DESIGN REVIEW COMMISSION
MEETING AGENDA

7:00 PM - Wednesday, March 01, 2023

Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA

Members of the Public may call (253) 215-8782 to participate in the conference call (Meeting ID: 830 1105 5197 or via the web at https://tinyurl.com/3kw5javk with Passcode: 720368). Members of the Public may only comment during times allotted for public comments and public testimony will be taken at the direction of the Commission Chair. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA
Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR
These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. **Design Review Commission Minutes**
   Approve the minutes of the regular meeting of February 15, 2023.

DISCUSSION

2. **SC22-0035 – Jenny Kang – 825 Parma Way**
   Design review application for a new two-story house. The project includes 2,587 square feet at the first story and 1,448 square feet at the second story. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos THIS ITEM WAS CONTINUED FROM THE FEBRUARY 1, 2023 DRC MEETING*

COMMISSIONERS' REPORTS AND COMMENTS

POTENTIAL FUTURE AGENDA ITEMS

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. The City ADA Coordinator can be reached at (650) 947-2607 or by email: *ada@losaltosca.gov*.

Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at *http://losaltosca.gov/meetings*.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.

DESIGN REVIEW COMMISSION MEETING MINUTES

7:00 PM - Wednesday, February 15, 2023

Telephone/Video Conference Only

CALL MEETING TO ORDER

At 7:10 p.m. Chair Harding called the meeting to order.

ESTABLISH QUORUM

PRESENT:	Chair Harding, Vice-Chair Ma, Commissioners Blockhus, Klein and Mantica
STAFF:	Senior Planner Gallegos and Associate Planner Jia Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
   Approve the minutes of the regular meeting of January 4, 2023.

Action: Upon a motion by Commissioner Klein, seconded by Commissioner Mantica, the Commission approved the minutes of the regular meeting of January 4, 2023 as written.
The motion was approved (3-0-2) by the following vote:
AYES: Harding, Klein and Mantica
NOES: None
ABSTAIN: Ma and Blockhus

2. **Design Review Commission Minutes**
   Approve the minutes of the regular meeting of February 1, 2023.

Action: Upon a motion by Commissioner Blockhus, seconded by Vice-Chair Ma, the Commission approved the minutes of the regular meeting of February 1, 2023 as written.
The motion was approved (4-0-1) by the following vote:
AYES: Harding, Ma, Blockhus and Klein
NOES: None
ABSTAIN: Mantica

DISCUSSION

3. **SC22-0029 - Bryan Lee - 5790 Arboretum Drive**
   Design Review for the expansion of a second story deck to an existing two-story house. The project also includes a 190 square-foot addition at the first story. This project is categorically

exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Liu*

STAFF PRESENTATION
Associate Planner Liu presented the staff report recommending approval of design review application SC22-0029 subject to the listed findings and conditions and answered questions from Commissioners Klein and Blockhus, and Vice-Chair Ma.

APPLICANT PRESENTATION
Camden Santo of Square 3 Architecture Inc. provided a project presentation and property owner Marwan Eways spoke to the project.

PUBLIC COMMENT
None.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission continued design review application SC22-0029 to a date uncertain in order for the project to return to the DRC for review with a variance application.
The motion was approved (5-0) by the following vote:
AYES: Harding, Ma, Blockhus, Klein and Mantica
NOES: None

4. **SC22-0001 – Anat Sokol – 1000 Crooked Creek Drive**
Design review for a new two-story house. The project will include a new house with 3,103 square feet at the first story and 1,803 square feet at the second story. The project includes a 489 square-foot attached accessory dwelling unit, which is not part of the design review application. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos* THIS ITEM HAS BEEN CONTINUED TO A DATE UNCERTAIN.

5. **SC22-0023 – Steve Collom – 435 Casita Way**
Design review for a 548 square-foot first story and 704 square-foot second story addition to an existing one-story house. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos*

STAFF PRESENTATION
Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0023 subject to the listed findings and conditions and answered questions from Commissioner Klein and Vice-Chair Ma.

APPLICANT PRESENTATION
Applicant and project architect, Steve Collum of RH Associates Architects, provided a project presentation and answered questions from Commissioner Blockhus and Vice-Chair Ma.

The property owner spoke to the neighborhood outreach completed for the project.

PUBLIC COMMENT
Neighbor Mark Vasser provided public comment.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Blockhus, seconded by Commissioner Mantica, the Commission approved design review application SC22-0023 subject to the listed findings and conditions. The motion was approved (5-0) by the following vote:
AYES: Harding, Ma, Blockhus, Klein and Mantica
NOES: None

6. **SC22-0031– Jun Zhang – 1248 Via Huerta**
Design review for a new two-story house. The project will include a new house with 3,446 square feet at the first story and 624 square feet at the second story. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos*

STAFF PRESENTATION
Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0031 subject to the listed findings and conditions and answered questions from Chair Harding and Commissioner Blockhus.

APPLICANT PRESENTATION
Applicant and architect Henry Zeng provided a project presentation.

PUBLIC COMMENT
Neighbors Susanne Hollands, Wei Lien Dang, Jim Stoner and Chris Holland and former resident Sandy Sierra that grew up in the home provided public comments.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission continued design review application SC22-0031 to the next DRC meeting on March 1, 2023.
The motion was approved (5-0) by the following vote:
AYES: Harding, Ma, Blockhus, Klein and Mantica
NOES: None

COMMISSIONERS' REPORTS AND COMMENTS
Chair Harding commented on the Commission meeting protocols going forward for the DRC, which they received from the Interim City Clerk. Senior Planner Gallegos provided more detailed information on the new meeting format. Commissioner Klein asked some clarifying questions about in-person attendance at meetings.

POTENTIAL FUTURE AGENDA ITEMS
Senior Planner Gallegos stated that the next meetings will be on March 1, 2023 and March 15, 2023. The April 5, 2023 DRC meeting will be Cancelled due to the Passover holiday.

ADJOURNMENT

Chair Harding adjourned the meeting at 9:36 PM.

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Sean Gallegos
Senior Planner

DATE: March 1, 2023

AGENDA ITEM # 4

TO: Design Review Commission

FROM: Sean K. Gallegos, Senior Planner

SUBJECT: SC22-0035 – 825 Parma Way

RECOMMENDATION:

Approve design review application SC22-0035 subject to the findings and conditions

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PROJECT DESCRIPTION

This item was continued from the February 1, 2023 Design Review Commission meeting.

This is a design review application for a new two-story house. The project includes 2,587 square feet on the first story and 1,448 square feet on the second story. The project also includes an 850 square-foot, attached Accessory Dwelling Unit (ADU); but it is not part of this design review application. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION:	Single-Family, Residential
ZONING:	R1-10
PARCEL SIZE:	12,856 square feet
MATERIALS:	Composition shingle, stucco siding, fiberglass windows and front door, wood garage door & details

	Existing	**Proposed**	**Allowed/Required**
LOT COVERAGE:	3,045 square feet	3,540 square feet	3,857 square feet
FLOOR AREA:			
First floor	3,045 square feet	2,587 square feet	
Second floor	650 square feet	1,448 square feet	
Total	3,695 square feet	4,035 square feet	4,036 square feet
SETBACKS:			
Front	16.5 feet	25 feet	25 feet
Rear	91.3 feet	63.5 feet	25 feet
Right side (1st/2nd)	10 feet/-	10 feet/22.5 feet	10 feet/17.5 feet
Left side (1st/2nd)	10.3 feet/-	10 feet/23.5 feet	10 feet/17.5 feet
HEIGHT:	24 feet	26.8 feet	27 feet

BACKGROUND

Design Review Commission Action

At their meeting on February 1, 2023, the Design Review Commission considered the proposed project. Following input from the applicant and public comments, the Commission discussed the proposed project and voted unanimously (4-0) with Commissioner Manteca absent, to continue the project with the following direction:

1. The second-floor master bedroom along the front elevation shall be revised to have a maximum plate height of nine feet, six inches;
2. The window trim along the front elevation shall be added to the windows along the side and rear elevations to make the windows more consistent;
3. Provide architectural details of the window;
4. Add evergreen screening on left (north) side of the property;
5. Make the centered gable of the porch more balanced (symmetrical) with the house; and
6. Add a City Street tree along the front yard to reduce the appearance of mass and bulk.

The February 1, 2023 Design Review Commission agenda report and meeting minutes are attached for reference (Attachments A and B).

DISCUSSION

Design Review

The applicant revised the project design as follows.

1. In response to the Commission's direction for the second-floor master bedroom plate height to be reduced to a maximum plate height of nine feet, six inches, the applicant lowered the plate height consistent with the Commission's direction.
2. In response to the Commission's direction for the window trim along the front elevation to be added to windows along the side and rear elevations, the applicant has complied with the Commission's direction and added the window trim to all elevations.
3. In response to the Commission's direction for the plans to include architectural details of the windows, the applicant complied with the Commission's direction by providing a window detail on Sheet A-8.2.

   In response to the Commission's direction for the applicant to add evergreen screening on the left (north) side of the property, the applicant has not modified the landscape plan. Staff recommends condition No. 3, which requires the landscape plan (Sheet L3) be modified to fill-in the left (north) side property line with evergreen screening. The evergreen screening shall be a minimum size of 15 gallon.
4. In response to the Commission's direction to make the centered gable of the porch more balanced (symmetrical) with the house, the applicant did not modify the design of the front porch to respond to the Commission's Direction. However, the applicant

added a Crape Myrtle Street tree in front of the front porch to minimize the perception of asymmetry and bulk.

5. In response to the Commission's direction to add a street tree in the front yard to reduce the appearance of bulk and mass, the applicant responded by adding a street tree in the front yard.

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a new single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Parma Way, Harrington Avenue, Rosewood Court and Birchwood Court. The Notification Map is included in Attachment C.

Staff received no residents from residents regarding the current design review submittal.

Cc: Jenny Kang, Applicant
Hai-Ching Liao, Architect
Jay and Niyati Yagnik, Property Owners

Attachments

A. Design Review Commission Minutes, February 1, 2023
B. Design Review Commission Agenda Report, February 1, 2023
C. Applicant Response Letter
D. Design Review Commission Project Plans, March 1, 2023

FINDINGS

SC22-0035 – 825 Parma Way

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

a. The proposed structure complies with all provisions of this chapter;

b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;

c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;

d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;

e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and

f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0035 – 825 Parma Way

GENERAL

1. **Expiration**
   The Design Review Approval will expire on March 1, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**
   The approval is based on the plans and materials received on February 15, 2023, except as may be modified by these conditions.

3. **Landscape Plans**
   The landscape plan (Sheet L3) shall be modified to fill-in the left (north) side property line with evergreen screening. The evergreen screening shall be a minimum size of 15 gallon.

4. **Protected Trees**
   Tree Nos. 1, 2, 5, 6, 7, 9, and 10 on Sheet L-1 shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Director.

5. **Encroachment Permit**
   An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. **Landscaping**
   The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

7. **Underground Utility and Fire Sprinkler Requirements**
   Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. **Indemnity and Hold Harmless**
   The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any

proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. **Conditions of Approval**
   Incorporate the conditions of approval into the title page of the plans.

10. **Tree Protection Note**
    On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

11. **Water Efficient Landscape Plan**
    Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. **Reach Codes**
    Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. **California Water Service Upgrades**
    You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. **Green Building Standards**
    Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. **Underground Utility Location**
    Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. **Outdoor Condensing Unit Sound Rating**
    Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. **Storm Water Management**
    Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. **Tree Protection**
    Tree protection fencing shall be installed around the dripline(s), or as required by the project arborist, of the existing trees to be retained as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

19. **School Fee Payment**
    In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

20. **Landscaping Installation and Verification**
    Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

21. **Landscape Privacy Screening**
    The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

22. **Green Building Verification**
    Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

DATE: February 1, 2023

AGENDA ITEM # 4

TO: Design Review Commission

FROM: Sean K. Gallegos, Senior Planner

SUBJECT: SC22-0035 – 825 Parma Way

RECOMMENDATION:

Approve design review application SC22-0035 subject to the findings and conditions

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PROJECT DESCRIPTION

This is a design review application for a new two-story house. The project includes 2,587 square feet on the first story and 1,448 square feet on the second story. The project also includes an 850 square-foot, attached Accessory Dwelling Unit (ADU); but it is not part of this design review application. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION:	Single-Family, Residential
ZONING:	R1-10
PARCEL SIZE:	12,856 square feet
MATERIALS:	Composition shingle roof, stucco siding, fiberglass windows and front door, wood garage door and wood trim and details

	Existing	**Proposed**	**Allowed/Required**
LOT COVERAGE:	3,045 square feet	3,540 square feet	3,857 square feet
FLOOR AREA:			
First floor	3,045 square feet	2,587 square feet	
Second floor	650 square feet	1,448 square feet	
Total	3,695 square feet	4,035 square feet	4,036 square feet
SETBACKS:			
Front	16.5 feet	25 feet	25 feet
Rear	91.3 feet	63.5 feet	25 feet
Right side (1st/2nd)	10 feet/-	10 feet/22.5 feet	10 feet/17.5 feet
Left side (1st/2nd)	10.3 feet/-	10 feet/23.5 feet	10 feet/17.5 feet
HEIGHT:	24 feet	26.8 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located in a Diverse Character Neighborhood, as defined in the City's Residential Design Guidelines. The property is located on Parma Way, between Covington Road and Harrington Avenue. The houses in this neighborhood context are diverse in character with varying styles, massing and scale. The front yard setbacks on the southern end of Parma Way vary because the street curve, while the front yard setbacks on the northern portion of Parma Way are more consistent because the road is linear. The house is located on the southern end of the street with a curved front property line. The landscaping along Parma Way includes a variety of mature trees and vegetation. The subject property is located on the east side of the street with the rear of the property adjacent to Hale Creek.

DISCUSSION

Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood. The emphasis should be on designs that "fit in" and lessen abrupt changes.

The house is a contemporary style house with rectangular forms and simple massing and details that relate well to the low-scale, Ranch style houses in the neighborhood context. The project uses low-sloped gable and hipped roof forms, which are consistent with the gable and hipped rooves found in the neighborhood. The proposed project uses more eclectic forms than those found in the surrounding neighborhood, such as a formal front entry, which is integral to the proposed architectural style. The detailing and materials of the structure reflect a high level of quality and appropriate relationship to the rustic qualities of the area. The proposed building materials, which include composition shingle roof, stucco siding, fiberglass windows and front door, wood garage door and wood trim and details, are integral to the design. Overall, the design incorporates a contemporary style with simple elements and quality materials that produce a thoughtful and integrated appearance that is compatible with the character of the area.

According to the Residential Design Guidelines, a house should be designed to fit the lot and should not result in a home that stands out in the neighborhood. The proposed project is sensitive to the scale of the neighborhood and incorporates similar massing found within the neighborhood context. The project has relatively low eaves along the front elevation, which contributes to a more horizontal appearance and provides a strong single-story relationship to adjacent houses. The proposed nine-foot, six-inch tall first floor wall plate is consistent with the eight-foot to nine-foot plate heights of existing residences in the neighborhood. The eight-foot, six-inch second floor wall plate height along the front, right and rear elevation is partially concealed within the roof, which minimizes the perception of bulk.

The project is in keeping with the scale of other homes found in the neighborhood. The proposed 26.8-foot-tall home is shorter than the maximum permitted 27-foot height in a neighborhood with one-story houses 14 feet to17 feet tall and 22-foot to 26-foot tall two-story houses. The project reduces the perception of bulk by proposing low wall plate heights on the first and second story, and a low-pitched 4:12 roof with gable and hipped roof elements. The second floor is centered over the first story and visually softened by being recessed within the roofline of the structure. The low-pitched roof provides variation of the eave line facing the street, and diminishes the overall scale of the structure. Overall, the two-story design does not create an abrupt change and is well proportioned and articulated to reduce the effect of bulk and mass.

Privacy

On the left (north) side elevation of the second story, there are three windows with five-foot sill heights. Due to their placements and tall sill heights, the proposed windows do not create unreasonable privacy impacts.

On the right-side elevation of the second story, there are four windows with five-foot sill heights. Due to their placements and tall sill heights, the proposed windows do not create unreasonable privacy impacts.

Along the rear second story elevation, there is one large three-panel window with a clerestory window with a three-foot sill height for bedroom No. 1, and a large three panel window with a three-foot sill height for bedroom No. 2. Staff found the design is consistent with the Residential Design Guidelines to minimize the privacy impact from the following aspects:

- The privacy impacts from bedrooms are diminished due to being setback between 71 feet from the rear property line to 33 feet from the left and right side property line, and
- The overall views are obscured by existing evergreen screening along the rear property line, which is along Hale Creek.

In general, the Design Review Commission has previously considered second story windows with a minimum four-foot six-inch windowsill heights acceptable to minimize direct views into neighboring properties. When there are perceived privacy impacts, installation of screening vegetation is another common practice to mitigate the interference with privacy. As discussed above, with the proposed design of second story windowsill heights, placement of windows, setbacks to the property lines, and new and existing vegetation, staff considers the subject project is designed to avoid unreasonable potential privacy impacts to the adjacent residential neighbors.

Landscaping

The application includes an arborist report (Attachment F) that provides an inventory of the three on-site trees and 11 trees on adjacent properties. The applicant proposes the removal of no protected trees. The applicant proposes the removal of one purple leaf sand cherry tree (No. 13), but it is not protected under the City's Tree Protection Ordinance.

A comprehensive landscaping plan has been provided, which includes street trees and screening trees. The landscaping plan includes maintaining the existing oak and Chinese Pistache trees. The project meets the City's landscaping regulations and street tree guidelines with the new landscaping and hardscape. Since the new landscaping area exceeds 500 square feet, the project requires a landscape plan that complies with the City's Water Efficient Landscape Regulations.

Environmental Review
This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a new single-family dwelling in a residential zone.

Public Notification and Community Outreach
A public meeting notice was posted on the property and mailed to 12 nearby property owners on Parma Way, Harrington Avenue, Rosewood Court and Birchwood Court. The Notification Map is included in Attachment C.

Based on neighborhood outreach efforts, the applicants have provided documentation showing outreach to the neighbors in the immediate neighborhood context. A document from the applicant regarding outreach is included in Attachment D.

Cc: Jenny Kang, Applicant
Hai-Ching Liao, Architect
Jay and Niyati Yagnik, Property Owners

Attachments
A. Neighborhood Combability Worksheet
B. Public Notification Map
C. Public Notice Poster
D. Proof of Community Outreach
E. Design Plans

FINDINGS

SC22-0035 – 705 Leonello Avenue

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

a. The proposed structure complies with all provisions of this chapter;

b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;

c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;

d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;

e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and

f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0035 – 705 Leonello Avenue

GENERAL

1. **Expiration**
   The Design Review Approval will expire on February 1, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**
   The approval is based on the plans and materials received on December 29, 2022, except as may be modified by these conditions.

3. **Protected Trees**
   Tree Nos. 1, 2, 5, 6, 7, 9, and 10 on Sheet L-1 shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Director.

4. **Encroachment Permit**
   An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

5. **Landscaping**
   The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

6. **Underground Utility and Fire Sprinkler Requirements**
   Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

7. **Indemnity and Hold Harmless**
   The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

8. **Conditions of Approval**
   Incorporate the conditions of approval into the title page of the plans.

9. **Tree Protection Note**
   On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

10. **Water Efficient Landscape Plan**
    Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

11. **Reach Codes**
    Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

12. **California Water Service Upgrades**
    You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

13. **Green Building Standards**
    Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

14. **Underground Utility Location**
    Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

15. **Outdoor Condensing Unit Sound Rating**
    Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in

compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

16. **Storm Water Management**
Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

17. **Tree Protection**
Tree protection fencing shall be installed around the dripline(s), or as required by the project arborist, of the existing trees to be retained as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

18. **School Fee Payment**
In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

19. **Landscaping Installation and Verification**
Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package. *(Note: only include if project exceeds the 500/2,500 sq ft threshold.)*

20. **Landscape Privacy Screening**
The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties. *(Should be applied to all two-story projects and one-story projects as needed).*

21. **Green Building Verification**
Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

City of Los Altos
Planning Division
(650) 947-2750
Planning@losaltosca.gov

NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos**. *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 825 PARMA WAY, LOS ALTOS, CA 94024
Scope of Project: Addition or Remodel _____ **or New Home** ✓
Age of existing home if this project is to be an addition or remodel? _____
Is the existing house listed on the City's Historic Resources Inventory? NO

* See "What constitutes your neighborhood" on page 2.

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 11,500 square feet
Lot dimensions: Length 150 feet
Width 75 feet
If your lot is significantly different than those in your neighborhood, then note its: area N/A, length N/A, and width N/A.

2. Setback of homes to front property line: *(Pgs. 8-11 Design Guidelines)*

Existing front setback if home is a remodel? No
What % of the front facing walls of the neighborhood homes are at the front setback 50 %
Existing front setback for house on left 25 ft./on right 25 ft.
Do the front setbacks of adjacent houses line up? Yes

3. Garage Location Pattern: *(Pg. 19 Design Guidelines)*

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 4
Garage facing front recessed from front of house face 5
Garage in back yard 1
Garage facing the side 1
Number of 1-car garages 0 ; 2-car garages 11 ; 3-car garages 0

* See "What constitutes your neighborhood", (page 2).

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:
One-story 64 %
Two-story 36%

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? Yes (2story houses)
Are there mostly hip ✓, gable style ____, or other style ___ roofs*?
Do the roof forms appear simple ✓ or complex _____?
Do the houses share generally the same eave height YES ?

6. Exterior Materials: *(Pg. 22 Design Guidelines)*

What siding materials are frequently used in your neighborhood*?

✓ wood shingle ✓ stucco __ board & batten __ clapboard
__ tile ✓ stone ✓ brick __ combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?
Asphalt shingle
If no consistency then explain:_____
_____

7. Architectural Style: *(Appendix C, Design Guidelines)*

Does your neighborhood* have a consistent identifiable architectural style?
☑ YES ☐ NO

Type? ✓ Ranch __ Shingle __Tudor __Mediterranean/Spanish
__ Contemporary __Colonial __ Bungalow __Other

* See "What constitutes your neighborhood", (page 2).

8. Lot Slope: *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)

same slope as the street

Is your slope higher _____ lower _____ same ✓ in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

big trees, front lawns

How visible are your house and other houses from the street or back neighbor's property?

visible from the street

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

Lawn, Asphalt

10. Width of Street:

What is the width of the roadway paving on your street in feet? 60 feet
Is there a parking area on the street or in the shoulder area? Yes
Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? Paved

* See "What constitutes your neighborhood", (page 2).

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

Mix of hip and gable roof, ranch style architecture.

General Study

A. Have major visible streetscape changes occurred in your neighborhood?
❑ YES ☑ NO

B. Do you think that most (~ 80%) of the homes were originally built at the same time? ❑ YES ☑ NO

C. Do the lots in your neighborhood appear to be the same size?
☑ YES ❑ NO

D. Do the lot widths appear to be consistent in the neighborhood?
☑ YES ❑ NO

E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)? ☑ YES ❑ NO

F. Do you have active CCR's in your neighborhood? *(p.36 Building Guide)*
❑ YES ☑ NO

G. Do the houses appear to be of similar size as viewed from the street?
☑ YES ❑ NO

H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
☑ YES ❑ NO

* See "What constitutes your neighborhood", (page 2).

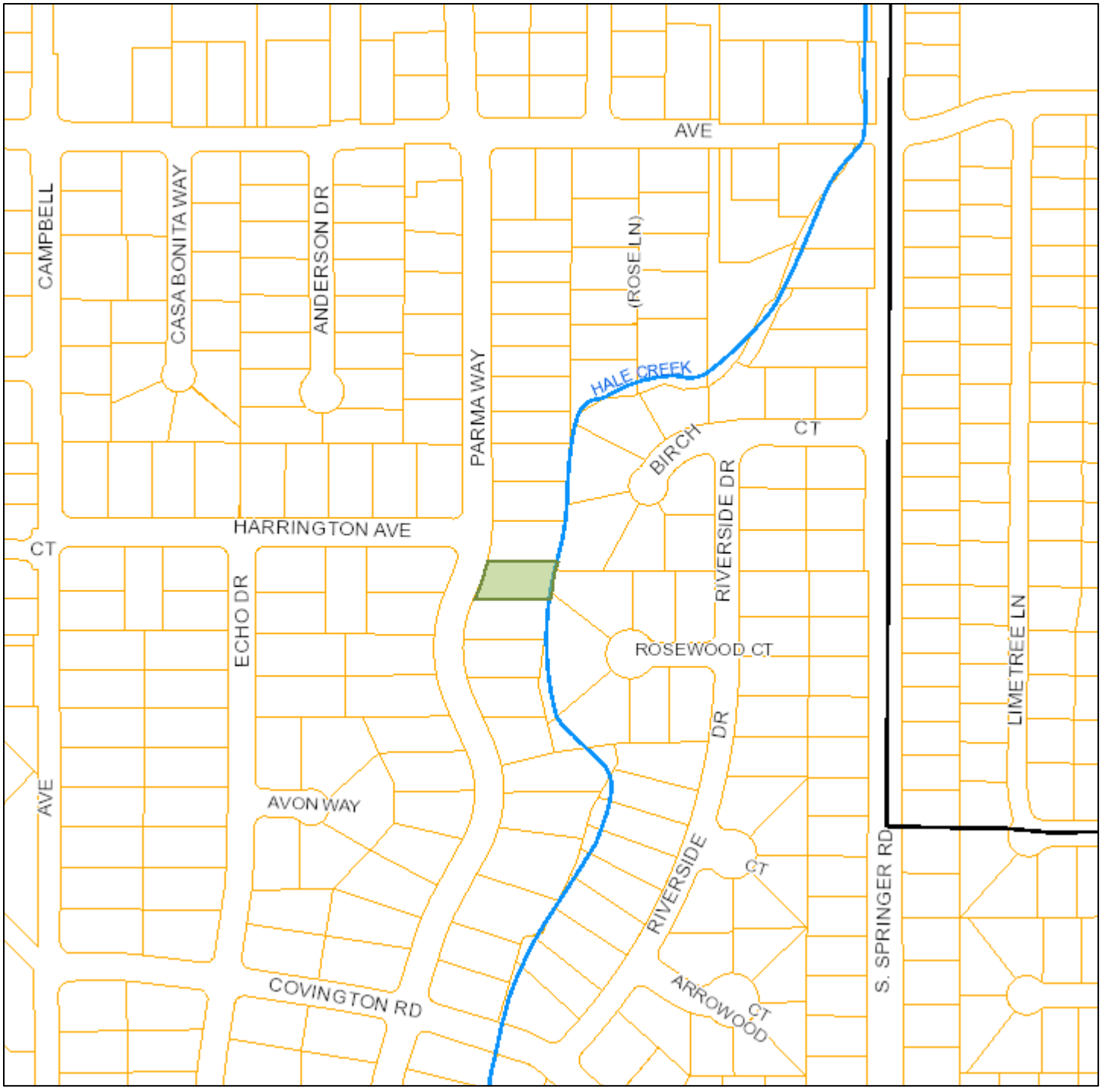
Address: 825 Parma way
Date: Oct, 6, 2022

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
805 Parma way	25 FT	60 FT	Attached Front	2	22 FT	wood siding	Cap Cod
840 Parma Way	25 FT	70 FT	Attched Front	1	14 FT	Sttuco	Ranch
851 Parma way	15 FT	65 FT	Detached Rear	1	14 FT	stucco, brick	Ranch
839 Parma way	25 FT	45 FT	Detached Front	2	23 FT	wood siding	Modern
826 Parma way	40 FT	30 FT	Attached Front	1	18 FT	wood siding, brick	Ranch
814 Parma way	25 FT	85 FT	Attached side	1	14 FT	Stucco, brick	Ranch
621 Harrington Ave	25 FT	40 FT	Attached Front	2	26 FT	Stucco, stone	Tuscany
797 Parma way	22 FT	60 FT	Attached Front	1	14 FT	wood siding	Ranch
650 Rosewood Ct	35 FT	35 FT	Attached Front	1	17 FT	stucco, wood siding	Modern, Ranch
653 Rosewood Ct	35 FT	40 FT	Attached Front	1	15 FT	wood siding	Tudor, Ranch
640 Birchwood Ct	35 FT	40 FT	Attached Front	1	15 FT	wood siding, brick	Ranch

825 Parma Way Vicinity Map



Print Date: December 13, 2022

1:4,514

0 0.03 0.06 0.12 mi

0 0.05 0.1 0.2 km

- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS use community

From: Silicon Valley Custom Homes
To: Yvonne Dupont
Cc: Sean Gallegos
Subject: Re: SC22-0035 825 PARMA WAY
Date: Friday, January 20, 2023 8:10:04 AM

Hi Yvonne,

Forgot to share the pic of the posting. See attached.

Jenny Kang
Silicon Valley Custom Homes
[redacted]

On Jan 18, 2023, at 2:58 PM, Yvonne Dupont <ydupont@losaltosca.gov> wrote:

Hello Jenny,

Your property posting for 825 Parma Way for the February 1, 2023 DRC meeting is ready for pick-up here at City Hall. Your property posting is located in the black handout rack that is attached to a steel beam to your right as you walk up the ramp to our front doors. It is

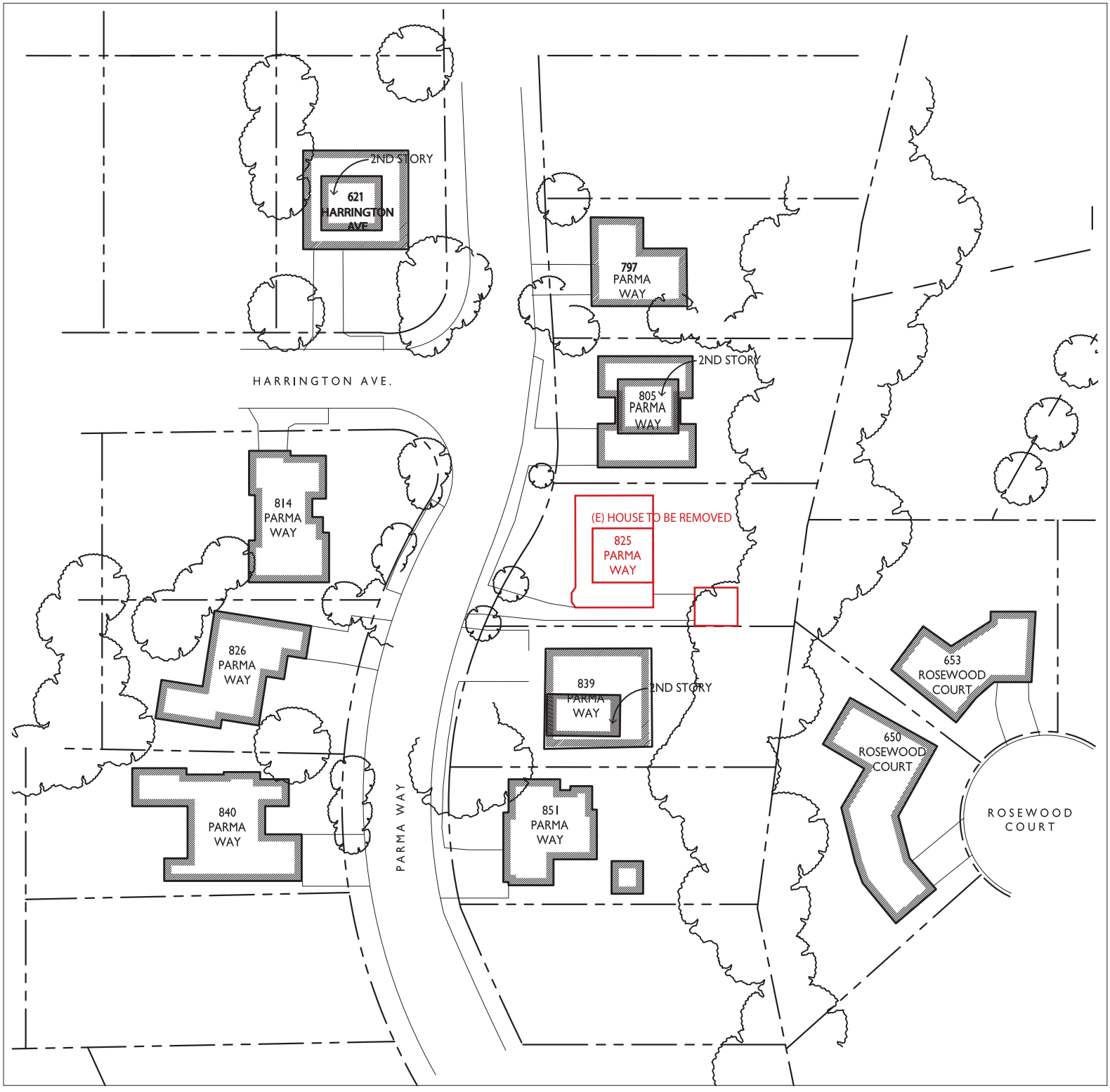
printed on white cardstock, is laminated, and has a yellow post-it with the project address on it. I have attached a picture of the pick-up location.

Please note, this posting must be posted no later than Saturday, January 21st in order to meet the 10-day posting requirement prior to the meeting date. Thanks and have a wonderful day!

Yvonne D. Dupont, Management Analyst I
Development Services Department
City of Los Altos
One North San Antonio Road
Los Altos, CA 94022-3088
Phone: (650) 947-2643
Fax: (650) 947-2733
Email: ydupont@losaltosca.gov
NEW! Sign-up to receive City of Los Altos news delivered right to your inbox!
www.losaltosca.gov/enotify

<20230118_144159.jpg>

Neighbor Map



To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☑ None

☐ Comment: looks very nice

Thank you for your consideration.

Best Regards,

Paula Tuerk

Name(s): Paula TUERK

Resident at 797 PARMA Way

Email: paulatuerk@sbcglobal.net

Phone: _____

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☑ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): Sofia & Adam Budelli

Resident at 805 Parma Way

Email: Sofia.canova@gmail.com / acbudelli@gmail.com

Phone: 408-316-7007, 650-823-9410

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

Dale A DeVivo

Name(s): Dale DeVivo Judith DeVivo

Resident at 851 Parma Way

Email: DeVivoJ@Yahoo.COM

Phone: 650 279-5127

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): SHARON ZHAN

Resident at 814 Parma Way, Los Altos

Email: sharonzhan335@gmail.com

Phone: 510-329-8328

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☑ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): TZIPOR ULMAN + DAN RUBINSTEIN

Resident at 650 ROSEWOOD CT.

Email: tzipor.ulman@gmail.com

Phone: 650 5750492

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

Lorraine M. Malmgren

Name(s): LORRAINE MALMGREN

Resident at 653 ROSEWOOD CT.

Email: luckylori5@aol.com

Phone: (~~97~~ 530) 948-4620

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): SRINIVASAN RAJAGOPAL & VIDHYA JAYAKRISHNAN

Resident at 840 PARMA WAY, LOS ALTOS CA 94024

Email: rforvidhya@gmail.com

Phone: 408-221-9370

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): Jennifer Miley

Resident at 621 Harrington Ave. Los Altos

Email: jenmiley@me.com

Phone: 650-279-2689

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☑ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

_____

Name(s): ALI WASTI

Resident at 826 PARMA WAY

Email: awasti@gmail.com

Phone: 408-829-4508

To: Los Altos Design Review Commission
Re: Jay and Niyati Yagnik Residence
825 Parma Way

Dear Commissioners,

We have reviewed the plans for the Yagnik's new home at 825 Parma Way and we support this project with the exception of the following concerns:

☒ None

☐ Comment: _____

_____

_____

_____

Thank you for your consideration.

Best Regards,

Alexandra Fairey

Name(s): William & Alexandra Fairey

Resident at 839 Parma Way, Los Altos, CA 94024

Email: ahfairey@gmail.com

Phone: 650-463-6675

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

YAGNIK RESIDENCE
2 STORY SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CA 94024

SCOPE OF WORK

1. Demolish the existing main dwelling
2. Build a new 2-story residence with an attached ADU

DRAWING INDEX

ARCHITECTURE PLAN

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A-3	VISUAL REPRESENTATION OF THE NEIGHBORHOOD STREETSCAPE
A-4	MATERIALS BOARD
A-5.1	EXISTING SITE PLAN
A-5.2	PROPOSED SITE PLAN
A-6	FLOOR PLAN
A-7	ROOF PLAN
A-8.1	BUILDING ELEVATIONS - FRONT, REAR
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A-10	TOPOGRAPHIC SURVEY

LANDSCAPE PLAN

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L-2	PROPOSED LANDSCAPE LAYOUT
L-3	PROPOSED PLANTING PLAN
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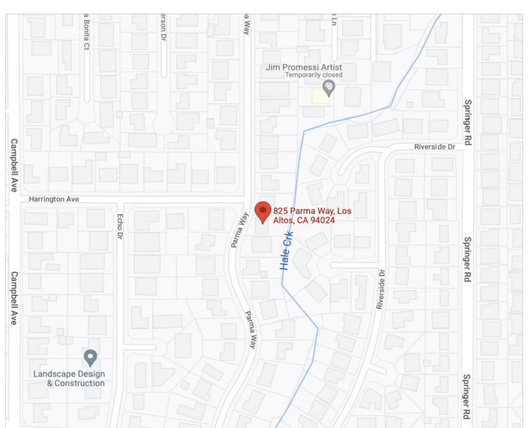
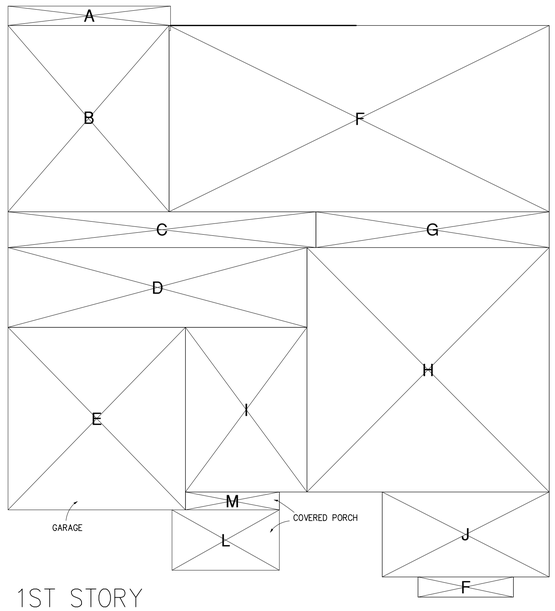
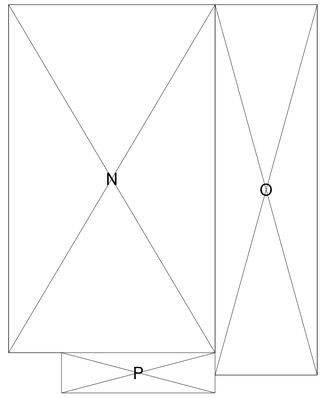
G-5	BUILDING CROSS SECTION
G-6	EROSION CONTROL PLAN
G-7	EROSION CONTROL DETAILS

VICINITY MAP





1ST STORY



2ND STORY

FLOOR AREA CALCULATION
(1ST STORY + 2ND STORY)

E =	19'10"X20'5"= 405 SF		
F =	42'6"X20'10"= 886 SF		
G =	26'1"X4'0"= 105 SF		
H =	27'1"X27'4"= 740 SF		
I =	13'7"X18'5"= 250 SF	N =	23'1"X38'11"= 898 SF
J =	18'8"X9'6"= 177 SF	O =	11'5"X41'5"= 473 SF
K =	10'8"X2'3"= 24 SF	P =	17'2"X4'6"= 77 SF
FIRST STORY SUBTOTAL	2587SF	SECOND STORY SUBTOTAL	1448 SF
FLOOR AREA TOTAL	4035 SF		

LOT COVERAGE CALCULATION
(1ST STORY + ADU + COVERED PORCH)

A =	18'2"X2'2"= 39 SF		
B =	18'0"X20'10"= 375 SF		
C =	34'5"X4'0"= 138 SF		
D =	33'5"X8'11"= 278 SF		
ADU SUBTOTAL	850 SF		
E =	19'10"X20'5"= 405 SF		
F =	42'6"X20'10"= 886 SF		
G =	26'1"X4'0"= 105 SF		
H =	27'1"X27'4"= 740 SF		
I =	13'7"X18'5"= 250 SF		
J =	18'8"X9'6"= 177 SF		
K =	10'8"X2'3"= 24 SF		
FIRST STORY SUBTOTAL	2587 SF		
L =	12'0"X6'11"= 82 SF		
M =	10'6"X1'10"= 21 SF		
COVERED PORCH SUBTOTAL	103 SF		
LOT COVERAGE TOTAL	3540 SF		

FLOOR AREA & COVERAGE CALCULATION DIAGRAM | 1/8" | 1

PROJECT DATA

PROPERTY ADDRESS:	825 PARMA WAY , LOS ALTOS, CA 94024
ZONING DESIGNATION:	R1-10
TYPE OF CONSTRUCTION:	V-B
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
APN:	189-42-038
EXISTING BUILDING:	4 BEDROOMS & 3 BATHS
PROPOSED BUILDING:	5 BEDROOMS & 4.5 BATHS, ADU (2 BEDROOMS, 2 BATHS)
FIRE SPRINKLER SYSTEM:	YES
SITE AREA:	12,856 S.F. (0.27 ACRES)

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	3045 SQFT	3540 SQFT	3857 SQFT
	(23.69%)	(27.54%)	(30 %)
FLOOR AREA	1st FLOOR: 2556 SQFT.	1st FLOOR: 2182 SQFT.	
	2nd FLOOR: 650 SQFT.	2nd FLOOR: 1448 SQFT.	
	GARAGE: 489 SQFT.	GARAGE: 405 SQFT.	
	TOTAL: 3695 SQFT.	TOTAL: 4035 SQFT.	TOTAL: 4036 SQFT.
		ADU: 850 SQFT.	
SETBACKS			
FRONT	16 FT 6 IN	25 FT	25 FT
REAR	91 FT 4 IN	63 FT 6 IN	25 FT
RIGHT SIDE (1st / 2nd)	10 FT / NA	10 FT / 22 FT 6 IN	10 FT / 17 FT 6 IN
LEFT SIDE (1st / 2nd)	10 FT 4 IN / NA	10 FT / 23 FT 6 IN	10 FT / 17 FT 6 IN
HEIGHT	24 FT	26 FT 10 IN	27 FT

ADU ZONING COMPLIANCE

	PROPOSED ADU	ALLOWED/REQUIRED
FLOOR AREA	850 SQFT	850 SQFT
SETBACKS		
FRONT	25 FT	25 FT
REAR	63 FT 6 IN	4 Ft
RIGHT SIDE	10 FT	4 FT
LEFT SIDE	10 FT	4 FT
To the primary dwelling	0 FT	
ROOF OVERHANG AREA	N/A	
SIZE		
Lot Coverage		
HEIGHT	26 FT 10 IN	27 FT

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	3206 SQFT	424 SQFT	3630 SQFT
NON-HABITABLE AREA	489 SQFT	-84 SQFT	405 SQFT

LOT CALCULATION

NET LOT AREA:	12,856 SQFT
FRONT_YARD HARDSCAPE AREA:	1342 SQFT (43%)
LANDSCAPING BREAKDOWN:	TOTAL HARDSCAPE AREA (EXISTING & PROPOSED): 6525 SQFT.
	EXISTING SOFTSCAPE (UNDISTRUBED) AREA: 1500 SQFT.
	NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA: 5032 SQFT.

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LICENSED ARCHITECT HAU-CHING LHC C-28947 RENEWAL: 10-31-2023 STATE OF CALIFORNIA

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
(650) 450-3729

YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:
COVER SHEET

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-1
OF SHEETS

797 PARMA WAY

805 PARMA WAY

621 HARRINGTON AVE

814 PARMA WAY

826 PARMA WAY

840 PARMA WAY

640 BIRCHWOOD COURT

653 ROSEWOOD COURT

650 ROSEWOOD COURT

852 PARMA WAY

839 PARMA WAY

851 PARMA WAY

NEIGHBORHOOD CONTEXT MAP | 1/40" | 1

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REVISIONS:

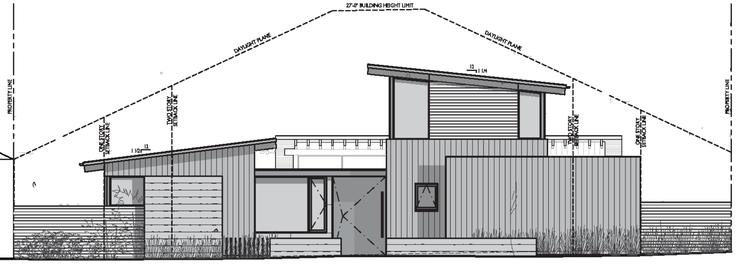
SHEET TITLE:
NEIGHBORHOOD CONTEXT MAP

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-2
OF SHEETS

825 PARMA WAY PROPOSED 3D RENDERING | 1

805 PARMA WAY

825 PARMA WAY



839 PARMA WAY

NEIGHBORHOOD CONTEXT MAP | 1/8 " | 2

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REVISIONS:

SHEET TITLE:
NEIGHBORHOOD STREETSCAPE

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-3
OF SHEETS

MATERIAL BOARD

STUCCO _ STUCCO SUPPLY

GRAY BLOCK
BASE B LRV 83

WINDOW _ MILGARD

Ultra™ Series | C650

Fiberglass $$$$ ★★★★★

Strong and beautiful, durable fiberglass windows are built to last.

Suitability:
Replacement, New Construction

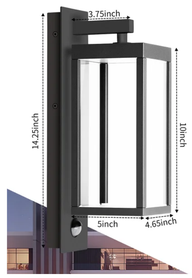
Style:
Contemporary

Innovation:
Strong and weather resistant

ENTRANCE DOOR | Therma-Tru

GARAGE DOOR | Wooden Garage door

DARK SKY LIGHTING

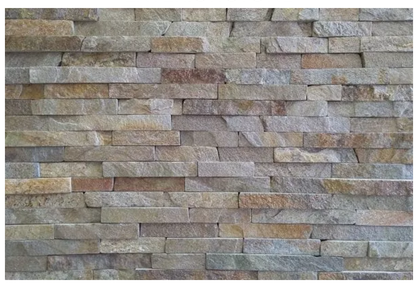


- Material: **Aluminum, Glass**
- Voltage: **100-240V**
- Power Source: **Hard Wired**
- Color: **Dark Grey**
- Style: **European Modern**
- Wattage: **15W**
- Color Temperature: **3000K**
- Warranty: **36 Months**
- Application: **Porch,Entryway**
- Lumen: **800**

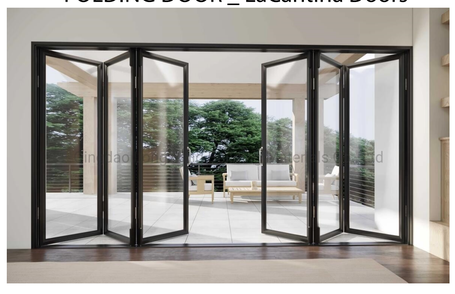
FASSCIA, SOFFIT _ V Rustic

COMPOSITION SHINGLE ROOF _ CERTAINTEED

EXTERIOR STONE



FOLDING DOOR _ LaCantina Doors



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REVISIONS:

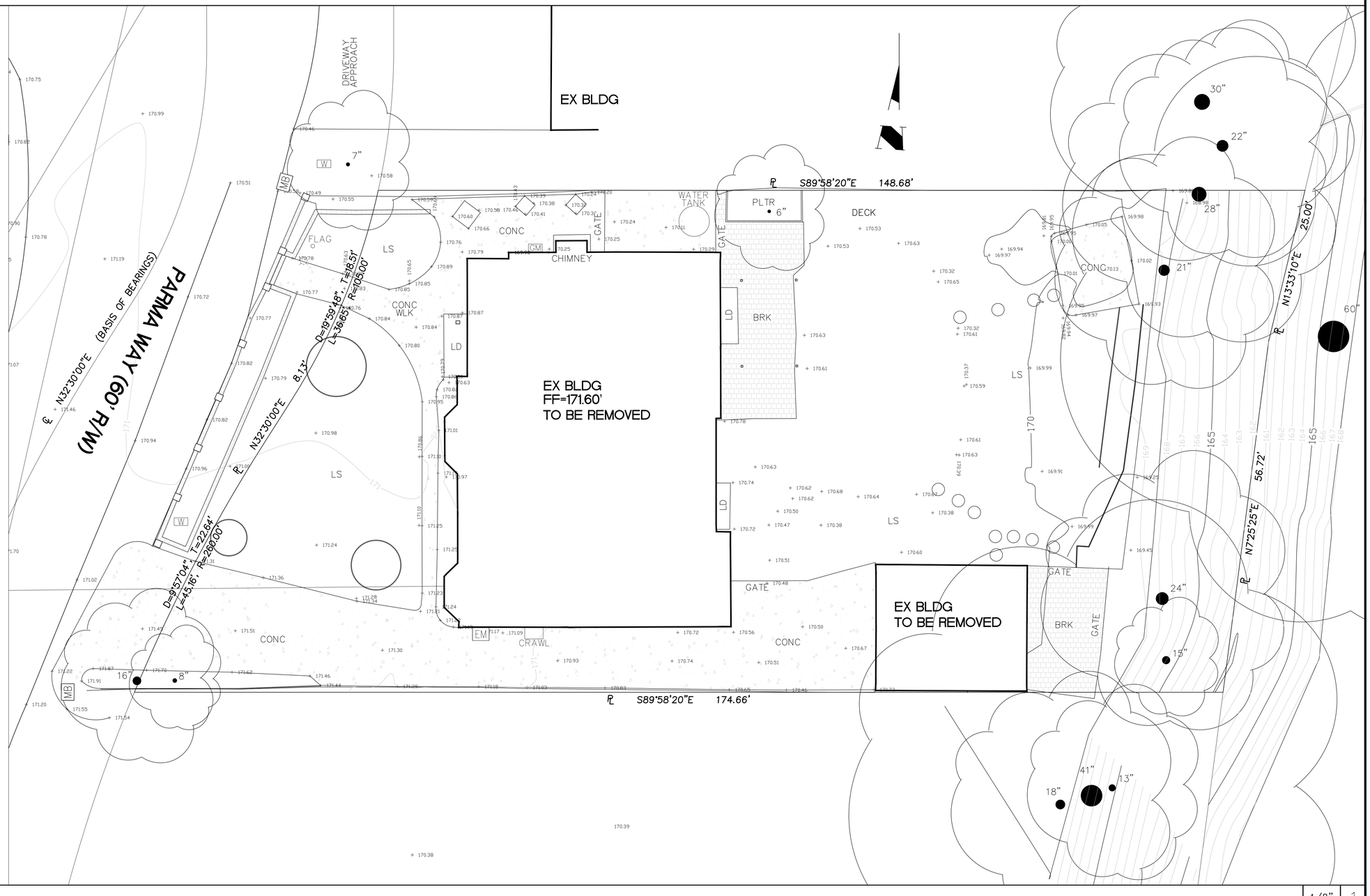
SHEET TITLE:
MATERIAL BOARD

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-4
OF SHEETS

YAGNIK RESIDENCE
2 STORY SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CA 94024

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965



EXISTING SITE PLAN

1/8" | 1

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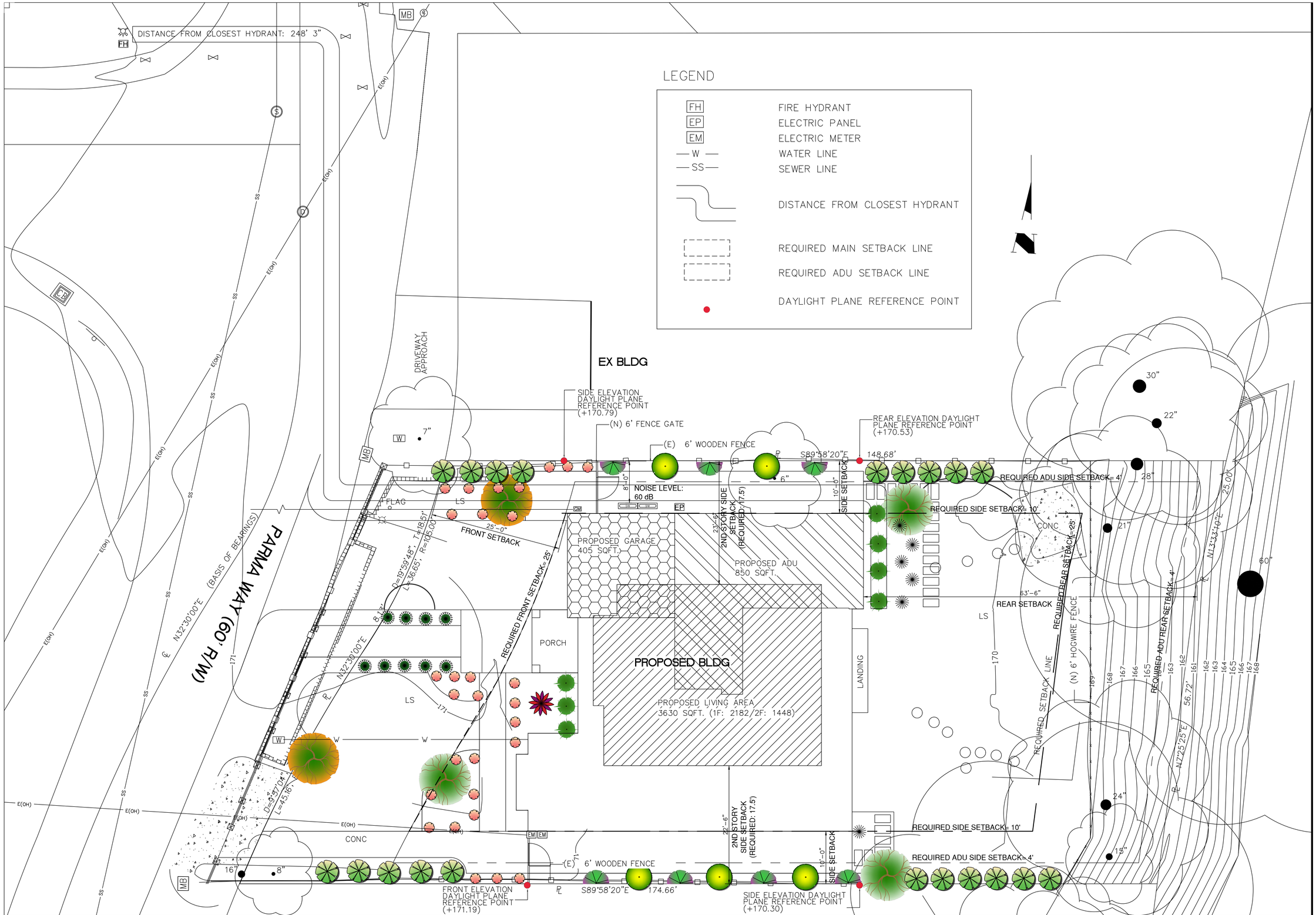
REVISIONS:

SHEET TITLE:
SITE PLAN

DATE	PROJECT NO.
Sep, 2022	22-
SCALE	DRAWN
AS SHOWN	HC

SHEET
A-5.1

OF SHEETS



EXISTING SITE PLAN

1/8" | 1

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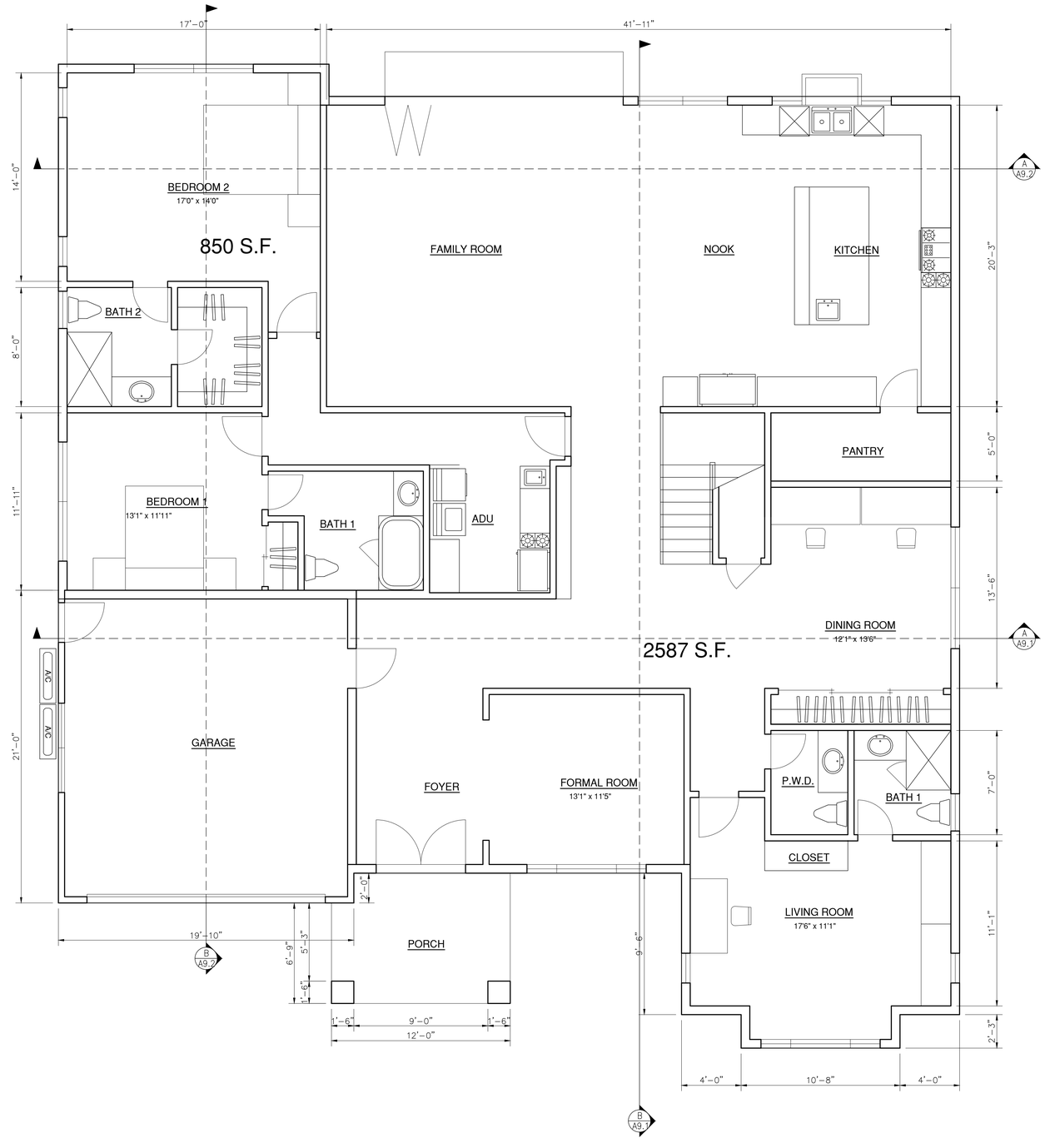
REVISIONS:

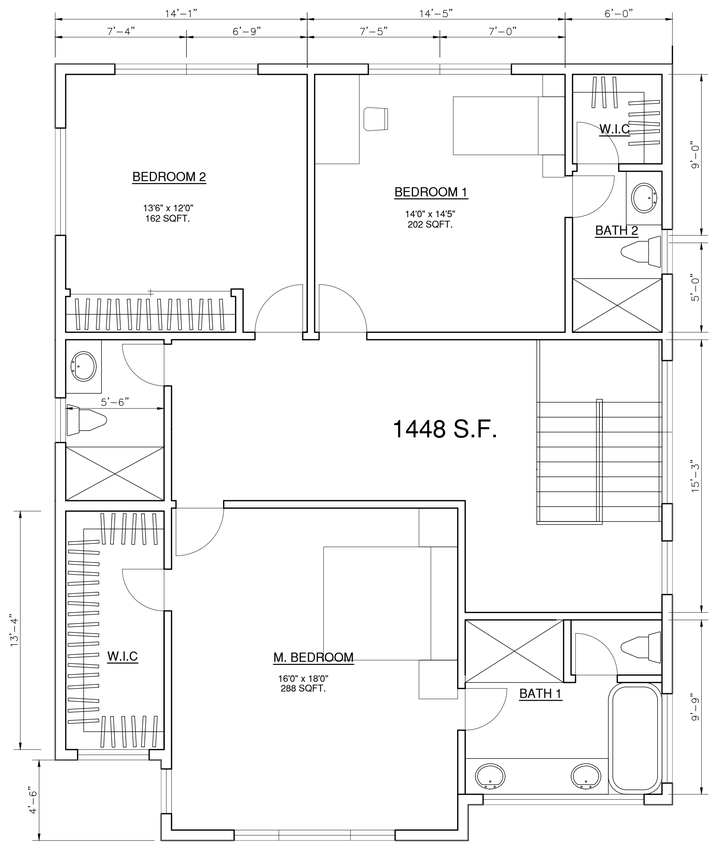
SHEET TITLE:
SITE PLAN

DATE	PROJECT NO.
Sep, 2022	22–
SCALE	DRAWN
AS SHOWN	HC

SHEET
A–5.2

OF SHEETS





SYMBOL

- B / A5 — SECTION / SHEET NUMBER
- B / A5 — DETAIL / SHEET NUMBER
- E — COLUMN GRID
- E — EXISTING DOOR
- B / A5 — INTERIOR ELEVATIONS INDICATOR

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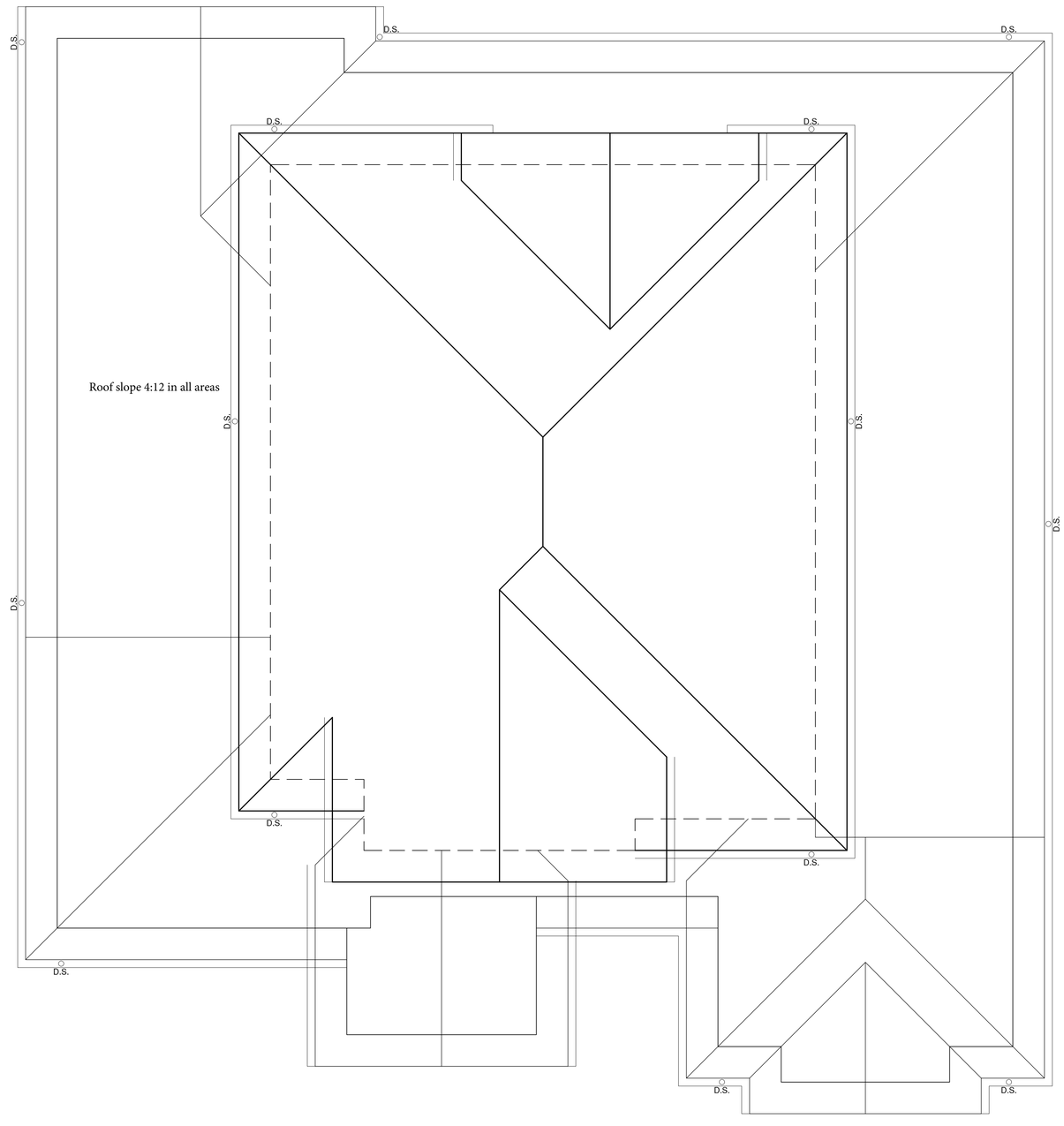
REVISIONS:

SHEET TITLE:
FLOOR PLAN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-6
OF SHEETS

FLOOR PLAN | 1/4" | 1



ROOF PLAN

1/4" | 1

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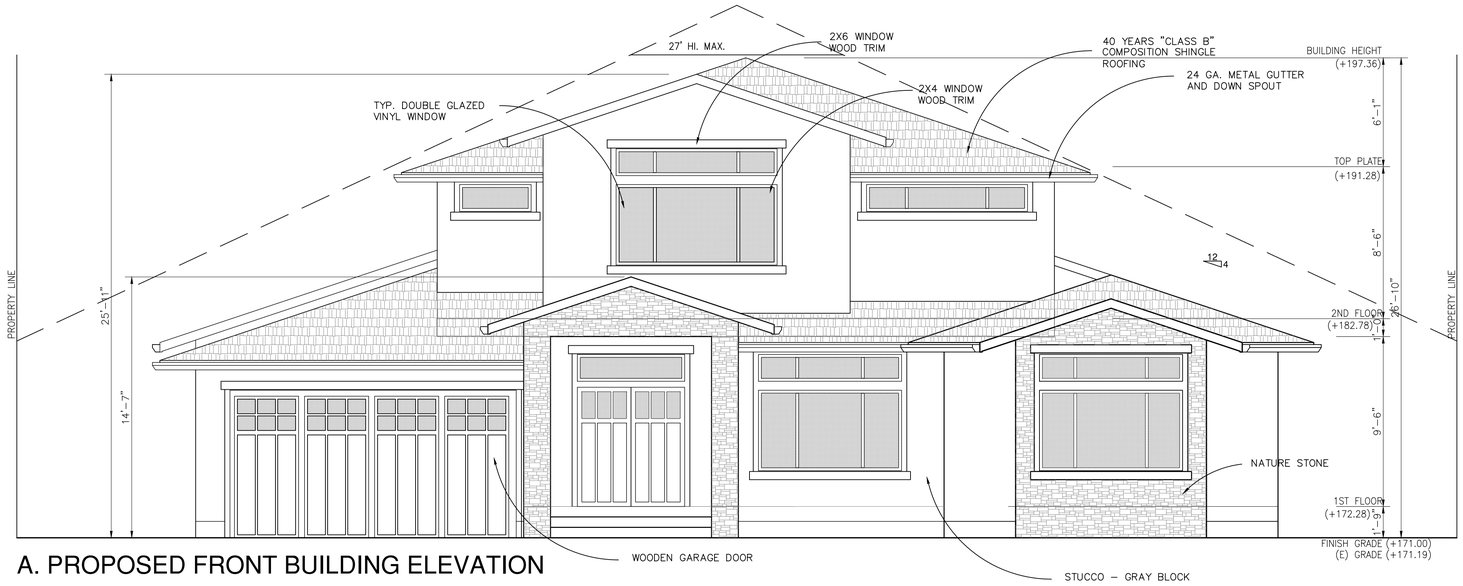
REVISIONS:

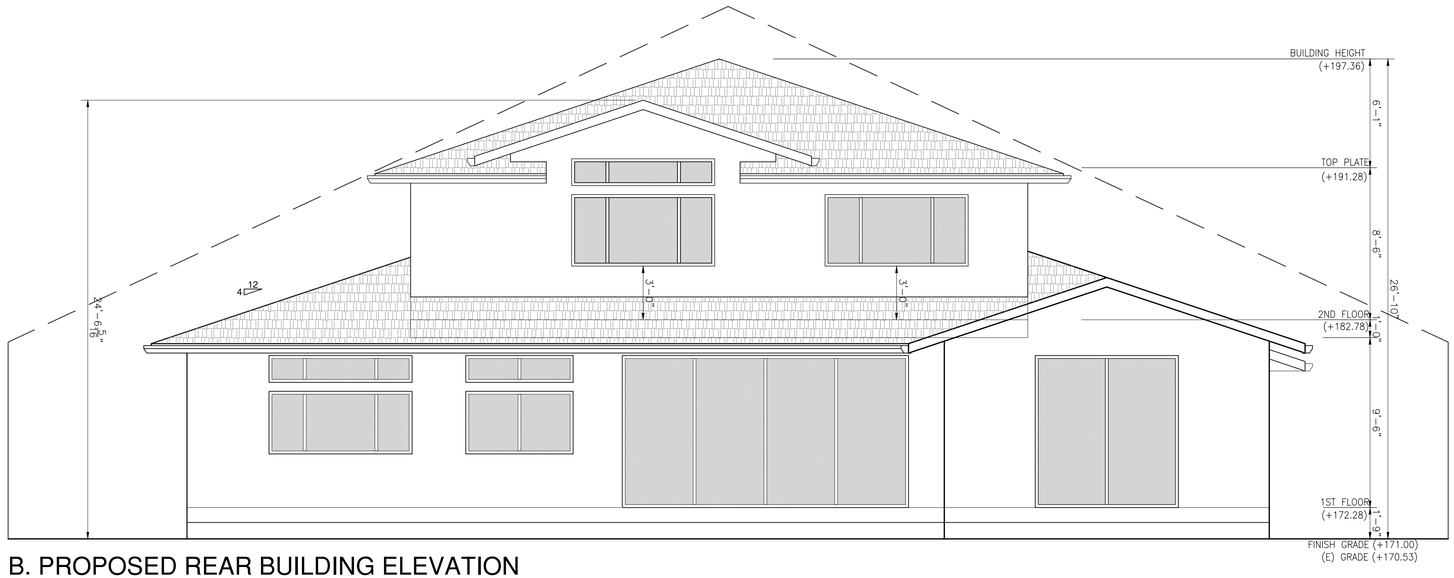
SHEET TITLE:

ROOF PLAN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-7
OF SHEETS



A. PROPOSED FRONT BUILDING ELEVATION



B. PROPOSED REAR BUILDING ELEVATION

PROPOSED ELEVATION | 1/4" | 1

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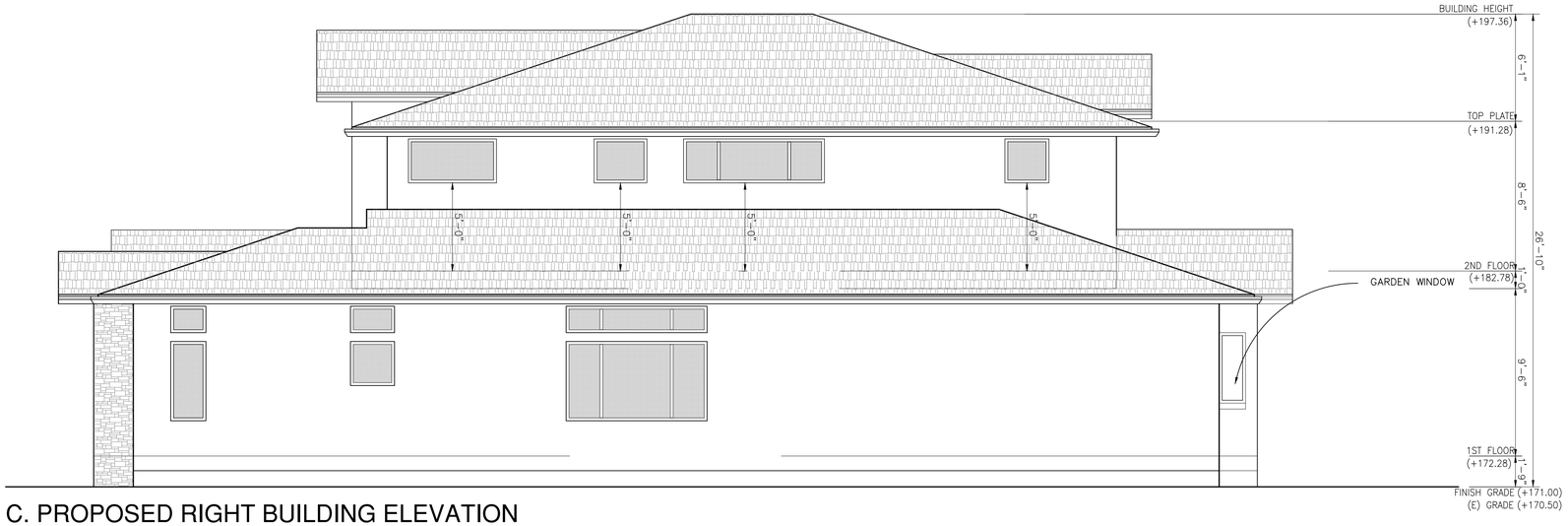
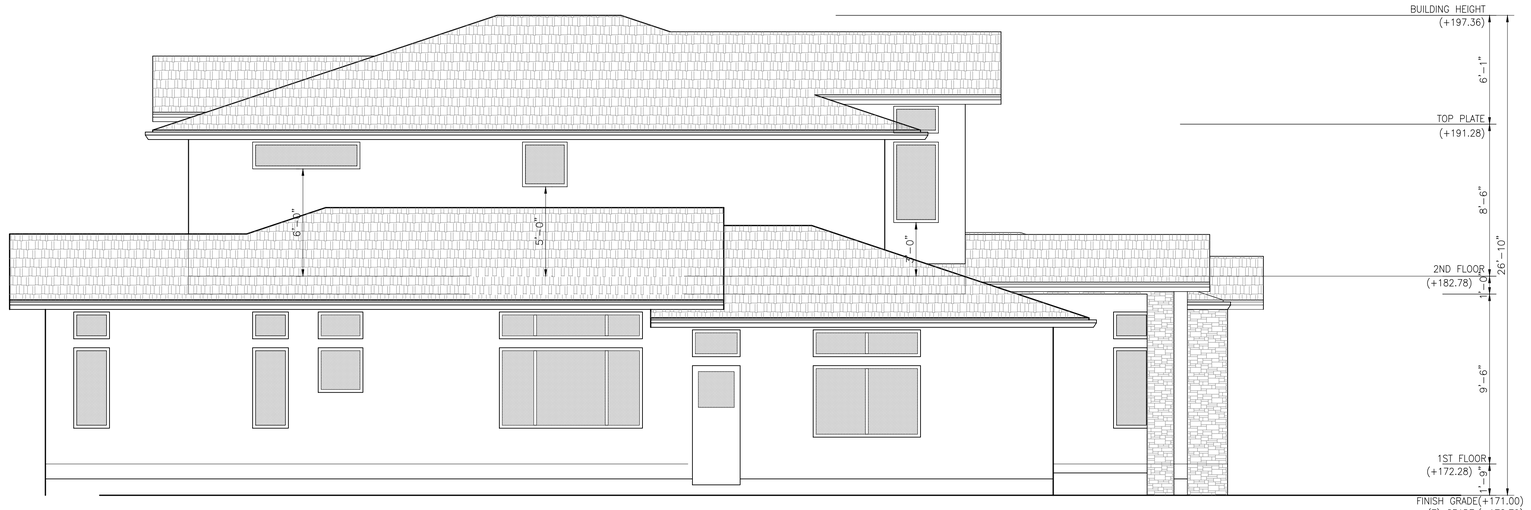
REVISIONS:

SHEET TITLE:
ELEVATION

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-8.1
OF SHEETS



C. PROPOSED RIGHT BUILDING ELEVATION



D. PROPOSED LEFT BUILDING ELEVATION

PROPOSED ELEVATION | 1/4" | 1

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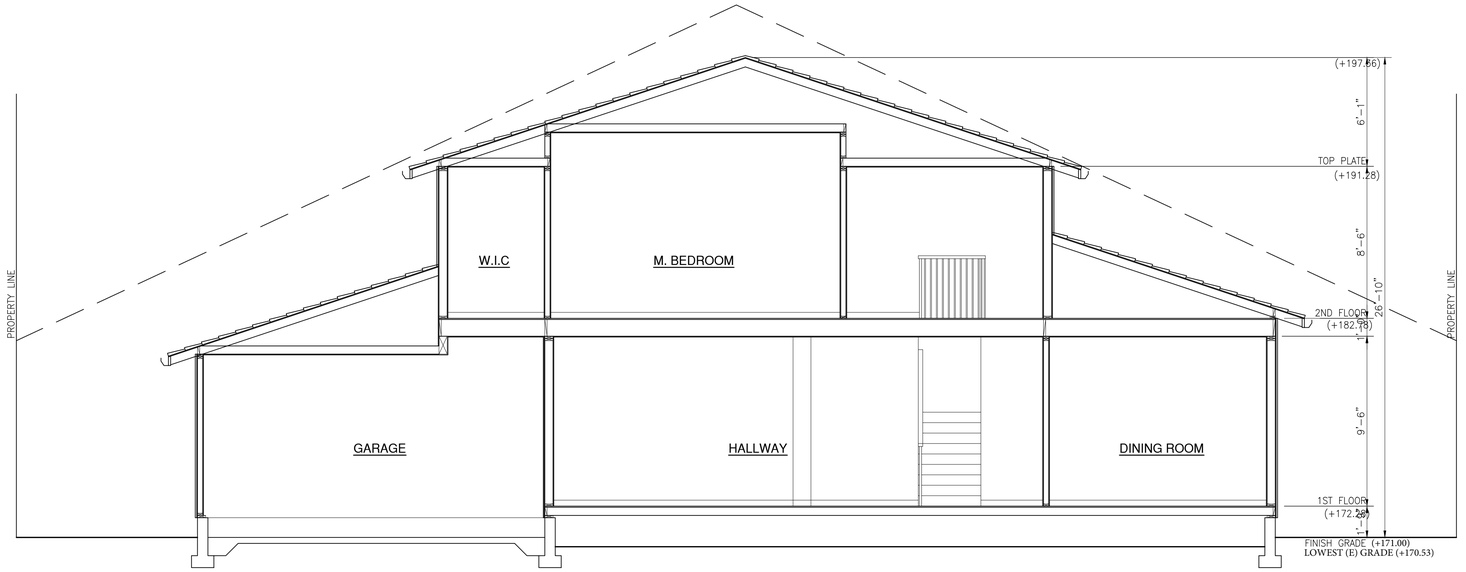
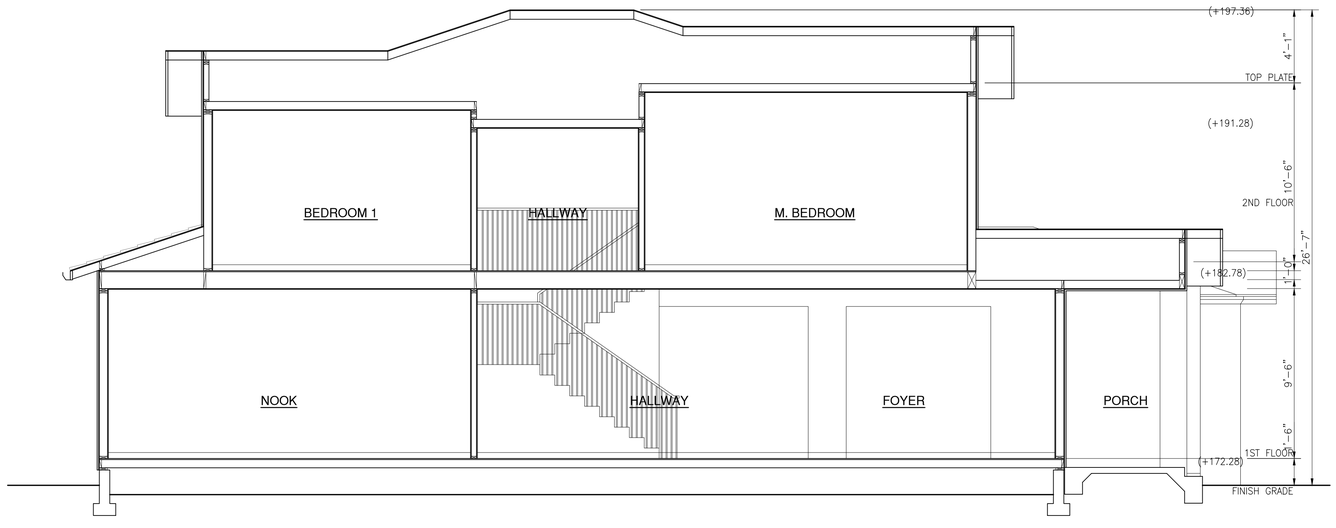
REVISIONS:

SHEET TITLE:
ELEVATION

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-8.2
OF SHEETS



A. PROPOSED CROSS SECTION



B. PROPOSED CROSS SECTION

CROSS SECTION – MAIN | 1/4" | 1

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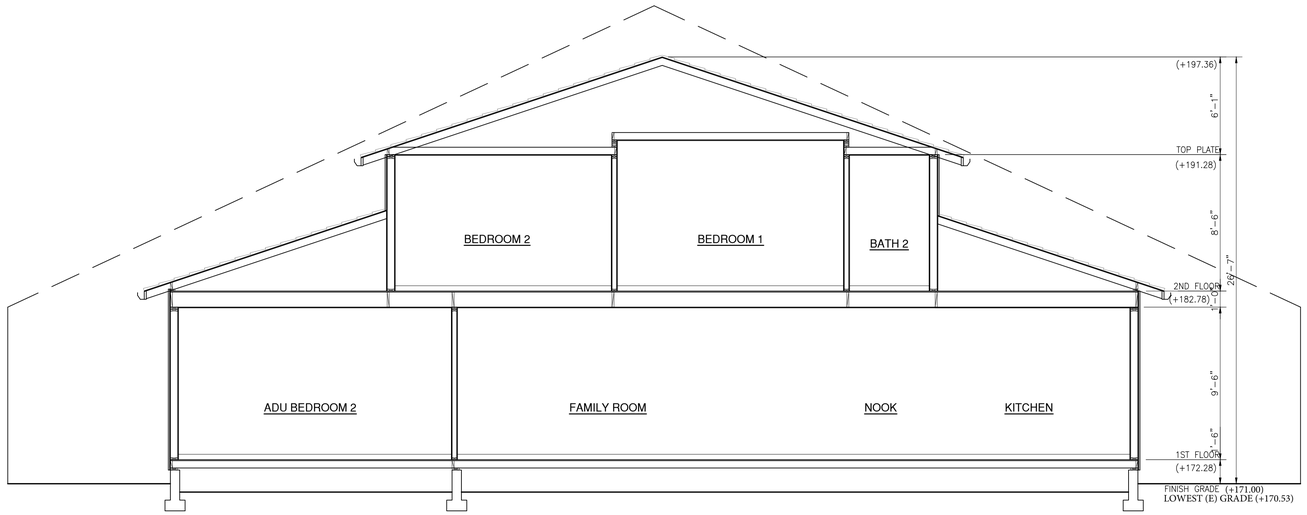
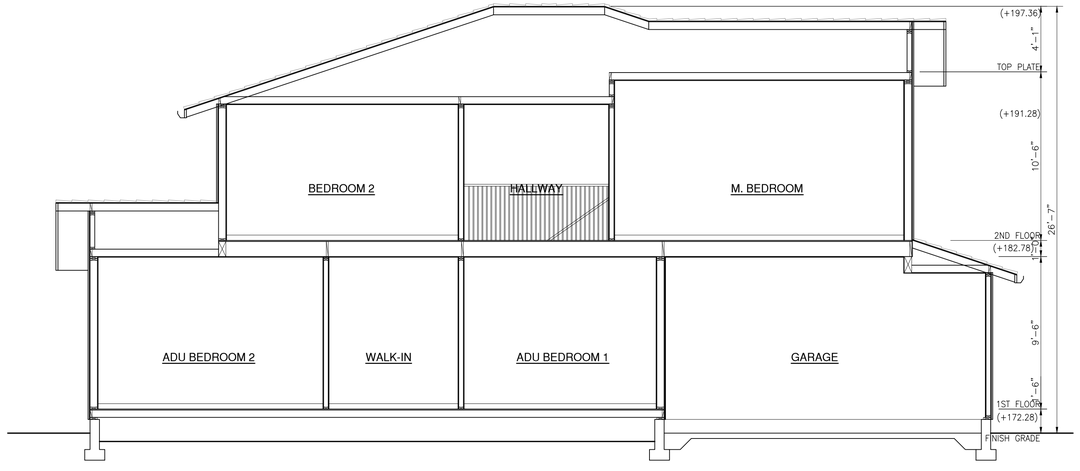
REVISIONS:

SHEET TITLE:
SECTION – MAIN

DATE: Sep, 2022
PROJECT NO.: 22–
SCALE: AS SHOWN
DRAWN: HC
SHEET: A–9.1
OF SHEETS



A. PROPOSED ADU CROSS SECTION



B. PROPOSED ADU CROSS SECTION

CROSS SECTION – ADU | 1/4" | 1

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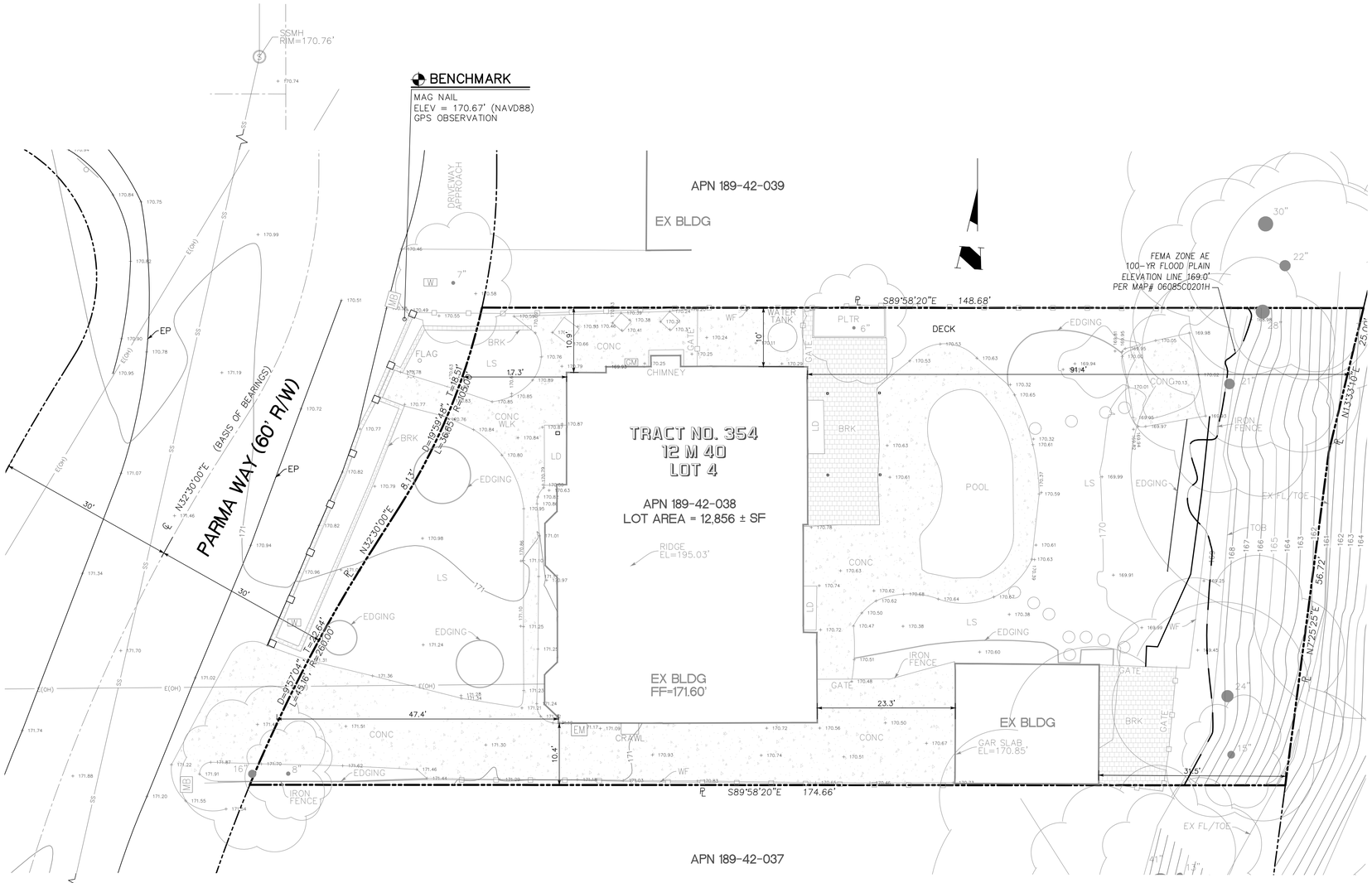
REVISIONS:

SHEET TITLE:
SECTION – ADU

DATE: Sep, 2022
PROJECT NO.: 22–
SCALE: AS SHOWN
DRAWN: HC
SHEET: A–9.2
OF SHEETS



LEGEND & ABBREVIATIONS

	BENCHMARK
	BORDER LINE
	BOUNDARY
	BUILDING OUTLINE
CB	CATCH BASIN
	CENTERLINE
	PAVED
	BRICK
	CONCRETE
69	EXISTING CONTOUR
	EASEMENT LINE
EM	ELECTRICAL METER
+70.69 OR (70.69)	EXISTING ELEVATION
	EXISTING CHAIN LINK FENCE
	EXISTING WOOD FENCE
10"	EXISTING TREE AND DIAMETER
	FLOW LINE
GM	GAS METER
	GUY POLE
	GUY WIRE ANCHOR
	EXISTING HYDRANT
	JOINT POLE
	LIGHT POST
M	MANHOLE
	STREET MONUMENT
	PROPERTY CORNER MONUMENT
	MONUMENT LINE
	PARCEL LINE / RIGHT OF WAY
E	PGE BOX
4"	PVC PIPE AND DIAMETER
C	SANITARY SEWER CLEAN OUT
S	SANITARY SEWER MANHOLE
D	SANITARY SEWER STORMDRAIN
	SETBACK LINE
	STREET SIGN
10"	TREE STUMP AND DIAMETER
W	UTILITY: EXISTING
W	WATER METER
	WATER VALVE
BOL	BOLLARD
AD	AREA DRAIN
MB	MAIL BOX
	STUMP

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BD	BRASS DISC
BLDG	BUILDING
BOL	BOLLARD
BRC	BACK OF ROLLED CURB
BSL	BUILDING SETBACK LINE
BWK	BACK OF WALK
BWV	BACKFLOW WATER VALVE
CB	CATCH BASIN
CG	CURB & GUTTER
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CLM	COLUMN
CLST	CLOSET
CONC	CONCRETE
COR	CORNER
DWY	DRIVEWAY
EA	EASEMENT
EC	EDGE OF CONCRETE
ELEV	ELEVATION
EM	ELECTRIC METER
E(OH)	ELECTRIC OVERHEAD
E(UG)	ELECTRIC UNDERGROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISH ELEVATION OF SUBFLOOR
FG	GROUND FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
G	GAS LINE
GAR	GARAGE SLAB ELEVATION
GD	GROUND
GM	GAS METER
HC	HANDICAPPED
INV	INVERT
IEE	INGRESS AND EGRESS EASEMENT
IP	IRON PIPE
IRR	IRRIGATION
LD	LANDING
LIP	LIP OF GUTTER
LS	LANDSCAPED AREA
MH	MANHOLE
MON	MONUMENT
℄	PROPERTY LINE
PLTR	PLANTER
PP	POWER POLE
PRUE	PRIVATE SERVICES AND UTILITY EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVAE	PRIVATE VEHICLE ACCESS EASEMENT
PVMT	PAVEMENT
RC	ROLLED CURB
RW	RETAINING WALL
R/W	RIGHT OF WAY
SDE	STORM DRAIN EASEMENT
SSCO	SANITARY SEWER CLEANOUT
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE / LATERAL
STLT	STREET LIGHTING BOX
SW	SIDEWALK
TEL	TELEPHONE BOX
TW	TOP OF WALL
TYP	TYPICAL
WCE	WIRE CLEARANCE EASEMENT
WF	WOOD FENCE
WLE	WATER LINE EASEMENT
WLK	WALKWAY
WV	WATER VALVE

NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

FEMA

ZONES:	X AND AE
100-YEAR BASE FLOOD ELEVATION:	169.0'
COMMUNITY:	SANTA CLARA COUNTY CITY OF LOS ALTOS,
MAP NUMBER:	06085C0201H
EFFECTIVE DATE:	MAY 18, 2009

FEMA INFORMATION
SHOWN ON SURVEY WERE INTERPOLATED
USING FEMA FIRM AND GIS MAPS
FROM FEMA FLOOD MAP SERVICE WEBSITE:
https: //msc.fema.gov

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.

GRAPHIC SCALE
0 10 20
(IN FEET)
1 inch = 10 ft.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

H. W. CHUI
RCE NO. 32912 EXP.06-30-2024

08/14/2022
DATE

REGISTERED PROFESSIONAL ENGINEER
H. W. CHUI
No. 32912
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	BY	DATE	APP'D

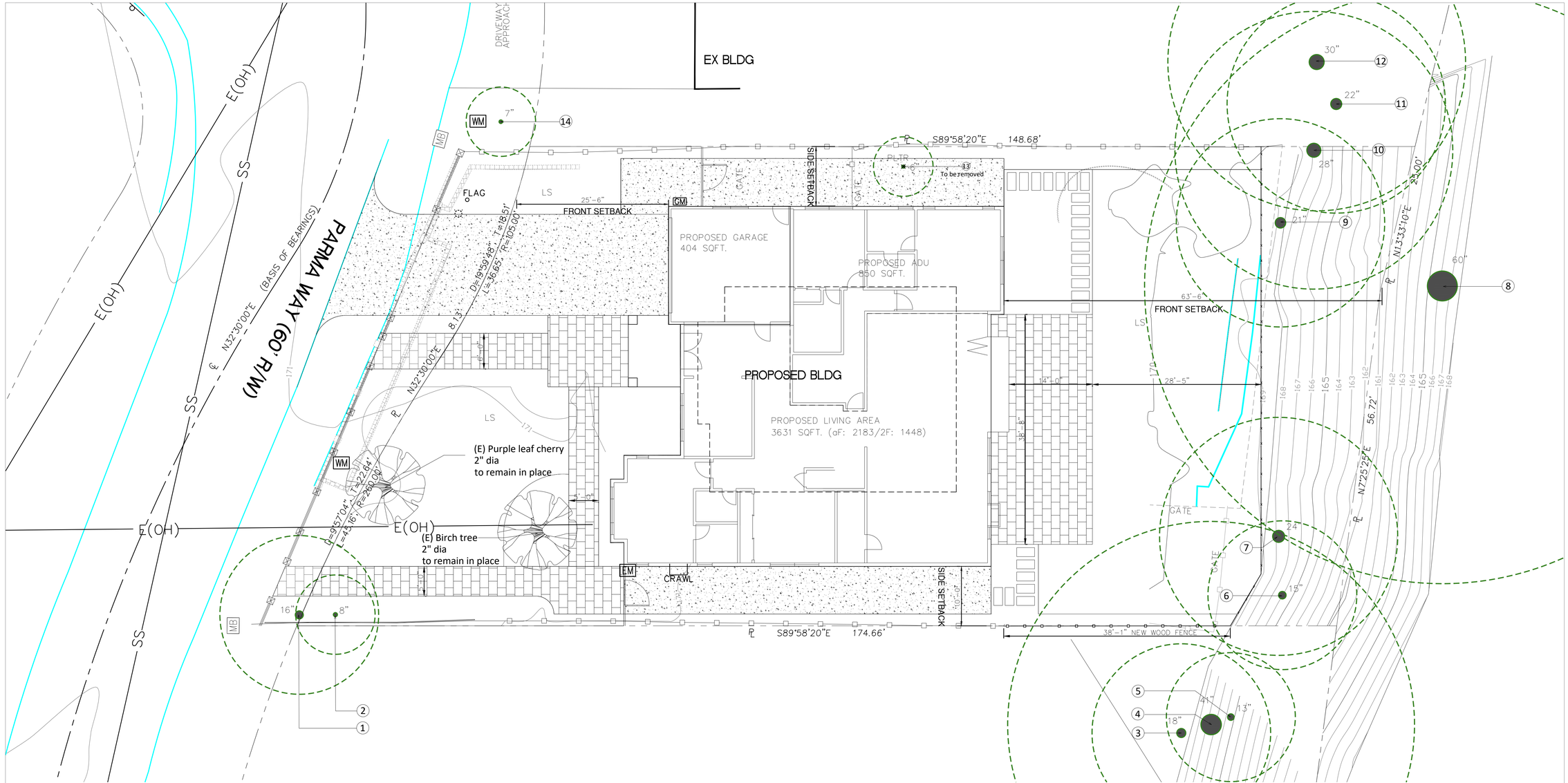
VL DESIGNED 08/14/2022 DATE
VL DRAWN 08/14/2022 DATE
SCALE 1" = 10'
NL CHECKED 08/14/2022 DATE

LA ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

BOUNDARY MAP AND TOPOGRAPHIC SURVEY
825 PARMA WAY
APN 189-42-038
Los Altos California

PROJECT NO.
CONTRACT NO.
DRAWING NO.
SHT NO. 1 OF 1
FILE NO.

ROAD NAME : PARMA WAY



Legend

- Existing Tree dripline (Tree dia larger than 4")
- Existing Tree to remove
- Existing Tree to remain (less than 4" dia)

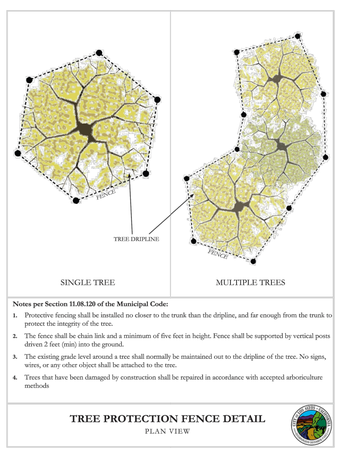
Tree Protection

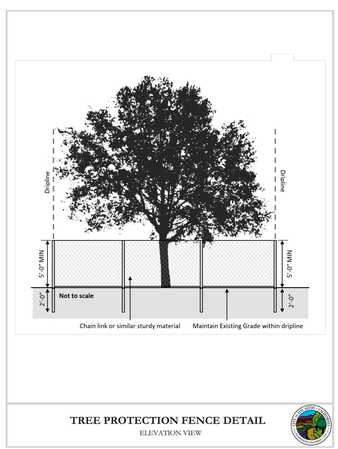
TREE PROTECTION ZONES SHALL BE INSTALLED AND MAINTAINED THROUGHTOUT THE ENTIRE LENGTH OF THE THE PROJECT. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT ABOUT THE DRIP LINE (WHERE POSSIBLE) OF ANY PROTECTED TREE WHICH WILL OR WILL NOT BE AFFECTED BY THE CONSTRUCTION.
THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCORACHMENT OF THE CONSTRUCTION. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPAED NO MORE THAN 10 FEET APART ON CENTER.
SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT".
NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES.
EXCAVATION, GRADING, SOIL DEPOSITS, DRAINAGE AND LEVELING ARE PROHIBITED WITHIN THE TREE PROTECTION ZONES.
NO WIRES, SIGNS, OR ROPES SHALL BE ATTACHED TO THE PROTECTED TREES ON SITE. UTILITY SERVICES AND IRRIGATION LINES SHALL ALL BE PLACED OUTSIDE OF THE TREE PROTECTION ZONES.

Existing Tree List

(#) tree dia more than 4"

Symbol	Botanical Name	Common Name	Tree DBH (DIA.)	TPZ (RAD.)	Protected tree	Tree removal	Location	Reason to remove
1	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Driveway	
2	Quercus agrifolia	Coast live oak	8"	6'-8"	Yes	No	Driveway	
3	Quercus agrifolia	Coast live oak	18"	15'-0"	Yes	No	#839 yard	
4	Quercus agrifolia	Coast live oak	41"	34'-2"	Yes	No	#839 yard	
5	Quercus agrifolia	Coast live oak	13"	10'-10"	Yes	No	#839 yard	
6	Quercus agrifolia	Coast live oak	24"	20'-0"	Yes	No	Backyard	
7	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Backyard	
8	Quercus agrifolia	Coast live oak	60"	50'-0"	Yes	No	Backyard	
9	Quercus agrifolia	Coast live oak	21"	17'-6"	Yes	No	Backyard	
10	Quercus agrifolia	Coast live oak	28"	23'-4"	Yes	No	Backyard	
11	Quercus agrifolia	Coast live oak	22"	18'-4"	Yes	No	#805 yard	
12	Quercus agrifolia	Coast live oak	30"	25'-0"	Yes	No	#805 yard	
13	Prunus x cistena	Purpleleaf Sand Cherry	6"	5'-0"	No	Yes	Left sideyard	too close to building
14	Pistacia chinensis	Chinese pistache	7"	5'-10"	No	No	#805 yard	





825 Parma

MUZIK DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

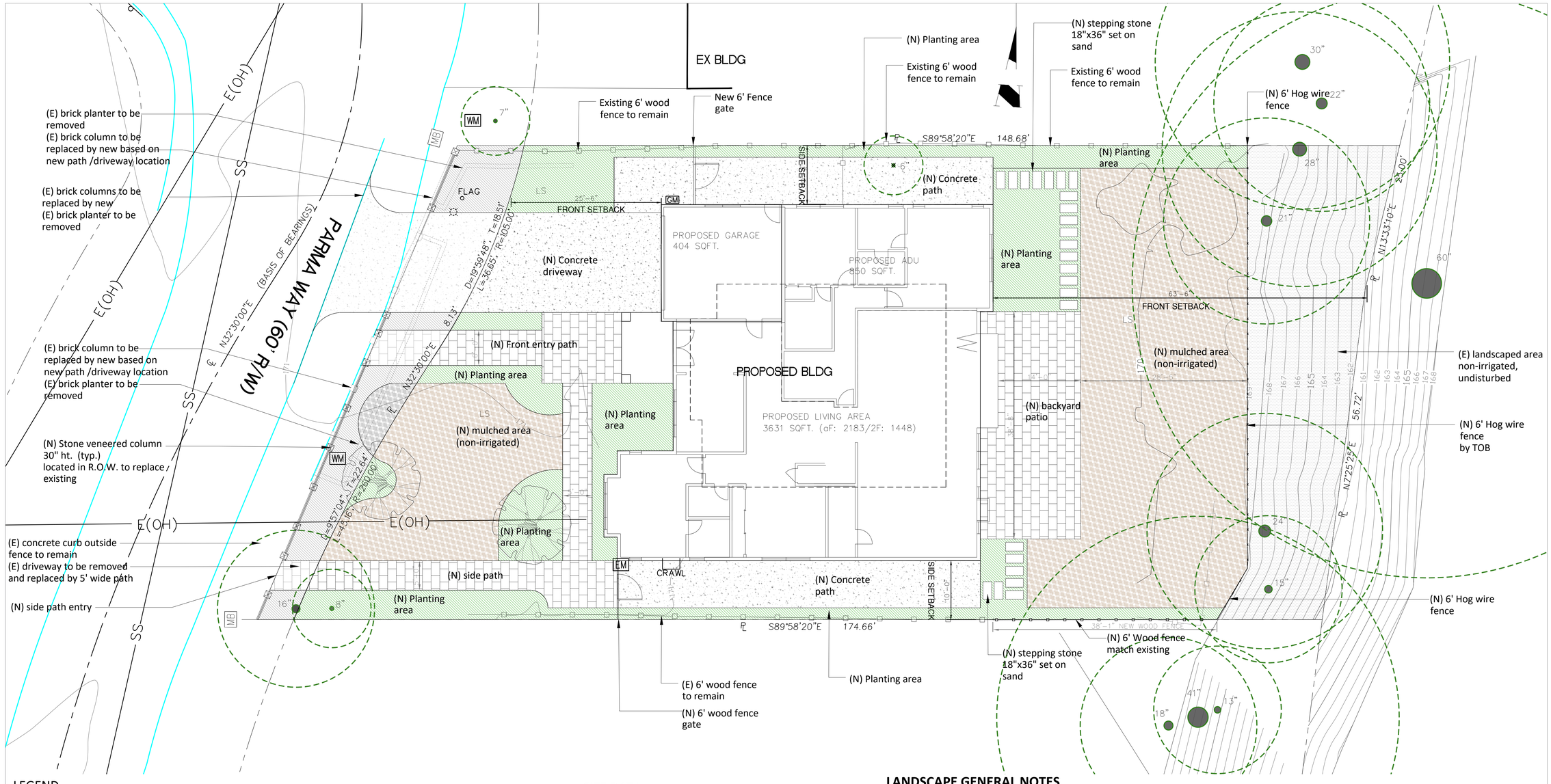
Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title
Existing
Tree Plan
and Tree Protection

Drawing Scale
1/8"=1'-0"

Sheet Title
L-1

12/13/2022



LEGEND

- Concrete area
- Concrete area encroached into R.O.W.
- Concrete Paver area
- Concrete Paver area encroached into R.O.W.
- Planting area
- Planting area encroached into R.O.W.
- Mulch area
- Mulch area encroached into R.O.W.
- Existing softscape (undisturbed)
- New hog wire fence
- Existing 6-foot wood fence
- New column with stone veneer 18"x18"x30" material match architectural material Location match existing column in R.O.W.

SITE DATA

Front Landscape		
Total Area	3119	100%
Impervious area	1342	43.03%
Mulch and Planting	1777	56.97%
Site Landscape		
Lot size	12856	100%
Building coverage	3436	49.25%
Porch, landing and steps	102+48+12=162	
Driveway	510	
sideyard path	900	
Concrete paved area	1323	
Landscape Pervious area	6525	50.75%
Landscaping Breakdown		
Total hardscape area (driveway + path, paved) 2733 s.f.		
Total softscape area 6525 s.f.		
New softscape, irrigated	Planting 1970 s.f.	
New softscape, non irrigated	Mulch 3055 s.f.	
Existing softscape, undisturbed, non-irrigated	1500 s.f.	

LANDSCAPE GENERAL NOTES

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
5. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
6. SITE DESIGN BASED ON TOPOGRAPHIC INFORMATION FROM ARCHITECT. ALL GRADES TO BE VERIFIED IN FIELD.
7. SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED.
8. SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN DIMENSIONS AND QUANTITY, SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES.
9. ALL ELECTRICAL WORK TO COMPLY WITH CITY OF SUNNYVALE SPECIFICATIONS AND UNDERWRITERS LABORATORIES (UL) SPECIFICATIONS.
10. PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. SEE LANDSCAPE PLAN FOR RESTRICTIONS.
11. CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK.
12. ALL EARTHWORK, INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOT EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL BENEATH SLABS-ON-GRADE AND OTHER FLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST OF NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
13. PROPERTY LINES ARE SHOWN FOR REFERENCE ONLY AND ADDED PER CITY/TOWN ASSESSOR'S PARCEL MAP. IF A DISCREPANCY ARISES, A BOUNDARY SURVEY SHALL BE COMPLETED BY A LICENSED SURVEYOR TO RESOLVE THE ISSUE.
14. CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS THE CHARACTER AND EXTENT OF WORK INVOLVED.
15. CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
16. BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.

825 Parma

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RESIDENTIAL LANDSCAPE PLAN

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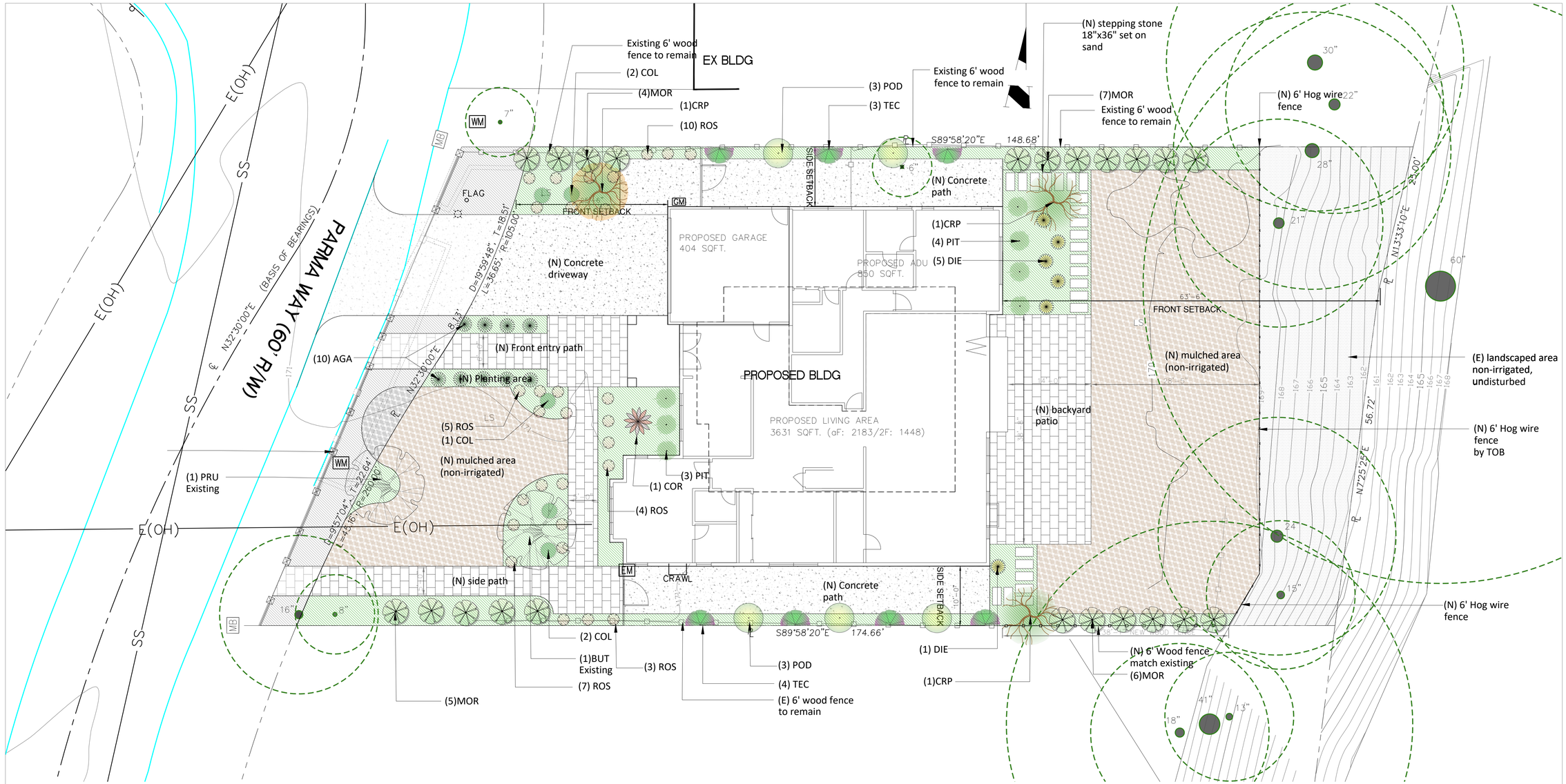
Drawing Title
Proposed Landscape Layout

Drawing Scale
1/8"=1'-0"

Sheet Title
L-2

12/13/2022



Plant List

Symbol	Quantity	Botanical Name	Common Name	Specification	Ht. x spread	Water useage	Native
Tree							
PRU	1	Prunus x cistena	Purpleleaf Sand Cherry	existing, 2" dia	25'x25'	M	No
BET	1	Betula nigra	River Birch	existing, 2" dia	40'x30'	L	No
CRP	3	Lagerstroemia indica x fauriei 'Tonto'	Semi-dwarf Crape Myrtle	15 gal, tree form, std	15'x8'	L	No
Shrubs							
POD	5	Podocarpus elongatus 'monmal'	Icee Blue Yellow-Wood	15 Gal	20'x8'	L	No
PIT	7	Pittosporum tobira	Japanese cheesewood	15 Gal	6'x6'	L	No
MOR	21	Morella californica	Pacific Wax myrtle	15 Gal	8'x6'	L	Yes
AGA	10	Agapanthus africanus	Lily of Nile	5 Gal.	4'x5'	L	No
COR	1	Furcraea foetida	False Agave	Min. 2 Gal.	6'x6'	VL	No
COL	5	Coleonema pulchellum	Pink Breath of Heaven	5 Gal	3'x3'	M	No
ROS	29	Rosa x 'Noasplash' or spp	flower carpet ground cover roses	5 Gal.	2'x3'	VL	No
DIE	6	Dietes iridioides	Fortnight Lily	5 Gal.	4'x4'	VL	No
VINE							
TEC	7	Tecomaria capensis	Cape honeysuckle	5 Gal.	8'x8'	L	No

Total Plants: 96
Very Low /Low water Plants: 90
Percentage of low water used plant: 93.75 %

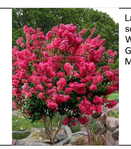
Notes:
1. All pictures references online pictures
2. Water usage of plant is referred from online plant database of Bay Area Water Supply & Conservation Agency

TREE

Prunus cerasifera
Purpleleaf Sand Cherry
Water Usage: Medium
Growth Rate: Fast
Mature Size: 25'x25'

Betula nigra
River birch
Water Usage: Low
Growth Rate: Fast
Mature Size: 40'x30'

SHRUBS



Lagerstroemia indica x fauriei 'Tonto'
semi-dwarf crape myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 15'x8'

Podocarpus elongatus 'Monma
Blue Ice Yellowwood
Water Usage: Low
Growth Rate: Medium
Mature Size: 20'x8'

Pittosporum tobira
Japanese cheesewood
Water Usage: low
Growth Rate: Fast
Mature Size: 6'x6'

SHRUB

Morella californica
pacific wax myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 8'x6'

Agapanthus africanus
Lily of Niles
Water Usage: Low
Growth Rate: Fast
Mature Size: 4'x5'

furcraea foetida
False agave
Water Usage: Low
Growth Rate: Fast
Mature Size: 6'x6'

coleonema pulchellum
pink breath of heaven
Water Usage: Medium
Growth Rate: Fast
Mature Size: 3'x3'

Rosa x 'Noasplash' or spp
Flower carpet rose
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 2'x3'

SHRUB

Dietes iridioides
Fortnight Lily
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 4'x4'

VINE

Tecomaria capensis
Cape honeysuckle
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 8'x8'

825 Parma

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Drawing Title
Proposed Planting Plan

Drawing Scale
N 2 4 8
1/8"=1'-0"

Sheet Title
L-3

12/13/2022

PLANTING NOTES

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES FOR TREES INSTALLED IN GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS ROADWAYS, DRIVES OR WALKWAYS. ADJUST SPACING AS NECESSARY.
2. PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY ON TRIANGULAR OR GRID SPACING AS CALLED FOR ON DETAIL. WHERE GROUND COVER IS SHOWN AS A HATCH, QUANTITIES ARE NOT GIVEN. PROVIDE PLANT MATERIAL TO FILL SPACE SHOWN ON DRAWINGS.
3. EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY STAKES AND SPREAD OUT ONTO WALL PRIOR TO ATTACHING TO SURFACE.
4. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
5. MULCH: MULCH IS TO BE 3" MINI PINE BARK. CONFIRM SELECTION WITH OWNER/PROJECT MANAGER PRIOR TO PLANTING.
6. SOIL AMENDMENT: AMEND SOIL PER SOILS REPORT AND DIRECTION OF OWNER/PROJECT MANAGER. SOIL TEST LOCATION PER L.A.; A MINIMUM OF 2" OF FULLY STABILIZED AND CERTIFIED COMPOST IS TO BE INCORPORATED IN THE TOP 12" OF SOIL.
7. SLOW-RELEASE FERTILIZER TABLET: "AGRIFORM" 7 GRAM TABLETS WITH 20-10-5 (N-P-K) BY SCOTTS (800) 492-8255.
8. LANDSCAPE MAINTENANCE:
   - A. LANDSCAPE MAINTENANCE SHALL BE PROVIDED FOR (90 DAYS) AFTER PRELIMINARY ACCEPTANCE.
   - B. QUALIFICATIONS: LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION.
   - C. MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
   - D. CONTRACTOR TO INSTRUCT MAINTENANCE CONTRACTOR.
   - E. LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.
   - F. AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING /SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
   - G. MATCH ALL MATERIALS WITH SAME MATERIALS USED IN ORIGINAL INSTALLATION.
   - H. STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
17. ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
18. CLOSE OUT AND MAINTENANCE MANUAL: LANDSCAPE CONTRACTOR SHALL SUBMIT A MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD. MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER. SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.

IRRIGATION NOTES

1.ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.

2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.

3. UNSIZED LATER LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE ¾"IN SIZE. (TYPICAL).

4. SIZING OF LATERA; PIPE SHALL BE AS FOLLOWS:
.75" 0-6 GPM
1" 7-12 GPM
1.25" 13-20 GPM

5. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
.75" 0-500 FT
1" 501-1100 FT

6. SIZING OF LATERAL PIPE FOR DRIPLINE (18" O.C GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
.75" 0-1100 FT
1" 1101-2200 FT

7. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.

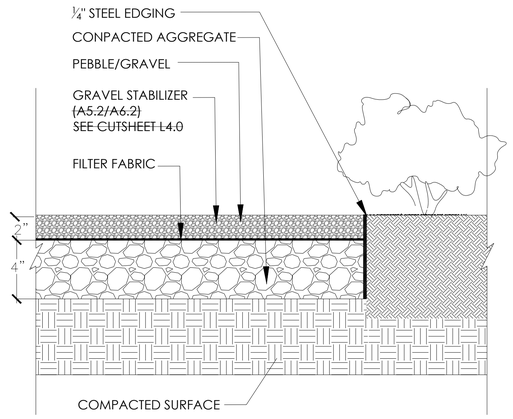
8. IRRIGATION CONTROLLERS SHALL BE A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.

9. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.

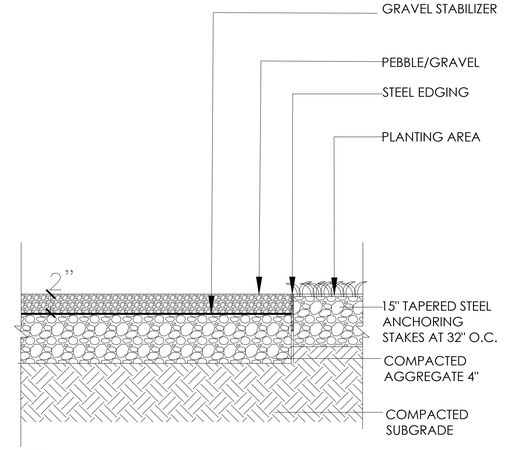
10. MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.

11. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.

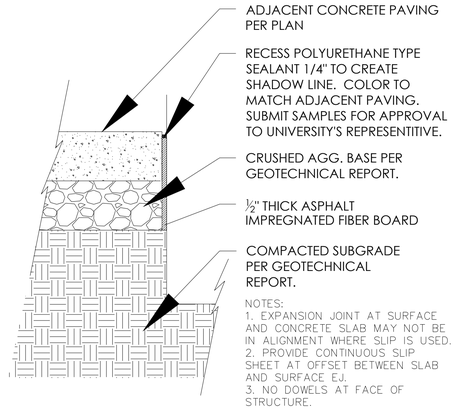
12. DEDICATED IRRIGATION METERS ARE REQUIRED FOR NON-RESIDENTIAL PROJECTS WITH MORE THAN 1,000 SQ. FT. OF LANDSCAPE AREA.



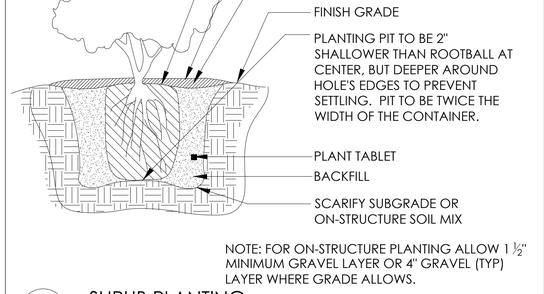
6 PLANTING NEXT TO PEBBLE
N.T.S.



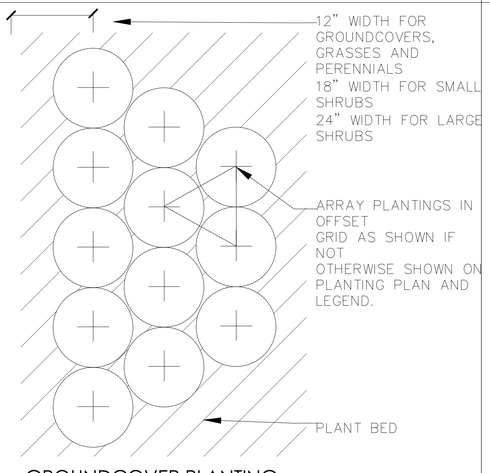
3 PEBBLE WITH STEEL EDGE
N.T.S.



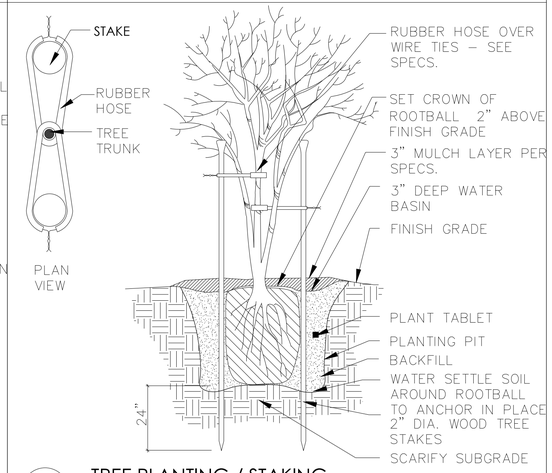
5 EXPANSION JOINT AT VERTICAL SURFACE
N.T.S.



2 SHRUB PLANTING
N.T.S.



4 GROUNDCOVER PLANTING
N.T.S.



1 TREE PLANTING / STAKING
N.T.S.

825 Parma

MUZIK DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

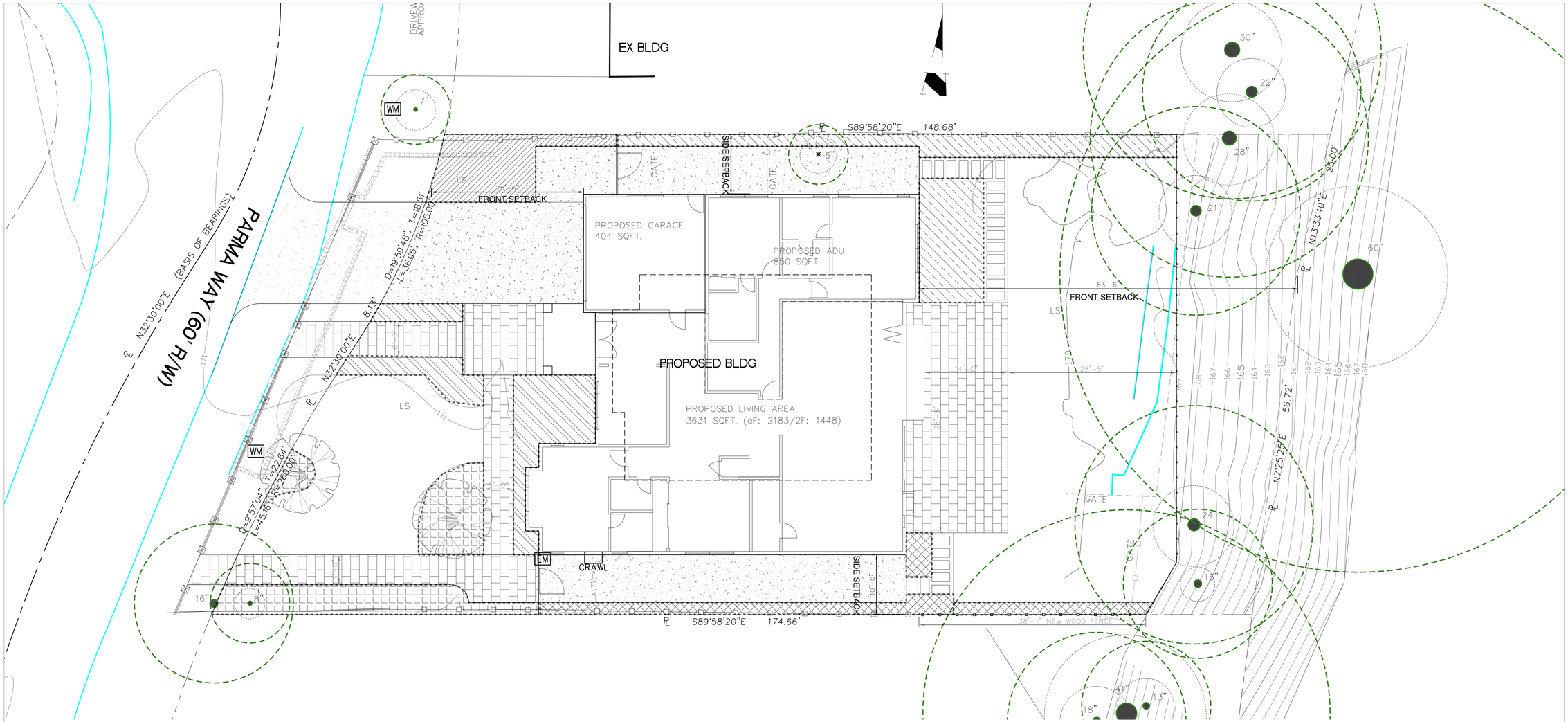
Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title
Landscape Notes

Drawing Scale

Sheet Title
L-4

12/13/2022



LEGENDS OF WATER ZONES

Zone 1
Planting between new driveway and property line

Zone 2
Shrubs at front entryway and building front

Zone 3
Shrubs and trees side pathway and property line

Zone 4
Large shrub and vine by sideyard and backyard planting

Zone 5
Large shrub and vine by sideyard

Reference Evapotranspiration (Eto)	43	Los Altos					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Mathod	Irrigation Efficiency (IE)	ETAF (PF / IE)	Landscaped Area (LA) (sq.ft.)	ETAF x area	Estimate Total Water Use (ETWU)
Regular Landscape Area							
Zone 1 Front -left of driveway	0.2	Drip	0.81	0.247	210	51.85	1382.37
Zone 2 Front entryway	0.2	Drip	0.81	0.247	338	83.46	2224.96
Zone 3 Sidepath	0.2	Drip	0.81	0.247	393	97.04	2587.01
Zone 4 Side yard	0.2	Drip	0.81	0.247	433	106.91	2850.32
Zone 5 Side yard	0.2	Drip	0.81	0.247	596	147.16	3923.30
			Totals		1970	486.42	12967.95
Special Landscape Area (SLA): Recycled Water							
1) Low water use plants				1	0	0	0.00
2) Medium water use plants				1	0	0	0.00
3) Medium water use plants				1	0	0	0.00
				Totals	0	0	0.00
						Estimate Total Water Use (ETWU)	**12967.95**
						Maximum Allowed Water Allowance (MAWA)	**23634.09**

Regular Landscape Areas

Total ETAF x Area	486.42	Average ETAF for regular landscape areas must be 0.55 or below
Total Area	1970.00	for residential areas, and **0.45 or below for non-residential**
Average ETAF	**0.247**	**areas.*** Caltrans projects must be 0.45 or below
	Less than 0.55	

Total Landscape Areas

MAWA Total	23634.09	Gallons /year
ETWU Total	12967.95	Gallons /year
Sitewide ETAF	**45.13**	**Percent reduction of Portable**

825 Parma

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RESIDENTIAL LANDSCAPE PLAN

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Drawing Title
Proposed Irrigation Plan and Hydrozone

Drawing Scale
1/8"=1'-0"

Sheet Title
L-5

12/13/2022

GRADING AND DRAINAGE PLAN
FOR
825 PARMA WAY, LOS ALTOS
CALIFORNIA 94024

GRADING & DRAINAGE IMPROVEMENTS

I. GRADING NOTES

1. ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.

   a. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

   b. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING . UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

2. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.

4. ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTON PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.

5. EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.

6. DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5% FOR UNPAVERSURFACE AND 2% FOR PAVER SURFACE.

7. THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS– OF–WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

8. THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.

9. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.

10. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.

12. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.

13. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.

14. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.

15. ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265–2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.

16. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.

17. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.

18. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

19. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.

20. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

21. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE,

    CALL: UNDERGROUND SERVICE ALERT (USA) 800–642–2444

23. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

24. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%.

25. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE. COMPLIANCE WITH THE LOCAL NON–POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

26. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2013 CALIFORNIA BUILDING CODE.

27. ABS AND PVC EXTENDABLE BACKWATER VALVE MAY BE ORDERED FROM CLEAN CHECK, INC AT 1 (866) 288–2583 OR P.O. BOX 2437, HAYDEN, ID 83835–2437.

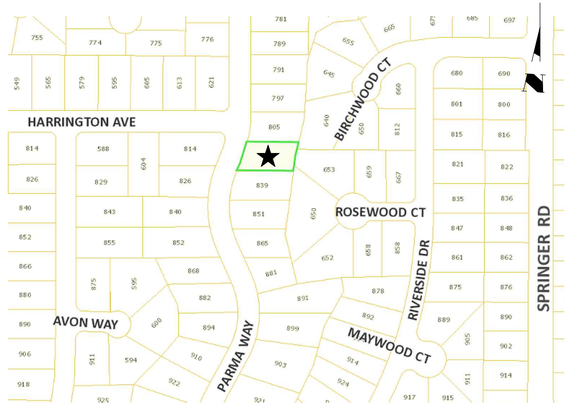
II. DUST CONTROL

1. ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.

2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST–PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.

3. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST–PRODUCING MATERIALS SHALL BE WATERED OR COVERED.

4. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.



LOCATION MAP
NTS

PROJECT NOTES

1. ASSESSORS PARCEL NO: 184–42–038
2. SITE ADDRESS: 825 PARMA WAY, LOS ALTOS, CA 95024
3. OWNER: JAY & NIYATI YANIK
   3368 MILTON COURT, MOUNTAIN VIEW
   (650) 450–3729
4. ARCHITECT: SILICON VALLEY CUSTOM HOMES, LLC
   682 VILLA STREET, SUITE C1
   MOUNTAIN VIEW, CA 94041
   (408) 204–0345
5. SOIL ENGINEER: WAYNE TING ASSOCIATES INC
   42329 OSGOOD RD # A, FREMONT, CA 94539
   (510) 623–7768
6. SURVEYOR/CIVIL ENGINEER: LC ENGINEERING/ NINH LE
   598 E SANTA CLARA STREET #270
   SAN JOSE, CA 95112
   (408)806–7187
   NLE@LCENGINEERING.NET

SCOPE OF WORK

1. GRADE HOUSE, HOUSE SITE
2. PAVE DRIVEWAY & WALKWAY

EARTHWORK QUANTITY

CUT = 18 CY ; MAXIMUM CUT DEPTH = 0.5'±
FILL = 6 CY ; MAXIMUM FILL DEPTH = 0.5'±
IMPORT 0 CY
EXPORT 12 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

SHEET INDEX

SHEET 1: TITLE SHEET
SHEET 2: DEMOLITION PLAN
SHEET 3: OVERALL SITE PLAN
SHEET 4: GRADING & DRAINAGE PLAN
SHEET 5: BUILDING CROSS SECTIONS
SHEET 6: EROSION CONTROL PLAN
SHEET 7: EROSION CONTROL DETAILS

LEGEND & ABBREVIATIONS

	AREA DRAIN	AB	AGGREGATE BASE
	BACKWATER VALVE	AC	ASPHALT CONCRETE
	BENCHMARK	AD	AREA DRAIN
	BOUNDARY	AE	ANCHOR EASEMENT
CB	CATCH BASIN	BB	BUBBLER BOX
	CENTER LINE	BLDG	BUILDING
	CHRISTY V12 DRAIN BOX UNLESS OTHERWISE NOTED	BSL	BUILDING SETBACK LINE
		BW	BOTTOM OF WALL
			/BACK OF WALK
		CG	CURB & GUTTER
	COBBLE ROCK ENERGY DISSIPATOR	℄	CENTERLINE
	CONCRETE	CLF	CHAIN LINK FENCE
550	CONTOUR: EXISTING	CO	SANITARY SEWER CLEANOUT
550	CONTOUR: PROPOSED OR NEW	COP	CURB OPENING
100.46	DESIGN GRADE	CONC	CONCRETE
	DOWNSPOUT WITH SPLASHBLOCK	CSD	CITY STANDARD DETAIL
DI	DRAINAGE EMITTER	DE	DRAINAGE EASEMENT
DV	DIVERSION VALVE	DI	DRAINAGE INLET
DRY	DRAINAGE SWALE	DS	DOWNSPOUT
	EASEMENT LINE	DWY	DRIVEWAY
+101.70 OR (101.70)	EXISTING ELEVATION	EA	EASEMENT
	EXISTING FENCE	ELEV	ELEVATION
	EXISTING TREE TO BE REMOVED	EGR	EGRESS
	EXISTING TREE TO REMAIN	EM	ELECTRIC METER
	IRON PIPE AT PROPERTY CORNER	E(OH)	ELECTRIC OVERHEAD
	FIBER ROLLS	E(UG)	ELECTRIC UNDERGROUND
EM	ELECTRIC METER	EP	EDGE OF PAVEMENT
GM	GAS METER	EX	EXISTING
	GAS VALVE	FC	FACE OF CURB
	GRADE TO DRAIN	FD	FOUND
	GUY POLE	FF	FINISH ELEVATION OF SUBFLOOR
	GUY WIRE ANCHOR	FG	GROUND FINISH GRADE
	HIGH POINT	FH	FIRE HYDRANT
	HYDRANT: EXISTING	FL	FLOW LINE
	HYDRANT: PROPOSED OR NEW	G	GARAGE SLAB ELEVATION
	JOINT POLE		/GAS LINE
	LIGHTING	GPE	GENERAL PUBLIC EASEMENT
	LIGHTING POLE	GSB	GRADING SETBACK
	LOW POINT	GM	GAS METER
	OVERLAND FLOW DIRECTION	HP	HI POINT
PGE	PGE BOX	IEE	INGRESS EGRESS EASEMENT
BMP	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE	INV	INVERT
	PROJECT SITE	LAT	LATERAL
	RETAINING WALL	LIP	LIP OF GUTTER
	RIGHT OF WAY/ LOT LINE	LS	LANDSCAPED AREA
MH	MANHOLE	MAX	MAXIMUM
CO	SANITARY SEWER CLEAN OUT	M	MAP
SS	MANHOLE SANITARY SEWER MANHOLE	MH	MANHOLE
SD	STORM DRAIN MANHOLE	MIN	MINIMUM
	SUMP PUMP	N&S	NAIL AND SILVER
TEL	TELEPHONE BOX	NTS	NOT TO SCALE
TV	TELEVISION BOX	OH	OVERHEAD
TP	TEST PIT	OG	ORIGINAL GROUND
	TOP OF FILL	OR	OFFICIAL RECORD
	TOE OF FILL	P	PAVEMENT FINISH GRADE
	TOP OF CUT	PAD	PAD ELEVATION
	TOE OF CUT	℄	PROPERTY LINE
1	TREE NUMBER	PEE	PEDESTRIAN EQUESTRIAN EASEMENT
T	T–VAULT	PERF	PERFORATED PIPE
W	UTILITY: EXISTING	PP	POWER POLE
W	UTILITY: PROPOSED OR NEW	PROP	PROPOSED
WM	WATER METER	PSDE	PRIVATE STORM DRAINAGE EASEMENT
WV	WATER VALVE	PSE	PUBLIC SERVICE EASEMENT
W	WELL	PUE	PUBLIC UTILITY EASEMENT
A 1	SECTION NUMBER / SHEET NUMBER	PVMT	PAVEMENT
		PVC	POLYVINYL CHLORIDE
		R	RADIUS
		R&R	REMOVE & RECONSTRUCT
		RW	RETAINING WALL
		REM	REMOVE
		R/W	RIGHT OF WAY
		SD	STORM DRAIN
		SDE	STORM DRAIN EASEMENT
		SE	SLOPE EASEMENT
		SEP	SLOPE EASEMENT PRIVATE
		SS	SANITARY SEWER/LATERAL
		SSE	SANITARY SEWER EASEMENT
		STA	STATION
		STD	STANDARD CITY DETAIL
		SW	SIDEWALK
		TB	TOP OF BANK
		TC	TOP OF CURB
		TEMP	TEMPORARY
		TOC	TOP OF COVER
		TOE	TOE OF BANK
		TG	TOP OF GRATE
		TPF	TREE PROTECTION FENCE
		TV/T	TELEVISION & PHONE LINE
		TW	TOP OF WALL
		TYP	TYPICAL
		VG	VALLEY GUTTER
		W	WATER
		WCE	WIRE CLEARANCE EASEMENT
		WLK	WALKWAY
		WM	WATER METER
		WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE

REVISIONS | BY | DATE

REGISTERED PROFESSIONAL ENGINEER — NINH M. LE — No. 47518 — CIVIL — STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

TITLE SHEET
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
1
OF 7 SHEETS

PW PROJECT #
.....

PRE - DEVELOPMENT

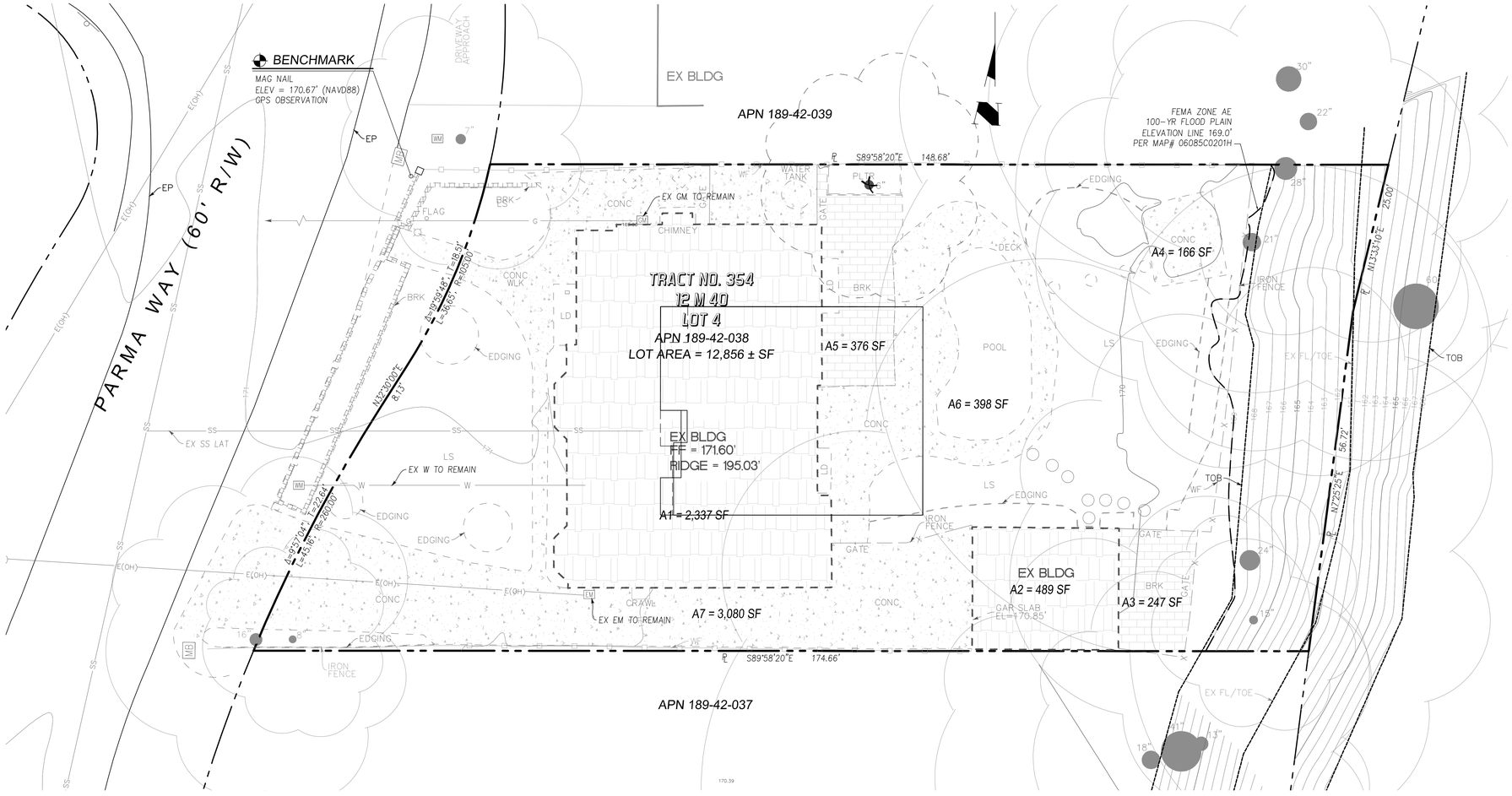
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	EX BLDG	REMOVE	2,337 SF	
A2	EX BLDG	REMOVE	489 SF	
A3	CONC BRICK	REMOVE	247 SF	
A4	CONC WLK	REMOVE	166 SF	
A5	CONC BRICK	REMOVE	376 SF	
A6	POOL	REMOVE	398 SF	
A7	CONC WLK	REMOVE	3,080 SF	
	LANDSCAPING			5,763 SF
	TOTAL		7,093 SF	5,763 SF

LEGEND:

- ITEM OR AREA TO BE REMOVED
- EX BLDG TO BE REMOVED
- EX BRICK TO BE REMOVED
- EX CONC TO BE REMOVED
- TREE TO REMAIN
- TREE TO BE REMOVED
- EX FENCE TO BE REMOVED

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.



GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

NO.	BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT, MOUNTAIN VIEW, CA 94040
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LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

DEMOLITION PLAN
825 PARMA WAY
APN 184-42-038
LOS ALTOS, CALIFORNIA

Project No.:
Designed: PT
Checked: NL
Date: 10/25/22

SHEET
2
OF 7 SHEETS

PW PROJECT #
.....

POST - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
B1	BLDG	NEW	3,436 SF	
B2	PORCH	NEW	102 SF	
B3	LANDING	NEW	48 SF	
B4	STEPS	NEW	12 SF	
B5	DWY	NEW	510 SF	
	LANDSCAPING	NEW		8,748 SF
	TOTAL		**4,108 SF**	**8,748 SF**

SUMMARY

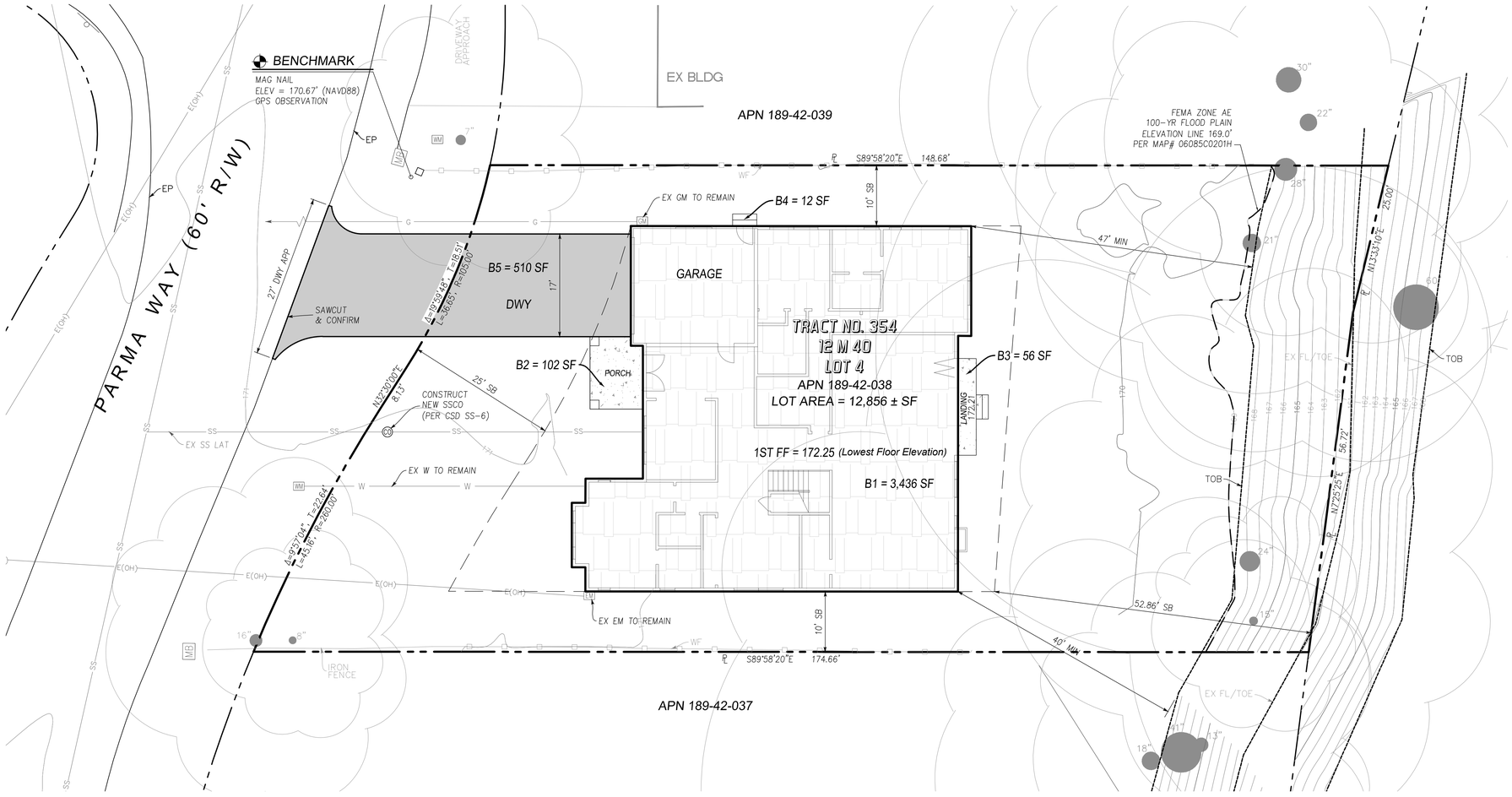
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	7,093 SF	5,763 SF
POST-DEVELOPMENT	4,108 SF	8,748 SF
DIFFERENCE	-2,985 SF	2,985 SF

LEGEND:

- PROPOSED BLDG
- PROPOSED CONCRETE
- PROPOSED ASPHALT CONCRETE

NOTES:

1. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES, STORM DRAIN, SANITARY SEWER BEFORE BEGIN WORK. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND IN FIELD.
2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

REVISIONS	DATE	BY

REGISTERED PROFESSIONAL ENGINEER
M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

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506 E Santa Clara St. #270
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OVERALL SITE PLAN
825 PARMA WAY
APN 184-42-038

LOS ALTOS | CALIFORNIA
Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
3
OF 7 SHEETS

PW PROJECT #
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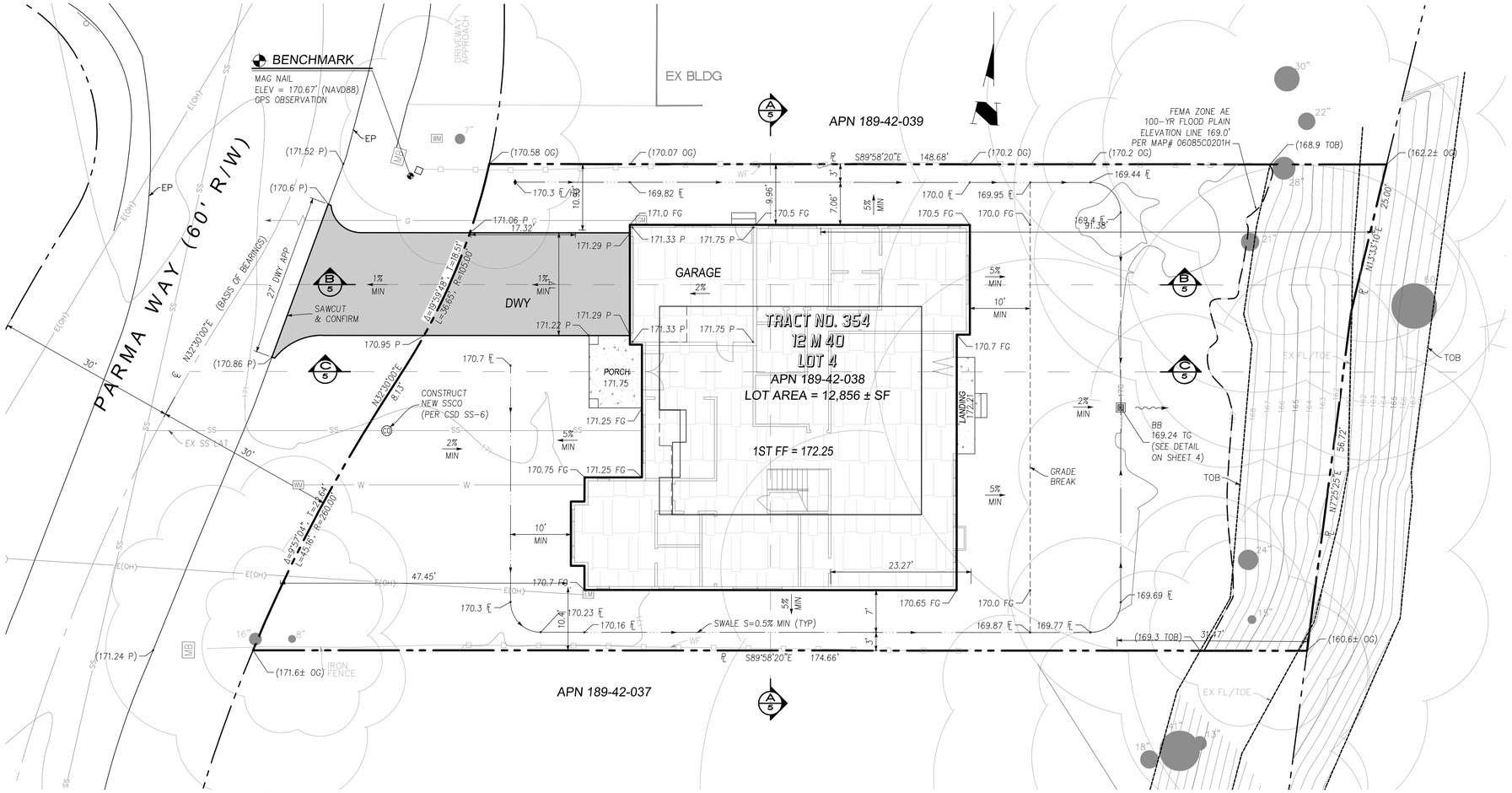
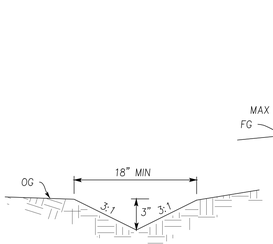
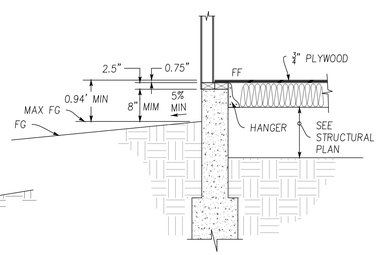
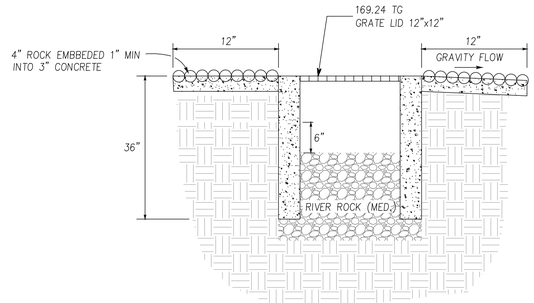




SWALE TYPICAL SECTION
NTS



FINISH GRADE DETAIL
AT BUILDING FOUNDATION
NTS



BUBBLER BOX
NTS

NOTES:

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.

FEMA:

ZONES: X AND AE 100-YEAR BASE FLOOD ELEVATION: 169'
COMMUNITY: SANTA CLARA COUNTY
CITY OF LOS ALTOS,
MAP NUMBER: 06085C0201H
EFFECTIVE DATE: MAY 18, 2009

FEMA INFORMATION SHOWN ON SURVEY WERE INTERPOLATED USING FEMA FIRM AND GIS MAPS FROM FEMA FLOOD MAP SERVICE WEBSITE:
HTTPS://MSC.FEMA.GOV

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft.

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

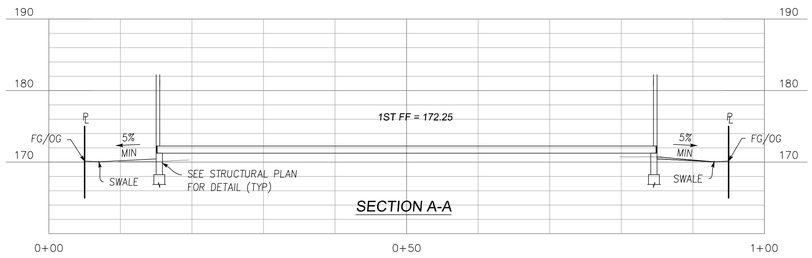
LE ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone (408) 806-7787
Fax: (408) 583-4006

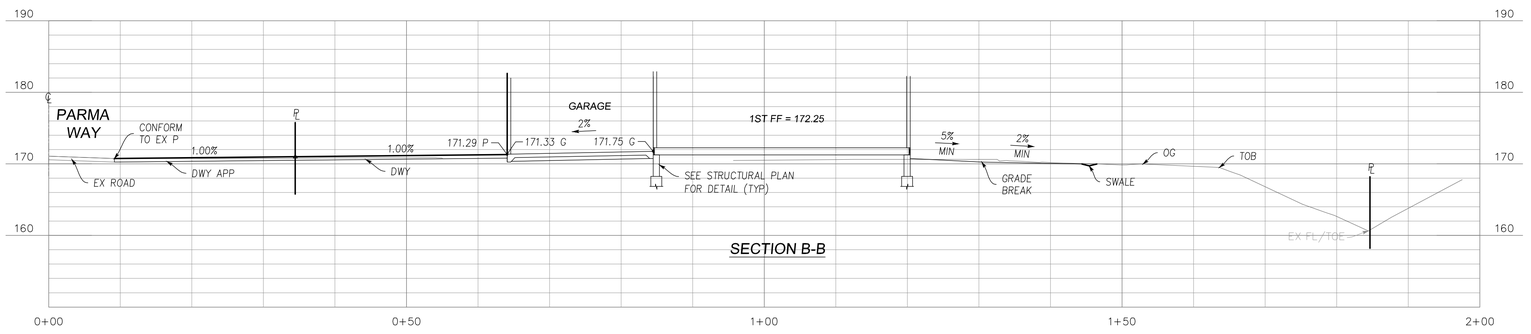
GRADING & DRAINAGE PLAN
825 PARMA WAY
APN 184-42-038

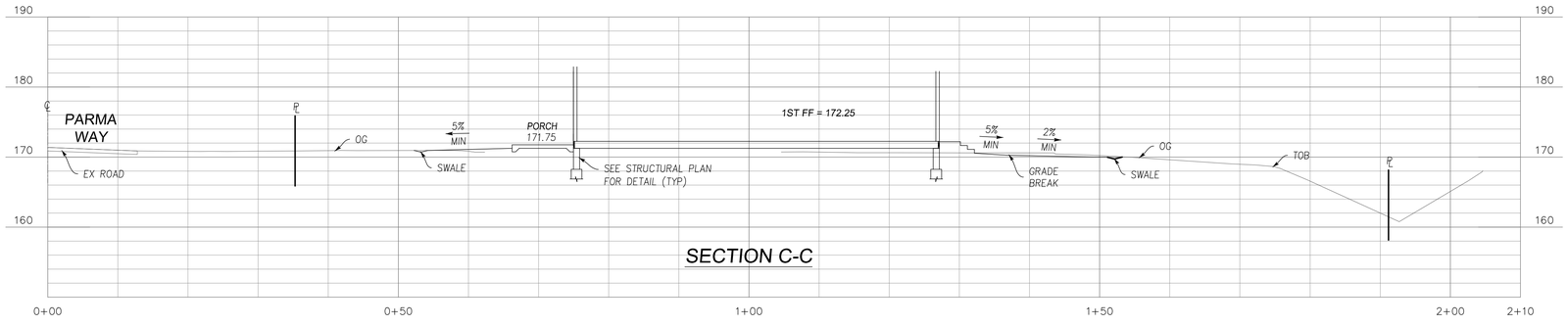
LOS ALTOS | CALIFORNIA | Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET 4 OF 7 SHEETS

PW PROJECT # .....







GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

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Phone: (408) 806-7187
Fax: (408) 583-4006

BUILDING CROSS SECTIONS
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
5
OF 7 SHEETS

PW PROJECT #
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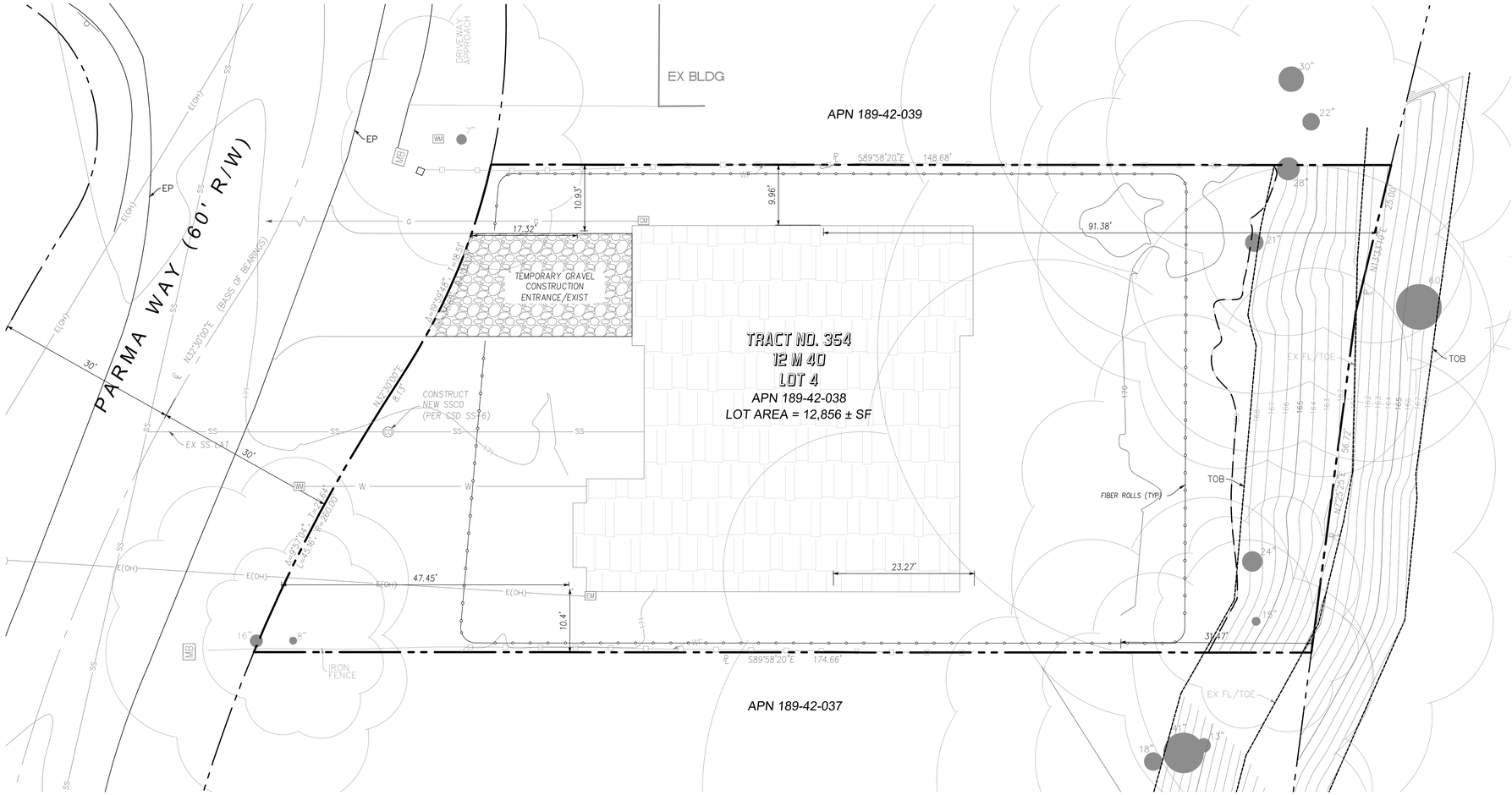
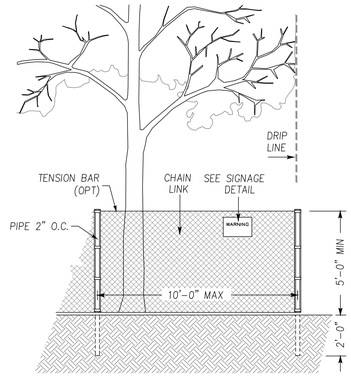




EXISTING TREE PROTECTION DETAIL

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY LOS ALTOS PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

LEGEND

- FIBER ROLLS
- TREE PROTECTION FENCE
- TEMPORARY DRAINAGE INLET PROTECTION
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST

GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

NOTES:

1. EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANACT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
M. L.
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

EROSION CONTROL PLAN
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

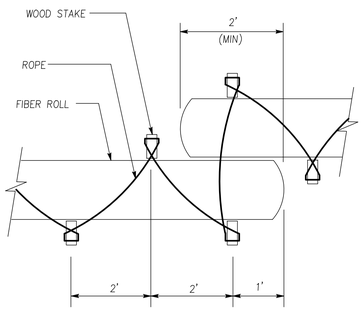
Project No.:
Designed: PT
Checked: NL
Date: 10/25/22

SHEET
6
OF 7 SHEETS

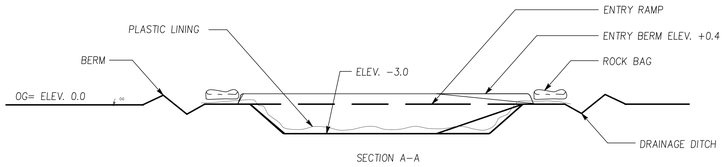
PW PROJECT #
.....

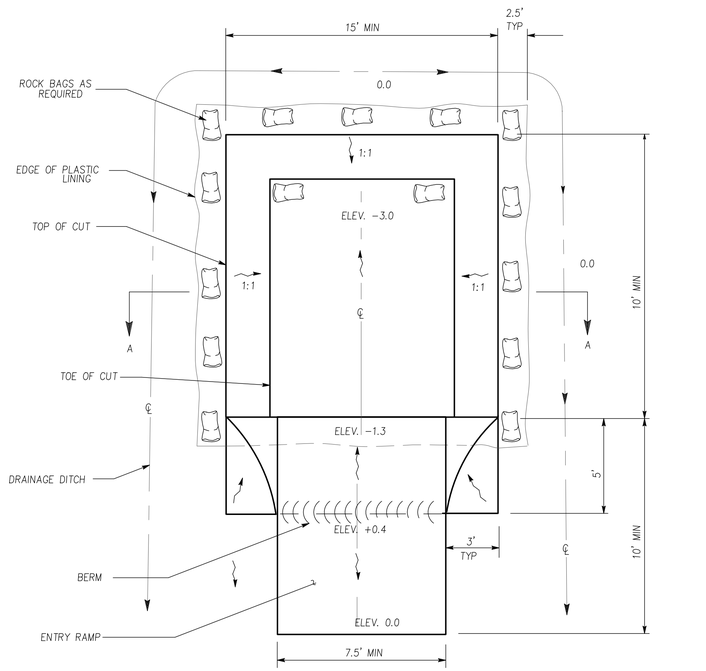
EROSION CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THE PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO
7. CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
8. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS. 8. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

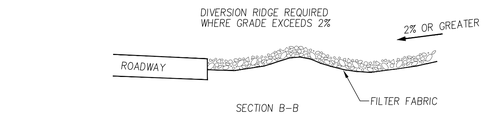


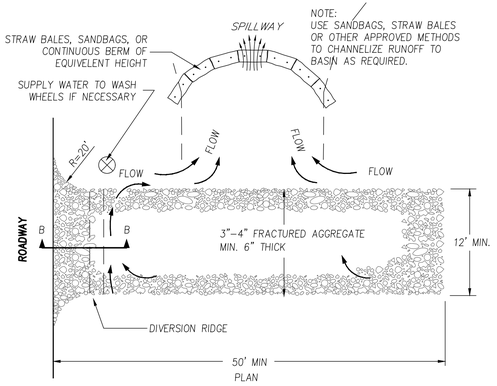
FIBER ROLLS ROPE RESTRAINT METHOD





TEMPORARY EQUIPMENT WASHING FACILITY
(BELOW GRADE)

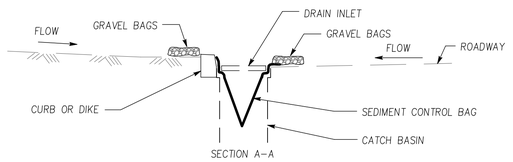


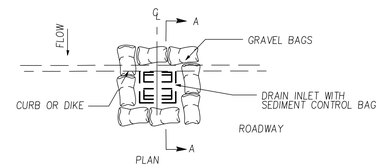


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

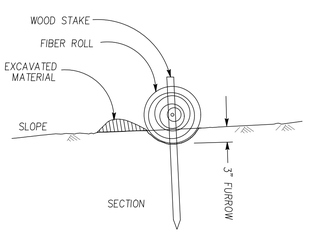
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABLIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

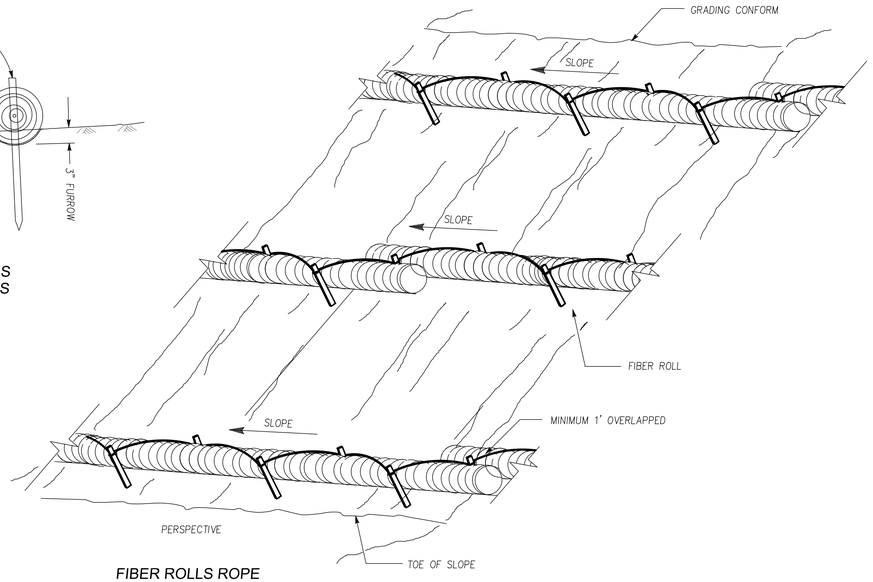




TEMPORARY DRAINAGE INLET PROTECTION
FOR PAVED AREAS EXPOSED TO TRAFFIC



FIBER ROLLS IN FURROWS



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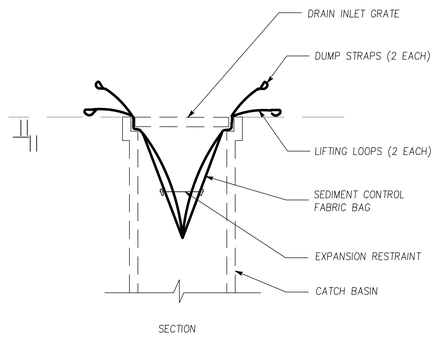
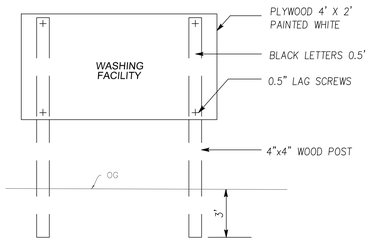


SEDIMENT CONTROL BAG

NOTE:
THE TEMPORARY EQUIPMENT WASHING FACILITY SIGN SHALL BE INSTALLED WITHIN 20 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



SIGN ELEVATION

REVISIONS | BY | DATE

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT, MOUNTAIN VIEW, CA 94040
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LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

EROSION CONTROL DETAILS
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
7
OF 7 SHEETS

PW PROJECT #
.....

Sean Gallegos

From: Sofia Canova <sofia.canova@gmail.com>
Sent: Wednesday, February 1, 2023 4:57 PM
To: Sean Gallegos
Cc: Public Comment - DRC
Subject: In Reference to SC22-0035 – 825 Parma Way

To Whom It May Concern,

We are the neighbors at 805 Parma, the immediate neighbors of the subject property. We have reviewed the design request and have the following comments for your consideration. We of course wish to be accommodating and welcoming to our new neighbors but wanted to share our concerns that we believe can be easily remedied.

1. We are concerned with the screening of the property between the subject property and ours. In the landscaping plan, they specify planting 3 (POD) and 3 (TEC). This area is where our master bedroom sits and we don't find those to be appropriate screening hedges. We request that they instead plant a minimum of 6 (15 gallon) Prunus carolina trees that would be maintained as hedges extending above the fence line to screen their building view from our side yard. Prunus Carolina trees are a screening solution often advocated by the City and are acceptable to us both in appearance and function.

2. The plans indicate that there are two existing trees in the front yard that will remain, a birch tree and a purple-leaf cherry tree. These trees have already been removed from the property. We ask that the two trees be replaced with mature trees to reduce the appearance of bulk of the property from the street and be in keeping with the character of the neighborhood. Examples of appropriate trees may be Ginkgo, Chinese Pistache, Magnolia or Maple.

Sincerely,

Sofia and Adam Budelli

DESIGN REVIEW COMMISSION MEETING MINUTES

7:00 PM - Wednesday, February 01, 2023

Telephone/Video Conference Only

CALL MEETING TO ORDER

At 7:00 p.m. Chair Harding called the meeting to order.

ESTABLISH QUORUM

PRESENT:	Chair Harding, Vice-Chair Ma, Commissioners Blockhus and Klein
ABSENT:	Commissioner Mantica
STAFF:	Senior Planner Gallegos and Associate Planner Jia Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
   Approve minutes of the regular meeting of November 2, 2022.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission approved the minutes of the regular meeting of November 2, 2022 with revisions for item 3, that the second to the motion was by Commissioner Mantica.
The motion was approved (4-0) by the following vote:
AYES: Harding, Ma, Blockhus, and Klein
NOES: None

2. **Design Review Commission Minutes**
   Approve the minutes of the regular meeting of January 4, 2023.

Action: Upon a motion by Commissioner Klein, seconded by Chair Harding, the Commission voted to approve the minutes of the regular meeting of January 4, 2023.
The motion was failed (2-0-2) by the following vote:
AYES: Harding and Klein
NOES: None
ABSTAIN: Ma and Blockhus

Action: Upon a motion by Chair Harding, seconded by Commissioner Blockhus, the Commission continued the minutes of the regular meeting of January 4, 2023.
The motion was approved (4-0) by the following vote:

AYES: Harding, Ma, Blockhus, and Klein
NOES: None
ABSENT: Mantica

DISCUSSION

3. **SC22-0025 – Aaron Hollister – 311 Hawthorne Avenue**
   Design Review for a new two-story house. The project includes 2,090 square feet at the first story and 1,760 square feet at the second story. A 577 square-foot attached accessory dwelling unit (ADU) is also proposed, but not subject to design review. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Liu*

STAFF PRESENTATION
Associate Planner Liu presented the staff report recommending approval of design review application SC22-0025 subject to the listed findings and conditions.

Commissioner Blockhus stated he had an ex parte communication with the owner to the right at 319 Hawthorne Avenue to scale their fence to gain access to the subject property.

APPLICANT PRESENTATION
Applicant Aaron Hollister of Thomas James Homes along with David Pocket, project architect, provided a project presentation.

PUBLIC COMMENT
None.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission approved design review application SC22-0025 subject to the listed findings and conditions.
The motion was approved (4-0) by the following vote:
AYES: Harding, Ma, Blockhus, and Klein
NOES: None
ABSENT: Mantica

4. **SC22-0035 – Jenny Kang – 825 Parma Way**
   Design review application for a new two-story house. The project includes 2,587 square feet at the first story and 1,448 square feet addition at the second story. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos*

STAFF PRESENTATION
Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0035 subject to the listed findings and conditions and answered questions from Commissioner Blockhus.

APPLICANT PRESENTATION
Applicant Jenny Kang provided a project presentation and answered questions from Commissioner Blockhus, Vice-Chair Ma, and Commissioner Klein.

PUBLIC COMMENT
None.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission continued design review application SC22-0035 with the following direction:

1. The second-floor master bedroom along the front elevation shall be revised to have a maximum plate height of nine feet, six inches;
2. Make the centered gable of the porch more balanced (symmetrical) with the house;
3. The window trim along the front elevation shall be added to the windows along the side and rear elevations to make the windowsmore consistent;
4. Provide architectural details of the window;
5. Add evergreen screening on left (north) side of the property; and
6. Add a City Street tree along the front yard to reduce the appearance of mass and bulk.

The motion was approved (4-0) by the following vote:
AYES: Harding, Ma, Blockhus, and Klein
NOES: None

COMMISSIONERS' REPORTS AND COMMENTS
None.

POTENTIAL FUTURE AGENDA ITEMS
Senior Planner Gallegos advised the Commission, there will be a full agenda with four items scheduled for the February 15, 2023 meeting.

ADJOURNMENT

Chair Harding adjourned the meeting at 8:22 PM.

_____
Sean Gallegos
Senior Planner

SILICON VALLEY CUSTOM HOMES

682 Villa St.
Mountain View, CA 94041
www.svcustomhomes.com
info@svcustomhomes.com
(408) 204-0345

February 22nd, 2023

Dear Commissioners,

I would like to share the summary of the comments from the Feb 1st DRC meeting for the project #SC22-0035 at 825 Parma Way, and how we plan to address or mitigate them.

1. Plate Height of the 2nd Floor Primary Bedroom shall be reduced by 1' to 9' 6" - **RESOLVED**
   - The plate height has been reduced as recommended. The window is also reduced accordingly. The overall plate height of the 2nd floor remains as 8' 6".
2. Window Trims shall be added to all sides for consistency - **RESOLVED**
   - Window trims are added to all four sides as recommended.
3. Asymmetry of the porch placement – **MITIGATION PROPOSED**
   - The proposed mitigation is to place the new front yard tree in front of the porch to potentially block or diminish the concern regarding the asymmetry of the porch.
   - We had worked with the homeowner to make several attempts to relocate the porch but it has resulted in other problems:
     - Enlarging the porch to center it prohibits to meet the required sill height of the egress window in the primary bedroom.
     - The structural requirement is to align the garage wall with the upstairs bedroom wall, so we are left with little flexibility in adjusting the floor plan to relocate the porch.
     - The current floor plan meets all of the homeowner's preferences and requirements for a new home that the family wishes to live in for decades to come. Relocating the porch will result in redesigning the entire floor plan.
4. A front Yard Tree shall be added (neighbor feedback) - **RESOLVED**
   - A 15-gallon tree from the City's Street Tree list to be planted in the front yard, as recommended.
5. Privacy Screening trees shall be added to the north side (neighbor feedback) - **MITIGATION PROPOSED**
   - The 805 Parma neighbor had initially agreed and signed the outreach consent letter. Later, they proposed to plant six 15-gal tall trees as privacy screening.
   - There are many heritage trees in the rear yard and the new front yard tree is proposed. The homeowner hopes for low profile & maintenance side yard while ensuring no privacy issues for the neighbor by making the following changes:
     - The window in upstairs bedroom #2 facing north has been deleted.
     - The window in upstairs bathroom facing north already has 5' sill height. Additionally, we are proposing it to be obscured casement window that opens towards front which will have no view of the neighbor's bedroom.
     - Install a new (up to) 8' fence w/ lattice.

We will present more details during the DRC meeting on March 1st. We look forward to the approval of the project, and thank you for taking your time to review and consider the proposed plan.

Best Regards,

Jenny Kang & Hau-Ching Liao
Designer & Architect

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

YAGNIK RESIDENCE
2 STORY SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CA 94024

SCOPE OF WORK

1. Demolish the existing main dwelling
2. Build a new 2-story residence with an attached ADU

DRAWING INDEX

ARCHITECTURE PLAN

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A-2	NEIGHBORHOOD CONTEXT MAP
A-3	VISUAL REPRESENTATION OF THE NEIGHBORHOOD STREETSCAPE
A-4	MATERIALS BOARD
A-5.1	EXISTING SITE PLAN
A-5.2	PROPOSED SITE PLAN
A-6	FLOOR PLAN
A-7	ROOF PLAN
A-8.1	BUILDING ELEVATIONS - FRONT, REAR
A-8.2	BUILDING ELEVATIONS - SIDE
A-9.1	BUILDING CROSS SECTIONS - MAIN
A-9.2	BUILDING CROSS SECTIONS - ADU
A-10	TOPOGRAPHIC SURVEY

LANDSCAPE PLAN

L-1	EXISTING TREE PLAN & TREE PROTECTION
L-2	PROPOSED LANDSCAPE LAYOUT
L-3	PROPOSED PLANTING PLAN
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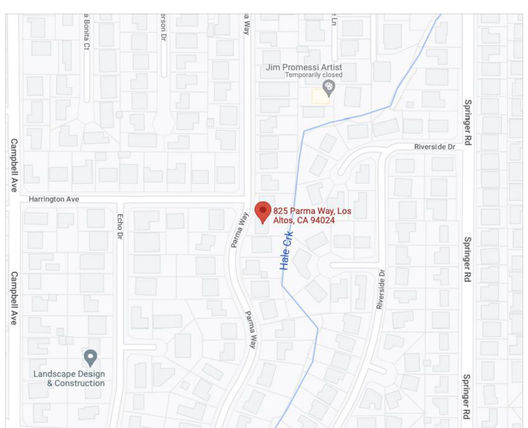
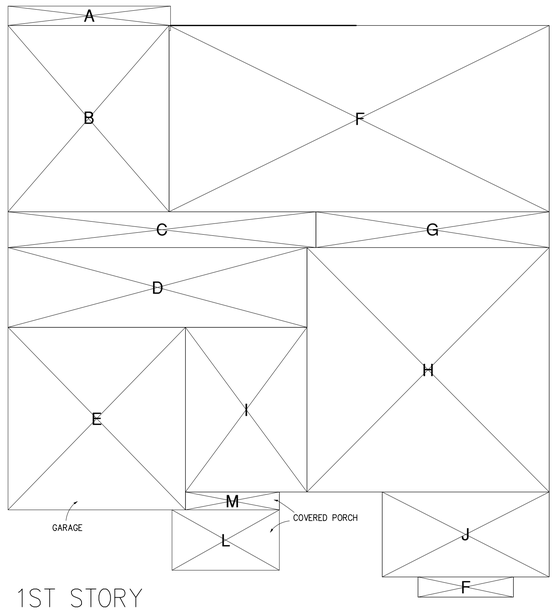
GRADING & DRAINAGE PLAN

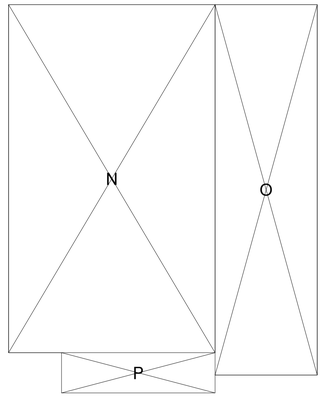
G-1	TITLE SHEET
G-2	DEMOLITION PLAN
G-3	OVERALL SITE PLAN
G-4	GRADING & DRAINAGE PLAN
G-5	BUILDING CROSS SECTION
G-6	EROSION CONTROL PLAN
G-7	EROSION CONTROL DETAILS

VICINITY MAP





1ST STORY



2ND STORY

FLOOR AREA CALCULATION
(1ST STORY + 2ND STORY)

E =	19'10"X20'5"= 405 SF		
F =	42'6"X20'10"= 886 SF		
G =	26'1"X4'0"= 105 SF		
H =	27'1"X27'4"= 740 SF		
I =	13'7"X18'5"= 250 SF	N =	23'1"X38'11"= 898 SF
J =	18'8"X9'6"= 177 SF	O =	11'5"X41'5"= 473 SF
K =	10'8"X2'3"= 24 SF	P =	17'2"X4'6"= 77 SF
FIRST STORY SUBTOTAL	2587SF	SECOND STORY SUBTOTAL	1448 SF
FLOOR AREA TOTAL	4035 SF		

LOT COVERAGE CALCULATION
(1ST STORY + ADU + COVERED PORCH)

A =	18'2"X2'2"= 39 SF		
B =	18'0"X20'10"= 375 SF		
C =	34'5"X4'0"= 138 SF		
D =	33'5"X8'11"= 278 SF		
ADU SUBTOTAL	850 SF		
E =	19'10"X20'5"= 405 SF		
F =	42'6"X20'10"= 886 SF		
G =	26'1"X4'0"= 105 SF		
H =	27'1"X27'4"= 740 SF		
I =	13'7"X18'5"= 250 SF		
J =	18'8"X9'6"= 177 SF		
K =	10'8"X2'3"= 24 SF		
FIRST STORY SUBTOTAL	2587 SF		
L =	12'0"X6'11"= 82 SF		
M =	10'6"X1'10"= 21 SF		
COVERED PORCH SUBTOTAL	103 SF		
LOT COVERAGE TOTAL	3540 SF		

FLOOR AREA & COVERAGE CALCULATION DIAGRAM | 1/8" | 1

PROJECT DATA

PROPERTY ADDRESS:	825 PARMA WAY , LOS ALTOS, CA 94024
ZONING DESIGNATION:	R1-10
TYPE OF CONSTRUCTION:	V-B
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
APN:	189-42-038
EXISTING BUILDING:	4 BEDROOMS & 3 BATHS
PROPOSED BUILDING:	4 BEDROOMS & 4.5 BATHS, ADU (2 BEDROOMS, 2 BATHS)
FIRE SPRINKLER SYSTEM:	YES
SITE AREA:	12,856 S.F. (0.27 ACRES)

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	3045 SQFT	3540 SQFT	3857 SQFT
	(23.69%)	(27.54%)	(30 %)
FLOOR AREA	1st FLOOR: 2556 SQFT.	1st FLOOR: 2182 SQFT.	
	2nd FLOOR: 650 SQFT.	2nd FLOOR: 1448 SQFT.	
	GARAGE: 489 SQFT.	GARAGE: 405 SQFT.	
	TOTAL: 3695 SQFT.	TOTAL: 4035 SQFT.	TOTAL: 4036 SQFT.
		ADU: 850 SQFT.	
SETBACKS			
FRONT	16 FT 6 IN	25 FT	25 FT
REAR	91 FT 4 IN	63 FT 6 IN	25 FT
RIGHT SIDE (1st / 2nd)	10 FT / NA	10 FT / 22 FT 6 IN	10 FT / 17 FT 6 IN
LEFT SIDE (1st / 2nd)	10 FT 4 IN / NA	10 FT / 23 FT 6 IN	10 FT / 17 FT 6 IN
HEIGHT	24 FT	26 FT 10 IN	27 FT

ADU ZONING COMPLIANCE

	PROPOSED ADU	ALLOWED/REQUIRED
FLOOR AREA	850 SQFT	850 SQFT
SETBACKS		
FRONT	25 FT	25 FT
REAR	63 FT 6 IN	4 Ft
RIGHT SIDE	10 FT	4 FT
LEFT SIDE	10 FT	4 FT
To the primary dwelling	0 FT	
ROOF OVERHANG AREA	N/A	
SIZE		
Lot Coverage		
HEIGHT	26 FT 10 IN	27 FT

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	3206 SQFT	424 SQFT	3630 SQFT
NON-HABITABLE AREA	489 SQFT	-84 SQFT	405 SQFT

LOT CALCULATION

NET LOT AREA:	12,856 SQFT
FRONT_YARD HARDSCAPE AREA:	1342 SQFT (43%)
LANDSCAPING BREAKDOWN:	TOTAL HARDSCAPE AREA (EXISTING & PROPOSED): 6525 SQFT.
	EXISTING SOFTSCAPE (UNDISTRUBED) AREA: 1500 SQFT.
	NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA: 5032 SQFT.

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682 Villa Street, Suite C1
Mountain View, CA 94041
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(408) 204-0345

LICENSED ARCHITECT HAU-CHING LHC C-28947 RENEWAL: 10-31-2023 STATE OF CALIFORNIA

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
(650) 450-3729

YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:
COVER SHEET

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-1
OF SHEETS

797 PARMA WAY

805 PARMA WAY

621 HARRINGTON AVE

814 PARMA WAY

826 PARMA WAY

840 PARMA WAY

640 BIRCHWOOD COURT

653 ROSEWOOD COURT

650 ROSEWOOD COURT

852 PARMA WAY

839 PARMA WAY

851 PARMA WAY

NEIGHBORHOOD CONTEXT MAP 1/40" 1

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REVISIONS:

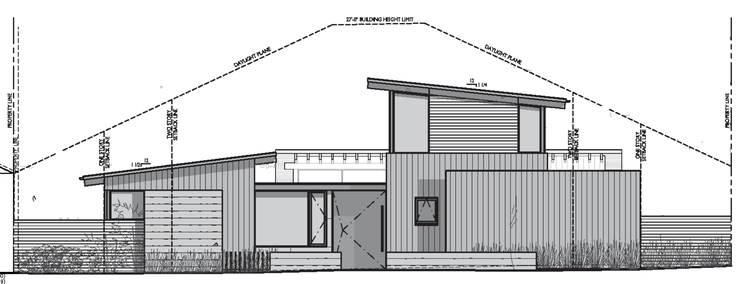
SHEET TITLE:
NEIGHBORHOOD CONTEXT MAP

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-2
OF SHEETS

825 PARMA WAY PROPOSED 3D RENDERING | 1

805 PARMA WAY

825 PARMA WAY



839 PARMA WAY

NEIGHBORHOOD CONTEXT MAP | 1/8 " | 2

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LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:
NEIGHBORHOOD STREETSCAPE

DATE	PROJECT NO.
Sep, 2022	22-
SCALE	DRAWN
AS SHOWN	HC

SHEET
A-3
OF SHEETS

MATERIAL BOARD

STUCCO _ STUCCO SUPPLY

GRAY BLOCK
BASE B LRV 83

WINDOW _ MILGARD

Ultra™ Series | C650

Fiberglass $$$$ ★★★★★

Strong and beautiful, durable fiberglass windows are built to last.

Suitability:
Replacement, New Construction

Style:
Contemporary

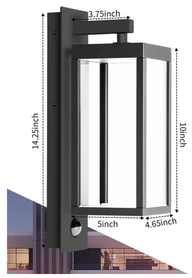
Innovation:
Strong and weather resistant

825 PARMA WAY

ENTRANCE DOOR | Therma-Tru

GARAGE DOOR | Wooden Garage door

DARK SKY LIGHTING



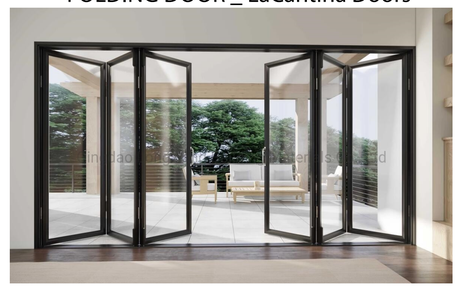
- Material: **Aluminum, Glass**
- Voltage: **100-240V**
- Power Source: **Hard Wired**
- Color: **Dark Grey**
- Style: **European Modern**
- Wattage: **15W**
- Color Temperature: **3000K**
- Warranty: **36 Months**
- Application: **Porch,Entryway**
- Lumen: **800**

FASSCIA, SOFFIT _ V Rustic

COMPOSITION SHINGLE ROOF _ CERTAINTEED

EXTERIOR STONE

FOLDING DOOR _ LaCantina Doors



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REVISIONS:

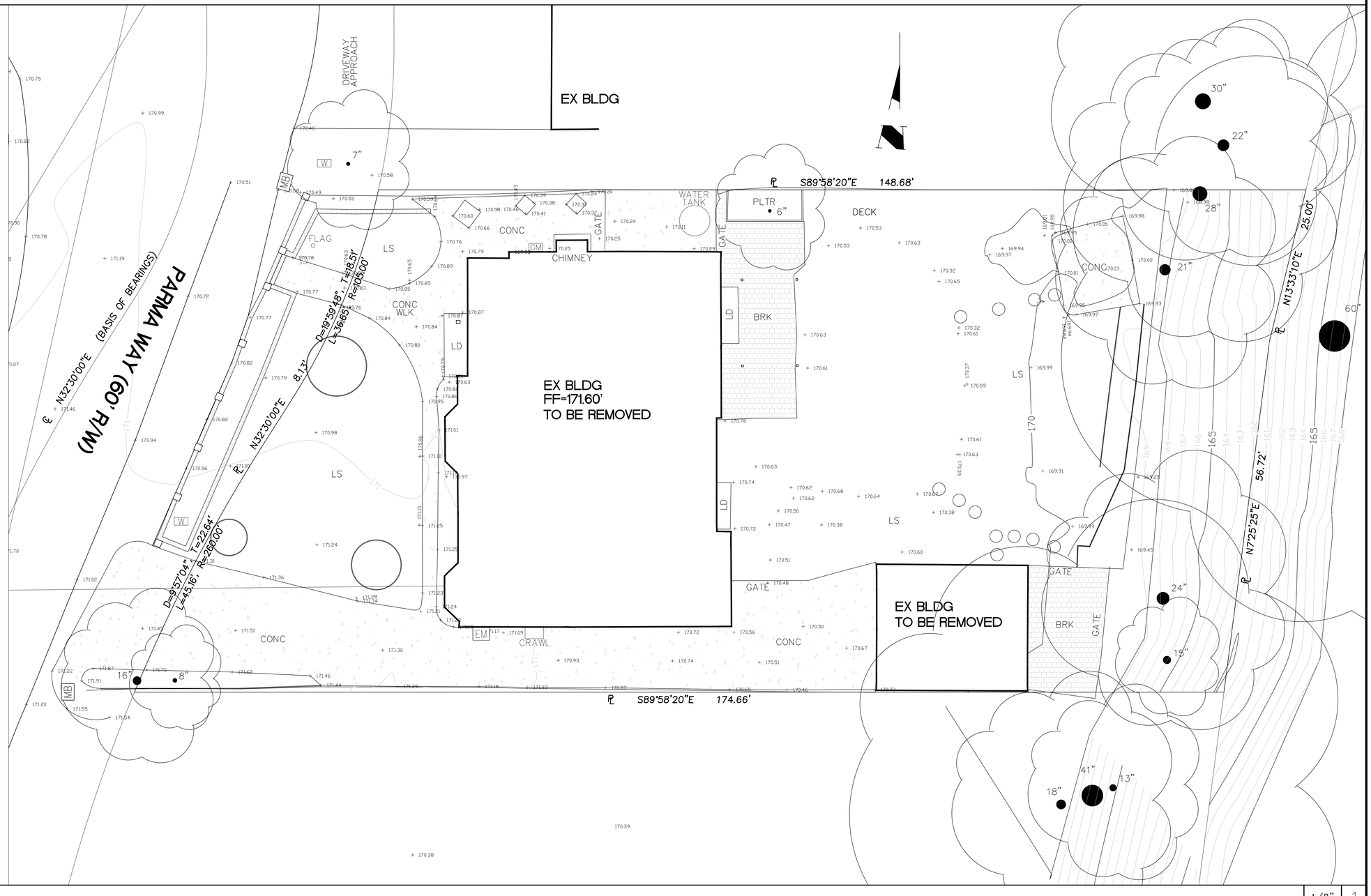
SHEET TITLE:
MATERIAL BOARD

DATE Sep, 2022
PROJECT NO. 22-
SCALE AS SHOWN
DRAWN HC
SHEET A-4
OF SHEETS

YAGNIK RESIDENCE
2 STORY SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CA 94024

OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965



EXISTING SITE PLAN

1/8" | 1

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REVISIONS:

SHEET TITLE:
SITE PLAN

DATE	PROJECT NO.
Sep, 2022	22-
SCALE	DRAWN
AS SHOWN	HC

SHEET
A-5.1

OF SHEETS

DISTANCE FROM CLOSEST HYDRANT: 248' 3"

FH

MB

S

LEGEND

FH	FIRE HYDRANT
EP	ELECTRIC PANEL
EM	ELECTRIC METER
— W —	WATER LINE
— SS —	SEWER LINE
	DISTANCE FROM CLOSEST HYDRANT
	REQUIRED MAIN SETBACK LINE
	REQUIRED ADU SETBACK LINE
	DAYLIGHT PLANE REFERENCE POINT

EX BLDG

DRIVEWAY APPROACH

SIDE ELEVATION DAYLIGHT PLANE REFERENCE POINT (+170.79)

(N) 6' FENCE GATE

(N) 8' WOODEN FENCE INCL. 2' LATTICE

REAR ELEVATION DAYLIGHT PLANE REFERENCE POINT (+170.53)

P S89°58'20"E 148.68'

NOISE LEVEL: 60 dB

REQUIRED ADU SIDE SETBACK= 4'

REQUIRED SIDE SETBACK= 10'

SIDE SETBACK 10'-0"

2ND STORY SIDE SETBACK (REQUIRED: 17.5') 23'-6"

FLAG

FRONT SETBACK 25'-0"

PROPOSED GARAGE 405 SQFT.

PROPOSED ADU 850 SQFT.

PROPOSED BLDG

PROPOSED LIVING AREA 3630 SQFT. (1F: 2182/2F: 1448)

PORCH

LANDING

REQUIRED FRONT SETBACK= 25'

REAR SETBACK 63'-6"

REQUIRED REAR SETBACK= 25'

REQUIRED ADU REAR SETBACK= 4'

REQUIRED SETBACK LINE

(N) 6' HOGWIRE FENCE

CONC

LS

TREE TO BE SELECTED FROM THE CITY'S APPROVE STREET TREE LIST

PARMA WAY (60' R/W)

℄ N32°30'00"E (BASIS OF BEARINGS)

Δ=19°59'48", T=18.51', L=36.65', R=105.00'

Δ=9°57'04", T=22.64', L=46.16', R=260.00'

30°00'0"E

N13°33'10"E 25.00'

N7°25'25"E 56.72'

(E) 6' WOODEN FENCE

P S89°58'20"E 174.66'

30"
22"
28"
21"
60"
24"
15"
16"
8"
7"
6"

N

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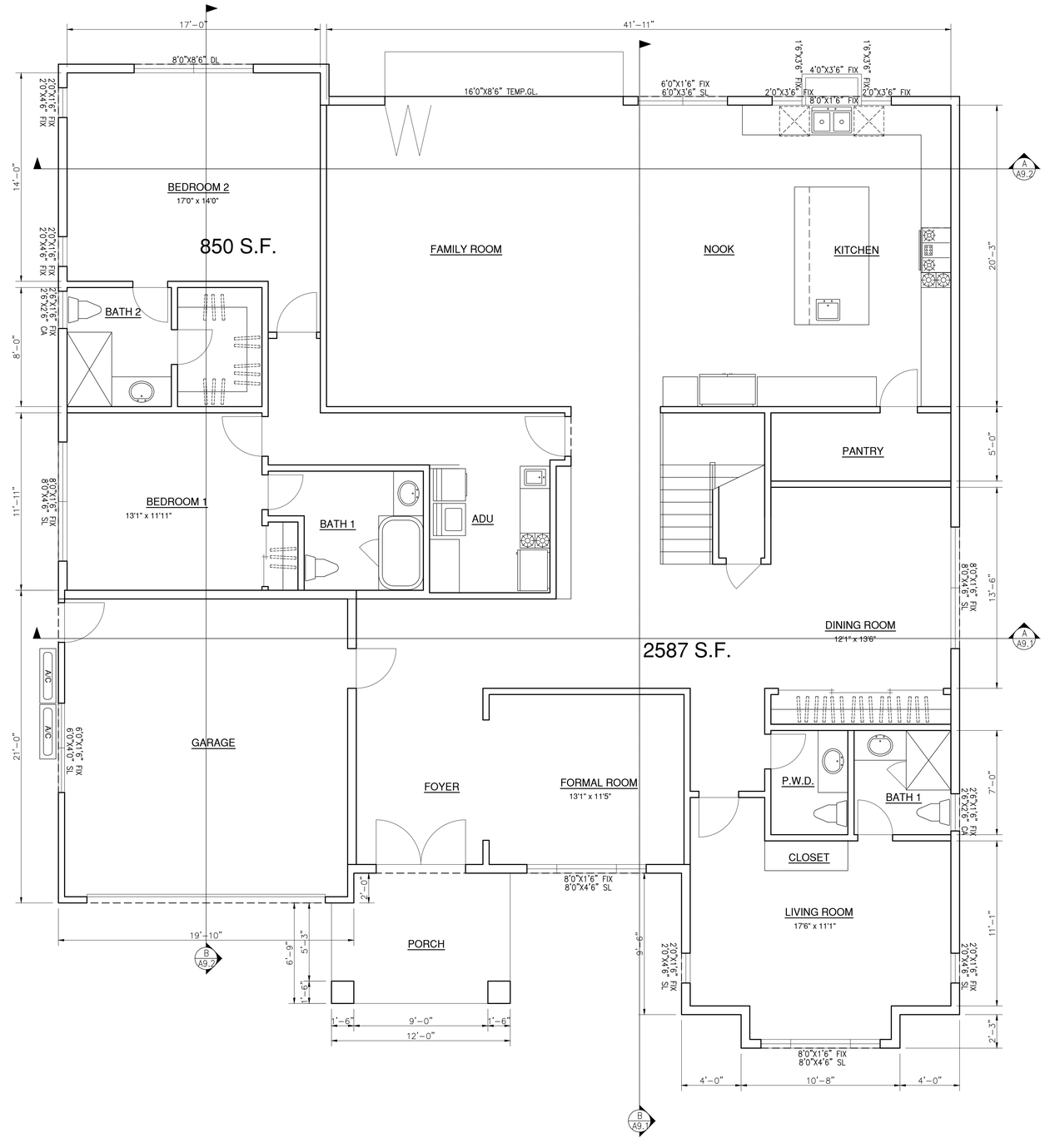
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

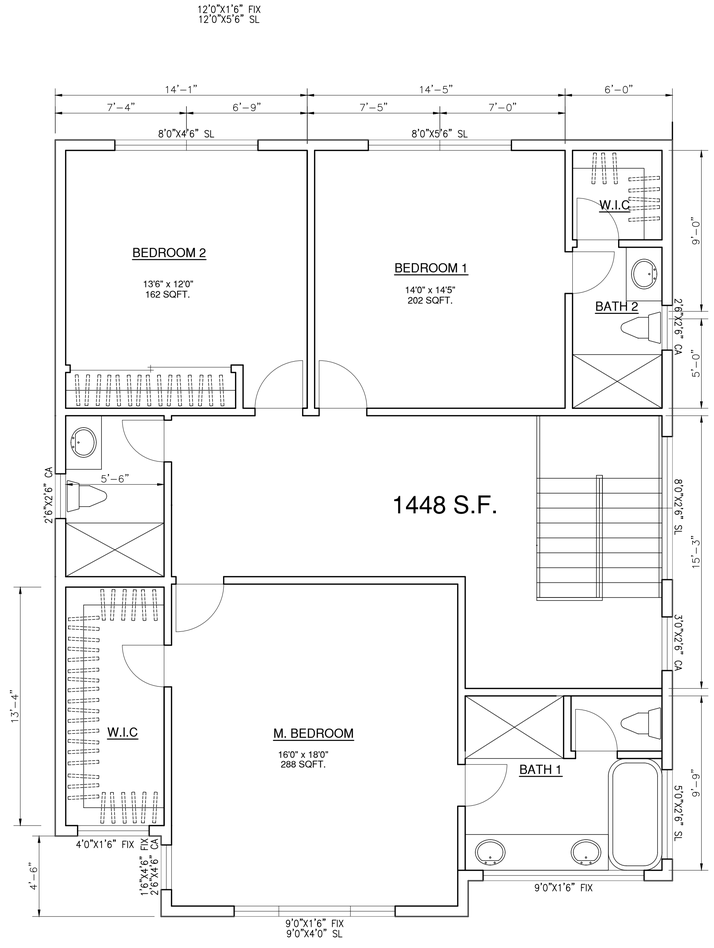
REVISIONS:

SHEET TITLE:
SITE PLAN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-5.2
OF SHEETS

EXISTING SITE PLAN | 1/8" | 1





SYMBOL

- B / A5 — SECTION / SHEET NUMBER
- B / A5 — DETAIL / SHEET NUMBER
- E — COLUMN GRID
- E — EXISTING DOOR
- B / A5 — INTERIOR ELEVATIONS INDICATOR

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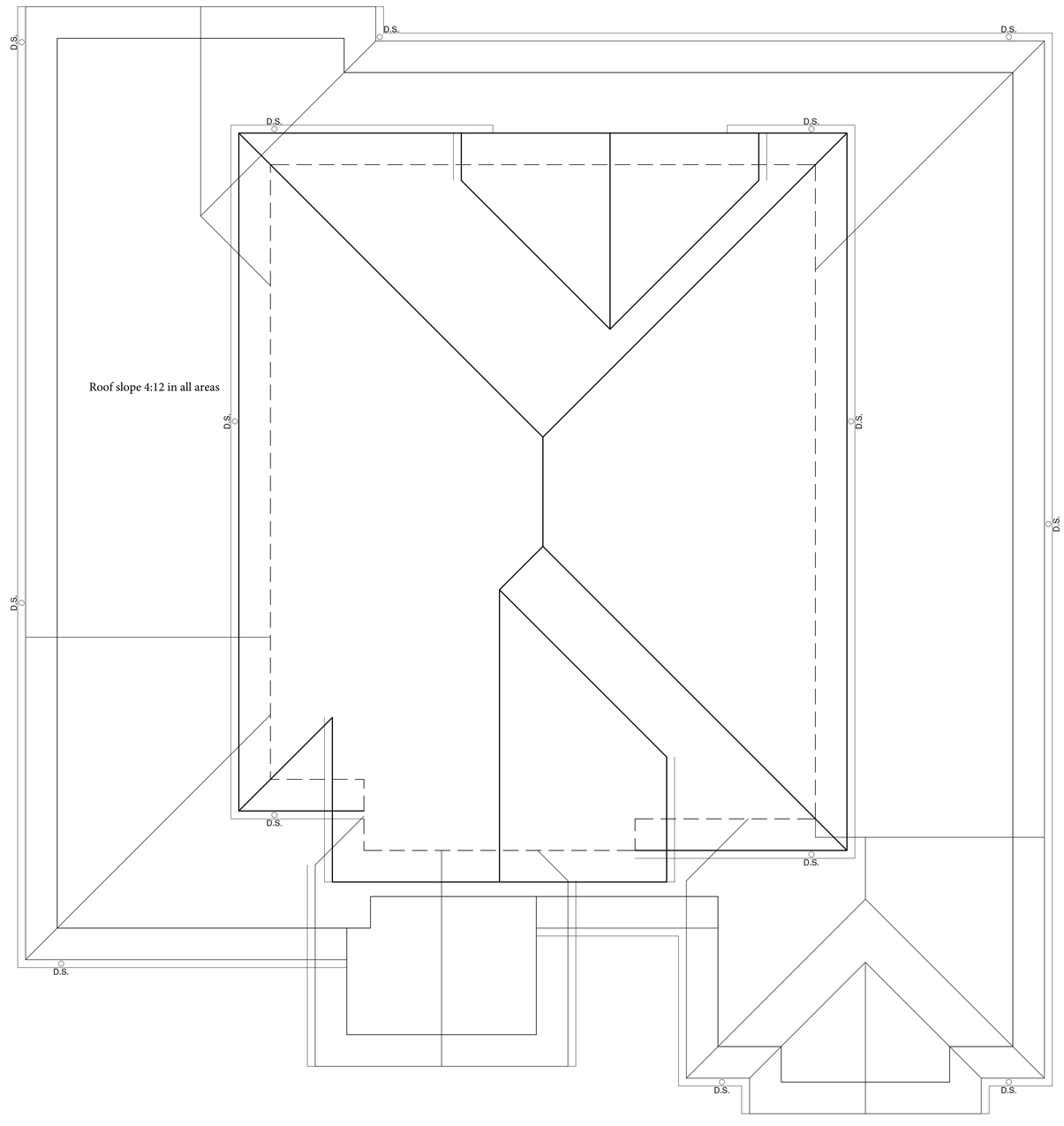
REVISIONS:

SHEET TITLE:
FLOOR PLAN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-6
OF SHEETS



ROOF PLAN 1/4" 1

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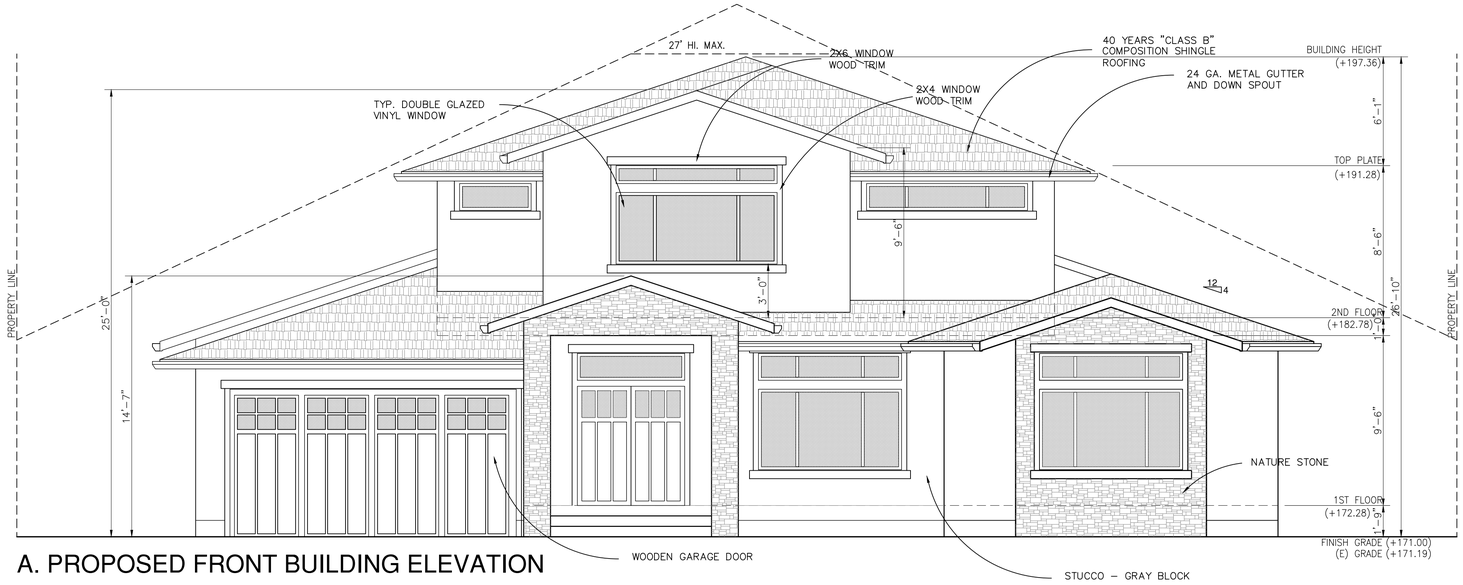
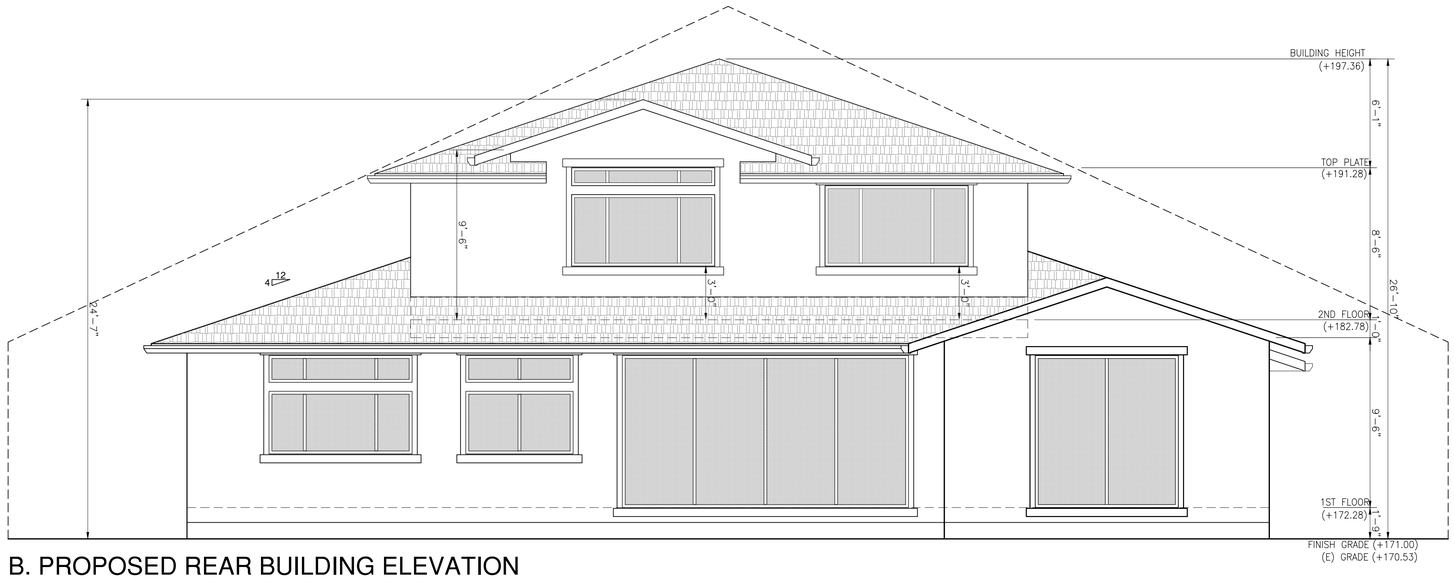
REVISIONS:

SHEET TITLE:
ROOF PLAN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-7
OF SHEETS



A. PROPOSED FRONT BUILDING ELEVATION



B. PROPOSED REAR BUILDING ELEVATION

PROPOSED ELEVATION | 1/4" | 1

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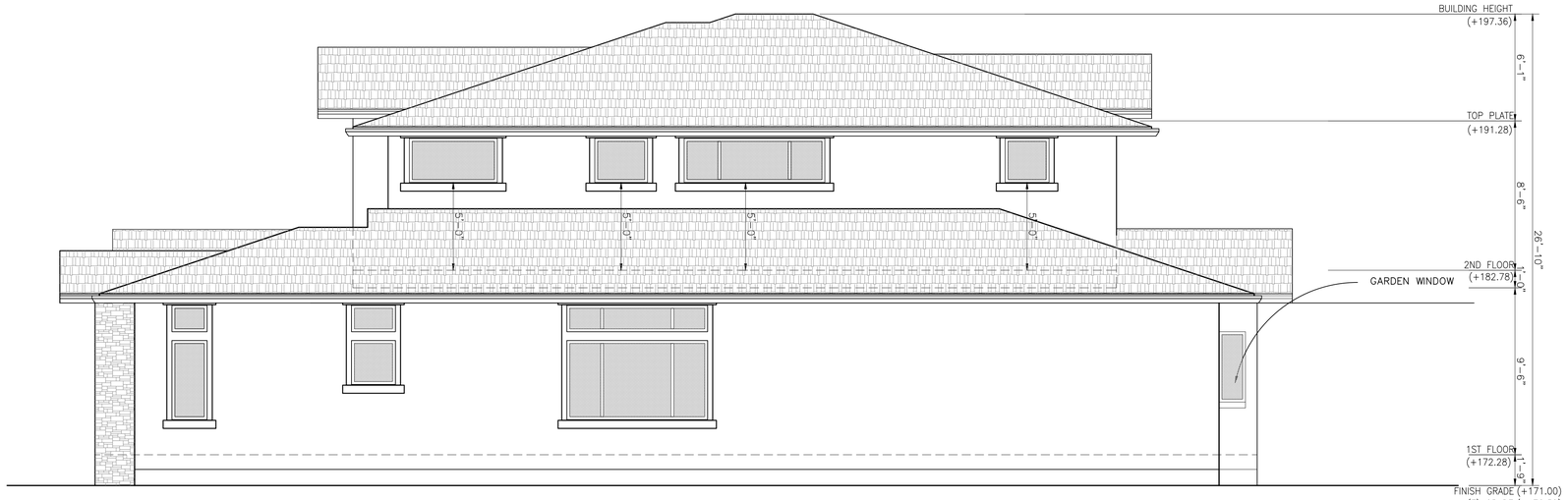
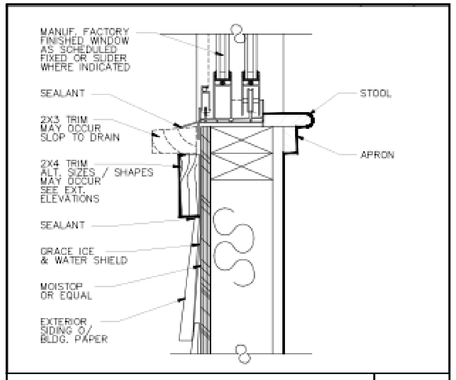
REVISIONS:

SHEET TITLE:
ELEVATION

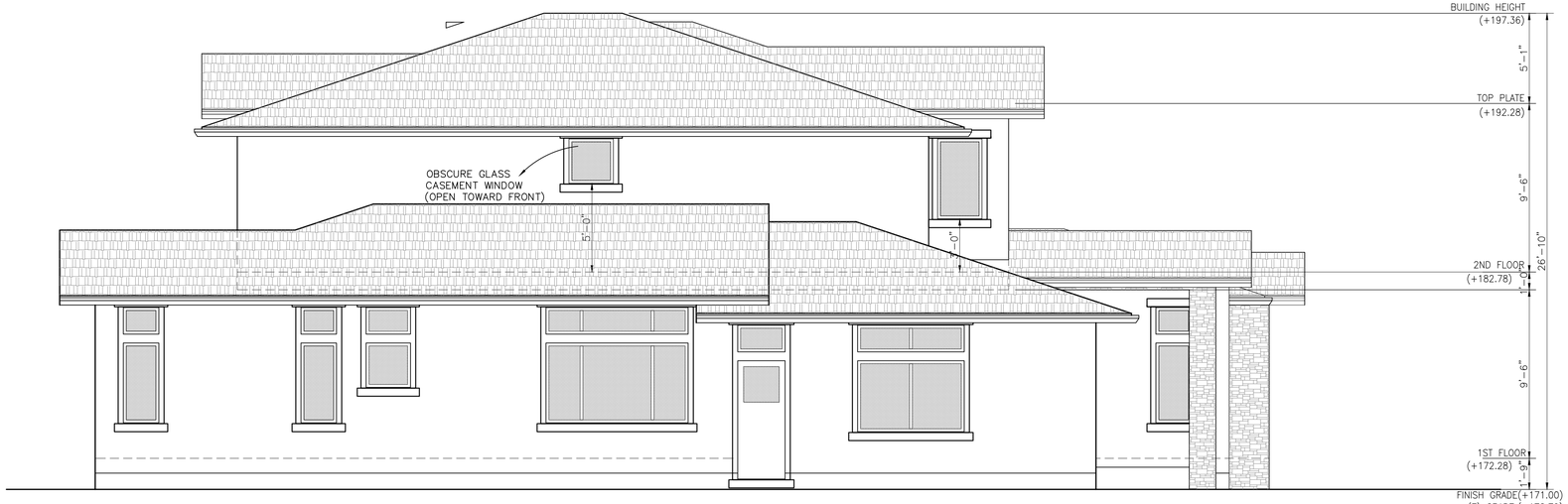
DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-8.1
OF SHEETS



C. PROPOSED RIGHT BUILDING ELEVATION



WINDOW TRIM DETAIL | 3"



D. PROPOSED LEFT BUILDING ELEVATION

PROPOSED ELEVATION | 1/4" | 1

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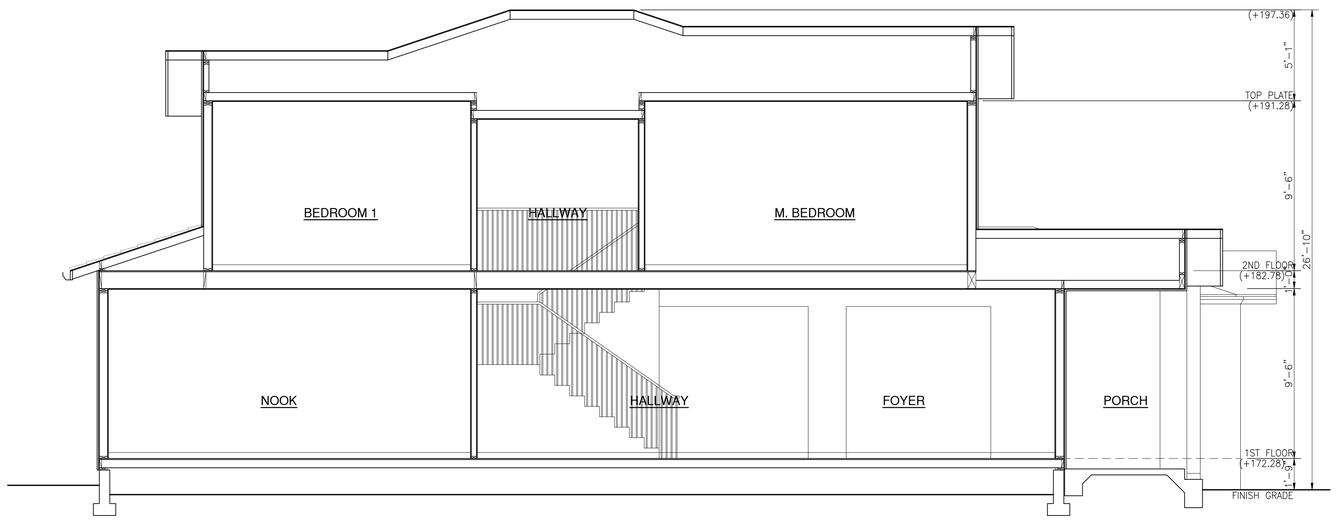
REVISIONS:

SHEET TITLE:
ELEVATION

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-8.2
OF SHEETS

A. PROPOSED CROSS SECTION



B. PROPOSED CROSS SECTION

CROSS SECTION – MAIN | 1/4" | 1

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www.svcustomhomes.com
(408) 204-0345

LICENSED ARCHITECT
HAU-CHING LIAO
C-28947
RENEWAL: 10-31-2023
STATE OF CALIFORNIA

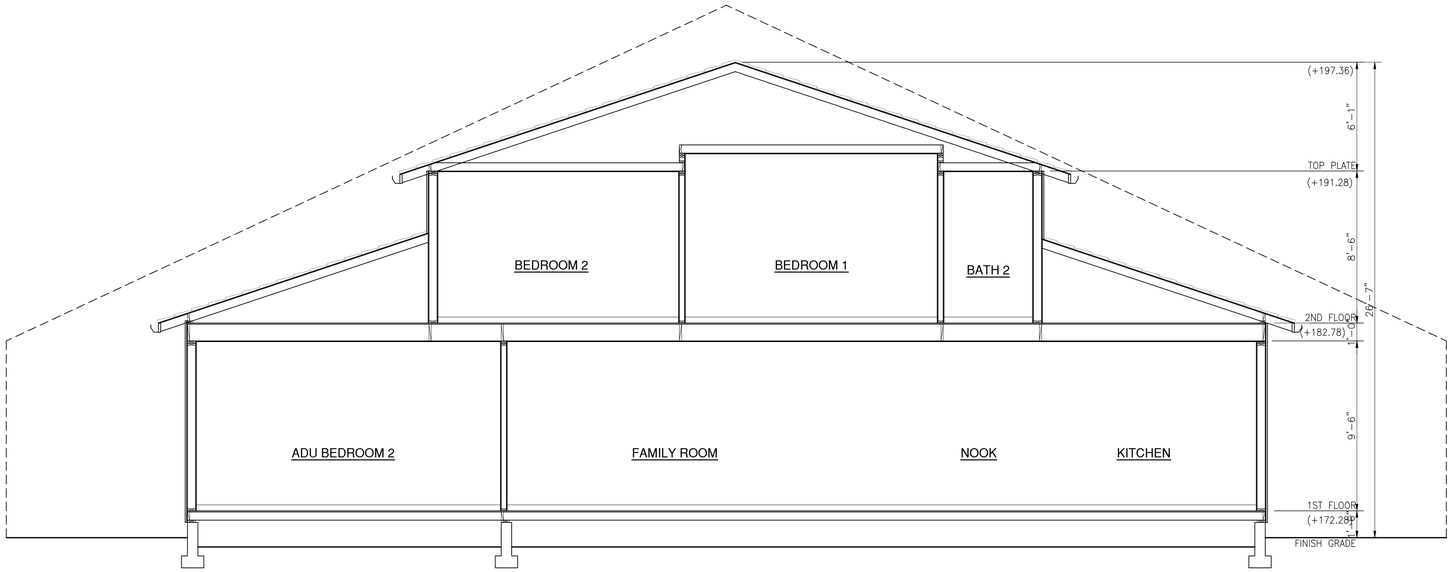
OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
(650) 450-3729

YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

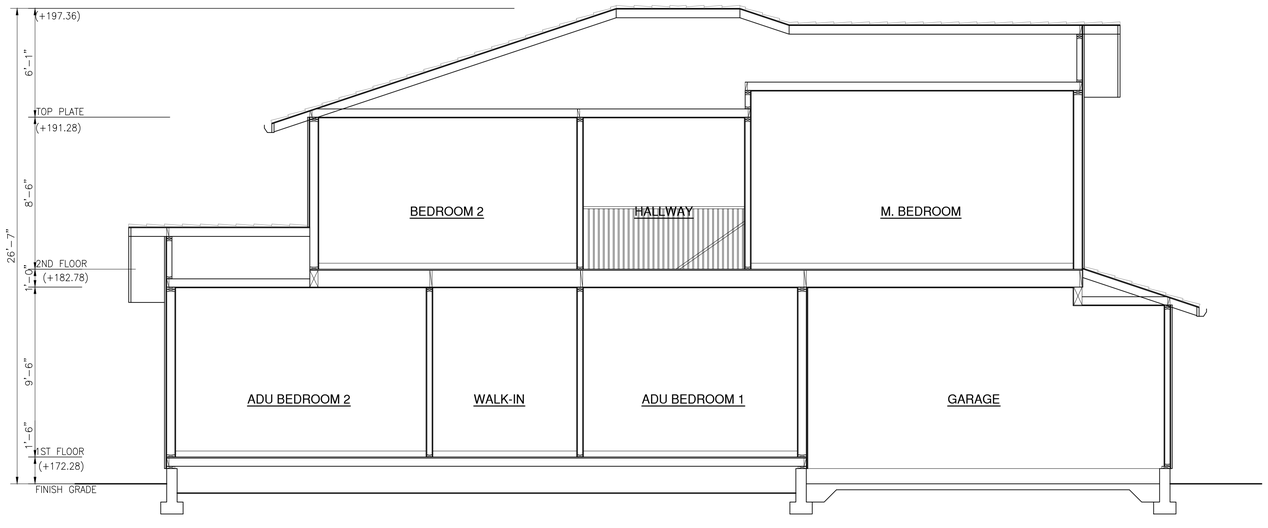
REVISIONS:

SHEET TITLE:
SECTION – MAIN

DATE: Sep, 2022
PROJECT NO.: 22-
SCALE: AS SHOWN
DRAWN: HC
SHEET: A-9.1
OF SHEETS



A. PROPOSED ADU CROSS SECTION



B. PROPOSED ADU CROSS SECTION

CROSS SECTION – ADU | 1/4" | 1

Silicon Valley Custom Homes, LLC
682 Villa Street, Suite C1
Mountain View, CA 94041
www.svcustomhomes.com
(408) 204-0345

LICENSED ARCHITECT
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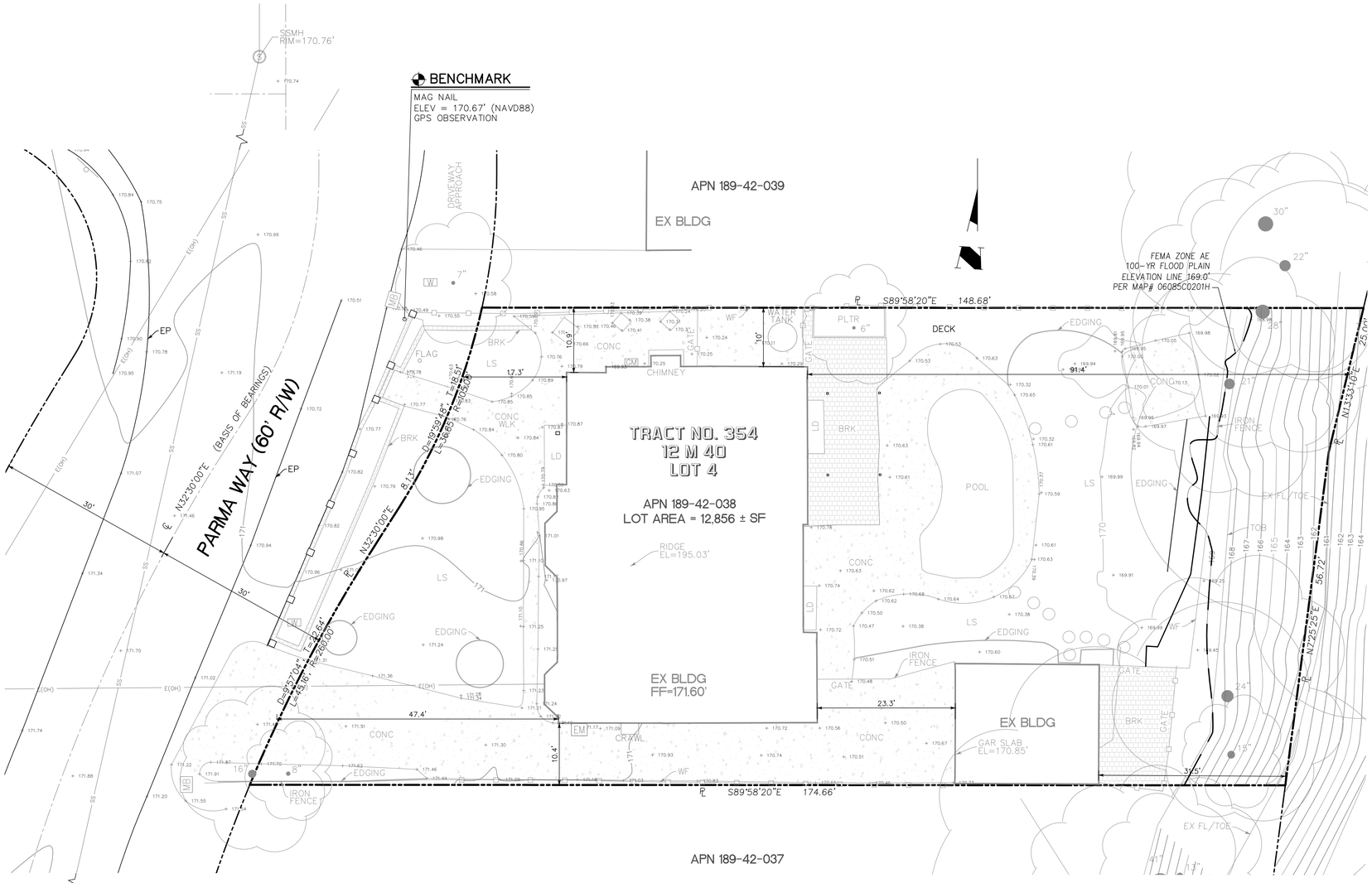
YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:
SECTION – ADU

DATE: Sep, 2022
PROJECT NO.: 22–
SCALE: AS SHOWN
DRAWN: HC
SHEET: A–9.2
OF SHEETS



LEGEND & ABBREVIATIONS

BENCHMARK	
BORDER LINE	
BOUNDARY	
BUILDING OUTLINE	
CB — CATCH BASIN	
CENTERLINE	
PAVED	
BRICK	
CONCRETE	
69 — EXISTING CONTOUR	
EASEMENT LINE	
EM — ELECTRICAL METER	
+70.69 OR (70.69) — EXISTING ELEVATION	
EXISTING CHAIN LINK FENCE	
EXISTING WOOD FENCE	
10" — EXISTING TREE AND DIAMETER	
FLOW LINE	
GM — GAS METER	
GUY POLE	
GUY WIRE ANCHOR	
EXISTING HYDRANT	
JOINT POLE	
LIGHT POST	
M — MANHOLE	
STREET MONUMENT	
PROPERTY CORNER MONUMENT	
MONUMENT LINE	
PARCEL LINE / RIGHT OF WAY	
E — PGE BOX	
4" — PVC PIPE AND DIAMETER	
C — SANITARY SEWER CLEAN OUT	
S — SANITARY SEWER MANHOLE	
D — SANITARY SEWER STORMDRAIN	
SETBACK LINE	
STREET SIGN	
10" — TREE STUMP AND DIAMETER	
W — UTILITY: EXISTING	
W — WATER METER	
WATER VALVE	
BOL — BOLLARD	
AD — AREA DRAIN	
MB — MAIL BOX	
STUMP	

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BD	BRASS DISC
BLDG	BUILDING
BOL	BOLLARD
BRC	BACK OF ROLLED CURB
BSL	BUILDING SETBACK LINE
BWK	BACK OF WALK
BWV	BACKFLOW WATER VALVE
CB	CATCH BASIN
CG	CURB & GUTTER
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CLM	COLUMN
CLST	CLOSET
CONC	CONCRETE
COR	CORNER
DWY	DRIVEWAY
EA	EASEMENT
EC	EDGE OF CONCRETE
ELEV	ELEVATION
EM	ELECTRIC METER
E(OH)	ELECTRIC OVERHEAD
E(UG)	ELECTRIC UNDERGROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISH ELEVATION OF SUBFLOOR
FG	GROUND FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
G	GAS LINE
GAR	GARAGE SLAB ELEVATION
GD	GROUND
GM	GAS METER
HC	HANDICAPPED
INV	INVERT
IEE	INGRESS AND EGRESS EASEMENT
IP	IRON PIPE
IRR	IRRIGATION
LD	LANDING
LIP	LIP OF GUTTER
LS	LANDSCAPED AREA
MH	MANHOLE
MON	MONUMENT
℄	PROPERTY LINE
PLTR	PLANTER
PP	POWER POLE
PRUE	PRIVATE SERVICES AND UTILITY EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVAE	PRIVATE VEHICLE ACCESS EASEMENT
PVMT	PAVEMENT
RC	ROLLED CURB
RW	RETAINING WALL
R/W	RIGHT OF WAY
SDE	STORM DRAIN EASEMENT
SSCO	SANITARY SEWER CLEANOUT
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE / LATERAL
STLT	STREET LIGHTING BOX
SW	SIDEWALK
TEL	TELEPHONE BOX
TW	TOP OF WALL
TYP	TYPICAL
WCE	WIRE CLEARANCE EASEMENT
WF	WOOD FENCE
WLE	WATER LINE EASEMENT
WLK	WALKWAY
WV	WATER VALVE

NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

FEMA

ZONES:	X AND AE
100-YEAR BASE FLOOD ELEVATION:	169.0'
COMMUNITY:	SANTA CLARA COUNTY CITY OF LOS ALTOS,
MAP NUMBER:	06085C0201H
EFFECTIVE DATE:	MAY 18, 2009

FEMA INFORMATION
SHOWN ON SURVEY WERE INTERPOLATED
USING FEMA FIRM AND GIS MAPS
FROM FEMA FLOOD MAP SERVICE WEBSITE:
https://msc.fema.gov

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.

GRAPHIC SCALE
0 10 20
(IN FEET)
1 inch = 10 ft.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

H. W. CHUI
RCE NO. 32912 EXP.06-30-2024

08/14/2022
DATE

REGISTERED PROFESSIONAL ENGINEER
H. W. CHUI
No. 32912
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	BY	DATE	APP'D

VL	08/14/2022		
DESIGNED	DATE		
VL	08/14/2022		
DRAWN	DATE		
1" = 10'		NL	08/14/2022
SCALE		CHECKED	DATE

L4 ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

BOUNDARY MAP AND TOPOGRAPHIC SURVEY

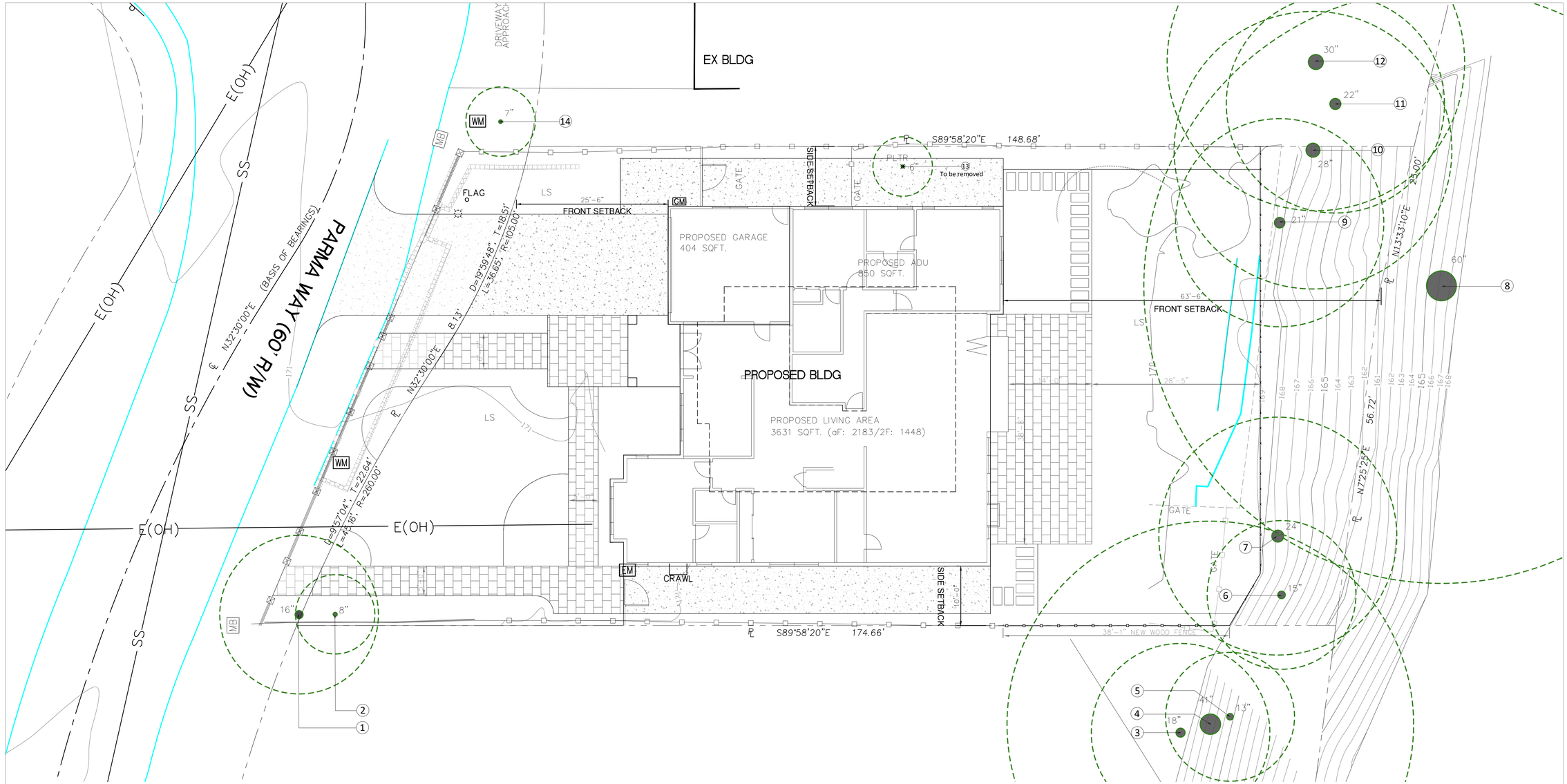
825 PARMA WAY

APN 189-42-038

Los Altos California

PROJECT NO.
CONTRACT NO.
DRAWING NO.
SHT NO. 1 OF 1
FILE NO.

ROAD NAME : PARMA WAY



Legend

- Existing Tree dripline (Tree dia larger than 4")
- Existing Tree to remove
- Existing Tree to remain (less than 4" dia)

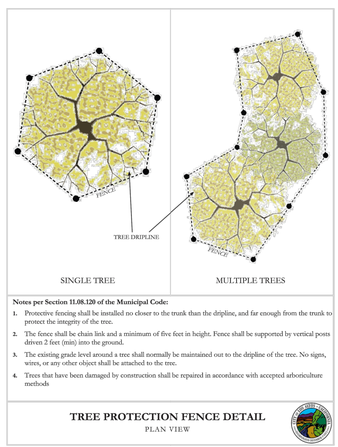
Tree Protection

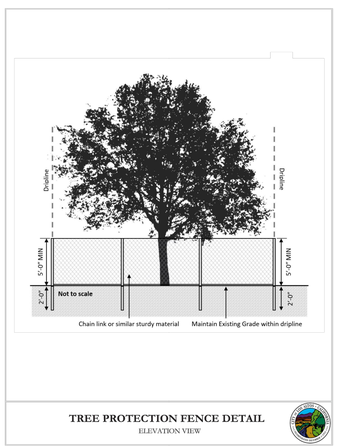
TREE PROTECTION ZONES SHALL BE INSTALLED AND MAINTAINED THROUGHTOUT THE ENTIRE LENGTH OF THE THE PROJECT. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT ABOUT THE DRIP LINE (WHERE POSSIBLE) OF ANY PROTECTED TREE WHICH WILL OR WILL NOT BE AFFECTED BY THE CONSTRUCTION.
THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCORACHMENT OF THE CONSTRUCTION. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPAED NO MORE THAN 10 FEET APART ON CENTER.
SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT".
NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES.
EXCAVATION, GRADING, SOIL DEPOSITS, DRAINAGE AND LEVELING ARE PROHIBITED WITHIN THE TREE PROTECTION ZONES.
NO WIRES, SIGNS, OR ROPES SHALL BE ATTACHED TO THE PROTECTED TREES ON SITE. UTILITY SERVICES AND IRRIGATION LINES SHALL ALL BE PLACED OUTSIDE OF THE TREE PROTECTION ZONES.

Existing Tree List

(#) tree dia more than 4"

Symbol	Botanical Name	Common Name	Tree DBH (DIA.)	TPZ (RAD.)	Protected tree	Tree removal	Location	Reason to remove
1	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Driveway	
2	Quercus agrifolia	Coast live oak	8"	6'-8"	Yes	No	Driveway	
3	Quercus agrifolia	Coast live oak	18"	15'-0"	Yes	No	#839 yard	
4	Quercus agrifolia	Coast live oak	41"	34'-2"	Yes	No	#839 yard	
5	Quercus agrifolia	Coast live oak	13"	10'-10"	Yes	No	#839 yard	
6	Quercus agrifolia	Coast live oak	24"	20'-0"	Yes	No	Backyard	
7	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Backyard	
8	Quercus agrifolia	Coast live oak	60"	50'-0"	Yes	No	Backyard	
9	Quercus agrifolia	Coast live oak	21"	17'-6"	Yes	No	Backyard	
10	Quercus agrifolia	Coast live oak	28"	23'-4"	Yes	No	Backyard	
11	Quercus agrifolia	Coast live oak	22"	18'-4"	Yes	No	#805 yard	
12	Quercus agrifolia	Coast live oak	30"	25'-0"	Yes	No	#805 yard	
13	Prunus x cistena	Purpleleaf Sand Cherry	6"	5'-0"	No	Yes	Left sideyard	too close to building
14	Pistacia chinensis	Chinese pistache	7"	5'-10"	No	No	#805 yard	





825 Parma

MUZIK DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title

Existing Tree Plan and Tree Protection

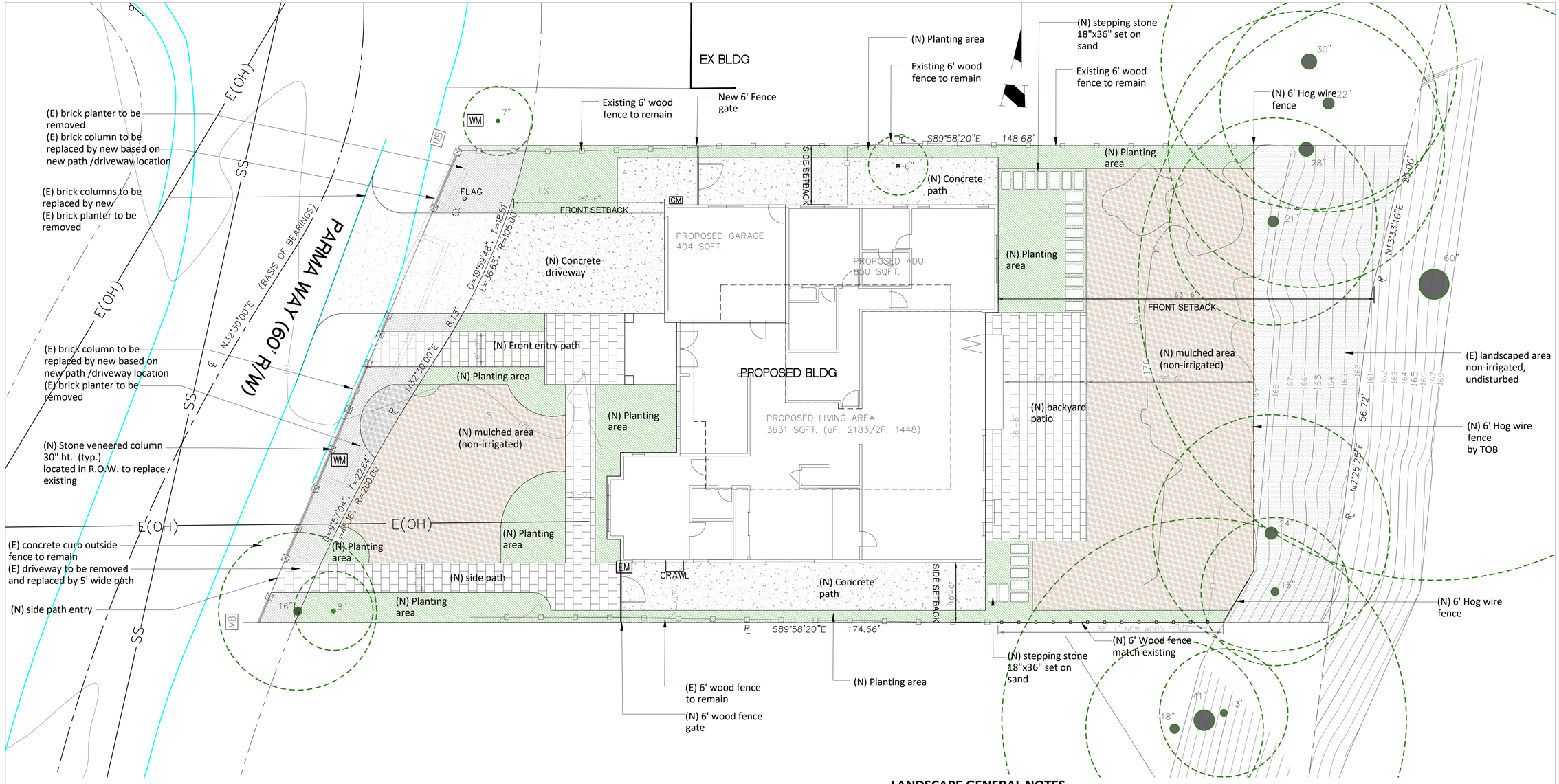
Drawing Scale

1/8"=1'-0"

Sheet Title

L-1

2/14/2023



LEGEND

- Concrete area
- Concrete Paver area
- Planting area
- Mulch area
- Existing softscape (undisturbed)
- New hog wire fence
- Existing 6-foot wood fence
- New column with stone veneer 18"x18"x30" material match architectural material Location match existing column in R.O.W.
- Concrete area encroached into R.O.W.
- Concrete Paver area encroached into R.O.W.
- Planting area encroached into R.O.W.
- Mulch area encroached into R.O.W.

SITE DATA

Front Landscape		
Total Area	3119	100%
Impervious area	1342	43.03%
Mulch and Planting	1777	56.97%
Site Landscape		
Lot size	12856	100%
Building coverage	3436	49.25%
Porch, landing and steps	102+48+12=162	
Driveway	510	
sideyard path	900	
Concrete paved area	1323	
Landscape Pervious area	6525	50.75%
Landscaping Breakdown		
Total hardscape area (driveway + path, paved) 2733 s.f.		
Total softscape area 6525 s.f.		
New softscape, irrigated	Planting 1970 s.f.	
New softscape, non irrigated	Mulch 3055 s.f.	
Existing softscape, undisturbed, non-irrigated	1500 s.f.	

LANDSCAPE GENERAL NOTES

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
5. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
6. SITE DESIGN BASED ON TOPOGRAPHIC INFORMATION FROM ARCHITECT. ALL GRADES TO BE VERIFIED IN FIELD.
7. SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED.
8. SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN DIMENSIONS AND QUANTITY, SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES.
9. ALL ELECTRICAL WORK TO COMPLY WITH CITY OF SUNNYVALE SPECIFICATIONS AND UNDERWRITERS LABORATORIES (UL) SPECIFICATIONS.
10. PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. SEE LANDSCAPE PLAN FOR RESTRICTIONS.
11. CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK.
12. ALL EARTHWORK, INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOT EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL BENEATH SLABS-ON-GRADE AND OTHER FLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST OF NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
13. PROPERTY LINES ARE SHOWN FOR REFERENCE ONLY AND ADDED PER CITY/TOWN ASSESSOR'S PARCEL MAP. IF A DISCREPANCY ARISES, A BOUNDARY SURVEY SHALL BE COMPLETED BY A LICENSED SURVEYOR TO RESOLVE THE ISSUE.
14. CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS THE CHARACTER AND EXTENT OF WORK INVOLVED.
15. CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
16. BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.

825 Parma

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San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
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Plan Prepared by
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(239) 410-9251
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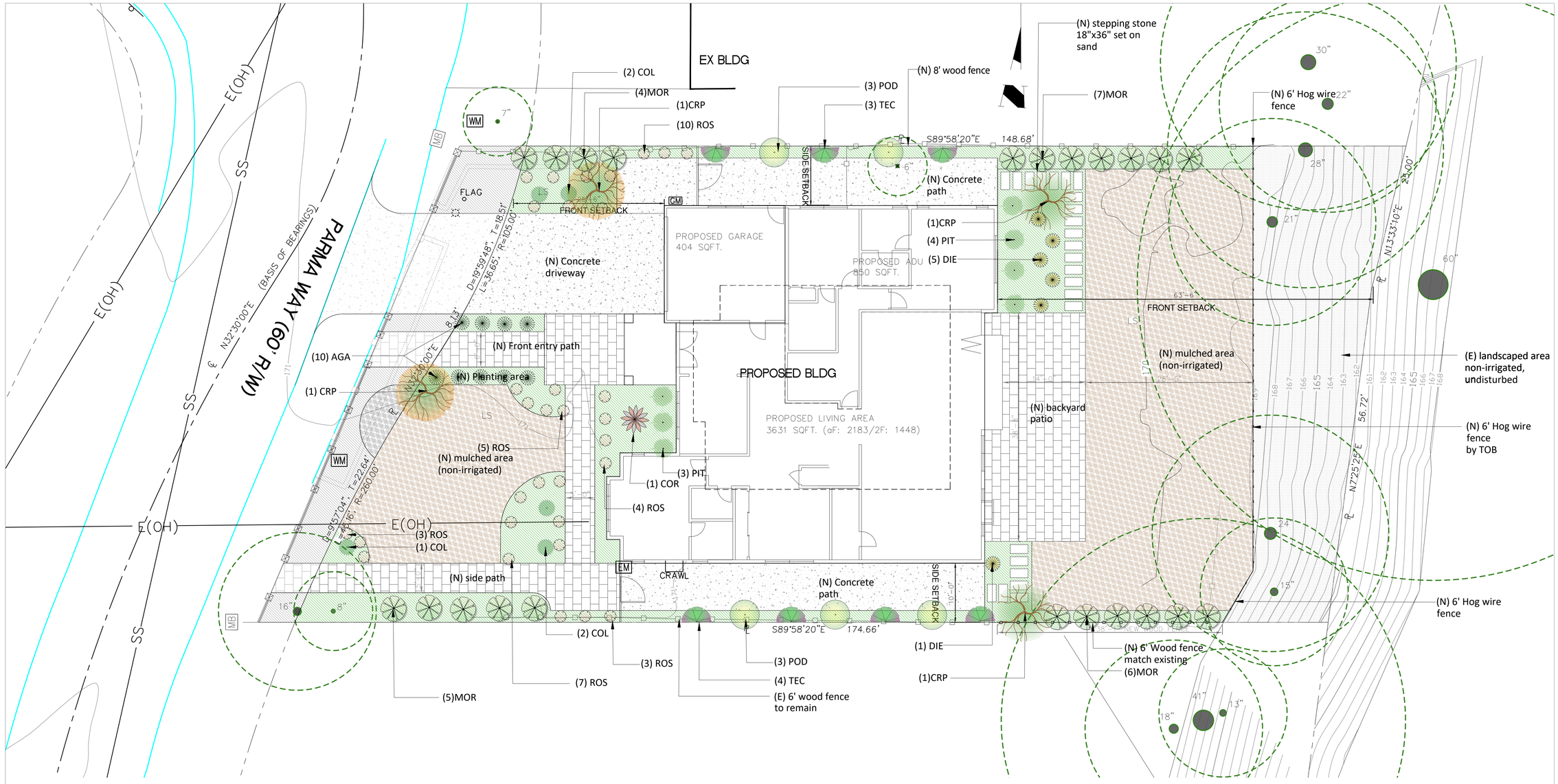
Drawing Title
Proposed Landscape Layout

Drawing Scale
1/8"=1'-0"

Sheet Title
L-2

2/14/2023



Plant List

Symbol	Quantity	Botanical Name	Common Name	Specification	Ht. x spread	Water useage	Native
Tree							
CRP	4	Lagerstroemia indica x fauriei 'Tonto'	Semi-dwarf Crape Myrtle	15 gal, tree form, std	15'x8'	L	No
Shrubs							
POD	5	Podocarpus elongatus 'monmal'	Icee Blue Yellow-Wood	15 Gal	20'x8'	L	No
PIT	7	Pittosporum tobira	Japanese cheesewood	15 Gal	6'x6'	L	No
MOR	21	Morella californica	Pacific Wax myrtle	15 Gal	8'x6'	L	Yes
AGA	10	Agapanthus africanus	Lily of Nile	5 Gal.	4'x5'	L	No
COR	1	Furcraea foetida	False Agave	Min. 2 Gal.	6'x6'	VL	No
COL	5	Coleonema pulchellum	Pink Breath of Heaven	5 Gal	3'x3'	M	No
ROS	32	Rosa x 'Noasplash' or spp	flower carpet ground cover roses	5 Gal.	2'x3'	VL	No
DIE	6	Dietes iridioides	Fortnight Lily	5 Gal.	4'x4'	VL	No
VINE							
TEC	7	Tecomaria capensis	Cape honeysuckle	5 Gal.	8'x8'	L	No

Total Plants: 98
Very Low /Low water Plants: 95
Percentage of low water used plant: 94.90%

Notes:
1. All pictures references online pictures
2. Water usage of plant is referred from online plant database of Bay Area Water Supply & Conservation Agency

TREE

Lagerstroemia indica x fauriei 'Tonto'
semi-dwarf crape myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 15'x8'

SHRUBS

Podocarpus elongatus 'Monma
Blue Ice Yellowwood
Water Usage: Low
Growth Rate: Medium
Mature Size: 20'x8'

Pittosporum tobira
Japanese cheesewood
Water Usage: low
Growth Rate: Fast
Mature Size: 6'x6'

SHRUB

Morella californica
pacific wax myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 8'x6'

Agapanthus africanus
Lily of Niles
Water Usage: Low
Growth Rate: Fast
Mature Size: 4'x5'

furcraea foetida
False agave
Water Usage: Low
Growth Rate: Fast
Mature Size: 6'x6'

coleonema pulchellum
pink breath of heaven
Water Usage: Medium
Growth Rate: Fast
Mature Size: 3'x3'

Rosa x 'Noasplash' or spp
Flower carpet rose
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 2'x3'

SHRUB

Dietes iridioides
Fortnight Lily
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 4'x4'

VINE

Tecomaria capensis
Cape honeysuckle
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 8'x8'

825 Parma

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Drawing Title
Proposed Planting Plan

Drawing Scale
1/8"=1'-0"

Sheet Title
L-3

2/14/2023

PLANTING NOTES

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES FOR TREES INSTALLED IN GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS ROADWAYS, DRIVES OR WALKWAYS. ADJUST SPACING AS NECESSARY.
2. PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY ON TRIANGULAR OR GRID SPACING AS CALLED FOR ON DETAIL. WHERE GROUND COVER IS SHOWN AS A HATCH, QUANTITIES ARE NOT GIVEN. PROVIDE PLANT MATERIAL TO FILL SPACE SHOWN ON DRAWINGS.
3. EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY STAKES AND SPREAD OUT ONTO WALL PRIOR TO ATTACHING TO SURFACE.
4. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
5. MULCH: MULCH IS TO BE 3" MINI PINE BARK. CONFIRM SELECTION WITH OWNER/PROJECT MANAGER PRIOR TO PLANTING.
6. SOIL AMENDMENT: AMEND SOIL PER SOILS REPORT AND DIRECTION OF OWNER/PROJECT MANAGER. SOIL TEST LOCATION PER L.A.; A MINIMUM OF 2" OF FULLY STABILIZED AND CERTIFIED COMPOST IS TO BE INCORPORATED IN THE TOP 12" OF SOIL.
7. SLOW-RELEASE FERTILIZER TABLET: "AGRIFORM" 7 GRAM TABLETS WITH 20-10-5 (N-P-K) BY SCOTTS (800) 492-8255.
8. LANDSCAPE MAINTENANCE:
   - A. LANDSCAPE MAINTENANCE SHALL BE PROVIDED FOR (90 DAYS) AFTER PRELIMINARY ACCEPTANCE.
   - B. QUALIFICATIONS: LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION.
   - C. MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
   - D. CONTRACTOR TO INSTRUCT MAINTENANCE CONTRACTOR.
   - E. LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.
   - F. AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING /SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
   - G. MATCH ALL MATERIALS WITH SAME MATERIALS USED IN ORIGINAL INSTALLATION.
   - H. STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
17. ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
18. CLOSE OUT AND MAINTENANCE MANUAL: LANDSCAPE CONTRACTOR SHALL SUBMIT A MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD. MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER. SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.

IRRIGATION NOTES

1.ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.

2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.

3. UNSIZED LATER LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE ¾"IN SIZE. (TYPICAL).

4. SIZING OF LATERA; PIPE SHALL BE AS FOLLOWS:
.75" 0-6 GPM
1" 7-12 GPM
1.25" 13-20 GPM

5. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
.75" 0-500 FT
1" 501-1100 FT

6. SIZING OF LATERAL PIPE FOR DRIPLINE (18" O.C GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
.75" 0-1100 FT
1" 1101-2200 FT

7. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.

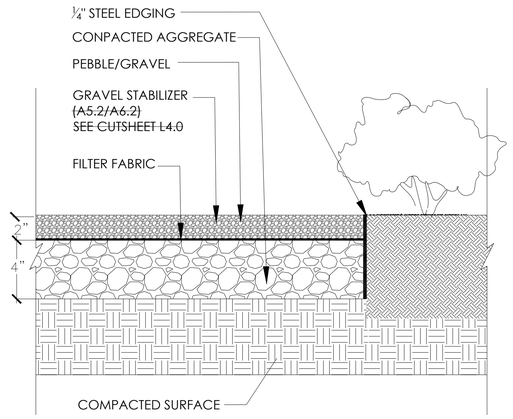
8. IRRIGATION CONTROLLERS SHALL BE A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.

9. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.

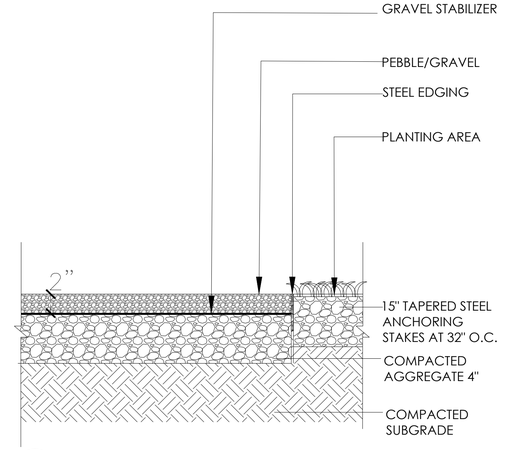
10. MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.

11. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.

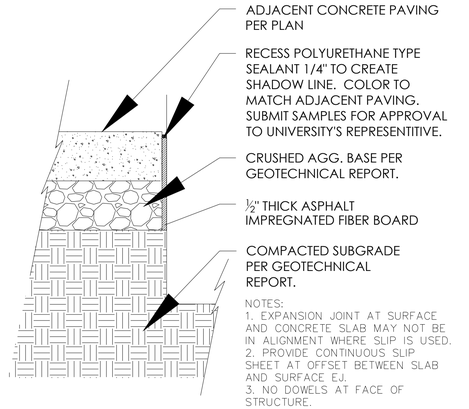
12. DEDICATED IRRIGATION METERS ARE REQUIRED FOR NON-RESIDENTIAL PROJECTS WITH MORE THAN 1,000 SQ. FT. OF LANDSCAPE AREA.



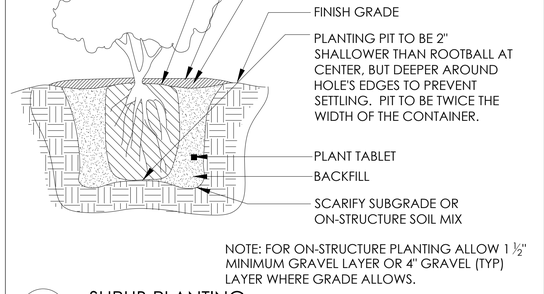
6 PLANTING NEXT TO PEBBLE
N.T.S.



3 PEBBLE WITH STEEL EDGE
N.T.S.

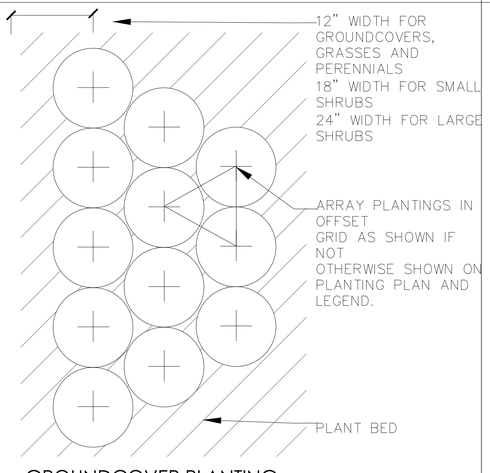


5 EXPANSION JOINT AT VERTICAL SURFACE
N.T.S.

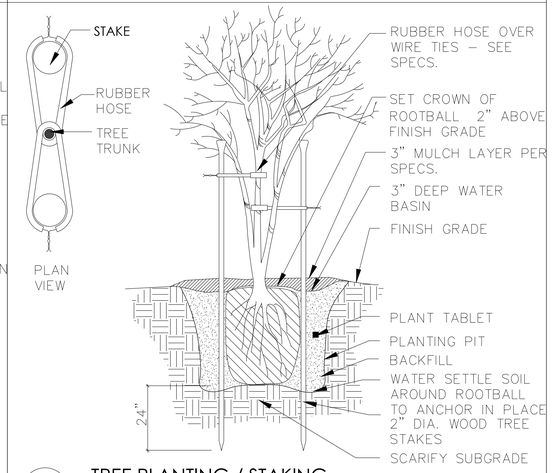


NOTE: FOR ON-STRUCTURE PLANTING ALLOW 1 ½" MINIMUM GRAVEL LAYER OR 4" GRAVEL (TYP) LAYER WHERE GRADE ALLOWS.

2 SHRUB PLANTING
N.T.S.



4 GROUNDCOVER PLANTING
N.T.S.



1 TREE PLANTING / STAKING
N.T.S.

825 Parma

MUZIK DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

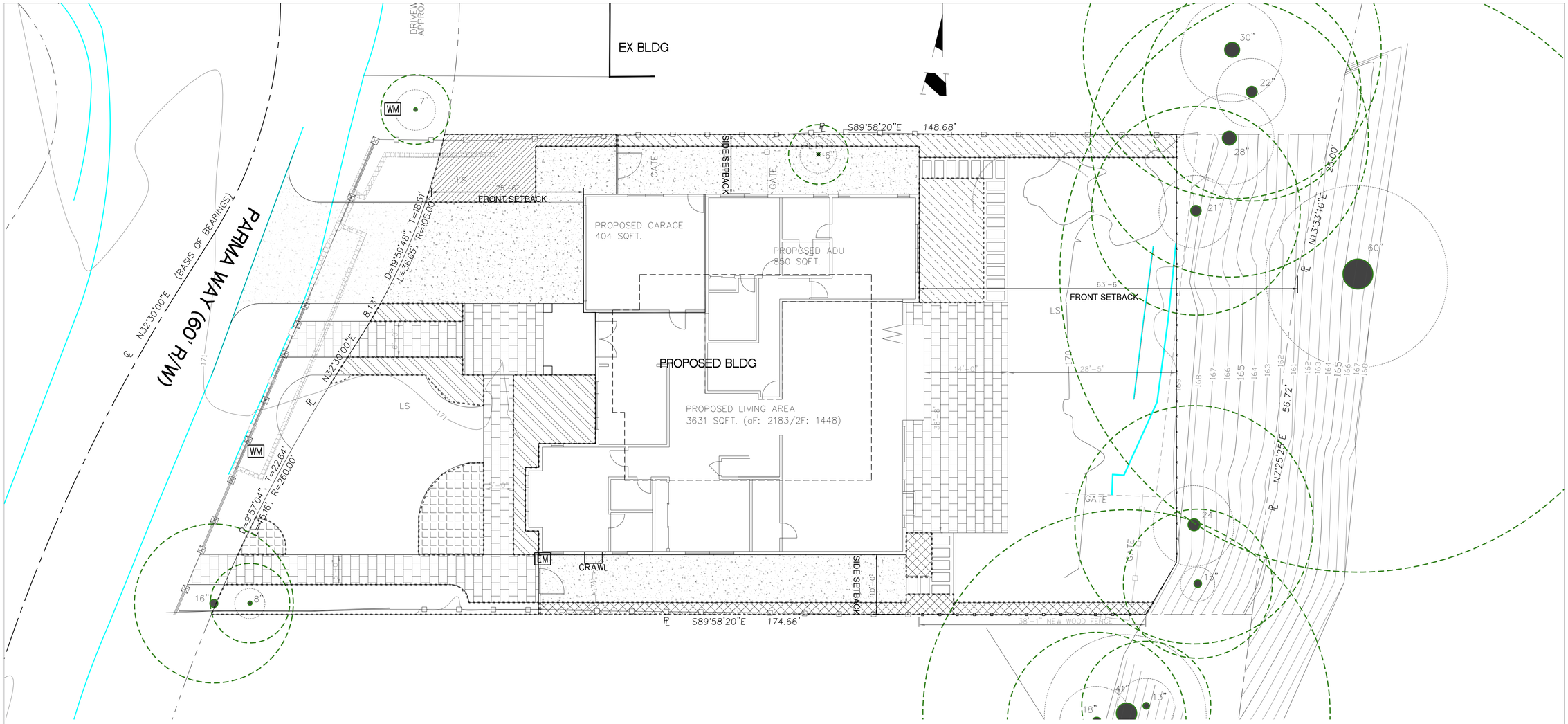
Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title
Landscape Notes

Drawing Scale

Sheet Title
L-4

2/14/2023



LEGENDS OF WATER ZONES

Zone 1
Planting between new driveway and property line

Zone 2
Shrubs at front entryway and building front

Zone 3
Shrubs and trees side pathway and property line

Zone 4
Large shrub and vine by sideyard and backyard planting

Zone 5
Large shrub and vine by sideyard

Reference Evapotranspiration (Eto)	**43**	**Los Altos**					
	ETWU requirement	**ETWU requirement**	**ETWU requirement**	**ETWU requirement**	**MAWA requirement**	**ETWU requirement**	
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Mathod	Irrigation Efficiency (IE)	ETAF (PF / IE)	Landscaped Area (LA) (sq.ft.)	ETAF x area	Estimate Total Water Use (ETWU)
Regular Landscape Area							
Zone 1 Front -left of driveway	0.2	Drip	0.81	0.247	210	51.85	1382.37
Zone 2 Front entryway	0.2	Drip	0.81	0.247	338	83.46	2224.96
Zone 3 Sidepath	0.2	Drip	0.81	0.247	393	97.04	2587.01
Zone 4 Side yard	0.2	Drip	0.81	0.247	433	106.91	2850.32
Zone 5 Side yard	0.2	Drip	0.81	0.247	596	147.16	3923.30
			Totals		1970	486.42	12967.95
Special Landscape Area (SLA): Recycled Water							
1) Low water use plants				1	0	0	0.00
2) Medium water use plants				1	0	0	0.00
3) Medium water use plants				1	0	0	0.00
				Totals	0	0	0.00
						Estimate Total Water Use (ETWU)	**12967.95**
						Maximum Allowed Water Allowance (MAWA)	**23634.09**

Regular Landscape Areas

Total ETAF x Area	486.42	Average ETAF for regular landscape areas must be 0.55 or below
Total Area	1970.00	for residential areas, and **0.45 or below for non-residential**
Average ETAF	**0.247**	**areas.*** Caltrans projects must be 0.45 or below
	Less than 0.55	

Total Landscape Areas

MAWA Total	23634.09	Gallons /year
ETWU Total	12967.95	Gallons /year
Sitewide ETAF	**45.13**	**Percent reduction of Portable**

825 Parma

MUZIK DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title
Proposed Irrigation Plan and Hydrozone

Drawing Scale
1/8"=1'-0"

Sheet Title
L-5

2/14/2023

GRADING AND DRAINAGE PLAN
FOR
825 PARMA WAY, LOS ALTOS
CALIFORNIA 94024

GRADING & DRAINAGE IMPROVEMENTS

I. GRADING NOTES

1. ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.

   a. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

   b. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING . UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

2. THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.

4. ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTON PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.

5. EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.

6. DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5% FOR UNPAVERSURFACE AND 2% FOR PAVER SURFACE.

7. THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS– OF–WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

8. THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.

9. THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.

10. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.

12. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.

13. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.

14. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.

15. ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265–2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.

16. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.

17. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.

18. SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

19. DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.

20. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

21. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE,

    CALL: UNDERGROUND SERVICE ALERT (USA) 800–642–2444

23. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

24. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 mm) PLUS 2%.

25. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE. COMPLIANCE WITH THE LOCAL NON–POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

26. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 2013 CALIFORNIA BUILDING CODE.

27. ABS AND PVC EXTENDABLE BACKWATER VALVE MAY BE ORDERED FROM CLEAN CHECK, INC AT 1 (866) 288–2583 OR P.O. BOX 2437, HAYDEN, ID 83835–2437.

II. DUST CONTROL

1. ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.

2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST–PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR.

3. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST–PRODUCING MATERIALS SHALL BE WATERED OR COVERED.

4. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

LOCATION MAP
NTS

PROJECT NOTES

1. ASSESSORS PARCEL NO: 184–42–038
2. SITE ADDRESS: 825 PARMA WAY, LOS ALTOS, CA 95024
3. OWNER: JAY & NIYATI YANIK
   3368 MILTON COURT, MOUNTAIN VIEW
   (650) 450–3729
4. ARCHITECT: SILICON VALLEY CUSTOM HOMES, LLC
   682 VILLA STREET, SUITE C1
   MOUNTAIN VIEW, CA 94041
   (408) 204–0345
5. SOIL ENGINEER: WAYNE TING ASSOCIATES INC
   42329 OSGOOD RD # A, FREMONT, CA 94539
   (510) 623–7768
6. SURVEYOR/CIVIL ENGINEER: LC ENGINEERING/ NINH LE
   598 E SANTA CLARA STREET #270
   SAN JOSE, CA 95112
   (408)806–7187
   NLE@LCENGINEERING.NET

SCOPE OF WORK

1. GRADE HOUSE, HOUSE SITE
2. PAVE DRIVEWAY & WALKWAY

EARTHWORK QUANTITY

CUT = 18 CY ; MAXIMUM CUT DEPTH = 0.5'±
FILL = 6 CY ; MAXIMUM FILL DEPTH = 0.5'±
IMPORT 0 CY
EXPORT 12 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

SHEET INDEX

SHEET 1: TITLE SHEET
SHEET 2: DEMOLITION PLAN
SHEET 3: OVERALL SITE PLAN
SHEET 4: GRADING & DRAINAGE PLAN
SHEET 5: BUILDING CROSS SECTIONS
SHEET 6: EROSION CONTROL PLAN
SHEET 7: EROSION CONTROL DETAILS

LEGEND & ABBREVIATIONS

	AREA DRAIN	AB	AGGREGATE BASE
	BACKWATER VALVE	AC	ASPHALT CONCRETE
	BENCHMARK	AD	AREA DRAIN
	BOUNDARY	AE	ANCHOR EASEMENT
CB	CATCH BASIN	BB	BUBBLER BOX
	CENTER LINE	BLDG	BUILDING
	CHRISTY V12 DRAIN BOX UNLESS OTHERWISE NOTED	BSL	BUILDING SETBACK LINE
		BW	BOTTOM OF WALL
			/BACK OF WALK
		CG	CURB & GUTTER
	COBBLE ROCK ENERGY DISSIPATOR	℄	CENTERLINE
	CONCRETE	CLF	CHAIN LINK FENCE
550	CONTOUR: EXISTING	CO	SANITARY SEWER CLEANOUT
550	CONTOUR: PROPOSED OR NEW	COP	CURB OPENING
100.46	DESIGN GRADE	CONC	CONCRETE
	DOWNSPOUT WITH SPLASHBLOCK	CSD	CITY STANDARD DETAIL
DI	DRAINAGE EMITTER	DE	DRAINAGE EASEMENT
DV	DIVERSION VALVE	DI	DRAINAGE INLET
DRY	DRAINAGE SWALE	DS	DOWNSPOUT
	EASEMENT LINE	DWY	DRIVEWAY
+101.70 OR (101.70)	EXISTING ELEVATION	EA	EASEMENT
	EXISTING FENCE	ELEV	ELEVATION
	EXISTING TREE TO BE REMOVED	EGR	EGRESS
	EXISTING TREE TO REMAIN	EM	ELECTRIC METER
	IRON PIPE AT PROPERTY CORNER	E(OH)	ELECTRIC OVERHEAD
	FIBER ROLLS	E(UG)	ELECTRIC UNDERGROUND
EM	ELECTRIC METER	EP	EDGE OF PAVEMENT
GM	GAS METER	EX	EXISTING
	GAS VALVE	FC	FACE OF CURB
	GRADE TO DRAIN	FD	FOUND
	GUY POLE	FF	FINISH ELEVATION OF SUBFLOOR
	GUY WIRE ANCHOR	FG	GROUND FINISH GRADE
	HIGH POINT	FH	FIRE HYDRANT
	HYDRANT: EXISTING	FL	FLOW LINE
	HYDRANT: PROPOSED OR NEW	G	GARAGE SLAB ELEVATION
	JOINT POLE		/GAS LINE
	LIGHTING	GPE	GENERAL PUBLIC EASEMENT
	LIGHTING POLE	GSB	GRADING SETBACK
	LOW POINT	GM	GAS METER
	OVERLAND FLOW DIRECTION	HP	HI POINT
PGE	PGE BOX	IEE	INGRESS EGRESS EASEMENT
BMP	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE	INV	INVERT
	PROJECT SITE	LAT	LATERAL
	RETAINING WALL	LIP	LIP OF GUTTER
	RIGHT OF WAY/ LOT LINE	LS	LANDSCAPED AREA
MH	MANHOLE	MAX	MAXIMUM
CO	SANITARY SEWER CLEAN OUT	M	MAP
SS	MANHOLE SANITARY SEWER MANHOLE	MH	MANHOLE
SD	STORM DRAIN MANHOLE	MIN	MINIMUM
	SUMP PUMP	N&S	NAIL AND SILVER
TEL	TELEPHONE BOX	NTS	NOT TO SCALE
TV	TELEVISION BOX	OH	OVERHEAD
TP	TEST PIT	OG	ORIGINAL GROUND
	TOP OF FILL	OR	OFFICIAL RECORD
	TOE OF FILL	P	PAVEMENT FINISH GRADE
	TOP OF CUT	PAD	PAD ELEVATION
	TOE OF CUT	℄	PROPERTY LINE
1	TREE NUMBER	PEE	PEDESTRIAN EQUESTRIAN EASEMENT
T	T–VAULT	PERF	PERFORATED PIPE
W	UTILITY: EXISTING	PP	POWER POLE
W	UTILITY: PROPOSED OR NEW	PROP	PROPOSED
WM	WATER METER	PSDE	PRIVATE STORM DRAINAGE EASEMENT
WV	WATER VALVE	PSE	PUBLIC SERVICE EASEMENT
W	WELL	PUE	PUBLIC UTILITY EASEMENT
A 1	SECTION NUMBER / SHEET NUMBER	PVMT	PAVEMENT
		PVC	POLYVINYL CHLORIDE
		R	RADIUS
		R&R	REMOVE & RECONSTRUCT
		RW	RETAINING WALL
		REM	REMOVE
		R/W	RIGHT OF WAY
		SD	STORM DRAIN
		SDE	STORM DRAIN EASEMENT
		SE	SLOPE EASEMENT
		SEP	SLOPE EASEMENT PRIVATE
		SS	SANITARY SEWER/LATERAL
		SSE	SANITARY SEWER EASEMENT
		STA	STATION
		STD	STANDARD CITY DETAIL
		SW	SIDEWALK
		TB	TOP OF BANK
		TC	TOP OF CURB
		TEMP	TEMPORARY
		TOC	TOP OF COVER
		TOE	TOE OF BANK
		TG	TOP OF GRATE
		TPF	TREE PROTECTION FENCE
		TV/T	TELEVISION & PHONE LINE
		TW	TOP OF WALL
		TYP	TYPICAL
		VG	VALLEY GUTTER
		W	WATER
		WCE	WIRE CLEARANCE EASEMENT
		WLK	WALKWAY
		WM	WATER METER
		WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

TITLE SHEET
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
1
OF 7 SHEETS

PW PROJECT #
.....

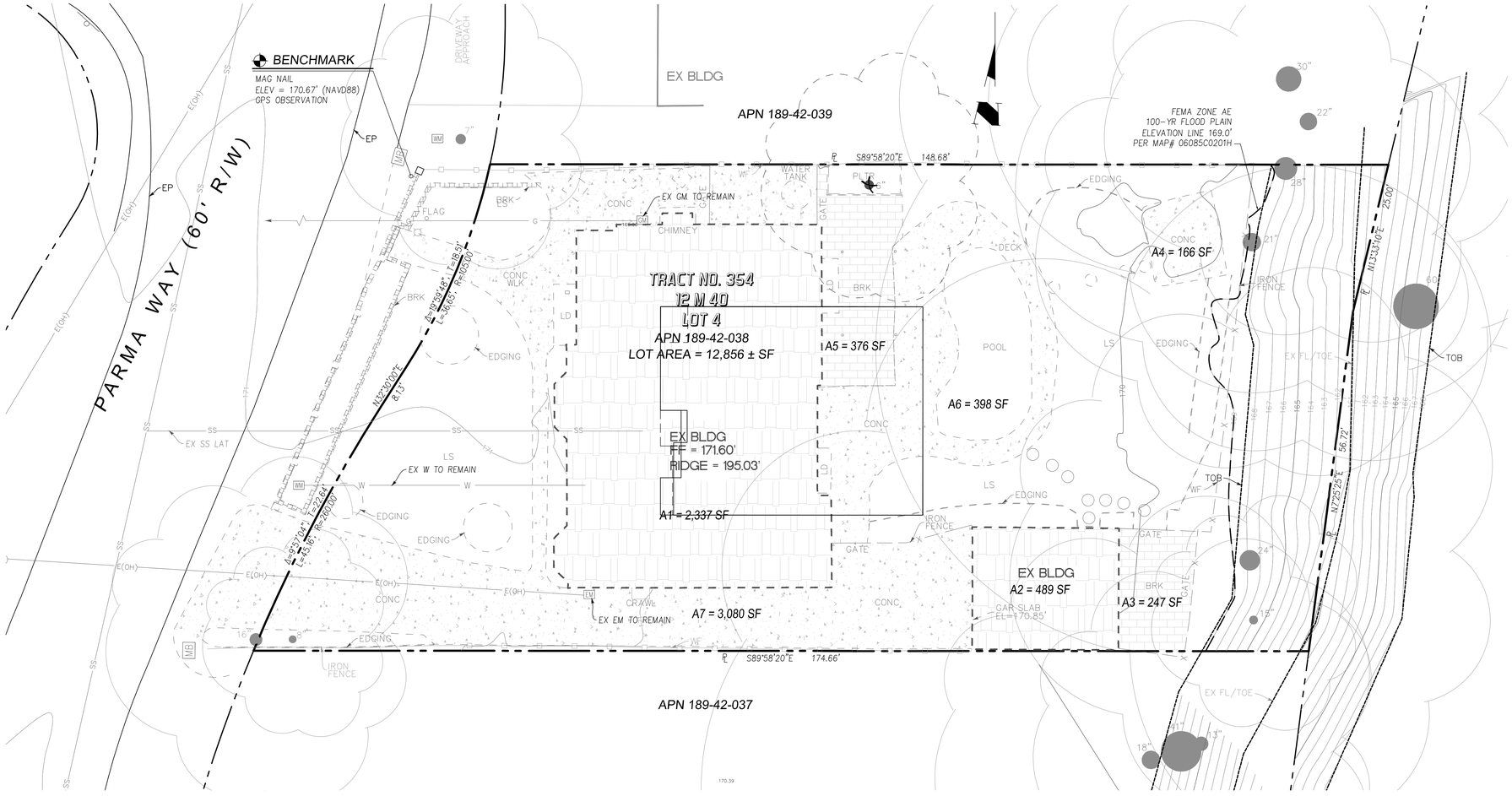
PRE - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	EX BLDG	REMOVE	2,337 SF	
A2	EX BLDG	REMOVE	489 SF	
A3	CONC BRICK	REMOVE	247 SF	
A4	CONC WLK	REMOVE	166 SF	
A5	CONC BRICK	REMOVE	376 SF	
A6	POOL	REMOVE	398 SF	
A7	CONC WLK	REMOVE	3,080 SF	
	LANDSCAPING			5,763 SF
	TOTAL		7,093 SF	5,763 SF

LEGEND:

- ITEM OR AREA TO BE REMOVED
- EX BLDG TO BE REMOVED
- EX BRICK TO BE REMOVED
- EX CONC TO BE REMOVED
- TREE TO REMAIN
- TREE TO BE REMOVED
- EX FENCE TO BE REMOVED

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.



GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

REVISIONS | DATE | BY

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

DEMOLITION PLAN
825 PARMA WAY
APN 184-42-038
LOS ALTOS

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22 | CALIFORNIA

SHEET
2
OF 7 SHEETS

PW PROJECT #
.....

POST - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
B1	BLDG	NEW	3,436 SF	
B2	PORCH	NEW	102 SF	
B3	LANDING	NEW	48 SF	
B4	STEPS	NEW	12 SF	
B5	DWY	NEW	510 SF	
	LANDSCAPING	NEW		8,748 SF
	TOTAL		**4,108 SF**	**8,748 SF**

SUMMARY

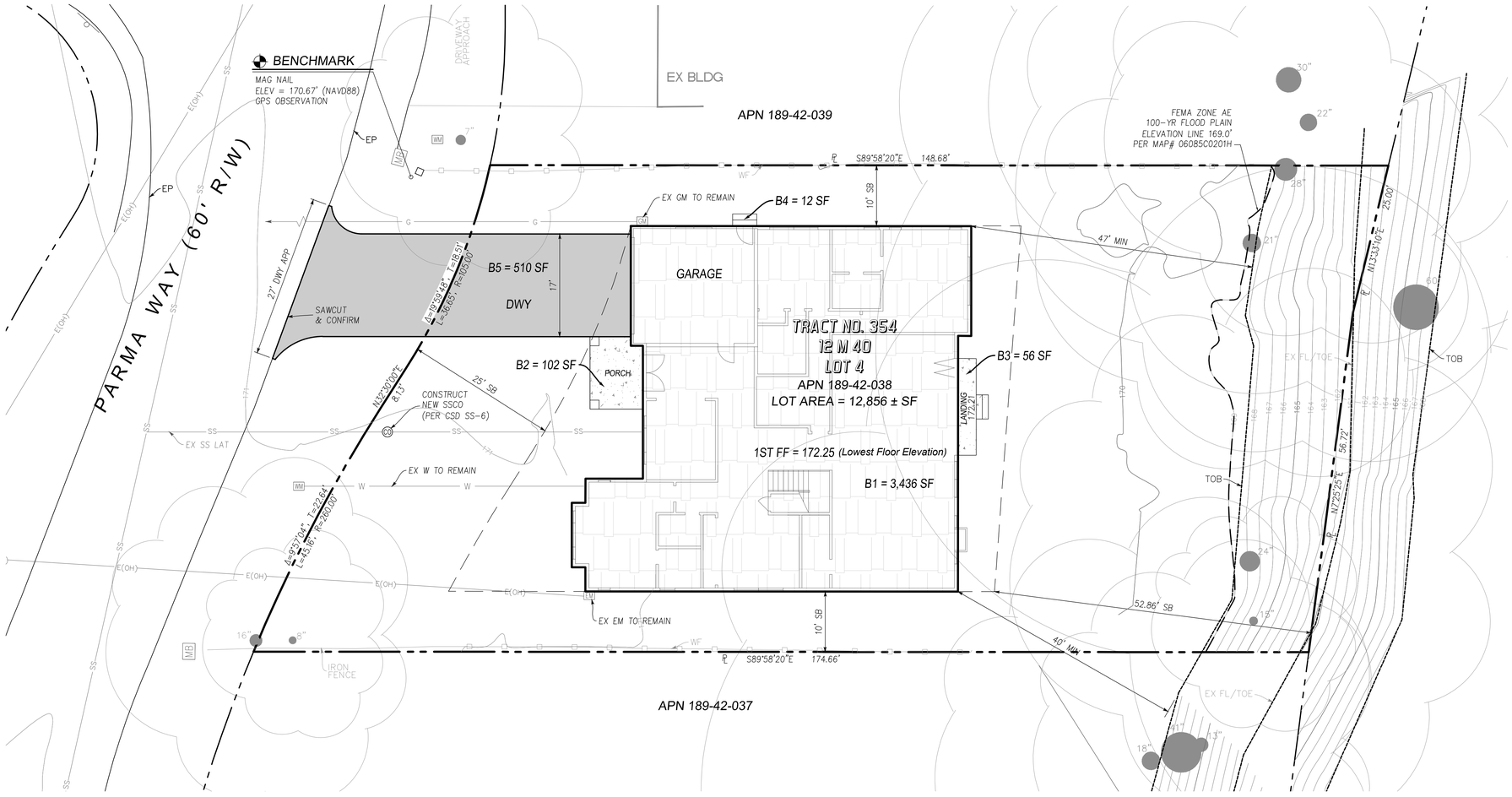
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	7,093 SF	5,763 SF
POST-DEVELOPMENT	4,108 SF	8,748 SF
DIFFERENCE	-2,985 SF	2,985 SF

LEGEND:

- PROPOSED BLDG
- PROPOSED CONCRETE
- PROPOSED ASPHALT CONCRETE

NOTES:

1. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES, STORM DRAIN, SANITARY SEWER BEFORE BEGIN WORK. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND IN FIELD.
2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

REVISIONS | BY | DATE

REGISTERED PROFESSIONAL ENGINEER
M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

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506 E Santa Clara St. #270
San Jose, CA 95112
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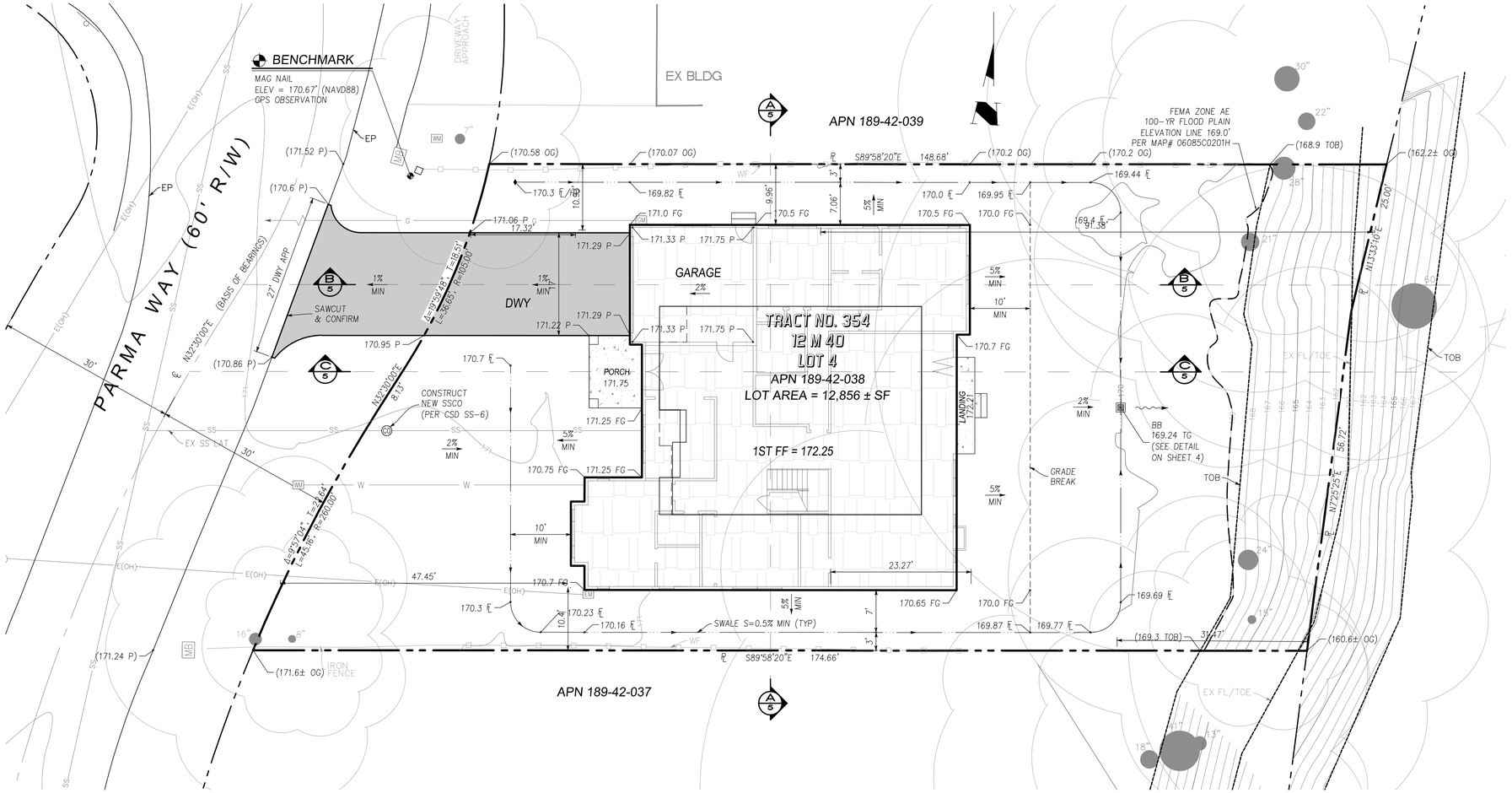
Fax: (408) 583-4006

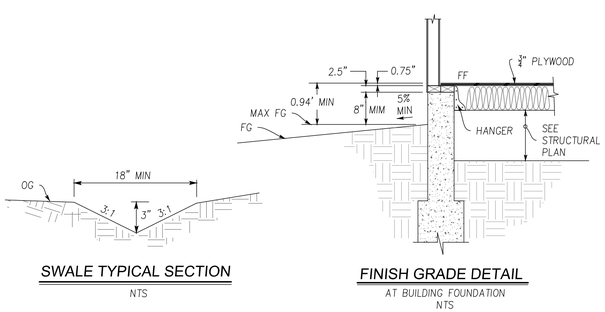
OVERALL SITE PLAN
825 PARMA WAY
APN 184-42-038
LOS ALTOS, CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
3
OF 7 SHEETS

PW PROJECT #
.....



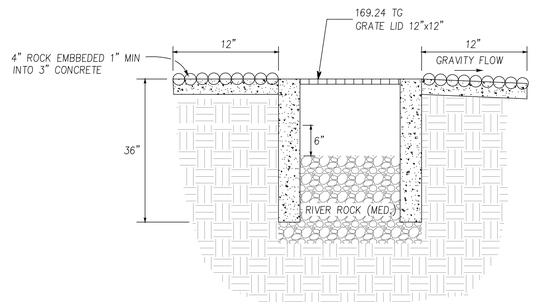


SWALE TYPICAL SECTION

NTS

FINISH GRADE DETAIL

AT BUILDING FOUNDATION
NTS



BUBBLER BOX

NTS

NOTES:

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.

FEMA:

ZONES: X AND AE 100-YEAR BASE FLOOD ELEVATION: 169'
COMMUNITY: SANTA CLARA COUNTY
CITY OF LOS ALTOS,
MAP NUMBER: 06085C0201H
EFFECTIVE DATE: MAY 18, 2009

FEMA INFORMATION SHOWN ON SURVEY WERE INTERPOLATED USING FEMA FIRM AND GIS MAPS FROM FEMA FLOOD MAP SERVICE WEBSITE:
HTTPS://MSC.FEMA.GOV

GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LE ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone (408) 806-7787
Fax: (408) 583-4006

GRADING & DRAINAGE PLAN
825 PARMA WAY
APN 184-42-038

LOS ALTOS | Project No.: | Designed: PT | Checked: NL | Date: 10/25/22 | CALIFORNIA

SHEET
4
OF 7 SHEETS

PW PROJECT #
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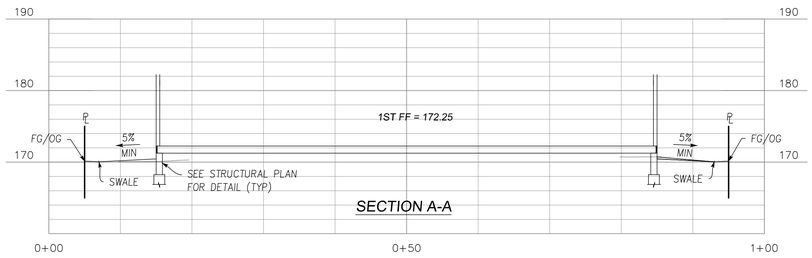
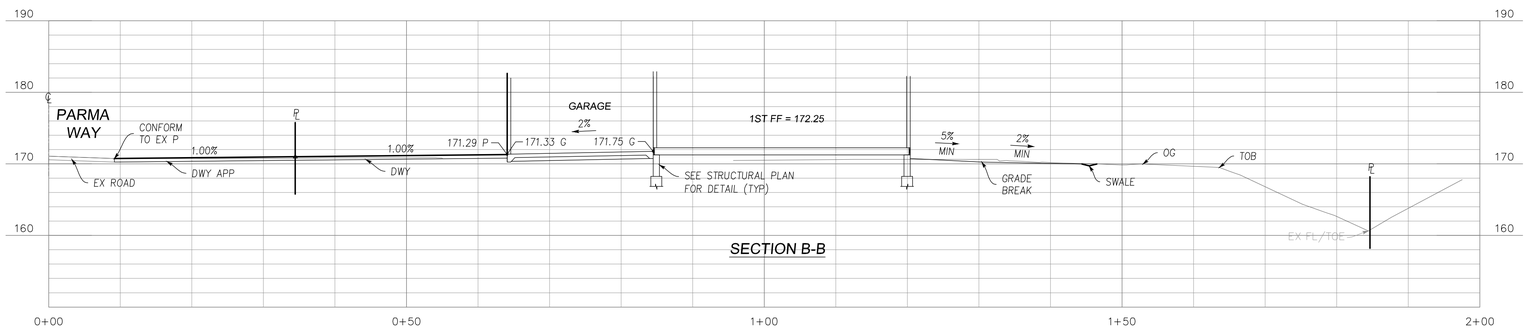
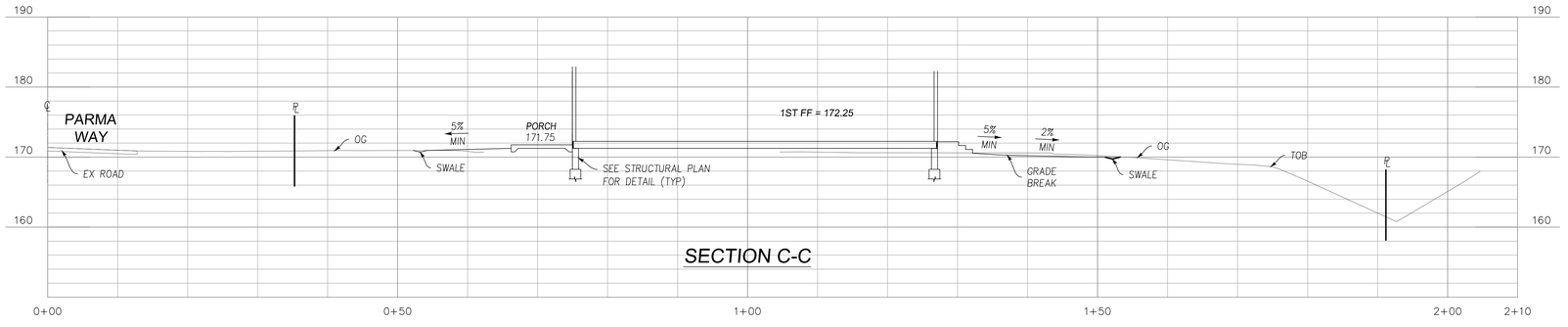


SECTION A-A



SECTION B-B



SECTION C-C

GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

REVISIONS	DATE	BY

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT, MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone (408) 806-7187
Fax: (408) 583-4006

BUILDING CROSS SECTIONS
825 PARMA WAY
APN 184-42-038

LOS ALTOS CALIFORNIA

Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
5
OF 7 SHEETS

PW PROJECT #
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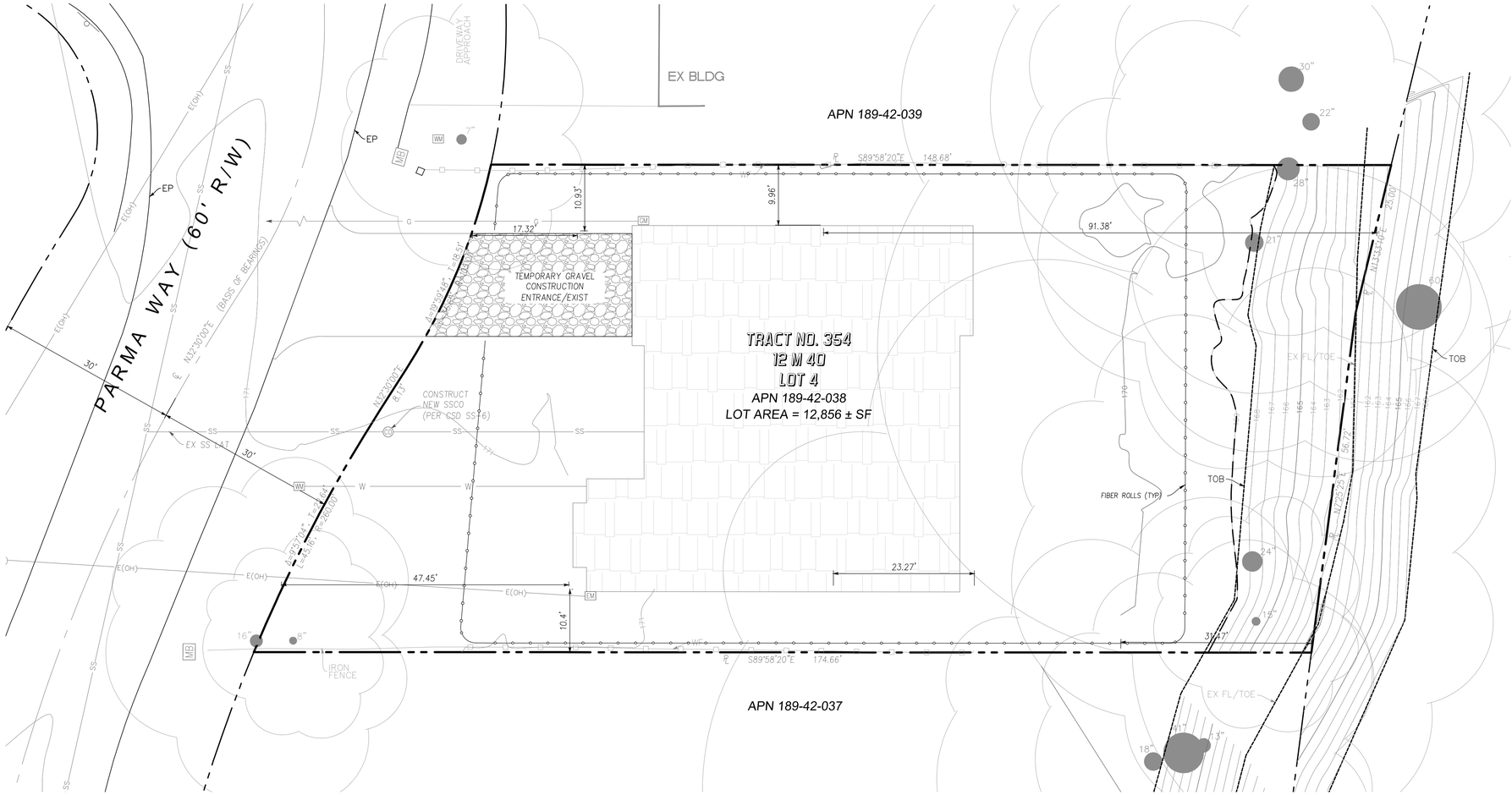

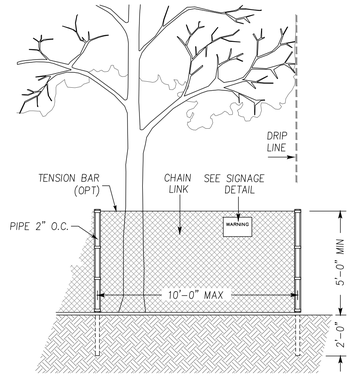

EXISTING TREE PROTECTION DETAIL

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY LOS ALTOS PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

LEGEND

- FIBER ROLLS
- TREE PROTECTION FENCE
- TEMPORARY DRAINAGE INLET PROTECTION
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST

GRAPHIC SCALE

0 5 10 20

(IN FEET)
1 inch = 10 ft.

NOTES:

1. EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANACT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE

BY	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
M. L.
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT. MOUNTAIN VIEW, CA 94040
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LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
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Fax: (408) 583-4006

EROSION CONTROL PLAN
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA

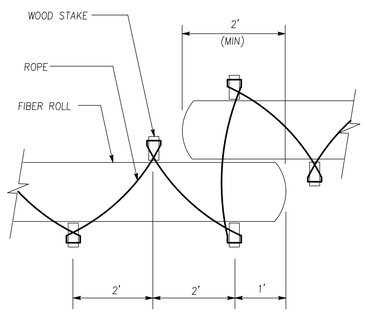
Designed: PT | Checked: NL | Date: 10/25/22
Project No.:

SHEET
6
OF 7 SHEETS

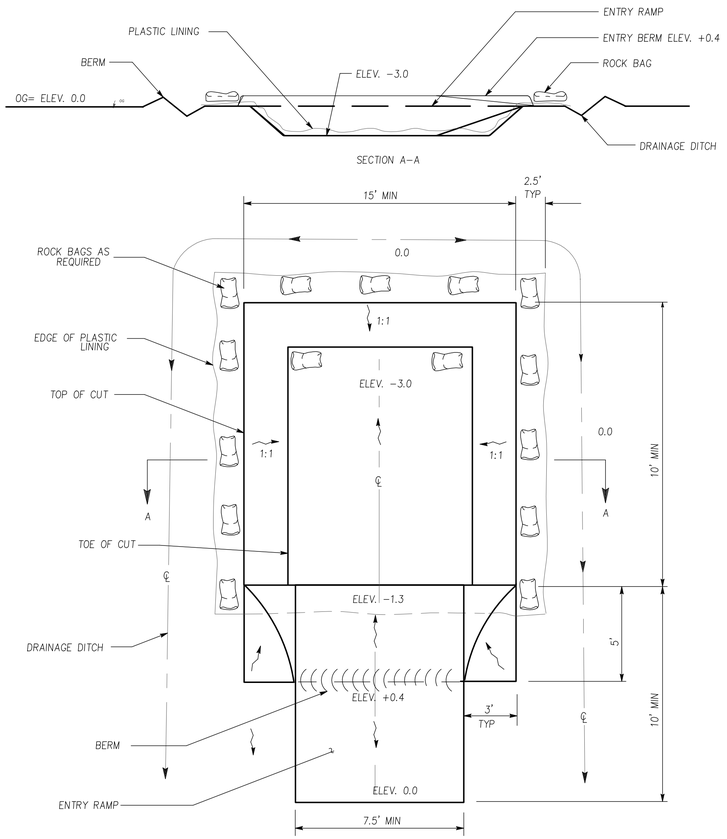
PW PROJECT #
.....

EROSION CONTROL NOTES:

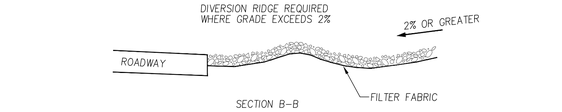
1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARTHWORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THE PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO
7. CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
8. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS. 8. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

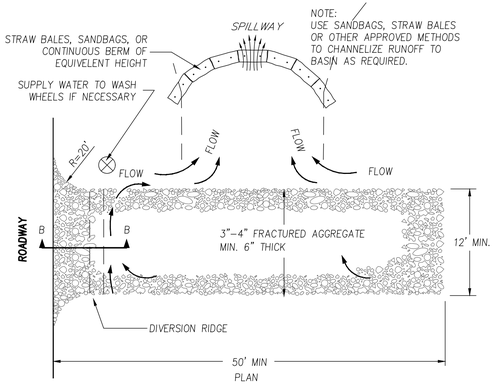


FIBER ROLLS ROPE RESTRAINT METHOD



TEMPORARY EQUIPMENT WASHING FACILITY
(BELOW GRADE)

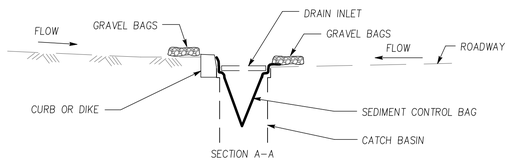


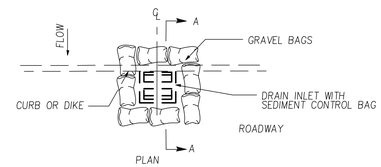


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

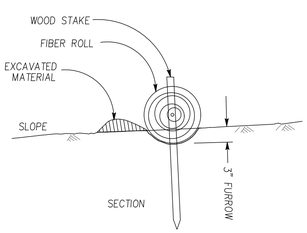
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABLIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

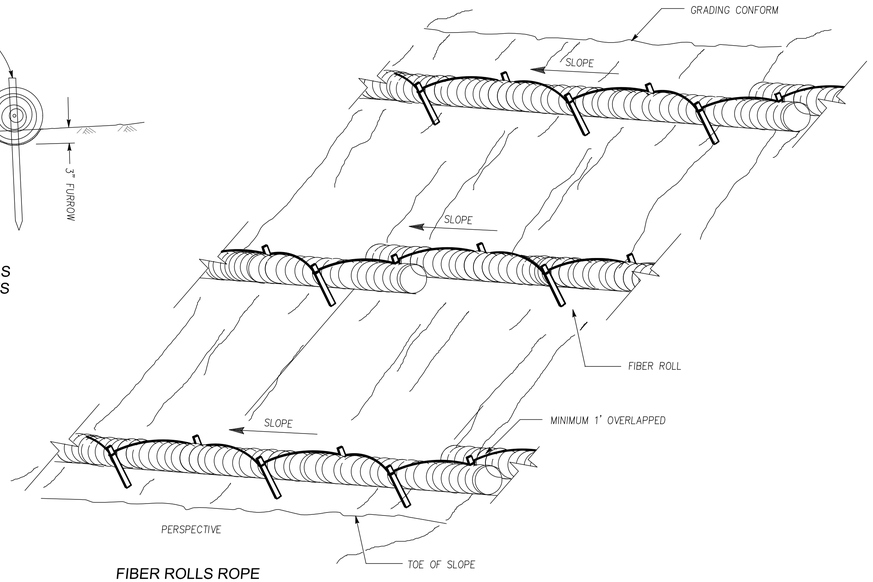




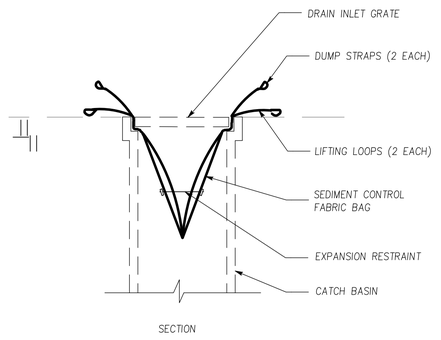
TEMPORARY DRAINAGE INLET PROTECTION
FOR PAVED AREAS EXPOSED TO TRAFFIC



FIBER ROLLS IN FURROWS

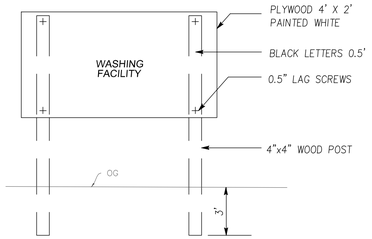


FIBER ROLLS ROPE RESTRAINT METHOD



SEDIMENT CONTROL BAG

NOTE:
THE TEMPORARY EQUIPMENT WASHING FACILITY SIGN SHALL BE INSTALLED WITHIN 20 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



SIGN ELEVATION

REVISIONS | BY | DATE

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

JAY & NIYATI YAGNIK
3368 MILTON CT, MOUNTAIN VIEW, CA 94040
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LC ENGINEERING
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Phone: (408) 806-7187
Fax: (408) 583-4006

EROSION CONTROL DETAILS
825 PARMA WAY
APN 184-42-038
LOS ALTOS CALIFORNIA
Project No.: | Designed: PT | Checked: NL | Date: 10/25/22

SHEET
7
OF 7 SHEETS

PW PROJECT #
.....

From: Linda DeMichiel
To: Public Comment - DRC; Sean Gallegos
Subject: Comment on SC22-0035 - 825 Parma Way
Date: Sunday, February 26, 2023 4:41:21 PM

Dear Mr Gallegos and Commissioners,

We are the neighbors at 640 Birchwood Court, at the rear of the property under review. We apologize that due to a family emergency we were unable to attend or provide feedback for the meeting on February 1.

We have reviewed the design plans for the new house. We find it attractive and think that it will be a lovely addition to the neighborhood.

Our concerns are in regard to the lack of any additional screening at the rear of the property, since it appears from the plans that the new house will extend about 15-20 feet further back on the lot than the current one.

While we hope that the mature oak trees will provide some screening of the second story of the new house, from our master bedroom we have considerable visibility into the area we believe will be the new family room and patio at the rear of the house.

We would therefore like to request that some non-deciduous shrubs be added to provide further screening along the rear hog wire fence. We note that the landscape plan includes Morella californica along the side fences in front and rear. We would appreciate if that, or some similar plants of at least fence height, could be added along the rear fence as well.

Thank you very much for your consideration.

Jim Davidson and Linda DeMichiel
640 Birchwood Court

From: Sofia Canova
To: Sean Gallegos
Cc: Public Comment - DRC; Adam Budelli
Subject: Re: In Reference to SC22-0035 – 825 Parma Way
Date: Monday, February 27, 2023 2:20:05 PM

Hi Sean,

We have reviewed the new design request and have the following concerns for consideration.

1. We remain concerned with the screening of the property between the subject property and ours. The landscaping plan does not include the 6 (15 gallon) screening trees that we requested. We did not accept the proposal to replace our existing fence, as we had already told Jenny Kang directly when she made the recommendation to us. The current fence + lattice is already 7.5 feet. Please note that they are also removing a current screening tree, #13 Purple Leaf Sand Cherry tree. We request that they plant a minimum of 6 (15 gallon) evergreen trees that would be maintained as hedges extending above the fence line to screen their building from our home. These trees would provide us with both privacy and reduce the appearance of the mass and bulk of the new building from our home. We are recommending Prunus Carolina trees.
2. There were 3 mature trees in the front yard (photo from Zillow posting attached). These 3 trees have been removed (current photo attached). The neighborhood has abundant trees in front yards. We request consideration for two mature trees to be planted in the front yard to reduce the appearance of bulk and mass of the property from the street and be in keeping with the character of the neighborhood.

We appreciate your consideration,
Sofia & Adam Budelli
805 Parma Way

On Wed, Feb 1, 2023 at 4:56 PM Sofia Canova <sofia.canova@gmail.com> wrote:

> To Whom It May Concern,
>
> We are the neighbors at 805 Parma, the immediate neighbors of the subject property. We have reviewed the design request and have the following comments for your consideration. We of course wish to be accommodating and welcoming to our new neighbors but wanted to share our concerns that we believe can be easily remedied.
>
> 1. We are concerned with the screening of the property between the subject property and ours. In the landscaping plan, they specify planting 3 (POD) and 3 (TEC). This area is where our master bedroom sits and we don't find those to be appropriate screening hedges. We request that they instead plant a minimum of 6 (15 gallon) Prunus carolina trees that would be maintained as hedges extending above the fence line to screen their building view from our side yard. Prunus Carolina trees are a screening solution often advocated by the City and are acceptable to us both in appearance and function.
>
> 2. The plans indicate that there are two existing trees in the front yard that will remain, a birch tree and a purple-leaf cherry tree. These trees have already been removed from the property. We ask that the two trees be replaced with mature trees to reduce the appearance

of bulk of the property from the street and be in keeping with the character of the neighborhood. Examples of appropriate trees may be Ginkgo, Chinese Pistache, Magnolia or Maple.

Sincerely,

Sofia and Adam Budelli

825
PARMA WAY