



DESIGN REVIEW COMMISSION MEETING AGENDA

7:00 PM - Wednesday, May 04, 2022

Via videoconference

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 242-4929 to participate in the conference call (Meeting ID: 148 231 6767 or via the web at <https://tinyurl.com/mwm68n5h>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. Design Review Commission Minutes

Approve minutes of the regular meeting of April 6, 2022.

ITEMS FOR CONSIDERATION/ACTION

DISCUSSION

2. SC21-0035 – Eric Keng – 944 Aura Way

Design review application for a new 4,010 square-foot two-story single-family residence with 2,692 square feet on the first story and 1,317square feet on the second story. A 798 square-foot detached accessory dwelling unit (ADU) is also proposed, but not subject to design review. A categorical exemption under Section 15303 of the California Environmental Quality Act Guidelines will be considered for this project. *Project Manager: Golden THIS ITEM WAS CONTINUED FROM THE APRIL 6, 2022 DRC MEETING DUE TO LACK OF QUORUM.*

3. SC21-0046 – Yun Li – 628 Cuesta Drive

Design Review for a two-story addition to an existing two-story house. The includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Manager: Liu THIS ITEM WAS CONTINUED FROM THE MARCH 2, 2022 DRC MEETING.*

4. SC21-0043 - Anat Shmariahu – 301 Spagnoli Court

Design Review for a two-story addition to an existing one-story house. The development includes a 28.40 square-foot addition at the first floor and a 935.67 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Manager: Liu*

5. SB9 Joint Commission Subcommittee

COMMISSIONERS' REPORTS AND COMMENTS

POTENTIAL FUTURE AGENDA ITEMS

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

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Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.

**MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF
THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, APRIL 6, 2022, BEGINNING AT 6:00
P.M. HELD VIA VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20**

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 419-1505 to participate in the conference call (Meeting ID: 147 172 8228 or via the web at <https://tinyurl.com/47m86y9y>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCpubliccomment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

**ESTABLISH QUORUM FOR STUDY SESSION - 6:00 PM JOINT STUDY SESSION WITH
PLANNING COMMISSION**

DRC PRESENT: Vice-Chair Ma, Commissioners Harding and Kirik
DRC ABSENT: Chair Blockhus and Commissioner Bishop
PC PRESENT: Chair Doran, Vice-Chair Mensinger, Commissioners Ahi, Roche and Steinle
PC ABSENT: Commissioners Bodner and Marek
STAFF: Interim Planning Services Manager Golden, Senior Planner Gallegos, Associate Planner Liu, City Attorney Houston and Deputy City Attorney Ramakrishnan

1. Review and Update SB9 Objective Standards

Review the City's SB9 Objective Standards, conduct Study Session to consider any appropriate modifications to the standards, provide direction to staff and/or recommendations to City Council, and consider possible formation of one or more ad hoc subcommittees to study the issue further.

STAFF PRESENTATION

Associate Planner Liu provided a presentation on the SB9 Objective Standards.

City Attorney Houston provided information on subcommittees and Brown Act rules.

COMMISSIONER QUESTIONS

Chair Doran asked for point of order and clarification and if they take public comment and then discussion.

Interim Planning Services Manager Golden advised to discuss and then take public comment.

Deputy City Attorney Ramakrishnan made comments on the last review to help frame the discussion for tonight's meeting.

Vice-Chair Ma asked what the timeline is after subcommittee formation and clarification on forming the subcommittees.

Interim Planning Services Manager Golden stated that the City Council directed staff to return in May, but staff will advise the Council in May if there is still discussion occurring with subcommittees. He said that the subcommittees shall not exceed a quorum of each of the commissions.

COMMISSIONER COMMENTS

Commissioner Kirk discussed injecting some of the DRC subcommittee issues on balconies, privacy, and double height spaces related to bulk and mass into the SB9 language to help formulate some good criteria for the administrative review for approval.

Vice-Chair Ma asked with the density getting higher with more housing, how does this relate to our tree protection policy, privacy impacts, and is it objective or subjective on tree removal?

Chair Doran asked if there is document discussion addressing fire access on secondary unit developments on lots.

Associate Planner Liu said that staff has not evaluated this, but we will reach out to Santa Clara County Fire to understand their requirements on driveway widths or turnarounds.

Deputy City Attorney Ramakrishnan said the Statute does require access but does not define what it is.

Vice-Chair Ma said they did not provide a report to outline the subcommittee meeting, but information was conveyed verbally, and the items outlined by the DRC regarding SB9 are in the agenda report.

Interim Planning Service Manager Golden provided some clarification on the previous review of SB9, this second review before the Commissions tonight, and said the goal for tonight is the creation of subcommittees and what the next step is for the Commissions.

PC COMMENTS

PC Comments or discussions to be included in further discussion with SB9.

Commissioner Ahi

- The flag lot scenario concerned him when it is the only feasible option for a lot. When you limit the height to one-story (20 feet) and the access corridor to 20 feet, it will constrain development on a lot of lots.
- FAR and Lot Coverage are both at 35% and when implementing SB9, it appears incorrect. It does not match the community and if we want these new projects to fit into Los Altos, we need it to work and we must think about it in that way.
- Suggested a solution is to keep the lot coverage at 30% and the FAR could be increased to 40% or 45% so you have a more balanced unit, and it doesn't look awkward.
- The plate heights are a little odd when 9 feet at the first story and 8.5 feet at the second story is the standard.
- He questioned the reason for having a 9-foot, 3-inch plate height for the first story and 8-foot, 3-inch second story plate height was and said it should be addressed to be consistent with the standard.
- Parcels are different in Los Altos, and we need to look to see what works in Los Altos neighborhoods.

Commissioner Roche

- The rear yard setback at 4 feet is an issue because it is very close to the neighbor and wants this to be reviewed.
- Different elevations of sites should be a consideration due to potential privacy impacts between neighbors.
- Consideration of window design and sill heights on second stories for privacy.

Deputy City Attorney Ramakrishnan stated that the four-foot rear setback is mandated by State law.

Chair Doran

- How will SB9 conflict with the building code.
- She needs more time to look at document.
- She wants to be part of subcommittee.
- When you decrease setbacks, what happens to the homes built that had to adhere to the building code.

Deputy City Attorney Ramakrishnan stated that building codes still apply with SB9. SB9 does not alter the building code, it alters zoning code and land use.

Vice-Chair Mensinger

- Can you build one house with four-foot setbacks under SB9?

Deputy City Attorney Ramakrishnan answered yes.

City Attorney Houston ask the Commissioners to please read the Department of Housing and Community Development's (HCD) FAQ's if they haven't already.

Vice-Chair Mensinger

- From a policy perspective, why is the state compelling us to use the setback in SB9?

Deputy City Attorney Ramakrishnan stated in general, there is a sense among legislature that local agencies impose too many regulations that limit housing development and setbacks are one of those issues.

Vice-Chair Mensinger

- We should look at the objective standards in reviewing all projects as having 4-foot setbacks as a starting point.

Commissioner Kirik

- Concerned SB9 is being used for circumventing the DRC concerns and neighbors on projects.
- Respect the existing Residential Design Guidelines and restrict the development of SB9 projects to preserve the character of Los Altos.
- He does not want to see dense clusters and upset neighbors in Los Altos.

Commissioner Ahi

- Responded that the goal is not to restrict housing development, but to have an incentive to promote more housing to meet the intent of SB9. It is a balance.

Deputy City Attorney Ramakrishnan

- We cannot have restrictions just to have restrictions.
- We can adopt objective standards with an intent to preserve the community character of Los Altos.

Chair Doran commented on the different perspectives of each Commission and the importance of being on the same page in the subcommittees.

Deputy City Attorney Ramakrishnan said it is great both Commissions are here to provide their expertise and input.

Vice-Chair Ma said the essence of SB9 is to create more housing units, but there needs to be a balance. We should use our local ordinance and Residential Design Guidelines as a basis in reviewing projects to preserve the character of single-family neighborhoods in Los Altos. He then asked for clarification on a project using SB9 to build a single house on the lot with a four-foot setback.

Deputy City Attorney Ramakrishnan clarified that yes, a two-story single-family home could be built with a four-foot setback and not be reviewed by the DRC. Only projects that do not qualify for SB9 or if the applicants voluntarily want to go through a different review process would you the DRC review a project.

Interim Planning Services Manager Golden clarified staff's recommendation in the staff report and how the Commissions may want to move forward.

Chair Doran and Vice-Chair Ma opened the meeting for public comment.

PUBLIC COMMENT

Anne Paulson said whatever standards the City chooses, make them easy to evaluate. Sometimes we get complex standards that make it hard for staff to follow and the applicant to understand like with ADUs and projects take longer.

Tim appreciates staff's support of SB9 development for taking care of his family.

Jeannine Valadez supports increased housing and multi-generational housing, supports the objective standards to incentivize housing development. Does not appreciate standards to block housing development.

Jill Woodford supports SB9 but concerned with the wrong development happening that does not respect privacy. She suggested increasing the ADU size to 1,500 square feet and relaxing the ADU restrictions to support SB9 for multi-generational housing and care giving.

The Alon family spoke in support of SB9 and multi-generational housing for care giving and relaxing the ADU regulations.

Monica Waldman stated that street access needs to be considered in special cases in neighborhoods when it comes to lot splits for safety reasons. She also noted that basements do not count as square footage so a development can be over the maximum allowed.

Chair Doran closed the public comment period.

Chair Doran commented on the options for forming a joint subcommittee of the two Commissions.

Vice-Chair Mensinger said it may be a good idea to have a combination subcommittee of the DRC and PC members.

Vice-Chair Ma agreed and wanted to have an internal subcommittee from each commission.

Commissioner Harding nominated the current DRC subcommittee members of Vice-Chair Ma and Commissioner Kirik for the joint subcommittee.

Deputy City Attorney Ramakrishnan said it appears to be a request one joint subcommittee.

Chair Doran and Commissioner Kirik both want to have internal discussions within the commissions at their next meetings regarding subcommittee members.

Vice-Chair Ma agreed.

Chair Doran and Vice-Chair Ma re-opened the public comment period.

PUBLIC COMMENT

Peter Mills raised the issue of double lots and wanting access and driveways from the frontage of existing buildings. There are street access issues on Salano Drive and others, so there is a need to look at the objective standards and how SB9 will affect the substandard streets. He invited the commissioners to his street to understand the issue and said to contact him at his email.

Chair Doran closed the public comment period.

PC Action

Action: Upon a motion by Vice-Chair Mensinger, seconded by Chair Doran, the Commission moved to appoint up to three members of the Planning Commission to a joint subcommittee to evaluate the objective standards of SB9.

The motion was approved (5-0) by the following vote:

AYES: Ahi, Doran, Mensinger, Roche and Steinle

NOES: None

ABSENT: Bodner and Marek

DRC Action

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Kirik, the Commission moved to establish two members of the Design Review Commission on a joint committee for future conversation on SB9.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus and Bishop

City Attorney Houston and Deputy City Attorney Ramakrishnan stated there is no consensus needed, and the DRC can have its own recommendations and PC can have its recommendations to the Council.

STUDY SESSION ADJOURNMENT: 7:19 PM

BREAK – Will reconvene at 7:25 PM

ESTABLISH QUORUM FOR REGULAR MEETING - 7:26 PM

PRESENT: Vice-Chair Ma, Commissioners Harding and Kirik

ABSENT: Chair Blockhus and Commissioner Bishop

STAFF: Interim Planning Services Manager Golden, Senior Planner Gallegos and Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Peter Mills made a comment regarding SB9, and he would like the objective standards state that someone subdividing a lot shall access the housing units where there is currently access provided. No driveways or walkways from rear property line that would allow parking on both sides of the narrow street and impede access for vehicles.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

2. Design Review Commission Minutes

Approve minutes of the regular meeting of March 16, 2022.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission approved the minutes of the regular meeting of March 16, 2022 as written.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

DISCUSSION

Vice-Chair Ma stated a conflict of interest for agenda item #4 at 944 Aura Way and said the project would have to be continued to another meeting.

Interim Planning Services Manager Golden suggested making a motion to continue the project to a date certain for the next meeting on May 4, 2022.

Due to lack of a quorum to make the vote, the project was continued by default to the next meeting.

3. SC21-0027 - Farnaz Khadiv – 2256 Deodara Drive

Design Review for a two-story addition to an existing two-story house. The project includes a 774 square-foot addition at the first story and a 703 square-foot addition at the second story with a new 469 square-foot basement. This project will be considered categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos* This item was continued from the March 17, 2022 DRC meeting.

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC21-0027 subject to the listed findings and conditions and answered questions from Commissioner Kirik and Vice-Chair Ma.

APPLICANT PRESENTATION

Project applicant Farnaz Khadiv and owner Roza Alon provided a project presentation.

Alon Family thanked Commissioner Kirik for his insightful feedback. At the time of the November meeting, she was not thrilled. After going through the process, she is overall more pleased with the design. She thanked him for his honest feedback. With regard to first floor, we have substantially reduced the appearance of bulk and have forwarded the neighbor letters.

DRC QUESTIONS TO APPLICANT

None.

PUBLIC COMMENT

Neighbor David Norlander spoke in support of the project.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission approved design review application SC21-0027 subject to the staff report findings and conditions.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

4. SC21-0035 – Eric Keng – 944 Aura Way

Design review application for a new 4,010 square-foot two-story single-family residence with 2,692 square feet on the first story and 1,317 square feet on the second story. A 798 square-foot detached accessory dwelling unit (ADU) is also proposed, but not subject to design review. A categorical exemption under Section 15303 of the California Environmental Quality Act Guidelines will be considered for this project. *Project Manager: Golden* **THIS ITEM WAS CONTINUED DUE TO LACK OF A QUORUM**

5. SC21-0056 – Walter Chapman - 808 Pico Lane

Design Review for a two-story addition to an existing one-story house. The development includes a 788 square-foot addition at the first floor and a 779 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0056 subject to the listed findings and conditions and answered questions from Commissioner Kirik and Vice-Chair Ma.

DRC QUESTIONS TO STAFF

Commissioner Kirk asked whether the neighboring property was in PUD.

Vice-Chair Ma asked a question on landscaping and if the neighbor wants to have a taller fence and trees for privacy.

APPLICANT PRESENTATION

Project designer Walter Chapman presented the project. He said that when the plans were submitted, the owner was going to use aluminum windows, the problem with clad windows is they have less of an architectural issue, and the owner would like to go with black vinyl with trim on the windows.

Recommended Revisions

- Revise window to vinyl material with quality wood trim
- Will add lattice to rear fence to improve privacy

The property owner did not speak.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked the applicant if he can reduce the second story plate height by lowering it to an 8-foot plate height at the second story.

Applicant Walter Chapman stated that a reduced height is too low in scale and looks like a small box on house, and the taller height gives it a more farmhouse look.

Commissioner Kirik said that the first thing that struck him is the window of neighbors, it is a different situation. He would want it addressed with lattice on fence to address privacy. He then asked why there wasn't a landscape plan and to please do something to address the neighbor issue.

Applicant Walter Chapman stated that there are quite a few trees on the site, the owner's intention is to use the yard for planting, and they didn't want to alter landscape plan. He said the willow tree is not a good choice and rather than dictating to owners, he would like the two owners to resolve the issues.

Vice-Chair Ma said he needs to hear from the neighbor.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Kirik, the Commission approved design review application SC21-0056 subject to the staff report findings and conditions with the following additional condition:

- The applicant and neighbor at 50 Chester Circle shall work together on landscaping plantings to address concerns regarding privacy by time of final inspection.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

Make all Planning Commissioners attend five DRC meeting to understand the ministerial guidelines.

ADJOURNMENT

Chair Blockhus adjourned the meeting at 8:37 PM.

Sean Gallegos
Senior Planner

DRAFT



DATE: May 4, 2022
 AGENDA ITEM #2

TO: Design Review Commission
FROM: Steve Golden, Interim Planning Services Manager
SUBJECT: SC21-0035 – 944 Aura Way

RECOMMENDATION:

Approve design review application SC21-0035 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new 4,010 square-foot two-story single-family residence with 2,692 square feet on the first story and 1,317 square feet on the second story. A 798 square-foot detached accessory dwelling unit (ADU) is also proposed, but not subject to design review. A categorical exemption under Section 15303 of the California Environmental Quality Act Guidelines will be considered for this project since it involves the construction of one single-family residential unit. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Medium Lot
ZONING: R1-10
PARCEL SIZE: 12,639 square feet
MATERIALS: Concrete roof tile; stucco exterior siding; horizontal wood siding; and wood windows with aluminum cladding; and wood and precast concrete window trims

	Existing	Proposed	Allowed/Required
COVERAGE:	1,803 square feet	3,036 square feet	3,791 square feet
FLOOR AREA:			
1st Floor	1,709 square feet	2,692 square feet	
2nd Floor	-	1,317 square feet	
Total	1,709 square feet	4,010 square feet	4,014 square feet
SETBACKS:			
Front	43 feet	25 feet	25 feet
Rear	96 feet	81.75 feet	25 feet
Right side (1 st /2 nd)	10 feet	10 feet/10.8 feet	7 feet/14.5 feet
Left side (1 st /2 nd)	10.3 feet	8 feet/20.6 feet	7 feet/14.5 feet
HEIGHT:	16 feet	24.8 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on the south side of Aura Way, west of Miramonte Avenue and just north of the Loyola Corners neighborhood commercial area. The immediate neighborhood is best defined as a Diverse Character Neighborhood, according to the City's Residential Design Guidelines. Many of the lots fronting onto Aura Way are narrow deep lots (over 180 feet) with residences located towards the front of the properties, however there are also many lots that are more symmetrically shaped with respect to width and depth. Most of the residences in this neighborhood have gone through various forms of modifications, including single-story and two-story additions. Some residences have retained their original architectural characteristics and aesthetics, whereas other residences have had more extensive modifications and have introduced new architectural styles and exterior materials that have added to the diversity or architectural characteristics and appearances in the neighborhood. Based on staff observation of the architectural designs, materials, and styles present in the neighborhood, it is likely that modifications to individual residences have occurred during different time periods, giving rise to the incorporation of popular architectural features at the time those modifications occurred contributing to the diverse appearances. That being said, most of the homes have exterior appearances that relate to one another such as predominant gable and hipped roof forms and share similar scale, bulk, and massing.

With regards to landscaping, most of the properties along Aura Way have medium to large trees in the front yard with diverse mature front yard and side yard landscaping visible from the street.

Narrow Lot

Pursuant to Section 14.06.080, for lots that are less than 80 feet in width (referred to as "narrow" lots), the side yard setback shall be ten percent of the lot width, with seven and one-half feet added for any portion of the structure which is two stories in height. The lot as shown on Sheet SK-1 of the design plans (Attachment E) is 70 feet in width; therefore, the minimum first-story side yard setback is 7 feet and the minimum second-story side yard setback is 14.5 feet.

DISCUSSION

Design Review

According to the Design Guidelines, in a Diverse Character Neighborhood, good design has its own design integrity while incorporating some design elements and materials found in the neighborhood. Mitigation for items such as size and bulk may be used for some designs depending on the relationship of a home to its neighbors.

The applicant proposes to demolish the existing single-story residence and accessory structures in the rear portion of the property and construct a new 4,010 square-foot, two-story residence with 2,692 square feet on the first story including an attached two-car garage and 1,317 square feet on the second story. In addition, a detached 798 square-foot accessory dwelling unit (ADU) is also proposed, but is not considered part of this design review and will be reviewed ministerially for compliance with municipal code requirements per state law and Chapter 14.14 of the Zoning Code.

The new two-story residence is proposed to have a front yard setback of 25 feet, whereas the current residence is setback 43 feet and compliance with the 25-foot front yard setback requirement. The proposed rear yard setback is 81.75 feet measures to the attached covered rear porch which is more than triple the minimum 25-foot rear yard setback required. As discussed above, the lot qualifies as a narrow lot and therefore has reduced side yard setbacks as compared to standard lots in the R1-10 zoning district and the proposed design exceeds the minimum first and second story side yard setbacks required. Please refer to the table above for more specific side yard setbacks proposed and as required pursuant to the R1-10 Zoning District standards for narrow lots.

The proposed two-story residence is a nondescript architectural style, but is characterized by the predominant features include the simple 4:12 pitch hipped roof forms, front entry porch, and mixture of stucco and wood siding. The massing of the second story is balanced over the first story with a small front facing gable generally centered on the second story. The gable element adds building articulation and helps break up the second story wall plane and massing into smaller elements. The building articulation along the front elevation of the first story including the front entry porch which projects outward, also breaks down the wall planes in smaller elements and reduces the overall massing. The majority of the exterior material is stucco, however, horizontal wood siding is accented at the front and side elevations, which further break down the massing of the building.

The overall height of the structure is 24.8 feet which conforms to the maximum height of 27 feet in the R1-10 zoning district. A nine-foot wall plate height is proposed at both the first story and second story. The proposed wall plate heights and the overall height of the structure is in keeping with existing one and two-story residences within the neighborhood, and neither set an extreme or appear out of scale with either the one or two-story residences in the neighborhood.

As previously described the project is applying stucco and horizontal wood siding for exterior materials. The window materials proposed are wood windows with aluminum cladding with wood trim applied to locations with wood exterior siding and precast concrete trim applied to locations with stucco siding as shown on the elevation plans (Sheets SK-3.1 and SK-3.2). The roofing material is proposed to be concrete tiles and the garage door is proposed to be a wood sectional door. All of these materials are considered high quality materials and will contribute to the visual appearance and character of the neighborhood.

Overall, the project appears to be an appropriate design within this Diverse Character Neighborhood and conforms to the Residential Design Guidelines and Design Review findings.

Privacy

As discussed above, the proposed side yard setbacks meet or exceed the minimum required and can be found in the table above. The proposed right-side (west) elevation includes three smaller windows with 4.5-foot windowsill heights at the second-story. There is fourth second story window with a 2.75 sill height, however, the designer has proposed to install obscured glass up to 4.75

from the floor. The window is considered a required egress window for the proposed bedroom and therefore could not have a finished sill height of more than 44 inches per Building Code. The proposed left-side elevation includes three small second story windows with six-foot window sill heights. In general, the Design Review Commission has previously considered 4.5-foot windowsill heights acceptable in eliminating direct views into neighboring properties at side elevations when a person is standing in the middle of the interior space. As described above, one of the windowsill heights is proposed to be lower, but the obscured glass is proposed to mitigate potential privacy impacts. Larger windows are proposed at the second story along the rear elevation and there is also a second story deck/balcony proposed. The proposed setback from the rear property line to the balcony is 87.75 feet and the proposed setback from the left side property line is 20.66 feet. The design guidelines considers balconies with a depth of four feet to be more passive and therefore, less likely to introduce privacy impacts. The proposed deck is six feet in depth but has incorporated design features including six-foot high solid walls on both sides of the deck and a solid railing. Furthermore, evergreen landscape screening is proposed along the right-side and rear property lines, that will provide further screening of direct views into the abutting properties. Overall, given the taller windowsill heights, proposed obscured glass of the window with the lower windowsill height, increased setbacks, design of the second story deck, and landscape screening planting, the proposed design should avoid unreasonable interference with views and privacy.

Landscaping and Trees

The existing property has a total of 13 trees that have been detailed in an arborist report submitted by the Applicant (Attachment B). The report contains the tree types, sizes and condition of the trees. Of the 13 trees, 12 are protected according to Chapter 11.08 Tree Protection Regulations. Five trees are protected because they are in the public right-of-way and seven trees are protected because they are 48 inches or more in circumference. A total of seven trees (all protected) are proposed to be removed including the five Pittosporum in the public right-of-way which the arborist describes having grown to be a thick hedge that has not been maintain and many of those plants have visible decay in the trunks. The other two trees include a Black walnut and Douglas fir in the front yard. Based on the arborist report, staff recommends removal of the trees based on the condition of the tree with respect to disease, proximity to existing or proposed structures, or the necessity to remove the tree for economic or other enjoyment of the property. A number of other large trees on the property will be preserved including several Redwoods, a Coast live oak, and California pepper. However, given the proposed removal of most of the large front yard trees, staff recommended the applicant plant at least one Category II sized street tree, which has been incorporated into the plans. There are an additional eight trees that are primarily along the left side property line that are not identified in the arborist report but shown on the survey and site plans. These are smaller and lower priority trees for preserving as compared to the trees identified in the report and are proposed for removal to accommodate the improvements associated with the proposed residence. In addition to the tree planting and privacy screening, other proposed plantings of shrubs, groundcovers, and hardscape and softscape features have been incorporated into the proposed landscape plan (see Sheet L1). The new or rebuilt landscaping would need to satisfy the Water Efficient Landscape Ordinance requirements since it exceeds the 500 square-foot landscaping threshold for new residences.

ENVIRONMENTAL REVIEW

This project should be considered categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act since it involves the construction of one single-family residence in an area zoned for residential uses.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property and mailed to 12 property owners in the immediate vicinity. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements (Attachment C).

This application was submitted prior to the establishment of the filing requirement requiring the applicant/property owner to inform the neighbors of the proposed design. The applicant reached out to the abutting neighbors on either side, but staff is unaware if any response was received by the applicant (Attachment D). Staff recommended further communication by the applicant/owner to the neighbors and address any concerns neighbors might have prior to the meeting and provide documentation to staff. The applicant has communicated to staff that they reached out to additional neighbors, however, no additional materials have been provided by the applicant and no public correspondences have been received by staff at the time of this report publication.

Cc: Eric Keng, Applicant/Designer
Tristar Investment LLC, Property Owner

Attachments:

- A. Vicinity and Public Notification Map
- B. Arborist Report
- C. Public Notice Billboard Sign
- D. Applicant Submitted Correspondence with Neighbors
- E. Design Plans

FINDINGS

SC21-0035 – 1260 Payne Dr

With regard to the second story addition to an existing one-story house, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC21-0035 – 944 Aura Way

GENERAL

1. **Expiration**

The Design Review Approval will expire on April 6, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

The approval is based on the plans and materials received on March 24, 2022, except as may be modified by these conditions and as specified below:

- a. One Category II street tree minimum 15 gallon or 24 inch box container size shall be planted in the front yard prior to final inspection and will serve as a replacement tree for removed trees.
- b. The second story deck shall include solid walls on both sides that are a minimum of six feet in height.

3. **Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

4. **Protected Trees**

Tree Nos. 8-13 shown on Sheet SK-1 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. **Tree Removal**

Trees Nos. 1-7 shown to be removed on plan Sheet SK-1 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification. The applicant shall plant one Category II street tree, minimum 15 gallon or 24 inch box container size prior to final inspection to serve as a replacement tree for the proposed trees removed.

6. **New Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

7. **Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

8. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

9. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. Tree Protection Note

On the grading plan and/or the site plan, show all tree/landscape protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

13. Reach Codes

Building Permit Applications submitted on or after January 14, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Air Conditioner Sound Rating

The plans shall show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. The Applicant shall provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and

in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

16. Storm Water Management

The Plans shall show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

17. California Water Service Upgrades

The Applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

18. Underground Utility Location

The Plans shall show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection shall be installed around the dripline(s) of the trees as shown on the site plan approved with the building permit plans. Fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Landscape Privacy Screening

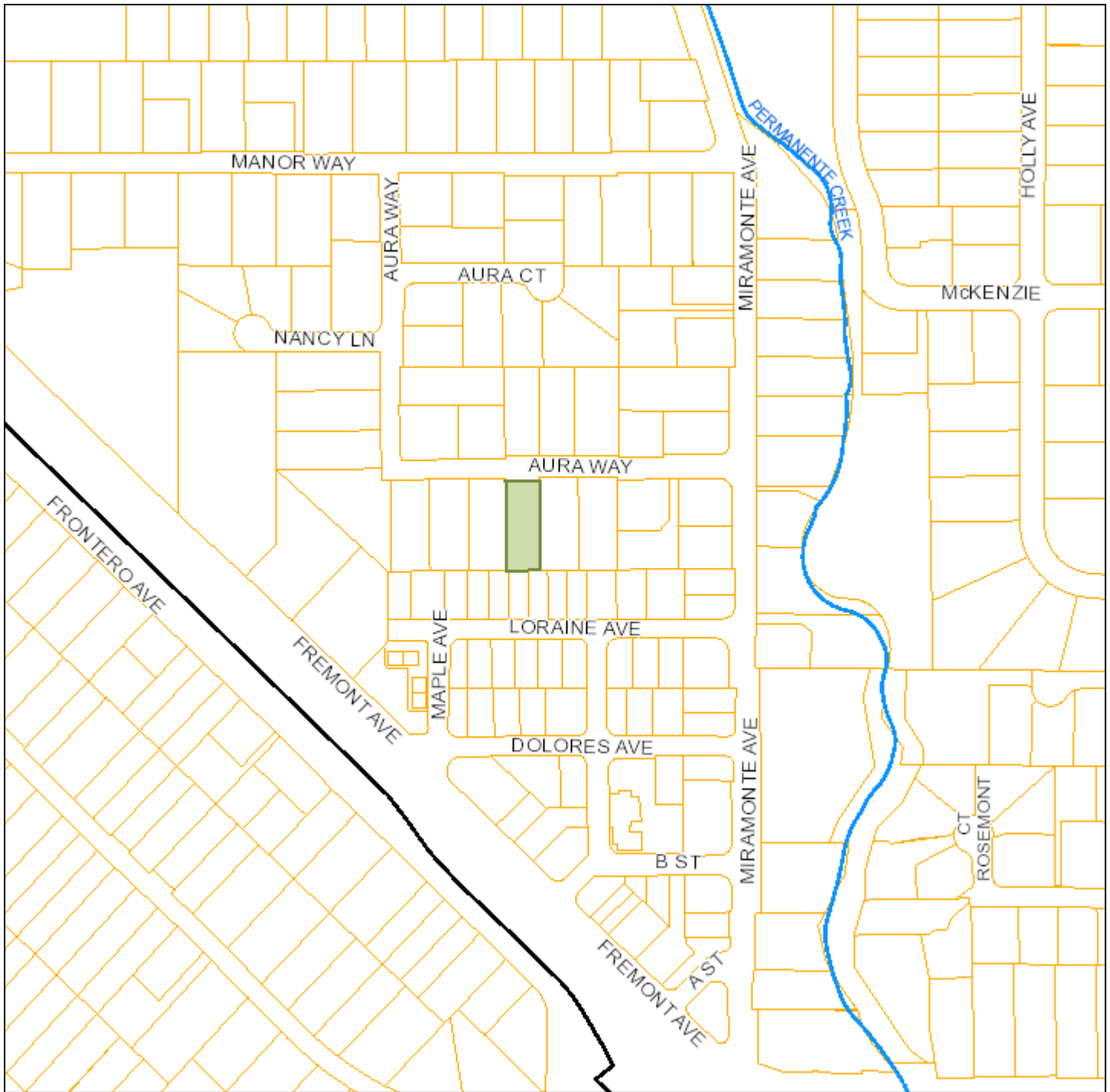
The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

23. Green Building Verification

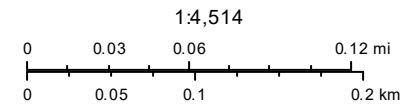
Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

Vicinity Map

Agenda Item 2.



Print Date: October 11, 2021



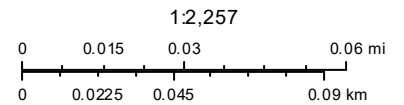
- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel








The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Notification Map



Print Date: October 11, 2021



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Kiely Arborist Services LLC

Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650- 515-9783

May 24, 2021

ATTACHMENT B

Javelin Construction INC
Attn: Mr. Frank Leung
1162 Pescadero Street
Milpitas CA 95035

Site: 944 Aura, Los Altos, CA

Dear Mr. Leung,

As requested on Tuesday, March 23, 2021, I visited the above site for the purpose of inspecting and commenting on the trees. New construction is planned for this site and your concern as to the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale. An A-F grade average for the trees overall condition is also included.



- | | | |
|----------|-----------|---------------|
| 1 - 29 | Very Poor | F - Very poor |
| 30 - 49 | Poor | D - Poor |
| 50 - 69 | Fair | C - Fair |
| 70 - 89 | Good | B - Good |
| 90 - 100 | Excellent | A - Excellent |

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Large walnut #6 with past topping cuts and decay at topping locations.

944 Aura/5/24/21

(2)

Survey:

Tree#	Species	DBH	Grade	CON	HT/SP	Comments
1X	Pittosporum (<i>Pittosporum eugenioides</i>)	12.1-12.6	D	45	30/25	Fair vigor, poor form, decay on trunks.
2X	Pittosporum (<i>Pittosporum eugenioides</i>)	9.4	D	40	30/25	Fair vigor, poor form, decay on trunks.
3X	Pittosporum (<i>Pittosporum eugenioides</i>)	8.5-4.5	C	50	25/20	Fair vigor, poor-fair, leans east.
4X	Pittosporum (<i>Pittosporum eugenioides</i>)	8.8-11.2	C	50	25/25	Fair vigor, fair form, multi leader at 1 foot.
5X	Pittosporum (<i>Pittosporum eugenioides</i>)	10.5	D	40	30/25	Fair vigor, fair form, heavily trimmed.
6X	Black walnut (<i>Juglans nigra</i>)	48.6	D	40	40/45	Poor-fair vigor, poor form, topped in past, severe decay on trunks.
7X	Douglas fir (<i>Pseudotsuga menziesii</i>)	28.7	C	50	75/40	Fair vigor, poor form, topped in past, over extended limbs in canopy.
8X	Coast live oak (<i>Quercus agrifolia</i>)	35.8	B	70	50/45	Fair vigor, fair form, leans south.
9	Privet (<i>Ligustrum japonicum</i>)	3x6"	C	55	25/20	Good vigor, poor form, multi leader at one foot.
10	California pepper (<i>Schinus mole</i>)	20.4	C	6035/35		Fair vigor, fair form, codominant at 12 feet.
11	Redwood (<i>sequoia sempervirens</i>)	53.5	B	70	85/35	Fair vigor, fair form, one of three in grove.
12	Redwood (<i>sequoia sempervirens</i>)	36.3	B	70	85/35	Fair vigor, fair form, one of three in grove.
13	Redwood (<i>sequoia sempervirens</i>)	29.9	B	70	85/35	Fair vigor, fair form, one of three in grove.

X indicates removal planned

944 Aura/5/24/21

(3)



Summary:

The trees on site are for the most part imported trees to Los Altos. One native oak is present on the property. There is an over-abundance of trees on the property. To facilitate construction several trees will be removed. The pittosporums #1-5 are a hedge that was let go. The trees are all suppressed and have generally poor form.

The large black walnut has been cut back severely and has decay from the large heading cuts. Failure of the leaders is likely making the tree an immediate hazard.

The large Douglas fir #7 and the coast live oak #8 are poorly located and the trees do not allow the property to be properly developed. Removal of these trees is a viable option. The following tree protection plan should be followed to help reduce impacts to the retained trees.

Douglas fir #7 is poorly located and has been topped in the past.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link (minimum 12 gauge) supported by 2 inch galvanized iron post pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. This detail shall appear on grading, demolition, and building permit plans. The location for the protection fencing can be determined by the formula: One foot per inch of diameter. For example a 20" diameter tree shall have a 20' radius from the perimeter of the trunk or a 20 foot tree protection zone. Any deviation in determining the tree protection zone will require approval by the Town Arborist and Site Arborist.

No excavation shall be allowed inside tree protection zones without the Site Arborist consent. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. It is recommended to mulch the tree protection zones using 4-6 inches of wood chips. Tree protection fencing can only be removed at the end of the project by approval from the Town Arborist.

Root cutting

Any roots to be cut should be monitored and documented. Large roots measuring 2 inches in diameter or larger will need to be inspected by the site arborist before cut. If possible roots should be cut back to sound lateral roots under the supervision of the Site Arborist. The site arborist will likely recommend irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of

944 Aura/5/24/21

(4)

burlap and kept moist. The site arborist will be on site for excavation near all protected trees on site. If injury is to take place to tree roots proper mitigation measures will need to be applied.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug in combination with an air spade when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

All trenching within a tree protection zone will need to be observed by the Site Arborist so that proper mitigation measures can be applied.

Grading

The grading contractors are required to meet with the Project Arborist and the Town Arborist at the site prior to beginning grading to review tree protection measures. The Project Arborist shall perform an inspection during the course of rough grading adjacent to the tree protection zone to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The Site Arborist shall be notified at least 48 hours before an inspection is needed. If compaction from grading has taken place within a tree protection zone proper mitigation measures will need to be applied.

Irrigation

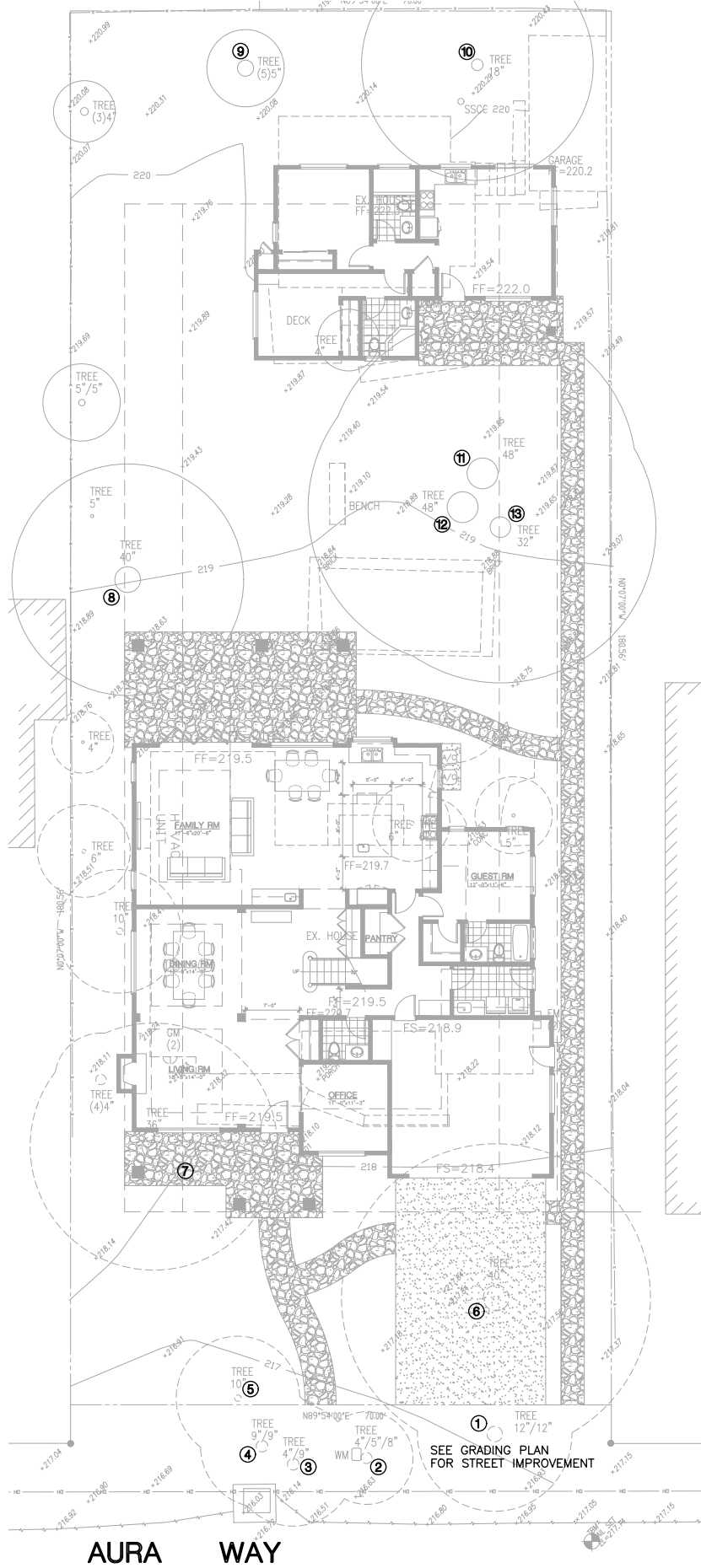
Normal irrigation should be maintained throughout the entire length of the project. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption. The native oak trees on site shall not be irrigated unless their root zone is traumatized. Any existing irrigation underneath native oak trees should be permanently suspended.

Kielty Arborist Services can be reached at (650) 515-9783 (Kevin), (650) 532-4418 (David), or by email at kkarbor0476@yahoo.com. This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A



AURA WAY



NOTICE OF DEVELOPMENT PROPOSAL

PROJECT TITLE: 944 AURA WAY

Project description:
Demolish existing single story residence and detached garage, redesign a new 2 story residence with attached 2-car garage and detached 2 bedroom accessory dwelling unit. The new house to have living room, dining room, kitchen, family room, 2nd floor bedroom, suite on the 1st floor, 2 bedrooms, suite and -rural bathroom, suite on the 2nd floor. The new house will be located on the same location as existing house. The trees at front property line and driveway leading to garage will be removed. Traffic trees on site will be protected during construction per arborist report.



Applicant
ERIC KING
325 KIMBERLY & BIRDING
GARDEN
GARDEN, CA 94024
949.253.9676
eric.king@photon.com

Project planner
Steve GOSPEL
06500 847-2875
sgospel@rcosblwa.gov

Public Meeting Dates

property owner
KIMBERLY LEVINE
POSTAL INVESTMENT LLC
06500 253-9676
klevine@construct.com@gmail.com

PUBLIC MEETING NOTICE

Wednesday, April 6, 2022 at 7:00 pm
The Design Review Committee will hold a public meeting to consider the project in the matter and will meet with all interested parties for public comment.
The meeting will be held at the following location:
City of San Jose, Design Review Committee
City Hall, 650 California Street, 5th Floor, San Jose, CA 95133
The meeting will be held on the following date:
Wednesday, April 6, 2022 at 7:00 pm
The meeting will be held at the following location:
City Hall, 650 California Street, 5th Floor, San Jose, CA 95133
The meeting will be held on the following date:
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Certified Mail Fee	\$3.75	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$0.78	
\$		
Total Postage and Fees	\$4.53	
\$		

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 -6 2021
 12/06/2021
 PALO ALTO 94301

Sent To **CURRENT RESIDENCE**
 Street and Apt. No., or PO Box No. **930 AURA WAY**
 City, State, ZIP+4® **LOS ALTOS, CA 94024**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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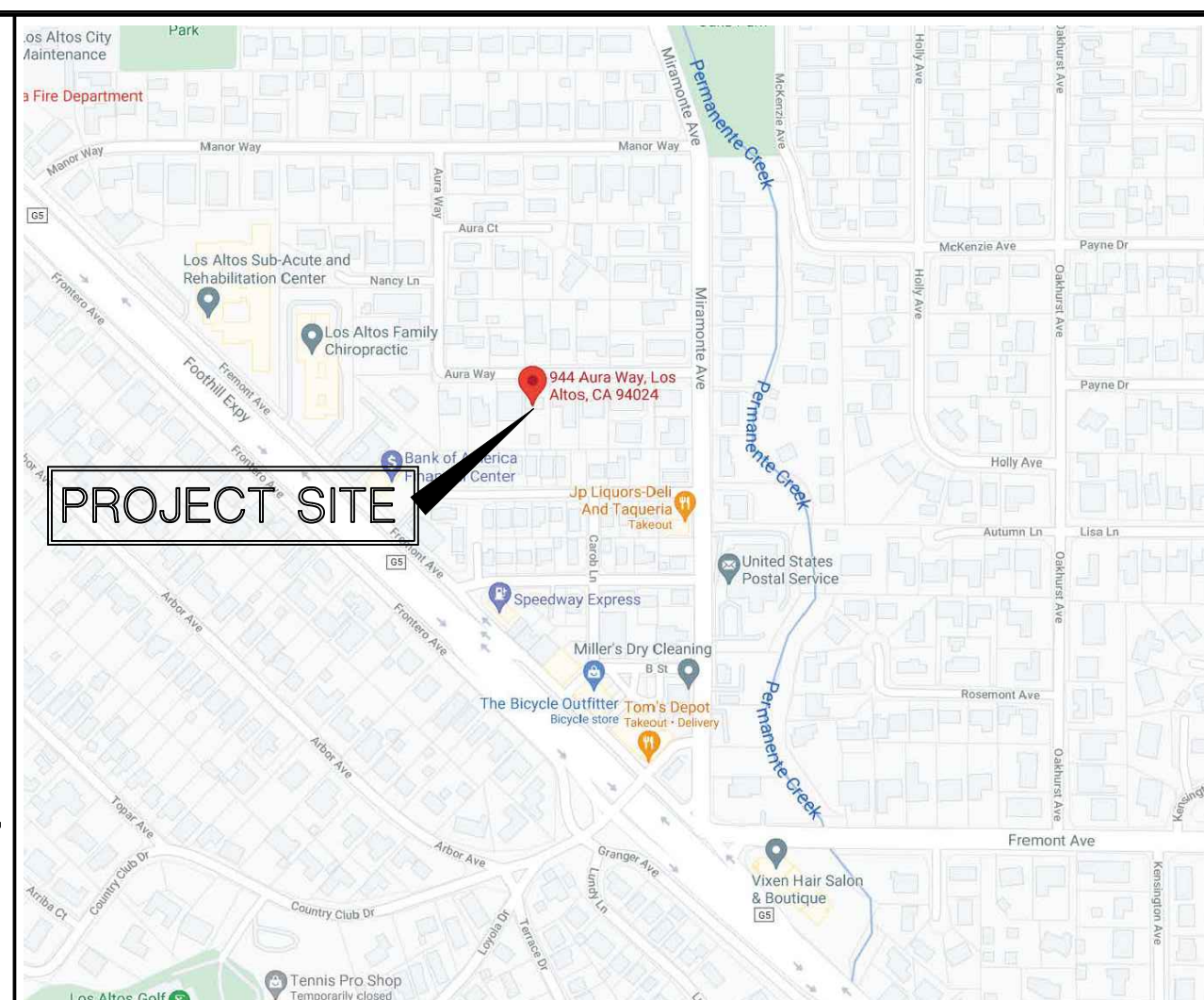
OFFICIAL USE

Certified Mail Fee	\$3.75	
\$		\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$1.36	
\$		
Total Postage and Fees	\$5.11	
\$		

Postmark Here
 -6 2021
 12/06/2021
 PALO ALTO 94301

Sent To **CURRENT RESIDENCE**
 Street and Apt. No., or PO Box No. **950 AURA WAY**
 City, State, ZIP+4® **LOS ALTOS, CA 94024**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



PROJECT TEAM

SHEET INDEX

OWNER:
TRISTAR INVESTMENT LLC.
944 AURA WAY,
LOS ALTOS, CA 94024

TITLE 24:
TO BE DETERMINED

ARCHITECT:
DL ARCHITECTURE & PLANNING
616 RAMONA ST., STE. 21
PALO ALTO, CA 94301
(650) 321-2808
erickeng@elhome.com

STRUCTURAL ENGINEER:
TO BE DETERMINED

SURVEYOR/CIVIL ENGINEER:
RW ENGINEERING, INC.
505 ALTAMONT DRIVE,
MILPITAS, CA 95035
(408) 262-1899
rwengineering@gmail.com

LANDSCAPE ARCHITECT:
YH LANDSCAPE DESIGN
3357 SAINT MICHAEL CT.
PALO ALTO, CA 94306
(415) 694-0800
huang2010@yahoo.com

ARCHITECTURAL:
SK-0.1 AREA PLAN, VICINITY MAP, PROJECT DATA
SK-0.2 STREETScape
SK-1 SITE PLAN, TREE LIST
C-1 TOPOGRAPHIC MAP
SK-2.1 PROPOSED 1st FLOOR PLAN
SK-2.2 PROPOSED 2nd FLOOR & ROOF PLAN
SK-2.3 FLOOR AREA CALCULATIONS
SK-2.4 ADU FLOOR PLAN AND EXTERIOR ELEVATIONS
SK-3.1 PROPOSED EXTERIOR ELEVATIONS
SK-3.2 PROPOSED EXTERIOR ELEVATIONS
SK-4.1 BUILDING SECTIONS

CIVIL:
C-1 GRADING AND DRAINAGE PLAN
C-2 EROSION CONTROL PLAN
C-3 STANDARD DETAILS

LANDSCAPE:
L-1 LANDSCAPE PLAN
L-2 PLANTING SCHEDULE & PLANT PHOTOS

PROJECT DATA

SCOPE OF WORKS

A. APN: 189-14-089
B. ZONING: R1-10
C. FLOOD ZONE: X
D. COVERED PARKING SPACES: 2

DEMOLISH EXISTING SINGLE STORY RESIDENCE AND DETACHED GARAGE, REDESIGN A NEW 2 STORY RESIDENCE WITH ATTACHED 2-CAR GARAGE AND DETACHED 2BEDROOM ACCESSORY DWELLING UNIT, THE MAIN HOUSE TO HAVE LIVING ROOM, DINING ROOM, KITCHEN, FAMILY ROOM AND GUEST BEDROOM SUITE ON THE 1st FLOOR, 2 BEDROOM SUITES AND MASTER BEDROOM SUITE ON THE 2nd FLOOR, THE NEW HOUSE WILL BE LOCATED THE SIMILAR FOOTPRINT OF EXISTING HOUSE THE TREES AT FRONT PROPERTY LINE AND WITHIN NEW BUILDING AREA WILL BE REMOVED, OTHER TREES ON SITE WILL BE PROTECTED DURING CONSTRUCTION PER ARBORIST REPORT

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: (main house) <i>Land area covered by all structures that are over 6 feet in height</i>	1,803 square feet (14.2%)	3,036 square feet (24.0%)	3,791 square feet (30.0%)
FLOOR AREA: (main house) <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 1,709 sq ft 2nd Flr. --- sq ft Total: 1,709 sq ft (13.5%)	1st Flr. 2,692 sq ft 2nd Flr. 1,317 sq ft Total: 4,010 sq ft (31.7%)	4,014 square feet (31.7%)
SETBACKS: (main house)			
Front	43 feet	25 feet	25 feet
Rear	96 feet	81.5 feet	25 feet
Right side (1st/2nd)	10 feet / --- feet	10 feet / 10.8 feet	7 feet / 14.5 feet
Left side (1st/2nd)	10.3 feet / --- feet	8 feet / 20.8 feet	7 feet / 14.5 feet
HEIGHT:	16 feet	24'10" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

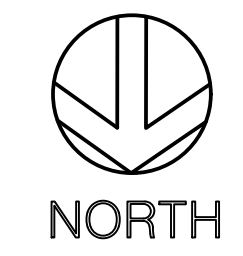
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1,508 square feet	2,062 square feet	3,570 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	201 square feet	238 square feet	439 square feet

LOT CALCULATIONS

NET LOT AREA:	12,639 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setbacks shall not exceed 50%</i>	728 square feet (41%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 5,088 sq ft Existing softscape (undisturbed) area: 4,000 sq ft New softscape (new or replaced landscaping) area: 3,551 sq ft <i>Sum of all three should equal the site's net lot area.</i>

E. OCCUPANCY GROUP R3/U
F. TYPE OF CONSTRUCTION VB

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE



AREA PLAN
SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	7-10-2021	PLANNING
2	12-6-2021	PLANNING

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944 AURA WAY
LOS ALTOS, CA

AREA PLAN, VICINITY MAP PROJECT DATA

DATE: 7/1/2021
SCALE: 1" = 20'-0"
DRAWN: -
JOB: -
SHEET: SK-0.1
OF SHEETS: -

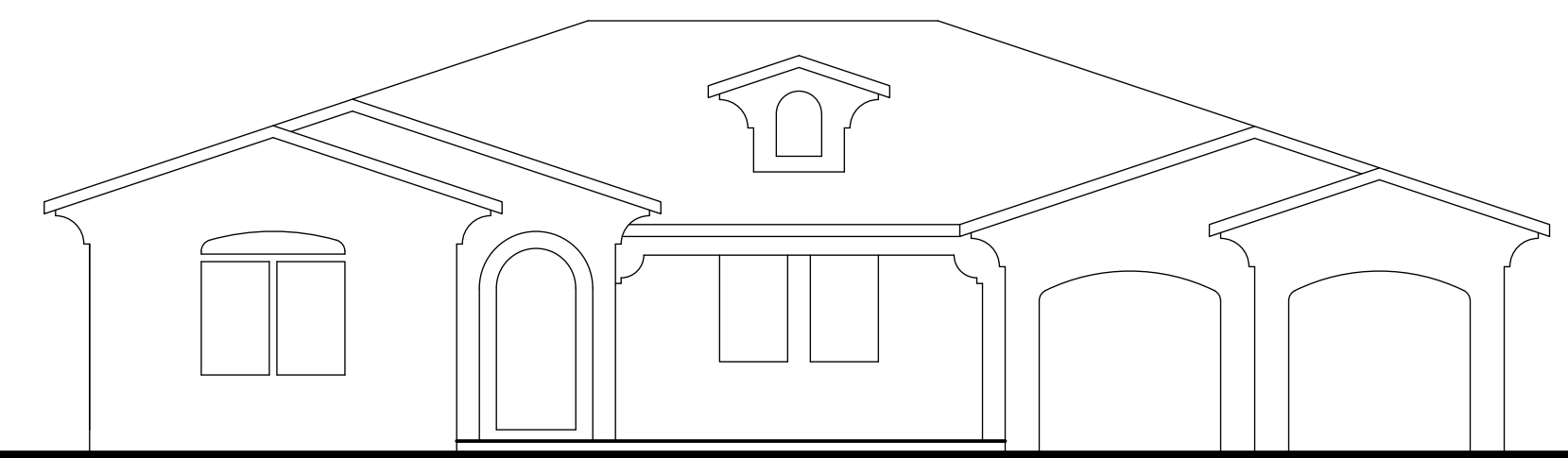
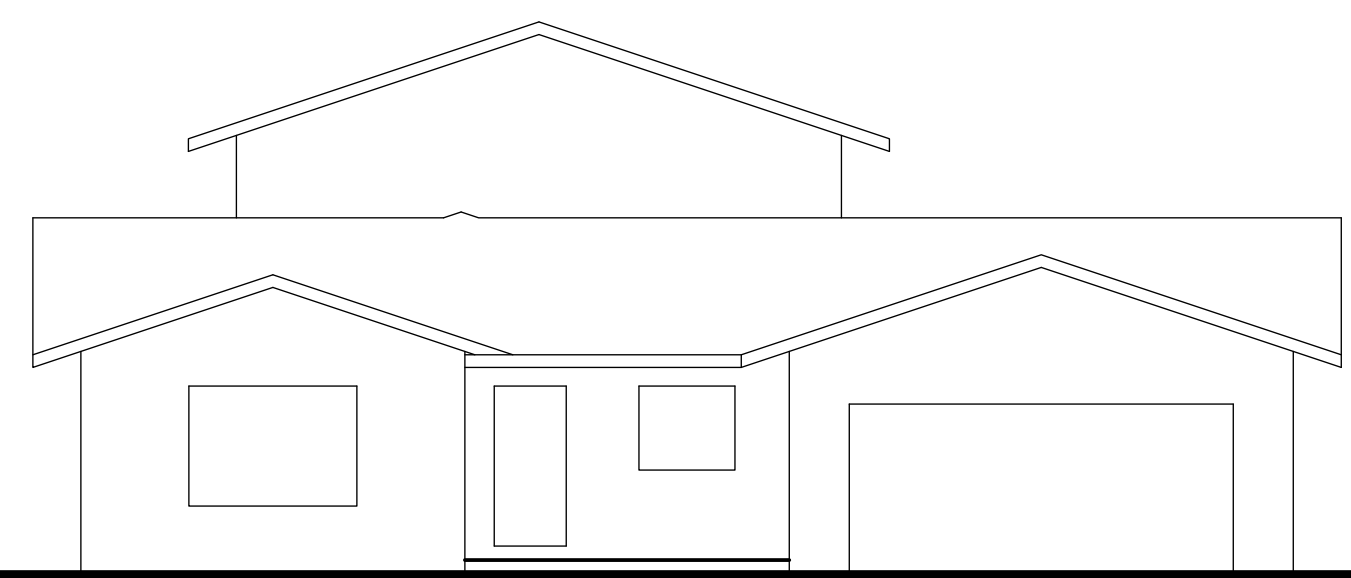
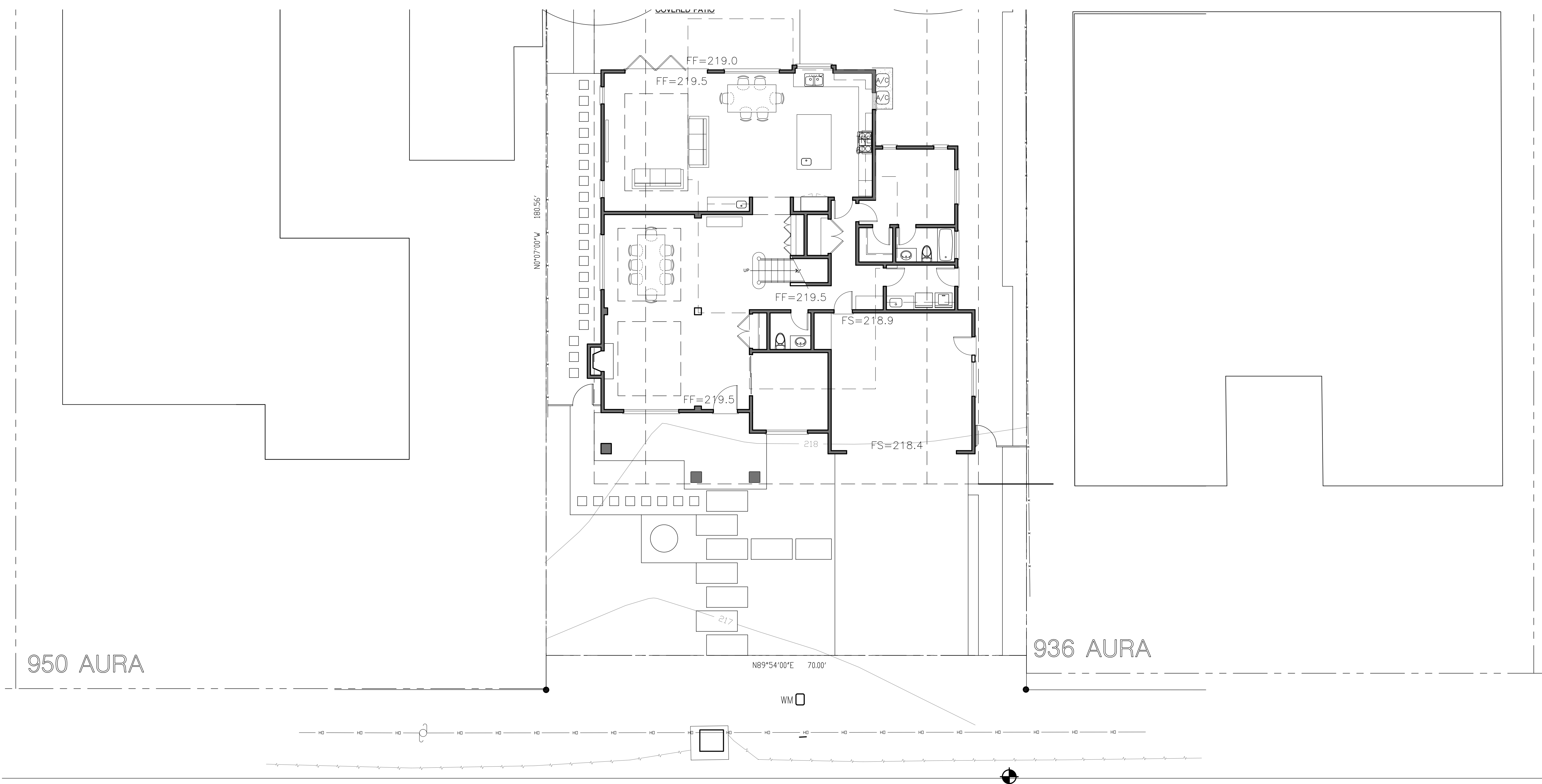
REVISIONS	
△	PLANNING 7-10-2021
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STREETSCAPE

DATE	7/1/2021
SCALE	1/8"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-0.2
OF	SHEETS



NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK: 

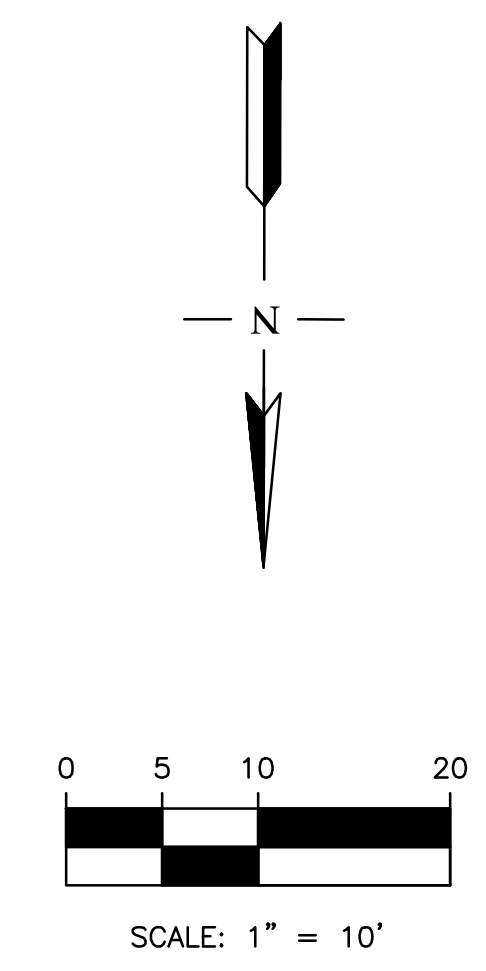
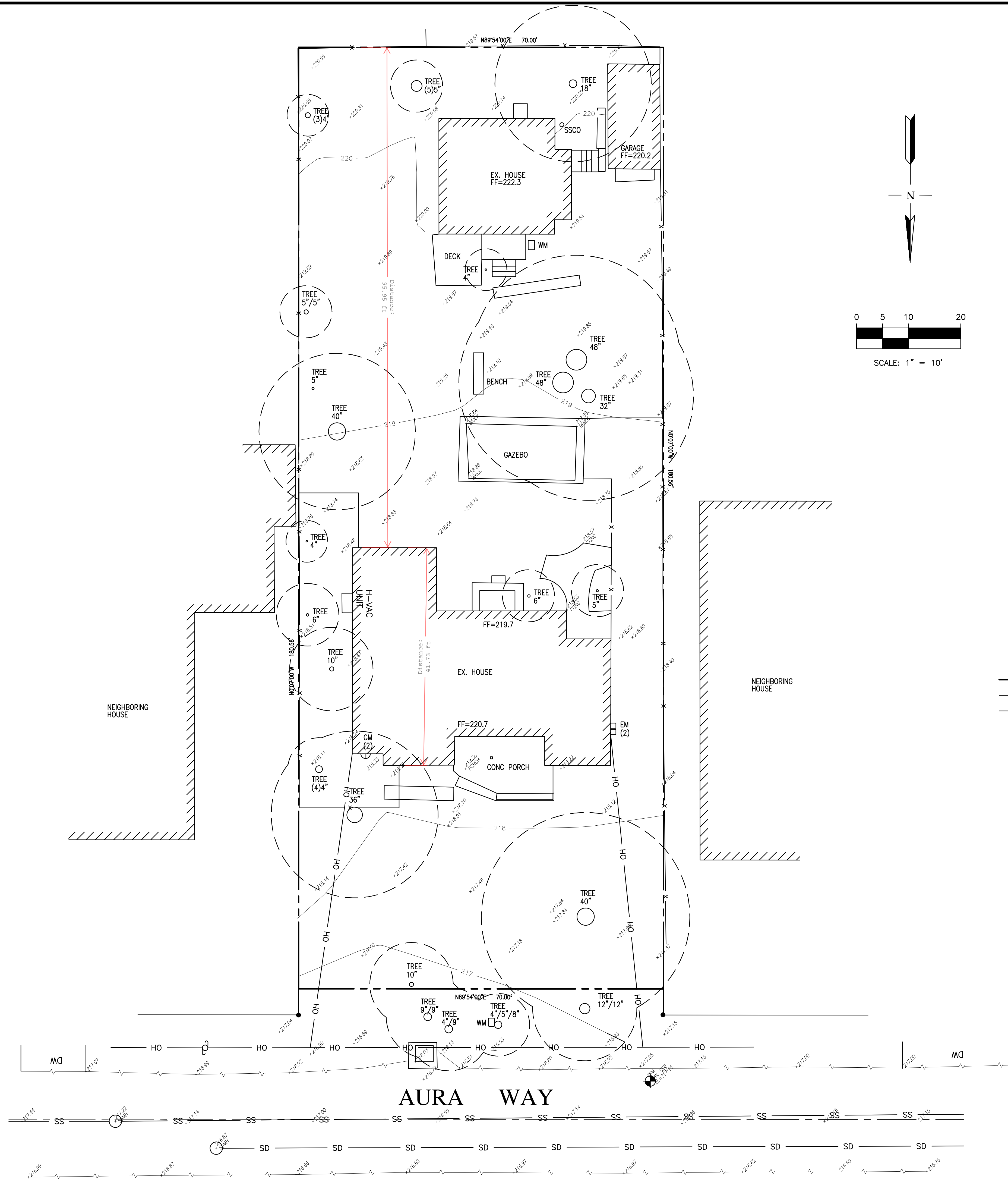
SET NAIL
ELEVATION= 217.14' NAVD 1988 DATUM

BASIS OF BEARINGS:

THE BEARING N89°54'00"E OF THE CENTERLINE OF AURA WAY AS SHOWN ON THAT RECORD OF SURVEY, FILED FOR RECORD IN BOOK 60 OF MAPS AT PAGE 32, SANTA CLARA COUNTY RECORDS.

SITE DATA:

944 AURA WAY
LOS ALTOS, CA 94024
APN: 189-14-089
AREA=1,2639 S.F.±



ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BRI BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

- PROPERTY LINE
- CENTERLINE
- UTILITY LINE-TYPE AS NOTED
- SS
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- WV WATER VALVE
- CURB CATCH BASIN
- FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP-OH POWER POLE W/ OVERHEAD WIRE
- BENCHMARK
- 200 CONTOUR LINE
- MON MONUMENT
- TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- GUY WIRE

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALPAMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rwengineering@gmail.com



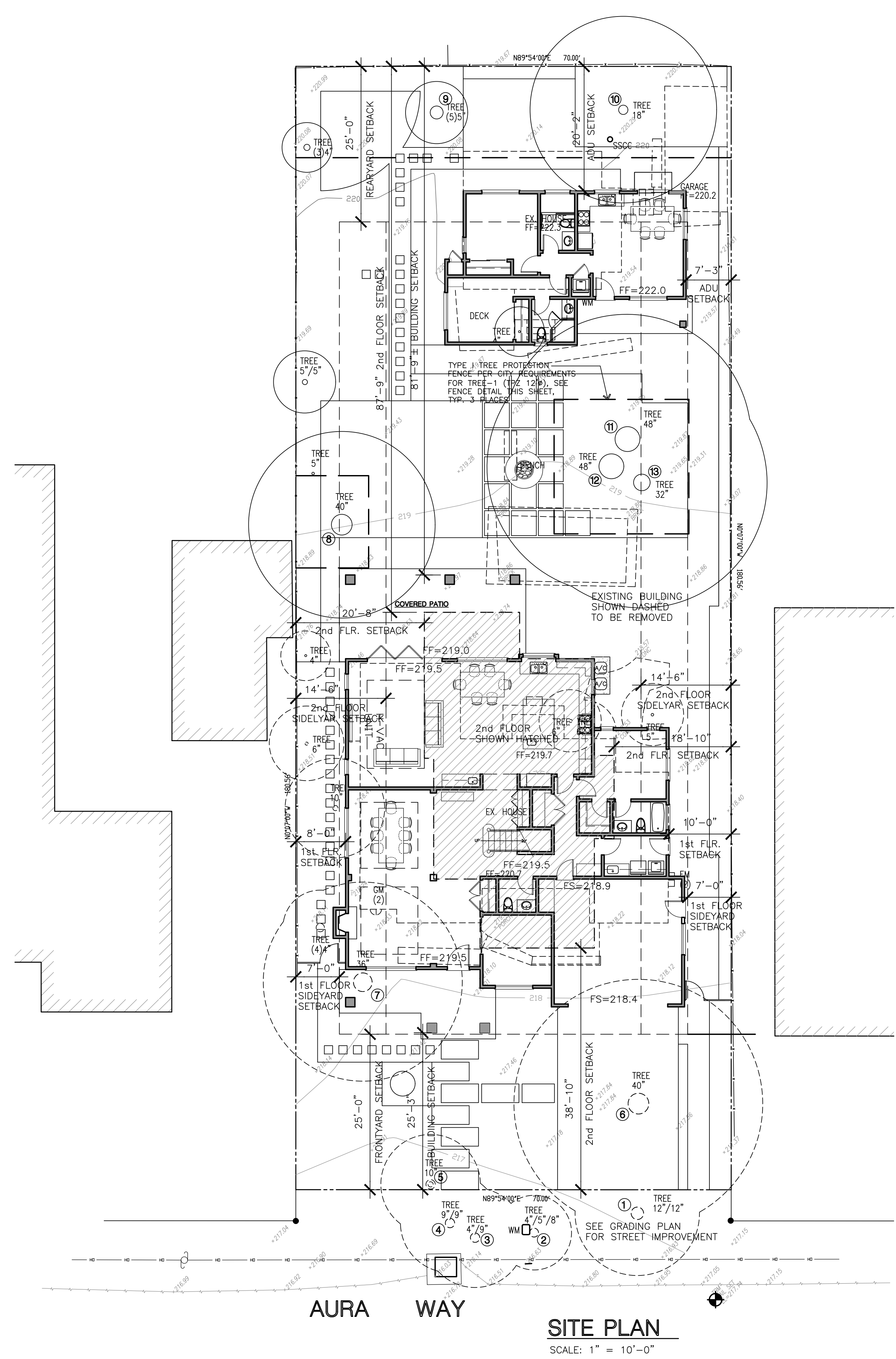
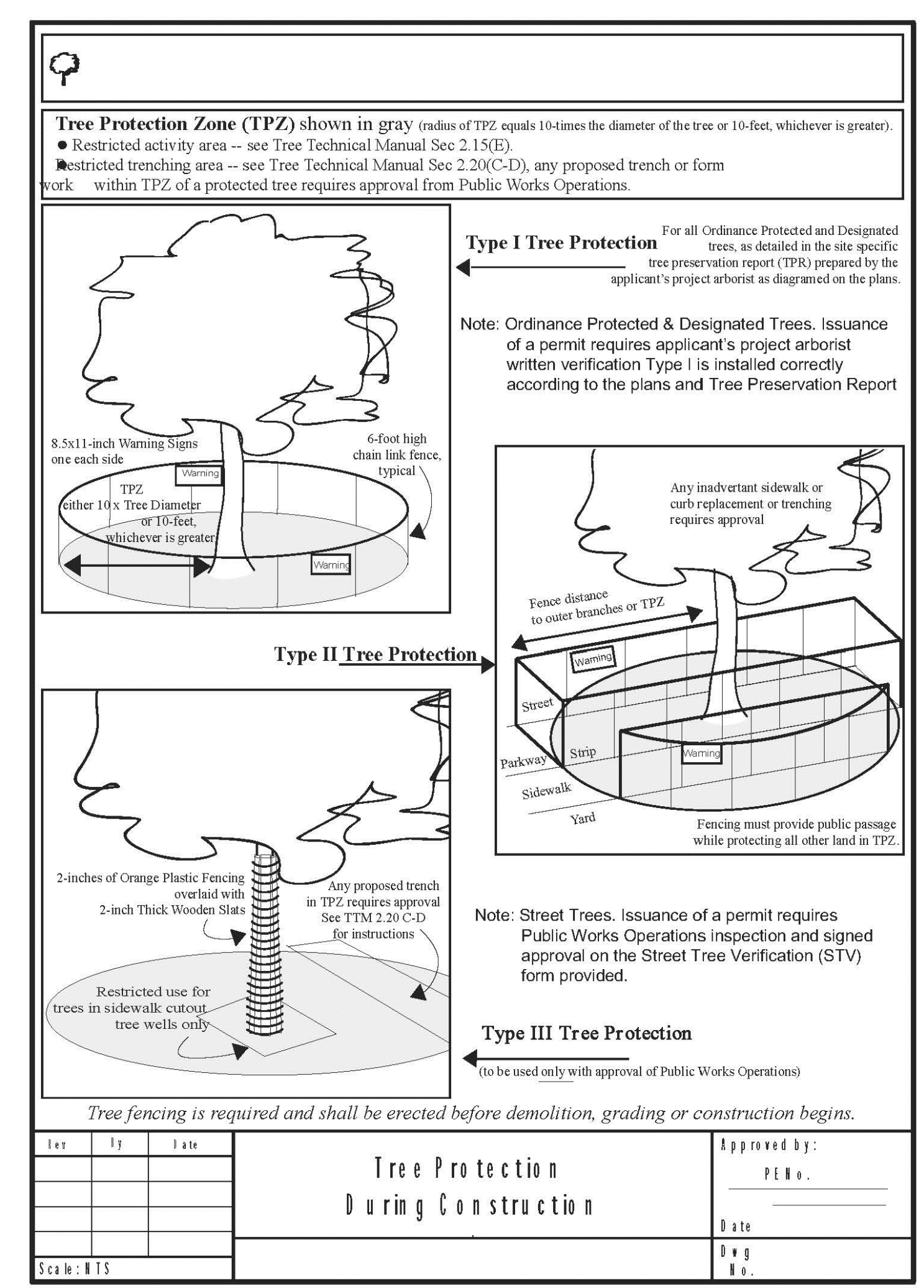
944 AURA WAY
LOS ALTOS, CA 94024
APN: 189-14-089

TOPOGRAPHIC MAP

DATE: 1/20/2021
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW

SHEET NO.
SU-1
0 of 1 SHEETS

TREE LIST						
Field Data Sheet	Trunk DBH (Diameter in Inches at Breast Height)	Condition Rating: 1=Excellent 2=Good 3=Fair 4=Poor 5=Very Poor	Canopy Size	DBH = Dia. at 48 inches (E) = Estimated CD w/ IB = Co-Dominant Leaders with Imbedded Bark, a Structural Weakness (BF) = Below Lowest Fork		
Tree #	Tree Species	DBH In Inches	Grade CON	Height / Spread	Comments	Status
1X	Pittosporum (Pittosporum eugenioides)	12.1-12.6	D 45	30/25	Fair vigor, poor form, decay on trunks	Removed
2X	Pittosporum (Pittosporum eugenioides)	9.4	D 40	30/25	Fair vigor, poor form, decay on trunks	Removed
3X	Pittosporum (Pittosporum eugenioides)	8.5-4.5	C 50	25/20	Fair vigor, poor-fair, leans east	Removed
4X	Pittosporum (Pittosporum eugenioides)	8.8-11.2	C 50	50 / 55	Fair vigor, fair form, multi leader at 1 foot	Removed
4X	Pittosporum (Pittosporum eugenioides)	10.5	D 40	30/25	Canopy Die-Back from Drought Stress	Removed
6X	Black Walnut (Juglans nigra)	48.6	D 40	40/45	Poor-fair vigor, poor form, topped in past, severe decay on trunks	Removed
7X	Douglas fir (Pseudotsuga menziesii)	28.7	C 50	75/40	Fair vigor, poor form, topped in past, over extended limbs in canopy	Removed
8X	Coast live oak (Quercus agrifolia)	35.8	B 70	50/45	Fair vigor, fair form, leans south	Stay & Protected
9	Privet (Ligustrum japonicum)	3 x 6"	C 55	25/20	Good vigor, pool form, multi leader at on foot	Stay & Protected
10	California pepper (Schinus mole)	20.4	C 60	35/25	Fair vigor, fair form, codominant at 12 feet	Stay & Protected
11	Redwood (sequoia sempervirens)	53.5	B 70	85/35	Fair vigor, fair form, one of three in grove	Stay & Protected
12	Redwood (sequoia sempervirens)	36.3	B 70	85/35	Fair vigor, fair form, one of three in grove	Stay & Protected
13	Redwood (sequoia sempervirens)	29.9	B 70	85/35	Fair vigor, fair form, one of three in grove	Stay & Protected



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SITE PLAN TREE LIST

DATE 7/1/2021
SCALE 1"=10'-0"
DRAWN -
JOB -
SHEET -
OF SHEETS **SK-1**

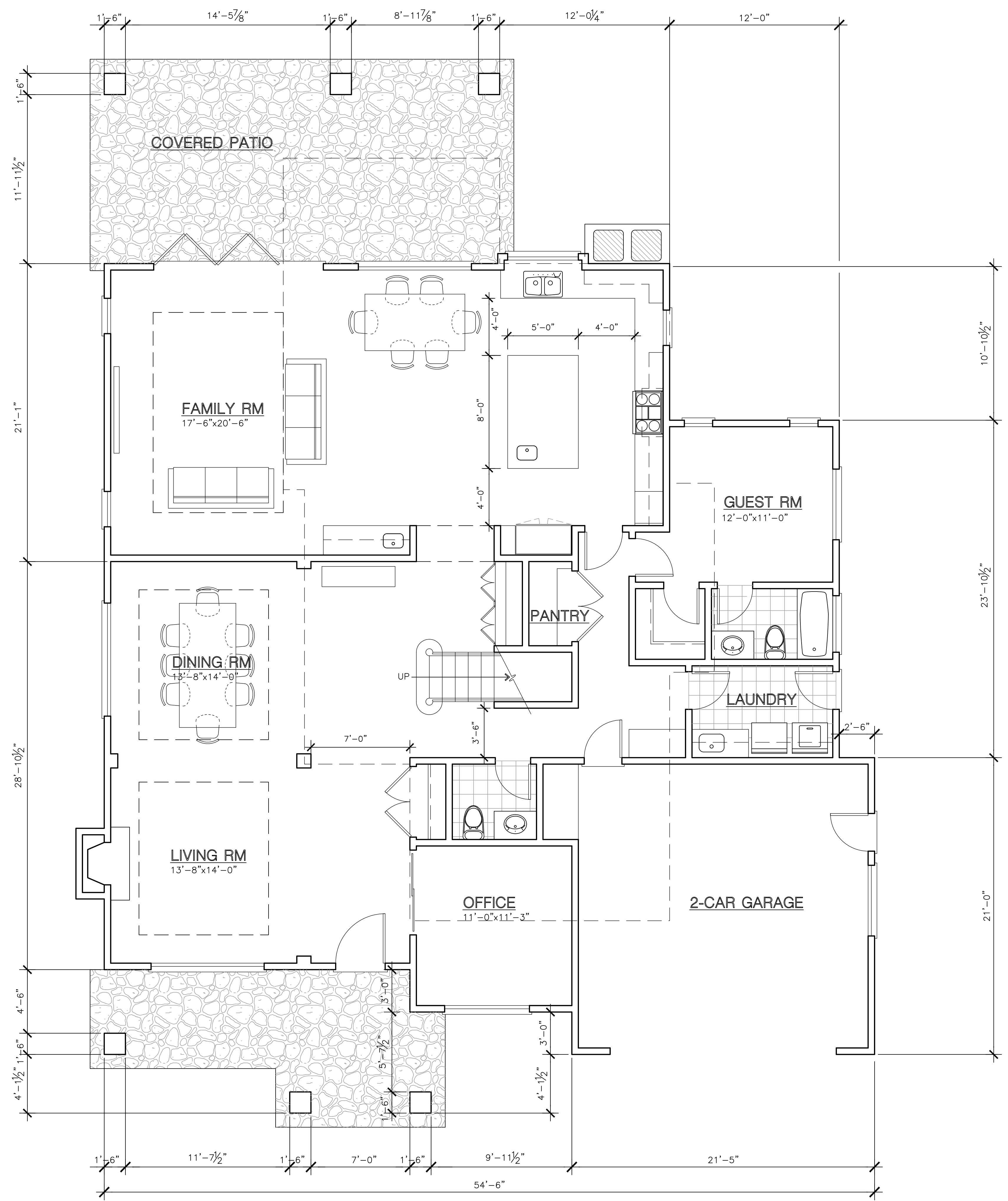
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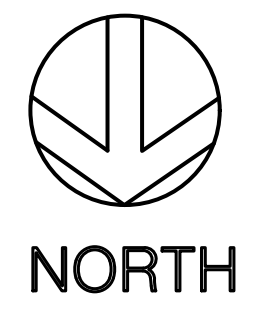
NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
 944 AURA WAY
 LOS ALTOS, CA

PROPOSED 1st FLOOR PLAN

DATE	7/1/2021
SCALE	1/4" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-21
OF SHEETS	



1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"



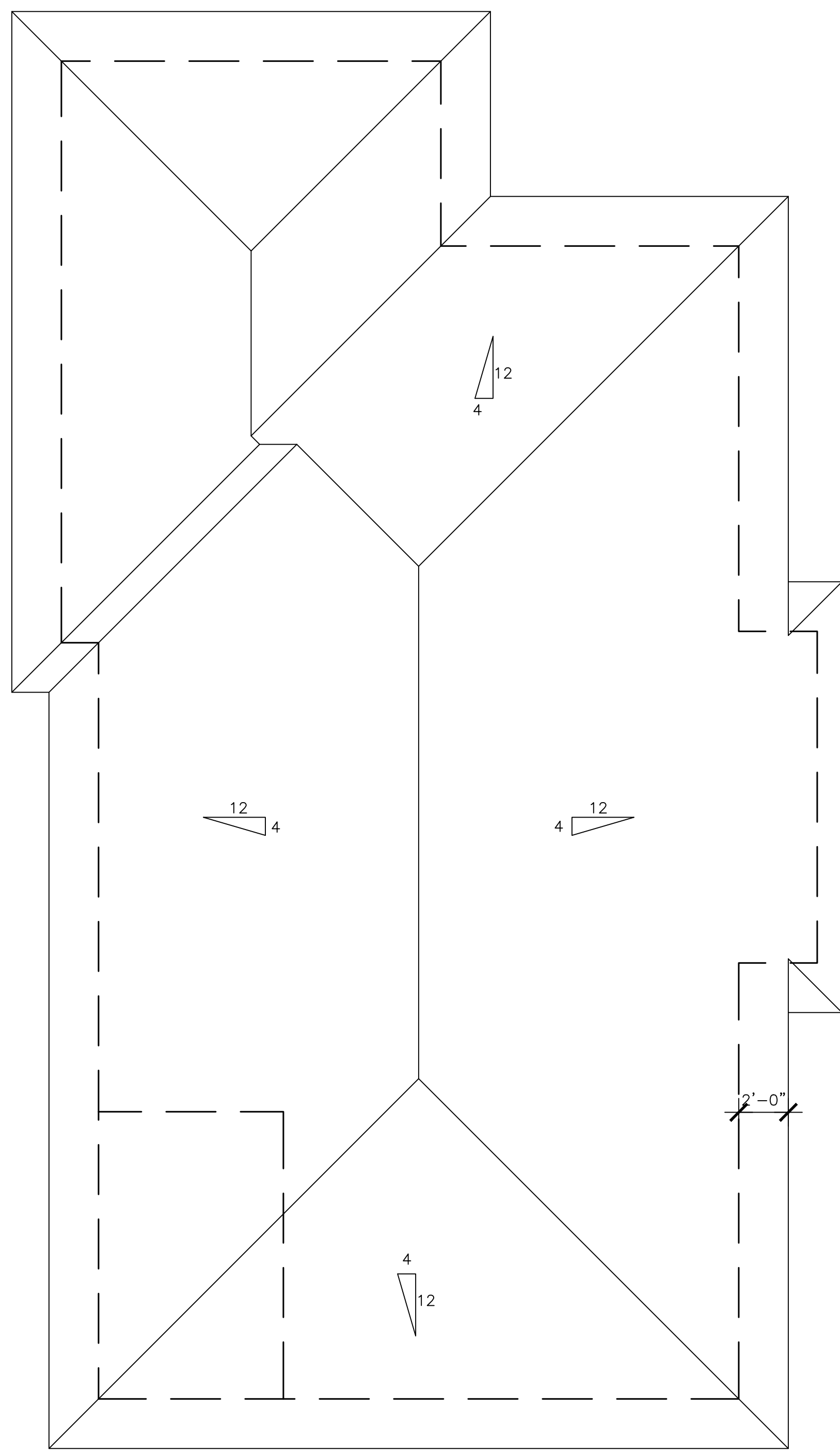
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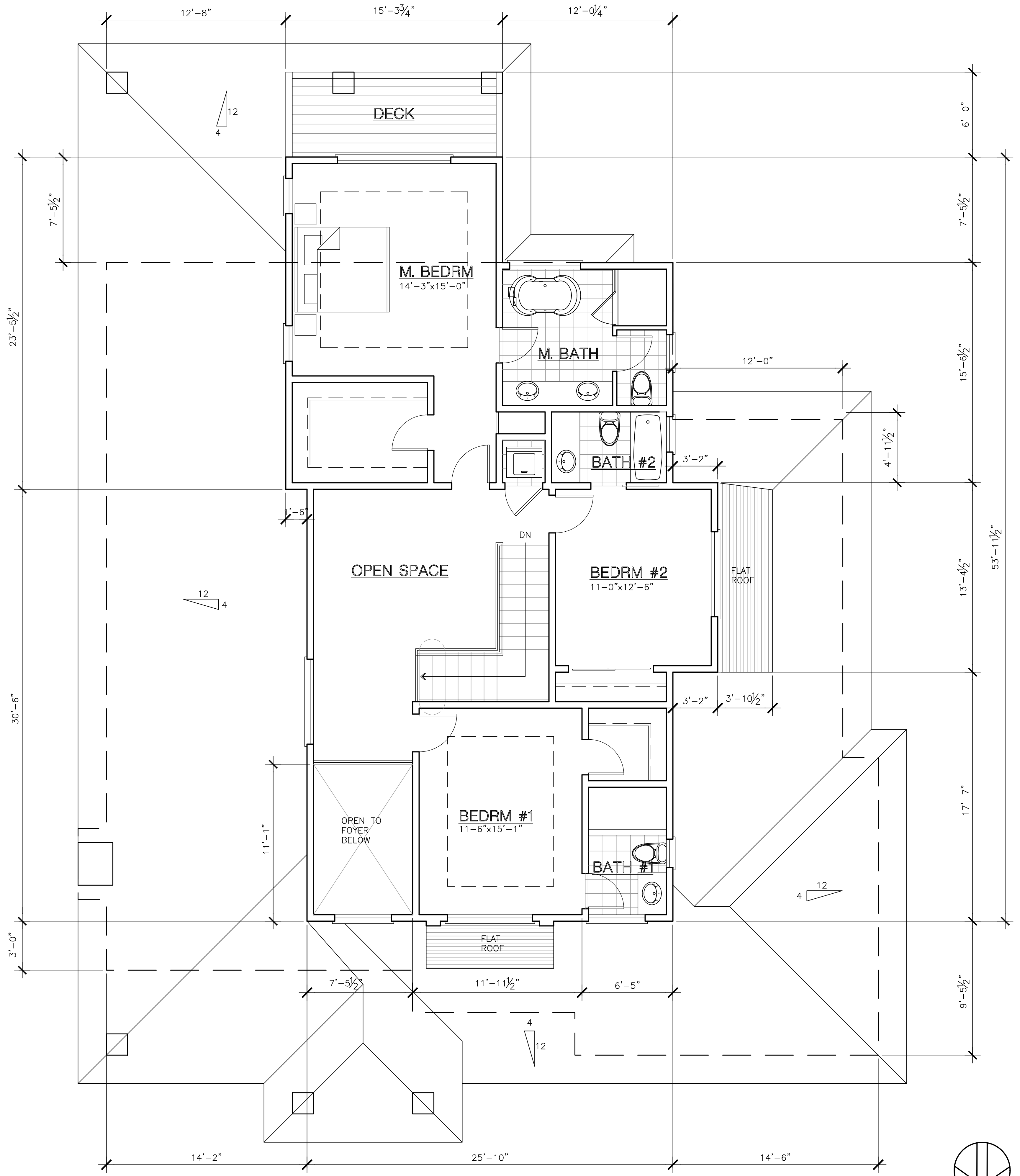
NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
 944 AURA WAY
 LOS ALTOS, CA

PROPOSED 1st FLOOR PLAN

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2.2
OF SHEETS	



ROOF PLAN
 SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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FLOOR AREA CALCULATIONS

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	
JOB	
SHEET	SK2-3
OF SHEETS	

GARAGE	Dimensions	Area (sq.ft.)
G1	21'-8" x 3'-0"	65.0
G2	2'-6" x 18'-3"	45.6
G3	18'-7" x 17'-8"	328.1
		438.7

1st FLOOR	Dimensions	Area (sq.ft.)
A	12'-0 1/2" x 17'-8"	212.6
B	21'-7 1/2" x 14'-8"	316.9
C	52'-3" x 24'-5 1/2"	1,278.0
D	40'-3" x 11'-1"	446.0
		2,253.6

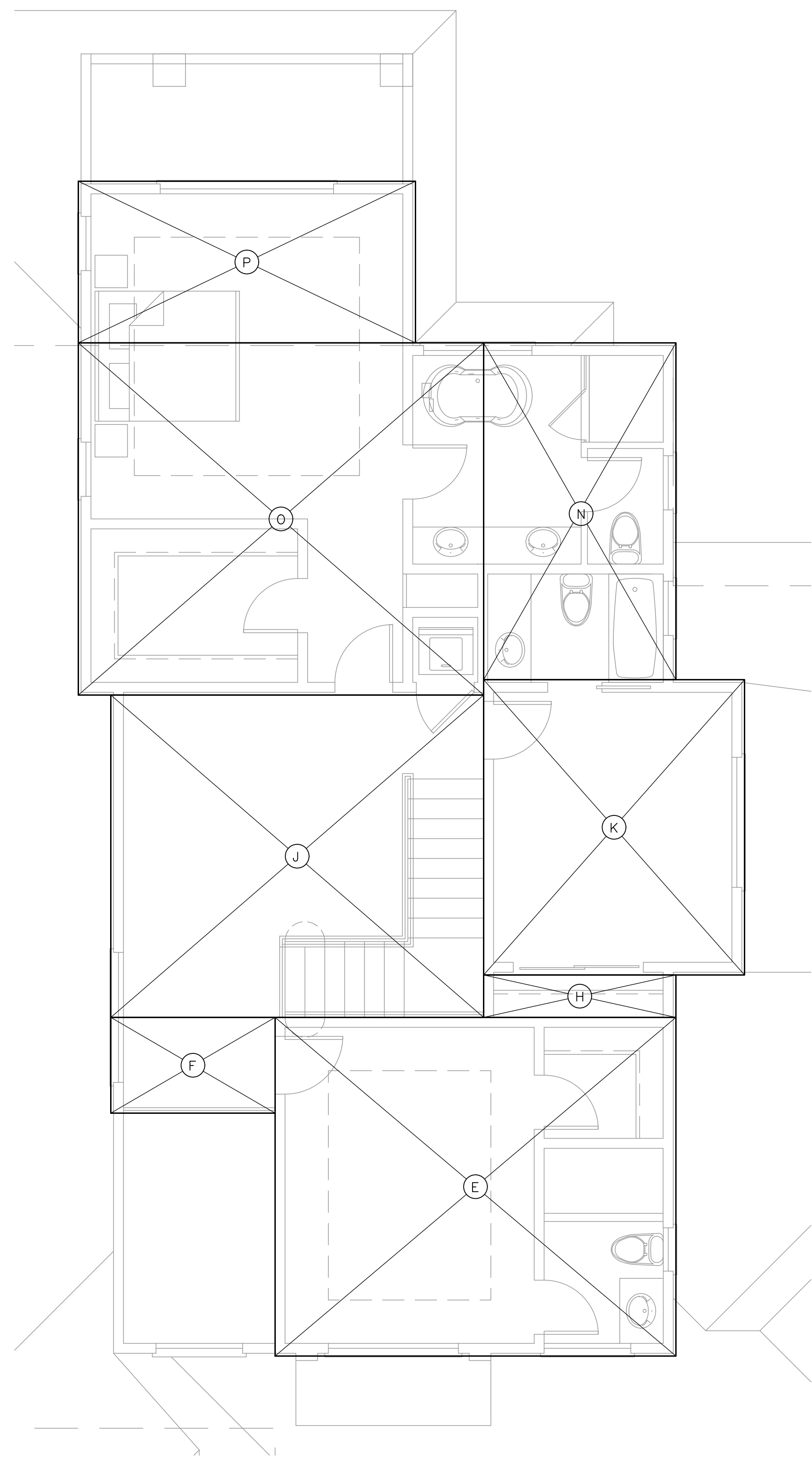
2nd FLOOR	Dimensions	Area (sq.ft.)
E	18'-6" x 15'-7 1/2"	289.0
F	7'-7" x 4'-5"	33.5
H	8'-10 1/2" x 1'-11 1/2"	17.4
J	17'-2 1/2" x 14'-10 1/2"	255.8
K	12'-0 1/2" x 13'-7 1/2"	164.0
L	OMIT	---
M	OMIT	---
N	8'-10 1/2" x 15'-6 1/2"	137.8
O	18'-8 1/2" x 16'-3"	303.9
P	15'-6 1/2" x 7'-5 1/2"	115.9
		1,317.0

FAR = 4,009.6 sq.ft.
 MAXIMUM FAR = 4,013.9 sq.ft.
 [(12,639-11,000) x 0.1 + 3,850 = 4,013.9] sq.ft.

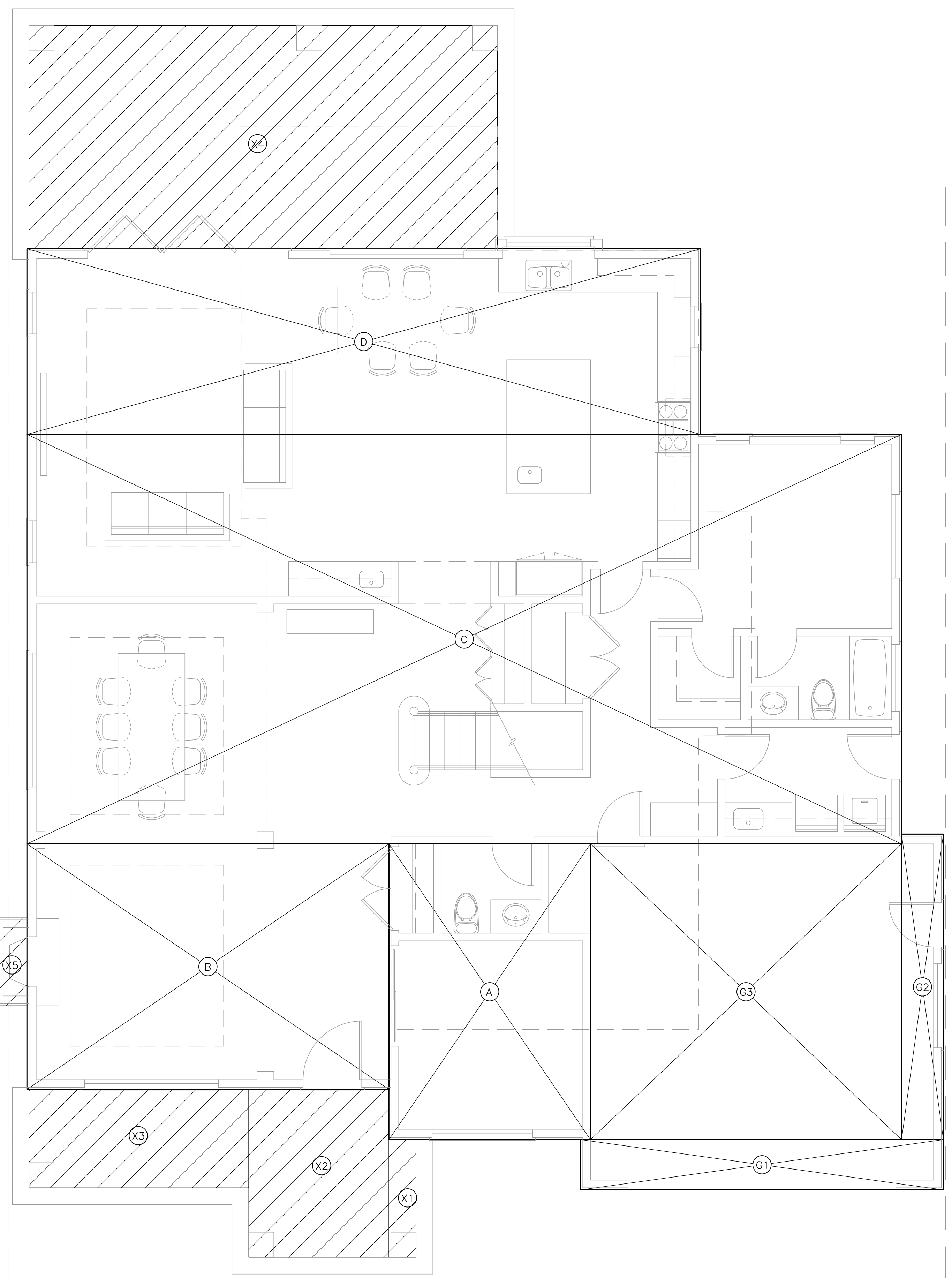
COVERED PORCH/PATIO	Dimensions	Area (sq.ft.)
X1	1'-7" x 7'-0"	11.0
X2	8'-4 1/2" x 10'-0"	83.7
X3	13'-1 1/2" x 5'-10 1/2"	77.0
X4	27'-11 1/2" x 3'-0"	83.9
X5	2'-0" x 5'-3"	10.5
X6	17'-6" x 4'-6" (ADU PORCH)	78.8
		343.9

MAIN HOUSE 1st FLOOR + ADU PORCH
 438.7 + 2,253.6 + 343.9 = 3,036.2 sq.ft.
 LOT COVERAGE = 24.0%
 MAXIMUM LOT COVERAGE = 3,791.4 SQ.FT.
 (12,638 x 30% = 3,791.4)

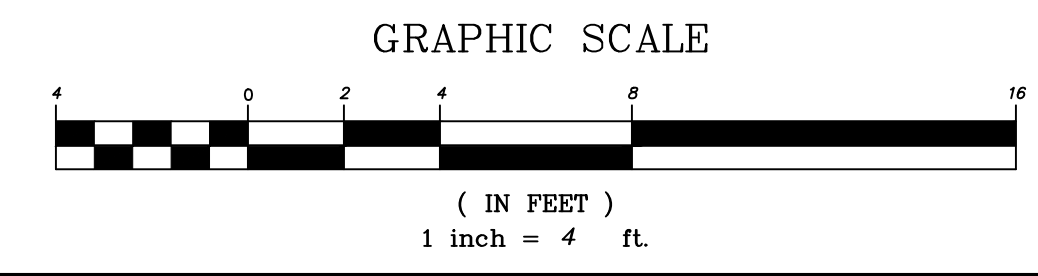
FAR FOR MAIN HOUSE = 4,009.6 sq.ft.
 LOT COVERAGE = 3,036.2 sq.ft. (24.0%)



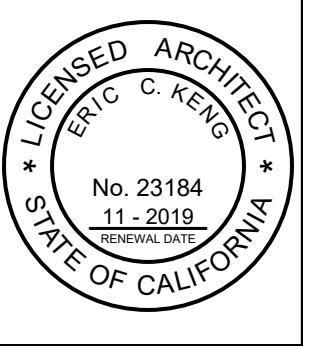
2nd FLOOR PLAN
 1/4" = 1'-0"



1st FLOOR PLAN
 1/4" = 1'-0"



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ADU PLANS AND ELEVATIONS

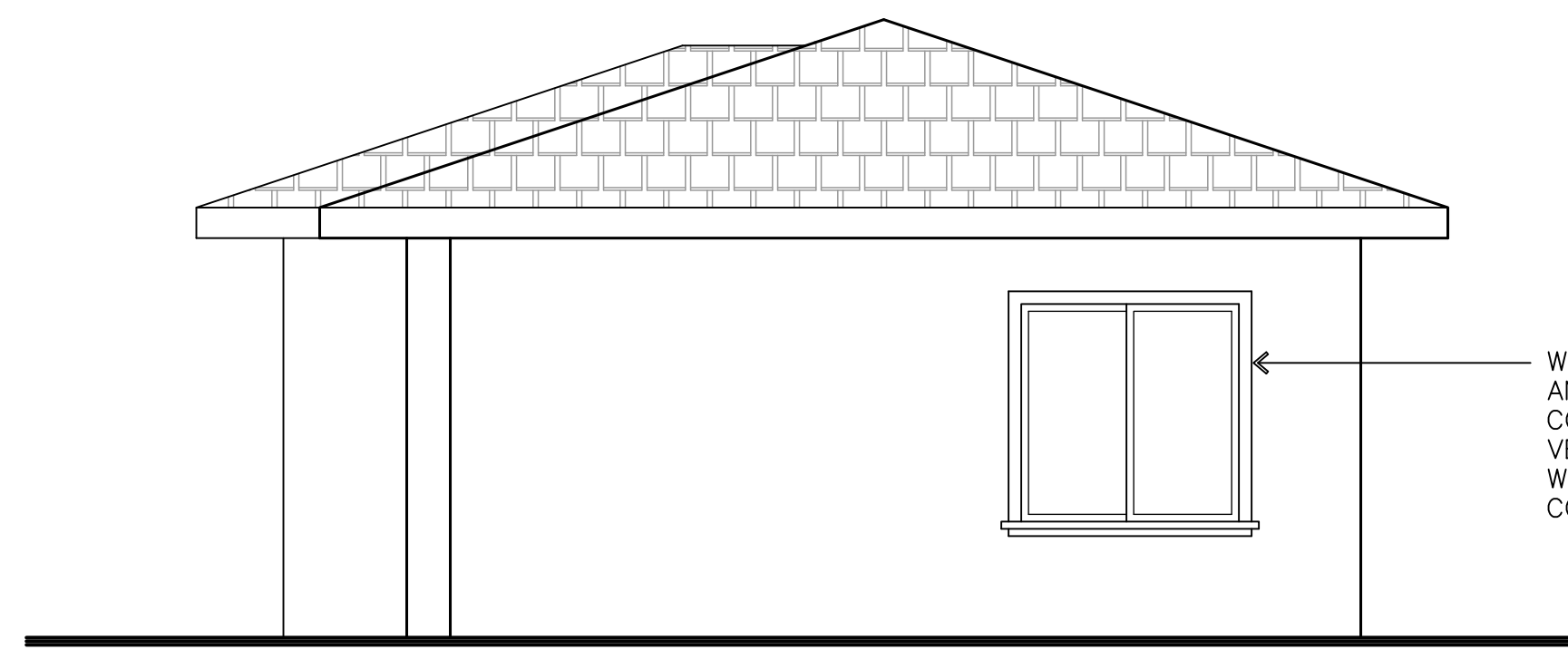
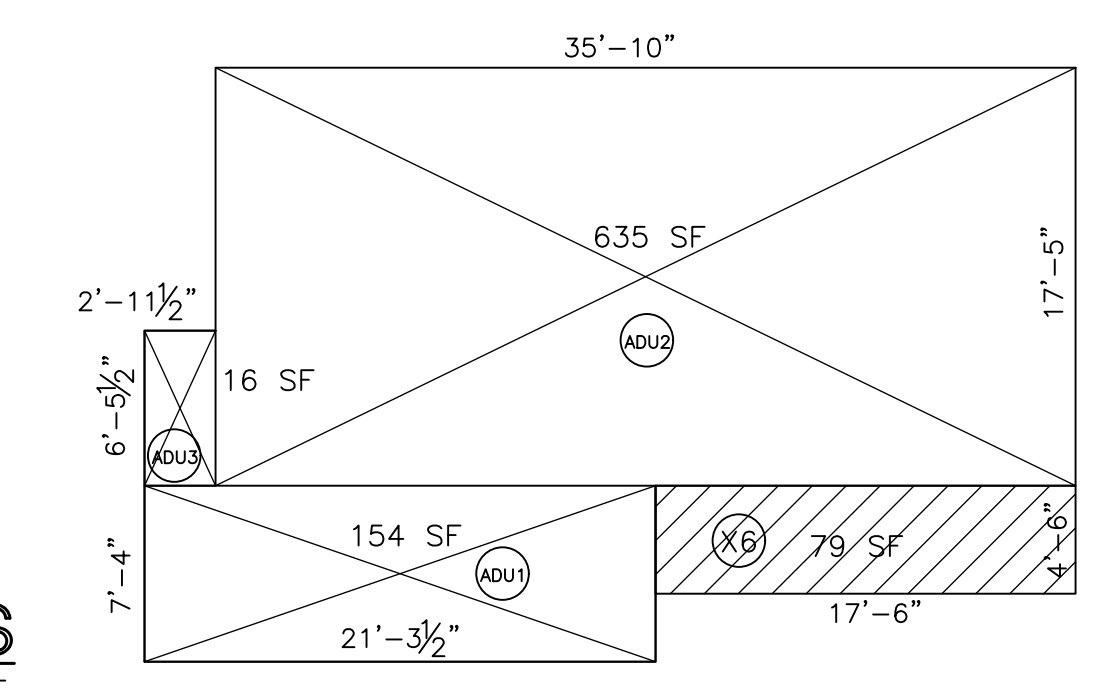
DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2.4
OF SHEETS	

DETACHED ADU

ADU1=	21'-6 1/2" x 7'-3"	154.4 sq.ft.
ADU2=	35'-10" x 17'-5"	624.2 sq.ft.
ADU3=	2'-11 1/2" x 6'-5 1/2"	19.1 sq.ft.
		797.6 sq.ft.

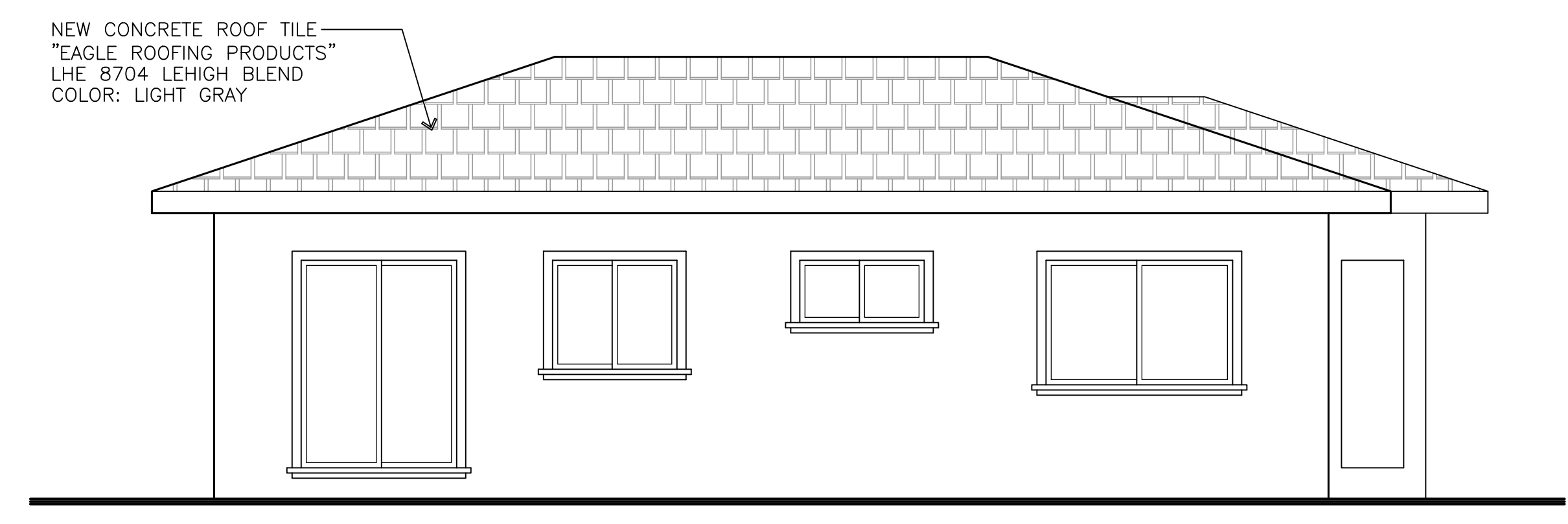
FAR OF ADU = 797.6 sq.ft.
 LOT COVERAGE OF ADU = 4.7% 797.6 sq.ft.

FLOOR AREA CALCULATIONS
 SCALE: 1/8" = 1'-0" 805 SQ.FT.



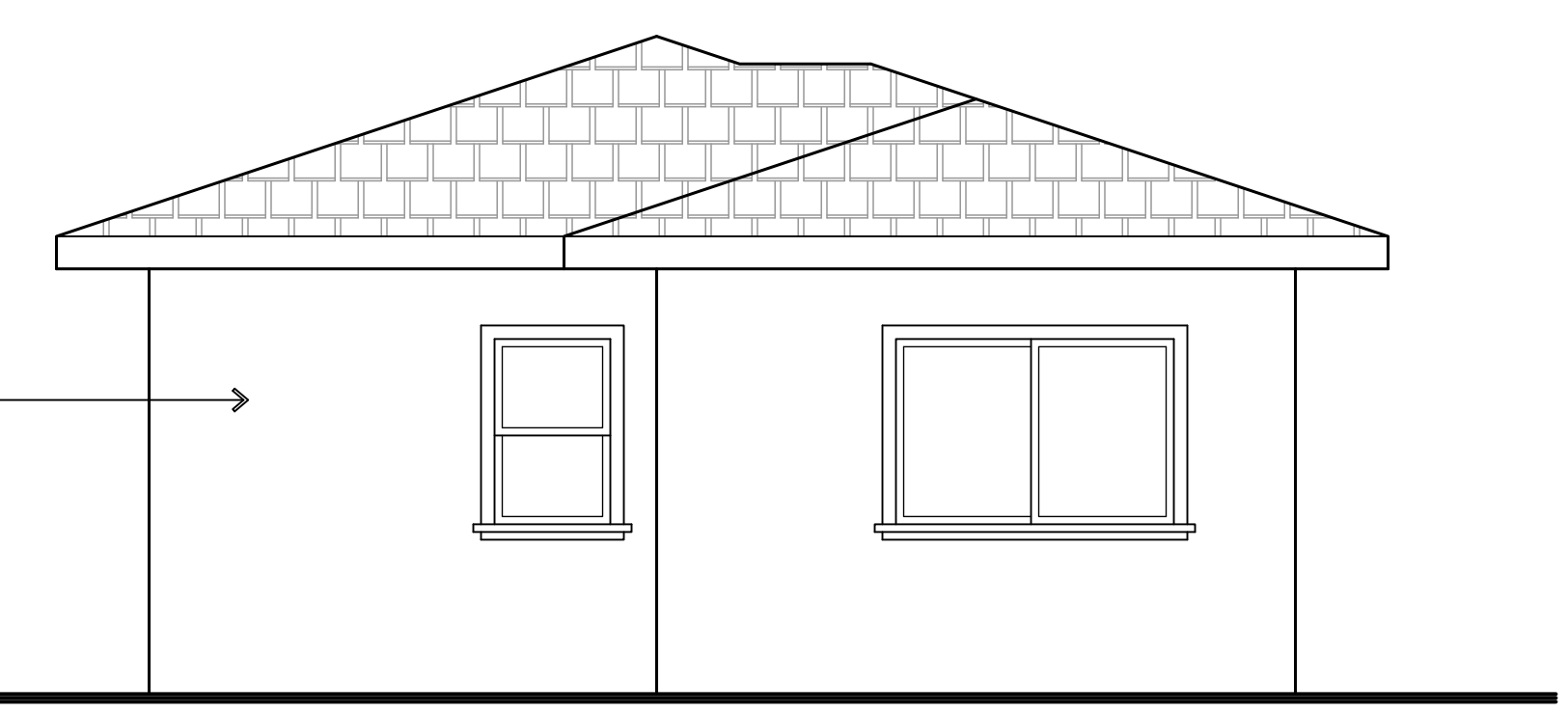
WEST ELEVATION
 SCALE: 1/4" = 1'-0"

WOOD WINDOW W/ ALUMINUM CLAD ANDERSEN 400 SERIES
 COLOR: WHITE
 VENTURA PRECAST CONCRETE TRIM WITH SANDED TEXTURE
 COLOR: MEDIUM GREY



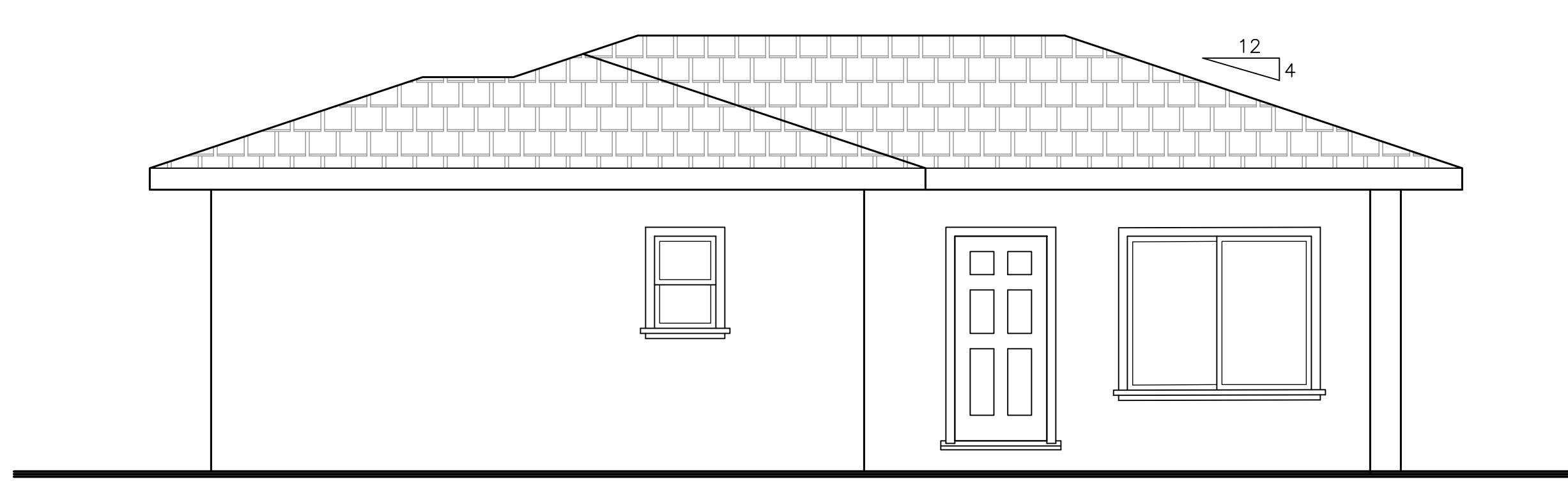
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

NEW CONCRETE ROOF TILE "EAGLE ROOFING PRODUCTS" LHE 8704 LEHIGH BLEND
 COLOR: LIGHT GRAY

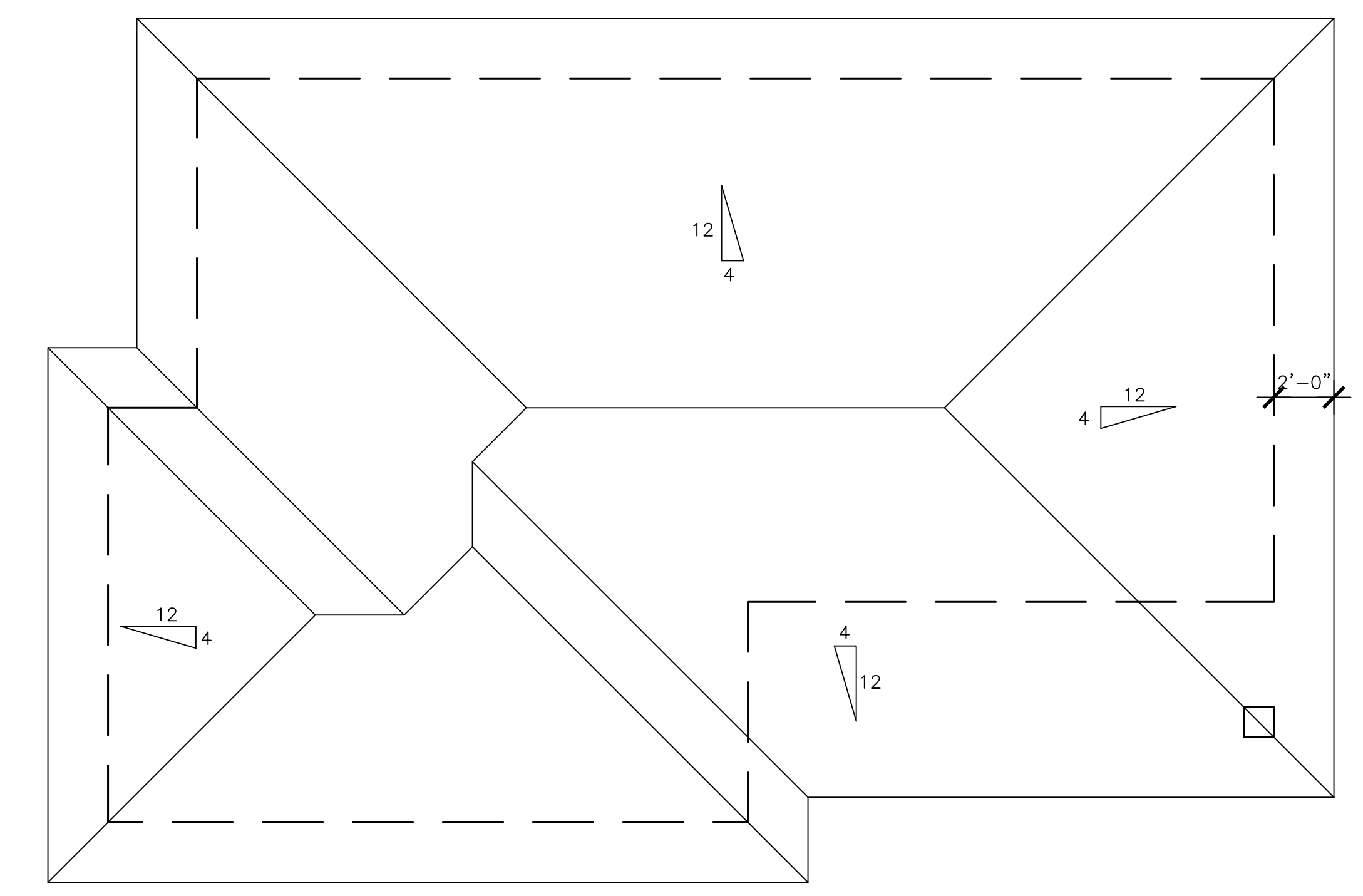


EAST ELEVATION
 SCALE: 1/4" = 1'-0"

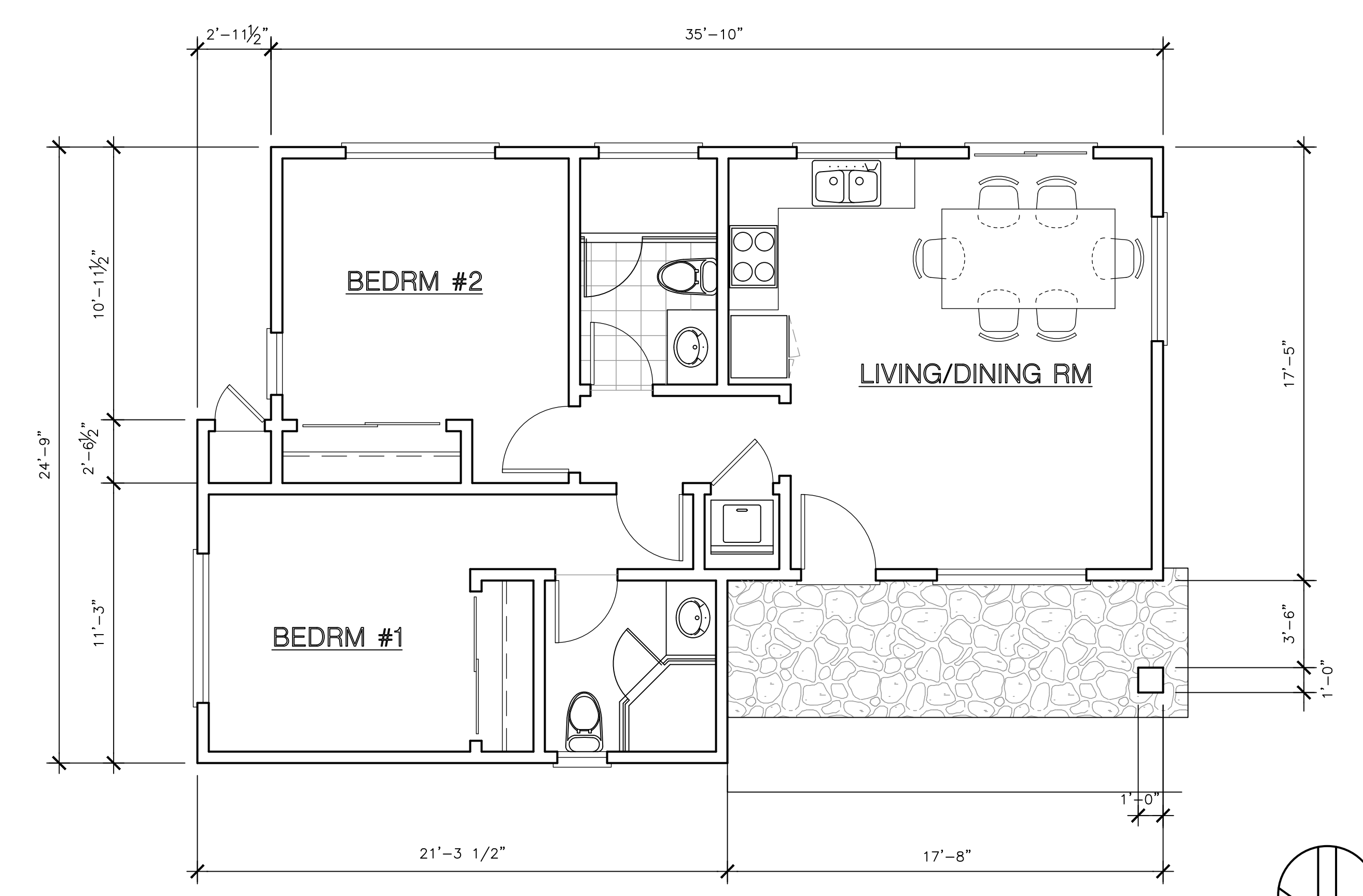
NEW STUCCO LA HABRA STUCCO SMOOTH PERMA FINISH
 COLOR: DOVE GREY



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



ROOF PLAN
 SCALE: 1/4" = 1'-0"



FLOOR PLAN
 SCALE: 1/4" = 1'-0"



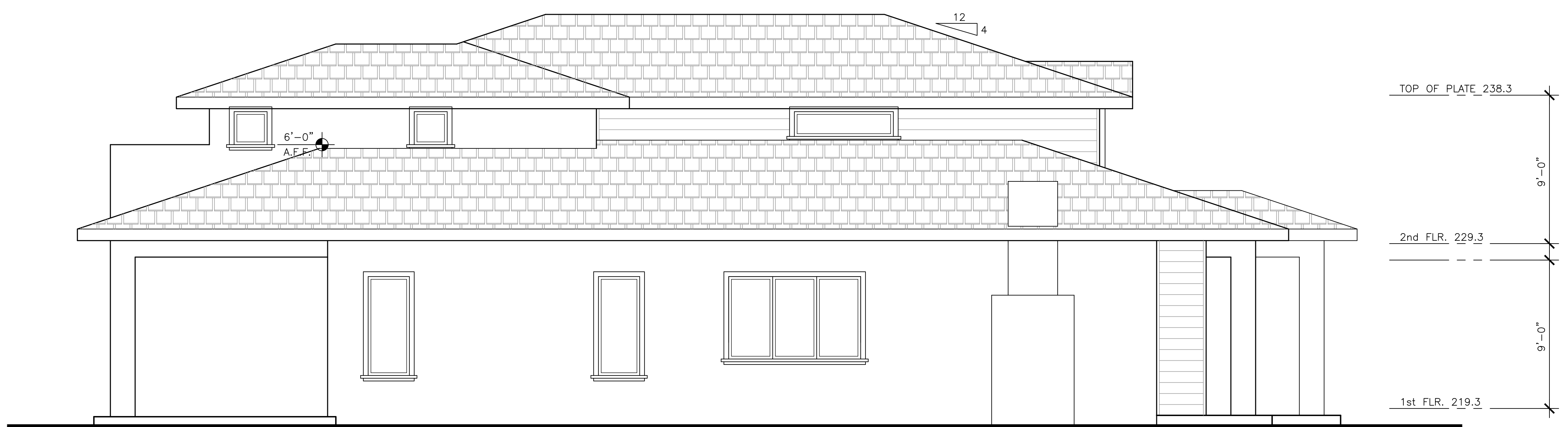
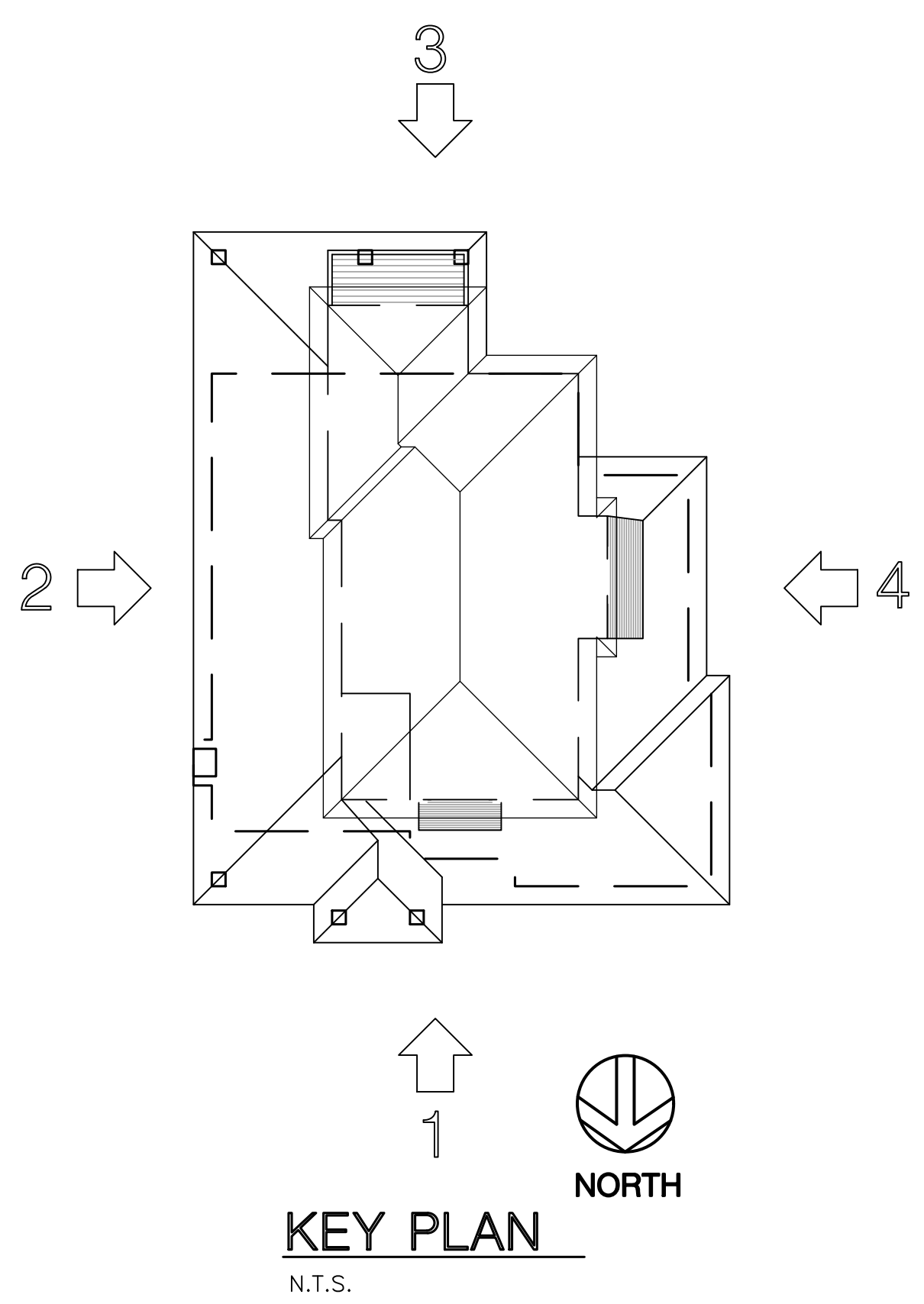
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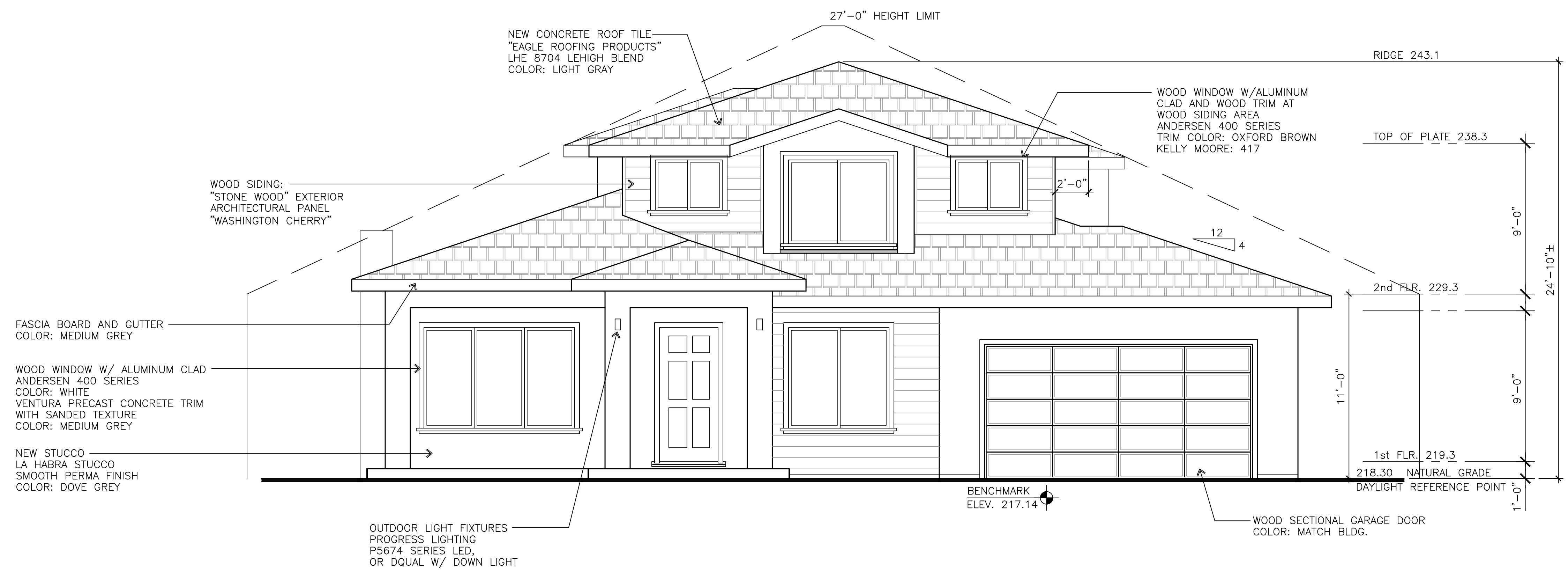
NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
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 LOS ALTOS, CA

EXTERIOR ELEVATIONS

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-3.1
OF SHEETS	39



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0" (LEFT)



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0" (FRONT)

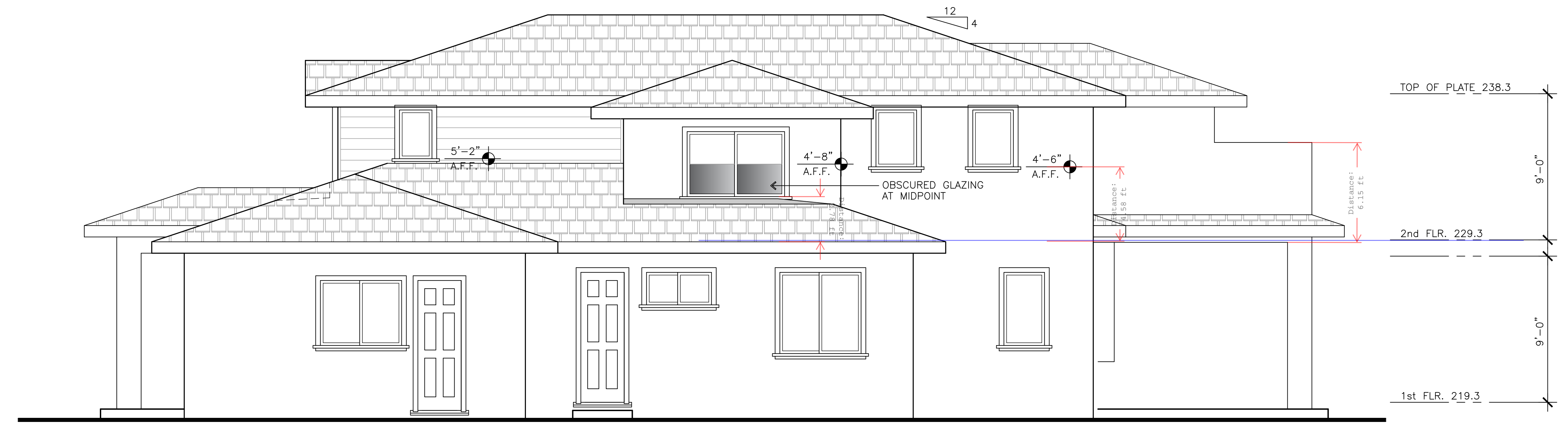
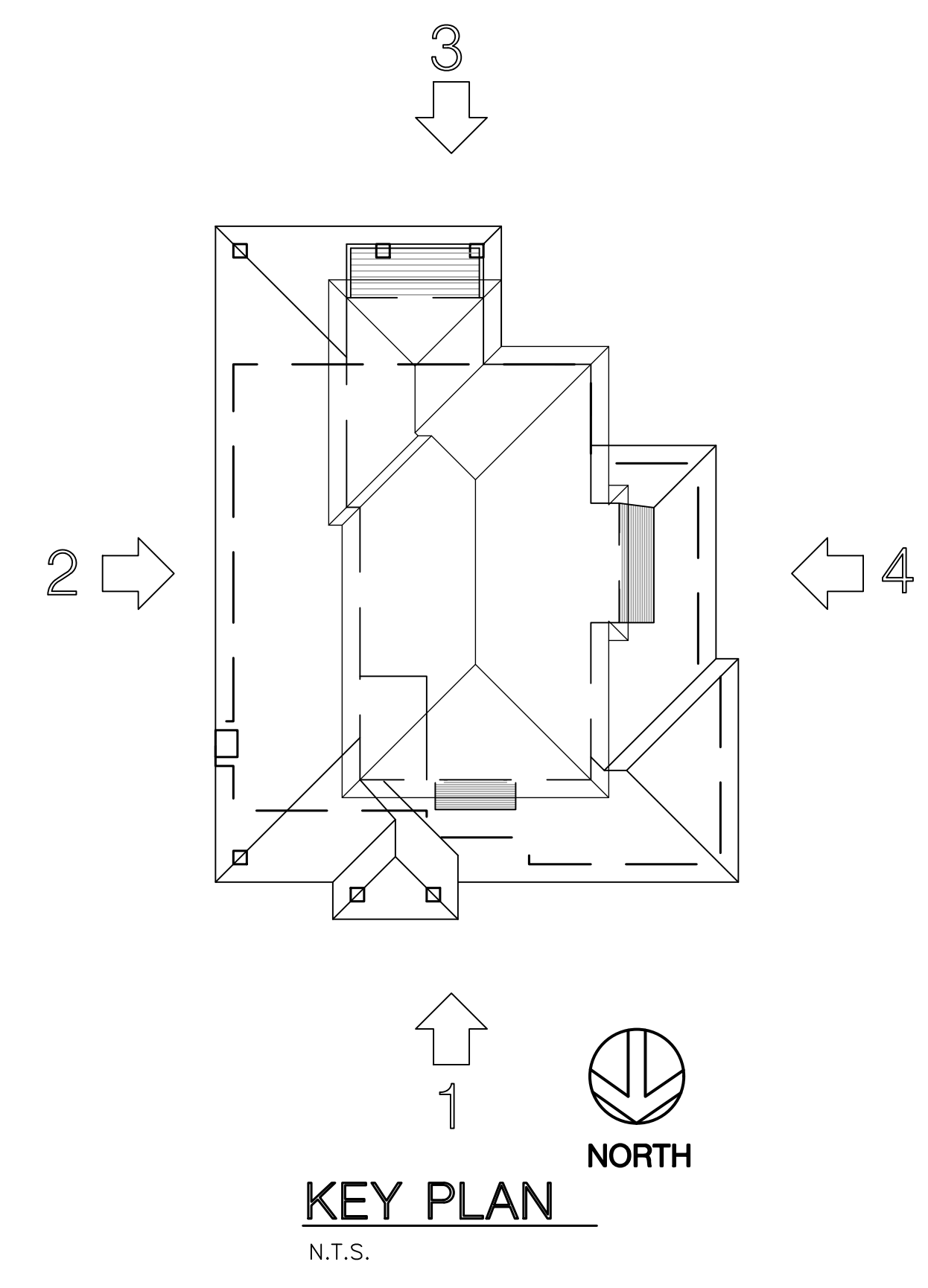
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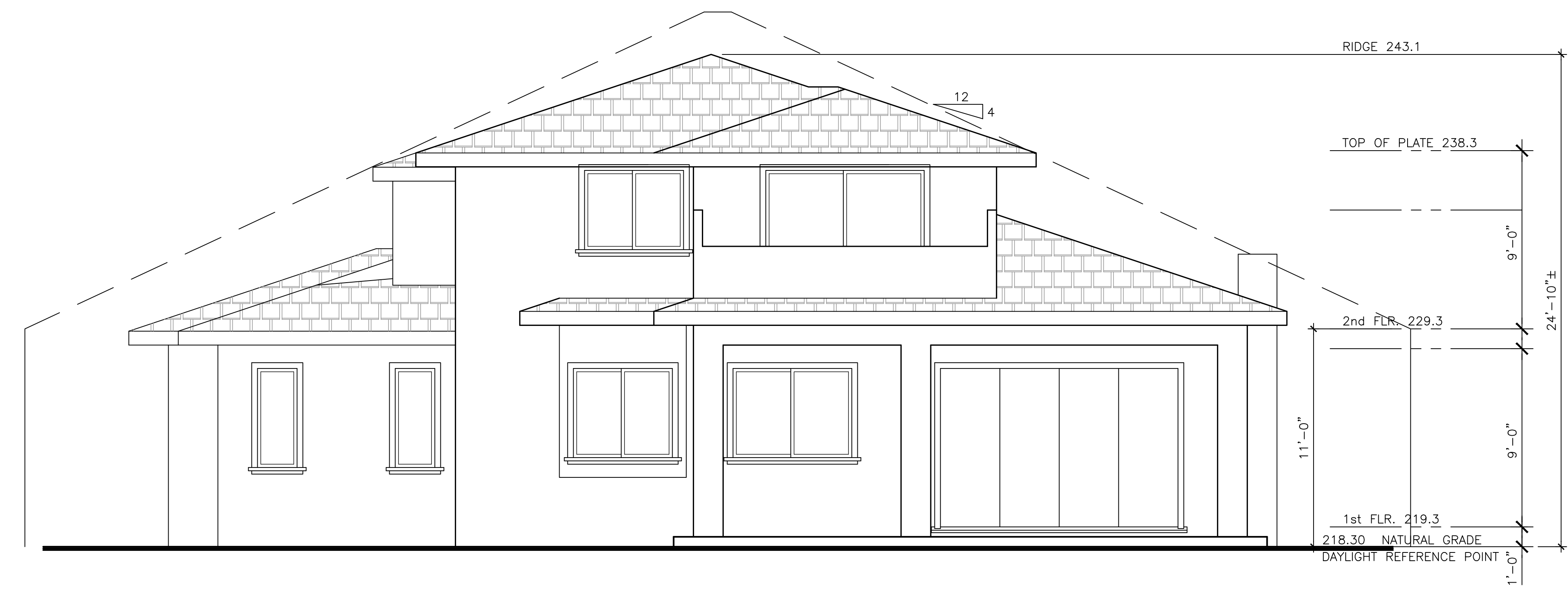
NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
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 LOS ALTOS, CA

EXTERIOR ELEVATIONS

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
SK-3.2	
OF	SHEETS

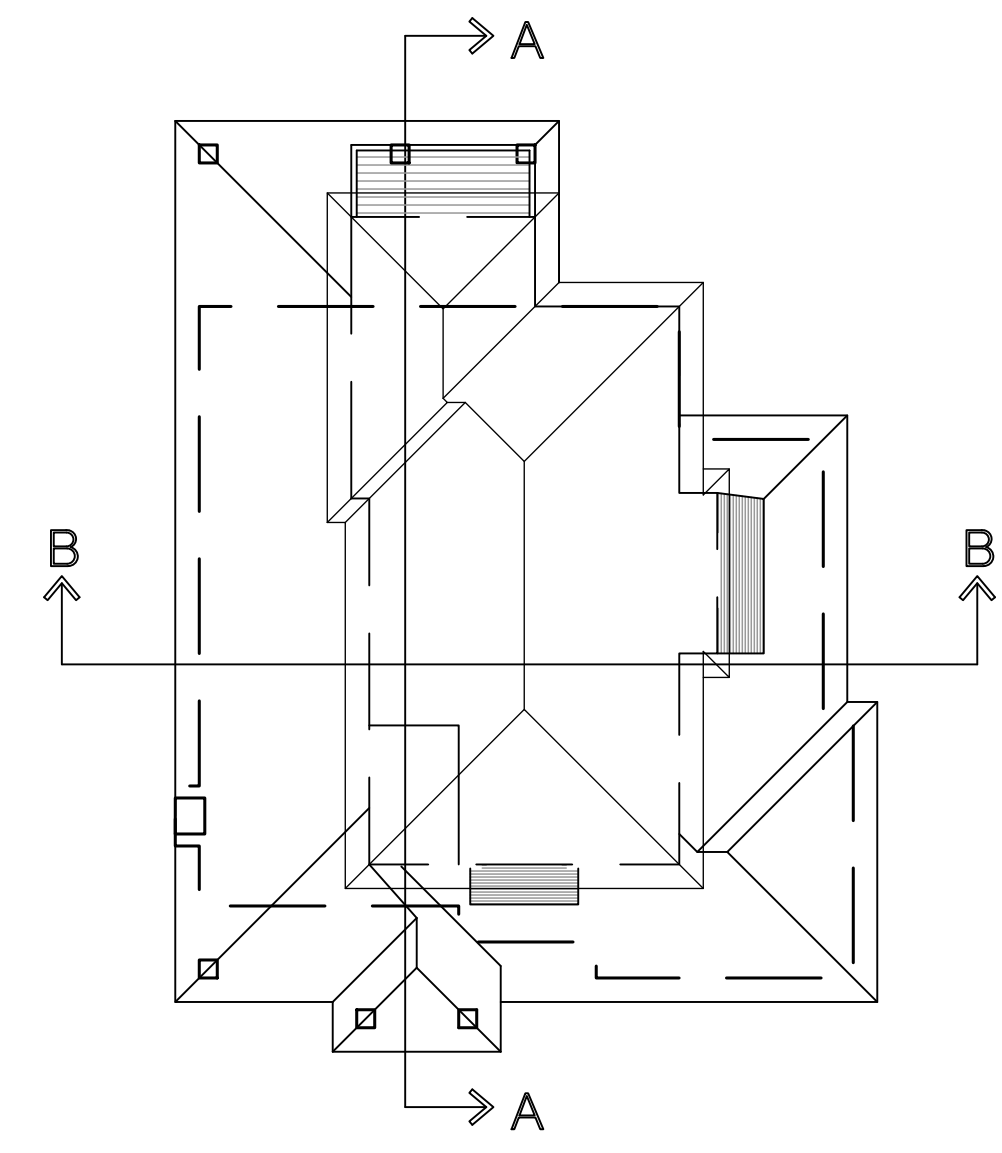


4 WEST ELEVATION
 SCALE: 1/4" = 1'-0" (RIGHT)

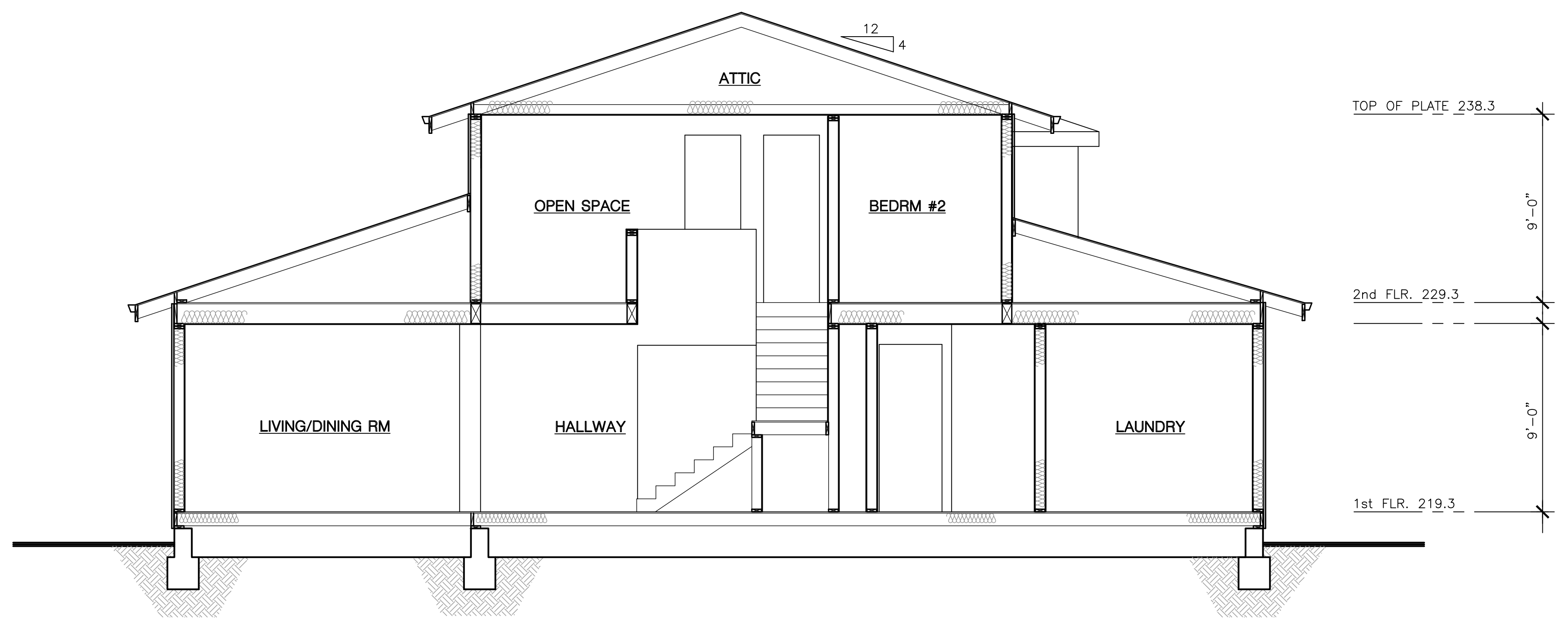


3 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" (REAR)

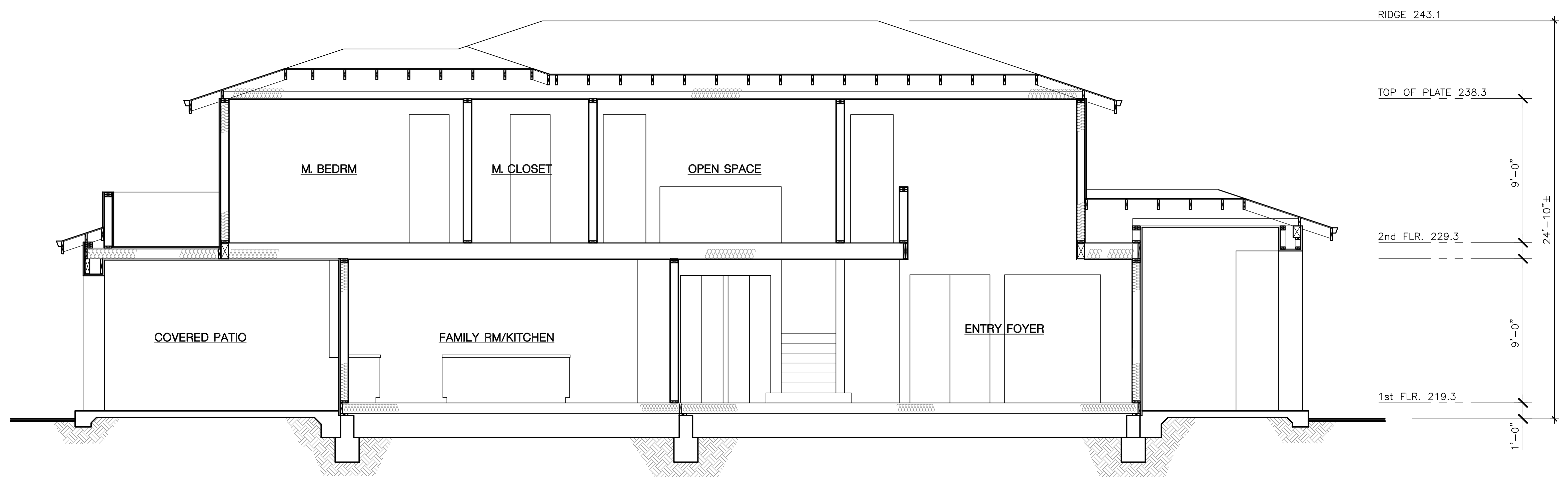
REVISIONS	
△ PLANNING	
7-10-2021	
△ PLANNING	
12-6-2021	
△	
△	



KEY PLAN
N.T.S.



SECTION "B-B"
SCALE: 1/4" = 1'-0"



SECTION "A-A"
SCALE: 1/4" = 1'-0"

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NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
944 AURA WAY
LOS ALTOS, CA

BUILDING SECTION

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-4.1
OF SHEETS	

GRADING NOTES:

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPUS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS/SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	20	10	
HOUSE	160	0	
TOTAL	180	10	170

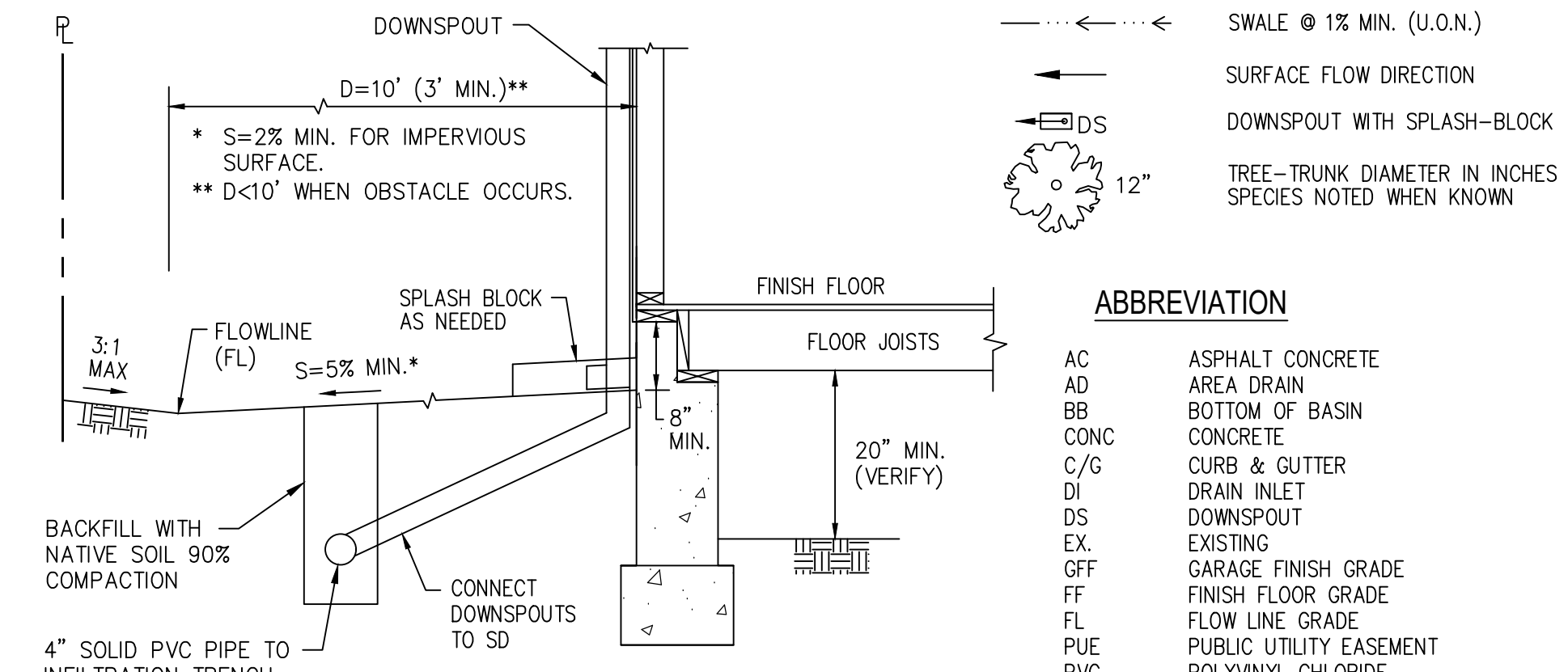
NOTE: EARTHWORK QUANTITIES SHOWN ON THIS TABLE ARE APPROXIMATE AND FOR INFORMATION ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

LEGEND

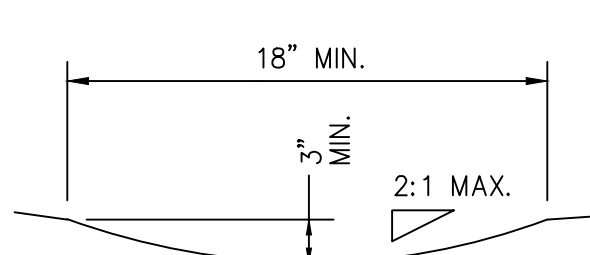
- PROPERTY LINE
- CENTERLINE
- SS --- UTILITY LINE-TYPE AS NOTED
- ELEC --- STREET LIGHT
- ELEC --- UTILITY BOX-TYPE AS NOTED
- WM --- WATER METER
- WV --- WATER VALVE
- CB --- CURB CATCH BASIN
- FH --- FIRE HYDRANT
- MH --- MANHOLE-TYPE AS NOTED
- CO --- SANITARY SEWER CLEANOUT
- PP --- POWER POLE W/ OVERHEAD WIRE
- MON --- BENCHMARK
- 200 --- MONUMENT
- CONTOUR LINE
- SWALE @ 1% MIN. (U.O.N.)
- SURFACE FLOW DIRECTION
- DS --- DOWNSPOUT WITH SPLASH-BLOCK
- 12" --- TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

ABBREVIATION

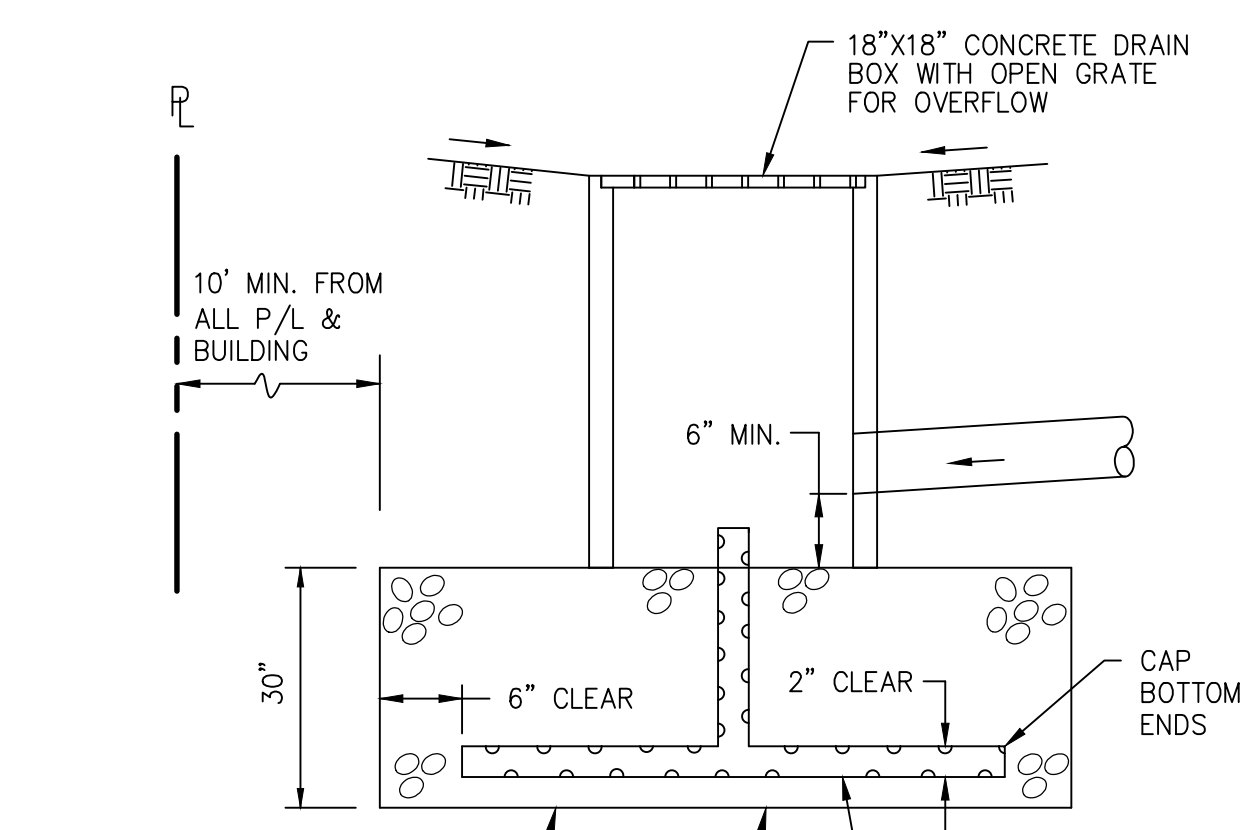
- AC --- ASPHALT CONCRETE
- AD --- AREA DRAIN
- BB --- BOTTOM OF BASIN
- CONC --- CONCRETE
- C/G --- CURB & GUTTER
- DI --- DRAIN INLET
- DS --- DOWNSPOUT
- EX --- EXISTING
- GFF --- GARAGE FINISH GRADE
- FF --- FINISH FLOOR GRADE
- FL --- FLOW LINE GRADE
- PUE --- PUBLIC UTILITY EASEMENT
- PVC --- POLYVINYL CHLORIDE
- SW --- SIDEWALK
- TB --- TOP OF BASIN
- TC --- TOP OF CURB



3 TYPICAL GRADING AROUND FOUNDATION NOT TO SCALE



2 SWALE NOT TO SCALE

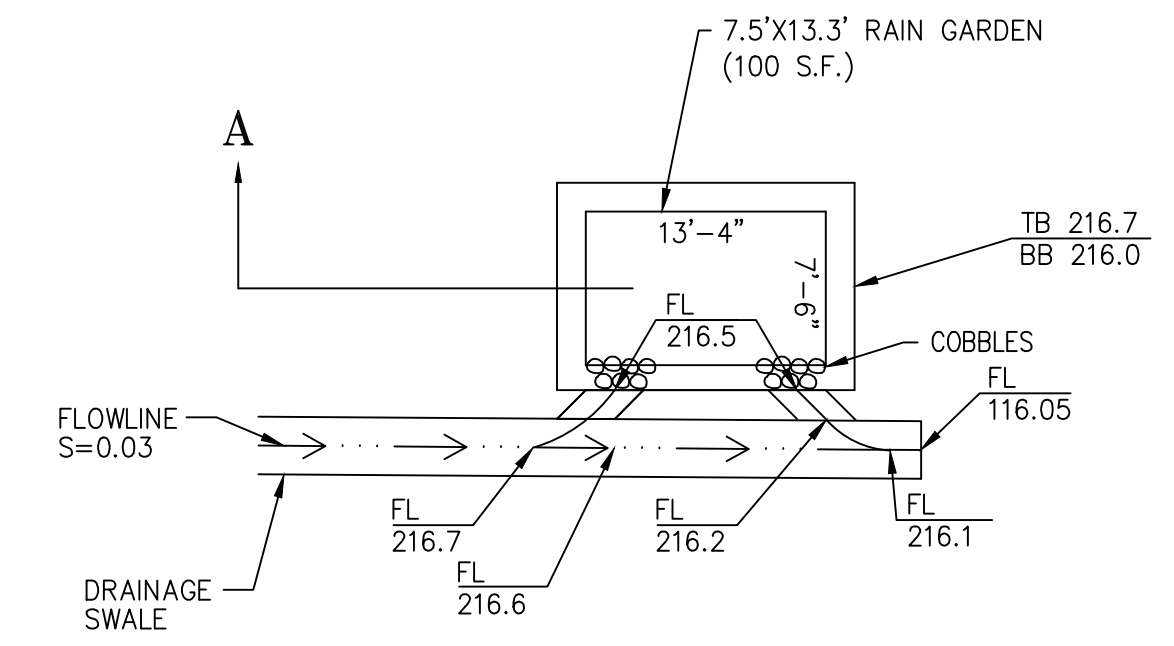
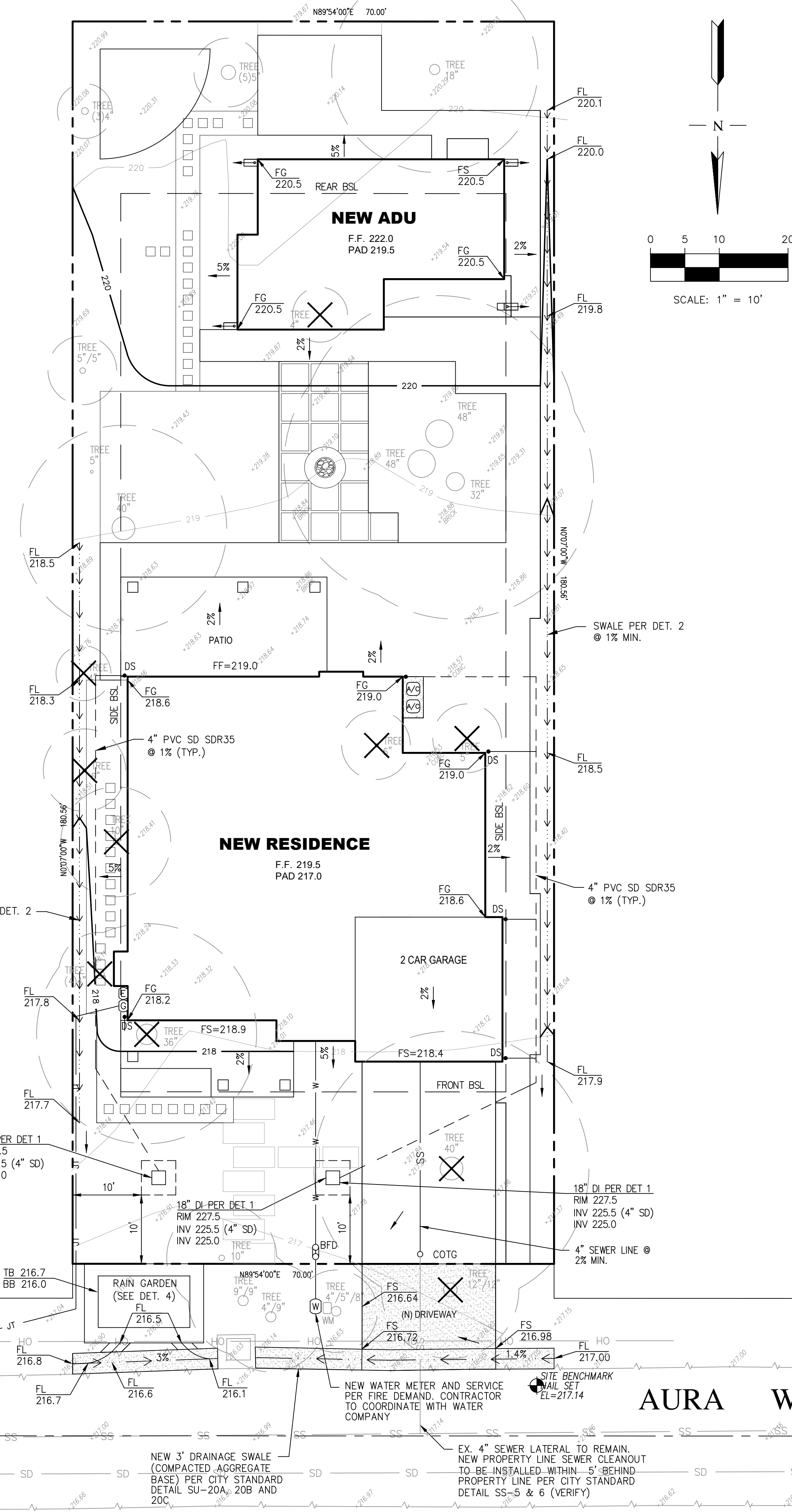


1 DETENTION BASIN NOT TO SCALE

TREE PROTECTION NOTES:
 1 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

NOTE TO CONTRACTOR:
 1. CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
 2. LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
 3. CONTRACTOR SHALL VERIFY FINISH FLOOR AND PAD ELEVATIONS WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

CITY RIGHT-OF-WAY NOTES:
 1. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT.
 2. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



SECTION A-A

4 RAIN GARDEN NOT TO SCALE

SITE BENCHMARK:

SET NAIL
 ELEVATION= 217.14' NAVD 1988 DATUM

NO.	REVISION	DATE	BY
1		5/27/21	

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PROFESSIONAL ENGINEER
 RYAN Y. WANG
 50541
 RENEWAL DATE: 06-30-23
 CIVIL
 STATE OF CALIFORNIA

NEW RESIDENCE
944 AURA WAY
LOS ALTOS, CA
 SANTA CLARA COUNTY
 APN: 189-14-089

GRADING AND DRAINAGE PLAN

DATE: 12/8/2021
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO. **C-1**

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LAIDEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENTS SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

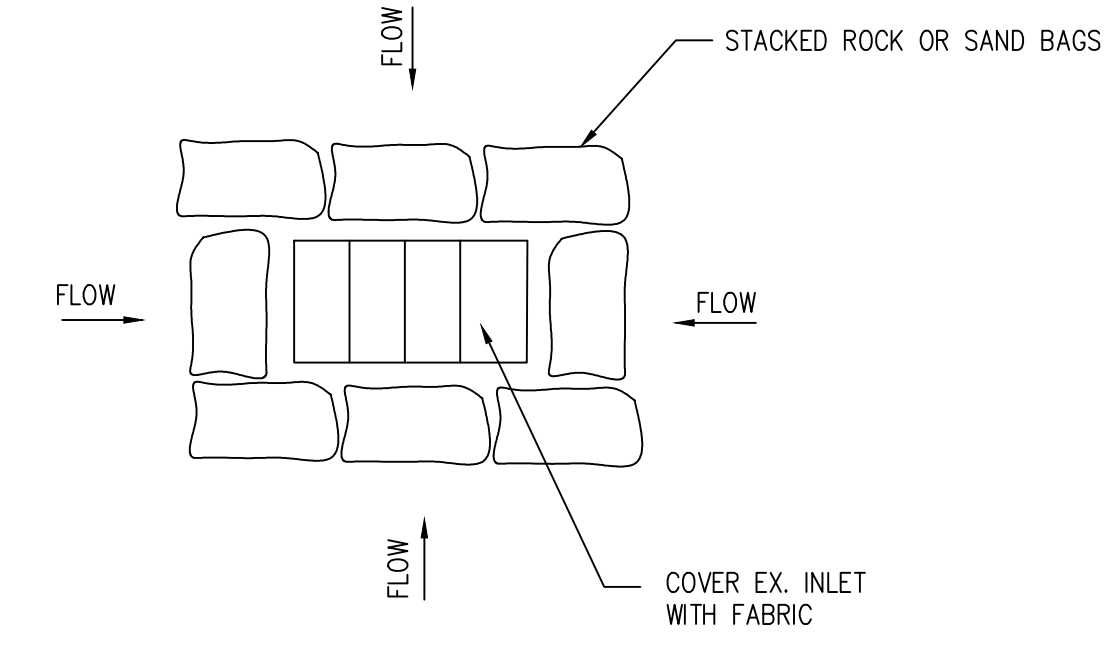
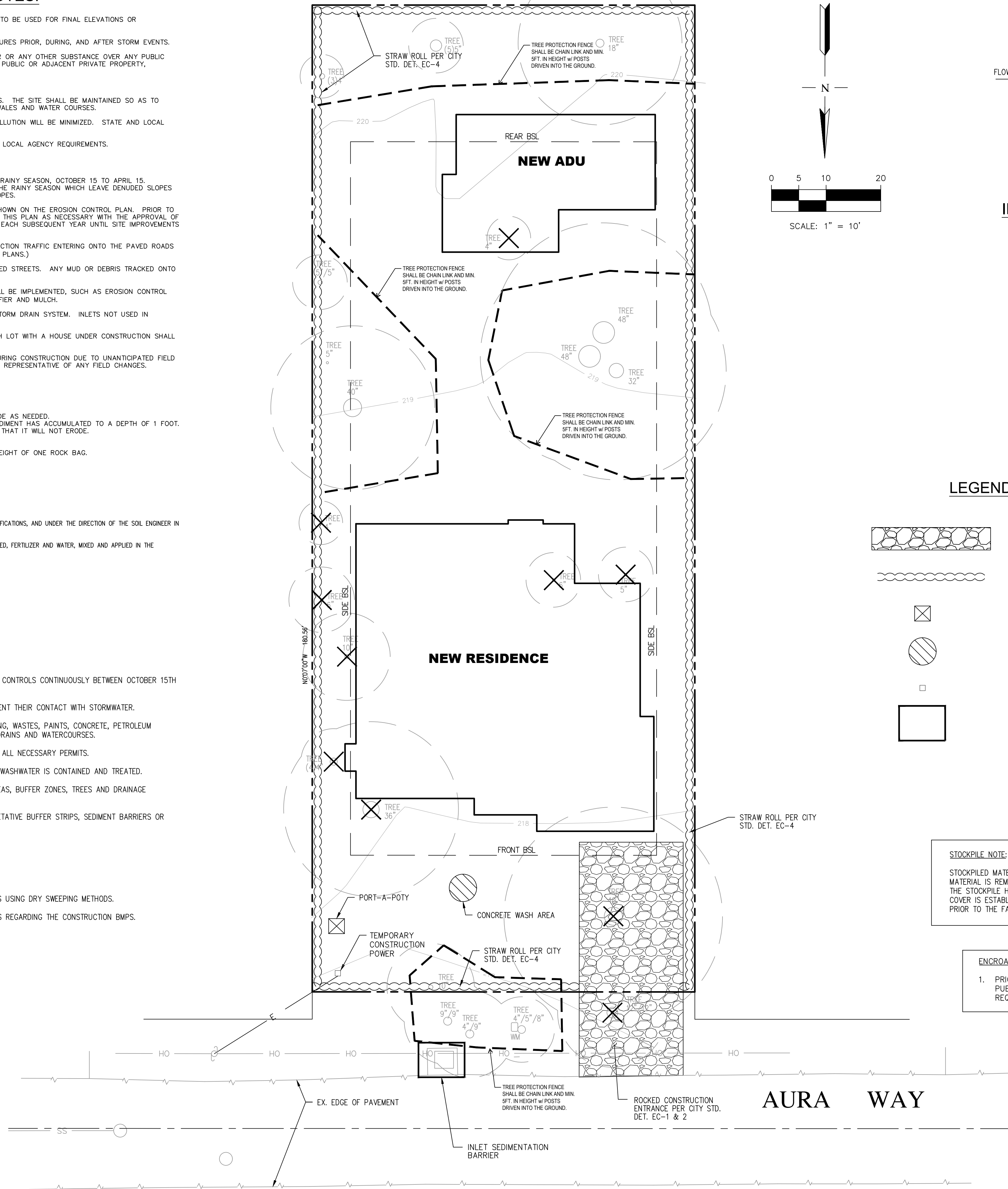
HYDROSEEDING:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

ADDITIONAL NOTES:

1. STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.



INLET SEDIMENTATION BARRIER

NOT TO SCALE

LEGEND

- ROCKED CONSTRUCTION ENTRANCE
- FIBER ROLL
- PORT-A-POTY
- CONCRETE WASH AREA
- TEMPORARY CONSTRUCTION POWER
- INLET SEDIMENTATION BARRIER

STOCKPILE NOTE:
 STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAVE BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINING SEASON.

ENCROACHMENT PERMIT:
 1. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT PERMIT WILL BE REQUIRED.

TREE PROTECTION FENCING NOTE:
 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

NO.	REVISION	DATE	BY
1	CITY COMMENTS	05/19/21	5/27/21

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Professional Engineer Seal:
 ROBERT Y. WANG
 50541
 RENEWAL DATE: 06-30-23
 CIVIL ENGINEER
 STATE OF CALIFORNIA

NEW RESIDENCE
944 AURA WAY
LOS ALTOS, CA
 SANTA CLARA COUNTY
 APN: 189-14-089

EROSION CONTROL PLAN

DATE: 12/8/2021
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO. **C-2**

GENERIC CONSTRUCTION SITE PLAN

ALTERNATE (IF PROPERTY SLOPES TO THE REAR)
PROPERTY LINE
HOUSE UNDER CONSTRUCTION
PROPERTY LINE
STRAW ROLL OR SILT FENCE BOUNDARY (LIMITS TO BE SITE SPECIFIED)
IF PROPERTY SLOPES TO THE REAR, THEN INSTALL STRAW ROLLS ALONG BACK OF PROPERTY
STABILIZED CONSTRUCTION ENTRANCE
EDGE OF PAVEMENT
10' 10' 10' 10'
STREET

Approved: [Signature] 1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE	EC-1

STANDARD DETAILS MAY 2010

STABILIZED CONSTRUCTION SITE ENTRANCE

25' MINIMUM LENGTH
6" TO 12"
CRUSHED ROCK AS DIRECTED BY THE ENGINEER
SLOPE AWAY FROM ROADWAY
EDGE OF PAVEMENT
EXISTING ROAD
EXISTING GROUND
FILTER FABRIC

NOTES:
1. PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: [Signature] 1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

STANDARD DETAILS MAY 2010

STRAW ROLLS

NOTE: STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS
ADJACENT ROLLS SHALL TIGHTLY ABUT
3'-4" (1.2m)
10'-25' (3-8m)
SEDIMENT, ORGANIC MATTER, AND NATIVE SEEDS ARE CAPTURED BEHIND THE ROLLS
SPACING DEPENDS ON SOIL TYPE AND SLOPE STEEPNESS
3'-5" (75-125mm)
8"-10" DIA. (200-250mm)
1" x 1" STAKE (25 x 25mm)

NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
1:1 SLOPES = 10 FEET APART
2:1 SLOPES = 20 FEET APART
3:1 SLOPES = 30 FEET APART
4:1 SLOPES = 40 FEET APART
<4:1 SLOPE = ONE ROW AT LOW POINT
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: [Signature] 1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STRAW ROLLS	EC-4

STANDARD DETAILS MAY 2010

STANDARD SEWER LATERAL CLEAN-OUT

FRAME AND COVER SEE DETAILS AT RIGHT
STREET SURFACE
PROVIDE FOR SLIPPAGE MASTIC SEAL
SELECT BACKFILL MATERIAL
C.I.P. OR P.V.C. RISER TO BE SAME SIZE AS LATERAL
LONG RADIUS 1/8 BEND
CONCRETE BLOCK SHALL BE WIDTH OF TRENCH

COVER DETAIL
12" DIA.
1-1/4"
3/4"
1"

FRAME DETAIL
14" DIA.
12-1/8" DIA.
10-1/2" DIA.
13" DIA.
18" DIA.
1/2"
7-1/2"

Approved: [Signature] 1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
Changed Detail Title	02/16/12	SEWER LATERAL CLEAN-OUT	SS-6

STANDARD DETAILS MAY 2010

STREET SHOULDER IMPROVEMENT POLICY (SHEET 1 OF 3)

LANDSCAPING AREA
REDWOOD HEADER BOARD
10' MIN
22' MIN
2" (MIN.) TO TREE (TYP.)
DRIVEWAY
8" MAX
FLOWLINE TYP.
MATCH EXISTING GRADE
EDGE OF ROAD PAVEMENT TYP.
MATCH EXISTING GRADE
EDGE OF ROAD PAVEMENT TYP.
LANDSCAPING AREA
ROAD
10' MIN
22' MIN
PARKING AREA (TYP.)
LANDSCAPING AREA

SECTION A-A
2" x 3" x 12" ROUGH REDWOOD STAKES AT 4' OC AND AT ALL JOINTS.

SEE STANDARD DETAIL SU-20B FOR NOTES RELATED TO THE STREET SHOULDER IMPROVEMENT POLICY.

Approved: [Signature] 1/10/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 1 OF 3)	SU-20A

STANDARD DETAILS MAY 2010

STREET SHOULDER IMPROVEMENT POLICY (SHEET 2 OF 3)

NOTES:
1. IF THE STREET PAVEMENT WIDTH IS 36 FEET OR GREATER, NO SHOULDER IMPROVEMENTS ARE PERMITTED WITH THE EXCEPTION OF LANDSCAPING AND IRRIGATION.
2. POLICY DOES NOT APPLY FOR REPAIRS, RESALING, AND REPAIRING IN KIND OF EXISTING SHOULDER, NOR DOES IT REQUIRE THAT SHOULDER BE PAVED.
3. THE SHOULDER OF A NEWLY CONSTRUCTED OR 50% OR GREATER SQUARE FOOTAGE REMODELED RESIDENCE IS REQUIRED TO BE BROUGHT INTO COMPLIANCE WITH THIS POLICY.
4. DRAINAGE SWALE
a) 3' WIDE
b) MAXIMUM CROSS SLOPE 5%
5. PARKING AREA SHALL FEATURE ONE OF THE FOLLOWING MATERIALS
a) PERMEABLE CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS
b) CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS SHALL BE FILLED WITH SAND. OPEN CELL CONCRETE BLOCKS VARY IN SIZE BASED ON BLOCK TYPE AND SHALL BE FILLED IN WITH GRAVEL OR GRASS, ALLOWING WATER TO ENTER THE SUBGRADE. CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS SHALL BE INSTALLED OVER A SAND BEDDING COURSE (MINIMUM 1" THICK OR PER PAVEMENT MANUFACTURER'S RECOMMENDATION). FURTHER WATER RESERVOIR CAPACITY CAN BE ADDED BY INSTALLING OPEN GRADED BASE AND STONE SUBBASE WITH AN OPTIONAL UNDERDRAIN (TO BE ROUTED TO THE BIOSWALE/RAIN GARDEN), WITH GEOTEXTILE ON BOTTOM AND SIDES. TYPICALLY AN EDGE CONSTRAINT IS INSTALLED AT THE PERIMETER OF THE PAVERS OR LOCATIONS SUBJECT TO LATERAL LOADING. SUBGRADE EXCAVATION DEPTH REQUIRED IS 9-12 INCHES, BUT CAN BE GREATER IN DEPTH IF ADDITIONAL RESERVOIR CAPACITY IS DESIRED.
c) COMPACTED AGGREGATE BASE (AB)
1-1/2 INCH OR 3/4 INCH CLASS 2 AGGREGATE BASE (6 INCHES THICK ON COMPACTED NATIVE SOIL)
d) COMPACTED STABILIZED DECOMPOSED GRANITE (DG)
SMALL SIZED GRANITE AGGREGATE MIXED WITH A STABILIZING AGENT, COMPACTED AND PLACED OVER EXISTING PERMEABLE SURFACES AND 6 INCHES OF AGGREGATE BASE IF SUBGRADE IS LESS SUITABLE. SUBGRADE EXCAVATION REQUIRED IS 8-12 INCHES, BUT CAN BE GREATER IN DEPTH IF ADDITIONAL RESERVOIR CAPACITY IS CONSIDERED. DG LAYER SHALL BE MINIMUM 4 INCHES THICK. GRADE TO DRAIN.
6. BIOSWALE/RAIN GARDEN IN LANDSCAPE AREA DESIGNED TO RECEIVE RUNOFF FROM DRAINAGE SWALE/PARKING AREA. DESIGN AND SHAPE OF BIOSWALE/RAIN GARDEN BY ARCHITECT OR ENGINEER. MINIMUM DEPTH SHALL BE 2'-3". REFER TO THE C.3 STORMWATER HANDBOOK FOR DESIGN PARAMETERS AND SPECIFICATIONS OF SOILS OR PLANTS. AREA SHALL BE DEPENDING ON LENGTH OF FRONTAGE (DISTANCE MEASURED PARALLEL TO EDGE OF ROAD BETWEEN PROPERTY LINES) AS FOLLOWS:
a) FRONTAGE < 75' 50 SF MINIMUM
b) 75' < FRONTAGE < 100' 100 SF MINIMUM
c) 100' < FRONTAGE < 150' 200 SF MINIMUM
d) FRONTAGE > 150' 300 SF MINIMUM
7. LOTS LOCATED ALONG SUGGESTED ROUTES TO SCHOOL MAY REQUIRE MODIFICATION TO THIS STANDARD DETAIL AS APPROVED BY THE CITY ENGINEER. OTHER MODIFICATIONS MAY BE MADE AS APPROVED BY THE CITY ENGINEER.

Approved: [Signature] 1/10/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 2 OF 3)	SU-20B

STANDARD DETAILS MAY 2010

PERMEABLE DRAINAGE SWALE

EXISTING PAVEMENT
AD PLUG
5%
5%
8"
PERMEABLE PARKING AREA
CURB
2%
AGGREGATE BASE (TYP.)
GEOTEXTILE (OPTIONAL)
3/4" CONCRETE PAVERS (ASTM C938)
7" BEDDING SAND, ASTM NO. 8 STONE
4" BASE MATERIAL, ASTM NO. 5 STONE
6" SUBBASE MATERIAL, ASTM NO. 2 STONE

REQUIRED WHERE MATERIAL IN SHOULDER CHANGES

NOTES:
1. AD PLUG SHALL BE 4" THICK OR MATCH EXISTING PAVEMENT THICKNESS, WHICHEVER IS GREATER.
2. AGGREGATE BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
3. INSTALL PAVERS AND ALL BASE MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
4. ALTERNATE DRAINAGE SWALE MAY BE CONSTRUCTED WITH 1-1/2 INCH OR 3/4 INCH COMPACTED CLASS 2 AB (6 INCH THICK OR COMPACTED NATIVE SOIL).

LEGEND:
CONCRETE PAVERS, OR APPROVED PERMEABLE MATERIAL FROM SU-20B
NOTE S.A.
BEDDING SAND
BASE MATERIAL
SUBBASE MATERIAL
PCC
AGGREGATE BASE
AD PLUG
EXISTING PAVEMENT
PERMEABLE PARKING AREA
NATIVE MATERIAL
NOTES

Approved: [Signature] 12/1/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 3 OF 3)	SU-20C

STANDARD DETAILS MAY 2010

SEWER LATERAL AND SEWER RISER

SEWER MAIN
WYE
1/8 BENDS AS REQUIRED
V.C.P. OR P.V.C. LATERAL
FRAME AND COVER SEE DETAIL SS-6
CITY RIGHT OF WAY
PRIVATE PROPERTY
PROPERTY LINE
5'-0" PLACE CLEANOUT WITHIN 5' OF P
SEE DETAIL SS-6 FOR CLEAN-OUT DETAIL
COVER - 7" BELOW BACK OF SIDEWALK - IF NO SIDEWALK EXISTS, 8" BELOW CROWN OF STREET.
MIN. COVER 4" BELOW BACK OF SIDEWALK IF NO SIDEWALK EXISTS 5" BELOW CROWN OF STREET
MACHINE TAMPERED BEFORE INSTALLATION
WYE
1/8 BENDS AS REQUIRED

NOTES:
1. STAMP "S" IN CURB FACE TO SHOW LOCATION OF LATERAL. SEE DETAIL SU-7
2. MINIMUM SLOPE OF LATERAL SHALL BE 1/4" PER 12"

Approved: [Signature] 1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		SEWER LATERAL AND SEWER RISER	SS-5

STANDARD DETAILS MAY 2010

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALTAMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rweengineering@gmail.com

REGISTERED PROFESSIONAL ENGINEER
PROPERTY Y. WANG
50541
RENEWAL DATE: 06-30-23
CIVIL
STATE OF CALIFORNIA

NEW RESIDENCE
944 AURA WAY
LOS ALTOS, CA
APN: 189-14-089
SANTA CLARA COUNTY

STANDARD DETAILS

DATE: 12/8/2021
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

C-3

NEW RESIDENCE

944 AURA WAY
LOS ALTOS, CA

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 24, 2022

SCALE:

DRAWN: YH

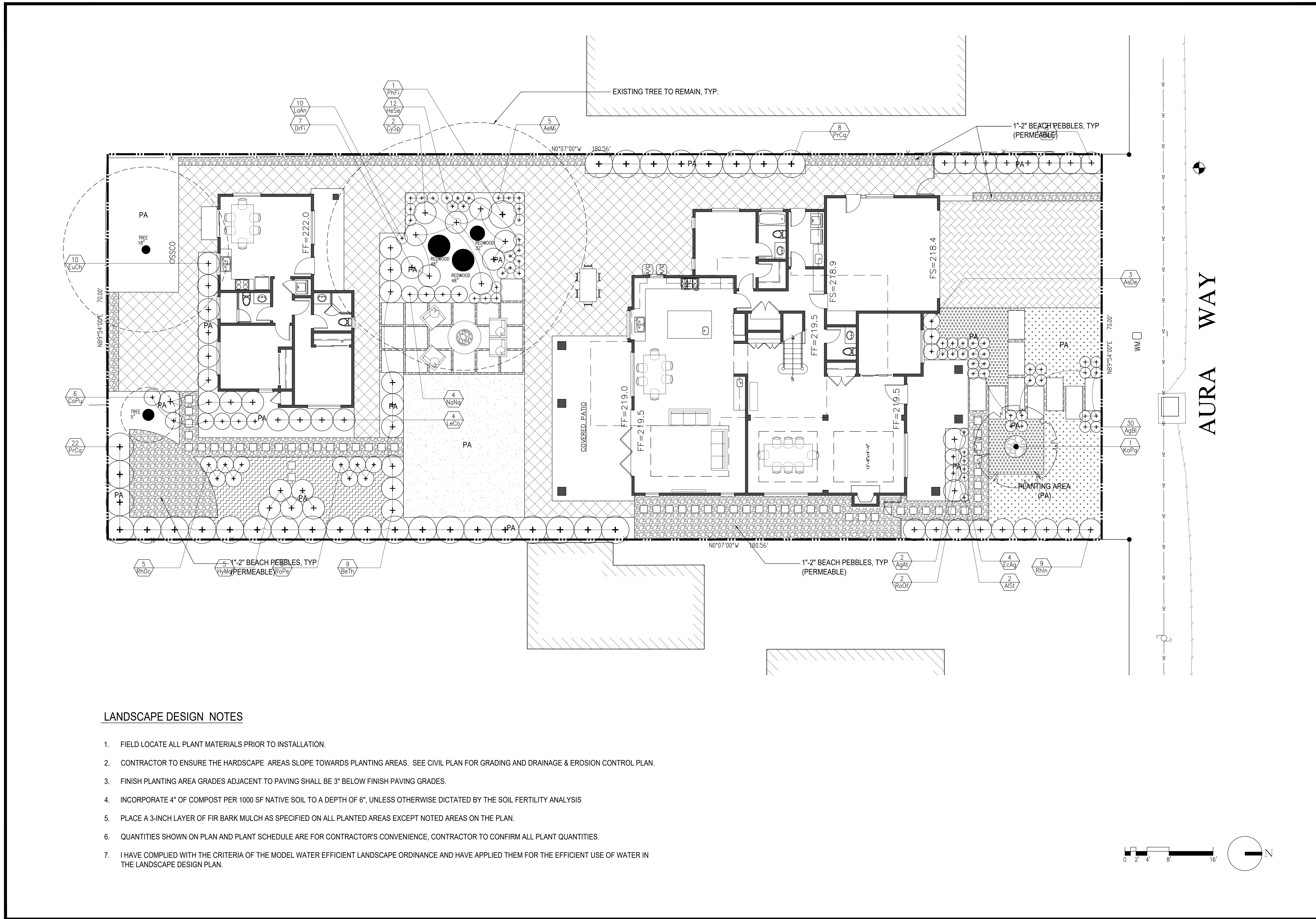
JOB:

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO.

L-1



LANDSCAPE DESIGN NOTES

1. FIELD LOCATE ALL PLANT MATERIALS PRIOR TO INSTALLATION.
2. CONTRACTOR TO ENSURE THE HARDSCAPE AREAS SLOPE TOWARDS PLANTING AREAS. SEE CIVIL PLAN FOR GRADING AND DRAINAGE & EROSION CONTROL PLAN.
3. FINISH PLANTING AREA GRADES ADJACENT TO PAVING SHALL BE 3" BELOW FINISH PAVING GRADES.
4. INCORPORATE 4" OF COMPOST PER 1000 SF NATIVE SOIL TO A DEPTH OF 6", UNLESS OTHERWISE DICTATED BY THE SOIL FERTILITY ANALYSIS
5. PLACE A 3-INCH LAYER OF FIR BARK MULCH AS SPECIFIED ON ALL PLANTED AREAS EXCEPT NOTED AREAS ON THE PLAN.
6. QUANTITIES SHOWN ON PLAN AND PLANT SCHEDULE ARE FOR CONTRACTOR'S CONVENIENCE, CONTRACTOR TO CONFIRM ALL PLANT QUANTITIES.
7. I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

TREE



Goldenrain Tree, 30' H X 15' W, Growth rate: moderate

EVERGREEN SCREENING SHRUB



Carolina Cherry Laurel, 20' H X 5' W, Growth rate: fast

PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	* WUCOLS	QUAN.	SIZE	SPACING
TREE						
KoPa	Koeleruteria paniculata	Goldenrain Tree	L	1	24" box	As Shown
SHRUBS						
BeTh	Berberis thunbergii 'Atropurpurea'	Red-leaf Japanese Barberry	L	9	15 gal.	4' O.C.
CoPu	Coleonema Pulchrum 'Sunset Gold'	Golden Breath of Heaven	M	6	15 gal.	3' O.C.
CySp	Cytisus x spachianus	Sweet Broom	L	2	15 gal.	5' O.C.
HyMa	Hydrangea macrophylla	Bigleaf Hydrangea	M	5	15 gal.	4' O.C.
LaAn	Lavandula angustifolia	English Lavander	L	10	15 gal.	2' O.C.
LeCo	Leucospermum cordifolium	Nodding Pincushion	L	4	15 gal.	4' O.C.
NaNa	Nandina domestica 'Nana Purpurea'	Dwarf Sacred Bamboo	M	4	15 gal.	3' O.C.
PrCa	Prunus caroliniana	Carolina Cherry Laurel	L	30	15 gal.	5' O.C.
RhIn	Rhapiolepis indica	Indian Hawthorn 'Pink Lady'	M	17	15 gal.	5' O.C.
RhOc	Rhododendron occidentale	Western Azalea	M	5	15 gal.	3' O.C.
RoPe	Rosa 'Perle d'Or'	Perle d'Or Rose	M	5	15 gal.	3' O.C.
RoOf	Rosmarinus officinalis 'Upright'	Upright Rosemary	L	2	15 gal.	4' O.C.
PERENNIAL and GROUNDCOVER						
AeMi	Aeonium 'Mint Saucer'	Mint Saucer Aeonium	L	4	5 gal.	2' O.C.
AgAt	Agave attenuata	Fox Tail Agave	L	2	15 gal.	5' O.C.
AgBl	Agave 'Blue Glow'	Blue Glow Agave	L	30	15 gal.	2.5' O.C.
AlSt	Aloe striata	Coral Aloe	L	2	15 gal.	2' O.C.
AsDe	Asparagus densiflorus	Foxtail Fern	M	3	15 gal.	3' O.C.
CaPa	Carex pansa	California Meadow Sedge	L	214	1 gal.	18" O.C.
DrFi	Dryopteris filix-mas	Male Fern	M	7	15 gal.	4' O.C.
DyMa	Dymondia margaretae	Silver Carpet	L	115	1 gal.	18" O.C.
EcAg	Echeveria agavoides 'Romeo'	Romeo Wax Agave	L	4	15 gal.	18" O.C.
EuCh	Euphorbia characias 'wulfenii'	Euphorbia (shrub-like)	L	10	15 gal.	5' O.C.
HeSe	Helictotrichon sempervirens	Blue Oat Grass	L	22	5 gal.	2' O.C.
PhFi	Phormium 'Firebird'	'Firebird' New Zealand Flax	L	1	15 gal.	5' O.C.
ThSe	Thymus serpyllum	Creeping Thyme	M	32	5 gal.	3' O.C.
GrBl	90% Tall Fescue & 10% Kentucky Bluegrass Blend	Sod Lawn	M	572 SF		

* WUCOLS water usage level: H-High, M-Moderate, L-Low and VL-Very Low

NEW RESIDENCE

944 AURA WAY
LOS ALTOS, CA

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 24, 2022
SCALE: AS SHOWN
DRAWN: YH
JOB:

SHEET TITLE:

PLANTING SCHEDULE & PLANT PHOTOS

SHEET NO.

L-2



DATE: May 4, 2022
AGENDA ITEM #3

TO: Design Review Commission
FROM: Jia Liu, Associate Planner
SUBJECT: SC21-0046 – 628 Cuesta Drive

RECOMMENDATION:

Approve design review application SC21-0046 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for residential additions to an existing two-story single-family residence. The project includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. The project is categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION:	Single-Family, Residential
ZONING:	R1-10
PARCEL SIZE:	11,850 square feet
MATERIALS:	Composite shingles, fiber cement siding, fiberglass window frame with fiber cement trims

	Existing	Proposed	Allowed/Required
COVERAGE:	2,039 square feet	2,113 square feet	3,555 square feet
FLOOR AREA:			
First floor	2,039 square feet	2,065 square feet	3,935 square feet
Second floor	578 square feet	1,120 square feet	
Total	2,617 square feet	3,185 square feet	
SETBACKS:			
Front	25.83 feet	25.83 feet	25 feet
Rear	43.75 feet	43.75 feet	25 feet
Left side (1 st /2 nd)	10 feet/10 feet	10 feet/18.96 feet	10 feet/17.5 feet
Right side (1 st /2 nd)	20.17 feet/65.42 feet	20.17 feet/57.3 feet	10 feet/17.5 feet
HEIGHT:	19.67 feet	21.25 feet	27 feet

It should be noted that the applicant did not include the new porch into the proposed site coverage. As a condition of approval, the applicant shall include the proposed porch into the lot coverage in the construction drawings.

BACKGROUND

On March 2, 2022, the Design Review Commission held a public meeting to consider the proposed project. Following a presentation by staff and input from the applicant and public comments, the Commission discussed the proposed project and voted unanimously (3-0), with Commissioner Blockhus recusal and Commissioner Harding absent, to continue the project with the following direction:

- Provide documentation of conversations with the neighbors at the rear showing they have reviewed the plans, their concerns about privacy impacts have been addressed, and are in agreement with the proposed design;
- There are discrepancies between the depicted existing elevations and the actual building elevations. Applicant shall revise the existing elevation plans to reflect the actual conditions;
- A better materials board shall be prepared to present the exterior materials upgrades;
- Applicant shall review Section 5.4 of the Residential Design Guidelines and use appropriate design mitigations including but not limited to roof eave lines, distinct exterior materials, and incorporation of a projected covered porch to reduce the perception of the bulk and massing;
- Applicant shall reconsider the rear facing windows to reduce the visual impact as well as light impact to the rear neighbors fronting Arboleda Drive; and
- A full landscaping plan shall be provided and included.

DISCUSSION

Design Revisions

According to the Design Review Commissioner's direction, the following revisions and efforts have been completed by the applicant and incorporated into the package as presented in the meeting package.

1. The applicant communicated with the adjacent neighbors and provided a support letter and email responses from the adjacent neighbors to document the agreement of the current design.
2. The existing front elevation was updated to reflect the real conditions.
3. The materials board on Sheet A-6 was updated with more details.
4. Following the Section 5.4 of the Residential Design Guidelines, the applicant made the following modifications to mitigate the bulk and massing:
 - Added architectural elements including a porch to the existing entrance and roof projections between the first story and existing second story;
 - Applied distinct exterior materials including horizontal siding at the first floor with stone veneer wainscoting at the garage and vertical siding at the second floor; and
 - Centered the garage door and made the existing garage and second-story element symmetric.

5. The master bedroom window at the second story was changed from six feet in width by five feet in height with two-foot, six-inch windowsill height to five feet in width by four feet in height with three-foot, six-inch sill height to reduce the privacy and light impact.
6. A full landscaping plan was updated and included in the plan set.

The applicant's revised plan (Attachment H) includes the revisions and items addressed above. The applicant's response letter is also provided as Attachment C.

Environmental Review

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves the construction of an addition to an existing single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Cuesta Drive and Arboleda Drive. The applicant has also updated the Notice of Development Proposal (Attachment D) with the current design to avoid confusion. The latest design and plans for clarifying the privacy mitigation have also been presented to the adjacent neighbors by the applicant as directed by the Design Review Commission. Upon the communications, adjacent neighbors provided support letter or positive email correspondences (Attachment E) showing no objections with the current design.

Cc: Yun Li, Property Owner and Applicant
Jenny Zhao, Designer

Attachments:

- A. Design Review Commission Minutes, March 2, 2021
- B. Design Review Commission Agenda Report, March 2, 2021
- C. Applicant Response Letter
- D. Proof of Public Notice
- E. Public Correspondence
- F. Material Boards
- G. Design Review Commission Project Plans, March 2, 2022
- H. Design Review Commission Project Plans, May 4, 2022

FINDINGS

SC21-0046 – 628 Cuesta Drive

With regard to design review for the two-story addition to an existing two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC21-0046 – 628 Cuesta Drive

GENERAL

1. **Expiration**

The Design Review Approval will expire on May 4, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

The approval is based on the plans and materials received on April 21, 2022, except as may be modified by these conditions.

3. **Plan Revisions**

Update the construction drawing on Sheet A-1, the “Proposed Lot Coverage” shall be revised from 2,066 square feet to 2,113 square feet to include the proposed porch.

4. **Protected Trees**

Trees Nos. 1-8, 16-21, and 25 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. **Landscaping**

The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City’s Model Water Efficient Landscape Ordinance.

6. **Wainscoting Return**

The proposed wainscoting with stone veneer at the exterior wall of the garage shall have the left (east)-side return along the left (east)-side elevation that end at least where the fence will be installed.

7. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. **Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

10. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

11. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

12. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the driplines of trees Nos. 1-8, 16-21, and 25 as shown on the Tree Protection Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction

has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

19. Landscaping Installation

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

20. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

21. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, MARCH 2, 2022, BEGINNING AT 7:00 P.M. HELD VIA VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 242-4929 to participate in the conference call (Meeting ID: 146 663 6618 or via the web at <https://tinyurl.com/mr28h7ek>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DesignReviewCommission@losaltosca.gov or Planning@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PRESENT: Chair Blockhus and Commissioners Bishop, Kirik and Vice-Chair Ma

ABSENT: Commissioner Harding

STAFF: Interim Planning Services Manager Golden and Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**

Approve minutes of the regular meeting of February 16, 2022. ***THIS ITEM IS CONTINUED TO THE MARCH 16, 2022 DRC MEETING.***

DISCUSSION

2. **SC21-0023 - Isabeau Guglielmo - 959 Altos Oaks Drive**

Design review for a new 3,720 square-foot two-story single-family residence. The project includes 2,733 square feet on the first story and 987 square feet on the second story. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. This item was continued from the February 2, 2022 Design Review Commission meeting.

Project Manager: Golden

STAFF PRESENTATION

Senior Planner Golden presented the staff report recommending approval of design review application SC21-0023 subject to the listed findings and conditions and answered a question from Commissioner Kirik regarding the daylight plane.

APPLICANT PRESENTATION

Project applicant/architect Isabeau Guglielmo provided a project presentation, went over the changes made to address Commission concerns, and answered Commissioner questions.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked about the first story plate height, the daylight plane that still shows an encroachment on the right side, and if the plate height on the second story raised.

Answer: Project architect/applicant Isabeau Guglielmo said the plate height on the left side was reduced, but increased on the right side to be consistent throughout. The previous design had a wall plate height on the right side that was stepped down, and now has a more uniform roof form.

Commissioner Bishop asked for clarification on the plate height change and comment letter provided by the architect.

Answer: Project architect/applicant Isabeau Guglielmo clarified the plate height changes on the first and second stories.

Vice-Chair Ma asked a question regarding the landscape privacy screening, if the rear neighbor was shown the design, and how long it will be before the screening is mature and gets tall.

Answer: Project architect/applicant Isabeau Guglielmo clarified the size of the landscaping going in and said they did not follow up with the rear neighbor after initial contact.

Chair Blockhus asked for clarification on the landscape plan.

Answer: Project landscape architect Greg Ing said the screening will grow about two feet per year.

Commissioner Kirik asked if the revised landscape plans were shown to the rear neighbor.

Answer: Project architect/applicant Isabeau Guglielmo stated they did not follow up and show the rear neighbor the revisions made.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

APPLICANT REBUTTAL

None.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Bishop, the Commission approved design review application SC21-0023 subject to the staff report findings and conditions.

The motion was approved (4-0) by the following vote:

AYES: Blockhus, Harding, Kirik, and Ma, Bishop

NOES:

ABSENT: Harding

3. SC21-0049 - Steve Collom – 623 Almond Avenue

Design Review for a new two-story house with a basement. The project includes 2,702 square feet at the first story and 1,522 square feet at the second story with a 1,995 square-foot basement. The project includes a 512 square-foot detached accessory dwelling unit, which is not part of the design review application. It is not part of the design review application. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project*

Manager: Liu

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0049 subject to the listed findings and conditions.

DRC QUESTIONS TO STAFF

None.

APPLICANT PRESENTATION

Property Owner Sutaria introduced the project, stated she has lived in the neighborhood for a long time and noted her outreach to the neighbors.

Architect Steve Collom provided general comments and made himself available for questions.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked about the stone veneer wrapping.

Answer: Architect Steve Collom confirmed that they are wrapping the column.

Vice-Chair Ma asked there is a different eave at the gable end.

Answer: Architect Steve Collom stated that it is a closed soffit.

Chair Blockus asked why the wall plate height at the office is 11-foot, eight inches.

Answer: Architect Steve Collom said that it was more natural for the roof line.

PUBLIC COMMENT

Neighbor Chris Ling of 628 Almond Avenue stated his support for the project.

Neighbor Angela of 633 Almond Avenue gave her support for the project.

Chair Blockus closed the public comment period.

APPLICANT REBUTTAL

None.

Commissioner discussion then proceeded.

Commissioner Kirik stated he had an ex parte conversation with the property owner to gain access to the rear yard with their dogs.

Chair Blockus stated he had an ex parte conversation with the property owner to gain access to the rear yard and met the dogs too.

Action: Upon a motion by Commissioner Bishop, seconded by Vice-Chair Ma, the Commission approved design review application SC21-0049 subject to the staff report findings and conditions.

The motion was approved (4-0) by the following vote:

AYES: Blockus, Harding, Kirik, and Ma, Bishop

NOES:

ABSENT: Harding

Commissioner Blockus recused himself from the meeting because he lives within 500 feet of the subject property in agenda item 4.

Vice-Chair Ma ran the rest of the meeting.

4. SC21-0046 – Yun Li – 628 Cuesta Drive

Design Review for a two-story addition to an existing two-story house. The includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0046 subject to the listed findings and conditions.

DRC QUESTIONS TO STAFF

Commissioner Bishop asked if the second story deck was removed.

Answer: Associate Planner Liu confirmed that was included earlier but removed in the current design.

Commissioner Kirik asked if the trellis or projection above the garage that broke up the massing had been removed and if anything was done to address the two-story vertical wall at the garage.

Answer: Associate Planner Liu said there wasn't anything explored with that element.

APPLICANT PRESENTATION

Applicant/owner Yun Li gave a brief overview of the project, stated his desire to improve the old house, and neighbor outreach.

Project designer Jenny Zhao said the projection was accidentally removed and can be added back as part of the building plans.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked if the applicant had looked at alternative solutions to break down the front elevation verticality.

Answer: Project designer Jenny Zhao said no and that it was not part of the scope of work and were trying to minimize construction costs.

Vice-Chair Ma asked for clarification on the existing front elevation plan drawing and the street view differences.

Answer: Project designer Jenny Zhao said she made some mistake on the drawings.

PUBLIC COMMENT

Neighbor Ken Jones of 639 Arboleda Drive, the neighbor to the rear, stated concerns about the previous deck that is now removed and that the landscaping will not provide adequate coverage for privacy screening.

Charles Gray of 647 Arboleda Drive wanted to speak but had technical difficulties.

Associate Planner Liu shared the late correspondence she received from the neighbor Charles Gray.

Vice-Chair Ma closed the public comment period.

APPLICANT REBUTTAL

None.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Bishop, the Commission continued design review application SC21-0046 with the following direction:

- Applicant should review Section 5.6 of the Residential Design Guidelines to address the impact and mass towards the street with roofline, material change, or garage door design;
- Explore a more defined front entry;
- Provide a full landscape plan showing the sizes at planting and maturity;
- Provide documentation of conversations with the neighbors at the rear showing they have reviewed the plans, their concerns about privacy impacts have been addressed, and are in agreement with the proposed design; and
- Review the rear facing windows and slightly modify to address any impact of light pollution.

The motion was approved (3-0) by the following vote:

AYES: Bishop, Kirik, and Ma

NOES: None

ABSENT: Harding

RECUSED: Blockus

COMMISSIONERS' REPORTS AND COMMENTS

Commissioner Kirik asked about the Joint Study Session with the Planning Commission on SB9.

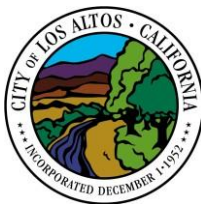
POTENTIAL FUTURE AGENDA ITEMS

Interim Planning Services Manager Golden said that the item will be scheduled for the April 6, 2022 Design Review Commission meeting at 6:00 p.m. and went over the upcoming agenda items.

ADJOURNMENT

Vice-Chair Ma adjourned the meeting at 9:14 PM.

Steve Golden
Interim Planning Services Manager



DATE: March 2, 2022
AGENDA ITEM # 4

TO: Design Review Commission
FROM: Jia Liu, Associate Planner
SUBJECT: SC21-0046 – 628 Cuesta Drive

RECOMMENDATION:

Approve design review application SC21-0046 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for residential additions to an existing two-story single-family residence. The project includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. The project is categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION:	Single-Family, Residential
ZONING:	R1-10
PARCEL SIZE:	11,850 square feet
MATERIALS:	Composite shingles, fiber cement siding, fiberglass window frame with fiber cement trims

	Existing	Proposed	Allowed/Required
COVERAGE:	2,039 square feet	2,065 square feet	3,555 square feet
FLOOR AREA:			
First floor	2,039 square feet	2,065 square feet	
Second floor	578 square feet	1,120 square feet	3,935 square feet
Total	2,617 square feet	3,185 square feet	
SETBACKS:			
Front	25.83 feet	25.83 feet	25 feet
Rear	43.75 feet	43.75 feet	25 feet
Left side (1 st /2 nd)	10 feet/10 feet	10 feet/18.96 feet	10 feet/17.5 feet
Right side (1 st /2 nd)	20.17 feet/65.42 feet	20.17 feet/57.3 feet	10 feet/17.5 feet
HEIGHT:	19.67 feet	21.25 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on Cuesta Drive between South Springer Road and Campbell Avenue. The surrounding neighborhood is considered a Diverse Character Neighborhood as defined in the City's Residential Design Guidelines mainly because the subject house is an existing two-story residence. Additional properties in the immediate neighborhood are all one-story units and share similar front setback patterns with a low-scale horizontal eave lines between eight to nine feet. All the garages are attached to the existing homes in the front yard facing the street. Simple roof forms with consistent composition shingles roofing material are found in the immediate neighborhood. The exterior materials commonly used include stucco, wood siding, and bricks with wood trim accents. Landscapes in the front consist of mature street trees on most properties with dense screening shrubs further in.

Permit Records and Zoning Compliance

On June 4, 1964, a variance (64-V-184) was approved by the Planning Commission through a public hearing. The variance granted a five-foot side setback reduction to the required 15-foot side yard to a second-story addition in the year of 1964. On January 19, 1965, a permit card (BLD A 8685) was issued for the construction of the second addition per the approved variance. The house currently presents the 10-foot side setback to both first and second story at the side property line to the left. The proposed addition will not modify the existing second story and will be consistent with the current second story side setback requirement of 17.5 feet as well as the daylight plane. Therefore, the house is designed in compliance with the current zoning code and the approved Variance. The approved staff report for Variance (64-V-184) and issued building permit card (BLD A 8685) are attached in Attachment A.

DISCUSSION

Design Review

According to the Residential Design Guidelines, in Diverse Character Neighborhoods, a good neighbor design has its own design integrity while incorporating some design elements, materials, and scale found in the neighborhood.

The proposed project consists of additions to the rear of the house at both first and second story. At the first story, minor additions including two, new bay windows and a small addition to the dining room are proposed. Additionally, the existing non-integrated flat and shed roof with a gravel-type material will be replaced with 4:12 sloped gable roof with composition shingles. The plate height at the first story will be maintained at eight feet, the same as the current plate height. At the second story, a new master bedroom with a master bathroom and closet will be added to the second story. Roof forms for the addition will match the existing 2:12 pitched roof that are integrated with the existing roof forms. Proposed second floor roof materials will match the first story roof material to be the composition shingles. For the wall plate height at the second story, the proposed addition will feature a taller plate height of eight feet and two inches compared to the existing plate height of six feet and eleven inches. The proposed second story addition will have an overall height of 21 feet and three inches that will be less than the allowed maximum height of 27 feet.

In addition to the additions to the existing house, the proposed project also consists of the following exterior modifications:

- Replacement of existing sidings with new fiber cement siding as the exterior materials.

- Modifications to the first story windows and doors to be consistent with the room functions.
- Reduction the number of existing second story windows.
- Adjustment and relocation of the existing second story windows.

Based on the proposed front elevation, although the proposed second story addition will have a taller plate height compared to the existing wall plate height, the new second story addition does not appear to be bulky due to the consistent and integrated roof forms and the recessed addition at the second story that has a horizontal eave line to break the massing. Also, the modifications to the existing home's windows, doors, and roofing forms and materials present a more proportionate façade to improve the aesthetic of the front elevation.

Overall, according to the Residential Design Guidelines, the project appears to be an appropriate design within this Diverse Character Neighborhood setting, it is found to establish its own design integrity while incorporating some design elements, materials, and scale found in the neighborhood and meet the intent of the design review findings.

Privacy

Along the left (east) elevation, a two-panel, medium sized window will be added to the addition with a minimum windowsill height of five feet. Additionally, one window at the existing second story will be eliminated.

Along the right (west) elevation, at the proposed addition, a two-panel, small-sized window will be added to the master bathroom with a minimum sill height of five feet. For the windows at the existing second story, one of the windows will be eliminated; and the other two-panel, medium sized window will be relocated to the south with the same window size and same windowsill height of three feet. With an extensive side setback of 65 feet and 2 inches, the relocation of the window shall not result in greater privacy impact.

Staff found the privacy impact to both side neighboring properties are very minimal due to the newly added windows with a minimum sill height of five feet which are considered by the Design Review Commissioners as an acceptable practice to minimize privacy impact. Furthermore, the reduction of existing second story windows along the two sides shall have less privacy intrusion.

Along the rear (north) second story elevation, there are three windows proposed: one small-sized window with a sill height of five feet for the Bathroom No. 2 at the existing second story, one medium-sized window with a sill height of five feet and eight inches for the master bedroom closet, and one two-panel, large-sized window for the master bedroom with a sill height of two feet and eight inches.

The rear elevation may have potential privacy impact due to the large window with a lower sill height. Staff considered the privacy impact will be minimal because the setback from the rear property line to the window will be 47 feet and 10 inches, greater than the required rear setback of 25 feet. Also, existing dense screening vegetation and trees along rear property line will be retained that should mitigate potential privacy impact. The details of the proposed screening vegetation are provided in the "Landscaping and Trees" section of this staff report.

Landscaping and Trees

The applicant will keep all the existing evergreen screen vegetation and trees onsite that is considered sufficient to mitigate the potential privacy intrusion. Existing evergreen screening plants are outlined in the Table 1 below:

Table 1: Existing Screening Plant List

Location	Common Name	Number	Current Height and Spread	Mature Height and Spread
Rear property line	Japanese Cheesewood	4	10-18' tall x 8-18' wide	6'-15' tall x 10'-18' wide
Rear property line	Cherry Laurel	1	9' tall x 8.8' wide	10'-18' tall x 20'-25' wide
Rear property line	Japanese Camellia	1	10' tall x 4' wide	6'-12' tall x 6'-10' wide
Side property line	Japanese Cheesewood	1	8' tall x 4' wide	6'-15' tall x 10'-18' wide

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of an addition to an existing single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Cuesta Drive and Arboleda Drive. The Notification Map is included in Attachment C.

On December 1, 2021, a billboard of Notice of Development Proposal (Attachment D) was installed onsite for early community outreach. The applicant has also engaged the immediate neighbors regarding the project details as included in Attachment E for the email noticing and correspondences from the neighbors.

Cc: Yun Li, Property Owner and Applicant
Jenny Zhao, Designer

Attachments:

- A. Variance 64-V-184 Staff Report and Building Permit (A 8685) Issuance Card
- B. Neighborhood Compatibility Worksheet
- C. Notification Map
- D. Pictures of Notice of Development Proposal
- E. Proof of Community Outreach
- F. Material Boards

FINDINGS

SC21-0046 – 628 Cuesta Drive

With regard to design review for the two-story additions to an existing two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC21-0046 – 628 Cuesta Drive

GENERAL

1. **Expiration**

The Design Review Approval will expire on March 2, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

The approval is based on the plans and materials received on February 22, 2022, except as may be modified by these conditions.

3. **Protected Trees**

Trees Nos. 1-8, 16-21, and 25 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

4. **Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.

5. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

6. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

7. **Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

8. **Applicant Acknowledgement of Conditions of Approval**

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

9. **Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

10. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

11. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

12. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

13. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

14. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

15. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**16. Tree Protection**

Tree protection fencing shall be installed around the driplines of trees Nos. 1-8, 16-21, and 25 as shown on the Tree Protection Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION**17. Landscaping Installation**

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

18. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

19. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

STAFF REPORT

PLANNING DEPARTMENT

June 4, 1964

64-V-184

John Cone
628 Cuesta Drive

This is a request for a variance of five feet from the required 15-foot side yard for a second story to permit the construction of a second story addition to the existing residence.

Existing side yard is 14 feet 8 inches. A new addition would cover approximately a 25-foot portion of the side yard. This second story portion would actually be a over-hang and this would then be enclosed to ground level for storage purposes.

We feel that this addition would most likely not be detrimental to the adjacent properties. This lot does not present any unusual conditions, such as size, shape, or topography conditions and from the stand point of Section 10-2.1105 paragraphs (a) through (g) we are unable to make positive findings.

SUMMARY:

64-V-184 - John Cone

APPROVED

6/11/64

64-V-184 - John Cone, 628 Cuesta Drive
Request for variance of five feet from side yard requirements of 15 feet for a second story of a residence.

Commissioner Noble asked if the applicant wanted to give his reasons for requesting a variance.

Mr. John Cone, the applicant, stated that the house is now a two bedroom one and that by adding another bedroom and a bath over the garage they would be much more comfortable. He stated that there will be an overhang of five feet on the second story but this will be closed in and used as storage space.

The Secretary stated that he had received a letter from the adjacent neighbor stating that they have no objections and that they approve of the variance.

Mr. Cone stated that the second story will not interfere with the neighbor's privacy.

The Secretary also stated that the Fire Department report requested that there be a one hour fire wall on the exterior walls nearest the lot line.

MOTION by Commissioner Morin was seconded by Commissioner Noble and passed by voice vote that 64-V-184 be approved as a result of positive findings to Section 10-2.1105 paragraphs (a) through (g) subject to:

- 6/11/64
1. The exterior walls of the addition shall be of one hour construction.

APPLICATION FOR VARIANCE IN R-1 DISTRICT

DATE 4 June 1964

APPLICANT'S NAME & ADDRESS John W. & Helen I. Cone

OWNER OF PROPERTY 1214 Heatherstone Way, Sunnyvale, California
William A. & Jean S. Page

AUTHORIZED AGENT OF OWNER OF PROPERTY _____

ADDRESS OR DESCRIPTION OF PROPERTY 628 Cuesta Drive

Variance Requested: 5' Side Yard Variance

Reason for Request:
To construct a three bedroom and bath addition on top of the present garage.

John W. Cone
Signature of Applicant

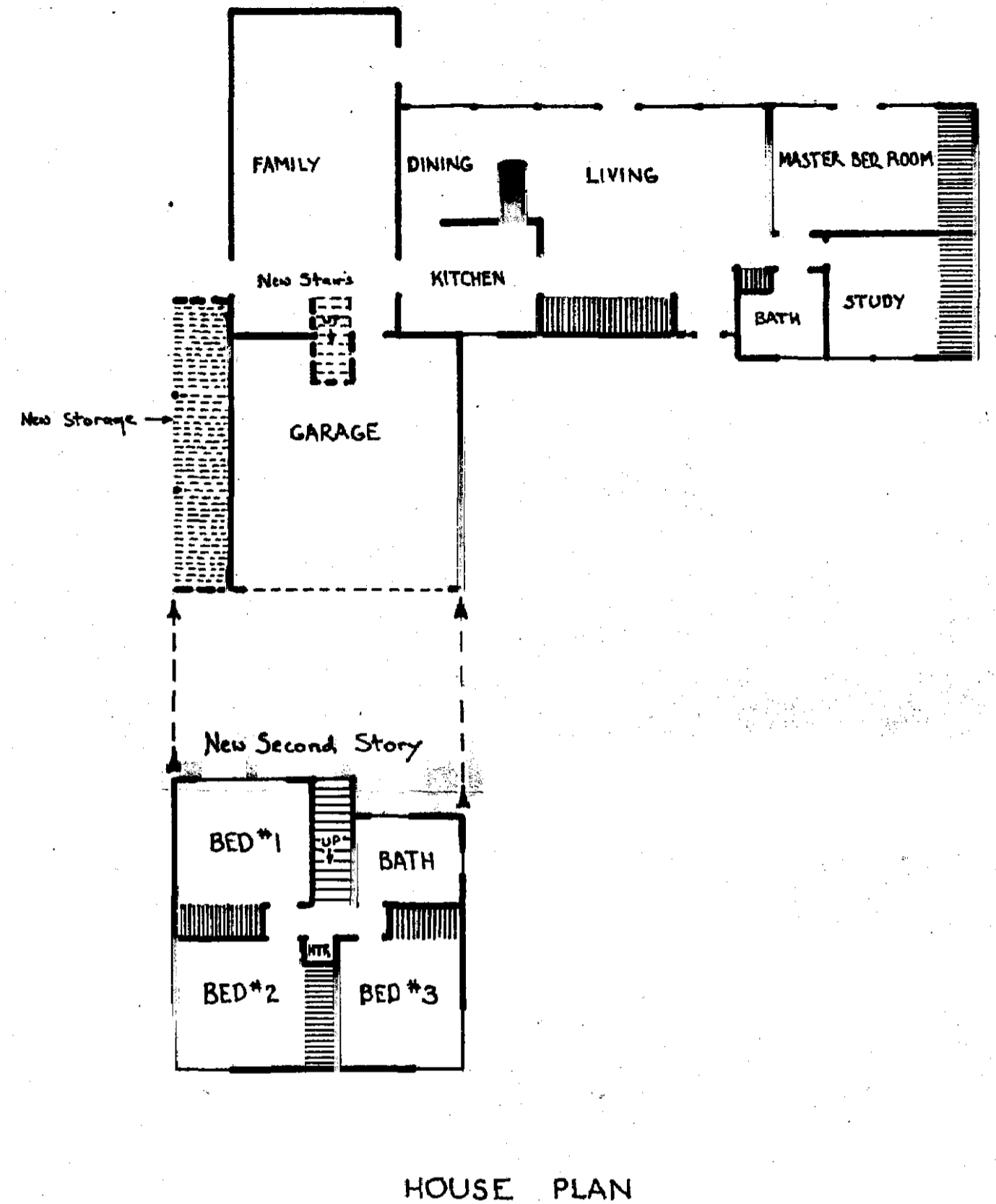
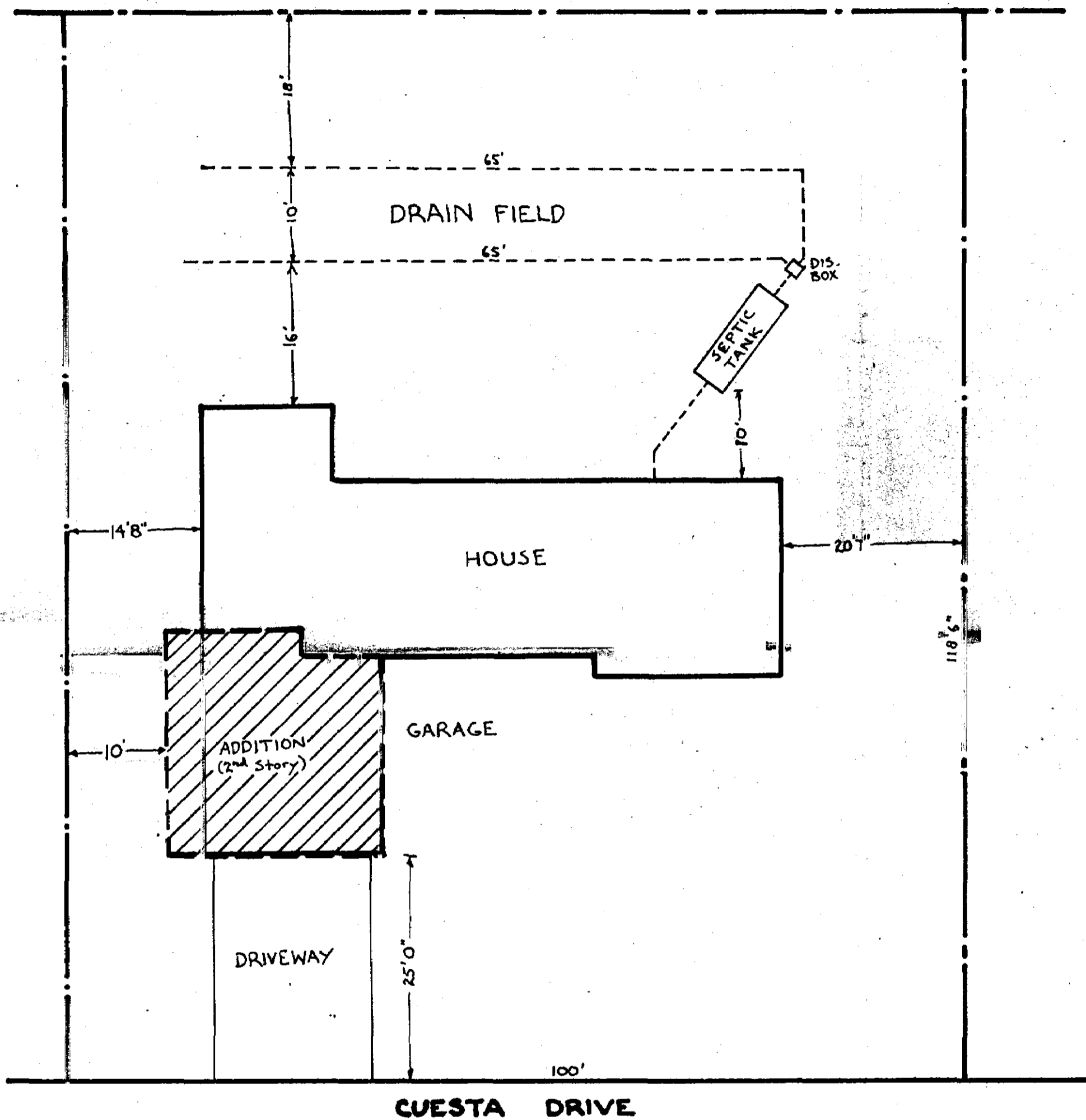
Applicant - Do not write below this line

APPLICATION NO. 64-V-184

RECEIVED AT CITY HALL ON _____ Filing Fee \$ _____

TO BE CONSIDERED AT PLANNING COMMISSION MEETING OF _____

APPLICATION RECEIVED BY _____

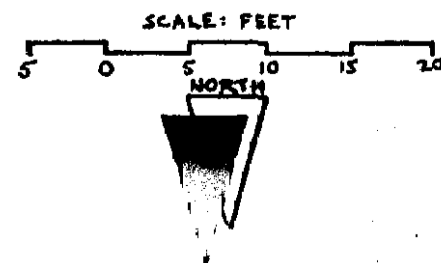


CUESTA DRIVE

PLOT PLAN - ADDITION TO RESIDENCE
628 CUESTA DRIVE
LOS ALTOS, CALIF

APPLICATION TO THE LOS ALTOS PLANNING
COMMISSION FOR A 5 FOOT SIDE YARD VARIANCE
FOR A SECOND STORY ADDITION.

DRAWN BY: JOHN CONE



JUNE 4, 1964

LOCATION CUESTA DRIVE			STREET NO. 628	LOT NO.	DATE 1/19/65	FEE 30 - A	8685				
TRACT					SIZE OF LOT 519 - 11 300	ZONING R-1					
USE ZONE R-1	SET BACK NO CHANGE	SIDELINE	REAR LINE	NEAREST BLDG.	DESCRIPTION OF BUILDING	WIDTH	DEPTH	HEIGHT	STORIES 2	FIRE ZONE 3	
TYPE OF CONSTRUCTION FIVE		NEW LIVING UNITS	OCC. GRP. I	HOW HEATED	TO BE USED AS res. addn.		ESTIMATED COST \$8,200				
BUILDER: Lyle Cornum					OWNER: Corn			NEW <input type="checkbox"/>			
P. O. Box 5								ADNL. <input type="checkbox"/>			
Mountain View, California								ALTN. <input type="checkbox"/>			
								REF. <input type="checkbox"/>			

NOTES: **Add three bedrooms and one bath over existing garage**

This permit is issued subject to compliance with all applicable City of Los Altos ordinances, all pertinent State Laws, and lawful orders of the Building Inspector.

BUILDING INSPECTOR

I affirm that the facts stated by me hereon are true. I agree to be bound by all applicable ordinances of the City of Los Altos and to hold the City of Los Altos harmless from all costs and damages which may occur from the use or occupancy of the sidewalk, street, or sub-sidewalk space.

X

CITY OF LOS ALTOS
OFFICE OF THE BUILDING INSPECTOR
CITY HALL, LOS ALTOS, CALIF.
948-1491

BUILDING PERMIT

Inspections are required as work progresses. Request inspections as scheduled on Inspection Record.

TREASURER'S COPY



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 628 Cuesta Dr, Los Altos, CA 94024

Scope of Project: Addition or Remodel Addition or New Home _____

Age of existing home if this project is to be an addition or remodel? 70

Is the existing house listed on the City's Historic Resources Inventory? No

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 11850 square feet
Lot dimensions: Length 118.5 feet
Width 100 feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length _____, and width _____.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? 25'-10"
What % of the front facing walls of the neighborhood homes are at the front setback 69 %
Existing front setback for house on left 9'-9.5" ft./on right 17'-6" ft.
Do the front setbacks of adjacent houses line up? YES

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)
Garage facing front projecting from front of house face 2
Garage facing front recessed from front of house face 6
Garage in back yard _____
Garage facing the side _____
Number of 1-car garages ; 2-car garages 8; 3-car garages

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 93%

Two-story 7%

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? _____

Are there mostly hip X, gable style _____, or other style _____ roofs*?

Do the roof forms appear simple _____ or complex X?

Do the houses share generally the same eave height YES?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

____ wood shingle X stucco ____ board & batten X clapboard
____ tile ____ stone ____ brick ____ combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

asphalt shingle

If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? X Ranch ____ Shingle ____ Tudor ____ Mediterranean/Spanish
____ Contemporary ____ Colonial ____ Bungalow ____ Other

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)
Flat

Is your slope higher _____ lower _____ same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?
Big trees, front lawns

How visible are your house and other houses from the street or back neighbor's property?
No very visible. Big trees around the properties.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?
No

10. Width of Street:

What is the width of the roadway paving on your street in feet? 37

Is there a parking area on the street or in the shoulder area? YES

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? _____

Concrete, with out a curb/ gutter

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

landscape: big trees.

General Study

A. Have major visible streetscape changes occurred in your neighborhood?

YES NO

B. Do you think that most (~ 80%) of the homes were originally built at the same time?

YES NO

C. Do the lots in your neighborhood appear to be the same size?

YES NO

D. Do the lot widths appear to be consistent in the neighborhood?

YES NO

E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?

YES NO

F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)

YES NO

G. Do the houses appear to be of similar size as viewed from the street?

YES NO

H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?

YES NO

Address: 628 Cuesta Dr, Los Altos, CA 94024
 Date: 12/15/2021

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
618 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Stucco	complex
610 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Stucco	complex
634 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Stucco	complex
644 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Siding+brick	complex
639 Arboleda Dr, Los Altos, CA 94024	25'	30'	Front	One	±16'	Stucco	complex
621 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Stucco	complex
631 Cuesta Dr, Los Altos, CA 94024	25'	50'	Front	One	±16'	Siding+brick	complex
639 Cuesta Dr, Los Altos, CA 94024	25'	30'	Front	One	±16'	Stucco+brick	complex
649 Cuesta Dr, Los Altos, CA 94024	25'	40'	Front	One	±16'	Stucco	complex
657 Cuesta Dr, Los Altos, CA 94024	25'	50'	Front	One	±16'	Siding+brick	complex

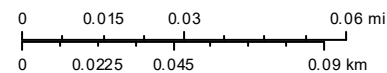
Notification Map

Agenda Item 3.



Print Date: October 11, 2021

12,257



- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

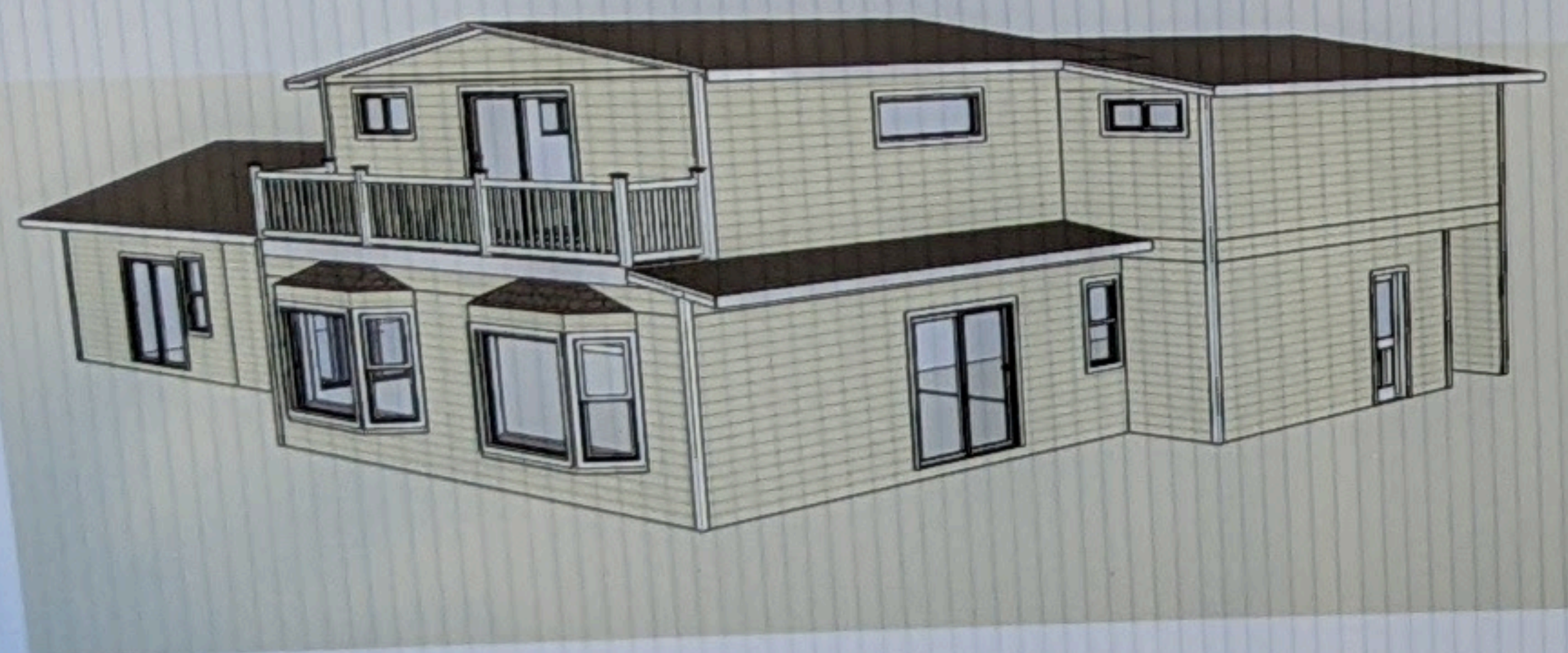
628

NOTICE OF DEVELOPMENT PROPOSAL

LI RESIDENCE ADDITION PROJECT - 628 CUESTA DR

Project Description:

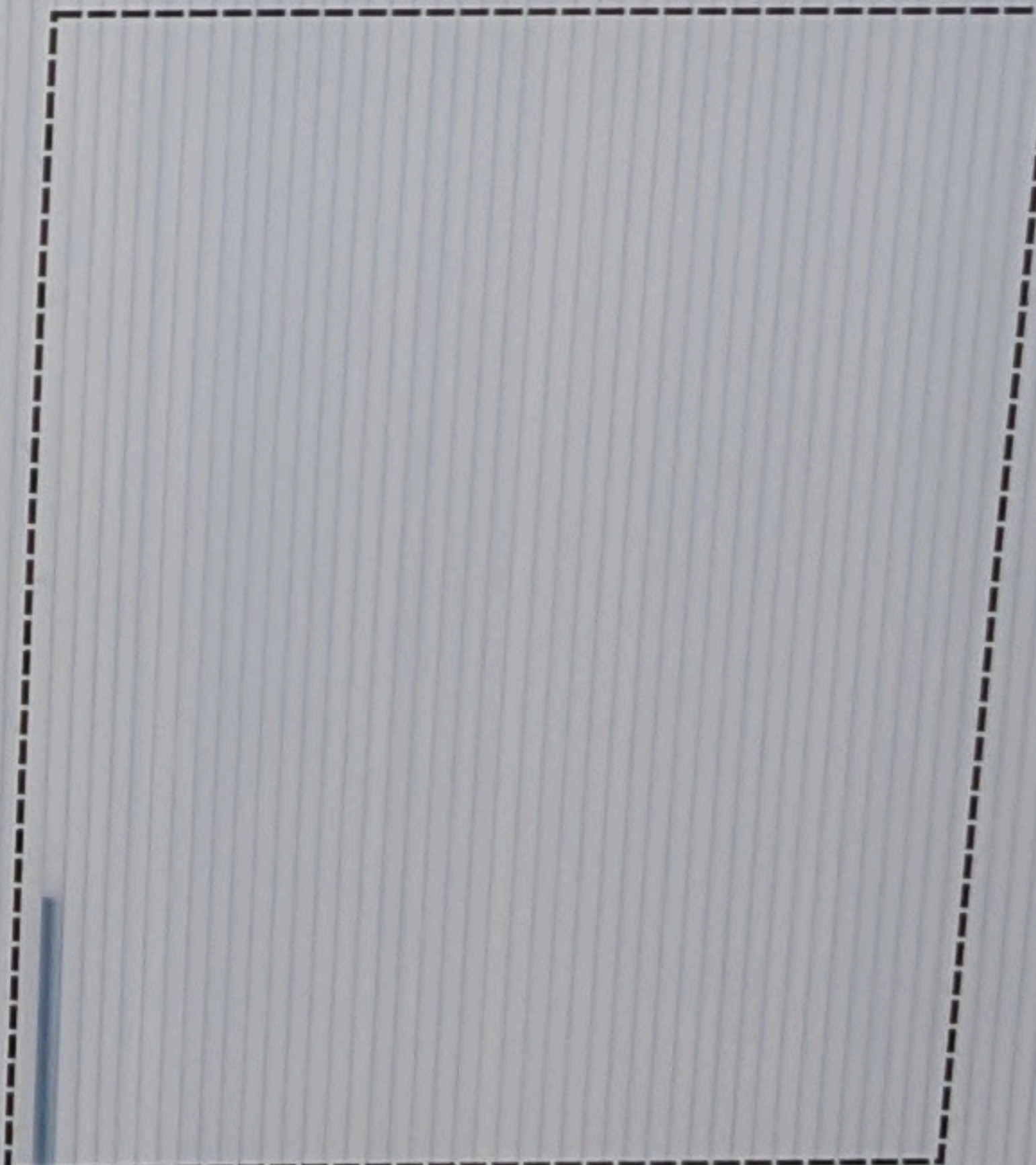
1. Redesign living room / kitchen / family room layout.
2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
3. Change two one-car garage doors to a two-car garage door.
4. Convert existing flat roof on level 1 to truss roof system.
4. Upgrade existing 100A electric panel to 200A.
5. Install a new AC unit. Replace the existing furnace.



Applicant

Jenny Zhao
 (408)-669-7945
 jennyli7945@gmail.com

Public Meeting Dates (as scheduled):



Property Owner

Yun Li
 (650)-447-9874
 muziriyun@gmail.com

Project Planner

To submit comments or get additional information, please contact:
 Jia Liu
 (650)-947-2696
 jliu@losaltosca.gov

November 19, 2021

Dear Neighbor,

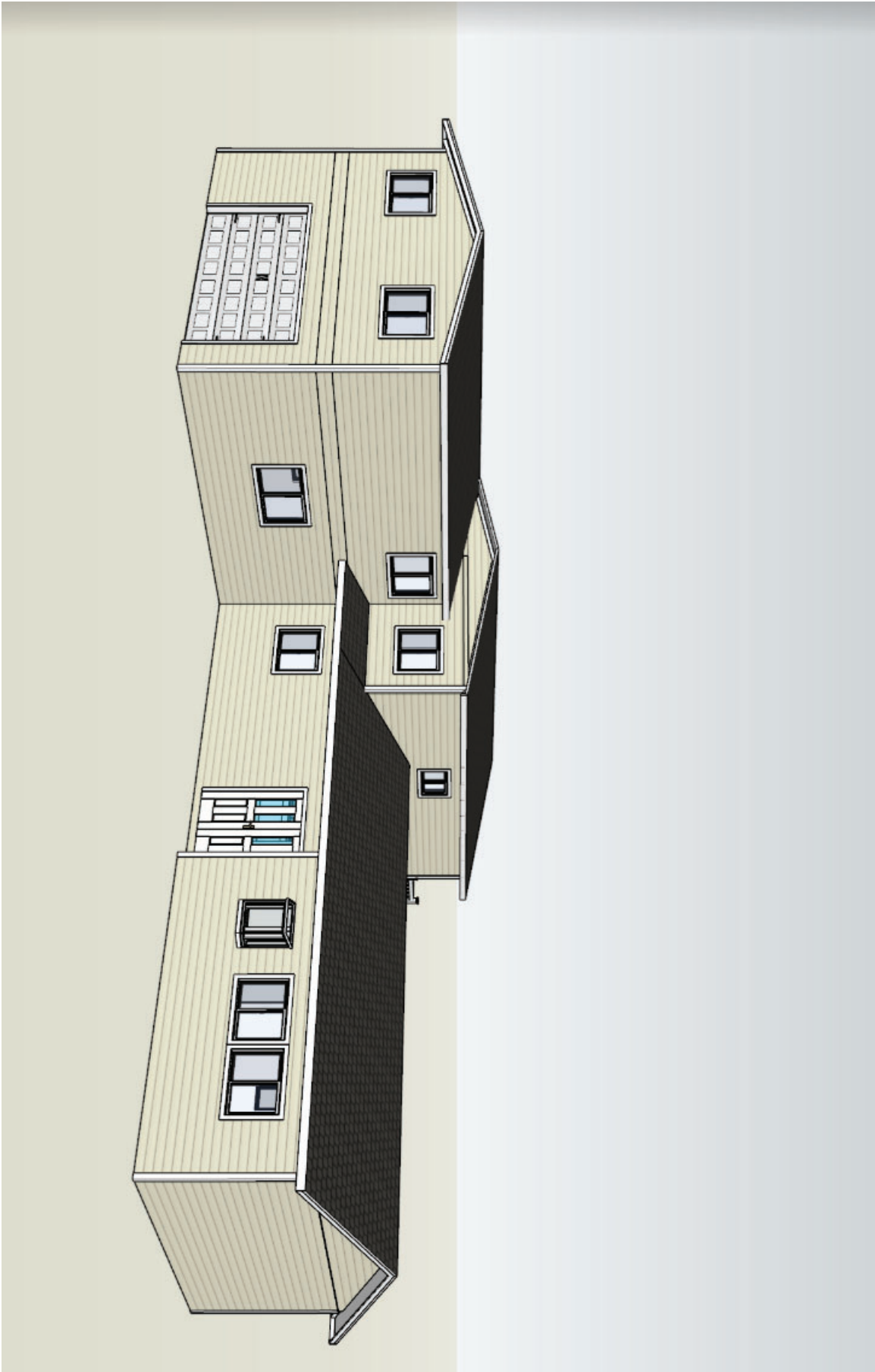
My name is Yun Li, I'm the owner of property located at 628 Cuesta Dr. We are currently applying to the City of Los Altos for a 2nd story addition project, this project is undergoing a Design review stage with the city Planning Division, and we are required by the city to reach out to you in regards to this project.

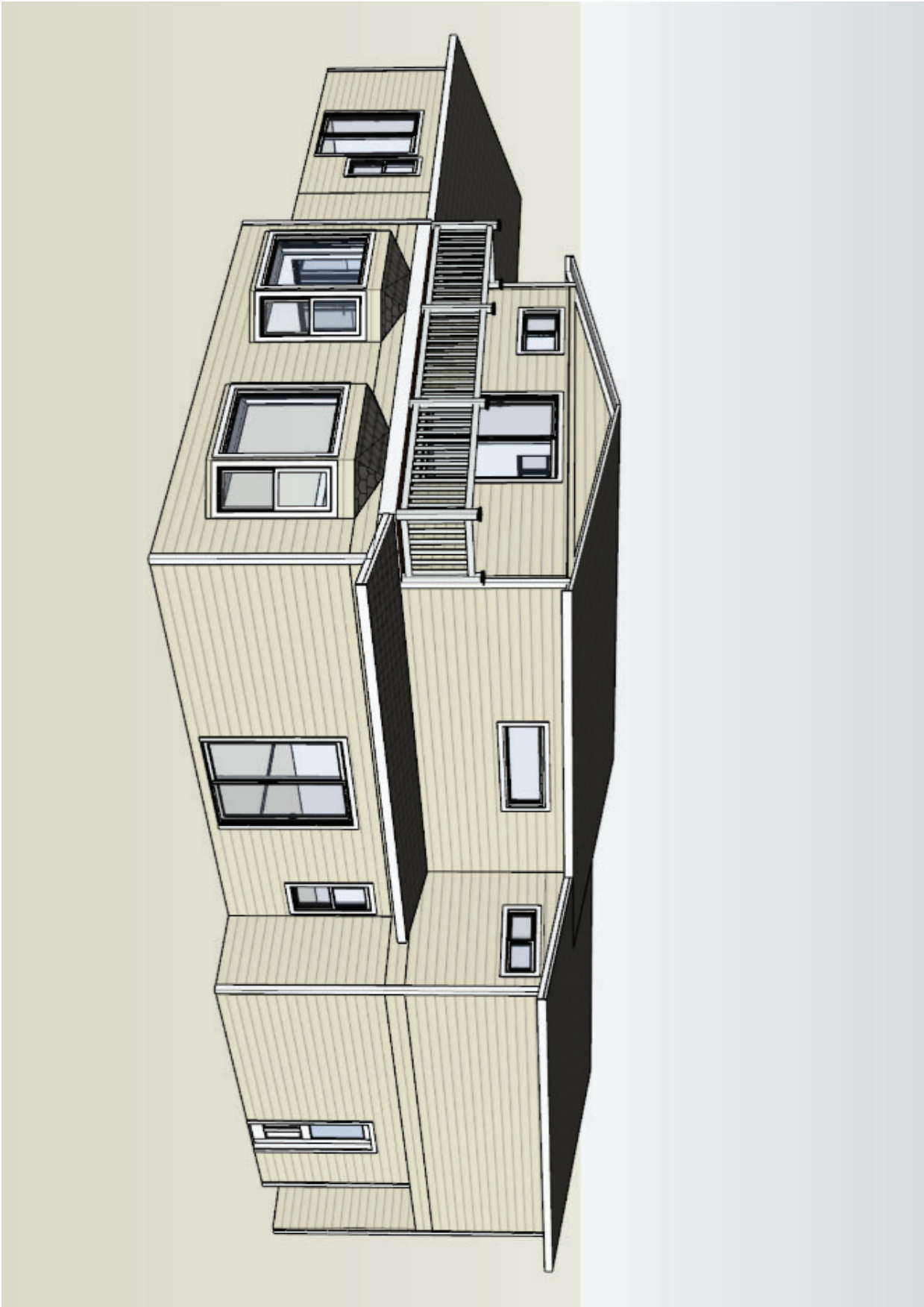
In our plan, we will: 1) Add a primary bedroom suite on the south side of the existing 2nd floor structure. 2) Replacing the existing flat roof to a 4/12 sloped roof. 3) Replacing the exterior siding and window/doors. See attached 3D renderings of the proposed design for your reference.

The city planner for this project is Jia Liu, her email is jliu@losaltosca.gov and her phone number is 650-947-2696, you can either contact Jia directly or contact me if you have any questions or concerns.

Best regards,

Yun Li, Bella Li
muziriyun@gmail.com





Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
633 Arboleda Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
621 Cuesta Dr
Los Altos, CA, 94024

Agenda Item 3.

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
649 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
610 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
644 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
634 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
631 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024

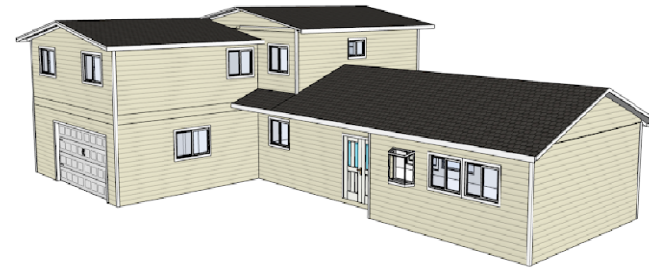
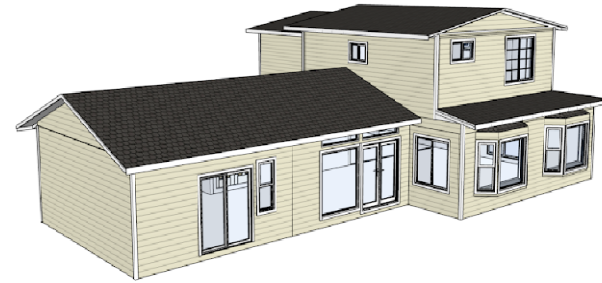
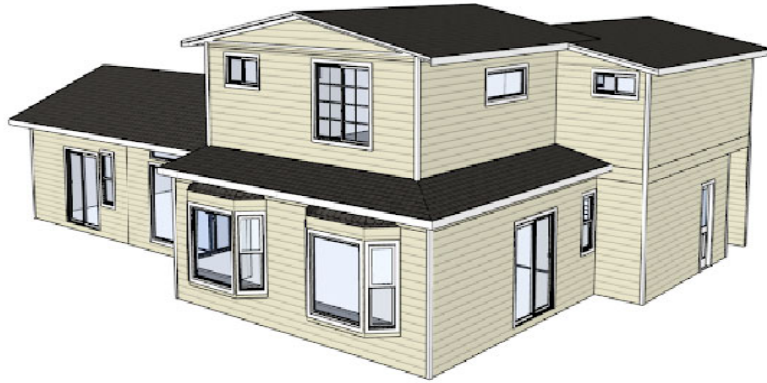


Current Owner
657 Cuesta Dr
Los Altos, CA, 94024

Yun Li & Bella Li
628 Cuesta Dr
Los Altos, CA, 94024



Current Owner
639 Cuesta Dr
Los Altos, CA, 94024



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window	Patio door
Material	Fiber cement	Fiber cement	Fiberglass Asphalt Shingles	Fiberglass	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White	White
Manufacturer / Brand	James Hardie lap siding	James Hardie	GAF Timberline HDZ Shingles	Milgard Ultra™ Series C650	Milgard Ultra™ Series C650
Product specifications	7.25-inch width, 6-inch exposure	3.5-inch width			
Color board					

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardie	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorat ve Primed Steel Prehung Front Door on 6-5/8 in. Frame	Long bead board design with Moonlite windows
Color board				

DIZIGN Studio

DRAFTER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA
95055
JENNYL17945@GMAIL.COM
408-668-7945

NOT FOR CONSTRUCTION

LI RESIDENCE
ADDITION- 628
CUESTA DR

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
A	PLANNING PERMIT	10/6/2021
	PLANNING PERMIT RESUBMITTAL	12/16/2021

MATERIAL BOARD

Project Number 12125
Date 2/2/2022

A-6

Scale

2/3/2022 1:08:35 PM

Date: April 24th, 2022
Property address: 628 Cuesta Dr, Los Altos, CA 94024
Applicant: Yun Li & Bella Li

Dear commissioners,

We are writing this letter to address comments found in the last DRC meeting (March 2th, 2022) regarding the 2nd story addition project to our property located at the above address.

Below are the 6 comments found during last DRC meeting:

1) Applicant shall have communications with adjacent neighbors.

In November 2021, when our first design plan ready, we've shared it out with all of our adjacent neighbors via mail, and we have few email threads to address the privacy concerns. With strong push back from neighbors on our south side, we decided to remove the 2nd floor deck from our design in December 2021, and our neighbors all agreed with the plan.

However, due to miscommunication between me, neighbors and the city planning department, they received the outdated plan set, as a result they showed up during the last DRC meeting to complain about the privacy issues.

After last DRC meeting, we discussed with our neighbors and **we are able to reach an understanding with our neighbors:**

- 634 Cuesta Dr (On our east side, next to our 2nd story): We got a support letter from the owner.
- 618 Cuesta Dr (On our west side): We've discussed with the owner regarding the plan last December, and the owner doesn't have any objections.
- 633 Arboleda Dr (On our rear-west side): The owner raised privacy concerns last December regarding the 2nd story deck, and we didn't receive any objections from them after we removed the deck from our plan.
- 639 Arboleda Dr (On our rear side): The owner raised privacy concerns last December regarding the privacy concern. We've removed the deck from our plan, and we provided a few renderings to prove existing privacy tree coverage is good enough to mitigate privacy issues caused by the 2nd story window. The owner is satisfied with our latest plan.
- 647 Arboleda Dr (On our rear-east side): The owner raised privacy concerns last December regarding the 2nd story deck. We've removed the deck from our plan, and we discussed a few options to improve tree coverage. The owner said it's not in a hurry as they want to make sure the tree will be planted in the best place, so they'd like to wait until the construction is underway and let us know where to plant the new tree.
- 5 neighbors across the street: We didn't receive any objections from them after we sent out out-reach mails.

2) Applicant shall revise the existing elevation plans to reflect the actual conditions.

We've updated the plan accordingly regarding the existing elevation plan.

3) A better Materials Board shall be prepared to present the exterior materials upgrades.

We've updated our material board with more details. The material we choose all meets the city's requirements.

4) Applicant shall review Section 5.4 of the Residential Design Guidelines and use appropriate design mitigations including but not limited to roof eave lines, distinct exterior materials, and incorporation of a projected covered porch to reduce the perception of the bulk and massing.

Following the design guidelines' suggestions, we made following changes:

- *Soften the elevation with the use of architectural elements:* Added porch and overhang roof between 1st and 2nd story around the garage.
- *Use horizontal elements to soften vertical ones in an elevation:* Changed 2nd story siding direction, and added stone veneer around garage, this also helps visually break up the elevation.
- *Keep second floor exterior wall heights as low as possible:* The total height of our design is 21' 3" which is 5' 9" below the city limit.

Beside that, we have 8 redwood trees in our front yard, and 1 pine tree in our neighbor's front yard next to the 2nd story, which helps to soften the impact and view of the 2nd story.

5) Applicant shall reconsider the rear facing windows to reduce the visual impact as well as light impact to the rear neighbors fronting Arboleda Drive.

We further reduced the rear-facing master bedroom window size to 5' W x 4' H to reduce the impact, and we got the agreements from our rear neighbors.

6) A full landscaping plan shall be provided and included.

We've updated the plan accordingly.

For plants, we have many mature trees on our property which provide really good privacy screening coverage. We and our neighbors all enjoyed the scenery. We do not plan to remove any of the mature trees to protect privacy and scenery, this is also recommended by the design guideline: "Designs should take advantage of natural features found on site. Natural features include mature trees and other landscape materials".

For hardscape, the backyard pavement is well maintained and we do not plan to change as well. In the front yard, we plan to redo the pavement and pave the driveway with stone.

With neighbor's support, help from the city planner, and our best knowledge, we addressed all comments above in our revised design plan. We believe the remodel will achieve an aesthetic consistency of the exterior look of this 70 years old house. We believe the remodel will convert this house to our family's oasis. We are looking forward to an approval of our design plan in the next DRC meeting.

Sincerely,
Yun Li & Bella Li

NOTICE OF DEVELOPMENT PROPOSAL

LI RESIDENCE ADDITION PROJECT - 628 CUESTA DR



Project Description:

1. Redesign living room / kitchen / family room layout.
2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
3. Change two one-car garage doors to a two-car garage door.
4. Convert existing flat roof on level 1 to truss roof system.
4. Upgrade existing 100A electric panel to 200A.
5. Install a new AC unit. Replace the existing furnace.

Applicant

Jenny Zhao
(408)-669-7945
jennyli7945@gmail.com

Property Owner

Yun Li
(650)-447-9874
muziriyun@gmail.com

Project Planner

To submit comments or get additional information, please contact:

Jia Liu
(650)-947-2750
jliu@losaltosca.gov

Public Meeting Dates (as scheduled):

PUBLIC MEETING NOTICE

Wednesday, May 4, 2022 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment. This item was continued from the March 2, 2022 DRC meeting.

Please Note: Per California Executive Order N-20-20, the Commission will meet via teleconference only. Members of the Public may call (650) 947-2750 to participate in the conference call (Meeting ID: 888 888 888) or via the web at <https://www.losaltosca.gov>. Members of the Public may only comment during the public comment period. Public comment will be taken at the discretion of the Commission Chair and members of the public may only comment during times allotted for public comment. Members of the public are encouraged to submit written comments prior to the meeting at DRC@losaltosca.gov. Emails received prior to the meeting will be included in the public report.

Project plans and information are available for review on the City's website at <https://www.losaltosca.gov/communitydevelopment/page/two-story-single-family-residential-and-variances>. The agenda report will be available on the City's website the Thursday before the meeting date at <https://www.losaltosca.gov/designreviewcommission/page/design-review-commission-186>. Written comments can be mailed or delivered in person to the Community Development Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.

Agenda Item 3.



Yun Li <muziriyun@gmail.com>

628 Cuesta addition project

Ken <cruisingken@gmail.com>
To: Yun Li <muziriyun@gmail.com>

Tue, Apr 5, 2022 at 7:48 PM

Ken & Nancy Jones do not have any concerns or issues regarding your proposed remodel as presented. Thanks for cooperation and hope your remodel goes smoothly. We know that we can always get in touch directly with you should we encounter any future concerns.

Ken & Nancy Jones
[639 Arboleda Dr.](#)

Sent from my iPhone

On Apr 5, 2022, at 10:04 AM, Yun Li <muziriyun@gmail.com> wrote:

[Quoted text hidden]



Yun Li <muziriyun@gmail.com>

628 Cuesta addition project

Marjorie Gray <mgray74@sbcglobal.net>
To: Yun Li <muziriyun@gmail.com>
Cc: Charles Gray <cegcs@alum.mit.edu>

Sun, Mar 20, 2022 at 10:58 AM

Yun I got to thinking that we are not in a hurry as we want to make sure the tree will be planted in the best place. There is a big pittosporum outside our living room windows which needs to be pruned, and a volunteer loquat near the fence which looks like it might make it -so the impact zone may change a bit.

So I would like to wait til the construction is underway and I can actually see- or not see- your window. Then I think the tree will be placed perfectly.

And yes the one from LA seems good.

I don't need anything written. You have been more than accommodating about addressing our concerns and I have confidence that when the time is right you will make sure that our new tree gets planted in the right place.

Thank you so much and best wishes as your project unfolds.

Marjorie

Sent from my iPhone

On Mar 17, 2022, at 21:54, Yun Li <muziriyun@gmail.com> wrote:

[Quoted text hidden]

Today's Date 3/20/2022

Re: Home addition proposal of 628 Cuesta Dr, Los Altos
Attn: City of Los Altos Design Review Commission

The owners of 628 Cuesta Dr have shared their design proposal for a home addition with us including the detailed plan, the landscaping plans and an overview of homes in our immediate area to ensure that the aesthetics of the home match the area.

We, the homeowner of 634 Cuesta Dr. Los Altos, CA 94024
_____ are in support of the proposal of 628 Cuesta Dr under the following condition:

Our home is immediately adjacent to/in view of the new home, the newly designed home will help continue the pattern of improvements in our area.

Thank you,

[Handwritten Signature]

DIZIGN Studio

DRAFTER: JENNY ZHAO
1050 KIELY #3571, SANTA CLARA, CA
95055
JENNYLI7945@GMAIL.COM
408-669-7945

NOT FOR CONSTRUCTION

LI RESIDENCE
ADDITION- 628
CUESTA DR

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

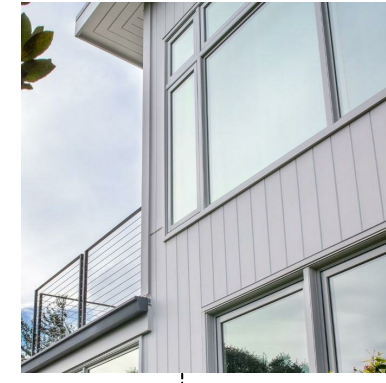
MATERIAL BOARD

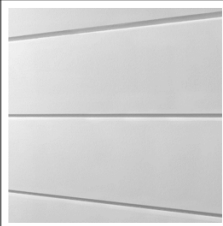

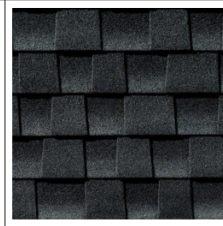

Project Number 12125
Date 4/5/2022


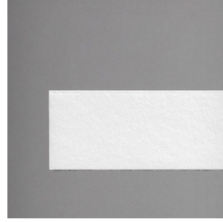


A-6

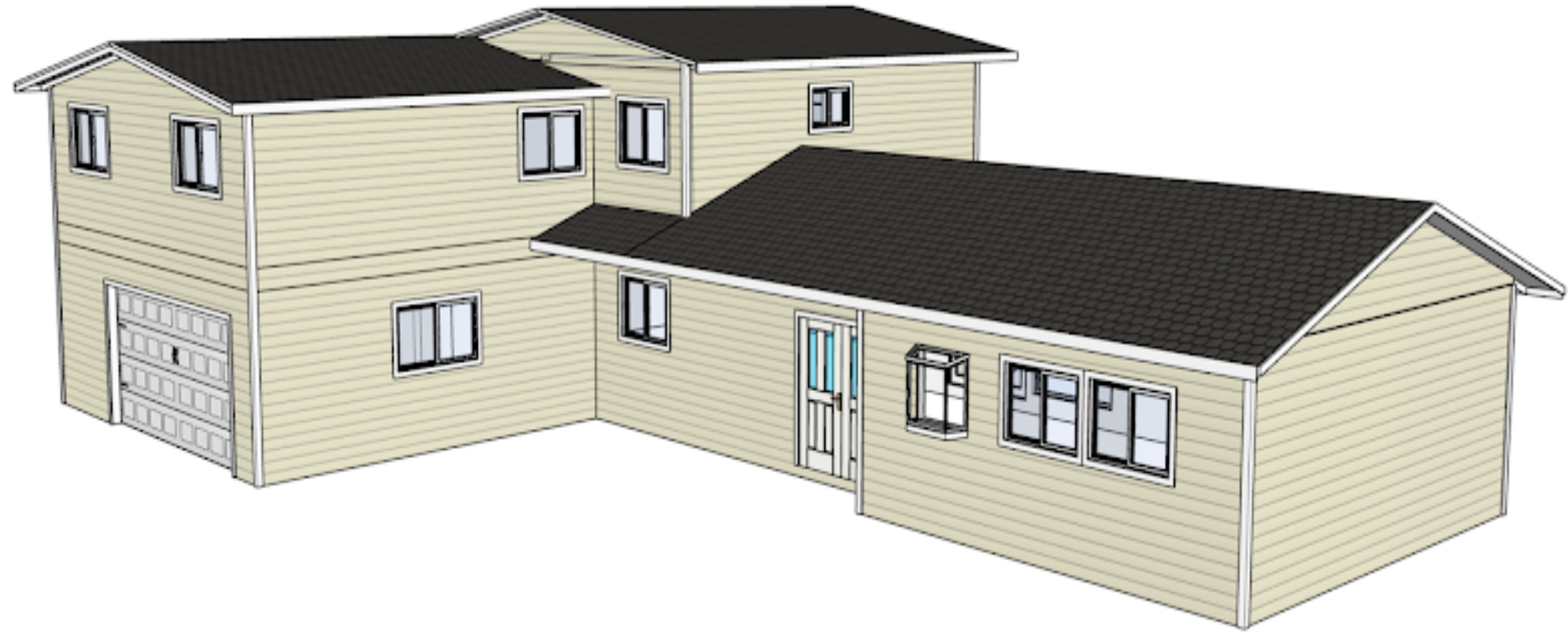
Scale

4/4/2022 11:37:13 PM



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window
Material	Fiber cement	Fiber cement	Fiberglass <u>Asphalt Shingles</u>	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White
Manufacturer / Brand	James Hardie Artisan V-Groove siding	James Hardi	G.A.F Timberline HDZ Shingles	Milgard Ultra™ Series C650
Product specifications	8.25-inch width, 7-inch exposure	3.5-inch/4.6-inch width		
Color board				

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardi	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorative Primed Steel Prehung Front Door on 6-9/16 in. Frame	Long bead board design with <u>Moonlite</u> windows
Color board				



- A-1 COVER SHEET
- A-1.1 EXISTING / PROPOSED SITE PLAN
- A-1.2 SITE CONTEXT
- A-1.3 TREE PROTECTION PLAN
- A-2.1 EXISTING + DEMO FLOOR PLAN - LEVEL 1
- A-2.2 PROPOSED FLOOR PLAN - LEVEL 1
- A-2.3 EXISTING + DEMO FLOOR PLAN - LEVEL 2
- A-2.4 PROPOSED FLOOR PLAN - LEVEL 2
- A-2.5 EXISTING + DEMO / PROPOSED FLOOR PLAN - ROOF
- A-3.1 EXISTING / PROPOSED ELEVATIONS
- A-3.2 EXISTING / PROPOSED ELEVATIONS
- A-3.3 EXISTING / PROPOSED ELEVATIONS
- A-3.4 EXISTING / PROPOSED ELEVATIONS
- A-4.1 BUILDING SECTIONS
- A-4.2 BUILDING SECTIONS
- A-6 MATERIAL BOARD

INDEX

1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
2. BEFORE STARTING ANY PORTION OF WORK, THE CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS AGAINST THE ACTUAL EXISTING CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER THE WORK HAS STARTED ANY DISCREPANCIES, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE DESIGNER, AT NO EXTRA COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL OR STATE CODES AND REGULATIONS.
5. ALL MATERIAL, EQUIPMENT AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.
6. ALL DIMENSIONS ARE ROUGH UNLESS OTHERWISE NOTED. ALL CABINETS, TILE AND THE LIKE NEED TO BE FIELD VERIFIED PRIOR TO INSTALLATION.
7. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AS SOON AS THEY ARE DISCOVERED.
8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES OR FAILURE OF THE CONTRACTOR TO VERIFY LOCATIONS AND MEASUREMENTS ON THE JOB.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING, OR OTHER PERMITS AS MAY BE REQUIRED BY THE LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE STRUCTURAL ENGINEER FOR ANY SITE VISITS OR SPECIAL TESTING AS NEEDED TO COMPLETE ALL STRUCTURAL WORK AS DIRECTED BY THE STRUCTURAL ENGINEER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING ALL SHOP DRAWINGS TO THE DESIGNER FOR REVIEW AND APPROVAL. NO FABRICATION SHALL COMMENCE UNTIL BOTH DESIGNER AND OWNER HAVE REVIEWED AND APPROVED BY SIGNATURE ALL SHOP DRAWINGS.

GENERAL NOTES

1. INDOOR WATER USE: 1.28 GAL/FLUSH AT WATER CLOSETS, 1.8 GPM AT SHOWER HEAD @ 80PSI, 1.2 GPM AT LAVATORY FAUCET @ 60PSI, AND 1.8 GPM AT KITCHEN FAUCET @ 60PSI.
2. SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. (4.303.1.4)
3. FAUCETS. RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI. (4.303.1.4)
4. STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE. (4.303.2)
5. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). (4.304.1)
6. RECYCLED WATER SUPPLY SYSTEMS. NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED. (4.305.1)
7. RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (4.406.1)
8. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
9. MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. (4.503.3)
10. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. (4.504.1)
11. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.1)
12. FINISH MATERIAL POLLUTANT CONTROL.
 - ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
 - PAINTS AND COATINGS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 - AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
 - VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (4.504.2)
13. CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
 - NSF ANSI 140 AT THE GOLD LEVEL.
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 - CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.
14. RESILIENT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS STALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). (4.504.4)
15. COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONT ROL MEASURE FOR COMPOSITE WOOD (17 CFR 93.20 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTION S, AS SHOWN IN TABLE 4.504.5. (4.504.5)
16. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)
17. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)
18. HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 5-2014 OR EQUIVALENT. (4.507.2)
19. INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (702.1)
20. INSPECTOR SHALL VERIFY THE DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED.
21. SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING (702.2)
22. DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (703.1)
23. SCOPE. FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS. (4.201.1)
24. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1.

CALGREEN RESIDENTIAL MANDATORY NOTES

LI RESIDENCE ADDITION PROJECT

628 CUESTA DR, LOS ALTOS, CA 94024

PROJECT ADDRESS= 628 CUESTA DR, LOS ALTOS, CA 94024
A.P.N.= 189-39-052
LOT AREA 11850 SF
ZONING = R1-10
CONSTRUCTION TYPE= V-B

SETBACKS: **MAIN HOUSE**
FRONT: 25'
SIDE: 10'(FIRST LEVEL), 17.5'(SECOND LEVEL)
REAR: 25'

HOME FACTS:	EXISTING	PROPOSED
BEDROOMS:	5	5
BATHROOMS:	2	3.5
STORIES:	2	2

PROJECT DATA

SCOPE OF WORKS:

1. Redesign living room / kitchen / family room layout.
2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
3. Change two one-car garage doors to a two-car garage door.
4. Convert existing flat roof on level 1 to truss roof system.
4. Upgrade existing 100A electric panel to 200A.
5. Install a new AC unit. Replace the existing furnace.

CODES USED:

- The following codes are currently in effect:
- 2019 California Building Code
 - 2019 California Residential Code
 - 2019 California Plumbing Code
 - 2019 California Mechanical Code
 - 2019 California Electrical Code
 - 2019 California Energy Code
 - 2019 California Fire Code
 - 2019 California Existing Building Code
 - 2018 International Existing Building Code
 - Calif. Building Energy Efficiency Standards

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NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024



FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
C	PLANNING PERMIT RESUBMITTAL #3	2/20/2022

COVER SHEET

Project Number 12125
 Date 2/20/2022

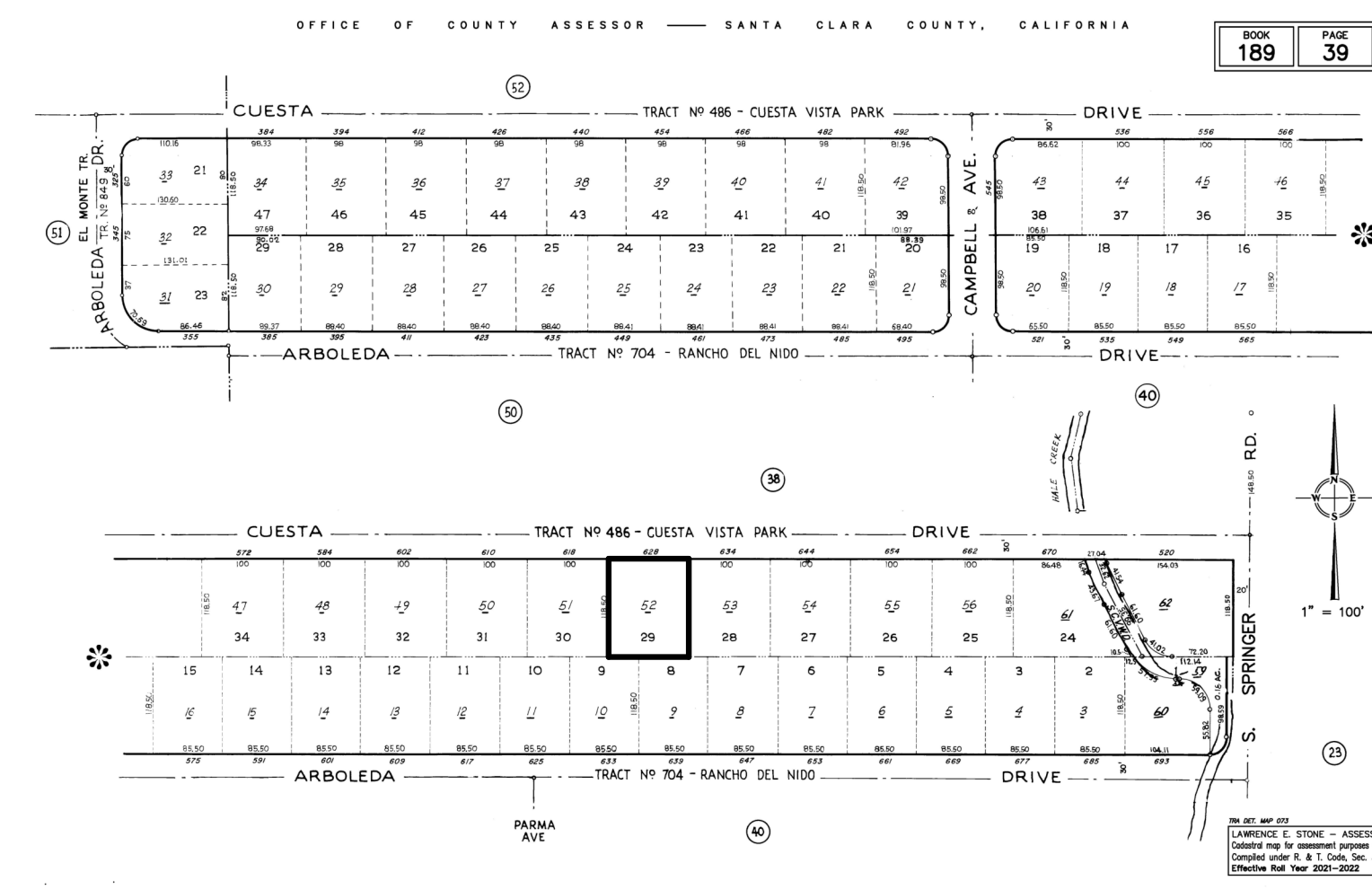
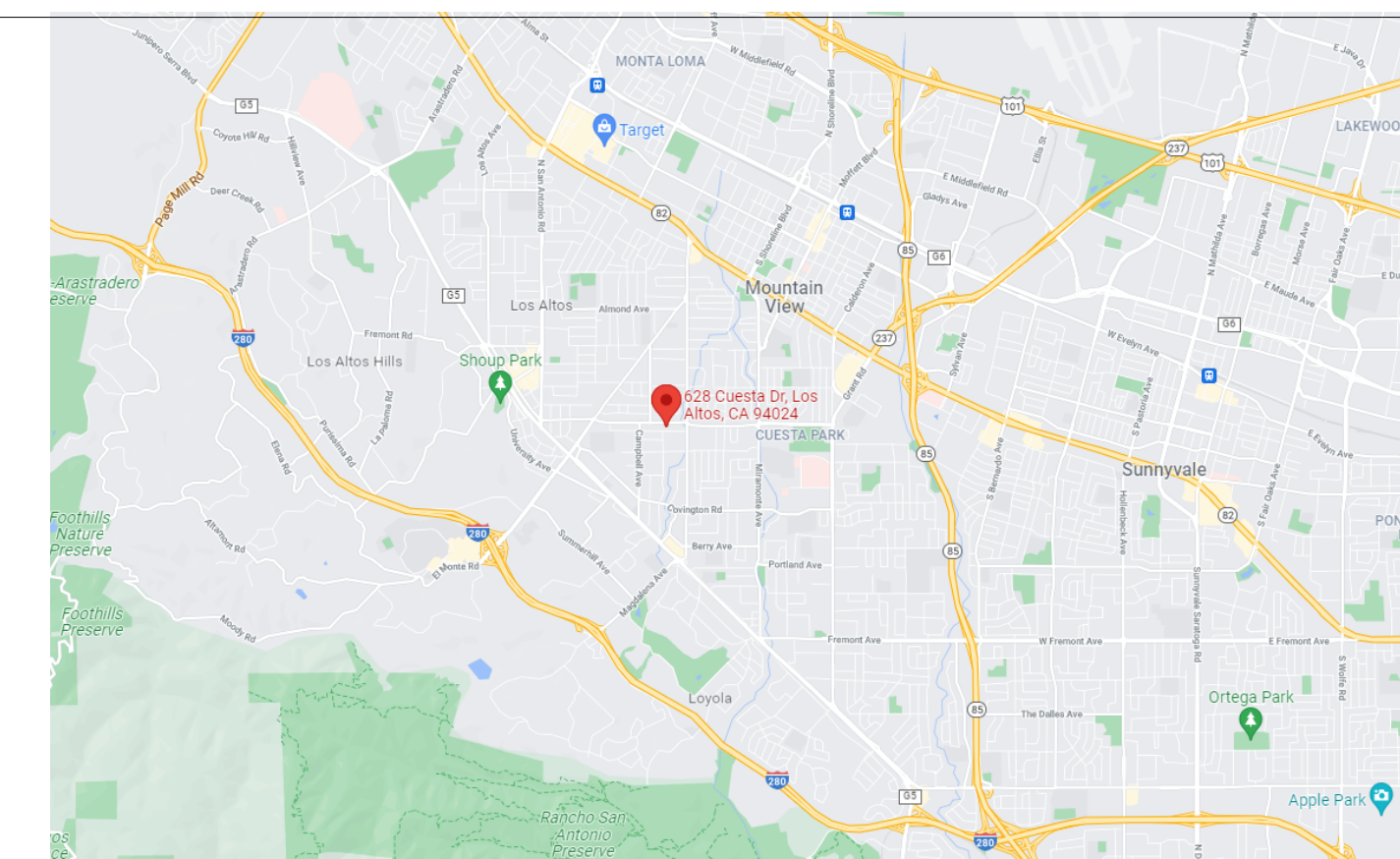
A-1

Scale As indicated

PROJECT SUMMARY TABLES

1" = 40'-0" 1

VICINITY MAP



ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,039 square feet (17 %)	2,065 square feet (17 %)	3,555 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2,039 sq ft 2nd Flr. 578 sq ft Total: 2,617 sq ft (22 %)	1st Flr. 2,065 sq ft 2nd Flr. 1,120 sq ft Total: 3,185 sq ft (26.8 %)	3,935 square feet (33 %)
SETBACKS:			
Front	25' 10" feet	25' 10" feet	25 feet
Rear	43' 9" feet	43' 9" feet	25 feet
Right side (1st/2nd)	21' 2" feet/65' 5" feet	21' 2" feet/57' 3.5" feet	10 feet/17.5 feet
Left side (1st/2nd)	10' feet/14' 5.5" feet	10' feet/18' 11.5" feet	10 feet/17.5 feet
HEIGHT:	19'-8" feet	21'-3" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,104 square feet	568 square feet	2,672 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	513 square feet	0 square feet	513 square feet

LOT CALCULATIONS

NET LOT AREA:	11,850 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	604 square feet (24 %)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	3,765 sq ft
Existing softscape (undisturbed) area:	8,085 sq ft
New softscape (new or replaced landscaping) area:	0 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

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LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

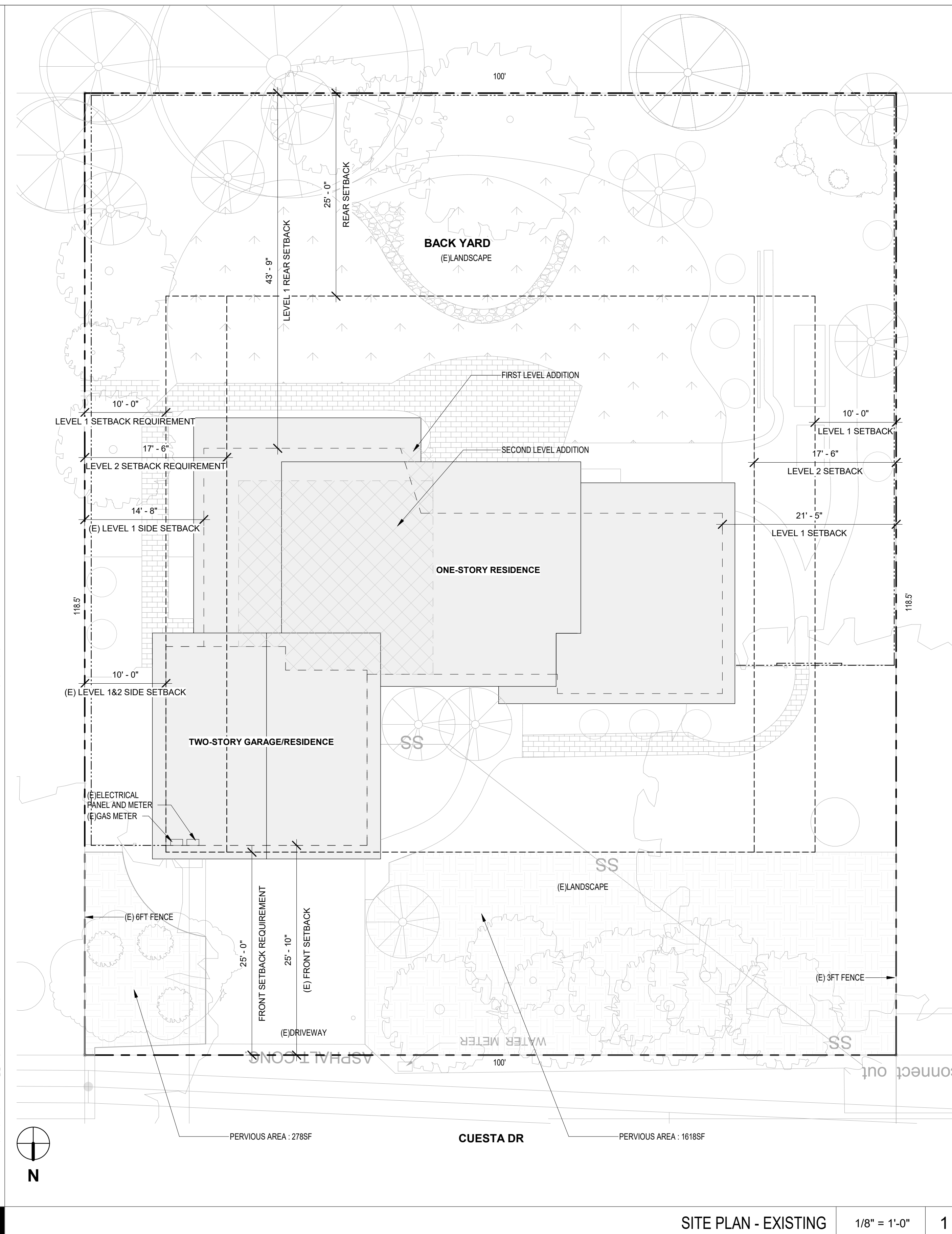
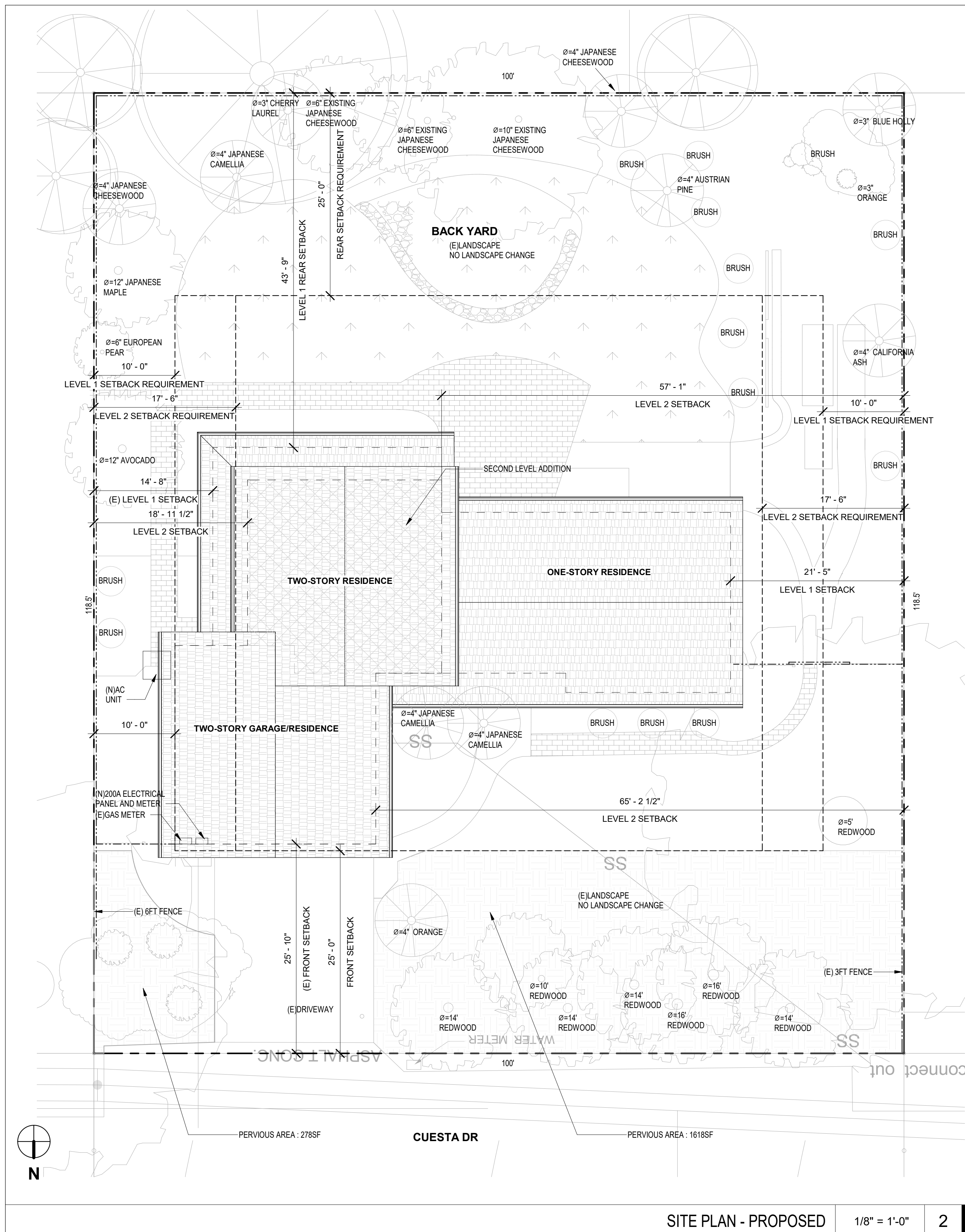
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

EXISTING / PROPOSED SITE PLAN

Project Number 12125
 Date 2/20/2022

A-1.1

Scale As indicated



SITE PLAN NOTES:

1. THE SITE IS BASICALLY FLAT. EXISTING TOPOGRAPHY, SITE FEATURES, & PROPERTY LINE BOUNDARY INFORMATION IS BASED ON INFORMATION FROM LAND SURVEYS
2. PROJECT REQUIRES MINIMAL GRADING.
3. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
4. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL NEW EAVES. DOWNSPOUTS TO GO TO NEW OR EXISTING DRAINS.
5. PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.
6. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
7. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
8. TREE PROTECTION SHALL BE NO LESS THAN 5'-0" HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQ'D.
9. CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.
10. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
11. LANDING LENGTH NEED NOT EXCEED 36" CBC 1008.1.6, WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.

12. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. NUMBERS SHALL CONTRAST BACKGROUND COLOR, BE ARABIC NUMBERS ALPHABETICAL LETTERS, MIN. 4-INCHES HIGH, 1/2-INCH WIDE, WHEN ACCESS IS BY MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE PER CFC SEC 505.1
13. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
14. CGBSC 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
15. CGBSC 4.304.1 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.



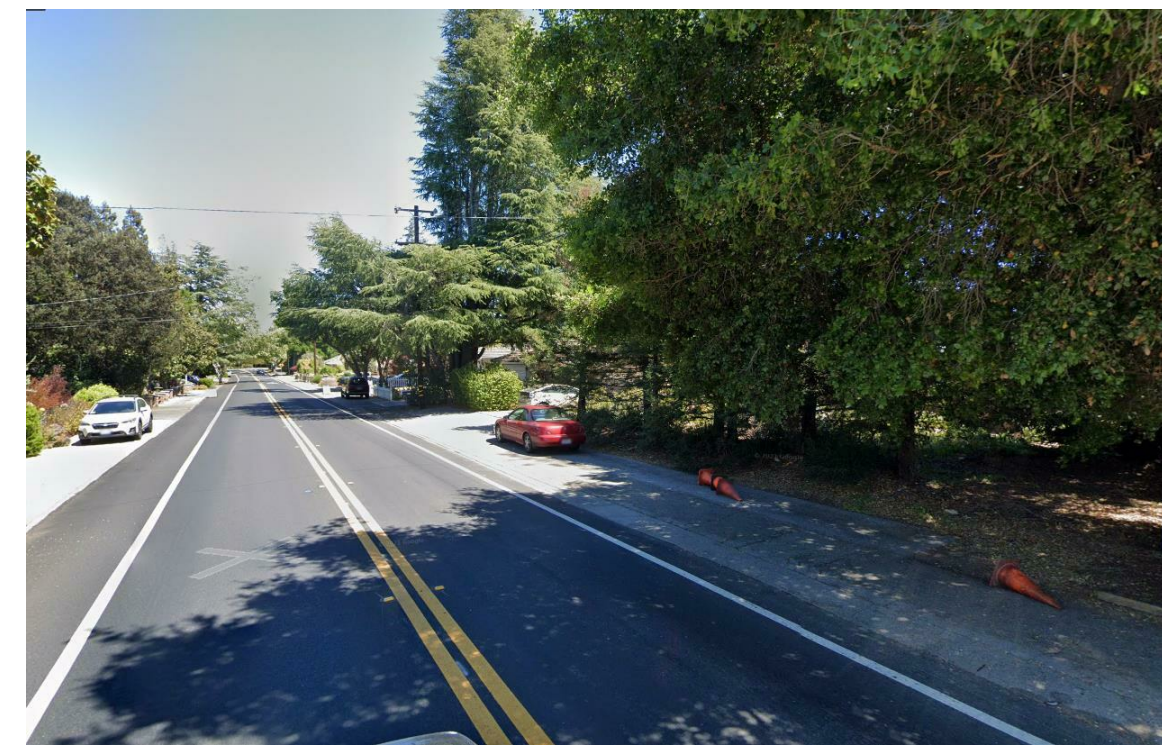
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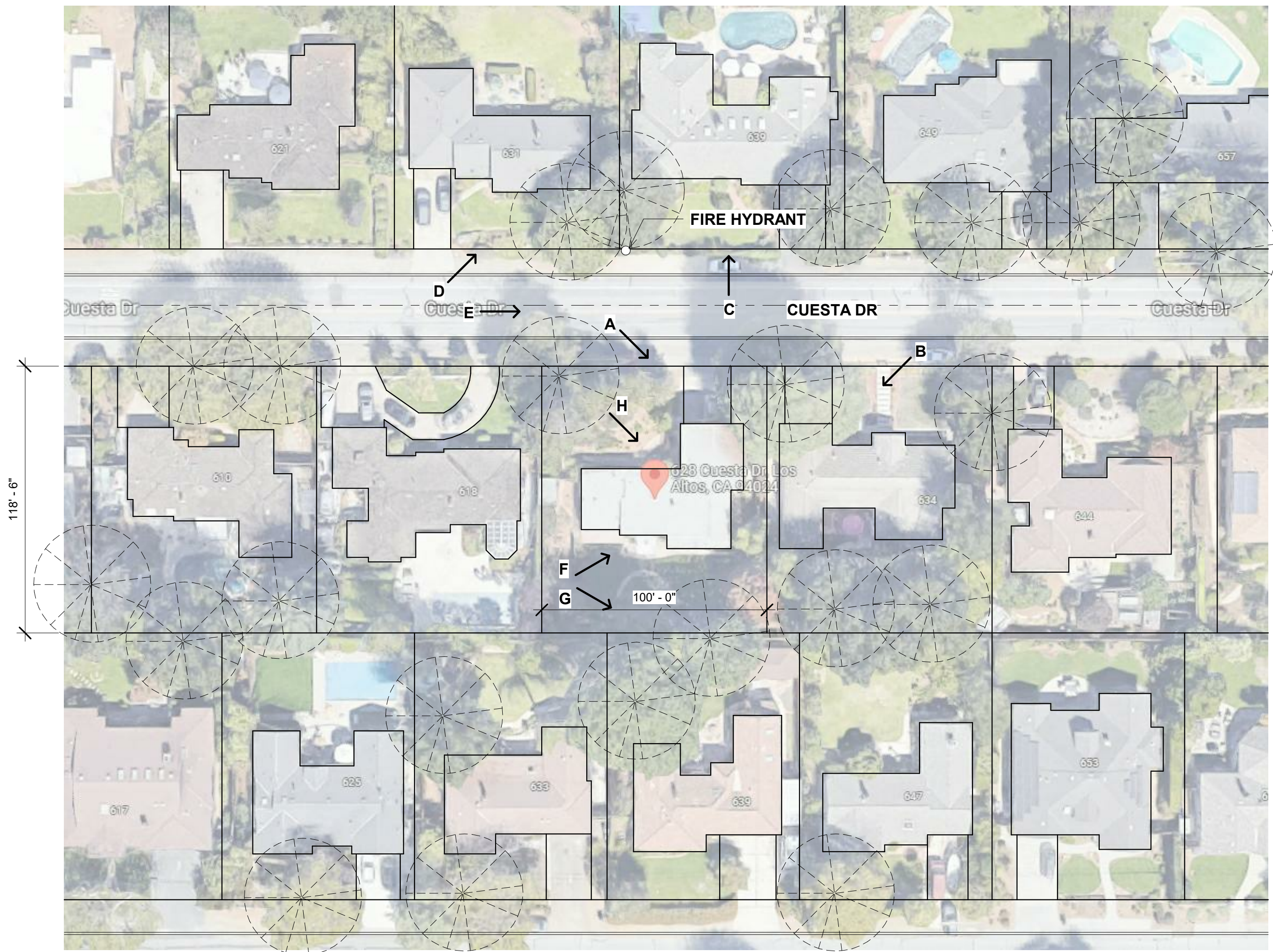
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C



F



HEIGHBORHOOD CONTEXT MAP 1" = 40'-0" 1



G



H



STREET SCAPE 3/32" = 1'-0" 2

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LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021

SITE CONTEXT

Project Number 12125
Date 2/20/2022

A-1.2

Scale As indicated

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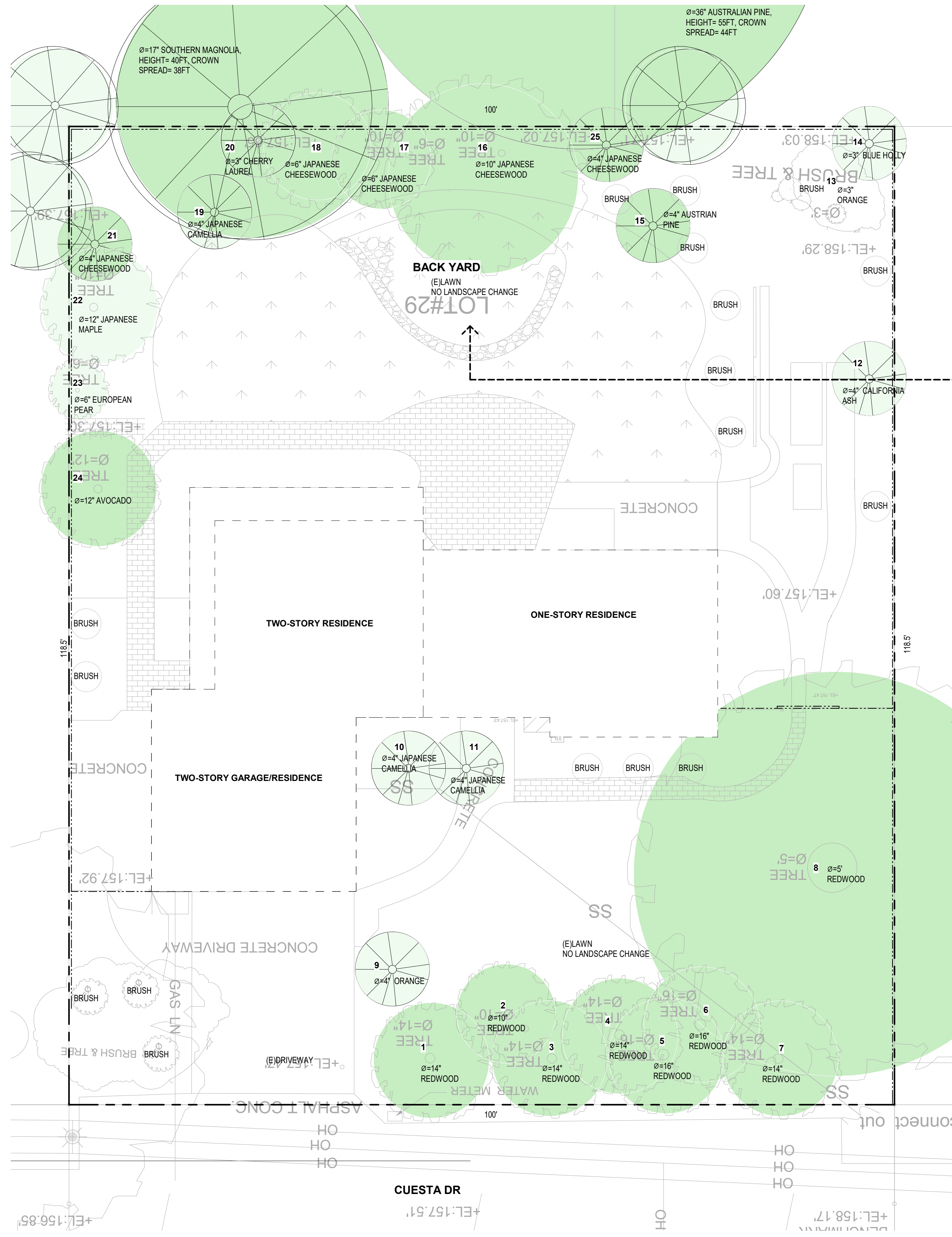
No.	Description	Date
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

TREE PROTECTION PLAN

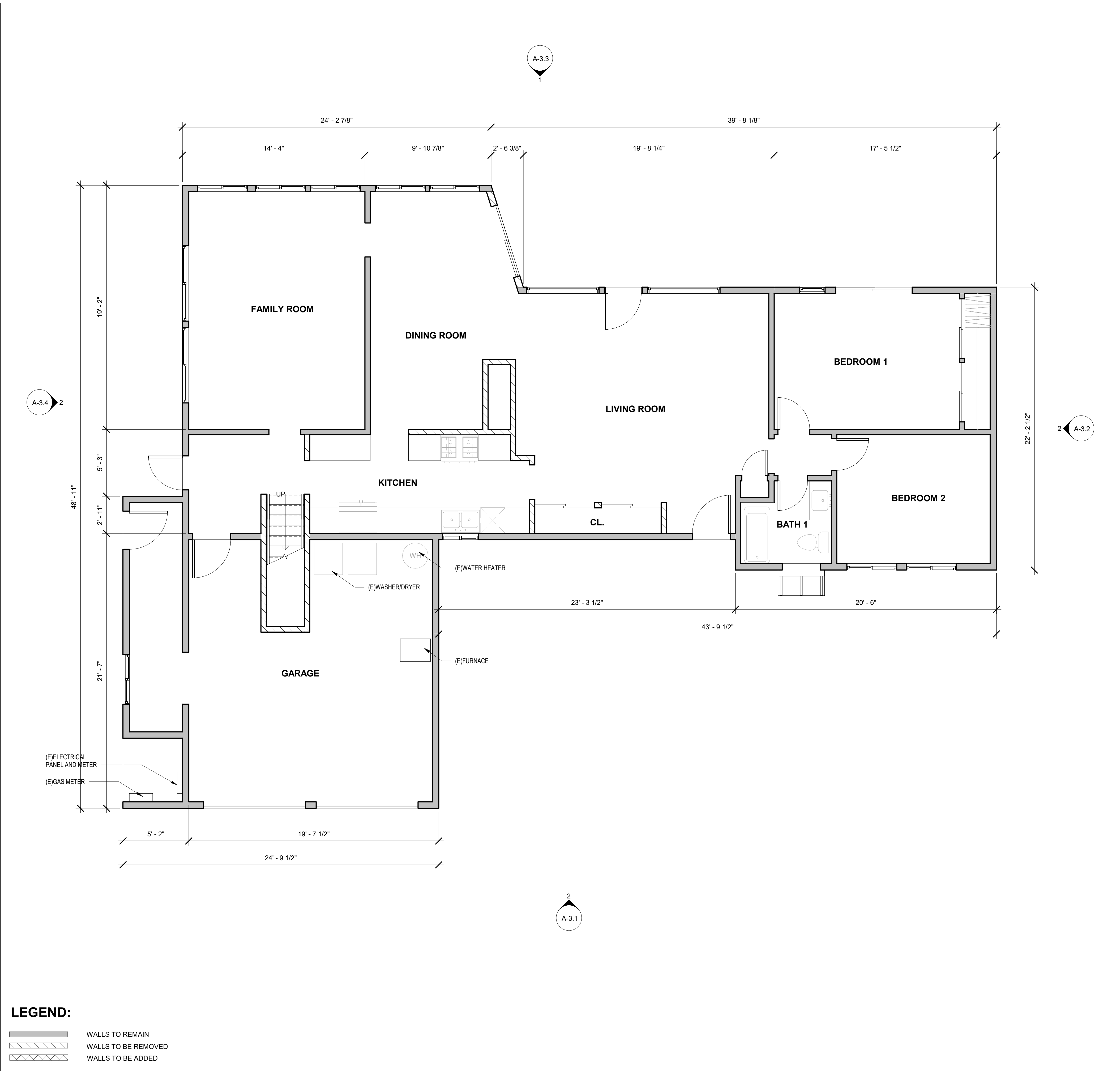
Project Number 12125
 Date 2/20/2022

A-1.3

Scale 1/8" = 1'-0"



	Diameter & Type	Crown Height	Crown Spread	Comment	Remain?
1	Ø=14" REDWOOD	25'	10'	Evergreen, Mature	R
2	Ø=10" REDWOOD	20'	10'	Evergreen, Mature	R
3	Ø=14" REDWOOD	24'	13'	Evergreen, Mature	R
4	Ø=14" REDWOOD	27'	9'	Evergreen, Mature	R
5	Ø=16" REDWOOD	22'	10'	Evergreen, Mature	R
6	Ø=16" REDWOOD	30'	12'	Evergreen, Mature	R
7	Ø=14" REDWOOD	22'	12'	Evergreen, Mature	R
8	Ø=5" REDWOOD	70'	46'	Evergreen, Mature	R
9	Ø=4" ORANGE	14'	7'	Evergreen, Mature	R
10	Ø=4" JAPANESE CAMELLIA	11'	5'	Evergreen, Mature	R
11	Ø=4" JAPANESE CAMELLIA	11'	5'	Evergreen, Mature	R
12	Ø=4" CALIFORNIA ASH	14'	6'	Mature	R
13	Ø=3" ORANGE	8'	4'	Evergreen, Mature	R
14	Ø=3" BLUE HOLLY	10'	5'	Mature	R
15	Ø=4" AUSTRIAN PINE	9' 6"	5'	Evergreen Growth rate: 12-24 in / year Maximum tree height: 60 ft Crown spread: 25-35 ft	R
25	Ø=4" JAPANESE CHEESEWOOD	10'	5'	Evergreen Growth rate: 12-24 in / year Maximum tree height: 25 ft Crown spread: 5-15 ft	R
16	Ø=10" JAPANESE CHEESEWOOD	18'	18'	Evergreen, Mature	R
17	Ø=6" JAPANESE CHEESEWOOD	16'	12'	Evergreen, Mature	R
18	Ø=6" JAPANESE CHEESEWOOD	16'	14'	Evergreen, Mature	R
19	Ø=4" JAPANESE CAMELLIA	10'	4'	Evergreen, Mature	R
20	Ø=3" CHERRY LAUREL	9'	8' 6"	Evergreen Growth rate: 36 in / year Maximum tree height: 30 ft Crown spread: 15-25 ft	R
21	Ø=4" JAPANESE CHEESEWOOD	8'	4'	Evergreen Growth rate: 12-22 in / year Maximum tree height: 25 ft Crown spread: 5-15 ft	R
22	Ø=12" JAPANESE MAPLE	28'	18'	Mature	R
23	Ø=6" EUROPEAN PEAR	11'	4'	Mature	R
24	Ø=12" AVOCADO	25'	16'	Evergreen, Mature	R



DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR SHOWERHEAD
- 2.2 GPM FOR ANY INTERIOR FAUCETS

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**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021

**EXISTING +
 DEMO FLOOR
 PLAN - LEVEL 1**

Project Number 12125
 Date 2/20/2022

A-2.1

Scale 1/4" = 1'-0"

LEGEND:

 WALLS TO REMAIN
 WALLS TO BE REMOVED
 WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 1 1/4" = 1'-0" 1

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No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021

**PROPOSED
 FLOOR PLAN -
 LEVEL 1**

Project Number 12125
 Date 2/20/2022

A-2.2

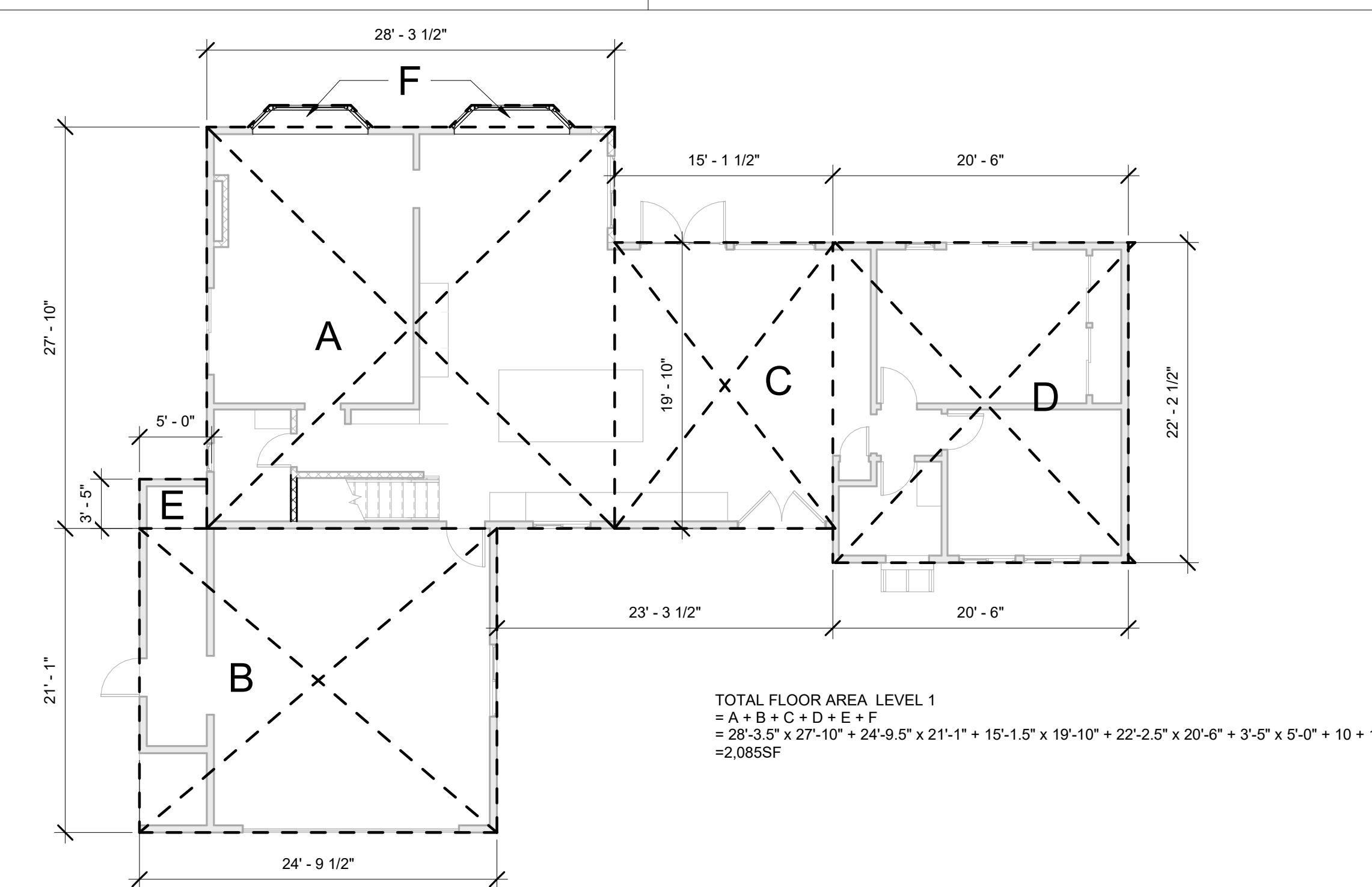
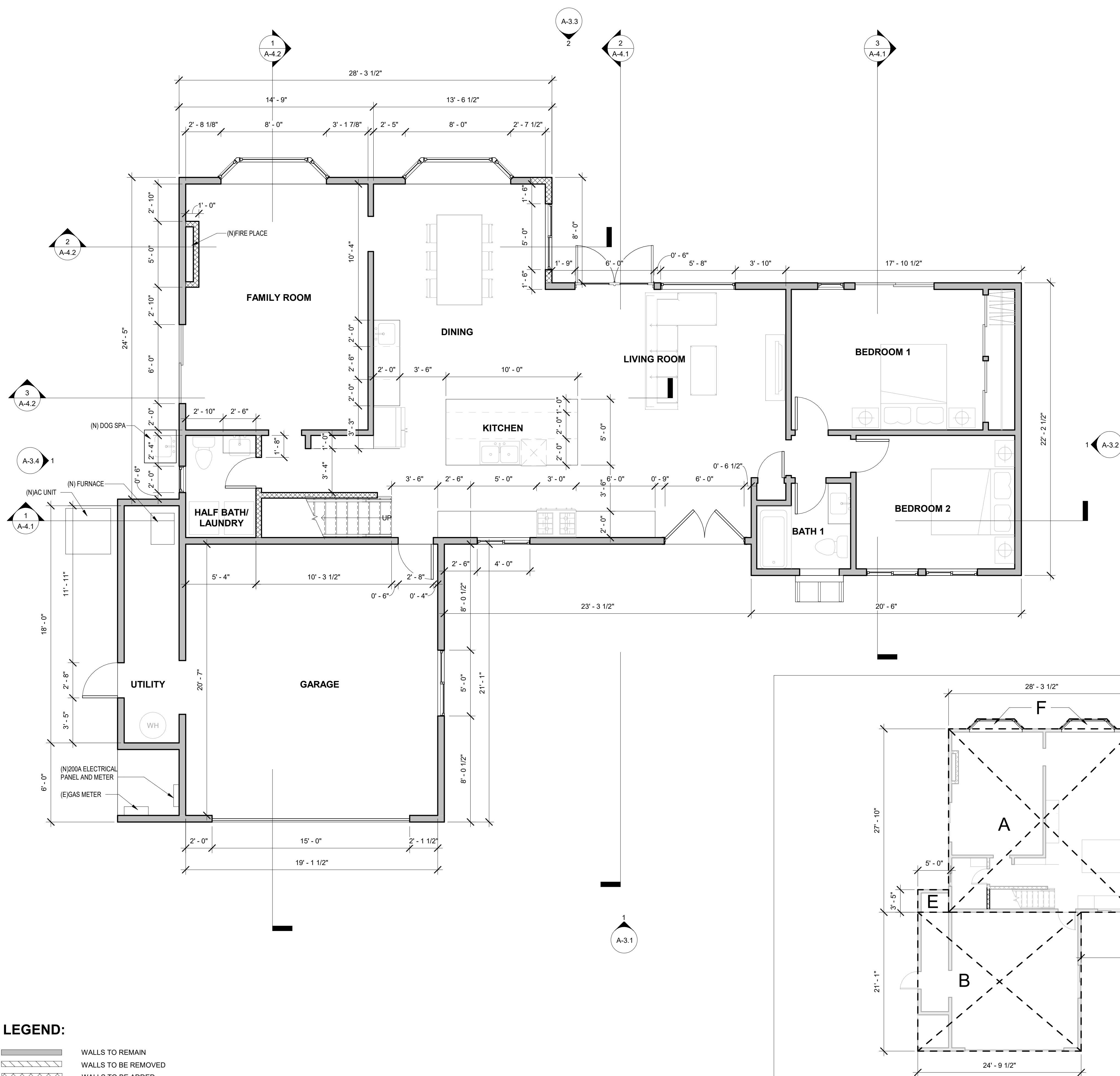
Scale As indicated

PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUBSHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHUB COMPARTMENTS. CRC SECTION R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOR LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1" AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. VINYL WINDOWS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
2. VINYL SLIDING DOORS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
3. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O., WINDOWS AND DOORS TO BE ALUMINUM CLAD / VINYL CLAD / WOOD CLAD.
4. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
5. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
6. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE D.O.R.) WITH METAL THRESHOLD IN BED OF SEALANT.
7. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
8. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
9. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
10. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC..
11. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
12. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
13. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



TOTAL FLOOR AREA LEVEL 1
 = A + B + C + D + E + F
 = 28'-3 1/2" x 27'-10" + 24'-9 1/2" x 21'-1" + 15'-1 1/2" x 19'-10" + 22'-2 1/2" x 20'-6" + 3'-5" x 21'-1" + 10 + 10
 = 2,085SF

LEGEND:
 [Solid Line] WALLS TO REMAIN
 [Dashed Line] WALLS TO BE REMOVED
 [Cross-hatch] WALLS TO BE ADDED

PROPOSED FLOOR PLAN - LEVEL 1 1/4" = 1'-0" 1

PROPOSED LEVEL 1 FLOOR AREA 1/8" = 1'-0" 2

DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR URINALS
- 2.5 GPM FOR SHOWERHEAD
- 2.2 GPM FOR ANY INTERIOR FAUCETS

DIZIGN Studio

DRAFER: JENNY ZHAO
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NOT FOR CONSTRUCTION

**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li
628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

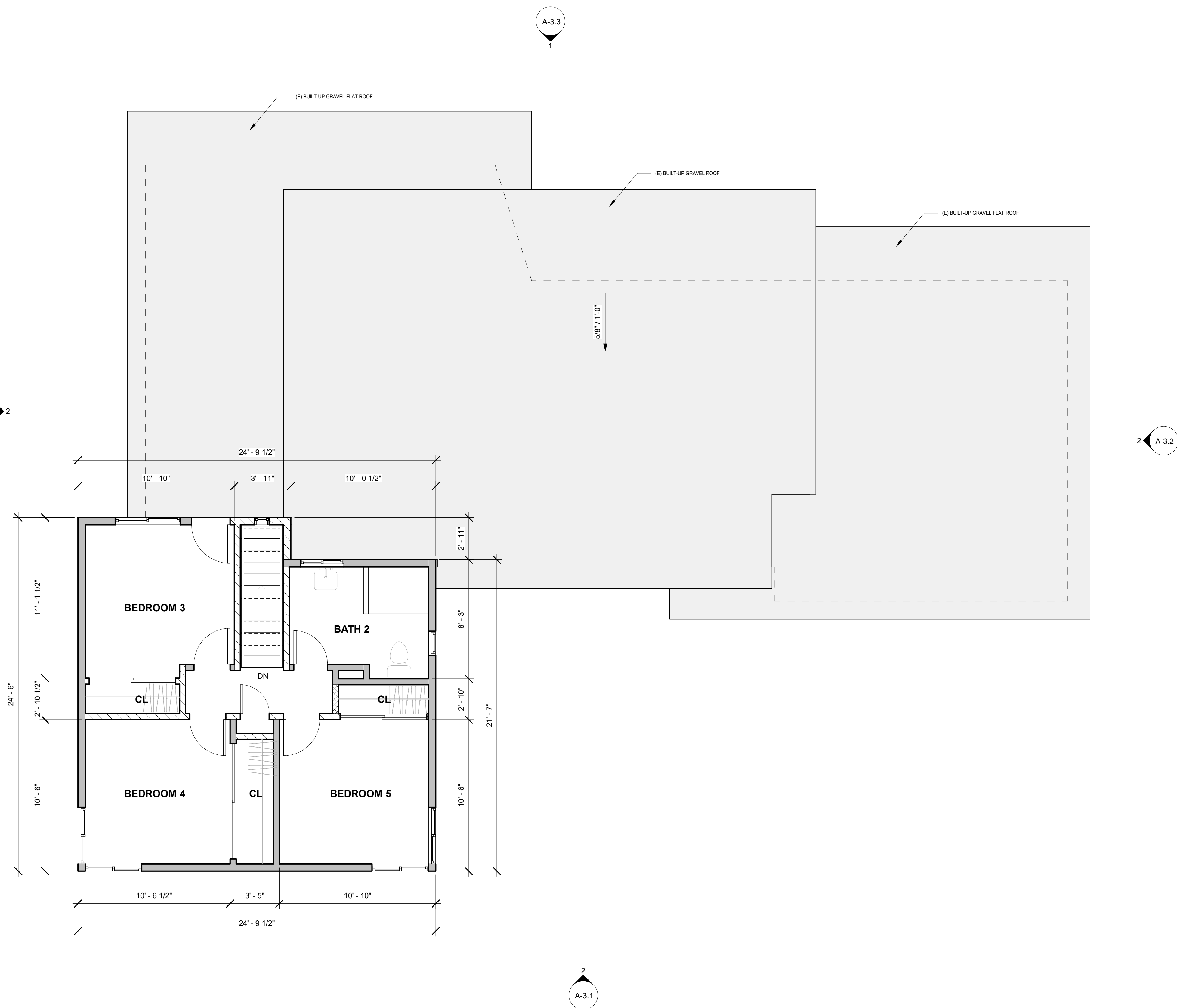
No.	Description	Date
	PLANNING PERMIT	10/6/2021

**EXISTING +
DEMO FLOOR
PLAN - LEVEL 2**

Project Number 12125
Date 2/20/2022

A-2.3

Scale 1/4" = 1'-0"



LEGEND:

- WALLS TO REMAIN
- WALLS TO BE REMOVED
- WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1

PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.5
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1' AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTINGS.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBCS SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. VINYL WINDOWS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
2. VINYL SLIDING DOORS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
3. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O. WINDOWS AND DOORS TO BE ALUMINUM CLAD / VINYL CLAD / WOOD CLAD.
4. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
5. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL.
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
 - G. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
 - H. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
 - I. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
 - J. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
 - K. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
 - L. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
 - M. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
 - N. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

DRAFTER: JENNY ZHAO
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JENNYLI7945@GMAIL.COM
408-669-7945

NOT FOR CONSTRUCTION

**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

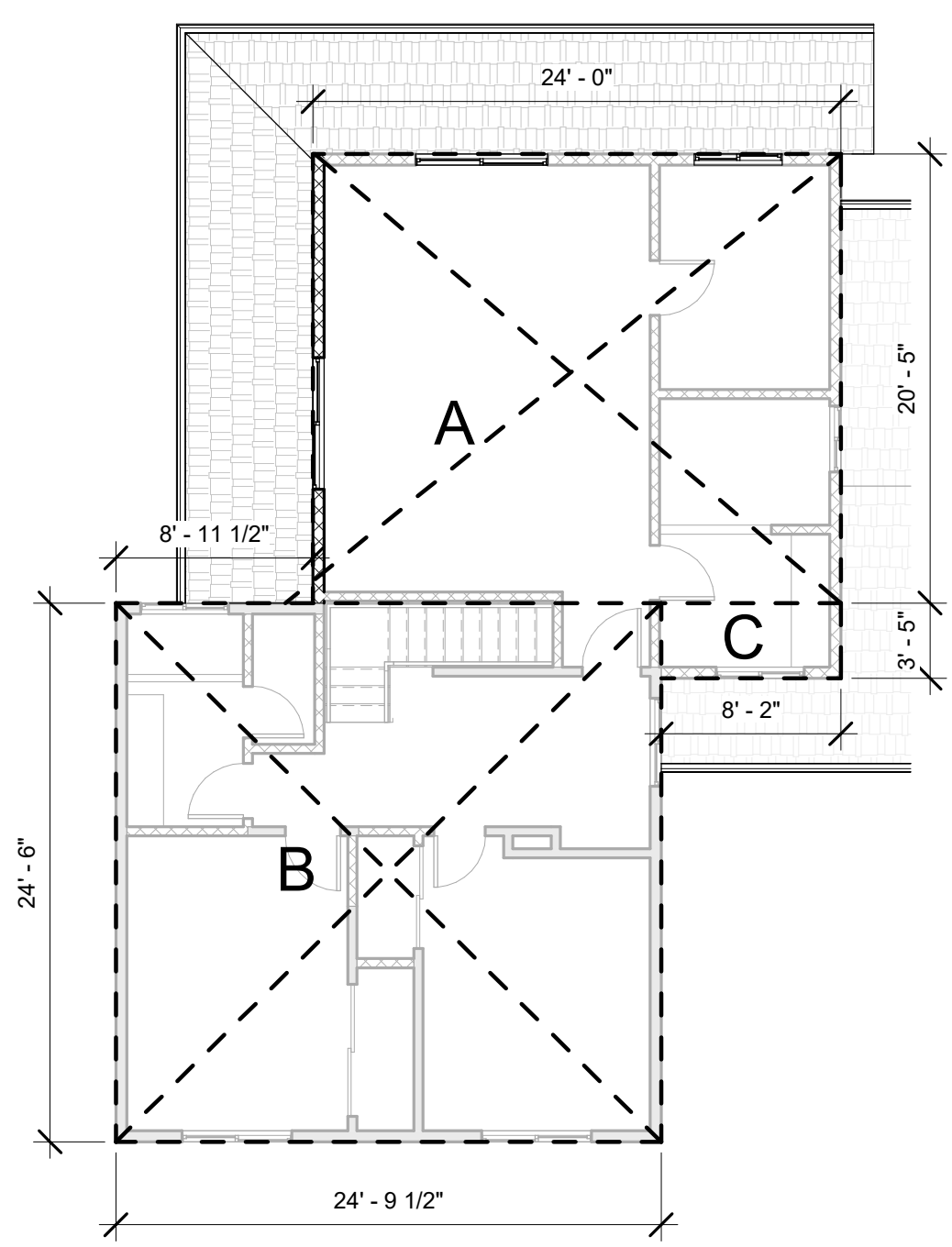
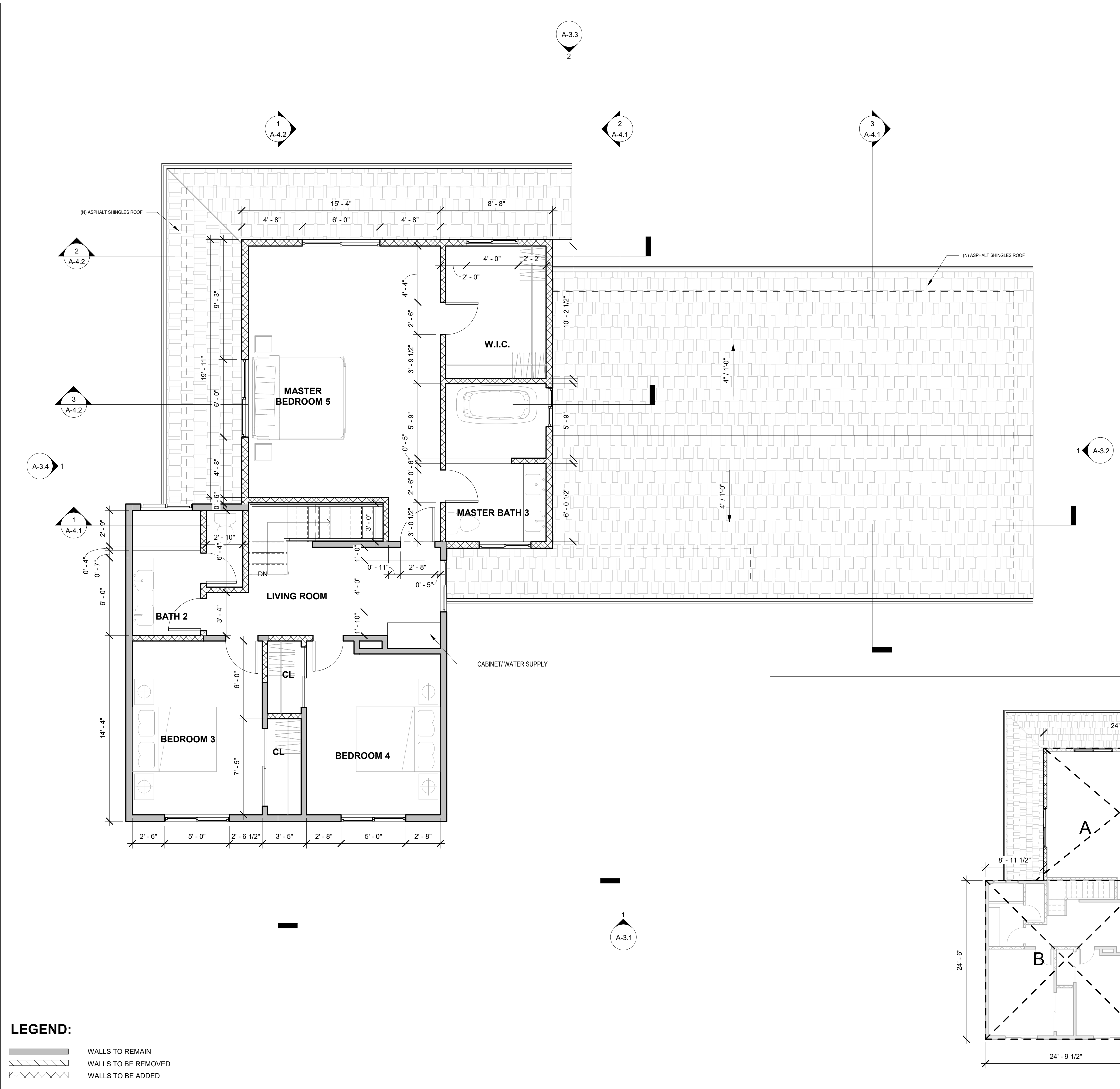
**PROPOSED
FLOOR PLAN -
LEVEL 2**

Project Number 12125
Date 2/20/2022

A-2.4

Scale As indicated

PROPOSED LEVEL 2 FLOOR AREA 1/8" = 1'-0" 2



PROPOSED FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1

DIZIGN Studio

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NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

EXISTING + DEMO / PROPOSED FLOOR PLAN - ROOF

Project Number 12125
 Date 2/20/2022

A-2.5

Scale 1/4" = 1'-0"

DEMOLITION NOTES:

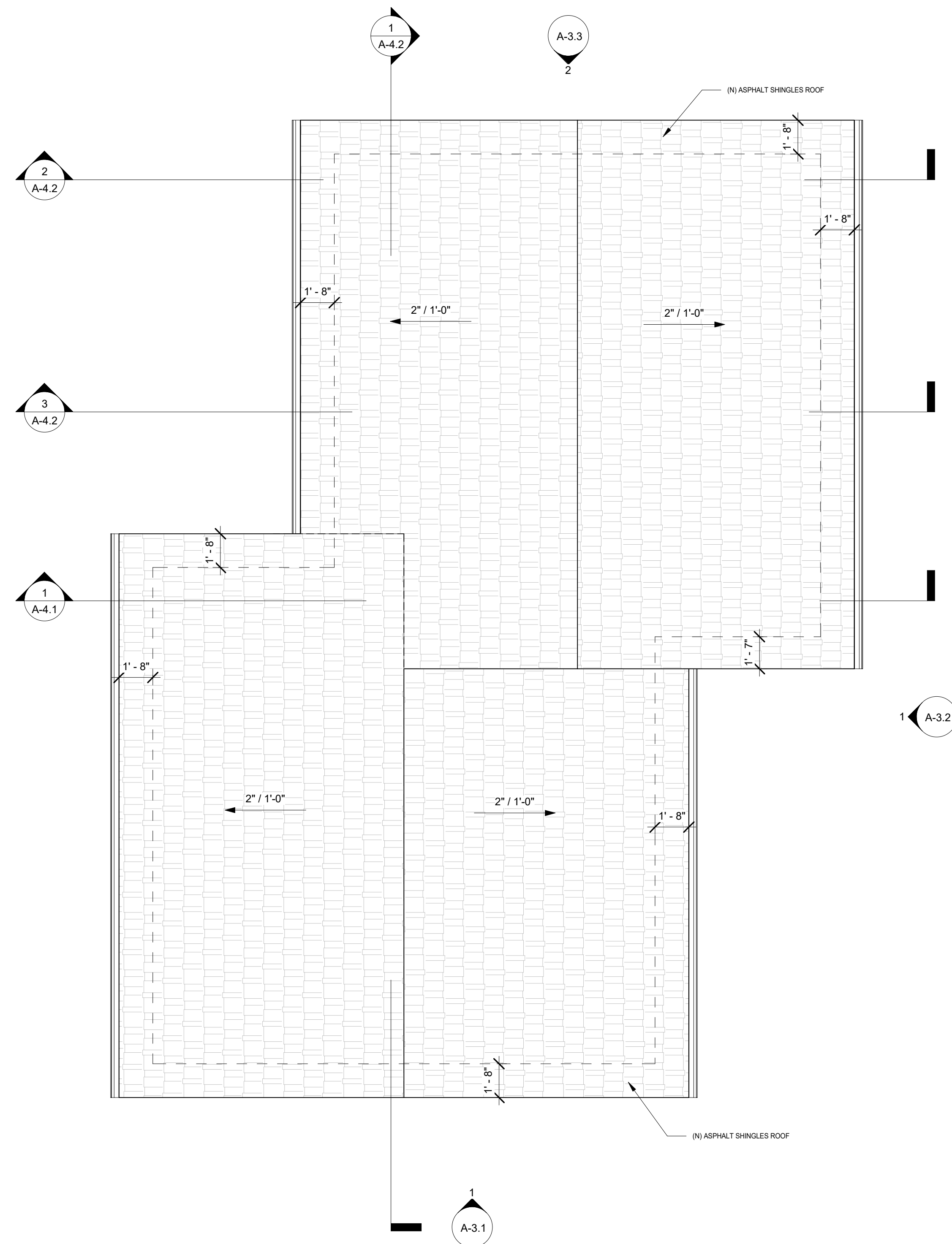
- SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
- REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
- REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
- REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
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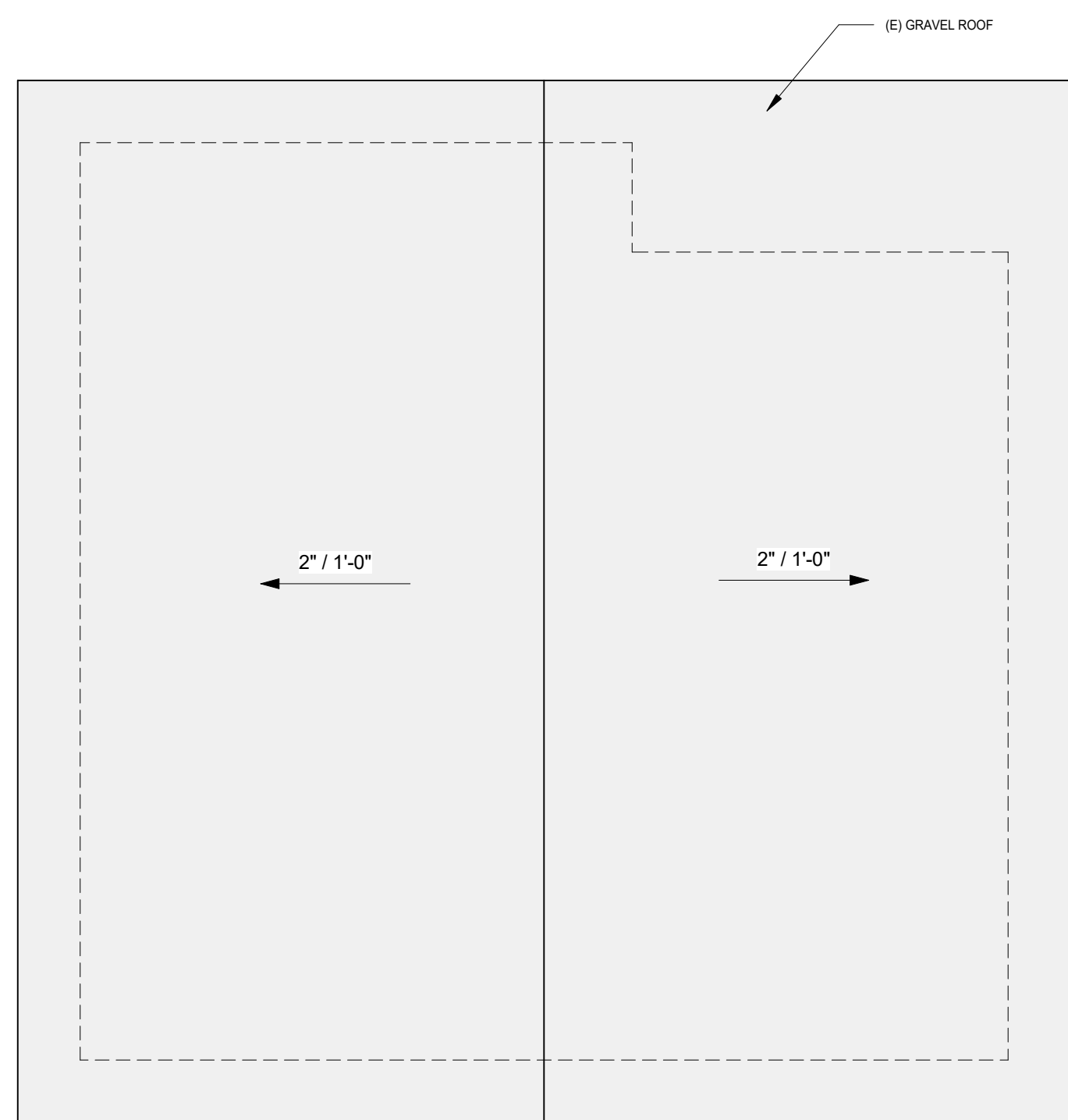
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 - ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
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- PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
- UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
- VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
- VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
- SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
- TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
- THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
- ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



PROPOSED FLOOR PLAN - ROOF 1/4" = 1'-0" 2



EXISTING FLOOR PLAN - ROOF 1/4" = 1'-0" 1

DIZIGN Studio

DRAFTER: JENNY ZHAO
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NOT FOR CONSTRUCTION

LI RESIDENCE
ADDITION- 628
CUESTA DR

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

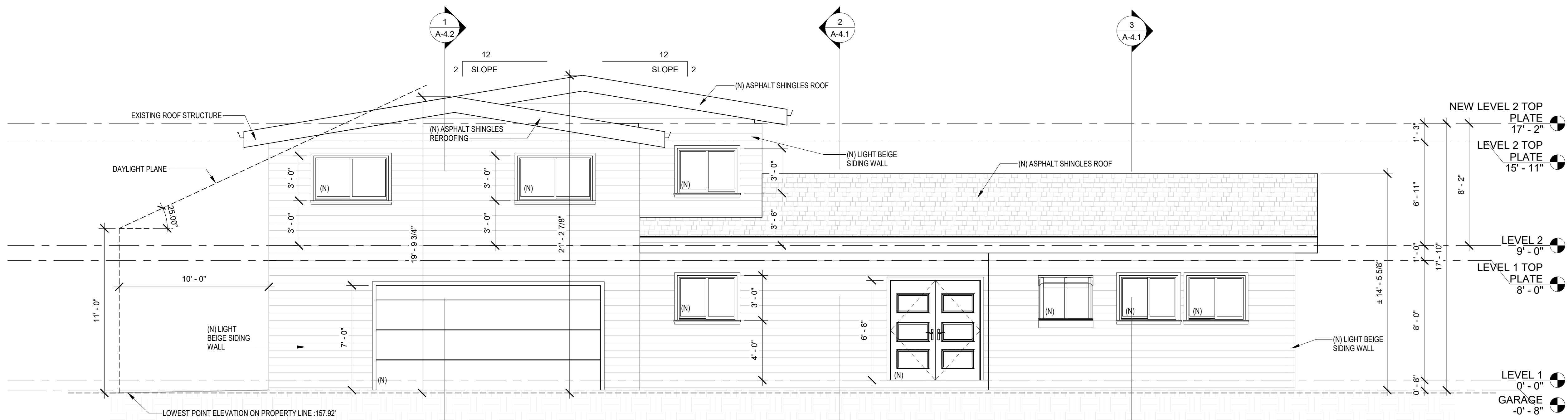
EXISTING /
PROPOSED
ELEVATIONS

Project Number 12125
Date 2/20/2022

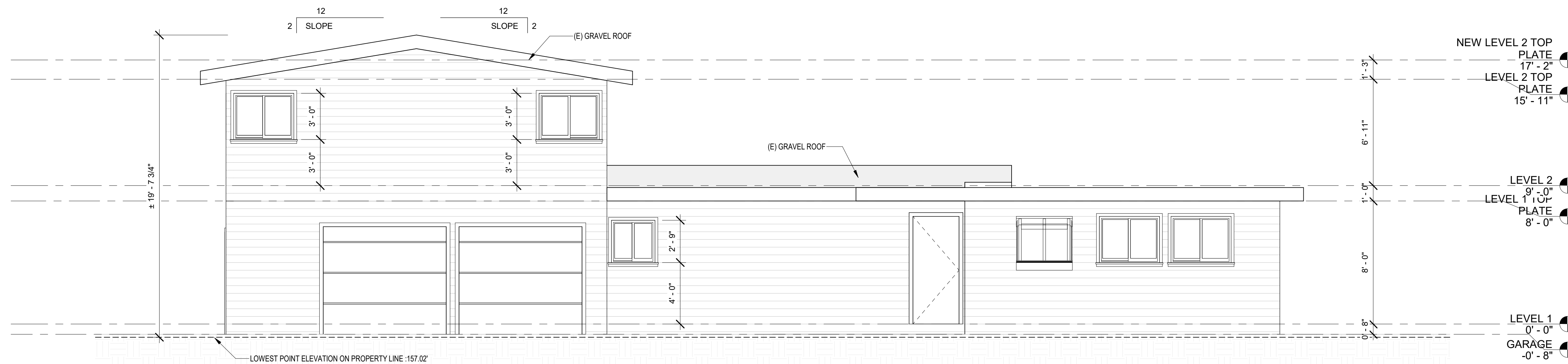
A-3.1

Scale 1/4" = 1'-0"

2/20/2022 10:35:21 PM



PROPOSED ELEVATION- NORTH 1/4" = 1'-0" 1



EXISTING ELEVATION- NORTH 1/4" = 1'-0" 2

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALCS: OPENINGS FOR UNDER-FLOOR VENTILATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 (SPCB)
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

1. ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES, MINIMUM FIRE RATED CLASS A
2. ALL FLASHING TO BE 22 GAUGE W/MIN. 10-INCH LAP W/WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
3. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
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DOOR & WINDOW NOTES:

1. VINYL WINDOWS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
2. VINYL SLIDING DOORS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
3. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O., WINDOWS AND DOORS TO BE ALUMINUM CLAD / VINYL CLAD / WOOD CLAD.
4. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
5. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
6. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
7. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
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11. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
12. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
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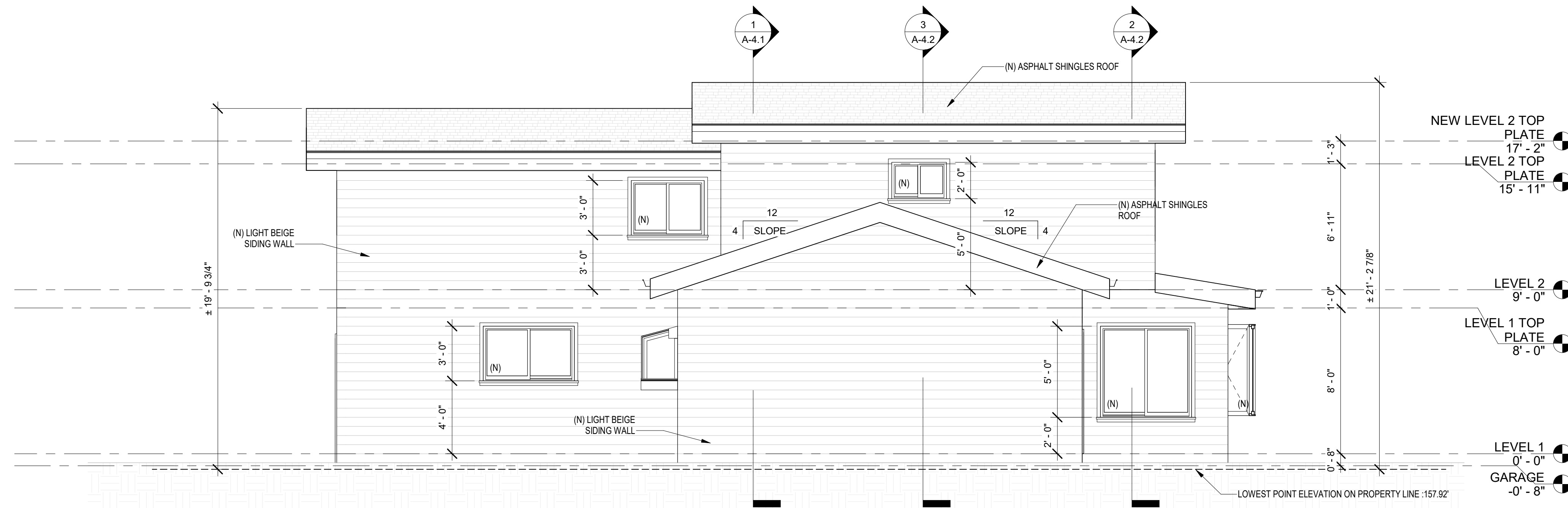
No.	Description	Date
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EXISTING /
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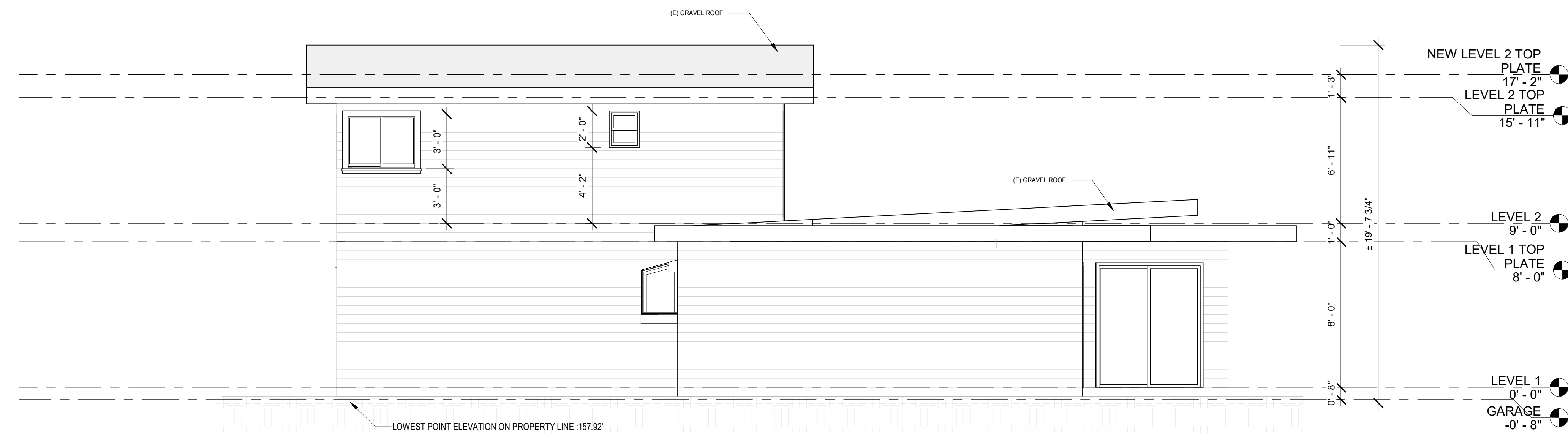
Project Number 12125
Date 2/20/2022

A-3.2

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- WEST 1/4" = 1'-0" 1



EXISTING ELEVATION- WEST 1/4" = 1'-0" 2

GENERAL NOTES:

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2. FOUNDATION VENT CALC. OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
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ELEVATION NOTES:

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7. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
8. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
9. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
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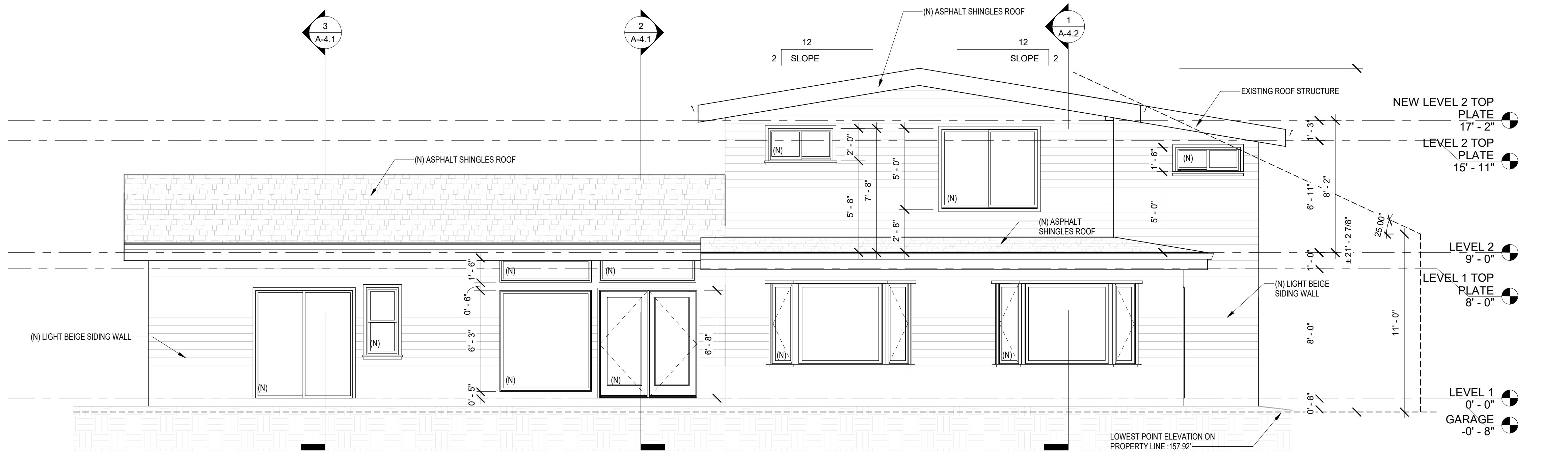
EXISTING /
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ELEVATIONS

Project Number 12125

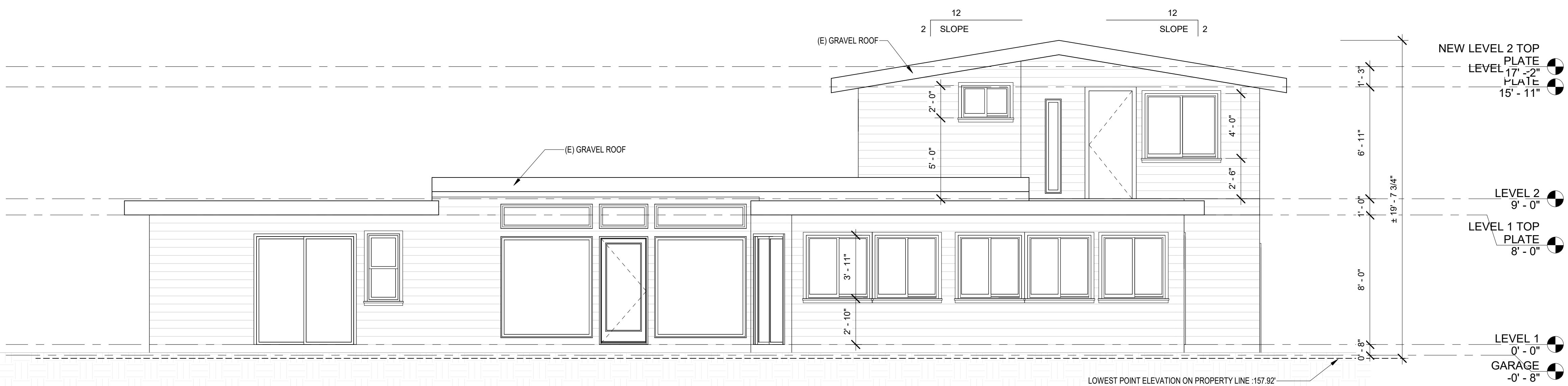
Date 2/20/2022

A-3.3

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- SOUTH 1/4" = 1'-0" 2



EXISTING ELEVATION- SOUTH 1/4" = 1'-0" 1

GENERAL NOTES:

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ELEVATION NOTES:

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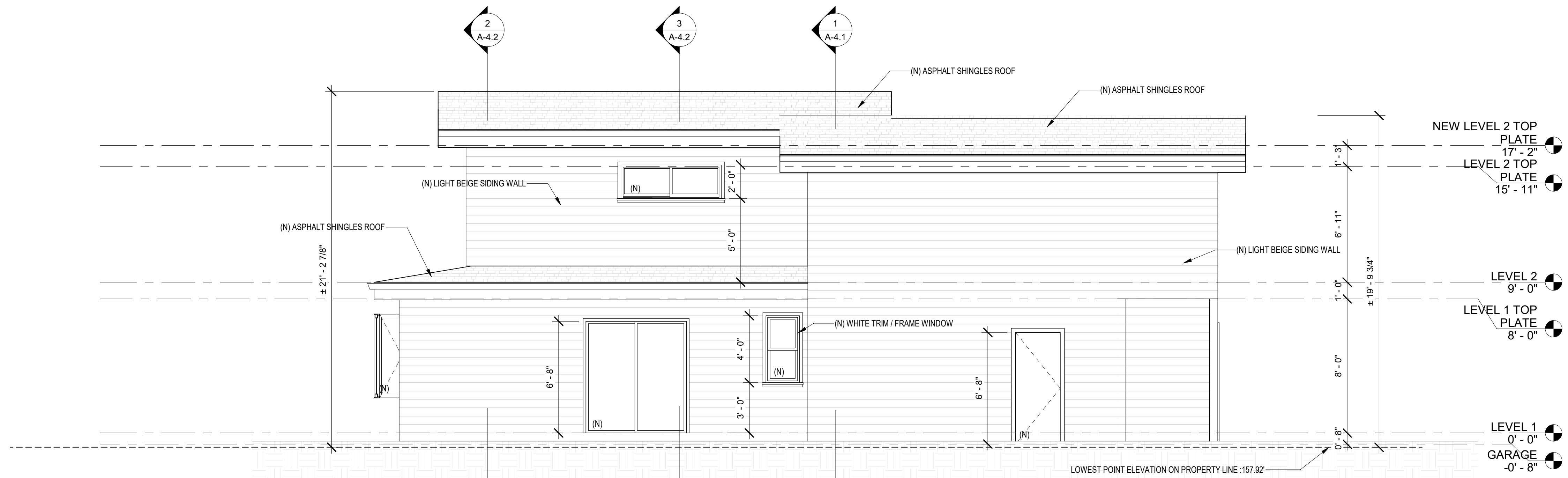
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Project Number 12125

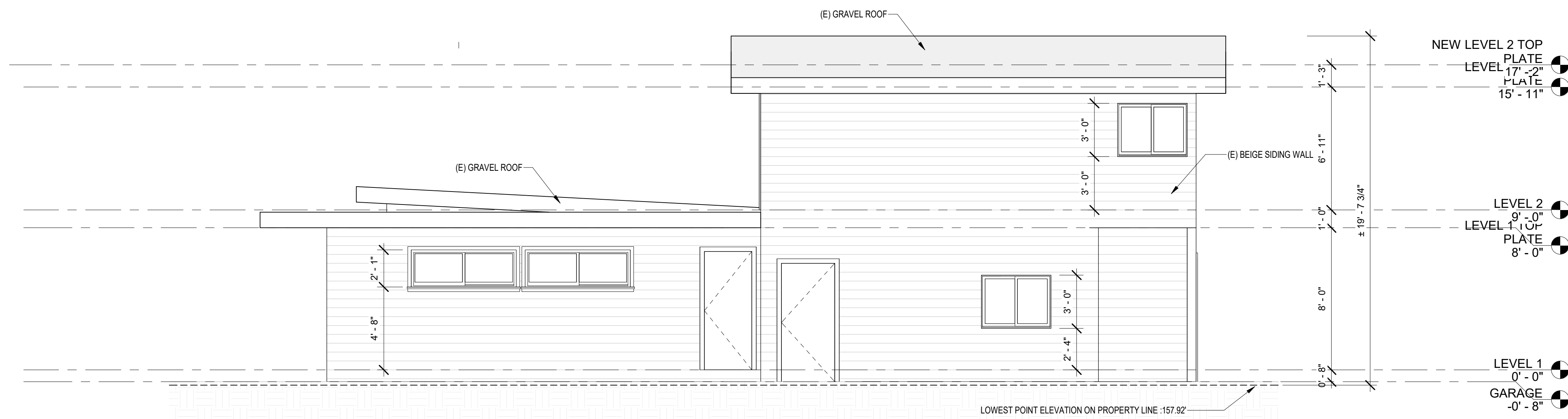
Date 2/20/2022

A-3.4

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- EAST 1/4" = 1'-0" 1



EXISTING ELEVATION- EAST 1/4" = 1'-0" 2

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALCS: OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

1. ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES. MINIMUM FIRE RATED CLASS A
2. ALL FLASHING TO BE 22 GAUGE W/MIN. 10-INCH LAP W/ALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
3. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY).
4. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
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6. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING FOR ALL EXTERIOR WALLS.

DOOR & WINDOW NOTES:

1. VINYL WINDOWS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
2. VINYL SLIDING DOORS W/ ANODIZED BRONZE FINISH & NON-REFLECTIVE GLAZING.
3. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O., WINDOWS AND DOORS TO BE ALUMINUM CLAD / VINYL CLAD/ WOOD CLAD.
4. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
5. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
6. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
7. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
8. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
9. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
10. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
11. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
12. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
13. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

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 408-669-7945

NOT FOR CONSTRUCTION

**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

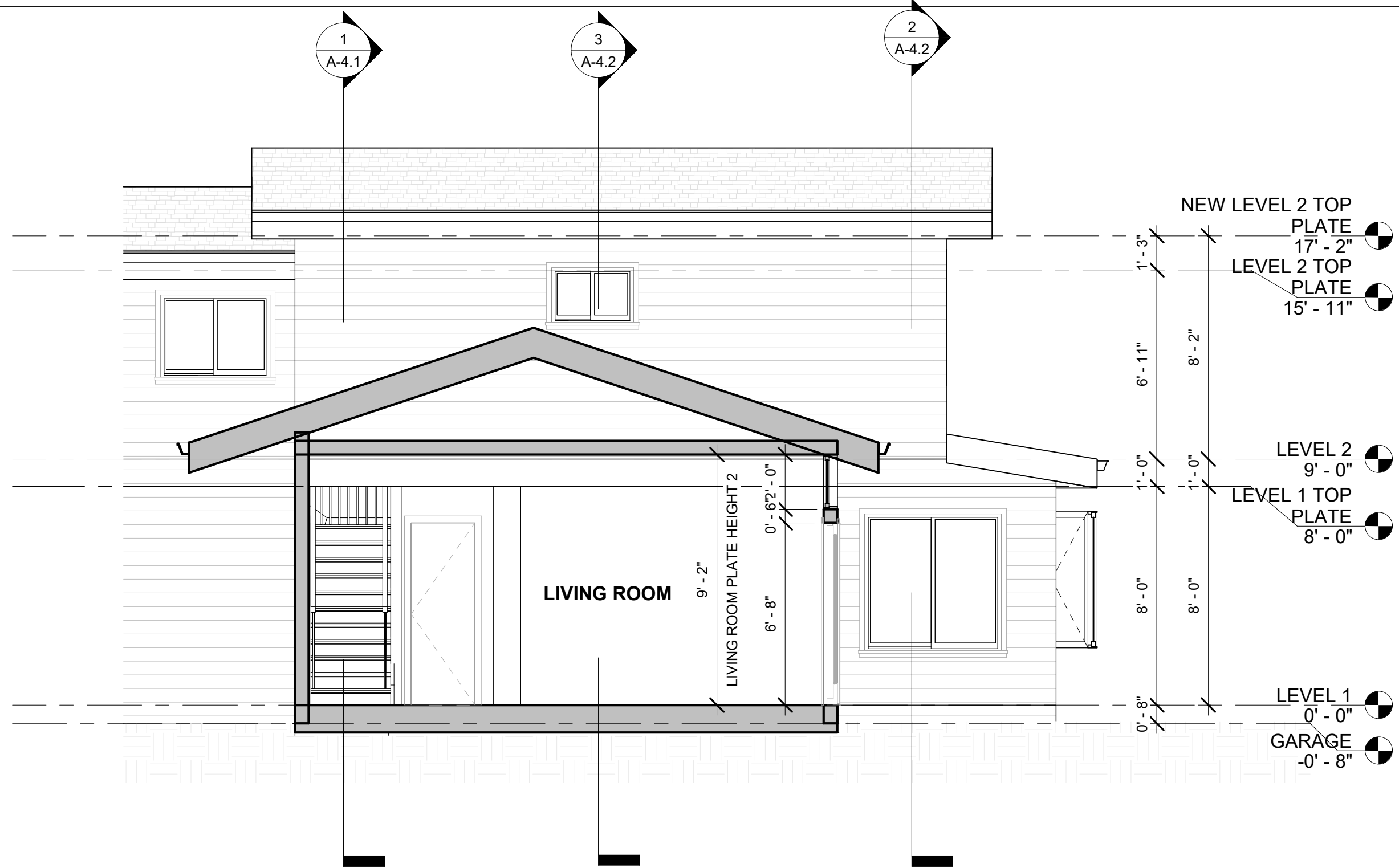
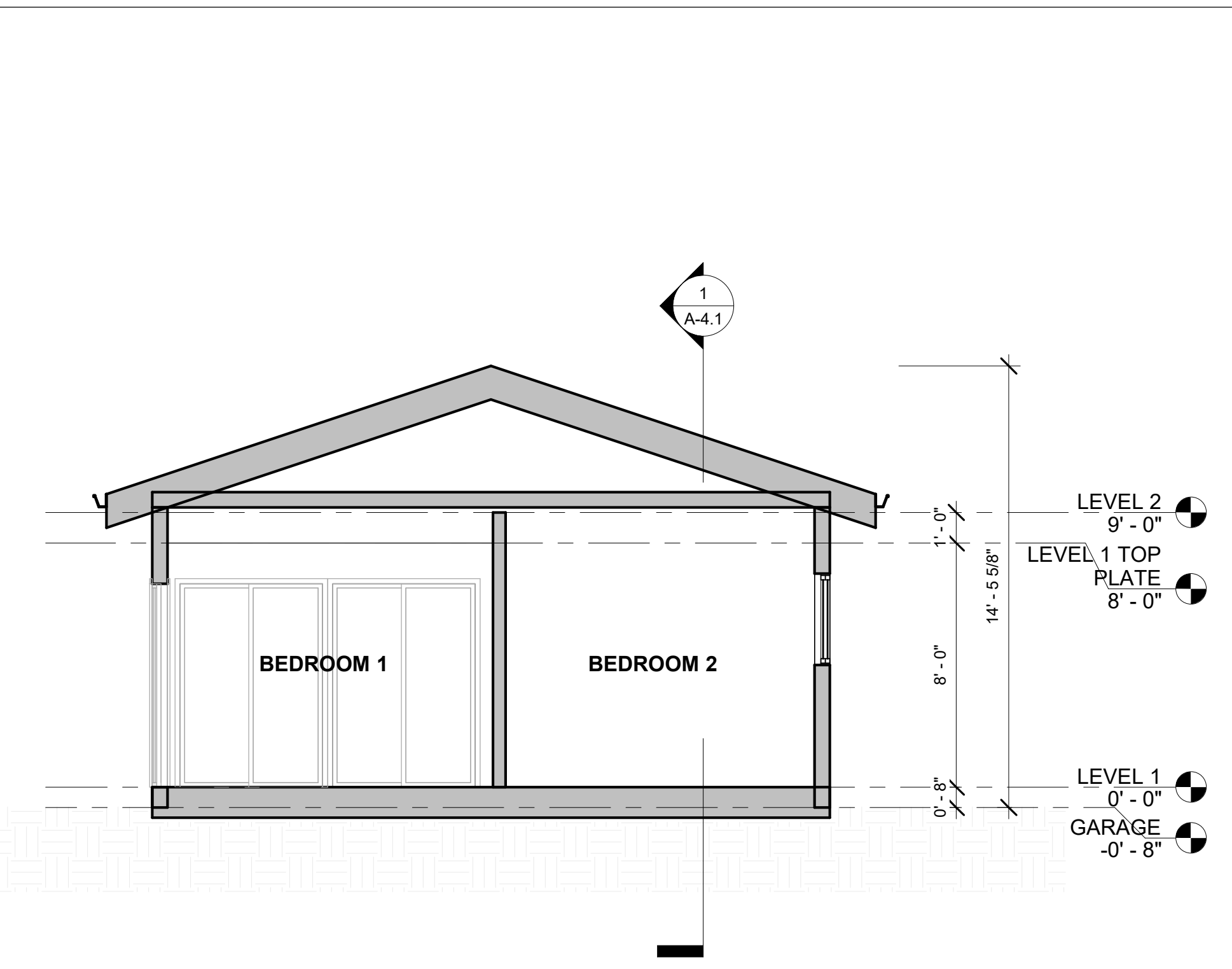
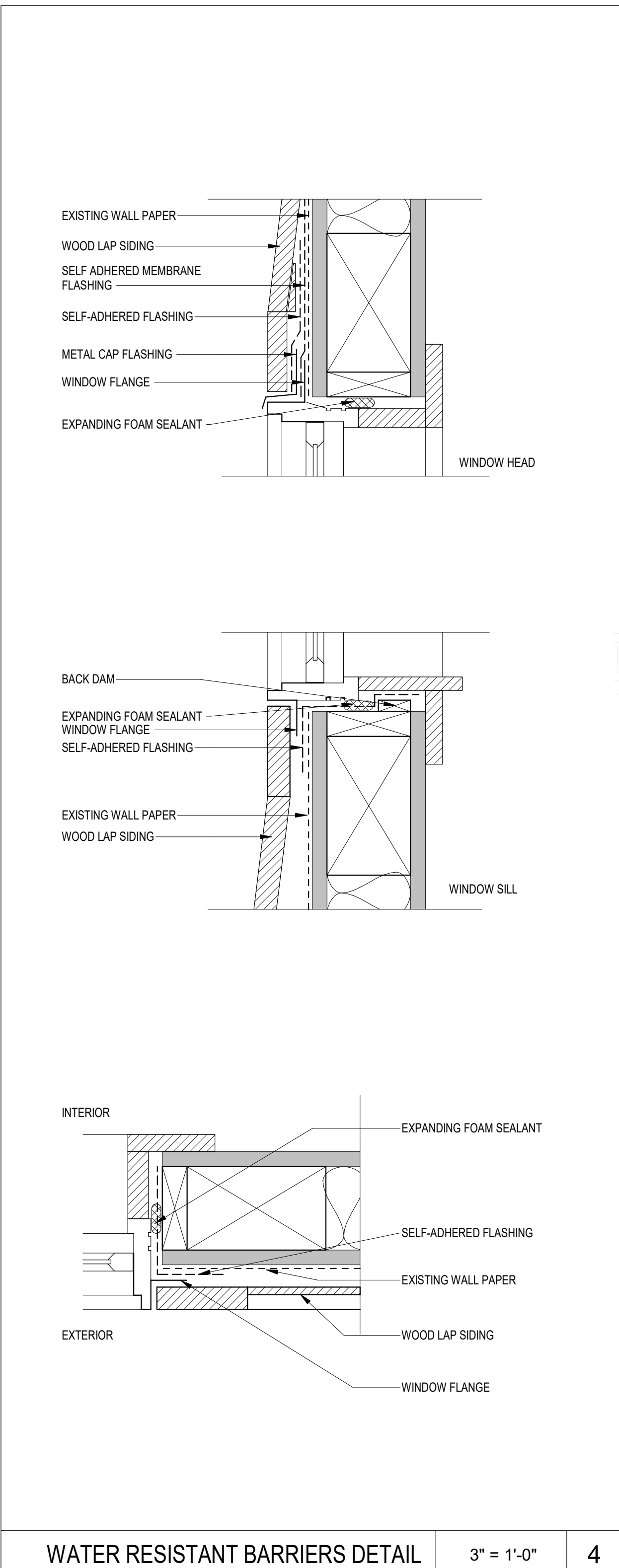
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

BUILDING SECTIONS

Project Number 12125
 Date 2/20/2022

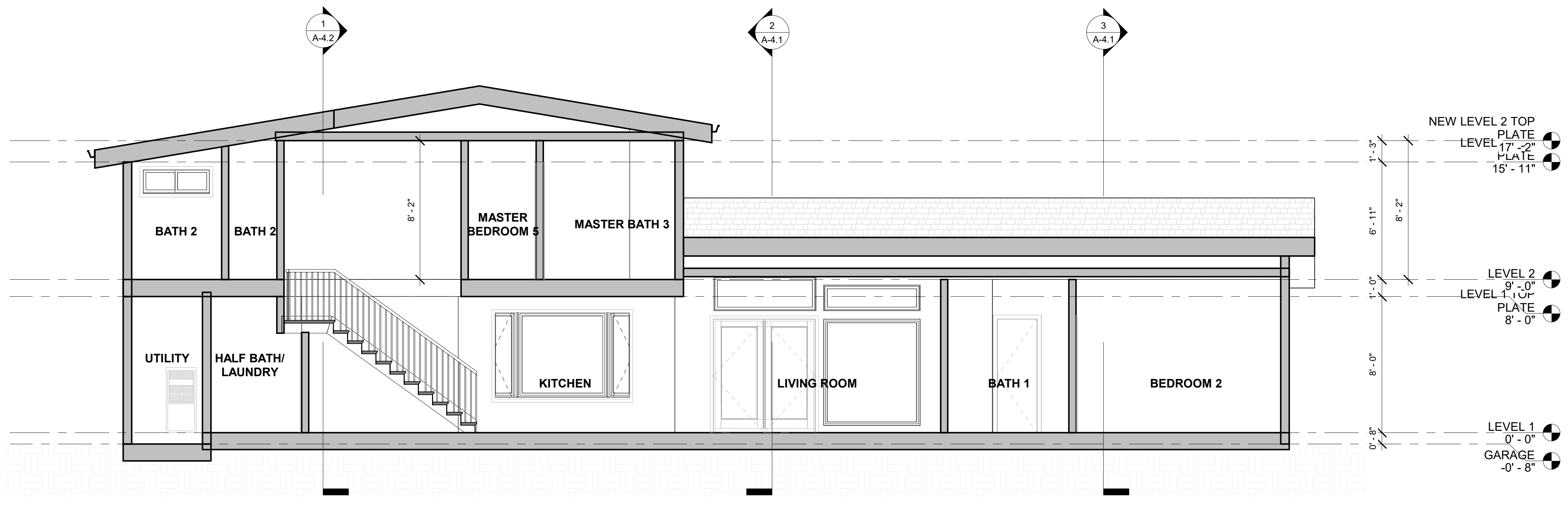
A-4.1

Scale As indicated



SECTION C-C 1/4" = 1'-0" 3

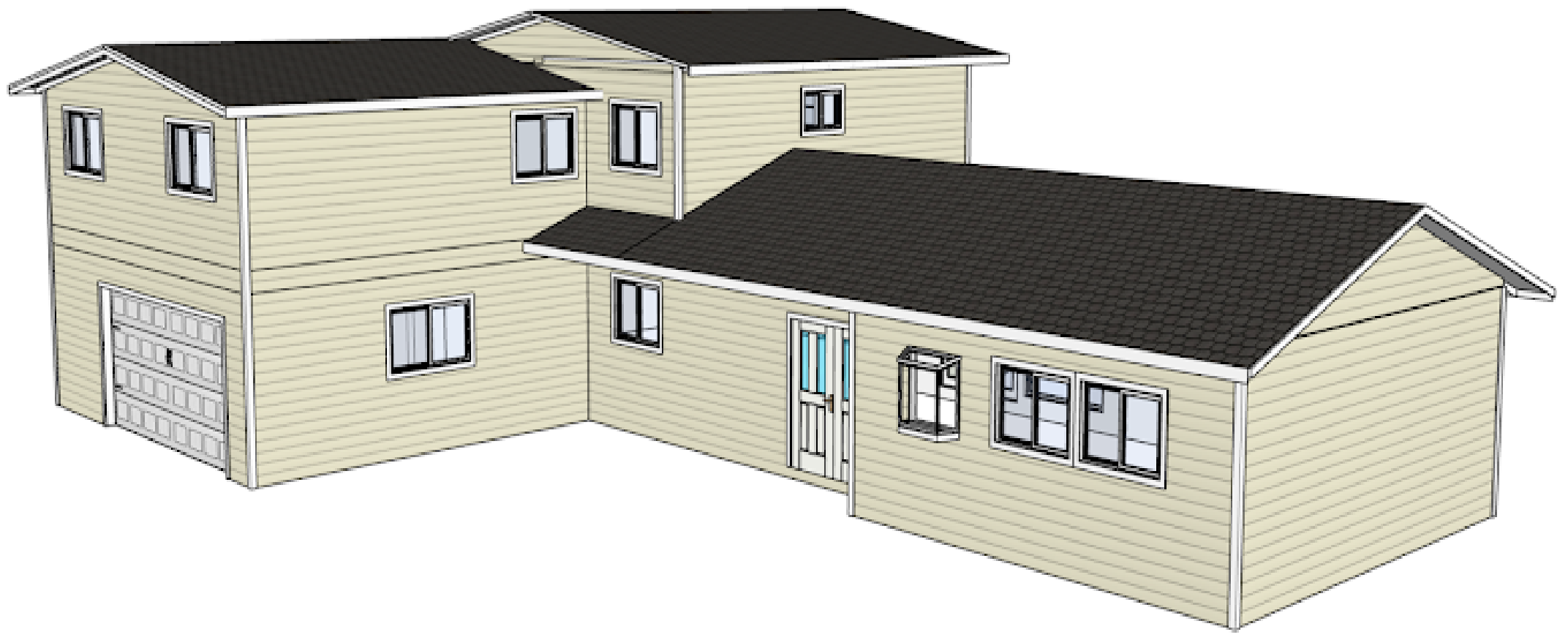
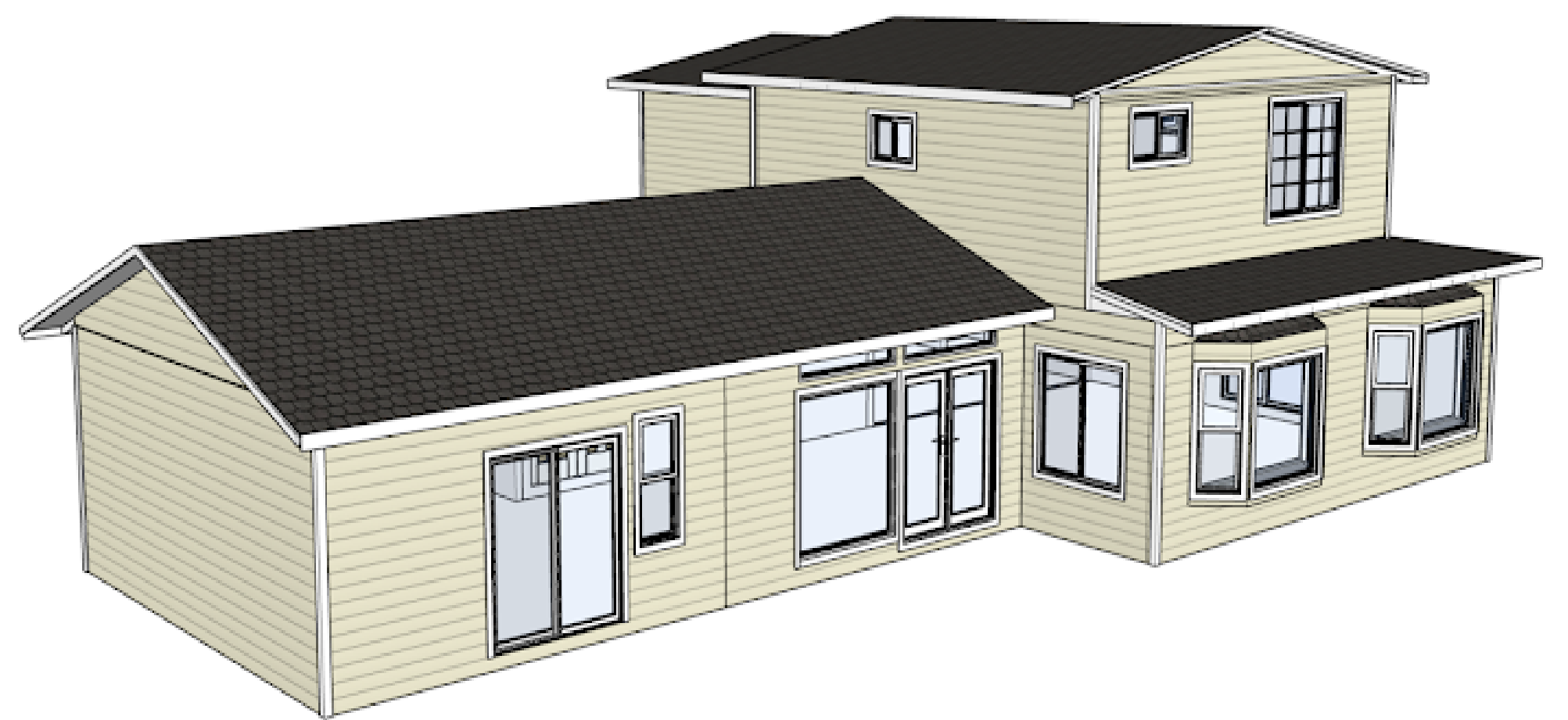
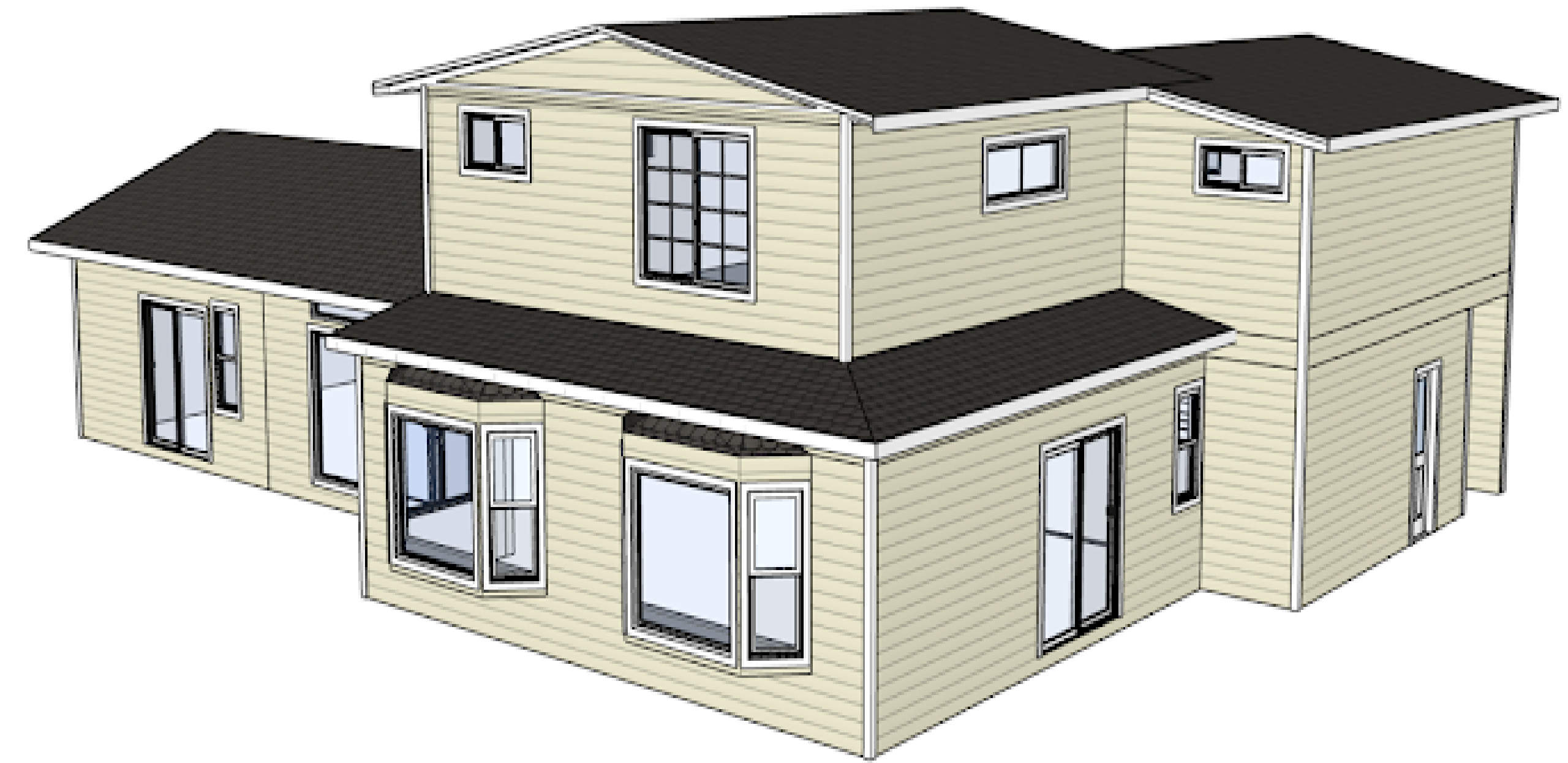
SECTION B-B 1/4" = 1'-0" 2



SECTION A-A 1/4" = 1'-0" 1

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13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window	Patio door
Material	Fiber cement	Fiber cement	Fiberglass Asphalt Shingles	Fiberglass	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White	White
Manufacturer / Brand	James Hardie lap siding	James Hardi	G.A.F Timberline HDZ Shingles	Milgard Ultra™ Series C650	Milgard Ultra™ Series C650
Product specifications	7.25-inch width, 6-inch exposure	3.5-inch width			
Color board					

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardi	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorative Primed Steel Prehung Front Door on 6-9/16 in. Frame	Long bead board design with Moonlite windows
Color board				

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NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021

MATERIAL BOARD

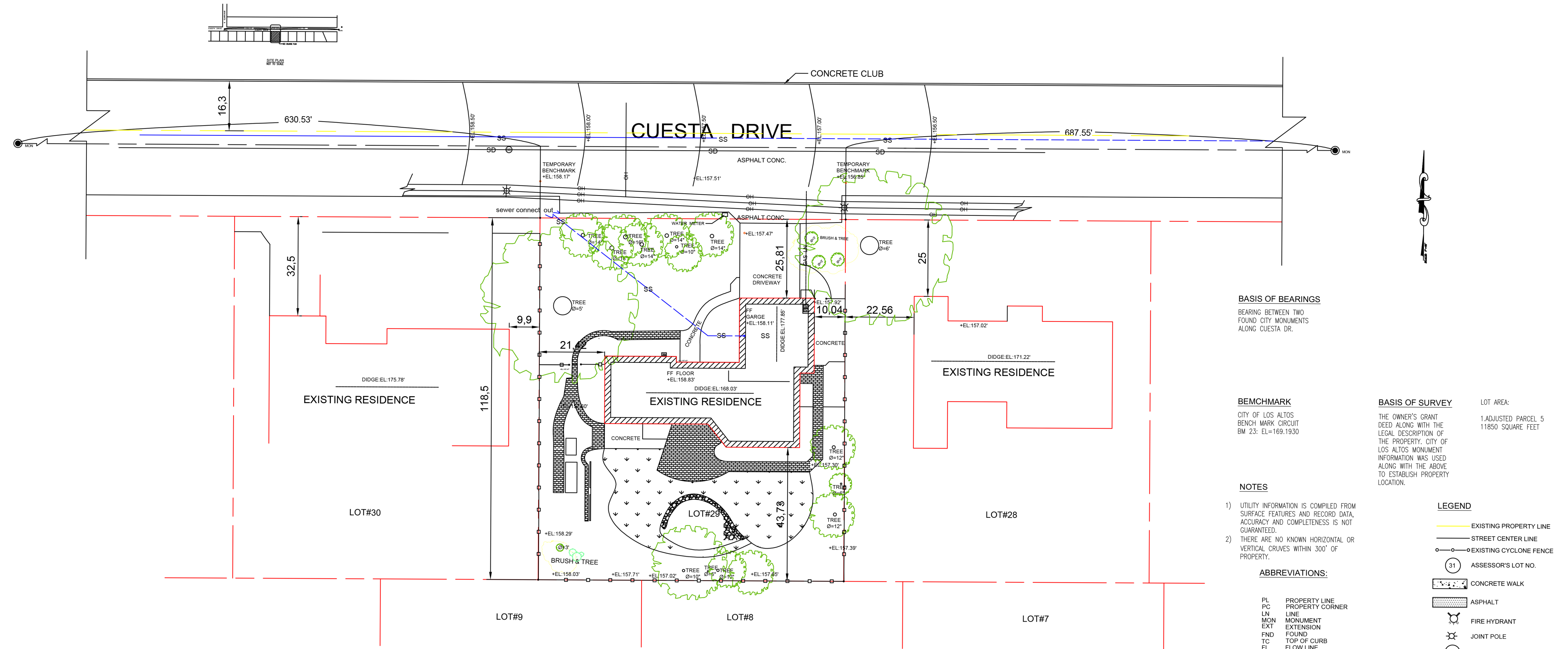
Project Number 12125
 Date 2/20/2022

A-6

Scale

BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS ESCROW NO.:0623016782 AS SAID LOTS ARE SHOWN ON THE MAP OF VACANT INDUSTRIAL LAND LOCATED IN THE CITY OF LOS ALTOS OF SANTA CLARA COUNTY CALIFORNIA, IDENTIFIED AS APN :189-39-052



BASIS OF BEARINGS
BEARING BETWEEN TWO FOUND CITY MONUMENTS ALONG CUESTA DR.

BENCHMARK
CITY OF LOS ALTOS
BENCH MARK CIRCUIT
BM 23: EL=169.1930

BASIS OF SURVEY LOT AREA:
THE OWNER'S GRANT DEED ALONG WITH THE LEGAL DESCRIPTION OF THE PROPERTY, CITY OF LOS ALTOS MONUMENT INFORMATION WAS USED ALONG WITH THE ABOVE TO ESTABLISH PROPERTY LOCATION.
1.AJUSTED PARCEL 5
11850 SQUARE FEET

NOTES
1) UTILITY INFORMATION IS COMPILED FROM SURFACE FEATURES AND RECORD DATA, ACCURACY AND COMPLETENESS IS NOT GUARANTEED.
2) THERE ARE NO KNOWN HORIZONTAL OR VERTICAL CURVES WITHIN 300' OF PROPERTY.

ABBREVIATIONS:

- PL PROPERTY LINE
- PC PROPERTY CORNER
- LN LINE
- MON MONUMENT
- EXT EXTENSION
- FND FOUND
- TC TOP OF CURB
- FL FLOW LINE
- SS SANITARY SEWER
- SD STORM DRAIN
- MH MAN HOLE
- (r) RECORD INFORMATION
- OHE OVERHEAD ELECTRIC
- FNC FENCE
- INTNL INTERNATIONAL AVE.
- AC ASPHALT
- FC FIRE HYDRANT
- SM STORM DRAIN MANHOLE
- SSC SANITARY SEWER MANHOLE
- SI STORM DRAIN INLET
- GP GAS PIPE
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- SSCO SEWER CLEAN OUT
- FF FINISH FLOOR
- SFNF SEARCH FOR NOT FOUND

- LEGEND**
- EXISTING PROPERTY LINE
 - STREET CENTER LINE
 - EXISTING CYCLONE FENCE
 - ASSESSOR'S LOT NO.
 - CONCRETE WALK
 - ASPHALT
 - FIRE HYDRANT
 - JOINT POLE
 - SEWER MANHOLE
 - FOUND CITY MONUMENT
 - CATCH BASIN
 - SET 3/4" RB. RCE 22573
 - SUBDIV. LOT NO.
 - SIGN
 - ELECTRICITY METER
 - GAS METER BOX
 - WATER METER BOX
 - SURVEY MONUMENT
 - BOUNDARY LINE
 - MONUMENT LINE
 - OLD LOT LINE
 - EASEMENT LINE
 - WOODEN FENCE LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - GAS LINE
 - OVERHEAD ELECTRICAL LINE
 - STORM DRAIN LINE
 - TREE (TYPE NOT SPECIFIED)
 - TREE LOSS
 - STREET LIGHTING

PUBLIC ADVISORY

THE MAP WAS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF LOS ALTOS AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF LOS ALTOS THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

REFERENCE

- 1) MAP OF THE RESUBDIVISION SANTA CLARA COUNTY ASSESSOR'S MAP
- 2) CITY OF LOS ALTOS MONUMENT MAP
- 3) CITY OF LOS ALTOS SEWER MAP

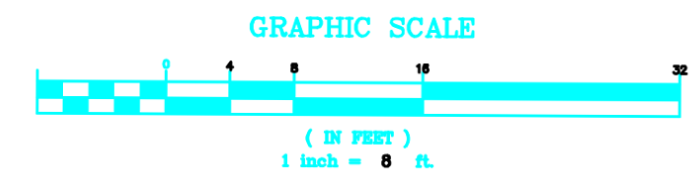
SURVEYOR'S STATEMENT

THIS MAP WAS REPRESENTS BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCES AT THE REQUEST OF YUN LI IN SEPTEMBER, 2021.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH AND THAT THE GRADES SHOWN HEREON ARE BASED ON PROJECT BM ON CITY OF LOS ALTOS DATUM.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON THAT CERTAIN DEED IN THE OFFICIAL RECORDED, SANTA CLARA COUNTY DOC#25040239

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYORS THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY BE FILED.





A-1 COVER SHEET
 A-1.1 EXISTING / PROPOSED SITE PLAN
 A-1.2 SITE CONTEXT
 A-1.3 TREE PROTECTION PLAN
 A-2.1 EXISTING + DEMO FLOOR PLAN - LEVEL 1
 A-2.2 PROPOSED FLOOR PLAN - LEVEL 1
 A-2.3 EXISTING + DEMO FLOOR PLAN - LEVEL 2
 A-2.4 PROPOSED FLOOR PLAN - LEVEL 2
 A-2.5 EXISTING + DEMO / PROPOSED FLOOR PLAN - ROOF
 A-3.1 EXISTING / PROPOSED ELEVATIONS
 A-3.2 EXISTING / PROPOSED ELEVATIONS
 A-3.3 EXISTING / PROPOSED ELEVATIONS
 A-3.4 EXISTING / PROPOSED ELEVATIONS
 A-4.1 BUILDING SECTIONS
 A-4.2 BUILDING SECTIONS
 A-4.3 EXTERIOR BOARD
 A-6.1 RENDERING

INDEX

1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.
 2. BEFORE STARTING ANY PORTION OF WORK, THE CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS AGAINST THE ACTUAL EXISTING CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT VERIFYING EXISTING CONDITIONS AND DISCOVERS AFTER THE WORK HAS STARTED ANY DISCREPANCIES, HE SHALL PROCEED TO PERFORM WHATEVER WORK IS REQUIRED TO CORRECT THE DISCREPANCIES AND BRING ABOUT THE PROPER EXECUTION OF THE PROJECT TO THE SATISFACTION OF THE DESIGNER, AT NO EXTRA COST TO THE OWNER.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL OR STATE CODES AND REGULATIONS.
 5. ALL MATERIAL, EQUIPMENT AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.
 6. ALL DIMENSIONS ARE ROUGH UNLESS OTHERWISE NOTED. ALL CABINETS, TILE AND THE LIKE NEED TO BE FIELD VERIFIED PRIOR TO INSTALLATION.
 7. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AS SOON AS THEY ARE DISCOVERED.
 8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES OR FAILURE OF THE CONTRACTOR TO VERIFY LOCATIONS AND MEASUREMENTS ON THE JOB.
 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING, OR OTHER PERMITS AS MAY BE REQUIRED BY THE LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE STRUCTURAL ENGINEER FOR ANY SITE VISITS OR SPECIAL TESTING AS NEEDED TO COMPLETE ALL STRUCTURAL WORK AS DIRECTED BY THE STRUCTURAL ENGINEER.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FORWARDING ALL SHOP DRAWINGS TO THE DESIGNER FOR REVIEW AND APPROVAL. NO FABRICATION SHALL COMMENCE UNTIL BOTH DESIGNER AND OWNER HAVE REVIEWED AND APPROVED BY SIGNATURE ALL SHOP DRAWINGS.

GENERAL NOTES

1. INDOOR WATER USE: 1.28 GAL/FLUSH AT WATER CLOSETS, 1.8 GPM AT SHOWER HEAD @ 80PSI, 1.2 GPM AT LAVATORY FAUCET @ 60PSI, AND 1.8 GPM AT KITCHEN FAUCET @ 60PSI.
 2. SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. (4.303.1.4)
 3. FAUCETS: RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI. METERING FAUCETS INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI. (4.303.1.4)
 4. STANDARDS FOR PLUMBING FIXTURES AND FITTINGS: PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER THE CALIFORNIA PLUMBING CODE. (4.303.2)
 5. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS: RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). (4.304.1)
 6. RECYCLED WATER SUPPLY SYSTEMS: NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED. (4.305.1)
 7. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (4.406.1)
 8. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
 9. MOISTURE CONTENT OF BUILDING MATERIALS: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. (4.503.3)
 10. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION: DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. (4.504.1)
 11. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.1)
 12. FINISH MATERIAL POLLUTANT CONTROL.
 -ADHESIVES, SEALANTS AND CAULKS: ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
 -PAINTS AND COATINGS: PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 -AEROSOL PAINTS AND COATINGS: AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. VERIFICATION: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (4.504.2)
 13. CARPET SYSTEMS: ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
 - NSF ANSI 140 AT THE GOLD LEVEL.
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 - CARPET CUSHION: ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.
 - CARPET ADHESIVE: ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1. (4.504.3)
 14. RESILIENT FLOORING SYSTEMS: WHERE RESILIENT FLOORING IS STALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). (4.504.4)
 15. COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONT ROL MEASURE FOR COMPOSITE WOOD (17 CFR 93.20 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTION S, AS SHOWN IN TABLE 4.504.5. (4.504.5)
 16. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)
 17. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)
 18. HEATING AND AIR-CONDITIONING SYSTEM DESIGN: DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 5-2014 OR EQUIVALENT. (4.507.2)
 19. INSTALLER TRAINING: HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (702.1)
 20. INSPECTOR SHALL VERIFY THE DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED.
 21. SPECIAL INSPECTION: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING (702.2)
 22. DOCUMENTATION: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (703.1)
 23. SCOPE: FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS. (4.201.1)
 24. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1.

CALGREEN RESIDENTIAL MANDATORY NOTES

LI RESIDENCE ADDITION PROJECT

628 CUESTA DR, LOS ALTOS, CA 94024
 PROJECT ADDRESS=**628 CUESTA DR, LOS ALTOS, CA 94024**
 A.P.N.=**189-39-052**
 LOT AREA**11850 SF**
 ZONING =**R1-10**
 CONSTRUCTION TYPE=**V-B**

SETBACKS:
 FRONT:**25'**
 SIDE:**10'(FIRST LEVEL), 17.5'(SECOND LEVEL)**
 REAR:**25'**

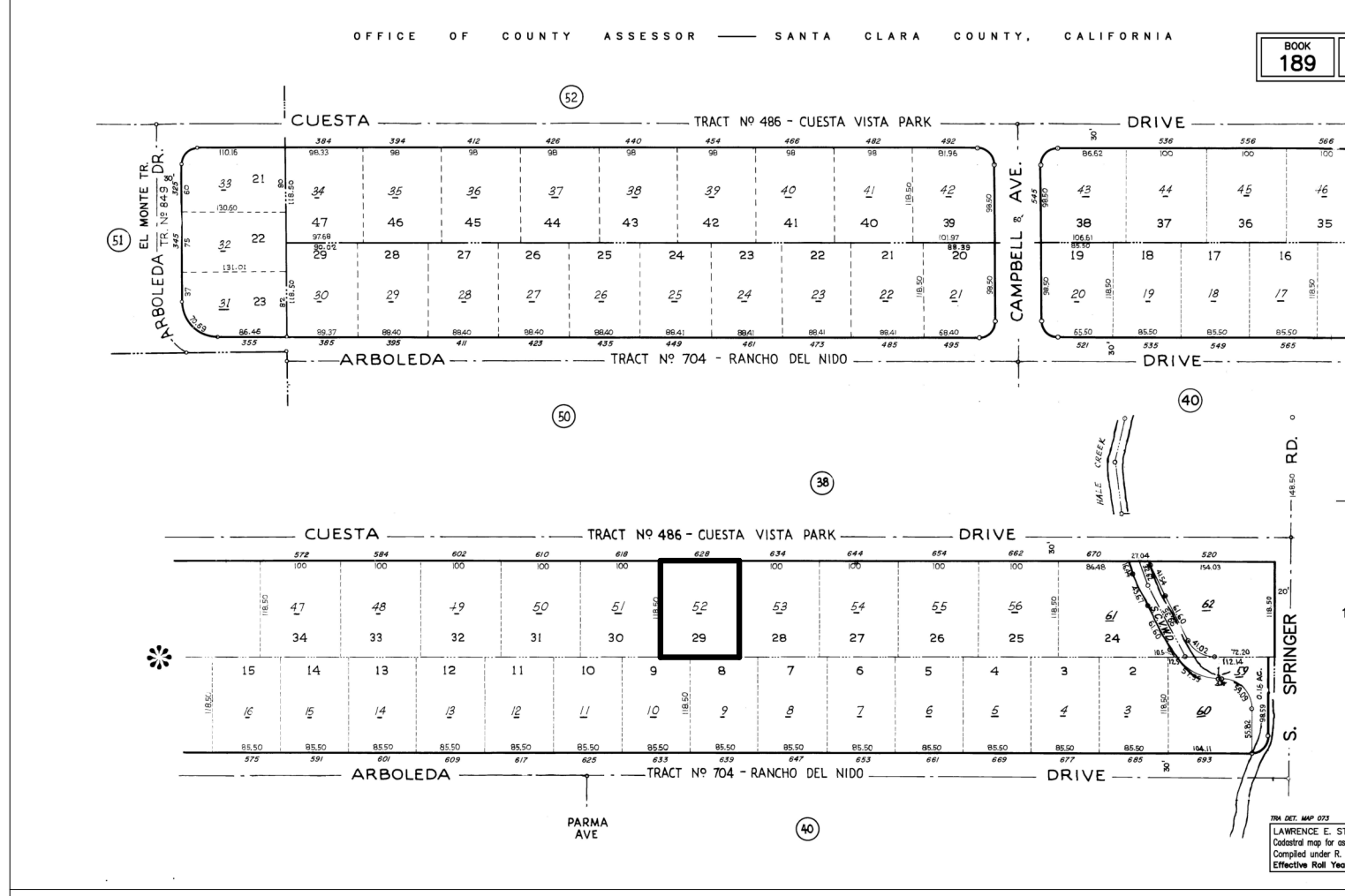
HOME FACTS:	EXISTING	PROPOSED
BEDROOMS:	5	5
BATHROOMS:	2	3.5
STORIES:	2	2

PROJECT DATA

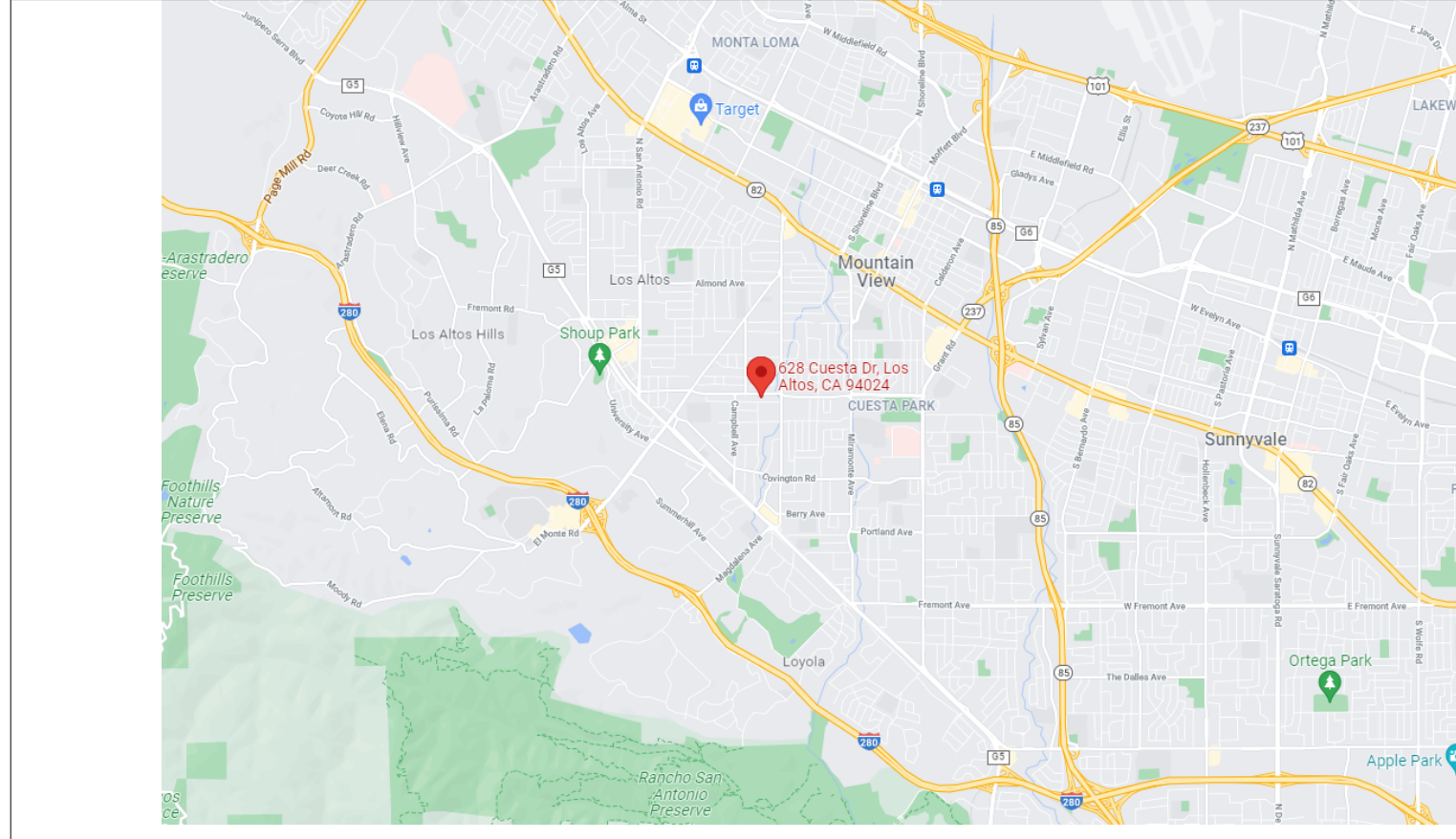
- SCOPE OF WORKS:
 This project includes:
 1. Redesign living room / kitchen / family room layout.
 2. Add a new addition on level 2. Redesign level 2 layout to add a new master bedroom suite.
 3. Change two one-car garage doors to a two-car garage door.
 4. Convert existing flat roof on level 1 to truss roof system.
 4. Upgrade existing 100A electric panel to 200A.
 5. Install a new AC unit. Replace the existing furnace.
- CODES USED:
 The following codes are currently in effect:
 2019 California Building Code
 2019 California Residential Code
 2019 California Plumbing Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Energy Code
 2019 California Fire Code
 2019 California Existing Building Code
 2018 International Existing Building Code
 Calif. Building Energy Efficiency Standards

GENERAL NOTES

PROJECT INFORMATION



PARCEL MAP



VICINITY MAP

GENERAL NOTES

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,039 square feet (.17 %)	2,065 square feet (.17 %)	3,555 square feet (.30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2,039 sq ft 2nd Flr. 578 sq ft Total: 2,617 sq ft (.22 %)	1st Flr. 2,065 sq ft 2nd Flr. 1,120 sq ft Total: 3,185 sq ft (.26.8 %)	3,935 square feet (.33 %)
SETBACKS:			
Front	25' 10" feet	25' 10" feet	25 feet
Rear	43' 9" feet	43' 9" feet	25 feet
Right side (1 st /2 nd)	21' 2" feet/65' 5" feet	21' 2" feet/57' 3.5" feet	10 feet/17.5 feet
Left side (1 st /2 nd)	10' feet/14' 5.5" feet	10' feet/18' 11.5" feet	10 feet/17.5 feet
HEIGHT:	19'-8" feet	21'-3" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,104 square feet	568 square feet	2,672 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	513 square feet	0 square feet	513 square feet

LOT CALCULATIONS

NET LOT AREA:	11,850 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	734 square feet (.29 %)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	4,686 sq ft
Existing softscape (undisturbed) area:	7,164 sq ft
New softscape (new or replaced landscaping) area:	0 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

PROJECT SUMMARY TABLES

1" = 40'-0" 1

DIZIGN Studio

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 1050 KIELY #3571, SANTA CLARA, CA 95055
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 408-669-7945

NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
C	PLANNING PERMIT RESUBMITTAL #3	2/20/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

COVER SHEET

Project Number **12125**
 Date **4/5/2022**

A-1

Scale **As indicated**

DIZIGN Studio

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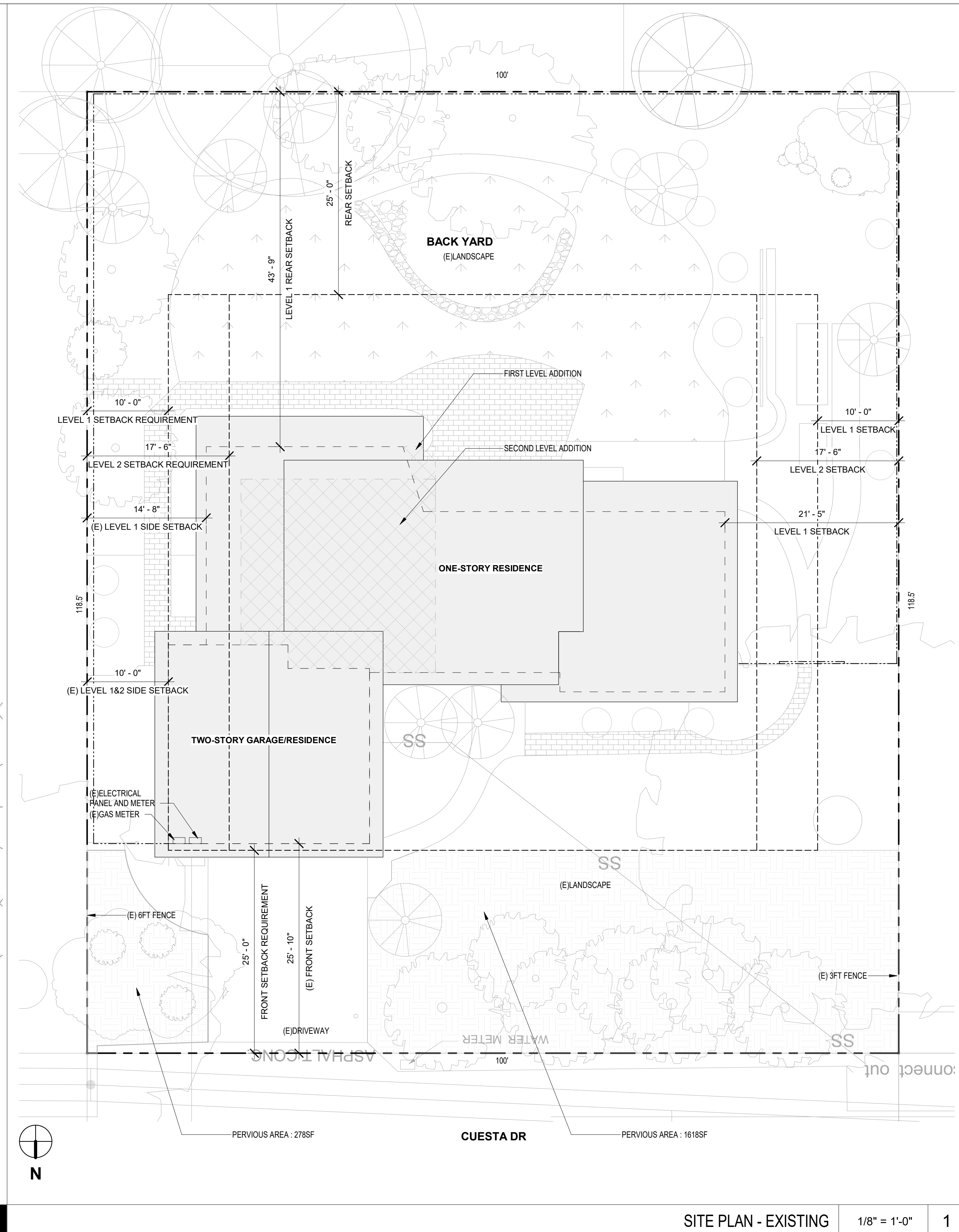
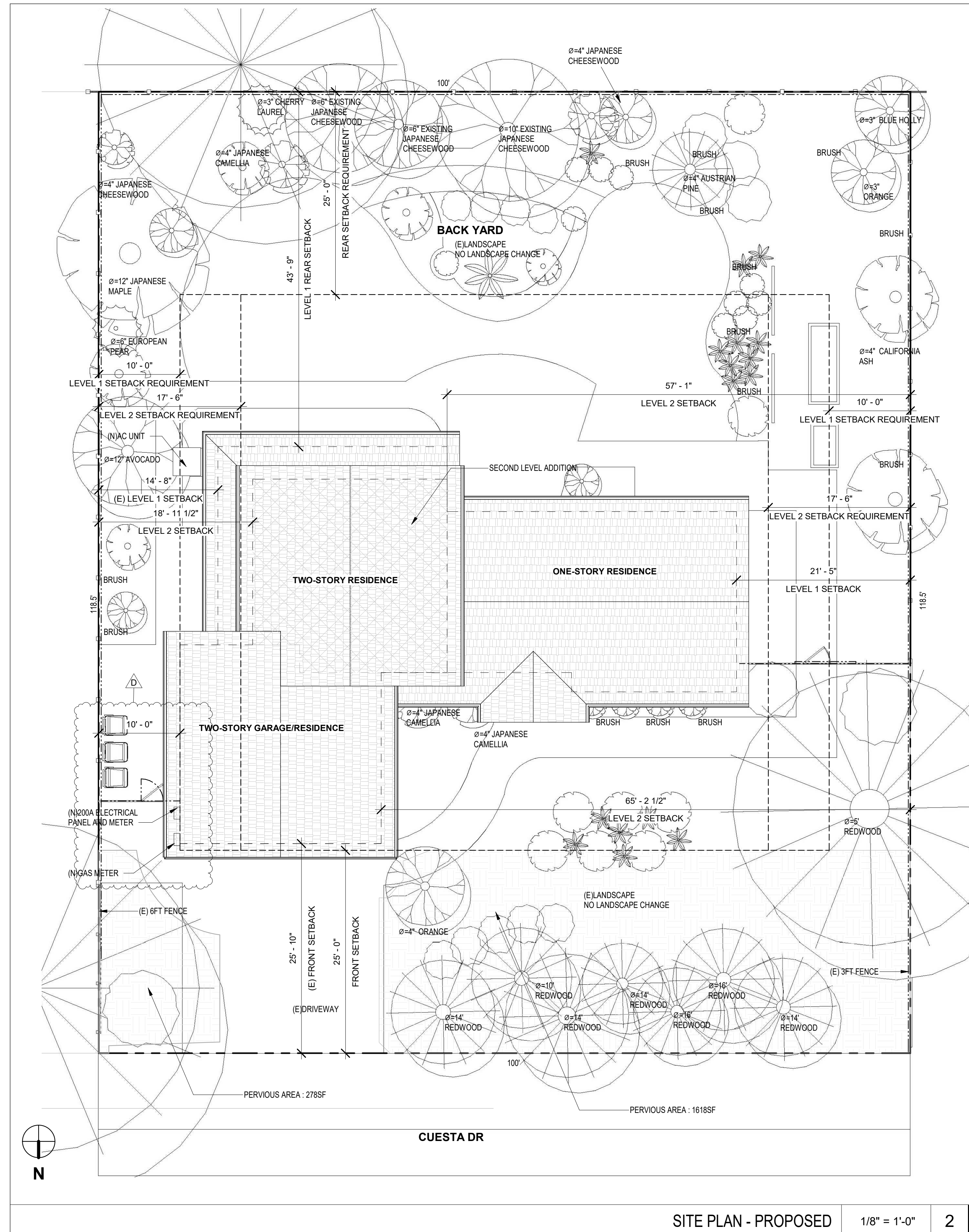
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING / PROPOSED SITE PLAN

Project Number 12125
 Date 4/5/2022

A-1.1

Scale As indicated



SITE PLAN NOTES:

1. THE SITE IS BASICALLY FLAT. EXISTING TOPOGRAPHY, SITE FEATURES, & PROPERTY LINE BOUNDARY INFORMATION IS BASED ON INFORMATION FROM LAND SURVEYS
2. PROJECT REQUIRES MINIMAL GRADING
3. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
4. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL NEW EAVES. DOWNSPOUTS TO GO TO NEW OR EXISTING DRAINS.
5. PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.
6. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
7. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
8. TREE PROTECTION SHALL BE NO LESS THAN 5'-0" HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQ'D.
9. CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.
10. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
11. LANDING LENGTH NEED NOT EXCEED 36" CBC 1008.1.6, WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.

12. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. NUMBERS SHALL CONTRAST BACKGROUND COLOR, BE ARABIC NUMBERS ALPHABETICAL LETTERS, MIN. 4-INCHES HIGH, 1/2-INCH WIDE, WHEN ACCESS IS BY MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE PER CFC SEC 505.1
13. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
14. CGBSC 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
15. CGBSC 4.304.1 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.



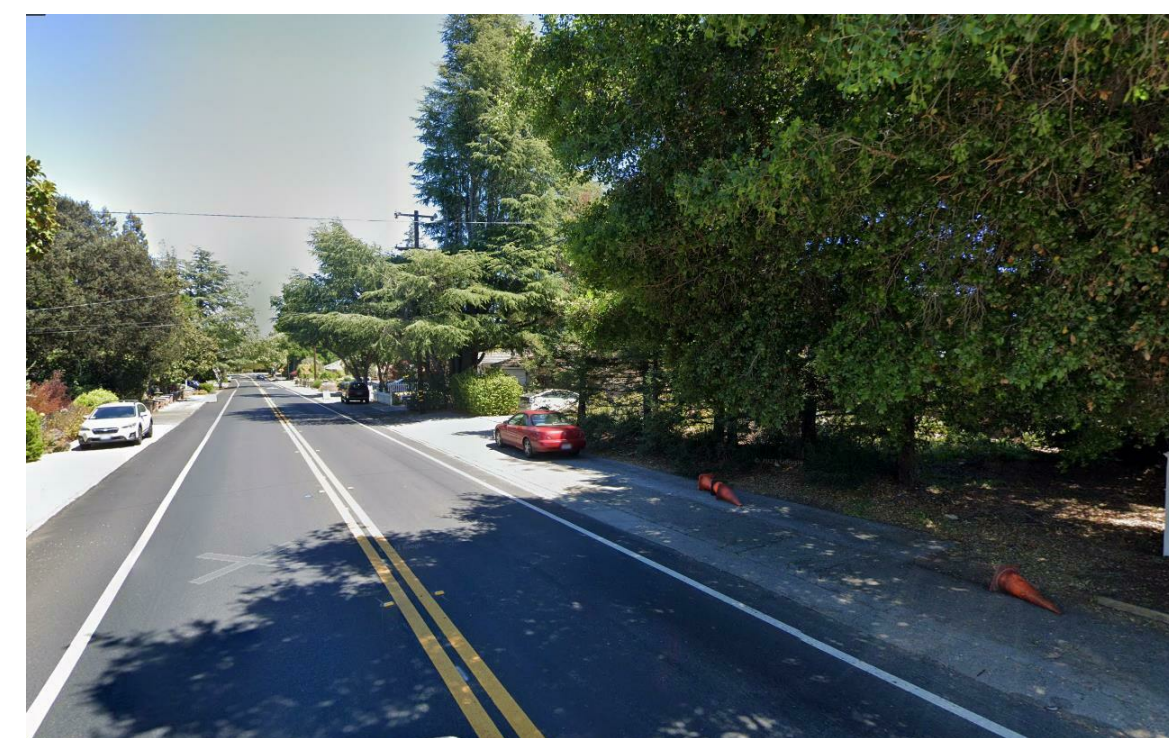
A



D



B



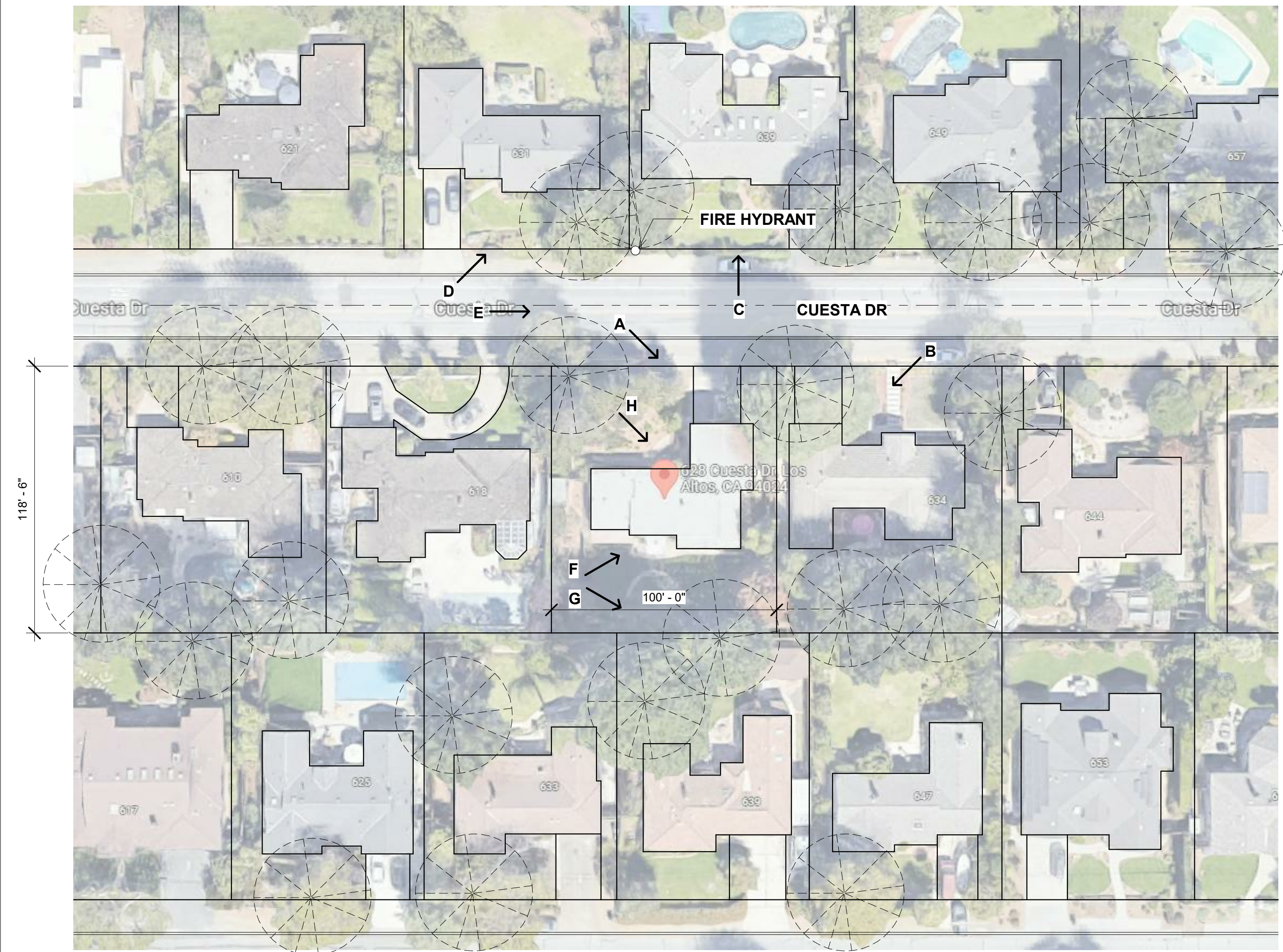
E



C



F



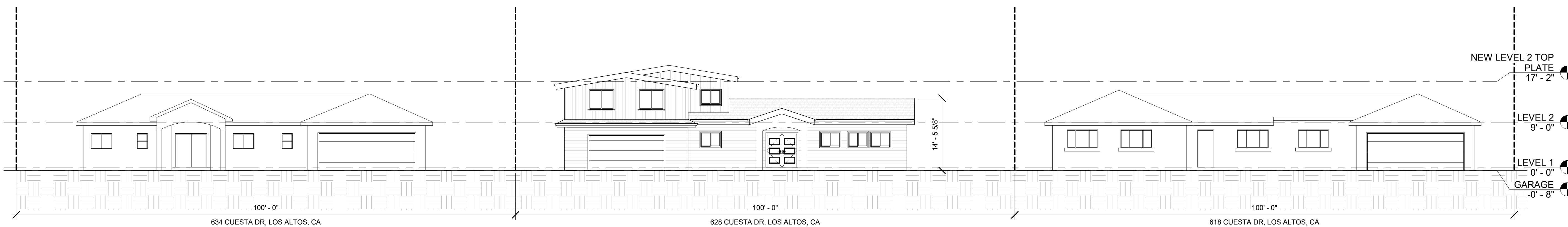
HEIGHBORHOOD CONTEXT MAP 1" = 40'-0" 1



G



H



LANDSCAPE PLAN 1

STREET SCAPE 3/32" = 1'-0" 2

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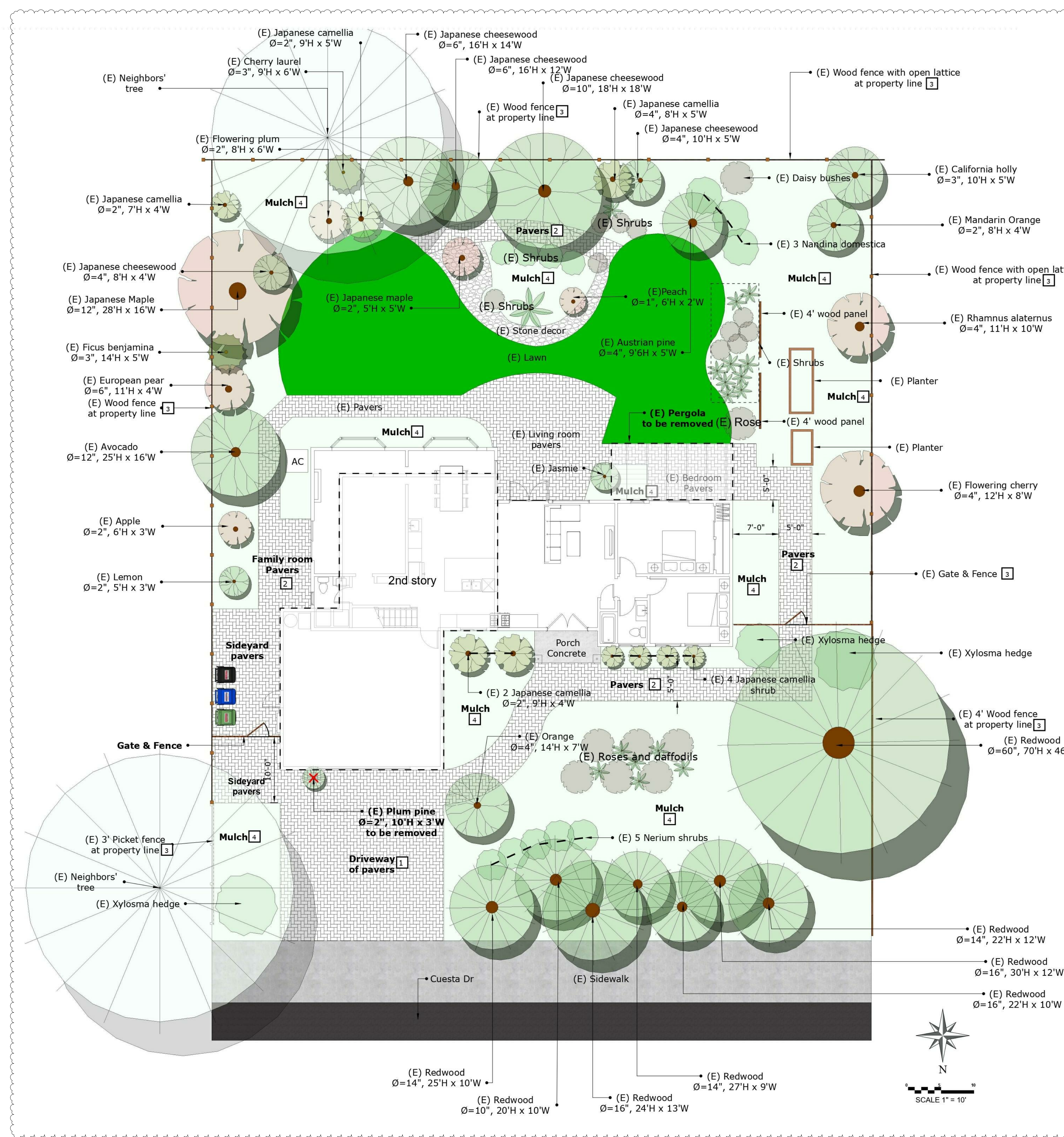
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021

SITE CONTEXT

Project Number 12125
Date 4/5/2022

A-1.2

Scale As indicated












GENERAL LEGEND

- 1 NEW DRIVEWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVES STYLE.
- 2 NEW WALKWAY PAVERS AND FAMILY ROOM PAVERS TO MATCH EXISTING LIVING ROOM PAVES STYLE.
- 3 EXISTING FENCE AND GATES TO REMAIN.
- 4 MULCH TO COVER PLANTING AREA.
- (E) EXISTING LANDSCAPING FEATURES.

LANDSCAPE SCOPE OF WORK

1. NO CHANGE TO EXISTING LAWN AND TREES EXCEPT THE PLUM PINE TREE TO BE REMOVED IN FRONTYARD.
2. NO CHANGE TO EXISTING IRRIGATION SYSTEM.
3. NO CHANGE TO EXISTING ROSES AND SHRUBS.
4. HARDSCAPE WORK INCLUDING NEW DRIVEWAY PAVERS, NEW FAMILY ROOM PAVERS AND NEW WALKWAY PAVERS TO MATCH EXISTING LIVING ROOM PAVERS STYLE.
5. REMOVE EXISTING BACKYARD PERGOLA.
6. REPAIR BROKEN FENCES AND GATES.

EXISTING SCREENING TREES DETAILS

		
Redwood 8 in frontyard to remain	Japanese cheesewood 5 in backyard to remain 20'H x 18'W at maturity Growth rate: 1-2'/year	Austrian pine 1 in backyard to remain 50'H x 30'W at maturity Growth rate: 1-1.5'/year
		
Cherry laurel 1 in backyard to remain 20'H x 18'W at maturity Growth rate: 2'/year	Avocado 1 in backyard to remain 25'H x 18'W at maturity Growth rate: 2'/year	Ficus benjamina 1 in backyard to remain 30'H x 16'W at maturity Growth rate: 2'/year
		
Japanese camellia 2 in frontyard and 3 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'/year	Orange 1 in frontyard and 1 in backyard to remain 25'H x 18'W at maturity Growth rate: 1'/year	California holly 1 in backyard to remain 12'H x 8'W at maturity Growth rate: 1'6'/year

SURFACE CHART

FRONTYARD HARDSCAPE (PAVERS, PORCH)	1,114 + 48 = 1,162 SF
FRONTYARD PLANTING AREA	2,859 SF
LAWN	1,264 SF
BACKYARD HARDSCAPE AREA (PAVERS, STONE DECOR)	1,229 + 120 = 1,349 SF
BACKYARD PLANTING AREA	3,041 SF

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ADDITION- 628
CUESTA DR**

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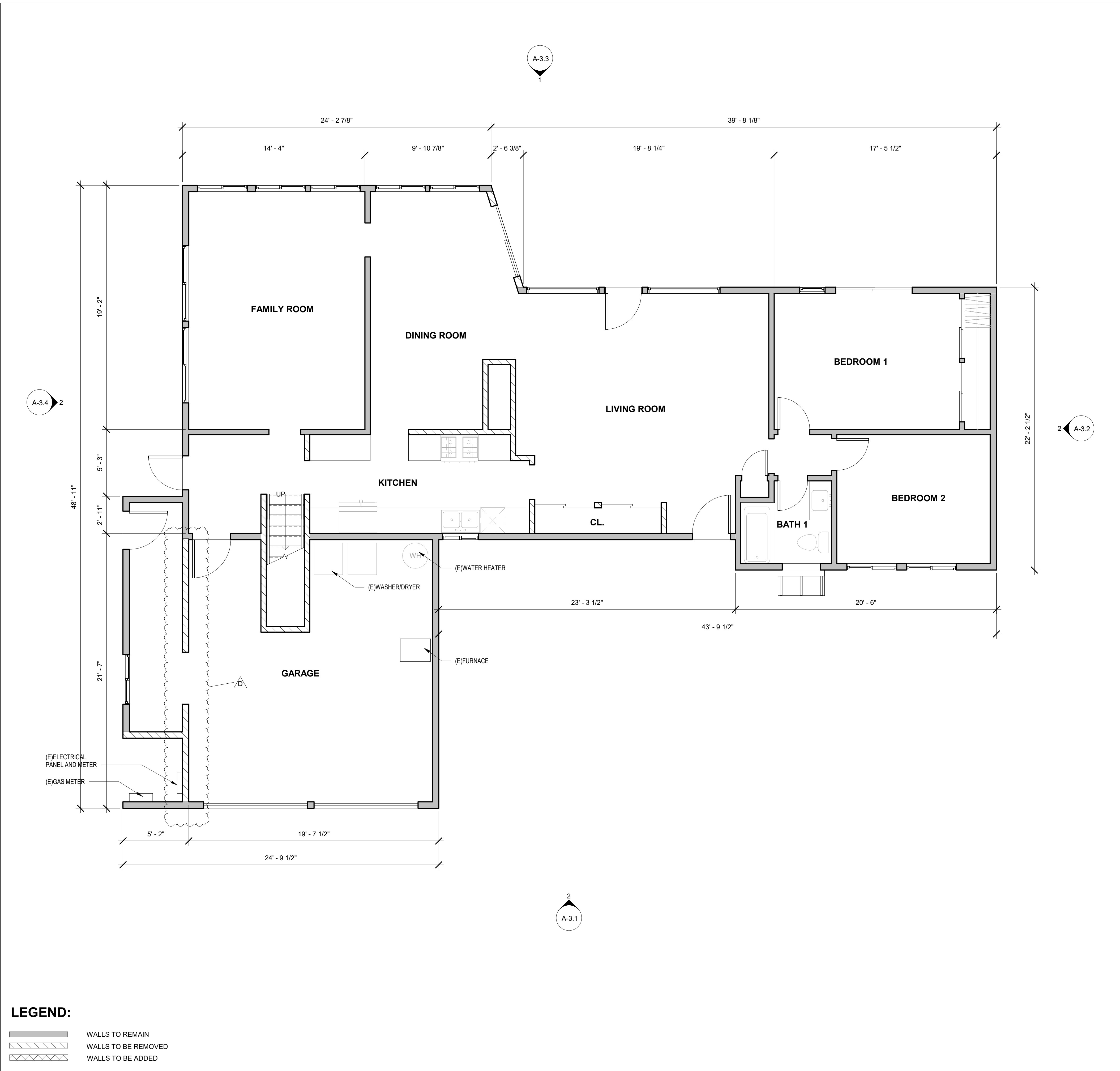
No.	Description	Date
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B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**TREE
PROTECTION
PLAN**

Project Number 12125
Date 4/5/2022

A-1.3

Scale



- DEMOLITION NOTES:**
1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
 2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
 3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
 4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
 5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
 6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
 7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
 8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
 9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
 10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
 11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
 - 1.6 GALLONS PER FLUSH FOR TOILETS
 - 1.0 GALLONS PER FLUSH FOR URINALS
 - 2.5 GPM FOR SHOWERHEAD
 - 2.2 GPM FOR ANY INTERIOR FAUCETS

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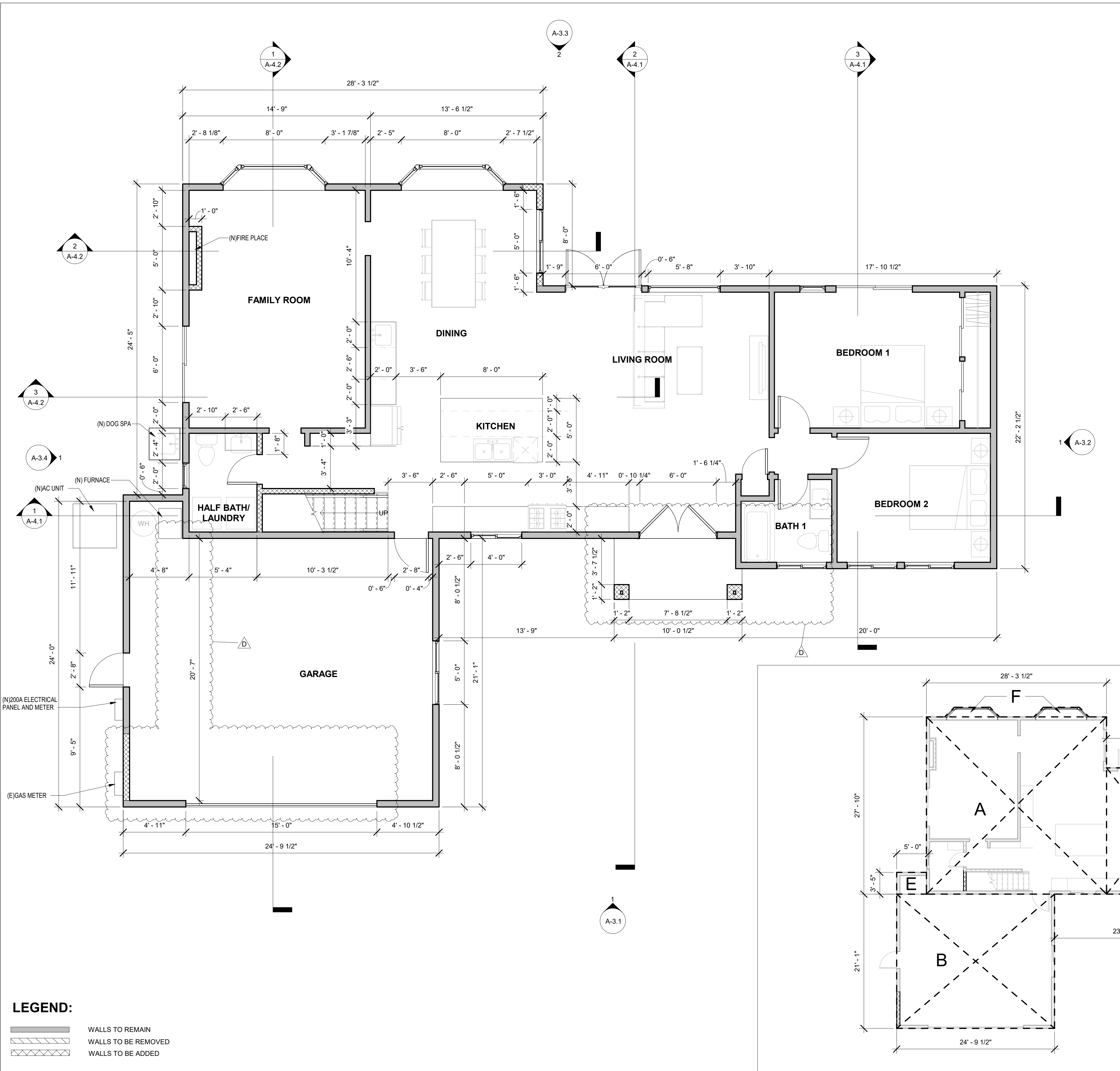
No.	Description	Date
	PLANNING PERMIT	10/6/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**EXISTING +
 DEMO FLOOR
 PLAN - LEVEL 1**

Project Number 12125
 Date 4/5/2022

A-2.1

Scale 1/4" = 1'-0"



PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH/TUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOR-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1" AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTING.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.4.10.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

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NOT FOR CONSTRUCTION

**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

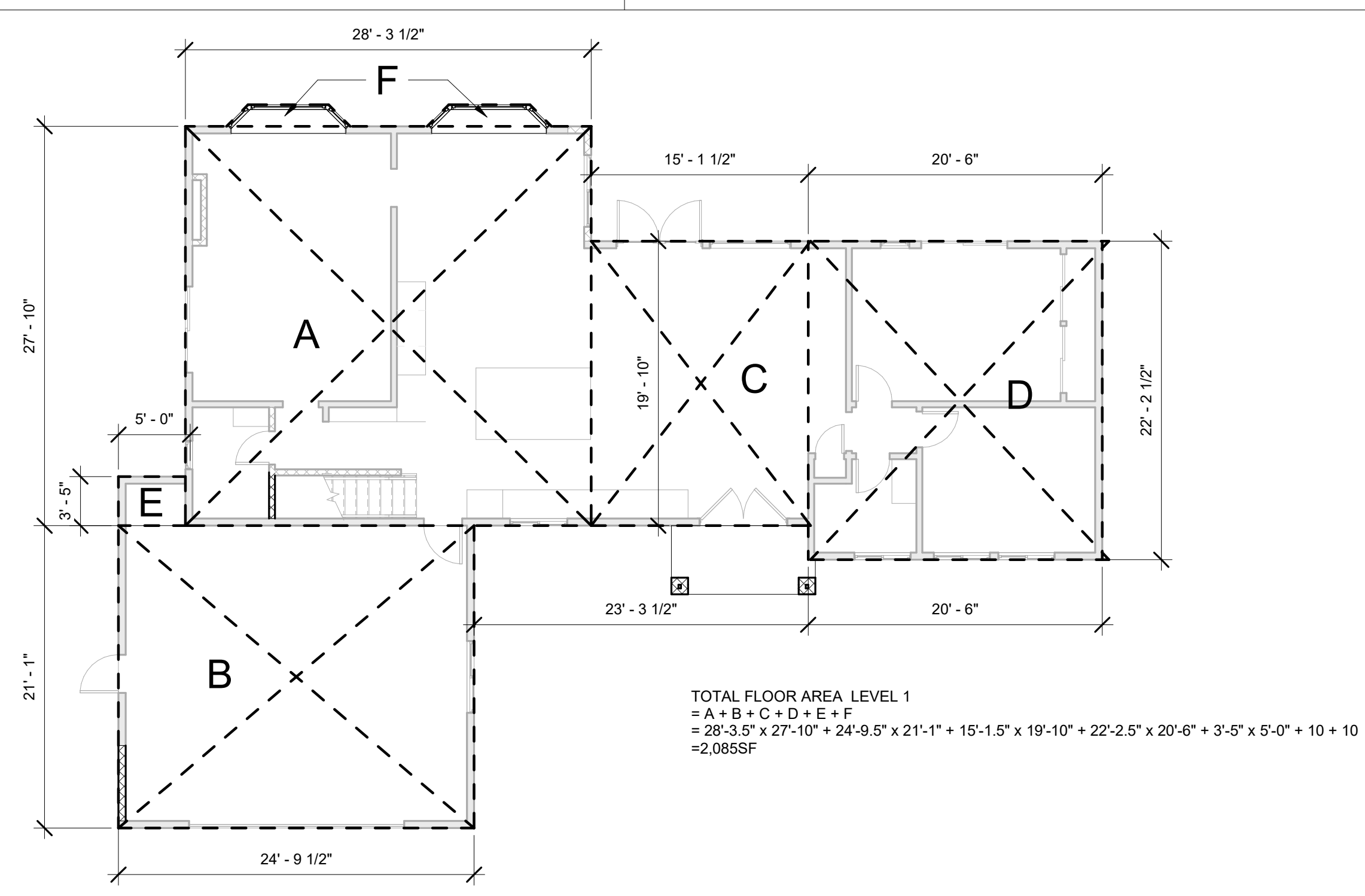
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

PROPOSED FLOOR PLAN - LEVEL 1

Project Number 12125
Date 4/5/2022

A-2.2

Scale As indicated



PROPOSED FLOOR PLAN - LEVEL 1 1/4" = 1'-0" 1

PROPOSED LEVEL 1 FLOOR AREA 1/8" = 1'-0" 2

DEMOLITION NOTES:

1. SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
2. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
3. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
4. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
5. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
6. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
7. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
8. SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
9. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL THE EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.
11. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENTS APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
- 1.6 GALLONS PER FLUSH FOR TOILETS
- 1.0 GALLONS PER FLUSH FOR URINALS
- 2.5 GPM FOR SHOWERHEAD
- 2.2 GPM FOR ANY INTERIOR FAUCETS

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No.	Description	Date
	PLANNING PERMIT	10/6/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

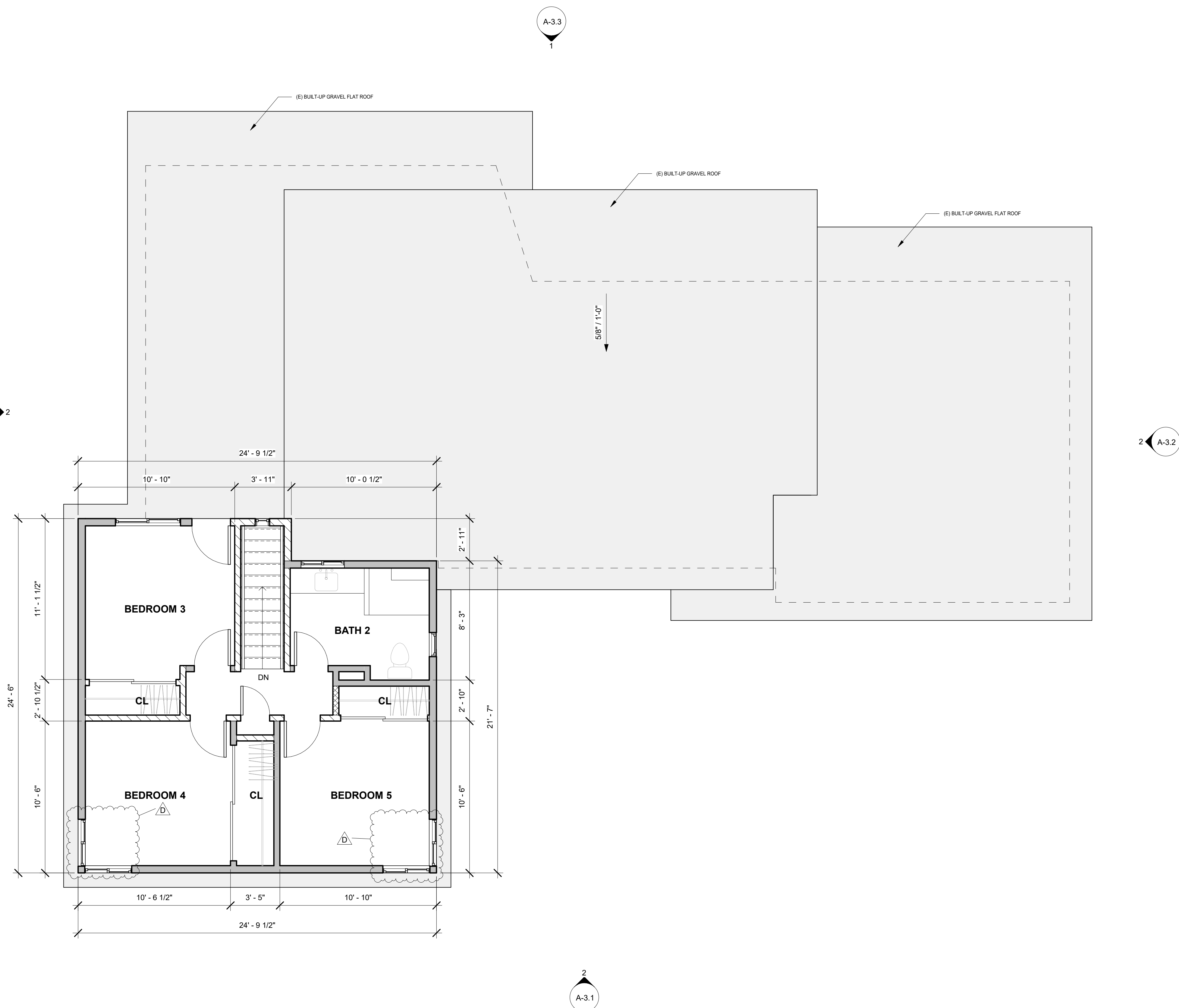
**EXISTING +
DEMO FLOOR
PLAN - LEVEL 2**

Project Number 12125

Date 4/5/2022

A-2.3

Scale 1/4" = 1'-0"



LEGEND:

- WALLS TO REMAIN
- WALLS TO BE REMOVED
- WALLS TO BE ADDED

EXISTING FLOOR PLAN - LEVEL 2

1/4" = 1'-0"

1

PROPOSED FLOOR PLAN GENERAL NOTES:

1. THE LANDING SHALL NOT BE MORE THAN 7'-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1'-1/2" AT DOORS SWINGING OVER THE LANDING.
2. FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
3. ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS WITH MIN. 22" TEMPERED DOOR
4. FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL, AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
5. FIREPLACE SURROUND TO BE NON-COMBUSTIBLE MATERIAL AT LEAST 1' AROUND OPENING @ TOP + SIDES, AND PROTRUDING AT LEAST 2" OUT FROM WALL OR PER MANUFACTURER SPECIFICATIONS.
6. GAS FIREPLACE (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND LISTINGS.
7. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. ALL EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR PER CRC R310
10. CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
11. AT FINAL INSPECTION, A MANUAL COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBCS SECTION 4.4.10.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW 'E' DUAL GLAZED. INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
5. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQUIRED PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
6. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
7. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
8. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
9. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
10. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC...
11. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
12. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
13. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

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FOR CITY APPROVAL STAMP

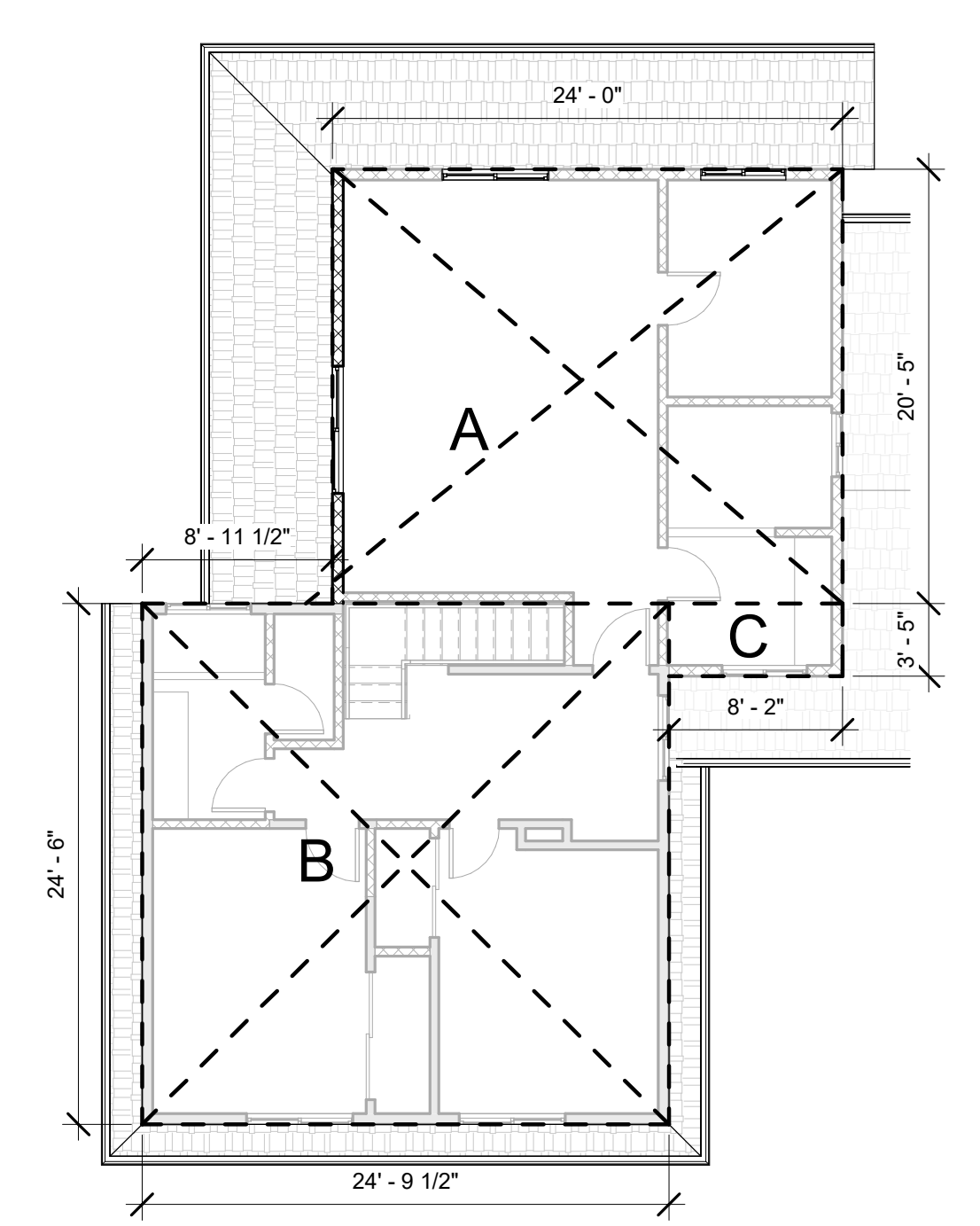
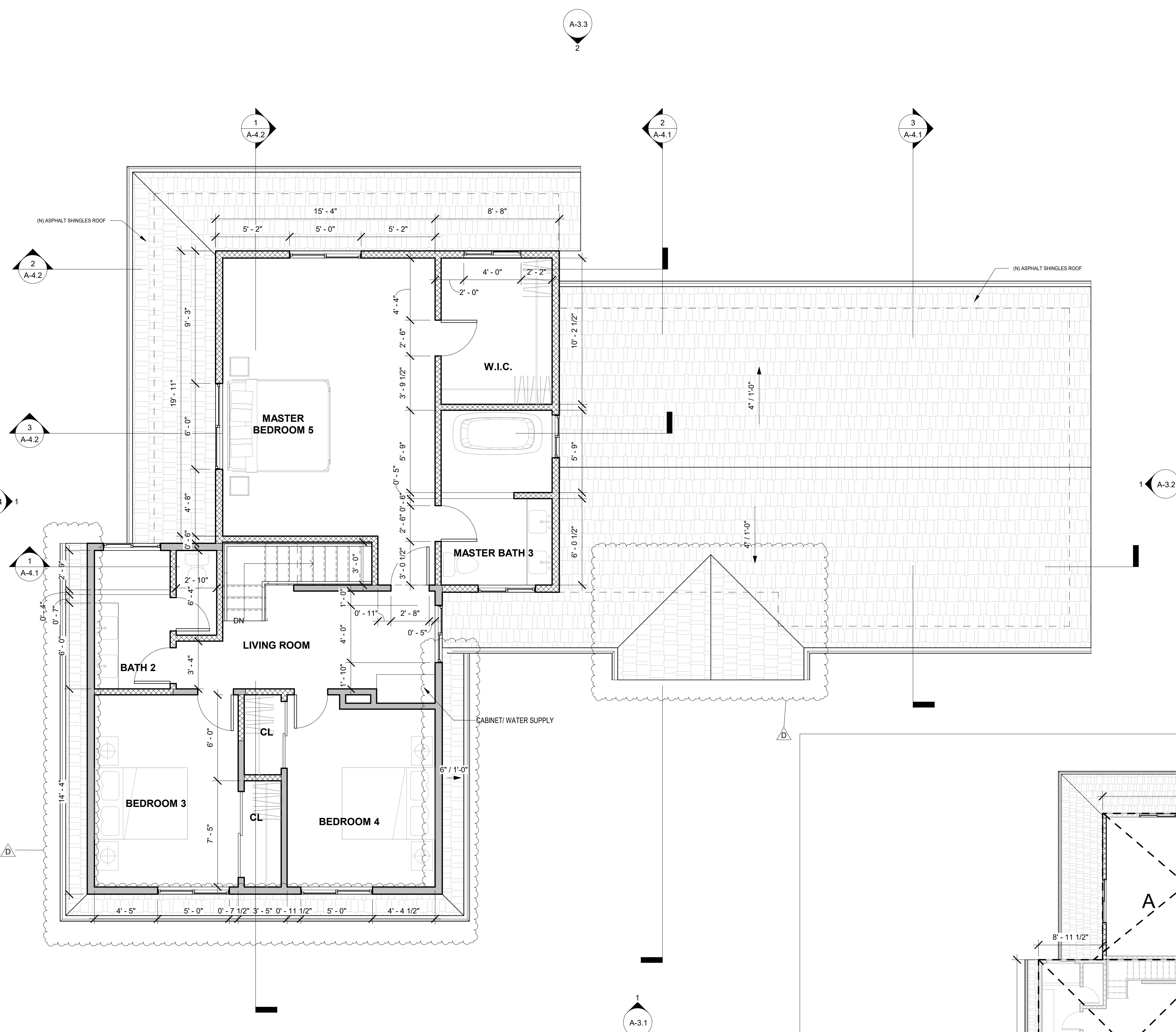
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**PROPOSED
FLOOR PLAN -
LEVEL 2**

Project Number 12125
Date 4/5/2022

A-2.4

Scale As indicated



TOTAL FLOOR AREA LEVEL 2
= A + B + C
= 24' x 20'-5" + 24'-9.5" x 24'-6" + 3'-5" x 8'-2"
= 1,120SF

- LEGEND:**
- WALLS TO REMAIN
 - WALLS TO BE REMOVED
 - WALLS TO BE ADDED

PROPOSED FLOOR PLAN - LEVEL 2 1/4" = 1'-0" 1

PROPOSED LEVEL 2 FLOOR AREA 1/8" = 1'-0" 2

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FOR CITY APPROVAL STAMP

No.	Description	Date
	PLANNING PERMIT	10/6/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

**EXISTING +
 DEMO /
 PROPOSED
 FLOOR PLAN -
 ROOF**

Project Number 12125
 Date 4/5/2022

A-2.5

Scale 1/4" = 1'-0"

DEMOLITION NOTES:

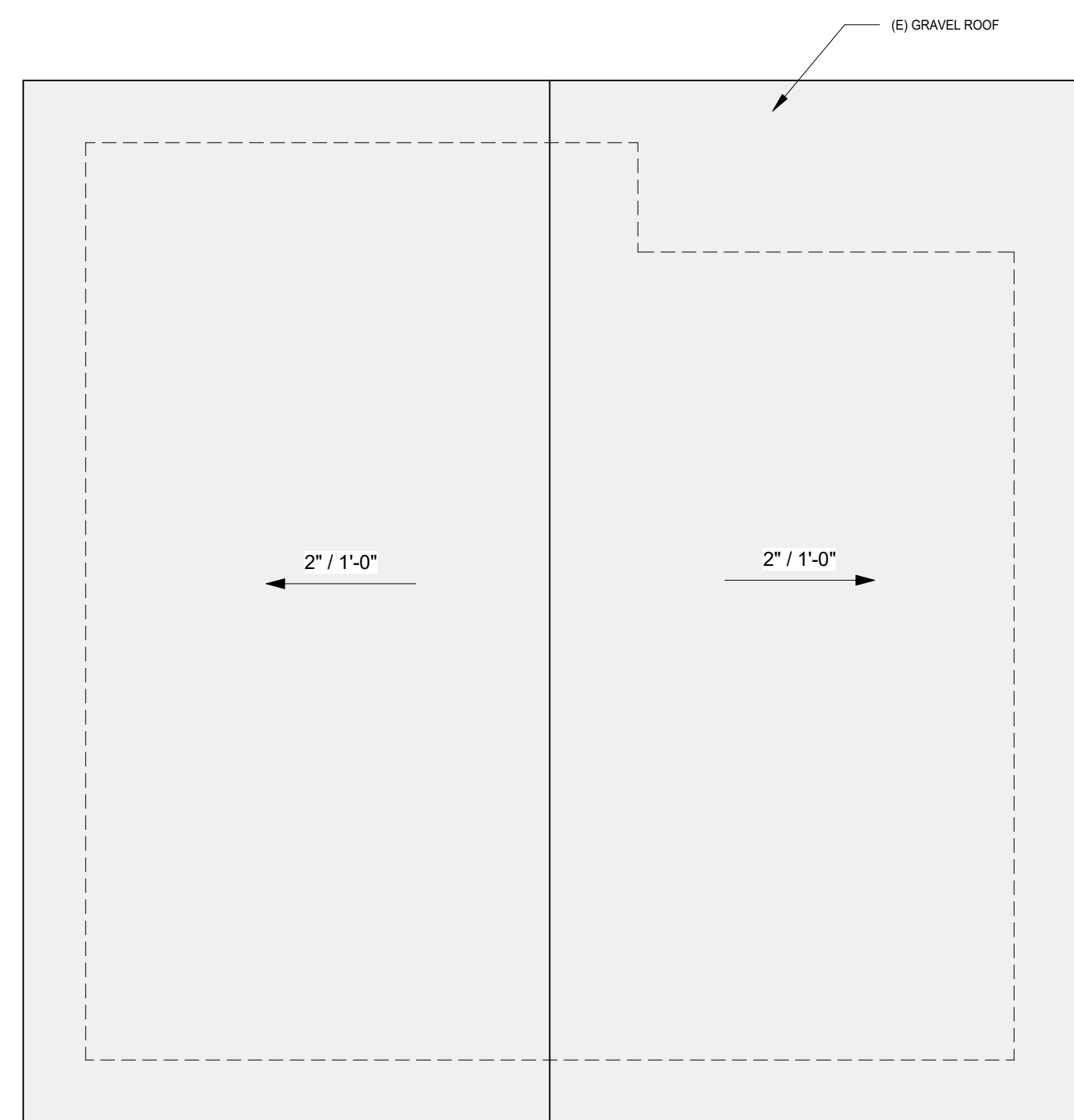
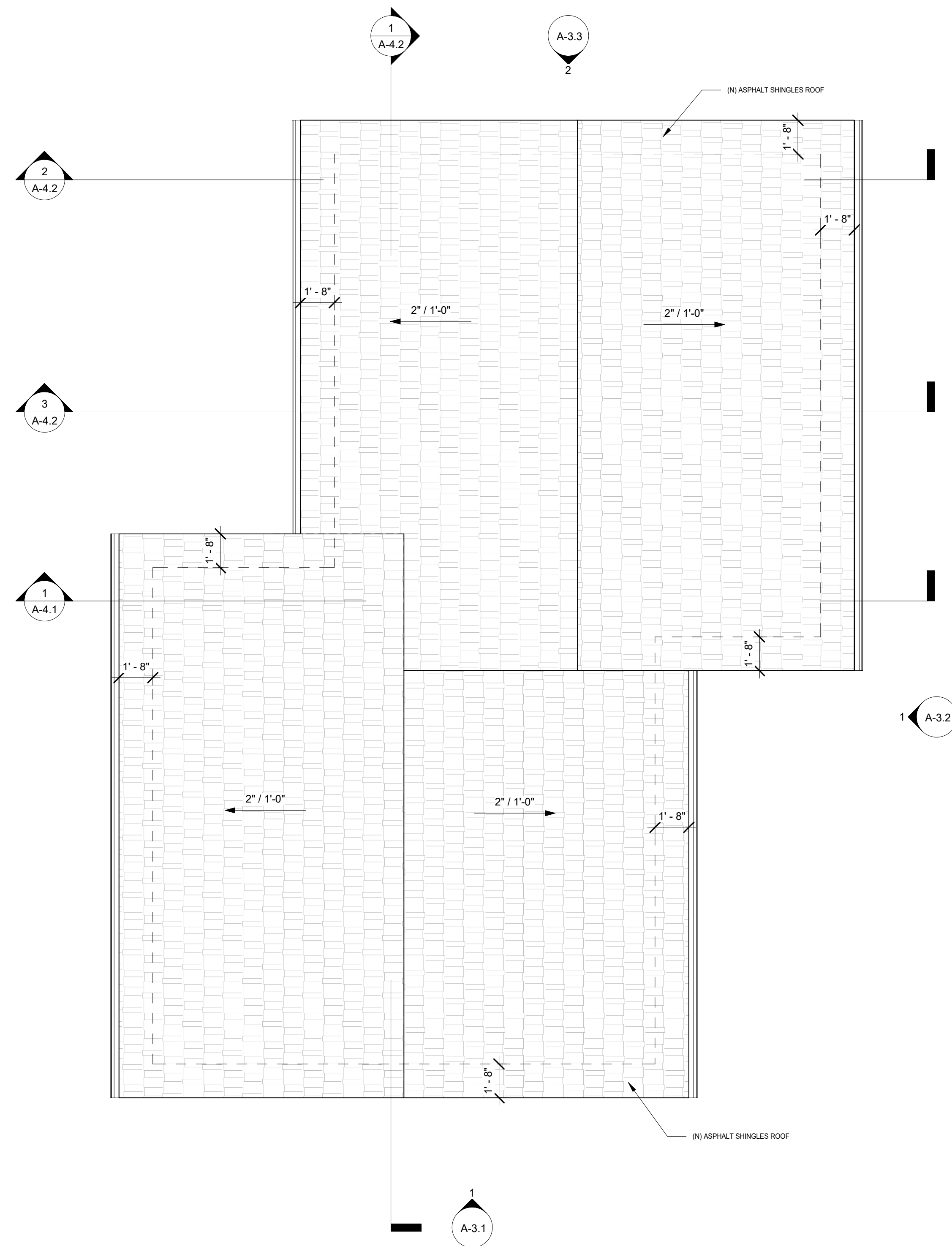
- SEE WINDOW AND DOOR SCHEDULES FOR NEW WINDOW AND DOOR TYPES AND LOCATIONS. VERIFY ROUGH OPENINGS IN FIELD.
- REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO MODIFICATION OR REMOVAL OF ROOF.
- REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS AND POST TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
- REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING, CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN CONSTRUCTION IS COMPLETE.
- PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
- ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
- REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
- SEE ELECTRICAL PLANS FOR LOCATION OF NEW LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUITS AND CONDUCTORS.
- ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITION/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
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- 1.6 GALLONS PER FLUSH FOR TOILETS
 1.0 GALLONS PER FLUSH FOR URINALS
 2.5 GPM FOR SHOWERHEAD
 2.2 GPM FOR ANY INTERIOR FAUCETS

PROPOSED FLOOR PLAN GENERAL NOTES:

- THE LANDING SHALL NOT BE MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
- FOR SHOWERS AND TUB/SHOWER WALLS A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8
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- FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHALL BE ROUGHED IN ABOVE THE FLOOR AND SHALL BE PERMITTED TO BE VENTED BY EXTENDING THE VENT AS HIGH AS POSSIBLE, BUT NOT LESS THAN THE DRAIN BOARD AND THEN RETURNING IT DOWNWARD AND CONNECTING IT TO THE HORIZONTAL SINK DRAIN IMMEDIATELY DOWNSTREAM FROM THE VERTICAL FIXTURE DRAIN. THE RETURN VENT SHALL BE CONNECTED TO THE HORIZONTAL DRAIN THROUGH A WYE-BRANCH FITTING AND SHALL IN ADDITION, BE PROVIDED WITH A FOOT VENT TAKEN OFF THE VERTICAL FIXTURE VENT BY MEANS OF A WYE BRANCH IMMEDIATELY BELOW THE FLOOR AND EXTENDING TO THE NEAREST PARTITION AND THEN THROUGH THE ROOF TO THE OPEN AIR OR SHALL BE PERMITTED TO BE CONNECTED TO OTHER VENTS AT A POINT NOT LESS THAN 6 INCHES (152 MM) ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURES SERVED. DRAINAGE FITTINGS SHALL BE USED ON THE VENT BELOW THE FLOOR LEVEL AND A SLOPE OF NOT LESS THAN 1/4 INCH PER FOOT. CPC SECTION 909
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- U-FACOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACOR AND S.H.G.C. INFORMATION
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- CONTRACTOR TO ENSURE ALL APPROPRIATE WATER HEATER STRAPPING ARE INSTALLED PER CPC 508.2 AND INSULATION WITHIN THE FIRST 5-FEET, AND REQUIRED INSULATION ARE INSTALLED
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGSBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.

DOOR & WINDOW NOTES:

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 - GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
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- ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.



EXISTING FLOOR PLAN - ROOF 1/4" = 1'-0" 1

PROPOSED FLOOR PLAN - ROOF 1/4" = 1'-0" 2

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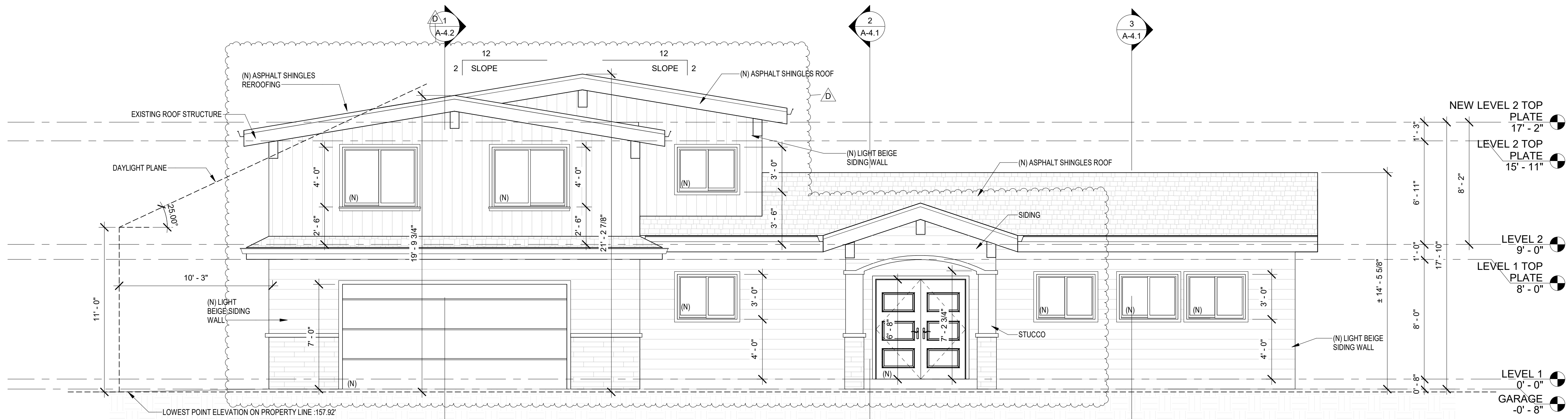
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EXISTING / PROPOSED ELEVATIONS

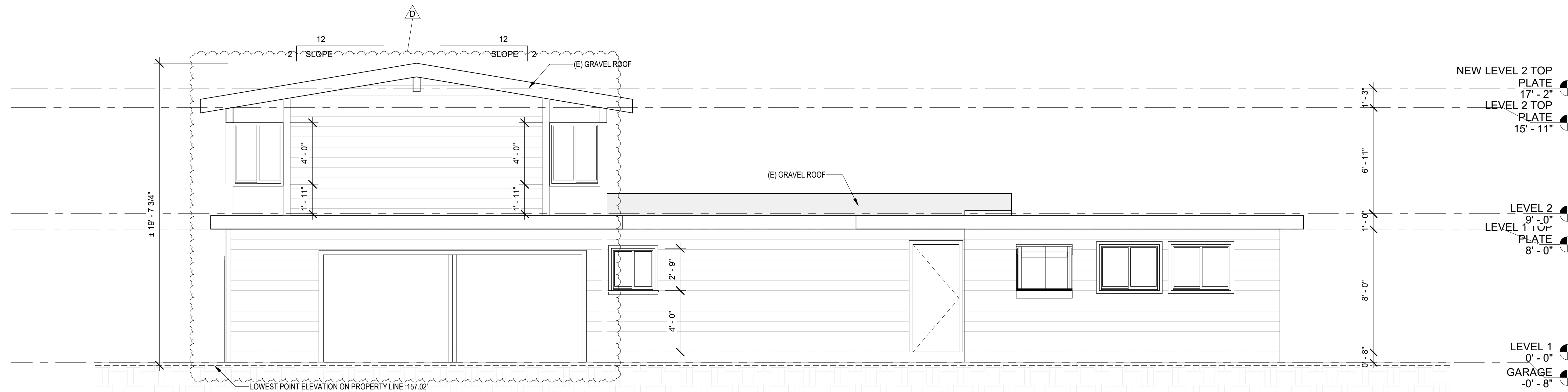
Project Number 12125
Date 4/5/2022

A-3.1

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- NORTH 1/4" = 1'-0" 1



EXISTING ELEVATION- NORTH 1/4" = 1'-0" 2

GENERAL NOTES:

1. ROOFING MATERIAL TO BE CLASS "A"
2. FOUNDATION VENT CALCS. OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 (SPCB)
4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR, SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS.
12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

ELEVATION NOTES:

1. ROOFING TO BE HIGH DEFINITION COMPOSITION SHINGLES. MINIMUM FIRE RATED CLASS A
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2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
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 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
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DIZIGN Studio

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NOT FOR CONSTRUCTION

**LI RESIDENCE
ADDITION- 628
CUESTA DR**

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

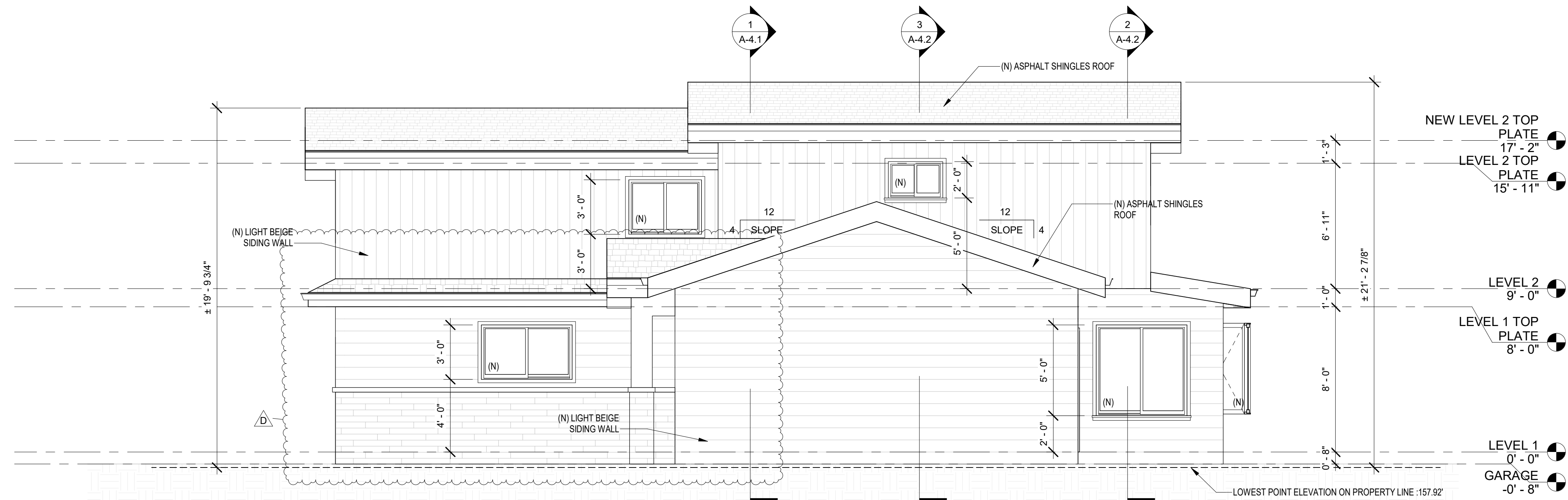
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

**EXISTING /
PROPOSED
ELEVATIONS**

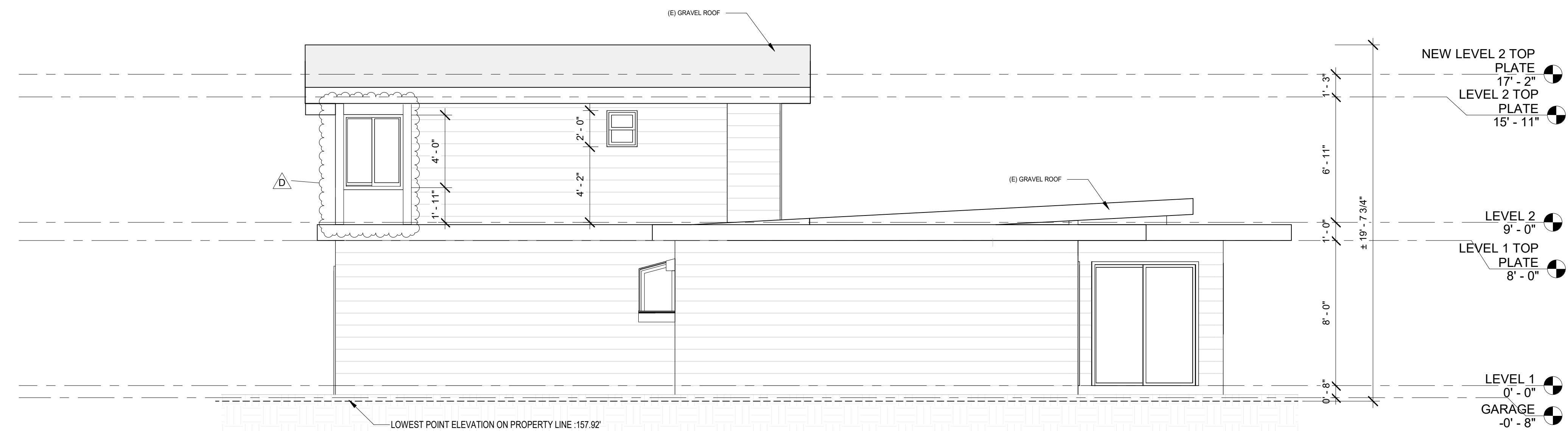
Project Number 12125
Date 4/5/2022

A-3.2

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- WEST 1/4" = 1'-0" 1



EXISTING ELEVATION- WEST 1/4" = 1'-0" 2

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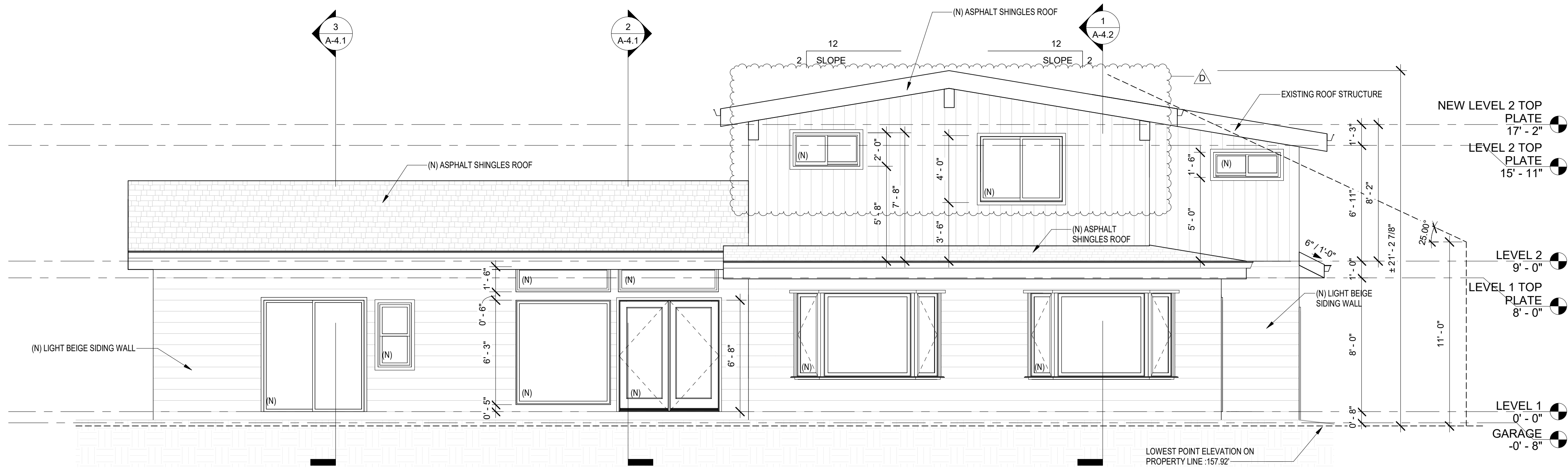
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING /
PROPOSED
ELEVATIONS

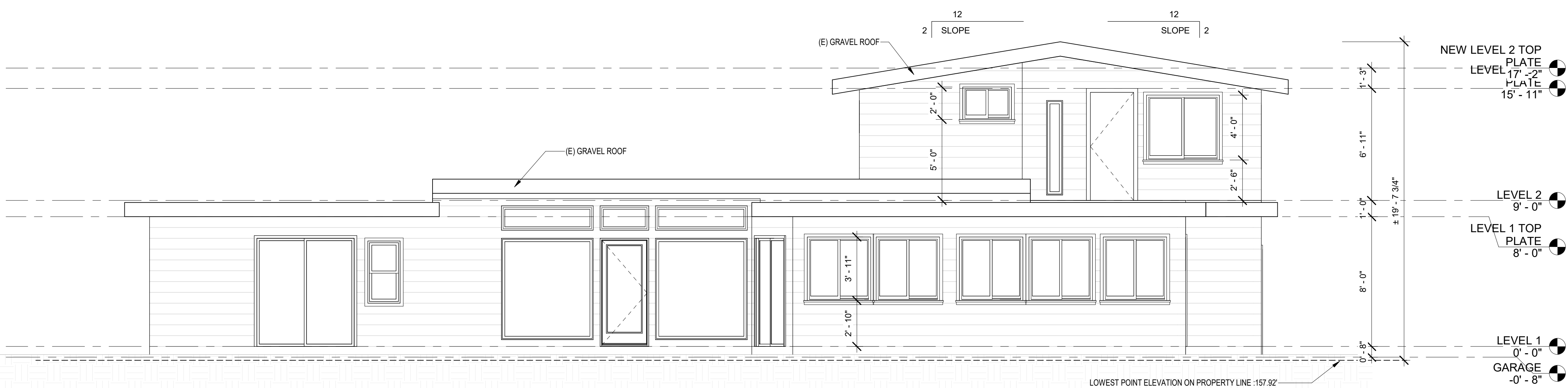
Project Number	12125
Date	4/5/2022

A-3.3

Scale 1/4" = 1'-0"



PROPOSED ELEVATION- SOUTH 1/4" = 1'-0" 2



EXISTING ELEVATION- SOUTH 1/4" = 1'-0" 1

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7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
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3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
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 - B. ALL SHOWERS AND BATH TUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
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NOT FOR CONSTRUCTION

LI RESIDENCE ADDITION- 628 CUESTA DR

OWNER : Yun Li

628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

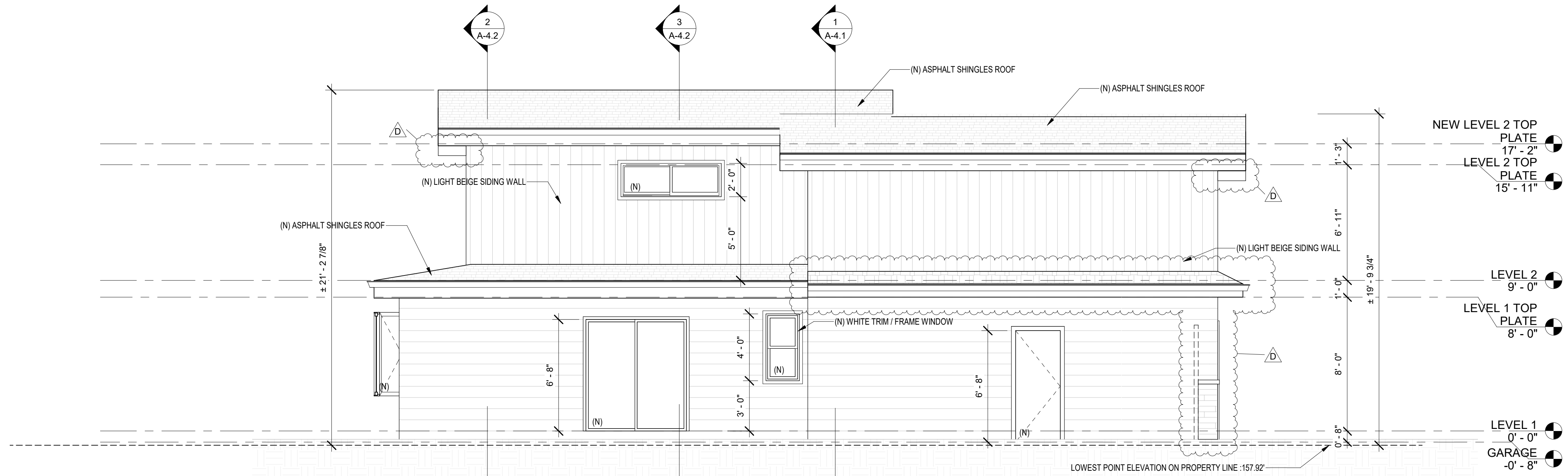
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

EXISTING / PROPOSED ELEVATIONS

Project Number 12125
 Date 4/5/2022

A-3.4

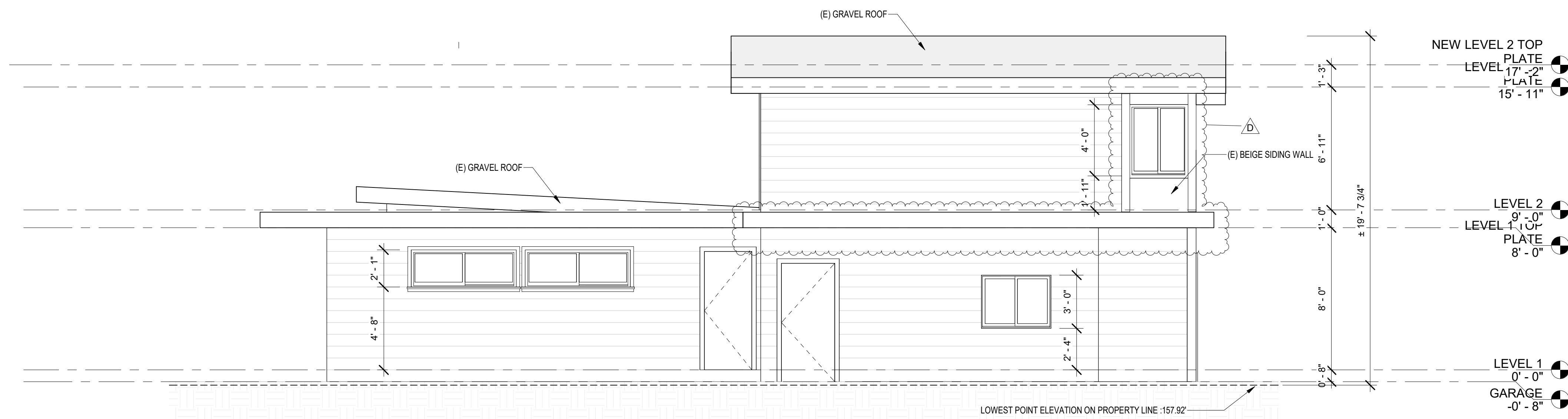
Scale 1/4" = 1'-0"



PROPOSED ELEVATION- EAST

1/4" = 1'-0"

1



EXISTING ELEVATION- EAST

1/4" = 1'-0"

2

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DOOR & WINDOW NOTES:

1. ALL WINDOWS AND DOORS TO BE LOW E DUAL GLAZED, INTERIOR GLAZING TO BE TEMPERED U.N.O.
2. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EMERGENCY EGRESS WINDOW (OR DOOR) WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET, WITH A 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM FROM FINISH FLOOR TO TOP OF FINISH SILL. SEE PROPOSED PLANS FOR WINDOW AND DOOR SIZES AND EGRESS WINDOW LOCATIONS
3. PROVIDE TEMPERED GLASS IN THE FOLLOWING AREAS AS REQ'D PER CRC:
 - A. ALL INGRESS AND EGRESS DOORS.
 - B. ALL SHOWERS AND BATHTUB ENCLOSURE DOORS AND WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE
 - C. GLAZING WITHIN 12" OF ANY DOOR'S VERTICAL EDGE WHERE THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - D. ANY GLAZING WHERE THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR WHERE ONE OR MORE WALKING SURFACE IS WITHIN 36" HORIZONTAL
 - E. GLAZING WITHIN A 24" ARC EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 - F. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD IN ANY DIRECTION WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
4. PROVIDE ALL EXTERIOR DOORS WITH FULL WEATHER-STRIPPING. PROVIDE ALL EXTERIOR DOORS (EXCEPT GARAGE O.H.) WITH METAL THRESHOLD IN BED OF SEALANT.
5. UNDERCUT ALL DOORS TO CLOSETS AND LAUNDRY ROOMS TO FACILITATE VENTILATION.
6. VERIFY ALL DOOR IN-, OUT-, RIGHT-HAND, LEFT-HAND SWINGS AND WINDOW OPERATIONS AT FLOOR PLANS AND BUILDING ELEVATIONS.
7. VERIFY ALL OUTSIDE FRAME AND ROUGH OPENING DIMENSIONS WITH MANUFACTURE'S SPECIFICATIONS.
8. SEE TITLE-24 REPORT FOR ADDITIONAL DOOR & WINDOW INFORMATION INCLUDING, BUT NOT LIMITED TO, SHADING COEFFICIENTS, U-FACTORS, ETC.
9. TEMPORARY LABEL MUST SHOW THE U-FACTOR AND SHGC, FOR EACH RATED WINDOW. THE LABEL MUST ALSO SHOW THAT THE WINDOW MEETS THE AIR INFILTRATION CRITERIA. THE TEMPORARY LABEL MUST NOT BE REMOVED BEFORE INSTALLATION & INSPECTION BY THE CITY INSPECTOR.
10. THE PERMANENT LABEL MUST AS A MINIMUM IDENTIFY THE CERTIFYING ORGANIZATION AND HAVE A NUMBER OR A CODE TO ALLOW TRACKING BACK TO THE ORIGINAL INFORMATION ON FILE WITH THE CERTIFYING ORGANIZATION. THE PERMANENT LABEL CAN BE INSCRIBED ON THE SPACE, ETCHED ON THE GLASS, ENGRAVED ON FRAME, OR LOCATED SO AS NOT TO AFFECT AESTHETICS.
11. ALL OPERABLE WINDOWS TO HAVE BUG SCREENS.

DIZIGN Studio

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 1050 KIELY #3571, SANTA CLARA, CA 95055
 JENNYLI7945@GMAIL.COM
 408-669-7945

NOT FOR CONSTRUCTION

**LI RESIDENCE
 ADDITION- 628
 CUESTA DR**

OWNER : Yun Li
 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

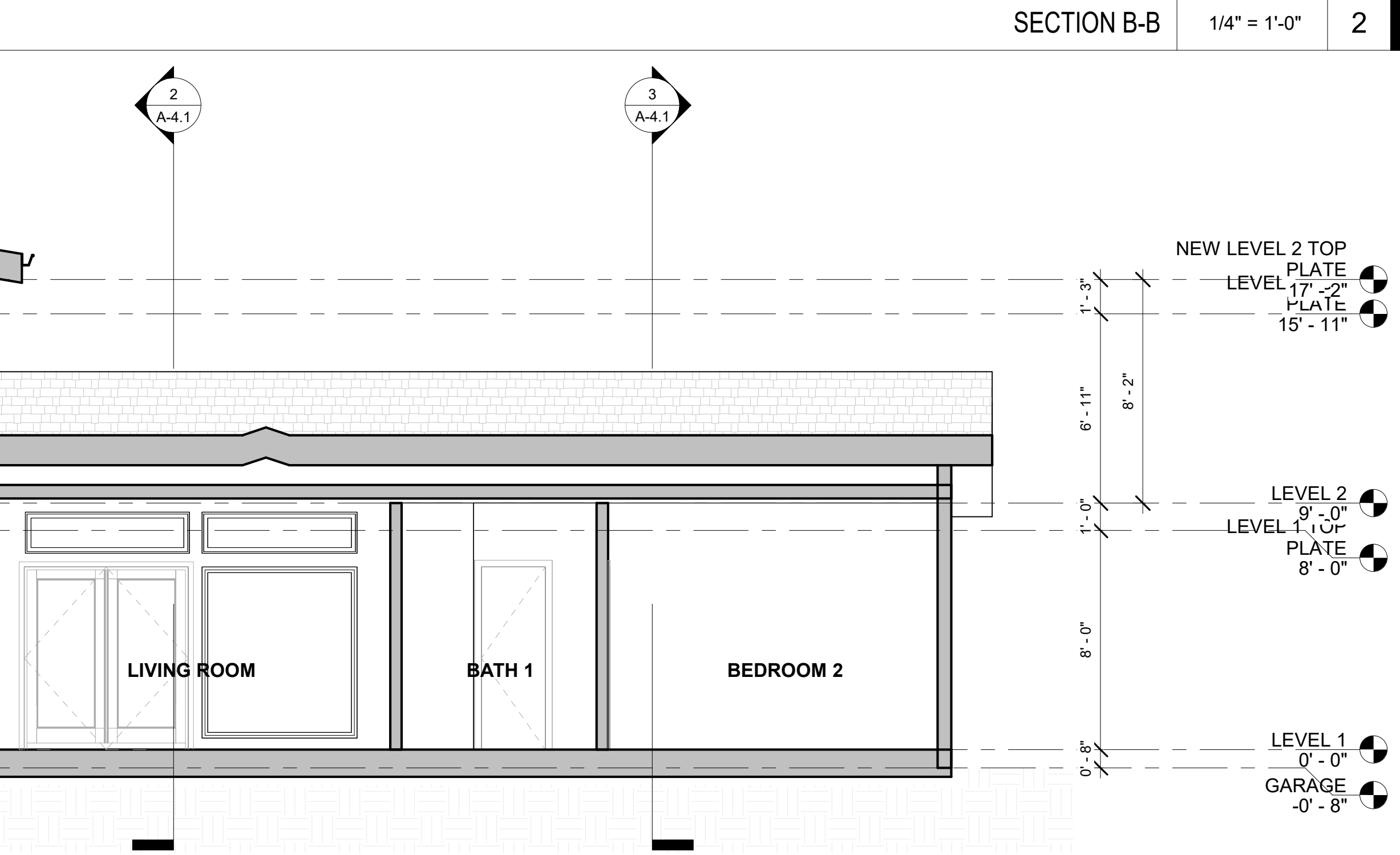
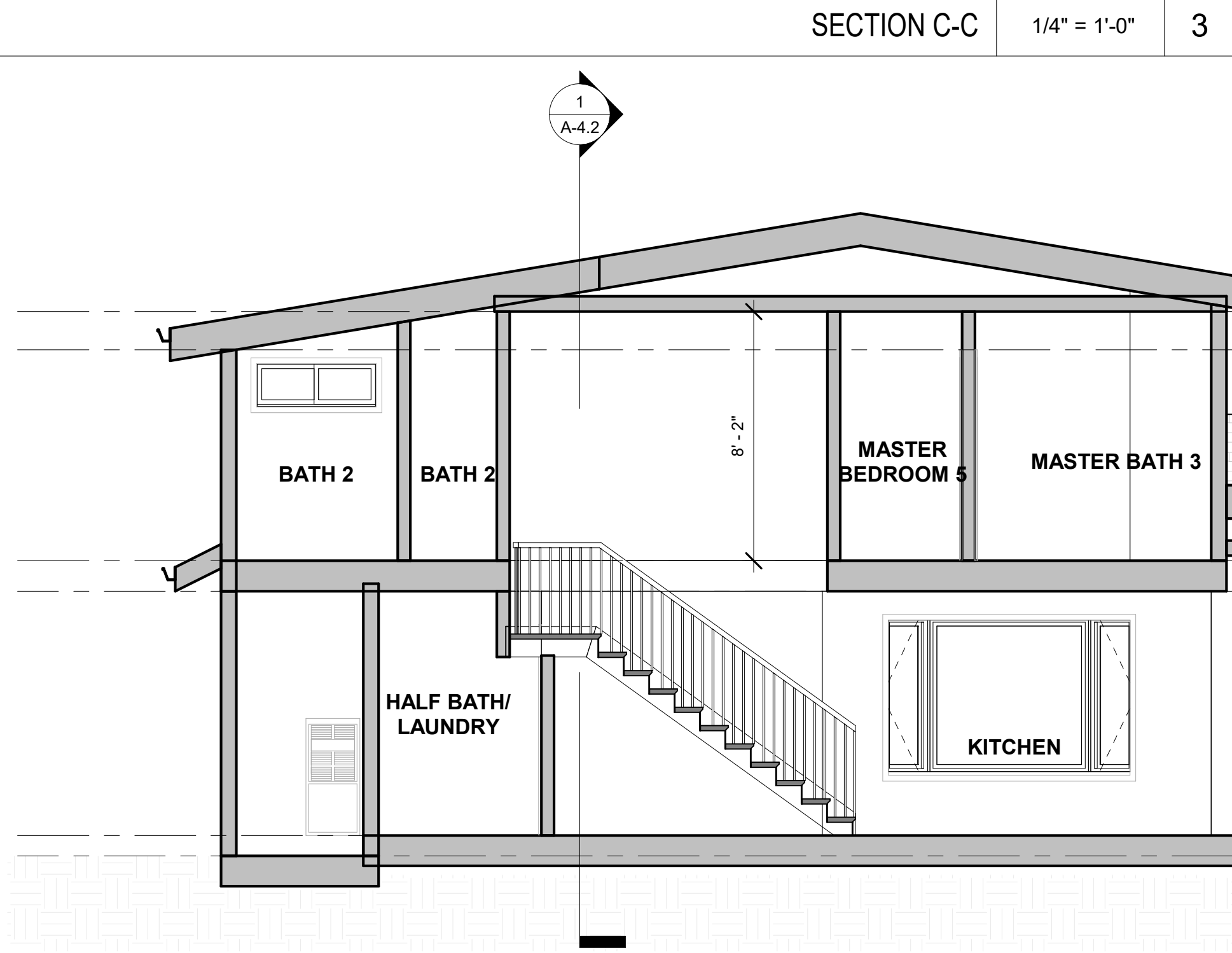
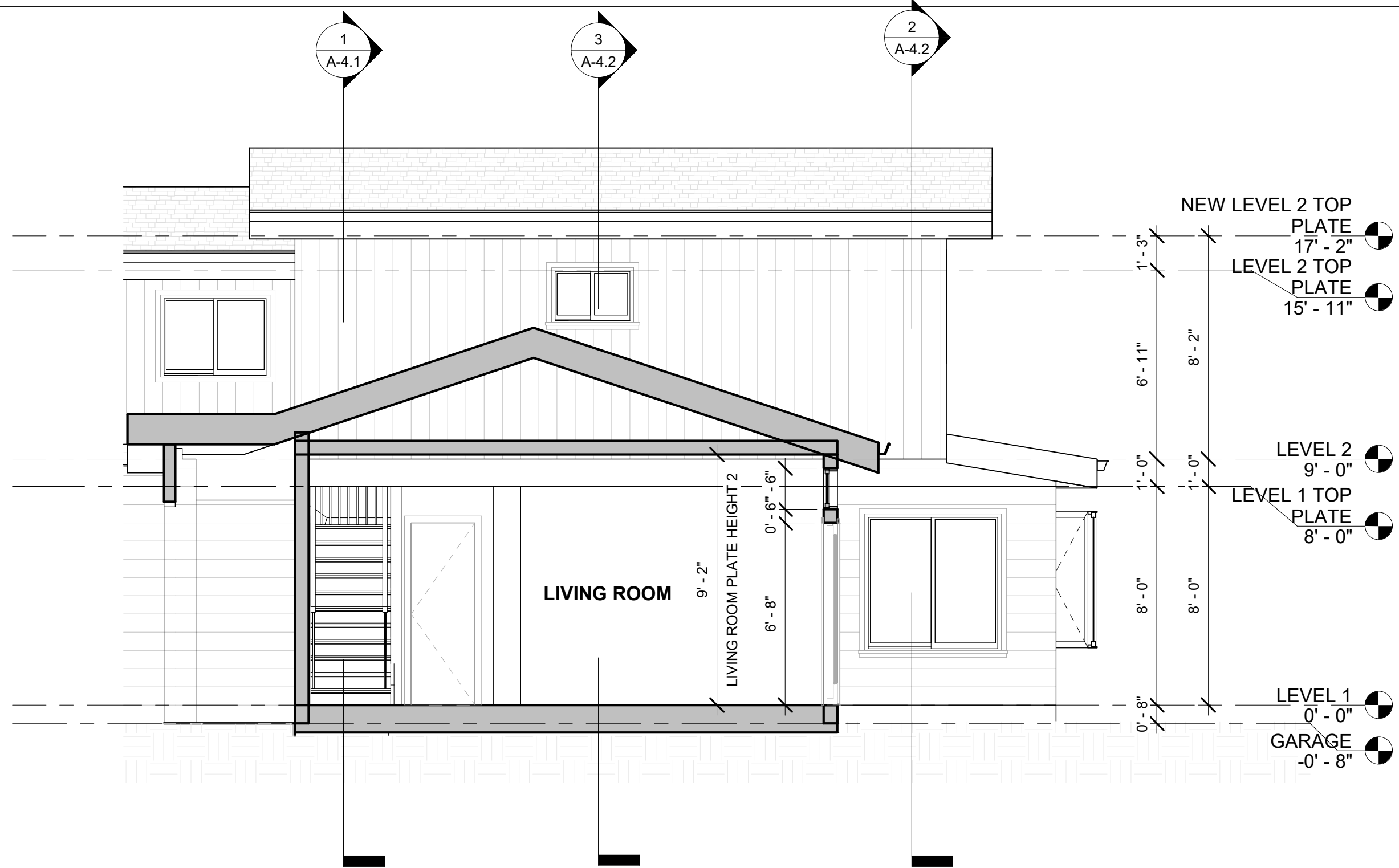
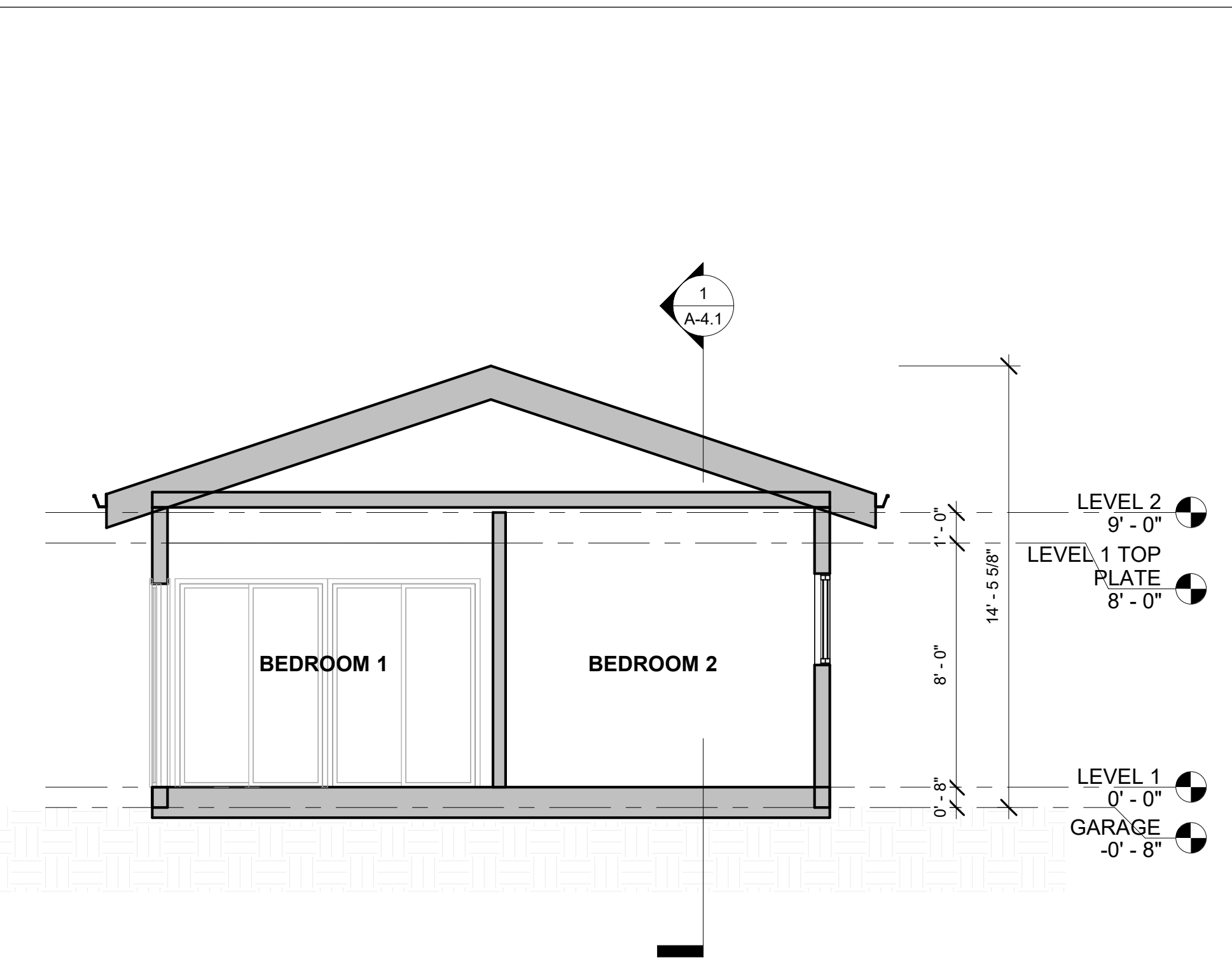
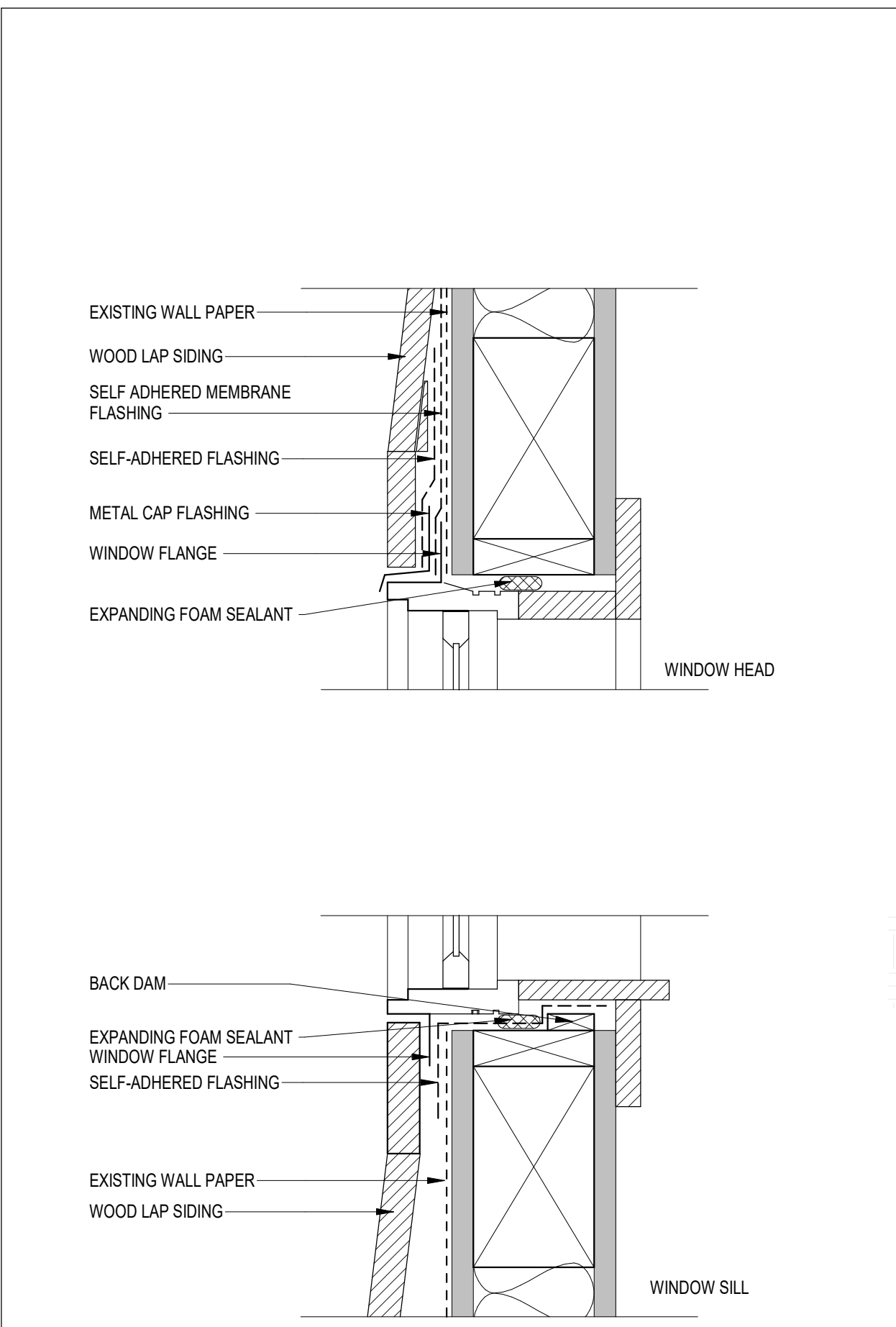
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
B	PLANNING PERMIT RESUBMITTAL #2	2/2/2022

BUILDING SECTIONS

Project Number 12125
 Date 4/5/2022

A-4.1

Scale As indicated



- GENERAL NOTES:**
1. ROOFING MATERIAL TO BE CLASS "A"
 2. FOUNDATION VENT CALCS: OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET (0.67 M2 FOR EACH 100 M2) OF CRAWL-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH (6 MM). CBC 1203.3.1
 3. OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/2 SQUARE FEET (0.135 M2) FOR EACH 25 LINEAR FEET (7620 LINEAR MM) OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/4 INCH (6.4 MM) NOR MORE THAN 1/2 INCH (13 MM) IN ANY DIMENSION. CBC 1203.3.1.1 [SPCB]
 4. PREFAB GSM ATTIC VENTS TO BE EVENLY DISTRIBUTED
 5. ALL FLASHING TO BE 26 GAUGE W/MIN. 10-INCH LAP W/WALL SEAMS SOLDERED TO BE WEATHERPROOF AND PAINTED TO MATCH ROOFING MATERIAL
 6. WHEN POSSIBLE LOCATE ALL PLUMBING, HVAC VENTS, ETC. AT REAR ROOF SIDE (OPPOSITE ENTRY)
 7. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 8. A PERMANENT LABEL PER SECTION R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
 9. U-FACTOR AND S.H.G.C. VARY FOR EACH WINDOW AND GLASS DOOR. SEE SHEET T-24 FOR SPECIFIC U-FACTOR AND S.H.G.C. INFORMATION
 10. ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
 11. ALL VENTS TO BE PAINTED TO MATCH ADJACENT MATERIALS
 12. WATER-RESISTIVE BARRIER: 2 LAYERS GRADE "D" BLDG. PAPER OVER WOOD SHEATHING OF ALL EXTERIOR WALLS
 13. LOCATIONS/ SIZES OF STRUCTURE ELEMENTS LIKE FOOTING, BEAM, COLUMN, PLEASE REFER TO STRUCTURE DRAWINGS.

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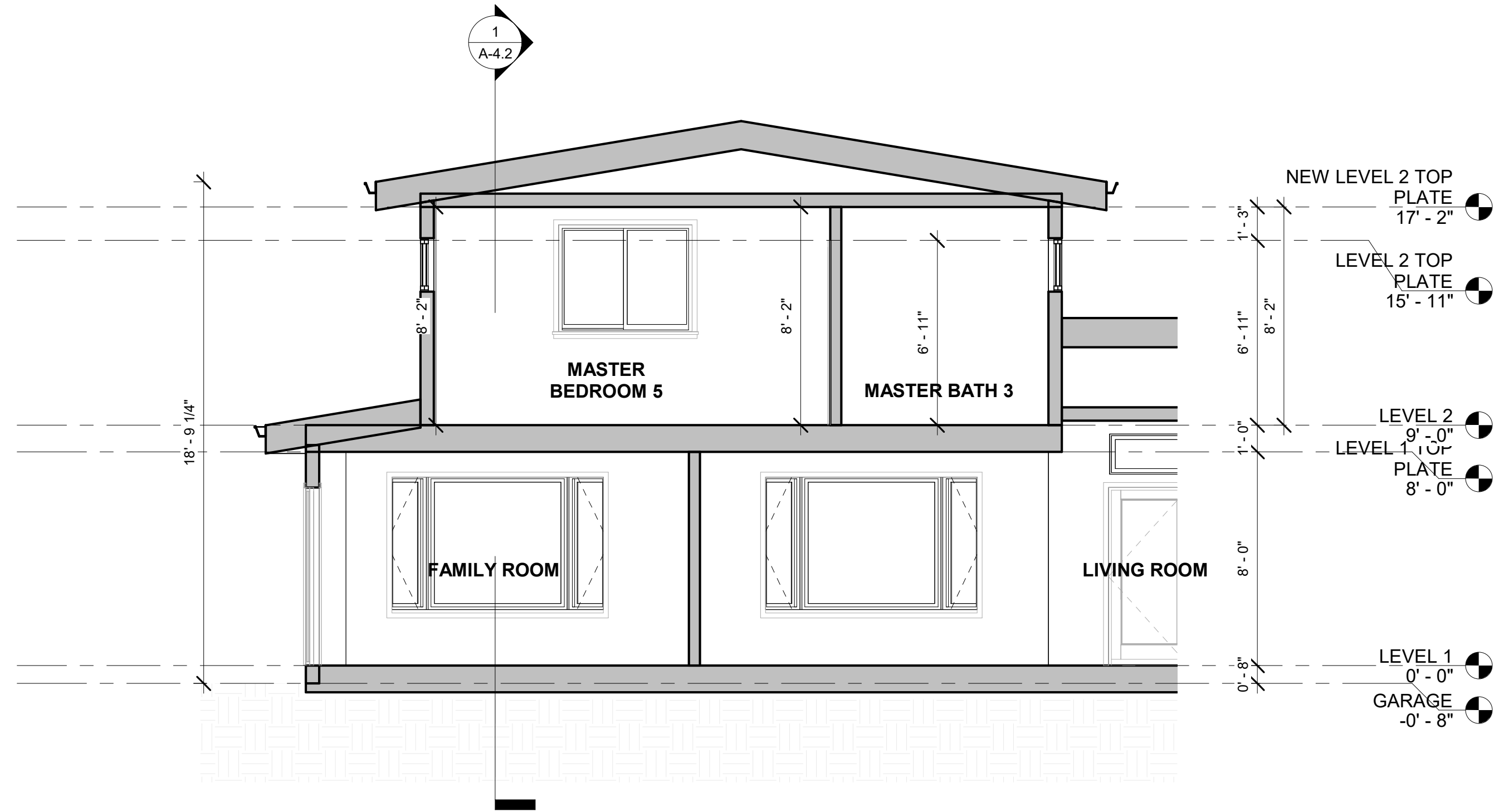
No.	Description	Date
	PLANNING PERMIT	10/6/2021

**BUILDING
 SECTIONS**

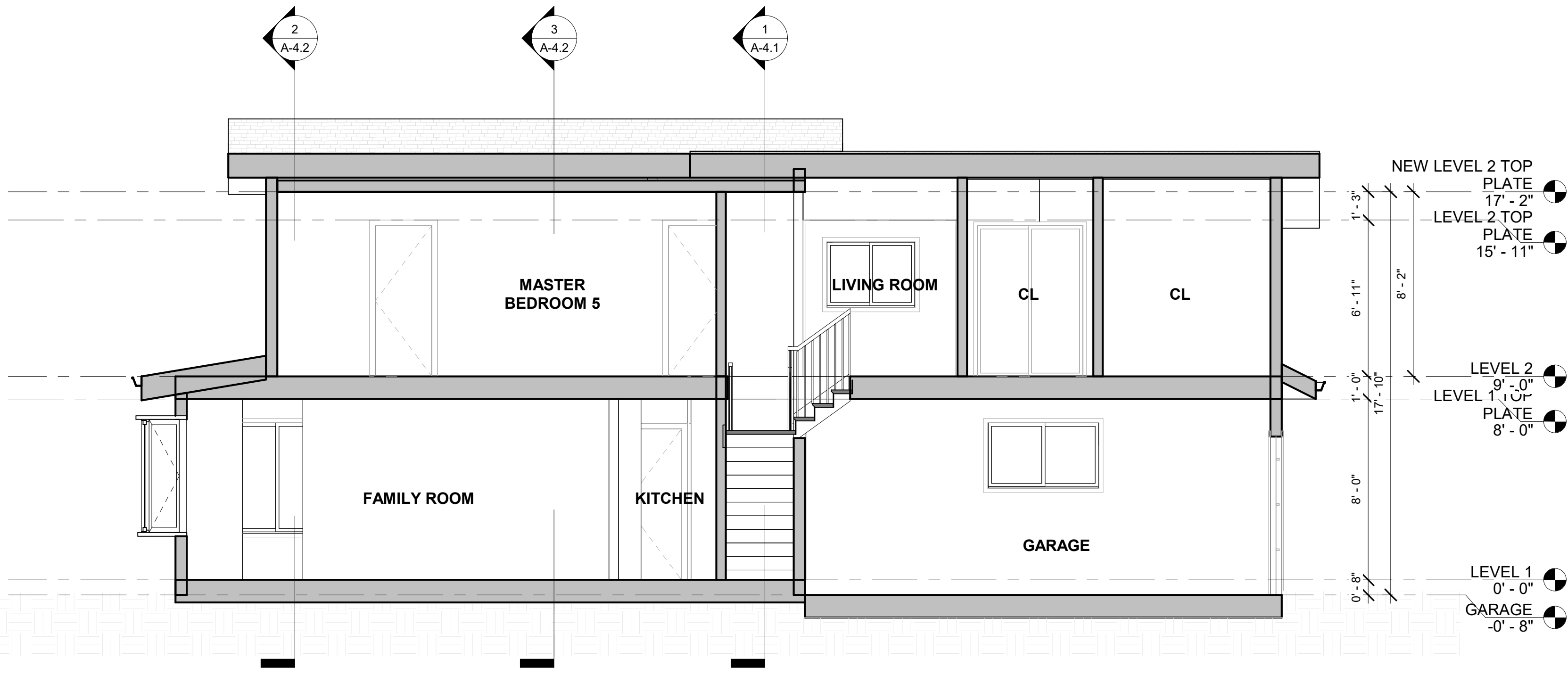
Project Number 12125
 Date 4/5/2022

A-4.2

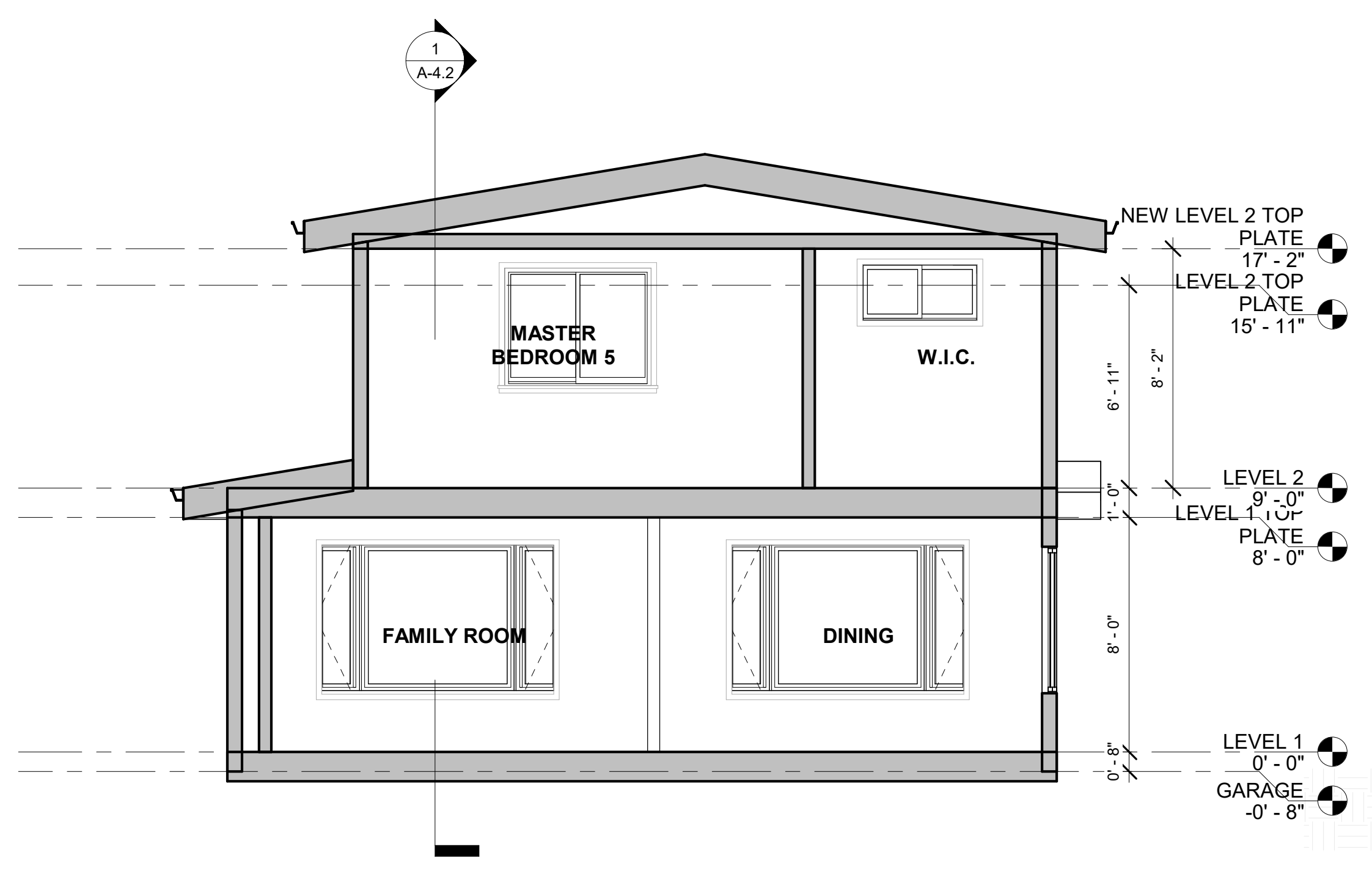
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SECTION F-F 1/4" = 1'-0" 3



SECTION D-D 1/4" = 1'-0" 1



SECTION E-E 1/4" = 1'-0" 2

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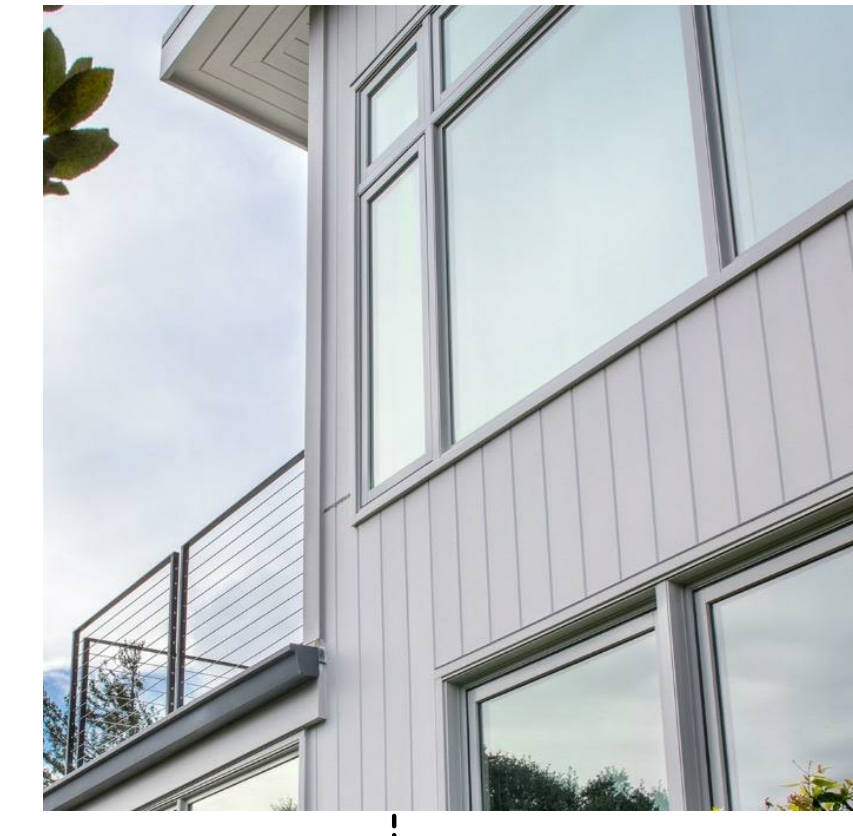
No.	Description	Date
	PLANNING PERMIT	10/6/2021
A	PLANNING PERMIT RESUBMITTAL	12/16/2021
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

MATERIAL BOARD

Project Number 12125
 Date 4/5/2022

A-6

Scale



Location	Exterior Wall Siding	Exterior Wall Trim	Roof	Window
Material	Fiber cement	Fiber cement	Fiberglass Asphalt Shingles	Fiberglass
Color code	Spun silk or similar	White	Charcoal	White
Manufacturer / Brand	James Hardie Artisan V-Groove siding	James Hardie	G.A.F Timberline HDZ Shingles	Milgard Ultra™ Series C650
Product specifications	8.25-inch width, 7-inch exposure	3.5-inch/4.6-inch width		
Color board				

Location	Exterior door	Window/Door Trim	Entry door	Garage door
Material	Fiberglass	Fiber cement	Steel	Steel
Color code	White	White	White	White
Manufacturer / Brand	MP Doors	James Hardie	MIMI Doors	Amarr Heritage
Product specifications	Low-E Blinds Between Glass White Right-Hand Inswing	2.5-inch width	72 in. x 80 in. Grace Right-Hand Inswing 2-Lite 2-Panel Decorative Primed Steel Prehung Front Door on 6-9/16 in. Frame	Long bead board design with Moonlite windows
Color board				

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 628 Cuesta Dr, Los Altos, CA 94024

FOR CITY APPROVAL STAMP

No.	Description	Date
D	PLANNING PERMIT RESUBMITTAL #4	3/15/2022

↑

RENDERING

Project Number 12125

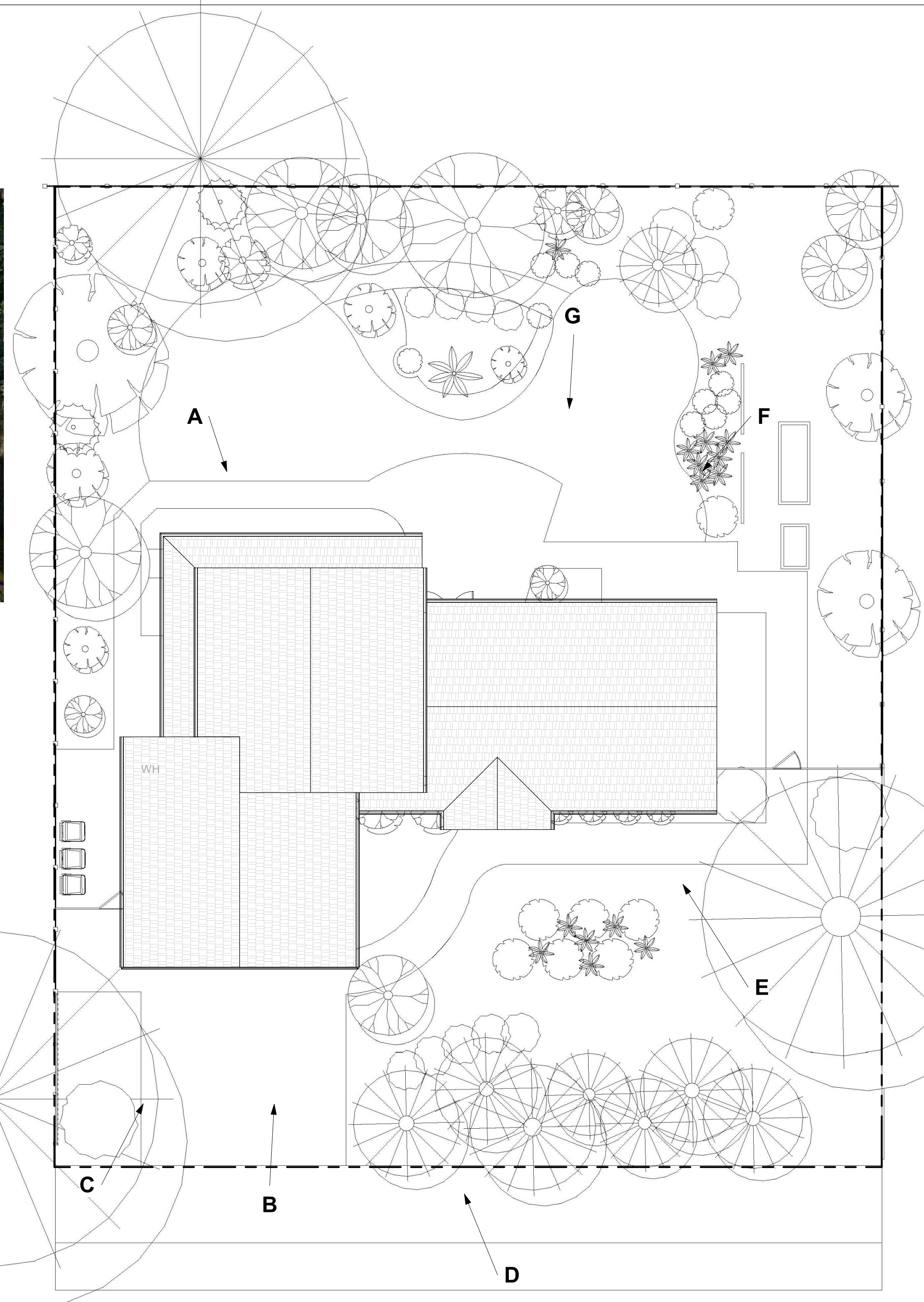
Date 4/5/2022

A-6.1

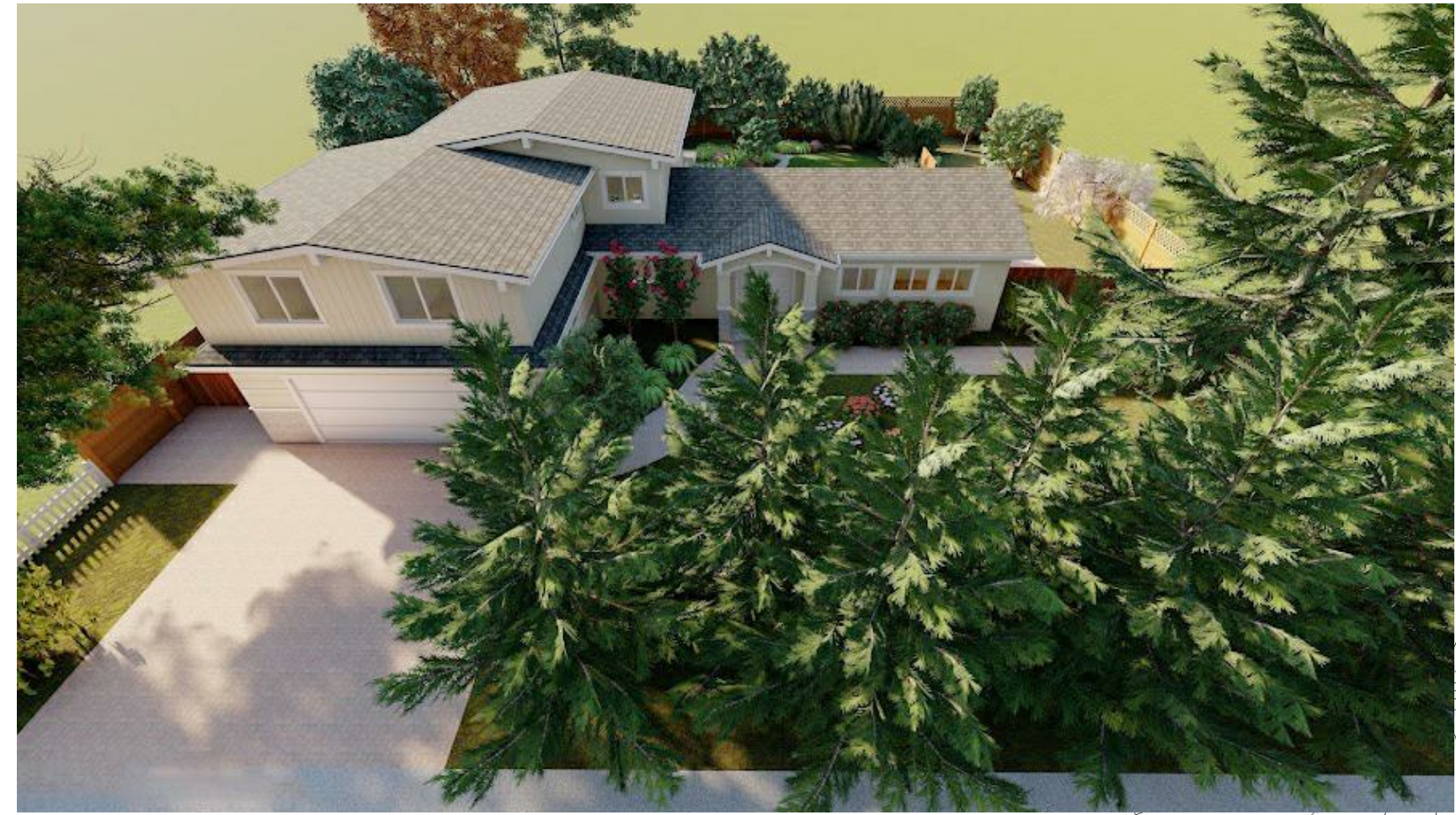
Scale 1" = 10'-0"



A



G



B



F



C



D



E



DATE: May 4, 2022
 AGENDA ITEM #4

TO: Design Review Commission
FROM: Jia Liu, Associate Planner
SUBJECT: SC21-0043 – 301 Spagnoli Court

RECOMMENDATION:

Approve design review application SC21-0043 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for an addition to an existing one-story single-family residence. The project includes a 935.67 square-foot addition at the second story. The project should be considered categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Residential
ZONING: R1-10
PARCEL SIZE: 11,348 square feet
MATERIALS: Composition shingle roof, stucco with fiber cement siding accent, fiberglass window frame

	Existing	Proposed	Allowed/Required
COVERAGE:	2,567.9 square feet	3,033.7 square feet	3,404.4 square feet
FLOOR AREA:			
First floor	2,545.9 square feet	2,545.9 square feet	
Second floor	-- square feet	935.67 square feet	3,884.8 square feet
Total	2,545.9 square feet	3,481.57 square feet	
SETBACKS:			
Front	21.70 feet	21.70 feet	25 feet
Rear	38.67 feet	31.35 feet	25 feet
Right side (1 st /2 nd)	20.69 feet/-- feet	20.69 feet/31.15 feet	17 feet/17 feet
Left side (1 st /2 nd)	9.83 feet/-- feet	9.83 feet/19.80 feet	10 feet/17.50 feet
HEIGHT:	14.88 feet	24.71 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on Spagnoli Court – a cul-de-sac branching out from Los Altos Avenue between Pine Lane and West Portola Avenue. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City’s Residential Design Guidelines. The homes in the immediate neighborhood context are a combination of one-story and two-story houses, with two-story homes at 257 Alba Court. Residential properties on Spagnoli Court and Los Altos Avenue share similar front setback patterns with low scale horizontal eave lines between eight to nine feet at both first and second story. Most of the garages are attached to the existing homes in the front yard facing the street. Simple roof forms with composition shingle and wood shake materials are found in the immediate neighborhood. The exterior materials commonly used include stucco and horizontal and vertical siding with wood window trims. Landscapes in the front consist of mature street trees on most properties with dense screening shrubs further in. It should be noted that a variety of land uses that perform different architectural contexts in relation to the land uses exist within the vicinity including a public elementary school (Santa Rita Elementary School) at 700 Los Altos Avenue and a senior living facility (The Terraces at Los Altos) at 373 Pine Lane.

Zoning Compliance

The existing house is non-conforming due to having a 21.55-foot front setback from the front property line where a 25-foot setback is required and 9.83-foot side setback from the west side property lines where a 10-foot setback is required in the R1-10 (Single-Family) zoning district. As the existing structure with the setbacks are depicted in the topographic survey on Sheet 1 by a licensed land surveyor, the current house is considered as a legal non-conforming structure. Since the project will not eliminate or replace more than 50 percent of the floor area, the non-conforming setback can be maintained in compliance with Section 14.06.080 of the Zoning Code.

DISCUSSION

Design Review

According to the Residential Design Guidelines, in Consistent Character Neighborhoods, a good neighbor design has design elements, material, and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood.

The existing residence will be modified from an existing one-story, ranch style house with crossed hipped roof forms to a two-story house with integrated gable and hipped roof forms. The proposed project consists of a 935.67 square-foot second story addition and interior remodeling and exterior modifications at the first story. Plate height at the first story will remain the same height of eight feet as the existing house. First story exterior modifications include the following:

- Exterior materials replacement from vertical wood siding to smooth stucco;
- Two new bay windows with gable roof will be added to the front elevation;
- Modification of garage door opening from the side to the front;
- Windows and doors will be replaced and adjusted to be consistent with interior remodeling; and
- 276 square feet of new open trellis will be attached to the rear of the building

At the second story, two bedrooms, one bathroom, and one family room will be constructed. The new second story will have an eight-foot and six-inch plate height with two gable elements fronting the street. The overall height of the proposed residence is 24.3 feet, consistent with the maximum height of 27 feet in the R1-10 zoning district.

The front elevation uses design elements that have integrated gable and hipped roof forms, application of exterior smooth stucco with horizontal siding accents, and a low-profile second story with hipped roof to soften the bulk and massing of the new façade appearance. Regarding the roof pitches, both first and second floor will have a consistent pitched roof of 5:12, the same as the existing roof pitch. The project is utilizing high-quality materials including composition shingle roof, smooth stucco with fiber cement siding accents, fiber glass framed window, and wood entry doors, which are integrated into the overall architectural design of the residence and found to be compatible with the surrounding neighborhood.

Overall, according to the Residential Design Guidelines, the project appears to be an appropriate design within this Consistent Character Neighborhood setting. The proposed addition has design elements, materials, and scale found in the neighborhood and meet the intent of the design review findings.

Privacy

The subject site is a corner lot fronting Spagnoli Court and Los Altos Avenue. As the Santa Rita Elementary School is also located to the back (north) side of the property, the only potential privacy impact may occur at the left (west) side property that is currently a one-story single-family residence. To mitigate the potential perceived privacy impact, the following design elements have been incorporated into the rear and left (west) side elevations. On the left (west) side elevation, two small sized windows and one medium sized window are proposed at the second story with a 4.33-foot sill height for the proposed two bedrooms and one shared bathroom. Along the left property line, new screening vegetation will be planted to further reduce the potential perceived privacy impact. On the rear elevation at the second story, because of the L shape design, only Bedroom #3 may result in a perceived privacy intrusion to the left neighbor. Views from the remaining windows from the family room should be blocked by the Bedroom #3 design that is projected outward. To reduce the privacy impact, the rear facing window will have the same 4.33-foot windowsill height as the other second story windows along the left elevation. The required egress and ingress window by the California Building Code for the bedroom will be opened facing the right (east) side yard and is presented on the right (east) side elevation.

In general, the Design Review Commission has previously considered second story windows with 4.5-foot windowsill heights acceptable to minimize direct views into neighboring properties. When there are perceived privacy impacts, installation of screening vegetation is another common practice to mitigate the interference with privacy. As discussed above, with the proposed design of second story windowsill heights, placement of windows, and new screening vegetation, staff considers the subject project is designed to avoid unreasonable potential privacy impacts to adjacent the residential neighbors.

Landscaping and Trees

There are six existing trees greater than four inches in diameter on the property site including two protected trees: one Eucalyptus (T11) and one Pepper tree (T12) located at the northeast side. One protected tree labeled as Tree No. T13 is a protected Pine tree but located within the City's public right-of-way. All the described trees will be protected and retained during the construction.

Additionally, four new 24-inch box container evergreen screening plants will be planted along the left side

property line to reduce potential privacy impacts. Proposed screening vegetation are outlined in the Table 1 below.

Table 1: Proposed Screening Plant List

Location	Common Name	Number	Size	Description
Left side property line	Sweet Bay	4	24-inch box	20' tall x 12' wide

Environmental Review

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves the construction of an addition to an existing dwelling in a residential zone.

Public Notification and Community Outreach

On November 18, 2021, a billboard of Notice of Development Proposal (Attachment C) was installed onsite for community early awareness. The applicant also reached out to the immediate neighbors to obtain neighbors' feedback. A copy of the outreach letters along with the receipts of certified mailings is provided in Attachment D.

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Spagnoli Court, Alba Court, and Los Altos Avenue. The Notification Map is included in Attachment B.

Cc: Bindu Neelakantan & Suresh Muthu, Property Owners
Anat Shmariahu, Applicant and Designer

Attachments:

- A. Neighborhood Compatibility Worksheet
- B. Notification Map
- C. Pictures of Notice of Development Proposal
- D. Proof of Community Outreach
- E. Materials Board

FINDINGS

SC21-0043 – 301 Spagnoli Court

With regard to design review for the two-story addition to an existing one-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC21-0043 – 301 Spagnoli Court

GENERAL

1. Expiration

The Design Review Approval will expire on May 4, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on April 21, 2022, except as may be modified by these conditions. The scope of work is limited to that shown on the plans and the project may not exceed rebuilding 50 percent of the existing floor area of the structure without bringing the structure into compliance with required setbacks per Section 14.06.080 of the Zoning Code.

3. Protected Trees

Tree Nos. T11, T12, and T13 along with the approved proposed privacy screening as outlined in the staff report shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

4. Landscaping

The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City’s Model Water Efficient Landscape Ordinance.

5. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

6. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

7. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

8. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

9. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing around the driplines of Tree

Nos. T11, T12, and T13 on the subject site and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

10. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

11. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

12. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional Designer/Architect and property owner.

13. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

14. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

15. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

16. Tree Protection

Tree protection fencing shall be installed around the driplines of Tree Nos. T11, T12, and T13 on the subject site shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

17. Landscaping Installation

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

18. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

19. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 301 Spagnoli Ct

Scope of Project: Addition or Remodel **or New Home**

Age of existing home if this project is to be an addition or remodel? 1959

Is the existing house listed on the City's Historic Resources Inventory? No

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 9,500-14,810 square feet

Lot dimensions: Length _____ feet

Width _____ feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length 141, and width 105.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? Yes

What % of the front facing walls of the neighborhood homes are at the front setback 80 %

Existing front setback for house on left 22' ft./on right 20' ft.

Do the front setbacks of adjacent houses line up? No

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 5

Garage facing front recessed from front of house face 1

Garage in back yard 2

Garage facing the side 1

Number of 1-car garages ; 2-car garages 9; 3-car garages

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 90%

Two-story 10%

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? No

Are there mostly hip , gable style , or other style roofs*?

Do the roof forms appear simple or complex ?

Do the houses share generally the same eave height Yes?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?
asphalt shingles

If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)
Existing- relative to the street, addition (second floor) to both sides.

Is your slope higher lower same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?
Front lawn, curb bot no sidewalk, one medium tree
it
The

How visible are your house and other houses from the street or back neighbor's property?
The house is on a corner lot so it's visible from 2 streets.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?
No major existng landscaping. We are going to switch the driveway location with the loan.
The garage door location is being relocated as part of the remodeling scope of work.

10. Width of Street:

What is the width of the roadway paving on your street in feet? court
Is there a parking area on the street or in the shoulder area? No
Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? no sidewalk, just
rolled curb and loan. The court is paved.

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

The neighborhood has a simple traditional old style look. Walls: a combination of stucco and wood siding, sometimes additional bricks. Each lot has different dimensions so the houses are located differently. Most of the roof material is asphalt shingles but few of them left with wood shingles.

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

Address: 301 Spagnoli Ct
 Date: 1.12.2022

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

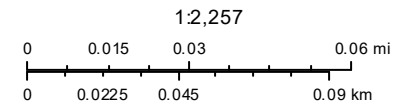
Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
305 Spagnoli Ct	27'	10'-40'	back	one	16'	Stucco, wood	simple
304 Spagnoli Ct	29'	20'	side	one	17'	Wood siding	simple
300 Spagnoli Ct	22'	10'-40'	front	one	16'	wood, bricks	simple
699 Los Altos Ave	25'	30'	front	one	16'	wood, bricks	simple
270 Alba Ct	30'	30'	side	one	16'	wood	simple
649 Los Altos Ave	25'	60'	front	one	16'	wood, bricks	simple
635 Los Altos Ave	25'	60'	side	one	18'	wood	simple
290 Vernal Ct	25'	60'	front	one	16'	wood	simple








Notification Map

Agenda Item 4.



Print Date: October 11, 2021



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.



City of Los Altos

Neighbor Notification Form

Project Address: 301 Spagnoli Ct Los Altos

A project is proposed at the above address. The City asks that you sign this form to indicate you have had an opportunity to review and comment on the proposal. Your signature is not an acceptance of the plans, only an acknowledgement that you have had an opportunity to comment.

IMPORTANT NOTE FROM CITY: These plans are PRELIMINARY ONLY and may change as the project moves forward. Architectural Plans are protected under copyright law. The applicant should allow you to view the plans but is not required to give you a physical copy. Once the application is submitted, you may review electronically the set of plans. The applicant will inform you when the plans will be submitted.

Please contact the City at 650-947-2750 if you have any questions.

This notice is being provided to all of the adjoining property owners and the property owner(s) across the street from the project address. The City will send an additional notice to adjacent neighbors prior to a decision being made on the project.

Neighbor Name: Dan Negus & Suzanne Moquire - Negus Date: Sept 9, 2021

Neighbor Address: 305 Spagnoli Ct.

Neighbor Contact Info: (phone or email): 415-640-4740 negus@scitron.com

- This enables the City to contact you if they have any questions

Please address any initial concerns below (attach additional sheets if necessary): Feel free to mail this form directly to the City: City of Los Altos Planning Department; 1 N. San Antonio Rd., Los Altos, CA 94022

- need to study sunlight blockage changes in rear yard
- need to adequately address view of pool and spa in backyard of 305 Spagnoli

My signature below certifies that I am aware of the proposal.

NEIGHBOR SIGNATURE: Dan Negus / Suzanne Moquire

City of Los Altos

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Neighbor Name: Christopher Lin Date: 9/21/21

Neighbor Address: 304 Spagnoli Ct. Los Altos, CA 94022

Neighbor Contact Info: (phone or email): 650-605-3546

- This enables the City to contact you if they have any questions

Please address any initial concerns below (attach additional sheets if necessary): Feel free to mail this form directly to the City: City of Los Altos Planning Department; 1 N. San Antonio Rd, Los Altos, CA 94022

My signature below certifies that I am aware of the proposal.

NEIGHBOR SIGNATURE: 

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Neighbor Name: Paul Erickson Date: 9-9-21

Neighbor Address: 270 Albu Ct

Neighbor Contact Info: (phone or email): erickson94022@yahoo.com

- This enables the City to contact you if they have any questions

Please address any initial concerns below (attach additional sheets if necessary): Feel free to mail this form directly to the City: City of Los Altos Planning Department; 1 N. San Antonio Rd, Los Altos, CA 94022

My signature below certifies that I am aware of the proposal.

NEIGHBOR SIGNATURE: Paul Erickson

City of Los Altos

Neighbor Notification Form

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This notice is being provided to all of the adjoining property owners and the property owner(s) across the street from the project address. The City will send an additional notice to adjacent neighbors prior to a decision being made on the project.

Neighbor Name: William Morton Date: SEP 9, 2021
Neighbor Address: 290 VERNAL CT., LOS ALTOS CA 94022
Neighbor Contact Info: (phone or email): BILLMORTON2@AOL.COM

- This enables the City to contact you if they have any questions

Please address any initial concerns below (attach additional sheets if necessary): Feel free to mail this form directly to the City: City of Los Altos Planning Department; 1 N. San Antonio Rd, Los Altos, CA 94022

My signature below certifies that I am aware of the proposal.

NEIGHBOR SIGNATURE: William E. Morton

City of Los Altos

Neighbor Notification Form

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This notice is being provided to all of the adjoining property owners and the property owner(s) across the street from the project address. The City will send an additional notice to adjacent neighbors prior to a decision being made on the project.

Neighbor Name: Elaine Wang Date: 09/06/2021

Neighbor Address: 649, Los Altos Ave

Neighbor Contact Info: (phone or email): (650) 2090857

- This enables the City to contact you if they have any questions

Please address any initial concerns below (attach additional sheets if necessary): Feel free to mail this form directly to the City: City of Los Altos Planning Department; 1 N. San Antonio Rd, Los Altos, CA 94022

My signature below certifies that I am aware of the proposal.

NEIGHBOR SIGNATURE: 

Revised September 2021

7021 0350 0001 0992 4577

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

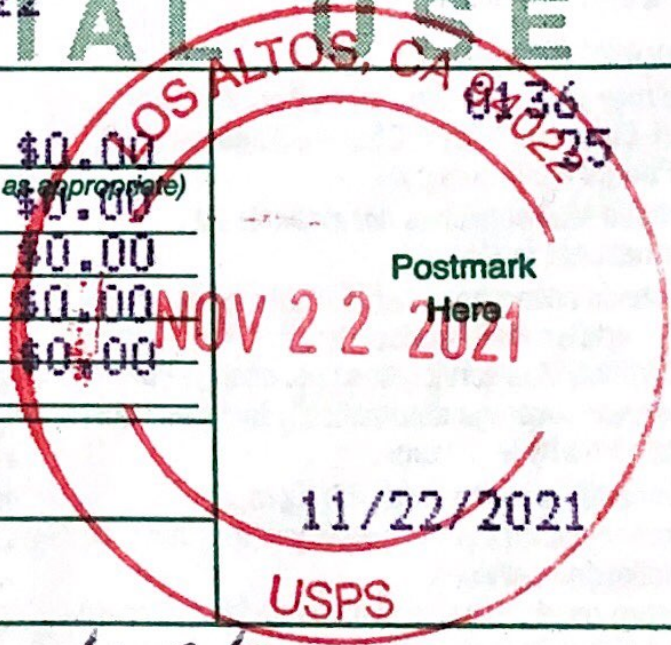
Los Altos, CA 94022

OFFICIAL USE

Certified Mail Fee	\$3.75	\$0.00
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	\$0.00

Postage \$0.58

Total Postage and Fees \$4.33



Sent To 300, Spagnoli Ct
Street and Apt. No., or PO Box No.

City, State, ZIP+4® Los Altos CA 94022

7021 0350 0001 0992 4539

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Los Altos, CA 94022
OFFICIAL USE

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0136
25

Postmark Here

NOV 22 2021

USPS

11/22/2021

Postage	\$0.58
Total Postage and Fees	\$4.33

Sent To 635, Los Altos Ave, Los Altos

Street and Apt. No., or PO Box No.

City, State, ZIP+4® CA 94022

70221 0350 0001 0992 4546 9454 2660 1000 0560 1202

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Los Altos, CA 94022

Certified Mail Fee	\$ 3.75	LOS ALTOS, CA 94022 0136
Extra Services & Fees (check box, add fee as appropriate)		25
<input type="checkbox"/> Return Receipt (hardcopy)	\$ 0.00	Postmark Here NOV 22 2021 11/22/2021
<input type="checkbox"/> Return Receipt (electronic)	\$ 0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ 0.00	
<input type="checkbox"/> Adult Signature Required	\$ 0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ 0.00	
Postage	\$ 0.58	
Total Postage and Fees	\$ 4.33	

Sent To **699, Los Altos Ave**

Street and Apt. No., or PO Box No.

City, State, ZIP+4® **Los Altos, CA 94022**

ATTACHMENT E

Agenda Item 4.

MATERIALS

301 SPAGNOLI CT
LOS ALTOS



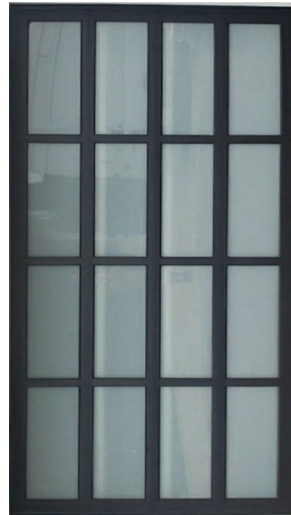
ASPHALT COMPOSITION SHINGELS



SUPERIOR EXTEIOR STUCCO 595
BOSTON CREAM BASE A LRV 80



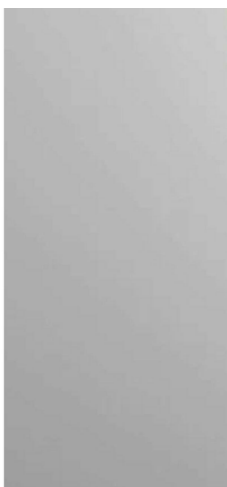
FIBER CEMENT SIDING NICHHA
VINTAGE CEDAR



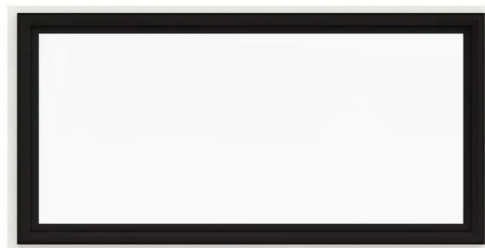
GLASS GARAGA
DOOR



TIMBERTECH
DECK WEATHERED TEAK



PAINTED METAL FASCIA



MILGARD ULTRA FIBERGLASS
WINDOW (BLACK FINISH)



WOOD ENTRY
CEDAR PIVOT DOOR

SCOPE OF WORK

OWNER:

REMODELING OF RESIDENTIAL ONE STORY HOUSE.

1. SECOND FLOOR ADDITION 935.6 SF + 275.6 SF PERGOLA
2. REMODELING 1,800 SF OF THE EXISTING HOUSE+ 474 SF GARGAE REMODEL.
3. KITCHEN+ 3 BATHROOM REOMDEL.
4. UPGRADE THE ELECTRICAL PANEL TO 200AMP ON THE SAME LOCATION
5. UPGRADE THE GAS METER IN A NEW LOCATION.
7. NEW FURNACE AND TANKLESS WH IN GARGAE
8. 3 NEW DECKS AREAS 700 SF
9. RELOCATE THE GARAGE DOOR + NEW DRIVEWAY
10. EXISTING NEW ITEMS: 5 DOORS, 12 WINDOWS, 5 SKYLIGHTS.
11. NEW: 1 DOOR, 13 WINDOWS, 5 SKYLIGHTS

ADDITION AND REMODELING

BINDU NEELAKANTAN & SURESH MUTHU

301 Spagnoli Ct
Los Altos CA 94022
408-410-9605



SITE DATA

JOB LOCATION JURISDICTION	301 SPAGNOLI CT, LOS ALTOS 94022
ASSESSORS PARCEL NUMBER	167-24-030
NUMBER OF LOTS	1
LOT SIZE	11,348 SF
EXISTING FLOOR AREA	2,567.9 SF
EXISTING GARAGE SIZE	474 SF
PROPOSED FLOOR AREA	3,463.5SF
ADDITION	935.6 SF
EXISTING HABITABLE AREA	2,053.9 SF
PROPOSED HABITABLE AREA	2,989.5 SF
PROPOSED COVERAGE	3,033.7 SF
OCCUPANCY GROUP	R-3/4
ZONING	R1-10

CONSTRUCTION TYPE V-B
BUILDING ACCUPANCY R3/U
FULLY FIRE SPRINKLES
TWO STORY

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE

2019 California Residential, Building, Mechanical, Plumbing, Electrical, Energy, CCR Title 24 part 8, 10, and Green Building Standards Codes (i. e., 2019 IRC, IBC, UMC, UPC, 2019 CA Fire code, and 2019 NEC, as amended by the State of California and the Town of Los Altos) unless otherwise noted. In addition, structural review is based on the ASCE 7 -16.

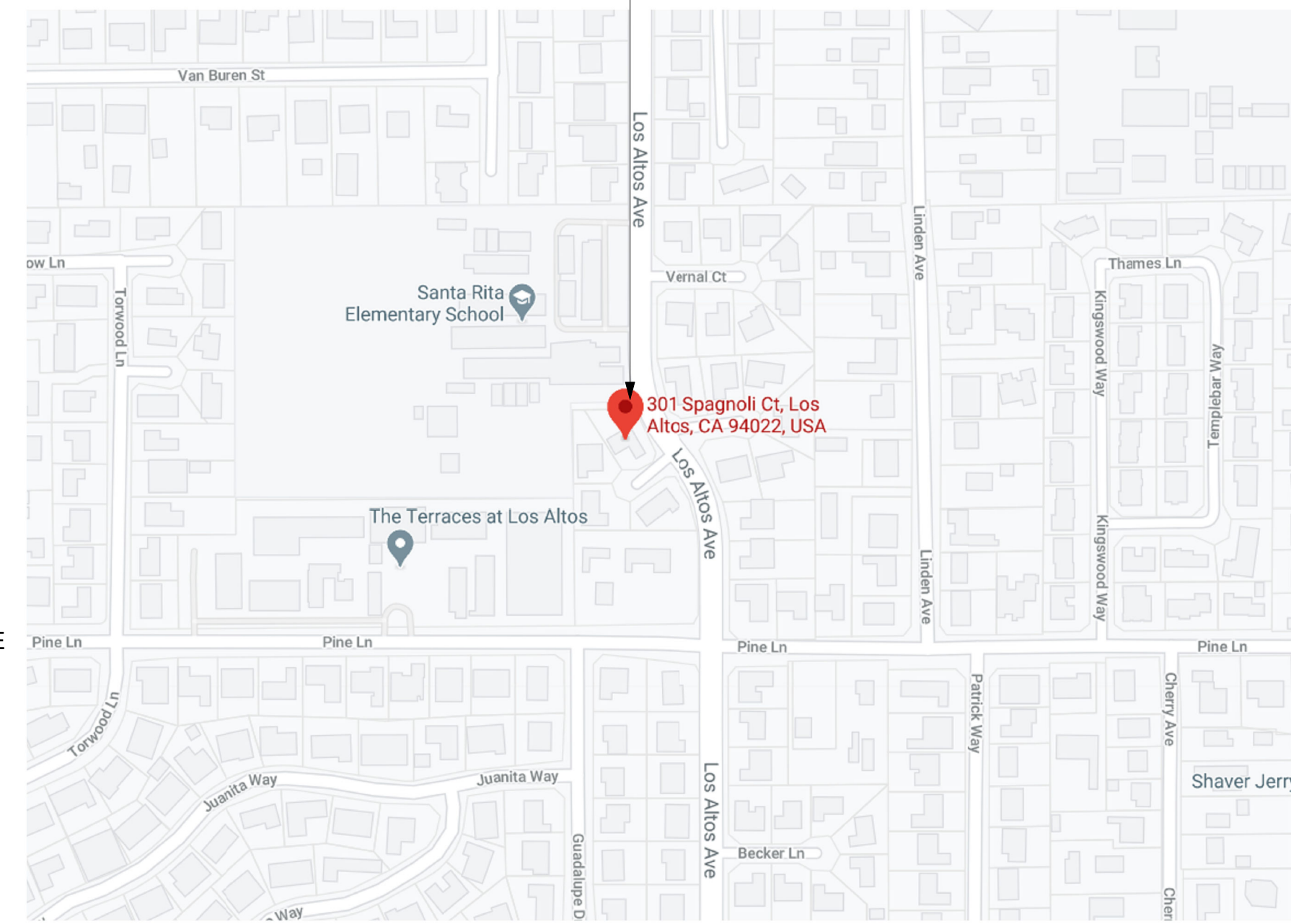
GENERAL NOTES

1. ALL DIMENTIONSAND EXISTING CONDITION SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE THE DRAWINGS.
3. DIMENTION ON PLANS ARE TO FACE OF SHEETROCK OR FINISH MATERIAL UNLESS OTHERWISE (EXCEPT PROPOSED FLOOR PLAN-TO STUD) NOTED. ALL OTHER DIMENTIONS ARE TO POINTS SHOWN.
- 4 ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED OR EQUIVALENT.
5. SMOOTH PAINTED GYP.
6. ALL INSULATION SHALL COMPLY WITH CBC.
7. COORDINATE ALL MECHANICAL, PLUMING, ELECTRICAL DEVICES WITH ARCHITECTURAL NTERIOR ELEVATIONS AND REFLECTAD CEILING PLANS.
8. WEATHER PROTECTION SHALL CONFORM TO CBC. WEATHER RESISTIVE BARRIERS SHALL CONFORM TO CBC STANDART NO. 14-1 FOR KRAFT PAPER AND ASPHALT STATURATED RAG.
9. ALL PIPING, VENTS AND FLUES THAT PENERATE THE ROOF AND EXPOSED TO VIEW ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVEDBY THE ARCHITECT. VERIFY LOCTION PRIOR TO INSTALLATION.
10. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MIN DISTANCE OF 10'. CRC R401.3
11. DOWNSPOUT-BUILDING SHALL CONTAIN RAIN WATER LEADERS FOR ROOF DRAINAGE. INSTALL 24"MIN CONC. SPLASH CLOCKS TO DIRECT WATER AWAY FROM FOUNDATION. WHERE RAIN WATER LEADERS TERMINATE AT CONCRETE PORCHES AND PATIOS, WATERSHALL BE DIRECTED THROUGH PIPE EMBEDDED IN CONCRER AWAY FROM PATIO TOWARDS DRAINAGE SWALES.
12. GENERAL CONTRACTOR IS ADVISED THAT THE ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION SERVICES BY THE OWNER. ANY CHANGES OR MODIFICATIONS TO THE WORK WHICH IS NOT REFLECTED IN THESE DOCUMENTS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
13. ALL CONSTRUCTIONS SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING STANDARDS CODES (i.e., 2019 IRC, IBC, UMC, UPC, AND 2014 NEC, AS AMENDED BY THE STATE OF CA AND THE TOWN OF LOS ALTOS)
14. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY UNINTENTIONAL ERROR OR OMISSION IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT IN WRITING.
15. ALL LABOR, MATERIAL AND EQUIPMENTS SHALL BE GUARANTEED FOR MIN PERIOD OF 1 YEAR FROM ACCEPTANCE AGAINST DEFECTS IN WORKMANSHIP AND OR MATERIALS.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS. AT COMPLETION, HOUSE SHALL BE PROFESSIONALLY CLEAND.
17. SEWER- CONTRACTOR SHALL VERIFY EXISTING SEWER LATERAL CONDITION PROP TO RECONRCT TO CITY SEWER SERVICES.
18. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
19. UNDER FLOOR DUCTS SHALL HAVE CLEARANCE TO EARTH & NOT PASS THROUGH MIN REQUIRED CRAL SPACE ACCESS POINTS.

&	AND	LAM.	PLASTIC LAMINATE
@	AT	LAV.	LAVATORY
Ø	DIAMETER	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MAT.	MATERIAL
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BLKG.	BLOCKING	(N)	NEW
BM.	BEAM	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
COL.	COLUMN	PL.	PLATE
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	(P)	PROPOSED
D	DRYER	P.T.	PRESSURE TREATED
DBL.	DOUBLE	(R)	REMODEL
DTL.	DETAIL	R.	RADIUS
DR.	DOOR	REF.	REFRIGERATOR
D.W.	DISHWASHER	REQD.	REQUIRED
DWG.	DRAWING / DRAWINGS	RM.	ROOM
EL.	ELEVATION	R.O.	ROUGH OPENING
EQ.	EQUAL	RWD.	REDWOOD
EQUIP.	EQUIPMENT	S.C.	SOLID CORE
(E).	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATIONS
FDN.	FOUNDATION	SQ.	SQUARE
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
F.O.	FACE OF	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STL.	STEEL
F.O.F.	FACE OF FINISH	STRUCT.	STRUCTURAL
F.O.S.	FACE OF STUD	T&G	TONGUE AND GROOVE
FT.	FOOT / FEET	T.O.	TOP OF
GALV.	GALVANIZED	T.O.P.	TOP OF PLATE
G.I.	GALVANIZED IRON	T.O.S.	TOP OF SLAB
G.L.B.	GLUE LAM BEAM	T.O.W.	TOP OF WALL
HDR.	HEADER	TYP.	TYPICAL
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	W	WASHER
HT.	HEIGHT	W/	WITH
I.D.	INSIDE DIAMETER	W.C.	WATER CLOSET
IN.	INCHES	WD.	WOOD
INSUL.	INSULATION	W.H.	WATER HEATER
INT.	INTERIOR	W/O	WITHOUT
		WT.	WEIGHT

LOCATION MAP

JOB SITE



SHEET LIST

- C1 COVER SHEET
- C2 CONTEXT SHEET
- C-1 MINOR GRADING DRAINAGE PLAN
- C-2 GRADING DETAILS
- C-3 EROSION CONTROL
- C-4 BMP
- P1 PLOT PLAN
- P1.1 FLOOR AREA CALC
- S TOPOGRAPHICAL SURVEY
- S1 EXISTING FLOOR PLAN+DEMO
- A0.2 EXISTING ROOF PLAN+DEMO
- A1 PROPOSED 1ST FLOOR PLAN
- A1.1 PROPOSED 2ED FLOOR PLAN
- A1.2 PROPOSED CEILING PLANS
- A2 PROPOSED ROOF PLAN
- A3.1 EXISTING & PROPOSED FRONT ELEVATIONS
- A3.2 EXISTING & PROPOSED LEFT ELEVATIONS
- A3.3 EXISTING & PROPOSED RIGHT ELEVATIONS
- A3.4 EXISTING & PROPOSED REAR ELEVATIONS
- A4.1 SECTION 1-3
- A4.2 SECTION 4-8
- A5 3D MODEL
- L1 GENERAL NOTES
- L2 EXISTING CONDITION PLAN
- L3 HARDSCAPE DESIGN
- L4 HARDSCAPE DESIGN
- L5 LANDSCAPE DESIGN
- L6 IRRIGATION PLAN+ WATER EFFICIENT LANDSCAPE WORKSHEET
- L7 DETAILS

COVER SHEET

CLIENT

BINDU NEELAKANTAN & SURESH MUTHU

BUILDING 2

JOB NO.

21-7

DATE

MARCH

2022

REVISIONS

- 1. 12.22
- 1. SSITE DATA: ADDITION, FAR AND COVERAGE REVISION
- 2. COMMENTS FOR FIRE DEPARTMENT WAS ASDDED
- 3. SCOPE OF WORK REVISION PER EXPANDING THE SECOND FLOOR AND REMOVING THE BALCONEY.

CONSULTANT

DESIGN

Anat Shmariahu
ANAV Design
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408-206-5992

LANDSCAPE

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Landscape Designer
632-332-4287
HRANO Design
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East Palo Alto CA 94303

C1

Bindu Neelakantan & Suresh Muthu
301 Spagnoli Ct
Los Altos CA 94022

CONTEXT
MAP

CLIENT

BINDU
NEELAKANTAN &
SURESH MUTHU

BUILDING 2

JOB NO.

21-7

DATE

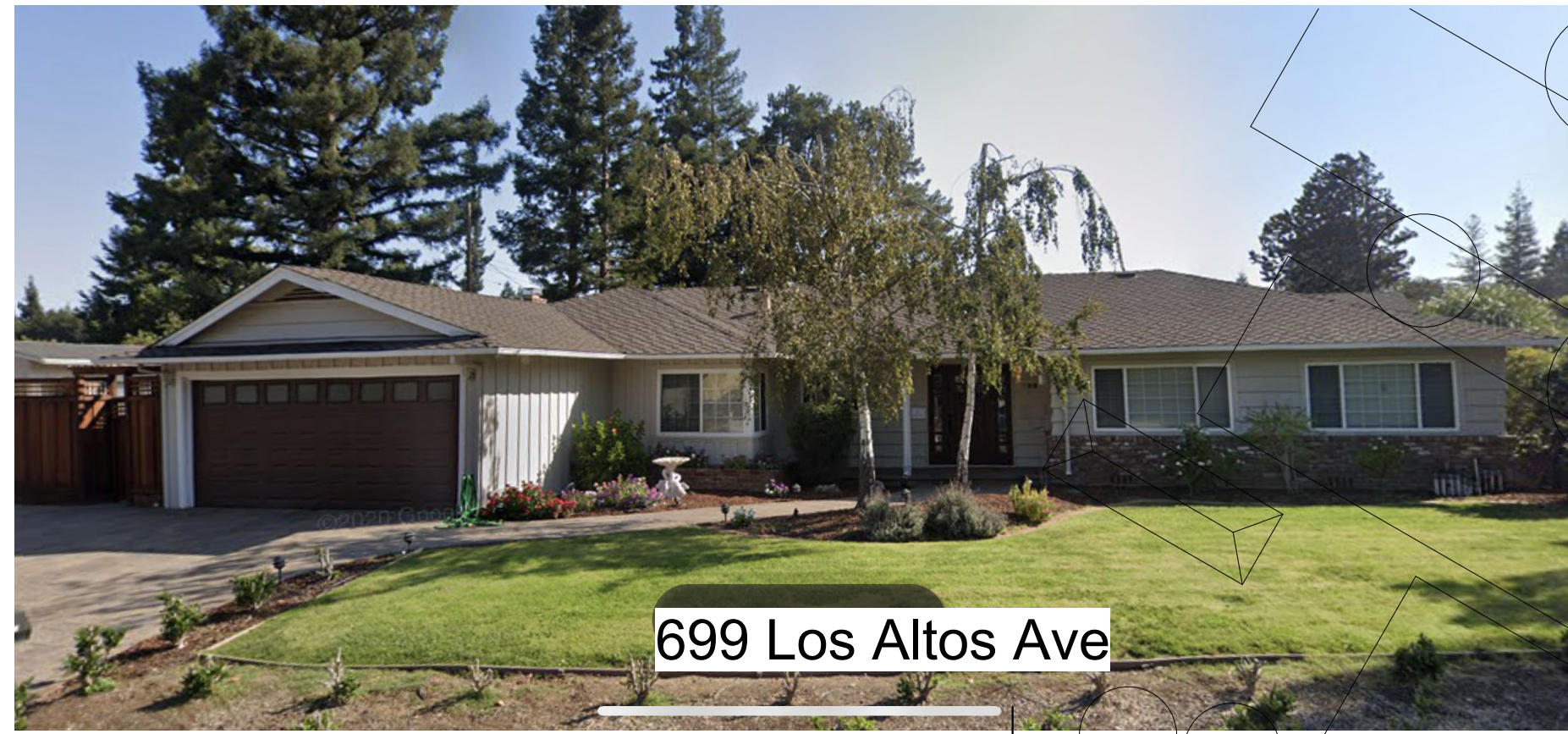
MARCH
2022

REVISIONS

C2



301 Spagnoli Ct



699 Los Altos Ave



270 Alba Ct



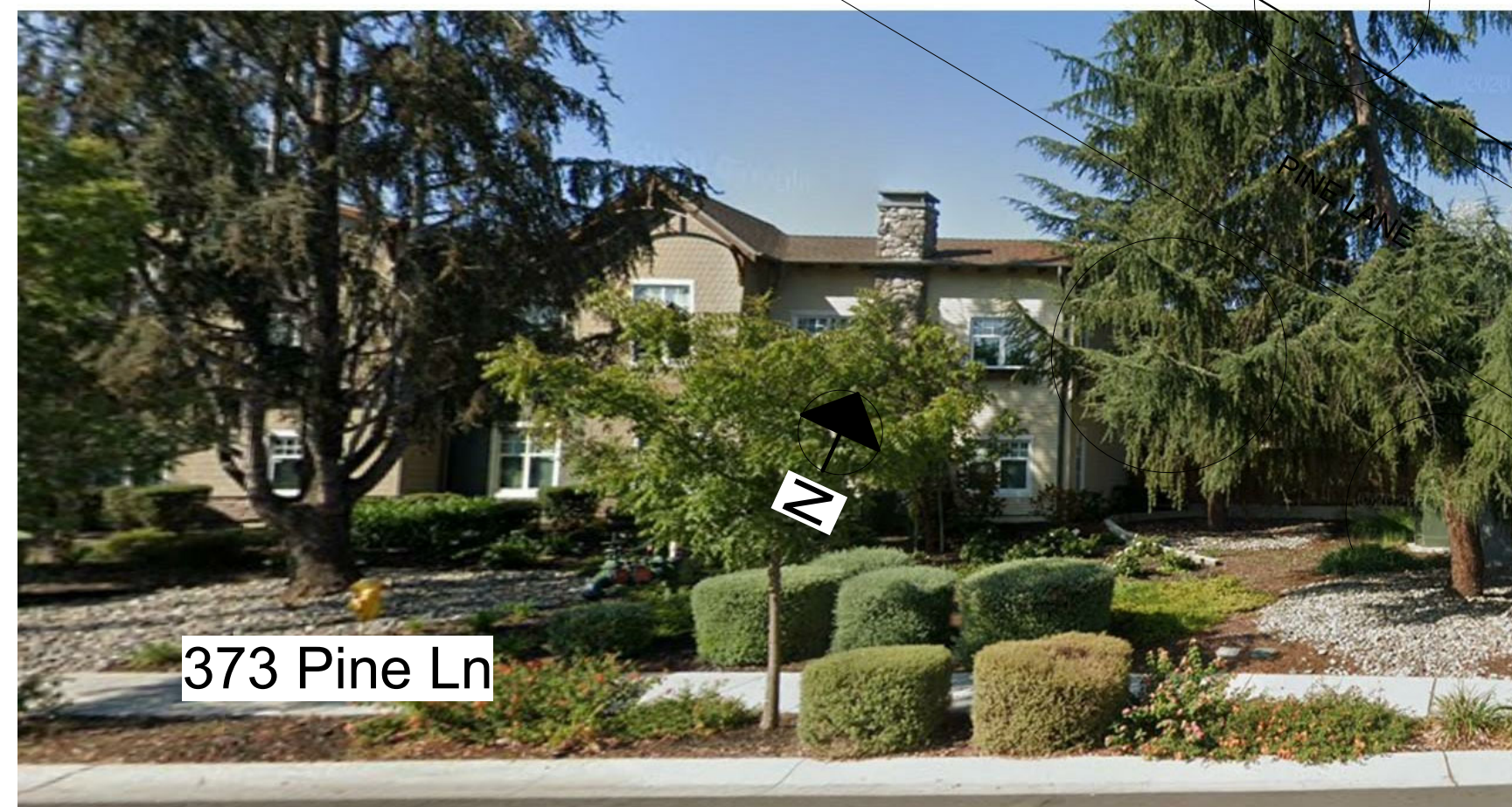
305 Spagnoli Ct



304 Spagnoli Ct



300 Spagnoli Ct



373 Pine Ln

1 NEIGHBORHOOD CONTEXT MAP
C2 1" = 40'-0"





NNR ENGINEERING
 SERVICES CO.
 688 WEBSTER DRIVE
 SAN JOSE, CALIFORNIA 95128
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CALIFORNIA

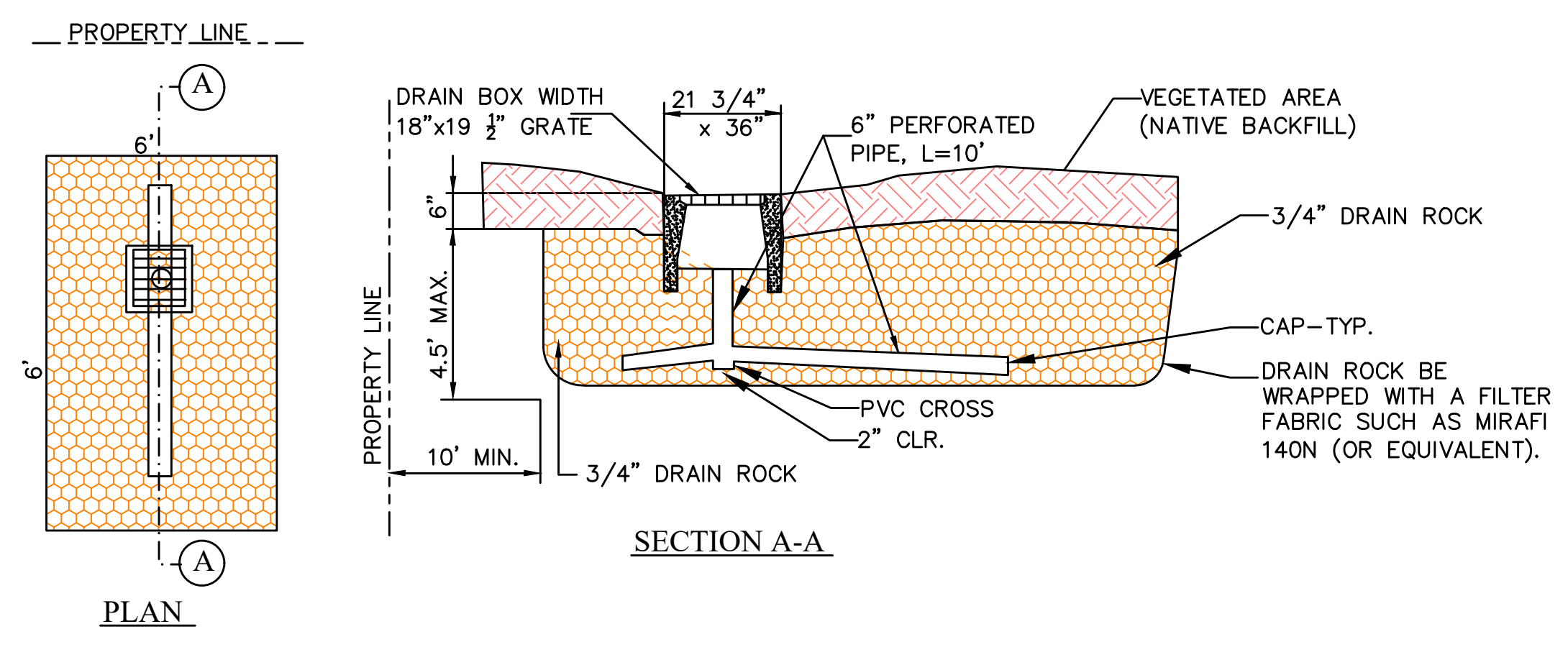
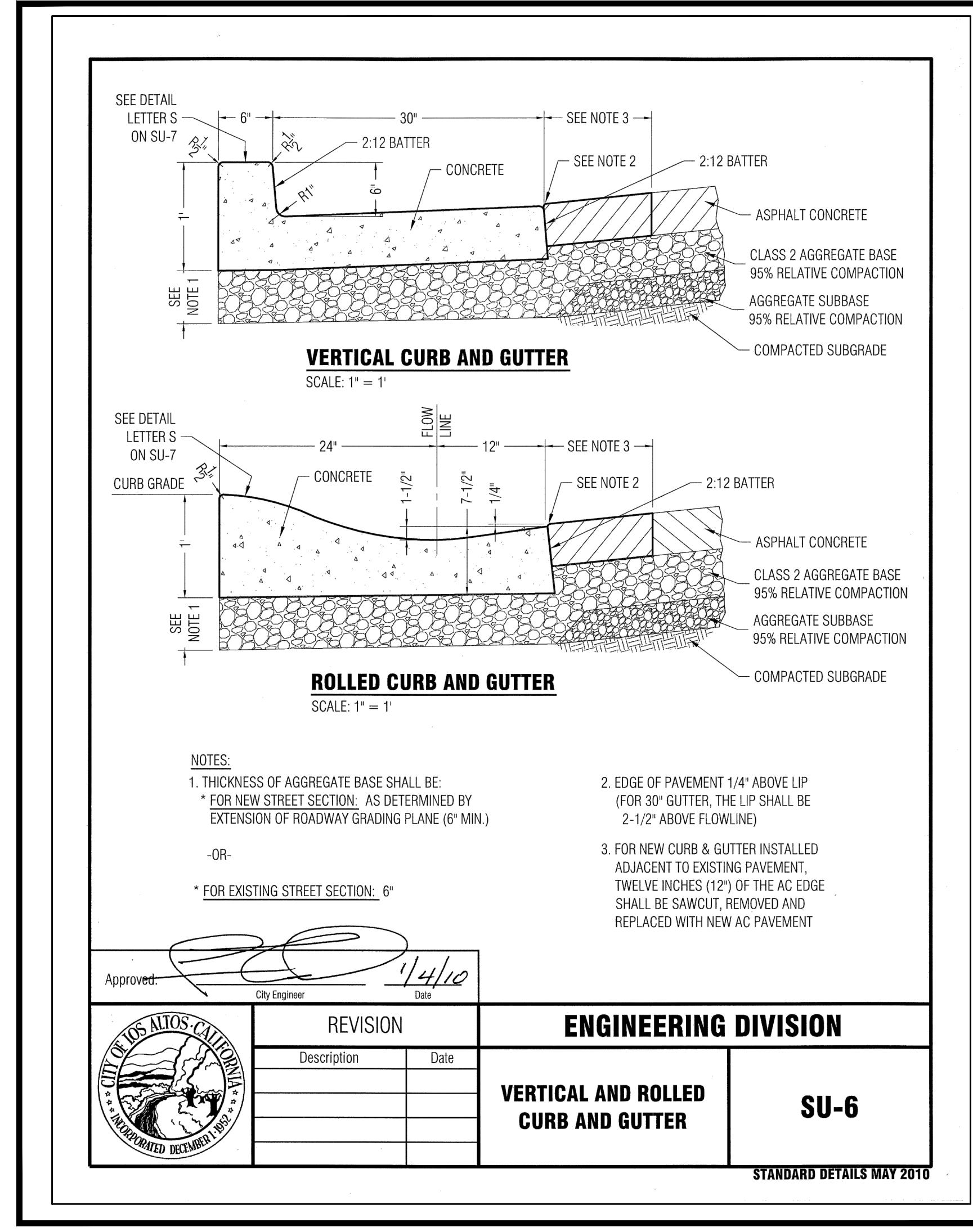
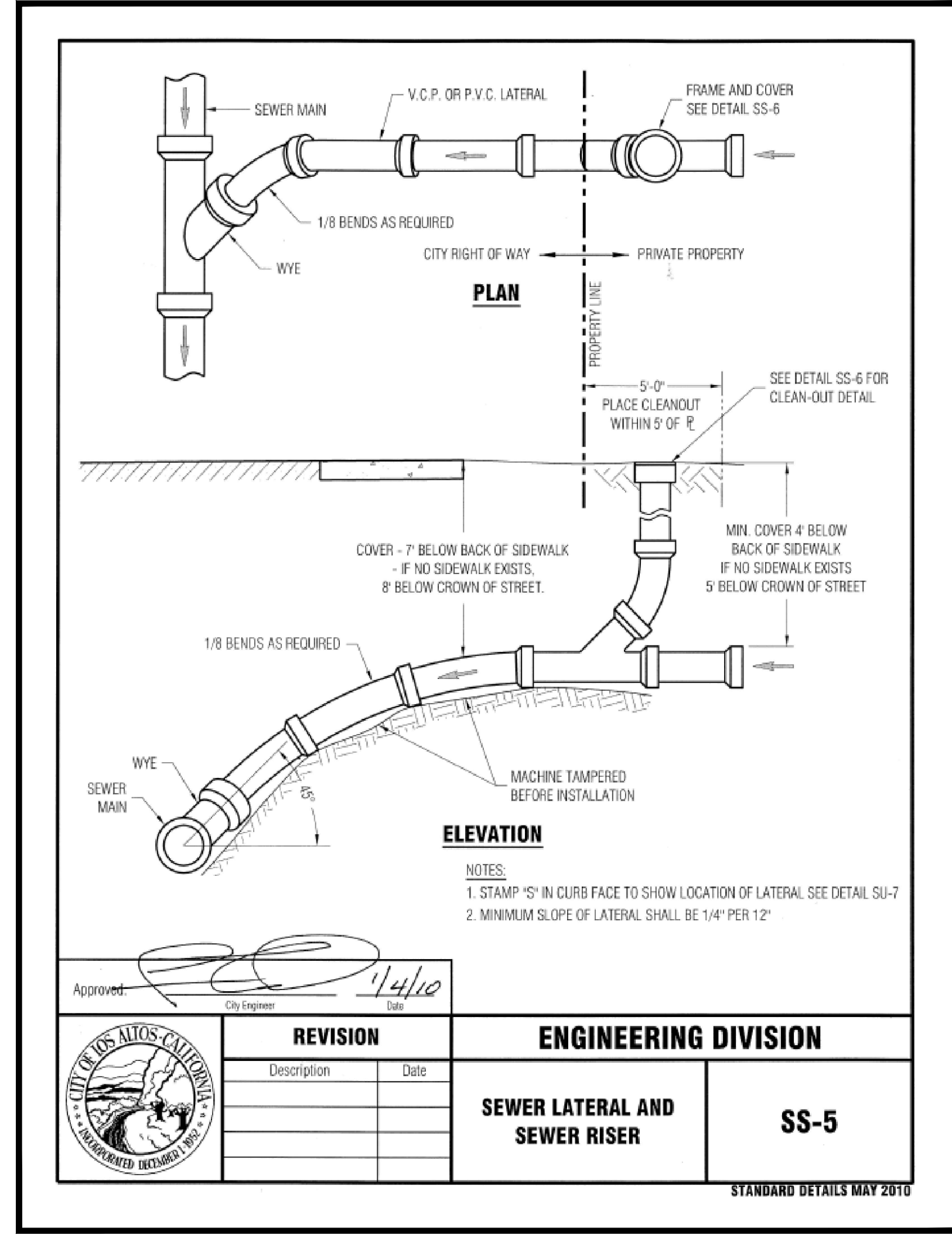
301 SPAGNOLI COURT
 LOS ALTOS

SANTA CLARA COUNTY

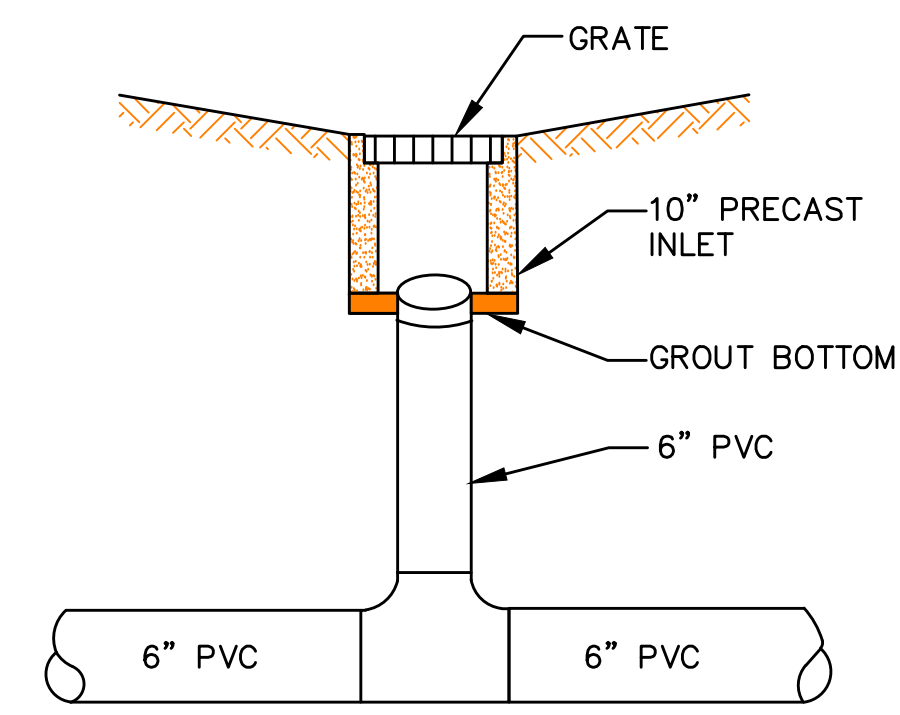
MISC. DETAILS

REVISIONS	DATE
JOB NO:	
DATE:	8-20-2021
SCALE:	N.T.S.
DRAWN BY:	NR
SHEET NO:	

C-2



INFILTRATION DEVICE TYPE 1 DETAIL
 N.T.S.



AREA DRAIN DETAIL
 N.T.S.



NJR ENGINEERING
REGISTERED CIVIL ENGINEER
N. J. RUFFOLO
655 WETMORE DRIVE
SAN JOSE, CALIFORNIA 95128
(408) 947-7805

CALIFORNIA

301 SPAGNOLI COURT
LOS ALTOS

SANTA CLARA COUNTY

BLUEPRINT FOR A
CLEAN BAY

DESIGNED BY:	LARRY LIND	APPROVED BY:	CITY OF LOS ALTOS	DATE:	OCTOBER, 2003
DRAWN BY:	VICTOR CHEN	CITY ENGINEER	R.C.E.	SCALE:	N.T.S.
CHECKED BY:	JIM GUSTAFSON	SHEET	OF	SHEETS	DRAWING NO:

REVISIONS DATE

JOB NO:

DATE: 8-20-2021

SCALE: N.T.S.

DRAWN BY: NR

SHEET NO:

C-4

OF 4 SHEETS

Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. To comply with this program, contractors must comply with the practices described in this drawing sheet.

Spill Response Agencies

DIAL 9-1-1
State Office of Emergency Services Warning Center (24 hours): 800-852-7550
Santa Clara County Environmental Health Services: (408) 299-6930

Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195
County of Santa Clara Integrated Waste Management Program: (408) 441-1198
County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS
Santa Clara County Recycling Hotline: 1-800-533-8414
Santa Clara Valley Water District: (408) 265-2600
Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151
Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300
Palo Alto Regional Water Quality Control Plant: (650) 329-2598
Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos
Building Department: (650) 947-2752
Engineering Department: (650) 947-2780

Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related materials that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drain openings, create serious problems, and is prohibited by law.



Los Altos Municipal Code Requirements

Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

A. Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading, swimming pools, spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.

B. Threatened discharge. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks, or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

A. A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines it is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

B. A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.

C. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.

D. No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Criminal and judicial penalties can be assessed for non-compliance.

Roadwork and Paving

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen often in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

Doing the Job Right

Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.
- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services

Storm Water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

Heavy Equipment Operation

Best Management Practices for the Construction Industry

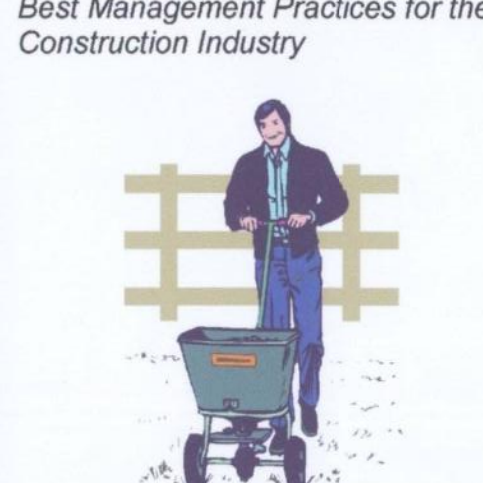


Best Management Practices for the Construction Industry

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

Doing The Right Job

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.

Landscaping/Garden Maintenance

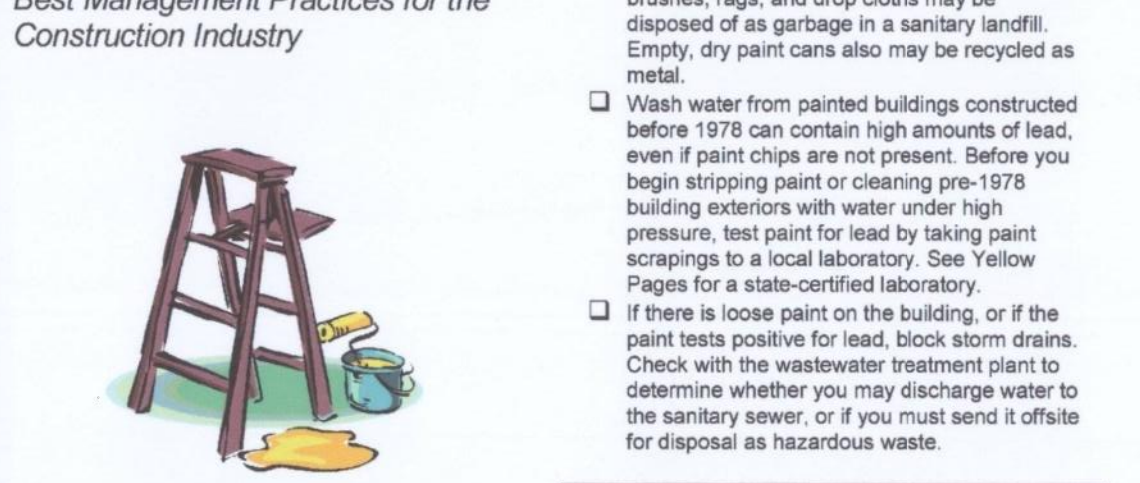
- Use pesticides sparingly, according to instructions on the label. Rise empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside pick-up of yard waste, place clippings and pruning waste in the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks and the San Francisco Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

General Construction And Site Supervision

Best Management Practices For Construction



Best Management Practices for the Construction Industry

- General contractors
- Site supervisors
- Inspectors
- Home builders
- Developers

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Doing The Job Right

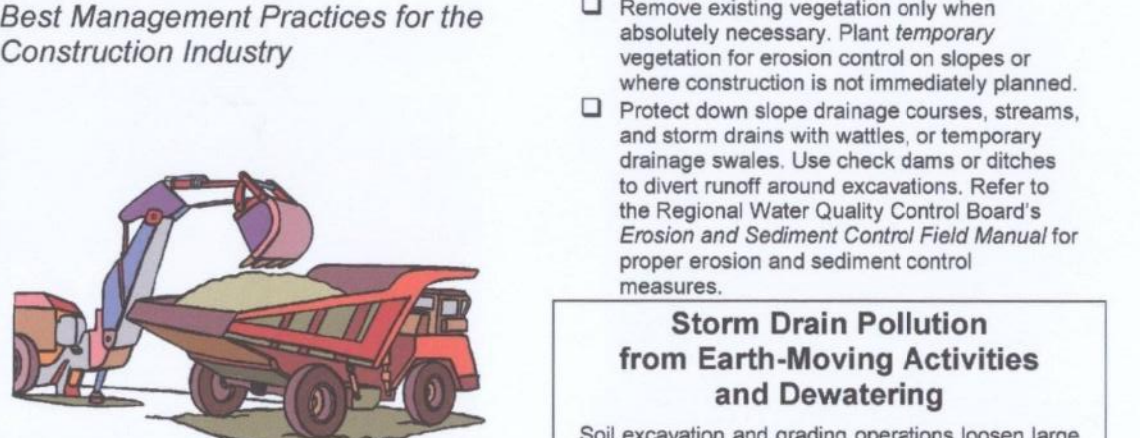
- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.
- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Manual, available from the Regional Water Quality Control Board, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

Good Housekeeping Practices

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, berms if necessary. Make major repairs off site.
- Keep materials out of the rain - prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before rain, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off of exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site.
- Set portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.
- Practice Source Reduction - minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleaned vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.
- Permits
- In addition to local building permits, you will need to obtain coverage under the State's General Construction Activity Storm Water Permit if your construction site disturbs one acre or more. Obtain information from the Regional Water Quality Control Board.

Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxic (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary rods or plastic sheets and berms.
- Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up, remove, and properly dispose of contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over-application by water trucks for dust control.

Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump wastewater liquor in storm drains.

Doing The Job Right

- Handling Paint Products
- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.
- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

Paint Removal

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (pump or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its decision.

Recycle/Reuse Leftover Paints Whenever Possible

- Recycle or donate excess water-based (latex) paint, or return to supplier.
- Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste.
- Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.

Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Best Management Practices for the Construction Industry

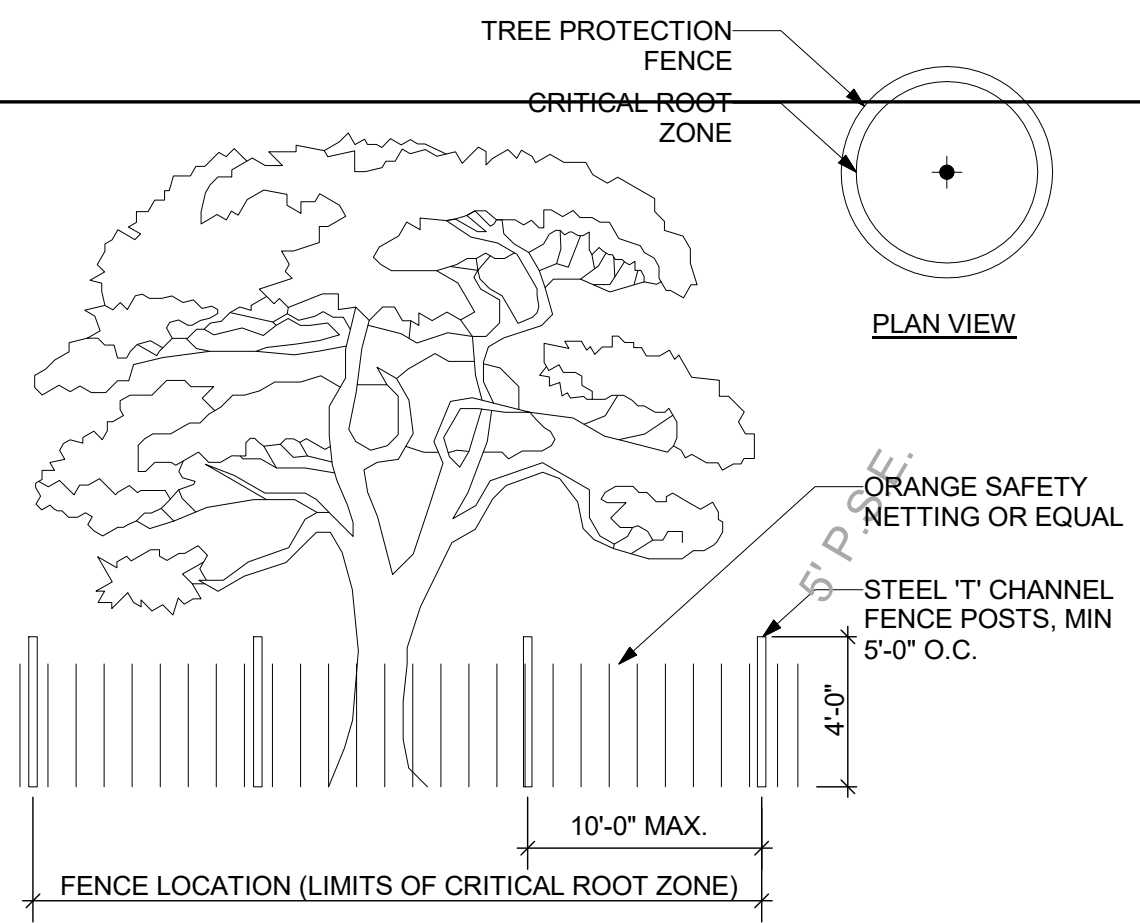
Santa Clara Urban Runoff Pollution Prevention Program

supplementary conditions

1. THE CONTRACTOR SHALL THOROLHY EXAMINE THE PERMIT AND SHALL BASE HIS BID UPON EXISTING CONDITIONS. ALL EXISTING CONDITIONS SHALL BE VERIFIED FOR COMPATIBILITY WITH NEW CONSTRUCTION SHOWN HERIN. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED BEFORE WORK CAN PROCEED.
 2. THE CONTRACTOR SHALL FIELD INSPECT THE JOB SITE PRIOR TO COMMENCEMENT OF WORK AND SHALL ADHERE TO ALL RULES GOVERNING CONSTRUCTION, BUILDING ACCESS, SAFETY AND THE USE OF THE FACILITIES AS SET BY THE BUILDING OWNER, BUILDING DEPARTMENT AND ALL OTHER LOCAL AGENCIES.
 3. THE CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES PER INDUSTRY STANDARDS UNLESS NOTED OTHERWISE. ALL PRODUCTS SHALL BE USED PER MANUFACTURERS RECOMMENDATION.
 4. ANY PORTION OF THE EXISTING BUILDING, SITE OR LANDSCAPING DAMAGED BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE RESTORED TO THE CONDITION PRIOR TO DAMAGE AT NO COST TO THE OWNER OR TENANT.
 5. NEITHER THE DESIGNER'S REVIEW OR APPROVAL OF SHOP DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR DEVIATIONS FROM THE INTENT OF THE DRAWINGS AND SPECIFICATIONS UNLESS AGREED TO BY THE DESIGNER IN WRITTEN FORM
 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATE OF ALL WORK IN THE FIELD TO ENSURE TIMELY COMPLETION OF THE PROJECT.
 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE WORK, INCLUDING, BUT NOT LIMITED TO:
 - 1) ALL WORK REQUIRED TO PREPARE FOR NEW WORK.
 - 2) THE REMOVAL OR RELOCATION OF ALL EXISTING PIPES, CONDUITS, WIRES EST.
 - 3) THE TEMPORARY SHORING REQUIRED DURING CONSTRUCTION TO ALLOW FOR NEW WORK.
 - 4) THE PROTECTION OF THE WORK FROM ANY DAMAGE DUE TO FIRE, WEATHER OR VADALISM.
 - 5) THE REMOVAL OF ALL DEBIES AND ECCESS MATERIAL AMD BROOM CLEANING EACH AREA AFTER WORK IS COMPLETED.
 8. Notes For Fire Department

A. Water Supply Requirements: Portable Water Supplies Shall be Protected From Contamination Caused By Fire Protection Water Supplies. It Is The Responsibility Of The Applicant And Any Contractors And Subcontractors to Contact The Water Purveyor Supplying The Site Of Such Project, And To Comply With The Requirements Of That Purveyor. Final Approval Of The System Under Consideration Will Not be Granted By The This Office Until Compliance With Requirements Of The Water Purveyor Of Record Are Documented By That Purveyor As Having Been Met By The Applicant.

B. Address Identification: New And Existing Building Have Approved Address Numbers Or Approved Building Identification Placed In Position That Is Plainly Legible And Visible From The Street Or Road Fronting The Property. These Numbers Shall Contrast With Their Background. Address Numbers Shall Be Arabic Numbers Or Alphabetical Letters. Numbers Shall Be Min Of 4" High With A Min Stroke Width Of 0.5". Where Access Is By Means Of Private Road And The Building Cannot Be Viewed From The Public Way, A Monument, Pole Or Other Sign Or Means Shall be Used To Identify The Structure.
 9. Contractor Shall Locate And Raise To Grade An Existing Property Line Cleanout. Property Line Cleanout Must Be Within 5' Of The Property Line. Cleanout Shall Be The Same Diameter At Least 48 Hours To Schedule District Inspection. District To Provide Building Department With Written Notification Upon Completion Of Inspection.
 10. District Inspection Is Required Prior To Clearance For City Of Cupertino Final Inspection. Owner To Call District At Least 48 Hours To Schedule District Inspection. District To Provide Building Department With Written Notification Upon Completion Of Inspection.
- All Conditions, Requirments And Recomendations Are To Completed At The Owner's Expense.
Storm Water Surface Or Roof Drains, Other General Surface Runout Water Or Condensate From Anr Residential Havn Equipment Shal Not Be Discharged To The Sanitary Sewer.
Provide Retainer Basins of Sufficient size to Retain Storm Water on Site. CGBC SEC 4.106.2



- TREE PROTECTION NOTES:**
1. TREE PROTECTION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE.
 2. TREE CALLED OUT FOR PRESERVATION SHALL BE FENCED AT CRITICAL ROOT ZONE AREA. PLACE 4-6 INCH BARK MULCH BENEATH DRIPLINE OF TREE TO BE PRESERVED. KEEP BARK 2-3 FEET FROM TREE TRUNK.
 3. FENCING SHALL BE 4 FEET TALL ORANGE SAFETY NETTING OR EQUAL WITH STEEL POSTS EMBEDDED IN THE GROUND.
 4. NO GRADING SHALL OCCUR WITHIN THE CRITICAL ROOT ZONE/FENCED AREA OF EXISTING TREE.
 5. NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE FENCED AREA OF EXISTING TREE
 6. THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREE TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

zoning compliance

MAX FLOOR AREA CALC:
11,348-11,000=348 x 10%= 34.8+ 3,850 = 3,884.8 SF

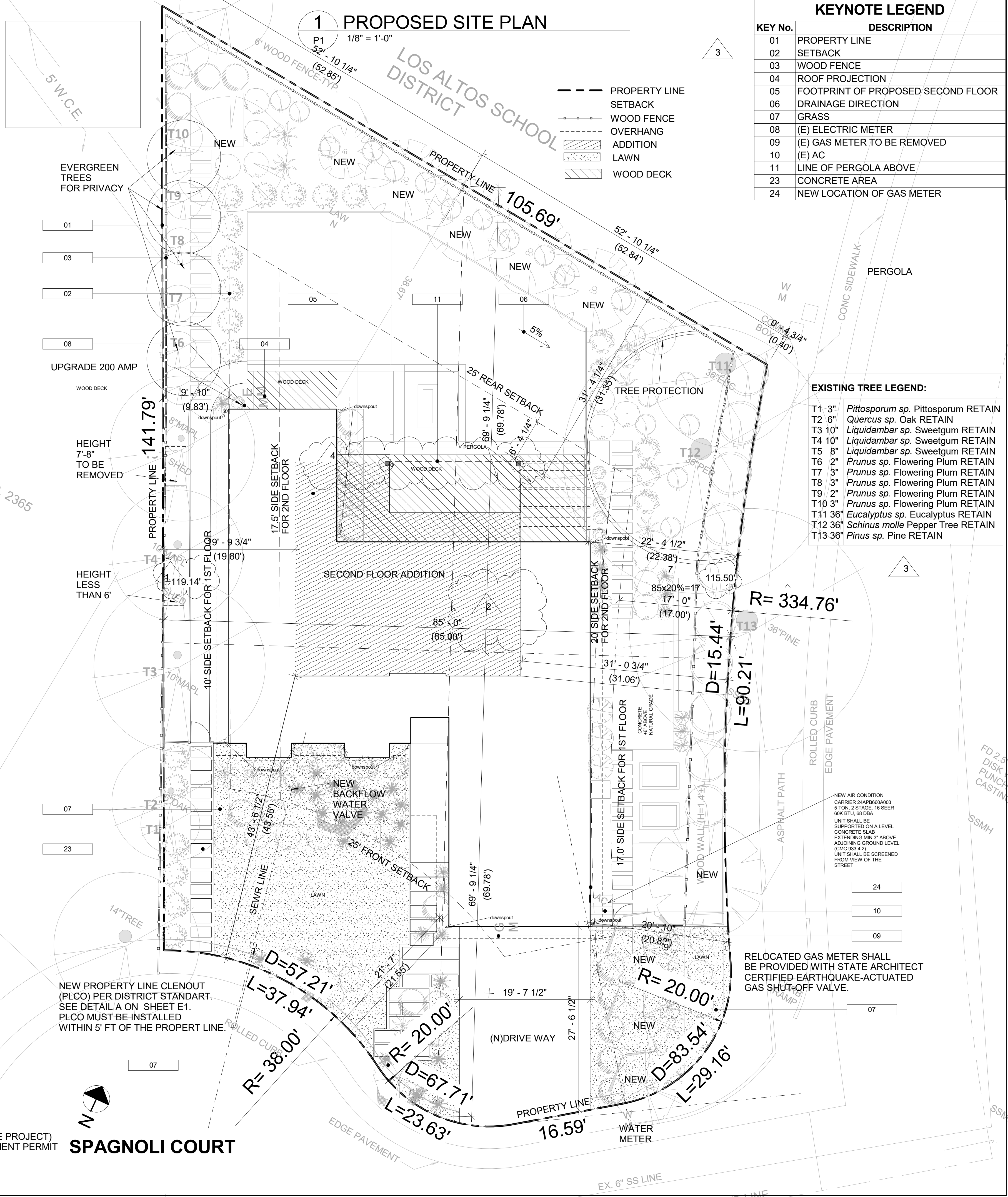
LOT: 11,348 SF
A.P.N: 167-24-030
ZONE: R1-10

	EXISTING	PROPOSED	ALLOWED/ REQUIRED	
LOT COVERAGE	2,567.9 SF 22.6%	3,033.7 SF 26.7%	3,404.4 SF 30%	
FLOOR AREA RATIO TOTAL %	2,545.9 SF 22.4%	3,463.57 SF 30.5%	3,884.8 SF 34.2%	
SETBACKS		ALLOED	2ED FLR	ALLOWED
FRONT	21.7'	25.0'	43.55'	25.0'
REAR	38.07'	25.0'	31.35'	25.0'
RIGHT	20.69'	17.0'	31.15'	20.0'
LEFT	9.83'	10.0'	19.80'	17.5'
HEIGHT	14'-10 1/2"	24'-8 1/2"		
SF BREAKDOWN FLOOR AREA		EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2,053.9 SF	+902.03 SF		2,955.9 SF
NON HABITABLE AREA	492SF	-18 SF		474 SF
LOT CALCULATION:	NET LOT AREA	11,348 SF		
25' FRONT YARD AREA	2,298 SF			
PERMEABLE AREA	1452 SF 63%			
IMPERVIOUS AREA	845.8 SF 36.8%			
LANDSCAPE BREAKDOWN	# TOTAL LANDSCAPE AREA:	5,973.40 SF		
	EXISTING SOFTSCAPE:	774.30 SF		
	NEW SOFTSCAPE:	5,199.1 SF		
	# TOTAL HARDSCAPE:	5374.60 SF		
	BUILDING FOOTPRINT:	3,325 SF		
	CONCRETE (include driveway):	2,049.60 SF		
	TOTAL LOT AREA	11,348 SF		

NO CONCENTRATED FLOW IS PERMITTED ACROSS THE RIGHT-OF-WAY AND NO DRAINAGE IS PERMITTED TO FLOW TO NEIGHBORING PROPERTIES

ANY EXISTING DOWNSPOUTS THAT CONNECT DIRECTLY TO THE STORM DRAIN SYSTEM SHALL BE DISCONNECTED AND DIRECTED TOWARDS LANDSCAPED AREAS WITH SPLASH BLOCKS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM THE FOUNDATION.

IF THE PROJECT DAMAGES THE CITY'S SIDEWALK, DRIVEWAY, OR CURB AND GUTTER AS RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE ANY BROKEN CONCRETE (EXISTING OR DAMAGES BY THE PROJECT) AS DIRECTED BY THE PUBLIC WORKS INSPECTOR. AN ENCROACHMENT PERMIT WILL ALSO BE REQUIRED.



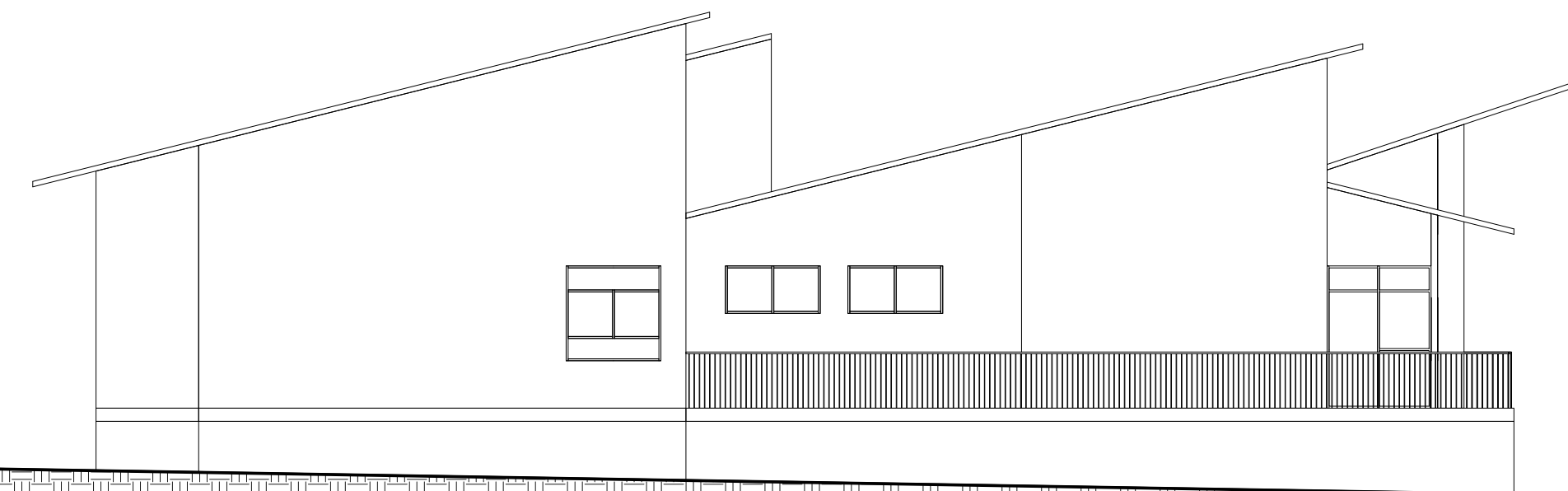
KEYNOTE LEGEND

KEY No.	DESCRIPTION
01	PROPERTY LINE
02	SETBACK
03	WOOD FENCE
04	ROOF PROJECTION
05	FOOTPRINT OF PROPOSED SECOND FLOOR
06	DRAINAGE DIRECTION
07	GRASS
08	(E) ELECTRIC METER
09	(E) GAS METER TO BE REMOVED
10	(E) AC
11	LINE OF PERGOLA ABOVE
23	CONCRETE AREA
24	NEW LOCATION OF GAS METER

EXISTING TREE LEGEND:

T1 3"	<i>Pittosporum</i> sp. Pittosporum RETAIN
T2 6"	<i>Quercus</i> sp. Oak RETAIN
T3 10"	<i>Liquidambar</i> sp. Sweetgum RETAIN
T4 10"	<i>Liquidambar</i> sp. Sweetgum RETAIN
T5 8"	<i>Liquidambar</i> sp. Sweetgum RETAIN
T6 2"	<i>Prunus</i> sp. Flowering Plum RETAIN
T7 3"	<i>Prunus</i> sp. Flowering Plum RETAIN
T8 3"	<i>Prunus</i> sp. Flowering Plum RETAIN
T9 2"	<i>Prunus</i> sp. Flowering Plum RETAIN
T10 3"	<i>Prunus</i> sp. Flowering Plum RETAIN
T11 36"	<i>Eucalyptus</i> sp. Eucalyptus RETAIN
T12 36"	<i>Schinus molle</i> Pepper Tree RETAIN
T13 36"	<i>Pinus</i> sp. Pine RETAIN

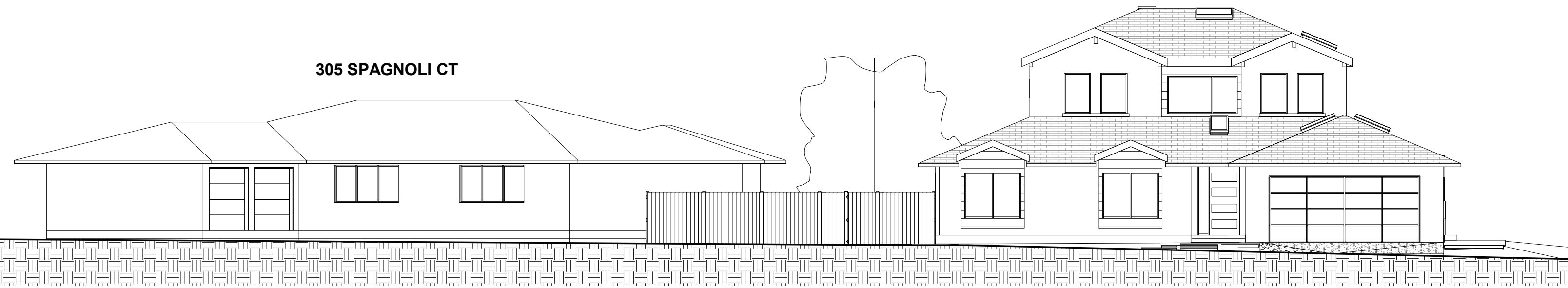
- 3.01.22
- 1. FAR AND COVERAGE WAS REVISED:
- COVERED PORCH WAS REMOVED
- ONE OF THE STORAGE STRUCTURE WAS REMOVED
- 2. STREETSCAPE WAS ADDED



5 LOS ALTOS AVE STREETCAPE

PROJECT LOT
301 SPAGNOLI CT

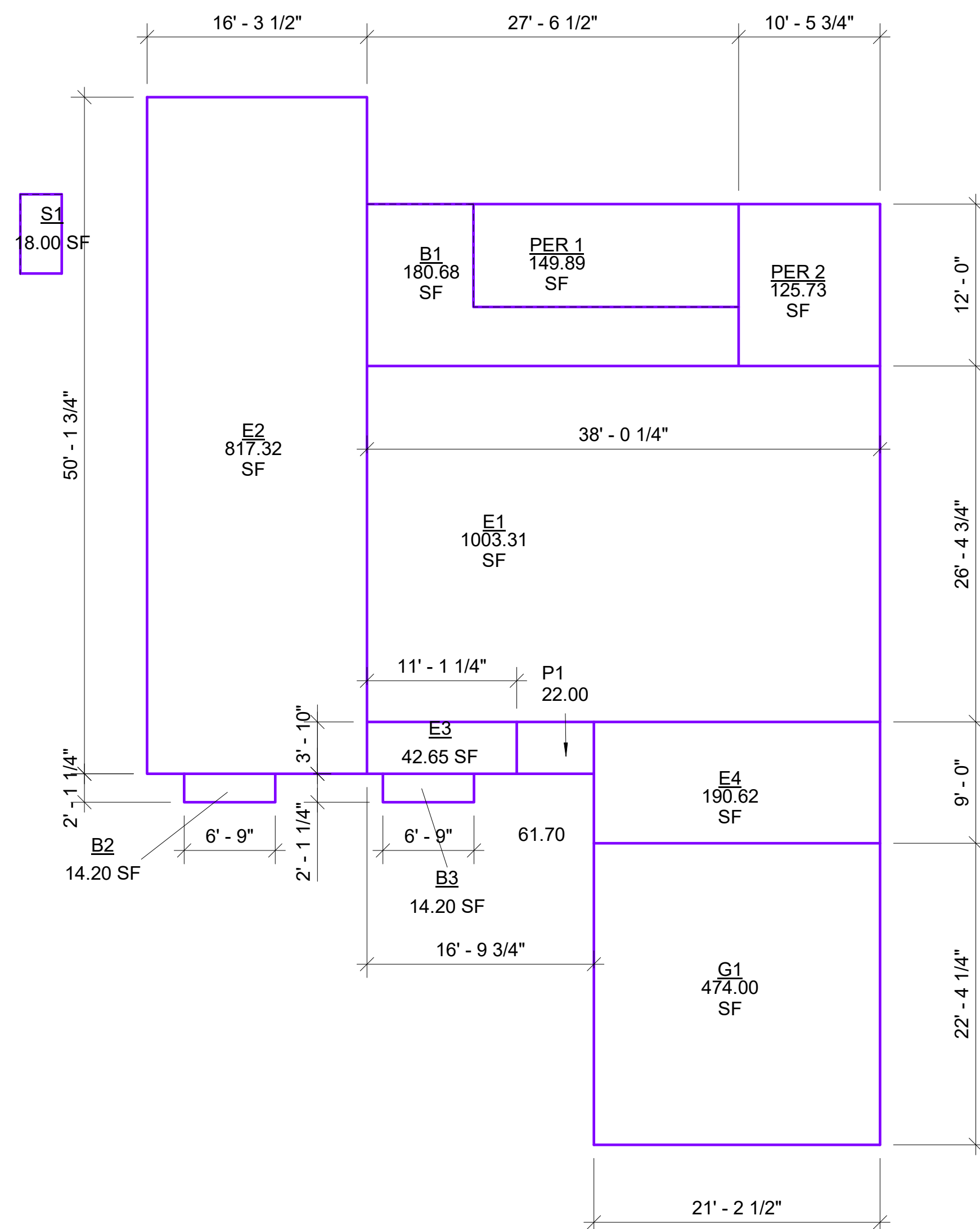
P1.1 1" = 10'-0"



4 SPAGNOLI CT STREETCAPE

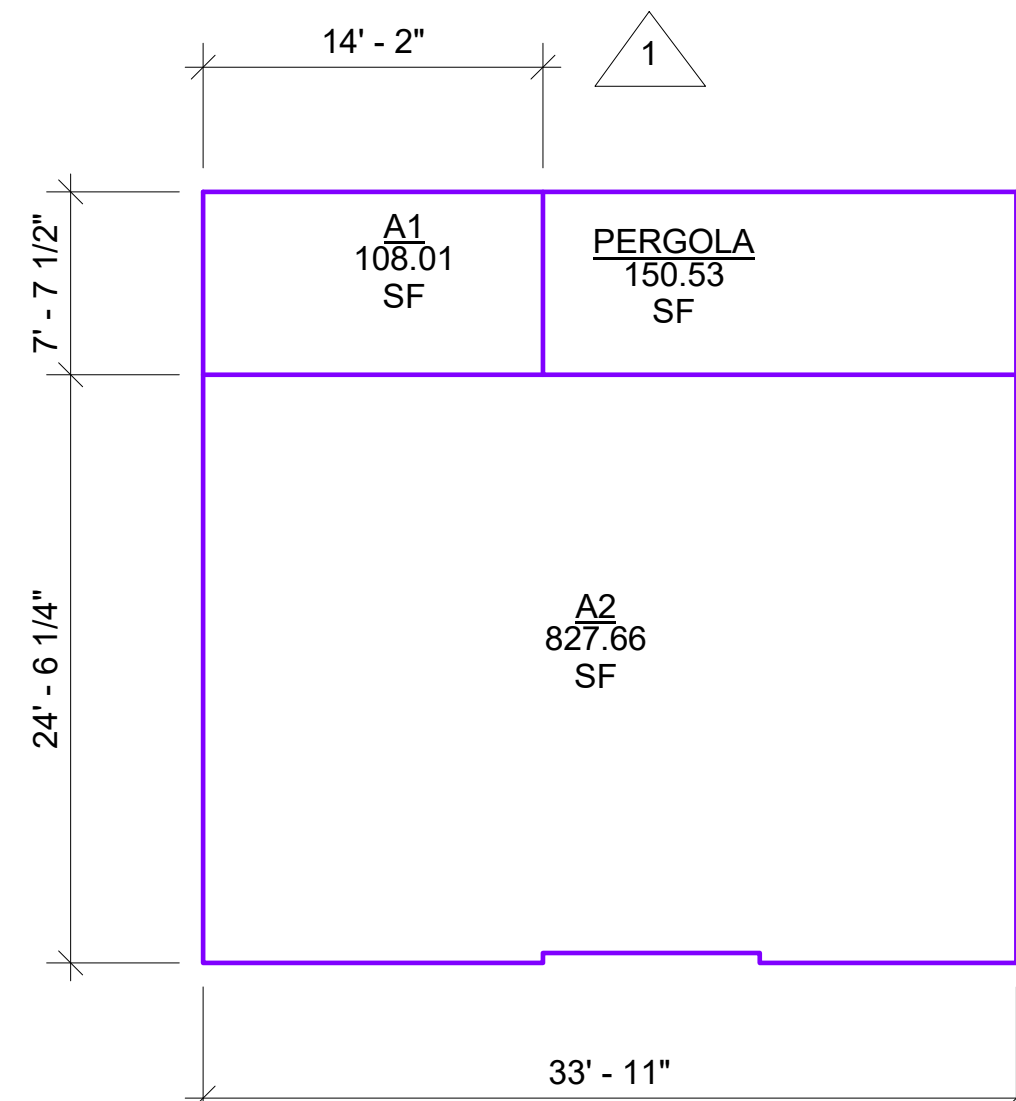
PROJECT LOT
301 SPAGNOLI CT

P1.1 1" = 10'-0"



1 FIRST FLOOR AREA DIAGRAM

P1.1 1/8" = 1'-0"



3 2ND FLR AREA DIAGRAM

P1.1 1/8" = 1'-0"

EXISTING		
SECTION	DIMENSIONS	AREA
E1	38' - 0 1/4" x 26' - 4 3/4"	1003.31 SF
E2	16' - 3 1/2" x 50' - 1 3/4"	817.32 SF
E3	11' - 1 1/4" x 3' - 10"	42.65 SF
E4	21' - 2 1/2" x 9' - 0"	190.62 SF
G1	21' - 2 1/2" x 22' - 4 1/4"	474.00 SF
P1		22.00 SF
PER 1	27' - 6 1/2" x 13' - 0 1/2"	149.89 SF
PER 2	10' - 5 3/4" x 13' - 0 1/2"	125.73 SF
PERGOLA		150.53 SF
S1		18.00 SF
Grand total		2994.04 SF
ADDITION		
SECTION	DIMENSIONS	AREA
A1	14' - 2" x 5' - 3"	108.01 SF
A2	33' - 11" x 24' - 6 1/4"	827.66 SF
Grand total		935.67 SF

EXISTING

TOTAL FLOOR AREA: HABITABLE AREA+ NONHABITABLE
 HABITABLE: E1+E2+E3+E4= 1003.31+817.32+42.65+190.62= 2,053.9 SF
 NONHABITABLE: G1(GARAGE)+S1(SHED)+ P1=474+ 18 =492.0 SF
 TOTAL FLOOR AREA= 2,053.9+ 492= 2,545.9 SF
 TOTAL COVERAGE: = 2,053.9 + 514= 2,567.9 SF
 HABITABLE: E1+ES+E3+E4= 2,053.9 SF
 NONHABITABLE:G1+P1+S1= 474+22+18= 514.0

PROPOSED

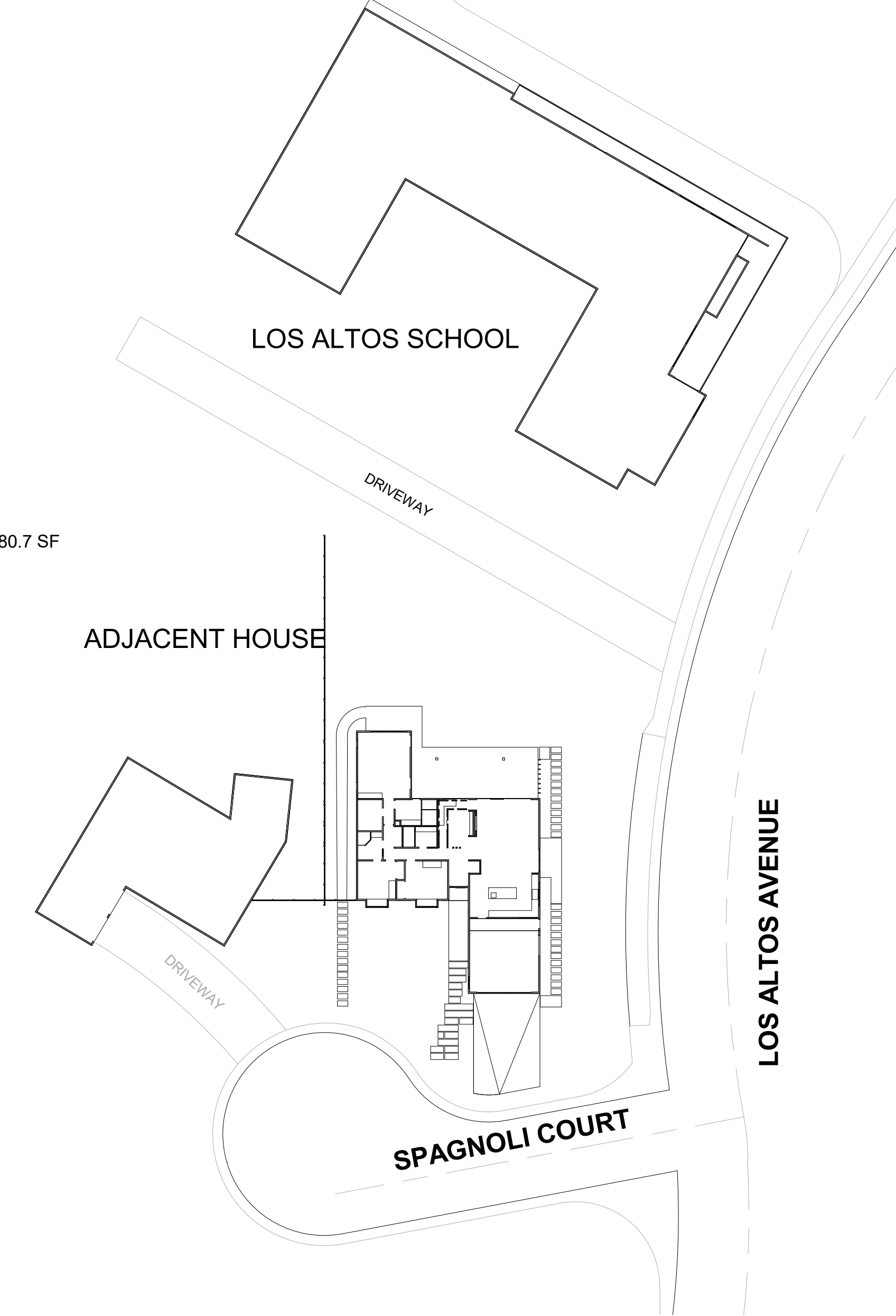
TOTAL FLOOR AREA: HABITABLE + NONHABITABLE
 HABITABLE: HABITABLE EXISTING+A1+A2 = 2053.9+ 935.67= 2,989.57 SF
 NONHABITABLE:G1(GARAGE)+ P1= 474= 474 SF
 TOTAL FLOOR AREA: 2,955.93+ 474= 3,463.57 SF

COVERAGE: HABITABLE+ NONHABITABLE
 HABITABLE EXISTING= 2053.9F
 NONHABITABLE: G1+P1+B2X2+B1+PER1+2=474+22+28.4+180.68+275.62=980.7 SF
 TOTAL COVERAGE:2,053.9+994.63= 3,033.7 SF

PARCEL AREA
 GROSS AREA 11,348 SF
 LANDSCAPE: 5,973.40 SF
 HARDSCAPE 5374.60 SF:
 # BUILDING FOOTPRINT 3,325 SF
 # (E)DRIVE WAY SF 618.30 SF
 # CONCRETE PAVED SF 1431.30 SF

25' FRONT YARD AREA: 2,298 SF
 ALLOWED IMPERVIOUS: 1,149 SF = 50 %
 PERMEABLE: P1+P2+P3= 1,452.2 SF = 63.2 %
 IMPERVIOUS: 11+I2= 845.8 SF =36.8 %

PROPOSED		
SECTION	DIMENSIONS	AREA
A1	14' - 2" x 5' - 3"	108.01 SF
A2	33' - 11" x 24' - 6 1/4"	827.66 SF
B1		180.68 SF
B2	6' - 9" x 2' - 1 1/4"	22.00 SF
B3	6' - 9" x 2' - 1 1/4"	14.20 SF
E1	38' - 0 1/4" x 26' - 4 3/4"	1003.31 SF
E2	16' - 3 1/2" x 50' - 1 3/4"	817.32 SF
E3	11' - 1 1/4" x 3' - 10"	42.65 SF
E4	21' - 2 1/2" x 9' - 0"	190.62 SF
G1	21' - 2 1/2" x 22' - 4 1/4"	474.00 SF
P1		21.99 SF
PER 1	27' - 6 1/2" x 13' - 0 1/2"	149.89 SF
PER 2	10' - 5 3/4" x 13' - 0 1/2"	125.73 SF
PERGOLA		150.53 SF
S1		18.00 SF
Grand total		4138.80 SF



2 STREETSCAPE SITE PLAN

P1.1 1" = 30'-0"

DEMOLITION NOTES

PROTECTION OF EXISTING FEATURES

The contractor shall exercise reasonable precaution to protect existing materials and finishes to remain and/or all existing substrates to receive new finish, provide protective covering all wall and ceiling finishes to remain in the project area.

DEMOLITION

Remove all walls, ceilings, finishes, fixtures, appliances etc* as needed.
Remove from demolished walls or portion of walls all power circuits and switch legs back to first junction box unless otherwise noted, remove and save any millwork or wall mounted plumbing fixture from walls indicated to be demolished and not otherwise shown.

SALVAGE

The contractor shall walk through with owner prop to demolition to determine fixtures and materials to be salvage and re-used on the project. those shall be stored on site and protected from damage.

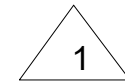
DOORS AND WINDOWS

Windows and doors shall be removed and replaced as shown on floor plan and per T-24 instructions.

ROOF

New roof will be plywood, vented gutter will be added on addition.
30 years composition shingles grade aged solar reflectant 0.65 or grater and thermal emittance 0.85.
all per T-24.

	EXISTING	PRESERVED	DEMOLISHED
1ST FLOOR	270.97'	218.94'	52.03'
ROOF	3,199.62'	1,982.21'	1,217.41'

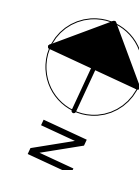


TOTAL PRESERVED WALL FRAMING: 218.94' 80.9%
TOTAL PRESERVED ROOF FRAMING: 1,982.21 61.95%
NO FOUNDATION IS BEING DEMOLISHED.

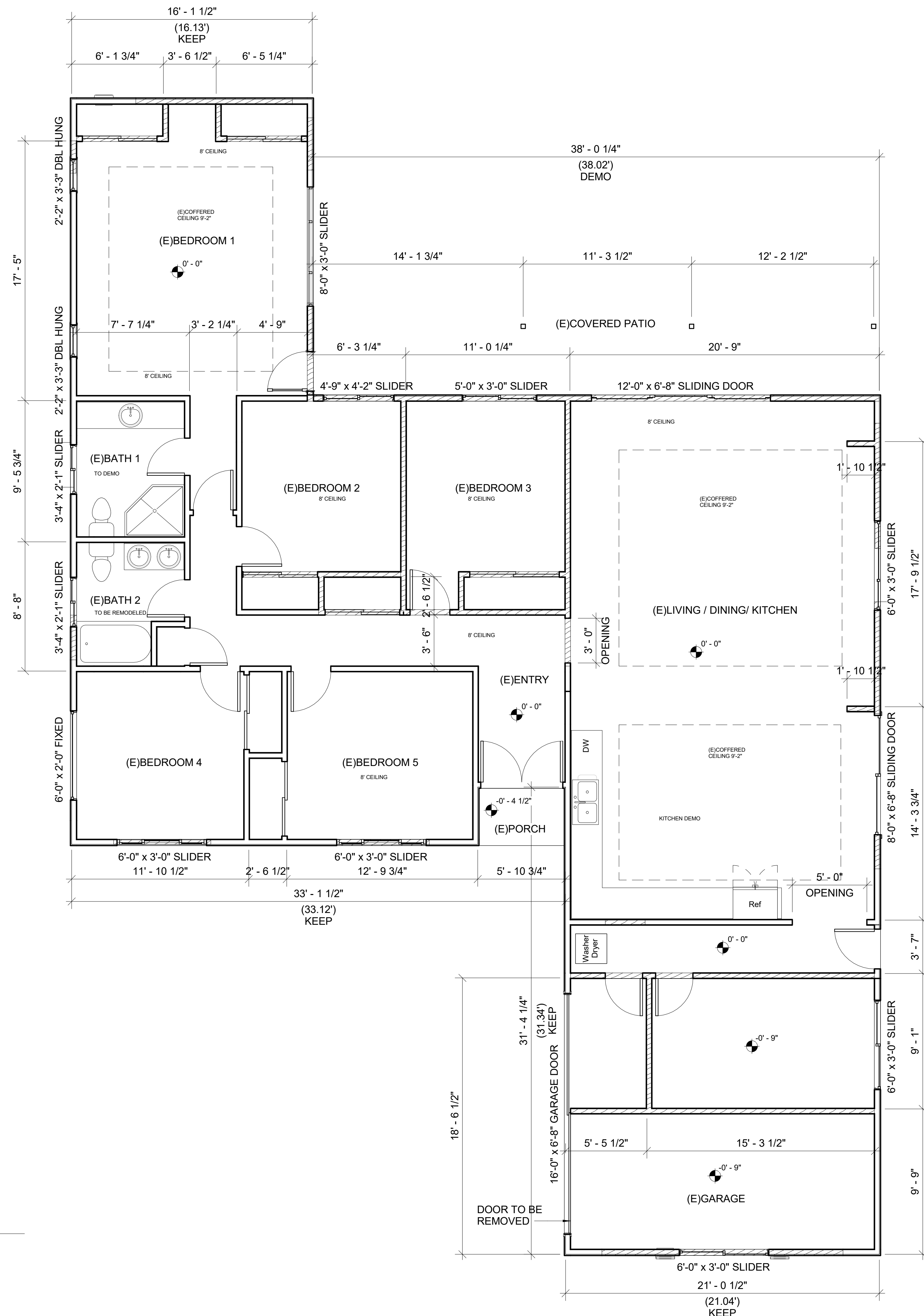
EXTERIOR WALL DEMOLITION CALCULATION

TOTAL LENGTH (T.L.)	270.97'
50% TOTAL LENGTH	135.485'
TOTAL LENGTH TO BE DEMOLISHED	52.03'
TOTAL LENGTH TO BE REMAIN	218.94' > 50% T.L.

- DEMOLITION
- EXISTING WALL



1 EXISTING FLOOR PLAN
A0.1 1/4" = 1'-0"



Bindu Neelakantan & Suresh Muthu
301 Spagnoli Ct
Los Altos CA 94022

EXISTING
ROOF
PLAN+DEMO

CLIENT

BINDU
NEELAKANTAN &
SURESH MUTHU

BUILDING 2

JOB NO.

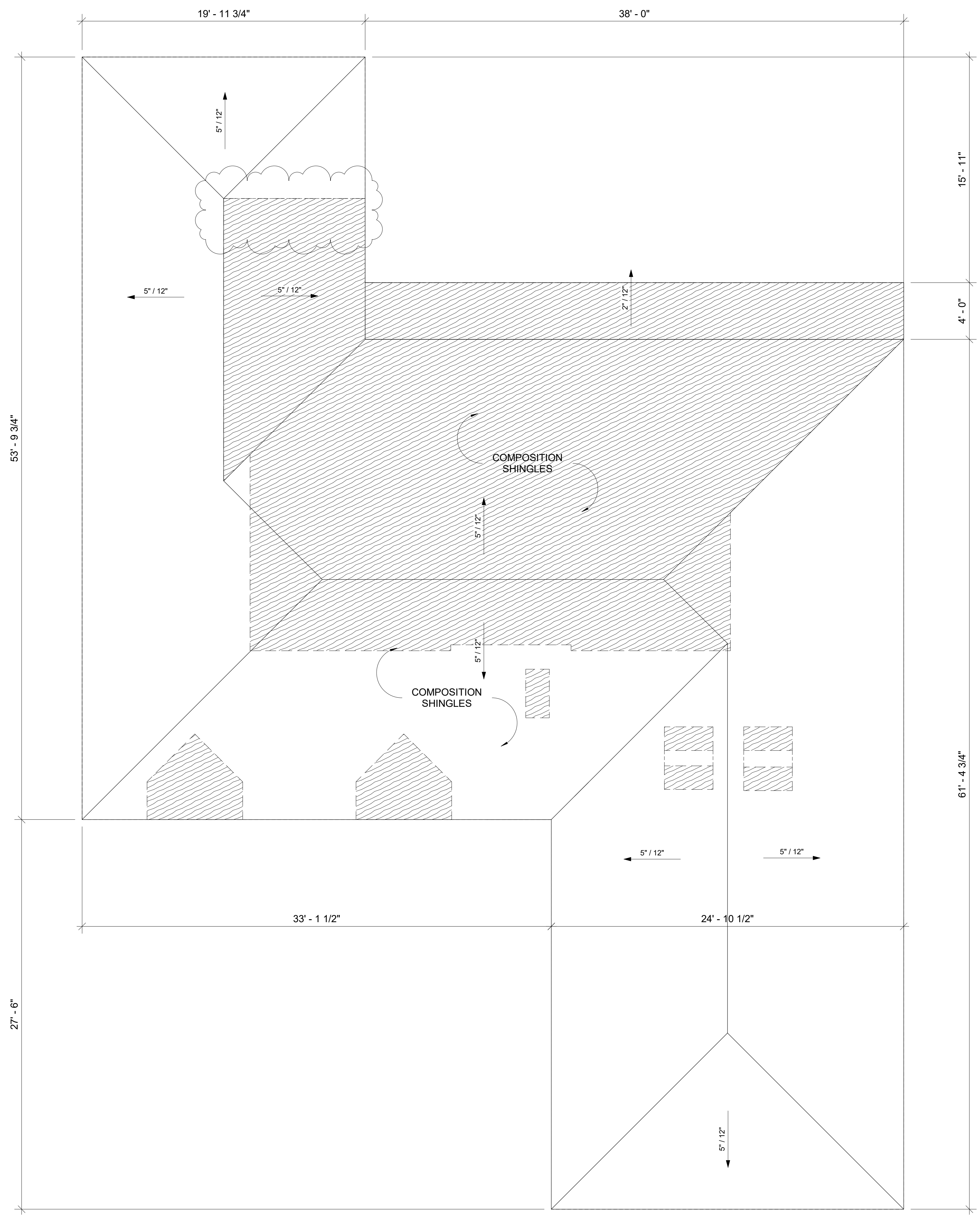
21-7

DATE

MARCH
2022

REVISIONS

3.1.22
1. roof demolition calculation



ROOF DEMOLITION CALCULATION

TOTAL ROOF AREA (T.R.A.)	3,199.62 SF
50% TOTAL ROOF AREA	1,599.81 SF
TOTAL ROOF AREA TO BE DEMOLISHED	1,240.41 SF
TOTAL ROOF AREA TO BE REMAIN	1,959.21 SF > 50% T.R.A.

- DEMOLITION AREA
- EXISTING TO REMAIN

1 EXISTING ROOF PLAN
A0.2 1/4" = 1'-0"

PROPOSED
1ST FLOOR
PLAN

CLIENT
BINDU
NEELAKANTAN &
SURESH MUTHU

BUILDING 2

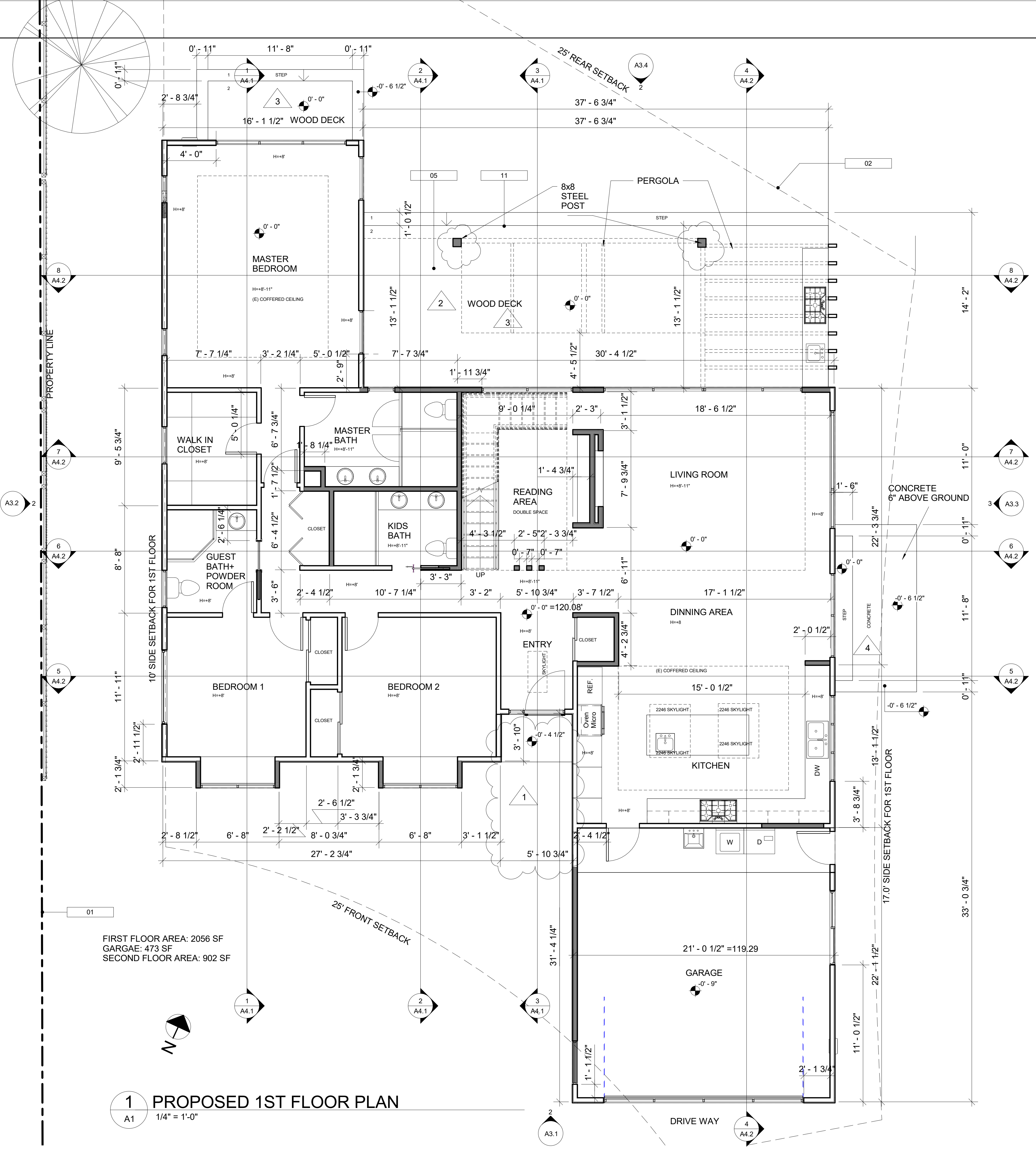
JOB NO.
21-7
DATE
MARCH
2022

REVISIONS

- 1.12.22
- 1. REMOVING THE COVERED PORCH AND THE POSTS.
- 2. ADDING METAL 8X8 POSTS.
- 3. WOOD DECK LOCATION.
- 4. NO DECK ON THE SIDE OF THE HOUSE INSTED WILL BE A CONCRETE SLAB 6" ABOVE GROUND

A1

1/4" = 1'-0"



FIRST FLOOR AREA: 2056 SF
GARGAE: 473 SF
SECOND FLOOR AREA: 902 SF

KEYNOTE LEGEND	
KEY No.	DESCRIPTION
01	PROPERTY LINE
02	SETBACK
05	FOOTPRINT OF PROPOSED SECOND FLOOR
11	LINE OF PERGOLA ABOVE

1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

PROPOSED
2ND FLOOR
PLAN

CLIENT

BINDU
NEELAKANTAN &
SURESH MUTHU

BUILDING 2

JOB NO.

21-7

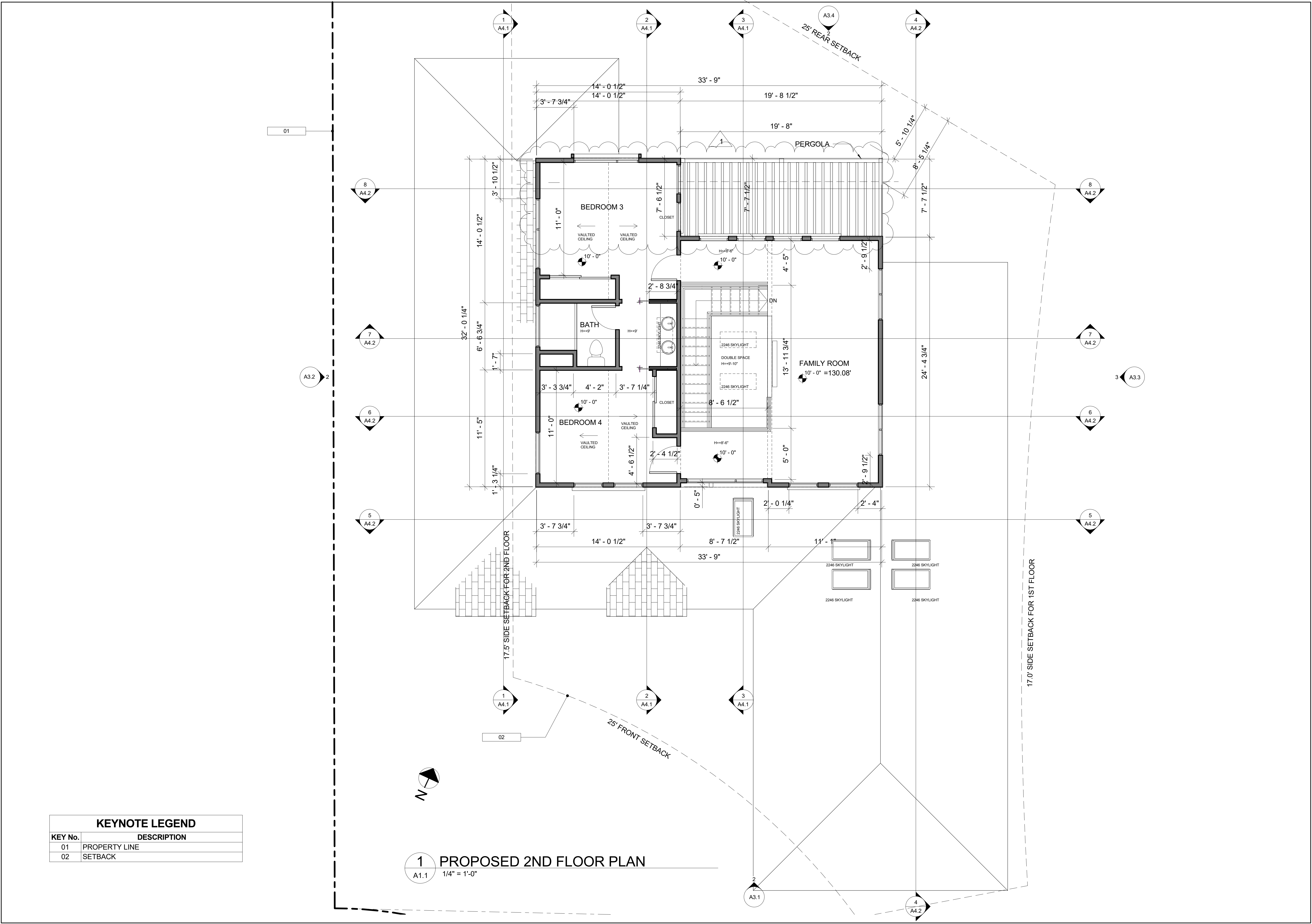
DATE

MARCH

2022

REVISIONS

- 01.03.2022
- 1. EXPANDING ROOM 3,
NEW LOCATION TO CLOSET, NEW
OPENINGS IN BEDROOM 3 AND
FAMILY ROOM AND REMOVING
BALCONY.



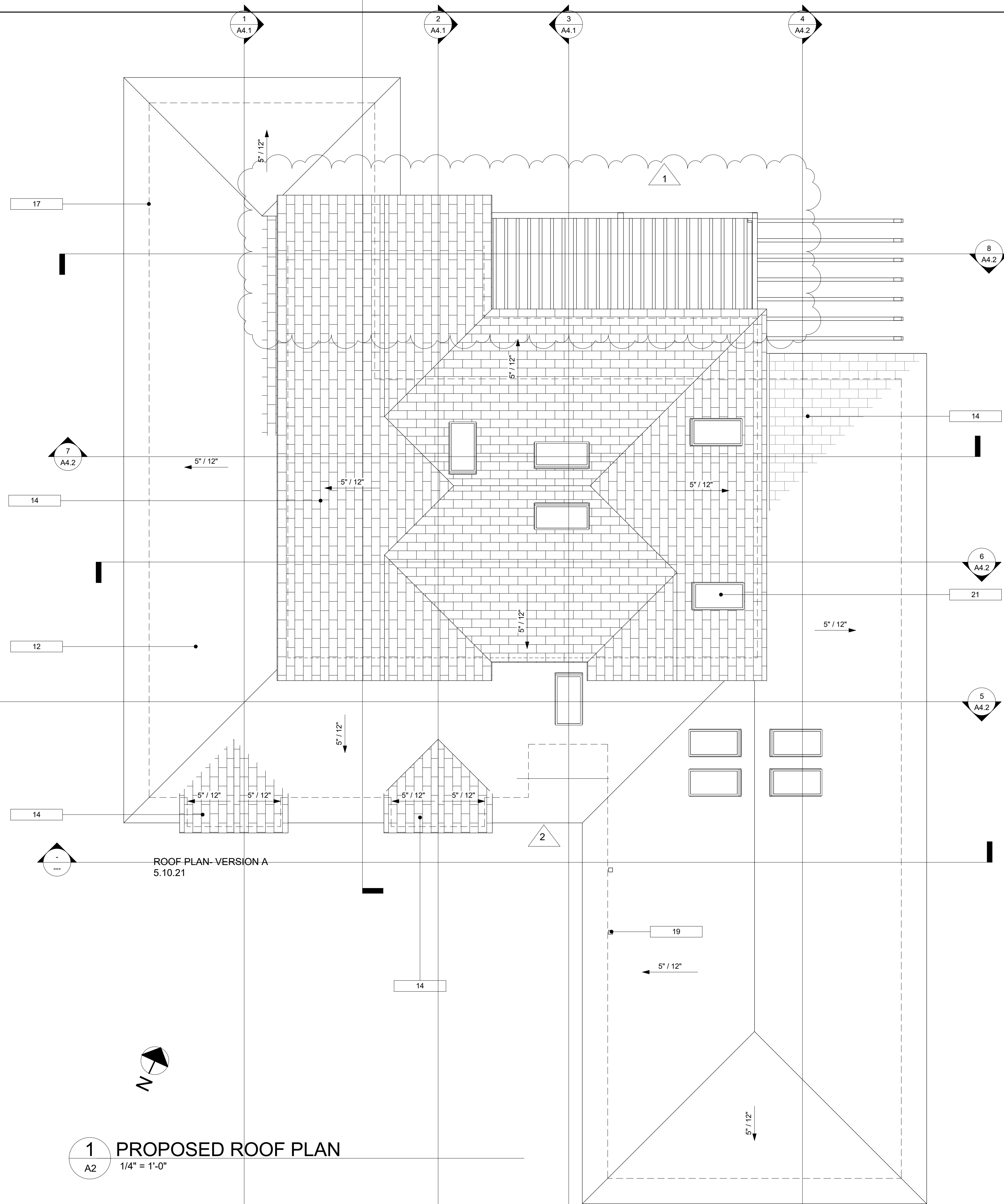
KEYNOTE LEGEND	
KEY No.	DESCRIPTION
01	PROPERTY LINE
02	SETBACK

1 PROPOSED 2ND FLOOR PLAN
A1.1 1/4" = 1'-0"

A1.1

KEY No.	DESCRIPTION
12	(E)COMPOSITION SHINGLES
14	(N)COMPOSITION SHINGLES
17	FIRST FLOOR LINE
19	TWO COLUMNS ON WALL OF GARAGE TO HOLD THE PORCH ROOF
21	ROOF SKYLIGHT

MODIFIED BITUMEN WHITE



1 PROPOSED ROOF PLAN
A2 1/4" = 1'-0"

- 1.12.22
- 1. ADDING DAYLIGHT PLANE ON THE RIGHT SIDE OF THE HOUSE
- 2. REDUCING THE WINDOWS+ SHOWING SILL HIGH. SIZE. IN SECOND FLOOR.
- 3. ADDING WINDOW DETAIL.
- 4. REMOVING THE COVERED PORCH AND POSTS.
- 5. NOTE 7 WAS ADDED TO ELEVATION NOTES.

ELEVATION NOTES

1. ALL EXTERIOR WALLS. INSTALLATION OF A MIN OF ONE LAYER OF NO 15 ASPHALT FELT FREE FROM HOLES OR BREAKS, COMPLY WITH ASTM D 226 FOR TYP 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUD OR SHEATING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIALS SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN 6" (R703.2)

2. EXTERIOR PLASTER AND STUCCO:
A. WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD-BASED SHEATING, SHALL INCLUDE A WATER RESISTIVE VAPOR- PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF D GRADE (R703.6.3)
B. PLASTERING WITH PORTLAND CEMENT SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL NOT BE LESS THAN 2 COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSUR PRESERVATIVE TREATED WOOD OR DECAY RESISTANT WOOD AS SPECIFIED IN SEC R317.1 OR GYPSUM BACKING (R703.6.2)
C. A MIN 26 GA GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.6.2.1)
1) A MIN VERTICAL ATTACHMENT FLANGE OF 1 1/2" PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT EXTERIOR WALLS.
2) THE SCREEM BE PLACED A MIN OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.

D. STUCCO SHALL BE 7/8" THICK AND 3 COATS APPLIED OVER APPROVED WIRE LATH AND 2 LAYERS OF GRADE D BUILDING PAPER.

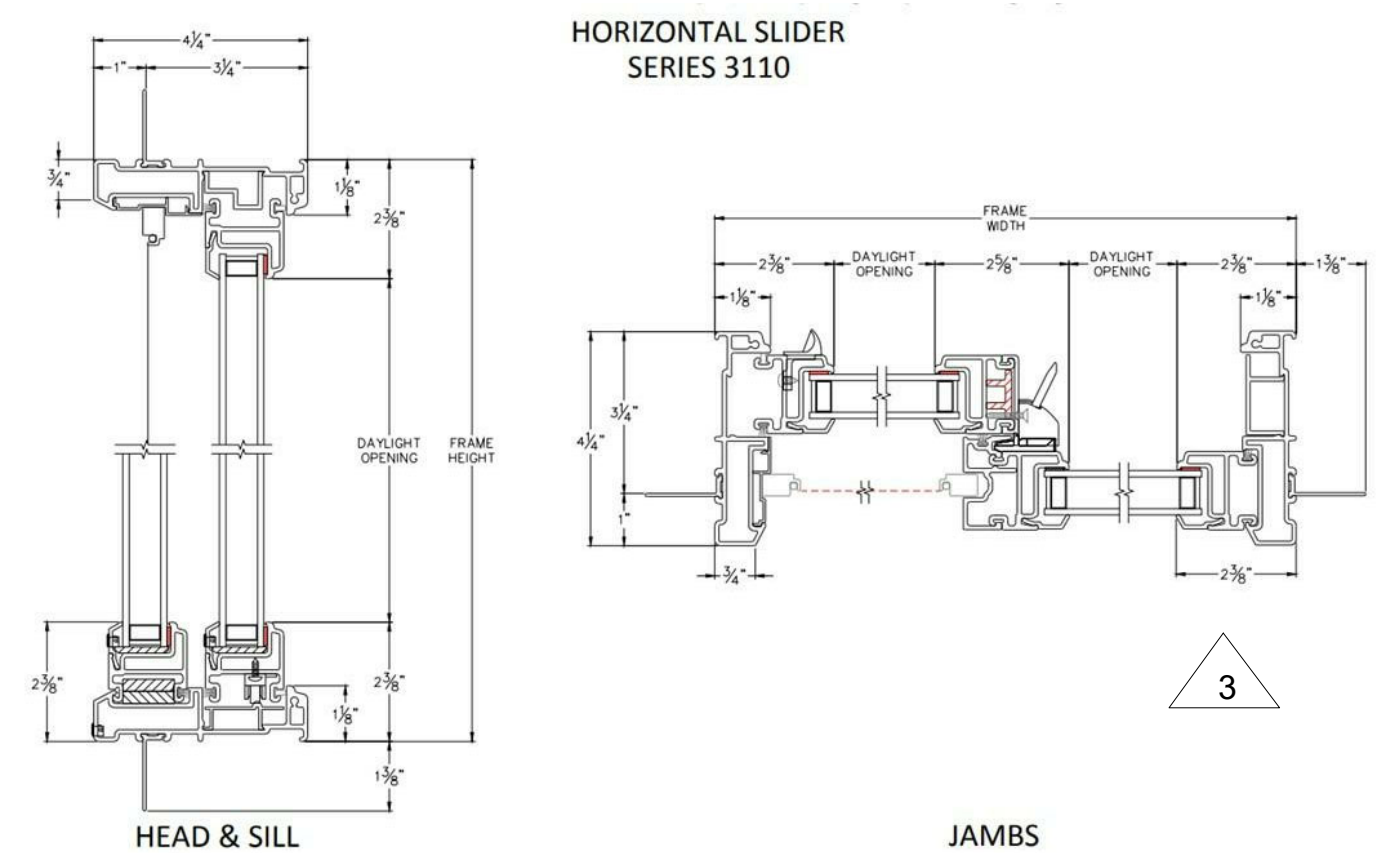
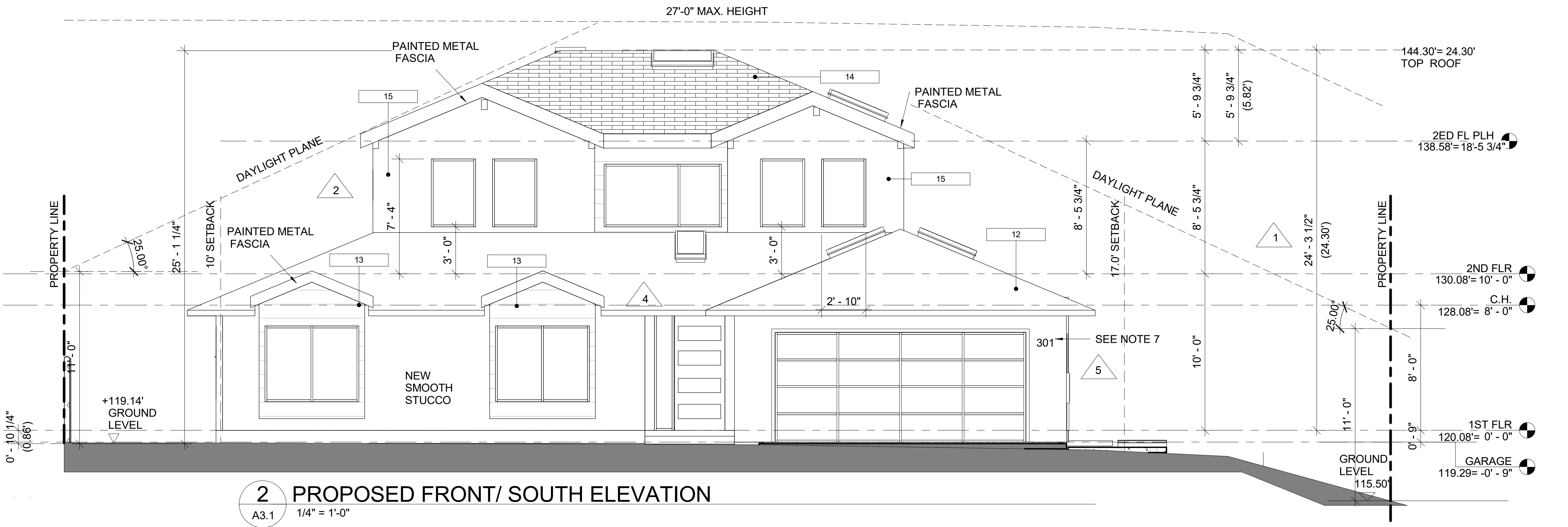
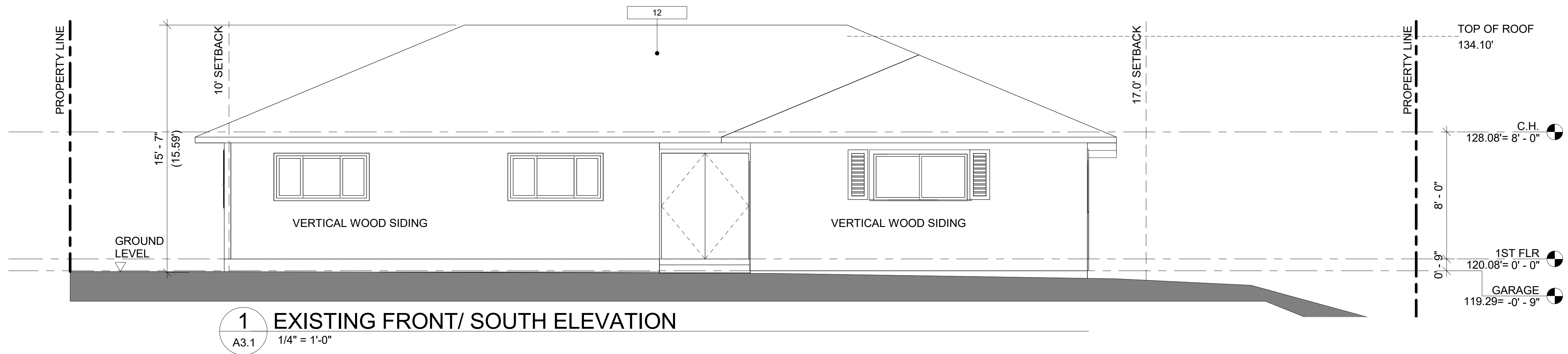
3. SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER. JAMES HARDIE ASPYRE COLLECTION, ARTISAN SHIPLAP PAINTED- TBD BY DESIGNER.

4. ATTIC ACCESS 30"x30" AND UNDER-FLOOR ACCESS (18"x24").

5. 2 WINDOWS AND GLASS DOORS SHALL BE PROTECT WITH SAFETY GLAZING CRC SECTION R308.4

6. COPPER METAL ROOFING, COPPER GRANULE-CONTAINING ASPHALT SHIGLES AND COPPER GUTTER SHALL NOT BE PERMITTED FOR USE IN ANY RESIDENTIAL, COMMERCIAL OR INDUSTRIAL BUILDING FOR WHICH A BUILDING PERMIT IS REQUIRED.

7 ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.



KEYNOTE LEGEND	
KEY No.	DESCRIPTION
12	(E)COMPOSITION SHINGLES
13	(N)CEMENT BOARD
14	(N)COMPOSITION SHINGLES
15	(N)STUCCO SMOOTH INTEGRATED COLOR

KEYNOTE LEGEND	
KEY No.	DESCRIPTION
12	(E)COMPOSITION SHINGLES
13	(E)WOOD SIDING
14	(N)COMPOSITION SHINGLES
15	(E)STUCCO

25' SETBACK

25' SETBACK

PROPERTY LINE



1 EXISTING LEFT/ WEST ELEVATION
A3.2 1/4" = 1'-0"

EXISTING & PROPOSED LEFT ELEVATIONS

CLIENT

BINDU NEELAKANTAN & SURESH MUTHU

BUILDING 2

JOB NO.
21-7

DATE
MARCH 2022

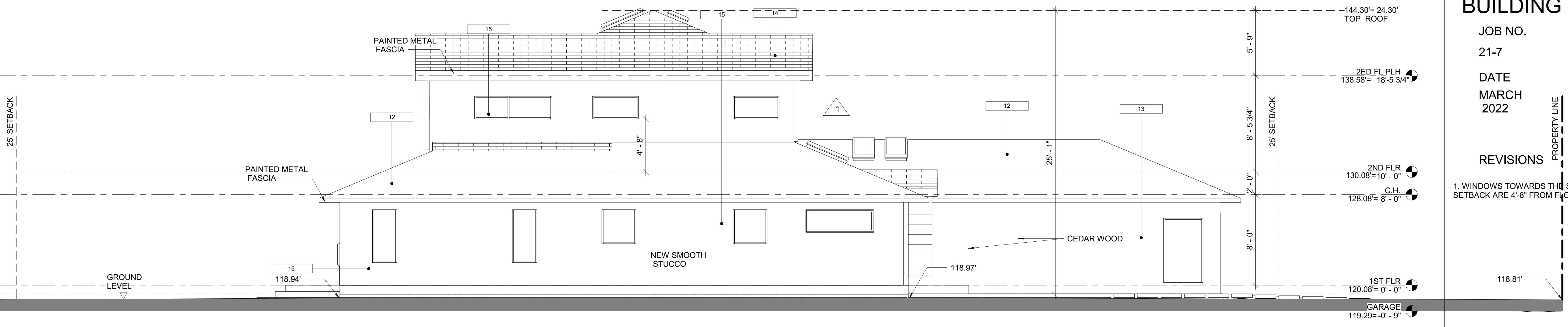
REVISIONS

1. WINDOWS TOWARDS THE SIDE SETBACK ARE 4'-8" FROM FLOOR.

25' SETBACK

25' SETBACK

PROPERTY LINE



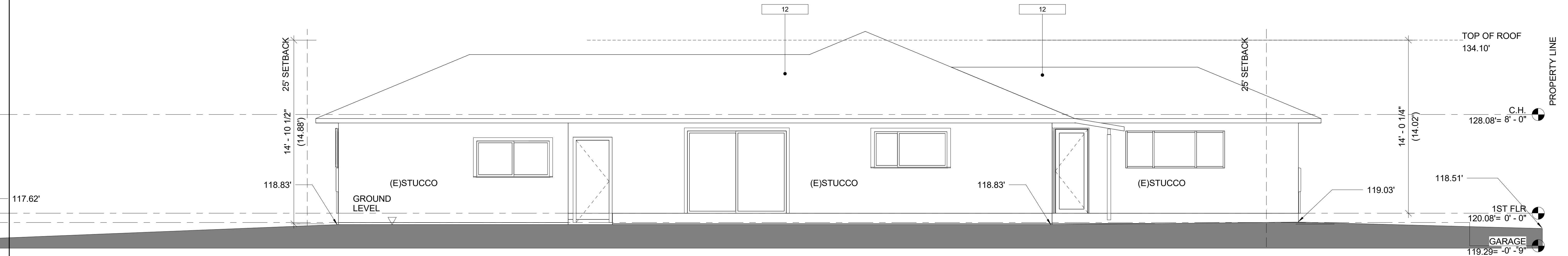
2 PROPOSED LEFT/ WEST ELEVATION
A3.2 1/4" = 1'-0"

118.81'

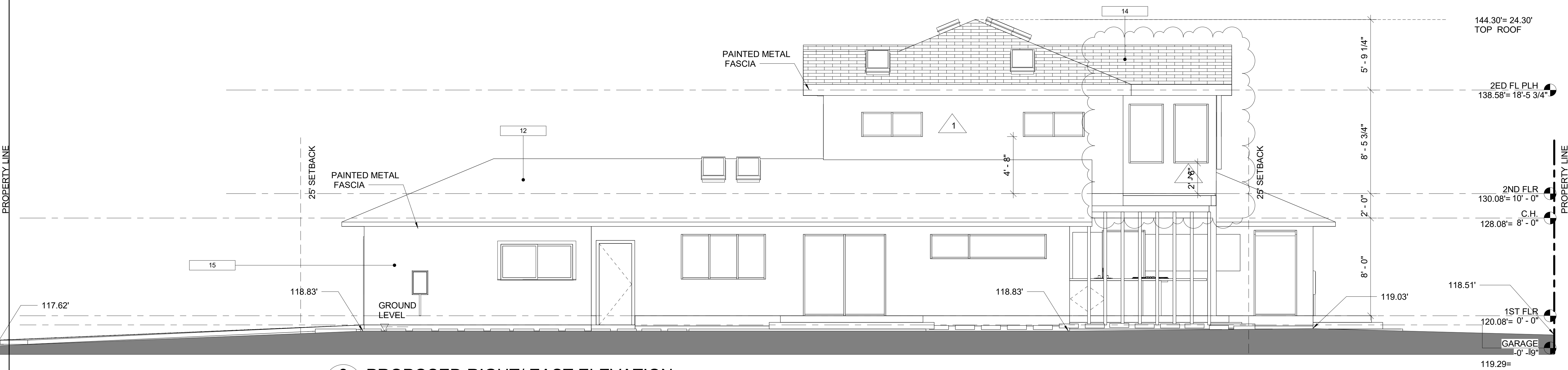
A3.2

- 3.1.22
1. REDUCING THE WINDOWS
SIZE IN SECOND FLOOR.
2. EXPANDING ROOM 3.
3. REMOVING THE BALCONY AND
NEW ROOF LAYOUT ON TOP.
+ ADDING WINDOWS IN ROOM 3

KEYNOTE LEGEND	
KEY No.	DESCRIPTION
12	(E)COMPOSITION SHINGLES
14	(N)COMPOSITION SHINGLES
15	(E)STUCCO



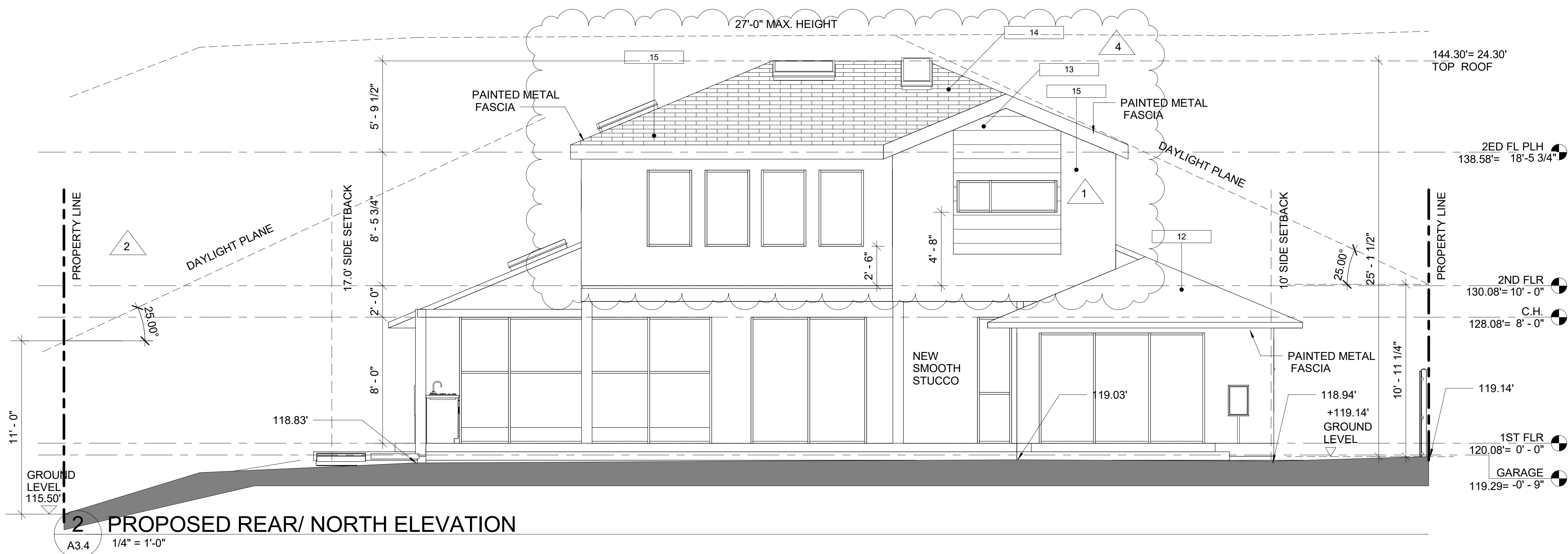
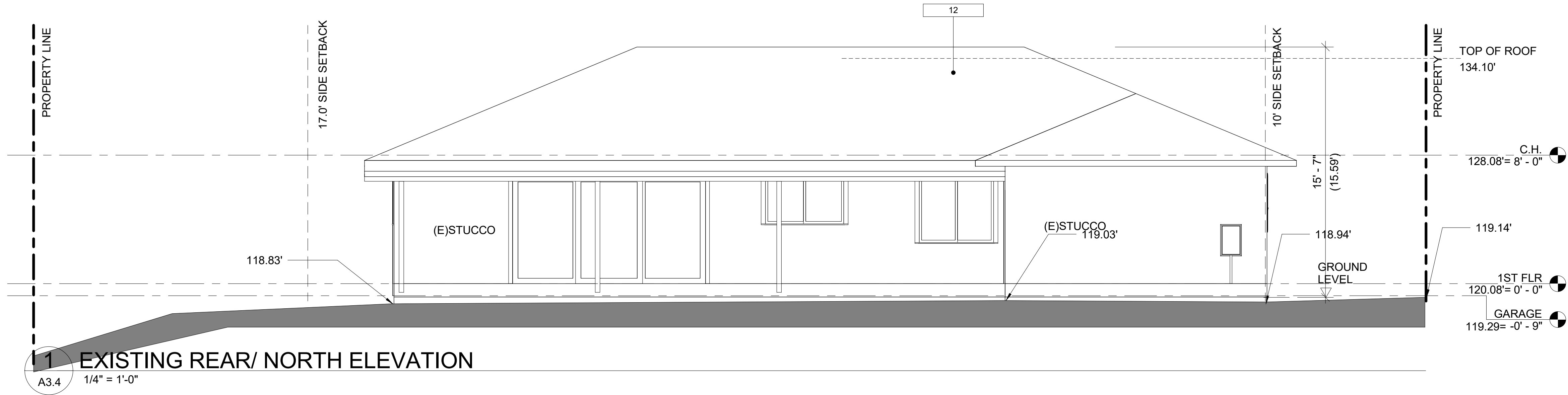
2 EXISTING RIGHT/ EAST ELEVATION
A3.3 1/4" = 1'-0"



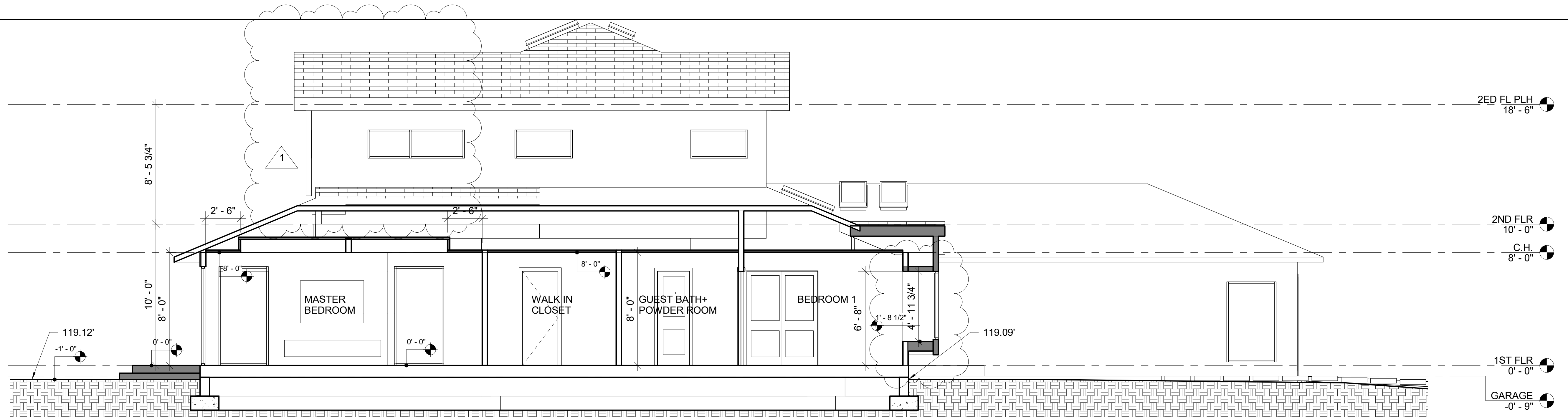
3 PROPOSED RIGHT/ EAST ELEVATION
A3.3 1/4" = 1'-0"

- 1.12.22
- 2. REDUCING THE WINDOWS SIZE. IN SECOND FLOOR.
- 3. ADDING DAYLIGHT PLANE ON THE LEFT SIDE OF THE HOUSE.
- 3.1.22
- 4. EXPANDING ROOM 3, REMOVING THE BALCONY AND NEW ROOF LAYOUT ON TOP. + REPLACING WINDOW IN ROOM 3 TO HIGH WINDOW+ REPLACING SLIDING DOORS IN FAMILY ROOM WITH 4 WINDOWS.

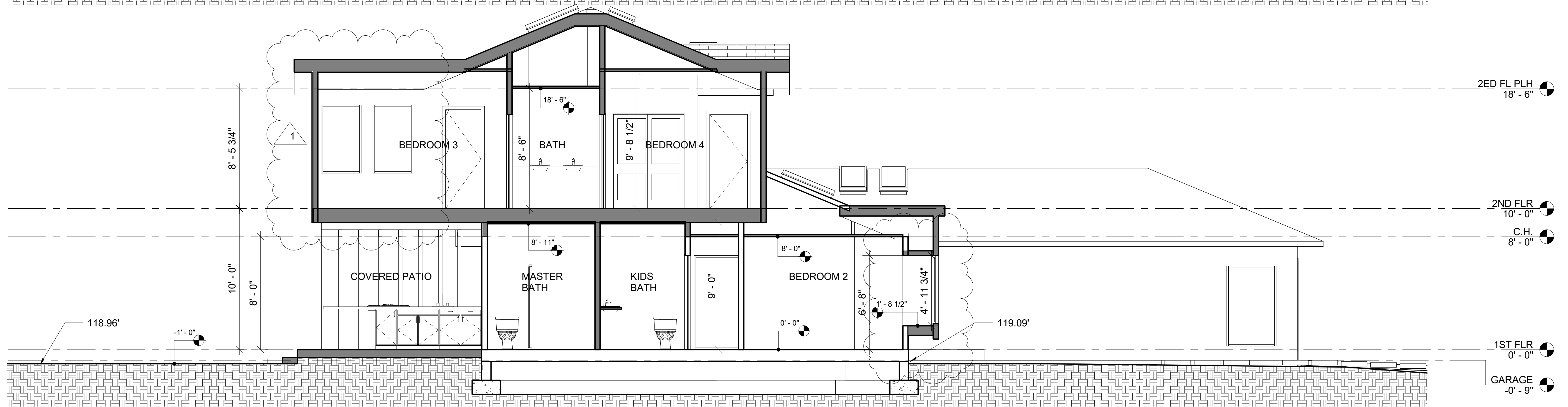
KEY No.	DESCRIPTION
12	(E)COMPOSITION SHINGLES
13	(E)WOOD SIDING
14	(N)COMPOSITION SHINGLES
15	(E)STUCCO



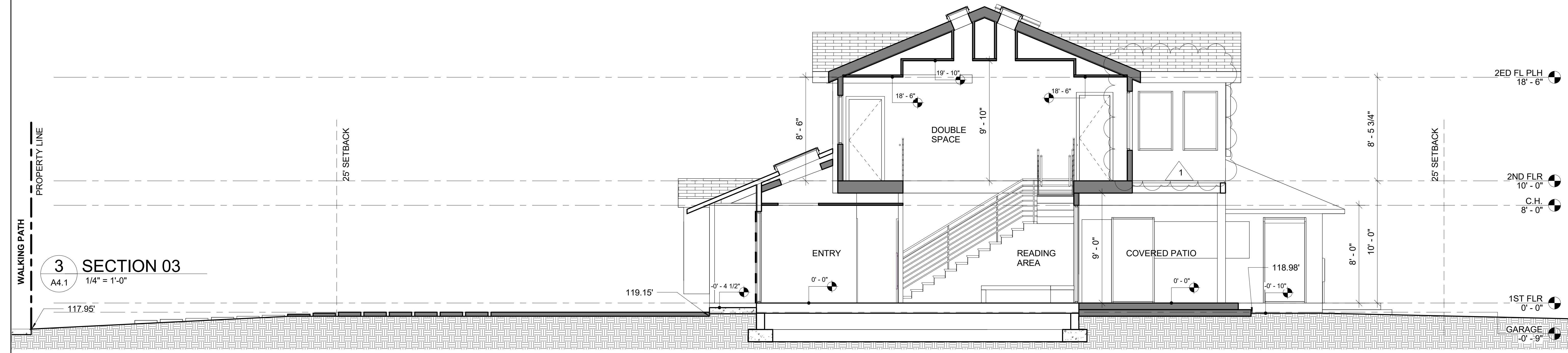
- 3.1.22
1. EXPANDING ROOM 3.
REMOVING THE BLACONY AND
NEW ROOF LAYOUT ON TOP.
+ REPLACING WINDOW IN ROOM
3 TO HIGH WINDOW+ ADDING 2
NEW WINDOWS TO THE SIDE.
REPLACING SLIDING DOORS IN
FAMILY ROOM WITH 4 WINDOWS.



1 SECTION 01
A4.1 1/4" = 1'-0"



2 SECTION 02
A4.1 1/4" = 1'-0"



3 SECTION 03
A4.1 1/4" = 1'-0"



1 BACK
A5



3 FRONT
A5

3D

CLIENT

BINDU
NEELAKANTAN &
SURESH MUTHU

BUILDING 2

JOB NO.

21-7

DATE

APRIL

2022

REVISIONS

A5

LANDSCAPE DOCUMENTATION PACKAGE

PROJECT INFORMATION

DATE: 8-19-2021
 PROJECT APPLICANT: MUTHU SURESH AND NEELAKANTAN BINDU
 PROJECT NAME: MUTHU SURESH AND NEELAKANTAN BINDU
 PROJECT ADDRESS: 301 SPAGNOLI CT, LOS ALTOS, CA
 LOT SIZE: 11,348 SF. FT.
 A.P.N.: 167-24-030
 ZONE: R1-10

HARDSCAPE CHART

	NON-PERMEABLE / PERMEABLE	SQ.FT.
LOT SIZE		11,348.00
HOUSE, GARAGE WITHOUT PORCHES AND SHEDS IN LEFT SIDE YARD		2,556.30
DRIVEWAY	NON-PERMEABLE	618.30
EXTENTION BY RIGHT GATE	NON-PERMEABLE	25.40
FRONT YARD PATHWAY	NON-PERMEABLE	316.60
FRONT YARD - LEFT SIDE PATHWAY	NON-PERMEABLE	97.60
LEFT SIDE YARD HARDSCAPE AND PATHWAY IN THE BACKYARD	NON-PERMEABLE	422.80
RIGHT SIDE YARD PATHWAY AND GARBAGE BIN AREA	NON-PERMEABLE	177.50
RIGHT SIDE YARD DOOR LANDING, PATIO AND PATHWAY (38.3 + 180.0 + 94.8)	NON-PERMEABLE	313.10
BACKYARD DECK	NON-PERMEABLE	639.70
BACKYARD YOGA PLATFORM	NON-PERMEABLE	64.00
BACKYARD FIRE PIT AREA	NON-PERMEABLE	143.30
TOTAL HARDSCAPE AREA		5,374.60
TOTAL LANDSCAPE AREA		5,973.40

TOTAL LANDSCAPE AREA: 5,973.4 SQ.FT.
 undisturbed: 774.3 SQ.FT. - Existing Oleander area by the Loa Altos Avenue and existing Prunus and Liquidambr trees area by side/neighbor yard.
 new: 5,199.1 SQ.FT.
 PROJECT TYPE: NEW RESIDENTIAL
 WATER SUPPLY: POTABLE

PROJECT CONTACTS

PROPERTY OWNERS: MUTHU SURESH AND NEELAKANTAN BINDU
 PROPERTY ADDRESS: 301 SPAGNOLI CT, LOS ALTOS, CA
 PHONE:
 E-MAIL: smuthu@gmail.com

APPLICANT STATEMENT WITH SIGNATURE AND DATE:

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE."

APPLICANT SIGNATURE: DATE:

LANDSCAPE DESIGN PROVIDED BY:

COMPANY NAME: ZUZANA HRANOVA
 COMPANY ADDRESS: 215 E O'KEEFE STREET, UNIT #1, EAST PALO ALTO, CA 94303
 PHONE: 623-332-4287
 E-MAIL: zuzana.hranova@gmail.com
 BUSINESS LICENSE: 2017-3358

DESIGNED BY: ZUZANA HRANOVA

DESIGNER STATEMENT WITH SIGNATURE AND DATE:

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

DESIGNER SIGNATURE: *Hranova Zuzana* DATE: 2/9/2022

NOTE:
 SIGNED COMPLIANCE STATEMENT FOR THE IRRIGATION PLAN IS ON SEPARATE SHEET ATTACHED TO THE IRRIGATION PLAN.

CHECKLIST FOR ALL DOCUMENTS IN LANDSCAPE DOCUMENTATION PACKAGE

- PROJECT INFORMATION
- WATER EFFICIENT LANDSCAPE WORKSHEET
- WATER BUDGET CALCULATION
- MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
- ESTIMATED TOTAL WATER USE (ETWU)
- LANDSCAPE DESIGN PLAN
- HYDROZONE PLAN WITH HYDROZONE INFORMATION TABLE

DRAWING SHEET INDEX:

- SHEET L1 - GENERAL PROJECT NOTES
- SHEET L2 - CONCEPTUAL PLAN - COLOR DESIGN PLAN
- SHEET L3 - CONCEPTUAL PLAN - HARDSCAPE DESIGN WITH NOTES
- SHEET L4 - CONCEPTUAL PLAN - HARDSCAPE DESIGN WITHOUT NOTES
- SHEET L5 - CONCEPTUAL PLAN - LANDSCAPE DESIGN
- SHEET L6 - CONCEPTUAL PLAN - HYDROZONE INFORMATION TABLE AND SIMPLIFIED IRRIGATION PLAN (INCLUDING THE WATER CALCULATION)
- SHEET L7 - DETAILS

APPENDIX A - WATER EFFICIENT LANDSCAPE WORKSHEET

NOTE:

PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR ENCROACHMENT PERMIT WILL BE REQUIRED.

ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER, SIDEWALK AND ROADWAY SHALL BE REMOVED AND REPLACED BY CURRENT CITY STANDARD AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680 FOR DETAILS PRIOR TO FINALIZING BUILDING PERMITS.

APPENDIX A

Appendix A

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 43.0

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
HYDROZONE A - FRONT YARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	452.60	279.38	7,448.34	
HYDROZONE B - FRONT YARD - LAWN	0.70	SPRAY	0.75	0.93	386.00	360.27	9,604.71	
HYDROZONE C - FRONT YARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	460.80	284.44	7,583.29	
HYDROZONE D - FRONT YARD - LOW WATER	0.20	DRIP	0.81	0.25	456.40	112.69	3,004.35	
HYDROZONE E - LEFT SIDE - LOW WATER	0.20	DRIP	0.81	0.25	719.50	177.65	4,736.26	
HYDROZONE H - BACKYARD MULCH			1.00	0.00	540.40	0.00	0.00	
HYDROZONE I - BACKYARD - LAWN	0.70	SPRAY	0.75	0.93	635.30	592.95	15,807.96	
HYDROZONE J - BACKYARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	209.60	129.38	3,449.34	
HYDROZONE K - BACKYARD UNDER TREES - LOW WATER	0.20	DRIP	0.81	0.25	833.60	205.83	5,487.35	
HYDROZONE L - NERIUM - LOW WATER	0.20	DRIP	0.81	0.25	485.40	119.85	3,195.25	
HYDROZONE N - YOGA - LOW WATER	0.20	DRIP	0.81	0.25	248.80	61.43	1,637.78	
					Totals	5,428.40	2,323.88	
Special Landscape Areas								
HYDROZONE F				1.00	48.00	48.00	1,279.68	
HYDROZONE G				1.00	481.00	481.00	12,823.46	
HYDROZONE M				1.00	16.00	16.00	426.56	
					Totals	545.00	545.00	
						ETWU Total	76,484.34	
						Maximum Allowed Water Allowance (MAWA)^e	94,126.33	

^aHydrozone #/Planting Description
 E.g.
 1) front lawn
 2) low water use plantings
 3) medium water use planting

^bIrrigation Method
 overhead spray
 or drip

^cIrrigation Efficiency
 0.75 for spray/head
 0.81 for drip

^dETWU (Annual Gallons Required) =
 Eto x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	2,323.88
Total Area	5,428.40
Average ETAF	0.43

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	2,868.88
Total Area	5,973.40
Sitewide ETAF	0.48

DISCLAIMER:
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PLANT LIST:
 IF QUANTITIES LISTED BELOW DIFFER FROM THOSE STATED OR IMPLIED BY PLAN, DEFER TO PLAN. IF A PLANT IS NOT AVAILABLE IN DESIRED SIZE OR ANY, CONSULT DESIGNER REGARDING QUANTITY OR SUBSTITUTE. A SOURCE, OR RECOMMENDATION TO WAIT. SOME PLANTS MAY BE SENSITIVE TO TEMPERATURE EXTREMES, SOME MAY BE POISONOUS, SOME MAY ATTRACT AND BE DAMAGED BY ANIMALS AND INSECTS, SOME PRODUCE LITTER AND/OR POLLEN, SOME HAVE THORNS AND/OR LARGE ROOT SYSTEMS.

NO.	REVISIONS	DATED:	BY:
1	CITY COMMENTS 10/21/2021	11/16/2021	ZH

These plans are:
 Agenda Item 4.
 Hrano Design
 Contact: Hrano Design
 (623-332-4287) with any questions.

HRANO DESIGN
 215 E O'Keefe Street
 Unit #1
 East Palo Alto
 CA 94303
 c. 623-332-4287
 Zuzana Hranova
 Landscape Designer
 c. 623-332-4287

**MUTHU'S RESIDENCE
 CONCEPT PLAN - EXISTING SITUATION**

Zuzana Hranova
 Landscape Designer

JOB LOCATION:
 301 Spagnoli Ct,
 Los Altos, CA

SHEET CONTENTS:

DESIGNED BY:
 ZH

DATE:
 9-14-2021

PAPER SIZE:
 36" x 24"

PLAN NUMBER:
21-027 L1

REVISIONS	BY
9/20/2021	ZH
11/16/2021	ZH
1/12/2021	
2/9/2022	

NO:	REVISIONS	DATED:	BY:
1	CITY COMMENTS 10/21/2021	11/16/2021	ZH
2	ARCHITECT REQUEST 1/12/2022	1/12/2022	ZH
3	SCREENING TREE REVISION	2/9/2022	ZH

1
 NOTE: ENTIRE SHEET IS NEW

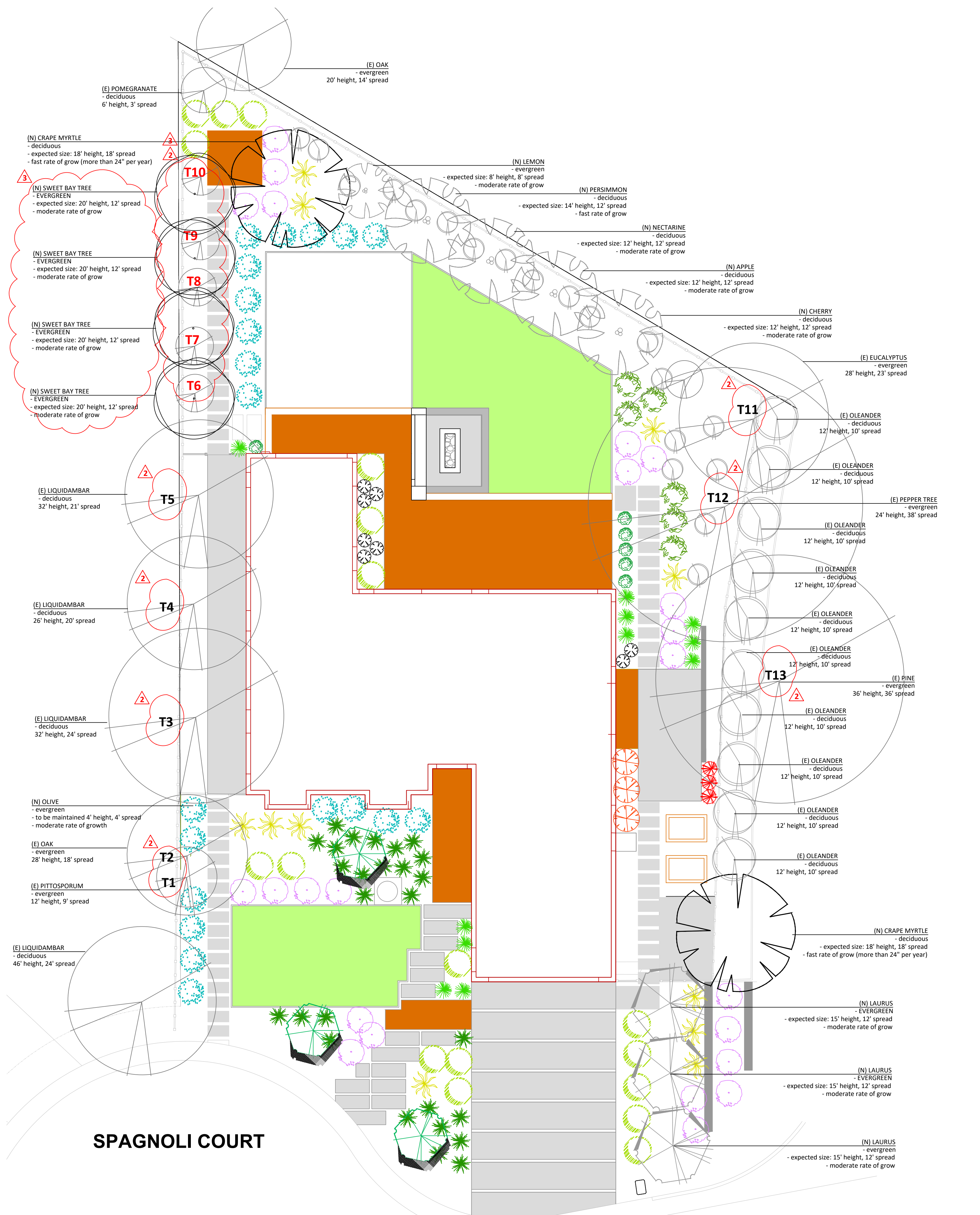
EXISTING TREE LEGEND:

NUMBER	DBH*	BOTANICAL NAME	COMMON NAME	NOTE: RETAIN OR REMOVE
T1	3"	<i>Pittosporum sp.</i>	Pittosporum	RETAIN
T2	6"	<i>Quercus sp.</i>	Oak	RETAIN
T3	10"	<i>Liquidambar sp.</i>	Sweetgum	RETAIN
T4	10"	<i>Liquidambar sp.</i>	Sweetgum	RETAIN
T5	8"	<i>Liquidambar sp.</i>	Sweetgum	RETAIN
T6	2"	<i>Prunus sp.</i>	Flowering Plum	REMOVE
T7	3"	<i>Prunus sp.</i>	Flowering Plum	REMOVE
T8	3"	<i>Prunus sp.</i>	Flowering Plum	REMOVE
T9	2"	<i>Prunus sp.</i>	Flowering Plum	REMOVE
T10	3"	<i>Prunus sp.</i>	Flowering Plum	REMOVE
T11	36"	<i>Eucalyptus sp.</i>	Eucalyptus	RETAIN
T12	36"	<i>Schinus molle</i>	Pepper Tree	RETAIN
T13	36"	<i>Pinus sp.</i>	Pine	RETAIN

DBH* = Trunk diameter based on circumference measured at 48" above grade

LANDSCAPE LEGEND

SYMBOL	QTY	SIZE	PLANT NAME (height x width)
EXISTING:			
			TREE
			SHRUB
TREES:			
	3	24" box	<i>Acer palmatum</i> 'Seiryu' - MULTI-TRUNK, LOW TRUNK SEIRYU JAPANESE MAPLE (15'x8') deciduous, green leaves, fall color
	1	15gal	<i>Citrus limon</i> 'Dwarf Meyer Improved' - LOW TRUNK DWARF MEYER LEMON (8'x8') evergreen, white fragrant flowers - year-round
	1	15gal	<i>Diospyros kaki</i> 'Fuyu' - STANDARD FUYU JAPANESE PERSIMMON (maintain 14'x12') deciduous, edible
	2	24" box	<i>Lagerstroemia indica</i> x <i>fauriei</i> 'Natchez' - STANDARD NATCHEZ CRAPE MYRTLE (18'x18') deciduous, white flowers - summer, fall color
	4	24" box	<i>Laurus nobilis</i> SWEET BAY (20'x12') evergreen
	3	24" box	<i>Laurus</i> 'Saratoga' - STANDARD SARATOGA SWEET BAY (15'x12') evergreen
	1	15gal	<i>Malus domestica</i> GREEN VARIETY - STANDARD APPLE - green variety (maintain 12'x12') deciduous, edible
	1	15gal	<i>Prunus avium</i> - check nursery availability - STANDARD CHERRY TREE (maintain 12'x12') deciduous, edible
	1	15gal	<i>Prunus persica</i> 'Arctic Rose' - STANDARD ARCTIC ROSE WHITE NECTARINE (maintain 12'x12') deciduous, edible
SHRUBS:			
	18	5gal	<i>Acacia cognata</i> 'Cousin Itt' COUSIN ITT ACACIA (3'x4') evergreen
	6	15gal	<i>Ilex crenata</i> 'Sky Pencil' SKY PENCIL JAPANESE HOLLY (6'x2') evergreen
	20	5gal	<i>Olea europaea</i> 'Montra' LITTLE OLLIE DWARF OLIVE (maintain 4'x4') evergreen
	6	5gal	<i>Pittosporum tobira</i> 'Wheeler's Dwarf' JAPANESE PITTOSPORUM (2'x4') evergreen, white fragrant flowers - spring
	3	1gal	<i>Salvia elegans</i> PINEAPPLE SAGE (4'x4') semi-evergreen, red flowers - summer/frost
GROUNDCOVERS/PERENNIALS:			
	8	1gal	<i>Anemone x hybrida</i> 'Honorine Jobert' JAPANESE ANEMONE (2'x2'), flowers up to 4') herbaceous, white flowers - summer
	3	1gal	<i>Anigozanthos</i> 'Big Red' RED KANGAROO PAW (2'x2', flowers up to 5') evergreen, red flowers - summer/fall
	23	1gal	<i>Lantana sellowiana</i> 'Monma' WHITE LIGHTNIN' TRAILING LANTANA (1'x4') evergreen, white flowers - your round
ORNAMENTAL GRASSES:			
	27	1gal	<i>Carex tumulicola</i> (C. <i>divulsa</i>) BERKELEY SEDGE (1.5'x3') evergreen
	11	1gal	<i>Lomandra hybrida</i> 'Lomlon' LIME TUFF MAT RUSH (2'x2.5') evergreen
	11	5gal	<i>Phormium</i> 'Lime Crush' LIME CRUSH NEW ZEALAND FLAX (3'x4') evergreen, green variegated leaves



ABBREVIATION:

DS	DOWNSPOUT	(E)	EXISTING PLANT/MATERIAL
EL	ELECTRIC SOURCE/PLUG	(N)	NEW PLANT/MATERIAL
HB	HOUSE BIB	(T)	TRANSPLANT/RELOCATE PLANT/MATERIAL
M	METER	(R)	REMOVE PLANT/MATERIAL
S	SEWER		
TR	LIGHT TRANSFORMER		

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SPAGNOLI COURT

MUTHU'S RESIDENCE
CONCEPT PLAN - COLOR DESIGN PLAN
 Zuzana Hiranova
 Landscape Designer

JOB LOCATION:
 301 Spagnoli Ct,
 Los Altos, CA

SHEET CONTENTS:
 GROUNDPLAN
 scale 1/8"= 1'-0"

DESIGNED BY:
 ZH

DATE:
 9-14-2021

PAPER SIZE:
 36"x 24"

PLAN NUMBER:
21-027 L2

REVISIONS	BY
9/20/2021	ZH
11/16/2021	ZH
1/12/2022	ZH
2/9/2022	ZH

173

NO.	REVISIONS	DATED	BY
1	CITY COMMENTS 10/21/2021	11/16/2021	ZH

These plans are
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 questions.

HRANO DESIGN
 2115 E O'Keefe Street
 Unit #1
 East Palo Alto
 CA 94303
 c 623-332-4287
 Zuzana Hranova
 Landscape Designer
 c 623-332-4287

MUTHU'S RESIDENCE
CONCEPT PLAN - HARDSCAPE PLAN WITH NOTES

Zuzana Hranova
 Landscape Designer

JOB LOCATION: 301 Spagnoli Ct, Los Altos, CA	
SHEET CONTENTS: GROUNDPLAN scale 1/8" = 1'-0"	
DESIGNED BY: ZH	
DATE: 9-14-2021	
PAPER SIZE: 36"x 24"	
PLAN NUMBER: 21-027 L3	
REVISIONS	BY
9/20/2021	ZH
11/16/2021	ZH
1/12/2022	
2/9/2022	

TAKE-OFF AND NOTES:
 PROPERTY LINERS PROVIDED BY CLIENT.

HARDSCAPE AND GRADING NOTES:

- REMOVE EXISTING HARDSCAPE - SEE EXISTING SITUATION AND HARDSCAPE PLANS.
- ADDRESS ALL GRADING AND DRAINAGE NEEDS. GRADE WALKWAYS AND PATIOS TO PROVIDE 1%-5% GRADE AWAY FROM HOUSE, IF APPLICABLE.
- CREATE FRENCH DRAIN FOR GUTTER DOWNSPOUTS TO RE-DIRECT RAIN WATER UNDERGROUND AWAY FROM THE HOUSE.
- ALL HARDSCAPES TO BE BUILT PER STANDARDS AND CODES AND MEET CITE REQUIREMENTS AND PERMITS (IF APPLICABLE).
- PRIOR INSTALLING HARDSCAPE, INSTALL SET OF (2) SLEEVES UNDERNEATH THE HARDSCAPED AREA, WHERE APPLICABLE. SLEEVES TO BE USED FOR THE FUTURE IRRIGATION TO THESE BEDS AND FOR POSSIBLE OUTDOOR LIGHT SYSTEM.

- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR ENCROACHMENT PERMIT WILL BE REQUIRED.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER, SIDEWALK AND ROADWAY SHALL BE REMOVED AND REPLACED BY CURRENT CITY STANDARD AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680 FOR DETAILS PRIOR TO FINALIZING BUILDING PERMITS.

STRUCTURES

- SEE HARDSCAPE PLAN FOR ALL DETAILS OF FEATURES MENTIONED BELOW.
- NEW DRIVEWAY - SMOOTH CONCRETE SLABS WITH PEBBLES IN GAPS.
- NEW FRONT DOOR PATHWAY - SMOOTH CONCRETE SLABS WITH COMBINATION OF PORCELAIN TILE FINISH OVER SOME OF THE CONCRETE SLABS.
- NEW LEFT SIDE PATHWAY - SMOOTH CONCRETE SLABS WITH PEBBLES IN GAPS.
- NEW LOW ORNAMENTAL CONCERNED RETAINING WALLS IN FRONT YARD. RETAINING WALL TO STICK JUST 4" ABOVE THE SIDE WITH HIGHER GROUND LEVEL.
- NEW SMOOTH CONCRETE HARDSCAPE IN LEFT SIDE YARD.
- NEW RIGHT SIDE YARD PATHWAY - SMOOTH CONCRETE SLABS WITH PEBBLES IN GAPS.
- NEW SMOOTH CONCRETE HARDSCAPE AREA FOR GARBAGE BINS IN RIGHT SIDE YARD.
- NEW SCREENING WALL (TO HIDE THE GARBAGE BIN AREA) . MATERIAL: WOOD. FINISH, COLOR AND PATTERN TO MATCH EXISTING FENCE.
- NEW RAISED VEGETABLE BEDS.
- NEW DECK SIDE DOOR LANDING. LEVEL TO MATCH THE INDOOR FLOOR LEVEL.
- NEW RIGHT SIDE PATIO - SMOOTH CONCRETE.
- NEW SMALL CONCRETE WALL WITH WOOD FLOATING BENCH.
- NEW BACKYARD DECK. LEVEL TO MATCH THE INDOOR FLOOR LEVEL.
- NEW GRAVEL FIRE PLACE AREA WITH FIRE PIT AND SMOOTH CONCRETE/WOOD BUILT-IN BENCH.
- NEW YOGA PLATFORM DECK. ONLY ONE STEP ABOVE THE GROUND. MATERIAL AND LOOK TO MATCH THE MAIN PATIO.

SOD

- REMOVE EXISTING LAWN.
- INSTALL CORTEN STEEL BENDER BOARD WHERE APPLICABLE = WHERE THE LAWN IS ADJACENT TO PLANTER BED OR SOFT HARDSCAPE. (SEE HARDSCAPE PLAN FOR FOOTAGE).

PLANTING

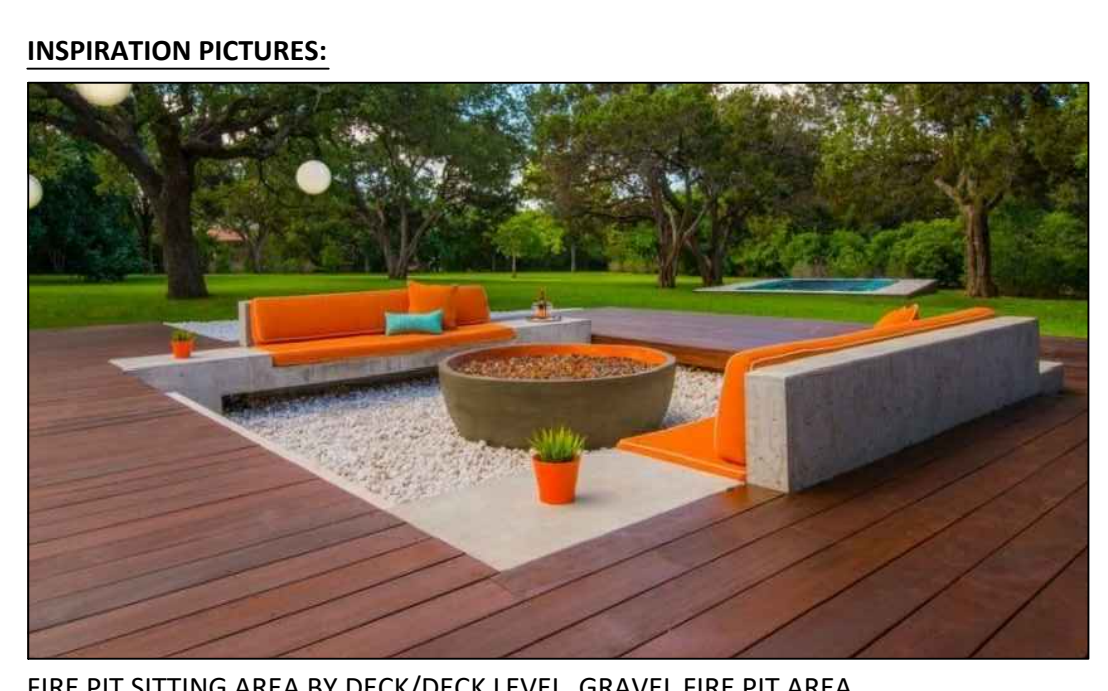
- REMOVE SOME OF THE EXISTING PLANT MATERIAL. SEE EXISTING SITUATION AND LANDSCAPE PLAN.
- TRANSPLANT SOME OF THE EXISTING PLANT MATERIAL. SEE EXISTING SITUATION AND LANDSCAPE PLAN.
- PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOIL SHALL BE TRANSFORMED TO FRIABLE CONDITION.
- FOR AREAS OF LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO DEPTH OF SIX INCH INTO THE SOIL. SOILS WITH GRATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
- INSTALL PLANTS PER THE LANDSCAPE PLAN. CONTACT DESIGNER FOR ANY SUBSTITUTES.

MULCH

- A MINIMUM THREE INCHES LAYER OF MULCH SHALL BE APPLIED ON THE ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUDCOVERS, OR DIRECT SEEDING APPLICATION WHERE MULCH IS CONTRAINDICATED.
- TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE, UP TO5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH. DESIGNATED INSECT HABITAT MUST BE INCLUDED IN THE LANDSCAPE DESIGN PLAN AS SUCH.

OUTDOOR LIGHTS

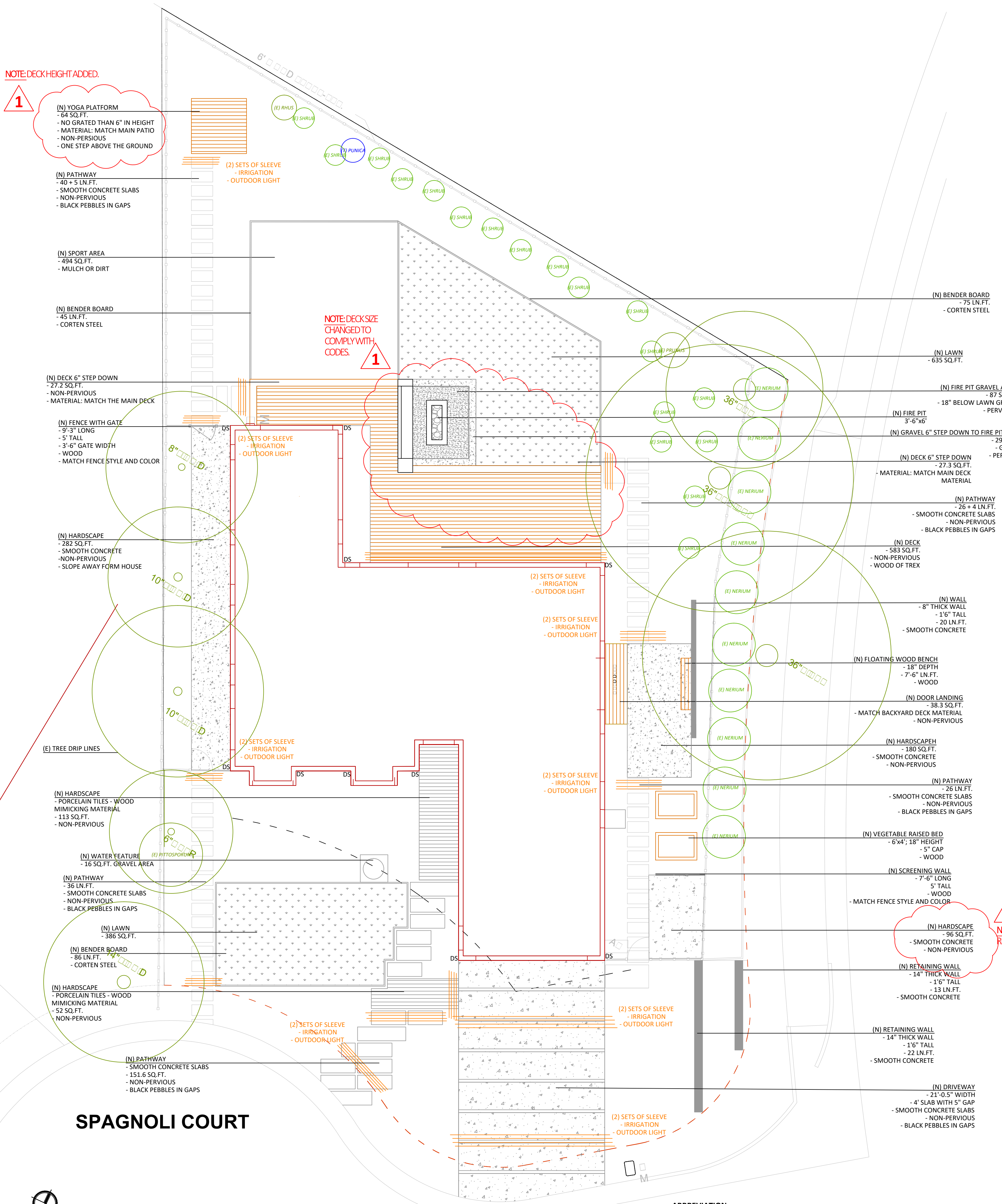
- LIGHT UP THE LANDSCAPE PER PLAN.
- LIGHT FIXTURES TO BE DETERMINE BY CLIENT (SUGGESTIONS ARE PART OF THE LANDSCAPE PLAN).



1
 NOTE: WORDING CHANGED AS REQUESTED BY CITY.

1
 NOTE: DECK HEIGHT ADDED.

1
 NOTE: DECK SIZE CHANGED TO COMPLY WITH CODES.

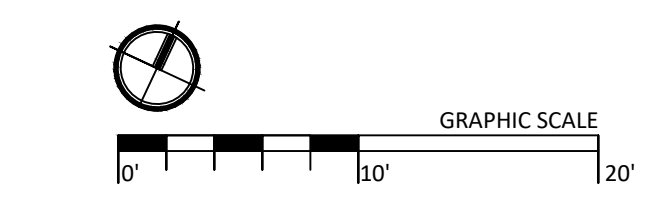


SPAGNOLI COURT

ABBREVIATION:

DS	DOWNSPOUT	(E)	EXISTING PLANT/MATERIAL
EL	ELECTRIC SOURCE/PLUG	(N)	NEW PLANT/MATERIAL
HB	HOUSE BIB	(T)	TRANSPLANT/RELOCATE PLANT/MATERIAL
M	METER	(R)	REMOVE PLANT/MATERIAL
S	SEWER		
TR	LIGHT TRANSFORMER		

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NO.	REVISIONS	DATED:	BY:
△	CITY COMMENTS 10/21/2021	11/16/2021	ZH

These plans are Agenda Item 4.
 Hrano Design
 Contact Hrano Design
 (623-332-4287) with any
 questions.

HRANO DESIGN
 2115 E O'Keefe Street
 Unit #1
 East Palo Alto
 CA 94303
 c. 623-332-4287
 Zuzana Hranova
 Landscape Designer
 c. 623-332-4287

MUTHU'S RESIDENCE
CONCEPT PLAN - HARDSCAPE PLAN WITHOUT NOTES

Zuzana Hranova
 Landscape Designer

JOB LOCATION:
 301 Spagnoli Ct,
 Los Altos, CA

SHEET CONTENTS:
 GROUNDPLAN
 scale 1/8" = 1'-0"

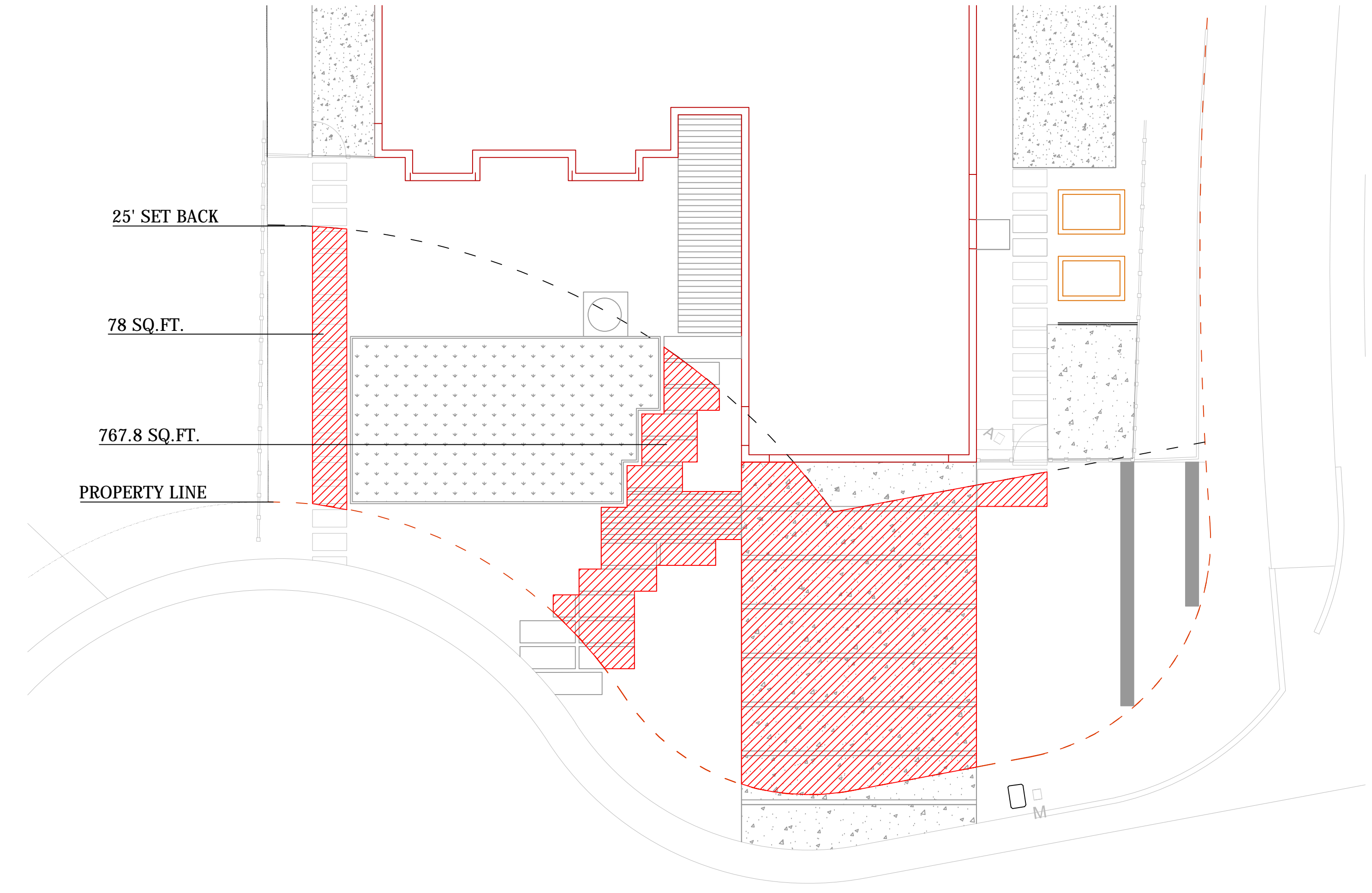
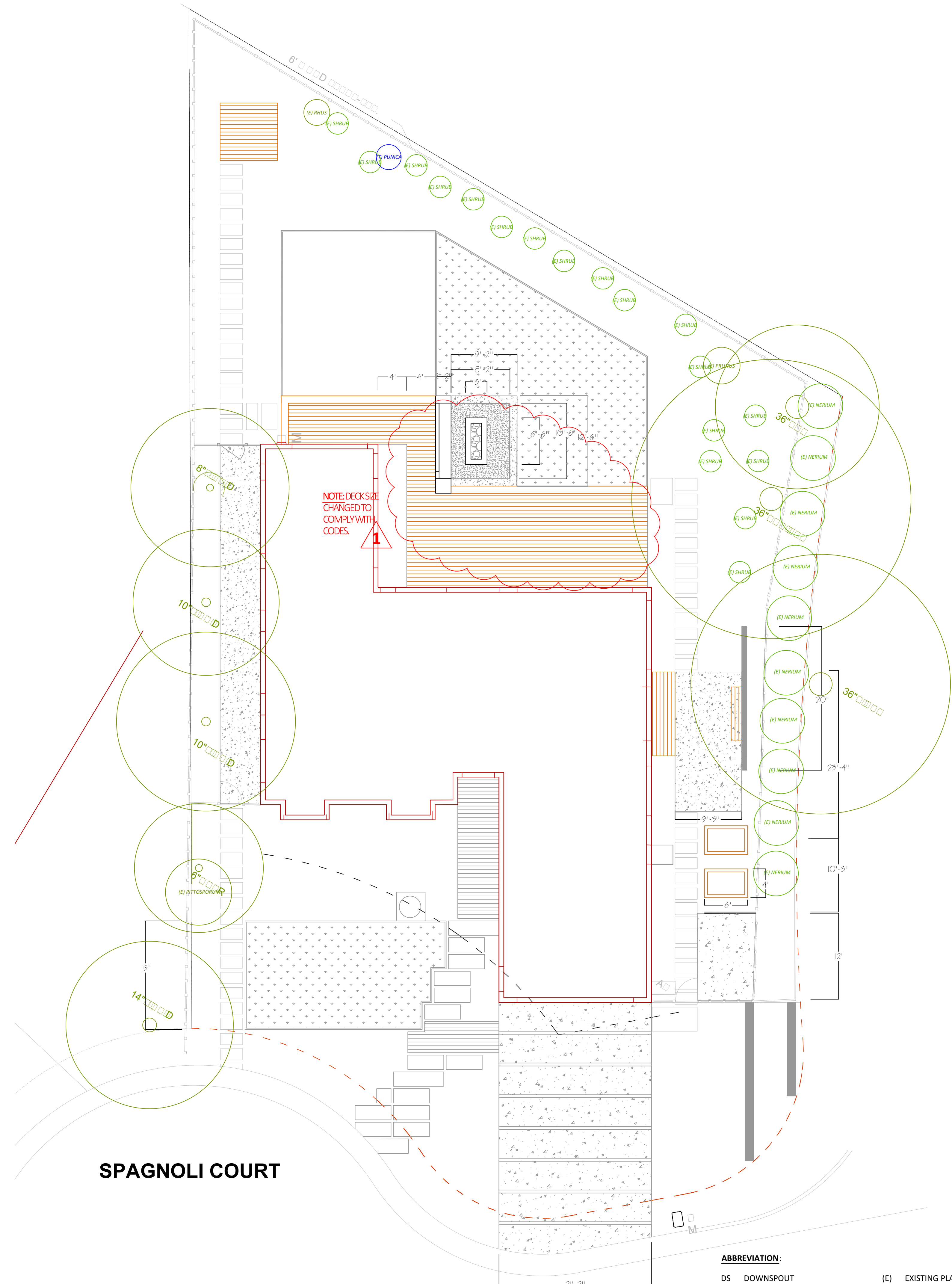
DESIGNED BY:
 ZH

DATE:
 9-14-2021

PAPER SIZE:
 36"x 24"

PLAN NUMBER:
21-027 L4

REVISIONS	BY
9/20/2021	ZH
11/16/2021	ZH
1/12/2022	ZH
2/9/2022	ZH



FRONT YARD AREA DIAGRAM AND COVERAGE CALCULATION

LOT SIZE IS:	11,348 SQ.FT.		
25' FRONT YARD AREA IS:	2,298 SQ.FT.		
ALLOWED IMPERVIOUS =	1,149 SQ.FT.	=	50 %
IMPERVIOUS AREA:	845.8 SQ.FT.	=	36.8 %
PERMEABLE AREA:	1,452.2 SQ.FT.	=	63.2 %

SPAGNOLI COURT






- ABBREVIATION:**
- DS DOWNSPOUT
 - EL ELECTRIC SOURCE/PLUG
 - HB HOUSE BIB
 - M METER
 - S SEWER
 - TR LIGHT TRANSFORMER
 - (E) EXISTING PLANT/MATERIAL
 - (N) NEW PLANT/MATERIAL
 - (T) TRANSPLANT/RELOCATE PLANT/MATERIAL
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NO:	REVISIONS:	DATED:	BY:
1	CITY COMMENTS 10/21/2021	11/16/2021	ZH
2	SCREENING TREE REVISION	2/9/2022	ZH

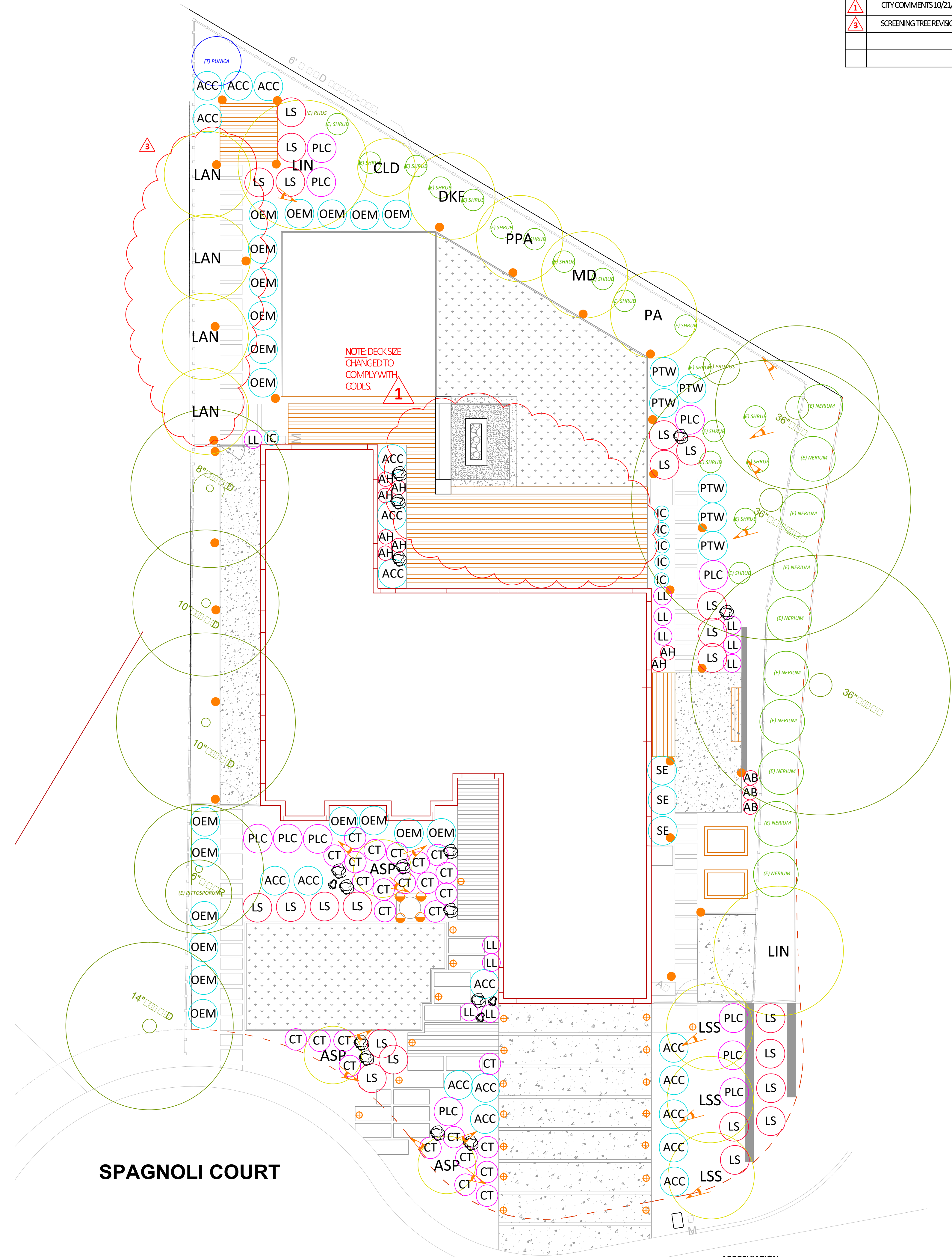
LANDSCAPE LEGEND

SYMBOL	QTY	SIZE	PLANT NAME (height x width)	WATER USE
TREES:				
APS	3	24" box	<i>Acer palmatum</i> 'Seiryu' - MULTI-TRUNK, LOW TRUNK SEIRYU JAPANESE MAPLE (15'x8') deciduous, green leaves, fall color	medium
CLD	1	15gal	<i>Citrus limon</i> 'Dwarf Meyer Improved' - LOW TRUNK DWARF MEYER LEMON (8'x8') evergreen, white fragrant flowers - year-round	medium
DKF	1	15gal	<i>Diospyros kaki</i> 'Fuyu' - STANDARD FUYU JAPANESE PERSIMMON (maintain 14'x12') deciduous, edible	low
LIN	2	24" box	<i>Lagerstroemia indica</i> x fauriei 'Natchez' - STANDARD NATCHEZ CRAPE MYRTLE (18'x18') deciduous, white flowers - summer, fall color	low
LAN	4	24" box	<i>Laurus nobilis</i> SWEET BAY (20'x12') evergreen	low
LSS	3	24" box	<i>Laurus 'Saratoga'</i> - STANDARD SARATOGA SWEET BAY (15'x12') evergreen	low
MD	1	15gal	<i>Malus domestica</i> GREEN VARIETY - STANDARD APPLE - green variety (maintain 12'x12') deciduous, edible	moderate
PA	1	15gal	<i>Prunus avium</i> - check nursery availability - STANDARD CHERRY TREE (maintain 12'x12') deciduous, edible	moderate
PPA	1	15gal	<i>Prunus persica</i> 'Arctic Rose' - STANDARD ARCTIC ROSE WHITE NECTARINE (maintain 12'x12') deciduous, edible	low
SHRUBS:				
ACC	18	5gal	<i>Acacia cognata</i> 'Cousin Itt' COUSIN ITT ACACIA (3'x4') evergreen	low
IC	6	15gal	<i>Ilex crenata</i> 'Sky Pencil' SKY PENCIL JAPANESE HOLLY (6'x2') evergreen	medium
OEM	20	5gal	<i>Olea europaea</i> 'Montra' LITTLE OLLIE DWARF OLIVE (maintain 4'x4') evergreen	low
PTW	6	5gal	<i>Pittosporum tobira</i> 'Wheeler's Dwarf' JAPANESE PITTOSPORUM (2'x4') evergreen, white fragrant flowers - spring	low
SE	3	1gal	<i>Salvia elegans</i> PINEAPPLE SAGE (4'x4') semi-evergreen, red flowers - summer/frost	medium
GROUNDCOVERS/PERENNIALS:				
AH	8	1gal	<i>Anemone x hybrida</i> 'Honorine Jobert' JAPANESE ANEMONE (2'x2', flowers up to 4') herbaceous, white flowers - summer	medium
AB	3	1gal	<i>Anigozanthos</i> 'Big Red' RED KANGAROO PAW (2'x2', flowers up to 5') evergreen, red flowers - summer/fall	low
LS	23	1gal	<i>Lantana sellowiana</i> 'Monma' WHITE LIGHTNIN' TRAILING LANTANA (1'x4') evergreen, white flowers - year round	low
ORNAMENTAL GRASSES:				
CT	27	1gal	<i>Carex tumulicola</i> (C. divulsa) BERKELEY SEDGE (1.5'x3') evergreen	low
LL	11	1gal	<i>Lomandra hybrida</i> 'Lomlon' LIME TUFF MAT RUSH (2'x2.5') evergreen	low
PLC	11	5gal	<i>Phormium</i> 'Lime Crush' LIME CRUSH NEW ZEALAND FLAX (3'x4') evergreen, green variegated leaves	low
OTHER MATERIALS:				
	20	mix sizes	BOULDER	
	27		LED PATH LIGHTS - light fixture to be determine by contractor or client suggestion: FX Luminaire: PM, ZD, (6) LED, 14" raiser, finish: flat black	
	22		LED IN-GROUND WELL LIGHT - light fixture to be determine by contractor or client	
	16		LED SPOT LIGHT - light fixture to be determine by contractor or client suggestion: FX Luminaire: NP (3) LED, finish: flat black	
	4		LED UNDERWATER LIGHT - light fixture to be determine by contractor or client suggestion: FX Luminaire: LL - LED Underwater Light, ZDC, brass finish	
	4,410	sq.ft.	SMALL FIR BARK MULCH (1/2"-1" in size) - PLANTING AREAS	
	40.5	cubic yards	install 3" layer to prevent weeds and minimize evaporation	
	494	sq.ft.	SMALL FIR BARK MULCH (1/2"-1" in size) - SPORT AREA	
	4.5	cubic yards	install 3" layer to prevent weeds and minimize evaporation	

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SPAGNOLI COURT

NO.	REVISIONS	DATED	BY
1	CTY COMMENTS 10/21/2021	11/16/2021	ZH

NOTE: NUMBERS CHANGED DUE TO THE CHANGE IN THE DECK SIZE

ZONE OR VALVE	IRRIGATION METHOD	AREA (SQ.FT.)	% OF LANDSCAPE AREA	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) (SQ.FT.)	PF x HA (SQ.FT.)
ZONE A	D	452.60	0.08	MEDIUM	0.50	452.60	226.30
ZONE B	S	386.00	0.06	HIGH WATER	0.70	386.00	270.20
ZONE C	D	460.80	0.08	MEDIUM	0.50	460.80	230.40
ZONE D	D	456.40	0.08	LOW	0.20	456.40	91.28
ZONE E	D	719.50	0.12	LOW	0.20	719.50	143.90
		540.40	0.09	MULCH		540.40	0.00
ZONE I	S	635.30	0.11	HIGH WATER	0.70	635.30	444.71
ZONE J	D	209.60	0.04	MEDIUM	0.50	209.60	104.80
ZONE K	D	833.60	0.14	LOW	0.20	833.60	166.72
ZONE L	D	485.40	0.08	LOW	0.20	485.40	97.08
ZONE N	D	248.80	0.04	LOW	0.20	248.80	49.76
SUM		5,428.40	0.87		SUM	5,428.40	1,825.15
ZONE F	ILD	48.00	0.01	SLA	1.00	48.00	48.00
ZONE G	B	481.00	0.08	SLA	1.00	481.00	481.00
		16.00	0.00	WATER FEATURE	1.00	16.00	16.00
SUM		545.00	0.09		SUM	545.00	545.00
TOTAL SUM		5,973.40	0.96				

	TOTAL SQ.FT.	% OF LANDSCAPE AREA
S	1,021.30	0.17
B	481.00	0.08
D	3,866.70	0.65
ILD	48.00	0.01
O	16.00	0.00
SUM	5,433.00	0.91

	TOTAL SQ.FT.	% OF LANDSCAPE AREA
T	1,021.30	0.17
HW	0.00	0.00
MW	1,123.00	0.19
LW	2,743.70	0.46
SLA	529.00	0.09
	16.00	0.00
SUM	5,433.00	0.91

Appendix A

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET_o) 43.0

Hydrozone #/Planting Description ^a	Plant Factor (PF) ^b	Irrigation Method ^c	Irrigation Efficiency (IE) ^d	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^e	
Regular Landscape Areas								
HYDROZONE A - FRONT YARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	452.60	279.38	7,448.34	
HYDROZONE B - FRONT YARD - LAWN	0.70	SPRAY	0.75	0.93	386.00	360.27	9,604.71	
HYDROZONE C - FRONT YARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	460.80	284.44	7,583.29	
HYDROZONE D - FRONT YARD - LOW WATER	0.20	DRIP	0.81	0.25	456.40	112.69	3,004.35	
HYDROZONE E - LEFT SIDE - LOW WATER	0.20	DRIP	0.81	0.25	719.50	177.65	4,736.26	
HYDROZONE H - BACKYARD MULCH				1.00	540.00	0.00	0.00	
HYDROZONE I - BACKYARD - LAWN	0.70	SPRAY	0.75	0.93	635.30	592.95	15,807.96	
HYDROZONE J - BACKYARD - MEDIUM WATER	0.50	DRIP	0.81	0.62	209.60	129.38	3,449.34	
HYDROZONE K - BACKYARD UNDER TREES - LOW WATER	0.20	DRIP	0.81	0.25	833.60	205.83	5,487.35	
HYDROZONE L - NERIUM - LOW WATER	0.20	DRIP	0.81	0.25	485.40	119.85	3,195.25	
HYDROZONE N - YOGA - LOW WATER	0.20	DRIP	0.81	0.25	248.80	61.43	1,637.78	
					Totals	5,428.40	2,323.88	
Special Landscape Areas								
HYDROZONE F				1.00	48.00	48.00	1,279.68	
HYDROZONE G				1.00	481.00	481.00	12,823.46	
HYDROZONE M				1.00	16.00	16.00	426.56	
					Totals	545.00	545.00	
						ETWU Total	76,484.34	
						Maximum Allowed Water Allowance (MAWA)^e	94,126.33	

^aHydrozone #/Planting Description
 E.g. 1) front lawn
 2) low water use plantings
 3) medium water use planting

^bIrrigation Method
 overhead spray or drip

^cIrrigation Efficiency
 0.75 for spray head
 0.81 for drip

^dETWU (Annual Gallons Required) =
 Eto x 0.62 x ETAF x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet and ETAF is .55 for residential areas and 0.45 for non-residential areas.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet and ETAF is .55 for residential areas and 0.45 for non-residential areas.


ETAF Calculations

Regular Landscape Areas	Total ETAF x Area
Total ETAF x Area	2,323.88
Total Area	5,428.40
Average ETAF	0.43

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	Total ETAF x Area
Total ETAF x Area	2,868.88
Total Area	5,973.40
Sitewide ETAF	0.48

HYDROZONE LEGEND

-  HYDROZONE A front yard by street medium water use plants
-  HYDROZONE B front yard lawn
-  HYDROZONE C front yard by house medium water use plants
-  HYDROZONE D front yard by road low water use plants
-  HYDROZONE E left side and backyard low water use plants
-  HYDROZONE F side yard vegetable beds
-  HYDROZONE G backyard fruit trees
-  HYDROZONE H mulch areas
-  HYDROZONE I backyard lawn
-  HYDROZONE J backyard by house medium water use plants
-  HYDROZONE K right side and backyard low water use plants
-  HYDROZONE L right side yard existing Oleander shrubs
-  HYDROZONE M front yard water feature
-  HYDROZONE N backyard - yoga platform low water use plants

DESIGNER STATEMENT WITH SIGNATURE AND DATE:

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

DESIGNER SIGNATURE: *Hranova Zuzana*

DATE: 2/9/2021

SPAGNOLI COURT

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Zuzana Hranova
 Landscape Designer

JOB LOCATION:
 301 Spagnoli Ct,
 Los Altos, CA

SHEET CONTENTS:
 GROUNDPLAN
 scale 1/8" = 1'-0"

DESIGNED BY:
 ZH

DATE:
 9-14-2021

PAPER SIZE:
 36" x 24"

PLAN NUMBER:
 21-027 L6

REVISIONS	BY
9/20/2021	ZH
11/16/2021	ZH
1/12/2022	ZH
2/9/2022	ZH

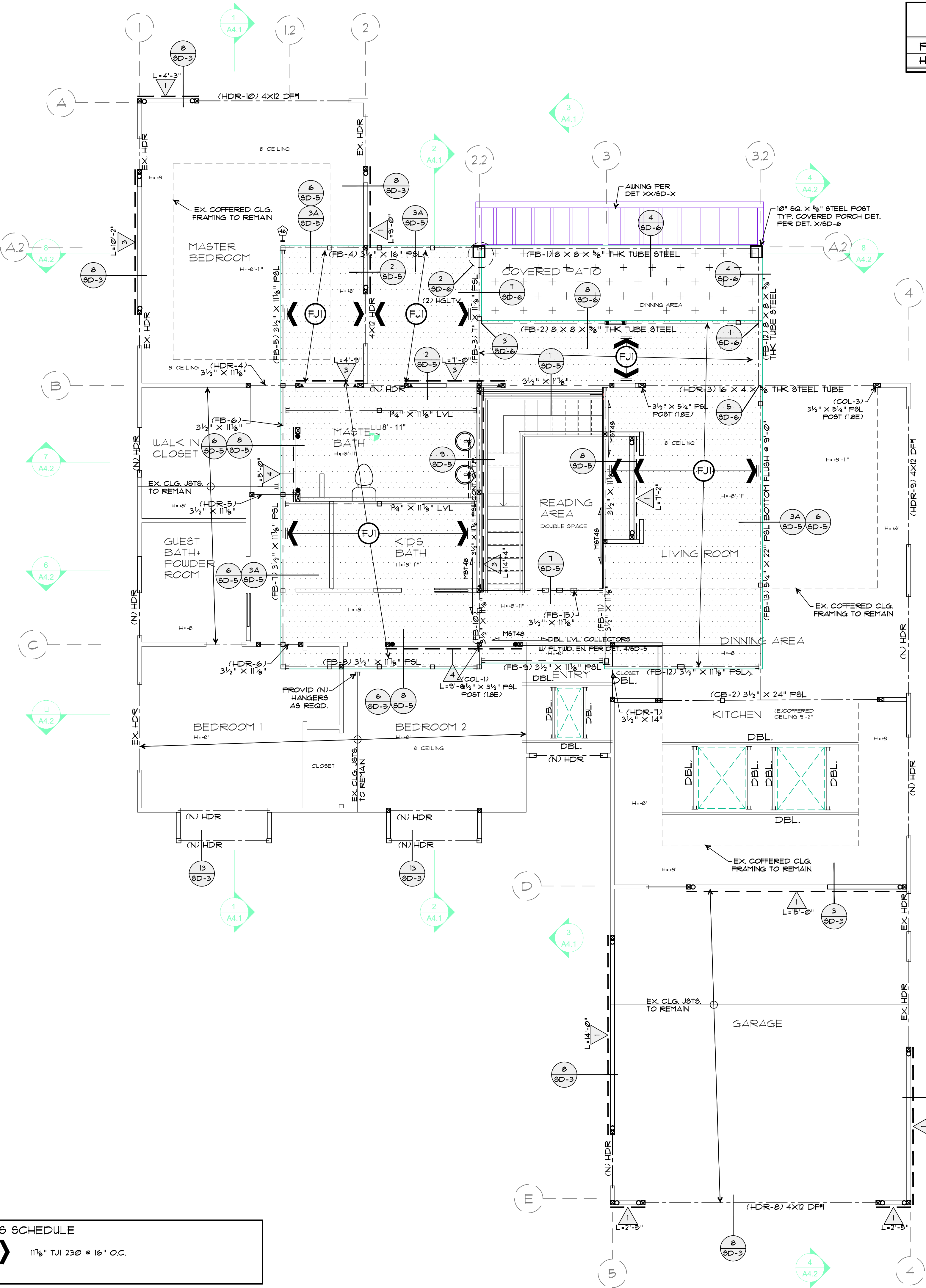
CONCEPT PLAN - HYDROZONE PLAN & WATER CALCULATION

HARDY FRAME SHEAR PANEL SCHEDULE (E9R-2089)

PANEL	SIZE	ANCHOR	TOP CONN.	BOTT. CONN.
HFX-1	HFX-18 X 9	1 1/2" STD 14-20	6/HFX-2	2/HFX-1 AND 1/HFX-2

HANGER SCHEDULE (U.N.O.)

SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.
2X RAFTERS, DBL. RAFTERS	L8SU, L8U	--
2X CEILING JOISTS, DBL. JOISTS	LUS, LUS	--
TJI FLOOR I-JOISTS	ITS	--
4X BEAM SAUN LUMBER	HU	4X4 DF#2
6X BEAMS SAUN LUMBER	HU	4X6 DF#2
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2
5 1/2" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1
1/4" MICROLAM	LSU	2-2X4 DF#2
SKEWED BEAMS	SKEWED HU	4X4 DF#2
SINGLE FLANGE APPLICATIONS	MGU	--
TRUSS HANGERS	USE MANUF. SUPPLIED HANGERS	



LEGEND :

POSTS: (SEE DETAIL 9/SD-2)

- DBL. 2X4 POST
- 4 X 4 POST
- 4 X 6 POST
- 6 X 6 POST
- INDICATES 4X OR 6X KING POST

UPPER FLOOR HOLD-DOWNS: (SEE DETAIL 10,11,12/SD-5)

- INDICATES WELDED HOLD-DOWN THREADED ROD PER DET. X/SD-X
- INDICATES HOLD-DOWN STRAP/BRACKET
- INDICATES SHEAR ELEMENT VERTICAL END POST
- INDICATES BEAM SUPPORTING POST
- INDICATES HOLD-DOWN STRAP/BRACKET BEAM TO POST CONNECTION
- INDICATES LOCATION OF THROUGH BOLT ON SUPPORTING BEAM BELOW

HOLD-DOWNS: (SEE DETAIL 1/SD-1)

- INDICATES HOLD-DOWN BRACKET
- INDICATES SHEAR ELEMENT VERTICAL END POST
- HDU2 W/ SIMPSON SSB20 STAB BOLT
- HDU5 W/ SIMPSON SSB24 STAB BOLT
- HDQ8 W/ SB 1/2" X 24" STAB BOLT
- HDQ11 W/ SB 1/2" X 30" STAB BOLT
- HD19 W/ FAB 10 THREADED BOLT

SHEAR-WALLS: (SEE SHEET SD-2)

- INDICATES HOLD-DOWN BRACKET
- INDICATES SHEAR WALL LOCATION
- INDICATES SHEAR MATERIAL
- INDICATES NOT PART OF LATERAL SYSTEM
- INDICATES SHEAR-WALL TYPE
- INDICATES SHEAR-WALL LENGTH
- INDICATES SHEAR ELEMENT VERTICAL END POST
- INDICATES STRAP / UPPER FLOOR HOLD-DOWN
- NEW WALL
- NON-SHEAR BEARING WALL
- INDICATES THE SHEAR LINE NAME AND LOCATION
- STRAP BY LENGTH DEPICTED, SEE DETAIL 14/SD-3 FOR ROOF AND 4/5/SD-5 FOR FLOOR

FLOOR/CEILING/ROOF FRAMING:

- HANGER PER SCHEDULE
- JOIST WITH A HANGER
- JOIST WITH A SUPPORT BELOW
- JOIST WITH A CANTILEVERED END
- 2nd FLOOR FRAMING
- 2nd FLOOR FRAMING (DECK/BALCONY)
- PRE-FABRICATED PANEL SEE HARDY FRAME SCHEDULE

CEILING FRAMING NOTES :

- FLOOR JOISTS: SEE CEILING JOISTS SCHEDULE
- HEADERS: SEE SCHEDULE ON DETAIL 10/SD-2
- WALLS STUDS: 2 X 4 DF#2 @ 16" O.C. UP TO 10'-0" HEIGHT. USE 2 X 6 DF#2 @ 16" O.C. FOR WALLS 10'-2" AND TALLER
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
- ALL OPENINGS ON THE CEILING'S LARGER THAN 24" WIDE SHOULD BE FRAMED AROUND WITH DOUBLE CEILING JOISTS U.N.O.

FLOOR FRAMING NOTES:

- FLOOR JOISTS: SEE PLANS
- FLOOR SHING: 3/4" TAG PLYWOOD W/ 10d @ 6" O.C. EN. 4 10" O.C. FN.
- HEADERS: SEE SCHEDULE ON DETAIL 10/SD-2
- PROVIDE DOUBLE FLOOR JOISTS MIN. BELOW BEARING WALLS AND 2X MIN. BLOCKING UNDER THE PERPENDICULAR WALLS.
- SHEAR WALLS: SEE SCHEDULE ON SHEET SD-2
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
- PROVIDE FLYWOOD EDGE NAILING FOR ALL COLLECTOR BEAMS/JOISTS.
- CONTRACTOR SHOULD FOLLOW INSTALLATION SPECS PROVIDED ON SHEET FJ-1 FOR ENGINEERED FLOOR JOISTS

FLOOR JOISTS SCHEDULE

(FJ)	1 1/8" TJI 230 @ 16" O.C.
------	---------------------------

2nd FLOOR FRAMING & 1st FLOOR SHEAR WALL & CEILING PLAN SCALE: 1/4" = 1'-0"

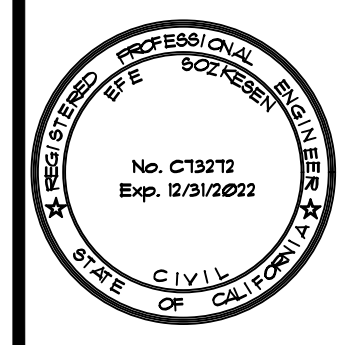
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MUTHU & NEELAKANTAN RESIDENCE
 301 SPAGNOLI COURT
 LOS ALTOS, CA 94024

PROJECT NAME: MUTHU & NEELAKANTAN RESIDENCE

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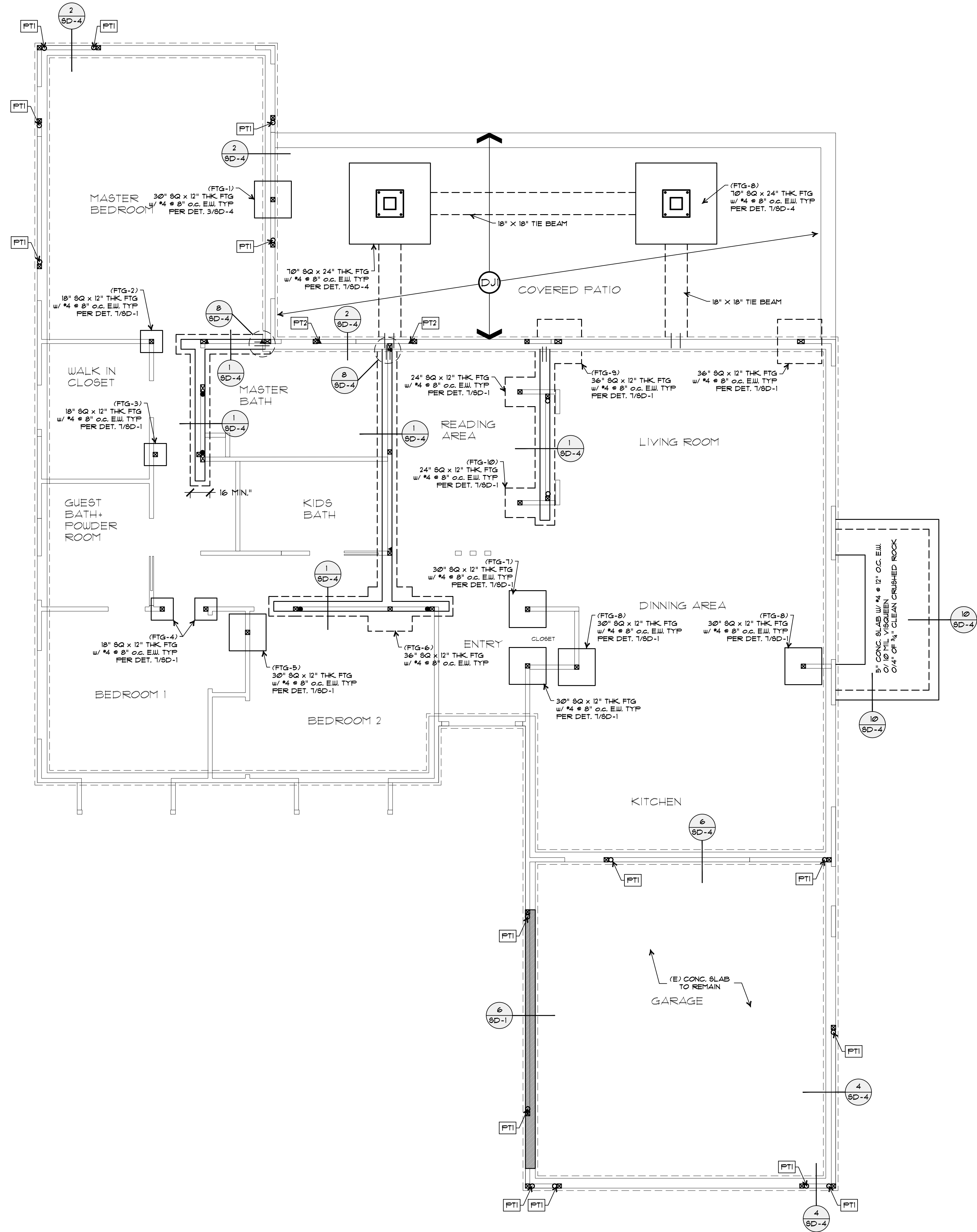


JOB NO: 21-233
 DRAWN: J.V.
 DATE: 1-13-21
 SCALE: AS NOTED

SHEET NO: **S-2**

FLOOR JOISTS SCHEDULE

2x6 FTDJ @ 16" O.C.
 2x FT. SLEEPERS @ 48" O.C.
 5" CONC. SLAB



HANGER SCHEDULE (U.N.O.)

SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.
2X RAFTERS, DBL. RAFTERS	LSSU, LSU	--
2X CEILING JOISTS, DBL. JOISTS	LUS, LUS	--
TJI FLOOR I-JOISTS	ITS	--
4X BEAM SAWN LUMBER	HU	4X4 DF#2
6X BEAMS SAWN LUMBER	HU	4X6 DF#2
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1
1 1/4" MICROLAM	LSU	2-2X4 DF#2
SKEWED BEAMS	SKEWED HU	4X4 DF#2
SINGLE FLANGE APPLICATIONS	MGU	--
TRUSS HANGERS	USE MANUF. SUPPLIED HANGERS	

FULL TEST VALUE TABLE

HOLDDOWN NUMBER	VALUES (LBS.)
PT1	4500
PT2	9000

* REQUIRED THREADED BOLTS SHOULD BE INSTALLED PER 1/SD-4 CONDITION "A" BEFORE CALLING FOR FULL TEST.

LEGEND :

POSTS: (SEE DETAIL 9/SD-2)

- DBL. 2X4 POST
- 4 X 4 POST
- 4 X 6 POST
- 6 X 6 POST
- INDICATES 4X OR 6X KING POST

HOLDDOWNS: (SEE DETAIL 1/SD-1)

- INDICATES HOLD-DOWN BRACKET
- INDICATES SHEAR ELEMENT VERTICAL END POST
- HDU2 W/ SIMPSON SSB230 STAB BOLT
- HDU5 W/ SIMPSON SSB234 STAB BOLT
- HDQ8 W/ SB 1/2"x24" STAB BOLT
- HHQ11 W/ SB 1X30 STAB BOLT
- HD19 W/ FAB 10 THREADED BOLT

SHEAR-WALLS: (SEE SHEET 9D-2)

- INDICATES HOLD-DOWN BRACKET
- INDICATES SHEAR WALL LOCATION
- INDICATES SHEAR MATERIAL
- INDICATES NOT PART OF LATERAL SYSTEM
- INDICATES SHEAR-WALL TYPE
- INDICATES SHEAR-WALL LENGTH
- INDICATES STRAP / UPPER FLOOR HOLD-DOWN
- NEW WALL
- NON-SHEAR BEARING WALL
- INDICATES THE SHEAR LINE NAME AND LOCATION
- STRAP BY LENGTH DEPICTED. SEE DETAIL 14/SD-3 FOR ROOF AND 45/SD-5 FOR FLOOR

FLOOR/CEILING/ROOF FRAMING:

- HANGER PER SCHEDULE
- JOIST WITH A HANGER
- JOIST WITH A SUPPORT BELOW

FOUNDATION:

- HANGER PER SCHEDULE
- WALL ABOVE
- CONCRETE SLAB PER PLANS
- TYPICAL SPREAD FOOTING
- EXISTING FOUNDATION TO REMAIN

- FLOOR FRAMING NOTES:**
- FLOOR JOISTS: SEE FLOOR JOISTS SCHEDULE
 - FLOOR SHING: EXISTING FLOOR SHEATHING TO REMAIN
 - HEADERS: SEE SCHEDULE ON DETAIL 10/SD-2
 - PROVIDE DOUBLE FLOOR JOISTS MIN. BELOW BEARING WALLS AND 2X MIN. BLOCKING UNDER THE PERPENDICULAR WALLS.
 - SHEAR WALLS: SEE SCHEDULE ON SHEET 9D-2
 - SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
 - PROVIDE PLYWOOD EDGE NAILING FOR ALL COLLECTOR BEAMS/JOISTS.

- FOUNDATION NOTES:**
- ALL HARDWARE IN DIRECT CONTACT WITH PRESSURE TREATED LUMBER SHALL BE GALVANIZED OR ZINC COATED OR STAINLESS STEEL.
 - TYP. HOLD-DOWN INSTALLATION: SEE DETAIL 1/SD-1
 - ALL HARDWARE SHOULD BE PRE-SET (ANCHOR BOLTS, HOLDDOWNS, ETC.) PRIOR TO CONCRETE POUR.
 - ALL HARDWARE SHOULD MANUFACTURED BY "SIMPSON" U.N.O. (REPLACEMENT HARDWARE IS ALLOWED, PLEASE CONTACT E.O.R.)
 - CONTRACTOR SHOULD PROVIDE CONSTRUCTION JOINTS ON ANY STRUCTURAL AND THEY SHOULD NOT BE SPACED MORE THAN 10'-0" IN ANY DIRECTION.
 - HARDY FRAME ANCHORAGE DETAIL IS PER HARDY FRAME SCHEDULE

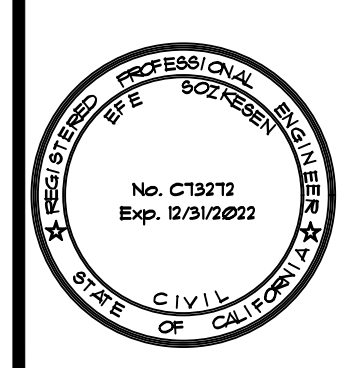
FOUNDATION PLAN SCALE: 1/4" = 1'-0"

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 Phone:(408)-642-5464



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 301 SPAGNOLI COURT
 LOS ALTOS, CA 94024

PROJECT NAME: MUTHU & NEELAKANTAN RESIDENCE



JOB NO: 21-233
 DRAWN: J.V.
 DATE: 1-13-21
 SCALE: AS NOTED

SHEET NO: **S-1**

RAFTER SCHEDULE

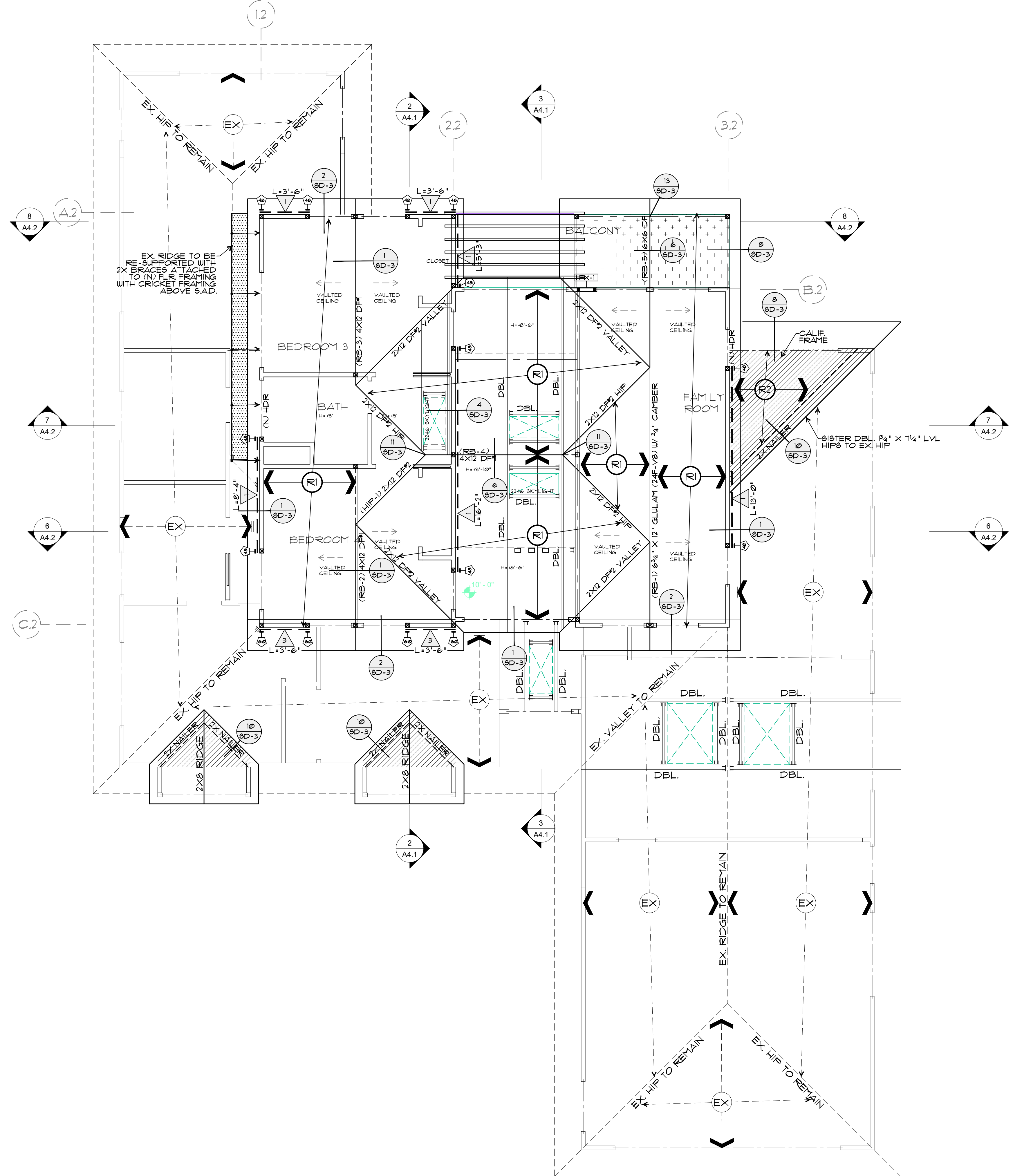
	2 X 8 DF#2 @ 24" O.C.
	2 X 6 DF#2 @ 24" O.C.
	2 X 8 DF#2 RAFTERS @ 24" O.C.

HARDY FRAME SHEAR PANEL SCHEDULE (ESR-2089)

PANEL	SIZE	ANCHOR	TOP CONN.	BOTT. CONN.
HFX-1	HFX-1B X 9	1 1/2" STD 14-20	6/HFX-2	2/HFX-1 AND 1/HFX-2

HANGER SCHEDULE (UNO.)

SUPPORTED MEMBER SIZE	HANGER	MIN. POST SIZE REQ.
2X RAFTERS, DBL. RAFTERS	L89U, L6U	--
2X CEILING JOISTS, DBL. JOISTS	LUS, LUS	--
TJI FLOOR 1-JOISTS	ITS	--
4X BEAM SAWN LUMBER	HU	4X4 DF#2
6X BEAMS SAWN LUMBER	HU	4X6 DF#2
3 1/2" WIDE ENGINEERED BEAM	HHUS	4X4 DF#2
5 1/4" WIDE ENGINEERED BEAM	HHUS	4X6 DF#2
7" WIDE ENGINEERED BEAM	HGUS	6X6 DF#1 / 4X8 DF#1
1 3/4" MICROLAM	L6U	2-2X4 DF#2
SKEWED BEAMS	SKEWED HU	4X4 DF#2
SINGLE FLANGE APPLICATIONS	MGU	--
TRUSS HANGERS	USE MANUF. SUPPLIED HANGERS	



- ROOF FRAMING NOTES:**
- ROOFING MATERIAL: COMP. SHINGLES (MAX WEIGHT = 4 PSF)
 - ROOF SHING: 1/2" CDX PLYUD W/ 8d @ 6" O.C. EN. 4 12" O.C. FN. W/ PLYUD CLIPS @ MID SPAN STAGGER. ALL BEAMS AND INSTALL LONG DIRECTION PERPENDICULAR TO THE FRAMING. (TYP. @ ALL ROOFS)
 - ROOF RAFTERS: SEE RAFTER SCHEDULE
 - HEADERS: SEE SCHEDULE ON DETAIL 10/SD-2
 - WALLS STUDS: 2 X 4 DF#2 @ 16" O.C. UP TO 10'-11" HEIGHT. USE 2 X 6 DF#2 @ 16" O.C. FOR WALLS 10'-2" AND TALLER.
 - COVER THE ENTIRE EXTERIOR WALLS OF THE BUILDING WITH W/ 1/2" CDX PLYUD. W/ TYPE-1 SHR WALL NAILING UNO. BY SHEAR WALL SCHEDULE
 - SHEAR WALLS: SEE SCHEDULE ON SHEET SD-2
 - SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
 - ALL OPENINGS ON ROOF PLYWOOD SHOULD BE STRAPPED W/ C816 COIL STRAP FOR MIN. 12" BEYOND THE OPENING ON ALL SIDES.
 - FOR CEILING BUILT UP SEE DETAILS 13/1 & 20 ON SHEET SD-3 TYP.

LEGEND:

POSTS: (SEE DETAIL 9/SD-2)

- DBL. 2X4 POST
- 4 X 4 POST
- 4 X 6 POST
- 6 X 6 POST
- INDICATES 4X OR 6X KING POST

UPPER FLOOR HOLD-DOWNS: (SEE DETAIL 10/11/12/SD-5)

- INDICATES WELDED HOLD-DOWN THREADED ROD PER DET. X/SD-X
- INDICATES HOLD-DOWN STRAP/BRAKET
- INDICATES SHEAR ELEMENT VERTICAL END POST
- INDICATES BEAM SUPPORTING POST
- INDICATES HOLD-DOWN STRAP/BRAKET BEAM TO POST CONNECTION
- INDICATES LOCATION OF THROUGH BOLT ON SUPPORTING BEAM BELOW

SHEAR-WALLS: (SEE SHEET SD-2)

- INDICATES HOLD-DOWN BRACKET
- INDICATES SHEAR WALL LOCATION
- INDICATES SHEAR MATERIAL
- INDICATES SHEAR-WALL TYPE
- INDICATES SHEAR-WALL LENGTH
- INDICATES SHEAR ELEMENT VERTICAL END POST
- INDICATES STRAP / UPPER FLOOR HOLD-DOWN

ROOF/CEILING:

- HANGER PER SCHEDULE
- CEILING JOISTS DIRECTION
- SIZE AND SPACING PER TABLE ON SD-0
- NEW SKYLIGHT
- SEE ARCH. DET. FOR SIZE INFORMATION PER DET. 9/SD-3
- NEW UPPER ROOF PER PLAN
- NEW LOWER ROOF PER PLAN
- NEW CALIFORNIA FRAMED AREA
- JOIST WITH A SUPPORT BELOW

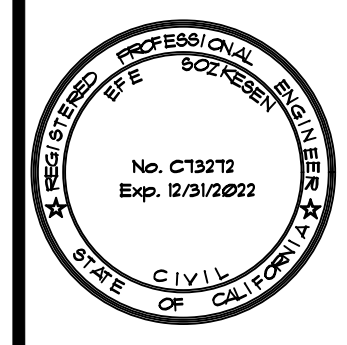
ROOF FRAMING PLAN AND 2nd FLOOR SHEAR WALL PLAN SCALE: 1/4" = 1'-0"

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JOB NO: 21-233
 DATE: 1-13-21
 DRAWN: J.V.
 SCALE: AS NOTED

SHEET NO: **S-4**



Date: May 4, 2022

Agenda Item #5

DESIGN REVIEW COMMISSION AGENDA REPORT

Meeting Date: May 4, 2022

Subject: Form A Combined SB9 Objective Standard Enhancement Subcommittee of Design Review Commission (DRC) and Planning Commission (PC) by Electing Commissioners to the Subcommittee

Prepared by: Jia Liu, Associate Planner

Reviewed by: Steve Golden, Interim Planning Services Manager

Attachments:

- A. April 6, 2022 Joint DRC and PC Study Session Staff Report with Attachments for SB 9 Objective Standards
- B. Draft April 6, 2022 Meeting Minutes

Recommendation:

Establish a combined Subcommittee from Design Review Commission (DRC) and Planning Commission (PC) to further evaluate the SB 9 objective standards as voted by the DRC at the April 6, 2022 Joint DRC and PC Study Session meeting by electing two Subcommittee members. Accept additional comments on SB9 development concerns and/or enhancements to existing SB9 objective standards.

Environmental Review:

The establishment of a Subcommittee is not a “project” within the meaning of Section 15378 of the CEQA Guidelines.

Background:

On December 14, 2021, the City Council adopted Resolution No. 2021-57 in response to the State’s allowance of authorized objective standards for the development of single-family residences per California Senate Bill 9 (SB 9). As directed by the City Council, staff was tasked to hold one or more study sessions with the PC and DRC to obtain feedback from both Commissions and the public for any amendments to the objective design standards.

On April 6, 2022, a Joint DRC and PC Study Session was scheduled at which both DRC and PC voted to establish a joint subcommittee from the DRC and PC subject to Brown Act to further evaluate the SB9 objective standards.

For commissioners’ reference, the April 6, 2022 Joint DRC and PC Study Session staff report with attachments are provided in Attachment A and the draft meeting minutes is provided in Attachment B.



STUDY SESSION

Agenda Item #1

JOINT PLANNING COMMISSION AND DESIGN REVIEW COMMISSION AGENDA REPORT

Meeting Date: April 6, 2022

Subject: Review the City’s SB9 Objective Standards, conduct Study Session to consider any appropriate modifications to the standards, provide direction to staff and/or recommendations to City Council, consider possible formation of one or more ad hoc subcommittees to study the issue further, and find that the commissions’ action in considering proposed changes to the City’s objective standards is exempt from review under the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Sections 15378 and 15306.

Prepared by: Jia Liu, Associate Planner

Reviewed by: Steve Golden, Interim Planning Services Manager

Attachments:

- A. Resolution No. 2021-57 Objective Standards for Single Family Residences
- B. Public Comments Received for SB 9 Objective Standards
- C. SB 9 Fact Sheet from HCD (March 2022)

Recommendation:

Review adopted SB 9 Objective Standards and further input provided by Council members, Design Review Commission Subcommittee members, city staff and the community to improve and enhance the SB 9 objective design standards as directed by City Council. The Commissions may wish to consider organizing a subcommittee (or subcommittees) to complete this work. Subcommittee formation could include one or two subcommittees from each commission or a combined subcommittee with members from each commission. Recommended updates and revisions by the subcommittee(s) would first be reviewed by the full commission(s) who in turn would make final recommendations to the City Council.

Environmental Review:

The study session is not a “project” within the meaning of Section 15378 of the CEQA Guidelines in that the purpose of the study session is merely to provide feedback to staff before staff initiates the recommended amendments to the adopted Resolution No. 2021-57 to regulate the objective standards for single-family residence that is subject to SB 9 process. Additionally, a study session comes within the exception to review under the California Environmental Quality (CEQA) Guidelines per Section 15306 (Information Collection) since the purpose of the study session is to obtain public input and to provide feedback.



Subject: SB9 Objective Standards Updates Study Session

Background:

State Senate Bill (SB) 9

On September 16, 2021, Governor Newsom signed Senate Bill 9, which became effective on January 1, 2022. SB 9 mandates any local municipality must ministerially allow an urban lot split and a proposed housing development containing no more than two residential units on a single-family residential zoned parcel if such housing development meets certain requirements. SB 9 authorizes a local agency to impose objective development standards that shall not preclude the construction of two single-family units with four-foot rear and side yard setbacks and 800 square feet each in floor area.

Adoption of Objective Design Standards – Phase I

On December 14, 2021, the City Council adopted Resolution No. 2021-57 in response to the State's allowance of authorized objective standards for the development of single-family residences per SB 9. Below is a summary of discussions and meetings that lead to the adoption of the SB 9 objective design standards:

- On October 26, 2021, the City Attorney's Office gave an SB 8 and SB 9 presentation to the City Council. City staff were directed to work with a subcommittee of the Design Review Commission (DRC) as a resource to create single family objective zoning standards and to provide the City Council a project update on November 9th.
- On November 3rd, the City Attorney's Office gave an SB 8 and SB 9 presentation to the Design Review Commission (DRC). At this meeting city staff asked that a DRC Ad Hoc Subcommittee composed of two members be formed so input could be provided on the SB 9 objective design standards.
- On November 9th, City staff met with the DRC Ad Hoc Subcommittee to discuss the draft single-family objective standards. Additionally, at the November 9, 2021 Council meeting, staff provided updates on SB 9 single-family residential objective standards progress to the Council.
- On November 30, 2021, staff presented the recommended objective design standards in a draft resolution to the City Council. The Council continued the item to the December 14, 2021 Council meeting with specific direction for revisions to the resolution.
- On December 14, 2021, Resolution No. 2021-57 was adopted by the Council with the Council's direction to revisit the SB 9 single-family residential objective standards in 2022. Item #3 in the resolution directed staff to hold study sessions with the Planning Commission and Design Review Commission to obtain feedback from the commissions and the public to inform the Council on feedback to the objective design standards. Council also identified specific items needing further examination that are included in the list below.

SB 9 Applications Received

As of the publication of this staff report, the city has received three separate SB 9 applications. Each application was for a new single-family residence on an existing parcel which are authorized under SB



Subject: SB9 Objective Standards Updates Study Session

9 regulations that allow for the development of no more than two residential units on one parcel. No approvals have been granted to any of the applications.

SB 9 HCD Fact Sheet

On March 25, 2022, the California Department of Housing and Community Development released the “SB 9 Fact Sheet” (Attachment C) which provides further clarifying information regarding SB 9.

Discussion/Analysis:

In the Council’s adoption of the SB 9 Objective Design Standards, staff was directed to hold one or more study sessions with the Planning Commission and Design Review Commission to obtain feedback from the Commissions and the public for any amendments to the design standards. This study session provides the commissions an opportunity to any feedback or determine whether further are necessary for the SB 9 Objective Design Standards and how to best organize themselves and make efficient use of the commissions’ time. If there is interest by one or both of the commissions to further study and additional feedback to the standards, a subcommittee or subcommittees be formed to work more efficiently to develop recommendations for the commissions. Two independent subcommittees could be formed by each commission, or a joint commission subcommittee with members from both commissions could be formed.¹ While residential design issues related to single-family residential development are delegated to the Design Review Commission, there are land use related issues as it relates to intensity of development (e.g. floor area and lot coverage maximums, land division, and overall residential land use issues) that may interest the Planning Commission. In the case of any subcommittee(s) that is formed, the subcommittee’s recommendations would be brought to their respective commission, which in turn would make a recommendation to the Council.

Potential Discussion Items for Further Examination – Phase II

Staff has summarized below potential design related issues and specific objective design standards recommended for further examination by the direction from the City Council, comments received from the DRC Subcommittee during Phase I, implementation of adopted design standards on SB 9 projects submitted, and other comments provided by the public:

Items Directed by the Council at the December 14, 2021 Council Meeting:

- Whether building colors should be regulated;
- A better definition or requirement regarding the maturity of screening vegetation;
- Definition and requirements for floor area ratio, which would need to be addressed by ordinance;
- Consideration of allowing taller plate heights if larger setbacks are designed;

¹ In either case, the subcommittee cannot constitute a quorum of any one commission. A joint subcommittee would be subject to the Brown Act.



Subject: SB9 Objective Standards Updates Study Session

- Whether affordable housing requirements can be incorporated; and
- Further research and consideration for street access and safety.

Unresolved Items from the Phase I DRC Subcommittee:

- Definition of site coverage – consideration shall be provided toward a paving per open space standard in the rear yard and how it will impact the drainage, stormwater, etc.;
- Definition of floor area – consideration to include tall ceilings (i.e., two-story ceiling heights to be double counted for floor area); and
- Garage door design and materials.

Recommended Items from Staff:

- Revise APPDENDIX 1, 2.D through G excluding E., to include appropriate setbacks for all residential zoning districts (the setbacks for R1-10 is the only one provided);
- Second story step-back requirements;
- Consideration of minimum tree replacement requirements when protected trees will be removed (i.e. A minimum of one, Category II size tree with a minimum size of 15 gallons or 24-inch box shall be planted for each protected tree up to four trees);
- Add an exception note to Objective Design Standard 2.E.a. - Additional tree planting is not required when existing trees meet or exceed the required planting standards.
- Objective Design Standard 3.D, add language to establish that screening is required for two-story residences only.
- Address height/bulk/scale for non-traditional construction methods that do not have a “plate” structure member;
- Establishment of SB 9 review fees on SB 9 housing and urban lot splits;
- Review and/or simplify daylight plane requirements (i.e. including SB9, each structure type has a different daylight plane in the zoning code); and
- Consideration of restricting the percentage of the ceiling height for each story that exceeds the wall plate height limits.

Comments Provided by the Public (Attachment B):

- Concern regarding urban lot splits on double frontage streets;
- Concern regarding urban lot splits on lots taking access from substandard streets; and
- Privacy concern and lighting impacts for development placed on sloping different lots.

RESOLUTION NO. 2021-57

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALTOS ESTABLISHING OBJECTIVE STANDARDS FOR SINGLE FAMILY RESIDENCES TO IMPLEMENT SENATE BILL 9

WHEREAS, on September 16, 2021, the Governor signed Senate Bill 9 (Stats. 2021, Ch. 162) (“SB 9”); and

WHEREAS, SB 9 allows for streamlined ministerial approval for certain residential dwelling units in single-family residential zones; and

WHEREAS, SB 9 requires the City to apply objective design standards to residential dwelling units approved pursuant to the legislation and prohibits discretionary design review for such units; and

WHEREAS, the City of Los Altos has adopted Single-Family Residential Design Guidelines (the “SFRDG”) pursuant to Section 14.76.020 of the Los Altos Municipal Code; and

WHEREAS, to implement SB 9, it is necessary or convenient that the City Council amend the SFRDG to specify objective design criteria applicable to new single-family homes; and

WHEREAS, SB 9 allows cities to impose certain standards for projects approved under that legislation, which the City Council desires to adopt; and

WHEREAS, certain ambiguities in SB 9 require resolution pending guidance from the judiciary and the Department of Housing and Community Development.

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Los Altos, as follows:

1. Effective January 1, 2022, the SFRDG are hereby amended to include as APPENDIX D-1 thereof the objective single-family design guidelines (the “Objective Standards”) attached to this Resolution as **Appendix 1**. After January 1, 2022, applications to remodel existing single-family residences and applications to construct new single-family residences not subject to approval under SB 9 shall continue to be subject to the SFRDG. Applications to construct new dwelling units subject to approval under SB 9 shall comply with the Objective Standards. Applicants for projects subject to approval under SB 9 are strongly encouraged to comply with all provisions of the SFRDG to ensure high quality design and neighborhood compatibility.
2. Nothing in this Resolution or its appendices is intended to preclude the application to SB 9 projects of: building codes, state and local rules with respect to accessory

dwelling units and junior accessory dwelling units, or other laws generally applicable to housing development projects of one to four units.

3. As soon as practicable, Staff is directed to hold one or more study sessions with the Planning Commission and with the Design Review Commission to obtain feedback concerning the Objective Standards from both commissions and from the public. Relying on such feedback and the experience of Staff in implementing SB 9, Staff is hereby directed to return to the City Council no later than May 2022 to report on the implementation of SB 9 and to recommend any amendments to the Objective Standards.
4. SB 9 authorizes local agencies to impose certain standards and requirements outlined in **Appendix 2** to this Resolution. Those standards and requirements are hereby adopted, and the SFRDG is hereby amended to incorporate the standards as APPENDIX D-2 thereof.
5. SB 9 contains certain ambiguities that require interpretation. Pending further guidance from the Department of Housing and Community Development and the judiciary, Staff are hereby directed to follow the guidance included in the interpretive guidance document attached as **Appendix 3** to this Resolution. If guidance from HCD or the judiciary conflicts with anything in **Appendix 3**, then that guidance shall control.
6. The City Council hereby finds that the adoption of this Resolution is exempt from review under the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Sections 15061(b)(3) (Common Sense Exemption) and 15308 (Actions by Regulatory Agencies for the Protection of the Environment), in that the regulations hereby imposed are intended to preserve scenic quality for the City of Los Altos by establishing design guidelines to protect the existing community character, and because it can be seen with certainty that the adoption of the regulations hereby imposed will not have a significant effect on the environment (or that any such effect is wholly speculative), and none of the circumstances in CEQA Guidelines Section 15300.2 applies.
7. In adopting this Resolution, the City Council intends that it be construed to be consistent with the state and federal constitutions and with applicable state housing laws, including SB 9. If any section, sentence, clause, or phrase of this Resolution (including its appendices), is, for any reason, held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions hereof.
8. Any person wishing to challenge the validity of any provision of this Resolution (including its appendices), whether facially or as applied, shall, if aggrieved by such provision, appeal to the City Council pursuant to Chapter 1.12 of the Los Altos Municipal Code. As used herein, a person is “aggrieved” if, (a) a provision of this Resolution would prevent the individual from seeking approval of a housing development project for which the individual would like to apply, and (b) in the opinion of the individual, the challenged provision is invalid or unconstitutional. If the City

Council grants an appeal a facial challenge, then it shall direct staff to propose appropriate amendments to this Resolution, consistent with the City Council’s decision on the appeal. If the City Council grants an as-applied challenge, then it may allow an exception to standards to the limited extent necessary to avoid the invalidity or unconstitutionality.

I HEREBY CERTIFY that the foregoing is a true and correct copy of a Resolution passed and adopted by the City Council of the City of Los Altos at a meeting thereof on the 14th day of December, 2021 by the following vote:

- AYES: Council Members Fligor, Lee Eng, Weinberg, Vice Mayor Meadows and Mayor Enander
- NOES: None
- ABSENT: None
- ABSTAIN: None



Anita Enander, MAYOR

Attest:



Andrea Chelemengos, MMC, CITY CLERK

**APPENDIX 1
OBJECTIVE STANDARDS ADOPTED AS
APPENDIX D-1 TO THE SFRDG**

Objective Standards for Single-Family Residential Zone

It is intent that the following standards shall not be applied to preclude a housing development project allowed under SB 9. As used here, a residential dwelling unit includes living space only and not parking or accessory structures.

1. Definition – any term not defined in this section has the meaning given in the City Municipal Code unless otherwise specified.

“Secondary front lot line” means a lot line abutting a street which is not a front lot line.

“Plate height” means the vertical distance measured from the top of the finished floor to the top of the plates.

“Exterior finish” refers to the exterior façade of a house, excluding the roofs, trim, windows, doors, and shutters.

“Exterior trim” refers to the finish materials on the exterior of a building, such as moldings applied around openings (window trim, door trim), siding, windows, exterior doors, attic vents, and crawl space vents.

“Lines of sight” means with a 60-degree angle beginning at the starting point, 30 degrees to the left and 30 degrees to the right in horizontal perspective.

“High-quality transit corridor” means corridor with fixed route bus service with service intervals no longer than fifteen minutes during the morning and afternoon peak commute hours.

“Major transit stop” means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.

2. SB 9 – Development Standards

A. Lot Split and Minimum Site Area.

An existing parcel shall not be subdivided into more than two parcels. The smallest subdivided parcel shall not be less than forty percent (40%) of the original parcel, and both newly subdivided parcels each shall be no smaller than one thousand two hundred (1,200) square feet.

B. All development standards under Government Code Section 66411.7 are hereby adopted.

C. Site Frontage and Site Width.

- a. The minimum width of the access corridor for each flag lot shall be twenty (20) feet, and shall provide direct access to a public or private street.
- b. Easements for the provision of public services and facilities and egress and ingress are required.

D. Coverage. The following coverage standards apply unless two single-family units with four-foot rear and side-yard setbacks and 800 square feet each in floor area are precluded.

- a. The maximum coverage for all structures in excess of six feet in height shall be thirty-five (35) percent of the total area of the site where the height of one-story development does not exceed twenty (20) feet.
- b. A minimum of fifty (50) percent of the required front yard area shall be a combination of pervious landscape material and landscaping.
- c. On sites where the lot coverage exceeds thirty (30) percent, two-story structures shall not be allowed.

E. Floor Area Ratio. The following coverage standards apply unless two single-family units with four-foot rear and side-yard setbacks and 800 square feet each in floor area are precluded.

- a. For lots with a net site area not exceeding eleven thousand (11,000) square feet, the maximum floor area shall be thirty-five (35) percent of the net site area.
- b. For lots with a net site area exceeding eleven thousand (11,000) square feet, the maximum floor area shall be three thousand eight hundred fifty (3,850) square feet plus ten (10) percent times the net site area minus eleven thousand (11,000) square feet.

F. Setbacks.

- a. Except as noted below, the minimum setbacks shall be as follows:

Front*	
First Story	25 feet
Second Story	30 feet
Secondary Front*	
First Story	10 feet
Second Story	13 feet

Side	
First Story	No less than 4 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the setbacks to be at least 10 feet from the side property lines.
Second Story*	No less than 11.5 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the second story setback to be at least 17.5 feet from the side property lines.
Rear	
	No less than 4 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the rear setback to be at least 10 feet from the rear property line.

- b. No architectural features (i.e. cantilevers, bay windows, and/or any other architectural projections) shall be allowed within the side and rear required setback areas except for 12-inch maximum eaves with four-inch maximum gutters.
- c. Notwithstanding these rules, the applicant shall be allowed to construct within the dimensions of an existing legal building.

*Unless two single-family units with four-foot rear- and side-yard setbacks and 800 square are precluded.

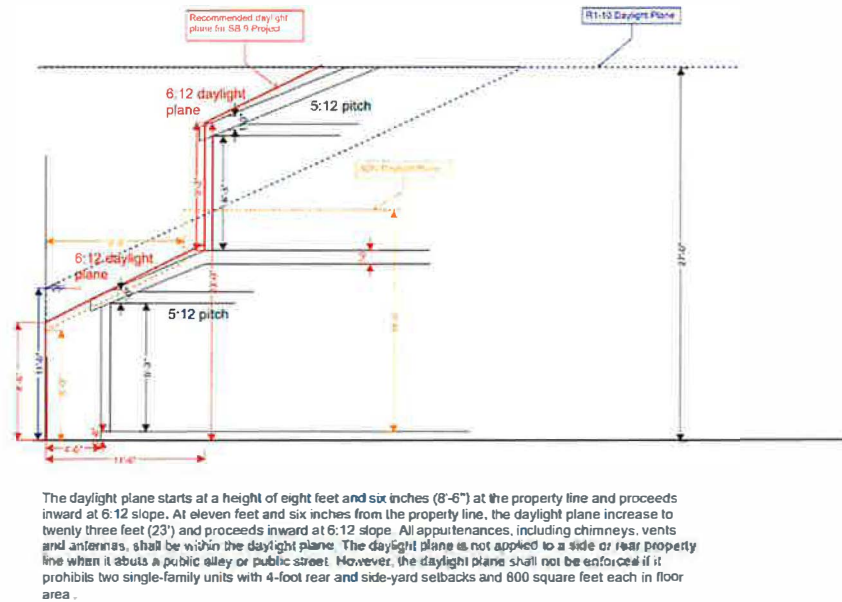
G. Height of Structures.

No structure shall exceed two stories or twenty-seven (27) feet in height from the natural grade. On flag lots the height of structures shall be limited to one story and twenty (20) feet in height. Basements shall not be considered a story. When the lot coverage exceeds or is proposed to exceed thirty (30) percent, the maximum height of structures shall be twenty (20) feet.

H. Daylight Plane.

- a. No portion of any residential units shall extend above or beyond a daylight plane unless two single-family units with four-foot rear- and side-yard setbacks and 800 square feet each in floor area are precluded.

- b. The daylight plane starts at a height of eight feet and six inches (8'-6") at the property line and proceeds inward at 6:12 slope. At eleven feet and six inches from the property line, the daylight plane increases to twenty-three feet (23') and proceeds inward at 6:12 slope. All appurtenances, including chimneys, vents and antennas, shall be within the daylight plane. The daylight plane is not applied to a side or rear property line when it abuts a public alley or public street. However, the daylight plane shall not be enforced if it prohibits two single-family units with 4-foot rear and side-yard setbacks and 800 square feet each in floor area. Notwithstanding this requirement, the maximum required rear and side yard setback shall be no less than four feet.



I. Basements.

Basements shall be regulated as follows:

- a. Basements shall not extend beyond the floor area of the first floor of the main or accessory structure above;
- b. Light wells, ingress and egress wells, patio wells, and other similar elements shall not be permitted within a required setback yards.
- c. Light wells, ingress and egress wells, patio wells, and other similar elements shall utilize vertical retaining walls. Contour graded slopes, which expose the basement as a story, are prohibited.
- d. Light wells, ingress and egress wells, patio wells, and other similar elements shall be at least seventy-five (75) percent open in area to light and air above.

J. Outdoor Kitchen, Barbeques, Fireplaces, and Swimming Pools.

Outdoor kitchen barbeques, fireplaces, and swimming pools shall be subject to zoning standards of the underlying zoning district.

K. Parking.

- a. One covered parking space for each unit with minimum dimensions of nine (9) feet in width and eighteen (18) feet in depth is required. Uncovered parking shall be allowed only to the extent necessary to facilitate the construction of two units that each is 800 square feet in size.
- b. No parking is required in either of the following instances:
 - 1) The subject parcel is located within one-half mile walking distance of either a high-quality transit corridor or a major transit stop.
 - 2) A car share vehicle program is located within one block of the parcel.

L. Signs.

Signs shall be subject to zoning standards of the underlying zoning district.

M. Fences.

Fences shall be subject to zoning standards of the underlying zoning district.

N. Nonconforming Use Regulations.

Corrections on nonconforming zoning conditions shall not be required for the ministerial approval of a parcel map application for the creation of a lot split pursuant to SB 9.

O. Accessory Structures.

Accessory structures shall be subject to zoning standards of the underlying zoning district.

3. SB 9 – Objective Design Standards

A. Plate Heights.

- a. Plate height is limited to 9’-3” for the first floor except that an entry porch may have a maximum plate height of 12’ and a garage may have a maximum plate height of 10’.
- b. Plate height is limited to 8’-3” for the second floor.

B. Second Floor Windows.

Second floor windows shall be regulated as follows:

- a. On elevations that are facing interior side property lines, a minimum sill height of 4’-6” is required for all second-floor windows.

- b. On elevations that are facing rear property lines adjacent to a neighboring property, a minimum sill height of the California Building Code (CBC) minimum required sill height for egress or light and ventilation shall be provided.
- c. For any windows within ten feet of rear or interior side property lines adjacent to a neighboring property, the maximum second story window size shall be no larger than the CBC minimum required size.

C. Balcony and Rooftop Deck.

Balconies and rooftop decks shall be regulated as follows:

- a. Balconies and/or roof decks are prohibited when facing interior side yards and rear yard adjacent to a neighboring property.
- b. A balcony or a roof deck is allowed only on front elevations facing public and private streets; and a minimum of twenty-five (25) feet side setback shall be provided from the side property lines to the edge of the balcony or roof deck.
- c. The maximum depth for any balconies and rooftop decks shall be four (4) feet.
- d. The maximum size for any balconies and rooftop decks shall be 25 square feet.
- e. Screening devices shall include solid railing walls instead of open railings, and latticework above the required railing height to obscure sight lines from a balcony or a roof deck.

D. Screening Vegetation.

Screening vegetation shall be regulated as follows:

- a. Screening vegetation is required in either of the following situations:
 - 1) Within lines of sight for any proposed balcony and roof deck projected to any side property line, screening vegetation shall be planted.
 - 2) Within lines of sight from each jamb of any windows with a sill height of less than 4'-6" at second floor, screening vegetations shall be planted.
- b. Any required screening vegetation shall be evergreen species reaching to at least fifteen feet through twenty feet in height at their mature age with permanent irrigation and shall be maintained for the life of the project.
- c. At least twenty-four-inch (24-inch) box screening vegetation shall be planted prior to occupancy of the residence.

E. Landscaping.

Onsite landscaping shall be regulated as follows:

- a. Trees selected from the [Street Tree Planting List](#) are required to be planted on site following the standards below:
 - 1) For lots five thousand (5,000) square feet in size or greater, at least two, Category II trees shall be planted with at least one, Category II tree planted in the front yard. For each additional five thousand (5,000) square-foot lot size, one more Category II tree shall be planted onsite.
 - 2) For lots with less than five thousand (5,000) square feet in size, at least one, Category II tree or two Category III trees shall be planted onsite.
 - 3) If there are existing trees onsite, an arborist report, prepared by an ISA certified arborist, may be required to determine the equivalent value of existing trees compared to the Street Tree Planting List.
- b. Water Efficiency Landscape Ordinance (WELO) and its submittal requirements apply to the following projects:
 - 1) New construction projects with new or rebuilt landscape areas that exceed five hundred (500) square feet.
 - 2) Remodels and/or additions to existing single-family houses with new or rebuilt landscape areas that exceed two thousand five hundred (2,500) square feet.

F. Construction Materials and Colors.

All construction materials shall be long-term (30 years) durability and appearance, as per manufacture's specifications. Specifically, the construction materials shall be subject to the following:

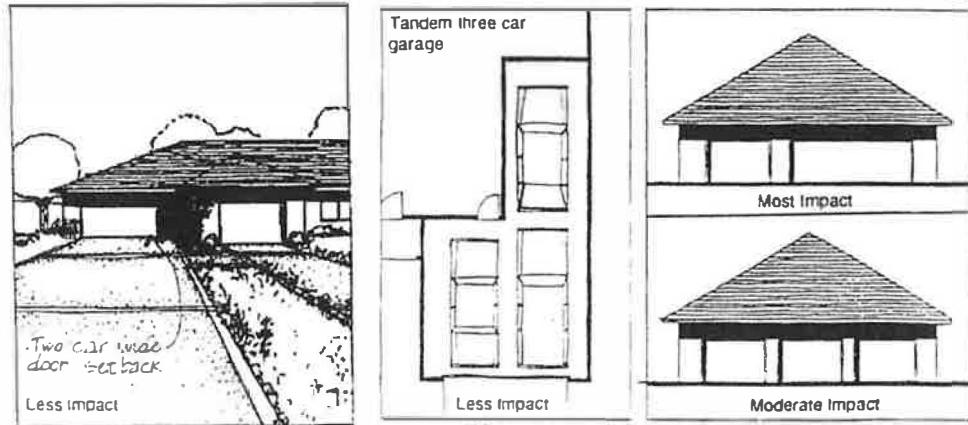
- a. Foam trim with a painted stucco finish is prohibited throughout the structure(s).
- b. Mixing roof materials and colors are not allowed except for curved dormers and shed roof structures.
- c. Exterior finish including wainscoting used for one structure shall be no greater than three different materials. Each material may be a different color, but every part of exterior finish comprised of a single material shall be a single color.
- d. Window and door trims shall be limited to one material and one color. The material and color shall be the same for both windows and door trims.

- e. Architectural detailing shall be incorporated such as window and door trim, belly bands, cornices, shutters, column accents to the entry porch, and railings in an integrated composition.

G. Site and Building Design.

The site and building design shall be subject to the following standards to create visual variety and avoid a large-scale appearance:

- a. Driveway shall be designed per the following standards:
 - 1) Each property is prohibited from more than one curb cut or driveway accessing a street unless the subject site is fronting a City's Arterial or Collector road.
 - 2) A curb cut or driveway width connecting to a public or private street shall be no greater than twenty-two (22) feet.
 - 3) For corner lots, driveway connections shall be at least thirty (30) feet from the intersecting corner property lines at the street intersection.
 - 4) If the project impacts a street shoulder, then it shall be improved accordingly per City's Street Shoulder Improvement Policy.
- b. Façade articulation shall be provided with at least six corners on the first floor.
- c. Building entrances shall have a roofed projection (such as a porch) or recess with a minimum depth of at least five feet and a minimum horizontal area of thirty (30) square feet. Any corners within the building entrances shall not count as part of the corners as required above.
- d. Downspout shall be painted to match or accent the exterior finish color.
- e. Attached garage shall be subject to the following standards:
 - 1) Attached garage shall be recessed at least one foot from the front elevation wall plane of the residence.
 - 2) When a three-car attached garage is proposed, visual impact shall be reduced by, (i) using a tandem parking layout inside a two-car-wide garage; (ii) using three single-car-wide garage doors instead of a double and a single garage door; or (iii) setting back one of the doors from the others.



- f. Windows and doors shall either be trimmed or recessed.
 - 1) When trimmed, the trim material shall not be less than 3.5" in width by 3/4" in depth when protruding from the wall.
 - 2) When recessed, the building primary siding material shall cover the recessed edge faces and wrap toward the interior face of the window glazing or door face by not less than 2 inches in depth.
- g. The design of roof shall be regulated as follows:
 - 1) No more than two types of roof forms shall be used.
 - 2) No more than two roof pitches shall be used.
- h. First floor finished elevation shall be no more than twenty-two (22) inches above existing natural grade on a non-hillside lot. In a flood zone or flood way, the first-floor level may be set at the minimum allowed above grade to meet code requirements.
- i. For a hillside property, a stepped foundation is required where the average slope beneath the proposed structure is 10% or greater.
- j. No permanent noise generating mechanical equipment shall be located in any required side and rear yards. The placement and operation of any such equipment must be consistent with the City's Noise Ordinance.
- k. No exterior staircases above grade shall be allowed.
 - 1. Except for pathway lighting, outdoor lighting fixtures shall be downward facing and fully shielded or recessed.
- m. All new utility services and relocated existing utility services are placed underground pursuant to Chapter 12.68 of Municipal Code.

APPENDIX 2
STANDARDS ADOPTED PURSUANT TO SB 9 AS
APPENDIX D-2 TO THE SFRDG

1) **Objective Zoning/Subdivision/Design Standards.** SB 9 authorizes the City to impose objective zoning standards, objective subdivision standards, and objective design review standards applicable to structures and parcels created by an urban lot split that do not conflict with SB 9 or preclude the construction of two 800 square foot minimum primary dwelling units. Accordingly, all such existing objective City standards shall apply to SB 9 projects, in addition to any additional objective standards that the City may adopt.

2) **Maximum Units and Lots.** The City shall not approve more residential dwelling units or lots for any SB 9 project than required under state law, as set forth in Appendix 3 of City Council Resolution No. 2021-57.

3) **Parking.** SB 9 allows the City to choose to require parking consistent with the terms thereof. Accordingly, the City shall require off-street parking of one space per unit, unless the lot is located within one-half mile walking distance of either a high-quality transit corridor, as defined in subdivision (b) of Section 21155 of the Public Resources Code, or a major transit stop, as defined in Section 21064.3 of the Public Resources Code, or unless there is a car share vehicle located within one block of the parcel.

4) **Setbacks.** SB 9 allows the City to choose to require setbacks consistent with the terms thereof. Accordingly, the City shall require setbacks of not less than four feet from the side and rear lot lines in all SB 9 projects, except as otherwise specified in SB 9.

5) **Applicant Residency; Short-Term Rental.** SB 9 requires every applicant for a ministerial lot split to provide an affidavit confirming that the applicant intends to reside in one of the SB 9 units for three years. The City shall enforce this requirement. All units created under SB 9 shall be subject to the City's short-term rental ordinance, codified at Chapter 14.30 of the Los Altos Municipal Code.

6) **Impact/Development Fees.** Applicants for SB 9 projects shall pay all applicable development impact fees imposed by the City.

7) **Historic Properties.** An SB 9 project may not be located at a property included on the State Historic Resources Inventory, as defined in Section 5020.1 of the Public Resources Code, or at a site that is designated by the City as a historic landmark or listed in the City's historic resource inventory, pursuant to Los Altos Municipal Code Chapter 12.44.

8) **Unavoidable Adverse Impacts.** SB 9 authorizes the Building Official to deny a project upon written findings, based on a preponderance of evidence, that the project will have a specific, adverse impact upon public health and safety or the physical environment for which there is no

feasible method to mitigate or avoid. The Building Official shall assess every SB 9 application for such unavoidable adverse impacts and shall, in consultation with the City Attorney, deny a project if an unavoidable adverse impact is identified. The Building Official's determination shall be final. For greater clarity, a project would have a specific, adverse impact on the physical environment if it would have an unavoidable impact on historic resources, as defined in CEQA Guidelines Section 15064.5.

APPENDIX 3 INTERPRETIVE GUIDANCE DOCUMENT

SB 9 applies in “single-family residential zones.” The term “single-family residential zone” as used in Government Code Sections 65852.21(a) and 66411.7(a)(3)(A) is not defined. Within the City of Los Altos, the term “single-family residential zone” shall be construed to mean an R1 zoning designation.

The City’s application checklist for single-family homes would require applicants to indicate in writing whether the application is being brought pursuant to SB 9.

SB 9 allows for ministerial approval of certain “new” residential dwelling units. The term “new unit” as used in Government Code Section 65852.21(i)(1) is not defined, but provisions of SB 9 appear to assume that a new residential dwelling unit could include a reconstructed residential dwelling unit. Therefore, the term “new unit,” as used in SB 9, shall be construed to mean any of the following:

- (1) A new residential dwelling unit (other than an accessory dwelling unit)¹ proposed to be constructed on previously vacant ground;
- (2) A new residential dwelling unit (other than an accessory dwelling unit) constructed in place of a demolished residential dwelling unit;²
- (3) A residential dwelling unit (other than an accessory dwelling unit) reconstructed to the substantial equivalence of new.

As used above, a residential dwelling unit is reconstructed to the “substantial equivalence of new” if any of the following three sets of criteria apply:

- (1) The residential dwelling unit is stripped to the studs and/or foundation and reconstructed;
- (2) A substantial remodel is proposed in connection with a substantial addition so that the home will have the appearance of a new home and a remaining physical and economic life comparable to that of a new home. These criteria shall be deemed to be met if all the following apply:
 - a. An addition is proposed to an existing residential dwelling unit equal to or greater in size than 50% of the floor area of the existing residential dwelling unit (excluding

¹ Reference to accessory dwelling units here is not meant to exclude construction of such units as allowed under Government Code Sections 65852.2 and 65852.22. Rather, the intent here is merely to define the term “new unit” for purposes of Section 65852.21(i)(1).

² Nothing herein is intended to exempt an applicant from the requirements of Government Code Section 65852.21(a)(3)-(5).

- garages, accessory dwelling units, other accessory structures, crawl spaces, unfinished attics, and basement floor areas);
 - b. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of the existing roof will be demolished, repaired, or replaced, and the entire roof covering will be replaced;
 - c. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of the existing façade will be demolished, repaired, or replaced, the entire façade will be repainted or otherwise resurfaced, and the entire façade for the residential dwelling unit in its completed condition is designed to match;
 - d. All existing floor coverings and plumbing fixtures will be removed and, as applicable, replaced;
 - e. Sprinklers will be installed if not already provided;
 - f. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of existing drywall or other wall coverings will be demolished, repaired, or replaced, and all retained wall covering will be repainted or otherwise resurfaced; and
 - g. All exterior doors and windows will be replaced.
- (3) All the major systems of the home are repaired or replaced so that the home will have the appearance of a new home and a remaining physical and economic life comparable to that of a new home. These criteria shall be deemed to be met if all the following apply:
- a. All existing plumbing, electrical, and HVAC systems will be replaced or rehabilitated consistent with modern building standards to ensure an estimated remaining physical life of at least 50 years for plumbing and electrical systems and 20 years for HVAC systems; and
 - b. The circumstances described in Item Nos. 2(b) to 2(g) apply.

For greater clarity, a lot developed under SB 9 may contain no more than four total residential dwelling units. These shall be limited to the following:

- (1) On a lot that is not split pursuant to Government Code Section 66411.7 and for which an existing primary residential dwelling unit is retained: one existing primary residential dwelling unit, one new primary residential dwelling unit, one accessory dwelling unit, and one junior accessory dwelling unit, for four units in total.
- (2) On a lot that is not split pursuant to Government Code Section 66411.7 and for which an existing primary dwelling unit does not exist or is demolished or reconstructed: two new primary residential dwelling units, one accessory dwelling unit, and one junior accessory dwelling unit, for four units in total.
- (3) On a lot that is split pursuant to Government Code section 66411.7: not more than two existing primary and/or accessory residential dwelling units (including junior accessory

dwelling units) per newly created lot and not more than two new primary residential dwelling units per newly created lot, for an ultimate total of not more than two residential dwelling units per newly created lot and four residential dwelling units total. In lieu of two new primary residential dwelling units on each newly created lot, an applicant may propose one new primary residential dwelling unit together with either a new accessory dwelling unit or a new junior accessory dwelling unit, provided that the applicant submits a written statement with the application for the housing development project indicating the applicant's understanding that providing the accessory dwelling unit or junior accessory dwelling unit will prevent the applicant from constructing a second primary residential dwelling unit. It is the intent of this provision that not more than four units may be constructed per original lot.

March 22, 2022

City Council, Planning Commission, Community Development

RE: City response and plan to address SB9

We understand that the City is amending its “Objective Standards for Single Family Residences” to accommodate the mandate of SB9 from Sacramento.

We have lived in Los Altos for over 40 years, and the last 20 years on a single lane privately owned street that used to be the driveway for the historical house located at the end and which now serves a total of eight houses.

Our experience with dealing with the City Planning Department over the last few years has not endeared them to us. Staff appear to accommodate developers at the expense of residents, using the “standards” to allow development by people who do not become residents of the community.

One fact that has become evident and must be considered when looking at revising the standards for SB9: Not all Los Altos streets are standard size. Although you may allow subdivision of a lot or building ADUs with minimal setback, the streets bear the brunt of the increased housing density.

In our case, the size of our street (15 feet wide) should have been used to modify plans, but it was not. When the neighbors of our street and adjacent streets appeared in unison at a meeting regarding a proposed second story/three level project, (6500 square feet of living space), the meeting was abruptly terminated without allowing comment by our group in order to allow the architect “more time”. Ultimately the project was approved, and although the Design Review Commission advised conditions be placed on the project due to street size, none were, because it was reviewed by a different process when submitted as a one story with ADU thus by-passing the Design Review Commission with no public discussion.

Our point is that the nature of the street/neighborhood is an important consideration in design and function. There are many “unusual” streets such as our own, (including non-standard size, privately owned, and flag lots), where the nature of the street must be considered with respect to the impact of development along these streets. Our neighborhood feels disenfranchised by the City Planning staff based on their response to us.

We request that you specify that non-standard street size, character, and ownership be considered as factors that would trigger open public discussion between the neighborhood and the developer, that limitations are allowed and that such streets are exempted from the SB9 mandate.

Sincerely

Kathy Beck

Bruce Beck

420 Yerba Santa Ave

Jia Liu

Subject: FW: Invitation to see why we are making our request was Re: Request for an addition to the Objective Standards for Single-Family Residences

From: Monica Waldman <contact.mlw@gmail.com>

Sent: Friday, March 25, 2022 4:32 PM

To: Los Altos Planning Commission <PlanningCommission@losaltosca.gov>

Cc: Peter Mills <petermills@me.com>

Subject: Invitation to see why we are making our request was Re: Request for an addition to the Objective Standards for Single-Family Residences

Dear Members of the Los Altos Planning Commission,

Peter and I hope some if not all members of the planning Commission could visit our street to understand our concerns and give us guidance towards making our case in the revised Objective Standards for Single-Family Residences. As a Commissioner myself I know all the Commissioners could not visit at the same time, but we would appreciate a few of you visiting and providing feedback. Please let us know if you have any availability over the next week or two.

Thank you,
Monica

On Tuesday, February 1, 2022, Monica Waldman <contact.mlw@gmail.com> wrote:

Dear Members of the Los Altos Planning Commission,

I am a resident of the cul-de-sac portion of Solana Drive in Los Altos. I read Bruce Barton's "Prefab home draws neighbors' outcry over design" article in the January 25th, 2022 Los Altos Town Crier and am concerned because the situation described in the piece is similar to a situation on my street. I hope that the City will find a way to alleviate similar situations going forward.

My section of Solana Drive has homes on one side of the street with the backyards of homes on neighboring N. Avalon Drive facing Solana Drive. There is a sloped strip of public land between N. Avalon Drive's backyards and Solana Drive's road surface. This makes N. Avalon Drive's backyards higher than street level on the Solana Drive side, creating a similar situation to the homes mentioned in the Town Crier article.

Recently an ADU was added to 127 N. Avalon Drive that is 10 feet from the back fence. While the addition of an ADU and the distance from the back fence are legal, the ADU looms over Solana Drive due to the difference in street height. 65 N. Avalon Drive was rebuilt with numerous lights on the back of the house that, because of the grade difference of the two streets, illuminates not only their backyard but shines onto Solana Drive. I believe the work was done to code, but no consideration was given to the grade difference between the streets and the effect of one house's lighting on its neighboring street.

With the potential of additional ADUs and SB9-related lot subdivisions on N. Avalon Drive, I would like to request that the City include screening landscaping requirements in the next revision of the Objective Standards for Single-Family Residences for ADUs and SB9-related subdivisions built within 10 feet of a property line when the lot is on an incline to ensure the privacy of neighboring homes.

I am including a link to the Los Altos Town Crier article for those who have not read it:

https://www.losaltosonline.com/news/prefab-home-draws-neighbors-outcry-over-design/article_0b97328e-7e17-11ec-b28f-6baed26d214f.html

Thank you,

California Department of Housing and Community Development

SB 9 Fact Sheet

On the Implementation of Senate Bill 9 (Chapter 162, Statutes of 2021)



Housing Policy Development Division
March 2022

This Fact Sheet is for informational purposes only and is not intended to implement or interpret SB 9. HCD does not have authority to enforce SB 9, although violations of SB 9 may concurrently violate other housing laws where HCD does have enforcement authority, including but not limited to the laws addressed in this document. As local jurisdictions implement SB 9, including adopting local ordinances, it is important to keep these and other housing laws in mind. The Attorney General may also take independent action to enforce SB 9. For a full list of statutes over which HCD has enforcement authority, visit HCD's [Accountability and Enforcement webpage](#).

Executive Summary of SB 9

Senate Bill (SB) 9 (Chapter 162, Statutes of 2021) requires ministerial approval of a housing development with no more than two primary units in a single-family zone, the subdivision of a parcel in a single-family zone into two parcels, or both. SB 9 facilitates the creation of up to four housing units in the lot area typically used for one single-family home. SB 9 contains eligibility criteria addressing environmental site constraints (e.g., wetlands, wildfire risk, etc.), anti-displacement measures for renters and low-income households, and the protection of historic structures and districts. Key provisions of the law require a local agency to modify or eliminate objective development standards on a project-by-project basis if they would prevent an otherwise eligible lot from being split or prevent the construction of up to two units at least 800 square feet in size. For the purposes of this document, the terms “unit,” “housing unit,” “residential unit,” and “housing development” mean primary unit(s) unless specifically identified as an accessory dwelling unit (ADU) or junior ADU or otherwise defined.

Single-Family Residential Zones Only

(Reference: Gov. Code, §§ 65852.21, subd. (a); 66411.7 subd. (a)(3)(A))

The parcel that will contain the proposed housing development or that will be subject to the lot split must be located in a single-family residential zone. Parcels located in multi-family residential, commercial, agricultural, mixed-use zones, etc., are not subject to SB 9 mandates even if they allow single-family residential uses as a permitted use. While some zones are readily identifiable as single-family residential zones (e.g., R-1 “Single-Family Residential”), others may not be so obvious. Some local agencies have multiple single-family zones with subtle distinctions between them relating to minimum lot sizes or allowable uses. In communities where there may be more than one single-family residential zone, the local agency should carefully review the zone district descriptions in the zoning code and the land use designation descriptions in the Land Use Element of the General Plan. This review will enable the local agency to identify zones whose primary purpose is single-family residential uses and which are therefore subject to SB 9. Considerations such as minimum lot sizes, natural features such as hillsides, or the permissibility of keeping horses should not factor into the determination.

Residential Uses Only

(Reference: Gov. Code, §§ 65852.21, subd. (a))

SB 9 concerns only proposed housing developments containing no more than two residential units (i.e., one or two). The law does not otherwise change the allowable land uses in the local agency's single-family residential zone(s). For example, if the local agency's single-family zone(s) does not currently allow commercial uses such as hotels or restaurants, SB 9 would not allow such uses.

Ministerial Review

(Reference: Gov. Code, §§ 65852.21, subd. (a); 66411.7, subds. (a), (b)(1))

An application made under SB 9 must be considered ministerially, without discretionary review or a hearing. Ministerial review means a process for development approval involving no personal judgment by the public official as to the wisdom of carrying out the project. The public official merely ensures that the proposed development meets all the applicable objective standards for the proposed action but uses no special discretion or judgment in reaching a decision. A ministerial review is nearly always a "staff-level review." This means that a staff person at the local agency reviews the application, often using a checklist, and compares the application materials (e.g., site plan, project description, etc.) with the objective development standards, objective subdivision standards, and objective design standards.

Objective Standards

(Reference: Gov. Code, §§ 65852.21, subd. (b); 66411.7, subd. (c))

The local agency may apply objective development standards (e.g., front setbacks and heights), objective subdivision standards (e.g., minimum lot depths), and objective design standards (e.g., roof pitch, eave projections, façade materials, etc.) as long as they would not physically preclude either of the following:

Up to Two Primary Units. The local agency must allow up to two primary units (i.e., one or two) on the subject parcel or, in the case of a lot split, up to two primary units on each of the resulting parcels.

Units at least 800 square feet in size. The local agency must allow each primary unit to be at least 800 square feet in size.

The terms "objective zoning standards," "objective subdivision standards," and "objective design review standards" mean standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal. Any objective standard that would physically preclude either or both of the two objectives noted above must be modified or

waived by the local agency in order to facilitate the development of the project, with the following two exceptions:

Setbacks for Existing Structures. The local agency may not require a setback for an existing structure or for a structure constructed in the same location and to the same dimensions as an existing structure (i.e., a building reconstructed on the same footprint).

Four-Foot Side and Rear Setbacks. SB 9 establishes an across-the-board maximum four-foot side and rear setbacks. The local agency may choose to apply a lesser setback (e.g., 0-4 feet), but it cannot apply a setback greater than four feet. The local agency cannot apply existing side and rear setbacks applicable in the single-family residential zone(s). Additionally, the four-foot side and rear setback standards are not subject to modification. (Gov. Code, §§ 65852.21, subd. (b)(2)(B); 66411.7, subdivision (c)(3).)

One-Unit Development

(Reference: Gov. Code, §§ 65852.21, subd. (a); 65852.21, subd. (b)(2)(A))

SB 9 requires the ministerial approval of either one or two residential units. Government Code section 65852.21 indicates that the development of just one single-family home was indeed contemplated and expected. For example, the terms “no more than two residential units” and “up to two units” appear in the first line of the housing development-related portion of SB 9 (Gov. Code, § 65852.21, subd. (a)) and in the line obligating local agencies to modify development standards to facilitate a housing development. (Gov. Code, § 65852.21, subd. (b)(2)(A).)

Findings of Denial

(Reference: Gov. Code, §§ 65852.21, subd. (d); 66411.7, subd. (d))

SB 9 establishes a high threshold for the denial of a proposed housing development or lot split. Specifically, a local agency’s building official must make a written finding, based upon a preponderance of the evidence, that the proposed housing development would have a specific, adverse impact, as defined in Government Code section 65589.5, subdivision (d)(2), upon public health and safety or the physical environment and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact. “Specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. (Gov. Code, § 65589.5, subd. (d)(2).)

Environmental Site Constraints

(Reference: Gov. Code, §§ 65852.21, subd. (a)(2) and (a)(6); 66411.7, subd. (a)(3)(C) and (a)(3)(E))

A proposed housing development or lot split is not eligible under SB 9 if the parcel contains any of the site conditions listed in Government Code section 65913.4, subdivision (a)(6)(B-K). Examples of conditions that may disqualify a project from using SB 9 include the presence of farmland, wetlands, fire hazard areas, earthquake hazard areas, flood risk areas, conservation areas, wildlife habitat areas, or conservation easements. SB 9 incorporates by reference these environmental site constraint categories that were established with the passing of the Streamlined Ministerial Approval Process (SB 35, Chapter 366, Statutes of 2017). Local agencies may consult HCD's [Streamlined Ministerial Approval Process Guidelines](#) for additional detail on how to interpret these environmental site constraints.

Additionally, a project is not eligible under SB 9 if it is located in a historic district or property included on the State Historic Resources Inventory or within a site that is designated or listed as a city or county landmark or as a historic property or district pursuant to a city or county ordinance.

California Environmental Quality Act (CEQA)

Reference: Gov. Code, §§ 65852.21, subd. (j); 66411.7, subd. (n))

Because the approval of a qualifying project under SB 9 is deemed a ministerial action, CEQA does not apply to the decision to grant an application for a housing development or a lot split, or both. (Pub. Resources Code, § 21080, subd. (b)(1) [CEQA does not apply to ministerial actions]; CEQA Guidelines, § 15268.) For this reason, a local agency must not require an applicant to perform environmental impact analysis under CEQA for applications made under SB 9. Additionally, if a local agency chooses to adopt a local ordinance to implement SB 9 (instead of implementing the law directly from statute), the preparation and adoption of the ordinance is not considered a project under CEQA. In other words, the preparation and adoption of the ordinance is statutorily exempt from CEQA.

Anti-Displacement Measures

(Reference: Gov. Code, §§ 65852.21, subd. (a)(3); 66411.7, subd. (a)(3)(D))

A site is not eligible for a proposed housing development or lot split if the project would require demolition or alteration of any of the following types of housing: (1) housing that is subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of moderate, low, or very low income; (2) housing that is subject to any form of rent or price control through a public entity's valid exercise of its police power; or (3) housing that has been occupied by a tenant in the last three years.

Lot Split Requirements

(Reference: Gov. Code, § 66411.7)

SB 9 does not require a local agency to approve a parcel map that would result in the creation of more than two lots and more than two units on a lot resulting from a lot split under Government Code section 66411.7. A local agency may choose to allow more than two units, but it is not required to under the law. A parcel may only be subdivided once under Government Code section 66411.7. This provision prevents an applicant from pursuing multiple lot splits over time for the purpose of creating more than two lots. SB 9 also does not require a local agency to approve a lot split if an adjacent lot has been subject to a lot split in the past by the same property owner or a person working in concert with that same property owner.

Accessory Dwelling Units

(Reference: Gov. Code, §§ 65852.21, subd. (j); 66411.7, subd. (f))

SB 9 and ADU Law (Gov. Code, §§ 65852.2 and 65858.22) are complementary. The requirements of each can be implemented in ways that result in developments with both “SB 9 Units” and ADUs. However, specific provisions of SB 9 typically overlap with State ADU Law only to a limited extent on a relatively small number of topics. Treating the provisions of these two laws as identical or substantially similar may lead a local agency to implement the laws in an overly restrictive or otherwise inaccurate way.

“Units” Defined. The three types of housing units that are described in SB 9 and related ADU Law are presented below to clarify which development scenarios are (and are not) made possible by SB 9. The definitions provided are intended to be read within the context of this document and for the narrow purpose of implementing SB 9.

Primary Unit. A primary unit (also called a residential dwelling unit or residential unit) is typically a single-family residence or a residential unit within a multi-family residential development. A primary unit is distinct from an ADU or a Junior ADU. Examples of primary units include a single-family residence (i.e., one primary unit), a duplex (i.e., two primary units), a four-plex (i.e., four primary units), etc.

Accessory Dwelling Unit. An ADU is an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. It includes permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel on which the single-family or multifamily dwelling is or will be situated.

Junior Accessory Dwelling Unit. A Junior ADU is a unit that is no more than 500 square feet in size and contained entirely within a single-family residence. A Junior ADU may include separate sanitation facilities or may share sanitation facilities with the existing structure.

The terms “unit,” “housing unit,” “residential unit,” and “housing development” mean primary unit(s) unless specifically identified as an ADU or Junior ADU or otherwise defined. This distinction is critical to successfully implementing SB 9 because state law applies different requirements (and provides certain benefits) to ADUs and Junior ADUs that do not apply to primary units.

Number of ADUs Allowed. ADUs can be combined with primary units in a variety of ways to achieve the maximum unit counts provided for under SB 9. SB 9 allows for up to four units to be built in the same lot area typically used for a single-family home. The calculation varies slightly depending on whether a lot split is involved, but the outcomes regarding total maximum unit counts are identical.

Lot Split. When a lot split occurs, the local agency must allow up to two units on each lot resulting from the lot split. In this situation, all three unit types (i.e., primary unit, ADU, and Junior ADU) count toward this two-unit limit. For example, the limit could be reached on each lot by creating two primary units, or a primary unit and an ADU, or a primary unit and a Junior ADU. By building two units on each lot, the overall maximum of four units required under SB 9 is achieved. (Gov. Code, § 66411.7, subd. (j).) Note that the local agency may choose to allow more than two units per lot if desired.

No Lot Split. When a lot split has not occurred, the lot is eligible to receive ADUs and/or Junior ADUs as it ordinarily would under ADU law. Unlike when a project is proposed following a lot split, the local agency must allow, in addition to one or two primary units under SB 9, ADUs and/or JADUs under ADU Law. It is beyond the scope of this document to identify every combination of primary units, ADUs, and Junior ADUs possible under SB 9 and ADU Law. However, in no case does SB 9 require a local agency to allow more than four units on a single lot, in any combination of primary units, ADUs, and Junior ADUs.

See HCD’s [ADU and JADU webpage](#) for more information and resources.

Relationship to Other State Housing Laws

SB 9 is one housing law among many that have been adopted to encourage the production of homes across California. The following represent some, but not necessarily all, of the housing laws that intersect with SB 9 and that may be impacted as SB 9 is implemented locally.

Housing Element Law. To utilize projections based on SB 9 toward a jurisdiction’s regional housing need allocation, the housing element must: 1) include a site-specific inventory of sites where SB 9 projections are being applied, 2) include a nonvacant sites analysis demonstrating the likelihood of redevelopment and that the existing use will not constitute an impediment for additional residential use, 3) identify any governmental constraints to the use of SB 9 in the creation of units (including land use controls, fees,

and other exactions, as well as locally adopted ordinances that impact the cost and supply of residential development), and 4) include programs and policies that establish zoning and development standards early in the planning period and implement incentives to encourage and facilitate development. The element should support this analysis with local information such as local developer or owner interest to utilize zoning and incentives established through SB 9. Learn more on HCD's [Housing Elements webpage](#).

Housing Crisis Act of 2019. An affected city or county is limited in its ability to amend its general plan, specific plans, or zoning code in a way that would improperly reduce the intensity of residential uses. (Gov. Code, § 66300, subd. (b)(1)(A).) This limitation applies to residential uses in all zones, including single-family residential zones. “Reducing the intensity of land use” includes, but is not limited to, reductions to height, density, or floor area ratio, new or increased open space or lot size requirements, new or increased setback requirements, minimum frontage requirements, or maximum lot coverage limitations, or any other action that would individually or cumulatively reduce the site’s residential development capacity. (Gov. Code, § 66300, subd. (b)(1)(A).)

A local agency should proceed with caution when adopting a local ordinance that would impose unique development standards on units proposed under SB 9 (but that would not apply to other developments). Any proposed modification to an existing development standard applicable in the single-family residential zone must demonstrate that it would not result in a reduction in the intensity of the use. HCD recommends that local agencies rely on the existing objective development, subdivision, and design standards of its single-family residential zone(s) to the extent possible. Learn more about [Designated Jurisdictions Prohibited from Certain Zoning-Related Actions](#) on HCD’s website.

Housing Accountability Act. Protections contained in the Housing Accountability Act (HAA) and the Permit Streaming Act (PSA) apply to housing developments pursued under SB 9. (Gov. Code, §§ 65589.5; 65905.5; 65913.10; 65940 et seq.) The definition of “housing development project” includes projects that involve no discretionary approvals and projects that include a proposal to construct a single dwelling unit. (Gov. Code, § 65905.5, subd. (b)(3).) For additional information about the HAA and PSA, see HCD’s [Housing Accountability Act Technical Assistance Advisory](#).

Rental Inclusionary Housing. Government Code section 65850, subdivision (g), authorizes local agencies to adopt an inclusionary housing ordinance that includes residential rental units affordable to lower- and moderate-income households. In certain circumstances, HCD may request the submittal of an economic feasibility study to ensure the ordinance does not unduly constrain housing production. For additional information, see HCD’s [Rental Inclusionary Housing Memorandum](#).

MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, APRIL 6, 2022, BEGINNING AT 6:00 P.M. HELD VIA VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 419-1505 to participate in the conference call (Meeting ID: 147 172 8228 or via the web at <https://tinyurl.com/47m86y9y>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCpubliccomment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM FOR STUDY SESSION - 6:00 PM JOINT STUDY SESSION WITH PLANNING COMMISSION

DRC PRESENT: Vice-Chair Ma, Commissioners Harding and Kirik
DRC ABSENT: Chair Blockhus and Commissioner Bishop
PC PRESENT: Chair Doran, Vice-Chair Mensinger, Commissioners Ahi, Roche and Steinle
PC ABSENT: Commissioners Bodner and Marek
STAFF: Interim Planning Services Manager Golden, Senior Planner Gallegos, Associate Planner Liu, City Attorney Houston and Deputy City Attorney Ramakrishnan

1. **Review and Update SB9 Objective Standards**

Review the City's SB9 Objective Standards, conduct Study Session to consider any appropriate modifications to the standards, provide direction to staff and/or recommendations to City Council, and consider possible formation of one or more ad hoc subcommittees to study the issue further.

STAFF PRESENTATION

Associate Planner Liu provided a presentation on the SB9 Objective Standards.

City Attorney Houston provided information on subcommittees and Brown Act rules.

COMMISSIONER QUESTIONS

Chair Doran asked for point of order and clarification and if they take public comment and then discussion.

Interim Planning Services Manager Golden advised to discuss and then take public comment.

Deputy City Attorney Ramakrishnan make comments on the last review to help frame the discussion for tonight's meeting.

Vice-Chair Ma asked what the timeline is after subcommittee formation and clarification on forming the subcommittees.

Interim Planning Services Manager Golden stated that the City Council directed staff to return in May, but staff will advise the Council in May if there is still discussion occurring with subcommittees. He said that the subcommittees shall not exceed a quorum of the commissions.

COMMISSIONER COMMENTS

Commissioner Kirk discussed injecting some of the DRC subcommittee issues on balconies, privacy, and double height spaces related to bulk and mass into the SB9 language to help formulate some good criteria for the administrative review for approval.

Vice-Chair Ma asked with the density getting higher with more housing, how does this relate to our tree protection policy, privacy impacts, and is it objective or subjective on tree removal?

Chair Doran asked if there is document discussion addressing fire access on secondary unit developments on lots.

Associate Planner Liu said that staff has not evaluated this, but we will reach out to Santa Clara County Fire to understand their requirements on driveway widths or turnarounds.

Deputy City Attorney Ramakrishnan said the Statute does require access but does not define what it is.

Vice-Chair Ma said they did not provide a report to outline the subcommittee meeting, but information was conveyed verbally, and the items outlined by the DRC regarding SB9 are in the agenda report.

Interim Planning Service Manager Golden provided some clarification on the previous review of SB9, this second review before the Commissions tonight, and said the goal for tonight is the creation of subcommittees and what the next step is for the Commissions.

PC COMMENTS

PC Comments or discussions to be included in further discussion with SB9.

Commissioner Ahi

- The flag lot scenario concerned him when it is the only feasible option for a lot. When you limit the height to one-story (20 feet) and the access corridor to 20 feet, it will constrain development on a lot of lots.
- FAR and Lot Coverage are both at 35% and when implementing SB9, it appears incorrect. It does not match the community and if we want these new projects to fit into Los Altos, we need it to work and we must think about it in that way.
- Suggested a solution is to keep the lot coverage at 30% and the FAR could be increased to 40% or 45% so you have a more balanced unit, and it doesn't look awkward.
- The plate heights are a little odd when 9 feet at the first story and 8.5 feet at the second story is the standard.
- He questioned the reason for having a 9-foot, 3-inch plate height for the first story and 8-foot, 3-inch second story plate height was and said it should be addressed to be consistent with the standard.
- Parcels are different in Los Altos, and we need to look to see what works in Los Altos neighborhoods.

Commissioner Roche

- The rear yard setback at 4 feet is an issue because it is very close to the neighbor and wants this to be reviewed.
- Different elevations of sites should be a consideration due to potential privacy impacts between neighbors.
- Consideration of window design and sill heights on second stories for privacy.

Deputy City Attorney Ramakrishnan stated that the four-foot rear setback is mandated by State law.

Chair Doran

- How will SB9 conflict with the building code.
- She needs more time to look at document.
- She wants to be part of subcommittee.
- When you decrease setbacks, what happens to the homes built that had to adhere to the building code.

Deputy City Attorney Ramakrishnan stated that building codes still apply with SB9. SB9 does not alter the building code, it alters zoning code and land use.

Vice-Chair Mensinger

- Can you build one house with four-foot setbacks under SB9?

Deputy City Attorney Ramakrishnan answered yes.

City Attorney Houston ask the Commissioners to please read the Department of Housing and Community Development's (HCD) FAQ's if they haven't already.

Vice-Chair Mensinger

- From a policy perspective, why is the state compelling us to use the setback in SB9?

Deputy City Attorney Ramakrishnan stated in general, there is a sense among legislature that local agencies impose too many regulations that limit housing development and setbacks are one of those issues.

Vice-Chair Mensinger

- We should look at the objective standards in reviewing all projects as having 4-foot setbacks as a starting point.

Commissioner Kirik

- Concerned SB9 is being used for circumventing the DRC concerns and neighbors on projects.
- Respect the existing Residential Design Guidelines and restrict the development of SB9 projects to preserve the character of Los Altos.
- He does not want to see dense clusters and upset neighbors in Los Altos.

Commissioner Ahi

- Responded that the goal is not to restrict housing development, but to have an incentive to promote more housing to meet the intent of SB9. It is a balance.

Deputy City Attorney Ramakrishnan

- We cannot have restrictions just to have restrictions.
- We can adopt objective standards with an intent to preserve the community character of Los Altos.

Chair Doran commented on the different perspectives of each Commission and the importance of being on the same page in the subcommittees.

Deputy City Attorney Ramakrishnan said it is great both Commissions are here to provide their expertise and input.

Vice-Chair Ma said the essence of SB9 is to create more housing units, but there needs to be a balance. We should use our local ordinance and Residential Design Guidelines as a basis in reviewing projects to preserve the character of single-family neighborhoods in Los Altos. He then asked for clarification on a project using SB9 to build a single house on the lot with a four-foot setback.

Deputy City Attorney Ramakrishnan clarified that yes, a two-story single-family home could be built with a four-foot setback and not be reviewed by the DRC. Only projects that do not qualify for SB9 or if the applicants voluntarily want to go through a different review process would you the DRC review a project.

Interim Planning Services Manager Golden clarified staff's recommendation in the staff report and how the Commissions may want to move forward.

Chair Doran and Vice-Chair Ma opened the meeting for public comment.

PUBLIC COMMENT

Anne Paulson said whatever standards the City chooses, make them easy to evaluate. Sometimes we get complimented standards that make it hard for staff to follow and the applicant to understand like with ADUs and projects take longer.

Tim appreciates staff's support of SB9 development for taking care of his family.

Jeannine Valadez supports increased housing and multi-generational housing, supports the objective standards to incentivize housing development. Does not appreciate standards to block housing development.

Jill Woodford supports SB9 but concerned with the wrong development happening that does not respect privacy. She suggested increasing the ADU size to 1,500 square feet and relaxing the ADU restrictions to support SB9 for multi-generational housing and care giving.

The Alon family spoke in support of SB9 and multi-generational housing for care giving and relaxing the ADU regulations.

Monica Waldman stated that street access needs to be considered in special cases in neighborhoods when it comes to lot splits for safety reasons. She also noted that basements do not count as square footage so a development can be over the maximum allowed.

Chair Doran closed the public comment period.

Chair Doran commented on the options for forming a joint subcommittee of the two Commissions.

Vice-Chair Mensinger said it may be a good idea to have a combination subcommittee of the DRC and PC members.

Vice-Chair Ma agreed and wanted to have an internal subcommittee from each commission.

Commissioner Harding nominated the current DRC subcommittee members of Vice-Chair Ma and Commissioner Kirik for the joint subcommittee.

Deputy City Attorney Ramakrishnan said it appears to be a request one joint subcommittee.

Chair Doran and Commissioner Kirik both want to have internal discussions within the commissions at their next meetings regarding subcommittee members.

Vice-Chair Ma agreed.

Chair Doran and Vice-Chair Ma re-opened the public comment period.

PUBLIC COMMENT

Peter Mills raised the issue of double lots and wanting access and driveways from the frontage of existing buildings. There are street access issues on Salano Drive and others, so there is a need to look at the objective standards and how SB9 will affect the substandard streets. He invited the commissioners to his street to understand the issue and said to contact him at his email Pbmsv@icloud.com.

Chair Doran closed the public comment period.

PC Action

Action: Upon a motion by Vice-Chair Mensinger, seconded by Chair Doran, the Commission moved to appoint up to three members of the Planning Commission to a joint subcommittee to evaluate the objective standards of SB9.

The motion was approved (5-0) by the following vote:

AYES: Ahi, Doran, Mensinger, Roche and Steinle

NOES: None

ABSENT: Bodner and Marek

DRC Action

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Kirik, the Commission moved to establish two members of the Design Review Commission on a joint committee for future conversation on SB9.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus and Bishop

City Attorney Houston and Deputy City Attorney Ramakrishnan stated there is no consensus needed, and the DRC can have its own recommendations and PC can have its recommendations to the Council.

STUDY SESSION ADJOURNMENT: 7:19 PM

BREAK – Will reconvene at 7:25 PM

ESTABLISH QUORUM FOR REGULAR MEETING - 7:26 PM

PRESENT: Vice-Chair Ma, Commissioners Harding and Kirik

ABSENT: Chair Blockhus and Commissioner Bishop

STAFF: Interim Planning Services Manager Golden, Senior Planner Gallegos and Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Peter Mills made a comment regarding SB9, and he would like the objective standards state that someone subdividing a lot shall access the housing units where there is currently access provided. No driveways or walkways from rear property line that would allow parking on both sides of the narrow street and impede access for vehicles.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

2. Design Review Commission Minutes

Approve minutes of the regular meeting of March 16, 2022.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission approved the minutes of the regular meeting of March 16, 2022 as written.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

DISCUSSION

Vice-Chair Ma stated a conflict of interest for agenda item #4 at 944 Aura Way and said the project would have to be continued to another meeting.

Interim Planning Services Manager Golden suggested making a motion to continue the project to a date certain for the next meeting on May 4, 2022.

Due to lack of a quorum to make the vote, the project was continued by default to the next meeting.

3. SC21-0027 - Farnaz Khadiv – 2256 Deodara Drive

Design Review for a two-story addition to an existing two-story house. The project includes a 774 square-foot addition at the first story and an 703 square-foot addition at the second story with a new 469 square-foot basement. This project will be considered categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos* This item was continued from the March 17, 2022 DRC meeting.

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC21-0027 subject to the listed findings and conditions and answered questions from Commissioner Kirik and Vice-Chair Ma.

APPLICANT PRESENTATION

Project applicant Farnaz Khadiv and owner Roza Alon provided a project presentation.

Alon Family thanked Commissioner Kirik for his insightful feedback. At the time of the November meeting, she was not thrilled. After going through the process, she is overall more pleased with the design. She thanked him for his honest feedback. With regard to first floor, we have substantially reduced the appearance of bulk and have forwarded the neighbor letters.

DRC QUESTIONS TO APPLICANT

None.

PUBLIC COMMENT

Neighbor David Norlander spoke in support of the project.

Vice-Chair Ma closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission approved design review application SC21-0027 subject to the staff report findings and conditions.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

4. SC21-0035 – Eric Keng – 944 Aura Way

Design review application for a new 4,010 square-foot two-story single-family residence with 2,692 square feet on the first story and 1,317 square feet on the second story. A 798 square-foot detached accessory dwelling unit (ADU) is also proposed, but not subject to design review. A categorical exemption under Section 15303 of the California Environmental Quality Act Guidelines will be considered for this project. *Project Manager: Golden* **THIS ITEM WAS CONTINUED DUE TO LACK OF A QUORUM**

5. SC21-0056 – Walter Chapman - 808 Pico Lane

Design Review for a two-story addition to an existing one-story house. The development includes a 788 square-foot addition at the first floor and a 779 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0056 subject to the listed findings and conditions and answered questions from Commissioner Kirik and Vice-Chair Ma.

DRC QUESTIONS TO STAFF

Commissioner Kirk asked whether the neighboring property was in PUD.

Vice-Chair Ma asked a question on landscaping and if the neighbor wants to have a taller fence and trees for privacy.

APPLICANT PRESENTATION

Project designer Walter Chapman presented the project. He said that when the plans were submitted, the owner was going to use aluminum windows, the problem with clad windows is they have less of an architectural issue, and the owner would like to go with black vinyl with trim on the windows.

Recommended Revisions

- Revise window to make vinyl with quality wood trim.
- Will add lattice to rear fence to improve privacy.

The property owner did not speak.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked the applicant if he can reduce the second story plate height by lowering it to an 8-foot plate height at the second story.

Applicant Walter Chapman stated that a reduced height is too low in scale and looks like a small box on house, and the taller height gives it a more farmhouse look.

Commissioner Kirik said that the first thing that struck him is the window of neighbors, it is a different situation. He would want it addressed with lattice on fence to address privacy. He then asked why there wasn't a landscape plan and to please do something to address the neighbor issue.

Applicant Walter Chapman stated that there are quite a few trees on the site, the owner's intention is to use the yard for planting, and they didn't want to alter landscape plan. He said the willow tree is not a good choice and rather than dictating to owners, he would like the two owners to resolve the issues.

Vice-Chair Ma said he needs to hear from the neighbor.

PUBLIC COMMENT

None.

Vice-Chair Ma closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Kirik, the Commission approved design review application SC21-0056 subject to the staff report findings and conditions with the following additional condition:

- The applicant and neighbor at 50 Chester Circle shall work together on landscaping plantings to address concerns regarding privacy by time of final inspection.

The motion was approved (3-0) by the following vote:

AYES: Harding, Kirik, and Ma

NOES: None

ABSENT: Blockhus, Bishop

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

Make all Planning Commissioners attend five DRC meeting to understand the ministerial guidelines.

ADJOURNMENT

Chair Blockhus adjourned the meeting at 8:37 PM.

Sean Gallegos
Senior Planner

DRAFT