



HISTORICAL COMMISSION MEETING AGENDA

6:00 PM - Monday, October 28, 2024

*Sequoia Room, Los Altos Community Center, 97
Hillview Avenue, Los Altos, CA*

PARTICIPATION: Members of the public may participate by being present in the Sequoia Room at the Los Altos Community Center located at 97 Hillview Avenue, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to **HCPublicComment@losaltosca.gov**.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

<http://tinyurl.com/3pzbxca5>

Telephone: 1-253-215-8782 / Webinar ID: 898 4317 3242 / Passcode: 779370

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to **HCPublicComment@losaltosca.gov**.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Historical Commission packet.

AGENDA

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. The Commission Chair will announce the time speakers will be granted before comments begin. Please be advised that, by law, the Planning Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "The Brown Act") items must first be noted on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

SPECIAL ITEM

1. Election of Chair and Vice-Chair

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

2. Historical Commission Minutes

Approve the minutes of the regular meeting of August 26, 2024

PUBLIC HEARING**3. H24-0005 - Jackie Terrell and Twinkal Parmar - 1485 Fremont Avenue**

Historic Advisory Review for the proposed relocation of an existing accessory structure (containing a first-story garage and workshop and a second-story accessory dwelling unit (ADU)) to another location on a 64,380-square foot lot to allow for the lot to be subdivided into two lots. This project is categorically exempt from environmental review pursuant to Section 15331 of the California Environmental Quality Act. *Project Planner: Whitehill*

DISCUSSION**4. 2025 Commission Workplan Discussion****5. Meeting Date Discussion**

Discussion of the Historical Commission Meeting Dates for 2025

COMMISSIONERS' REPORTS AND COMMENTS**POTENTIAL FUTURE AGENDA ITEMS****ADJOURNMENT****SPECIAL NOTICES TO PUBLIC**

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Planning Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

Decisions of the Historical Commission are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.



HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: October 28, 2024

Subject: Election of Chair and Vice Chair

Prepared by: Sean Gallegos, Senior Planner

Attachments: [Commission Handbook](#), dated September 12, 2023

Recommendation

None

Summary

The Commission will nominate and elect a Chair and Vice-Chair to serve until the first meeting in October 2025.

Background

Election of Chair and Vice-Chair: Process Overview

The election of the Chair and Vice-Chair is conducted in accordance with the procedures outlined in the City’s *Commission and Committee Handbook*. All commission members are eligible to serve in these leadership roles, provided they meet the outlined requirements. The process is as follows:

1. Nominations for Chair:

The current Chair, Commissioner Adams, will formally open the election process by calling for nominations for the position of Chair. Any commission member may nominate a fellow member for the role, and no second is required for a nomination to be valid. Once all nominations have been received, the Chair will close the nomination period. Commissioner Coe currently serves as Vice-Chair and is also eligible for nomination.

2. Voting for Chair:

Following the nomination process, a vote is taken among the commission members. Voting is typically done by voice vote or a show of hands, unless a secret ballot is

Subject: Election of Chair and Vice-Chair

requested. A simple majority of the members present and voting is required to elect the new Chair. In the event of a tie, the vote is repeated until a majority is reached.

3. Nominations and Voting for Vice-Chair:

After the Chair has been elected, the same process is followed to nominate and elect a Vice-Chair. Members may nominate a fellow commissioner for the Vice-Chair role, followed by a vote requiring a simple majority for election.

Term Limits and Rotation Requirements:

It is important to note that no commission member may serve consecutive terms as Chair. This ensures an annual rotation in leadership and fosters diverse representation in the Chair position. Both the Chair and Vice-Chair serve one-year terms, with elections taking place annually during the commission's first meeting in October.

Chair and Vice-Chair Responsibilities:

The Chair is responsible for presiding over all commission meetings, setting the meeting agenda in collaboration with staff, and ensuring that meetings are conducted in accordance with the *City's Rosenberg's Rules of Order*. The Vice-Chair acts in the absence of the Chair, assuming all duties as necessary.

**MINUTES OF THE MEETING OF THE HISTORICAL COMMISSION OF THE CITY
OF LOS ALTOS, HELD ON MONDAY, AUGUST 26, 2024, AT 6:00 P.M. HELD VIA
VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20.**

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 242-4929 to participate in the conference call (Meeting ID: 148 403 6004 or via the web at: [Historical Commission Meeting](#)).

ESTABLISH QUORUM

PRESENT: Commissioners Bartlett, Coe, and Lang

ABSENT: Adams and Paige

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Alice Mansell spoke on orchard and related City topics. A public comment letter was provided to the Commission prior to the meeting.

Catherine Nunes Spoke on orchard and its scope and needs. A public comment letter was provided to the Commission.

CONSENT CALENDAR

1. Historical Commission Minutes Approve the minutes of the regular meeting of January 22, 2024.
2. Historical Commission Minutes Approve the minutes of the regular meeting of April 15, 2024

Public Comment: No public comments.

The Commission discussed the minutes.

Action: Upon a motion by Commissioner Lang to approve the Historical Commission minutes of January 22, 2024 and April 15, 2024, seconded by Commissioner Bartlett.

AYES: Bartlett, Coe, and Lang; NOES: None; ABSENT: Adams and Paige

PUBLIC COMMENTS

The following members of the public spoke: No public comments.

3. H24-0004 – Walter Chapman – 762 Edgewood Lane

Staff member Sean Gallegos provided a presentation on the project.

Walter Chapman, the applicant, delivered a presentation on the project.

Public Comment:

Alice Mansell provided a comment supporting the project.

The Commission discussed the historic alteration permit project at 762 Edgewood Lane.

Action: Upon a motion by Commissioner Lang to approve the historic alteration permit (H24-0004) application based on the recommended findings and conditions of approval, seconded by Commissioner Bartlett.

AYES: Bartlett, Coe, and Lang; NOES: None; ABSENT: Adams and Paige

INFORMATIONAL ITEMS

No Informational Items

COMMISSIONERS' REPORTS AND COMMENTS

None

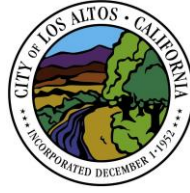
POTENTIAL FUTURE AGENDA ITEMS

Staff advised a future item related to a historic advisory review application will be coming forward to the Commission, and the quinquennial inspection would also be a potential item at their meeting on October 28, 2024.

ADJOURNMENT

Vice-Chair Coe adjourned the meeting at 6:31 p.m.

Sean Gallegos
Staff Liaison



HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: October 28, 2024

Subject: H24-0005- 1485 Fremont Ave: Historical Advisory Review to Relocate a Historic Structure

Prepared by: Brittany Whitehill, Senior Planner

Initiated by: Jackie Terrell and Twinkal Parmar, Applicants

Attachments:

- A. Historic Evaluation and Secretary of the Interior Standards for the Treatment of Historic Properties Review, prepared by Stephanie Hodal and Stacy Kozakavich
- B. Department Parks and Recreation Record Form 523
- C. Project Plans

Recommendation

That the Historical Commission recommend the Development Services Director approve the Historical Advisory Review to relocate an existing historic structure, and find the project is categorically exempt from environmental review pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation) of the California Environmental Quality Act (CEQA).

Summary

The applicant seeks Historical Advisory Review for the proposed relocation of an existing accessory structure containing a first-story garage and workshop and a second-story accessory dwelling unit (ADU) to another location on a 64,380-square foot lot to allow for the lot to be subdivided into two lots. The detached garage/ADU structure is currently located toward the northern side (rear) of the property, behind the single-family home. The project would relocate the garage to the east of the home and construct an extension of the driveway between the existing circular driveway and relocated garage.

The property is a historic resource listed on the City of Los Altos local register, and relocation of the accessory structure would constitute an alteration to the historic site and therefore requires review and recommendation from the Historical Commission. Following a recommendation from the Historical Commission, the Development Services Director will make a decision on the requested Historical Advisory Review and Design Review to relocate the historic structure. The project also involves a proposed two-lot subdivision which will be reviewed separately by the Planning Commission and City Council and is not part of the Historic Advisory Review application. **Background**

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The project site contains a single-family home and detached garage with a second-story ADU on a 64,380-square foot lot in the R1-10 zoning district. The lot was originally created in 1925 from the subdivision of a large agricultural site. The existing single-family home and detached garage with second-story ADU were constructed in 1927. The site has historically been used for agricultural and residential purposes. The Fucilla family has owned the subject property since 1962 and continues to live there in 2024.

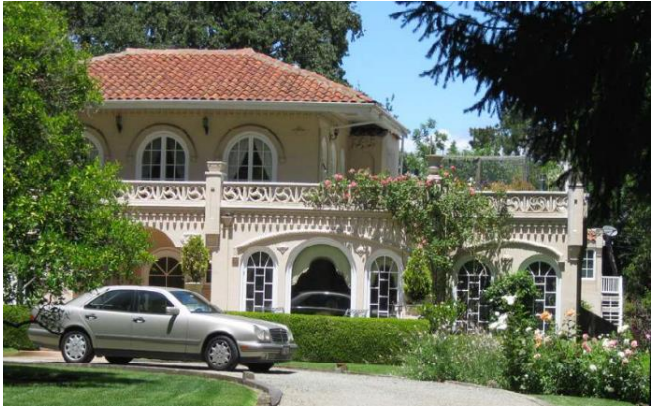


Figure 1: Main House



Figure 2: Detached Garage/ADU

The 1927 single-family home and detached accessory structure are associated with the Italian Renaissance Revival architecture style, which was popular throughout California in the 1920s-1940s. The property retains many character defining features of the Italian Renaissance Revival style. The house is situated in the center of the site with deep setbacks on all sides. The site features an expansive front lawn with a circular front drive and a landscape buffer around front half of main residence with mature trees on west side of parcel and front lawn

Character-defining features of the house include its two-story form, stucco cladding, Spanish clay tile hipped roof, recessed front entry porch and large, full-height arched windows and French doors with ornamental detailing across front façade, raised ornamentation at the cornice lines and an elaborate balustrade at second-story balcony.

The garage/ADU structure is sited subordinate to (behind) the main house, and features a characteristic flat-roofed, two-story form with Spanish roof tiles, stucco cladding, decorative turrets at southeast and southwest second-floor corners, wood-frame divided-light casement windows front (south) and side (east) façades, and wood-frame double-hung windows side (west) and second-story rear (north) façade, and double-hung garage doors.

Secretary of the Interior’s Standards for the Treatment of Historic Structures Evaluation

Architectural Historian Stephanie Hodal and Cultural Resources Planner/Archaeologist Stacy Kozakavich, both with Page & Turnbull, reviewed the project to ensure consistency with The Secretary of the Interior’s Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings. The historical professionals’ evaluation found that the proposed relocation of the existing garage/ADU structure will not diminish the historic significance of the property. Their evaluation made the

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following findings with regard to the rehabilitation standards, which are summarized below and described in detail in Attachment A:

Standard 1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

The project will result in the relocation of the accessory structure to the east side of the main house to accommodate for subdivision of the lot. While these changes will change spatial relationships on the property, the property will continue to serve as a residential use, in compliance with Rehabilitation Standard 1.

Standard 2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The structure relocation would preserve the hierarchy of buildings on the site with the main residence at the center of the parcel, where it would remain the focal point of the site and its most prominent feature. The accessory structure in a subordinate position, set back behind the front façade of the main house. As proposed, the project reinforces the subordinate relationship of the garage to the main residence, retains the primary circulation patterns on the site, and conserves the overall sense of spaciousness as viewed from the public right of way. Therefore, the project complies with Rehabilitation Standard 2.

Standard 3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Relocating the historic garage does not introduce any conjectural features or elements from other historic properties, as the garage is an existing contributing feature of the historic property. Moving it to a different location on the property does not change the understanding of the two buildings' period of significance or uses. Therefore, the project complies with Rehabilitation Standard 3.

Standard 4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The period of significance for 1485 Fremont Avenue is 1927, the year construction was completed. No alterations dating outside the period of significance have acquired historic significance. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

As proposed, the project would preserve the distinctive features, finishes, construction techniques, and examples of craftsmanship that characterize 1485 Fremont Avenue as a historic property, therefore, the project complies with Rehabilitation Standard 5.

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Standard 6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The project does not propose to repair or replace deteriorating features. Therefore, the project complies with Rehabilitation Standard 6.

Standard 7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Chemical or physical treatments are not proposed as part of the project. If such treatment is determined to be necessary as part of the proposed project, it would be undertaken using the gentlest means possible. Therefore, the project complies with Rehabilitation Standard 7.

Standard 8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

The project would require ground disturbance to prepare the site for relocation of the garage and construction of an extension of the driveway. If any buried archaeological materials or deposits are encountered during ground-disturbing activity, work would be halted immediately at the location of the discovery. In compliance with the recommended project Conditions of Approval, the City of Los Altos would be informed, and a qualified archaeologist would be retained to identify and evaluate the archaeological materials and recommend appropriate measures for protection and/or treatment of the resource. Therefore, the project complies with Rehabilitation Standard 8.

Standard 9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed project would not introduce new construction, exterior alterations, or additions to the historic buildings at 1485 Fremont Avenue. Relocating the garage to a position adjacent to but separate and set back from the primary façade of the residence allows the main building to retain its prominence as the focal point of the spacious site. Therefore, the project complies with Rehabilitation Standard 9.

Standard 10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the relocated garage were, in the future, returned to its original site and the proposed driveway spur between the circular drive and garage removed, the property at 1485

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Fremont Avenue would retain its essential form and integrity. Therefore, the project complies with Rehabilitation Standard 10.

The project, as designed, complies with the Secretary of the Interior's Standards for Rehabilitation, and will not diminish the historic significance of the property at 1485 Fremont Avenue. Despite the proposed relocation of the detached garage/ADU structure, the main house will retain its predominate siting on the lot, and both buildings will retain their Italian Renaissance Revival character-defining features.

Environmental Review

The project is categorically exempt from CEQA under Section 15331 (Historical Resource Restoration/Rehabilitation) because the project consists of the relocation and rehabilitation of an existing historic structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties for Rehabilitation. The proposed alterations would not impact the integrity of the site, which would retain its eligibility for listing on the Los Altos Historical Resource Inventory. The proposed project would therefore not be anticipated to cause a substantial adverse change to a historical resource for the purposes of review under the California Environmental Quality Act.

Public Notification and Community Outreach

A public meeting notice was posted on the property, mailed to property owners within a 300' radius, and published in the newspaper. The applicant also posted the public notice signs at the site in compliance with the Planning Division posting requirements.

At the time of preparation of the agenda report for the project, no public comment or testimony related to the project has been received by the Planning Division.

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FINDINGS

With regard to the historic advisory review to allow for modifications to an existing historic resource consisting of relocation of an existing structure to another location within the site, the Commission finds in accordance with Section 12.44.130 of the Los Altos Municipal Code that:

1. The project complies with all provisions of the Historic Preservation Ordinance (Chapter 12.44) because the project will not affect the physical integrity or the historic significance of the subject property and the project complies with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and the project has been processed in accordance with the procedural requirements of Chapter 12.44 of the Los Altos Municipal Code; and
2. The project does not adversely affect the physical integrity or the historic significance of the subject property because the site will retain its character defining features including deep setbacks, an expansive front lawn, circular driveway, and mature trees; garage/ADU structure to be relocated would retain its defining features characteristic of its Italian Renaissance style, including its siting behind and subordinate to the main house, two-story form, flat roof, Spanish roof tiles, stucco cladding, decorative turrets at building corners, wood-frame divided light and double-hung windows, and double garage doors; and prior to relocation of the structure, the applicant will be required to provide a detailed structure relocation plan prepared by a licensed contractor and reviewed by the project historians to ensure any potential damage to the structure that could result from the relocation will be avoided.

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CONDITIONS OF APPROVAL

Planning Division

1. **Approved Plans:** The project shall be developed in substantial compliance with the design plans and support materials and technical reports approved as part of Los Altos planning application DR24-0081, CUP24-0004, H24-0005, and TM24-0004, submitted on September 12, 2024, except as modified by these conditions as specified below.
2. **Expiration:** This Permit is valid for a period of twenty-four months and will expire on October 29, 2026, unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.
3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the overall approvals may be approved by the Development Services Director.
4. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.
5. **Secretary of the Interior Standards:** All construction activities, including maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of the historical resource, shall be conducted in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties
6. **Relocation Plan:** Prior to issuance of any building permit to allow for the structure to be relocated, the applicant shall submit to the Development Services Department a structure relocation plan which details the process, schedule, and methods for moving the historic structure. The plan shall also include details of how any necessary dismantling or damage to the structure will be resolved. The relocation plan shall be prepared by a contractor or other qualified professional with experience relocating historic structures and shall be approved by the Development Services Director and Chief Building Official.
7. **Relocation of Structure:** Prior to recordation of the parcel map (TM24-0004), the structure relocation shall be complete, and all building permits related to the relocation of the structure shall be finalized.
8. **Nonconforming Structure:** The existing garage/ADU structure is nonconforming with regard to height and ADU size. The structure shall not be modified in any way that will worsen the existing nonconformities.

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9. **Recordation of Parcel Map:** If the parcel map (TM24-0004) is not recorded with the Santa Clara County Recorder's Office prior to its expiration, the Conditional Use Permit for the flag lot (CUP24-0004) shall be null and void.
10. **Pre-Construction Meeting:** Prior to issuance of the first building permit associated with the structure relocation, the applicant team (including the property owner, architect, project arborist, historic consultant, and project contactor) shall attend a pre-construction meeting with Development Services staff to discuss construction logistics and measures to ensure the protection of the historic resource and protected trees.
11. **Single-Phase Development:** Construction of the project shall be done in a single phase and shall not be considered a multi-phased development.
12. **Accessory Structure(s):** Any future accessory structure on-site will require approval by the Planning Division and may require separate City permits.
13. **Landscape Screening:** All utility meters, lines, transformers, backflow preventers, etc., on-site or off-site, must be shown on all site plan drawings and landscape plan drawings. All such facilities shall be located so as to not interfere with landscape material growth and shall be screened in a manner which respects the building design and setback requirements. Additional landscaping materials or modifications may be required by the Planning Division at final inspection to ensure adequate plant screening.
14. **Arborist Report:** Tree protection measures shall be implemented consistent with the recommendations of the arborist report prepared by Nigel Belton and dated August 16, 2024. Prior to occupancy, the arborist shall certify in writing that all tree preservation measures have been implemented. Approved measures from the report shall be included in the building permit drawings.
15. **Protected Trees:** Trees Nos. 1, 2, 4, 7, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 28, 29, 30, 32, 33, 35, 41, 43, 44, 45, and 46 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.
16. **Monthly Arborist Inspections:** Throughout relocation and construction, a qualified arborist must conduct monthly inspections to ensure tree protection measures and maintenance care are provided. A copy of the inspection letter, including recommendations for modifications to tree care or construction activity to maintain tree health, shall be provided to the Planning Division.
17. **Tree Protection Fencing:** The grading and tree or landscape plan of the Building Permit submittal shall show the required tree protection fencing which shall be installed around the dripline(s), of all protected trees as deemed necessary by the project arborist. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

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- 18. Street Tree Protection:** All designated City street trees are to be protected throughout construction activity with protection measures shown on building permit plans.
- 19. Basic Air Quality Construction Measures:** The applicant shall require all construction contractors to implement the basic construction mitigation measures recommended by the Bay Area Air Quality Management District (BAAQMD) to reduce fugitive dust emissions. Emission reduction measures will include, at a minimum, the following measures: (a) all exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) will be watered two times per day; (b) all haul trucks transporting soil, sand, or other loose material off-site will be covered; (c) all visible mud or dirt track-out onto adjacent public roads will be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited; (d) all vehicle speeds on unpaved roads will be limited to 15 mph; (e) all roadways, driveways, and sidewalks to be paved will be completed as soon as possible. Building pads will be laid as soon as possible after grading unless seeding or soil binders are used; (f) idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measures Title 13, Section 2485, of the California Code of Regulations). Clear signage shall be provided for construction workers at all access points; and (g) all construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- 20. Discovery of Contaminated Soils:** If contaminated soils are discovered, the applicant will ensure the contractor employs engineering controls and Best Management Practices (BMPs) to minimize human exposure to potential contaminants. Engineering controls and construction BMPs will include, but not be limited to, the following: (a) contractor employees working on-site will be certified in OSHA's 40-hour Hazardous Waste Operations and Emergency Response (HAZWOPER) training; (b) the contractor will stockpile soil during redevelopment activities to allow for proper characterization and evaluation of disposal options; (c) the contractor will monitor area around construction site for fugitive vapor emissions with appropriate field screening instrumentation; (d) the contractor will water/mist soil as it is being excavated and loaded onto transportation trucks; (e) the contractor will place any stockpiled soil in areas shielded from prevailing winds; and (f) the contractor will cover the bottom of excavated areas with sheeting when work is not being performed.
- 21. Discovery of Archaeological Resources:** If prehistoric or historic-period cultural materials are unearthed during ground-disturbing activities, it is recommended that all work within 100' of the find be halted until a qualified archaeologist and Native American representative can assess the significance of the find. Prehistoric materials might include obsidian and chert-flaked stone tools (e.g., projectile points, knives, scrapers) or tool-making debris; culturally darkened soil ("midden") containing heat-affected rocks and artifacts; stone milling equipment (e.g., mortars, pestles, handstones, or milling slabs); and battered-stone tools, such as hammerstones and pitted stones. Historic-period materials might include stone, concrete, or adobe footings and walls; filled wells or privies; and deposits of metal, glass, and/or ceramic refuse. If the find is determined to be

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potentially significant, the archaeologist, in consultation with the Native American representative, will develop a treatment plan that could include site avoidance, capping, or data recovery.

- 22. Discovery of Human Remains:** In the event of the discovery of human remains during construction or demolition, there shall be no further excavation or disturbance of the site within a 50' radius of the location of such discovery, or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to their authority, the Coroner shall notify the Native American Heritage Commission, which shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the landowner shall reinter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance. A final report shall be submitted to the City's Development Services Director prior to release of a Certificate of Occupancy. This report shall contain a description of the mitigation programs and its results, including a description of the monitoring and testing resources analysis methodology and conclusions, and a description of the disposition/curation of the resources. The report shall verify completion of the mitigation program to the satisfaction of the City's Development Services Director.
- 23. Discovery of Paleontological Resources:** In the event that a fossil is discovered during construction of the project, excavations within 50' of the find shall be temporarily halted or delayed until the discovery is examined by a qualified paleontologist, in accordance with Society of Vertebrate Paleontology standards. The City shall include a standard inadvertent discovery clause in every construction contract to inform contractors of this requirement. If the find is determined to be significant and if avoidance is not feasible, the paleontologist shall design and carry out a data recovery plan consistent with the Society of Vertebrate Paleontology standards.
- 24. Preconstruction Nesting Bird Survey:** To the extent practicable, vegetation removal and construction activities shall be performed from September 1 through January 31 to avoid the general nesting period for birds. If construction or vegetation removal cannot be performed during this period, preconstruction surveys will be performed no more than two days prior to construction activities to locate any active nests as follows:

The applicant shall be responsible for the retention of a qualified biologist to conduct a survey of the project site and surrounding 500' for active nests—with particular emphasis on nests of migratory birds—if construction (including site preparation) will begin during the bird nesting season, from February 1 through August 31. If active nests are observed on either the project site or the surrounding area, the applicant, in coordination with the appropriate City staff, shall establish no-disturbance buffer zones around the nests, with the size to be determined in consultation with the California Department of Fish and Wildlife (usually 100' for perching birds and 300' for raptors). The no-disturbance buffer will remain in place until the biologist determines the nest is no longer active or the nesting season ends. If construction ceases for two days or

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more and then resumes during the nesting season, an additional survey will be necessary to avoid impacts on active bird nests that may be present.

Building Division

- 25. Building Permit:** A building permit is required for the structure relocation and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
- 26. Conditions of Approval:** The building permit plans shall incorporate the conditions of approval into the Building Permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can found.
- 27. Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9:00 a.m. to 3:00 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.
- 28. Disturbance Coordinator:** The applicant shall designate a “disturbance coordinator” who will be responsible for responding to any local complaints regarding construction noise. The coordinator (who may be an employee of the general contractor) will determine the cause of the complaint and will require that reasonable measures warranted to correct the problem be implemented. A telephone number of the noise disturbance coordinator shall be conspicuously posted at the construction site fence and on the notification sent to neighbors adjacent to the site. The sign must also list an emergency after-hours contact number for emergency personnel.
- 29. California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.
- 30. Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the relocated structure.

Engineering Division

- 31. Encroachment Permit:** An encroachment permit and/or an excavation permit shall be obtained prior to any work done within the public right-of-way and it shall be in accordance with plans to be approved by the City Engineer.
- 32. Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.

Subject: H24-0005– 1485 Fremont Ave

- 33. Americans with Disabilities Act:** All improvements shall comply with the latest version of Americans with Disabilities Act (ADA).
- 34. Sewer Lateral:** Any new proposed sewer lateral connection shall be approved by the City Engineer. One sanitary sewer connection per lot is required. New sanitary sewer laterals shall be installed and connected to the sanitary sewer main on Kathy Ln.
- 35. Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site.
- 36. Stormwater Management Plan:** The project shall comply with the San Francisco Bay Region Municipal Regional Stormwater (MRP) National Pollutant Discharge Elimination System (NPDES) Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022 and show that all treatment measures are in accordance with the C.3 Provisions for Low Impact Development (LID). The improvement plans shall include the “Blueprint for a Clean Bay” plan sheet in all plan submittals.
- 37. Stormwater Pollution Prevention**
The projects shall comply with the Stormwater Pollution Prevention Measures per Chapter 10.16 of the Los Altos Municipal Code prior to the issuance of the building permit.
- 38. Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.
- 39. Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.
- 40. Public Infrastructure Repairs:** The applicant shall repair any damaged right-of-way infrastructures and otherwise displaced curb, gutter and/or sidewalks shall be removed and replaced as directed by the City Engineer or his designee prior to final occupancy.

MEMORANDUM

DATE	June 25, 2024	PROJECT NUMBER	P24041
TO	Audrey Carlson, Lisa Amoroso, Mollie Fucilla	PROJECT	1485 Fremont Avenue, Los Altos, CA
OF	Fucilla Los Altos LLC	FROM	Stephanie Hodal, Page & Turnbull Stacy Kozakavich, Page & Turnbull
CC	Christina Dikas, Page & Turnbull	VIA	Email

REGARDING 1485 Fremont Avenue, Los Altos – SOIS Analysis Memorandum

INTRODUCTION

This Secretary of the Interior’s Standards (SOIS) Analysis Memorandum has been prepared at the request of Audrey Carlson, Lisa Amoroso, and Mollie Fucilla in advance of proposed alterations to the parcel at 1485 Fremont Avenue, Los Altos (APN #197-16-064) **(Figure 1)**. The subject property is a 1.5-acre residential parcel with a house, garage with apartment, and site design completed in 1927 **(Figure 2 and Figure 3)**. The historic significance of the property, which is listed on the City of Los Altos Historic Resources Inventory, was evaluated in 2011 and 2024 using State of California Department of Parks and Recreation (DPR) 523 forms **(Attachment A)**. The proposed project would divide the current parcel into two separate parcels and would relocate the existing garage to the south, adjacent to the existing residence and set back toward the new rear property line. **(Figure 5)**.

Methodology

This report includes a summary of the property’s current historic status, a brief physical description, a list of character-defining features that enable the property to convey its historic significance and the evaluation using the *Secretary of the Interior’s Standards for Rehabilitation*. To review the proposed alterations, Page & Turnbull staff consulted the drawing set entitled CAF Tentative Tract Map prepared by Young and Borlik Architects, dated June 25, 2024 **(Attachment B)**. Previous documentation referenced included a Preliminary Review Letter dated August 10, 2021 between the City of Los Altos Community Development Department and Terry Brown representing the owner in response to a Preliminary Project Review Application; and a packet of information regarding the history of past lot line adjustments at the property from 1994 through approximately 2007. Page & Turnbull staff requested and reviewed building permits available from the City of Los Altos Building

Division and visited the Los Altos History Museum to view historic photographs and a copy of the publication, *A House Within An Orchard*, by Sewall Bogart.¹ Additional research was conducted through online resources including the Los Angeles Public Library Collection for digital Sanborn maps, HistoricAerials.com and the University of California Santa Barbara FrameFinder for historic aerial photographs, Ancestry.com, and Newspapers.com.

Summary of Findings

Page & Turnbull staff evaluated the proposed project using the Secretary of the Interior's Standards for Rehabilitation.² Because the relocated garage would remain predominantly to the rear of and visually subordinate to the main house, the project was found to fully comply with all of the ten standards. It is Page & Turnbull's opinion that proposed alterations would not impact the integrity of the site which would retain its eligibility for listing on the Los Altos Historical Resource Inventory. The proposed project would therefore not be anticipated to cause a substantial adverse change to a historical resource for the purposes of review under the California Environmental Quality Act (CEQA).

¹ Sewall Bogart, *A House Within An Orchard*, (Redwood City, California: Reflections, 1994).

² National Park Service, Technical Preservation Services: Rehabilitation Standards and Guidelines, electronic resource at <https://www.nps.gov/tps/standards/rehabilitation.htm>, accessed October 20, 2023.

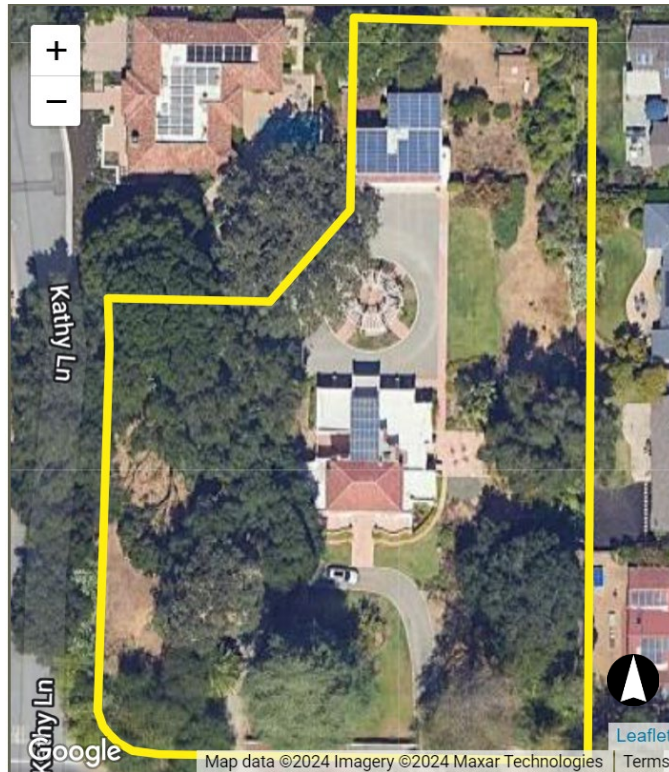


Figure 1: Aerial view of the subject property, the subject parcel outlined in yellow. Santa Clara County Department of Planning and Development Online Property Profile, 2024.



Figure 2. Primary (south) façade of main house, view northwest, 2024.



Figure 3. Side (west, left) and primary (south, right) facades of garage apartment, view northeast, 2024.

HISTORIC STATUS AND CHARACTER-DEFINING FEATURES

National Register of Historic Places

The National Register is the nation's most comprehensive inventory of historic resources. It is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

1485 Fremont Avenue is not listed on the National Register of Historic Places.

California Register of Historical Resources

The California Register is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

1485 Fremont Avenue is not listed on the California Register of Historical Resources.

California Historical Resource Status Codes

Properties listed or under review by the State of California Office of Historic Preservation are listed within the Built Environment Resource Directory (BERD) and are assigned a California Historical Resource Status (CHRIS) Code (Status Code) of "1" to "7" to establish their historical significance in relation to the National Register or California Register.³ Properties with a Status Code of "1" or "2" are either eligible for listing in the California Register or the National Register, or are already listed in one or both of the registers. Properties assigned Status Codes of "3" or "4" appear to be eligible for listing in either register, but normally require more research to support this rating. Properties assigned a Status Code of "5" have typically been determined to be locally significant or to have contextual importance. Properties with a Status Code of "6" are not eligible for listing in either register. Finally, a Status Code of "7" means that the resource has not been evaluated for the National Register or the California Register or needs reevaluation.

³ California State Office of Historic Preservation, Built Environment Resource Directory (BERD), Santa Clara County, updated September 2022.

The subject property was evaluated with a Status Code of 5S1 (individually listed or designated locally) on the 2011 DPR form completed by Circa Historic Property Development.⁴ It is listed in the September 23, 2022 version of the BERD database for Santa Clara County with a Status Code of 7N1 (needs to be reevaluated (former status code 4) – may become National Register eligible with restoration or other specific conditions).⁵ Status codes listed in the BERD only represent those evaluations submitted to a CHRIS information center. The BERD does not note when the 7N1 code was established. Therefore, as the property is locally listed, the Status Code of 5S1 (individually listed or designated locally) most accurately reflects its current status.

Los Altos Historical Resource Inventory

The Los Altos historic evaluation process follows the criteria established by State and National evaluation practices.⁶ It requires that listed properties be more than 50 years old, retain sufficient integrity to express the historic attributes of the structure or property, and have historic significance utilizing status codes and national, state, and local criteria.

1485 Fremont Avenue was built in 1927 and is more than 50 years of age.

1485 Fremont Avenue retains integrity of location, design, materials, workmanship, feeling, and association. Its integrity of setting has been diminished by the transition of all surrounding acreage from agricultural to residential use.

1485 Fremont Avenue is designated as Historic Resource #43 on the City of Los Altos Historic Resources Inventory.⁷ DPR 523 forms completed by Circa Historic Property Development in July 2011 state that the residence is an excellent example of the Italian Renaissance style and retains a high degree of integrity of workmanship, feeling, design, and materials. This evaluation focused only on the architectural merit of the property. In 2024, Page & Turnbull prepared updated DPR 523 records which include the associated garage and site design features as contributors to the property's historic significance. Page & Turnbull additionally evaluated the property's significance under criteria for association with important events and persons and found that is not individually eligible for listing in the City of Los Altos Historic Resources Inventory under either criterion. Page &

⁴ Circa Historic Property Development, *1485 Fremont Avenue, Department of Parks and Recreation (DPR) Form 523*, July 2011, 2.

⁵ California State Office of Historic Preservation, *Technical Assistance Bulletin No. 8*.

⁶ "Historic Evaluation Framework," in Overview of the Historic Evaluation Process, City of Los Altos Historic Resources Inventory, Section 1, accessed March 9, 2024, chrome-extension://efaidnbmnnnibpcajpcglclefindmkaj/https://www.losaltosca.gov/sites/default/files/fileattachments/historical_commission/page/36161/hri_section_i_evaluation_methodology.pdf.

⁷ "City of Los Altos Historic Resources Inventory," November 2013, accessed March 1, 2024, chrome-extension://efaidnbmnnnibpcajpcglclefindmkaj/https://www.losaltosca.gov/sites/default/files/fileattachments/historical_commission/page/36161/hri_sec_iv_historic_resources_updated_1-30-17.pdf.

Turnbull confirmed that the resource, inclusive of the house, garage, site design, and informal landscape features, continues to possess sufficient integrity for local designation for its architectural merit.

Character Defining Features

The property at 1485 Fremont Avenue contains a single-family house and garage apartment built in 1927. The site design surrounding the buildings including an expansive front lawn, informally landscaped strips on the east and west sides of the parcel that buffer the buildings from adjacent neighbors, a circular driveway, and a large rectangular rear yard date from the time of construction. The two-story residence, designed in the Italian Renaissance style, is situated at the center of the parcel and set back from Fremont Avenue. The two-story garage apartment is set behind the main house at the northeast corner of the rectangular rear yard, its primary (south) façade facing back to the residence. It is a modest stucco-clad building with decorative turrets and casement windows that complement the architecture of the residence.

Character-defining features of the house include:

- Prominent siting of the house relative to the garage and other site features;
- Two story form, stucco cladding, Spanish clay tile hipped roof with broad eave overhang;
- Recessed front entry porch and large, full-height arched windows across front façade with raised rope and flower elements;
- Arched, multi-pane glazed wood French doors at second story;
- Raised ornamentation at the cornice lines;
Elaborate balustrade at second-story balcony;
- Large lot with extensive grounds and landscaping.⁸

Character-defining features of the garage include:

- Siting behind and subordinate to main house;
- Two story form;
- Flat roof;
- Angled south roof edge with Spanish tile covering;
- Stucco cladding;
- Decorative turrets at southeast and southwest second-floor corners;
- Wood-frame divided-light casement windows front (south) and side (east) façades;
- Wood-frame double-hung windows side (west) and second-story rear (north) façade;
- Double garage door opening front (south) façade.

⁸ Circa Historic Property Development, *1485 Fremont Avenue*, Department of Parks and Recreation (DPR) Form 523, July 2011, 2.

Character-defining features of the site/landscape include:

- Siting of main house at center of parcel with deep setbacks on all sides;
- Expansive front lawn;
- circular front drive;
- Landscape and terrace buffer around front half of main residence;
- Mature trees on west side of parcel and front lawn.

DESCRIPTION OF PROPOSED PROJECT

Previous Changes to the Property Boundary

The proposed project follows multiple previous lot subdivisions at the subject property. The residence and associated site features were constructed in 1927 as a residential compound at the south end of a then twenty-acre fruit orchard. The house and orchard were owned and operated by the same family from 1927 through 1957 when the original owner sold all but 1.87-acres to a developer to build tract housing. Around 1997, the second owner subdivided the 1.87 acres into three separate parcels. Around 2001, a new house was built on the northeast parcel with address 1555 Kathy Lane. In 2007, two of the previously subdivided parcels were merged to create the current boundary of 1485 Fremont Avenue, currently referred to as Parcel A. Subsequently, the owners of 1555 Kathy Lane, currently referred to as Parcel B, purchased the center and northeastern portions of Parcel A (**Figure 4**).

Proposed Project

The proposed project would subdivide the current 1.5-acre Parcel A into two parcels to create Lot 2, a flag lot at the northeast side of the holding (**Figure 5**). The 1927 two-story garage, now sited at the northeast side of the rectangular rear yard behind the main residence, would be relocated to the east side of the property adjacent to the main residence on Lot 1. The front façade of the garage would be set 25'-10¼" behind (north of) the front façade plane of the main house; its rear facade would be set ten feet south of the new Lot 2 lot line. The garage would retain its existing orientation (**Figure 6**). A new driveway spur would be built from the northeast side of the circular driveway to the front of the garage. Like the main drive, this area would be surfaced with gravel. The rectangular yard behind the main house would be demolished to become part of the driveway and approach into to the flag lot. The driveway connector on the west side of the main residence between the circular driveway and the rear yard would be removed.

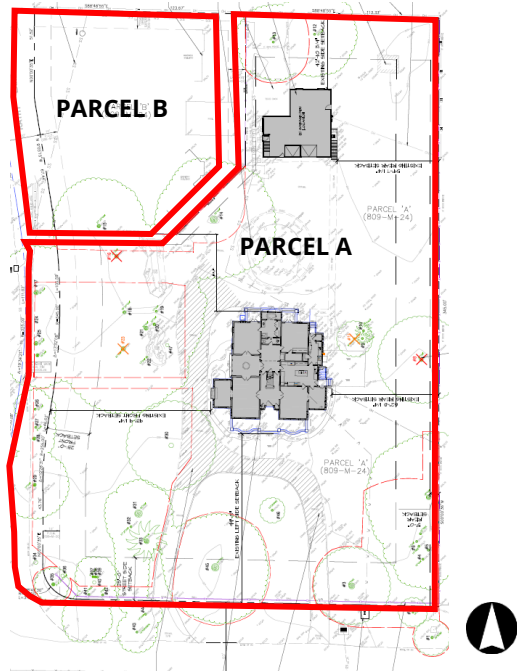


Figure 4. Existing Site Plan. Source: Young and Borlik Architects, CAF Tentative Tract Map, Sheet A0.4, Jun 25, 2024.

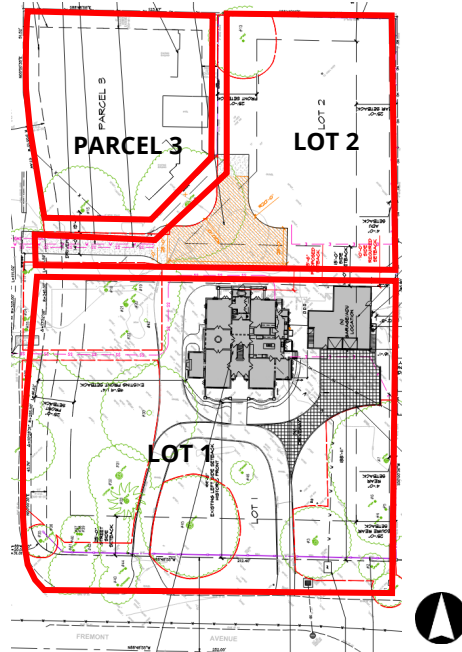


Figure 5. Proposed Site Plan for Two Parcels. Source: Young and Borlik Architects, CAF Tentative Tract Map, Sheet A0.5, June 25, 2024.



Figure 6. South And West Facades, View Northeast From Kathy Lane. Source: Young and Borlik Architects, CAF Tentative Tract Map, Sheet A6.0, June 25, 2024.

SECRETARY OF THE INTERIOR'S STANDARDS ANALYSIS

The *Secretary of the Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings* (the Standards) provide guidance for reviewing proposed work on historic properties, with the stated goal of making possible "a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."⁹ The Standards are used by federal agencies in evaluating work on historic properties. The Standards are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources. Projects that do not comply with the Standards may cause either a substantial or less-than-substantial adverse change in the significance of a historic resource.

The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. The four treatments are summarized as follows:

⁹ Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017), accessed April 11, 2018, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>.

Preservation: The Standards for Preservation “require retention of the greatest amount of historic fabric, along with the building’s historic form, features, and detailing as they have evolved over time.”

Rehabilitation: The Standards for Rehabilitation “acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building’s historic character.”

Restoration: The Standards for Restoration “allow for the depiction of a building at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.”

Reconstruction: The Standards for Reconstruction “establish a limited framework for recreating a vanished or non-surviving building with new materials, primarily for interpretive purposes.”¹⁰

Typically, one set of standards is chosen for a project based on the project scope. For the purposes of the proposed project at 1485 Fremont Avenue, the SOI Standards for Rehabilitation are appropriate for the proposed project’s scope.

SOI Standards for Rehabilitation Analysis

Rehabilitation Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

Discussion: The proposed project will reduce the size of the parcel occupied by the historic residence by dividing the current parcel into two lots. The center and northeastern portion of the existing Parcel A would become a flag lot for new construction, Lot 2, and the south portion of the existing Parcel A would become Lot 1. The project would relocate the historic garage currently located in this northeast quadrant to a site on the east side of the main residence, consolidating the historic buildings on Lot 1. While these changes will change spatial relationships on the property, it will continue to serve a residential multi-family use.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 1.

¹⁰ Anne E. Grimmer, *The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings* (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017), accessed September 7, 2023, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>.

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

Discussion: Despite splitting the current Parcel A into two new lots, the proposed project retains the main house and the garage, which both contribute to the significance and character of the historic property. Although moving the garage to a smaller subdivided lot to remain with the main house would adjust the original spatial relationships in the compound, it would maintain the primary relationships between the main house and the garage, as well as the main house and the expansive front yard.

The relocation would preserve the hierarchy of buildings on the site in which the garage is a subordinate support building to its rear. Further, the relocation would retain the foreground siting of the main residence at the center of the parcel, where it is the focal point of the site and its most prominent feature, approached by a long circular drive and set back from neighboring properties. With the recessed garage, the main house would continue to convey its status as the most important building on the property.

1485 Fremont Avenue is also characterized by its spacious site. While the project would increase density on the new Lot 1, the proposed garage location, set back near the new rear lot line, would minimize the visual impact on this expansiveness when viewed from Fremont Avenue and Kathy Lane. The larger extant tree specimens surrounding the newly relocated garage would remain in place, further buffering views of the garage from the south and east.

The proposed project would reduce the size of the rectangular rear yard, decreasing the spatial buffer at the rear of the residence. However, the change would continue the area's traditional use for auto circulation occurring behind the main residence out of public view. The proposed lot split would remove the driveway spur from the west side of the main residence, altering an area of secondary auto circulation. The newly relocated garage would place car parking and storage for the main house at the rear east side of the new Lot 1. Despite this, the circular driveway would retain its overall character and continue to be visible from Fremont Avenue as the primary circulation element on the front of the property.

As proposed, the project reinforces the subordinate relationship of the garage to the main residence, retains the primary circulation patterns on the site, and conserves the overall sense of spaciousness as viewed from the public right of way.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 2.

Rehabilitation Standard 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

Discussion: Relocating the historic garage does not introduce any conjectural features or elements from other historic properties, as the garage is an existing contributing feature of the historic property. Moving it to a different location on the property does not change the understanding of the two buildings' period of significance or uses.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 3.

Rehabilitation Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Discussion: The period of significance for 1485 Fremont Avenue is 1927, the year construction was completed. No alterations dating outside the period of significance have acquired significance in their own right.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 4.

Rehabilitation Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Discussion: As proposed, the project would preserve the distinctive features, finishes, construction techniques, and examples of craftsmanship that characterize 1485 Fremont Avenue as a historic property. The historic materials of the house and garage which convey the techniques and craftsmanship of their construction, including the stucco cladding, partial Spanish clay tile roof, raised ornamentation at the cornice lines, decorative turrets, an elaborate balustrade at the second story house balcony, divided-light casement windows, wood frame sash windows, and double garage door opening would be retained.

Therefore, as planned the proposed project complies with Rehabilitation Standard 5.

Rehabilitation Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Discussion: The project does not propose to repair or replace deteriorating features.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 6.

Rehabilitation Standard 7: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Discussion: Chemical or physical treatments are not proposed as part of the project. If such treatment is determined to be necessary as part of the proposed project, it would be undertaken using the gentlest means possible.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 7.

Rehabilitation Standard 8: *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Discussion: The proposed project would require ground disturbance to prepare the site for relocation of the garage and construction of the driveway spur. If any buried archaeological materials or deposits are encountered during ground-disturbing project activity, work should be halted immediately at the location of the discovery. The City of Los Altos should be informed, and a qualified archaeologist should be retained to identify and evaluate the archaeological materials and recommend appropriate measures for protection and/or treatment of the resource.

If these standard procedures are followed, the proposed project would comply with Rehabilitation Standard 8.

Rehabilitation Standard 9: *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Discussion: The proposed project would not introduce new construction, exterior alterations, or additions to the historic buildings at 1485 Fremont Avenue. As discussed with respect to Standard 2, relocating the garage to a position adjacent to but separate and set back from the primary façade of the residence allows the main building to retain its prominence as the focal point of the spacious site, particularly as seen from the public rights-of-way. Further, siting the garage near the rear of the proposed Lot 1 reinforces the secondary role of the garage as a support building.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 9.

Rehabilitation Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Discussion: If the relocated garage were, in the future, returned to its original site and the proposed driveway spur between the circular drive and garage removed, the property at 1485 Fremont Avenue would retain its essential form and integrity.

Therefore, as planned, the proposed project complies with Rehabilitation Standard 10.

Summary of Rehabilitation Standards Analysis

As the above analysis demonstrates, the proposed project as currently designed would comply with all of the ten *Secretary of the Interior's Standards for Rehabilitation*. The relocation of the garage to a site at the east side of the main residence with the front facade of the garage set back behind that of the main residence would differentiate the form and use of the two buildings. Further, it would reinforce the character-defining prominence of the main house, the subordinate function and status of the garage, and the spaciousness of the site.

CONCLUSION

1485 Fremont Avenue is designated as Historic Resource #43 on the City of Los Altos Historic Resources Inventory. The proposed split of the current lot into two parcels, changes to the rear yard, and alteration of auto circulation at the rear of the site and at the northeast side of the circular drive would not negatively impact the historic integrity of the site. Relocating the garage, as proposed, would not alter the character defining architectural features of the house or garage. Relocation of the garage maintain the primary spatial hierarchy between the house and garage and between the house and the site as viewed from the public right of way. Therefore, the proposed project would comply with all 10 of the Secretary of the Interior's Standards for Rehabilitation.

It is Page & Turnbull's opinion that the proposed alterations would not impact the integrity of the site to the extent that its eligibility for listing on the Los Altos Historical Resource Inventory would be lost. The proposed project would therefore not be anticipated to cause a substantial adverse change to a historical resource for the purposes of review under the California Environmental Quality Act (CEQA).

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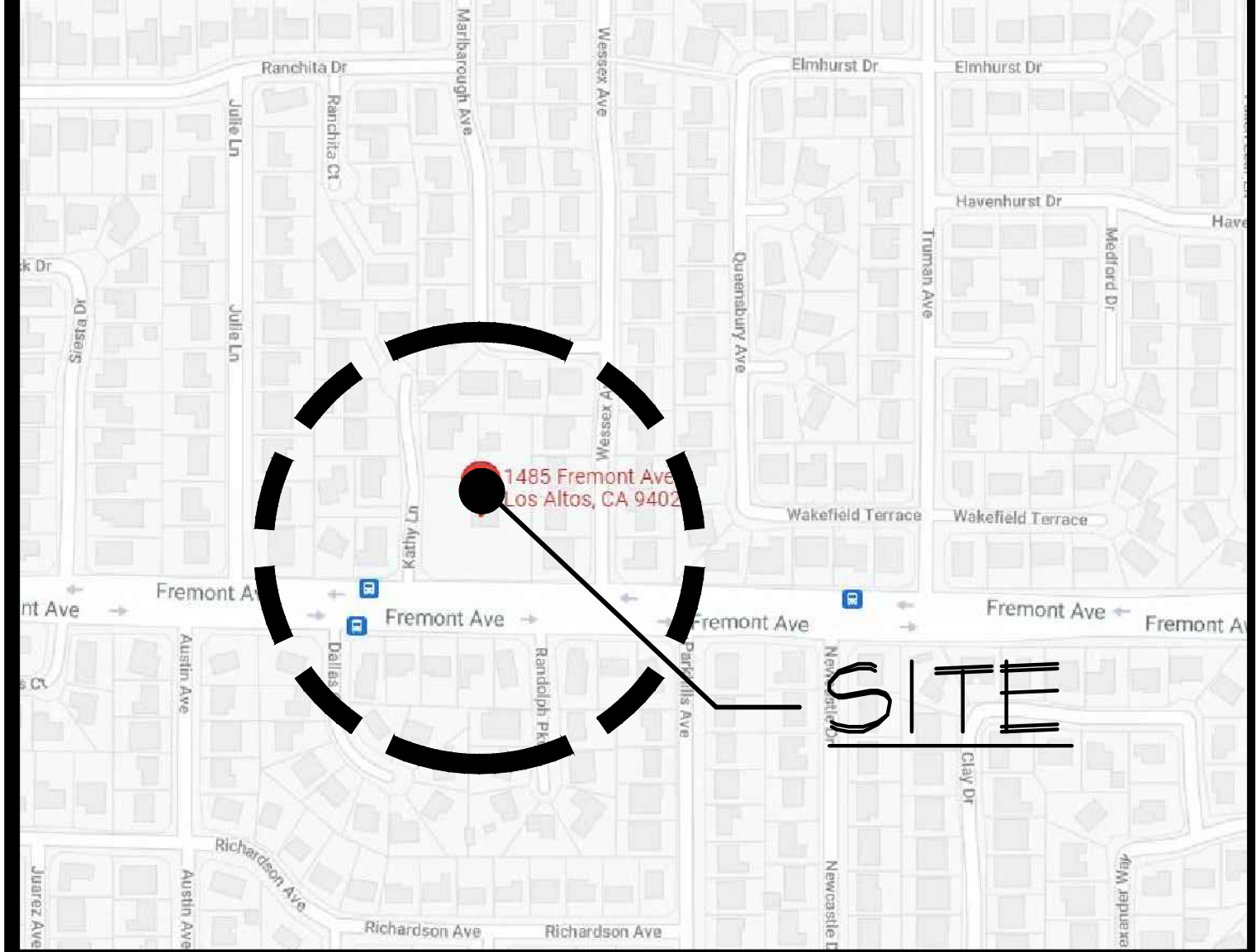
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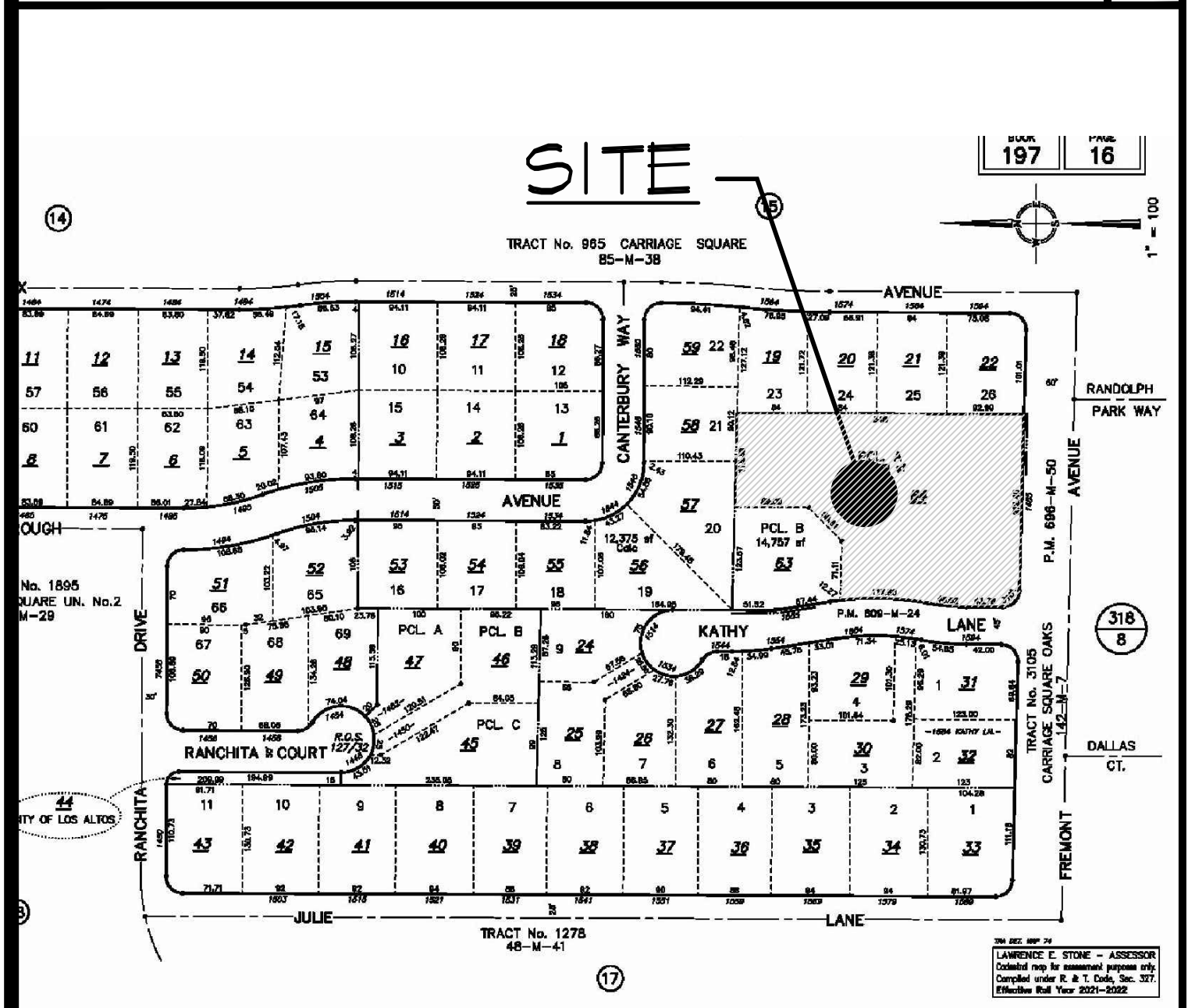
PROPOSED SOUTH FACADE, VIEW NORTH FROM FREMONT AVENUE (FOR REFERENCE ONLY)

3



VICINITY MAP

6



PARCEL MAP

5

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pgsoils.inc@gmail.com

ARCHITECTURAL
A0.1 COVER SHEET, VICINITY MAP, CONSULTANTS, SHEET INDEX, PROJECT SUMMARY
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A0.3 NEIGHBORHOOD CONTEXT SITE PLAN
A0.4 EXISTING SITE PLAN
A0.5 PROPOSED SITE PLAN
A0.6 AREA CALCULATIONS
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A1.2 EXISTING SECOND FLOOR PLAN
A1.3 EXISTING ROOF PLAN
A3.0 MATERIAL BOARD
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SURVEY
SU1 TOPOGRAPHIC SURVEY
SU2 TOPOGRAPHIC SURVEY
SU3 TOPOGRAPHIC SURVEY

CIVIL
TM1 TITLE SHEET
TM2 MAP SHEET
TM3 OVERALL GRADING AND DRAINAGE PLAN

ARBORIST REPORT
AR-1 ARBORIST REPORT
AR-2 ARBORIST REPORT
AR-3 ARBORIST REPORT
AR-4 ARBORIST REPORT

PROJECT DESIGN DATA:
2022 CALIFORNIA BUILDING CODE - VOL. 1&2
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE (CalGreen)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

CONSULTANTS

4

SCOPE:
1. TENTATIVE PARCEL MAP: SUBDIVIDE ONE LOT INTO TWO LOTS
2. HISTORIC PERMIT: RELOCATE EXISTING HISTORIC 2 STORY DETACHED ACCESSORY STRUCTURE AT REAR (EAST DIRECTION)

APN#: 197-16-064
OWNER: THE FUCILLA LOS ALTOS LLC, LISA FUCILLA AMOROSO, MOLLIE FUCILLA, AUDREY CARLSON, AND CARRIE FUCILLA THOMAS
PROJECT ADDRESS: 1485 FREMONT AVENUE LOS ALTOS, CA 94024
BUILDING OCCUPANCY: R-3/ U
TYPE OF CONSTRUCTION: V-B
ZONING: R1-10
EXISTING LOT SIZE: 64,379.99 sf
PROPOSED LOT 1 GROSS & NET SIZE: 41,989.93 sf
PROPOSED LOT 2 GROSS SIZE: 22,390.06 sf
PROPOSED LOT 2 NET SIZE: 20,265.42 sf
HISTORIC STATUS: YES
FLOOD ZONE: X
STORIES: 2
ACCESSORY STRUCTURE: YES
FIRE SPRINKLERS: NO
ALLOWABLE LOT COVERAGE: 14,696.48 sf
ALLOWABLE F.A.R.: 6,948.99 sf (3,850 + 10% [41,989.93-11,000])
FRONT SETBACK: 25'
SIDE SETBACK: 10' FIRST STORY, 17.5' SECOND STORY
REAR SETBACK: 25'
HEIGHT LIMIT: 27'

ZONING COMPLIANCE	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	4,831.9 sf	NO CHANGE	12,596.97 sf (30%)
FLOOR AREA: <i>Measured to the outside surface of exterior walls</i>	1st Flr: 2,982.2 sq ft 2nd Flr: 964.1 sq ft Garage: 1,351.3 sq. ft. ADU: 1,351.3 sq. ft. Total: 5,297.6 sq ft (ADU Exempt from FAR)	NO CHANGE	6,648.9 sf (3,850 + 10% [41,989.93-11,000])
MAIN HOUSE SETBACKS:			
Front	93' - 9 1/4"	NO CHANGE	25 feet
Rear	62' - 8"	NO CHANGE	25 feet
Right Side (1st/2nd)	173' - 10"	NO CHANGE	10 feet /17.5 feet
Left Side (1st/2nd)	99' - 3"	NO CHANGE	10 feet /17.5 feet
HEIGHT:	25' - 2"	NO CHANGE	27 feet
GARAGE/ADU SETBACKS:			
Front	133' - 8"	166' - 4"	25 feet
Rear	59' - 7 1/4"	15' - 4"	4 feet ADU Setback
Right Side (1st/2nd)	42' - 10 3/4"	10' - 0"	10 feet /17.5 feet
Left Side (1st/2nd)	262' - 0"	133' - 11"	10 feet /17.5 feet
HEIGHT:	19' - 3 1/4"	NO CHANGE	16 feet
SQUARE FOOTAGE BREAKDOWN			
HABITABLE LIVING AREA: <i>Include habitable basement area</i>	5,297.6 sf	NO CHANGE	NO CHANGE
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	2,461.9 sf	NO CHANGE	NO CHANGE
LOT CALCULATIONS			
NET LOT AREA:	64,380	LOT 1: 41,989.93sf LOT 2: 22,390.06 sf	N/A
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	0	0	0
LANDSCAPING BREAKDOWN:			
overall lot	Total hardscape area (existing and proposed):	8,295.99	
	Existing softscape (undisturbed area):	56,084.00	
	Sum of all three should equal the site's net lot area:	64,379.99	
LANDSCAPING BREAKDOWN:			
LOT 1	Total hardscape area (existing and proposed):	8,295.99	
	Existing softscape (undisturbed area):	33,694.00	
	Sum of all three should equal the site's net lot area:	41,989.99	
LANDSCAPING BREAKDOWN:			
LOT 2	Total hardscape area (existing and proposed):	0.00	
	Existing softscape (undisturbed area):	22,390.06	
	Sum of all three should equal the site's net lot area:	22,390.06	

SHEET INDEX

2

PROJECT SUMMARY

1

ISSUE LOG

NO.	REVISION	DATE
1	PLAN CHECK REVS	AUG. 22, 2024
2	PLAN CHECK REVS	SEPT. 04, 2024
3	PLAN CHECK REVS	SEPT. 11, 2024

TENTATIVE TRACT MAP GARAGE LOCATION
JUNE 25, 2024

YOUNG AND BORLIK ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE #218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com

TENTATIVE PARCEL MAP FOR:
LISA FUCILLA AMOROSO, MOLLIE FUCILLA, AUDREY CARLSON, AND CARRIE FUCILLA THOMAS
1485 FREMONT AVENUE
LOS ALTOS, CA 94024

A.P.N. 197-16-064

CHECKED: JT DRAWN: OH, TP, SS

DATE: JUNE 25, 2024

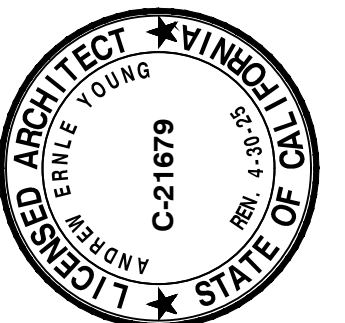
JOB #: CAF FREMONT

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ISSUE LOG	
1	TENTATIVE TRACT MAP GARAGE LOCATION JUNE 25, 2024
2	PLAN CHECK REV# AUG. 22, 2024
2	PLAN CHECK REV# SEPT. 04, 2024

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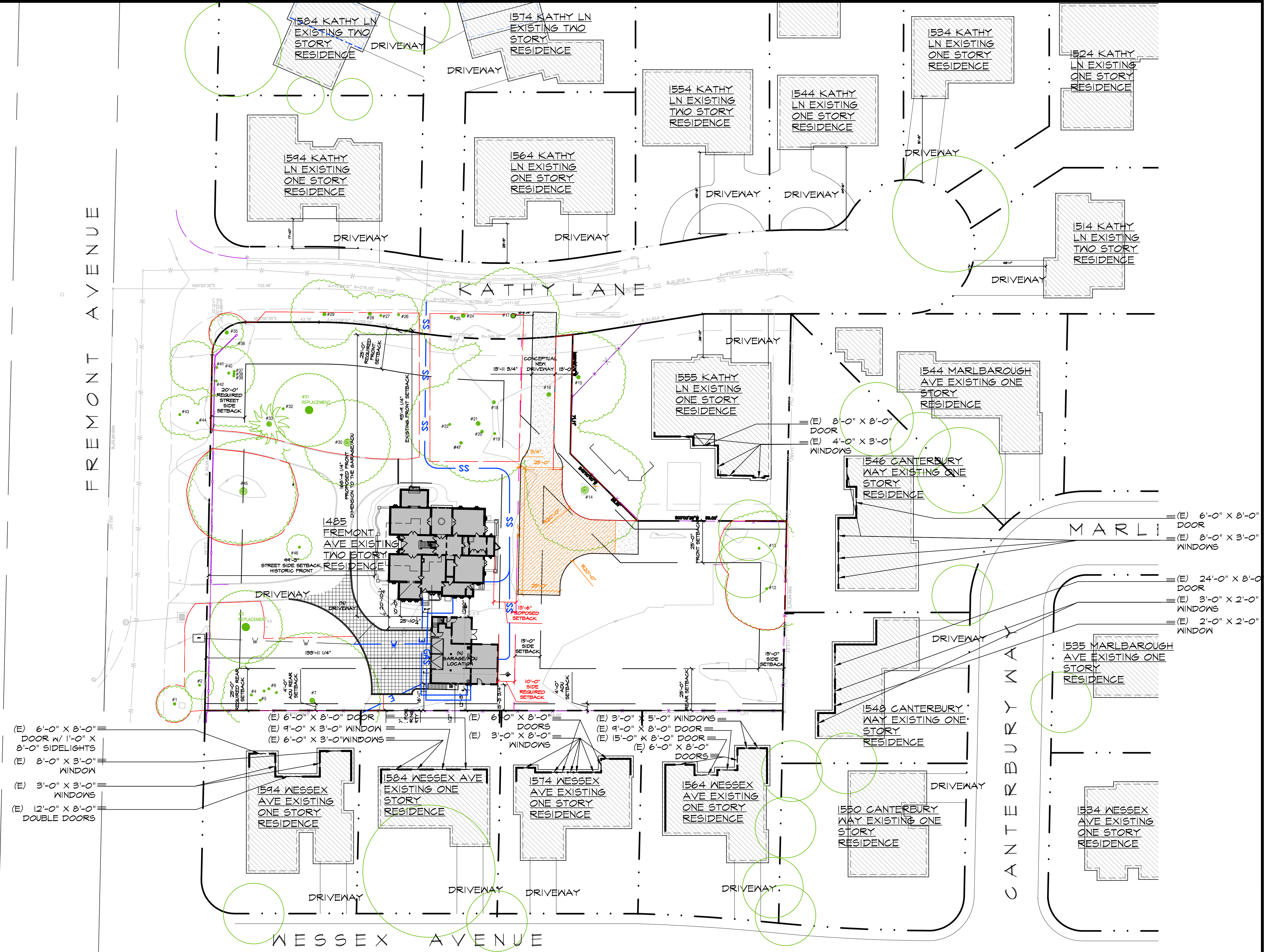
A.P.N. 197-16-064	
CHECKED JT	DRAWN OH, TP, SS
DATE JUNE 25, 2024	
JOB # CAF FREMONT	

A0.3



NEIGHBORHOOD CONTEXT - ELEVATIONS (KATHY LANE)

1/16" = 1'-0" **3**



NEIGHBORHOOD CONTEXT - SITE PLAN

1/32" = 1'-0" **2**



1594 KATHY LN



1564 KATHY LN



1555 KATHY LN



1564 WESSEX AVE



1574 WESSEX AVE



1584 WESSEX AVE



1594 WESSEX AVE

NEIGHBORHOOD PHOTOS

N.T.S. **1**

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TREE PROTECTION NOTE:

THE PROJECT ARBORIST MUST WORK WITH THE DESIGN TEAM IN ORDER TO PROVIDE PLAN REVIEW COMMENTS AND RECOMMENDATIONS CONCERNING THE PRESERVATION AND PROTECTION OF DESIRABLE TREES DURING THE DESIGN PHASE OF THIS PROJECT. THESE RECOMMENDATIONS PERTAIN TO THE PROTECTION OF THE CRITICAL ROOT ZONES OF THOSE TREES THAT WILL BE SITUATED WITHIN CLOSE PROXIMITY TO GRADING, WORK, THE INSTALLATION OF UNDERGROUND UTILITIES AND DRAINS AND ALL OTHER CONSTRUCTION ACTIVITIES.

1. TREE PROTECTION ZONE (TPZ) FENCE LOCATIONS MUST BE SHOWN ON THE FINAL SITE DEMOLITION AND CONSTRUCTION PLANS.

2. RECOMMEND THAT THE INDIVIDUAL TREE NUMBERS IDENTIFIED WITHIN ARBORIST REPORT ARE SHOWN ON THE COMPLETED CIVIL PLANS, SO AS TO PROVIDE AN EASY REFERENCE IN THE FIELD DURING THE DEMOLITION AND CONSTRUCTION PERIODS OF THIS PROJECT.

3. ARBORIST RECOMMEND THAT THE FOLLOWING NOTES BE ADDED ON THE FINAL DEMOLITION, GRADING, DRAINAGE, UTILITY AND CONSTRUCTION PLAN SHEETS:

- TREE PROTECTION ZONE FENCING MUST BE INSTALLED BEFORE SITE DEMOLITION AND CONSTRUCTION WORK PROCEEDS. THE PROJECT ARBORIST MUST INSPECT AND APPROVE OF THESE FENCES BEFORE ANY CONSTRUCTION EQUIPMENT COMES ONTO THE SITE. THESE FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD WITHOUT FIRST OBTAINING THE CONSENT OF THE PROJECT ARBORIST.

EXISTING TREE TO BE REMOVED. TREE REMOVAL APPLICATION UNDER SEPARATE PERMIT

EXISTING PARTIAL GRAVEL DRIVEWAY TO BE DEMO'D FOR NEW FLAG LOT SHOWN SHADED

EXISTING HISTORIC HOUSE TO REMAIN

EXISTING GRAVEL DRIVEWAY TO REMAIN AND BE PRESERVED

EXISTING TREE TO BE REMOVED. TREE REMOVAL APPLICATION UNDER SEPARATE PERMIT

EXISTING LOCATION OF WATER METER, TO REMAIN

EXISTING FENCE SHOWN PURPLE TYP., TO REMAIN

TREE PROTECTION NOTE:

• TREE PROTECTION ZONE FENCES MUST CONSIST OF STEEL CHAIN-LINK CONSTRUCTION AND BE ATTACHED TO STEEL POSTS DRIVEN INTO THE GROUND. LAMINATED TREE PROTECTION NOTICES MUST BE ATTACHED TO TPZ FENCES AT DISTANCES OF EVERY 15-FEET. THESE TPZ FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD, WITHOUT FIRST OBTAINING THE CONSENT OF THE PROJECT ARBORIST.

TREE PROTECTION NOTE:

CONSTRUCTION PERIOD INSPECTION SCHEDULE:

1. THE TREE PROTECTION ZONE FENCES:

• TREE PROTECTION ZONE FENCING MUST BE INSTALLED AND APPROVED OF BY THE PROJECT ARBORIST BEFORE ANY SITE DEMOLITION AND CONSTRUCTION WORK PROCEEDS.

TREE PROTECTION NOTE:

• THE PROJECT ARBORIST MUST ATTEND A PRE-CONSTRUCTION MEETING WITH THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR. THE PROJECT ARBORIST MUST ALSO BE NOTIFIED CONCERNING SCHEDULED SITE MEETINGS THROUGHOUT THE CONSTRUCTION PERIOD.

• ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM FENCED TREE PROTECTION ZONES UNLESS SUCH ENCROACHMENTS ARE UNAVOIDABLE, IN WHICH CASE THE PROJECT ARBORIST MUST PROVIDE SUPERVISION REGARDING ROOT PROTECTION AND PRESERVATION. VEHICLES AND EQUIPMENT MUST BE EXCLUDED FROM TREE PROTECTION ZONES. NO MATERIALS, CHEMICALS OR WASTE PRODUCTS MAY BE STORED OR DISPOSED OF WITHIN THESE PROTECTED AREAS.

• THE PROJECT ARBORIST MUST BE NOTIFIED IN THE EVENT THAT SIGNIFICANT ROOTS OVER 2-INCHES DIAMETER ARE ENCOUNTERED DURING ANY UNDERGROUND WORK.

TREE PROTECTION NOTE:

• TPZ FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD, WITHOUT FIRST OBTAINING THE CONSENT OF THE PROJECT MANAGER AND THE PROJECT ARBORIST.

NOTE-ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM FENCED TREE PROTECTION ZONES UNLESS SUCH ENCROACHMENTS ARE UNAVOIDABLE, IN WHICH CASE THE PROJECT ARBORIST MUST PROVIDE SUPERVISION REGARDING ROOT PROTECTION AND PRESERVATION WITHIN THESE AREAS. VEHICLES AND EQUIPMENT MUST BE EXCLUDED FROM TREE PROTECTION ZONES. NO MATERIALS, CHEMICALS OR WASTE PRODUCTS MAY BE STORED OR DISPOSED OF WITHIN THESE PROTECTED AREAS.

2. THE PRE-CONSTRUCTION MEETING:

• THE PROJECT ARBORIST MUST ATTEND A PRE-CONSTRUCTION MEETING WITH THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR AND MUST ALSO BE NOTIFIED CONCERNING SCHEDULED SITE MEETINGS THROUGHOUT THE CONSTRUCTION PERIOD.

TREE PROTECTION NOTE:

3. SITE INSPECTIONS & SUPERVISION:

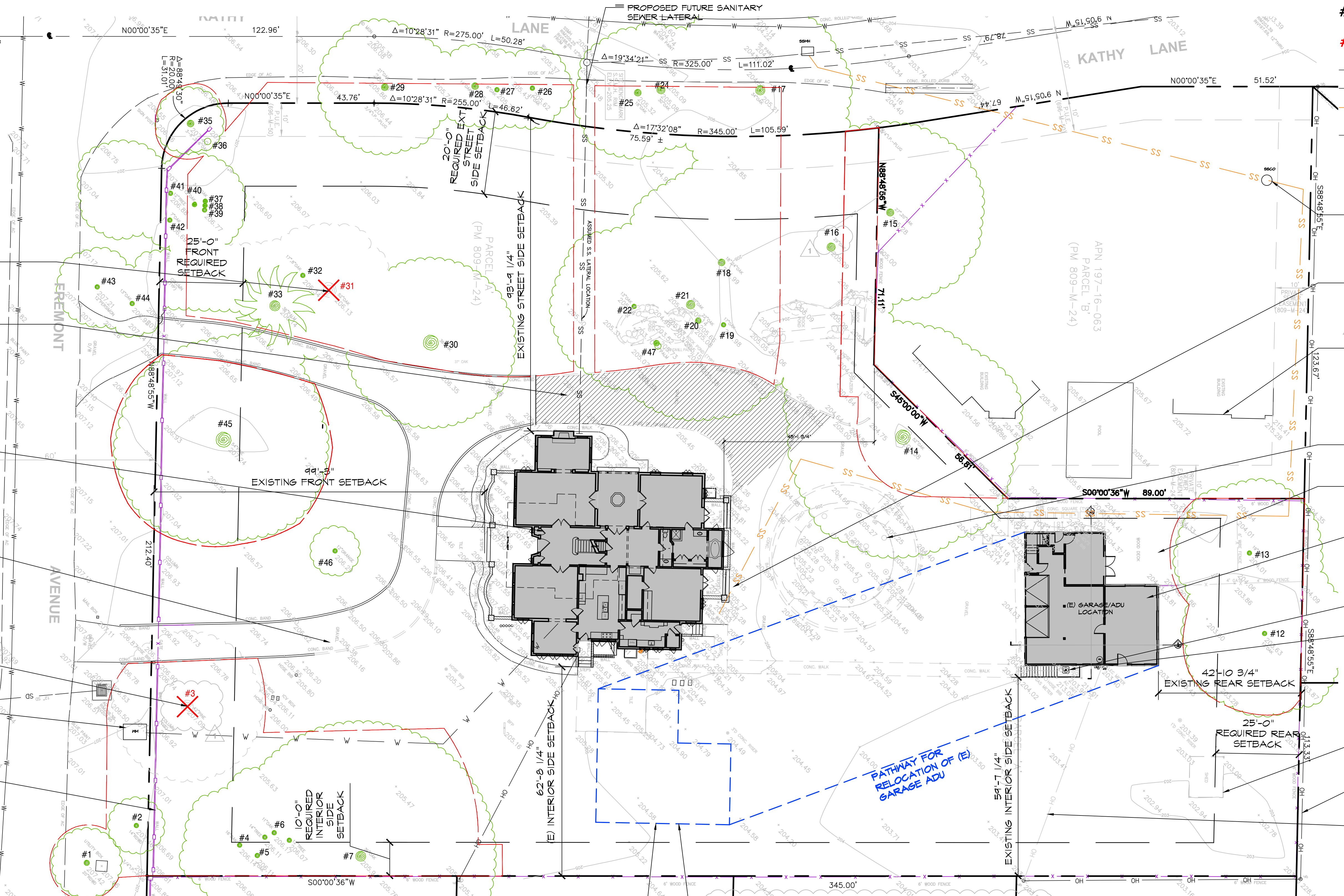
THE PROJECT ARBORIST MUST BE NOTIFIED IF SIGNIFICANT ROOTS OVER 2-INCHES DIAMETER ARE ENCOUNTERED DURING ANY UNDERGROUND WORK. ROOTS ENCOUNTERED WITHIN THE LIMITS OF GRADING AND EXCAVATION WORK THAT EXCEED 2-INCHES DIAMETER MUST BE PRUNED PROPERLY AND NOT BE TORN BY EQUIPMENT.

THE PROJECT ARBORIST MUST ALSO PROVIDE SUPERVISION OVERSIGHT CONCERNING ALL CONSTRUCTION DISTURBANCES THAT WILL ENCROACH WITHIN THE CRITICAL ROOT ZONES AREAS OF PROTECTED TREES (AS DEFINED BY THE TREE'S CANOPY DRIP LINE PERIMETERS OR BY A FACTOR OF THEIR TRUNK DIAMETER MEASUREMENTS). TREE PRUNING AND MAINTENANCE RECOMMENDATIONS:

ARBORIST RECOMMEND THAT THE TREES THAT ARE IDENTIFIED FOR PRESERVATION ON THIS SITE ARE PRUNED AND MAINTAINED BY A SKILLED TREE SERVICE PROVIDER TO IMPROVE THEIR STRUCTURAL CONDITIONS AND REDUCE THE RISK OF LIMB FAILURES. THIS WORK SHOULD BE COMPLETED BEFORE THE CONSTRUCTION PHASE BEGINS.

LEGEND:

- (N) LOCATION FOR GARAGE/ADU
- (E) FENCE IN PURPLE. VERIFY WITH NEIGHBOR FOR NEW 6' WOOD FENCE REPLACEMENT ALONG THE PROPERTY LINE WHEN APPLY
- PAVED AREAS TO BE DEMO'D
- TREE PROTECTION FENCE
- #XX NUMBERED TREE TO REMAIN
- ✗ #XX NUMBERED TREE TO BE REMOVED
- (E) WATER LINE
- (E) SEWER LINE
- SS SEWER LINE TO BE ABANDONED
- (E) OVERHEAD ELECTRICAL LINE
- (E) DRIVEWAY TO BE DEMO'D



- EXISTING SEWER LINE AND CLEAN OUT FOR FUTURE LOT 2 TO REMAIN.
- PORTION OF FUTURE LOT 1 SEWER LINE TO BE ABANDONED. SEE PROPOSED SEWER LINE ON SHEET A0.5
- EXISTING NEIGHBOR'S HOUSE FOOTPRINT
- EXISTING ROTUNDA TO BE DEMO'D SHOWN DASHED TYP.
- REMOVE (E) WOOD DECK SHOWN DASHED TYP.
- EXISTING 2,702.6 SF GARAGE/ADU BUILDING TO BE RELOCATED. SEE PROPOSED SITE PLAN SHEET A0.5 AND CIVIL SHEET FOR LOCATION
- EXISTING AC UNIT TO BE RELOCATED
- EXISTING ELECTRIC AND GAS METERS TO BE RELOCATED
- EXISTING SHED TO BE DEMO'D SHOWN DASHED TYP.
- EXISTING ELECTRICAL OVERHEAD LINE TO BE REMAIN
- EXISTING OVERHEAD ELECTRICAL SERVICE TO BE RELOCATED

SCOPE OF WORK FOR GARAGE/ADU RELOCATION

- INSTALL BEAMS, CRIBBING, BRACING AND JACKING SYSTEM TO RAISE BUILDING
- RAISE BUILDING APPROX. 2'
- PLACE ROLLING SYSTEM IN TO ROLL BUILDING
- MOVE BUILDING TO (N) LOCATION AS PER PLAN
- SIT ON 3X4 CRIBBING (SET UPS) DURING FOUNDATION PHASE
- PRIOR TO LOWERING BUILDING, ACCESS HOLES WILL BE REQUIRED. THEY WILL BE LOCATED UNDER STEEL BEAMS TO ALLOW THE HOUSE TO BE PROPERLY LOWERED TO (N) FOUNDATION OR PONY WALL

TREE PROTECTION NOTE:

THE PROJECT ARBORIST MUST MEET WITH THE APPROVED TREE SERVICE PROVIDER TO DISCUSS THE SCOPE OF THE RECOMMENDED WORK BEFORE IT PROCEEDS. THE PROJECT ARBORIST MUST ALSO INSPECT THE WORK IN PROGRESS IN ORDER TO ENSURE THAT IT IS BEING PERFORMED CORRECTLY. THIS WORK MUST BE UNDERTAKEN BY A STATE LICENSED TREE SERVICE PROVIDER AND COMPLY WITH ANSI A-300 BEST MANAGEMENT PRACTICES AND IS A STANDARD FOR TREE PRUNING AND THE INSTALLATION OF TREE SUPPORT SYSTEMS. THIS WORK MUST BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST.

EXISTING SITE PLAN

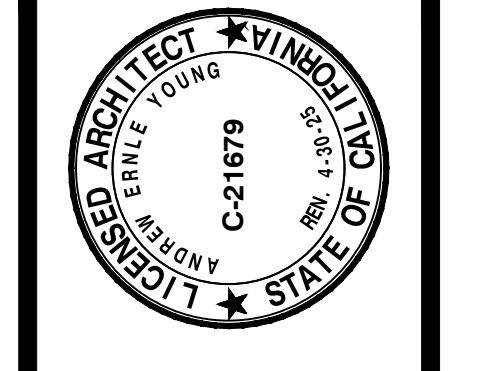
1/16" = 1'-0" 1

ISSUE LOG

1	TENTATIVE TRACT MAP GARAGE LOCATION	JUNE 25, 2024
2	PLAN CHECK REVS	AUG. 22, 2024
2	PLAN CHECK REVS	SEPT. 04, 2024

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TENTATIVE PARCEL MAP FOR:
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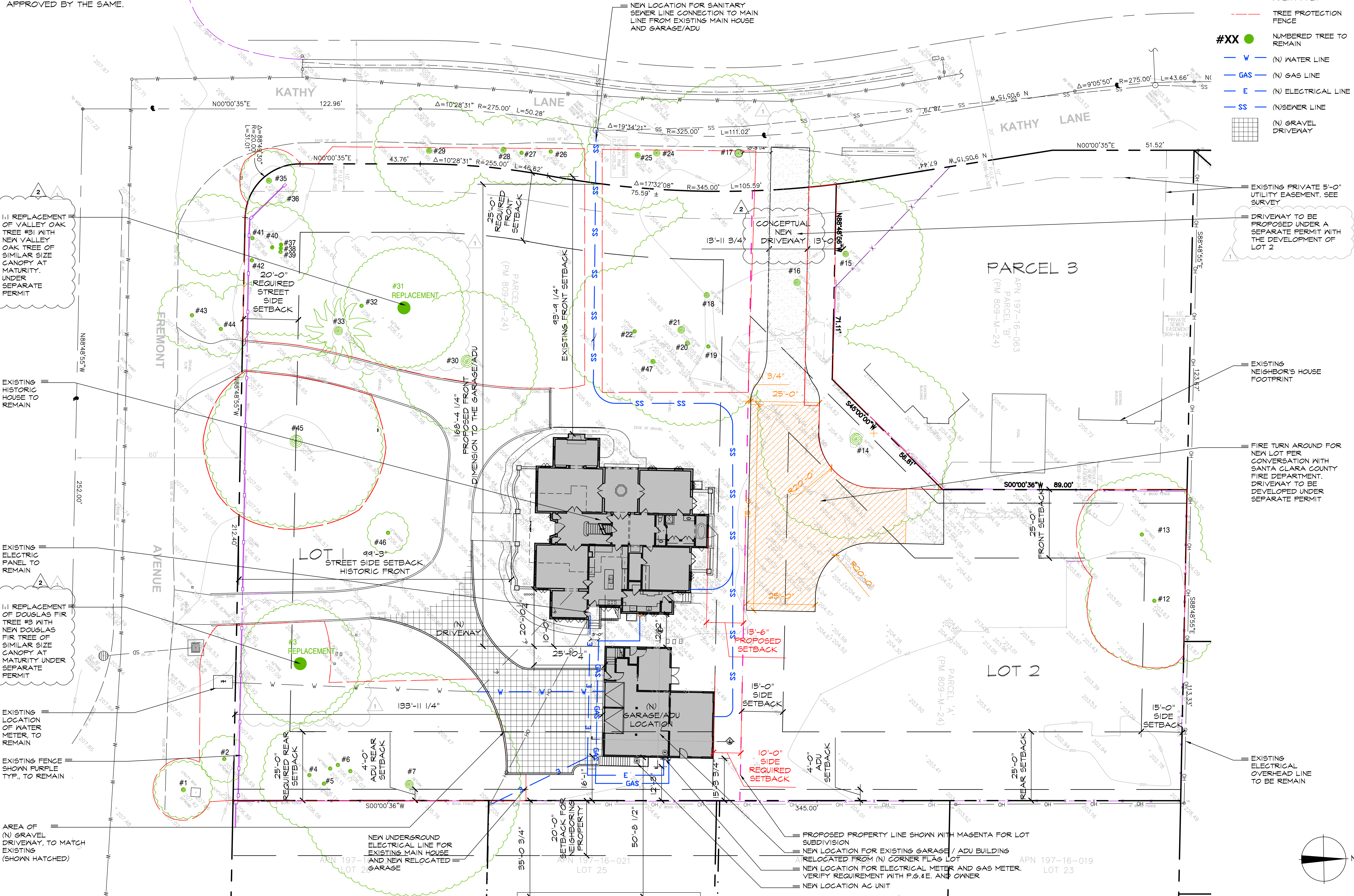
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TREE PROTECTION NOTE:
EXCAVATION ACTIVITIES ASSOCIATED WITH THE INSTALLATION OF THE DRIVEWAY APPROACH OR UTILITY CONNECTIONS SHALL OCCUR NO CLOSER THAN 10' FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-496-5953. ANY CHANGES SHALL BE APPROVED BY THE SAME.

REFER TO CIVIL PLAN ON SHEET TMS FOR FUTURE FLAG LOT UTILITIES UNDER SEPARATE PERMIT

LEGEND:

- (E) FENCE IN PURPLE. VERIFY WITH NEIGHBOR FOR NEW 6' WOOD FENCE REPLACEMENT ALONG THE PROPERTY LINE WHEN APPLY
- TREE PROTECTION FENCE
- #XX ● NUMBERED TREE TO REMAIN
- (N) WATER LINE
- GAS (N) GAS LINE
- (N) ELECTRICAL LINE
- SS (N)SEWER LINE
- (N) GRAVEL DRIVEWAY



1:1 REPLACEMENT OF VALLEY OAK TREE #31 WITH NEW VALLEY OAK TREE OF SIMILAR SIZE CANOPY AT MATURITY. UNDER SEPARATE PERMIT

EXISTING HISTORIC HOUSE TO REMAIN

EXISTING ELECTRIC PANEL TO REMAIN

1:1 REPLACEMENT OF DOUGLAS FIR TREE #3 WITH NEW DOUGLAS FIR TREE OF SIMILAR SIZE CANOPY AT MATURITY UNDER SEPARATE PERMIT

EXISTING LOCATION OF WATER METER TO REMAIN

EXISTING FENCE SHOWN PURPLE TYP, TO REMAIN

AREA OF (N) GRAVEL DRIVEWAY, TO MATCH EXISTING (SHOWN HATCHED)

NEW UNDERGROUND ELECTRICAL LINE FOR EXISTING MAIN HOUSE AND NEW RELOCATED GARAGE

20'-0" SETBACK FOR NEIGHBORING PROPERTY

50'-8 1/2" SETBACK FOR NEIGHBORING PROPERTY

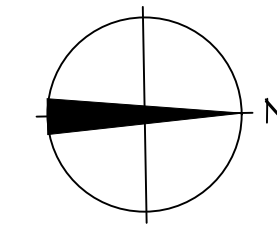
- PROPOSED PROPERTY LINE SHOWN WITH MAGENTA FOR LOT SUBDIVISION
- NEW LOCATION FOR EXISTING GARAGE / ADU BUILDING
- RELOCATED FROM (N) CORNER FLAG LOT
- NEW LOCATION FOR ELECTRICAL METER AND GAS METER. VERIFY REQUIREMENT WITH P.S.&E. AND OWNER
- NEW LOCATION AC UNIT

EXISTING PRIVATE 5'-0" UTILITY EASEMENT. SEE SURVEY

DRIVEWAY TO BE PROPOSED UNDER A SEPARATE PERMIT WITH THE DEVELOPMENT OF LOT 2

FIRE TURN AROUND FOR NEW LOT PER CONVERSATION WITH SANTA CLARA COUNTY FIRE DEPARTMENT. DRIVEWAY TO BE DEVELOPED UNDER SEPARATE PERMIT

EXISTING ELECTRICAL OVERHEAD LINE TO BE REMAIN

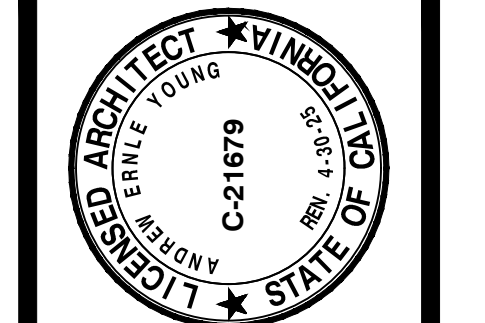


PROPOSED SITE PLAN FOR (2) PARCELS

3/32" = 1'-0" 1

ISSUE LOG	
1	TENTATIVE TRACT MAP GARAGE LOCATION JUNE 25, 2024
2	PLAN CHECK REV# AUG. 22, 2024
2	PLAN CHECK REV# SEPT. 04, 2024

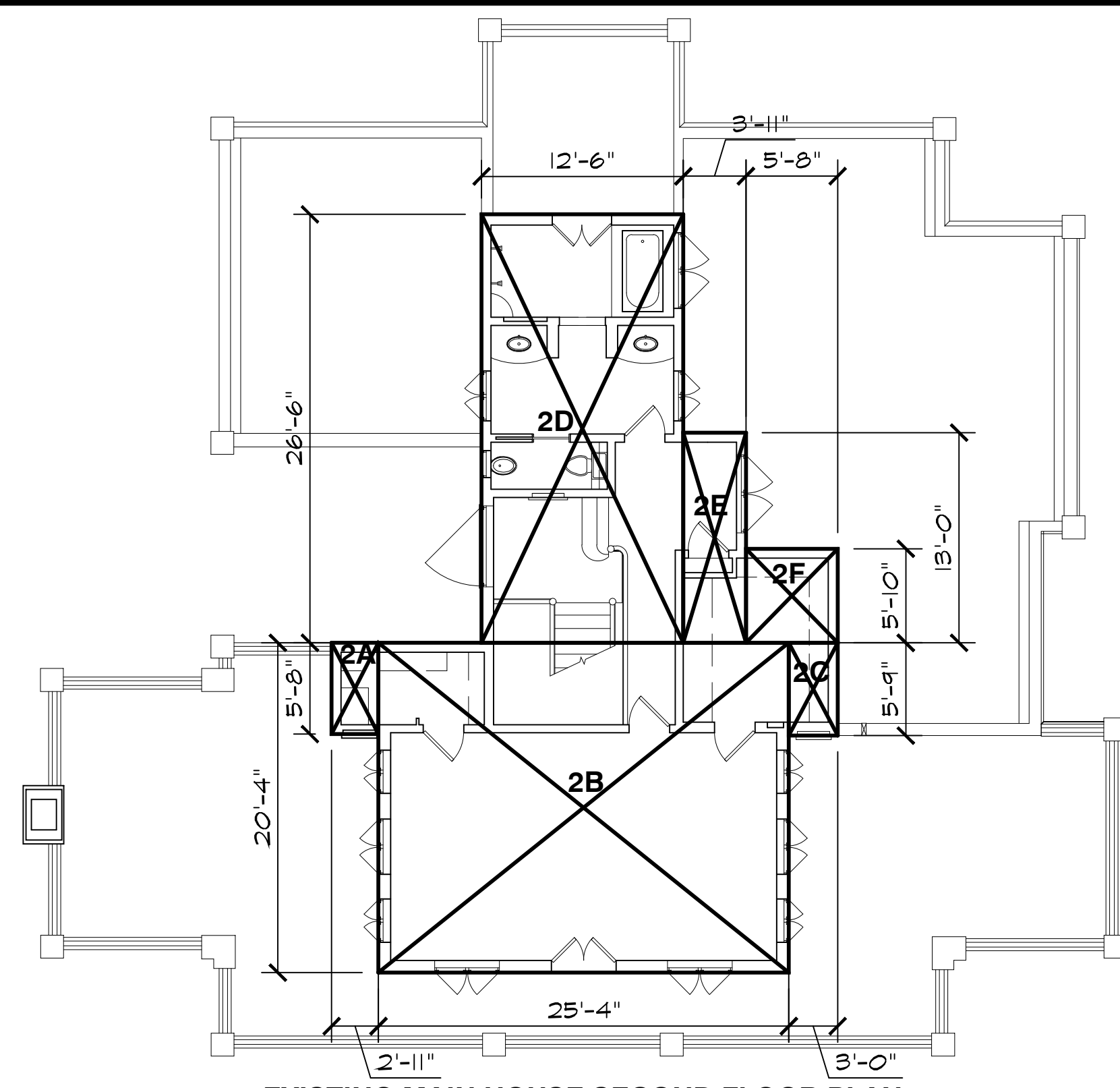
YOUNG AND BORLIK ARCHITECTS, INCORPORATED
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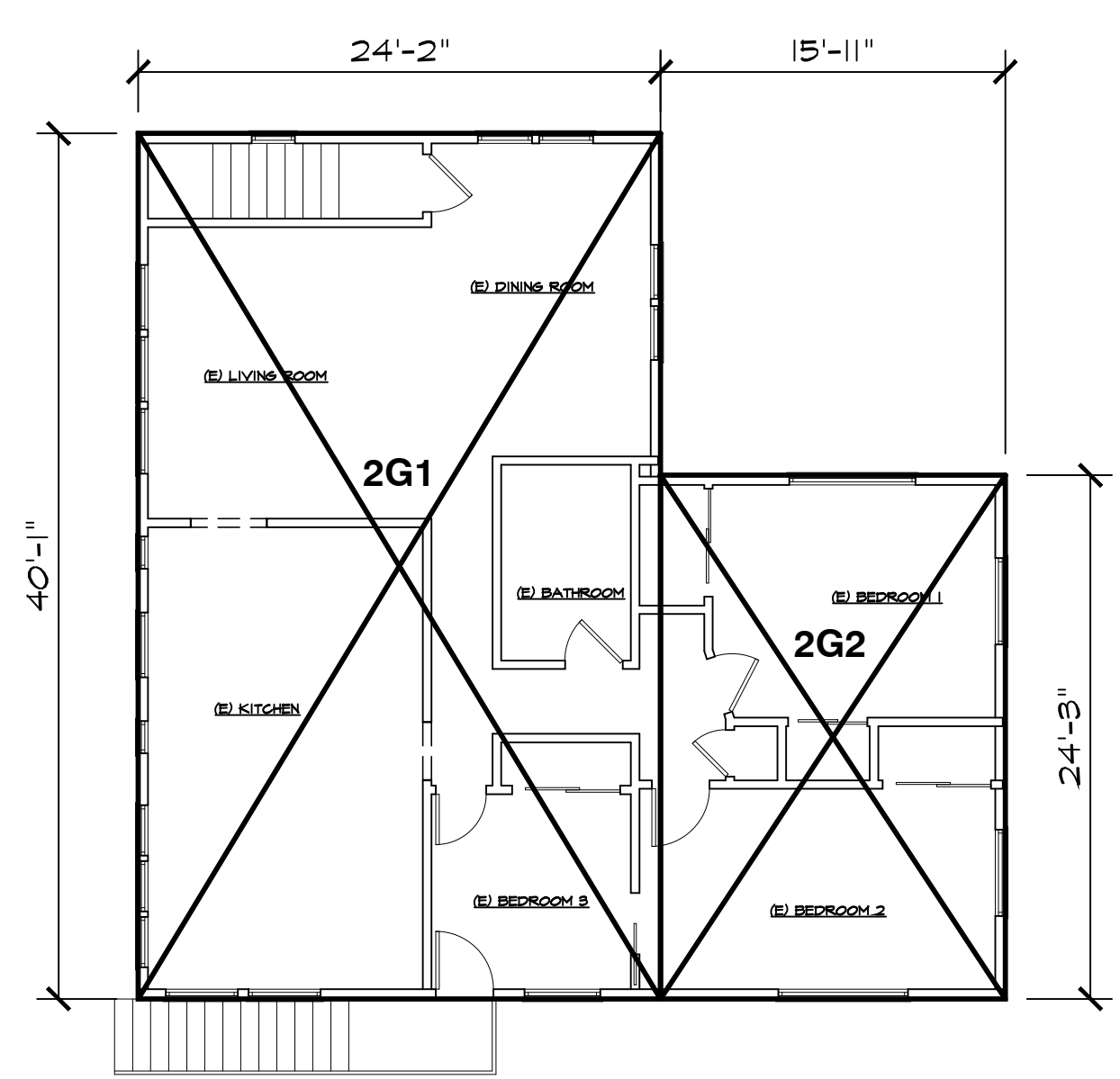
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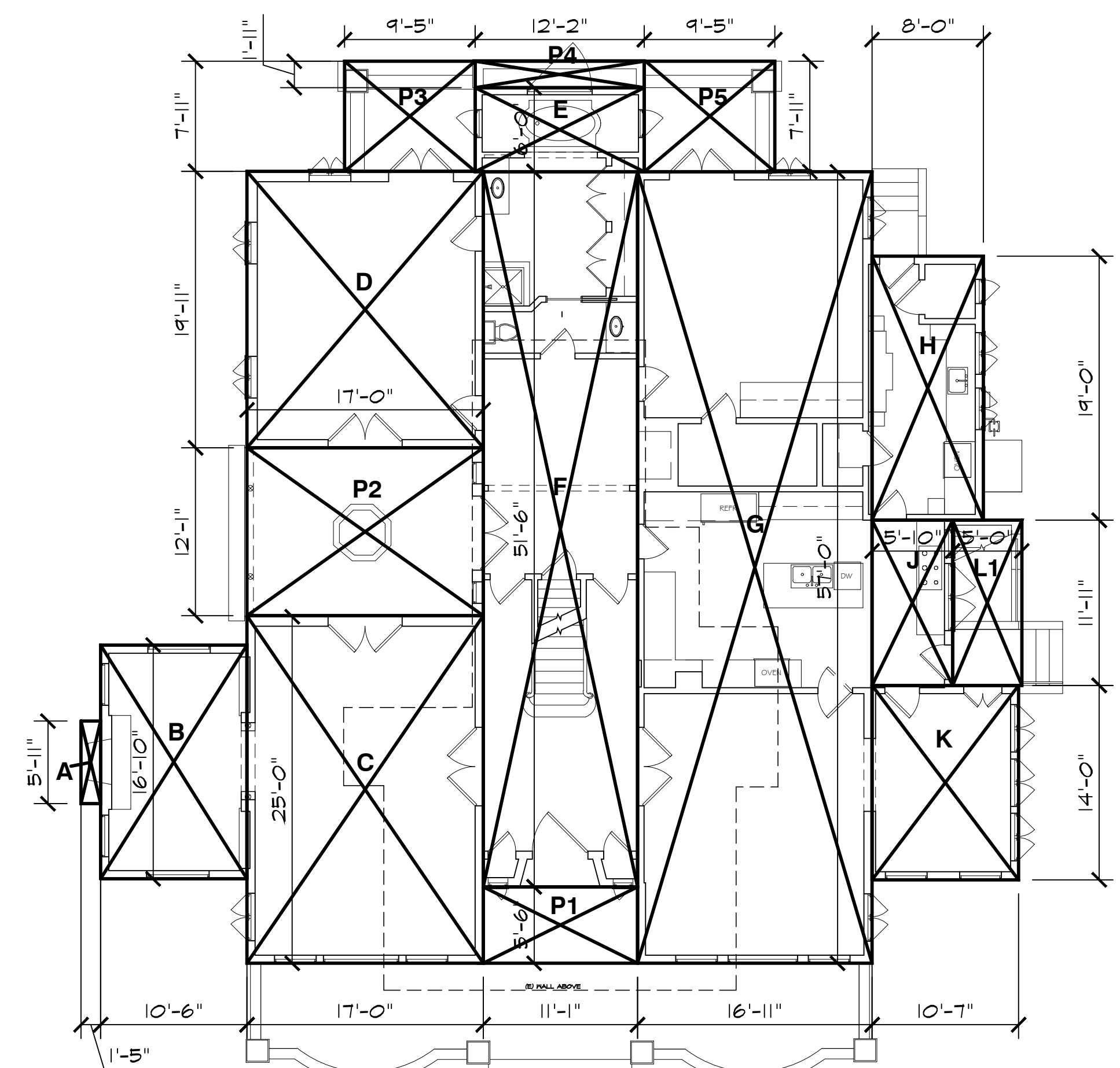
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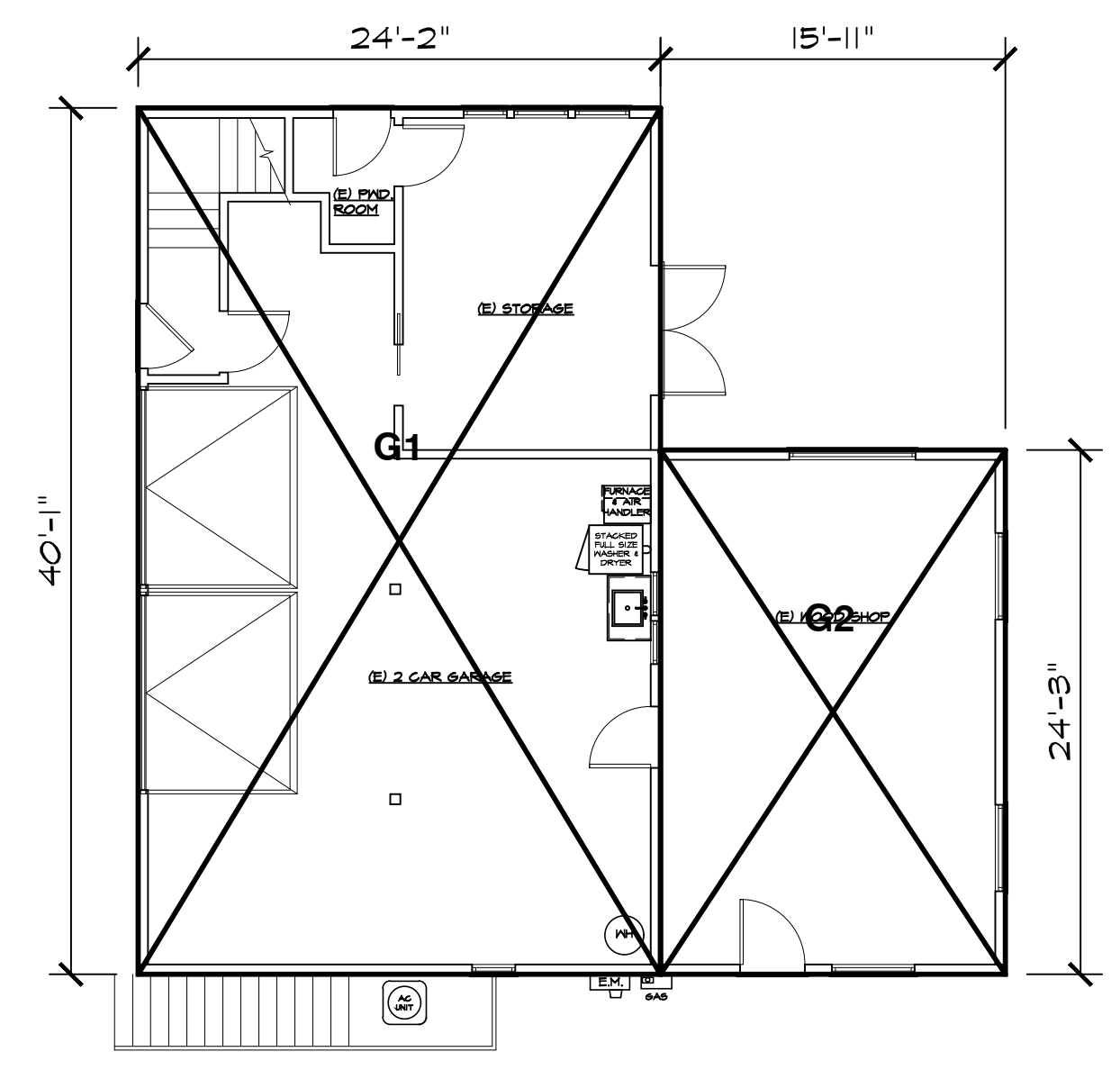
EXISTING MAIN HOUSE SECOND FLOOR PLAN



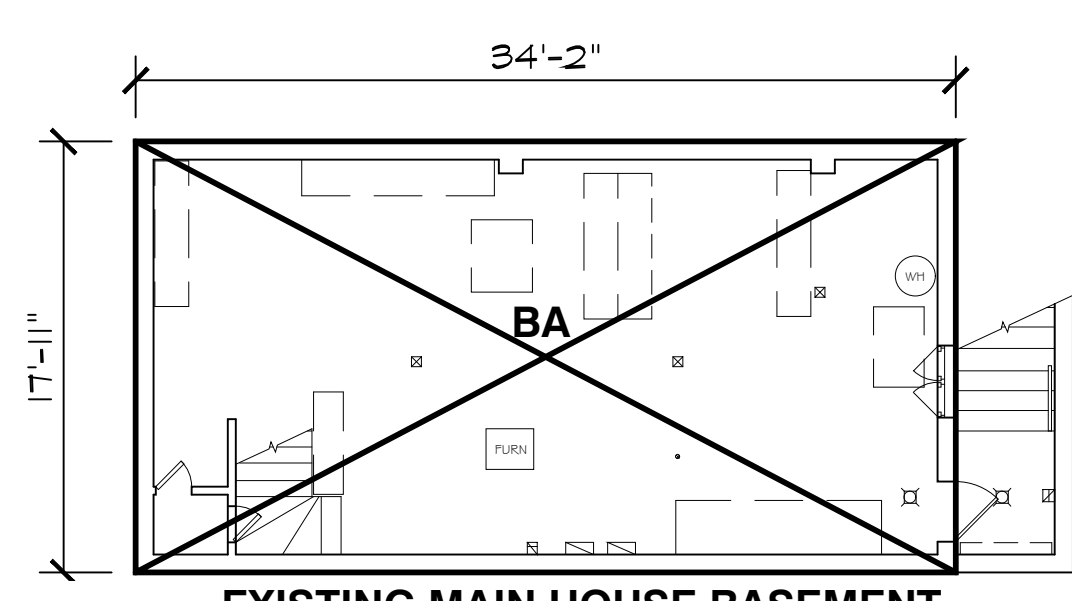
EXISTING GARAGE SECOND FLOOR PLAN



EXISTING MAIN HOUSE FIRST FLOOR PLAN



EXISTING GARAGE FIRST FLOOR PLAN



EXISTING MAIN HOUSE BASEMENT

CALCULATIONS

EXISTING MAIN HOUSE BASEMENT FLOOR AREA				
BOX	(X) DIM - FEET	(Y) DIM - FEET	Area (SF)	NOTES
BA	34.17	17.92	612.2	
EXISTING UTILITY BASEMENT FLOOR AREA (SF)			612.2	

EXISTING MAIN HOUSE FIRST FLOOR AREA				
A	1.42	5.92	8.4	
B	10.50	16.83	176.8	
C	17.00	25.00	425.0	
D	17.00	19.92	338.6	
E	12.17	6.00	73.0	
F	12.17	51.50	626.6	
G	16.92	57.00	964.3	
H	8.00	19.00	152.0	
J	5.83	11.92	69.5	
K	10.58	14.00	148.2	
L1	5.00	11.92	59.6	59.6 covered porch
P1	11.08	5.50	61.0	61.0 covered porch
P2	17.00	12.08	205.4	205.4 covered porch
P3	9.42	7.92	74.5	74.5 covered porch
P4	12.17	1.92	23.3	23.3 covered porch
P5	9.42	7.92	74.5	74.5 covered porch
EXISTING CONDITIONED FIRST FLOOR AREA (SF)			2,982.2	
EXISTING MAIN HOUSE COVERED PORCHES (SF)			498.4	

EXISTING MAIN HOUSE SECOND FLOOR AREA				
2A	2.92	5.67	16.5	
2B	25.33	20.33	515.1	
2C	3.00	5.75	17.3	
2D	12.50	26.50	331.3	
2E	3.92	13.00	50.9	
2F	5.67	5.83	33.1	
EXISTING CONDITIONED SECOND FLOOR AREA (SF)			964.1	

EXISTING GARAGE				
BOX	(X) DIM - FEET	(Y) DIM - FEET	Area (SF)	NOTES
G1	24.08	40.08	965.3	
G2	15.92	24.25	386.0	
EXISTING GARAGE FLOOR AREA (SF)			1,351.3	

EXISTING ADU ABOVE GARAGE				
BOX	(X) DIM - FEET	(Y) DIM - FEET	Area (SF)	NOTES
2G1	24.08	40.08	965.3	
2G2	15.92	24.25	386.0	
EXISTING ADU FLOOR AREA (SF)			1,351.3	ADU is exempt from FAR

TOTAL (E) CONDITIONED MAIN HOUSE SQUARE FOOTAGE	3,946.3	
TOTAL EXISTING GARAGE + ADU SQUARE FOOTAGE	2,702.6	
TOTAL FLOOR AREA (PLANNING)	5,297.6	< 6,948.99SF MAX
TOTAL FLOOR AREA (BUILDING)	7,261.1	includes utility basement
TOTAL EXISTING LOT COVERAGE (SF)	4,831.9	< 12,596.97 MAX ALLOWABLE

LEGEND
 COVERED PORCH OR LIGHTWELL



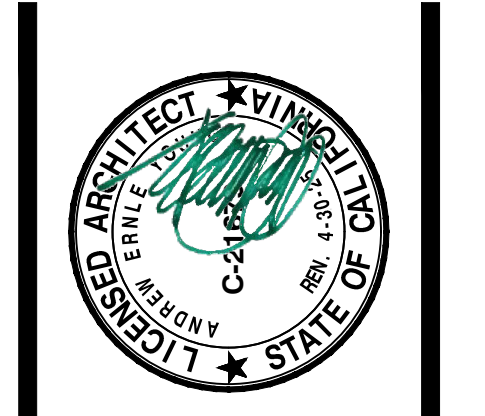
AREA CALCULATIONS (FOR REFERENCE ONLY)

1/8" = 1'-0" **1**

ISSUE LOG

NO.	REVISION	DATE
1	PLAN CHECK REVS	AUG. 22, 2024
2	PLAN CHECK REVS	SEPT. 04, 2024
3	PLAN CHECK REVS	SEPT. 11, 2024

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TENTATIVE PARCEL MAP FOR:
 LISA FUCILLA AMOROSO, MOLLIE FUCILLA, AUDREY CARLSON, AND CARRIE FUCILLA THOMAS
 1485 FREMONT AVENUE
 LOS ALTOS, CA 94024

A.P.N. 197-16-064	
CHECKED JT	DRAWN OH, TP, SS
DATE JUNE 25, 2024	
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A0.6

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ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

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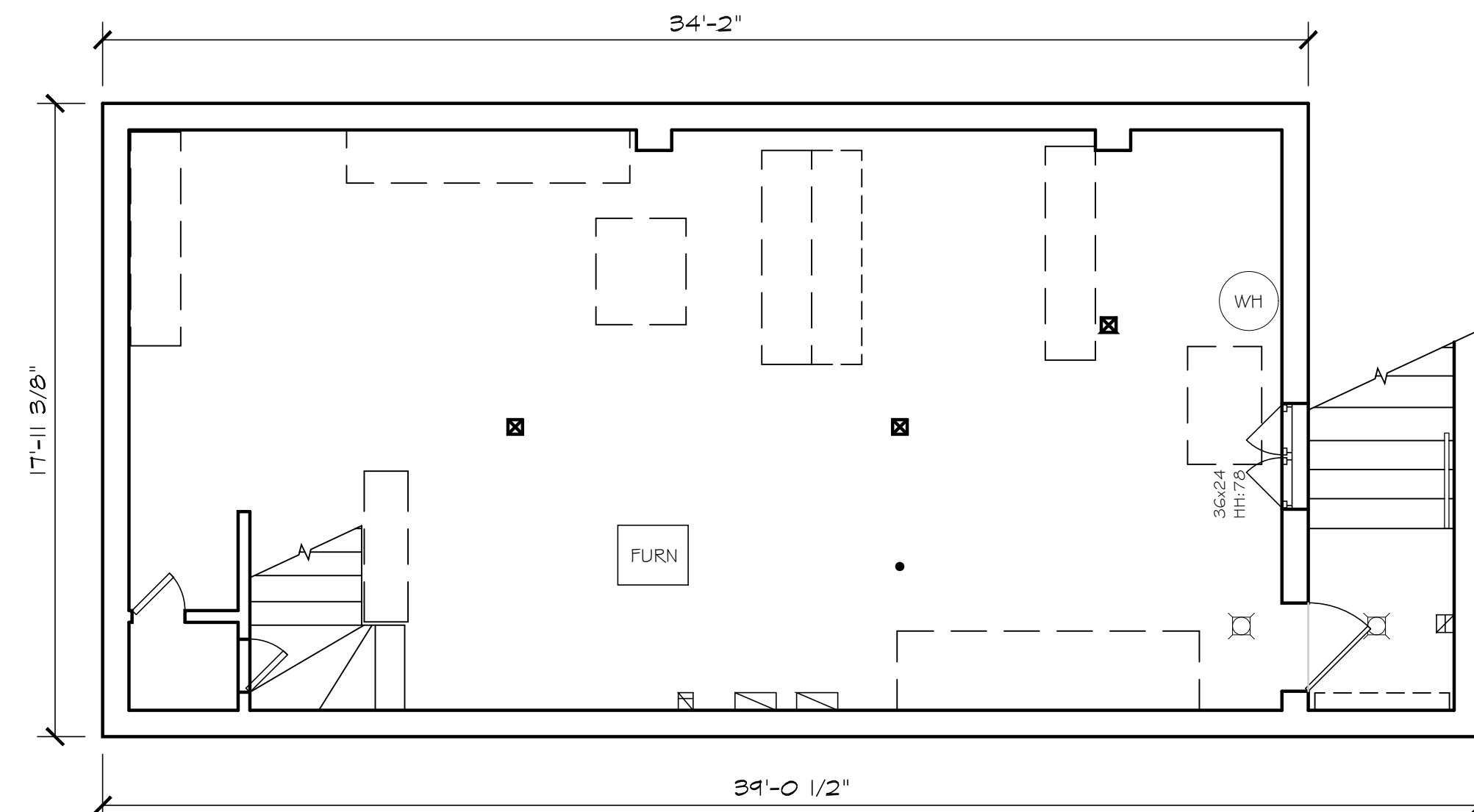
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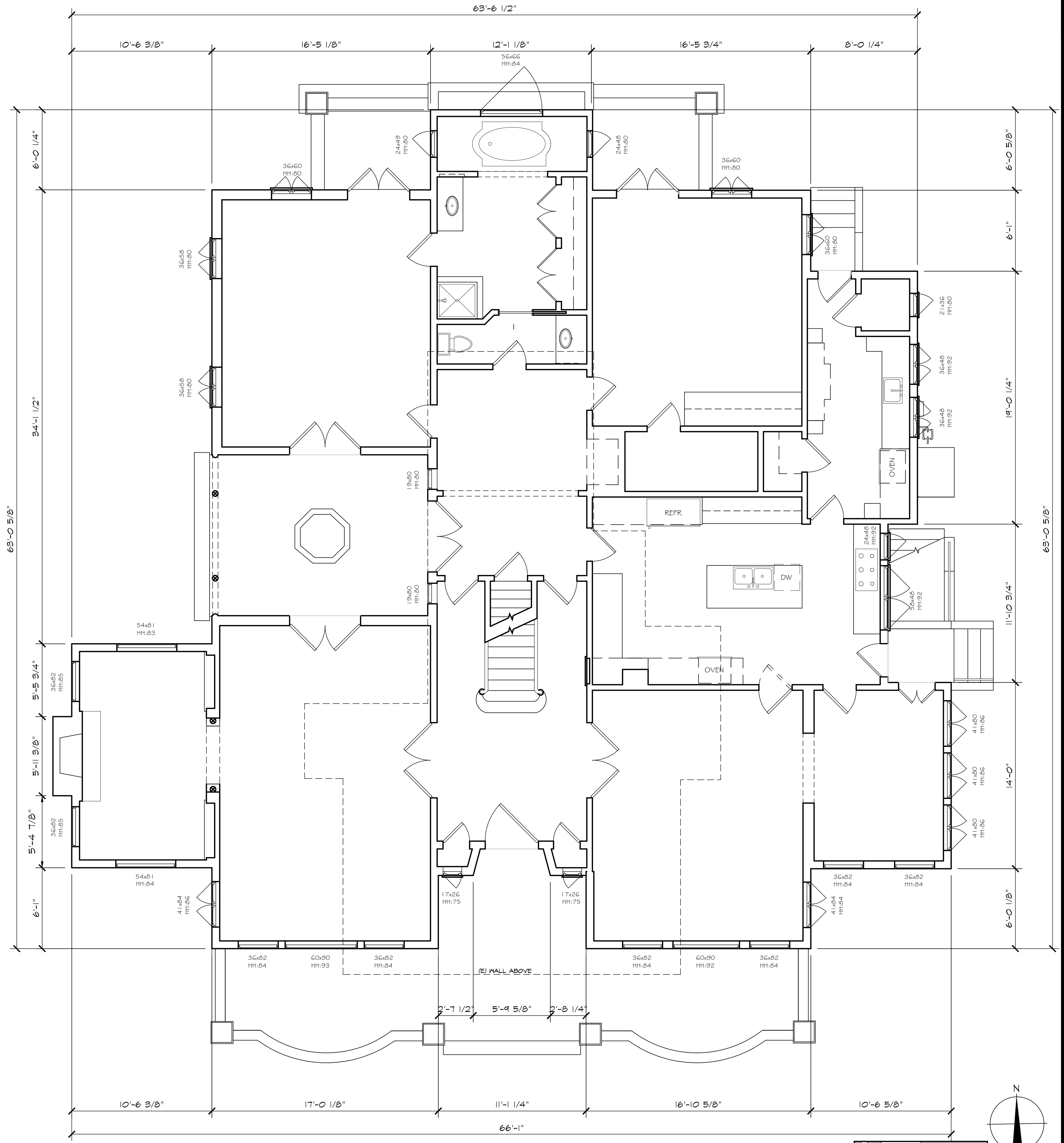
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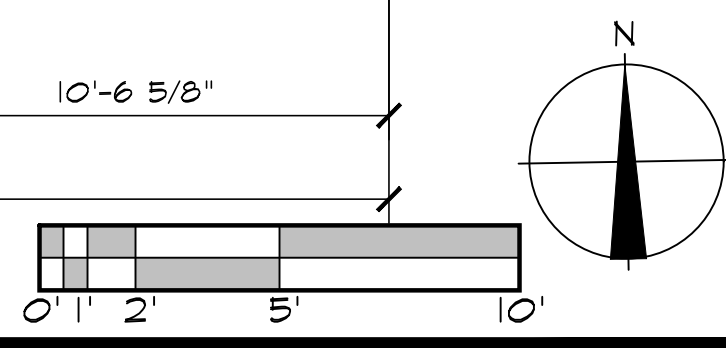
(FOR REFERENCE ONLY, NO PROPOSED CHANGE)

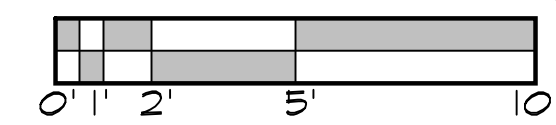
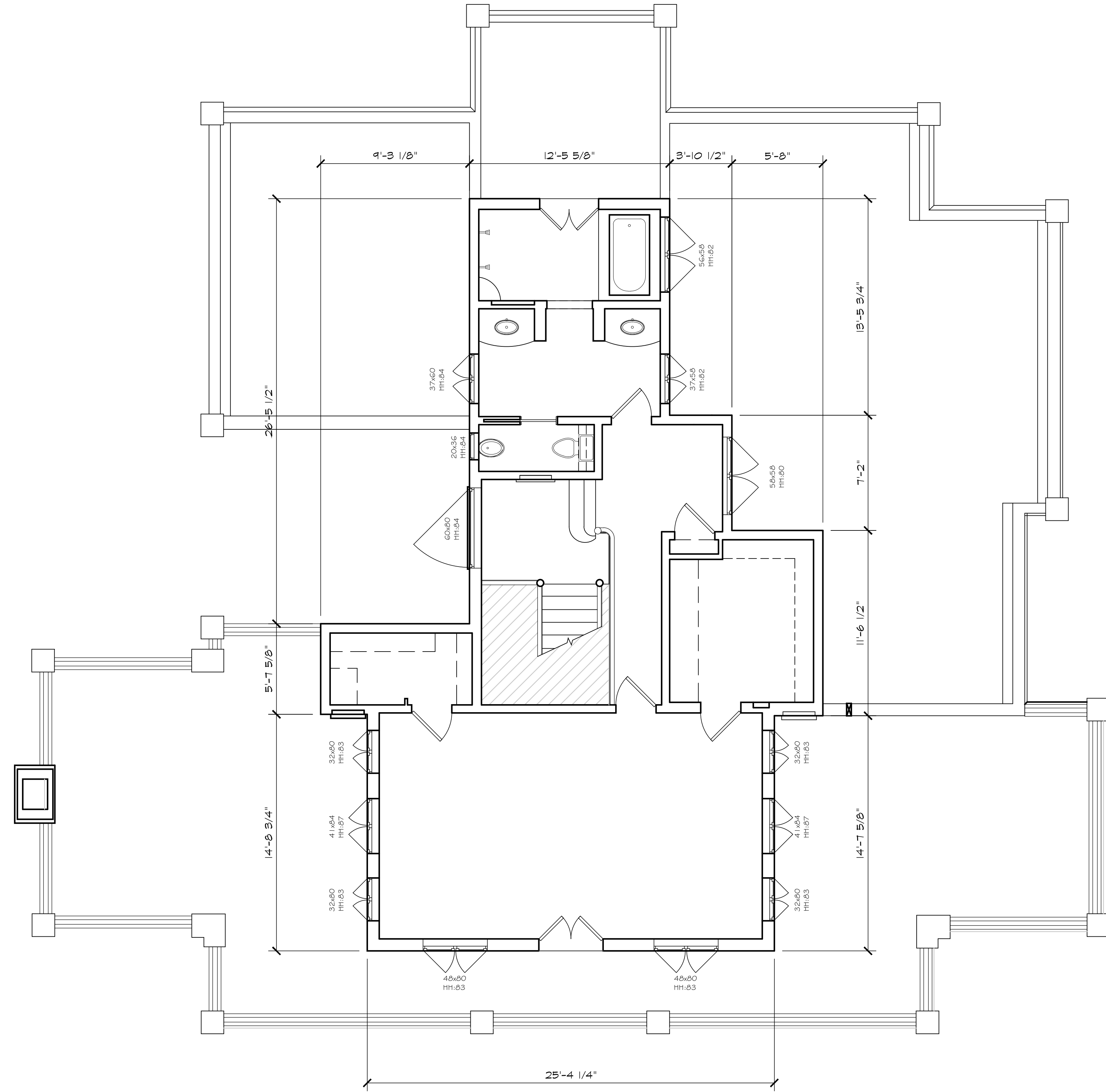
EXISTING MAIN HOUSE UTILITY BASEMENT FLOOR PLAN 1/4" = 1'-0" 2



EXISTING MAIN HOUSE FIRST FLOOR PLAN (FOR REFERENCE ONLY, NO PROPOSED CHANGE)

1/4" = 1'-0" 1





EXISTING MAIN HOUSE SECOND FLOOR PLAN (FOR REFERENCE ONLY, NO PROPOSED CHANGE)

1/4" = 1'-0"

1

Agenda Item 2.

ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1	PLAN CHECK REVS AUG. 22, 2024

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A1.2

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40

ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

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A1.3



IMAGE - A



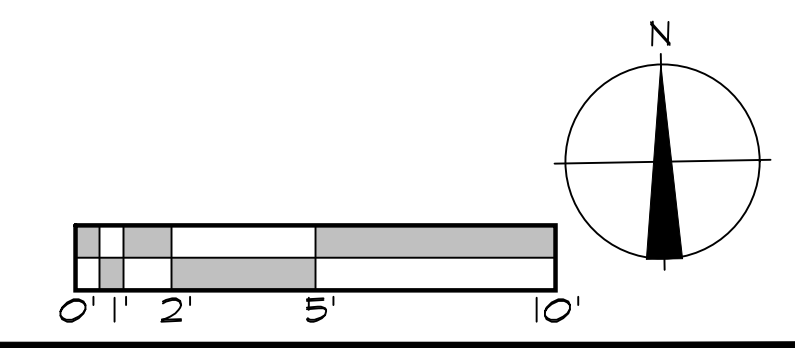
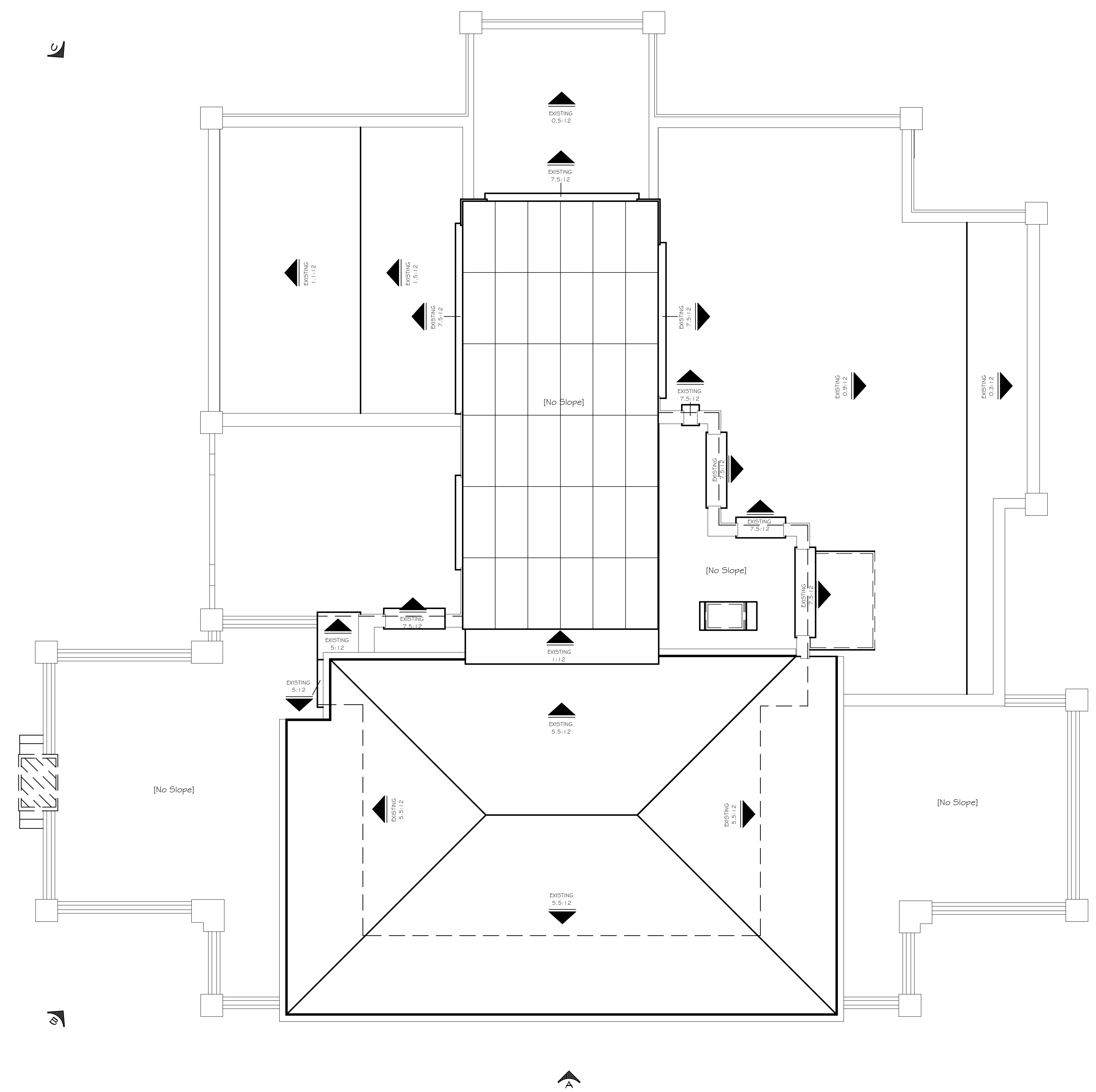
IMAGE - B



IMAGE - C



IMAGE - D



EXISTING ROOF PLAN (FOR REFERENCE ONLY, NO PROPOSED CHANGE)

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IMAGE A: (E) ROOF MATERIAL



IMAGE B: (E) DOOR/WINDOW & CORBEL DETAIL



IMAGE C: @ UPPER BALCONY PARAPET



IMAGE D: WHOLE HOUSE MATERIAL FINISH



IMAGE E: HOUSE ORNAMENT DETAILS



IMAGE F: ENTRY DOOR



EXISTING MAIN HOUSE MATERIAL BOARD (FOR REFERENCE ONLY, NO PROPOSED CHANGE)

3/16" = 1'-0"



IMAGE A: FRONT GARAGE



IMAGE B: SIDE OF GARAGE



IMAGE C: REAR AND SIDE

EXISTING GARAGE MATERIAL BOARD (FOR REFERENCE ONLY, NO PROPOSED CHANGE)

1/4" = 1'-0"

1

ISSUE LOG	
TENTATIVE TRACT MAP GARAGE LOCATION JUNE 25, 2024	
1	PLAN CHECK REVS AUG. 22, 2024

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1485 FREMONT AVENUE
LOS ALTOS, CA 94024

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DATE JUNE 25, 2024	
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A3.0

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ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

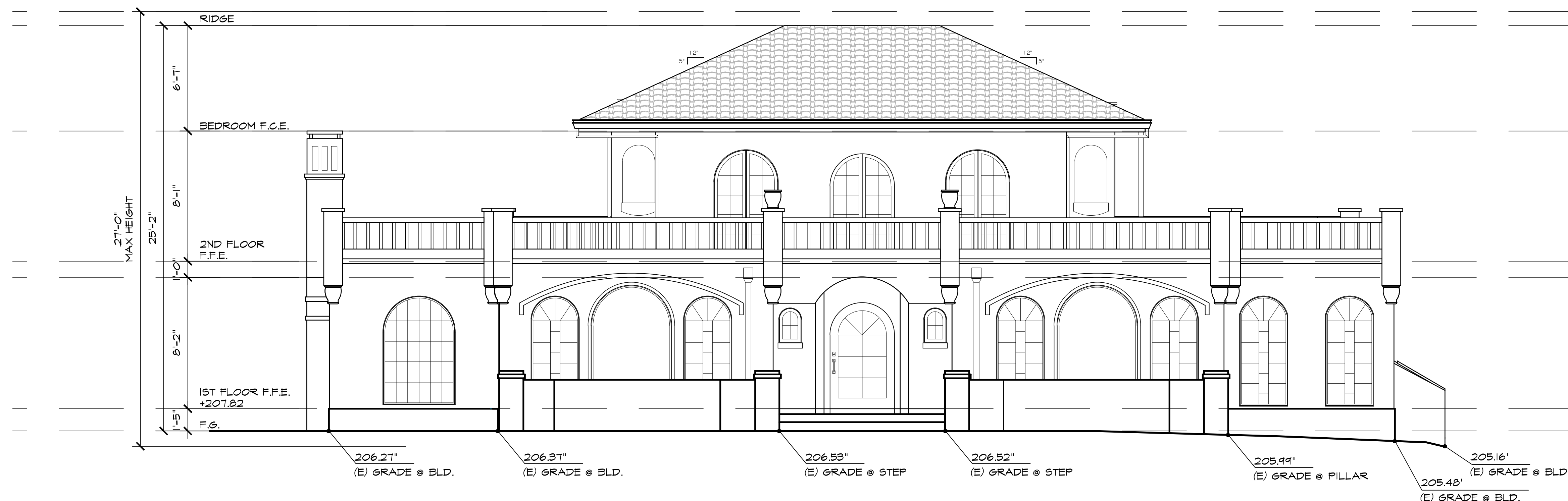
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EXISTING NORTH ELEVATION (FOR REFERENCE ONLY)

1/4" = 1'-0"

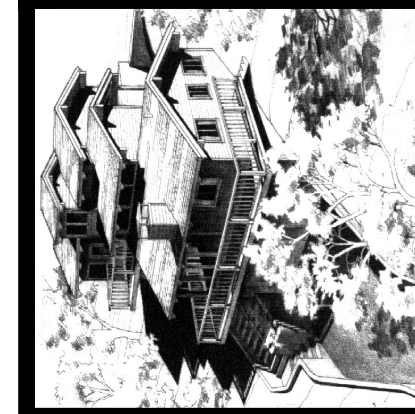
2



EXISTING SOUTH ELEVATION (FREMONT AVENUE) (FOR REFERENCE ONLY)

1/4" = 1'-0"

1



TENTATIVE PARCEL MAP FOR:
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FUCILLA THOMAS
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DATE JUNE 25, 2024

JOB # CAF FREMONT

A3.1

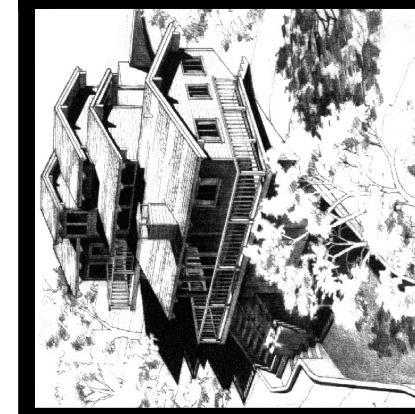
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ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

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A3.2

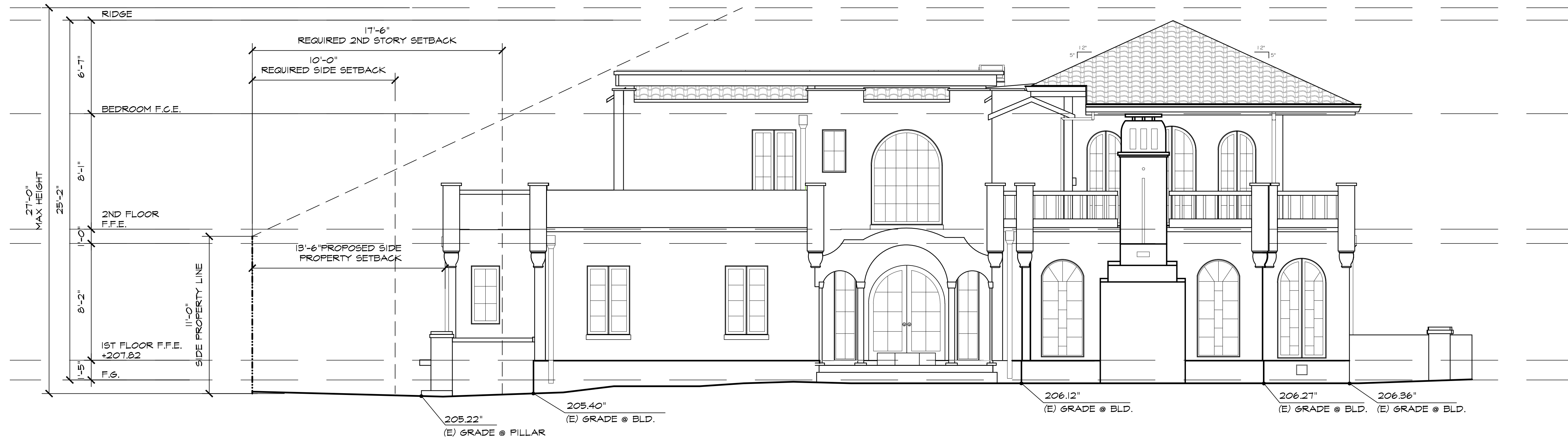
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EXISTING EAST ELEVATION (FOR REFERENCE ONLY)

1/4" = 1'-0"

2



EXISTING WEST ELEVATION (KATHY LANE) (FOR REFERENCE ONLY)

1/4" = 1'-0"

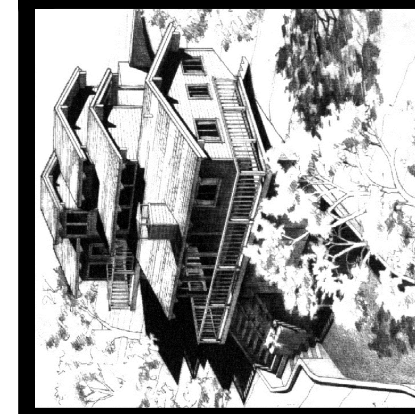
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ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

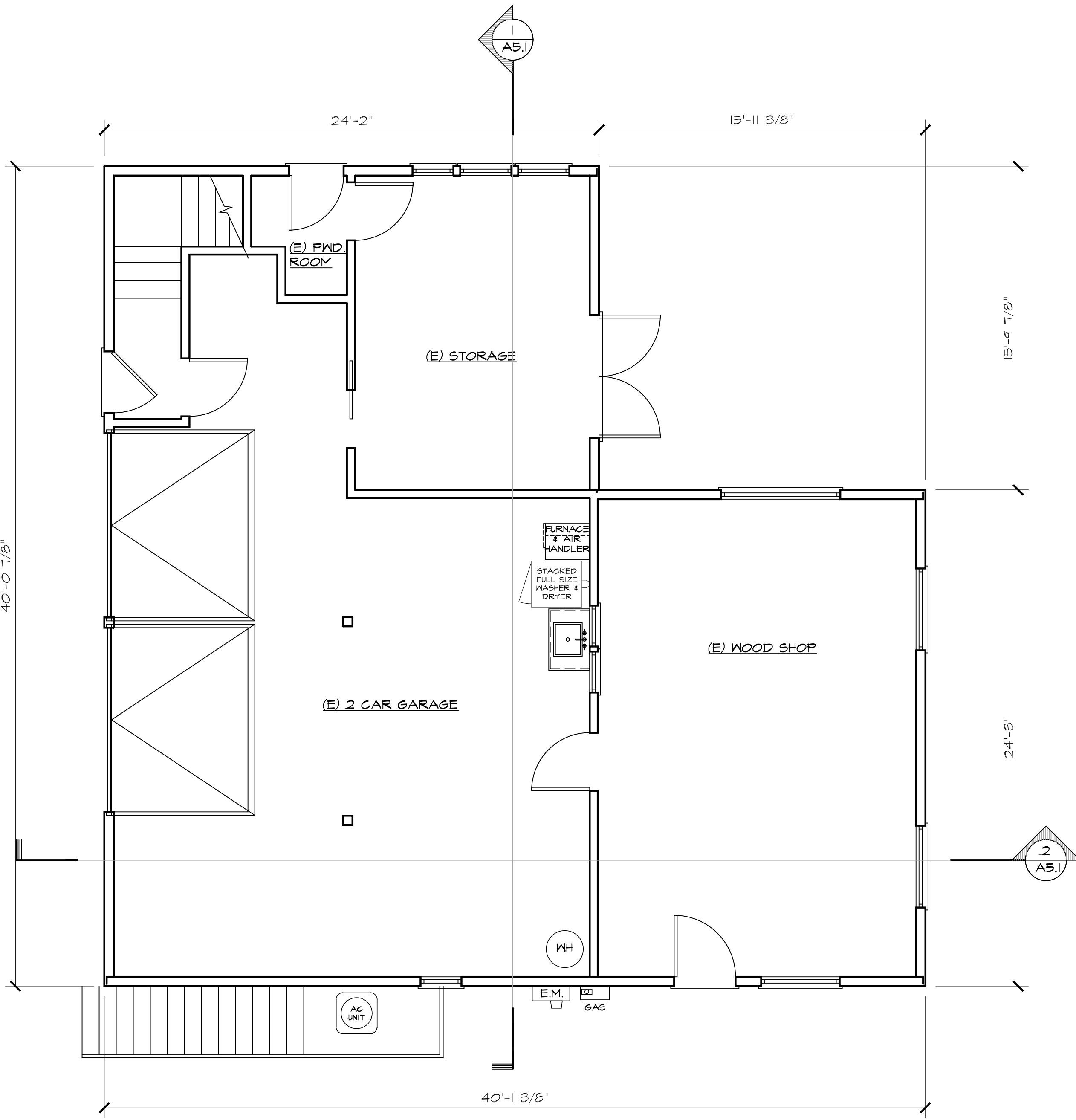
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LOS ALTOS, CA 94024

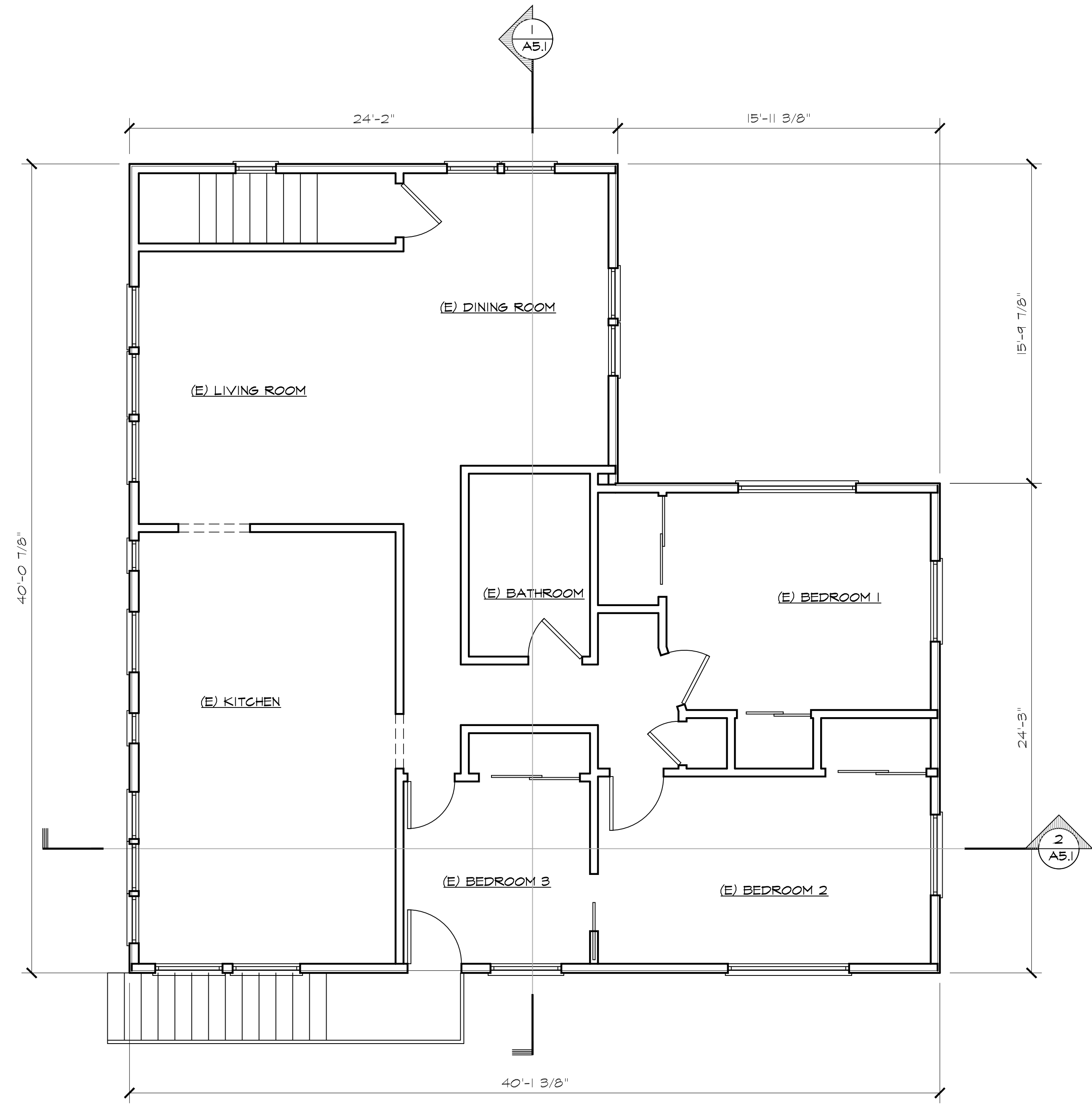
A.P.N. 197-16-064
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DATE JUNE 25, 2024
JOB # CAF FREMONT

A5.1



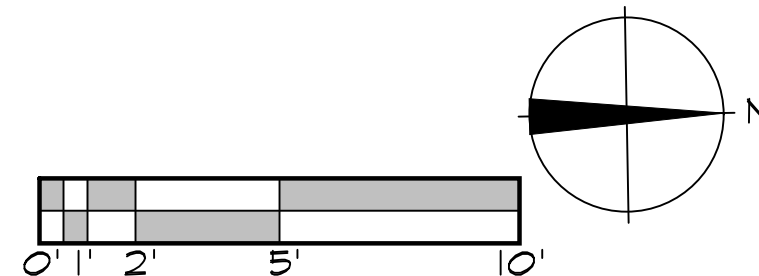
EXISTING GARAGE/ADU FIRST FLOOR PLAN (FOR PREFERENCE ONLY)

1/4" = 1'-0" 2



EXISTING GARAGE/ ADU SECOND FLOOR PLAN (FOR REFERENCE ONLY)

1/4" = 1'-0" 1



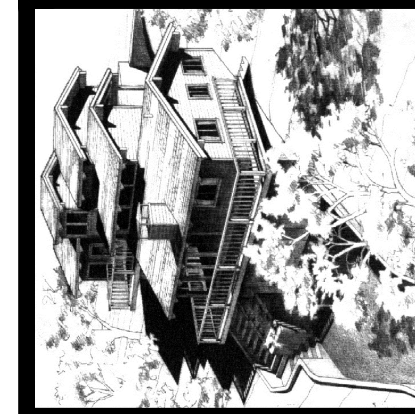
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TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1	PLAN CHECK REVS AUG. 22, 2024

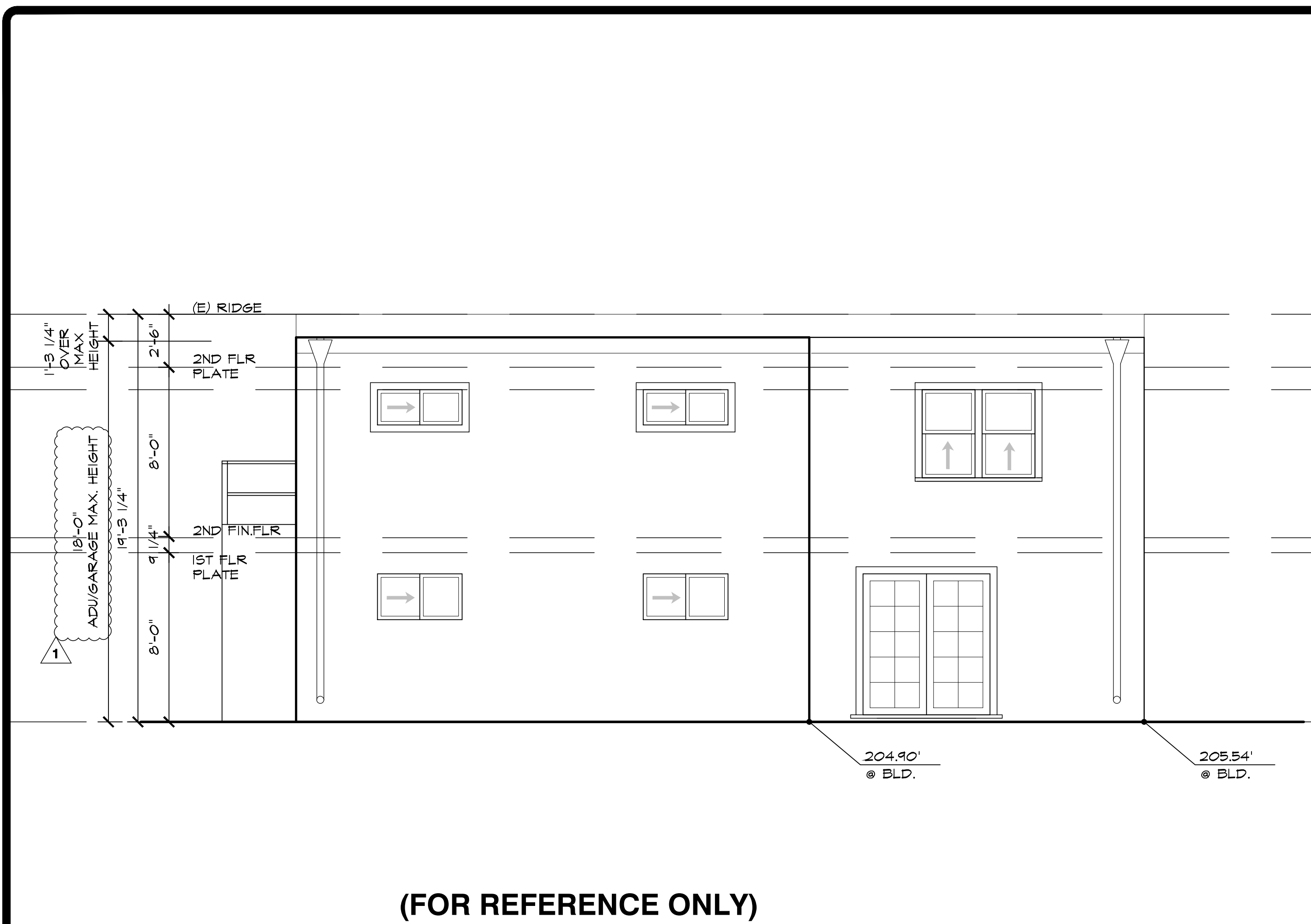
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LOS ALTOS, CA 94024

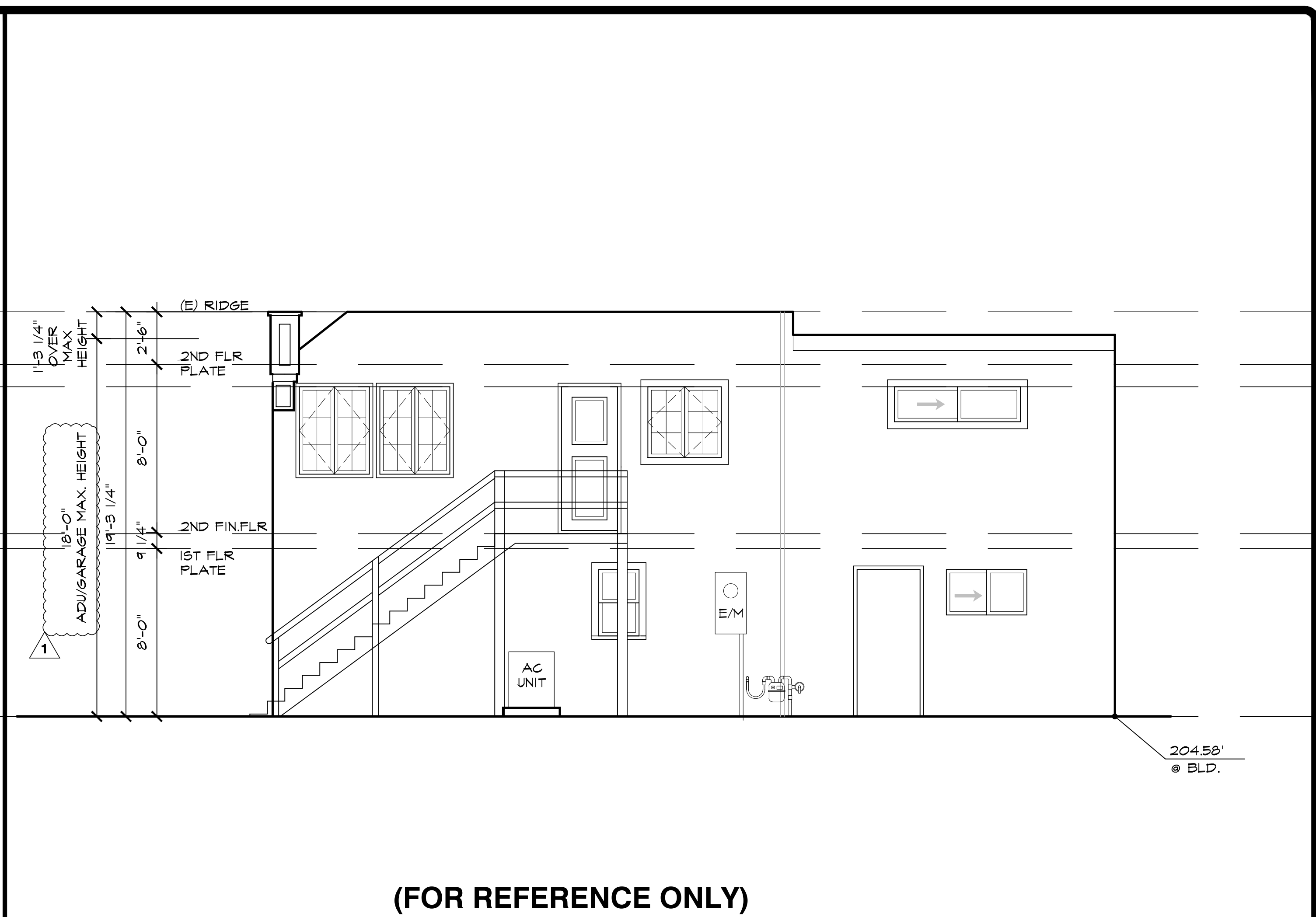
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A5.2



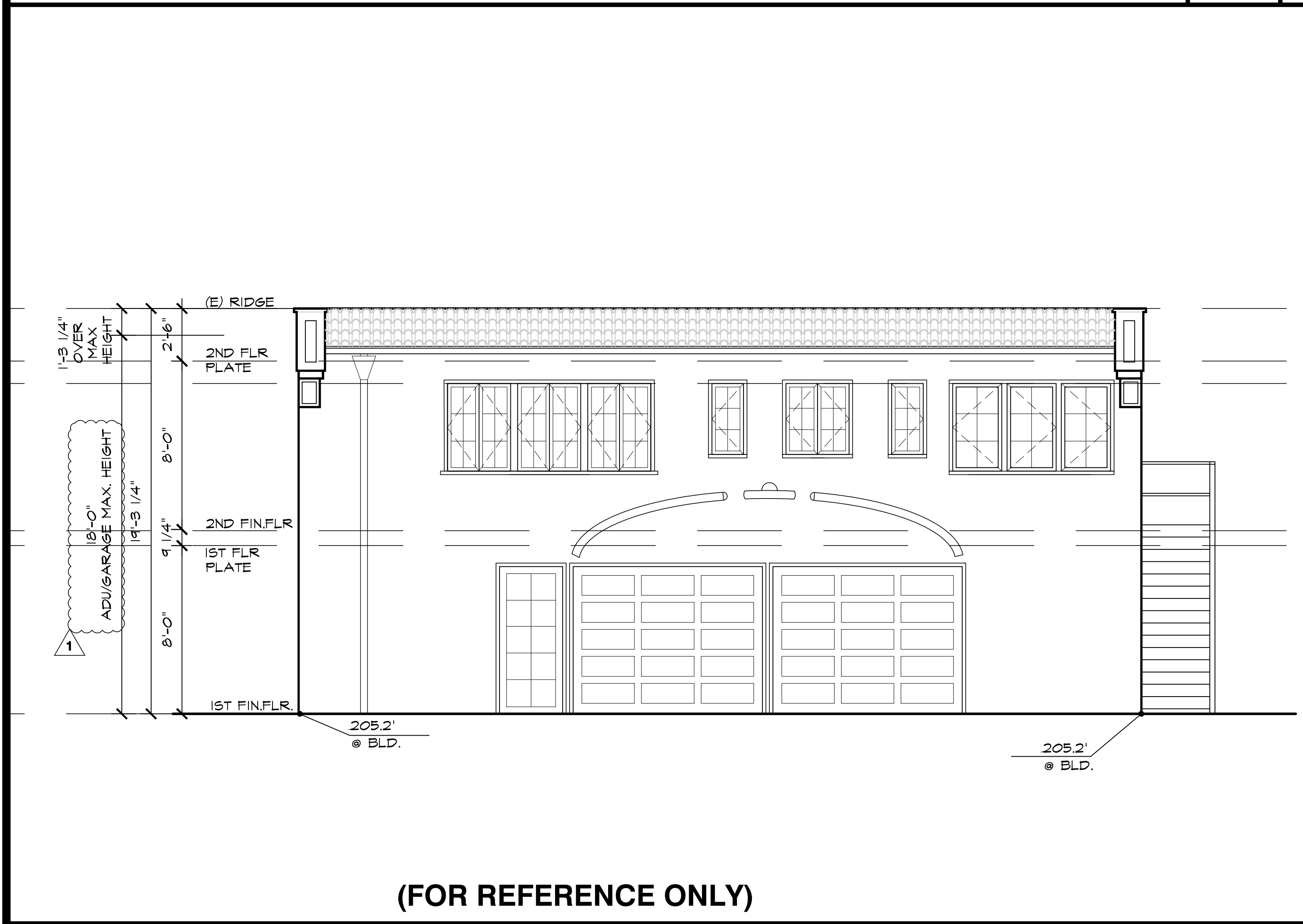
EXISTING GARAGE/ADU NORTH ELEVATION

1/4" = 1'-0" 4



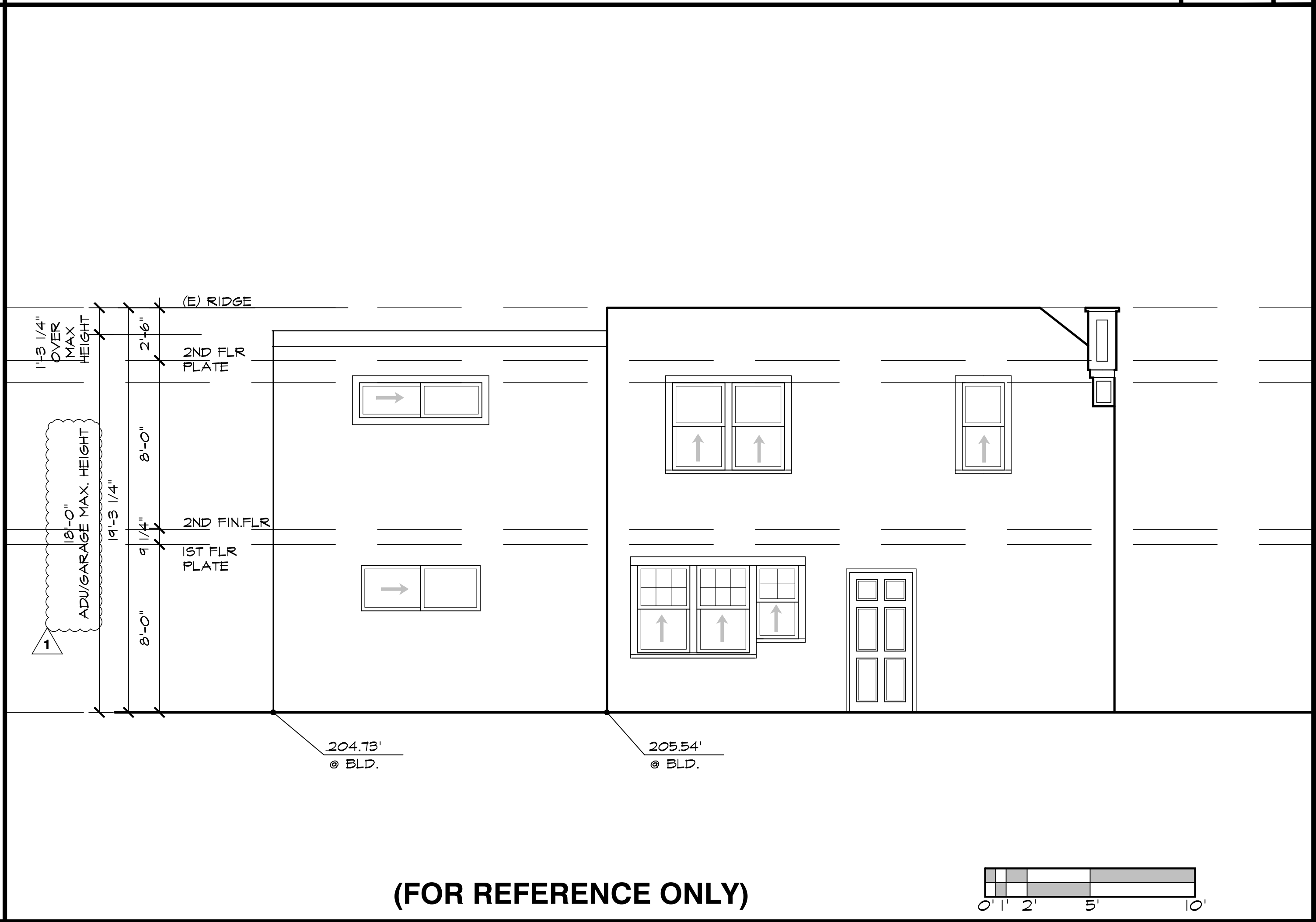
EXISTING GARAGE/ADU EAST ELEVATION

1/4" = 1'-0" 2



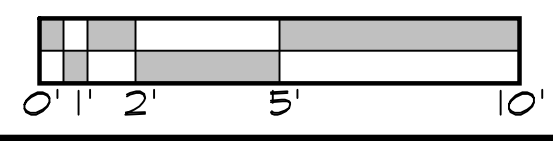
EXISTING GARAGE/ADU SOUTH ELEVATION (FREMONT AVENUE)

1/4" = 1'-0" 3



EXISTING GARAGE/ADU WEST ELEVATION (KATHY LANE)

1/4" = 1'-0" 1



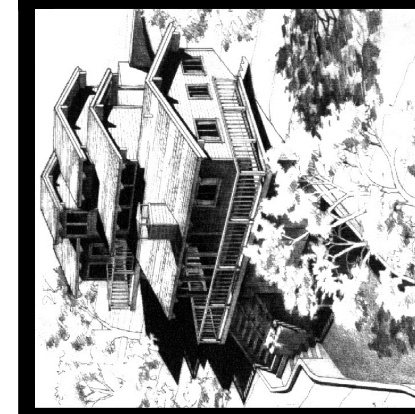
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ISSUE LOG

TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024

1 PLAN CHECK REVS
AUG. 22, 2024

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A5.3

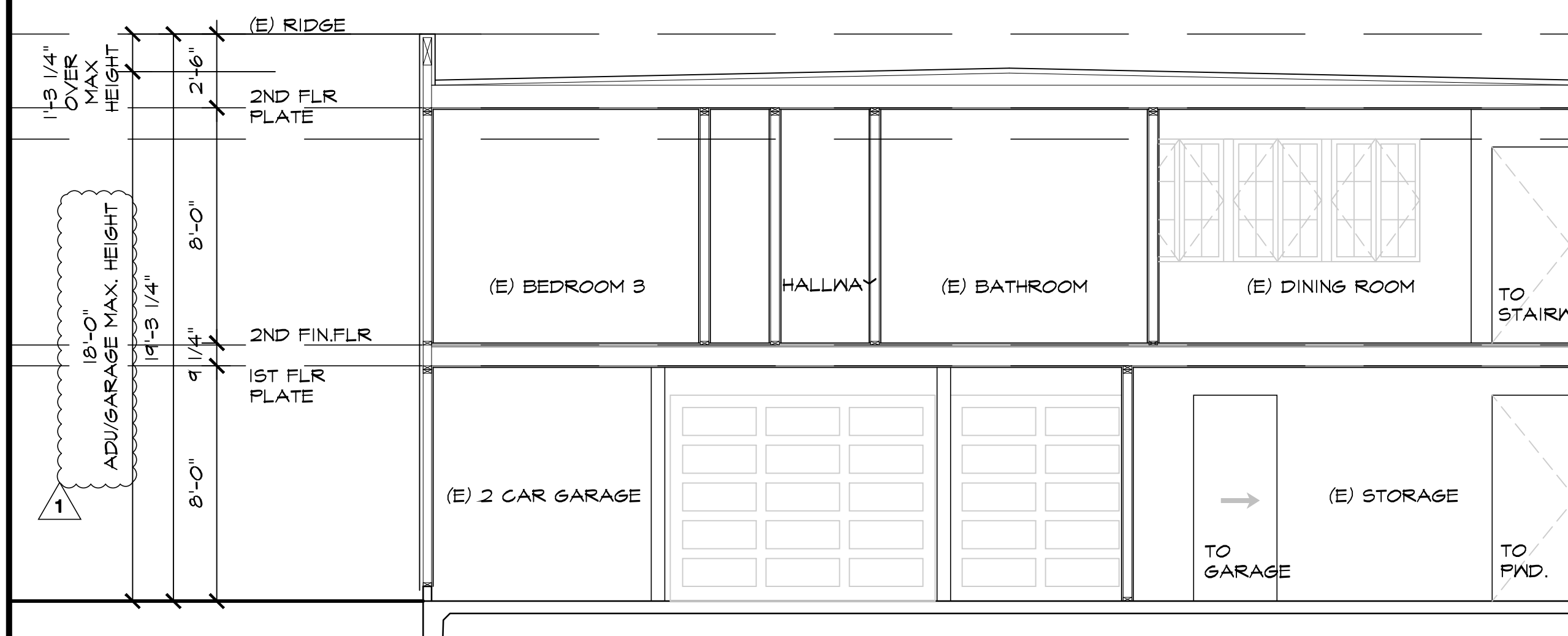


(FOR REFERENCE ONLY)

EXISTING SECTION

1/4" = 1'-0" 4

1/4" = 1'-0" 2

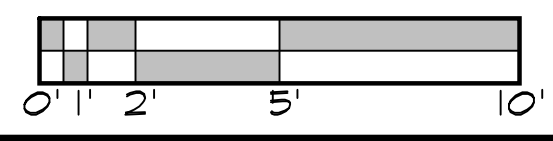


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EXISTING SECTION

1/4" = 1'-0" 3

1/4" = 1'-0" 1



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A6.0



SOUTH FACADE, VIEW NORTH FROM FREMONT AVENUE (FOR REFERENCE ONLY)

1



SOUTH AND WEST FACADES, VIEW NORTHEAST FROM KATHY LANE (FOR REFERENCE ONLY)

2



SOUTH FACADE, VIEW NORTHEAST FROM FREMONT AVENUE (FOR REFERENCE ONLY)

3



SOUTH AND EAST FACADES, VIEW NORTHWEST (FOR REFERENCE ONLY)

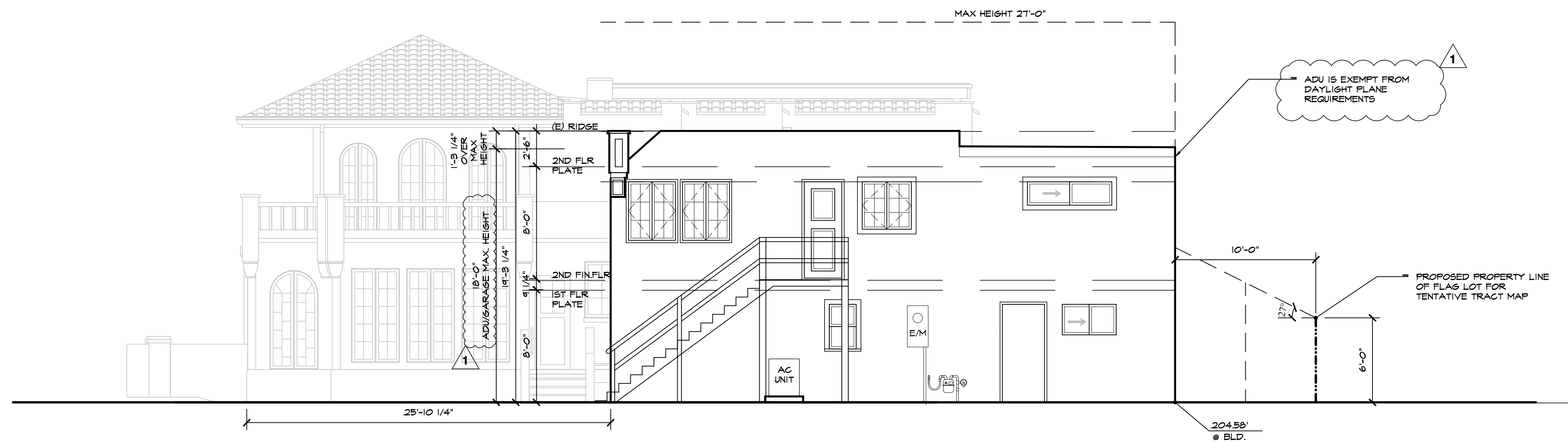
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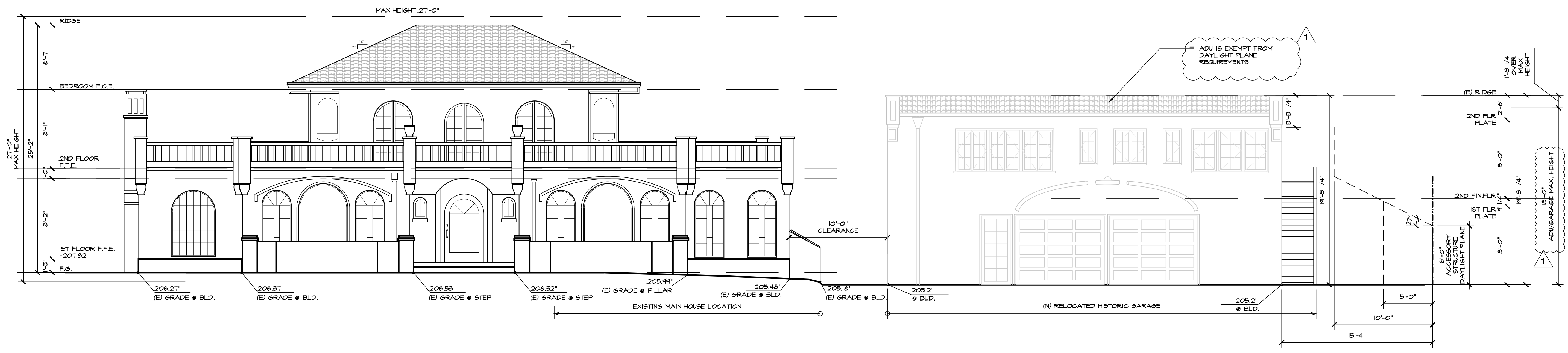
TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024
1 PLAN CHECK REVS
AUG. 22, 2024

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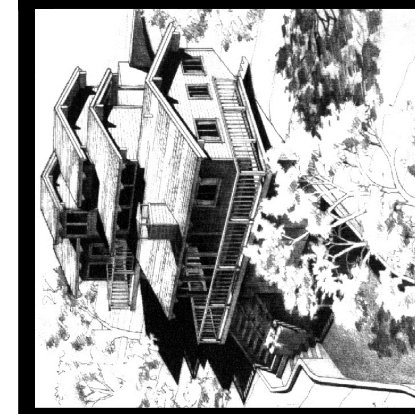
EAST DAYLIGHT PLANE ELEVATION FOR GARAGE/ADU AT PROPOSED SIDE PROPERTY LINE

3/16" = 1'-0" 2



SOUTH DAYLIGHT PLANE ELEVATION (FREMONT AVENUE) FOR MAIN HOUSE & GARAGE/ADU AT PROPOSED PROPERTY LINE

3/16" = 1'-0" 1



TENTATIVE PARCEL MAP FOR:
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FUCILLA THOMAS
1485 FREMONT AVENUE
LOS ALTOS, CA 94024

A.P.N. 197-16-064
CHECKED JT DRAWN OH, TP, SS
DATE JUNE 25, 2024
JOB # CAF FREMONT

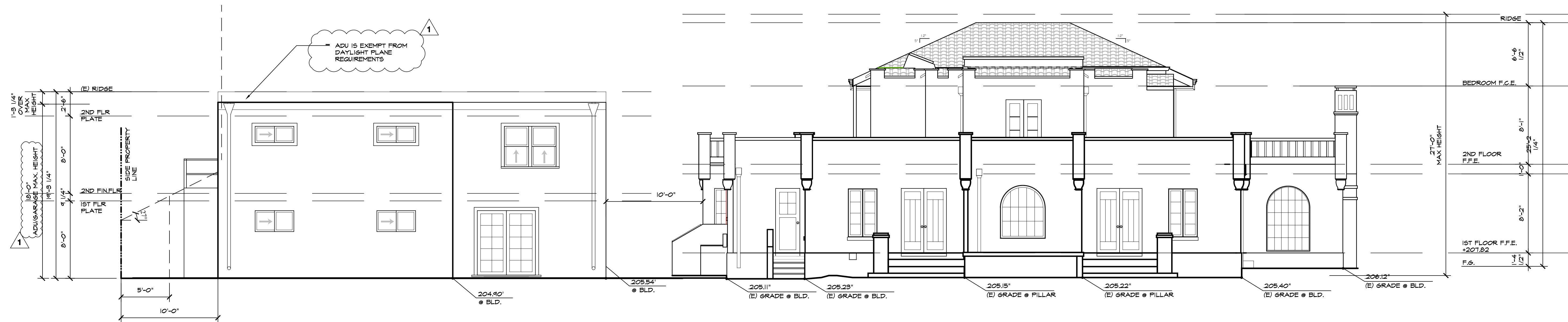
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ISSUE LOG

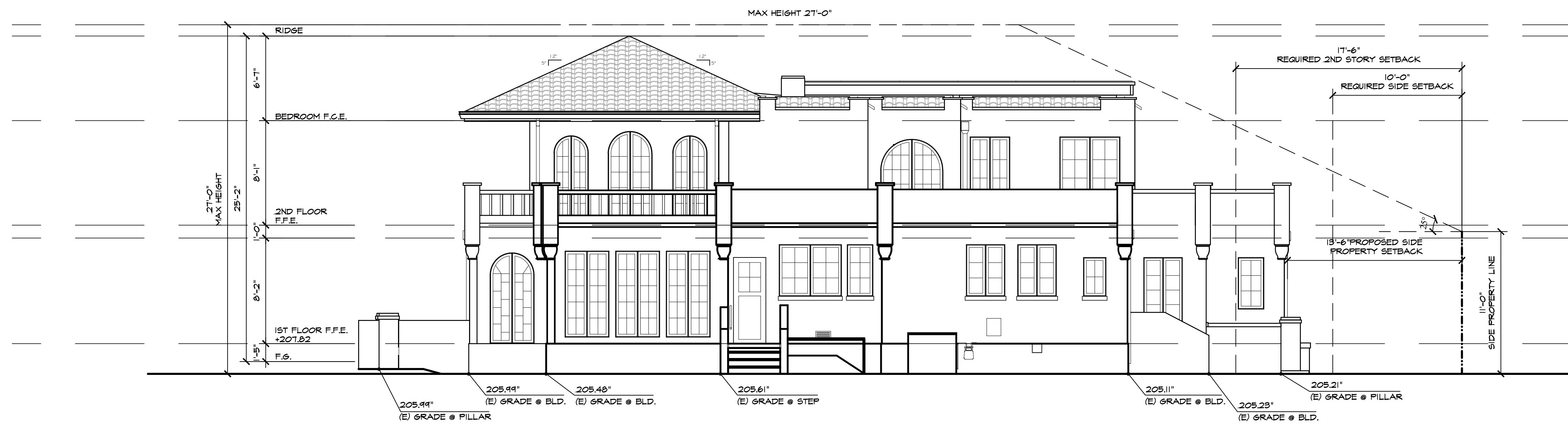
TENTATIVE TRACT MAP
GARAGE LOCATION
JUNE 25, 2024
1 PLAN CHECK REVS
AUG. 22, 2024

YOUNG AND BORLIK
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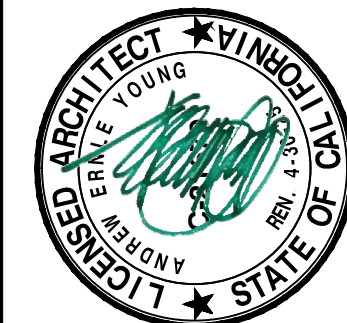
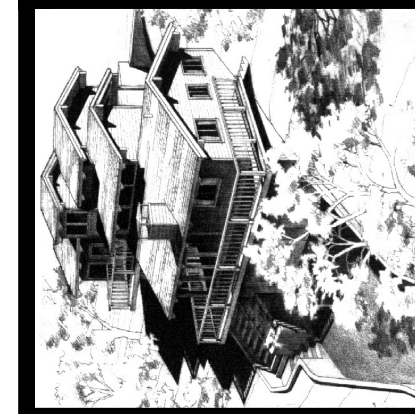
NORTH PROPERTY LINE ELEVATION FOR MAIN HOUSE AT PROPOSED SIDE PROPERTY SETBACK

3/16" = 1'-0" 1



EAST PROPERTY LINE ELEVATION FOR MAIN HOUSE AT PROPOSED SIDE PROPERTY SETBACK

3/16" = 1'-0" 1



TENTATIVE PARCEL MAP FOR:
LISA FUCILLA AMOROSO, MOLLIE
FUCILLA, AUDREY CARLSON, AND CARRIE
FUCILLA THOMAS
1485 FREMONT AVENUE
LOS ALTOS, CA 94024

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A6.2

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ITEM #4

HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: October 28, 2024

Subject: Preparation for Work Plan and Joint Meeting

Prepared by: Sean Gallegos, Senior Planner

Attachment: A. Draft 2024/2025 Work Plan

Staff Recommendation

Review the revised work plan and finalize possible topics for the joint meeting with Council.

Environmental Review:

Not applicable

Summary/Project Description:

In preparation for the Joint Meeting with the City Council in early 2025, the Commission will review and outline key items in the attached Work Plan for the Historical Commission.

Fiscal Impact:

None

Discussion/Analysis

The Commission is tasked with reviewing the attached Work Plan for the upcoming year. As part of this review, commissioners are expected to carefully examine each item, propose any necessary deletions, revisions, or additions, and ensure the Work Plan aligns with the [purpose of the Historic Preservation Ordinance](#).

In addition to this review, the Commission must designate members to manage key ongoing initiatives:

1. Margaret Thompson Essay Contest:

Commissioners will need to appoint a lead or subcommittee to oversee the organization and management of the Margaret Thompson Essay Contest. This includes working with staff and the History Museum to coordinate with schools, promote participation, and review submissions, and assist with organizing the annual ice cream social to acknowledge winners of the contest.

2. Plaque Program:

The Commission should select representatives to lead the ongoing effort to provide bronze plaques to property owners.

3. Preservation of the Historic Landmark Orchard:

The Commission should select representatives to lead the ongoing effort to preserve the Historic Landmark Orchard.

4. Oversight of the Mills Act Program:

The Commission must appoint members to work closely with City staff on the oversight of the Mills Act Program.

Commissioners are encouraged to engage in a thorough discussion to ensure the Work Plan and appointments reflect the Commission's collective vision for the year and aligns with the City Council's agenda for the Commission.

HISTORICAL COMMISSION 2025 Work Plan

Goal	Projects	Due Date	Priority Source	Status	Assignments	Notes
Improve Awareness	Conduct the Margaret Thompson Essay Contest	Begins in December each year Ends in May each year	The priority is related to the Historic Commission's purpose to encourage public knowledge, understanding, and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources	In Progress	The Commission and staff in coordination with the Los Altos History Museum Commissioner (_____) is the primary commissioner assigned to work with staff	Coordinate outreach to Los Altos schools Receive and judge essay entries Administer the Ice Cream Social to recognize winners
Improve Awareness	Conduct the Historic Plaque program	Begins in December each year Ends in May each year	The priority is related to City Council Resolution No. 2013-05 and the Historic Commission's purpose to encourage public knowledge, understanding, and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources	In Progress	The Commission in coordination with City staff. Commissioner (_____) is the primary commissioner assigned to work with staff	Coordinate outreach to historic resource property owners to solicit interest in receiving a historic plaque Coordinate the ordering of plaques for historic resource properties

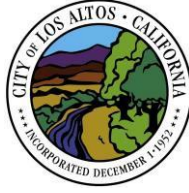
Goal	Projects	Due Date	Priority Source	Status	Assignments	Notes
						Commissioner coordinates event, with the historic museum
Improve Infrastructure	Rehabilitation of the Historic Landmark Apricot Orchard	No Due Date, the Goal is implemented year-round	The priority is related to City Council Resolution No. 2013-05 and the Historic Commission’s purpose to encourage public knowledge, understanding and appreciation of the City’s past, and foster civic and neighborhood pride.	In Progress	The Commission in coordination with City staff	Coordinate informational reports and presentations from the Los Altos History Museum Orchard Commons Committee.
Review Historic Preservation Entitlements	Process and evaluate applications for, historical alteration permits or advisory review, historic landmark designation or historic resource designation and Mills Act applications	No Due Date, the Goal is implemented year-round	The priority is related to the Historic Commission’s purpose to (1) Safeguard the heritage of the city by providing for the protection of irreplaceable historic resources representing significant elements of its history; and (2) encourage public knowledge, understanding, and appreciation of the City’s past, and foster civic and neighborhood pride and	In Progress	The Commission in coordination with City staff	Evaluate and respond to applications for historic designation, as well as applications for permits related to historic alteration and historic advisory reviews. (All Commissioners

Goal	Projects	Target Date	City Related Priority	Status	Assignments	
	Facilitate a forum for public discourse on the preservation of the City's heritage		sense of identity based upon the recognition and use of the City's historic resources.			
Improve Awareness	Historic Preservation Award	Begins in December each year Ends in May each year	The priority is related to City Council Resolution No. 2013-05 and the Historic Commission's purpose to encourage public knowledge, understanding and appreciation of the City's past, and foster civic and neighborhood pride and sense of identity based upon the recognition and use of the City's historic resources.	In Progress	The Commission in coordination with City staff. Commissioner (_____) is the primary commissioner assigned to work with staff.	Coordinate outreach by publicizing the historic preservation award (staff) Review nominations and vote on the historic preservation award recipient (All Commissioner

Goal	Projects	Target Date	City Related Priority	Status	Assignments	
<p>Improve Compliance with City program</p>	<p>Complete Quinquennial Inspections of Mills Act Properties</p>	<p>Begins in December each year Ends in May each year</p>	<p>The priority is related to City Council Ordinance No. 2011-363 and the Historic Commission’s purpose to support the preservation, maintenance, and appropriate rehabilitation of the City's historic resources</p>	<p>In Progress</p>	<p>The Commission in coordination with City staff. Commissioner (_____) is the primary commissioner assigned to work with staff</p>	<p>Review staff’s ongoing efforts on Mills Act compliance. Staff to provide annual report to the Historical Commission in the Spring.</p>
<p>Maintain Compliance with Certified Local Government Status</p>	<p>Complete Certified Local Government Report</p>	<p>April each year</p>	<p>The Certified Local Government Program encourages the direct participation of local governments in the identification, evaluation, registration, and preservation of historic properties. The priority is consistent with Goal 6 of the Community Design & Historic Resource Element of the General Plan. The Certified Local Government Program encourages the direct participation of local governments in the identification, evaluation, registration, and preservation of historic properties. The priority is</p>	<p>In Progress</p>	<p>The Commission in coordination with City staff</p>	<p>Coordinate the preparation of the Certified Local Government (CLG) annual report (Commission Chair Historical Commission reviews and approves CLG annual report (All Commissioners) Actively pursue historic education and training opportunities</p>

Goal	Projects	Target Date	City Related Priority	Status	Assignments	
			consistent with Goal 6 of the Community Design & Historic Resource Element of the General Plan			(All Commissioners
Foster Partnership with Los Altos History Museum	<p>Hold an annual joint meeting with the Museum Board of Directors</p> <p>Seek opportunities to partner with the Museum on historic education and outreach</p>	Summer each year	The priority is related to the Historic Commission's purpose to encourage public knowledge, understanding and appreciation of the.	In Progress	The Commission in coordination with City staff	<p>Coordinate the annual joint meeting with the Museum Board of Directors</p> <p>Actively coordinate with the Los Altos History Museum on current and future education and outreach programs</p> <p>Coordinate with the Los Altos History Museum the establishment of an Apricot Orchard Festival</p>

Goal	Projects	Target Date	City Related Priority	Status	Assignments	
Advocate for Good stewardship of city-owned historic properties	Evaluate the current status of city-owned historic properties.	No Due Date, the Goal is implemented year-round	The priority is related to City Council Ordinance No. 2011-363 and the Historic Commission's purpose to support the preservation, maintenance, and appropriate rehabilitation of the City's historic resources.	In Progress	The Commission	Evaluate the current status of city-owned historic properties.



HISTORICAL COMMISSION AGENDA REPORT

Meeting Date: October 28, 2024
Subject: Meeting Schedule
Prepared by: Sean Gallegos, Senior Planner
Attachment: None

Staff Recommendation

Review Historical Commission Meeting Schedule for 2025

Environmental Review:

Not applicable

Summary/Project Description:

The Historical Commission Meeting Schedule outlines the commission's quarterly meeting schedule for 2025. The item provides the commission the opportunity to finalize the quarterly meeting dates.

Fiscal Impact:

None

Discussion/Analysis

The Historical Commission convenes regularly on a quarterly basis, specifically on the fourth Monday of each month at 6:00 p.m. Meetings are held at the Los Altos Community Center, located at 97 Hillview Avenue, Los Altos, CA.

The following dates are proposed for the Commission's meetings in 2025:

- **January 22, 2024**
- **April 22, 2024**
- **August 26, 2024**
- **October 28, 2024**

During this meeting, the Commission will discuss and finalize the proposed meeting dates for 2025. Members are encouraged to provide input regarding the suggested schedule to ensure that all commissioners can attend and participate effectively.