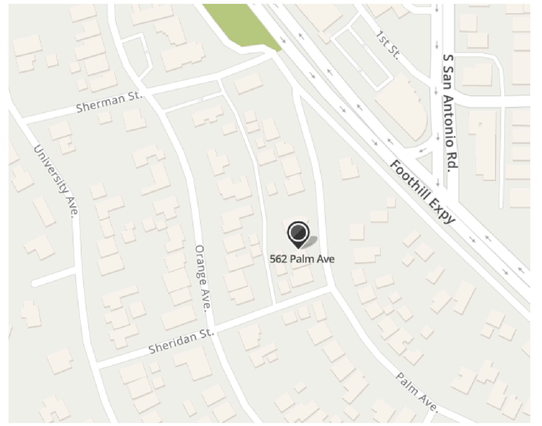
NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

1. ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE CITY OF LOS ALTOS, DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
3. UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
4. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
5. THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
6. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
7. IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
8. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
9. FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
10. ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
    REPORT DATE:
    REPORT NUMBER:
    SOILS ENGINEERING COMPANY:
    CONTACT INFORMATION:
11. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
12. PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM
13. ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

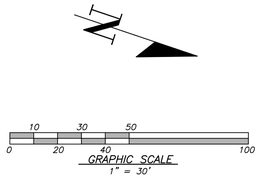
BENCH MARK

ALL TOPOGRAPHIC FEATURES AND ELEVATIONS HAD BEEN TAKEN FROM SURVEYS BY OTHERS, PROVIDED BY THE OWNER





LOCATION MAP



LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	
LOT LINE	
EASEMENT LINE	
SIDEWALK	
WOOD FENCE	X — X
CHAIN LINK FENCE	
RETAINING WALL	
DRIVEWAY DRAIN INLET	
AREA DRAIN	
DROP INLET	
MONUMENT	
FIRE HYDRANT	
ELECTROLIER	
WATER METER	
AC UNIT	
SANITARY SEWER LATERAL	
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	
DIRECTION OF SURFACE DRAINAGE	
5% SLOPE AWAY FROM BUILDING	>>
GAS LINE	GAS
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/SPLASH BOX	
TREE TO BE REMOVED	
ADJECENT GRADE	AG
AGGREGATE BASE (AB)	
ASPHALT PAVEMENT (AC)	
EARTHEN SWALE	

SHEET INDEX

ABBREVATIONS

AC = ASPHALT CONCRETE
AD = AREA DRAIN
AG = ADJACENT GRADE AT FOUNDATION
BC = BEGIN CURVE
BS = BOTTOM OF STAIR
BU = BUBBLE UP
BVC = BEGIN VERTICAL CURVE
BRW = BOTTOM OF RETAINED GRADE AT WALL
CB = CATCH BASIN
CL = CENTERLINE
CO = CLEANOUT
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HP = HIGH POINT
HC = HANDICAP UNIT
INV = INVERT
LP = LOW POINT
PAD = PAD ELEVATION
PCC = PORTLAND CEMENT CONCRETE
PL = PROPERTY LINE
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PVC = POLYVINYL CHLORIDE PIPE
PVI = POINT OF VERTICAL INTERSECTION
RCP = REINFORCED CONCRETE PIPE
ROW = RIGHT OF WAY
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SD = STORM DRAIN
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REVISIONS	BY	CITY	DATE

REGISTERED PROFESSIONAL ENGINEER
PORFIRIO OSCAR OSUNA
No. 70829
Exp. 6-30-25
CIVIL
STATE OF CALIFORNIA

PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-25

OSUNA ENGINEERING INC.
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1949 OTOOLE WAY
SAN JOSE, CA 95131
TEL. (408) 721-2100
info@osunaengineering.com

CONCEPTUAL
GRADING & DRAINAGE PLAN
COVER SHEET
562 PALM AVE
LOS ALTOS, CALIFORNIA

Project No.: 3091 | Designed: T.M.M. | Checked: O.O. | Date: 7/29/24

SHEET
C0
OF 5 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THAT CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

LEGEND

DESCRIPTION	SYMBOL
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LOT LINE	
EASEMENT LINE	
SIDEWALK	
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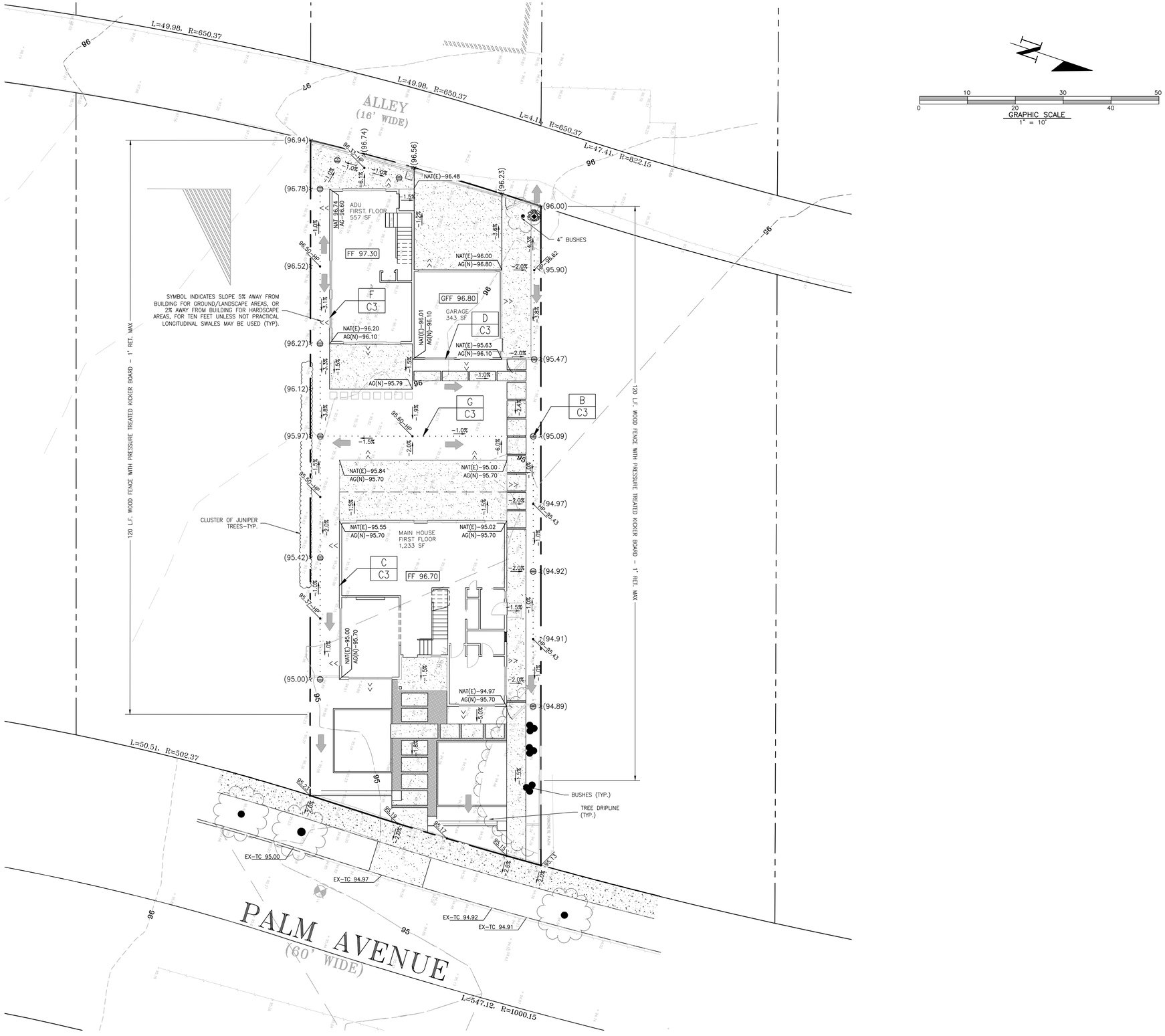
CHAIN LINK FENCE	— o — o — o —
RETAINING WALL	
DRIVEWAY DRAIN INLET	
AREA DRAIN	
DROP INLET	
MONUMENT	
FIRE HYDRANT	
ELECTROLIER	
WATER METER	
AC UNIT	
SANITARY SEWER LATERAL	
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	
DIRECTION OF SURFACE DRAINAGE	
5% SLOPE AWAY FROM BUILDING	>>
GAS LINE	GAS
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/SPLASH BOX	
TREE TO BE REMOVED	
ADJECENT GRADE	AG
AGGREGATE BASE (AB)	
ASPHALT PAVEMENT (AC)	
EARTHEN SWALE	



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REVISIONS	BY	CITY	DATE

REGISTERED PROFESSIONAL ENGINEER
PORFIRIO OSCAR OSUNA
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SAN JOSE, CA 95131
TEL. (408) 721-2100
Info@osunaengineering.com

CONCEPTUAL
GRADING & DRAINAGE PLAN

562 PALM AVE

LOS ALTOS, CALIFORNIA

Project No.: 3091 | Designed: T.M.M. | Checked: O.O. | Date: 7/29/24

SHEET
C1
OF 5 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THAT CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

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ADJECENT GRADE	AG
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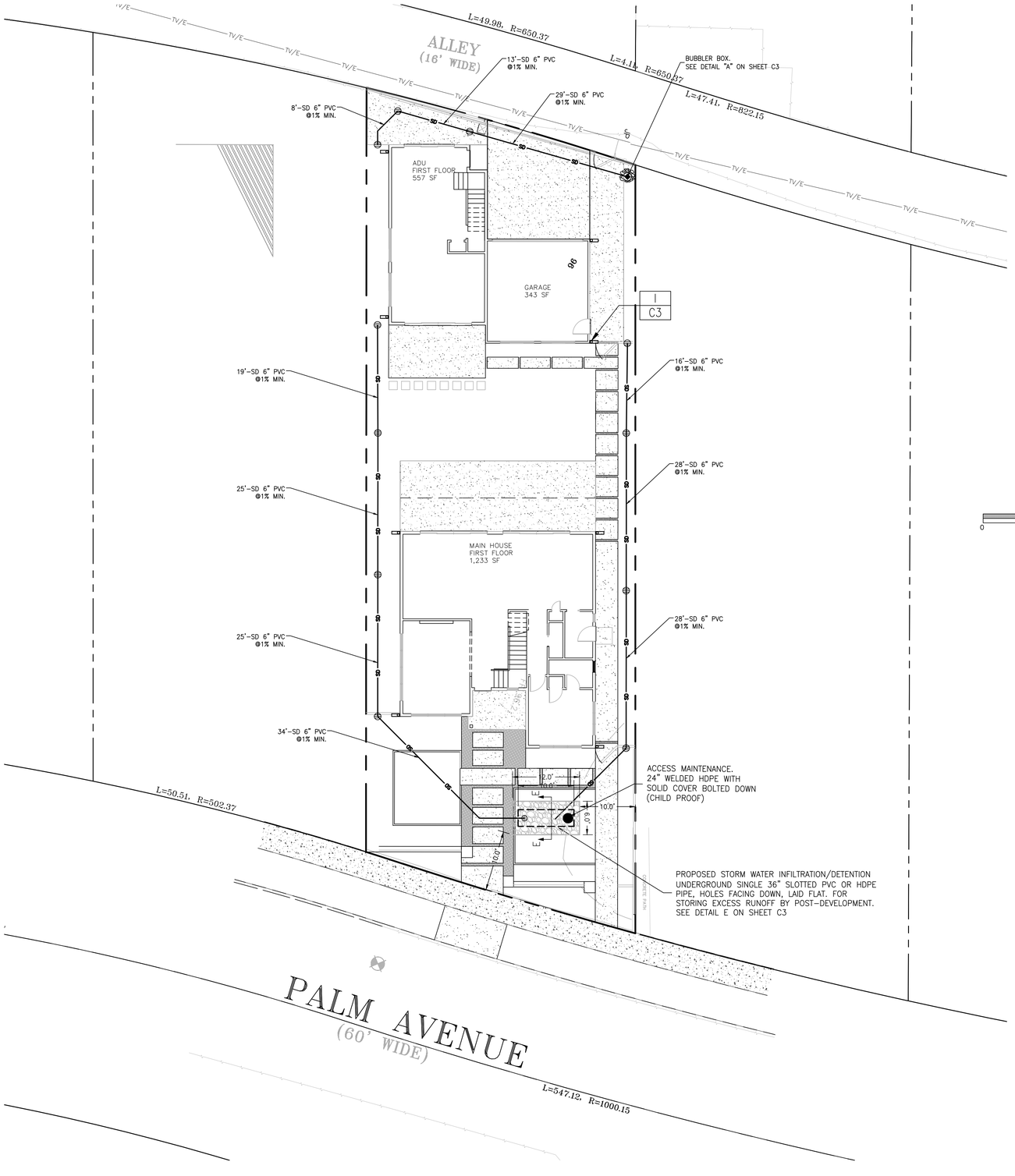
EARTHEN SWALE	



N

0 10 20 30 40 50
GRAPHIC SCALE
1" = 10'

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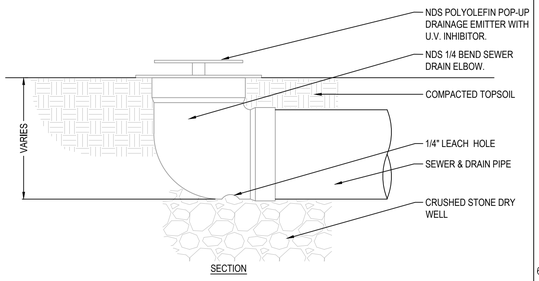
CONCEPTUAL
GRADING & DRAINAGE PLAN
CONCEPTUAL UTILITY PLAN
562 PALM AVE
LOS ALTOS, CALIFORNIA

Project No.: 3091 | Designed: T.M.M. | Checked: O.O. | Date: 7/29/24

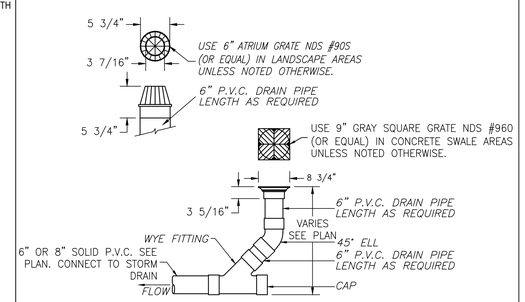
SHEET
C2
OF 5 SHEETS



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

NDS

A BUBBLER EMITTER DETAIL

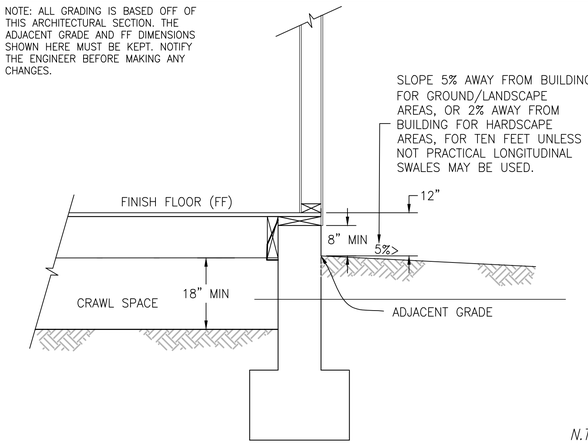


LANDSCAPE DRAIN DETAIL
N.T.S.

N.T.S.

B AREA DRAIN DETAIL

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FF DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.



N.T.S.

C TYPICAL FOUNDATION/FF/GROUND SECTION

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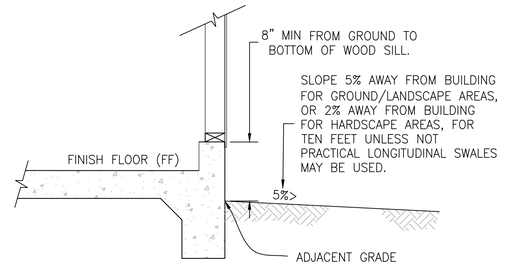
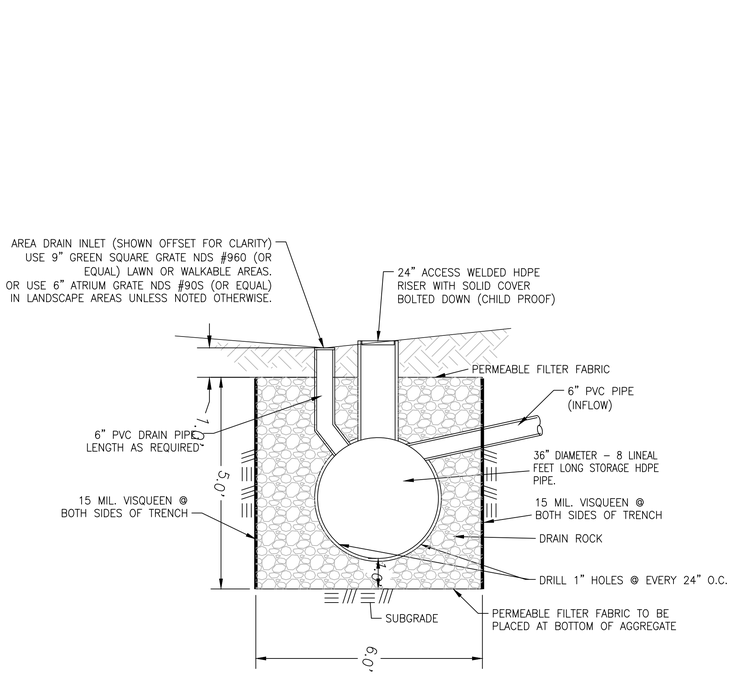
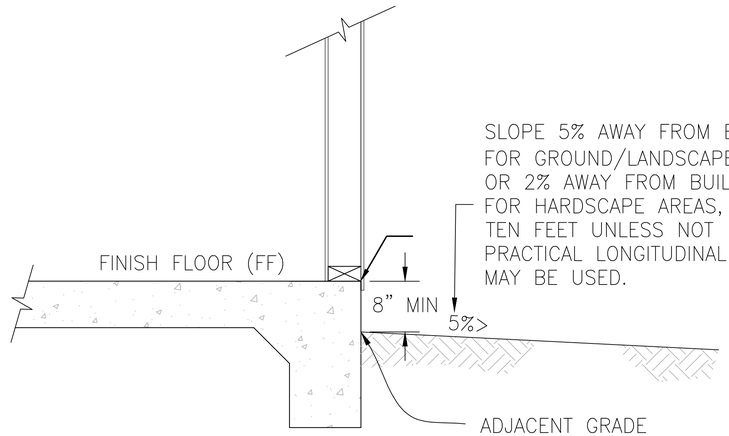


N.T.S.

D TYPICAL FOUNDATION/GFF/GROUND SECTION



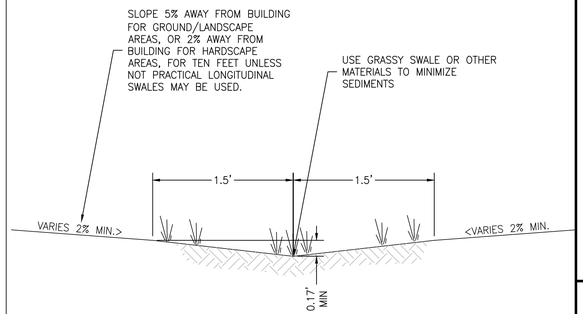
E INFILTRATION DEVICE DETAIL



N.T.S.

F TYPICAL FOUNDATION/FF/GROUND SECTION

H NOT USED



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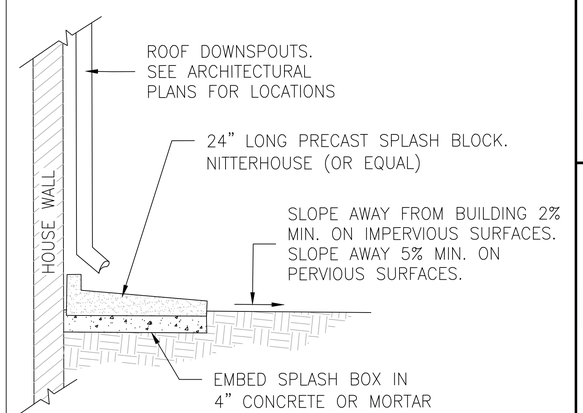
G EARTHEN SWALE DETAIL



SPLASH BLOCK/DOWNSPOUT DETAIL
N.T.S.

N.T.S.

I SPLASH BLOCK/DOWNSPOUT DETAIL

REVISIONS | BY | CITY | DATE

REGISTERED PROFESSIONAL ENGINEER
PORFIRIO OSCAR OSUNA
No. 70829
Exp. 6-30-25
STATE OF CALIFORNIA
CIVIL

PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-25

OSUNA ENGINEERING INC.
Planning|Surveying|Civil Engineering
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
1949 OTOOLE WAY
SAN JOSE, CA 95131
TEL. (408) 721-2100
info@osunaengineering.com

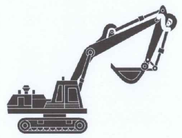
CONCEPTUAL GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
562 PALM AVE
LOS ALTOS, CALIFORNIA

Project No.: 3091 | Designed: T.M.M. | Checked: O.O. | Date: 7/29/24

SHEET
C3
OF 5 SHEETS

Heavy Equipment Operation

Best Management Practices for the Construction Industry



Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

Doing the Job Right

Site Planning and Preventive Vehicle Maintenance

- ☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- ☐ If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- ☐ Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- ☐ Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.

Storm water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site can be common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

Spill Cleanup

- ☐ Clean up spills immediately when they happen.
- ☐ Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- ☐ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ☐ Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills to the appropriate local spill response agencies immediately.
- ☐ If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services

Roadwork and Paving

Best Management Practices for the Construction Industry

Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- ☐ Develop and implement erosion/sediment control plans for roadway embankments.
- ☐ Schedule excavation and grading work during dry weather.
- ☐ Check for and repair leaking equipment.
- ☐ Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- ☐ When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- ☐ Do not use diesel oil to lubricate equipment parts or clean equipment.
- ☐ Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

During Construction

- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- ☐ Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ☐ Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

- ☐ Never wash excess material from exposed- aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- ☐ Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- ☐ Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- ☐ Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up, remove, and properly dispose of contaminated soil.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- ☐ Avoid over-application by water trucks for dust control.

Asphalt/Concrete Removal

- ☐ Avoid creating excess dust when breaking asphalt or concrete.
- ☐ After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- ☐ When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- ☐ Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains.

Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry

Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

Doing The Job Right

General Business Practices

- ☐ Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- ☐ Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- ☐ Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- ☐ Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- ☐ Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is prohibited by law.

During Construction

- ☐ Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- ☐ Set up and operate small mixers on tarps or heavy plastic drop cloths.
- ☐ When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- ☐ Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- ☐ When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a landfill.
- ☐ Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- ☐ Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. TO comply with this program, contractors most comply with the practices described this drawing sheet.

Spill Response Agencies

DIAL 9-1-1

State Office of Emergency Services Warning Center (24 hours): **800-852-7550**

Santa Clara County Environmental Health Services: (408) 299-6930

Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195

County of Santa Clara Integrated Waste Management Program: (408) 441-1198

County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS

Santa Clara County Recycling Hotline: 1-800-533-8414

Santa Clara Valley Water District: (408) 265-2600

Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151

Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300

Palo Alto Regional Water Quality Control Plant: (650) 329-2598
Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos

Building Department: (650) 947-2752

Engineering Department: (650) 947-2780

Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry

Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

Doing The Right Job

General Business Practices

- ☐ Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- ☐ Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- ☐ Schedule grading and excavation projects during dry weather.
- ☐ Use temporary check dams or ditches to divert runoff away from storm drains.
- ☐ Protect storm drains with sandbags or other sediment controls.
- ☐ Re-vegetation is an excellent form of erosion control for any site

Landscaping/Garden Maintenance

- ☐ Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
- ☐ Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- ☐ In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

Storm Drain Pollution From Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

- ☐ Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders, unless you are piling them for recycling (allowed by San Jose and unincorporated County only). Sweep up any leaves, litter or residue in gutters or on street.
- ☐ In San Jose, leave yard waste for curbside recycling pickup in piles in the street, 18 inches from the curb and completely out of the flow line to any storm drain.

Pool/Fountain/Spa Maintenance

Draining Pools Or Spas

When it's time to drain a pool, spa, or fountain, please be sure to call your local wastewater treatment plant before you start for further guidance on flow rate restrictions, backflow prevention, and handling special cleaning waste (such as acid wash). Discharge flows shall not exceed 100 gallon per minute.

- ☐ Never discharge pool or spa water to a street or storm drain; discharge to a sanitary sewer cleanout.
- ☐ If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/reuse water by draining it gradually onto a landscaped area.
- ☐ Do not use copper-based algaecides. Control algae with chlorine or other alternatives, such as sodium bromide.

Filter Cleaning

- ☐ Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.
- ☐ If there is no suitable dirt area, call your local wastewater treatment plant for instructions on discharging filter backwash or rinse water to the sanitary sewer.

Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry

Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Doing The Job Right

Handling Paint Products

- ☐ **Keep all liquid paint products and wastes away from the gutter, street, and storm drains.** Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- ☐ When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- ☐ Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.
- ☐ If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

Painting Cleanup

- ☐ **Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.**
- ☐ For **water-based paints**, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For **oil-based paints**, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

Paint Removal

- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Lead based paint removal requires a state-certified contractor.
- ☐ When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its decision.

Recycle/Reuse Leftover Paints Whenever Possible

- ☐ Recycle or donate excess **water-based (latex) paint,** or return to supplier.
- ☐ Reuse leftover **oil-based paint**. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste.
- ☐ Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

Los Altos Municipal Code Requirements

Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

A. Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.

B. Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

A. A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

B. A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

C. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.

D. No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Criminal and judicial penalties can be assessed for non-compliance.

General Construction And Site Supervision

Best Management Practices For Construction

Best Management Practices for the

- General contractors
- Site supervisors
- Inspectors
- Home builders
- Developers

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay.

As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Doing The Job Right

General Principals

- ☐ Keep an orderly site and ensure good housekeeping practices are used.
- ☐ Maintain equipment properly.
- ☐ Cover materials when they are not in use.
- ☐ Keep materials away from streets, storm drains and drainage channels.
- ☐ Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- ☐ Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the *Erosion and Sediment Control Manual*, available from the Regional Water Quality Control Board, as a reference.
- ☐ Control the amount of runoff crossing your site (especially during excavation!) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water velocities by constructing temporary check dams or berms where appropriate.
- ☐ Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

Good Housekeeping Practices

- ☐ Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, bermed if necessary. Make major repairs off site.
- ☐ Keep materials out of the rain – prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- ☐ Keep pollutants off exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.
- ☐ Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- ☐ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site.
- ☐ Set portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.

Materials/Waste Handling

- ☐ Practice Source Reduction -- minimize waste when you order materials. Order only the amount you need to finish the job.
- ☐ Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- ☐ Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

Permits

- ☐ In addition to local building permits, you will need to obtain coverage under the State's General Construction Activity Storm water Permit if your construction site disturbs one acre or more. Obtain information from the Regional Water Quality Control Board.

Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry

Best Management Practices for the

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- ☐ Schedule excavation and grading work during dry weather.
- ☐ Perform major equipment repairs away from the job site.
- ☐ When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- ☐ Do not use diesel oil to lubricate equipment parts, or clean equipment.

Practices During Construction

- ☐ Remove existing vegetation only when absolutely necessary. Plant *temporary* vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's *Erosion and Sediment Control Field Manual* for proper erosion and sediment control measures.

Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site *and* slow the flow with check dams or roughened ground surfaces.

Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation.

Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

- ☐ Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

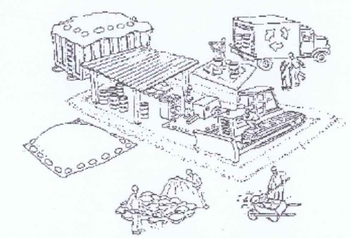
Dewatering Operations

1. ***Check for Toxic Pollutants***
   - ☐ Check for odors, discoloration, or an oily sheen on groundwater.
   - ☐ Call your local wastewater treatment agency and ask whether the groundwater must be tested.
   - ☐ If contamination is suspected, have the water tested by a certified laboratory.
   - ☐ Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer, OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility.
2. ***Check for Sediment Levels***
   - ☐ If the water is clear, the pumping time is less than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain.
   - ☐ If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for guidance.
   - ☐ If the water is not clear, solids must be filtered or settled out by pumping to a settling tank prior to discharge. Options for filtering include:
     - Pumping through a perforated pipe sunk part way into a small pit filled with gravel;
     - Pumping from a bucket placed below water level using a submersible pump;
     - Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.
   - ☐ When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Best Management Practices for the Construction Industry



Santa Clara Urban Runoff Pollution Prevention Program

DESIGNED BY: LARRY LIND	APPROVED BY: CITY OF LOS ALTOS		DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHEN	CITY ENGINEER	48056 R.C.E.	SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET	OF SHEETS	DRAWING NO:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THAT CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

REVISIONS | BY | CITY | DATE

REGISTERED PROFESSIONAL ENGINEER PORFIRIO OSCAR OSUNA No. 70829 Exp. 6-30-25 CIVIL STATE OF CALIFORNIA

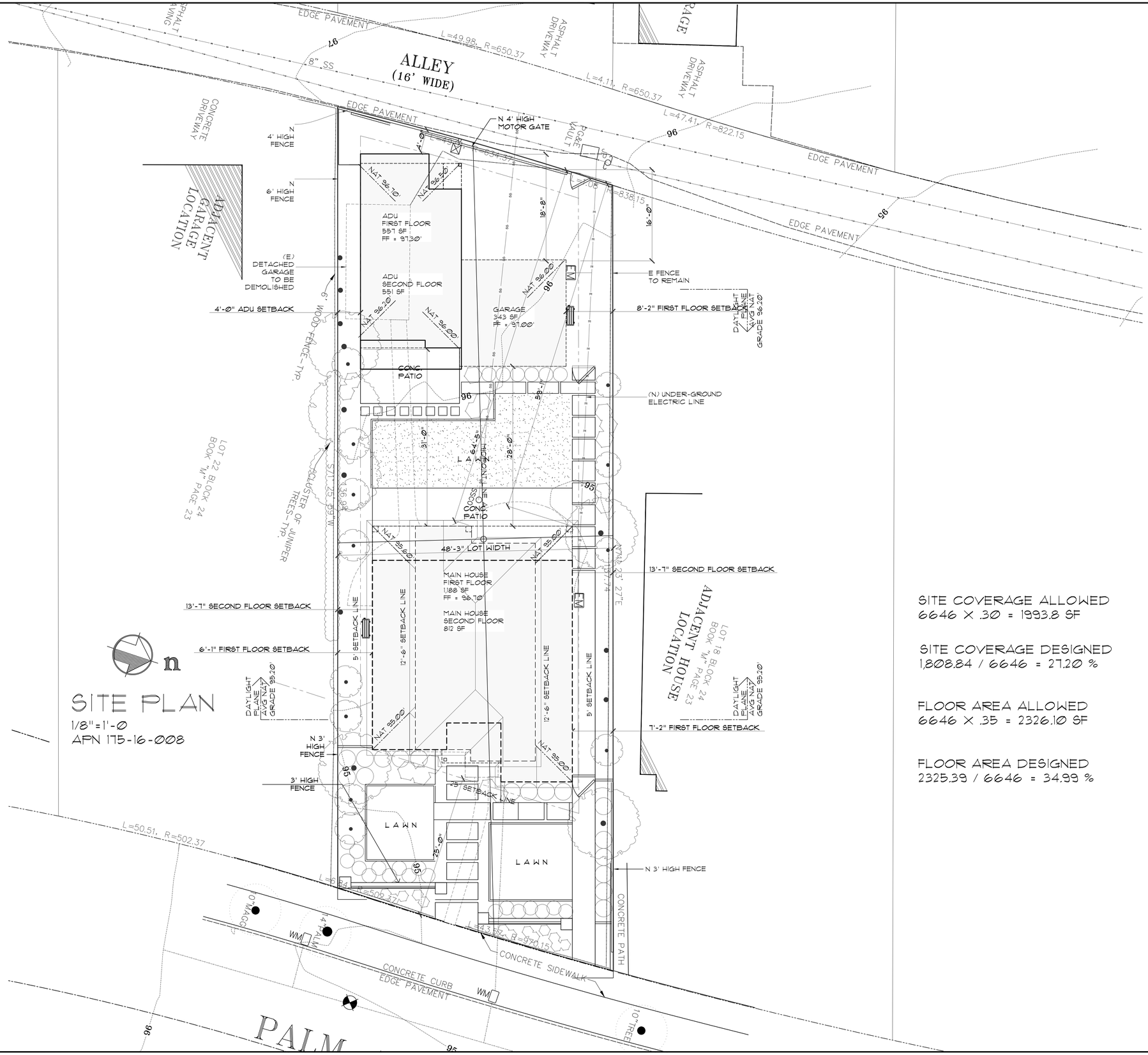
P. Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-25

OSUNA ENGINEERING INC.
Planning | Surveying | Civil Engineering
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
1949 OTOOLE WAY
SAN JOSE, CA 95131
TEL. (408) 721-2100
info@osunaengineering.com

CONCEPTUAL GRADING & DRAINAGE PLAN
BMP SHEET
562 PALM AVE
LOS ALTOS, CALIFORNIA

Project No.: 3091 | Designed: T.M.N. | Checked: O.O. | Date: 7/29/24

SHEET C4 OF 5 SHEETS



SITE PLAN

1/8" = 1'-0

APN 175-16-008

SITE COVERAGE ALLOWED
6646 X .30 = 1993.8 SF

SITE COVERAGE DESIGNED
1,808.84 / 6646 = 27.20 %

FLOOR AREA ALLOWED
6646 X .35 = 2326.10 SF

FLOOR AREA DESIGNED
2325.39 / 6646 = 34.99 %

Revisions	By

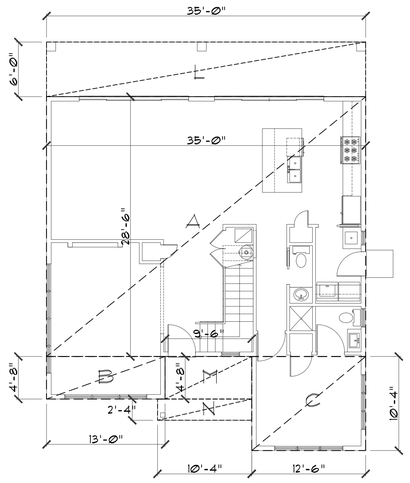
INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3550 Stevens creek Blvd, Ste 225
San Jose, CA 95117
Phone: (408) 985-1078 Fax: (408) 985-1343
E-Mail: inncpt@sbcglobal.net

Residence for:
A New Single-Family Residence
Wen Shiau
562 Palm Ave.
Los Altos, CA. 94022

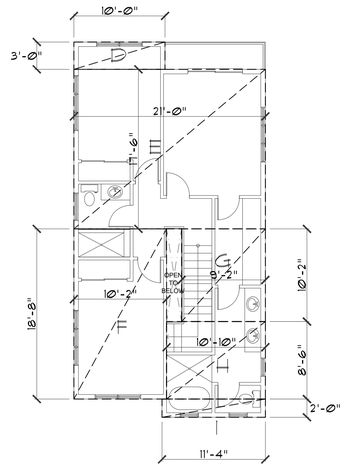
Date 06/18/2024
Scale NOTED
Drawn GF
Job
Sheet A0
Of Sheets

FLOOR AREA DIAGRAM

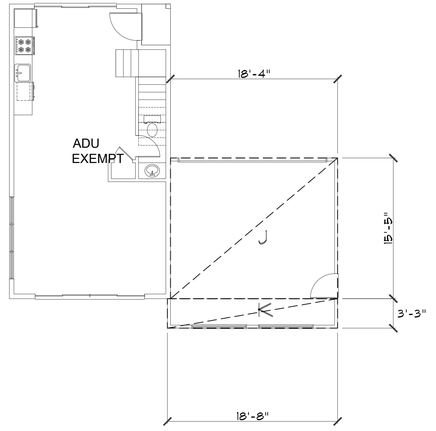
1/8"=1'-0



FIRST FLOOR



SECOND FLOOR



ADU FIRST FLOOR

TOTAL SITE AREA:
6,646± SF

FLOOR AREA

A:	35.0	X	28.5	= 997.5
B:	4.66	X	13.0	= 60.58
C:	12.50	X	10.33	= 129.13
D:	10.0	X	3.00	= 30.0
E:	21.0	X	17.5	= 367.5
F:	10.16	X	18.66	= 189.59
G:	9.16	X	10.16	= 93.07
H:	10.83	X	8.50	= 92.06
I:	11.33	X	2.00	= 22.66
J:	18.33	X	15.42	= 282.65
K:	18.66	X	3.25	= 60.65

TOTAL FLOOR AREA = 2,325.39

2,325.39 / 6,646 = 0.349 (34.9%)

LOT COVERAGE:

A:	35.0	X	28.5	= 997.5
B:	4.66	X	13.0	= 60.58
C:	12.50	X	10.33	= 129.13
J:	18.33	X	15.42	= 282.65
K:	18.66	X	3.25	= 60.65
L:	6.0	X	35.0	= 210.0
M:	4.66	X	9.5	= 44.27
N:	2.33	X	10.33	= 24.06

TOTAL COVERAGE = 1,808.84

1,808.84 / 6,646 = 0.272 (27.2%)

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	1,184 SF	1808.84 SF	1,993.8 SF
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1,159 SF	2,325.39 SF	2,326.1 SF
SETBACKS:			
FRONT 1ST FLOOR	25'-4"	25'-0"	25'-0"
FRONT 2ND FLOOR		25'-0"	25'-0"
REAR 1ST FLOOR	74'-1"	59'-1"	25'-0"
REAR 2ND FLOOR		64'-5"	25'-0"
RIGHT SIDE 1ST FL	7'-4"	7'-2"	5'-0"
RIGHT SIDE 2ND FL		13'-7"	12'-6"
LEFT SIDE 1ST FL	8'-2"	6'-1"	5'-0"
LEFT SIDE 2ND FL		13'-7"	12'-6"
HEIGHT:			

Revisions

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
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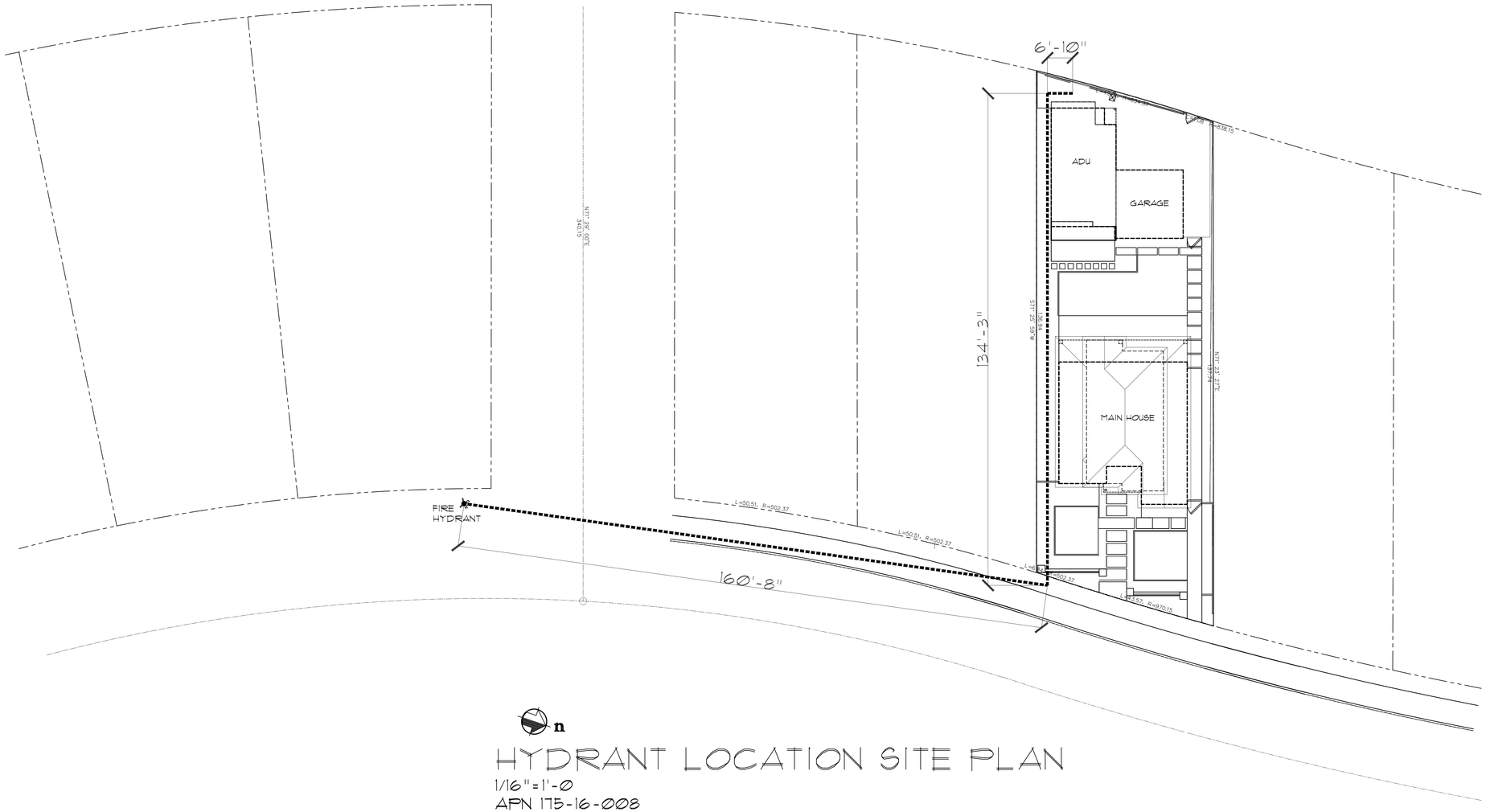
E-Mail: inncpt@sbcglobal.net

A New Single-Family Residence for:
Wen Shiau
562 Palm Ave.
Los Altos, CA. 94022

Date 06/18/2024
Scale NOTED
Drawn GF
Job
Sheet A0.1
Of Sheets



HYDRANT LOCATION SITE PLAN

1/16"=1'-0

APN 175-16-008

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Revisions

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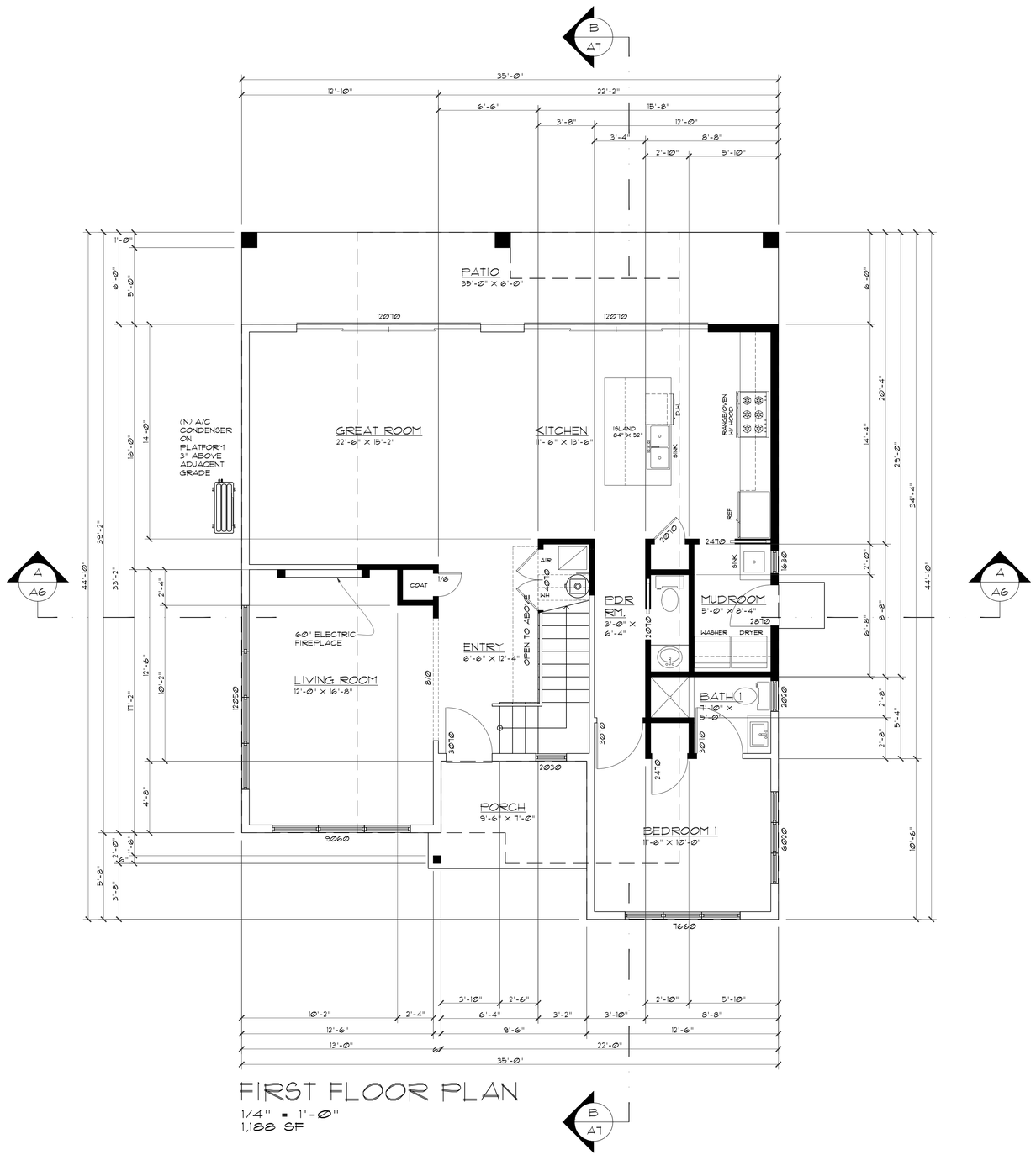
Drawn GF
Job
Sheet A0.2
Of Sheets



FIRST FLOOR PLAN

1/4" = 1'-0"
1,188 SF

B
A7

Revisions

INNOVATIVE CONCEPTS
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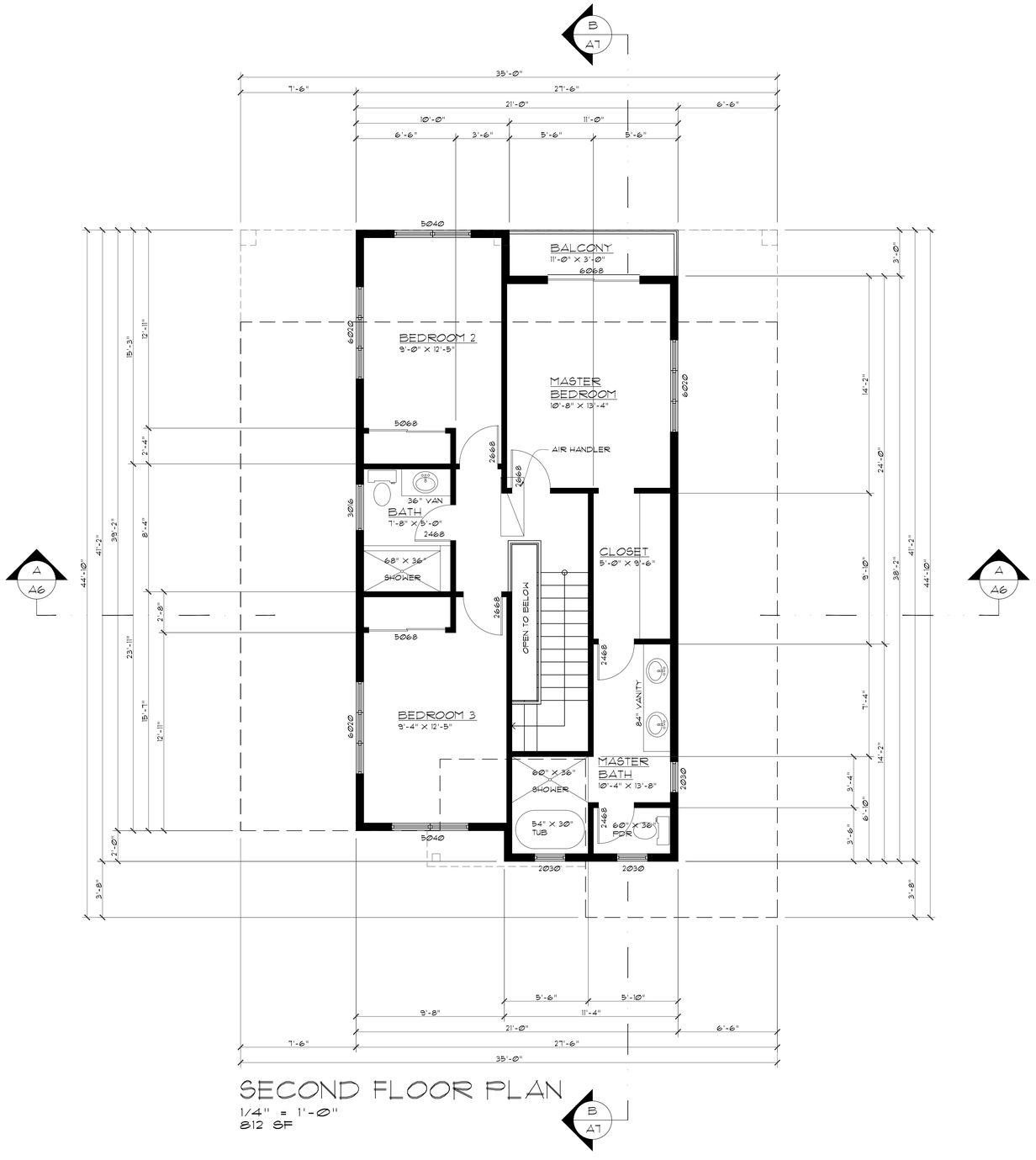
Date: 06/18/2024
Scale: NOTED
Drawn: GF
Job:
Sheet: A1
Of Sheets



SECOND FLOOR PLAN

1/4" = 1'-0"
812 SF

Revisions

INNOVATIVE CONCEPTS
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Job
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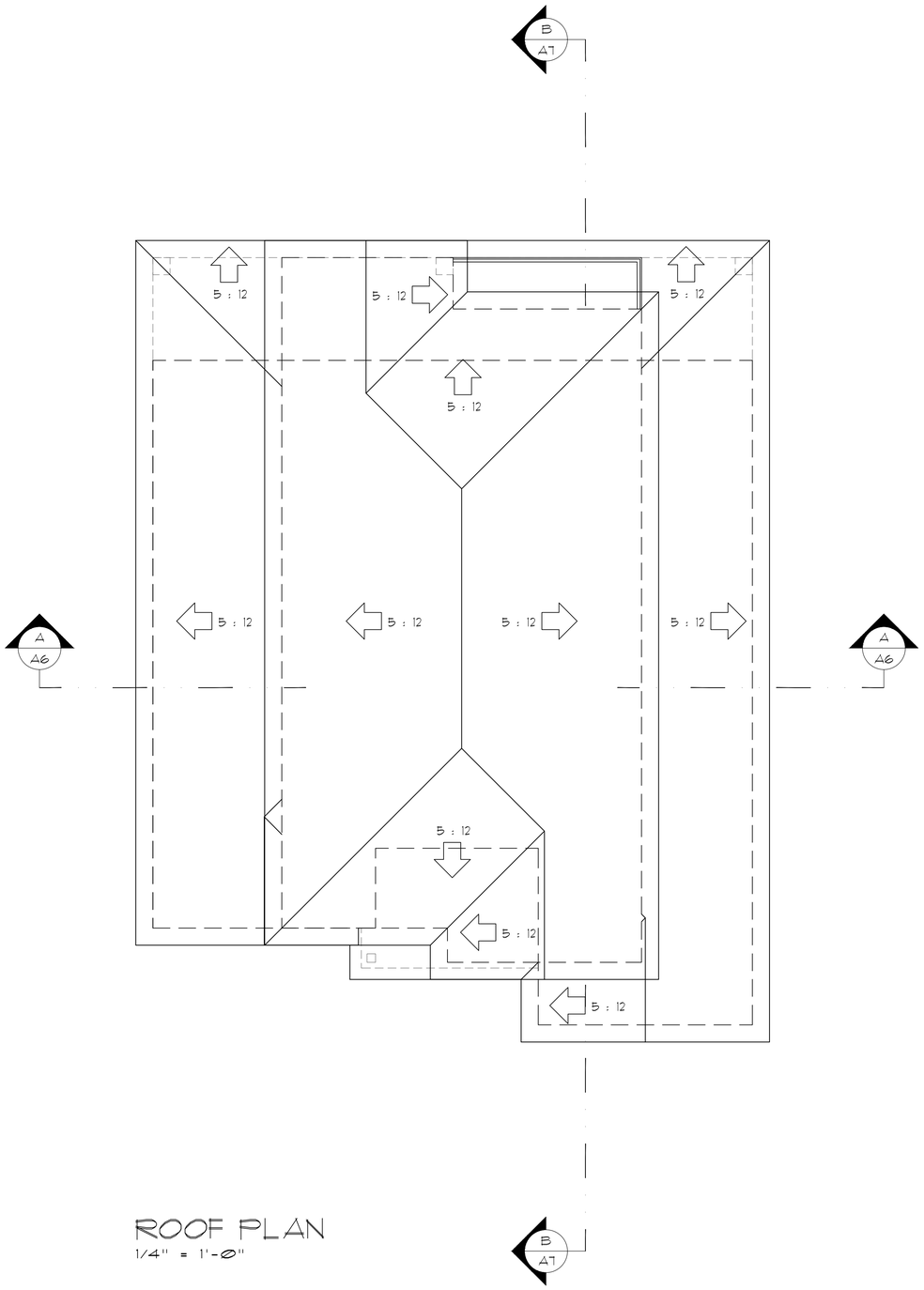
Of Sheets



ROOF PLAN

1/4" = 1'-0"

Revisions

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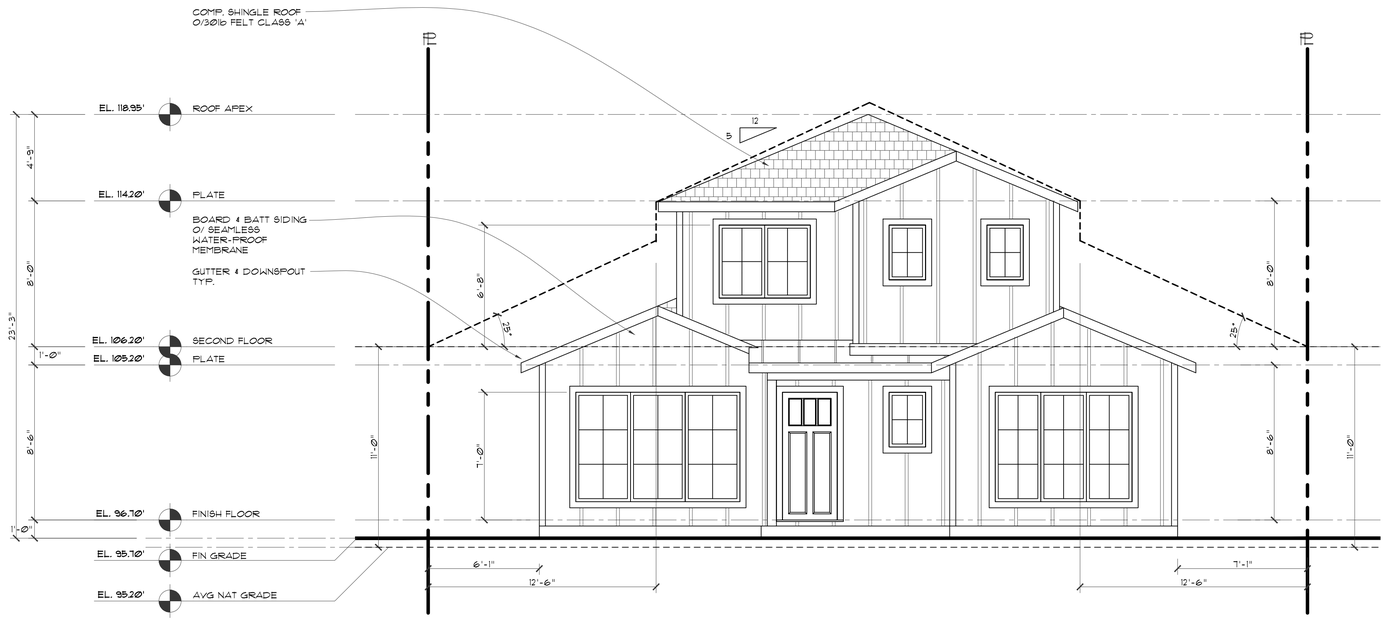
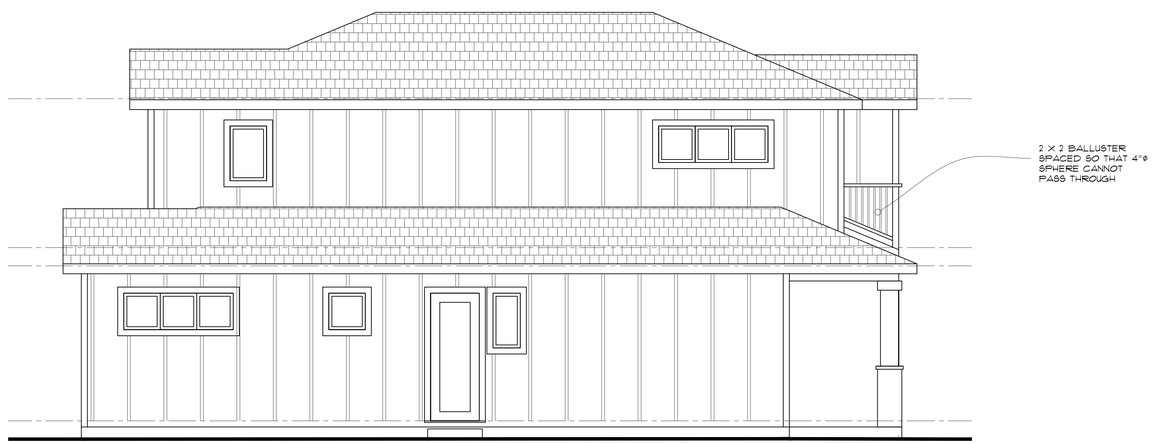
Job
Sheet A3
Of Sheets



FRONT ELEVATION

1/4" = 1'-0"



RIGHT-SIDE ELEVATION

1/4" = 1'-0"

Revisions

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Date 06/18/2024

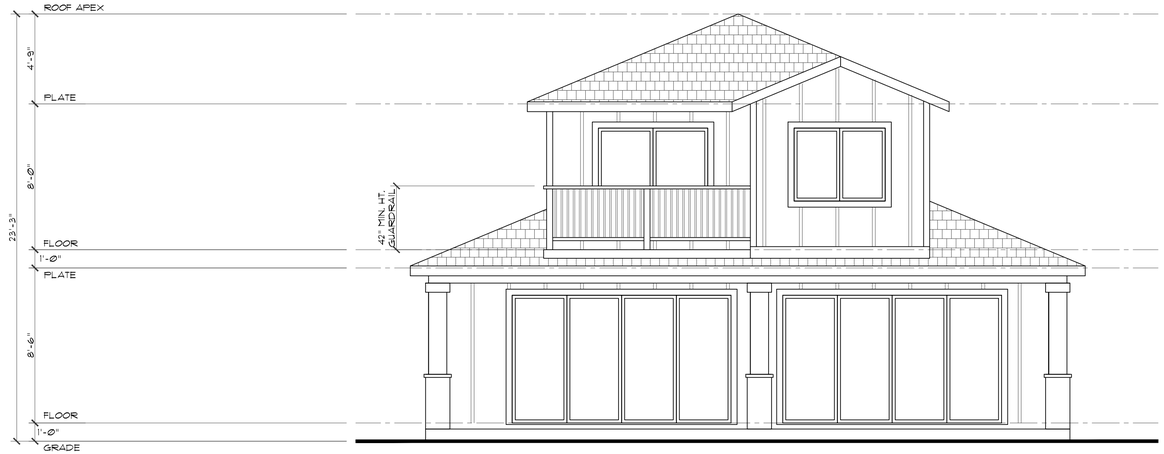
Scale NOTED

Drawn GF

Job

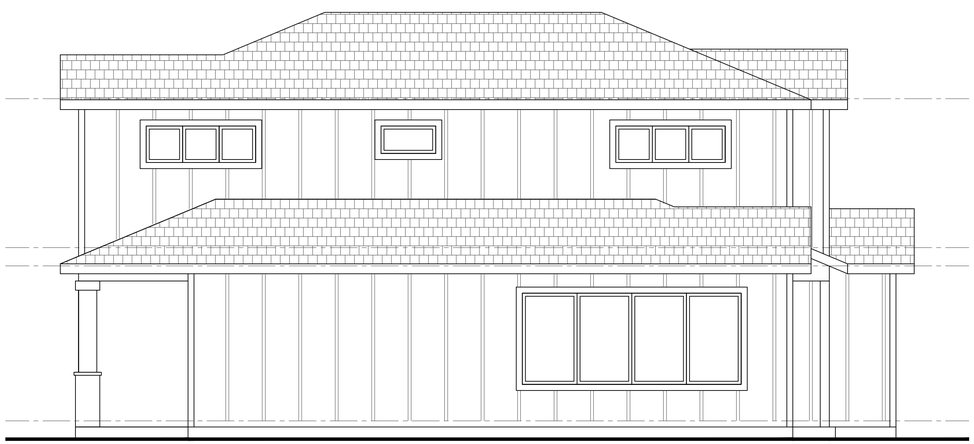
Sheet A4

Of Sheets



REAR ELEVATION

1/4" = 1'-0"



LEFT-SIDE ELEVATION

1/4" = 1'-0"

Revisions

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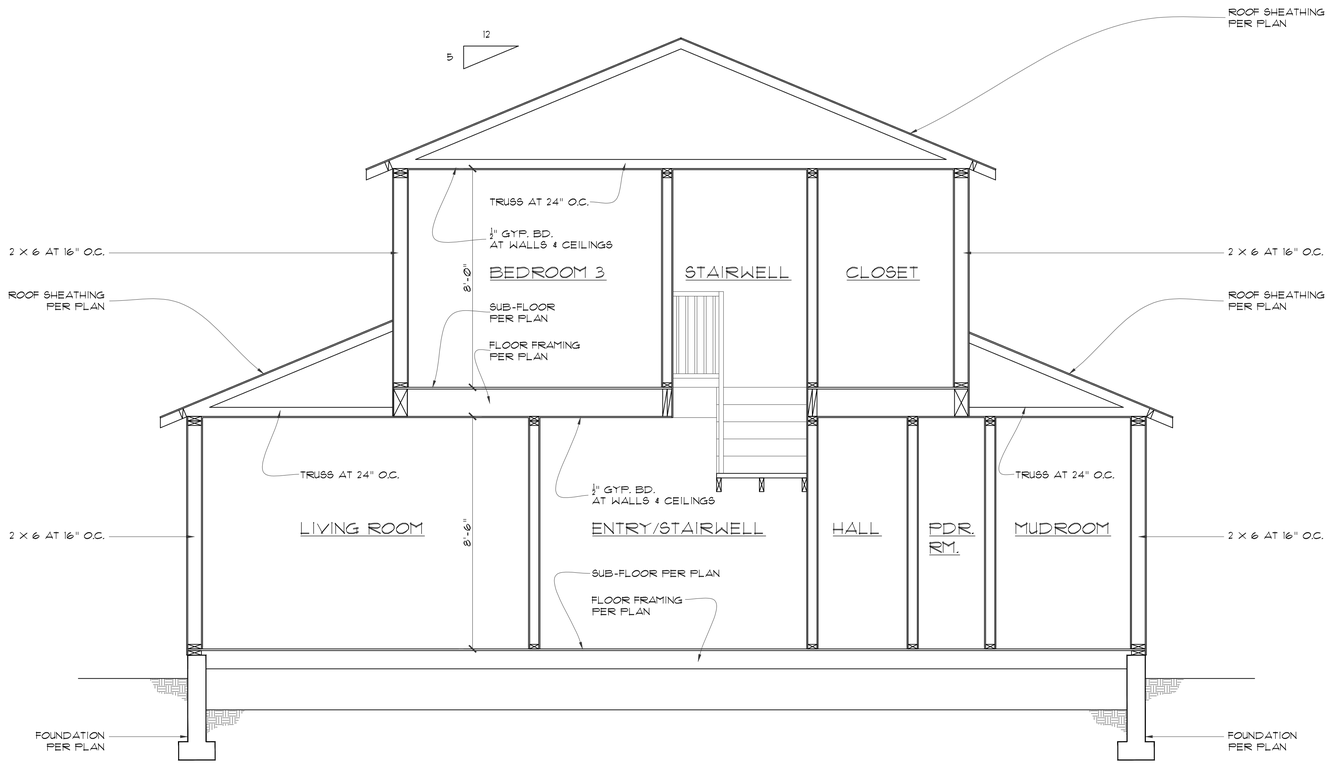
Drawn GF
Job
Sheet A5
Of Sheets



SECTION 'A' - 'A'

3/8" = 1'-0"

Revisions

INNOVATIVE CONCEPTS
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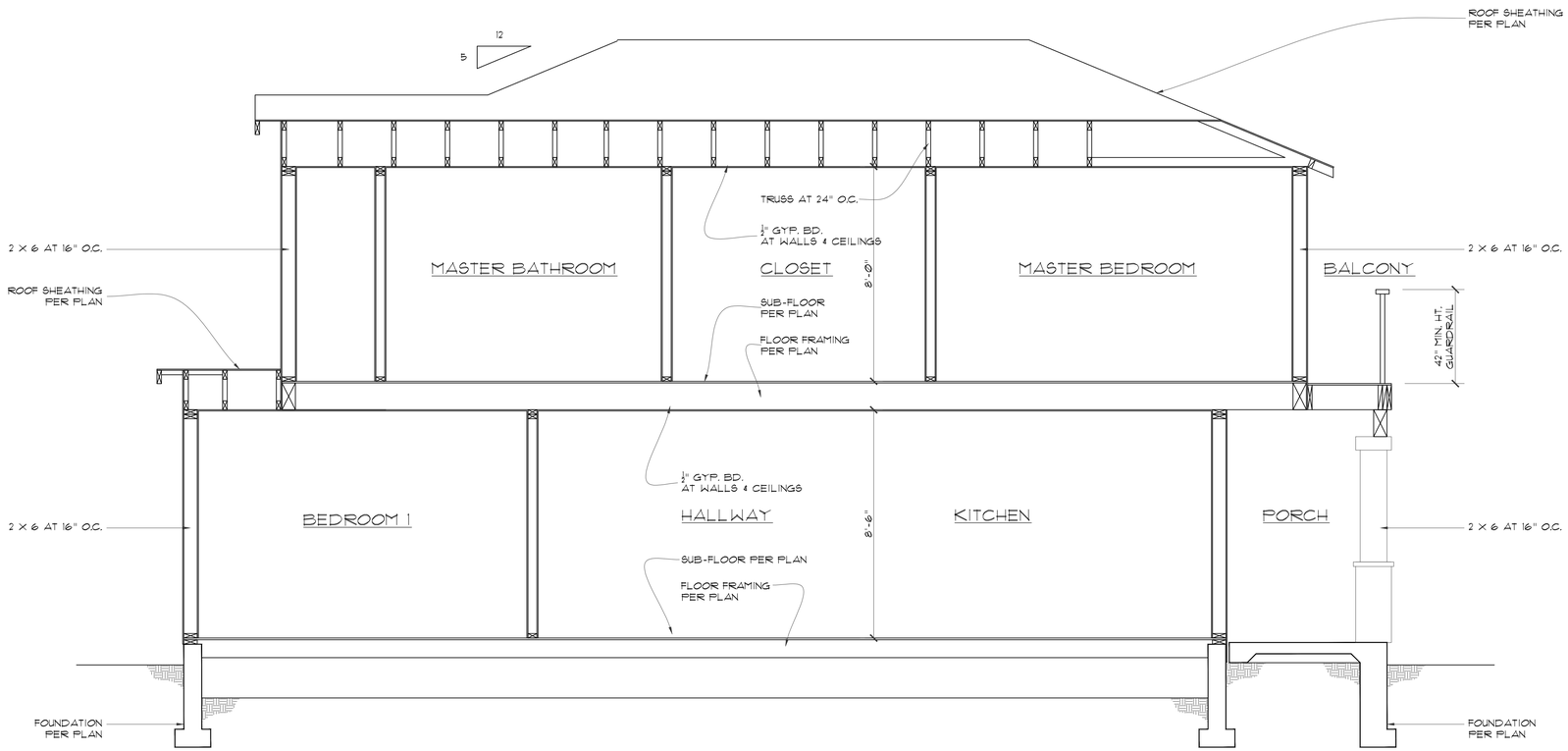
Drawn GF
Job
Sheet A6
Of Sheets



SECTION 'B' - 'B'

3/8" = 1'-0"

Revisions

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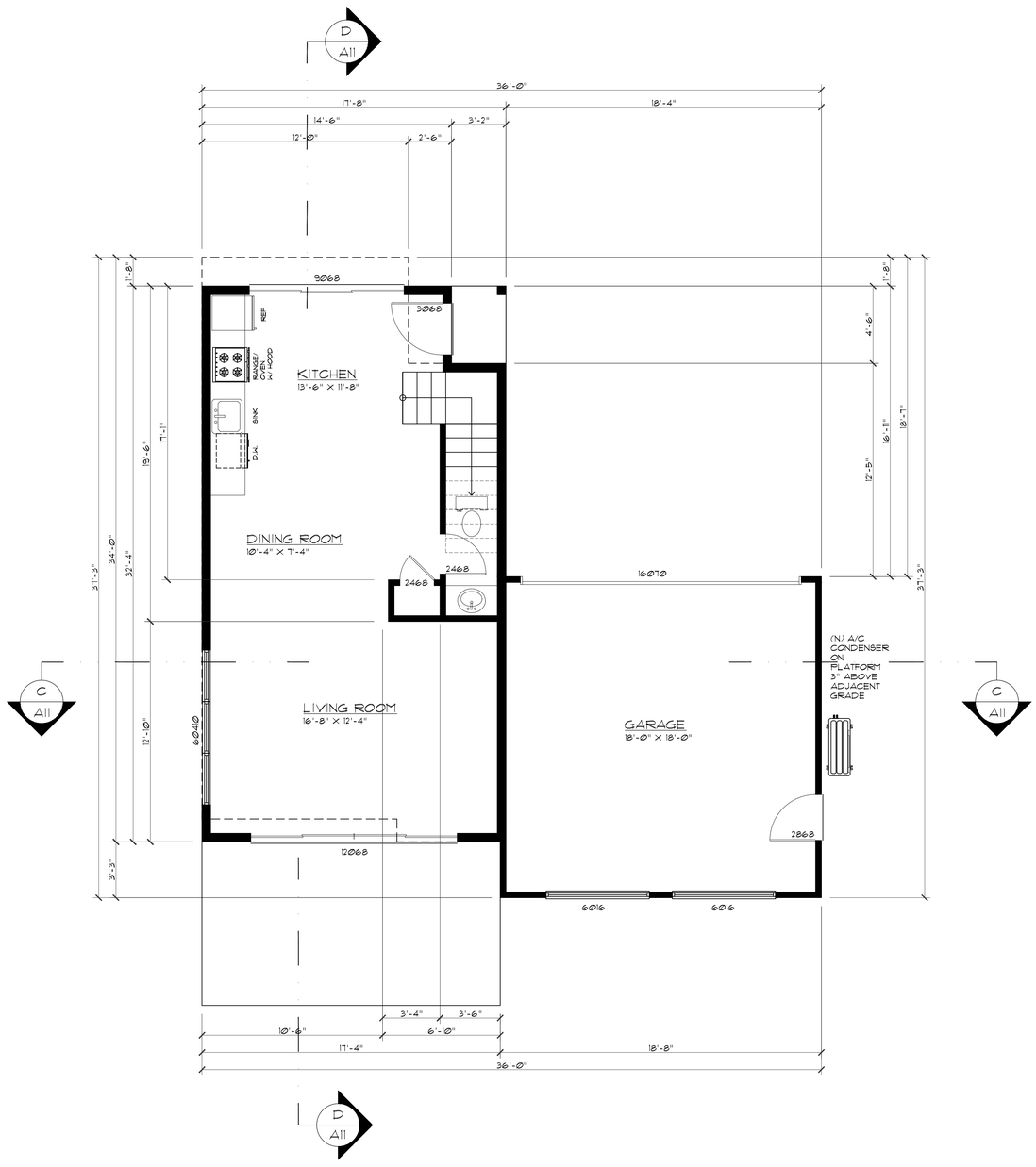
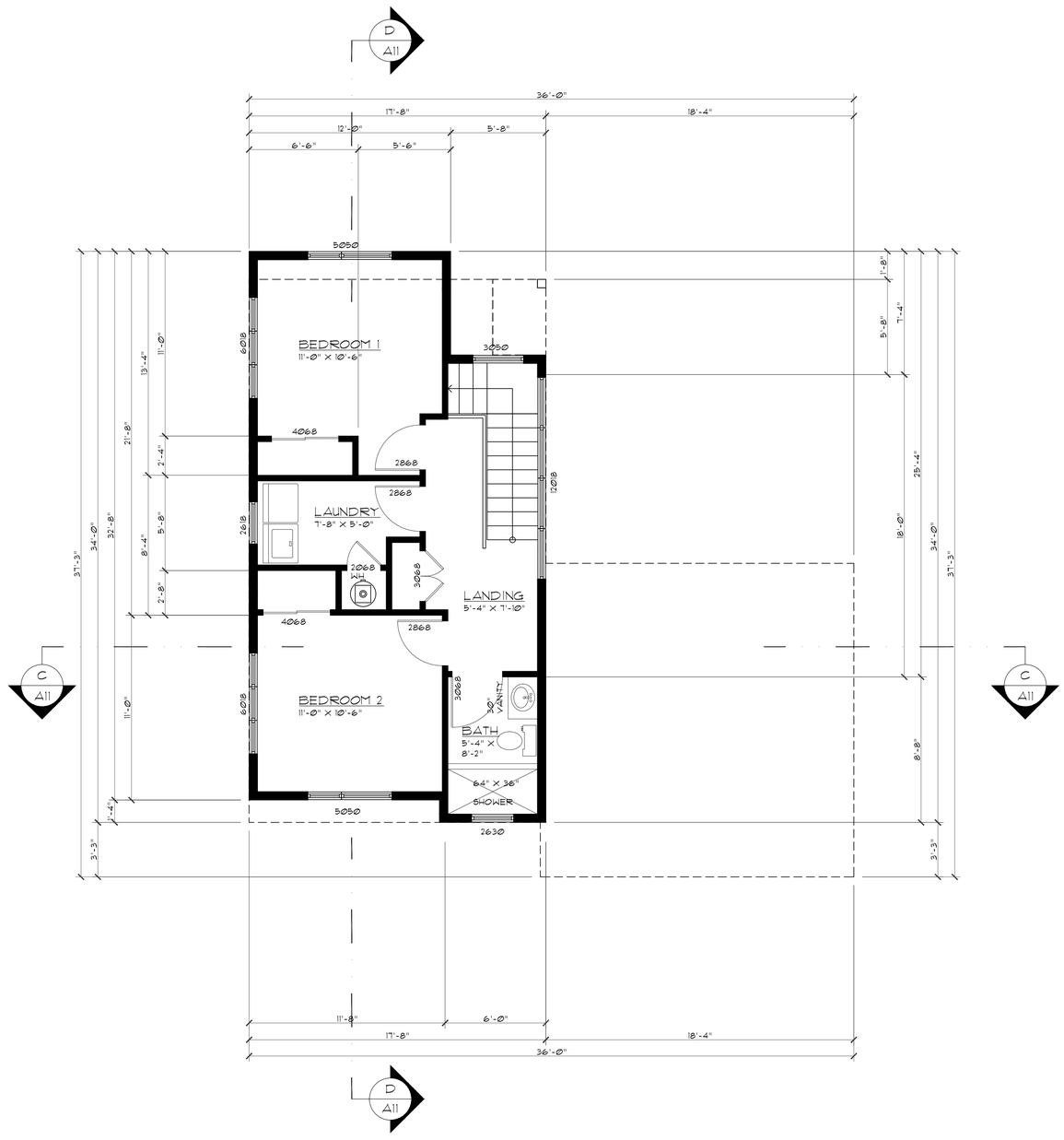


ADU FIRST FLOOR PLAN

1/4" = 1'-Ø"

557 SF GARAGE 343 SF



ADU SECOND FLOOR PLAN

1/4" = 1'-Ø"

551 SF

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
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Revisions

A New Single-Family Residence for:
Wen Shiau
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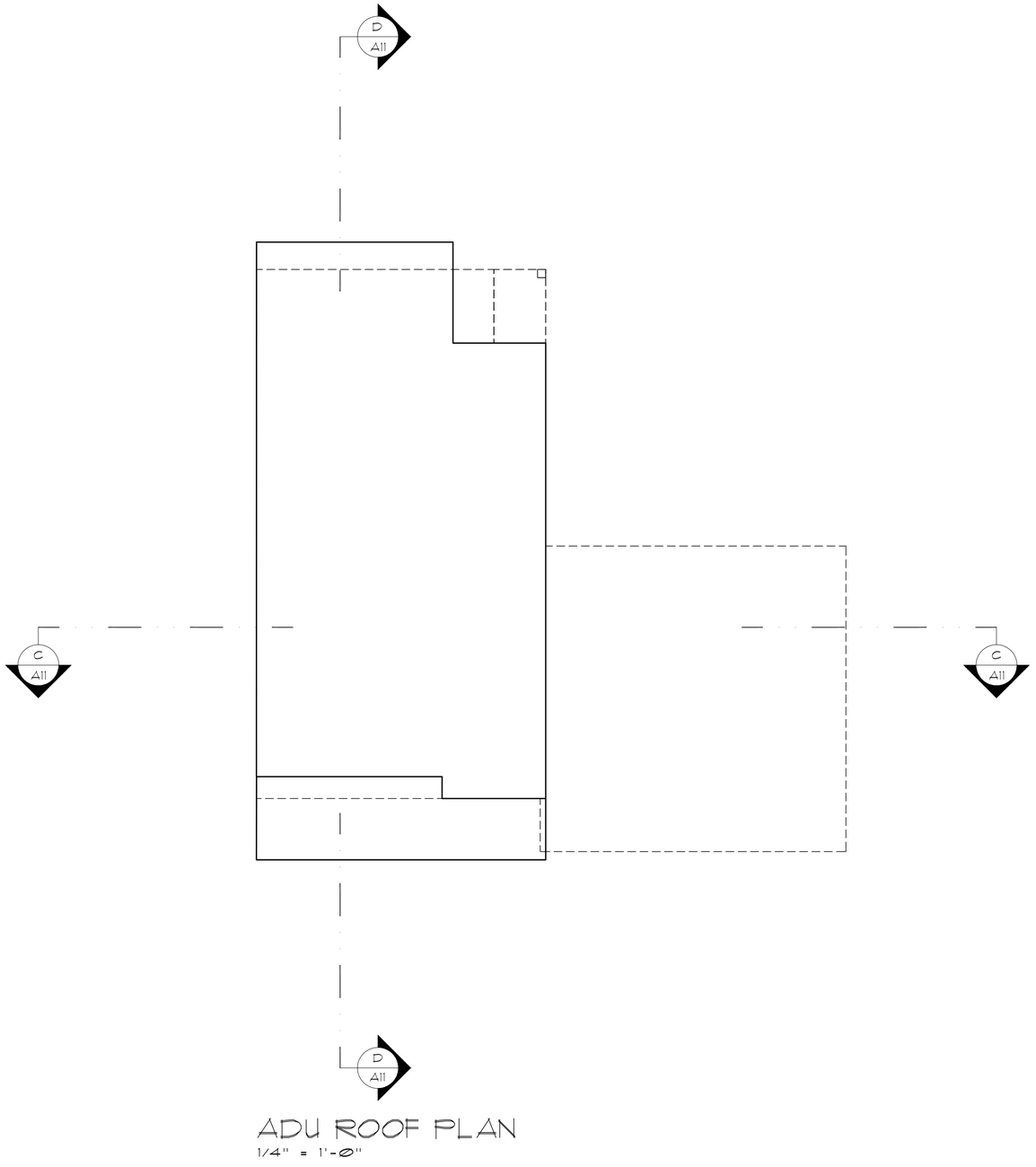
Los Altos, CA. 94022

Date 06/18/2024
Scale NOTED
Drawn GF
Job
Sheet A8
Of Sheets



ADU ROOF PLAN

1/4" = 1'-0"

Revisions

INNOVATIVE CONCEPTS
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Sheet A9
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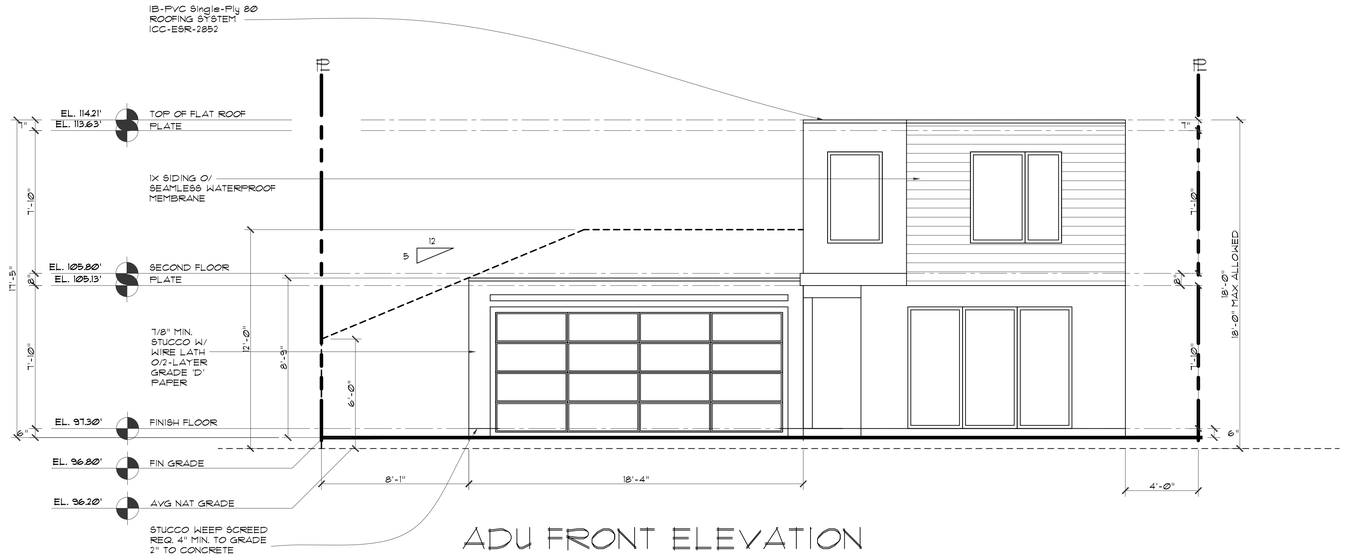
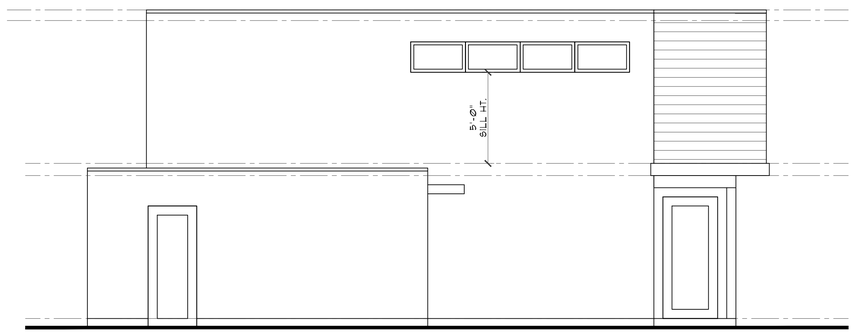


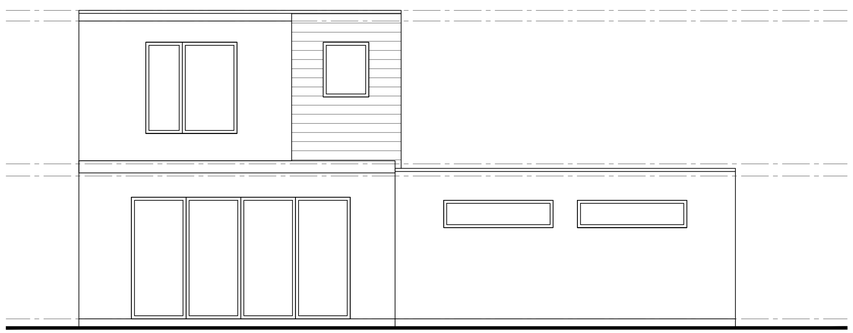
ADU FRONT ELEVATION

1/4" = 1'-0"



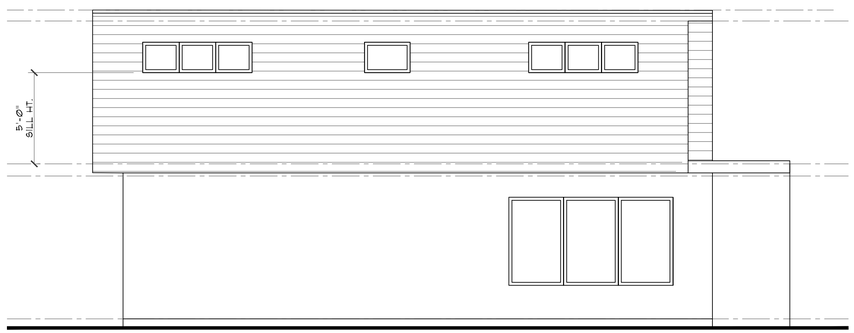
ADU LEFT-SIDE ELEVATION

1/4" = 1'-0"



ADU REAR ELEVATION

1/4" = 1'-0"



ADU RIGHT-SIDE ELEVATION

1/4" = 1'-0"

Revisions

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PROFESSIONAL BUILDING DESIGN AND PLANNING
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Drawn GF
Job
Sheet A10
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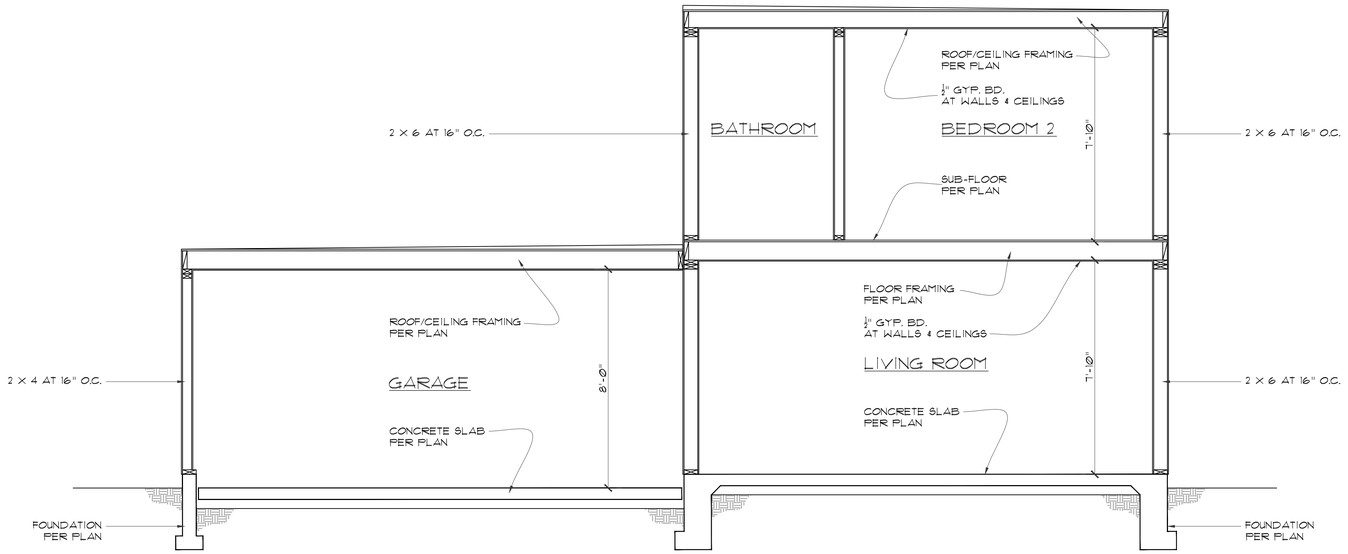
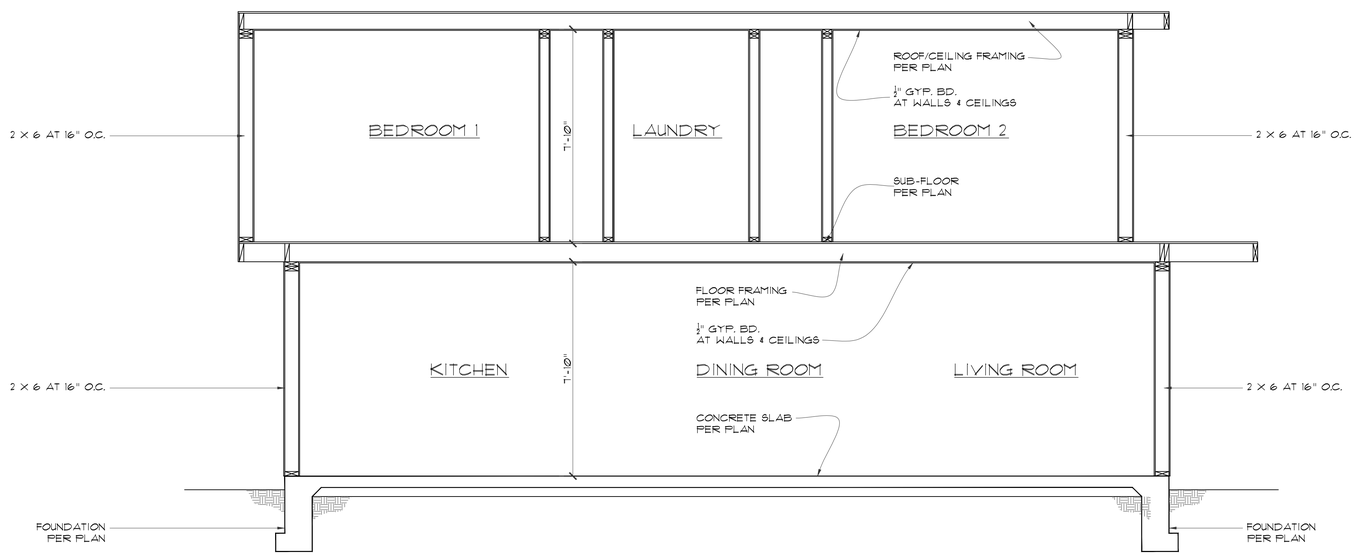


SECTION 'C' - 'C'

3/8" = 1'-Ø"



SECTION 'D' - 'D'

3/8" = 1'-Ø"

Revisions

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PROFESSIONAL BUILDING DESIGN AND PLANNING
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Job
Sheet A11
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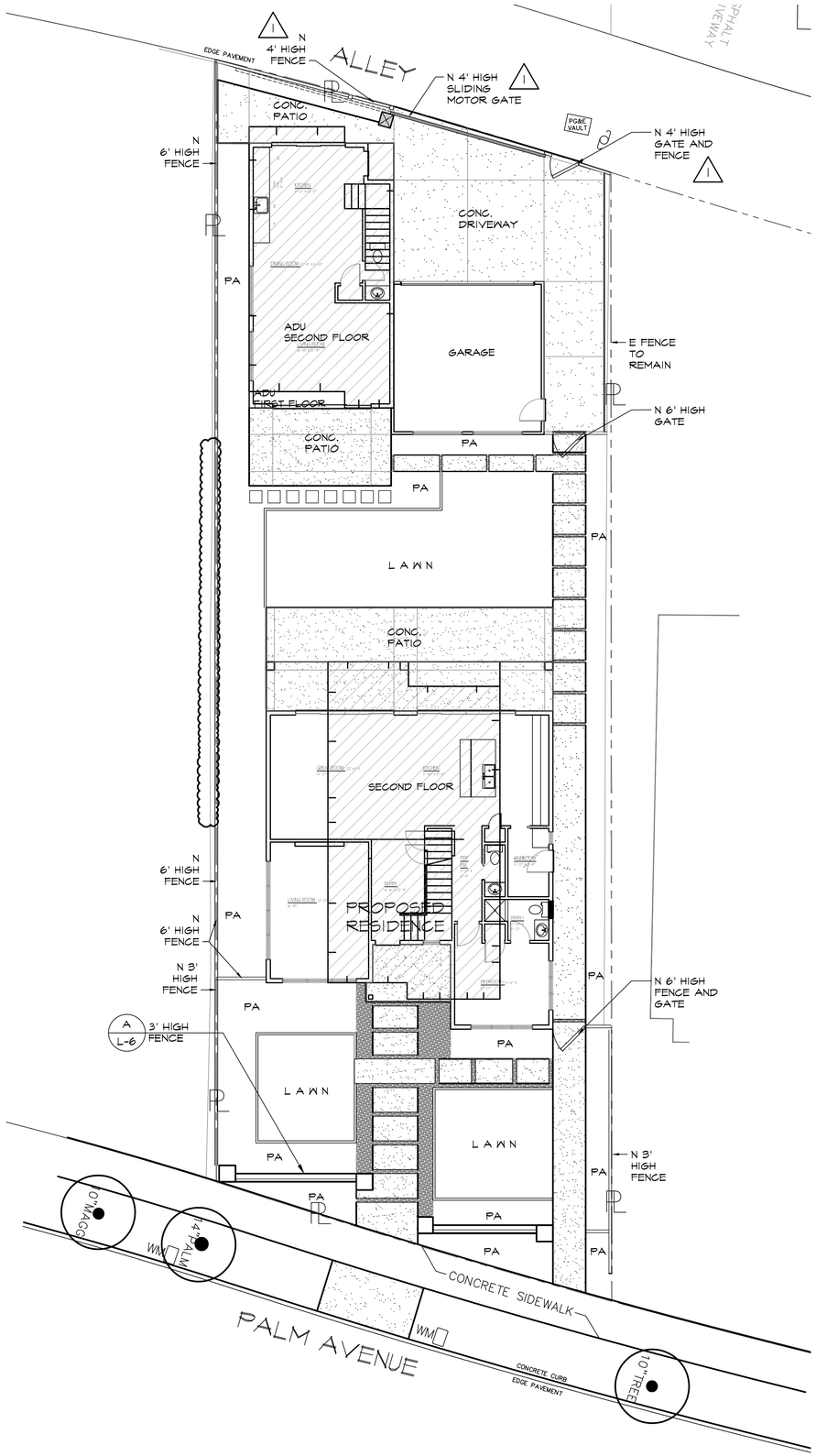


MATERIALS LEGEND

CONCRETE PATIO AND CONCRETE PADS AS SHOWN ON PLAN.
COLORS TO BE SELECTED BY OWNER
STONE TO BE MORTARED ON 4" MIN THICK CONC. BASE
SUB BASE TO BE 6" MIN CLASS 3 BASEROCK ON DRIVEWAY
SUB BASE TO BE 4" MIN CLASS 3 BASEROCK ON WALKS
JOINTS TO BE COBBLES LABELED BELOW

1-1/2" NOIYO COBBLES SET ON LANDSCAPE FABRIC
WHERE SHOWN ON PLAN. COBBLES FINISH HEIGHT
TO BE FLUSH WITH CONCRETE PADS.

3' HIGH FRONT YARD FENCE ON CMU BLOCK WALL
SEE DETAILS

STEEL LANDSCAPE EDGING WHERE SHOWN ON PLAN

18" CONCRETE STEPPING STONES WHERE SHOWN ON PLAN

NEW FENCING AND GATE WHERE SHOWN ON PLAN
SEE PLAN FOR FENCING HEIGHTS

6' HIGH SLIDING IRON MOTOR GATE FOR REAR DRIVEWAY
INSTALL AS SHOWN ON PLAN.
INSTALL TO MANUFACTURERS SPECIFICATION.

General Project Notes

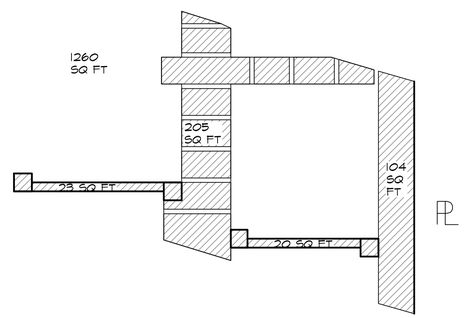
1. I Agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package 7/11/2024
2. Recirculating water systems shall be used for water features.
3. I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans
4. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation Controller for subsequent managment purposes.
5. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plan or licensed landscape contractor for the project.
6. An irrigation audit report shall be completed at the time of final inspection. Submit this report to City of Cupertino Planning for review and acceptance.
7. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.

Todd Kalbfeld
Professional Landscape Designer 7/11/2024

562 PALM AVENUE
LOS ALTOS, CALIFORNIA

FRONT YARD COVERAGE

A. N FREE STANDING WALL AND COLUMNS	43 SF
B. N WALKWAYS	309 SF
TOTAL FRONT YARD SQUARE FOOTAGE	1,260 SF
TOTAL ALLOWED: 50%	630 SF
TOTAL HARDSCAPE PROPOSED: 27.9%	352 SF



NORTH

Todd Kalbfeld Landscape Design
landscapeDesign & Construction Management
2345 TULIP ROAD SAN JOSE, CA 95125
(408) 605-9473

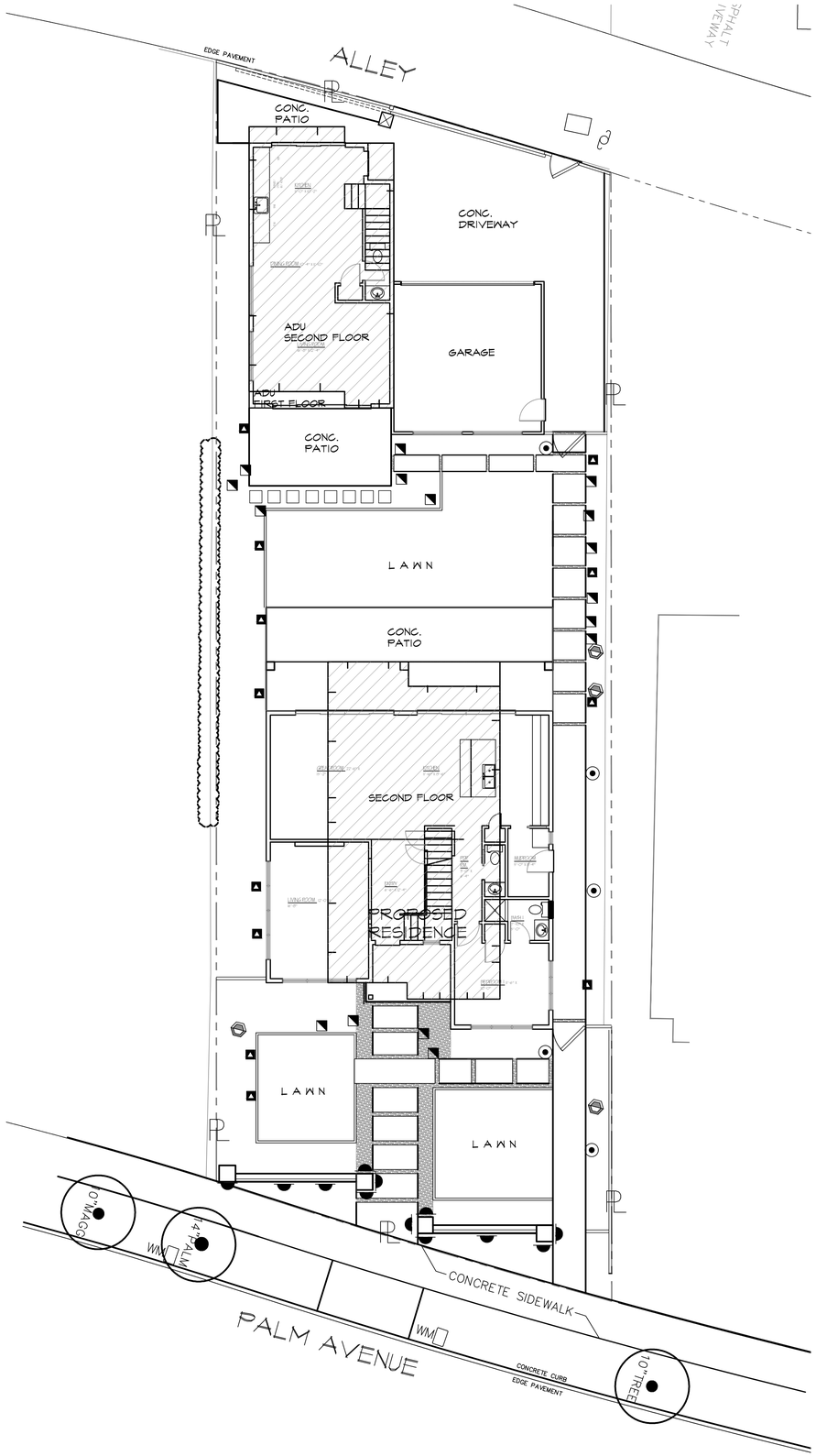
REVISIONS	BY
1 10/21/24	TK

TODD KALBFELD
PROFESSIONAL
LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE
562 PALM AVENUE, LOS ALTOS, CA

MATERIALS PLAN

DATE	JUNE / 2024
SCALE	1/8"=1'-0"
DRAWN	TK
JOB	PALM AVE
SHEET	L-1
OF	SHEETS



LIGHTING LEGEND

SYM.	QTY.	MANUFAC.	MODEL #	DESCRIPTION	VOLT.	WATTS
	4	Vista	GR-5004-4.5-W WF	SPOTLIGHT	12V	2.5W
	16	Vista	GR-5105-2-W-FR	SPOTLIGHT	12V	2W
	12	Vista	GR-5004-R 2.5-W 36	HIT COLUMN	12V	2.5W
	12	Vista	SL-4242-2.5-W-T3	STEPLIGHT	12V	2.5W
	5	Vista	PR-4704-2.5-W-T3	PATHLIGHT	12V	2.5W
	3	Vista	ES Series	TRANS.	120V	150

NORTH

Todd Kalbfeld Landscape Design
landscapeDesign & Construction Management
2345 TULIP ROAD, SAN JOSE, CA 95125
(408) 605-9473

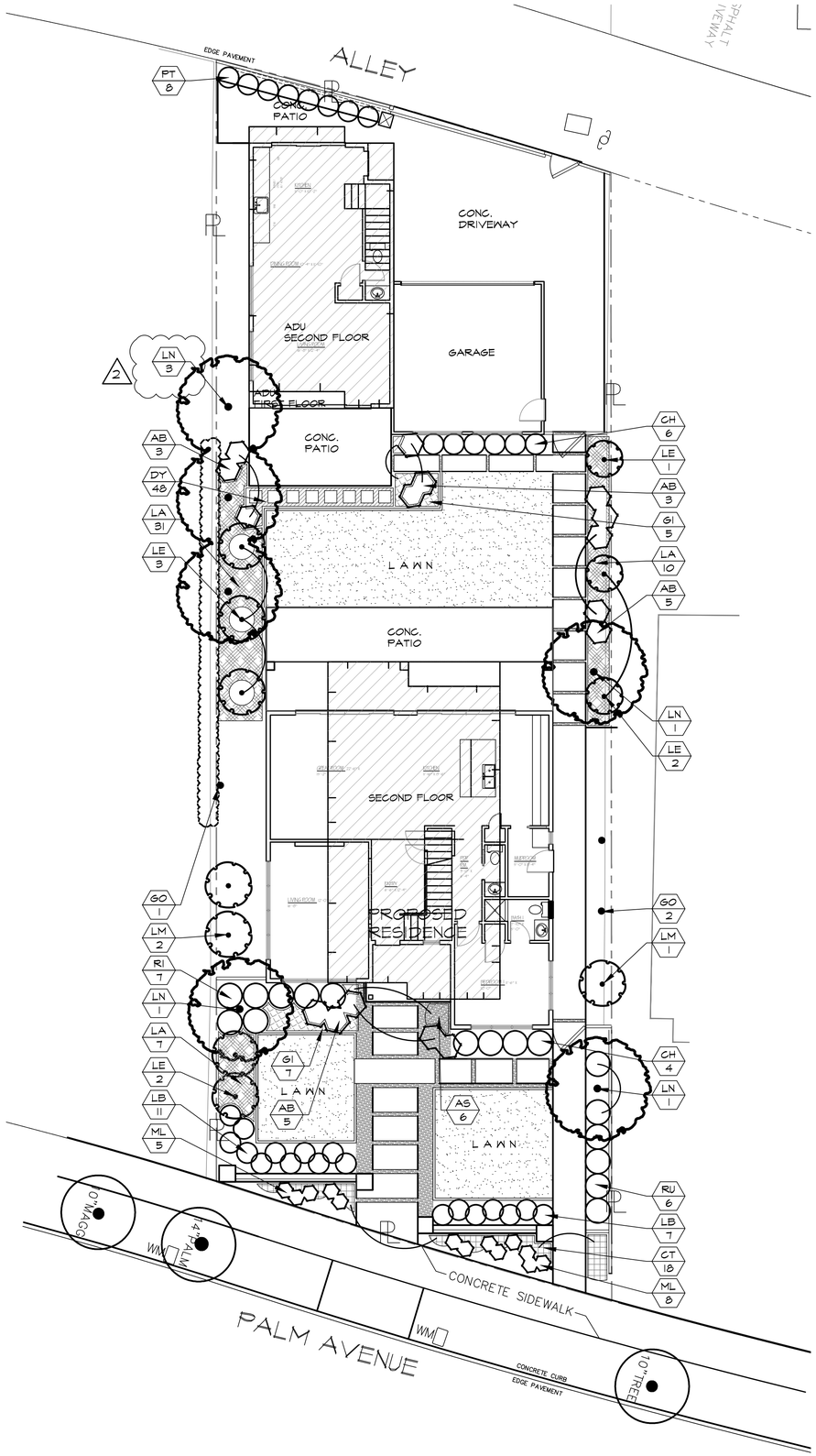
REVISIONS BY

TODD KALBFELD
PROFESSIONAL
LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE
562 PALM AVENUE, LOS ALTOS, CA

LAYOUT AND LIGHTING PLAN

DATE	JUNE / 2024
SCALE	1/8"=1'-0"
DRAWN	TK
JOB	PALM AVE
SHEET	L-2
OF	SHEETS



PLANT LEGEND

SYM.	SIZE	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS	WUCOLS P. F.
TREES						
LN	24" Bx	6	Laurus nobilis	Grecian Laurel	Standard	P.F. 0.2 Low
PT	15g	8	Laurus nobilis	Grecian Laurel Shrubs	Columnar	P.F. 0.2 Low
SHRUBS						
AB	15g	17	Agave a. 'Boutin Blue'	Blue Foxtail Agave		P.F. 0.2 Low
AS	1g	6	Aeoneum 'Sunburst'	Sunburst Aeonium	Space 16" o.c.	P.F. 0.2 Low
CH	5g	10	Chondropetalum tectorum	Cape Rush		P.F. 0.2 Low
LA	5g	48	Lavandula x 'Grosso'	Lavandin	Space 30" o.c.	P.F. 0.2 Low
LB	5g	18	Lomandra c. spp. r. 'Seascape'	Seascape Mat Rush	Space 30" o.c.	P.F. 0.2 Low
LE	15g	8	Leucodendron 'Sunset'	Cone Bush		P.F. 0.2 Low
LM	15g	3	Lavatera maritima	Tree Mallow		P.F. 0.2 Low
ML	2g	13	Mangave Lavender Lady	NCN		P.F. 0.2 Low
RI	5g	7	Rhaphiolepis 'Pink Lady'	Indian Hawthorne		P.F. 0.2 Low
RU	5g	6	Rhaphiolepis umbellata	Yeddo Hawthorn		P.F. 0.2 Low
VINES AND GROUND COVERS						
CT	1g	18	Carex testacea	Orange Sedge	Space 24" o.c.	P.F. 0.2 Low
DY	4"	48	Dymondia margaretae	Silver Carpet	Space 16" o.c.	P.F. 0.2 Low
GI	1g	12	Lantana m. 'Yellow'	Yellow Lantana	Space 30" o.c.	P.F. 0.2 Low
GO	5g	3	Grewia occidentallis 'Staked'	Lavender Starflower 'Staked'		P.F. 0.2 Low

Planting Notes

1. All trees 15 gallons or larger to receive (2) 2"x10' Lodge Pole Pine Stakes with (1) 1"x4" backer board nailed to stakes. Tie all trees to stakes with rubber ties at mid point of trunk, and right below branck crotch. Nail with galvanized roofing nails.
2. Provide deep watering/inspection tubes on all trees. Water basins should be sufficient enough to contain water at base of tree, as necessary.
3. Fertilizer tablets shall be placed at the mid-point of root ball per manu. recommendation.
4. Rototill and amend entire planting site with 6" or more of compost into top 6"-12" of existing soil as necessary for planting needs.
   For All soils:
   compost at a rate of a min. of 4 cubic inches per 1000 square feet of permeable area shall be incorporated to a depth of 6" of soil.
5. Provide Min. 3" of shredded mulch under all trees, shrubs and unplanted areas for water conservation.

General Project Notes

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Todd Kalbfeld
Professional Landscape Designer 7/11/2024

NORTH

Todd Kalbfeld Landscape Design
landscapeDesign & Construction Management
2345 TULIP ROAD, SAN JOSE, CA 95126
(408) 605-9473

REVISIONS	BY
2 12/10/24	TK

TODD KALBFELD
PROFESSIONAL
LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE
562 PALM AVENUE, LOS ALTOS, CA

PLANTING PLAN

DATE	JUNE / 2024
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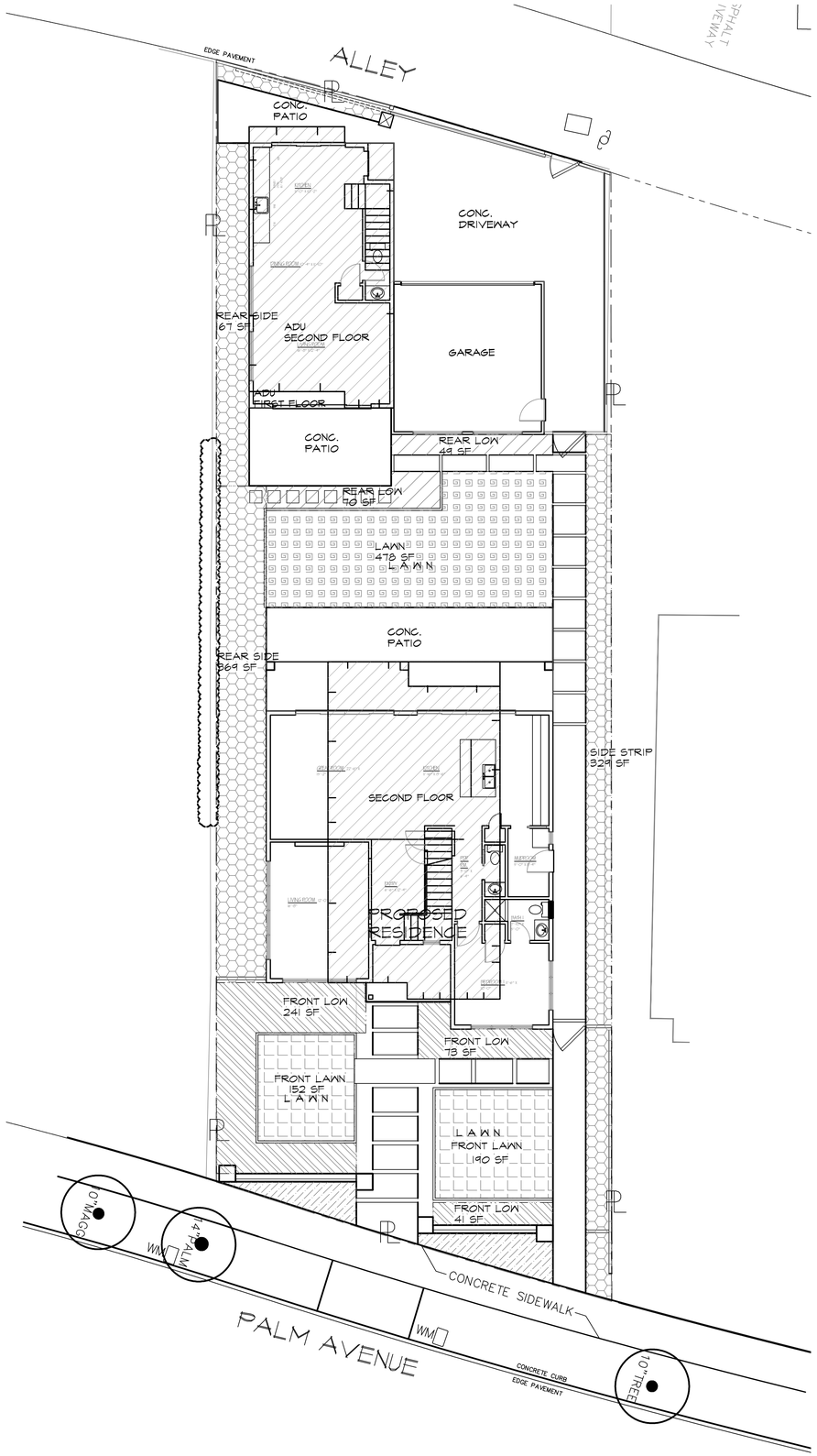
OF	SHEETS



HYDRO - ZONES SQUARE FOOT CALCULATIONS LEGEND

1. FRONT YARD NON-TURF LOW WATER USE	355 SF
2. FRONT YARD ALONG WALK NON-TURF LOW WATER USE	107 SF
3. FRONT YARD TURF HIGH WATER USE	342 SF
4. ALONG FENCE SIDE YARDS NON-TURF LOW WATER USE	865 SF
5. REAR YARD NON-TURF LOW WATER USE	119 SF
6. REAR YARD LAWN HIGH WATER USE	478 SF
LOW WATER USE LANDSCAPE AREA TOTAL	1,446 SF
HIGH WATER USE LANDSCAPE AREA TOTAL	820 SF
LANDSCAPE AREA TOTAL	2,266 SF

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation

Package. **Reference Evapotranspiration (ETo) 43.0**

Hydrozone # /Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
Front Low	.2	Drip	.81	.247	462	114.11	3,042.17
Front Lawn	.8	Spray	.75	1.067	342	364.91	9,728.50
Sides and Rear Low	.2	Drip	.81	.247	984	243.05	6,479.71
Rear Lawn	.8	Spray	.75	1.067	478	510.03	13,597.40
				Totals	2266 (A)	1232.1 (B)	
Special Landscape Areas							
	[redacted]			1	0	0	0
				1			
				1			
				Totals	0 (C)	0 (D)	
						ETWU Total	32,847.78
						Maximum Allowed Water Allowance (MAWA)[e]	33,226.36

[a] ***Hydrozone #/Planting Description*** *E.g 1.) front lawn 2.) low water use plantings 3.) medium water use planting*

[b] ***Irrigation Method*** *overhead spray or drip*

[c] ***Irrigation Efficiency*** *0.75 for spray head 0.81 for drip*

[d] ***ETWU* (Annual Gallons Required) =** *Eto x 0.62 x ETAF x Area* where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

[e] ***MAWA (Annual Gallons Allowed) =*** *(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]* where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

(43.0) (.62) [(.55 x 2266) + (1-.55 x 0)] = 33,226.36

26.66 x[(1,246.3) + (0)]= 33,226.36

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)	1232.1
Total Area	(A)	2266
Average ETAF	**B ÷ A**	0.544

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	1232.1
Total Area	(A+C)	2266
Sitewide ETAF	**(B+D) ÷ (A+C)**	0.544

A copy of this form may be obtained from Department of Water Resources website:
http://www.water.ca.gov/wateruseefficiency/landscapeordinance/

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HYDRO-ZONE PLAN

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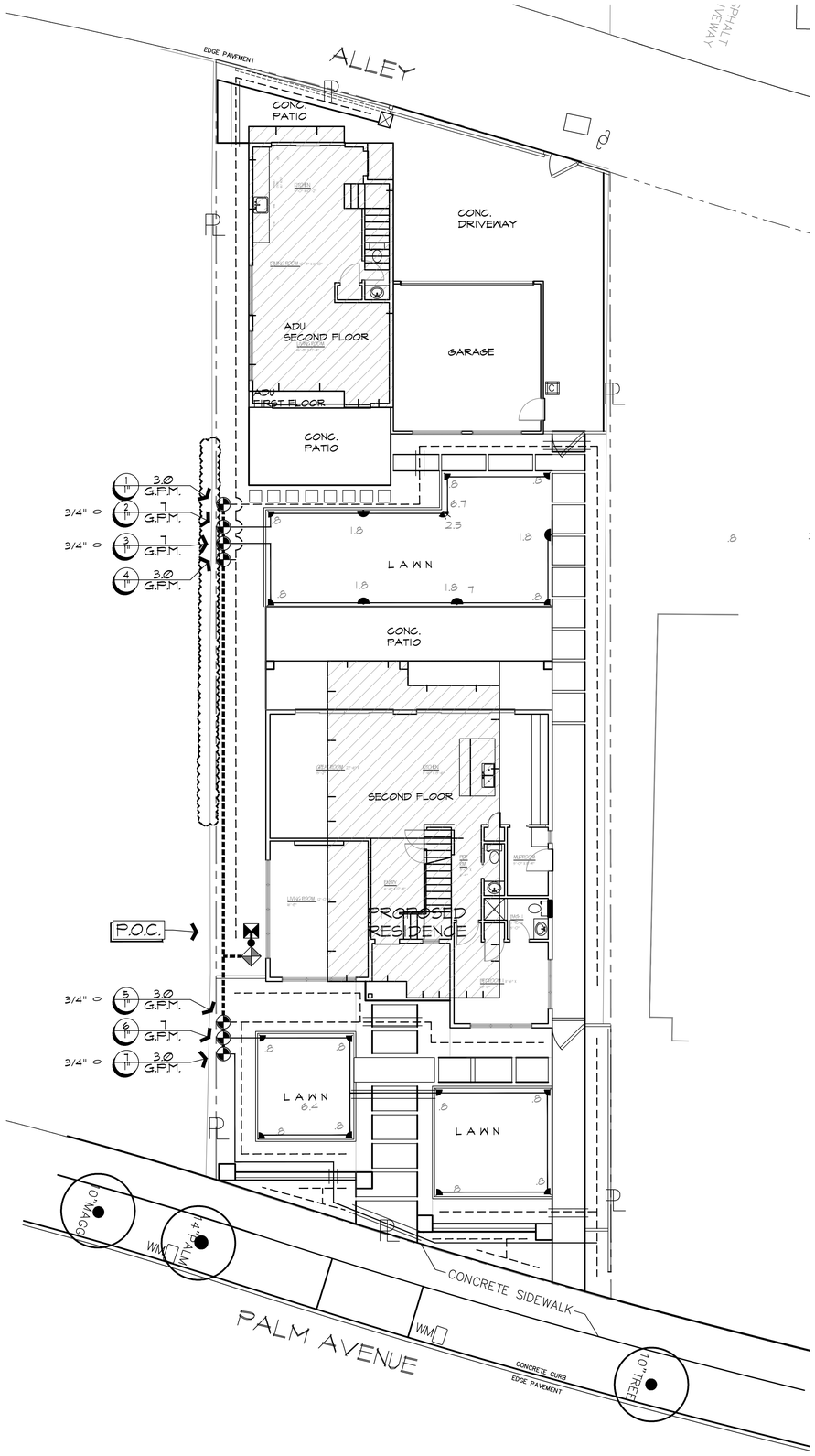
JOB	PALM AVE
SHEET	L-4
OF	SHEETS



IRRIGATION LEGEND

SYM.	DESCRIPTION
POC	POINT OF CONNECTION (TEE-OFF IRRIGATION WATER SERVICE LINE, VERIFY LOCATION IN FIELD)
C	Controller: Rainbird ESP-LX Modular Series With Weather Sensor and water sensor shut off devices or equal. Controller operating times to be set between 10:00pm and 6:00am
	Solenoid Valve: Irritrol 700 series 1", or equal located in valve box. Or Equal. Drip Zones - Pressure regulated Solenoid valve: Irritrol 700 series 1" or w/Omnireg 'OMR-100' or equal. Initial Setting to be 20 psi. Adjust as required. Locate in Valve Box.
	FEBCO - LF825YA Reduced Pressure Zone Assembly Device 1" size (Lead Free) WATTS - Series LFU5B - Lead Free Water Pressure Reducing Valve - Size as Main Line
	Toro 570 Series 4" Pop Up Lawn-Full 12' radius
	Toro 570 Series 4" Pop Up Lawn-Half 12' radius
	Toro 570 Series 4" Pop Up Lawn-Quarter 12' radius
	Toro 570 Series 4" Pop Up Lawn-Variable Arc 15' radius
	Polyethylene drip tube: Transition from PVC as required. Poly Line shall be 3/4" w/emitters plugged directly into 1/2", or 1/4" feeder tubes as required. All tubing shall be staked @ 5'-0" max & buried 2" min. drip emitters shall be Isoflon 2gph pressure compensating emitters, (1) emitter per 4" pot-1gal shrub, (2) emitters per 5 gallon shrub, (4) emitters per 15 gallon can, (10) emitters per 24" box tree, (20) emitters per 36" Box tree or greater.
————	3/4" or 1" Schedule 40 PVC Pipe. Refer to Pipe Sizing Chart Below.
- - - - - -	1" Sch 40 PVC Main Line
————	Soaker emitter tubing for ground covers
————	3" Dia. Irrigation Sleeves for paving
1 / 1"	INDICATES CONTROLLER STATION # INDICATES VALVE SIZE

IRRIGATION ZONES

- ALL ZONES LOW WATER UNLESS OTHERWISE SHOW AT ZONE FLAG USE DRIP IRRIGATION
- CONTRACTOR TO SUPPLY LATEST SMART CONTROLLER WITH RAIN SENSOR.

IRRIGATION NOTES

- WATER SOURCE TO BE FROM CITY SUPPLY WATER MAIN TO RESIDENCE
- THIS SYSTEM IS BASED ON AN ESTIMATED AVAILABLE 20 GPM @APPROXIMATELY 60 PSI @ POINT OF CONNECTION. CONTRACTOR IS TO VERIFY EXISTING PRESSURE AT POC AND ADD PRESSURE REGULATING DEVICE AS NEEDED. ANY DISCREPANCIES SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- EXACT WATER METER LOCATION AND AVAILABLE PSI TO BE VERIFIED WITH CAL. WATER PRIOR TO CONSTRUCTION.
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- CONTRACTOR SHALL LOCATE ALL LATERALS, MAINS, AND VALVES IN PLANTING AREAS WHENEVER POSSIBLE. DO NOT CONSTRUCT TEES OR ELLS BENEATH PAVING. ALL PIPING BENEATH PAVING SHALL BE LOCATED WITHIN PVC SCH 40 SLEEVING.
- CONTRACTOR SHALL ALLOW FOR AN ADDITIONAL 1-2 SPRAY HEADS AND ENOUGH DRIP IRRIGATION SUPPLIES IN IRRIGATION BID PRICE TO INSURE ADEQUATE COVERAGE.
- CONTRACTOR SHALL INSTALL FILTER AND THOROUGHLY FLUSH ALL DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF DRIP EMITTERS.
- CONTRACTOR SHALL PROVIDE 1 ADDITIONAL / EXTRA CONTROL WIRE AND CAPPED MAIN FOR FUTURE EXPANSION AND MAINTENANCE.
- TRENCHES WITHIN DRIPLINES OF EXISTING TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1" DIA. SHALL BE CUT. ALL CUT ROOTS BETWEEN 1/2" & 1" DIA. SHALL BE CLEANLY CUT AND DRESSED.

IRRIGATION PIPE SIZING CHART

CLASS 200			SCHEDULE 40		
1/2"	==	0-4 GPM	1/2"	==	0-4 GPM
3/4'	==	5-9 GPM	3/4'	==	5-8 GPM
1"	==	10-16 GPM	1"	==	9-16 GPM
1-1/4"	==	17-26 GPM	1-1/4"	==	16-22 GPM
1-1/2"	==	27-35 GPM	1-1/2"	==	23-30 GPM
2"	==	36-55 GPM	2"	==	31-50 GPM

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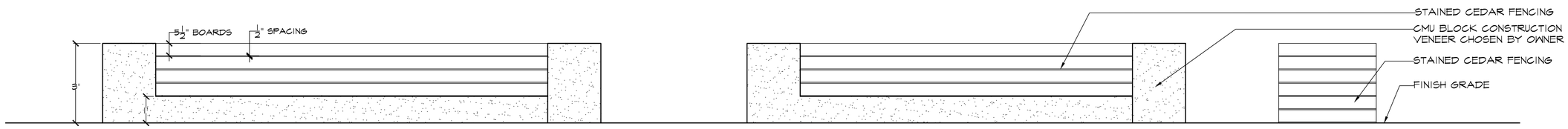
IRRIGATION PLAN

DATE	JUNE / 2024
SCALE	1/8"=1'-0"
DRAWN	TK
JOB	PALM AVE
SHEET	L-5
OF	SHEETS



A
L-6

3' HIGH FRONT YARD ENTRY FENCE SCALE: 1/2"=1'-0"

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landscapedesign & Construction Management
2345 TULIP ROAD, SAN JOSE, CA 95125
(408) 605-9973

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PROFESSIONAL
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SINGLE FAMILY RESIDENCE
562 PALM AVENUE, LOS ALTOS, CA

CONSTRUCTION DETAILS

DATE JUL / 2024
SCALE AS SHOWN
DRAWN TK
JOB PALM AVE
SHEET L-6
OF SHEETS